

**TOWN OF MOUNTAIN VILLAGE  
REGULAR DESIGN REVIEW BOARD MEETING  
THURSDAY JUNE 7, 2018 10:00 AM  
2nd FLOOR CONFERENCE ROOM, MOUNTAIN VILLAGE TOWN HALL  
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO  
AGENDA**

	Time	Min.	Presenter	Type	
1.	10:00		Chair		Call to Order
2.	10:00	5	Starr	Action	Reading and Approval of Summary of Motions for the May 3, 2018 Design Review Board Meeting.
3.	10:05	45	Bangert	Initial Architecture and Site Review	Consideration of a Design Review Initial Architectural and Site Review application for new single-family home on Lot 359, 115 Snowfield Drive
4.	10:50	45	Starr	Initial Architecture and Site Review	Consideration of a Design Review Initial Architectural and Site Review application for new single-family home on Lot 600BR-1, 11 Trails Edge
5.	11:35	30			LUNCH
6.	12:05	60	Starr	Public Hearing, Quasi-Judicial Action	Consideration of a class 4 density transfer and rezone application and class 4 subdivision application on Lot 151R, Country Club Drive
7.	1:05	45	Starr	Public Hearing, Quasi-Judicial Action	Consideration of a conditional use permit application for the placement of a ropes course, quad jumper trampoline, and mining sluice on OS3X, Active Open Space
8.	1:50	5	Haynes		Other Business
9.	1:55				Adjourn

Please note that this Agenda is subject to change. (Times are approximate and subject to change)  
455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435  
Phone: (970) 369-8242 Fax: (970) 728-4342

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting Town Hall at the above numbers or email: [cd@mtnvillage.org](mailto:cd@mtnvillage.org). We would appreciate it if you would contact us at least 48 hours in advance of the scheduled event so arrangements can be made to locate requested auxiliary aid(s).

**SUMMARY OF MOTIONS  
TOWN OF MOUNTAIN VILLAGE  
DESIGN REVIEW BOARD MEETING  
THURSDAY, MAY 3, 2018**

**Call to Order**

Chairman Banks Brown called the meeting of the Design Review Board of the Town of Mountain Village to order at 10:00 a.m. on Thursday, May 3, 2018 in the Palmyra Conference Room at 415 Mountain Village Boulevard Mountain Village, CO 81435.

**Attendance**

**The following Board/Alternate members were present and acting:**

Banks Brown  
Keith Brown  
David Craige  
Phil Evans  
Dave Eckman  
Greer Garner  
Luke Trujillo

**The following Board members were absent:**

Liz Caton (Alternate)  
Jean Vatter (Alternate)

**Town Staff in attendance:**

Michelle Haynes, Planning & Development Services Director  
Dave Bangert, Senior Planner/Forester  
Sam Starr, Planner

**Public in attendance:**

Mark Breashears	<a href="mailto:kristine@shiftarchitects.com">kristine@shiftarchitects.com</a>
Robert Stenhammer	<a href="mailto:Rstenhammer@telski.com">Rstenhammer@telski.com</a>
Dave Ballode	<a href="mailto:dballode@msn.com">dballode@msn.com</a>
Cynthia Barutha	<a href="mailto:barutha@msn.com">barutha@msn.com</a>
George Barutha	<a href="mailto:barutha@msn.com">barutha@msn.com</a>
David Gerber	<a href="mailto:dave@gerberconstruction.net">dave@gerberconstruction.net</a>
Ian Wilson	<a href="mailto:ian@gerberconstruction.net">ian@gerberconstruction.net</a>
Marcy Pickering	<a href="mailto:marcy@peakpropertytelluride.com">marcy@peakpropertytelluride.com</a>
Tom Conyers	<a href="mailto:tom@conyers-architect.com">tom@conyers-architect.com</a>

**Reading and Approval of Summaries of Motions for the February 22<sup>nd</sup>, 2018 and March 1<sup>st</sup>, 2018 Design Review Board Meetings.**

On a **Motion** made by Phil Evans and seconded by David Craige, the DRB voted 6-0 to approve the March 29, 2018 Summary of Motions.

David Eckman arrived to the meeting.

**A recommendation to the Town Council Regarding a Community Development Code (CDC) amendment to CDC Section 17.5.6.C3 Roof Material, to permit with DRB approval and a class 3 application, consideration of additional primary roofing material options inside the Village Center; consider a class 1, staff level DRB application for roof material changes to dormers and secondary roof forms within the Village Center; consider allowing pre-patina copper as a permitted roof material outside of the Village Center; and other ministerial conforming amendments pursuant to CDC section 17.1.7 Amendments to the Community Development Code. Also reduce the class 3 application fee from 3,500 to 250 as a policy for roof material applications town-wide per the fee schedule.**

Planning and Development Services Director Michelle Haynes presented the recommended changes on behalf of the Town of Mountain Village. Haynes noted the history of roofing in the core, and discussed the proposed code amendments.

No public comment was provided.

On a **Motion** made by Phil Evans and seconded by Greer Garner, the DRB voted 7-0 to approve A recommendation to the Town Council Regarding a Community Development Code (CDC) amendment to CDC Section 17.5.6.C3 Roof Material, to permit with DRB approval and a class 3 application, consideration of additional primary roofing material options inside the Village Center; consider a class 1, staff level DRB application for roof material changes to dormers and secondary roof forms within the Village Center; consider allowing pre-patina copper as a permitted roof material outside of the Village Center; and other ministerial conforming amendments pursuant to CDC section 17.1.7 Amendments to the Community Development Code. Also reduce the class 3 application fee from 3,500 to 250 as a policy for roof material applications town-wide per the fee schedule with the following conditions:

- 1) *The second portion of 17.5.6.C3(i), concerning galvanized corrugated or standing seam metal, not be incorporated into the recommendation to Town Council.*
- 2) *Proposed section 17.5.6.C3 (iv)a, require that copper shall only be considered with a brown patina, and verde patinas will not be permitted.*

**Consideration of a Design Review application to allow for a new retaining wall encroaching into a general easement on lot 657R, 139 AJ Drive**

Dave Bangert presented the consideration of a Design Review application to allow for a new retaining wall encroaching into a General Easement on lot 657R, 139 AJ Drive. Luke Trujillo presented on behalf of the owner. Design Review Board member Luke Trujillo recused himself on account of a conflict of interest, as he is the applicant.

No public comment was provided.

On a **Motion** made by Phil Evans and seconded by Greer Garner, the DRB voted 6-0 to a Design Review application to approve the application by Truline Architects to add a retaining wall into the northern General Easement and a gravel service pathway in the western GE with a new General Easement encroachment agreement, with a new Improvement Location Certificate, between the owners of Lot 657R and the Town of Mountain Village with the following additional conditions:

- 1) That the lighting changes reviewed and discussed by the DRB be incorporated into the final plan and that the L2 fixture be removed.

**Consideration of a Minor Revisions application to allow for a portion of a hot tub patio to encroach in to the General Easement on Lot 149AR, 255 Country Club Drive.**

Dave Bangert presented the Consideration of a Minor Revisions application to allow for a portion of a hot tub patio to encroach in to the General Easement on Lot 149AR, 255 Country Club Drive. Applicants Cynthia and George Barutha represented themselves.

No public comment was provided.

On a **Motion** made by Greer Garner and seconded by Keith Brown, the DRB voted 5-2, with members Dave Eckman and David Craige voting against, to approve a Minor Revisions application to allow for a portion of a hot tub patio to encroach in to the General Easement on Lot 149AR, 255 Country Club Drive, with the following conditions:

- 1) Prior to CO the owners of Lot 149AR will enter into a General Easement/RROW encroachment agreement with the Town for the encroachments into the eastern and western General Easements and the northern GE and Country Club Drive Right of Way.

**Consideration of Design Review Application for Brava synthetic tile roofing, which requires specific approval from the DRB on Lot 15, 105 Aspen Ridge.**

Sam Starr presented the Consideration Design Review application for Brava synthetic tile roofing on Lot 15, 105 Aspen Ridge. Marcy Pickering of Peak Property Management presented on behalf of the owner.

No public comment was provided.

On a **Motion** made by Dave Eckman and Seconded by David Craige, the DRB voted 7-0, to approve the Design Review Application for Brava synthetic tile roofing on Lot 15, 105 Aspen Ridge. There were no conditions.

**Consideration of a Final Design Review for a new single-family home on Lot 432, 110 Highlands Way.**

Dave Bangert presented the consideration of a Class 3 application for Final Design Review for a new single-family home on Lot 432, 110 Highlands Way. Tom Conyers of Tom Conyers Architects presented on behalf of the owner.



No public comment was provided.

On a **Motion** made by Luke Trujillo and seconded by Keith Brown, the DRB voted 7-0 to approve the Final Architecture Site Review application with the stated variations and specific approvals for Lot 432 with the following conditions which shall be addressed prior to issuance of a building permit

- 1) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 2) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 3) *Prior to issuance of a CO the owners of Lot 432 will enter in to a General Easement Encroachment Agreement with the Town of Mountain Village for the address monument in the western GE.*
- 4) *Applicant will recalculate the stone percentage so that it meets or exceeds 35%. No variation to the stone percentage is being considered by the DRB.*
- 5) *The exterior lighting plan will be revised so that fixtures L1, L10 and L11 comply with CDC Code Section 17.5.12.E.1 and fixtures L12 will be removed from the lighting plan.*

#### **Other Business**

Planning and Development Services Director Michelle Haynes provided a summary of the Sketch-Up and Google Earth Models of the Town of Mountain Village, and indicated that new elevations will be provided in the model VIA drone imagery.

#### **Adjourn**

On a unanimous **Motion** the Design Review Board voted 7-0 to adjourn the March 29<sup>th</sup> , 2018 meeting of the Mountain Village Design Review Board at 1:35 p.m.

Prepared and Submitted by,

Sam Starr  
Planner  
Town of Mountain Village



**PLANNING & DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

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**TO:** Design Review Board  
**FROM:** Dave Bangert, Senior Planner  
**FOR:** Meeting of June 7, 2018  
**DATE:** May 23, 2018  
**RE:** Initial Architectural and Site Review for a new single-family dwelling on Lot 359, 115 Snowfield Dr.

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**PROJECT GEOGRAPHY**

**Application Overview:** The purpose of this agenda item is to allow the Design Review Board (DRB) to provide initial direction to the applicant regarding a proposed new single family home.

**Legal Description:** Lot 359

**Address:** 115 Snowfield Dr.

**Applicant/Agent:** Steve Ciecuch/Narcis Tudor Architect

**Owner:** 108Percent, LLC

**Zoning:** Single-Family Zone District

**Existing Use:** Vacant Lot

**Proposed Use:** Single-Family

**Lot Size:** 0.65 acres

**Adjacent Land Uses:**

- **North:** Single-Family
- **South:** Single-Family
- **East:** Single-Family
- **West:** Single-Family

**ATTACHMENTS**

- Exhibit A: Narrative
- Exhibit B: Plan Set

**BACKGROUND**

A Work Session was conducted for this project at the December 7, 2017 DRB meeting. The Board directed the applicant to address the stone percentage below 35% and to “ground” the design. The applicant has addressed these issues with the stone percentage above the 35% minimum and replacing the columns on the northern elevation with stone bar foundation elements. In accordance with 17.4.3 of the Community Development Code (CDC), the applicant has applied for a Class 3 Design Review for the development of a single-family residence. The proposed project consists of a 5,750-total square foot (with a 700-square foot garage) single-family home located on lot 359.

**PROJECT SUMMARY**

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Maximum Building Height	35' maximum (35'+5' for gable roof)	32' – 7"
Maximum Avg Building Height	30' maximum (30'+5' for gable roof)	27.9'
Maximum Lot Coverage	40% maximum	20.6%
General Easement Setbacks		
North	16' setback from lot line	67' to GE
South	16' setback from lot line	1' to GE
East	16' setback from lot line	6' to GE
West	16' setback from lot line	1' to GE
Roof Pitch		
Primary		4:12 shed
Secondary		4:12 gables and shed
Exterior Material		
Stone	35%	41.8%
Wood	25% (No requirement)	35.8%
Windows/Doors	40% maximum for windows	22.3%
Metal Accents	Specific Approval	6.9%
Parking	2 enclosed and 2 non-tandem	2 enclosed and 2 exterior

**Overview**

Lot 359 is an average size (0.65 acres) rectangular shaped lot that slopes from south to north very steeply from Rocky Road. Most of the lot is over 30% grade. This lot has frontage on both Rocky Road and Snowfield Drive. The applicant is proposing to bring the driveway off Rocky Road rather than coming off Snowfield Dr. The house site is located near the top of the lot close to Rocky Road. Due to the constraints of the lot the exterior parking spaces proposed are encroaching into the southern GE as well as 2 abutments for the suspended structural steel driveway. The applicant will seek specific approval for the encroachments for the parking and driveway abutments. There was an 18' wide earthwork easement along the southern property boundary in addition to the southern GE. This earthwork easement has been removed via a Staff Subdivision application. The proposed foundation for this design is series of five "Stone Bars" that will be built over grade beams on micropiles. These bars will run perpendicular to the slope allowing the natural drainage to remain mostly undisturbed. The home will span across these foundation elements as it steps down with the slope. The applicant is proposing to steer away from the standard process of mass excavation and exporting, shoring, soil nailing, benching and retaining that normally takes place when a lot this steep gets developed.

**17.3.12.C BUILDING HEIGHT LIMITS**

The average height for the proposed designed is compliant at 27.9'. The maximum height is 32' – 7", which puts it within 3' of the maximum height allowed for the roof design. The chimney height is 43' and will need to be re-designed to meet the 40' maximum per the roof design.

When a proposed development is approved that is five (5) feet or less from the maximum building height or maximum average building height, the review authority approval shall include a condition that a monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This shall be done prior to the Building Division conducting the required framing inspection.

**17.5.5 BUILDING SITING DESIGN**

The tree cover on the lot is a mix of spruce, subalpine fir and aspen. Overall forest health on site is average with fair amount of standing dead firs and declining aspens All structures and improvements are out of the General Easement area. However, the exterior parking extends into the southern GE and the southeast corner of the garage extends right to the eastern GE. Due to the foundation being within 5 feet of the General Easement this will require a monumented survey prior to pouring foundation footers. At 20.6% lot coverage, the project is well under the 40% maximum.

**17.5.6 BUILDING DESIGN**

**Building Form and Exterior Wall Form**

In accordance with the Community Development Code, the proposed building form and exterior wall form portray a mass that is thick and strong, with a heavy, thick grounded foundation. The applicant has addressed the DRB’s concerns over the project looking “grounded” by increasing the stone percentage and adding a fifth stone bar foundation element under the garage.

**Roof Forms, Design and Materials**

The proposed roof forms are a combination of a primary shed at 4:12 with secondary sheds and gables at 4:12. The maximum and average roofs heights are all compliant, but the maximum height is within 5’ of the allowable height which will require a ridge height survey. Roofing material proposed is bonderized standing seam metal.

**Exterior Wall Materials**

The exterior walls consist of 41.8% stone veneer (dry stack stone veneer) with no exposed grout; 35.8% wood, vertical 6” stained siding; and 22.3% fenestration (color TBD) and 6.9% mill finish metal panel siding. The 6” wood siding will require specific approval.

**17.5.7 GRADING AND DRAINAGE PLAN**

The applicant has provided a grading and drainage plan prepared by Uncompahgre Engineering, LLC for the proposed development. Positive drainage away from the structures has been provided with all disturbed areas and to have final grades of 2:1 which will match existing grades on the property.

**17.5.8 PARKING REGULATIONS**

There are 2 enclosed parking spaces and 2 exterior spaces proposed. All parking spaces are completely located within the property boundaries, however due to the lot constraints both exterior parking spaces encroach into the southern General Easements and will require specific approval from the DRB.

**17.5.9 LANDSCAPING REGULATIONS**

The applicant has not proposed any tree planting/landscape plan for the Initial Architectural and Site Review and would like to keep the site as undisturbed and natural as possible. The DRB should give direction to the applicant regarding appropriate plantings/screening to Rocky Road. All plantings will need to be in compliance with Table 5-4 of the CDC:  
Table 5-4, Minimum Plant Size Requirements

<b>Landscaping Type</b>	<b>Minimum Size</b>
Deciduous Trees –Single Stem	3 inches caliper diameter at breast height (“dbh”)
Deciduous Trees – Multi-stem	2.5 inches dbh
Evergreen Trees –Single-family lots	8 to 10 feet in height, with 30% 10 feet or larger.

Evergreen Trees – Multi-family lots	8 to 12 feet in height, with 30% 12 feet or larger.
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No irrigation plan has been submitted for the Initial Review.

**17.5.11 UTILITIES**

All shallow utilities are proposed to be run from up to the structure from Snowfield Dr. through the eastern GE. Sanitary sewer will tie in to the existing sewer line to the north and will run through the eastern GE as well. Water and gas are proposed to come from Rocky Road and tie into the house on the east side of the garage. Public Works requests that all utilities be field located by the contractor prior to construction.

**17.5.12 LIGHTING REGULATIONS**

The exterior lighting plan shows 12 sconces and 9 step lights and 215 linear feet of LED strip lighting concealed in the deck handrails. Locations include terraces, egresses and a front entrance patio. The DRB should determine if this amount of exterior lighting is appropriate for the design and the site.

**17.5.13.E.4 ADDRESS IDENTIFICATION SIGNS**

The address monument proposed is a steel plate attached to the garage with LED backlighting.

**17.6.6.B. DRIVEWAY STANDARDS**

The current driveway design with the garage elevation at 9958.00 is too steep to meet the driveway standards in the CDC. As the proposed design stands the first 20' exceed the 5% maximum grade allowed and the maximum grade of the drive exceeds 17%. This original design is proposed to be snow melted concrete to a suspended steel grate. The Civil Engineer has proposed 2 other designs that will meet the code requirements. The first alternative design raises the height of the garage elevation to 9960.42 with the driveway grades under 5% for the first 20' and a maximum grade of 7.33%. The third design raises the elevation of the garage to 9961.135 and has a consistent grade of 4% from Rocky Road to the garage. The applicant will have to show that changing the garage elevation will not put the design over the maximum height limit. The original driveway design did not have a backing area and the updated civil plan calls for backing area and retaining wall that is partially in the southern General Easement and in the Rocky Road RROW. This permanent improvement in the RROW will require approval from the Mountain Village Town Council.

**17.6.8 SOLID FUEL BURNING DEVICE REGULATIONS**

The applicant has indicated that the two interior fireplaces will be gas along with the raised fire pit on the northern terrace.

**17.7.19 CONSTRUCTION MITIGATION**

There is proposed temporary construction staging in the Rocky Road RROW due to the constraints of the lot. Public Works is fine with the staging plan and will work with the contractor regarding snow removal during the project. Staging in the RROW will require a temporary license agreement between the owner/contractor and the Town of Mountain Village.

**PROPOSED VARIATIONS AND SPECIFIC APPROVALS**

- Specific approval for exterior parking in the southern General Easement.
- Specific approval the driveway abutments in the southern General Easement.
- Specific approval for the use of wood siding under 8" in width.
- Specific approval for construction staging in the Rocky Road Right of Way.

- Specific approval from Town Council for a backing area encroaching in to the Rocky Road RROW.

### **RECOMMENDATION**

Staff recommends the DRB approve the Initial Architecture Site Review application with the stated variations and specific approvals for Lot 359 with the following conditions which shall be addressed before Final Review hearing unless otherwise noted:

1. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.
2. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.
3. Prior to issuance of a CO the owners of Lot 359 will enter in to a General Easement Encroachment/RROW Agreement with the Town of Mountain Village for the exterior parking, retaining wall and driveway abutments in the southern GE and the backing area in the Rocky Road RROW.

May 10, 2018

**RE: LOT 359 MOUNTAIN VILLAGE DRB**

To: TMV DRB Board and Staff

Thank you for taking the time to review our design application. This memo outlines the project's design direction and its incorporation of Sustainable Design Principles while capturing the uniqueness of this specific site.

**SITE DESCRIPTION | TOPOGRAPHY – LOT 359**

The lot is located between Rocky Road and Snowfield Drive, its general topography steeply sloping (30% or more) from the south to the north of the lot. The steepness of the site and its challenges presented us the opportunity to redefine the paradigm of building on such lots. Steering away from the standard process of mass excavation and exporting, shoring, soil nailing, benching and retaining, we have allowed the site to retain the primary place, with the structure stepping down and floating above the grade as it unfolds downhill.

**VIEWS**

Primary views are north to the Dallas Range.

**ACCESS**

The proposed access to the parcel is from the south, off Rocky Road.

**PROGRAM**

The proposed program for this project is an approximate 5750 square foot, staggered, two story house with a 700 square foot garage.

**SUSTAINABLE DESIGN | PARTI**

As mentioned above, our collective goal in designing the house was to allow the site to remain as undisturbed as possible protecting its natural character. The main points in our approach are as follow:

- **Minimize Excavation | Exporting** – The strategically placed Stone Bars create grounding brackets for the house to span. These elements are built over grade beams on micropiles.
- **Natural Drainage** – With the Stone Bars running perpendicular to the slope, the natural drainage on the site remains mostly undisturbed. The goal in allowing the site to drain naturally eliminates the need for swales and internal drain lines.
- **Visual Impact** – The proposed project is located within the setback lines, placing it downhill from Rocky Road, the main public right of way and blends into its surroundings. Undisturbed vegetation on the north portion of the lot visually dissolves the structure from perceiving it off of Snowfield Drive.
- **Design Principles** – The overall architectural design is comprised of simple forms hierarchically arranged along the site's natural topography. The primary mass is a shed form and the tallest of the elements, its goal being to capture the southern solar path through high punched windows, allowing the warmer light to enter the common space. Secondary and tertiary pods step down to the east and west of the primary form. The concentration of glazing is oriented to the north capturing the panoramic views and inversely bringing in the natural light into each space. The roof forms are a blend of sheds and gables with a "photovoltaic wing" element over the walkway to the front door. We are exploring the incorporation of Tesla or similar photovoltaic panels into these solar planes.

- **Materials** – The material palette is based on sustainable principles and our alpine climate. Stone veneer bars ground the project and work with the natural topography. Wood siding is the primary material applied in a manner proportionate in scale to its respective forms. Secondary elements are clad in metal siding, again keeping the scale of forms and materials proportionately connected. Tertiary, accent materials are exposed steel and exposed rafters, creating a lacy | light & shadow play, giving the project a more interesting, articulated aesthetic. The roof is metal standing seam.

### **CONCLUSION | WORKSESSION RESPONSE**

The main driver outlined above can be concluded by our approach to design and build a sustainable, low carbon footprint, site sensitive project while taking into account the local vernacular and guidelines. Our primary goal is to experience the uniqueness of the site thus keeping the architecture subordinate to these factors, allowing it to be driven by them.

As the house is located down from the lip of Rocky Road, the visual impact is minimal, while on the opposite side from Snowfield Lane, the existing trees provide a 100% visual buffer of the house. In our DRB Worksession, the Board commented on the overall design with its main comments being the following:

1. Stone Veneer percentage to be compliant
2. Extend the stone bars to support the house and give it a more significant grounding.
3. Eliminate the steel columns

All of these comments have been addressed and we are currently not requesting any variances.

Thank you for taking the time to review our application and should you have any questions please do not hesitate to contact me directly.

Narcis Tudor  
**ARCHITECT**  
ARC.L# - 00402820





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submissions  
10.18.2017 DRC WORKSESSION  
02.06.2018 PRELIMINARY BID SET  
05.10.2018 DRB 1

NOT FOR  
CONSTRUCTION

project  
**L359**

MOUNTAIN VILLAGE  
COLORADO 81435

phase  
COVER

sheet  
**A0**

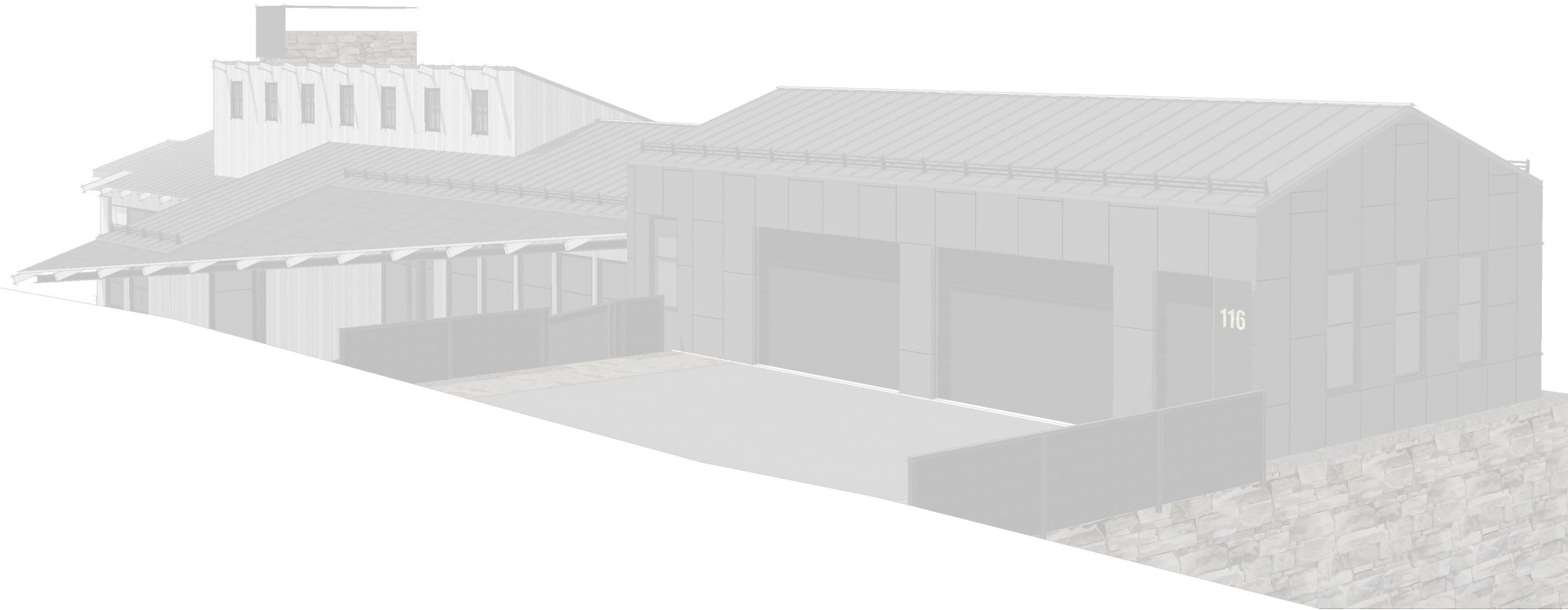
05.10.2018

MOUNTAIN VILLAGE DRB

**L359**



# L359 RESIDENCE



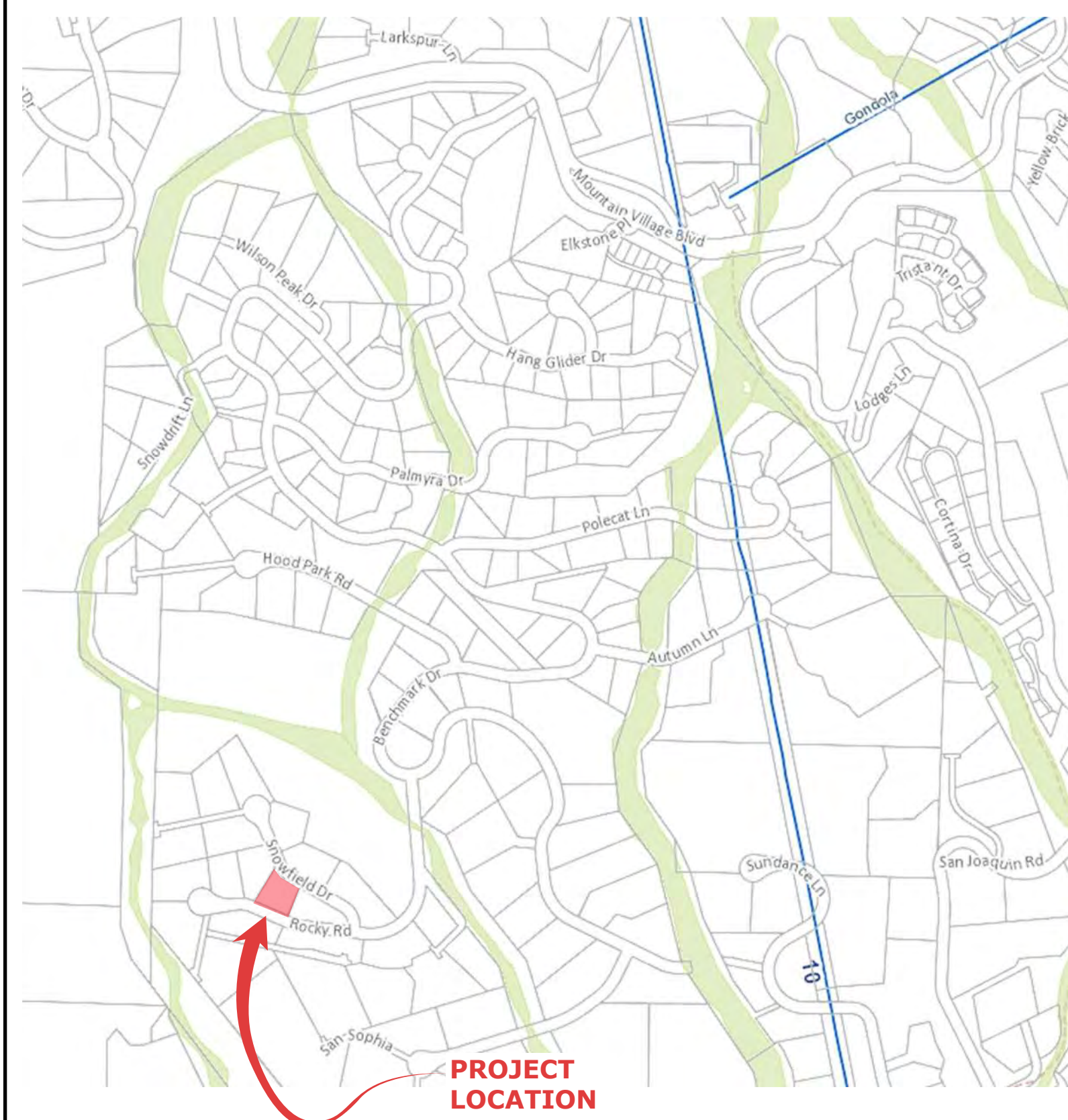
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submissions  
10.18.2017 DRC WORKSESSION  
02.06.2018 PRELIMINARY BID SET  
05.10.2018 DRB 1

## VICINITY MAP



## GENERAL NOTES

**CONTRACT DOCUMENTS:**  
CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, GENERAL SPECIFICATIONS, AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED.

**ORGANIZATION:**  
WHERE APPLICABLE, THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), INTERIOR DRAWINGS (I SHEETS), STRUCTURAL DRAWINGS (S SHEETS), MECHANICAL AND PLUMBING DRAWINGS (M SHEETS), ELECTRICAL (E SHEETS), AND LIGHTING (LP SHEETS).

**CODE COMPLIANCE:**  
ALL WORK, MATERIALS, AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP.

**INTENT:**  
THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN. ALL FUNCTIONALITY AND PERFORMANCE OF THE BUILDING COMPONENTS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

**COORDINATION:**  
THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS, AND REPORT ANY DISCREPANCIES, ERRORS, OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL, AND LIGHTING DRAWINGS.

## LAND USE & CDC INFORMATION

LOT: 359  
ADDRESS: 116 ROCKY ROAD  
IMPROVEMENT TYPE: NEW CONSTRUCTION  
TYPE OF UNIT: SINGLE FAMILY  
LOT AREA: 28,440 SF  
MAXIMUM SITE COVERAGE: (40%) 11,376 SF  
MAXIMUM AVERAGE HEIGHT: 30 FEET  
MAXIMUM HEIGHT: 35 FEET  
SETBACKS: 16 FEET  
PROPOSED SITE COVERAGE: 5,872.7 SF (20.6%)  
PROPOSED BUILDING GROSS AREA: PER FLOOR PLANS  
PROPOSED BUILDING LIVABLE AREA: PER FLOOR PLANS  
BUILDING HIGH POINT: 43' AT CHIMNEY  
AVERAGE BUILDING HEIGHT: 27.9' - SEE A1.3  
PARKING REQUIREMENTS: 2 ENCLOSED / 2 OPEN

## MATERIAL SUMMARY

MEASURED IN SQ. FT.	NORTH	EAST	SOUTH	WEST	TOTAL	PERCENTAGE
STONE VENEER	728.9	2165.6	186.7	2126.1	5207.3	41.8%
FENESTRATION	1684.9	221.0	564.0	307.4	2777.3	22.3%
SIDING	890.0	562.8	2189.9	825.1	4467.8	35.8%
METAL PANEL SIDING	340.1	214.9	236.4	79.1	870.5	6.9%
TOTAL VERTICAL SURFACE					12452.4	100.0%

## CODE SUMMARY

ZONING: SINGLE FAMILY RESIDENTIAL  
BUILDING CODE: IRC 2012  
DESCRIPTION: 2-STORY W/ PARTIAL SPLIT LEVEL  
OCCUPANCY CLASS: IRC SINGLE FAMILY

## PROJECT TEAM:

**OWNER**  
108 PERCENT, LLC  
PO BOX 932  
TELLURIDE . COLORADO . 81435  
P. 970.708.2338

## ARCHITECT/INTERIORS

NARCIS TUDOR ARCHITECTURE  
201 W COLORADO AVENUE  
SUITE 203  
TELLURIDE . COLORADO . 81435  
P. 970.708.4983  
narcis@narcistudor.com

## CONTRACTOR

## STRUCTURAL ENGINEER

COLORADO STRUCTURAL, INC  
MIKE ARBANEY  
315 BELLVIEW, UNIT F  
P.O. BOX 2544  
CRESTED BUTTE . COLORADO . 81224  
P. 970.349.5922

## SURVEYOR

FOLEY & ASSOCIATES, INC.  
125 W PACIFIC, SUITE B-1  
TELLURIDE . COLORADO . 81435  
P. 970.728.6153

## CIVIL ENGINEER

UNCOMPAGRE ENGINEERING  
DAVID BALLODE, P.E.  
BLUE MESA BUILDING, SUITE D  
113 LOST CREEK LANE  
MOUNTAIN VILLAGE . COLORADO . 81435  
P. 970-729-0683

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	SITE SLOPE ANALYSIS
	SITE PLANS
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NOT FOR CONSTRUCTION

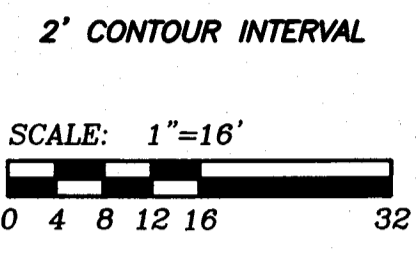
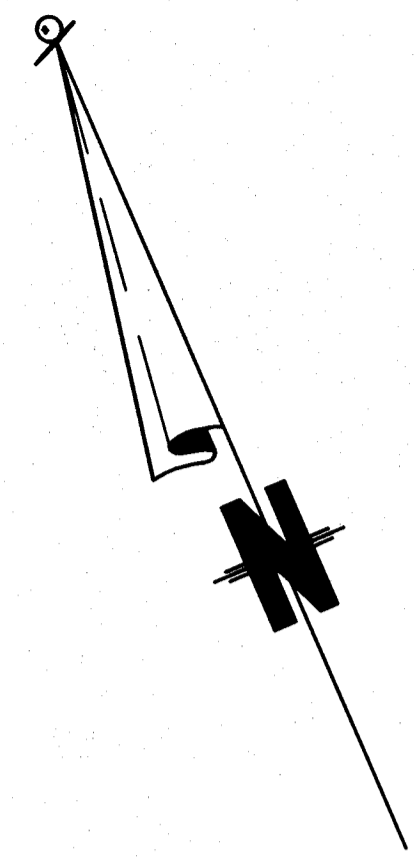
L359

MOUNTAIN VILLAGE  
COLORADO 81435

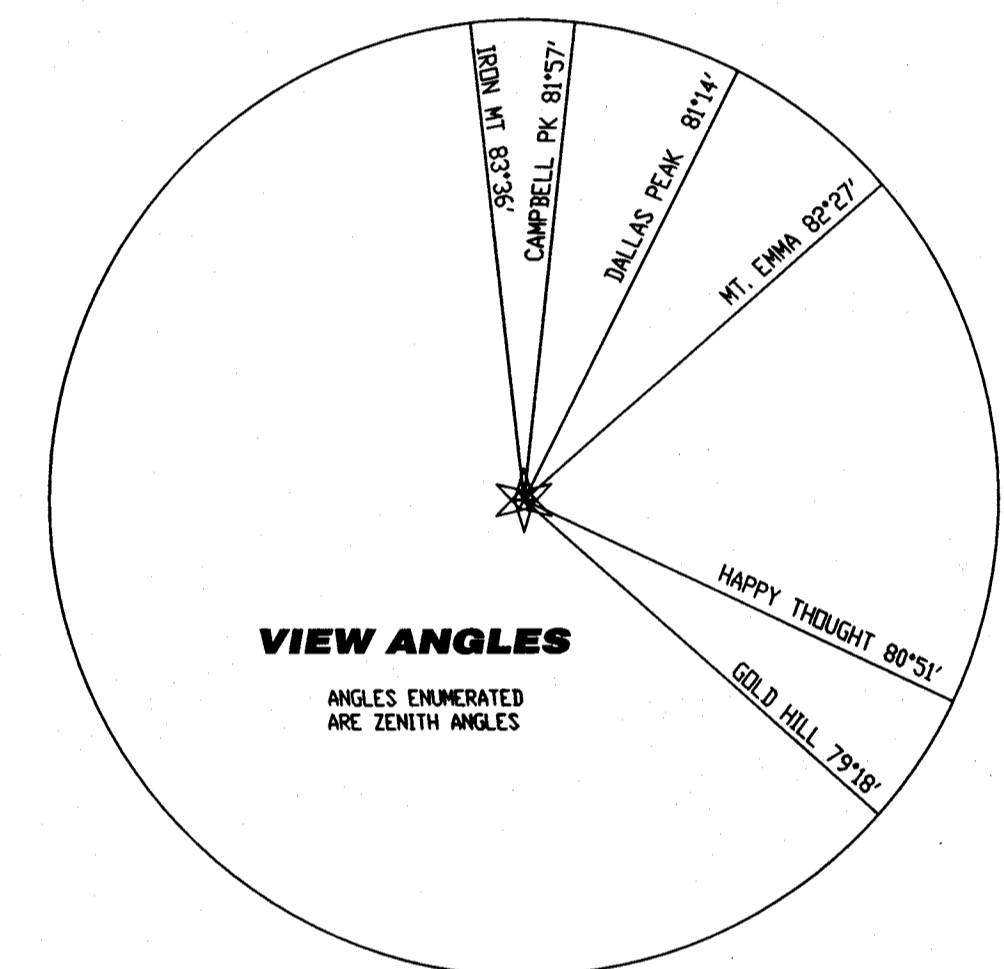
PROJECT INFO

A0.1



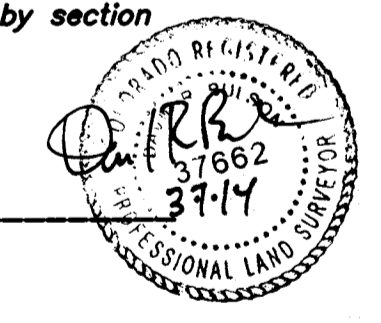


- TREE LEGEND**
- 2" - 6" FIR
  - 8" - 16" FIR
  - 18" OR LARGER FIR
  - 2" - 6" ASPEN
  - 8" - 16" ASPEN
  - 18" OR LARGER ASPEN
  - 2" - 6" SPRUCE
  - 8" - 16" SPRUCE
  - 18" OR LARGER SPRUCE



This Topographic Survey of Lot 359, Town of Mountain Village, was prepared in March, 2014 under the direct responsibility, supervision and checking of David R. Bulson, of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or an Improvement Survey Plat as defined by section 38-51-102 C.R.S.

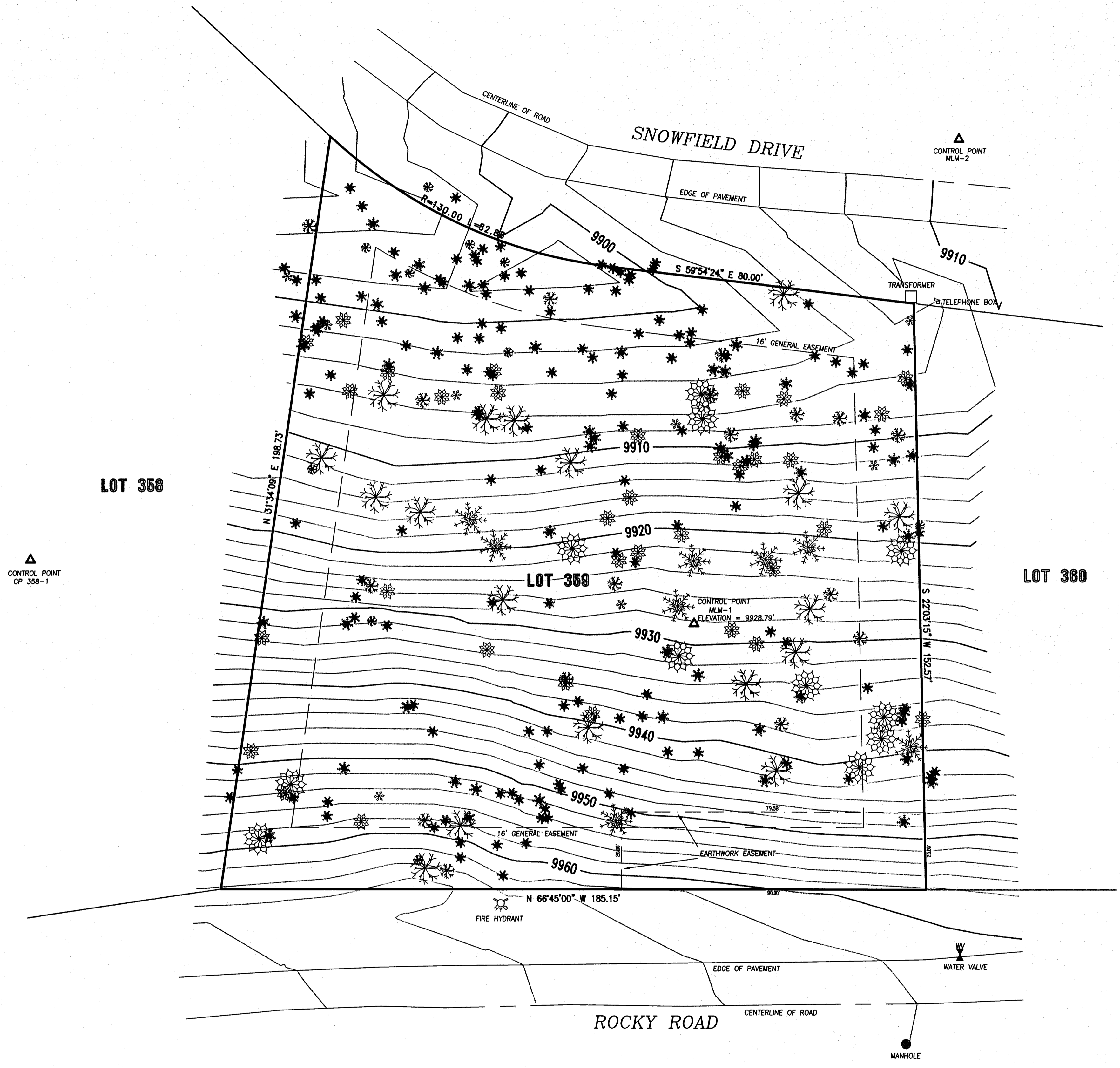
David R. Bulson  
L.S. 37662



- NOTES**
- This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.
  - Benchmark: Control Point "MLM-1", with an elevation of 9928.79 feet.
  - Tree inventory was done by Foley Associates, Inc. in October, 2004 and updated in March, 2014.

**NOTICE**

According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.



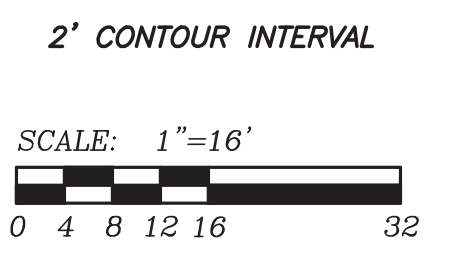
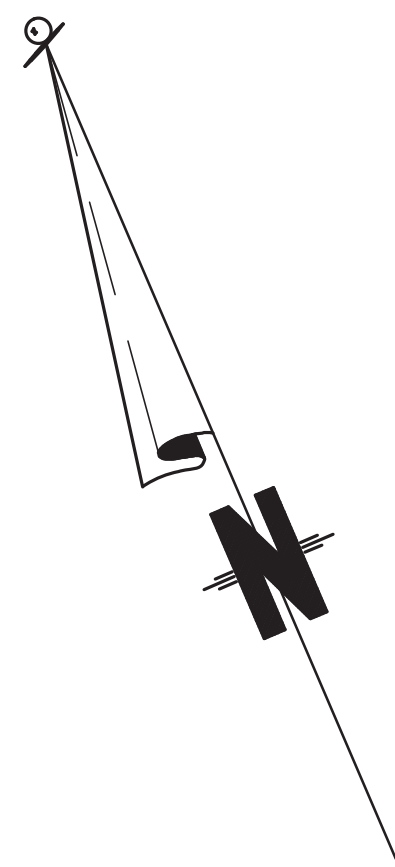
**TOPOGRAPHIC SURVEY**  
**LOT 359, TOWN OF MOUNTAIN VILLAGE**

Project Mgr:	DB	Rev.	Description	Date	By
Technician:	JH				
Checked by:					
Start date:	10-18-04				

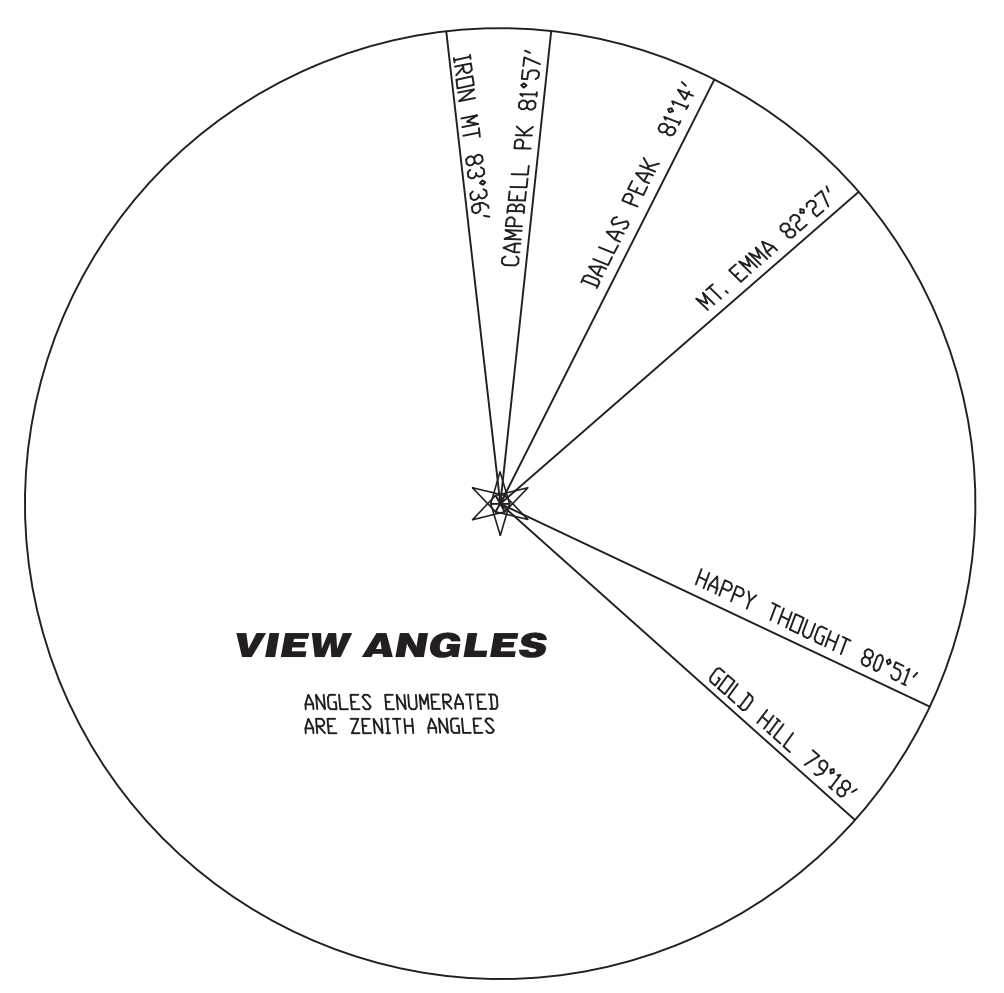


970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

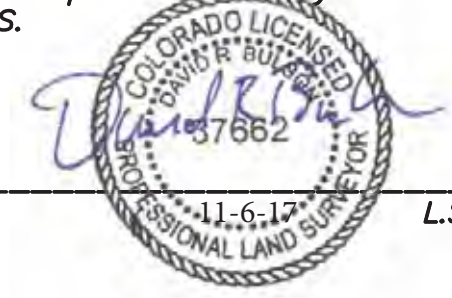




- TREE LEGEND**
- 2" - 6" FIR
  - 8" - 16" FIR
  - 18" OR LARGER FIR
  - 2" - 6" ASPEN
  - 8" - 16" ASPEN
  - 18" OR LARGER ASPEN
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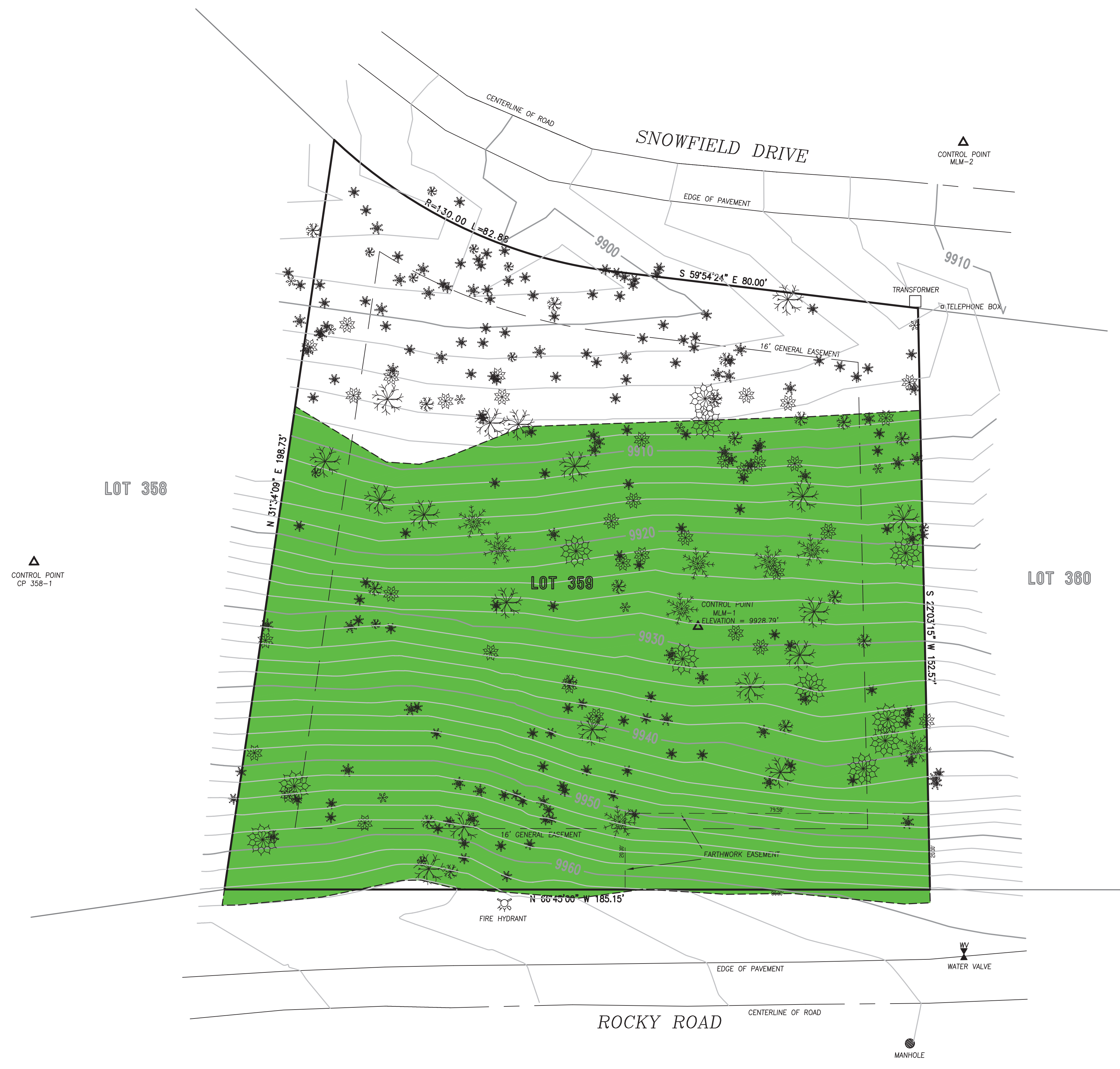


David R. Bulson L.S. 37662

- NOTES**
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  - Benchmark: Control Point "MLM-1", with an elevation of 9928.79 feet.
  - Tree inventory was done by Foley Associates, Inc. in October, 2004 and updated in March, 2014.

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**SLOPE STUDY**  
**LOT 359, TOWN OF MOUNTAIN VILLAGE**

Project Mgr:	DB	Rev.	description	date	by
Technician:	JH	1	9/29/2014		
Checked by:					
Start date:	10-18-04				



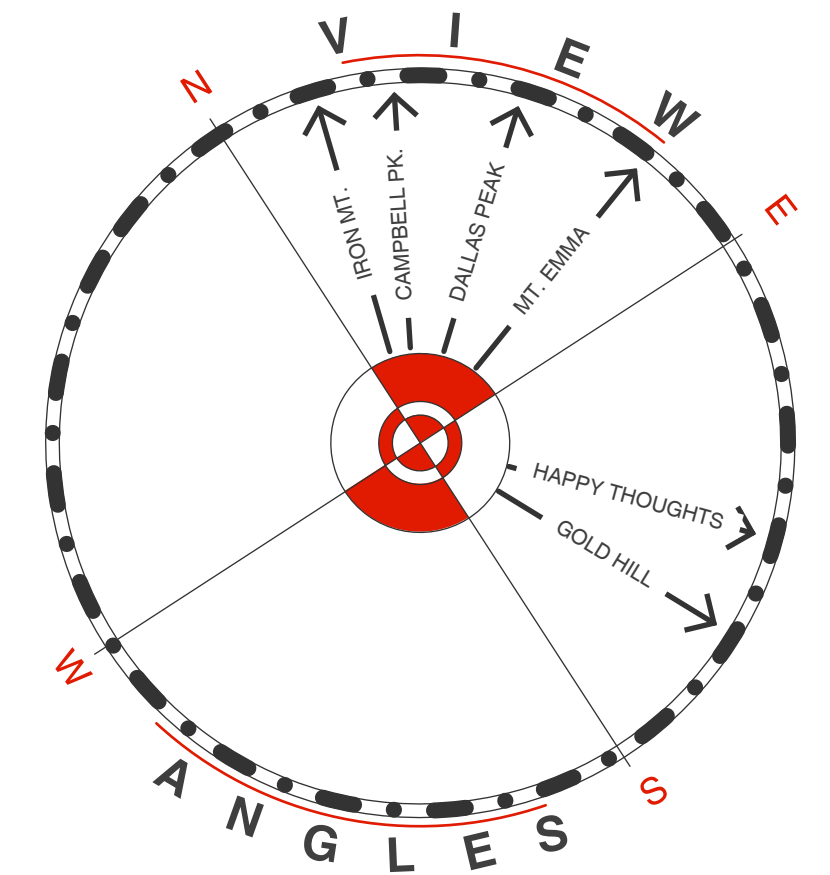
970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435



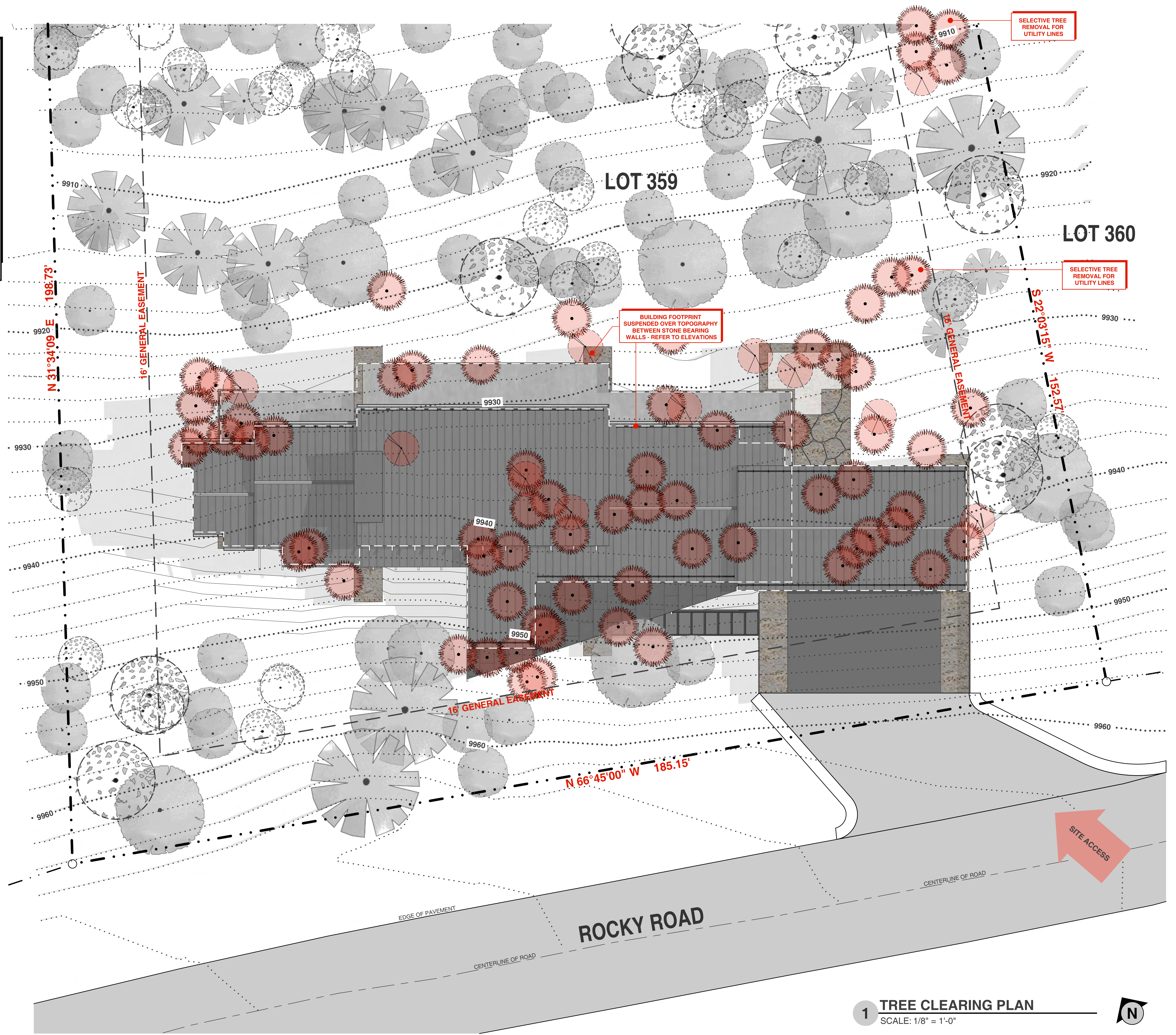
**EXISTING TREE LEGEND**

SYMBOL	DESCRIPTION
	EXISTING FIR TREE
	EXISTING SPRUCE TREE
	EXISTING ASPEN TREE
	EXISTING ASPEN TO BE REMOVED
	EXISTING SPRUCE   FIR TO BE REMOVED

NOTE: SEE SURVEY FOR CALIPER SIZES



LOT 358



**1 TREE CLEARING PLAN**  
SCALE: 1/8" = 1'-0"



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02.06.2018 PRELIMINARY BID SET  
05.10.2018 DRB 1

NOT FOR CONSTRUCTION

project  
**L359**

MOUNTAIN VILLAGE  
COLORADO 81435

phase  
**TREE CLEARING PLAN**

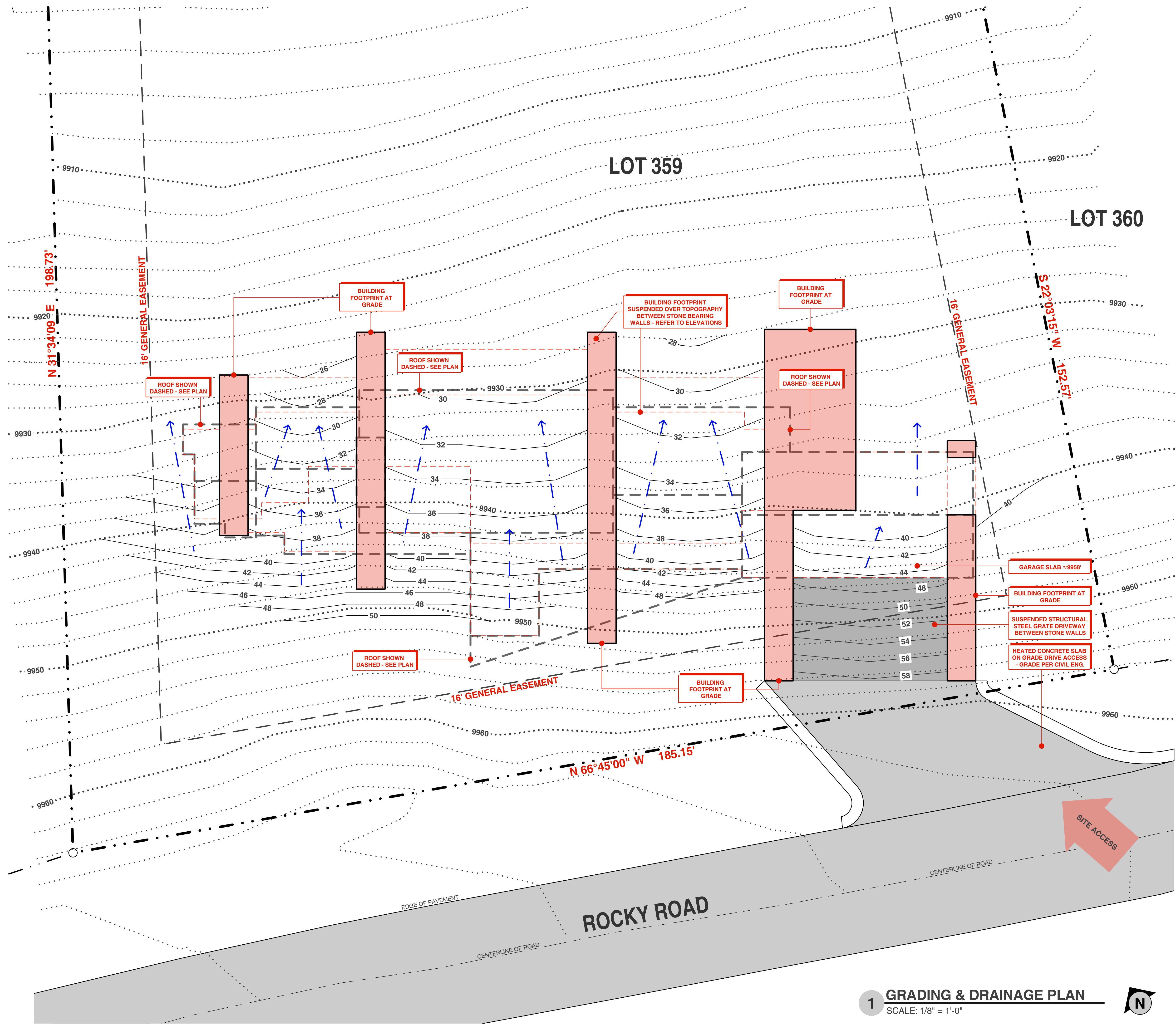
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**A1.1**



LOT 358

LOT 359

LOT 360



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**L359**

MOUNTAIN VILLAGE  
 COLORADO 81435

**GRADING & DRAINAGE PLAN**

**A1.2**

**1 GRADING & DRAINAGE PLAN**  
 SCALE: 1/8" = 1'-0"



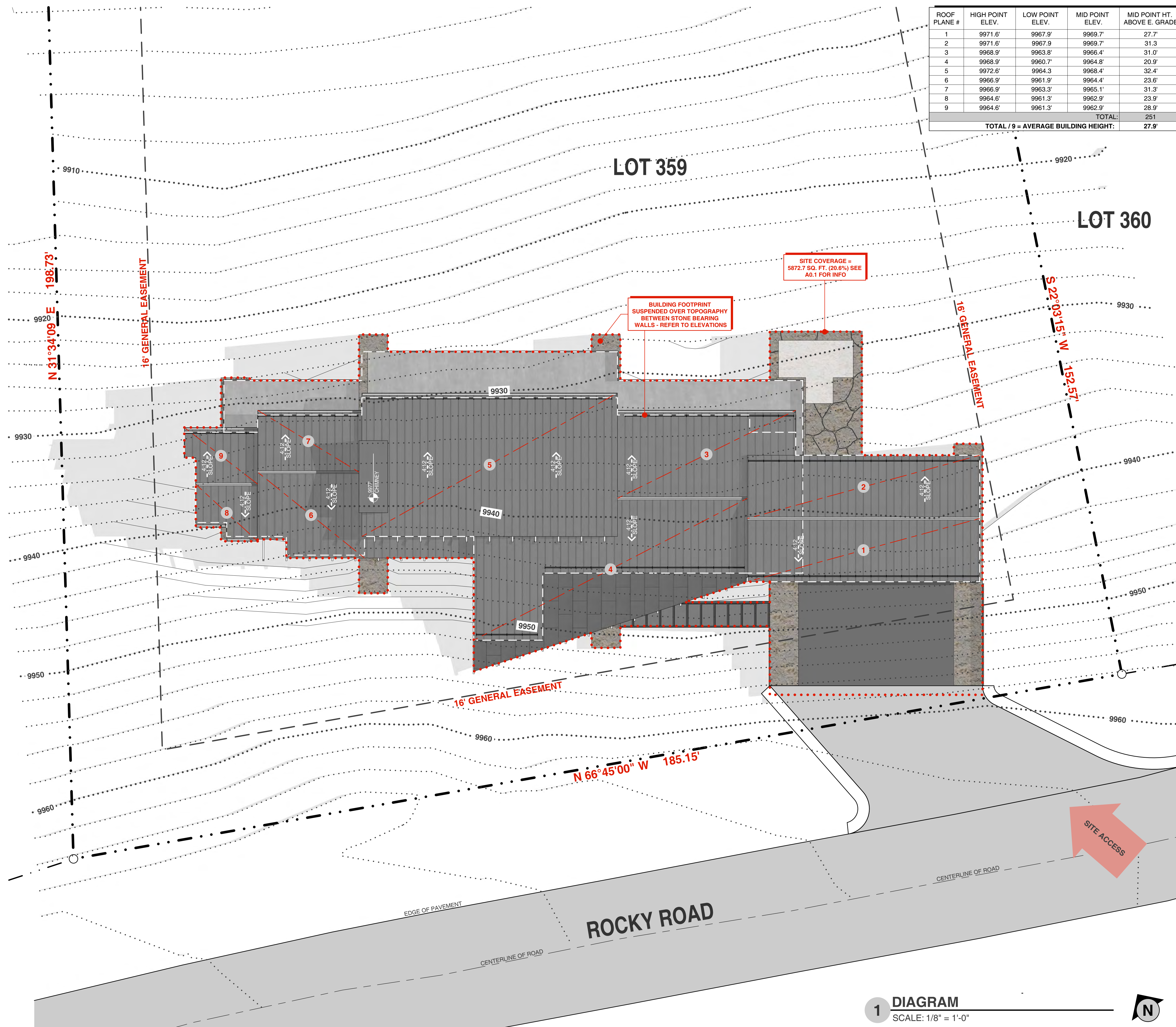


ROOF PLANE #	HIGH POINT ELEV.	LOW POINT ELEV.	MID POINT ELEV.	MID POINT HT. ABOVE E. GRADE
1	9971.6'	9967.9'	9969.7'	27.7'
2	9971.6'	9967.9'	9969.7'	31.3'
3	9968.9'	9963.8'	9966.4'	31.0'
4	9968.9'	9960.7'	9964.8'	20.9'
5	9972.6'	9964.3'	9968.4'	32.4'
6	9966.9'	9961.9'	9964.4'	23.6'
7	9966.9'	9963.3'	9965.1'	31.3'
8	9964.6'	9961.3'	9962.9'	23.9'
9	9964.6'	9961.3'	9962.9'	28.9'
TOTAL:				251
TOTAL / 9 = AVERAGE BUILDING HEIGHT:				27.9'

LOT 358

LOT 359

LOT 360



BUILDING FOOTPRINT  
SUSPENDED OVER TOPOGRAPHY  
BETWEEN STONE BEARING  
WALLS - REFER TO ELEVATIONS

SITE COVERAGE =  
5872.7 SQ. FT. (20.6%) SEE  
A0.1 FOR INFO

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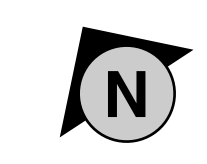
Project  
**L359**

MOUNTAIN VILLAGE  
COLORADO 81435

Phase  
**BUILDING HEIGHT | LUC DIAGRAM**

Sheet  
**A1.3**

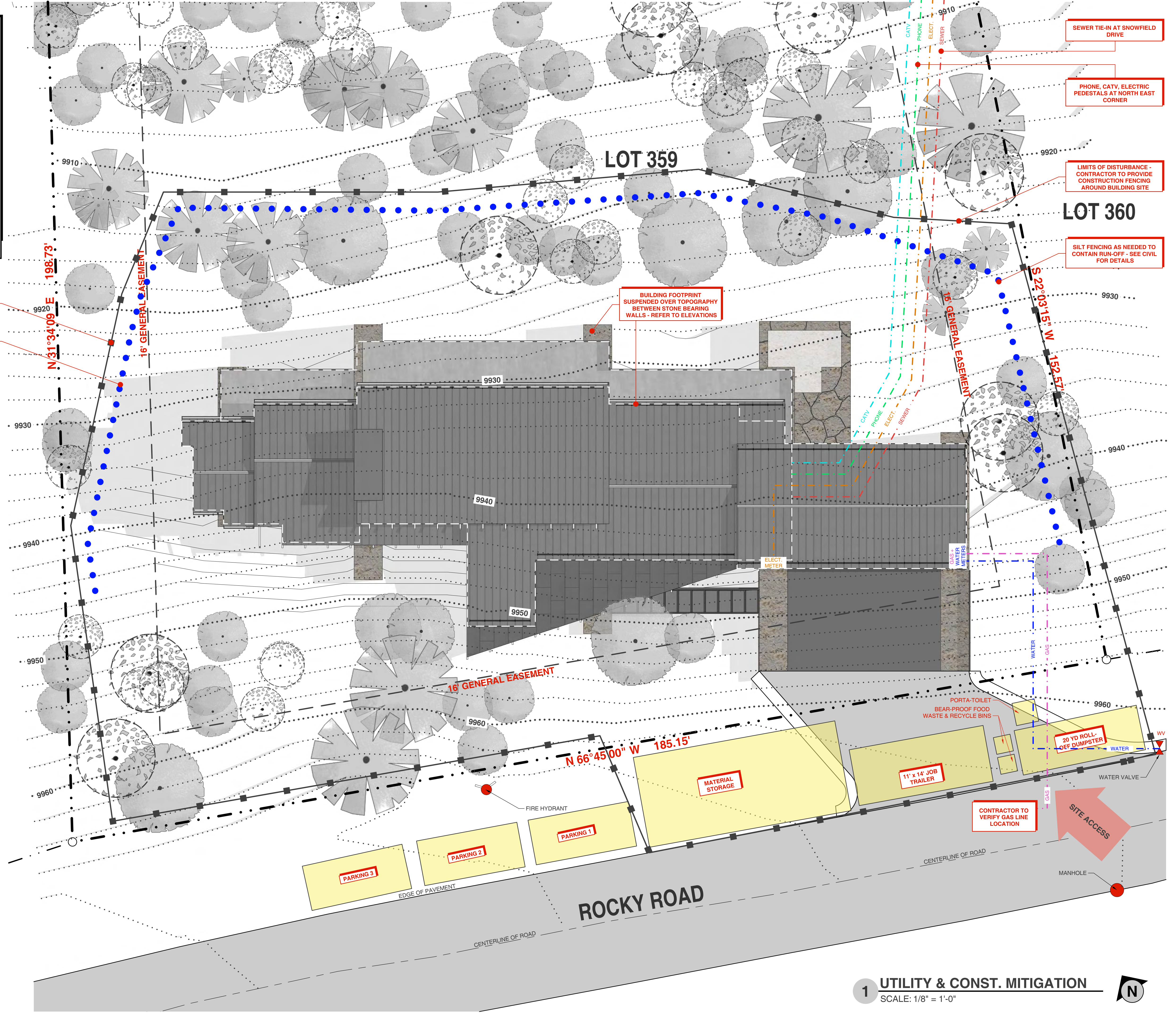
1 **DIAGRAM**  
SCALE: 1/8" = 1'-0"





EXISTING TREE LEGEND	
SYMBOL	DESCRIPTION
	EXISTING FIR TREE
	EXISTING SPRUCE TREE
	EXISTING ASPEN TREE
	EXISTING ASPEN TO BE REMOVED
	EXISTING SPRUCE   FIR TO BE REMOVED

NOTE: SEE SURVEY FOR CALIPER SIZES



LOT 358

LOT 359

LOT 360

ROCKY ROAD

1 UTILITY & CONST. MITIGATION  
SCALE: 1/8" = 1'-0"



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PROJECT  
**L359**

MOUNTAIN VILLAGE  
COLORADO 81435

PHASE  
**UTILITY & CONST. MITIGATION**

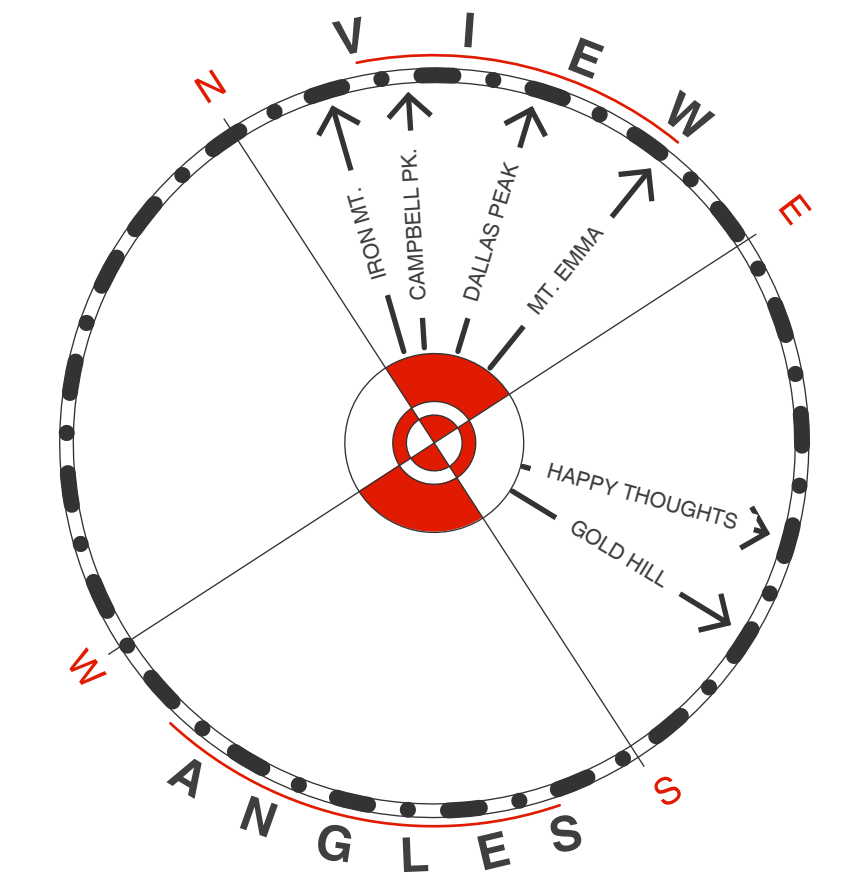
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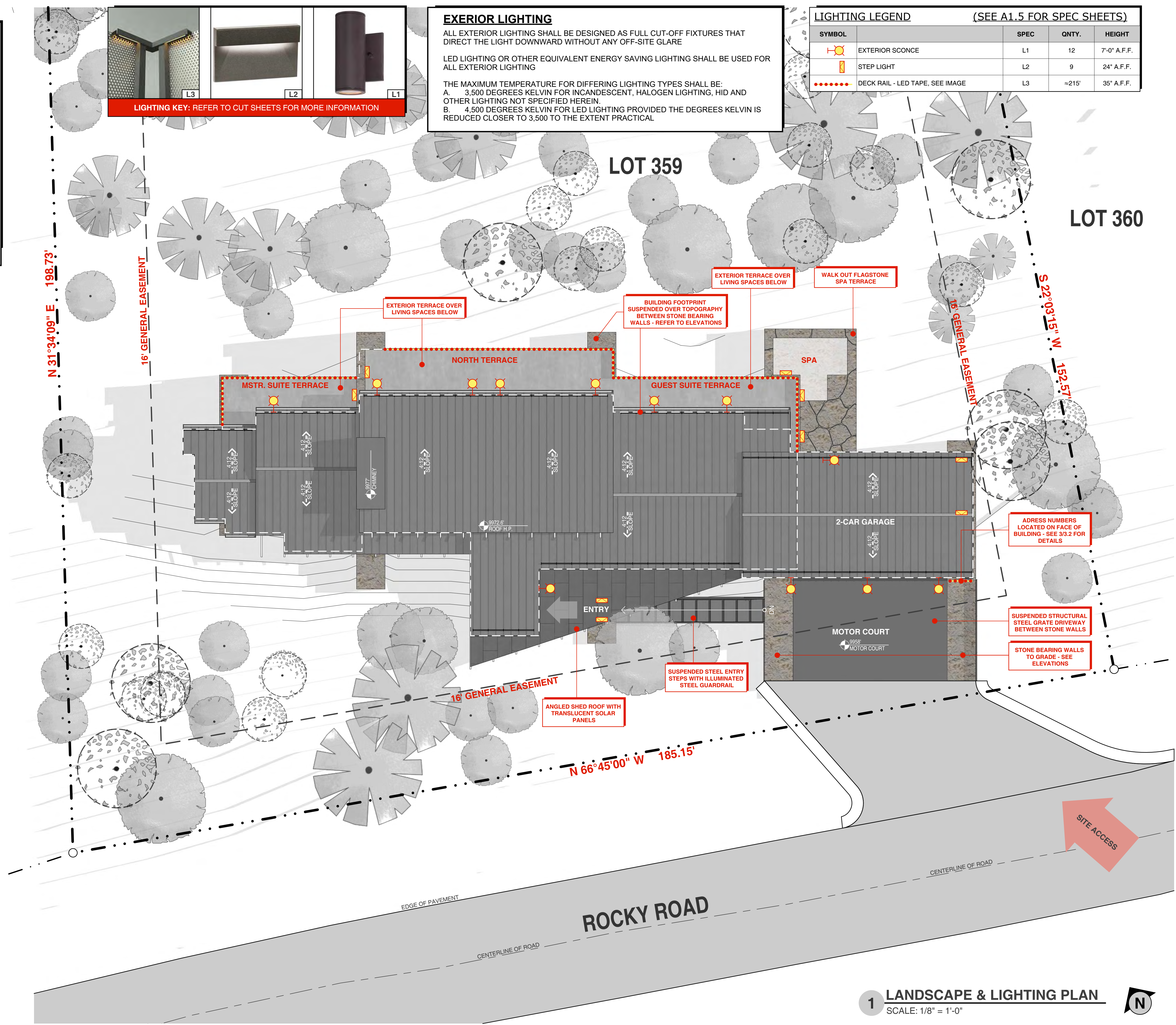
**EXISTING TREE LEGEND**

SYMBOL	DESCRIPTION
	EXISTING FIR TREE
	EXISTING SPRUCE TREE
	EXISTING ASPEN TREE
	EXISTING ASPEN TO BE REMOVED
	EXISTING SPRUCE   FIR TO BE REMOVED

NOTE: SEE SURVEY FOR CALIPER SIZES



LOT 358



**EXTERIOR LIGHTING**

ALL EXTERIOR LIGHTING SHALL BE DESIGNED AS FULL CUT-OFF FIXTURES THAT DIRECT THE LIGHT DOWNWARD WITHOUT ANY OFF-SITE GLARE

LED LIGHTING OR OTHER EQUIVALENT ENERGY SAVING LIGHTING SHALL BE USED FOR ALL EXTERIOR LIGHTING

THE MAXIMUM TEMPERATURE FOR DIFFERING LIGHTING TYPES SHALL BE:

A. 3,500 DEGREES KELVIN FOR INCANDESCENT, HALOGEN LIGHTING, HID AND OTHER LIGHTING NOT SPECIFIED HEREIN.

B. 4,500 DEGREES KELVIN FOR LED LIGHTING PROVIDED THE DEGREES KELVIN IS REDUCED CLOSER TO 3,500 TO THE EXTENT PRACTICAL

**LIGHTING LEGEND (SEE A1.5 FOR SPEC SHEETS)**

SYMBOL	SPEC	QNTY.	HEIGHT
	L1	12	7'-0" A.F.F.
	L2	9	24" A.F.F.
	L3	≈215'	35" A.F.F.



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05.10.2018 DRB 1

**NOT FOR CONSTRUCTION**

---

project  
**L359**

MOUNTAIN VILLAGE  
COLORADO 81435

---

phase  
**LANDSCAPE & LIGHTING PLAN**

---

sheet  
**A1.5**

A1\_Site\_L359 | Printed: 05.15.2018





**L3 CONCEALED RAIL LIGHT**  
SCALE: N/A

**24V Outdoor INVISIBLE Pro Tape**  
By WAC Lighting

**YLIGHTING**  
Call Us 866 428 9289

**Product Options**

Length: 1 Feet, 5 Feet, 10 Feet

**Details**

- 3.5W per foot
- 50,000 hours rated life
- IP-68 rated and UL listed for Wet Locations
- Maximum run length of 28 feet
- May be field cut at the end of a run. To complete your 24V Outdoor INVISIBLE Pro system, select:
- UL Listed Wet
- Made In China

**Additional Details**

**Product URL:**  
<https://www.ylighting.com/24v-outdoor-invisible-pro-tape-by-wac-lighting-WACY16312.html>

**Rating:** UL Listed Wet

**Product ID:** WACY16312

**Prepared by:** \_\_\_\_\_

**Prepared for:** \_\_\_\_\_

**Project:** \_\_\_\_\_

**Room:** \_\_\_\_\_

**Placement:** \_\_\_\_\_

**Approval:** \_\_\_\_\_

Created May 8th, 2018

**L3 CUT SHEET**  
SCALE: N/A

**Skyline LED 1 Light Outdoor Wall Light**  
By The Great Outdoors: Minka-Lavery

**YLIGHTING**  
Call Us 866 428 9289

**Product Options**

Finish: Dorian Bronze, Brushed Aluminum

**Additional Details**

**Product URL:**  
<https://www.ylighting.com/skyline-led-1-light-outdoor-wall-light-by-the-great-outdoors%3A-minka-lavery-TGOY32643.html>

**Rating:** ETL Listed Wet

**Product ID:** TGOY32643

**Prepared by:** \_\_\_\_\_

**Prepared for:** \_\_\_\_\_

**Project:** \_\_\_\_\_

**Room:** \_\_\_\_\_

**Placement:** \_\_\_\_\_

**Approval:** \_\_\_\_\_

Created May 8th, 2018

**Notes:**  
Finish: Bronze | Dimensions: 5"W X 7.5"H, 4" Extension | Backplate: 5"W X 5"H | Lamp: LED, 2700k

**L2 CUT SHEET**  
SCALE: N/A

**Horizontal LED Ledge Step and Wall Light**  
By WAC Lighting

**YLIGHTING**  
Call Us 866 428 9289

**Product Options**

Finish: Black, Bronze, White  
Color Temperature: Amber, 3000K  
Voltage: 120 Volt, 277 Volt

**Details**

- Designed in 2018
- Material: Aluminum
- ADA compliant, Title 24 compliant
- ETL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish
- Made In China

**Dimensions**

120 Volt Option Fixture: Width 5", Height 3.13", Depth 1.88"  
277 Volt Option Fixture: Width 5", Height 3.13", Depth 1.88"

**Lighting**

- 3000K Option: 3.5 Watt (68 Lumens) 120 Volt Integrated LED; CR: 90 Color Temp: 3000K
- 3000K Option: 3.5 Watt (68 Lumens) 277 Volt Integrated LED; CR: 90 Color Temp: 3000K

**Additional Details**

**Product URL:**  
<https://www.ylighting.com/horizontal-led-ledge-step-and-wall-light-by-wac-lighting-WACP201359.html>

**Rating:** ETL Listed Wet

**Product ID:** WACP201359

**Prepared by:** \_\_\_\_\_

**Prepared for:** \_\_\_\_\_

**Project:** \_\_\_\_\_

**Room:** \_\_\_\_\_

**Placement:** \_\_\_\_\_

**Approval:** \_\_\_\_\_

Created May 8th, 2018

**Notes:**  
Finish: bronze | Dimensions: 120 Volt Fixture: W 5 in., H 3.13 in., D 1.88 in. | Lamp: LED, 3000k

**L2 CUT SHEET**  
SCALE: N/A

**NARCIS TUDOR ARCHITECTS**

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02.06.2018 PRELIMINARY BID SET  
05.10.2018 DRB 1

**NOT FOR CONSTRUCTION**

project  
**L359**

**MOUNTAIN VILLAGE COLORADO 81435**

phase  
**EXTERIOR LIGHTING SPECS**

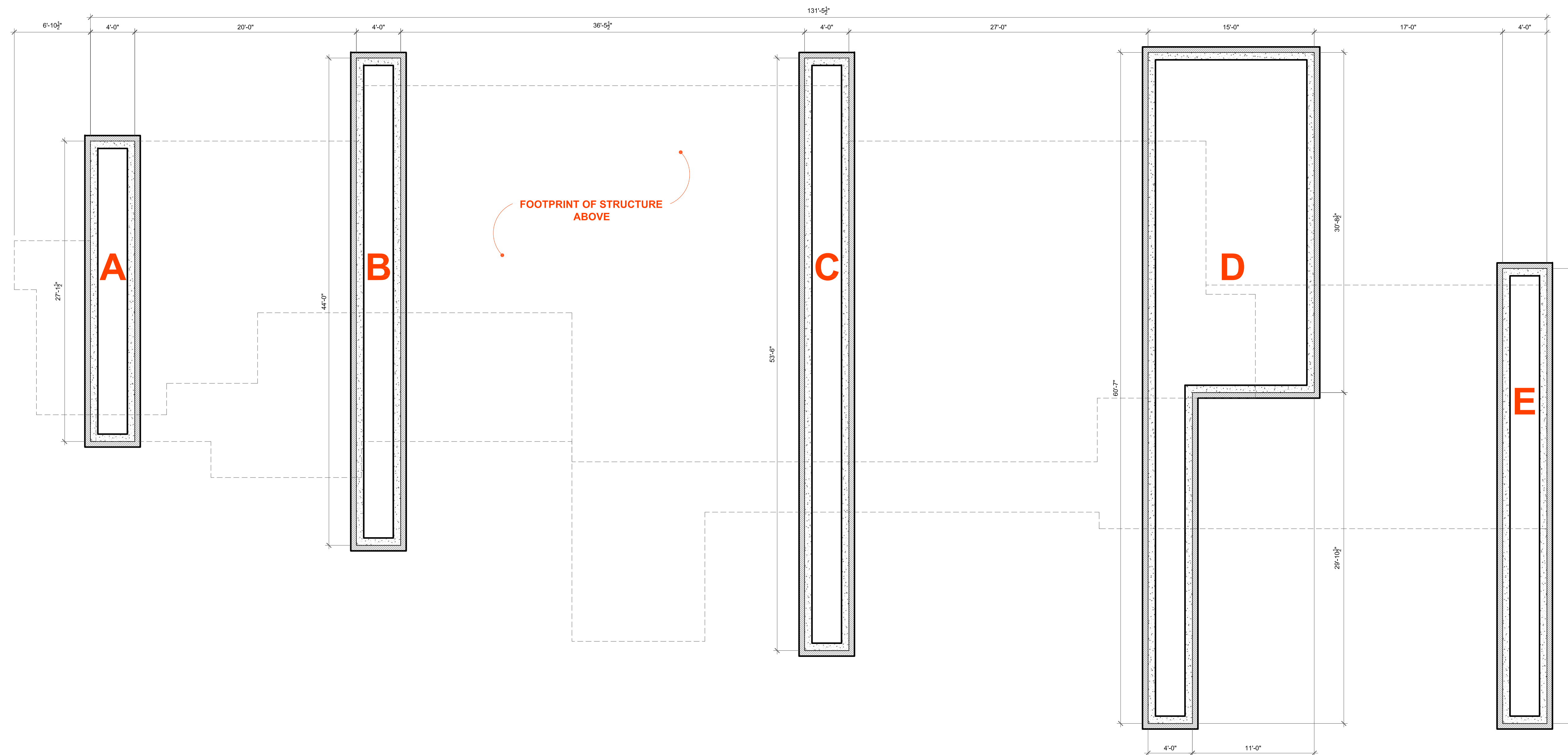
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A1\_Shp\_L359 | Printed: 05.15.2018

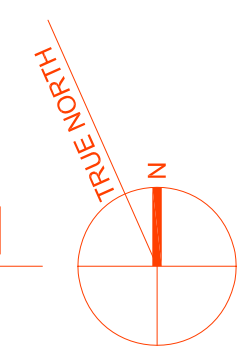


## FLOOR PLAN GENERAL NOTES

- CONTRACTOR AND ALL SUBCONTRACTORS TO REVIEW "GENERAL NOTES AND SPECIFICATIONS" PRIOR TO COMMENCEMENT OF ANY WORK
- CONTRACTOR TO REVIEW AND COMPARE ALL REFERENCED AND INTERDISCIPLINARY DRAWINGS AS WELL AS EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT PRIOR TO ANY EXECUTION OF WORK
- ALL DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF FRAMING
- BLOCKING TO BE PROVIDED FOR ALL CABINETS AND WALL MOUNTED ACCESSORIES AS WELL AS NON-STRUCTURAL MEMBERS
- TYPE 'X' GYPSUM WALL BOARD AT ALL RATED MECHANICAL LOCATIONS AND GARAGE IF ADJACENT TO LIVING SPACE
- ALL FRAMING LAYOUTS TO FOLLOW STRUCTURAL PLANS, HEADER ALL JOISTS WHICH INTERFERE WITH PLUMBING OR MECHANICAL AS NECESSARY
- REFER TO STRUCTURAL FOR STONE SUPPORTS. ALL STONE SUPPORT TO BE 6" MIN. BELOW FINISHED GRADE
- WHERE APPLICABLE, ALL WINDOW WELLS TO BE 36" MINIMUM CLEAR. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
- ALL EGRESS WINDOW OPENINGS TO BE 42" MAXIMUM FROM FINISHED FLOOR TO BOTTOM OF OPENING. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
- ALL ROOFS TO BE SHOVELED AT 6" OR MORE SNOW ACCUMULATION.
- ALL VALLEYS, LOW PITCHED ROOFS, GUTTERS AND DOWNSPOUTS TO BE HEATED - TYP.
- ALL WINDOW WELLS, PLANTERS AND ANY HARDSCAPE REQUIRING DRAINAGE TO BE DRAINED TO DAYLIGHT - TYP. UNO.
- PERIMETER DRAINS TO BE PROVIDED AT ALL FOOTERS - TYPICAL.
- BUILT IN CABINETS SHOWN IN PLAN FOR LAYOUT AND QUANTITATIVE PURPOSES
- FURR WALLS AS NECESSARY FOR ALIGNMENT WITH SOFFITS AND SURROUNDING WALLS, SPRING POINTS, ETC - TYP. FOR CLEAN CONDITIONS
- INTERIOR CASING TO REMAIN FULL PROFILE AROUND OPENINGS; ADJUST OPENING LOCATION AS NECESSARY AND NOTIFY ARCHITECT.
- WHERE APPLICABLE, REFER TO REFLECTED CEILING PLANS FOR TIMBER RAFTER AND TIMBER TRELLIS SPACING - TYP.
- ALL INTERIOR DOORS AND OPENINGS TO BE CENTERED WITHIN THEIR RESPECTIVE SPACES TYP. UNO
- REFER TO STRUCTURALS, DETAILS & NOTES FOR CONSTRUCTION ASSEMBLIES
- REFER TO SCHEDULES AND ELEVATIONS FOR WINDOW AND EXTERIOR DOOR INFORMATION
- WHERE APPLICABLE, REFER TO MECHANICAL DIAGRAM DRAWINGS FOR EXTERIOR SNOW-MELT AREAS
- ALL FRAMING TO BE 2X4 UNO. PLUMBING WALLS TO BE 2X6 UNO. ALL FURRING AT CONCRETE WALLS TO BE FLAT FURRING (1 1/2") UNO.
- REFER TO LARGER SCALE GRAPHICS FOR SPECIFIC INFORMATION
- CLEARANCES TO PLUMBING FIXTURES TO BE 32-36" MIN. - TYP AT ALL CONDITIONS
- ALL EXTERIOR SPACES (TERRACES, PATIOS, BALCONIES, DECKS, ETC.) SHALL HAVE A MIN. FINISH FLOOR 1" BELOW INTERIOR FINISH FLOOR - TYP. AND SHALL SLOPE AWAY FROM THE BUILDING
- ALL INTERIOR FINISH FLOORS TO BE FLUSH AT EACH LEVEL - ADJUST SLAB / FRAMING AS NECESSARY
- CONTRACTOR AND ALL SUB-CONTRACTORS TO REVIEW ALL DRAWINGS AND VERIFY WITH AS-BUILT / EXISTING CONDITIONS AS DIMENSIONS MAY VARY



1 FOUNDATION BAR DIMENSIONED PLAN  
SCALE: 3/16" = 1'-0"



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submissions  
10.18.2017 DRC WORKSESSION  
02.06.2018 PRELIMINARY BID SET  
05.10.2018 DRB 1

NOT FOR CONSTRUCTION

L359

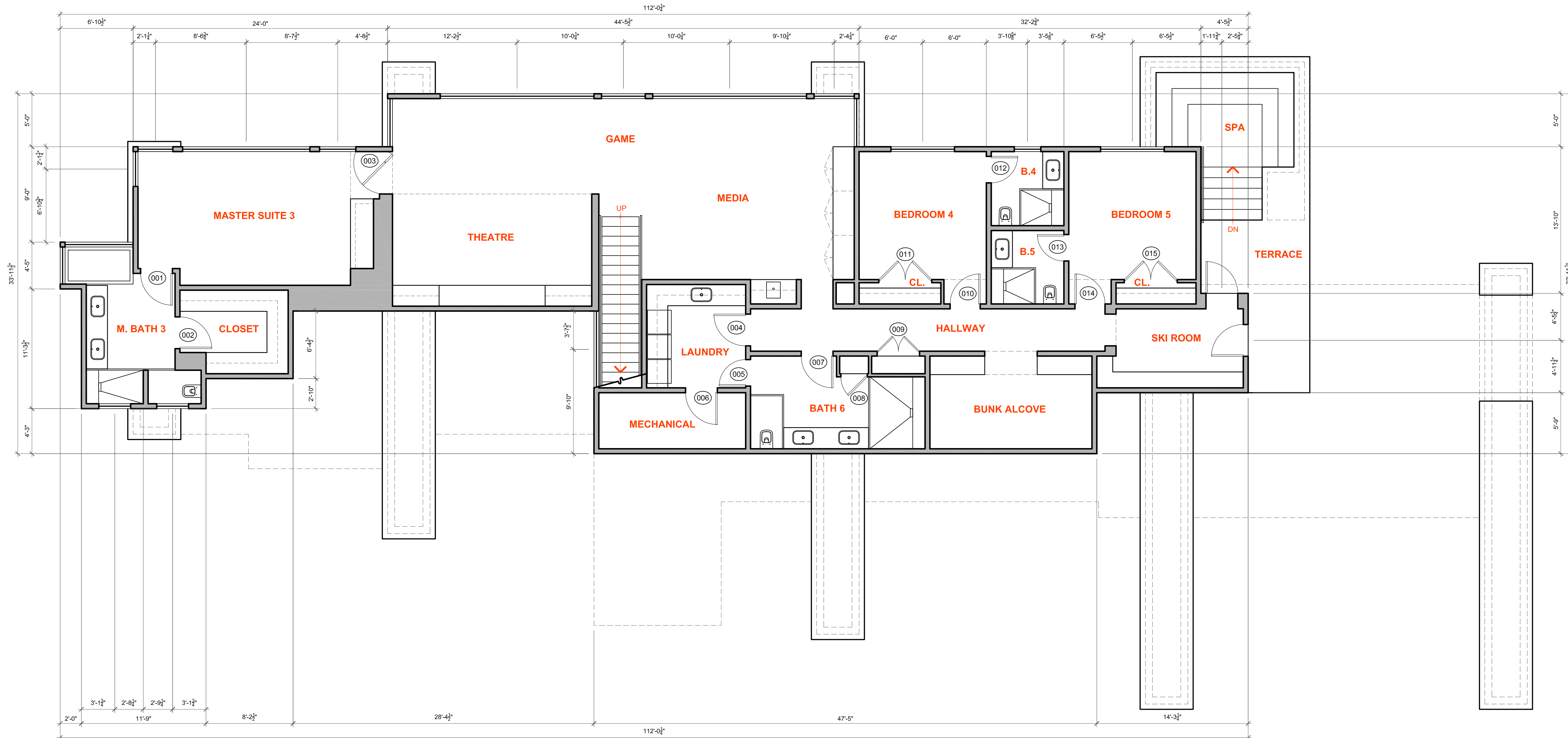
MOUNTAIN VILLAGE  
COLORADO 81435

FOUNDATION  
BAR  
PLAN

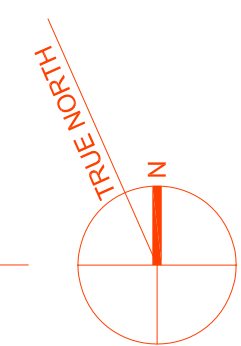
A2.0D

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- ALL FRAMING LAYOUTS TO FOLLOW STRUCTURAL PLANS, HEADER ALL JOISTS WHICH INTERFERE WITH PLUMBING OR MECHANICAL AS NECESSARY
- REFER TO STRUCTURAL FOR STONE SUPPORTS. ALL STONE SUPPORT TO BE 6" MIN. BELOW FINISHED GRADE
- WHERE APPLICABLE, ALL WINDOW WELLS TO BE 36" MINIMUM CLEAR. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
- ALL EGRESS WINDOW OPENINGS TO BE 42" MAXIMUM FROM FINISHED FLOOR TO BOTTOM OF OPENING. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
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**1 LOWER LEVEL DIMENSIONED PLAN**  
 SCALE: 3/16" = 1'-0"  
 LIVABLE AREA - 2648 SF  
 NON-LIVABLE - 92 SF



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**L359**

MOUNTAIN VILLAGE  
 COLORADO 81435

**LOWER LEVEL DIMENSION**

**A2.1D**



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INT. CONCEPT



INT. DOOR



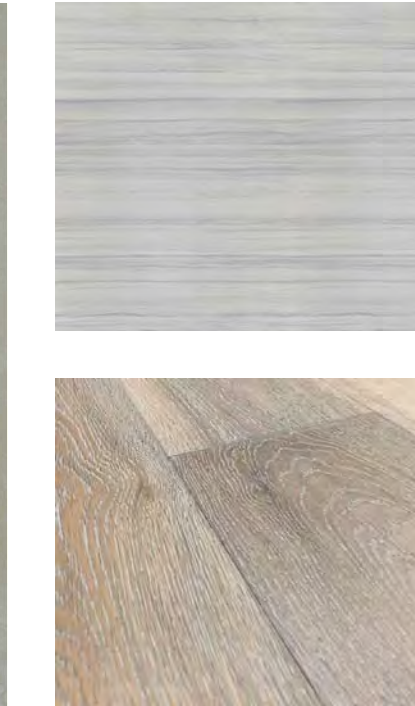
CABINET TO DETAIL



MOSA TILE



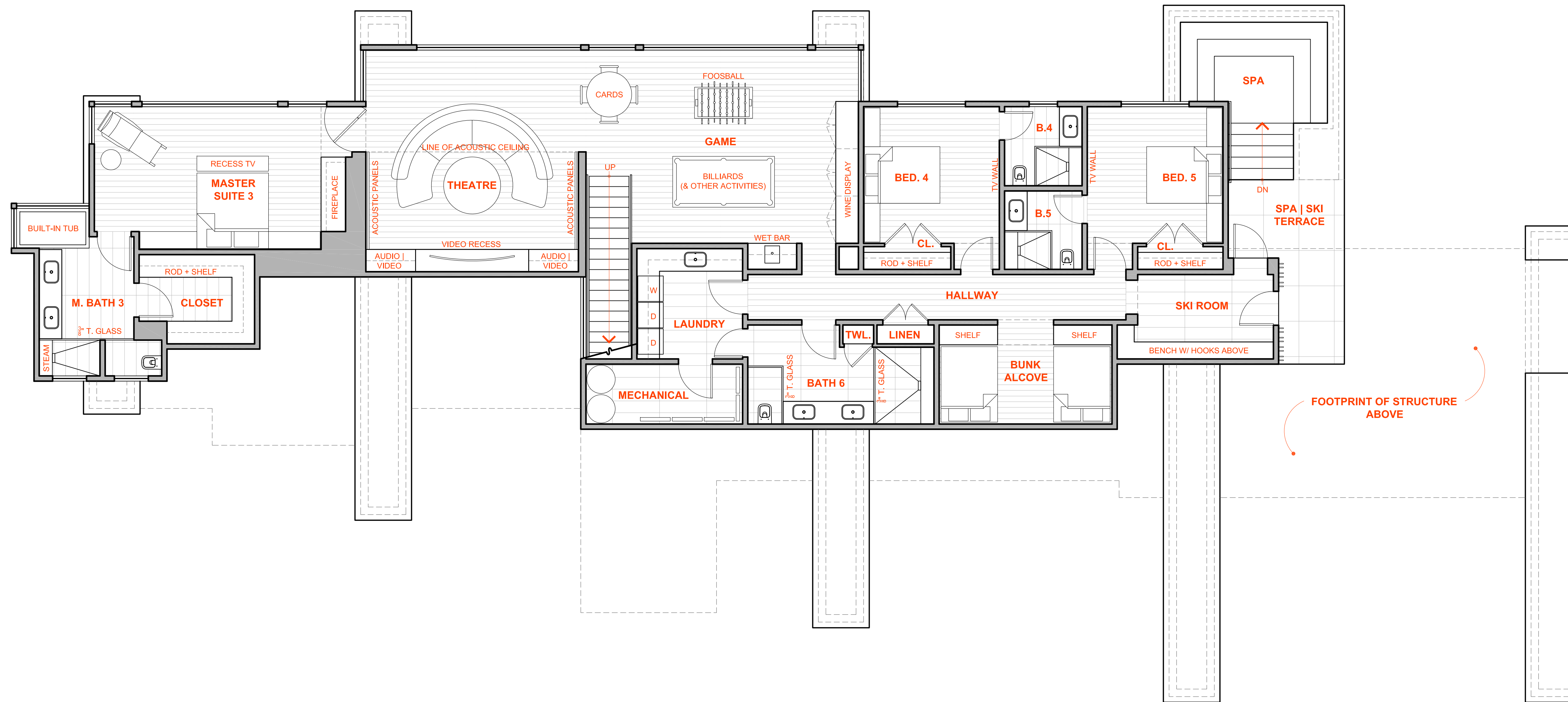
PLASTER



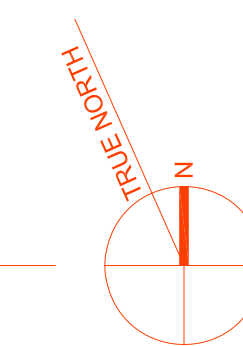
WHITE OAK



WALNUT



1 LOWER LEVEL FINISH PLAN  
SCALE: 3/16" = 1'-0"



submissions  
10.18.2017 DRC WORKSESSION  
02.06.2018 PRELIMINARY BID SET  
05.10.2018 DRB 1

NOT FOR CONSTRUCTION

L359

MOUNTAIN VILLAGE  
COLORADO 81435

LOWER LEVEL FINISH

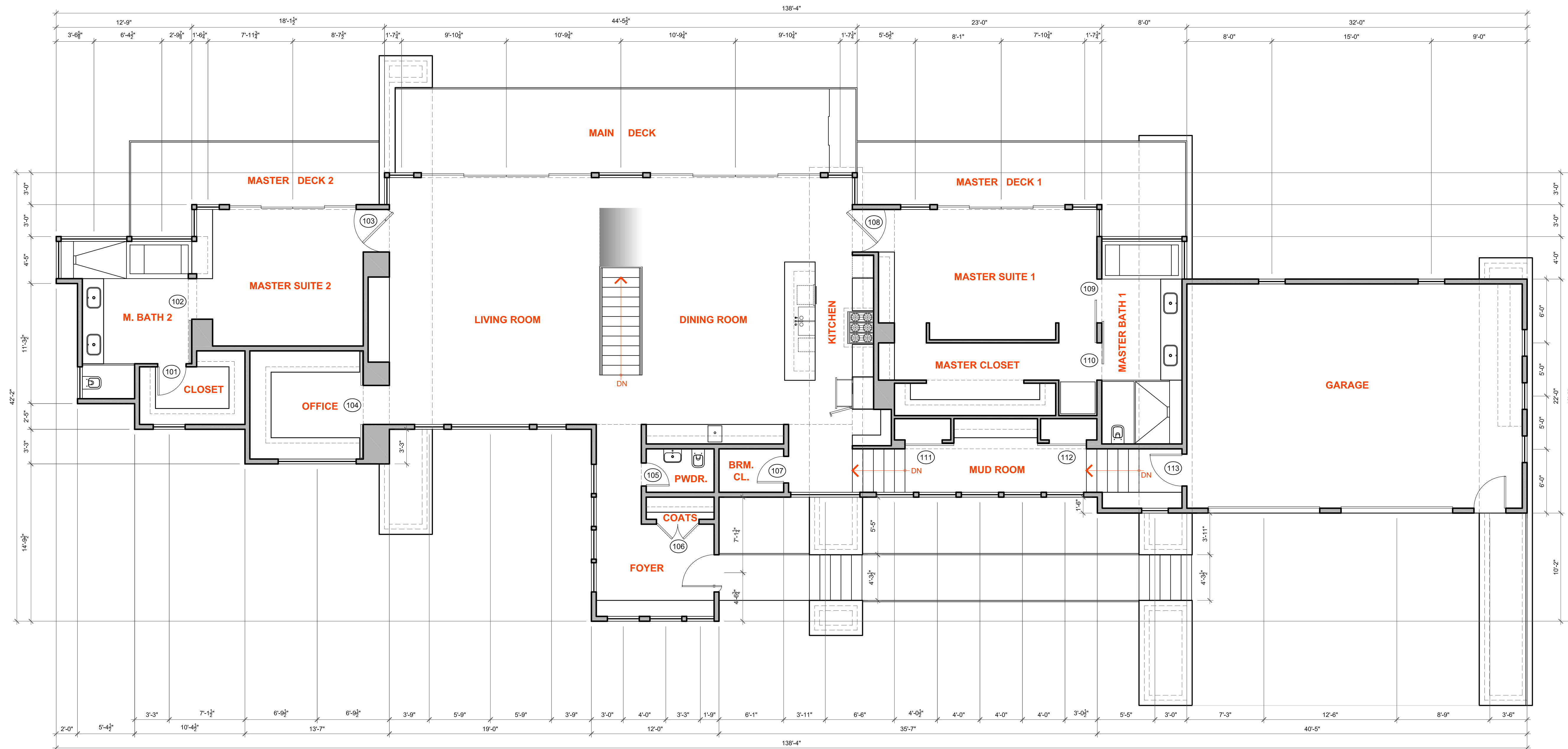
A2.1F

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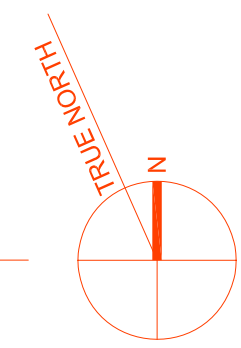


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**1 MAIN LEVEL DIMENSIONED PLAN**  
 SCALE: 3/16" = 1'-0"  
 LIVABLE AREA - 2831 SF  
 NON-LIVABLE - 704 SF



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L359

MOUNTAIN VILLAGE  
 COLORADO 81435

MAIN LEVEL DIMENSION

A2.2D



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INT. CONCEPT



INT. DOOR



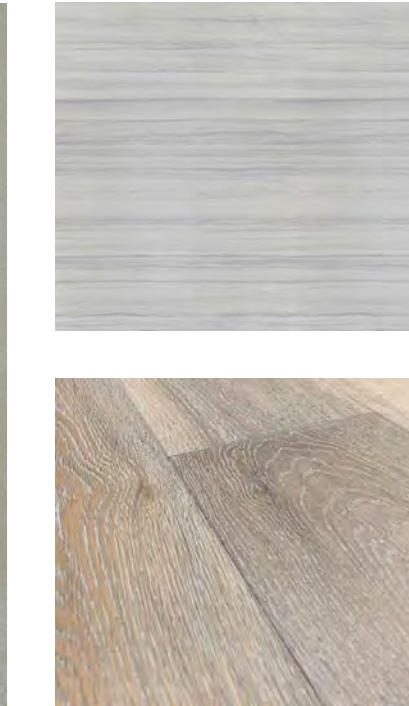
CABINET TO DETAIL



MOSA TILE



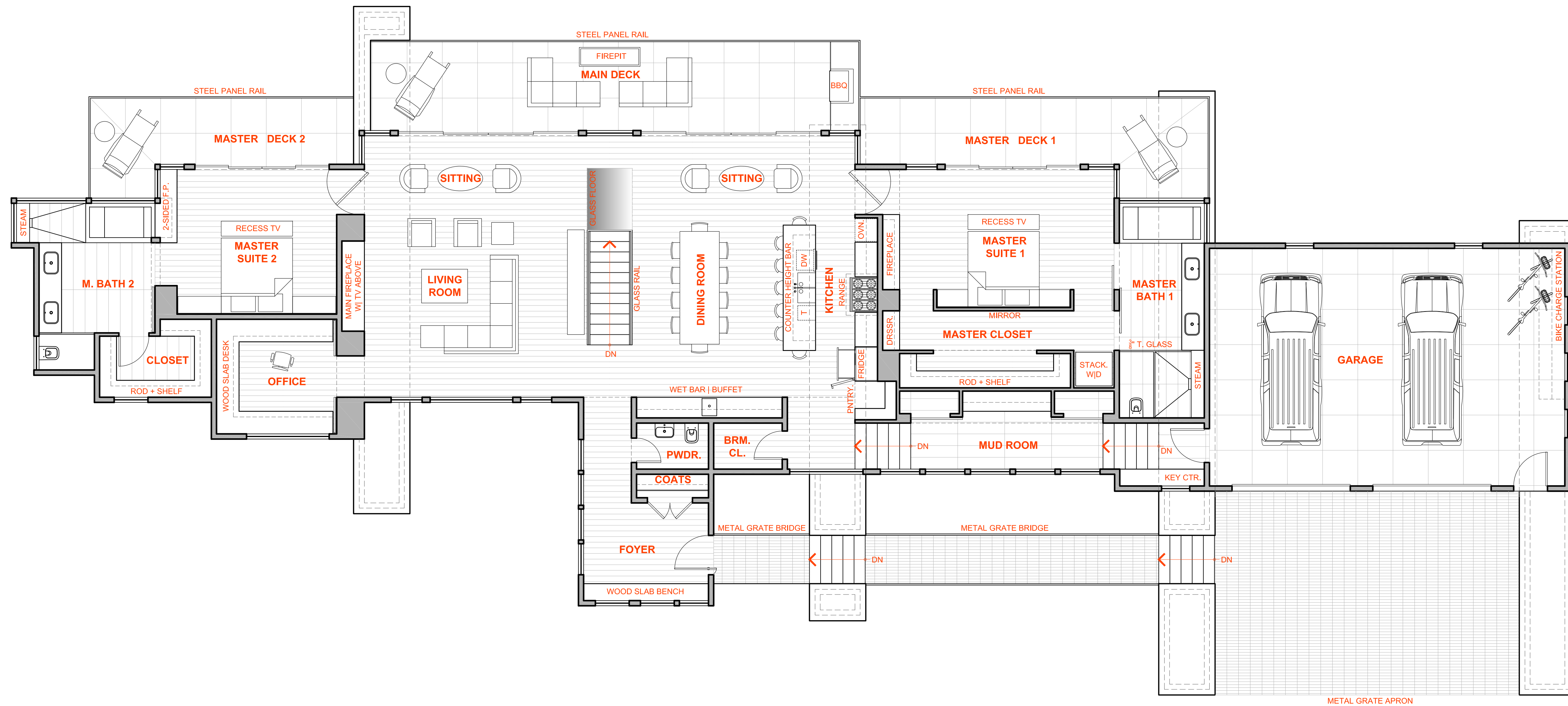
PLASTER



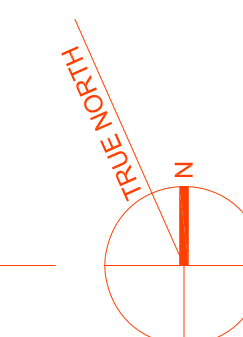
WHITE OAK



WALNUT



1 MAIN LEVEL FINISH PLAN  
SCALE: 3/16" = 1'-0"



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NOT FOR CONSTRUCTION

L359

MOUNTAIN VILLAGE  
COLORADO 81435

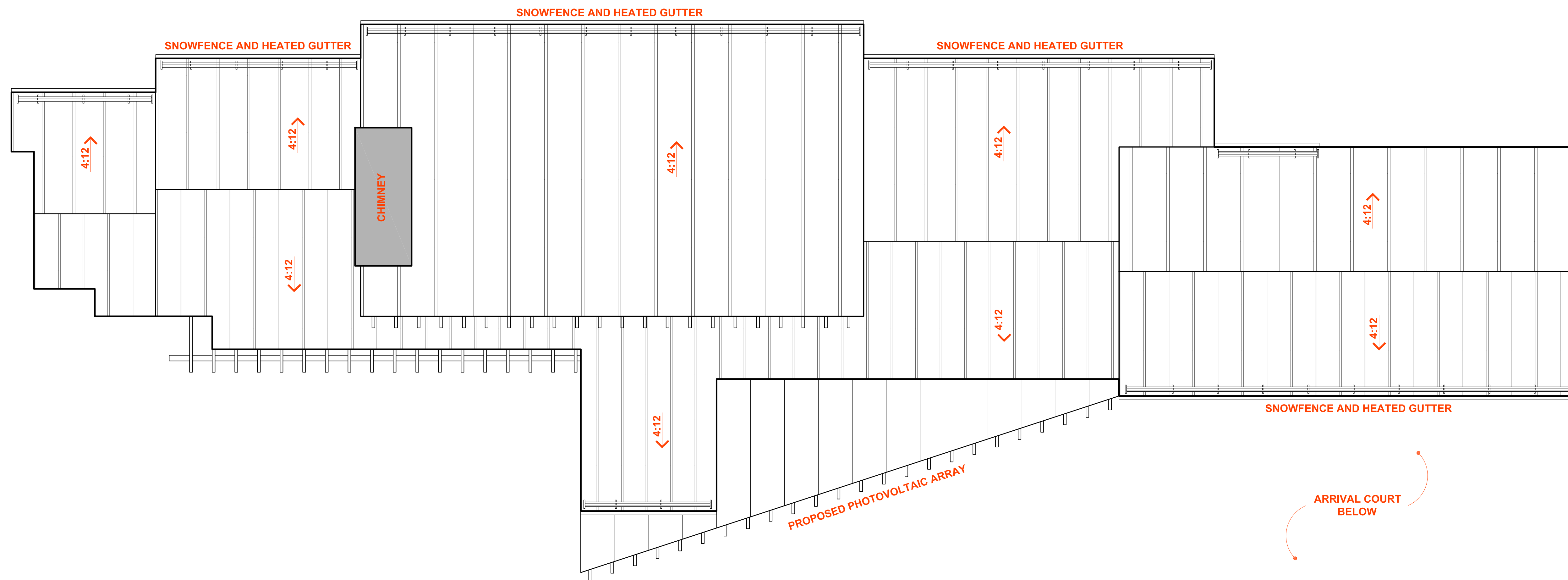
MAIN LEVEL FINISH

A2.2F

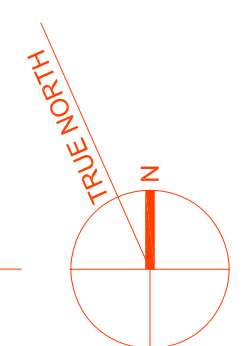


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1 OVERALL ROOF PLAN  
SCALE: 3/16" = 1'-0"



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L359

MOUNTAIN VILLAGE  
COLORADO 81435

ROOF PLAN

A2.3





**1 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

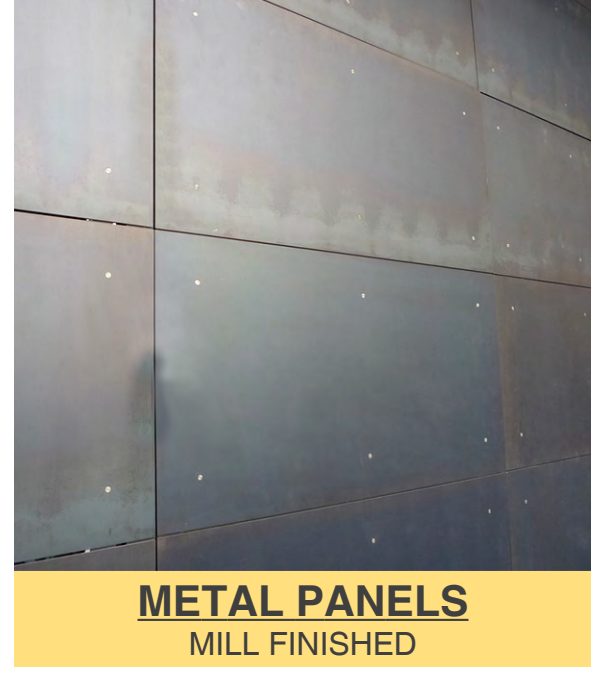
**STANDING SEAM ROOF**  
BONDERIZED



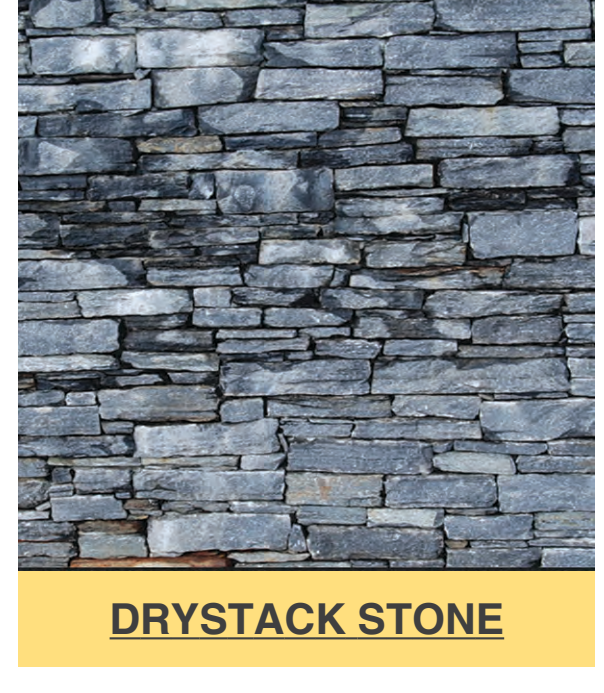
**1X6 VERT. WOOD SIDING**  
NATURAL GRAY



**METAL ACCENTS**  
MILL FINISHED



**METAL PANELS**  
MILL FINISHED



**DRystack STONE**

MATERIAL SUMMARY						
MEASURED IN SQ. FT.	NORTH	EAST	SOUTH	WEST	TOTAL	PERCENTAGE
STONE VENEER	728.9	2165.6	186.7	2126.1	5207.3	41.8%
FENESTRATION	1684.9	221.0	564.0	307.4	2777.3	22.3%
SIDING	890.0	562.8	2189.9	825.1	4467.8	35.8%
METAL PANEL SIDING	340.1	214.9	236.4	79.1	870.5	6.9%
TOTAL VERTICAL SURFACE					12452.4	100.0%



**2 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"

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submissions  
10.18.2017 DRC WORKSESSION  
02.06.2018 PRELIMINARY BID SET  
05.10.2018 DRB 1

NOT FOR CONSTRUCTION

project  
**L359**

MOUNTAIN VILLAGE  
COLORADO 81435

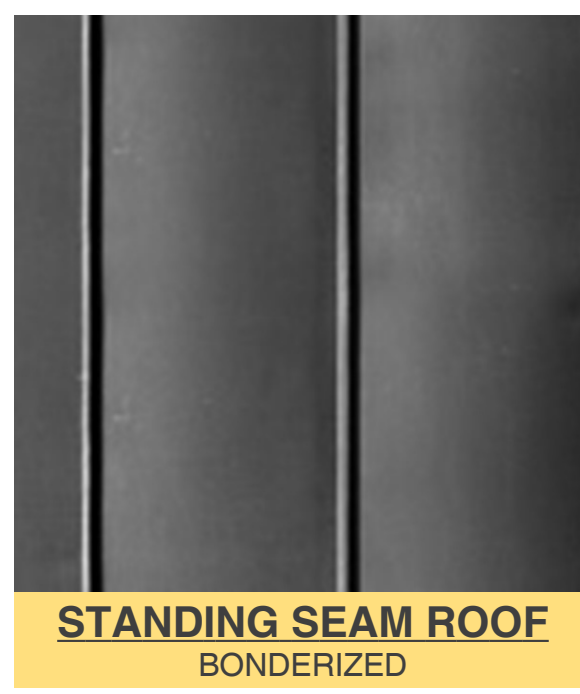
phase  
**EXTERIOR ELEVATIONS**

sheet  
**A3.1**





**1 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**STANDING SEAM ROOF**  
BONDERIZED



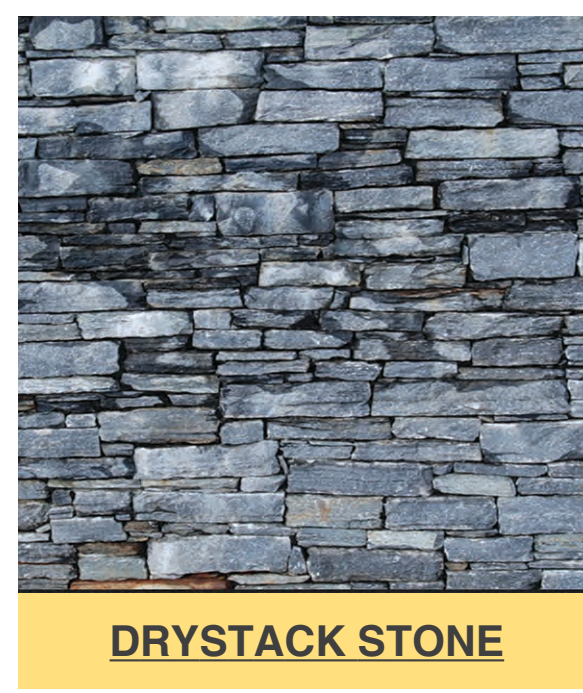
**1X6 VERT. WOOD SIDING**  
NATURAL GRAY



**METAL PANELS**  
MILL FINISHED

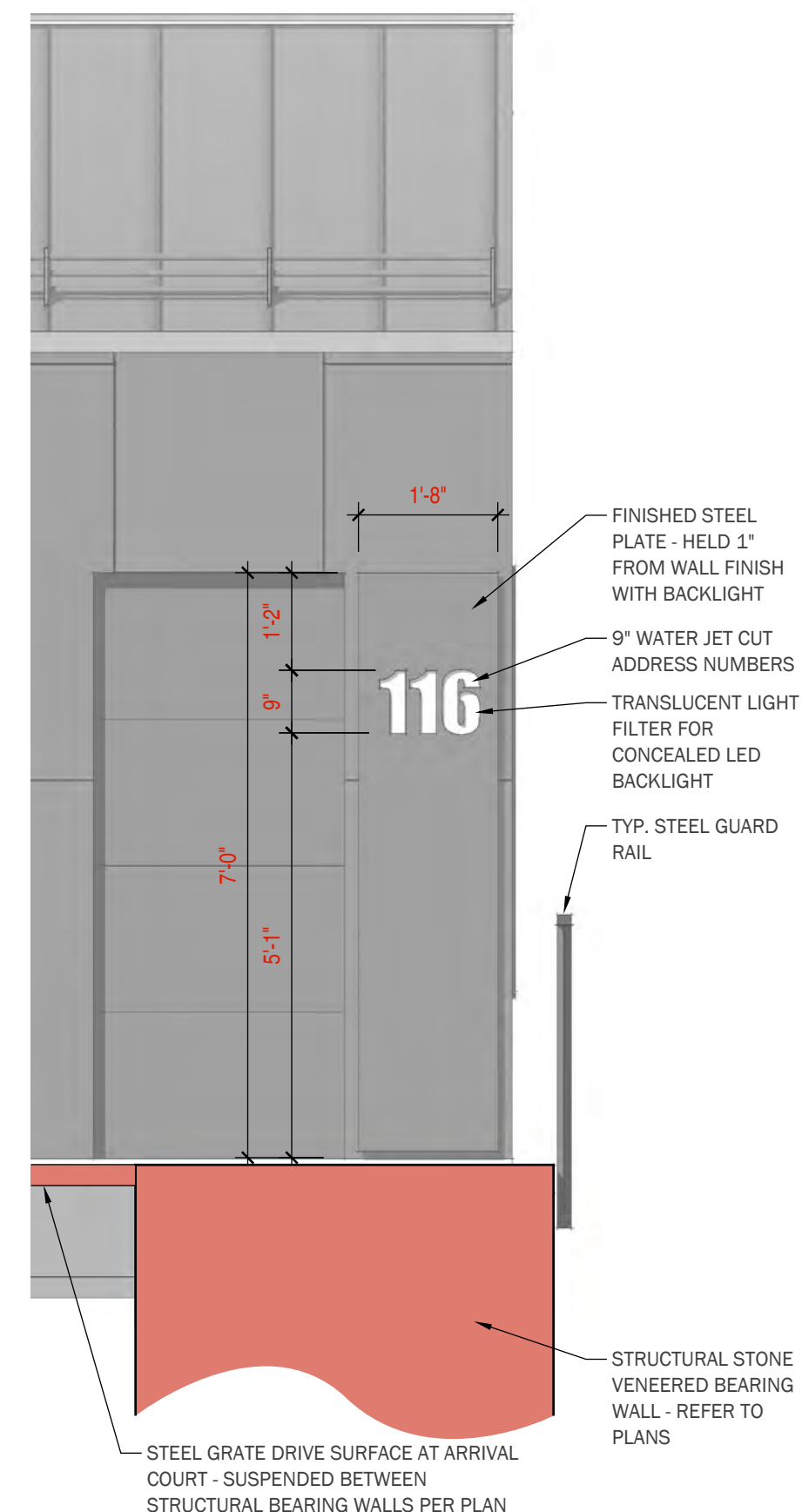


**METAL ACCENTS**  
MILL FINISHED

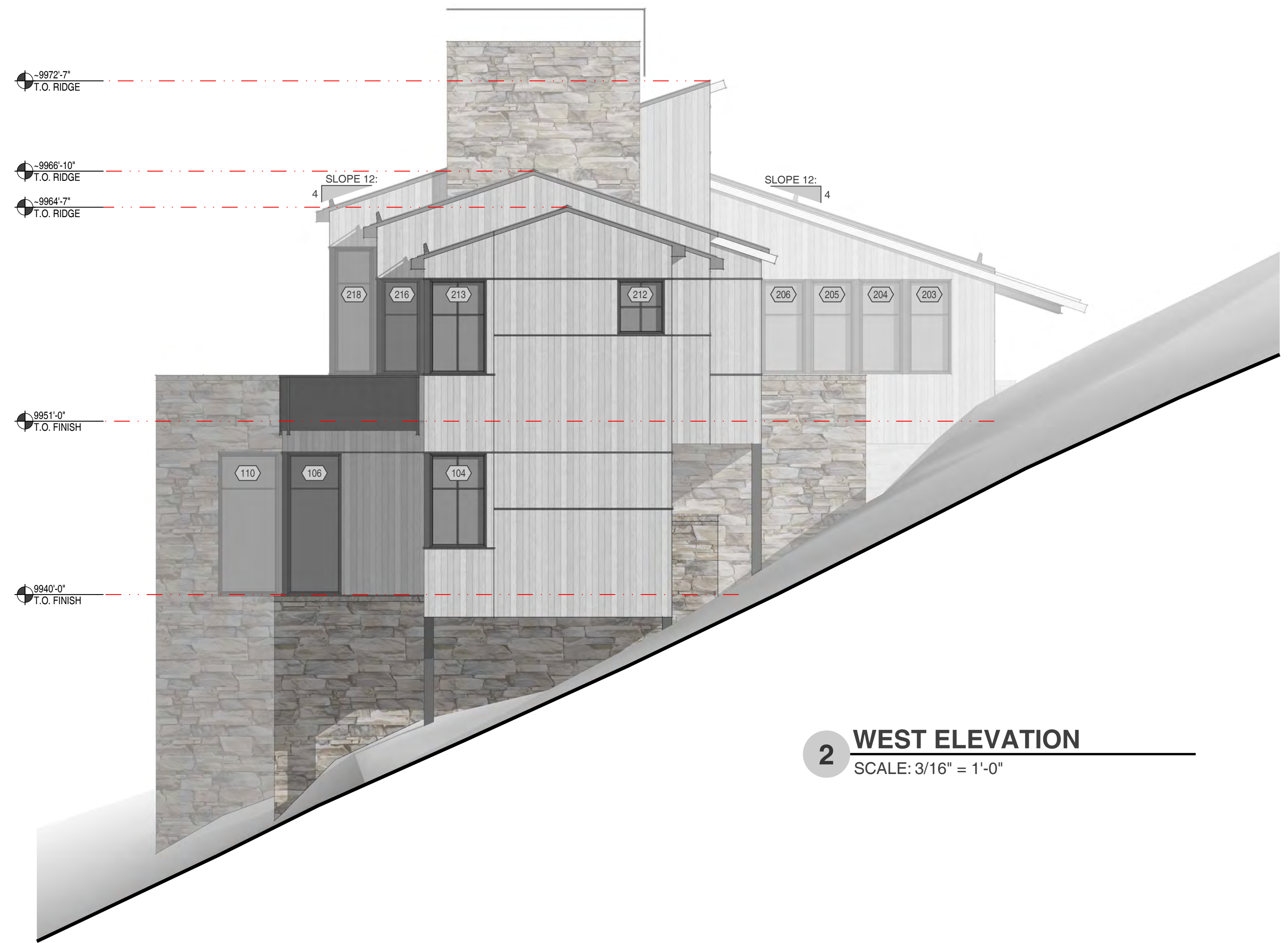


**DRystack STONE**

MATERIAL SUMMARY						
MEASURED IN SQ. FT.	NORTH	EAST	SOUTH	WEST	TOTAL	PERCENTAGE
STONE VENEER	728.9	2165.6	186.7	2126.1	5207.3	41.8%
FENESTRATION	1684.9	221.0	564.0	307.4	2777.3	22.3%
SIDING	890.0	562.8	2189.9	825.1	4467.8	35.8%
METAL PANEL SIDING	340.1	214.9	236.4	79.1	870.5	6.9%
TOTAL VERTICAL SURFACE					12452.4	100.0%



**3 ADDRESS MONUMENT**  
SCALE: 1/2" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"

submissions  
10.18.2017 DRC WORKSESSION  
02.06.2018 PRELIMINARY BID SET  
05.10.2018 DRB 1

NOT FOR CONSTRUCTION

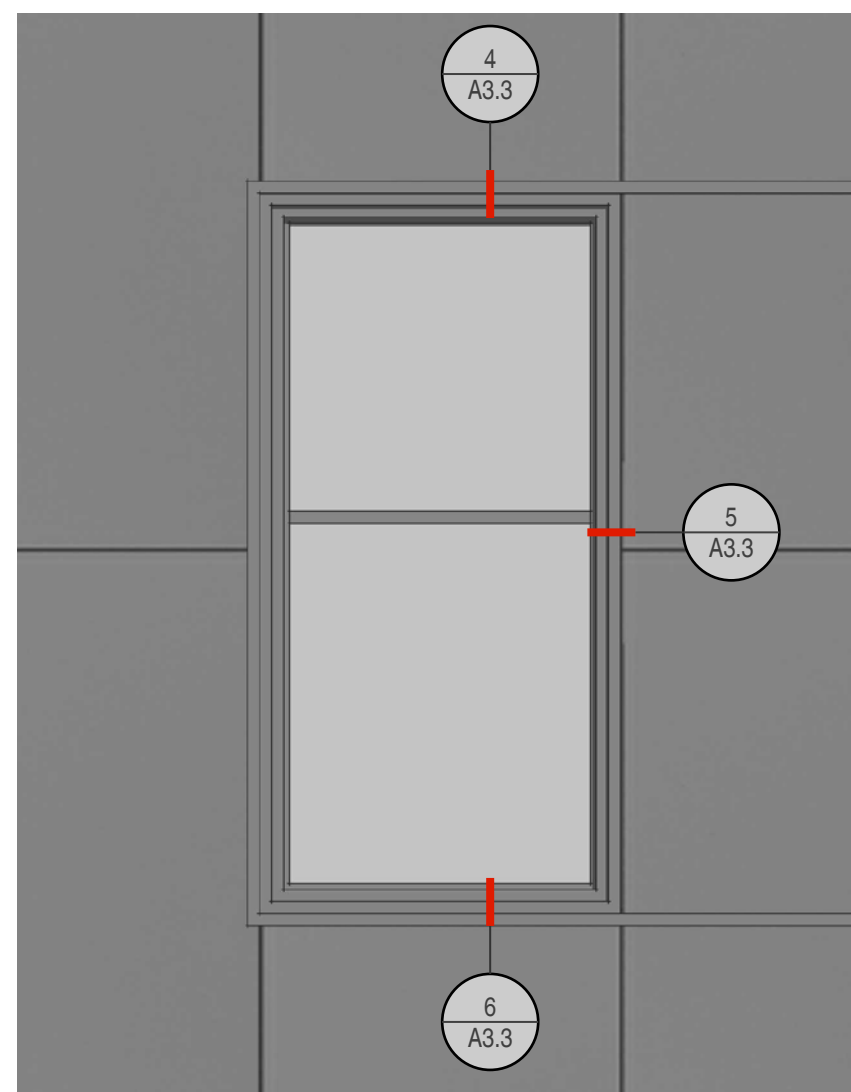
project  
**L359**

MOUNTAIN VILLAGE  
COLORADO 81435

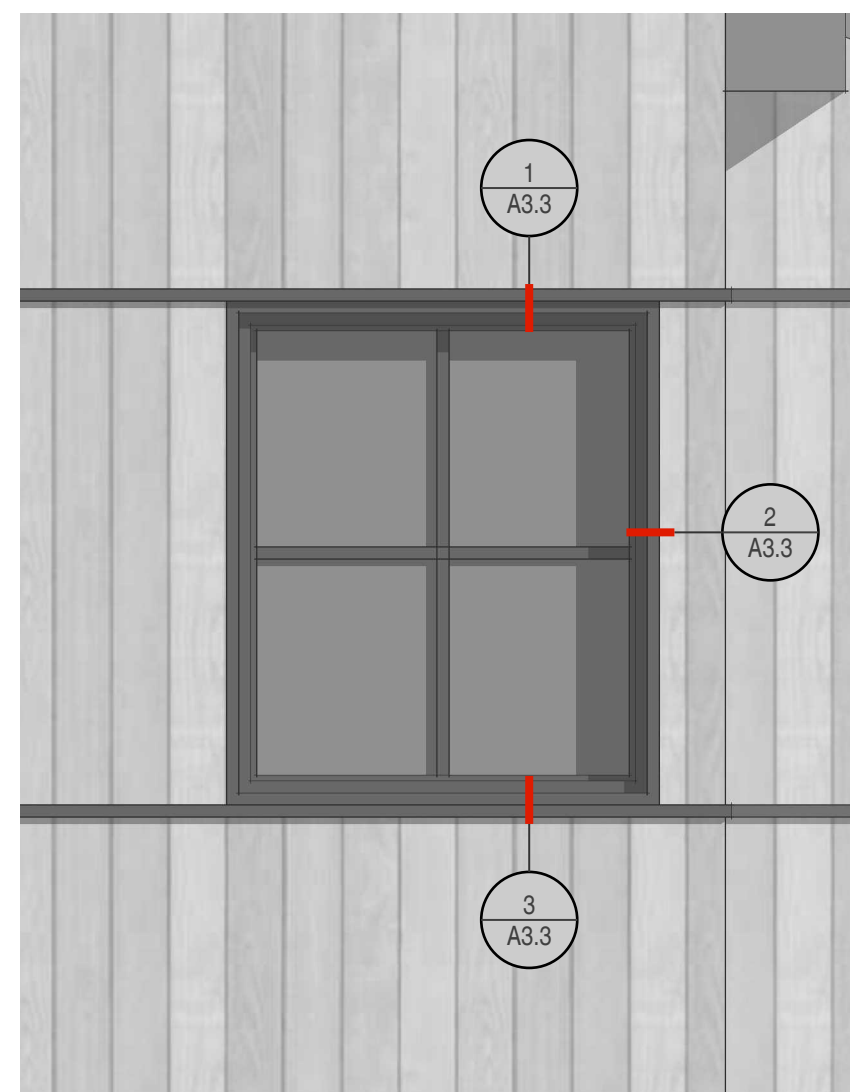
phase  
**EXTERIOR ELEVATIONS**

sheet  
**A3.2**





**8 STEEL PANELS**  
SCALE: 3/4" = 1'-0"



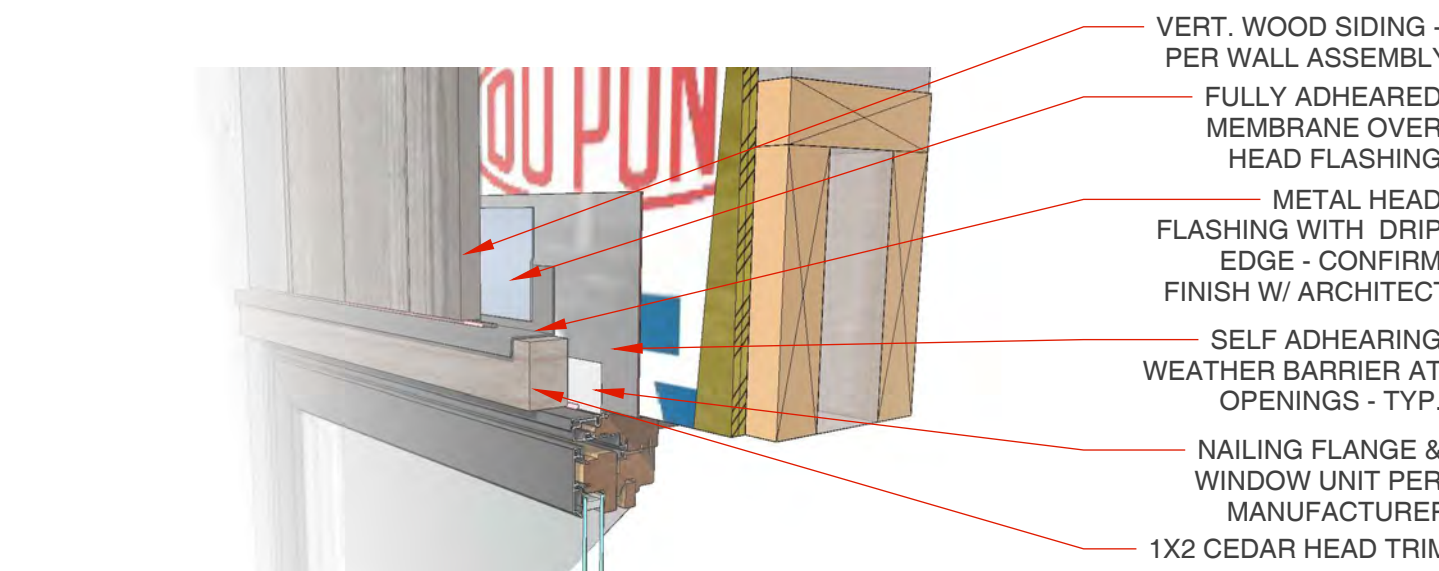
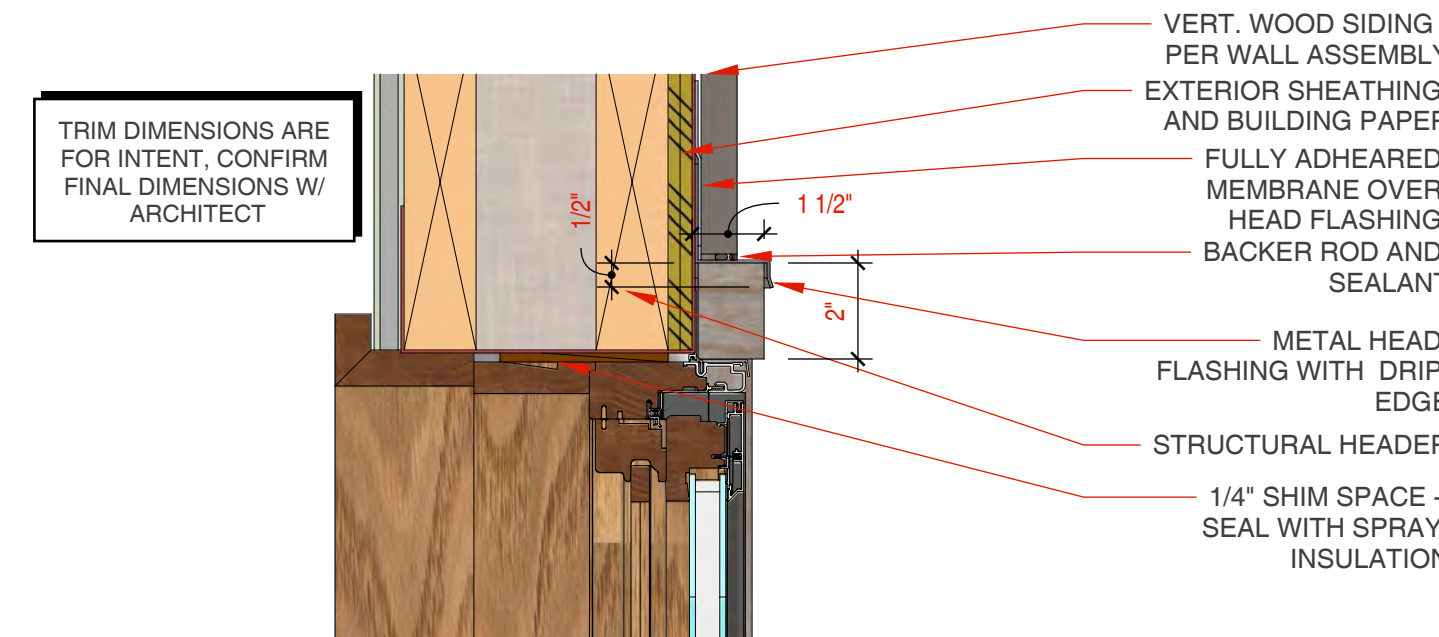
**7 VERT. WOOD SIDING**  
SCALE: 3/4" = 1'-0"

**EXTERIOR DOOR SCHEDULE**

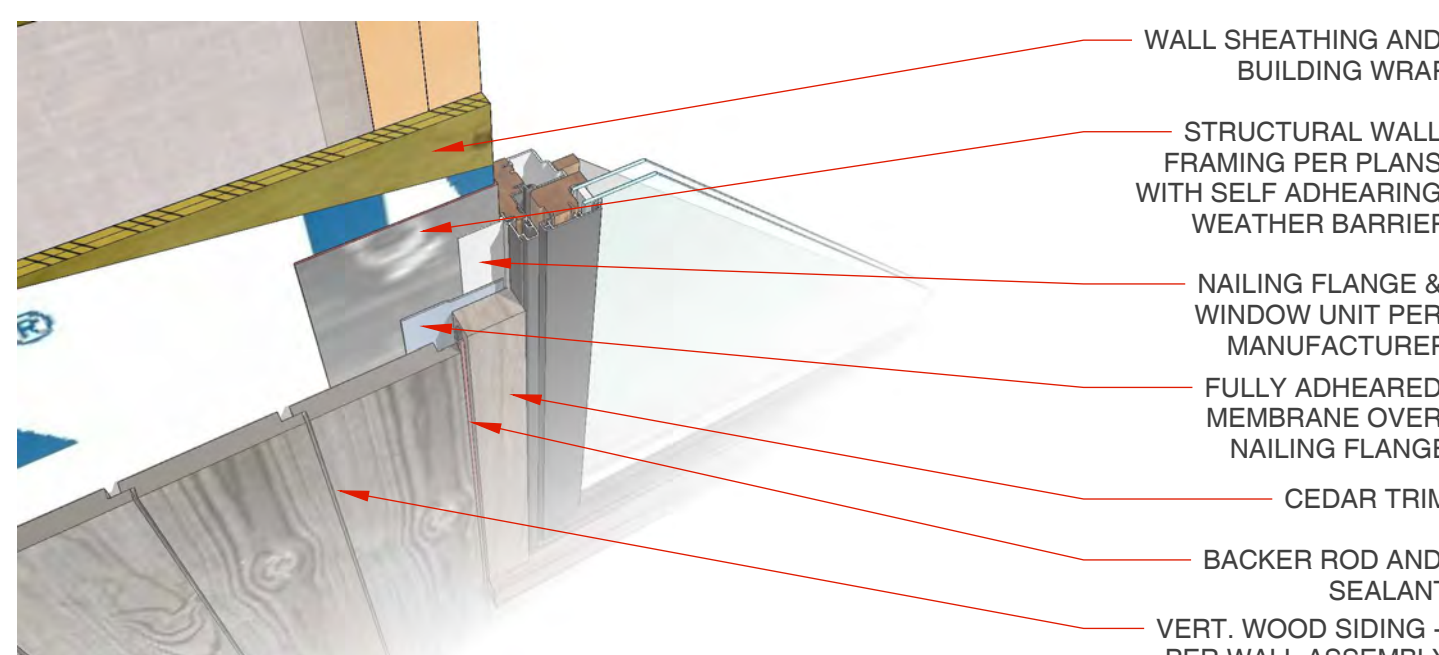
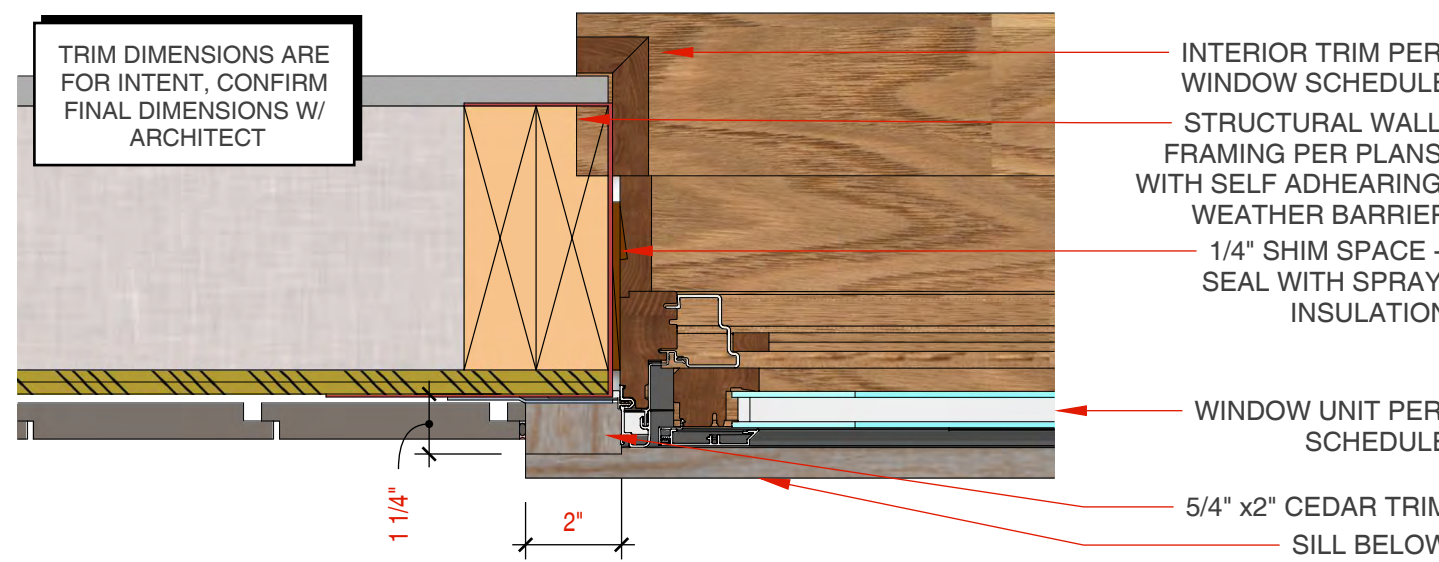
TAG	FRAME WIDTH	FRAME HEIGHT	HEAD HEIGHT	TYPE	HAND	DESCRIPTION	NOTES
<b>LEVEL 01</b>							
101	3' 0"	9' 0"	9' 2 1/4"	SWING			
102	3' 0"	9' 0"	9' 2 1/4"	SWING			
<b>LEVEL 02</b>							
201	3' 6"	9' 0"	9' 2 1/4"	PIVOT			
202	12' 0"	9' 0"	9' 2 1/4"	LIFT & SLIDE			
203	16' 0"	11' 0"	11' 2 1/4"	LIFT & SLIDE			
204	16' 0"	11' 0"	11' 2 1/4"	LIFT & SLIDE			
205	12' 0"	11' 0"	11' 2 1/4"	LIFT & SLIDE			
206	3' 0"	7' 0"	7' 2 1/4"	SWING			
207	10' 6"	7' 0"	7' 2 1/4"	OVERHEAD			
208	10' 6"	7' 0"	7' 2 1/4"	OVERHEAD			

**EXTERIOR WINDOW SCHEDULE**

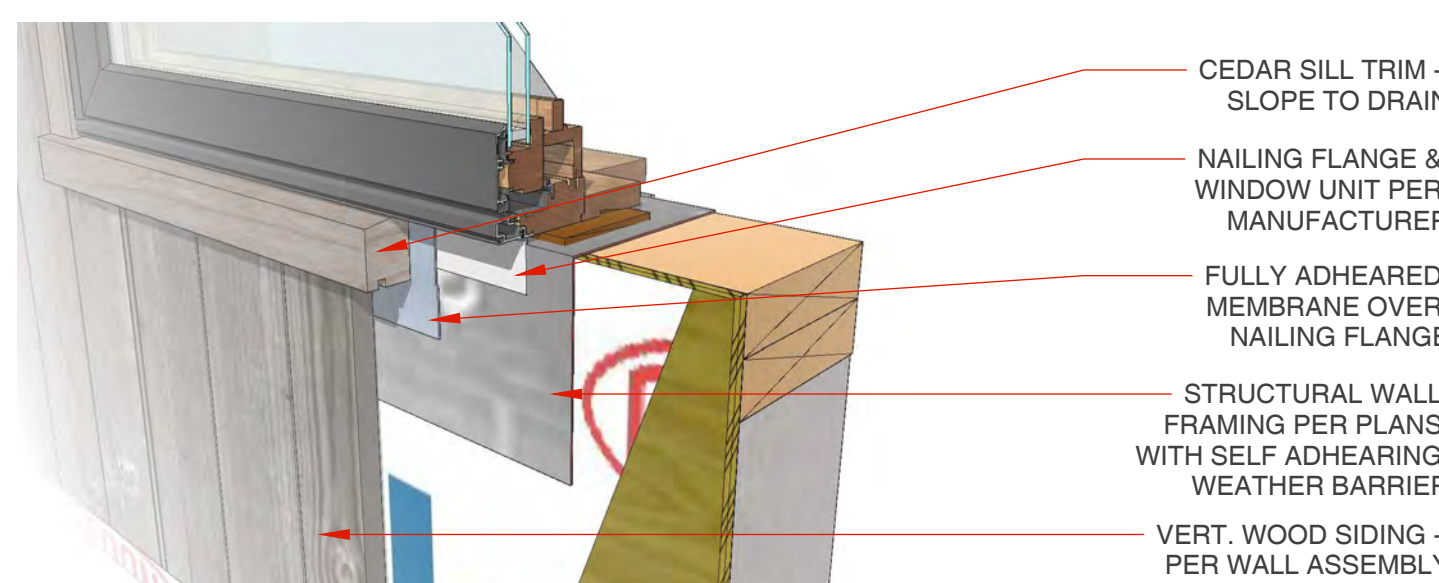
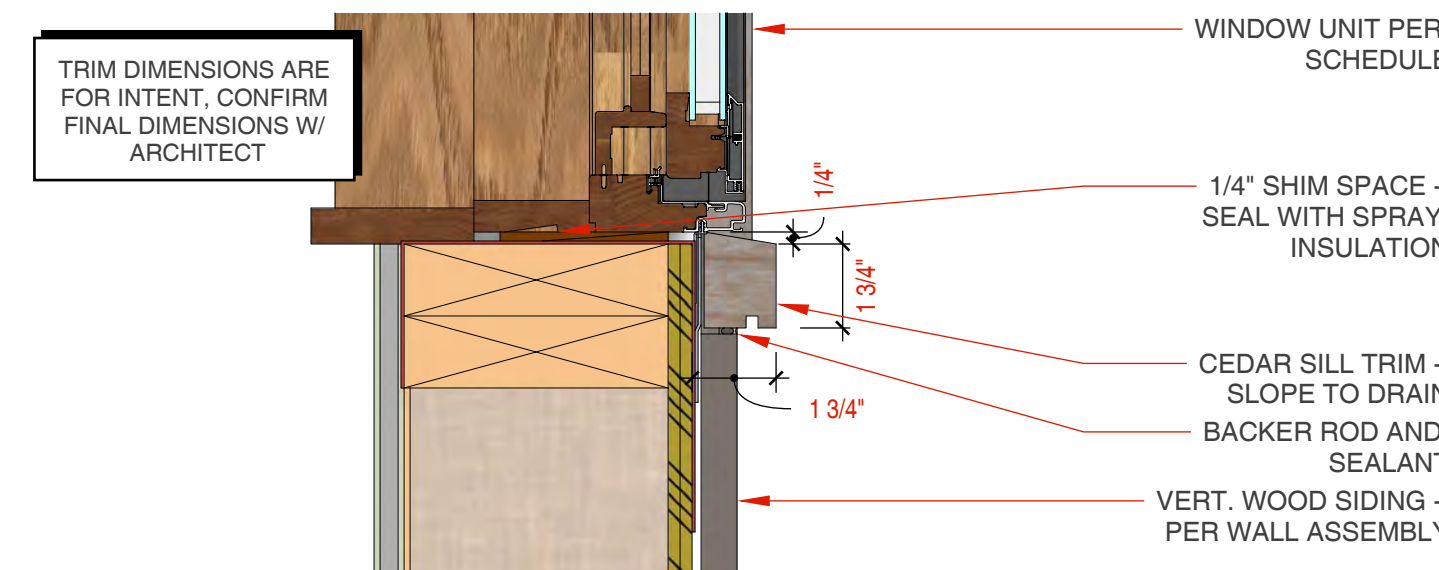
TAG	FRAME WIDTH	FRAME HEIGHT	HEAD HEIGHT	TYPE	TRIM - INT.	TRIM - EXT.	HAND	DESCRIPTION	NOTES
<b>LEVEL 01</b>									
101	7' 3"	9' 0"	9' 2 1/4"	PICTURE		VERT. WOOD SIDING			
102	3' 0"	3' 6"	9' 2 1/4"	CASEMENT		VERT. WOOD SIDING			
103	3' 0"	3' 6"	9' 2 1/4"	CASEMENT		VERT. WOOD SIDING			
104	3' 7 1/2"	6' 0"	9' 2 1/4"	CASEMENT		VERT. WOOD SIDING			
105	6' 3 1/2"	9' 0"	9' 2 1/4"	PICTURE		VERT. WOOD SIDING			
106	3' 6"	9' 0"	9' 2 1/4"	PICTURE		VERT. WOOD SIDING			
107	3' 5"	9' 0"	9' 2 1/4"	PICTURE		VERT. WOOD SIDING			
108	12' 0"	9' 0"	9' 2 1/4"	PICTURE		VERT. WOOD SIDING		DIRECT MULL 2-UNITS	
109	3' 5"	9' 0"	9' 2 1/4"	PICTURE		VERT. WOOD SIDING			
110	3' 9 1/2"	9' 0"	9' 2 1/4"	PICTURE		VERT. WOOD SIDING			
111	14' 6"	9' 0"	9' 2 1/4"	PICTURE		VERT. WOOD SIDING		DIRECT MULL 2-UNITS	
112	4' 1 1/2"	9' 0"	9' 2 1/4"	PICTURE		VERT. WOOD SIDING			
113	14' 6"	9' 0"	9' 2 1/4"	PICTURE		VERT. WOOD SIDING		DIRECT MULL 2-UNITS	
114	3' 11"	9' 0"	9' 2 1/4"	PICTURE		VERT. WOOD SIDING			
115	4' 5"	9' 0"	9' 2 1/4"	PICTURE		VERT. WOOD SIDING			
116	6' 0"	9' 0"	9' 2 1/4"	PICTURE		VERT. WOOD SIDING			
117	2' 6"	5' 0"	9' 2 1/4"	CASEMENT		VERT. WOOD SIDING			
118	6' 0"	9' 0"	9' 2 1/4"	PICTURE		VERT. WOOD SIDING			
<b>LEVEL 02</b>									
201	3' 0"	3' 6"	8' 8 1/4"	CASEMENT		VERT. WOOD SIDING			
202	3' 0"	3' 6"	8' 8 1/4"	CASEMENT		VERT. WOOD SIDING			
203	2' 9"	6' 0"	9' 2 1/4"	CASEMENT		VERT. WOOD SIDING			
204	2' 9"	6' 0"	9' 2 1/4"	FIXED		VERT. WOOD SIDING			
205	2' 9"	6' 0"	9' 2 1/4"	FIXED		VERT. WOOD SIDING			
206	2' 9"	6' 0"	9' 2 1/4"	CASEMENT		VERT. WOOD SIDING			
207	2' 9"	6' 0"	9' 2 1/4"	CASEMENT		VERT. WOOD SIDING			
208	7' 4"	6' 0"	9' 2 1/4"	FIXED		VERT. WOOD SIDING			
209	2' 9"	6' 0"	9' 2 1/4"	CASEMENT		VERT. WOOD SIDING			
210	7' 4"	6' 0"	9' 2 1/4"	FIXED		VERT. WOOD SIDING			
211	3' 0"	3' 6"	9' 2 1/4"	CASEMENT		VERT. WOOD SIDING			
212	3' 0"	3' 6"	9' 2 1/4"	CASEMENT		VERT. WOOD SIDING			
213	3' 7 1/2"	6' 0"	9' 2 1/4"	PICTURE		VERT. WOOD SIDING			
214	6' 3 1/2"	6' 0"	9' 2 1/4"	PICTURE		VERT. WOOD SIDING			
215	5' 6 1/2"	6' 0"	9' 2 1/4"	PICTURE		VERT. WOOD SIDING			
216	2' 5"	6' 0"	9' 2 1/4"	FIXED		VERT. WOOD SIDING			
217	2' 5"	6' 0"	9' 2 1/4"	FIXED		VERT. WOOD SIDING			
218	2' 5"	8' 0"	11' 2 1/4"	CASEMENT		VERT. WOOD SIDING			
219	2' 5"	8' 0"	11' 2 1/4"	CASEMENT		VERT. WOOD SIDING			
220	4' 1 1/2"	11' 0"	11' 2 1/4"	PICTURE		VERT. WOOD SIDING		DIRECT MULL 2 UNITS	
221	2' 5"	8' 0"	11' 2 1/4"	FIXED		VERT. WOOD SIDING			
222	2' 5"	8' 0"	11' 2 1/4"	CASEMENT		VERT. WOOD SIDING			
223	2' 9"	8' 0"	11' 2 1/4"	CASEMENT		VERT. WOOD SIDING			
224	2' 5"	8' 0"	11' 2 1/4"	CASEMENT		VERT. WOOD SIDING			
225	2' 5"	8' 0"	11' 2 1/4"	FIXED		VERT. WOOD SIDING			
226	2' 5"	8' 0"	11' 2 1/4"	CASEMENT		VERT. WOOD SIDING			
227	5' 0"	8' 0"	11' 2 1/4"	PICTURE		VERT. WOOD SIDING		DIRECT MULL TO 227	
228	3' 5"	8' 0"	11' 2 1/4"	CASEMENT		VERT. WOOD SIDING		DIRECT MULL TO 226	
229	2' 6"	5' 0"	7' 2 1/4"	CASEMENT		STEEL PANELS			
230	2' 6"	5' 0"	7' 2 1/4"	CASEMENT		STEEL PANELS			
231	2' 6"	5' 0"	7' 2 1/4"	CASEMENT		STEEL PANELS			
232	2' 6"	5' 0"	7' 2 1/4"	CASEMENT		STEEL PANELS			
233	2' 6"	5' 0"	7' 2 1/4"	FIXED		STEEL PANELS			
234	2' 6"	5' 0"	7' 2 1/4"	CASEMENT		STEEL PANELS			
235	3' 6"	7' 0"	11' 2 1/4"	CASEMENT		STEEL PANELS			
236	3' 6"	7' 0"	11' 2 1/4"	PICTURE		STEEL PANELS			
237	3' 6"	7' 0"	11' 2 1/4"	PICTURE		STEEL PANELS			
238	3' 6"	7' 0"	11' 2 1/4"	PICTURE		STEEL PANELS			
239	3' 6"	7' 0"	11' 2 1/4"	PICTURE		STEEL PANELS			
240	6' 6"	7' 0"	11' 2 1/4"	PICTURE		STEEL PANELS			
<b>LEVEL 03</b>									
301	2' 0"	3' 0"	20' 2 1/4"	AWNING		VERT. WOOD SIDING			
302	2' 0"	3' 0"	20' 2 1/4"	AWNING		VERT. WOOD SIDING			
303	2' 0"	3' 0"	20' 2 1/4"	AWNING		VERT. WOOD SIDING			
304	2' 0"	3' 0"	20' 2 1/4"	AWNING		VERT. WOOD SIDING			
305	2' 0"	3' 0"	20' 2 1/4"	AWNING		VERT. WOOD SIDING			
306	2' 0"	3' 0"	20' 2 1/4"	AWNING		VERT. WOOD SIDING			
307	2' 0"	3' 0"	20' 2 1/4"	AWNING		VERT. WOOD SIDING			



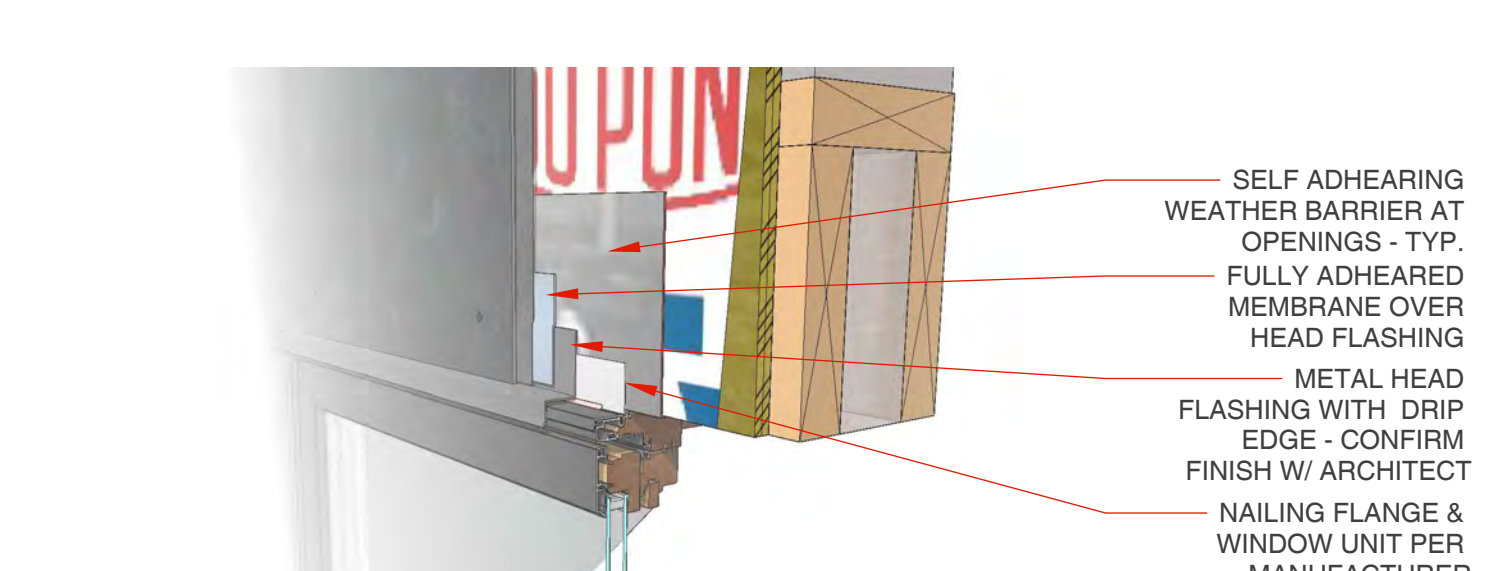
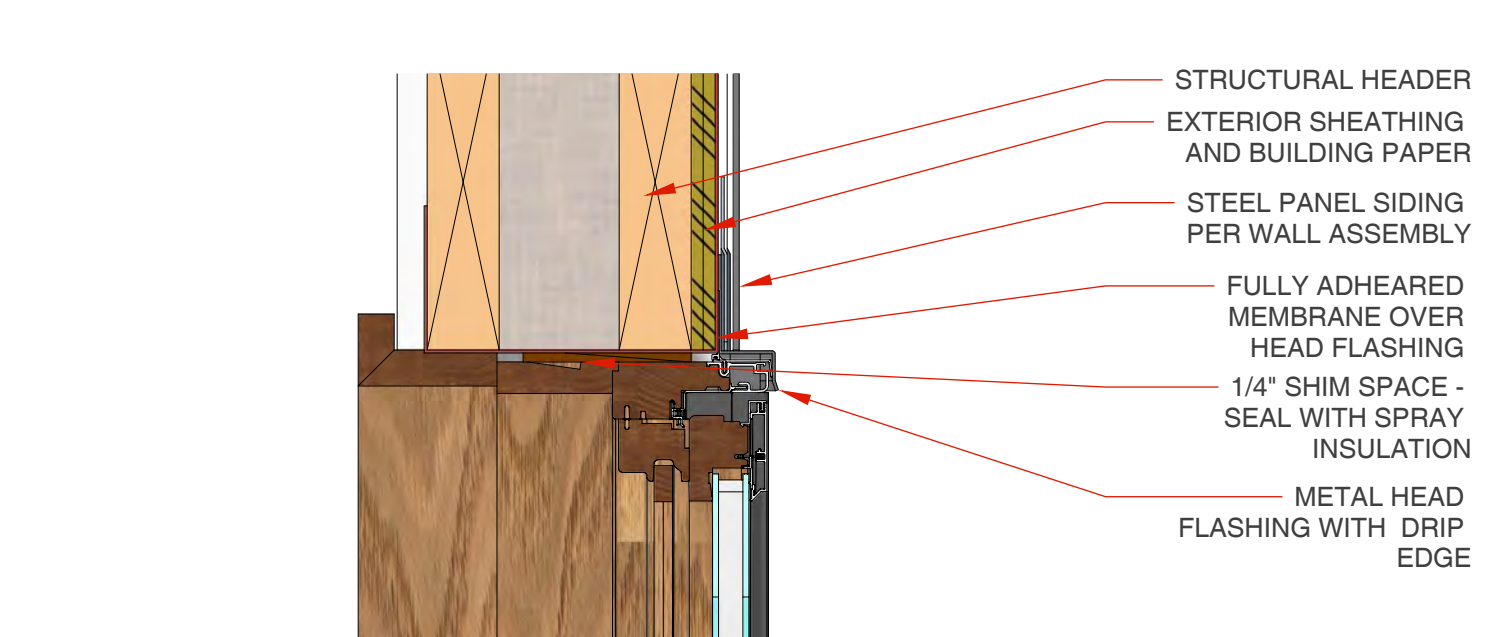
**4 HEAD AT WOOD SIDING**  
SCALE: 3" = 1'-0" (DETAIL VIEW)



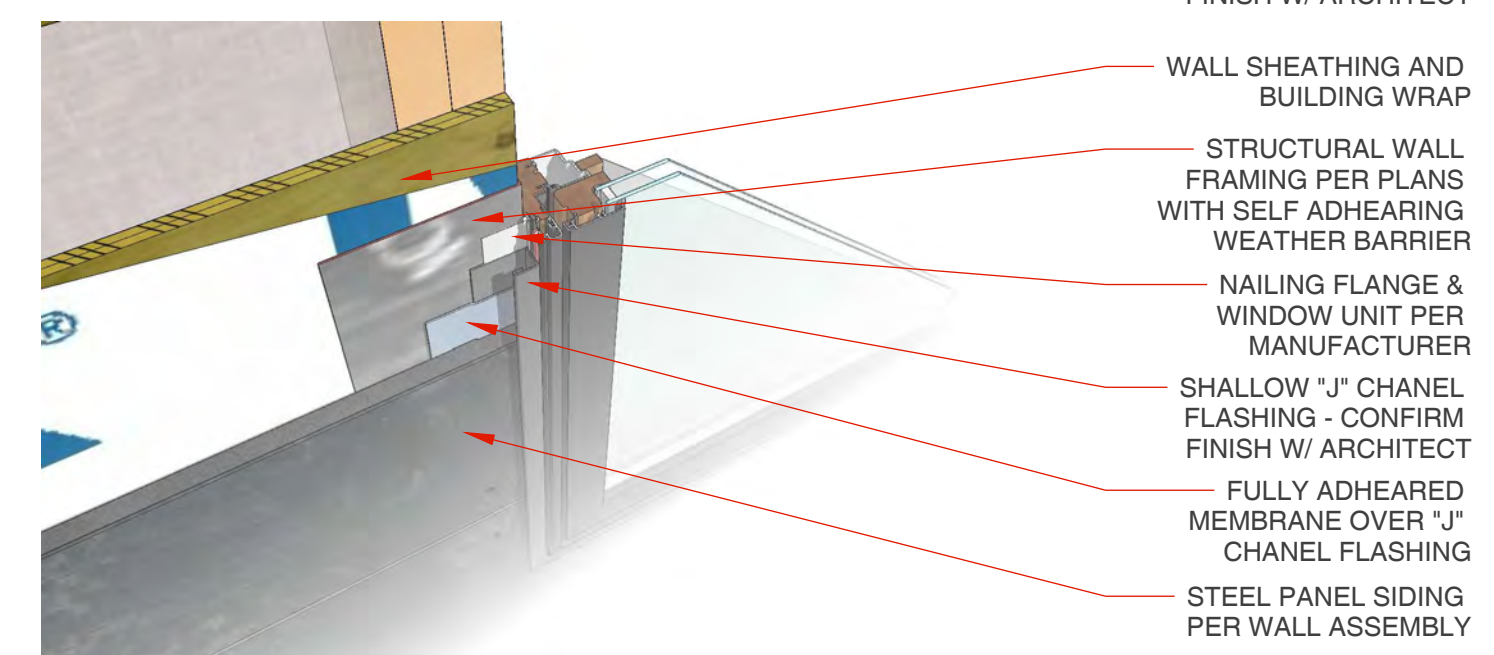
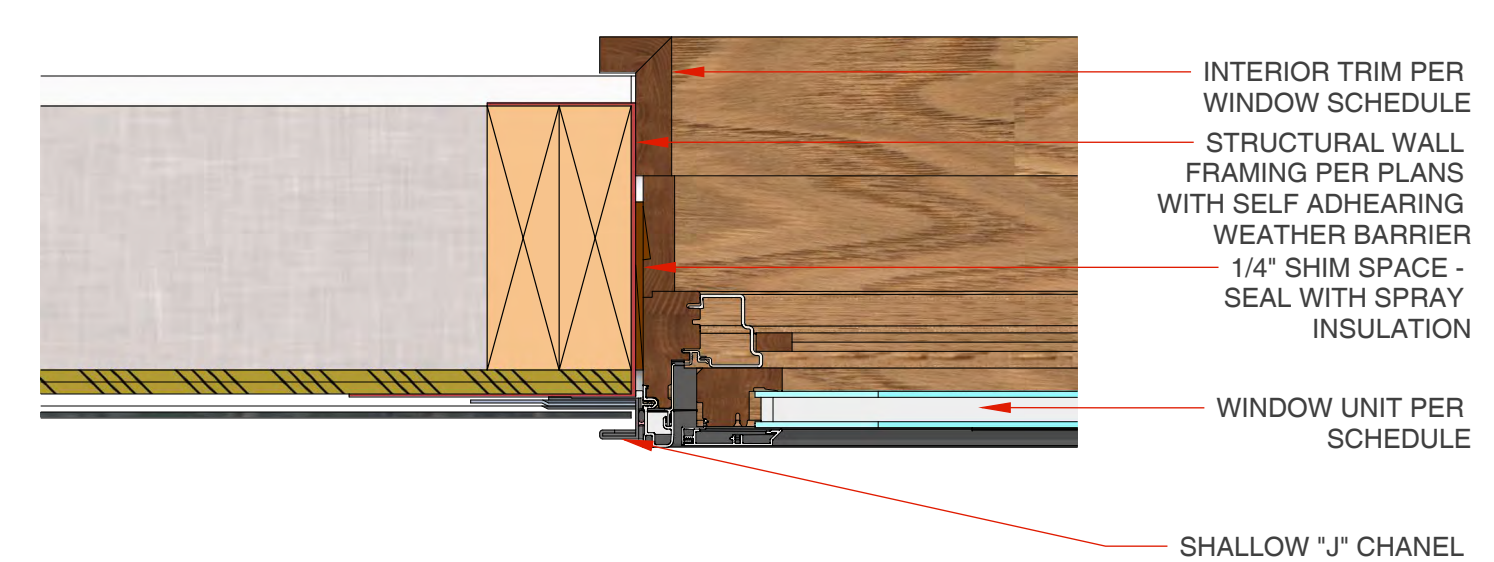
**5 JAMB AT WOOD SIDING**  
SCALE: 3" = 1'-0" (DETAIL VIEW)



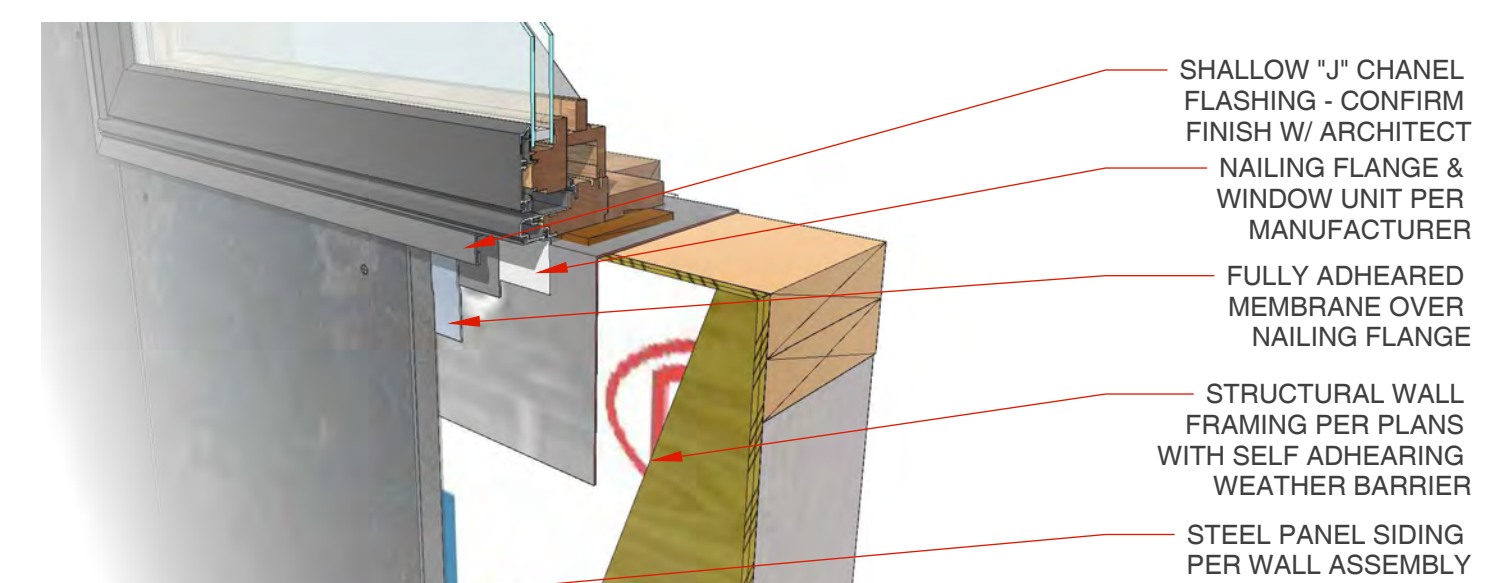
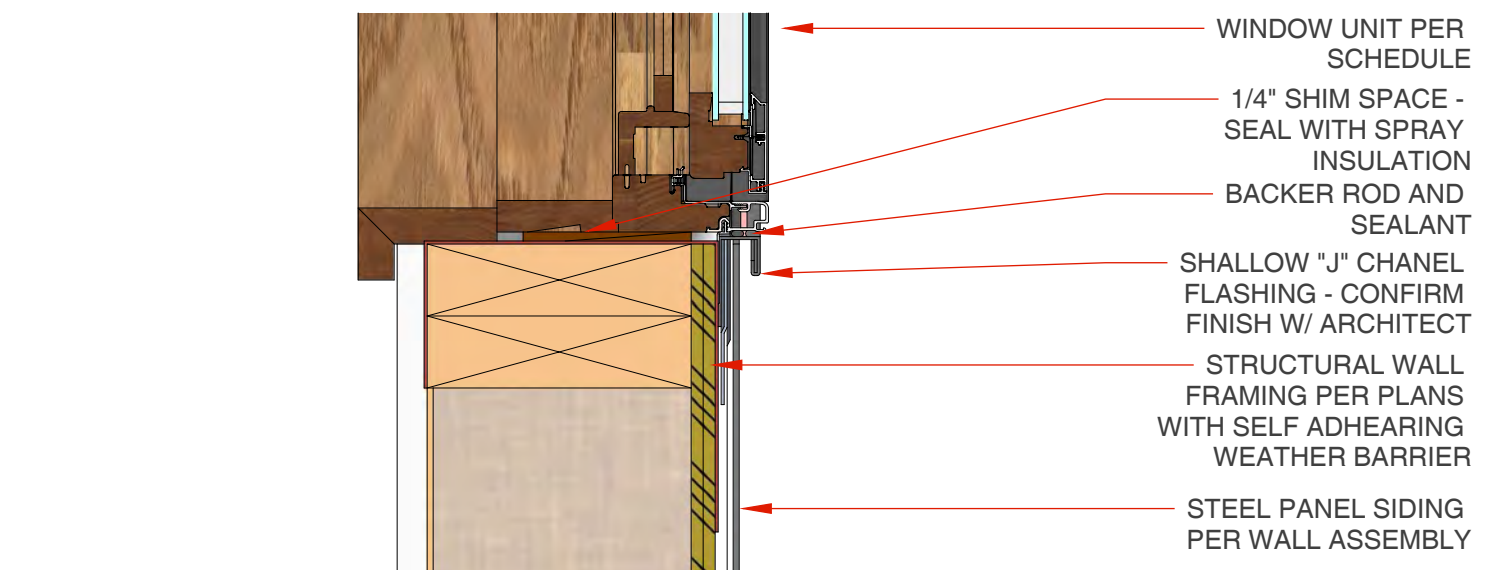
**6 SILL AT WOOD SIDING**  
SCALE: 3" = 1'-0" (DETAIL VIEW)



**1 HEAD AT METAL PANELS**  
SCALE: 3" = 1'-0" (DETAIL VIEW)



**2 JAMB AT METAL PANELS**  
SCALE: 3" = 1'-0" (DETAIL VIEW)



**3 SILL AT METAL PANELS**  
SCALE: 3" = 1'-0" (DETAIL VIEW)

submissions 10.18.2017 DRC WORKSESSION  
02.06.2018 PRELIMINARY BID SET  
05.10.2018 DRB 1

NOT FOR CONSTRUCTION

PROJECT  
**L359**

MOUNTAIN VILLAGE COLORADO 81435

phase  
**SCHEDULES & DETAILS**

sheet  
**A3.3**



**1X6 VERT. WOOD SIDING**  
NATURAL GRAY



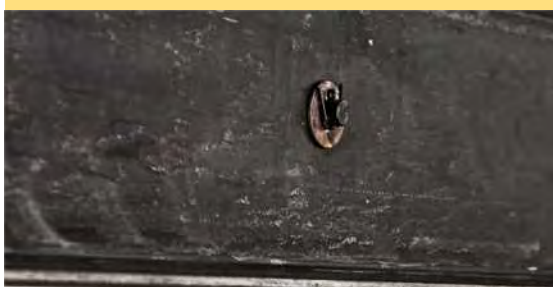
**METAL PANELS**  
MILL FINISHED



**STANDING SEAM ROOF**  
BONDERIZED

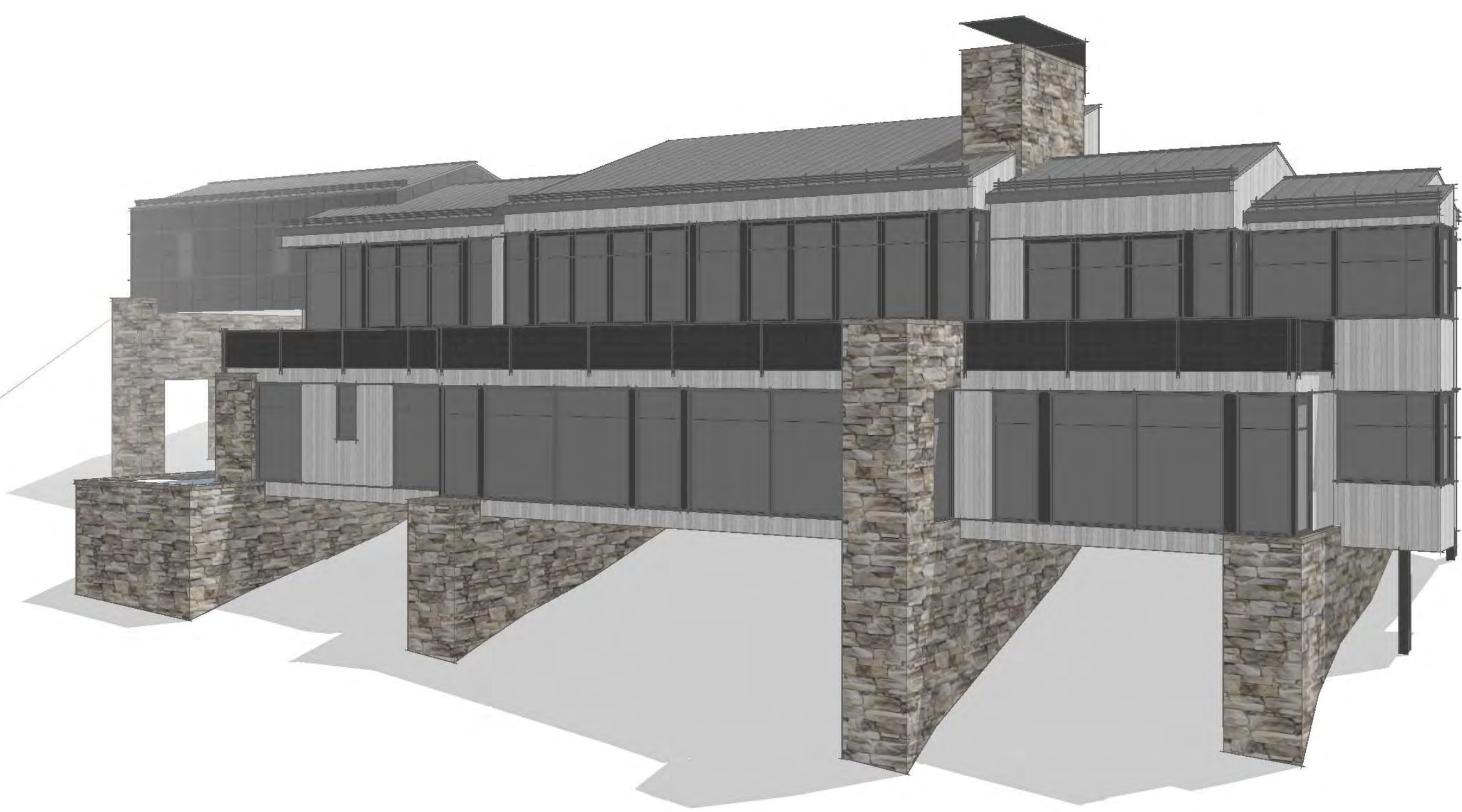
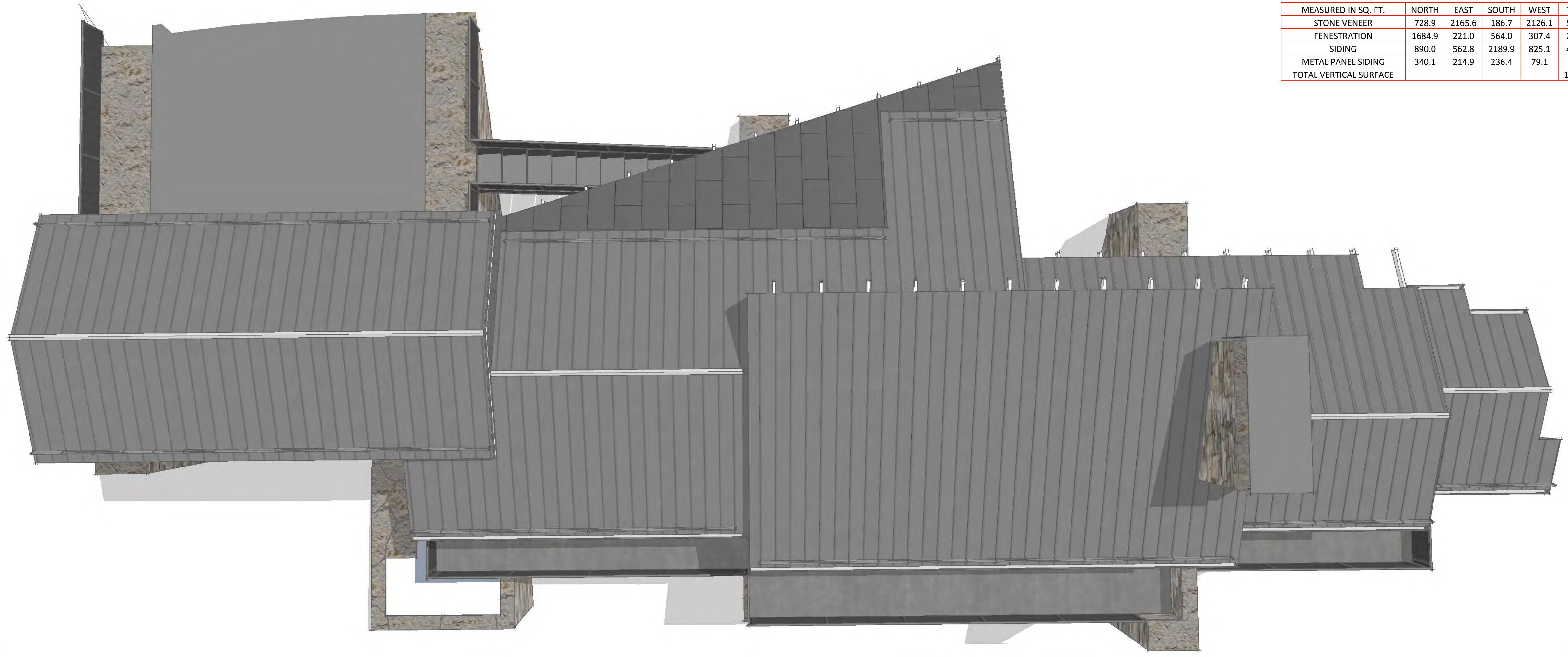


**DRystack STONE**



**METAL ACCENTS**  
MILL FINISHED

MATERIAL SUMMARY						
MEASURED IN SQ. FT.	NORTH	EAST	SOUTH	WEST	TOTAL	PERCENTAGE
STONE VENEER	728.9	2165.6	186.7	2126.1	5207.3	41.8%
FENESTRATION	1684.9	221.0	564.0	307.4	2777.3	22.3%
SIDING	890.0	562.8	2189.9	825.1	4467.8	35.8%
METAL PANEL SIDING	340.1	214.9	236.4	79.1	870.5	6.9%
<b>TOTAL VERTICAL SURFACE</b>					<b>12452.4</b>	<b>100.0%</b>



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05.10.2018 DRB 1

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**L359**

**MOUNTAIN VILLAGE  
COLORADO 81435**

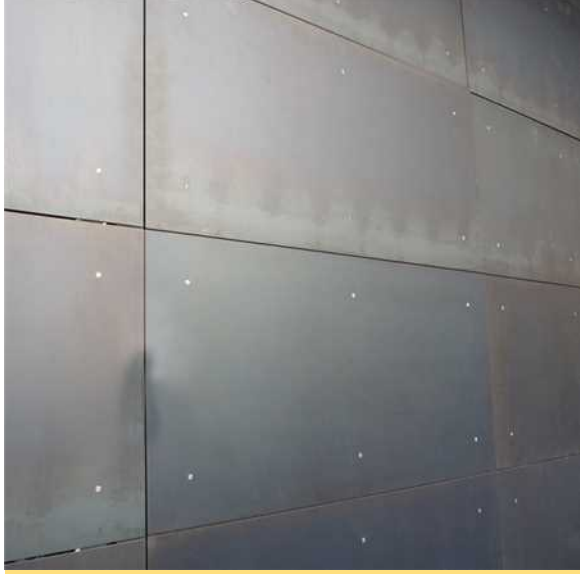
**PROPOSED  
3D VIEWS**

**A3.4**

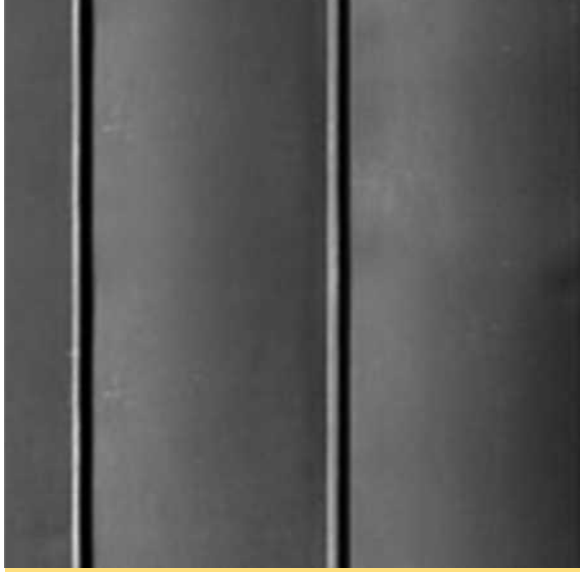




**1X6 VERT. WOOD SIDING**  
NATURAL GRAY



**METAL PANELS**  
MILL FINISHED



**STANDING SEAM ROOF**  
BONDERIZED

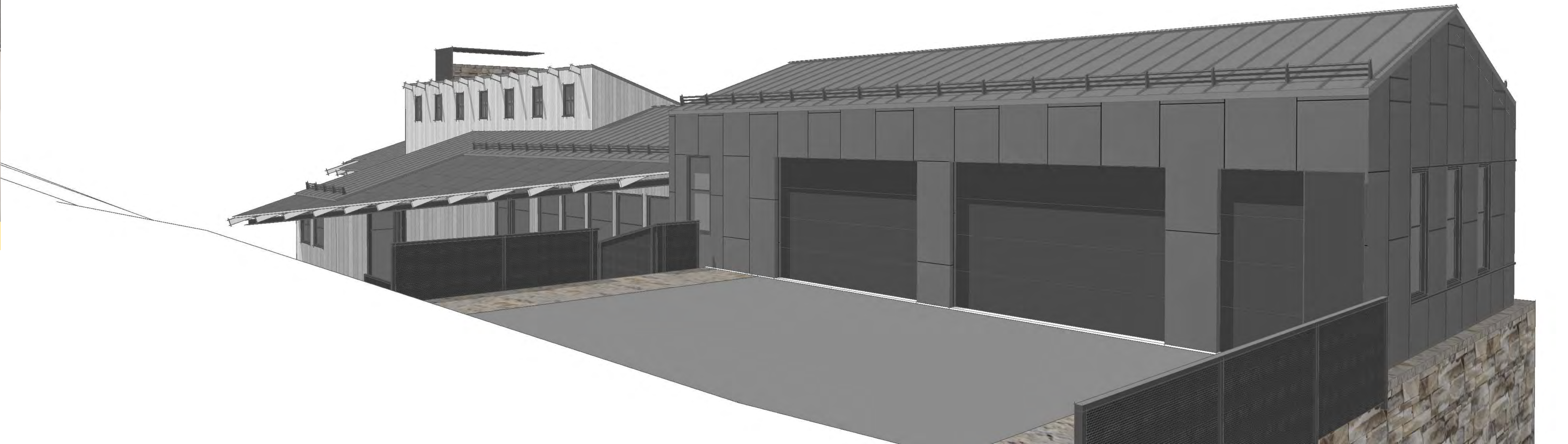


**DRYSTACK STONE**



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project  
**L359**

MOUNTAIN VILLAGE  
COLORADO 81435

phase  
**PROPOSED  
3D VIEWS**

sheet  
**A3.5**

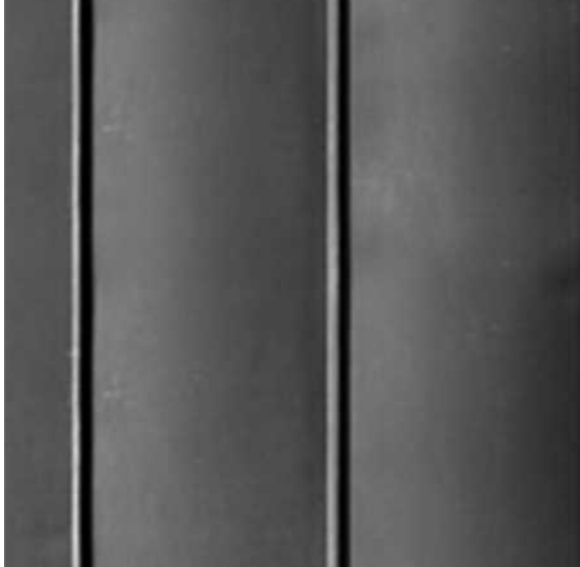




**1X6 VERT. WOOD SIDING**  
NATURAL GRAY



**METAL PANELS**  
MILL FINISHED



**STANDING SEAM ROOF**  
BONDERIZED

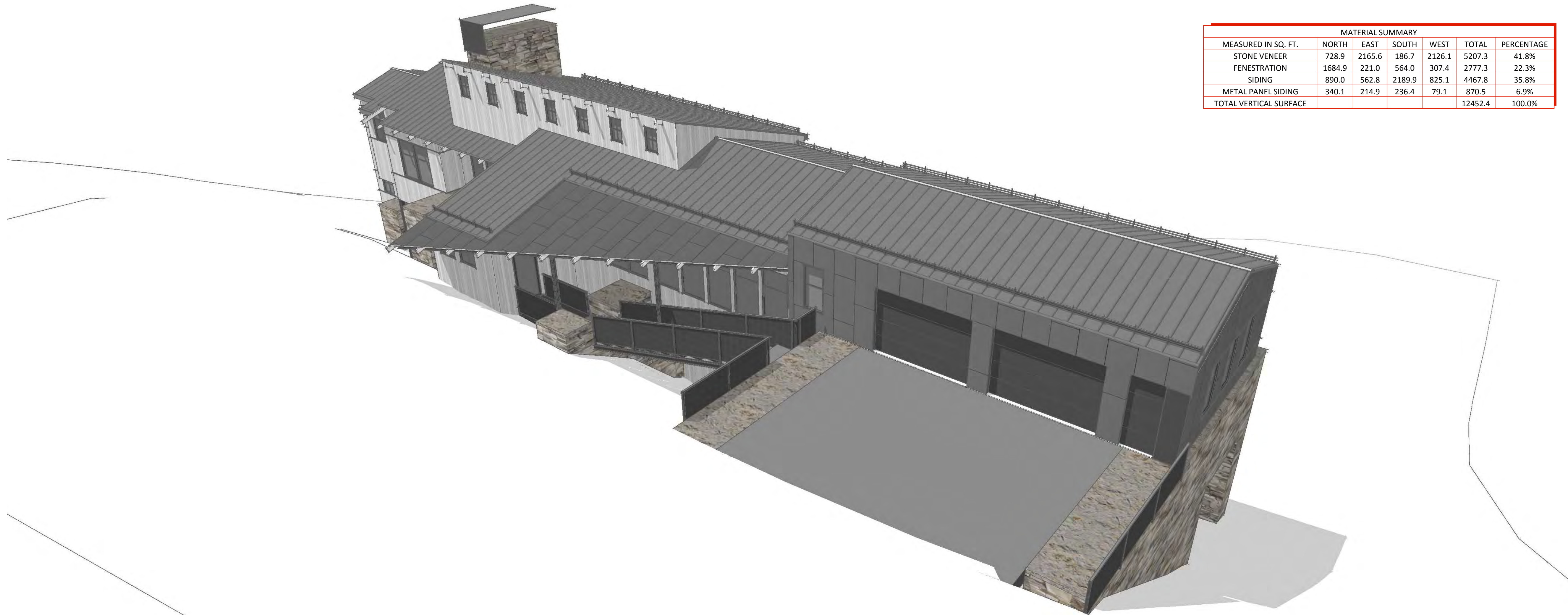


**DRYSTACK STONE**



**METAL ACCENTS**  
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**MOUNTAIN VILLAGE**  
COLORADO 81435

phase  
**PROPOSED 3D VIEWS**

sheet  
**A3.6**

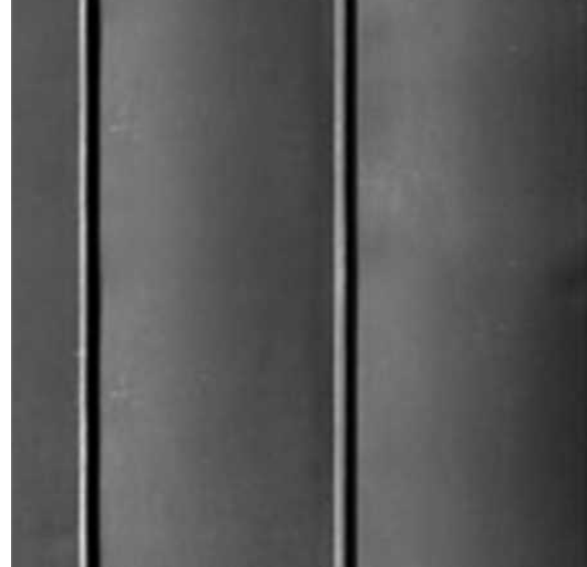




**1X6 VERT. WOOD SIDING**  
NATURAL GRAY



**METAL PANELS**  
MILL FINISHED



**STANDING SEAM ROOF**  
BONDERIZED

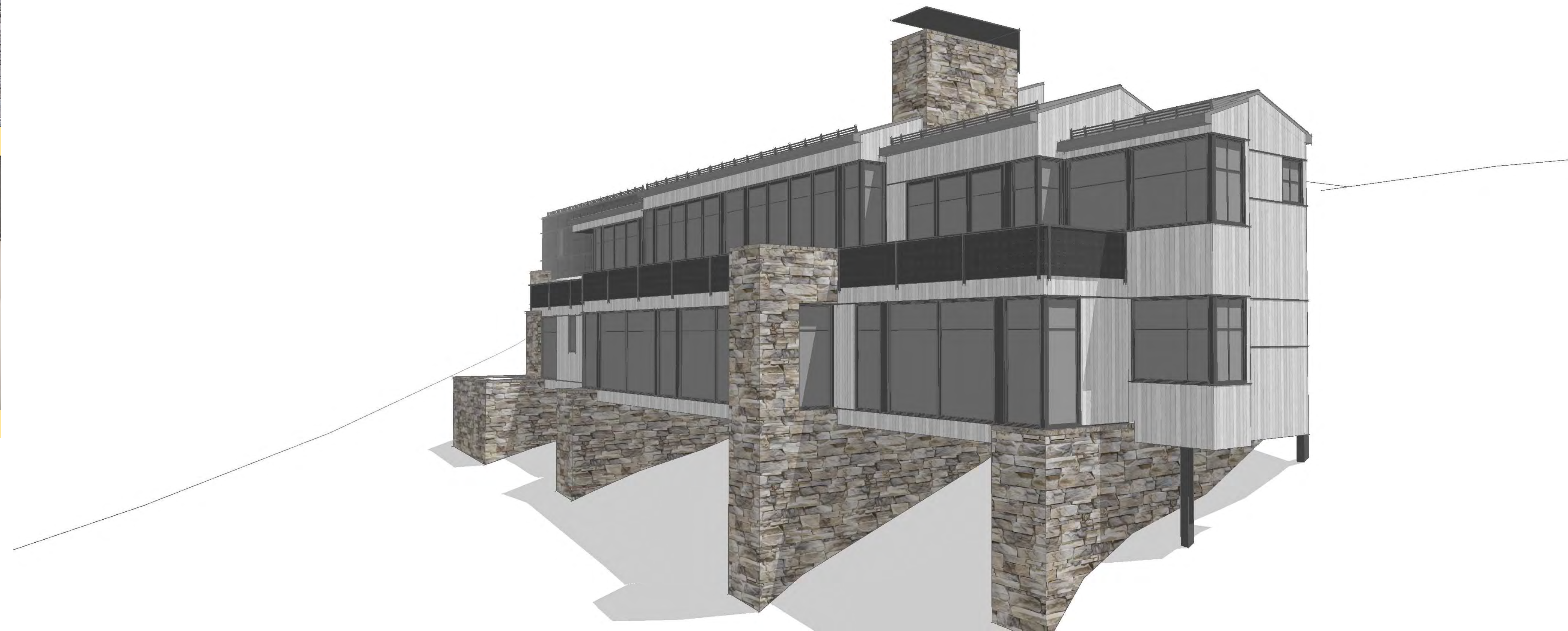
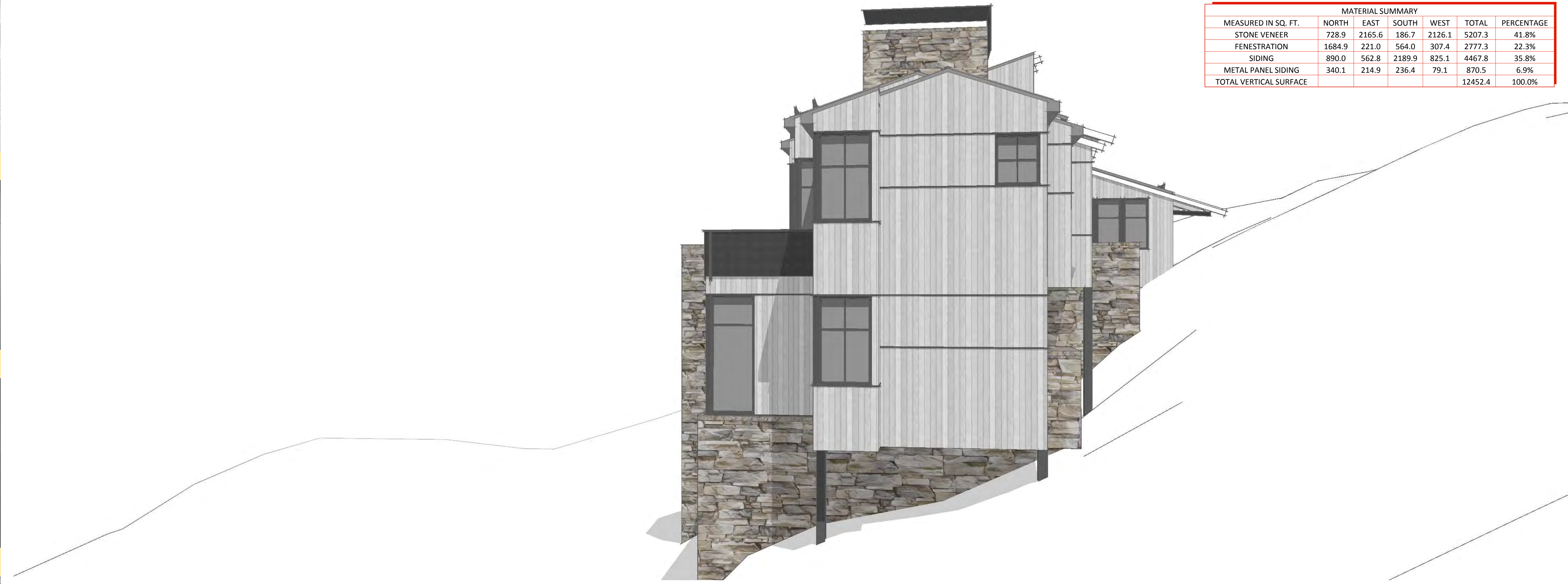


**DRYSTACK STONE**



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05.10.2018 DRB 1

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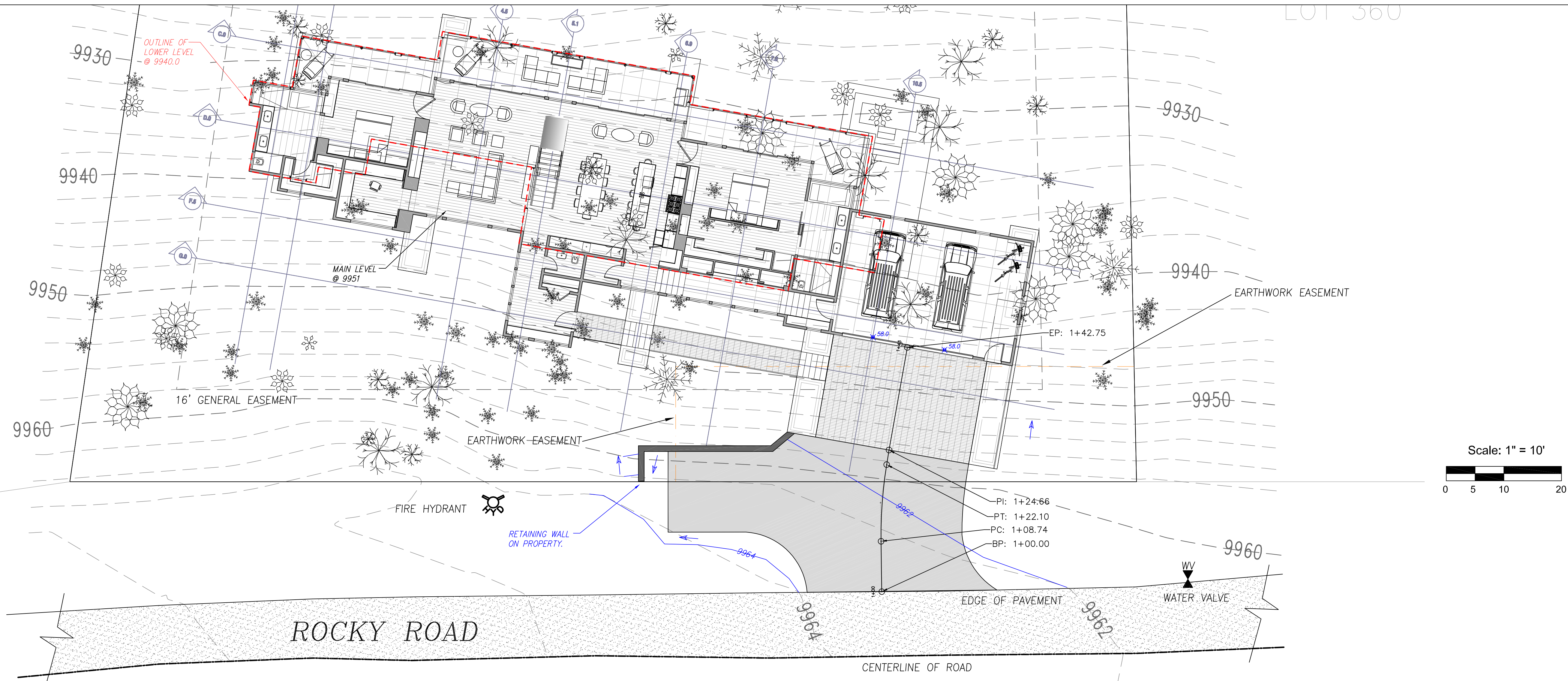
project  
**L359**

**MOUNTAIN VILLAGE  
COLORADO 81435**

phase  
**PROPOSED  
3D VIEWS**

sheet  
**A3.7**





Uncompahgre Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

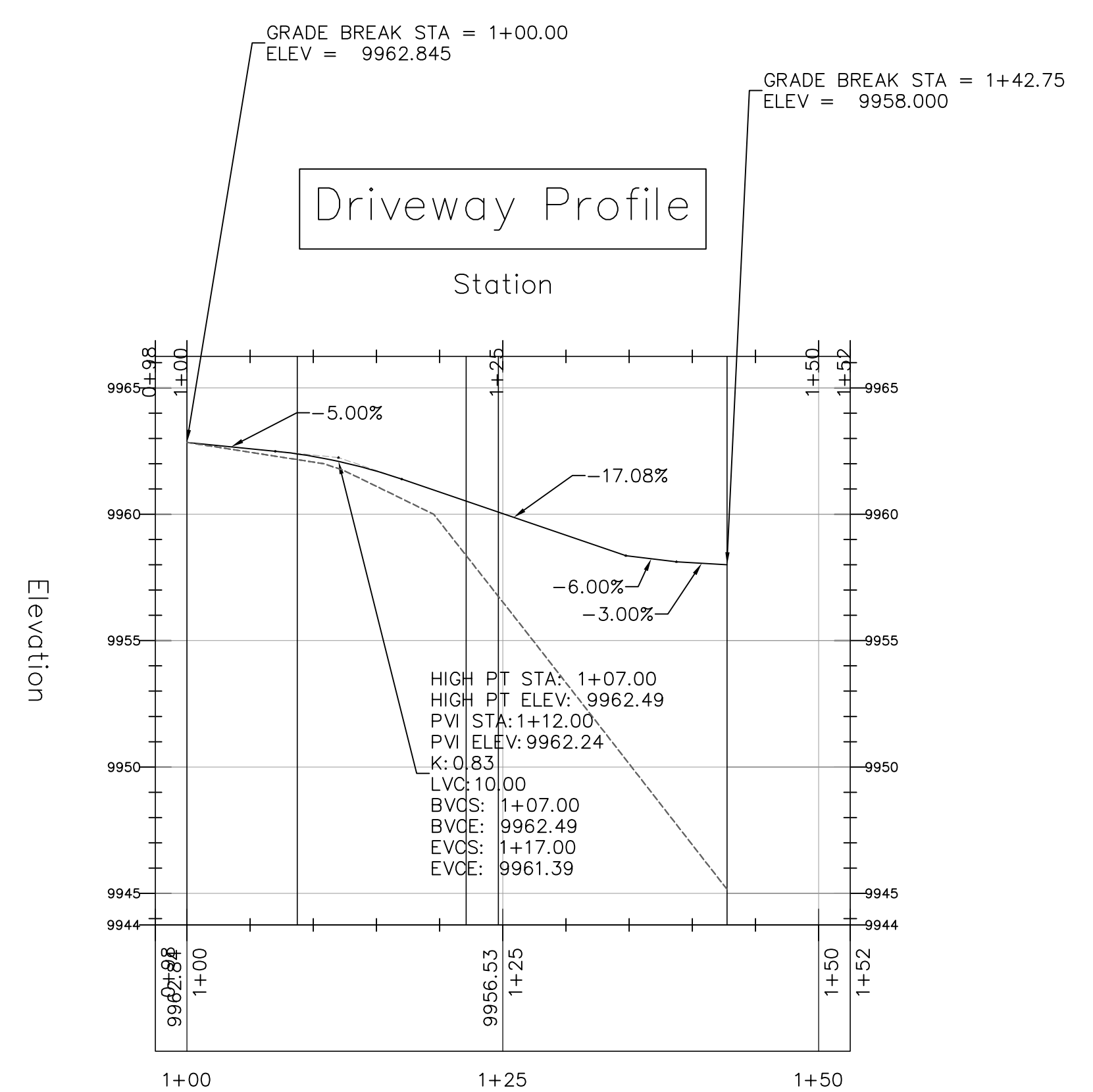
SUBMISSIONS:  
SUBMITTAL 2018-05-21

Lot 359  
Rocky Road  
Mtn. Village, CO

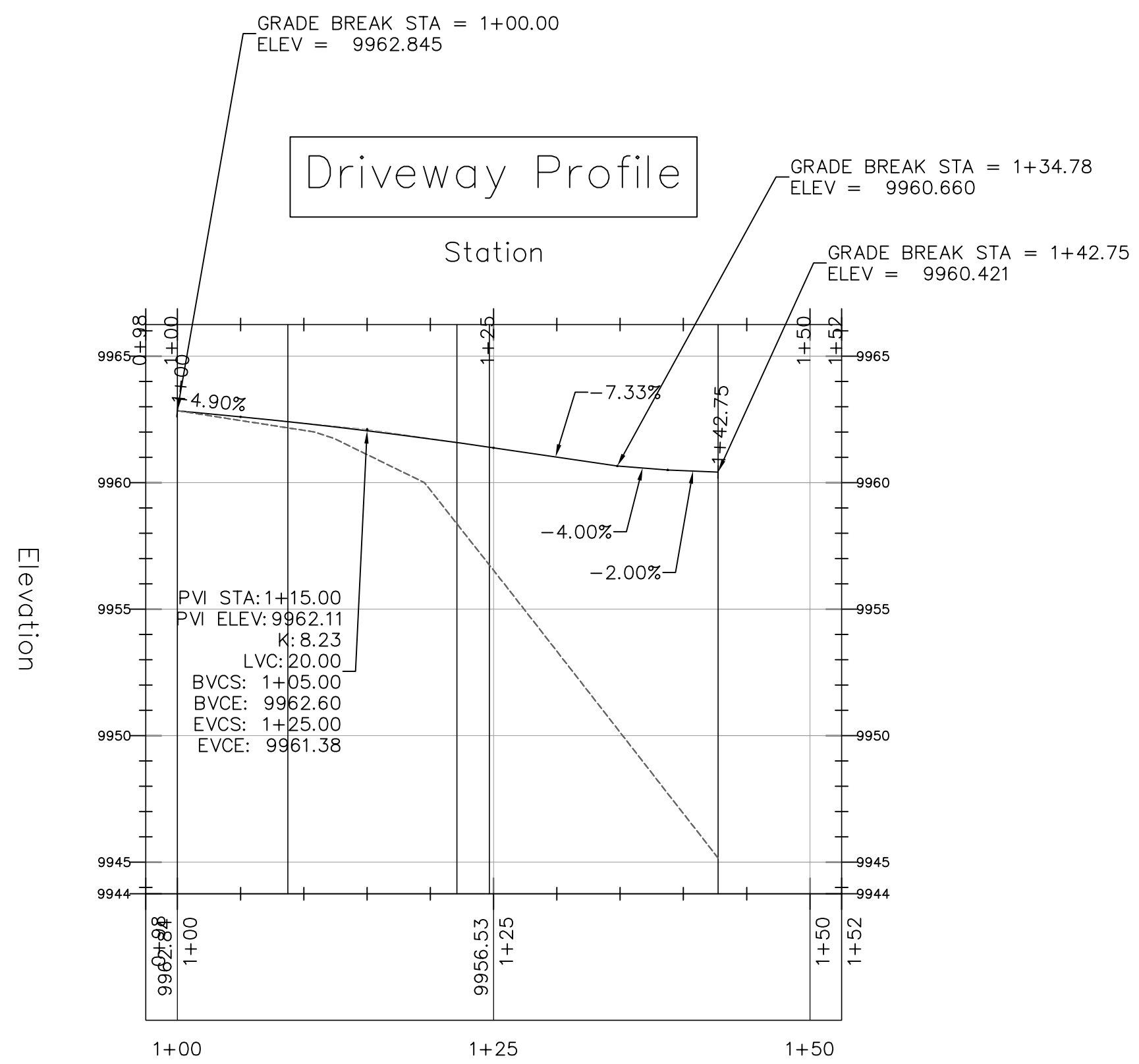
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading Plan with Driveway Profiles

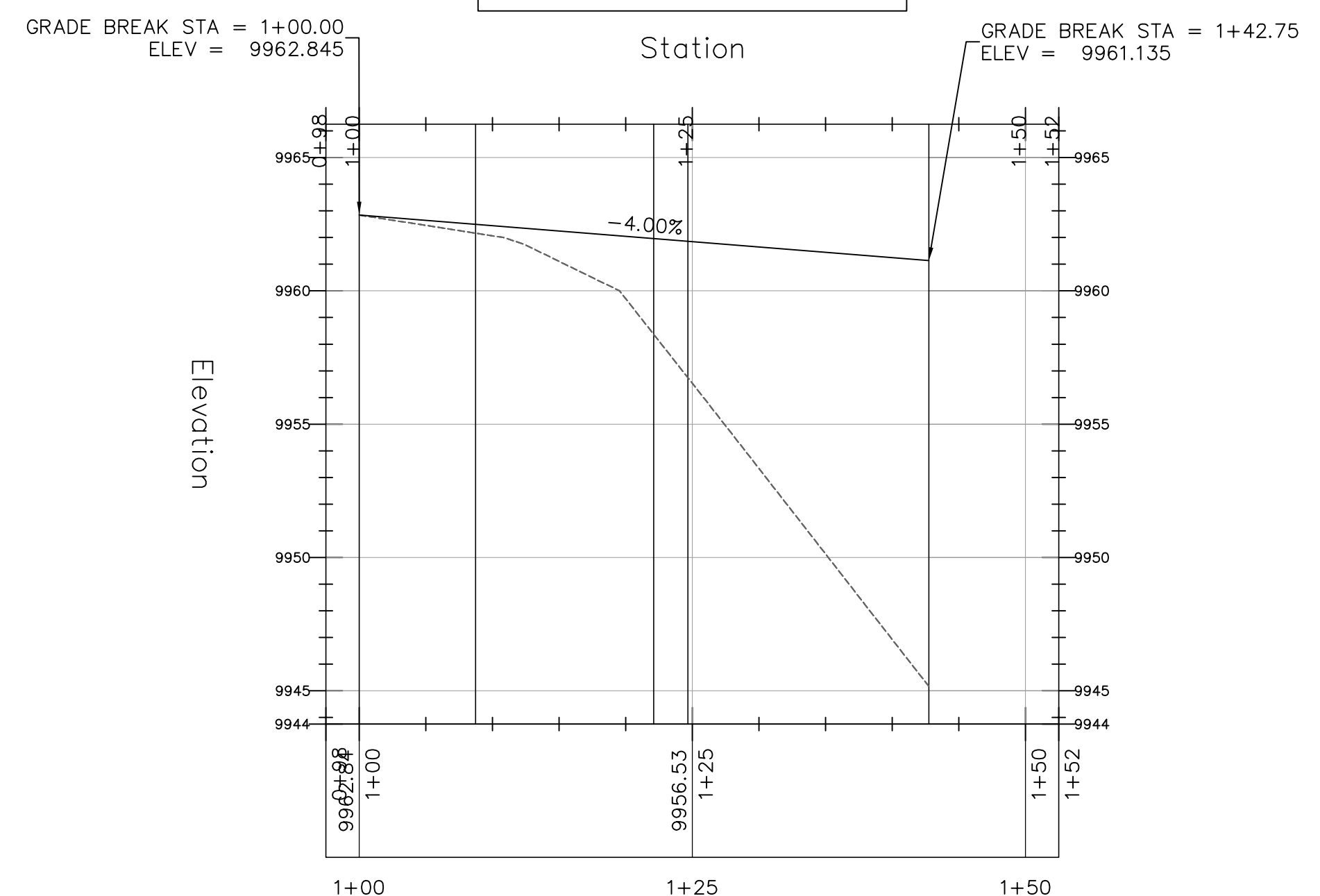
C1



Garage at 9958.00

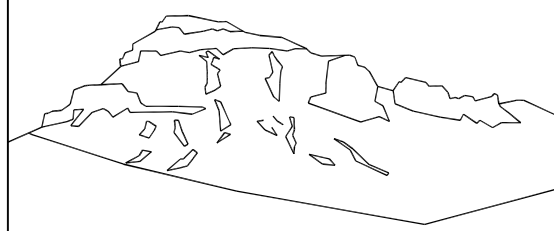


Garage at 9960.42  
(2'-5" above 9958)



Garage at 9961.13  
Preferred Elevation. No Hinge Points in Driveway.  
4% Turn-Around.





Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

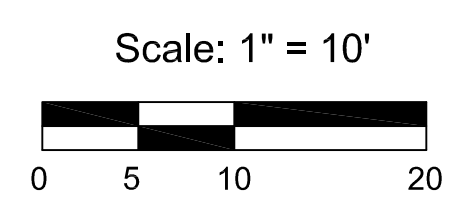
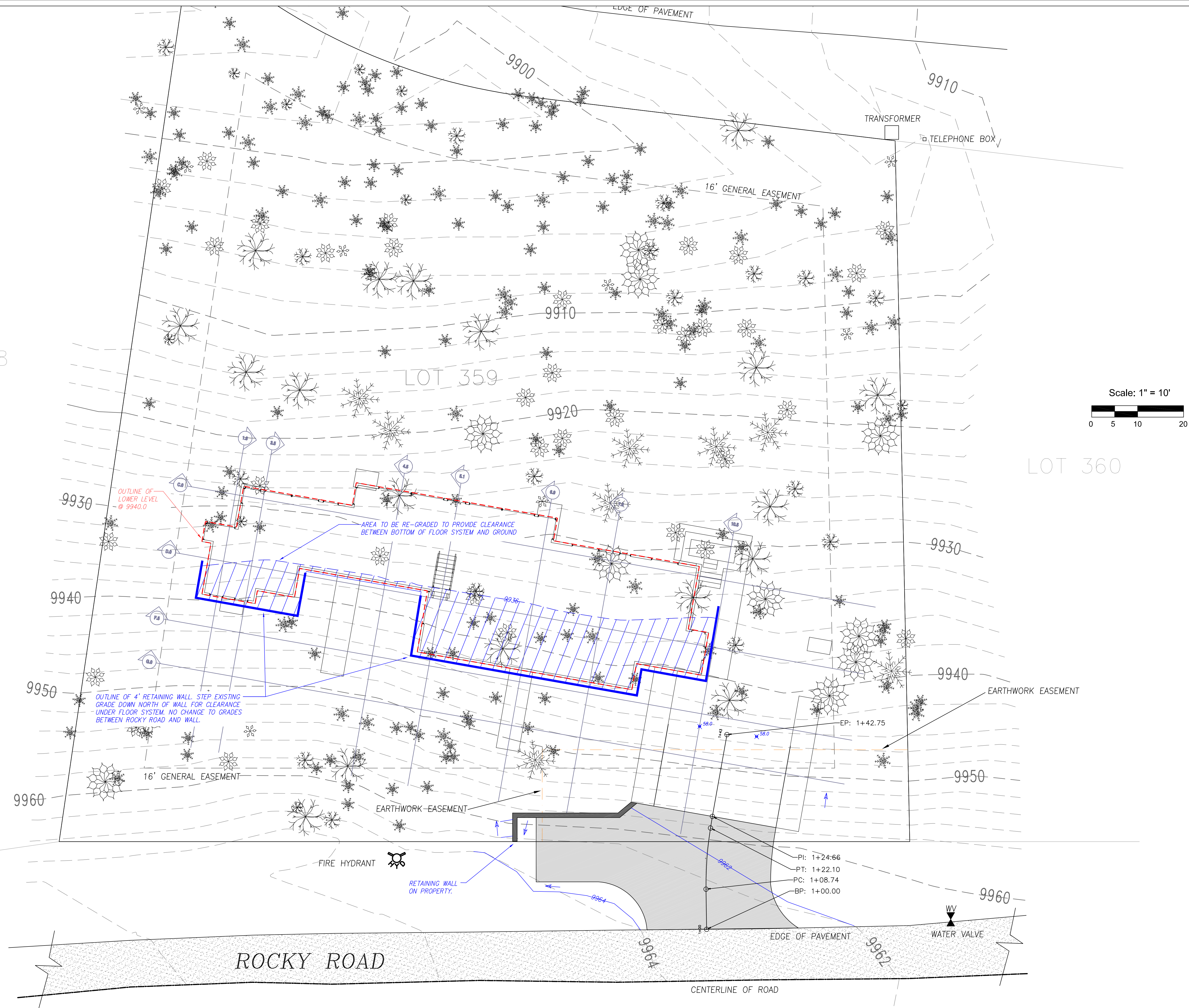
SUBMITTAL 2018-05-21

Lot 359  
Rocky Road  
Mtn. Village, CO

CONTRACTOR TO REVIEW AND COMPARE ALL  
CHAPTERS AND INTERDISCIPLINARY DRAWINGS  
AND REPORT ANY DISCREPANCIES TO THE  
ARCHITECT PRIOR TO ANY FIELD WORK BEING  
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Under-Structure  
Retaining  
Wall Limits

C2







**PLANNING & DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**TO:** Design Review Board  
**FROM:** Sam Starr, Planner  
**FOR:** Meeting of June 7, 2018  
**DATE:** May 31, 2018  
**RE:** Consideration of an Initial Architectural Site Review application for a new single-family dwelling on Lot 600BR-1

**PROJECT GEOGRAPHY**

**Legal Description:** Lot 600BR-1  
**Address:** 15 Trails Ridge  
**Applicant/Agent:** Jack Wesson Architect  
**Owner:** David Grosshans and Anh Dang  
**Zoning:** Single-Family Zone District  
**Existing Use:** Vacant Lot  
**Proposed Use:** Single-Family  
**Lot Size:** 0.12 Acres  
**Adjacent Land Uses:**

- **North:** Open Space
- **South:** Multi-Family
- **East:** Single-Family
- **West:** Multi-Family

**ATTACHMENTS**

- Exhibit A: Applicant Narrative
- Exhibit B: Plan Set

**BACKGROUND**

In accordance with 17.4.3 of the Community Development Code (CDC), the applicant has applied for a Class 3 Initial Architectural Site Review for the development of a single-family residence. The proposed dwelling unit is located on 15 Trails Edge Drive, and consists of four (4) bedrooms and an attached two (2) car garage for a total of 3566 square feet. The site area consists of 0.12 acres and is characterized by a predominantly medium aspen and a few firs. Terrain across the site slopes from the north to the south with a berm at the road.

**PROJECT SUMMARY**

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Maximum Building Height	40' maximum (35'+5' for gable roof)	39' 4"
Maximum Avg Building Height	35' maximum (30'+5' for gable roof)	27' 5"
Maximum Lot Coverage	40% maximum	39.9%
General Easement Setbacks		
North	0' No GE, no setback	12' – 9.25"
South	8' setback	8'
East	8' setback	8' 2"
West	4' Utility Easement	5' 11"
Roof Pitch		
Primary		12:12
Secondary		4:12; 5:12
Exterior Material		
Stone	35%	35.95%
Wood	No requirement	34.10%
Windows/Doors	40% maximum for windows	17.58%
Metal Accents	No requirement	12.37%
Parking	2 enclosed and 2 non-tandem	2 enclosed and 2 exterior

**17.3.12.C BUILDING HEIGHT LIMITS**

The average height for the proposed design is code compliant at 27'-5". The proposed maximum height is 39' – 4", which puts it within the maximum height allowed for the roof design. On account of how close the proposed height is to the maximum allowed height, a condition has been included that requires a monumented land survey to be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This shall be done prior to the Building Division conducting the required framing inspection.

**17.5.5 BUILDING SITING DESIGN**

Lot 600BR1 is an extremely small lot (0.12 acres) that slopes from east to west. This lot has road frontage on both the south and west property boundaries. Similar to all other homes along Trails Edge, the applicant is proposing driveway approval from the south on Trails Edge. There are no proposed General Easement encroachments, but owing to the small size of the lot, staff recommends that a monumented land survey of the footers be provided prior to pouring concrete to determine there are no encroachments into the GE.

**17.5.6 BUILDING DESIGN**

**Building Form and Exterior Wall Form**

The proposed building form and exterior wall form portray a mass that is thick and strong, with a heavy, thick grounded foundation. Moreover, the materials and form align with the character of the neighborhood.

**Roof Forms, Design and Materials**

The CDC states that the roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines and vertical offsets. The primary roof forms 12:12 gable roofs. The secondary roof forms are low pitch (5:12). The proposed roofing material will be rusted standing seam as well as fascia.

**Exterior Wall Materials**

The exterior walls consist of 35.95% stone veneer (Telluride Gold); 34.1% wood, vertical 8” barn wood and rough sawn timber beams; 17.58% fenestration (bronze metal clad Loewen windows); 12.37% steel accents, which include black oil rubbed metal panels that are prominent on most other Trails Edge homes.

**17.5.7 GRADING AND DRAINAGE PLAN**

The applicant has provided a grading and drainage plan prepared by Uncompahgre Engineering, LLC for the proposed development. Positive drainage away from the structures has been provided with all disturbed areas and to have final grades of 3:1 or flatter. The driveway may be warped as necessary to smooth the transition between different centerlines, but overall has a grade profile of 3.13%

**17.5.8 PARKING REGULATIONS**

Applicant shows 1 enclosed parking spaces and 2 exterior space proposed. However, the narrative mentions that the garage is a proposed two car garage. As a condition of Initial Architectural Site Review, staff recommends that the applicant demonstrate that there are two interior parking spaces as required by CDC 17.5.8. The applicant has indicated that there will be snowmelt on the driveway, front entry porch and western and northern decks. The total square footage of snowmelt is 985 square feet.

**17.5.9 LANDSCAPING REGULATIONS**

The proposed landscape plan shows 11 new aspens, 3 new spruces, and 9 dogwood shrubs with all disturbed areas to be re-seeded per CDC guidelines. All plantings will need to be in compliance with Table 5-4 of the CDC:

Table 5-4, Minimum Plant Size Requirements

Landscaping Type	Minimum Size
Deciduous Trees –Single Stem	3 inches caliper diameter at breast height (“dbh”)
Deciduous Trees – Multi-stem	2.5 inches dbh
Evergreen Trees –Single-family lots	8 to 10 feet in height, with 30% 10 feet or larger.
Evergreen Trees – Multi-family lots	8 to 12 feet in height, with 30% 12 feet or larger.

Backflow preventers and a rain shut off device will be installed.

**17.5.11 UTILITIES**

All shallow utilities are proposed to be run from the southern portion of the lot from Trails Edge. The water line will come in from south of the lower driveway and run to the main house. Public Works requests that all utilities be field located by the contractor prior to construction.

**17.5.12 LIGHTING REGULATIONS**

Applicant is proposing 3 700 Lumen step lights, 3 35-Watt sconces, and 1 800 Lumen exterior pendant.

**17.6.8 SOLID FUEL BURNING DEVICE REGULATIONS**

The applicant has indicated the fireplace will be fueled by a gas insert.

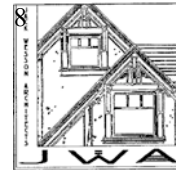
**17.7.19 CONSTRUCTION MITIGATION**

The construction mitigation plan indicates that the office will be located offsite, however, two of the parking spaces encroach into the General Easement, and two other parking spaces are on Trails Edge Lane. All other construction staging and fencing is appropriate and code compliant.

**RECOMMENDATION**

Staff recommends the DRB approve the Initial Architecture Site Review application with the stated variations and specific approvals for Lot 89-2B with the following conditions which shall be addressed before Final Review hearing unless otherwise noted:

1. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.
2. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.
3. Applicant submit a revised parking plan prior to Final Review that indicates there are two interior parking spaces in the garage.



# NARRATIVE

5.3.18

To: Community Development Department  
Design Review Board  
Mountain Village, CO

From: Jack Wesson  
Jack Wesson Architects, Inc.  
110 S. Pine #100  
P.O. Box 2051  
Telluride, CO 81435  
(970) 519.1551  
jwesson@me.com.com

Re: Design Review Submission Narrative for a Single Family Residence  
Lot 600BR-1, Mountain Village CO

This single family residence is proposed to be built on lot BR600-1 Trails Edge (lot size 5044 sf). The interior gross heated area is approximately 3102 s.f, plus a 464 s.f. two car garage. The design esthetic is a rustic, mining vernacular, in keeping with the HOA design guidelines in the Trails Edge Subdivision. The exterior materials incorporate antique barn wood siding and timbers, stone and rusted metal. Roof forms are traditional and include gable and shed forms. The project is compliant with the Land Use Ordinance; the massing is within the maximum height limits site coverage (2040 sf.) does not exceed 40% (40.0%).

No variances are requested.

The exterior materials meet the surface area criteria:

stone veneer s	35.95% (exceeds 35%)
fenestration is	17.58%
wood is	34.10%
metal accent is	12.37%

Lot Area:	5044 s.f.
Site Coverage:	2014 sf (39.9%)-
Floor Area Living:	3102 sf
Floor Area Garage	480 sf
Ave. Ht.	27.45" (30' max.)
Max. Ht.	39'-0"

Sincerely,  
Jack Wesson





# DESIGN REVIEW PROCESS APPLICATION

PLANNING & DEVELOPMENT SERVICES  
455 Mountain Village Blvd. Suite A  
Mountain Village, CO 81435  
970-728-1392  
970-728-4342 Fax  
cd@mtnvillage.org

## DESIGN REVIEW PROCESS APPLICATION

### APPLICANT INFORMATION

<b>Name:</b> Jack Wesson, Jack Wesson Architects inc.		<b>E-mail Address:</b> jwesson@me.com	
<b>Mailing Address:</b> POB 2051		<b>Phone:</b> 970.519.1551	
<b>City:</b> Telluride	<b>State:</b> CO	<b>Zip Code:</b> 81435	
<b>Mountain Village Business License Number:</b> 001939			

### PROPERTY INFORMATION

<b>Physical Address:</b> 11 Trails Edge		<b>Acreage:</b> .12
<b>Zone District:</b> Residential	<b>Zoning Designations:</b> Residential	<b>Density Assigned to the Lot or Site:</b> 4
<b>Legal Description:</b> Lot 600BR-1		
<b>Existing Land Uses:</b> vacant		
<b>Proposed Land Uses:</b> single family residence		

### OWNER INFORMATION

<b>Property Owner:</b> David Grosshans and Anh Dang		<b>E-mail Address:</b> dgrossha@manderson.org	
<b>Mailing Address:</b> 3831 Aberdeen Way		<b>Phone:</b> 303.570.3892	
<b>City:</b> Houston	<b>State:</b> TX	<b>Zip Code:</b> 77025	

**DESCRIPTION OF REQUEST**

DRB Review and approval of an approximate 3500 s.f. single family home and 500 s.f. garage



# DESIGN REVIEW PROCESS APPLICATION

PLANNING & DEVELOPMENT SERVICES  
455 Mountain Village Blvd. Suite A  
Mountain Village, CO 81435  
970-728-1392  
970-728-4342 Fax  
cd@mtnvillage.org

## TOWN OF MOUNTAIN VILLAGE FEE REQUIREMENTS ACKNOWLEDGEMENT

The Town of Mountain Village requires specific fees to be paid with a development application including legal and attorney fees associated with processing land development applications, inquiries and review. Please read and acknowledge the below fee requirement which are found at Community Development Code Section 17.4.4. General Provisions Applicable to All Development Application Classes, Section L. Fees.

### L. Fees

**1. Fee Schedule.** The Town Council shall, from time to time, adopt a fee resolution setting forth all development application fees and associated permit fees. Fees for submittals not listed in the fee schedule resolution shall be determined by the Director of Community Development on a case-by-case basis determined by the similarity between the submittal and the development applications listed on the fee schedule together with the estimated number of hours of staff time the review of the submittal will require. No development application shall be processed, nor any development or building permits shall be issued until all outstanding fees or moneys owed by the applicant, lot owner, developer or related entity, as defined by the Municipal Code, to the Town, in any amount for any purpose, including but not limited to any fees, delinquent taxes, required Town licenses, permit fees, court fines, costs, judgments, surcharges, assessments, parking fines or attorney's fees are paid to the Town.

**2. Town Attorney Fees.** The applicant shall be responsible for all legal fees incurred by the Town in the processing and review of any development application or other submittal, including but not limited to any Town Attorney fees and expenses incurred by the Town in the legal review of a development application together with the legal review of any associated legal documents or issues. Legal expenses so incurred shall be paid for by the applicant prior to the issuance of any permits.


**3. Property or Development Inquiries.** The Town requires that Town Attorney legal fees and expenses be paid for all development or property inquiries where a legal review is deemed necessary by the Town. The developer or person making the inquiry, whichever the case may be, shall be informed of this obligation and execute a written agreement to pay such legal expenses prior to the Town Attorney conducting any legal review. A deposit may be required by the Director of Community Development prior to the commencement of the legal review.

**4. Other Fees.** The applicant shall be responsible for all other fees associated with the review of a development application or other submittal conducted by any outside professional consultant, engineer, agency or organization and which are deemed 69 necessary by the Town for a proper review.

**5. Recordation Fees.** The Community Development Department will record all final plats, development agreements and other legal instruments. The applicant shall be responsible for the fees associated with the recording of all legal instruments.

I have read and acknowledge the fee requirements associated with my application.

DAVID M SCHILTZ

  
\_\_\_\_\_

(signature required)

5/2/10  
\_\_\_\_\_

(date)

BCW Properties





DESIGN REVIEW PROCESS  
APPLICATION

PLANNING & DEVELOPMENT SERVICES  
455 Mountain Village Blvd. Suite A  
Mountain Village, CO 81435  
970-728-1392  
970-728-4342 Fax  
cd@mtnvillage.org

OWNER AGENT AUTHORIZATION FORM

I have reviewed the application and hereby authorize (agent name) Jack Wesson  
of (agent's business name) Jack Wesson Architects inc. to be and to act as my designated  
representative and represent the development application through all aspects of the development review  
process with the Town of Mountain Village.

David Grosshans

(Signature)

4/11/2018

(Date)

David Grosshans

(Printed name)

**From:** Trails Edge trailsedgehoa@gmail.com

**Subject:** Lot Design Approvals

**Date:** May 2, 2018 at 10:49 AM

**To:** jwesson@me.com, David Grosshans dgrossha@mdanderson.org, David Schiltz dschiltz5@gmail.com

---



Good morning Jack,

Trails Edge at Double Cabins Owners Association has reviewed the plans for Lot 1 and the revisions for Lot 3. Both of these are approved by all homeowners with no dissent from the President, Board, or any individual owner. You may proceed with these designs.

Robert Fudge  
HOA Manager  
970-708-8458

San Miguel County, CO Clerk & Recorder's Office

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425347  
Page 1 of 1  
SAN MIGUEL COUNTY, CO  
M. KATHLEEN ERIE, CLERK-RECORDER  
10-29-2012 08:23 AM Recording Fee \$11.00  
Documentary Fee: \$32.00

**Warranty Deed**  
(Pursuant to 38-30-113 C.R.S.)

State Documentary Fee  
Date: October 25, 2012  
\$ 32.00



THIS DEED, made on October 25, 2012 by BETTY LOU PROPERTIES, LLC, AN ARIZONA LIMITED LIABILITY COMPANY Grantor(s), of the County of MARICOPA and State of ARIZONA for the consideration of (\$320,000.00) \*\*\* Three Hundred Twenty Thousand and 00/100 \*\*\* dollars in hand paid, hereby sells and conveys to ANH DANG AND DAVE GROSSHANS Grantee(s), whose street address is 3730 DUMBARTON STREET HOUSTON, TX 77052, County of \_\_\_\_\_, and State of TEXAS, the following real property in the County of San Miguel, and State of Colorado, to-wit:

**LOT 600BR-1, TRAIL'S EDGE AT DOUBLE CABINS, ACCORDING TO THE PLAT RECORDED NOVEMBER 11, 2004 IN PLAT BOOK 1 AT PAGE 3385, COUNTY OF SAN MIGUEL, STATE OF COLORADO.**

also known by street and number as: **1 TRAILS EDGE LANE MOUNTAIN VILLAGE CO 60015**

with all its appurtenances and warrants the title to be same, subject to general taxes for the year 2012 and those specific Exceptions described by reference to recorded documents as reflected in the Title Documents accepted by Grantee(s) in accordance with Record Title Matters (Section B.1) of the Contract to Buy and Sell Real Estate relating to the above described real property; distribution utility easements, (including cable TV); those specifically described rights of third parties not shown by the public records of which Grantee(s) has actual knowledge and which were accepted by Grantee(s) in accordance with Off-Record Title Matters (Section B.2) and Current Survey Review (Section 9) of the Contract to Buy and Sell Real Estate relating to the above described real property; inclusions of the Property within any special tax district; and other NONE

BETTY LOU PROPERTIES, LLC, AN ARIZONA LIMITED LIABILITY COMPANY

*Keith N. Hylton, Manager*  
BY: KEITH N. HYLTON, MANAGER

*Peyton A. Bell, Manager*  
BY: PEYTON A. BELL, MANAGER

State of ARIZONA )  
County of MARICOPA ) ss.


BARRY W. MCGRAW  
Notary Public - State of Arizona  
MARICOPA COUNTY  
My Commission Expires  
September 11, 2010

The foregoing instrument was acknowledged before me on this day of October 19, 2012 by KEITH N. HYLTON, MANAGER AND PEYTON A. BELL, MANAGER OF BETTY LOU PROPERTIES, LLC, AN ARIZONA LIMITED LIABILITY COMPANY

*Sally L. Mc...*  
Notary Public  
My commission expires 9/11/10

When Recorded Return to: ANH DANG AND DAVE GROSSHANS  
3730 DUMBARTON STREET HOUSTON, TX 77052

Form 13084 01/2011 wd.odt Warranty Deed (Photographic) TL.R0600272 (LS203722)



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Web Site Questions: please send any questions or comments regarding this site to [Support](#).

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BUILDING SUMMARY	
SITE PERMIT NUMBER:	—
BUILDING PERMIT NUMBER:	—
PROJECT ADDRESS:	TRAIL'S EDGE LANE
BLOCK:	—
LOT:	600B-01
LOT AREA:	5,044 SQ. FT.
ZONING DISTRICT:	SINGLE FAMILY
PROPOSED USE:	RESIDENTIAL
NUMBER OF STORIES:	2
NUMBER OF SUB-LEVELS:	1

CODE SUMMARY	
BUILDING CODE:	INTERNATIONAL RESIDENTIAL CODE (2012) INTERNATIONAL ELECTRICAL CODE (2012) INTERNATIONAL FIRE CODE (2012) INTERNATIONAL MECHANICAL CODE (2012) INTERNATIONAL PLUMBING CODE (2012)
ENERGY CODE:	NATIONAL ENERGY CODE (2017)
TYPE OF CONSTRUCTION:	TYPE 5-B
OCCUPANCY:	R-3
BUILDING AREA:	3,566 SQ. FT.
	<b>***FIRE SPRINKLERS REQUIRED***</b>
	130 LB GROUND SNOW LOAD, 90 MPH EXPOSURE C WIND, FROST DEPTH 48"

### ABBREVIATIONS & SYMBOLS

WALL, BUILDING OR MISCELLANEOUS SECTION NO. DRAWING NO.	
INTERIOR ELEVATION NO. SHEET NO.	
ROOM NAME ROOM NO.	KITCHEN [206]
DOOR NO.	(117)
ELEVATION WINDOW NO.	(S1)
FRAME WALL	
BRICK/STONE VENEER	
SPOT ELEVATION	
A.B. ROOF SLOPE A.C.T.	

### GENERAL NOTES

GN01- CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, AND DRAWINGS WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

GN02- MATERIALS AND ASSEMBLIES:  
ALL WORK SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, O.S.H.A. REQUIREMENTS, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUB-CONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP.

GN03- CONTRACTOR TO REVIEW GEO-TECHNICAL REPORT FOR BUILDING SYSTEM RECOMMENDATIONS. SHOULD UNEXPECTED SITE CONDITIONS ARISE DURING EXCAVATION, THE ARCHITECT AND GEO-TECHNICAL ENGINEER SHALL BE NOTIFIED FOR A SITE EVALUATION OF EXISTING CONDITIONS.

GN04- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH THE FLOORS, CEILING AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS.

GN05- ALL REQUIRED WORK SHALL BE PERFORMED BY THE CONTRACTOR UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE "CONTRACTOR" INCLUDE GENERAL CONTRACTOR AND HIS/HER SUBCONTRACTORS. THEY SHALL BE ONE AND THE SAME.

GN06- THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE BUILDING PERMITS, ALL NECESSARY INSPECTIONS AND THE CERTIFICATE OF OCCUPANCY.

GN07- THE CONTRACTOR SHALL COMPILE AND SUBMIT AS REQUIRED TO MANUFACTURERS AND OWNER ALL MATERIAL, FIXTURE AND APPLIANCE WARRANTIES.

GN08- THE JOBSITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY MANNER, FREE OF TRASH AND CONSTRUCTION DEBRIS. THE CONTRACTOR SHALL PROVIDE FOR RECYCLING AT THE JOB SITE.

GN09- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL MATERIALS BEING DELIVERED TO THE PROJECT AND THE PROTECTION OF NEIGHBORING PROPERTIES.

GN10- THE CONTRACTOR SHALL COORDINATE WITH ALL EQUIPMENT MANUFACTURERS FOR EQUIPMENT ROUGH-IN REQUIREMENTS.

GN11- THE CONTRACTOR SHALL VERIFY REQUIRED LOCATIONS OF ALL NECESSARY ACCESS PANELS IN ALL PARTITIONS, FLOORS, CEILING, AND WALLS AND COORDINATE EXACT LOCATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION. ALL ACCESS PANELS SHALL BE INSTALLED FLUSH TO SURFACE WITH NO TRIM.

GN12- FOR THIS PROJECT, DATUM 100.00' IS SET AT FINISH FLOOR, MAIN LEVEL OF THE UNIT.  
GN13- DATUM ELEVATIONS ARE GIVEN TO TOP OF FINISH FLOOR. ALL OTHER FINISH MATERIALS ARE ADDED TO THESE GIVEN ELEVATIONS UNLESS OTHERWISE NOTED.

GN14- DO NOT OBTAIN DIMENSIONS BY SCALING DRAWINGS - USE WRITTEN DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE PROJECT ARCHITECT BEFORE THE COMMENCEMENT OF WORK.

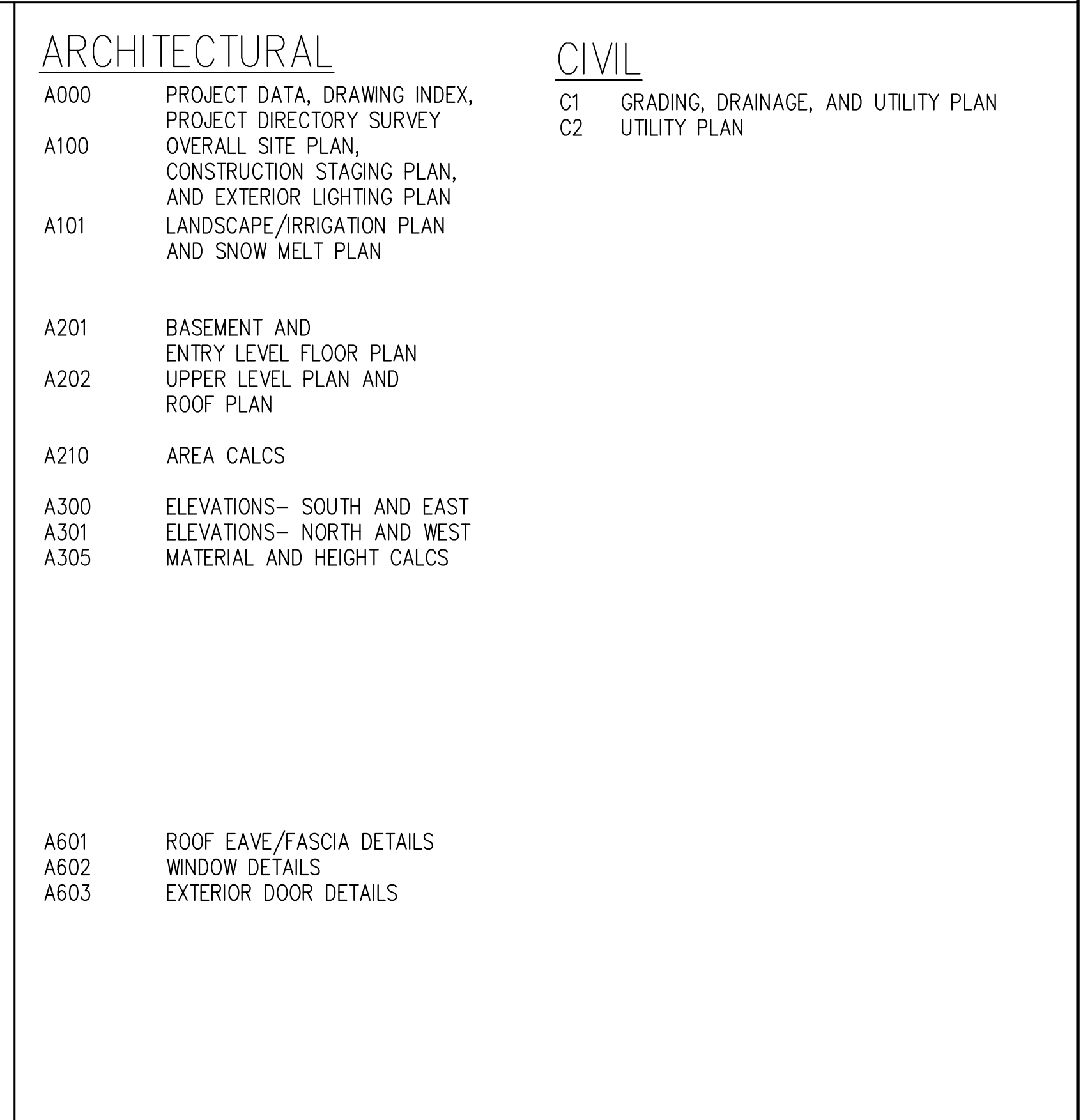
GN15- UNLESS OTHERWISE NOTED, DIMENSIONS ARE TAKEN TO THE FOLLOWING IN ORDER OF PRIORITY:

A. GRID LINES  
B. FLOOR LINES  
C. WORK POINTS  
D. STRUCTURAL STEEL  
E. FACE OF STUD  
F. FACE OF CONCRETE  
G. FACE OF FINISH

### DRAWING INDEX

ARCHITECTURAL	CIVIL
A000 PROJECT DATA, DRAWING INDEX, PROJECT DIRECTORY SURVEY	C1 GRADING, DRAINAGE, AND UTILITY PLAN
A100 OVERALL SITE PLAN, CONSTRUCTION STAGING PLAN, AND EXTERIOR LIGHTING PLAN	C2 UTILITY PLAN
A101 LANDSCAPE/IRRIGATION PLAN AND SNOW MELT PLAN	
A201 BASEMENT AND ENTRY LEVEL FLOOR PLAN	
A202 UPPER LEVEL PLAN AND ROOF PLAN	
A210 AREA CALCS	
A300 ELEVATIONS- SOUTH AND EAST	
A301 ELEVATIONS- NORTH AND WEST	
A305 MATERIAL AND HEIGHT CALCS	
A601 ROOF EAVE/FASCIA DETAILS	
A602 WINDOW DETAILS	
A603 EXTERIOR DOOR DETAILS	

### PROJECT ELEVATION

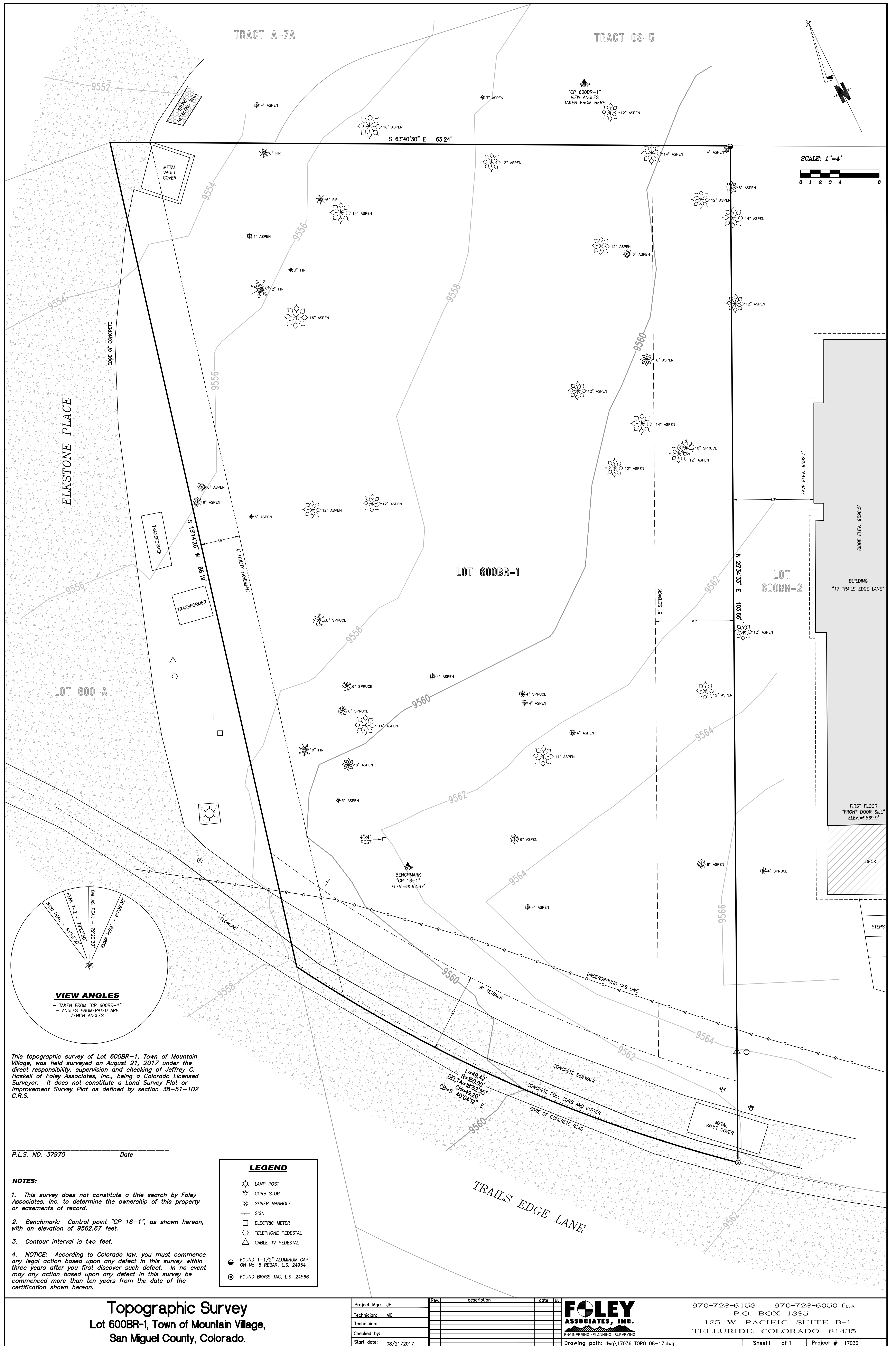


### PROJECT DIRECTORY

CONTRACTOR PROSET CONSTRUCTION RUSS MONTGOMERY 1519 E. MAIN ST. MONTROSE, CO 81401 T 970.729.1376 russm@prosetconstruction.com	ARCHITECT JACK WESSON ARCHITECTS, INC. 110 SOUTH PINE #100 PO BOX 457 TELLURIDE, CO 81435 T 970.728.9755 jwesson@me.com adam.birck@gmail.com
STRUCTURAL ENGINEER COLORADO STRUCTURAL, INC. MIKE ARBANEY P.E. T 970.349.5922 mike@coloradostructural.com	SURVEY INFORMATION SAN JUAN SURVEYING CHRIS KENNEDY 102 SOCIETY DRIVE TELLURIDE, CO 81435 T 970.728-1128 office@sanjuansurveying.com

### NOT FOR CONSTRUCTION

	<b>JACK WESSON ARCHITECTS INC.</b> 110 SOUTH PINE STREET TELLURIDE, COLORADO 81435 TEL: 970.728.9755 FAX: 970.728.9724 jwesson@me.com www.jackwessonarchitects.com
PROJECT NAME: <b>600BR-1 TRAIL'S EDGE</b> MOUNTAIN VILLAGE, COLORADO 81435	SHEET DESCRIPTION: <b>COVER SHEET</b>
PROJECT NUMBER: <b>A-000</b>	



TRACT A-7A

TRACT OS-5

SCALE: 1"=4'



ELKSTONE PLACE

LOT 600BR-1

LOT 600BR-2

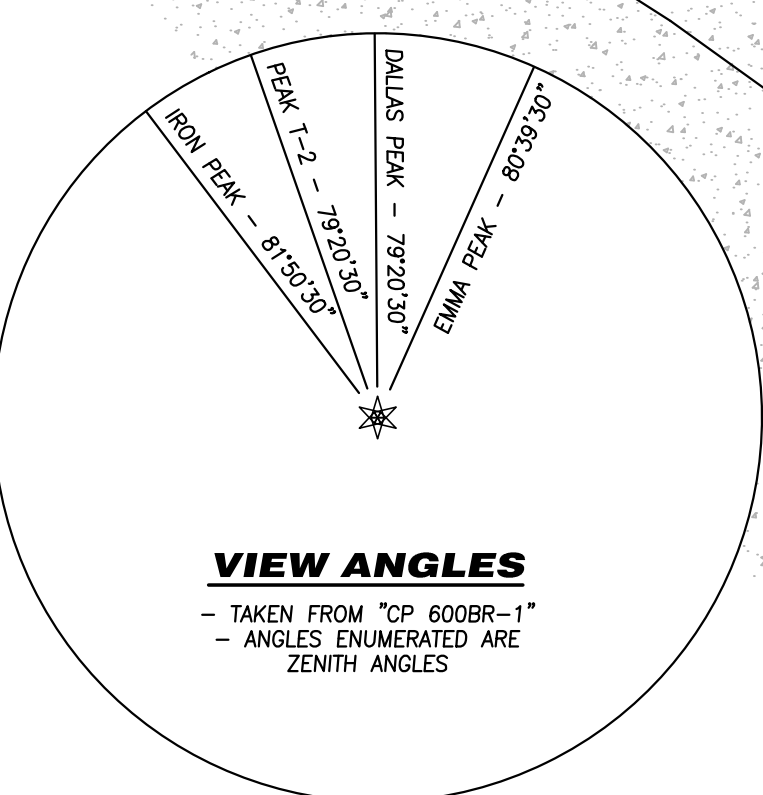
LOT 600-A

BUILDING  
"17 TRAILS EDGE LANE"

FIRST FLOOR  
"FRONT DOOR SILL"  
ELEV.=9569.9'

DECK

STEPS



**VIEW ANGLES**

- TAKEN FROM "CP 600BR-1"  
- ANGLES ENUMERATED ARE ZENITH ANGLES

This topographic survey of Lot 600BR-1, Town of Mountain Village, was field surveyed on August 21, 2017 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.

P.L.S. NO. 37970

Date

**NOTES:**

- This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.
- Benchmark: Control point "CP 16-1", as shown hereon, with an elevation of 9562.67 feet.
- Contour interval is two feet.
- NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

**LEGEND**

- ☆ LAMP POST
- ⊕ CURB STOP
- ⊙ SEWER MANHOLE
- ⊖ SIGN
- ⊕ ELECTRIC METER
- ⊙ TELEPHONE PEDESTAL
- ⊕ CABLE-TV PEDESTAL
- ⊙ FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 24954
- ⊙ FOUND BRASS TAG, L.S. 24566

CONCRETE SIDEWALK  
CONCRETE ROLL CURB AND GUTTER  
EDGE OF CONCRETE ROAD

UNDERGROUND GAS LINE

**Topographic Survey**  
Lot 600BR-1, Town of Mountain Village,  
San Miguel County, Colorado.

Project Mgr:	JH
Technician:	MC
Checked by:	
Start date:	08/21/2017



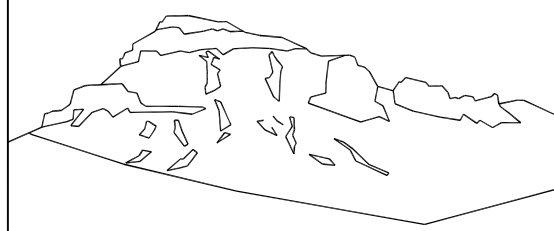
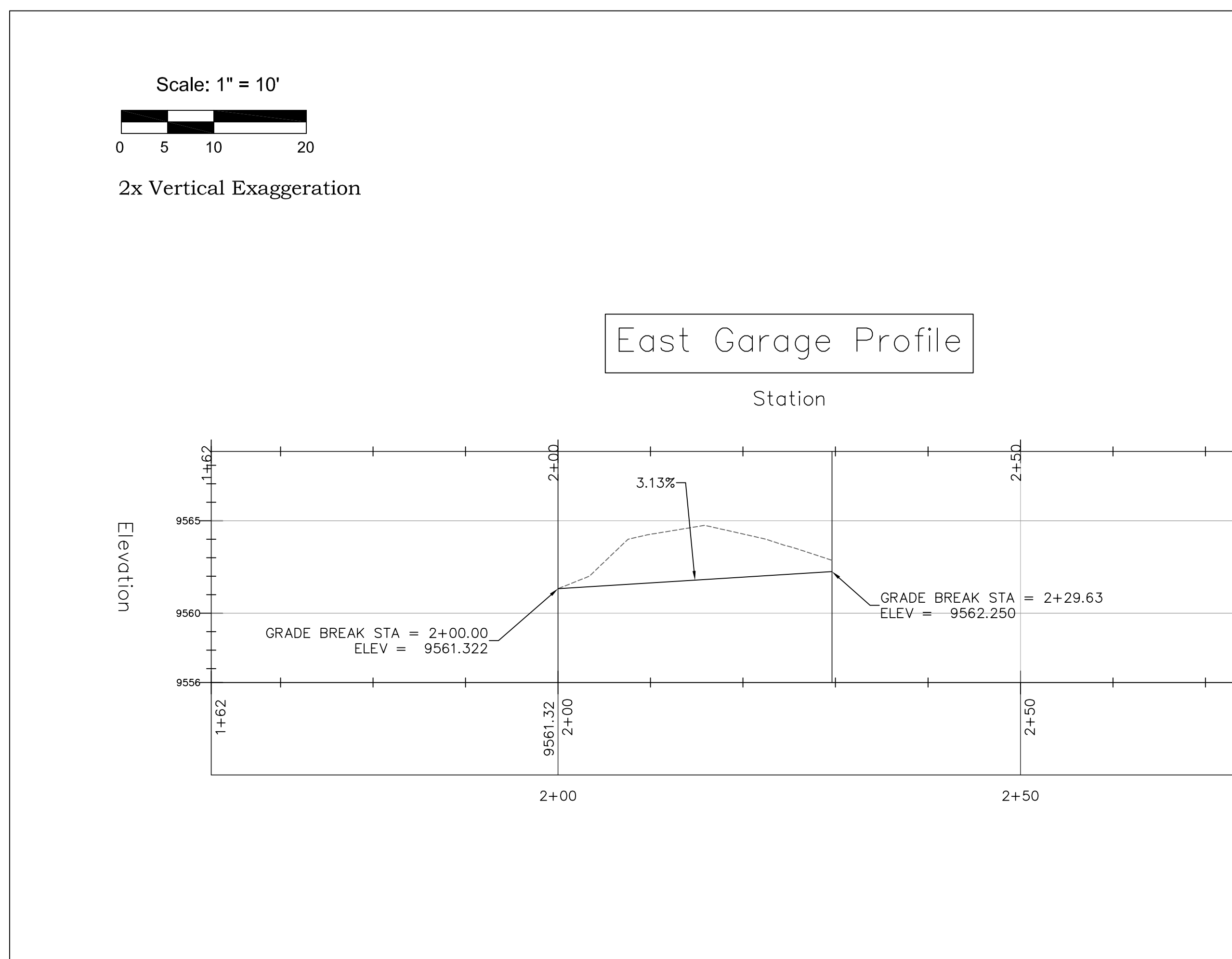
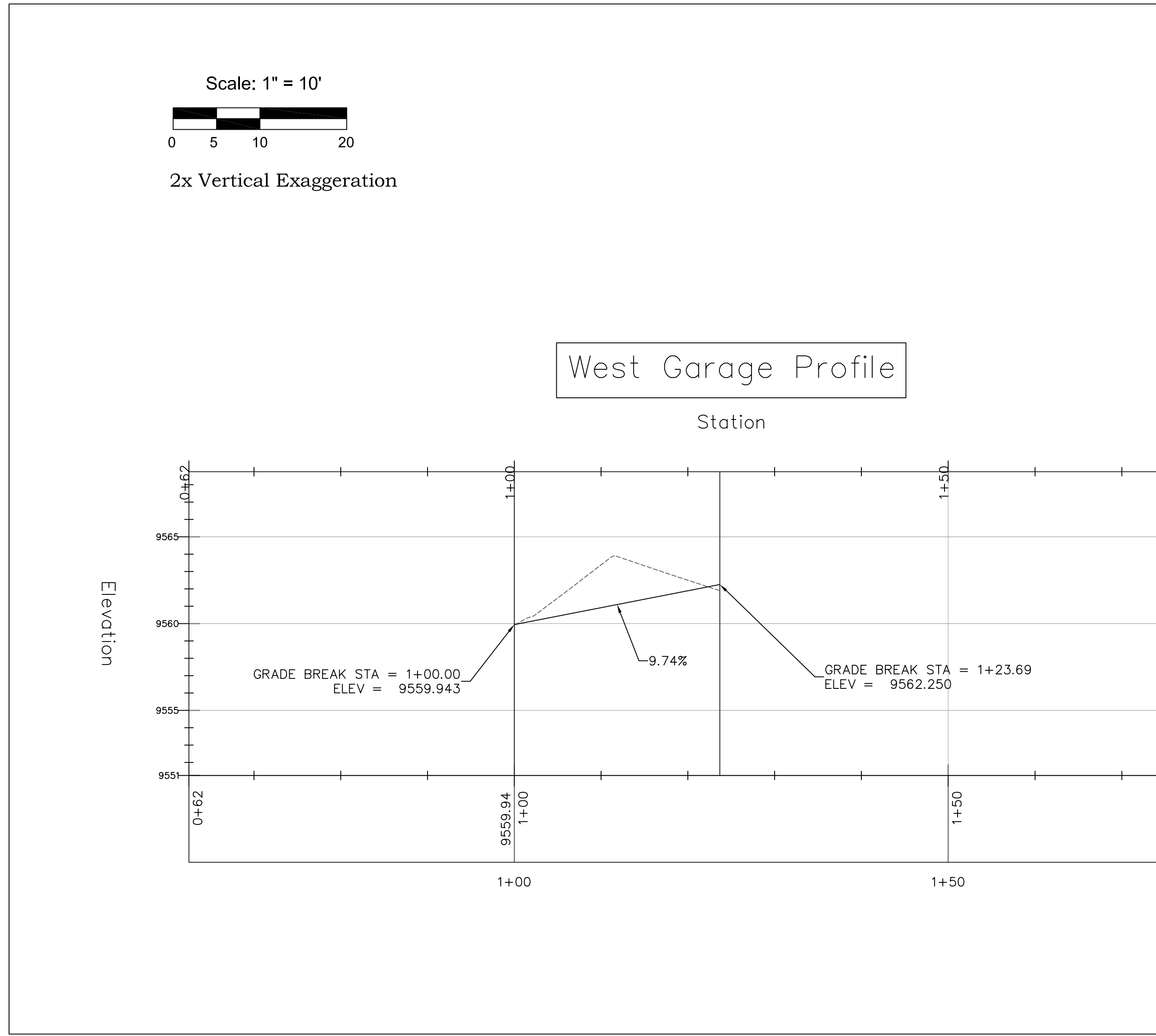
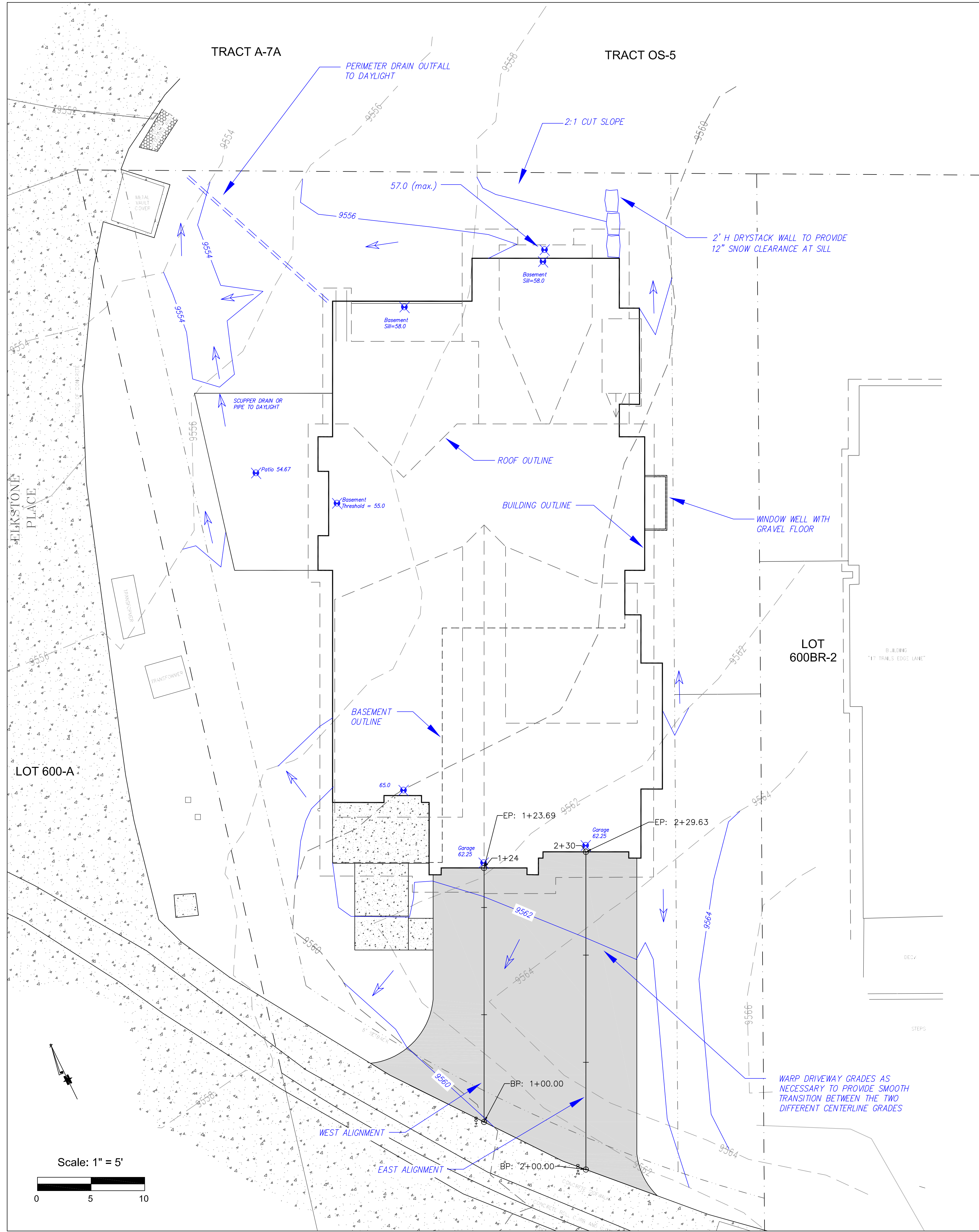
970-728-6153 970-728-6050 Fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

Drawing path: dwg\17036 TOPO 08-17.dwg

Sheet 1 of 1 Project #: 17036

F:\04\17036\17036.dwg TOPO 08-17.dwg 08/21/2017 9:38:31 AM PCS





Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

SUBMITTAL 2018-04-08

Lot 1  
Trails Edge  
Mtn. Village, CO

NOT FOR CONSTRUCTION

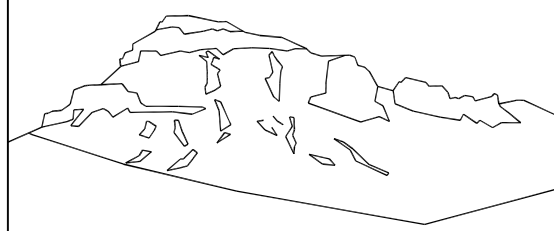
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CHAPTERS AND INTERDISCIPLINARY DRAWINGS  
AND REPORT ANY DISCREPANCIES TO THE  
ARCHITECT PRIOR TO ANY FIELD WORK BEING  
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading  
and  
Drainage Plan

with  
Driveway Profiles

C1





Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

SUBMITTAL 2018-04-09

Lot 1  
Trails Edge  
Mtn. Village, CO

NOT FOR CONSTRUCTION

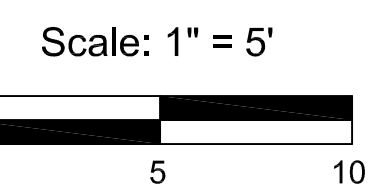
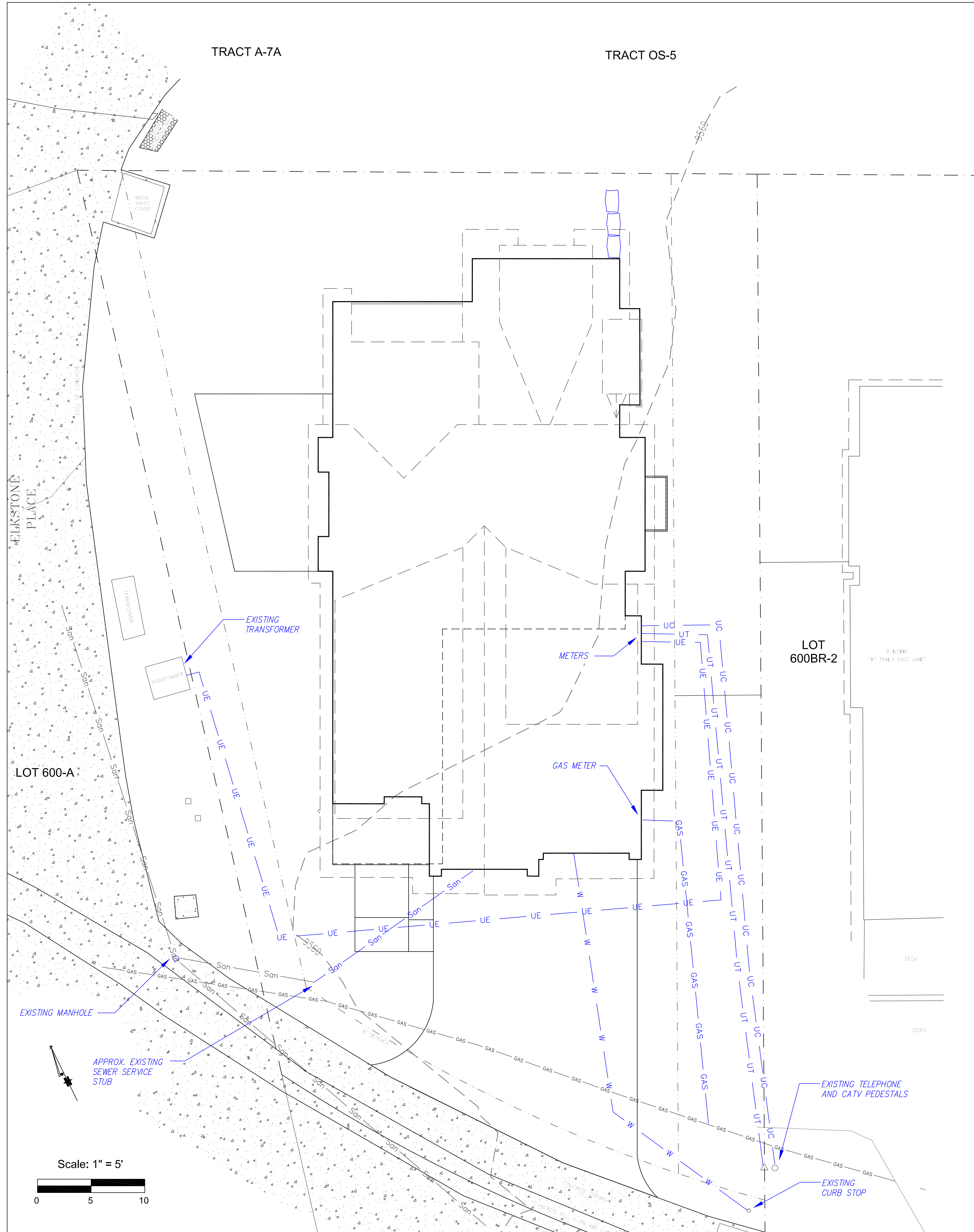
CONTRACTOR TO REVIEW AND COMPARE ALL  
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AND REPORT ANY DISCREPANCIES TO THE  
ARCHITECT PRIOR TO ANY FIELD WORK BEING  
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utility  
Plan

C2

TRACT A-7A

TRACT OS-5



Arch 100'-0" = USGS 9565.0

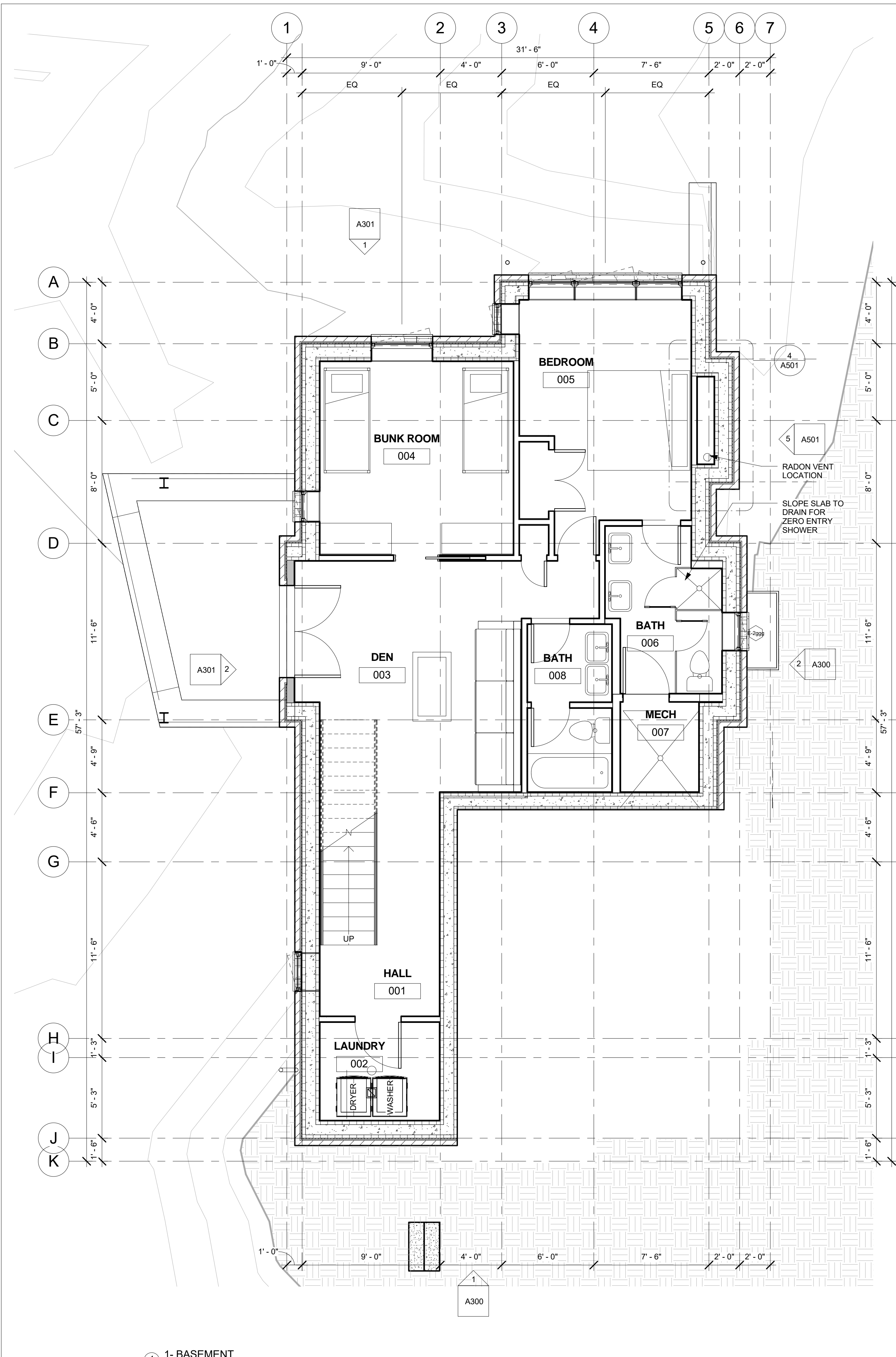




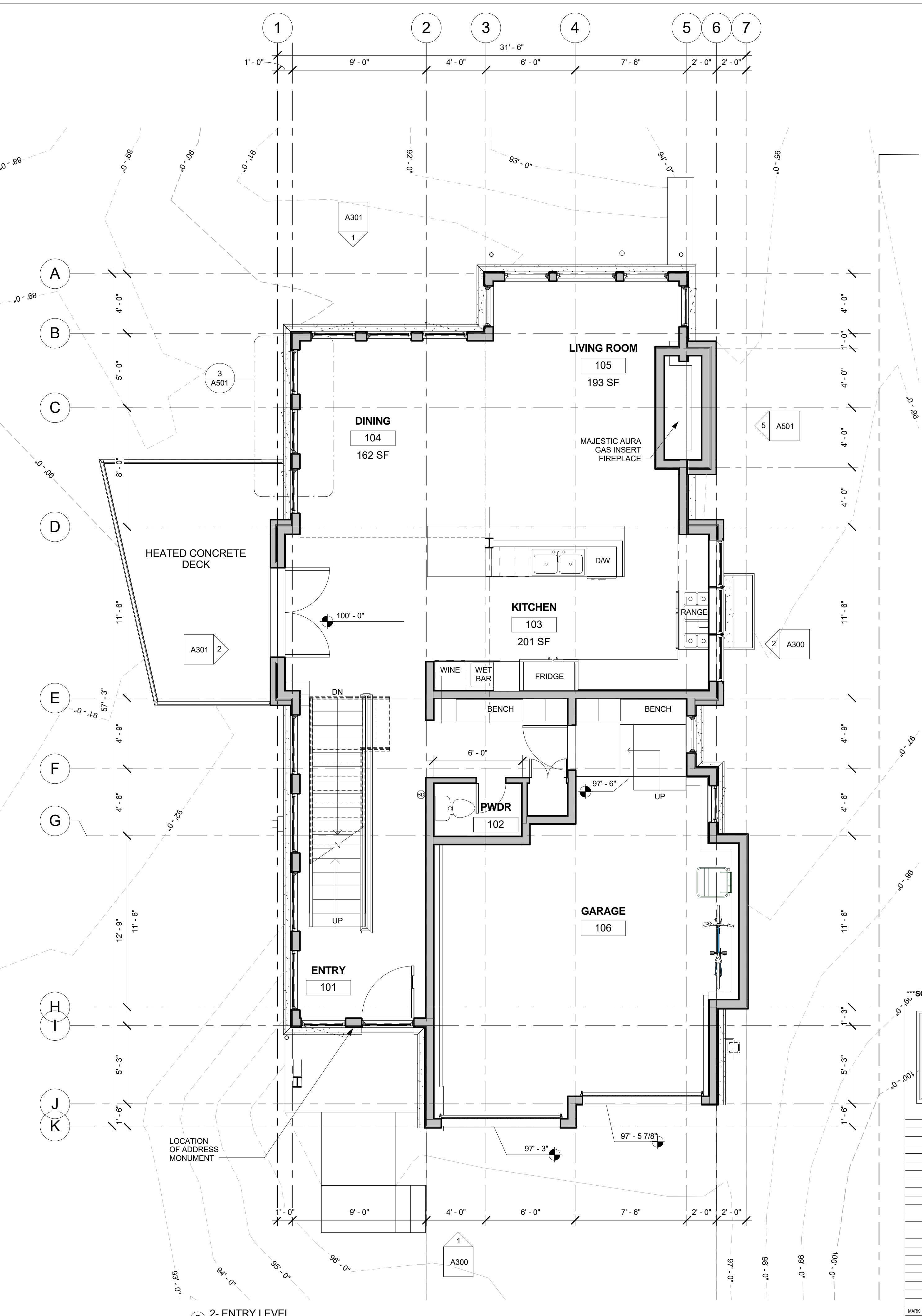








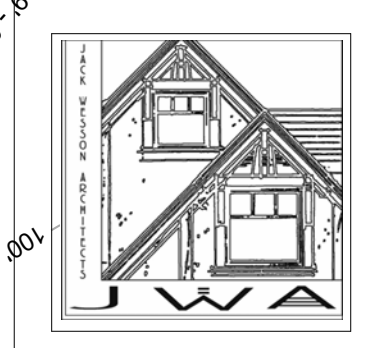
1- BASEMENT  
1/4" = 1'-0"



2- ENTRY LEVEL  
1/4" = 1'-0"

Window Schedule		
Type Mark	Height	Width
E-2aaa	6' - 0"	2' - 6"
E-2aaa	6' - 0"	2' - 6"
E-2bbb	1' - 6"	3' - 2"
E-2bbb	1' - 6"	3' - 2"
E-2bbb	1' - 6"	3' - 2"
E-2ccc	5' - 0"	2' - 0"
E-2ddd	7' - 11 1/8"	4' - 0"
E-2eee	2' - 6"	2' - 6"
E-2ff	5' - 0"	4' - 0"
E-2fff	1' - 11 1/8"	3' - 6"
E-2ggg	4' - 0"	2' - 6"
E-2hhh	5' - 0"	2' - 6"
E-2nn	6' - 0"	3' - 0"
E-2nn	6' - 0"	3' - 0"
E-2nn	6' - 0"	3' - 0"
E-2oo	8' - 0"	5' - 0"
E-2pp	8' - 0"	2' - 8"
E-2pp	8' - 0"	2' - 8"
E-2qq	2' - 11 1/8"	4' - 6"
E-2qq	2' - 11 1/8"	4' - 6"
E-2ss	5' - 0"	2' - 0"
E-2tt	4' - 6"	4' - 6"
E-2uu	5' - 0"	2' - 0"
E-2vv	5' - 0"	3' - 0"
E-2ww	7' - 0"	3' - 0"
E-2xx	2' - 0"	3' - 0"
E-2xx	2' - 0"	3' - 0"
E-2yy	3' - 0"	2' - 0"
E-2zz	4' - 0"	2' - 6"
E-2zz	4' - 0"	2' - 6"
E-10	8' - 0"	2' - 9"
E-10	8' - 0"	2' - 9"
N-4	5' - 0"	3' - 0"
N-4	5' - 0"	3' - 0"
N-6	8' - 0"	3' - 0"
N-6	8' - 0"	3' - 0"
N-7	8' - 0"	4' - 0"
N-10	6' - 0"	3' - 0"
N-11	6' - 0"	3' - 0"
N-11	6' - 0"	3' - 0"
S-3	8' - 0"	3' - 0"
W-8	8' - 0"	4' - 0"
W-9	8' - 0"	4' - 0"
W-10	8' - 0"	4' - 0"
W-11	8' - 0"	4' - 0"

\*\*\*SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM\*\*\*



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jwesson@jwa.com  
www.jackwessonarchitects.com

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PROJECT NAME:  
TRAILS EDGE 1  
LOT 900BR-1  
MOUNTAIN VILLAGE, COLORADO 81435

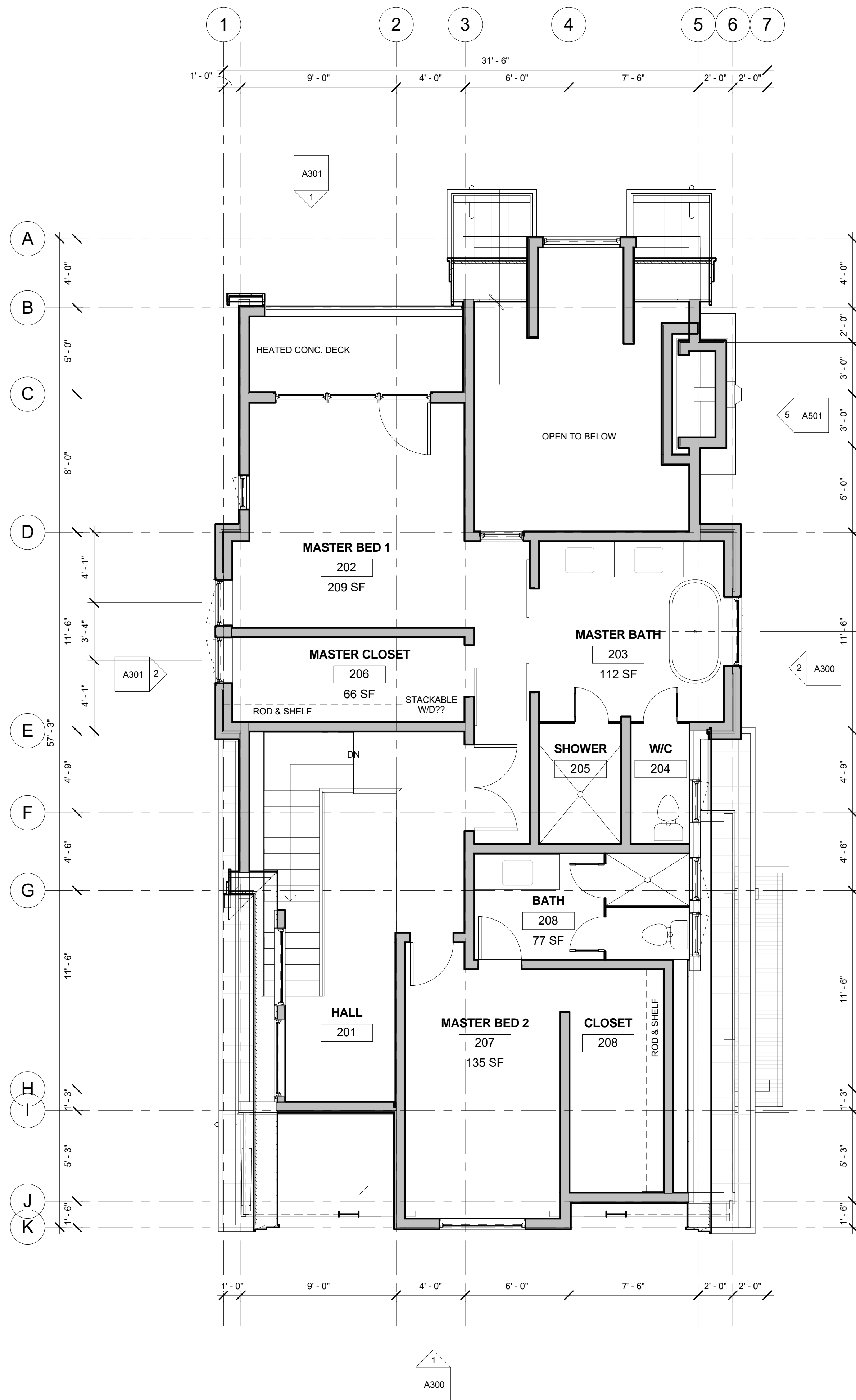
SHEET DESCRIPTION:  
FLOOR PLANS

MARK	REV DATE	DESCRIPTION
5-5-18	DRB APPLICATION #1	
4-18-18	HDA APPLICATION	

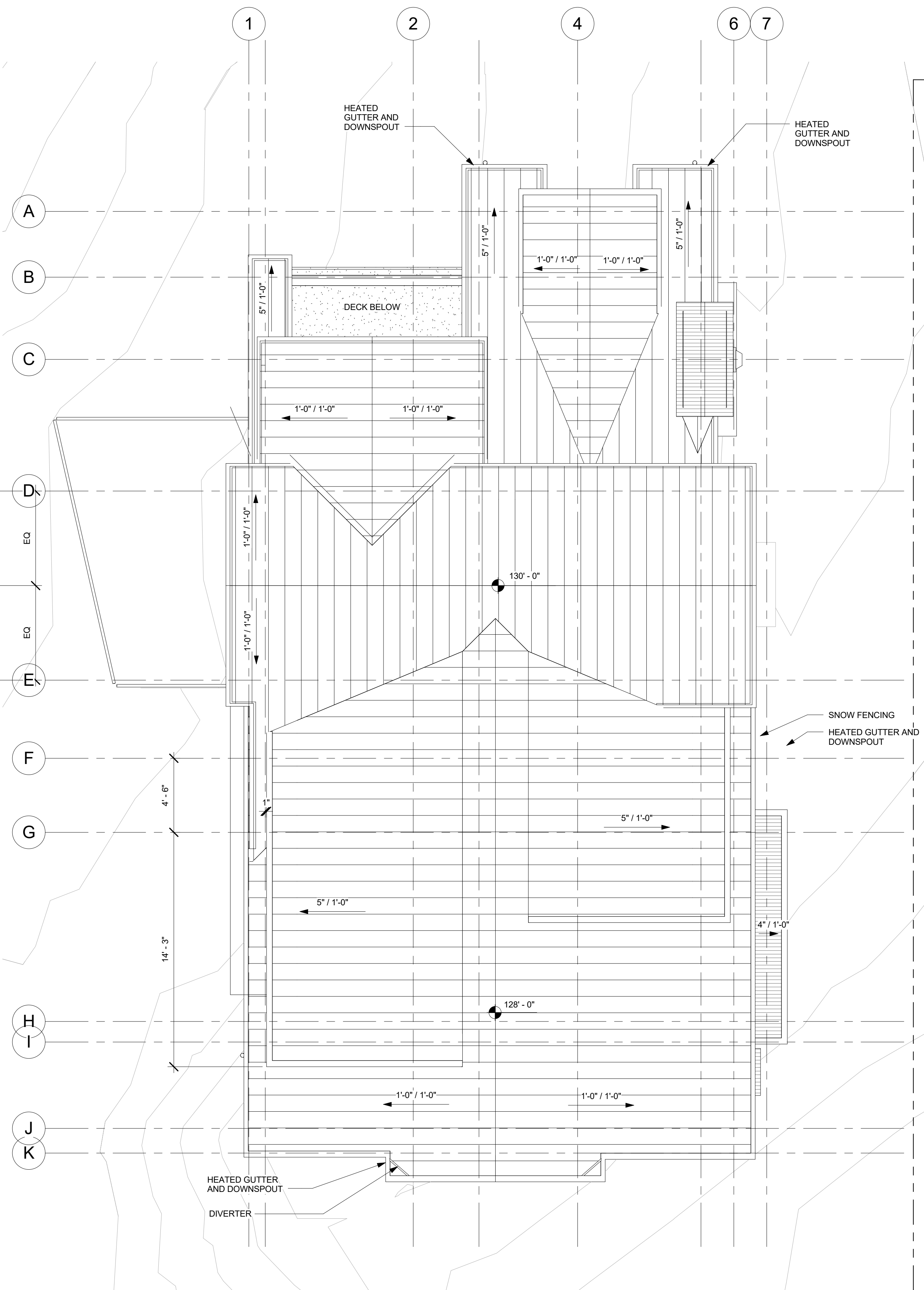
PROJECT NAME:  
PROJECT  
MANAGER:  
DRAWN BY:  
REVIEWED BY:  
2006 JWA

SHEET NUMBER:  
**A201**





① 3- UPPER LEVEL  
1/4" = 1'-0"



② 5- ROOF PLAN  
1/4" = 1'-0"

Door Schedule			
Mark	Width	Height	Head Height
0-P	2'- 0"	8'- 0"	8'- 0"
0-Q	2'- 0"	8'- 0"	8'- 0"
1-A	3'- 6"	8'- 6"	8'- 6"
1-AA	5'- 0"	8'- 0"	8'- 0"
1-BB	3'- 0"	7'- 0"	7'- 0"
1-E	3'- 0"	8'- 0"	8'- 0"
1-EE	8'- 0"	9'- 0"	8'- 11 7/8"
1-FF	3'- 0"	8'- 0"	8'- 0"
1-GG	2'- 0"	8'- 0"	8'- 0"
1-HH	2'- 0"	8'- 0"	8'- 0"
1-II	2'- 0"	8'- 0"	8'- 0"
1-K	2'- 6"	8'- 0"	8'- 0"
1-KK	2'- 0"	8'- 0"	8'- 0"
1-L	2'- 6"	8'- 0"	8'- 0"
1-LL	3'- 0"	7'- 0"	7'- 0"
1-M	3'- 0"	8'- 0"	8'- 0"
1-MM	3'- 0"	7'- 0"	7'- 0"
1-N	2'- 6"	8'- 0"	8'- 0"
1-NN	3'- 0"	8'- 0"	8'- 0"
1-O	2'- 6"	8'- 0"	8'- 0"
1-OO	6'- 0"	8'- 0"	8'- 0"
1-P	1'- 8"	8'- 0"	8'- 0"
1-PP	6'- 0"	8'- 0"	8'- 0"
1-Q	3'- 0"	8'- 0"	8'- 0"
1-R	4'- 0"	8'- 0"	8'- 0"
1-S	2'- 0"	8'- 0"	8'- 0"
1-T	2'- 0"	8'- 0"	8'- 0"
1-U	8'- 0"	9'- 0"	8'- 11 7/8"
1-Y	2'- 6"	8'- 0"	8'- 0"
1-Z	2'- 6"	8'- 0"	8'- 0"

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PROJECT NAME: TRAILS EDGE 1  
 LOT 900BR-1  
 MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION: FLOOR AND ROOF PLAN

SHEET NUMBER: A202

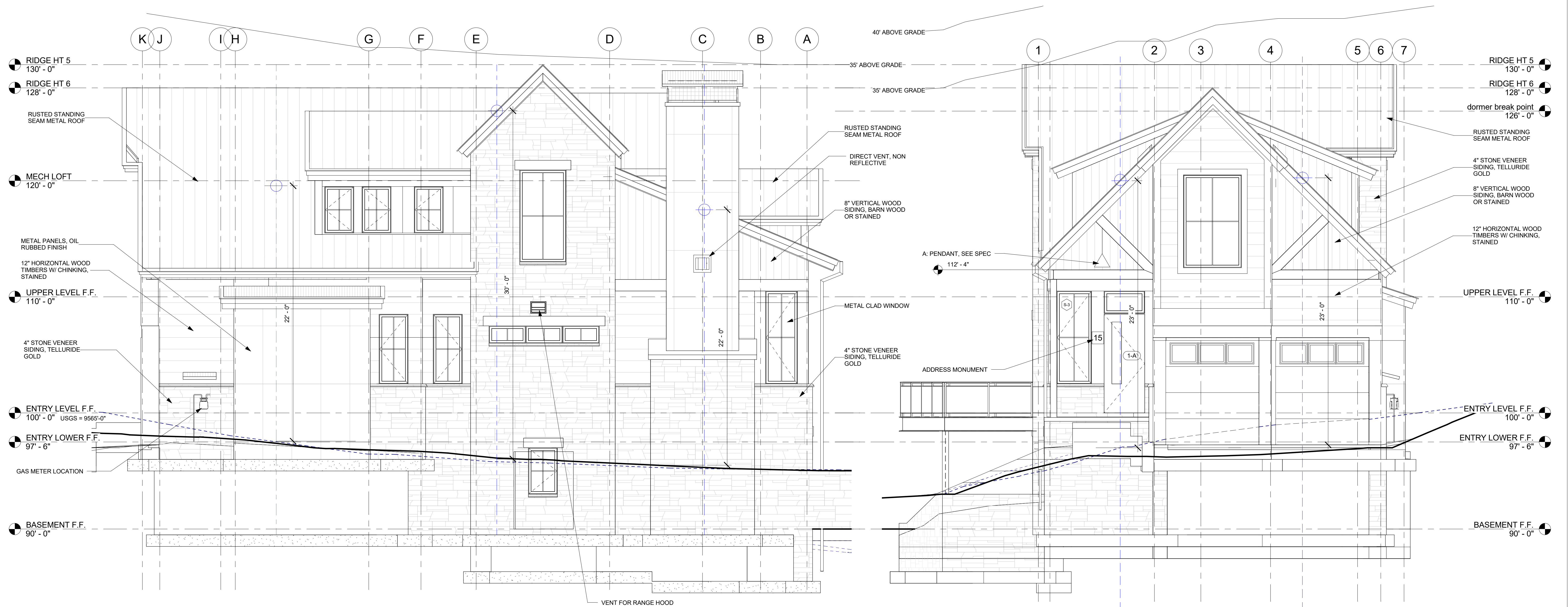
MARK	REV DATE	DESCRIPTION
5-5-18		DRB APPLICATION #1
4-18-18		HDA APPLICATION

PROJECT MANAGER: [Blank]  
 DRAWN BY: [Blank]  
 REVIEWED BY: 2006 JWA









② 4 EAST ELEVATION  
1/4" = 1'-0"

① 1 SOUTH ELEVATION  
1/4" = 1'-0"

28'-6"  
36'-0"  
30'-0"  
24'-6"  
29'-6"  
33'-6"  
22'-0"  
30'-0"  
22'-0"  
30'-0"  
23'-0"  
302'-0"/11=27.45'  
AVERAGE ROOF HEIGHT = 27.45' (MAX 30')  
MAX ROOF HEIGHT = 39'-0" (MAX 35'+5'=40')



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970.728.9724  
jwesson@me.com  
www.jackwessonarchitects.com

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PROJECT NAME:  
**TRAILS EDGE 1**  
LOT 900BR-1  
MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION:  
**ELEVATIONS**

SHEET NUMBER:  
**A300**

MARK	REV. DATE	DESCRIPTION
5-5-18	DRB APPLICATION #1	
4-18-18	HDA APPLICATION	
PROJECT NAME:	PROJECT MANAGER:	DRAWN BY:
		REVIEWED BY:
		2006 JWR









① MATERIAL CALC 1 SOUTH ELEVATION  
3/16" = 1'-0"



② MATERIAL CALC 2 WEST ELEVATION  
3/16" = 1'-0"



③ MATERIAL CALC 3 NORTH ELEVATION  
3/16" = 1'-0"



④ MATERIAL CALC 4 EAST ELEVATION  
3/16" = 1'-0"

600BR-1 Material Calculations						
Elevation	South	East	North	West	Total	Percent
Stone	132.48	571.87	339.52	774.44	1818.31	35.95%
Wood	447.51	427.46	268.94	580.49	1724.4	34.10%
Fenestration	101.81	145.59	288.55	353.02	888.97	17.58%
Accent	172.72	302.06	73.53	77.29	625.6	12.37%
<b>Total</b>	<b>854.52</b>	<b>1446.98</b>	<b>970.54</b>	<b>1785.24</b>	<b>5057.28</b>	



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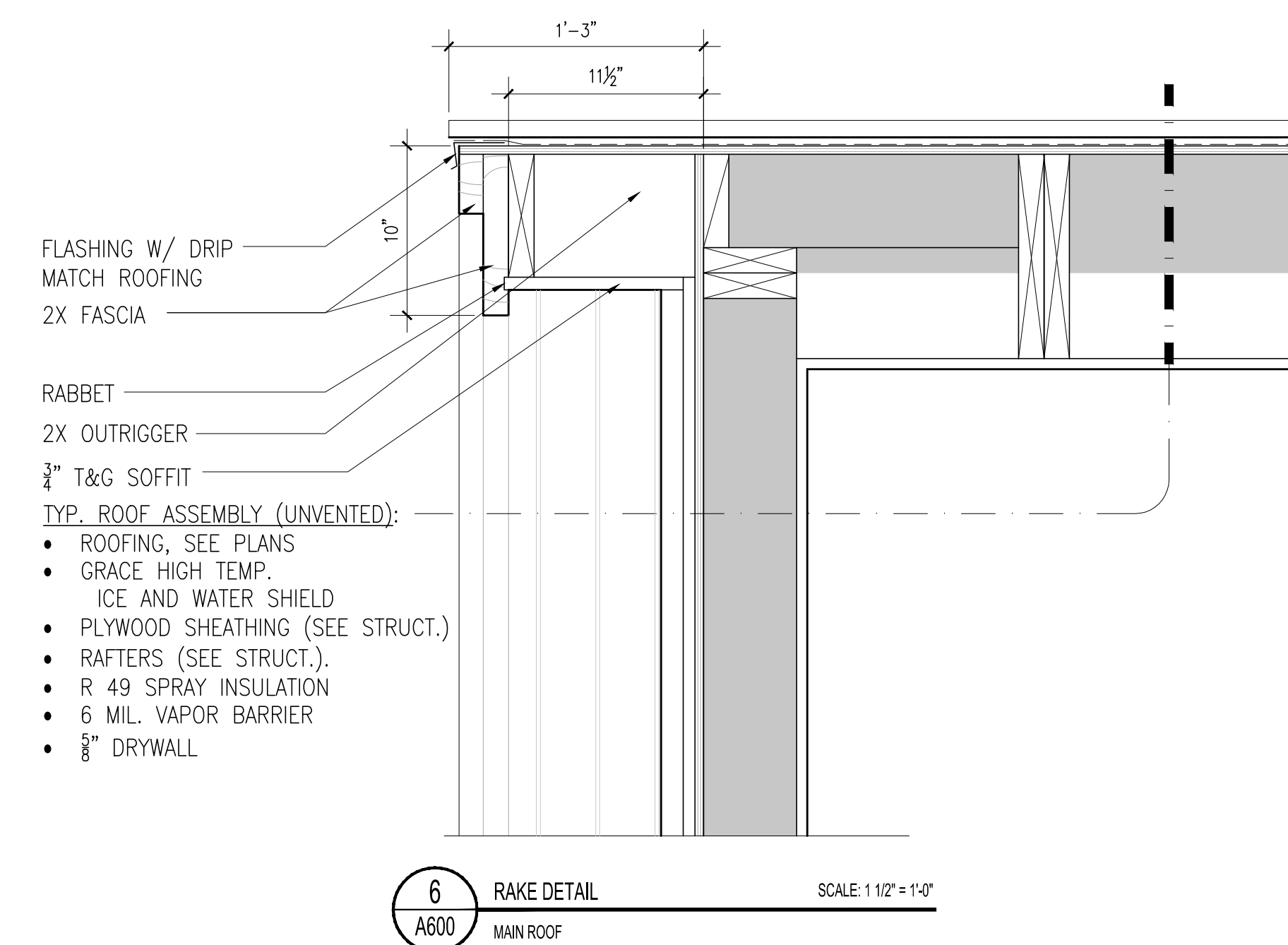
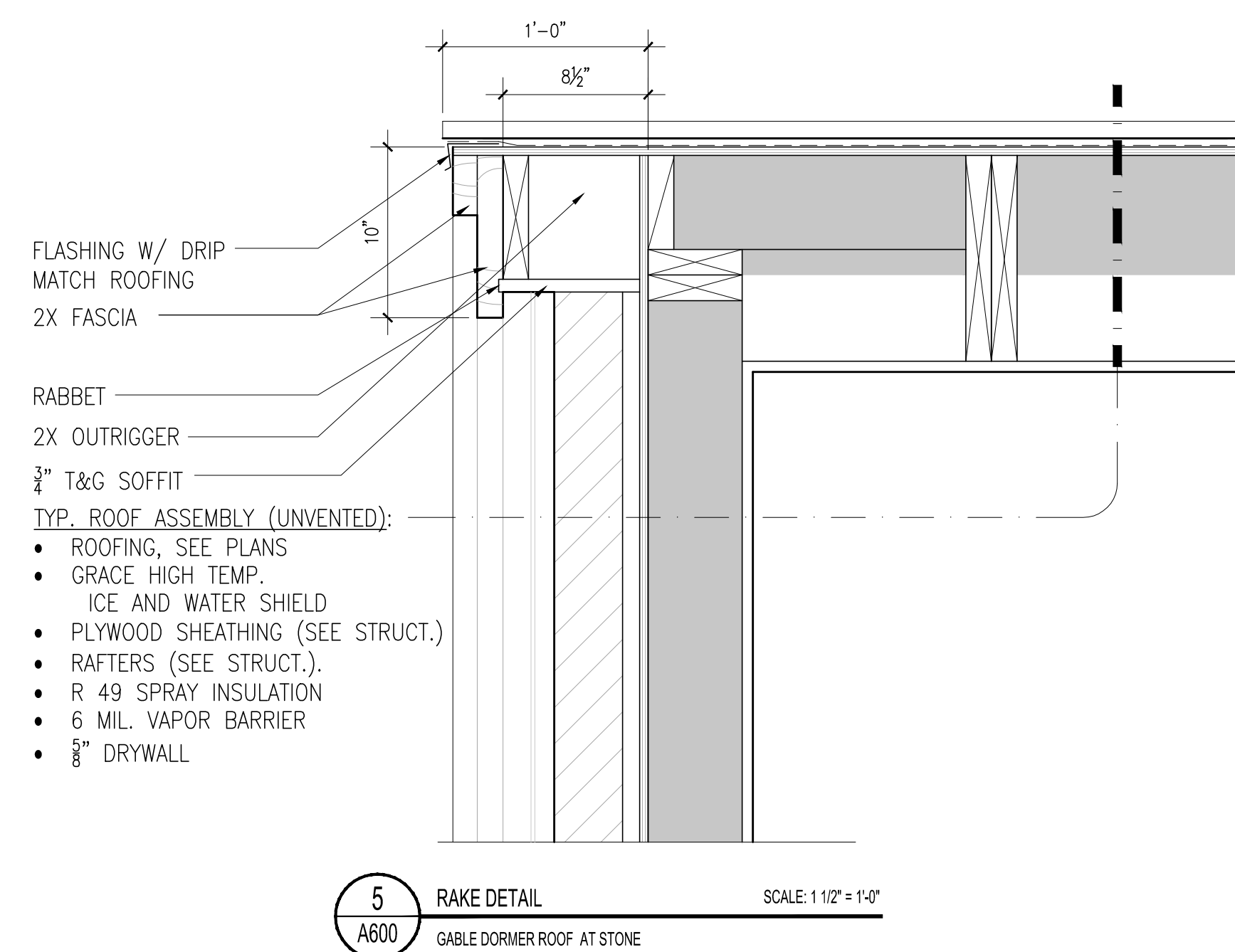
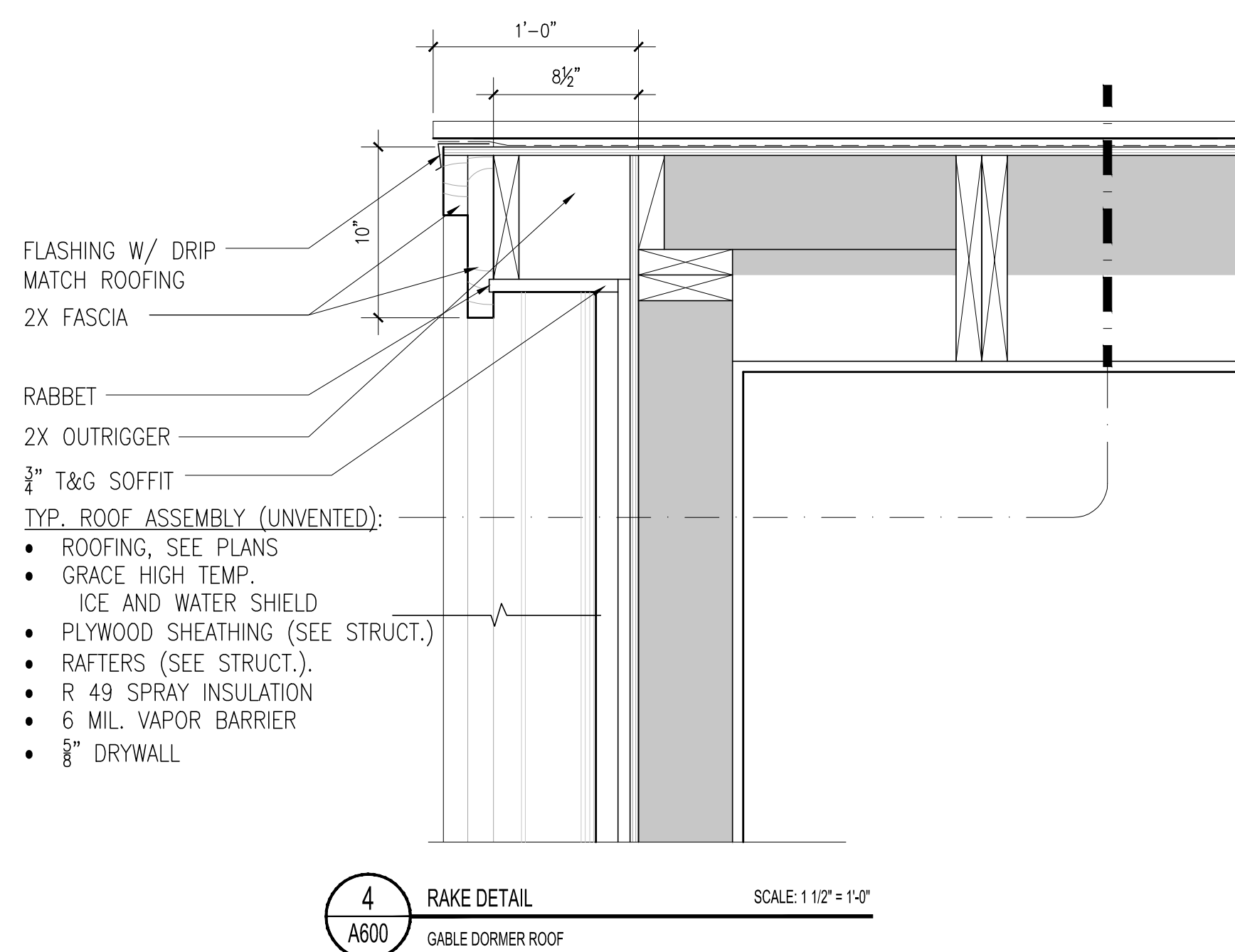
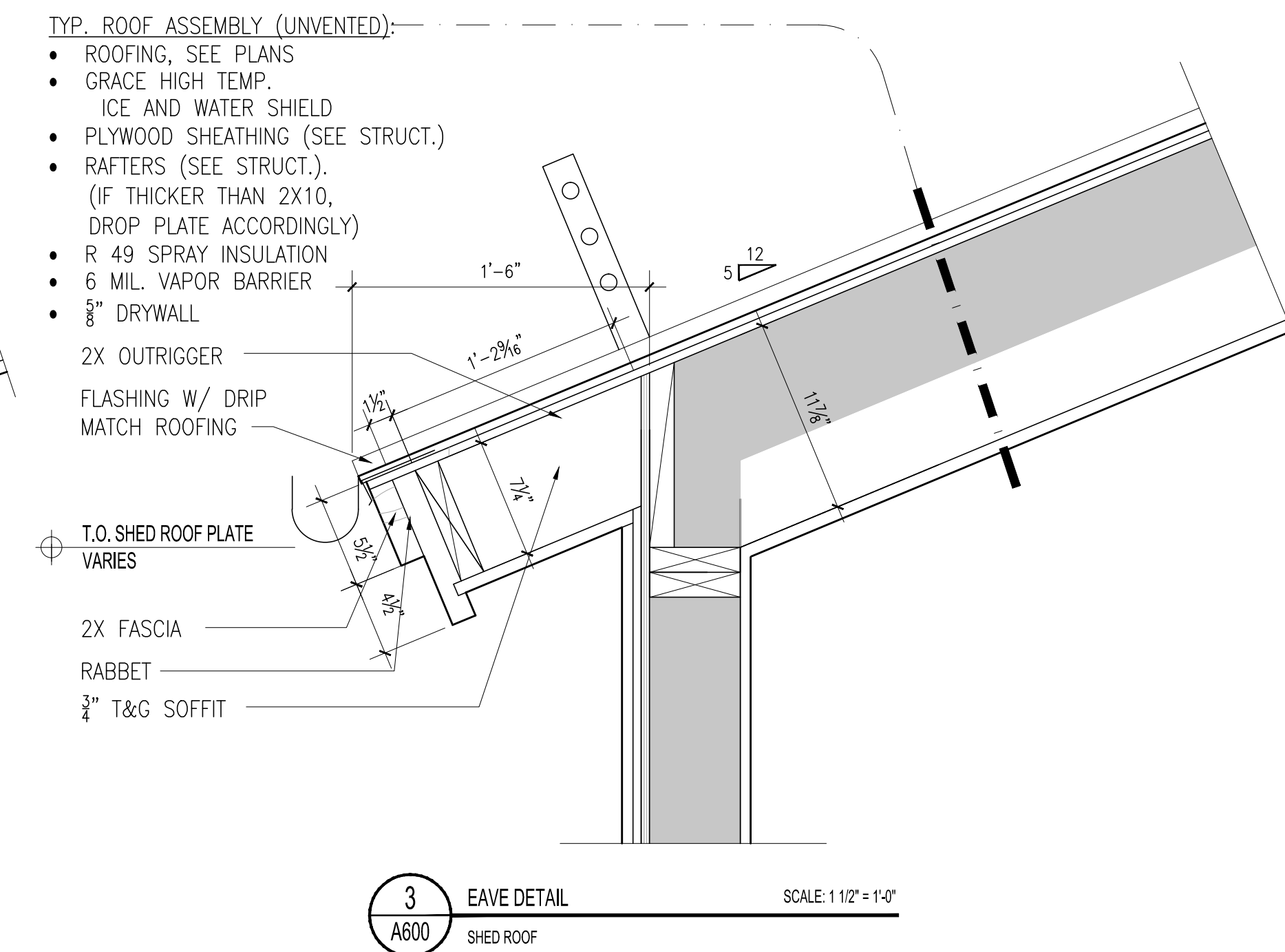
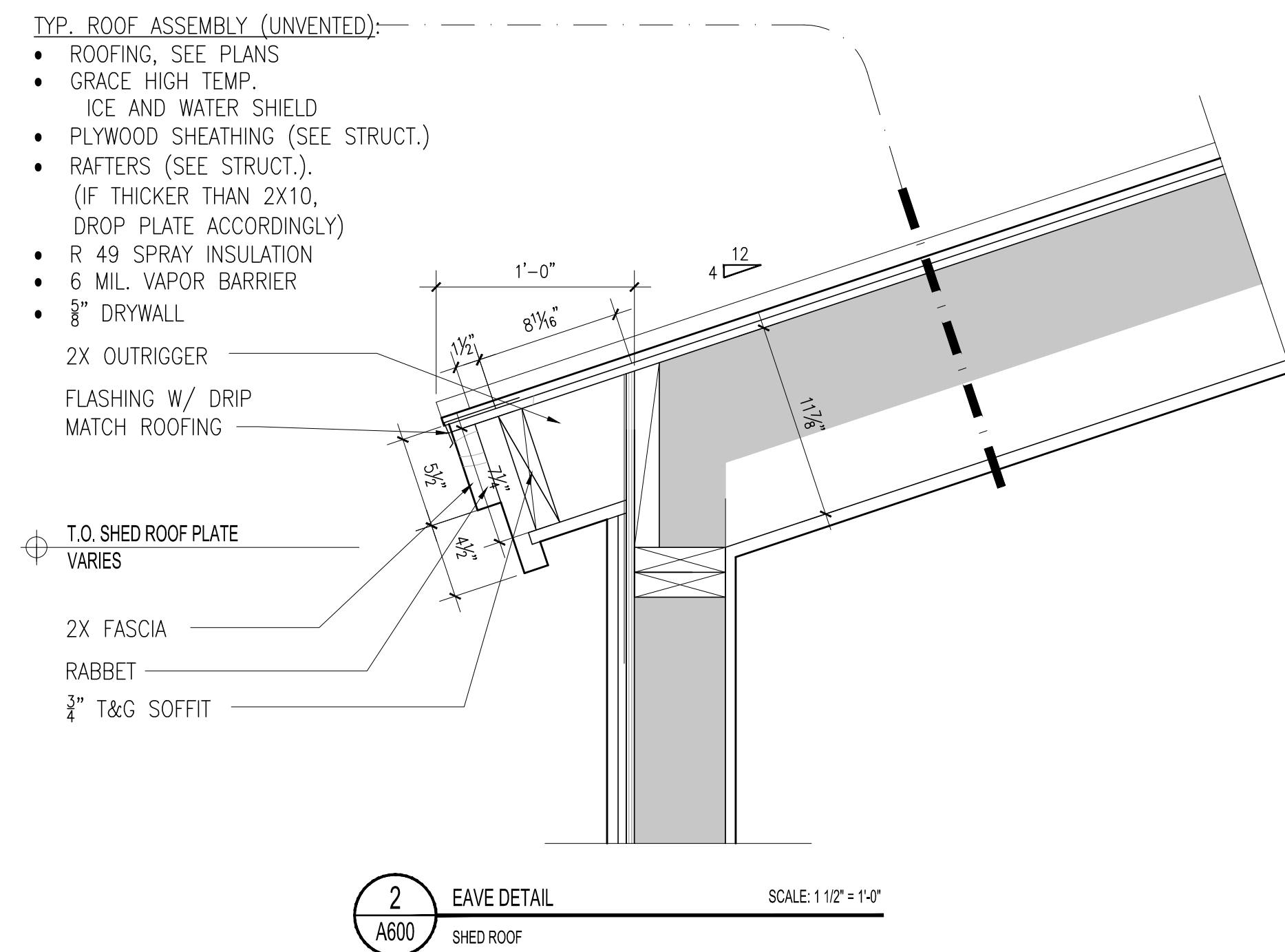
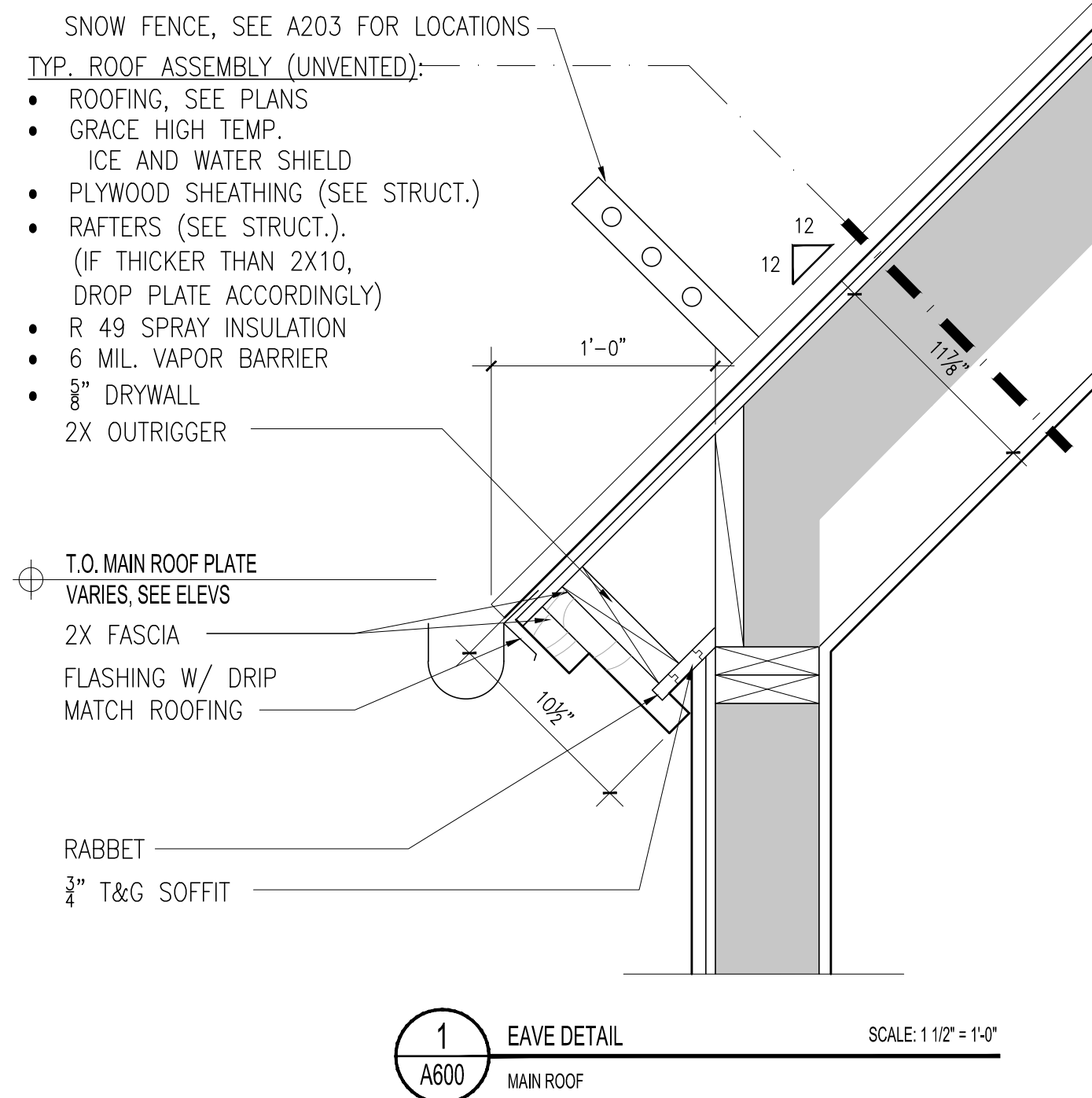
PROJECT NAME:  
**TRAILS EDGE 1**  
LOT 900BR-1  
MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION:  
**MATERIAL CALC**

SHEET NUMBER:  
**A310**

MARK	REV. DATE	DESCRIPTION
5-5-18	DRB APPLICATION #1	
4-18-18	HDA APPLICATION	
	PROJECT NAME:	
	PROJECT MANAGER:	
	DRAWN BY:	
	REVIEWED BY:	
	2006 JWA	





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PROJECT NAME:  
**600BR-1 TRAIL'S EDGE**  
MOUNTAIN VILLAGE, COLORADO 81435

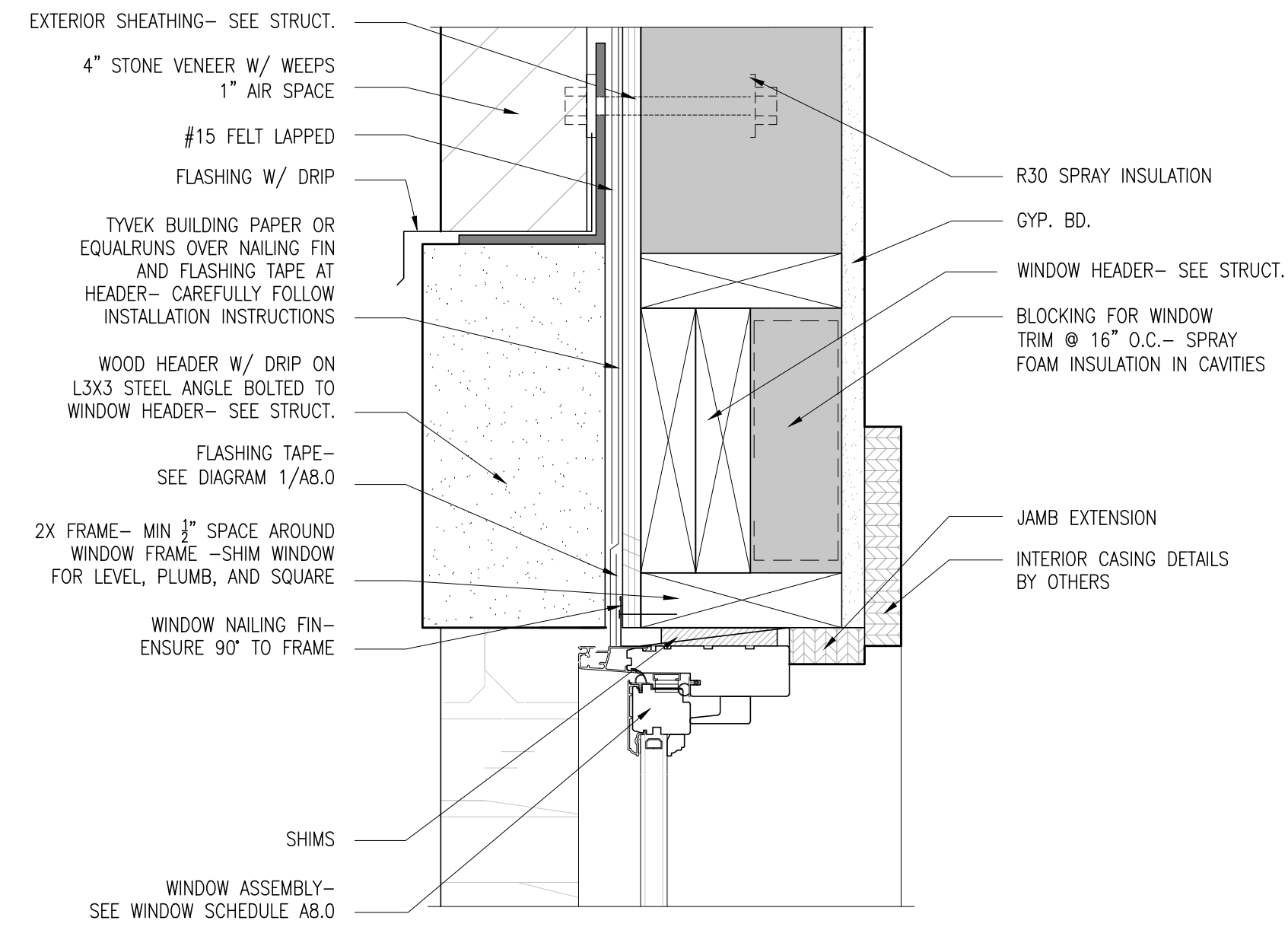
SHEET DESCRIPTION:  
**ROOF DETAILS**

SHEET NUMBER:  
**A-600**

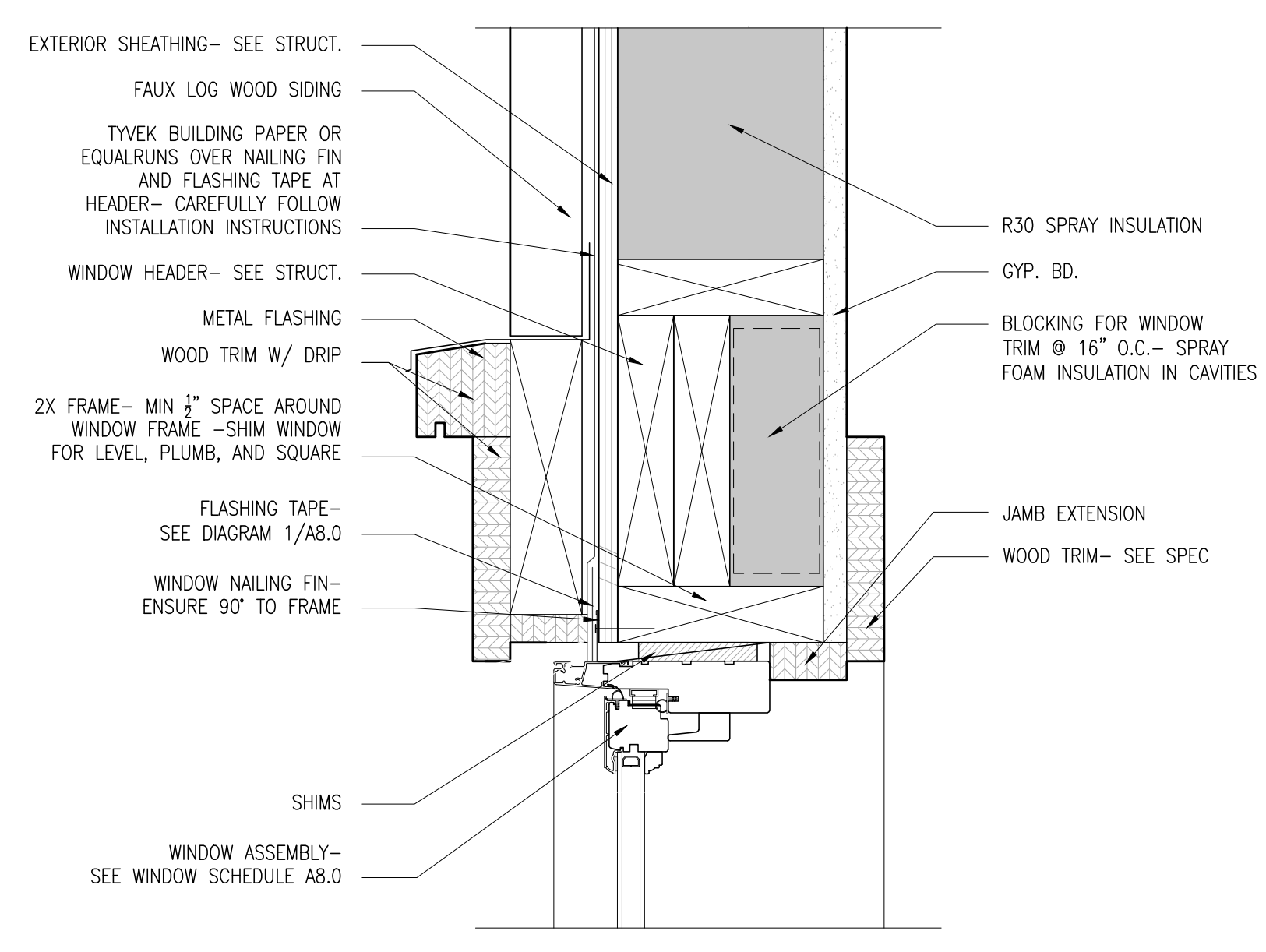
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5-5-18		DRIP APPLICATION #1
4-18-18		HOA APPLICATION

PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
© 2008 JWA

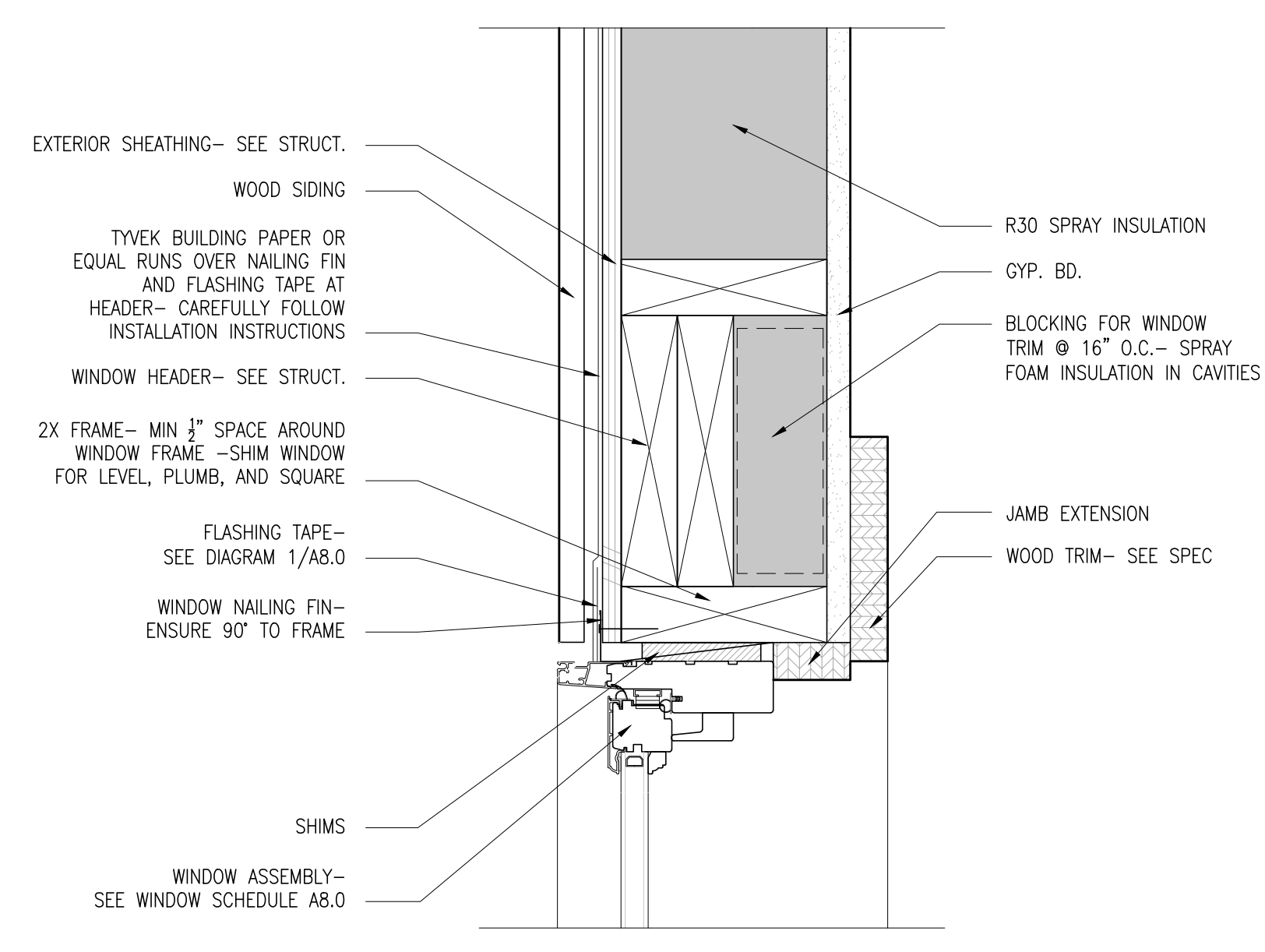




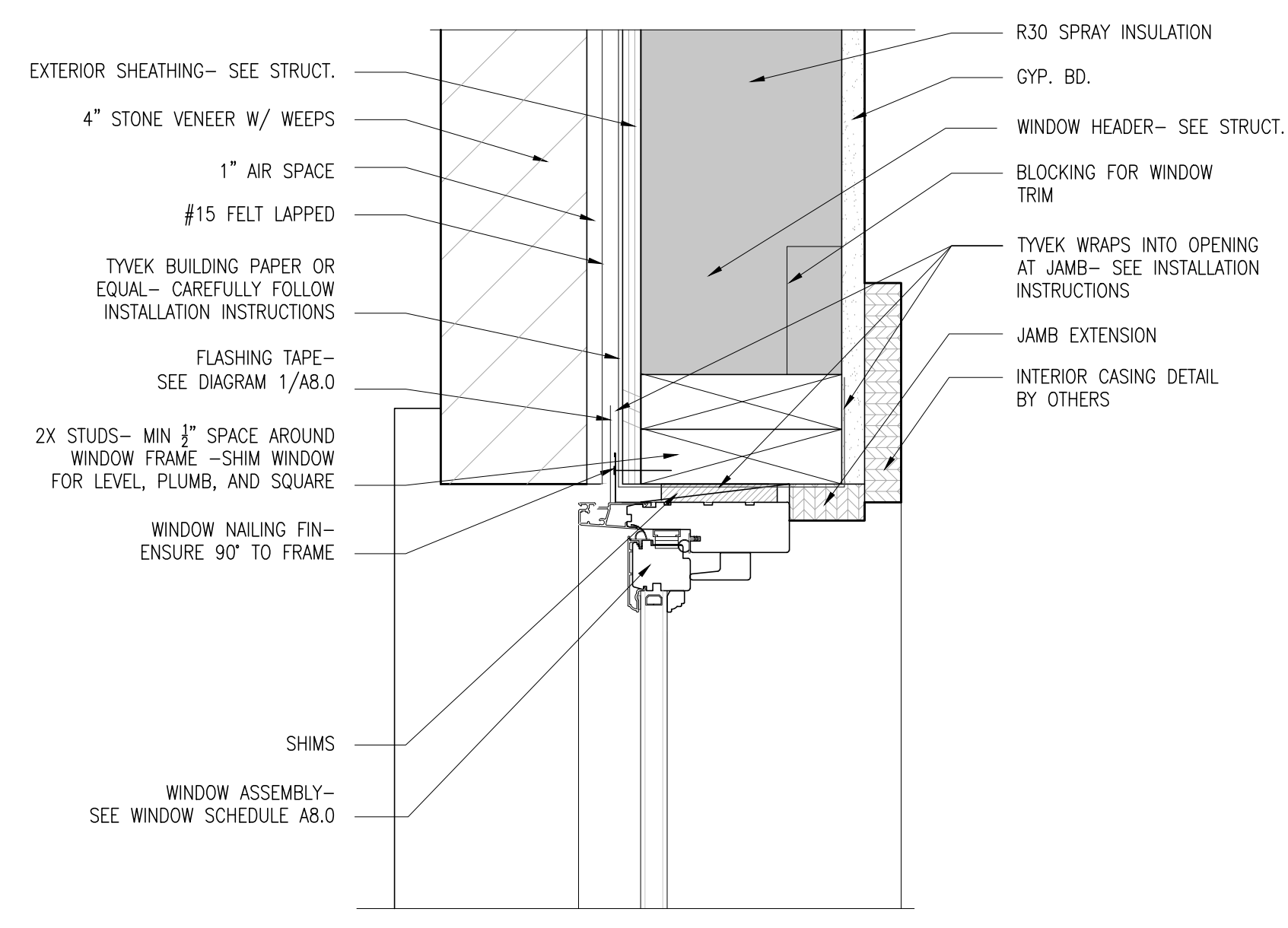
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A601 WOOD SIDING



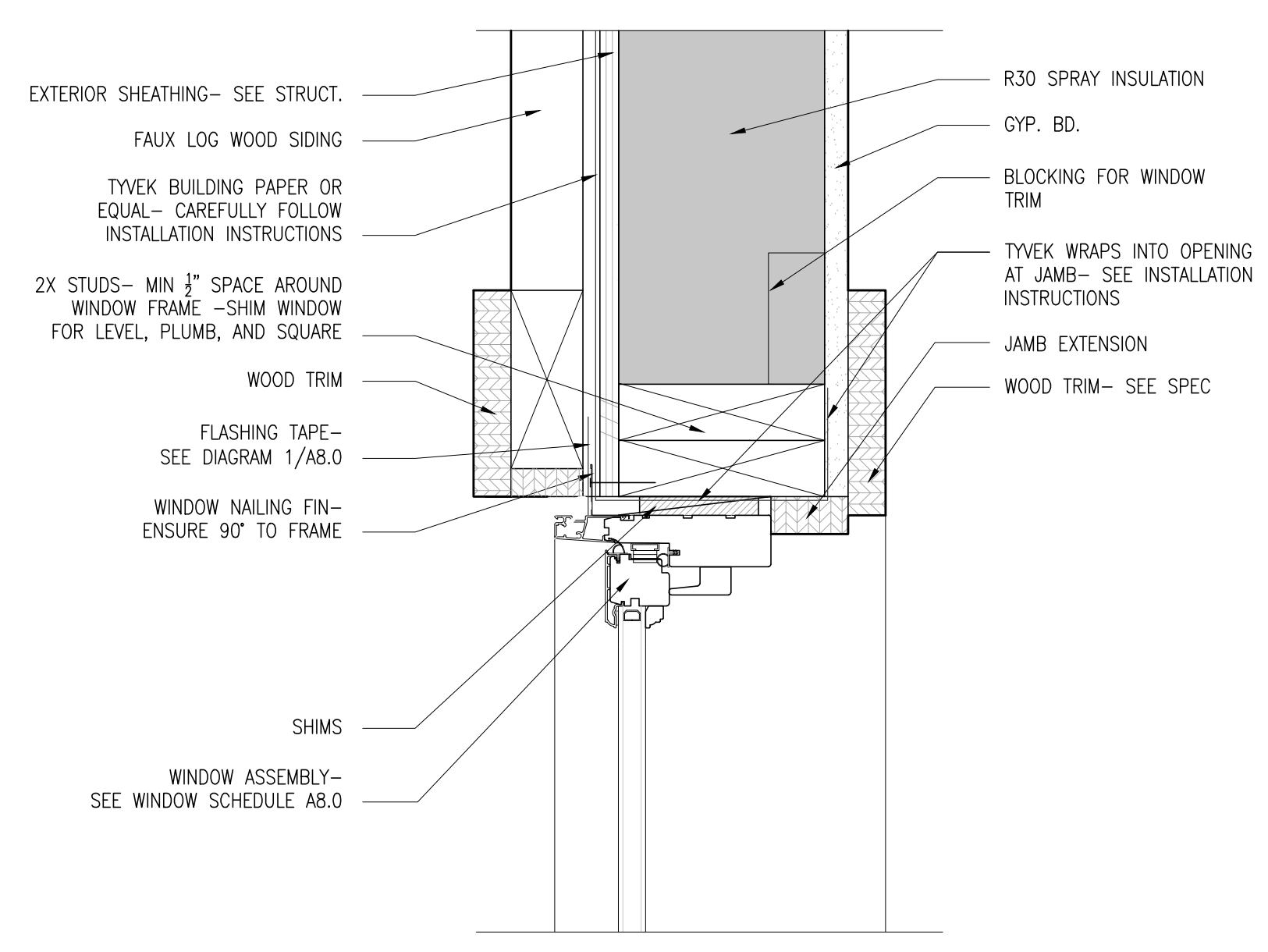
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A601 WOOD SIDING



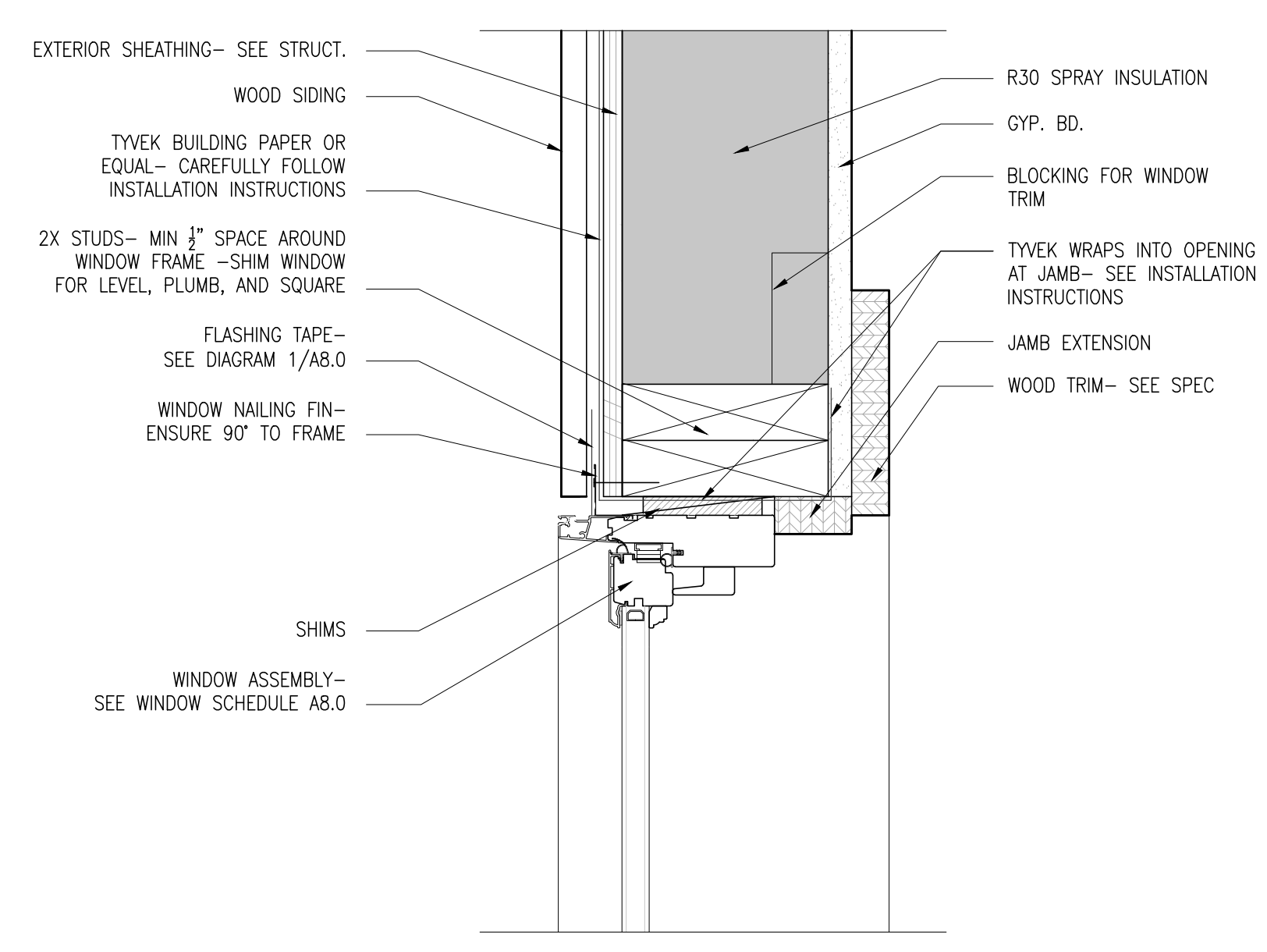
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A601 WOOD SIDING



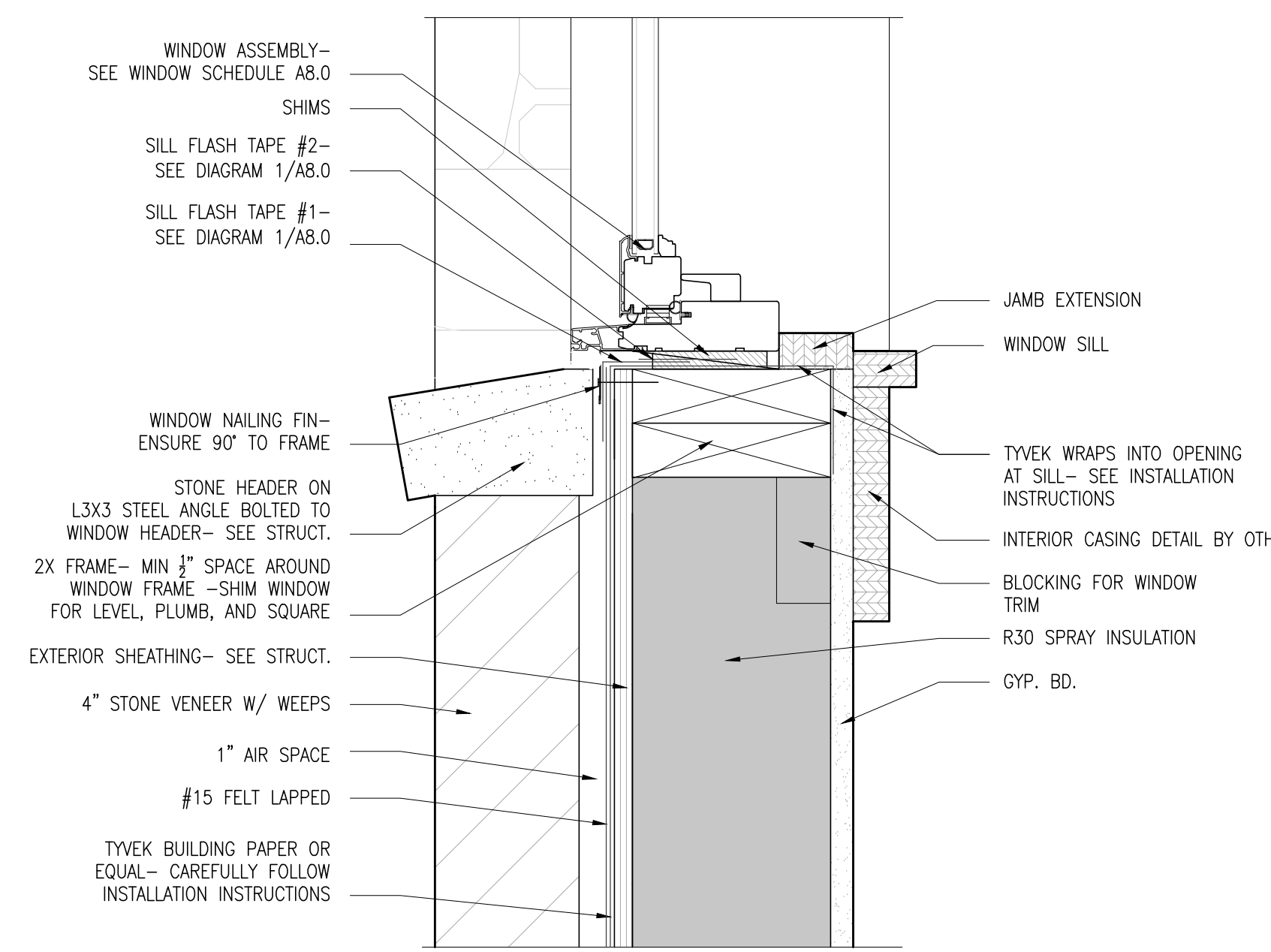
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A601 WOOD SIDING



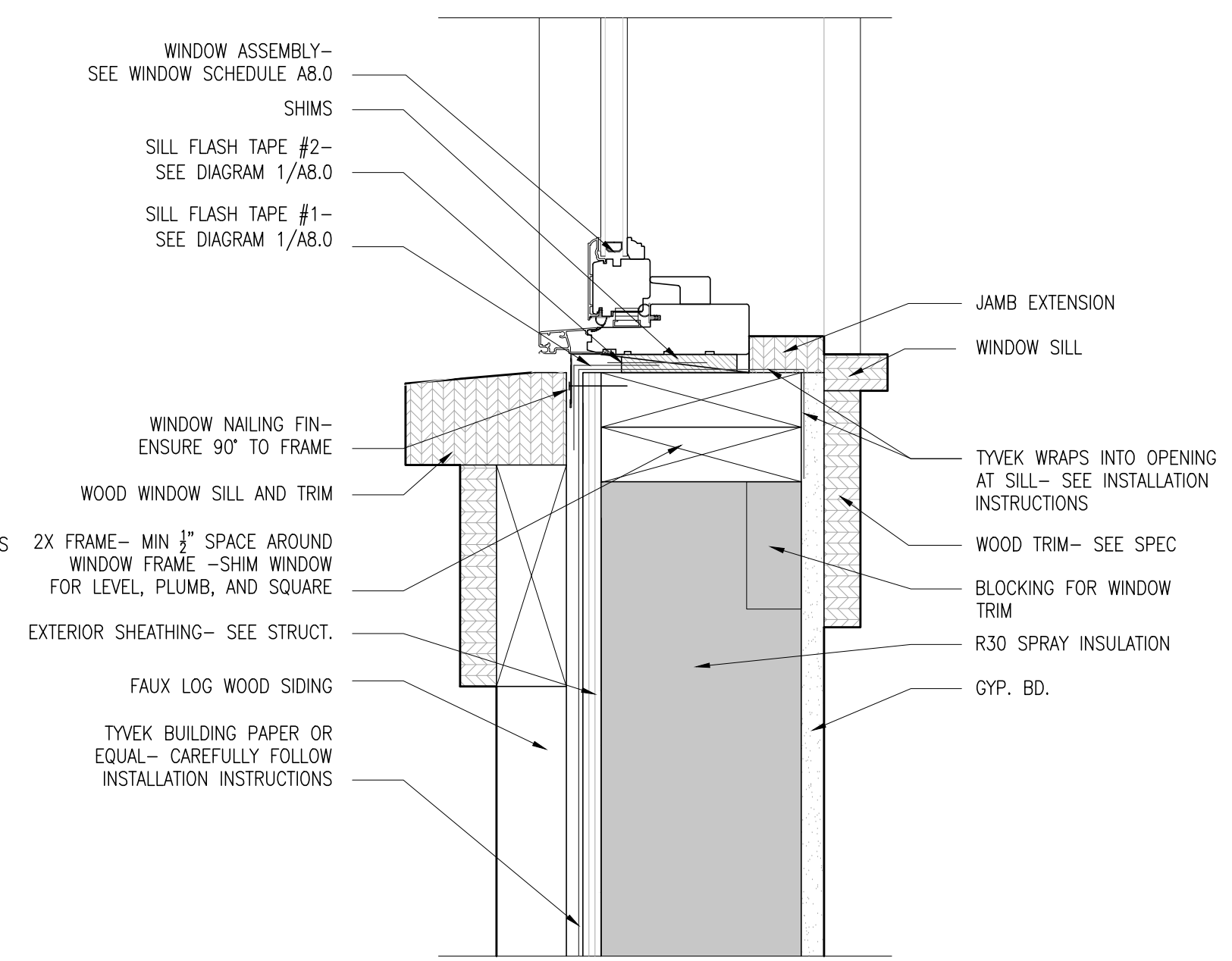
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A601 WOOD SIDING



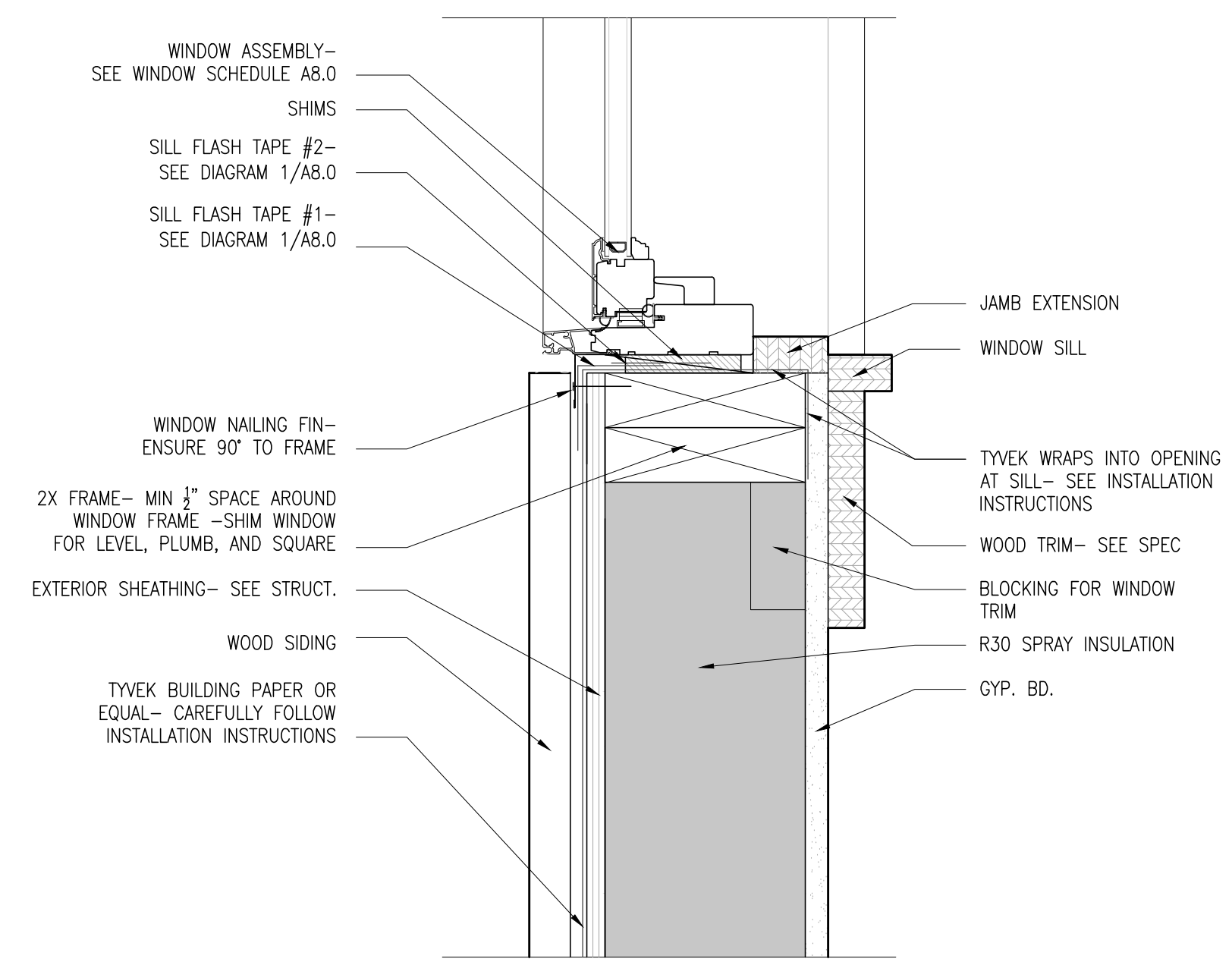
2 WINDOW JAMB SCALE: 3/8" = 1'-0"  
A601 WOOD SIDING



7 WINDOW SILL SCALE: 3/8" = 1'-0"  
A601 WOOD SIDING



4 WINDOW SILL SCALE: 3/8" = 1'-0"  
A601 WOOD SIDING



1 WINDOW SILL SCALE: 3/8" = 1'-0"  
A601 WOOD SIDING

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PROJECT NAME:  
**600BR-1 TRAIL'S EDGE**  
MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION:  
**WINDOW DETAILS**

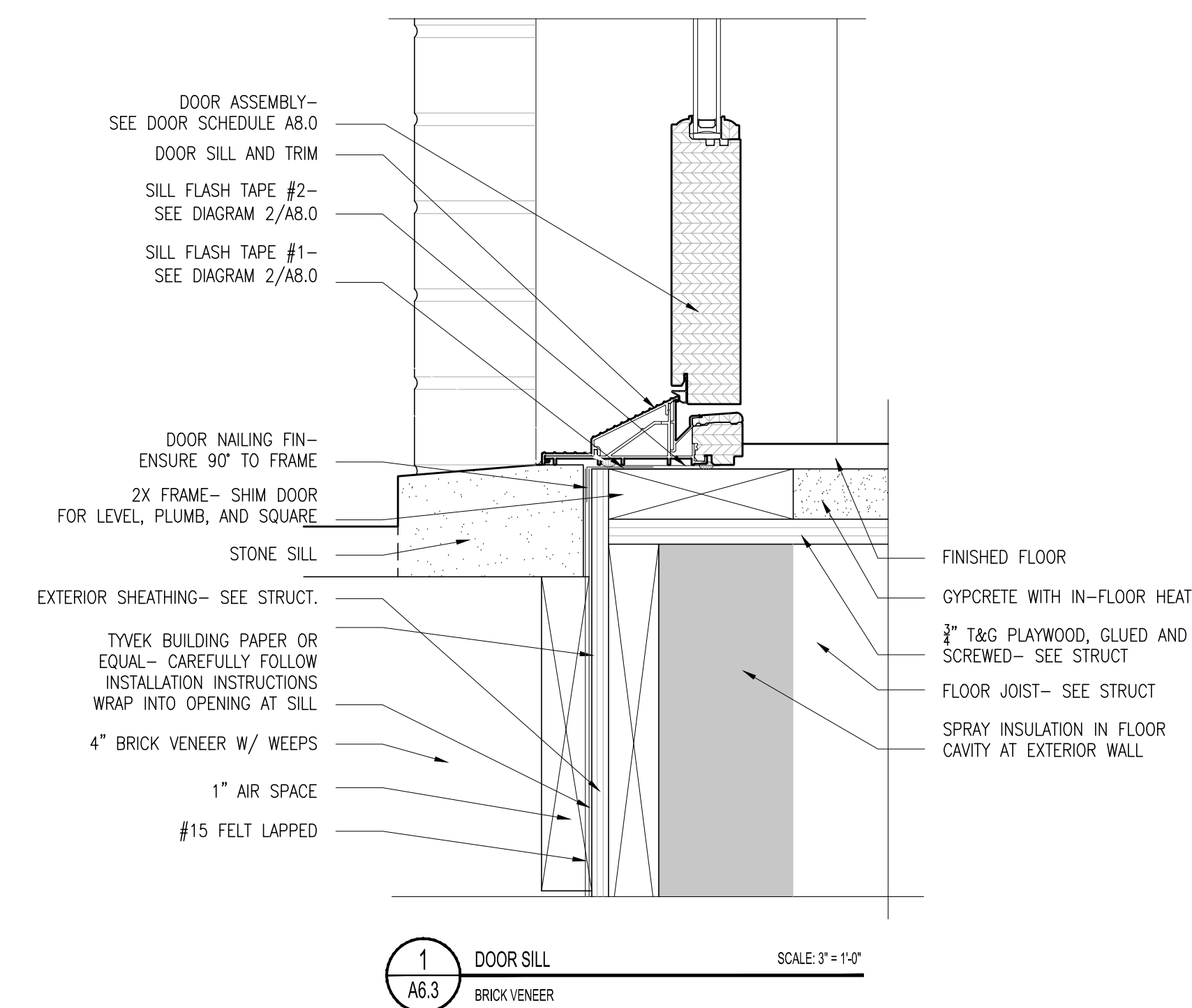
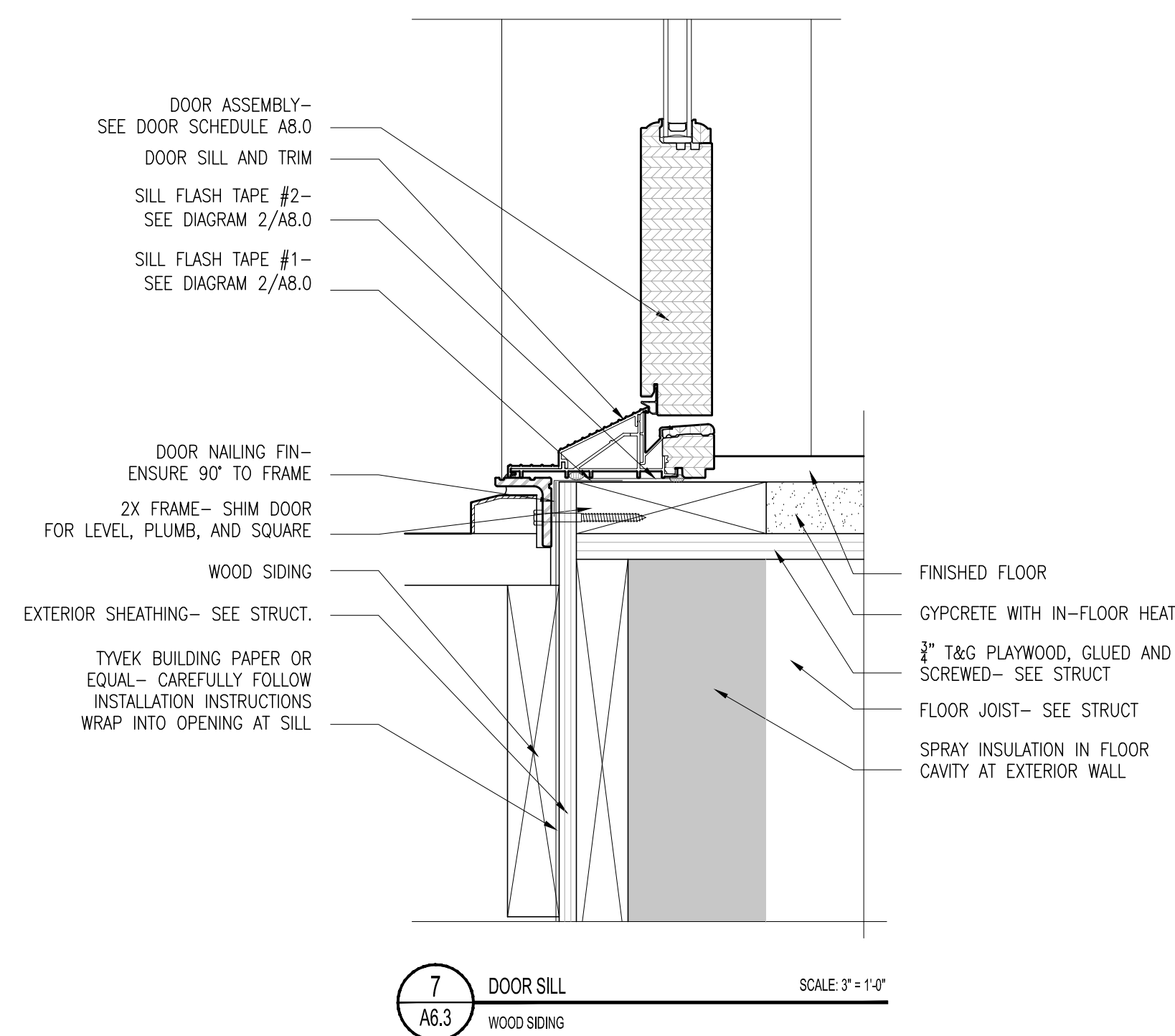
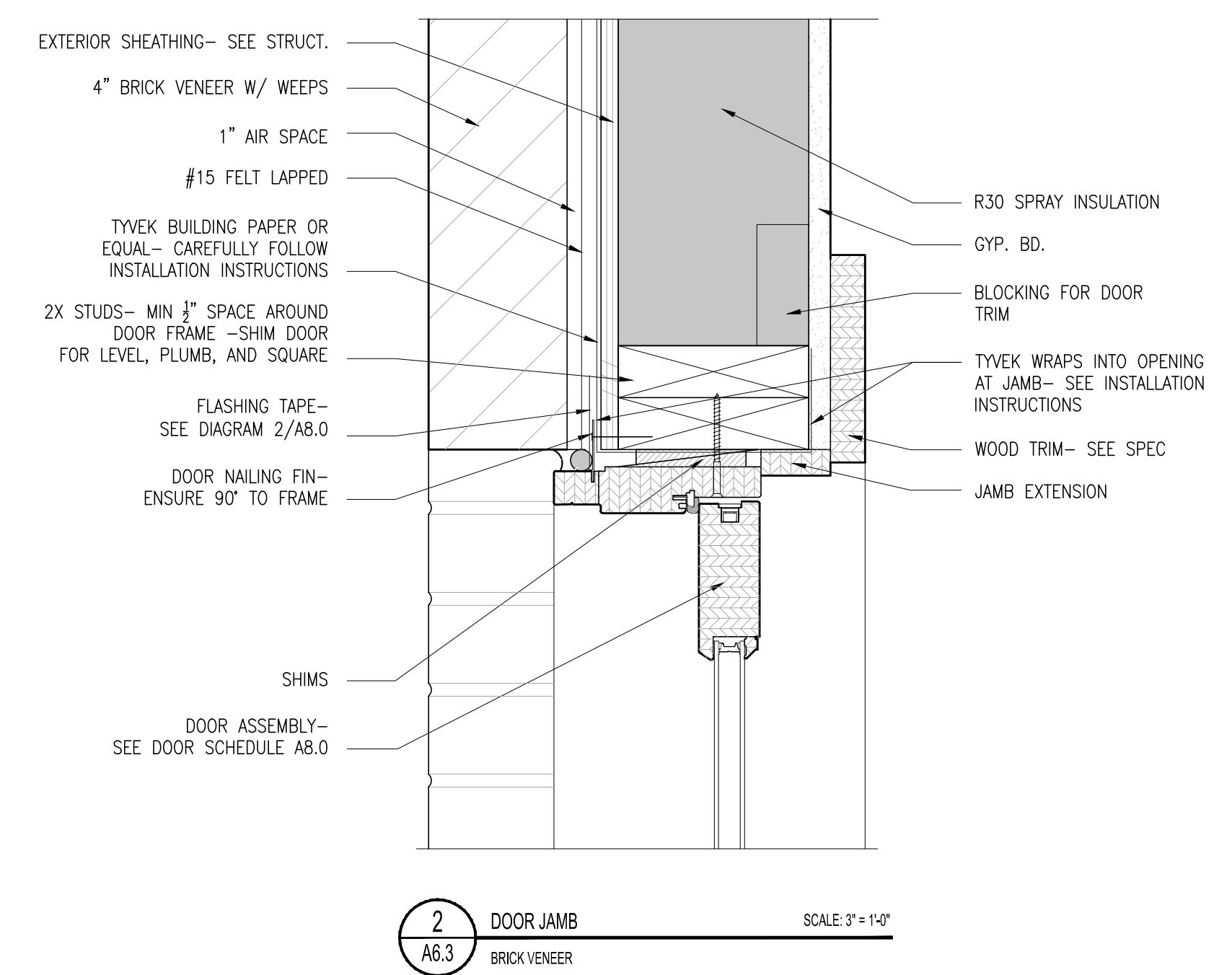
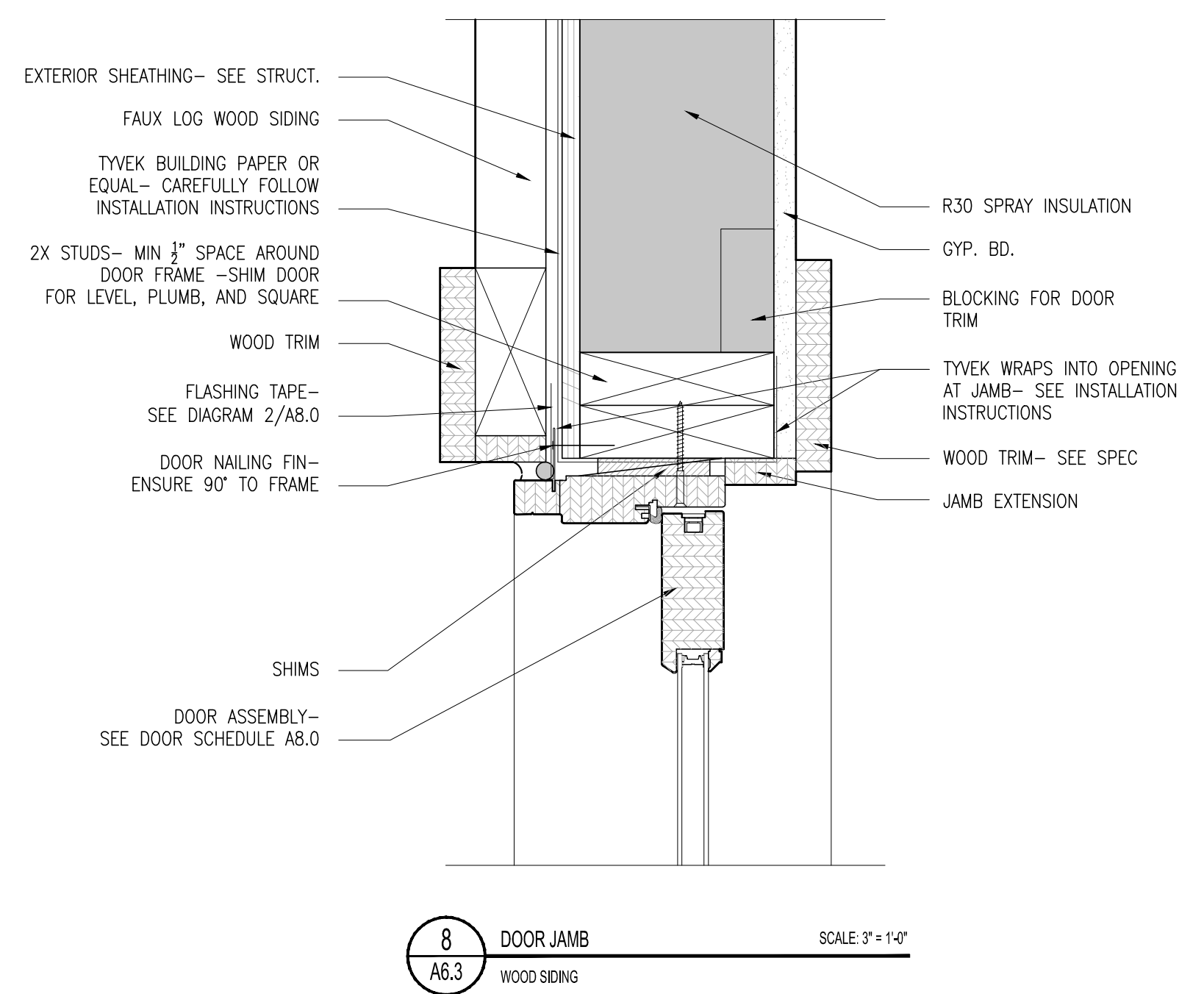
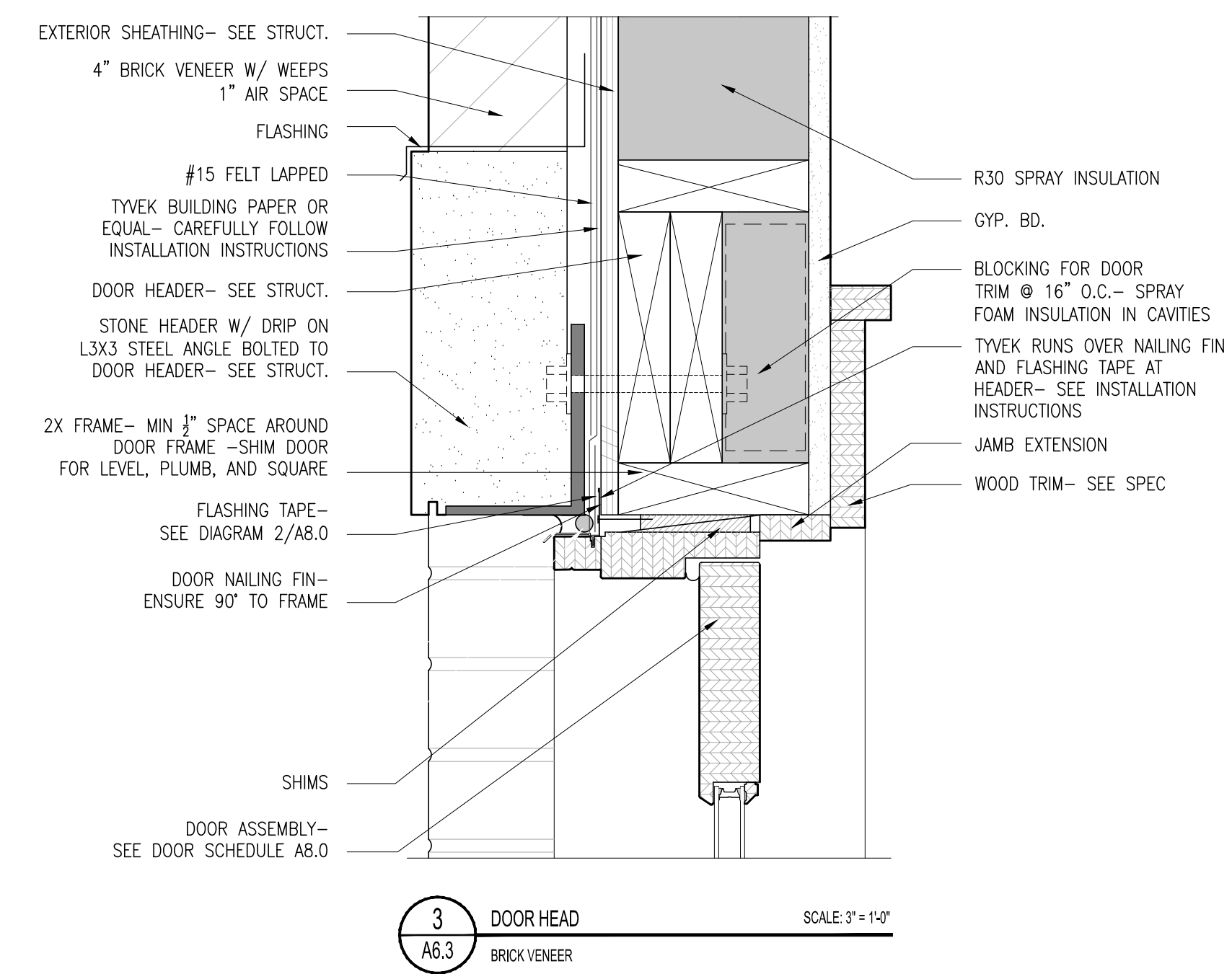
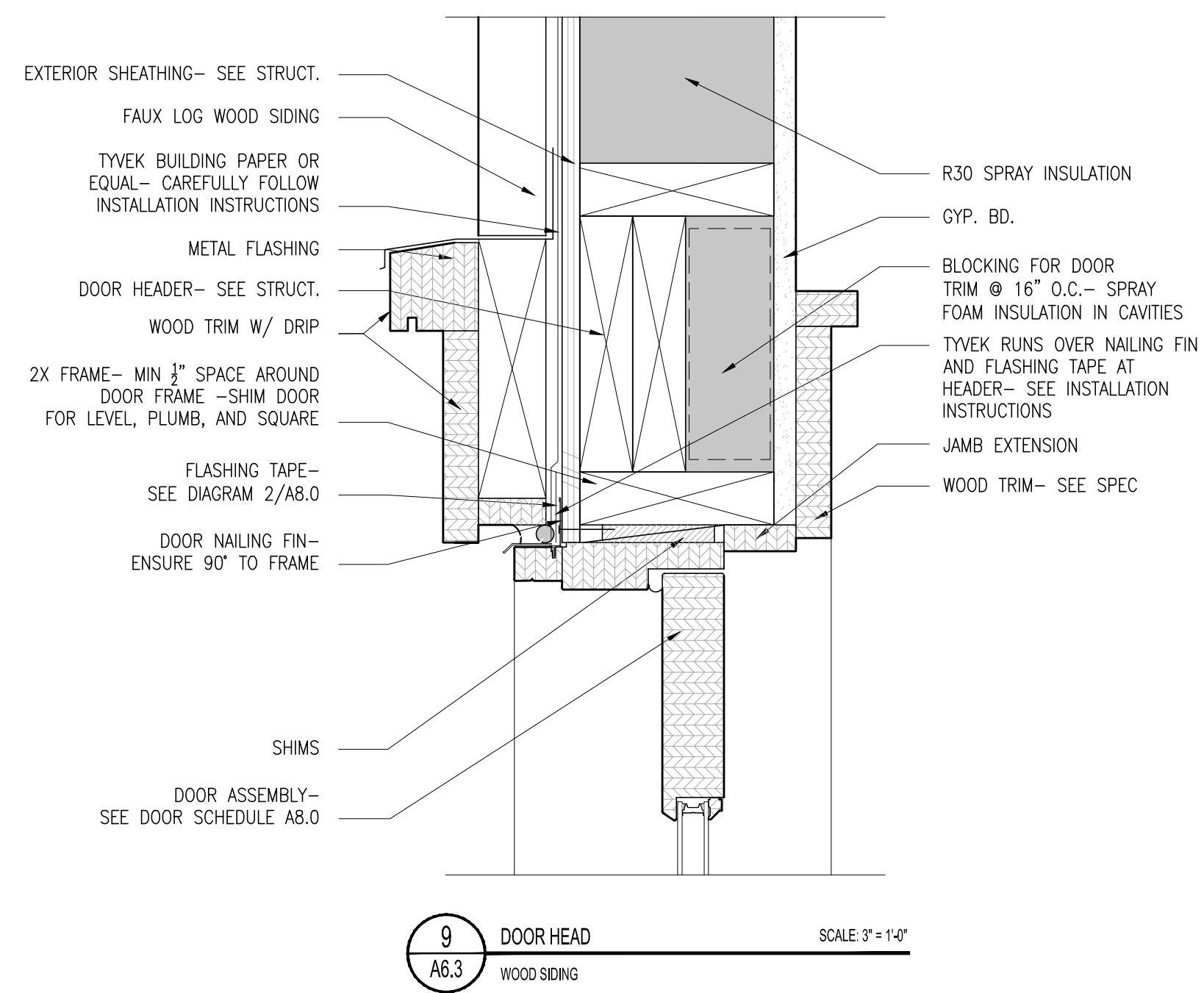
PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
© 2008 JWA

5-5-18 DRB APPLICATION #1  
4-18-18 HOA APPLICATION

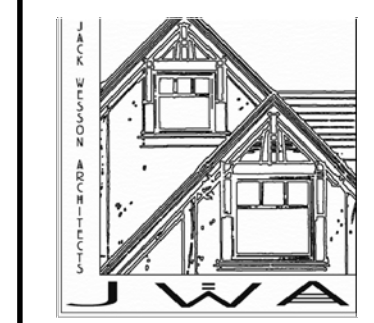
MARK REV. DATE DESCRIPTION

SHEET NUMBER:  
**A-601**





**NOT FOR CONSTRUCTION**



**JACK WESSON ARCHITECTS INC.**  
 115 SOUTH PINE STREET  
 TELLURIDE, COLORADO 81435  
 TEL: 970.728.9755  
 FAX: 970.728.9724  
 jwesson@jwa.com  
 www.jackwessonarchitects.com

MARK	REV. DATE	DESCRIPTION
5-5-18	DRB APPLICATION #1	
4-18-18	HOA APPLICATION	

PROJECT NAME:  
**600BR-1 TRAIL'S EDGE**  
 MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION:  
**DOOR DETAILS**

SHEET NUMBER:  
**A-602**

PROJECT MANAGER:  
 DRAWN BY:  
 REVIEWED BY:  
 © 2008 JWA



## Shelter Outdoor Pendant 1322

By Hinkley Lighting

**\$209.00 - \$329.00**

Select items in stock, choose options to view or **check availability**.

5 out of 5 

1 of 1 (100%) people recommend this product

**FREE SHIPPING** on orders over \$75.

### Finish:



Black



Hematite



Buckeye Bronze

### Light Option:



Incandescent



Fluorescent



LED



Shown in Black finish

## Details

The Hinkley Lighting Shelter Outdoor Pendant adds sleek, contemporary design to exterior living spaces.

Comes with a delicate cylindrical clear seeded glass shade, which is kept safe and secure within a metal frame that comes in a black finish to match the stem and canopy. Dark Sky compliant.

Cleveland-based Hinkley Lighting is driven by a passion to combine design and function to create exceptional lighting solutions. Family-owned Hinkley began as a traditional lantern company in 1922, and, still today, they produce top quality outdoor lighting. Hinkley Lighting has also expanded to include a full range of interior lighting solutions, including chandeliers, sconces, pendants and vanity lights.

The Shelter Outdoor Pendant 1322 is available with the following:

### Details:

- Material: Solid Aluminum
- Shade Material: Glass
- Cylindrical Clear Seedy shade
- Fluorescent option is Title 24 compliant
- Round ceiling canopy
- Dark Sky compliant
- Sloped ceiling adaptable (0-45)
- Comes with One 6.00 in., Two 12.00 in. stem/downrod
- UL Listed Damp
- Made In China

### Options:

- **Finish:** Black, Hematite, Buckeye Bronze
- **Light Option:** Incandescent, Fluorescent, LED



**Lighting:**

- Halogen Option: One 72 Watt (1490 Lumens) 120 Volt E26 Medium Base Halogen Lamp(s) (Not Included)
- Fluorescent Option: One 26 Watt (1750 Lumens) 120 Volt GU24 Base Fluorescent Lamp(s) (Not Included)
- LED Option: 15 Watt (800 Lumens) 120 Volt Integrated LED: CRI: 96 Color Temp: 2700K Lifespan: 40000 hours

**Compare Brightness:**



**Dimensions:**

- **Ceiling Canopy:** Diameter 6"
- **Fixture:** Width 6.25"
- **Maximum Hanging:** Length Adjustable From 21.75", Adjustable To 54"

**Ratings:** Based on 1 reviews, this product is rated 5.0 out of 5.

**Manufacturer IDs:** [view](#)

Need help with some of our terminology? Check out [Lumens' Lighting & Design Glossary](#).

YOU MAY ALSO LIKE

**Shelter Outdoor Wall Sconce**  
By Hinkley Lighting

From: **\$109.00**

**Dawn Indoor/Outdoor LED Wall Sconce**  
By Modern Forms

From: **\$299.00**

**Shelter Half-Round LED Outdoor Wall Sconce**  
By Hinkley Lighting

From: **\$249.00**



Show your style with #loveyourlumens **ADD A PHOTO**



Step Light A

Tech Lighting Single Pitch Wall Light Bronx/Black 1 x 10W 120V LED Module-700 lumens 5" x 5"





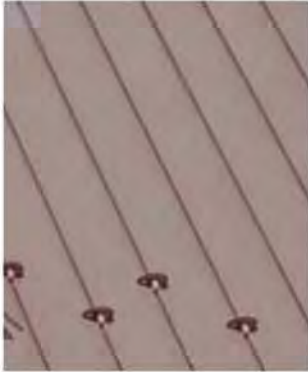
Exterior Wall Sconce B

Hubberton Forge Small Outdoor Wall sconce in dark smoke-35W Halogen or LED Equal





LOT 600BR-1, MOUNTAIN VILLAGE, CO  
MATERIAL SAMPLE PHOTOS



RUSTED STANDING SEAM METAL ROOF



8" VERTICAL BARN WOOD SIDING



OIL RUBBED METAL PANELS



TELLURIDE GOLD STONE





**PLANNING AND DEVELOPMENT SERVICES  
DEPARTMENT**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 369-8250

**Agenda Item No. 6**

**TO:** Design Review Board  
**FROM:** Sam Starr, Planner  
**FOR:** Meeting of June 7, 2018  
**DATE:** May 24, 2018  
**RE:** A recommendation to Town Council regarding a proposed density transfer, rezone, and major subdivision application for lot 151R.

---

**PROJECT GEOGRAPHY**

**Project Description:** A recommendation to Town Council regarding a proposed density transfer, rezone, and a major subdivision application for lot 151R.

**Legal Description:** Lot 151R, Town of Mountain Village according to Plat Book 1, Page 4436 according to records of San Miguel County, Colorado.

**Address:** 239 Country Club Drive

**Applicant/Agent:** Alpine Planning LLC

**Owner:** The Retreat at Mountain Village III, LLC

**Zoning:** Multi Family

**Existing Use:** Vacant land

**Proposed Use:** Rezone and replat into three single family lots on Lot 151R

**Lot Size:** .909 acres

**Adjacent Land Uses:**

- **North:** Single Family
- **South:** Open Space
- **East:** Multi Family
- **West:** Multi Family

**ATTACHMENTS**

- Exhibit A: Applicant's Narrative

**BACKGROUND**

The owners of Lot 151R, 239 Country Club Drive have applied to replat the property into three (3) single family lots. In addition to the Major subdivision application the applicant submitted a rezoning and density transfer application, to rezone the property from multi-family zoning to single family zoning and change the zoning designation from four condominium units to three single family units having a resulting equal person equivalent density. Both applications have been received and are being reviewed concurrently. The minor subdivision application will be reviewed with the rezone and density transfer application by Town Council on June 14<sup>th</sup>, 2018.



## **CRITERIA AND ANALYSIS**

The criteria for decision for the board to evaluate a rezone from the Multi-Family Zone District to Single-Family Zone District is listed below. The following criteria must be met for the review authority to approve a rezoning application:

- a. The proposed rezoning is in general conformance with the goals, policies and provisions of the Comprehensive Plan;
- b. The proposed rezoning is consistent with the Zoning and Land Use Regulations;
- c. The proposed rezoning meets the Comprehensive Plan project standards;
- d. The proposed rezoning is consistent with public health, safety and welfare, as well as efficiency and economy in the use of land and its resources;
- e. The proposed rezoning is justified because there is an error in the current zoning, there have been changes in conditions in the vicinity or there are specific policies in the Comprehensive Plan that contemplate the rezoning;
- f. Adequate public facilities and services are available to serve the intended land uses;
- g. The proposed rezoning shall not create vehicular or pedestrian circulation hazards or cause parking, trash or service delivery congestion; and
- h. The proposed rezoning meets all applicable Town regulations and standards.

The proposed rezone the property from Multi-Family to Single Family and change of unit designation from condominium to single family is consistent with the Comprehensive Plan which notes in Land Use Value Number 8, land uses are envisioned to fit into the surrounding neighborhood. (p. 35 of the Comprehensive Plan). The existing zoning and density of single family homes from 230 to 266 Country Club Drive demonstrate that this density transfer and rezone would be appropriate for the neighborhood character. Items F and G will be addressed in the Major Subdivision Application.

## **PROPOSED MOTION**

The Design Review Board recommends the Town Council approve the rezone and density transfer application pursuant to CDC Sections 17.4.9 & 17.4.10 to rezone the property from the Multi-Family zone district to the Single Family zone district and change the Zoning Designations from four condominium units to three single family units (one per each proposed new lot) with the resulting 12 person equivalent for the project with the findings found in the staff memo and the following conditions:

1. The approval is conditioned upon the Major subdivision plat approval by the Town Council.

/STS



# Lot 151R Rezoning and Subdivision





# BACKGROUND

The Retreat at Mountain Village III (“Owner”) desires to rezone Lot 151R (“Property”) from the Multi-family Zone District to the Single-family Zone District and to replat the Property to create three single-family lots as shown in Exhibit A.

The Property is located at 239 Country Club Drive as shown in Figure 1. The Property is located to the north of the Hole 1 Fairway, with the Big Billies Trail located along the property line and in a portion of the southern general easement.

The Property has a low USGS elevation of 9296 and a high elevation of 9362 with an overall elevation gain of 66 feet with slopes that are generally less than 30%. There are some slopes that are 30% or greater that are located in the westerly half of the Property as shown on the slope map in Exhibit B.

The Property has the following designated land uses:

Lot	Acreage	Zone District	Zoning Designation	Actual Units	Density Per Unit	Equivalent Units
151R	0.91	Multi-Family	Condo	4	3	12

The proposed land uses for the Property follows:

Lot	Acreage	Zone District	Zoning Designation	Actual Units	Density Per Unit	Equivalent Units
151R	0.91	Single-family	Single-family	3	4	12

There is no need to transfer density to or from the Property.

The Property was first platted in 1984 under the Mountain Village Filing No. 1 Plat at Reception Number 233115, with the designated use of a Condominium Lot with three condominium units. The Property was re-platted in 1987 to create three lots that allowed one detached single-family condominium on each lot. The Town approved a replat of the Property in 2011 that vacated the lot lines to create Lot 151R that is the current plat for the Property (Exhibit C).

# REZONING

## Rezoning Criteria for Decision

The proposed rezoning meets the Rezoning criteria for decision set forth in Community Development Code (“CDC”) Section 17.4.9(C) as set forth in the following sections.

### General Conformance with the Comprehensive Plan

The Mountain Village Comprehensive Plan (“Comprehensive Plan”) Future Land Use Plan envisions the Property rezoned to the Single-family Zone District as shown in Figure 2. The Multi-family Zone District currently permits detached condominiums that are built as single-family dwellings. Detached condominiums are viewed as single-family development. So both the current zoning and the Comprehensive Plan contemplate the single-family land uses for the Property. There are no wetlands, trees or forests located on the Property. Steep slopes are addressed latter in this narrative.

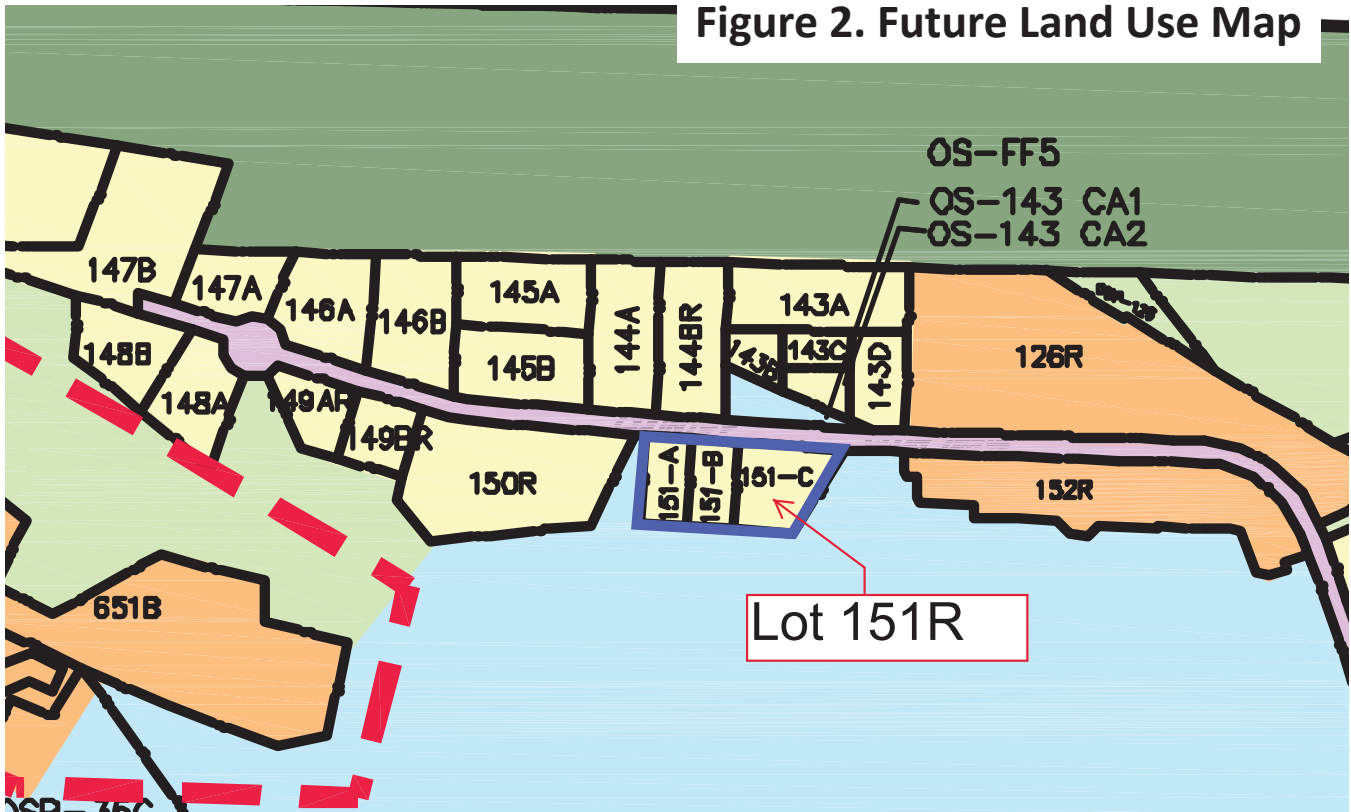


Figure 1. Vicinity Map





Figure 2. Future Land Use Map



Consistency with the Zoning and Land Use Regulations

The proposed rezoning and subdivision are consistent with the Zoning and Land Use Regulations contained in CDC Section 17.3. Single-family dwellings are permitted uses in the Single-family Zone District. The existing person equivalent density allows for the conversion of four condominium units to three single-family dwellings with no need to transfer density to or from the Property. The rezoning and subdivision do not impact platted open space. Building height and lot coverage will be in compliance with the CDC limitations. The owner is proposing to establish 16 foot general easements in between the proposed building envelopes with eight (8) feet on either side of the interior lot lines and to vacate the general easement on the east and west sides of the Property as discussed below.

General Easement Vacation

The Owner is seeking to vacate the eastern and western general easements from 16 feet to 8 feet as shown in Exhibit A. The main purposes of the general easement are to provide buffering to surrounding land uses and to maintain the ability to conduct any of the general easement allowed uses. The west and east sides of the Property abut TSG open space which provides ample buffering to surrounding land uses, with 64 feet to the development to the west, and over 127 feet to the Northlight property to the east. The Big Billies Trail will be provided a 16 foot general easement setback as it runs along the southerly Property boundary. The Owner has agreed to a plat note that requires landscape buffering in the western and eastern general easements of Lot 1 and Lot 3, respectively, to soften the development as viewed from surrounding development.

The general easement definition allows for the following uses, improvements and activities:

“...utilities, drainage, electrical service, communication service, ski slope maintenance, bicycle



access, skier access, roadway access, equestrian access, pedestrian access, golf cart access, snow making, waterways, slope maintenance, snow storage, retaining walls, snowmobile access, snow removal, snowcat access, water, sanitary sewer and storm sewer.”

These general easement uses and activities are not needed for the Property because all utilities have been established in the area and the surrounding open space allows for ski-related uses. We therefore believe that the eastern and western general easements may be reduced and vacated from 16’ to 8’ as shown on the proposed plat.

The Town has historically allowed for the vacation and reduction of the general easement to allow for desired development plans, with the most applicable example at Trails Edge Subdivision where the general easement was vacated where it adjoined open space to the north. Even Lot 151R had portions of the general easement vacated as shown in Exhibit E. We are similarly requesting the Town consider vacating the general easement as shown, with the general easement section of the CDC recognizing general easement vacations.

### Comprehensive Plan Project Standards

The proposed rezoning will meet the Comprehensive Plan Project Standards because visual impacts will be minimized. The current and proposed zoning allowing a building height of 30 feet plus 5 feet for gabled roofs and for detached condominiums without size limitations pursuant to the Multi-family Zone District standards, subject to a 65% lot coverage. The Single-family Zone District limits lot coverage to 40%, so there is also a 20% reduction in allowed lot coverage with the rezoning. The single-family dwellings will have less scale and mass that is designed in accordance with the Zoning and Land Use Regulations and the Design Regulations. Environmental and geotechnical impacts will be minimized and mitigated consistent with the Comprehensive Plan and the CDC. Site specific issues will be addressed concurrent with the Design Review Process.

### Rezoning Justification

The rezoning is justified because it is envisioned by the Future Land Use Map as shown in Figure 2.

### Public Facilities and Services

The site survey in Exhibit D shows that water, natural gas and telecommunications are available in the Country Club Drive Right-of-Way. Electricity will have to be provided from the north of County Club Drive. Sewer is available in the TSG open space to the south. Fire protection is provided by the Telluride Fire Protection District. Police protection, street maintenance and general government services are available from the Town.

### Circulation, Parking, Trash and Deliveries

The Property has access from Country Club Drive, with trash pickup and deliveries easily and safely accessible. Parking will be provided on each site in accordance with the Design Regulations.

## **SUBDIVISION**

### **Criteria for Decision**

The proposed development is classified as a Major Subdivision. The proposed subdivision complies with the Subdivision criteria for decision set forth in CDC Section 17.4.13(E)(1) as outlined in the following sections.



### General Conformance with the Comprehensive Plan

The proposed subdivision generally conforms to the Comprehensive Plan as outlined under the rezoning section above.

### Consistency with the Zoning and Land Use Regulations

The proposed subdivision is consistent with the Zoning and Land Use Regulations as set forth under the rezoning section above.

### Density Allocation

The concurrent rezoning request is proposing to convert the four actual units and 12 person equivalent units of condominium density to 12 person equivalents of single-family density for the three (3) proposed lots.

### Consistency with Subdivision Regulations

The proposed subdivision is consistent with the Subdivision Regulations as set forth below.

### Adequate Public Facilities and Services

The site survey in Exhibit D shows that water, natural gas and telecommunications are available in the Country Club Drive Right-of-Way. Electricity will have to be provided from the north of County Club Drive. Sewer is available in the TSG open space to the south, with a draft easement to cross TSG land in process. Fire protection is provided by the Telluride Fire Protection District. Police protection, street maintenance and general government services are available from the Town. A draft civil plan for utilities is shown in Exhibit F.

### Soil and Geologic Conditions

The approval of the Mountain Village Filing No. 1 plat and the original County PUD found that the development of the area avoids areas subject to geological hazards. A geotechnical report may be required by the Town Building Department as a part of the building permit process for each lot to ensure homes are designed in accordance with soil conditions that are present on the Property. A geotechnical report for the Property to the west, Lot 150, is shown in Exhibit E.

### Subdivision Access

Each lot will be accessed from Country Club Drive and will be designed to meet the Driveway Standards contained in CDC Section 17.6.6(B) unless a variation is granted by the Design Review Board during the Design Review Process as allowed by Subsection 23. The draft access and grading plan is shown in Exhibit F.

### **Subdivision Design Standards and General Standards**

The proposed subdivision complies with the Subdivision Design and General Standards set forth in CDC Section 17.4.13(F) as set forth in the following sections.

Minimum Frontage. Each lot has over 50 feet of frontage.

Vehicular and Utility Access. Vehicular and utility access is provided off of Country Club Road with the exception of sewer. The site survey shows the sewer line is located on TSG open space so we are working with TSG to create a new sewer line easement for the subdivision. This easement will be submit-



ted for Town review and approval in the near future.

Minimum Lot Size. The proposed lot sizes are envisioned by the Comprehensive Plan as shown in Figure 2. In addition, the proposed lot sizes are approximately 0.3 acres which is very similar to the lots to the north (Lots 143B, 143C and 143D) that have an average size of 0.22 acre.

Solar Access. Each lot will have great solar access to the south.

General Easement. A 16 foot general easement is provided on the north and south lot lines. The Owner is proposing to vacate the 16 foot western and eastern general easement and provide an 8 foot setback/general easement as outlined in the zoning discussion above. The general easements and setbacks as proposed will provide for adequate buffering and general easement uses. A 16 foot general easement is provided in between each building envelope in the subdivision, with 8 feet on either side of the lot line.

Design of Lots. The lots have been designed in accordance with the development pattern envisioned in the Comprehensive Plan; topographical considerations; convenient and safe access; provision of adequate building area that meets the zoning and subdivision requirements; utilities and views to the southwest.

Protection of Natural Features. There are no natural features on the site.

Topography of the Land. The subdivision has been designed to fit the topography of the land to the extent practical.

Areas Subject to Environmental Hazard. There are no environmental hazard areas in the Property.

Drainage. The Property survey shows two culverts in the northwest corner that are planned to be replaced with a new culvert as shown on the drainage plan in Exhibit F. Drainage from the proposed culvert is located in the proposed 8' general easement. The development of each lot will have to provide for the required drainage improvements as a part of the required Design Review Process.

Fire Protection. Fire protection is provided by the Telluride Fire Protection District. Hydrants have been installed along Country Club Drive as required by the original subdivision development of the area.

Street Improvements. Country Club Drive street improvements have already been installed. Each home will have to provide a new driveway onto Country Club Drive concurrent with development.

Water, Sewer and Utilities. Water, gas, telecommunications and electric utilities are available from Country Club Drive. The sewer line intended to serve Lot 151R and other lots to the west is located in TSG open space as discussed above.

Utility Design and Improvements. The Owner's team will need to work with the Town and utility agencies to create an overall utility plan with any needed subdivider improvements listed on a subdivision improvements agreement.

Required Dedications. There are no required land dedications for the subdivision. Big Billies Trail is located in the 16 foot general easement on proposed Lot 151R-3.

Maintenance of Common Areas. There are no common areas associated with the proposed subdivision.

Public Improvement Policy. The subdivision improvements agreement will be provided to the Town



after a utility plan is reviewed and approved by the utility agencies and the Town.

### **Steep Slope Regulations**

The proposed subdivision has some area with slopes that are 30 percent or greater. CDC Section 17.6.1(C)(2)(a) states:

“Building and development shall be located off slopes that are thirty percent (30%) or greater to the extent practical.

i. In evaluating practicable alternatives, the Town recognizes that it may be necessary to permit disturbance of slopes that are 30% or greater on a lot to allow access to key viewsheds, avoid other environmental issues, buffer development and similar site-specific design considerations.”

Most of the lots on the south side of Country Club Drive contain steep slopes with the lots platted and density assigned to the site knowing such conditions existed. Disturbance to steep slopes is needed to allow for development envisioned by the Comprehensive Plan, access to key views and to allow for reasonable use of the Property. The Town has always envisioned the development of Lot 151 including the steep slopes areas given its size and the density permitted.

The intent of the Steep Slope Regulations is to protect water quality, visual resources and slope stability. In this case, there will be no adverse impacts to water quality, visual resources or slope stability due to the need to provide engineered plans, application of water quality protection measures, and height being limited due to the slopes dropping from Country Club Drive.

CDC 17.6.1(C)(2)(c) states:

The review authority shall only allow for disturbance to slopes thirty percent (30%) or greater if it is demonstrated that there is not a practicable alternative to avoiding such activities and if the following criteria are met:

- i. The proposed steep slope disturbance is in general conformance with the Comprehensive Plan;
- ii. The proposed disturbance is minimized to the extent practical;
- iii. A Colorado professional engineer or geologist has provided:
  - (a) A soils report or, for a subdivision, a geologic report; or
  - (b) An engineered civil plan for the lot, including grading and drainage plans.
- iv. And the proposal provides mitigation for the steep slope development in accordance with the engineered plans.

The Comprehensive Plan envisions the development of three single-family lots as proposed by the Owner. The general easement and setback areas for each lot will minimize steep slopes associated with the fill for Country Club Drive. A soils report for Lot 150R to the west has been provided to show the general soils conditions for the area. Each lot will be required to submit a geotechnical report with the building permit applications to show that each home has been designed to meet site specific soils conditions. A Colorado Professional Engineer has prepared the conceptual grading plans for the drive-ways and the drainage as shown in Exhibit F, with each lot also required to have a Colorado PE prepare the drainage and grading plans.





**PLANNING AND DEVELOPMENT SERVICES  
DEPARTMENT**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 369-8250

**Agenda Item No. 6**

**TO:** Design Review Board  
**FROM:** Sam Starr, Planner  
**FOR:** Meeting of June 7, 2018  
**DATE:** May 24, 2018  
**RE:** A recommendation to Town Council regarding a Class 4 major subdivision application for lot 151R, 239 Country Club Drive per Community Development Code Section 17.4.13.E.1.

---

**PROJECT GEOGRAPHY**

**Project Description:** A recommendation to Town Council regarding a proposed major subdivision application for lot 151R.

**Legal Description:** Lot 151R, Town of Mountain Village according to Plat Book 1, Page 4436 according to records of San Miguel County, Colorado.

**Address:** 239 Country Club Drive

**Applicant/Agent:** Alpine Planning LLC

**Owner:** The Retreat at Mountain Village III

**Zoning:** Multi Family

**Existing Use:** Vacant land with four condominium unit densities (12 person equivalent)

**Proposed Use:** Single Family Zoning and replat into three lots with one single family density (4 person equivalent per lot)

**Lot Size:** .909 acres

**Adjacent Land Uses:**

- **North:** Single Family
- **South:** Open Space
- **East:** Multi Family
- **West:** Multi Family

**ATTACHMENTS**

- Exhibit A: Applicant's Narrative
- Exhibit B: Proposed Plat
- Exhibit C: Current Plat
- Exhibit D: Existing Conditions
- Exhibit E: Geotechnical Plans
- Exhibit F: Civil Plans
- Exhibit G: Application
- Exhibit H: Public Comment



## **BACKGROUND**

The owners of Lot 151R, 239 Country Club Drive have applied to replat the property into three (3) single family lots. In addition to the Major subdivision application, the applicant submitted a rezone and density transfer application to rezone the existing four (4) condominium unit densities to three (3) single family densities and rezone the property from multi-family to the single family zone district. Both applications have been received and are being reviewed concurrently. The minor subdivision application will be reviewed with the rezone and density transfer application by Town Council on June 14<sup>th</sup>, 2018.

## **CRITERIA AND ANALYSIS**

### **17.4.13.E.1 Major Subdivisions.**

The following criteria shall be met for the review authority to approve a major subdivision:

- a) The proposed subdivision is in general conformance with the goals, policies and provisions of the Comprehensive Plan;
- b) The proposed subdivision is consistent with the applicable Zoning and Land Use Regulations and any PUD development agreement regulating development of the property;
- c) The proposed density is assigned to the lot by the official land use and density allocation, or the applicant is processing a concurrent rezoning and density transfer;
- d) The proposed subdivision is consistent with the applicable Subdivision Regulations;
- e) Adequate public facilities and services are available to serve the intended land uses;
- f) The applicant has provided evidence to show that all areas of the proposed subdivision that may involve soil or geological conditions that may present hazards or that may require special precautions have been identified, and that the proposed uses are compatible with such conditions;
- g) Subdivision access is in compliance with Town standards and codes unless specific variances have been granted in accordance with the variance provisions of this CDC; and
- h) The proposed subdivision meets all applicable Town regulations and standards.

The proposal to downzone from multi family to single family is consistent with the Comprehensive Plan which notes in Land Use Value Number 8, land uses are envisioned to fit into the surrounding neighborhood. (p. 35 of the Comprehensive Plan). The existing zoning and density of single family homes from 230 to 266 Country Club Drive demonstrate that this subdivision would be appropriate for the neighborhood character.

#### **17.4.13.f Subdivision Design Standards and General Standards**

The proposed replat from one property to three properties must also meet the subdivision design standards and general standards. I have drawn your attention to the pertinent standards below for discussion.

#### **17.4.F.1.e General Easement**

Although the northern and southern General Easements (GE) are conforming with a 16-foot GE typically associated with single family zoned lots , the proposed plat shows an 8 foot interior lot line setbacks (not GE's) between the proposed lots, and 8-foot General Easements on the west edge of proposed lot 151R-1 and an 8-foot GE the east side of proposed Lot 151R-3.



The CDC states that “Each lot shall provide for a 16’ general easement that is consistent with the general easement requirements set forth in the Zoning and Land Use Regulations.” The CDC also states that the review authority may not apply a general easement or setback to a subdivision, lot or development if the Town has previously established a general easement for the whole subdivision, or different setbacks, easements or other restrictions that limit development to a certain area of a lot. Thus, the Design Review Board has discretion to approve GE’s and/or setbacks less than 16 feet with this application.

#### **17.4.13.F.1.c. Lot Size**

There are similarly sized single family zoned lots to the north and west of these proposed properties.

#### **17.4.13.H.5 Pedestrian Connections**

Big Billie’s Trail currently runs through the south-eastern portion of the General Easement of lot 151R. This trail is town maintained, and pedestrian access is recognized as an acceptable use of the town’s General Easement. To protect use of Big Billie’s Trail the applicant will need to provide a plat note prior to recordation that states the Big Billie’s Trail is an allowed use of the GE as a Town pedestrian access trail.

#### **17.4.13.I Water, Sewage Disposal, and Utilities**

Town of Mountain Village Public Works Director Finn Kjome indicated in the referral comments that the proposed utility plan would be acceptable (see Exhibit F sheet 2), provided that the applicant work with Telluride Ski and Golf, LLC. to obtain an affirmation of service and sewer easement agreement. A condition has been provided in the proposed motion that requires applicant to obtain an agreement prior to recordation of the subdivision.

#### **STAFF ANALYSIS**

The applicant has met the subdivision criteria. Staff recommends approval of the major subdivision application with the following recommended conditions.

#### **PROPOSED MOTION**

The Design Review Board recommends the Town Council approve the Major Subdivision application to replat Lot 151R into three lots pursuant to CDC Sections 17.4.13, with the following conditions:

1. The applicant will work with TSG and submit a sewer easement agreement to the town prior to recordation of the new plat.
2. Applicant will formalize continued public use of the Big Billie’s Trail in its current location on the southwest corner of Lot 151R, as shown on Exhibit D by legal instruction or otherwise agree to have it relocated onto TSG property.
3. A Subdivision Improvements Agreement will be executed to the satisfaction of the Town Attorney consistent with 17.4.13.I.4 & 5 Utility Design Standards and Required Utility Improvements.
4. The Applicant will submit appropriate fees to staff for recordation with the San Miguel County Assessor's office within six months of approval.
5. Staff will review the replat document to verify consistency with CDC Sections 17.4.13.N. Plat Standards, and CDC Section 3. Plat Notes and Certifications, and provide redline comments to the applicant prior to execution of the final mylar.



6. The major subdivision approval is conditioned upon final approval of the concurrent rezone to single family zoning and single family density application by Town Council.
7. Staff has the authority to provide ministerial and conforming comments on the mylar prior to recordation.

/STS



# Lot 151R Rezoning and Subdivision





# BACKGROUND

The Retreat at Mountain Village III (“Owner”) desires to rezone Lot 151R (“Property”) from the Multi-family Zone District to the Single-family Zone District and to replat the Property to create three single-family lots as shown in Exhibit A.

The Property is located at 239 Country Club Drive as shown in Figure 1. The Property is located to the north of the Hole 1 Fairway, with the Big Billies Trail located along the property line and in a portion of the southern general easement.

The Property has a low USGS elevation of 9296 and a high elevation of 9362 with an overall elevation gain of 66 feet with slopes that are generally less than 30%. There are some slopes that are 30% or greater that are located in the westerly half of the Property as shown on the slope map in Exhibit B.

The Property has the following designated land uses:

Lot	Acreage	Zone District	Zoning Designation	Actual Units	Density Per Unit	Equivalent Units
151R	0.91	Multi-Family	Condo	4	3	12

The proposed land uses for the Property follows:

Lot	Acreage	Zone District	Zoning Designation	Actual Units	Density Per Unit	Equivalent Units
151R	0.91	Single-family	Single-family	3	4	12

There is no need to transfer density to or from the Property.

The Property was first platted in 1984 under the Mountain Village Filing No. 1 Plat at Reception Number 233115, with the designated use of a Condominium Lot with three condominium units. The Property was re-platted in 1987 to create three lots that allowed one detached single-family condominium on each lot. The Town approved a replat of the Property in 2011 that vacated the lot lines to create Lot 151R that is the current plat for the Property (Exhibit C).

# REZONING

## Rezoning Criteria for Decision

The proposed rezoning meets the Rezoning criteria for decision set forth in Community Development Code (“CDC”) Section 17.4.9(C) as set forth in the following sections.

### General Conformance with the Comprehensive Plan

The Mountain Village Comprehensive Plan (“Comprehensive Plan”) Future Land Use Plan envisions the Property rezoned to the Single-family Zone District as shown in Figure 2. The Multi-family Zone District currently permits detached condominiums that are built as single-family dwellings. Detached condominiums are viewed as single-family development. So both the current zoning and the Comprehensive Plan contemplate the single-family land uses for the Property. There are no wetlands, trees or forests located on the Property. Steep slopes are addressed latter in this narrative.

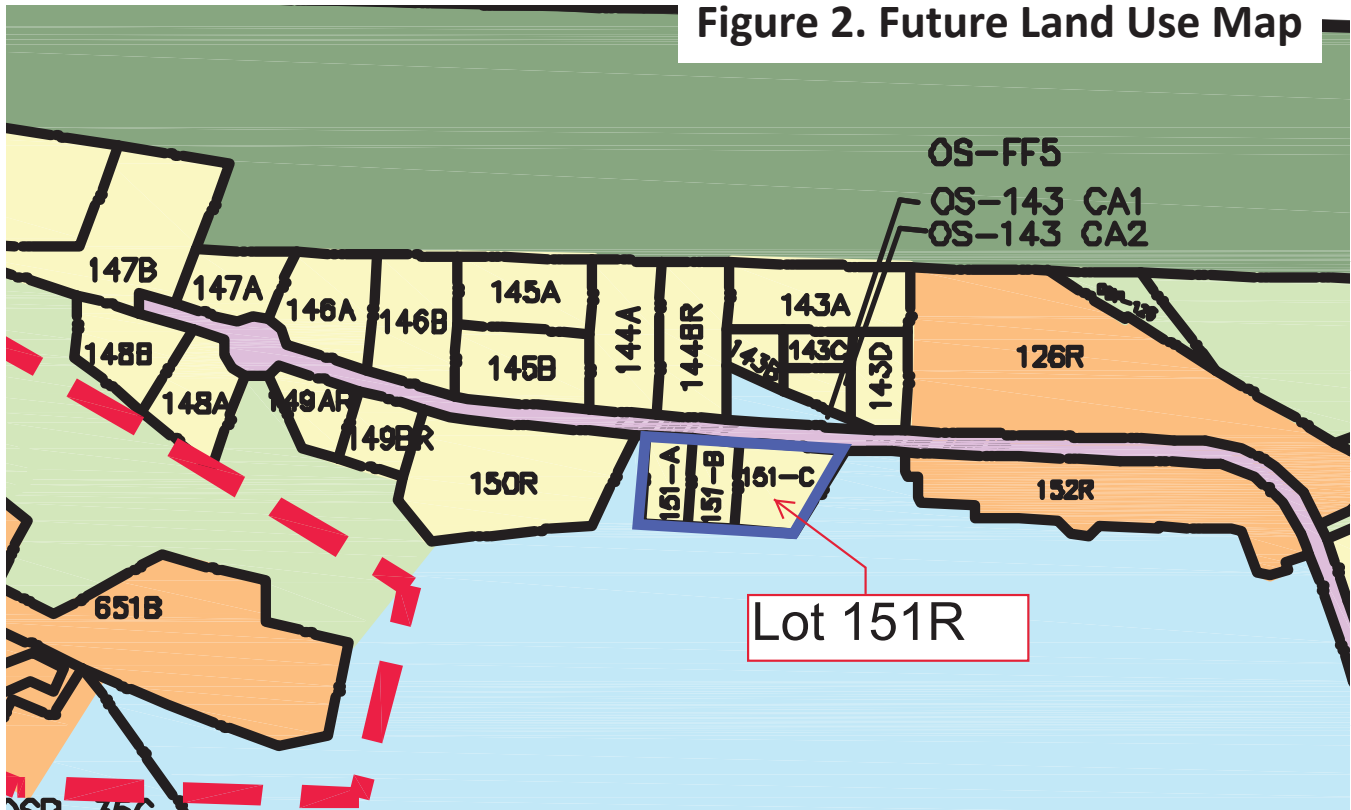


Figure 1. Vicinity Map





Figure 2. Future Land Use Map



Consistency with the Zoning and Land Use Regulations

The proposed rezoning and subdivision are consistent with the Zoning and Land Use Regulations contained in CDC Section 17.3. Single-family dwellings are permitted uses in the Single-family Zone District. The existing person equivalent density allows for the conversion of four condominium units to three single-family dwellings with no need to transfer density to or from the Property. The rezoning and subdivision do not impact platted open space. Building height and lot coverage will be in compliance with the CDC limitations. The owner is proposing to establish 16 foot general easements in between the proposed building envelopes with eight (8) feet on either side of the interior lot lines and to vacate the general easement on the east and west sides of the Property as discussed below.

General Easement Vacation

The Owner is seeking to vacate the eastern and western general easements from 16 feet to 8 feet as shown in Exhibit A. The main purposes of the general easement are to provide buffering to surrounding land uses and to maintain the ability to conduct any of the general easement allowed uses. The west and east sides of the Property abut TSG open space which provides ample buffering to surrounding land uses, with 64 feet to the development to the west, and over 127 feet to the Northlight property to the east. The Big Billies Trail will be provided a 16 foot general easement setback as it runs along the southerly Property boundary. The Owner has agreed to a plat note that requires landscape buffering in the western and eastern general easements of Lot 1 and Lot 3, respectively, to soften the development as viewed from surrounding development.

The general easement definition allows for the following uses, improvements and activities:

“...utilities, drainage, electrical service, communication service, ski slope maintenance, bicycle



access, skier access, roadway access, equestrian access, pedestrian access, golf cart access, snow making, waterways, slope maintenance, snow storage, retaining walls, snowmobile access, snow removal, snowcat access, water, sanitary sewer and storm sewer.”

These general easement uses and activities are not needed for the Property because all utilities have been established in the area and the surrounding open space allows for ski-related uses. We therefore believe that the eastern and western general easements may be reduced and vacated from 16’ to 8’ as shown on the proposed plat.

The Town has historically allowed for the vacation and reduction of the general easement to allow for desired development plans, with the most applicable example at Trails Edge Subdivision where the general easement was vacated where it adjoined open space to the north. Even Lot 151R had portions of the general easement vacated as shown in Exhibit E. We are similarly requesting the Town consider vacating the general easement as shown, with the general easement section of the CDC recognizing general easement vacations.

### Comprehensive Plan Project Standards

The proposed rezoning will meet the Comprehensive Plan Project Standards because visual impacts will be minimized. The current and proposed zoning allowing a building height of 30 feet plus 5 feet for gabled roofs and for detached condominiums without size limitations pursuant to the Multi-family Zone District standards, subject to a 65% lot coverage. The Single-family Zone District limits lot coverage to 40%, so there is also a 20% reduction in allowed lot coverage with the rezoning. The single-family dwellings will have less scale and mass that is designed in accordance with the Zoning and Land Use Regulations and the Design Regulations. Environmental and geotechnical impacts will be minimized and mitigated consistent with the Comprehensive Plan and the CDC. Site specific issues will be addressed concurrent with the Design Review Process.

### Rezoning Justification

The rezoning is justified because it is envisioned by the Future Land Use Map as shown in Figure 2.

### Public Facilities and Services

The site survey in Exhibit D shows that water, natural gas and telecommunications are available in the Country Club Drive Right-of-Way. Electricity will have to be provided from the north of County Club Drive. Sewer is available in the TSG open space to the south. Fire protection is provided by the Telluride Fire Protection District. Police protection, street maintenance and general government services are available from the Town.

### Circulation, Parking, Trash and Deliveries

The Property has access from Country Club Drive, with trash pickup and deliveries easily and safely accessible. Parking will be provided on each site in accordance with the Design Regulations.

## **SUBDIVISION**

### **Criteria for Decision**

The proposed development is classified as a Major Subdivision. The proposed subdivision complies with the Subdivision criteria for decision set forth in CDC Section 17.4.13(E)(1) as outlined in the following sections.



### General Conformance with the Comprehensive Plan

The proposed subdivision generally conforms to the Comprehensive Plan as outlined under the rezoning section above.

### Consistency with the Zoning and Land Use Regulations

The proposed subdivision is consistent with the Zoning and Land Use Regulations as set forth under the rezoning section above.

### Density Allocation

The concurrent rezoning request is proposing to convert the four actual units and 12 person equivalent units of condominium density to 12 person equivalents of single-family density for the three (3) proposed lots.

### Consistency with Subdivision Regulations

The proposed subdivision is consistent with the Subdivision Regulations as set forth below.

### Adequate Public Facilities and Services

The site survey in Exhibit D shows that water, natural gas and telecommunications are available in the Country Club Drive Right-of-Way. Electricity will have to be provided from the north of County Club Drive. Sewer is available in the TSG open space to the south, with a draft easement to cross TSG land in process. Fire protection is provided by the Telluride Fire Protection District. Police protection, street maintenance and general government services are available from the Town. A draft civil plan for utilities is shown in Exhibit F.

### Soil and Geologic Conditions

The approval of the Mountain Village Filing No. 1 plat and the original County PUD found that the development of the area avoids areas subject to geological hazards. A geotechnical report may be required by the Town Building Department as a part of the building permit process for each lot to ensure homes are designed in accordance with soil conditions that are present on the Property. A geotechnical report for the Property to the west, Lot 150, is shown in Exhibit E.

### Subdivision Access

Each lot will be accessed from Country Club Drive and will be designed to meet the Driveway Standards contained in CDC Section 17.6.6(B) unless a variation is granted by the Design Review Board during the Design Review Process as allowed by Subsection 23. The draft access and grading plan is shown in Exhibit F.

### **Subdivision Design Standards and General Standards**

The proposed subdivision complies with the Subdivision Design and General Standards set forth in CDC Section 17.4.13(F) as set forth in the following sections.

Minimum Frontage. Each lot has over 50 feet of frontage.

Vehicular and Utility Access. Vehicular and utility access is provided off of Country Club Road with the exception of sewer. The site survey shows the sewer line is located on TSG open space so we are working with TSG to create a new sewer line easement for the subdivision. This easement will be submit-



ted for Town review and approval in the near future.

Minimum Lot Size. The proposed lot sizes are envisioned by the Comprehensive Plan as shown in Figure 2. In addition, the proposed lot sizes are approximately 0.3 acres which is very similar to the lots to the north (Lots 143B, 143C and 143D) that have an average size of 0.22 acre.

Solar Access. Each lot will have great solar access to the south.

General Easement. A 16 foot general easement is provided on the north and south lot lines. The Owner is proposing to vacate the 16 foot western and eastern general easement and provide an 8 foot setback/general easement as outlined in the zoning discussion above. The general easements and setbacks as proposed will provide for adequate buffering and general easement uses. A 16 foot general easement is provided in between each building envelope in the subdivision, with 8 feet on either side of the lot line.

Design of Lots. The lots have been designed in accordance with the development pattern envisioned in the Comprehensive Plan; topographical considerations; convenient and safe access; provision of adequate building area that meets the zoning and subdivision requirements; utilities and views to the southwest.

Protection of Natural Features. There are no natural features on the site.

Topography of the Land. The subdivision has been designed to fit the topography of the land to the extent practical.

Areas Subject to Environmental Hazard. There are no environmental hazard areas in the Property.

Drainage. The Property survey shows two culverts in the northwest corner that are planned to be replaced with a new culvert as shown on the drainage plan in Exhibit F. Drainage from the proposed culvert is located in the proposed 8' general easement. The development of each lot will have to provide for the required drainage improvements as a part of the required Design Review Process.

Fire Protection. Fire protection is provided by the Telluride Fire Protection District. Hydrants have been installed along Country Club Drive as required by the original subdivision development of the area.

Street Improvements. Country Club Drive street improvements have already been installed. Each home will have to provide a new driveway onto Country Club Drive concurrent with development.

Water, Sewer and Utilities. Water, gas, telecommunications and electric utilities are available from Country Club Drive. The sewer line intended to serve Lot 151R and other lots to the west is located in TSG open space as discussed above.

Utility Design and Improvements. The Owner's team will need to work with the Town and utility agencies to create an overall utility plan with any needed subdivider improvements listed on a subdivision improvements agreement.

Required Dedications. There are no required land dedications for the subdivision. Big Billies Trail is located in the 16 foot general easement on proposed Lot 151R-3.

Maintenance of Common Areas. There are no common areas associated with the proposed subdivision.

Public Improvement Policy. The subdivision improvements agreement will be provided to the Town



after a utility plan is reviewed and approved by the utility agencies and the Town.

### **Steep Slope Regulations**

The proposed subdivision has some area with slopes that are 30 percent or greater. CDC Section 17.6.1(C)(2)(a) states:

“Building and development shall be located off slopes that are thirty percent (30%) or greater to the extent practical.

i. In evaluating practicable alternatives, the Town recognizes that it may be necessary to permit disturbance of slopes that are 30% or greater on a lot to allow access to key viewsheds, avoid other environmental issues, buffer development and similar site-specific design considerations.”

Most of the lots on the south side of Country Club Drive contain steep slopes with the lots platted and density assigned to the site knowing such conditions existed. Disturbance to steep slopes is needed to allow for development envisioned by the Comprehensive Plan, access to key views and to allow for reasonable use of the Property. The Town has always envisioned the development of Lot 151 including the steep slopes areas given its size and the density permitted.

The intent of the Steep Slope Regulations is to protect water quality, visual resources and slope stability. In this case, there will be no adverse impacts to water quality, visual resources or slope stability due to the need to provide engineered plans, application of water quality protection measures, and height being limited due to the slopes dropping from Country Club Drive.

CDC 17.6.1(C)(2)(c) states:

The review authority shall only allow for disturbance to slopes thirty percent (30%) or greater if it is demonstrated that there is not a practicable alternative to avoiding such activities and if the following criteria are met:

- i. The proposed steep slope disturbance is in general conformance with the Comprehensive Plan;
- ii. The proposed disturbance is minimized to the extent practical;
- iii. A Colorado professional engineer or geologist has provided:
  - (a) A soils report or, for a subdivision, a geologic report; or
  - (b) An engineered civil plan for the lot, including grading and drainage plans.
- iv. And the proposal provides mitigation for the steep slope development in accordance with the engineered plans.

The Comprehensive Plan envisions the development of three single-family lots as proposed by the Owner. The general easement and setback areas for each lot will minimize steep slopes associated with the fill for Country Club Drive. A soils report for Lot 150R to the west has been provided to show the general soils conditions for the area. Each lot will be required to submit a geotechnical report with the building permit applications to show that each home has been designed to meet site specific soils conditions. A Colorado Professional Engineer has prepared the conceptual grading plans for the drive-ways and the drainage as shown in Exhibit F, with each lot also required to have a Colorado PE prepare the drainage and grading plans.







CERTIFICATE OF OWNERSHIP

KNOW ALL PERSONS BY THESE PRESENTS that the Replat of Mountain Village, Filing No. 1, is a valid and legal replat...

PROPERTY DESCRIPTION: Lots 151A, 151B and 151C, Replat of Lot 151, Telluride Mountain Village, Filing No. 1, according to the Plat recorded November 20, 2007 at Plat Book 1 of page 776.

OWNER: Retreat at Mountain Village II, LLC, a Colorado limited liability company.

ACKNOWLEDGMENT: State of Colorado, County of San Miguel.

My commission expires 11/11/2011. Witness my hand and seal this 15th day of February, 2011.

SURVEYOR'S CERTIFICATE

I, Jeffrey C. Heston of Foley Associates, Inc., a Professional Land Surveyor licensed under the laws of the State of Colorado, do hereby certify that the LOT 151A, A REPLAT OF LOT 151A, 151B AND 151C, TELLURIDE MOUNTAIN VILLAGE, FILING NO. 1, shown hereon has been prepared under my direct supervision and that I am a duly licensed and qualified surveyor under the laws of the State of Colorado.

IN WITNESS WHEREOF, I have set my hand and official seal this 15th day of February, A.D. 2011.

NOTES: 1. General research from Security Title Company County Clerk, No. 00888640 dated April 12, 2011 at 1:08 P.M. and dated the Company Clerk No. 00888640-000-000, Amendment No. 1 dated May 6, 2010 at 7:00 A.M.

2. UNSET OF BOUNDING: The bearing of the western property line of Lot 151A was estimated to be the natural bearing of N40°00'00" E or thereabouts.

4. NOTES OF CLARIFICATION: a. The comparison of the following lots, tracts, and rights of way have been recorded by this Replat: None.

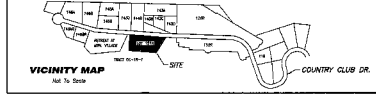
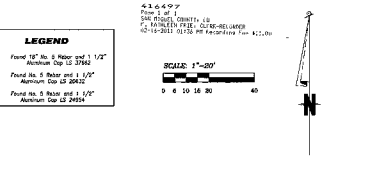
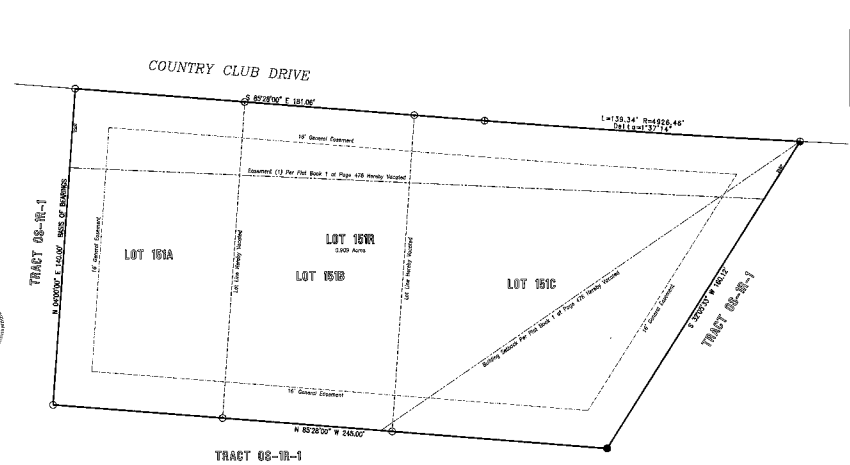
b. The following Lots, tracts, and rights of way have been detailed by this Replat: Lots 151A, 151B, 151C.

5. Land Use Designation: No. Units Density 151A 12 12.

6. The approval of this Replat vacates all prior plats for the area described by this Replat.

7. The non-appealability of the units as measured from the street is limited to the same extent as the approved structure located on the adjacent lot 150 also measured from street level, so that the street-view minimum is considered building height.

8. IN WITNESS: According to Colorado law you must commence any legal action based upon defect in this survey within three years after your first discovery such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.



SECURITY INTEREST HOLDERS' COMMENT

The undersigned Alpha Bank, a Colorado Banking Corporation, as a security holder of a deed of trust which constitutes a lien upon the decedent's property, recorded at Reception No. 407432, in the San Miguel County Clerk and Recorder's real property records, hereby consents to the subdivision of the real property as depicted on this Replat.

Name: Chris Menden Date: 2/15/11. Address: 120 S. Pine St. Telluride. Signature: [Signature]

ACKNOWLEDGMENT: State of Colorado, County of San Miguel.

My commission expires 11/11/2011. Witness my hand and seal this 15th day of February, A.D. 2011.

TITLE INSURANCE COMPANY CERTIFICATE

Fidelity National Title Company hereby certifies that we have searched the title to the land herein shown on this Replat and that the title to this land is in the name of Retreat at Mountain Village II, LLC, a Colorado limited liability company, and in fee and clear of all encumbrances, taxes, liens, and special assessments except as follows:

Deed of Trust to Alpha Bank recorded June 22, 2009 at Reception No. 407432 and Ad-Interven: same subsequent to 2011.

Witness my hand and seal this 15th day of February, A.D. 2011.

TOWN OF MOUNTAIN VILLAGE APPROVAL

I, Robert Daines as Mayor, and Greg Sparks as Manager of the Town of Mountain Village, Colorado, do hereby certify that this Replat has been approved by the Town Council in the same resolution that has authorized and directed us to execute this Grant of Easement.

Name: Chris Menden Date: 2/15/11. Address: 120 S. Pine St. Telluride. Signature: [Signature]

ACKNOWLEDGMENT: State of Colorado, County of San Miguel.

My commission expires 11/11/2011. Witness my hand and seal this 15th day of February, A.D. 2011.

GRANT OF EASEMENT

The Owner hereby grants to the Town of Mountain Village (the "Town"), their successors and assigns, a perpetual easement 16 feet in width over, across and under all areas depicted as 16' General Easement on this Replat for any and all uses, improvements and a easements deemed necessary by the Town, for the safe and efficient operation of the Town, which include but are not limited to the following: utilities, drainage, electrical service, communication services, all types of maintenance, bicycle access, stair access, roadway access, pedestrian access, padlock access, golf cart access, snow making, recycling, slope maintenance, snow storage, reliability, water, sewerage access, snow removal, snowed access, water, sanitary access, and storm sewer.

Witness my hand and seal this 15th day of February, A.D. 2011.

BUILDING SETBACK VACATION AND EASEMENT (1) VACATION

The undersigned being the beneficiaries of record of those portions of land labeled as Building Setback and Easement (1), as depicted on the plat of Telluride Mountain Village, City of Telluride in the Office of the Clerk and Recorder of San Miguel County in Plat Book 1 of pages 476-488 and on the plat of Lot 151, Telluride Mountain Village, City of Telluride in the Office of the Clerk and Recorder of San Miguel County in Plat Book 1, page 776-777, do hereby vacate and relinquish said Building Setback and Easement (1) as shown hereon on this Replat.

Name: Chris Menden Date: 2/15/11. Address: 120 S. Pine St. Telluride. Signature: [Signature]

ACKNOWLEDGMENT: State of Colorado, County of San Miguel.

My commission expires 11/11/2011. Witness my hand and seal this 15th day of February, A.D. 2011.

TREASURER'S CERTIFICATE

I, the undersigned, Treasurer of the County of San Miguel, do hereby certify that according to the records of the San Miguel County Treasurer there are no liens against the addition as any part thereof for unpaid taxes, county mortgage or lien taxes or special assessments due and payable, in accordance with Letter the Code Section 3-107.

Name: Chris Menden Date: 2/15/11. Address: 120 S. Pine St. Telluride. Signature: [Signature]

ACKNOWLEDGMENT: State of Colorado, County of San Miguel.

My commission expires 11/11/2011. Witness my hand and seal this 15th day of February, A.D. 2011.

RECORDER'S CERTIFICATE

This plat was filed for record in the office of the San Miguel County Clerk and Recorder on the 15th day of February, 2011, at 1:11 P.M. Page 4436. Reception No. 407432.

Name: Chris Menden Date: 2/15/11. Address: 120 S. Pine St. Telluride. Signature: [Signature]

ACKNOWLEDGMENT: State of Colorado, County of San Miguel.

My commission expires 11/11/2011. Witness my hand and seal this 15th day of February, A.D. 2011.

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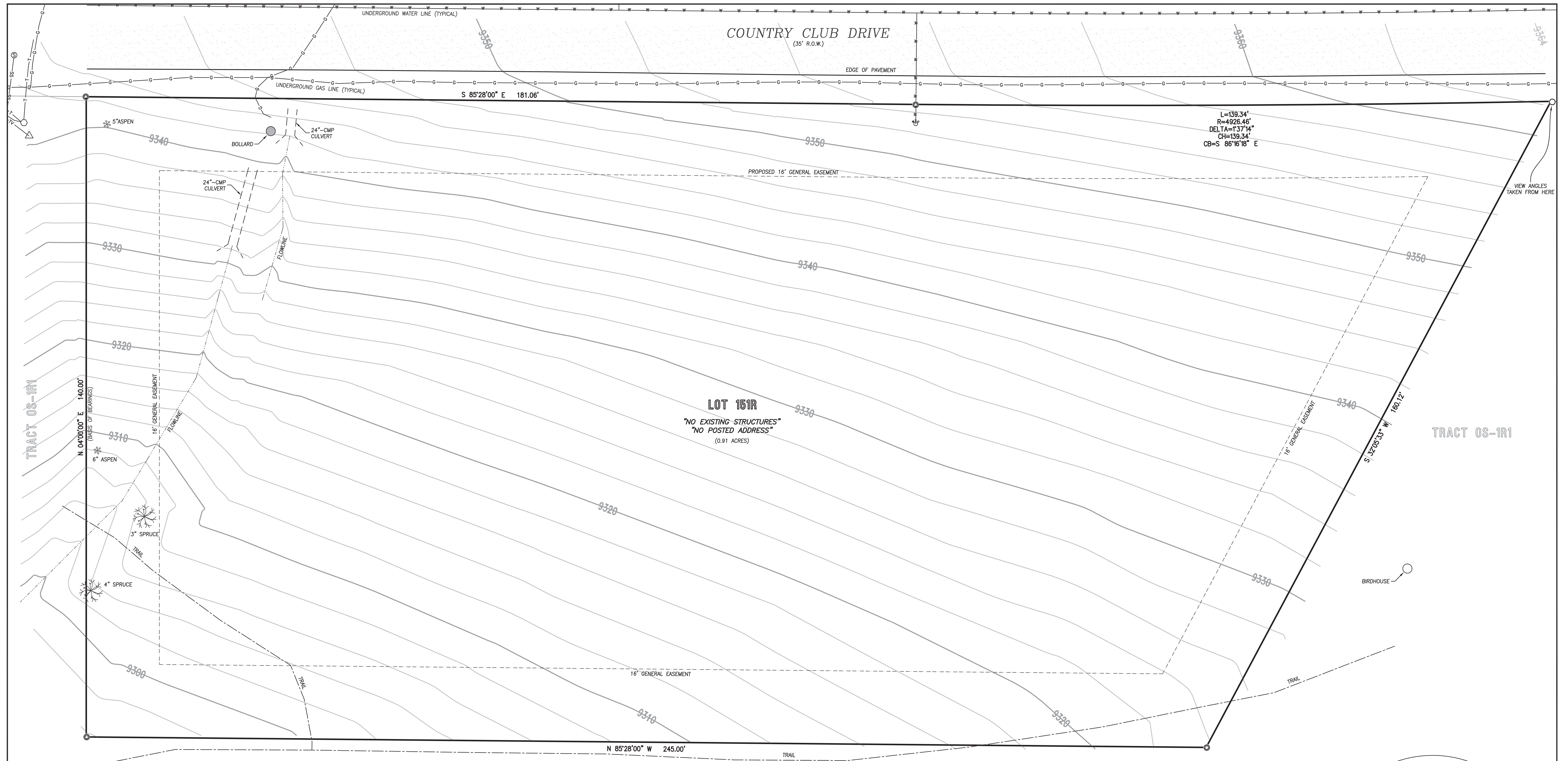
LOT 151R, A REPLAT OF LOTS 151A, 151B AND 151C, TELLURIDE MOUNTAIN VILLAGE, FILING No. 1 LOCATED WITHIN THE SE 1/4 OF THE SW 1/4 OF SECTION 34, T.43N, R.9W., N.M.P.M., LYING WITHIN THE INCORPORATED TOWN OF MOUNTAIN VILLAGE, SAN MIGUEL COUNTY, COLORADO

Table with columns: Project No., Substation, Section, Sheet, Date. Values: 4436, 4436, 4436, 4436, 2/11/2011.

FOLEY ASSOCIATES, INC. 870-728-6183 970-728-6050 Fax. P.O. BOX 1385 138 W. PACIFIC SUITE B-1 TELLURIDE, COLORADO 81420

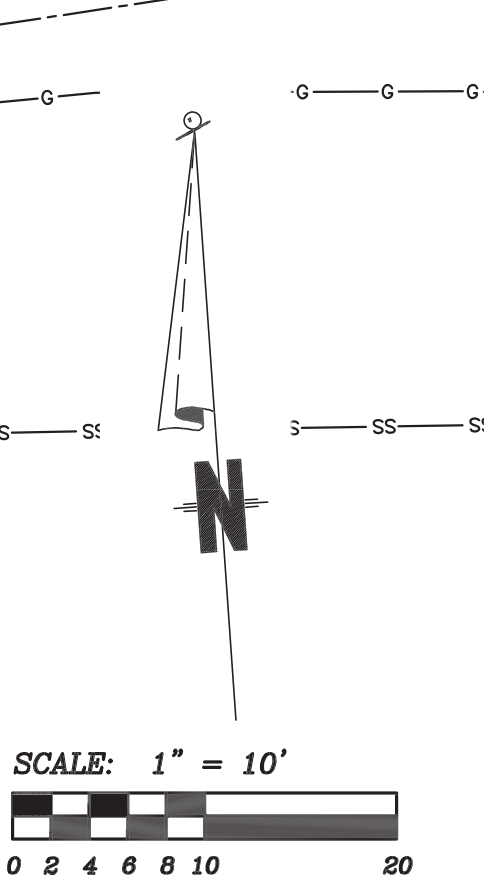
PAGE 4436





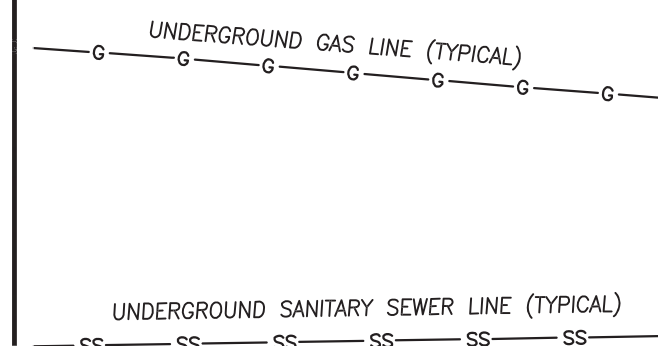
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CH=139.34'  
CB=S 86°16'18" E

**LOT 151R**  
"NO EXISTING STRUCTURES"  
"NO POSTED ADDRESS"  
(0.91 ACRES)



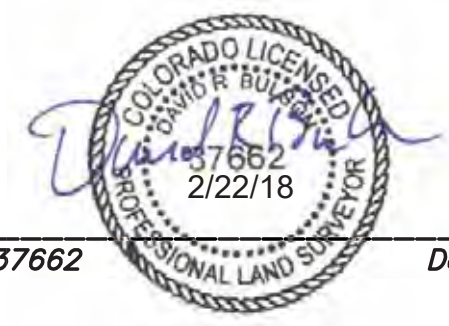
**LEGEND**

W	WATER VALVE
CS	CURB STOP
SM	SEWER MANHOLE
TP	TELEPHONE PEDESTAL
CTV	CABLE-TV PEDESTAL
AL1	FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 20632
AL2	FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 37662
AL3	FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 24954
NR	FOUND No. 5 REBAR, NO CAP



**SURVEYOR CERTIFICATE:**

This topographic survey of Lot 151R, Town of Mountain Village, is hereby certified to The Retreat at Mountain Village III, LLC, A Colorado Limited Liability Company. This property was field surveyed on February 6, 2018 under the direct responsibility, supervision and checking of David R. Bulson of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37662 Date

**TRACT OS-1R1**

**PROPERTY DESCRIPTION:**

LOT 151R, TELLURIDE MOUNTAIN VILLAGE, FILING 1, ACCORDING TO THE REPLAT OF LOTS 151A, 151B AND 151C, TELLURIDE MOUNTAIN VILLAGE, FILING NO. 1 RECORDED FEBRUARY 16, 2011 IN PLAT BOOK 1 AT PAGE 4436,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

**NOTES:**

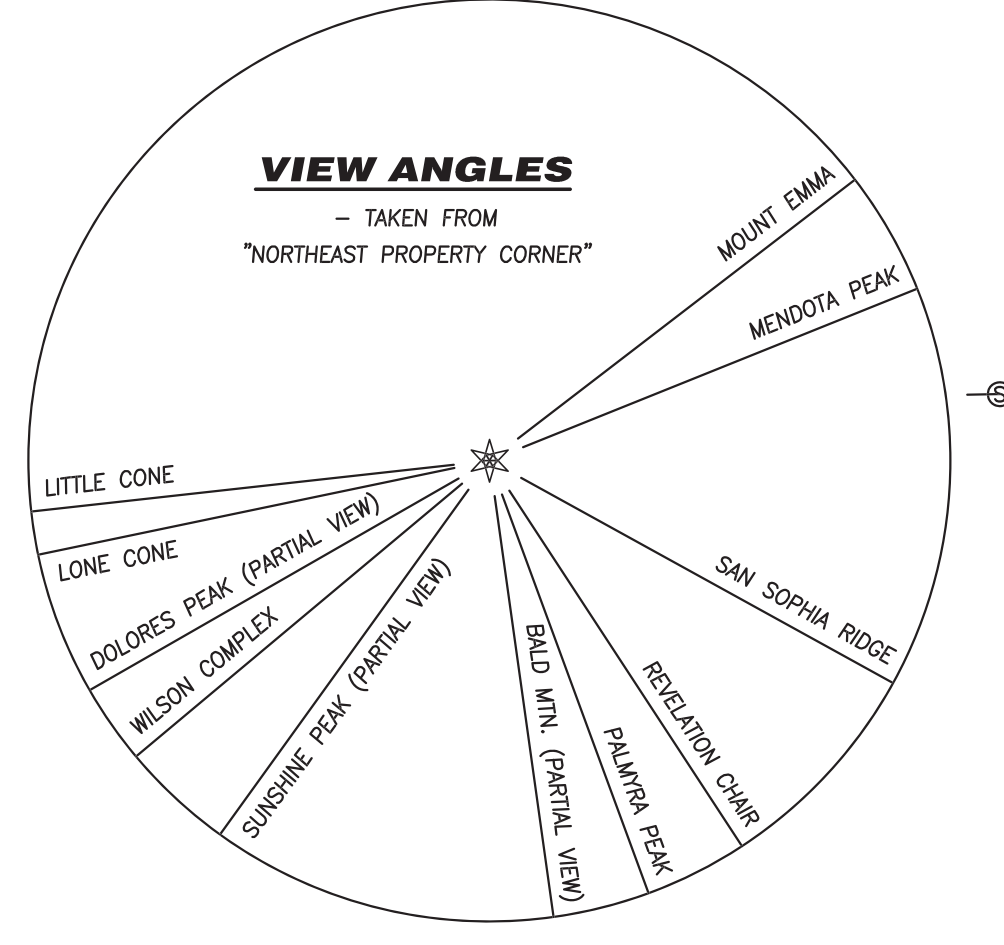
- Easement research and property description from Land Title Guarantee Company, Order Number TLR86006734, dated February 02, 2017 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Map 08113C0287-D, Panel Number 0287 D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.

**NOTES (cont.):**

- Bearings for this survey based on monuments found along the western boundary of Lot 151R, as shown hereon, assumed to have the record bearing of N 04°00'00" E according to Plat Book 1 at page 4436 in the office of the San Miguel County Clerk and Recorder.
- Lineal units represented hereon are shown in U.S. Survey Feet or a decimal portion thereof.
- BENCHMARK: Control Point 'CP 14-2', a magnetic nail with an elevation of 9369.46 feet, is located in the pavement on the south side of Country Club Drive and ± 90 feet east of the northeast corner of Lot 151R.
- Contour interval is two feet.
- This survey is valid only if a print or electronic copy has a seal and signature of the surveyor noted within the statement above.
- Any person who knowingly removes, alters, or defaces any public land survey monument and/or boundary monument or accessory, commits a class two (2) misdemeanor pursuant to C.R.S. 18-4-508.

**NOTES (cont.):**

- The word certify as used hereon means an expression of professional opinion regarding the facts of this survey and does not constitute a warranty or guarantee, expressed or implied.
- This survey is prepared for the exclusive use of the party or parties indicated within the surveyor's statement. Said statement does not extend to any unnamed person or parties without an express statement by the surveyor naming said entities.
- Warranty Deed recorded at Book 412, Page 196, San Miguel County Clerk and Recorder, requires that the Southern portion of this Property shall be sodded with Kentucky Bluegrass.
- NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.



**TOPOGRAPHIC SURVEY**  
Lot 151R, Town of Mountain Village,  
San Miguel County, Colorado.

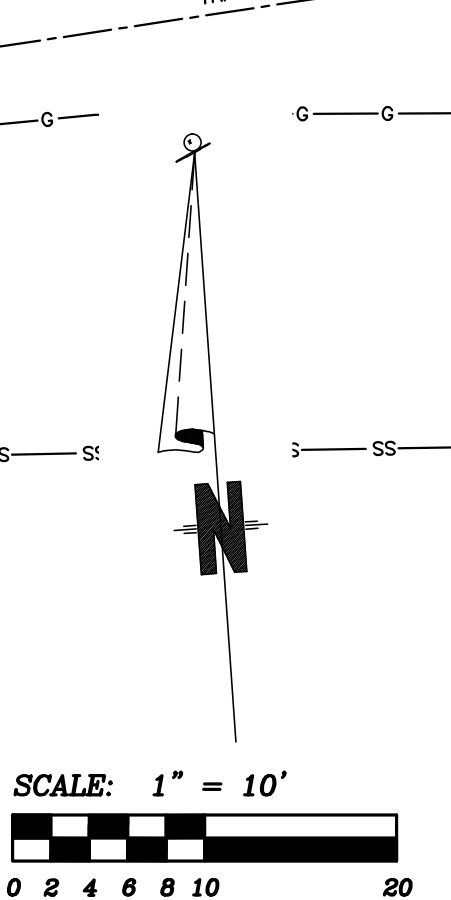
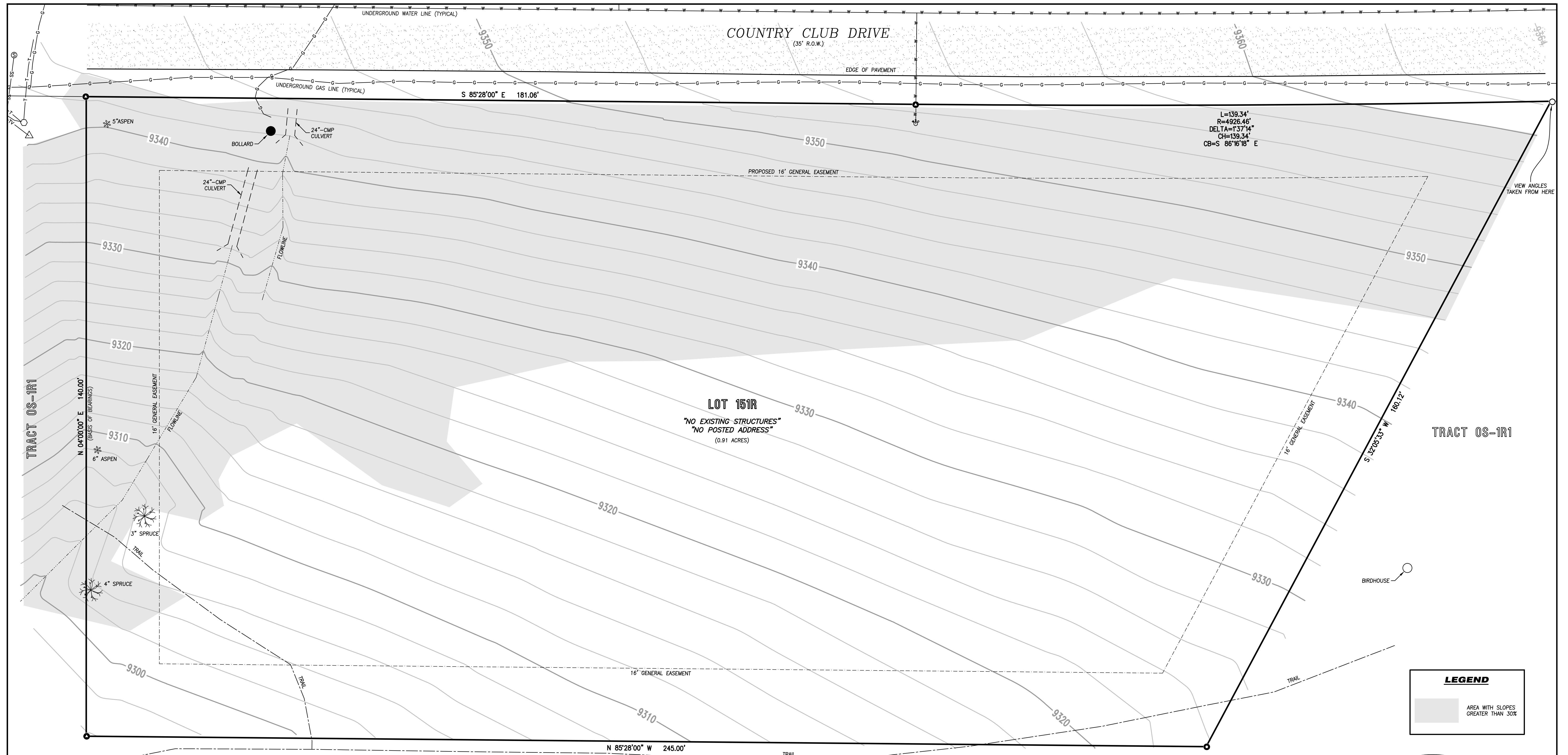
Project Mgr:	DB	Rev.	description	date	by
Technician:	MC				
Checked by:					
Start date:	02/06/2018				



970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

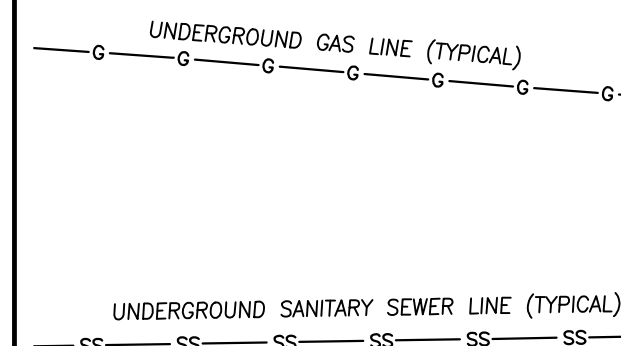
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**LEGEND**

- W WATER VALVE
- C CURB STOP
- S SEWER MANHOLE
- O TELEPHONE PEDESTAL
- △ CABLE-TV PEDESTAL
- FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 20632
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P.L.S. NO. 37662 Date \_\_\_\_\_

**PROPERTY DESCRIPTION:**

LOT 151R, TELLURIDE MOUNTAIN VILLAGE, FILING 1, ACCORDING TO THE REPLAT OF LOTS 151A, 151B AND 151C, TELLURIDE MOUNTAIN VILLAGE, FILING NO. 1 RECORDED FEBRUARY 16, 2011 IN PLAT BOOK 1 AT PAGE 4436.

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

**NOTES:**

1. Easement research and property description from Land Title Guarantee Company, Order Number TLR86006734, dated February 02, 2017 at 5:00 P.M.
2. According to FEMA Flood Insurance Rate Map 08113C0287-D, Panel Number 0287 D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.

**NOTES (cont.):**

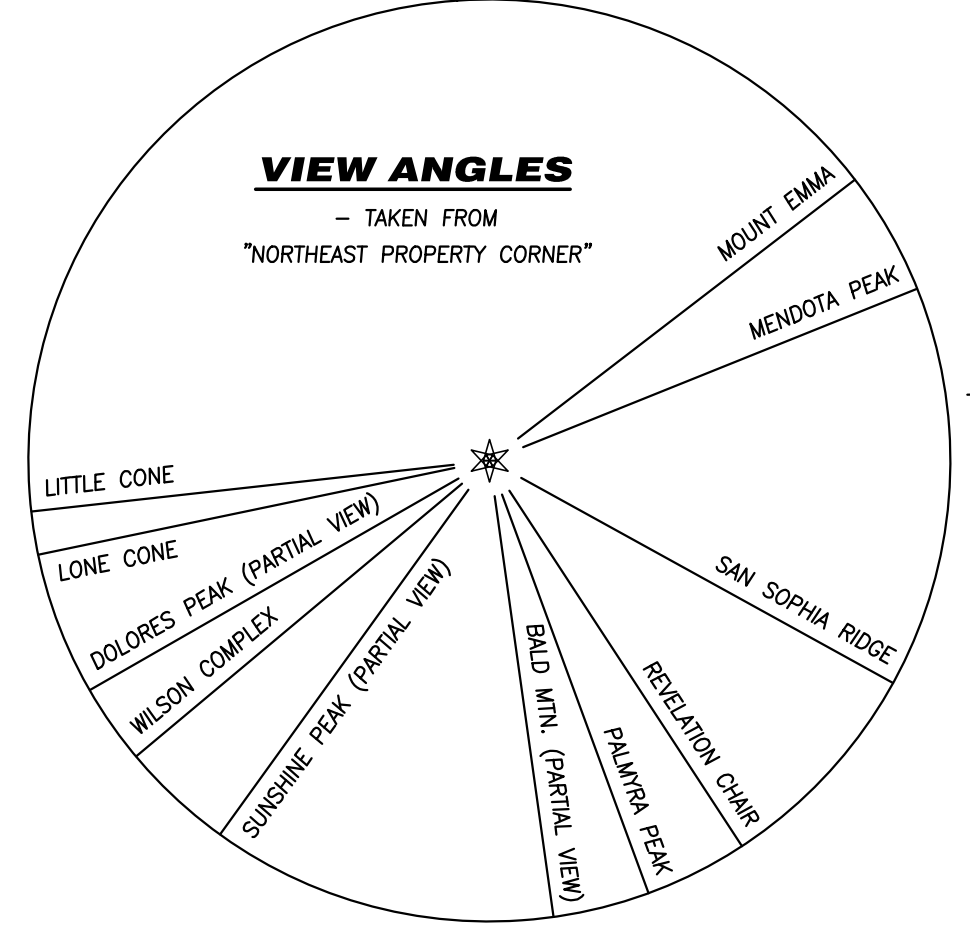
3. Bearings for this survey based on monuments found along the western boundary of Lot 151R, as shown hereon, assumed to have the record bearing of N 04°00'00" E according to Plat Book 1 at page 4436 in the office of the San Miguel County Clerk and Recorder.
4. Lineal units represented hereon are shown in U.S. Survey Feet or a decimal portion thereof.
5. BENCHMARK: Control Point 'CP 14-2', a magnetic nail with an elevation of 9369.46 feet, is located in the pavement on the south side of Country Club Drive and ± 90 feet east of the northeast corner of Lot 151R.
6. Contour interval is two feet.
7. This survey is valid only if a print or electronic copy has a seal and signature of the surveyor noted within the statement above.
8. Any person who knowingly removes, alters, or defaces any public land survey monument and/or boundary monument or accessory, commits a class two (2) misdemeanor pursuant to C.R.S. 18-4-508.

**NOTES (cont.):**

9. The word certify as used hereon means an expression of professional opinion regarding the facts of this survey and does not constitute a warranty or guarantee, expressed or implied.
10. This survey is prepared for the exclusive use of the party or parties indicated within the surveyor's statement. Said statement does not extend to any unnamed person or parties without an express statement by the surveyor naming said entities.
11. Warranty Deed recorded at Book 412, Page 196, San Miguel County Clerk and Recorder, requires that the Southern portion of this Property shall be sodded with Kentucky Bluegrass.
12. NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

**LEGEND**

- AREA WITH SLOPES GREATER THAN 30%



**TOPOGRAPHIC SURVEY / SLOPE STUDY**  
 Lot 151R, Town of Mountain Village,  
 San Miguel County, Colorado.

Project Mgr:	DB	Rev.	description	date	by
Technician:	MC				
Checked by:					
Start date:	04/09/2018				



970-728-6153 970-728-6050 fax  
 P.O. BOX 1385  
 125 W. PACIFIC, SUITE B-1  
 TELLURIDE, COLORADO 81435





Civil, Structural & Geotechnical Engineers

222 South Park Ave. Montrose, CO 81401  
(970) 249-6828 FAX (970) 249-0945

*Bill's copy*

**SOIL REPORT**  
**LOT 150, TELLURIDE MOUNTAIN VILLAGE**  
**DON MEEKS**  
**TELLURIDE, COLORADO**

On May 14, 1998, an investigation of the soil and site conditions was conducted by Buckhorn Geotech, Inc., on Lot 150 of the Telluride Mountain Village near Telluride, Colorado. This was performed at the request of the owner, Mr. Don Meeks. The purpose for the investigation was to evaluate the property for its suitability for the construction of a 4-story duplex building. The investigation consisted of a site inspection; excavation of two (2) test pits to depths of twelve (12) and fourteen (14) feet; laboratory testing of collected soil samples, analysis of available data; and report preparation.

**Construction Plans**

At this time, we understand that Mr. Meek's architectural firm, Kaufman Meeks, Inc., is designing the plans for the duplexes to be constructed on this lot. For this study, we focused on the first of two duplexes, called Phase I on the architectural drawings. The duplex will be a four-story frame structure with heavy timber trusses and stonework on the exterior. It is anticipated that the structure will transfer loads of about 2,000 to 3,000 pounds per linear foot to a continuous footing. Concentrated loads will probably range around 25,000 to 35,000 pounds.

**Site Conditions**

Lot 150 is located in the lower portion of the mountain in the Village at an average elevation of approximately 9,320 feet above mean sea level. Based upon that elevation, the Structural Engineers Association of Colorado recommends that the Basic Snow Design Load be a minimum of 90 pounds per square foot. The property is situated along the south side of Country Club Drive near its end at the cul-de-sac. The home site rests



upon an relatively steep slope of 37.5% downward to the south. There is a small bench just above the building site along the road and another small one at the foot of the site. The slope continues to drop steeply away from the building to the south across the remainder of the property. Existing topography on the property directs surface runoff downward to the south and into a draw which conveys runoff westward. The slope continues above Country Club Drive until it tops out along an east-west trending ridge.

Lot 150 contains a ground cover of native grasses. There are no signs of slope instability such as hummocks, slumps scars or surface cracks in the soil.

### Geology

The San Juan Mountains of southwestern Colorado are an uplifted dome of Paleozoic and Mesozoic sedimentary formations that have been capped by tertiary volcanics. Near Telluride, the uplifting that accompanied the volcanic eruptions caused local warping and folding of the older sedimentary beds. As magma rose towards the ground surface, some migrated through the deeper fractures in the sedimentary beds forming a network of dikes and sills. Some of the faults were injected with mineralized fluids that formed the gold and silver veins that made the area a rich mining district.

In the many hundreds of thousands of years since the dikes were formed, much of the overlying deposits of sedimentary rock have been weathered and stripped away by erosion, landslides, and glaciation to create the dramatic present landscape. There have been no major landslides or other large-scale mass movements since the end of the last glacial period.

There are no active faults known to exist in the Telluride area. According to the Uniform Building Code, southwestern Colorado is in Seismic Risk Zone 1 where distant earthquakes would be expected to cause only minor damage to structures with fundamental periods of vibration greater than 1.0 seconds. The structure planned for this property will not fall into this category.

Based upon the area's general 1980 geologic study by Lincoln De Vore, the material deposited on the mountain on the west half of Lot 150 have been classified as Mancos Shale (Cretaceous) and the east half of the lot have been classified as Recent (Quaternary) Landslide material. This would indicate that the Phase 1 duplex is on more recent

landslide debris while Phase 2 is on Mancos Shale. Observations of the subsurface conditions were only made at the Phase 1 site as requested by Mr. Meeks, and the soil and rock types observed there support this classification of mixed clays/shales overlying Mancos Shale bedrock. Both test pits indicated about 5 to 6 feet of mixed soils, indicative of landslide material overlying weathered shale and increasingly formational Mancos Shale bedrock.



## Soils

The two test pits were excavated in the proximity of the footprint of the home site. Test Pit #1 was excavated along the west edge of the building site and Test Pit #2 was excavated along the east edge of the building site (see attached site plan and soil logs).

The soils encountered with the excavation of Test Pit #1 consisted of almost a foot of organic, silty loam topsoil. With the native grass cover, there is not excessive organic buildup in this surface layer. Below the topsoil is about 4.5 feet of a highly fractured shale with distinctive clay lenses randomly scattered throughout. An undisturbed drive sample was taken in this pit at a depth of 4 feet in a large clay lens. This clay is dark brown with red/orange weathered sandstone pebbles. When tested for resistance to penetration, the clay soil demonstrated a resistance to penetration of 2.5 tons per square foot (tsf) and a resistance to shear stress of 1.0 tsf. A sample of this material was transported to our lab and tested for swell and consolidation (see sample "BV" on Swell/Consolidation Test graph). At its natural moisture content (16.81%), the soil density is 108.26 pounds per cubic foot (pcf). In the presence of water and a static load of 100 psf, the sample swelled a minimal amount (0.15%). The sample was progressively loaded until a total of 2,000 psf was achieved. At this load, the total consolidation of the sample was 2.86%. The final moisture content of the sample was 19.80% with a density of 113.53 pcf.

In Test Pit #1, at a depth of about 5 feet below existing grade, water was seeping into the excavated pit from atop the clay. Below this, until a depth of 12 feet, was a uniform layer of highly fractured shale. This is formational Mancos shale in a slightly weathered state. At a depth of 12 feet, the shale became much harder. This rock was less fractured than the overlying 7 feet of shale and it became "tighter" and quite dense. Excavation was terminated at 14 feet.

The soils encountered with the excavation of Test Pit #2 consisted of 8-12 inches of organic, silty loam topsoil. With the native grass cover, there is not excessive organic buildup in this surface layer. Below the topsoil is about 2.0 feet of a sandy clay underlain by almost 2.0 feet of highly fractured shale. An undisturbed drive sample was taken in this pit at a depth of 4 feet within the fractured shale layer. A sample of this material was transported to our lab and tested for swell and consolidation (see sample "KP" on Swell/Consolidation Test graph). At its natural moisture content (17.74%), the soil density is 98.60 pounds per cubic foot (pcf). In the presence of water and a static load of 100 psf, the sample swelled a minimal amount (0.02%). The sample was progressively loaded until a total of 2,000 psf was achieved. At this load, the total consolidation of the sample was 3.04%. The final moisture content of the sample was 21.80% with a density of 104.31 pcf.

At a depth of 5 feet in Test Pit #2 there was a lens of yellowish-brown clay. Below this was another 2.5 feet of highly fractured shale which was a little tighter/denser than the shale encountered at 3-5 feet. This is formational Mancos Shale in a slightly weathered



state. This material is hard yet friable when stressed/bent. From 8 to 12 feet, the shale became denser with depth. Excavation was terminated at 12 feet.

Based upon our analysis and experience with similar conditions in the Telluride area, the following soil design parameters are offered:

Allowable bearing capacity	2000 psf
Active earth pressure	42 pcf*
Passive earth pressure	275 pcf*
At rest earth pressure	61 pcf*
Coefficient of friction	0.28**

\*equivalent fluid pressure

\*\*Concrete on soil

These values are based upon the material encountered within our test pits. Appropriate safety factors and loadings related to sloping backfill are not included in these values and should be considered in the design phase. Imported material will have different fluid equivalent values and if used for backfill situations, should be separately evaluated for basement or retaining wall design.

## **CONCLUSIONS AND RECOMMENDATIONS**

Based upon our site inspection and the results of the shallow soil exploration, it appears that the site is suited for development of the multi-story duplex planned. The foundation should extend into the highly fractured formational Mancos shale at the relatively shallow depths indicated herein. This can be accomplished with a spread footing. The soil conditions are suited for the design of a framed floor and a crawl space or slab-on-grade floor system. The following recommendations are offered to enhance the long-term stability of the construction project.

- ◆ As much as practical, the native vegetation on the property should be maintained, to provide continued slope stability and erosion control. Additional shrubs and trees can be added to enhance slope stability and provide privacy.
- ◆ In order to provide a uniform bearing surface for spread footings, we recommend that the footing excavations extend into the dense fractured formational shales that we encountered at about six (6) feet below finished grade. If desired, we will be glad to



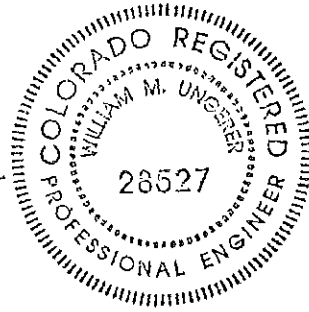
observe the excavations at the time of foundation preparation to advise of suitable conditions.

- ◆ The disturbed excavation should be “proof-rolled” using jumping-jack type soil consolidation equipment. Soft or yielding spots should be consolidated using the same equipment so as to create a uniformly dense founding surface for the construction of the spread footings and stem walls.
- ◆ The applied soil loads from footings to soil should not exceed 2000 psf and the loads should be balanced to within  $\pm 500$  pounds (dead load plus 1/2 live load).
- ◆ The exterior foundation should extend at least 48 inches below finished grade to protect against frost damage.
- ◆ The footing/stemwall assembly should be designed to clear span a distance of at least 10 feet.
- ◆ If a concrete slab floor system is used, the soil beneath the slab should be excavated to grade and all organic material and areas of soft or yielding soil removed. All slabs should be placed upon fill of at least 4 inches thick (3/4 inch minus washed rock is ideal). If any fill is required, either as backfill against stem walls or in low places, the native soil should not be used. Suitable structural material should be imported to the site.
- ◆ Exterior concrete flatwork should be designed and constructed so that it drains freely away from the structure. If fill is needed, it should consist of gravelly soil free of clay placed in 6-inch lifts and compacted to 90% of Standard Proctor Density.
- ◆ Site drainage should be controlled so that surface water is removed from the site and not allowed to accumulate or stand anywhere near the building foundation either during or after completion of construction. This includes water from landscaped areas, patios, decks, and roofs. Drainage plans should insure that snow melt and rain runoff are conveyed around the building and safely away from the structure.
- ◆ Foundation drains should be included as a part of the foundation system. Subsurface water should be intercepted at the soil/basement wall interface and conveyed to a location well below the footprint of the building.

If any soils or site conditions are encountered during excavation that differ from the soils and site conditions described herein, we should be called immediately and construction stopped until the situation has been evaluated. Construction should be resumed only when remedies or design adjustments, as necessary, have been prescribed.



Respectfully Submitted,  
June 9, 1998



William M. Ungerer, P.E.

WMU/lbh

Enclosures: Site Plan, Soil Logs, Swell/Consolidation test graphs

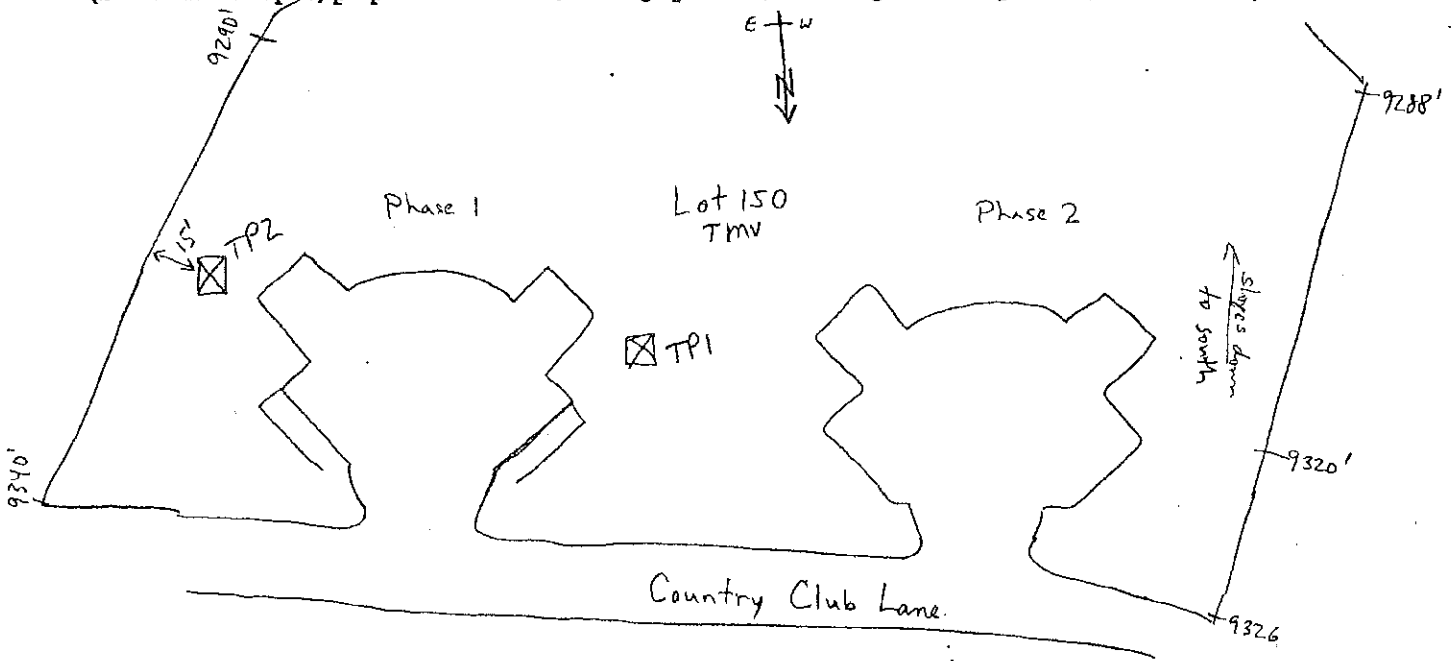


FIELD FORM

Location: Lot 150 Tmv Client: Don Meeks Project # 98154  
Excavation Company/Contact: Williams Date: 5/14/98  
Other notes: field inspection by BU. Pit 1+2 of 2

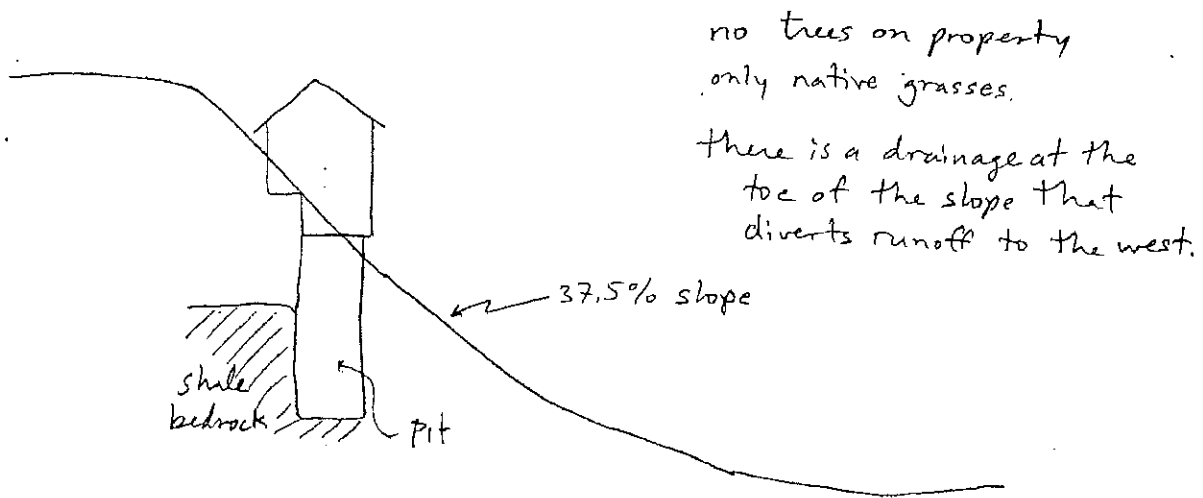
A. Overhead Site Map:

(note location of pits, proposed foundation, drainage patterns, roads, significant vegetation, other features)



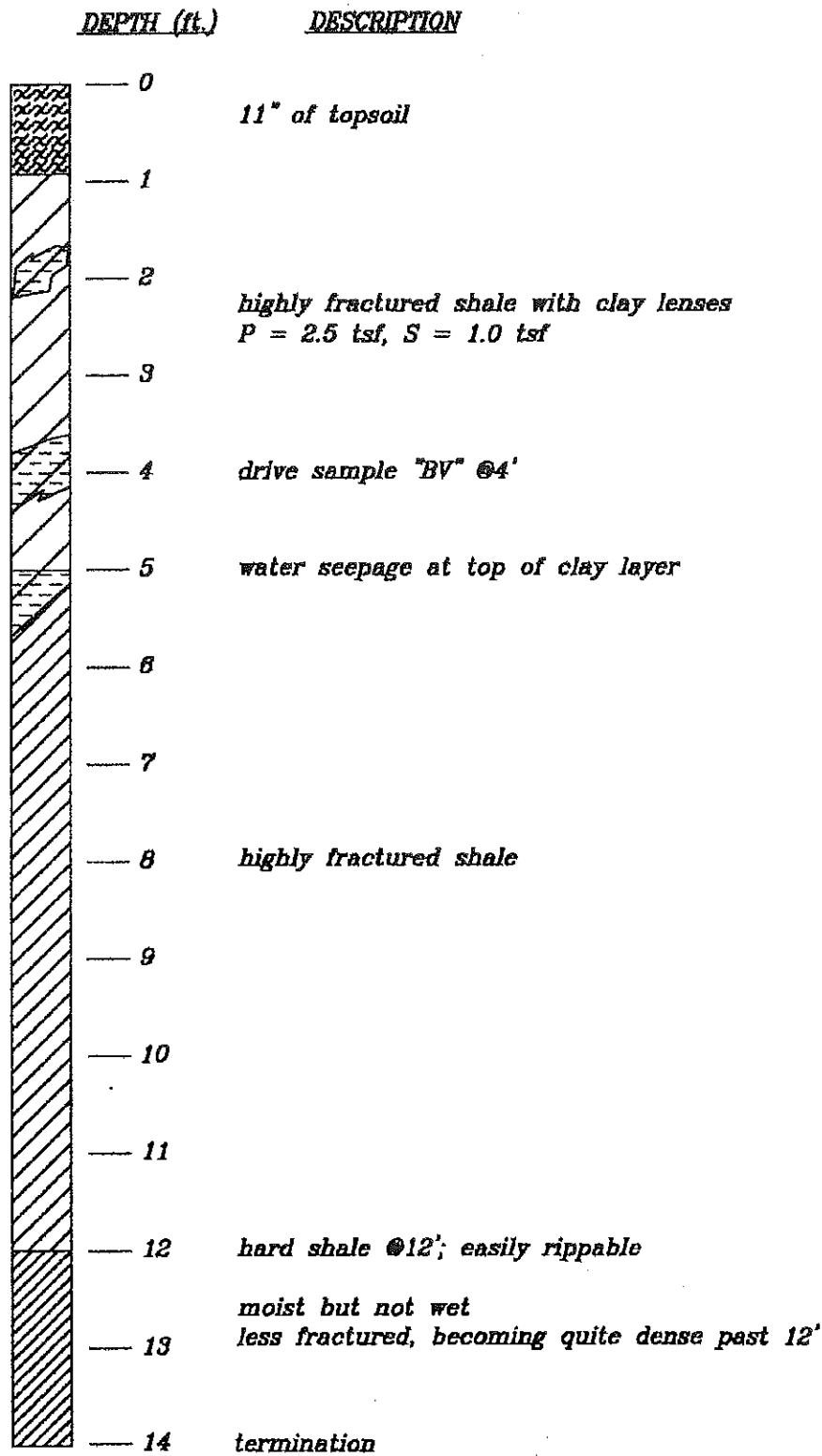
B. Cross-Section Site Map:

(Note slope above/below site, drainage patterns, location of pits, other features)





# SOIL LOG TEST PIT #1



<b>DRAWING NUMBER</b>  <b>1</b>  OF 2	Field Testing
	H. Ungerer
	Lab/Drafting
	L. Hauptmann
	DATE
	5/14/88

**Don Meeks**  
 Lot 150  
 Telluride Mtn. Village

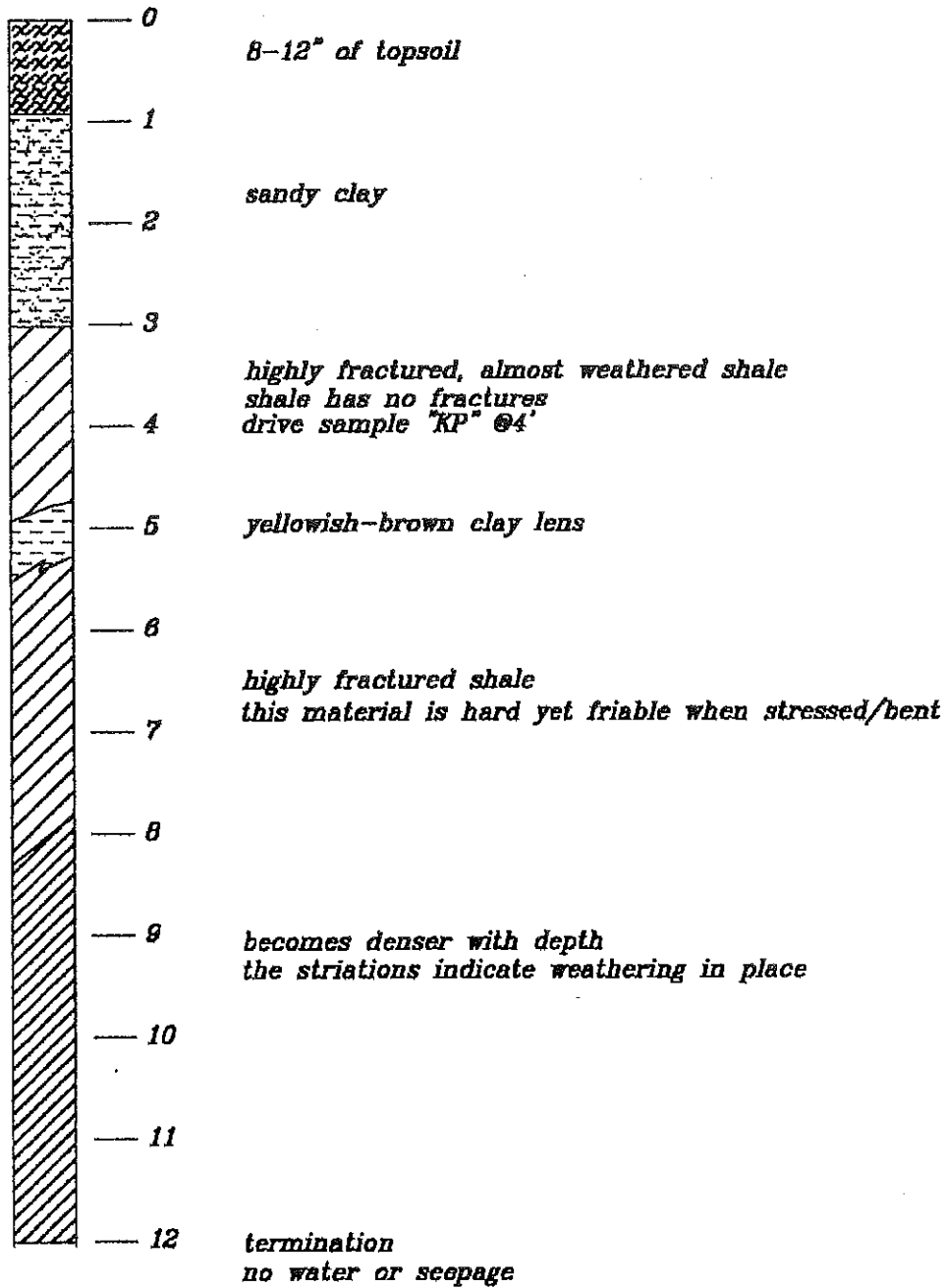
BUCKHORN
GEOTECH

Civil, Structural & Geotechnical Engineers  
 222 South Park Ave. Montrose, Colorado 81401  
 970-248-8838 Fax No. 970-248-0845



## SOIL LOG TEST PIT #2

DEPTH (ft.)      DESCRIPTION



DRAWING NUMBER  <b>2</b>  OF 2	Field Testing	B. Ungerer
	Lab/Drafting	L. Hauptmann
	DATE	5/14/88

*Don Meeks*  
Lot 150  
Telluride Mtn. Village

**BUCKHORN GEOTECH**

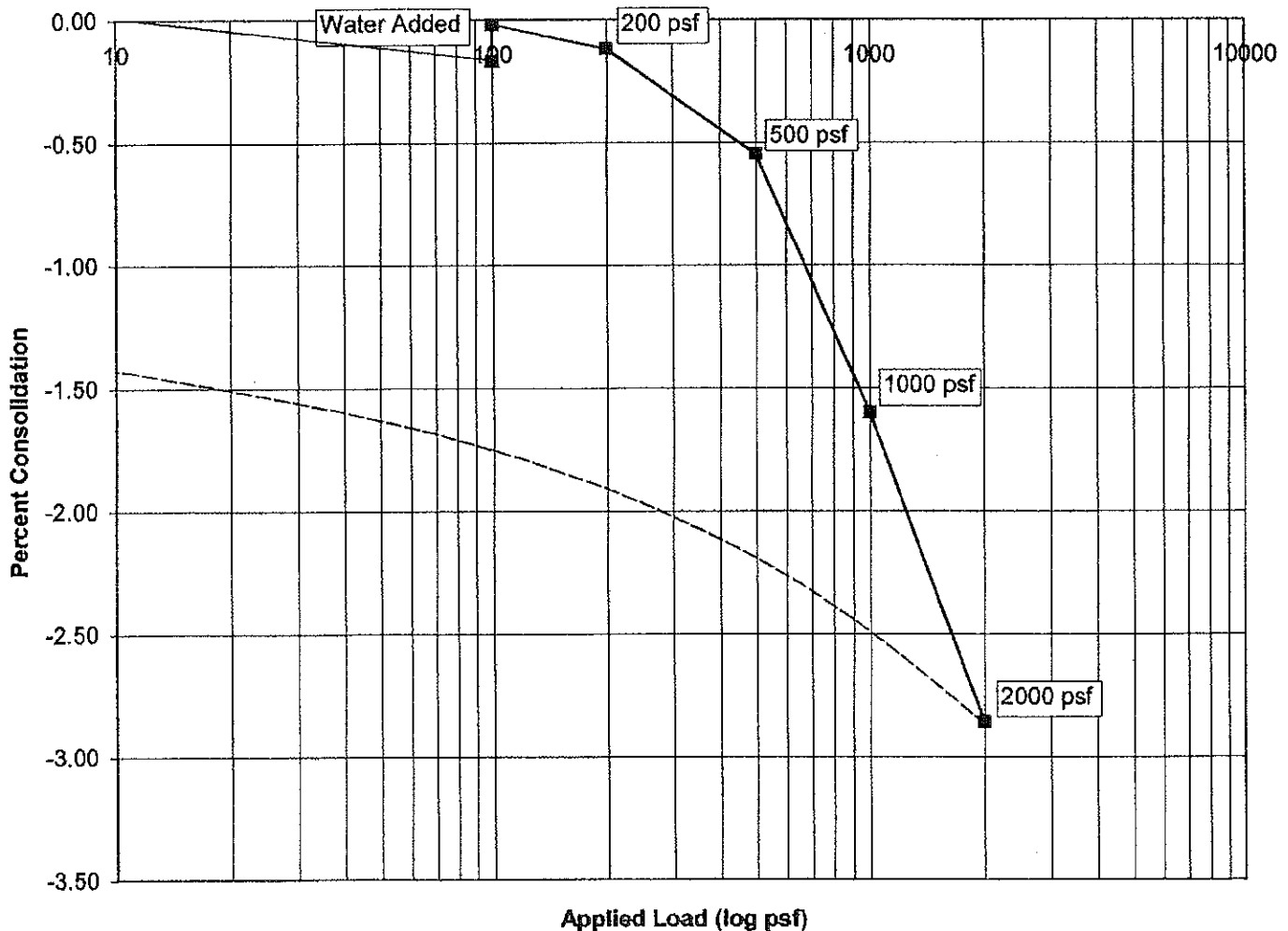
Civil, Structural & Geotechnical Engineers  
222 South Park Ave. Montrose, Colorado 81401  
870-248-8828 Fax. No. 870-248-0248



Project:	Meeks	
Location:	Lot 150 Telluride Mtn. Village	
Job #	98154	Date: 5/26/98

Initial <swell> (Due to water) = 0.15 %  
 Percent <Consolidation> (Total movement due to water and 2000 psf Load) = 2.86 %  
 Drill Hole No. TP1 @4' Sample No. BV  
 Sample Description dark brown clay with red/orange sandstone pieces  
 Initial Moisture Content 16.81 % Final Moisture Content 19.80 %  
 Initial Density 108.26 lb/cu. ft Final Density 113.53 lb/cu. ft

**Swell/Consolidation Test**  
 ASTM D2435

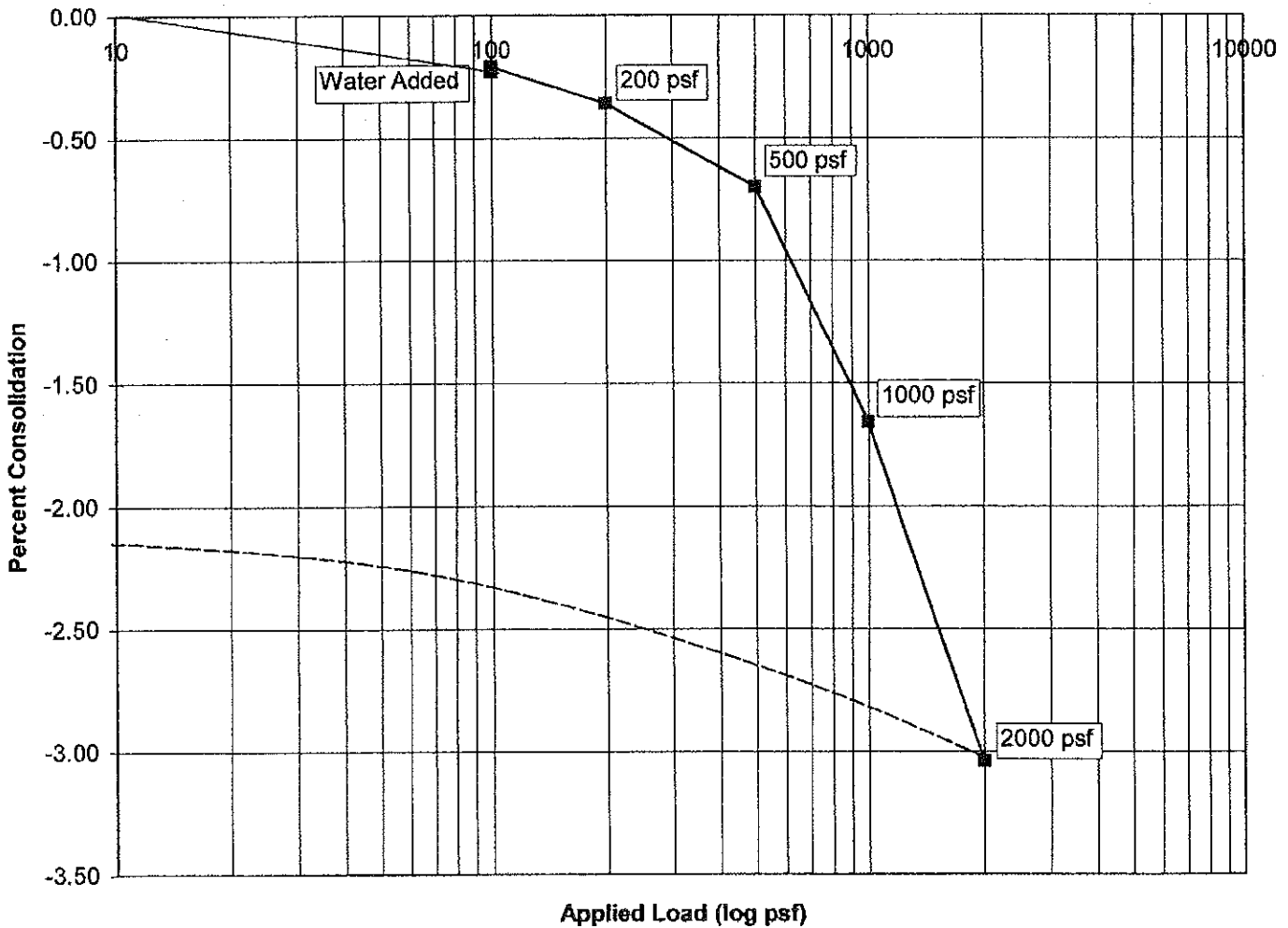




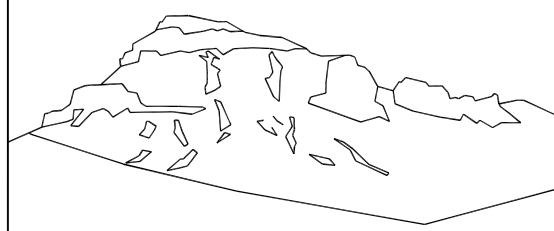
Project:	Meeks	
Location:	Lot 150 Telluride Mtn. Village	
Job #	98154	Date: 5/26/98

Initial <swell> (Due to water) = 0.02 %  
 Percent <Consolidation> (Total movement due to water and 2000 psf Load) = 3.04 %  
 Drill Hole No. TP2 @4' Sample No. KP  
 Sample Description black, shaley  
 Initial Moisture Content 17.74 % Final Moisture Content 21.80 %  
 Initial Density 98.60 lb/cu. ft Final Density 104.31 lb/cu. ft

**Swell/Consolidation Test**  
 ASTM D2435







Uncompahgre Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

SUBMITTAL 2018-04-09

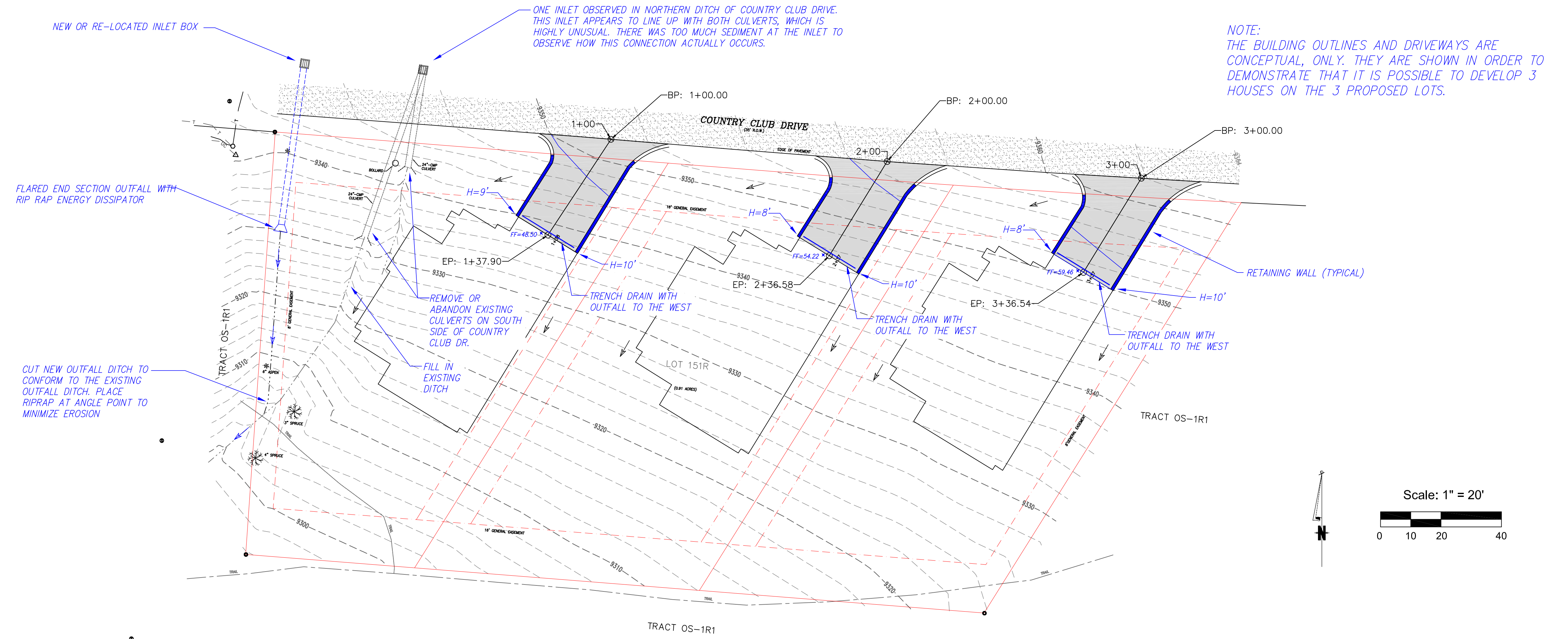
Lot 151R  
Country Club Drive  
Mtn. Village, CO

NOT FOR CONSTRUCTION

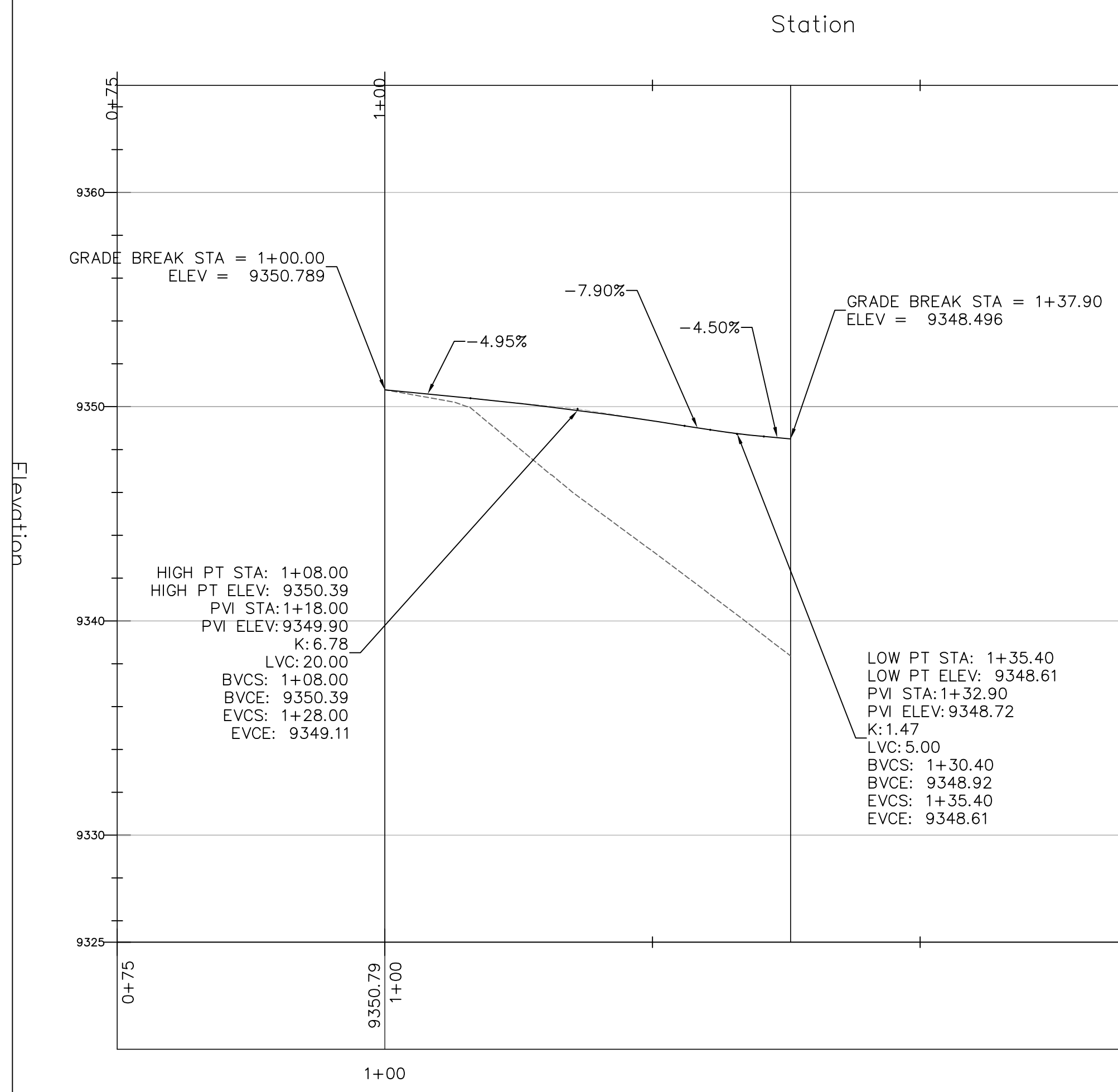
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading and Drainage Plan  
with  
Driveway Profiles

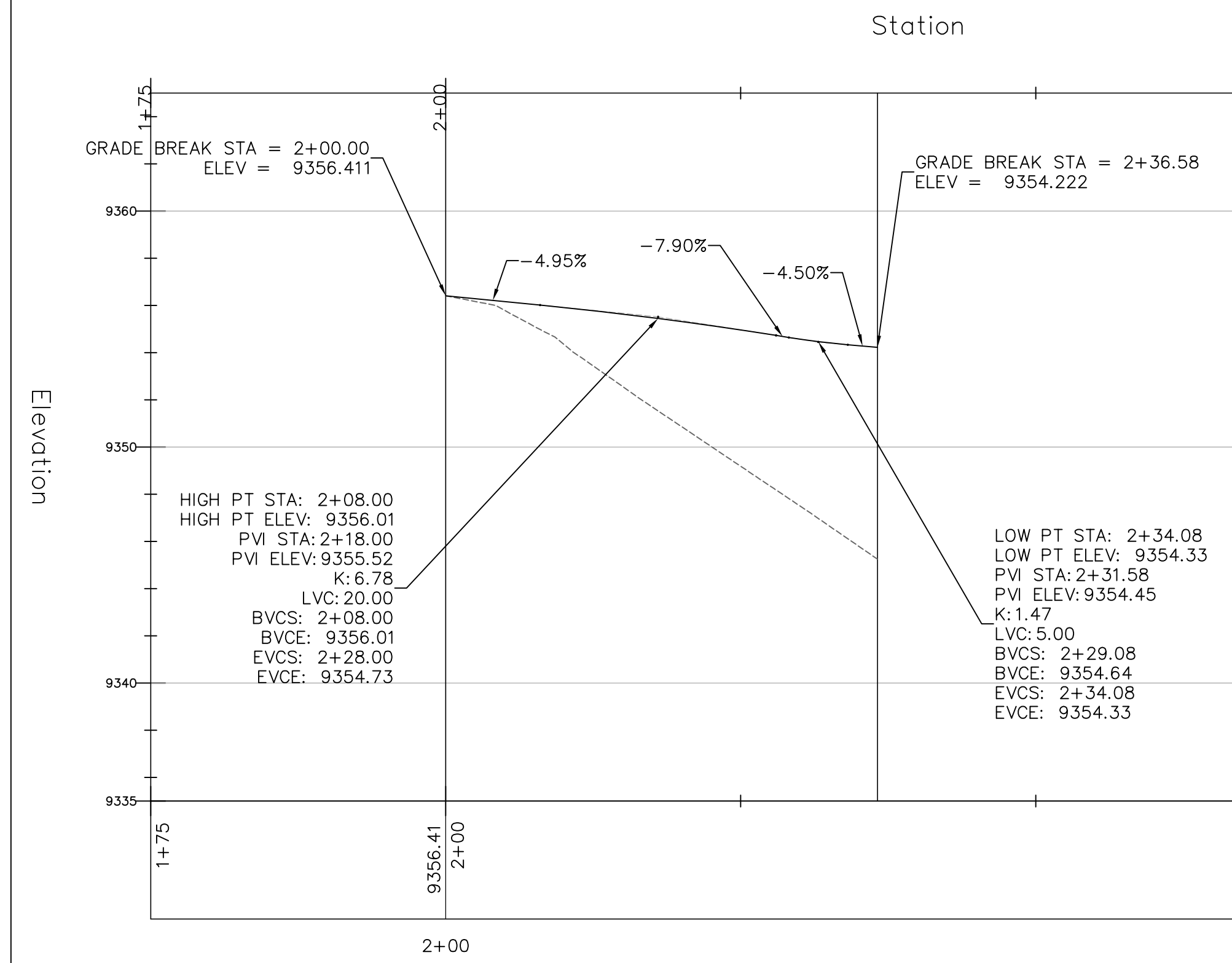
C1



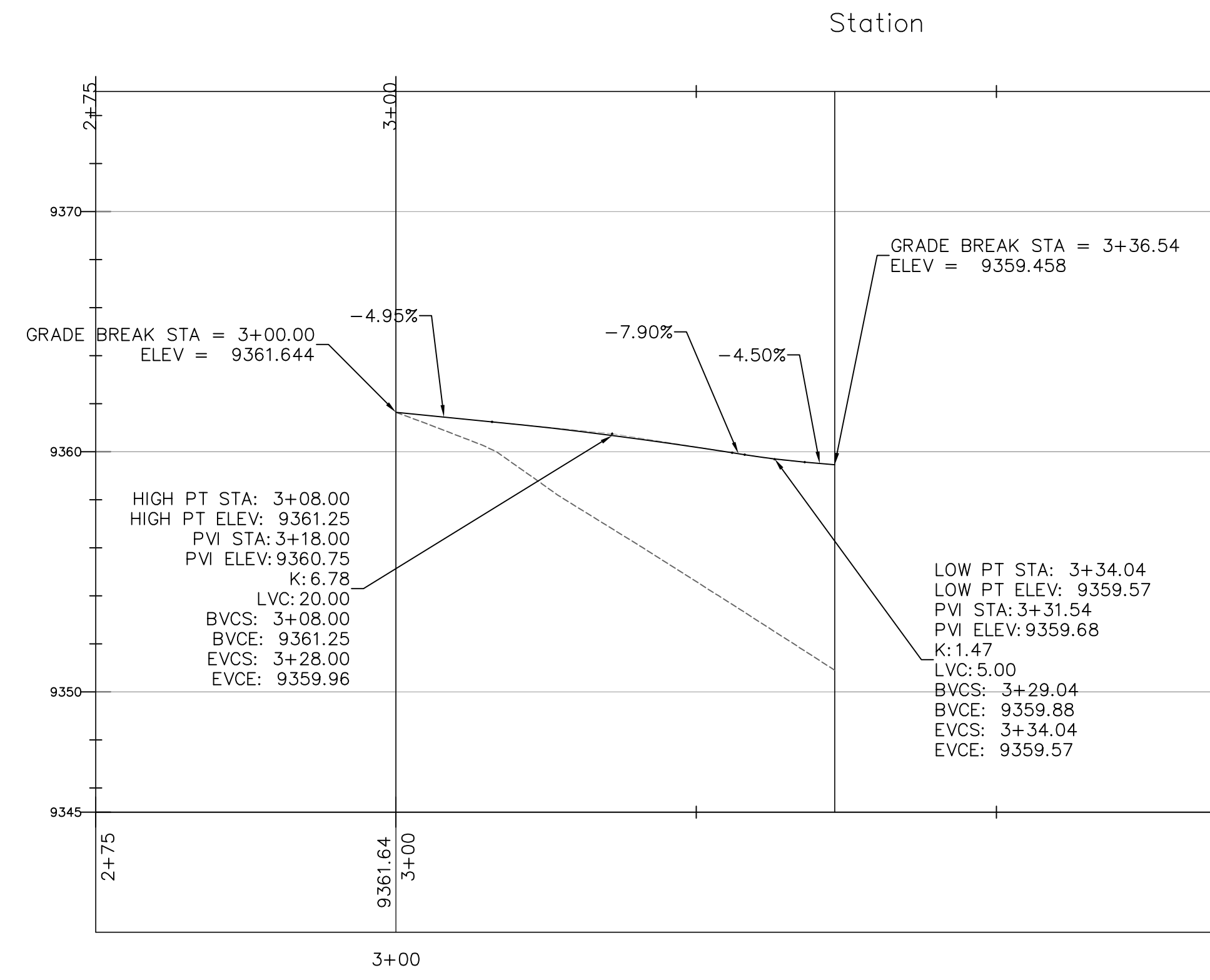
West Driveway Profile



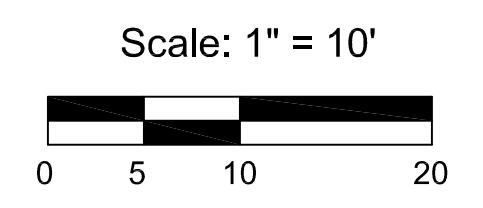
Middle Driveway Profile



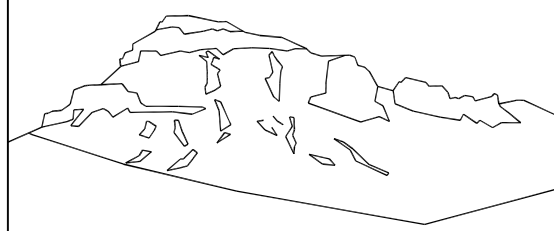
East Driveway Profile



All 3 Profiles are 1"=10' with 2x Vertical Exaggeration







Uncompahgre Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

SUBMITTAL 2018-04-09

Lot 151R  
Country Club Drive  
Mtn. Village, CO

NOT FOR CONSTRUCTION

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utility Plan

C2

APPROXIMATE TRANSFORMER LOCATION (NOT LOCATED). CONCEPTUALLY, WESTERN TWO SERVICES WILL FEED FROM THIS EXISTING TRANSFORMER (TOO FAR AWAY FOR THE MOST EASTERN LOT). VERIFY WITH SMPA THAT THE SERVICE LOADS CAN BE ATTAINED WITH EXISTING TRANSFORMER. AN UPGRADE MAY BE NECESSARY.

EXISTING GAS MAIN. ALL SERVICES SHALL TAP DIRECTLY FROM THIS MAIN. NO LIVE TAP IS ALLOWED UNTIL AFTER THE STRUCTURE IS BUILT

APPROXIMATE TRANSFORMER LOCATION (NOT LOCATED). CONCEPTUALLY, THE SERVICE FOR THE EASTERN LOT WILL COME FROM THIS TRANSFORMER. VERIFY WITH SMPA THAT THE SERVICE LOAD CAN BE ATTAINED WITH EXISTING TRANSFORMER. AN UPGRADE MAY BE NECESSARY.

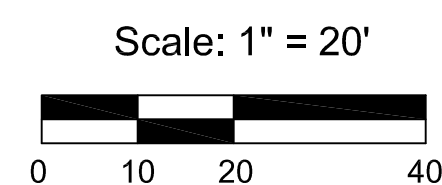
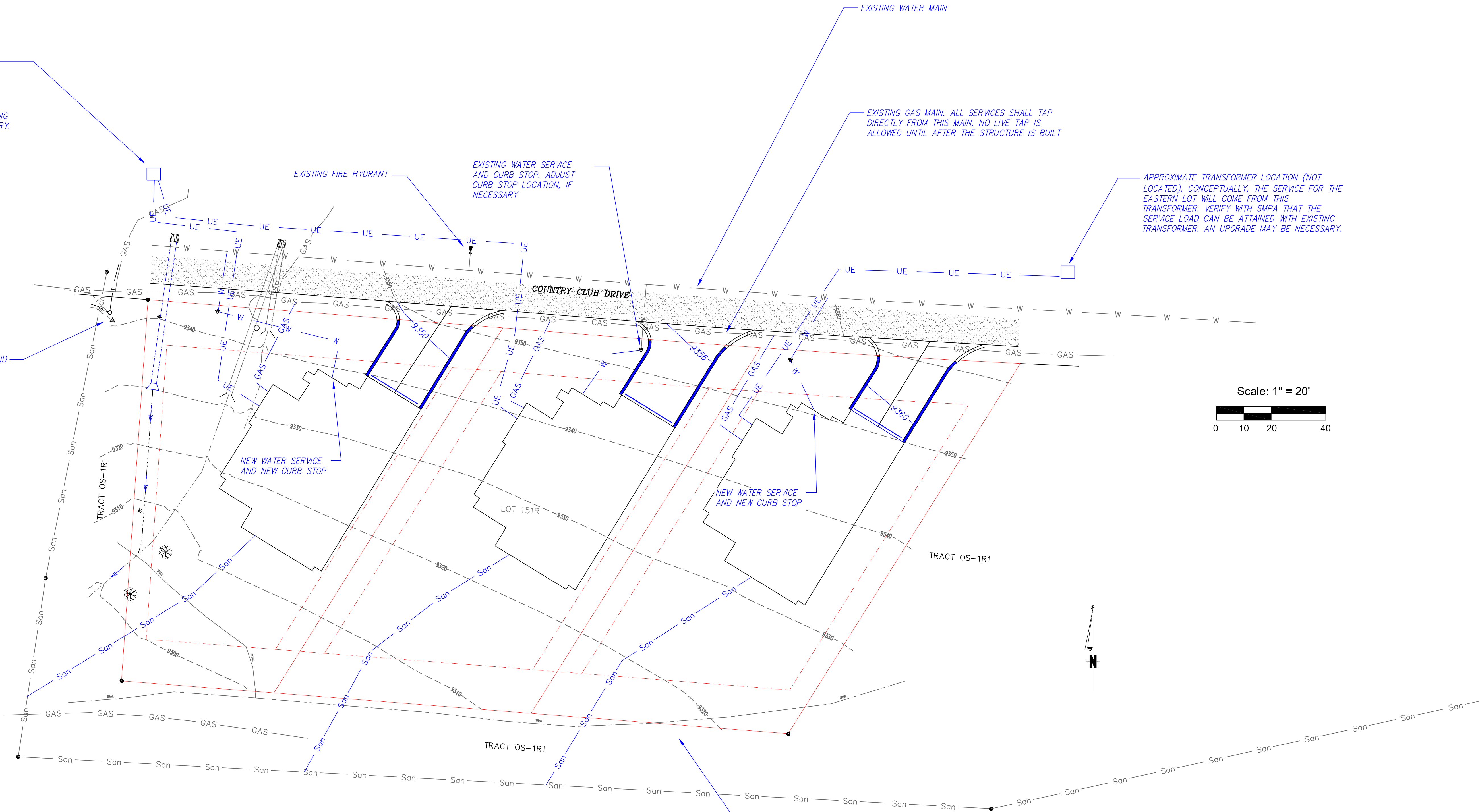
EXISTING WATER SERVICE AND CURB STOP. ADJUST CURB STOP LOCATION, IF NECESSARY

EXISTING PHONE AND CATV PEDESTALS

NEW WATER SERVICE AND NEW CURB STOP

NEW WATER SERVICE AND NEW CURB STOP

TAP 4" SDR-35 SEWER SERVICES FROM EXISTING MAIN INTO LOT LINE



UTILITY NOTES:

1. THE BUILDING OUTLINES SHOWN ARE NOT NECESSARILY THE BUILDING OUTLINES THAT WILL BE CONSTRUCTED. THEY ARE SHOWN ONLY AS A GUIDE FOR UTILITY PLACEMENT.
2. SANITARY SEWER SERVICES AND WATER SERVICES ARE SHOWN TO THE BUILDING OUTLINE ALTHOUGH IT IS EXPECTED THAT THE SERVICES WILL ONLY BE STUBBED INTO THE LOTS AS PART OF THE SUBDIVISION.
3. GAS SERVICES ARE SHOWN, BUT NO LIVE GAS TAPS ARE ALLOWED UNTIL THE METER CAN BE SET ON THE CONSTRUCTED HOUSE. A WILL SERVE LETTER WILL BE OBTAINED FROM BLACK HILLS GAS TO SHOW THAT GAS WILL BE ABLE TO BE PROVIDED TO THE PROPOSED LOTS.
4. UNDERGROUND POWER IS ALSO SHOWN, BUT WILL NEED TO BE FURTHER DEVELOPED DUE TO THE LIMITATIONS WITH THE NUMBER OF 90 DEGREE BENDS IN CONDUIT. A WILL SERVE LETTER WILL BE OBTAINED FROM SMPA TO SHOW THAT POWER WILL BE ABLE TO BE PROVIDED TO THE PROPOSED LOTS.
5. POWER AND PHONE ARE NOT SHOWN AT THIS TIME. THOSE SERVICES ARE NOT CRITICAL, BUT THEY WILL BE FURTHER DEFINED. THE CATV WILL BE COORDINATED WITH TOWN OF MOUNTAIN VILLAGE (THE PROVIDER) AND THE PHONE WILL BE COORDINATED WITH CENTURY LINK.



**ANCHOR MARIEMONT LIMITED PARTNERSHIP**  
**128 East 2<sup>nd</sup> Street**  
**Covington, KY 41011**

May 18, 2018

Mountain Village Design Review Board  
Mountain Village Town Council  
c/o Mr. Sam Starr  
Mountain Village Planning & Development Services Dept.  
455 Mountain Village Blvd., Suite A  
Mountain Village, CO 81435

**VIA Email [sstarr@mtnvillage.org](mailto:sstarr@mtnvillage.org)**

**Re: Lot 151R, Town of MV Filing No.1**

Dear Members of the Design Review Board and Town Council:

Our Limited Partnership owns Lot 143D, one of the single family residences directly across from Lot 151R. While we support the project concept of converting multi-family residences to single family, we want to make sure that the residential character of our portion of Country Club Drive is not ignored, and that the Mountain Village amenity known as Big Billie's Trail is maintained to the manner it was intended when the Open Space was originally platted.

In 2011, the three separate lots were re-platted to one multifamily lot (Lot 151R). As part of that re-plat, a significant Building Setback on the east side of the property was vacated. The Building Setback was created to protect the open space that provides access to the Big Billie's Trail. Upon vacating the Building Setback, the General Easement along the eastern boundary of Lot 151R became the sole remaining buffer between the trail and development on Lot 151R. Additionally, the Open Space lot that provides the access to Big Billie's was further reduced to the east when the "Rosewood" plan was approved (the OS-1R-1 was reconfigured to allow building to be very close to the trail).

Now, as part of the pending Lot 151R application to reestablish three separate lots, the applicant requests that the General Easement of 16' which exists throughout the MV be reduced to 8' on the eastern boundary of Lot 151R. We see this as "creep" of the allowable building envelope towards the Open Space and the trail. There is no valid reason to allow this. We strenuously object to any reduction of the General Easement.

The trail system throughout the Mountain Village is a vital amenity. Any encroachment on the trails in any location would be a disservice to all Mountain Village residents and our many visitors.

Please feel free to contact me if you have any questions.

Sincerely,

**ANCHOR MARIEMONT LTD. PARTNERSHIP**

By:   
\_\_\_\_\_  
Douglas S. Hynden

Cc: Nicole Pieterse, Esq., via email: [nicole.rplaw@gmail.com](mailto:nicole.rplaw@gmail.com)  
Michelle Haynes, Director of Community Development via e-mail: [mhaynes@mtnvillage.org](mailto:mhaynes@mtnvillage.org)



**PLANNING AND DEVELOPMENT SERVICES**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

---

**TO:** Design Review Board

**FROM:** Sam Starr, Town Planner

**FOR:** June 7, 2018 DRB Meeting

**DATE:** May 25, 2018

**RE:** A recommendation to Town Council Regarding a Conditional Use Permit to allow the placement of a ropes course on OS-3U Active Open Space

---

**PROJECT GEOGRAPHY**

**Legal Description:** OS-3U, Telluride Mountain Village  
**Address:** No address assigned to Active Open Space  
**Applicant/Agent:** Telluride Ski and Golf, LLC  
**Owner:** Telluride Ski Resort  
**Zone District:** Village Center  
**Zoning Designation:** Active Open Space  
**Existing Use:** Active Open Space  
**Proposed Use:** Active Open Space  
**Adjacent Land Uses:**

- **North:** Active Open Space, Village Center
- **South:** Active Open Space, Ski Area
- **East:** Active Open Space, Single Family
- **West:** Active Open Space, Village Center

**ATTACHMENTS**

- Exhibit A: CUP Application and Applicant Narrative
- Exhibit B: Ropes Course Photo
- Exhibit C: Proposed Resolution

**BACKGROUND**

Gravity Play Entertainment, LLC (Gravity Play) has been operating a bungee trampoline, sluice and ropes course business on Heritage Plaza for the past eight years. Owing to financial circumstance, Gravity Play will cease operations of all activities in the plaza. Telluride Ski and Golf, LLC (TSG) has purchased the equipment from Gravity Play, and seeks to resume the operation of the mining sluice, trampoline and ropes course. This action will require a new Conditional Use permit on account of the change in ownership.



**CRITERIA AND ANALYSIS**

In approving the Application, the DRB must find the request meets the conditional use permit criteria contained in CDC Section 17.4.14(D). The criteria are:

- a) The proposed conditional use is in general conformity with the policies of the principles, policies and actions set forth in the Comprehensive Plan;
  - b) The proposed conditional use is in harmony and compatible with surrounding land uses and the neighborhood and will not create a substantial adverse impact on adjacent properties or on services and infrastructure;
  - c) The design, development and operation of the proposed conditional use shall not constitute a substantial physical hazard to the neighborhood, public facilities, infrastructure or open space;
  - d) The design, development and operation of the proposed conditional use shall not have significant adverse effect to the surrounding property owners and uses;
  - e) The design, development and operation of the proposed conditional use shall not have a significant adverse effect on open space or the purposes of the facilities owned by the Town;
  - f) The design, development and operation of the proposed conditional use shall minimize adverse environmental and visual impacts to the extent possible considering the nature of the proposed conditional use;
  - g) The design, development and operation of the proposed conditional use shall provide adequate infrastructure;
  - h) The proposed conditional use does not potentially damage or contaminate any public, private, residential or agricultural water supply source; and
  - i) The proposed conditional use permit meets all applicable Town regulations and standards.
2. It shall be the burden of the applicant to demonstrate that submittal material and the proposed development substantially comply with the conditional use permit review criteria.

The ropes course has been a long, ongoing attraction in the town. Moreover, such uses are common in ski resort communities to provide attractions in summer months. This Conditional Use Permit is a continuation of existing activities, and also meets all the required conditions laid forth in the Community Development Code.

**STAFF RECOMMENDATION**

The Design Review Board recommends the Town Council approve a Conditional Use Permit for the operation of the Ropes Course on Open Space Parcel OS-3U with the following conditions:

- 1. The Applicant shall maintain adequate bike traffic access from the bottom of the bike park to the Village Center plazas with either stations or hard fence to segregate bikers using the bike park, and users and spectators of the ropes course; the design of the stations or hard fence shall be reviewed by Planning Divisions Staff prior to installation.
- 2. The Applicant shall secure the structure, including, without limitation, the pool, ladders, and other elements that might attract public access when closed.
- 3. In the event of water limitations or restrictions, the Applicant shall close the pool portion of the ropes course structure.
- 4. The Applicant shall re-surface all disturbed areas with landscaping and provide seating for spectators.

5. Applicant shall provide an erosion control and drainage plan to ensure protection of the wetlands in the surrounding area.
6. The Applicant shall revise the site and grading plan to have appropriate finished grade material, benches, and simple landscaping to improve the appearance of the ropes course, site grading, and the existing condition of the site.
7. This Conditional Use Permit shall be valid for a period of three (3) years with an annual review by the Planning Division staff, with the Applicant responding to any valid issues as they arise during the operation or the annual review.



Carson Taylor  
Director – Skier Services  
Telluride Ski & Golf, LLC  
April 23, 2018

Community Development Department  
Planning Division  
Town of Mountain Village  
455 Mountain Village Blvd  
Mountain Village, CO 81435

Dear Community Development Department:

The Telluride Adventure Center offers a multitude of easily accessible activities for spring, summer, and fall visitors alike. Starting this summer (2018) we have taken ownership of the historically offered adventure activities in Heritage Plaza and intend on operating the ropes course, mining sluice, and bungee trampoline with the service and professionalism standards set forth by the Telluride Ski & Golf Resort.

Our application request that all activities remain in their historical locations (see attached) as we continue to work hand in hand with AE COM and the Village Center Sub Area Committee on a long-term solution for the location(s) of the various summer activities. The Adventure Center is the natural business unit within Telluride Ski and Golf to oversee the sales, fulfillment, and operations of the summer activities per our 3-year tenure with the previous operator having already managed all aspects of the marketing, sales, fulfillment, and liability capture for all participating guests.

The primary goal in taking ownership of these summer activities is to foster a vibrant atmosphere in TMV's Heritage Plaza and further support the family -oriented activity demands of our summer guest demographic. The availability of these activities in line of sight and short walking distance from the Mountain Village Gondola Plaza draws ideal volumes of summer guests to businesses in the core, which in turn increases sales tax revenues for TMV and sales revenues for TMV merchants. We believe that maintaining the historical locations of the ropes course, mining sluice, and bungee trampoline summer activities in Heritage Plaza promote economic, social, cultural, and entertainment values that are otherwise being neglected.

For all activities, we intend to deploy a similar approach to marketing the summer, adventure activities as we do with our winter lift access segments i.e. bi-weekly e-newsletter, geo-targeted social media ad campaigns, direct mail, summer tourism guide (TTB), etc... We are also working closely with Bill Kight at the TMV to provide as much synergy in the marketing and communication efforts for all summer activities available at the Adventure Center.

Our operational objectives detail a June 11, 2018 opening, with a 7 day operational schedule (10am – 6pm) through September 3, 2018 (Labor Day). After Labor Day, we will remain open as business demands see it fit - with a potential weekend only operational schedule as demand dissipates. Signage for each activity is based from historical standards utilizing existing resources from previous years with all sales stemming from the Telluride Adventure Center located beneath the Mountain Village Gondola Plaza in what is the winter's lift ticket, pass, and ski school office.

Carson Taylor  
Director – Skier Services



# CONDITIONAL USE PERMIT APPLICATION

**PLANNING & DEVELOPMENT SERVICES**  
 455 Mountain Village Blvd. Suite A  
 Mountain Village, CO 81435  
 970-728-1392  
 970-728-4342 Fax  
 cd@mtnvillage.org

CONDIONAL USE PERMIT APPLICATION			
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DESCRIPTION OF REQUEST			





Area: 241.24 ft<sup>2</sup>  
Perimeter: 80.92 ft

7.43 ft

565

562

2.726

TOWN

697

8223.44

TSG

697

Gondola

4.493

90 ft

21.69 ft

21.90 ft

38.79 ft

Area: 858.20 ft<sup>2</sup>  
Perimeter: 122.39 ft

7013.16

TSG

TSG



**RESOLUTION OF THE TOWN COUNCIL  
OF THE TOWN OF MOUNTAIN VILLAGE,  
MOUNTAIN VILLAGE, COLORADO  
APPROVING A CONDITIONAL USE PERMIT FOR THE INSTALLATION OF A  
TEMPORARY ROPES COURSE STRUCTURE ON ACTIVE OPEN SPACE, OS-3U**

**Resolution No. 2018-0614-\_\_\_\_\_**

- A. TSG Ski & Golf, LLC is the owner of record of real property described as Tract OS-3U, Town of Mountain Village (Owner); and
- B. The Owner has authorized Telluride Ski and Golf, LLC (Applicant) to pursue the approval of the Conditional Use Permit to allow for the installation of a temporary ropes course structure on Tract OS-3U, and the Applicant has submitted such application requesting approval of the Conditional Use Permit; and
- C. The proposed development is in compliance with the provisions of Section 14.4.14 of the Community Development Code (CDC); and
- D. The Design Review Board (DRB) considered this application, along with evidence and testimony, at a public meeting held on June 7, 2018. Upon concluding their review, the DRB voted in favor of the Conditional Use Permit and recommended approval to the Town Council subject to certain conditions as set forth in this resolution; and
- E. The Town Council considered and approved this application, along with evidence and testimony, at a public meeting held on June 14, 2018; and
- F. The public hearings referred to above were preceded by publication of public notice of such hearings on such dates and/or dates from which such hearings were continued by mailing of public notice to property owners within four hundred feet (400') of the Property, as required by the CDC; and
- G. After the public hearings referred to above, the DRB and the Town Council each individually considered the Application submittal materials, and all other relevant materials, public letters and public testimony, and approved the Application with conditions as set forth in this Resolution; and
- H. The Applicant has addressed, or agreed to address, all conditions of approval of the Application imposed by Town Council based upon a recommendation for approval by the DRB; and
- I. The Town Council finds the Application meets the Conditional Use Permit requirements contained in CDC Section 17.4.14 as follows:
  - 1. The proposed conditional use is in general conformity with the policies of the principles, policies and actions set forth in the Comprehensive Plan;
  - 2. The proposed conditional use is in harmony and compatible with surrounding land uses and the neighborhood and will not create a substantial adverse impact on adjacent properties or on services and infrastructure;
  - 3. The design, development and operation of the proposed conditional use shall not constitute a substantial physical hazard to the neighborhood, public facilities, infrastructure or open space;



4. The design, development and operation of the proposed conditional use shall not have significant adverse effect to the surrounding property owners and uses;
5. The design, development and operation of the proposed conditional use shall not have a significant adverse effect on open space or the purposes of the facilities owned by the Town;
6. The design, development and operation of the proposed conditional use shall minimize adverse environmental and visual impacts to the extent possible considering the nature of the proposed conditional use;
7. The design, development and operation of the proposed conditional use shall provide adequate infrastructure;
8. The proposed conditional use does not potentially damage or contaminate any public, private, residential or agricultural water supply source; and
9. The proposed conditional use permit meets all applicable Town regulations and standards.

**NOW, THEREFORE, BE IT RESOLVED THAT THE TOWN COUNCIL HEREBY APPROVES A CONDITIONAL USE PERMIT TO ALLOW FOR THE INSTALLATION OF A TEMPORARY ROPES COURSE STRUCTURE ON OS-3U AND AUTHORIZES THE MAYOR TO SIGN THE RESOLUTION SUBJECT TO CONDITIONS SET FORTH IN SECTION 1 BELOW:**

1. The Applicant shall maintain adequate bike traffic access from the bottom of the bike park to the Village Center plazas by working with plaza services to explore the option of rerouting mountain bicyclists for the safety of ropes course attendees and trail users. Additional options include exploring a range of fencing materials.
2. The Applicant shall secure the structure, including, without limitation, the pool, ladders, and other elements that might attract public access when closed.
3. In the event of water limitations or restrictions, the Applicant shall close the pool portion of the ropes course structure.
4. The Applicant shall re-surface all disturbed areas with landscaping and provide seating for spectators.
5. The Applicant shall provide an erosion control and drainage plan to ensure protection of the wetlands in the surrounding area.
6. The applicant shall revise the site and grading plan to have appropriate finished grade material, benches and simple landscaping to improve the appearance of the ropes course, site grading and the existing condition of the site.
7. The Conditional Use Permit shall be valid for a period of three years (3) with an annual review by the Planning Division staff, with the applicant responding to any valid issues as they arise during operation or the annual review.
8. Pending input from future plaza plans, applicant shall remain flexible to move additional programming into Sunset Plaza and/or Telluride Conference Center Plaza.

**Be It Further Resolved** that OS-3U may be developed as submitted in accordance with Resolution NO. 2018-0614-\_\_

**Approved** by the Town Council at a public meeting June 14, 2018.

**Town of Mountain Village, Town Council**

By: \_\_\_\_\_  
Laila Benitez, Mayor

**Attest:**

By: \_\_\_\_\_  
Jackie Kennefick, Town Clerk

Approved as to Form:

\_\_\_\_\_  
James Mahoney, Assistant Town Attorney

DRAFT





**PLANNING & DEVELOPMENT SERVICES**

455 Mountain Village Boulevard, Suite A  
Mountain Village, CO 81435  
(970) 728-1392

**TO:** Design Review Board  
**FROM:** Sam Starr, Planner  
**FOR:** June 7, 2018 DRB Meeting  
**DATE:** May 25, 2018  
**RE:** A recommendation to Town Council regarding a Conditional Use Permit Application for the placement of a trampoline and mining sluice on OS-3X, Active Open Space.

---

**PROJECT GEOGRAPHY**

**Legal Description:** Open Space Parcel OS-3X  
**Address:** Heritage Plaza Mountain Village, Colorado  
**Applicant/Agent:** Telluride Ski and Golf, LLC  
**Owner:** Town of Mountain Village  
**Zoning:** Active Open Space  
**Existing Use:** public use pedestrian plaza  
**Proposed Use:** Temporary Amusement featuring a Panning Sluice and trampoline  
**Lot Area:** 2.726 acres

**Adjacent Land Uses:**

- **North:** Village Center
- **South:** Village Center
- **East:** Village Center
- **West:** Village Center

**ATTACHMENTS**

- Exhibit A: Conditional Use Permit Application & Applicant Narrative
- Exhibit B: Location Map
- Exhibit C: Sluice Photo
- Exhibit D: Quad Jumper Trampoline Photo
- Exhibit E: Proposed Conditional Use Permit Resolution

**BACKGROUND**

Gravity Play Entertainment, LLC (Gravity Play) has been operating a bungee trampoline, sluice and ropes course business on Heritage Plaza for the past eight years. Owing to financial circumstance, Gravity Play will cease operations of all activities in the plaza. Telluride Ski and Golf, LLC (TSG) has purchased the equipment from Gravity Play, and seeks to resume the operation of the mining sluice, trampoline and ropes course. This action will require a new Conditional Use permit on account of the change in ownership. The CUP requests are separated into two memos and resolutions because the sluice and trampoline are being requested on town owned property, while the ropes course is being request on TSG owned property.

**PROJECT DESCRIPTION**

Exhibit C shows the mining sluice on the south side of Heritage Plaza operating during the summer season. The amusement is a working replica of an actual mining sluice and provides guests with a hands-on educational activity. This unit is self-contained, and will have a minimal water consumption impact.

The Ropes course as featured on Exhibit D has been a long, ongoing attraction in the Town of Mountain Village. It has been used for both team building activities, and entertainment for visitors to Mountain Village. TSG proposes no changes to the ropes course, and will continue to operate this feature in the same way that Gravity Play has for the past six years. This will be featured as a separate Conditional Use Permit, as it is on Lot OS-3U

The only departure from the Gravity Play summer activities is the trampoline; TSG has purchased a new trampoline called the Quad Jumper which can be seen in Exhibit E.

**CRITERIA AND ANALYSIS**

In approving the Application, the DRB must find the request meets the conditional use permit criteria contained in CDC Section 17.4.14(D). The criteria are:

- a) The proposed conditional use is in general conformity with the policies of the principles, policies and actions set forth in the Comprehensive Plan;
- b) The proposed conditional use is in harmony and compatible with surrounding land uses and the neighborhood and will not create a substantial adverse impact on adjacent properties or on services and infrastructure;
- c) The design, development and operation of the proposed conditional use shall not constitute a substantial physical hazard to the neighborhood, public facilities, infrastructure or open space;
- d) The design, development and operation of the proposed conditional use shall not have significant adverse effect to the surrounding property owners and uses;
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- f) The design, development and operation of the proposed conditional use shall minimize adverse environmental and visual impacts to the extent possible considering the nature of the proposed conditional use;
- g) The design, development and operation of the proposed conditional use shall provide adequate infrastructure;
- h) The proposed conditional use does not potentially damage or contaminate any public, private, residential or agricultural water supply source; and
- i) The proposed conditional use permit meets all applicable Town regulations and standards.

Overall, Planning and Development Services Staff find that the operation of the mining sluice, ropes course, and trampoline have brought much needed vitality to Heritage Plaza. This Conditional Use Permit is a continuation of existing activities, and also meets all the required conditions laid forth in the Community Development Code.

**RECOMMENDATION**

The Design Review Board recommends the Town Council approve a Conditional Use Permit for the operation of the sluice and trampoline on Open Space Parcel OS-3X with the following conditions:

- 1. The Applicant shall enter into a Plaza License Agreement ("PLA") with the Town before beginning operation of the business;
- 2. The Applicant shall be required to place and operate the use as stated in their application;
- 3. The Applicant shall be required to obtain an agreement releasing, indemnifying and holding the Town harmless from any liability that may arise from the use, installation, repair and/or maintenance of the business;
- 4. The Business shall be allowed to operate generally from June 11th to August 14th between the hours of 10 am to 6 pm; Sunday through Saturday with the exception of Wednesday when operating hours shall be between the hours of 11 am to 6 pm and a Town approved sign indicating the operational hours shall be posted on site;
- 5. The Town shall have the right to temporarily relocate the Business to an alternate location within Heritage Plaza (OS-3X) if there are conflicts with festivals, special events or other uses of the plaza;
- 6. The Business must be operated in compliance with an Operation Plan submitted to and approved by the Town that described the operating, repair, maintenance and safety procedures;
- 7. The Business shall be allowed to operate under this approval for one (1) year; thereafter the use shall be reviewed and may be renewed by staff on an annual basis; and
- 8. The Applicant shall incorporate local mining history into the educational display case with collaboration with Telluride Historical Museum staff.



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DESCRIPTION OF REQUEST			





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Carson Taylor  
Director – Skier Services  
Telluride Ski & Golf, LLC  
April 23, 2018

Community Development Department  
Planning Division  
Town of Mountain Village  
455 Mountain Village Blvd  
Mountain Village, CO 81435

Dear Community Development Department:

The Telluride Adventure Center offers a multitude of easily accessible activities for spring, summer, and fall visitors alike. Starting this summer (2018) we have taken ownership of the historically offered adventure activities in Heritage Plaza and intend on operating the ropes course, mining sluice, and bungee trampoline with the service and professionalism standards set forth by the Telluride Ski & Golf Resort.

Our application request that all activities remain in their historical locations (see attached) as we continue to work hand in hand with AE COM and the Village Center Sub Area Committee on a long-term solution for the location(s) of the various summer activities. The Adventure Center is the natural business unit within Telluride Ski and Golf to oversee the sales, fulfillment, and operations of the summer activities per our 3-year tenure with the previous operator having already managed all aspects of the marketing, sales, fulfillment, and liability capture for all participating guests.

The primary goal in taking ownership of these summer activities is to foster a vibrant atmosphere in TMV's Heritage Plaza and further support the family -oriented activity demands of our summer guest demographic. The availability of these activities in line of sight and short walking distance from the Mountain Village Gondola Plaza draws ideal volumes of summer guests to businesses in the core, which in turn increases sales tax revenues for TMV and sales revenues for TMV merchants. We believe that maintaining the historical locations of the ropes course, mining sluice, and bungee trampoline summer activities in Heritage Plaza promote economic, social, cultural, and entertainment values that are otherwise being neglected.

For all activities, we intend to deploy a similar approach to marketing the summer, adventure activities as we do with our winter lift access segments i.e. bi-weekly e-newsletter, geo-targeted social media ad campaigns, direct mail, summer tourism guide (TTB), etc... We are also working closely with Bill Kight at the TMV to provide as much synergy in the marketing and communication efforts for all summer activities available at the Adventure Center.

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Carson Taylor  
Director – Skier Services





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christy sports  
your ski and board shop

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your ski and board shop

40% OFF  
SKIS, BOOTS  
& BINDINGS  
ACCESSORIES

40% OFF  
CORRECTED  
PARALLEL  
JUVENILE

TELLURIDE COFFEE

It's easy as 1-2-3 to put  
real gemstones in your hands.

1. Spread a bag of mining rough material with real gemstones from around the world.
2. Place part of the rough from the bag in a screen bottom bin.
3. Dip the bin in the slush and watch the gemstones appear as the slush settles away.







**RESOLUTION OF THE TOWN COUNCIL  
OF THE TOWN OF MOUNTAIN VILLAGE,  
MOUNTAIN VILLAGE, COLORADO  
APPROVING A CONDITIONAL USE PERMIT FOR THE INSTALLATION OF MINING  
SLUICE AND TRAMPOLINE ATTRACTIONS ON ACTIVE OPEN SPACE, OS-3X**

**Resolution No. 2018-0614-\_\_\_\_\_**

1. The Town of Mountain Village (Owner) is the owner of record of real property described as Tract OS-3X, commonly referred to as Heritage Plaza; and
2. The Owner has consented to Telluride Ski and Golf, LLC (Applicant) pursuing the approval of a Conditional Use Permit to allow for the installation of mining sluice and trampoline attractions on Tract OS-3X, Town of Mountain Village and the Applicant has submitted such application requesting approval of the Conditional Use Permit; and
3. The proposed development is in compliance with the provisions of Section 14.4.14 of the Community Development Code (CDC); and
4. The Design Review Board (DRB) considered this application, along with evidence and testimony, at a public meeting held on June 7, 2018. Upon concluding their review, the DRB voted in favor of the Conditional Use Permit and recommended approval to the Town Council with conditions to be considered by the Town Council; and
5. The Town Council considered and approved this application subject to certain conditions as set forth in this resolution, along with evidence and testimony, at a public meeting held on June 14, 2018; and
6. The public hearings referred to above were preceded by publication of public notice of such hearings on such dates and/or dates from which such hearings were continued by mailing of public notice to property owners within four hundred feet (400') of the Property and posting the Property, as required by the CDC; and
7. The Applicant has addressed, or agreed to address and/or abide by, all conditions of approval of the Application imposed by Town Council based upon a recommendation for approval by the DRB; and
8. The Town Council finds the Application meets the Conditional Use Permit requirements contained in CDC Section 17.4.14 as follows:
  1. The proposed conditional use is in general conformity with the policies of the principles, policies and actions set forth in the Comprehensive Plan;
  2. The proposed conditional use is in harmony and compatible with surrounding land uses and the neighborhood and will not create a substantial adverse impact on adjacent properties or on services and infrastructure;
  3. The design, development and operation of the proposed conditional use shall not constitute a substantial physical hazard to the neighborhood, public facilities, infrastructure or open space;
  4. The design, development and operation of the proposed conditional use shall not have significant adverse effect to the surrounding property owners and uses;

5. The design, development and operation of the proposed conditional use shall not have a significant adverse effect on open space or the purposes of the facilities owned by the Town;
6. The design, development and operation of the proposed conditional use shall minimize adverse environmental and visual impacts to the extent possible considering the nature of the proposed conditional use;
7. The design, development and operation of the proposed conditional use shall provide adequate infrastructure;
8. The proposed conditional use does not potentially damage or contaminate any public, private, residential or agricultural water supply source; and
9. The proposed conditional use permit meets all applicable Town regulations and standards.

**NOW, THEREFORE, BE IT RESOLVED THAT THE TOWN COUNCIL HEREBY APPROVES A CONDITIONAL USE PERMIT TO ALLOW FOR THE INSTALLATION OF MINING SLUICE, AND TRAMPOLINE ATTRACTIONS ON OS-3X AND AUTHORIZES THE MAYOR TO SIGN THE RESOLUTION SUBJECT TO CONDITIONS SET FORTH IN SECTION 1 BELOW:**

1. The Applicant shall enter into a Plaza License Agreement ("PLA") with the Town before beginning operation of the business;
2. The Applicant shall abide by the laws of the state of Colorado and the Town of Mountain Village in the operation of the business and shall have a valid Mountain Village Business license before operating the business.
3. The Applicant shall be required to place and operate the use as stated in their application;
4. The Applicant shall be required to obtain an agreement releasing, indemnifying and holding the Town harmless from any liability that may arise from the use, installation, repair and/or maintenance of the business;
5. The Business shall be allowed to operate generally from June 11th to August 14th between the hours of 10 am to 6 pm; Sunday through Saturday with the exception of Wednesday when operating hours shall be between the hours of 11 am to 6 pm and a Town approved sign indicating the operational hours shall be posted on site;
6. The Town shall have the right to temporarily relocate the Business to an alternate location within Heritage Plaza (OS-3X) if there are conflicts with festivals, special events or other uses of the plaza;
7. The Business must be operated in compliance with an Operation Plan submitted to and approved by the Town that described the operating, repair, maintenance and safety procedures;
8. The Business shall be allowed to operate under this approval for one (1) year; thereafter the use shall be reviewed and may be renewed by staff on an annual basis; and
9. The Applicant shall incorporate local mining history into the educational display case and work to promote the Telluride Historical Museum with the collaboration of their staff.



**Be It Further Resolved** that OS-3X may be developed as submitted in accordance with Resolution No. 2018-0614-\_\_

**Approved** by the Town Council at a public meeting June 14, 2018.

**Town of Mountain Village, Town Council**

By: \_\_\_\_\_  
Laila Benitez, Mayor

**Attest:**

By: \_\_\_\_\_  
Jackie Kennefick, Town Clerk

Approved as to Form:

\_\_\_\_\_  
James Mahoney, Assistant Town Attorney

DRAFT

