

**TOWN OF MOUNTAIN VILLAGE  
REGULAR DESIGN REVIEW BOARD MEETING  
AGENDA**

**THURSDAY SEPTEMBER 3, 2020 10:00 AM**

**MOUNTAIN VILLAGE TOWN HALL**

**455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO**

**TO BE HELD** <https://us02web.zoom.us/j/87510921376?pwd=bFNIMjcxODhBODZlMTZHWZBODNaQT09>

**(see login details below)**

	Time	Min.	Presenter	Type	
1.	10:00		Chair		Call to Order
2.	10:00	2	Miller	Action	Reading and Approval of Summary of Motions of the of the August 6, 2020 Design Review Board Meeting.
3.	10:02	3	Miller	Quasi-Judicial	Review and Recommendation to Town Council regarding a Density Transfer and Rezone located at Lot 60RA, 650 Mountain Village Blvd #C, to rezone La Chamonix Unit C from one (1) Efficiency Lodge Zoning Designation to one (1) Lodge Zoning Designation. <b>A motion to continue will be considered before the public hearing is opened. This item was continued from 3.26.2020, 5.7.2020, 6.4.2020, 7.2.2020, and 8.6.2020.</b>
4.	10:05	45	Miller Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a new single-family residence on Lot 630, Double Eagle Drive, pursuant to CDC Section 17.4.11. <b>This item was continued from August 6, 2020.</b>
5.	10:50	45	Miller Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a Class 3 Residential Addition, Lot 424, 121 Touchdown Drive, pursuant to CDC Section 17.4.11.
6.	11:35	45	Miller Applicant	Quasi-Judicial	Review and Recommendation to Town Council regarding a Density Transfer and Rezone located at Lot 648AR, 313 Adams Ranch Road, to rezone and convert three (3) units or 3,264 square feet of commercial space into four (4) Employee Apartments. <b>This item was continued from 3.26.2020, 5.7.2020, 6.4.2020, 7.2.2020, and 8.6.2020.</b>
7.	12:20	45	Miller Applicant	Quasi-Judicial	A review and recommendation to Town Council regarding a rezone and density transfer application to rezone Columbia Place Condominiums (Lot 37) Units 5-12 from a Hotel Efficiency Lodge zoning designation to Lodge zoning designation. Concurrent review and recommendation to Town Council regarding a variance for parking requirements for 6 of the 8 units. <b>This item was continued from 6.4.2020, 7.2.2020, and 8.6.2020.</b>
8.	1:05		Chair		Adjourn

Please note that this Agenda is subject to change. (Times are approximate and subject to change)

455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435

Phone: (970) 369-8242

Fax: (970) 728-4342

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting Town Hall at the above numbers or email: [cd@mtnvillage.org](mailto:cd@mtnvillage.org). We would appreciate it if you would contact us at least 48 hours in advance of the scheduled event so arrangements can be made to locate requested auxiliary aid(s).

**DESIGN REVIEW BOARD MEETING  
AGENDA FOR SEPTEMBER 3, 2020**

Topic: September 3, 2020 Regular DRB Meeting  
Time: Sep 3, 2020 10:00 AM Mountain Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/87510921376?pwd=bFNIMjcxODhBODZXMtZHVWZBODNaQT09>

Meeting ID: 875 1092 1376

Passcode: 057291

One tap mobile

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Dial by your location

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+1 346 248 7799 US (Houston)

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Consistent with Resolution No. 2020-0514-10 regarding virtual (electronic) meetings, written testimony shall be submitted to [cd@mtnvillage.org](mailto:cd@mtnvillage.org) and must be received no later than 48 hours prior to the public hearing. Oral testimony, for those wishing to testify, must register by sending an email to [cd@mtnvillage.org](mailto:cd@mtnvillage.org) at least one hour prior to the agenda hearing.

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**DESIGN REVIEW BOARD MINUTES  
TOWN OF MOUNTAIN VILLAGE  
DESIGN REVIEW BOARD MEETING  
THURSDAY AUGUST 6, 2020**

**Call to Order**

Chairman Banks Brown called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:01 AM on AUGUST 6, 2020, held remotely via ZOOM:  
<https://us02web.zoom.us/j/86728772361?pwd=Ukh6TGlvSkhickphbC9CaE1nSmZkQT09>

**Attendance**

**The following Board members were present and acting:**

Banks Brown  
David Craige  
Greer Garner  
Cath Jett  
Adam Miller  
Ellen Kramer (1<sup>nd</sup> alternate)  
Scott Bennett (2<sup>nd</sup> alternate)  
David Eckman  
Liz Caton

**The following Board members were absent:**

None

**Town Staff in attendance:**

Michelle Haynes, Planning & Development Services Director  
John Miller, Senior Planner

**Public in attendance:**

Ginni Racosky  
Mike Hardy  
Michael Racosky  
Harvie Branscomb  
KC Branscomb

**APPROVAL OF MINUTES**

Jett **MOTIONED** to approve the minutes dated June 4, 2020 with edits sent via email incorporated.  
**SECONDED** by Miller  
Unanimous Vote

Miller **MOTIONED** to approve the minutes dated July 2, 2020 with the correct of one mistrial edit of the vote noting 8-2 rather than 6-2.  
**SECONDED** by Jett  
Unanimous Vote

**AGENDA ITEMS FOR CONTINUATION**

Staff requested the continuation of Agenda Items 6, 7 and 8 to the September 3, 2020, Design Review Board (DRB) meeting. The following items were heard for the purposes of continuation and the Public

Hearing was not opened.

**Item 6.** Review and Recommendation to Town Council regarding a Density Transfer and Rezone located at **Lot 648AR**, 313 Adams Ranch Road, to rezone and convert three (3) units or 3,264 square feet of commercial space into four (4) Employee Apartments.

**Item 7.** Review and Recommendation to Town Council regarding a Density Transfer and Rezone located at Lot 60RA, 650 Mountain Village Blvd #C, to rezone La Chamonix Unit C from one (1) Efficiency Lodge Zoning Designation to one (1) Lodge Zoning Designation.

**Item 8.** A review and recommendation to Town Council regarding a rezone and density transfer application to rezone Columbia Place Condominiums (Lot 37) Units 5-12 from a Hotel Efficiency Lodge zoning designation to Lodge zoning designation. Concurrent review and recommendation to Town Council regarding a variance for parking requirements for 6 of the 8 units.

On a **MOTION** made by David Craige and **SECONDED** by Ellen Kramer, the DRB voted unanimously to continue DRB Agenda Items 6,7 and 8 to the September 3, 2020 Regular DRB meeting

**Item 4. Consideration of a Design Review: Final Architectural Review Application for a new single-family residence on Lot AR-2, 113 Lawson Point, pursuant to CDC Section 17.4.11.**

John Miller presented on behalf of staff

Narcis Tudor, architect, presented as the applicant (10:30am)

Public comment: none

On a **MOTION** by Craige and **SECONDED** by Jett, the DRB voted unanimously to approve the Final Architectural Review for a new single-family home located at Lot 601-2, based on the evidence provided within the Staff Report of record dated June 17, 2020, and with the following conditions:

- 1) Prior to the submittal/issuance of a building permit, the applicant shall revise the Building Height Diagram to demonstrate both Maximum Height and Average Maximum Height per the notes provided within this staff memo.
- 2) Prior to the submittal/issuance of a building permit, the applicant shall revise their lighting plan with CDC compliant fixtures and shall provide staff a photometric study of the Lot.
- 3) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 4) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 5) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the proposed roof overhang elements and retaining walls located within the General Easement.
- 6) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This includes allowance for parking in the GE.
- 7) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and

- e. Any other approved exterior materials
- 8) The applicant will provide a materials board to present as part of the final architectural review hearing.
- 9) The applicant will assure that the stormwater generated from the property is captured in the ditch and that the ditch is adequate for the flows prior to issuance of a building permit

Editorial note: the parking in the GE and the address marker placed on the house are specific DRB approvals granted by this application consistent with the staff memo findings.

The DRB took a 4 minute break at 11:06 am

Caton left the meeting at 11:30 am.

**Item 5. Consideration of a Design Review: Initial Architecture and Site Review for a new single-family residence on Lot 630, Double Eagle Drive, pursuant to CDC Section 17.4.11**

John Miller presented on behalf of staff

Narcis Tudor presented as the applicant

**Public comment:** Two comments were received via email in opposition to the project and provided to the DRB via email. Virtual comments during the zoom meeting were provided by the following members of the public: Harvie Branscomb, KC Branscomb, Mike Hardy.

On a **MOTION** by Jett and **SECONDED** by Garner the DRB voted to **CONTINUE** the Initial Architectural and Site Review for a new single-family home located at Lot 630, Double Eagle Drive, pursuant to CDC Section 17.4.11 based on the evidence provided within the Staff Report of record dated July 23, 2020 to the September 3, 2020 regular DRB meeting with the following conditions:

- 1) Prior to the submittal for a Final Architectural Review, the applicant shall revise the Building Height Diagram to demonstrate both Maximum Height and Average Maximum Height per the notes provided within this staff memo.
- 2) Prior to the submittal for a Final Architectural Review, the applicant shall provide exterior material calculations for the home to demonstrate compliance with the CDC. This shall include details on guttering, snow fences, and soffits / fascia.
- 3) Prior to the submittal for a Final Architectural Review, the applicant shall revise their parking plans to demonstrate the ability to provide exterior parking on Lot 630.
- 4) Prior to submittal for a Final Architectural Review, the applicant shall revise the proposed address monument lighting to be down lit.
- 5) Prior to the submittal for a Final Architectural Review, the applicant shall provide an updated landscaping plan providing additional variation in the planting species.
- 6) Prior to the submittal for a Final Architectural Review, the applicant shall provide a detailed lighting plan to include specific fixture cut sheets and a photometric study of the Lot demonstrating compliance with the CDC lighting standards.
- 7) Prior to the submittal for a Final Architectural Review, the applicant shall revise plans to demonstrate that the fireplaces are natural gas burning.
- 8) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 9) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

- 10) Prior to the submittal for a Final Architectural Review, the applicant shall revise the plans to demonstrate areas of snowmelt – if applicable.
- 11) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.
- 12) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 13) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 14) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - f. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
  - g. Wood that is stained in the approved color(s);
  - h. Any approved metal exterior material;
  - i. Roofing material(s); and
  - j. Any other approved exterior materials

**ADJOURN**

On a **MOTION** made by Miller, and **SECONDED** by Kramer, the Design Review Board voted unanimously to adjourn the August 6, 2020 meeting at 12:44pm.

Prepared and Submitted by,

Michelle Haynes  
Planning and Development Services Director



**Agenda Item No. 3**  
**PLANNING AND DEVELOPMENT SERVICES**  
**DEPARTMENT**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 369-8250

**TO:** Mountain Village Design Review Board  
**FROM:** John Miller, Senior Planner  
**FOR:** Design Review Board Meeting; September 3, 2020  
**DATE:** August 25, 2020  
**RE:** Motion to Continue Agenda Item 3

**BACKGROUND:** Staff is requesting the continuation of Agenda Items 3 to the October 1, 2020, Design Review Board (DRB) meeting. The memo is being provided not to open the public hearing for the agenda item but solely for the purpose of the DRB providing a motion to continue to the October meeting date. DRB could otherwise table the item, which would require the applicants to re-notice the project at a time in the future.

**AGENDA ITEMS FOR CONTINUATION:**

**Agenda Item 3:** Review and Recommendation to Town Council regarding a Density Transfer and Rezone located at Lot 60RA, 650 Mountain Village Blvd #C, to rezone La Chamonix Unit C from one (1) Efficiency Lodge Zoning Designation to one (1) Lodge Zoning Designation.

**RECOMMENDED MOTION:** I move to continue, DRB Agenda Items 3 as detailed in this Staff Memo, to the Regular DRB Meeting scheduled October 1, 2020.

/JJM



**TO:** Mountain Village Design Review Board  
**FROM:** John Miller, Senior Planner  
**FOR:** Design Review Board Public Hearing; September 3, 2020  
**DATE:** July 23, 2020, *Updated August 21, 2020*  
**RE:** Staff Memo – Initial Architecture and Site Review (IASR) Lot 630

### APPLICATION OVERVIEW: New Single-Family Home on Lot 630

#### **PROJECT GEOGRAPHY**

**Legal Description:** *Lot 630, Telluride Mountain Village, Filing 4, According to the Plat Recorded February 3, 1988, in Plat Book 1 at Page 791, County of San Miguel, State of Colorado.*

**Address:** TBD Double Eagle Drive  
**Applicant/Agent:** Narcis Tudor, Narcis Tudor Architects  
**Owner:** Ondr Family Trust  
**Zoning:** Single-Family  
**Existing Use:** Vacant Lot  
**Proposed Use:** Single-Family  
**Lot Size:** 0.60 AC

#### **Adjacent Land Uses:**

- **North:** Open Space
- **South:** Open Space
- **East:** Single-Family
- **West:** Single-Family

#### **ATTACHMENTS**

Exhibit A: Applicant Narrative  
Exhibit B: Architectural Plan Set  
Exhibit C: Staff/Public Comment



*Figure 1: Vicinity Map*

**Case Summary:** Narcis Tudor, Applicant for Lot 630, is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home on Lot 630, TBD Double Eagle Drive. The Lot is approximately 0.60 acres and is zoned Single-Family. The overall square footage of the home's 2 story living area with partial basement is approximately 5,760 gross square feet and provides 2 interior parking spaces within the proposed garage.



**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. *Please note that Staff comments will be indicated by italicized Text.*

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
<b>Maximum Building Height</b>	35' (shed) / 40' (gable) Maximum	34'-9"
<b>Maximum Avg. Building Height</b>	30' (shed) / 35' (gable) Maximum	22'-10 ¾"
<b>Maximum Lot Coverage</b>	40% Maximum	16.4 %
<b>General Easement Setbacks*</b>		
North	16' setback from lot line	36' – 4"
South	16' setback from lot line	48 -11"
East	16' setback from lot line	36'- 3"
West	16' setback from lot line	29' – 6"
<b>Roof Pitch</b>		
Primary		12:12
Secondary		6:12
<b>Exterior Material**</b>		
Stone	35% minimum	45.1%
Wood		11.5%
Windows/Doors	40% maximum	29.6%
Metal Accents		13.8%
<b>Parking</b>	2 enclosed / 2 exterior	2/2

**Design Review Board Specific Approval Requests:**

- 1. Earthen Roof**

**Chapter 17.3: ZONING AND LAND USE REGULATIONS**

**17.3.12: Building Height Limits**

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates both Gabled and Shed roof forms which are granted different height allowances in the CDC. Gabled roof forms are granted a maximum building height of 40 feet with shed roof forms limited to 35 feet. The maximum average height must be at or below 30 feet for shed roof forms and 35 feet for gable roof forms. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

*Staff: Since the July hearing, the applicant has revised both the Maximum Building Height and the Average Building Height Analysis' to address staff concerns detailed in the July memo. Based on the elevations provided, the maximum height for the structure is 34' – 9" from the highest ridge to the most restrictive grade. The applicant has provided a parallel plane analysis demonstrating that no portion of the home penetrates the 40-foot parallel slope height allowance. The average height calculations have been revised since July based on staff's comments, and the analysis appears to now be compliant with the CDC requirements for both maximum height and maximum average height.*

### **17.3.14: General Easement Setbacks**

Lot 630 is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

*Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:*

- *Driveway and Address Monument*
- *Utilities: Utilities are already located within Double Eagle Drive and will require crossing the GE to the home.*

*Staff: There are no other encroachments into the GE as shown within this proposal.*

## **Chapter 17.5: DESIGN REGULATIONS**

### **17.5.4: Town Design Theme**

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

*Staff: The home appears to generally align with the Town's Design Theme with a strong material palette of stone, wood, and metal. The roof is a more traditional gable design, but the home itself is accented with secondary shed roofs, earthen roofs, contemporary forms, and large amounts of glazing with metal accents. The applicant has proposed both vertical and horizontal wood siding which complements the horizontal nature of the home and the stone façade. This is accented by the tall chimney feature of the home. It appears based on the applicant's submittal that the material palette for the project blends well with both the surrounding community, as well as the overall modern mountain vernacular that is very popular recently within Mountain Village.*

### **17.5.5: Building Siting Design**

The CDC requires that any proposed development blend into the existing landforms and vegetation.

*Staff: Based on the relatively small size of the lot, the home appears to be best situated as shown. There is a large rock on the site that will be removed, but the alternative would require the home being pushed much closer to the road which could affect parking functionality.*

### **17.5.6: Building Design**

*Staff: Since the July hearing, the applicant has revised their plans to demonstrate material calculations as requested by Staff. The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation. In order*

*to accomplish this, the applicant is proposing a dry stack blue-grey stone in a horizontal arrangement. Based on the plans provided, the applicant is meeting all materials requirements for Stone and Glazing. The proposed siding is a mixture of vertical whitewashed wood siding, along with horizontal stained "Oxford Brown" wood siding. Overall, the contrast of the wood types and arrangement compliment the home, but more detail is requested as to the specifics of the wood species, cuts (T&G, shiplap), etc.*

*Window trim is proposed as dark black metal clad and the doors appear to be a mixture of glass and metal, but more details should be provided before the final review. The proposed roofing material is a black metal standing seam. The CDC allows for black and grey standing seam roofing materials and this appears to meet that requirement. It's unclear to staff as to what the soffits and fascia are constructed with. The home is proposing a ballasted earthen roof over the garage. This will require specific approval from the DRB. Additionally, staff did receive comments from neighboring properties, and it should be noted that a large concern was related to this feature of the home.*

*The applicant has proposed 1490sqft of snowmelt area for the home. This will require some exterior energy mitigation as part of the building permit for the 490 sq ft that exceed the 1000 sq ft exemptions.*

#### **17.5.7: Grading and Drainage Design**

*Staff: The applicant has provided a grading and drainage plan documenting disturbed areas, cuts, fill, final slopes adjacent to the home, stormwater design including positive drainage from proposed home.*

#### **17.5.8: Parking Regulations**

*Staff: The CDC requires all single-family developments to provide two interior and two exterior parking spaces. The applicant has revised their plans from the July hearing to demonstrate that the required 2 interior and 2 exterior spaces can be accommodated.*

#### **17.5.9: Landscaping Regulations**

*The applicant has revised the preliminary landscaping plan based on feedback from the July hearing, to include irrigation notes, revegetation notes, and other general requirements. The applicant has included additional Russian sage plantings, but staff would still like to see some additional tree diversity on the lot – whereas additional tree species are incorporated in the place of some aspen and spruce.*

#### **17.5.11: Utilities**

*Staff: All utilities are currently located within the Double Eagle Drive roadway and will only require connections from the road to the home. The applicant shall work with the Public Works Director before the final review to determine the specific locations of the connections for the home. The plan set shows the proposed connections and the locations of the proposed utilities based on field research.*

#### **17.5.12: Lighting Regulations**

*Staff: The applicant has provided a preliminary lighting plan demonstrating the locations and types of fixtures at a very high level. There were a number of recommendations made at the July hearing regarding fixtures, dimmers, and overall lighting and the applicant intends to make those changes prior to FAR. It should be noted that the Lighting Plan is not required at IASR.*

### **17.5.13: Sign Regulations**

*Staff: The address monument has been revised since the July hearing so that the lighting source is downlit per the request of staff. Prior to FAR, the applicant shall include the lighting source as part of the lighting plan to demonstrate it meets requirements of the CDC. Additionally, per Fire Department comment, the base of the numbering shall be at least 54" from the adjacent grade and the numbers must be coated with a reflective covering in case of power outages.*

## **Chapter 17.6: SUPPLEMENTARY REGULATIONS**

### **17.6.1: Environmental Regulations**

*Staff: Fire Mitigation and Forestry Management: Due to the size of the site and lack of vegetation, staff is requesting that the fire mitigation requirement be waived.*

*Steep Slopes: The building site does not contain steep slopes.*

### **17.6.6: Roads and Driveway Standards**

*Staff: Although not shown on the plans explicitly, the driveway as shown meets the CDC standards with 12 feet width and 2-foot shoulders on each side. The maximum grade of the driveway appears to be approximately 7% for a very short distance but overall, it ranges from 2-4% grade.*

### **17.6.8: Solid Fuel Burning Device Regulations**

*Staff: The applicant has indicated that the proposed home does include fireplaces and unless the owners procure a fireplace permit, these must operate on natural gas. Since the July hearing, the applicant has revised the plans indicating all fireplaces are to be natural gas.*

## **Chapter 17.7: BUILDING REGULATIONS**

### **17.7.19: Construction Mitigation**

*Staff: The applicant has submitted a CMP as part of this application. Staff supports the proposal with the note that any areas of the General Easement to be utilized shall be returned to the pre-disturbed condition before the project's issuance of a certificate of occupancy. Generally, staff is supportive of the use of this area for staging as there is very limited vegetation in this area other than grass, and the location of the proposed home limits the ability to stage and park in other areas of the lot.*

**Staff Recommendation:** Staff recommends the DRB approved the Initial Architectural and Site Review for Lot 630, TBD Double Eagle Drive.

**Staff Note:** *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

### **Proposed Motion:**

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architectural and Site Review for a new single-family home located at Lot 630, based on the evidence provided within the Staff Report of record dated August 21, 2020, with the following Specific Approvals:

- 1) Earthen Roof;

And, with the following conditions:

- 1) Prior to submittal for a Final Architectural Review, the applicant shall revise the proposed address monument so that the Numbering is a minimum of 54" above adjacent grade.
- 2) Prior to the submittal for a Final Architectural Review, the applicant shall provide an updated landscaping plan providing additional variation in the proposed tree species.
- 3) Prior to the submittal for a Final Architectural Review, the applicant shall provide a detailed lighting plan to include specific fixture cut sheets, dimmer switch details, and a photometric study of the Lot demonstrating compliance with the CDC lighting standards.
- 4) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 5) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 6) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.
- 7) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 8) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 9) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and
  - e. Any other approved exterior materials

/jjm

July 6, 2020

**ONDR RESIDENCE — DESIGN REVIEW**  
**LOT 630 DOUBLE EAGLE DRIVE . MOUNTAIN VILLAGE . COLORADO**

To: Mountain Village DRB

Attached please find our design submission for the above mentioned property.

**SITE DESCRIPTION**

Lot 630 is a vacant lot with no trees, longitudinally oriented on a general north-south axis. The access to the lot is from the south, off Double Eagle Drive. The topography slopes down to the north and west allowing for the primary views to unfold across the Dallas Range. Secondary views are from the upper level and capture the southern exposure to the Ski Lifts as well as Sunshine and Wilson Peaks.

**PROGRAM**

The Main Residence comprises of a Double Garage, Utility Space, Common Areas, 4 Bedroom Suites as well as Support and Exterior Spaces. The overall site layout is driven by Sustainable Principles, Access and Views.

**ARCHITECTURAL DESIGN**

The general design is based on the Access, Views and Solar Path / Natural Light. As such, the Address monument is located at the southern General Easement. The Garage is located closest to the road and is mainly south- east facing for the morning sun during winter months. Proceeding further, the Main Entry is announced by a strong vertical gable element defining the main north-south axis. To the east, a Courtyard allows the Informal Dining / Breakfast Room to expand the exterior and the morning sun. The main common area of Kitchen, Dining and Living Rooms are set furthest from the Arrival Court, capturing the norther mountain range; the primary view.

The upper level Master Suite is oriented to the west offering views to the Sunshine and Wilson Peaks. The Master Terrace sits above the Utility Space and encompasses a Secondary “green” flat roof which covers the garage roof system allowing for a natural setting on the second level.

Opposite the Master Suite is the internal Stair Core. This element is a 2-story transparent form that brings in the winter southern sun which permeates into the northern common area.

The lower level houses the secondary Bedrooms, and Accessory Spaces with walk-out Terrace where the Spa is nestled in for privacy while still capturing the northern and western views.

**ARCHITECTURAL AESTHETIC**

The general aesthetic direction is defined by two main architectural principles:

1. Forms - Primary Gable Forms define the overall massing. The primary pitches are steep as customary in the alpine environments.
2. Materiality - The overall materiality is a simple mix of Stone, Wood and Glass with Steel Accents arranged based on the following criteria:
  - a. Stone – Strong Base / Thermal Mass
  - b. Wood – Vertical Elements / Tactile Warmth
  - c. Glass – Transparency / Passive Solar / Views
  - d. Steel – Structure / Rhythmic Interest / Laciness

Steel Accents such as the use of steel rods and clevis connections, rails and steel / timbers details, etc. are used for the structural integrity of the building while creating an intimate level of interest throughout the project.

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Overall, the proposed design is simple in its primary massing with secondary elements proportionality scaled down as subordinate components.

We appreciate your time in reviewing this application and look forward to your comments. As always, should you have any questions do not hesitate to contact us.

Best,

Narcis Tudor  
**ARCHITECT**  
Colorado License 402820

# ONDR RESIDENCE

MOUNTAIN VILLAGE . COLORADO

NARCIS TUDOR ARCHITECTS©

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submissions  
05.11.2020  
05.19.2020  
06.10.2020  
06.23.2020  
06.25.2020  
07.08.2020  
08.17.2020

LOWER LEVEL REDESIGN  
LOWER LEVEL SCHEME B  
CAD PLAN | PLAN COORD.  
3D MODEL  
DRB PRE-APP  
DRB 1  
DRB 1 CONDITIONS

**ONDR  
RESIDENCE**

**LOT 630  
DOUBLE EAGLE DR  
MOUNTAIN VILLAGE**

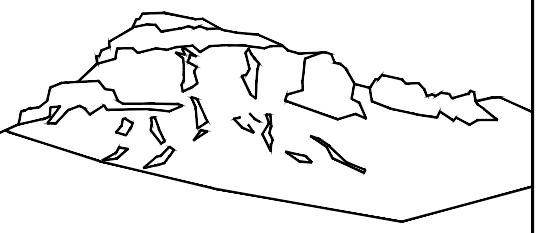
**COVER  
SHEET**

**A0**







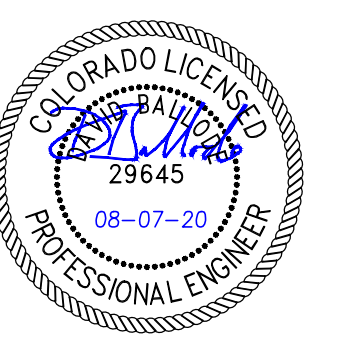


Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:  
SUBMITTAL 2016-07-22  
Reviewed and Updated Stamp 2020-08-07  
(No Changes)

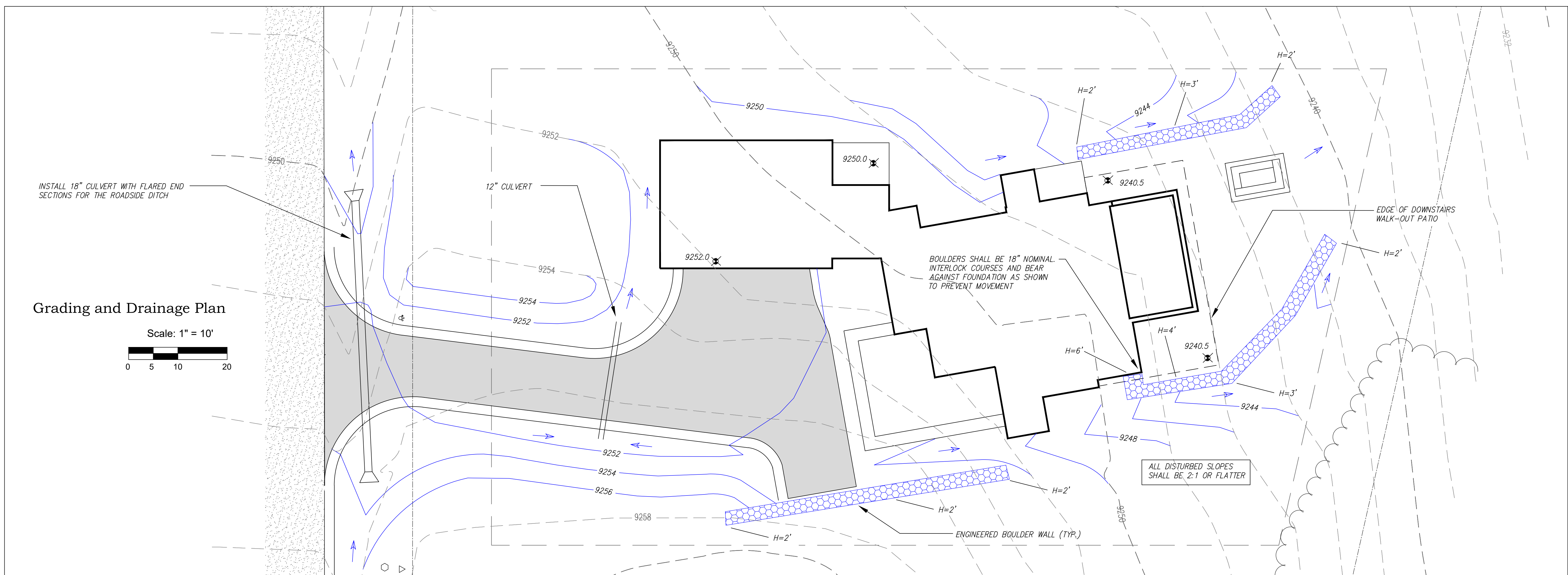
Ondr Residence  
Lot 630  
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

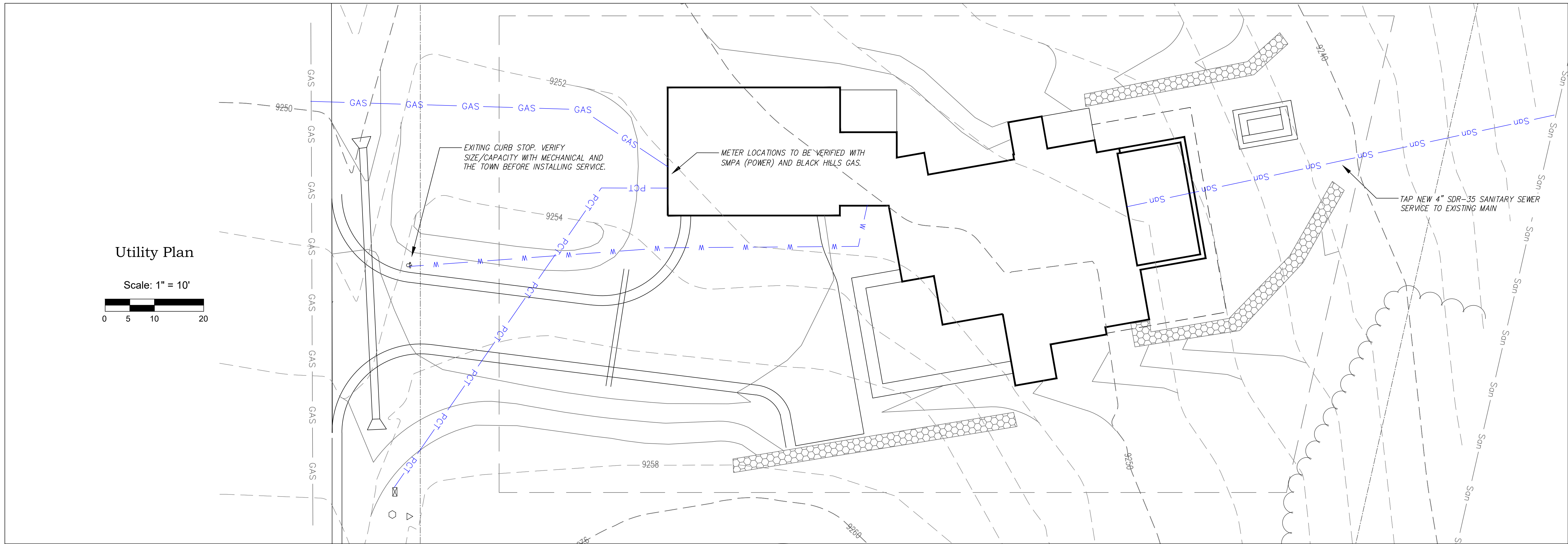
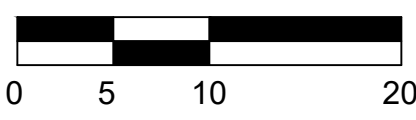
Grading  
and  
Drainage Plan  
and  
Utility  
Plan

C1



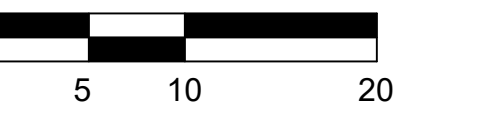
Grading and Drainage Plan

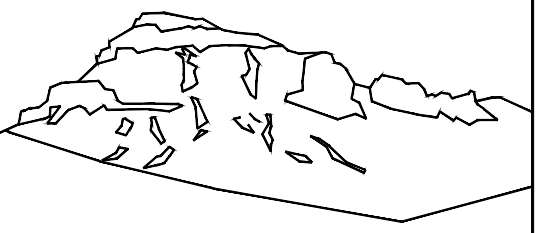
Scale: 1" = 10'



Utility Plan

Scale: 1" = 10'



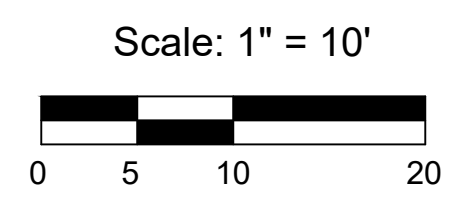
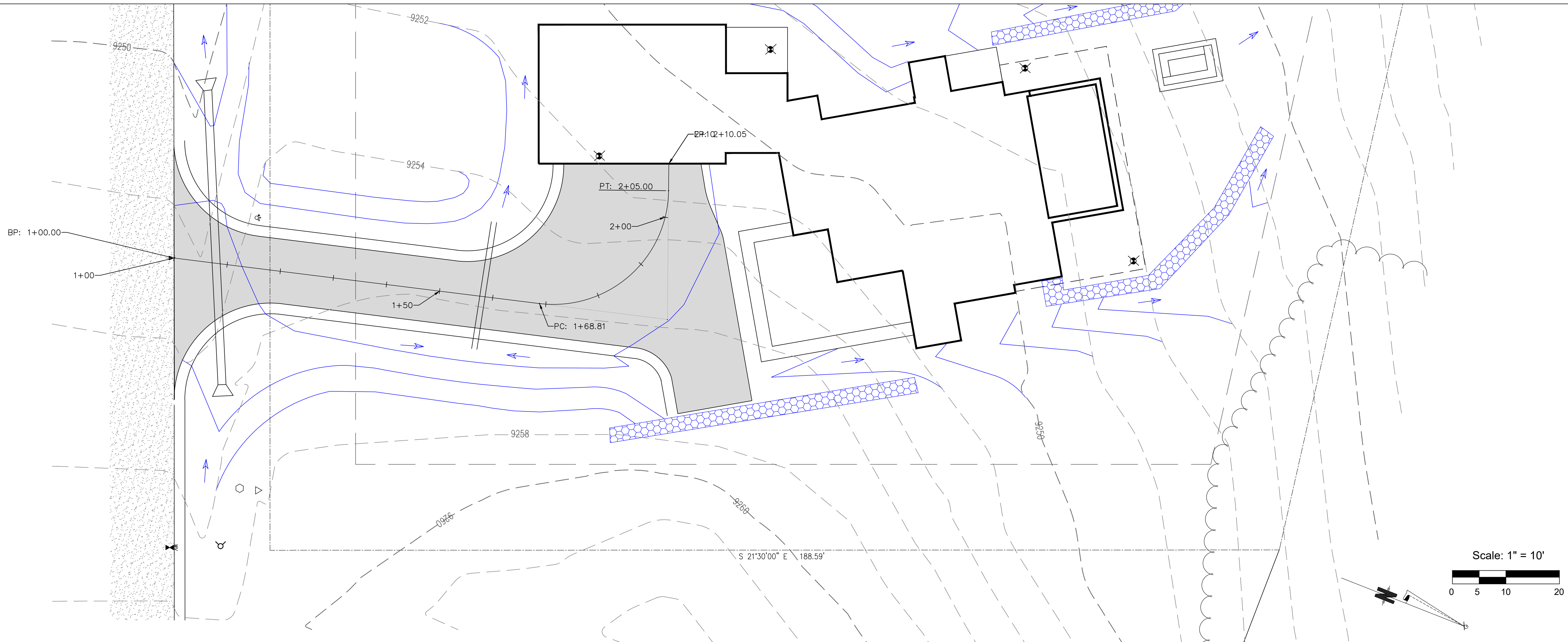


Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL	2016-07-22
SHORTEN ALIGNMENT FOR CLARITY	2016-08-09
Reviewed and Updated Stamp (No Changes)	2020-08-07



Ondr Residence  
Lot 630  
Mtn. Village, CO

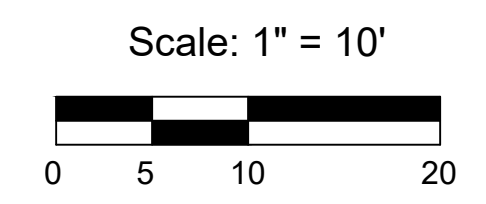
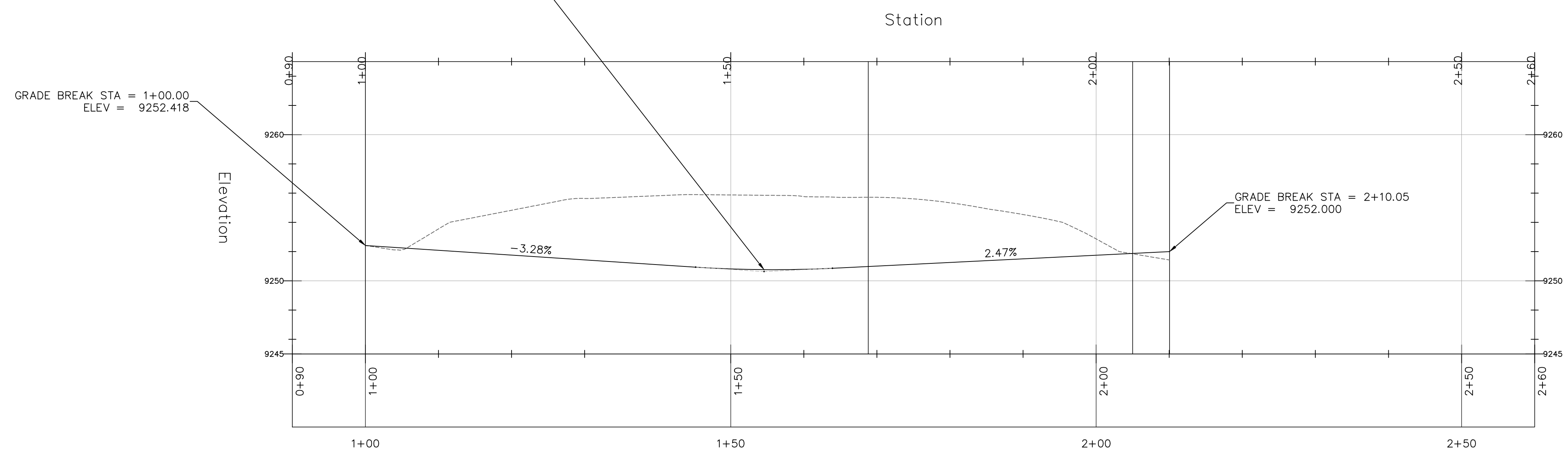


CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

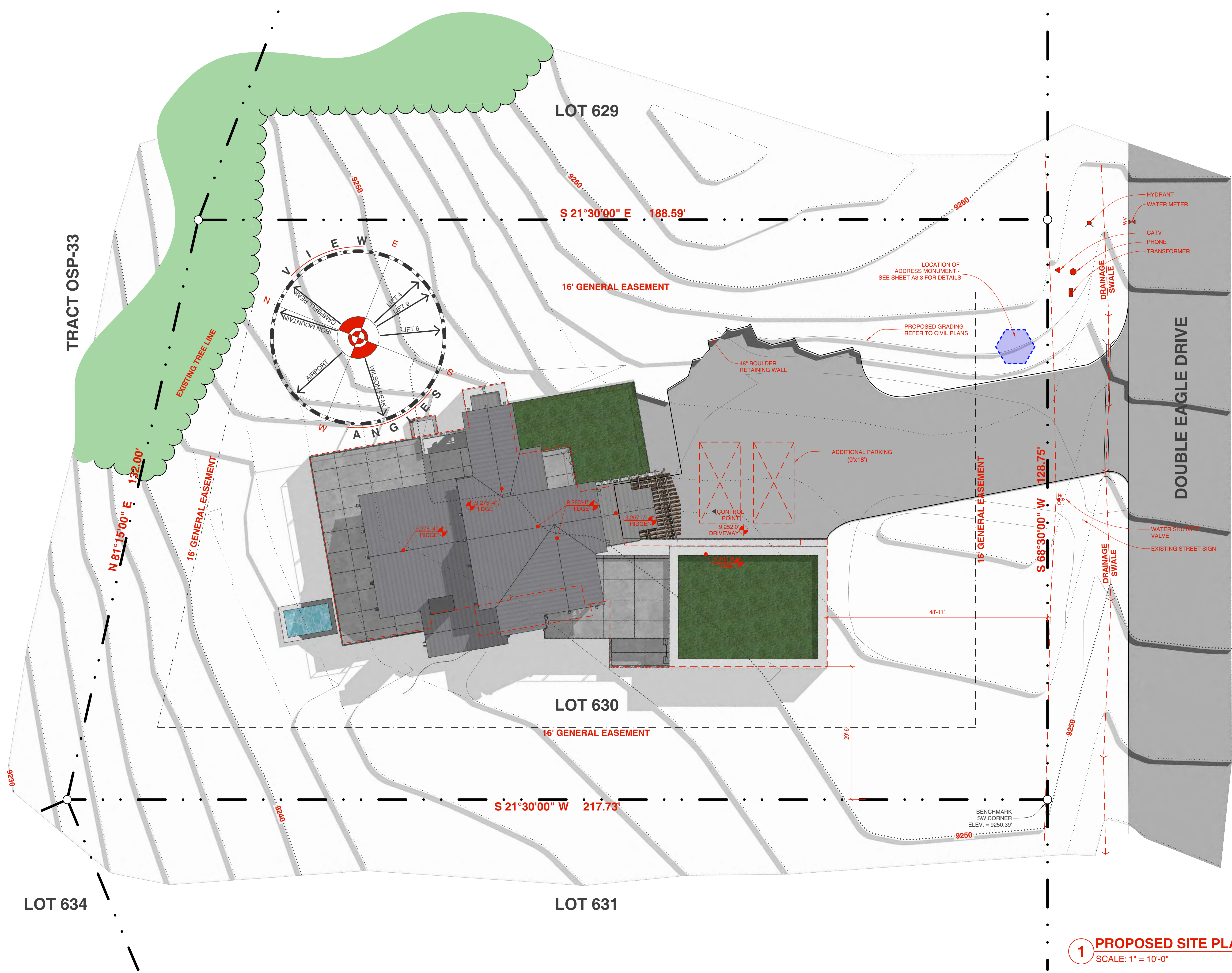
Driveway  
Plan  
and  
Profile

LOW PT STA: 1+55.87  
 LOW PT ELEV: 9250.76  
 PVI STA: 1+54.55  
 PVI ELEV: 9250.63  
 K: 3.25  
 LVC: 18.72  
 BVCS: 1+45.19  
 BVCE: 9250.94  
 EVCS: 1+63.91  
 EVCE: 9250.86

Main Driveway Profile



C2



TRACT OSP-33

LOT 629

LOT 630

LOT 631

LOT 634

DOUBLE EAGLE DRIVE

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Submissions

05.11.2020	LOWER LEVEL REDESIGN
05.19.2020	LOWER LEVEL SCHEME B
06.10.2020	CAD PLAN   PLAN COORD.
06.23.2020	3D MODEL
05.25.2020	DRB PRE-APP
06.17.2020	DRB 1 CONDITIONS

Project  
**ONDR RESIDENCE**

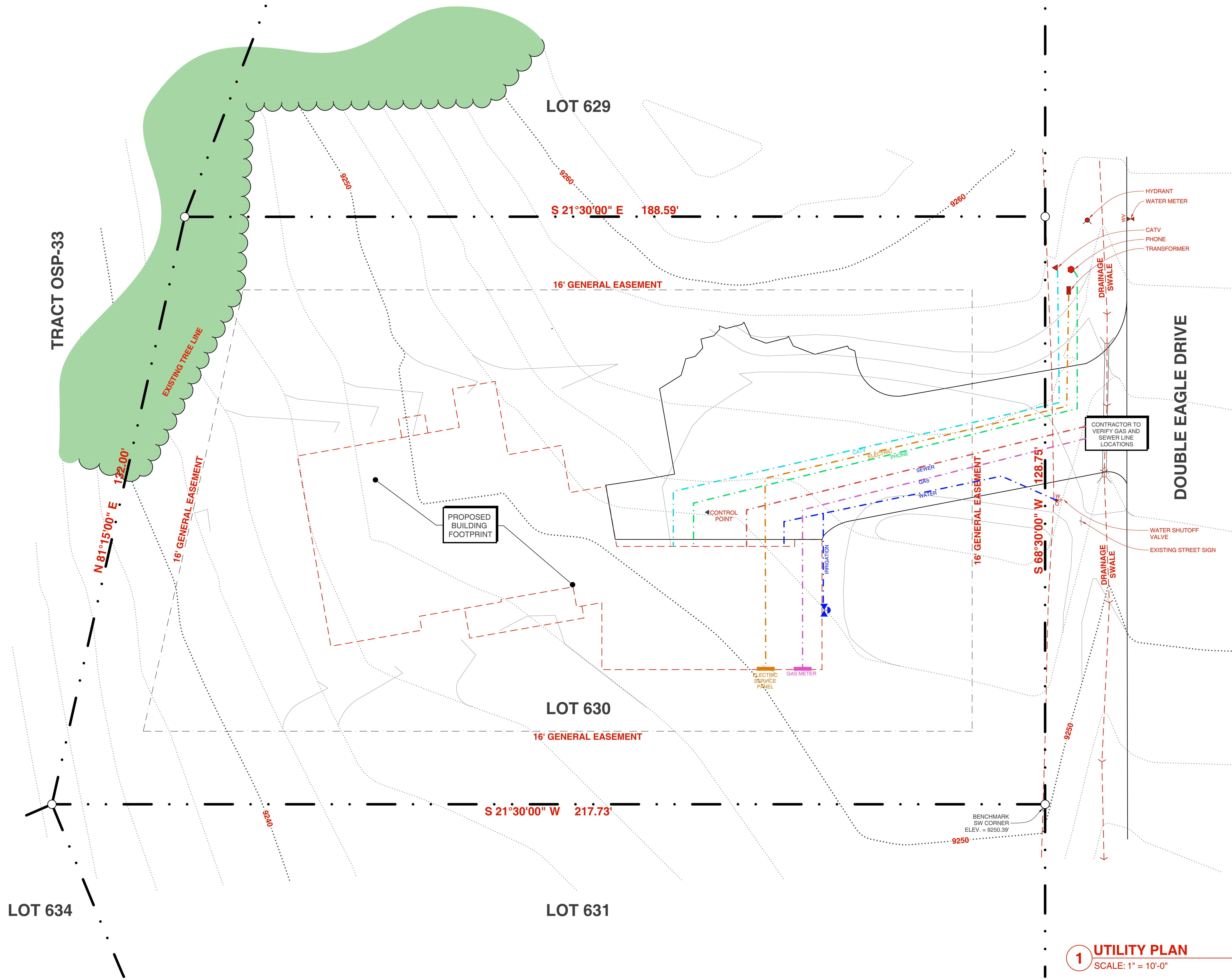
LOT 630  
DOUBLE EAGLE DR  
MOUNTAIN VILLAGE

Phase  
**PROPOSED SITE PLAN**

Sheet  
**A1.1**

**1** PROPOSED SITE PLAN  
SCALE: 1" = 10'-0"





TRACT OSP-33

LOT 629

LOT 630

LOT 631

LOT 634

DOUBLE EAGLE DRIVE

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Submissions	Project
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05.25.2020	DRB PRE-APP
06.17.2020	DRB 1 CONDITIONS

ONDR RESIDENCE

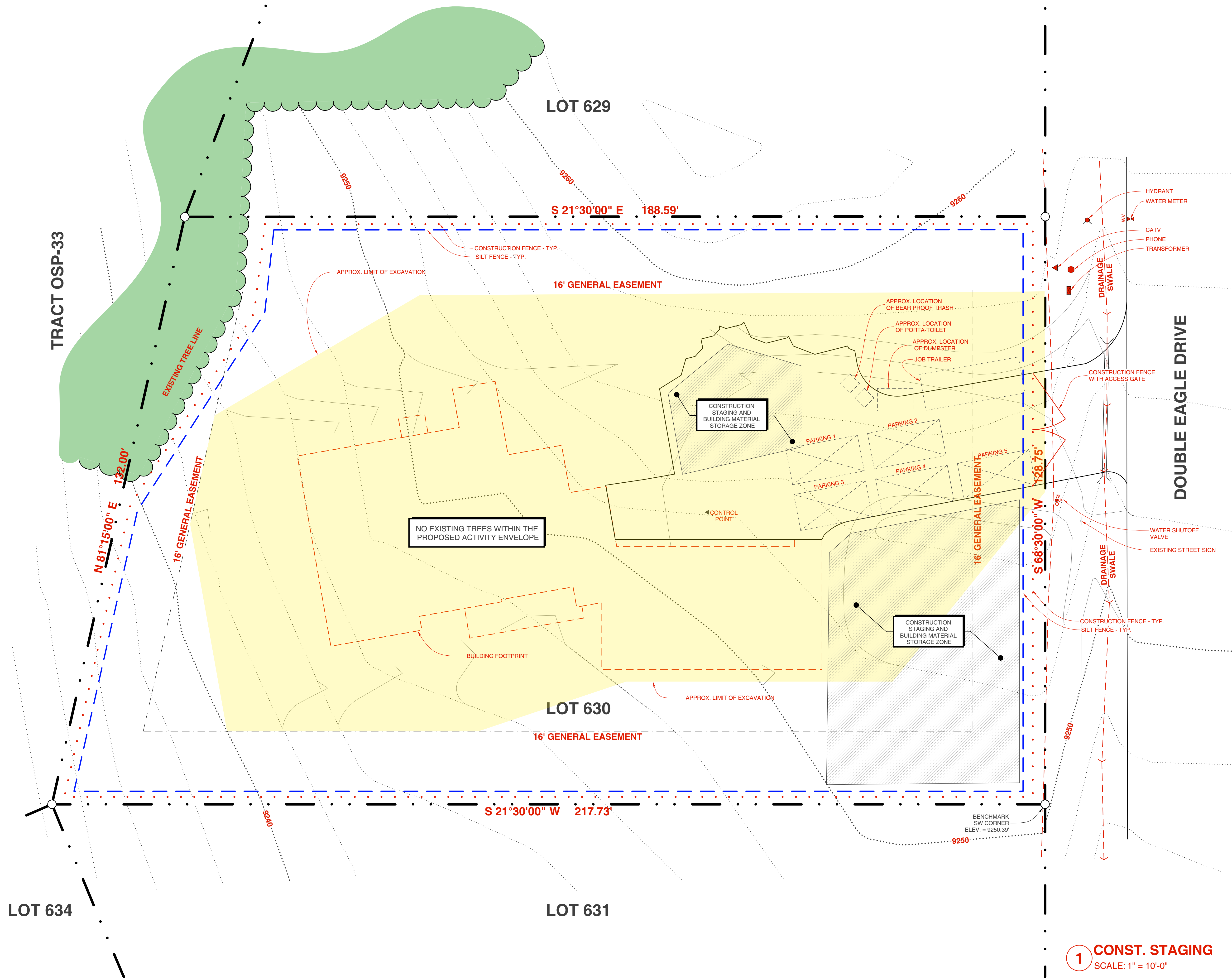
LOT 630  
DOUBLE EAGLE DR  
MOUNTAIN VILLAGE

UTILITY PLAN

A1.2

1 UTILITY PLAN  
SCALE: 1" = 10'-0"





TRACT OSP-33

EXISTING TREE LINE

LOT 629

DOUBLE EAGLE DRIVE

LOT 630

LOT 631

LOT 634

**1 CONST. STAGING**  
SCALE: 1" = 10'-0"



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Submissions	Phase
05.11.2020	LOWER LEVEL REDESIGN
05.19.2020	LOWER LEVEL SCHEME B
06.10.2020	CAD PLAN   PLAN COORD.
06.23.2020	3D MODEL
05.25.2020	DRB PRE-APP
08.17.2020	DRB 1 CONDITIONS

**ONDR RESIDENCE**

**LOT 630 DOUBLE EAGLE DR MOUNTAIN VILLAGE**

**CONST. STAGING**

**A1.3**

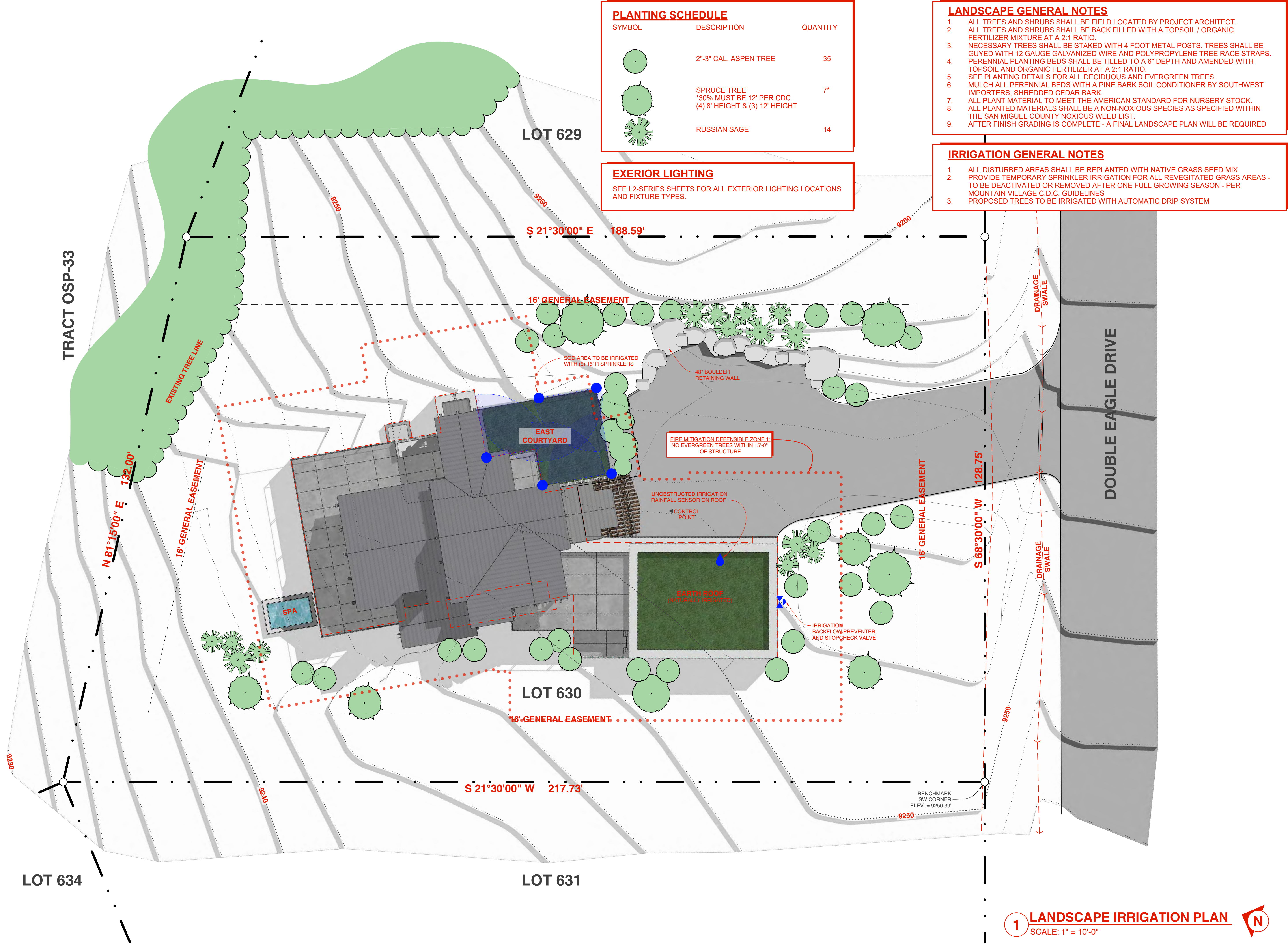
**PLANTING SCHEDULE**

SYMBOL	DESCRIPTION	QUANTITY
	2'-3" CAL. ASPEN TREE	35
	SPRUCE TREE *30% MUST BE 12' PER CDC (4) 8' HEIGHT & (3) 12' HEIGHT	7'
	RUSSIAN SAGE	14

**EXTERIOR LIGHTING**  
SEE L2-SERIES SHEETS FOR ALL EXTERIOR LIGHTING LOCATIONS AND FIXTURE TYPES.

- LANDSCAPE GENERAL NOTES**
- ALL TREES AND SHRUBS SHALL BE FIELD LOCATED BY PROJECT ARCHITECT.
  - ALL TREES AND SHRUBS SHALL BE BACK FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
  - NECESSARY TREES SHALL BE STAKED WITH 4 FOOT METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRAPS. PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
  - SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
  - MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS; SHREDDED CEDAR BARK.
  - ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
  - ALL PLANTED MATERIALS SHALL BE A NON-NOXIOUS SPECIES AS SPECIFIED WITHIN THE SAN MIGUEL COUNTY NOXIOUS WEED LIST.
  - AFTER FINISH GRADING IS COMPLETE - A FINAL LANDSCAPE PLAN WILL BE REQUIRED

- IRRIGATION GENERAL NOTES**
- ALL DISTURBED AREAS SHALL BE REPLANTED WITH NATIVE GRASS SEED MIX
  - PROVIDE TEMPORARY SPRINKLER IRRIGATION FOR ALL REVEGATED GRASS AREAS - TO BE DEACTIVATED OR REMOVED AFTER ONE FULL GROWING SEASON - PER MOUNTAIN VILLAGE C.D.C. GUIDELINES
  - PROPOSED TREES TO BE IRRIGATED WITH AUTOMATIC DRIP SYSTEM



submissions  
05.11.2020 LOWER LEVEL REDESIGN  
05.19.2020 LOWER LEVEL SCHEME B  
06.10.2020 CAD PLAN | PLAN COORD.  
06.23.2020 3D MODEL  
05.25.2020 DRB PRE-APP  
06.17.2020 DRB 1 CONDITIONS

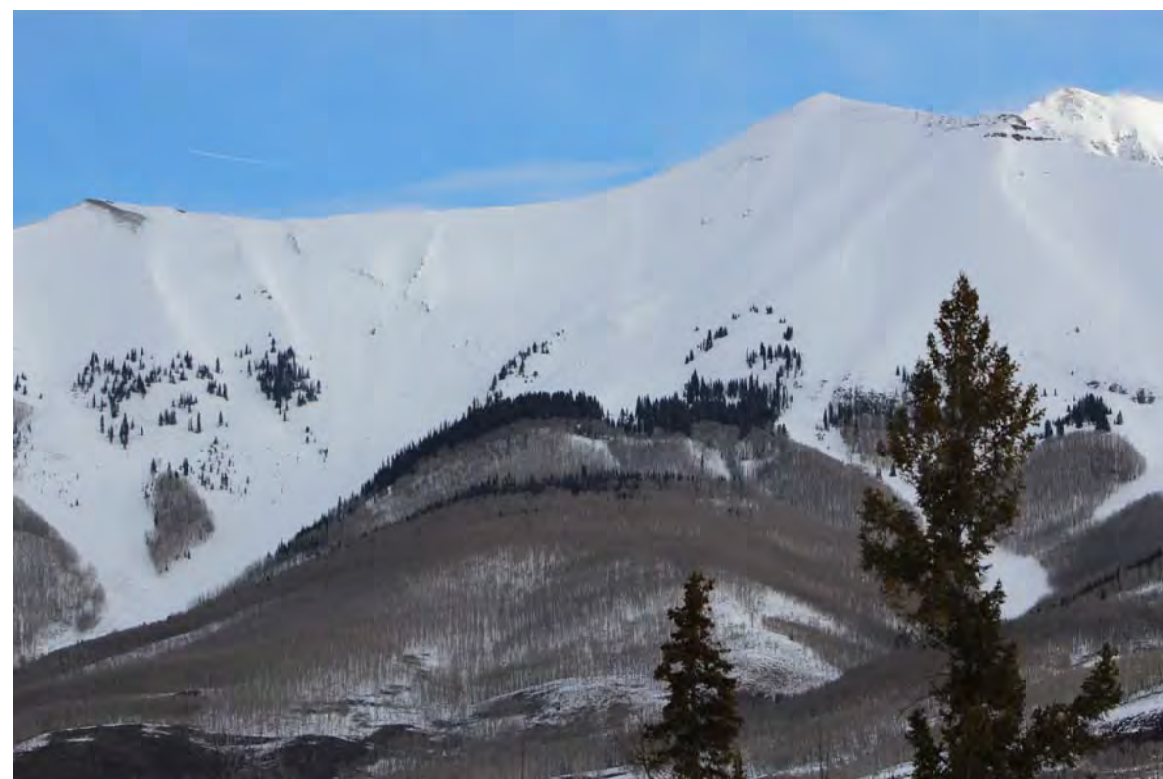
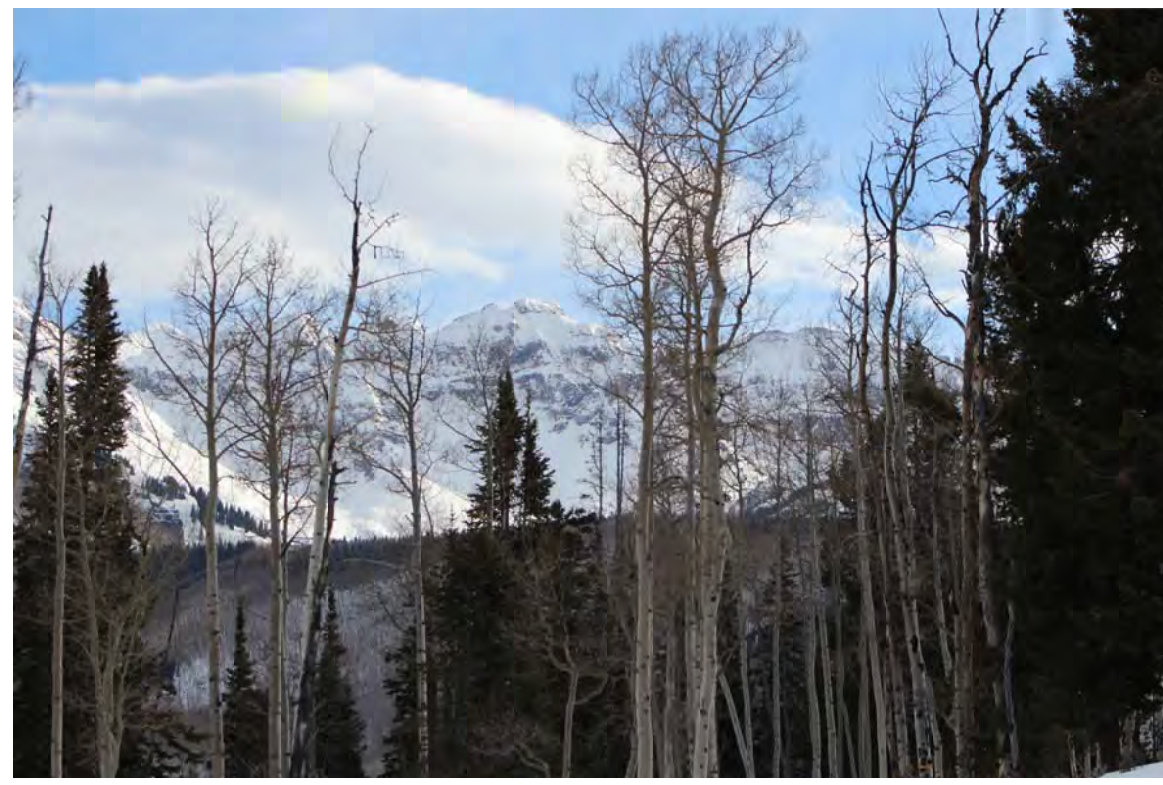
**ONDR RESIDENCE**

LOT 630  
DOUBLE EAGLE DR  
MOUNTAIN VILLAGE

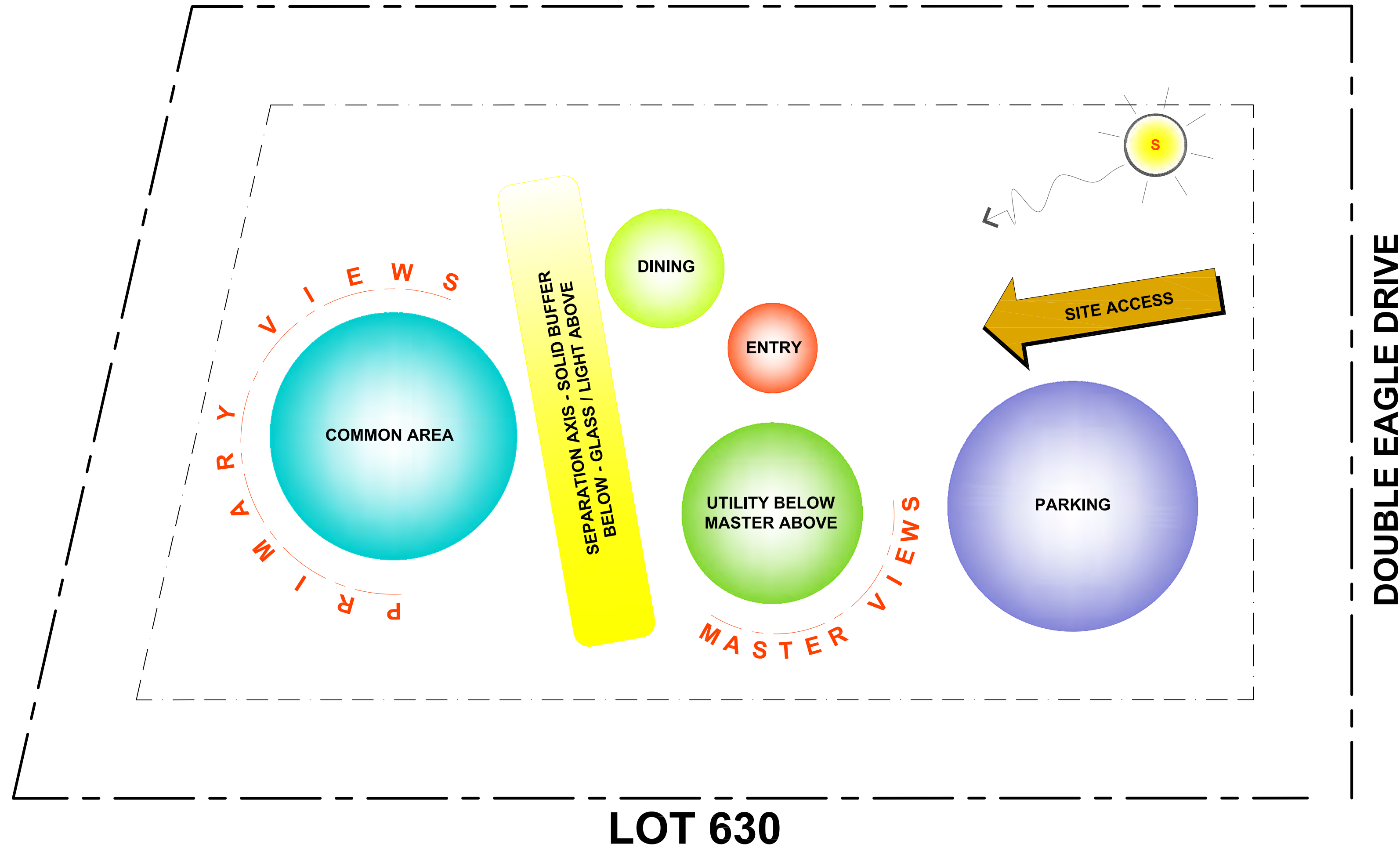
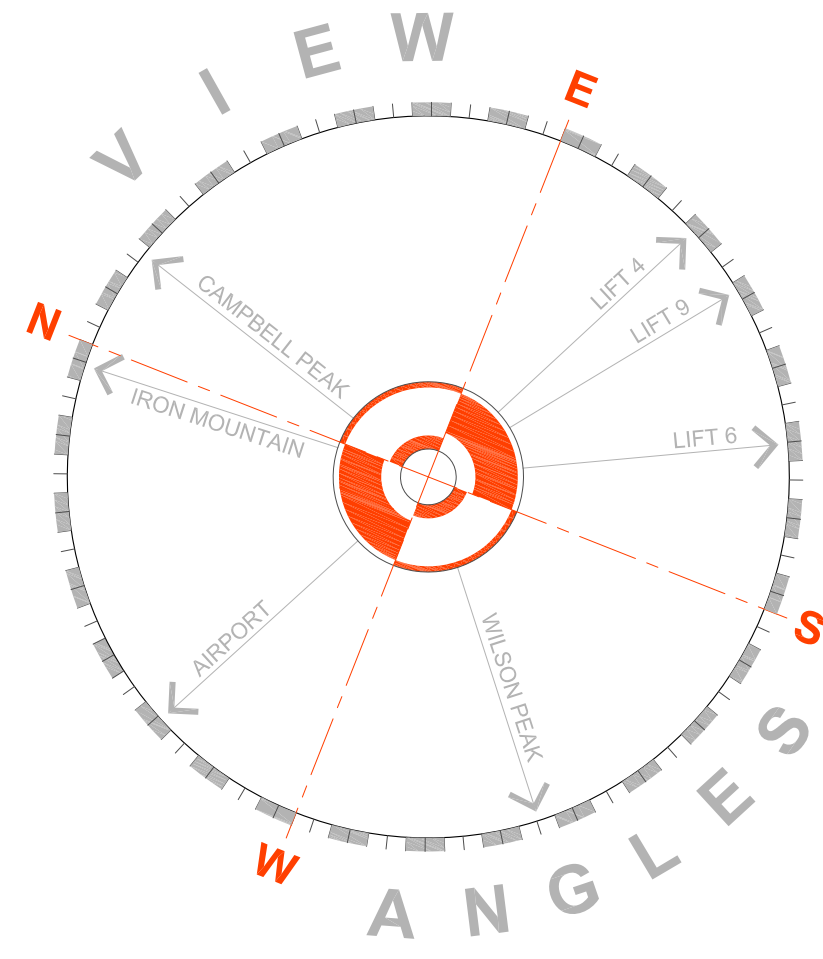
**LANDSCAPE IRRIGATION PLAN**

**A1.4**





VIEW FROM COMMON AREAS



VIEW FROM OFFICE

VIEWS FROM MASTER SUITE



submissions	
05.11.2020	LOWER LEVEL REDESIGN
05.19.2020	LOWER LEVEL SCHEME B
06.10.2020	CAD PLAN   PLAN COORD.
06.23.2020	3D MODEL
06.25.2020	DRB PRE-APP
07.08.2020	DRB 1
08.17.2020	DRB 1 CONDITIONS

**ONDR RESIDENCE**

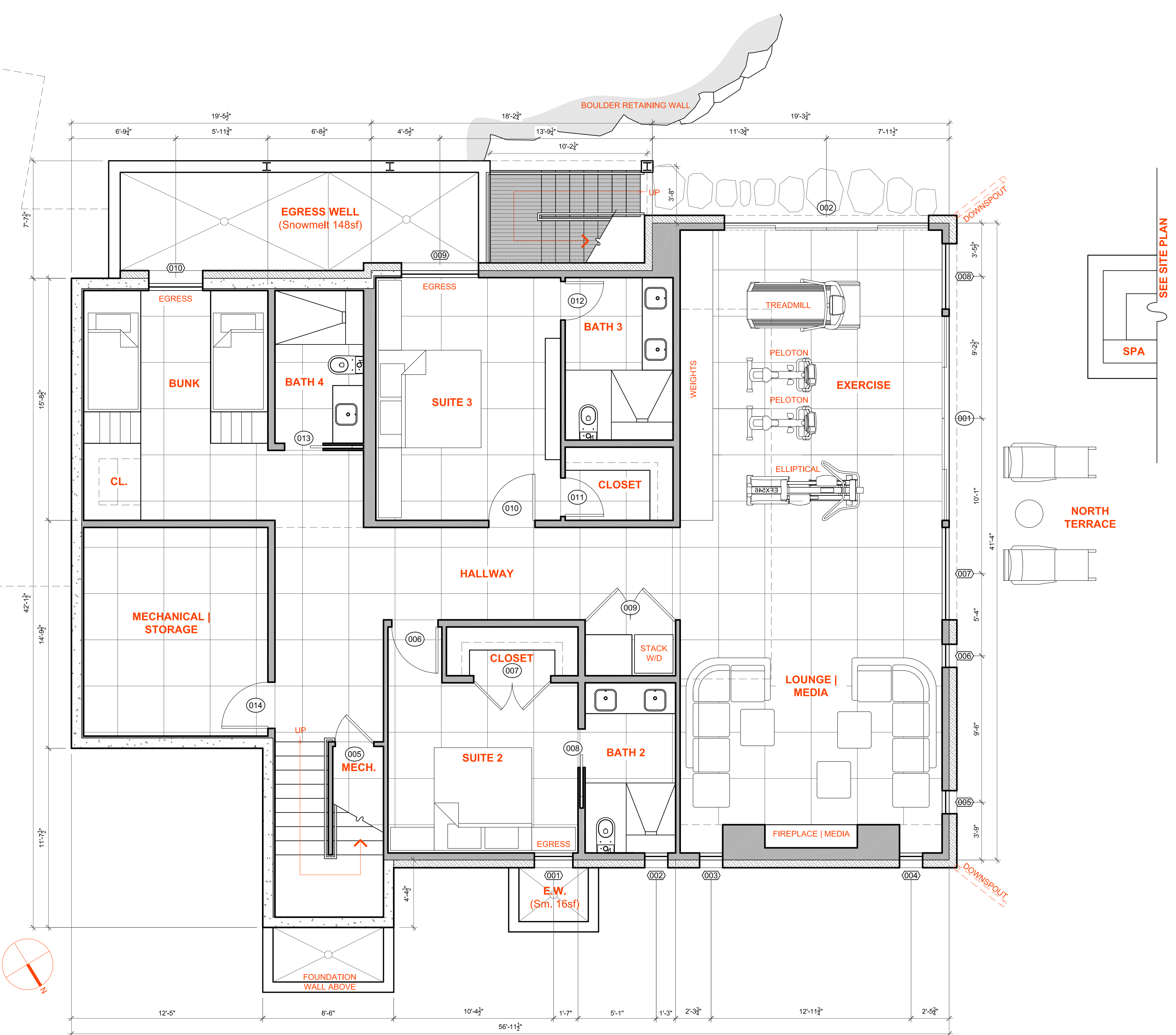
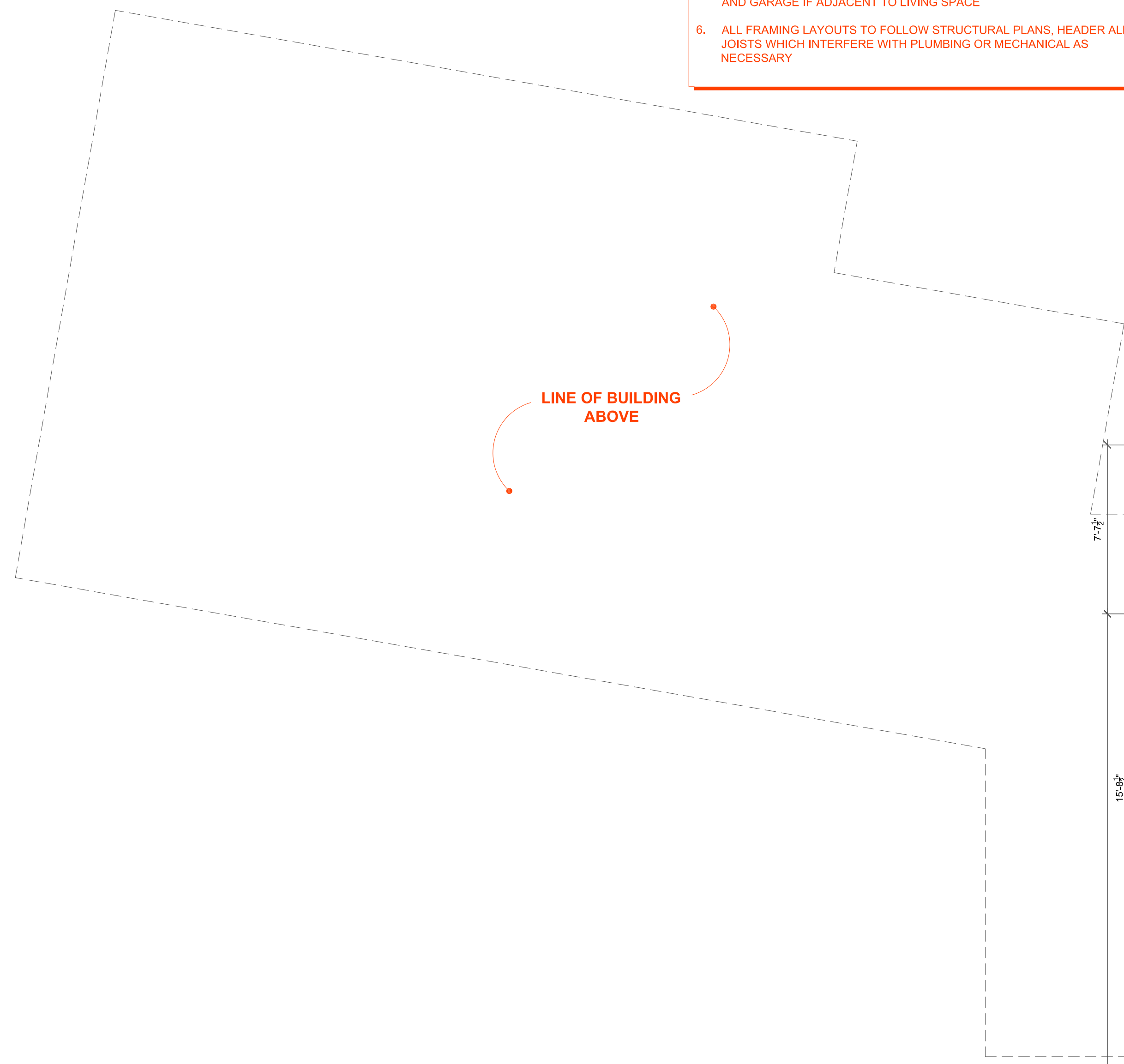
LOT 630  
DOUBLE EAGLE DR  
MOUNTAIN VILLAGE

PARTI /  
BUBBLE  
DIAGRAM

A0.2

# FLOOR PLAN GENERAL NOTES

- CONTRACTOR AND ALL SUBCONTRACTORS TO REVIEW "GENERAL NOTES AND SPECIFICATIONS" PRIOR TO COMMENCEMENT OF ANY WORK
- CONTRACTOR TO REVIEW AND COMPARE ALL REFERENCED AND INTERDISCIPLINARY DRAWINGS AS WELL AS EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT PRIOR TO ANY EXECUTION OF WORK
- ALL DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF FRAMING
- BLOCKING TO BE PROVIDED FOR ALL CABINETS AND WALL MOUNTED ACCESSORIES AS WELL AS NON-STRUCTURAL MEMBERS
- TYPE 'X' GYPSUM WALL BOARD AT ALL RATED MECHANICAL LOCATIONS AND GARAGE IF ADJACENT TO LIVING SPACE
- ALL FRAMING LAYOUTS TO FOLLOW STRUCTURAL PLANS, HEADER ALL JOISTS WHICH INTERFERE WITH PLUMBING OR MECHANICAL AS NECESSARY
- REFER TO STRUCTURAL FOR STONE SUPPORTS. ALL STONE SUPPORT TO BE 6" MIN. BELOW FINISHED GRADE
- WHERE APPLICABLE, ALL WINDOW WELLS TO BE 36" MINIMUM CLEAR. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
- ALL EGRESS WINDOW OPENINGS TO BE 42" MAXIMUM FROM FINISHED FLOOR TO BOTTOM OF OPENING. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
- ALL ROOFS TO BE SHOVELED AT 6" OR MORE SNOW ACCUMULATION.
- ALL VALLEYS, LOW PITCHED ROOFS, GUTTERS AND DOWNSPOUTS TO BE HEATED - TYP.
- ALL WINDOW WELLS, PLANTERS AND ANY HARDSCAPE REQUIRING DRAINAGE TO BE DRAINED TO DAYLIGHT - TYP. UNO.
- PERIMETER DRAINS TO BE PROVIDED AT ALL FOOTERS - TYPICAL.
- BUILT IN CABINETS SHOWN IN PLAN FOR LAYOUT AND QUANTITATIVE PURPOSES
- FURR WALLS AS NECESSARY FOR ALIGNMENT WITH SOFFITS AND SURROUNDING WALLS, SPRING POINTS, ETC - TYP. FOR CLEAN CONDITIONS
- INTERIOR CASING TO REMAIN FULL PROFILE AROUND OPENINGS; ADJUST OPENING LOCATION AS NECESSARY AND NOTIFY ARCHITECT.
- WHERE APPLICABLE, REFER TO REFLECTED CEILING PLANS FOR TIMBER RAFTER AND TIMBER TRELLIS SPACING - TYP.
- ALL INTERIOR DOORS AND OPENINGS TO BE CENTERED WITHIN THEIR RESPECTIVE SPACES TYP. UNO
- REFER TO STRUCTURALS, DETAILS & NOTES FOR CONSTRUCTION ASSEMBLIES
- REFER TO SCHEDULES AND ELEVATIONS FOR WINDOW AND EXTERIOR DOOR INFORMATION
- WHERE APPLICABLE, REFER TO MECHANICAL DIAGRAM DRAWINGS FOR EXTERIOR SNOW-MELT AREAS
- ALL FRAMING TO BE 2X4 UNO. PLUMBING WALLS TO BE 2X6 UNO. ALL FURRING AT CONCRETE WALLS TO BE FLAT FURRING (1 1/2") UNO.
- REFER TO LARGER SCALE GRAPHICS FOR SPECIFIC INFORMATION
- CLEARANCES TO PLUMBING FIXTURES TO BE 32-36" MIN. - TYP AT ALL CONDITIONS
- ALL EXTERIOR SPACES (TERRACES, PATIOS, BALCONIES, DECKS, ETC.) SHALL HAVE A MIN. FINISH FLOOR 1" BELOW INTERIOR FINISH FLOOR - TYP. AND SHALL SLOPE AWAY FROM THE BUILDING
- ALL INTERIOR FINISH FLOORS TO BE FLUSH AT EACH LEVEL - ADJUST SLAB / FRAMING AS NECESSARY
- CONTRACTOR AND ALL SUB-CONTRACTORS TO REVIEW ALL DRAWINGS AND VERIFY WITH AS-BUILT / EXISTING CONDITIONS AS DIMENSIONS MAY VARY



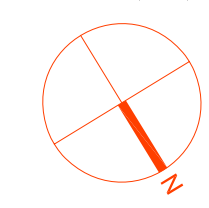
INTERIOR DOOR SCHEDULE								
TAG	WIDTH	HEIGHT	TYPE	HAND	HARDWARE	FIRE RATING	NOTES	DESCRIPTION
005	2'-6"	8'-3"	OUTSWING	LEFT		45 MIN.		UNDER STAIR MECH.
006	3'-0"	8'-3"	SWING	LEFT		N/A		
007	5'-0"	8'-3"	FRENCH	LEFT		N/A	OUTSWING	
008	2'-6"	8'-3"	POCKET	RIGHT		N/A		
009	8'-10 1/2"	8'-3"	FRENCH	RIGHT		N/A	OUTSWING	
010	3'-0"	8'-3"	SWING	RIGHT		N/A		
011	2'-6"	8'-3"	SWING	RIGHT		N/A		
012	2'-6"	8'-3"	SWING	LEFT		N/A		
013	2'-6"	8'-3"	POCKET	RIGHT		N/A		
014	3'-0"	8'-3"	SWING	LEFT		45 MIN.		MECHANICAL ACCESS
115	8'-0"	8'-0"	SWING	RIGHT		45 MIN.		GARAGE ENTRY
116	8'-0"	8'-0"	FRENCH	RIGHT		N/A		
117	2'-6"	8'-0"	POCKET	RIGHT		N/A		
204	3'-10"	8'-0"	BARN			N/A		FIELD VERIFY SIZE
205	2'-10"	8'-0"	POCKET	RIGHT		N/A		

SEE SHEET A9.3 FOR EXTERIOR DOOR AND WINDOW SCHEDULES

## 1 LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

**FLOOR AREA SUMMARY**  
 LIVABLE - 1986 SF  
 STORAGE - 189 SF  
 GROSS - 2175 SF



submissions	
05.11.2020	LOWER LEVEL REDESIGN
05.19.2020	LOWER LEVEL SCHEME B
06.10.2020	CAD PLAN   PLAN COORD.
06.23.2020	3D MODEL
06.25.2020	DRB PRE-APP
07.08.2020	DRB 1
08.17.2020	DRB 1 CONDITIONS

## ONDR RESIDENCE

LOT 630  
 DOUBLE EAGLE DR  
 MOUNTAIN VILLAGE

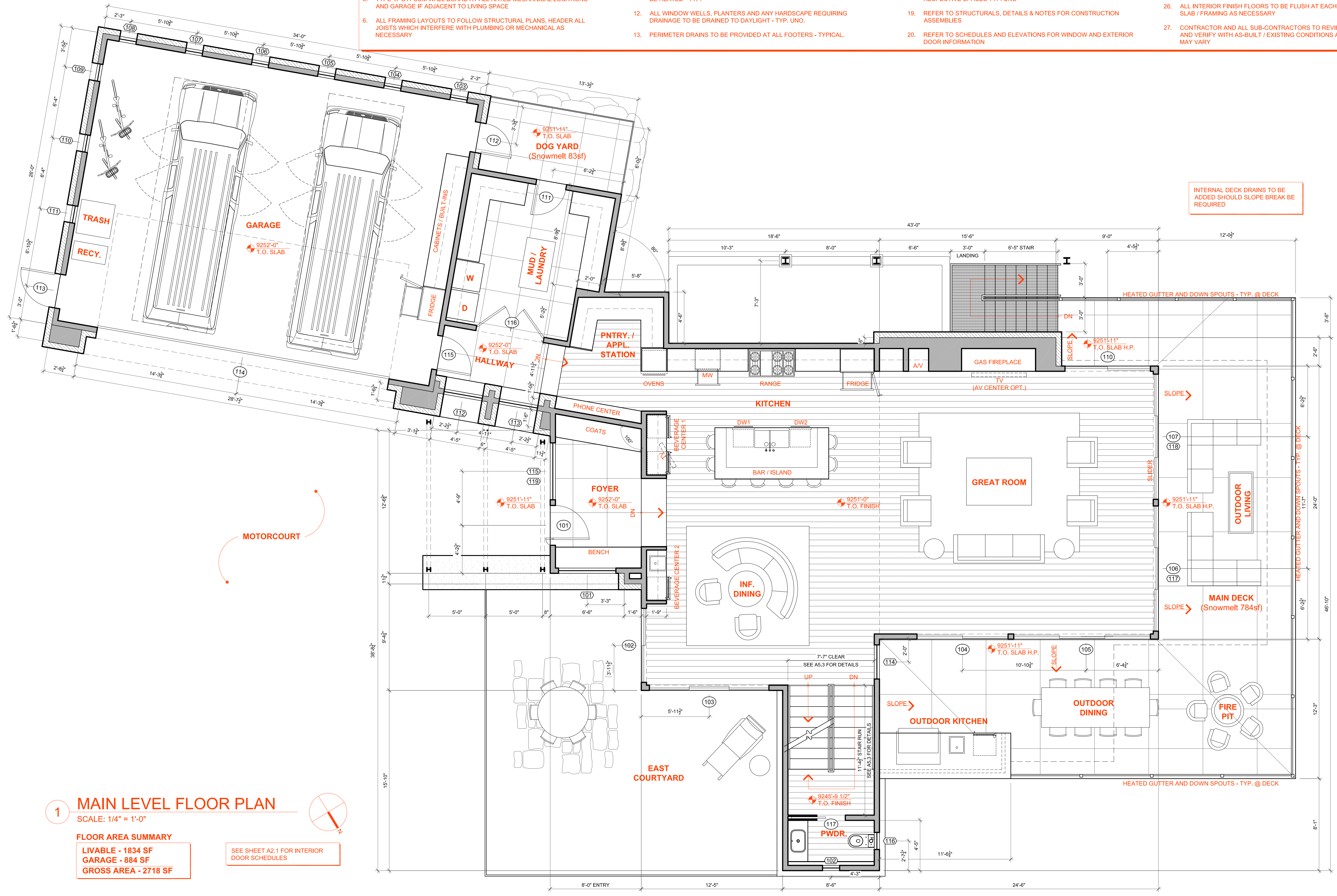
## LOWER LEVEL PLAN

# A2.1

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# FLOOR PLAN GENERAL NOTES

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- REFER TO STRUCTURAL FOR STONE SUPPORTS. ALL STONE SUPPORT TO BE 6" MIN. BELOW FINISHED GRADE
- WHERE APPLICABLE, ALL WINDOW WELLS TO BE 36" MINIMUM CLEAR. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
- ALL EGRESS WINDOW OPENINGS TO BE 42" MAXIMUM FROM FINISHED FLOOR TO BOTTOM OF OPENING. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
- ALL ROOFS TO BE SHOVELD AT 6" OR MORE SNOW ACCUMULATION.
- ALL VALLEYS, LOW PITCHED ROOFS, GUTTERS AND DOWNSPOUTS TO BE HEATED - TYP.
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- ALL EXTERIOR SPACES (TERRACES, PATIOS, BALCONIES, DECKS, ETC.) SHALL HAVE A MIN. FINISH FLOOR 1" BELOW INTERIOR FINISH FLOOR - TYP. AND SHALL SLOPE AWAY FROM THE BUILDING
- ALL INTERIOR FINISH FLOORS TO BE FLUSH AT EACH LEVEL - ADJUST SLAB / FRAMING AS NECESSARY
- CONTRACTOR AND ALL SUB-CONTRACTORS TO REVIEW ALL DRAWINGS AND VERIFY WITH AS-BUILT / EXISTING CONDITIONS AS DIMENSIONS MAY VARY



INTERNAL DECK DRAINS TO BE ADDED SHOULD SLOPE BREAK BE REQUIRED

**1 MAIN LEVEL FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
**FLOOR AREA SUMMARY**  
 LIVABLE - 1834 SF  
 GARAGE - 884 SF  
 GROSS AREA - 2718 SF

SEE SHEET A2.1 FOR INTERIOR DOOR SCHEDULES

submissions	LOWER LEVEL REDESIGN
05.11.2020	LOWER LEVEL SCHEME B
05.19.2020	CAD PLAN   PLAN COORD.
06.10.2020	3D MODEL
06.23.2020	DRB PRE-APP
06.25.2020	DRB 1
07.08.2020	DRB 1 CONDITIONS
08.17.2020	

**ONDR RESIDENCE**  
 LOT 630  
 DOUBLE EAGLE DR  
 MOUNTAIN VILLAGE

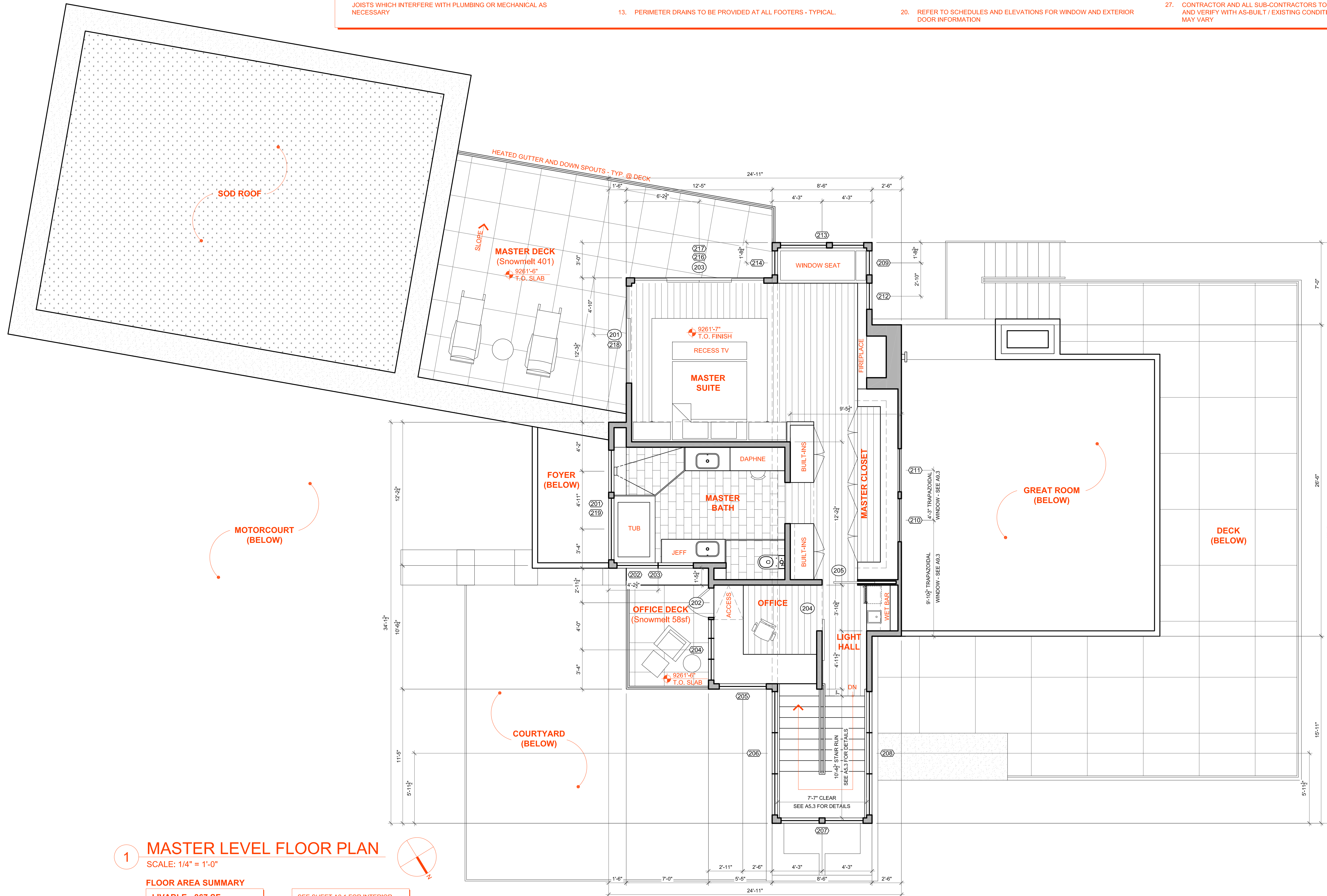
**MAIN LEVEL PLAN**

**A2.2**

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# FLOOR PLAN GENERAL NOTES

- CONTRACTOR AND ALL SUBCONTRACTORS TO REVIEW "GENERAL NOTES AND SPECIFICATIONS" PRIOR TO COMMENCEMENT OF ANY WORK
- CONTRACTOR TO REVIEW AND COMPARE ALL REFERENCED AND INTERDISCIPLINARY DRAWINGS AS WELL AS EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT PRIOR TO ANY EXECUTION OF WORK
- ALL DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF FRAMING
- BLOCKING TO BE PROVIDED FOR ALL CABINETS AND WALL MOUNTED ACCESSORIES AS WELL AS NON-STRUCTURAL MEMBERS
- TYPE 'X' GYPSUM WALL BOARD AT ALL RATED MECHANICAL LOCATIONS AND GARAGE IF ADJACENT TO LIVING SPACE
- ALL FRAMING LAYOUTS TO FOLLOW STRUCTURAL PLANS, HEADER ALL JOISTS WHICH INTERFERE WITH PLUMBING OR MECHANICAL AS NECESSARY
- REFER TO STRUCTURAL FOR STONE SUPPORTS. ALL STONE SUPPORT TO BE 6" MIN. BELOW FINISHED GRADE
- WHERE APPLICABLE, ALL WINDOW WELLS TO BE 36" MINIMUM CLEAR. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
- ALL EGRESS WINDOW OPENINGS TO BE 42" MAXIMUM FROM FINISHED FLOOR TO BOTTOM OF OPENING. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
- ALL ROOFS TO BE SHOVELED AT 6" OR MORE SNOW ACCUMULATION.
- ALL VALLEYS, LOW PITCHED ROOFS, GUTTERS AND DOWNSPOUTS TO BE HEATED - TYP.
- ALL WINDOW WELLS, PLANTERS AND ANY HARDSCAPE REQUIRING DRAINAGE TO BE DRAINED TO DAYLIGHT - TYP. UNO.
- PERIMETER DRAINS TO BE PROVIDED AT ALL FOOTERS - TYPICAL.
- BUILT IN CABINETRY SHOWN IN PLAN FOR LAYOUT AND QUANTITATIVE PURPOSES
- FURR WALLS AS NECESSARY FOR ALIGNMENT WITH SOFFITS AND SURROUNDING WALLS, SPRING POINTS, ETC - TYP. FOR CLEAN CONDITIONS
- INTERIOR CASING TO REMAIN FULL PROFILE AROUND OPENINGS; ADJUST OPENING LOCATION AS NECESSARY AND NOTIFY ARCHITECT.
- WHERE APPLICABLE, REFER TO REFLECTED CEILING PLANS FOR TIMBER RAFTER AND TIMBER TRELLIS SPACING - TYP.
- ALL INTERIOR DOORS AND OPENINGS TO BE CENTERED WITHIN THEIR RESPECTIVE SPACES TYP. UNO
- REFER TO STRUCTURALS, DETAILS & NOTES FOR CONSTRUCTION ASSEMBLIES
- REFER TO SCHEDULES AND ELEVATIONS FOR WINDOW AND EXTERIOR DOOR INFORMATION
- WHERE APPLICABLE, REFER TO MECHANICAL DIAGRAM DRAWINGS FOR EXTERIOR SNOW-MELT AREAS
- ALL FRAMING TO BE 2X4 UNO. PLUMBING WALLS TO BE 2X6 UNO. ALL FURRING AT CONCRETE WALLS TO BE FLAT FURRING (1 1/2") UNO.
- REFER TO LARGER SCALE GRAPHICS FOR SPECIFIC INFORMATION
- CLEARANCES TO PLUMBING FIXTURES TO BE 32-36" MIN. - TYP AT ALL CONDITIONS
- ALL EXTERIOR SPACES (TERRACES, PATIOS, BALCONIES, DECKS, ETC.) SHALL HAVE A MIN. FINISH FLOOR 1" BELOW INTERIOR FINISH FLOOR - TYP. AND SHALL SLOPE AWAY FROM THE BUILDING
- ALL INTERIOR FINISH FLOORS TO BE FLUSH AT EACH LEVEL - ADJUST SLAB / FRAMING AS NECESSARY
- CONTRACTOR AND ALL SUB-CONTRACTORS TO REVIEW ALL DRAWINGS AND VERIFY WITH AS-BUILT / EXISTING CONDITIONS AS DIMENSIONS MAY VARY



**1 MASTER LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FLOOR AREA SUMMARY**  
LIVABLE - 867 SF

SEE SHEET A2.1 FOR INTERIOR DOOR SCHEDULES

submissions	
05.11.2020	LOWER LEVEL REDESIGN
05.19.2020	LOWER LEVEL SCHEME B
06.10.2020	CAD PLAN   PLAN COORD.
06.23.2020	3D MODEL
06.25.2020	DRB PRE-APP
07.08.2020	DRB 1
08.17.2020	DRB 1 CONDITIONS

## ONDR RESIDENCE

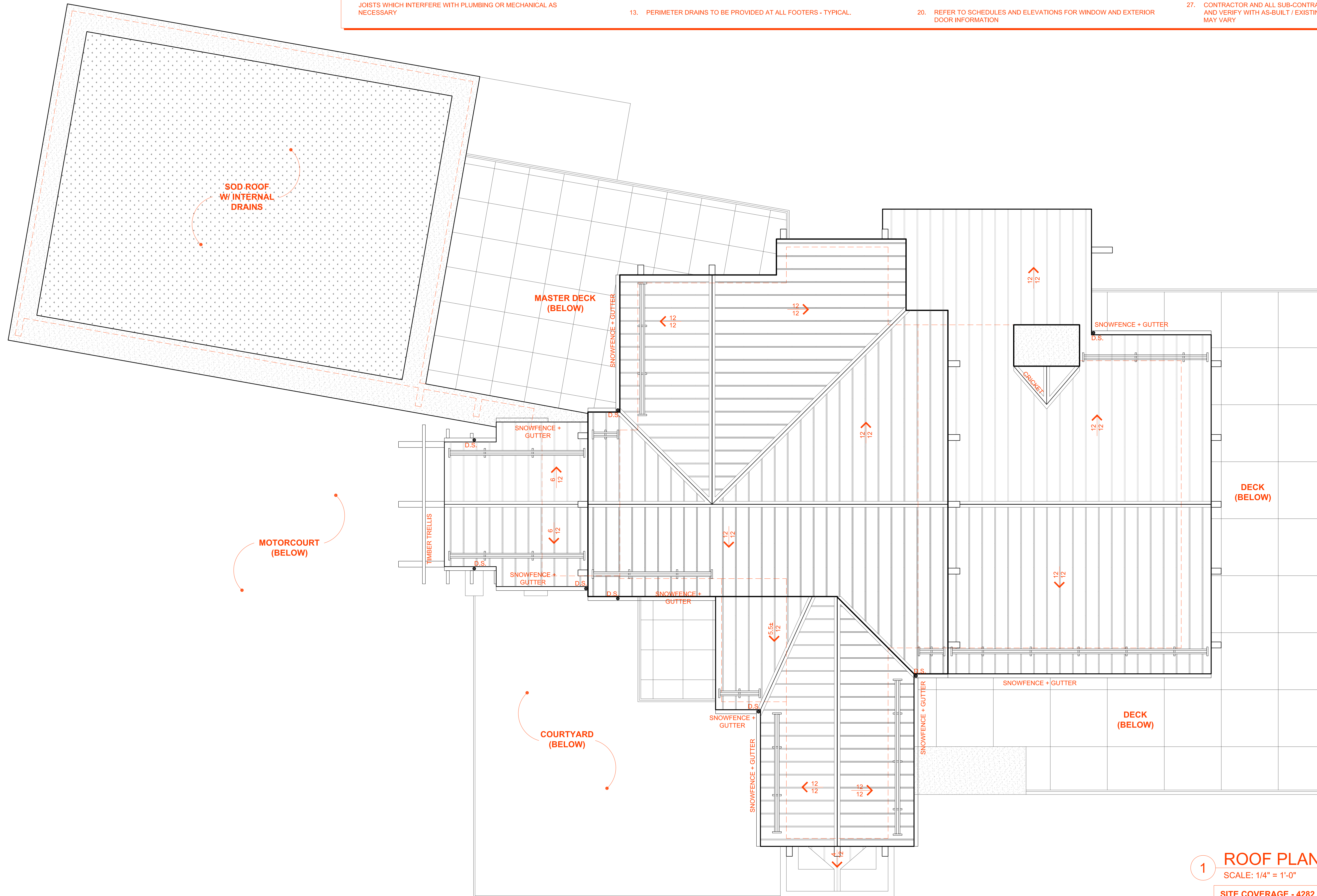
LOT 630  
DOUBLE EAGLE DR  
MOUNTAIN VILLAGE

## MASTER LEVEL PLAN

# A2.3

# FLOOR PLAN GENERAL NOTES

- CONTRACTOR AND ALL SUBCONTRACTORS TO REVIEW "GENERAL NOTES AND SPECIFICATIONS" PRIOR TO COMMENCEMENT OF ANY WORK
- CONTRACTOR TO REVIEW AND COMPARE ALL REFERENCED AND INTERDISCIPLINARY DRAWINGS AS WELL AS EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT PRIOR TO ANY EXECUTION OF WORK
- ALL DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF FRAMING
- BLOCKING TO BE PROVIDED FOR ALL CABINETS AND WALL MOUNTED ACCESSORIES AS WELL AS NON-STRUCTURAL MEMBERS
- TYPE 'X' GYPSUM WALL BOARD AT ALL RATED MECHANICAL LOCATIONS AND GARAGE IF ADJACENT TO LIVING SPACE
- ALL FRAMING LAYOUTS TO FOLLOW STRUCTURAL PLANS, HEADER ALL JOISTS WHICH INTERFERE WITH PLUMBING OR MECHANICAL AS NECESSARY
- REFER TO STRUCTURAL FOR STONE SUPPORTS. ALL STONE SUPPORT TO BE 6" MIN. BELOW FINISHED GRADE
- WHERE APPLICABLE, ALL WINDOW WELLS TO BE 36" MINIMUM CLEAR. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
- ALL EGRESS WINDOW OPENINGS TO BE 42" MAXIMUM FROM FINISHED FLOOR TO BOTTOM OF OPENING. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
- ALL ROOFS TO BE SHOVELED AT 6" OR MORE SNOW ACCUMULATION.
- ALL VALLEYS, LOW PITCHED ROOFS, GUTTERS AND DOWNSPOUTS TO BE HEATED - TYP.
- ALL WINDOW WELLS, PLANTERS AND ANY HARDSCAPE REQUIRING DRAINAGE TO BE DRAINED TO DAYLIGHT - TYP. UNO.
- PERIMETER DRAINS TO BE PROVIDED AT ALL FOOTERS - TYPICAL.
- BUILT IN CABINETS SHOWN IN PLAN FOR LAYOUT AND QUANTITATIVE PURPOSES
- FURR WALLS AS NECESSARY FOR ALIGNMENT WITH SOFFITS AND SURROUNDING WALLS, SPRING POINTS, ETC - TYP. FOR CLEAN CONDITIONS
- INTERIOR CASING TO REMAIN FULL PROFILE AROUND OPENINGS; ADJUST OPENING LOCATION AS NECESSARY AND NOTIFY ARCHITECT.
- WHERE APPLICABLE, REFER TO REFLECTED CEILING PLANS FOR TIMBER RAFTER AND TIMBER TRELLIS SPACING - TYP.
- ALL INTERIOR DOORS AND OPENINGS TO BE CENTERED WITHIN THEIR RESPECTIVE SPACES TYP. UNO
- REFER TO STRUCTURALS, DETAILS & NOTES FOR CONSTRUCTION ASSEMBLIES
- REFER TO SCHEDULES AND ELEVATIONS FOR WINDOW AND EXTERIOR DOOR INFORMATION
- WHERE APPLICABLE, REFER TO MECHANICAL DIAGRAM DRAWINGS FOR EXTERIOR SNOW-MELT AREAS
- ALL FRAMING TO BE 2X4 UNO. PLUMBING WALLS TO BE 2X6 UNO. ALL FURRING AT CONCRETE WALLS TO BE FLAT FURRING (1 1/2") UNO.
- REFER TO LARGER SCALE GRAPHICS FOR SPECIFIC INFORMATION
- CLEARANCES TO PLUMBING FIXTURES TO BE 32-36" MIN. - TYP AT ALL CONDITIONS
- ALL EXTERIOR SPACES (TERRACES, PATIOS, BALCONIES, DECKS, ETC.) SHALL HAVE A MIN. FINISH FLOOR 1" BELOW INTERIOR FINISH FLOOR - TYP. AND SHALL SLOPE AWAY FROM THE BUILDING
- ALL INTERIOR FINISH FLOORS TO BE FLUSH AT EACH LEVEL - ADJUST SLAB / FRAMING AS NECESSARY
- CONTRACTOR AND ALL SUB-CONTRACTORS TO REVIEW ALL DRAWINGS AND VERIFY WITH AS-BUILT / EXISTING CONDITIONS AS DIMENSIONS MAY VARY



1 ROOF PLAN  
SCALE: 1/4" = 1'-0"  
SITE COVERAGE - 4282 SF

submissions	
05.11.2020	LOWER LEVEL REDESIGN
05.19.2020	LOWER LEVEL SCHEME B
06.10.2020	CAD PLAN   PLAN COORD.
06.23.2020	3D MODEL
06.25.2020	DRB PRE-APP
07.08.2020	DRB 1
08.17.2020	DRB 1 CONDITIONS

**ONDR RESIDENCE**  
LOT 630  
DOUBLE EAGLE DR  
MOUNTAIN VILLAGE

**ROOF PLAN**

**A2.4**

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submissions	05.11.2020	LOWER LEVEL REDESIGN
	05.19.2020	LOWER LEVEL SCHEME B
	06.10.2020	CAD PLAN   PLAN COORD.
	06.23.2020	3D MODEL
	06.25.2020	DRB PRE-APP
	07.08.2020	DRB 1
	08.17.2020	DRB 1 CONDITIONS

# ONDR RESIDENCE

LOT 630  
DOUBLE EAGLE DR  
MOUNTAIN VILLAGE

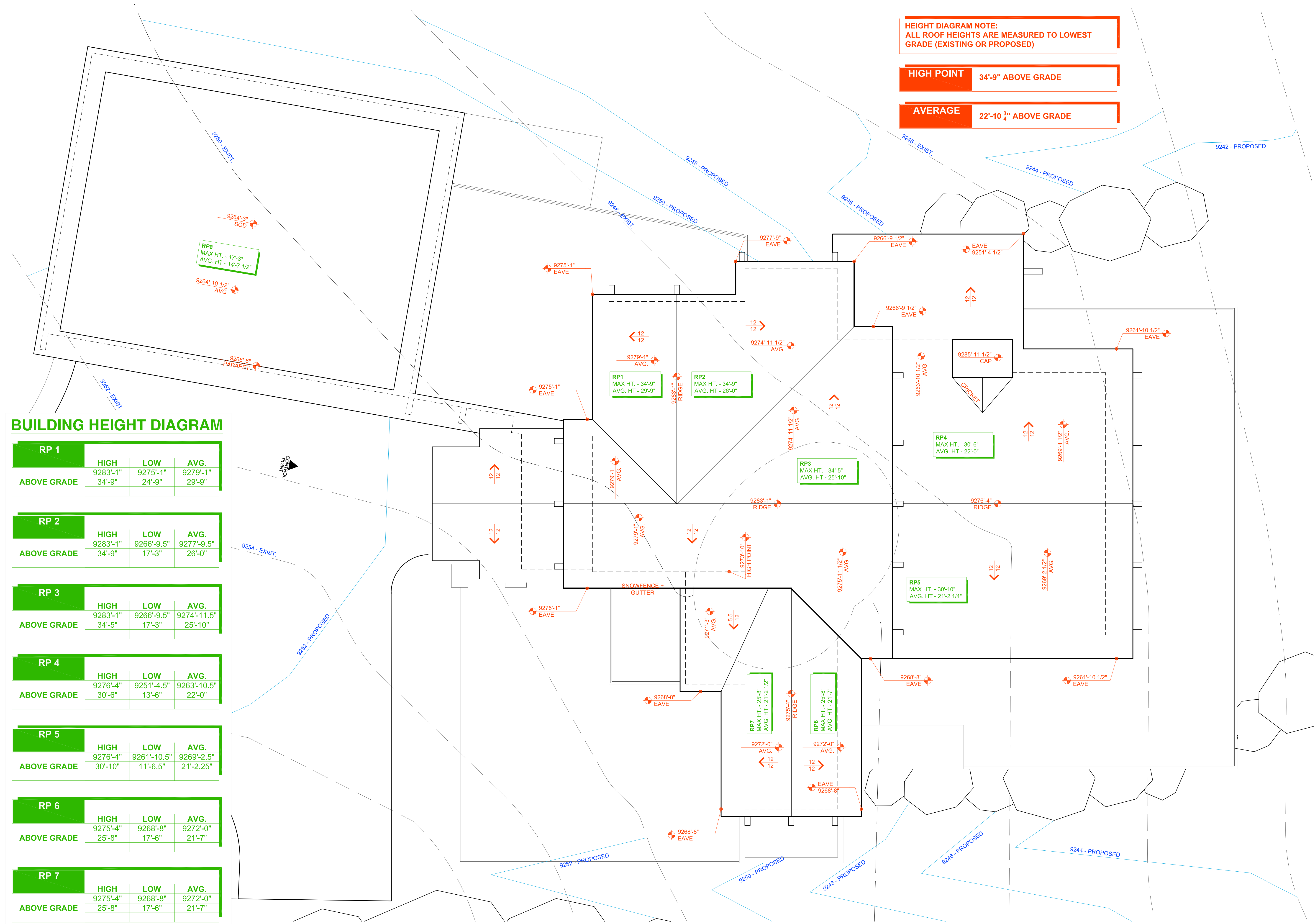
## ROOF HEIGHT CALCS.

# A2.5

**HEIGHT DIAGRAM NOTE:**  
ALL ROOF HEIGHTS ARE MEASURED TO LOWEST GRADE (EXISTING OR PROPOSED)

**HIGH POINT** 34'-9" ABOVE GRADE

**AVERAGE** 22'-10 3/4" ABOVE GRADE



### BUILDING HEIGHT DIAGRAM

RP 1	HIGH	LOW	AVG.
ABOVE GRADE	9283'-1"	9275'-1"	9279'-1"
	34'-9"	24'-9"	29'-9"

RP 2	HIGH	LOW	AVG.
ABOVE GRADE	9283'-1"	9266'-9.5"	9277'-9.5"
	34'-9"	17'-3"	26'-0"

RP 3	HIGH	LOW	AVG.
ABOVE GRADE	9283'-1"	9266'-9.5"	9274'-11.5"
	34'-5"	17'-3"	25'-10"

RP 4	HIGH	LOW	AVG.
ABOVE GRADE	9276'-4"	9251'-4.5"	9263'-10.5"
	30'-6"	13'-6"	22'-0"

RP 5	HIGH	LOW	AVG.
ABOVE GRADE	9276'-4"	9261'-10.5"	9269'-2.5"
	30'-10"	11'-6.5"	21'-2.25"

RP 6	HIGH	LOW	AVG.
ABOVE GRADE	9275'-4"	9268'-8"	9272'-0"
	25'-8"	17'-6"	21'-7"

RP 7	HIGH	LOW	AVG.
ABOVE GRADE	9275'-4"	9268'-8"	9272'-0"
	25'-8"	17'-6"	21'-7"

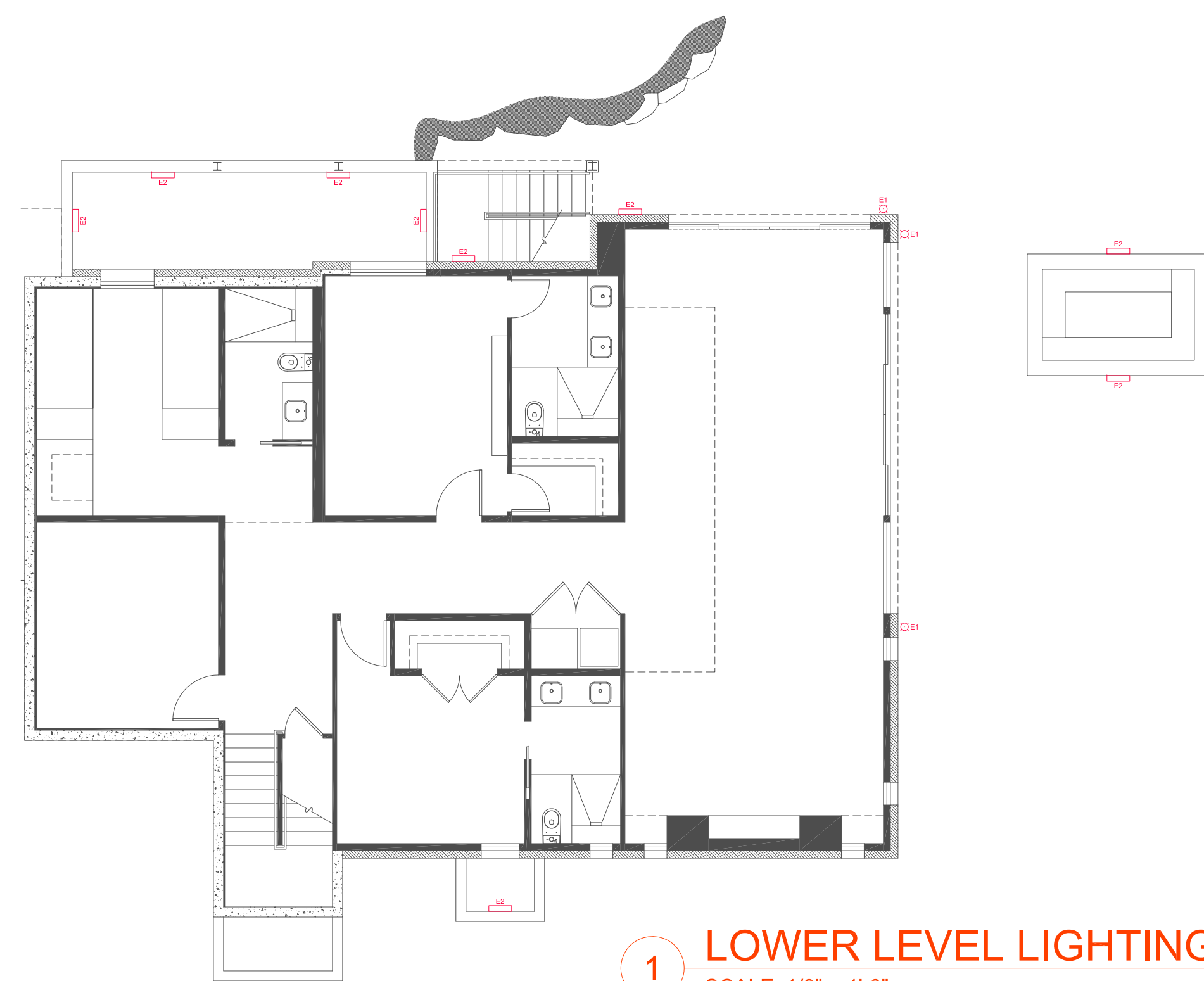
  

RP 8	HIGH	LOW	AVG.
ABOVE GRADE	9265'-6"	9264'-3"	9254'-10.5"
	25'-8"	17'-6"	21'-7"
	17'-3"	12'-0"	14'-7.5"

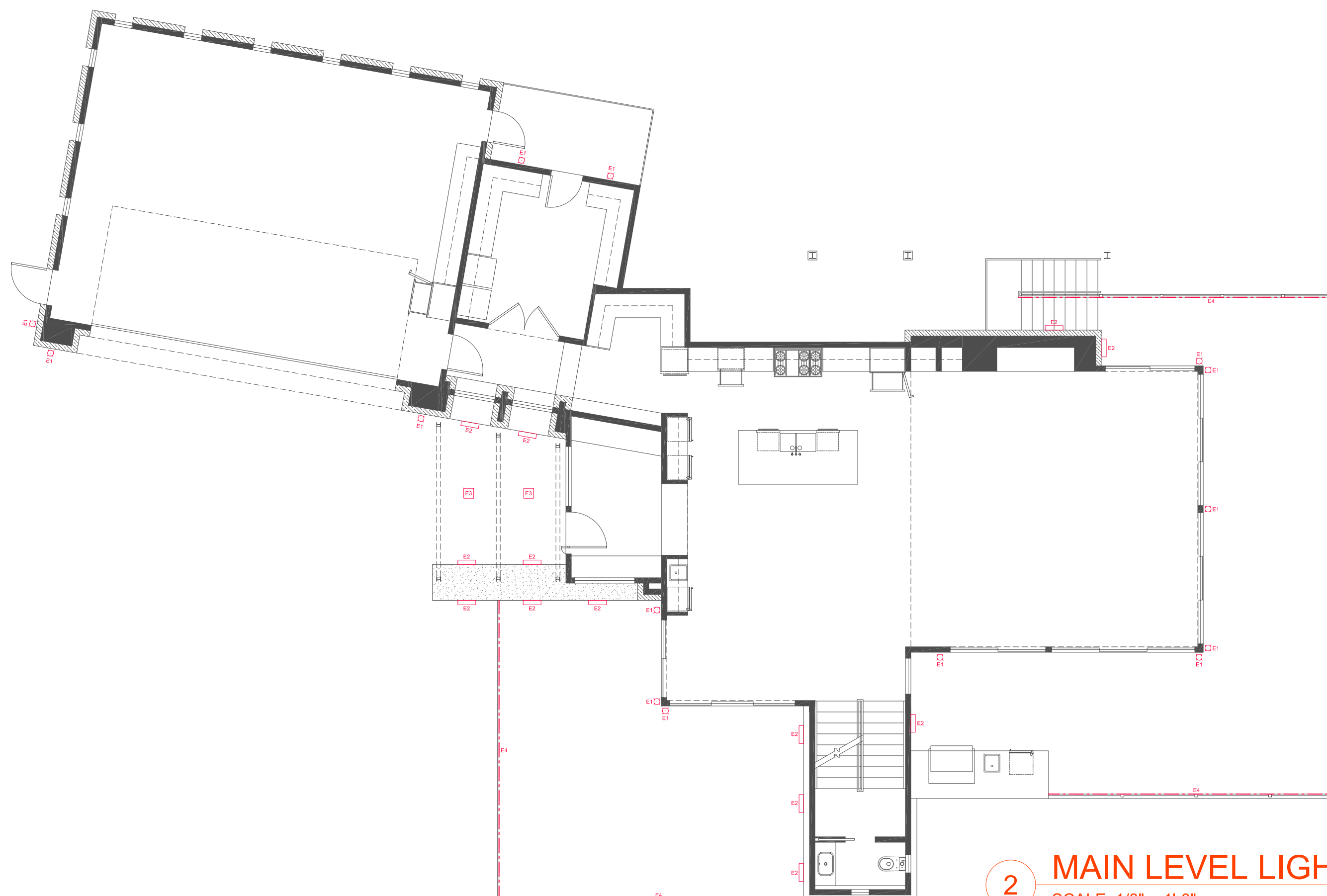
1 ROOF HEIGHT DIAGRAM  
SCALE: 1/4" = 1'-0"

**EXTERIOR LIGHTING TABLE**

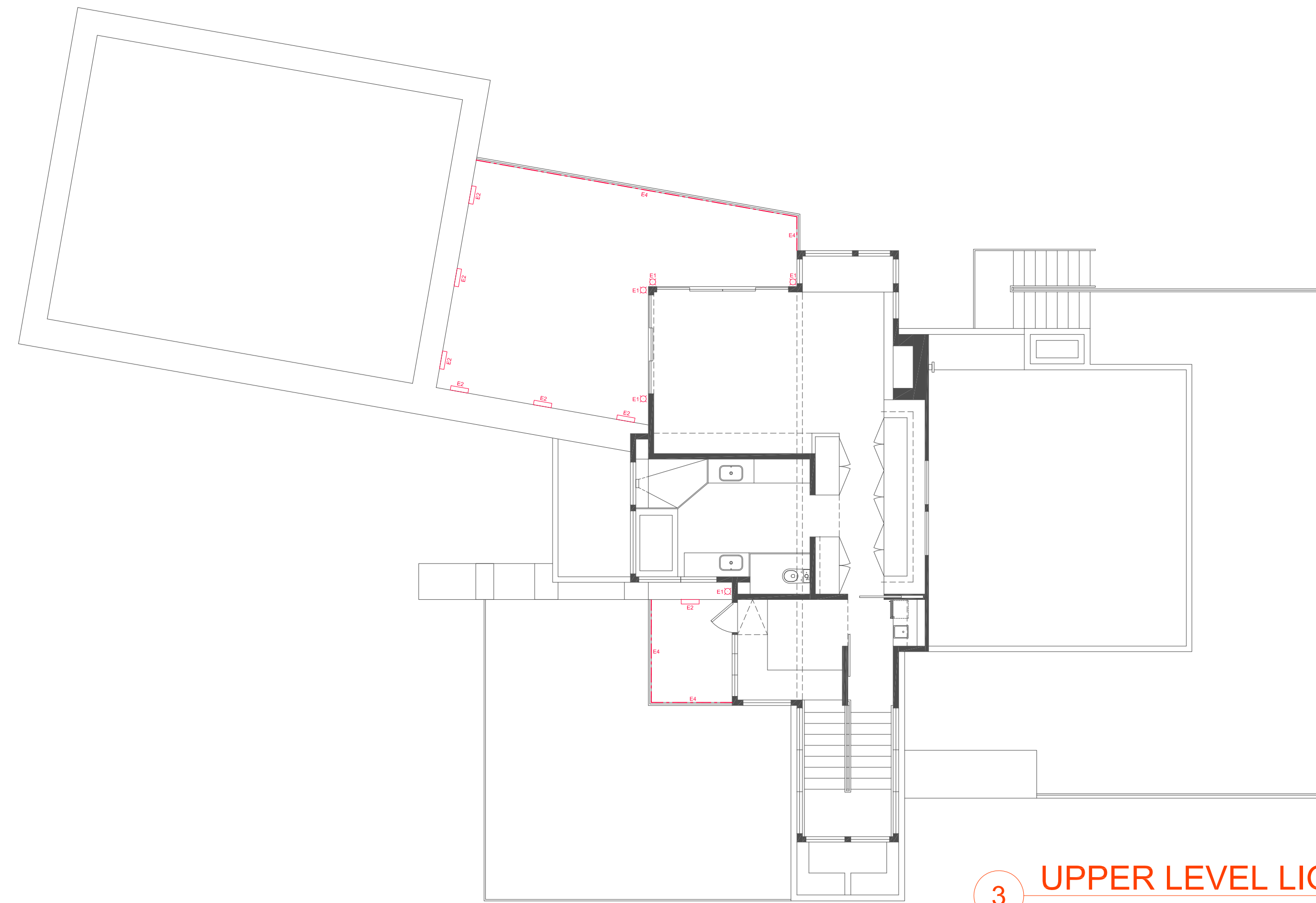
FIXTURE	MFR.	QTY.	WATTS	LUMENS
E1	TBD	22	14	1000 MAX
E2	TBD	29	1.5	120
E3	TBD	2	20	1000 MAX
E4	LED	4	48	230



**1 LOWER LEVEL LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"



**2 MAIN LEVEL LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"



**3 UPPER LEVEL LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"

submissions	
05.11.2020	LOWER LEVEL REDESIGN
05.19.2020	LOWER LEVEL SCHEME B
06.10.2020	CAD PLAN   PLAN COORD.
06.23.2020	3D MODEL
06.25.2020	DRB PRE-APP
07.08.2020	DRB 1
08.17.2020	DRB 1 CONDITIONS

**ONDR RESIDENCE**  
LOT 630  
DOUBLE EAGLE DR  
MOUNTAIN VILLAGE

**EXTERIOR LIGHTING PLAN**

**A2.L**



**DRY-STACK STONE VENEER**  
(75% GREY | 25% BLACK)

A



**STEEL MESH RAIL**  
(BLACK)

B



**HOR. WOOD SIDING**  
(STAINED - OXFORD BROWN)

C



**STEEL ACCENTS**  
(PAINTED BLACK)

D



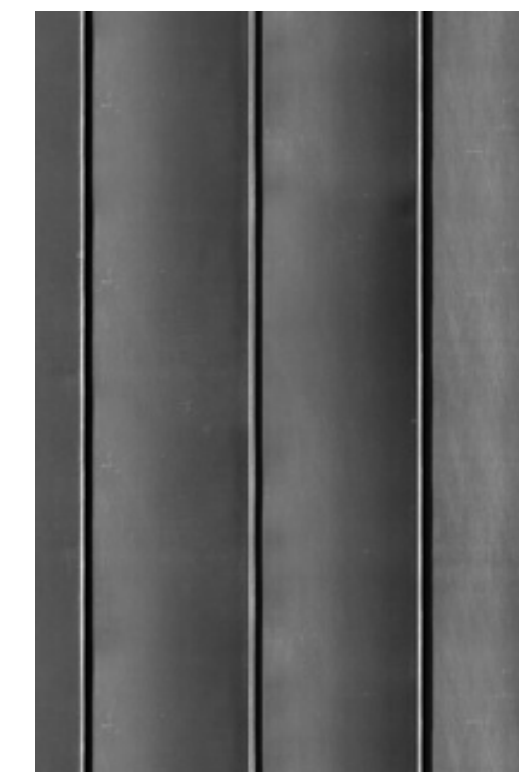
**VERT. WOOD SIDING**  
(WHITEWASHED)

E



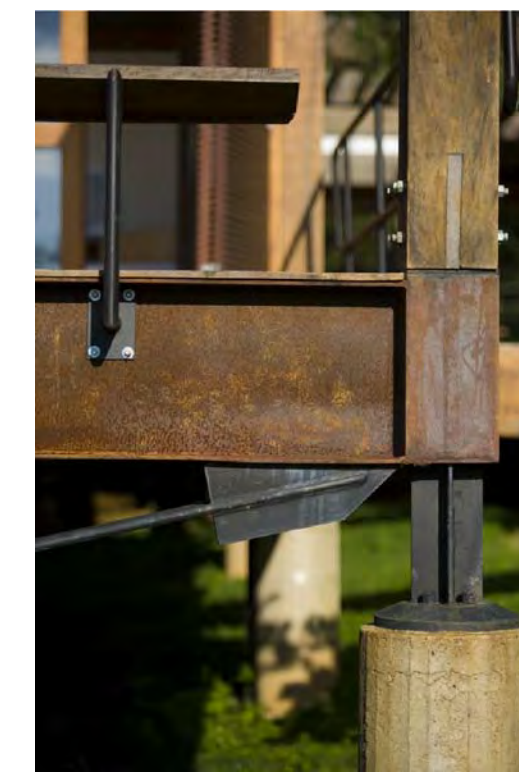
**CLAD OPENINGS**  
(BLACK)

F



**STANDING SEAM**  
(BLACK)

G

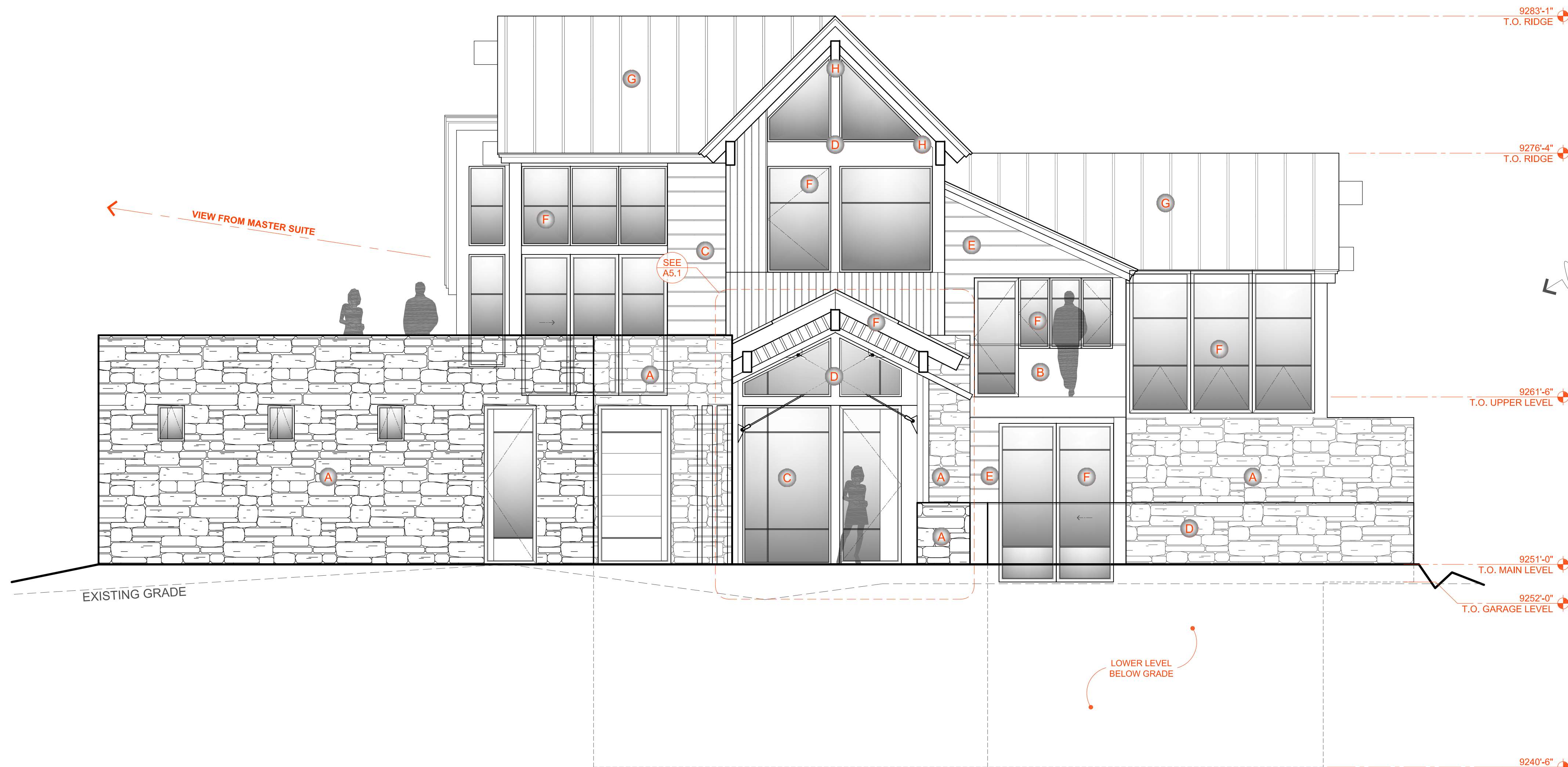


**TIMBER / STEEL ACC.**

H

40' HEIGHT LIMIT AT HIGHEST RIDGE  
GRADE MEASURED VERTICALLY BELOW HIGH RIDGE

WILSON / SUNSHINE VIEWS



**1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

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submissions	
05.11.2020	LOWER LEVEL REDESIGN
05.19.2020	LOWER LEVEL SCHEME B
06.10.2020	CAD PLAN   PLAN COORD.
06.23.2020	3D MODEL
06.28.2020	DRB PRE-APP
07.08.2020	DRB 1
08.17.2020	DRB 1 CONDITIONS

# ONDR RESIDENCE

LOT 630  
DOUBLE EAGLE DR  
MOUNTAIN VILLAGE

## EXTERIOR ELEVATIONS & MATERIALS

# A3.1





**DRY-STACK STONE VENEER**  
(75% GREY | 25% BLACK)

A



**STEEL MESH RAIL**  
(BLACK)

B



**HOR. WOOD SIDING**  
(STAINED - OXFORD BROWN)

C



**STEEL ACCENTS**  
(PAINTED BLACK)

D



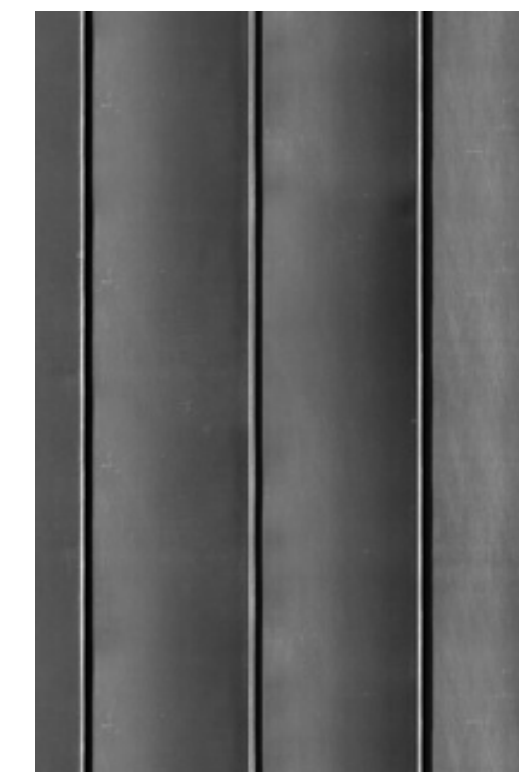
**VERT. WOOD SIDING**  
(WHITEWASHED)

E



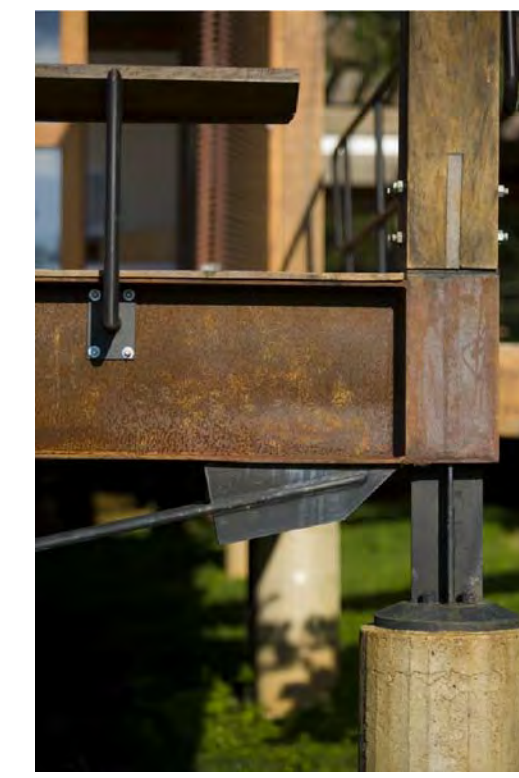
**CLAD OPENINGS**  
(BLACK)

F



**STANDING SEAM**  
(BLACK)

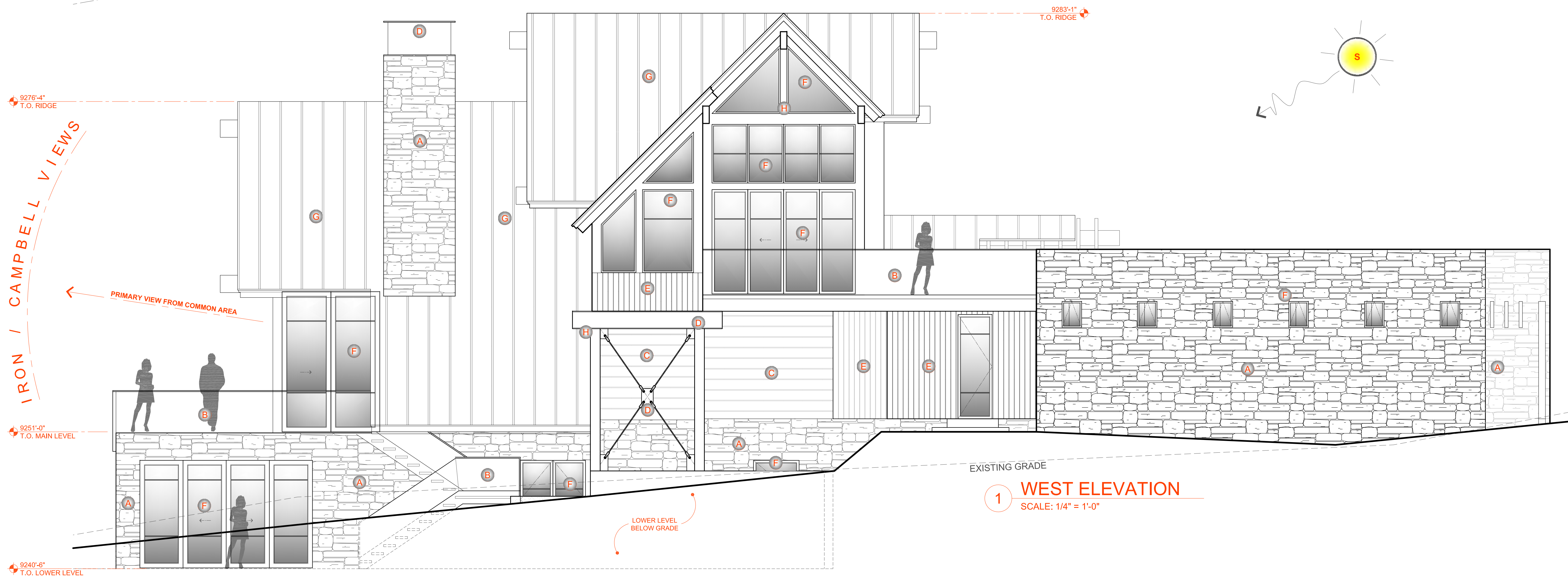
G



**TIMBER / STEEL ACC.**

H

40' HEIGHT LIMIT AT HIGHEST RIDGE  
GRADE MEASURED VERTICALLY BELOW HIGH RIDGE



**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

IRON / CAMPBELL VIEWS

submissions	
05.11.2020	LOWER LEVEL REDESIGN
05.19.2020	LOWER LEVEL SCHEME B
06.10.2020	CAD PLAN   PLAN COORD.
06.23.2020	3D MODEL
06.25.2020	DRB PRE-APP
07.08.2020	DRB 1
08.17.2020	DRB 1 CONDITIONS

**ONDR RESIDENCE**

LOT 630  
DOUBLE EAGLE DR  
MOUNTAIN VILLAGE

**EXTERIOR ELEVATIONS & MATERIALS**

**A3.2**



**DRY-STACK STONE VENEER**  
(75% GREY | 25% BLACK)

A



**STEEL MESH RAIL**  
(BLACK)

B



**HOR. WOOD SIDING**  
(STAINED - OXFORD BROWN)

C



**STEEL ACCENTS**  
(PAINTED BLACK)

D



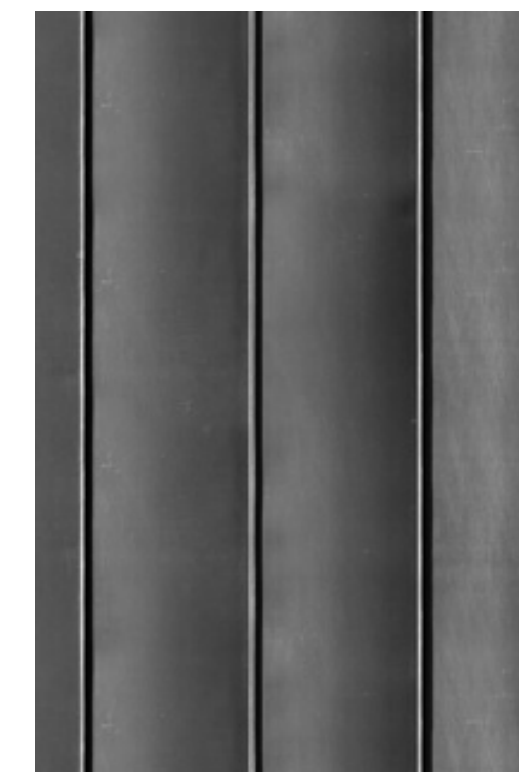
**VERT. WOOD SIDING**  
(WHITEWASHED)

E



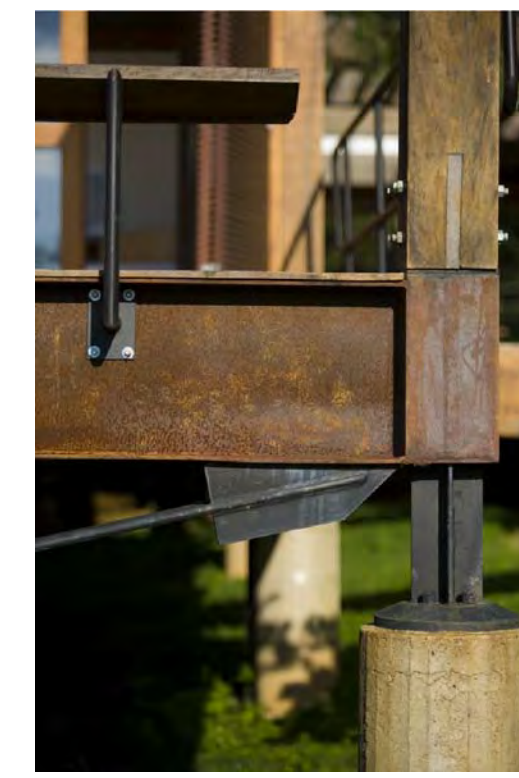
**CLAD OPENINGS**  
(BLACK)

F



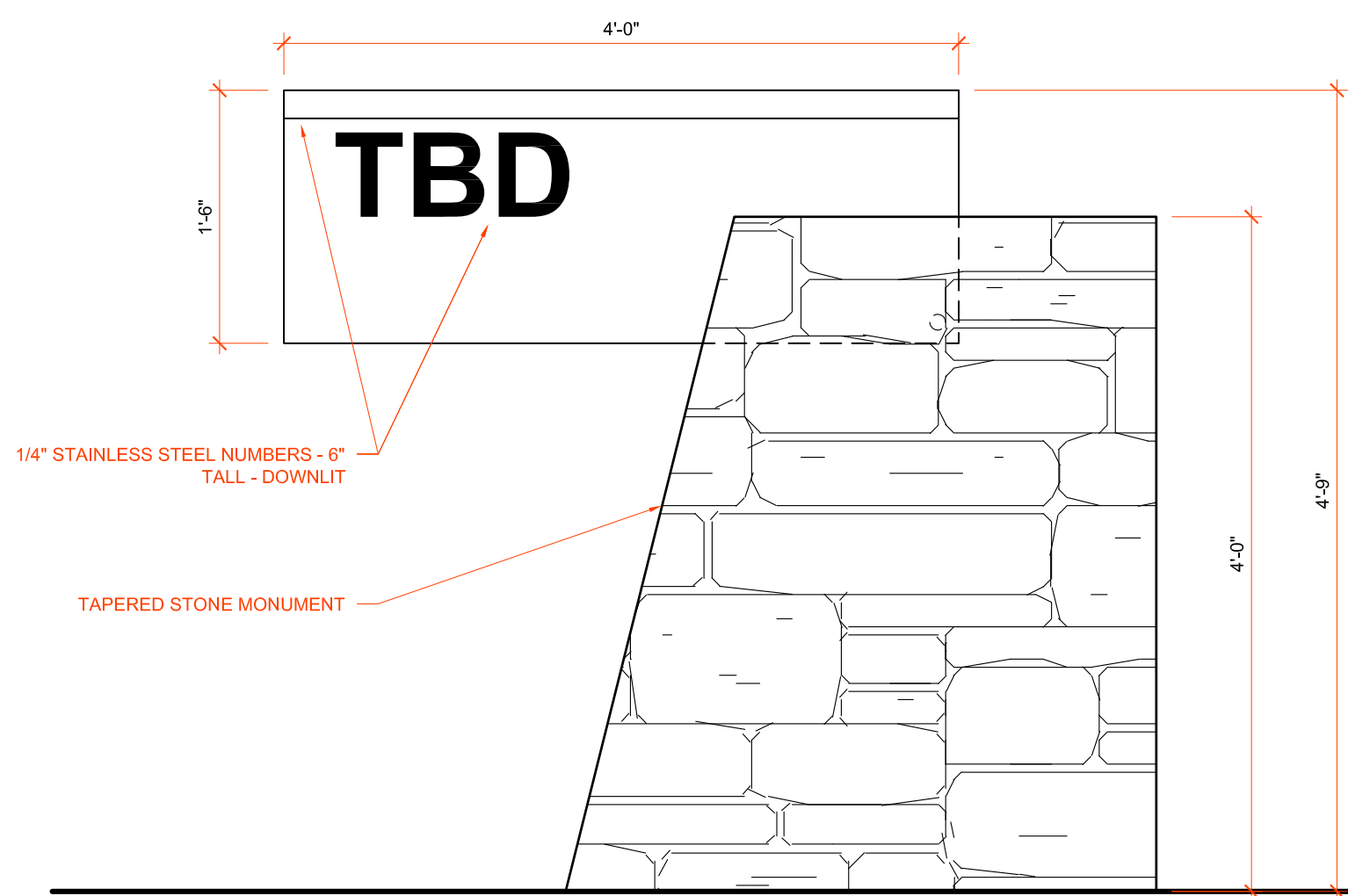
**STANDING SEAM**  
(BLACK)

G

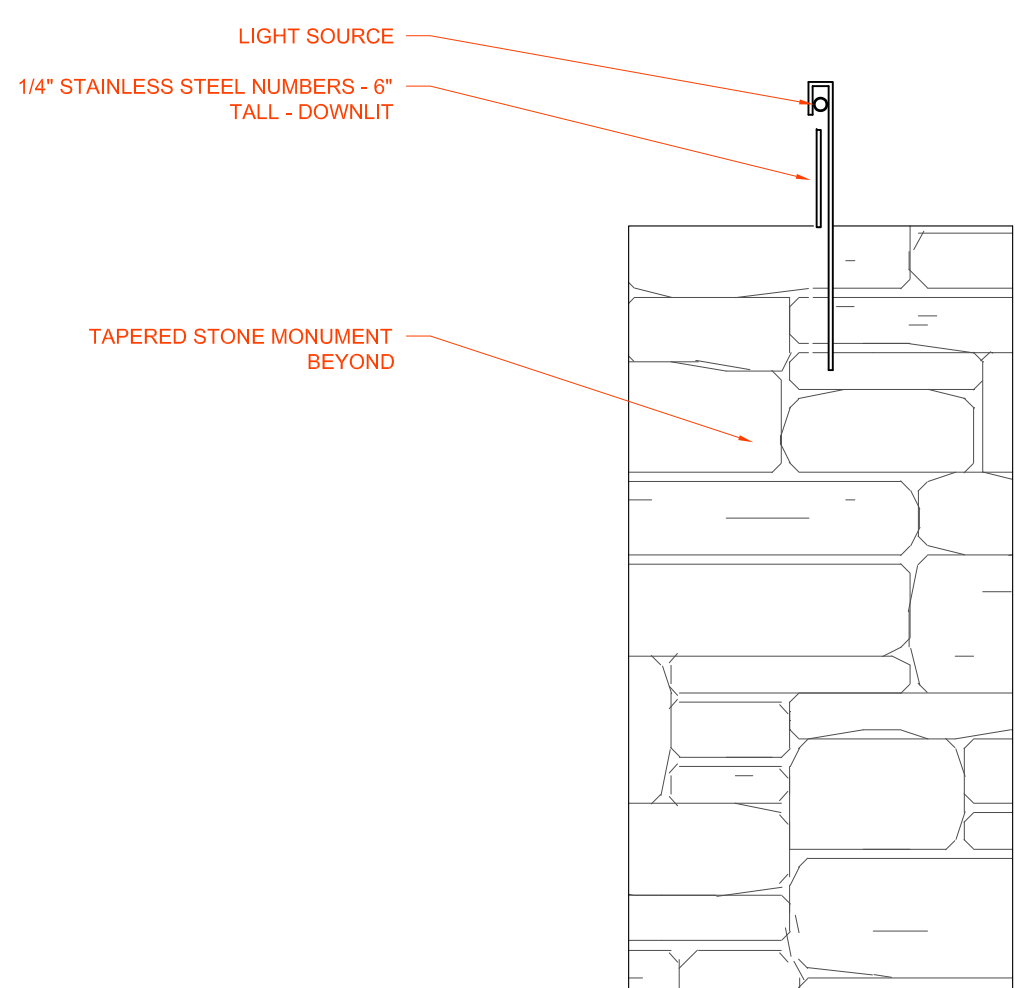


**TIMBER / STEEL ACC.**

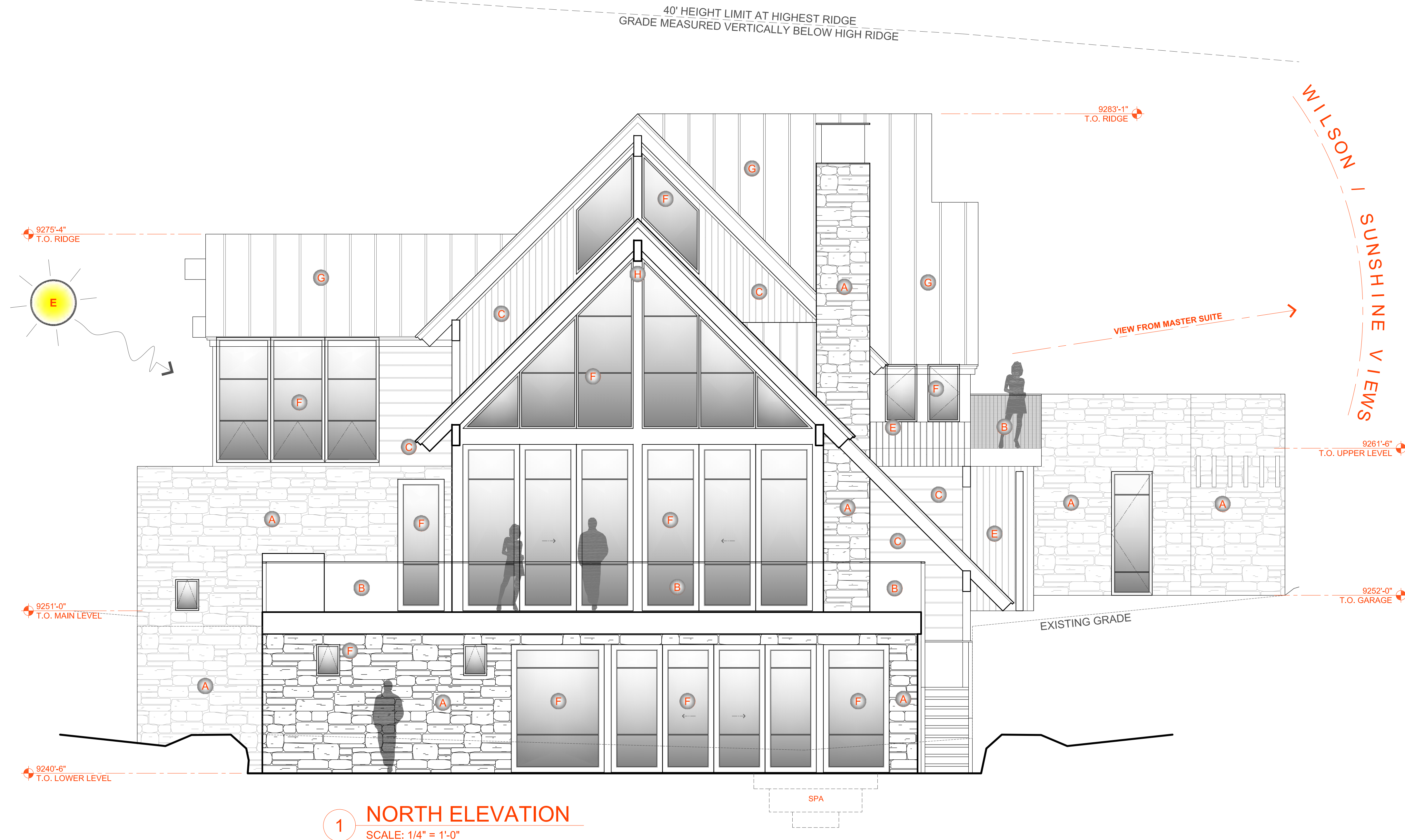
H



**2 ADDRESS MONUMENT - FRONT**  
SCALE: 1" = 1'-0"



**3 ADDRESS MONUMENT - SIDE**  
SCALE: 1" = 1'-0"



**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

submissions	LOWER LEVEL REDESIGN
05.11.2020	LOWER LEVEL SCHEME B
05.19.2020	CAD PLAN   PLAN COORD.
06.10.2020	3D MODEL
06.23.2020	DRB PRE-APP
06.28.2020	DRB 1
07.08.2020	DRB 1 CONDITIONS
08.17.2020	

**ONDR RESIDENCE**

LOT 630  
DOUBLE EAGLE DR  
MOUNTAIN VILLAGE

**EXTERIOR ELEVATIONS & MATERIALS**

**A3.3**



**DRY-STACK STONE VENEER**  
(75% GREY | 25% BLACK)

A



**STEEL MESH RAIL**  
(BLACK)

B



**HOR. WOOD SIDING**  
(STAINED - OXFORD BROWN)

C



**STEEL ACCENTS**  
(PAINTED BLACK)

D



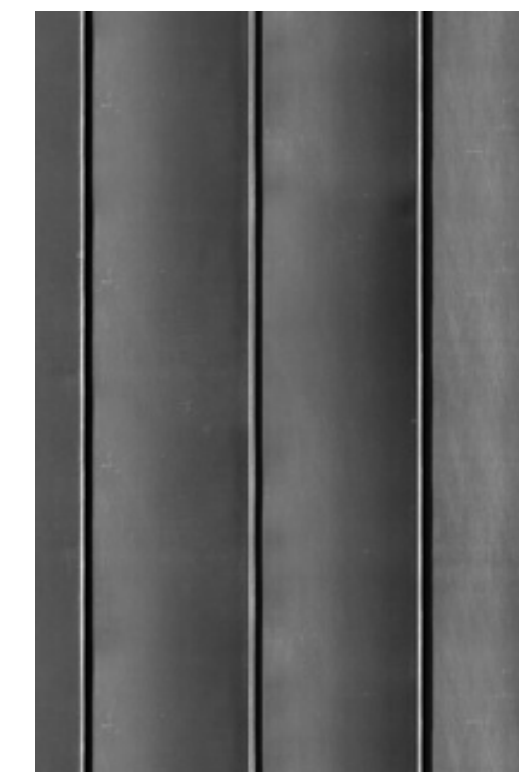
**VERT. WOOD SIDING**  
(WHITEWASHED)

E



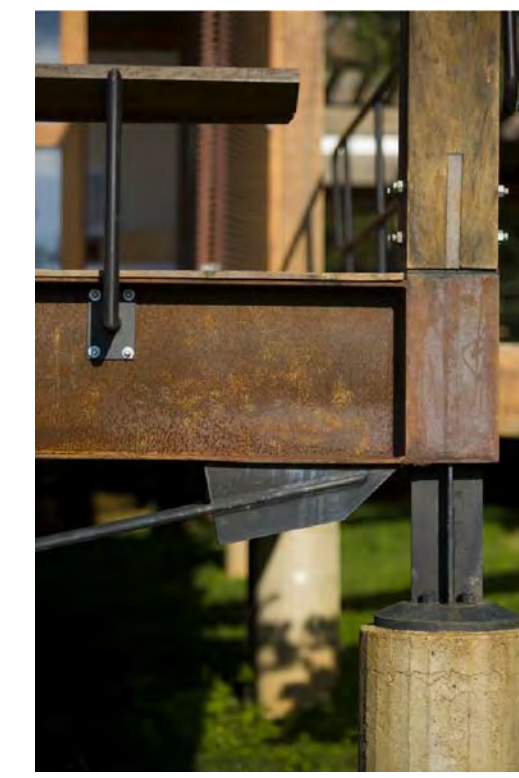
**CLAD OPENINGS**  
(BLACK)

F



**STANDING SEAM**  
(BLACK)

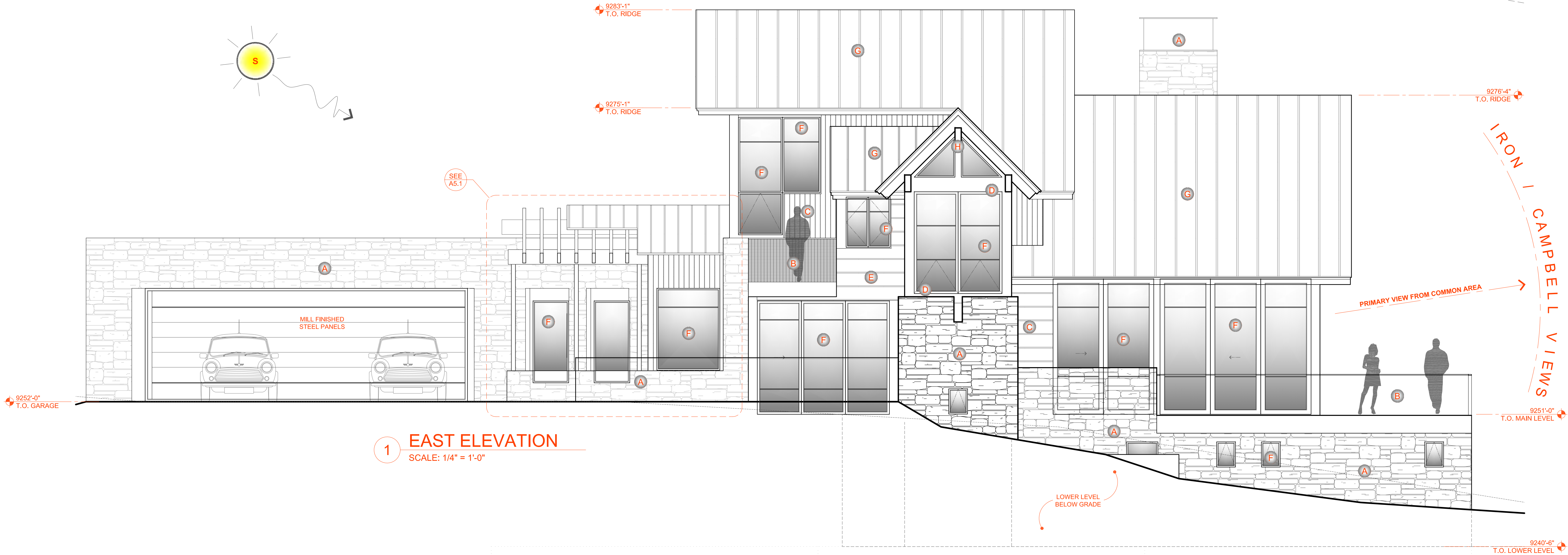
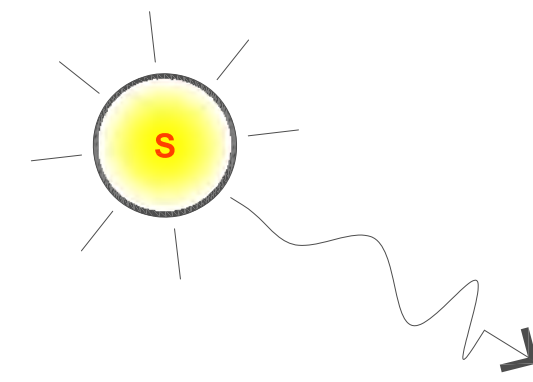
G



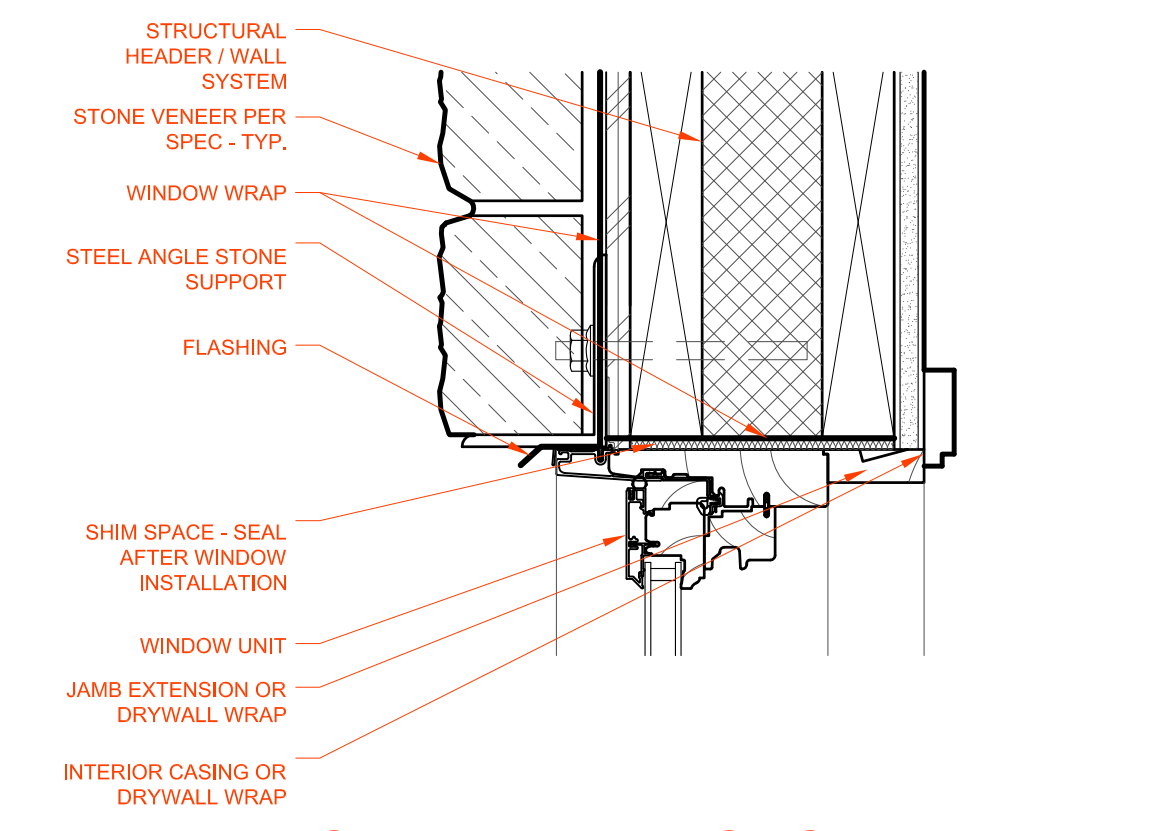
**TIMBER / STEEL ACC.**

H

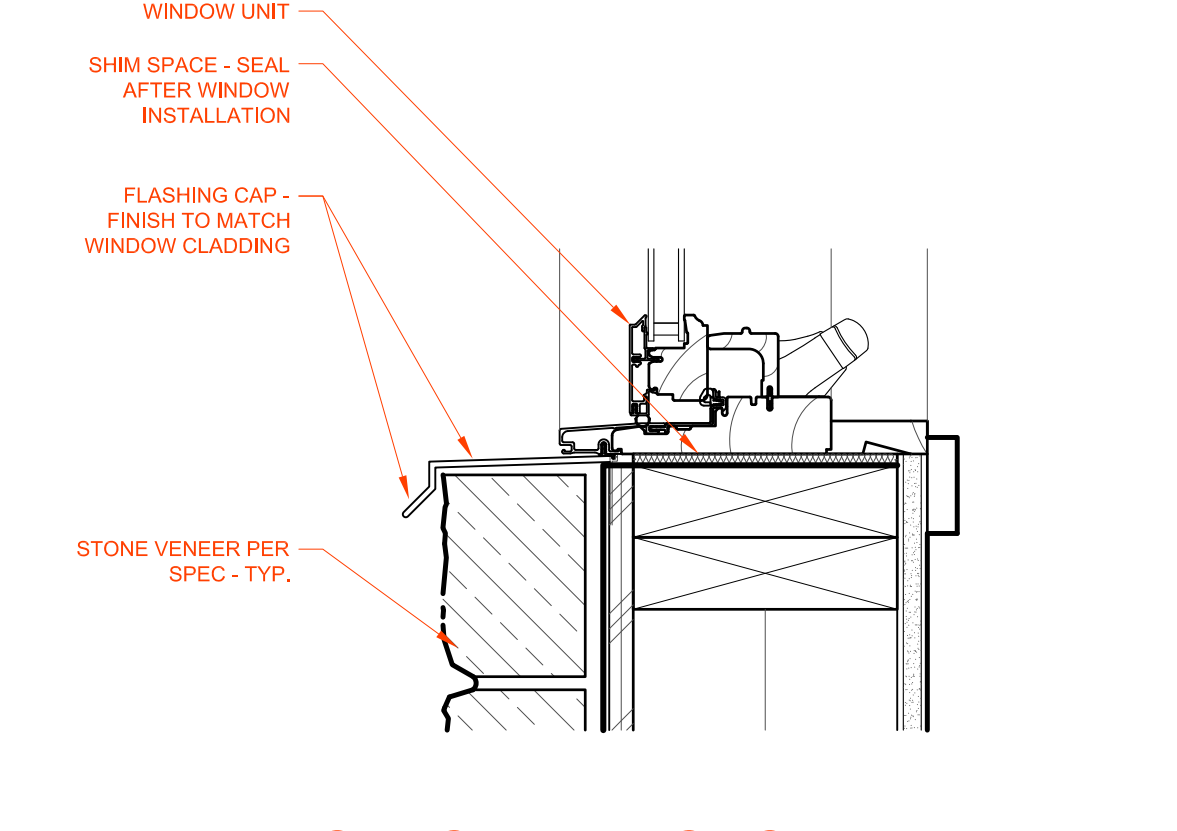
40' HEIGHT LIMIT AT HIGHEST RIDGE  
GRADE MEASURED VERTICALLY BELOW HIGH RIDGE



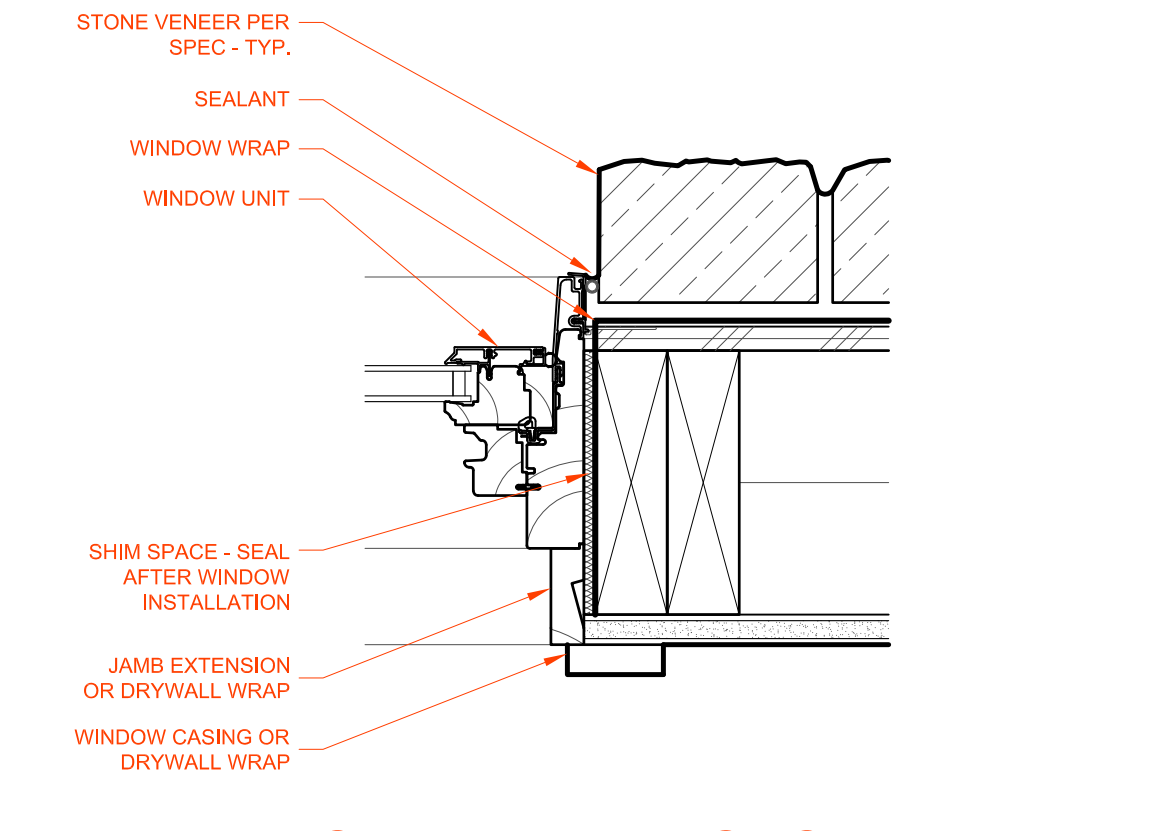
**1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 WINDOW HEAD AT STONE**  
SCALE: 3" = 1'-0" W-H-STONE



**3 WINDOW SILL AT STONE**  
SCALE: 3" = 1'-0" W-S-STONE



**4 WINDOW JAMB AT STONE**  
SCALE: 3" = 1'-0" W-J-STONE

submissions	LOWER LEVEL REDESIGN LOWER LEVEL SCHEME B CAD PLAN   PLAN COORD. 3D MODEL DRB PRE-APP DRB 1 DRB 1 CONDITIONS
05.11.2020	
05.19.2020	
06.10.2020	
06.23.2020	
06.25.2020	
07.08.2020	
08.17.2020	

**ONDR RESIDENCE**

LOT 630  
DOUBLE EAGLE DR  
MOUNTAIN VILLAGE

**EXTERIOR ELEVATIONS & MATERIALS**

**A3.4**



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submissions  
05.11.2020  
05.19.2020  
06.10.2020  
06.23.2020  
06.25.2020  
07.08.2020  
08.17.2020

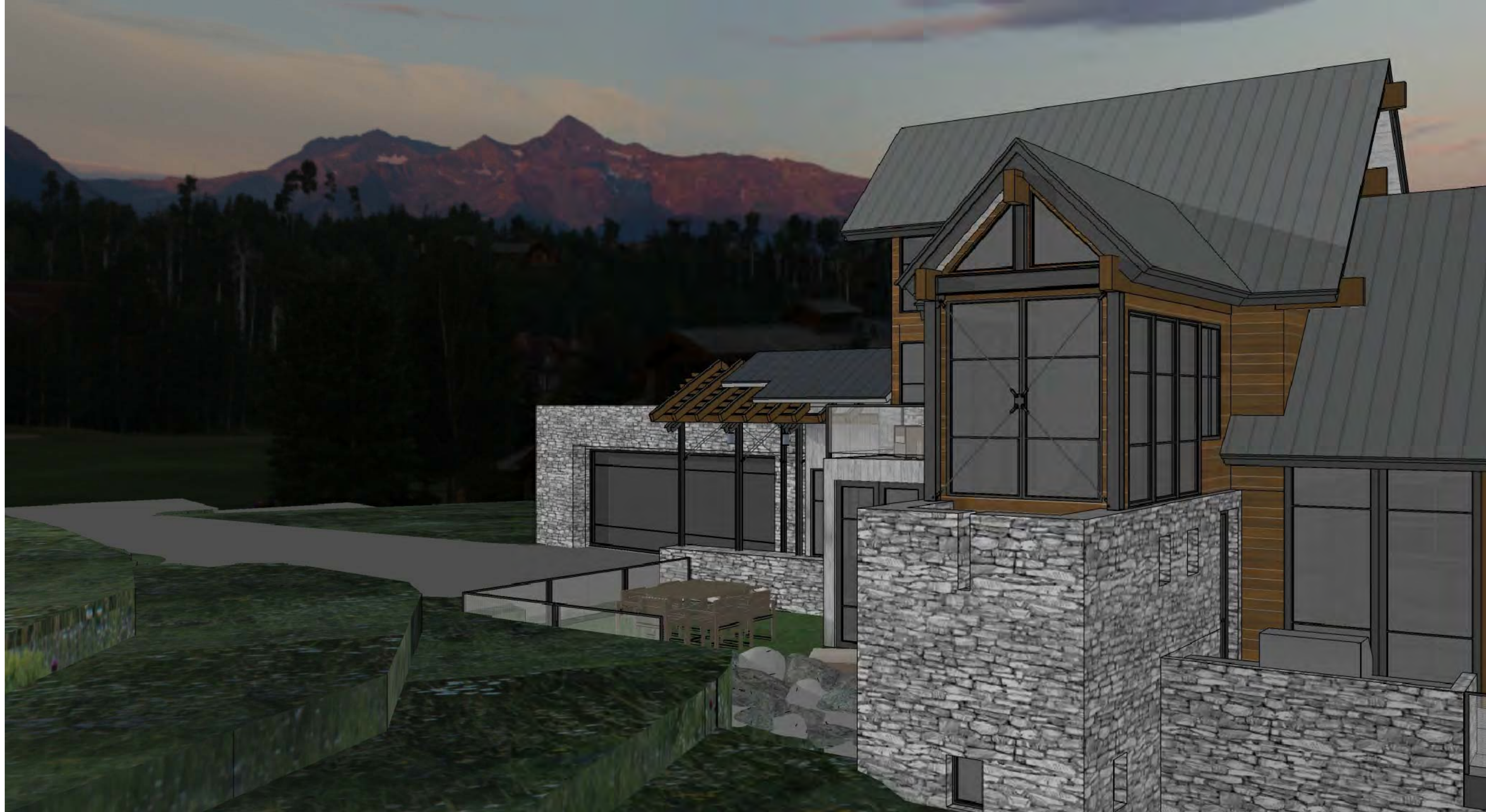
LOWER LEVEL REDESIGN  
LOWER LEVEL SCHEME B  
CAD PLAN | PLAN COORD.  
3D MODEL  
DRB PRE-APP  
DRB 1  
DRB 1 CONDITIONS

## **ONDR RESIDENCE**

**LOT 630  
DOUBLE EAGLE DR  
MOUNTAIN VILLAGE**

**MASSING  
PERSPECTIVES**

# **A3.5**



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submissions	
05.11.2020	LOWER LEVEL REDESIGN
05.19.2020	LOWER LEVEL SCHEME B
06.10.2020	CAD PLAN   PLAN COORD.
06.23.2020	3D MODEL
06.25.2020	DRB PRE-APP
07.08.2020	DRB 1
08.17.2020	DRB 1 CONDITIONS

## ONDR RESIDENCE

LOT 630  
DOUBLE EAGLE DR  
MOUNTAIN VILLAGE

MASSING  
PERSPECTIVES

A3.6



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submissions	
05.11.2020	LOWER LEVEL REDESIGN
05.19.2020	LOWER LEVEL SCHEME B
06.10.2020	CAD PLAN   PLAN COORD.
06.23.2020	3D MODEL
06.25.2020	DRB PRE-APP
07.08.2020	DRB 1
08.17.2020	DRB 1 CONDITIONS

## ONDR RESIDENCE

LOT 630  
DOUBLE EAGLE DR  
MOUNTAIN VILLAGE

MASSING  
PERSPECTIVES

A3.7



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submissions  
 05.11.2020  
 05.19.2020  
 06.10.2020  
 06.23.2020  
 06.25.2020  
 07.08.2020  
 08.17.2020

LOWER LEVEL REDESIGN  
 LOWER LEVEL SCHEME B  
 CAD PLAN | PLAN COORD.  
 3D MODEL  
 DRB PRE-APP  
 DRB 1  
 DRB 1 CONDITIONS

**ONDR  
 RESIDENCE**

LOT 630  
 DOUBLE EAGLE DR  
 MOUNTAIN VILLAGE

**MASSING  
 PERSPECTIVES**

**A3.8**

## John A. Miller

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**From:** Jim Boeckel <jim@telluridefire.com>  
**Sent:** Thursday, August 20, 2020 5:17 PM  
**To:** John A. Miller  
**Subject:** Re: FW: Class 3 Referral - New Home at Lot 630, Double Eagle Drive

After review of the plans for Lot 630 Double Eagle Dr. I have the following comments;

1. Due to the residence being in excess 3600 sqft. a fire sprinkler system is required to be installed.
2. The fire sprinkler system shall be monitored.
3. Numbers for address monument shall be a minimum of 54 inches above finished grade, a minimum of 6 inches tall, and shall be coated or outlined with material to cause them to be reflective in the event of a power outage.

If you have any questions about the above requirements, please contact me.

Thank you

On Thu, Aug 20, 2020 at 5:02 PM John A. Miller <[JohnMiller@mtnvillage.org](mailto:JohnMiller@mtnvillage.org)> wrote:

John A Miller III, CFM

Senior Planner

Planning & Development Services

Town of Mountain Village

455 Mountain Village Blvd, Suite A

Mountain Village, CO 81435

O :: 970.369.8203

C :: 970.417.1789





## John A. Miller

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**From:** Gordon E. Jensen <gordonj@cox.net>  
**Sent:** Tuesday, July 21, 2020 6:51 PM  
**To:** John A. Miller  
**Subject:** RE: Lot 630

We are in receipt of the NOTICE OF PENDING DEVELOPMENT on Lot 630 TMV.

Conflicts will prohibit attendance at the August hearing.

This application appears to be a re-hash of an application from 2016.

While the plans look very nice, architecturally pleasing, and in line with one would expect to be developed on a "golf course" property, we must object to any variance being granted for a roof pitch below 4:12.

The idea of having a lawn over a structure has become very popular with the touchy, feely, architectural crowd as well as many environmental promoters. It sounds wonderful and provides a pretty nice finished product.

However, please note the following prior to making any decisions on any such variance:

The amounts of snow load on top of the soils load on a flat roof structure can be significant and ultimately catastrophic. While it has previously been noted that shoveling must occur upon accumulation of 6 inches, who will be monitoring the accumulations during major storm events that occur at nighttime. Storms can dump in feet, not inches overnight. Will there be a full time snow monitor on staff?

While lawns are appropriate landscaping, especially in the golf course setting, the community will be unable to view this lawn driving by and thus it really provides no benefit to other residents or visitors.

The Town of Mountain Village has during many years been unable to supply sufficient water supply to even its existing residences and had to resort to restrictive water conservation measures and extremely punitive rate structures to offset the lack of prior planning on the part of the original developer and the Town.

In the event of a collapse of the structure, legal, insurance, and other processes could allow the structure to remain in a demolished condition for years (decades) as things move through the legal system wrecking property values. I have seen this in the past and it is very real. Perhaps a bond and/or indemnity agreement including insurance company buy in that would allow the town to demolish the project after such an event within a certain short time limit (one year max) might be an appropriate solution. Rest assured that should such an outcome present I will look towards all involved for the impact including personally.

Thank you for your consideration.

Gordon E. Jensen  
Trustee  
Gordon & Kathleen Jensen Family Trust  
LOT 509  
Telluride Mountain Village

-----Original Message-----

From: John A. Miller [mailto:JohnMiller@mtnvillage.org]

## John A. Miller

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**From:** John A. Miller  
**Sent:** Wednesday, August 5, 2020 8:50 PM  
**To:** banks (banks@rmi.net); david c.; David E (david@eckmancm.com); caton liz; Greer; Adam Miller; cathjett@gmail.com; ellen kramer (erkramer14@gmail.com)  
**Cc:** Michelle Haynes  
**Subject:** FW: Concerns regarding proposed Lot 630 Proposed Home

Evening everyone. I had a late public comment that I received this evening and I wanted to forward it to you before the hearing tomorrow. Comments below from adjacent property owner regarding Lot 630 IASR.

Thanks!  
J

John A Miller III, CFM  
Senior Planner  
Planning & Development Services  
Town of Mountain Village  
455 Mountain Village Blvd, Suite A  
Mountain Village, CO 81435  
O :: 970.369.8203  
C :: 970.417.1789



For information about The Town of Mountain Village's response to COVID-19 (Coronavirus), please visit [townofmountainvillage.com/coronavirus/](https://townofmountainvillage.com/coronavirus/)

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**From:** Branscomb@att.net <Branscomb@att.net>  
**Sent:** Wednesday, August 5, 2020 4:54 PM  
**To:** John A. Miller <JohnMiller@mtnvillage.org>  
**Subject:** Concerns regarding proposed Lot 630 Proposed Home

Dear DR Board members,  
Having received the notice of proposed development 5 days ago (mail is not so swift right now) and having no prior contact with either the owners or architects of this proposal, I am at a bit of a disadvantage in commenting thoughtfully although I have reviewed the .pdf published by the town. Based on that, and absent any known efforts on the part of the developers to attempt to contact my family, I have to say I am highly concerned.

As the daughter and legal POA representative for both the Anne Branscomb Trust (mother deceased in 1997 and buried in the Wilkinson Library terrace) and Lewis Branscomb (94 yrs old and no longer able to come to Telluride for health reasons) Trusts. My brother and I manage both the adjacent lot 629 and reside off and on throughout the year at 132 Double Eagle Drive next door. Our family has been in that location for almost a half-century since our home at 132

Double Eagle was one of the very first houses ever built in the golf course area of the resort and we owned three lots initially. As such, I received two concurrent notices.

Without further information, my concerns currently center on:

1. Disruption of our view shed from both our undeveloped lot 629 and especially our home at 132 Double Eagle due to the excessive height, and sheer volume of this home represents as proposed. I don't think a home that is over 30' tall from main floor to ridge line (over 40' from its lowest point to ridge) is either necessary or desirable and I request that you ask the applicant to explore redesign as a 2 story residence with a lower profile keeping the highest elevation roof ridge line to under the 9270' level.
2. Serious potential negative environmental and community impacts on the scenic and environmental value of the cross country and hiking trail that is located adjacent to an extends into our 629 lot next door.
3. Concern for the biological assessment and mitigation of any potential impacts on the wildlife and plants that are supported by lot 629 that should be afforded protection prior to any permitted construction.
4. Concerns particularly regarding the standing seam metal roof and extent of glass at high elevation on the sensitive avian population in the area.
5. Location of the construction staging area close to the lot line on our side.
6. No explicit accommodation for construction parking.

I ask you to take these concerns seriously in the constructive and cooperative spirit they are intended. I believe that everyone should have a right to build on their lots. But, in the current environment, where sustainability, smaller homes, and authentic concern for community, environmental, and neighbor impacts should be paramount, I think there is a moral obligation to insure that anything new is built responsibly in the context of these values. Just because mountain mansions have been the norm in the past, doesn't mean they have to be the future of Mountain Village. What happened to the rural character and open space we all appreciated. A much smaller, lower, and more sustainably built homes would be more in keeping with the character and aesthetic of what is valued most about Mountain Village. It can start right here with this one.

My mother is buried in the Wilkinson Family Library where we significantly helped in funding the Library Terrace. My father and brother have been integral to the development of the Tech Festival and long time supporters of Mtn Film. Our family has owned property and lived off and on in Mountain Village itself for almost a half century in this location. We are not as wealthy as many who own homes here, but we have been active supporters of non-profit and individual efforts to protect the quality of life in Telluride we all enjoy. I feel I am doing that now.

Yes, I'm disappointed I never heard from the developer or their representatives and would respectfully ask that you delay this project until we can undertake a thorough review of the plans and get our questions answered. When we sold our undeveloped lot on the other side of 132 Double Eagle to our current neighbors, they were gracious in reaching out pro-actively, accommodating our concerns regarding size, siting, and its impact on views. They have a lovely big home. We have coexisted peacefully for over a decade. I think it is important to make sure this isn't just slam dunked because some developer took advantage of a pandemic to ram something through over the objections of a long time Mountain Village family, especially one that has contributed to many aspects of what makes Telluride great.

Respectfully yours,

Katharine C. (KC) Branscomb  
[Branscomb@att.net](mailto:Branscomb@att.net)

**KC Branscomb**  
 **Compassion  
Institute.**

**Home**  
800 Frenchmans Creek Road



AGENDA ITEM 5  
**PLANNING & DEVELOPMENT SERVICE**  
**PLANNING DIVISION**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

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**TO:** Mountain Village Design Review Board  
**FROM:** John Miller, Senior Planner  
**FOR:** Design Review Board Public Hearing; September 3, 2020  
**DATE:** August 24, 2020  
**RE:** Staff Memo – Initial Architecture and Site Review (IASR) Lot 424

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**APPLICATION OVERVIEW: Class 3 Residential Addition**

**PROJECT GEOGRAPHY**

**Legal Description:** Lot 424, Telluride Mountain Village, Filing 12

**Address:** 121 Touchdown Drive  
**Applicant/Agent:** Chris Hawkins, Alpine Planning  
**Owner:** Salter Family Partners LTD, a Texas LTD  
**Zoning:** Single-Family  
**Existing Use:** Single-Family  
**Proposed Use:** Single-Family  
**Lot Size:** 2.012 AC

**Adjacent Land Uses:**

- **North:** Single-Family
- **South:** Single-Family
- **East:** Single-Family
- **West:** Single-Family

**ATTACHMENTS**

Exhibit A: Applicant Narrative  
Exhibit B: Architectural Plan Set



Figure 1: Vicinity Map

**Case Summary:** Chris Hawkins of Alpine Planning, Applicant for Lot 424, is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a residential addition at 121 Touchdown Drive. The Lot is approximately 2.012 acres and is zoned Single-Family. The overall existing square footage of the home is currently 7,847 square feet and this proposal would increase that floor area by 2,370 for a total of 10,217.3 square feet. Due to the overall size of the addition, this application is

required to obtain a Class 3 approval by the DRB. It should be noted that the applicant has submitted all required materials per the provisions of Section 17.4.11 of the Community Development Code (CDC) for a Class 3 DRB Initial Architecture and Site Review.

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

*Table 1*

<b><u>CDC Provision</u></b>	<b><u>Requirement</u></b>	<b><u>Proposed</u></b>
<b>Maximum Building Height</b>	35' (shed) / 40' (gable) Maximum	39.7'
<b>Maximum Avg. Building Height</b>	30' (shed) / 35' (gable) Maximum	24.99'
<b>Maximum Lot Coverage</b>	30% Maximum	9.9%
<b>General Easement Setbacks*</b>		
North	16' setback from lot line	66'
South	16' setback from lot line	>50"
East	16' setback from lot line	16'
West	16' setback from lot line	116'
<b>Roof Pitch</b>		
Primary		Multiple
Secondary		
<b>Exterior Material**</b>		
Stone	35% minimum	35.2%
Wood		31.4%
Windows/Doors	40% maximum	11.1%
Metal Accents		21.7%
<b>Parking</b>	2 enclosed / 2 exterior	3/2

**Specific Approval Requests:**

Earthen Roof

**Chapter 17.3: ZONING AND LAND USE REGULATIONS**

**17.3.12: Building Height Limits**

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates both Gabled and Shed roof forms which are granted different height allowances in the CDC. Gabled roof forms are granted a maximum building height of 40 feet with shed roof forms limited to 35 feet. The maximum average height must be at or below 30 feet for shed roof forms and 35 feet for gable roof forms. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

*Staff: The applicant has provided a Building Height Analysis on submitted page A1.5 which demonstrates both Maximum Building Height and Maximum Average Building Height as*

*being complaint with the CDC. In addition, they have provided a parallel plane analysis also demonstrating compliance.*

#### **17.3.14: General Easement Setbacks**

Lot 424 is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above typically require encroachment agreements between the property owner and the Town.

*Staff: There are no proposed encroachments into the GE as part of this addition. Because the majority of the home is existing, the typical GE encroachment discussion related to items such as address monuments does not apply to this request.*

*There will be minor disturbances to the GE related to construction and any disturbances will be required to be returned to their original pre-disturbed condition. Trees within Zone 1 Fire Mitigation will be required to be removed, even within GE areas.*

### **Chapter 17.5: DESIGN REGULATIONS**

#### **17.5.4: Town Design Theme**

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

*Staff: The proposed addition appears to fit with the Town's Design Theme as proposed given the material palette of stone, wood, and metal. It should be noted that given the age of the existing home, the proposed addition does appear to be very modern in comparison given its contemporary forms in comparison to timber-based log architecture within the existing footprint. With that being said, the addition does appear to fit architecturally and demonstrates a good example of additions having been designed to represent the architectural time period that it was constructed.*

*The applicant has proposed horizontal log siding to complement the existing portions of the home but has chosen a metal palette of vertical steel siding, steel panels, and standing seam roofing materials.*

*It appears based on the applicant's submittal that the material palette for the project blends well with both the surrounding community, as well as the overall modern mountain vernacular that is very popular recently within Mountain Village.*

#### **17.5.5: Building Siting Design**

The CDC requires that any proposed development blend into the existing landforms and vegetation.

*Staff: Due to the pre-existing nature of the home, the addition appears to be logically sited on the lot. Although this does involve the disturbance of steep slopes as documented in the applicant's submittal, it also appears to meet the goals of the owner for preservation*

of existing uses, views, access, etc. Additionally, this location provides much more screening than would be otherwise available in other locations.

#### **17.5.6: Building Design**

*Staff: The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation. The applicant is proposing a grouted stone veneer to match the existing home. The proposal meets the 35% requirement for stone. As documented briefly above, the proposed siding is a mixture of vertical steel and log siding.*

*Window trim is proposed as dark metal clad and the doors appear to be largely glass. The proposed roofing material is a light grey bonderized standing seam. The CDC allows for black and grey standing seam roofing materials and this appears to meet that requirement. It is unclear to staff as to what the soffits and fascia are constructed with. The garage door is proposed to be metal.*

*The applicant has proposed zero snowmelt area for the home at this time, but staff anticipates there to be some snowmelt associated with later iterations of this project.*

#### **17.5.7: Grading and Drainage Design**

*Staff: The applicant has provided a preliminary grading and drainage plan, but staff does not believe it meets the standards that will be needed at Final Review. Prior to Final, Staff will need a revised plan demonstrating areas of disturbance, drainage patterns, driveway details for changes, and all other details required per the CDC.*

#### **17.5.8: Parking Regulations**

*Staff: The CDC requires all single-family developments to provide two interior and two exterior parking spaces. The applicant has shown three exterior spaces and two interior spaces which complies with the CDC requirements.*

#### **17.5.9: Landscaping Regulations**

*The applicant has provided a preliminary landscaping plan demonstrating the areas to be landscaped and fire mitigation zones. Before the final review submittal, the applicant must provide more details related to, revegetation notes and any areas of turf that may be proposed for Lot 424 to include the earthen roof structure.*

#### **17.5.11: Utilities**

*Staff: NA – utilities are already at existing home.*

#### **17.5.12: Lighting Regulations**

*Staff: The applicant has indicated that the Lighting Plan will be provided as part of the Final Review. It should be noted that due to the size and valuation of the project, the home must retrofit existing lighting to comply with current CDC regulations.*

#### **17.5.13: Sign Regulations**

*Staff: No proposed changes to the address monument.*

### **Chapter 17.6: SUPPLEMENTARY REGULATIONS**

#### **17.6.1: Environmental Regulations**

*Staff: Fire Mitigation and Forestry Management: The applicant is proposing to incorporate fire mitigation zones surrounding the addition. Due to the size and valuation of the project, the fire mitigation plan should be revised to incorporate treatments for the whole home not just the addition.*

*Steep Slopes: The proposed addition does impact steep slopes, but it appears that this location is the most logical on the site due to the pre-existing nature of the home.*

#### **17.6.6: Roads and Driveway Standards**

*Staff: The Civil Drawing indicate that the driveway will require slight modifications but does not provide specifics. Driveway details related to any modifications must be provided prior to Final Review.*

#### **17.6.8: Solid Fuel Burning Device Regulations**

*Staff: The applicant has indicated that the proposed addition does include a fireplace but its not clear to staff if this is natural gas burning. Unless the owners procure a fireplace permit, these must operate on natural gas and the plans must be modified to specify such.*

### **Chapter 17.7: BUILDING REGULATIONS**

#### **17.7.19: Construction Mitigation**

*Staff: The applicant has submitted a CMP as part of this application. Staff supports the proposal with the note that any areas of the General Easement to be utilized shall be returned to the pre-disturbed condition before the project's issuance of a certificate of occupancy. Additionally, it's unclear to staff if this project will require a crane and if so, this detail must be added to the CMP.*

**Staff Recommendation:** Staff recommends the DRB approve the Initial Architectural and Site Review for Lot 424, 121 Touchdown Drive.

***Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.***

#### **Proposed Motion:**

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architectural and Site Review for a Class 3 Residential Addition located at Lot 424, 121 Touchdown Drive, based on the evidence provided within the Staff Memo of record dated August 24, 2020, with the following Specific Approvals:

- 1) Earthen Roof;

And, with the following conditions:

- 1) Prior to the submittal for a Final Architectural Review, the applicant shall revise the Civil plans to demonstrate CDC requirements as documented in this memo.
- 2) Prior to submittal for a Final Architectural Review, the applicant shall revise the proposed fire mitigation plan to demonstrate compliance on all of Lot 424.
- 3) Prior to the submittal for a Final Architectural Review, the applicant shall provide an updated landscaping plan providing additional details on the earthen roof and turf areas.
- 4) Prior to the submittal for a Final Architectural Review, the applicant shall provide a detailed lighting plan to include specific fixture cut sheets and a photometric study of the Lot demonstrating compliance with the CDC lighting standards. This plan shall incorporate the entirety of Lot 424 and is required to address non-compliant existing fixtures.



- 5) Prior to the submittal for a Final Architectural Review, the applicant shall revise plans to demonstrate that the fireplaces are natural gas burning.
- 6) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 7) Prior to the submittal for a Final Architectural Review, the applicant shall revise the plans to demonstrate areas of snowmelt – if applicable.
- 8) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 9) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no encroachments into the GE.
- 10) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and
  - e. Any other approved exterior materials

/jjm

Mountain  
YACHT



## Lot 424 Design Review Process Application

Tommy Hein  
ARCHITECTS



Uncompahgre  
Engineering, LLC



## Mountain Yacht Intro

The Salter Family Partnership, LTD (“**Salter Family**”) is the owner of Lot 424 Mountain Village Filing No. 12 with an address of 121 Touchdown (“**Site**”). The Salter Family has on the existing log house since the 1990s. Their family is growing and they just recently welcomed a new grand baby into the fold. This guest addition to the main house represents the Salter Family’s next generations need for more space. The new addition is positioned in the north east corner of the existing site in the most inconspicuous location within the trees. There is ample setback to all surrounding neighbors and we were sensitive to the screening aspects of this location.

The intent of the new addition building form is to expand parking, to weave into the existing trees and sit lightly upon the steep natural topography. The primary stone building form that engages and anchors the addition to the hillside forming additional outdoor living space to the east and south. The new gathering space soars into the trees as a turned offset gable element with another covered deck to the north for views to Dallas peak.

Tommy Hein Architects developed a structural system of steel column substructure which then holds new exposed log columns which in turn support double timber beams that support the roof and greets the sky. The addition design continues the stone and materials from the log house and integrating new materials of this time with the expose steel members and steel and metal siding and roofs. The existing logs will be re-stained to match the new construction of the addition and a new standing seam roof will also be added with steel railings so the addition and main house form a cohesive whole when complete.

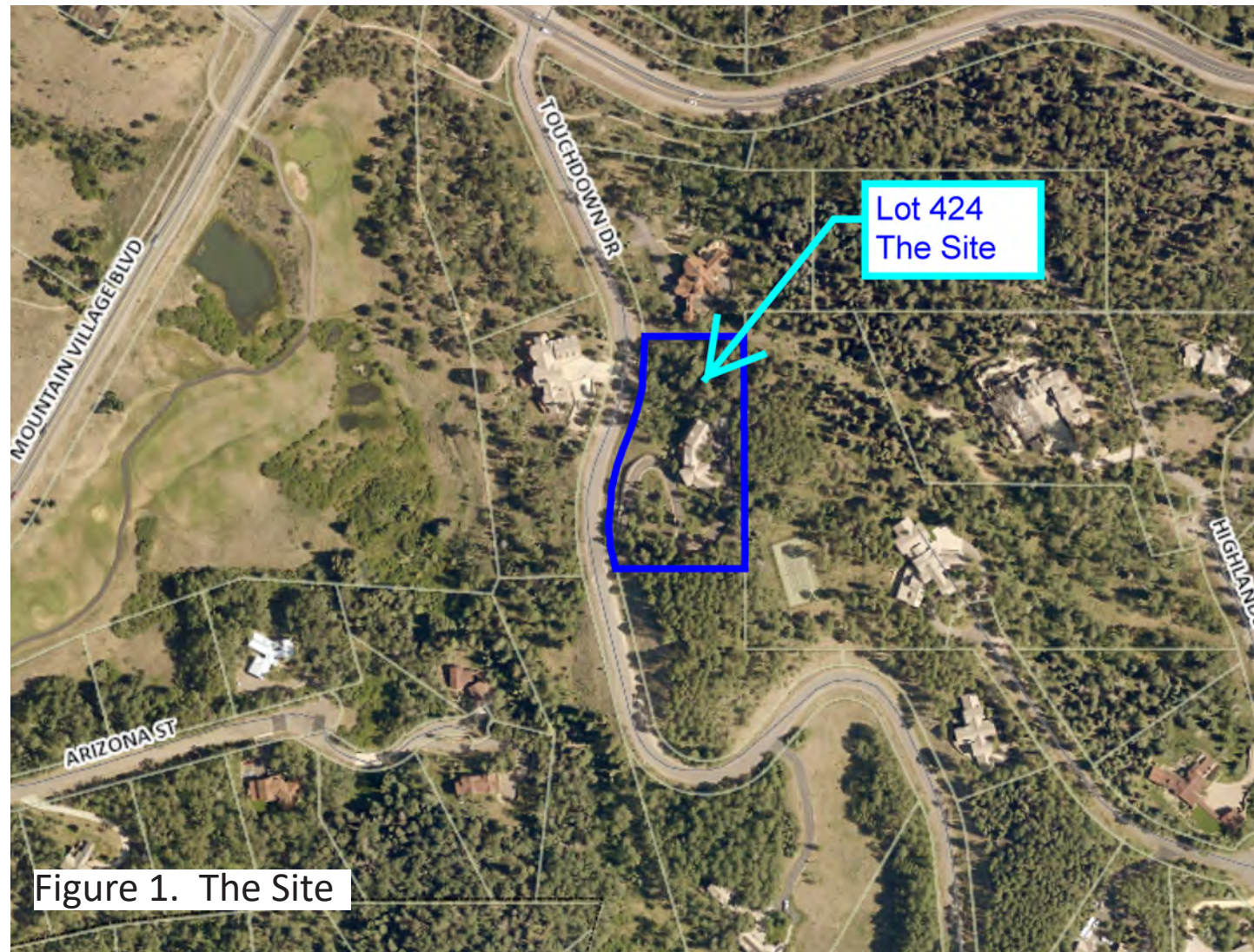


Figure 1. The Site

## Project Geography

Geography and Zoning Requirements		
	Existing/Requirement	Proposed (Approx.)
Lot Size	2.012 acres	No Change
Floor Area (Gross)	7,847 GSF	10,217.3 GSF (+2,370.3 GSF)
Zone District	Single-family Zone District	No Change
Maximum Building Height	35 + 5' for Gabled Roofs	39' - 7"
Average Building Height	30 feet	24.99 feet
Lot Coverage	30%	9.9%
Setbacks		
	Front - West	16 Feet
	Rear - East	16 Feet
	Side - North	16 Feet
	Side - South	16 Feet
Parking	2 enclosed spaces + 2 unen-closed	3 garage + 2 surface

## Design Regulation Compliance

**Mountain Village Design Theme.** The proposed design meets the Mountain Village Design Theme. The project has been designed to sensitively fit the Site in order to minimize impacts to steep slopes and trees. The natural features of the site have informed the design of the home. The proposed home design is respectful and responsive to the tradition of alpine design with sturdy building forms that have been designed as a complimentary addition to the existing log home. Newer modern materials show the contemporary design. The massing is simple and form and is designed into the existing topography. The addition has been sited with sensitivity to views, access, parking and tree preservation.

**Building Siting Design.** The home has been sited to blend into the existing landscape and landforms. The Salter Family desires to retain several trees around the addition and not remove such for required fire mitigation. These trees will be counted as the home with the fifteen foot tree removal area extending beyond. The home addition has been primarily sited due to the design and location of the current home, with respect for views, solar exposure, tree preservation and surrounding development.

**Building Design.** The addition has been designed with a stone base that provides a grounded building form to withstand high alpine conditions. The overall building form is simple in design. The roof has been designed with a composition of multiple forms that emphasize sloped plans, varied ridge lines and vertical offsets. The proposed standing seam metal roof on the addition and the current home provides a durable roof material that will withstand the high alpine climate conditions. Exterior materials are provided consistent with the Design Regulations as presented in this narrative. The exterior colors harmonize with the natural landscape and are natural, warm and subtle. Windows have been designed to be integral part of the structure’s complete design and in accordance with the window regulations.

**Grading Design.** Grading has been designed to relate to and blend into the surrounding topographic landscape.

**Parking Regulations.** The existing home and proposed addition provide three interior garage spaces and two exterior surface spaces in accordance with the Parking Regulations.

**Landscaping Regulations.** The addition has been designed in accordance with the landscaping regulations. The intent is to preserve as many trees as possible around the addition in light of the Town’s Fire Mitigation

Regulations. A new small lawn area is proposed to the southeast of the addition.

## Steep Slope Regulations

The area to the north of the existing building is almost fully covered by slopes that are 30% or greater as shown in Figure 2. Section 17.6.1(C)(2)(a) of the Community Development Code CDC states that:

“Building and development shall be located off slopes that are thirty percent (30%) or greater to the extent practical.

i. In evaluating practicable alternatives, the Town recognizes that it may be necessary to permit disturbance of slopes that are 30% or greater on a lot to allow access to key viewsheds, avoid other environmental issues, buffer development and similar site-specific design considerations.”

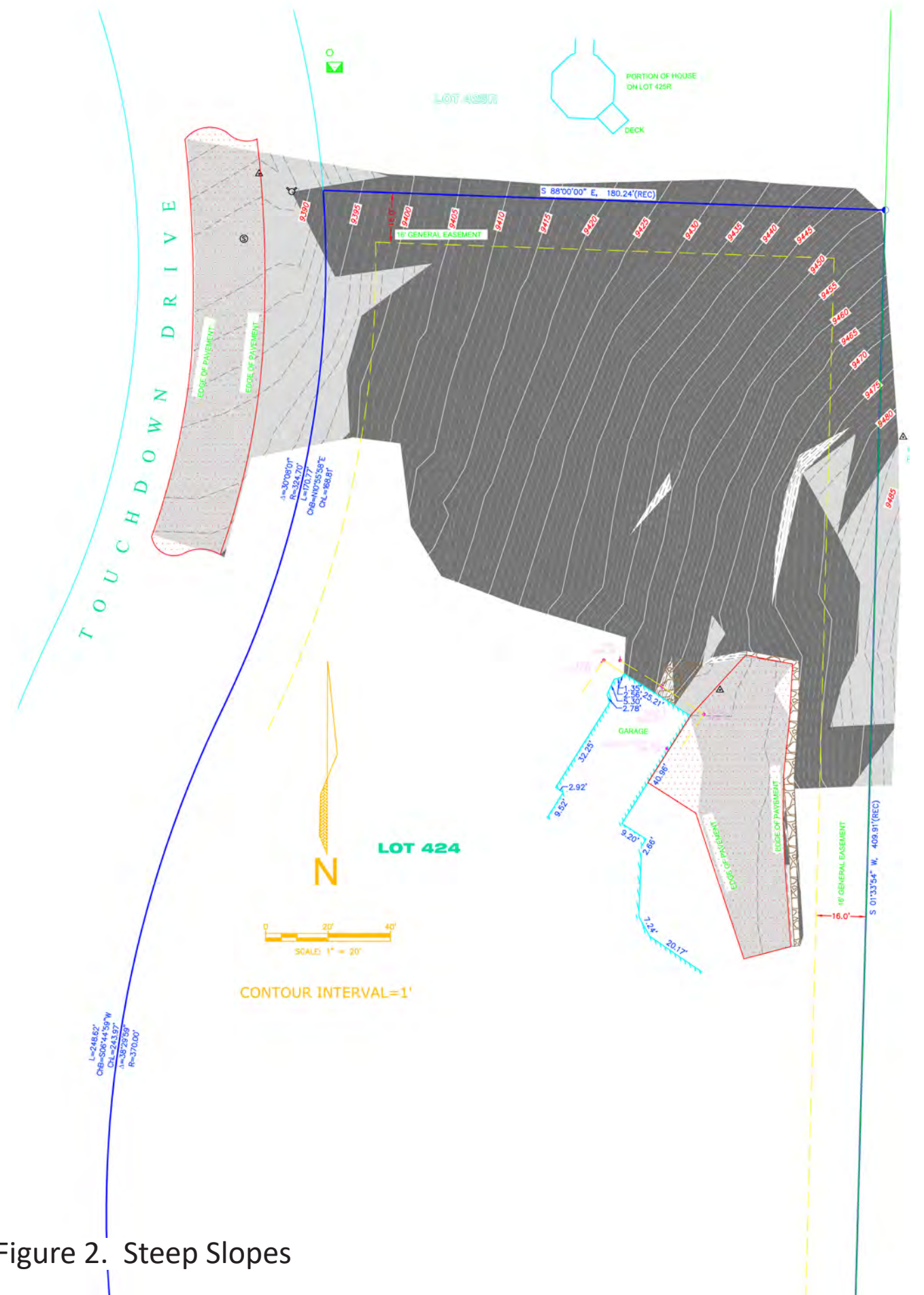
CDC Section 17.6.1(C)(2)(c) states:

“The review authority shall only allow for disturbance to slopes thirty percent (30%) or greater if it is demonstrated that there is not a practicable alternative to avoiding such activities and if the following criteria are met:

- i. The proposed steep slope disturbance is in general conformance with the Comprehensive Plan;
- ii. The proposed disturbance is minimized to the extent practical;
- iii. A Colorado professional engineer or geologist has provided:
  - (a) A soils report or, for a subdivision, a geologic report; or
  - (b) An engineered civil plan for the lot, including grading and drainage plans.
- iv. And the proposal provides mitigation for the steep slope development in accordance with the engineered plans.”

The current home on the site was designed at the highest location on the Site in order to take advantage of the incredible views. There is no other efficient or reasonable location for the desired home addition in light of the current home design and layout. An addition cannot be proposed to the west since that would impact views and also not function with the current home design and layout. An addition cannot be located to the east due to the driveway and general easement. This leaves the only location for an addition on the north side of the Property where steep slopes are located. It is therefore not practical to avoid the steep slope areas to the north of the current home and still allow for a reasonable home addition as desired by the Salter Family.

The proposed addition is in general conformance with the Mountain Village Comprehensive Plan because it envisions Lot 424 with single-family land uses, and the addition will not adversely impact the environment. The impact to the steep slope areas has been minimized to the extent practical with the home designed to fit into the current topography of the site. Uncompahgre Engineering designed the grading plan in coordination with Tommy Hein Architects, with the civil plan provided for the Site. Impacts to steep slope areas are minimized by limiting the areas of grading, an erosion control plan and a revegetation plan.



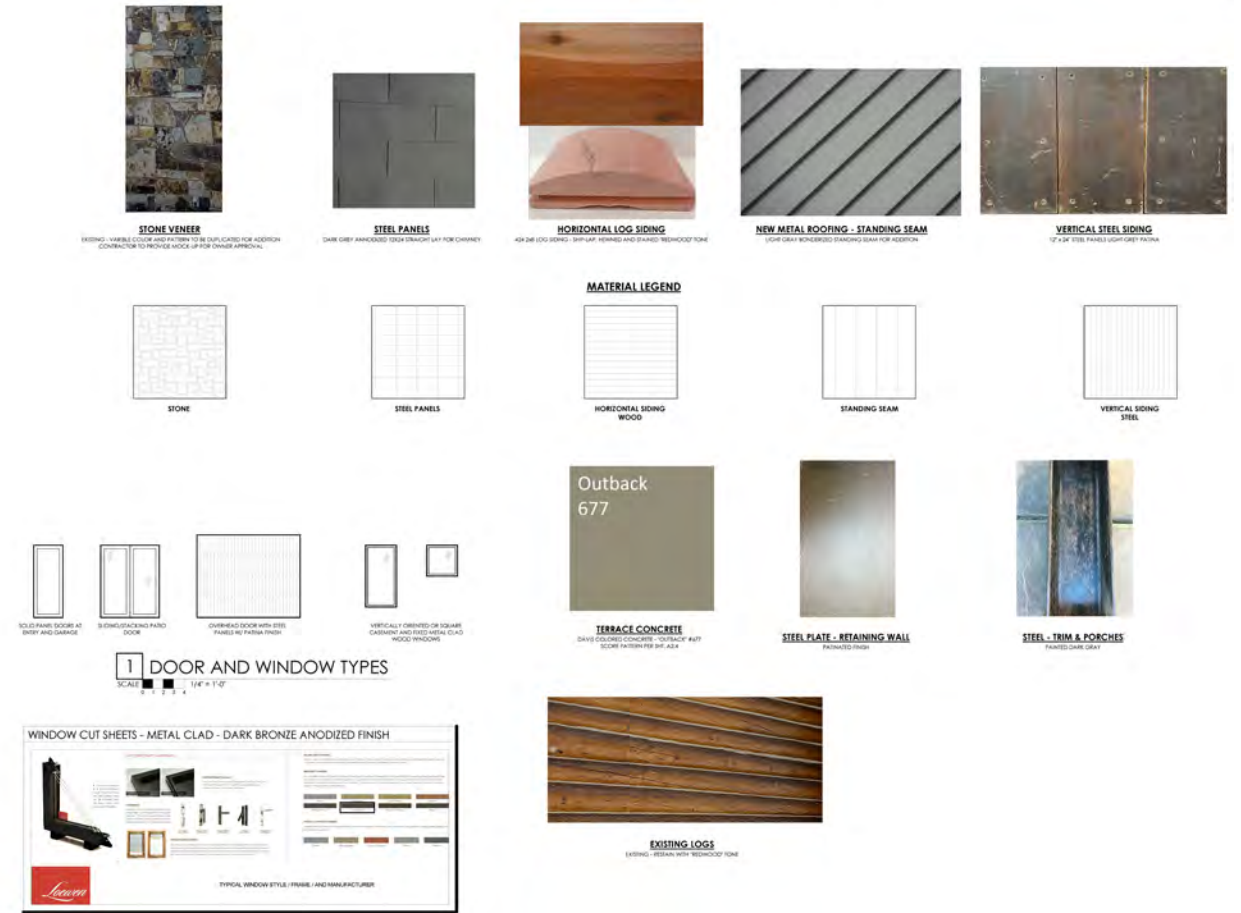
## Exterior Material, Roof Design and Retaining Wall Design

The proposed home is designed with the following exterior materials:

- Stone veneer to match existing on current home (35.2%)
- 2"x8" Horizontal log ship-lap siding (31.4%)
- Dark Gray Anodized Steel Panels + 12" x 24" vertical steel panels (21.7%)
- Metal Clad Windows and Doors - Dark Bronze Anodized Finish (11.1%)
- Steel Panel Garage Door
- Standing Seam Metal Roof - Light Gray Bonderized

## Lighting

The lighting plan will be submitted for Final Plan Review consistent with the Design Review Process submittal requirements.





*Tommy Hein*  
ARCHITECTS



Uncompahgre  
Engineering, LLC



LOT COVERAGE & FLOOR AREA CALCULATIONS		
STANDARDS	ALLOWED	PROPOSED
<b>LOT COVERAGE</b>		
<b>GROSS LOT AREA (S.F. AND ACREAGE)</b>	<b>&lt; 30% LOT COVERAGE</b>	<b>2.012 ACRES= 87,642.72 s.f. MAX COVERAGE=26,292.82 s.f. COVERAGE SF= 8,660.6 s.f. COVERAGE %= 9.88% (9.88% IS 20.12% BELOW THE ALLOWABLE 30%)</b>
<b>LOT COVERAGE</b>	<b>&lt; 30%</b>	
<b>FLOOR AREA CALCULATIONS</b>		
		<b>SEE SHEET A1.4 FOR ALL AREA CALCULATIONS</b>
<b>MISC REQUIREMENTS</b>		
<b>BUILDING SETBACKS</b>	<b>16'</b>	<b>16'</b>
<b>BUILDING HEIGHT</b>		
- MAXIMUM	- 35' (+5' EXCEPTION)	- 39.58'
- AVERAGE	- 30'	- 24.99'
<b>NUMBER OF UNITS BY TYPE</b>	- 1 RESIDENTIAL	- 1 RESIDENTIAL
<b>PARKING SPACES</b>		
- ENCLOSED	- 2 ENCLOSED	- 1 ENCLOSED
- SURFACE	- 2 SURFACE	- 1 SURFACE
<b>SNOWMELT AREA</b>	- SEE MECHANICAL	- SEE MECHANICAL
<b>EXTERIOR MATERIALS</b>	- SEE A3 SERIES	- SEE A3 SERIES
<b>CODE SUMMARY</b>		
ZONING - SINGLE FAMILY RESIDENTIAL BUILDING CODE - IRC-2012 DESCRIPTION - 2.0 STORY WITH BASEMENT OCCUPANCY CLASSIFICATION - IRC 1&2 AUTOMATIC FIRE SPRINKLERS - NFPA 13D- SPRINKLERED GREATER THAN 3,600 S.F. FIRE RESISTIVE RATING SHAFT ENCLOSURES - 1 HR. EXIT ENCLOSURE RATING 1 HR. ELEVATOR SHAFT 2 HR.		



**SITE CONTEXT**

Sheet List	
Sheet Number	Sheet Name
A0.0	COVER SHEET
A0.1	SURVEY
A0.2	SLOPE STUDY
A0.4	SITE PHOTOS
A0.5	PERSPECTIVES
A0.6	OVERALL PERSPECTIVES
A1.0	OVERALL SITE PLAN
A1.1	EXISTING SITE PLAN
A1.2	SITE AND LANDSCAPE PLAN
A1.3	CONSTRUCTION MITIGATION PLAN
A1.4	FLOOR AREA AND SITE COVERAGE
A1.5	BUILDING HEIGHT COMPLIANCE ANALYSIS
A1.6	EXTERIOR MATERIAL CALCULATIONS
A2.1	MAIN LEVEL
A2.2	UPPER LEVEL
A2.3	ROOF PLAN
A3.0	EXTERIOR MATERIALS
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	EXTERIOR ELEVATIONS
A3.4	OVERALL ELEVATIONS
A4.0	BUILDING SECTIONS

**PROJECT TEAM**

**OWNER:**  
PATRICK & CARLY LATCHAM/SALTER  
c/o TOMMY HEIN ARCHITECTS

**ARCHITECT:**  
TOMMY HEIN ARCHITECTS  
TOMMY HEIN  
108 S. OAK ST- P.O. BOX 3327  
TELLURIDE, CO 81435  
p. 970.728.1220 f. 970.728.1294  
TOMMY@TOMMYHEIN.COM

**PROJECT PLANNER:**  
ALPINE PLANNING, LLC  
CHRIS HAWKINS  
P.O. BOX 654  
RIDGWAY, CO 81432  
p. 970.964.7927  
CHRIS@ALPINEPLANNINGLLC.COM

**CONTRACTOR:**  
TBD

**INTERIORS:**  
TBD

**LANDSCAPE:**  
TBD

**CIVIL:**  
UNCOMPAGRE ENGINEERING, LLC  
DAVID BALLODE, P.E.  
P.O. BOX 3945  
TELLURIDE, CO 81435  
970.729.0683  
DBALLODE@MSN.COM

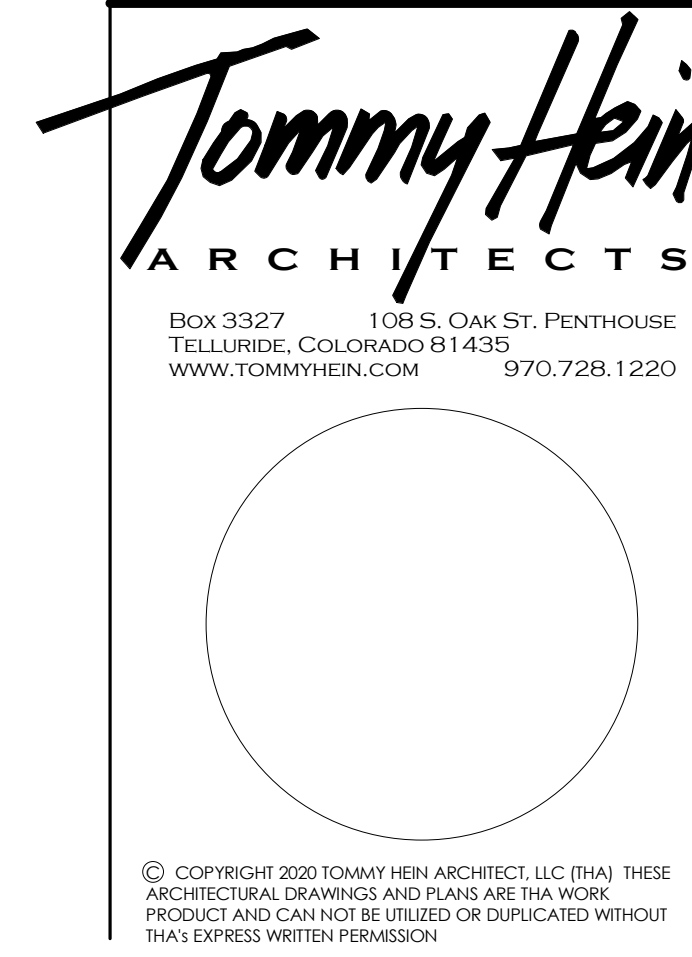
**STRUCTURAL:**  
COLORADO STRUCTURAL  
MIKE ARBANEY  
315 BELLEVUE, SUITE 2B  
P.O. BOX 2544  
CRESTED BUTTE, CO 81224  
970.349.5922  
MIKE@COLORADOSTRUCTURAL.COM

**MECHANICAL, ELECTRICAL, PLUMBING:**  
HUGHES CONSULTING ENGINEERING  
DIMITRI MERRILL  
220 W. COLORADO AVE.  
TELLURIDE, CO 81435  
p. 970.239.1949  
DIMITRI@HCE-PA.COM

**LIGHTING:**  
TBD

**SURVEYOR:**  
ALL POINTS LAND SURVEY LLC  
TOM CLARK  
PO BOX 754  
OPHIR, CO 81435  
p.970.708.9694  
ALLPOINTSLANDSURVEY@GMAIL.COM

**REGULATORY COMPLIANCE**  
THE CONTRACTOR SHALL ENSURE THAT THE WORK AND CONSTRUCTION ADMINISTRATION PROCESSES COMPLY WITH ALL APPLICABLE GOVERNMENTAL AND PRIVATE REGULATIONS, INCLUDING BUT NOT LIMITED TO THE TOWN OF TELLURIDE LAND USE CODE (LUC), DESIGN GUIDELINES, HISTORIC AND ARCHITECTURAL REVIEW COMMISSION (HARC) CONDITIONS, CERTIFICATES OF APPROPRIATENESS (CAs) AND IMPACT STATEMENTS; THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE (CDC) AND DESIGN REVIEW BOARD (DRB) CONDITIONS; SAN MIGUEL COUNTY BUILDING REGULATIONS; AND ALL COVENANTS, CONDITIONS & RESTRICTIONS, DECLARATIONS, ARCHITECTURAL GUIDELINES AND RULES AND REGULATIONS ESTABLISHED BY ANY PRIVATE OWNERS ASSOCIATIONS THAT GOVERN THE PROJECT SITE



**Submissions**

DRB REVIEW 20.08.06



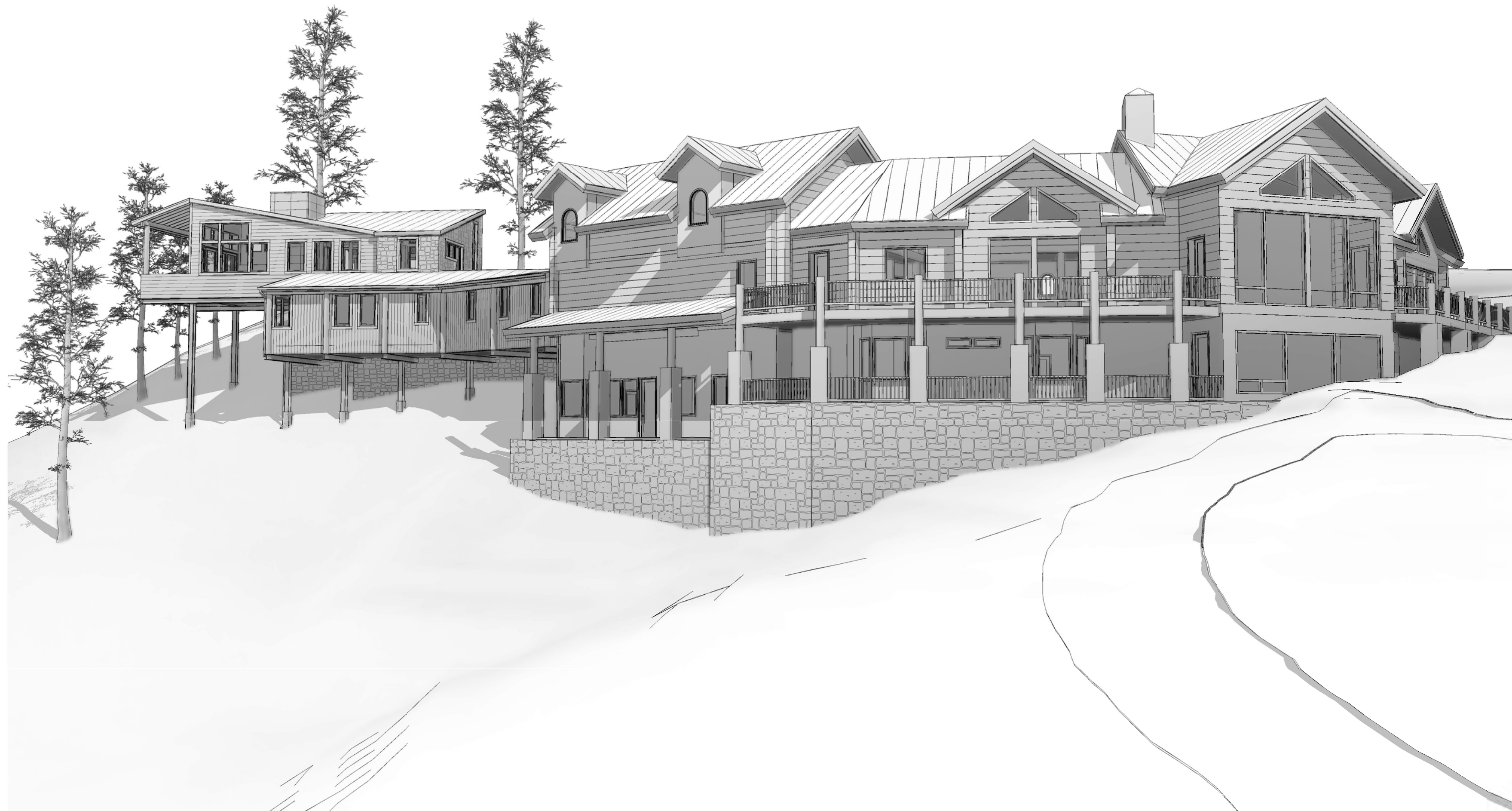
**ADDITION**

LOT 424  
TOUCHDOWN DRIVE,  
MOUNTAIN VILLAGE

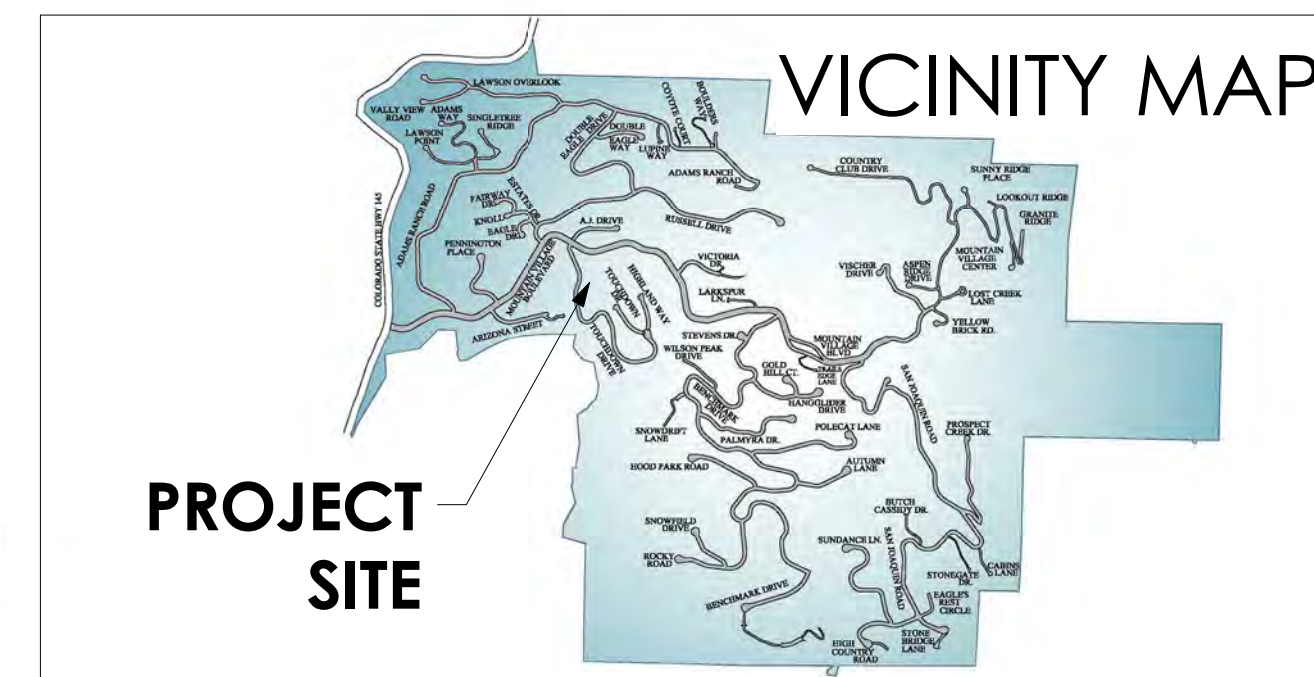
**COVER SHEET**

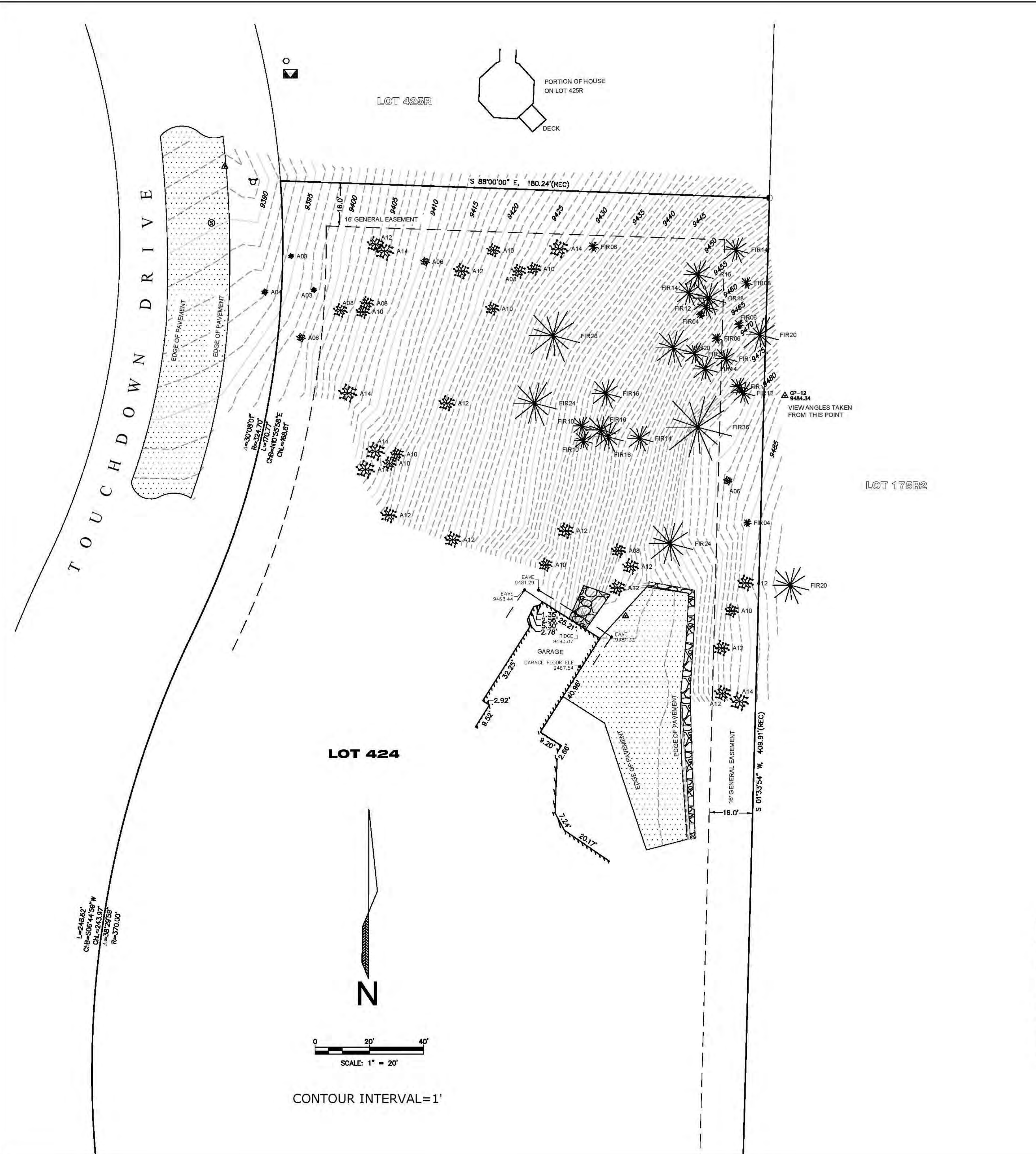
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**A0.0**



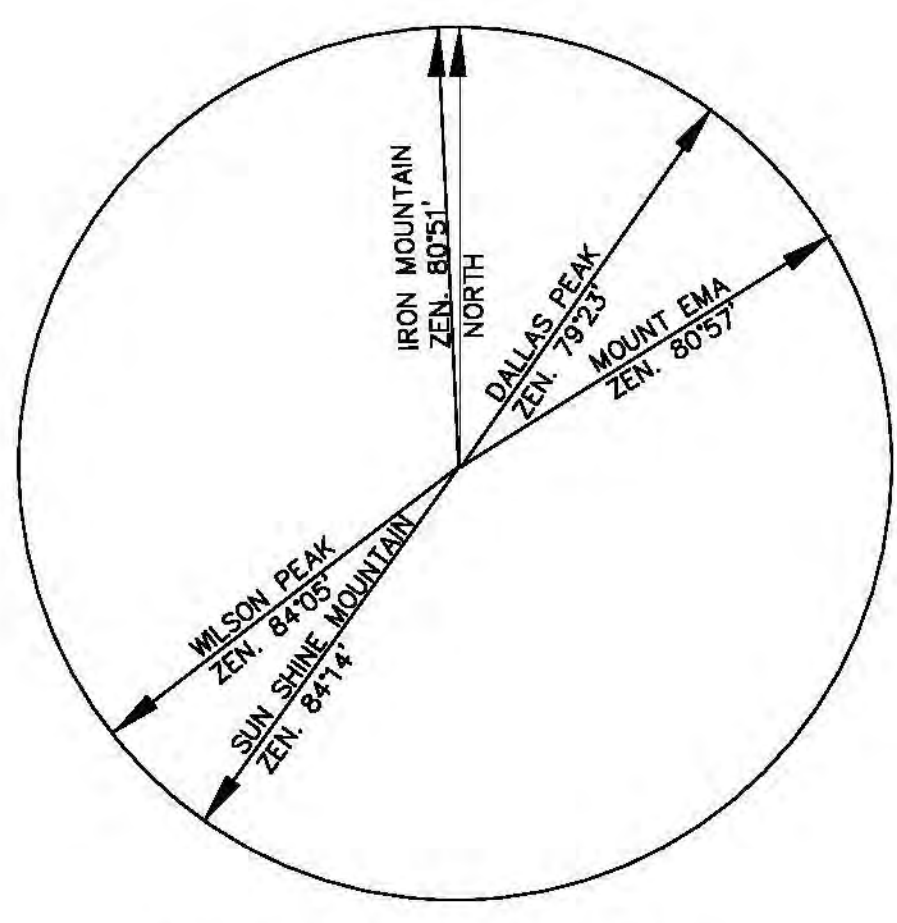
**FUTURE HERS REPORT**





**PROPERTY DESCRIPTION:**

LOT 424, FILING NO. 12, MOUNTAIN VILLAGE,  
 COUNTY OF SAN MIGUEL,  
 STATE OF COLORADO.



**VIEW ANGLES**  
 ANGLES ENUMERATED  
 ARE ZENITH ANGLES

**SURVEYOR'S CERTIFICATE:**

I, Thomas A. Clark, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of a portion of Lot 424, Mountain Village was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.

Thomas A. Clark  
 PLS. 38014  
 COLORADO LICENSED LAND SURVEYOR  
 THOMAS A. CLARK  
 38014  
 3/6/2020  
 NATIONAL LAND SURVEYORS ASSOCIATION

**NOTES:**

1. Field work was performed on February 2020.
2. Elevation datum for this survey is based on the garage floor elevation as depicted topographic map dated 2/27/01 on that elevation being 9767.54.
3. This survey is valid only if a printed or electronic copy has a seal and signature of the surveyor noted within the statement above.
4. NOTICE: According to Colorado law you must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.
5. Due to winter conditions ground features that were not visible may not be shown.

**LEGEND:**

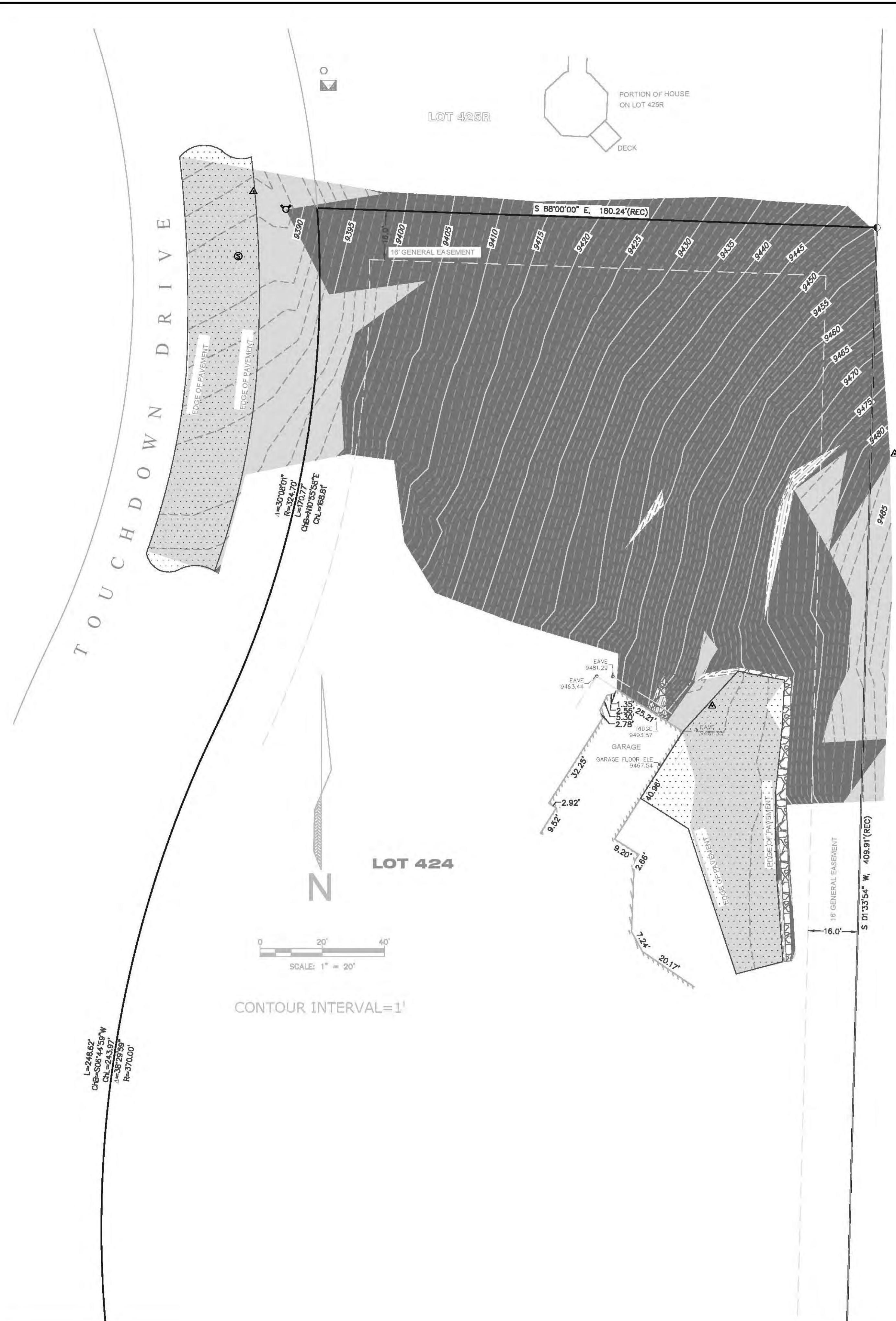
- PAVEMENT
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 24954 SURVEY CONTROL POINT
- TRANSFORMER
- TELEPHONE PEDESTAL
- SEWER MAN HOLE
- FIRE HYDRANT

**TREE CHART**

- SPRUCE TREE WITH TRUNK DIAMETER INDICATED IN INCHES
- FIR TREE WITH TRUNK DIAMETER INDICATED IN INCHES
- ASPEN TREE WITH TRUNK DIAMETER INDICATED IN INCHES







**PROPERTY DESCRIPTION:**

LOT 424, FILING NO. 12, MOUNTAIN VILLAGE,  
 COUNTY OF SAN MIGUEL,  
 STATE OF COLORADO.

**SURVEYOR'S CERTIFICATE**

I, Thomas A. Clark, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of a portion of Lot 424, Mountain Village was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.



Thomas A. Clark PLS. 38014

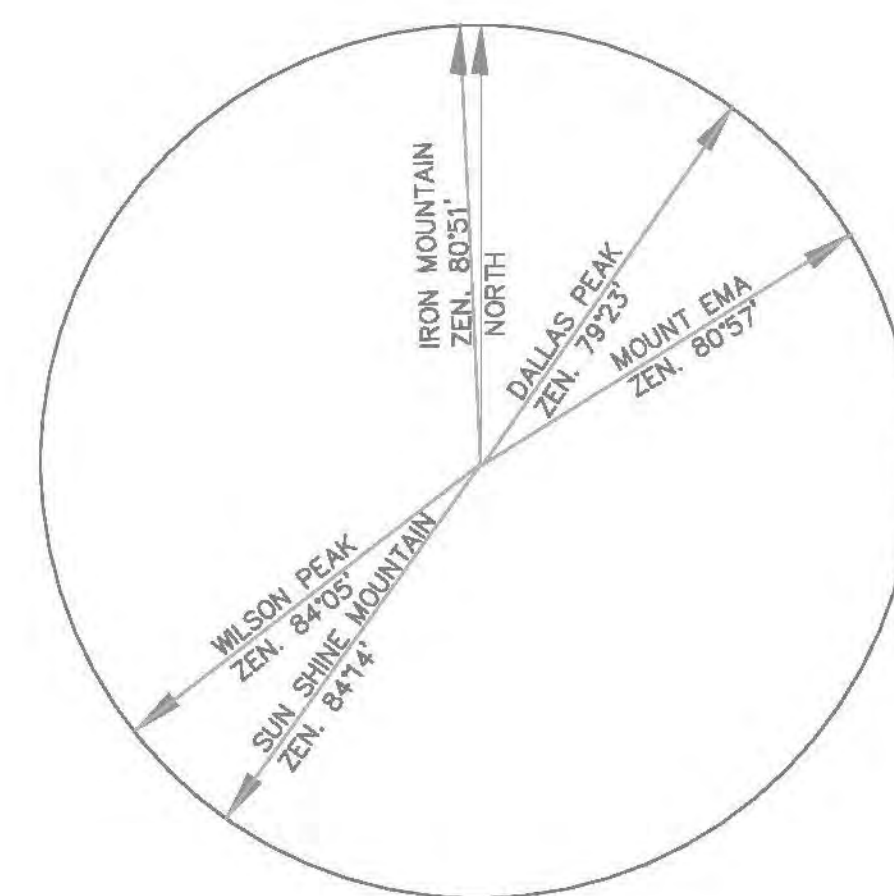
**NOTES:**

1. Field work was performed on February 2020.
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5. Due to winter conditions ground features that were not visible may not be shown.

SLOPE TABLE			
NUMBER	MIN. SLOPE	MAX. SLOPE	COLOR
1	0.001%	29.999%	
2	30.001%	90.000%	

**LEGEND:**

- PAVEMENT
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 24954
- SURVEY CONTROL POINT
- TRANSFORMER
- TELEPHONE PEDESTAL
- SEWER MAN HOLE
- FIRE HYDRANT



**VIEW ANGLES**

ANGLES ENUMERATED ARE ZENITH ANGLES

**TREE CHART**

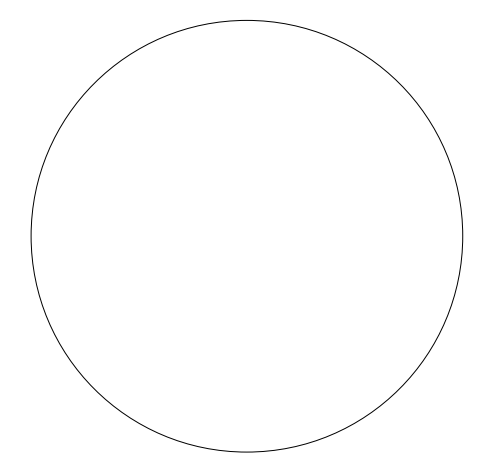
- SPRUCE TREE WITH TRUNK DIAMETER INDICATED IN INCHES
- FIR TREE WITH TRUNK DIAMETER INDICATED IN INCHES
- ASPEN TREE WITH TRUNK DIAMETER INDICATED IN INCHES





Tommy Hein  
ARCHITECTS

Box 3327 108 S. Oak St. Penthouse  
Telluride, Colorado 81435  
www.tommyhein.com 970.728.1220



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Submissions

DRB REVIEW 20.08.06



Mountain  
YACHT

ADDITION

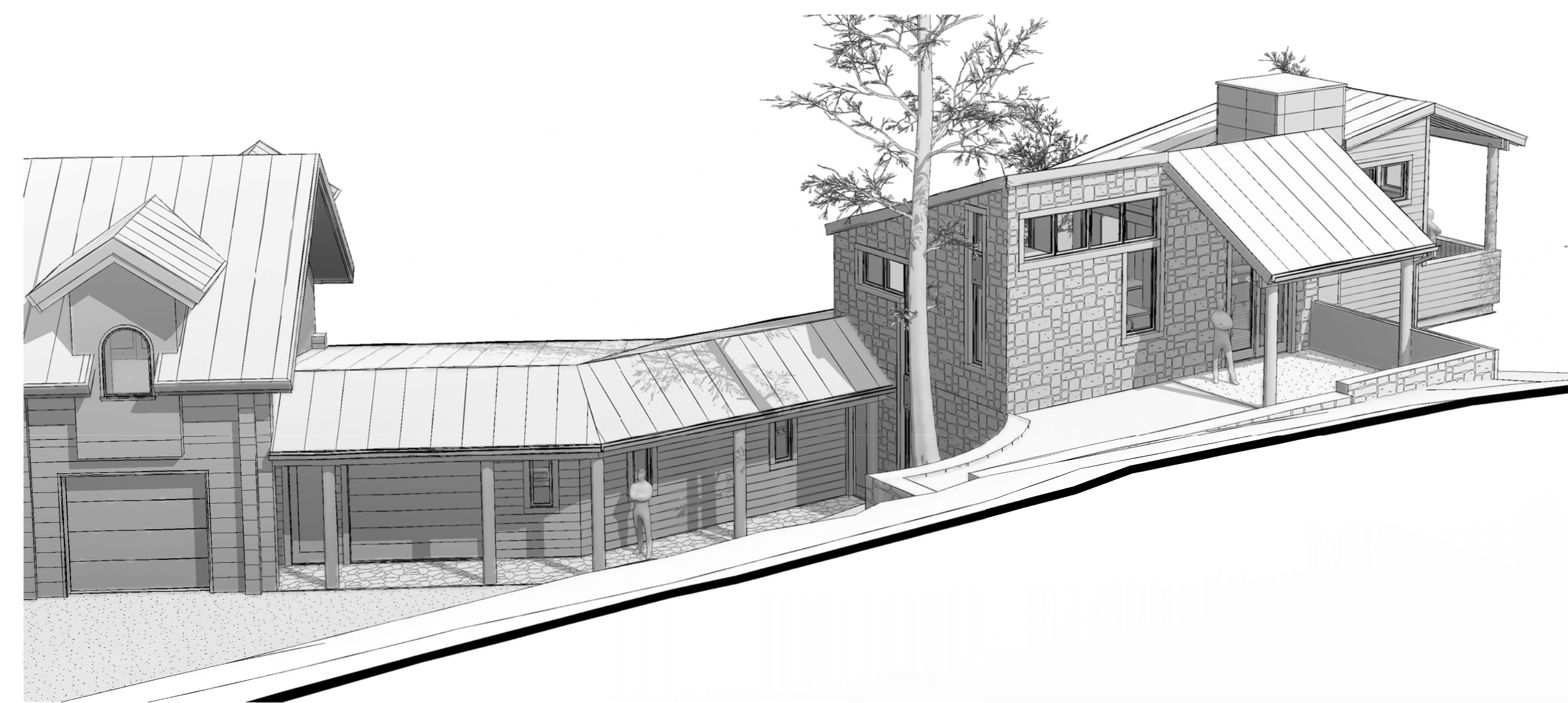
LOT 424  
TOUCHDOWN DRIVE,  
MOUNTAIN VILLAGE



SITE PHOTOS

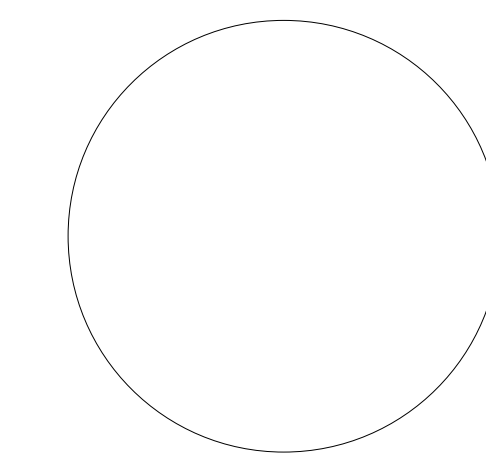
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

A0.4



**Tommy Hein**  
ARCHITECTS

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**Submissions**

DRB REVIEW 20.08.06

*Mountain*  
**YACHT**

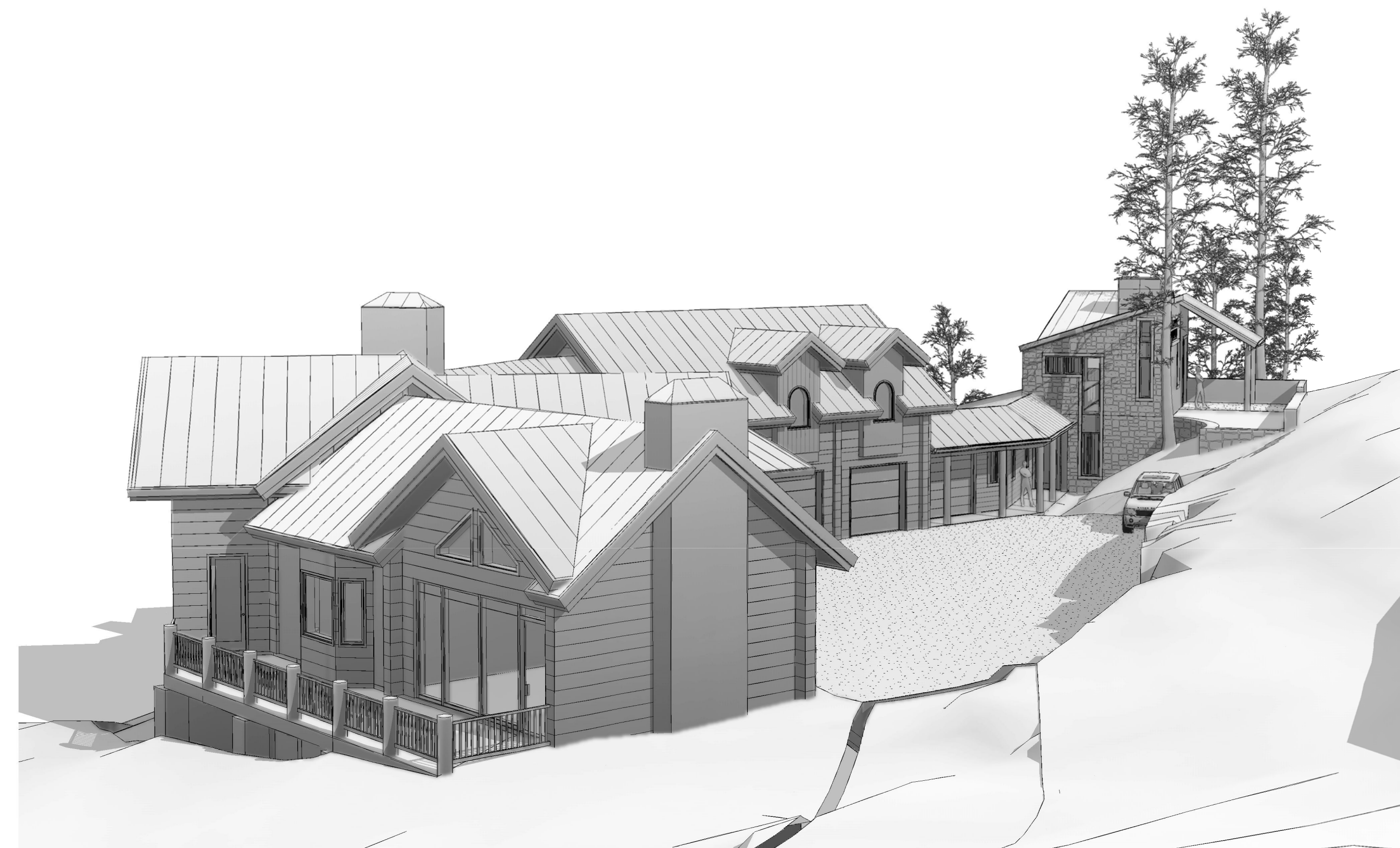
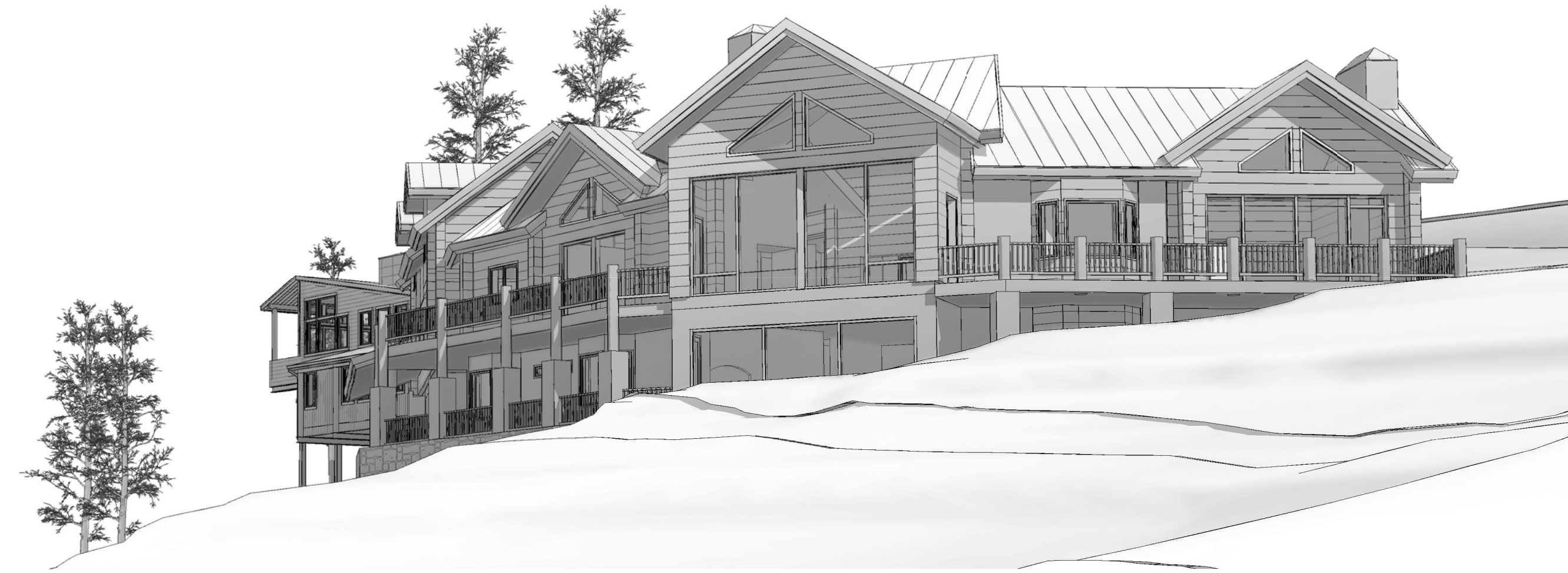
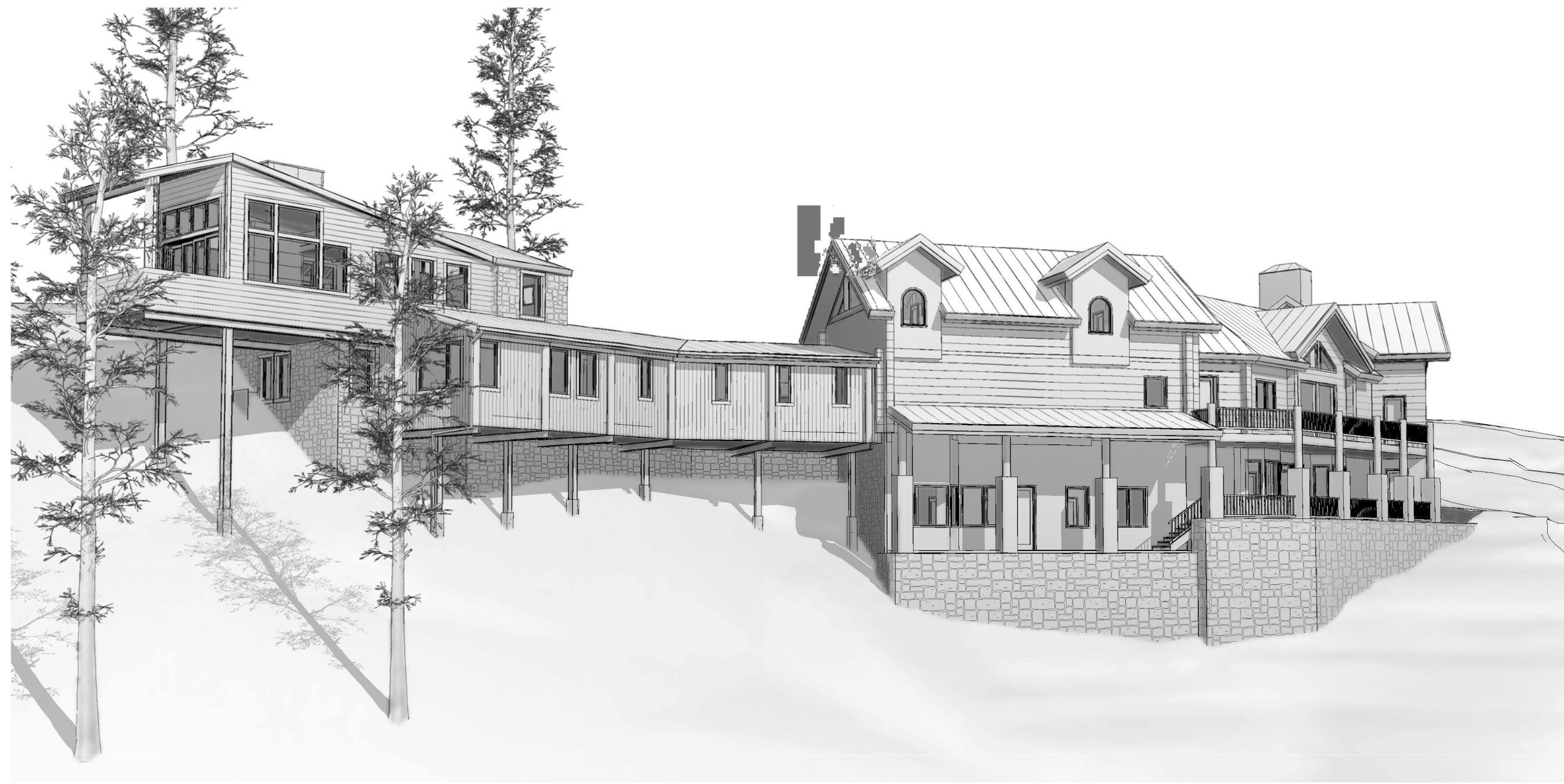
**ADDITION**

LOT 424  
TOUCHDOWN DRIVE,  
MOUNTAIN VILLAGE

**PERSPECTIVES**

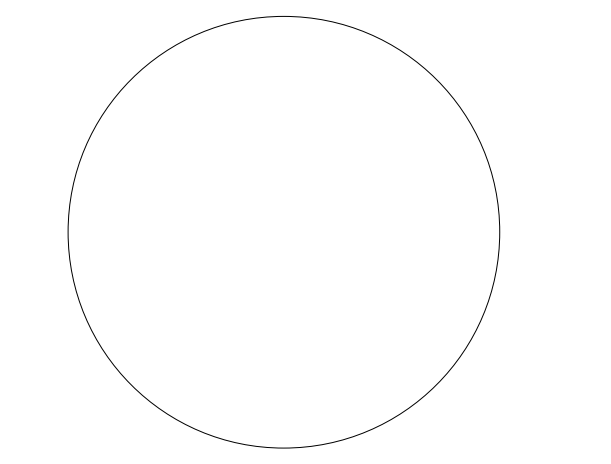
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**A0.5**



*Tommy Hein*  
ARCHITECTS

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TELLURIDE, COLORADO 81435 970.728.1220  
WWW.TOMMYHEIN.COM



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**Submissions**

DRB REVIEW 20.08.06

*Mountain YACHT*

**ADDITION**

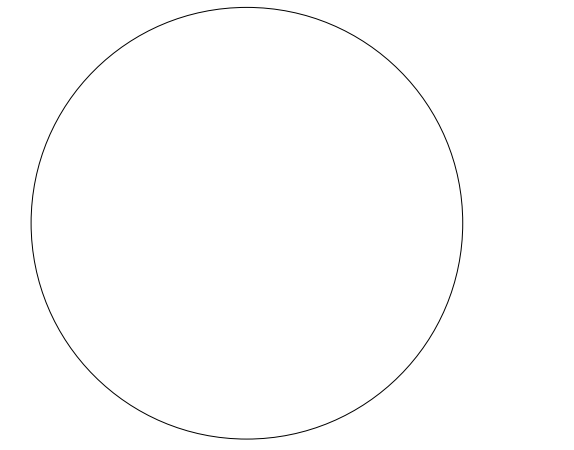
LOT 424  
TOUCHDOWN DRIVE,  
MOUNTAIN VILLAGE

**OVERALL PERSPECTIVES**

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**A0.6**





**Submissions**

DRB REVIEW 20.08.06



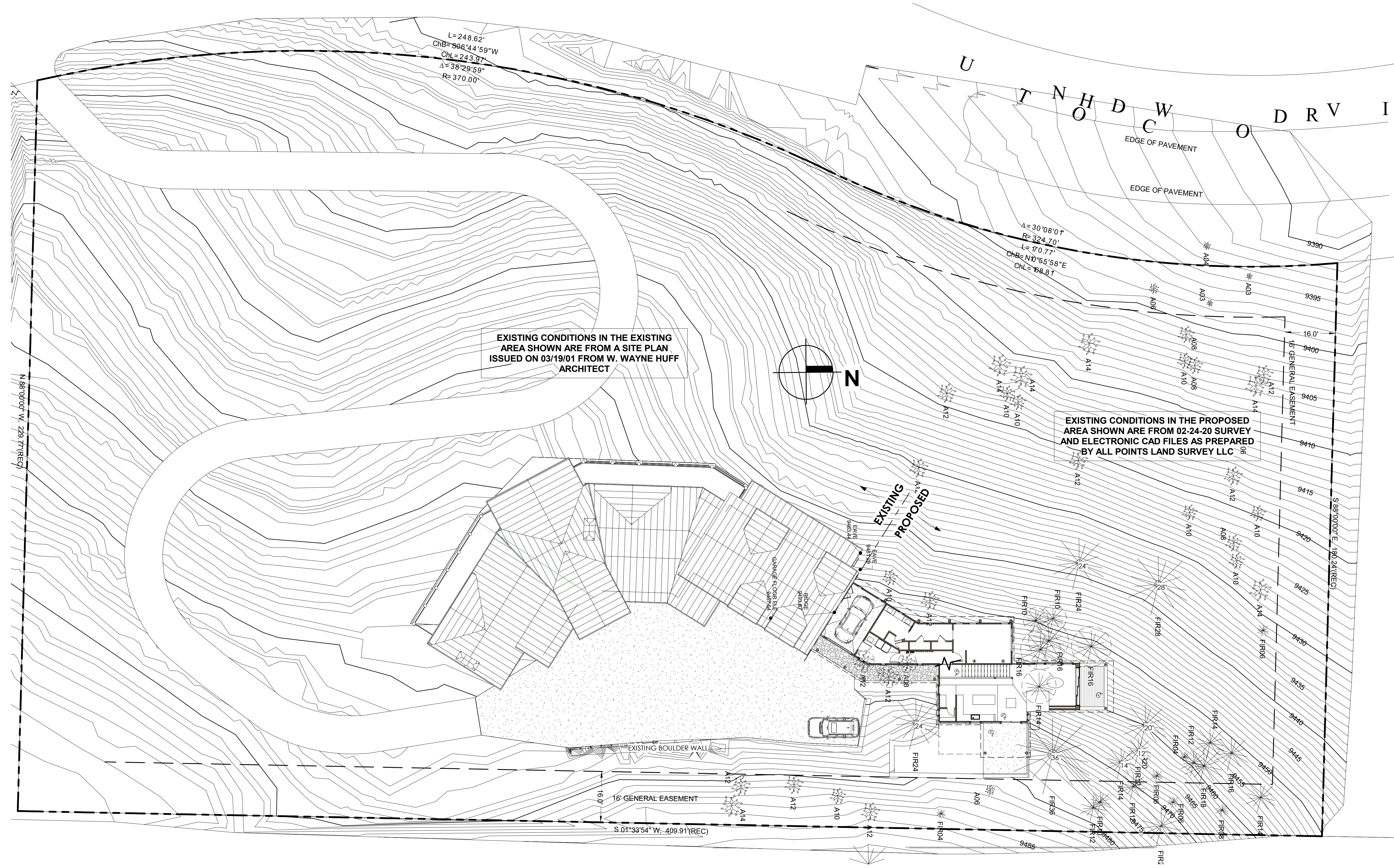
**ADDITION**

LOT 424  
TOUCHDOWN DRIVE,  
MOUNTAIN VILLAGE

**OVERALL SITE PLAN**

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

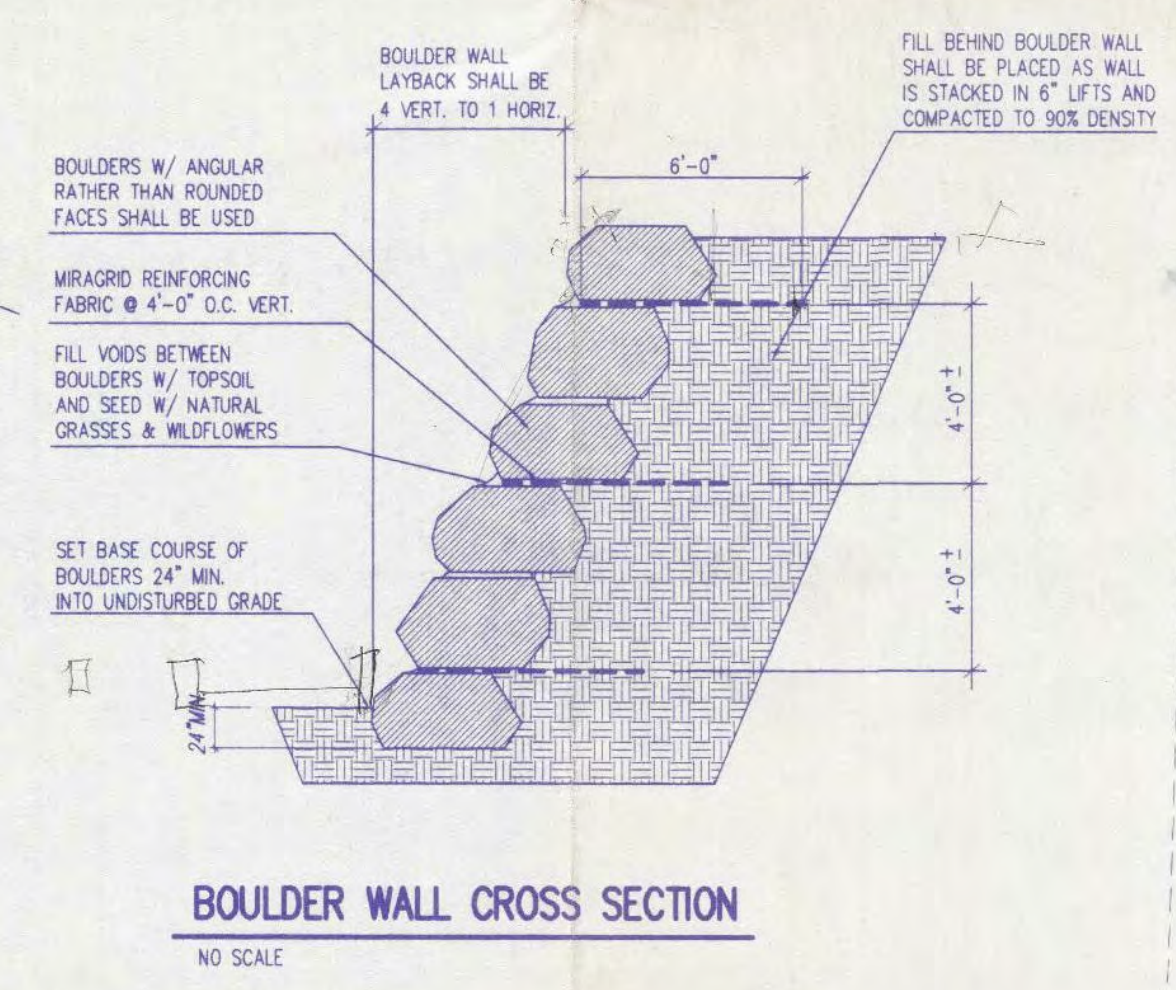
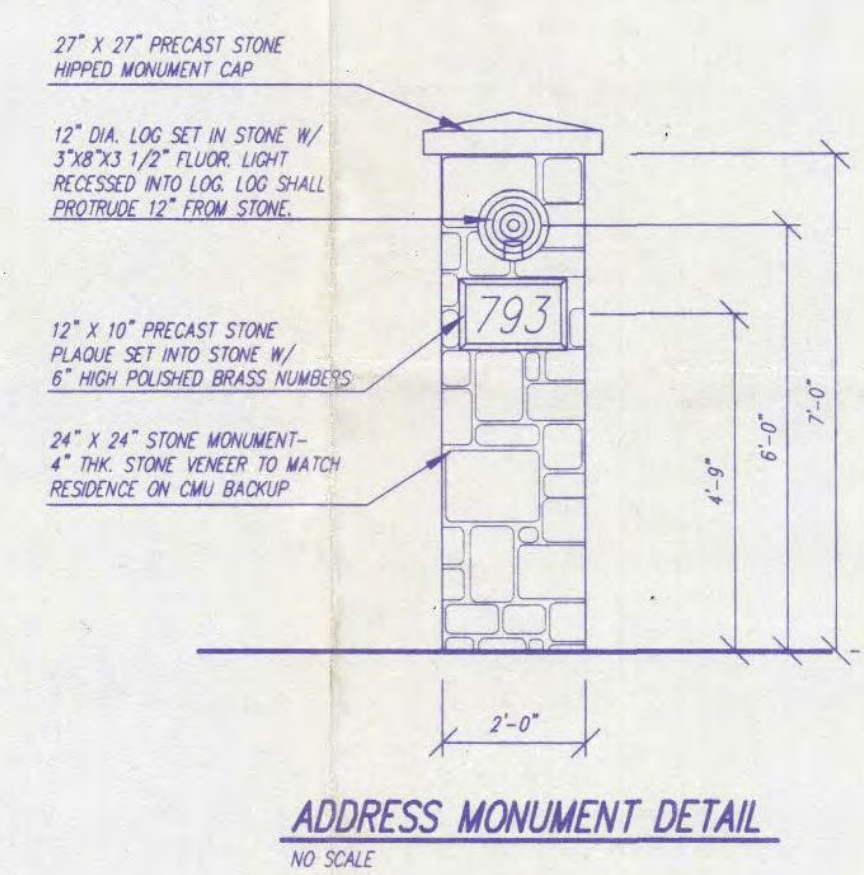
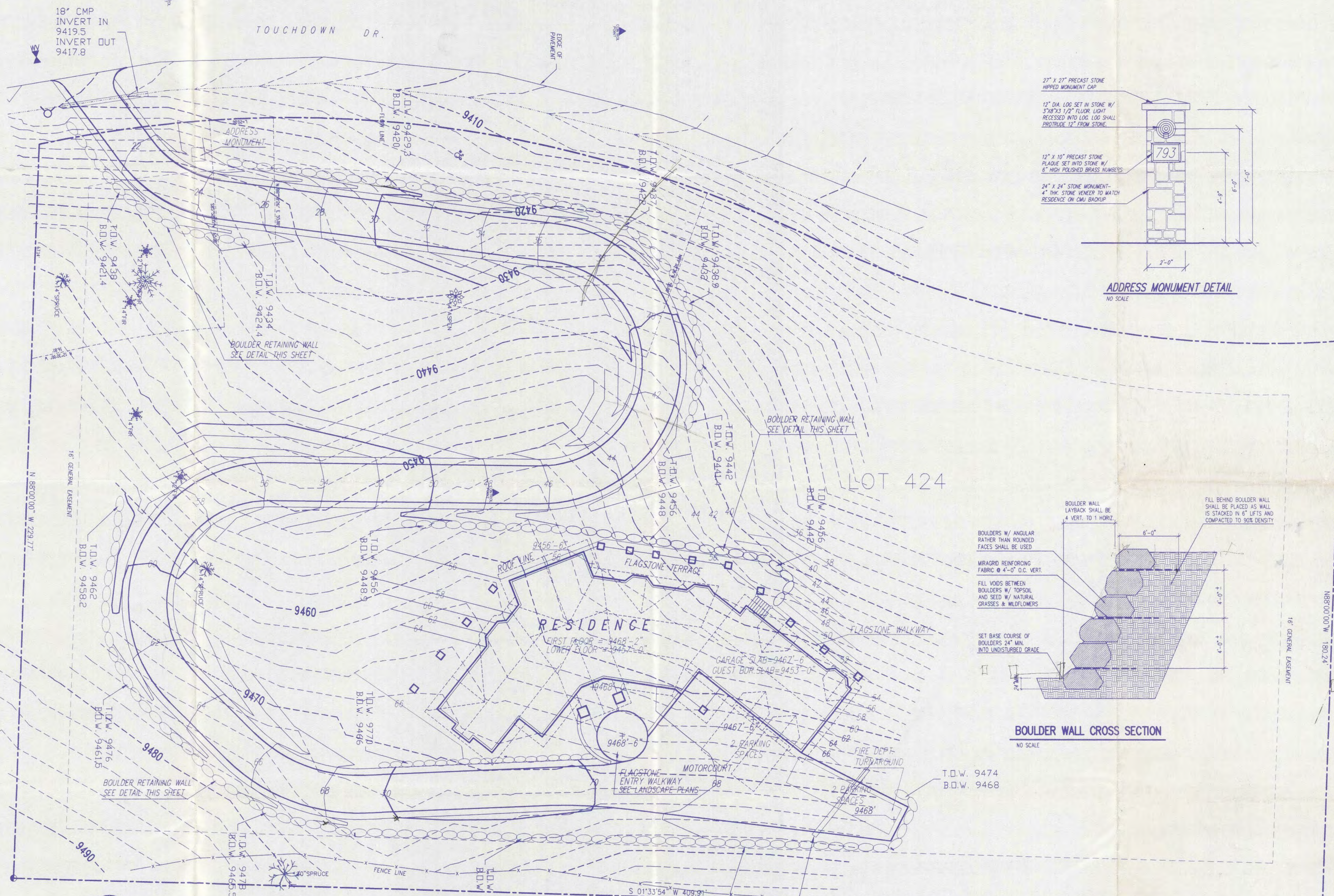
**A1.0**



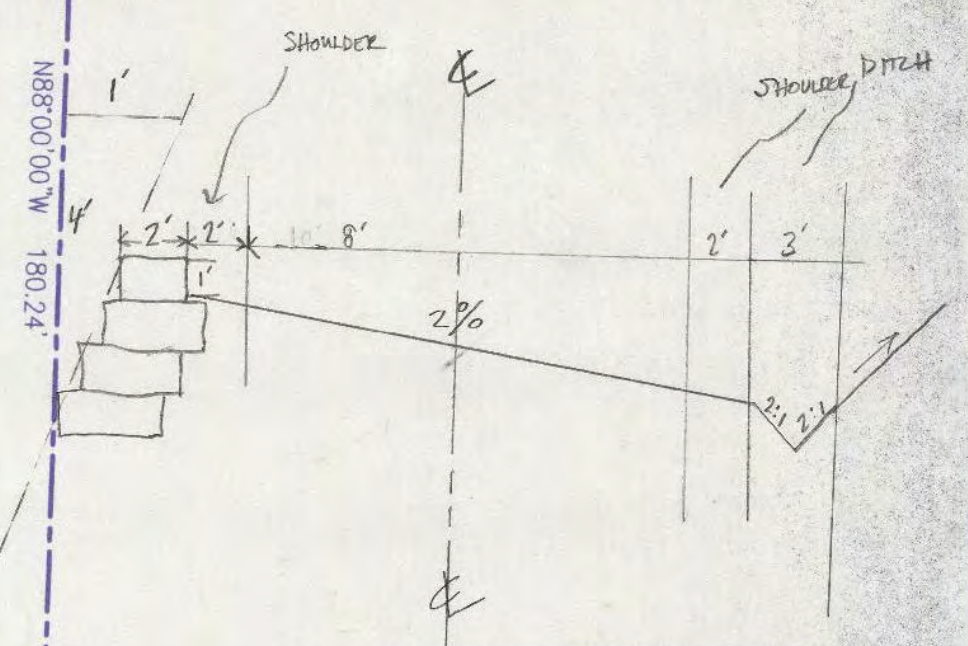
EXISTING CONDITIONS IN THE EXISTING AREA SHOWN ARE FROM A SITE PLAN ISSUED ON 03/19/01 FROM W. WAYNE HUFF ARCHITECT

EXISTING CONDITIONS IN THE PROPOSED AREA SHOWN ARE FROM 02-24-20 SURVEY AND ELECTRONIC CAD FILES AS PREPARED BY ALL POINTS LAND SURVEY LLC

**1 Overall Site Plan**  
SCALE 0 1 2 4 8 1/16" = 1'-0"

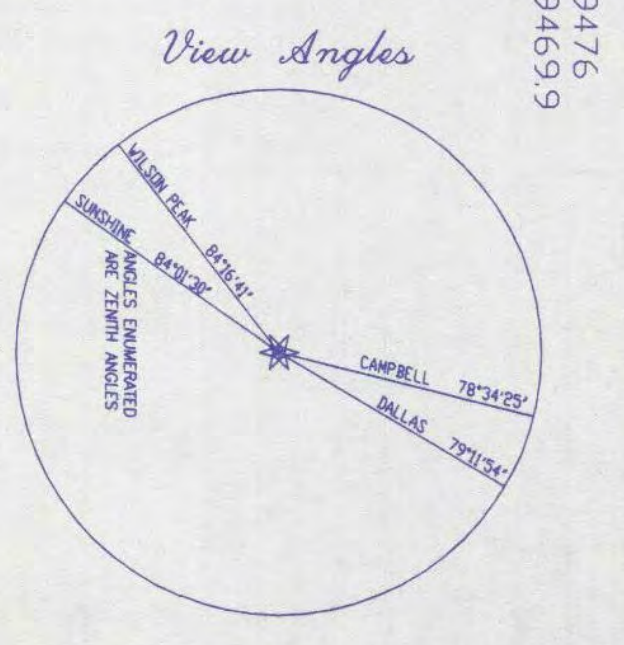


3-7-01  
 DETERMINED BY PETE DELUCA, GRENBNENET, WAYNE HUFF  
 TYPICAL SECTION FOR RETAIN WALL  
 STATIONS 1+85 - 2+40 LEFT



**SITE PLAN**  
 SCALE: 1/16" = 1'-0"

- Legend**
- FOUND No. 5 REBAR WITH 1.5" ALUMINUM CAP L.S. 24954
  - FOUND No. 5 REBAR WITH 1.5" ALUMINUM CAP L.S. 20632
  - ⊕ WATER VALVE
  - ⊕ FIRE HYDRANT
  - ⊕ CURB STOP
  - ⊕ SURVEY CONTROL POINT
  - EXISTING GRADE
  - FINISH GRADE



**FIRE PROTECTION SYSTEM**

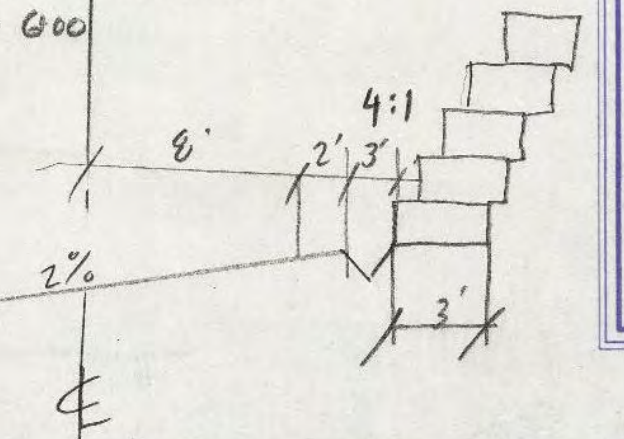
1. FURNISH, DESIGN, AND INSTALL A COMPLETE FIRE PROTECTION SPRINKLER SYSTEM IN ACCORDANCE W/ ALL CODE REQUIREMENTS AND MANUFACTURERS RECOMMENDATIONS.
2. ALL SPRINKLER HEADS SHALL BE RECESSED INTO CEILINGS AND OR LOG BEAMS AND SHALL HAVE POP-OFF COVERS.

CONTRACTOR SHALL SUBMIT SPRINKLER HEAD LAYOUT DRAWING TO ARCHITECT FOR APPROVAL BEFORE START OF CONSTRUCTION.

DATE ISSUED: 02 / 27 / 01	
REVISED:	
COLORADO	ARCHITECT
W. WAYNE HUFF	
793 MONUMENT AVE	
PACOSA SPRINGS CO.	

99138

10-24-01  
 DETERMINED BY CONF. CALL WITH  
 WAYNE HUFF  
 TYP. SECTION FOR DRIVE  
 400 - 600



**LANDSCAPE GENERAL NOTES:**

1. ALL TREES AND SHRUBS SHALL BE FIELD LOCATED BY PROJECT ARCHITECT OR LANDSCAPE DESIGNER.
2. ALL TREES AND SHRUBS SHALL BE BACK FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
3. PLANTED TREES SHALL BE STAKED WITH FOUR FOOT METAL POST. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRAPS.
4. PERENNIAL PLANTING BEDS SHALL BE TILLED TO A SIX INCH (6") DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
5. SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
6. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS, SHREDDED CEDAR BARK.
7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
8. ALL PLANTED MATERIALS SHALL BE NON-NOXIOUS SPECIES AS SPECIFIED WITHIN THE SAN MIGUEL COUNTY NOXIOUS WEED LIST. LANDSCAPING SHOWN ON THE LANDSCAPE PLAN SHALL COMPLY WITH SECTION 17.7.9.C.6.g OF THE COMMUNITY DEVELOPMENT CODE REGARDING NOXIOUS WEEDS.
9. NO TREES TO BE REMOVED OUTSIDE OF THE BUILDING ENVELOPE EXCEPT AS REQUIRED FOR FIRE MITIGATION AND/OR AS DESIGNATED BY THE TOWN FORESTER.
10. SEED WITH NATIVE GRASS SEED MIX, IF APPLICABLE, IS REQUIRED IN ALL DISTURBED AREAS ON THE PERIMETER OF THE BUILDING SITE AND AT UTILITY AND ROAD CUTS.
11. NATIVE GRASS SEED MIX SHALL BE COMPOSED OF THE FOLLOWING:
 

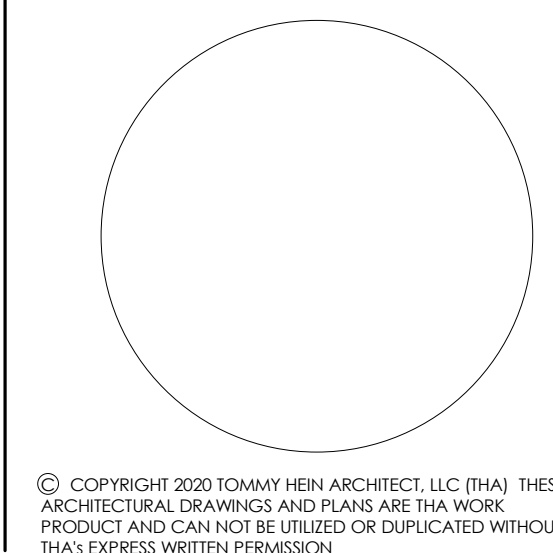
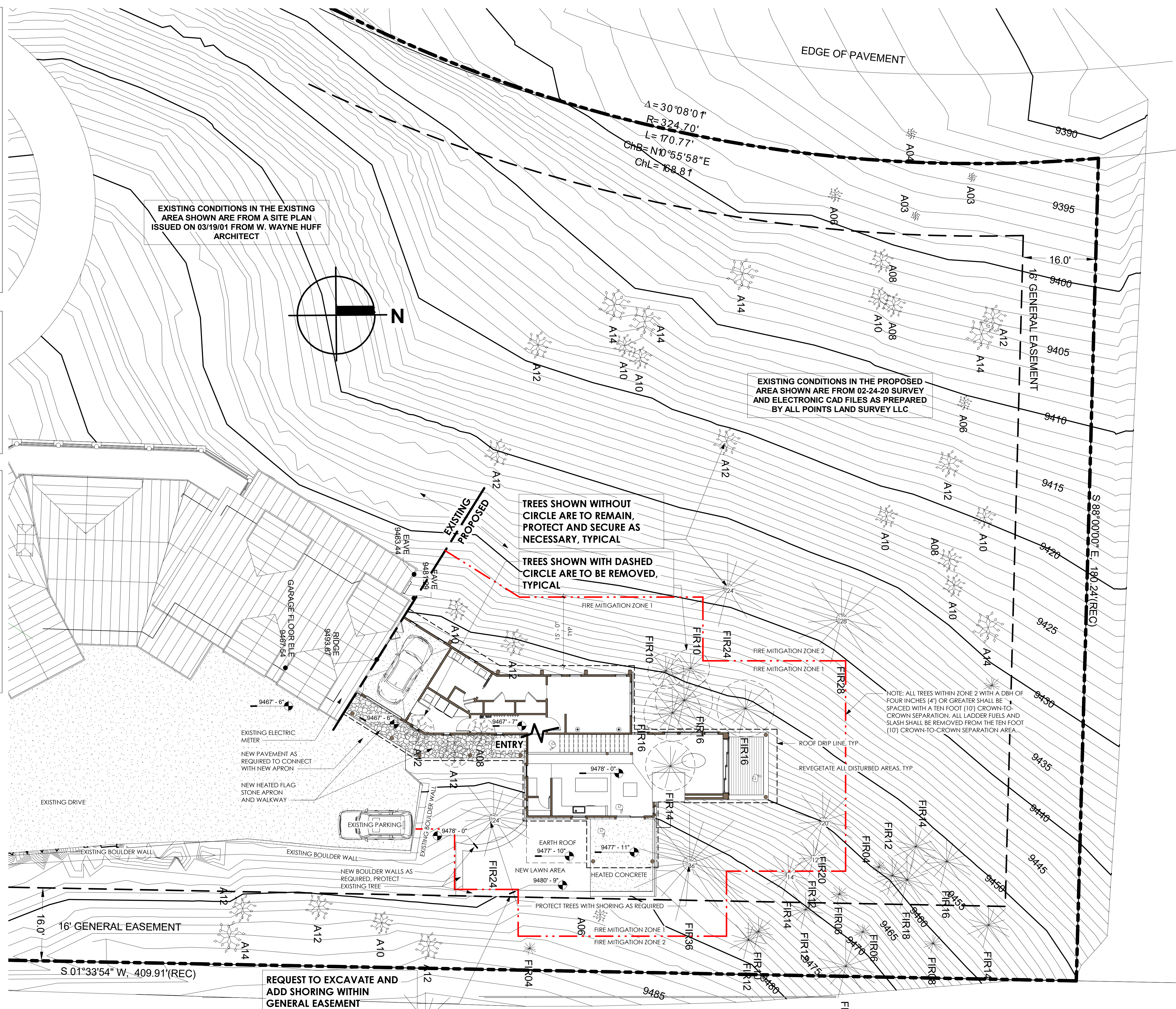
WESTERN YARROW	5%	TALL FESCUE	10%
ARIZONA FESCUE	10%	HARD FESCUE	5%
CREeping RED FESCUE	10%	ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%	PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%	MOUNTAIN BROME	15%

**IRRIGATION SYSTEM NOTES:**

1. A BACKFLOW PREVENTER BY A COLORADO LICENSED PLUMBER SHALL BE INSTALLED AFTER RECEIVING A PLUMBING PERMIT FROM THE TOWN.
2. INTERIOR AND EXTERIOR DRAIN VALVES AND AN INTERIOR DRAIN SHALL BE PROVIDED.
3. HEAD-TO-HEAD OR DOUBLE COVERAGE SHALL BE PROVIDED.
4. A MASTER CONTROL VALVE SHALL BE PROVIDED.
5. A FLOW CONTROL DEVICE TO PREVENT WATER LOSS IN THE EVENT OF A BREAK IN THE IRRIGATION SYSTEM SHALL BE PROVIDED.
6. SELF-SEALING HEADS SHALL BE PROVIDED TO REDUCE RUN OUT AFTER ZONE SHUT DOWN.
7. LOW-ANGLE SPRAY HEADS TO REDUCE WIND EFFECT AND MISTING ON AREAS OF TURF AND LOW-GROWING VEGETATION SHALL BE PROVIDED.
8. IRRIGATION SYSTEM SHALL HAVE A RAIN SENSOR.

**EROSION CONTROL NOTES:**

1. TO THE EXTENT PRACTICAL, ROAD AND DRIVEWAY SHALL BE REVEGETATED WITHIN THIRTY (30) DAYS OF THE DISTURBANCE TO AVOID UNSIGHTLY SCARS AND WEED INFESTATION ON THE LANDSCAPE.
2. UTILITY CUTS SHALL BE REVEGETATED IMMEDIATELY (WITHIN TWO WEEKS) AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION. LANDOWNER SHALL INSURE PROPER WEED CONTROL IN IMPACTED AREAS.
3. EROSION CONTROL ATTENTION TO DISTURBED AREAS SHALL BE IMPLEMENTED TO ENSURE THERE IS NO DETRIMENTAL IMPACT OF RUNOFF TO ANY PONDS, STREAMS OR WETLANDS.
4. IN AREAS THAT ARE TO BE REVEGETATED (ESPECIALLY SEEDING LOCATIONS WHICH HAVE RECEIVED HEAVY CONSTRUCTION EQUIPMENT TRAFFIC), SOIL SHALL BE SCARIFIED BEFORE THE APPLICATION OF SEED. SLOPED SURFACES SHALL BE ROUGHENED BY RUNNING TRACKED EQUIPMENT UP AND DOWN THE FACE OF THE SLOPE. (RUNNING SUCH EQUIPMENT ACROSS THE FACE OF THE SLOPE ENCOURAGES EROSION AND IS NOT RECOMMENDED).
5. NEWLY SEEDED AREAS SHALL BE PROTECTED FROM WIND A WATER EROSION THROUGH THE USE OF MULCHES. ACCEPTABLE MULCHES ARE WOOD CHIPS, STRAW, HYDRO-MULCH AND EROSION CONTROL NETTING.
6. EROSION CONTROL NETTING WILL BE REQUIRED ON SLOPES 3:1 OR STEEPER, IF ALLOWED BY VARIANCE TO SECTION 9-103-2 AND IN DRAINAGE SWALES. FOR ADDITIONAL INFORMATION, REFER TO THE CIVIL DRAWINGS.



**Submissions**  
DRB REVIEW 20.08.06



**ADDITION**  
LOT 424  
TOUCHDOWN DRIVE,  
MOUNTAIN VILLAGE

**SITE AND  
LANDSCAPE  
PLAN**

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**A1.2**



**Submissions**

DRB REVIEW 20.08.06



**ADDITION**

LOT 424  
TOUCHDOWN DRIVE,  
MOUNTAIN VILLAGE

**CONSTRUCTION  
MITIGATION  
PLAN**

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

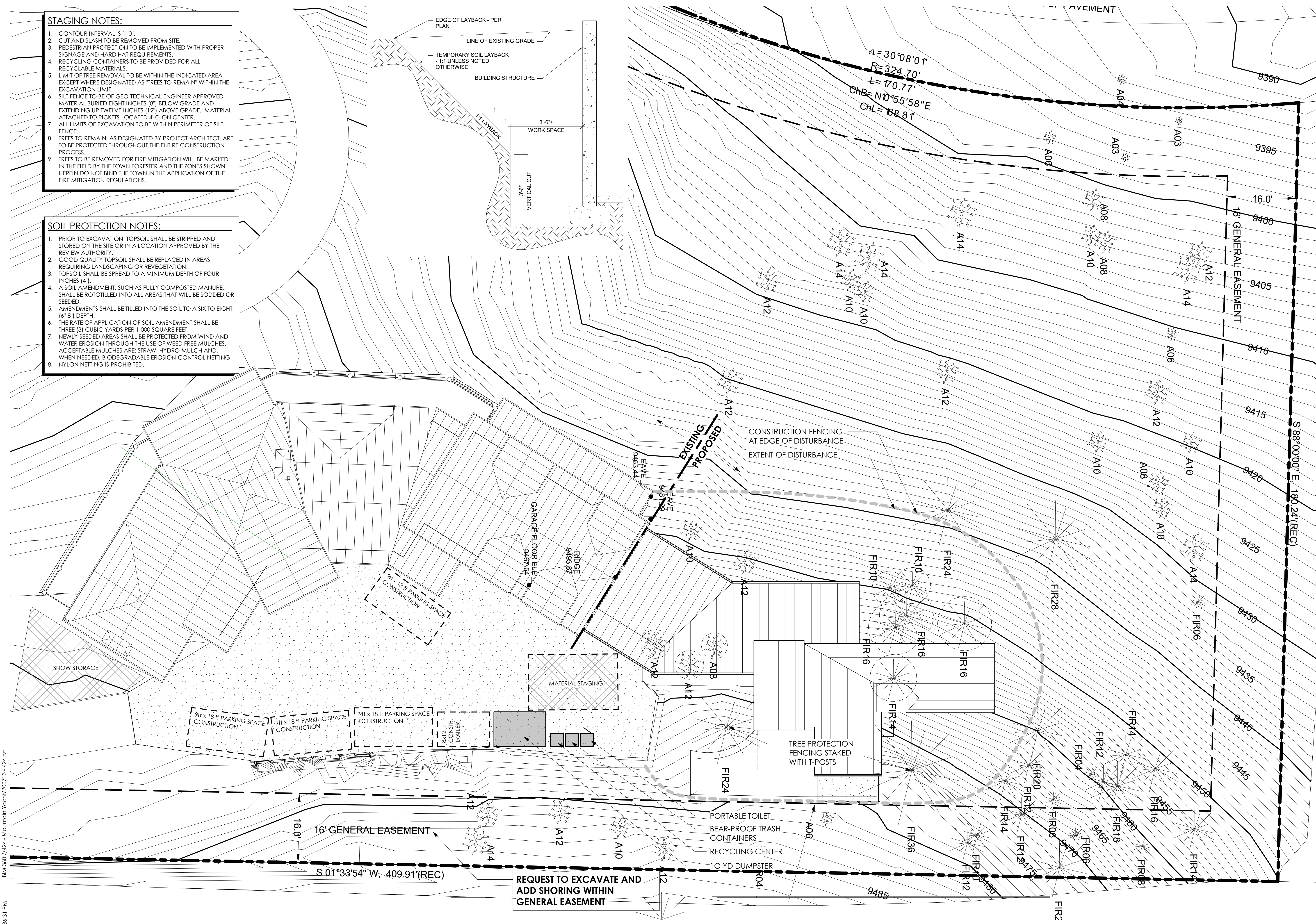
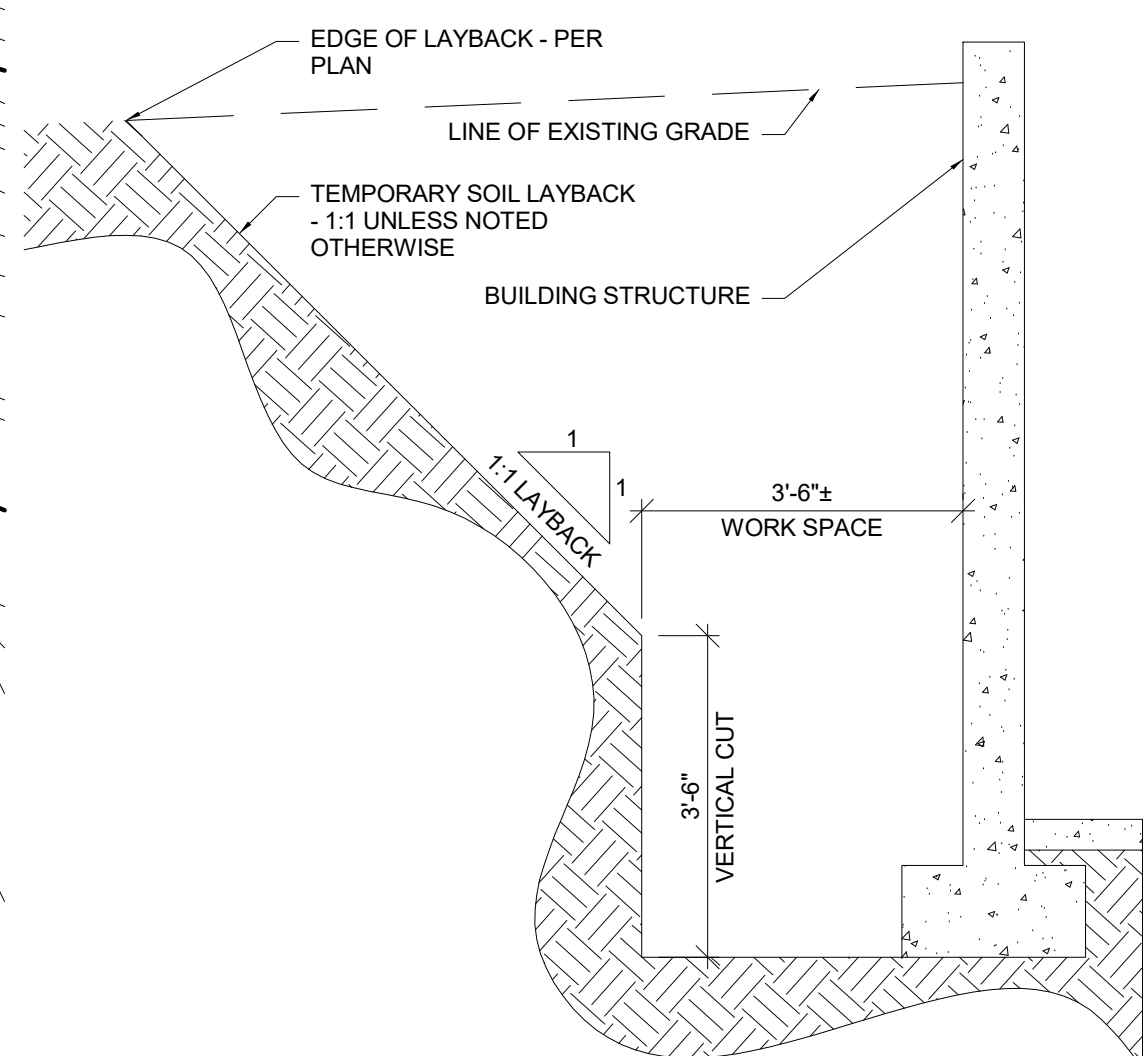
**A1.3**

**STAGING NOTES:**

1. CONTOUR INTERVAL IS 1'-0".
2. CUT AND SLASH TO BE REMOVED FROM SITE.
3. PEDESTRIAN PROTECTION TO BE IMPLEMENTED WITH PROPER SIGNAGE AND HARD HAT REQUIREMENTS.
4. RECYCLING CONTAINERS TO BE PROVIDED FOR ALL RECYCLABLE MATERIALS.
5. LIMIT OF TREE REMOVAL TO BE WITHIN THE INDICATED AREA EXCEPT WHERE DESIGNATED AS "TREES TO REMAIN" WITHIN THE EXCAVATION LIMIT.
6. SILT FENCE TO BE OF GEO-TECHNICAL ENGINEER APPROVED MATERIAL BURIED EIGHT INCHES (8") BELOW GRADE AND EXTENDING UP TWELVE INCHES (12") ABOVE GRADE. MATERIAL ATTACHED TO PICKETS LOCATED 4'-0" ON CENTER.
7. ALL LIMITS OF EXCAVATION TO BE WITHIN PERIMETER OF SILT FENCE.
8. TREES TO REMAIN, AS DESIGNATED BY PROJECT ARCHITECT, ARE TO BE PROTECTED THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.
9. TREES TO BE REMOVED FOR FIRE MITIGATION WILL BE MARKED IN THE FIELD BY THE TOWN FORESTER AND THE ZONES SHOWN HEREIN DO NOT BIND THE TOWN IN THE APPLICATION OF THE FIRE MITIGATION REGULATIONS.

**SOIL PROTECTION NOTES:**

1. PRIOR TO EXCAVATION, TOPSOIL SHALL BE STRIPPED AND STORED ON THE SITE OR IN A LOCATION APPROVED BY THE REVIEW AUTHORITY.
2. GOOD QUALITY TOPSOIL SHALL BE REPLACED IN AREAS REQUIRING LANDSCAPING OR REVEGETATION.
3. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF FOUR INCHES (4").
4. A SOIL AMENDMENT, SUCH AS FULLY COMPOSTED MANURE, SHALL BE ROTOTILLED INTO ALL AREAS THAT WILL BE SODDED OR SEEDED.
5. AMENDMENTS SHALL BE TILLED INTO THE SOIL TO A SIX TO EIGHT (6"-8") DEPTH.
6. THE RATE OF APPLICATION OF SOIL AMENDMENT SHALL BE THREE (3) CUBIC YARDS PER 1,000 SQUARE FEET.
7. NEWLY SEEDED AREAS SHALL BE PROTECTED FROM WIND AND WATER EROSION THROUGH THE USE OF WEED FREE MULCHES. ACCEPTABLE MULCHES ARE: STRAW, HYDRO-MULCH AND, WHEN NEEDED, BIODEGRADABLE EROSION-CONTROL NETTING. NYLON NETTING IS PROHIBITED.



**CDC SITE COVERAGE DEFINITION:**

THE TOTAL HORIZONTAL AREA OF ANY BUILDING, CARPORT, PORTE-COCHERE OR ARCADE AND SHALL ALSO INCLUDE WALKWAYS, ROOF OVERHANGS, EAVES, EXTERIOR STAIRS, DECKS, COVERED PORCHES, TERRACES AND PATIOS. SUCH HORIZONTAL MEASUREMENT SHALL BE FROM THE DRIP LINES OF BUILDINGS AND FROM THE EXTERIOR SURFACE OF THE TOTAL WALL ASSEMBLY

**SITE COVERAGE**

**MAX COVERAGE ALLOWED = 30% MAX (SINGLE FAMILY WITH LOTS > 1 TO 5 ACRES)**

**LOT SIZE = 87,642.72 SF**

**SITE COVERAGE (INCLUDING EXISTING AND PROPOSED) = 8,660.6 SF (9.88%)**

**9.88% IS 20.12% BELOW THE ALLOWABLE 30%**

**MV CDC - FLOOR AREA DEFINITION**

THE SUM OF ALL AREA(S) WITHIN THE EXTERIOR WALLS OF A BUILDING OR PORTION THEREOF, MEASURED FROM THE EXTERIOR FACES OF THE EXTERIOR WALLS, EXCLUDING THE AREA WITHIN ATTACHED OR DETACHED GARAGES AND ATTICS OR CRAWL SPACES PROVIDED THAT SUCH AREAS MEET THE FOLLING FLOOR AREA EXCLUSIONS. e. STAIRWAYS: STAIRS WITHIN A DWELLING UNIT SHALL ONLY BE COUNTED ON EVERY OTHER LEVEL.

**GROSS FLOOR AREA SUMMARY**

**TOTAL EXISTING FLOOR AREA: = 7,847 SF**  
**TOTAL PROPOSED FLOOR AREA: = 2,370.4 SF**  
**TOTAL COMBINED FLOOR AREA: = 10,217.4 SF**

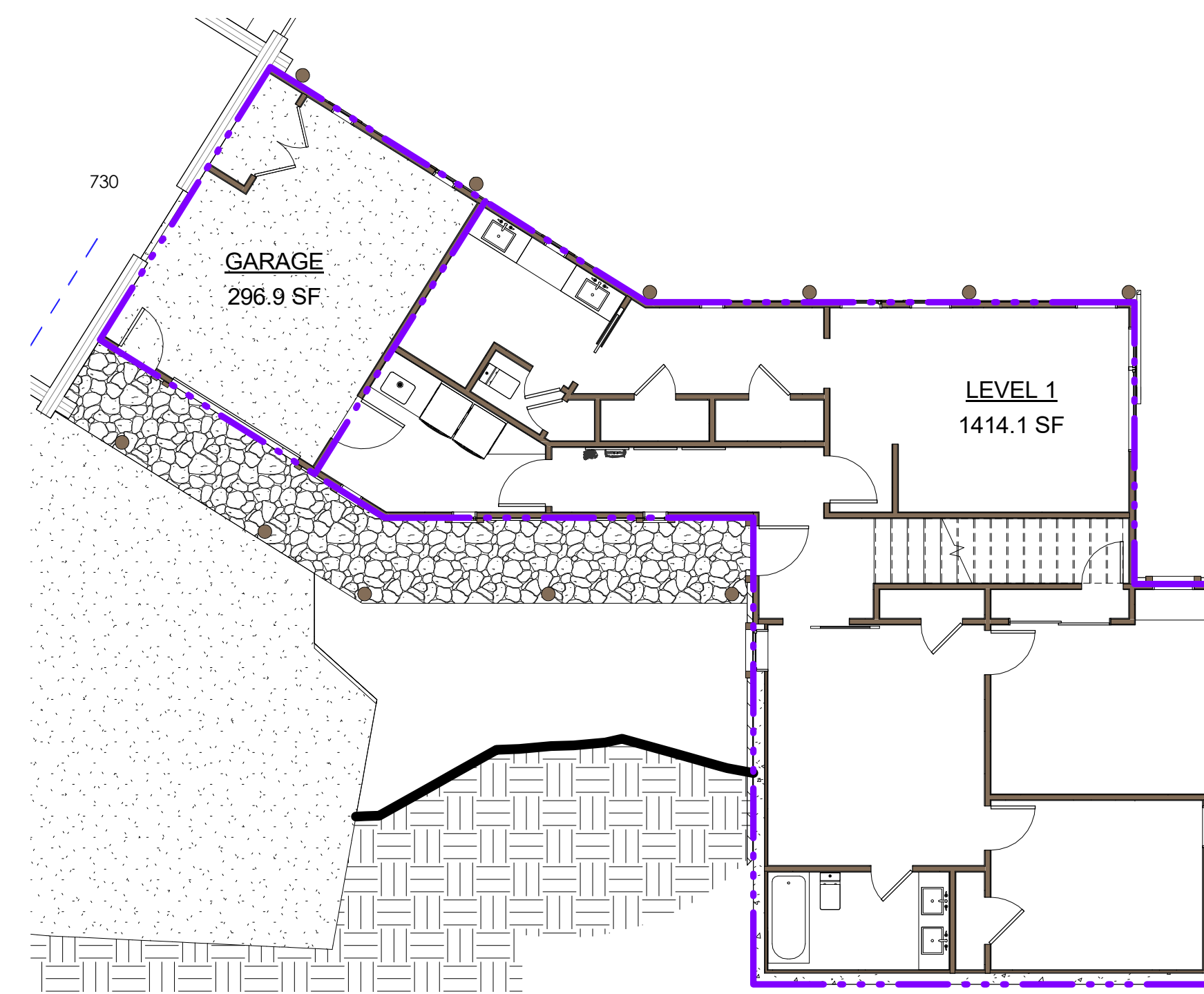
**TOTAL FLOOR AREA - GROSS**

Name	Level	Area
LEVEL 1	Level 1	1414.1 SF
GARAGE	Level 1	296.9 SF
LEVEL 2	Level 2	659.3 SF
<b>Grand total: 3</b>		<b>2370.4 SF</b>

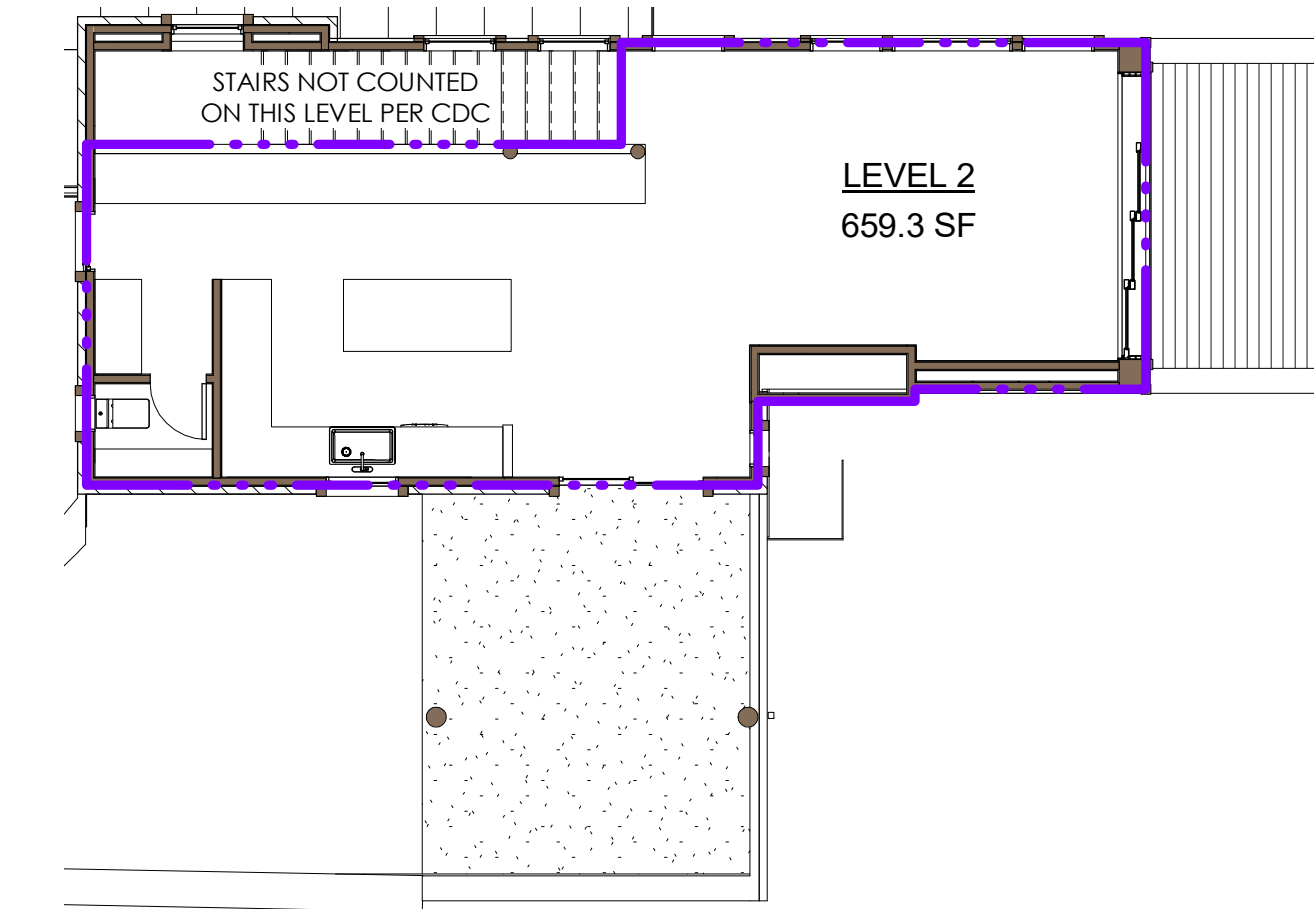
**FLOOR AREA SUMMARY**

**EXISTING STRUCTURE**  
 LEVEL 00: = 3,268 SF  
 LEVEL 01: = 3,045 SF  
 LEVEL 02: = 274 SF  
 CARETAKER: = 530 SF  
 GARAGE: = 730 SF  
**TOTAL EXISTING FLOOR AREA: = 7,847 SF**

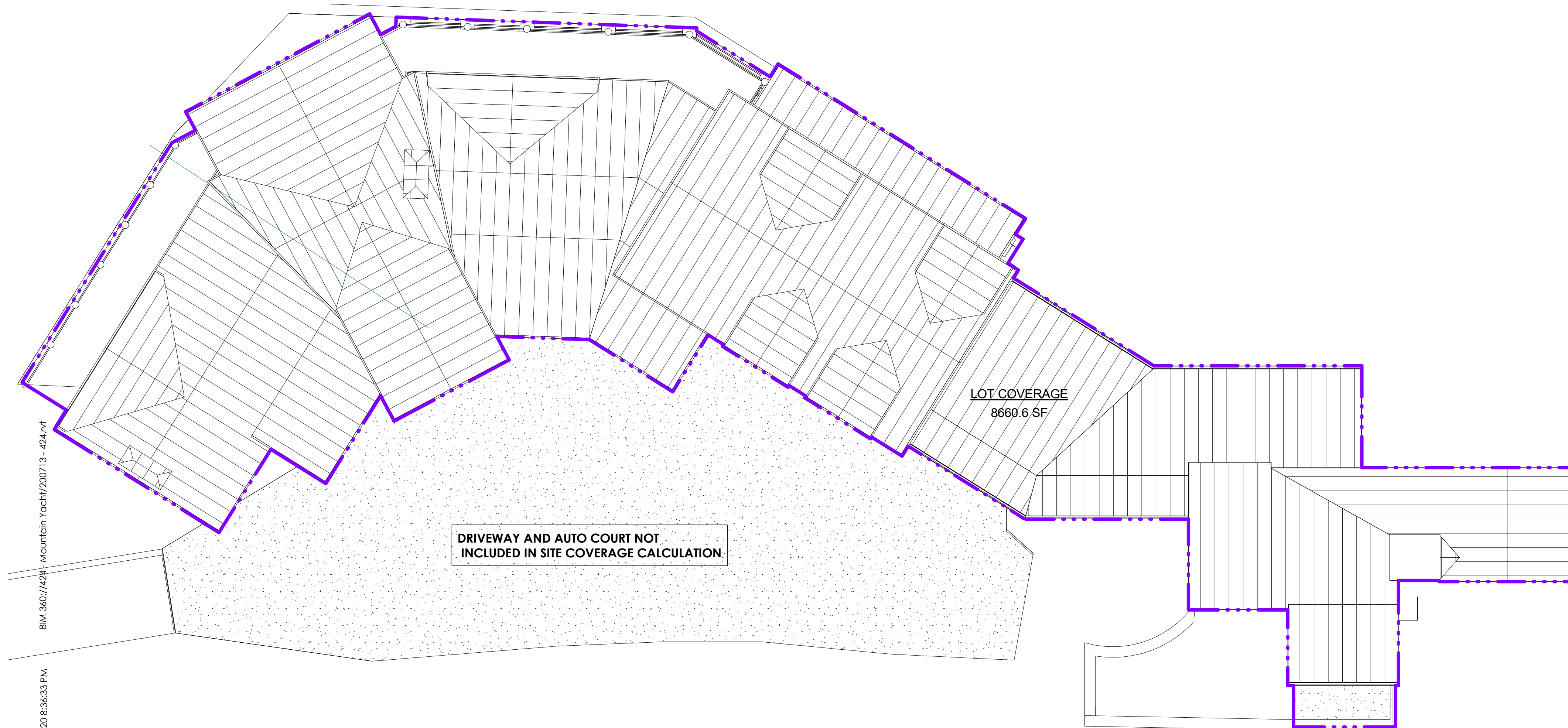
**PROPOSED ADDITION**  
 LEVEL 01: = 1,414.1 SF  
 LEVEL 02: = 659.3 SF  
 GARAGE: = 296.9 SF  
**TOTAL PROPOSED FLOOR AREA: = 2,370.4 SF**  
**TOTAL COMBINED FLOOR AREA: = 10,217.4 SF**



**1 Level 1**  
 SCALE 0 1 2 4 8 1/8" = 1'-0"



**2 Level 2**  
 SCALE 0 1 2 4 8 1/8" = 1'-0"



**3 Lot Coverage**  
 SCALE 0 1 2 4 5 1" = 10'-0"

**Submissions**

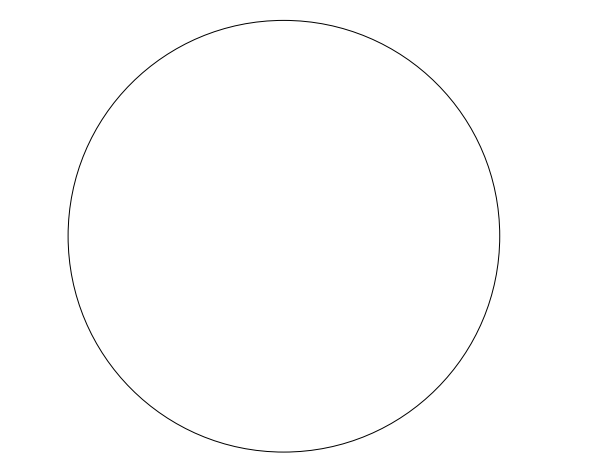
DRB REVIEW 20.08.06

**ADDITION**

LOT 424  
 TOUCHDOWN DRIVE,  
 MOUNTAIN VILLAGE

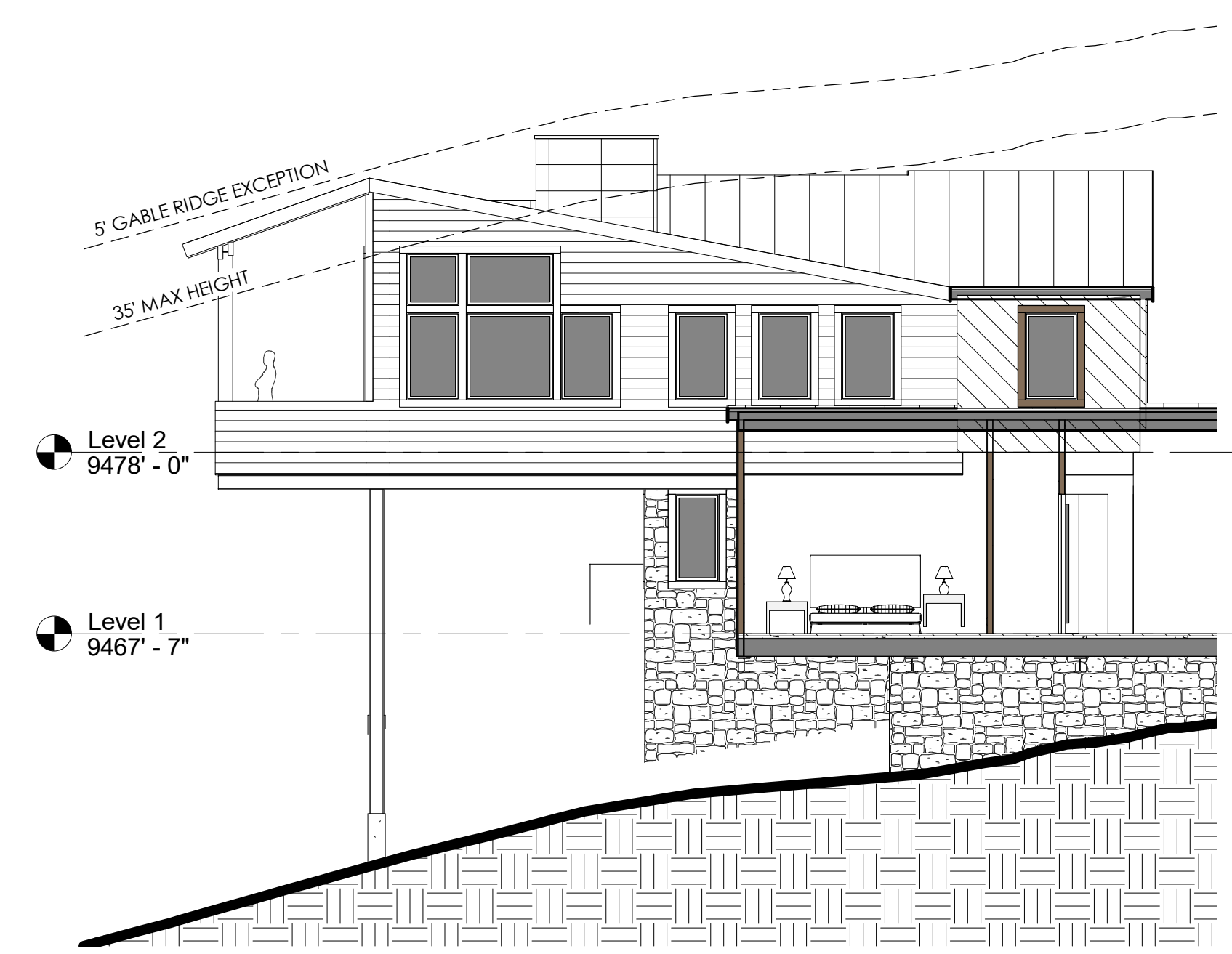
**FLOOR AREA AND SITE COVERAGE**

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201



**Submissions**

DRB REVIEW 20.08.06



**2 Building Height Most Restrictive**  
SCALE 0 1 2 4 8 1/8" = 1'-0"

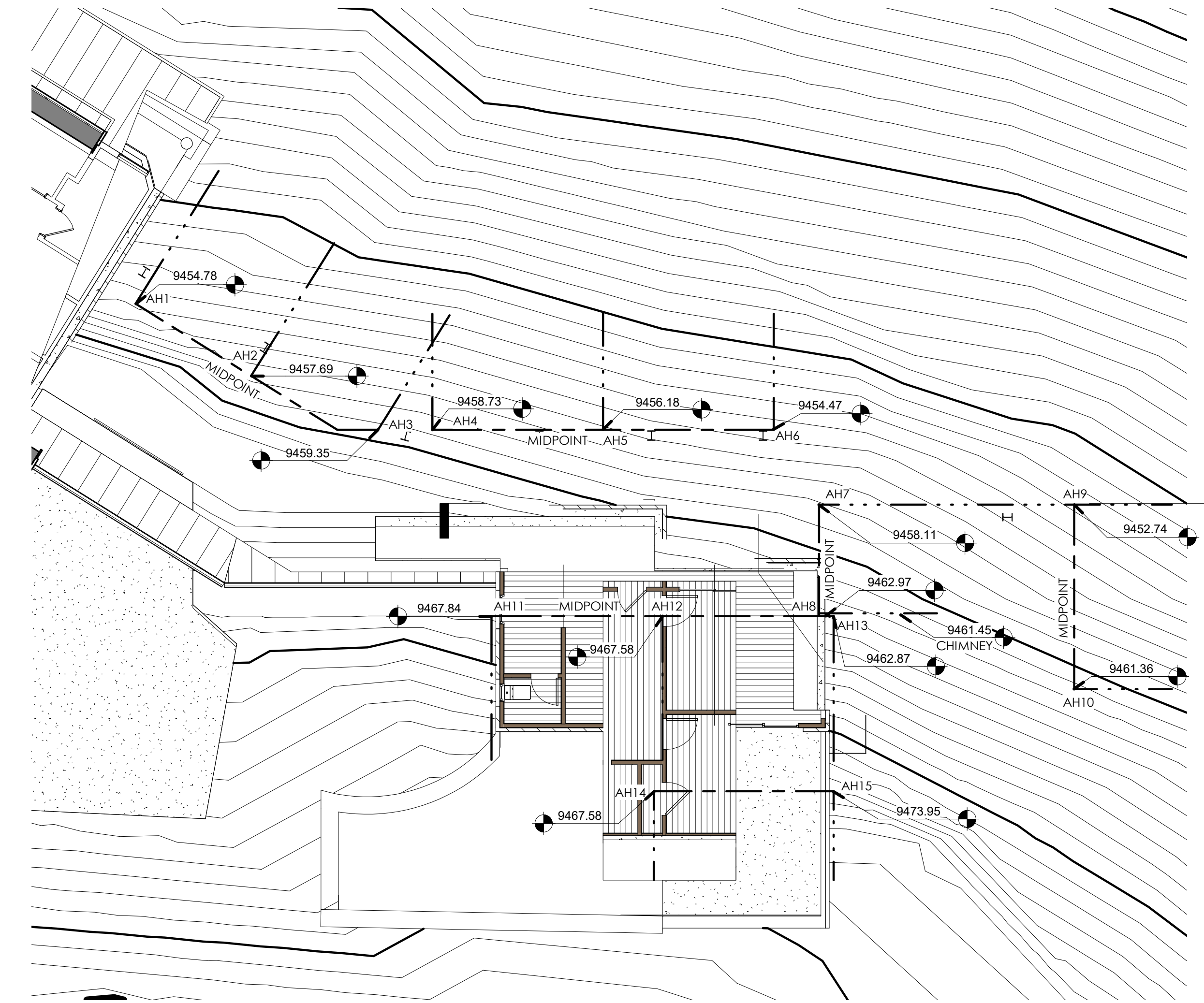
**BUILDING HEIGHT AVERAGE**

NUMBER	ROOF HEIGHT	GRADE HEIGHT	HEIGHT
AH1	9478.79	9454.78	24.01
AH2	9478.79	9457.69	21.1
AH3	9478.79	9459.35	19.44
AH4	9478.79	9458.73	20.06
AH5	9478.79	9456.18	22.61
AH6	9478.79	9454.47	24.32
AH7	9490.61	9458.11	32.5
AH8	9490.61	9462.97	27.64
AH9	9491.83	9452.74	39.09
AH10	9491.83	9461.36	30.47
AH11	9490.69	9467.84	22.85
AH12	9490.69	9467.58	23.11
AH13	9490.69	9462.87	27.82
AH14	9490.69	9467.58	23.11
AH15	9490.69	9473.95	16.74

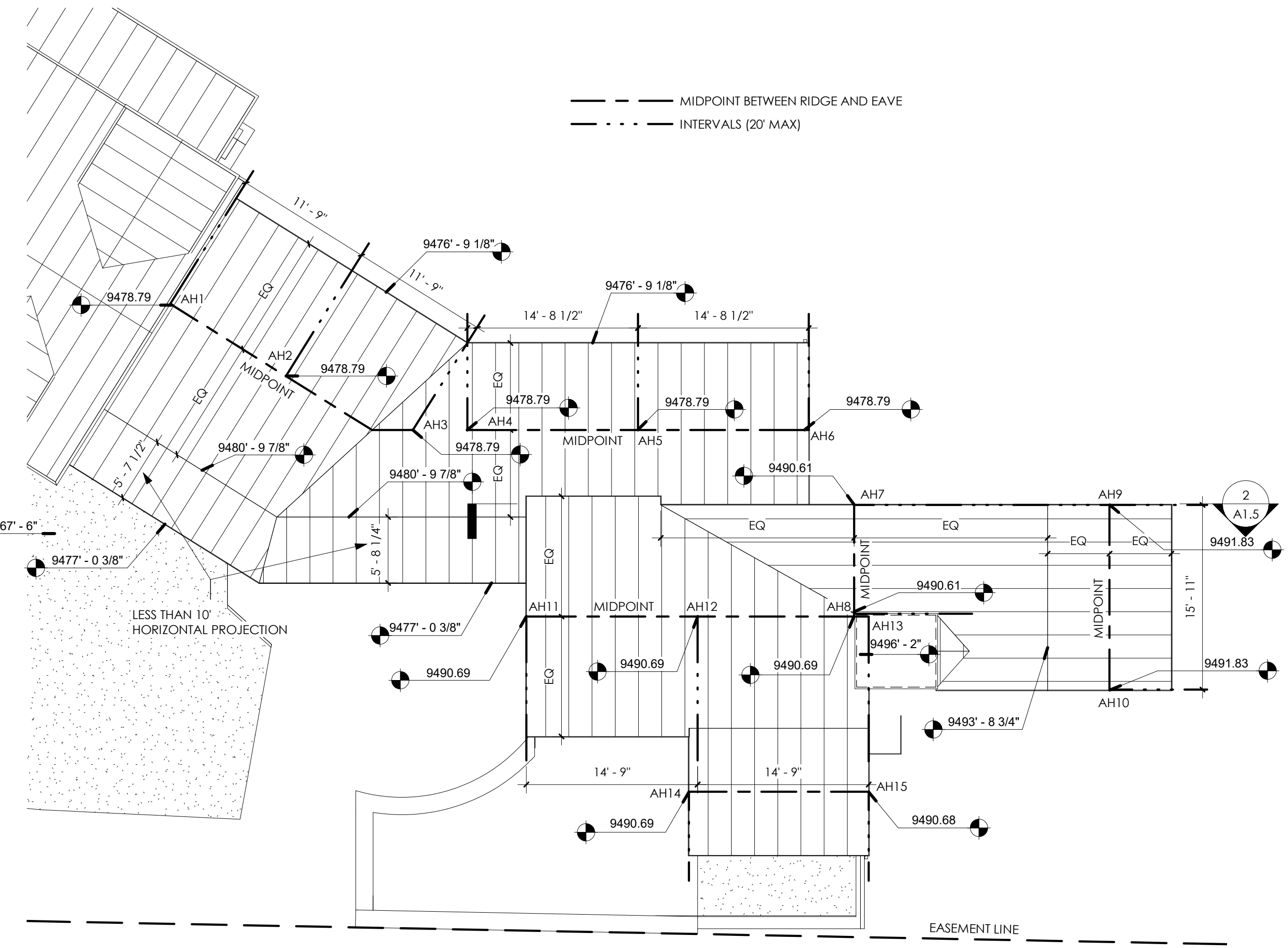
**AVERAGE HEIGHT = 24.99**  
MAX AVERAGE ALLOWABLE= 30  
COMPLIANT BY= 5.01

**MAXIMUM BUILDING HEIGHT PER CDC**  
HIGHEST RIDGE= 9493.73  
GRADE BELOW= 9454.15  
**MAX HEIGHT AT MOST RESTRICTIVE= 39.58**  
MAX HEIGHT ALLOWABLE= 40' (35'+5')  
COMPLIANT BY= 0.42

**MAX CHIMNEY HEIGHT PER CDC**  
HIGHEST POINT= 9496.17  
GRADE BELOW= 9461.45  
**MAX HEIGHT AT MOST RESTRICTIVE= 34.72**  
MAX HEIGHT ALLOWABLE= 40' (35'+5')  
COMPLIANT BY= 5.28



**3 Max Average Height Site Plan**  
SCALE 0 1 2 4 8 1/8" = 1'-0"



**1 Max Average Height Roof Plan**  
SCALE 0 1 2 4 8 1/8" = 1'-0"



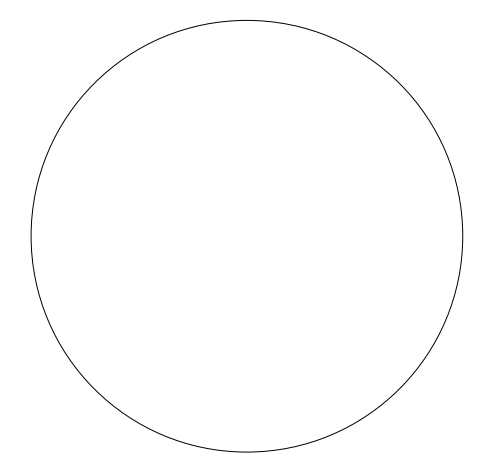
**ADDITION**

LOT 424  
TOUCHDOWN DRIVE,  
MOUNTAIN VILLAGE

**BUILDING HEIGHT COMPLIANCE ANALYSIS**

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**A1.5**



**Submissions**

DRB REVIEW 20.08.06



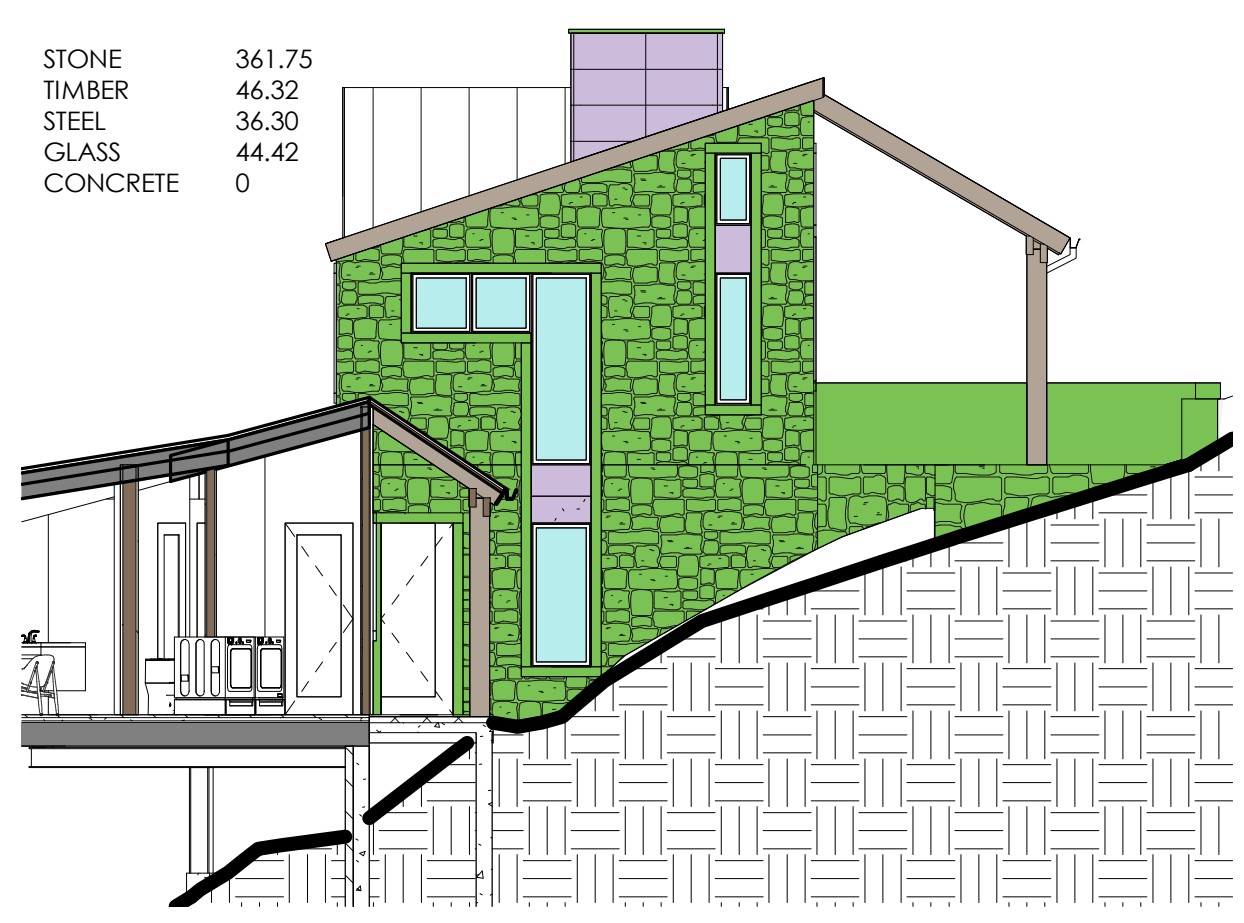
**ADDITION**

LOT 424  
TOUCHDOWN DRIVE,  
MOUNTAIN VILLAGE

**EXTERIOR MATERIAL CALCULATIONS**

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**A1.6**



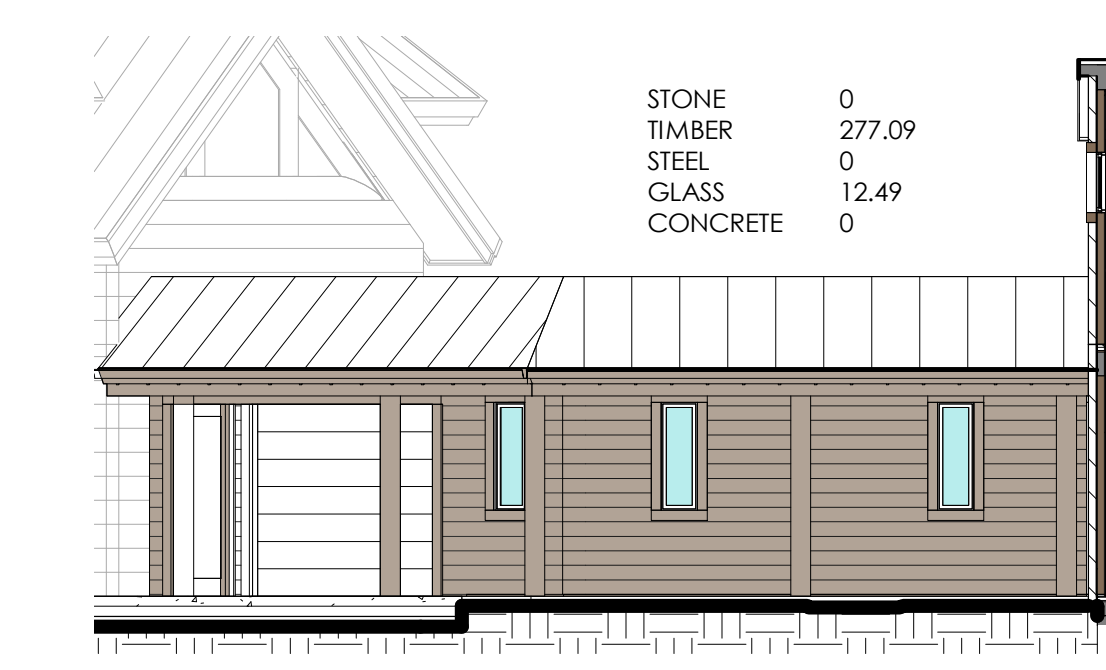
**4 Materials - South Elevation**  
SCALE 0 1/2 4 8 1/8" = 1'-0"



**3 Materials - North Elevation**  
SCALE 0 1/2 4 8 1/8" = 1'-0"



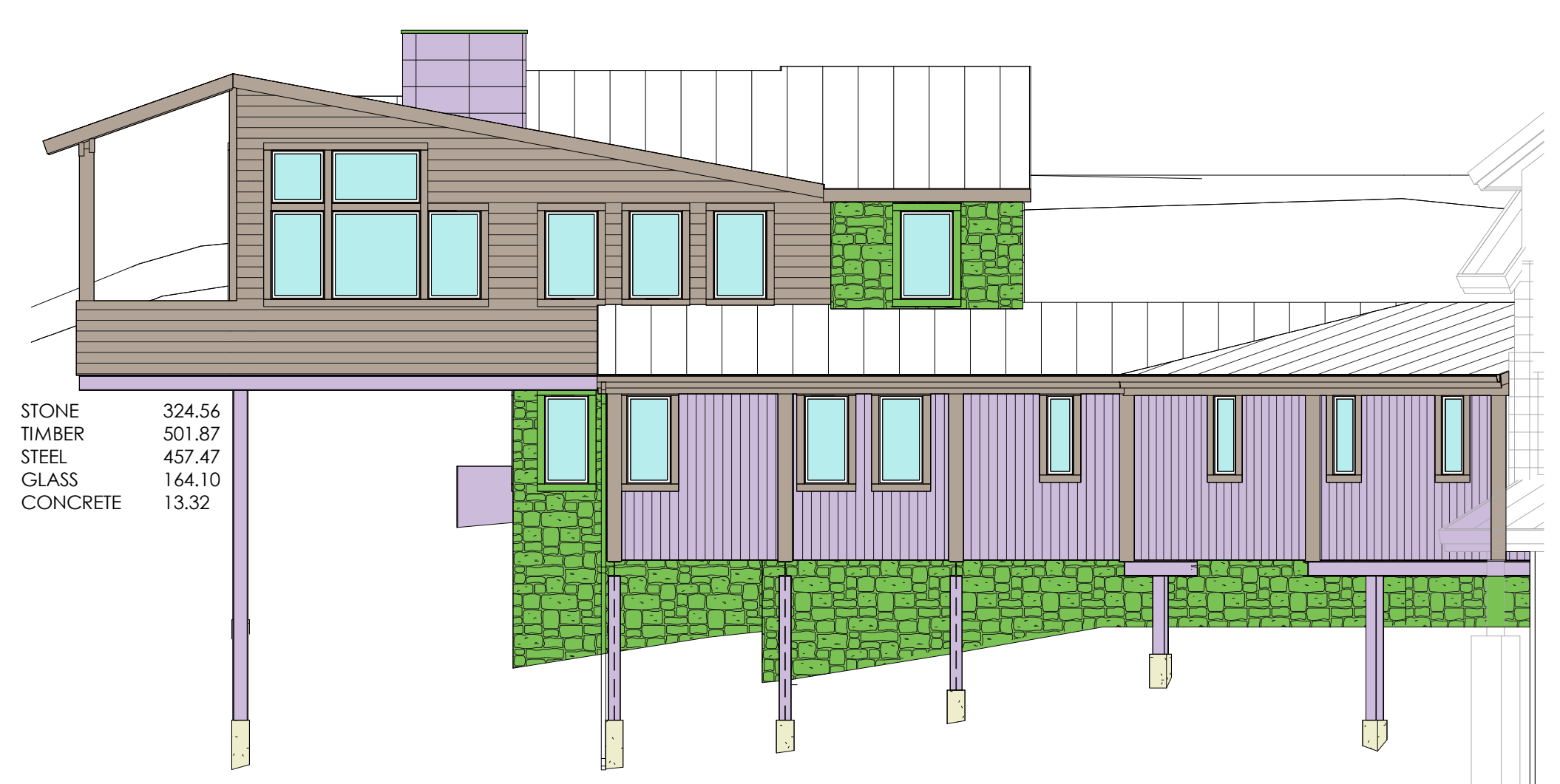
**1 Materials - East Elevation**  
SCALE 0 1/2 4 8 1/8" = 1'-0"



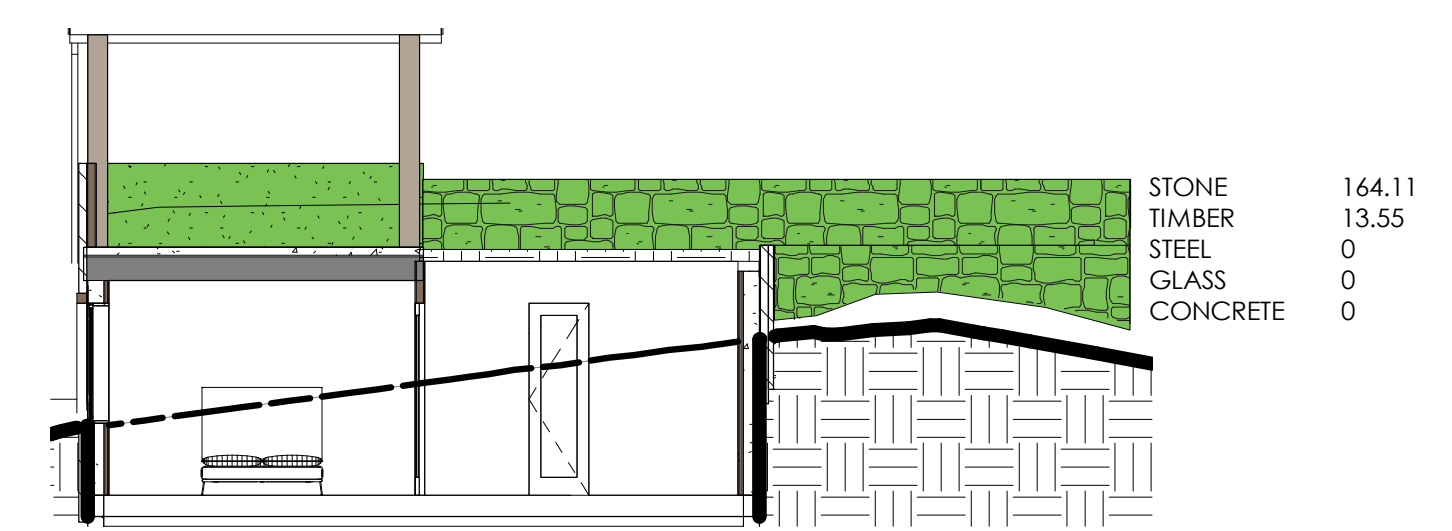
**2 Materials - East Elevation Partial**  
SCALE 0 1/2 4 8 1/8" = 1'-0"

**MATERIAL HATCHES:**

- CONCRETE
- STEEL
- STONE
- TIMBER
- GLASS



**5 Materials - West Elevation**  
SCALE 0 1/2 4 8 1/8" = 1'-0"



**6 Materials - West Partial**  
SCALE 0 1/2 4 8 1/8" = 1'-0"

TOTAL MATERIAL AREA = 3,926.1 SF  
TOTAL GLASS AREA = 435.0 SF  
TOTAL STONE AREA = 1,380.3SF

**GLASS % (MAX ALLOWED 40%) = 11.1%**  
**STONE % (35% REQUIRED) = 35.2%**

MATERIALS	
Material	Area
CONCRETE	10.0 SF
CONCRETE	13.3 SF
GLASS	123.8 SF
GLASS	44.4 SF
GLASS	90.2 SF
GLASS	12.5 SF
GLASS	164.1 SF
STEEL	230.9 SF
STEEL	36.3 SF
STEEL	128.7 SF
STEEL	457.5 SF
STONE	316.8 SF
STONE	361.8 SF
STONE	213.0 SF
STONE	324.6 SF
STONE	164.1 SF
TIMBER	156.2 SF
TIMBER	46.3 SF
TIMBER	239.2 SF
TIMBER	46.3 SF
TIMBER	277.1 SF
TIMBER	501.9 SF
TIMBER	13.6 SF
Grand total	3926.1 SF

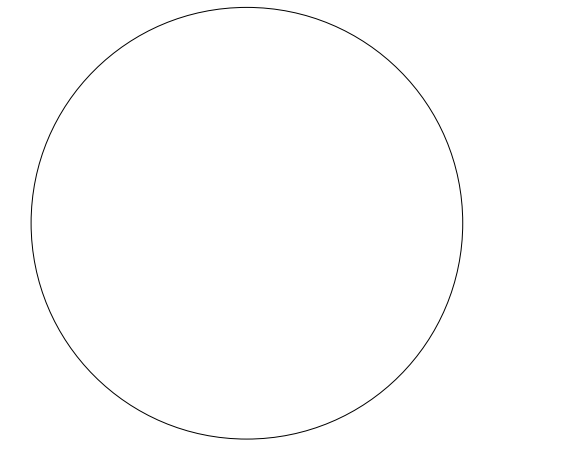
TIMBER	
Material	Area
TIMBER	156.2 SF
TIMBER	46.3 SF
TIMBER	239.2 SF
TIMBER	277.1 SF
TIMBER	501.9 SF
TIMBER	13.6 SF
TOTAL	1234.2 SF

METAL	
Material	Area
STEEL	230.9 SF
STEEL	36.3 SF
STEEL	128.7 SF
STEEL	457.5 SF
TOTAL	853.3 SF

CONCRETE	
Material	Area
CONCRETE	10.0 SF
CONCRETE	13.3 SF
TOTAL	23.3 SF

STONE	
Material	Area
STONE	316.8 SF
STONE	361.8 SF
STONE	213.0 SF
STONE	324.6 SF
STONE	164.1 SF
TOTAL	1380.3 SF

GLASS	
Material	Area
GLASS	123.8 SF
GLASS	44.4 SF
GLASS	90.2 SF
GLASS	12.5 SF
GLASS	164.1 SF
TOTAL	435.0 SF



**Submissions**

DRB REVIEW 20.08.06



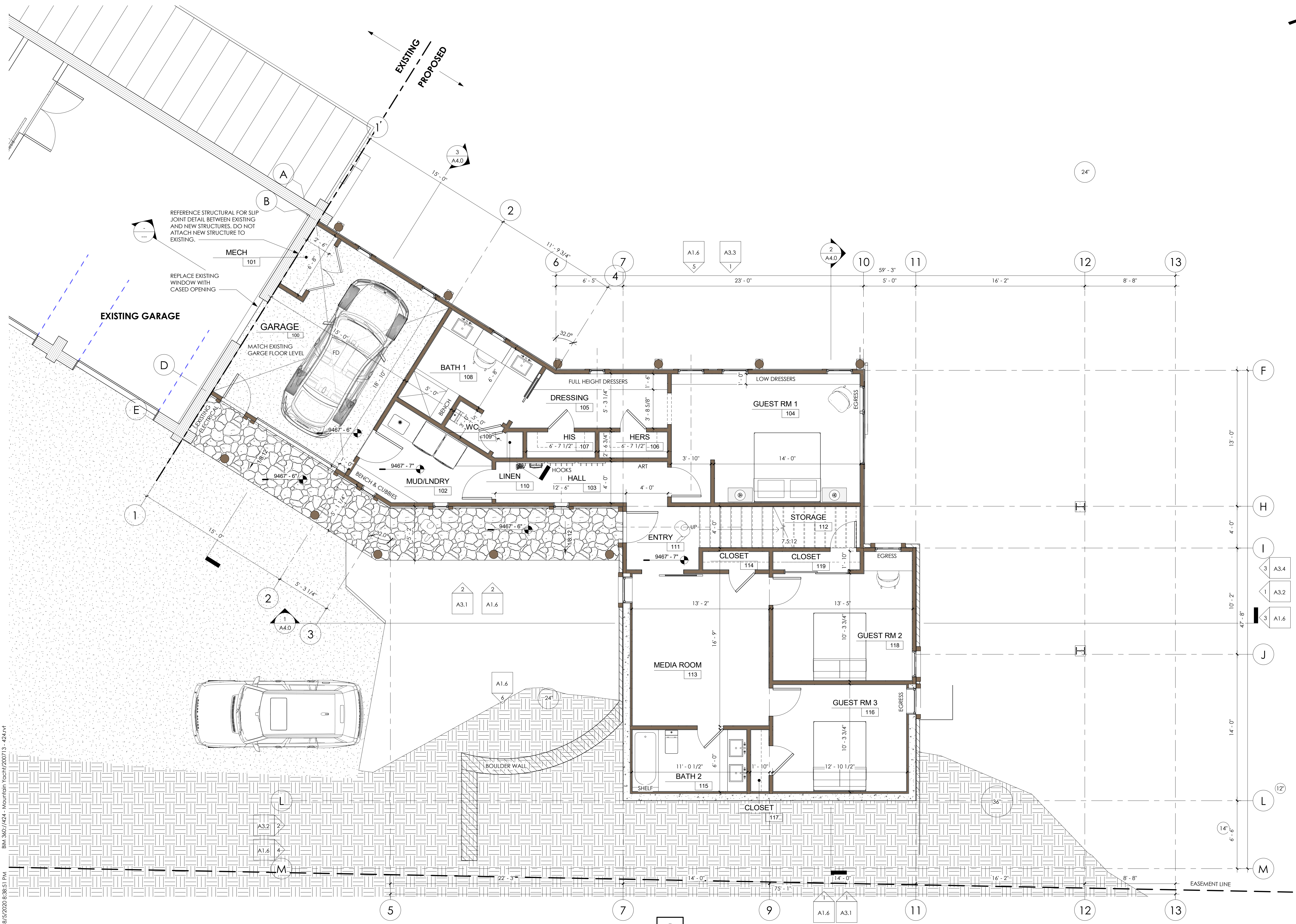
**ADDITION**

LOT 424  
TOUCHDOWN DRIVE,  
MOUNTAIN VILLAGE

**MAIN LEVEL**

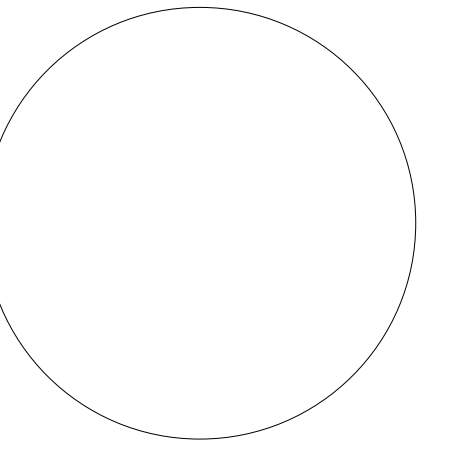
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**A2.1**



**1 Level 1**  
SCALE 1/4" = 1'-0"

Plot Time 8/19/2020 8:38:51 PM BMM 3607/424 - Mountain Yacht/2020713 - 424.rvt



**Submissions**

DRB REVIEW 20.08.06



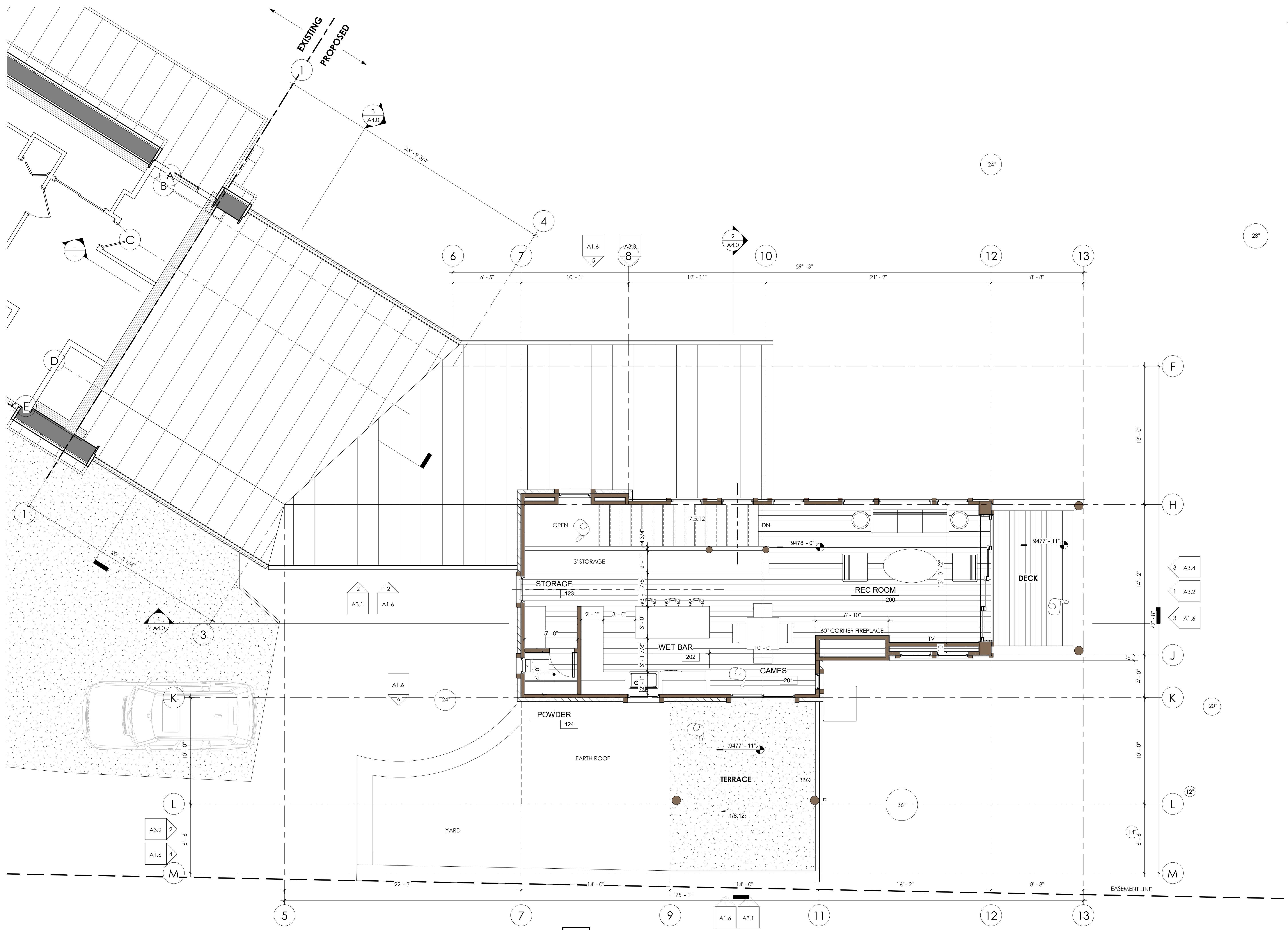
**ADDITION**

LOT 424  
TOUCHDOWN DRIVE,  
MOUNTAIN VILLAGE

**UPPER LEVEL**

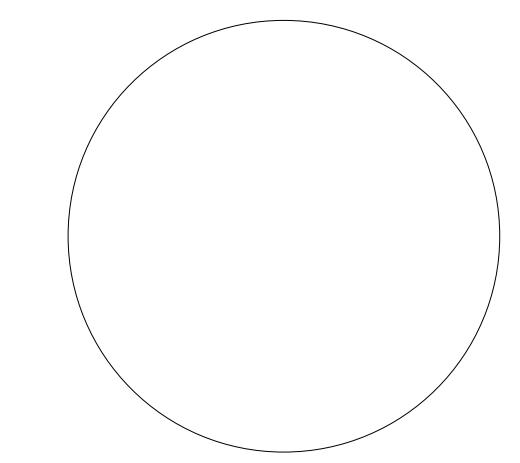
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**A2.2**



**1 Level 2**  
SCALE 1/4" = 1'-0"





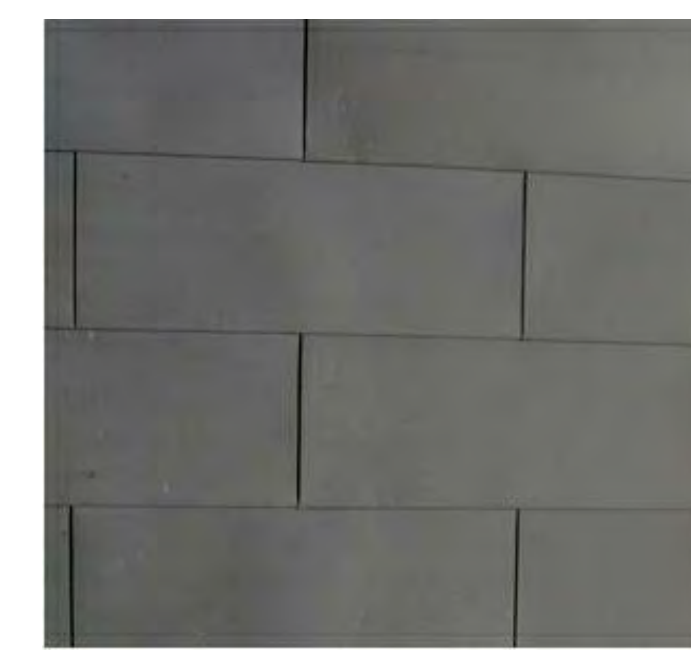
**Submissions**

DRB REVIEW 20.08.06



**STONE VENEER**

EXISTING - VARIABLE COLOR AND PATTERN TO BE DUPLICATED FOR ADDITION  
CONTRACTOR TO PROVIDE MOCK-UP FOR OWNER APPROVAL



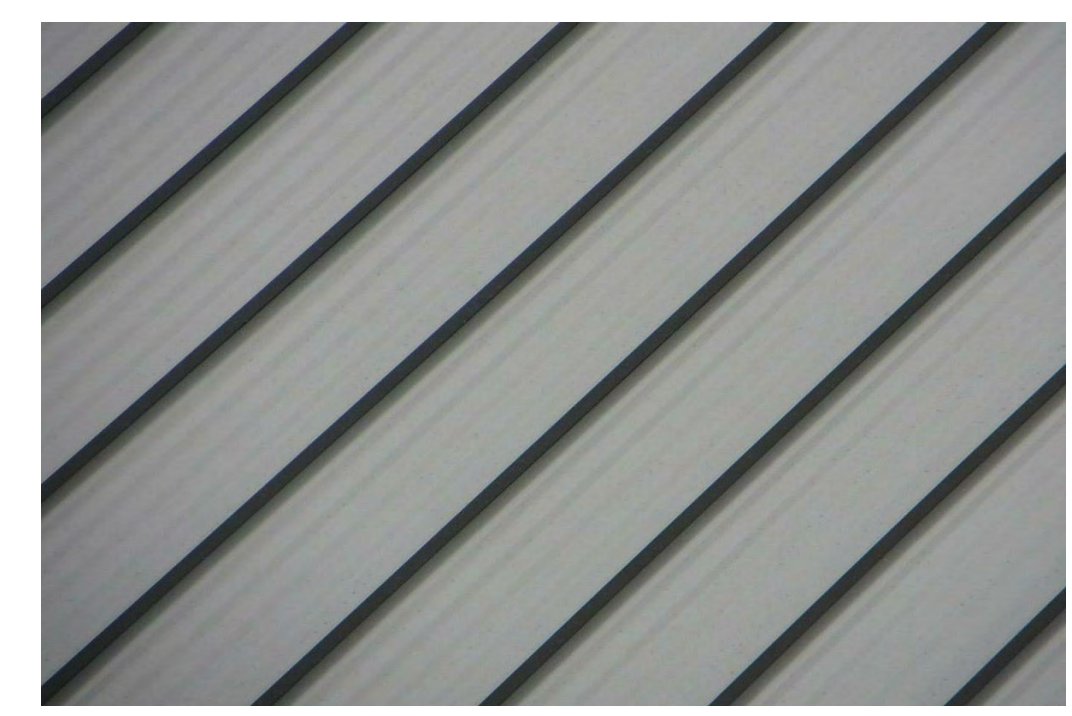
**STEEL PANELS**

DARK GREY ANNOXIDIZED 12X24 STRAIGHT LAY FOR CHIMNEY



**HORIZONTAL LOG SIDING**

424 2x8 LOG SIDING - SHIP-LAP, HEWNED AND STAINED "REDWOOD" TONE



**NEW METAL ROOFING - STANDING SEAM**

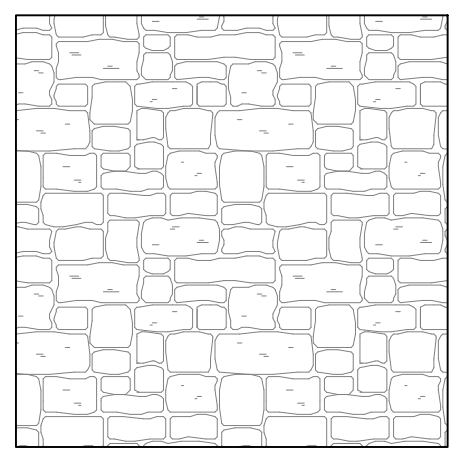
LIGHT GRAY BONDERIZED STANDING SEAM FOR ADDITION



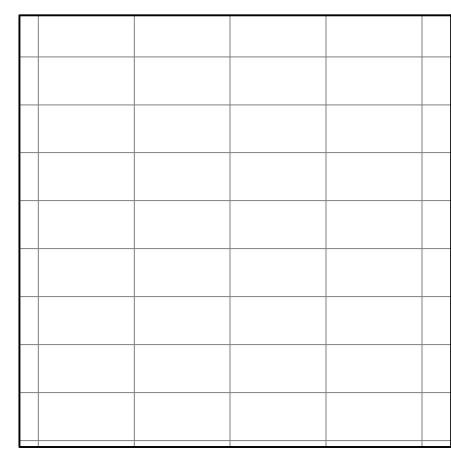
**VERTICAL STEEL SIDING**

12" x 24" STEEL PANELS LIGHT GREY PATINA

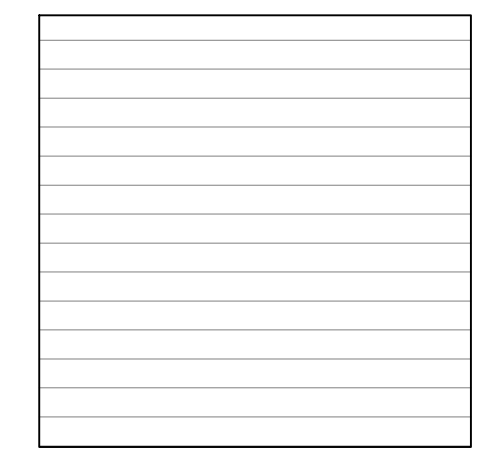
**MATERIAL LEGEND**



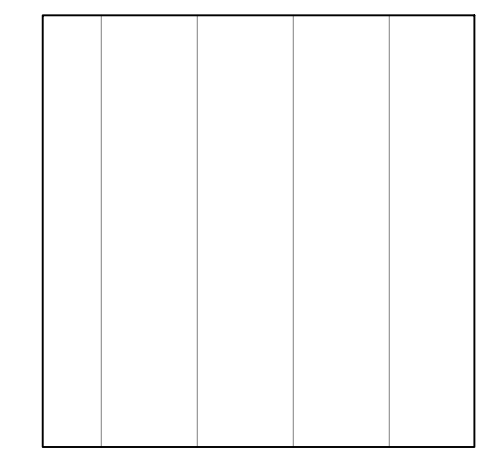
STONE



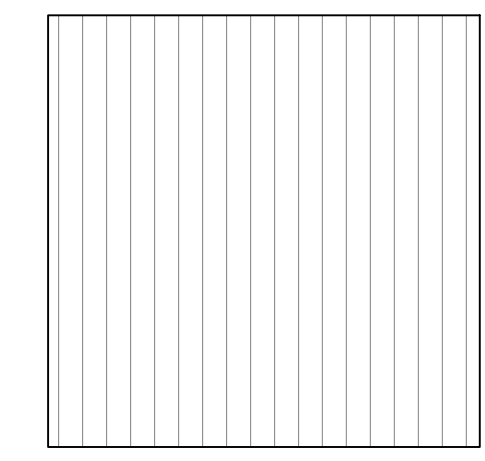
STEEL PANELS



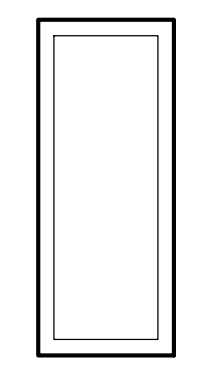
HORIZONTAL SIDING WOOD



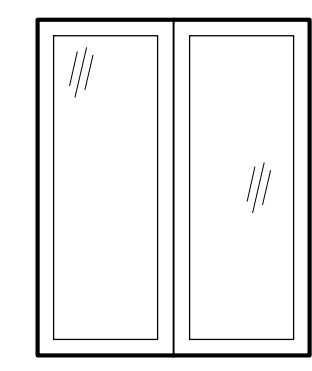
STANDING SEAM



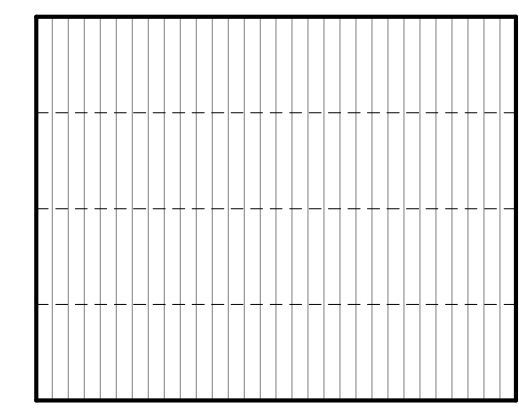
VERTICAL SIDING STEEL



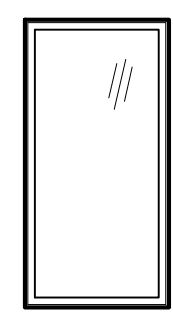
SOLID PANEL DOORS AT ENTRY AND GARAGE



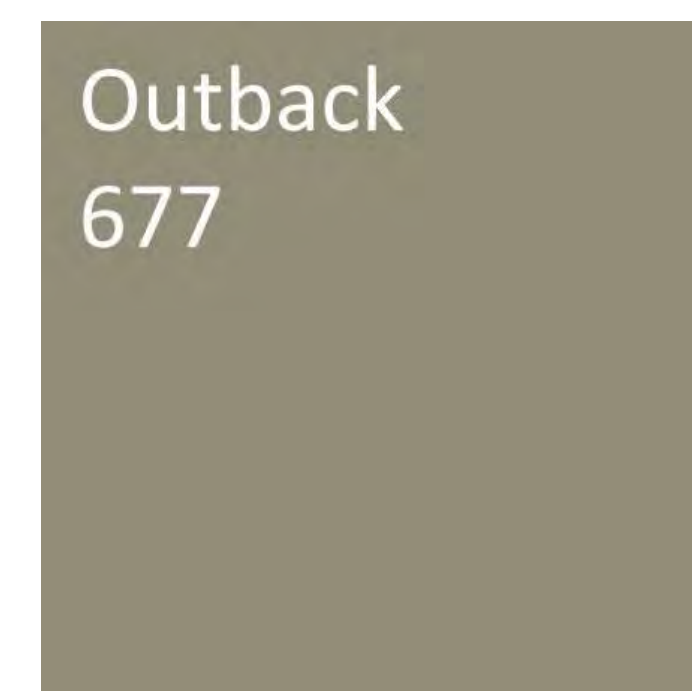
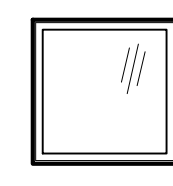
SLIDING/STACKING PATIO DOOR



OVERHEAD DOOR WITH STEEL PANELS W/ PATINA FINISH

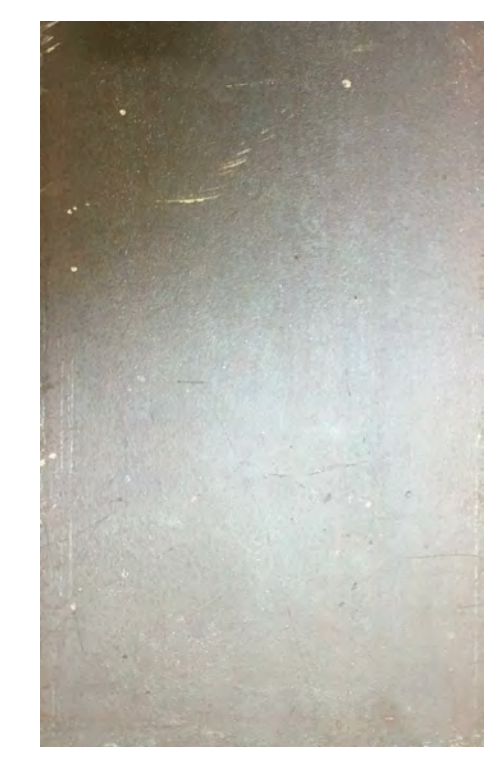


VERTICALLY ORIENTED OR SQUARE CASEMENT AND FIXED METAL CLAD WOOD WINDOWS



**TERRACE CONCRETE**

DAVIS COLORED CONCRETE - "OUTBACK" #677  
SCORE PATTERN PER SHT. A2.4



**STEEL PLATE - RETAINING WALL**

PATINATED FINISH



**STEEL - TRIM & PORCHES**

PAINTED DARK GRAY

**1 DOOR AND WINDOW TYPES**

SCALE 0 1 2 3 4 1/4" = 1'-0"

**WINDOW CUT SHEETS - METAL CLAD - DARK BRONZE ANNOXIDIZED FINISH**

**CONTEMPORARY HARDWARE**

This corner handle of a picture window allows the fine lines and flat profile that can be achieved with our slim-joint and elegant glazing design.

**CONTEMPORARY CASING**

The use of the Contemporary Casings creates a cohesive, clean and crisp look to the exterior of the window by connecting the exterior profile of the metal clad frame.

**HARDWARE**

Hardware is used to hold the window pane in place as a critical part of ensuring the window's performance. This is why we offer a wide range of handles, locking systems and other hardware options for our windows and doors.

**EXTRACTABLE SCREEN**

Constructed of solid wood to match the window hardware and designed with optional operation in the sliding window, these screens operate on the dual operation for the sliding window of handles for your window system. The angle of the handle is fully adjustable with the horizontal pull force via either the integrated spring system or the manual operation.

**COLORS AND FINISHES**

Lowen's metal-clad window and door frames are finished with a rich, warm look that reduces outside glare and allows the glass to be the main attraction. In addition to the standard aluminum finish, our Anodized Finishes offer various options in color and appearance. This treatment is 100% recyclable and offers a longer lifespan than the standard organic coatings for steel aluminum.

**ANODIZED FINISHES**

Clear	Light Bronze	Copper
Medium Bronze	Dark Bronze	Extra Dark Bronze
Black		

**METAL PAINTED FINISHES**

Lowen's Painted Finish provides the perfect finishing touch for softening your vision, while also providing industry leading quality and performance to yours.

Steel	Champagne	Classic Copper	Pearl	Pepper
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**TYPICAL WINDOW STYLE / FRAME / AND MANUFACTURER**

*Lowen*



**EXISTING LOGS**

EXISTING - RESTAIN WITH "REDWOOD" TONE



**ADDITION**

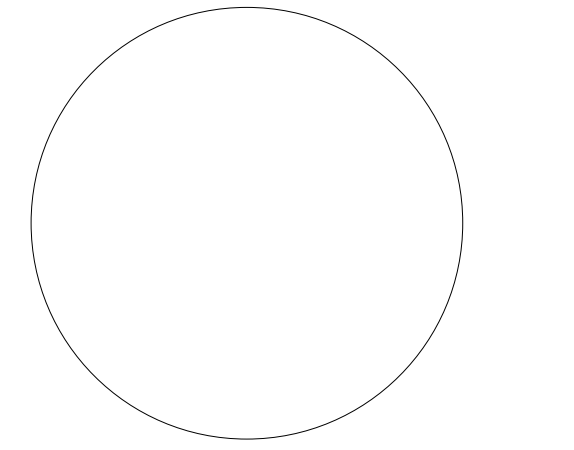
LOT 424  
TOUCHDOWN DRIVE,  
MOUNTAIN VILLAGE

**EXTERIOR MATERIALS**

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

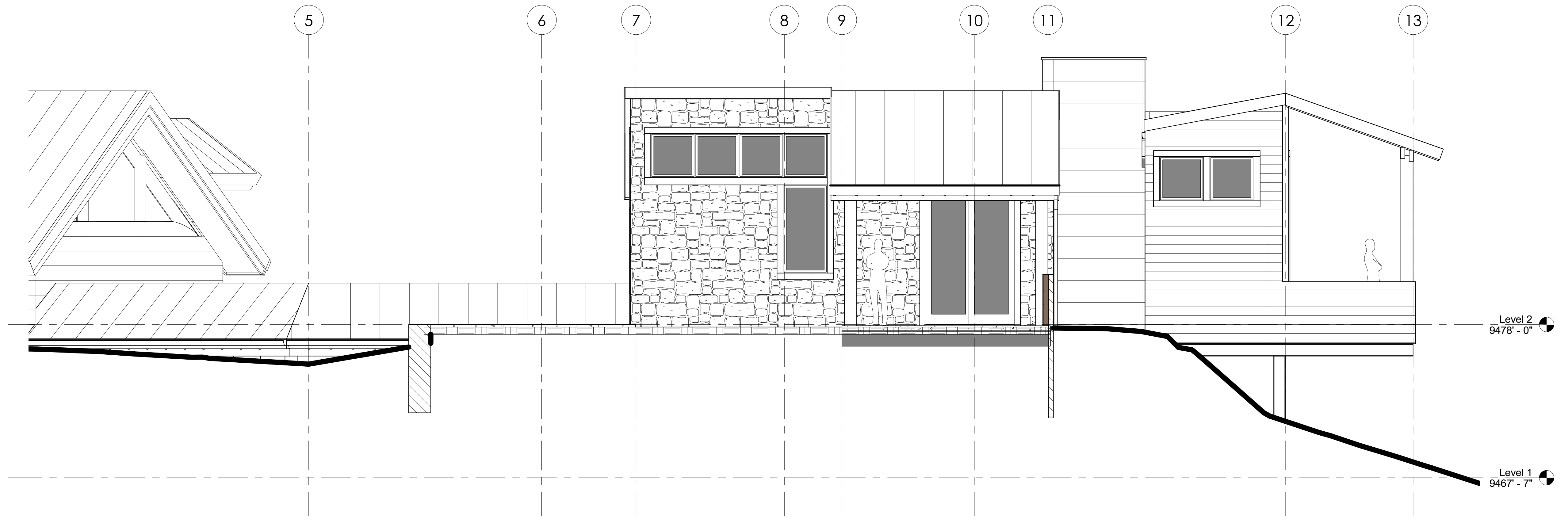
**A3.0**



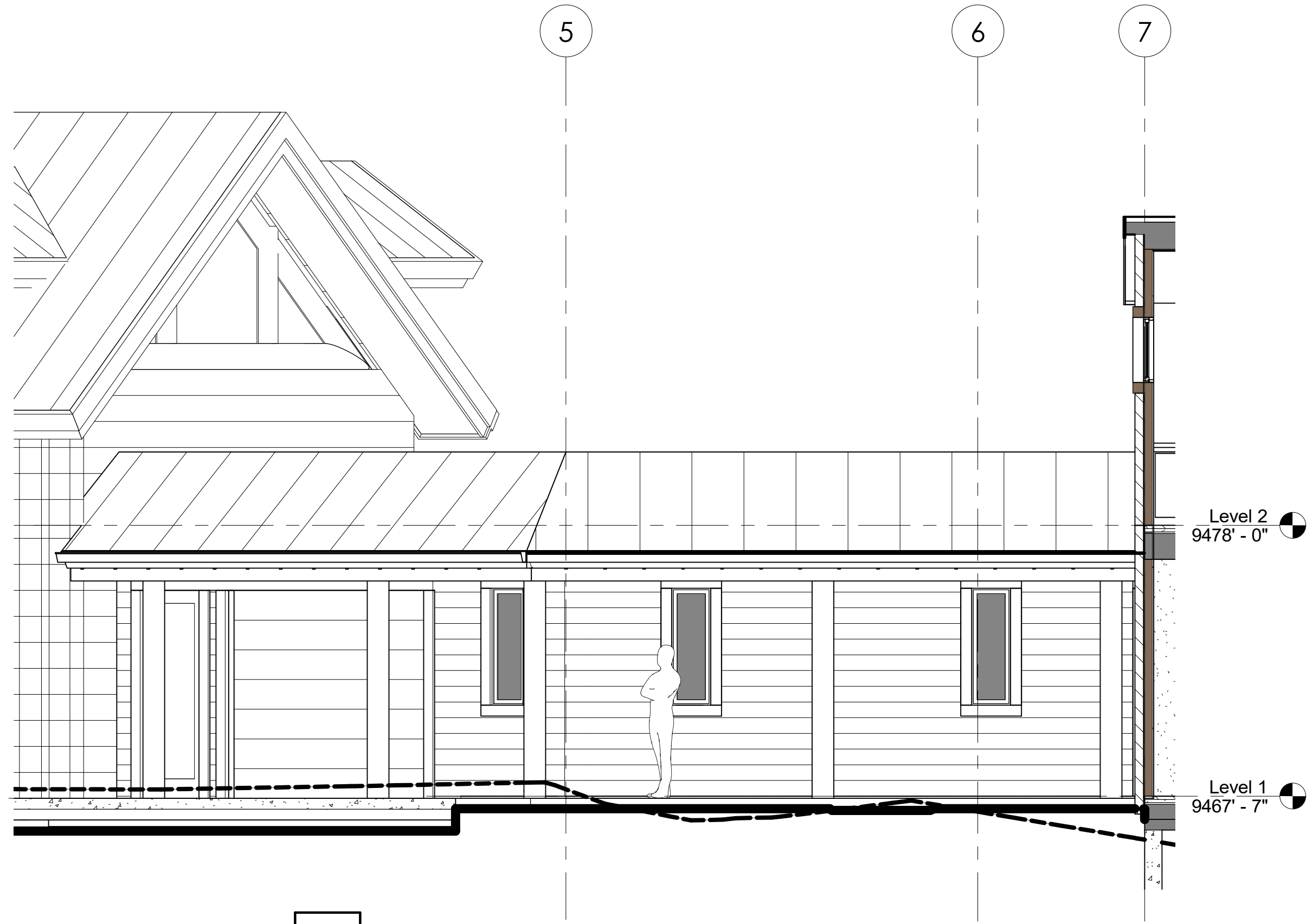


**Submissions**

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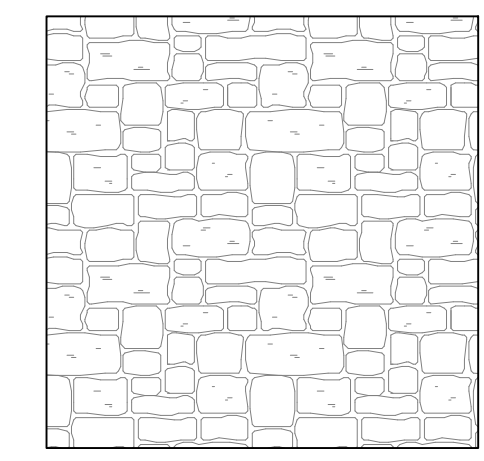


**1 East Elevation**  
SCALE 0 1 2 3 4 1/4" = 1'-0"

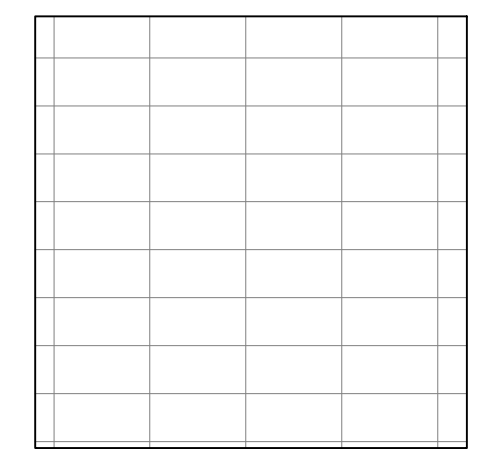


**2 East Elevation Partial**  
SCALE 0 1 2 3 4 1/4" = 1'-0"

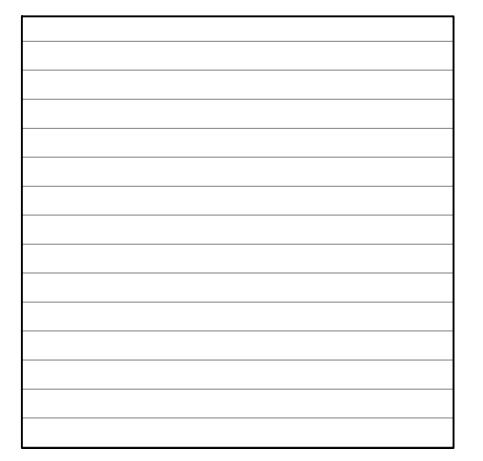
**MATERIAL LEGEND**



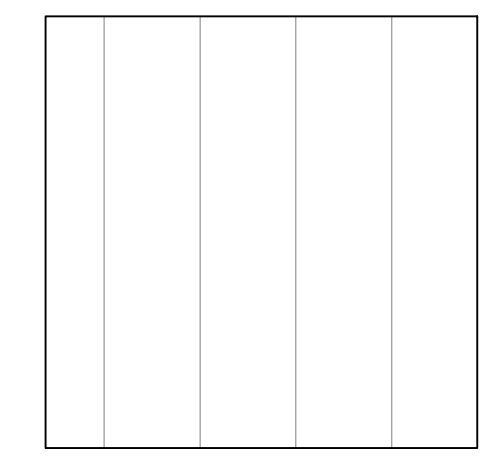
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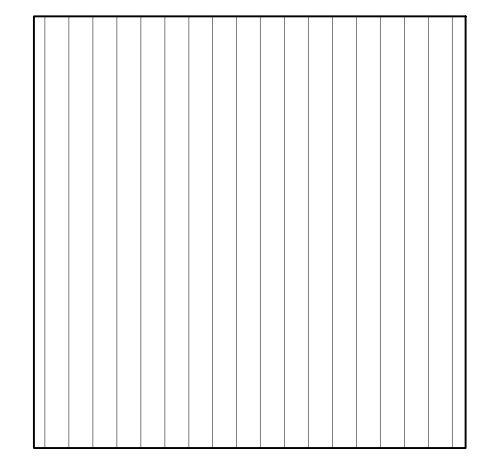
STEEL PANELS



HORIZONTAL SIDING WOOD



STANDING SEAM



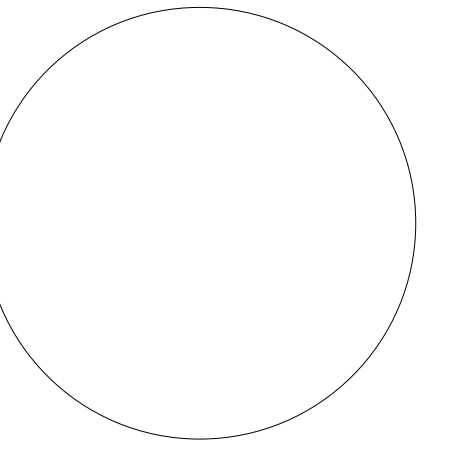
VERTICAL SIDING STEEL

**ADDITION**

LOT 424  
TOUCHDOWN DRIVE,  
MOUNTAIN VILLAGE

**EXTERIOR ELEVATIONS**

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201



**Submissions**

DRB REVIEW 20.08.06

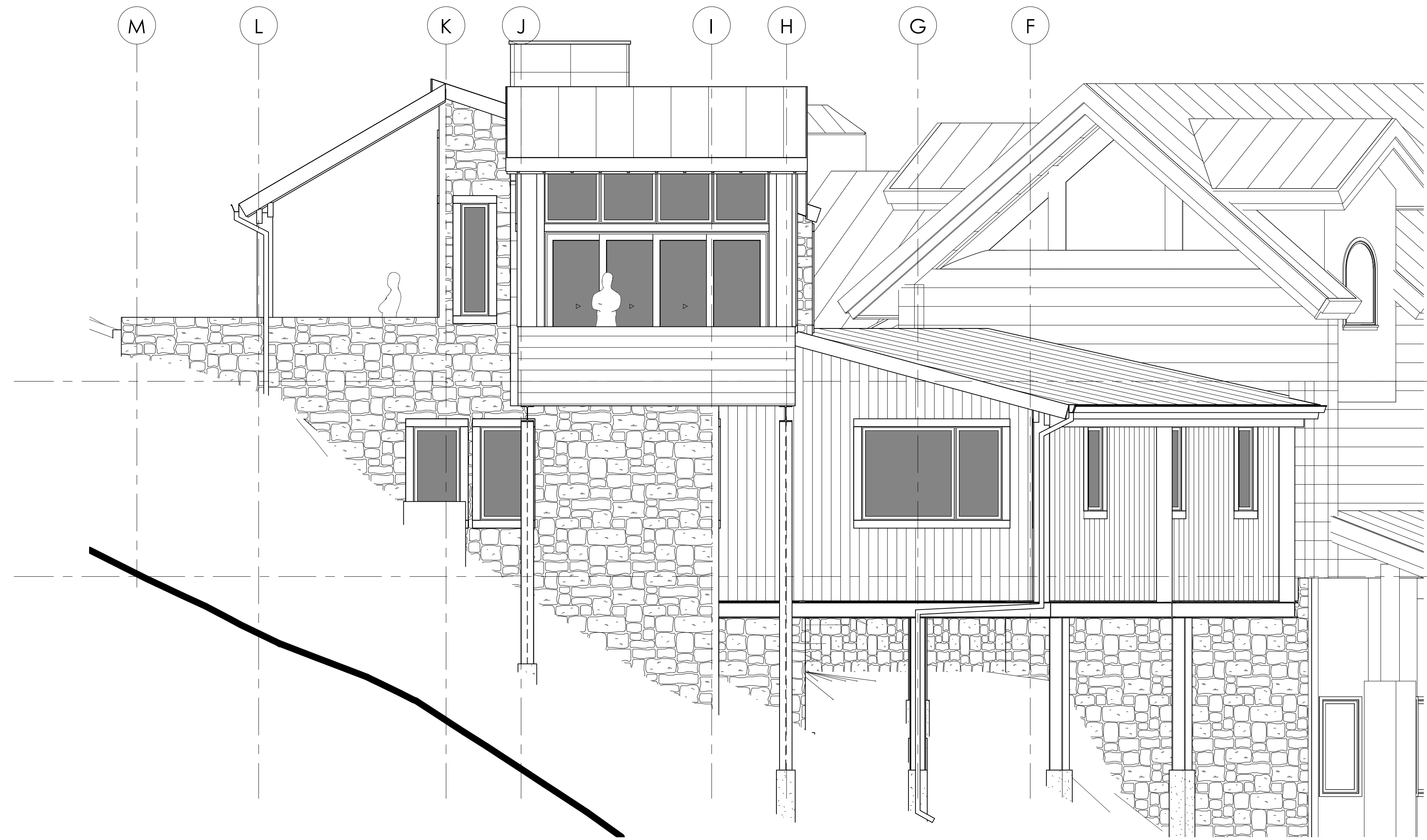
**ADDITION**

LOT 424  
TOUCHDOWN DRIVE,  
MOUNTAIN VILLAGE

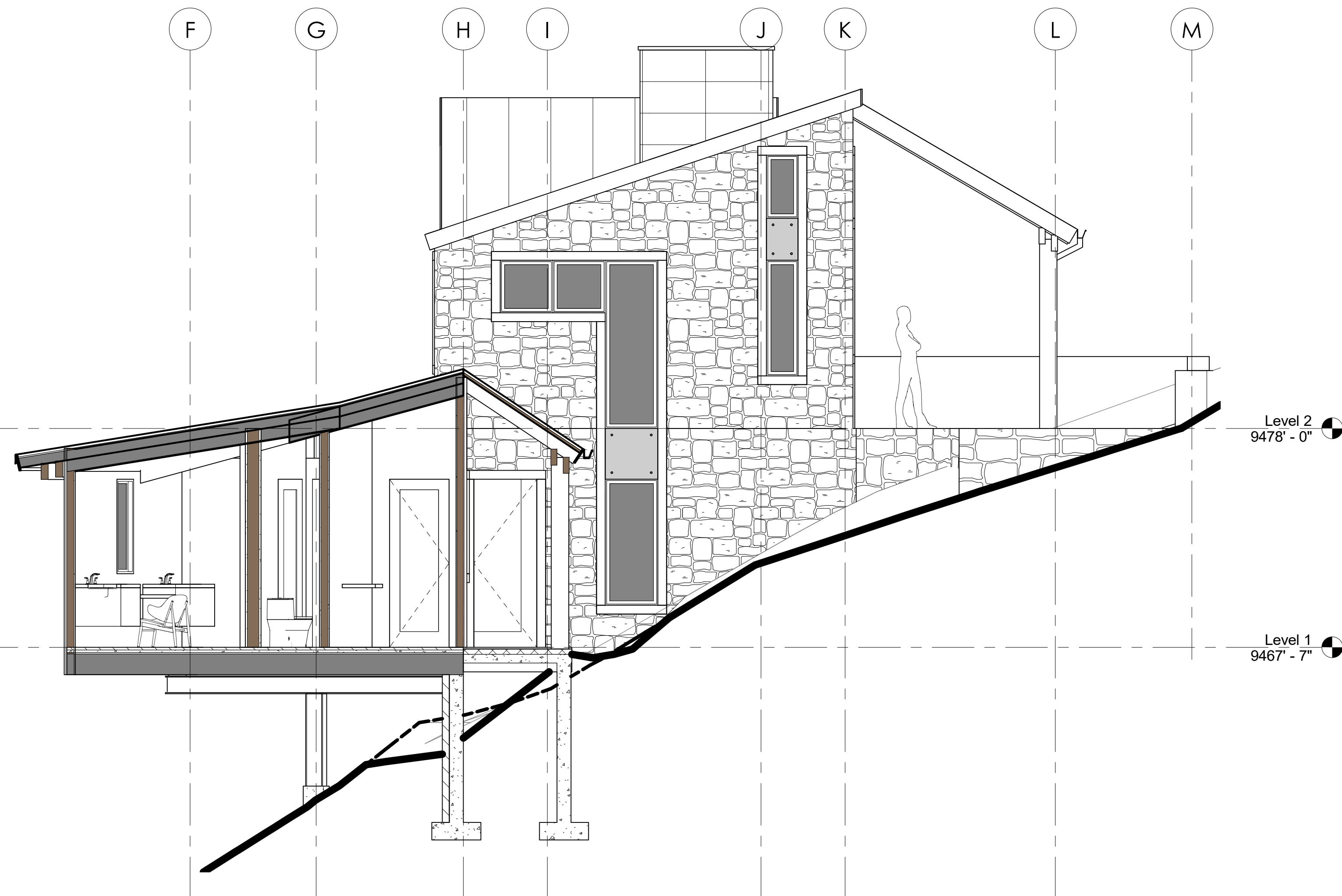
**EXTERIOR ELEVATIONS**

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**A3.2**

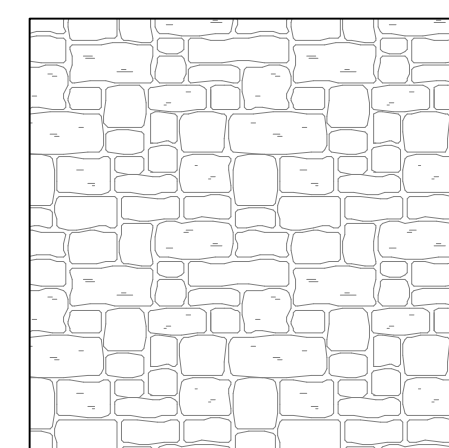


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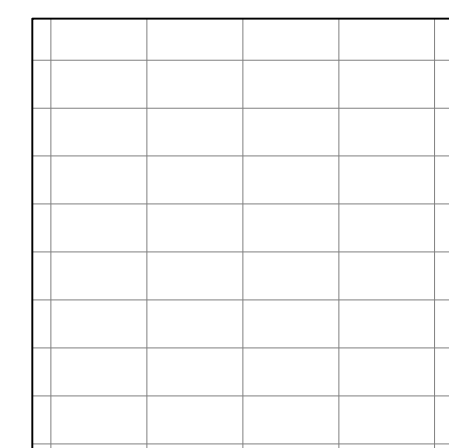


**2 South Elevation**  
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**MATERIAL LEGEND**



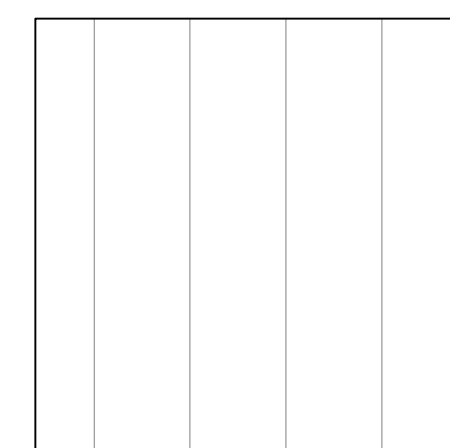
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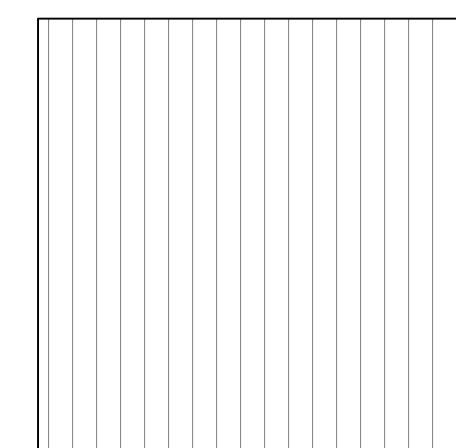
STEEL PANELS



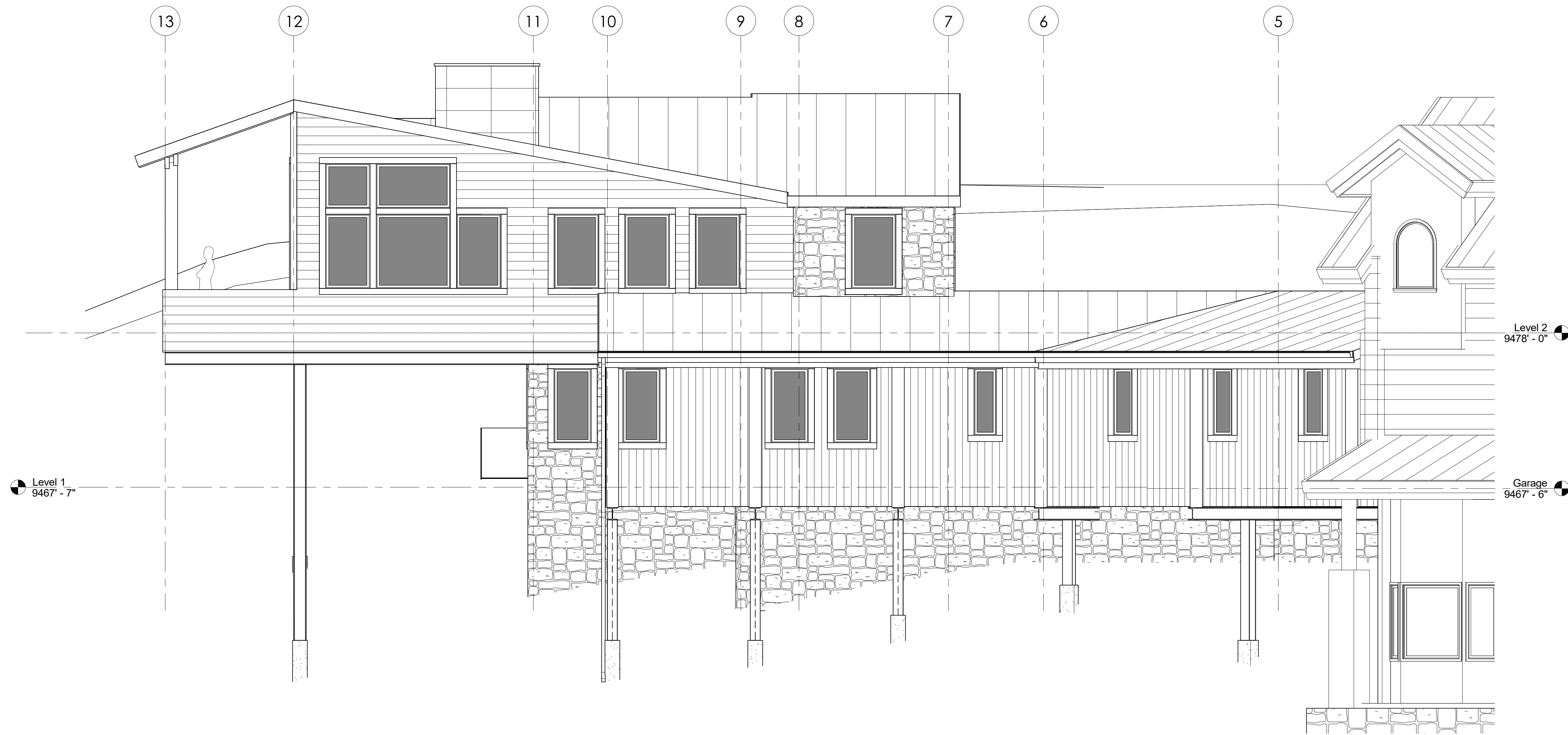
HORIZONTAL SIDING  
WOOD



STANDING SEAM

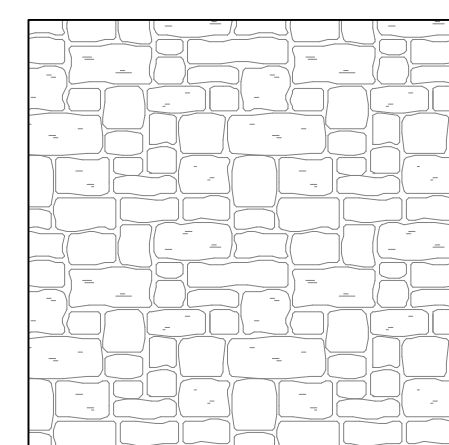


VERTICAL SIDING  
STEEL

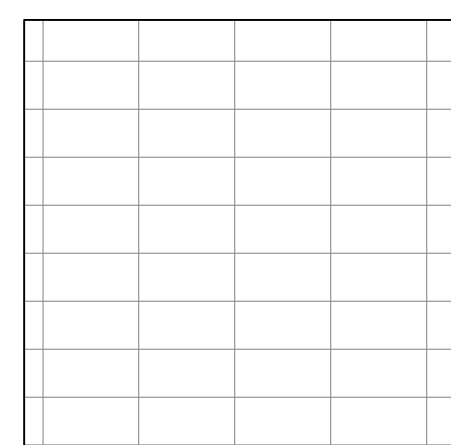


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**MATERIAL LEGEND**



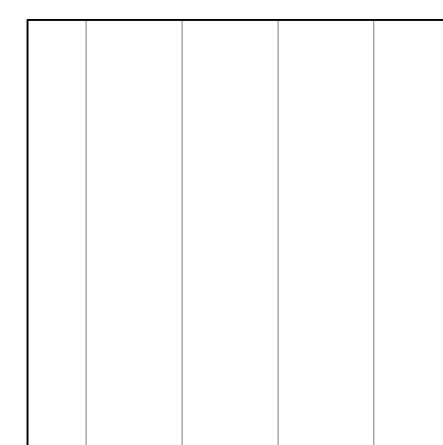
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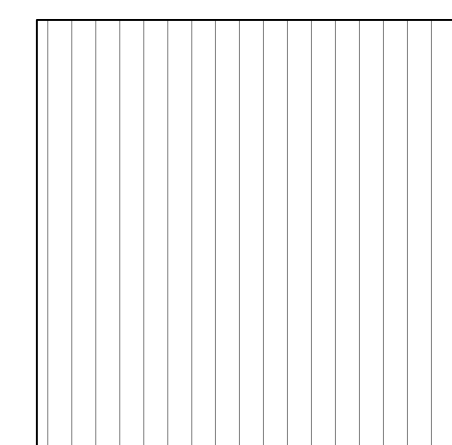
STEEL PANELS



HORIZONTAL SIDING  
WOOD



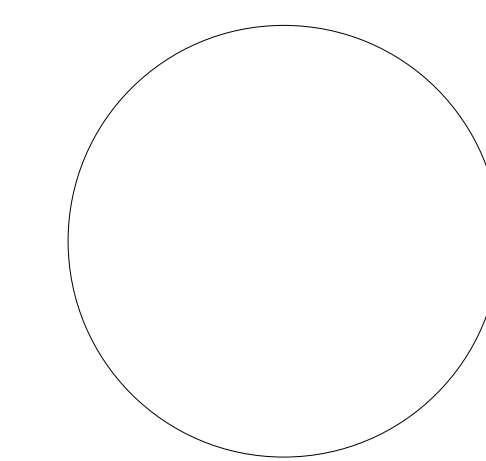
STANDING SEAM



VERTICAL SIDING  
STEEL

*Tommy Hein*  
 ARCHITECTS

Box 3327 108 S. OAK ST. PENTHOUSE  
 TELLURIDE, COLORADO 81435  
 WWW.TOMMYHEIN.COM 970.728.1220



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**Submissions**

DRB REVIEW 20.08.06

*Mountain*  
**YACHT**

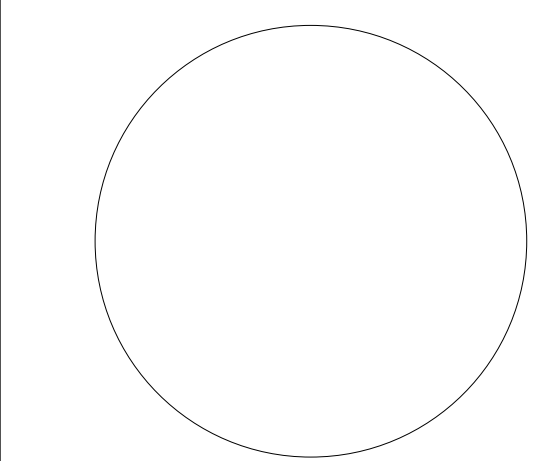
**ADDITION**

LOT 424  
 TOUCHDOWN DRIVE,  
 MOUNTAIN VILLAGE

**EXTERIOR  
 ELEVATIONS**

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**A3.3**



**Submissions**

DRB REVIEW 20.08.06



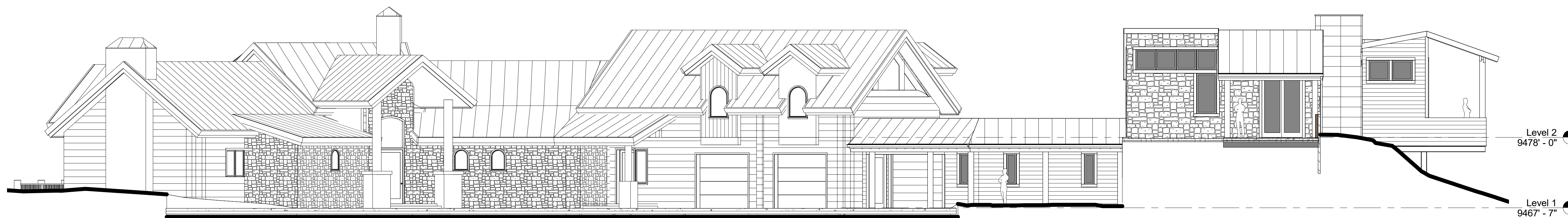
**ADDITION**

LOT 424  
TOUCHDOWN DRIVE,  
MOUNTAIN VILLAGE

**OVERALL ELEVATIONS**

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**A3.4**



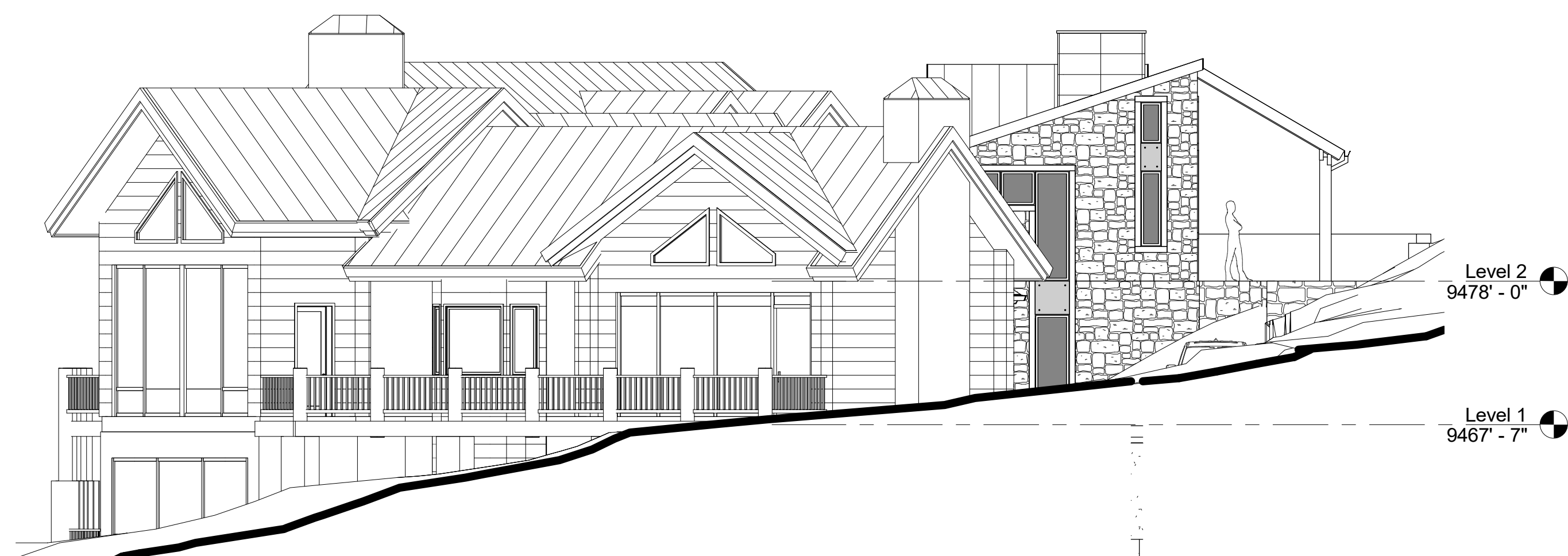
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**2 Overall - West Elevation**

SCALE 0 1 2 4 8 1/8" = 1'-0"



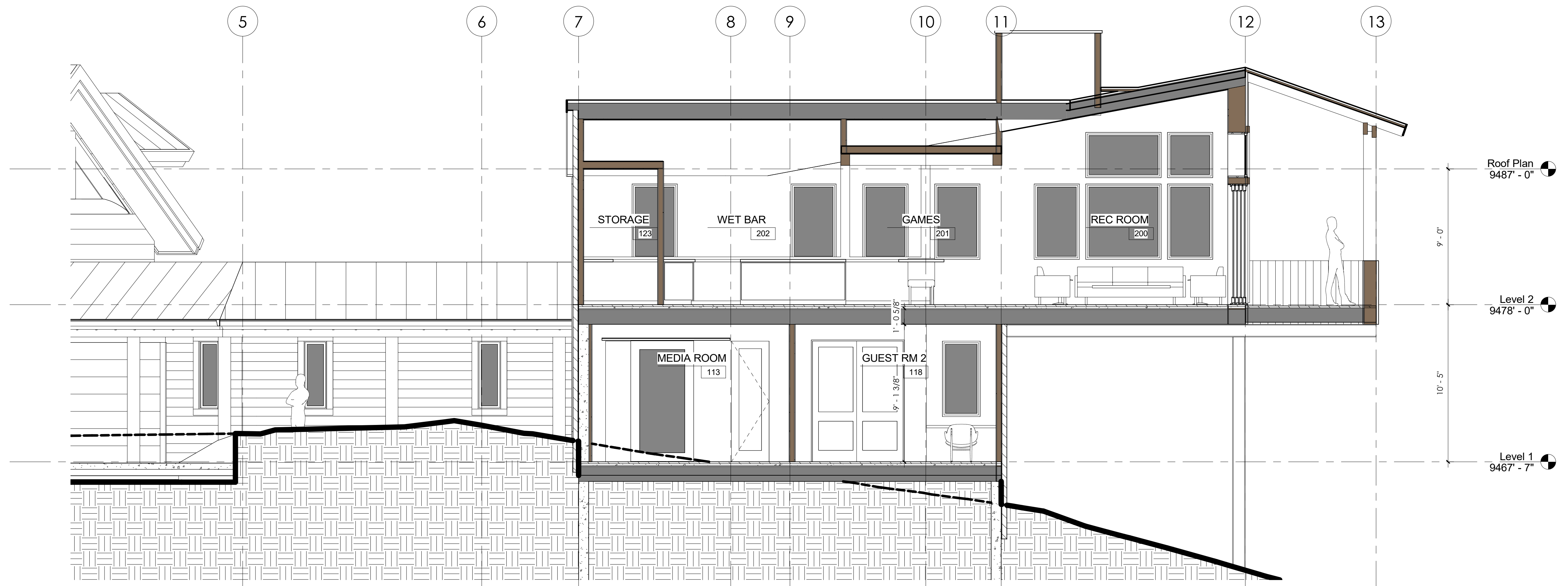
**4 Overall - South Elevation**

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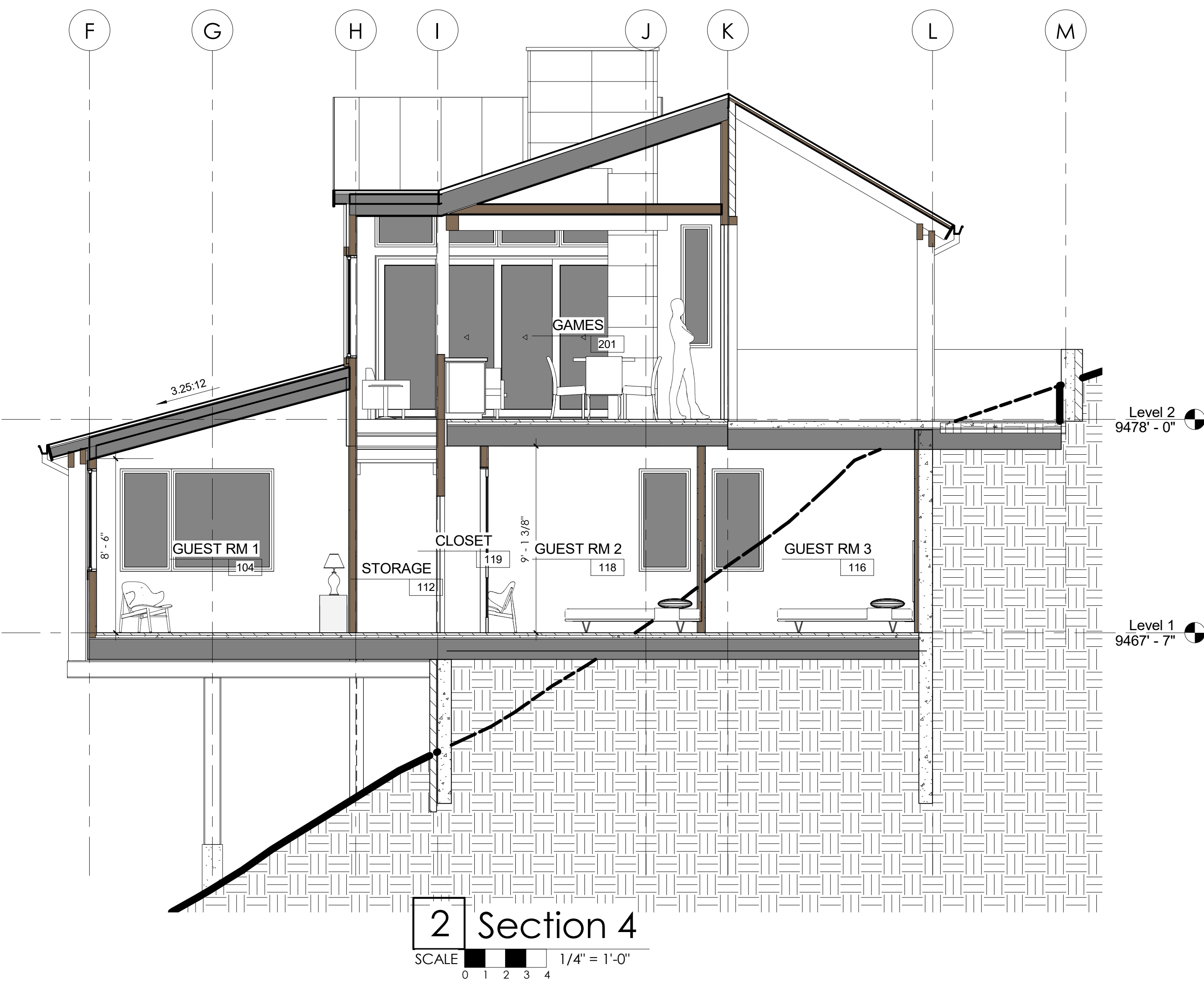


**3 Overall - North Elevation**

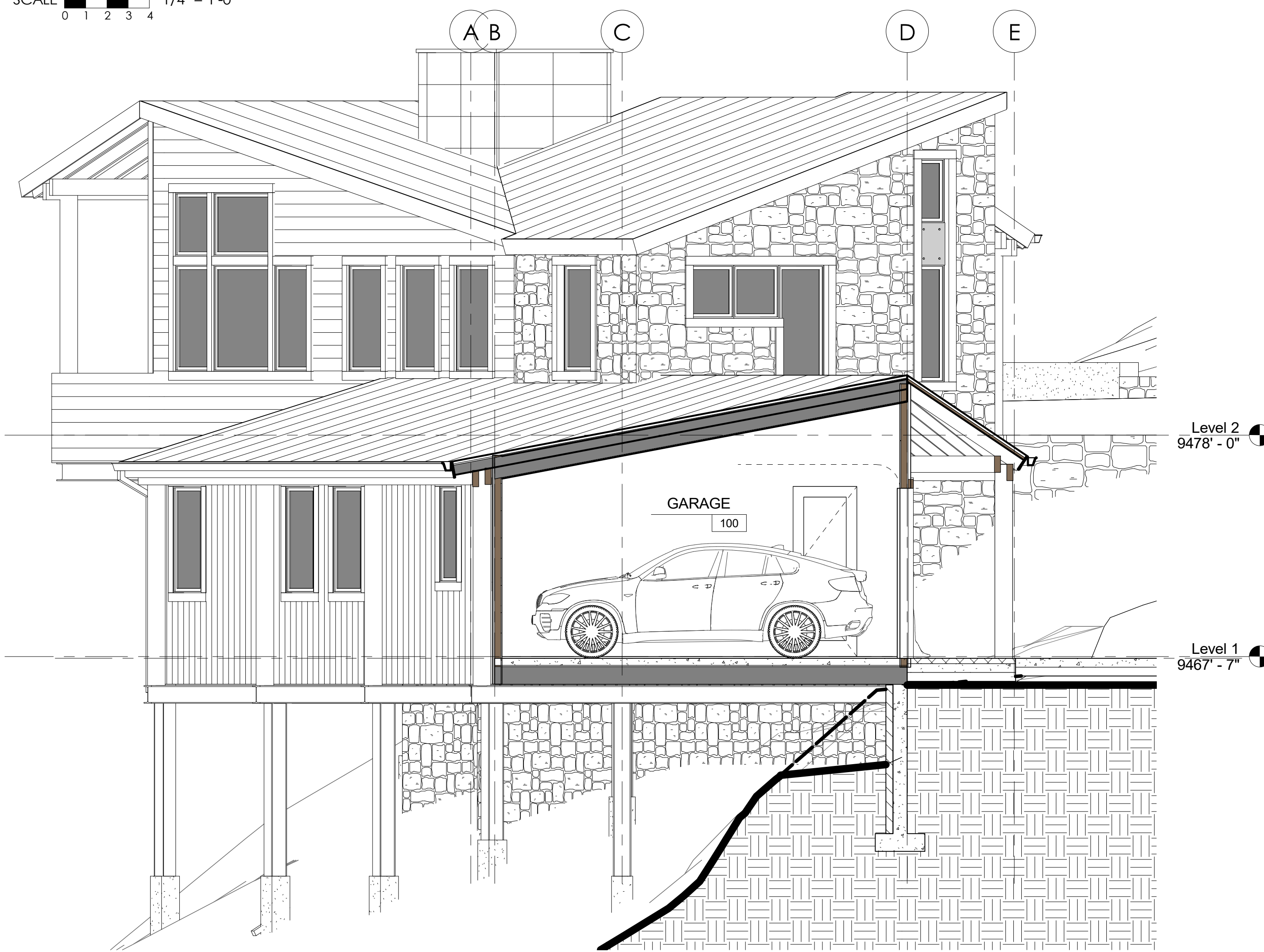
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**1** Section 6  
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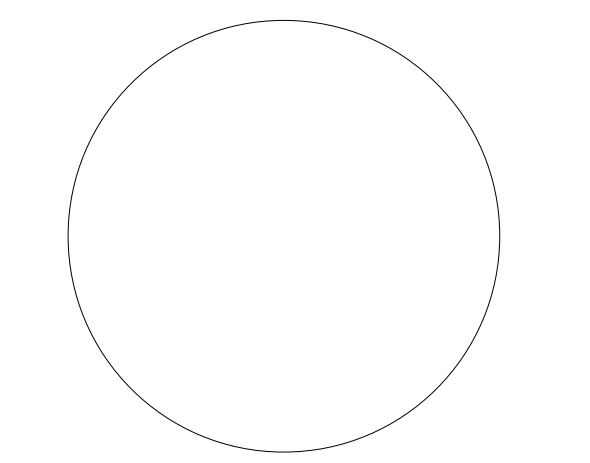
**2** Section 4  
SCALE 0 1 2 3 4 1/4" = 1'-0"



**3** Section 8  
SCALE 0 1 2 3 4 1/4" = 1'-0"

**Tommy Hein**  
ARCHITECTS

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**Submissions**

DRB REVIEW 20.08.06

*Mountain*  
**YACHT**

**ADDITION**

LOT 424  
TOUCHDOWN DRIVE,  
MOUNTAIN VILLAGE

**BUILDING SECTIONS**

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**A4.0**



**Agenda Item No. 6**  
**PLANNING AND DEVELOPMENT SERVICES**  
**DEPARTMENT**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 369-8250

**TO:** Mountain Village Design Review Board

**FROM:** John Miller, Senior Planner

**FOR:** Design Review Board Meeting, September 3, 2020

**DATE:** April 24, 2020, *Updated August 21, 2020*

**RE:** A Review and Recommendation to Town Council regarding a rezone and density transfer application at 313 Adams Ranch Road, Lot 648AR, to rezone approximately 3,264 square feet of commercially zoned space into four Employee Apartment zoning designations.

### **PROJECT GEOGRAPHY**

**Legal Description:** Lot 648AR, Telluride Mountain Village  
**Address:** 313 Adams Ranch Road  
**Owner:** Telluride Ski and Golf  
**Zoning:** Multi-Family  
**Existing Use:** Commercial  
**Proposed Use:** Multi-Family  
**Lot Size:** 1.01 Acres

### **Adjacent Land Uses:**

- **North:** Multi-Family
- **South:** Open Space
- **East:** Multi-Family
- **West:** Multi-Family

### **ATTACHMENTS**

- Exhibit A: Applicant's narrative
- Exhibit B: Proposed Floorplans
- Exhibit C: Referral Comments



### **CASE SUMMARY:**

Telluride Ski and Golf (TSG) is proposing to convert 3,264 square feet (sq. ft.) of existing commercial space in Prospect Plaza, into a total of four employee apartment zoned units. To proceed with this request, the applicant will first need to transfer the four units of employee apartment density from the Town Density Bank onto Lot 648AR, followed by a subsequent application for a building permit to convert the commercial-zoned space into residential units. The

applicant has submitted conceptual architectural floor plans based on the current request per the density transfer and rezone requirements, and there has been no indication to staff that this request would require any exterior modifications to the existing structure. The Community Development Code (CDC) provides that any rezoning of a condominium unit from residential to commercial, or vice versa, whether or not there is any change to the exterior of the building, requires a rezoning of the affected unit(s).

Prospect Plaza is currently located on Lot 648AR and contains existing Commercial and Residential uses spread between two buildings. Building A contains a total of 7,858 sq. ft. of commercial space while Building B contains seven residential units and ten commercial spaces. Both Lot 648AR and 648BR are discussed within the Comprehensive Plan's Meadows Subarea Plan and are cumulatively described as "Parcel A / Prospect Plaza". Within the plan, Parcel A is described as having a target density of 68 deed-restricted units with the majority of the units to be located on the un-developed Lot 648BR. This proposal would not limit the future ability to achieve the envisioned density for Parcel A, as it only affects the overall commercial square footage within the existing Building B of Prospect Plaza.

As per the Community Development Code (CDC), the density transfer and rezoning processes are being processed as concurrent development applications. Before the submittal for design review and building permits, the DRB and Town Council will need to determine that the application for density transfer and rezone is appropriate.

**Table 1: Existing and Proposed Zoning/Densities**

Lot	Acreage	Zone District	Zoning Designation	Actual Units	Person Equivalent per Actual Unit	Total Person Equivalent Density
<b>Zoned Density</b>						
648AR	1.01	Multi-Family	Employee Condominium	6	3	18
			Condominium	1	3	3
			Commercial			
<b>Built Density</b>			Total	7	3	21
<b>Unbuilt Density</b>				0	0	0
<b>Unbuilt Density after Transfer and Rezone</b>			Employee Apartment	4	3	12
<b>TOTAL DENSITY</b>			<b>Employee Condominium</b>	<b>6</b>	<b>3</b>	<b>18</b>
			<b>Employee Apartment</b>	<b>4</b>	<b>3</b>	<b>12</b>
			<b>Condominium</b>	<b>1</b>	<b>3</b>	<b>3</b>
			<b>TOTAL</b>	<b>11</b>		<b>33</b>

*Staff Note: The proposal will result in a net increase of 4 Employee Apartment Units on Lot 648AR and an overall person equivalent increase of 12. The total density on Lot 648AR after the rezone and density transfer is shown above in Table 1.*

## **CRITERIA, ANALYSIS, AND FINDINGS**

The criteria for the decision to evaluate a rezone that changes the zoning designation and/or density allocation assigned to a lot is listed below. The following criteria must be met for the review authority to approve a rezoning application:

### **17.4.9: Rezoning Process**

(\*\*\*)

#### **3. Criteria for Decision: (\*\*\*)**

- a. The proposed rezoning is in general conformance with the goals, policies, and provisions of the Comprehensive Plan;

*Staff Finding: Parcel A is described in the Comprehensive Plan as Lot 648AR and 648BR and has a target density of 68 total deed-restricted units. Although this density transfer will occur only on Lot 648AR, it is worth discussing the guidance provided within the Comprehensive Plan as it relates to the overall development of Parcel A. While the proposal does not achieve the target density, it may be fair to assume that the majority of the 68 units contemplated in the Comprehensive Plan would be required to be constructed on the undeveloped portion of Parcel A, Lot 648BR. It may also be worth considering that the overall unit count needed to reach the target density on Parcel A would be reduced by 4 units and could result in a smaller future development on the remaining portions of Parcel A.*

*The plan also provides considerations related to the overall uses to occur on Parcel A and emphasizes the phasing out of light industrial uses to be replaced with multi-unit deed-restricted housing (pg. 66, Comp Plan). This project would accomplish that by reducing the existing commercial space and replacing it with deed-restricted employee apartment units. There are no other site-specific policies that would apply to the redevelopment of Lot 648AR as the majority relate to the development of a separate larger deed-restricted building on Lot 648BR - and the associated densities, access, and design regulations required.*

*The proposed density transfer and rezone would meet the intent of the Comprehensive Plan by reducing commercial/light industrial space while also increasing the supply of deed-restricted housing.*

- b. The proposed rezoning is consistent with the Zoning and Land Use Regulations;  
*Staff Finding: The proposed rezone and density transfer meets the requirements of the CDC. The Multi-Family Zone is intended to provide higher density multi-family uses limited to multi-family dwellings, hotbed development, recreational trails, workforce housing, and similar uses. Given the shortage of employee housing within the region, and the proximity of the project to transit and recreational amenities – and additional 4 density units would meet the intent of the Zoning and Land Use Regulations for the types of desired development in Multi-Family Zone.*

*The applicant has demonstrated that parking requirements will be met with no change to the existing parking configurations. Residential uses are typically less intensive than commercial uses. All other land use regulations are being met. Parking is addressed in more detail below.*



- c. The proposed rezoning meets the Comprehensive Plan project standards;

*The Comprehensive Plan Project Standards are listed as follows:*

1. Visual impacts shall be minimized and mitigated to the extent practical, while also providing the targeted density identified in each subarea plan development table. It is understood that visual impacts will occur with development.
2. Appropriate scale and mass that fits the site(s) under review shall be provided.
3. Environmental and geotechnical impacts shall be avoided, minimized and mitigated, to the extent practical, consistent with the Comprehensive Plan, while also providing the target density identified in each subarea plan development table.
4. Site-specific issues such as, but not limited to the location of trash facilities, grease trap cleanouts, restaurant vents and access points shall be addressed to the satisfaction of the Town.
5. The skier experience shall not be adversely affected, and any ski run width reductions or grade changes shall be within industry standards.

*Staff Finding: Because the Density Transfer and Rezone do not alter the exterior of the existing structure, the majority of the Project Standards listed above are not applicable. The site-specific issues listed above would be minimal as they would generally require no change from the existing operations.*

- d. The proposed rezoning is consistent with public health, safety and welfare, as well as efficiency and economy in the use of land and its resources;

*Staff Finding: Prospect Plaza contains Commercial and Residential uses spread between two buildings which could result in conflicts between uses and occupants. Reducing the commercial uses consistent with the comp plan over time, will reduce future conflicts between residential and commercial uses and is consistent with the comp plan vision. Otherwise, this proposal is an efficient use of land and resources.*

- e. The proposed rezoning is justified because there is an error in the current zoning, [and/or] there have been changes in conditions in the vicinity [and/] or there are specific policies in the Comprehensive Plan that contemplate the rezoning;

*Staff Finding: The comprehensive plan envisions Parcel A as a deed-restricted housing community, phasing out existing non-conforming land-uses over time.*

- f. Adequate public facilities and services are available to serve the intended land uses;

*Staff Finding: There are currently adequate public services to accommodate this request. The property owner and HOA are working through determining if there are any infrastructure upgrades needed specifically related to building and fire code that would need to be completed.*

- g. The proposed rezoning shall not create vehicular or pedestrian circulation hazards or cause parking, trash or service delivery congestion; and  
*Staff Finding: The rezoning will not create vehicular or pedestrian circulation hazards. The applicant has provided a parking analysis demonstrating adequate parking for vehicular traffic. The Town maintains a bus stop directly adjacent to Prospect Plaza and a sidewalk system providing Chondola Access for the majority of the year for pedestrians. It's unclear to staff at this time if the conversion of commercial to residential would create additional trash or service delivery congestion over the existing levels.*
- h. The proposed rezoning meets all applicable Town regulations and standards.  
*Staff Finding: The application meets all applicable regulations and standards.*

**17.4.10: Density Transfer Process**

(\*\*\*)

D. Criteria for Decision

(\*\*\*)

- 2. Class 4 Applications. The following criteria shall be met for the Review Authority to approve a density transfer.
  - a. The criteria for decision for rezoning are met since such density transfer must be processed concurrently with a rezoning development application (except for MPUD development applications);  
*Staff Finding: The applicant has met the criteria for the decision for rezoning as provided above.*
  - b. The density transfer meets the density transfer and density bank policies; and.  
*Staff Finding: The application meets all applicable density transfer and density bank policies. The applicant is proposing to transfer existing Employee Apartment Density from the Density Bank to Lot 648AR.*
  - c. The proposed density transfer meets all applicable Town regulations and standards.  
*Staff Finding: The application meets all applicable regulations and standards.*

**DESIGN REVIEW BOARD CRITERIA FOR REVIEW:**

The Design Review Board's purview relates specifically to how density transfers and rezone applications may have design-related implications. The DRB must determine if the proposed location, design, and other applicable standards have been met.

**RECOMMENDATION:** If DRB determines that the application to transfer density and rezone a portion of Lot 648AR meets the criteria for decision listed within this staff memo, then staff has provided the following suggested motion:

I move to recommend to Town Council, an Ordinance regarding the rezone and density transfer application pursuant to CDC Sections 17.4.9 & 17.4.10 of the Community Development Code, to rezone Lot 648AR and transfer 4 employee apartment density units (12-person equivalent density) to the subject lot based on the evidence provided within the Staff Report of record dated August 21, 2020, and with the following conditions:

1. The owner of record of density shall be responsible for all dues, fees, and any taxes associated with the assigned density and zoning until such time as the density is either transferred to a lot or another person or entity.
2. The final location and design of any buildings, grading, landscaping, parking areas, and other site improvements shall be determined with the required Design Review Process application pursuant to the applicable requirements of the CDC.
3. Associated deed restriction legal documents will be required to be executed prior to issuance of a certificate of occupancy for the newly created deed-restricted units.

This motion is based on the evidence and testimony provided at a public hearing held on September 3, 2020, with notice of such hearing as required by the Community Development Code.

*/JJM*



# REZONING/DENSITY TRANSFER APPLICATION

**Planning & Development Services**  
 455 Mountain Village Blvd.  
 Mountain Village, CO 81435  
 970-728-1392  
 970-728-4342 Fax  
 cd@mtnvillage.org

Revised 1.3.2020

REZONING/DENSITY TRANSFER APPLICATION		
<b>APPLICANT INFORMATION</b>		
<b>Name:</b> TSG Ski & Golf LLC	<b>E-mail Address:</b> jeff@telski.com	
<b>Mailing Address:</b> 565 Mountain Village Boulevard	<b>Phone:</b> (970) 728-7444	
<b>City:</b> Mountain Village	<b>State:</b> Colorado	<b>Zip Code:</b> 81435
<b>Mountain Village Business License Number:</b> 00201		
<b>PROPERTY INFORMATION</b>		
<b>Physical Address:</b> 313 Adams Ranch Road		<b>Acreage:</b> NA
<b>Zone District:</b> Multi-Family	<b>Zoning Designations:</b> Commercial/Residential	<b>Density Assigned to the Lot or Site:</b> 11 units commercial; 6 units Residential
<b>Legal Description:</b> Lot 648AR; units		
<b>Existing Land Uses:</b> Commercial		
<b>Proposed Land Uses:</b> Employee Apartments; 4 units		
<b>OWNER INFORMATION</b>		
<b>Property Owner:</b> TSG Ski & Golf, LLC	<b>E-mail Address:</b> jeff@telski.com	
<b>Mailing Address:</b> 565 Mountain Village Boulevard	<b>Phone:</b> (970) 728-7444	
<b>City:</b> Mountain Village	<b>State:</b> Colorado	<b>Zip Code:</b> 81435
<b>DESCRIPTION OF REQUEST</b>		
<p>TSG Ski &amp; Golf is proposing to convert 3,264 commercial space into 4 Employee Apartments (see attached plans). TSG has 5 units of Employee Apartments in the density bank and will transfer 4 of these units to lot 648AR. TSG has the required 6 parking spaces plus 2 additional spaces. The application is generally in conformance with the Comprehensive Plan and the Community Development Code. Additional information regarding conformance is included in attached narrative.</p>		

## Development Narrative

### Proposal

TSG Ski & Golf is proposing to convert approximately 3264 square feet of commercial space at Lot 648AR into 4 Employee Apartments (see attached plans). TSG has 5 units of Employee Apartments in the density bank and will transfer 4 of these units to lot 648AR. TSG has the required 6 parking (4 parking spaces in the garage and 2 exterior spaces) allocated. TSG has two additional exterior spaces available. The application is generally in conformance with the Comprehensive Plan and the Community Development Code.


### Consistent with Mountain Village Comprehensive Plan (Comp Plan).

**PARCEL A PROSPECT PLAZA:** In the MEADOWS SUBAREA PLAN section of the Comprehensive Plan the Principles, Policies and Actions for the MEADOWS SUBAREA PLAN list the following considerations for Parcel A Prospect Plaza:

- a. Phase out the currently permitted light industrial uses and replace with multiunit deed restricted housing.
- b. Ensure deed restricted housing proposed on Lot 648-AR is subject to the Ridgeline Development Regulations, including a maximum height of 35 feet.
- c. Evaluate the legal access to Lot 648-AR through the parking garage on Lot 648-BR, both of which are located on Parcel A Prospect Plaza, and require such access to be used for any development on Lot 648-AR, to the extent practicable, with a new parking garage on Lot 648-AR if feasible to serve the envisioned housing.

### Table 9. Meadows Development Table shows the target Density for Parcel A:

Table 9. Meadows Development Table

Parcel Designation	Target Maximum Building Height	Zoned Units	Target Hotbed Mix	Target Condo Units	Target Deed Restricted Units	Target Restaurant/ Commercial Area	Total Target Units
Parcel A Prospect Plaza	35-54	7 DRU	NA	NA	68	NA	68
Parcel B Town Shops	35	0	NA	NA	70	NA	70
Parcel C Lot 644	54	54 DRU	NA	NA	53	NA	53
Parcel D Lot 651-A	54	20 condos	NA	NA	53	NA	53
Parcel E Big Billie's Apartments (three- star hotel minimum) 	58	150 (dorm units)*	77	10	2 (dorm units)*	5,000	89
Parcel F Meadows Run Parking Lot	33	0	NA	NA	NA	NA	NA
Parcel G Telluride Apartments	48	30 DRU	NA	NA	91	NA	91
<b>Total Units</b>		261	77		337	5,000	424

\*Target dorm units are calculated by multiplying the number of hotbed units by 10% to determine the number of employees required to be provided dorm housing. The resultant number of employees is then multiplied by 250 sq. ft per employee to determine the total floor area in dorm units. This dorm unit floor area is then divided by 1,000 to determine the number of dorm units based on 1,000 sq. ft. per dorm unit, each with ideally four separate bedrooms. Refer to Section IV.B.2. in the Land Use Principles, Policies and Actions, page 43.

## Consistent with Community Development Code

TSG's Application is consistent with the CDC for the following reasons:

1. Multi-Family Zone District: Lot 648A is zoned as multi-family zone district. The CDC, at Section 17.3.2.B.4, provides for a multi-family zone district, which is intended to provide higher density, multi-family uses limited to multi-family dwellings, hotbed development, recreational trails, workforce housing and similar uses. Therefore, TSG's intended use and development is consistent with the CDC as TSG is proposing additional density for workforce housing.
2. Workforce Housing Restrictions. Employee Apartments zoning designations ("workforce housing") are restricted to occupancy exclusively by persons who are employed within the Telluride R-1 District and their spouses and children. TSG Ski & Golf understands that it will be required to enter into a workforce housing restriction on use, zoning and occupancy with the Town that will constitute a covenant that runs in perpetuity as a burden thereon and shall be binding on the owner and on the heirs, personal representatives, assigns, lessees, licensees and any transferee of the owner. A workforce housing restriction will be executed and recorded prior to any issuance of any Certificate of Occupancy.
3. Workforce Housing Requirements. In addition to the above, TSG's Application further complies with the CDC requirements for workforce housing set forth in Section 17.3.9. TSG's Application shows we are developing workforce housing in accordance with the Comp Plan policies and workforce housing restrictions.

Prospect Plaza is comprised of 2 separate buildings.

#### Building A

Building A is comprised of 7,858 sq. ft. of commercial space. Building A has 4 parking spots on the south side of their building along with an easement on the east side for additional parking. They also have space available in their enclosed laydown lot which is where they generally park their vehicles.

#### Building 2

Building 2 is comprised of:

Ground Floor – 6 Commercial Spaces

Second Level – 4 Commercial Spaces

Third & Fourth Floors – 7 Residential Units Total

Garage – 15 Parking Spaces & 1 Commercial Storage Space

Surface Area – 22 Parking Spaces

The Community Development Code requires:

Commercial – 1 space per 1,000 sf. There is 12,150.6 sq. ft. of commercial including a 650 sq. ft. storage unit in the garage. Total required = 13 Parking Spaces

Residential – 1.5 per condominium. There are 7 condominiums. Total Required = 11 Parking Spaces

Total Parking Requirement = 24

Current garage and surface parking spaces is 37 which exceeds the requirement.

Prospect Plaza has already provided the required parking. With the exception of B-1, the prospect Plaza HOA currently provides each owner with 2 passes for surface parking regardless of zoning or size of units.

		Sq. Ft	CDC	
A-1	Black Hills Energy	3864	3.864	Parking For Building A allocated on the south and east sides of bui
A-2	Black Hills Energy	3994	3.994	

Building 2		Sq. Ft.	CDC
2-1A	Commercial	1395	1.395
2-1B	Commercial	542	0.542
2-1C	Commercial	1565	1.565
2-1D	Commercial	543	0.543
2-1E	Commercial	861.3	0.8613
2-1F	Commercial	701	0.701
2-2A	Commercial	702	0.702
2-2D	Commercial	1580	1.58
B-1	Storage	650.3	
		<hr/>	
		8539.6	8

2-2B	Proposed 2 Condo	2008	3
2-2C	Proposed 2 Condo	1603	3
2-3A	CONDOMINIUM	2641.6	1.5
2-3B	CONDOMINIUM	1407.4	1.5
2-3C	CONDOMINIUM	1925.8	1.5
2-3D	CONDOMINIUM	1227.8	1.5
2-3E	CONDOMINIUM	1348.2	1.5
2-3F	CONDOMINIUM	1200.2	1.5
2-3G	CONDOMINIUM	1260.3	1.5
		<hr/>	
			17

Required Parking Per CDC 25

Garage

- P-1 LCE Unit 2-2A (Commercial)
- P-2 LCE Unit 2-3C (Condo)
- P-3 LCE Unit 2-3A (Condo)
- P-4 LCE Unit 2-3E (Condo)
- P-5 LCE Unit 2-3D (Condo)
- P-6 LCE Unit 2-3B (Condo)
- P-7 LCE Unit 2-3G (Condo)
- P-8 LCE Unit 2-3F (Condo)
- P-9 LCE Unit 2-2B (Commercial)
- P-10 LCE Unit 2-2B (Commercial)
- P-11 LCE Unit 2-2B (Commercial)
- P-12 LCE Unit 2-2C (Commercial)
- P-13 LCE Unit 2-2A (Commercial)
- P-14 LCE Unit 2-2A (Commercial)
- P-15 LCE Unit 2-2A (Commercial)



Total Garage Spaces	15
Balance Needed	10
Surface Parking Spaces	22
Extra Parking Spaces	-12



PROJECT PLAZA  
BUILDING



PROPOSED  
APARTMENTS  
2ND FLOOR

2 PARKING SPACES  
W/ 4 DESIGNATED IN  
UNDERGROUND GARAGE

**TSG - PROSPECT PLAZA  
APARTMENTS**

Telluride Ski and Golf  
308 ADAMS RANCH ROAD

Document Date:  
FEB. 6, 2020

Document Phase:  
Schematic Design

REV.	DATE	REMARK
1	9.11.19	SCHEMATIC PLANS
2	2.6.2020	SCHEMATIC PLANS
3	2.19.2020	PRE-DENSITY TRANSFER REVISIONS
4		
5		
6		
7		
8		
9		

**VICINITY AND  
SITE MAP**

**TSG - PROSPECT PLAZA  
 APARTMENTS**

Telluride Ski and Golf  
 308 ADAMS RANCH ROAD

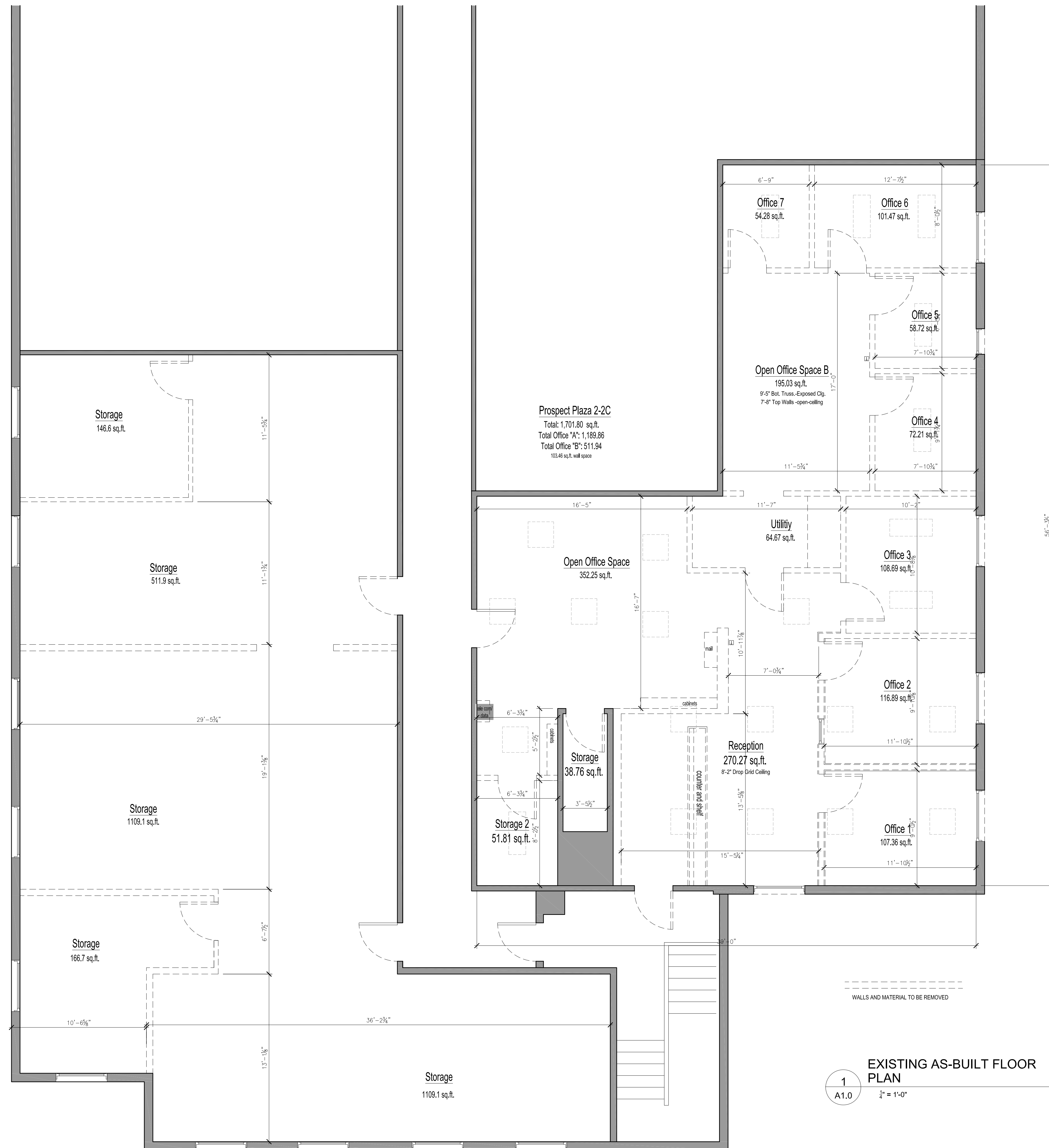
Document Date:  
 FEB. 6, 2020

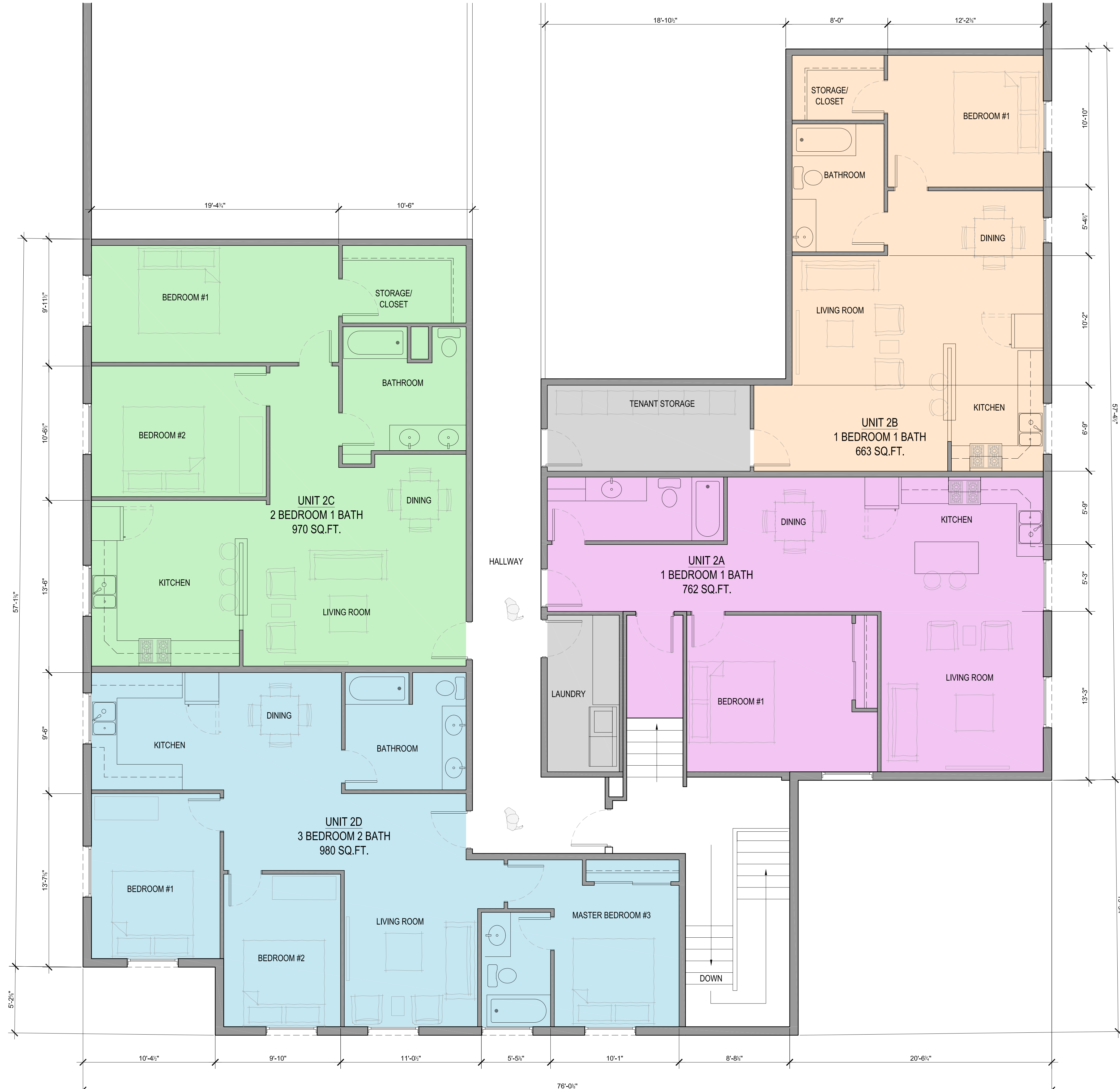
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4		
5		
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7		
8		
9		

AS-BUILT/DEMO  
 PLANS

**A1.1**





**TSG - PROSPECT PLAZA  
 APARTMENTS**

Telluride Ski and Golf  
 308 ADAMS RANCH ROAD

Document Date:  
 FEB. 6, 2020

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 Schematic Design

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4		
5		
6		
7		
8		
9		

SCHEMATIC  
 FLOOR PLAN

PROPOSED SCHEMATIC  
 FLOOR PLAN - V1 (1 bedroom  
 unit 2A)

1  
 A1.2

1/8" = 1'-0"

**TSG - PROSPECT PLAZA  
APARTMENTS**

Telluride Ski and Golf  
308 ADAMS RANCH ROAD

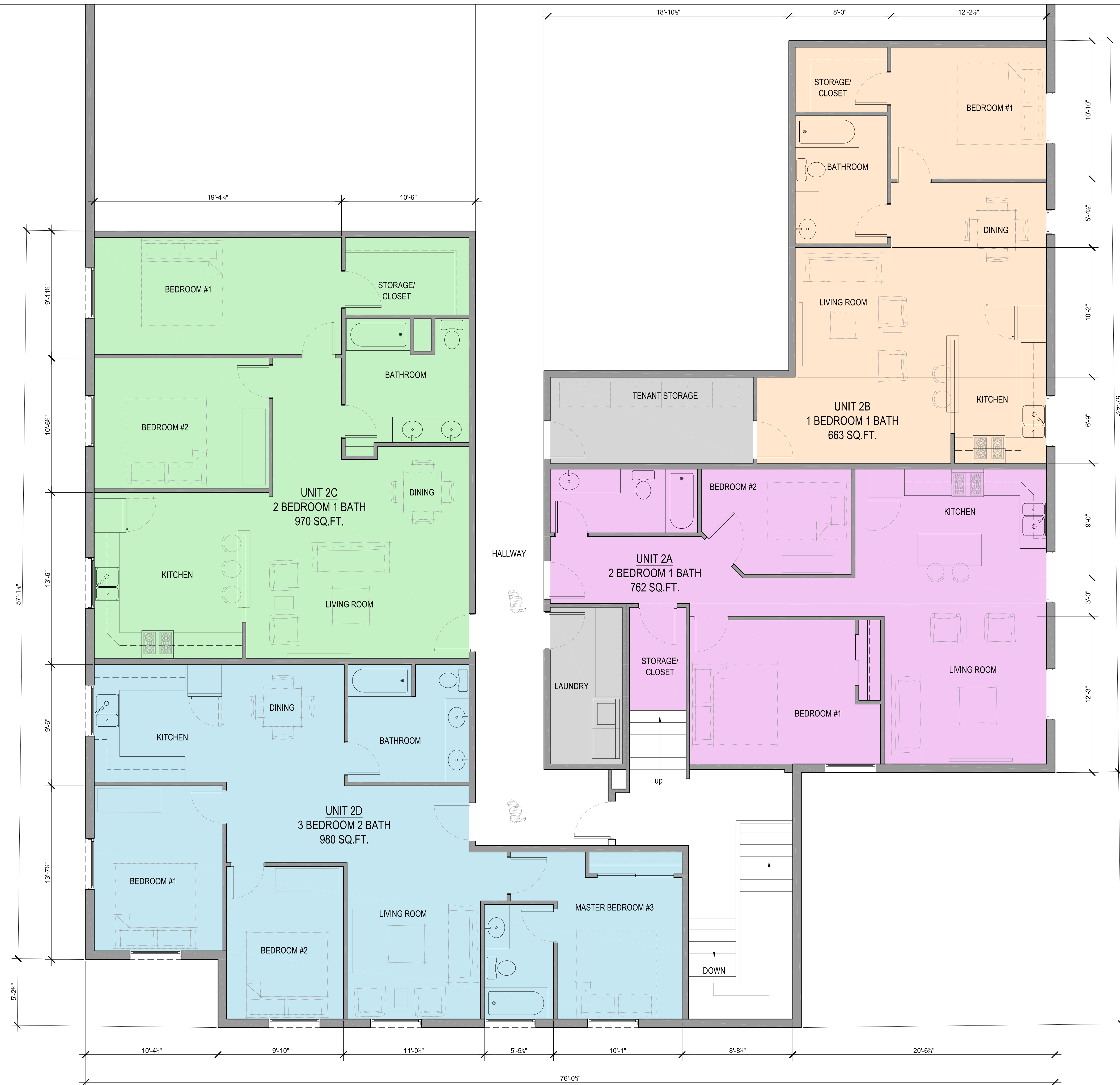
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4		
5		
6		
7		
8		
9		

SCHEMATIC  
FLOOR PLAN

**A1.3**



PROPOSED SCHEMATIC  
FLOOR PLAN -V2 (2 bedroom  
unit 2A)

1  
A1.3

1/4" = 1'-0"

## John A. Miller

---

**From:** Drew Harrington  
**Sent:** Thursday, August 27, 2020 11:13 AM  
**To:** John A. Miller  
**Subject:** Lot 648 R Prospect plaza

I have meet with Blake Builder on site to review the requirements for the conversion of the units. From a building code perspective I see no issues.

Drew Harrington  
CBO Chief Building Official  
Building Department  
Town of Mountain Village  
455 Mountain Village Blvd, Suite A  
Mountain Village, CO 81435  
O :: 970.369.8251  
C:: 970.708.7537  
F :: 970.728.4342

For information about The Town of Mountain Village's response to COVID-19 (Coronavirus), please visit [townofmountainvillage.com/coronavirus/](https://townofmountainvillage.com/coronavirus/)

Website for CommunityCore for Contractors: <https://app.communitycore.com/app/account/login>

## John A. Miller

---

**From:** Jim Boeckel <jim@telluridefire.com>  
**Sent:** Tuesday, March 17, 2020 6:50 PM  
**To:** John A. Miller  
**Subject:** Re: Density Transfer and Rezone Referrals for 648AR (Prospect Plaza) and La Chamonix

John,

No objection to density transfer and rezone Lot 648 AR. Fire sprinkler and alarm system need to be modified/changed to meet code for remodel areas.

No objection to density transfer and rezoning of La Chamonix Unit C.

On Tue, Mar 17, 2020 at 4:22 PM John A. Miller <[JohnMiller@mtnvillage.org](mailto:JohnMiller@mtnvillage.org)> wrote:

Good afternoon everyone,

Sorry for the delay on this. Been a bit hectic getting set up for remote work but attached are two links for the following referrals.

1. Density Transfer and Rezone at Lot 648AR Prospect Plaza to convert approx. 3264 sqft of existing commercial space into employee apartments:  
[https://townofmountainvillage.com/site/assets/files/32592/density\\_transfer\\_rezone\\_application\\_648ar\\_prospect\\_plaza.pdf](https://townofmountainvillage.com/site/assets/files/32592/density_transfer_rezone_application_648ar_prospect_plaza.pdf)
2. Density Transfer and Rezone at La Chamonix Unit C to rezone from efficiency lodge to lodge. This one is pretty simple and is only a conversion of the zoning with no physical changes:  
[https://townofmountainvillage.com/site/assets/files/32593/density\\_transfer\\_rezone\\_60ra\\_la\\_chamonix\\_unit\\_c.pdf](https://townofmountainvillage.com/site/assets/files/32593/density_transfer_rezone_60ra_la_chamonix_unit_c.pdf)

I am pretty sure at this point these are going to get continued to the may DRB meeting based on the current environment. Let me know if you have any concerns related to either of these projects.

Thanks,

J

John A Miller III, CFM

Senior Planner

Planning & Development Services

Town of Mountain Village

455 Mountain Village Blvd, Suite A

## John A. Miller

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**From:** Finn KJome  
**Sent:** Thursday, March 19, 2020 1:46 PM  
**To:** John A. Miller  
**Subject:** RE: Density Transfer and Rezone Referrals for 648AR (Prospect Plaza) and La Chamonix

Public Works has no concerns with these density transfers and rezones.  
Finn

---

**From:** John A. Miller <JohnMiller@mtnvillage.org>  
**Sent:** Tuesday, March 17, 2020 4:22 PM  
**To:** Finn KJome <FKJome@mtnvillage.org>; Steven LeHane <SLeHane@mtnvillage.org>; Jim Loebe <JLoebe@mtnvillage.org>; Chris Broady <CBroady@mtnvillage.org>; jim.telfire@montrose.net; jeremy@smpa.com; brien.gardner@blackhillscorp.com; kirby.bryant@centurylink.com; Forward jim.telluridefire.com <jim@telluridefire.com>  
**Subject:** Density Transfer and Rezone Referrals for 648AR (Prospect Plaza) and La Chamonix

Good afternoon everyone,

Sorry for the delay on this. Been a bit hectic getting set up for remote work but attached are two links for the following referrals.

1. Density Transfer and Rezone at Lot 648AR Prospect Plaza to convert approx. 3264 sqft of existing commercial space into employee apartments:  
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I am pretty sure at this point these are going to get continued to the may DRB meeting based on the current environment. Let me know if you have any concerns related to either of these projects.

Thanks,

J

John A Miller III, CFM  
Senior Planner  
Planning & Development Services  
Town of Mountain Village  
455 Mountain Village Blvd, Suite A  
Mountain Village, CO 81435  
O :: 970.369.8203  
C :: 970.417.1789





**Agenda Item No. 7  
PLANNING AND DEVELOPMENT SERVICES  
DEPARTMENT**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 369-8250

**TO:** Mountain Village Design Review Board

**FROM:** John Miller, Senior Planner

**FOR:** Design Review Board Meeting, September 3, 2020

**DATE:** August 24, 2020

**RE:** A review and recommendation to Town Council regarding a rezone and density transfer application to rezone Columbia Place Condominiums (Lot 37) Units 5-12 from a Hotel Efficiency zoning designation unit to a Lodge zoning designation unit. Concurrent Review and Recommendation to Town Council regarding a Variance to the Community Development Code (CDC) to allow deviations to parking requirements.

**PROJECT GEOGRAPHY**

**Legal Description:** *Condominium Units 5,6,7,8,9,10,11,12 Columbia Place Condominiums Phase 1 Lot 37*

**Address:** 562 Mountain Village Blvd

**Owner:** Multiple Owners (see applicant narrative and planning file)

**Zoning:** Village Center

**Existing Use:** Hotel Efficiency Lodge

**Proposed Use:** Lodge

**Adjacent Land Uses:**

- **North:** Village Center
- **South:** Village Center
- **East:** Village Center
- **West:** Village Center

**ATTACHMENTS**

- Exhibit A: Applicant's narrative
- Exhibit B: Floor plans
- Exhibit C: Square Footage of Units



**CASE SUMMARY:**

Robert Stenhammer (Applicant), acting on behalf of the Owners of Units 5, 6, 7, 8, 9, 10, 11, and 12 at Columbia Place Condominiums, Lot 37, is requesting to rezone the eight residential units listed above from Hotel Efficiency zoning designation to a Lodge zoning designation. In order to accomplish this request, the units in question must meet the rezoning criteria and must fit within the definition of a Lodge zoning designation unit per the Community Development Code (CDC).

A lodge unit is defined as a two-room space plus a mezzanine with up to two separate baths and a full kitchen. In addition, the applicant is requesting to obtain a variance from the parking requirements of the CDC for Units 6, 7, 9, 10, 11, and 12.

**COLUMBIA PLACE (LOT 37) HISTORY**

Zoning Designation History of Columbia Place:

Columbia Place was established prior to the Mountain Village's incorporation, in 1987 through a replat of Lot 37, 38, Tract OS-3 and Tract OS-3C (Reception No. 247761) and then a subsequent condominium platting process. This replat increased the size of Lot 37 slightly, but also rezoned Lot 37 and 38 as follows:

<u>Lot</u>	<u>Previous Size</u>	<u>New Size Per this Plat</u>
37	3375 sq. ft.	4214 sq.ft.
38	7188 sq. ft.	8893 sq.ft.

<u>Lot</u>	<u>Previous Use</u>	<u>New Use per this Replat</u>	<u>Population #'s</u>
37	5 Condominium Units	8 Hotel Efficiency Units	16
38	10 Condominium Units	14 Hotel Efficiency Units	28

Columbia Place's Condominium Map and Declarations were recorded under a Subdivision Exemption granted by the San Miguel County Commission in 1988 (Reception No. 253008). The 1988 Condo Map describes two commercial units and eight residential units as documented below. There is no mention of allocated parking in the original subdivision exemption and rather implies the use of surface parking. There were no parking requirements at the time of the development approvals for Columbia Place and in fact the MV Center was at the time considered to be a pedestrian village; thus, no parking was required or constructed purposefully.

TOTAL AREAS	
UNIT	CLEAR AREA IN SQUARE FEET
COMMERCIAL UNIT A	3674.1
COMMERCIAL UNIT B	3594.1
RESIDENTIAL UNIT 5	1115.7
RESIDENTIAL UNIT 6	692.9
RESIDENTIAL UNIT 7	844.5
RESIDENTIAL UNIT 8	671.3
RESIDENTIAL UNIT 9	859.5
RESIDENTIAL UNIT 10	682.4
RESIDENTIAL UNIT 11	870.0
RESIDENTIAL UNIT 12	689.6

### Parking History of Columbia Place:

As documented above, there has never been any deeded parking associated with the Residential or Commercial Condominium units at Columbia Place. Because a rezone application requires that the application conform with current land use and zoning regulations, a rezone to a lodge unit requires that the applicants meet the parking requirement of .5 parking spaces per unit, or otherwise obtain a variance to parking requirements to meet this requirement.

It should be noted that two of the eight residential units (Units 5 and 8) have purchased a full parking space within the Mountain Village and are not requesting a parking variance.

### Zoning

Under the current CDC provisions a Hotel Efficiency zoning designation is defined as “a habitable two (2) room space, or one (1) room plus a mezzanine, with separate bath and limited kitchen facilities used for Short Term Accommodations. Limited kitchen facilities may include a sink, microwave, two-element burner and a six (6) cubic foot (maximum) refrigerator. These units may be in a condominium community.”

*Note: Hotel Efficiency is one of the early zoning designation defined by the County and adopted by the Town of Mountain Village when incorporated. Anecdotally, Columbia Place constitutes the only Hotel Efficiencies built in the Mountain Village, while 21 units are unbuilt and platted or in the density bank and unassigned. This zoning designation is typically for short term rental accommodations, has restrictions of the overall features of the kitchen, and requires 2 units of density. With the evolution of zoning designations, we believe there is no compelling reason for anyone to build hotel efficiencies in the future when you can build a lodge unit with use flexibility, less density, and the same parking and size requirements*

A Lodge zoning designation is defined as “A zoning designation that means a two (2) room space plus a mezzanine with up to two separate baths and a full kitchen. These units may be in a condominium community”.

*Note: This zoning designation has no restriction of length of accommodations and can be used as a full-time dwelling unit. There are no restrictions on kitchen features and requires 0.75 units of density. Each unit requires 0.5 parking spaces.*

### **CRITERIA, ANALYSIS, AND FINDINGS**

The criteria for the decision to evaluate a variance and/or rezone that changes the zoning designation and/or density allocation assigned to a lot is listed below. The following criteria must be met for the review authority to approve the applications:

#### **Chapter 17.4: DEVELOPMENT REVIEW PROCEDURES**

##### **17.4.16: Variance Procedure:**

*Staff has evaluated the following standards (1-8) as the criteria that must be met for Town Council to approve the variance:*

- 1. The strict development application of the CDC regulations would result in exceptional and undue hardship upon the property owner in the development of property lot because of special circumstances applicable to the lot such as size, shape, topography or other extraordinary or exceptional physical conditions;*

*Staff: Columbia Place was approved under San Miguel County Subdivision Exemptions and has existed since before the Incorporation of Mountain Village. The unique fact that this building was approved without onsite parking requirements, as documented above, can be utilized by the Town Council as an evaluatory condition regarding the Variance request as it is unique to the very first buidings constructed in the Village Center.*

- 2. The variance can be granted without substantial detriment to the public health, safety, and welfare;*

*Staff: The proposed variance would not permit any additional changes in the current use of Columbia Place Condominiums. No impact or substantial detriment.*

- 3. The variance can be granted without substantial impairment of the intent of the CDC;*

*Staff: There had been no prior CDC requirement to bring the hotel efficiency lodge units into compliance. Given they have historically been used as residential units, despite the CDC definition, the voluntary compliance to rezone for legal residential use is triggering a parking variance request. Town Council can determine whether the request impairs the intent of the CDC.*

- 4. Granting the variance does not constitute a grant of special privilege in excess of that enjoyed by other property owners in the same zoning district;*

*Staff: The existing use of Columbia Place would have no changes resulting from the granting of this variance.*

- 5. Reasonable use of the property is not otherwise available without granting of a variance, and the variance being granted is the minimum necessary to allow for reasonable use;*

*Staff: There is no physical ability to create onsite parking on the site today or to utilize existing parking spaces as non exist. This could be viewed as a hardship given the CDC requires parking requirements to be met with a rezone and density transfer application. Columbia Place is situated uniquely in that the actual use has been residential since its original development and is the only property comprised of Hotel Efficiency units.*

- 6. The lot for which the variance is being granted was not created in violation of Town regulations or Colorado State Statutes in effect at the time the lot was created;*

*Staff: The lot is within a legally created subdivision and is within a legally created condominium community.*

- 7. The variance is not solely based on economic hardship alone; and*

*Staff: If approved by Town Council the variance would be based on the existing use of Columbia Place and the Subdivision and Condominium approval issued by San Miguel County.*

- 8. The proposed variance meets all applicable Town regulations and standards unless a variance is sought for such regulations or standards.*

*Staff: Staff believes that this request meets all applicable Town Regulations and Standards except for the Variance being requested which is for 3 parking spaces or 6 .5 parking space requirements.*

### **17.4.9: Rezoning Process**

(\*\*\*)

#### **3. Criteria for Decision: (\*\*\*)**

- a. The proposed rezoning is in general conformance with the goals, policies and provisions of the Comprehensive Plan;

*Columbia Place is contemplated for redevelopment as Parcel H in the Mountain Village Comprehensive Plan. As part of the plan, Parcel H directs the town to “encourage redevelopment of the [condos] to provide hotbeds”, as well as requiring commercial first level storefronts, and pedestrian connections.*

*Although the Comprehensive Plan’s vision for redevelopment indicates redevelopment into hotbeds, the applicants are not proposing redevelopment but rather bringing their unit type into compliance with their existing use voluntarily. No building permits will be need as part of the rezone and density transfer process because there are no unit changes needed or contemplated with this application.*

- b. The proposed rezoning is consistent with the Zoning and Land Use Regulations;

*The Zoning and Land Use Regulations allow for a rezone from hotel efficiency units to lodge units provided these criteria are met and the unit meets the definition of a lodge unit. The Village Center Zoning allows for broad uses including lodge units. The units in question exceed the required density necessary as they all have 2 units of density and meet the definition of a lodge given their floorplans. Should the board determine that this is approvable as it relates to meeting the definition of a lodge unit and the parking variance is appropriate, then these criteria can be met.*

- c. The proposed rezoning meets the Comprehensive Plan project standards;

*The Comprehensive Plan project standards for Columbia Place are based on the redevelopment of Parcel H. Thus, this criterion is not applicable.*

- d. The proposed rezoning is consistent with public health, safety, and welfare, as well as efficiency and economy in the use of land and its resources;

*The proposed rezoning presents no public health, safety or welfare issues and is and is an efficient use of what is a mixed-use building carrying residential attributes.*

- e. The proposed rezoning is justified because there is an error in the current zoning, [and/or] there have been changes in conditions in the vicinity [and/] or there are specific policies in the Comprehensive Plan that contemplate the rezoning;

*The proposed rezone is due to a change in condition in the vicinity, namely recent education and voluntary compliance regarding efficiency lodge and hotel efficiency lodge zoning designations.*

- f. Adequate public facilities and services are available to serve the intended land uses;

*No additional public facilities are needed for the rezone thus, they are adequate.*

- g. The proposed rezoning shall not create vehicular or pedestrian circulation hazards or cause parking, trash or service delivery congestion; and

*No change or negative impact.*

- h. The proposed rezoning meets all applicable Town regulations and standards.

*The application will be compliant with all applicable town regulations and standards at the time that the parking variance is obtained, and the additional density is transferred into the density bank. Staff is requesting that any approval condition that requisite density has been transferred prior to the recordation of the associated ordinance rezoning the units.*

#### **17.4.10: Density Transfer Process**

(\*\*\*)

- D. Criteria for Decision

(\*\*\*)

- 2. Class 4 Applications. The following criteria shall be met for the Review Authority to approve a density transfer.

- a. The criteria for decision for a rezoning are met since such density transfer must be processed concurrently with a rezoning development application (except for MPUD development applications);
- b. The density transfer meets the density transfer and density bank policies; and.
- c. The proposed density transfer meets all applicable Town regulations and standards.

*Provided the variance is approved these criteria would be met.*

#### **DESIGN REVIEW BOARD CRITERIA FOR REVIEW:**

The Design Review Board's purview relates specifically to how density transfers and rezone applications may have design-related implications. There would be no substantive change to these units and no design review implications.

Similarly, the proposed variance would result in no design-related implications given 6 of the 8 units have never had any parking associated with their use. There would be no substantive change to the existing situation and no design review implications.

#### **STAFF ANALYSIS**

The existing configuration of the eight residential units currently meet the definition of a lodge unit per the CDC. The applicants have a total of 16 person-equivalent density units cumulatively and

are only required to have a total of 6-person equivalent density units for the proposed rezone. There are no on-site property management services or other amenities that would indicate accommodations use like a hotel. Columbia Place is identified in the Comprehensive Plan as noted within this memo, and Town Council must determine if failure to meet these redevelopment standards would limit the ability to approve this request. Otherwise, this application meets the Town criteria for a rezone application.

Staff recommends the board consider the development timeline of Lot 37 in relation to the requested parking variance and approve the requests for Units 6, 7, 9, 10, 11, and 12.

Staff has provided recommending motions below for the Design Review Board.

### **RECOMMENDED MOTIONS:**

#### ***Approval:***

*I move to recommend the Town Council approve the rezone and density transfer application for Lot 37, Columbia Place, Units 5, 6, 7, 8, 9, 10, 11, and 12 to rezone from a hotel efficiency lodge zoning designation to lodge zoning designation;*

*In addition, I move to recommend Town Council approval of a resolution to allow a variance to the CDC parking requirement standards granting deviations to the required 0.5 parking spaces for Units 6, 7, 9, 10, 11, 12.*

*These recommendations are based on the following findings and conditions as noted in the staff report of record dated August 24, 2020:*

#### *Findings:*

- 1. If Town Council determines the variance request meets the requirements of the CDC, then the parking requirement for Unit 6, 7, 9, 10, 11, and 12 will be met.*
- 2. Town Council must determine if the Comprehensive Plan standards for redevelopment apply to this request. If they determine they do not, then this application will meet all requirements of the CDC.*

#### *Conditions:*

- 1. The applicants should work with the Columbia Place HOA to update the declarations to recognize Units 5, 6, 7, 8, 9, 10, 11, and 12 as Lodge units.*
- 2. The Lot list shall be updated to reflect the rezone from eight hotel efficiency lodge units to eight lodge units.*
- 3. The applicant shall demonstrate the remaining unused density has been transferred into the Town Density Bank prior to recording the associated ordinance rezoning the units from hotel efficiency lodge to lodge units.*

*This motion is based on the evidence and testimony provided at a public hearing held on September 3, 2020, with notice of such hearing as required by the Community Development Code.*

**Denial:**

*I move to recommend the Town Council deny the rezone and density transfer application for Lot 37, Columbia Place, Units 5, 6, 7, 8, 9, 10, 11, and 12 to rezone from a hotel efficiency lodge zoning designation to lodge zoning designation;*

*In addition, I move to recommend Town Council denial of a resolution to allow a variance to the CDC parking requirement standards granting deviations to the required 0.5 parking spaces for Units 6, 7, 9, 10, 11, 12.*

*These recommendations are based on the following findings and conditions as noted in the staff report of record dated August 24, 2020:*

*/jjm*





# REZONING/DENSITY TRANSFER APPLICATION

Planning & Development Services  
 455 Mountain Village Blvd.  
 Mountain Village, CO 81435  
 970-728-1392  
 970-728-4342 Fax  
 cd@mtnvillage.org

Revised 2.26.18

REZONING/DENSITY TRANSFER APPLICATION			
APPLICANT INFORMATION			
<b>Name:</b> Robert Stenhammer		<b>E-mail Address:</b> robert@telluriderealestates.com	
<b>Mailing Address:</b> TREC - 567 Mountain Village Blvd #106A		<b>Phone:</b> 970-708-7771	
<b>City:</b> Mountain Village	<b>State:</b> CO	<b>Zip Code:</b> 81435	
<b>Mountain Village Business License Number:</b> 000387			
PROPERTY INFORMATION			
<b>Physical Address:</b> Columbia Place Condominiums		<b>Acreage:</b>	
<b>Zone District:</b> Village Center	<b>Zoning Designations:</b> Hotel Efficiency	<b>Density Assigned to the Lot or Site:</b> 16 Person Equivalent	
<b>Legal Description:</b> Units 5,6,7,8,9,10,11,12 COLUMBIA PLACE CONDOMINIUMS PHASE I LOT 37			
<b>Existing Land Uses:</b> Hotel Efficiency Units			
<b>Proposed Land Uses:</b> Lodge Units			
OWNER INFORMATION			
<b>Property Owner:</b> See Exhibit A for Owners Information		<b>E-mail Address:</b>	
<b>Mailing Address:</b>		<b>Phone:</b>	
<b>City:</b>	<b>State:</b>	<b>Zip Code:</b>	
DESCRIPTION OF REQUEST			
Request to re-zone all 8 of Columbia Place properties from Hotel Efficiency Units to Lodge Units. Additionally, 6 of the 8 Units are requesting parking variances.			

## Columbia Place Re-Zone Application – Hotel Efficiency to Lodge Unit Narrative

### Background

The Town of Mountain Village recent changes and definition improvements of the Community Development Code (CDC) relating to zoning designations has caused the Columbia Place HOA and all 8 of its condominium owners to pursue this re-zone in unanimity. The CDC defines a maximum 29-night consecutive usage limit and states that Hotel Efficiency units not be used a primary residence. These recent zoning clarifications are a property restriction that reduces property values and much needed long-term housing. Thus, the Columbia Place HOA and owners thank you for your consideration of this re-zone application.

### Re-zone Criteria for Columbia Place

**The proposed rezoning is in general conformance with the goals, policies, provisions, and standards of the Comprehensive Plan:**

- Section 8 in the Mountain Village Center Sub-Area Plan included in the Comprehensive Plan references *“Encourage the redevelopment of Columbia Place Condos to provide hotbeds as envisioned by the Comprehensive Plan”*. However, it seems a discussion about re-development of Columbia Place seems frivolous in light of the Village Center vacant land still available for original development. These lots ripe for new development include 161-CR, Lot 30, Lot 27A/32, and Lot 109R. A re-development of Columbia Place would also take a 100% owner vote; for which there is no appetite by the owners to do so.
- The hotbed reference in the Comprehensive Plan was also done so at a time before the proliferation of the vacation rental industry. Hotbeds as referenced in the Comprehensive Plan are relating to properties with hotel-like amenities; of which there are none at Columbia Place. Today there are 437 unique properties with capacity from 2 people condominiums to 25 people single family homes. There properties are the new hotbeds for Mountain Village

**The proposed rezoning is consistent with the Zoning and Land Use Regulations:**

- The Columbia Place Hotel Efficiency units have 2-person density equivalent. The re-zone to Lodge is .75-person density equivalent. Thus, each unit owner will have an extra 1.25 units of density. These units of density require TMVOA dues to continue to be paid on them. My recommendation is to transfer all the remaining units of density ( $1.25 \times 8 = 10$ -person equivalent of density) to the Columbia Place HOA to hold as an asset as the density is currently not in demand - but may be valuable at a future date.
- Lodge Unit Criteria:
  - Two room spaces plus a mezzanine – All 8 units meet this criteria
  - Up to two separate baths – All 8 units meet this criteria
  - A full kitchen – All 8 units meet this criteria
  - No Hotel Like Amenities – Columbia Place has zero Hotel like amenities
  - .5 Parking Spaces per Unit – There is no and never has been any deeded parking spaces available for Columbia Place since the project was built without any parking. Additionally, a parking variance for Columbia Place was given previously by the Town. 2

of the 8 owners have acquired separate deeded parking spaces (not attached to Columbia Place) at significant expense.

**The proposed rezoning is consistent with public health, safety and welfare, as well as efficiency and economy in the use of land and its resources:**

- The re-zone of Columbia Place from Hotel Efficiency to Lodge Unit with the parking variance is the highest and best use of the property from a property value, property usage and constituent property rights.
- There are no health or safety concerns.

**The applicant is submitting appropriate documentation:**

- Application
- Narrative
- Parking Variance
- Plat Map and Floor Plans
- Deeds

**Columbia Place Condo Summary**

- 8 total units owned by 8 separate owners – all of which wish to re-zone to Lodge Unit.
- 2 units are owner occupied.
- 5 units are short term rented generating valuable sales tax and overnight parking revenue.
- 2 of 8 units have owner purchased “after market” parking spaces. The other 6 are requesting a parking variance.

## Columbia Place Re-Zone Application – Parking Variance Narrative

This parking variance applies to 6 of the 8 Columbia Place Units. Units 5&8 have an “after-market” owner purchased parking space in the village core, the other units (6,7,9,10,11,12) do not parking and are respectfully requesting the variance.

### **From Section 17.4.16 of the Community Development Code:**

*“The purpose and intent of the variance process is to establish policies and procedure for granting a variance to the requirements of the CDC because the strict application of CDC requirements would cause exceptional and undue hardship on the development and use of lot due to special circumstances existing relative to the lot such as size, shape, topography or other extraordinary or exceptional physical conditions...”*

This Parking Variance is submitted precisely because “the strict application of the CDC requirements would cause exceptional and undue hardship....”

Columbia Place was built in 1988 with the developers original idea of a pedestrian Mountain Village Core. Columbia Place property owners, in the history of the complex have never had deeded or assigned parking spaces. Requiring a parking space as a condition of this re-zone and density transfer application would be punitive to the existing owner and feels like it would be rewarding the perhaps in-effective government policies that allowed this condition since the property was constructed.

The difference between the Columbia Place parking variance application and the previously denied Blue Mesa parking variance application is that Columbia Place was never built with a garage and with zero intent to provide unit assigned parking. Per the CDC this fact should qualify for the special circumstance required for the variance.

### **The following criteria shall be met for the review authority to approve a variance:**

- The strict development application of the CDC regulations would result in exceptional and undue hardship upon the property owner in the development of property lot because of special circumstances applicable to the lot such as size, shape, topography or other extraordinary or exceptional physical conditions
  - Special circumstances applicable to the physical condition of the property is that there is no on-site parking available and none was intended for the project.
- The variance can be granted without substantial detriment to the public health, safety and welfare
  - No concerns
- The variance can be granted without substantial impairment of the intent of the CDC;
  - The CDC provides a variance process precisely for conditions such as this
- Granting the variance does not constitute a grant of special privilege in excess of that enjoyed by other property owners in the same zoning district, such as without limitation, allowing for a larger home size or building height than those found in the same zone district
  - None

- Reasonable use of the property is not otherwise available without granting of a variance, and the variance being granted is the minimum necessary to allow for reasonable use
  - The parking variance is necessary for the continued reasonable use of the of the property by the owners. It's reasonable that because the Town has not required parking in the past that it would not require parking now.
- The lot for which the variance is being granted was not created in violation of Town regulations or Colorado State Statutes in effect at the time the lot was created.
  - No
- The variance is not solely based on economic hardship alone; and The proposed variance meets all applicable Town regulations and standards unless a variance is sought for such regulations or standards:
  - The variance is not based on economic hardship alone but is a reasonable extension of previous Town policy.









EXHIBIT B  
SHARING RATIOS

TOTAL AREAS		SHARING RATIO
<u>Unit</u>	<u>Clear area in square feet</u>	<u>% per unit</u>
Commercial Unit A	3674.1	26.85 <sup>26.85</sup>
Commercial Unit B	3594.1	26.24 <sup>26.24</sup>
Residential Unit 5	1115.7	8.14 <sup>8.14</sup>
Residential Unit 6	692.9	5.06
Residential Unit 7	844.5	6.16 <sup>6.16</sup>
Residential Unit 8	671.3	4.92 <sup>4.92</sup>
Residential Unit 9	859.5	6.72 <sup>6.72</sup>
Residential Unit 10	682.4	4.98 <sup>4.98</sup>
Residential Unit 11	870.0	6.35 <sup>6.35</sup>
Residential Unit 12	689.6	5.03
Total Square Feet	13,694.1	100.00%

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