



Appendix A – Rezoning Review Criteria (Density Transfer)

The primary criteria of a rezoning-density transfer application is in conformance with the Comprehensive Plan. In 2018 the Town Council adopted by Resolution an amendment to the Comprehensive Plan specific to Lot 30 that gave broader development authority. If Lot 30 is developed independent of the overall Parcel M, it could be developed in the following ways:

- Consistent with the underlying zoning,
- Pursuant to a rezone and density transfer application approved by Town Council, and
- Not subject to the Unit mix shown as Table 7 in the Comprehensive Plan (and a flagship hotel site).

In response to article 17.4.9 of the Community Development Code, the following criteria have been met for the review authority to approve the proposed rezoning development application related to the transfer of density to Lot 30:

- a. The proposed rezoning generally complies with the goals, policies, and provisions of the Comprehensive plan in that it offers:
 - An additional, sustainable resort bed base of over 100 “pillows”.
 - Common amenities, on-site management, and a front desk/reception area to support second homeowners who choose to lease their properties on a long or short-term basis.
 - A “high-quality” project that provides “a desirable place to live” for potential full-time residents.
 - “Integrated”, deed restricted housing, beyond that required under the current density allocation.
 - Adequate, effective, and efficient vehicular access and parking.
 - Pedestrian connectivity to transit, commercial centers, and recreational opportunities.
 - An appropriately scaled transition between the higher density Village Center, less dense outlying areas, and the natural alpine setting.
- b. The proposed rezoning is consistent with the Zoning and Land Use Regulations.
 - As demonstrated in the development narrative and supporting documentation, the rezoning is consistent with Zoning and Land Use Regulations with specific regard to allowable uses, height, setbacks, site coverage, grading, access, parking, as well as “objective” portions of building design standards.
- c. The proposed rezoning meets the Comprehensive Plan project standards.
 - The Comprehensive Plan does not provide for specific development “standards”.



- The Mountain Village Center Sub-Area Plan references “no site-specific policies.”
- d. The proposed rezoning is consistent with public health, safety and welfare, as well as efficiency and economy in the use of land and its resources.
- The proposed development of existing parcels is identified in the comprehensive plan as being “beneficial to Mountain Village and its environment by reserving development to areas that are most optimal for development and preserving those areas that are most appropriate for passive recreation and conservation”, and as such, the density increase, as applied within the underlying zoning requirements related to height, site coverage and setbacks, should be seen as an efficient and economical use of land while having little or no impact on the health, safety, or welfare of surrounding properties.
- e. The proposed rezoning is justified because there is an error in the current zoning, there have been changes in conditions in the vicinity or there are specific policies in the Comprehensive Plan that contemplate the rezoning.
- The Village Center Sub-Area Plan anticipates significant increases in density from the underlying density assigned to the lot, recognizing that existing roadways and other infrastructure can accommodate the proposed density increase.
- f. Adequate public facilities and services are available to serve the intended land uses.
- Adequate public facilities and services exist to serve the proposed residential uses as indicated within the engineered Utility Plan, submitted as part of this application.
 - When considering engineering (ITE) standards related to projecting traffic impacts, peak pm hour traffic volumes will increase by less than one vehicle over the current uses on site have little to no impact on roadways or intersection level of service.
 - Net Increase of 0.85 PM Peak Hour Trips
 - Existing Uses – 4.47 Total PM Peak Hour Trips
 - ITE Designation 173 “Small Office Building 2.45 Trips/1,000 sf
 - 1,710 sf = 4.19 Trips
 - ITE Designation 260 “Resort Homes” 0.28 Trips/Unit
 - 1 Unit = 0.28 Trips
 - Proposed Uses – 4.47 Total PM Peak Hour Trips
 - ITE Designation 260 “Resort Homes” 0.28 Trips/Unit
 - 19 Unit = 5.32 Trips
 - The applicant has proposed providing curb, gutter, and sidewalks consistent with town standards on both Mountain Village Boulevard and Aspen Ridge



Drive, although an easement would need to be obtained from the adjacent open space property owner by either the town or the owner of lot 30 in order to construct and maintain such improvements.

- g. The proposed rezoning shall not create vehicular or pedestrian circulation hazards or cause parking, trash, or service delivery congestion.
- The proposed development accommodates all anticipated vehicular and service needs within the site boundaries accessed by way of a single driveway curb cut on Aspen Ridge Drive. The proposed density increase would not require any revisions to vehicular access, parking, pedestrian circulation, and/or trash standards beyond which the underlying density would have required.
 - When considering engineering (ITE) standards related to projecting traffic impacts, peak pm hour traffic volumes will increase by less than one vehicle over the current uses on site.
 - There are no centralized service deliveries associated with the proposed residential uses.
- h. The proposed rezoning meets all applicable Town regulations and standards.
- As stated in the attached correspondence and demonstrated in the accompanying documentation, the proposed project meets all applicable regulations and standards as adopted in the Community Development Code by the Town of Mountain Village, as interpreted by the development team.

In consideration of the above noted criteria, and as stated in the Comprehensive Plan and associated Amendment, the Town Council should take into consideration the following:

- “The Development Table is not intended to set in stone the maximum building height or target density, and an applicant or developer may propose either a different density and/or a different height provided such density and height “fits” on the site per the applicable criteria for decision making for each required development review application.”
- “The Town Council shall have the sole discretion, after receiving a recommendation from the Design Review Board, pursuant to its Community Development Code, to determine if any proposed development scenario other than a by right development scenario of Lot 30, is in the best interest of the community and whether such a scenario is appropriate for development independently on Lot 30 without invoking the requirements of Table 7. The Town Council shall also consider the Community Development Code requirements as well as the Comprehensive Plan principles and policies in making such a determination.”



- “Town Council may consider other measures such as timeshares, fractional sales, condominium-hotel, front desk and amenity spaces for administering rental programs and boutique hotels among other measures and requirements in any development scenario including an independent Lot 30 development (meaning 131 exclusive of any inclusion of the OS IAR-3 portion of Parcel M) scenario or a Parcel M development scenario.” Town Council should provide feedback related to these comprehensive plan policies.



Unit	Level	Floor Elevation	Net Area	Unit Area	Bedrooms	Offices	Baths	Parking Required (Outside VC)	Parking Required (Village Center)	Parking Provided	Parking Notes
102	Lower	9,524	1,871	1,871	2	1	2.5	1.5	1.0	1.5	1.0 Indoor + 0.5 Outdoor (I-21, O-32)
200	Lower	9,535	1,058	2,030	2	1	3.5	1.5	1.0	1.5	1.0 Indoor + 0.5 Outdoor (I-22, O-33)
	Upper	9,546	972								
201	Lower	9,524	781	2,971	4	1	4.5	1.5	1.0	2.0	2.0 Indoor Tandem (T-1,T-2)
	Upper	9,535	2,190								
202	Main	9,535	2,163	2,163	3	1	4.0	1.5	1.0	1.5	1.0 Indoor + 0.5 Outdoor (I-23, O-33)
203	Main	9,535	2,036	2,036	3	1	4.0	1.5	1.0	2.0	2.0 Indoor Tandem (T-3,T-4)
204	Main	9,535	1,944	1,944	3	1	3.5	1.5	1.0	1.5	1.0 Indoor + 0.5 Outdoor (I-24, O-35)
205	Main	9,535	2,100	2,100	3	1	4.0	1.5	1.0	2.0	2.0 Indoor Tandem (T-4, T-5)
206	Main	9,535	1,974	1,974	3	1	3.5	1.5	1.0	1.5	1.0 Indoor + 0.5 Outdoor (I-25, O-35)
301	Lower	9,546	2,124	2,901	4	1	5.5	1.5	1.0	2.0	2.0 Indoor Tandem (T-7, T-8)
	Upper	9,557	777								
302	Lower	9,546	2,154	3,219	4	1	5.0	1.5	1.0	2.0	2.0 Indoor Tandem (T-9, T-10)
	Upper	9,557	1,065								
303	Lower	9,546	1,950	3,435	4	1	6.0	1.5	1.0	2.0	2.0 Indoor Tandem (T-11, T-12)
	Upper	9,557	1,485								
304	Main	9,546	1,940	1,940	3	1	3.5	1.5	1.0	1.5	1.0 Indoor + 0.5 Outdoor (I-26, O-32)
305	Main	9,557	2,090	2,090	3	1	4.0	1.5	1.0	2.0	2.0 Indoor Tandem (T-13, T-14)
PH 306	Lower	9,546	2,012	3,472	5	1	6.0	1.5	1.0	2.0	2.0 Indoor Tandem (T-15, T-16)
	Upper	9,557	1,460								
PH 404	Lower	9,557	1,932	3,003	4	1	5.0	1.5	1.0	2.0	2.0 Indoor Tandem (T-17, T-18)
	Upper	9,568	1,071								
PH 405	Lower	9,557	1,932	2,542	4	2	5.0	1.5	1.0	2.0	2.0 Indoor Tandem (T-19, T-20)
	Upper	9,568	610								
Sub-Total (Fee Simple)			39,691	39,691	54.0	17.0	69.5	24.0	16.0	29.0	
Apt. C	New Deed Restricted	9,513	829	829	1.0	2.0	2.0	1.5	1.0	1.5	1.0 Indoor + 0.5 Outdoor (I-29, O-30)
Apt. 98B	Exist Deed Restrict	9,519	678	678	1.0	0.0	1.0	1.5	1.0	1.5	1.0 Indoor + 0.5 Outdoor (I-27, O-31)
Apt. 98A	Converted Deed Restrict	9,519	1,710	1,710	2.0	2.0	1.0	1.5	1.0	1.5	1.0 Indoor + 0.5 Outdoor (I-27, O-31)
Sub -Total			42,908	42,908	58.0	21.0	73.5	28.5	19.0	33.5	
Short Term Service								1.0	1.0	1.5	1.5 Outdoor (O-34, O-31)
Total Parking								29.5	20.0	35.0	

(b) The Town-adopted IDF curves are set forth in Appendix 5-1.

2. All surface drains shall be a minimum eight inch (8") drain grate.
3. Development in the Village Center for infill lots may propose the use of a master drainage plan when drainage as required by this section cannot be accommodate on-site, with floodwater attenuation provided off-site when practicable.

M. Drainage plans shall require the review and approval of Public Works.

N. The applicant shall propose specific clearing limits in the plans submitted for DRB review that incorporate laybacks that conform to the general easement requirements set forth in Chapter 3.

17.5.8 PARKING REGULATIONS

A. Required Number of Parking Spaces.

1. Parking spaces shall be provided on-site for development as set forth in Table 5-2.

Table 5-2, Required Parking Table

Zoning Designation	Required Number of Parking Spaces
Single-family	2 enclosed spaces in garage and 2 surface parking spaces
Condominium unit (Village Center)	1 space per unit
Condominium unit (Multi-family)	1.5 spaces per unit
Single-family common interest community	2 spaces per unit
Employee condo/apt. unit (Village Center)	1 space per unit
Employee condo/apt. unit (outside Village Center)	1.5 spaces per unit
Hotel unit	0.5 space per unit
Hotel efficiency unit	0.5 space per unit
Lodge unit	0.5 space per unit
Efficiency lodge unit	0.5 space per unit
Commercial space (low intensity commercial)	1 space per 1,000 sq. ft.
Commercial space (high intensity commercial)	1 space per 500 sq. ft.
Industrial	2 space per 1,000 sq. ft.

2. For single family, the review authority may allow for tandem spaces as the two (2) surface spaces for smaller lots less than 0.75 acre where non-tandem parking is not feasible due to unique site conditions such as steep slopes, wetlands and unique shaped lots, and may waive the two (2) surface spaces for smaller lots when tandem parking is not feasible.
3. All parking shall be located outside of the general easement setback unless an encroachment is approved by the DRB as provided for in Chapter 3.
4. No less than one (1) space, but no more than five (5) spaces shall be provided for homeowners association maintenance vehicles. Such spaces shall be retained by the homeowners association as a general common element and shall be available for services such as housekeeping, cleaning, deliveries, maintenance, repair and minor construction. The spaces shall be signed for service vehicle use.
5. For uses not listed, the parking requirements shall be determined by the review authority based upon the parking requirements of a land use that is similar to the proposed use,

Land Use: 221 Multifamily Housing (Mid-Rise)

Description

Mid-rise multifamily housing includes apartments, townhouses, and condominiums located within the same building with at least three other dwelling units and with between three and 10 levels (floors) of residence. Multifamily housing (low-rise) (Land Use 220), multifamily housing (high-rise) (Land Use 222), and affordable housing (Land Use 223) are related land uses.

Time of Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand on a weekday (one general urban/suburban study site), a Saturday (two general urban/suburban study sites), and a Sunday (one dense multi-use urban study site).

Hour Beginning	Percent of Peak Parking Demand		
	Weekday	Saturday	Sunday
12:00–4:00 a.m.	100	100	100
5:00 a.m.	94	99	–
6:00 a.m.	83	97	–
7:00 a.m.	71	95	–
8:00 a.m.	61	88	–
9:00 a.m.	55	83	–
10:00 a.m.	54	75	–
11:00 a.m.	53	71	–
12:00 p.m.	50	68	–
1:00 p.m.	49	66	33
2:00 p.m.	49	70	40
3:00 p.m.	50	69	27
4:00 p.m.	58	72	13
5:00 p.m.	64	74	33
6:00 p.m.	67	74	60
7:00 p.m.	70	73	67
8:00 p.m.	76	75	47
9:00 p.m.	83	78	53
10:00 p.m.	90	82	73
11:00 p.m.	93	88	93

Additional Data

In prior editions of *Parking Generation*, the mid-rise multifamily housing sites were further divided into rental and condominium categories. An investigation of parking demand data found no clear differences in parking demand between the rental and condominium sites within the ITE database. As more data are compiled for future editions, this land use classification can be reinvestigated.

The average parking supply ratios for the study sites with parking supply information are shown in the table below.

Setting	Proximity to Rail Transit	Parking Supply Ratio	
		Per Dwelling Unit	Per Bedroom
Center City Core	Within ½ mile of rail transit	1.1 (15 sites)	1.0 (12 sites)
Dense Multi-Use Urban	Within ½ mile of rail transit	1.2 (39 sites)	0.9 (34 sites)
	Not within ½ mile of rail transit	1.2 (65 sites)	0.8 (56 sites)
General Urban/ Suburban	Within ½ mile of rail transit	1.5 (25 sites)	0.8 (12 sites)
	Not within ½ mile of rail transit	1.7 (62 sites)	1.0 (39 sites)

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in California, Colorado, District of Columbia, Maryland, Massachusetts, New Jersey, New York, Oregon, Virginia, Washington, and Wisconsin.

It is expected that the number of bedrooms and number of residents are likely correlated to the parking demand generated by a residential site. Parking studies of multifamily housing should attempt to obtain information on occupancy rate and on the mix of residential unit sizes (i.e., number of units by number of bedrooms at the site complex). Future parking studies should also indicate the number of levels contained in the residential building.

Source Numbers

21, 209, 247, 255, 277, 401, 402, 419, 505, 512, 522, 533, 535, 536, 537, 538, 545, 546, 547, 575, 576, 577, 579, 580, 581, 583, 584, 585, 587

Multifamily Housing (Mid-Rise) (221)

Peak Period Parking Demand vs: Dwelling Units

On a: Weekday (Monday - Friday)

Setting/Location: General Urban/Suburban (no nearby rail transit)

Peak Period of Parking Demand: 10:00 p.m. - 5:00 a.m.

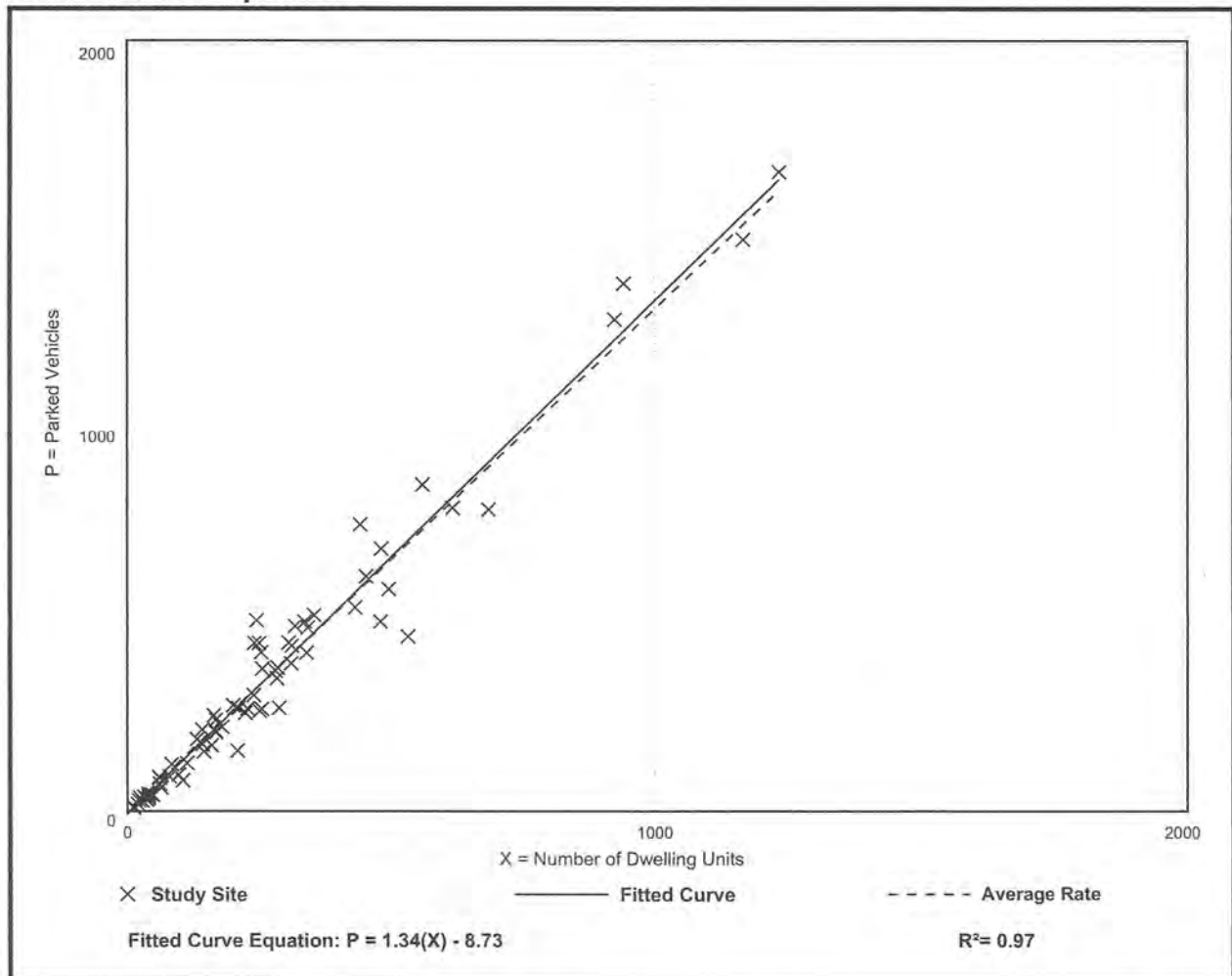
Number of Studies: 73

Avg. Num. of Dwelling Units: 261

Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.31	0.75 - 2.03	1.13 / 1.47	1.26 - 1.36	0.22 (17%)

Data Plot and Equation



Multifamily Housing (Mid-Rise) (221)

Peak Period Parking Demand vs: Dwelling Units

On a: Saturday

Setting/Location: General Urban/Suburban (no nearby rail transit)

Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.

Number of Studies: 3

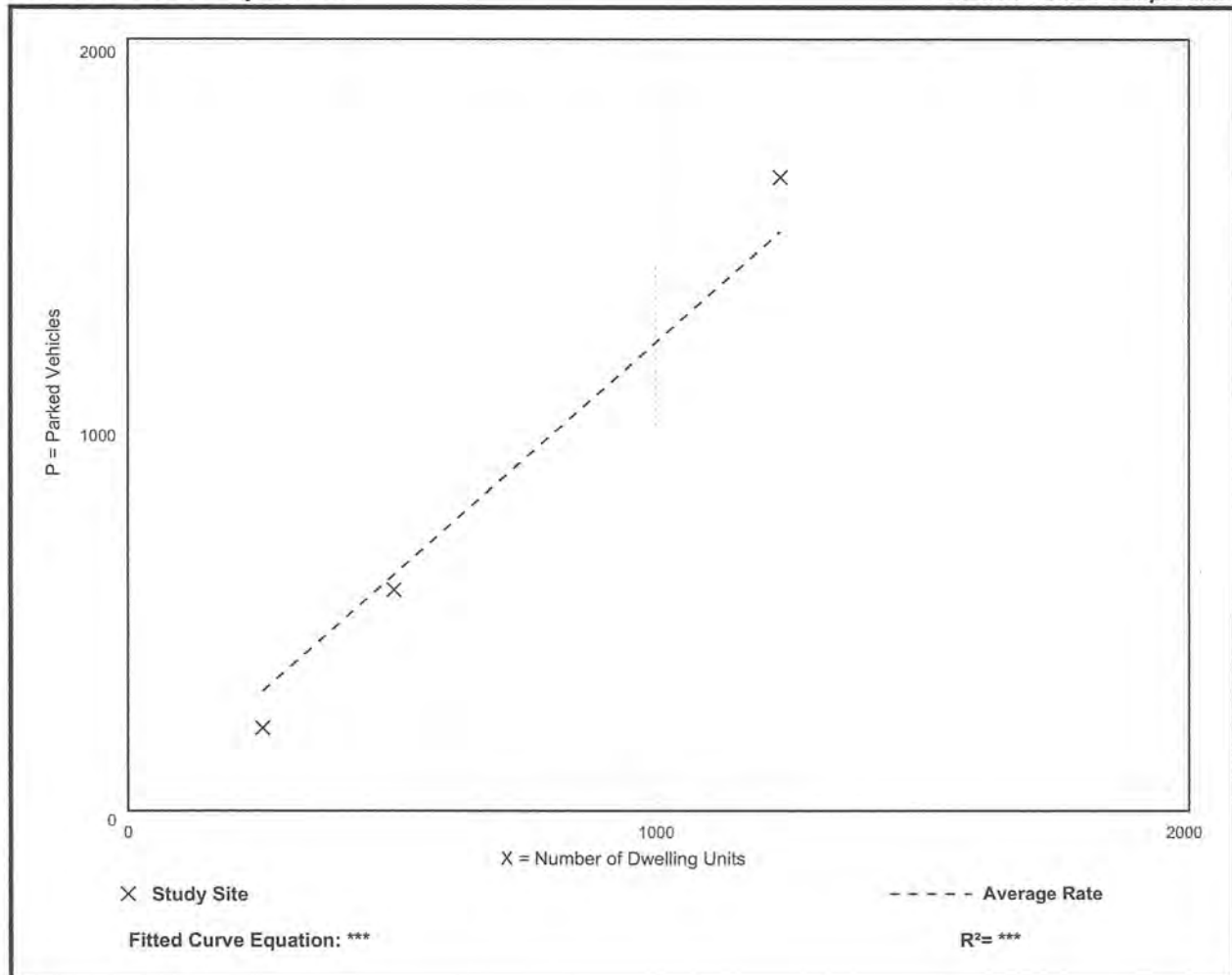
Avg. Num. of Dwelling Units: 665

Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.22	0.84 - 1.33	0.94 / 1.33	***	0.20 (16%)

Data Plot and Equation

Caution – Small Sample Size





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connecting and enhancing communities

January 27, 2015

MEMORANDUM

TO: Steve Cram, St. Shopia Partners LLLP
FROM: Todd Frisbie, PE, FHU; Colleen Guillotte, PE, FHU
SUBJECT: The Ridge Parking Analysis
FHU Reference No. 115027-01

Parking occupancy data was collected for four condominiums in Mountain Village, CO. The data was collected at peak parking times between 10 PM and 5 AM during the holiday season (between Christmas and New Years). It was anticipated that using both the holidays and collecting overnight counts would lead to the highest parking occupancy rates. **Table 1** provides the parking data collect at all locations.

Table 1. Parking Data

Development	Residential Units	Parking Spaces	Maximum Occupancy Observed	Occupied Spaces/Units
See Forever Vilage	27	43	27	1.00
Lorian	26	32	9	0.35
Lorian New	6	10	3	0.50
Westermere	14	11	9	0.64
Palmyra	20	17	10	0.50
Total	93	113	58	0.62

As shown, the maximum number of parking spaces occupied per residential unit varied between 0.35 and 1.00. The overall average occupancy rate for all the developments was 0.62 parking spots occupied per residential unit.

We hope this information is helpful. If you have any questions, then please feel free to call me or Colleen at 719-314-1800.

INSTITUTE OF TRANSPORTATION ENGINEERS COMMON TRIP GENERATION RATES (PM Peak Hour)

(Trip Generation Manual, 10th Edition)

Code	Description	Unit of Measure	Trips Per Unit	Setting/Location	
				General Urban/ Suburban	Dense Multi- Use Urban
PORT AND TERMINAL					
30	Intermodal Truck Terminal	1,000 SF GFA	1.72		
90	Park-and-Ride Lot with Bus Service	Parking Spaces	0.43		
INDUSTRIAL					
110	General Light Industrial	1,000 SF GFA	0.63		
130	Industrial Park	1,000 SF GFA	0.40		
140	Manufacturing	1,000 SF GFA	0.67		
150	Warehousing	1,000 SF GFA	0.19		
151	Mini-Warehouse	1,000 SF GFA	0.17		
154	High-Cube Transload & Short-Term Storage Warehouse	1,000 SF GFA	0.10		
155	High-Cube Fulfillment Center Warehouse	1,000 SF GFA	1.37		
156	High-Cube Parcel Hub Warehouse	1,000 SF GFA	0.64		
157	High-Cube Cold Storage Warehouse	1,000 SF GFA	0.12		
160	Data Center	1,000 SF GFA	0.09		
170	Utilities	1,000 SF GFA	2.27		
180	Specialty Trade Contractor	1,000 SF GFA	1.97		
RESIDENTIAL					
210	Single-Family Detached Housing	Dwelling Units	0.99		
220	Multifamily Housing (Low-Rise)	Dwelling Units	0.56		
221	Multifamily Housing (Mid-Rise)	Dwelling Units	→	0.44	0.18
222	Multifamily Housing (High-Rise)	Dwelling Units	→	0.36	0.19
231	Mid-Rise Residential with 1st-Floor Commercial	Dwelling Units	0.36		
232	High-Rise Residential with 1st-Floor Commercial	Dwelling Units	0.21		
240	Mobile Home Park	Dwelling Units	0.46		
251	Senior Adult Housing - Detached	Dwelling Units	0.30		
252	Senior Adult Housing - Attached	Dwelling Units	0.26		
253	Congregate Care Facility	Dwelling Units	0.18		
254	Assisted Living	1,000 SF GFA	0.48		
255	Continuing Care Retirement Community	Units	0.16		
260	Recreation Homes	Dwelling Units	0.28		
265	Timeshare	Dwelling Units	0.63		
270	Residential Planned Unit Development	Dwelling Units	0.69		
LODGING					
310	Hotel	Rooms	0.60		
311	All Suites Hotel	Rooms	→	0.36	0.17
312	Business Hotel	Rooms	0.32		
320	Motel	Rooms	0.38		
330	Resort Hotel	Rooms	0.41		
RECREATIONAL					
411	Public Park	Acres	0.11		
416	Campground / Recreation Vehicle Park	Acres	0.98		
420	Marina	Berths	0.21		
430	Golf Course	Acres	0.28		
431	Miniature Golf Course	Holes	0.33		

Code	Description	Unit of Measure	Trips Per Unit	Setting/Location	
				General Urban/ Suburban	Dense Multi- Use Urban
432	Golf Driving Range	Tees/Driving Positions	1.25		
433	Batting Cages	Cages	2.22		
434	Rock Climbing Gym	1,000 SF GFA	1.64		
435	Multi-Purpose Recreational Facility	1,000 SF GFA	3.58		
436	Trampoline Park	1,000 SF GFA	1.50		
437	Bowling Alley	1,000 SF GFA	1.16		
440	Adult Cabaret	1,000 SF GFA	2.93		
444	Movie Theater	1,000 SF GFA	6.17		
445	Multiplex Movie Theater	1,000 SF GFA	4.91		
452	Horse Racetrack	Seats	0.06		
454	Dog Racetrack	Attendees	0.15		
460	Arena	1,000 SF GFA	0.47		
462	Professional Baseball Stadium	Attendees	0.15		
465	Ice Skating Rink	1,000 SF GFA	1.33		
466	Snow Ski Area	Slopes	26.00		
473	Casino/Video Lottery Establishment	1,000 SF GFA	13.49		
480	Amusement Park	Acres	3.95		
482	Water Slide Park	Parking Spaces	0.28		
488	Soccer Complex	Fields	16.43		
490	Tennis Courts	Courts	4.21		
491	Racquet/Tennis Club	Courts	3.82		
492	Health/Fitness Club	1,000 SF GFA	3.45		
493	Athletic Club	1,000 SF GFA	6.29		
495	Recreational Community Center	1,000 SF GFA	2.31		
INSTITUTIONAL					
520	Elementary School	1,000 SF GFA	1.37		
522	Middle School / Junior High School	1,000 SF GFA	1.19		
530	High School	1,000 SF GFA	0.97		
534	Private School (K-8)	Students	0.26		
536	Private School (K-12)	Students	0.17		
537	Charter Elementary School	Students	0.14		
538	School District Office	1,000 SF GFA	2.04		
540	Junior / Community College	1,000 SF GFA	1.86		
550	University/College	1,000 SF GFA	1.17		
560	Church	1,000 SF GFA	0.49		
561	Synagogue	1,000 SF GFA	2.92		
562	Mosque	1,000 SF GFA	4.22		
565	Daycare Center	1,000 SF GFA	11.12		
566	Cemetery	Acres	0.46		
571	Prison	1,000 SF GFA	2.91		
575	Fire and Rescue Station	1,000 SF GFA	0.48		
580	Museum	1,000 SF GFA	0.18		
590	Library	1,000 SF GFA	8.16		

INSTITUTE OF TRANSPORTATION ENGINEERS COMMON TRIP GENERATION RATES (PM Peak Hour)

(Trip Generation Manual, 10th Edition)

Code	Description	Unit of Measure	Trips Per Unit	Setting/Location	
				General Urban/ Suburban	Dense Multi- Use Urban
MEDICAL					
610	Hospital	1,000 SF GFA	0.97		
620	Nursing Home	1,000 SF GFA	0.59		
630	Clinic	1,000 SF GFA	→	3.28	5.18
640	Animal Hospital / Veterinary Clinic	1,000 SF GFA	3.53		
650	Free-Standing Emergency Room	1,000 SF GFA	1.52		
OFFICE					
710	General Office Building	1,000 SF GFA	→	1.15	0.87
712	Small Office Building	1,000 SF GFA	2.45		
714	Corporate Headquarters Building	1,000 SF GFA	0.60		
715	Single Tenant Office Building	1,000 SF GFA	1.74*		
720	Medical-Dental Office Building	1,000 SF GFA	3.46		
730	Government Office Building	1,000 SF GFA	1.71		
731	State Motor Vehicles Department	1,000 SF GFA	5.20		
732	United States Post Office	1,000 SF GFA	11.21		
733	Government Office Complex	1,000 SF GFA	2.82		
750	Office Park	1,000 SF GFA	1.07		
760	Research and Development Center	1,000 SF GFA	0.49		
770	Business Park	1,000 SF GFA	0.42		
RETAIL					
810	Tractor Supply Store	1,000 SF GFA	1.40		
811	Construction Equipment Rental Store	1,000 SF GFA	0.99		
812	Building Materials and Lumber Store	1,000 SF GFA	2.06		
813	Free-Standing Discount Superstore	1,000 SF GFA	4.33		
814	Variety Store	1,000 SF GFA	6.84		
815	Free Standing Discount Store	1,000 SF GFA	4.83		
816	Hardware / Paint Store	1,000 SF GFA	2.68		
817	Nursery (Garden Center)	1,000 SF GFA	6.94		
818	Nursery (Wholesale)	1,000 SF GFA	5.18		
820	Shopping Center	1,000 SF GFA	3.81	3.81	4.92
823	Factory Outlet Center	1,000 SF GFA	2.29		
840	Automobile Sales (New)	1,000 SF GFA	2.43		
841	Automobile Sales (Used)	1,000 SF GFA	3.75		
842	Recreational Vehicle Sales	1,000 SF GFA	0.77		
843	Automobile Parts Sales	1,000 SF GFA	4.91		
848	Tire Store	1,000 SF GFA	3.98		
849	Tire Superstore	1,000 SF GFA	2.11		
850	Supermarket	1,000 SF GFA	9.24		
851	Convenience Market (Open 24 Hours)	1,000 SF GFA	49.11		
853	Convenience Market with Gasoline Pumps	1,000 SF GFA	49.29		
854	Discount Supermarket	1,000 SF GFA	8.38		
857	Discount Club	1,000 SF GFA	4.18		
860	Wholesale Market	1,000 SF GFA	1.76		
861	Sporting Goods Superstore	1,000 SF GFA	→	2.02	1.65
862	Home Improvement Superstore	1,000 SF GFA	→	2.33	3.35
863	Electronics Superstore	1,000 SF GFA	4.26		

Code	Description	Unit of Measure	Trips Per Unit	Setting/Location	
				General Urban/ Suburban	Dense Multi- Use Urban
864	Toy/Children's Superstore	1,000 SF GFA	5.00		
865	Baby Superstore	1,000 SF GFA	1.82		
866	Pet Supply Superstore	1,000 SF GFA	3.55		
867	Office Supply Superstore	1,000 SF GFA	2.77		
868	Book Superstore	1,000 SF GFA	15.83		
869	Discount Home Furnishing Superstore	1,000 SF GFA	1.57		
872	Bed and Linen Superstore	1,000 SF GFA	2.22		
875	Department Store	1,000 SF GFA	1.95		
876	Apparel Store	1,000 SF GFA	→	4.12	1.12
879	Arts and Craft Store	1,000 SF GFA	6.21		
880	Pharmacy / Drugstore without Drive-Through Window	1,000 SF GFA	8.51		
881	Pharmacy / Drugstore with Drive-Through Window	1,000 SF GFA	10.29		
882	Marijuana Dispensary	1,000 SF GFA	21.83		
890	Furniture Store	1,000 SF GFA	0.52		
897	Medical Equipment Store	1,000 SF GFA	1.24		
899	Liquor Store	1,000 SF GFA	16.37		
SERVICES					
911	Walk-In Bank	1,000 SF GFA	12.13		
912	Drive-In Bank	1,000 SF GFA	20.45		
918	Hair Salon	1,000 SF GFA	1.45		
920	Copy, Print, and Express Ship Store	1,000 SF GFA	7.42		
925	Drinking Place	1,000 SF GFA	11.36		
926	Food Cart Pod	Food Carts	3.08		
930	Fast Casual Restaurant	1,000 SF GFA	14.13		
931	Quality Restaurant	1,000 SF GFA	7.80		
932	High-Turnover (Sit-Down) Restaurant	1,000 SF GFA	→	9.77	9.80
933	Fast Food Restaurant without Drive-Through Window	1,000 SF GFA	28.34		
934	Fast Food Restaurant with Drive-Through Window	1,000 SF GFA	→	32.67	78.74
935	Fast Food Restaurant with Drive-Through Window and No Indoor Seating	1,000 SF GFA	42.65		
936	Coffee/Donut Shop without Drive-Through Window	1,000 SF GFA	36.31		
937	Coffee/Donut Shop with Drive-Through Window	1,000 SF GFA	→	43.38	83.19
938	Coffee/Donut Shop with Drive-Through Window and No Indoor Seating	1,000 SF GFA	83.33		
939	Bread / Donut / Bagel Shop without Drive-Through Window	1,000 SF GFA	28.00		
940	Bread / Donut / Bagel Shop with Drive-Through Window	1,000 SF GFA	19.02		
941	Quick Lubrication Vehicle Shop	1,000 SF GFA	8.70		
942	Automobile Care Center	1,000 SF GFA	3.11		
943	Automobile Parts and Service Center	1,000 SF GFA	2.26		
944	Gasoline / Service Station	1,000 SF GFA	109.27		
945	Gasoline / Service Station with Convenience Market	1,000 SF GFA	88.35		
947	Self Service Car Wash	Wash Stalls	5.54		
948	Automated Car Wash	1,000 SF GFA	14.20		
949	Car Wash and Detail Center	Wash Stalls	13.60		
950	Truck Stop	1,000 SF GFA	22.73		
960	Super Convenience Market/Gas Station	1,000 SF GFA	69.28		
970	Winery	1,000 SF GFA	7.31		

Note: All land uses in the 800 and 900 series are entitled to a "pass-by" trip reduction of 60% if less than 50,000 ft² or a reduction of 40% if equal to or greater than 50,000ft².

*From 9th edition, no PM peak hour in 10th

An area designated as **General Urban/Suburban** in the *Trip Generation Manual* is an area associated with almost homogeneous vehicle-centered access. Nearly all person trips that enter or exit a development site are by personal passenger or commercial vehicle.

The area can be fully developed (or nearly so) at low-medium density with a mix of residential and commercial uses. The commercial land uses are typically concentrated at intersections or spread along commercial corridors, often surrounded by low-density, almost entirely residential development. Most commercial buildings are located behind or surrounded by parking.

The mixing of land uses is only in terms of their proximity, not in terms of function. A retail land use may focus on serving a regional clientele or a services land use may target motorists or pass-by vehicle trips for its customers. Even if the land uses are complementary, a lack of pedestrian, bicycling, and transit facilities or services limit non-vehicle travel.

An area designated as **Dense Multi-Use Urban** in the *Trip Generation Manual* is a fully developed area (or nearly so), with diverse and complementary land uses, good pedestrian connectivity, and convenient and frequent transit. This area type can be a well-developed urban area outside a major metropolitan downtown or a moderate size urban area downtown.


The land use mix typically includes office, retail, residential, and often entertainment, hotel, and other commercial uses. The residential uses are typically multifamily or single-family on lots no larger than one-fourth acre. The commercial uses often have little or no setback from the sidewalk. Because the motor vehicle still represents the primary mode of travel to and from the area, there typically is on-street parking and often public off-street parking.

The complementary land uses provide the opportunity for short trips within the Dense Multi-Use Urban area, made conveniently by walking, biking, or transit. The area is served by significant transit (either rail or bus) that enables a high level of transit usage to and from area development.

MOUNTAIN VILLAGE - LOT 30

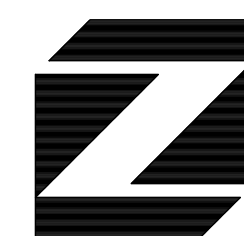
IN

MOUNTAIN VILLAGE, CO

	
20192733	
07/29/2021	
DR	3



DESIGN REVIEW
JULY 29TH, 2021



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ARCHITECTURE - PLANNING - INTERIORS
LANDSCAPE ARCHITECTURE

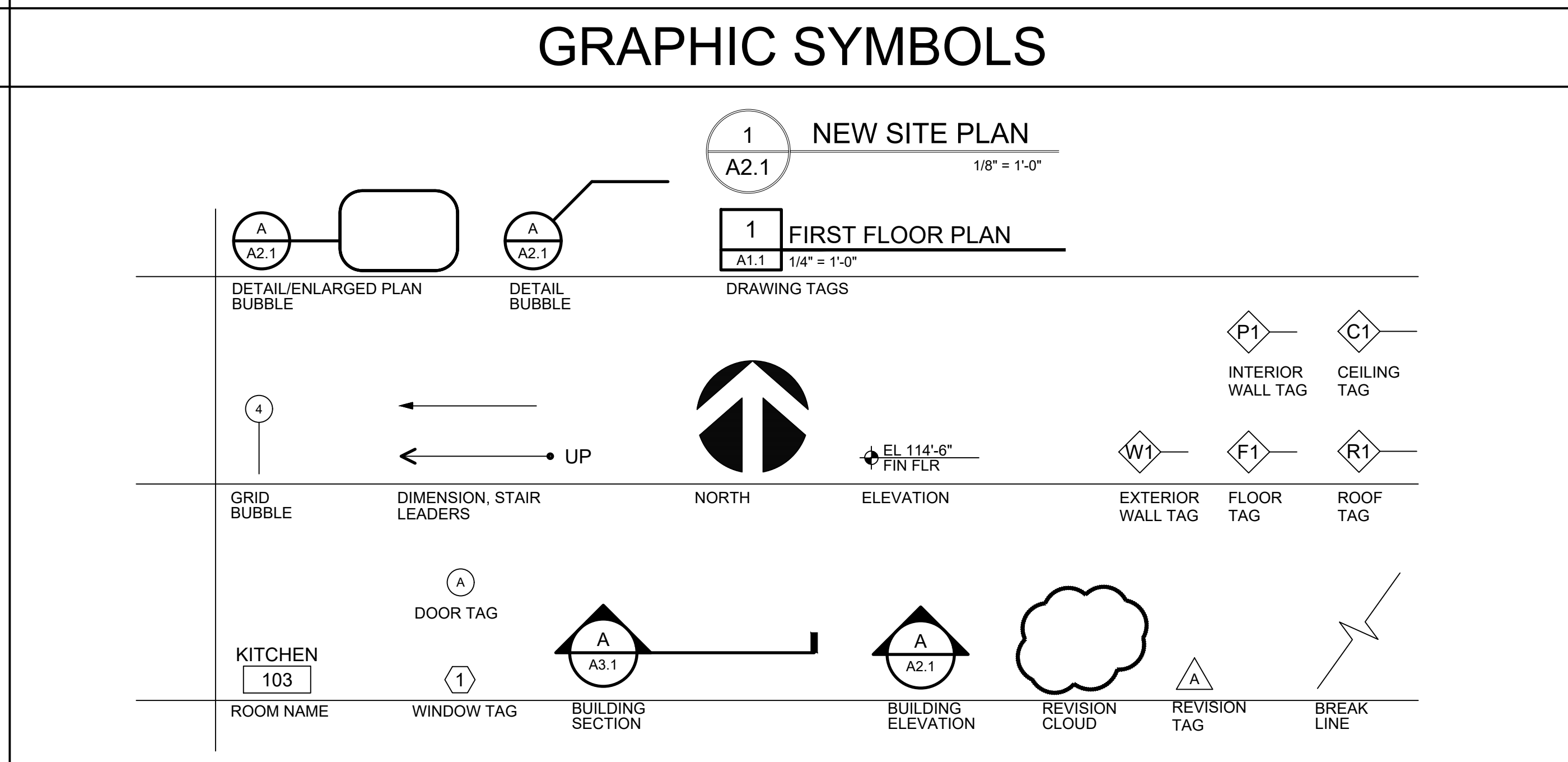
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P.O. Box 1976 - Avon, Colorado 81620
(970) 949-0257 FAX (970) 949-1080

PROJECT DIRECTORY			
PROPERTY OWNER	AVVENTURA, LLC Contacts: Louis Alaia 95 Aspen Ridge Drive #7 Mountain Village, CO 81435 Email: lcalaiamd@gmail.com	STRUCTURAL ENGINEER	TBD
ARCHITECT	ZEHREN & ASSOCIATES, INC. Contacts: Tim Losa P.O. Box 1976 Avon, CO 81620 Voice: (970) 949-0257 Fax: (970) 949-1080 Email: TimL@zehren.com	CIVIL ENGINEER	ALPINE LAND CONSULTING, LLC Contacts: Greg P.O. Box 234 Rico, CO 81332 Voice: (970) 708-0326 Email: Gregg@AlpineLandConsulting.com
GENERAL CONTRACTOR	FINBRO CONSTRUCTION, LLC Contacts: Werner Catsman Voice: (970) 519-1379 Email: Werner@catsman.com	MECHANICAL/ELECTRICAL ENGINEER	AEC, INC. Contacts: Charles Langston, P.E. P.O. Box 8489 Avon, CO 81620 Voice: (970) 748-8520
		INTERIORS	TBD

INDEX OF DRAWINGS			
<u>GENERAL</u>		<u>ARCHITECTURAL</u>	
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A0.1	PROJECT INFORMATION SHEET	A1.2	LEVEL 01 FLOOR PLAN (+9524.0)
<u>GRAPHIC PLANS</u>		A1.3	LEVEL 02 FLOOR PLAN (+9535.0)
LP1.1	LOCATION PLAN	A1.4	LEVEL 03 FLOOR PLAN (+9546.0)
ASP1.01	SITE PLAN	A1.5	LEVEL 04 FLOOR PLAN (+9557.0)
R1.1	PROPOSED EXTERIOR MATERIALS	A1.6	LEVEL 05 FLOOR PLAN (+9568.0)
R1.2	EXTERIOR MATERIALS PERCENTAGES	A1.7	ROOF PLAN
R1.3	RENDERED EXTERIOR ELEVATIONS	A1.8	OVERLAY ROOF PLAN
R1.4	RENDERED EXTERIOR ELEVATIONS	A2.1	EXTERIOR ELEVATIONS
R1.5	RENDERED EXTERIOR ELEVATIONS	A2.2	EXTERIOR ELEVATIONS
R2.1	VILLAGE CONTEXT	A2.3	EXTERIOR ELEVATIONS
R2.2	VILLAGE CONTEXT	A5.60	DOOR DETAILS
R2.3	VILLAGE CONTEXT	A5.62	DOOR SCHEDULE
R3.1	STREET VIEW	A5.63	DOOR SCHEDULE
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		A5.73	WINDOW SCHEDULE
<u>CIVIL</u>		CMP1.0	CONST MANAGEMENT PLAN
1 OF 1	TOPOGRAPHIC SURVEY	<u>ELECTRICAL</u>	
1 OF 3	DRB GRADING PLAN	E1.0	LEGEND, SPECS, DETAILS & ONE-LINE
2 OF 3	DRB DRAINAGE PLAN	E2.0	SITE LIGHTING & PLAN
3 OF 3	DRB UTILITY PLAN	<u>CUT SHEETS</u>	
<u>LANDSCAPE</u>		LITHONIA LIGHTING CUT SHEETS	
L1.0	LANDSCAPE PLAN	WAC LIGHTING CUT SHEET	

- ### GENERAL NOTES
- DO NOT SCALE DRAWINGS.
 - DIMENSIONS ARE TO FACE OF STUD, CENTERLINE OF GRID, AND FACE OF CONCRETE, UNLESS NOTED OTHERWISE.
 - ALL ANGLES ON PLANS ARE 90 DEGREES OR 45 DEGREES, UNLESS NOTED OTHERWISE.
 - NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS IN DOCUMENTS PRIOR TO DEMOLITION, CONSTRUCTION, OR ALTERATION OF EXISTING OR NEW STRUCTURES.
 - PROVIDE ALL NECESSARY BLOCKING IN WOOD & METAL STUD WALLS AND CEILINGS. LOCATIONS INCLUDE BUT ARE NOT LIMITED TO TOILETS, BATH ACCESSORIES, CEILING AND WALL MOUNTED ELECTRICAL FIXTURES, SHELVES, CLOSET RODS, CABINETRY, COUNTERTOPS, AND FALSE BEAMS.

CODES



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ELECTRICAL

CIVIL

STRUCTURAL

SEAL

MOUNTAIN VILLAGE

LOT 30

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E	07/29/2021	FINAL DESIGN REVIEW

PROJECT No. 192733.00	DATE 03/23/2021
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SHEET No.

SCALE:



TRAMONTANA



INN AT LOST CREEK



BLUE MESA



BELVEDERE



ASPEN RIDGE



GRANITA



LUMIERE



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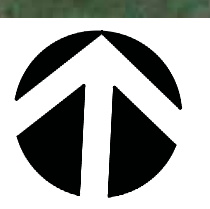
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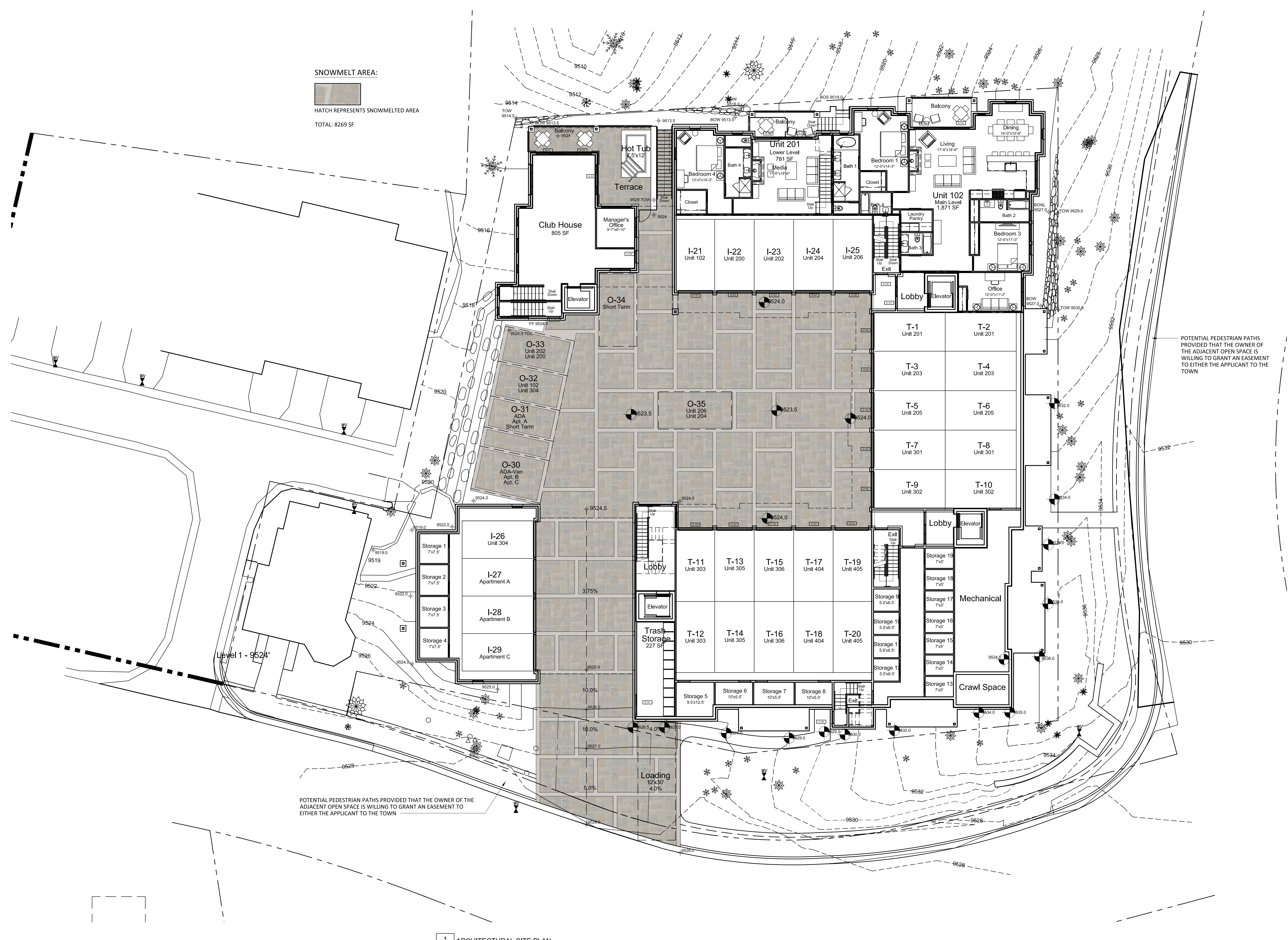
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LOCATION PLAN

PROJECT No.	DATE
192733.00	03/23/2021
DRAWN BY	CHK BY TRV BY

SHEET No.
LP1.1
 SCALE:





SNOWMELT AREA:
 HATCH REPRESENTS SNOWMELTED AREA
 TOTAL: 8269 SF

POTENTIAL PEDESTRIAN PATHS PROVIDED THAT THE OWNER OF THE ADJACENT OPEN SPACE IS WILLING TO GRANT AN EASEMENT TO EITHER THE APPLICANT TO THE TOWN

POTENTIAL PEDESTRIAN PATHS PROVIDED THAT THE OWNER OF THE ADJACENT OPEN SPACE IS WILLING TO GRANT AN EASEMENT TO EITHER THE APPLICANT TO THE TOWN

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SITE PLAN

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY TL	CHK BY TL
TRV BY	

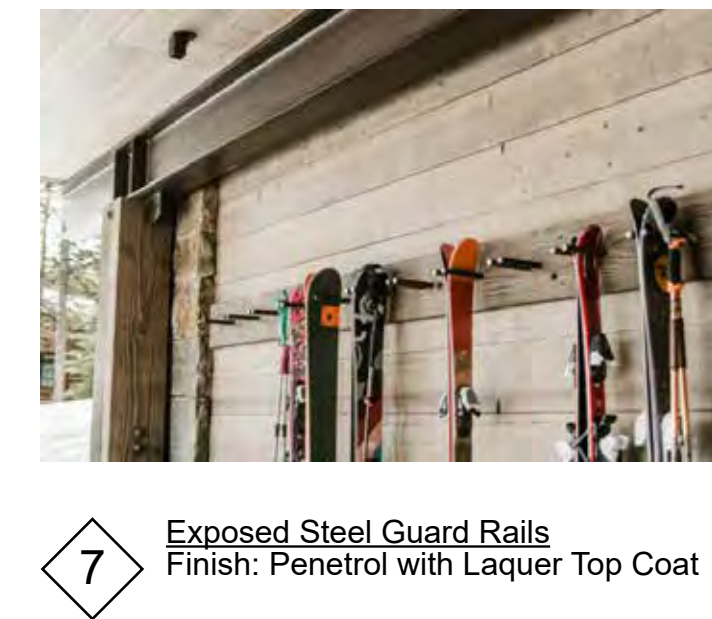
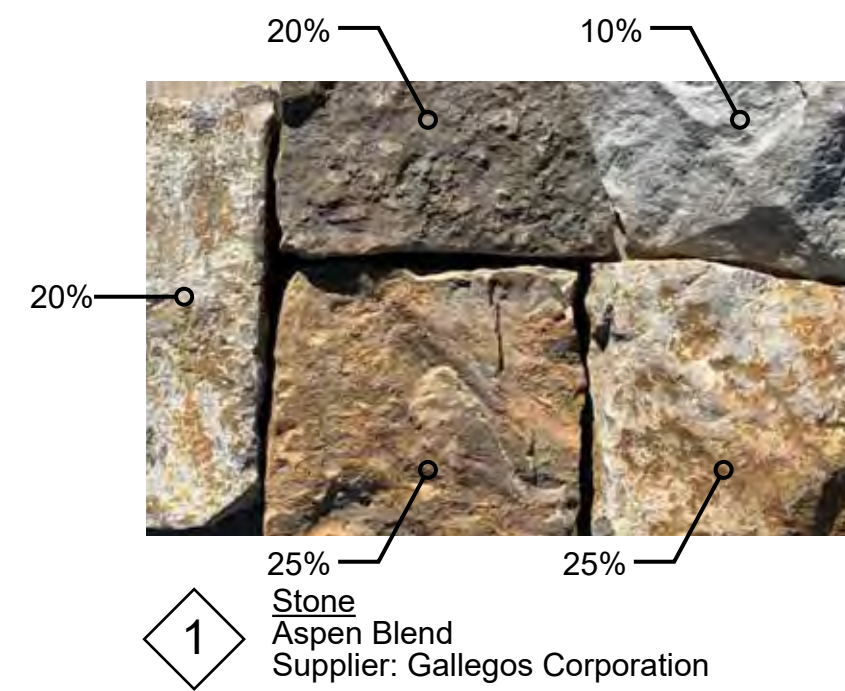
SHEET No.
ASP1.01
 SCALE: AS SHOWN

1 ARCHITECTURAL SITE PLAN
 ASP1.01 3/23/21 1/4"

Z:\2019\192733\IV. Current Documents\01. Drawings\01. Current Architecture\2733 SP.dwg, 7/26/2021 2:47:30 PM, Adobe PDF



1 ELEVATION - A (EAST)
A2.1 1/8"=1'-0"



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PROPOSED EXTERIOR MATERIALS

PROJECT No. 192733.00	DATE 03/23/2021
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SHEET No.
R1.1
SCALE:



STONE
35.25%



STUCCO
23.75%



WOOD SIDING
26.75%



GLASS
10.25%



STEEL
4.00%

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EXTERIOR MATERIALS PERCENTAGES

PROJECT No. 192733.00	DATE 03/23/2021
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SHEET No.
R1.2
SCALE:



ELEVATION - B (NORTH)
1/8"=1'-0"



ELEVATION - A (EAST)
1/8"=1'-0"

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**RENDERED
EXTERIOR
ELEVATIONS**

PROJECT No. 192733.00	DATE 03/23/2021
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SHEET No.
R1.3
SCALE:



ELEVATION - H (SOUTH)
1/8"=1'-0"



ELEVATION - G (INTERIOR COURT SOUTH)
1/8"=1'-0"

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**RENDERED
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 ELEVATIONS**


PROJECT No. 192733.00	DATE 03/23/2021
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SHEET No.
R1.4
 SCALE:



ELEVATION - F (INTERIOR COURTYARD NORTH)

1/8"=1'-0"



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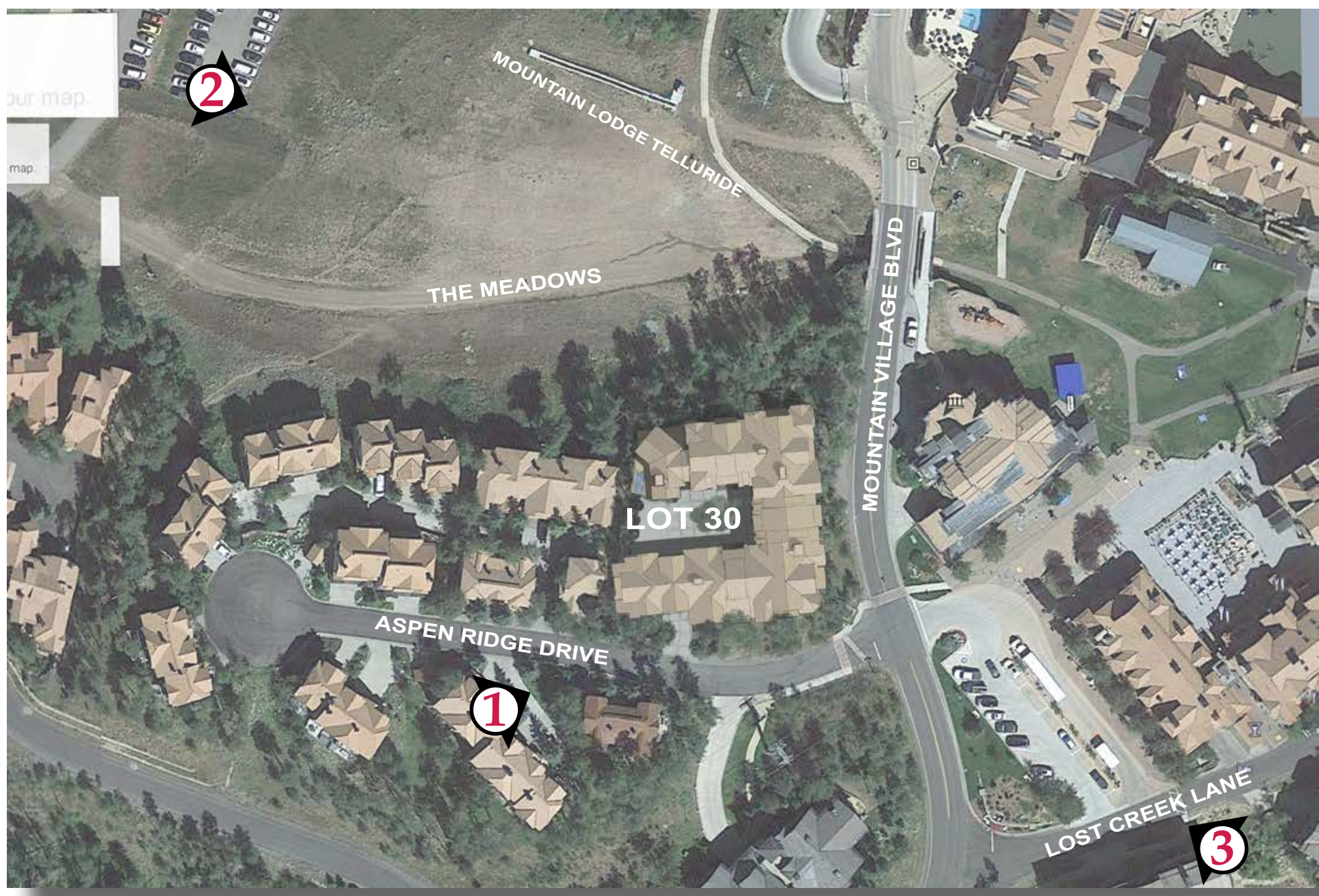
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**RENDERED
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ELEVATIONS**

PROJECT No. 192733.00	DATE 03/23/2021
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SHEET No.
R1.5
SCALE:



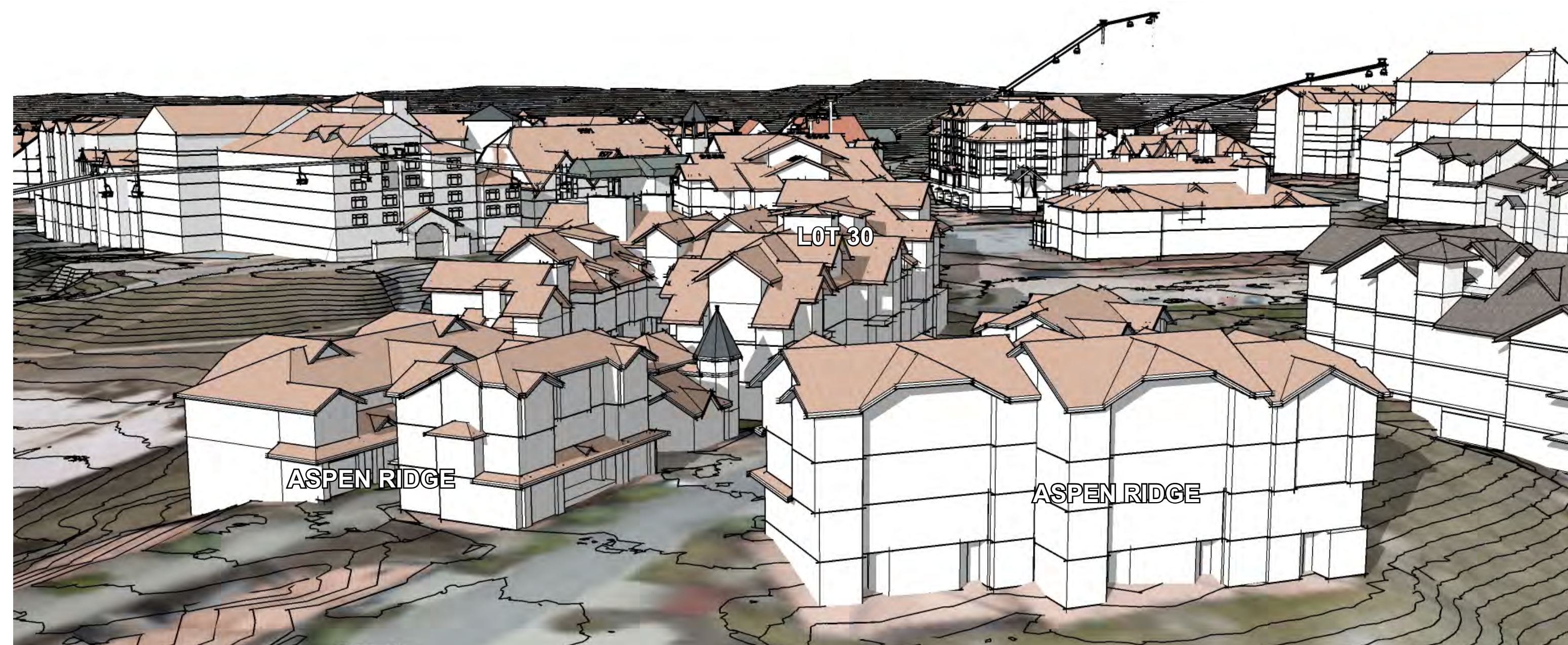
1 Northwest- Aspen Ridge Drive



3 Northwest Aerial - Lost Creek Lane



2 Southeast Aerial - The Meadows



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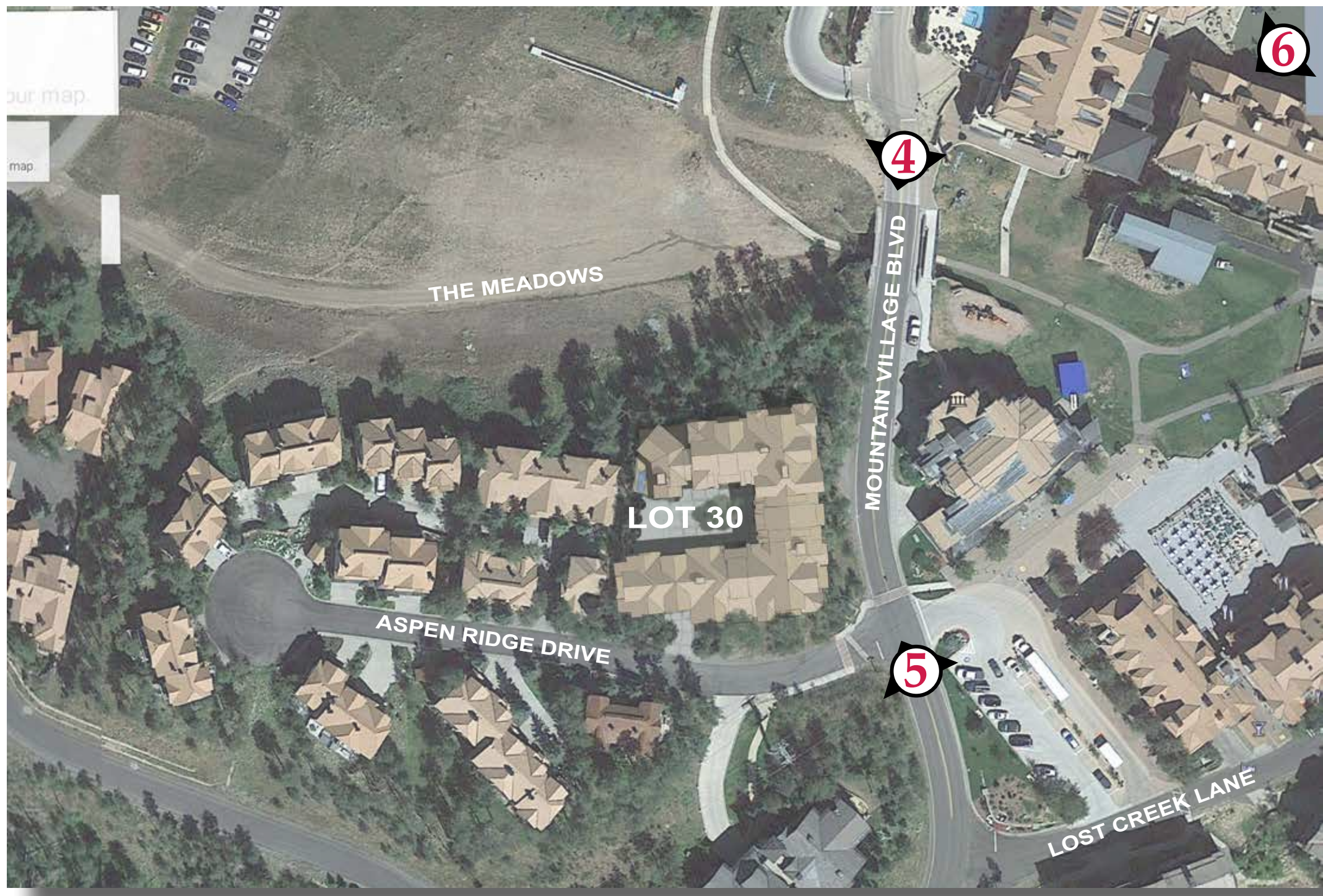
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VILLAGE CONTEXT

PROJECT No.	DATE
192733.00	03/23/2021
DRAWN BY	CHK BY TRV BY

SHEET No.
R2.1
 SCALE:



5 North - Mountain Village Boulevard



6 Southwest Aerial - Madeline



4 South - Mountain Village Boulevard

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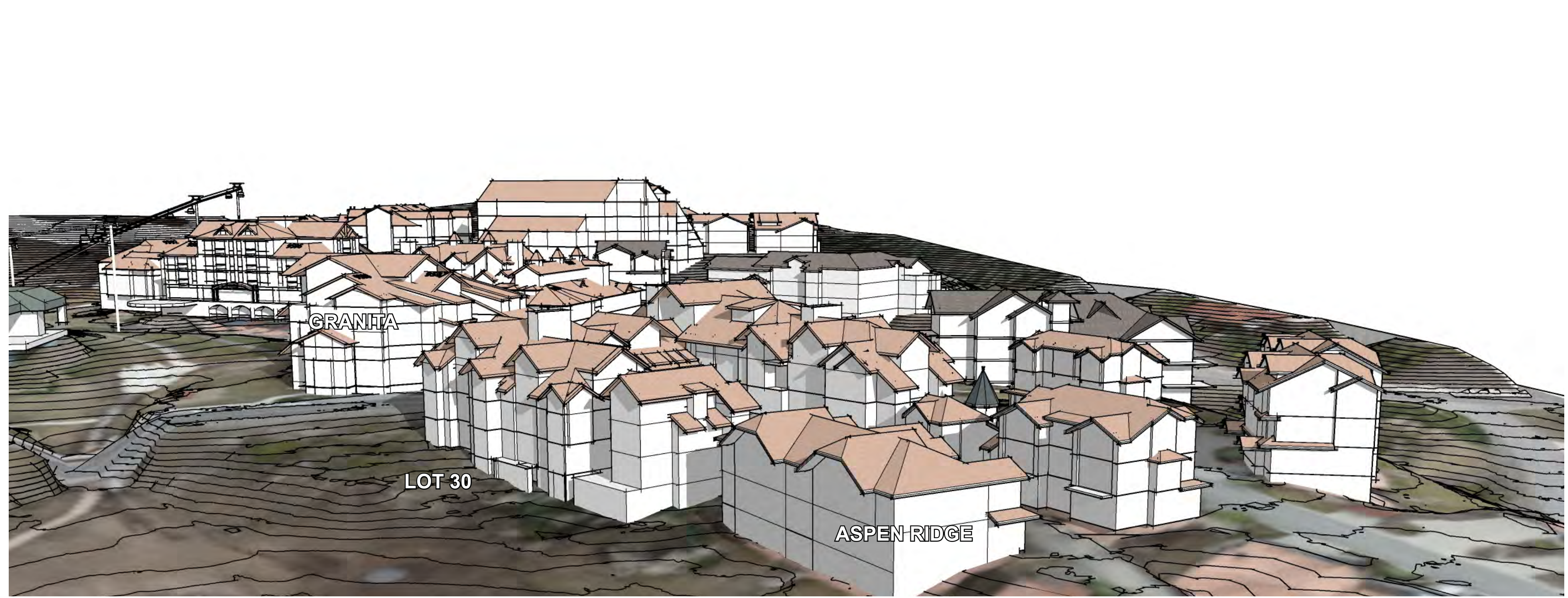
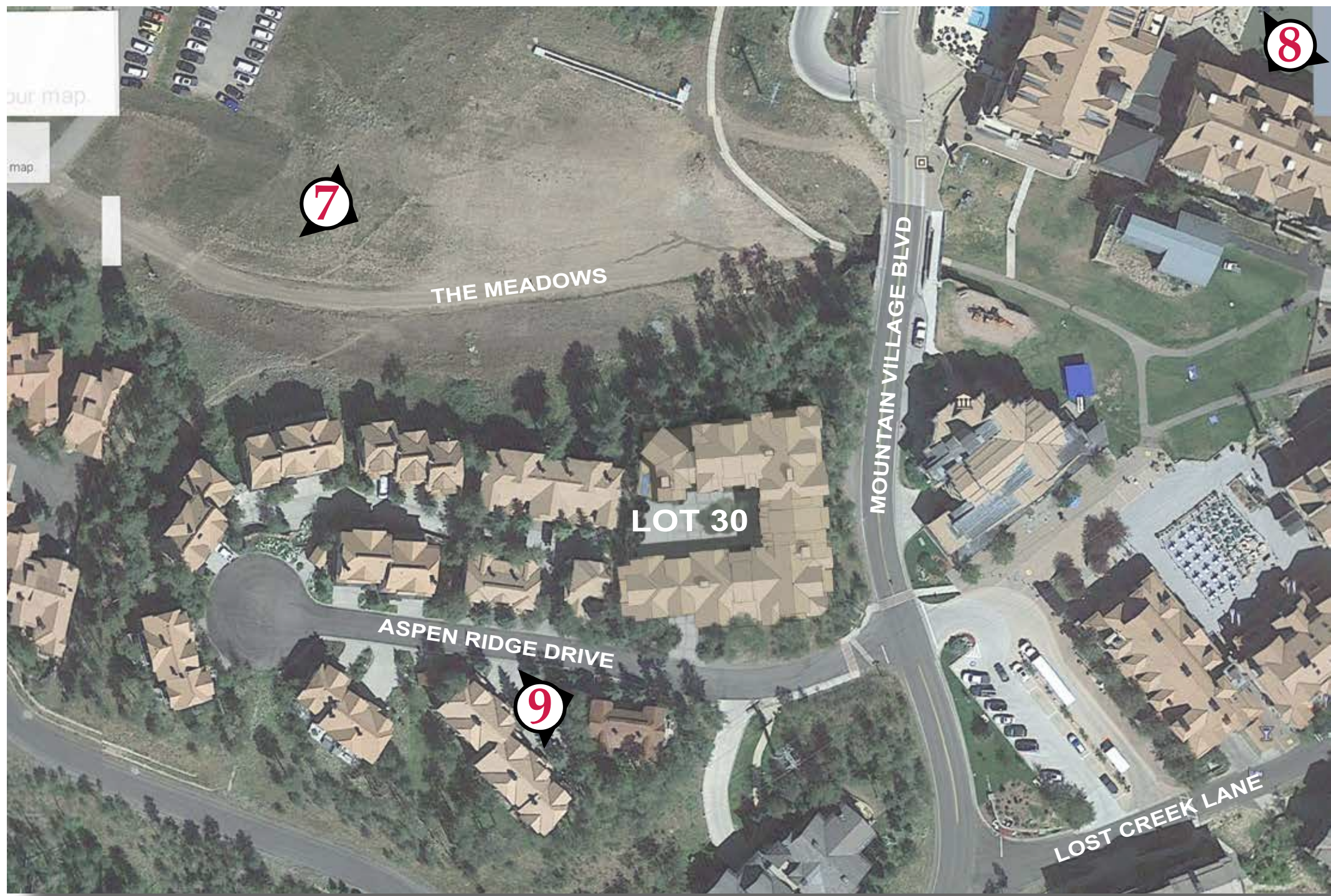
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VILLAGE CONTEXT

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY	CHK BY TRV BY

SHEET No.
R2.2
 SCALE:



7 Southeast - The Meadows



8 Southwest Aerial - Madeline



9 Northeast Aerial - Aspen Ridge Drive

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VILLAGE CONTEXT

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY	CHK BY TRV BY

SHEET No.
R2.3
 SCALE:



④ South - Mountain Village Boulevard



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A	03/23/2021	DESIGN REVIEW
B	03/30/2021	CONCEPT BUDGETING
C	04/28/2021	DESIGN REVIEW - 1
D	07/01/2021	DESIGN REVIEW - 2

STREET VIEW

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY	CHK BY TRV BY

SHEET No.
R3.1
 SCALE:



⑤ North - Mountain Village Boulevard

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 (970) 949-0257 FAX (970) 949-1080

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SEAL

MOUNTAIN VILLAGE
LOT 30
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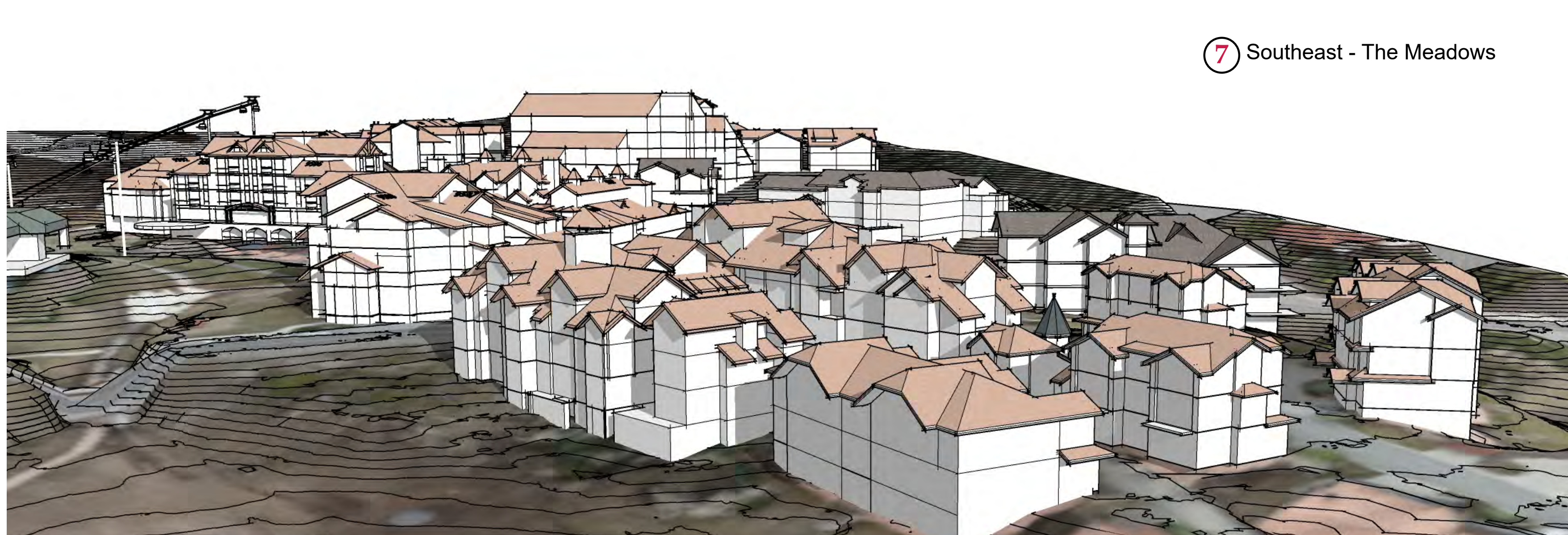
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B	03/30/2021	CONCEPT BUDGETING
C	04/28/2021	DESIGN REVIEW - 1
D	07/01/2021	DESIGN REVIEW - 2

STREET VIEW

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY	CHK BY TRV BY

SHEET No.
R3.2
 SCALE:



7 Southeast - The Meadows



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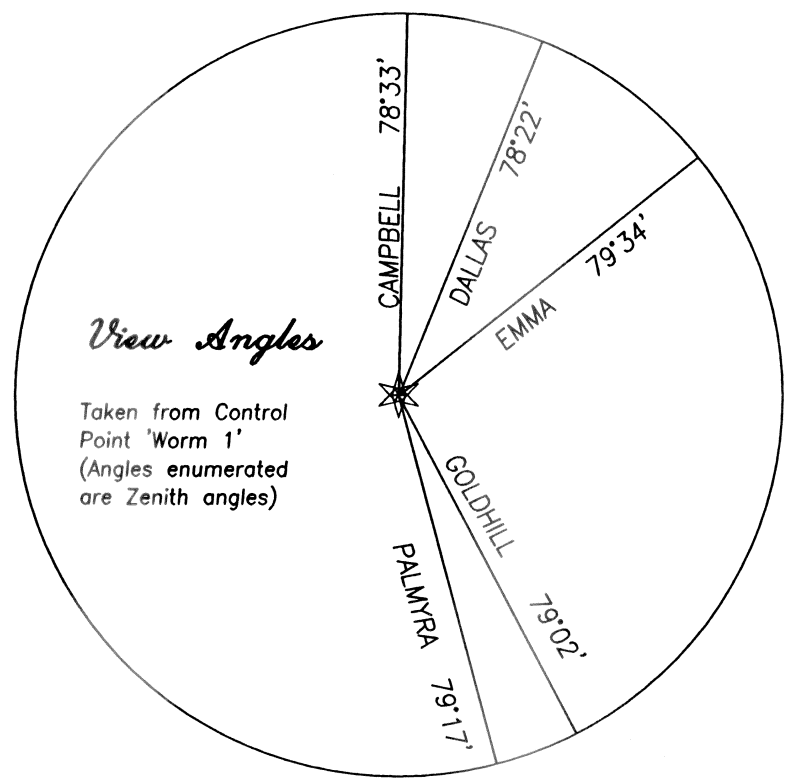
STREET VIEW

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY	CHK BY TRV BY

SHEET No.

R3.3

SCALE:



This Topographic survey of a portion of Lot 30, Mountain Village, Filing No. 1 was field surveyed in June of 2008 under the direct responsibility, supervision and checking of Joshua J. Casselberry, of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO.37903

Date

NOTES

1. This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.
2. Benchmark: Control Point "WORM-1", an 8" spike set flush to the natural ground, as shown hereon, having an elevation of 9528.04 feet.

LOT 10

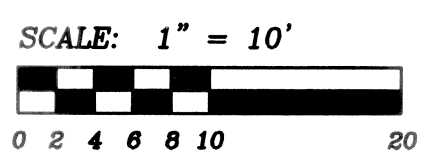
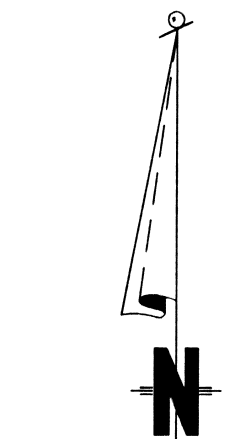
LOT 11

LOT 30

MOUNTAIN VILLAGE BOULEVARD

Legend

- ASPEN 2" TO 6"
- ASPEN 8" TO 12"
- ASPEN 14" TO 18"
- FIR 3" TO 6"
- FIR 8" TO 12"
- FIR 14" TO 20"
- SPRUCE 3" TO 6"
- SPRUCE 8" TO 12"
- SPRUCE 14" TO 20"
- WATER VALVE



TOPOGRAPHIC SURVEY
LOT 30, FILING 1, MOUNTAIN VILLAGE

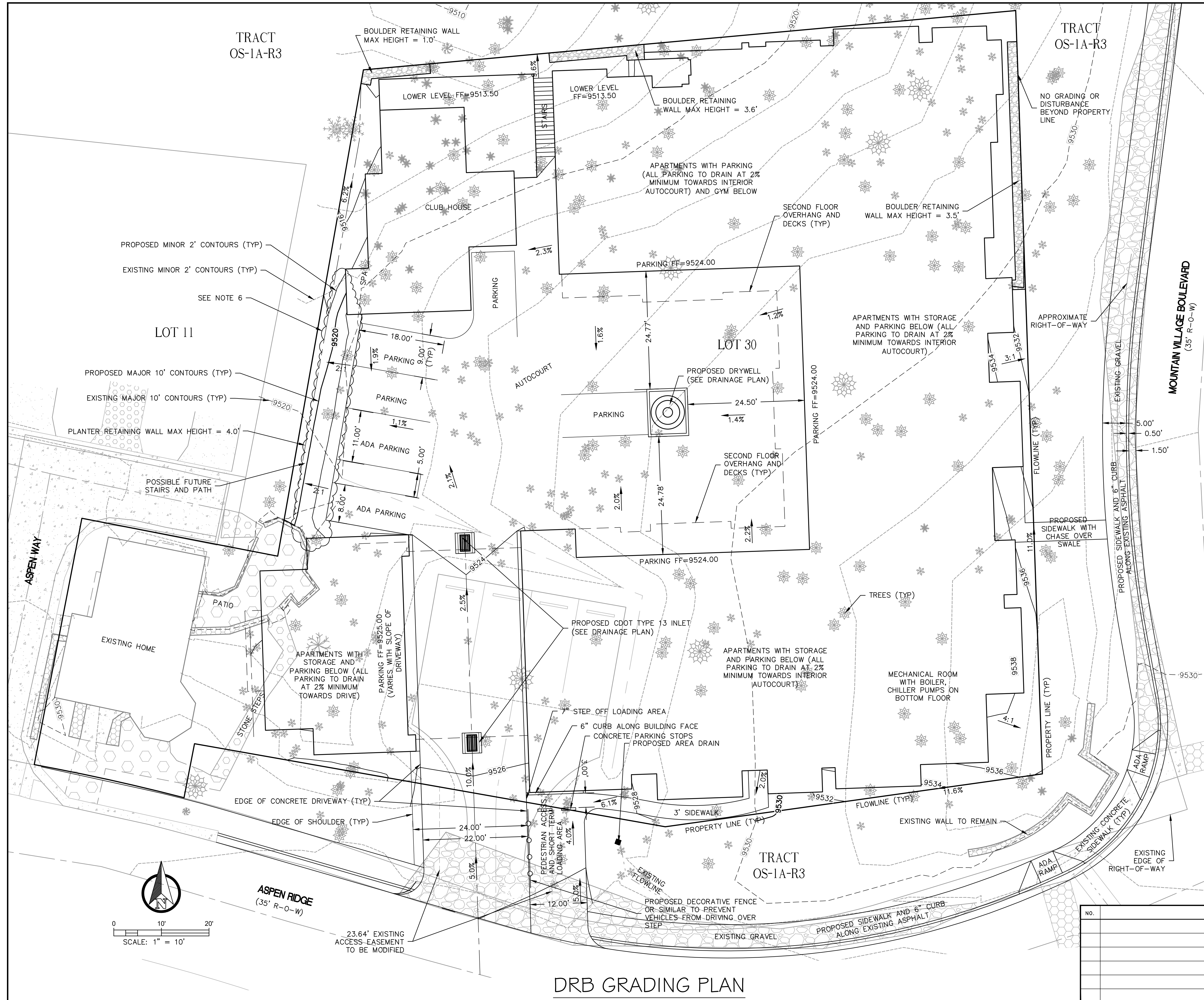
Project Mgr:	Rev.	description	date	by
JC				
Technician:	SS			
Checked by:				
Start date:	6/4/08			



970-728-6153 970-728-6050 fax
P.O. BOX 1385
125 W. PACIFIC, SUITE B-1
TELLURIDE, COLORADO 81435

Drawing path: W:\JOBS\96004\TOPO-TREES-05-08

Sheet 1 of 1 Project #: 96004

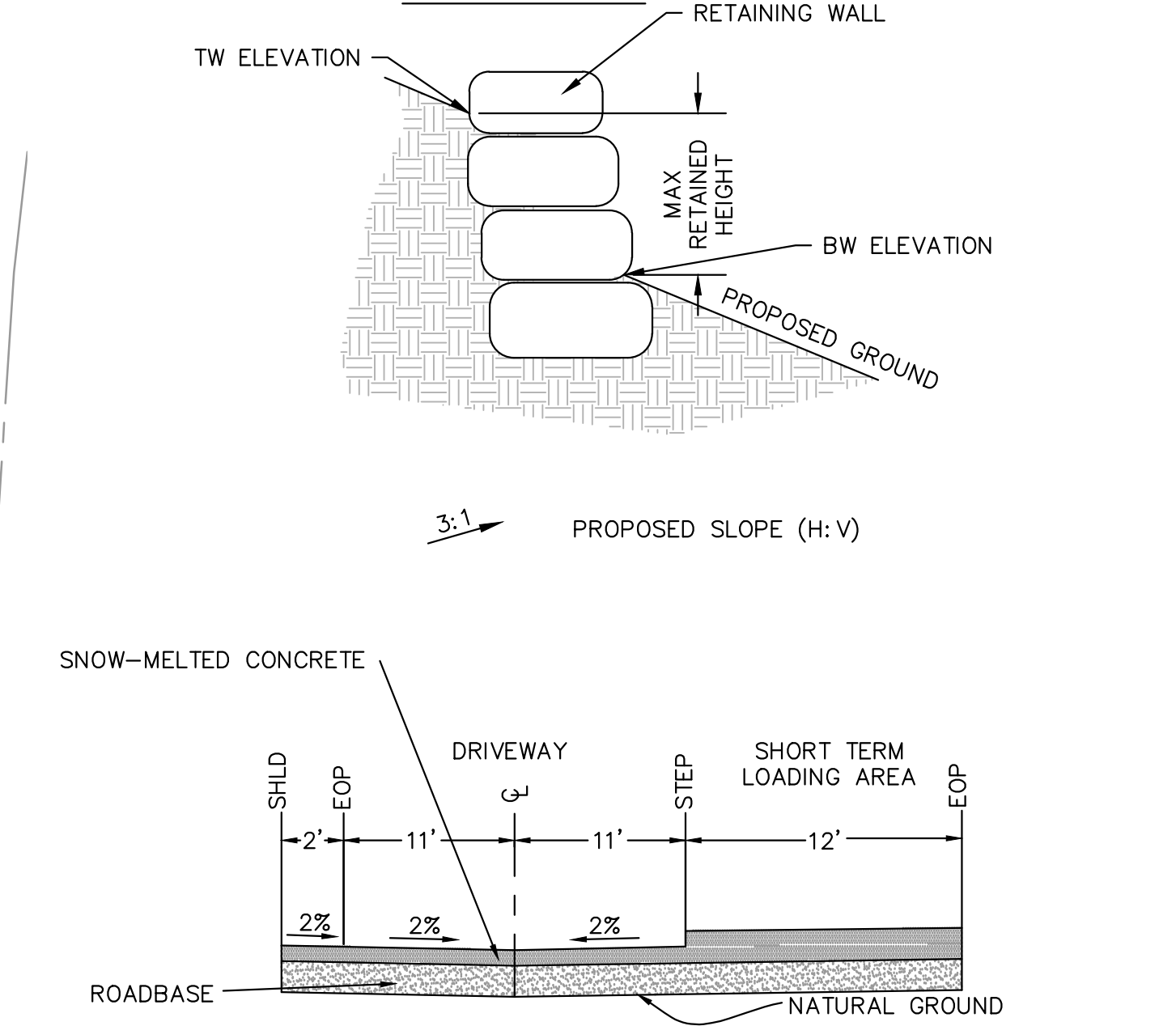


DRB GRADING PLAN

NOTES

1. THIS IS A PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION.
2. EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY FOLEY ASSOCIATES INC AND WAS COMBINED WITH THE PARKING LOT DESIGN THAT WAS CONSTRUCTED IN 2019.
3. MAXIMUM SLOPE GRADING TO BE 2.5(H):1(V).
4. ACCESS EASEMENT TO BE RELOCATED TO INCORPORATE THE DRIVEWAY EXTENTS.
5. RETAINING WALL HEIGHTS DO NOT INCLUDE CAP OR FOUNDATION.
6. SLOPES TO BE MECHANICALLY STABILIZED WITH BOULDERS AND GEOTEXTILE WITH SEED MAT OR SIMILAR. CONFIRM WITH GEOTECHNICAL ENGINEER, LANDSCAPE AND ARCHITECTURAL DRB PLANS BEFORE PREPARING CONSTRUCTION PLANS.

LEGEND



TYPICAL DRIVEWAY CONCRETE SECTION WITH SNOWMELT
NTS

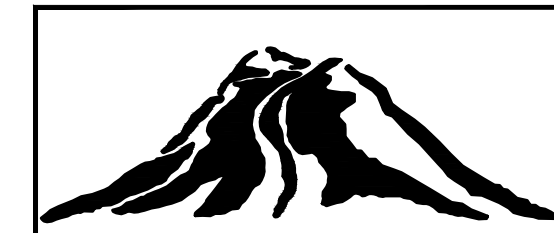
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GREGORY E. ANDERSON
COLORADO PROFESSIONAL ENGINEER
REGISTRATION NO. 35736



ALPINE LAND CONSULTING, LLC
P.O. BOX 234
RICO, COLORADO 81332
970-708-0326
GREG@ALPINELANDCONSULTING.COM

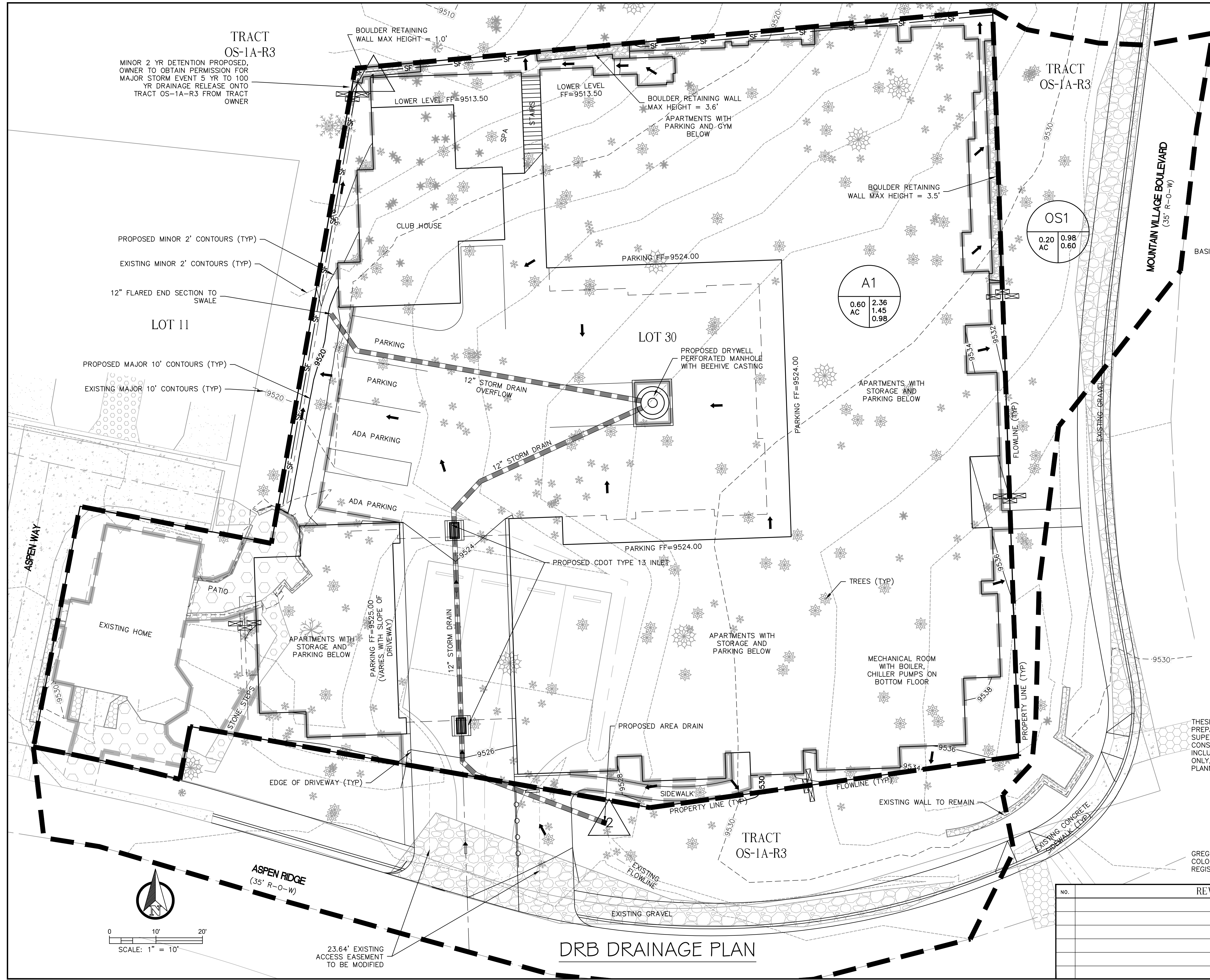
LOT 30 TOWN OF MOUNTAIN VILLAGE
DRB GRADING PLAN

CLIENT:
AVENTURA LLC
LOUIS ALAIA
18990 SANTA CLARA CIR
FOUNDATION VALLEY, CA 92708

DATE: JULY 22, 2021
PROJECT #: 2019009
PROJECT MANAGER: GEA
DRAWN BY: GEA/ADM

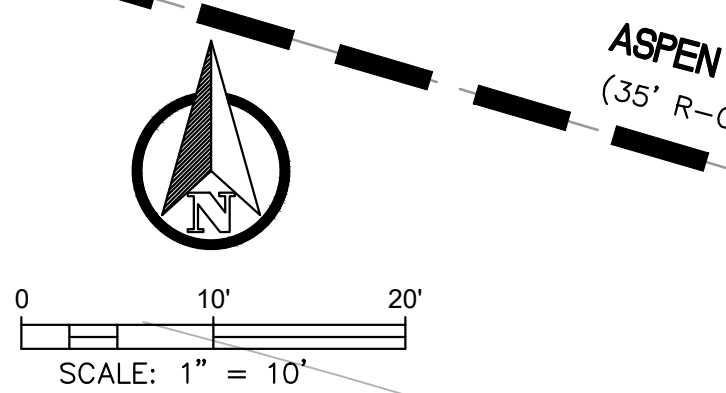
SHEET #:
1 OF 3

NO.	REVISIONS	DATE



TRACT OS-1A-R3
 MINOR 2 YR DETENTION PROPOSED, OWNER TO OBTAIN PERMISSION FOR MAJOR STORM EVENT 5 YR TO 100 YR DRAINAGE RELEASE ONTO TRACT OS-1A-R3 FROM TRACT OWNER

PROPOSED MINOR 2' CONTOURS (TYP)
 EXISTING MINOR 2' CONTOURS (TYP)
 12" FLARED END SECTION TO SWALE
 LOT 11
 PROPOSED MAJOR 10' CONTOURS (TYP)
 EXISTING MAJOR 10' CONTOURS (TYP)



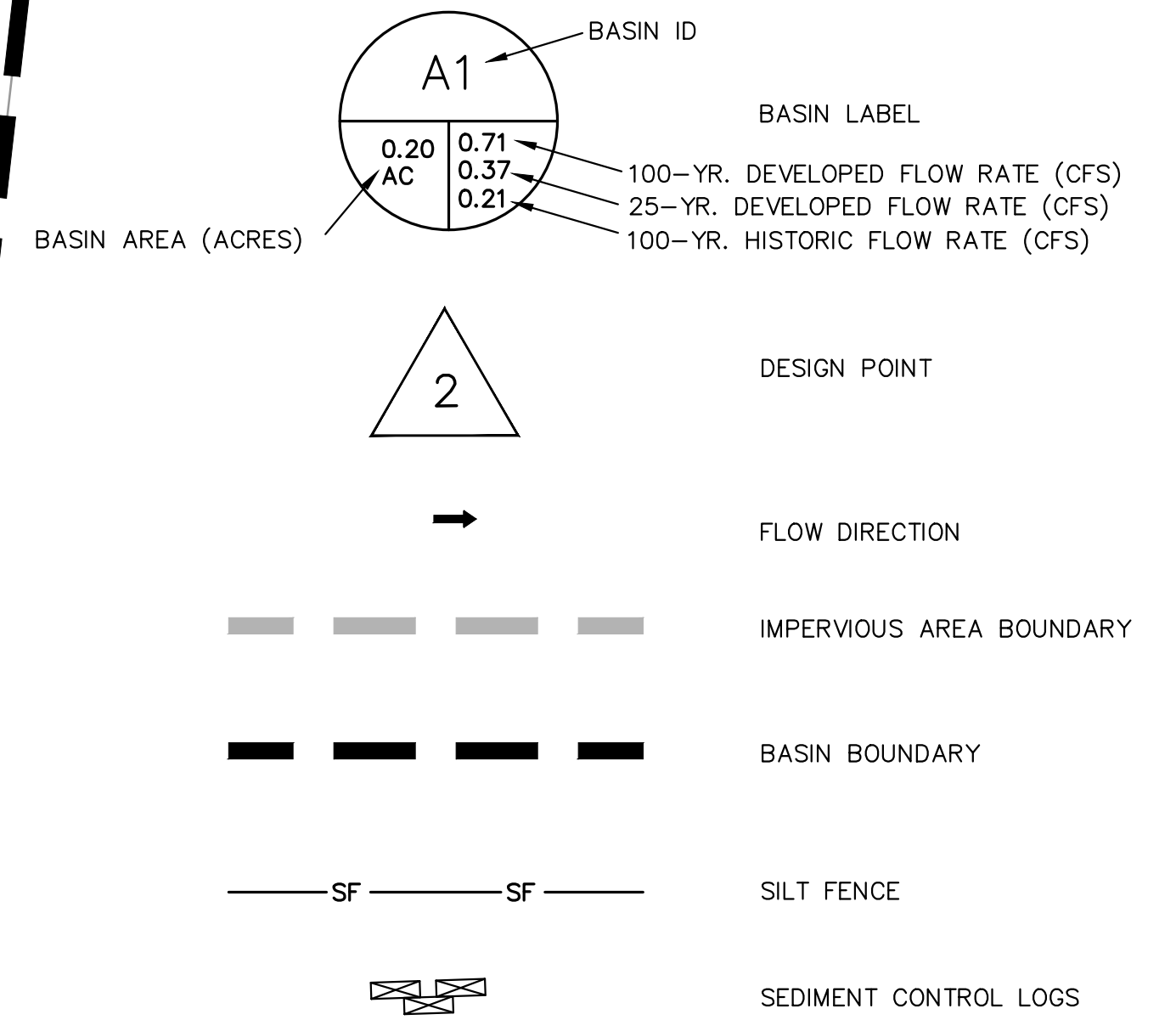
23.64' EXISTING ACCESS EASEMENT TO BE MODIFIED

DRB DRAINAGE PLAN

NOTES

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2. ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY FOLEY ASSOCIATES INC.
3. MAXIMUM SLOPE GRADING TO BE 2.5(H):1(V).
4. RETAINING WALL MAX HEIGHTS DO NOT INCLUDE FOUNDATION OR CAPS (SEE SHEET 1 LEGEND).

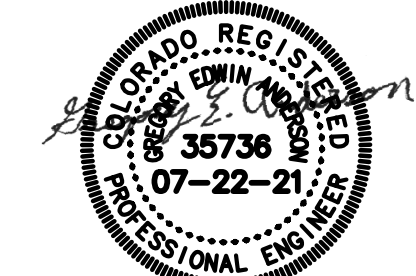
LEGEND



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GREGORY E. ANDERSON
 COLORADO PROFESSIONAL ENGINEER
 REGISTRATION NO. 35736

ALPINE LAND CONSULTING, LLC
 P.O. BOX 234
 RICO, COLORADO 81332
 970-708-0326
 GREGG@ALPINELANDCONSULTING.COM

LOT 30 TOWN OF MOUNTAIN VILLAGE
 DRB DRAINAGE PLAN

CLIENT:
 AVENTURA LLC
 LOUIS ALAIA
 18890 SANTA CLARA CIR
 FOUNDATION VALLEY, CA 92708

DATE: JULY 22, 2021

PROJECT #: 2019009

PROJECT MANAGER: GEA
 DRAWN BY: GEA/ADM

SHEET #:

2 OF 3

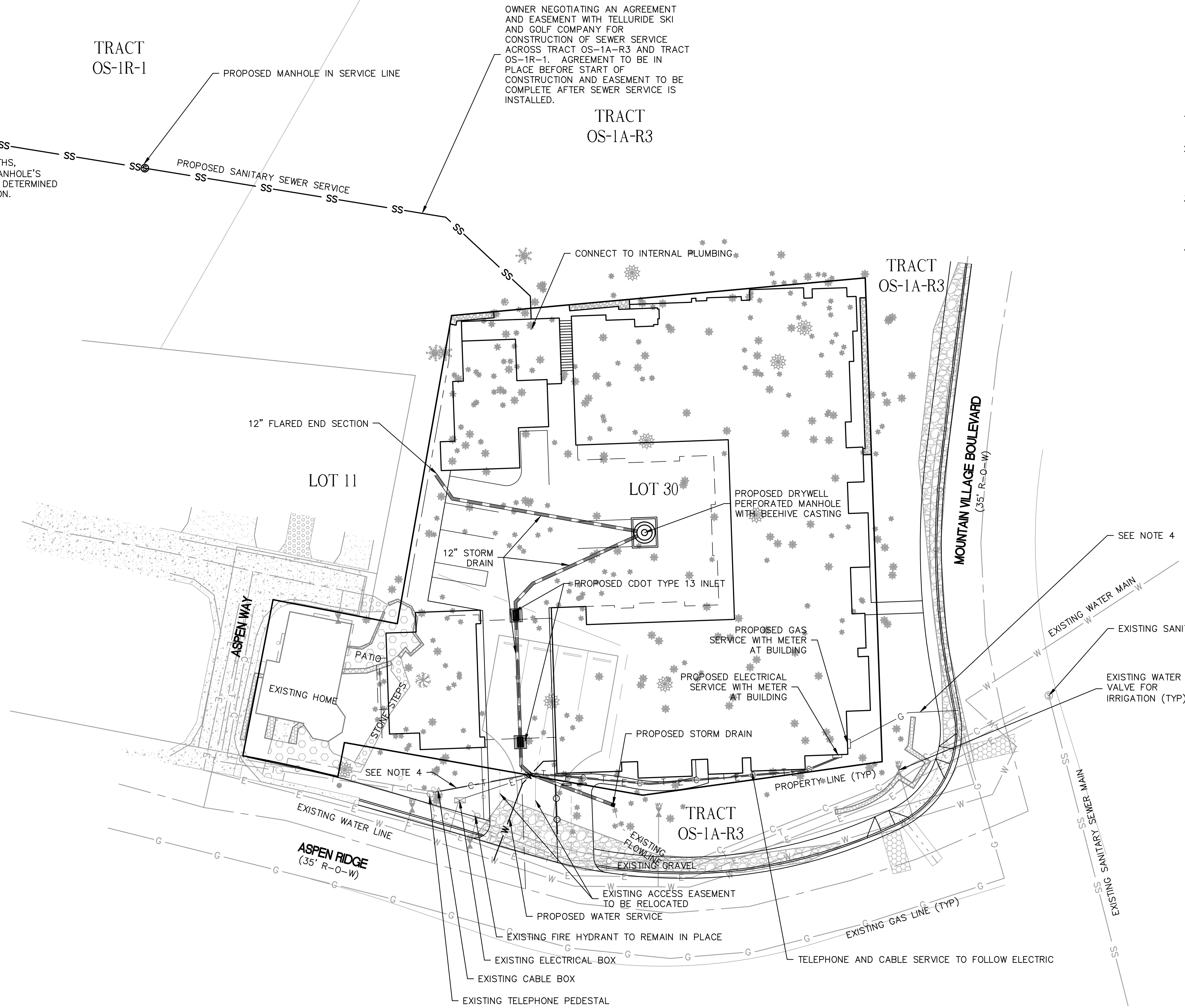
NO.	REVISIONS	DATE

OWNER NEGOTIATING AN AGREEMENT AND EASEMENT WITH TELLURIDE SKI AND GOLF COMPANY FOR CONSTRUCTION OF SEWER SERVICE ACROSS TRACT OS-1A-R3 AND TRACT OS-1R-1. AGREEMENT TO BE IN PLACE BEFORE START OF CONSTRUCTION AND EASEMENT TO BE COMPLETE AFTER SEWER SERVICE IS INSTALLED.

NOTES

1. THIS IS A PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION.
2. ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY FOLEY ASSOCIATES INC. SOME OF THE UTILITY SERVICES LOCATIONS SHOWN ON THIS PLAN ARE FROM MAPPING AS-BUILT INFORMATION ONLY AND NOT CONFIRMED BY FIELD SURVEY DUE TO WINTER CONDITIONS.
3. ALL UTILITY LOCATES TO BE PERFORMED PRIOR TO FINAL DESIGN. IT IS RECOMMEND THAT THE SEWER MANHOLE INVERT ELEVATIONS ARE DETERMINED FOR ALL THREE SURROUNDING MANHOLES PRIOR TO FINAL DESIGN IN ORDER TO DETERMINE IF THE SEWER REQUIRES A PUMP IN THE MECHANICAL ROOM.
4. AN EASEMENT WILL HAVE TO BE ESTABLISHED FOR ALL UTILITY SERVICES THROUGH ANY OPEN SPACE.

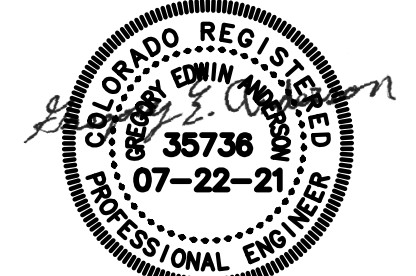
DUE TO CURRENT SNOW DEPTHS, EXISTING SANITARY SEWER MANHOLE'S LOCATION AND DEPTH TO BE DETERMINED BEFORE FINAL DRB SUBMISSION.



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GREGORY E. ANDERSON
 COLORADO PROFESSIONAL ENGINEER
 REGISTRATION NO. 35736



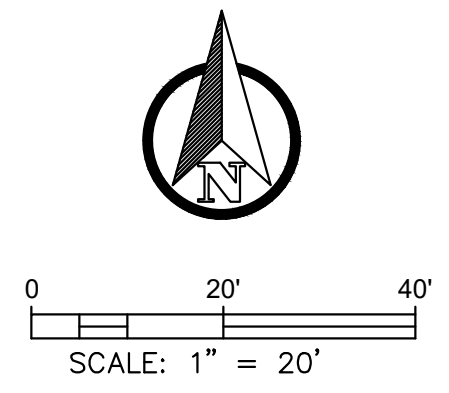
LOT 30 TOWN OF MOUNTAIN VILLAGE
 DRB UTILITY PLAN

CLIENT:
 AVENTURA LLC
 LOUIS ALAIA
 18890 SANTA CLARA CIR
 FOUNDATION VALLEY, CA 92708

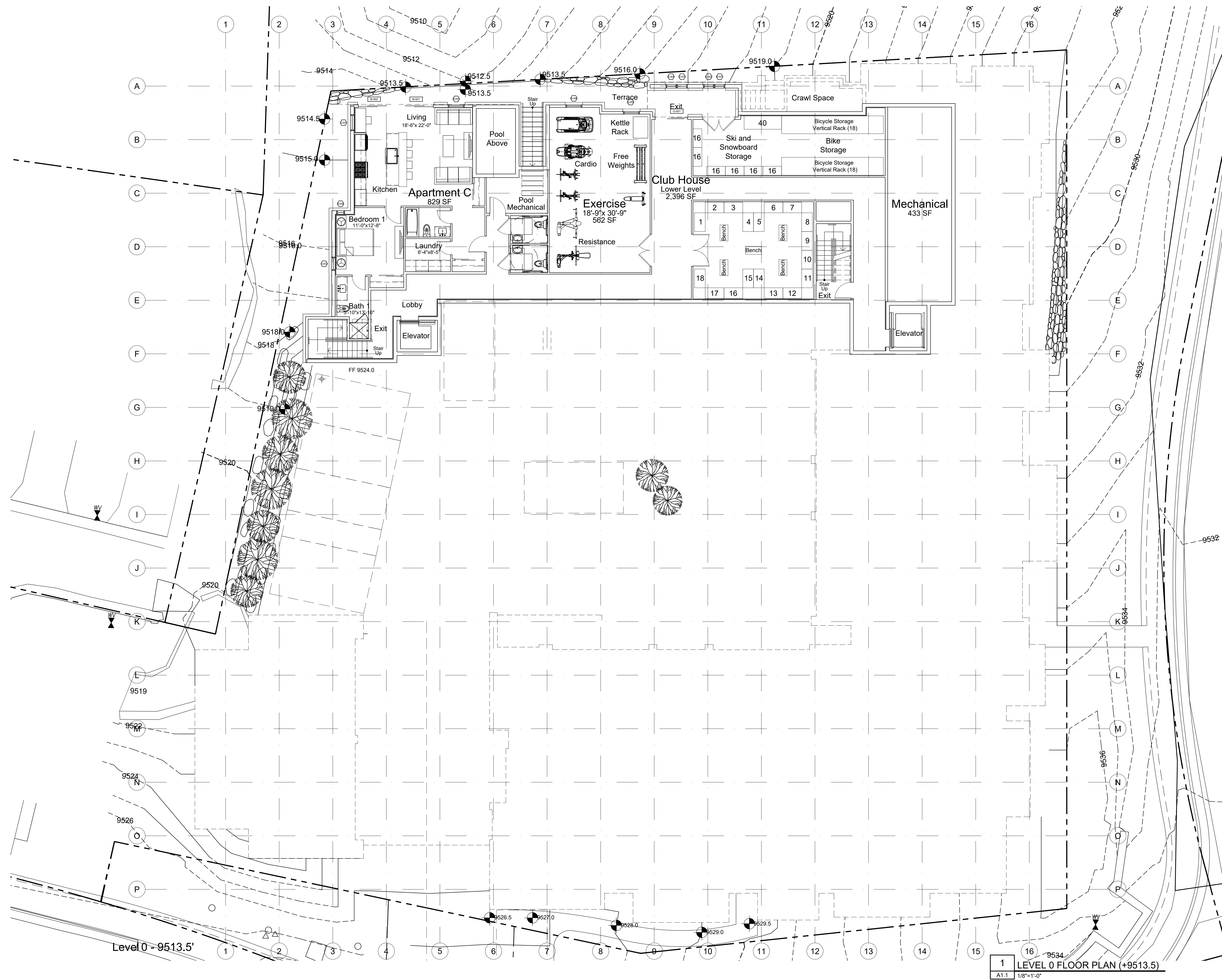
DATE: JULY 22, 2021
 PROJECT #: 2019009
 PROJECT MANAGER: GEA
 DRAWN BY: GEA/ADM

SHEET #:
3 OF 3

NO.	REVISIONS	DATE



DRB UTILITY PLAN



1 LEVEL 0 FLOOR PLAN (+9513.5)
A1.1 1/8"=1'-0"

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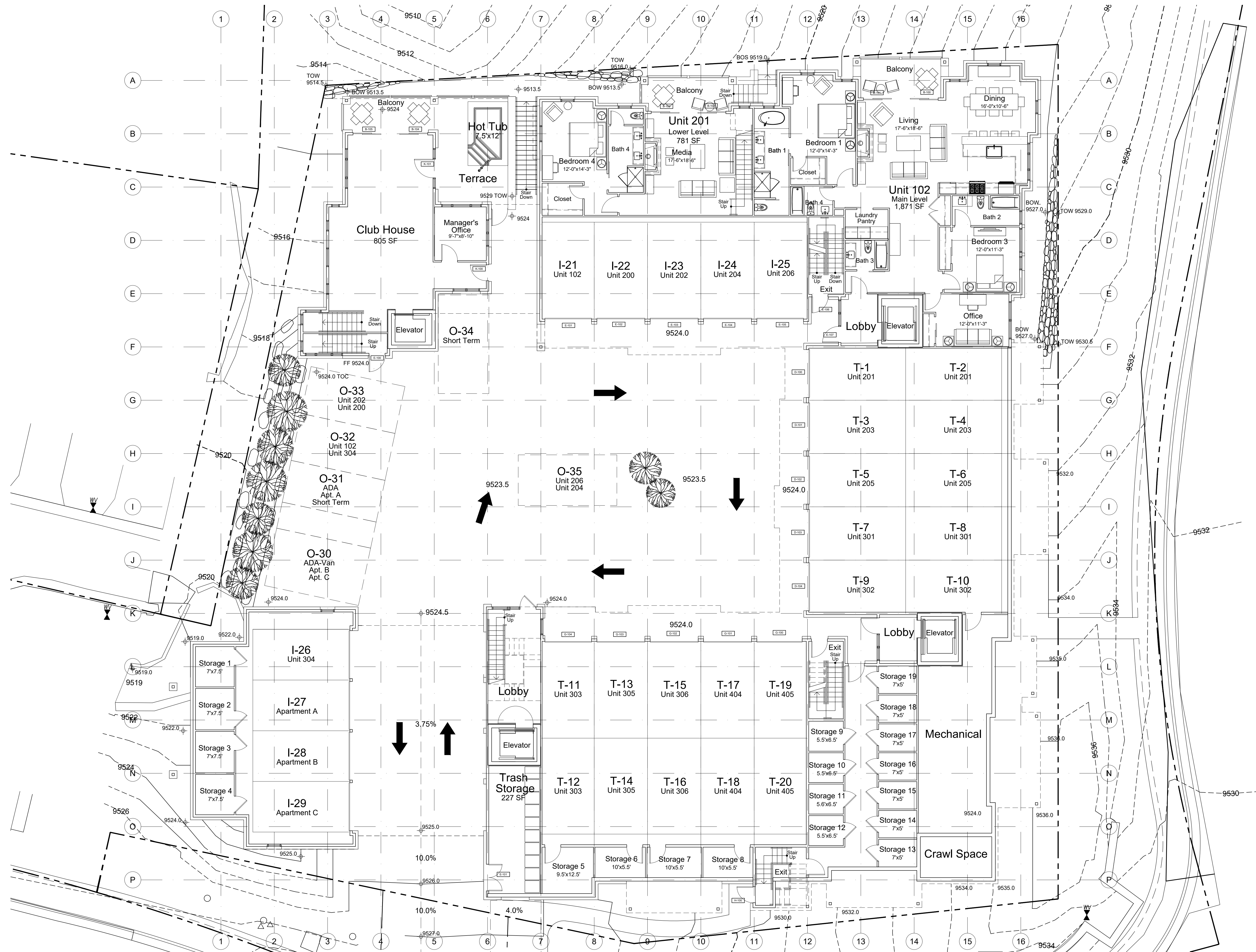
No.	DATE	COMMENT
A	03/23/2021	DESIGN REVIEW
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LEVEL 0 FLOOR PLAN (+9513.5)

PROJECT No. 192733.00	DATE 03/23/2021
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	TRV BY X

SHEET No.
A1.1
SCALE: AS SHOWN

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1 LEVEL 01 FLOOR PLAN (+9524.0)
A1.2 1/8"=1'-0"

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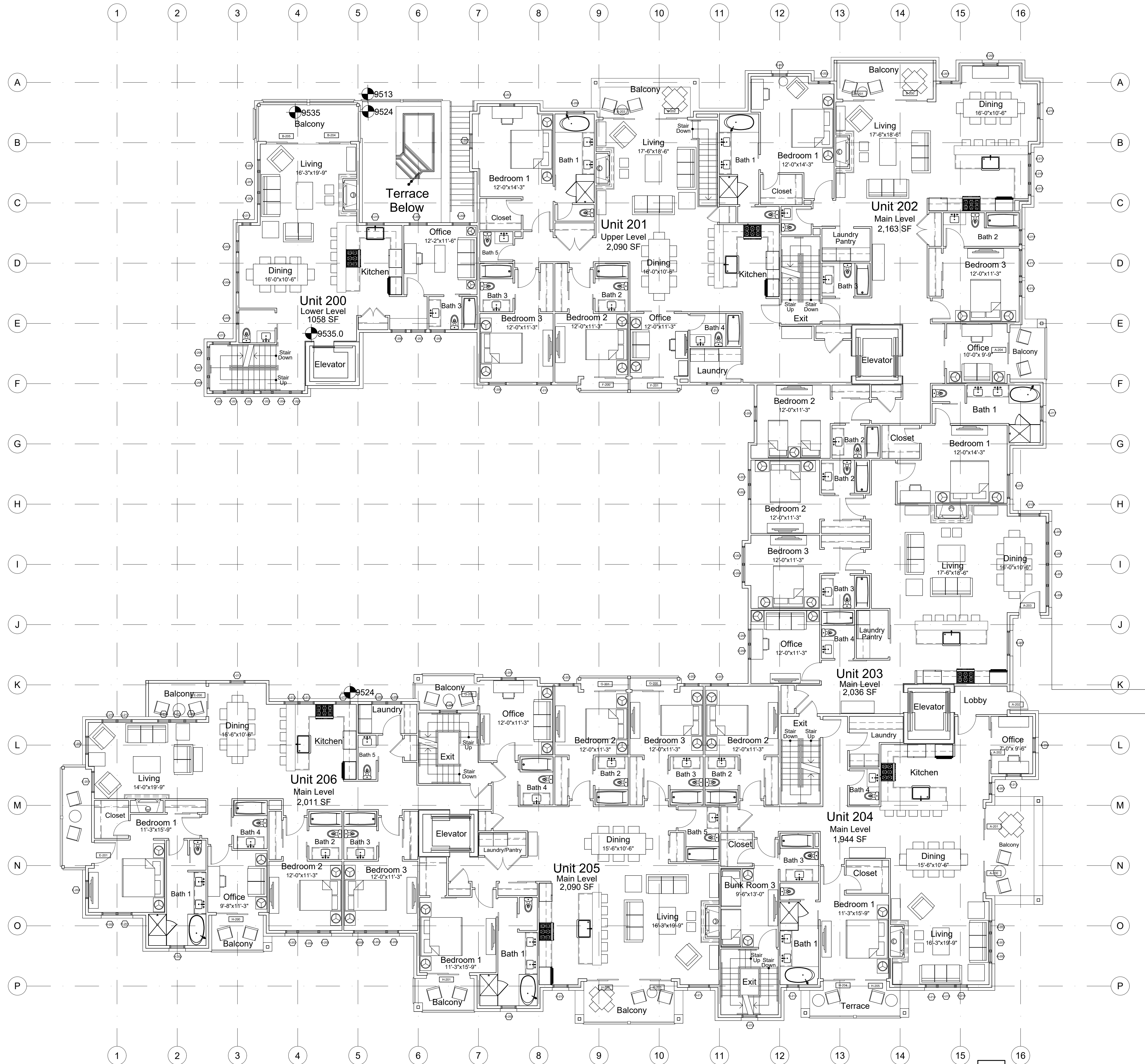
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LEVEL 01
FLOOR PLAN
 (+9524.0)

PROJECT No. 192733.00	DATE 03/23/2021
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	TRV BY X

SHEET No.
A1.2
 SCALE: AS SHOWN

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1 LEVEL 02 FLOOR PLAN (+935.0)
A1.3 1/8"=1'-0"

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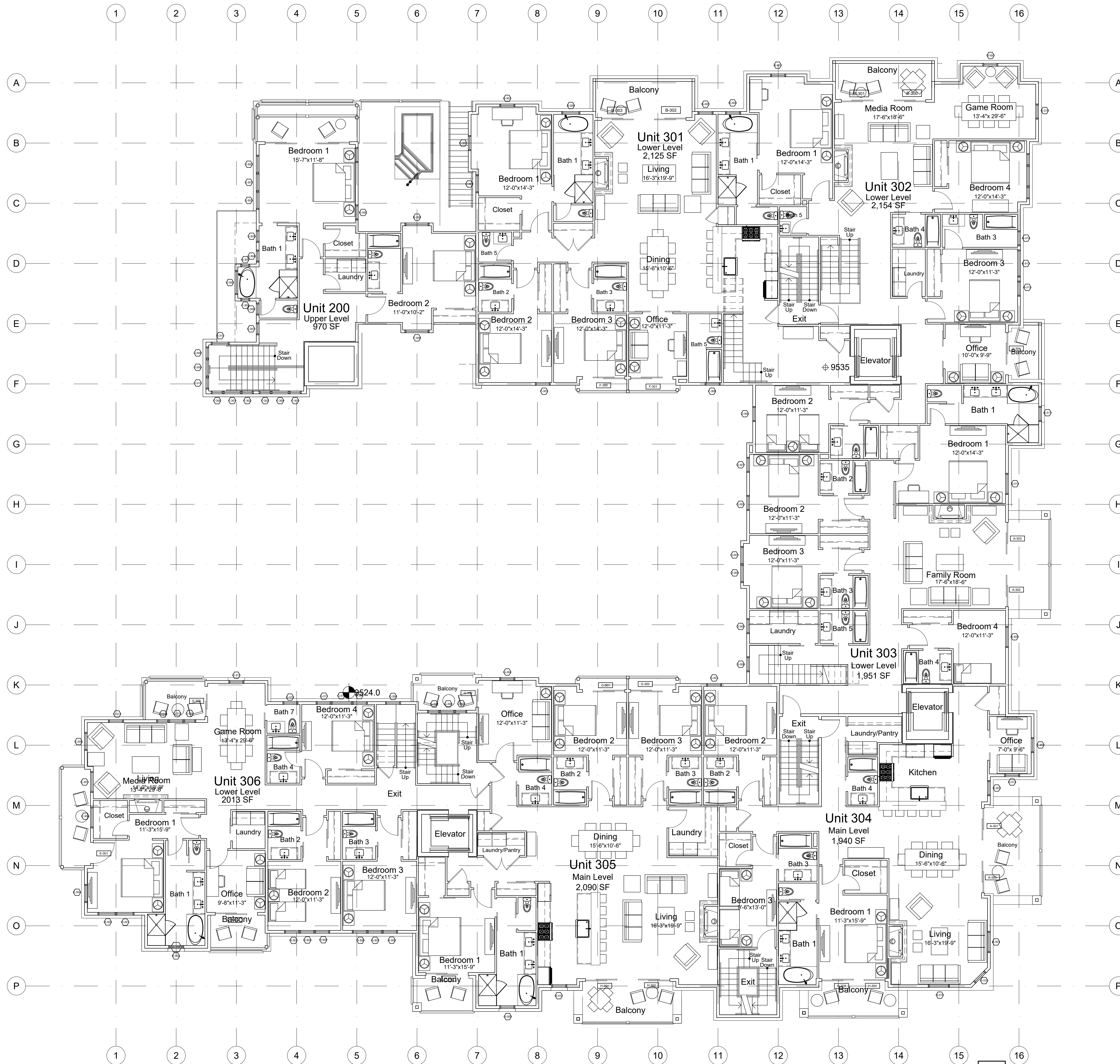
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LEVEL 02
FLOOR PLAN
(+935.0)

PROJECT No. 192733.00	DATE 03/23/2021
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	TRV BY X

SHEET No.
A1.3
SCALE: AS SHOWN

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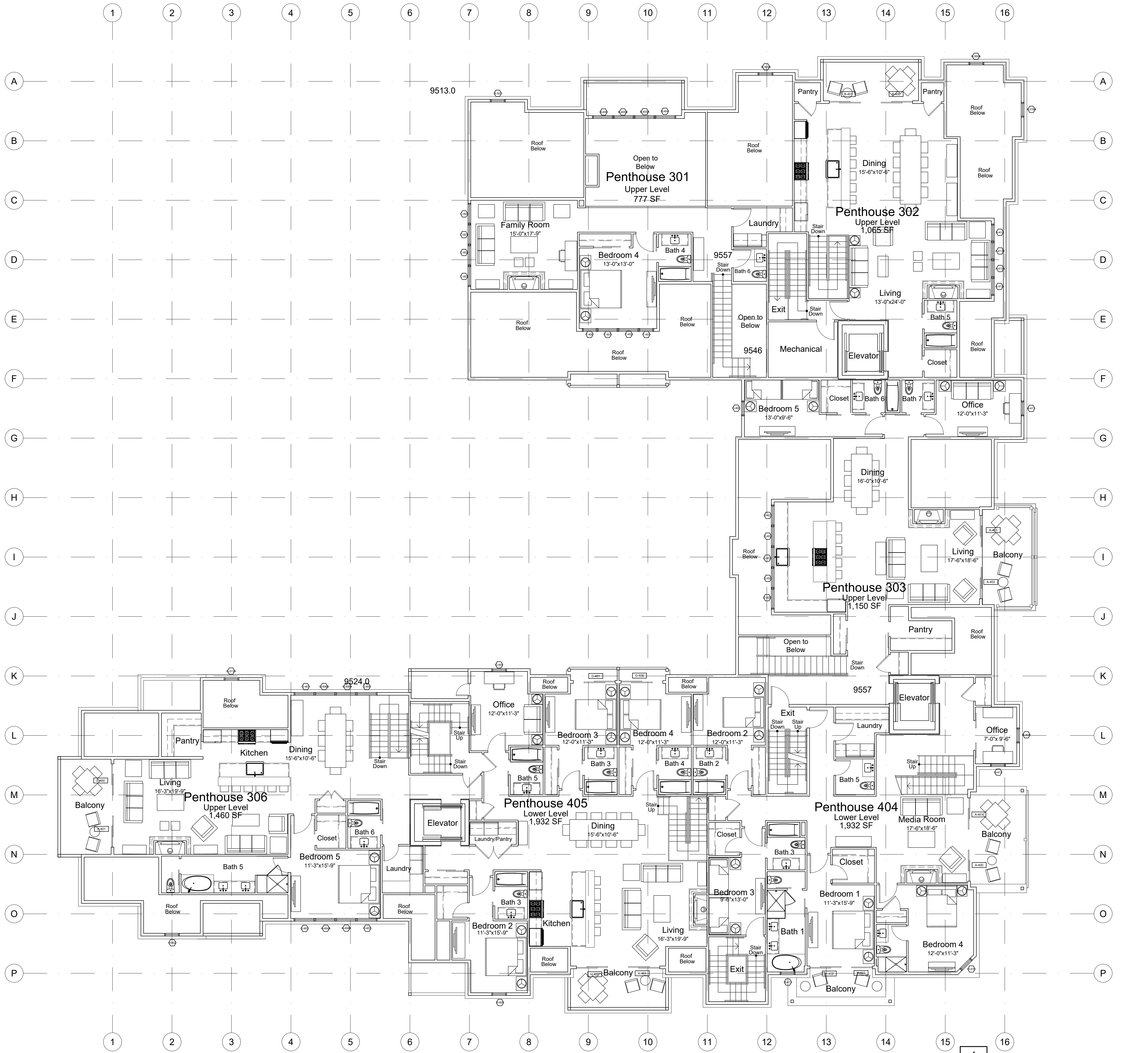
LEVEL 03
FLOOR PLAN
 (+9546.0)

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY X	CHK BY X
	TRV BY X

SHEET No.
A1.4
 SCALE: AS SHOWN

1 LEVEL 03 FLOOR PLAN (+9546.0)
 A1.4 1/8"=1'-0"

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1 LEVEL 04 FLOOR PLAN (+9557.0)
A1.5 1/8"=1'-0"

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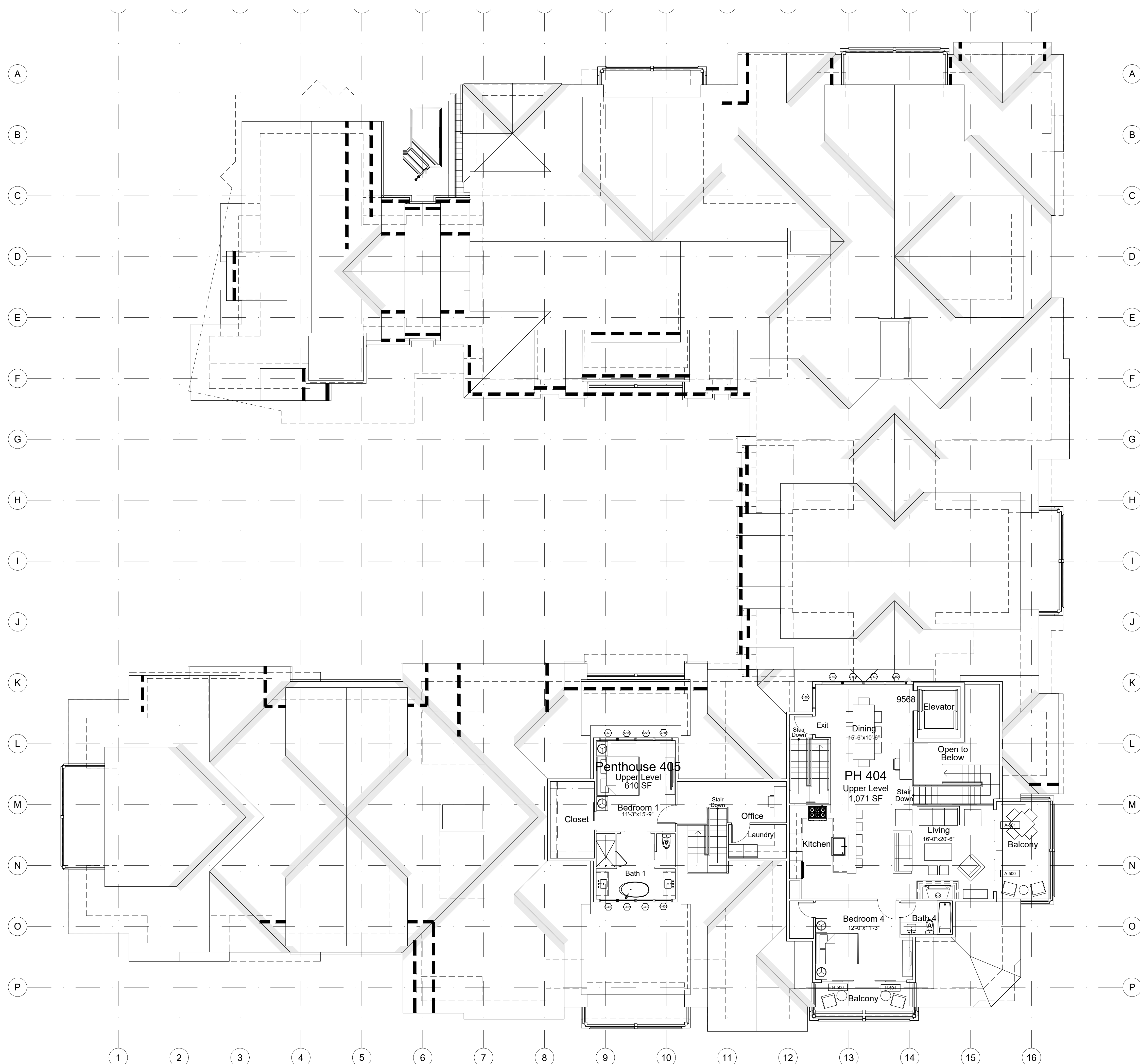
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B	03/30/2021	CONCEPT BUDGETING
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D	07/01/2021	DESIGN REVIEW - 2
E	07/29/2021	FINAL DESIGN REVIEW

LEVEL 04
FLOOR PLAN
 (+9557.0)

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY X	CHK BY X
	TRV BY X

SHEET No.
A1.5
 SCALE: AS SHOWN

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1 LEVEL 05 FLOOR PLAN (+9568.0)
 A1.6 1/8"=1'-0"

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 LANDSCAPE ARCHITECTURE

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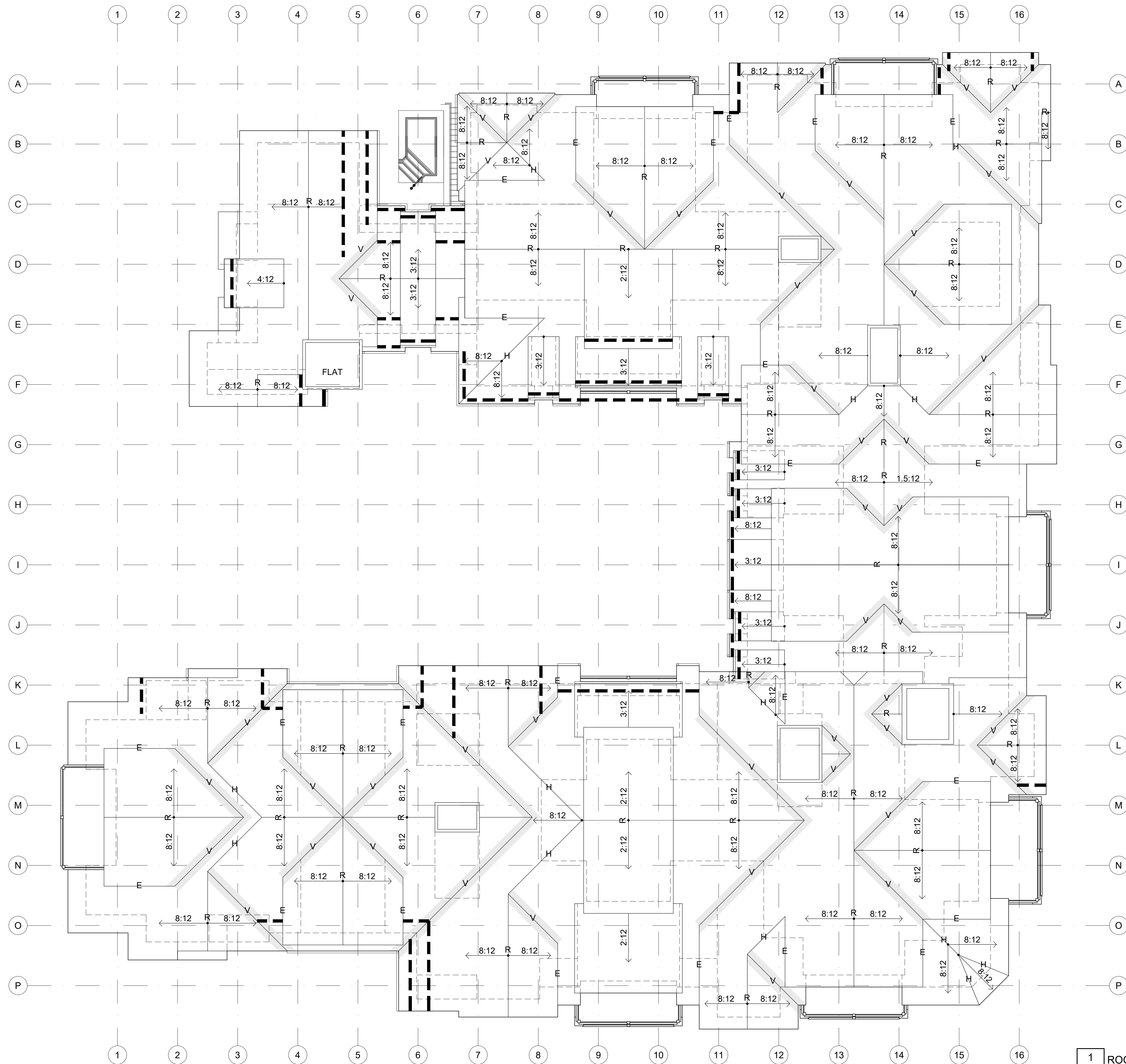
ISSUED FOR:		
No.	DATE	COMMENT
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E	07/29/2021	FINAL DESIGN REVIEW

LEVEL 05
FLOOR PLAN
(+9568)

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY X	CHK BY X
	TRV BY X
SHEET No. A1.6	
SCALE: AS SHOWN	

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- LEGEND**
- GUTTER AND DOWNSPOUT
 - HEAT TRACE TAPE, TYP AT VALLEYS
 - SNOW FENCE

1 ROOF PLAN
A1.7 1/8"=1'-0"

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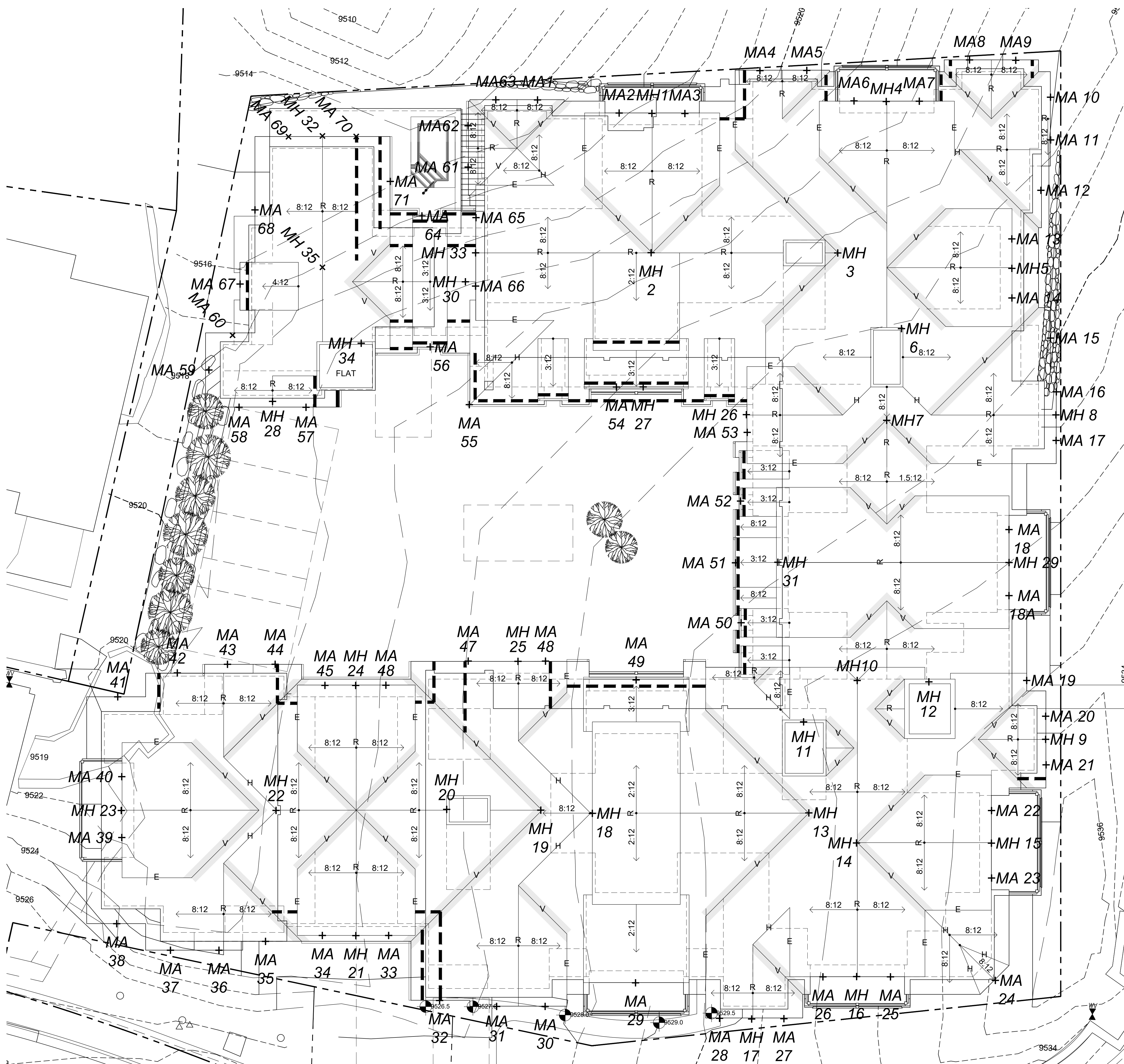
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ROOF PLAN

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY X	CHK BY X
	TRV BY X

SHEET No. **A1.7**
SCALE: AS SHOWN



Maximum Average Height			
Point (MA)	Roof Elevation	Grade Elevation	Roof Height
1	9558.8	9513.6	45.2
2	9565.2	9517.2	48.0
3	9565.2	9518.4	46.8
4	9560.0	9519.4	40.6
5	9560.0	9520.6	39.4
6	9570.6	9522.6	48.0
7	9570.6	9524.2	46.4
8	9560.0	9525.0	35.0
9	9560.0	9526.4	33.6
10	9560.0	9526.8	33.2
11	9560.0	9527.0	33.0
12	9561.6	9527.0	34.6
13	9571.1	9527.0	44.1
14	9571.1	9527.0	44.1
15	9560.7	9528.0	32.7
16	9566.7	9530.0	36.7
17	9566.7	9531.2	35.5
18	9569.5	9532.0	37.5
18A	9569.5	9533.0	36.5
19	9576.2	9533.1	43.1
20	9571.1	9534.6	36.5
21	9571.1	9535.5	35.6
22	9581.7	9534.5	47.2
23	9581.7	9534.5	47.2
24	9568.5	9534.9	33.6
25	9581.7	9533.2	48.5
26	9581.7	9532.1	49.6
27	9571.0	9531.3	39.7
28	9571.0	9530.5	40.5
29	9567.7	9529.0	38.7
30	9569.0	9527.5	41.5
31	9569.0	9526.5	42.5
32	9563.0	9525.5	37.5
33	9571.2	9524.5	46.7
34	9571.2	9523.5	47.7
35	9564.0	9523.0	41.0
36	9562.4	9523.0	39.4
37	9562.4	9523.5	38.9
38	9556.3	9524.0	32.3
39	9568.6	9522.0	46.6
40	9568.6	9520.5	48.1
41	9556.3	9520.0	36.3
42	9562.4	9520.0	42.4
43	9562.4	9521.0	41.4
44	9564.0	9522.0	42.0
45	9571.2	9524.0	47.2
46	9571.2	9524.0	47.2
47	9563.0	9524.0	39.0
48	9569.0	9524.0	45.0
49	9569.0	9524.0	45.0
50	9567.7	9524.0	43.7
51	9562.8	9524.0	38.8
52	9567.7	9524.0	43.7
53	9562.8	9524.0	38.8
54	9556.7	9524.0	32.7
55	9551.8	9524.0	27.8
56	9556.3	9523.0	33.3
57	9553.0	9520.0	33.0
58	9553.0	9521.0	32.0
59	9549.2	9519.0	30.2
60	9551.8	9517.0	34.8
61	9546.2	9514.5	31.7
62	9545.4	9514.4	31.0
63	9541.2	9517.9	23.3
64	9556.3	9518.0	38.3
65	9565.2	9519.5	45.7
66	9565.2	9524	41.2
67	9556.4	9516.5	39.9
68	9559.2	9515.5	43.7
69	9558.6	9514.5	44.1
70	9558.6	9514.4	44.2
71	9554.8	9516	38.8
Maximum Average Height			39.9

Maximum Height			
Point (MH)	Roof Elevation	Grade Elevation	Roof Height
1	9569.0	9518.1	50.9
2	9569.0	9525.1	43.9
3	9569.0	9526.2	42.8
4	9574.5	9523.0	51.5
5	9574.5	9527.0	47.5
6	9580.0	9527.5	52.5
7	9574.5	9529.5	45.0
8	9569.5	9530.8	38.7
9	9573.8	9535.1	38.6
10	9585.0	9532.6	52.9
11	9584.0	9531.5	52.5
12	9584.5	9532.8	51.7
13	9580.0	9531.6	48.4
14	9585.5	9532.6	52.9
15	9585.5	9534.6	50.9
16	9585.5	9532.7	52.8
17	9567.7	9529.0	38.7
18	9580.0	9528.5	51.5
19	9574.5	9527.5	47.0
20	9578.0	9525.6	52.4
21	9574.5	9523.9	50.6
22	9574.5	9522.2	52.3
23	9572.5	9521.5	51.0
24	9574.5	9523.5	51.0
25	9567.7	9524.0	43.7
26	9567.8	9524.0	43.8
27	9556.8	9524.0	32.8
28	9556.8	9520.5	36.3
29	9573.3	9532.3	41.0
30	9559.0	9522.0	37.0
31	9573.3	9524.0	49.3
32	9562.4	9514.5	47.9
33	9569.0	9529.0	40.0
34	9563.0	9523.0	40.0
35	9562.5	9518.0	44.5
Maximum Height			46.4

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LOT 30
TELLURIDE MOUNTAIN VILLAGE, CO
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OVERLAY
ROOF PLAN

No.	DATE	COMMENT
A	03/23/2021	DESIGN REVIEW
B	03/30/2021	CONCEPT BUDGETING
C	04/28/2021	DESIGN REVIEW - 1
D	07/01/2021	DESIGN REVIEW - 2
E	07/29/2021	FINAL DESIGN REVIEW

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY X	CHK BY X
	TRV BY X

SHEET No. **A1.8**
SCALE: AS SHOWN

1 ROOF PLAN
A1.8 1/8"=1'-0"

Z:\2019\192733\W_Current Documents\04_Plot_Sheets\A1.8.dwg, 7/26/2021, 1:58:07 PM, AutoCAD PDF (High Quality Print).pc3



2 ELEVATION - B (NORTH)
A2.1 1/8"=1'-0"



1 ELEVATION - A (EAST)
A2.1 1/8"=1'-0"

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EXTERIOR ELEVATIONS

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY X	CHK BY X
	TRV BY X
SHEET No. A2.1	
SCALE: AS SHOWN	



5 ELEVATION H (SOUTH)
A2.2 1/8"=1'-0"



4 ELEVATION - J (WEST)
A2.2 1/8"=1'-0"

3 ELEVATION - C (WEST)
A2.2 1/8"=1'-0"

2 ELEVATION - D (WEST)
A2.2 1/8"=1'-0"

1 ELEVATION - E (WEST)
A2.2 1/8"=1'-0"

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EXTERIOR ELEVATIONS

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY X	CHK BY X
	TRV BY X

SHEET No.
A2.2
SCALE: AS SHOWN



North Elevation

2 ELEVATION - G (INTERIOR COURT SOUTH)
A2.3 1/8"=1'-0"



South Elevation

1 ELEVATION - F (INTERIOR COURTYARD NORTH)
A2.3 1/8"=1'-0"

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E	07/29/2021	FINAL DESIGN REVIEW

EXTERIOR ELEVATIONS

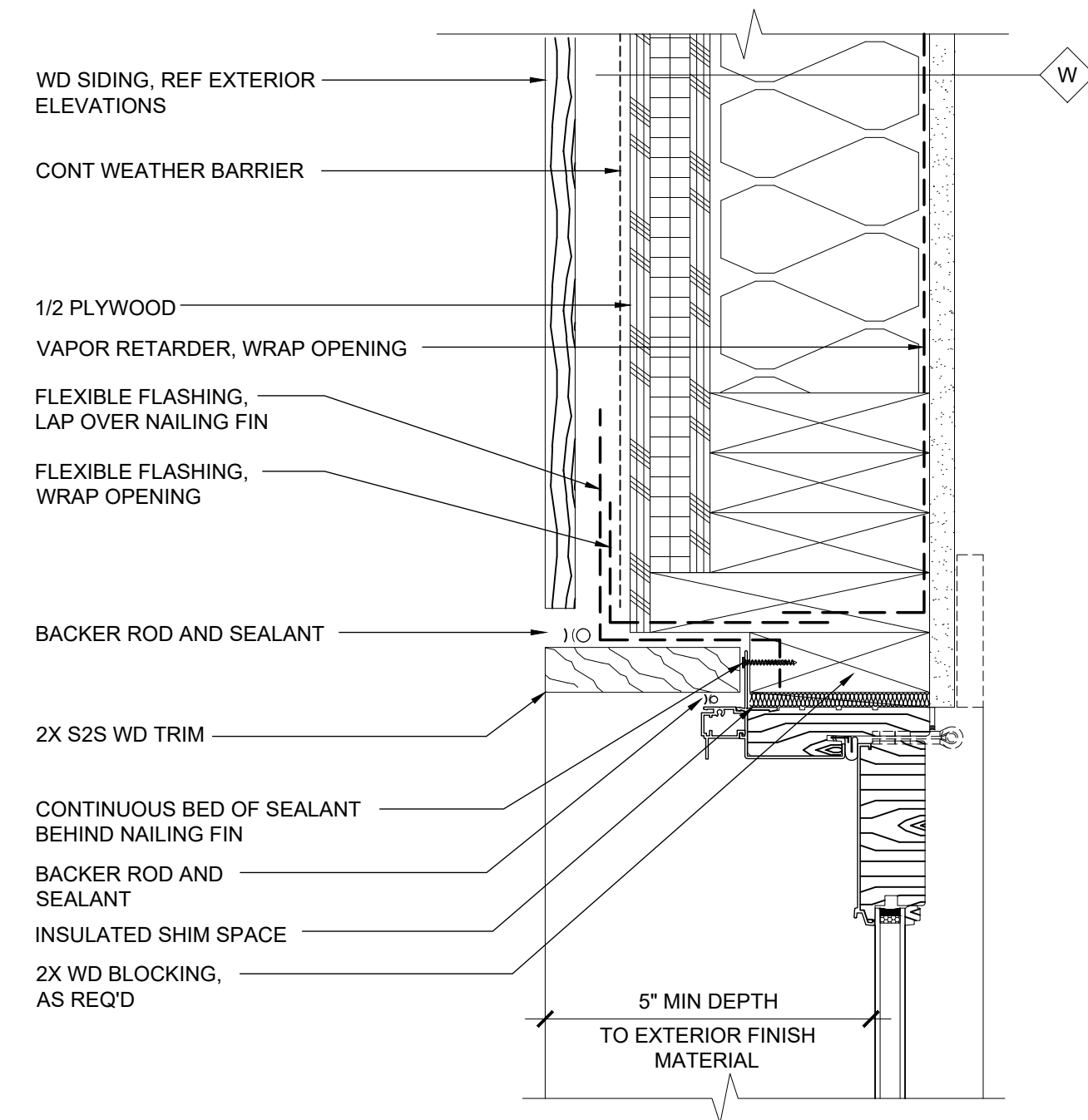
PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY X	CHK BY X
	TRV BY X
SHEET No. A2.3	
SCALE: AS SHOWN	

DOOR SCHEDULE GENERAL NOTES:

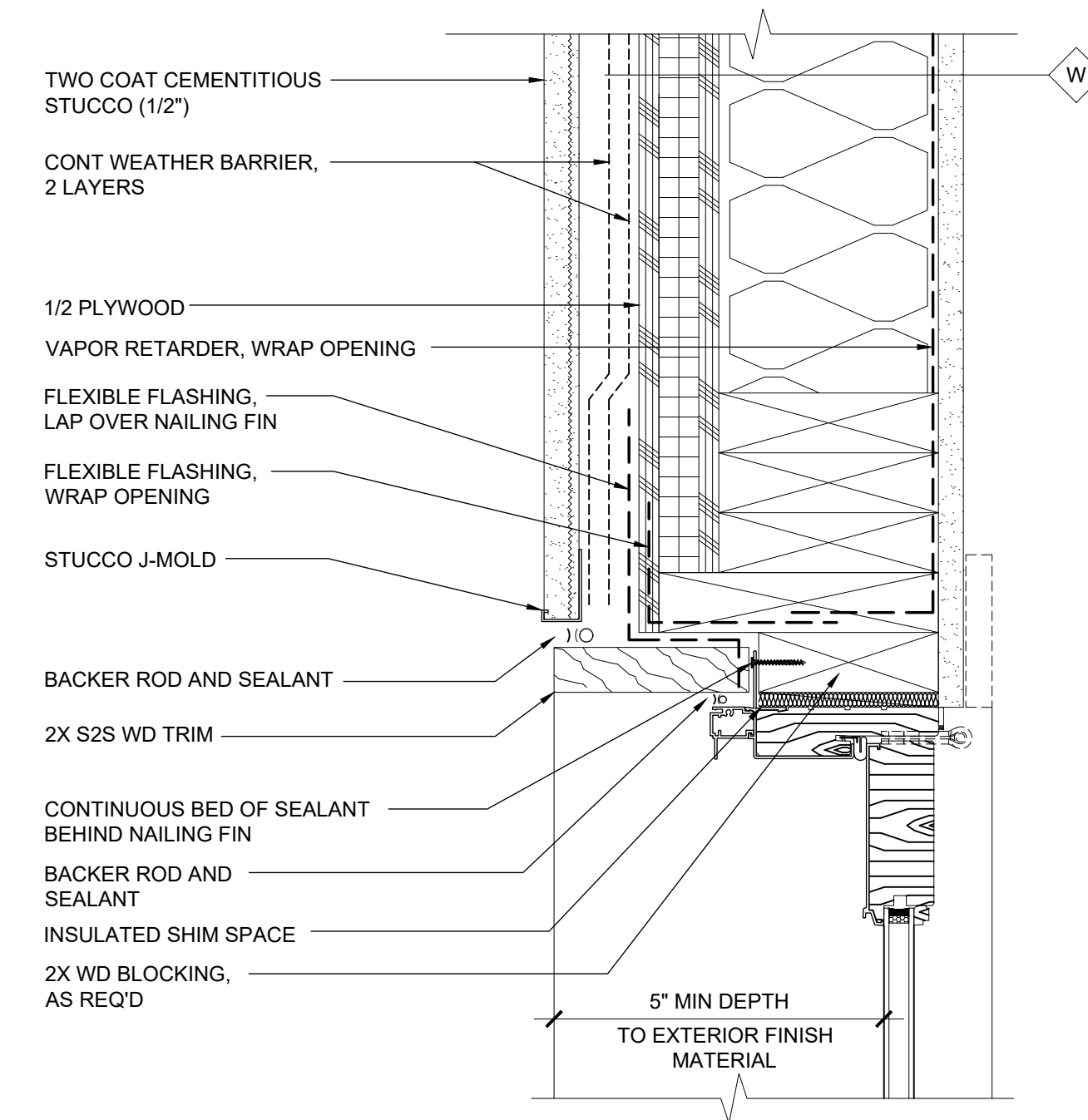
1. SIZE DETERMINED BY OVERALL SIZE OF DOOR, NOT BY INDIVIDUAL LEAFS UNLESS NOTED OTHERWISE.
2. RATINGS DESIGNATED IN MINUTES.
3. SEE SPECIFICATIONS FOR HARDWARE (HW) GROUPS.
4. SEE PLANS AND ELEVATIONS FOR SWING INFORMATION.

DOOR DETAIL GENERAL NOTES:

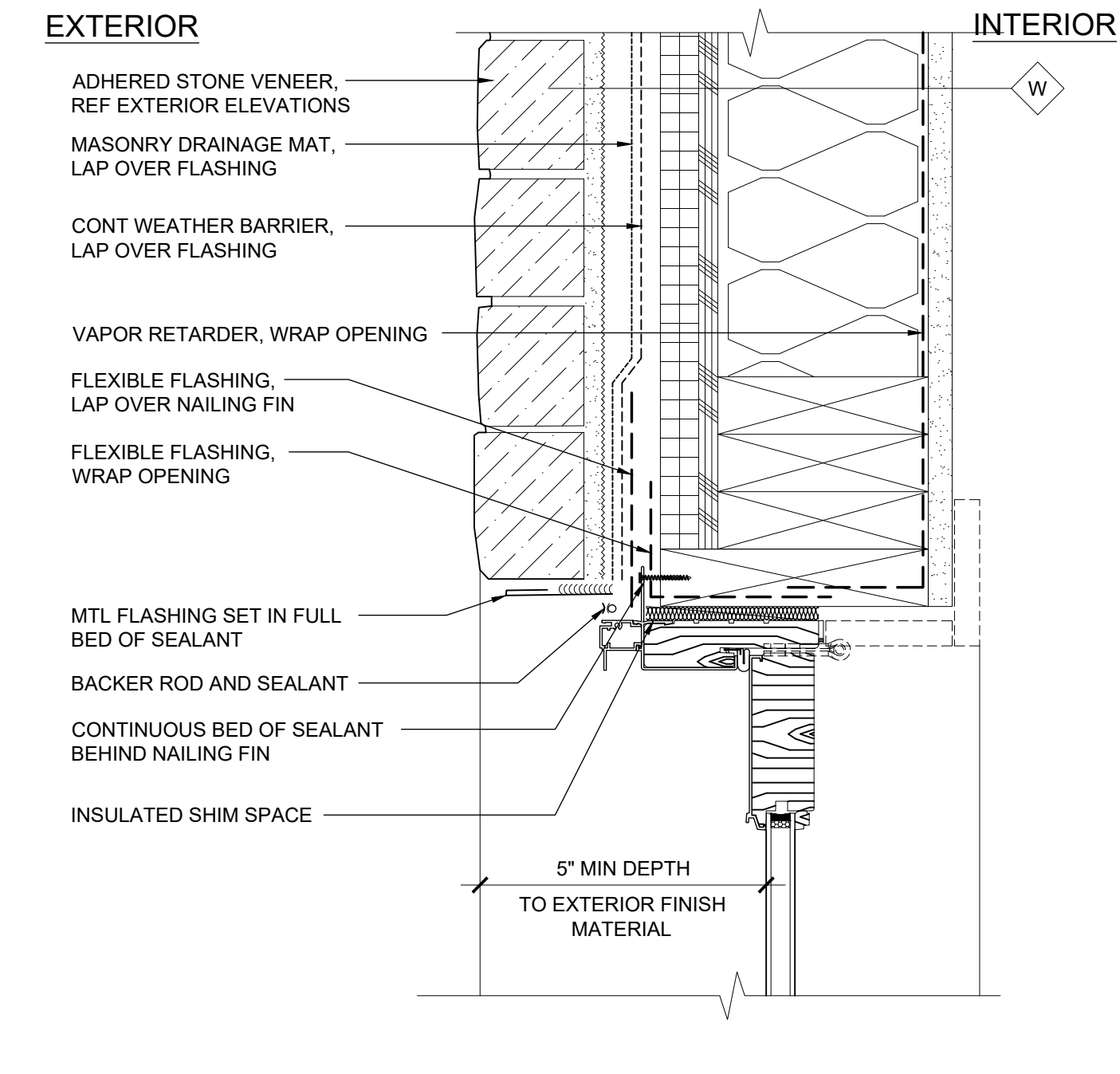
1. WEATHER BARRIER AND FLASHING LINES ARE SHOWN OFFSET FOR CLARITY, TYPICAL



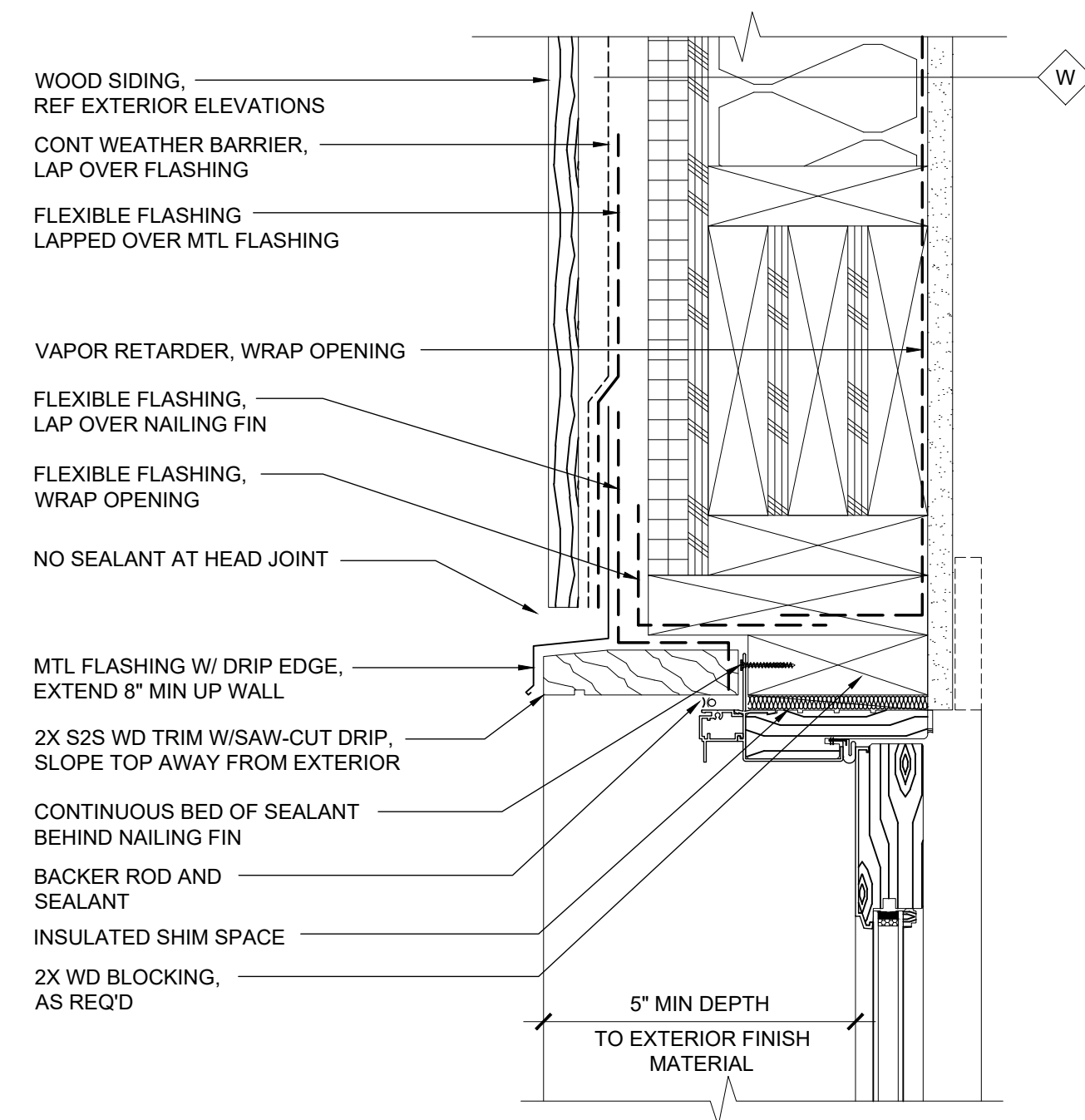
6 DOOR JAMB AT WOOD SIDING
A5.6 3"=1'-0"



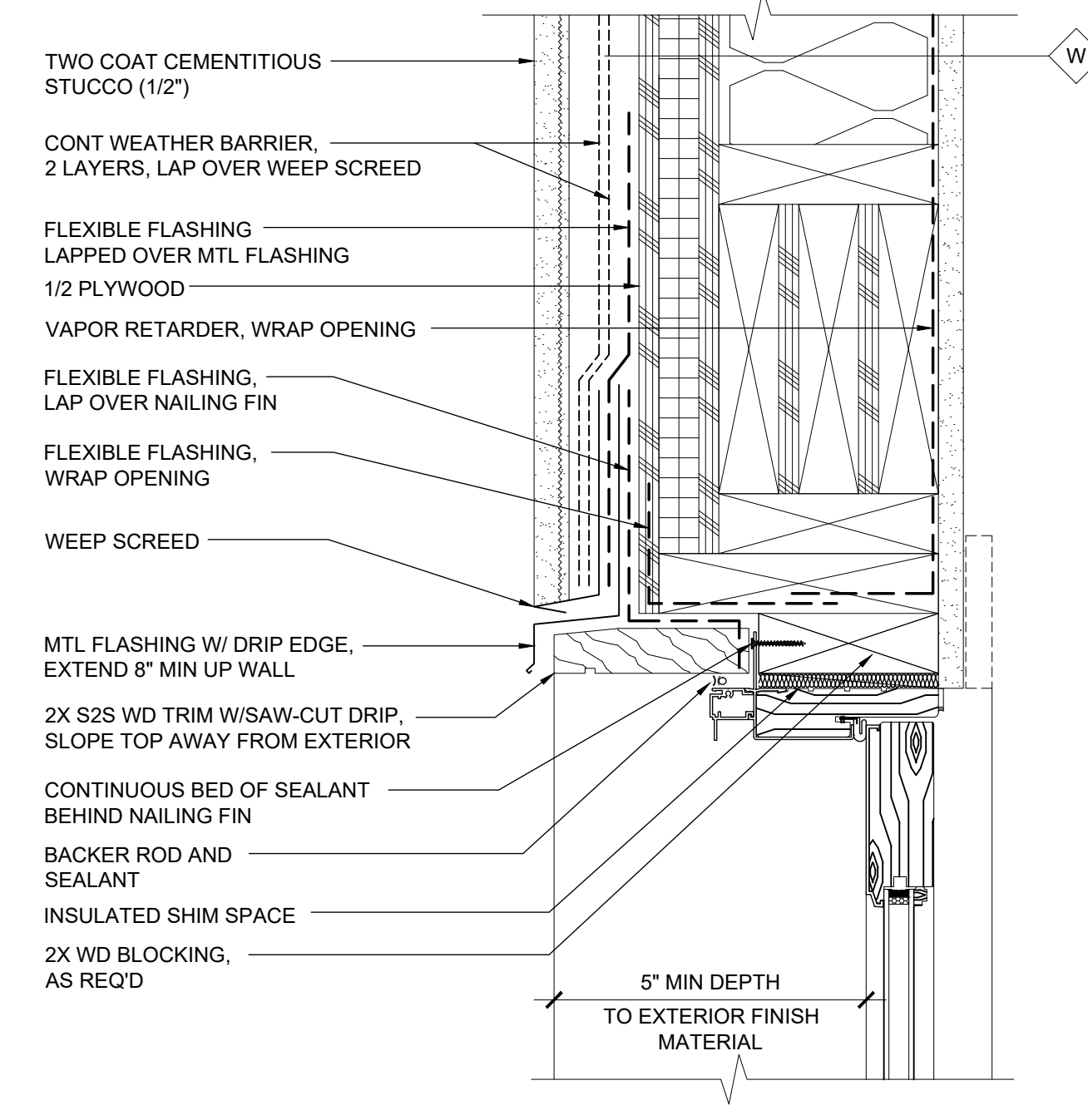
4 DOOR JAMB AT CEMENTITIOUS STUCCO
A5.6 3"=1'-0"



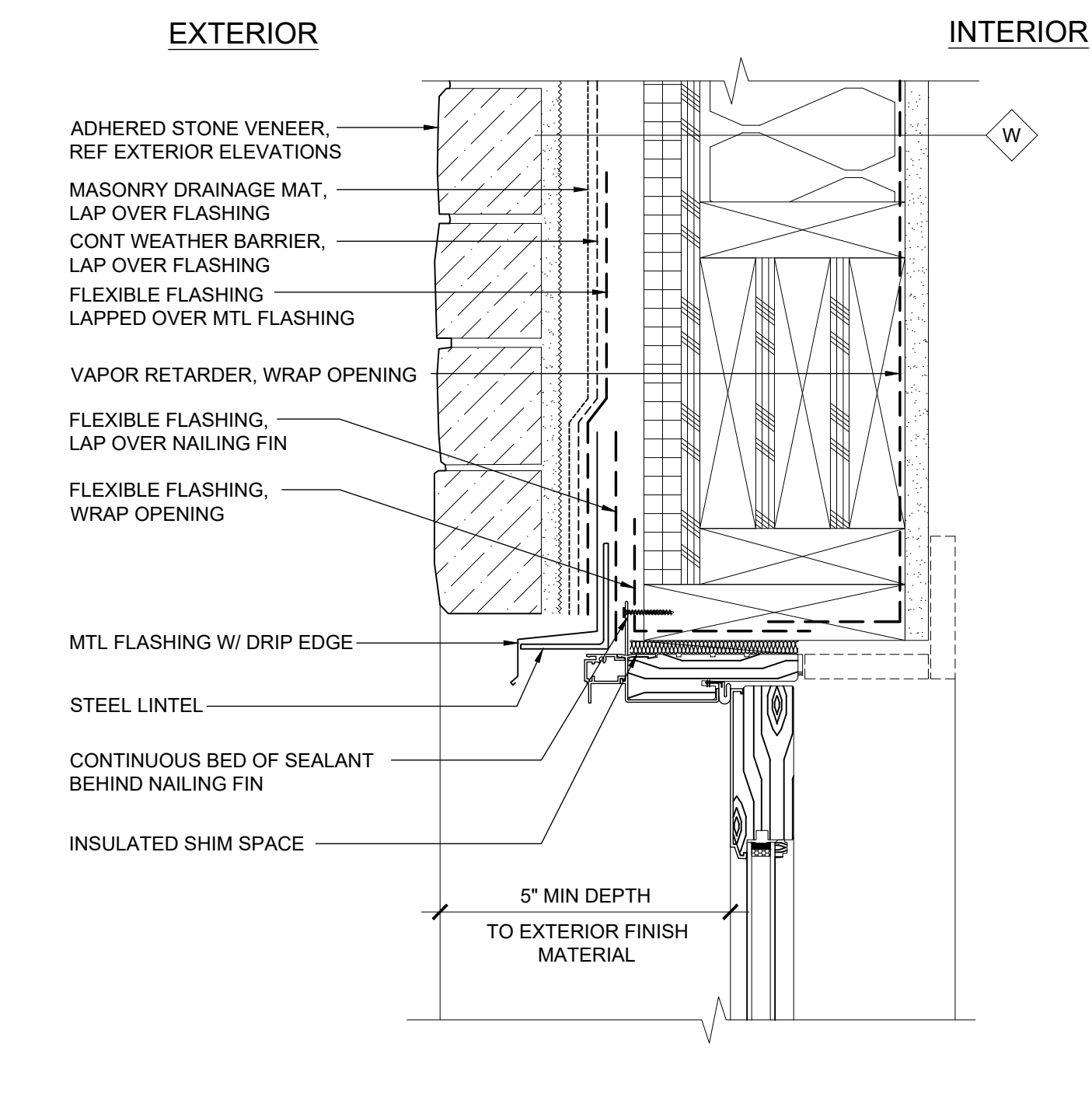
2 DOOR JAMB AT STONE
A5.6 3"=1'-0"



5 DOOR HEAD AT WOOD SIDING
A5.6 3"=1'-0"



3 DOOR HEAD AT CEMENTITIOUS STUCCO
A5.6 3"=1'-0"



1 DOOR HEAD AT STONE
A5.6 3"=1'-0"

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DOOR DETAILS

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY X	CHK BY X
	TRV BY X
SHEET No. A5.60	
SCALE: AS SHOWN	

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DOOR SCHEDULE GENERAL NOTES:

1. SIZE DETERMINED BY OVERALL SIZE OF DOOR. NOT BY INDIVIDUAL LEAFS UNLESS NOTED OTHERWISE.
2. RATINGS DESIGNATED IN MINUTES.
3. SEE SPECIFICATIONS FOR HARDWARE (HW) GROUPS.
4. SEE PLANS AND ELEVATIONS FOR SWING INFORMATION.

DOOR DETAIL GENERAL NOTES:

1. WEATHER BARRIER AND FLASHING LINES ARE SHOWN OFFSET FOR CLARITY, TYPICAL

DOOR SCHEDULE															
TAG	ROOM	TYPE	SIZE		DOOR		FRAME		DETAIL			RATING	HW	GLAZING	REMARKS
			W x H	THK	CONST	FINISH	CONST	FINISH	HEAD	JAMB	SILL				
A-300	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
A-301	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
A-302	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
A-303	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
A-304	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
B-300	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	--	-	-	NA	--	None	None
B-301	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
B-302	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
B-303	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
E-300	--	--	5'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
E-301	--	--	3'-6" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
G-300	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
G-301	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
G-302	--	--	4'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-300	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-301	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-302	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-303	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-304	--	--	3'-6" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None

3 LEVEL 3 DOOR SCHEDULE
A5.62

DOOR SCHEDULE															
TAG	ROOM	TYPE	SIZE		DOOR		FRAME		DETAIL			RATING	HW	GLAZING	REMARKS
			W x H	THK	CONST	FINISH	CONST	FINISH	HEAD	JAMB	SILL				
A-200	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
A-201	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
A-202	--	--	3'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	--	--	--	NA	--	None	None
A-203	--	--	3'-6" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
A-204	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
B-200	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
B-201	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
B-202	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
B-203	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
B-204	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
B-205	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
E-200	--	--	5'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
E-201	--	--	3'-6" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
F-200	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
F-201	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
G-200	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
G-201	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
G-202	--	--	4'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-200	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-201	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-202	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-203	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-204	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-205	--	--	3'-6" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None

3 LEVEL 2 DOOR SCHEDULE
A5.62

DOOR SCHEDULE															
TAG	ROOM	TYPE	SIZE		DOOR		FRAME		DETAIL			RATING	HW	GLAZING	REMARKS
			W x H	THK	CONST	FINISH	CONST	FINISH	HEAD	JAMB	SILL				
B-100	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
B-101	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
B-102	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
B-103	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
B-104	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	--	--	--	NA	--	None	None
B-105	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	--	--	--	NA	--	None	None
D-100	--	--	9'-0" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
D-101	--	--	9'-0" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
D-102	--	--	9'-0" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
D-103	--	--	9'-0" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
D-104	--	--	9'-0" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
E-100	--	--	3'-0" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
E-101	--	--	5'-0" x 6'-8"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
E-102	--	--	8'-9" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
E-103	--	--	9'-0" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
E-104	--	--	9'-0" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
E-105	--	--	8'-9" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
E-106	--	--	3'-0" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
E-107	--	--	3'-0" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
G-100	--	--	8'-6" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
G-101	--	--	9'-0" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
G-102	--	--	9'-0" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
G-103	--	--	9'-0" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
G-104	--	--	8'-9" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-100	--	--	3'-0" x 7'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
K-100	--	--	3'-0" x 7'-0"	1 3/4"	WD	ST	WD	ST	--	--	--	NA	--	None	None
K-101	--	--	3'-6" x 7'-0"	1 3/4"	WD	ST	WD	ST	--	--	--	NA	--	None	None

2 LEVEL 1 DOOR SCHEDULE
A5.62

DOOR SCHEDULE															
TAG	ROOM	TYPE	SIZE		DOOR		FRAME		DETAIL			RATING	HW	GLAZING	REMARKS
			W x H	THK	CONST	FINISH	CONST	FINISH	HEAD	JAMB	SILL				
B-001	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	--	--	--	NA	--	None	None
B-002	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	--	--	--	NA	--	None	None
G-001	--	--	6'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None

1 LEVEL 0 DOOR SCHEDULE
A5.62

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No.	DATE	COMMENT
A	03/23/2021	DESIGN REVIEW
B	03/30/2021	CONCEPT BUDGETING
C	04/28/2021	DESIGN REVIEW - 1
D	07/01/2021	DESIGN REVIEW - 2
E	07/29/2021	FINAL DESIGN REVIEW

PROJECT No.	DATE
192733.00	03/23/2021

DRAWN BY	CHK BY	TRV BY
X	X	X

SHEET No.	SCALE
A5.62	AS SHOWN

DOOR SCHEDULE GENERAL NOTES:

1. SIZE DETERMINED BY OVERALL SIZE OF DOOR, NOT BY INDIVIDUAL LEAFS UNLESS NOTED OTHERWISE.
2. RATINGS DESIGNATED IN MINUTES.
3. SEE SPECIFICATIONS FOR HARDWARE (HW) GROUPS.
4. SEE PLANS AND ELEVATIONS FOR SWING INFORMATION.

DOOR DETAIL GENERAL NOTES:

1. WEATHER BARRIER AND FLASHING LINES ARE SHOWN OFFSET FOR CLARITY, TYPICAL

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DOOR SCHEDULE		
PROJECT No.	DATE	
192733.00	03/23/2021	
DRAWN BY	CHK BY	TRV BY
X	X	X
SHEET No.		
A5.63		
SCALE:		
AS SHOWN		

DOOR SCHEDULE															
TAG	ROOM	TYPE	SIZE		DOOR		FRAME		DETAIL			RATING	HW	GLAZING	REMARKS
			W x H	THK	CONST	FINISH	CONST	FINISH	HEAD	JAMB	SILL				
A-500	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
A-501	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-500	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-501	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None

2 LEVEL 5 DOOR SCHEDULE
A5.63

DOOR SCHEDULE															
TAG	ROOM	TYPE	SIZE		DOOR		FRAME		DETAIL			RATING	HW	GLAZING	REMARKS
			W x H	THK	CONST	FINISH	CONST	FINISH	HEAD	JAMB	SILL				
A-400	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
A-401	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
A-402	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
A-403	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
B-400	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
B-401	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
E-400	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
E-401	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
G-400	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
G-401	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-400	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-401	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-402	--	--	7'-0" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None
H-403	--	--	3'-6" x 8'-0"	1 3/4"	WD	ST	WD	ST	-	-	-	NA	--	None	None

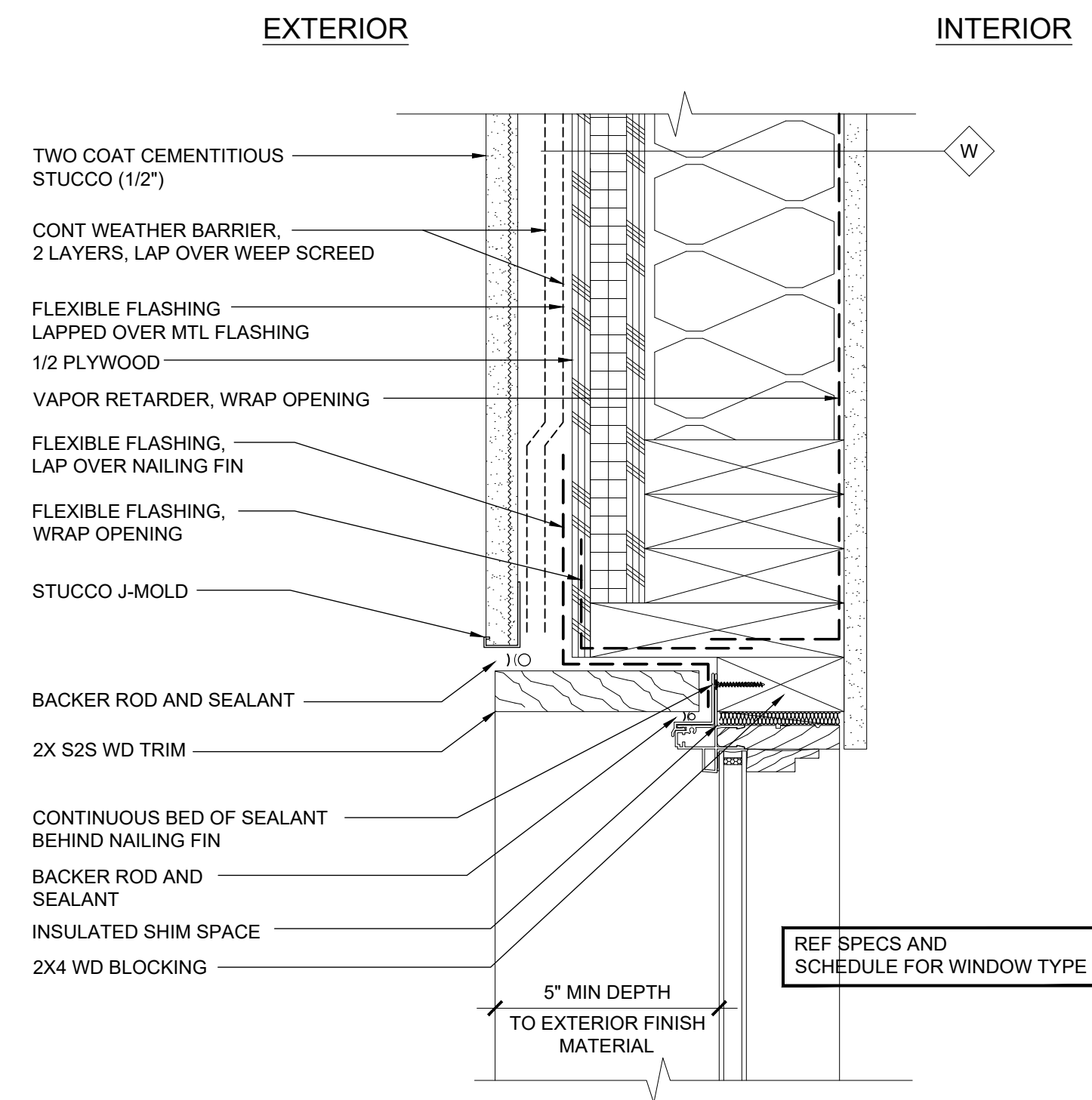
1 LEVEL 4 DOOR SCHEDULE
A5.63

WINDOW SCHEDULE GENERAL NOTES:

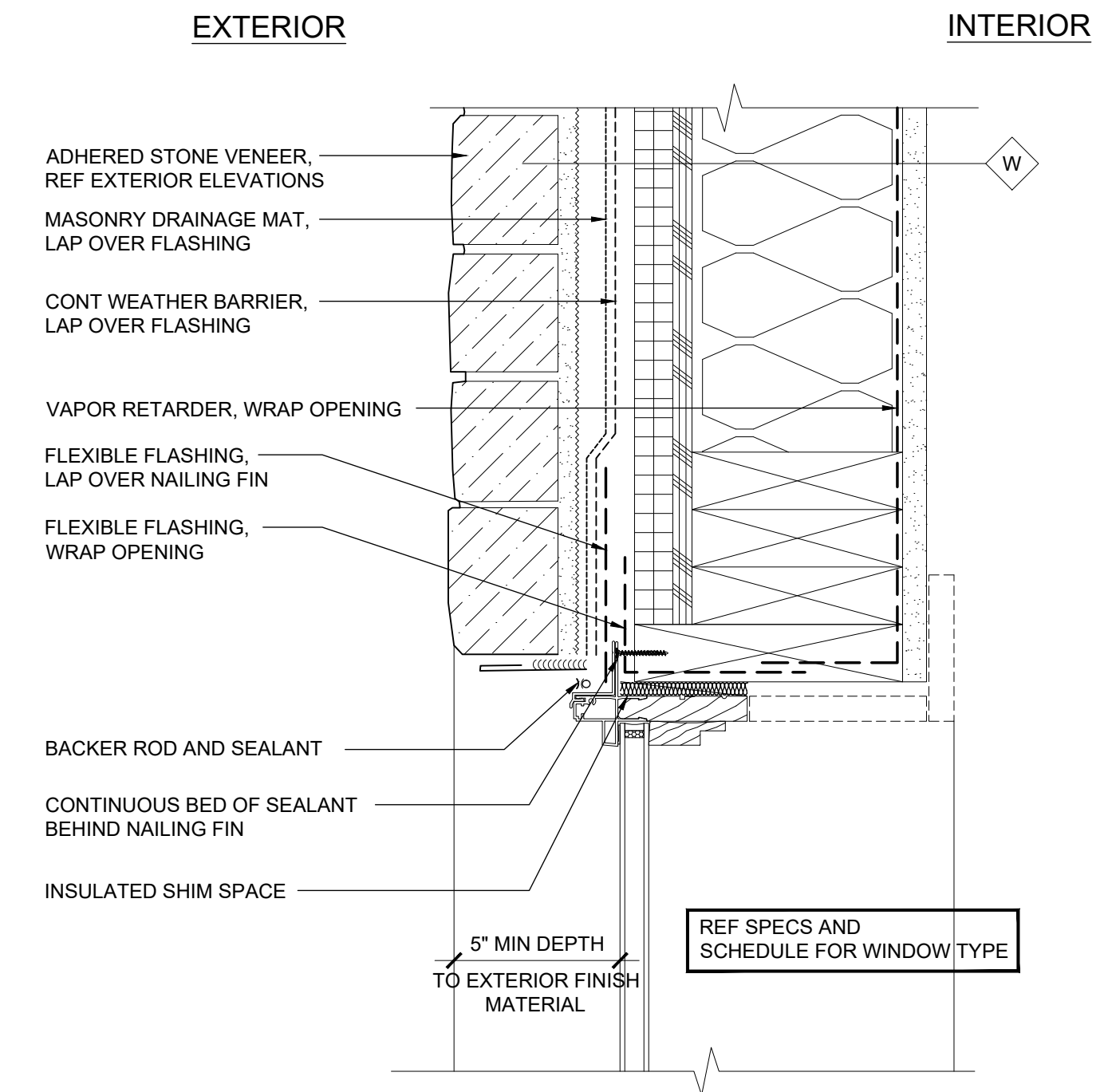
1. SEE FLOOR PLANS AND ELEVATIONS FOR WINDOW TAGS.
2. SEE ELEVATIONS FOR OPERATORS AND SWING INFORMATION.
3. WINDOW DIMENSIONS INDICATE UNIT DIMENSIONS - ROUGH OPENINGS TO BE PROVIDED BY WINDOW MANUFACTURER.
4. HEAD HEIGHTS TAKEN FROM TOP OF FINISHED FLOOR.
5. "PLATE" DESIGNATES PLATE GLASS, AND "TEMP" DESIGNATES TEMPERED GLASS - SEE SPECIFICATIONS FOR GLAZING SYSTEM.
6. PROVIDE WINDOW LIMITING DEVICES AT ALL OPERABLE UNITS WITH SILLS LESS THAN 36 INCHES, WHEN SILLS ARE 72 INCHES OR MORE ABOVE EXTERIOR GRADE.

WINDOW DETAIL GENERAL NOTES:

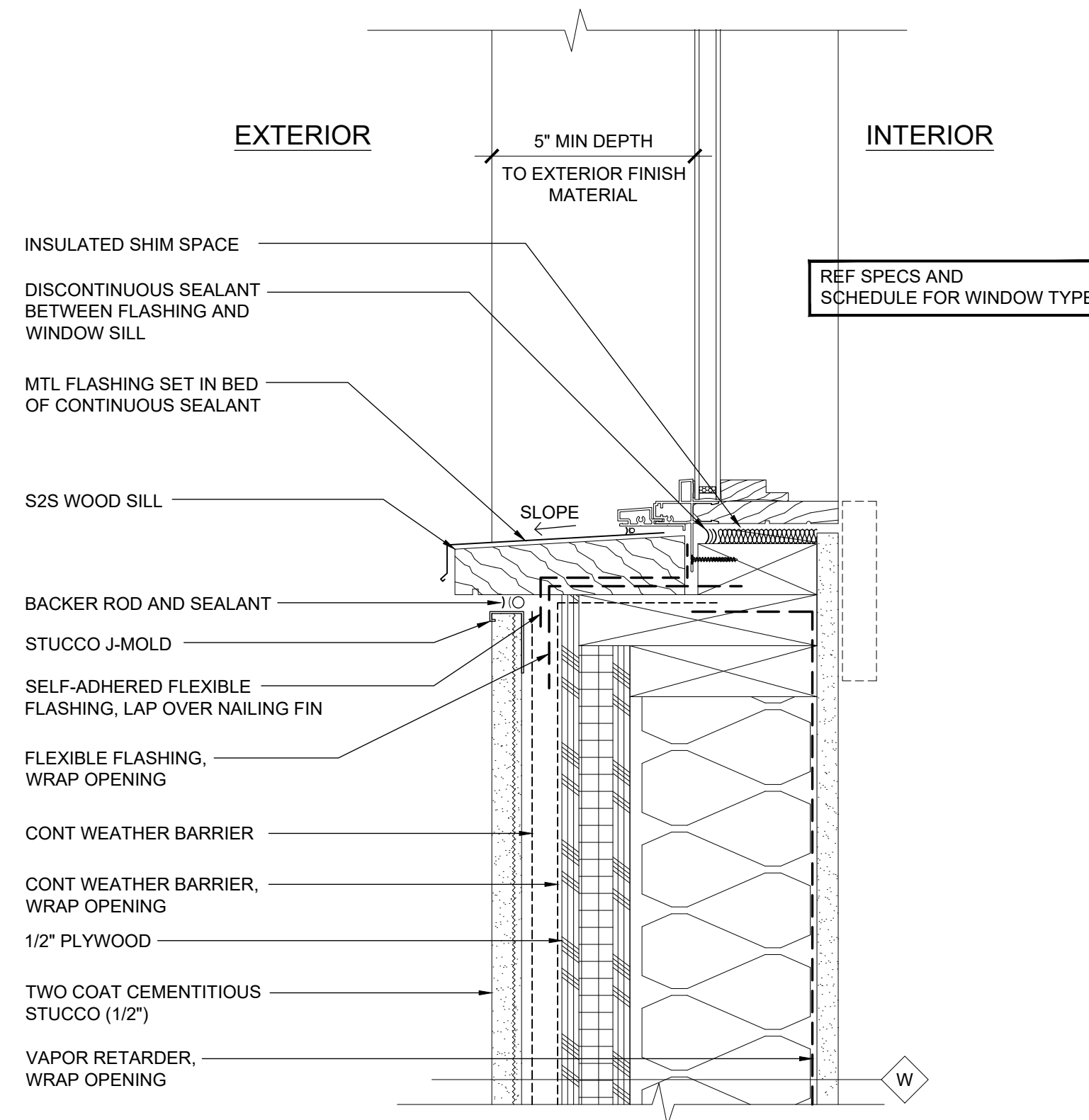
1. WEATHER BARRIER AND FLASHING LINES ARE SHOWN OFFSET FOR CLARITY, TYPICAL



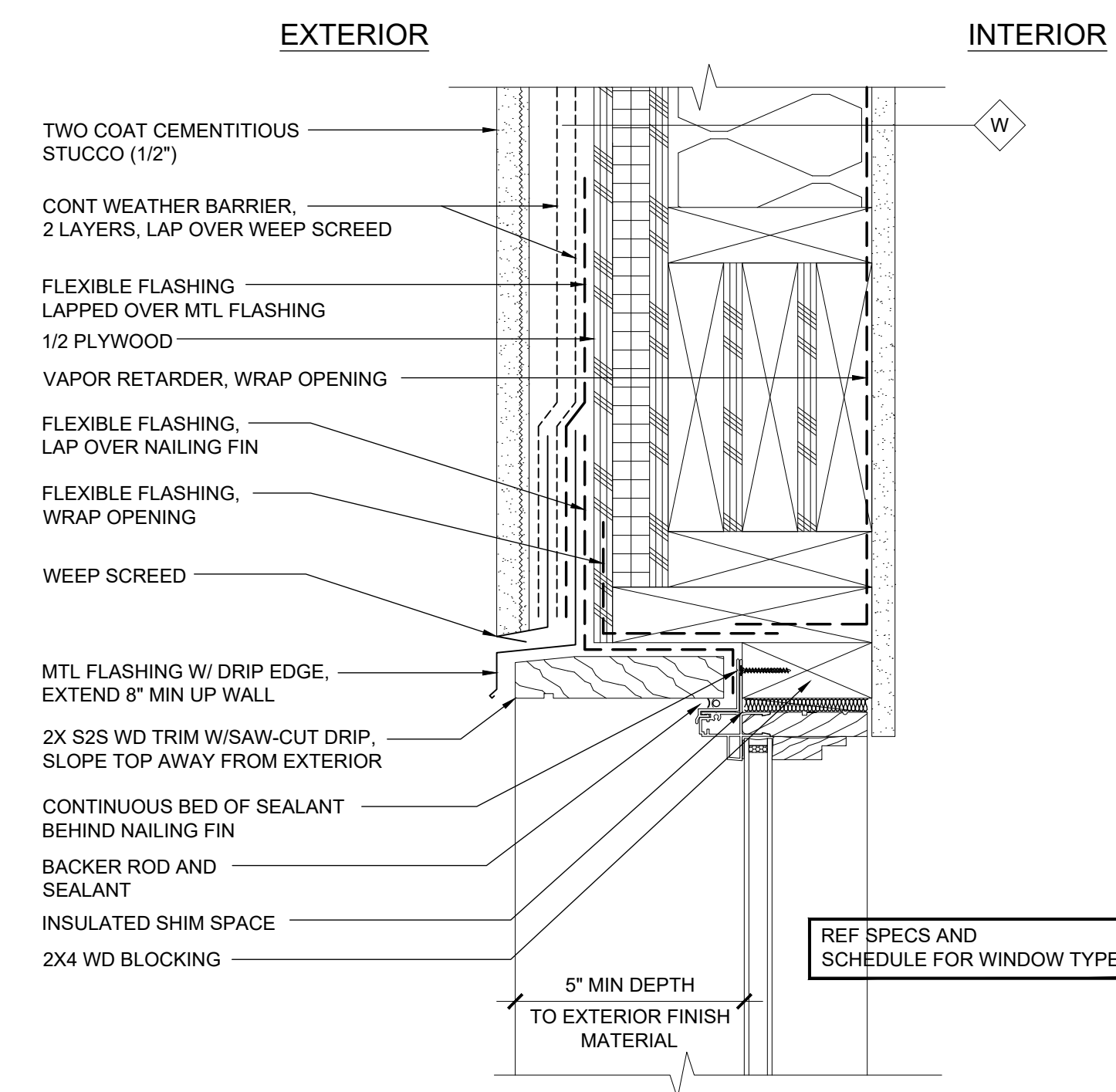
5 WINDOW JAMB AT CEMENTITIOUS STUCCO
A5.7 3'-1'-0"



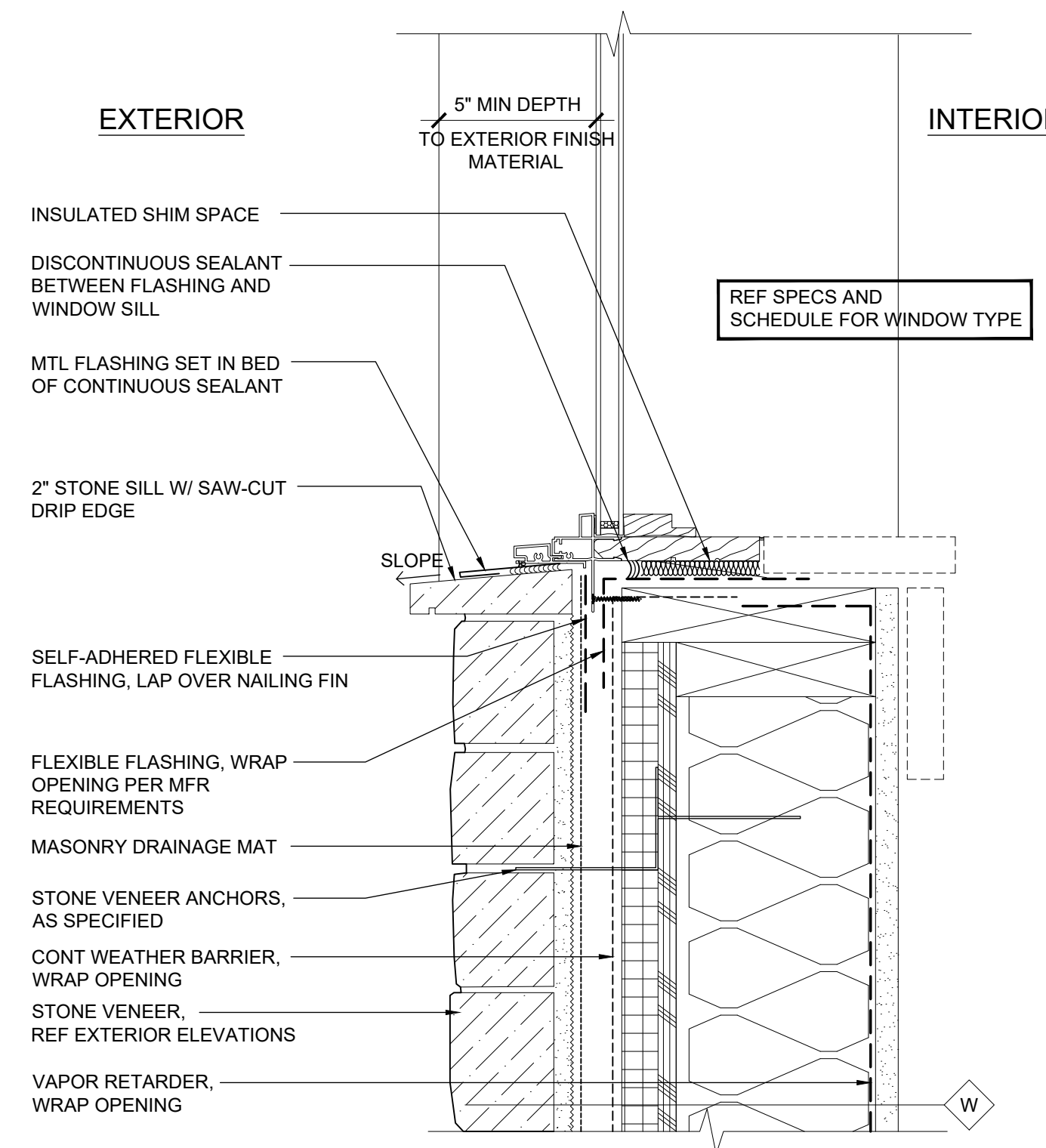
2 WINDOW JAMB AT STONE
A5.7 3'-1'-0"



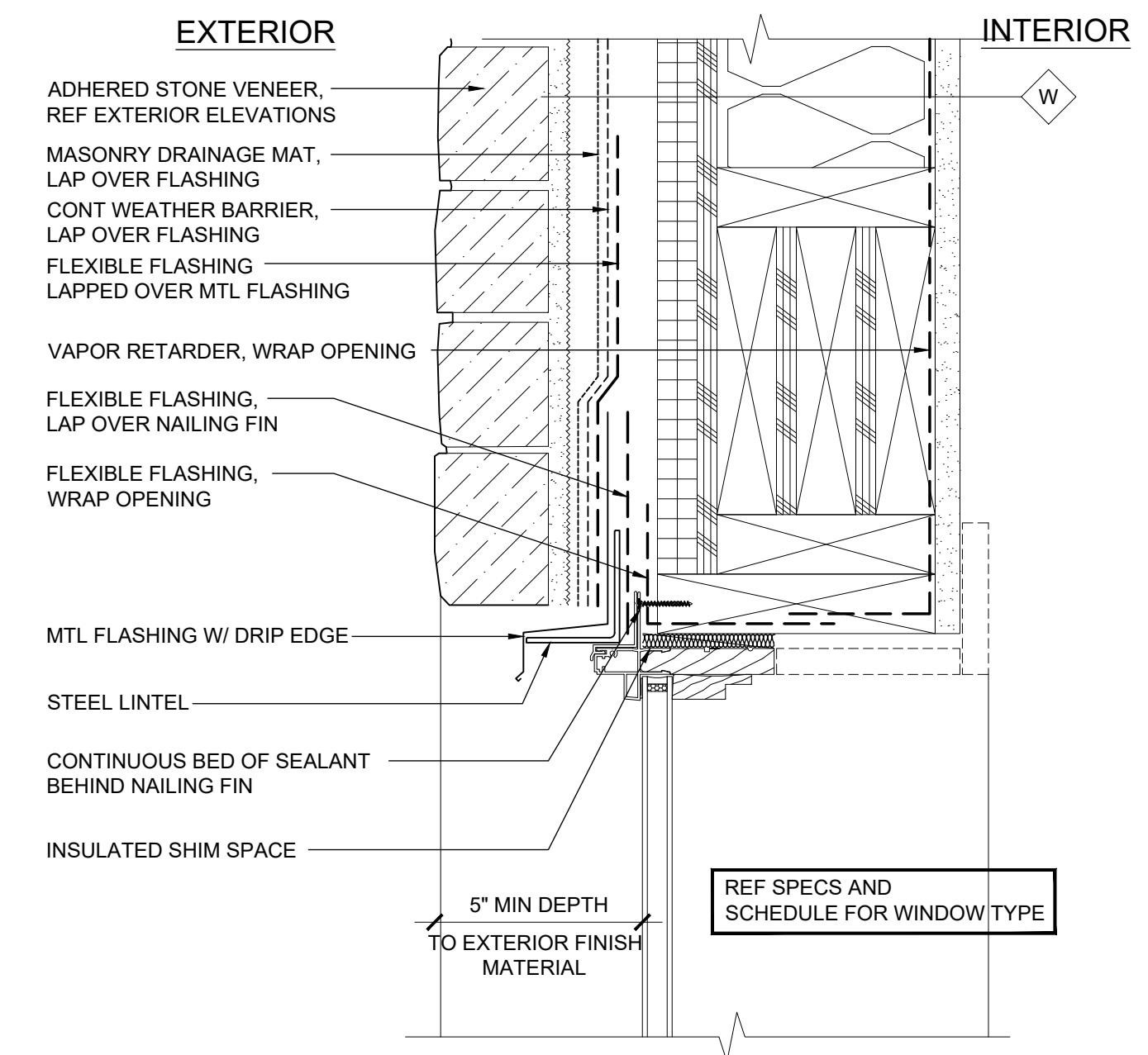
6 WINDOW SILL AT CEMENTITIOUS STUCCO
A5.7 3'-1'-0"



4 WINDOW HEAD AT CEMENTITIOUS STUCCO
A5.7 3'-1'-0"



3 WINDOW SILL AT STONE
A5.7 3'-1'-0"



1 WINDOW HEAD AT STONE
A5.7 3'-1'-0"

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WINDOW DETAILS

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY X	CHK BY X
	TRV BY X

SHEET No.
A5.70
SCALE: AS SHOWN

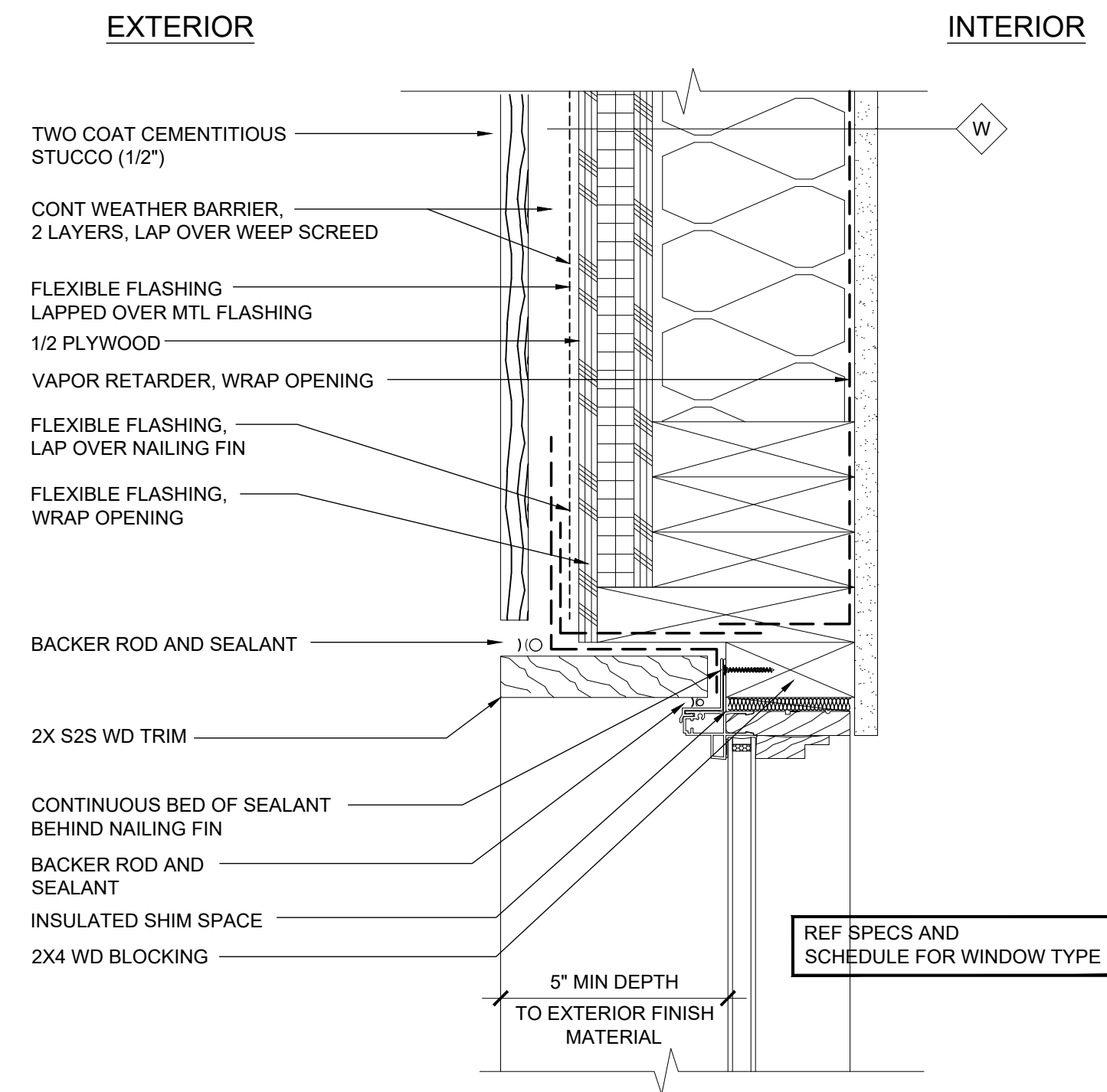
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WINDOW SCHEDULE GENERAL NOTES:

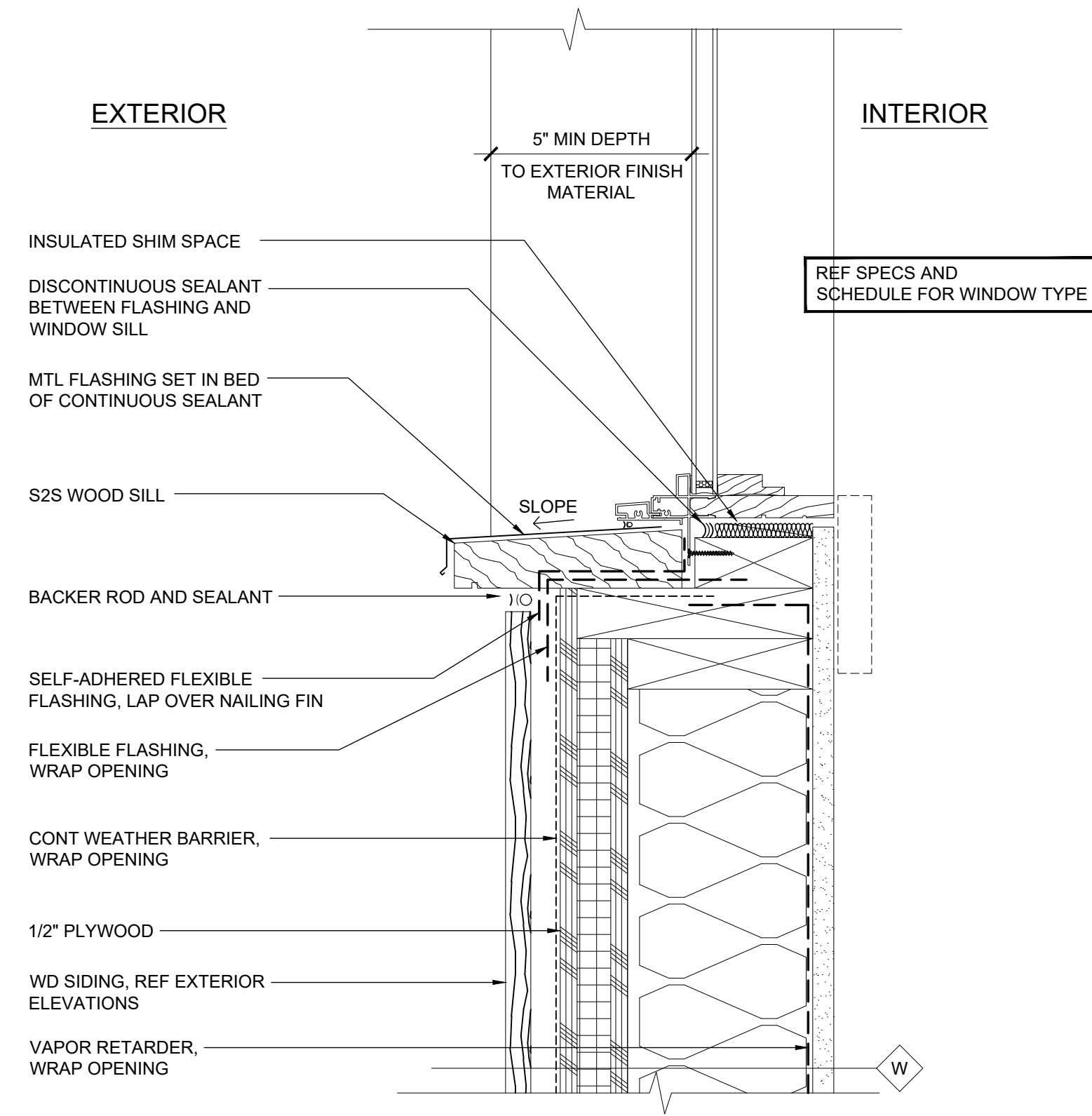
1. SEE FLOOR PLANS AND ELEVATIONS FOR WINDOW TAGS.
2. SEE ELEVATIONS FOR OPERATORS AND SWING INFORMATION.
3. WINDOW DIMENSIONS INDICATE UNIT DIMENSIONS - ROUGH OPENINGS TO BE PROVIDED BY WINDOW MANUFACTURER.
4. HEAD HEIGHTS TAKEN FROM TOP OF FINISHED FLOOR.
5. "PLATE" DESIGNATES PLATE GLASS, AND "TEMP" DESIGNATES TEMPERED GLASS - SEE SPECIFICATIONS FOR GLAZING SYSTEM.
6. PROVIDE WINDOW LIMITING DEVICES AT ALL OPERABLE UNITS WITH SILLS LESS THAN 36 INCHES, WHEN SILLS ARE 72 INCHES OR MORE ABOVE EXTERIOR GRADE.

WINDOW DETAIL GENERAL NOTES:

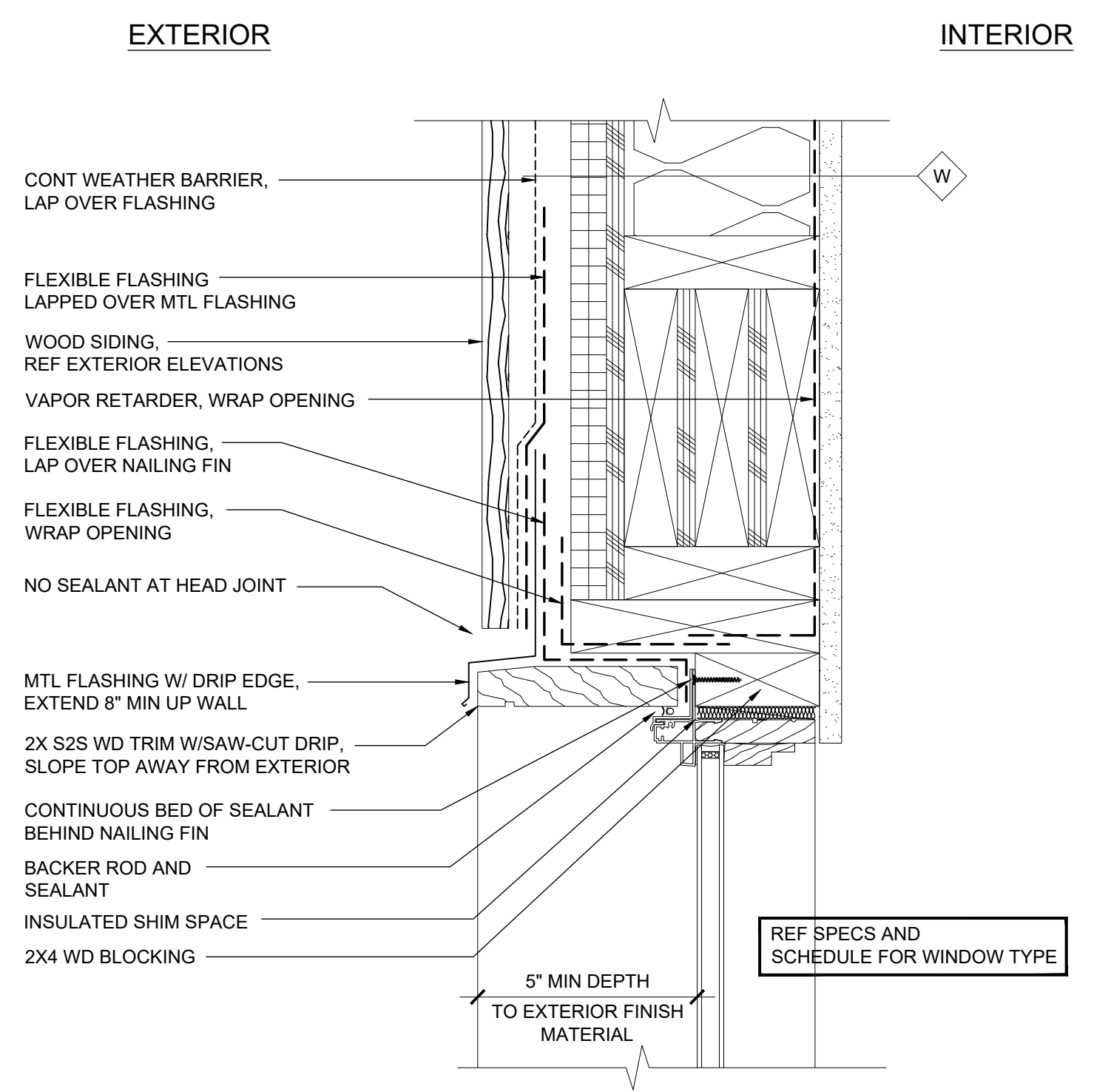
1. WEATHER BARRIER AND FLASHING LINES ARE SHOWN OFFSET FOR CLARITY, TYPICAL



2 WINDOW JAMB AT WOOD SIDING
A5.71 3"=1'-0"



3 WINDOW SILL AT WOOD SIDING
A5.71 3"=1'-0"



1 WINDOW HEAD AT WOOD SIDING
A5.71 3"=1'-0"

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192733.00	03/23/2021

DRAWN BY	CHK BY	TRV BY
X	X	X

WINDOW DETAILS

SHEET No.
A5.71
SCALE: AS SHOWN

WINDOW SCHEDULE GENERAL NOTES:

1. SEE FLOOR PLANS AND ELEVATIONS FOR WINDOW TAGS.
2. SEE ELEVATIONS FOR OPERATORS AND SWING INFORMATION.
3. WINDOW DIMENSIONS INDICATE UNIT DIMENSIONS - ROUGH OPENINGS TO BE PROVIDED BY WINDOW MANUFACTURER.
4. HEAD HEIGHTS TAKEN FROM TOP OF FINISHED FLOOR.
5. "PLATE" DESIGNATES PLATE GLASS, AND "TEMP" DESIGNATES TEMPERED GLASS - SEE SPECIFICATIONS FOR GLAZING SYSTEM.
6. PROVIDE WINDOW LIMITING DEVICES AT ALL OPERABLE UNITS WITH SILLS LESS THAN 36 INCHES, WHEN SILLS ARE 72 INCHES OR MORE ABOVE EXTERIOR GRADE.

WINDOW DETAIL GENERAL NOTES:

1. WEATHER BARRIER AND FLASHING LINES ARE SHOWN OFFSET FOR CLARITY, TYPICAL

WINDOW SCHEDULE									
TAG	TYPE	OPERATOR	SIZE W	WDW CONST	DETAIL			GLAZING	REMARKS
					HEAD	JAMB	SILL		
A-200	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
A-201	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
A-202	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
A-203	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
A-204	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
A-205	--	Casement	4'-0"	Metal Clad	-	-	-	Plate	None
A-206	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
A-207	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
A-208	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
A-209	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
A-210	--	Casement	4'-0"	Metal Clad	-	-	-	Plate	None
A-210A	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
A-211	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
A-212	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
A-213	--	Casement	4'-6"	Metal Clad	-	-	-	Plate	None
A-214	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
A-215	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
A-216	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
A-217	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
A-218	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
B-200	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
B-201	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
B-202	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
B-203	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
B-206	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
B-207	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
B-208	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
B-209	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
B-210	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
B-211	--	Casement	1'-6"	Metal Clad	-	-	-	Plate	None
B-212	--	Casement	3'-0"	Metal Clad	--	--	--	Plate	None
C-200	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
D-200	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
D-201	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
D-202	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
D-203	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
D-204	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
D-205	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
D-206	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
E-200	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
E-201	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
E-204	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None

3 LEVEL 2 WINDOW SCHEDULE (+35)

A5.72

F-200	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
F-201	--	Casement	3'-0"	Metal Clad	--	--	--	Plate	None
F-202	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
F-202	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
F-203	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
F-204	--	Casement	3'-0"	Metal Clad	--	--	--	Plate	None
F-205	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
F-206	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
F-207	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
F-208	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
F-209	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
F-210	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
F-211	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-201	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
G-202	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-203	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-204	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-206	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
G-208	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-209	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-210	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-211	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-212	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-213	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-214	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
G-215	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-216	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
G-217	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-218	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-200	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-201	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-202	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-203	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
H-204	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
H-205	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
H-206	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
H-207	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
H-208	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
H-209	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-210	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-211	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
H-212	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-213	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
H-214	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
H-215	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
H-216	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
H-217	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
J-200	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
J-201	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
J-203	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
J-204	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
J-205	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
J-206	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
J-207	--	Casement	3'-0"	Metal Clad	--	--	--	Plate	None
J-208	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None

WINDOW SCHEDULE

TAG	TYPE	OPERATOR	SIZE W	WDW CONST	DETAIL			GLAZING	REMARKS
					HEAD	JAMB	SILL		
B-100	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
B-101	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
B-102	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
B-103	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
B-104	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
B-105	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
B-106	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
B-107	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
B-108	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
B-109	--	Casement	3'-6"	Metal Clad	--	--	--	Plate	None
B-110	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
B-111	--	Casement	1'-6"	Metal Clad	-	-	-	Plate	None
B-112	--	Casement	3'-0"	Metal Clad	--	--	--	Plate	None
C-100	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
F-100	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
F-101	--	Casement	3'-0"	Metal Clad	--	--	--	Plate	None
F-102	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
F-103	--	Casement	2'-6"	Metal Clad	--	--	--	Plate	None
F-104	--	Casement	2'-6"	Metal Clad	--	--	--	Plate	None
G-113	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-102	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
J-100	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
J-101	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
J-102	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
J-103	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
J-104	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
J-105	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
J-106	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
J-107	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
K-100	--	Casement	2'-6"	Metal Clad	--	--	--	Plate	None
K-101	--	Casement	2'-6"	Metal Clad	--	--	--	Plate	None
K-102	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None

2 LEVEL 1 WINDOW SCHEDULE (+24)

A5.72

WINDOW SCHEDULE

TAG	TYPE	OPERATOR	SIZE W	WDW CONST	HEAD	JAMB	SILL	GLAZING	REMARKS
B-002	--	Fixed	2'-0"	Metal Clad	-	-	-	Plate	None
B-003	--	Fixed	2'-0"	Metal Clad	-	-	-	Plate	None
B-004	--	Fixed	2'-0"	Metal Clad	-	-	-	Plate	None
B-005	--	Fixed	3'-0"	Metal Clad	-	-	-	Plate	None
B-006	--	Fixed	3'-0"	Metal Clad	-	-	-	Plate	None
B-007	--	Fixed	3'-0"	Metal Clad	-	-	-	Plate	None
B-008	--	Fixed	1'-6"	Metal Clad	-	-	-	Plate	None
J-001	--	Fixed	3'-0"	Metal Clad	-	-	-	Plate	None
J-002	--	Fixed	2'-6"	Metal Clad	-	-	-	Plate	None

1 LEVEL 0 WINDOW SCHEDULE (+13)

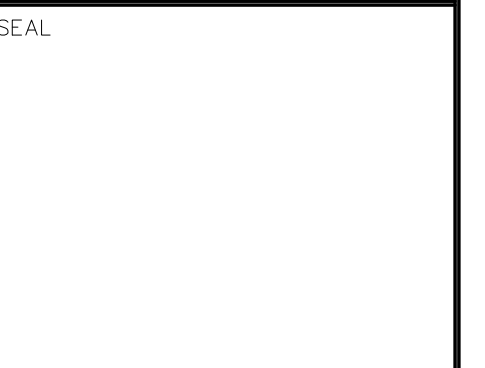
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LOT 30

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ISSUED FOR:		
No.	DATE	COMMENT
A	03/23/2021	DESIGN REVIEW
B	03/30/2021	CONCEPT BUDGETING
C	04/28/2021	DESIGN REVIEW - 1
D	07/01/2021	DESIGN REVIEW - 2
E	07/29/2021	FINAL DESIGN REVIEW

WINDOW SCHEDULE

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY X	CHK BY X
	TRV BY X

SHEET No.
A5.72
SCALE: AS SHOWN

WINDOW SCHEDULE GENERAL NOTES:

1. SEE FLOOR PLANS AND ELEVATIONS FOR WINDOW TAGS.
2. SEE ELEVATIONS FOR OPERATORS AND SWING INFORMATION.
3. WINDOW DIMENSIONS INDICATE UNIT DIMENSIONS - ROUGH OPENINGS TO BE PROVIDED BY WINDOW MANUFACTURER.
4. HEAD HEIGHTS TAKEN FROM TOP OF FINISHED FLOOR.
5. "PLATE" DESIGNATES PLATE GLASS, AND "TEMP" DESIGNATES TEMPERED GLASS - SEE SPECIFICATIONS FOR GLAZING SYSTEM.
6. PROVIDE WINDOW LIMITING DEVICES AT ALL OPERABLE UNITS WITH SILLS LESS THAN 36 INCHES, WHEN SILLS ARE 72 INCHES OR MORE ABOVE EXTERIOR GRADE.

WINDOW DETAIL GENERAL NOTES:

1. WEATHER BARRIER AND FLASHING LINES ARE SHOWN OFFSET FOR CLARITY, TYPICAL

WINDOW SCHEDULE									
TAG	TYPE	OPERATOR	SIZE	WDW CONST	DETAIL			GLAZING	REMARKS
			W		HEAD	JAMB	SILL		
E-500	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
F-400	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
F-401	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
F-402	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
F-403	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
G-500	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
G-501	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
G-502	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
G-503	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	NONE
G-504	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
G-505	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
G-506	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
G-507	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None

4 LEVEL 5 WINDOW SCHEDULE (+68)
A5.73

WINDOW SCHEDULE									
TAG	TYPE	OPERATOR	SIZE	WDW CONST	DETAIL			GLAZING	REMARKS
			W		HEAD	JAMB	SILL		
A-318A	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
A-404	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
A-411	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
A-412	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
A-413A	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
A-413B	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
A-414	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None

3 LEVEL 4 WINDOW SCHEDULE (+57) (CONT)
A5.73

B-300A	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
B-303A	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
B-307	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
B-404	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
B-405A	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
B-405B	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
B-406	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
C-400	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
C-401	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
C-402	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
C-403	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
D-400	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
D-401	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
D-402	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
D-403	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
D-404	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
D-405	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
F-400	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
F-401	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
F-402	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
F-403	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-313A	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-404	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-405	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
G-406A	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
G-406B	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
G-407	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
H-402	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-403	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
H-404A	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
H-404B	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
H-405	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
H-409	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-413	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-416	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-417	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None

3 LEVEL 4 WINDOW SCHEDULE (+57)
A5.73

WINDOW SCHEDULE									
TAG	TYPE	OPERATOR	SIZE	WDW CONST	DETAIL			GLAZING	REMARKS
			W		HEAD	JAMB	SILL		
A-301	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
A-303	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
A-304	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
A-305	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
A-310	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
A-311	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
A-312	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
A-313	--	Casement	4'-6"	Metal Clad	-	-	-	Plate	None
A-314	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
A-318	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
B-300	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
B-303	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
B-304	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
B-305	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
B-306	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
B-307	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
B-308	--	Casement	4'-0"	Metal Clad	--	--	--	Plate	None
B-309	--	Casement	1'-6"	Metal Clad	--	--	--	Plate	None

3 LEVEL 3 WINDOW SCHEDULE (+46) (CONT)
A5.73

B-310	--	Casement	3'-0"	Metal Clad	--	--	--	Plate	None
C-300	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
C-300	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
C-301	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
D-300	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
D-301	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
D-302	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
D-303	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
D-304	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
D-305	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
D-306	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
E-300	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
E-301	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
E-302	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
E-304	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
F-300	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
F-301	--	Casement	3'-0"	Metal Clad	--	--	--	Plate	None
F-302	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
F-303	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
F-304	--	Casement	3'-0"	Metal Clad	--	--	--	Plate	None
F-305	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
F-306	--	Casement	4'-0"	Metal Clad	-	-	-	Plate	None
F-307	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
F-308	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
F-309	--	Casement	1'-6"	Metal Clad	--	--	--	Plate	None
G-301	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-304	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-305	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
G-306	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-307	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
G-308	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-309	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-310	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
G-311	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-312	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-313	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-314	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
G-315	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
G-316	--	Casement	2'-0"	Metal Clad	-	-	-	Plate	None
G-317	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-300	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
H-301	--	Casement	3'-0"	Metal Clad	-	-	-	Plate	None
H-302	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-303	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-304	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-305	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-306	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-307	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-308	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-309	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-310	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-315	--	Casement	3'-6"	Metal Clad	-	-	-	Plate	None
H-316	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
H-317	--	Casement	2'-6"	Metal Clad	-	-	-	Plate	None
J-300	--	Casement	3'-0"	Metal Clad	--	--	--	Plate	None
J-301	--	Casement	3'-0"	Metal Clad	--	--	--	Plate	None
J-302	--	Casement	3'-0"	Metal Clad	--	--	--	Plate	None
J-303	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
J-304	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
J-305	--	Casement	4'-0"	Metal Clad	--	--	--	Plate	None
J-306	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
J-307	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
J-308	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
J-309	--	Casement	3'-0"	Metal Clad	--	--	--	Plate	None
J-310	--	Casement	2'-0"	Metal Clad	--	--	--	Plate	None
K-300	--	Casement	2'-6"	Metal Clad	--	--	--	Plate	None

1 LEVEL 3 WINDOW SCHEDULE (+46)
A5.73

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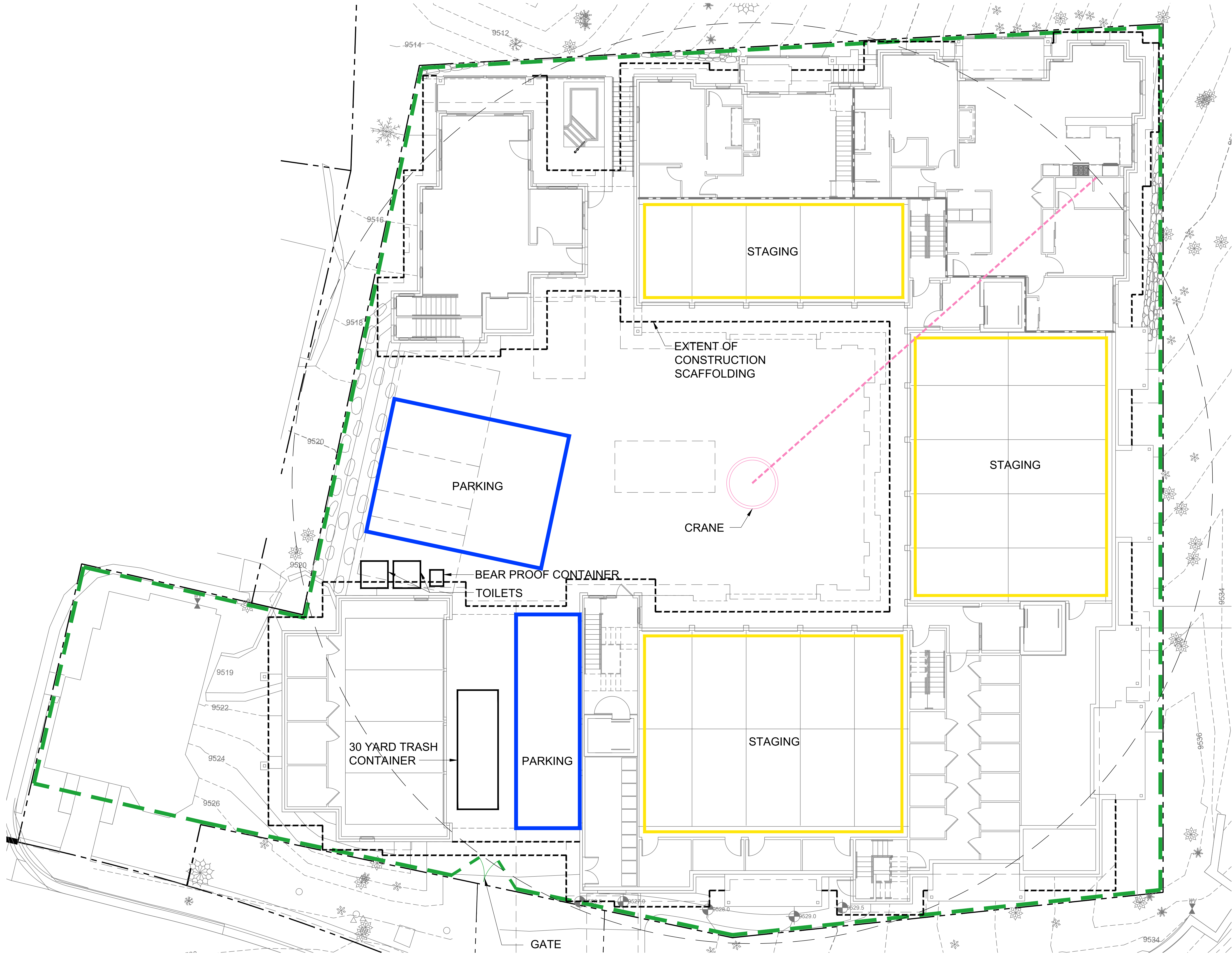
WINDOW SCHEDULE

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY X	CHK BY X
	TRV BY X

SHEET No.
A5.73
SCALE: AS SHOWN

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- LEGEND**
- CONSTRUCTION EXTENTS / FENCING
 - PARKING
 - STAGING AREA
 - CRANE AND EXTENTS
 - EXTENT OF CONSTRUCTION

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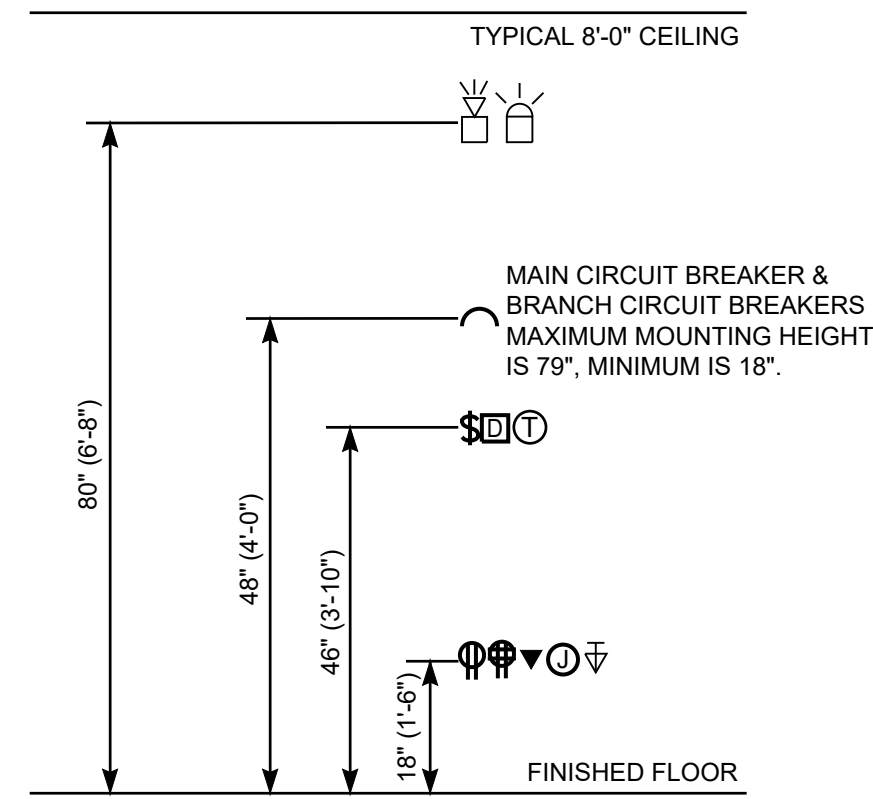
No.	DATE	COMMENT
A	03/23/2021	DESIGN REVIEW
B	03/09/2021	CONCEPT BUDGETING
C	04/28/2021	DESIGN REVIEW - 1
D	07/01/2021	DESIGN REVIEW - 2
E	07/29/2021	FINAL DESIGN REVIEW

**CONST
 MANAGEMENT
 PLAN**

PROJECT No. 192733.00	DATE 03/23/2021
DRAWN BY X	CHK BY X
	TRV BY X

SHEET No.
CMP1.0
 SCALE: AS SHOWN

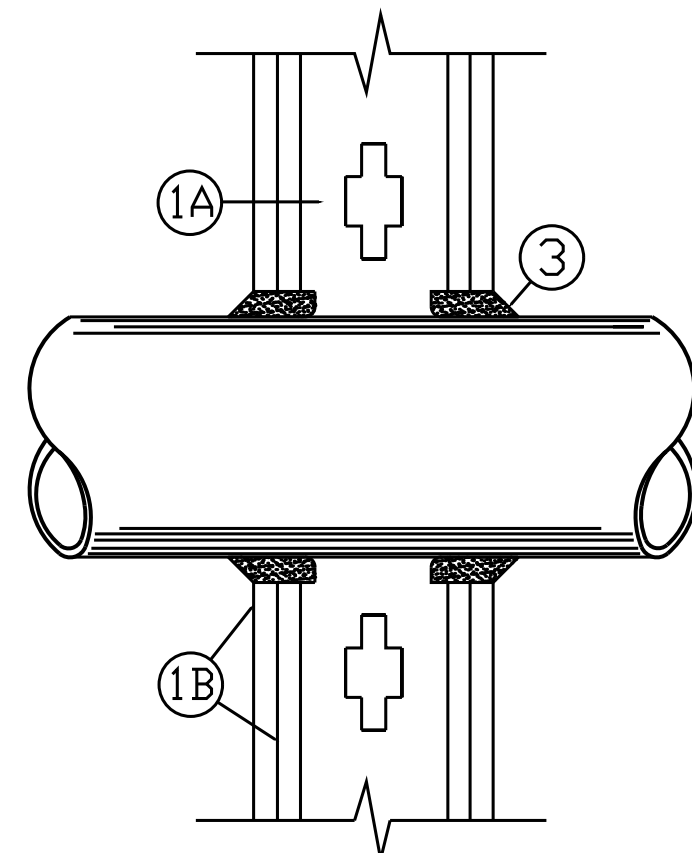
1 CONSTRUCTION MANAGEMENT PLAN
 CMP1.0 1/8"=1'-0"



TYPICAL DEVICE MOUNTING HEIGHTS

NO SCALE

- NOTES:
- HEIGHTS SHOWN ARE TYPICAL TO CENTERLINE OF BOX UNLESS NOTED OTHERWISE.
 - DEVICES ABOVE DOORS SHALL BE CENTERED BETWEEN TOP OF DOOR TRIM AND CEILING LINE.
 - MOUNTING HEIGHTS SHOWN ON ARCHITECTURAL ELEVATIONS AND NOTED ON ELECTRICAL FLOOR PLANS SHALL GOVERN OVER THOSE SHOWN ABOVE.
 - FOR CEILING HEIGHTS HIGHER THAN 7'-2", INSTALL FIRE ALARM NOTIFICATION AUDIO AND VISUAL APPLIANCES AT 80" AFF OTHERWISE INSTALL AT 6" BELOW CEILING.
 - MOUNTING HEIGHTS PER IBC AND ADA CODES



Max Pipe or Conduit Diam in. (mm)	F Rating Hr	T Rating Hr
1 (25)	1 or 2	0+, 1 or 2
1 (25)	3 or 4	3 or 4
4 (102)	1 or 2	0
6 (152)	3 or 4	0
12 (305)	1 or 2	0

PENETRATION THROUGH A FIRE-RATED WALL

NO SCALE

1. WALL ASSEMBLY - THE 1, 2, 3 OR 4 HR FIRE-RATED GYPSUM WALLBOARD/STUD WALL ASSEMBLY SHALL BE CONSTRUCTED OF THE MATERIALS AND IN THE MANNER DESCRIBED IN THE INDIVIDUAL U300 OR U400 SERIES WALL OR PARTITION DESIGNS IN THE UL FIRE RESISTANCE DIRECTORY AND SHALL INCLUDE THE FOLLOWING CONSTRUCTION FEATURES:

- A. STUDS** - WALL FRAMING MAY CONSIST OF EITHER WOOD STUDS (MAX 2 HR FIRE RATED ASSEMBLIES) OR STEEL CHANNEL STUDS. WOOD STUDS TO CONSIST OF NOM 2 BY 4 IN. (51 BY 102 MM) LUMBER SPACED 16 IN. (406 MM) OC WITH NOM 2 BY 4 IN. (51 BY 102 MM) LUMBER END PLATES AND CROSS BRACES. STEEL STUDS TO BE MIN 3-5/8 IN. (92 MM) WIDE BY 1-3/8 IN. (35 MM) DEEP CHANNELS SPACED MAX 24 IN. (610 MM) OC.
- B. GYPSUM BOARD** - NOM 1/2 OR 5/8 IN. (13 OR 16 MM) THICK, 4 FT. (122 CM) WIDE WITH SQUARE OR TAPERED EDGES. THE GYPSUM WALLBOARD TYPE, THICKNESS, NUMBER OF LAYERS, FASTENER TYPE AND SHEET ORIENTATION SHALL BE AS SPECIFIED IN THE INDIVIDUAL U300 OR U400 SERIES DESIGN IN THE UL FIRE RESISTANCE DIRECTORY. MAX DIAM OF OPENING IS 26 IN. (660 MM).

2. THROUGH PENETRANT - ONE CONDUIT INSTALLED EITHER CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRESTOP SYSTEM. THE ANNULAR SPACE BETWEEN PIPE, CONDUIT OR TUBING AND PERIPHERY OF OPENING SHALL BE MIN OF 0 IN. (0 MM) (POINT CONTACT) TO MAX 2 IN. (51 MM). PIPE, CONDUIT OR TUBING TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF WALL ASSEMBLY. THE FOLLOWING TYPES AND SIZES OF METALLIC PIPES, CONDUITS OR TUBINGS MAY BE USED:

A. CONDUIT - NOM 6 IN. (152 MM) DIAM (OR SMALLER) STEEL CONDUIT OR NOM 4 IN. (102 MM) DIAM (OR SMALLER) STEEL ELECTRICAL METALLIC TUBING

3. FILL, VOID OR CAVITY MATERIAL* - CAULK OR SEALANT - MIN 5/8, 1-1/4, 1-7/8 AND 2-1/2 IN. (16, 32, 48 AND 64 MM) THICKNESS OF CAULK FOR 1, 2, 3 AND 4 HR RATED ASSEMBLIES, RESPECTIVELY, APPLIED WITHIN ANNULUS. FLUSH WITH BOTH SURFACES OF WALL. MIN 1/4 IN. (6 MM) DIAM BEAD OF CAULK APPLIED TO GYPSUM BOARD/PENETRANT INTERFACE AT POINT CONTACT LOCATION ON BOTH SIDES OF WALL. THE HOURLY F RATING OF THE FIRESTOP SYSTEM IS DEPENDENT UPON THE HOURLY FIRE RATING OF THE WALL ASSEMBLY IN WHICH IT IS INSTALLED, AS SHOWN IN THE FOLLOWING TABLE. THE HOURLY T RATING OF THE FIRESTOP SYSTEM IS DEPENDENT UPON THE TYPE OR SIZE OF THE PIPE OR CONDUIT AND THE HOURLY FIRE RATINGS OF THE WALL ASSEMBLY IN WHICH IT IS INSTALLED, AS TABULATED TO THE LEFT.

3M COMPANY - CP 25WB+ CAULK OR FB-3000 WT SEALANT.

*BEARING THE UL CLASSIFICATION MARKING

ELECTRICAL LEGEND

(NOT ALL SYMBOLS REQUIRED FOR THIS PROJECT)

<ul style="list-style-type: none"> RECESSED OR SURFACE DOWNLIGHT WALL MOUNTED LIGHT FIXTURE RECESSED FLUOR. LIGHT FIXTURE SURFACE FLUOR. LIGHT FIXTURE FIXTURE DESIGNATIONS: <ul style="list-style-type: none"> UPPER CASE - FIXTURE TYPE LOWER CASE - SWITCH DESIGNATION SHADING ON FIXTURE INDICATES EMERG. BATTERY BACKUP FLUORESCENT STRIP FIXTURE TRACK LIGHT AS NOTED OR SCHEDULED WALL WASHER POLE MOUNTED FIXTURE POST (BOLLARD) FIXTURE STEP LIGHT CEILING OR WALL MOUNTED EXIT LIGHT EMERGENCY BATTERY LIGHTS DUPLEX RECEPTACLE @ 18" UNLESS NOTED DOUBLE DUPLEX RECEPTACLE @ 18" UNLESS NOTED FLUSH FLOOR DUPLEX RECEPTACLE SPECIAL OUTLET AS NOTED DUPLEX RECEPTACLE HALF-SWITCHED @ 18" UNLESS NOTED POP-UP RECEPTACLE TELE-POWER POLE MULTI-OUTLET PLUG STRIP JUNCTION BOX IN FLOOR, CEILING OR IN WALL COMPUTER/TELEPHONE OUTLET IN FLOOR OR WALL TELEVISION OUTLET TELEPHONE BACKBOARD CONDUIT RUN CONCEALED IN WALL OR ABOVE CEILING CIRCUIT HOMERUN CONDUIT RUN BELOW FLOOR OR GRADE CONDUIT STUB-UP - CAP & MARK LIGHT SWITCH AT 48" UNLESS NOTED SUBSCRIPTS: <ul style="list-style-type: none"> 2 = 2-POLE SWITCH 3 = 3-WAY SWITCH 4 = 4-WAY SWITCH M = MOTION-OPERATED SWITCH K = KEY-OPERATED SWITCH TO = THERMAL OVERLOAD SWITCH P = SWITCH WITH PILOT LIGHT DIMMER SWITCH W/ WATTAGE PUSHBUTTON CONTROL STATION PHOTOELECTRIC CELL TIME SWITCH THERMOSTAT AT 60" UNLESS NOTED DIVISION 15 EQUIPMENT FOOD SERVICE EQUIPMENT 	<ul style="list-style-type: none"> ABBREVIATIONS AC - ABOVE COUNTER AFF - ABOVE FINISHED FLOOR AFG - ABOVE FINISHED GRADE AHJ - AUTHORITY HAVING JURISDICTION AL - ALUMINUM CU - COPPER EC - ELECTRICAL CONTRACTOR EM - EMERGENCY GC - GENERAL CONTRACTOR GND - GROUND GFI - GROUND FAULT INTERRUPTER MC - MECHANICAL CONTRACTOR NIC - NOT IN CONTRACT NL - NIGHT LIGHT NTS - NOT TO SCALE PC - PLUMBING CONTRACTOR REF - REFERENCE UG - UNDERGROUND UNO - UNLESS NOTED OTHERWISE UTP - UNSHIELDED TWISTED PAIR WP - WEATHER PROOF XFMR - TRANSFORMER +18" - MOUNTING HEIGHT TO CENTERLINE OF DEVICE AFF OR AFG
<ul style="list-style-type: none"> COMMUNICATION SYSTEM SPEAKER IN CEILING OR WALL VOLUME CONTROL AT 60" UNLESS NOTED MICROPHONE OUTLET IN FLOOR BOX OR WALL CALL-IN SWITCH PROGRAM BELL INTERCOM CLOCK AMPLIFIER 	<ul style="list-style-type: none"> FIRE ALARM SYSTEM FACP - FIRE ALARM CONTROL PANEL ANN - FIRE ALARM ANNUNCIATOR PANEL ALARM HORN OR SPEAKER COMBINATION HORN/STROBE OR SPEAKER/STROBE THERMAL HEAT DETECTOR SMOKE/IONIZATION DETECTOR PHOTOELECTRIC SMOKE DETECTOR HEAT/PHOTOELECTRIC SMOKE DETECTOR DUCT DETECTOR SPRINKLER SYSTEM FLOW SWITCH SPRINKLER SYSTEM TAMPER SWITCH STROBE SMOKE/FIRE DAMPER CONNECTION REMOTE INDICATOR LIGHT
	<ul style="list-style-type: none"> SECURITY SYSTEM CONTACT DOOR SWITCH IN JAMB OR HINGE INTRUSION MOTION DETECTOR AS SPECIFIED, CORRIDOR/ROOM C OR R KEY-OPERATED ACCESS SWITCH SURVEILLANCE CAMERA
	<ul style="list-style-type: none"> DISTRIBUTION EQUIPMENT SYMBOLS DISCONNECT SWITCH FUSES CIRCUIT BREAKER CURRENT TRANSFORMER TRANSFORMER METER MAGNETIC MOTOR STARTER DISCONNECT SWITCH PANELBOARD OR LOAD CENTER, FLUSH OR SURFACE MOUNTED SWITCHBOARD, MOTOR CONTROL CENTER OR DISTRIBUTION BOARD TRANSFORMER GROUND CIRCUIT BREAKER MOTOR OUTLET AUTOMATIC TRANSFER SWITCH

ELECTRICAL SPECIFICATIONS

A. General Requirements

- SCOPE: Furnish all materials and labor required to execute this work as indicated on drawing and as specified, as necessary to complete the contract. Electrical work shall include, but not limited to, these major items:
 - Complete wiring system for new lighting and power as shown, including new panelboards, new conduits, new wires, new wiring devices, new control devices, etc. for a complete lighting and power system.
 - Complete feeder(s) installation as required for new and/or electrical apparatus as shown on single line diagram and drawings.
 - Complete branch circuit wiring required for the connection of emergency lighting and exit signs to existing emergency stand by power system.
 - Complete provision, installation and connection of lighting fixtures, exit signs and lamps as specified and as shown on drawings.
 - Fire alarm system will be by electrical contractor.
 - Complete connection of HVAC/Plumbing motor(s), water heater(s), equipment, etc. furnish by mechanical - refer to both electrical and mechanical drawing for scope and work and additional information.
 - Provide grounding and bonding Facilities.
 - Complete all electrical demolition as required.
 - Core drilling and patching of existing building structure required for electrical work. Core drilling shall follow Building Standard procedures and contractor shall have written approvals from building owner prior to start of any work.
 - Test of entire system and work.
 - Operating, Maintenance and identification instructions manuals, if any.
 - PERMITS AND FEES: Obtain and pay for all necessary permits, inspections, examinations and fees or charges necessary for execution and completion of electrical work.
- REGULATIONS AND CODES:
 - Applicable codes: National Electric Code (Most Recent Edition) Conform to the prevailing edition and amendments thereto of the local jurisdiction's electrical code, pertinent NFPA publications and to the requirements of Federal, State or other City agencies having jurisdiction.
- SHOP DRAWINGS AND SUBMITTAL:
 - Contractor shall submit shop drawings for engineer review and approval.
 - Shop drawing submittal shall include:
 - Lighting fixtures.
 - Panelboard(s).
- CONDUIT AND WIRE:
 - CONDUCTOR SIZES AND TYPES: For sizes #1/0 AWG and larger, use copper THW or aluminum XHHW. For sizes #1 AWG and smaller, use only copper wire with 600V insulation, types TW, THHN, or THW - stranded in sizes #6 and larger, solid in sizes #10 and smaller. Control wiring shall be #14, stranded. Use type THHN for wires entering or passing through fluorescent lighting fixtures. All motors shall be wired with copper conductors only.
 - MC cable permitted per local codes. Run hard pipe from panel to local junction box, and run MC cable from junction box to device.
 - NM cable permitted per local codes and where installed as required in NEC 334.
- ELECTRICAL DEVICES
 - Convenience receptacles will be 20 amp or 15 amp, decora style. Finish per owner or architect. All dwelling unit receptacles to be tamper-resistant per NEC 406.11.
 - Light switches will be 20amp or 15 amp, decora style. Finish per owner or architect.
 - Dimming switches will be a minimum of 600W or as noted. Provide decora style, finish per owner or architect.
 - All mounting heights will conform to ADA guidelines. Typical receptacle heights will be +18" AFF and switch heights will be +46" AFF unless noted otherwise.

- Provide GFI type receptacles at kitchens, bathrooms, garages, exterior etc. as required by NEC 210.8.
 - Provide AFCI type receptacles at bedrooms, living rooms, dining rooms, hallways etc. as required by NEC 210.12.
 - Exterior weather-proof receptacles in damp or wet locations shall adhere to the requirements shown in NEC 406.9.
- SUPPORT
 - Support all electrical equipment independent of accessible ceilings as required by NEC.
 - ELECTRICAL BOXES
 - At fire rated wall, space electrical boxes at opposite sides of the wall no less than 24" horizontal distance.
 - When phone, TV & power receptacles are shown on plan next to each other. Locate respective receptacles next to each other on site with no more than 1" separating cover plates.
 - METERING
 - EC shall coordinate whether or not meters require lever bypass with local utility and provide all meters with a lever bypass when required.

B. Cat 6 Wiring Requirements

- The cabling for voice and data must be continuous, home run, non-spliced, 500 Mhz or better category 6, 4 pair UTP as applicable. Acceptable manufacturers include: Berk-Tek, Belden, Lucent or equivalent.
- Data cable will be colored blue. Voice cable will be colored white.
- The terminations at the station locations must be Category 6, T568B (AT&T) modular RJ-45, 8 pin, 8 conductor, Hubbell, Leviton, or lucent or equivalent jacks, match faceplates to power, color coded for voice and data, match to cable. Outlets will be securely held in place.
- Wall mounted patch panels will be provided.
- All cables will be labeled with self-laminating labels at each cable end, at each patch panel location, and each wall/floor faceplate that has wiring installed. Coordinate numbering scheme with owner.
- Provide plenum rated cable when required by article NEC 300-22.
- All cable above the ceiling must be tied and properly supported with independent hangers. Cable "draped" across ceiling tiles is unacceptable. In the case of "hard" drywall ceilings, adequate support shall be accomplished where reasonably possible.
- Route cables so as not to exceed 90 meters in length. Bidder will identify any cable runs exceeding 90 meters and provide solution to meet the 90 meter requirement.
- All wiring shall be protected from moving mechanical or physical contacts. Cabling shall be free from tension at both ends, as well as through out the length of the run. Splices and bridge taps with cabling are strictly prohibited. Wiring is to be run in cable tray and conduit where specified.
- All connections of twisted wiring shall be made in such a way as to minimize the extent in which each twisted pair is unraveled at the point of its physical termination. No more than .5 inches of exposed untwisted pairs shall be present at these locations.
- Cable bends shall be no less than eight times the cable diameter or 1.00". Cables are to be kept a minimum of 6" from power lines, electric motors, fluorescent fixtures or heat generating devices.
- All cable hangers shall be no more than 48" apart. Contractor shall be familiar and install in accordance with all applicable codes and standards, including NEC, EIA/TIA 568, 569 and 606, and federal, state and local codes. Care must be taken to ensure cables are not kinked, bent beyond limit, overloaded, over-cinched, crushed, improperly untwisted, etc.
- No exposed wiring will be accepted unless approved in writing by the engineer. Cabling shall be in the wall, above the ceiling or where exposed, enclosed within cable trays, raceways or conduit, as specified.
- All cabling shall be bundled and properly secured and terminated.
- The warranty set forth for this system shall consist of a full three (3) years from the date of project completion. The contractor warrants the system to be free of defects of workmanship or products and will inspect and repair the system during this warranty period at no additional cost to the owner. The warranty period shall begin at the point of system acceptance or beneficial use, whichever comes later.

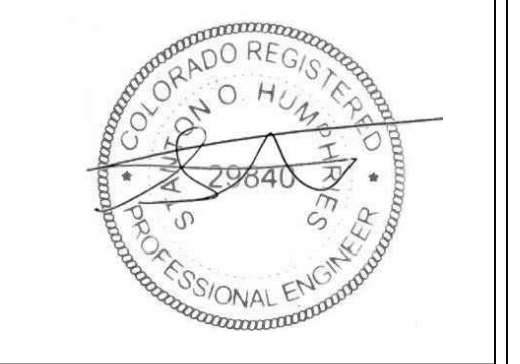
GENERAL NOTES ALL SHEETS

THE ELECTRICAL CONTRACTOR WILL PROVIDE A WALK THROUGH WITH THE OWNER/ARCHITECT PRIOR TO FINAL ROUGH-IN AS FOLLOWS:

- CONFIRM ALL LOCATIONS FOR LIGHT SWITCHES; ADD THREE WAYS IF FOUND NECESSARY.
- REVIEW RECEPTACLE LOCATIONS; MOVE AS REQUIRED. PROVIDE UNIT PRICING IF ADDITIONAL RECEPTACLES ARE REQUIRED.
- REVIEW RECEPTACLE LOCATIONS AT COUNTERS AND CONFIRM IF THOSE RECEPTACLES SHOULD BE ABOVE COUNTER OR BELOW. MOVE AS REQUIRED.

IN GENERAL CONFIRM POWER AND LIGHTING REQUIREMENTS. THE ELECTRICIAN SHOULD BE PREPARED TO REWORK SOME DEVICE LOCATIONS. SIGNIFICANT REWORK SHOULD BE FLAGGED AND UNIT PRICING PROVIDED AND WRITTEN AUTHORIZATION FOR ADDITIONAL COSTS APPROVED PRIOR TO PROCEEDING.

AEC
Architectural Engineering Consultants
Mechanical, Electrical & Lighting Design Services
An Office with LEED™ Accredited Professionals
PO Box 8489, 40801 US Hwy 6 & 24, Ste 214, Avon, Colorado, 81620
Telephone: 970-748-8520
www.aec-vail.com



MOUNTAIN VILLAGE
LOT 30
TELLURIDE, CO

AEC PROJECT #: 21063

DATE:	ISSUE:
07-16-21	PROGRESS
07-21-21	PERMIT

Drawn By: CTL Checked By: SOH

LEGEND,
SPECS,
DETAILS &
ONE-LINE
SCALE 1/8" = 1'-0"

E1.0
1 of 2

GENERAL NOTES:

1. FOOT-CANDLE VALUES SHOWN ON THE ADJACENT PLAN WERE CALCULATED USING DIALUX EVO VER 9.2.
2. ALL EXTERIOR LIGHTS SHALL BE CONTROLLED WITH A PHOTO-SENSOR OR ASTRONOMICAL TIMECLOCK. COORDINATE CONTROLS LOCATION WITH OWNER PRIOR TO ROUGH-IN.
3. COORDINATE POWER CIRCUITING FOR EXTERIOR FIXTURES IN FIELD.
4. PROVIDE IC RATED HOUSING FOR ANY DOWNLIGHT LOCATIONS WHERE THERE IS INSULATION.
5. THIS PLAN DOES NOT SHOW EMERGENCY EGRESS LIGHTING. BATTERIES MAY BE NEEDED TO POWER DURING AN OUTAGE. COORDINATE EMERGENCY EGRESS BATTERIES AS REQUIRED FOR CODE.

LUMINAIRE SCHEDULE

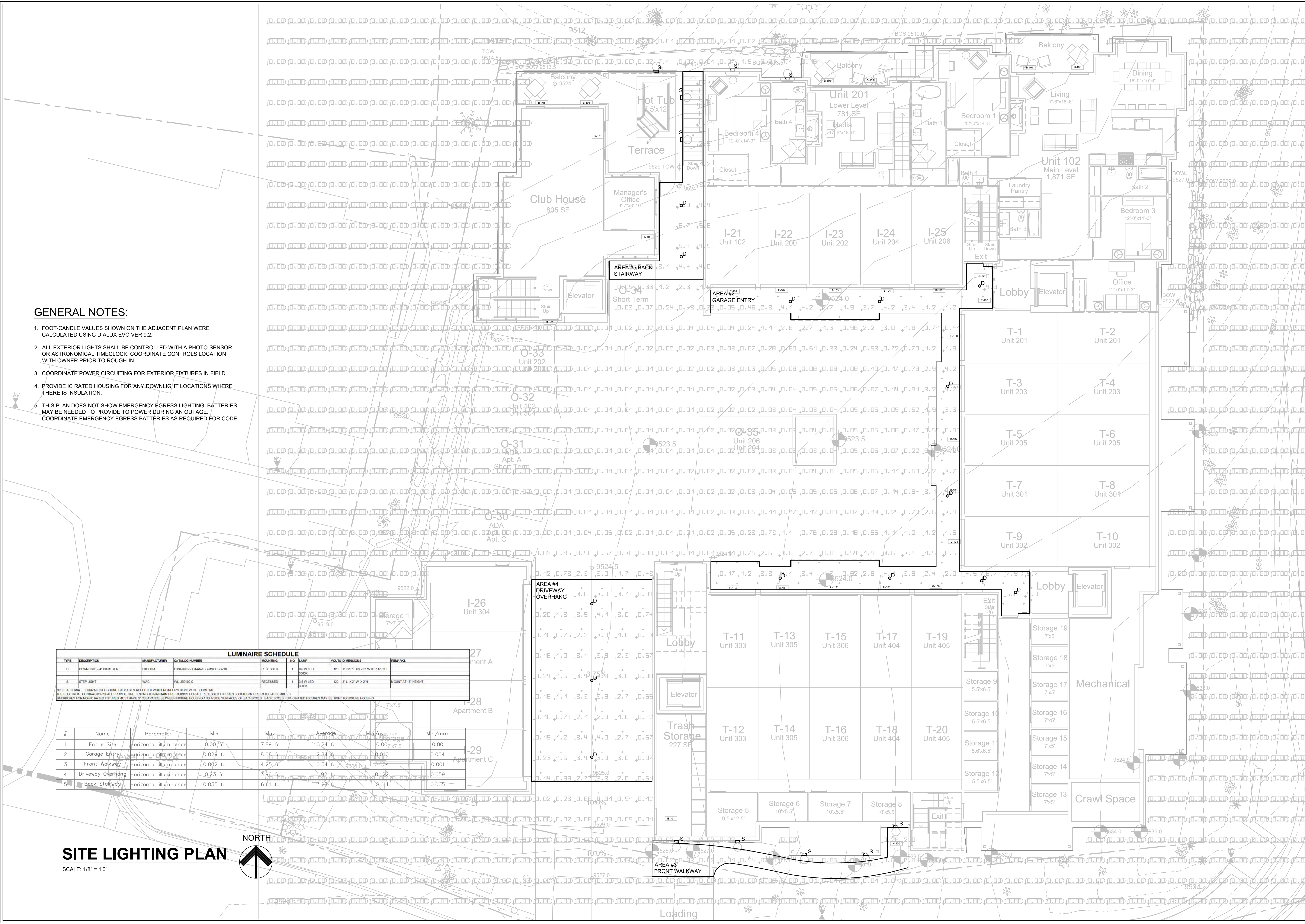
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	HOUSING	NO. LAMP	VOLTS	DIMENSIONS	REMARKS
D	DOWNLIGHT - 4" DIAMETER	UTLUMA	ULMA-300P-40A-RUS-10VLT-02N	RECESSED	1	120V	11.3"X11.3" X 1.5" W X 5.5" H	
S	STEP LIGHT	WAC	WLED100/C	RECESSED	1	120V	11.3" X 2.7" W X 2.7" H	MOUNT AT 18" HEIGHT

NOTE: ALTERNATE EQUIVALENT LIGHTING PACKAGES ACCEPTED WITH ENGINEER'S REVIEW OF SUBMITTAL. THE ELECTRICAL CONTRACTOR SHALL PROVIDE FIRE TESTING TO MAINTAIN FIRE RATINGS FOR ALL RECESSED FIXTURES LOCATED IN FIRE RATED ASSEMBLIES. BACKBOXES FOR RECESSED FIXTURES MUST HAVE 2" CLEARANCE BETWEEN FIXTURE HOUSING AND INSIDE SURFACES OF BACKBOXES. BACKBOXES FOR RECESSED FIXTURES MAY BE TIGHT TO FIXTURE HOUSING.

#	Name	Parameter	Min	Max	Average	Min/Average	Min/Max
1	Entire Site	Horizontal Illuminance	0.00 fc	7.89 fc	0.24 fc	0.00	0.00
2	Garage Entry	Horizontal Illuminance	0.029 fc	8.08 fc	2.84 fc	0.010	0.004
3	Front Walkway	Horizontal Illuminance	0.002 fc	4.25 fc	0.54 fc	0.004	0.001
4	Driveway Overhang	Horizontal Illuminance	0.23 fc	3.96 fc	1.92 fc	0.122	0.059
5	Back Stairway	Horizontal Illuminance	0.035 fc	6.61 fc	3.27 fc	0.011	0.005

SITE LIGHTING PLAN

SCALE: 1/8" = 1'-0"



FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs. Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.

Accommodates 12"-24" joist spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max ceiling thickness 1-1/2".

OPTICS — LEDs are binned to a 3-step SDCM; 80 CRI minimum. 90 CRI optional. LED light source concealed with diffusing optical lens. General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available. 0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled. 70% lumen maintenance at 60,000 hours.

LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. ENERGY STAR® certified product.

BUY AMERICAN — Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY — 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Catalog Number
Notes
Type



LDN4

**4" Open and WallWash LED
Non-IC
New Construction Downlight**



A+ Capable options indicated by this color background.

ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: LDN4 35/15 L04AR LSS MVOLT EZ1

LDN4 Series	Color temperature	Lumens ¹	Aperture/Trim Color	Finish	Voltage	
LDN4 4" round	27/ 2700K	05 500 lumens	L04 Downlight LW4 Wallwash	AR Clear WR ² White BR ² Black	LSS Semi-specular LD Matte diffuse LS Specular	MVOLT Multi-volt 120 120V 277 277V 347 ³ 347V
	30/ 3000K	07 750 lumens				
	35/ 3500K	10 1000 lumens				
	40/ 4000K	15 1500 lumens				
	50/ 5000K	20 2000 lumens				

Driver	Options
GZ10 0-10V driver dims to 10%	SF ⁴ Single fuse
GZ1 0-10V driver dims to 1%	TRW ⁶ White painted flange
EZ10 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 10%	TRBL ⁶ Black painted flange
	EL ⁵ Emergency battery pack with integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS
EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1%	ELR ⁵ Emergency battery pack with remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS
	ELSD ⁵ Emergency battery pack with self-diagnostics, 10W Constant Power, integral test switch. Not Certified in CA Title 20 MAEDBS
D10 Minimum dimming 10% driver for use with JOT	ELRSD ⁵ Emergency battery pack with self-diagnostics, 10W Constant Power, remote test switch. Not Certified in CA Title 20 MAEDBS
D1 Minimum dimming 1% driver for use with JOT	E10WCPR ⁵ Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDBS
EDAB eldoLED DALI SOLDRIIVE dim to dark	E10WCPR ⁵ Emergency battery pack, 10W Constant Power with remote test switch. Certified in CA Title 20 MAEDBS
	NPP16D ^{7,10} nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1).
	NPP16DER ^{7,10} nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit.
	N80 ⁸ nLight™ Lumen Compensation
	JOT ¹³ Wireless room control with "Just One Touch" pairing
	NPS80EZ ^{7,10} nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1).
	NPS80EZER ^{7,10} nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). ER controls fixtures on emergency circuit.
	HAO ¹¹ High ambient option (40°C)
	CP ¹² Chicago Plenum
	RRL___ RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S.
	NLTAIR2 ^{8,9} nLight® Air enabled
	NLTAIRER2 ^{9,10} nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options
	NLTAIREM2 ^{9,10} nLight® AIR Dimming Pack Wireless Controls. UL924 Emergency Operation, via power interrupt detection. Available with battery pack options.
	BAA Buy America(n) Act Compliant
	90CRI High CRI (90+)

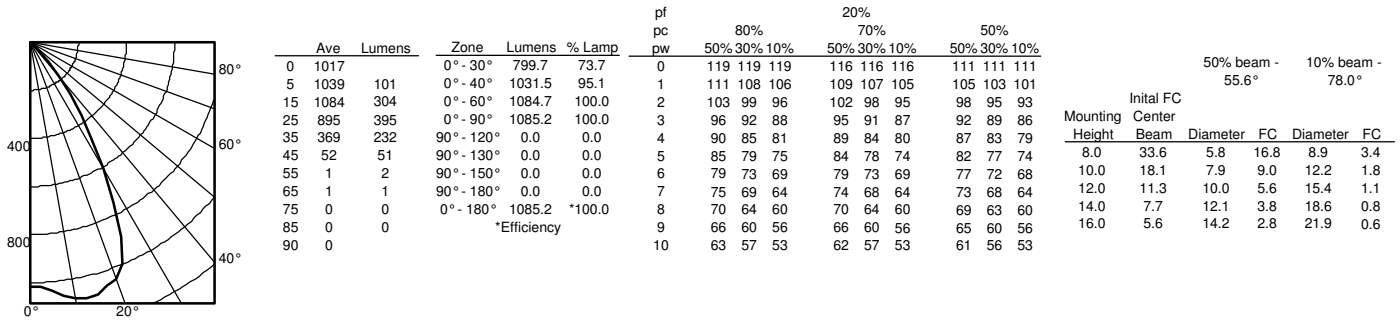
Notes

- Overall height varies based on lumen package; refer to dimensional chart on page 3.
- Not available with finishes.
- Not available with emergency options.
- Must specify voltage 120V or 277V.
- 12.5" of plenum depth or top access required for battery pack maintenance.
- Available with clear (AR) reflector only.
- Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
- Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers.
- Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP16DER or N80 options.
- NLTAIR2, NLTAIRER2 and NLTAIREM2 not recommended for metal ceiling installations.
- Fixture height is 5-11/16" for all lumen packages with HAO.
- Must specify voltage for 3000lm. Not available with emergency battery pack option.
- Must specify D10 or D1 driver. Not available with nLight options. Not available with CP. Not recommended for metal ceiling installation. Not for use with emergency backup power systems other than battery packs.

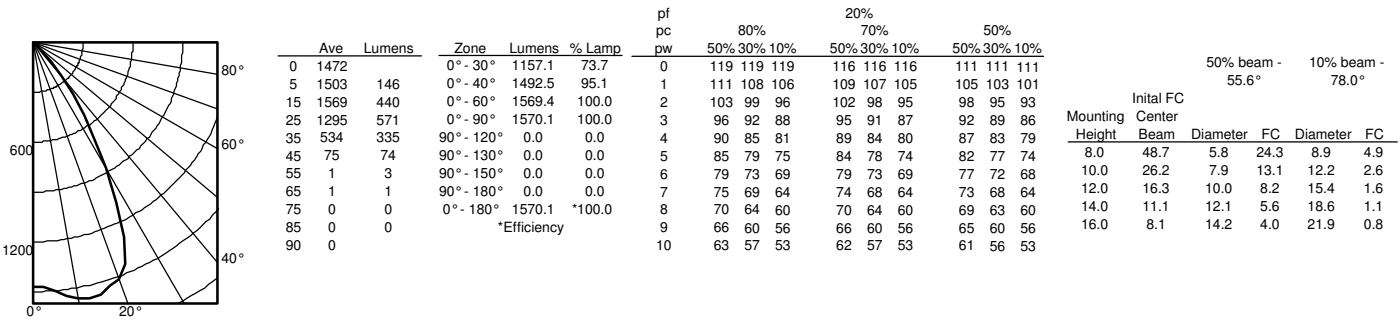
PHOTOMETRY

Distribution Curve	Distribution Data	Output Data	Coefficient of Utilization	Illuminance Data at 30" Above Floor for a Single Luminaire
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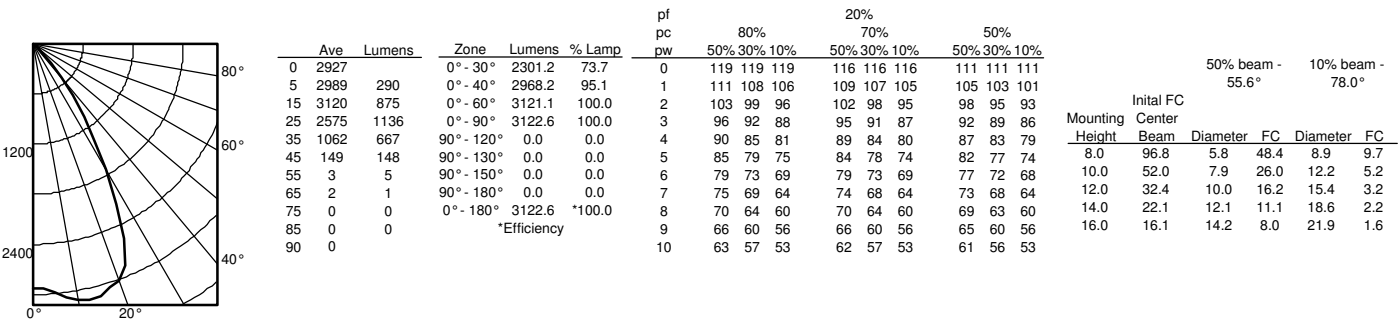
LDN4 35/10 L04AR, input watts: 10.58, delivered lumens: 1085.2, LM/W = 102.57, spacing criterion at 0= 1.04, test no. ISF 30712P229.



LDN4 35/15 L04AR, input watts: 17.5, delivered lumens: 1570.1, LM/W = 89.72, spacing criterion at 0= 1.04, test no. ISF 30712P234.



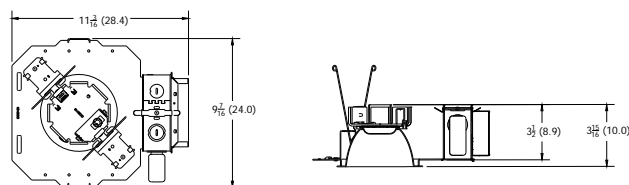
LDN4 35/30 L04AR, input watts: 32.1, delivered lumens: 3122.6, LM/W = 88.52, spacing criterion at 0= 1.04, test no. ISF 30712P249.



LDN4

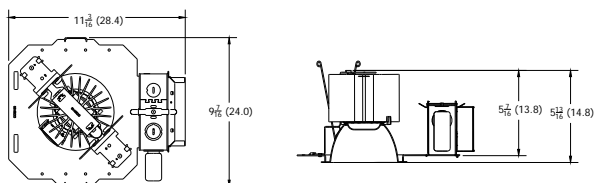
* All dimensions are inches (centimeters) unless otherwise noted.

LDN4 500 - 2000 LUMENS



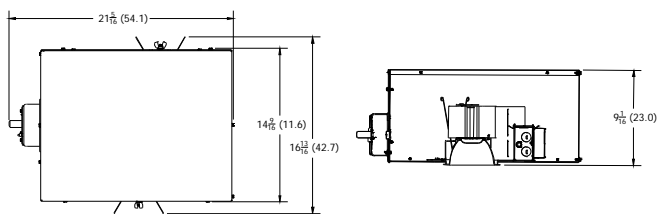
Aperture: 4-5/16" (11)
Ceiling Opening: 5-1/8" (13)
Overlap Trim: 5-7/16" (13.8)

LDN4 2500 - 4000 LUMENS



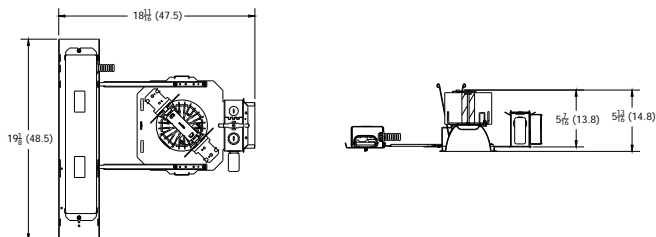
Aperture: 4-5/16" (11)
Ceiling Opening: 5-1/8" (13)
Overlap Trim: 5-7/16" (13.8)

LDN4 CP



Aperture: 4-5/16" (11)
Ceiling Opening: 5-1/8" (13)
Overlap Trim: 5-7/16" (13.8)

LDN4 EL



Aperture: 4-5/16" (11)
Ceiling Opening: 5-1/8" (13)
Overlap Trim: 5-7/16" (13.8)

LDN4			
Nominal	Lumens	Wattage	Lm/W
500	523.6	5.74	91.2
750	751.1	8.6	87.3
1000	1045	10.58	98.8
1500	1512	17.5	86.4
2000	2006	22.12	90.7
2500	2551	26.1	97.7
3000	3007	32.1	93.7
4000	4212	43	98.0

LUMEN OUTPUT MULTIPLIERS \times CCT					
	2700K	3000K	3500K	4000K	5000K
80CRI	0.950	0.966	1.000	1.025	1.101

HOW TO ESTIMATE DELIVERED LUMENS IN EMERGENCY MODE

Use the formula below to estimate the delivered lumens in emergency mode

$$\text{Delivered Lumens} = 1.25 \times P \times \text{LPW}$$

P = Output power of emergency driver. P = 10W for PS1055CP

LPW = Lumen per watt rating of the luminaire. This information is available on the ABL luminaire spec sheet.

The LPW rating is also available at Designlight Consortium.

LUMEN OUTPUT MULTIPLIERS \times FINISH			
	Clear (AR)	White (WR)	Black (BR)
Specular (LS)	1.0	N/A	N/A
Semi-specular (LSS)	0.950	N/A	N/A
Matte diffuse (LD)	0.85	N/A	N/A
Painted	N/A	0.87	0.73

Notes

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 80 typical.

ADDITIONAL DATA

JOT

JUST ONE TOUCH

The Sensor Switch JOT enabled solution offers a wireless, app-free approach to single room lighting control. JOT enabled products use Bluetooth® Low Energy (BLE) technology to enable wireless dimming and switching.

Diagram



LDN4 Series



Sensor Switch
WSXA JOT

- 1. Power:** Install JOT enabled fixtures and controls as instructed.
- 2. Pair:** Insert the pairing tool into the pinhole on the wall switch; press and hold any button for 6 seconds.
- 3. Play:** Once paired, each fixture will individually dim down to 10% brightness. All products will be fully functional.

COMPATIBLE 0-10V WALL-MOUNT DIMMERS

MANUFACTURER	PART NO.	POWER BOOSTER AVAILABLE
Lutron®	Diva® DVTV	
	Diva® DVSCTV	
	Nova T® NTFTV	
	Nova® NFTV	
Leviton®	AWSMT-7DW	CN100
	AWSMG-7DW	PE300
	AMRMG-7DW	
	Leviton Centura Fluorescent Control System	
	IllumaTech® IP7 Series	
Synergy®	ISD BC	RDMFC
	SLD LPCS	
	Digital Equinox (DEQ BC)	
Douglas Lighting Controls	WPC-5721	
Entertainment Technology	Tap Glide TG600FAM120 (120V)	
	Tap Glide Heatsink TGH1500FAM120 (120V)	
	Oasis OA2000FAMU	
Honeywell	EL7315A1019	EL7305A1010 (optional)
	EL7315A1009	
HUNT Dimming	Preset slide: PS-010-IV and PS-010-WH	
	Preset slide: PS-010-3W-IV and PS-010-3W-WH	
	Preset slide, controls FD-010: PS-IFC-010-IV and PS-IFC-010-WH-120/277V	
	Preset slide, controls FD-010: PS-IFC-010-3W-IV and PS-IFC-010-3W-WH-120/277V	
	Remote mounted unit: FD-010	
Lehigh Electronic Products	Solitaire	PBX
PDM Electrical Products	WPC-5721	
Starfield Controls	TR61 with DALI interface port	RT03 DALInet Router
WattStopper®	LS-4 used with LCD-101 and LCD-103	

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is part of an A+ Certified solution for nLight® control networks when ordered with drivers marked by a **shaded background***
- This luminaire is part of an A+ Certified solution for nLight control networks, providing advanced control functionality at the luminaire level, when selection includes driver and control options marked by a **shaded background***

To learn more about A+, visit www.acuitybrands.com/aplus.

*See ordering tree for details

LDN4

EXAMPLE

Group Fixture Control*

*Application diagram applies for fixtures with eldoLED drivers only.

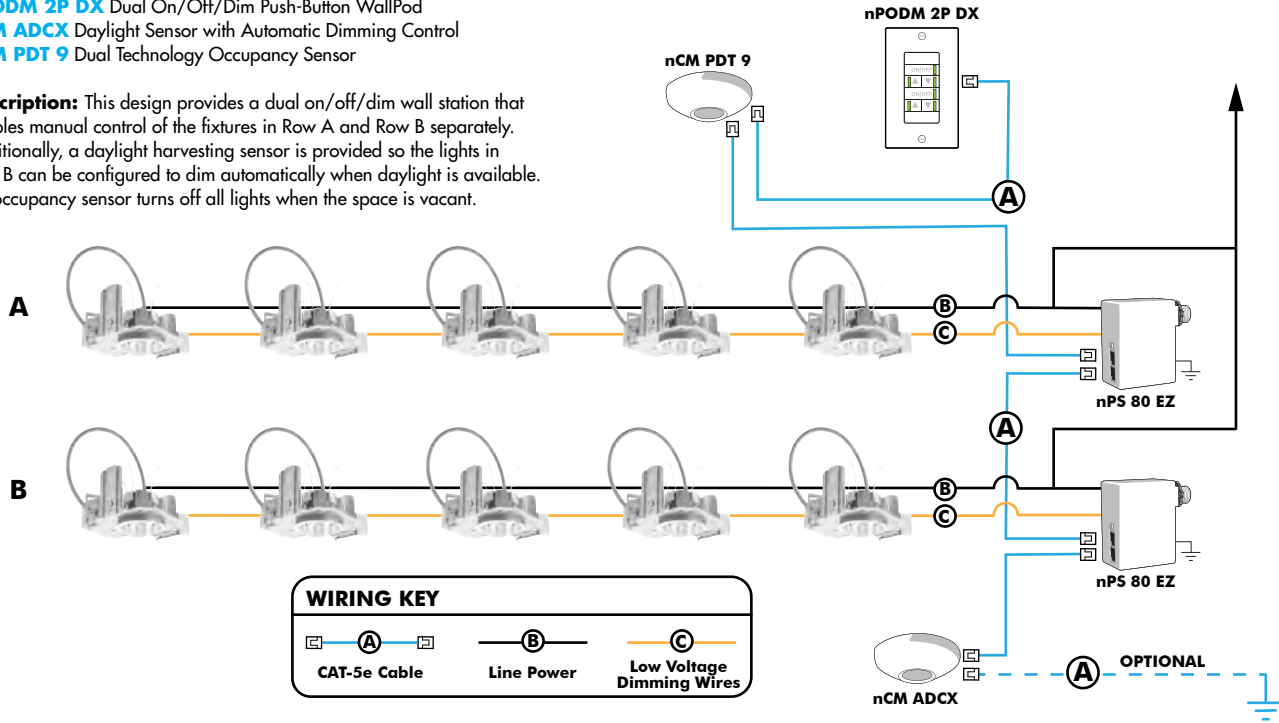
nPS 80 EZ Dimming/Control Pack (qty: 2 required)

nPODM 2P DX Dual On/Off/Dim Push-Button WallPod

nCM ADCX Daylight Sensor with Automatic Dimming Control

nCM PDT 9 Dual Technology Occupancy Sensor

Description: This design provides a dual on/off/dim wall station that enables manual control of the fixtures in Row A and Row B separately. Additionally, a daylight harvesting sensor is provided so the lights in Row B can be configured to dim automatically when daylight is available. An occupancy sensor turns off all lights when the space is vacant.



Choose Wall Controls

nLight offers multiple styles of wall controls - each with varying features and user experience.



Push-Button Wallpod

Traditional tactile buttons and LED user feedback



Graphic Wallpod

Full color touch screen provides a sophisticated look and feel

nLight® Wired Controls Accessories:

Order as separate catalog number. Visit www.acuitybrands.com/products/controls/nlight for complete listing of nLight controls.

WallPod Stations	Model number	Occupancy sensors	Model Number
On/Off	nPODM (Color)	Small motion 360°, ceiling (PIR/dual Tech)	nCM 9 / nCM PDT 9
On/Off & Raise/Lower	nPOD DX (Color)	Large motion 360°, ceiling (PIR/dual tech)	nCM 10 / nCM PDT 10
Graphic Touchscreen	nPOD GFX (Color)	Wide View (PIR/dual tech)	nWV 16 / nWV PDT 16
Photocell controls	Model Number	Wall Switch w/ Raise/Lower (PIR/dual tech)	nWSX LV DX / nWSX PDT LV DX
Dimming	nCM ADCX	Cat-5 cables (plenum rated)	Model Number
		10', CAT5 10FT	CAT5 10FT J1
		15, CAT5 15FT	CAT5 15FT J1

nLight® AIR Control Accessories:

Order as separate catalog number. Visit www.acuitybrands.com/products/controls/nlightair.

Wall switches

	Model number
On/Off single pole	rPODB [color]
On/Off two pole	rPODB 2P [color]
On/Off & raise/lower single pole	rPODB DX [color]
On/Off & raise/lower two pole	rPODB 2P DX [color]
On/Off & raise/lower single pole	rPODBZ DX WH ¹

Notes

1 Can only be ordered with the RES7Z zone control sensor version.

nLight AIR

nLight AIR is the ideal solution for retrofit or new construction spaces where adding communication is cost prohibitive. The integrated nLight AIR rPP20 Power Pack is part of each Lithonia LDN Luminaire. These individually addressable controls offer the ultimate in flexibility during initial setup and for space repurposing.



Simple as 1,2,3

1. Install the nLight® AIR fixtures with embedded smart sensor
2. Install the wireless battery-powered wall switch
3. With CLAIRITY app, pair the fixtures with the wall switch and if desired, customize the sensor settings for the desired outcome



Model: WL-LED100

LEDme® Step Light

WAC LIGHTING

Responsible Lighting®



Fixture Type:

Catalog Number:

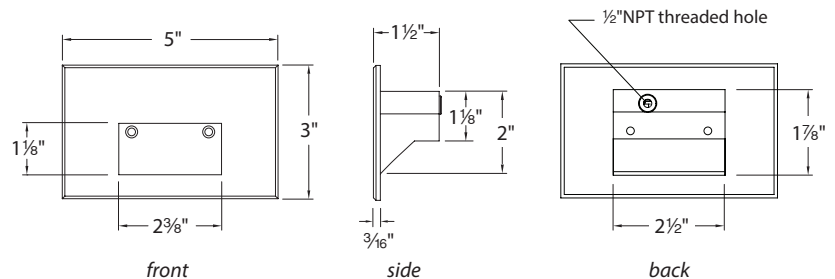
Project: _____

Location: _____

PRODUCT DESCRIPTION

Horizontal rectangle LEDme® Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.



FEATURES

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- Direct wiring, no driver needed
- Low profile, flush to wall aesthetics with no visible hardware
- 54,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- IP66 rated, Protected against high-pressure water jets
- Up to 200 fixtures can be connected in parallel
- 5 year WAC Lighting product warranty

SPECIFICATIONS

Construction: Die-cast aluminum or 316 marine grade cast stainless steel

Power: Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC 50/60Hz

Light Source: 3000K CCT Samsung HV-AC High Power LED, CRI: 90
Optional color lenses. Total power consumption of 3.5W

Mounting: Fits into 2" x 4" J-Box with minimum inside dimensions of 3" L x 2" W x 2" H
Includes bracket for J-Box mount.

Dimming: Dim to 10% with electronic low voltage (ELV) dimmer
Approved dimmers: Lutron Nova-T NTELV-300 & NTELV-600, Lutron Vietri VTELV-600, Lutron Diva DVELV-300P, Lutron Skylark SELV-300P, Lutron Maestro MAELV-600

Standards: IP66, UL & cUL Listed for wet locations, Title 24 JA8-2016 Compliant.

ORDER NUMBER

Model #	Light Color	Finish
WL-LED100 120V	C White 3000K	BK Black on Aluminum
	AM Amber 610nm	BN* Brushed Nickel on Aluminum
	RD Red 640nm	BZ Bronze on Aluminum
	BL Blue 450nm	GH Graphite on Aluminum
WL-LED100F 277V	SS Stainless Steel	WT White on Aluminum
	AM Amber 610nm	
	SS Stainless Steel	
WL-LED100 120V	C White 3000K	BBR Bronze on brass
	AM Amber 610nm	

*Brushed Nickel Finish is for interior use only



Example: **WL-LED100F-BL-SS**

wacighting.com

Phone (800) 526.2588

Fax (800) 526.2585

Headquarters/Eastern Distribution Center

44 Harbor Park Drive

Port Washington, NY 11050

Central Distribution Center

1600 Distribution Ct

Lithia Springs, GA 30122

Western Distribution Center

1750 Archibald Avenue

Ontario, CA 91760

John A. Miller

From: LES OMOTANI <lmo8337@gmail.com>
Sent: Friday, April 2, 2021 11:32 AM
To: Michelle Haynes; John A. Miller
Cc: Les M. Omotani
Subject: Fwd: Lot 30

April 2, 2021

Hello Michelle and John,

In reviewing the latest application for the development of Lot 30 we, as owners of Granita 304, continue to have similar concerns to those we shared with you in 2020.

Our preference is that Lot 30 be developed in a manner similar to the existing houses/buildings in the Aspen Ridge development.

We remain concerned that a large uninterrupted solid block of multi-unit homes impacts the south and west views of Granita owners and guests.

It is our hope that you will require the developer to clearly mark the MAXIMUM height lines for the roof tops along Mountain Village Blvd. = 53 Feet. The illustrations provided / available in the link to the application do not allow an interpretation of the issue of greatest concern to us as owners in the Granita building.

[Last year the marking of trees was done in such a minimal manner / method as to serve no functional purpose. The markings were made at an elevation less than the highest heights of the roof top ridges.]

The developer will continue to make the false case that owners in the Granita Building will not suffer any loss of existing views to the south and west. This is simply not a true statement or conclusion.

A frank assessment of the rationale for the planned height / elevations of the penthouse units for this development is to provide those housing units with a clear view of the mountain vistas that they will remove and block from owners and guests in the Granita building. As owners of Granita 304 our purchase of this unit pre-dates the changes to the planning and zoning changes made regarding Lot 30 and Parcel M.

In our opinion, the developer has not made a sound case for the increased density nor for the significantly solid mass of building to be constructed in opposition to the current characteristic and quality of Aspen Ridge homes.

1. **Building Height Limits (CDC 17.3.11 and 17.3.12)**

The CDC limits the maximum and maximum average building height on Multi-Family lots to 48 feet. However, the ridge of a gable, hip, gambrel, or similar pitched roof may extend the maximum building height up to five (5) feet above the specified maximum height limit.

- The proposed development is in compliance with both the maximum and average height limits for Multi-Family lots.

PLEASE NOTE: Several of the drawings and illustrations that are available via the link are not completely visible. Is it possible to receive a scanned PDF copy of the complete application documents?

Thank you for your time and consideration. We look forward to receiving additional information of the review process and timeline for this application.

take care,

Les and Barbara

GRANITA 304

Les Omotani, Ph. D., Barbara Omotani, Ph. D.
LMO8337@gmail.com

8337 N Lee Trevino Drive
Tucson, Arizona 85742

516 652 6278

From: Michelle Haynes <MHaynes@mntvillage.org>
Subject: FW: Lot 30
Date: April 2, 2021 at 7:34:21 AM MST
To: LES OMOTANI <lmo8337@gmail.com>, Albert Roer <albertroer@gmail.com>

Good morning. Lot 30 files can be downloaded at the following [link](#) found under current planning.

Michelle Haynes

From: Michelle Haynes
Sent: Friday, April 2, 2021 7:47 AM
To: LES OMOTANI <lmo8337@gmail.com>; Albert Roer <albertroer@gmail.com>
Subject: Lot 30

Les and Albert:

Good morning. We have received a complete application for Lot 30. The 30 day public noticing will go out shortly. The application will be posted to the website by early next week. We scheduled the public hearings for May and June. Thank you!

[Michelle Haynes](#), MPA
Planning and Development Services Director
Housing Director
Town of Mountain Village
[455 Mountain Village Blvd. Suite A](#)
O :: [970.239.4061](tel:970.239.4061)
M :: [970.417.6976](tel:970.417.6976)

For information about The Town of Mountain Village's response to COVID-19 (Coronavirus), please visit townofmountainvillage.com/coronavirus/

Si Usted necesita comunicarse conmigo y necesita servicio de traducción al español, simplemente háganoslo saber y podemos proporcionar tal servicio.

John A. Miller

From: John A. Miller
Sent: Monday, May 3, 2021 4:17 PM
To: John A. Miller
Subject: FW: Lot 30. April 9 2021

From: LES OMOTANI <lmo8337@gmail.com>
Sent: Friday, April 9, 2021 1:45 PM
To: Michelle Haynes <MHaynes@mtnvillage.org>; John A. Miller <JohnMiller@mtnvillage.org>
Cc: Les M. Omotani <LMO8337@gmail.com>; Yvette Rauff <yvette.rauff@gmail.com>; Sandy Van Gilbert <svgnm@comcast.net>; Albert Roer <albertroer@gmail.com>
Subject: Re: Lot 30. April 9 2021

April 9 2021

Hello John and Michelle,

Is it possible to request that the developed be asked to clearly mark the MAXIMUM roof line heights for each section of the building(s) that run parallel to Mountain Village Blvd. Last time they used red paint. It would be best if the marks were WIDER and more visible AND/OR were done using a florescent surveyor like tape or marking material of 3-5 inch width.

Last year the marks were made at the height of the top FLOOR and not the top of the roof line. Obviously this does not help anyone to determine the views that are blocked to current owners in the Granita building. What we want to see is the elevation of the maximum roof line heights.

It would be very desirable to have these elevations marked on the existing trees well before the initial DRB hearing scheduled for May 6, 2021.

Thank you for your consideration and great communication.

Sincerely,

Les Omotani

Granita 304

John A. Miller

From: Sandra <svgnm@comcast.net>
Sent: Monday, April 12, 2021 2:22 PM
To: John A. Miller
Subject: Fwd: Views from Granita 303

John,
I sent this to an incorrect email address and they were kind enough to notify me of my error. Sorry for the lag time in getting this to you.

Sandra Gilbert / Granita 303
Sent from my iPhone

Begin forwarded message:

From: Sandra <svgnm@comcast.net>
Date: April 12, 2021 at 1:51:38 PM MDT
To: MHaynes@mtnvillage.org
Cc: albertroer@gmail.com, yvette.rauff@gmail.com, lmo8337@gmail.com,
JohnMiller@mountainvillage.com
Subject: **Views from Granita 303**

Michelle and John,
As a follow up to Les' email and photos I reiterate his remarks.

The position of the minuscule red ties on the trees makes it clear that the massive proposed developer building will present a solid wall from Aspen Ridge road to the north. All views will be obliterated for Unit 303 and 203 and severely impact Unit 304.

Additionally views will be obliterated for homeowners and visitors driving north on Mountain Village Blvd, severely disrupting the arrival experience and impacting the intrinsic essence of Mountain Village and the visual access of the stunning vistas that sets MV apart as a community that values the land and environment.

Following are photos taken from Unit 303 last week.

Van and Sandra Gilbert/ Granita 303











Sent from my iPhone

John A. Miller

From: LES OMOTANI <lmo8337@gmail.com>
Sent: Monday, April 12, 2021 11:52 AM
To: Michelle Haynes; John A. Miller
Cc: Yvette Rauff; Sandy Van Gilbert; Les M. Omotani; Albert Roer
Subject: PROPOSED LOT 30 DEVELOPMENT = DENSITY AND HEIGHT

APRIL 12 2021

Hello Michelle and John,

Last summer the case was made by some to imply that owners of homes in the Granita Building did NOT have views to the south and west. Therefore the proposed new development would have a minimal impact upon existing sight lines.

Last week, we asked a friend to take a few photos from two of our rooms that are located on the third floor of the Granita building. It is obvious that we do indeed enjoy some great views throughout the winter and spring [and even the summer and fall.]. We continue to ask that the developer be required to CLEARLY mark the highest roof heights for the proposed building that will run the entire length parallel to Mountain Village Blvd. Obviously if the proposed construction will negatively affect the views from our Granita 304 condo then the impact upon Granita 303 and the units on the first and second floors will be SEVERE.

thanks for your consideration.











take care,

Les

GRANITA 304

Les Omotani, Ph. D.

LMO8337@gmail.com

8337 N Lee Trevino Drive
Tucson, Arizona 85742

516 652 6278

516 652 6278

John A. Miller

From: Yorke Pharr <yorkepharr@gmail.com>
Sent: Monday, April 26, 2021 2:48 PM
To: cd
Subject: Lot 30 density change

I have been owner at Aspen Ridge unit 4 for nearly 20 years. I wish to strongly object to the new and nearly double density request for the lot 30 from 11 to 19 units and 33 to 57 person change. This is now totally out of character for Aspen Ridge and the across street development by same developer. I hope those in charge will value tradition and reason and reject this change. It will definitely do damage to what has been carefully developed in heart of Mt Village. Quality not quantity please!

J Yorke Pharr iii and family

Sent from my iPhone

John A. Miller

From: Greg Nichols <rgnichols@me.com>
Sent: Tuesday, April 27, 2021 11:39 AM
To: cd
Cc: Tim Durham; Bohdan Iwanetz; Mike &Debbie Rutledge; Phil Gruszka; Julie REZNICEK; Laura Norwitch; Steve R; Marcy (Telluride)
Subject: Lot 30 Development

Attn: MV Planning Development

Our family first started skiing in Telluride in the mid-nineties and purchased our family townhouse in 2020 in Aspen Ridge. For over 20 plus years we have spent 10-15 weeks a year in MV and consider this our families 2nd home.

We purchased in the AR community as our HOA which is comprised of all AR owners was doing a great job then and continues to do so helping the AR neighborhood community remain one of the best in MV.

Another consideration was the development that would eventually go up on the Lot 30. We understood when we purchased that it was a low density area and we assumed we would never have to worry about a large condo development.

We never believed that MV would even consider approving a development this size on our block much less one that appears massive from the email plans I received.

Who believes that we should increase the units by 8 and allow 24 plus more people than originally zoned. After all, we all know that there will not be 57 people but closer to 70-80 when the units are full and everyone's friends, family, or group of renters show-up.

Parking will be a problem and feel sure unless MV police dept. are geared up for and do hourly drive-bys this will be an issue.

Many of us have grandchildren and small kids that are out and about in the neighborhood. The increase in the additional traffic down AR blvd. will certainly add an additional hazard that we have not faced. And as many of the new occupants will undoubtedly be renters, I feel sure they will all be lost and miss the driveway and head up-down our street.

Our AR HOA has worked hard to maintain building standards to help keep the noise level down in our community as most of us have our windows open 24/7 weather permitting. We never have party noise issues nor large outside gatherings. THAT there is a community center planned along with a spa/pool is unacceptable. As we all know, the more the booze flows the longer the party goes and louder it gets. Who is going to be in charge of shutting this problem down as we know" posted hours" are not working for some owners and young renters.

I have other concerns about the development as to how it will impact this area we have lived and vacationed in for 20 plus years. It is certainly not my/ours/MV problem that the developer can not make this a viable financial project with the current density zoning. Maybe they need to rescale the project or sell off Lot 30 to a developer that has no issues building within the existing MV zoning codes.

Thanks R Greg Nichols

John A. Miller

From: tim durham <rtimdurham@gmail.com>
Sent: Tuesday, April 27, 2021 1:09 PM
To: cd
Cc: Tim Durham
Subject: Lot 30 Development Proposal

Dear MV Design Review Board,

We are 31 year Mountain Village property owners in the Aspen Ridge Condominium complex. We have loved being a part time MV resident and truly consider it our "Happy Place." To that end we are very concerned about the proposed condominium project being proposed for Lot 30, which is directly adjacent to our property and shares Aspen Ridge Blvd as common egress and ingress.

Given the size of Lot 30, the currently approved density plan for 11 units actually already seems excessively dense, and would need to be very carefully designed with vehicular access to most units from Mountain Village Boulevard to prevent excess traffic on Aspen Ridge Blvd, given the existing volume of pedestrian traffic from Aspen Ridge and the condo residents down the stairs from us. The people traffic associated with 11 additional residential units should not present a problem assuming use is limited to individual owners or renters.

The most recent proposed plan of an increase up to 19 units not only consumes virtually every available square foot of the lot, but expands the human density to that which is more in line with a hotel. It far exceeds that of Aspen Ridge or the Granita which have lots of green spaces surrounding them. Furthermore, adding a Community Center and outdoor spa/pool further adds potential noise and visual pollution to surrounding properties and would be unacceptable to most.

As proposed, the massive size of this proposed development would certainly not be a transitional unit between Aspen Ridge and the Village. It would be the insertion of a very large, view blocking structure that would create increased noise and activity through the spa and community center areas. This proposed structure is out of place with its surroundings, not only with Aspen Ridge and The Granita, but also with other buildings around Sunset Plaza.

Obviously we strongly object to this development as proposed.

We truly appreciate your serious consideration of the potential harm that this proposed development would have on our, and all the neighboring resident's, "Happy Place" and highly encourage you to reject this density increase proposal as designed.

Regards,

Tim Durham
Aspen Ridge #24 Owner
512-422-1237

John A. Miller

From: Riles, Thomas <Thomas.Riles@nyulangone.org>
Sent: Tuesday, April 27, 2021 9:20 AM
To: cd
Cc: Merideth Munn; rtimdurham@gmail.com; adriana riles
Subject: Proposed Development at Aspen Ridge lot 30

Dear Members of the Design Review Board,

As owners at Aspen Ridge for over 30 years, we are appalled at the most recent plan to expand the project at Lot 30 of Aspen Ridge to 19 units, as well as the plan to include a Community Center with the spa and pool as part of the development most adjacent to the Aspen Ridge homes.

Clearly Lot 30 is ideal for development. It is surprising that it had not been developed long ago. As we have watched Aspen Ridge and Mountain Village grow, it always seemed that an attractive structure between the Aspen Ridge homes and the Granita would complete a graceful transition between the Village and the residential properties.

Given the size of Lot 30, if new structures were to maintain the same density that currently exists in Aspen Ridge, we estimate the lot could host the equivalent of seven more AR units. The previous plan for 11 units on Lot 30 seemed excessively dense, but manageable if well designed and if vehicular access to most units were from Mountain Village Boulevard. Also, the human traffic associated with 11 residential units would be acceptable if use were limited to individual owners or renters.

The most recent plan of 19 units not only consumes virtually every available square foot of the lot but expands the human density to that which is more in line with a hotel. It far exceeds that of Aspen Ridge or the Granita which has spacious surroundings. Including a Community Center and Spa further adds to the traffic and undoubtedly brings a transient and potentially commercial aspect to an area that has been heretofore limited to residential use.

As proposed, this development would certainly not be a transitional unit between Aspen Ridge and the Village. It would be the insertion of huge, humanly dense structure that is designed to increase activity through the spa and community space. The proposed structure is out of place with its surroundings, not only with Aspen Ridge and The Granita, but also with other buildings around Sunset Plaza.

Equally concerning is the proposal to have the only vehicular access for the new development from Aspen Ridge Drive. ARD has always been a quiet lane that residents use to walk from their homes to Mountain Village. Placing access, even for a 11 unit complex on the Drive will be detrimental to the families and in particular children who now feel safe walking from their homes to the crosswalk to reach the Village. The impact to all who depend on the Drive to walk to the Plaza and Village will be significant, and potentially dangerous if vehicles and deliveries for 19 units (or even 11 units) are all funneled through the entrance to Aspen Ridge Drive.

As I stated at the beginning, we have enjoyed watching Mountain Village develop these past 30 years. For the most part (Peaks excepted) new buildings have been well designed with careful consideration to the impact on the Village proper, and with the focus of making Mountain Village and Telluride the most attractive resort

area in the United States. The fact that we and so many others return to Mountain Village year after year is the enduring natural beauty as well as the attractive and functional architecture of the developed areas. This proposal seems contrary to all that has previously been done to adhere to high standards that have guided development to date. Placing a structure that utilizes every available foot and pushes the limits of height will serve no purpose other than satisfying the greed of the developers.

We firmly oppose the plan being reviewed by the Design Review Board and urge to DRB to do the right thing - reject this proposal.

Respectfully,
Tom and Adriana Riles
Owners at Aspen Ridge unit 25

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=====

To the Mountain Village Design Review Board concerning Lot 30:

I have been an owner in the AspenRidge 1 Development in unit 27 since 1997 and have served on its HOA board since it was organized in March 1999.

I have been traveling to Telluride and Mountain Village since 1988 to ski and vacation every year. My hope is to move to this area in retirement and make Colorado my home.

The proposed Lot 30 development next to my personal unit (physically the closes, 8 feet) and to the Aspen Ridge Drive neighborhood has me concerned "Personally" about specific problems affecting myself and multiple owners in Aspen Ridge 1, Aspen Ridge 2, and even Tramontana.

The Developer is asking to increase the density to 16 condominiums and 3 employee condominiums (17 in the new structure) for 57 Total Personal Equivalents and 34 parking spaces. All these personal vehicles, other servicing vehicles and pedestrians **can only enter and exit via the Tunnel driveway on Aspen Ridge Drive**. This in contrast to every other dwelling on that street where either 1 or 2 cars exit onto the street or Tramontana which has 5 or 6 condominiums exiting 1-2 cars each from an underground garage. This demonstrates the difference in existing density and the **Huge traffic problem** with people/cars on a **small dead end private street**. At night the car lights would especially affect our Duplex building #1-2 directly across from where the Tunnel driveway exits. If you assist on this density level **it should enter and exit off Mountain Village Boulevard** with construction of sidewalks to allow connection to paths already built along to the other large developments on that street such as Madeline , Peaks, etc.

The next serious concern I wish to bring up is the proposed Club House with outside decks and Pool/Hot tub area located on the west side property line of Aventura's current plans. This is directly below my kitchen/dining room windows and even level with my Master bedroom, there has been no effective attempt to shelter our development from the noise or activity caused by a **party room/pool for 57 people plus guests eight feet from my window..**

In contrast eight of the Aspen Ridge Hot tubs are **indoors**, 1 outdoor tub used by AR unit 1 is 50+ feet from Tramontana's garage. Aspen Ridge 2 has hot tubs located on their balconies or private enclosed decks. We have had **very few or no** problems with noise for over 20+ years

I am sure an **indoor pool** and even some balcony hot tubs would be a better **more neighborly solution**.

Larissa my wife and I are not against growth in the Mountain Village community but we wish to comment at your May 6th DRB Zoom meeting and any follow up meetings concerning this subject.

Sincerely,

Bo and Larissa Iwanetz Unit 27B Aspen Ridge 1 Cell: 708-275-4911 biwanetz@sbcglobal.net

John A. Miller

From: Cynthia Warner <cindy@cindywarner.com>
Sent: Wednesday, April 28, 2021 4:11 PM
To: cd
Subject: Proposed Development of Lot 30 at Aspen Ridge

April 28, 2021

Dear Members of the Design Review Board,

Thank you for reviewing input for the Aspen Ridge Lot 30 proposal and considering the concerns of the community and nearby neighbors.

As family member/owner at Aspen Ridge for over 30 years, we are very concerned about the most recent plan to expand the previously planned density for the project at Lot 30 of Aspen Ridge to 19 units.

The previous plan for 11 units on Lot 30 seemed excessively dense, but manageable if well designed and if vehicular access to most units were from Mountain Village Boulevard.

The most recent plan of 19 units is beyond a reasonable density proposal. It would consume nearly every available buildable square foot of the lot. The sheer volume of building and hardscape proposed leaves very little open space or nature and would not be in line with the Aspen Ridge or Mountain Village objectives and setting. It would also increase the vehicular use and traffic beyond a reasonable usage.

The proposal to have the only vehicular access for the new development from Aspen Ridge Drive is also concerning as the existing roadway is often used by residents to walk from their homes to Mountain Village. Placing access, even for a 11-unit complex, on the Drive will be an increased safety hazard.

In conclusion, we firmly oppose the plan being reviewed by the Design Review Board and urge to DRB to reject the increased density aspect of this proposal.

All the best,

Cynthia Warner

Cynthia Warner, 718 Olinda Road, Makawao, HI 96768, cindy@cindywarner.com

(Family member of Bill & Joan Warner, owner at Aspen Ridge Unit 25C)

Cynthia Warner
cindy@cindywarner.com

John A. Miller

From: Jennie <jandjdaley@aol.com>
Sent: Thursday, April 29, 2021 4:07 PM
To: cd
Cc: rtimdurham@gmail.com
Subject: Lot 30 objection

We are long time owners at Aspen Ridge and strongly object to any increase in density (currently 9+2...16+3 requested) by the developer. Further, by reason of location, we request that height be limited to 48 feet, inclusive.

We believe that the enjoyment of our property will be severely curtailed if the current Lot 30 proposal is approved. **We request that no waivers or variances be granted.**

Sincerely,
Jennie and Jim Daley

John A. Miller

From: jerrystrickert <jerrystrickert@verizon.net>
Sent: Thursday, April 29, 2021 4:21 PM
To: Jennie; cd; jerrystrickert@verizon.net
Cc: rtimdurham@gmail.com
Subject: RE: Lot 30 objection

As long time owners at Aspen Ridge, we agree with everything stated in following message from Jim and Jennie Daley and would like to register your objections to any waivers or variances.

Jerry and Donald Strickert

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: Jennie <jandjdaley@aol.com>
Date: 4/29/21 5:06 PM (GMT-06:00)
To: cd@mtnvillage.org
Cc: rtimdurham@gmail.com
Subject: Lot 30 objection

We are long time owners at Aspen Ridge and strongly object to any increase in density (currently 9+2...16+3 requested) by the developer. Further, by reason of location, we request that height be limited to 48 feet, inclusive.

We believe that the enjoyment of our property will be severely curtailed if the current Lot 30 proposal is approved. **We request that no waivers or variances be granted.**

Sincerely,
Jennie and Jim Daley



SOLOMON LAW FIRM, P.C.

227 WEST PACIFIC AVENUE, SUITE A (REQUIRED FOR FEDEX)

PO BOX 1748 (REQUIRED FOR ALL U.S. MAIL)

JOSEPH A. SOLOMON, ESQ. TELLURIDE, COLORADO 81435

ATTORNEY AT LAW

E-MAIL: JSOLOMON@MONTROSE.NET

TEL (970) 728-8655

CELL (970) 729-2225

FAX (775) 703-9582

April 29, 2021

Town of Mountain Village Design Review Board
c/o Michelle Haynes, MPA
Planning and Development Services Director
Housing Director
Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, Colorado 81435

Re: Lot 30 Development Application / May 6, 2021 DRB Hearing

Dear Members of the DRB:

I represent Sandra and Van Gilbert, owners of Granita Unit 303. The purpose of this letter is to comment on the above matter.

Density

Lot 30 is currently has assigned density of nine (9) Condominium Units and two (2) Employee Apartments. The applicant is seeking to increase development density and develop a project that will contain sixteen (16) Condominium Units and three (3) Employee Condominium Units.

Mountain Village Comprehensive Plan

The Mountain Village Comprehensive Plan, as amended by the Resolution dated February 15, 2018, targets Lot 30 and adjacent open space (collectively referred to as "Parcel M") for a high density hotel.

The current Lot 30 owner is not applying to construct a hotel on Parcel M. Rather, the owner is merely seeking to construct nearly double the Condominium Units designated for Lot 30.

There is no justification for this increased density. This increased density results in walling out adjacent properties.

Town of Mountain Village Town Council
April 29, 2021
Page 2

Visuals

Enclosed are the following visuals:

1. Overhead view as provided by the Lot 30 owner/applicant. The single monolithic mass is not consistent with adjacent Aspen Ridge development.
2. Overhead view showing development according to current entitlements. The development should break up massing with buildings consistent with adjacent Aspen Ridge development.

October 15, 2020 Town Council Worksession

The applicant presented a very similar proposal at the October 15, 2020 Town Council Worksession. The Town Council responded that the project was too massive. However, again, the current application is substantially similar to the prior proposal.

Conclusion

Thank you for your consideration of these comments.

Sincerely,

A handwritten signature in black ink, appearing to read "Joseph A. Solomon", written over a horizontal line.

Joseph A. Solomon, Esq.

Encs.
Two Visuals

cc: Sandra & Van Gilbert
Ken Alexander

1. Overhead view as proposed by the applicant

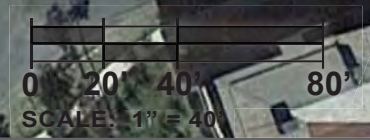


The single monolithic mass is not consistent with the adjacent Aspen Ridge development.

2. Overhead view
per current entitlements



Break up massing with buildings
consistent with adjacent Aspen
Ridge development



John A. Miller

From: Sandy Whitney <swhitney@taosnet.com>
Sent: Thursday, April 29, 2021 12:14 PM
To: cd
Subject: AR lot 30 Plan

Hi Mountain Village Planning Department,

We have recently caught wind about the proposed development of AR lot 30. We are partial owners of unit 25 AR, and bought in when they were first under construction, about 30 years ago. We have appreciated the skillful and articulate planning that has gone into the development of AR and Mountain Village over the last 30 years. Amazing! There is a sense of peace, calmness and order when visiting.

Reading about the proposed increase in zone density, and then about the building of a community center is quite disturbing. We have known that lot 30 would be developed, but anticipated development would be in line with the current state, which would be tolerable, and understandable. The increased zoning though, along with the development of a community center/pool/spa/lockers is out of line with what Aspen Ridge is all about. Looking at the architectural drawings, it looks more like a shopping center in the suburbs of Denver. The increase in people density, traffic, noise, parking would also make me think I was in a busy suburban setting.

Please, please, please consider how this proposed increased zoning density, and the Community Center will impact the current state of AR and Mountain Village. And please, reject this proposal based on basic principles. The beauty of the area will change forever if this goes through, all for the sake of MONEY in the pocket of a developer.

Sincerely,
Sandra & John Whitney

John A. Miller

From: Bill J Warner <billjwarner@gmail.com>
Sent: Thursday, April 29, 2021 11:02 AM
To: cd
Subject: Fwd: Proposed Development of Lot 30 Aspen Ridge

Subject: Proposed Development of Lot 30 Aspen Ridge

Mountain Village Planning Department:

A little history first. We bought into Unit 25 AR when the building was under construction in the 1980's. This was the first building constructed in Aspen Ridge and adjoins Lot 30. Another interesting fact is that we were the first occupants in Aspen Ridge.

We have enjoyed our 30 years at AR. But now we are quite dismayed to learn the owner of Lot 30 wants to increase the permitted 11 units to a proposed 19 units on .6 acre.

The density does not fit our AR community in any sense. Our AR is quite spacious. It is peaceful and quiet.

The proposal includes using AR Drive as access to the development. This is not good at all. At present AR occupants use this access as a quiet walking area to access the Village center and Sunset Plaza. This would become a hazardous excursion to the Village. The original 11 unit zoning would keep the safety aspect more in line with the current situation.

Mountain Village has developed mostly into a beautiful, well-planned resort area. The 19 proposed units will be a detraction from Mountain Village as it is now. And the negative part of this is the inclusion of a Community Center which includes a spa and pool. This is way too much for the AR community.

Please consider this proposal carefully. We urge you to reject this proposal of increasing the density to 19 units, and to reject the building of the Community Center.

Sincerely,

Bill & Joan Warner

John A. Miller

From: Peter Capobianco <petercapo@hotmail.com>
Sent: Friday, April 30, 2021 9:51 AM
To: cd
Subject: Lot 30 Application

Dear members of the Mountain Village Design Review Board

My wife and I have been residents of Aspen Ridge for 15 years . Having reviewed the current proposal for the Lot 30 development we are extremely disturbed by its potentially adverse consequences and would like you to consider our strong opposition to this submission .

In considering the dimensions , elevation, and location of Lot 30 as an abutter to Aspen Ridge we believe the density and high-rise nature of this proposal will have an extremely detrimental effect on the quality of life of the Aspen Ridge community. Aspen Ridge is a well laid out , low density development , not located within the central core of the Town. It should not be negatively impacted by a proposal better suited for that environment. The applicant's inaccurate description of this obtrusive Lot 30 project as a visual "gateway" is outrageous.

Additionally, we would like you to consider in your review that existing access is limited to a narrow singular road already frequented by the vehicular and pedestrian traffic of Aspen Ridge and Tramontana residents and its service providers. Having this access absorb the traffic impacts of the already approved density of 11 units will be challenging enough . To propose increasing this density by 73% is simply misguided. The traffic , noise , parking , required services and the like for a development of this scale will be overwhelming to the Aspen Ridge community . The imposition of an oversized development such as this will unjustifiably infringe on the quiet enjoyment rights of its residents.

Existing market conditions for housing demand in Mountain Village already assure the developer of a viable economic project under the current Lot 30 zoning approvals. The proposal being reviewed is simply an additional " density money grab " at the expense of the adverse consequences of its neighbors.

We respectfully request that the Board protect the interests of the longstanding residents of Aspen Ridge and deny this application in its present form .

Kind regards

Peter Capobianco
Aspen Ridge Unit 24

John A. Miller

From: Glynias, Joe <Joe.Glynias@huschblackwell.com>
Sent: Friday, April 30, 2021 12:41 PM
To: cd
Cc: whitneyglynias@hotmail.com; rtimdurham@gmail.com
Subject: Lot 30 Objection -- Aspen Ridge
Attachments: Presentation Development Lot 30 Mountain Village.pdf

Hello – we are owners on Aspen Ridge, and we wanted to reach out with our concern regarding the project proposed in the attached. In short, we are strongly opposed to this development.

My family and I have been coming out to Telluride since 2013, and always on Aspen Ridge. To say that we fell in love with Telluride and Aspen Ridge would be an injustice to what it has come to mean to us. The ease of access to MV, Meadows, the Gondola, and so many other activities are obvious, but the neighborhood feel is what made us want to be owners on the street. Last year, that became a reality and our six visits over twelve months became our pandemic refuge for my four young children. The comfort of knowing that they could simply walk into or back from the village while my wife and I relaxed at the house or listened to music in Heritage Plaza—without concern for traffic or their safety along the way—is something that makes Aspen Ridge uniquely a part of our life together. We relish having a house in a neighborhood, and we specifically did not want a unit amongst many others.

We understand that this plot has always been zoned for multi-dwelling use, and so some amount of increased population is to be expected, but the expanded application in this proposed development goes well beyond what we would like to see on our street. We are very concerned about the increased congestion on our small street, and the impact it will have on our neighborhood feel. Please consider this to be our formal objection to the proposed development, and we request that no waivers or variances be granted.

I do not believe I misunderstand the development being proposed, as I have studied carefully, but please feel free to contact me if you believe that is the case.

Thanks,
Joe and Whitney Glynias

Josef S. Glynias
Partner

HUSCH BLACKWELL LLP
190 Carondelet Plaza, Suite 600
St. Louis, MO 63105-3433
Direct: 314.345.6208
Fax: 314.480.1505
Joe.Glynias@huschblackwell.com
huschblackwell.com
[View Bio](#) | [View VCard](#)

Husch Blackwell Covid-19 Toolkit

Husch Blackwell has launched a COVID-19 response team providing insight to businesses as they address challenges related to the coronavirus outbreak. Content and programming to assist clients across multiple areas of operations can be found on our website via our [Coronavirus toolkit](#).

April 30, 2021

Town of Mountain Village Design Review Board
c/o Michelle Haynes, MPA
Planning and Development Services Director / Housing Director
Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, CO 81435

Re: Lot 30 Development Application

Dear Members of the DRB:

As parties directly impacted by the density increase proposed for Lot 30 and as two of the multitudes of people who are in awe of Mountain Village's spectacular setting, I respectfully submit these comments on the above matter.

Looking upwards from ground level to the red ties in the trees, the magnitude of the building mass is not readily apparent. From the balcony of our third-floor unit in the Granita Building the magnitude of the proposed building is apparent. The proposed structure(s) are not in keeping with the adjacent Aspen Ridge development.

Attached are two visuals illustrating how the higher density, 19-unit, condominium impacts its immediate surroundings.

Visual 1 is the mock-up of the condominium on the site using the developers photo taken with my permission from Granita 303's balcony. Taken during fire season the photo shows no views.

Visual 2 is a photo of the condominium site taken from Granita 303's balcony on a clear day, showing the view to the west and north. Using the bare trees and distinctive crooked tree limbs shown in Visual 1, I marked up the clear-day photo to mimic the building outline.

The **red outline** shows the condominium building rising above the distant horizon directly to the west and north, blocking every view.

The **green outline** marks the roof line of Aspen Ridge structures and shows how the proposed condominium building will loom over the long-standing Aspen Ridge development.

Is a developer entitled to drastically alter every visitors experience of the unique visual setting as one traverses Mountain Village Boulevard, diminish the sense of a pedestrian environment, and eliminate access to views and sunsets? The Lot 30 current density allows development of the site in keeping with the aesthetic values of the community and with respect for an appropriate building mass on Lot 30's limited size. With the Town Council's decision to authorize a review of the Comprehensive Plan for development decisions going forward, it seems prudent to place a moratorium on decisions until the review is completed.

Best regards,
Van and Sandra Gilbert



John A. Miller

From: Bohdan Iwanetz <biwanetz@sbcglobal.net>
Sent: Friday, April 30, 2021 1:14 PM
To: cd
Cc: Mike Rutledge; Dr, Tony Howard; Tim Durham; Phillip Gruszka; Bohdan A Iwanetz; Julie REZNICEK; Jack Ellis; Josie Howser; Rick Klopccic; Thomas West
Subject: Additional problem with Lot 30 proposal Discovered, water discharge hazard & possible damage!

Mountain Village Design Review Board

Addition to the prior objections by Bo & Larissa Iwanetz to the LOT 30 development.

This is the discovery concerning drainage of collected Water from the Car turn-around and driveway directly onto OS-1A-R3 (ski-out access for Aspen Ridge 1 HOA) east of unit 27 and through the West wall of the development via a 12 inch pipe

This is described on DRB Grading Plan sheet 2 of 3 prepared by Alpine Land Consulting, LLC in the Avventura Packet. (this is page 189 of the 238 page 1st meeting package) it is noted at North end of the Planter wall "12 inch flared end section or culvert outlet in wall"

This would discharge on a surface that would ice up in the winter, and erode the path as well as discharge possible against the foundation and crawlspace of the 4-plex specifically my unit 27.

I need a clear explanation why this is allowed and cannot be discharge to a different area that would be wider and not so dangerous and possible damaging to the communities ski out access and neighboring structures.

Bohdan A. Iwanetz owner of Aspe Ridge 1 unit #27.

Sunday, May 2, 2021

Via email: CD@mtnvillage.org

Mountain Village Planning and Development Services
455 Mountain Village Boulevard, Suite A
Mountain Village, Colorado 81435

Re: Lot 30 Development Comments

Dear Mountain Village Design Board:

As the owner of a property within 400 feet of the proposed development of lot 30, I am submitting my comments and concerns regarding the development. I am opposed to the change in density and the development as currently submitted.

My wife, Joanne, and I are the owners of condominium number 204 in the Granita Building. We do not rent out the condominium and occupy the unit periodically throughout the year. Our condominium is on the second level of the building with a southwest exposure – right toward lot 30

Our concerns are summarized with the following three points:

1. The zoning of lot 30 at the time of our purchase of the condominium was a salient factor in our purchase decision. We depended on the Village Comprehensive Plan, the Design review board, and the Town Council to help protect our interests (i.e., views, noise, density). Rezoning or “transferring” density flies in the face of the spirit of zoning and undermines our interests.
2. The density and the height of the development with no set back requirements will create a “canyon” effect similar to the area of Mountain Village Boulevard, north of the Madeline Hotel.
3. The proposed development of Lot 30 as submitted by Zehern and Associates will significantly decrease the property value of our condominium unit as well as the values of the other Granita condominiums.

We take no exception to the proposed Lot 30 limited commercial space or (2) employee units of density.

Zoning

We purchased our condominium 3 years ago. Working with our realtor, we confirmed at that time that Lot 30 was zoned for up to nine condominium units and two employee units. That seemed reasonable. Our expectation was that, if the lot had to be developed, that the

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Via email: CD@mtnvillage.org

Mountain Village Planning and Development Services

455 Mountain Village Boulevard, Suite A

Mountain Village, Colorado 81435

Re: Lot 30 Development Comments

May 2, 2021

condominium units would be similar in density and appearance to the adjacent Aspen Ridge units. The Aspen Ridge units have an acceptable height, density, and setback.

Our understanding of zoning is that it is to provide a comprehensive pattern of growth and development while protecting the values of the current property owners. Wikipedia states "*These (zoning) guidelines are set in order to guide urban growth and development.*" There is an implicit expectation of some permanency and reliability of the zoning process.

I am sure that Adventura, LLC was well aware of the zoning when they purchased the property. To change the parameters of the zoning to try and make their development financially sound is not the problem of the Mountain Village Development Board or the owners of the Granita Building.

In addition, the whole concept of "trading" density units contradicts the zoning principal. The "trade" allows higher density where the higher density was never planned (or, in this case, desired).

Our opinion is that the Village Development Board and Town council owes a responsibility to the Citizens of Mountain Village to respect the original intent of the current zoning.

Canyon Effect:

One can walk down the street or the sidewalk of Mountain Village Boulevard north of the Madeline Hotel at most times be walking in shadows. The area is lifeless with little activity. We have heard residents call it the "dead zone" as the adjacent buildings tower above, with little sunlight. There are virtually no building setbacks or activity in this area(except for the delivery trucks!). The sounds of the cars and trucks reverberate between the buildings with no dampening.

If the development of lot 30 proceeds as designed, the space between the Granita building and the Lot 30 development will likely have a similar feel (except our balconies and windows will open to the space). This configuration of high buildings with no or little setback is not desirable and decreases our property values and our quality of life.

Property Values:

This concern is certainly related to the first two concerns. If the development of lot 30 proceeds as Zehren and Associates have proposed, the values of the condominiums in Granita

Page 3

Via email: CD@mtnvillage.org

Mountain Village Planning and Development Services

455 Mountain Village Boulevard, Suite A

Mountain Village, Colorado 81435

Re: Lot 30 Development Comments

May 2, 2021

will certainly decrease. Several long-term owners sold their condominiums after the Lot 30 proposal was submitted.

If the Lot 30 development proceeds as submitted, then Zehren and Associates owes all of the Granita owners with west, and southwest exposures compensation for the decrease in their property values.

But, then again, isn't that what zoning is supposed to prevent?

A handwritten signature in blue ink that reads "Sam Patton". The signature is written in a cursive, flowing style.

Sam Patton, P.E.

The Granita Building

560 Mountain Village Boulevard, #204

Mountain Village, Colorado 81435

SPatton@ EnviroDesign.biz

512-633-5396

John A. Miller

From: Herman KLEMICK <hklemick@hotmail.com>
Sent: Sunday, May 2, 2021 6:59 AM
To: cd
Cc: John A. Miller; timl@zehren.com; lcalaiamd@gmail.com
Subject: Lot 30 Development

We are the owners of Aspen Ridge #23. We oppose the proposed increase in density and the development of lot 30. The increase in density will negatively impact the owners of Aspen Ridge and traffic on Mountain Village Blvd. Was there an independent traffic study on the impact of the development on Aspen Ridge and MV Blvd? If so please send it to us. The long construction will also negatively impact the owners of Aspen Ridge. Where is the proposed staging area for the construction? Where are the workers and construction vehicle supposed to park? Who will make the repairs to the Aspen Ridge road during and after construction? Please provide us with a rendering of the proposed project. I see absolutely no benefit to Aspen Ridge owners or the traffic on MVBlvd. Once again we strongly oppose the increase in density and the development. Herman and Diane Klemick

Sent from my iPad

John A. Miller

From: Michelle Haynes
Sent: Monday, May 3, 2021 9:38 AM
To: John A. Miller
Subject: FW: Lot 30 development objections - public comment

From: yvette rauff <yvette.rauff@gmail.com>
Sent: Monday, May 3, 2021 9:39 AM
To: Michelle Haynes <MHaynes@mtnvillage.org>
Subject: Lot 30 development objections

Hello Michelle,

I'm not sure if you are the correct person for me to send my objections to regarding the proposed Lot 30 development.....if not, please let me know where I should send this.

I reviewed the proposed development plans and have several objections to the magnitude of the mass of the building and what effect that will have on the quality of the "neighborhood" for current owners in the Granita Building and Aspen Ridge, as well as all of us who call Mountain Village home. Regarding the request for an increase to the density: I see no reason for approving such an increase. The addition of one additional employee housing unit does not justify the increase in my opinion.

In fact, when the developer brought his proposed plans to the owners of Granita units last fall, I, and others, strenuously objected to them then.

I believe that the review of the Comprehensive Plan for development that is in motion will reveal that the majority of the residents of Mountain Village are concerned with overdevelopment and the very real risk to subsequently diminishing of the qualities that make this place so special for residents and guests alike.

Sincerely,
Yvette Rauff
133 Lost Creek Lane #3
Mountain Village

John A. Miller

From: Howard Dixon <hrdixon@yahoo.com>
Sent: Tuesday, May 4, 2021 11:49 AM
To: cd
Subject: Lot 30 development project

Hello,

This is Howard and Donna Dixon. We are owners in Unit 1D of Aspen Ridge Townhouses. We are original owners in this portion of Aspen Ridge Townhouses, purchasing our unit in 1992, when the construction was complete. Our two unit (#1 & 2) attached buildings were in the second phase of the AR project, after the first phase of the project of four units to the north, closer to the ski hill by chair one.

My understanding is that there are four main aspects that are a concern to us in Unit 1 and adjacent Unit 2.

We agree with Tony Howard and our other owners that these are important issues.

1. The driveway into and out of Lot 30 should be redirected as to change the direction of the cars coming out of the complex so we don't have them heading directly toward our unit. This would be of most concern at night to reduce headlight exposure into our unit. We would sincerely request this change of exit direction.
2. Should place the dumpster shack in a position that it is not an eyesore to the neighborhood. Hopefully it can be landscaped to block its view from the street, and our units.
3. We would appreciate that the access to Run #1, along the property line to the west of Lot #30 lotline be kept open for the skiers that use that route to access Run #1. It might also be a route that your owners in Lot #30 might find a benefit to also access the route to Run #1.
4. Most importantly, we firmly object to the increase in density from the original 11 units to 19 units on this 0.6 acre parcel, that was originally approved.

Best regards,
Howard and Donna Dixon
AR Unit 1D

John A. Miller

From: Ken <ken@architectstelluride.com>
Sent: Tuesday, May 4, 2021 3:01 PM
To: Michelle Haynes
Cc: John A. Miller
Subject: Fwd: LOT 30

Michelle and John, please review the attached letter and I would like to speak at the meeting.

Thanks,
Ken Alexander
Founder Architects Collaborative
"Amazing Spaces. Magnificent Places."
ken@architectstelluride.com
970.708.1076
P.O. Box 3954 Telluride 81435

ARCHITECTE
COLL

Begin forwarded message:

From: Ken Alexander <ken@architectstelluride.com>
Subject: LOT 30
Date: May 4, 2021 at 11:17:20 AM MDT
To: Solomon & Solomon <solomon@montrose.net>
Cc: Sandra <svgnm@comcast.net>, <VGilbet@vharchitect.com>

Town of Mountain Village Design Review Board
c/o Michelle Haynes, MPA
Planning and Development Services Director
Housing Director
Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, Colorado 81435

Re: Lot 30 Development Application

Dear Members of the DRB,

I have been asked by the owners of Granita to write this letter on their behalf.

As I'm sure you are aware the current CDC is under review by a private consultant. Certainly an important project such as this will be affected by the revisions. My interpretation as an Architect who has worked on numerous multifamily and hotel projects such as; the Inn at Lost Creek, See Forever and the Lorian Condominiums is that Hotel projects are problematic.

The occupancy numbers for a hotel in Telluride are difficult with the off season fluctuations. Finding a brand name operator is a problem for this reason. I have always said a hotel needs to have a developer/owner with deep pockets who will build it and then hire the hotel to manage it. A risky business and one that has caused numerous changes in ownership at the Peaks and Madeline for example. The latest Four Seasons hotel has 2 developers collaborating probably for much the same reason.

Most likely this project is not proposing a hotel because of that. So then what do we allow instead? Only the current density? The desire for more "Hot beds" is still good planning. But how do we achieve this and aid developers in designing a project that is successful? If I am not mistaken, that is the reason to allow a density increase.

Economics dictate a smaller more affordable unit is more likely to rent. Currently density is appropriated in a manner to allow more smaller units. Simply allowing a developer a density increase without addressing the short term rental "hot bed" issue is a mistake. What is the public benefit?

To address the massing of the building we have the "average maximum height". This is meant to reduce the scale to adjacent properties, street frontage and to maintain view corridors. I would ask the applicant to respect the neighbors input and ask the DRB to insure this is done properly. While not required, story poles have been used in the past to insure view corridors are preserved.

In conclusion I would ask the DRB and the Planning Board to review closely the increase in density to insure a public benefit. Hotels have operated on a sale of a number of units with some held in ownership to insure rental. Then offered HOA dues reductions for privately owned units who rent for example.

More importantly I would ask the DRB to assure that the maximum average height maintain my clients view corridors.

Thank you,

Ken Alexander
Founder Architects Collaborative
"Amazing Spaces. Magnificent Places."
ken@architectstelluride.com
970.708.1076
P.O. Box 3954 Telluride 81435

ARCHITECTS
COLLABORATIVE

May 1, 2021

To the PRB and City Council of Mountain Village:

This is a response to the request of Avventura, LLC detailed in the notice dated April 3, 2021 for plan approval for the new construction development of Lot 30, Mountain Village. These comments are made from review of the notice to surrounding property owners and available drawings and plans from September 24, 2020.

While we respect the rights of property owners to develop and build structures on their property, we as owners of the Aspen Ridge Condominium Buildings #1 and #2 have the following objections to the planned development:

1—The density requirements of Mountain Village exist in part to help protect existing property owners and users from the burden of overreaching reasonable limits of new adjacent developments. Because this planned development requires a special approval of an increase in housing unit density which will support up to 57 persons on a 0.6 acre lot, and more than 25 vehicles which would enter and exit on the small side road adjacent to it (Aspen Ridge Drive), we respectfully object to the request of the city administration to approve the increase in density. This density increase will impact noise, traffic, and pedestrian safety in this area in the area surrounding lot 30.

2—The plans noted above indicate that the only entrance and exit drive into this large structure will apparently be located at the current easement for a driveway entrance well west of Mountain Village Blvd onto Aspen Ridge Drive. This driveway, as noted on the plans, opens/empties in close proximity to the NE end of our building which contains Aspen Ridge units 1 and 2. We feel that this is an unwelcome and unnecessary inconvenience to us as existing property owners and will have a significant impact on the enjoyment and value of our property. Automobiles entering and leaving this sole vehicle access to the development will increase:

a- noise-- with automobiles starting and stopping directly across from our building to enter the gate and turn into and out of the building.

b-light—headlights at night will potentially shine directly onto our bedroom windows as they exit the building.

c-exhaust and vehicle odors which will enter open bedroom windows of each of our units on two floors facing the proposed driveway during the summer months.

d—these also have a likelihood of impacting the privacy and enjoyment of the outdoor hot tub east of Aspen Ridge #1.

3—The proposed 225 sq ft trash receptacle area, which is the only common trash receptacle indicated for the proposed development in the notice, is stated to be planned adjacent to the driveway. The noise and odors resulting from expected use of this receptacle have a potential impact on the enjoyable use of our property.

Regarding #'s 2 and 3 above, we would propose that an entry to the proposed development from Mountain Village Blvd. would be much more practical and have less impact on our condominium complex.

As current property owners, we very much appreciate your consideration of our objection to the increase in density and the development plan proposal as written. Thank you very much for taking the time to review our requests.

Sincerely,

Charles and Lisa Howard

Linda Maclachlan

Claire Polstein/Paul Rudnick

Jack Ellis

Howard and Donna Dixon

John A. Miller

From: John Tarbox <jtarbox@aol.com>
Sent: Thursday, May 6, 2021 8:51 AM
To: cd; John A. Miller
Cc: Thomas West
Subject: Objections to Proposed Development of Lot 30, Town of Mountain Village

I wish to speak at the Design Review Board hearing this morning at 10:00 am
My comments will address the following objections.

Thank you,
John Tarbox

Objections to Proposed Development
of
Lot 30, Town of Mountain Village

From John Tarbox, attorney for Thomas West, owner of several units in Aspen Ridge

We strenuously object to the proposed development and ask that the Design Review Board (DRB) deny the proposed development and in particular deny the requested density transfer, the requested rezoning and all requested variances.

The proposed development is far too dense, uses too much impervious cover, is too tall, is not compatible with the adjoining properties, and fails to use proper setbacks, graduated heights and other appropriate design features.

The applicant developed the Tramontana project so it is clear he knows how to build a nice project. Lot 30 should be developed similarly to its neighbors Aspen Ridge or Tramontana. Both properties meet the basic principles of urban planning mentioned above.

The existing density of 9 condominiums + 2 employee condominiums is the most that should be allowed on Lot 30. Even that figure is quite dense, but since it is currently approved, we are not objecting to it. That density permits adherence to the basic design principles.

Use of a zero lot line, with no building setbacks, is not appropriate for Lot 30. This property is not in the Village Center, and this feature is wildly inappropriate for the neighbors and the surrounding open space. The harsh impact of no building setbacks is made worse by the lack of graduated height maximums, and a 53 foot height, imposing what amounts to a giant wall right on top of the neighbors and the open space. None of this is compatible with the neighboring vegetative environment, wildlife, recreation or views of the open space, or the use, enjoyment and property values of the neighbors at Aspen Ridge and at other neighboring properties.

Instead, Lot 30 should be developed with appropriate setbacks, graduated height maximums, and overall height above grade no greater than the neighboring properties at Aspen Ridge and Tramontana.

The primary characteristics of Telluride and Mountain Village are the incredible beauty and views. This project destroys both and is inconsistent with the very nature of Mountain Village and the Mountain Village Comprehensive Plan. This project fails to meet several of the 8 key land-use values of the Comprehensive Plan:

- 1) it fails to preserve open space lands, “expansive views” and the “unparalleled visual experience”,
- 2) it imposes upon the “Recreational Backbone” of Mountain Village, lessening the recreational experience,
- 3) it fails in “Alpine Character Preservation“, opting instead for a dense urban feel, which is not appropriate in this location,
- 7) the “Gateways” value refers to “protecting public viewsheds“ and the natural corridor surrounding Mountain Village Boulevard. This project fails in this regard and destroys many existing view corridors, which should be preserved to the greatest extent possible,
- 8) The value for “Appropriateness and Fit of Land Uses” states that “uses should fit into the surrounding neighborhood to ensure appropriate scale and context to their surrounding natural and built environments”. This project badly fails to meet this value.

The proposal refers to its adjacency to the Village Center to justify its dense urban design. The fact is that the project is NOT in the Village Center and this design is not appropriate or compatible with the surrounding land uses.

Beyond the general design, several particular details are objectionable:

- a) The northwest corner of the project is way too far forward and destroys a significant portion of the views of Aspen Ridge Building 27.
- b) Locating the pool and amenities in the northwest corner puts significant noise and light pollution right on top of Aspen Ridge Building 27.
- c) The stormwater for the entire project dumps onto Aspen Ridge creating significant drainage, flooding, erosion and other problems. This must be addressed.
- d) No stormwater detention is provided. Both detention for flood and erosion control, and water quality, must be provided.
- e) The structural planter wall along the west property line amounts to an unsightly wall, right on top of existing residences and must be redesigned.
- f) The project has only 525 ft.² of formal landscaping, which is only 2% of the 0.6 acre project. It appears that the remaining 98% of the project is impervious cover, which is wildly inappropriate.
- g) The trash enclosure should be required to be far away from the Aspen Ridge property line.

Approving these proposals would not only be inappropriate, but would significantly harm property values, especially for Aspen Ridge Building 27, and would be a governmental action that amounts to a taking without compensation. We ask you to reject the proposed development and in particular deny the requested density transfer, rezoning and all variances and send the applicant back to the drawing board to design a more appropriate project.

Thank you for your time and consideration.

LAW OFFICES OF

JOHN E. TARBOX

ATTORNEYS AND COUNSELORS AT LAW

248 ADDIE ROY ROAD, SUITE A-201

AUSTIN, TEXAS 78746

512 / 913 - 9888 (TEL)

512 / 532 - 6305 (FAX)

John A. Miller

From: Thomas West <trinity.exp1@yahoo.com>
Sent: Thursday, May 6, 2021 9:08 AM
To: John A. Miller
Subject: Re: Zoom Call for Lot 30 Development

Here are the written comments that I will be discussing today before the board:

Good morning,

I appreciate the opportunity and the time to address the Design Review Board regarding the proposed Lot 30 development.

With the past month, my family invested in Aspen Ridge Unit 27, immediately adjacent to the proposed development. I just within the last week became aware of the proposed density increase. I know little about many of the issues regarding zoning within the township of Mountain Village though I am beginning to learn about many of terms including transfer of density and density banks and BuildingFootprint Lot.

I am here today to oppose the increased density as it will diminish the property value of my investment and I believe the investment of the other property owners in Aspen Ridge. The now beautiful Aspen Ridge drive will be overshadowed by a high wall of masonry and stone extending as much as 4 stories high near all property lines.

The concept of a TF lot or Building Footprint Lot with the approval of building of structures to the lot line may have application and look appropriate in certain situations, I do not believe, this is a situation where it is appropriate or beneficial to the neighboring properties or the township of Mountain Village. Though I understand that Lot 30 may be designated as part of the core, it is not in the core in practicality, and building to the lot lines with no green space allocated does not enhance the area nor adjacent properties. This is a 180 degree turn from the way the tasteful and beautiful Tramontana property was developed.

The shock I have felt from seeing the scope of the building density proposed, the lack of green space, the building heights proposed, the lack of building setbacks, and absence of green space cannot be overstated. With that being said, I have these questions:

1. What is the Connectivity with adjoining property owners designed into the project to enhance adjacent properties and blend into the existing development?

2. What alternative ingress and egress from the proposed development project have been considered? Possibly ingress and egress onto Mountain Village Boulevard?
3. The approval process of the new development should take into consideration a stepping down to similar heights as adjoining structures at Aspen Ridge? Or will it tower over existing buildings at Aspen Ridge casting its shadows and being a permanent eyesore for Aspen Ridge owners?
4. Landscaping plans between Aspen Ridge and the proposed development to soften and add beauty for the Aspen Ridge property owners seems grossly inadequate?
5. Has consideration been designed into the project for joint access to the ski slopes For Aspen Ridge property owners ? Does it consider and protect current access to the slopes for Aspen Ridge property owners?
6. Why does the pool need to be located at the corner of the property exposing the adjacent property owners to noise and light from the pool and activity at the pool? It is currently located in extremely close proximate to the balcony on Unit 27. Why not move the pool above the entrance to the project as was done at the Madeline away from adjacent property owners? Have the planners of the project done analysis of the sunlight on the pool per day on the current pool location? A quick check seemed to indicate that location would get as little as 30 minutes of sun a day which seems like a poor location for a swimming pool.
7. Will the entire portion of water and snow falling on the site be captured and dropped into dry wells and thus not be impacting adjacent property owners? I am not sure but I believe there is currently a storm drain that is pointed in the direction of Aspen Ridge development. I have not had time to confirm that but would be strongly opposed to that should it be the case.

This completes the questions and concerns I have at this time. I reiterate that I strongly believe that while the may this may make for a more profitable development and bring more beds to the core area, it does not enhance the existing street of Aspen Ridge Drive and will not be an improvement to the area property owners as proposed and will actually diminish our property values.

I strongly oppose the project as designed and ask that you send it back to come up with a plan that integrates and enhances the existing properties.

Thomas West

Sent from my iPad

On May 6, 2021, at 9:42 AM, John A. Miller <JohnMiller@mtnvillage.org> wrote:

Thank you Thomas for the heads up. When we get to the Lot 30 item, staff will present, then the applicant - and after that, the Chairman will open the floor for public comment.

Best,

J

John A Miller III
Senior Planner
Planning & Development Services
Town of Mountain Village
455 Mountain Village Blvd, Suite A
Mountain Village, CO 81435
O :: 970.369.8203
C :: 970.417.1789

For information about The Town of Mountain Village's response to COVID-19 (Coronavirus), please visit townofmountainvillage.com/coronavirus/

-----Original Message-----

From: Thomas West <trinity.exp1@yahoo.com>
Sent: Thursday, May 6, 2021 8:22 AM
To: cd <cd@mtnvillage.org>
Subject: Zoom Call for Lot 30 Development

Good morning, I would like to speak at the hearing at 10:00.
I am an owner in the adjacent property, Aspen Ridge condominiums.

Thomas West

Sent from my iPad

John A. Miller

From: Carie Corry <carie.corry@gmail.com>
Sent: Friday, May 7, 2021 6:39 AM
To: cd
Subject: Proposed development Lot 30

Please note that we vehemently oppose the proposed development of Lot 30. We have been telluride property owners for over 25 years and this plan is not acceptable, nor in line with the beauty of the Mountain Village. The footprint is too large and the density is much too high. Please oppose this project in the interest of all of us that are invested in Telluride as a beautiful mountain retreat. Thank you for your support in this matter.

Carie Warner Corry
Aspen Ridge

--

Carie Corry
678-262-8834

John A. Miller

From: Jack Ellis <jackellis803@comcast.net>
Sent: Thursday, May 6, 2021 2:13 PM
To: John A. Miller
Cc: Bo Iwanetz; Tim Durham; Tony Howard
Subject: Lot 30

Hello Mr. Miller,

I understand that I am too late to have the following comment entered as a part of the May 6 review. I have been out of town and for practical purposes unable to correspond with you until now. I hope my thoughts will be considered in any future decisions regarding the development of lot 30. I ask that you enter this message into the comments for this application. Any thing you can add to correct any of my assumptions will likewise be welcomed.

I am an owner of Unit #2 in Aspen Ridge I. I purchased this unit in 1992 with the verbal understanding from the developer, Mr. Huschke, that there was a 8 foot easement on the east side of the Aspen Ridge property adjoining Lot 30 that was to serve all the owners of Aspen Ridge I as a ski in-ski out access to the Meadows ski run. We have enjoyed this privilege for the past 30 years. Only recently have I discovered that apparently the 'TF' zoning designation for lot 30 meant 'total footprint,' meaning that building is permitted up to the lot line. (Additionally, it does not seem that construction to the lot line is appropriate adjacent to multi-family projects such as Aspen Ridge.) My concern is that due to slopes, contours and other natural, or newly man-made due to construction, effects this zoning designation may diminish or prevent the practical use of this 8 foot easement.

If you are a skier, you may appreciate that 8 feet, walled on both sides, is not a generously wide path in which to navigate. The path, or actual track, that has been historically used for those past 30 years is not a straight line and has some meanderings, or 'slaloms,' which in retrospect I infer are used to check one's speed or to avoid a natural obstacle. Without the ability to be on site and actually measure that 'natural path,' which has been rather constant over the years, I am quite confident that it exceeds 8 feet in width for a portion of its length, and I am sure that it encroaches slightly onto that 8 foot easement. I believe that the current zoning, will allow construction that will create a clear safety risk. To do so would seem to me to be irresponsible.

My concern is that construction may cause this easement to no longer be viable for the professed use as a "ski run." The "TF" designation may force the existing traditional path to be reoriented such that it encounters existing impediments, or that construction may cause new impediments, such as the drainage outflow correctly objected to by Mr. Iwanetz, will create dangerous icy sections of the path, or that slopes and contours may become too steep or narrow to allow safe transit even within the 8 foot width. Other construction effects, not yet envisioned may very well become "unintended consequences."

I request that the design be analyzed to determine if construction needs to extend to the lot line at this point of interface with Unit 27 of Aspen Ridge and a minimal setback be required. Alternatively and/or in addition, requirements be added to the building permit to assure that there be no impediments to the safe passage of skiers in the use of this easement.

Thank you for your consideration.

John R. (Jack) Ellis

Town of Mountain Village Design Review Board
c/o Michelle Haynes, MPA
Planning and Development Services Director
Housing Director Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, Colorado 81435

Re: Lot 30 Development Application

Dear Members of the Design Review Board:

I am commenting concerning the referenced application. My family owns multiple interests in Aspen Ridge Phase I.

We strongly oppose the increase in density for multiple reasons including the following:

- The application for increased density will result in a design that simply is too large for the 0.60-acre lot. The mass and zero lot line design will overwhelm the views, the beauty, and the overall aesthetics of Aspen Ridge and other adjacent properties. The application is proposing to increase density to a prorata density of 31.66 units per acre.
- The classic “footprint” lot seems to have been designed for the core and was thus surrounded by walking space that facilitates connectivity around the “footprint” lots that work together to create the core. We do not see any connectivity created by this building with such a large “closed-in” design. It seems rather that this zoning is better applied to lots surrounded by plaza space.
- Virtually 100% impervious cover is not without negative impact on the surrounding properties. Watershed and drainage issues, shadow casting, lack of room for greenspace and landscaping, lack of room for sidewalks are all extremely negative impacts for adjacent properties.
- Lack of connectivity with surrounding properties.

We have questions including the following that we would like answers to:

- Is this increased density and “footprint lot” designation make sense in this development application?
- Will a privacy wall be allowed to be put constructed on the property line to provide privacy and noise protection from loud gatherings of people in the club room and adjacent spaces? These spaces will be in very close proximity (14 feet) to the master bedroom and the balcony of Aspen Ridge #27.

We do not see that there is any merit to the increased density and designation as a footprint lot in Mountain Village. We believe that protection from this overbearing use of density transfers is in the best interests of all of Mountain Village property owners and visitors.

Currently, Aspen Ridge Drive including the Tramontana development is a beautiful and special location aesthetically, please do not change that by increasing the density of Lot 30 dramatically as requested.

In conclusion, thank you for your consideration of these comments.

Thomas and Ann West



SOLOMON LAW FIRM, P.C.

227 WEST PACIFIC AVENUE, SUITE A (REQUIRED FOR FEDEX)

PO BOX 1748 (REQUIRED FOR ALL U.S. MAIL)

JOSEPH A. SOLOMON, ESQ. TELLURIDE, COLORADO 81435

ATTORNEY AT LAW

E-MAIL: JSOLOMON@MONTROSE.NET

TEL (970) 728-8655

CELL (970) 729-2225

FAX (775) 703-9582

June 1, 2021

Town of Mountain Village Design Review Board
c/o Michelle Haynes, MPA
Planning and Development Services Director
Housing Director
Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, Colorado 81435

Re: Lot 30 Development Application

Dear Members of the DRB:

I represent Sandra and Van Gilbert, owners of Granita Unit 303. The purpose of this letter is to comment on the above matter.

October 15, 2020 Town Council Worksession

At the May 6, 2021 DRB hearing, the results of the Town Council Worksession were misrepresented to the DRB. Town staff stated that, at this Worksession, "Council kind of gave it the green light." That was not an accurate statement. In addition, a DRB member stated it was that member's understanding that Council endorsed the proposal. Again, that was not accurate. Rather, as explained in the letter submitted on behalf of the Gilberts on April 28, 2021:

October 15, 2020 Town Council Worksession

The applicant presented a very similar proposal at the October 15, 2020 Town Council Worksession. The Town Council responded that the project was too massive. However, again, the current application is substantially similar to the prior proposal.

Importantly, see the enclosed Transcript of 10/15/20 Town Council Worksession, Town Councilmembers Concluding Remarks. This discussion began at 03:32:20 of the Zoom recording.

It appears the Town should consider addressing its general Worksession procedures, being, ensuring the minutes reflect Council direction.

Density

Again, Lot 30 is currently has assigned density of nine (9) Condominium Units and two (2) Employee Apartments. The applicant is seeking to increase development density and develop a project that will contain sixteen (16) Condominium Units and three (3) Employee Condominium Units.

Mountain Village Comprehensive Plan

The Mountain Village Comprehensive Plan, as amended by the Resolution dated February 15, 2018, targets Lot 30 and adjacent open space (collectively referred to as “Parcel M”) for a high density hotel.

The current Lot 30 owner is not applying to construct a hotel on Parcel M. Rather, the owner is merely seeking to construct nearly double the Condominium Units designated for Lot 30.

There is no justification for this increased density. This increased density results in walling out adjacent properties.

Visuals

Enclosed are the following visuals, similar to those presented to Town Council in October 2020 and the same as provided to DRB prior to the May 6, 2021 DRB hearing:

1. Overhead view as provided by the Lot 30 owner/applicant. The single monolithic mass is not consistent with adjacent Aspen Ridge development.
2. Overhead view showing development according to current entitlements. The development should break up massing with buildings consistent with adjacent Aspen Ridge development.

Town of Mountain Village Town Council
June 1, 2021
Page 3

Conclusion

Thank you for your consideration of these comments.

Sincerely,

A handwritten signature in black ink, appearing to read "Joseph A. Solomon, Esq.", written over a horizontal line.

Joseph A. Solomon, Esq.

Encs.

Transcript of 10/15/20 Town Council Worksession / Council Concluding Remarks
Two Visuals

cc: Sandra & Van Gilbert
Ken Alexander

Transcript of Town Council Worksession

Continued Discussion Regarding a Development Proposal for Lot 30, to Develop
17 Condominium Density Units and 3 Employee Condominium Units

October 15, 2020

Town Councilmembers Concluding Remarks

Laila Benitez: I'm going to go ahead and close public comment and bring things back up to counsel. Is there any other feedback or any questions that you have to share with either Stephanie [Fanos] or the applicant.

Marty Prohaska: To make this productive what I seem to be hearing is that there are lingering concerns about the potential mass and scale of it specifically I would think from the perspective of Mountain Village Boulevard, and I agree if there were some changes to the design that would allow for a little bit more division of these large buildings, a little bit more space, that might be better received by neighbors.

Laila Benitez: Other feedback. I think I would echo Marty's comments. I am not in the design game, and I'm not going to try and propose anything specific, but I will say that a large mass if broken could have a completely different impact on how it's received in the neighborhood.

Patrick you are nodding your head.

Patrick Berry: I generally agree with what Marty just commented and your comments as well. There's some hesitation that I'm seeing on the sale the size and the public benefit, you know I appreciate the additions but does it fit the scope, I've got more research to do on that as well.

Laila Benitez: Let's just say I don't have an issue with height so much as just what Marty stated, the large expanse in one building.

If there's no other comments, I'm going to conclude this worksession.

1. Overhead view as proposed by the applicant

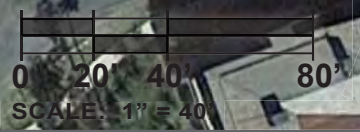


The single monolithic mass is not consistent with the adjacent Aspen Ridge development.

2. Overhead view
per current entitlements



Break up massing with buildings
consistent with adjacent Aspen
Ridge development



John A. Miller

From: JOHN TARBOX <jtarbox@aol.com>
Sent: Thursday, July 1, 2021 10:51 AM
To: John A. Miller; cd; Michelle Haynes
Cc: Thomas West
Subject: Re: Objections to Proposed Development of Lot 30, Town of Mountain Village

John and Michelle,

I understand the Design Review Board will be holding a hearing today regarding Lot 30 and I wish to offer the following comments and objections.

Thank you,

John Tarbox

Objections to Proposed Development

of

Lot 30, Town of Mountain Village

From John Tarbox, attorney for Thomas West, owner of several units in Aspen Ridge and two units in The Madeline.

As owner of units in the core and out of the core, we understand the stark difference between the two areas. Surely the developer of Lot 30 understands this stark difference as well, and the only reason we can think of to put a core design outside the core is simply to maximize revenue. That is not a sufficient reason to violate the aesthetics of Mountain Village. It is the duty of the DRB and the Town Council to preserve those aesthetics, and we ask you to do so by denying this application in its current form.

We strenuously object to the proposed development and ask that the Design Review Board (DRB) deny the proposed development and in particular deny the requested density transfer, the requested rezoning and all requested variances.

The proposed development is far too dense, uses too much impervious cover, is too tall, is not compatible with the adjoining properties, and fails to use proper setbacks, graduated heights and other appropriate design features.

The applicant developed the Tramontana project so it is clear he knows how to build a nice project. Lot 30 should be developed similarly to its neighbors Aspen Ridge or Tramontana. Both properties meet the basic principles of urban planning mentioned above.

The existing density of 9 condominiums + 2 employee condominiums is the most that should be allowed on Lot 30. At 18.33 units per acre, even that figure is quite dense, and significantly higher than Aspen Ridge next door, but since it is currently approved, we are not objecting to it. That density permits adherence to basic design principles. By comparison, the proposal is 31.66 units per acre which is far too dense and makes adherence to basic design principles impossible.

Use of a zero lot line, with no building setbacks, is not appropriate for Lot 30. This property is not in the Village Center, and this feature is wildly inappropriate for the neighbors and the surrounding open space. The harsh impact of no building setbacks is made worse by the lack of graduated height maximums, and a 53 foot height, imposing what amounts to a giant wall right on top of the neighbors and the open space. None of this is compatible with the neighboring vegetative environment, wildlife, recreation or views of the open space, or the use, enjoyment and property values of the neighbors at Aspen Ridge and at other neighboring properties.

Instead, Lot 30 should be developed with appropriate setbacks, graduated height maximums, and overall height above grade no greater than the neighboring properties at Aspen Ridge and Tramontana.

The primary characteristics of Telluride and Mountain Village are the incredible beauty and views. This project destroys both and is inconsistent with the very nature of Mountain Village and the Mountain Village Comprehensive Plan. This project fails to meet several of the 8 key land-use values of the Comprehensive Plan:

- 1) it fails to preserve open space lands, “expansive views” and the “unparalleled visual experience”,
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3) it fails in “Alpine Character Preservation“, opting instead for a dense urban feel, which is not appropriate in this location,

7) the “Gateways” value refers to “protecting public viewsheds“ and the natural corridor surrounding Mountain Village Boulevard. This project fails in this regard and destroys many existing view corridors, which should be preserved to the greatest extent possible,

8) The value for “Appropriateness and Fit of Land Uses” states that “uses should fit into the surrounding neighborhood to ensure appropriate scale and context to their surrounding natural and built environments”. This project badly fails to meet this value.

The proposal refers to its adjacency to the Village Center to justify its dense urban design. The fact is that the project is NOT in the Village Center and this design is not appropriate or compatible with the surrounding land uses.

Beyond the general design, several particular details are objectionable:

- a. The northwest corner of the project is way too far forward and destroys a significant portion of the views of Aspen Ridge Building 27.
- b. The stormwater for the entire project dumps onto Aspen Ridge creating significant drainage, flooding, erosion and other problems. This must be addressed.

- d. No stormwater detention is provided. Both detention for flood and erosion control, and water quality, must be provided.

- e. The structural planter wall along the west property line amounts to an unsightly wall, right on top of existing residences and must be redesigned.

- f. The project has only 525 ft.² of formal landscaping, which is only 2% of the 0.6 acre project. It appears that the remaining 98% of the project is impervious cover, which is wildly inappropriate.

- g. The trash enclosure should be required to be far away from the Aspen Ridge property line.

Approving these proposals would not only be inappropriate, but would significantly harm property values, especially for Aspen Ridge Building 27, and would be a governmental action that amounts to a taking without compensation. We ask you to reject the proposed development and in particular deny the requested density transfer, rezoning and all variances and send the applicant back to the drawing board to design a less-dense, more appropriate project.

Thank you for your time and consideration.

John

LAW OFFICES OF
JOHN E. TARBOX
ATTORNEYS AND COUNSELORS AT LAW
248 ADDIE ROY ROAD, SUITE A-201
AUSTIN, TEXAS 78746

[512 / 913 - 9888](tel:5129139888) (TEL)
[512 / 532 - 6305](tel:5125326305) (FAX)

Sent from my phone, please excuse any typos or brevity.

On May 6, 2021, at 10:14 AM, John Tarbox <jtarbox@aol.com> wrote:

Thank you!

John

LAW OFFICES OF
JOHN E. TARBOX
ATTORNEYS AND COUNSELORS AT LAW
248 ADDIE ROY ROAD, SUITE A-201
AUSTIN, TEXAS 78746

512 / 913 - 9888 (TEL)
512 / 532 - 6305 (FAX)

From: John A. Miller [mailto:JohnMiller@mtnvillage.org]
Sent: Thursday, May 06, 2021 10:08 AM
To: John Tarbox; cd

Objections to Proposed Development
of
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248 ADDIE ROY ROAD, SUITE A-201
AUSTIN, TEXAS 78746

512 / 913 - 9888 (TEL)
512 / 532 - 6305 (FAX)

July 14, 2021

To: Mountain Village Town Council

Re: Proposed rezoning and development of Lot 30, agenda item #15, July 15, 2021

Re: Potential impact of proposed development on Aspen Ridge unit #1

Dear Council Members:

There have been considerable numbers of comments opposing this development, including numerous letters from many Aspen Ridge (AR) owners. I would first like to reiterate objections from the owners of AR #1 included in the letter dated May 1, 2021. These emphasize that the location of the driveway entrance to the proposed development will likely cause significant light and noise pollution affecting our property and patio, including the only AR outdoor hot tub. The proposed drive location is directly across from the AR#1 patio and lights from exiting vehicles will likely shine directly onto the patio. In addition, if autos are allowed exit to the right, the lights and noise will likely negatively affect all the AR units on the cul-de-sac.

It continues to be our belief, along with many of the written comments to date, that the design and the scale of the proposed development of lot 30 is inconsistent with the existing development of Aspen Ridge Drive and should be denied.

Should the council decide to approve the density increase and driveway location as it has been presented, we respectfully request requirements be included which would require the developer to design and construct an aesthetic wall along our property line, at a minimum six feet in height, to shield and mitigate these effects of the light on the enjoyment of our patio. Also requiring no right turn out of the proposed development would seem to greatly help mitigate the negative impacts of those of us already here.

Sincerely,

Charles and Lisa Howard
Aspen Ridge #1

John A. Miller

From: Michelle Haynes
Sent: Friday, July 9, 2021 1:10 PM
To: John A. Miller
Subject: FW: Avventura design

John:

This person would like this included in the public record for Lot 30 and distributed to the DRB. Thank you,

Michelle

From: Tad Koter <konsult.korp77@gmail.com>
Sent: Friday, July 9, 2021 10:41 AM
To: Michelle Haynes <MHaynes@mtnvillage.org>
Subject: Avventura design

Dear Michelle

I am a condo buyer at Avventura in telluride , Colorado because I am very interested to rent the property once it's built. I am sure it's a great investment .

It's going to be a beautifully design and high end
Telluride needs that to bring a nice tourists .

Many thanks

Best regards

Pawel Grendys

John A. Miller

From: mvclerk
Sent: Thursday, July 15, 2021 12:25 PM
To: mvclerk
Cc: John A. Miller; Michelle Haynes; pwisor; Kim Montgomery
Subject: FW: No Public Benefit from Lot 30 Proposal

Please see the public comment below:

Susan Johnston
Town Clerk
Town of Mountain Village
O::970.369.6429
M::970-729-3440

[Website](#) | [Facebook](#) | [Twitter](#) | [Instagram](#) | [Email Signup](#)

From: Jennie <jandjdaley@aol.com>
Sent: Thursday, July 15, 2021 12:20 PM
To: mvclerk <mvclerk@mtnvillage.org>
Subject: No Public Benefit from Lot 30 Proposal

My name is Jennie Daley and our family has owned property at Aspen Ridge for more than 20 years. As previously submitted on page 336 in today's packet, we strongly object to the applicant's current proposal to develop Lot 30. Based upon all public documents submitted to date, we believe that **this project is NOT in the best interest of the community**. Further, we understand that the Council is obligated to vote NO and deny approval for density transfer and rezoning if there is no public benefit.

If approved, the proposed project will harm the community and create an unsightly, massive structure, devoid of nature, on an important parcel in Mountain Village. Any development on Lot 30 is intended to house "transitional" units, bridging high density Village Center units and less dense Multi-Family units.

The assertion offered in the final bullet of Appendix A, letter a...that "the project is an appropriately scaled transition between the higher density Village Center, less dense outlying areas, and the natural alpine settings"...is simply false.

While acknowledging that the applicant has the right to request a density transfer for this project, it must be pointed out that no development on Aspen Ridge Drive has ever built out to its fully authorized density. The most recent project, owned and developed by this applicant, followed this precedent set by Aspen Ridge three decades ago. The result is that Aspen Ridge Drive is a wonderful haven of thoughtfully designed units, built within trees. Approval of the massive design proposed on Lot 30 would destroy the community.

Specifically, no public benefit results from a project that strips all nature from Lot 30, creates disharmony among adjacent communities that have existed for decades, poses a dangerous pedestrian and vehicular environment on Aspen Ridge Drive, towers over the Aspen Ridge community and obstructs all views from Granita residents. The Council must conclude the obvious: this application is inappropriate for Lot 30 and a new "transitional" design should be submitted BEFORE considering issues of density transfer and rezoning.

Several more details should be highlighted:

How does one reconcile proposed 19 units to 17.5 units (pages 258 & 268)?

How does 57 person equivalents = 58 bedrooms (pages 258 & 268)?

How can 5 and 4 bedroom units (7 in total) be considered "transitional"?

How can noise and light pollution be ignored?

How can an acceptable design be "all structure" and "no nature"?

In conclusion, we encourage the Council to take more time to review the details of all documents again. Please do not rely upon staff findings and conclusions. We believe them to be lacking.

The proposed application defies logic and must be sent back for a new design, if it is to benefit the community and residents of Mountain Village.



SOLOMON LAW FIRM, P.C.

227 WEST PACIFIC AVENUE, SUITE A (REQUIRED FOR FEDEX)

PO BOX 1748 (REQUIRED FOR ALL U.S. MAIL)

JOSEPH A. SOLOMON, ESQ. TELLURIDE, COLORADO 81435

ATTORNEY AT LAW

E-MAIL: JSOLOMON@MONTROSE.NET

TEL (970) 728-8655

CELL (970) 729-2225

FAX (775) 703-9582

June 1, 2021

Town of Mountain Village Design Review Board
c/o Michelle Haynes, MPA
Planning and Development Services Director
Housing Director
Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, Colorado 81435

Re: Lot 30 Development Application

Dear Members of the DRB:

I represent Sandra and Van Gilbert, owners of Granita Unit 303. The purpose of this letter is to comment on the above matter.

October 15, 2020 Town Council Worksession

At the May 6, 2021 DRB hearing, the results of the Town Council Worksession were misrepresented to the DRB. Town staff stated that, at this Worksession, "Council kind of gave it the green light." That was not an accurate statement. In addition, a DRB member stated it was that member's understanding that Council endorsed the proposal. Again, that was not accurate. Rather, as explained in the letter submitted on behalf of the Gilberts on April 28, 2021:

October 15, 2020 Town Council Worksession

The applicant presented a very similar proposal at the October 15, 2020 Town Council Worksession. The Town Council responded that the project was too massive. However, again, the current application is substantially similar to the prior proposal.

Importantly, see the enclosed Transcript of 10/15/20 Town Council Worksession, Town Councilmembers Concluding Remarks. This discussion began at 03:32:20 of the Zoom recording.

It appears the Town should consider addressing its general Worksession procedures, being, ensuring the minutes reflect Council direction.

Density

Again, Lot 30 is currently has assigned density of nine (9) Condominium Units and two (2) Employee Apartments. The applicant is seeking to increase development density and develop a project that will contain sixteen (16) Condominium Units and three (3) Employee Condominium Units.

Mountain Village Comprehensive Plan

The Mountain Village Comprehensive Plan, as amended by the Resolution dated February 15, 2018, targets Lot 30 and adjacent open space (collectively referred to as “Parcel M”) for a high density hotel.

The current Lot 30 owner is not applying to construct a hotel on Parcel M. Rather, the owner is merely seeking to construct nearly double the Condominium Units designated for Lot 30.

There is no justification for this increased density. This increased density results in walling out adjacent properties.

Visuals

Enclosed are the following visuals, similar to those presented to Town Council in October 2020 and the same as provided to DRB prior to the May 6, 2021 DRB hearing:

1. Overhead view as provided by the Lot 30 owner/applicant. The single monolithic mass is not consistent with adjacent Aspen Ridge development.
2. Overhead view showing development according to current entitlements. The development should break up massing with buildings consistent with adjacent Aspen Ridge development.

Town of Mountain Village Town Council
June 1, 2021
Page 3

Conclusion

Thank you for your consideration of these comments.

Sincerely,

A handwritten signature in black ink, appearing to read "Joseph A. Solomon, Esq.", written over a horizontal line.

Joseph A. Solomon, Esq.

Encs.

Transcript of 10/15/20 Town Council Worksession / Council Concluding Remarks
Two Visuals

cc: Sandra & Van Gilbert
Ken Alexander

Transcript of Town Council Worksession

Continued Discussion Regarding a Development Proposal for Lot 30, to Develop
17 Condominium Density Units and 3 Employee Condominium Units

October 15, 2020

Town Councilmembers Concluding Remarks

Laila Benitez: I'm going to go ahead and close public comment and bring things back up to counsel. Is there any other feedback or any questions that you have to share with either Stephanie [Fanos] or the applicant.

Marty Prohaska: To make this productive what I seem to be hearing is that there are lingering concerns about the potential mass and scale of it specifically I would think from the perspective of Mountain Village Boulevard, and I agree if there were some changes to the design that would allow for a little bit more division of these large buildings, a little bit more space, that might be better received by neighbors.

Laila Benitez: Other feedback. I think I would echo Marty's comments. I am not in the design game, and I'm not going to try and propose anything specific, but I will say that a large mass if broken could have a completely different impact on how it's received in the neighborhood.

Patrick you are nodding your head.

Patrick Berry: I generally agree with what Marty just commented and your comments as well. There's some hesitation that I'm seeing on the sale the size and the public benefit, you know I appreciate the additions but does it fit the scope, I've got more research to do on that as well.

Laila Benitez: Let's just say I don't have an issue with height so much as just what Marty stated, the large expanse in one building.

If there's no other comments, I'm going to conclude this worksession.

1. Overhead view as proposed by the applicant

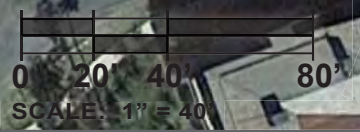


The single monolithic mass is not consistent with the adjacent Aspen Ridge development.

2. Overhead view
per current entitlements



Break up massing with buildings
consistent with adjacent Aspen
Ridge development





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FAX (775) 703-9582

July 8, 2021

Town of Mountain Village Town Council
c/o John A. Miller III, Senior Planner
Planning and Development Services
Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, Colorado 81435

Re: Lot 30 Development Application

Dear Members of the Town Council:

I represent Sandra and Van Gilbert, owners of Granita Unit 303. The purpose of this letter is to comment on the above matter.

Preliminary Summary

The Gilberts' sole comment on this application remains that the increased density is inappropriate. Lot 30 should be developed as four or five structures, consistent with the neighboring Aspen Ridge project. It should not be developed as a single monolithic structure covering the entire Lot.

October 15, 2020 Town Council Worksession

Town Council had a Worksession on October 15, 2020. At that Worksession, Council clearly gave feedback that the project should be revised to buildings with space between. A copy of the transcript reflecting the key Councilmember remarks is enclosed. This discussion began at 03:32:20 of the Zoom recording.

May 6, 2021 DRB Hearing

Despite Council's comments, the applicant submitted a proposal virtually identical to that shown to Council at the Worksession.

At the May 6, 2021 DRB hearing, the results of the Town Council Worksession were misrepresented to the DRB. Town staff told the DRB that, at the Worksession, "*Council kind of gave it the green light.*" That was not an accurate statement. In addition, a DRB member stated

it was that member's understanding that Council endorsed the proposal. Again, that was not accurate.

DRB continued the hearing stating it wanted more information concerning what exactly Council directed at the Worksession.

July 1, 2021 DRB Hearing

The DRB reconvened on July 1, 2021. At this hearing, Town staff gave the DRB no information concerning what Council said at the October Worksession.

The Gilberts provided the DRB with the enclosed transcript.

The applicant stated that the transcript did not accurately reflect Council's position, and that in fact Council supported the application.

The DRB endorsed the application.

Visuals

Enclosed are the following visuals, similar to those presented to Town Council in October 2020 and provided to DRB prior to the May 6 and July 1, 2021 DRB hearings:

1. Overhead view as provided by the Lot 30 owner/applicant. The single monolithic mass is not consistent with adjacent Aspen Ridge development.
2. Overhead view showing development according to current entitlements. The development should break up massing with buildings consistent with adjacent Aspen Ridge development.

Town of Mountain Village Town Council
July 8, 2021
Page 3

Conclusion

Thank you for your consideration of these comments.

Sincerely,

A handwritten signature in black ink, appearing to read "Joseph A. Solomon, Esq.", written over a horizontal line.

Joseph A. Solomon, Esq.

Encs.

Transcript of 10/15/20 Town Council Worksession / Council Concluding Remarks
Two Visuals

cc: Sandra & Van Gilbert
Ken Alexander



TO: Mountain Village Design Review Board

FROM: Amy Ward, Planner

FOR: August 5, 2021

DATE: July 27, 2021

RE: Design Review Board (DRB) Final Architecture Review Application for a Multi-Family Development located within the expansion area of Lot 600A, consisting of Six (6) new condominium units

PROJECT GEOGRAPHY

Legal Description: Lot 600A Expansion Area as shown on the plat recorded at Reception Number 418711

Address: 8 Elkstone Place

Applicant/Agent: Chris Hawkins - Alpine Planning, LLC

Owner: Sterling Snow, LLC

Zoning: Multi-Family Zone District

Existing Use: Multi-Family

Proposed Use: Multi-Family

Expansion Area: 0.51 acres

Lot Size: 2.133 Acres

Adjacent Land Uses:

- **North:** Passive OS
- **South:** Single-Family
- **East:** Single-Family
- **West:** Active OS

ATTACHMENTS

- Exhibit A: Narrative
- Exhibit B: Plan Set
- Exhibit C: Public and Agency Comments

Figure 1: Vicinity Map



CASE SUMMARY: Chris Hawkins of Alpine Planning, acting on behalf of the owner of the Declarant and Development Rights for the Expansion Area of Lot 600A, is requesting DRB Initial Architectural and Site Review approval in order to develop six (6) condominium units

within the remaining expansion area of the Elkstone Condominium Community as identified in Figure 1 of this report.

Prior to this submittal, the applicant successfully completed a density transfer and rezone on Lot 600A that increased the unbuilt density on the site from 4 condos to 6 condo units. In July of 2019, the applicant was approved for a Class 3 Design Review by the DRB for this development. In January of 2021, the applicant was given a six-month staff level extension to this original approval. This extension expired on July 11, 2021. Since the applicant was not ready to pull a building permit, they are resubmitting for a new design review. At this point, the application should be considered a new design review for the proposed six (6) condominium units to be located to the southeast of Elk Lake and to the west of the existing development on Lot 600A.

The expansion area is unique in that a large percentage of the site is characterized by slopes steeper than 30% grade. In addition to the natural steep slopes ($\pm 55\%$), a large cut was made into the hillside to provide a flat construction staging area during the development of the adjacent Elkstone 21. This flat graded area now functions as a turn-around at the terminus of Elkstone Place. It should be noted that that in 2014, the previous developers were required by the town to mitigate erosion and slumping of the slope via erosion control measures consisting of soil nails and mesh erosion control, but these measures were only temporary, and during the development of this site this applicant will be required to address the downhill creep of the soil and has proposed to do so within their application. Staff has visited the site of the development and it would appear that there is still some limited soil creep that is occurring on the site subsequent to the stabilization efforts that occurred in the past.

According to the Community Development Code (CDC), if the natural grade of the site has been disturbed prior to development, Staff may establish the natural grade that existed prior to any such disturbances. During a work session held on February 7, 2019, Staff requested that the DRB review the materials submitted by the applicant including surveys which documented the grade of the site prior to the construction Elkstone 21 in order to determine the appropriateness of establishing the natural grade. At the February 7th meeting, the DRB did determine and establish the natural grade of the site based off aforementioned survey of the site.

Town Council has conditioned the approval of the Density Transfer and Rezone specifically requiring that the Property Owner must ensure and demonstrate to the Design Review Board at the Property Owners Final Architecture and Site Review that the final location and design of any building, grading, landscaping, parking areas, and other site improvements related to the project - on or off of Lot 600A, allow for the future construction of the Elk Pond Loop Trail as envisioned in the Town of Mountain Village Trails Master Plan. If the Design Review Board determines that this cannot be accomplished, then the Design Review Board shall impose a setback from the lot line which would allow for the future construction of the Elk Pond Loop Trail in conjunction with the protection of environmentally sensitive features. While there is no formal trail easement within Lot 600A, or requirements within the CDC related to trail access on the site, the applicant has provided an analysis of the trail, property boundary, and delineated wetlands which appear to demonstrate the ability for the trail to be located, as designed, along the perimeter of the lake with a portion constructed as a raised boardwalk. Staff feels that this condition has been adequately met.

Table 1: Building Height, Lot Coverage, Setbacks and Roof Pitch

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	53 feet	52.82 feet
Maximum Avg. Building Height	53 feet	34.60 feet
Maximum Lot Coverage	65% maximum	55.73%
General Easement Setbacks		Complies
Roof Pitch		
Primary		7:12
Secondary		3:12 / 8:12 / 10:12
Parking	9 spaces	9 spaces

Table 2: Materials, Requirements, Variations

Exterior Materials	Area (sq. ft.)	Percentage
Aspen Blend Stone	6,375	35% (35% requirement)
8" Horizontal Wood Siding/Fascia	3,870	21%
Metal Corten Panels	2177	12%
Corrugated Metal Siding	677	4%
Steel Beams/Grates	295	2%
Glazing	4,680	26%
General Easement Encroachment:		
Southern GE	Soil Nailing ± 15 ft below grade	
Establishment of Northern Property Line Setback		
There is no General Easement along the northwest property line. The February 7 th 2019 DRB work session for the project established a 1-foot setback in along this boundary as requested by the applicant		

CRITERIA, ANALYSIS AND FINDINGS

The criteria for decision for the board to evaluate the Final Architectural Review is listed below. The criteria may not be exhaustive and does not diminish the requirements of the applicant to meet all CDC regulations – even if not specifically noted herein.

Please note, this Memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated June 2, 2021.

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Staff: Criteria met

17.3.13: Maximum Lot Coverage

Staff: Criteria met

17.3.14: General Easement Setbacks

Staff: Lot 600A is burdened by a 16-foot General Easement (GE) along the southern and eastern property line. The remaining two property lines have no setback established. As

part of this process, the applicant has requested a 1-foot setback for the property line that runs north to west of the project. The CDC provides that the GE shall be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE such as Ski Access, Utilities, Address Monuments, and Fire Mitigation.

The proposal includes a GE encroachment that does not fall into the above category of permitted GE development activity that would require specific approval by the DRB.

- *Subterranean Soil Nailing* – As mentioned in the case summary, the prior developers were required to install temporary slope stabilization measures prior to the issuance of this application. In order to permanently secure the hillside and any future soil creep, the applicant is proposing to install soil nails that will penetrate the soil horizontally and pass approximately 15 feet below the General Easement area. Staff during agency referrals for this project consulted with the Town's Public Works Department Director who confirmed that this subterranean encroachment will not limit any future development of infrastructure or adjacent trails.

It should be noted that any foundation walls that are within 5' of GE will require a footer survey prior to pouring concrete to ensure there is no encroachments into the General Easement area. All encroachments into the GE will require encroachment agreements between the property owner and the Town.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

Staff: Criteria met

17.5.5: Building Siting Design

Staff: Criteria met

17.5.6: Building Design

Staff: At initial review it was unclear to staff the amount of snow melt proposed, the applicant has provided snowmelt calculations in his latest submittal. The proposal is for 2,940 feet of snow melt. Multi-family developments are allowed 1,000 s.f. of snowmelt plus an additional 50 s.f. per unit, combining for a total of 1,300 s.f. of snowmelt allowable without mitigation. The applicant will be required to mitigate the excess 1,640 s.f. of proposed snow melt. It is unclear to staff at this time if the applicant intends to mitigate the exterior energy use through solar or mitigation fees.

17.5.7: Grading and Drainage Design

Staff: The applicant has provided a Grading and Drainage Plan prepared by SEH. The plan set denotes building siting, grading, proposed stormwater drainage, and overall areas of disturbance. It appears that the updated submittal meets the requirements of the DRB. Based on feedback from the DRB through the previous Design Review process, there were concerns about stormwater drainage contaminating Elk Pond. In order to mitigate this issue proactively, the stormwater mitigation plan indicates that the applicant will be following construction best practices to avoid any potential bacterial contamination on site. Even with best practices, it is possible that an odor problem could develop due to unique site conditions, and therefore, staff would like to condition any development approval require a staff review of an updated report from SEH to occur two years from the date of approval to verify that no bacterial contamination has occurred. It is the obligation of the

developer to ensure that this occurs, and if the contamination does return it is also the obligation of the developer to remedy to the satisfaction of the Town.

17.5.8: Parking Regulations

Staff: Criteria met

17.5.9: Landscaping Regulations

Staff: The applicant has provided a full landscaping plan that demonstrates specific landscaping features such as areas for tree removal, areas of proposed landscaping, specific planting schedules, irrigation schedules, and fire mitigation zones. There has been some discussion with neighbors about increasing vegetative screening between the proposed development and Elkstone 21. The current proposed plan has added an additional two trees since Initial, between the new proposed development and Elkstone 21, staff believes the vegetative screening as proposed should be sufficient to screen the staircase and alleviate the neighbor's concerns. Additionally, due to the proximity of the development to Elkstone 21, a large number of small diameter trees will be required to be removed during excavation and development of the retaining walls. Staff is requesting that the approval include a condition to bring the disturbed area between the two buildings back to its original pre-disturbed condition and to include additional small diameter tree plantings and native seed planting.

17.5.10: Trash, Recycling, and General Storage Areas

Staff: Criteria met

17.5.12: Lighting Regulations

Staff: The applicant has provided a lighting plan for the project. Generally, the lighting is subdued and consists of 2 recessed ceiling lights near the entry and 18 step lights that are used to light the staircase as shown in the lighting plan. Also included in the lighting plan is a photometric study demonstrating light spill and the lighting cutsheets for the proposed lamps. The recessed can fixture (A) appears to exceed the lumen output allowed by code, however the manufacturer does have another fixture with less lumen output that would meet the code. Staff requests that the DRB condition any approval to require the applicant replace fixture A with another fixture that meets all code requirements. This would be reviewed by staff as part of the building permit submittal.

17.5.13: Sign Regulations

Staff: Criteria met. However, in the future, it may be helpful for emergency services for the developer to include some indicator on the existing Elkstone sign along Mtn Village Blvd to identify unit address ranges within the entire development. This can be handled at the staff level in the future during building permitting, but would require the owner to work with the existing Elkstone development.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire mitigation. Criteria met. However, the Zone 1 fire mitigation area as shown extends onto OS-2. If the applicant desires to remove trees in this area for fire mitigation purposes, permission of the adjacent landowner would have to be obtained.

Staff: Steep Slopes –The applicant's alternative analysis is as follows; "It is not practicable to avoid all steep slope areas because the expansion area contains large areas of slopes that are 30% or greater". By siting the project in its current location, it limits cuts and excavation while reducing impacts to any adjacent wetlands and riparian areas. Staff believes the siting is appropriate given the constraints of the site.

17.6.6: Roads and Driveway Standards

Staff: Criteria met

17.6.8: Solid Fuel Burning Device Regulations

Staff: Criteria met

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

The applicant has provided a construction mitigation plan meeting the requirements of the Town's CDC. Due to the size of this project, along with the proximity of existing residences and Elk Lake, it is strongly advised that the applicant begin to address construction mitigation with adjacent stakeholders as soon as possible. The provided CMP plan addresses the following items as required by staff: construction fencing, material stockpiling, construction parking, crane staging, tree protection, storm water mitigation, and staging.

The applicant and contractor have been instructed to fence the site and any soil and or trees not to be removed will need to be protected throughout the project. The construction fencing and area of disturbance is in very close proximity to the existing development on site, and it is important to take care with the development of the site. At Initial Review the following condition of approval was added, "the construction mitigation plan will be revised to include construction fencing placement to protect areas that will not be graded consistent with the overall grading plan." The applicant has included appropriate limits of disturbance on the current erosion control plan; however, the construction fencing on the construction mitigation plan as proposed doesn't align exactly between the two. Staff would like to see the construction mitigation plan be amended to be colinear with the limits of disturbance. Additionally, the trees of special concern that sit atop the existing Elkstone retaining wall in the southeast corner of the lot should be additionally fenced/protected if they remain inside of the limits of disturbance. Additionally, staff recommends DRB condition that if it is found that these trees necessitate removal, that applicant will replace with trees of like kind and size.

The construction fencing on the western side of the project as well as the silt fencing is located just outside of the property boundary on OS-2. Appropriate permissions from the landowner will need to be obtained prior to any installation of construction mitigation structures. Staff is unsure if the neighboring property owner will require construction and maintenance access agreements to be entered between parties, but it should be discussed internally by the development team and the neighboring property.

Staff does have some concerns related to staging and offsite parking impacts, and it may be helpful to discuss additional mitigation steps such as neighborhood updates on the project as it begins to break ground.

Staff Recommendation: Staff recommends the DRB approve the Final Review Application for a Multi-Family Development located within the expansion area of Lot 600A, consisting of a total of six (6) new condominium units.

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

PROPOSED MOTION -

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

I move to approve the Final Architecture Review Application for a Multi-Family Development located within the expansion area of Lot 600A, consisting of a total of six (6) new condominium units based on the evidence provided within the Staff Report of record dated July 27, 2021, and with the following specific approvals and conditions:

DRB specific approvals:

- 1) GE encroachment – subterranean soil nailing

And, with the following conditions:

- 1) The applicant will bring the disturbed area between the proposed development and Elkstone 21 building back to its original pre-disturbed condition to include additional small diameter tree plantings and native seed planting. These plantings shall not include any coniferous tree species and are required to be entirely deciduous.
- 2) The southeast corner of the Expansion Area will be preserved by the developer in its current state as shown on the Town approved grading plan including the existing Elkstone 21 retaining wall and the four (4) conifers and aspens above the wall. If grading or tree removal is proposed in this area, it will only be out of engineering necessity as provided for in a letter and revised grading plan that are stamped and signed by a Colorado licensed Professional Engineer. A 14-day courtesy notice of any grading in the southeast corner of the Expansion Area for engineering necessity shall be provided by email to the owners at Elkstone 21. Special attention will be given to the southeast corner of the development.
- 3) Prior to Building permit, the construction mitigation plan will be revised to align the construction fencing with the limits of disturbance shown on the grading plan to protect areas that will not be graded consistent with the overall grading plan.
- 4) If the four (4) conifers and aspens of special concern above the wall on the southeast corner are within the limits of disturbance, they will be separately fenced/protected.
- 5) If the (4) conifers and aspens of special concern above the wall on the southeast corner are removed for cause, they will be replaced with trees of like species and size.
- 6) Prior to issuance of a building permit, the applicant will create a “construction best practices protocol” to avoid potential bacterial contamination in the stormwater system for staff review. The applicant agrees to provide a follow up 2 years after the completion of construction to verify that no contamination has occurred, and otherwise address any bad odors or potential contamination issues by employing a mitigation strategy immediately upon being notified of any potential odor problems.
- 7) Prior to issuance of a building permit, the applicant shall present a revised lighting plan that replaces fixture A with an alternate compliant fixture for staff review.
- 8) Prior to issuance of a CO the property owner will enter into a General Easement Encroachment Agreement with the Town of Mountain Village for the subterranean soil nail encroachments to the south of the development if soil nailing is needed in the GE.
- 9) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

- 10) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 11) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 12) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 13) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/AW



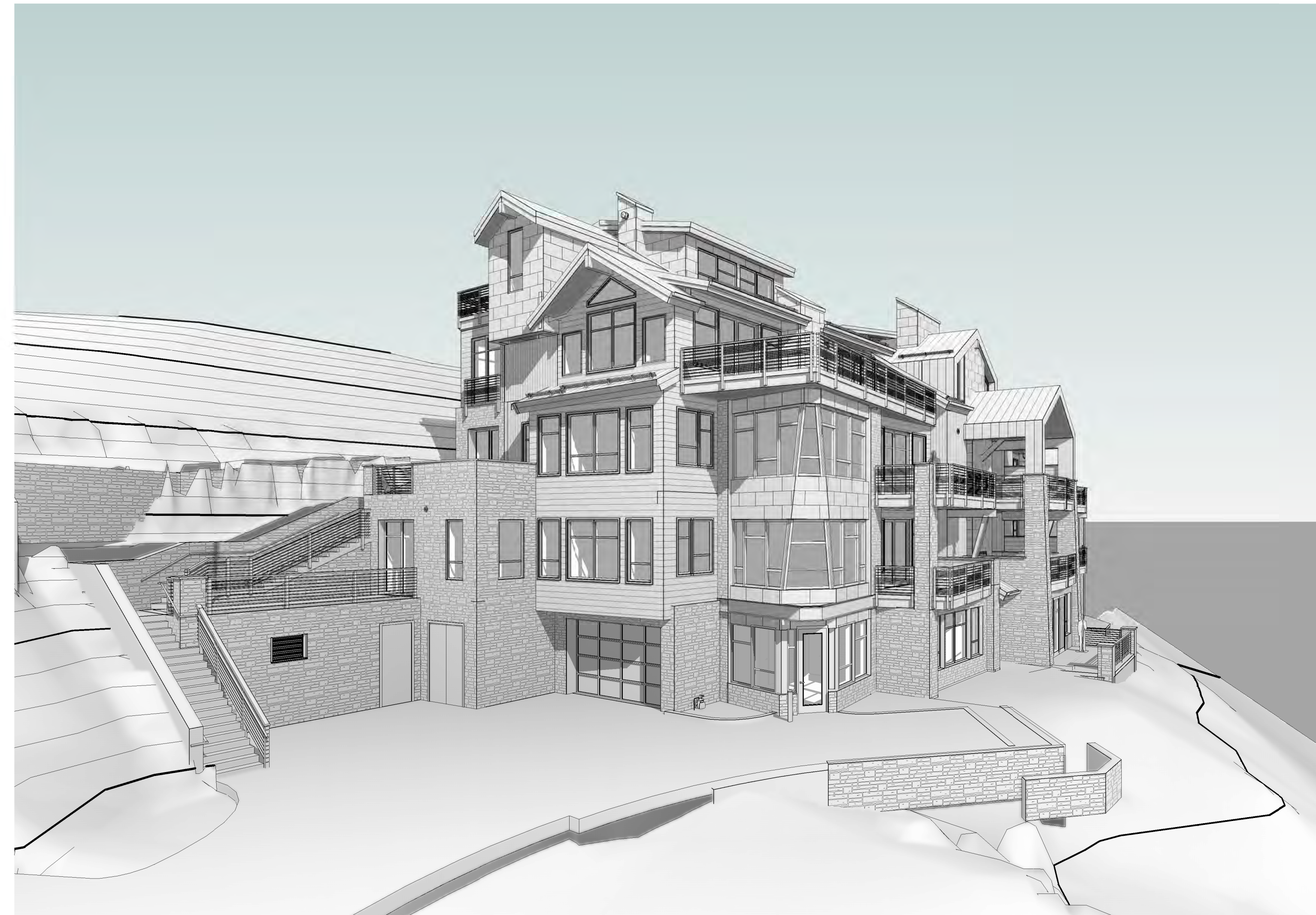
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07/22/2021

DR J

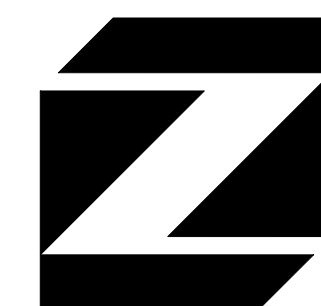
REFLECTIONS AT ELK LAKE

TOWN OF MOUNTAIN VILLAGE, COLORADO



ISSUE J: FINAL DESIGN REVIEW

22 JULY 2021



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GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE TO CENTERLINE OF GRID AND FACE OF CONCRETE, INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD. EXTERIOR WALL DIMENSIONS ARE TAKEN TO FACE OF NAKED EXTERIOR STUD, UNLESS NOTED OTHERWISE.
- ALL ANGLES ON PLANS ARE 90 OR 45 DEGREES, UNLESS NOTED OTHERWISE.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS IN DOCUMENTS PRIOR TO DEMOLITION, CONSTRUCTION, OR ALTERATION OF EXISTING OR NEW STRUCTURES.
- PROVIDE ALL NECESSARY BLOCKING IN WOOD & METAL STUD WALLS AND CEILINGS. LOCATIONS INCLUDE BUT ARE NOT LIMITED TO TOILETS, BATH ACCESSORIES, CEILING AND WALL MOUNTED ELECTRICAL FIXTURES, SHELVES, CLOSET RODS, CABINETS, COUNTERTOPS, AND FALSE BEAMS.
- PROVIDE ALL NECESSARY BLOCKING IN STUD WALLS AND CEILINGS. LOCATIONS INCLUDE BUT ARE NOT LIMITED TO TOILET ACCESSORIES, CEILING AND WALL-MOUNTED ELECTRICAL FIXTURES, SHELVES, CLOSET RODS, CABINETS, BUILT-INS, DRAPERY ROD, COUNTERTOPS, AND FALSE BEAMS.
- PROVIDE 2X6 STUD WALLS AT ALL POCKET DOORS, PLUMBING WALLS, AND AS SHOWN IN STRUCTURAL OR ARCHITECTURAL DRAWINGS.
- ALL ANGLES ON PLANS ARE 90 OR 45 DEGREES UNLESS NOTED OTHERWISE.

ABBREVIATIONS

AC ARCHITECTURAL CONCRETE	CO CLEAN OUT	FD FLOOR DRAIN	HR HOUR	(N) NEW	R RISER	T TREAD
ACOUS ACUSTICAL	COL COLUMN	FDN FOUNDATION	HSS HIGH-STRENGTH STEEL	N NORTH	RB RESILIENT BASE	TSS TOP OF STRUCTURAL SLAB
ACT ACUSTICAL CEILING TILE	CONC CONCRETE	FEC FIRE EXTINGUISHER CABINET	HT HEIGHT	N/A NOT APPLICABLE	RC RESILIENT CHANNEL	TSF TOP OF STRUCTURAL FLOOR
AD AREA DRAIN	CONC CONSTRUCTION	FF FINISH FLOOR	FF FINISH FLOOR	NIC NOT IN CONTRACT	RCP REFLECTED CEILING PLAN	TFC TOP OF FINISH FLOOR
ADJ ADJACENT	CONT CONTINUOUS	FG FIBERGLASS	ID INSIDE DIAMETER	No NUMBER	RD ROOF DRAIN	TC TOP OF CURB
AFF ABOVE FINISH FLOOR	CORR CORRUGATED	FHC FIRE HOSE CABINET	ID INTERIOR DESIGN	NOM NOMINAL	REF REFERENCE	TEL TELEPHONE TERZ TERRAZZO
AFP ACOUSTIC FABRIC PANEL	CPT CARPET	FHR FIRE HOSE REEL	IN INCHES	NTS NOT TO SCALE	REF REFRIGERATOR	THK THICKNESS
ALT ALTERNATE	CS CONCRETE SEALER	FIN FINISH(ED)	INCL INCLUDE	OA OVERALL	REINF REINFORCED	THRU THROUGH
ALUM ALUMINIUM	CT CERAMIC TILE	FL FLOOR	INCL INFORMATION	OC ON CENTER	REQD REQUIRED	TOB TOP OF BEAM
ANOD ANODIZED	CU CUBIC	FLG FLANGE	INSUL INSULATION	OD OUTSIDE DIAMETER	REV REVISION	TOC TOP OF CONCRETE
AP ACCESS PANEL	CY CUBIC YARD	FLSG FLASHING	INT INTERIORS	OD OUTSIDE DIAMETER	RM ROOM	TOW TOP OF WALL
APPROX APPROXIMATE		FLR FLOOR	JC JANITOR CLOSET	OFD OVERFLOW DRAIN	RO ROUGH OPENING	TRANS TRANSVERSE
ARCH ARCHITECTURAL	DY DEPTH	FLUOR FLUORESCENT	JMB JANITOR MOP BASIN	OPG OPENING	RP RADIUS POINT	TRAV TRAVERSE
B&B BALL AND BURLAP	DD DECK DRAIN	FOC FACE OF CONCRETE	JT JOINT	OPP OPPOSITE	RS ROUGH SAWN	TYP TYPICAL
B/O BOTTOM OF	DF DRAIN FOUNTAIN	FOF FACE OF FINISH		OSB ORIENTED STRAND BOARD	S SOUTH	UG UNDERGROUND
BC BACK OF CURB	DI DRAIN INLET	FOS FACE OF STUD		OSF OUTSIDE FACE	SC SCHEDEULE	UL UNDERWRITERS LABORATORIES
BD BOARD	DIA DIAMETER	FR FIRE-RETARDANT	LAB LABORATORY	OZ OUNCE	SD STORM DRAIN	UNO UNLESS NOTED OTHERWISE
BLDG BUILDING	DIAM DIAMETER	FT FEET	LAM LAMINATED	PA PAINTED	SECT SECTION	UR URINAL
BLKG BLOCKING	DN DOWN	FTG FOOTING	LAV LAVATORY	PART PARTITION	SF SQUARE FEET	VB VINYL BASE
BM BEAM	DS DOWNSPOUT		LP LOW POINT	PAV PAVERS	SH SHEET	VCT VINYL COMPOSITION TILE
BOH BACK OF HOUSE	DTL DETAIL		LT LIGHT	PC POINTS OF CURVATURE	SIM SIMILAR	VERT VERTICAL
BOT BOTTOM	DWG DRAWING		LTWT LIGHTWEIGHT	PCC PRECAST CONCRETE	SIP STRUCTURAL INSULATION PANEL	VEST VESTIBULE
BRG BEARING			LVR LOUVER	PL PLATE	SQ SQUARE	VF VERIFY IN FIELD
BRK BRICK	(E) EXISTING			PLM PLASTIC LAMINATE	SS STAINLESS STEEL	VNR VENEER
BRZ BRONZE	E EAST			PLMB PLUMBING	STD STANDARD	VWC VINYL WALL COVERING
BSMT BASEMENT	EACH EACH			PLSTC PLASTIC	STA STAINED	W WEST
BTU BRITISH THERMAL UNIT	EC EXPOSED CONSTRUCTION			PLW PLYWOOD	STC SOUND TRANSMISSION CLASS	WC WATER CLOSET
BUR BUILT UP ROOF	EFS EXTERIOR INSULATION & FINISH SYSTEM			PTD PAINTED	STD STANDARD	WLS WALLS
BW BOTTOM OF WALL	EXP EXPANSION JOINT			PPL PROPERTY LINE	STF STIFFENER	WNDW WINDOW
C/C CENTER TO CENTER	ELEC ELECTRICAL			PR PAIR	STL STEEL	WP WATERPROOF
CAL TREE CALIPER	ELEV ELEVATION			PRFAB PREFABRICATE	STD STANDARD	WPM WATERPROOF MEMBRANE
CFM CUBIC FEET PER MINUTE	ELEV ELEVATION			PROJ PROJECT	STP STAMPED	WR WATER RESISTANT
CIP CAST IN PLACE	EMBED EMBEDMENT			PROJ PROJECT	STN STONE	WWF WELDED WIRE FABRIC
CJ CONTROL JOINT	EMBED EMBEDMENT			PROJ PROJECT	STOR STORAGE	XPS EXTRUDED POLYSTYRENE
CL CENTER LINE	EPS EXPANDED POLYSTYRENE			PROJ PROJECT	STRUC STRUCTURAL	YDS YARDS
CLG CEILING	EQU EQUIPMENT			PROJ PROJECT	STOR STORAGE	
CLO CLOSET	EQU EQUIPMENT			PROJ PROJECT	STOR STORAGE	
CLR CLEAR	ESC ESCALATOR			PROJ PROJECT	STOR STORAGE	
CM CORRUGATED METAL	EXIST EXISTING			PROJ PROJECT	STOR STORAGE	
CMP CORRUGATED METAL PIPE	EXP EXPANDED			PROJ PROJECT	STOR STORAGE	
CMU CONCRETE MASONRY UNIT	EXT EXTERIOR			PROJ PROJECT	STOR STORAGE	

MATERIALS LEGEND

MATERIAL HATCHES IN SECTION

FILL MATL	EARTH	GRAVEL	CONCRETE	CONCRETE	LTWT CONC	CMU	PLASTER
BRICK	FACE BRICK	FIRE BRICK	STONE	STONE VENEER	METAL	IRON, STEEL	WOOD
WOOD	FINISH	ROUGH	BLOCKING	PLYWOOD	OSB PLYWOOD	INSULATION	BATT
INSULATION	RIGID	RIGID	RIGID	SOUND BOARD	BLOWN-IN-BLANKET (BIBS)	MISC	ACOUSTICAL TILE
MISC	CARPET & PAD	DRAINAGE MAT					

MATERIAL HATCHES IN ELEVATION

GLAZING	GLASS	CONCRETE/ PLASTER	BRICK	CMU	RUNNING	STACKED	CERAMIC
MASONRY	SHAKES	WOOD	WOOD	WD TRIM PANEL	METAL	CORRUGATED METAL	COPPER SHINGLES

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DATUM REFERENCE

DATUM = 100'-0" = 9540.75' ABOVE SEA LEVEL = TOP OF CONC AT +100

GRAPHIC SYMBOLS

DETAIL/ENLARGED PLAN BUBBLE	DETAIL BUBBLE	FIRST FLOOR PLAN	FIRST FLOOR PLAN
GRID BUBBLE	DIMENSION, STAIR LEADERS	NORTH	ELEVATION
ROOM NAME	WINDOW TAG	BUILDING SECTION	ELEVATION TAG
			REVISION CLOUD
			REVISION TAG
			BREAK LINE

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REFLECTIONS AT ELK LAKE

TOWN OF MOUNTAIN VILLAGE, COLORADO

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ISSUE

No.	DATE	COMMENT
B	02/15/2019	DESIGN REVIEW
C	03/09/2019	DESIGN REVIEW
D	06/06/2019	DESIGN DEV
E	07/11/2019	50% CD SET
F	09/18/2019	PERMIT SET
G	09/18/2020	DESIGN REVIEW
H	12/09/2020	PERMIT REISSUE
J	07/22/2021	FINAL DESIGN REVIEW

KEY PLAN

PROJECT INFORMATION

PROJECT	ORIGIN DATE
20182606.00	11/13/2018
DRAWN BY	CHK BY
JBR	TL
TRV BY	

SHEET No. **A0.01**
SCALE: AS SHOWN

ELKSTONE LOT 600 A
Telluride Mountain Village
Maximum Roof Height Calculations

6-Jun-2019

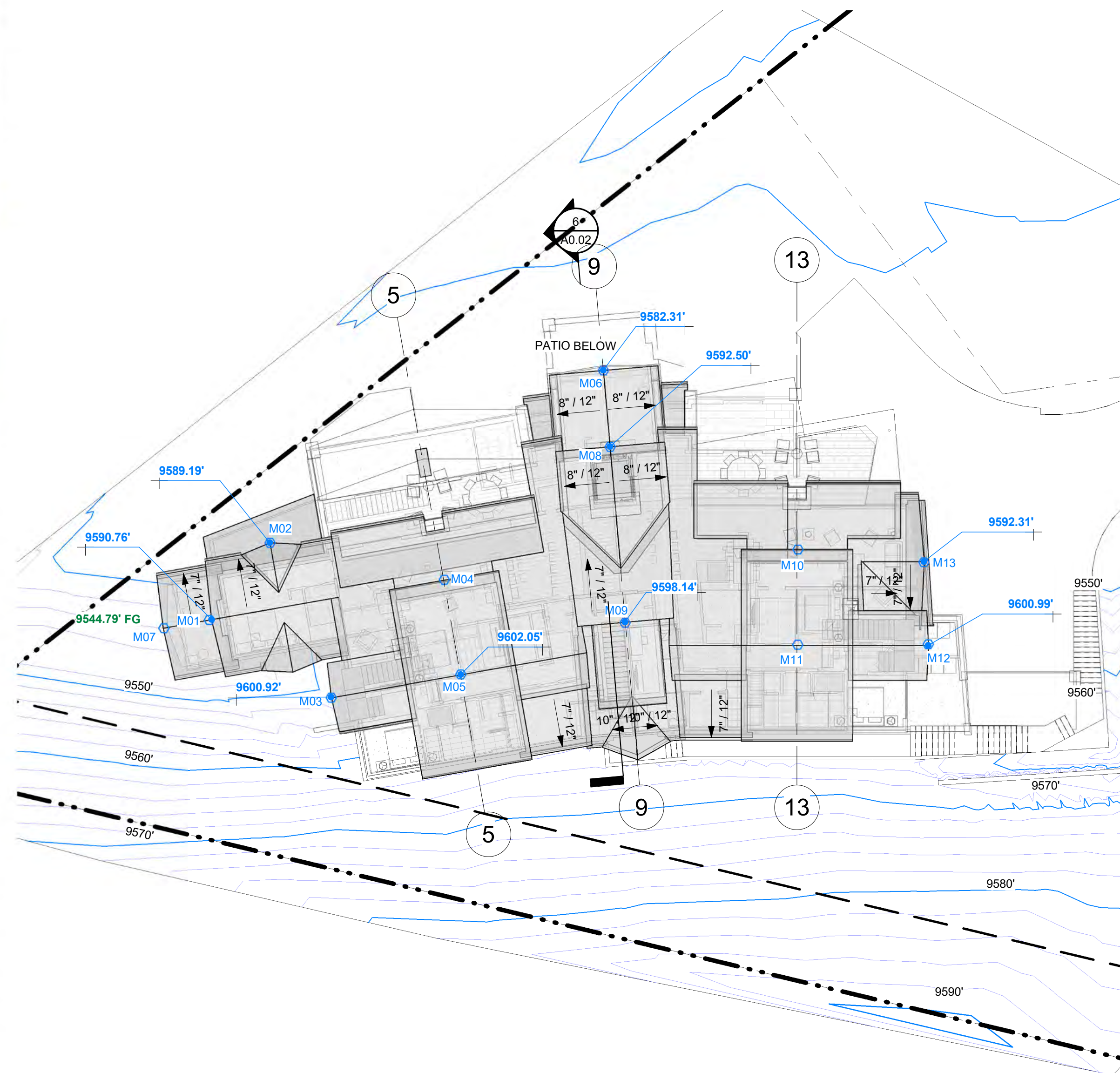
Roof Point #	Roof Point Elevation	Natural Grade Elevation	Calculated Roof Height (feet) Above Natural Grade	Proposed Grade Elevation Below	Calculated Roof Height (feet) Above Finish Grade
M01	9590.87	9545.96	44.91	9544.86	46.01
M02	9589.21	9539.64	49.57	9542.00	47.21
M03	9601.10	9553.00	48.10	9552.50	48.60
M04	9598.31	9548.38	49.93	N/A	N/A
M05	9602.08	9554.89	47.19	N/A	N/A
M06	9582.31	9532.57	49.74	9540.75	41.56
M07	9580.66	9544.79	35.87	N/A	N/A
M08	9592.50	9539.68	52.82	N/A	N/A
M09	9598.20	9555.13	43.07	N/A	N/A
M10	9598.52	9547.96	50.56	N/A	N/A
M11	9602.08	9555.60	46.48	N/A	N/A
M12	9601.08	9554.10	46.98	N/A	N/A
M13	9592.34	9548.15	44.19	9540.75	51.59

ELKSTONE LOT 600 A
Telluride Mountain Village
Maximum Average Roof Height Calculations

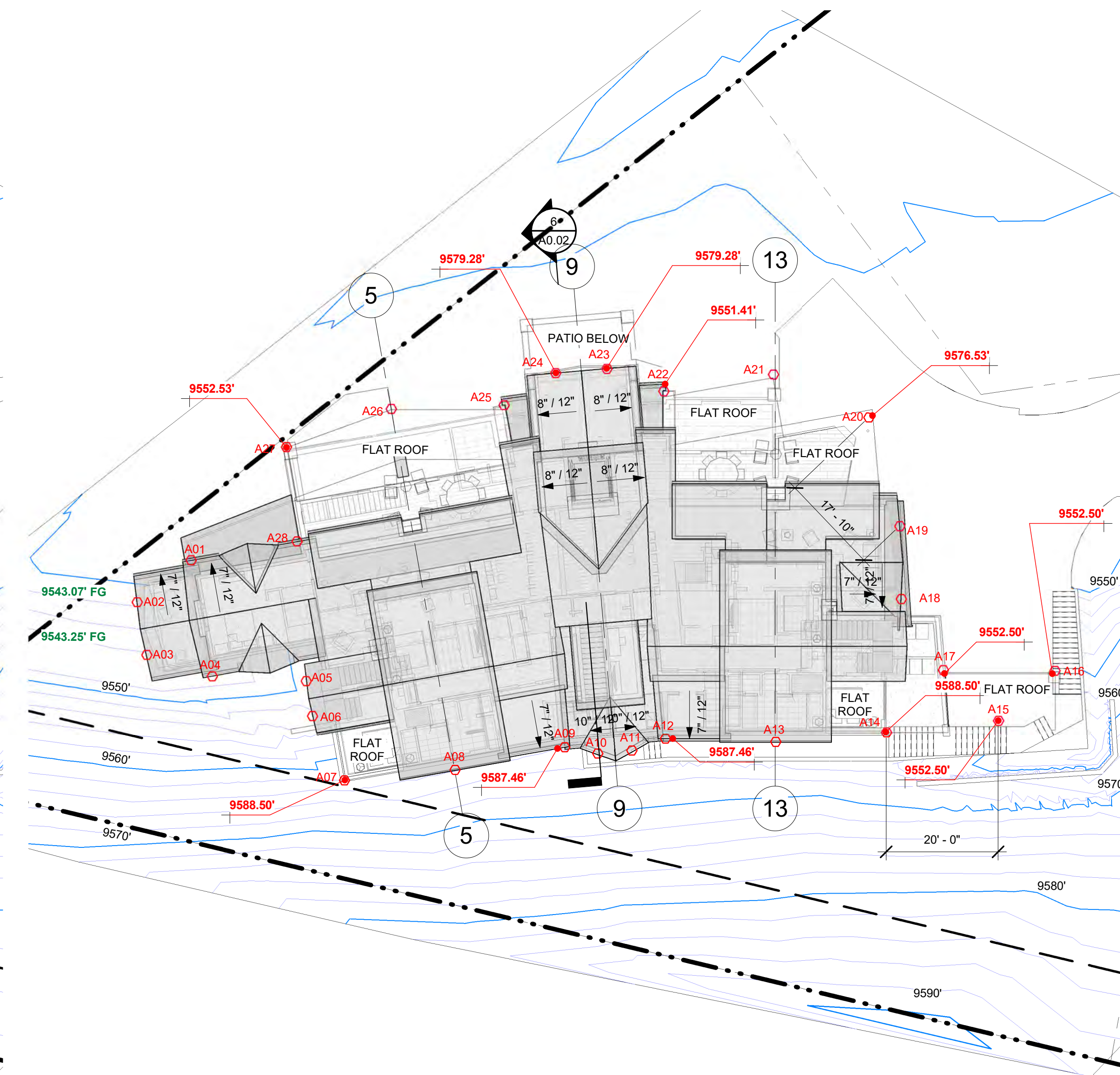
6-Jun-2019

Roof Point #	Roof Elevation	Most Restrictive Elevation Below Roof Point	NG = Natural Grade FG = Finish Grade Most Restrictive Grade	Roof Height (Feet) Above Most Restrictive Grade
A01	9584.76	9538.92	NG	45.84
A02	9577.85	9543.07	FG	34.78
A03	9577.00	9543.25	FG	33.75
A04	9584.76	9549.39	NG	135.37
A05	9599.29	9550.77	NG	48.52
A06	9599.29	9555.60	FG	43.69
A07	9588.50	9565.29	NG	23.21
A08	9598.52	9565.22	NG	33.30
A09	9587.74	9566.86	NG	20.88
A10	9588.13	9567.50	NG	20.63
A11	9588.13	9567.47	NG	20.66
A12	9587.74	9566.90	NG	20.84
A13	9598.52	9565.87	NG	32.65
A14	9588.50	9564.28	NG	24.22
A15	9552.50	9540.75	FG	11.75
A16	9552.50	9540.75	FG	11.75
A17	9552.50	9540.75	FG	11.75
A18	9588.55	9540.75	FG	47.80
A19	9588.55	9540.75	NG	47.80
A20	9576.53	9536.72	NG	39.81
A21	9564.53	9534.10	NG	30.43
A22	9551.68	9534.58	NG	17.10
A23	9579.28	9532.78	NG	46.50
A24	9579.28	9533.08	NG	46.20
A25	9551.68	9535.53	NG	16.15
A26	9564.53	9534.50	NG	30.03
A27	9564.53	9534.60	NG	29.93
A28	9584.76	9541.38	NG	43.38

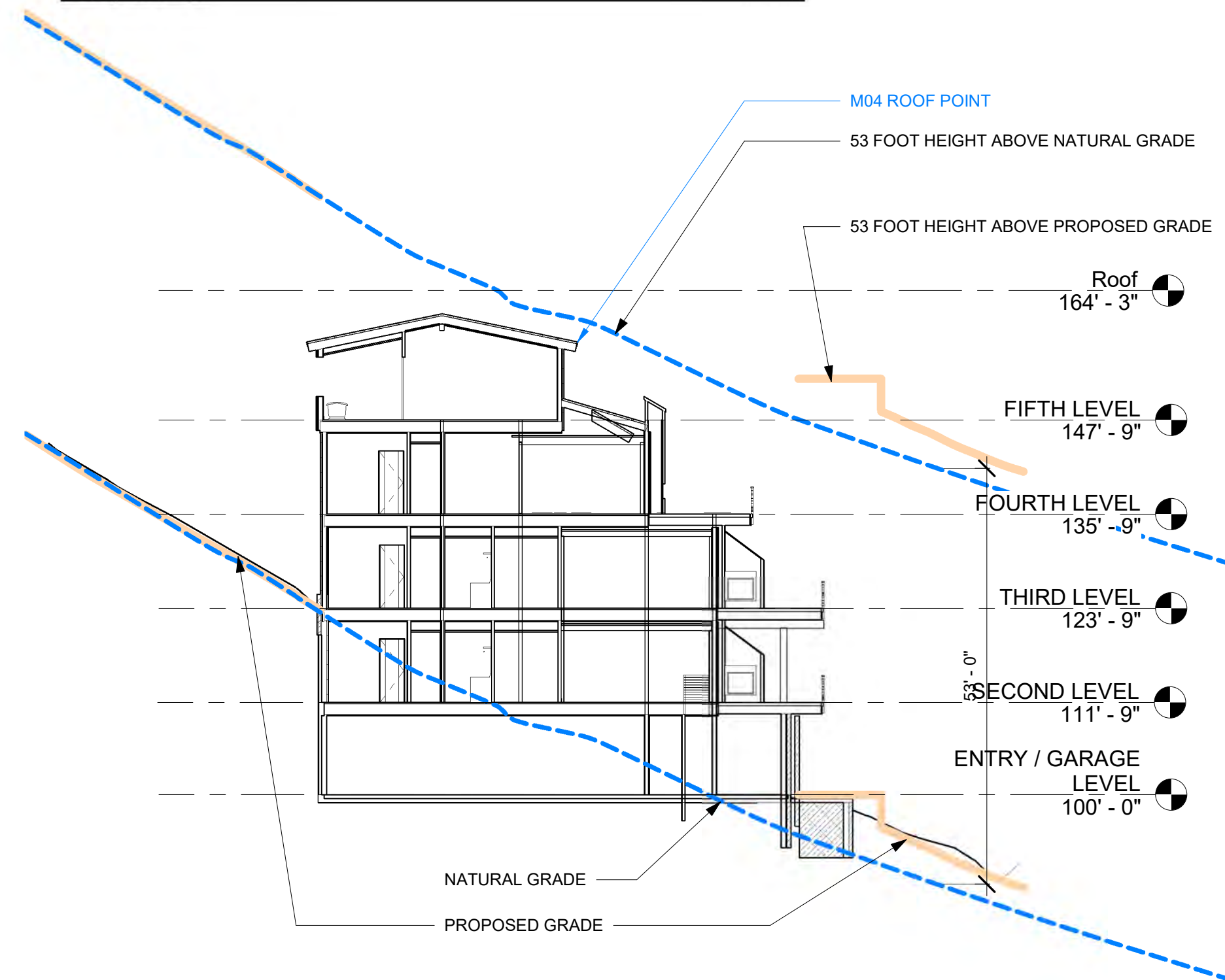
Average Height: 34.60
 Max. Average Allowable: 45.00
 Compliant By: 10.40



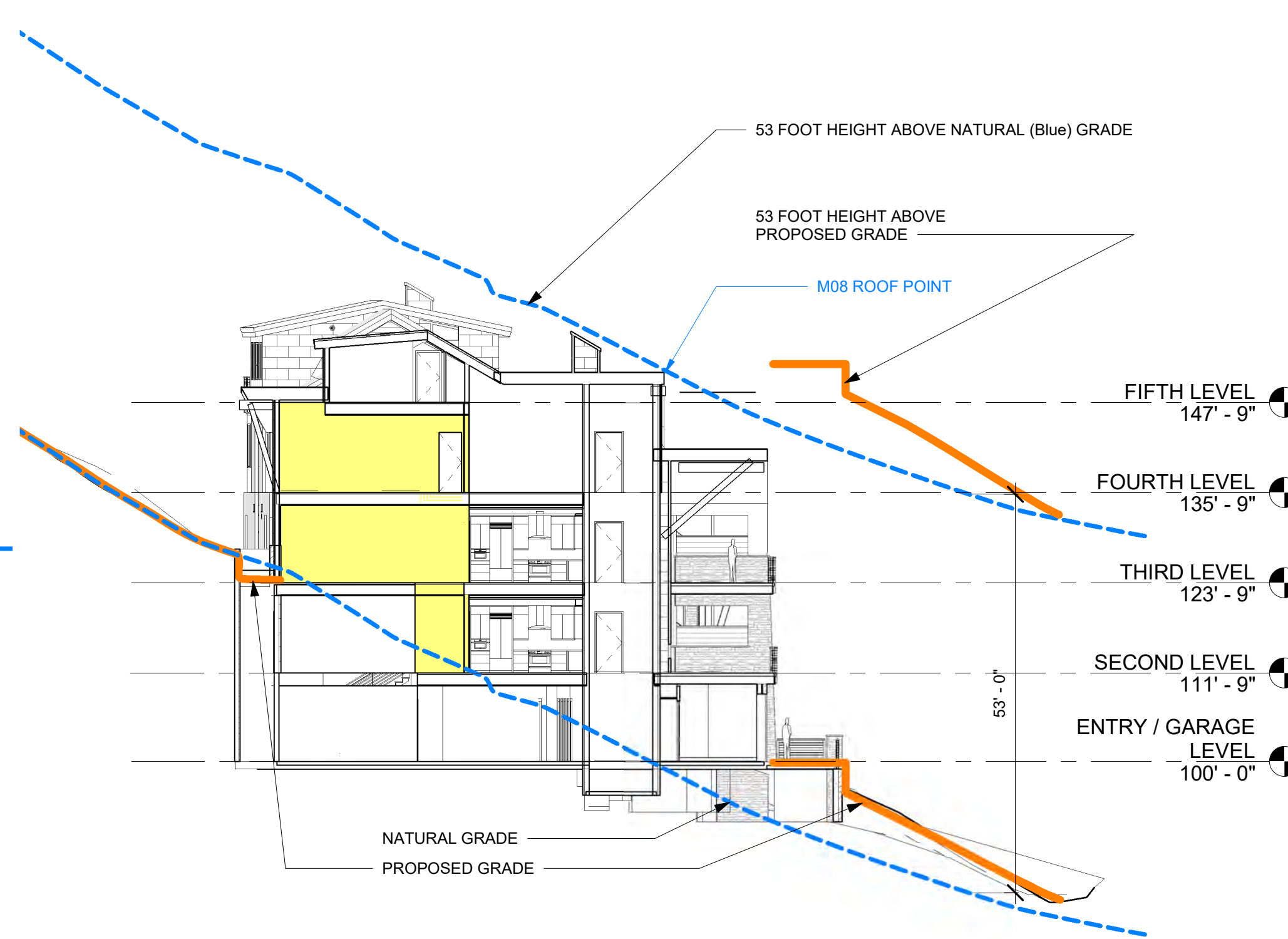
2 ROOF HEIGHT POINTS PLAN - MAXIMUM HEIGHTS
 H1.00 1/16" = 1'-0"



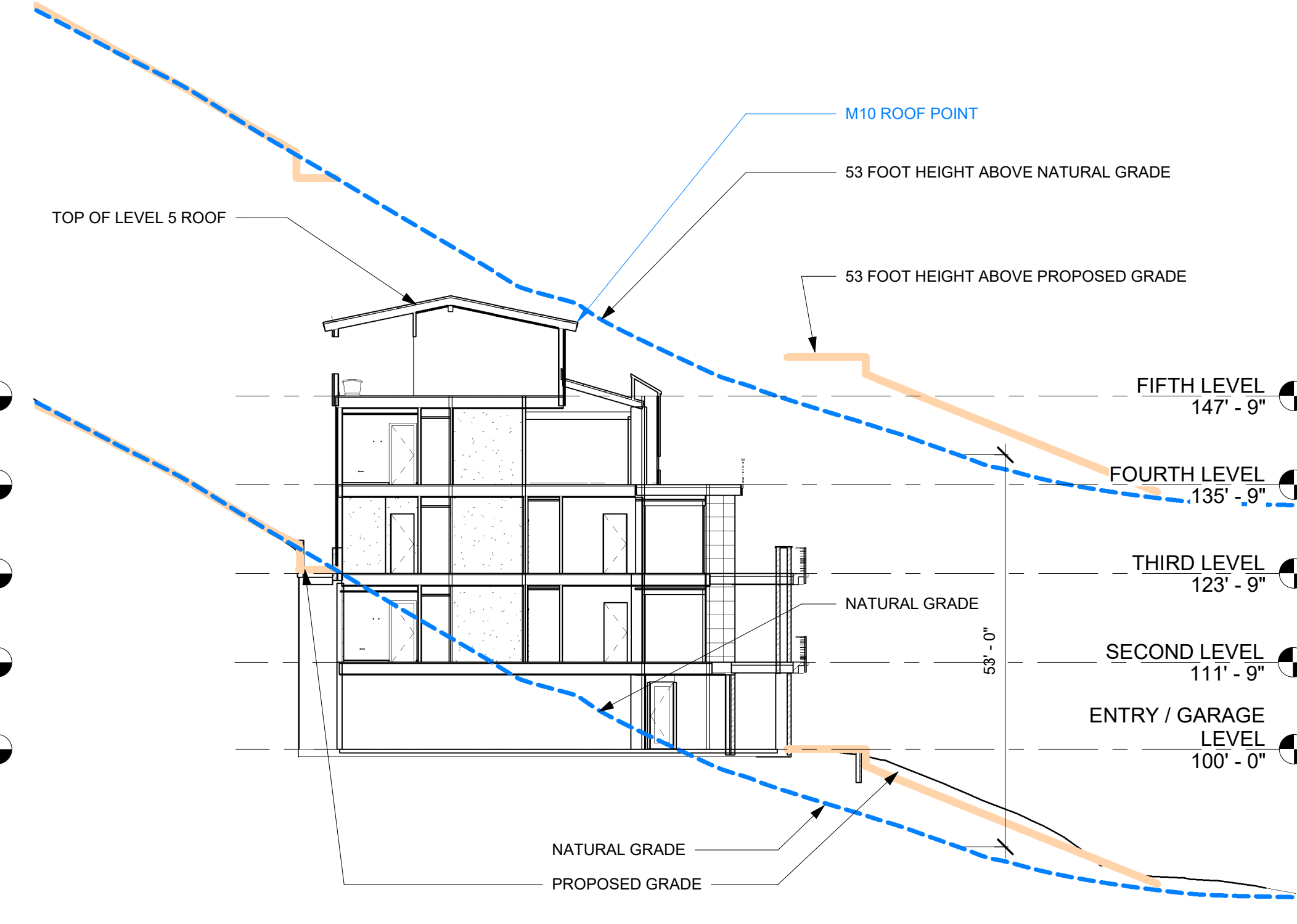
1 ROOF HEIGHT POINTS PLAN - MAXIMUM AVERAGE HEIGHTS
 H1.00 1/16" = 1'-0"



5 SECTION AT GRID 5 - (Unit 5) - ROOF HEIGHT ANALYSIS
 H1.00 1/16" = 1'-0"



4 SECTION AT GRID 9 (CENTER OF BUILDING) - ROOF HEIGHT ANALYSIS
 H1.00 1/16" = 1'-0"



3 SECTION AT GRID 13 (UNIT 6) - ROOF HEIGHT ANALYSIS
 H1.00 1/16" = 1'-0"

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REFLECTIONS AT ELK LAKE
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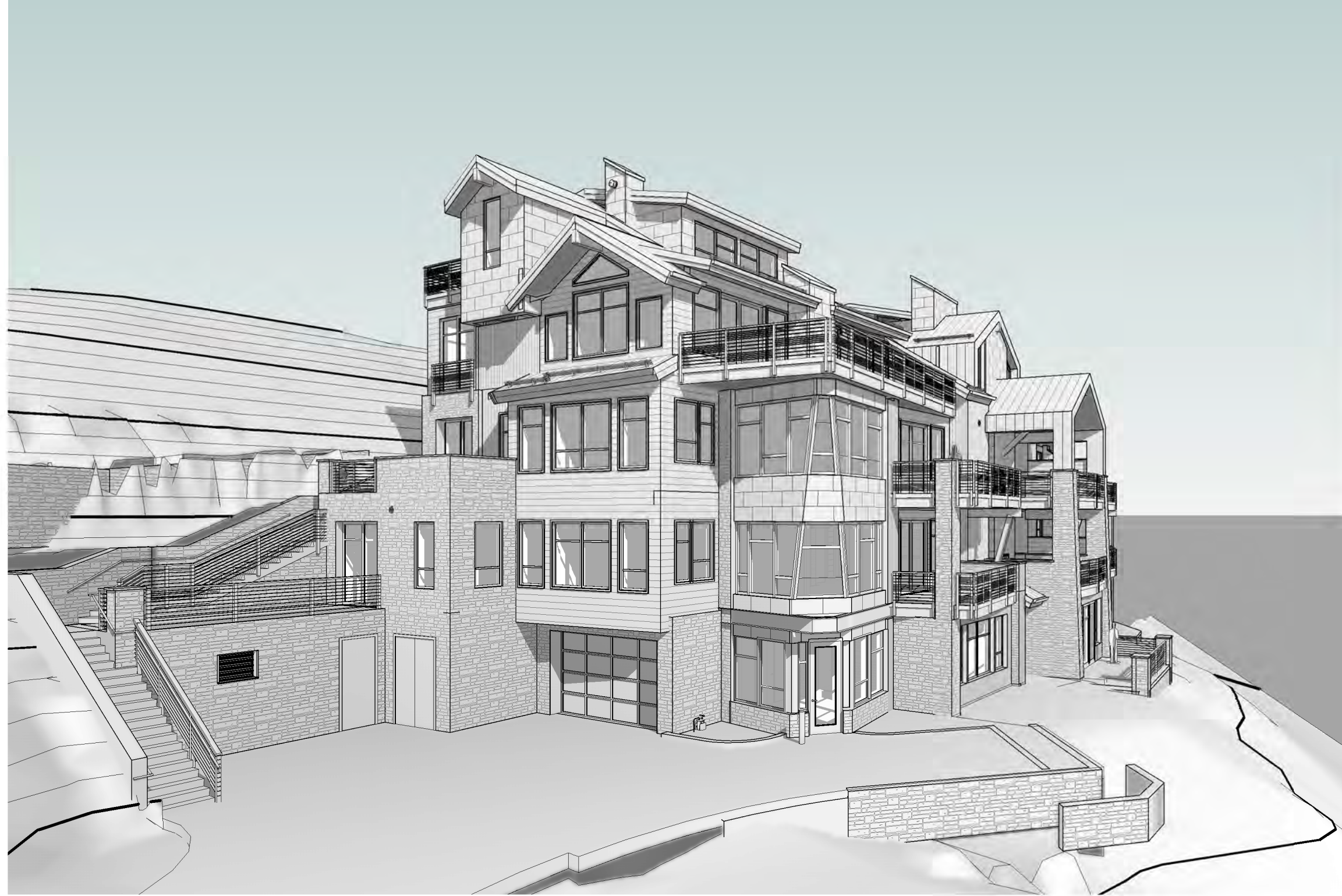
ISSUE

No.	DATE	COMMENT
A	01/23/2018	PLANNING & ZONING
B	02/15/2019	DESIGN REVIEW
C	03/06/2019	DESIGN REVIEW
D	06/06/2019	DESIGN DEV
G	05/18/2020	DESIGN REVIEW
J	07/22/2021	FINAL DESIGN REVIEW

KEY PLAN

BUILDING ROOF HEIGHT ANALYSIS

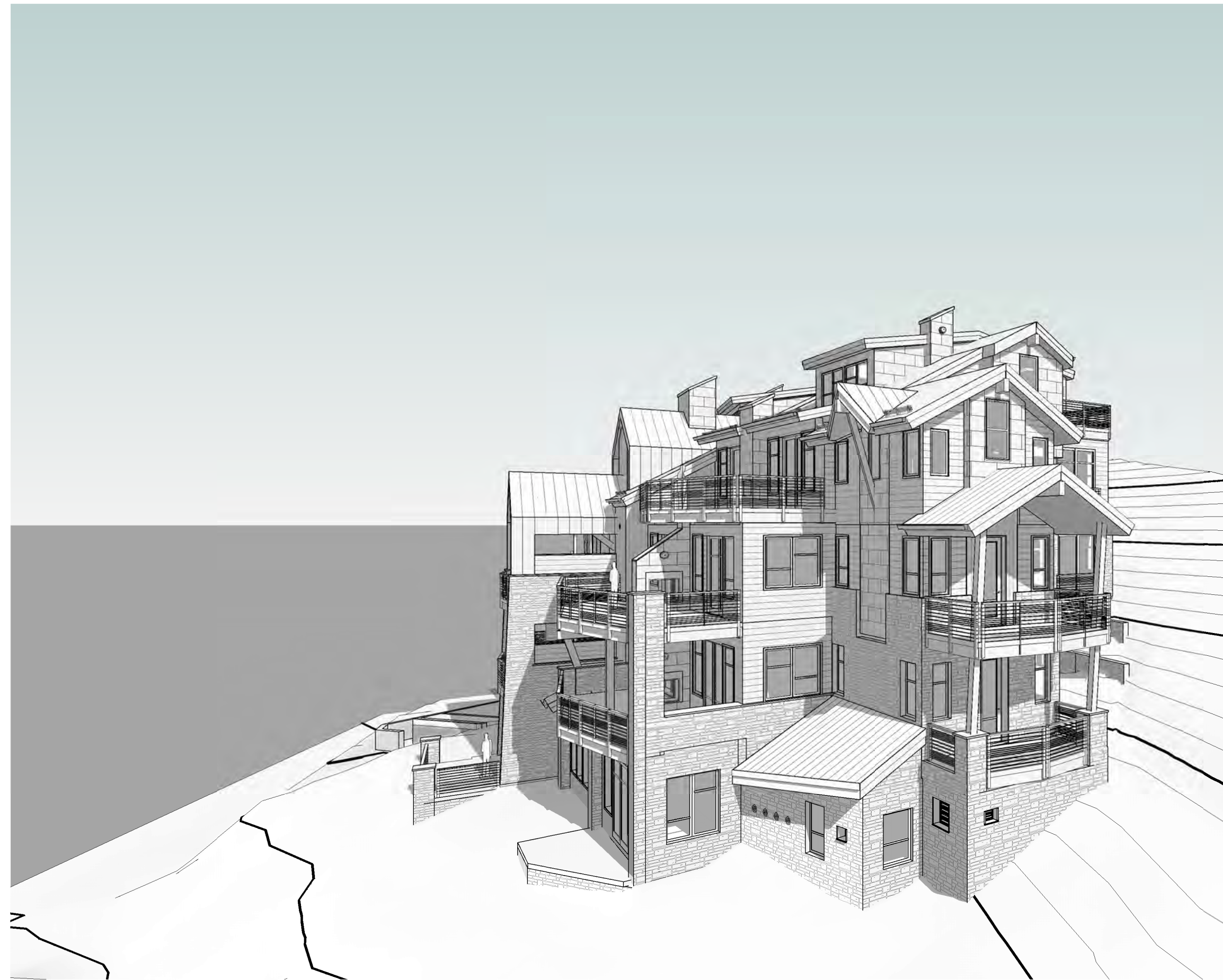
PROJECT No.	20182606.00	ORIGIN DATE	11/13/2018
DRAWN BY	JB	CHK BY	TRV BY
SHEET No.	H1.00		
SCALE:	AS SHOWN		



1 3D Sheet View - 1
R1.01



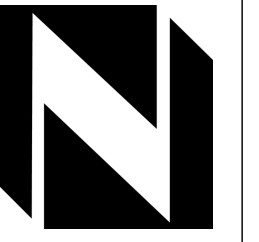
2 3D Sheet View - 2
R1.01



3 3D Sheet View - 3
R1.01



4 3D Sheet View - 4
R1.01



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REFLECTIONS AT ELK LAKE
TOWN OF MOUNTAIN VILLAGE, COLORADO

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ISSUE		
No.	DATE	COMMENT
G	08/18/2020	DESIGN REVIEW
J	07/22/2021	FINAL DESIGN REVIEW

KEY PLAN

CONCEPT VIEWS

PROJECT No.	ORIGIN DATE
20182606.00	11/13/2018
DRAWN BY	CHK BY TRV BY
JBR	TL

SHEET No. **R1.01**
SCALE: AS SHOWN

ELKSTONE CONDOMINIUMS LOT 600A TOWN OF MOUNTAIN VILLAGE SAN MIGUEL COUNTY, COLORADO

General Notes:

All materials and workmanship shall be in accordance with the Project Manual and the Town of Mountain Village Ordinance 2013-8. When requirements in the construction specifications or design standards conflict the more stringent requirement shall apply.

The contractor is responsible for obtaining all required permits prior to the commencement of any work on the project. A San Miguel County Special Construction Permit is required for all work in the public right-of-way. The contractor shall have a copy of latest CDOT M&S Standards.

The contractor shall be responsible for notifying the Town of any problems in conforming to the approved plans for any element of the proposed improvements prior to its construction.

The engineer shall be responsible during construction activities to resolve construction problems due to changed conditions or design errors encountered by the contractor during the progress of any portion of the proposed work. Any improvements constructed not in accordance with the approved plans or the approved revised plans, shall be removed and the improvements shall be reconstructed according to the approved plans.

Underground utilities shown on these plans are from physical evidence on the surface and historical maps. The contractor shall be responsible for the horizontal and vertical location of all utilities prior to construction, including potholing if necessary. The contractor shall contact the appropriate agencies for location of all underground utilities at least 72 hours prior to commencement of construction. Where potholing or excavation reveals conflicts between existing and proposed utilities, the contractor shall notify the town immediately and any revisions to the construction plans shall be approved in writing. Utility locates shown are Class C or D

The contractor shall be responsible for providing a copy of "RECORD DRAWINGS" plans to the Town of Mountain Village prior to final acceptance of work.

The contractor shall notify the Public Works Director or his representative at least 24 hours prior to desired inspection.

The contractor shall reset all Survey Monuments disturbed during construction within 60 days of project completion.

The contractor shall be solely and completely responsible for conditions at and adjacent to the job site, including safety of all persons and property during performance of the work. This requirement shall apply continuously and not be limited to normal working hours.

The duty of the Town to conduct construction review of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures in, on, or near the construction site.

Field conditions may exist that require changes to the drawings. If such conditions are encountered, standard engineering practices shall be followed

Topographic and Boundary Survey Data for this project provided by Foley Associates, Inc.

Utility Notes:

The contractor shall have in his possession at all times one (1) signed copy of plans and specifications which have been approved by the Town of Mountain Village's Public Works Department.

The contractor shall inform the Town's representative 24 hours in advance when trench will be ready for compaction tests. The Town of Mountain Village shall provide a geotechnical testing laboratory to perform all required tests at the Town's expense. The Contractor shall be responsible for and shall pay all costs in connection with retesting for work or materials found defective or unsatisfactory and all stand-by time charges from the tester due to the Contractor's failure to pave, pour, or fill on schedule for any reason except by action of the Owner's Representative.

The contractor shall excavate trenches by open cut, and conform to sheeting, shoring, and bracing requirements of regulating agency or ruling authority.

The contractor shall stockpile suitable material for backfilling a minimum of 4 feet away from trench banks. Remove and waste excavated materials not suitable or not required for backfilling.

The contractor shall provide and maintain dewatering equipment, as necessary, to ensure that all work in trenches is performed under dewatered conditions.

The contractor shall excavate trenches to provide adequate working space and pipe clearances for proper installation and jointing. Trench width at the top of the pipe shall not exceed 16 inches plus pipe width.

All site retaining walls shall be designed by a structural engineer and coordinated with site shoring and building foundation design. Site retainage shall be approved by a geotechnical engineer.

Utilities have been identified according to the standard guideline for the collection and depiction of subsurface utility data. Utilities shown are based upon survey locates (Level C/D).

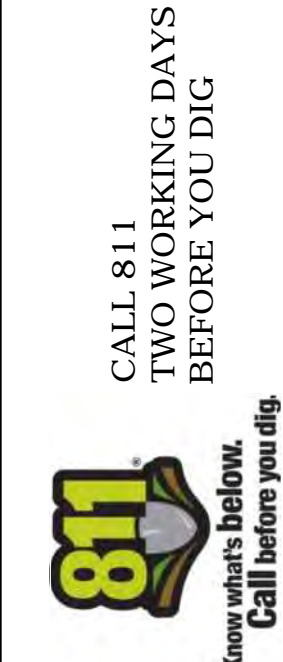
Town of Mountain Village Approval

"All work shall be constructed to Town of Mountain Village Standards. This Plan Set has been reviewed and found to be in general compliance with these standards. The engineering design and concept remains the responsibility of the professional engineer whose stamp and signature appear hereon."

ACCEPTED BY: _____
PUBLIC WORKS DIRECTOR

DATE: _____

Sheet List Table	
Sheet Number	Sheet Title
C-001	COVER SHEET
C-101	EXISTING CONDITIONS
C-102	SITE PLAN
C-103	UTILITY PLAN
C-104	EROSION CONTROL PLAN
C-105	OVERALL GRADING PLAN
C-106	DETAILED GRADING PLAN 1
C-107	DETAILED GRADING PLAN 2
C-108	DETAILED GRADING PLAN 3
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C-201	SOUTH BOULDER WALL PLAN AND PROFILE 1
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C-204	NORTH RETAINING WALL PLAN AND PROFILE 1
C-205	NORTH RETAINING WALL PLAN AND PROFILE 2
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C-501	TYPICAL DETAILS 1
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C-503	TYPICAL DETAILS 3



REVISIONS:

TOWN OF MOUNTAIN VILLAGE
ELKSTONE CONDOMINIUMS LOT 600A
COVER SHEET

Short Elliott
Hendrickson, Inc.
834 Main Avenue, Unit C
Durango, Colorado 81301
Phone: (970) 585-4546
Fax: (970) 585-4502

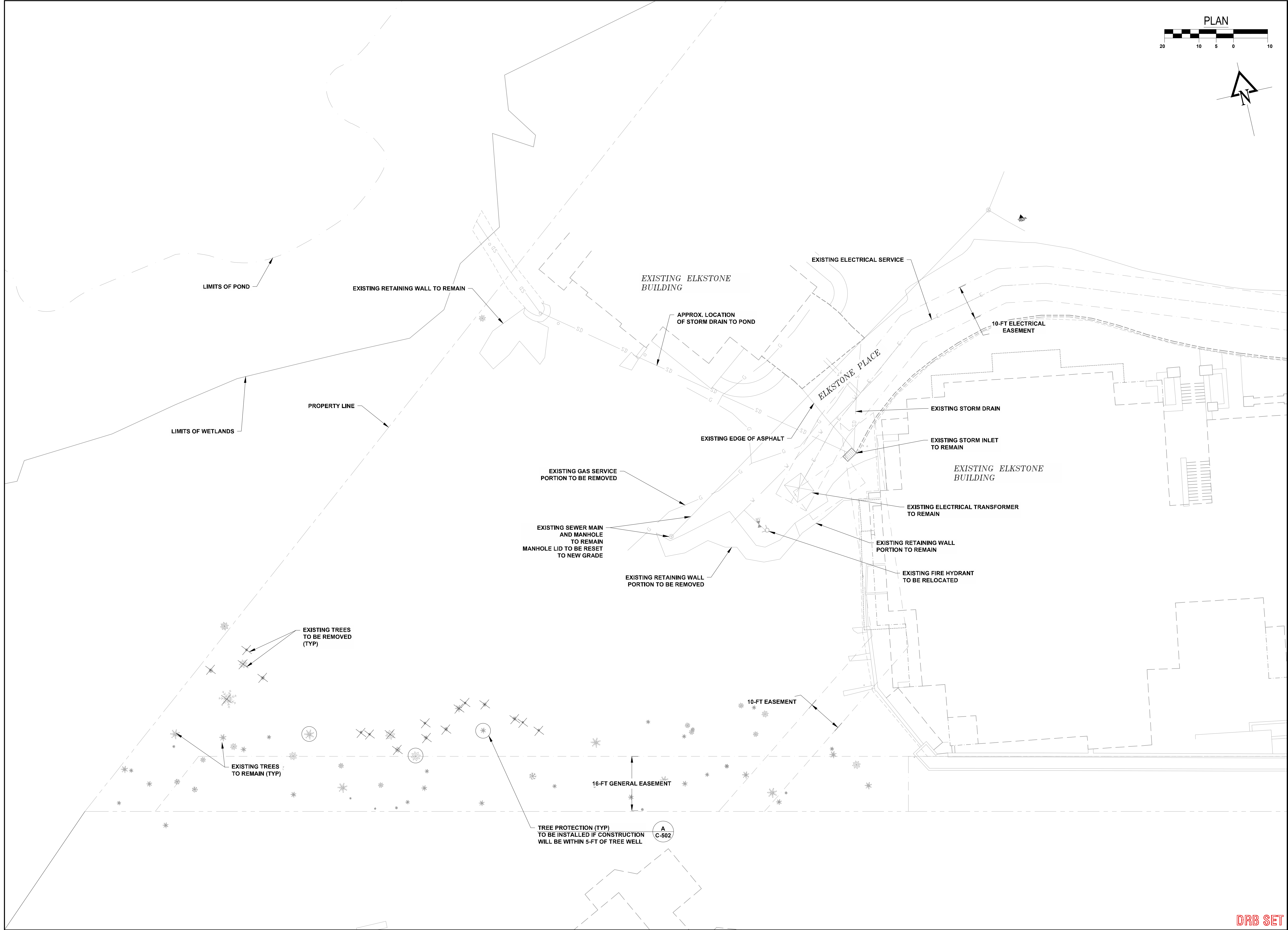
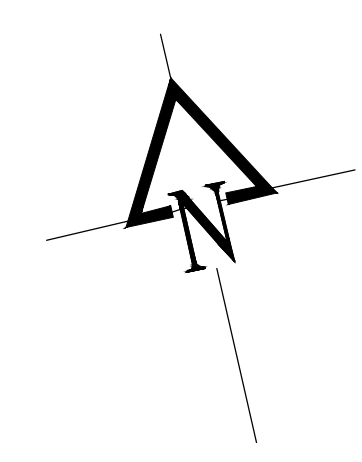
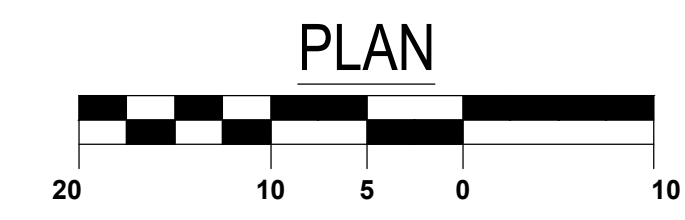


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Date of Submittal
06/18/2020

1 OF 20

DRB SET
C-001



CALL 811
TWO WORKING DAYS
BEFORE YOU DIG

REVISIONS:

**TOWN OF MOUNTAIN VILLAGE
ELKSTONE CONDOMINIUMS LOT 600A
EXISTING CONDITIONS**

Short Elliott
Hendrickson, Inc.
834 Main Avenue, Unit C
Durango, Colorado 81301
Phone: (970) 585-4546
Fax: (970) 385-4502



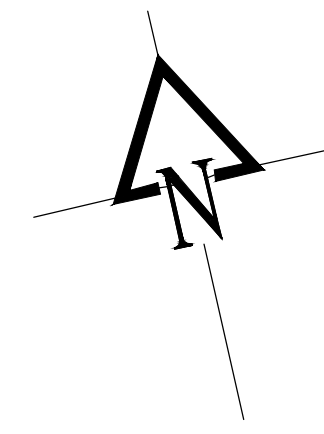
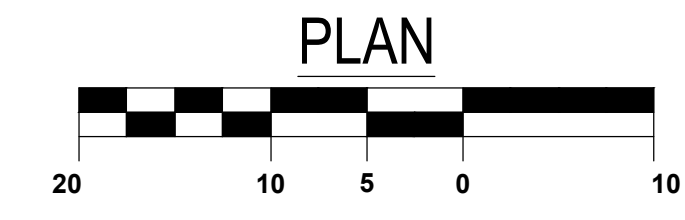
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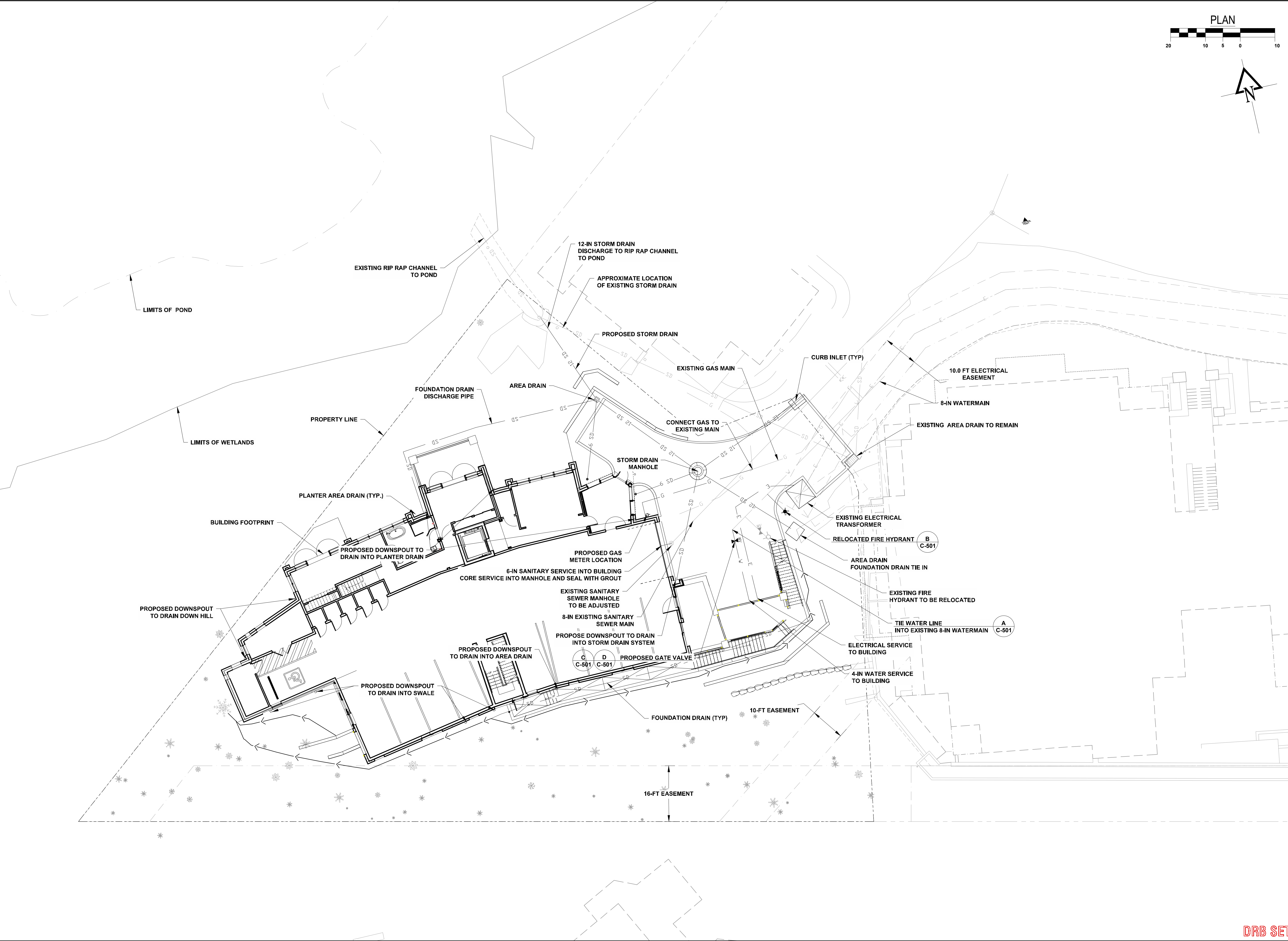
2 OF 20

C-101

DRB SET



CALL 811
TWO WORKING DAYS
BEFORE YOU DIG
Know what's below.
Call before you dig.



REVISIONS:

TOWN OF MOUNTAIN VILLAGE
ELKSTONE CONDOMINIUMS LOT 600A
UTILITY PLAN

Short Elliott
Hendrickson, Inc.
834 Main Avenue, Unit C
Durango, Colorado 81301
Phone: (970) 585-4546
Fax: (970) 385-4502

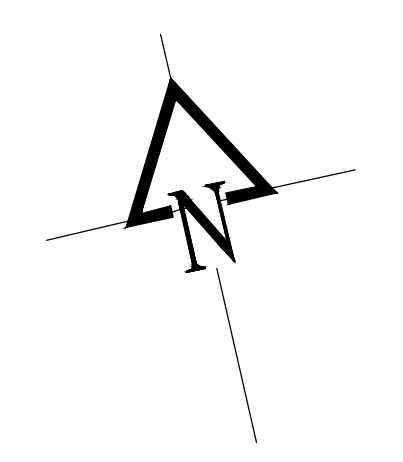
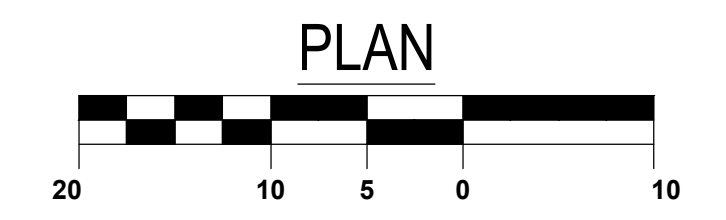


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06/18/2020

4 OF 20

DRB SET C-103



CALL 811
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BEFORE YOU DIG




REVISIONS:

**TOWN OF MOUNTAIN VILLAGE
ELKSTONE CONDOMINIUMS LOT 600A
EROSION CONTROL PLAN**

Short Elliott
Hendrickson, Inc.
834 Main Avenue, Unit C
Durango, Colorado 81301
Phone: (970) 385-4646
Fax: (970) 385-4502

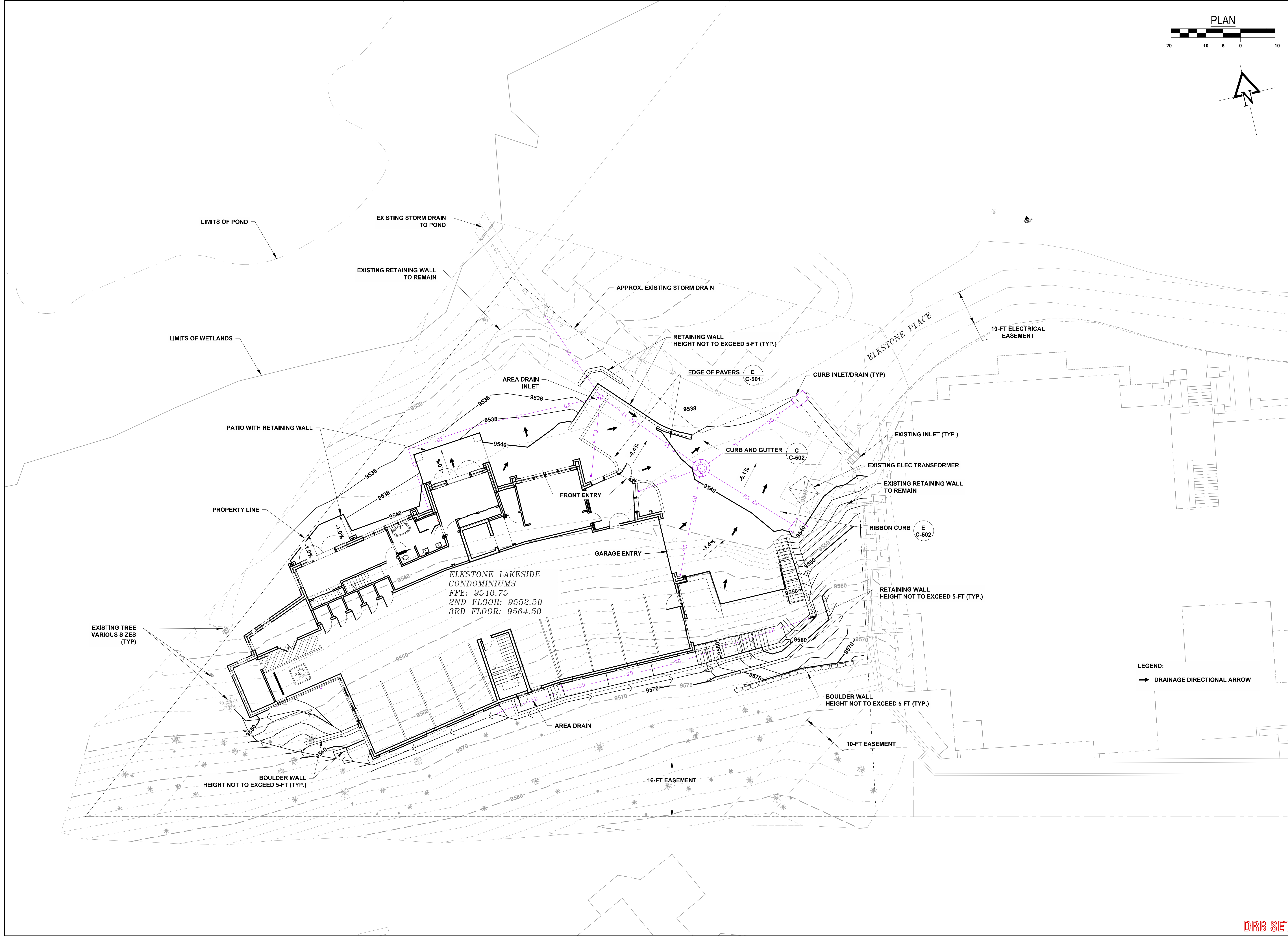
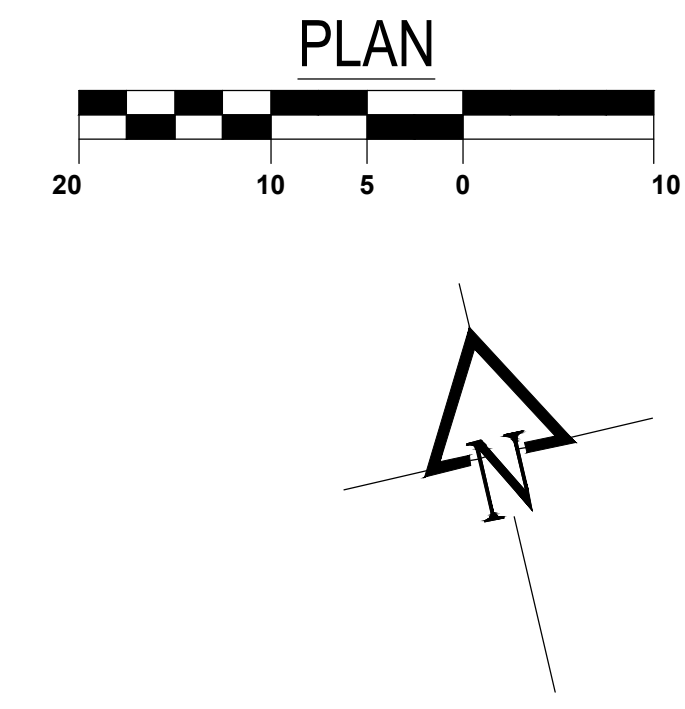


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5 OF 20

DRB SET C-104



ELKSTONE LAKESIDE
CONDOMINIUMS
FFE: 9540.75
2ND FLOOR: 9552.50
3RD FLOOR: 9564.50

LEGEND:
→ DRAINAGE DIRECTIONAL ARROW

CALL 811
TWO WORKING DAYS
BEFORE YOU DIG
Know what's below.
Call before you dig.

REVISIONS:

TOWN OF MOUNTAIN VILLAGE
ELKSTONE CONDOMINIUMS LOT 600A
OVERALL GRADING PLAN

Short Elliott
Hendrickson, Inc.
834 Main Avenue, Unit C
Durango, Colorado 81301
Phone: (970) 585-4546
Fax: (970) 385-4502

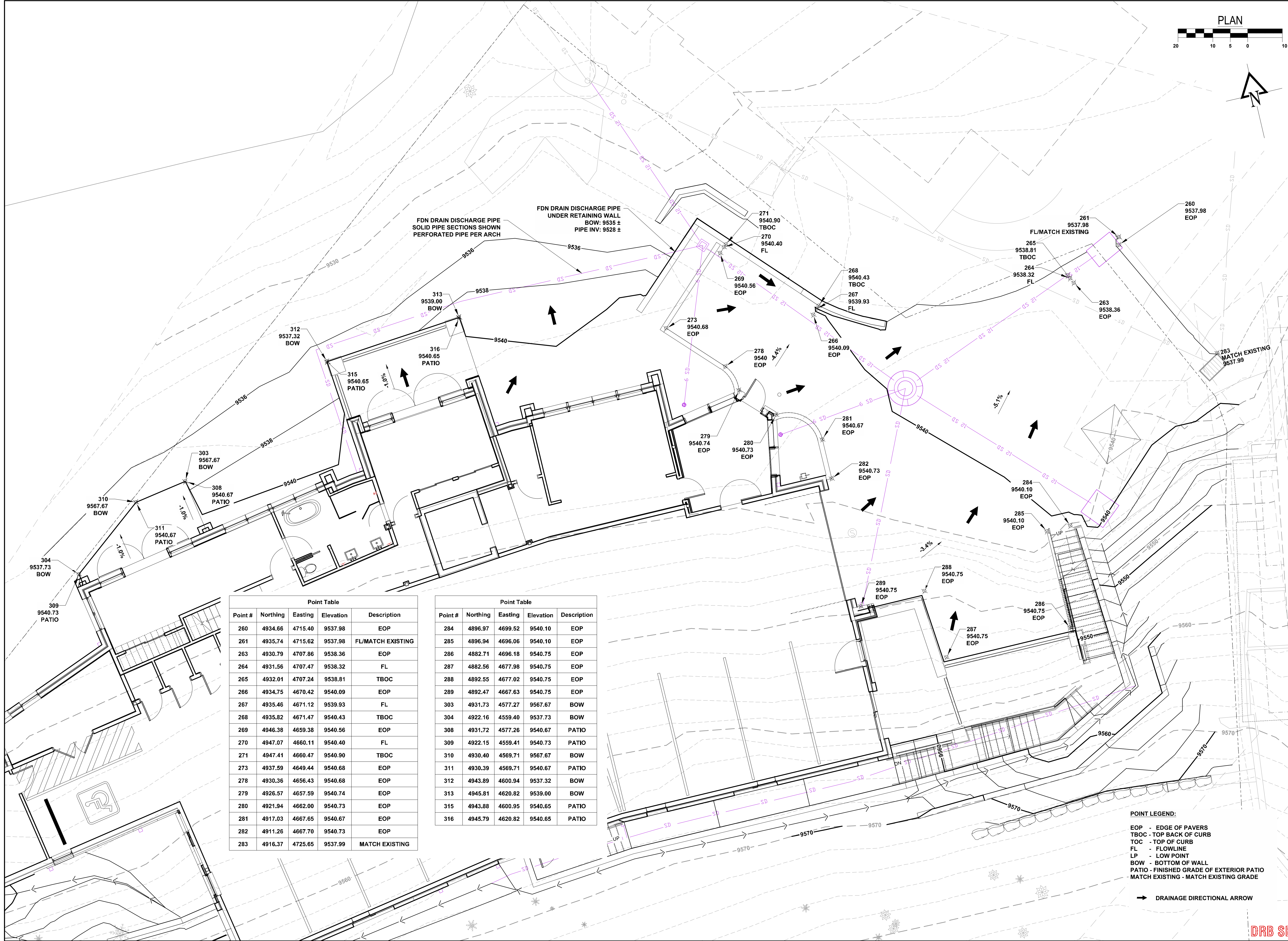
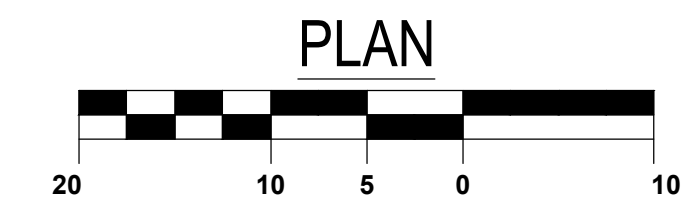


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06/18/2020

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DRB SET C-105



Point #	Northing	Easting	Elevation	Description
260	4934.66	4715.40	9537.98	EOP
261	4935.74	4715.62	9537.98	FL/MATCH EXISTING
263	4930.79	4707.86	9538.36	EOP
264	4931.56	4707.47	9538.32	FL
265	4932.01	4707.24	9538.81	TBOC
266	4934.75	4670.42	9540.09	EOP
267	4935.46	4671.12	9539.93	FL
268	4935.82	4671.47	9540.43	TBOC
269	4946.38	4659.38	9540.56	EOP
270	4947.07	4660.11	9540.40	FL
271	4947.41	4660.47	9540.90	TBOC
273	4937.59	4649.44	9540.68	EOP
278	4930.36	4656.43	9540.68	EOP
279	4926.57	4657.59	9540.74	EOP
280	4921.94	4662.00	9540.73	EOP
281	4917.03	4667.65	9540.67	EOP
282	4911.26	4667.70	9540.73	EOP
283	4916.37	4725.65	9537.99	MATCH EXISTING

Point #	Northing	Easting	Elevation	Description
284	4896.97	4699.52	9540.10	EOP
285	4896.94	4696.06	9540.10	EOP
286	4882.71	4696.18	9540.75	EOP
287	4882.56	4677.98	9540.75	EOP
288	4892.55	4677.02	9540.75	EOP
289	4892.47	4667.63	9540.75	EOP
303	4931.73	4577.27	9567.67	BOW
304	4922.16	4559.40	9537.73	BOW
308	4931.72	4577.26	9540.67	PATIO
309	4922.15	4559.41	9540.73	PATIO
310	4930.40	4569.71	9567.67	BOW
311	4930.39	4569.71	9540.67	PATIO
312	4943.89	4600.94	9537.32	BOW
313	4945.81	4620.82	9539.00	BOW
315	4943.88	4600.95	9540.65	PATIO
316	4945.79	4620.82	9540.65	PATIO

- POINT LEGEND:**
- EOP - EDGE OF PAVERS
 - TBOC - TOP BACK OF CURB
 - TOC - TOP OF CURB
 - FL - FLOWLINE
 - LP - LOW POINT
 - BOW - BOTTOM OF WALL
 - PATIO - FINISHED GRADE OF EXTERIOR PATIO
 - MATCH EXISTING - MATCH EXISTING GRADE
- DRAINAGE DIRECTIONAL ARROW

REVISIONS:

**TOWN OF MOUNTAIN VILLAGE
ELKSTONE CONDOMINIUMS LOT 600A
DETAILED GRADING PLAN 1**

Short Elliott
Hendrickson, Inc.
834 Main Avenue, Unit C
Durango, Colorado 81301
Phone: (970) 585-4646
Fax: (970) 585-4502



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Drafted: **MM**
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06/18/2020

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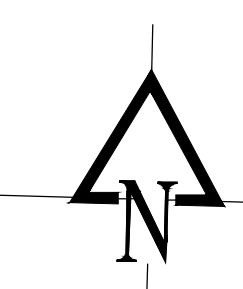
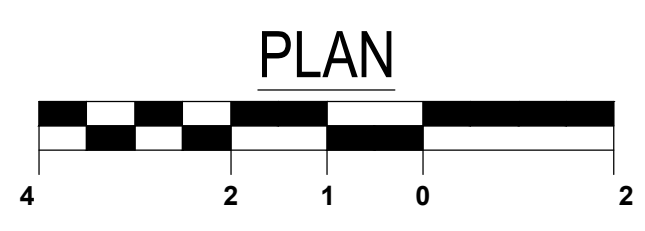
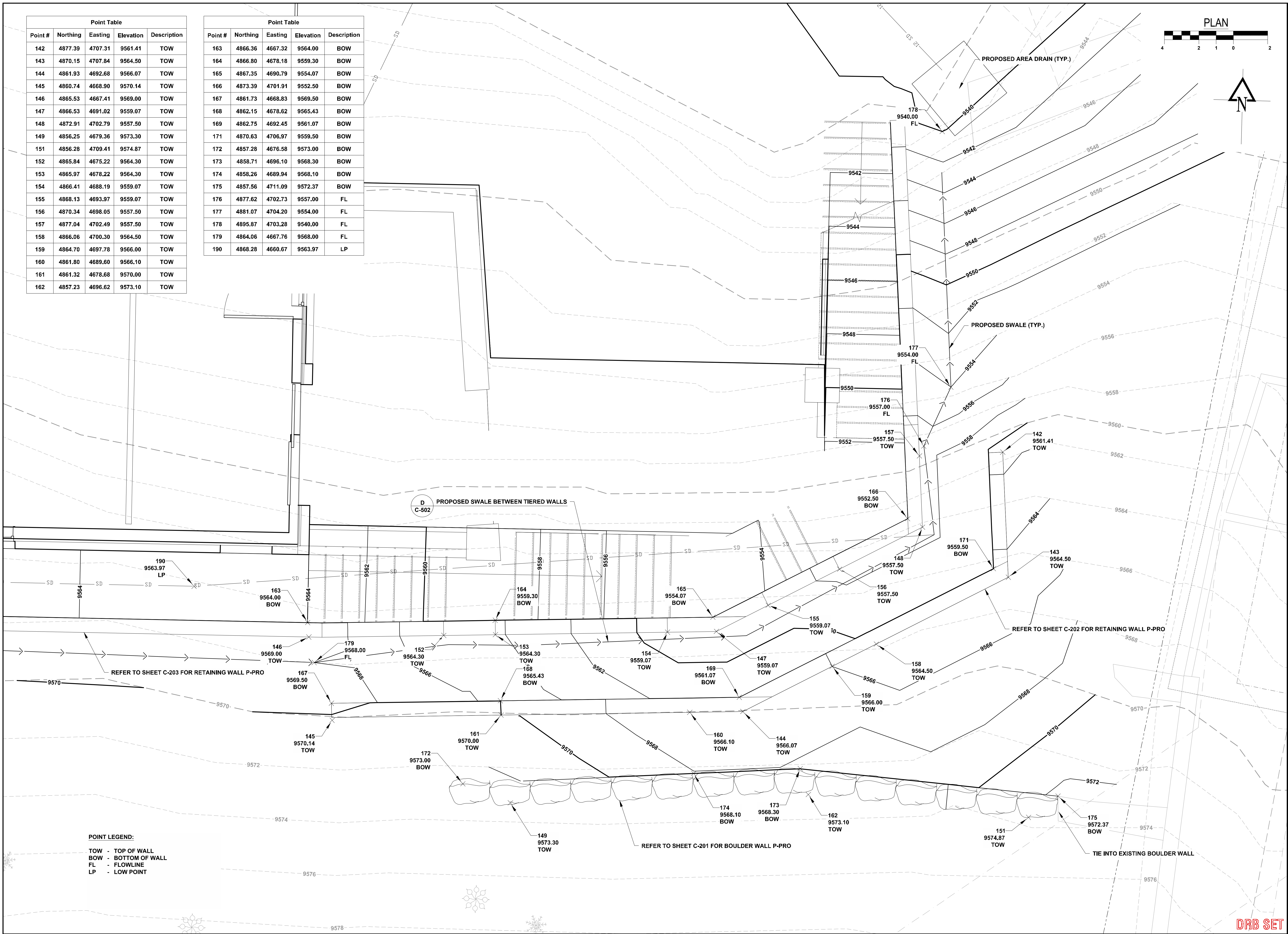
C-106

CALL 811
TWO WORKING DAYS
BEFORE YOU DIG
Know what's below.
Call before you dig.

DRB SET

Point #	Northing	Easting	Elevation	Description
142	4877.39	4707.31	9561.41	TOW
143	4870.15	4707.84	9564.50	TOW
144	4861.93	4692.68	9566.07	TOW
145	4860.74	4668.90	9570.14	TOW
146	4865.53	4667.41	9569.00	TOW
147	4866.53	4691.02	9559.07	TOW
148	4872.91	4702.79	9557.50	TOW
149	4856.25	4679.36	9573.30	TOW
151	4856.28	4709.41	9574.87	TOW
152	4865.84	4675.22	9564.30	TOW
153	4865.97	4678.22	9564.30	TOW
154	4866.41	4688.19	9559.07	TOW
155	4868.13	4693.97	9559.07	TOW
156	4870.34	4698.05	9557.50	TOW
157	4877.04	4702.49	9557.50	TOW
158	4866.06	4700.30	9564.50	TOW
159	4864.70	4697.78	9566.00	TOW
160	4861.80	4689.60	9566.10	TOW
161	4861.32	4678.68	9570.00	TOW
162	4857.23	4696.62	9573.10	TOW

Point #	Northing	Easting	Elevation	Description
163	4866.36	4667.32	9564.00	BOW
164	4866.80	4678.18	9559.30	BOW
165	4867.35	4690.79	9554.07	BOW
166	4873.39	4701.91	9552.50	BOW
167	4861.73	4668.83	9569.50	BOW
168	4862.15	4678.62	9565.43	BOW
169	4862.75	4692.45	9561.07	BOW
171	4870.63	4706.97	9559.50	BOW
172	4857.28	4676.58	9573.00	BOW
173	4858.71	4696.10	9568.30	BOW
174	4858.26	4689.94	9568.10	BOW
175	4857.56	4711.09	9572.37	BOW
176	4877.62	4702.73	9557.00	FL
177	4881.07	4704.20	9554.00	FL
178	4895.87	4703.28	9540.00	FL
179	4864.06	4667.76	9568.00	FL
190	4868.28	4660.67	9563.97	LP



REVISIONS:

TOWN OF MOUNTAIN VILLAGE
ELKSTONE CONDOMINIUMS LOT 600A
DETAILED GRADING PLAN 2

Short Elliott
Hendrickson, Inc.
834 Main Avenue, Unit C
Durango, Colorado 81301
Phone: (970) 385-4646
Fax: (970) 385-4502



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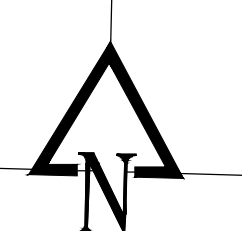
8 OF 20

C-107

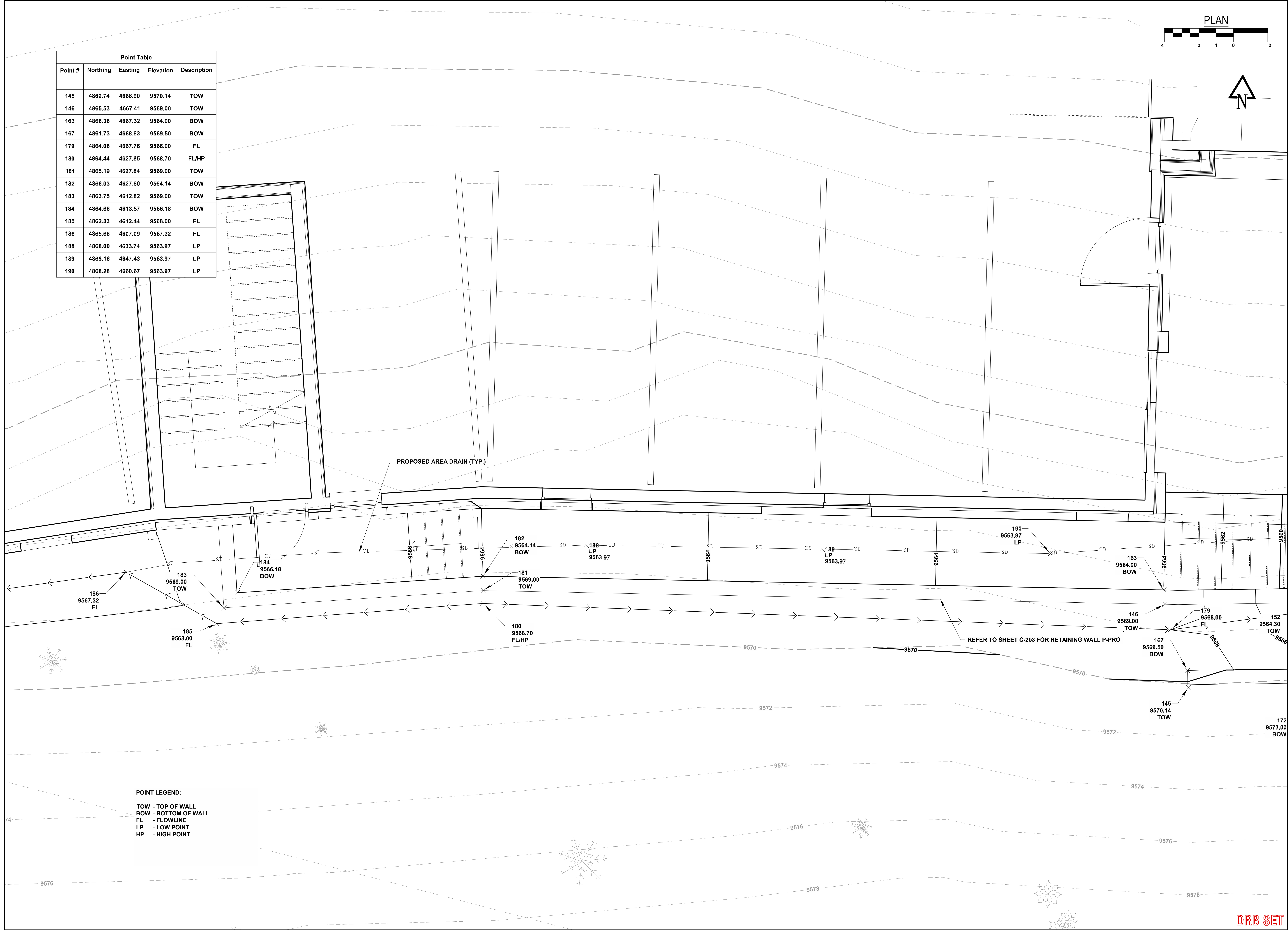
CALL 811
TWO WORKING DAYS
BEFORE YOU DIG
Know what's below.
Call before you dig.

DRB SET


PLAN



Point #	Northing	Easting	Elevation	Description
145	4860.74	4668.90	9570.14	TOW
146	4865.53	4667.41	9569.00	TOW
163	4866.36	4667.32	9564.00	BOW
167	4861.73	4668.83	9569.50	BOW
179	4864.06	4667.76	9568.00	FL
180	4864.44	4627.85	9568.70	FL/HP
181	4865.19	4627.84	9569.00	TOW
182	4866.03	4627.80	9564.14	BOW
183	4863.75	4612.82	9569.00	TOW
184	4864.66	4613.57	9566.18	BOW
185	4862.83	4612.44	9568.00	FL
186	4865.66	4607.09	9567.32	FL
188	4868.00	4633.74	9563.97	LP
189	4868.16	4647.43	9563.97	LP
190	4868.28	4660.67	9563.97	LP



POINT LEGEND:
 TOW - TOP OF WALL
 BOW - BOTTOM OF WALL
 FL - FLOWLINE
 LP - LOW POINT
 HP - HIGH POINT

CALL 811
 TWO WORKING DAYS
 BEFORE YOU DIG

 Know what's below.
 Call before you dig.

REVISIONS:

**TOWN OF MOUNTAIN VILLAGE
 ELKSTONE CONDOMINIUMS LOT 600A
 DETAILED GRADING PLAN 3**

Short Elliott
 Hendrickson, Inc.
 834 Main Avenue, Unit C
 Durango, Colorado 81301
 Phone: (970) 385-4646
 Fax: (970) 385-4502

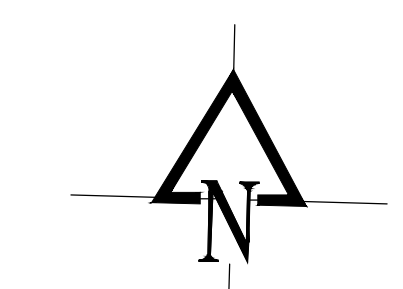
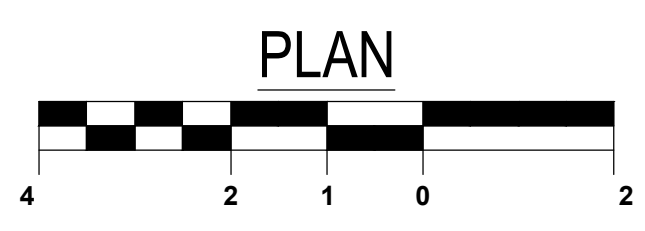
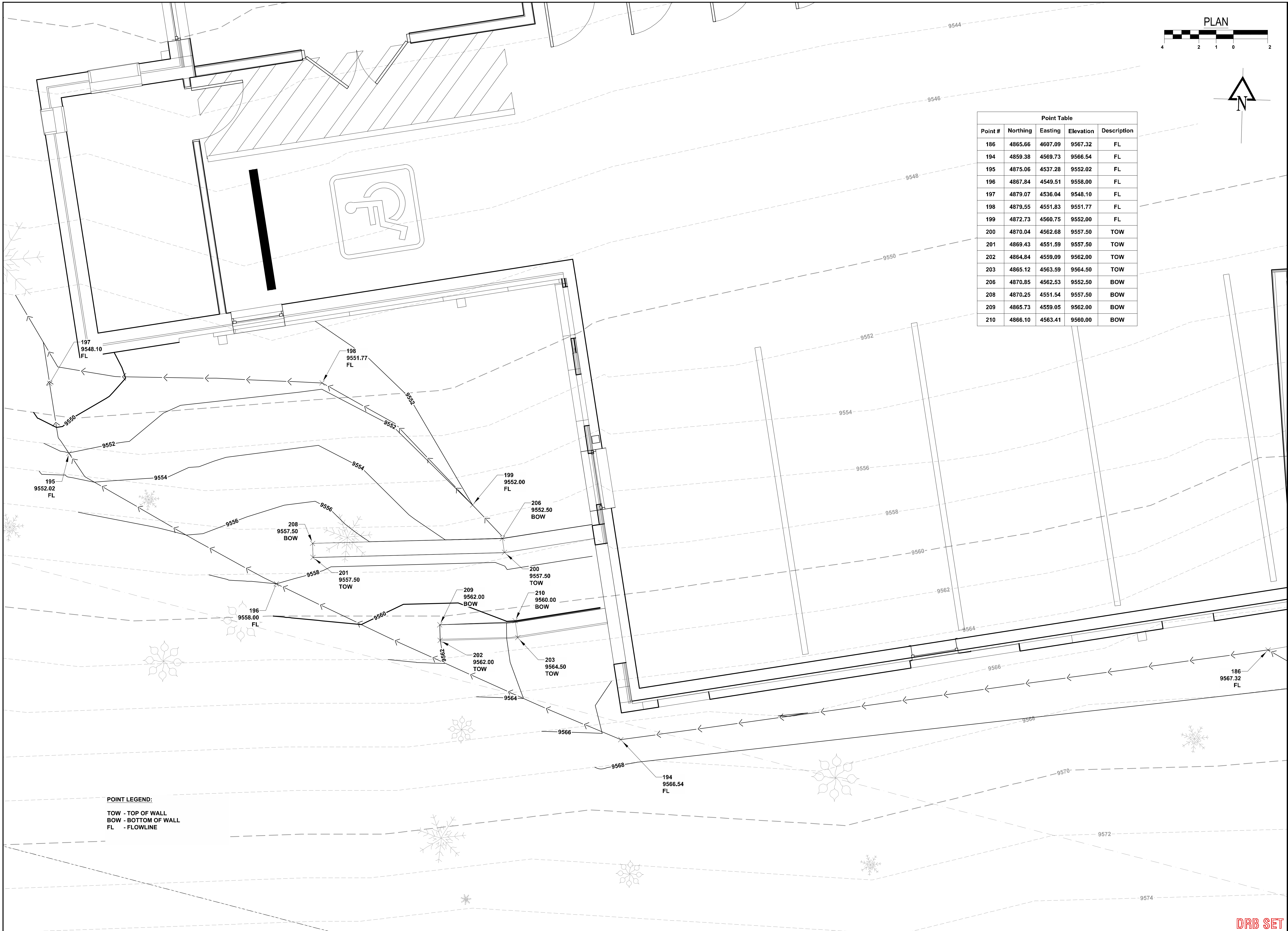


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Date of Submittal
06/18/2020

9 OF 20

DRB SET C-108



Point Table				
Point #	Northing	Easting	Elevation	Description
186	4865.66	4607.09	9567.32	FL
194	4859.38	4569.73	9566.54	FL
195	4875.06	4537.28	9552.02	FL
196	4867.84	4549.51	9558.00	FL
197	4879.07	4536.04	9548.10	FL
198	4879.55	4551.83	9551.77	FL
199	4872.73	4560.75	9552.00	FL
200	4870.04	4562.68	9557.50	TOW
201	4869.43	4551.59	9557.50	TOW
202	4864.84	4559.09	9562.00	TOW
203	4865.12	4563.59	9564.50	TOW
206	4870.85	4562.53	9552.50	BOW
208	4870.25	4551.54	9557.50	BOW
209	4865.73	4559.05	9562.00	BOW
210	4866.10	4563.41	9560.00	BOW

POINT LEGEND:
 TOW - TOP OF WALL
 BOW - BOTTOM OF WALL
 FL - FLOWLINE

**TOWN OF MOUNTAIN VILLAGE
 ELKSTONE CONDOMINIUMS LOT 600A
 DETAILED GRADING PLAN 4**

Short Elliott
 Hendrickson, Inc.
 834 Main Avenue, Unit C
 Durango, Colorado 81301
 Phone: (970) 385-4546
 Fax: (970) 385-4502



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06/18/2020

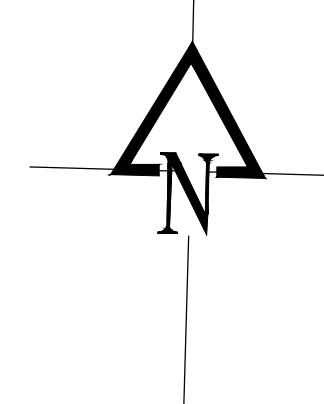
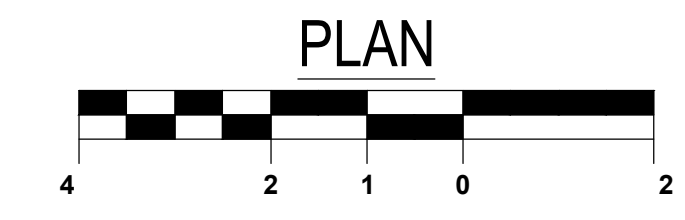
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C-109

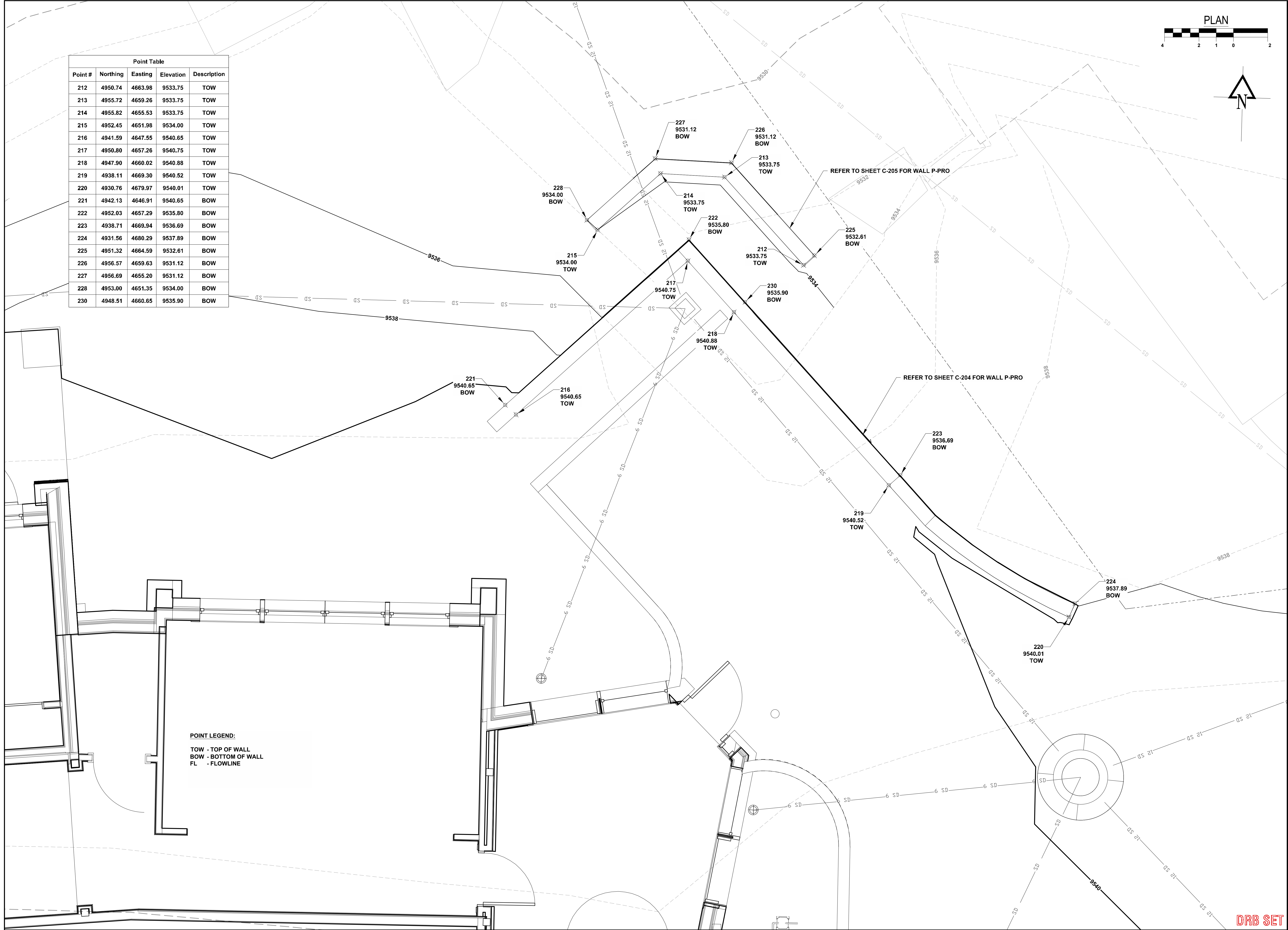
REVISIONS:

CALL 811
 TWO WORKING DAYS
 BEFORE YOU DIG
 Know what's below.
 Call before you dig.

DRB SET



Point Table				
Point #	Northing	Easting	Elevation	Description
212	4950.74	4663.98	9533.75	TOW
213	4955.72	4659.26	9533.75	TOW
214	4955.82	4655.53	9533.75	TOW
215	4952.45	4651.98	9534.00	TOW
216	4941.59	4647.55	9540.65	TOW
217	4950.80	4657.26	9540.75	TOW
218	4947.90	4660.02	9540.88	TOW
219	4938.11	4669.30	9540.52	TOW
220	4930.76	4679.97	9540.01	TOW
221	4942.13	4646.91	9540.65	BOW
222	4952.03	4657.29	9535.80	BOW
223	4938.71	4669.94	9536.69	BOW
224	4931.56	4680.29	9537.89	BOW
225	4951.32	4664.59	9532.61	BOW
226	4956.57	4659.63	9531.12	BOW
227	4956.69	4655.20	9531.12	BOW
228	4953.00	4651.35	9534.00	BOW
230	4948.51	4660.65	9535.90	BOW



POINT LEGEND:
 TOW - TOP OF WALL
 BOW - BOTTOM OF WALL
 FL - FLOWLINE

TOWN OF MOUNTAIN VILLAGE
 ELKSTONE CONDOMINIUMS LOT 600A
 DETAILED GRADING PLAN 5

Short Elliott
 Hendrickson, Inc.
 834 Main Avenue, Unit C
 Durango, Colorado 81301
 Phone: (970) 585-4646
 Fax: (970) 385-4502



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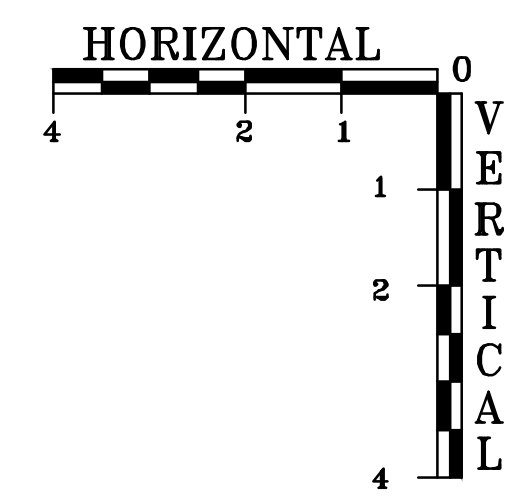
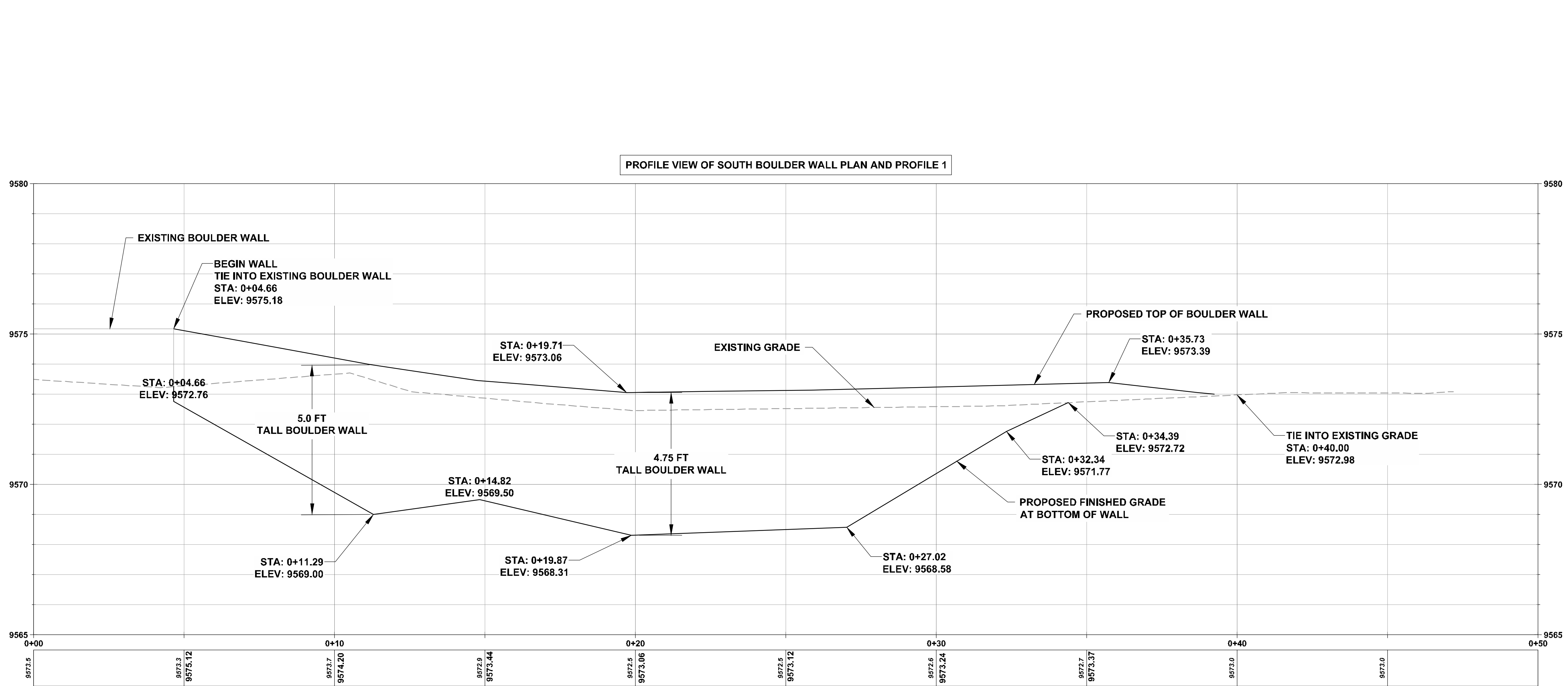
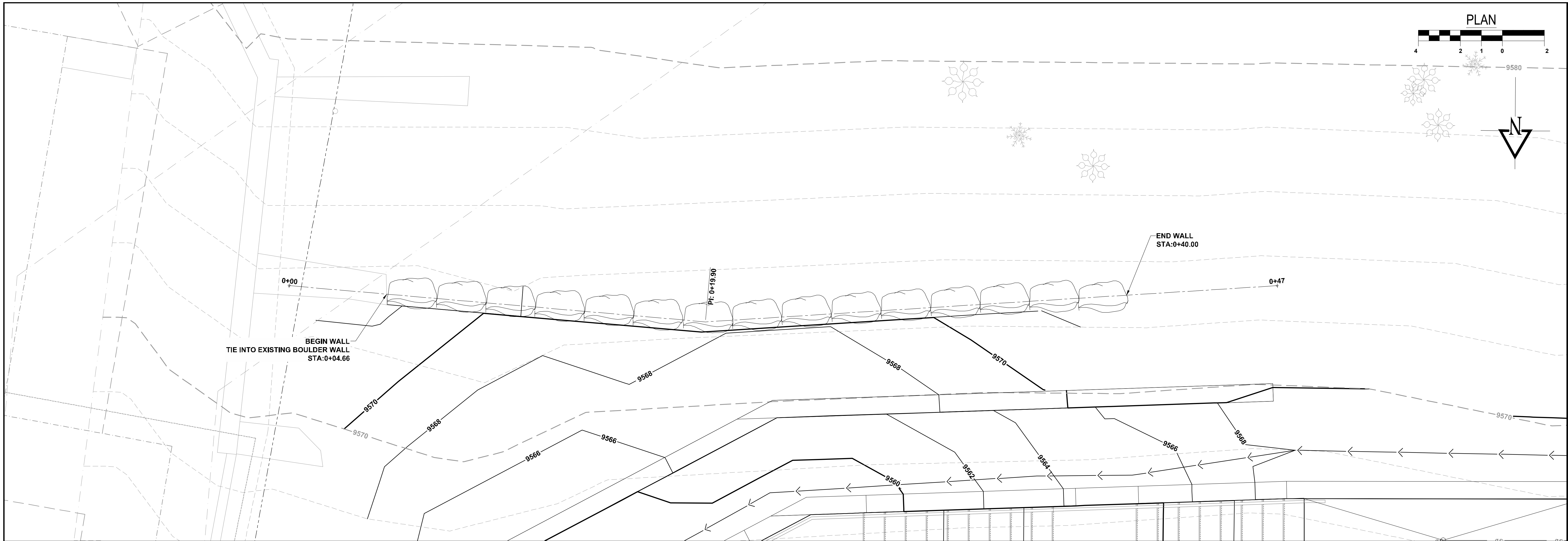
11 OF 20

C-110

REVISIONS:

CALL 811
 TWO WORKING DAYS
 BEFORE YOU DIG
 Know what's below.
 Call before you dig.

DRB SET



PLAN

4 2 1 0 2

9580

0+00

0+47

END WALL
STA: 0+40.00

BEGIN WALL
TIE INTO EXISTING BOULDER WALL
STA: 0+04.66

PI: 0+19.90

9570

9560

9550

9540

9530

9520

9510

9500

9580

9570

9560

9550

9540

9530

9520

9510

9500

REVISIONS:

TOWN OF MOUNTAIN VILLAGE
ELKSTONE CONDOMINIUMS LOT 600A
SOUTH BOULDER WALL PLAN AND PROFILE 1

Short Elliott
Hendrickson, Inc.
834 Main Avenue, Unit C
Durango, Colorado 81301
Phone: (970) 385-4646
Fax: (970) 385-4502

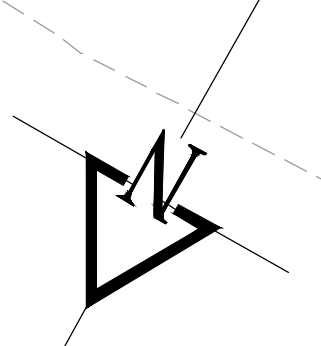
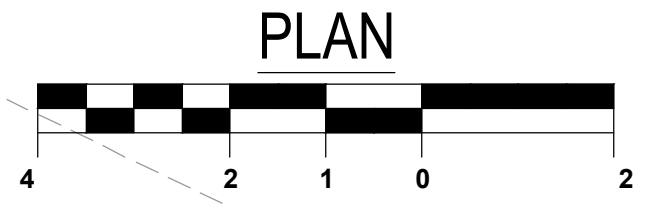
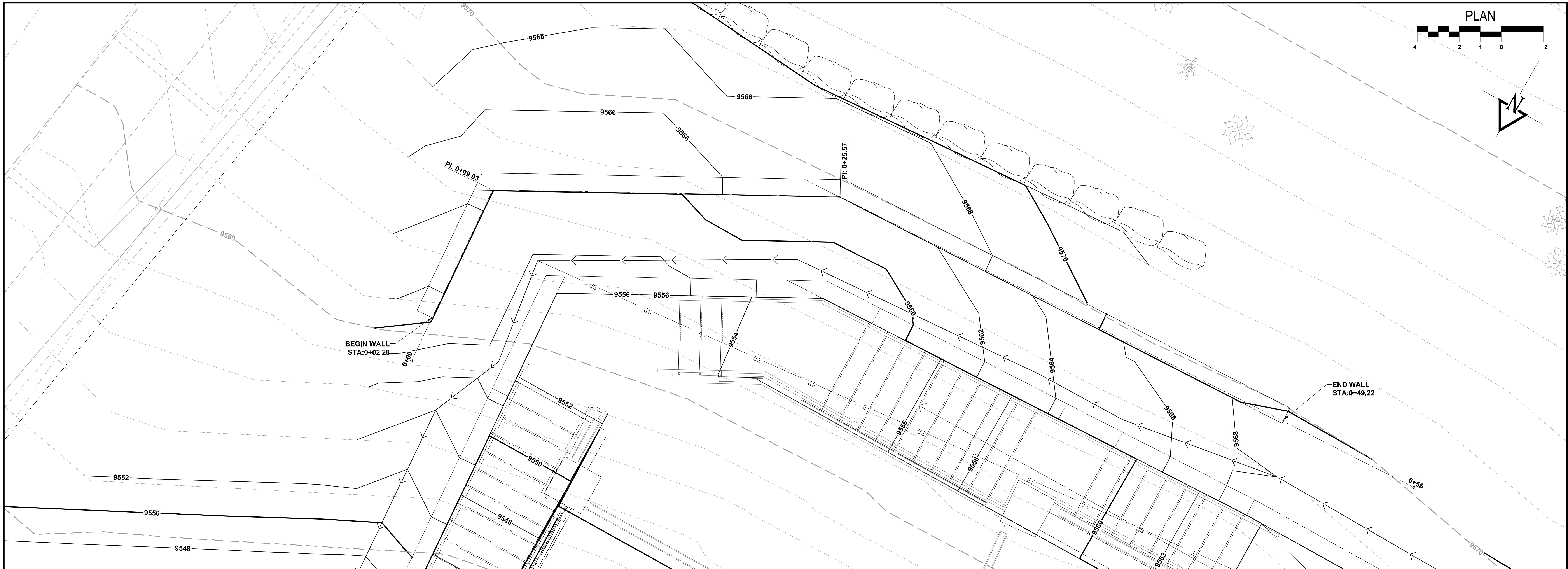


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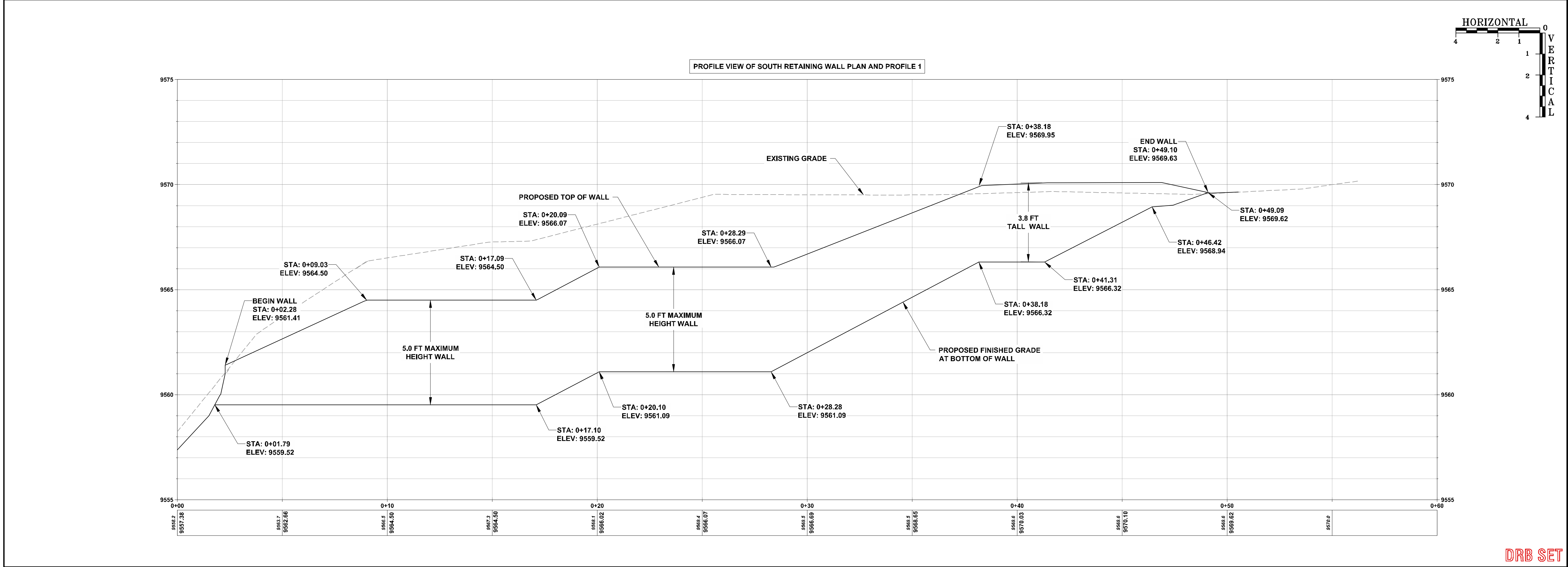
REVISIONS:

TOWN OF MOUNTAIN VILLAGE
 ELKSTONE CONDOMINIUMS LOT 600A
 SOUTH RETAINING WALL PLAN AND PROFILE 1

Short Elliott
 Hendrickson, Inc.
 834 Main Avenue, Unit C
 Durango, Colorado 81301
 Phone: (970) 385-4946
 Fax: (970) 385-4502

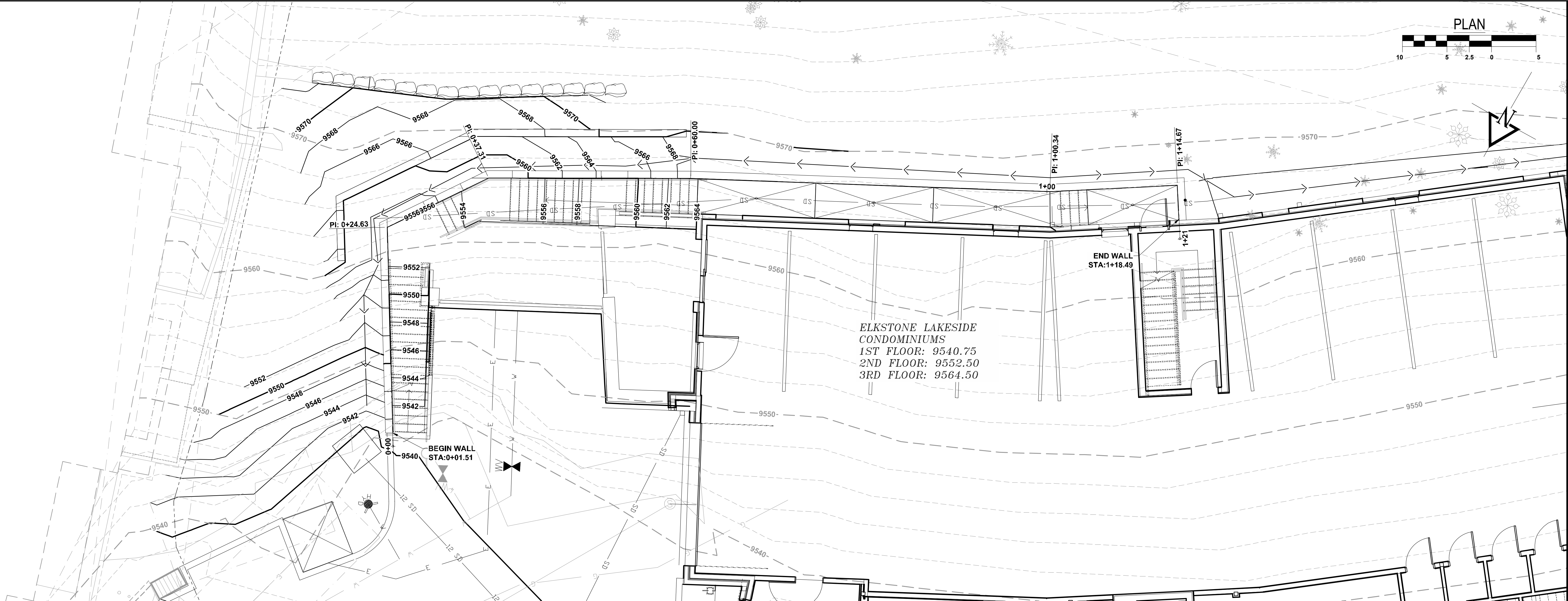
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 C-202



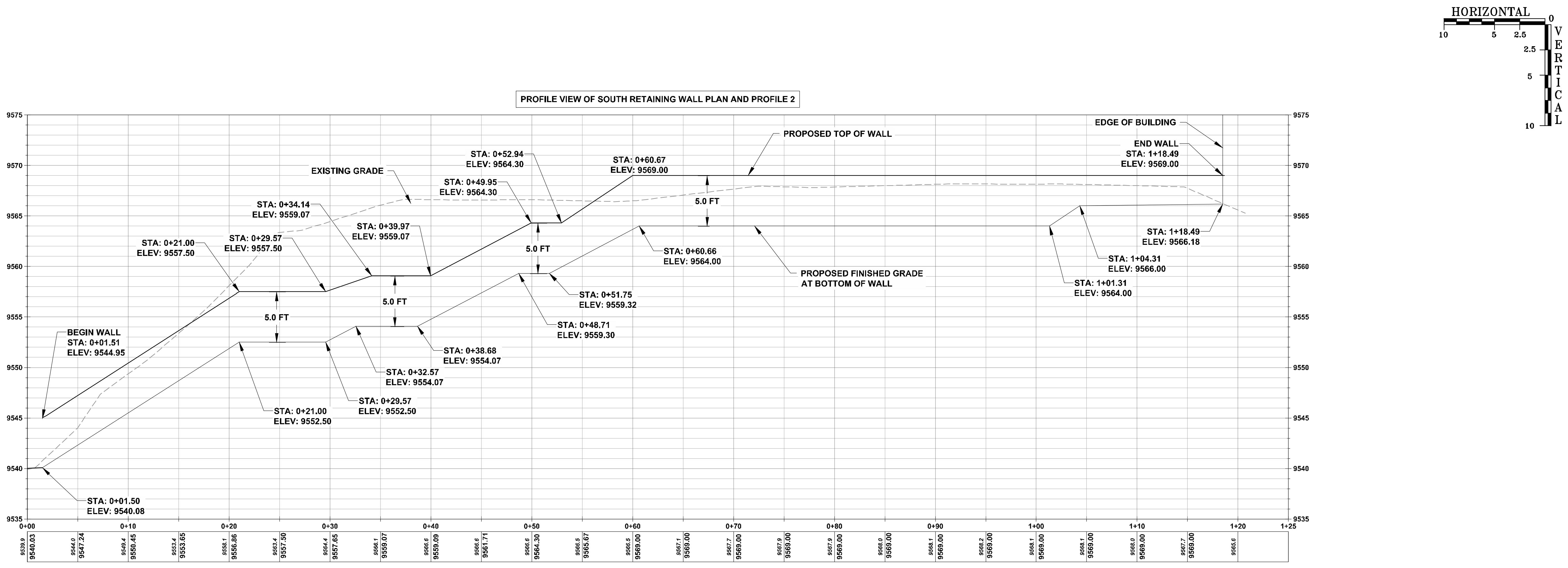
VERTICAL

PROFILE VIEW OF SOUTH RETAINING WALL PLAN AND PROFILE 1



811
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TOWN OF MOUNTAIN VILLAGE
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SOUTH RETAINING WALL PLAN AND PROFILE 2

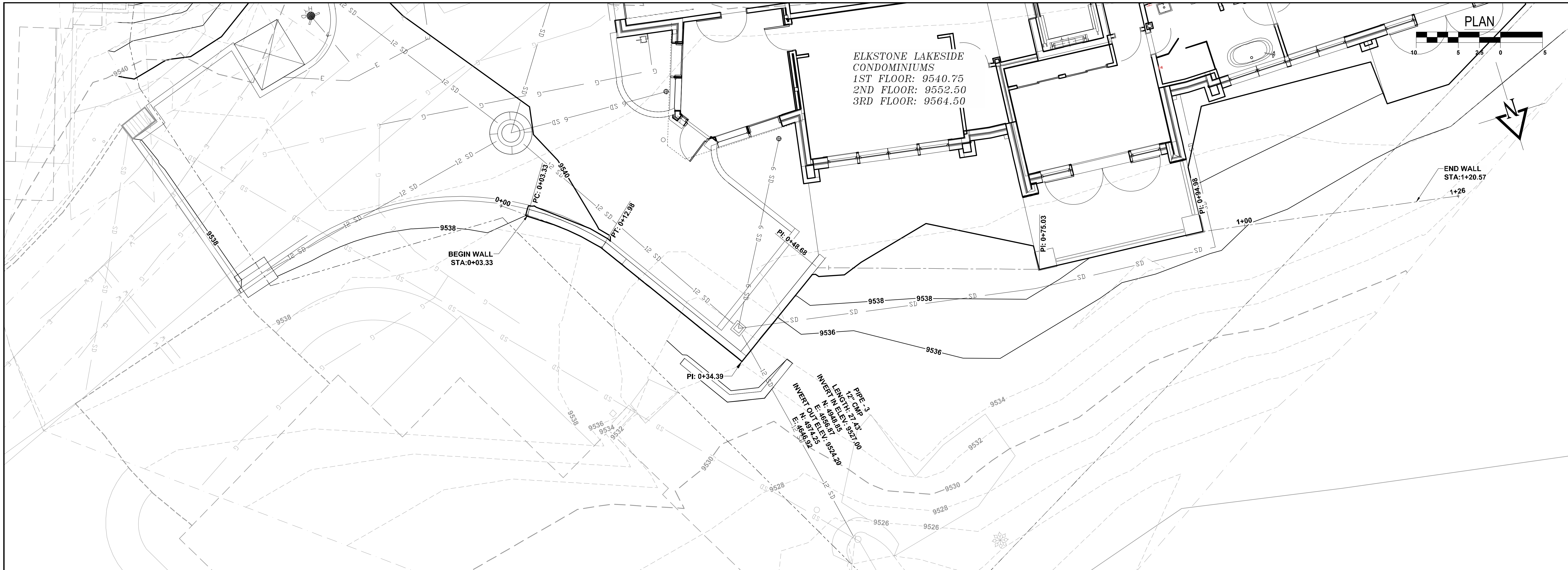
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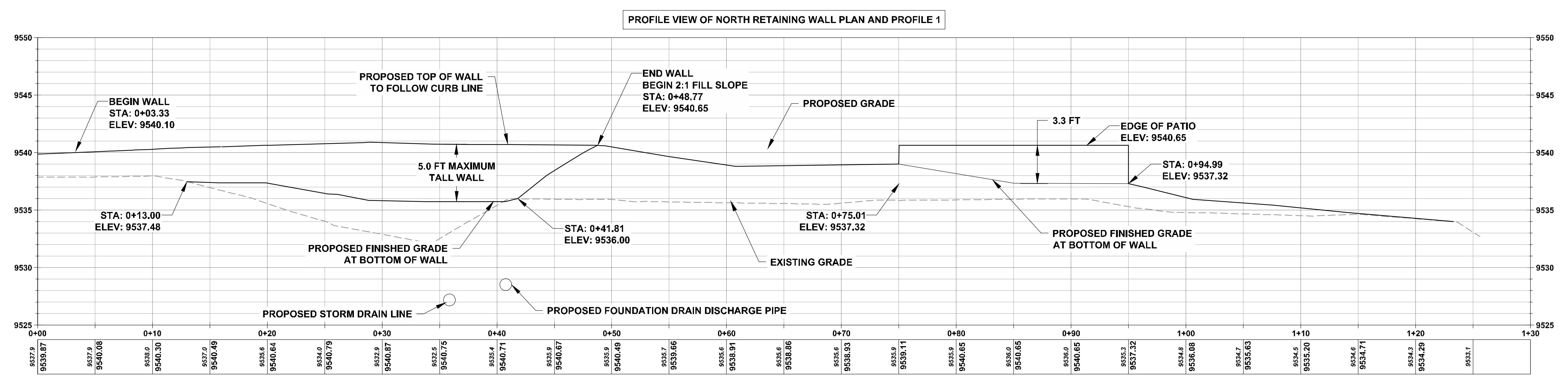
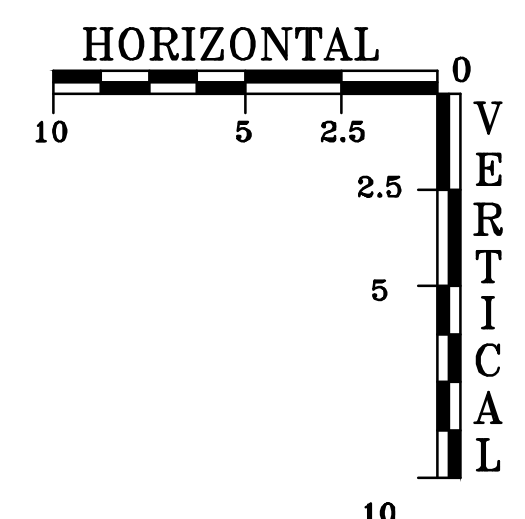
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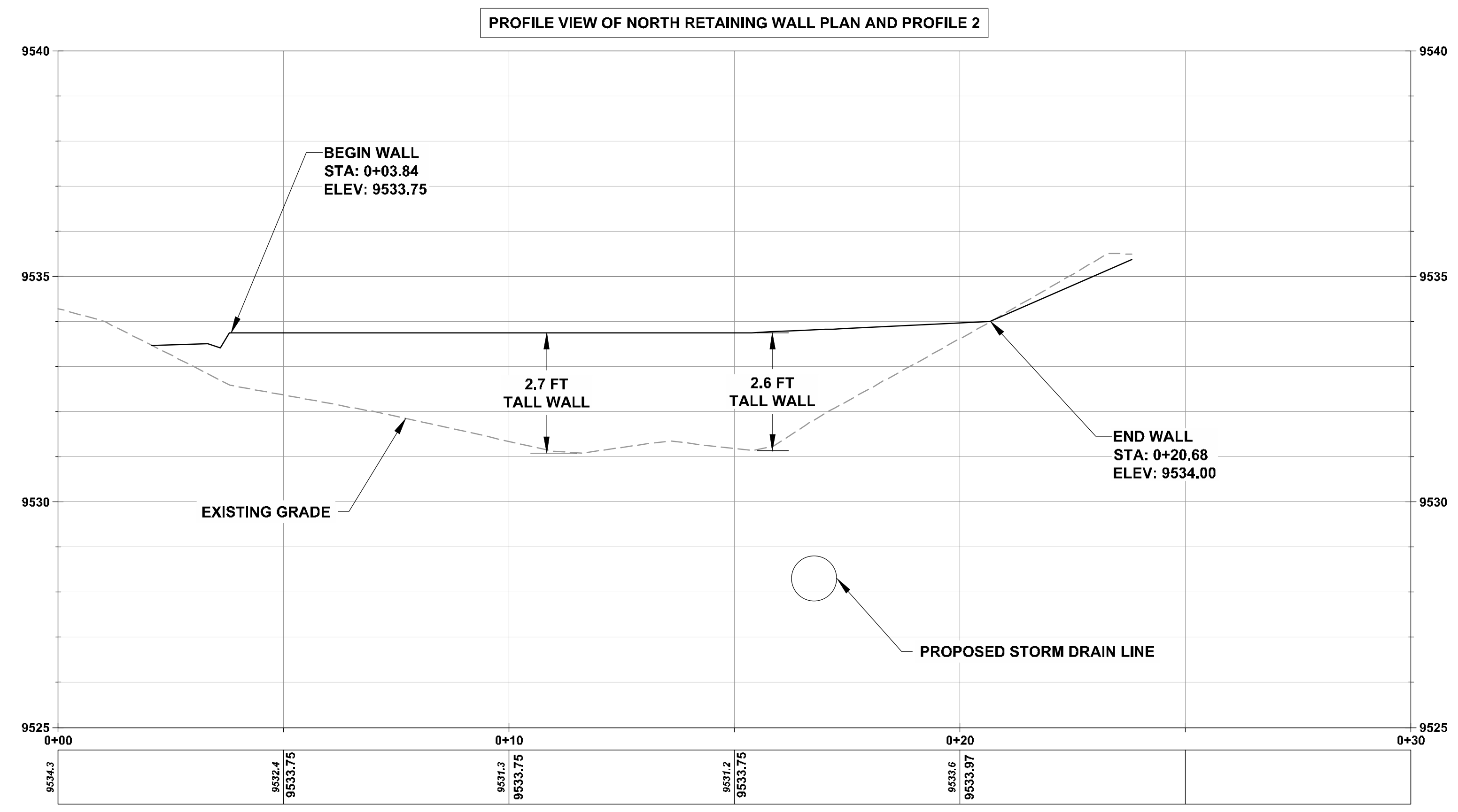
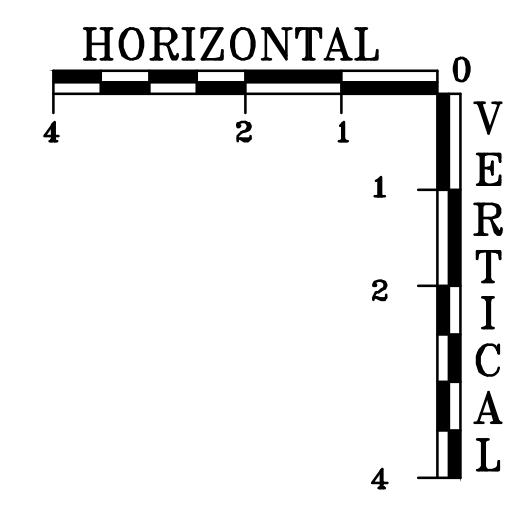
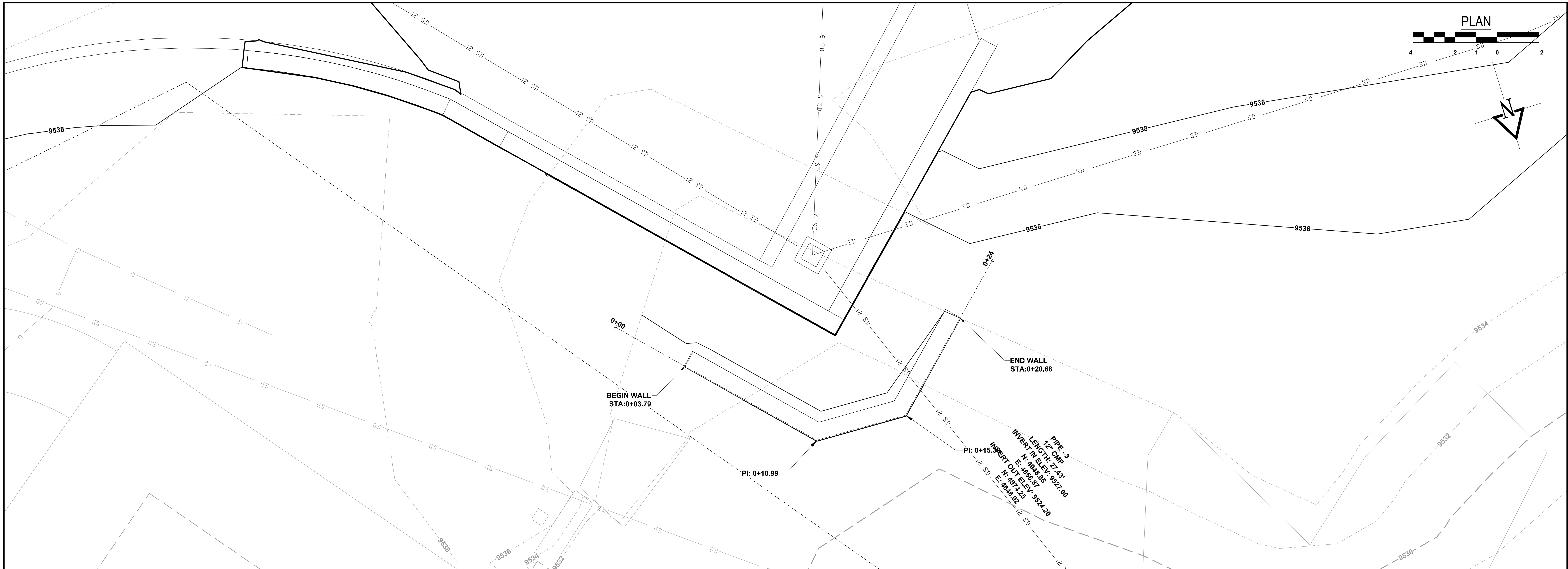
TOWN OF MOUNTAIN VILLAGE
 ELKSTONE CONDOMINIUMS LOT 600A
 NORTH RETAINING WALL PLAN AND PROFILE 1

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REVISIONS:

TOWN OF MOUNTAIN VILLAGE
ELKSTONE CONDOMINIUMS LOT 600A
NORTH RETAINING WALL PLAN AND PROFILE 2

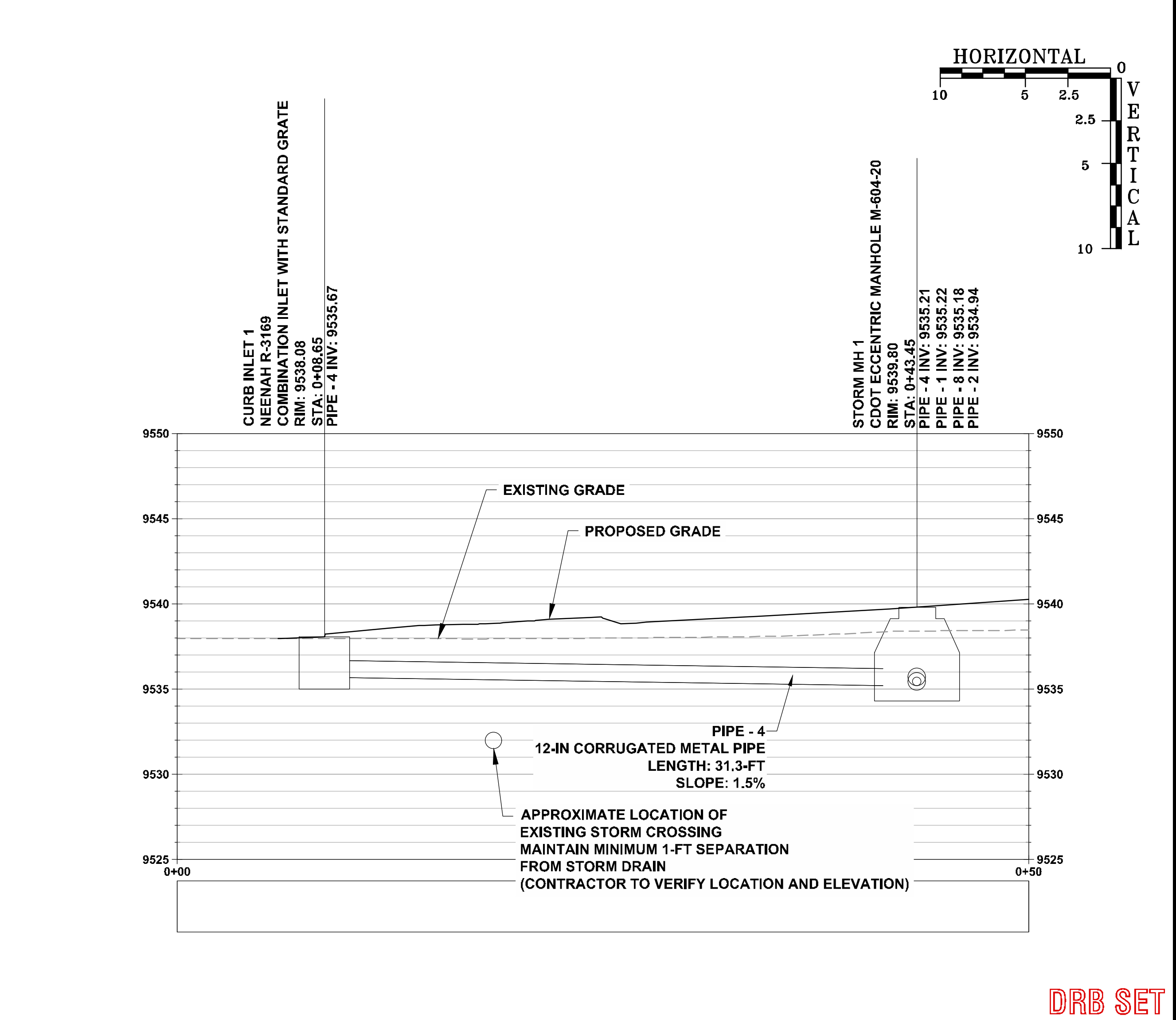
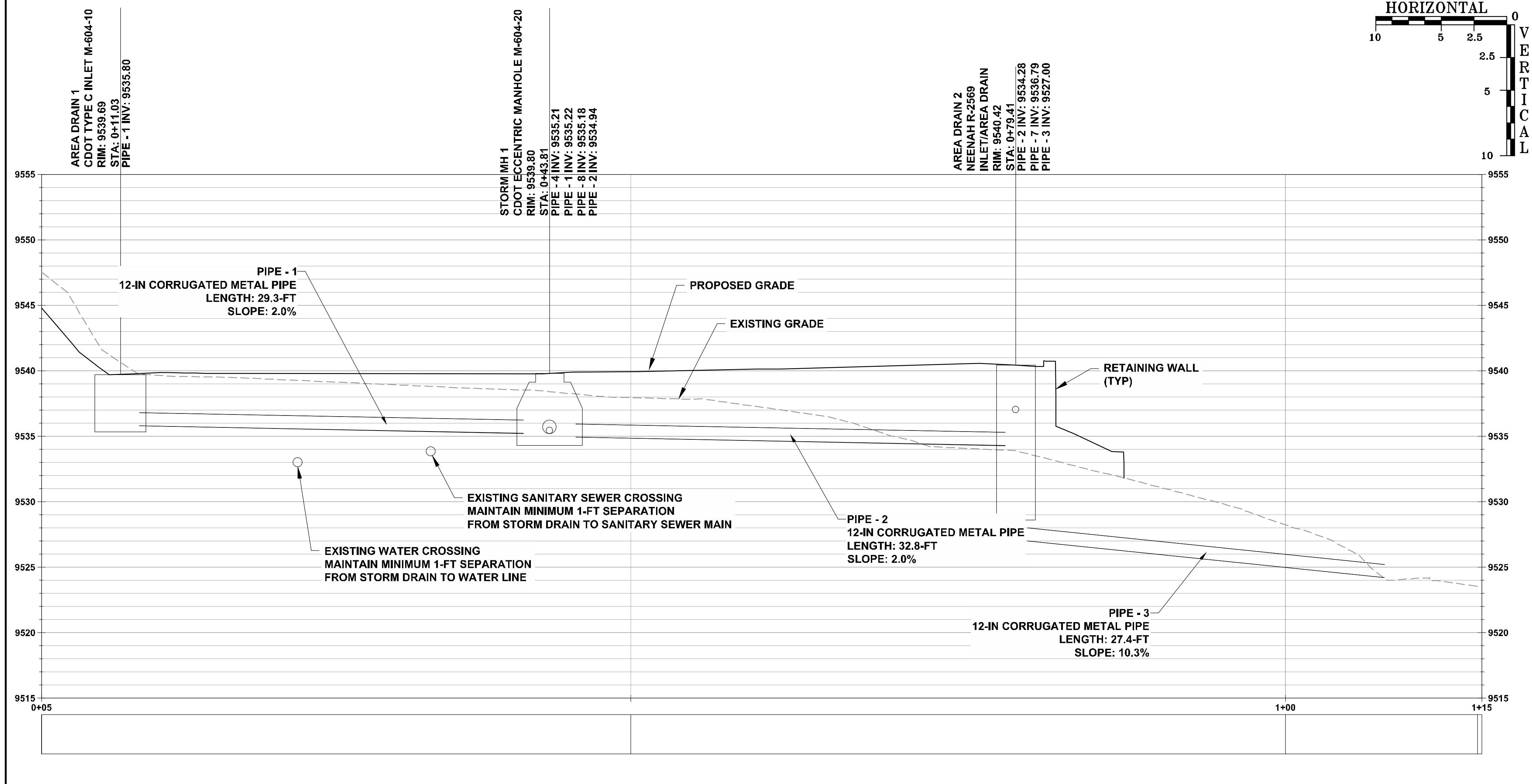
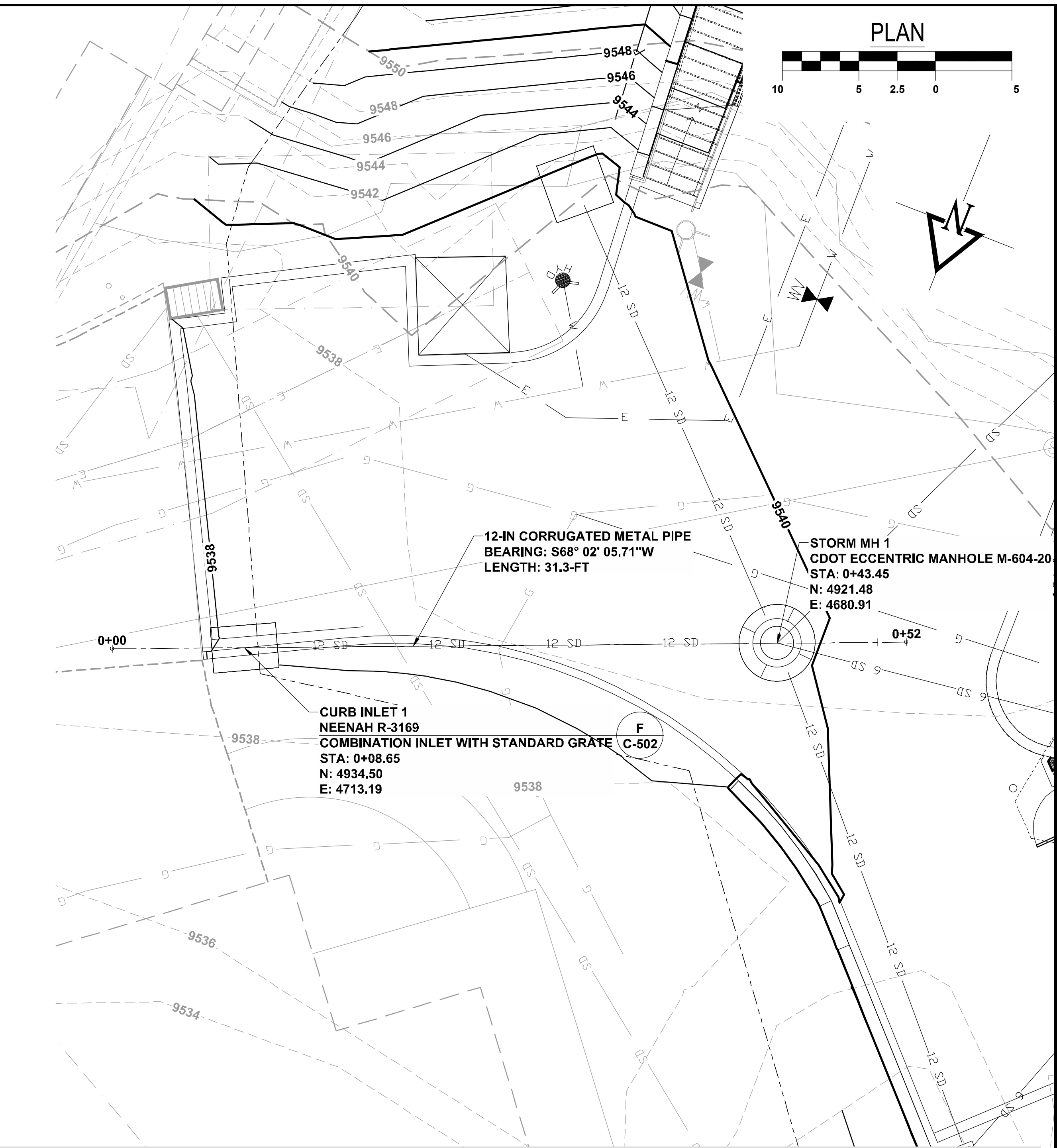
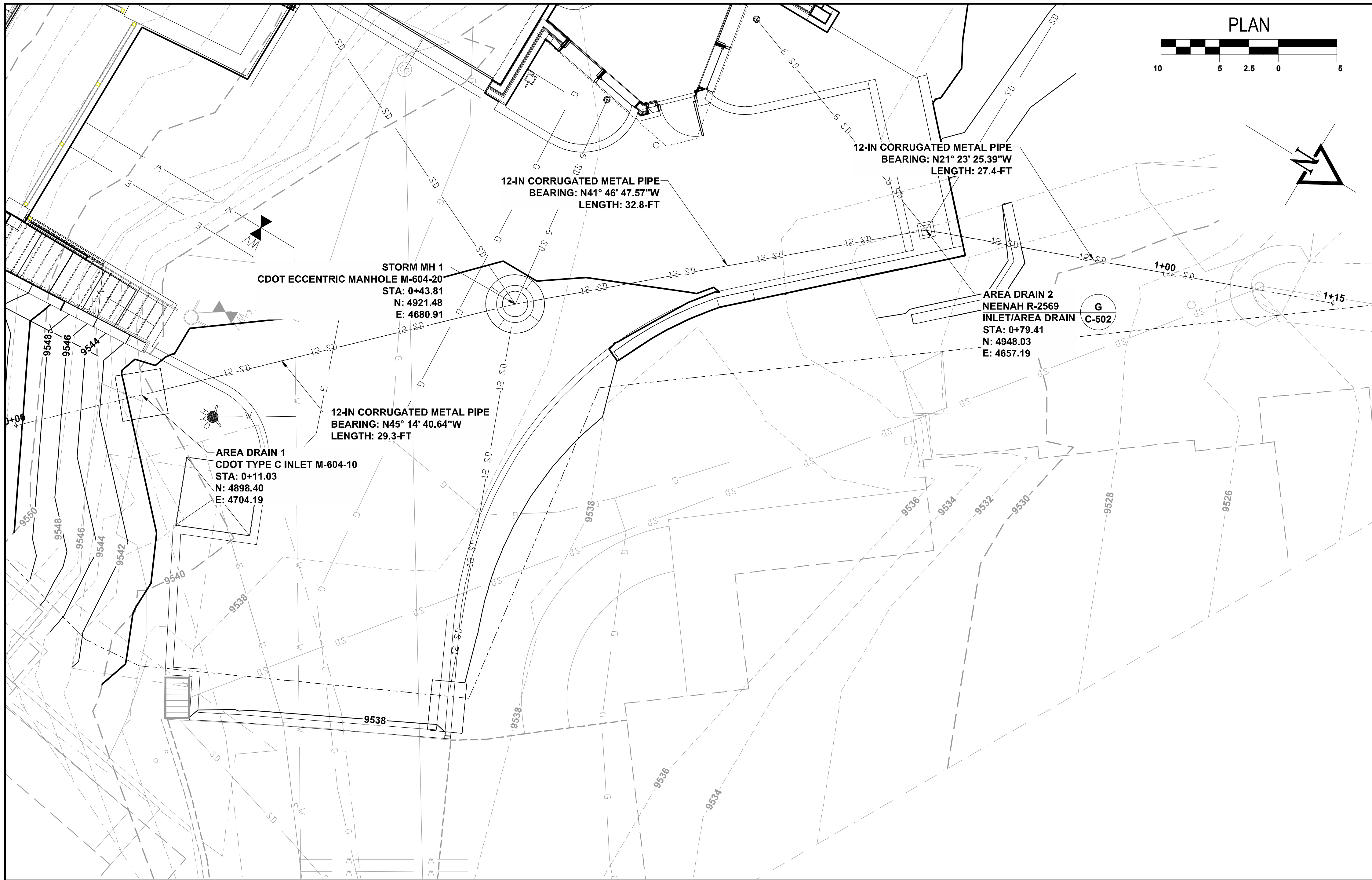
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**TOWN OF MOUNTAIN VILLAGE
ELKSTONE CONDOMINIUMS LOT 600A
STORM DRAIN PLAN AND PROFILE**

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Fax: (970) 385-4502



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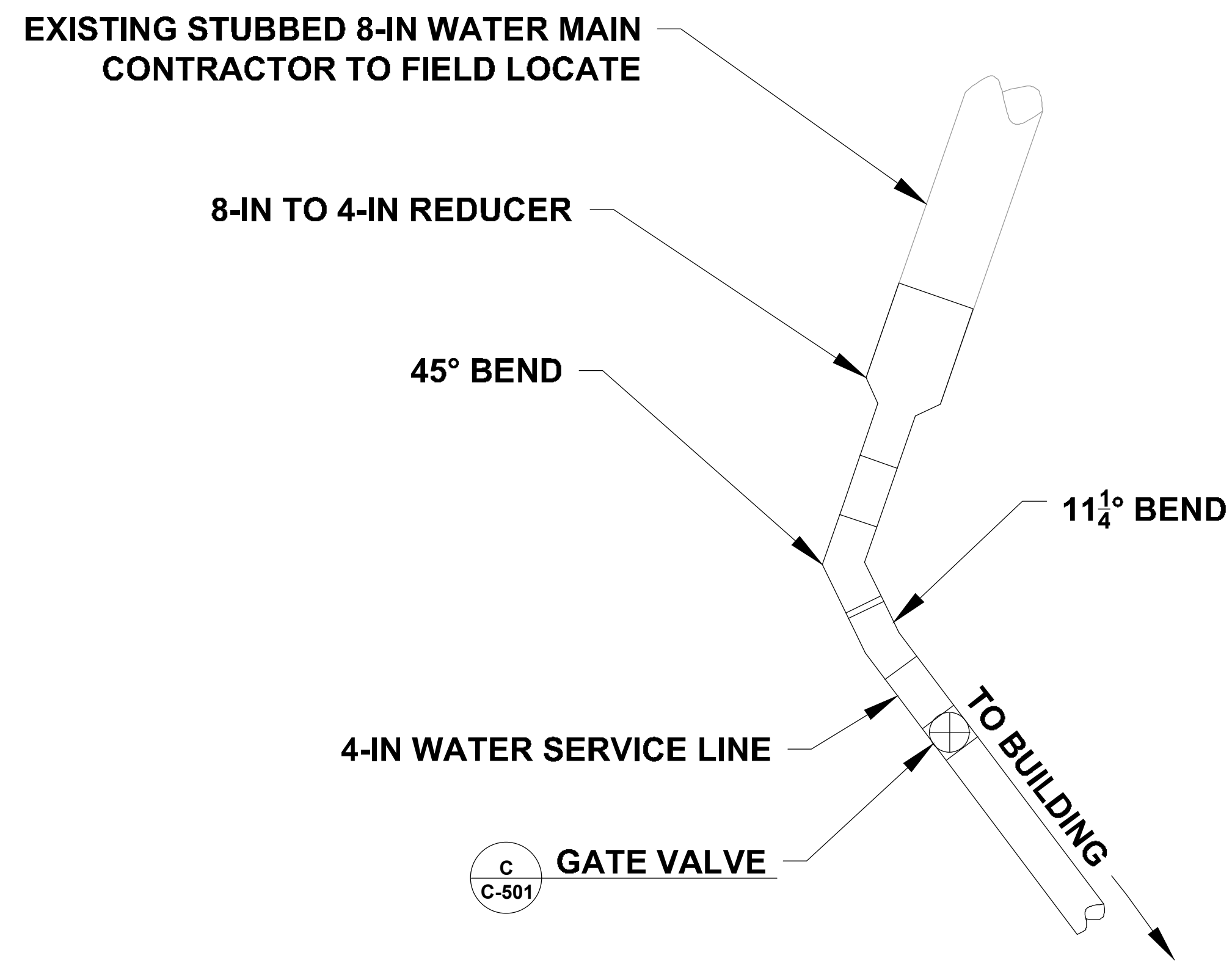
17 OF 20

C-206

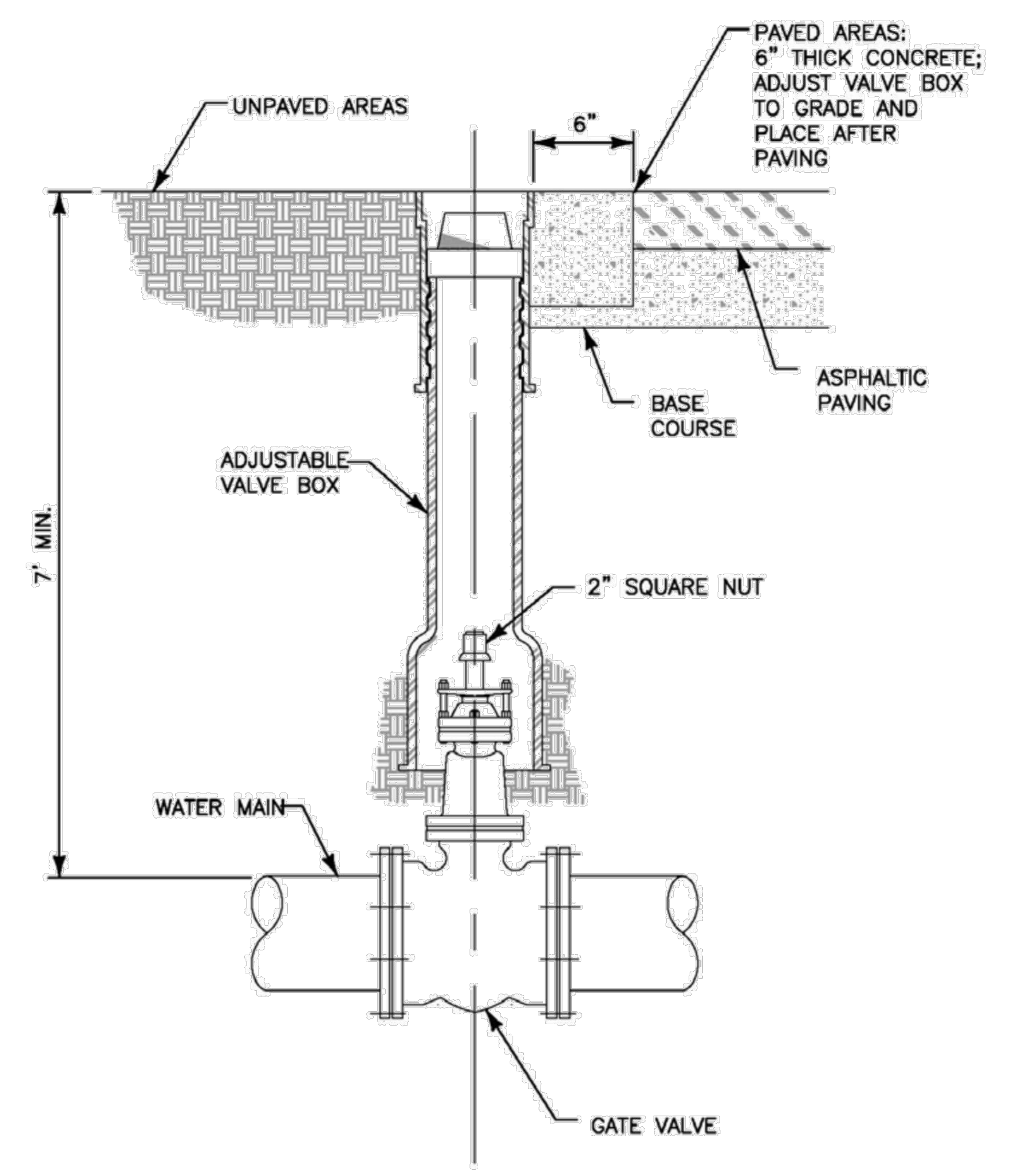
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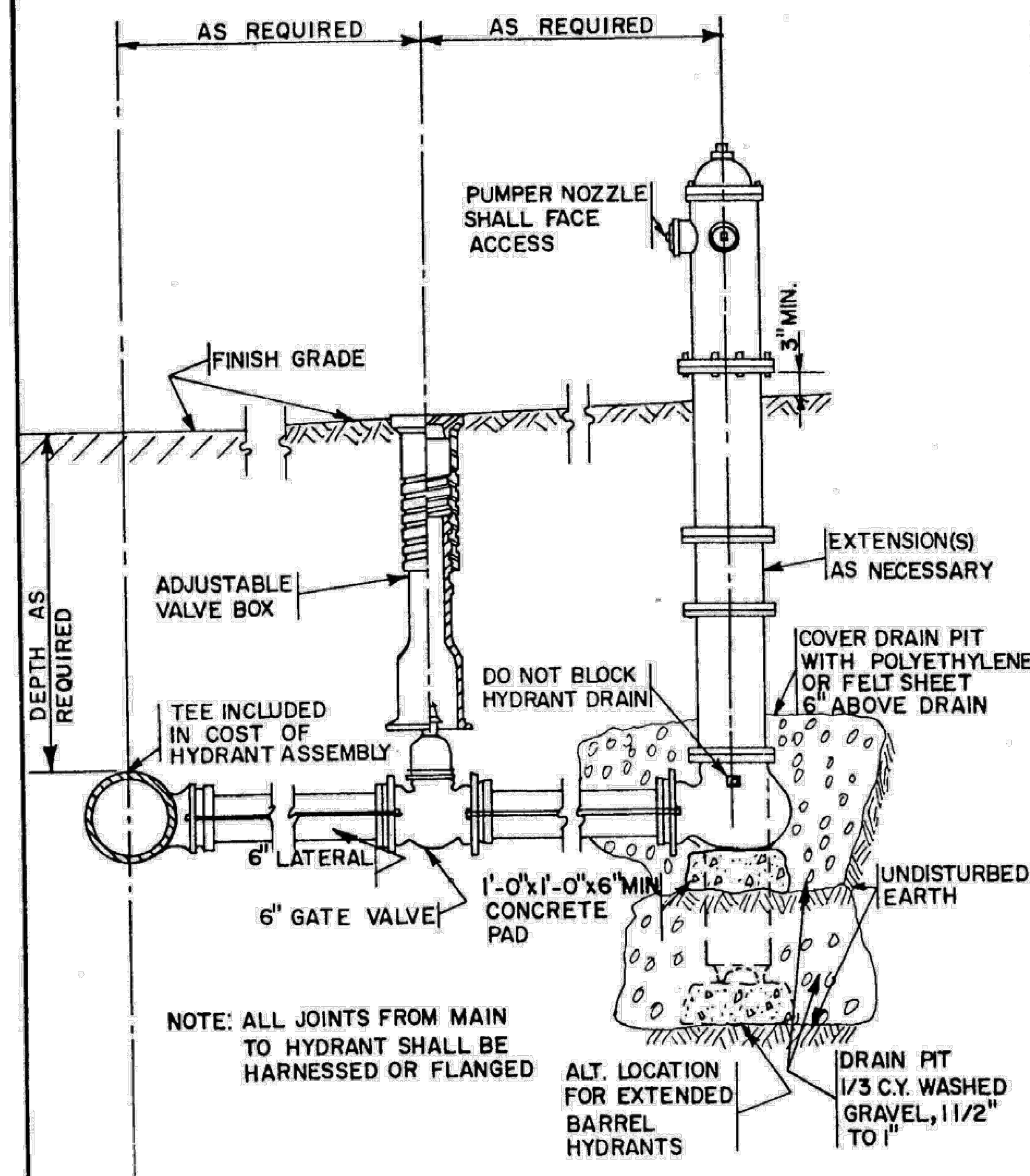


A WATER SERVICE TIE-IN DETAIL
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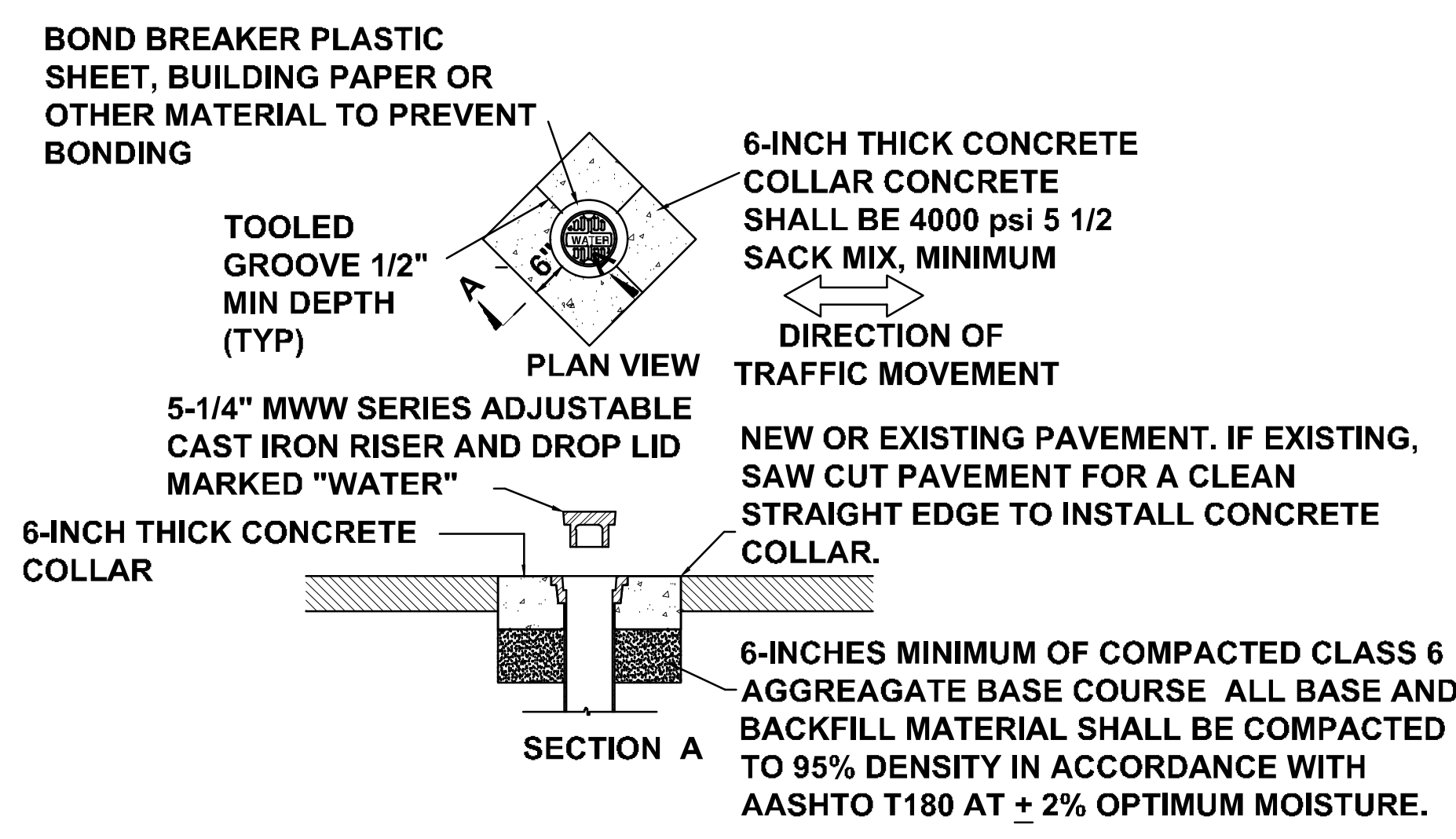


C GATE VALVE DETAIL
N.T.S.

NOTE: SEE DRAWINGS FOR HYDRANT LOCATION

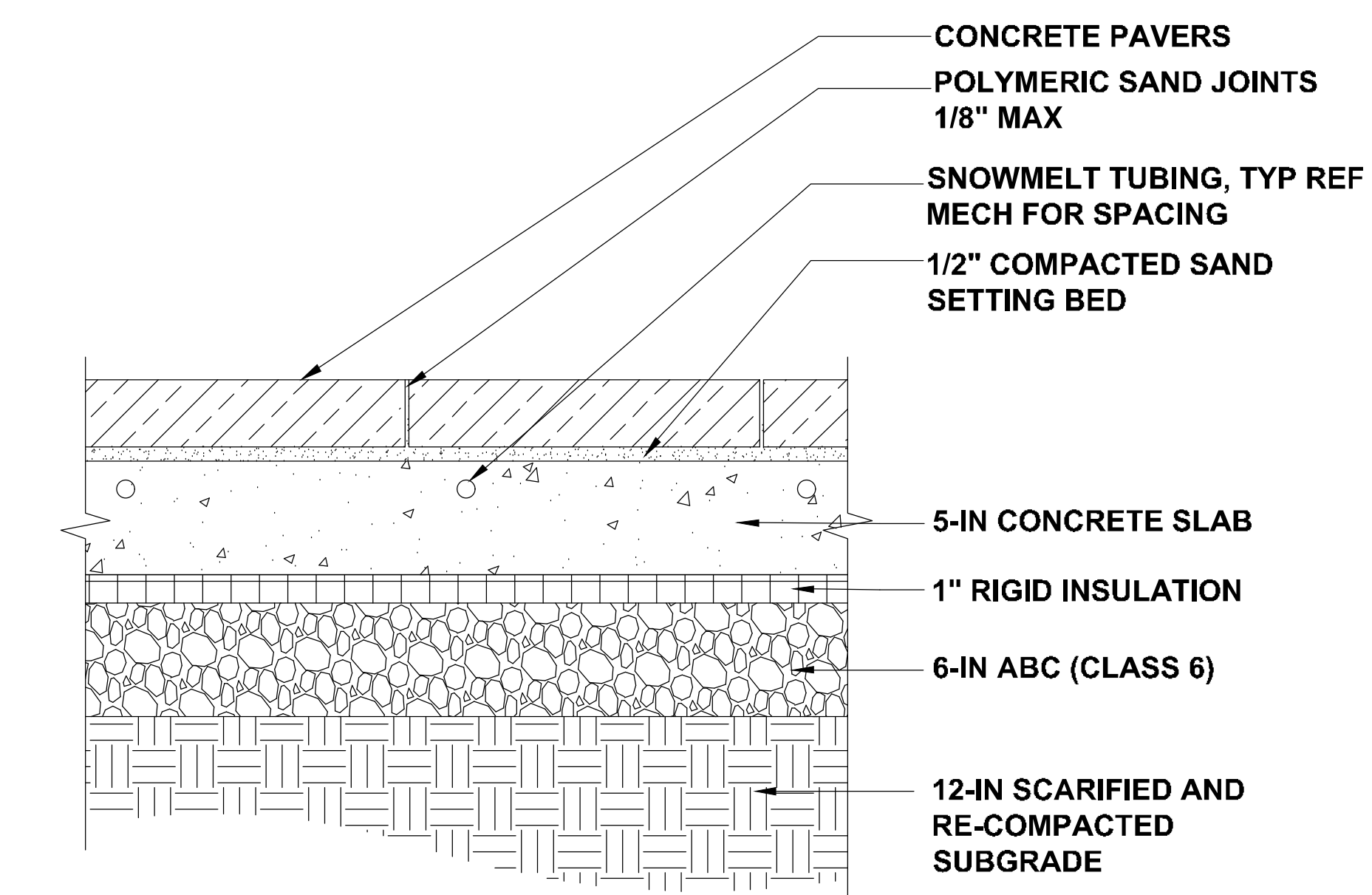


B FIRE HYDRANT ASSEMBLY DETAIL
N.T.S.



- NOTES:
- ALL VERTICAL BENDS SHALL BE THRUST BLOCKED
 - ALL HORIZONTAL BENDS 45° AND SHARPER SHALL BE THRUST BLOCKED

D CONCRETE VALVE COLLAR DETAIL
N.T.S.



E TYPICAL PAVERS SECTION
N.T.S.

REVISIONS:

TOWN OF MOUNTAIN VILLAGE
ELKSTONE CONDOMINIUMS LOT 600A
TYPICAL DETAILS 1

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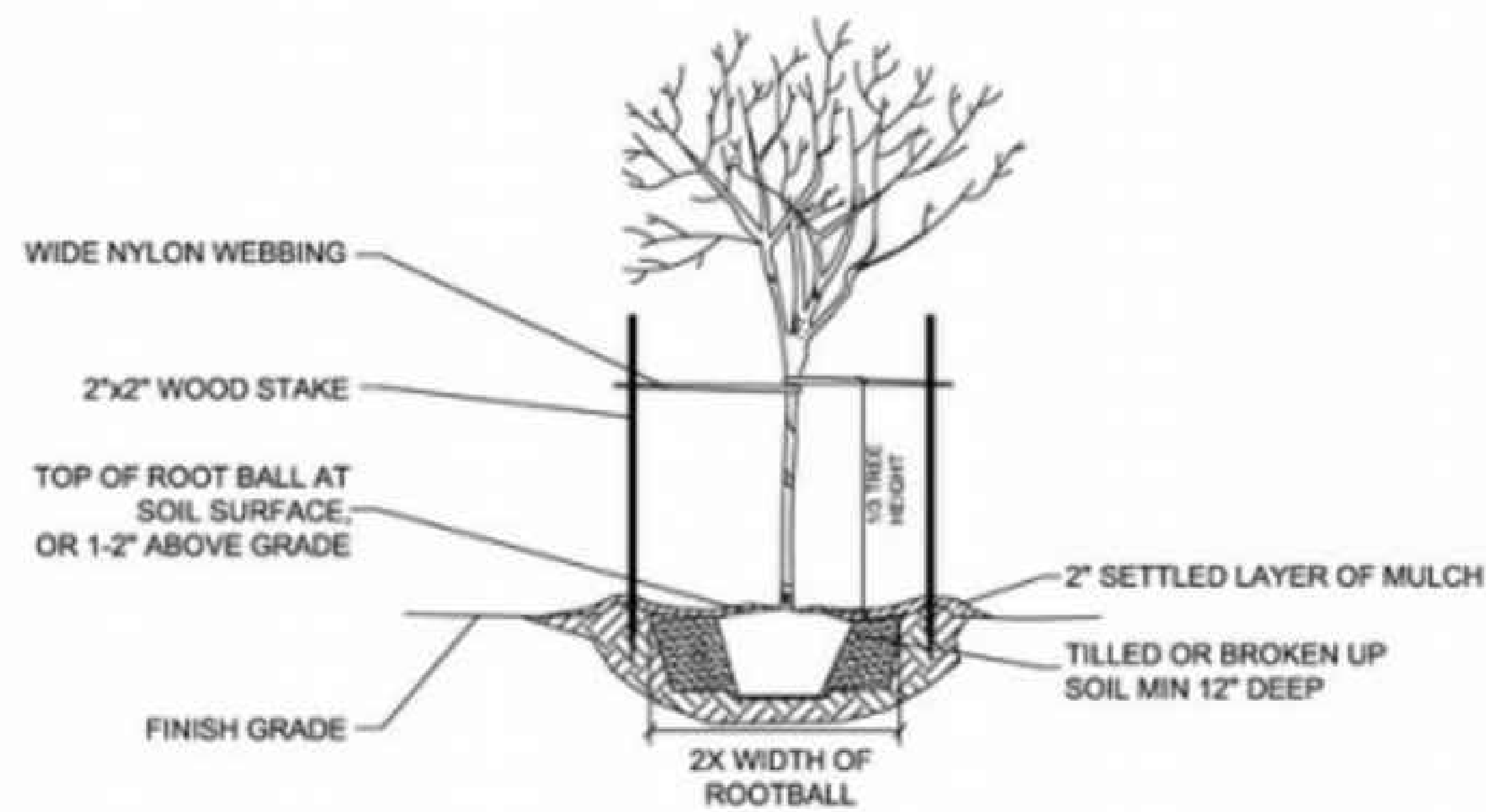
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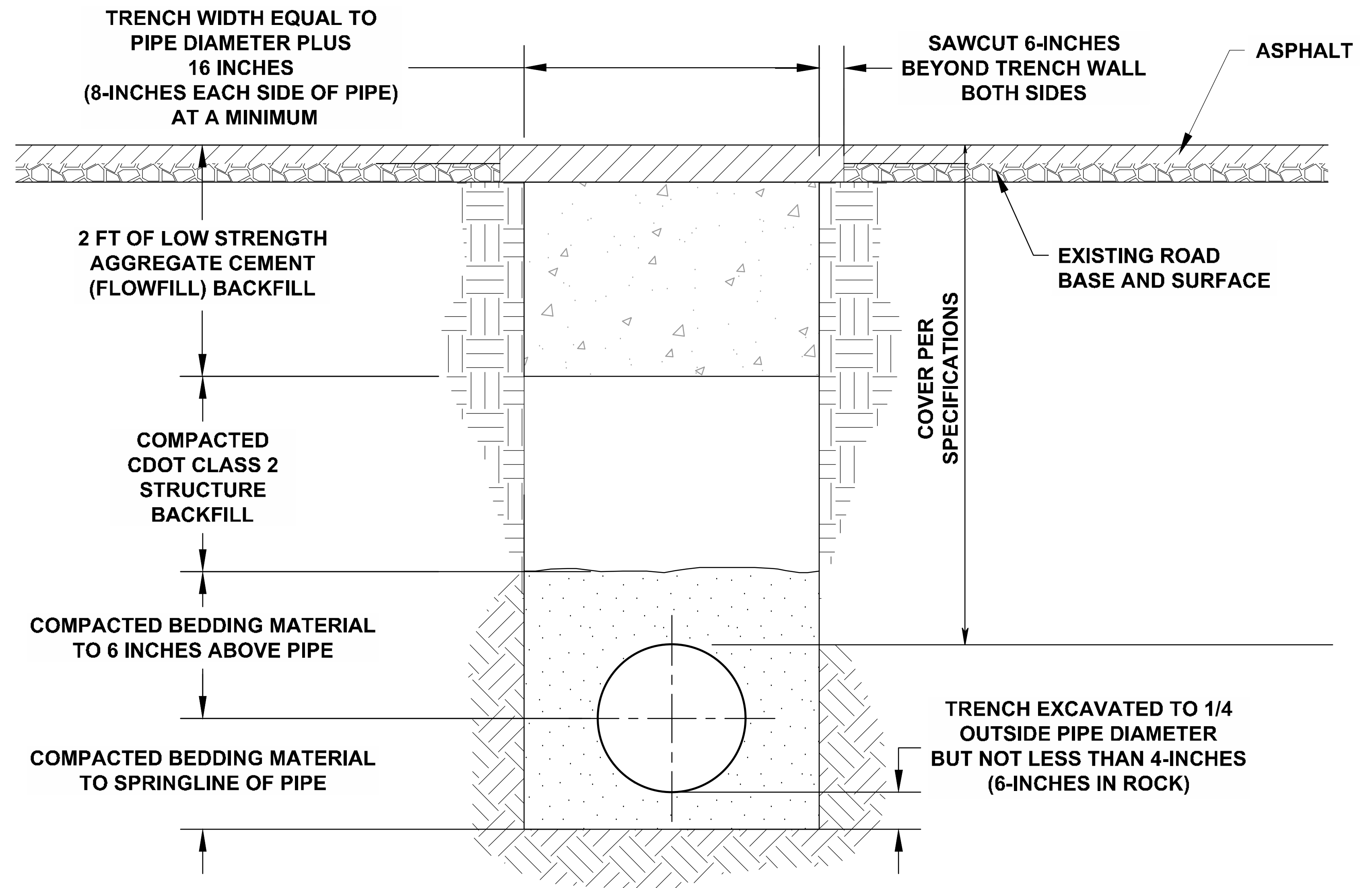
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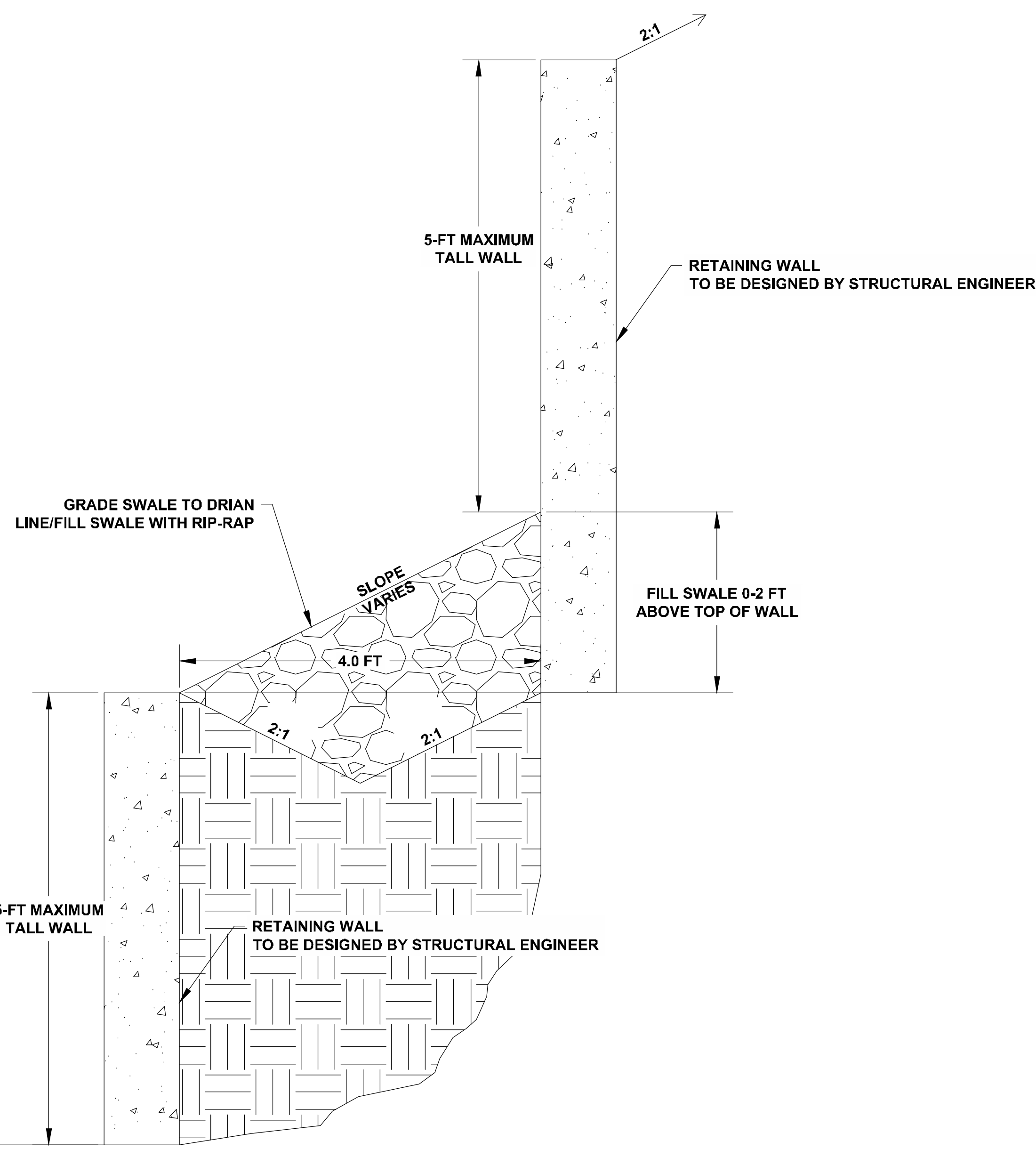
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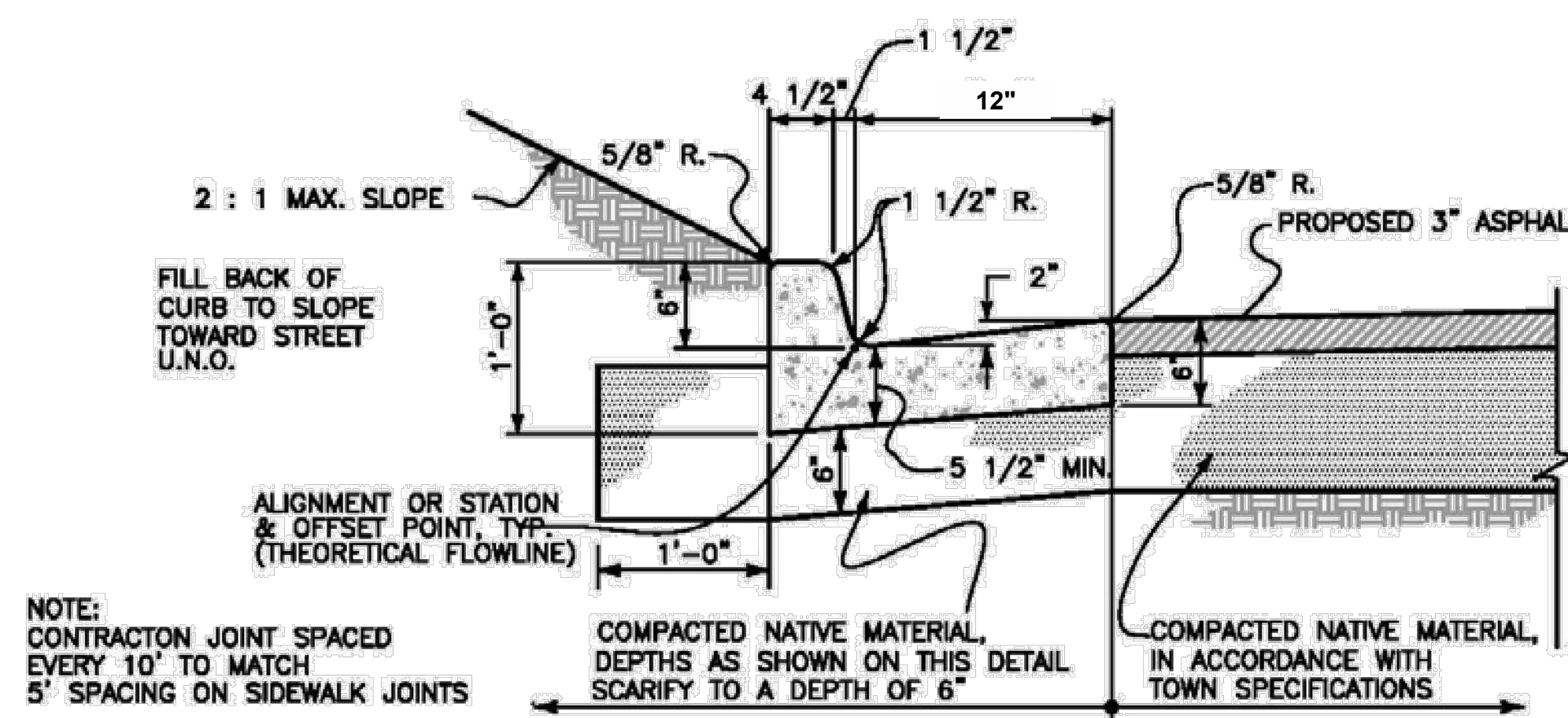
A TREE PROTECTION DETAIL
C-502 N.T.S



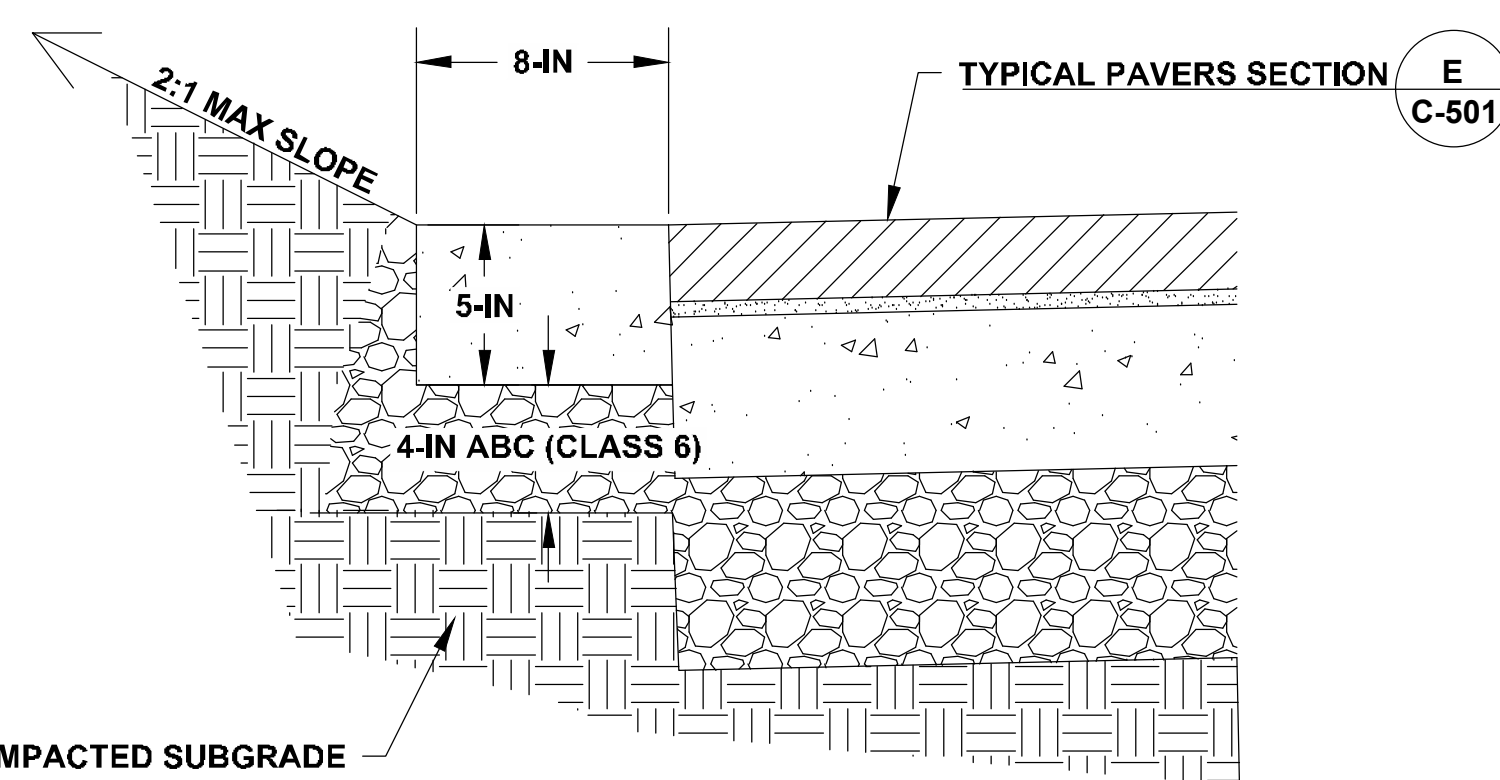
B PIPE TRENCH AND BEDDING DETAIL
C-502 N.T.S



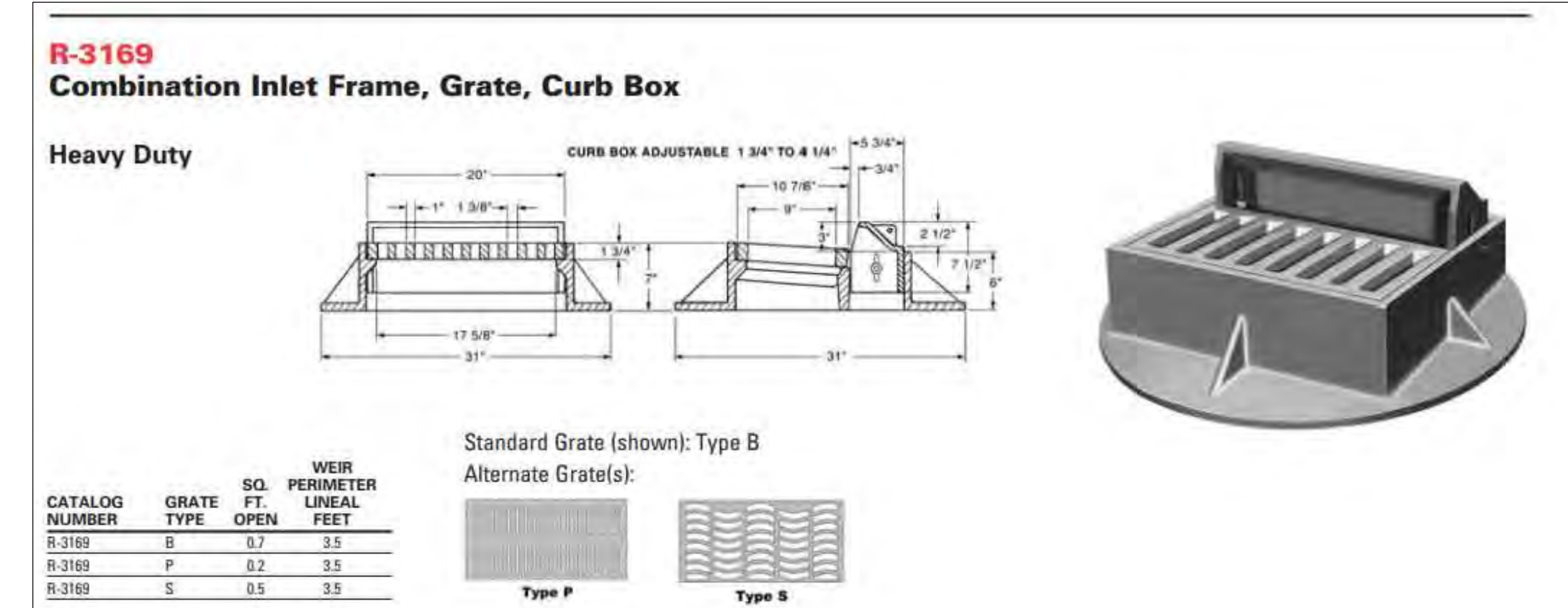
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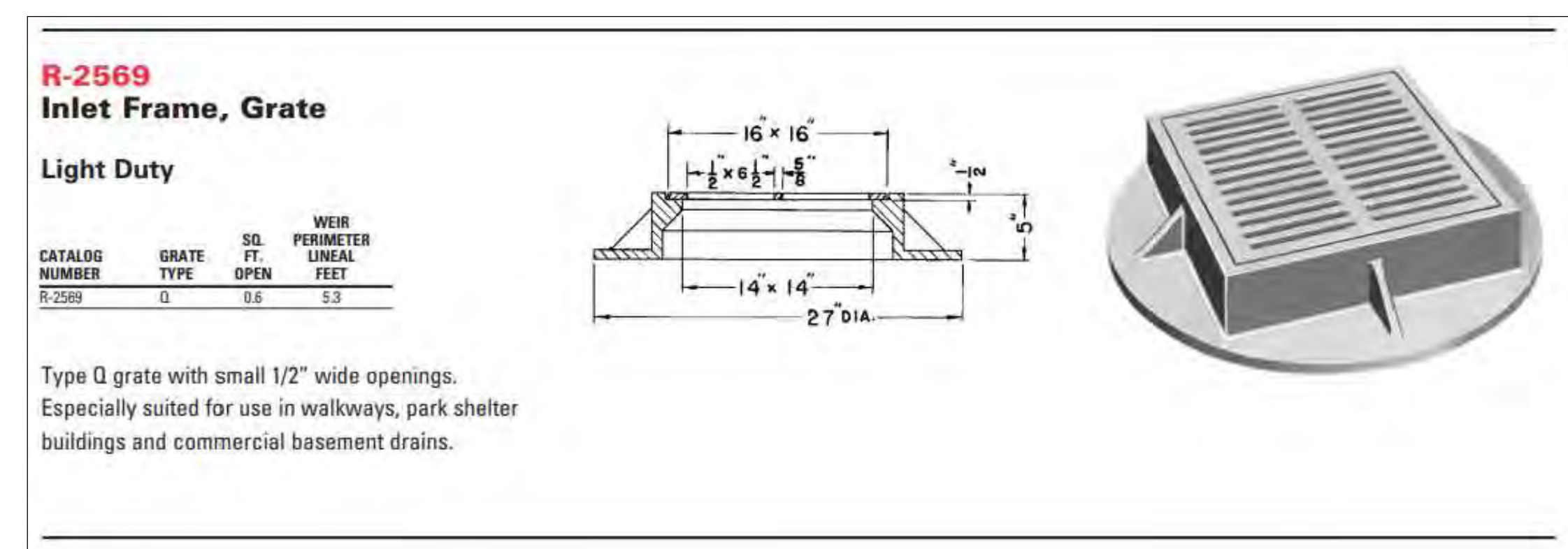
C CURB AND GUTTER DETAIL
C-502 N.T.S



E RIBBON CURB DETAIL
C-502 N.T.S



F NEENAH R-3169 COMBINATION INLET
C-502 N.T.S



G NEENAH R-2569 INLET/AREA DRAIN
C-502 N.T.S

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TYPICAL DETAILS 2

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Fax: (970) 385-4502



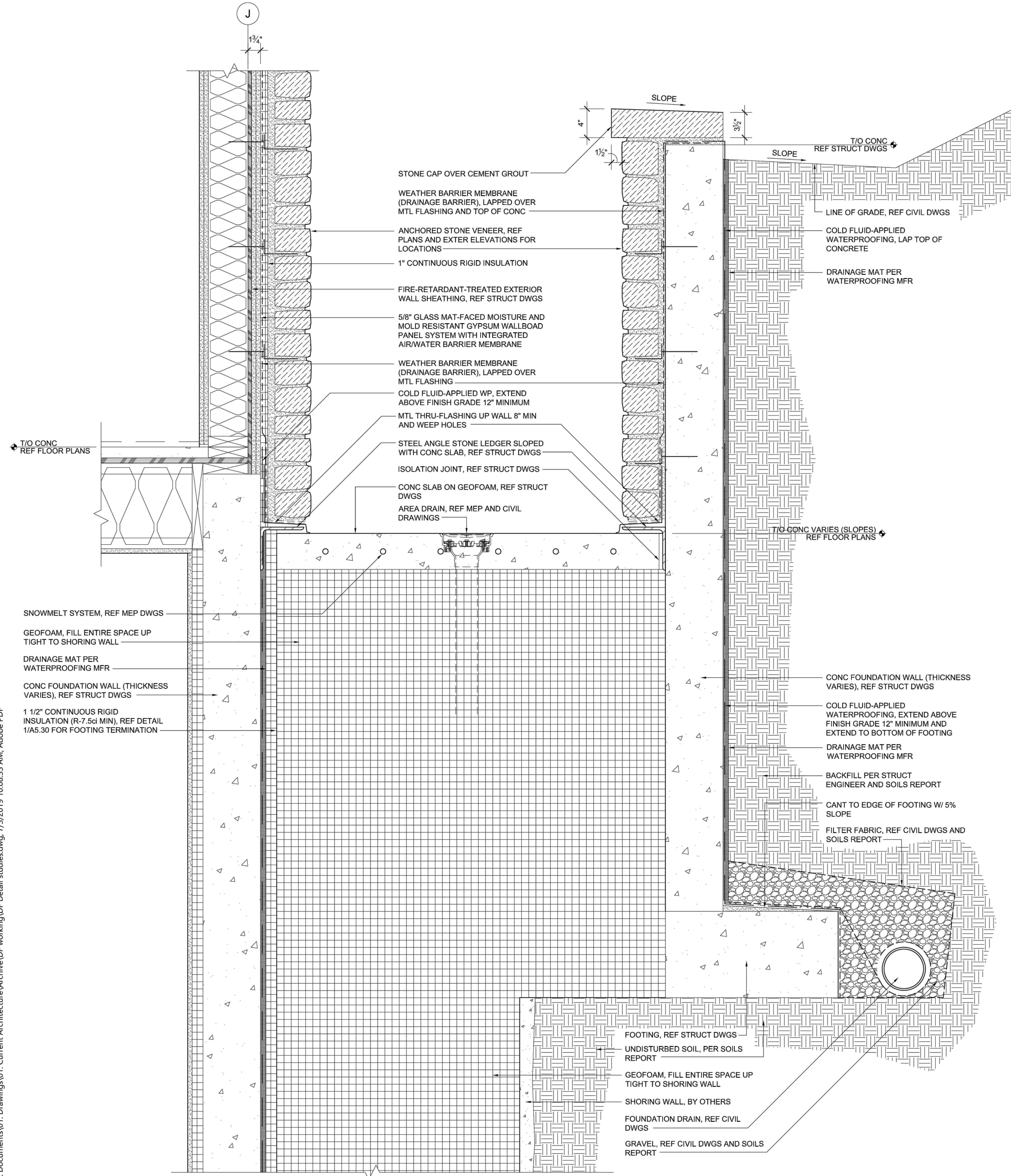
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06/18/2020

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Current Documents\01_Drawings\01_Current Architecture\Archive\DF_working\DF_Detail_studies.dwg, 7/3/2019 10:08:33 AM, Adobe PDF



A
C-503 **RETAINING WALL DETAIL**
N.T.S.

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ELKSTONE CONDOMINIUMS LOT 600A
TYPICAL DETAILS 3

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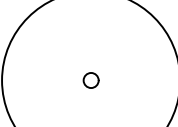


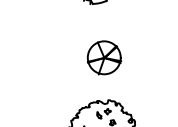
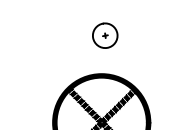
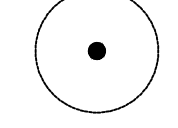




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C-503

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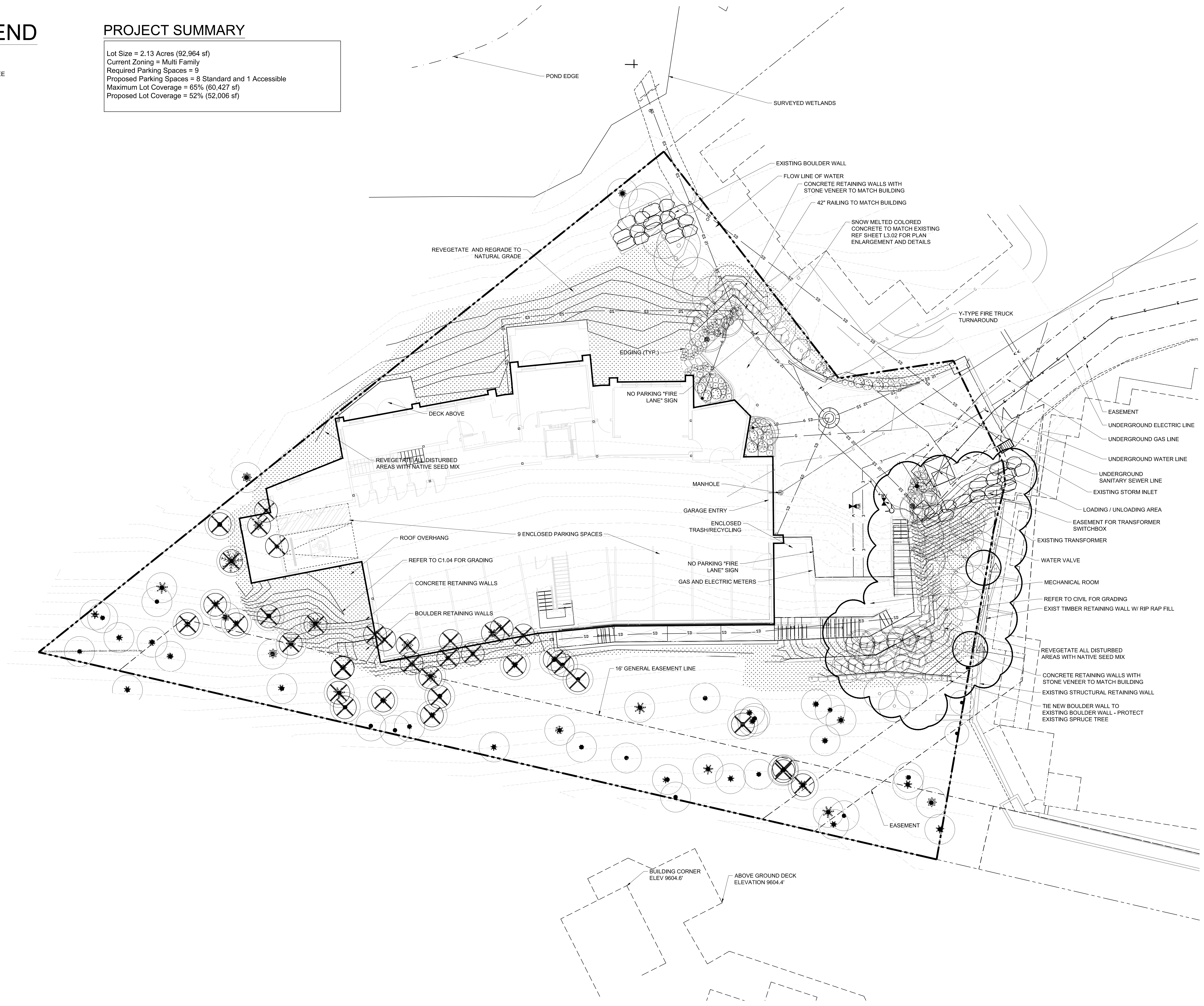
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SYMBOL LEGEND

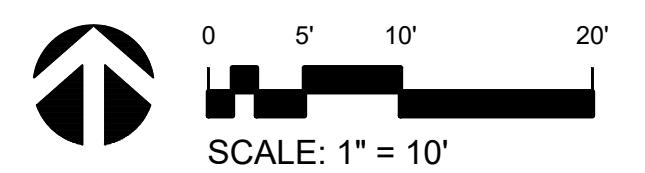
-  SINGLE STEM DECIDUOUS TREE
-  ORNAMENTAL TREE
-  LARGE SHRUB
-  MEDIUM SHRUB
-  ORNAMENTAL GRASS
-  LARGE ORNAMENTAL GRASS
-  PERENNIALS
-  EXISTING TREE DEMO
-  EXISTING TREE TO REMAIN
-  BOLLARD LIGHT

PROJECT SUMMARY

Lot Size = 2.13 Acres (92,964 sf)
 Current Zoning = Multi Family
 Required Parking Spaces = 9
 Maximum Lot Coverage = 65% (60,427 sf)
 Proposed Lot Coverage = 52% (52,006 sf)



1 SITE PLAN
 L1.01 SCALE: 1" = 10'-0"



ZEHREN AND ASSOCIATES, INC.
 ARCHITECTURE - PLANNING - INTERIORS
 LANDSCAPE ARCHITECTURE
 101 El Paseo
 Santa Barbara, California 93101
 (805) 963-6890 FAX (805) 963-8102

CIVIL
 Russell Engineering
 STRUCTURAL
 Martin-Martin
 970.385.4546
 AEC Consulting Engineers
 970.926.6007

970.748.8520
 AEC Consulting Engineers
 970.748.8520

SEAL

REFLECTIONS AT ELK LAKE

TELLURIDE MOUNTAIN VILLAGE, CO
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ISSUED FOR:

No.	DATE	COMMENT
A	01/23/2018	PLANNING & ZONING
B	02/15/2019	DESIGN REVIEW
C	03/06/2019	DESIGN REVIEW REV
D	06/06/2019	DESIGN DEV
E	07/11/2019	50% CDS
F	09/12/2019	PERMIT SET
G	06/18/2020	DESIGN REVIEW
H	12/09/2020	PERMIT REISSUE
J	07/22/2021	FINAL DESIGN REVIEW

KEY PLAN

SITE PLAN

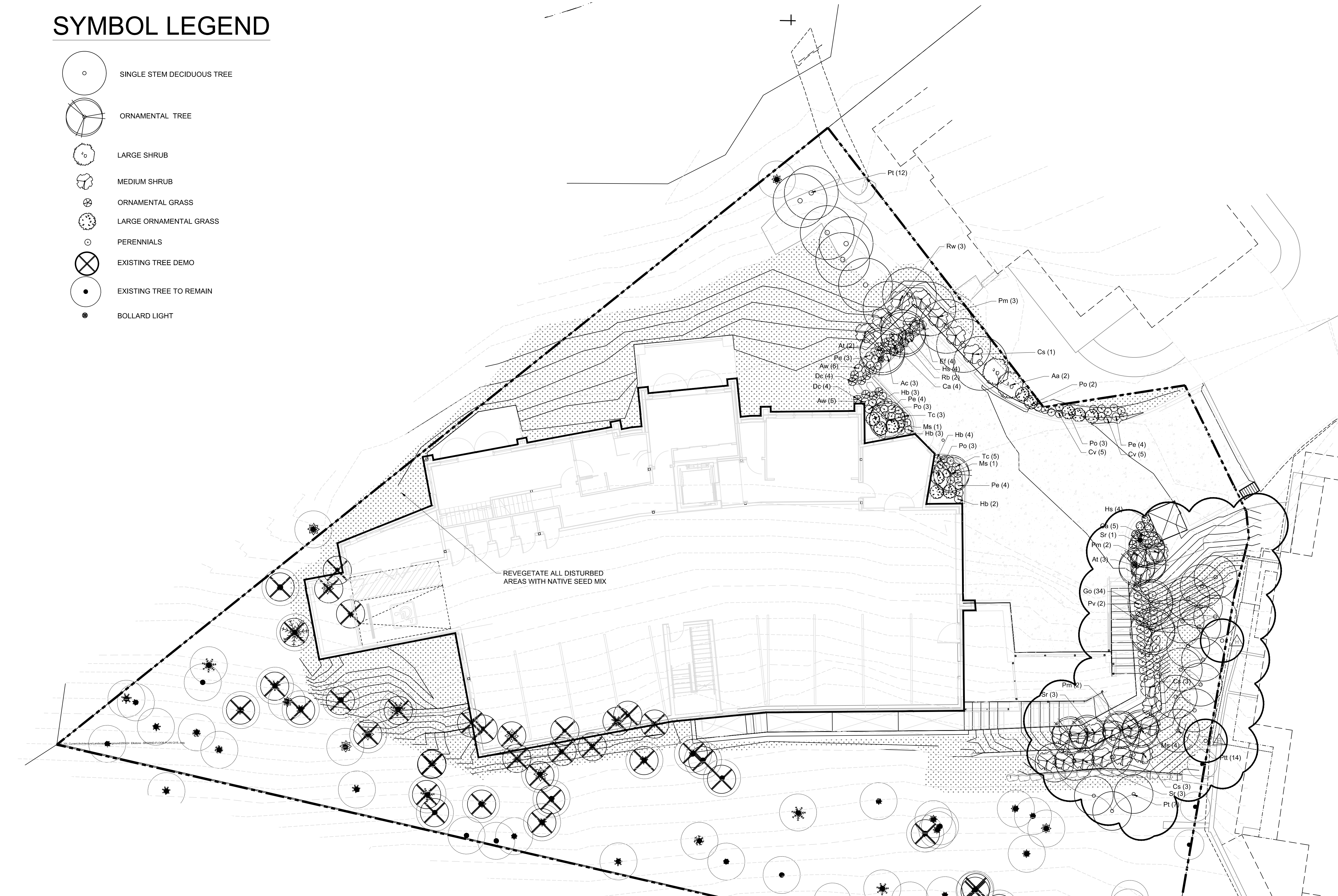
PROJECT No.	ORIGIN DATE
20182606.00	11/02/2018
DRAWN BY	CHK BY
TH	PC
TRV BY	

SHEET No.
L1.01
 SCALE: AS SHOWN

Z:\2018\182606\W_Current Documents\04_Plot Sheets\L1.01.dwg, 7/22/2021 12:40:54 PM, DWG To PDF.pc3

SYMBOL LEGEND

- SINGLE STEM DECIDUOUS TREE
- ORNAMENTAL TREE
- LARGE SHRUB
- MEDIUM SHRUB
- ORNAMENTAL GRASS
- LARGE ORNAMENTAL GRASS
- PERENNIALS
- EXISTING TREE DEMO
- EXISTING TREE TO REMAIN
- BOLLARD LIGHT



PLANT LIST

Symbol	Key	Botanical	Common Name	QTY	Size	Spacing	Notes
	At	<i>Acer latianum</i> <i>Ginkgo 'HOT WINGS'</i>	Hot Wings Tatarian Maple	5	3.0" cal.	as shown	
	Ms	<i>Malus 'Spring Snow'</i>	Spring Snow Crabapple	6	3.0" cal.	as shown	
	Pt	<i>Populus tremuloides</i>	Quaking Aspen	21	3" cal.	as shown	
	Ptt	<i>Populus tremuloides</i>	Quaking Aspen	14	1"-1.5" cal.	as shown	
	Pv	<i>Prunus virginiana 'shubert'</i>	Canada Red Chokecherry	2	3.0" cal.	as shown	

Symbol	Key	Botanical	Common Name	QTY	Size	Spacing	Notes
	Aa	<i>Amelanchier alnifolia 'Rejend'</i>	Saskatoon Serviceberry	2	5 gal.	as shown	
	Cs	<i>Cornus stolonifera</i> <i>Fernow Arctic Fire</i>	Arctic Fire Dogwood	7	5 gal.	as shown	
	Ma	<i>Malus aquilifolia 'Compacta'</i>	Compacta Oregon Grape	2	5 gal.	as shown	
	Pm	<i>Physocarpus opulifolius</i>	Scrubby Ninebark	7	5 gal.	as shown	
	Rb	<i>Rosa 'Blaze'</i>	Sunrise Sunset Rose	2	5 gal.	as shown	
	Rw	<i>Rosa woodsi</i>	Woods rose	3	5 gal.	as shown	
	Sr	<i>Sambucus racemosa</i> <i>Moriken Golden Glow</i>	Golden Glow Elderberry	7	5 gal.	as shown	

Symbol	Key	Botanical	Common Name	QTY	Size	Spacing	Notes
	Ac	<i>Aquilegia canadensis</i>	Rocky Mountain Columbine	3	1 gal.	as shown	
	Aw	<i>Aster spangolensis</i> <i>Wartburg Star</i>	Wartburg Star East Indies Aster	11	1 gal.	as shown	
	Cv	<i>Coreopsis verticillata</i> <i>'Moonbeam'</i>	Moonbeam Coreopsis	10	1 gal.	as shown	
	Ef	<i>Encyonanthes flexilis</i>	Sulfur flower	4	1 gal.	as shown	
	Go	<i>Galium odoratum</i>	Sweet Woodruff	34	1 gal.	as shown	
	Hb	<i>Hemerocallis 'Burgundy'</i> <i>'Harvest Burgundy'</i>	Harvest Burgundy Coral Bells	12	1 gal.	as shown	
	Pe	<i>Penstemon sp.</i>	Firecracker Penstemon	15	1 gal.	as shown	
	Pc	<i>Polemonium caeruleum</i> <i>'Blaney'</i>	Jacob's Ladder	0	1 gal.	as shown	
	Tc	<i>Trollius chinensis</i> <i>'Solesten Queen'</i>	Chinese Globeflower	8	1 gal.	as shown	

Symbol	Key	Botanical	Common Name	QTY	Size	Spacing	Notes
	Ca	<i>Calamagrostis canadensis</i> <i>'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	9	5 gal.	as shown	
	Dc	<i>Deschampsia cespitosa</i> <i>'Northern Lights'</i>	Northern Lights Tufted Hair Grass	8	5 gal.	as shown	
	Hs	<i>Helictotrichon sempervirens</i>	Blue Catgrass	8	5 gal.	as shown	
	Po	<i>Pennisetum orientale</i>	Oriental Fountain Grass	11	5 gal.	as shown	

Symbol	Common Name	Total Area	Material / Product	Depth / Rate	Supplier
	Native Grass Seed Mix	3,950 SF	Mountain Village Reveg. Mix	2 LBS / 1000 SF	

NOTES

SITE AND LANDSCAPE NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LOCAL GOVERNMENT STANDARDS PER THE APPROVED PLANS.
- CONTRACTORS SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATES OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION AND BECOMING AWARE OF ALL UNDERGROUND UTILITIES AND SUB-SURFACE INFRASTRUCTURE. CONTRACTORS SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE TO UTILITIES.
- ALL STRUCTURAL ELEMENTS, BOULDERS AND TREES THAT ARE NOT IDENTIFIED FOR DEMOLITION OR REMOVAL ARE TO BE PRESERVED AND PROTECTED DURING ALL PERIODS OF WORK. CONTRACTOR IS RESPONSIBLE FOR COST AND OR REPLACEMENT FOR ANY ITEM DAMAGED DURING THE COURSE OF WORK.
- CONTRACTOR SHALL SUBMIT A WRITTEN DOCUMENT TO INCLUDE THE WARRANTY AND GUARANTEE OF ALL WORK AND MATERIALS INCLUDED WITHIN THE CONTRACT AS DESCRIBED IN THE GENERAL CONDITIONS.
- ALL SITE AND LANDSCAPE ELEMENTS SHALL BE LOCATED AND LAID OUT IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.
- ALL TREES LOCATIONS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. SHRUBS SHALL BE LAID OUT IN THE FIELD BY THE CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- THE PLANT LISTS ARE PROVIDED FOR REFERENCE ONLY, AND THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT COUNTS AND IF A DISCREPANCY EXISTS, THE PLAN SHALL DICTATE.
- THE CONTRACTOR SHALL NOT DELIBERATELY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES, AND OTHER CONFLICTS EXIST THAT WERE NOT KNOWN DURING DESIGN. IN THESE CIRCUMSTANCES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND GENERAL CONTRACTOR. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO PROVIDE SUCH NOTICE.
- IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF PLANTING AREAS AND AREAS SHOWN ON THE PLANS, LANDSCAPE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION.
- FINAL LOCATION AND STAKING OF ALL PLANT AND HARDSCAPE MATERIALS SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR AT THE DIRECTION OF THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL NOT PROCEED WITH PLANTING AND FINAL INSTALLATION UNTIL LAYOUT AND STAKING HAS BEEN FULLY APPROVED BY THE LANDSCAPE ARCHITECT.
- CONTRACTORS SHALL PROVIDE OWNER WITH UNIT COSTS FOR ALL SITE AND LANDSCAPE ELEMENTS AND PLANTINGS AND INCLUDE ALL COSTS FOR MATERIAL, LABOR, TRANSPORTATION, HANDLING, OVERHEAD AND PROFIT, SPECIFICALLY AS REQUESTED.
- NO BOULDER PLACEMENT IS TO BE APPROVED IN ADVANCE BY LANDSCAPE ARCHITECT PRIOR TO FINAL PLACEMENT.
- NO SUBSTITUTIONS FOR ANY MATERIALS SPECIFIED SHALL BE MADE WITHOUT LANDSCAPE ARCHITECT APPROVAL.
- ALL ROADWAY AREAS WITHIN AND SURROUNDING WORK AREAS SHALL BE SWEEPED AND CLEANED AT COMPLETION OF WORK EACH DAY AND NO MATERIALS SHALL BE STORED WITHIN OR SURROUNDING THE WORK AREA OVERNIGHT. CONSTRUCTION SHALL NOT BE CONSIDERED COMPLETE UNTIL ALL PROJECT AREAS HAVE BEEN CLEANED OF ALL DIRT, DEBRIS, MATERIALS, AND ALL DAMAGED ITEMS REPAIRED WITH ACCEPTANCE BY THE LANDSCAPE ARCHITECT.

PLANTING NOTES AND SPECIFICATIONS:

- ALL PLANT MATERIALS SHALL BE NURSERY GROWN. PLANTS SHALL BE HEALTHY AND FREE OF DISEASE AND PESTS. ALL PLANT MATERIAL IS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR SHALL SUPPLY PHOTOS AND LOCATION OF THE SOURCE OF ALL TREES AND SHRUBS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO DELIVERY OF MATERIALS TO THE PROJECT SITE(S).
- ALL CONTAINER PLANTS SHALL HAVE BEEN GROWN IN THE CONTAINERS IN WHICH THEY ARE DELIVERED FOR A MINIMUM OF TWO MONTHS, BUT NOT MORE THAN TWO YEARS FOR SHRUBS AND GRASSES AND ONE YEAR FOR PERENNIALS AND GROUND COVERS.
- PLANTING BACKFILL IS TO CONSIST OF 86% NATIVE TOPSOIL AND 33% ORGANIC COMPOST TO A DEPTH OF 9". TILL 6" OF TOPSOIL IMPORT AND 3" OF COMPOST FOR ALL AREAS TO BE PLANTED.
- ALL TREE AND SHRUB PLANTING AREAS ARE TO BE MULCHED WITH 3" MULCH.
- ALL PERENNIAL BEDS SHALL BE COVERED WITH A TOP COAT OF 2" OF COMPOST (NO MULCH). CONTRACTOR SHALL PROVIDE A SAMPLE OF COMPOST AND ITS SOURCE TO LANDSCAPE ARCHITECT PRIOR TO PLANT INSTALLATION.
- TREES SHALL HAVE ALL BINDING MATERIAL REMOVED AROUND THE BASE OF THE TRUNK AND BURLAP MATERIALS REMOVED AT LEAST HALFWAY TO THE MIDDLE OF THE ROOT BALL PRIOR TO BACKFILLING AND PLANTING.
- EVERGREEN TREES GREATER THAN 6' ARE TO BE STAKED WITH (3) 5" STEEL T-STAKES AND GUYED WITH GALVANIZED WIRE. SEE PLANTING DETAILS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ERADICATION, REMOVAL, DISPOSAL OF WEEDS WITHIN THE LIMITS OF WORK DURING THE CONSTRUCTION PERIOD AND THROUGH THE PROJECT'S FINAL ACCEPTANCE.
- AT THE TIME OF PLANTING ALL NEWLY PLANTED TREES AND SHRUBS SHALL BE FERTILIZED WITH BIOSOL MIX. ALL-PURPOSE FERTILIZER PER MANUFACTURER'S SPECIFICATIONS. THIS FERTILIZER TO BE MIXED IN WITH PLANTING BACKFILL. PLEASE CONTACT ROCKY MOUNTAIN BIO-PRODUCTS, 10951 E. 54TH AVENUE, DENVER, CO 80239. PHONE (303) 696-8964.
- ALL PLANT BED AND LAWN AREAS SHALL BE SEPARATED FROM ADJACENT AREAS WITH EDGING. THE PREFERRED PRODUCT IS VALLEY VIEW INDUSTRIES' 'ACE OF DIAMOND' PLASTIC EDGING OR EQUAL. EDGING SHALL BE PINNED IN PLACE WITH FIVE 9" MFR SUPPLIED MTL LANDED C STAKES SPACED EVENLY PER 20' SECTION OF EDGING. JOINTS BETWEEN SECTIONS OF EDGING SHALL BE SECURED WITH MFR SUPPLIED C CLIPS. EDGING SHALL NOT EXTEND ABOVE SURROUNDING FINISHED GRADE BY MORE THAN 1/4".
- PRIOR TO PLANTING OR SEEDING, THE IRRIGATION SYSTEM SHALL BE FULLY IN PLACE AND OPERATIONAL.
- IRRIGATION SYSTEM TO BE DESIGN/BUILD WITH IRRIGATION SYSTEM SUBMITTED WITH BUILDING PERMIT SET.
- ALL PERENNIAL AND GARDEN PLANTING BEDS TO BE SPRAY HEAD IRRIGATED USING SOAKER HOSE, LOW VOLUME MIST AND/OR EMITTERS EQUIPPED WITH ADJUSTABLE NOZZLES TO LIMIT OVER/UNDER WATERING WITHIN A SPECIFIC ZONE.
- SHRUBS AND TREES TO BE DRIP IRRIGATED AND ON A SEPARATE ZONE TO BE SHUT OFF TWO FULL GROWING SEASONS AFTER PLANT ESTABLISHMENT.
- NATIVE SEED AREAS TO BE IRRIGATED WITH A TEMPORARY ROTOR IRRIGATION SYSTEM FOR AN ESTABLISHMENT PERIOD NOT TO EXCEED 3 YEARS.
- ALL DISTURBED AREAS SHALL BE REVEGETATED WITH TELLURIDE MOUNTAIN VILLAGE APPROVED NATIVE GRASS SEED MIX. (Western Yarrow 5%, Tall Fescue 10%, Arizona Fescue 5%, Hard Fescue 5%, Creeping Red Fescue 10%, Alpine Bluegrass 15%, Canada Bluegrass 10%, Perennial Ryegrass 15%, Slender Wheatgrass 10%, Mountain Brome 15%) AT A RATE OF 2.0 LBS PER 1,000 SQUARE FEET.
- ALL NATIVE SEED AREAS ARE TO BE LIGHTLY RAKED 1/4" INTO THE SOIL AFTER SEEDS HAVE BEEN EVENLY DISTRIBUTED PER THE SPECIFIED SEEDING RATE.
- MULCH ALL NATIVE SEED AREAS WITH 1" - 2" OF CERTIFIED WEED FREE STRAW OR HAY. ALL STRAW AREAS ARE TO BE TACKIFIED WITH APPROVED ORGANIC TACKIFIER AT THE RATE OF 120 LBS. / ACRE, OR HYDROMULCHED.
- SOIL PREPARATION OF ALL NATIVE SEED AREAS WILL INCLUDE THE FOLLOWING:
 - LOOSENING THE SOIL TO A MINIMUM OF 4" DEPTH REMOVING ROCKS OVER 2" IN DIAMETER, ROOTS, STICKS, DEBRIS AND ANY OTHER EXTRANEIOUS MATERIAL.
 - AMENDING SOIL WITH 2" COMPOST AND TILLING TO A MINIMUM 6" DEPTH.
 - GRADE TO A SMOOTH, FREE DRAINING EVEN SURFACE WITH A LOOSE, MODERATELY COARSE TEXTURE. REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO DRAIN.
- ONE APPLICATION OF A DI-AMMONIUM PHOSPHATE FERTILIZER, 18-46-0, SHALL BE BROADCAST PRIOR TO SEEDING AT A RATE OF 8 LBS. PER 1000 S.F. LANDSCAPE CONTRACTOR SHALL SUBMIT A WRITTEN DOCUMENT REGARDING ITS POLICY OF PLANT WARRANTY AND REPLACEMENT.
- EACH WARRANTY SHALL CONFORM TO THE MINIMUM STANDARD OF REPLACING ALL MATERIALS INCLUDING LABOR, DUE TO THE SICKNESS OR DEATH OF A PLANT FOR A PERIOD OF TWO YEARS FOLLOWING THE PLANTS INSTALLATION AND ACCEPTANCE OF THE PROJECT BY THE TOWN.
- ALL EXCESS NATIVE SOIL RESULTING FROM SOIL PREP SHALL BE DISPOSED OF AND REMOVED FROM THE SITE OR STOCKPILED IN LOCATION APPROVED BY OWNER.

HARDSCAPE NOTES:

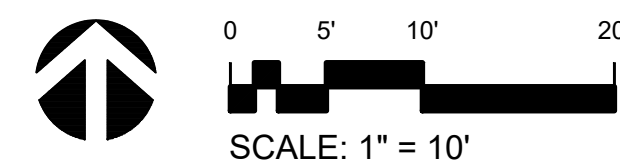
REFER TO CIVIL AND LANDSCAPE DETAILS / SPECS FOR SIZES, COLORS, TYPE AND FINISHES OF ALL HARDSCAPE MATERIALS, INCLUDING PAVERS, BOULDERS, AND WALLS.

ELECTRICAL AND LIGHTING NOTES:

- ELECTRICAL CONTRACTOR SHALL WARRANTY ALL WORK FOR A PERIOD OF TIME OF (2) YEARS.
- ALL FIXTURES SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.

DEMOLITION NOTES:

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES (PROPOSED & EXISTING) PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO BEGINNING CONSTRUCTION.
- ANY DISTURBED AREAS OUTSIDE OF THE PROJECT LIMIT OF WORK SHALL BE RE-MEDIATED TO EXISTING CONDITIONS.
- ROOT BALLS TO BE GROUND UP ON SITE.
- ALL CONSTRUCTION WASTE SHALL BE DISPOSED OF PROPERLY OFF SITE.



1 LANDSCAPE PLAN
L1.02 SCALE: 1" = 10'-0"

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REFLECTIONS AT ELK LAKE

TELLURIDE MOUNTAIN VILLAGE, CO
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D	06/06/2019	DESIGN DEV	
E	07/11/2019	50% CDS	
F	09/12/2019	PERMIT SET	
G	06/18/2020	DESIGN REVIEW	
H	12/09/2020	PERMIT RESUB	
J	07/23/2021	FINAL DESIGN REVIEW	

KEY PLAN

LANDSCAPE PLAN

PROJECT No.	ORIGIN DATE	
20182606.00	11/02/2018	
DRAWN BY	CHK BY	TRV BY
TH	PC	
SHEET No.	L1.02	
	SCALE: AS SHOWN	

LEGEND

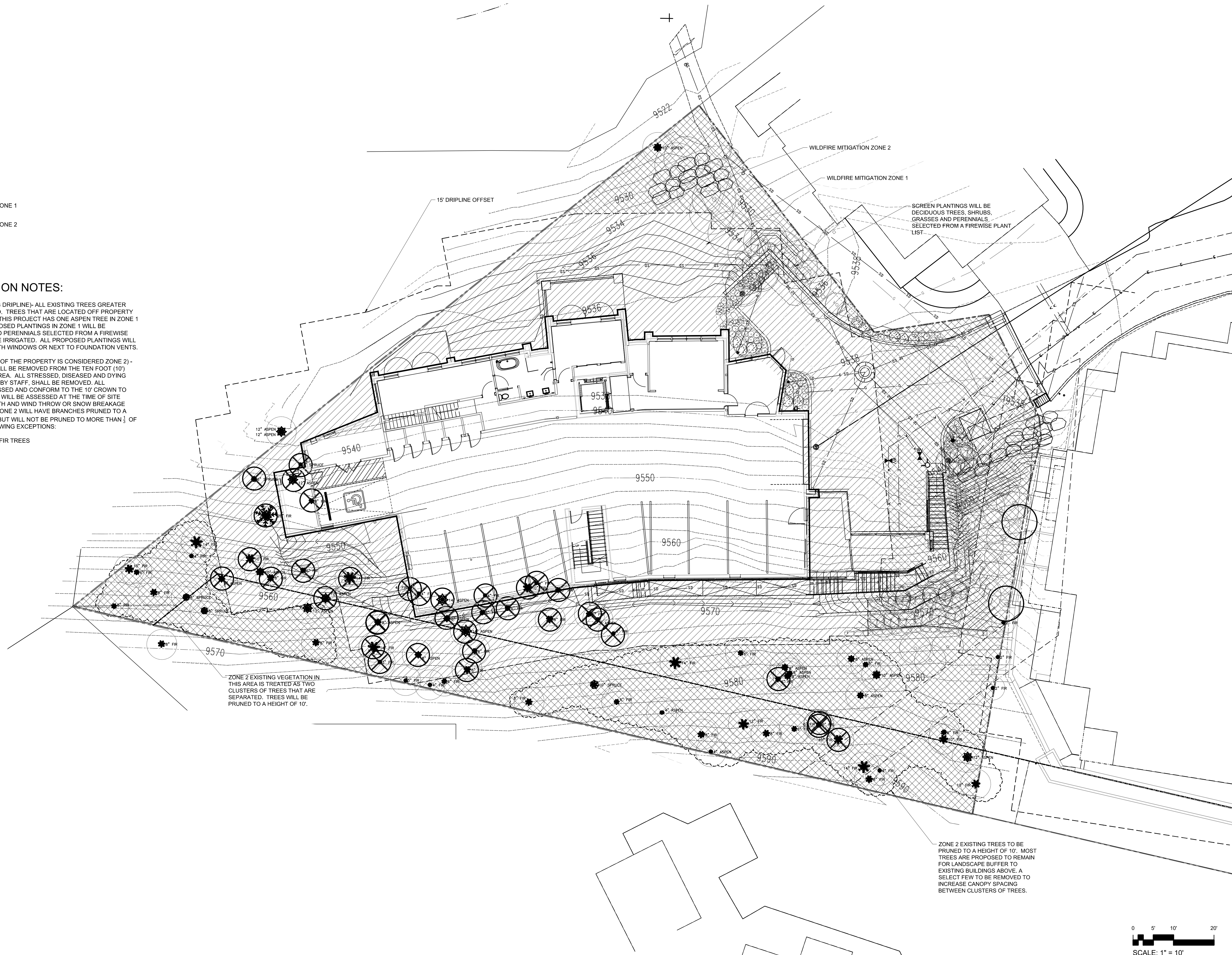
-  WILDFIRE MITIGATION ZONE 1
-  WILDFIRE MITIGATION ZONE 2
-  EXISTING TREE DEMO

WILDFIRE MITIGATION NOTES:

ZONE 1 (15' OFFSET FROM BUILDING DRIPLINE): ALL EXISTING TREES GREATER THAN 4" CALIPER WILL BE REMOVED. TREES THAT ARE LOCATED OFF PROPERTY IN ZONE 1 WILL NOT BE REMOVED. THIS PROJECT HAS ONE ASPEN TREE IN ZONE 1 THAT IS OFF PROPERTY. ALL PROPOSED PLANTINGS IN ZONE 1 WILL BE DECIDUOUS SHRUBS, GRASSES AND PERENNIALS SELECTED FROM A FIREWISE PLANT MATERIALS LIST AND WILL BE IRRIGATED. ALL PROPOSED PLANTINGS WILL NOT BE PLANTED DIRECTLY BENEATH WINDOWS OR NEXT TO FOUNDATION VENTS.

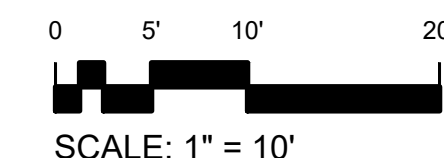
ZONE 2 - (THE REMAINING PORTION OF THE PROPERTY IS CONSIDERED ZONE 2) - ALL LADDER FUELS AND SLASH SHALL BE REMOVED FROM THE TEN FOOT (10') CROWN-TO-CROWN SEPARATION AREA. ALL STRESSED, DISEASED AND DYING TREES AND SHRUBS AS IDENTIFIED BY STAFF, SHALL BE REMOVED. ALL CONIFEROUS TREES WILL BE ASSESSED AND CONFORM TO THE 10' CROWN TO CROWN SEPARATION AREA. TREES WILL BE ASSESSED AT THE TIME OF SITE PREPARATION FOR SPACING, HEALTH AND WIND THROW OR SNOW BREAKAGE POTENTIAL. REMAINING TREES IN ZONE 2 WILL HAVE BRANCHES PRUNED TO A HEIGHT OF 10' FROM THE GROUND BUT WILL NOT BE PRUNED TO MORE THAN 1/2 OF THE TREE HEIGHT WITH THE FOLLOWING EXCEPTIONS:

- I) ASPEN TREES, AND
- II) ISOLATED SPRUCE AND FIR TREES



ZONE 2 EXISTING VEGETATION IN THIS AREA IS TREATED AS TWO CLUSTERS OF TREES THAT ARE SEPARATED. TREES WILL BE PRUNED TO A HEIGHT OF 10'.

ZONE 2 EXISTING TREES TO BE PRUNED TO A HEIGHT OF 10'. MOST TREES ARE PROPOSED TO REMAIN FOR LANDSCAPE BUFFER TO EXISTING BUILDINGS ABOVE. A SELECT FEW TO BE REMOVED TO INCREASE CANOPY SPACING BETWEEN CLUSTERS OF TREES.



1 WILDFIRE MITIGATION PLAN
L1.01 SCALE: 1" = 10'-0"

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KEY PLAN

WILDFIRE MITIGATION PLAN

PROJECT No.	ORIGIN DATE
20182606.00	11/02/2018
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	TRV BY

SHEET No.
L1.03
SCALE: AS SHOWN

ELKSTONE SITE COVERAGE SUMMARY

Building	Area	Lot Coverage
Building 6/7	4,204	4.52%
Building 4/5	4,693	5.05%
Building 3	3,123	3.36%
Building 1/2	4,575	4.92%
Sub-Total	16,595	17.85%
Elkstone 21	26,391	28.39%
Sub-Total	42,986	46.24%
Proposed	8,824	9.49%
Total	51,810	55.73%
Remaining	8,617	9.27%

- Existing Site Coverage
- Proposed Site Coverage



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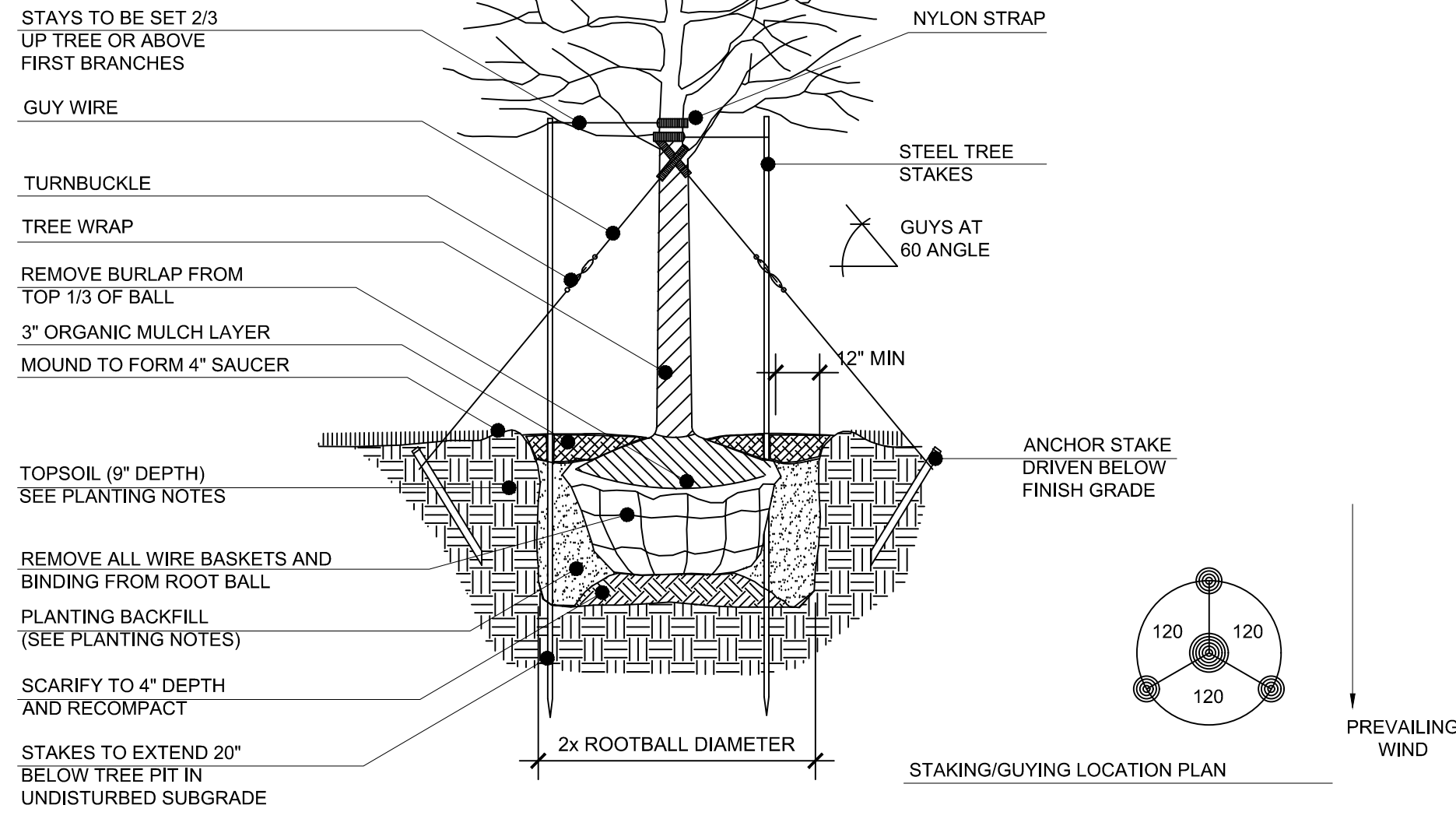
KEY PLAN

SITE COVERAGE DIAGRAM

PROJECT No.	ORIGIN DATE
20182606.00	11/02/2018
DRAWN BY	CHK BY
TH	PC
TRV BY	
SHEET No.	
L1.04	
SCALE: AS SHOWN	

NOTES:

GUY ALL TREES 4" CAL. AND OVER.
STAKE TREES UNDER 4" CAL.
SET STAKES VERTICAL AND
AT SAME HEIGHT

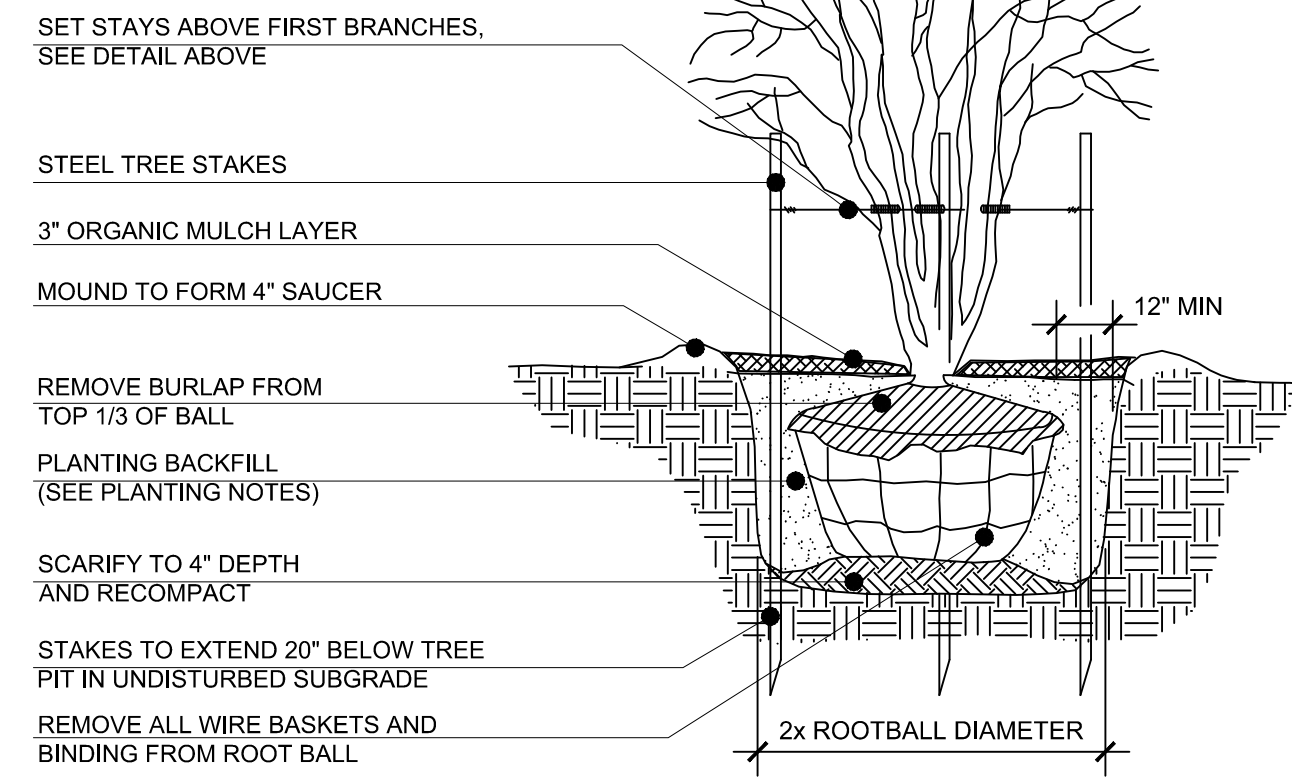


3 DECIDUOUS PLANTING DETAIL

L1.5 SCALE: N.T.S.

NOTES:

NEVER CUT LEADERS
STAKE 3 LARGEST STEMS, IF TREE
HAS MORE THAN 3 LEADERS
TREE SHALL BE PLACED WITH THE
ROOT CROWN SET AT 2" ABOVE FINISH
GRADE
SET TREE STAKES VERTICAL
AND AT SAME HEIGHT.

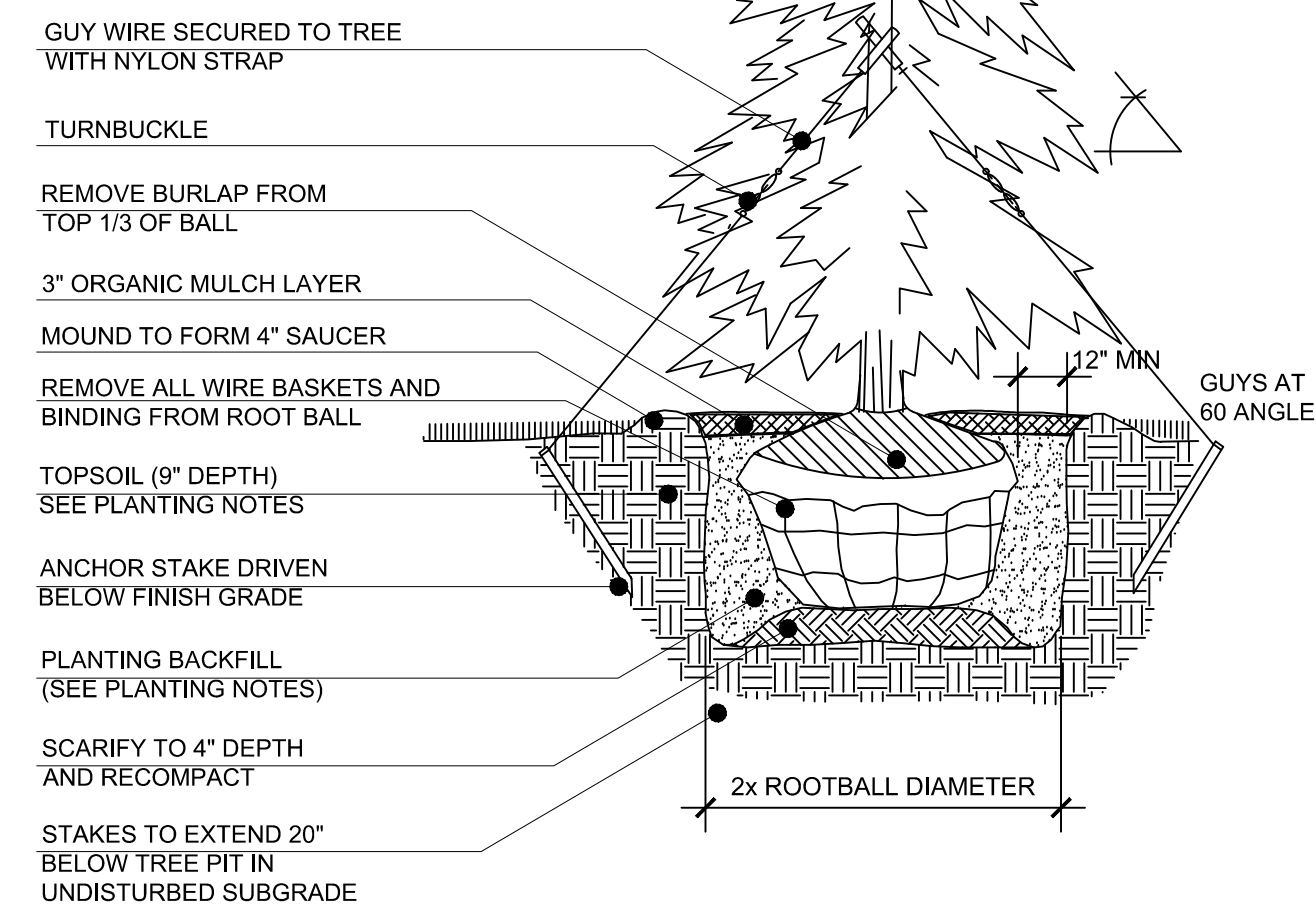


4 MULTI-STEM PLANTING DETAIL

L1.5 SCALE: N.T.S.

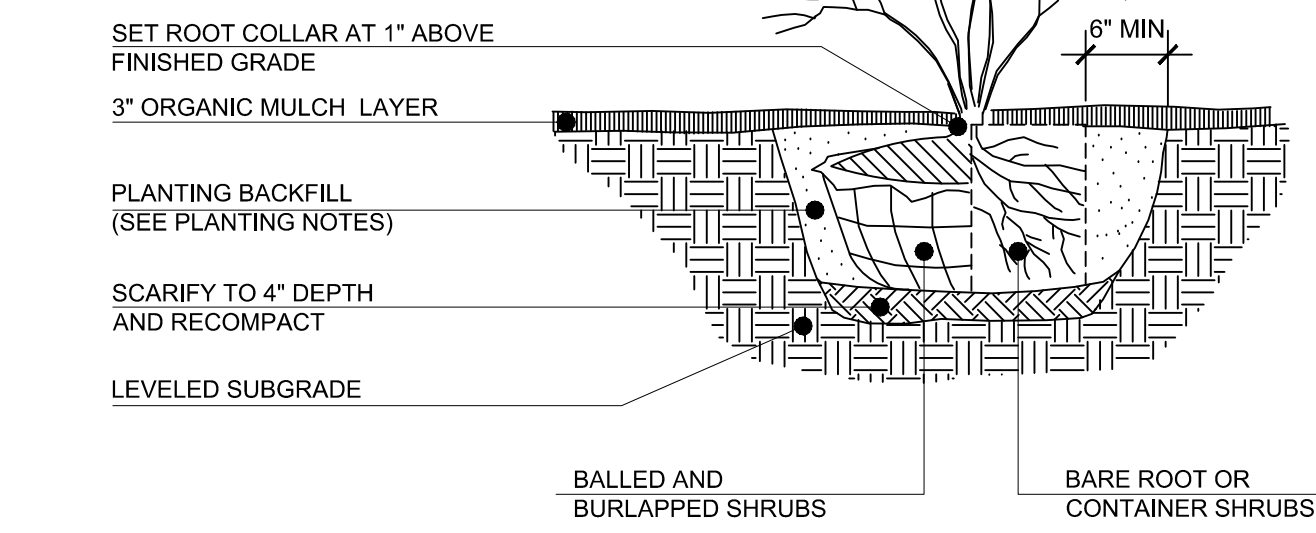
NOTES:

TREE SHALL BEAR SAME RELATION TO
FINISHED GRADE AS IT BORE TO
PREVIOUS GRADE
NOTE: GUY WIRES REQUIRED ONLY
ON TREES OVER 6\"/>



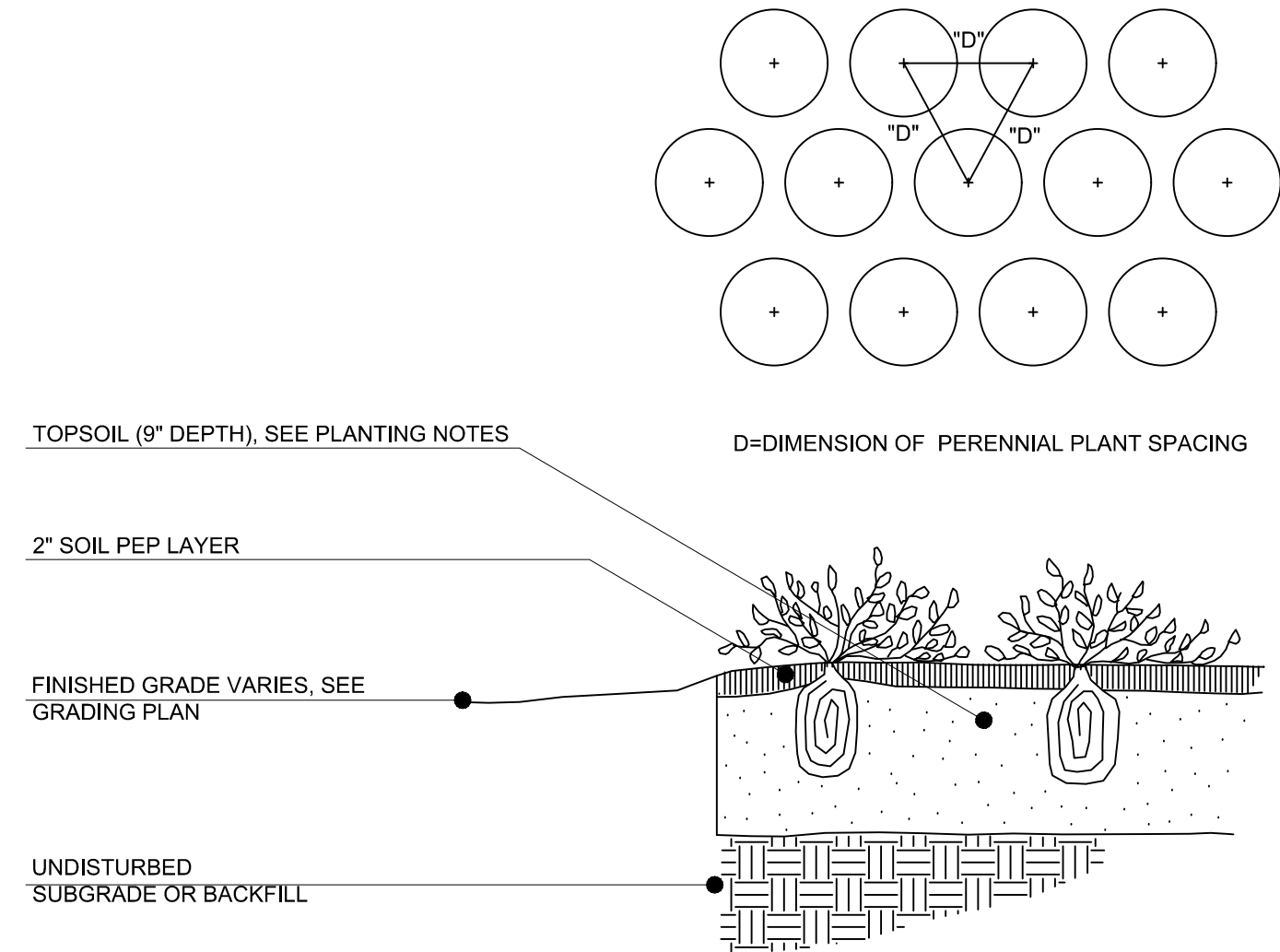
5 CONIFEROUS PLANTING DETAIL

L1.5 SCALE: N.T.S.



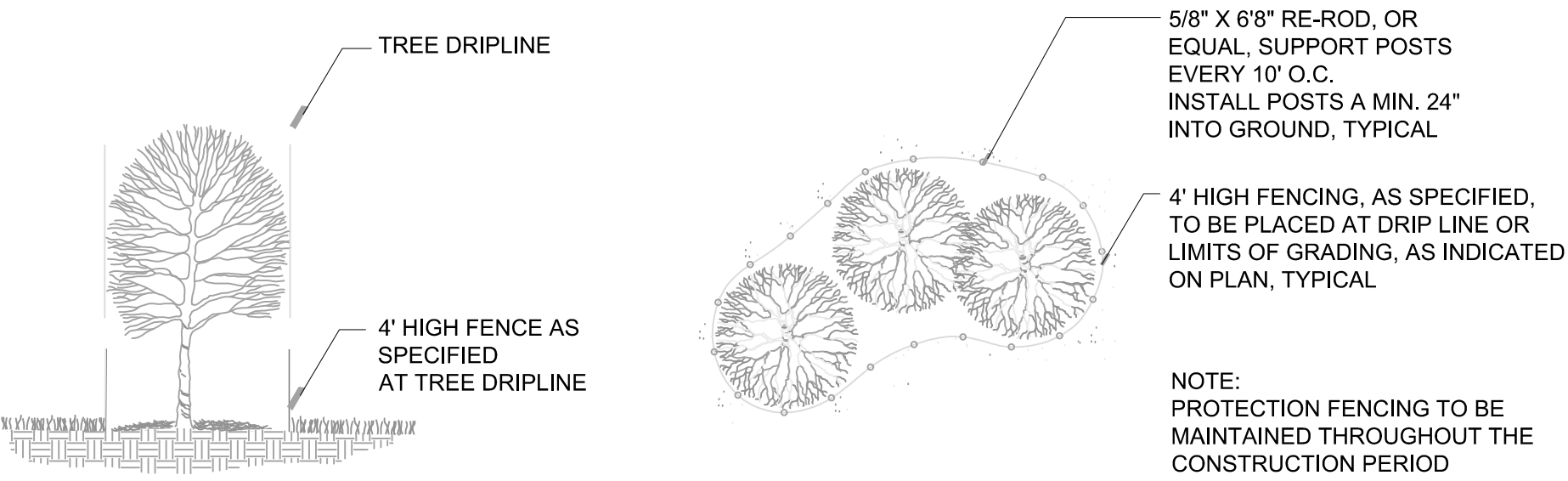
2 SHRUB PLANTING DETAIL

L1.5 SCALE: N.T.S.



1 PERENNIAL PLANTING DETAIL

L1.5 SCALE: N.T.S.



6 TREE PROTECTION FENCE DETAIL

L1.5 SCALE: N.T.S.

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KEY PLAN

DETAILS

PROJECT No.	ORIGIN DATE
20182606.00	11/02/2018
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	TRV BY

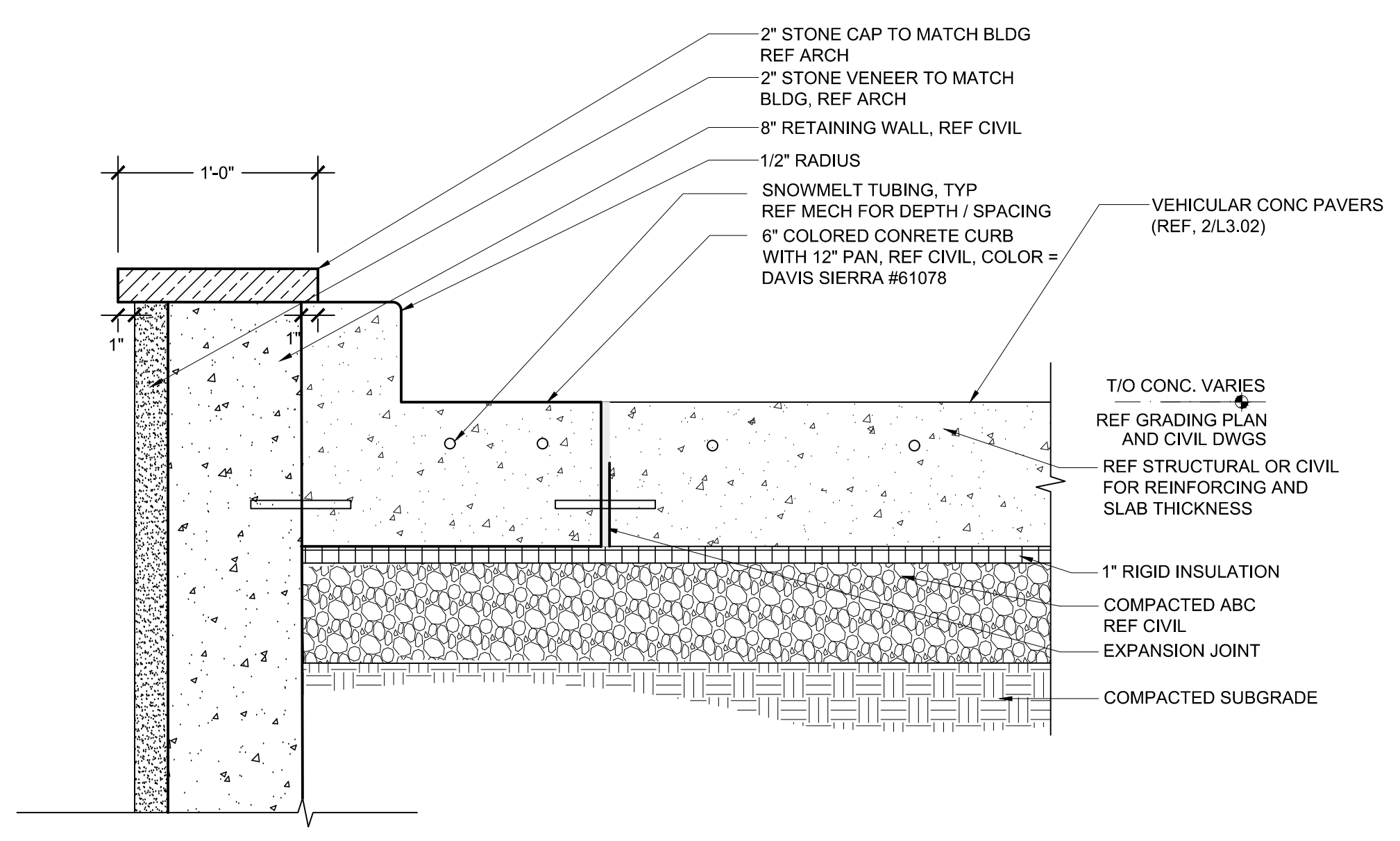
SHEET No.
L3.01
SCALE: AS SHOWN



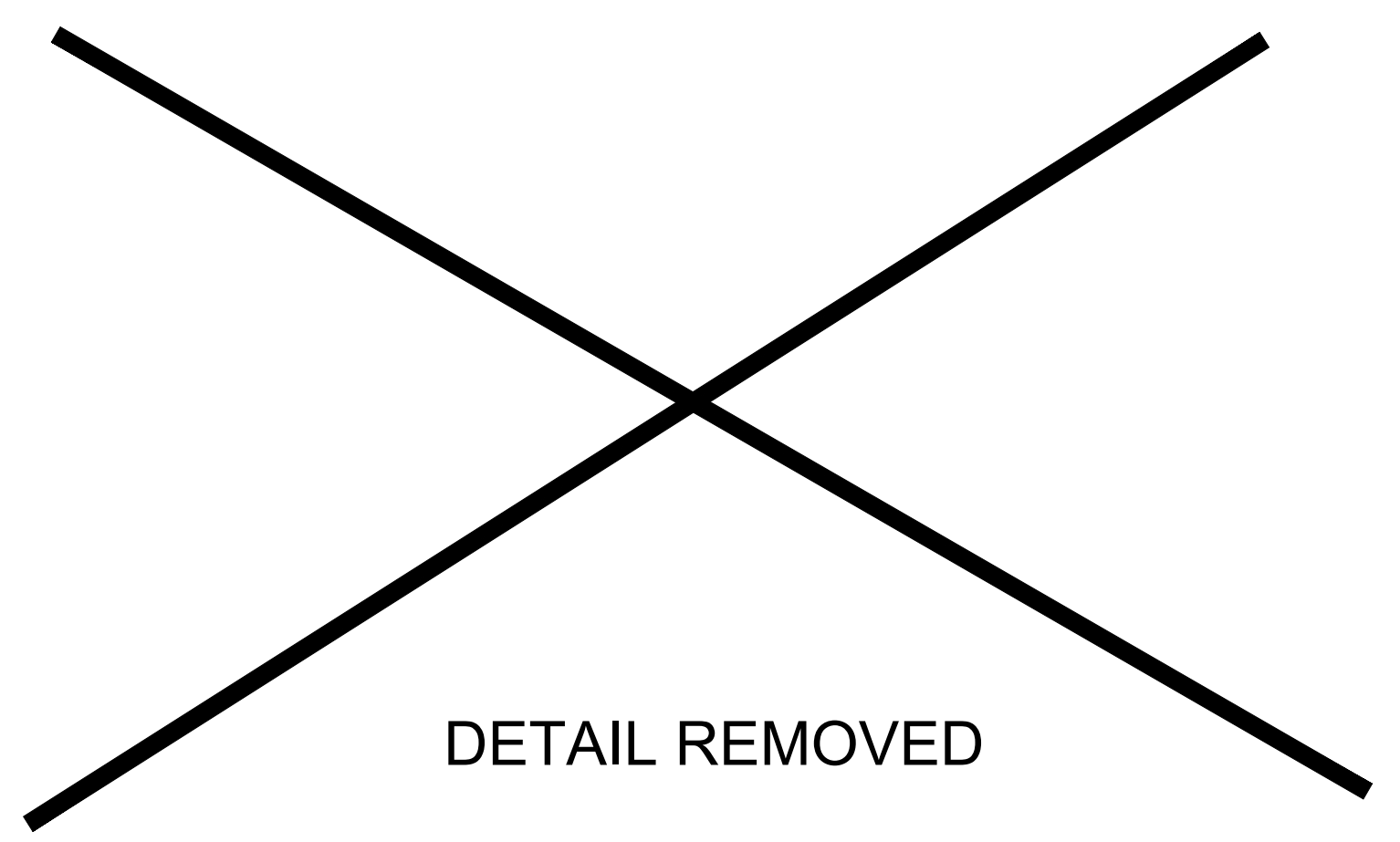
1 LANDSCAPE PLAN
L3.02 SCALE: 1" = 10'-0"

PAVING SCHEDULE:

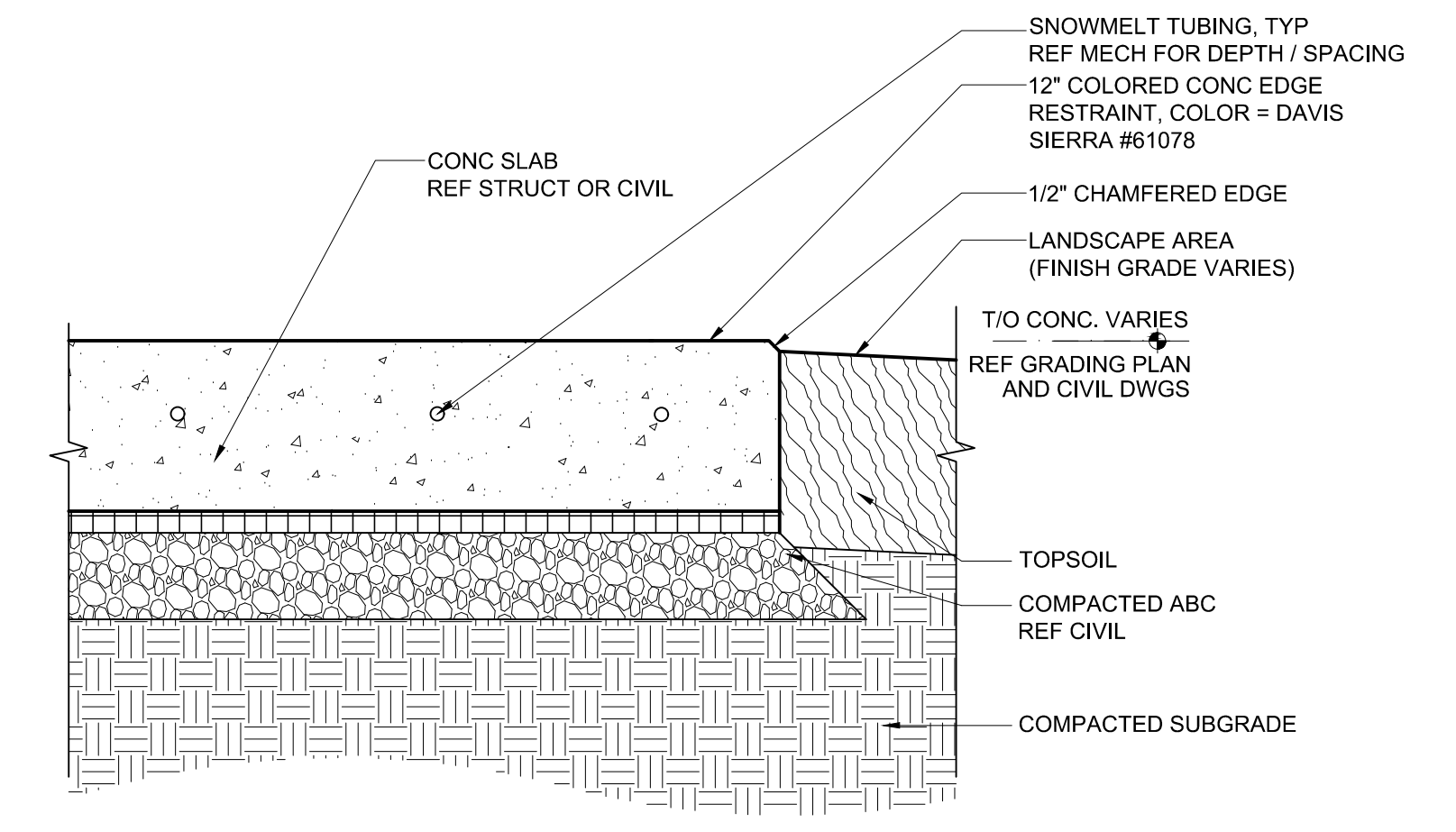
	P1	SNOW MELTED CONCRETE TO MATCH EXISTING COLOR, TEXTURE AND SCORING PATTERN
	P2	FLAGSTONE STEPS TO MATCH ARCHITECTURE STONE, THICKNESS TBD



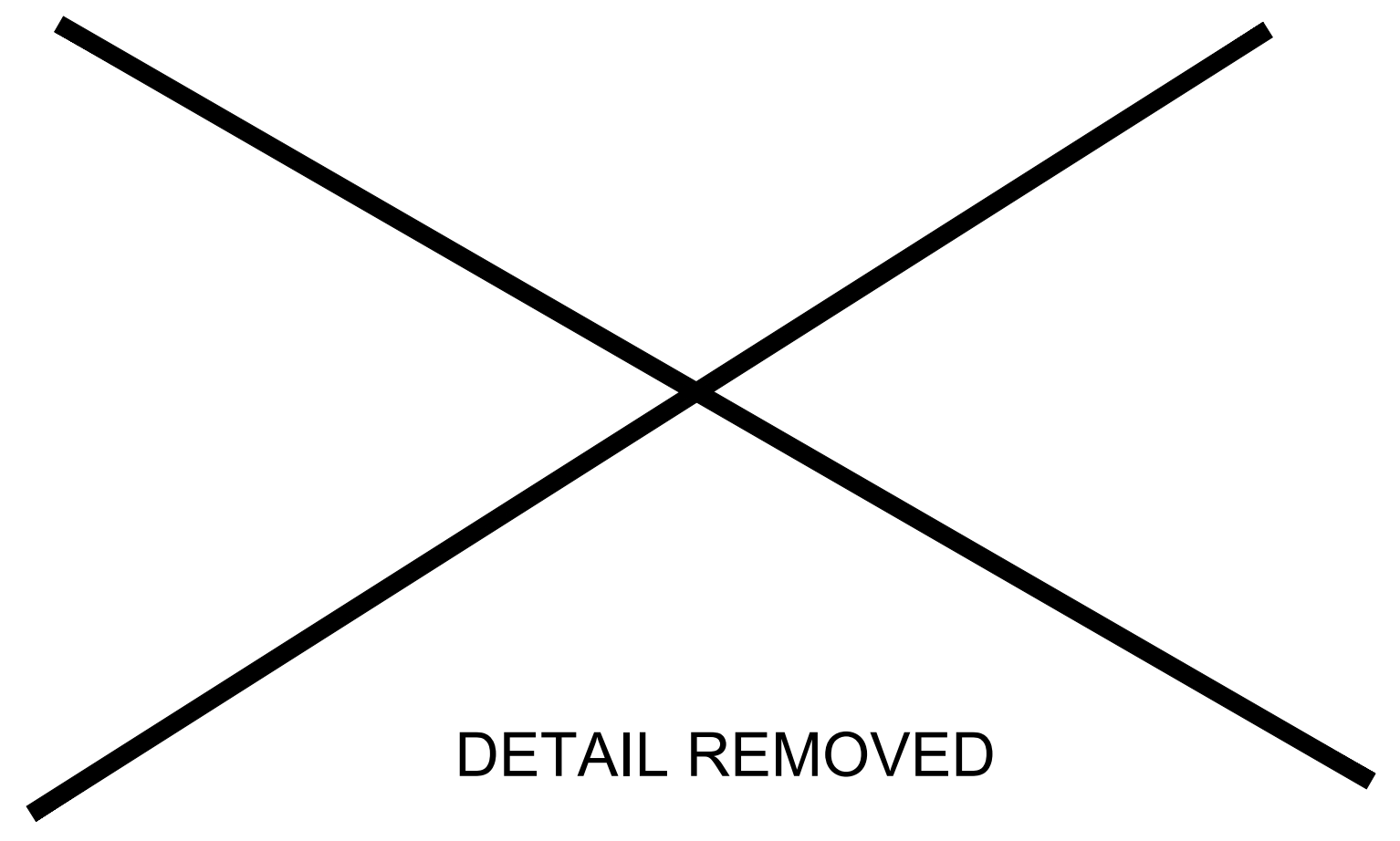
7 CONCRETE CURB
L3.02 1 1/2" = 1'-0"



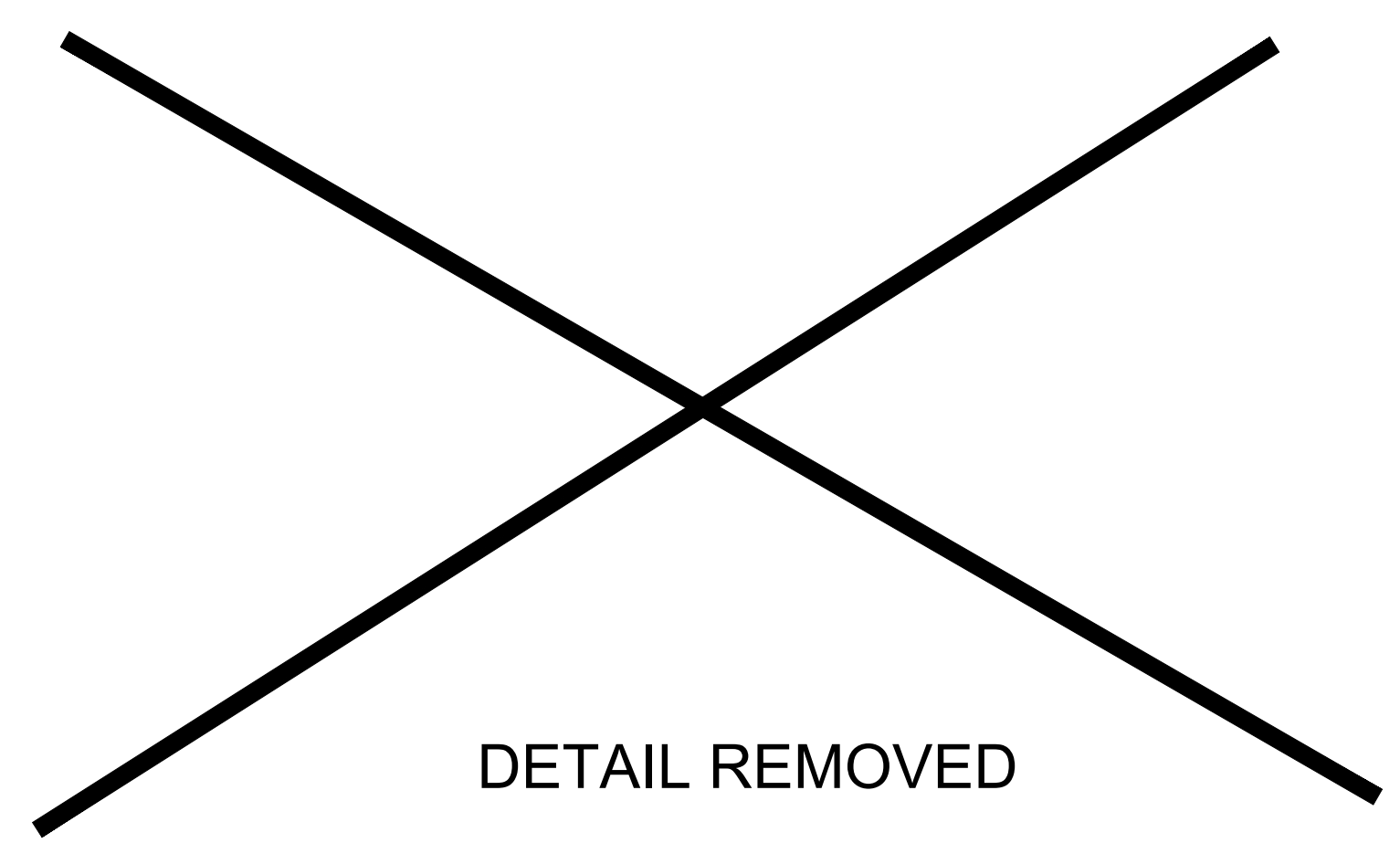
4 CONCRETE PAVER EDGE RESTRAINT
L3.02 1 1/2" = 1'-0"



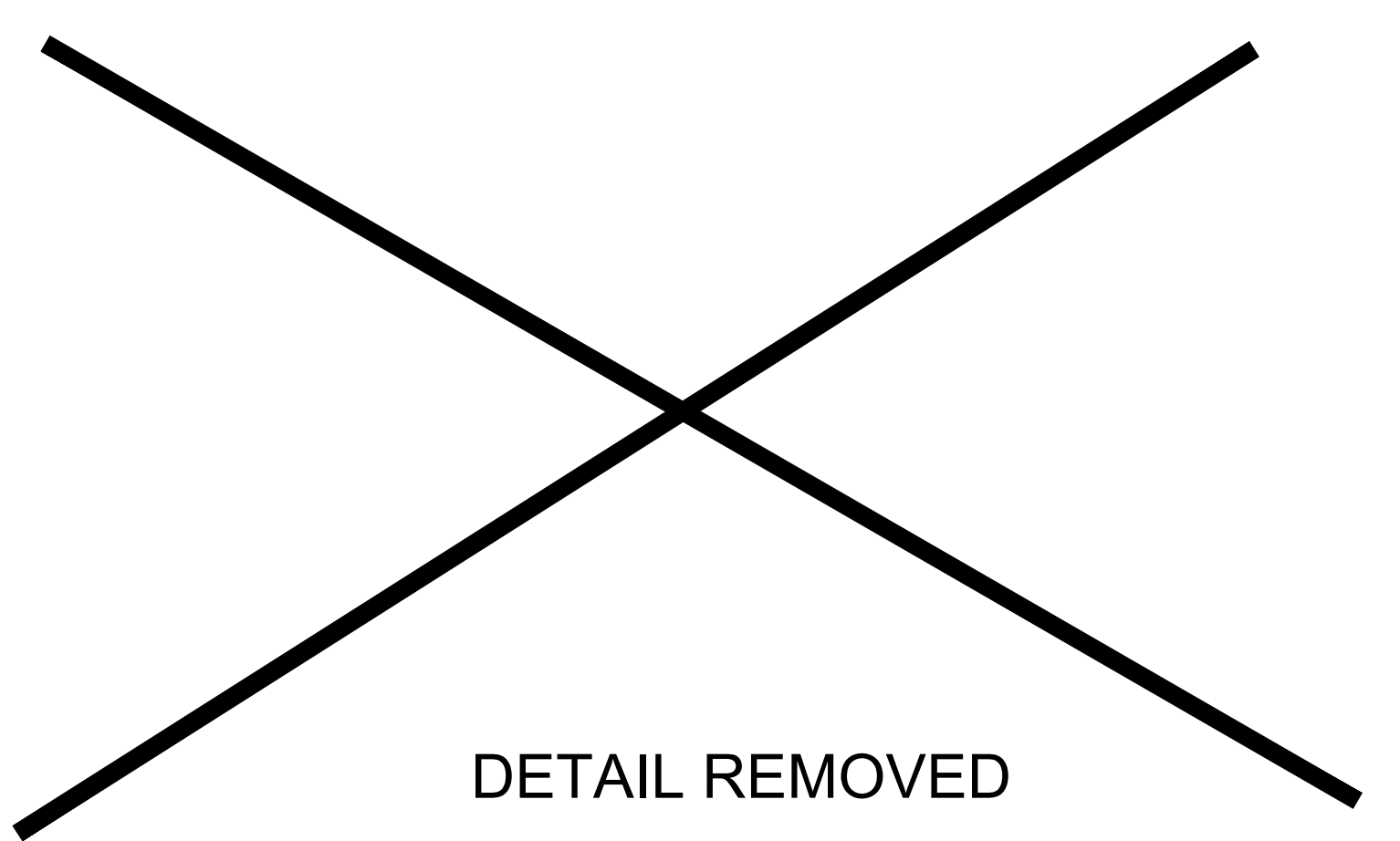
3 CONCRETE PAVER EDGE RESTRAINT
L3.02 1 1/2" = 1'-0"



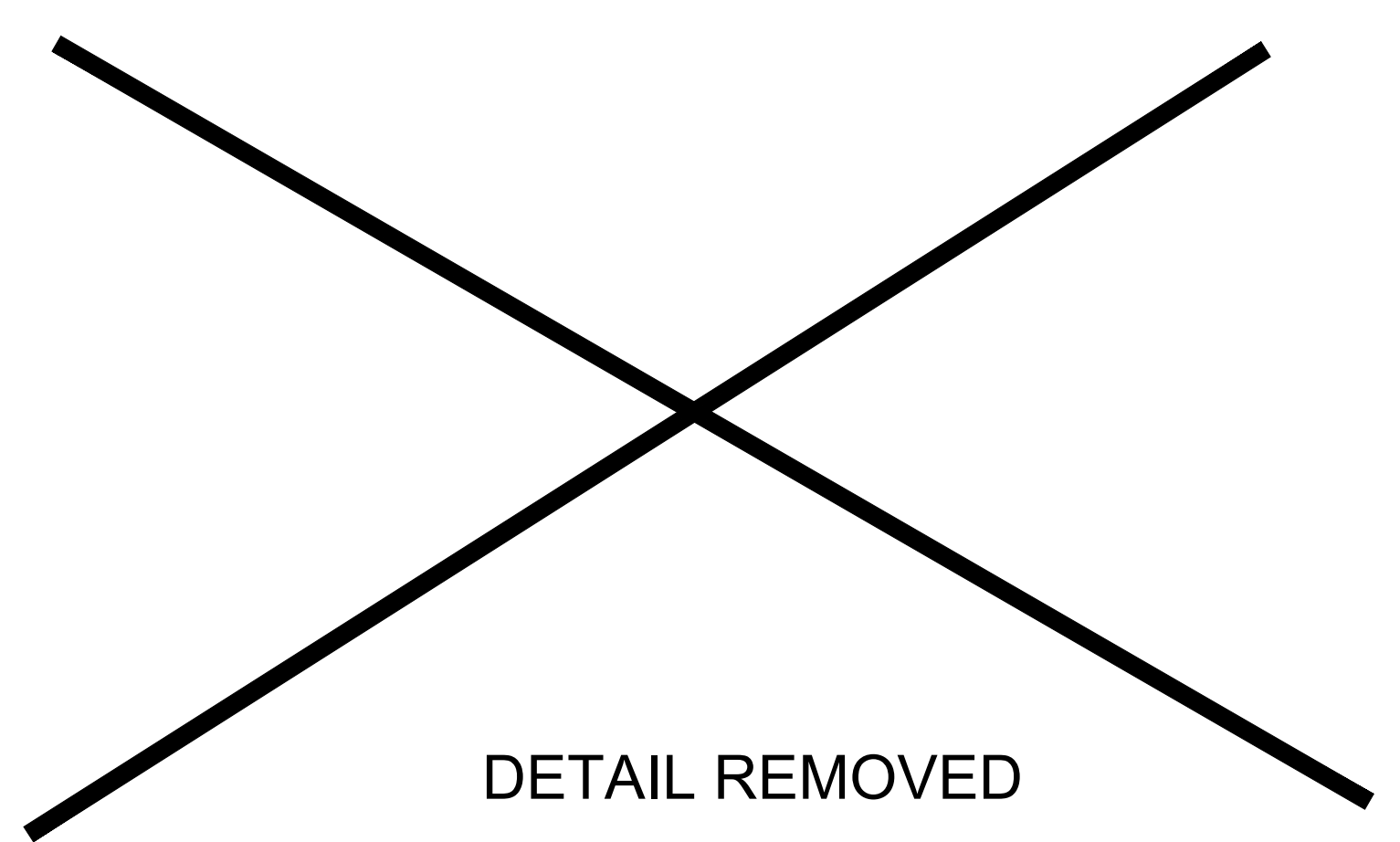
5 VEHICULAR TO PEDESTRIAN PAVER DETAIL
L3.02 1 1/2" = 1'-0"



2 P-2 VEHICULAR PAVERS ON GRADE
L3.02 1 1/2" = 1'-0"



6 CONCRETE CURB AT PLANTER
L3.02 1 1/2" = 1'-0"



1 P-1 PEDESTRIAN PAVERS ON GRADE
L3.02 1 1/2" = 1'-0"

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KEY PLAN

LANDSCAPE ENLARGEMENT & DETAILS

PROJECT No.	ORIGIN DATE
20182606.00	11/02/2018
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SHEET No.
L3.02
SCALE: AS SHOWN

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FLOOR PLAN SHEET GENERAL NOTES

- ALL INTERIOR WALL ASSEMBLIES TYPE - P1 UNLESS SHOWN OTHERWISE.
- ALL EXTERIOR WALL ASSEMBLIES TYPE - W7 UNLESS SHOWN OTHERWISE.
- ALL FLOOR ASSEMBLIES TYPE UNLESS NOTED OTHERWISE ON FLOOR PLAN OR RCP.
- DRAWING REVISIONS ARE INDICATED BY X.
- CENTER DOORS AND OPENINGS IN ROOMS OR PROVIDE 6" WALL RETURNS UNLESS NOTED OTHERWISE.
- REFERENCE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS, ASSEMBLY TAGS, AND DETAIL TAGS.
- DS INDICATES HEATED DOWNSPOUT. ALL DOWNSPOUTS TO BE TYPE - B UNLESS NOTED OTHERWISE.

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 TOWN OF MOUNTAIN VILLAGE, COLORADO

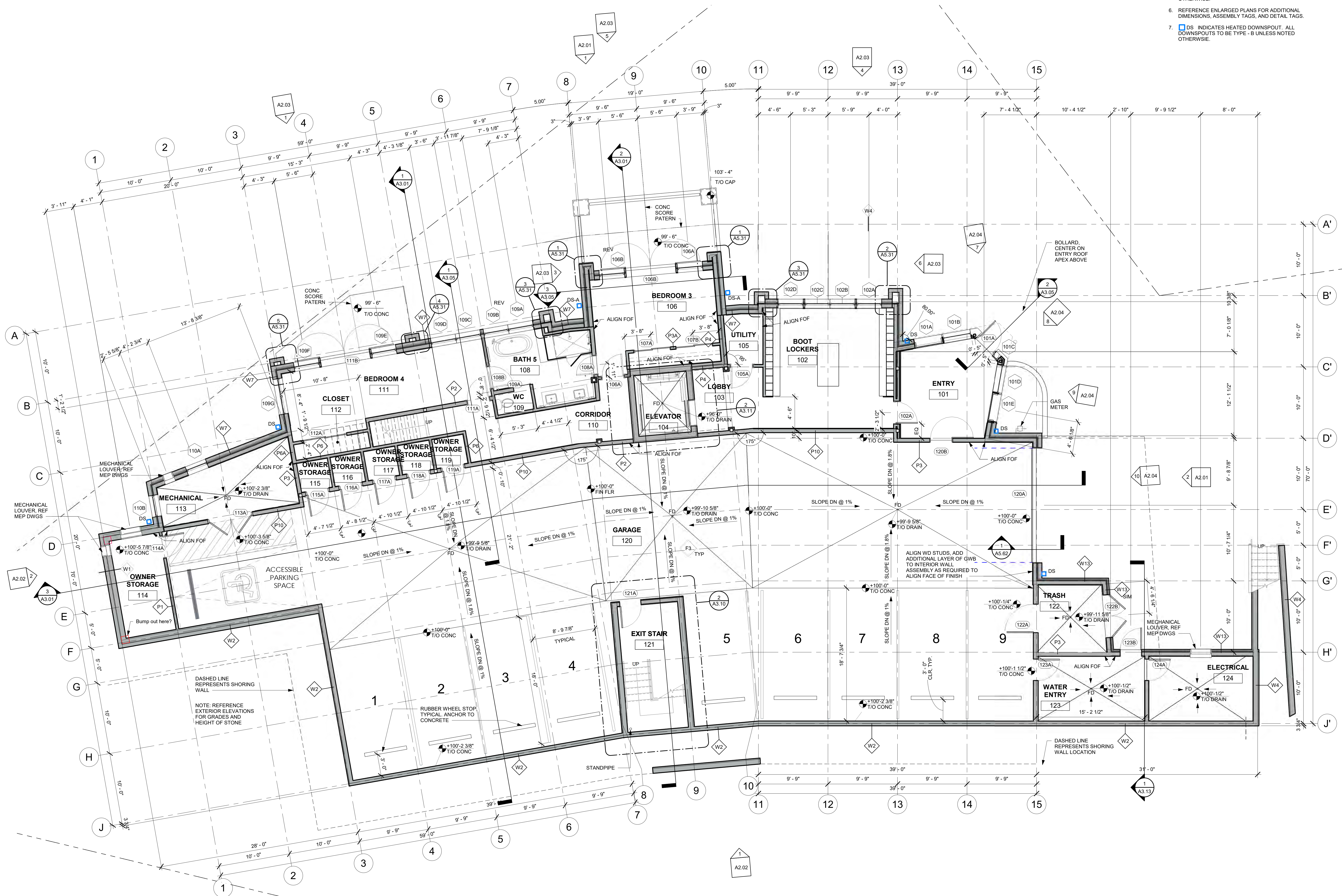
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ISSUE	No.	DATE	COMMENT
D	08/08/2019	DESIGN DEV	
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F	09/12/2019	PERMIT SET	
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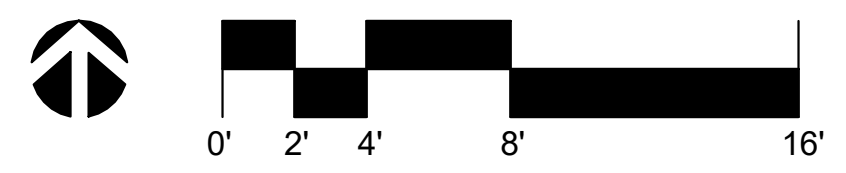
KEY PLAN

FLOOR PLAN 100'-0" (ENTRY / GARAGE LEVEL PLAN)

PROJECT No. 20182606.00 ORIGIN DATE 11/13/2018
 DRAWN BY JB/UBR CHK BY TL TRY BY
 SHEET No. **A1.01**
 SCALE: AS SHOWN



1 FLOOR PLAN 100'-0" (ENTRY / GARAGE LEVEL)
 A1.01 3/16" = 1'-0"



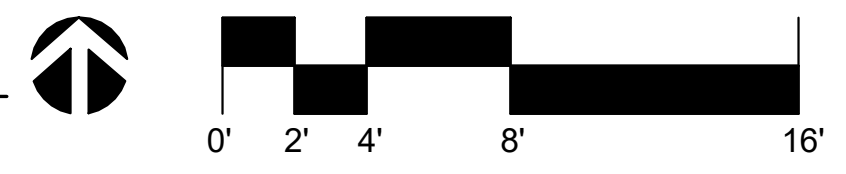
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FLOOR PLAN SHEET GENERAL NOTES

- ALL INTERIOR WALL ASSEMBLIES TYPE P1 UNLESS SHOWN OTHERWISE.
- ALL EXTERIOR WALL ASSEMBLIES TYPE W10 UNLESS SHOWN OTHERWISE.
- ALL FLOOR ASSEMBLIES TYPE F1 UNLESS NOTED OTHERWISE ON FLOOR PLAN OR RCP.
- DRAWING REVISIONS ARE INDICATED BY X.
- CENTER DOORS AND OPENINGS IN ROOMS OR PROVIDE 6" WALL RETURNS UNLESS NOTED OTHERWISE.
- REFERENCE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS, ASSEMBLY TAGS, AND DETAIL TAGS.
- REPRESENTS HEATED TRENCH DRAIN LOCATIONS.
- REF ROOF PLAN FOR SNOW FENCE LOCATIONS.
- DS INDICATES HEATED DOWNSPOUT. ALL DOWNSPOUTS TO BE TYPE-B UNLESS NOTED OTHERWISE.
- WALLS HAVE BEEN UPDATED TO REFLECT NEW, ASSEMBLY DETAILS, REF SHEETS AS 20-5.22 FOR ADDITIONAL INFORMATION.



1 FLOOR PLAN 111'-9" (SECOND LEVEL)
 A1.02 3/16" = 1'-0"



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ELECTRICAL
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STRUCTURAL
 Martin Martin
 Russell Engineering 970.385.4546
 Martin Martin 970.926.6007

REFLECTIONS AT ELK LAKE
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ISSUE	No.	DATE	COMMENT
D	08/09/2019	DESIGN DEV	
E	07/11/2019	50% CD SET	
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J	07/22/2021	FINAL DESIGN REVIEW	

KEY PLAN

FLOOR PLAN 111'-9" (SECOND LEVEL)

PROJECT	20182606.00	ORIGIN DATE	11/13/2018
DRAWN BY	JBU/BR	CHK BY	TRV BY
SHEET No.	A1.02		
SCALE	AS SHOWN		



FLOOR PLAN SHEET GENERAL NOTES

- ALL INTERIOR WALL ASSEMBLIES TYPE - P1 UNLESS SHOWN OTHERWISE.
- ALL EXTERIOR WALL ASSEMBLIES TYPE - W10 UNLESS SHOWN OTHERWISE.
- ALL FLOOR ASSEMBLIES TYPE - F1 UNLESS NOTED OTHERWISE ON FLOOR PLAN OR RCP.
- DRAWING REVISIONS ARE INDICATED BY X.
- CENTER DOORS AND OPENINGS IN ROOMS OR PROVIDE 8" WALL RETURNS UNLESS NOTED OTHERWISE.
- REFERENCE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS, ASSEMBLY TAGS, AND DETAIL TAGS.
- REPRESENTS HEATED TRENCH DRAIN LOCATIONS.
- REF ROOF PLAN FOR SNOW FENCE LOCATIONS.
- DS INDICATES HEATED DOWNSPOUT. ALL DOWNSPOUTS TO BE TYPE - B UNLESS NOTED OTHERWISE.
- WALLS HAVE BEEN UPDATED TO REFLECT NEW ASSEMBLY DETAILS, REF SHEETS A5.20-5.22 FOR ADDITIONAL INFORMATION.

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REFLECTIONS AT ELK LAKE
 TOWN OF MOUNTAIN VILLAGE, COLORADO

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J	07/22/2021	FINAL DESIGN REVIEW	

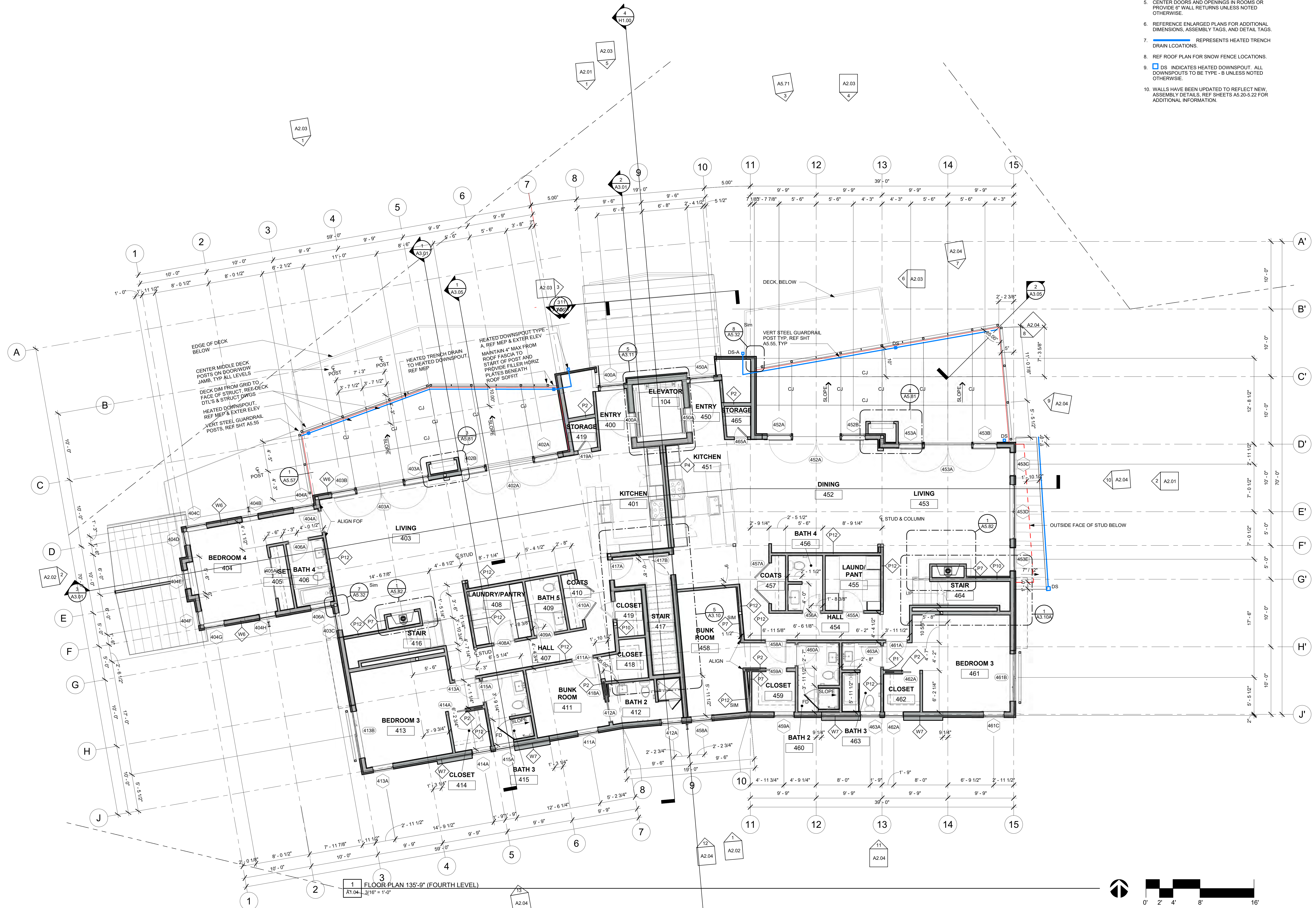
FLOOR PLAN 123'-9" (THIRD LEVEL)

PROJECT	20182606.00	ORIGIN DATE	11/13/2018
DRAWN BY	JBU/BR	CHK BY	TRV BY

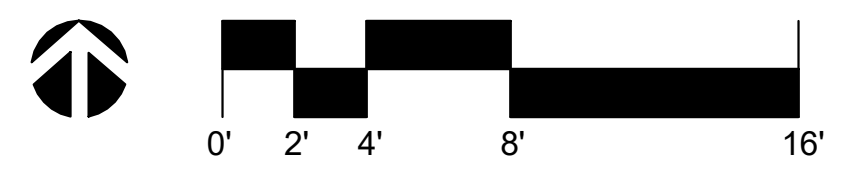
SHEET No. **A1.03**
 SCALE: AS SHOWN

FLOOR PLAN SHEET GENERAL NOTES

- ALL INTERIOR WALL ASSEMBLIES TYPE P1 UNLESS SHOWN OTHERWISE.
- ALL EXTERIOR WALL ASSEMBLIES TYPE W10 UNLESS SHOWN OTHERWISE.
- ALL FLOOR ASSEMBLIES TYPE F1 UNLESS NOTED OTHERWISE ON FLOOR PLAN OR RCP.
- DRAWING REVISIONS ARE INDICATED BY X.
- CENTER DOORS AND OPENINGS IN ROOMS OR PROVIDE 6" WALL RETURNS UNLESS NOTED OTHERWISE.
- REFERENCE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS, ASSEMBLY TAGS, AND DETAIL TAGS.
- REPRESENTS HEATED TRENCH DRAIN LOCATIONS.
- REF ROOF PLAN FOR SNOW FENCE LOCATIONS.
- DS INDICATES HEATED DOWNSPOUT. ALL DOWNSPOUTS TO BE TYPE - B UNLESS NOTED OTHERWISE.
- WALLS HAVE BEEN UPDATED TO REFLECT NEW ASSEMBLY DETAILS. REF SHEETS A5-20-22 FOR ADDITIONAL INFORMATION.



1 FLOOR PLAN 135'-9" (FOURTH LEVEL)
A1.04 - 3/16" = 1'-0"



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KEY PLAN

FLOOR PLAN
135'-9" (FOURTH LEVEL)

PROJECT No.	20182606.00	ORIGIN DATE	11/13/2018
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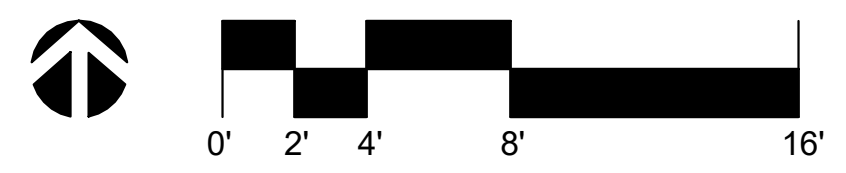
SHEET No. **A1.04**
SCALE: AS SHOWN

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- FLOOR PLAN SHEET GENERAL NOTES**
- ALL INTERIOR WALL ASSEMBLIES TYPE P1 UNLESS SHOWN OTHERWISE.
 - ALL EXTERIOR WALL ASSEMBLIES TYPE W10 UNLESS SHOWN OTHERWISE.
 - ALL FLOOR ASSEMBLIES TYPE UNLESS NOTED OTHERWISE ON FLOOR PLAN OR RCP.
 - DRAWING REVISIONS ARE INDICATED BY X.
 - CENTER DOORS AND OPENINGS IN ROOMS OR PROVIDE 6" WALL RETURNS UNLESS NOTED OTHERWISE.
 - REFERENCE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS, ASSEMBLY TAGS, AND DETAIL TAGS.
 - REPRESENTS HEATED TRENCH DRAIN LOCATIONS.
 - REF ROOF PLAN FOR SNOW FENCE LOCATIONS.
 - DS INDICATES HEATED DOWNSPOUT. ALL DOWNSPOUTS TO BE TYPE - B UNLESS NOTED OTHERWISE.
 - WALLS HAVE BEEN UPDATED TO REFLECT NEW ASSEMBLY DETAILS. REF SHEETS A5.20-5.22 FOR ADDITIONAL INFORMATION.

1 FLOOR PLAN 147'-9" (FIFTH LEVEL)
A1.05 3/16" = 1'-0"



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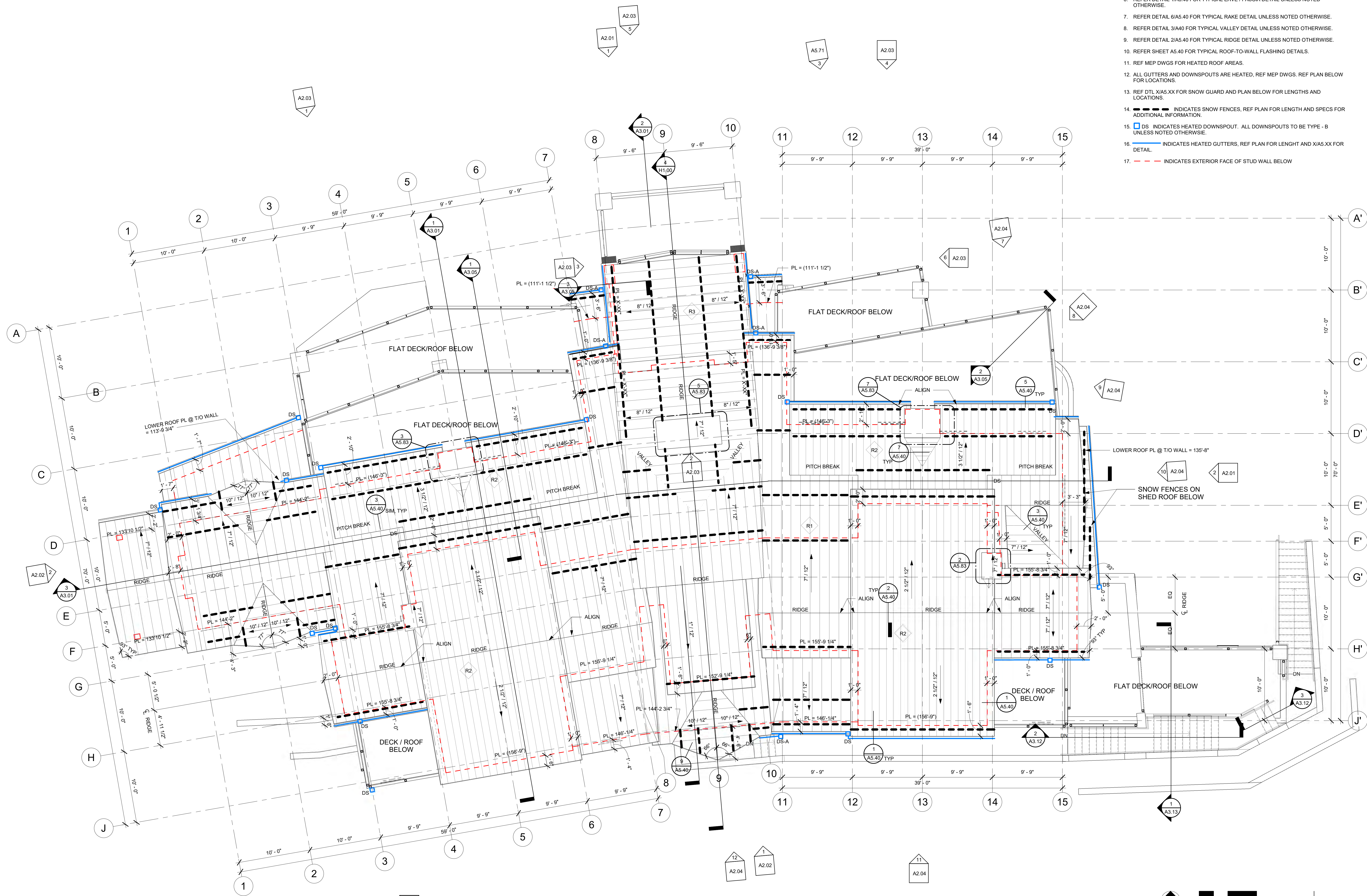
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D	08/08/2019	DESIGN DEV	
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G	06/18/2020	DESIGN REVIEW	
J	07/22/2021	FINAL DESIGN REVIEW	

FLOOR PLAN
147'-9" (FIFTH LEVEL)

PROJECT No. 20182606.00
ORIGIN DATE 11/13/2018
DRAWN BY JB/JBR
CHK BY TL
TRV BY

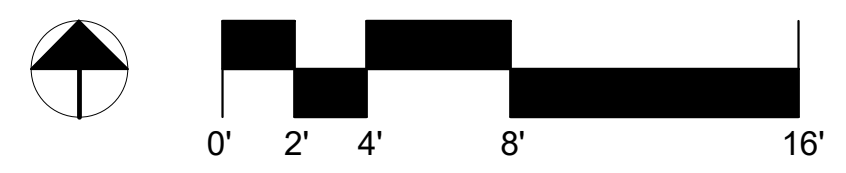
SHEET No. **A1.05**
SCALE: AS SHOWN



ROOF PLAN SHEET GENERAL NOTES

- (xxx'-x") INDICATES PLATE HEIGHTS, RELATIVE TO 100'-0" DATUM.
- ALL ROOF ASSEMBLIES TYPE **R1** UNLESS NOTED OTHERWISE ON ROOF PLAN OR RCPS:
 A. TYPE **R1** AND **R3** DENOTES METAL STANDING SEAM, PRE-WEAHTERED GALVALUME.
 B. TYPE **R2** DENOTES METAL STANDING SEAM, RED ZINC.
- ALL OVERHANG DIMENSIONS ARE FROM EXTERIOR FACE OF EXTERIOR STUD TO EXTERIOR FACE OF STRUCTURAL RAFTER, UNLESS NOTED OTHERWISE.
- DS** DENOTES FLUES AND VENTS, PAINT BLACK. REF MEP DWGS FOR ALL LOCATIONS REF A5.40 SERIES FOR DETAILS.
- REF MECHANICAL DWGS FOR PRECISE LOCATIONS OF ROOF PENETRATIONS.
- REFER DETAIL 1/A5.40 FOR TYPICAL EAVE / FASCIA DETAIL UNLESS NOTED OTHERWISE.
- REFER DETAIL 6/A5.40 FOR TYPICAL RAKE DETAIL UNLESS NOTED OTHERWISE.
- REFER DETAIL 3/A40 FOR TYPICAL VALLEY DETAIL UNLESS NOTED OTHERWISE.
- REFER DETAIL 2/A5.40 FOR TYPICAL RIDGE DETAIL UNLESS NOTED OTHERWISE.
- REFER SHEET A5.40 FOR TYPICAL ROOF-TO-WALL FLASHING DETAILS.
- REF MEP DWGS FOR HEATED ROOF AREAS.
- ALL GUTTERS AND DOWNSPOUTS ARE HEATED. REF MEP DWGS. REF PLAN BELOW FOR LOCATIONS.
- REF DTL XIA5.XX FOR SNOW GUARD AND PLAN BELOW FOR LENGTHS AND LOCATIONS.
- INDICATES SNOW FENCES. REF PLAN FOR LENGTH AND SPECS FOR ADDITIONAL INFORMATION.
- DS** INDICATES HEATED DOWNSPOUT. ALL DOWNSPOUTS TO BE TYPE - B UNLESS NOTED OTHERWISE.
- INDICATES HEATED GUTTERS. REF PLAN FOR LENGTH AND XIA5.XX FOR DETAIL.
- INDICATES EXTERIOR FACE OF STUD WALL BELOW.

1 ROOF PLAN
A1.06 3/16" = 1'-0"



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KEY PLAN

ROOF PLAN

PROJECT	20182606.00	ORIGIN DATE	11/13/2018
DRAWN BY	Author	CHK BY	TL
SHEET No. A1.06		SCALE: AS SHOWN	



2 EAST ELEVATION (ENTRY)
A2.01 1/8" = 1'-0"



1 NORTH ELEVATION
A2.01 1/8" = 1'-0"

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B	02/15/2019	DESIGN REVIEW
C	03/06/2019	DESIGN REVIEW REV
D	06/06/2019	DESIGN DEV
E	07/11/2019	90% CDD
F	09/11/2019	PERMIT SET
G	06/18/2020	DESIGN REVIEW
H	12/09/2020	PERMIT REISSUE
J	07/22/2021	FINAL DESIGN REVIEW

KEY PLAN

EXTERIOR ELEVATIONS

PROJECT No.	ORIGIN DATE	
20182606.00	11/02/2018	
DRAWN BY	CHK BY	TRV BY
TL	TL	JB

SHEET No. **A2.01**
SCALE: AS SHOWN



2 WEST ELEVATION
A2.02 1/8" = 1'-0"



1 SOUTH ELEVATION
A2.02 1/8" = 1'-0"

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C	03/06/2019	DESIGN REVIEW REV
D	06/06/2019	DESIGN DEV
E	07/11/2019	50% CDA
F	08/12/2019	PERMIT SET
G	06/18/2020	DESIGN REVIEW
H	12/09/2020	PERMIT RESUB
J	07/22/2021	FINAL DESIGN REVIEW

KEY PLAN

EXTERIOR ELEVATIONS

PROJECT No.	ORIGIN DATE
20182606.00	11/02/2018
DRAWN BY	CHK BY
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TRV BY	

SHEET No.
A2.02
SCALE: AS SHOWN



CORTEN AZP RAW
MANUFACTURER: BRIDGER STEEL

8 METAL PANEL
A2.03 NTS



COLOR: CORDOVAN BROWN SEMI SOLID STAIN
MANUFACTURER: BENJAMIN MOORE

7 WOOD FASCIA
A2.03 NTS



EXTERIOR COLOR: DARK BRONZE
MANUFACTURER: SIERRA PACIFIC

6 WINDOWS
A2.03 NTS



EXTERIOR COLOR: VICTORIAN SERIES: MODULINE
MANUFACTURER: BELGARD

5 PAVERS
A2.03 NTS



2" SNAP LOCK STANDING SEAM MTL ROOFING
FINISH: SILVER
MANUFACTURER: DREXEL METALS

4 STANDING SEAM MTL ROOF
A2.03 NTS



ASPEN BLEND
SUPPLIER: GALLEGOS CORPORATION

9 STONE
A2.03 NTS



8" FIRE TREATED, STAINED, CHANNEL RUSTIC CEDAR SIDING
COLOR: BEECHWOOD GRAY, SEMI TRANSPARENT
MANUFACTURER: CABOT

10 WOOD SIDING
A2.03 NTS



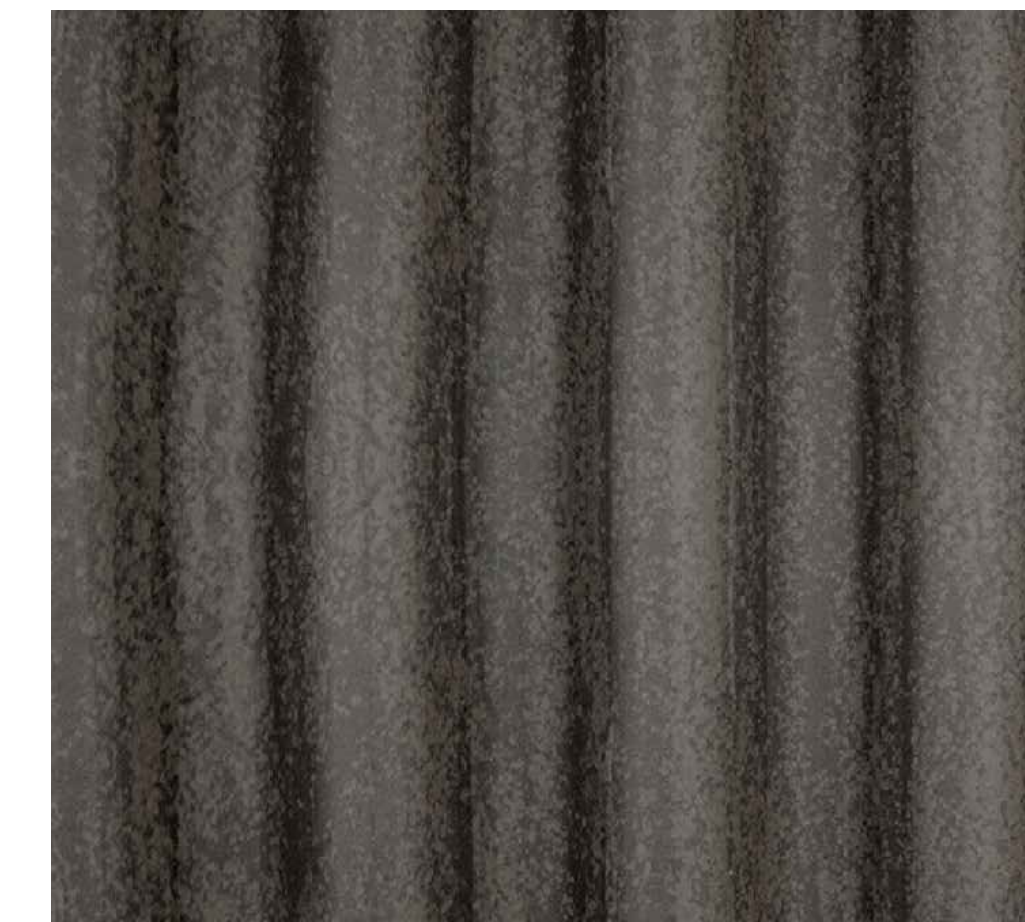
2 EAST ELEVATION (ENTRY)
A2.01 1/8" = 1'-0"

11 EAST ELEVATION (ENTRY)
A2.03 NTS



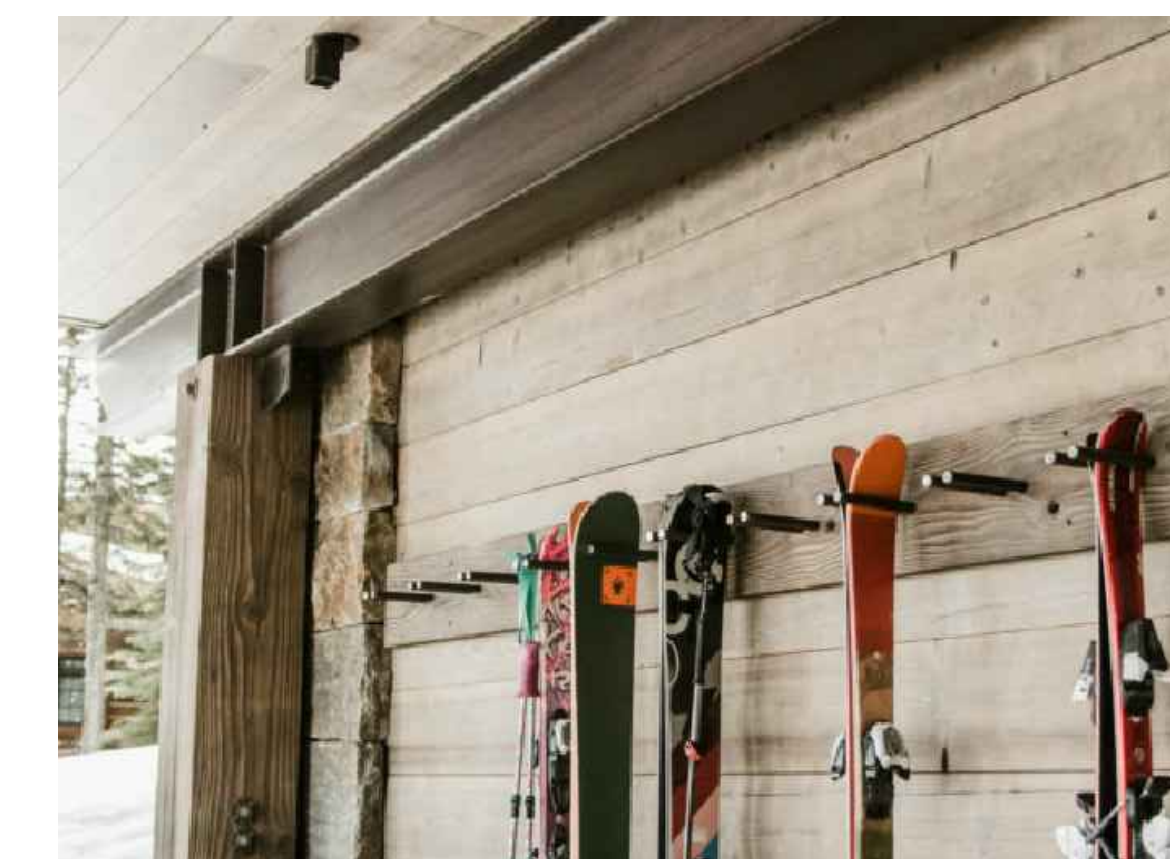
2" SNAP LOCK STANDING SEAM MTL ROOFING
FINISH: MUSKET GRAY
MANUFACTURER: DREXEL METALS

3 METAL SHINGLE ROOF
A2.03 NTS



7/8 " CORRUGATED SIDING
FINISH: PENETROL WITH LAQUER TOP COAT
MANUFACTURER: BRIDGER STEEL

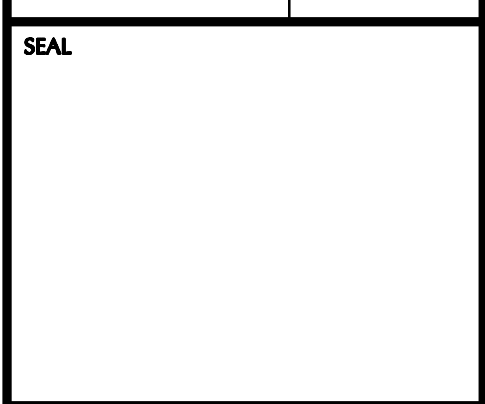
2 CORRUGATED SIDING
A2.03 NTS



EXPOSED STEEL BEAMS AND GUARDRAILS
FINISH: PENETROL WITH LAQUER TOP COAT

1 EXPOSED STEEL BEAMS AND GUARD RAILS
A2.03 NTS

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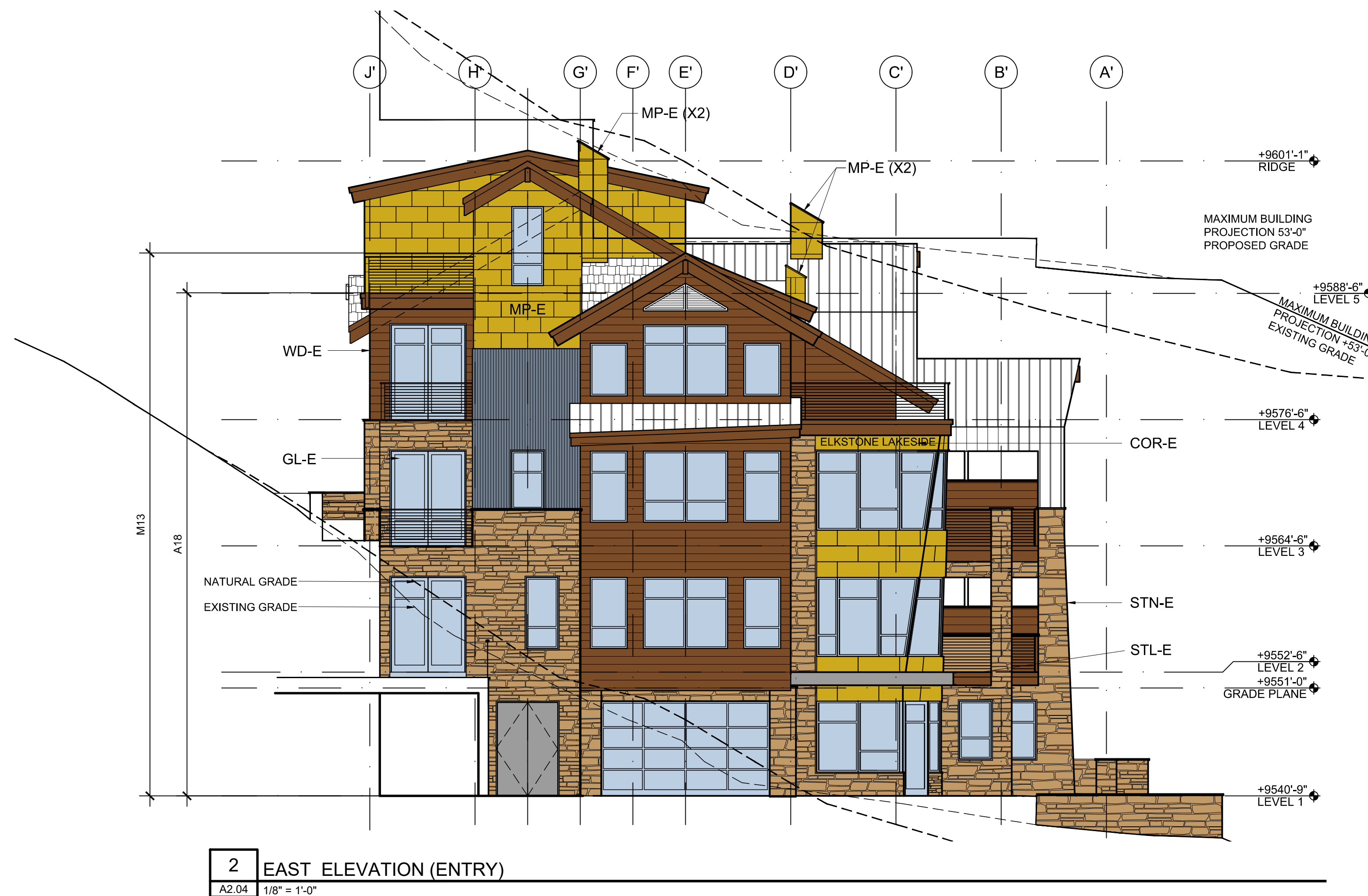
No.	DATE	COMMENT
A	01/23/2018	PLANNING & ZONING
B	02/15/2019	DESIGN REVIEW
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KEY PLAN

PROPOSED EXTERIOR MATERIALS

PROJECT No.	ORIGIN DATE
20182606.00	11/02/2018
DRAWN BY	CHK BY
JBR	TL
	TRV BY

SHEET No. **A2.05**
SCALE: AS SHOWN



2 EAST ELEVATION (ENTRY)
A2.04 1/8" = 1'-0"



1 NORTH ELEVATION
A2.04 1/8" = 1'-0"

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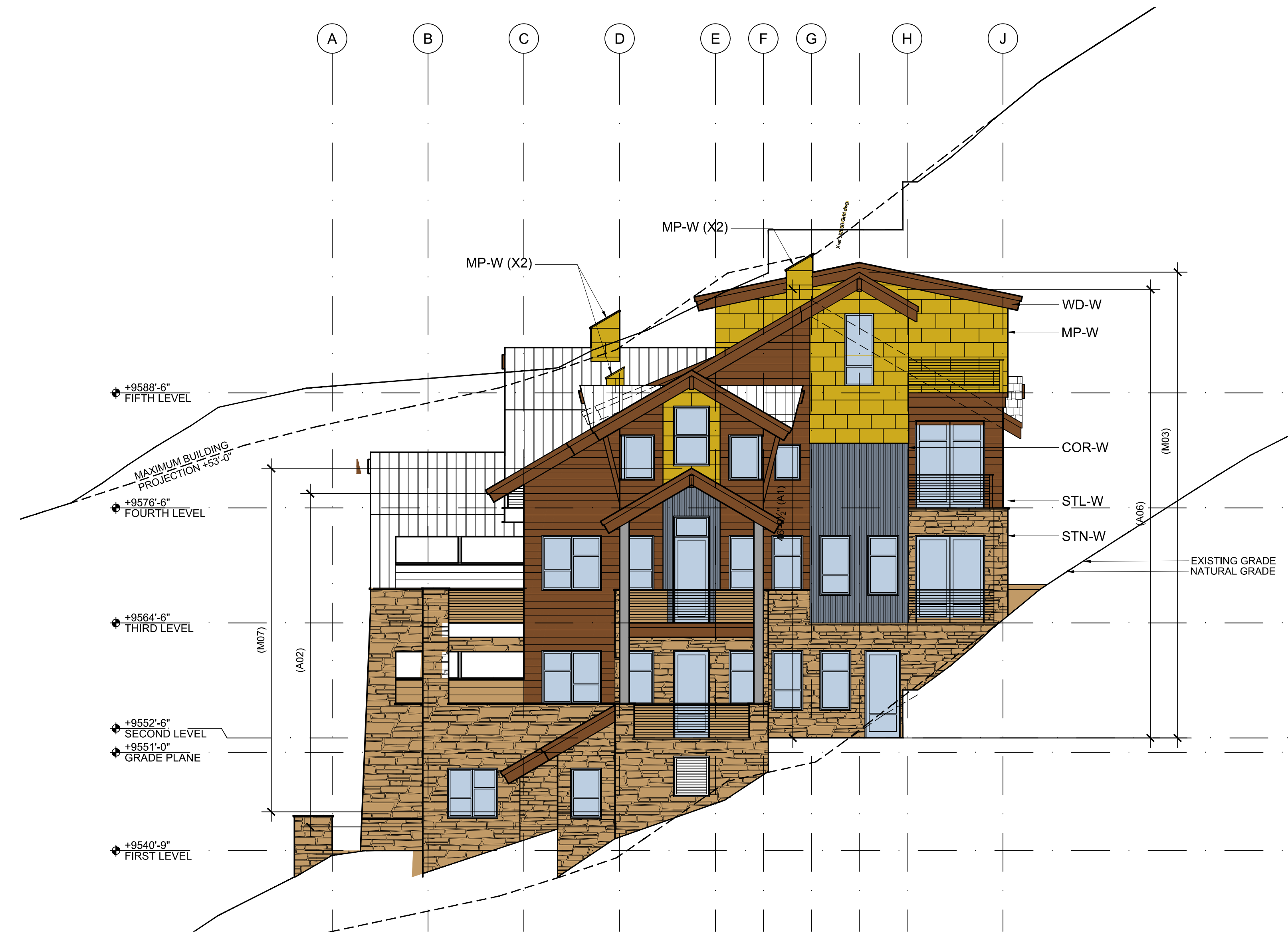
No.	DATE	COMMENT
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B	02/15/2019	DESIGN REVIEW
C	03/06/2019	DESIGN REVIEW REV
D	06/06/2019	DESIGN DEV
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F	09/12/2019	PERMIT SET
G	06/18/2020	DESIGN REVIEW
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KEY PLAN

EXTERIOR MATERIALS TAKE-OFF

PROJECT No.	ORIGIN DATE
20182606.00	11/02/2018
DRAWN BY	CHK BY TRV BY
JBR	TL

SHEET No. **A2.06**
SCALE: AS SHOWN



2 WEST ELEVATION
A2.05 1/8" = 1'-0"



1 SOUTH ELEVATION
A2.05 1/8" = 1'-0"

6/22/2020

Material	Identification ID	Area (SQ FT)	% of Total
Metal Panel (MP)			
	MP-N	789	
	MP-E	415	
	MP-W	317	
	MP-S	656	
Total (MP)		2177	12%
Glazing (GL)			
	GL-N	2413	
	GL-E	1001	
	GL-W	613	
	GL-S	653	
Total (GL)		4680	26%
Wood Siding / Fascia (WD)			
	WD-N	1360	
	WD-E	863	
	WD-W	618	
	WD-S	1029	
Total (WD)		3870	21%
Stone (STN)			
	STN-N	1974	
	STN-Hidden-N	312	
	STN-E	760	
	STN-Hidden-E	540	
	STN-W	983	
	STN-Hidden-W	414	
	STN-S	1299	
	STN-Hidden-S	92	
Total (STN)		6375	35%
Corrugate (COR)			
	COR-N	214	
	COR-E	134	
	COR-W	187	
	COR-S	142	
Total (COR)		677	4%
Steel Beam / Mech Grate (STL)			
	STL-N	101	
	STL-E	73	
	STL-W	37	
	STL-S	84	
Total (STL)		295	2%
Total SF Material			
		18074	100%

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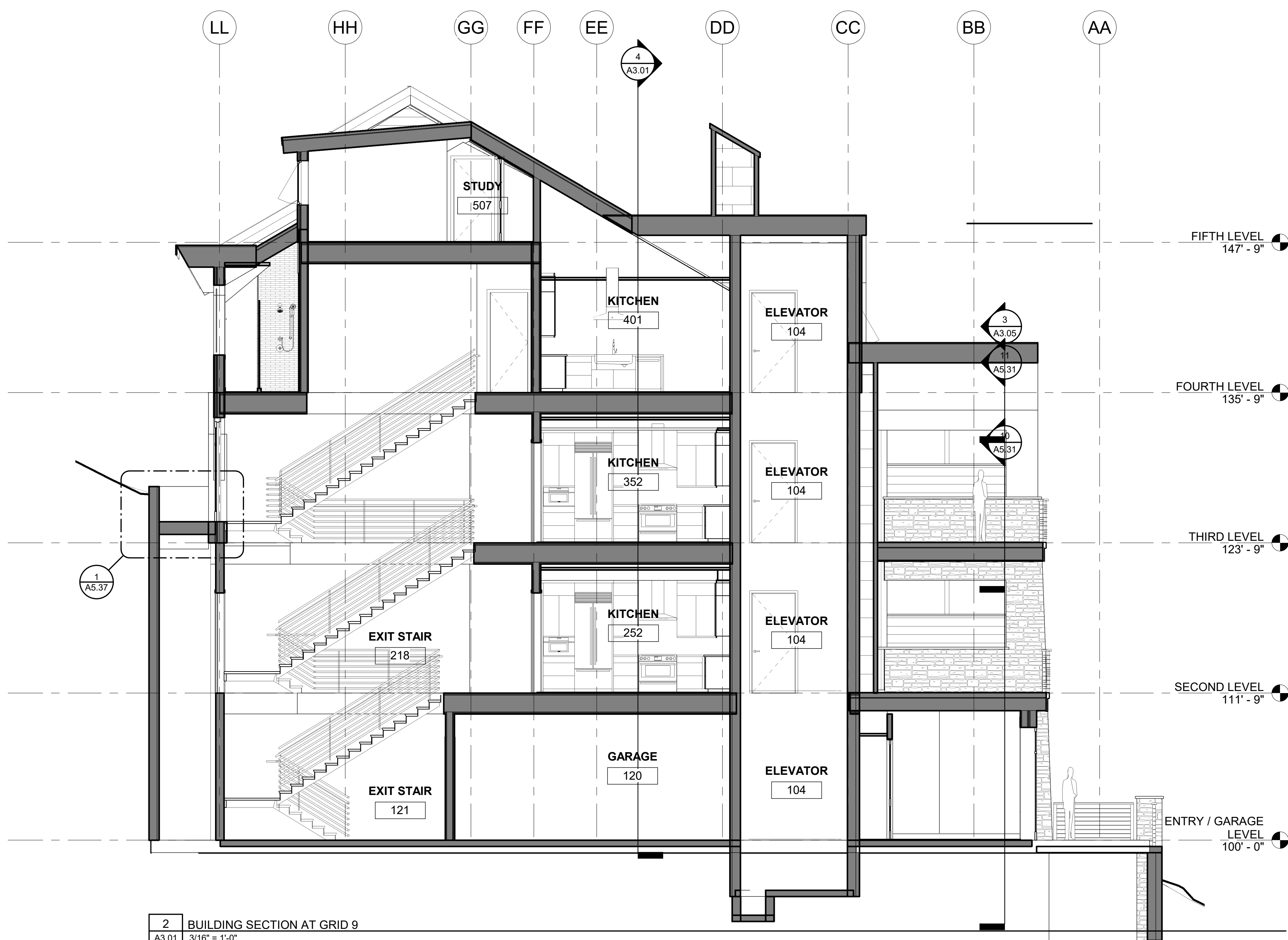
No.	DATE	COMMENT
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KEY PLAN

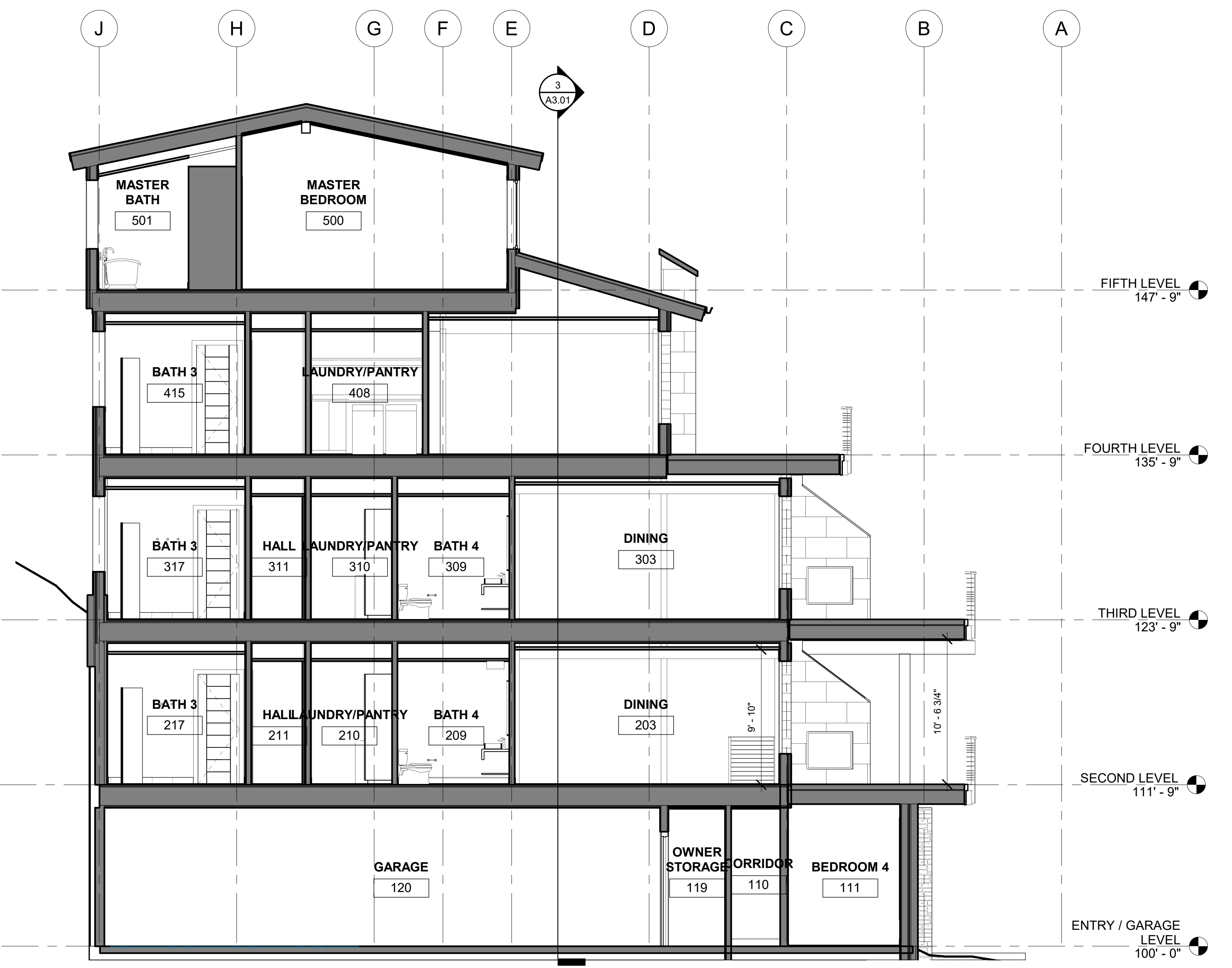
EXTERIOR MATERIALS TAKE-OFF

PROJECT No.	ORIGIN DATE
20182606.00	11/02/2018
DRAWN BY JBR	CHK BY TL
	TRV BY

SHEET No. **A2.07**
SCALE: AS SHOWN



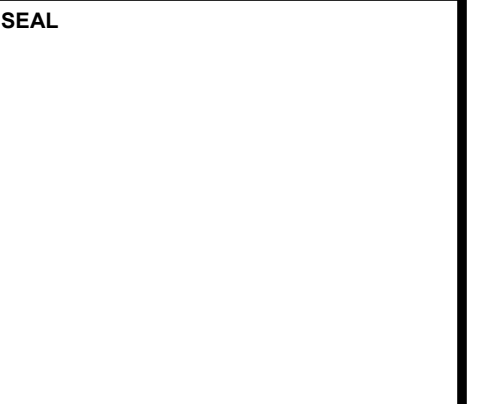
2 BUILDING SECTION AT GRID 9
A3.01 3/16" = 1'-0"



1 BUILDING SECTION AT GRID 5
A3.01 3/16" = 1'-0"



3 WEST-EAST BUILDING SECTION
A3.01 3/16" = 1'-0"



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KEY PLAN

BUILDING SECTIONS

PROJECT No.	20182606.00	ORIGIN DATE	11/13/2018
DRAWN BY	JB	CHK BY	TL
		TRV BY	

SHEET No. **A3.01**
SCALE: AS SHOWN



1 SITE SECTION
A3.01 1/16" = 1'-0"



KEYPLAN
1/64" = 1'-0"

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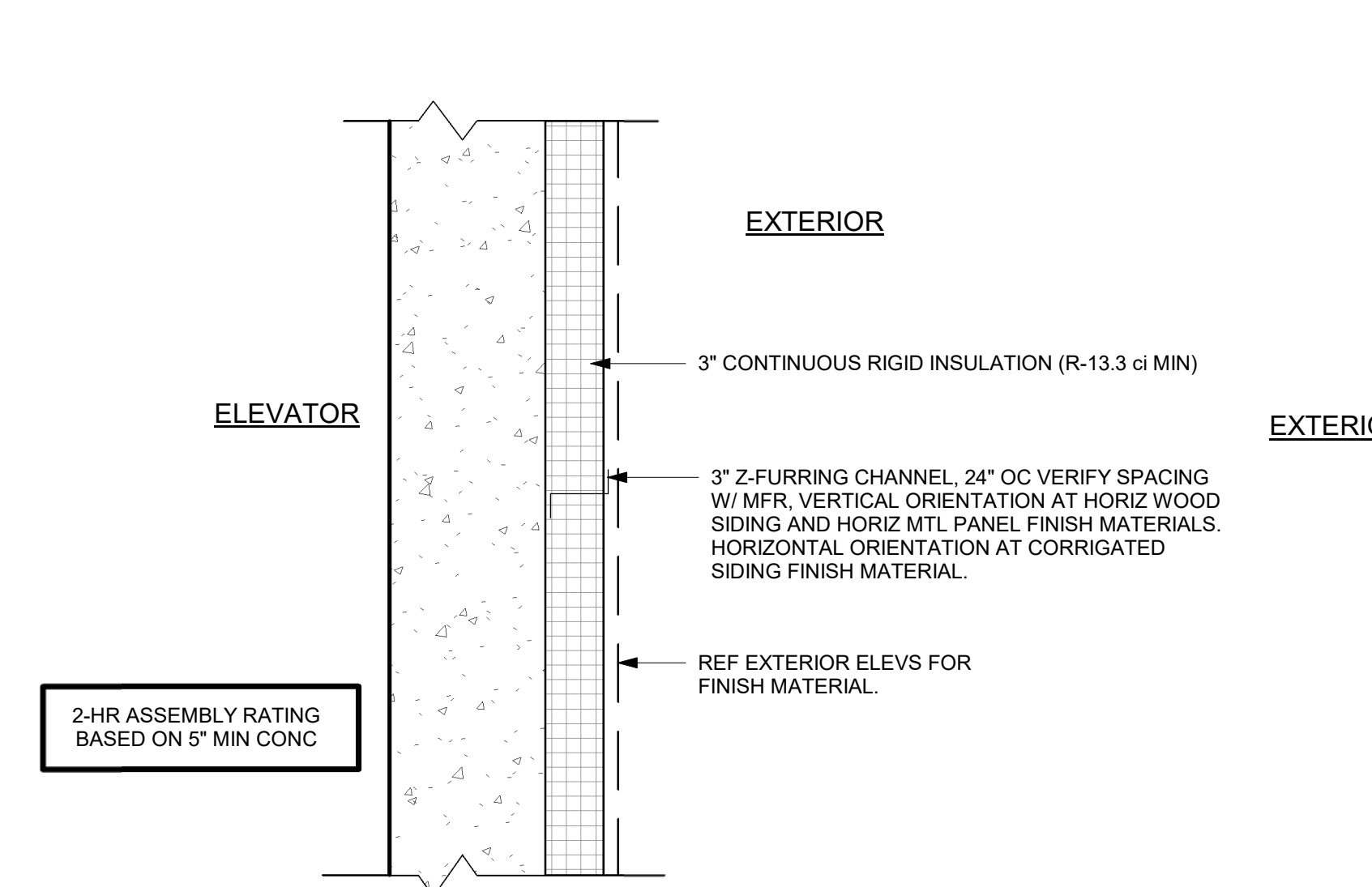
No.	DATE	COMMENT
A	01/22/2018	PLANNING & ZONING
B	02/15/2019	DESIGN REVIEW
C	03/06/2019	DESIGN REVIEW REV
D	06/06/2019	DESIGN DEV
E	07/11/2019	50% CDS
F	08/12/2019	PERMIT SET
G	08/16/2020	DESIGN REVIEW
H	12/09/2020	PERMIT REISSUE
J	07/22/2021	FINAL DESIGN REVIEW

KEY PLAN

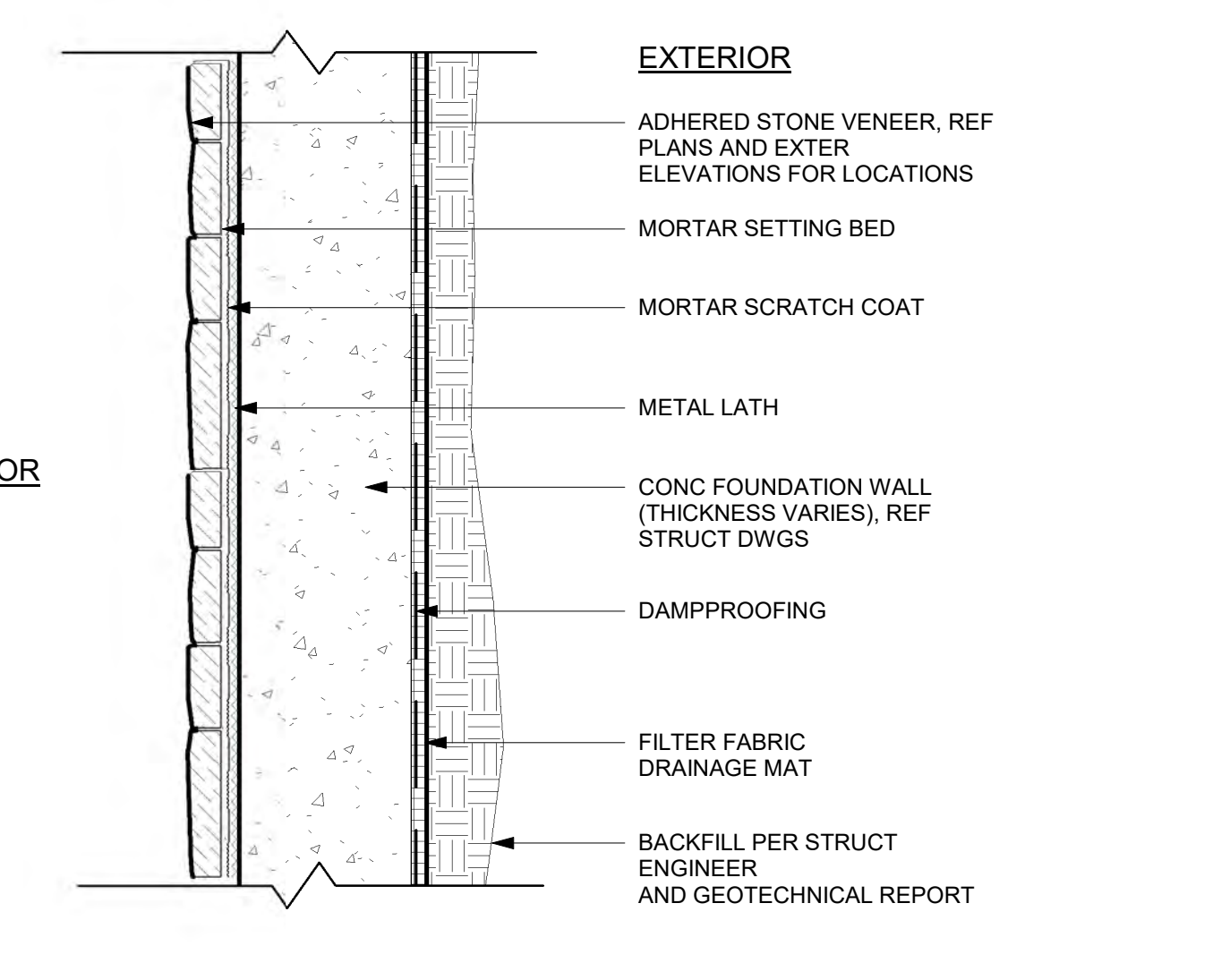
SITE SECTION

PROJECT No.	ORIGIN DATE	
20182606.00	11/02/2018	
DRAWN BY	CHK BY	TRV BY
JBR	TL	TL

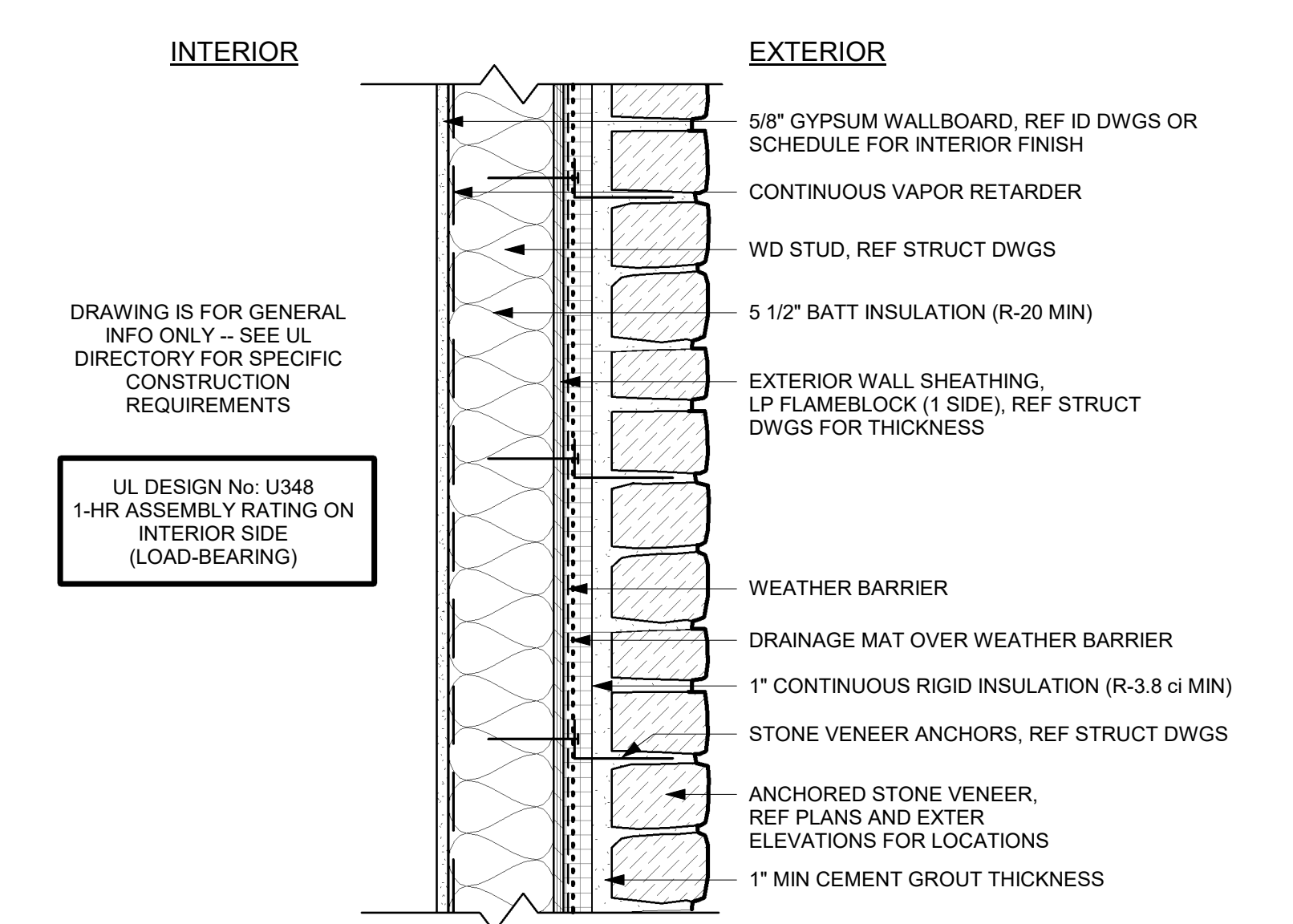
SHEET No. **A3.02**
SCALE: AS SHOWN



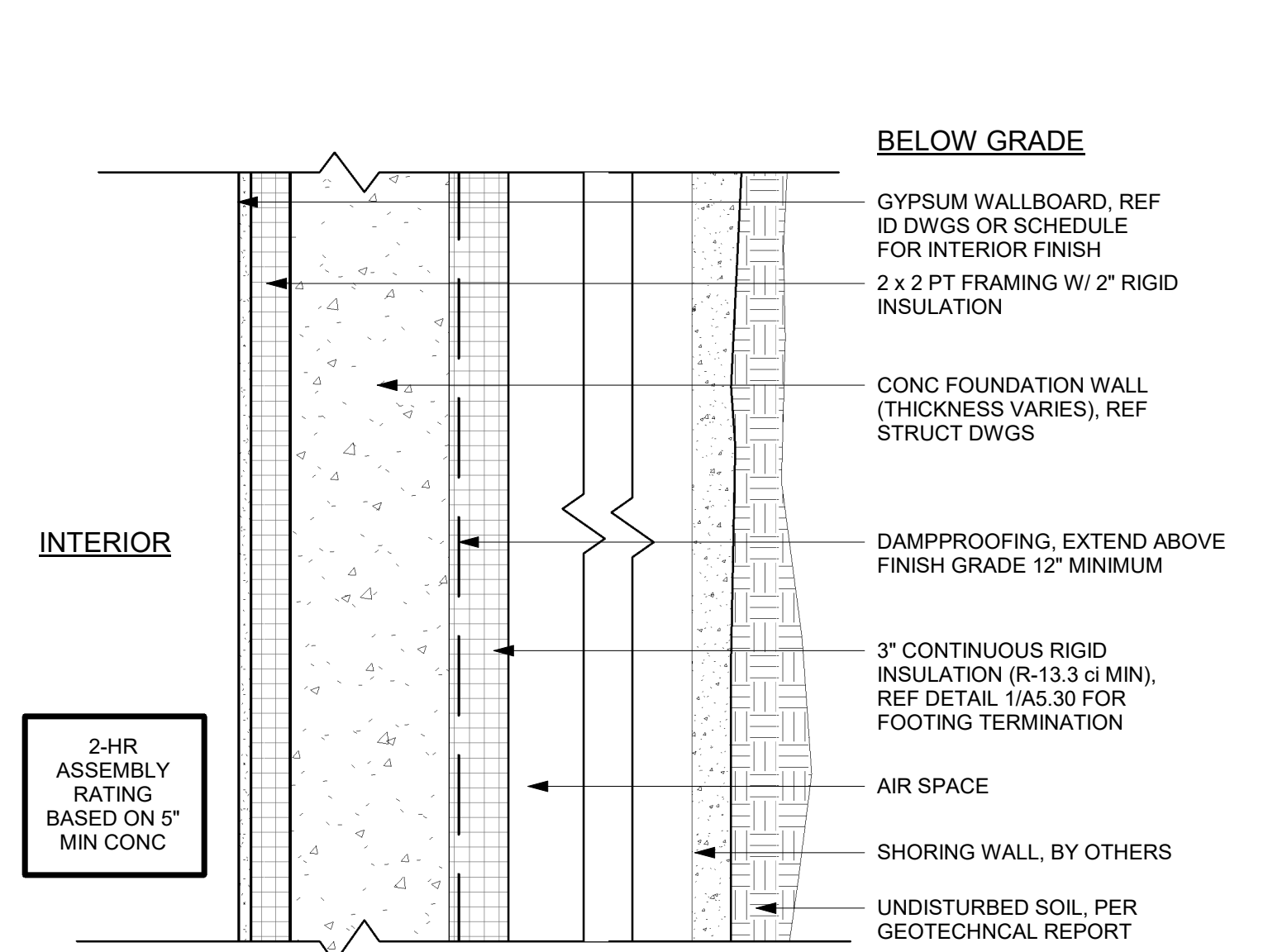
W8 TYPE W8 EXTERIOR WALL ASSEMBLY
A5.20 1 1/2" = 1'-0"



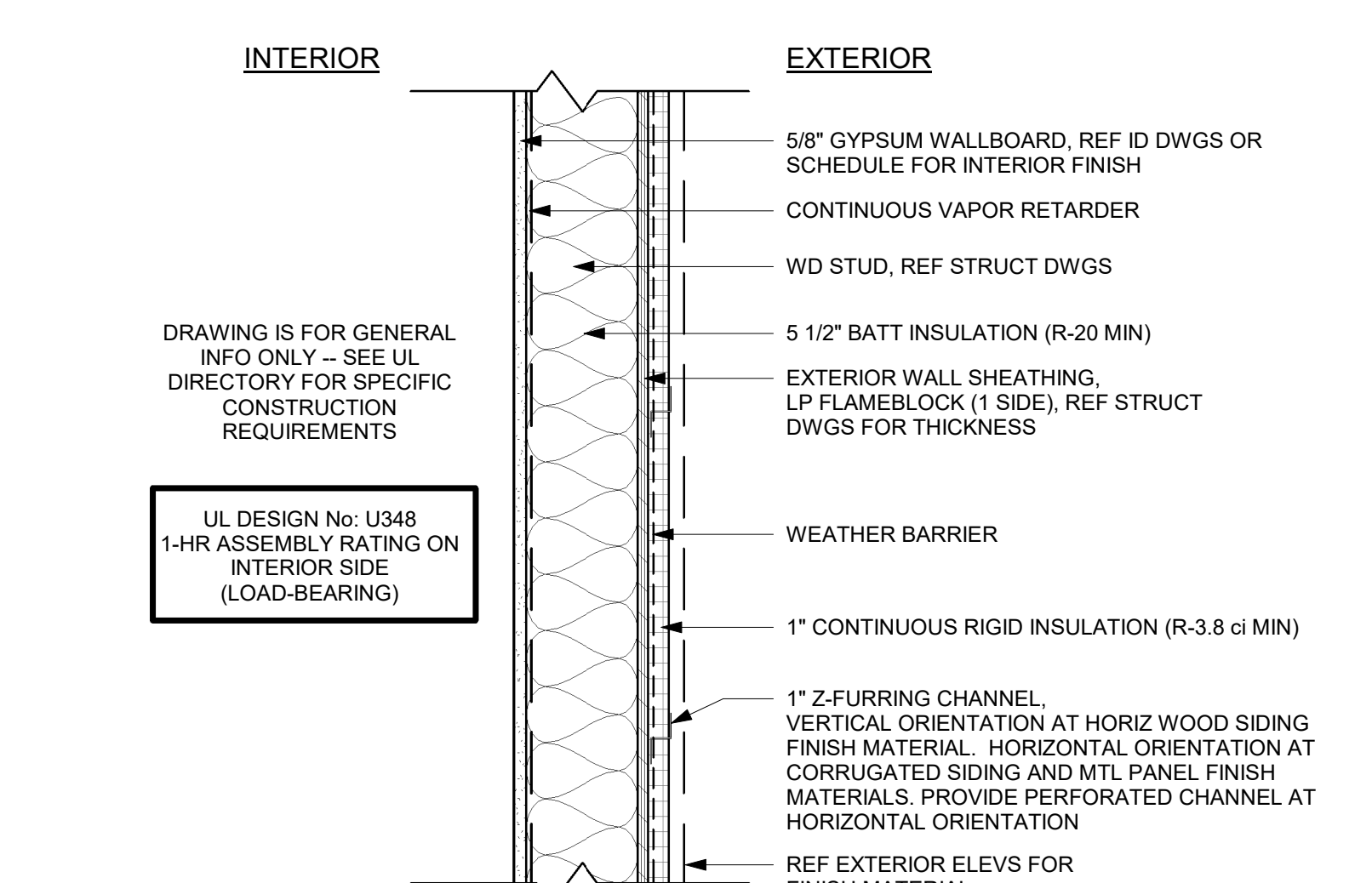
W4 TYPE W4 EXTERIOR WALL ASSEMBLY
A5.20 1 1/2" = 1'-0"



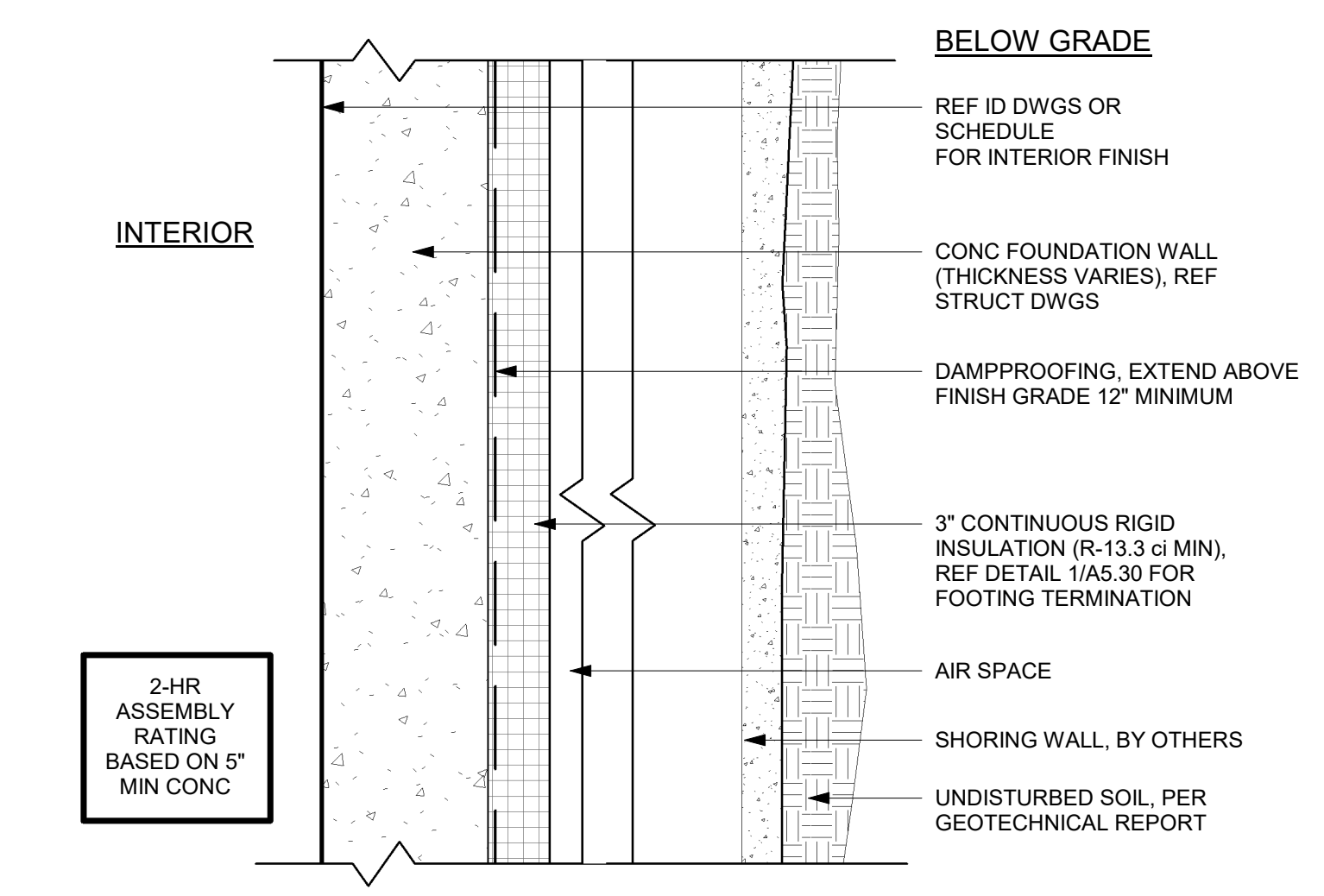
W7 TYPE W7 EXTERIOR WALL ASSEMBLY
A5.20 1 1/2" = 1'-0"



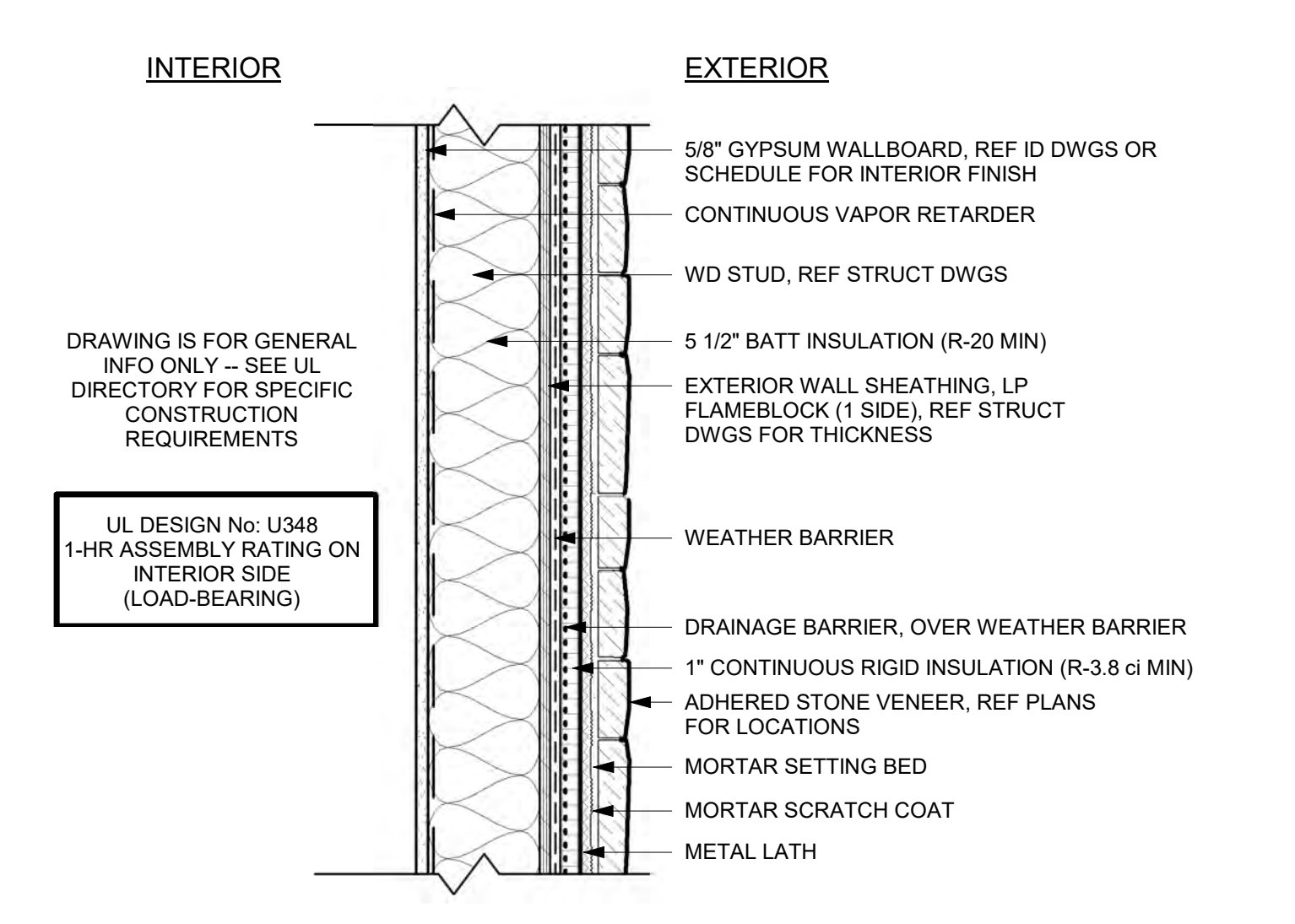
W3 TYPE W3 EXTERIOR WALL ASSEMBLY
A5.20 1 1/2" = 1'-0"



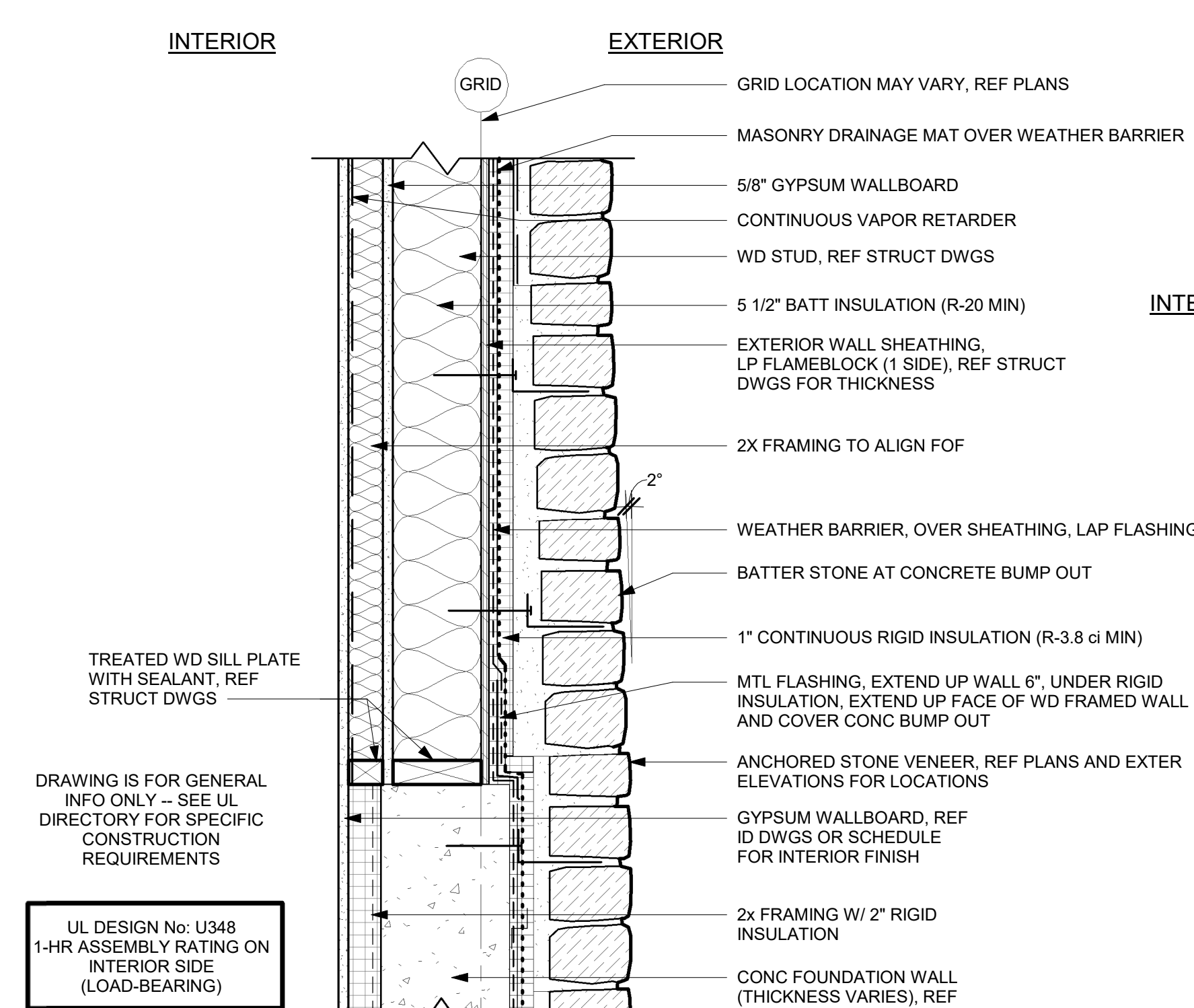
W6 TYPE W6 EXTERIOR WALL ASSEMBLY
A5.20 1 1/2" = 1'-0"



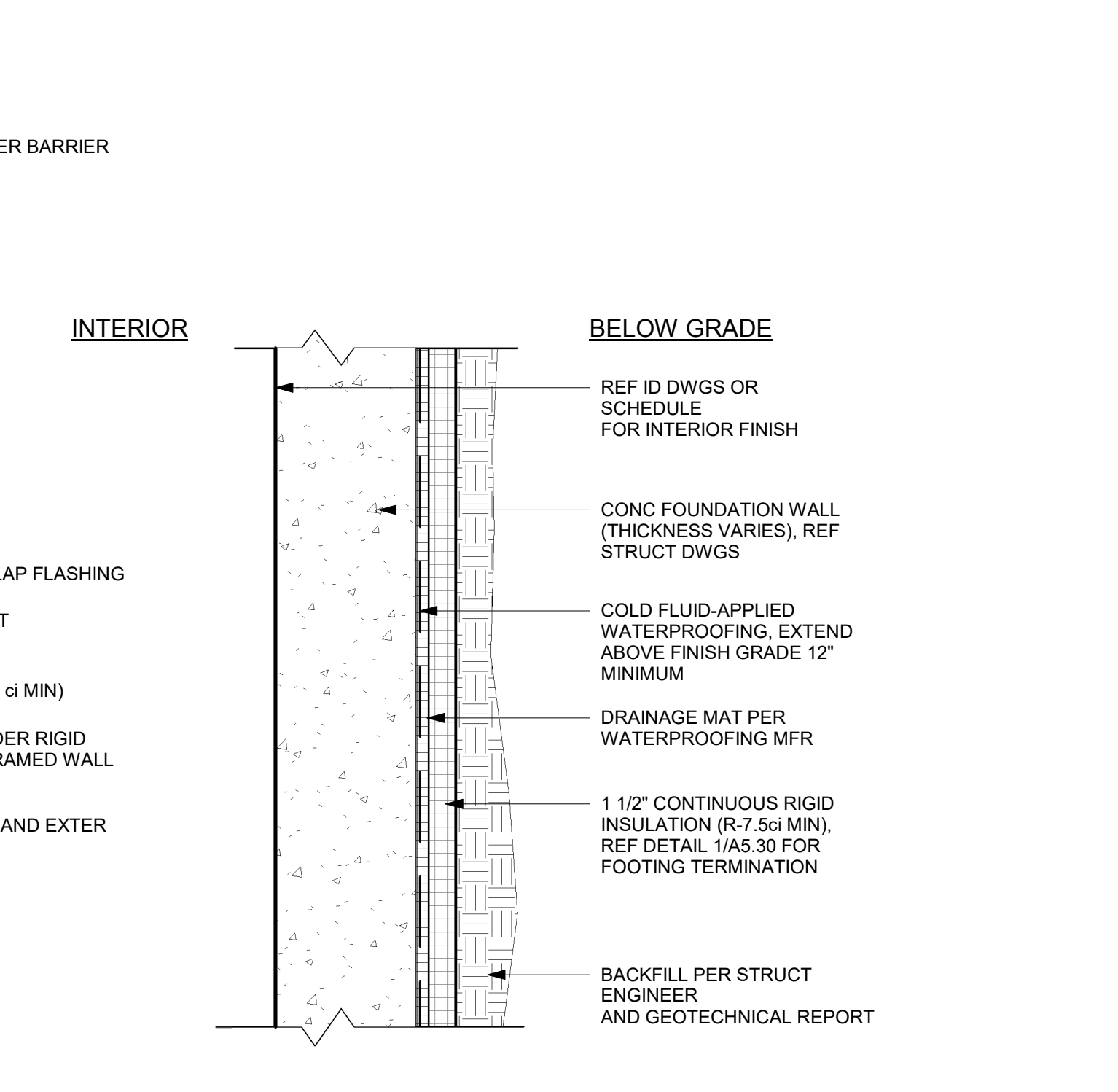
W2 TYPE W2 EXTERIOR WALL ASSEMBLY
A5.20 1 1/2" = 1'-0"



W13 TYPE W13 EXTERIOR WALL ASSEMBLY
A5.20 1 1/2" = 1'-0"



W5 TYPE W5 EXTERIOR WALL ASSEMBLY - (CONDITION 3)
A5.20 1 1/2" = 1'-0"



W1 TYPE W1 EXTERIOR WALL ASSEMBLY
A5.20 1 1/2" = 1'-0"

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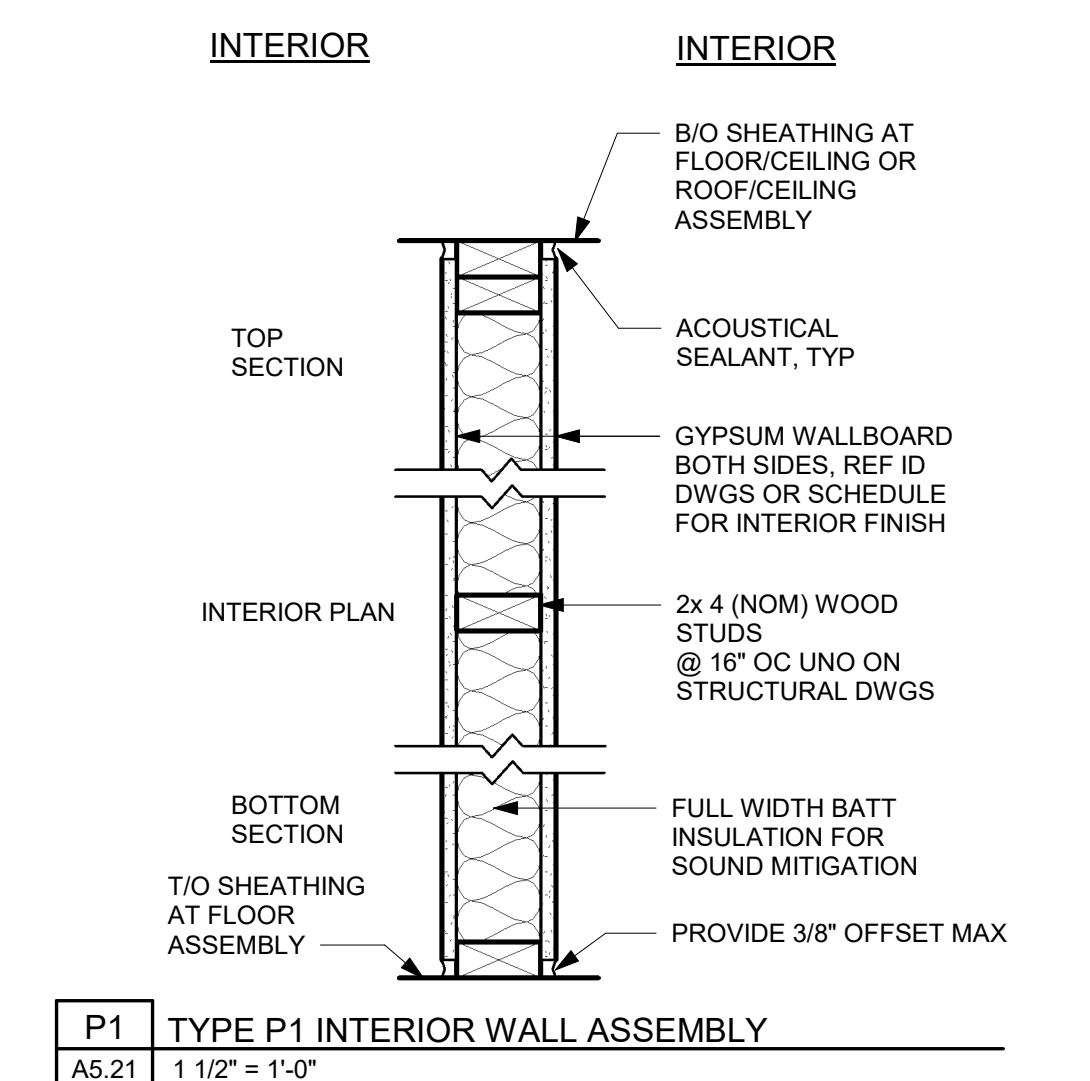
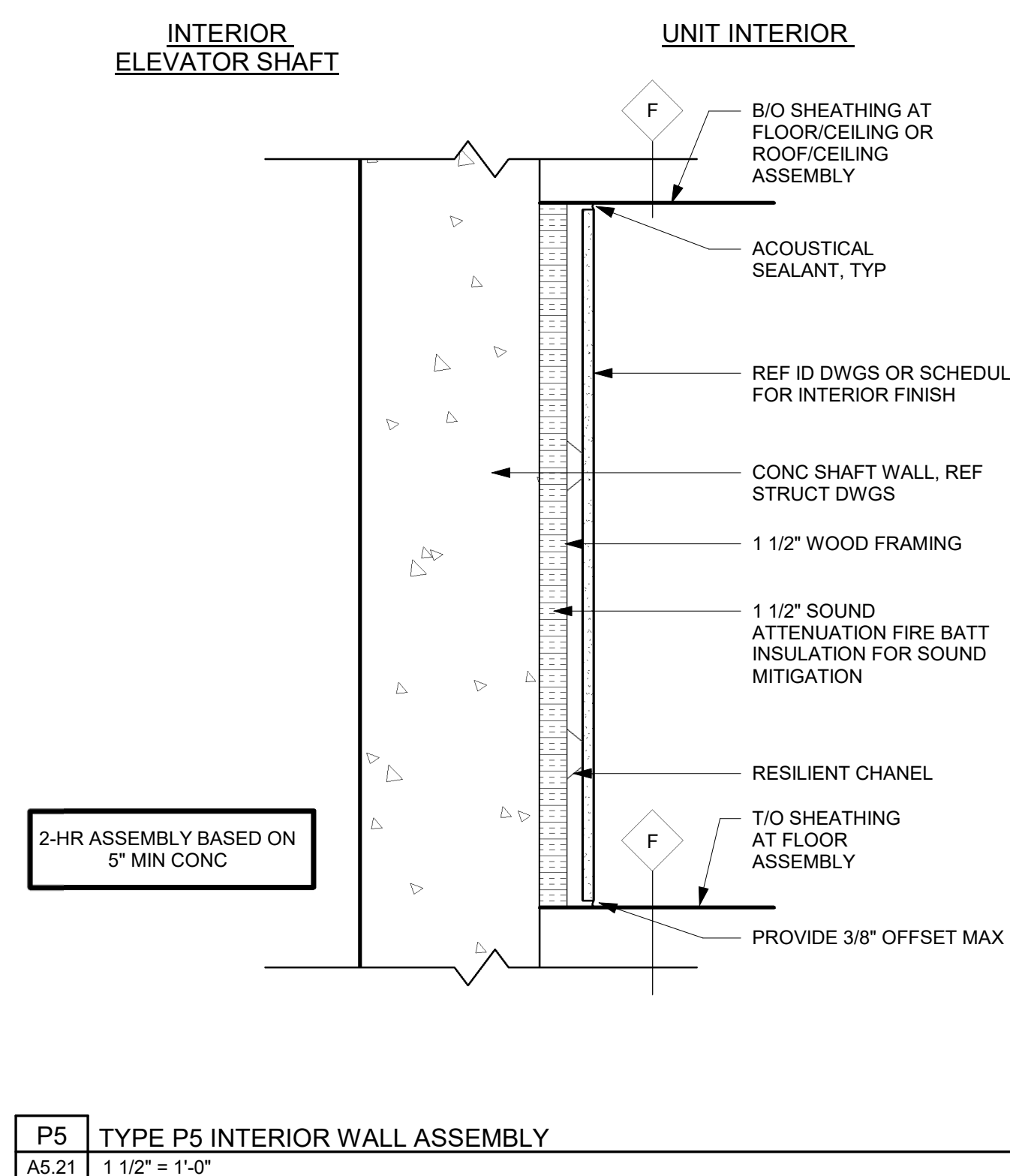
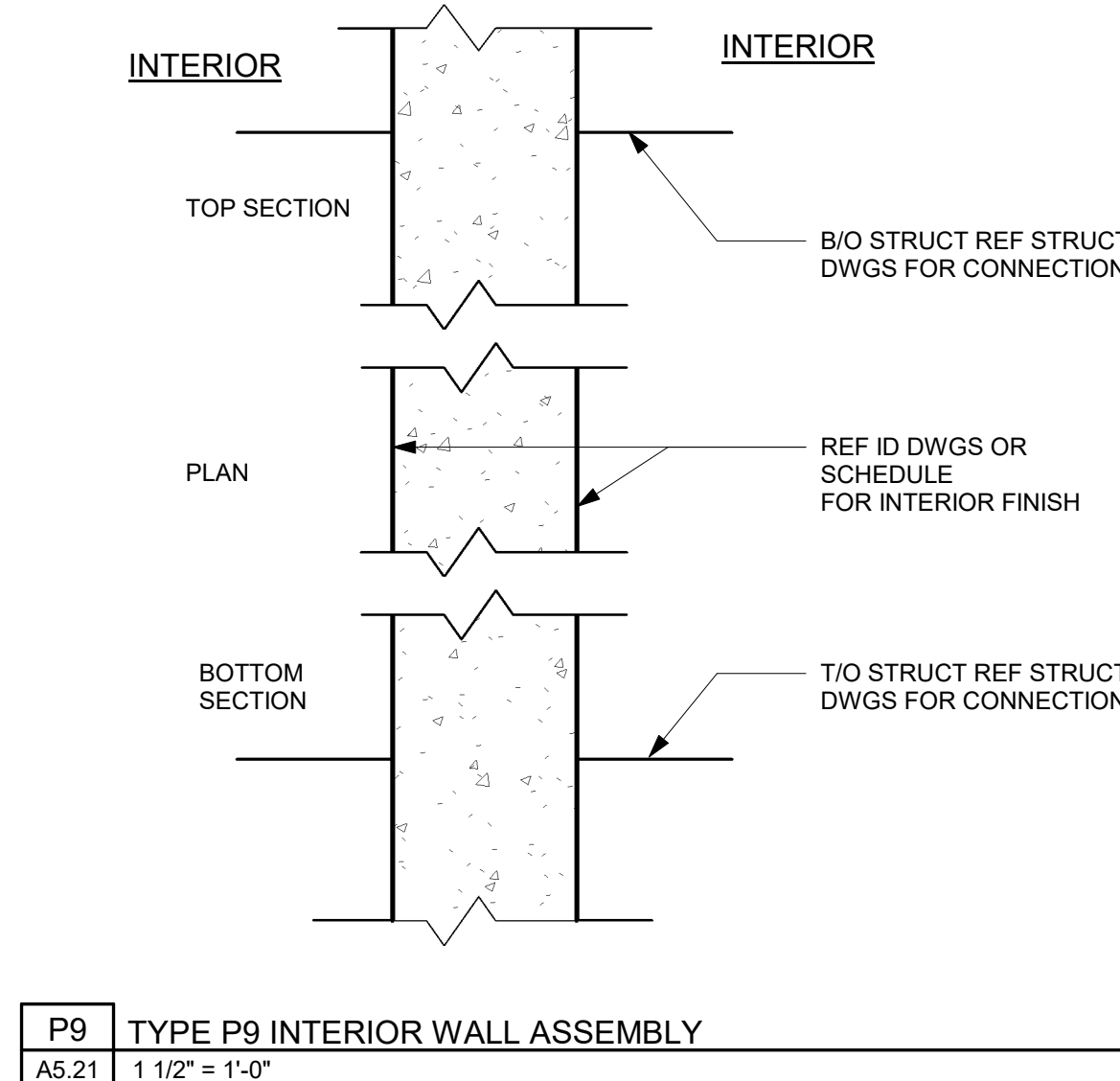
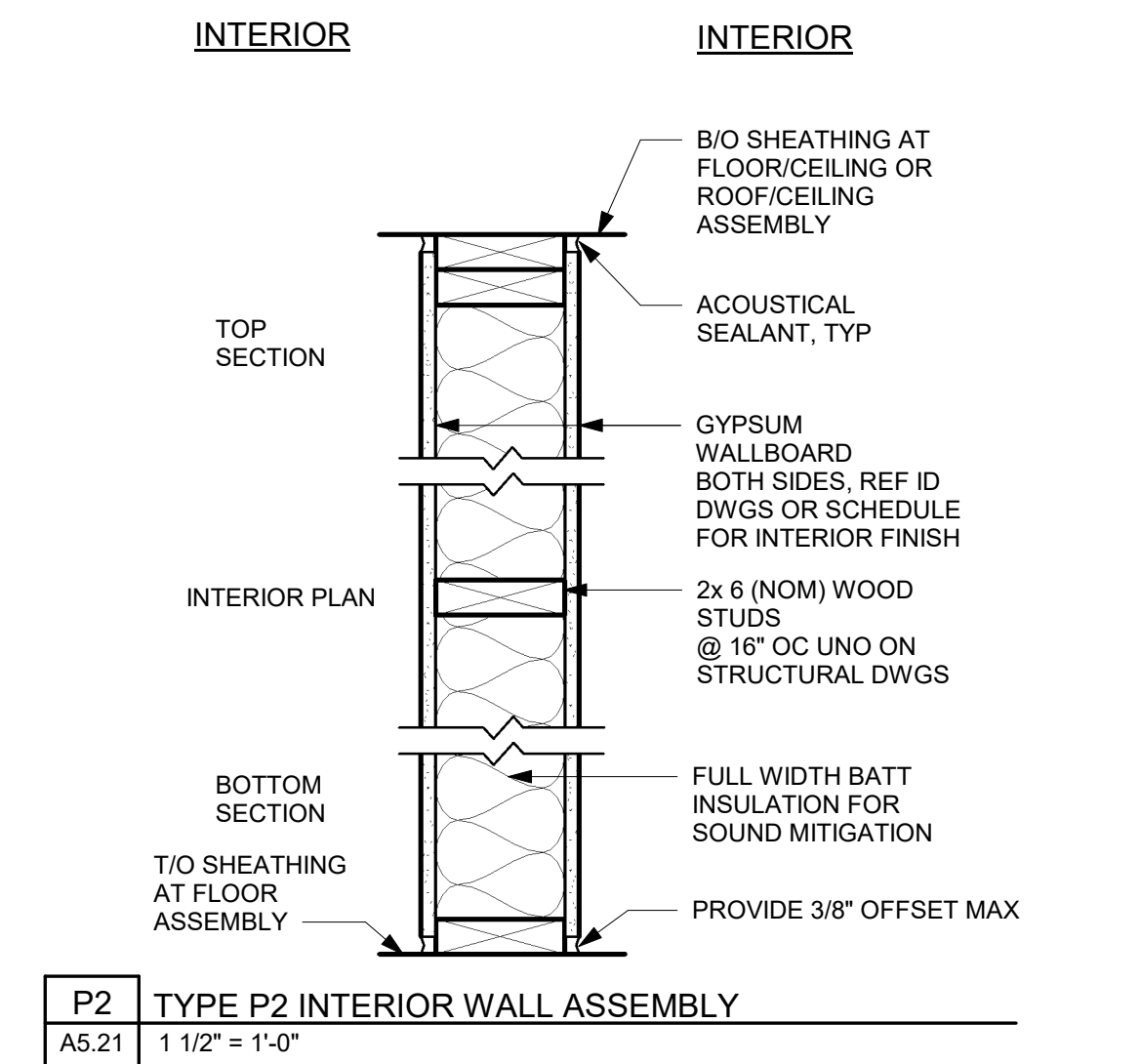
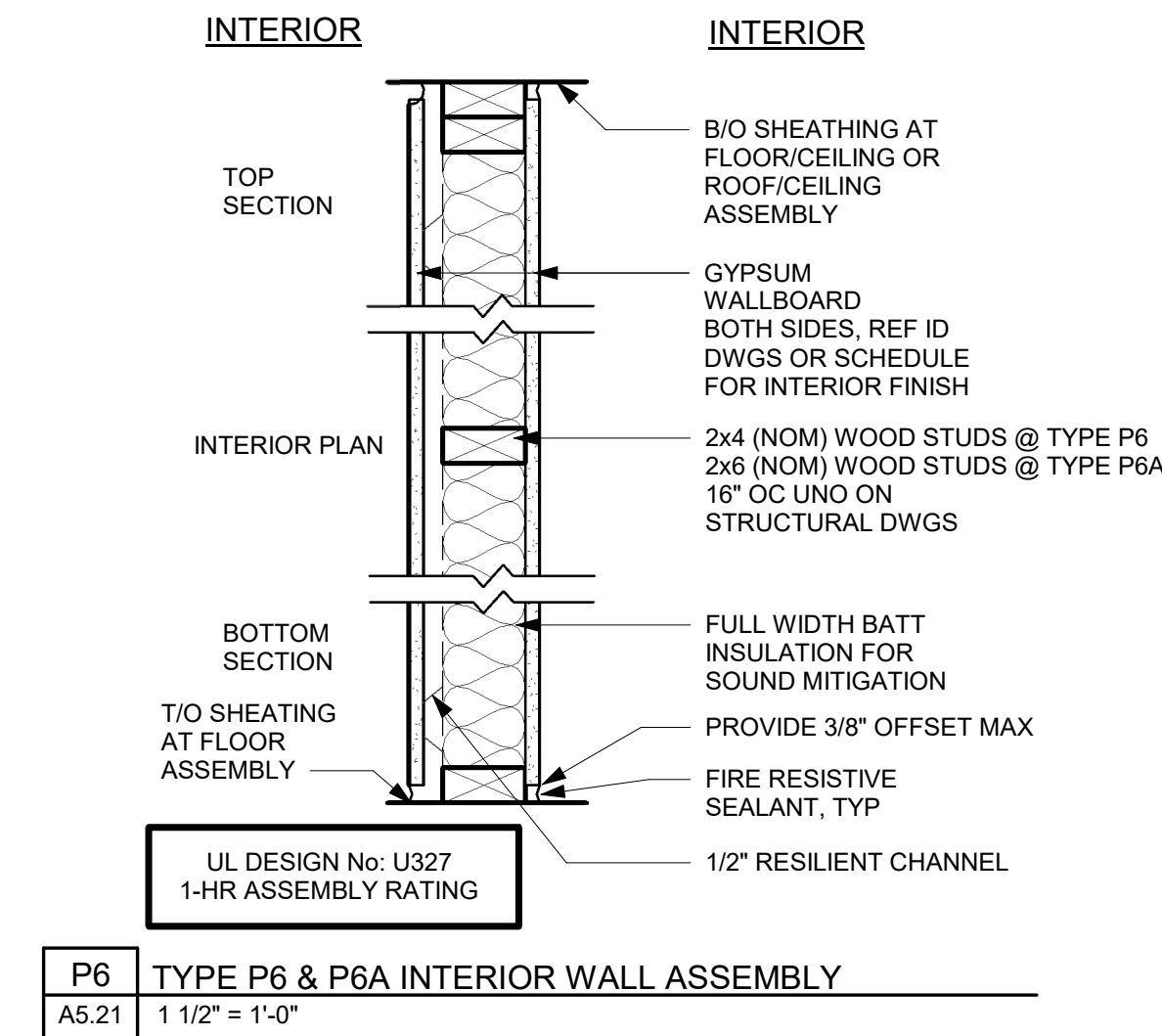
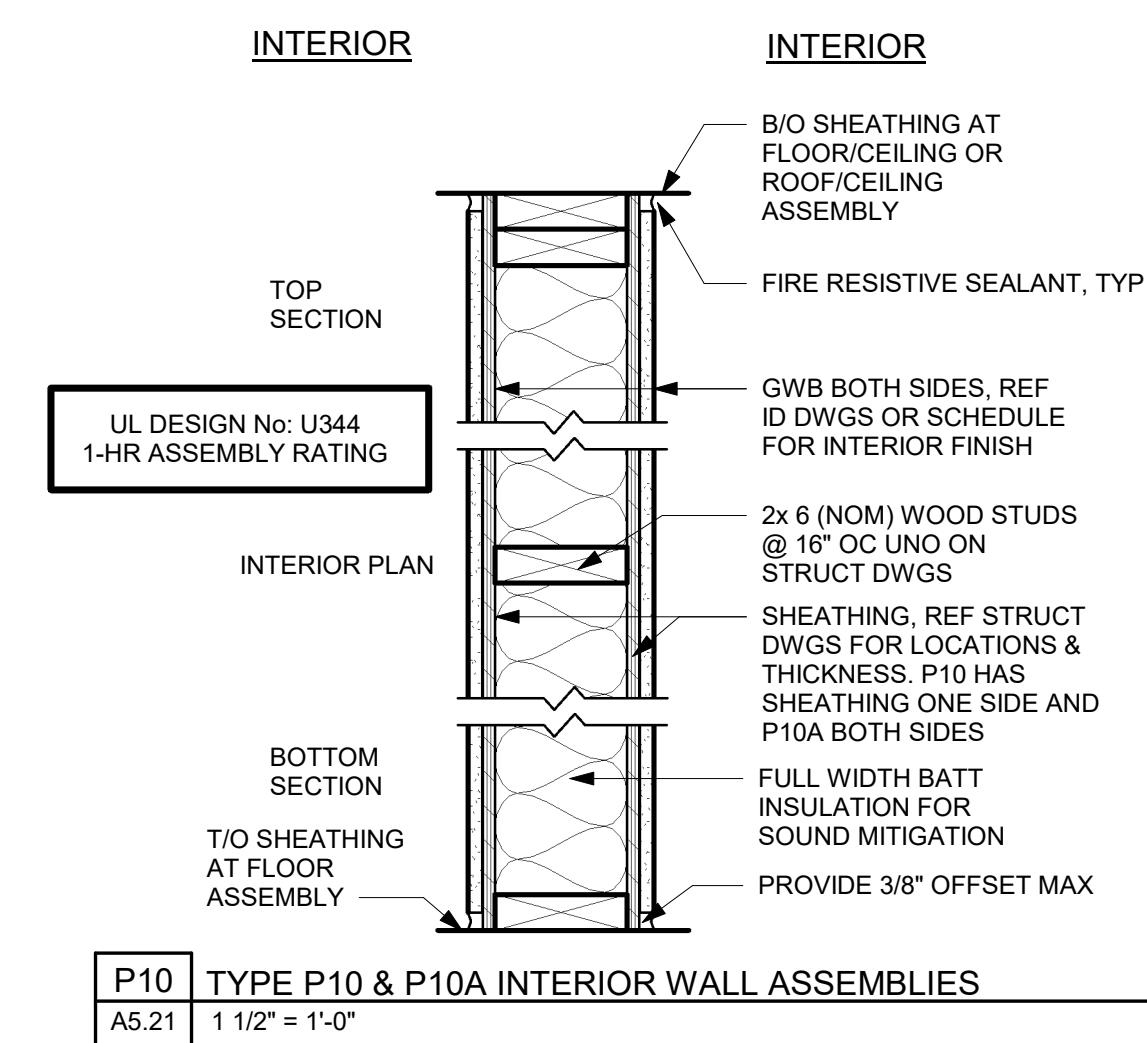
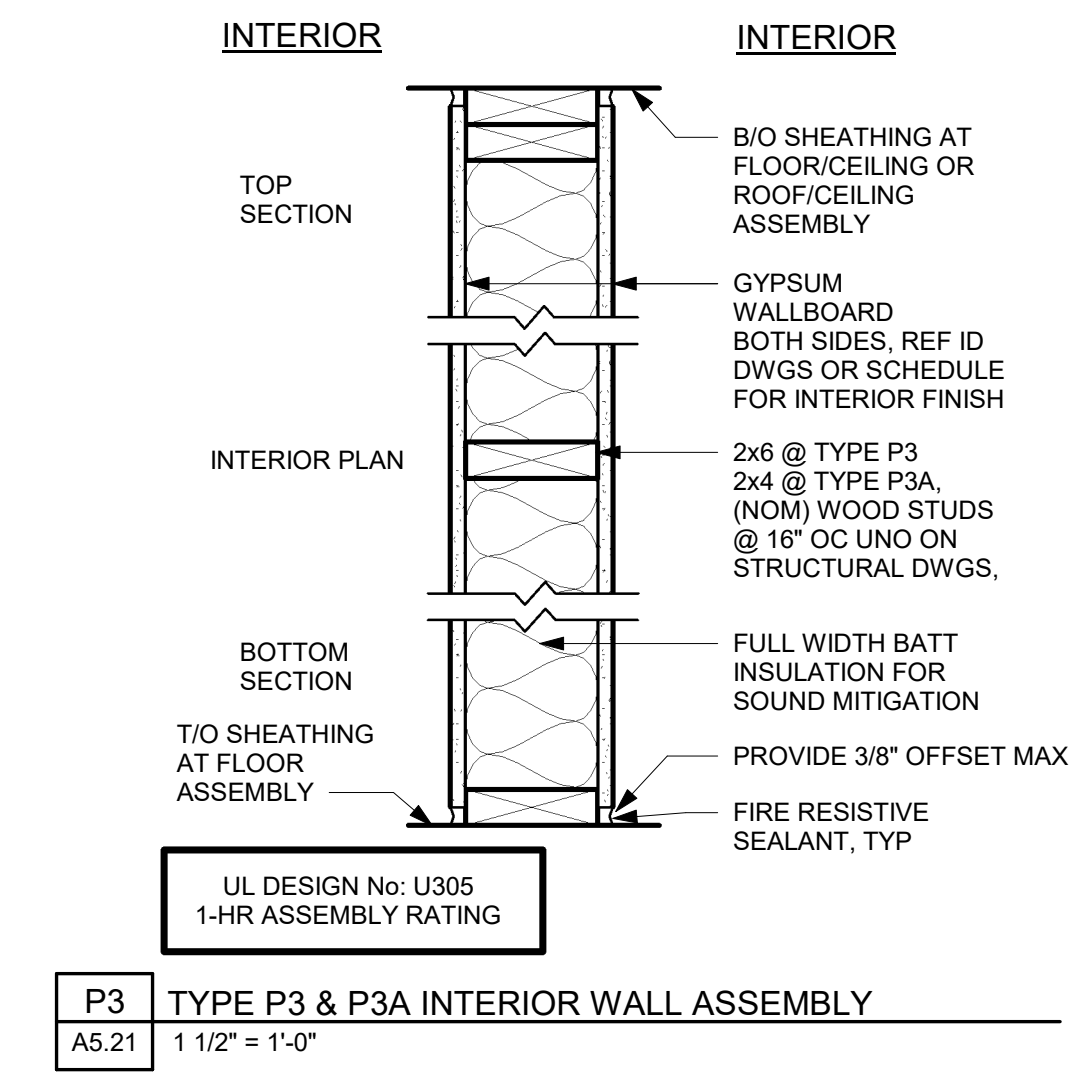
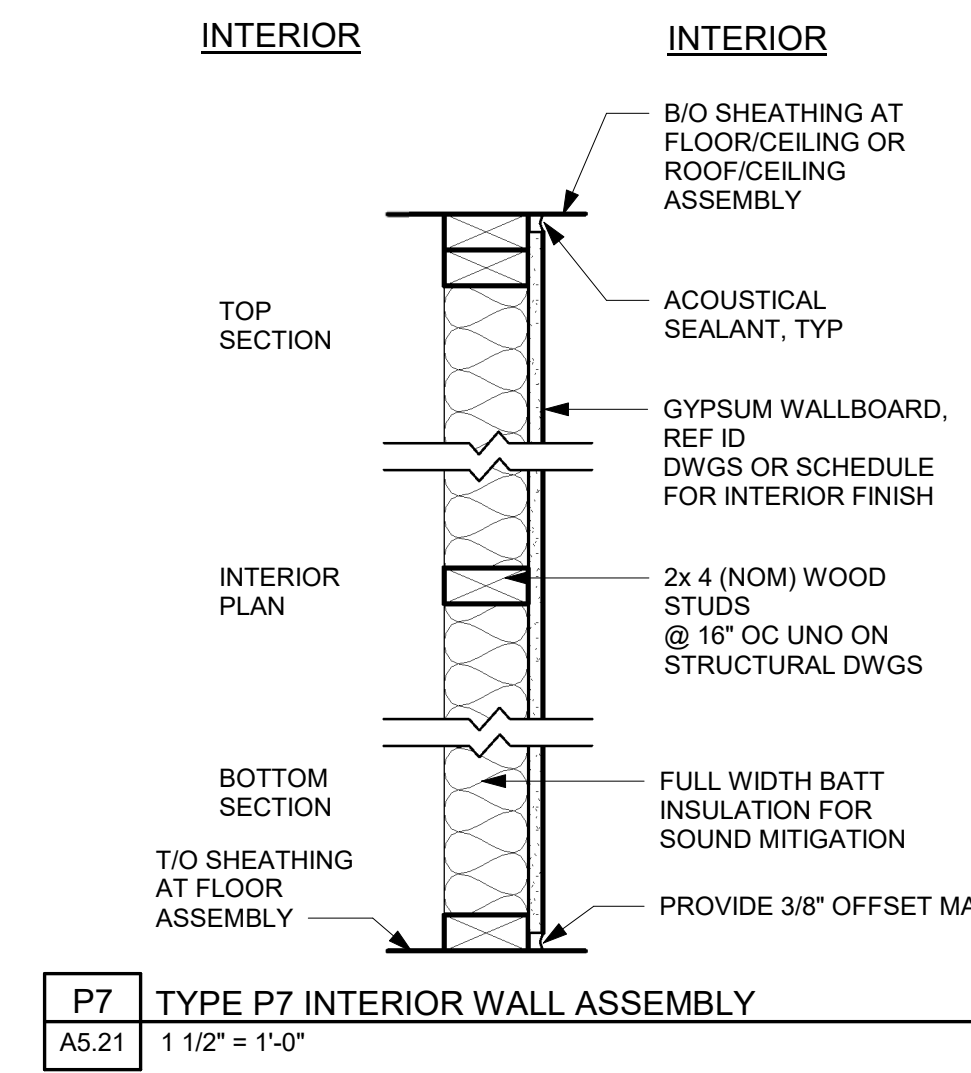
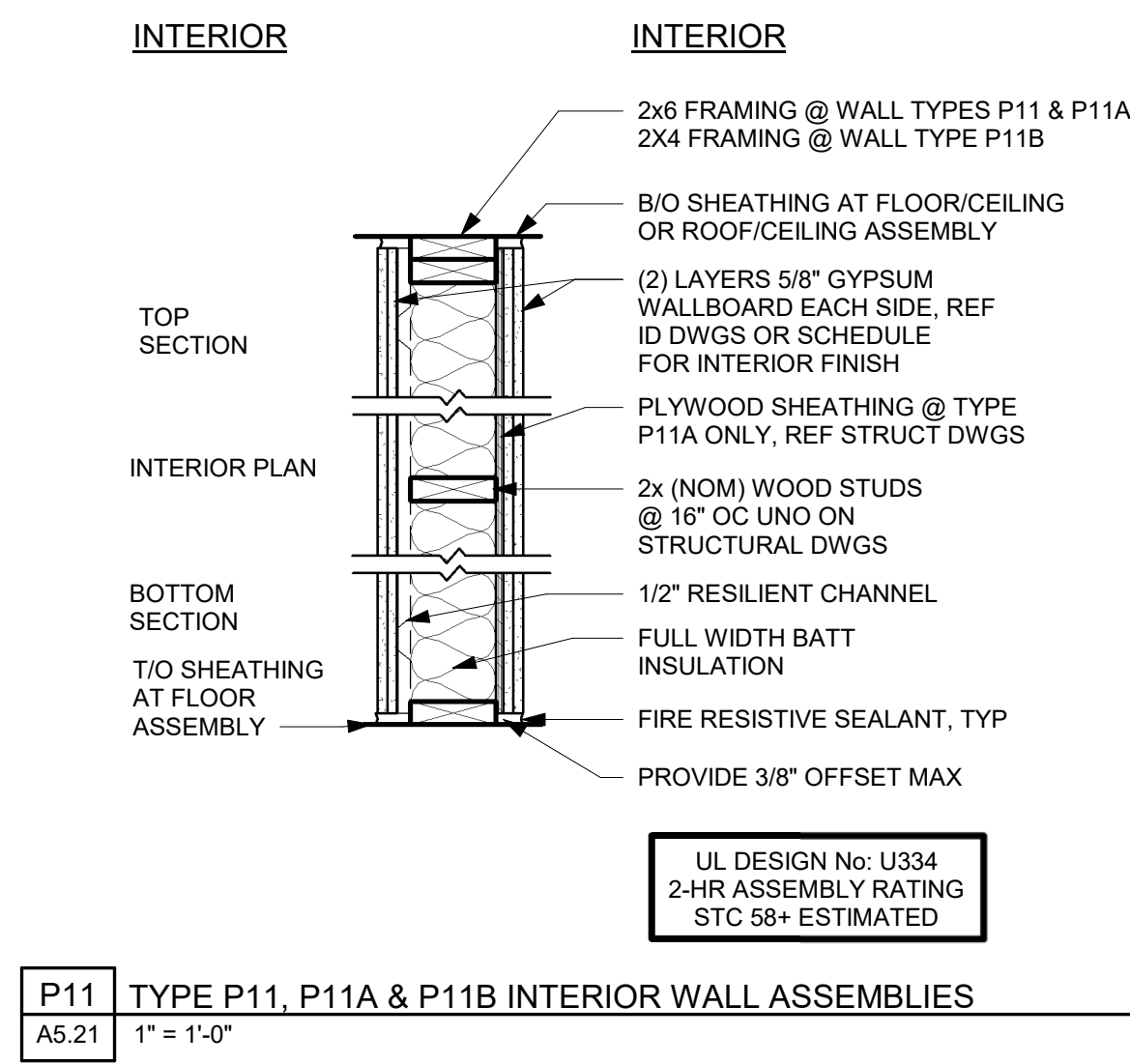
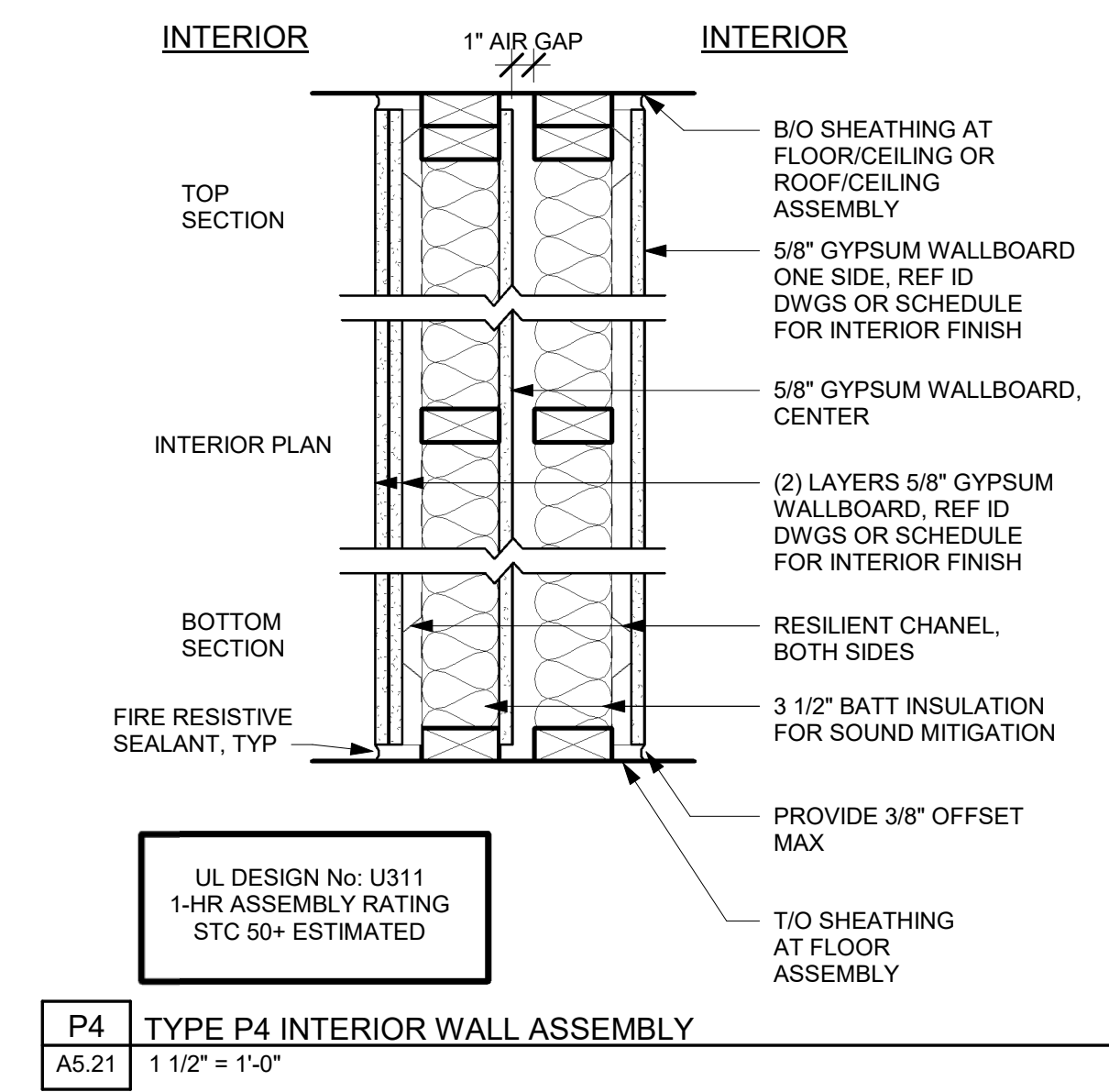
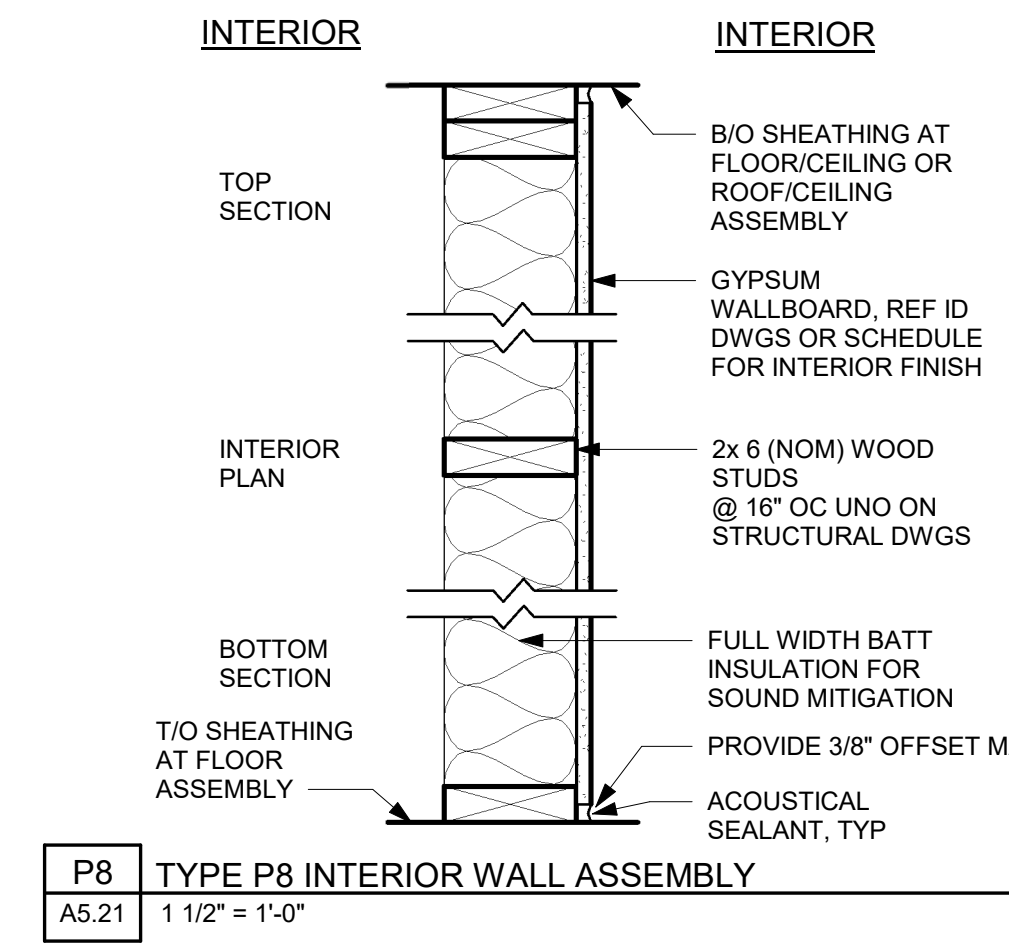
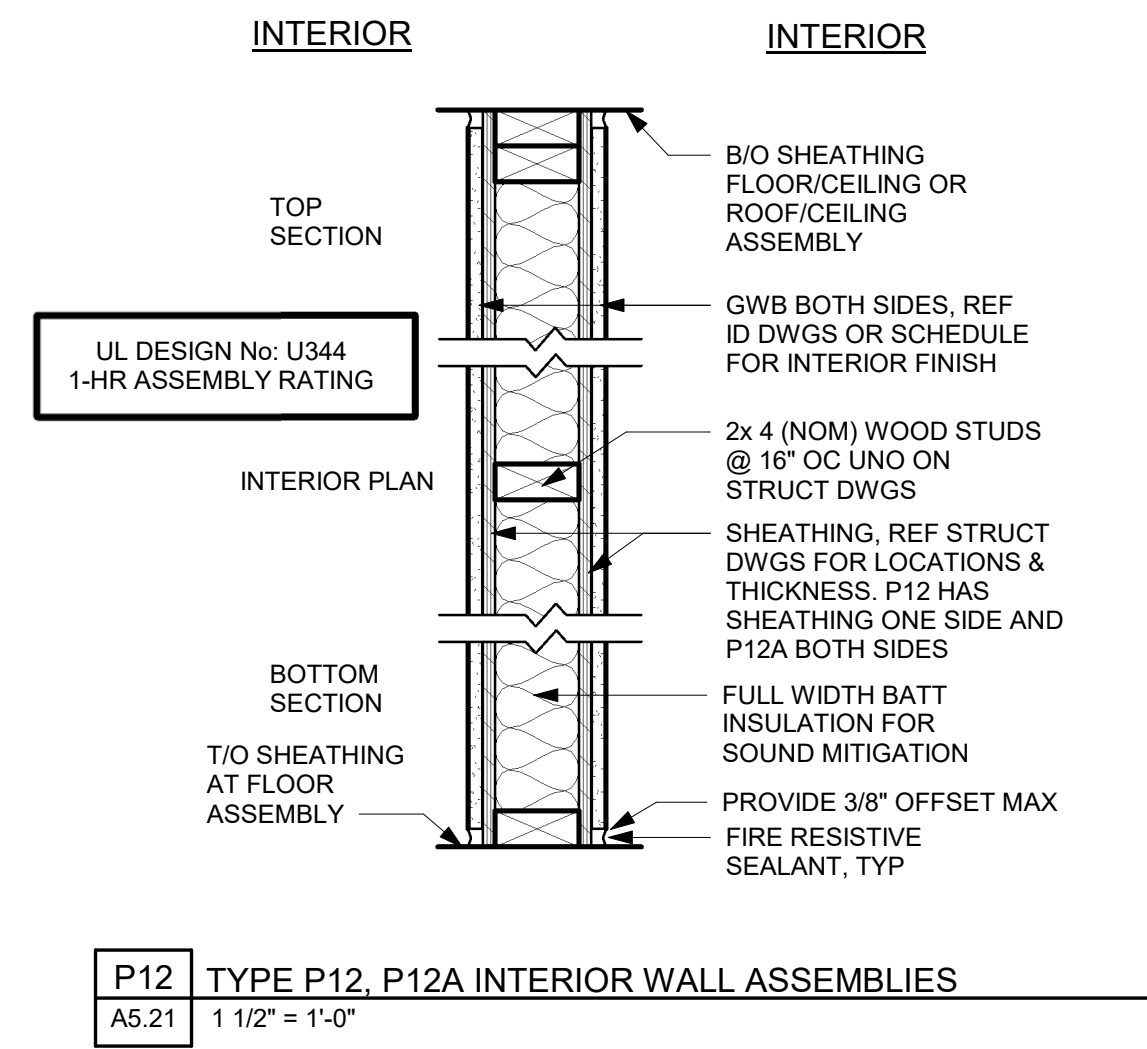
REFLECTIONS AT ELK LAKE
TOWN OF MOUNTAIN VILLAGE, COLORADO
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ISSUE	No.	DATE	COMMENT
E	07/11/2019	50% CD SET	
F	09/12/2019	PERMIT SET	
G	06/18/2020	DESIGN REVIEW	
J	07/22/2021	FINAL DESIGN REVIEW	

ASSEMBLY DETAILS (EXTERIOR WALL)

PROJECT No. 20182606.00	ORIGIN DATE 11/13/2018
DRAWN BY Author	CHK BY TL TRY BY

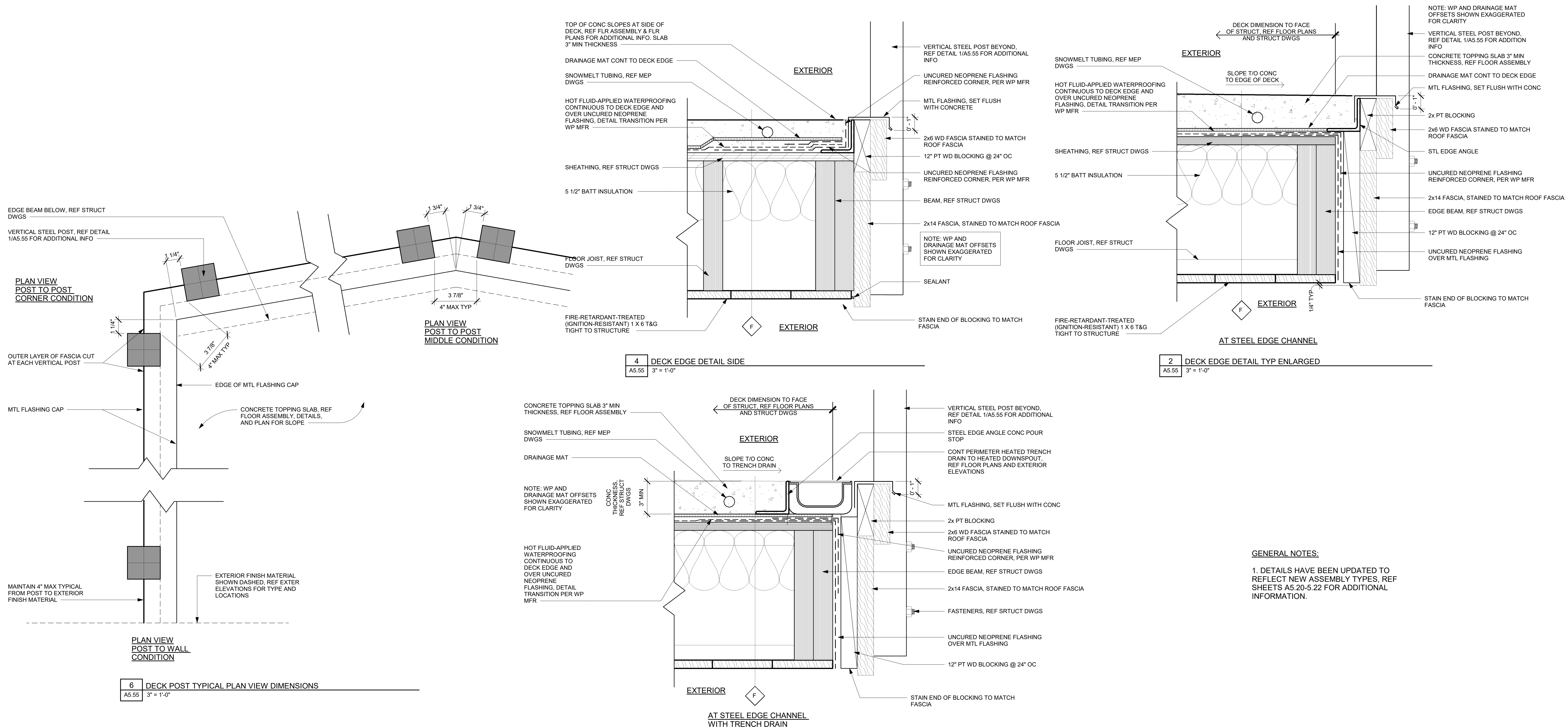
SHEET No. **A5.20**
SCALE: AS SHOWN



ISSUE	No.	DATE	COMMENT
	G	08/18/2020	DESIGN REVIEW
	H	12/09/2020	PERMIT REISSUE

KEY PLAN			

ASSEMBLY DETAILS (INTERIOR PARTITION)			
PROJECT No.	20182606.00	ORIGIN DATE	11/13/2018
DRAWN BY	DF / JBR	CHK BY	JB
TRV BY	TL		
SHEET No.	A5.21		
SCALE	AS SHOWN		



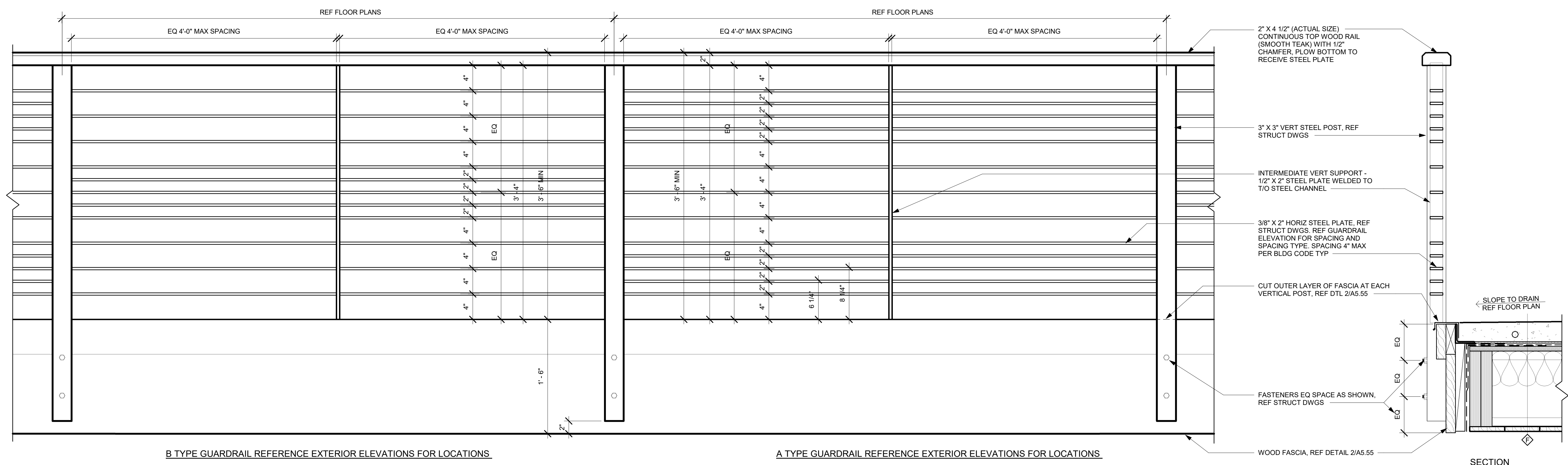
6 DECK POST TYPICAL PLAN VIEW DIMENSIONS
A5.55 3" = 1'-0"

4 DECK EDGE DETAIL SIDE
A5.55 3" = 1'-0"

2 DECK EDGE DETAIL TYP ENLARGED
A5.55 3" = 1'-0"

3 DECK EDGE DETAIL ENLARGED AT TRENCH DRAIN
A5.55 3" = 1'-0"

GENERAL NOTES:
1. DETAILS HAVE BEEN UPDATED TO REFLECT NEW ASSEMBLY TYPES. REF SHEETS A5.20-5.22 FOR ADDITIONAL INFORMATION.



B TYPE GUARDRAIL REFERENCE EXTERIOR ELEVATIONS FOR LOCATIONS

A TYPE GUARDRAIL REFERENCE EXTERIOR ELEVATIONS FOR LOCATIONS

ELEVATION

SECTION

1 DECK GUARDRAIL DETAILS TYPICAL
A5.55 1 1/2" = 1'-0"

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STRUCTURAL
Russell Engineering
Martin Martin 970.926.6007

REFLECTIONS AT ELK LAKE
TOWN OF MOUNTAIN VILLAGE, COLORADO

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ISSUE	No.	DATE	COMMENT
D	06/06/2019	DESIGN DEV	
E	07/11/2019	50% CD SET	
F	09/12/2019	PERMIT SET	
G	06/18/2020	DESIGN REVIEW	
J	07/22/2021	FINAL DESIGN REVIEW	

DECK DETAILS

PROJECT No. 20182606.00 ORIGIN DATE 11/13/2018
DRAWN BY JR/DF CHK BY TL TRV BY
SHEET No. **A5.55**
SCALE: AS SHOWN



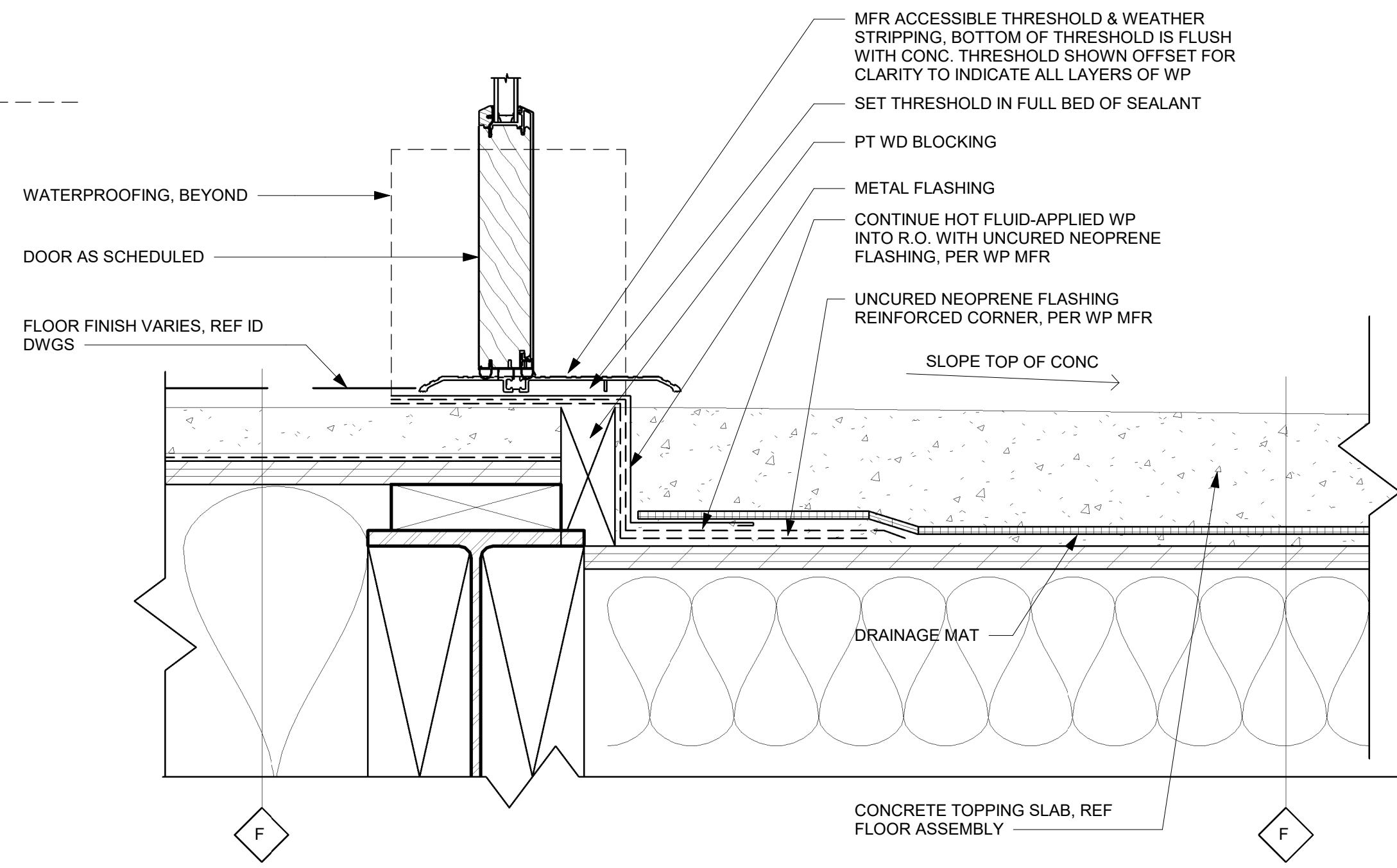
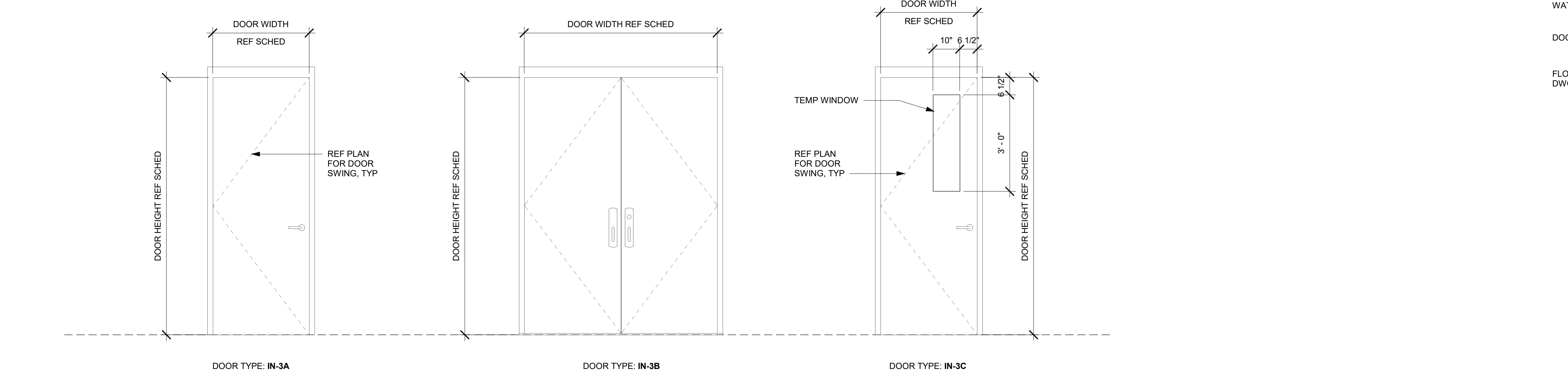
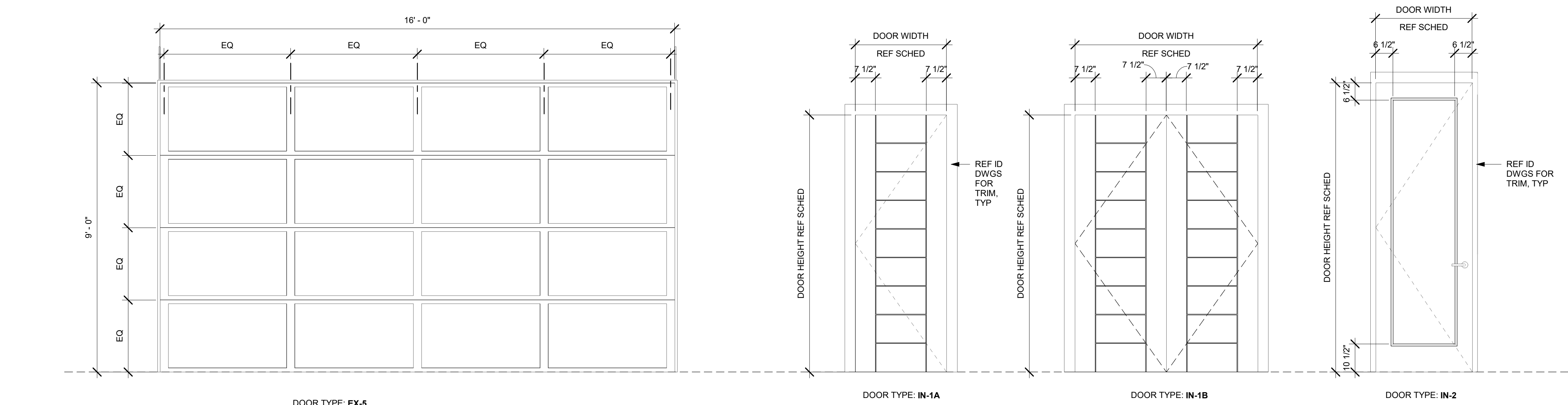
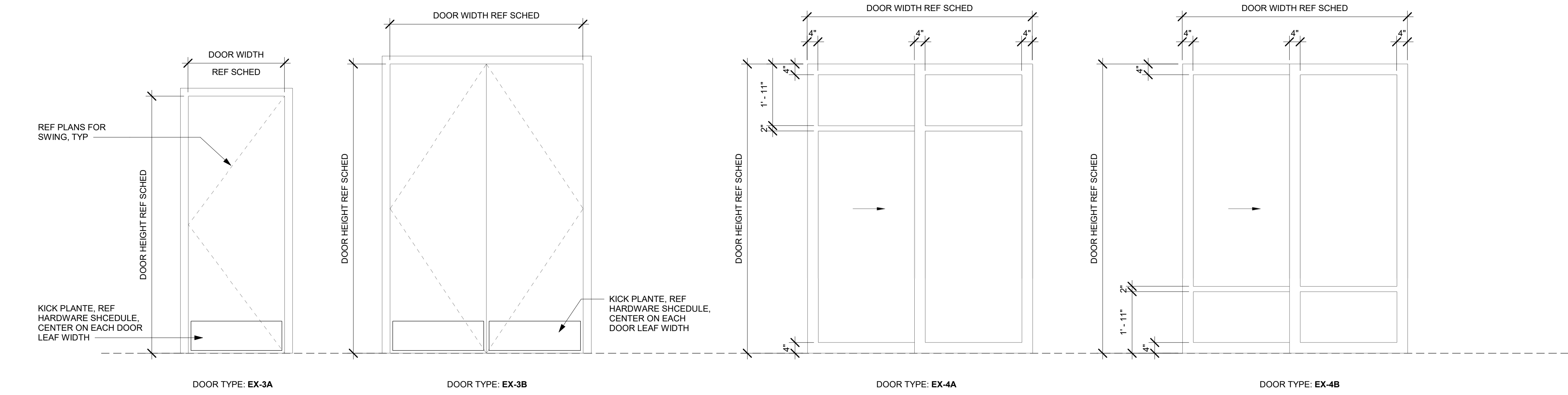
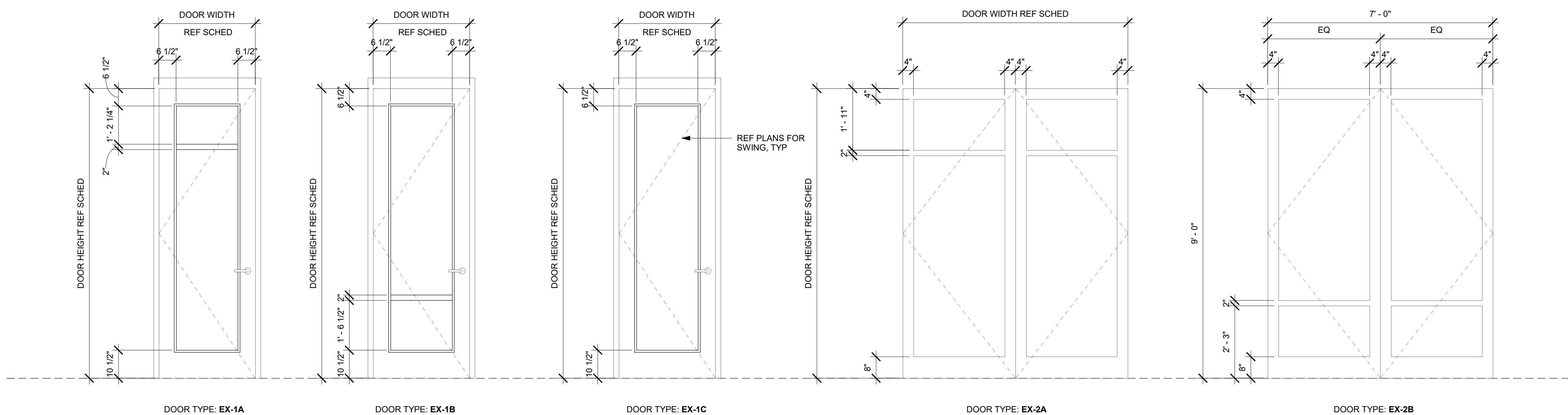
SEAL

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TOWN OF MOUNTAIN VILLAGE, COLORADO
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ISSUE No.	DATE	COMMENT
E	07/11/2019	50% CD Set
F	09/12/2019	PERMIT SET
G	06/18/2020	DESIGN REVIEW
H	12/09/2020	PERMIT REISSUE
J	07/22/2021	FINAL DESIGN REVIEW

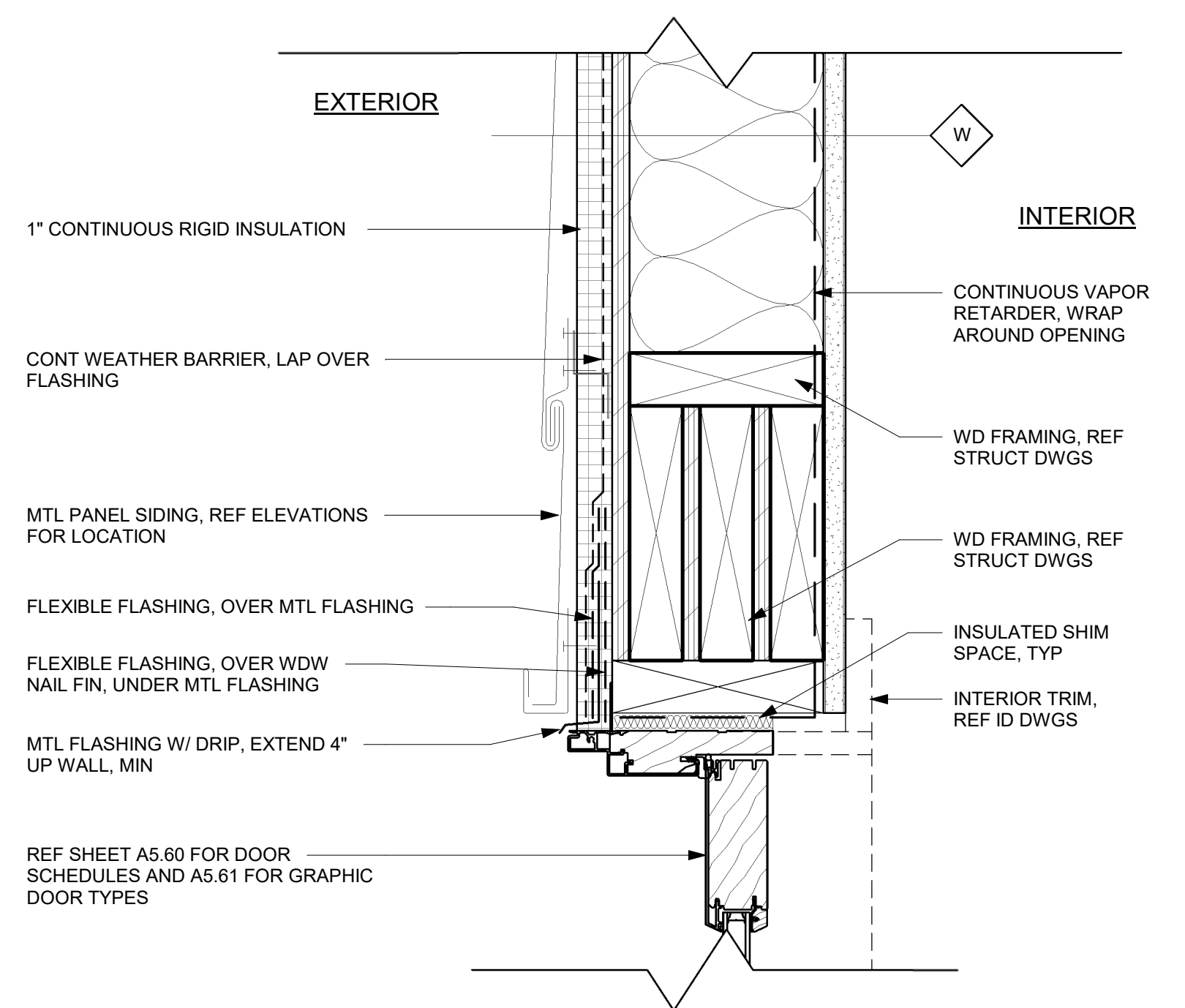
KEY PLAN

DOOR DETAILS AND TYPES	
PROJECT No.	ORIGIN DATE
20182606.00	11/13/2018
DRAWN BY	CHK BY TRV BY
Author	Check/Approve
SHEET No. A5.61	
SCALE: AS SHOWN	

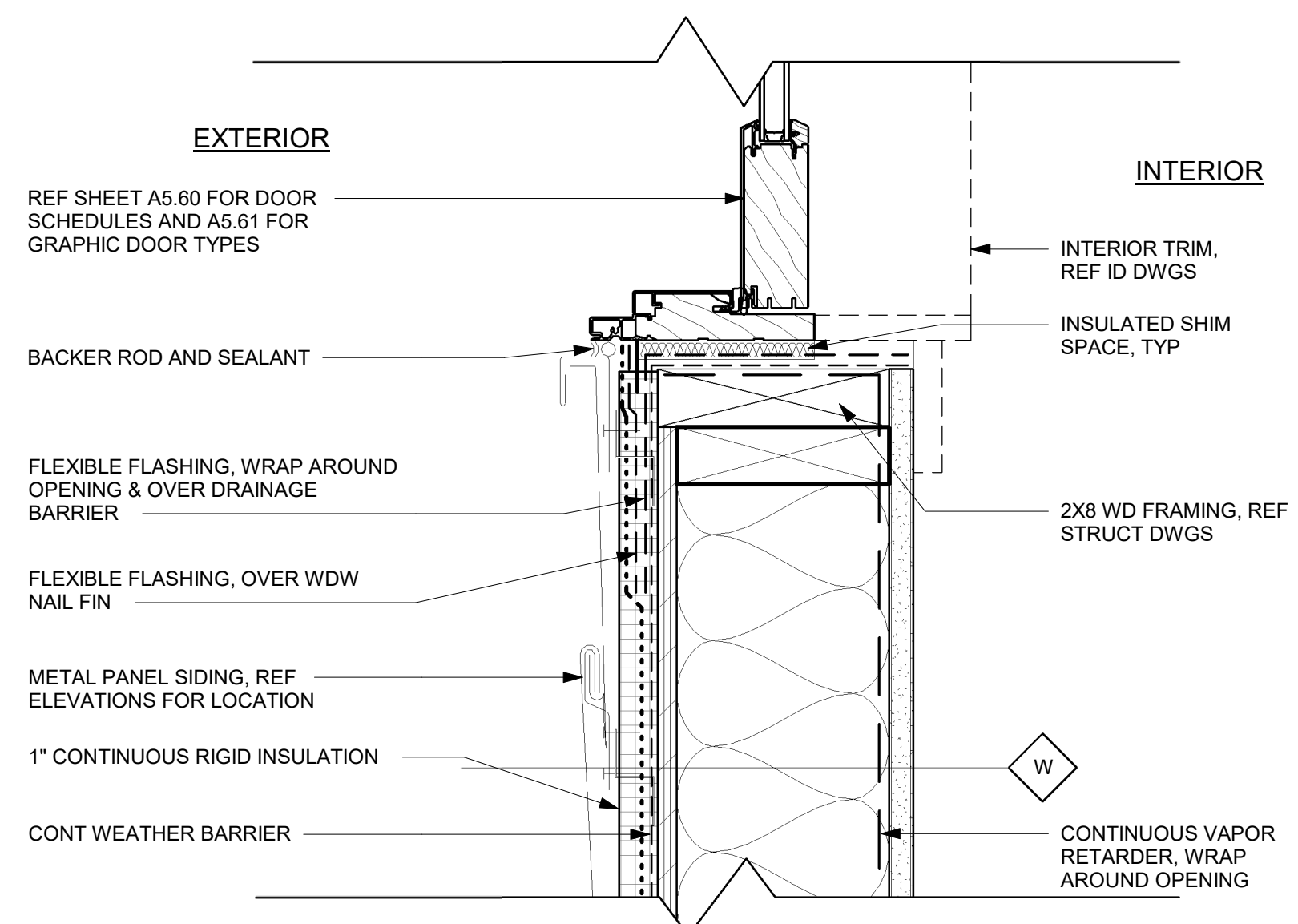


4 GRAPHIC DOOR TYPES
A5.61 1/2" = 1'-0"

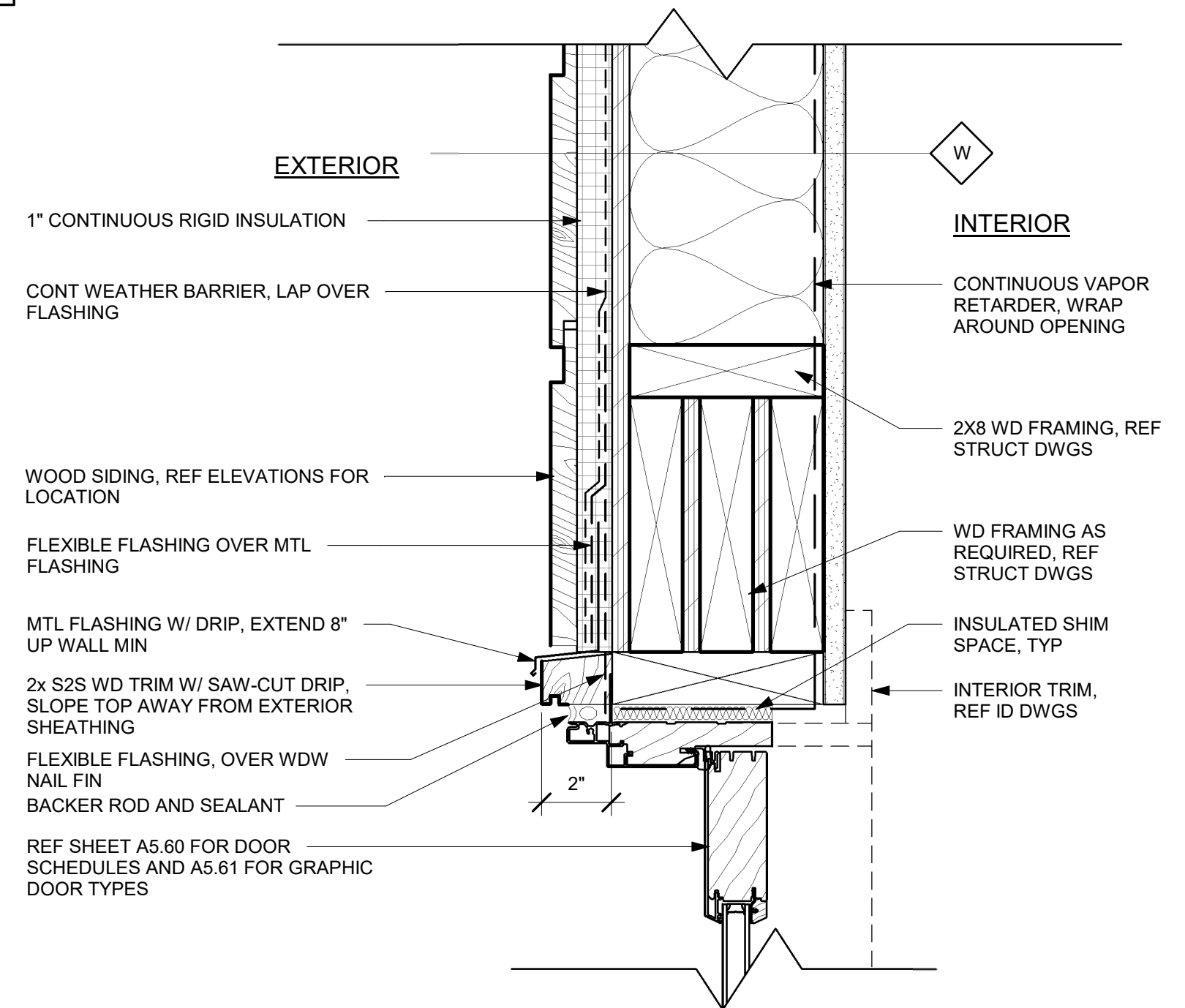
1 DOOR THRESHOLD AT DECK TYP
A5.61 3" = 1'-0"



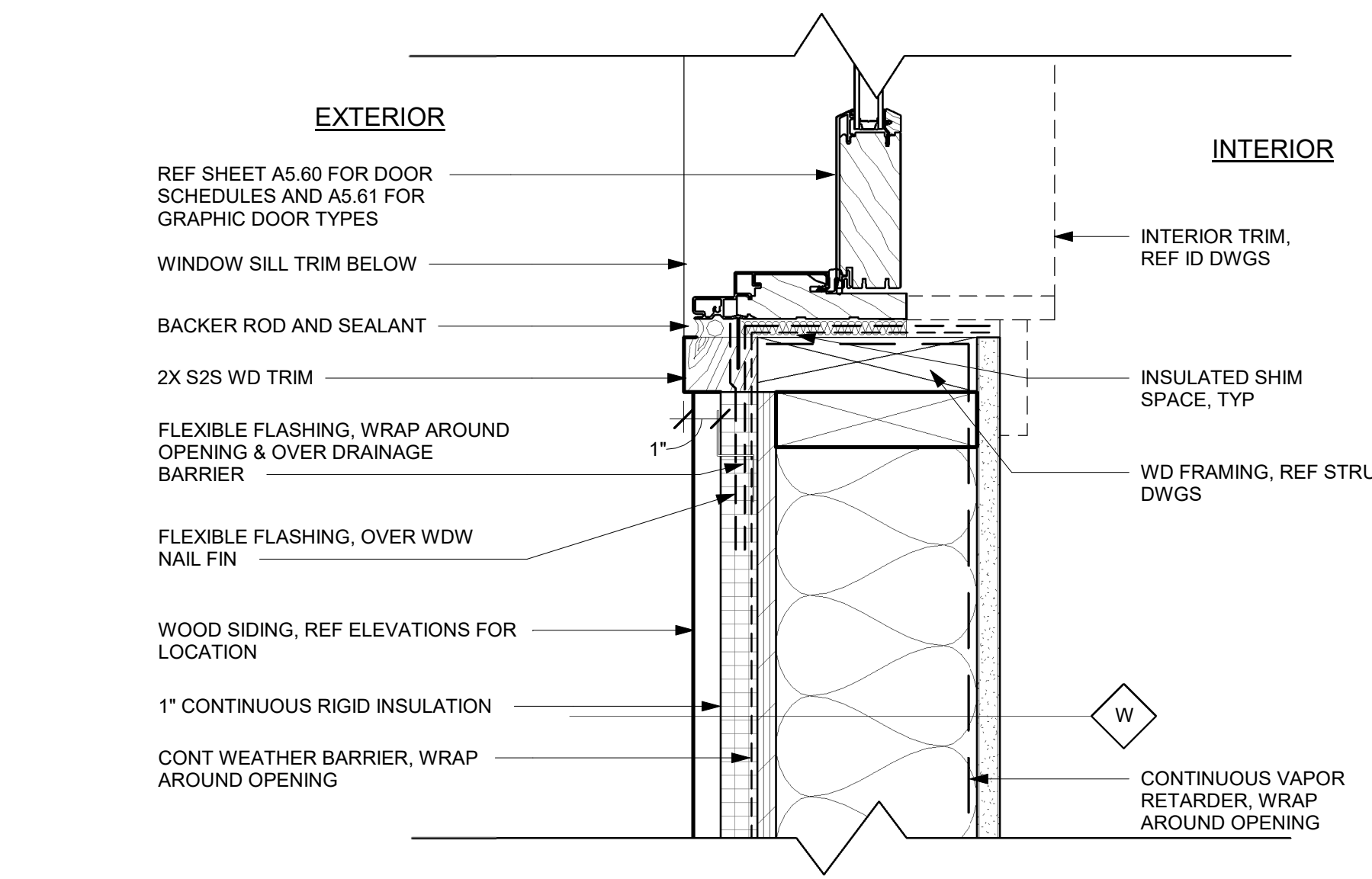
6 DOOR HEAD TYP AT METAL PANEL
A5.62 3" = 1'-0"



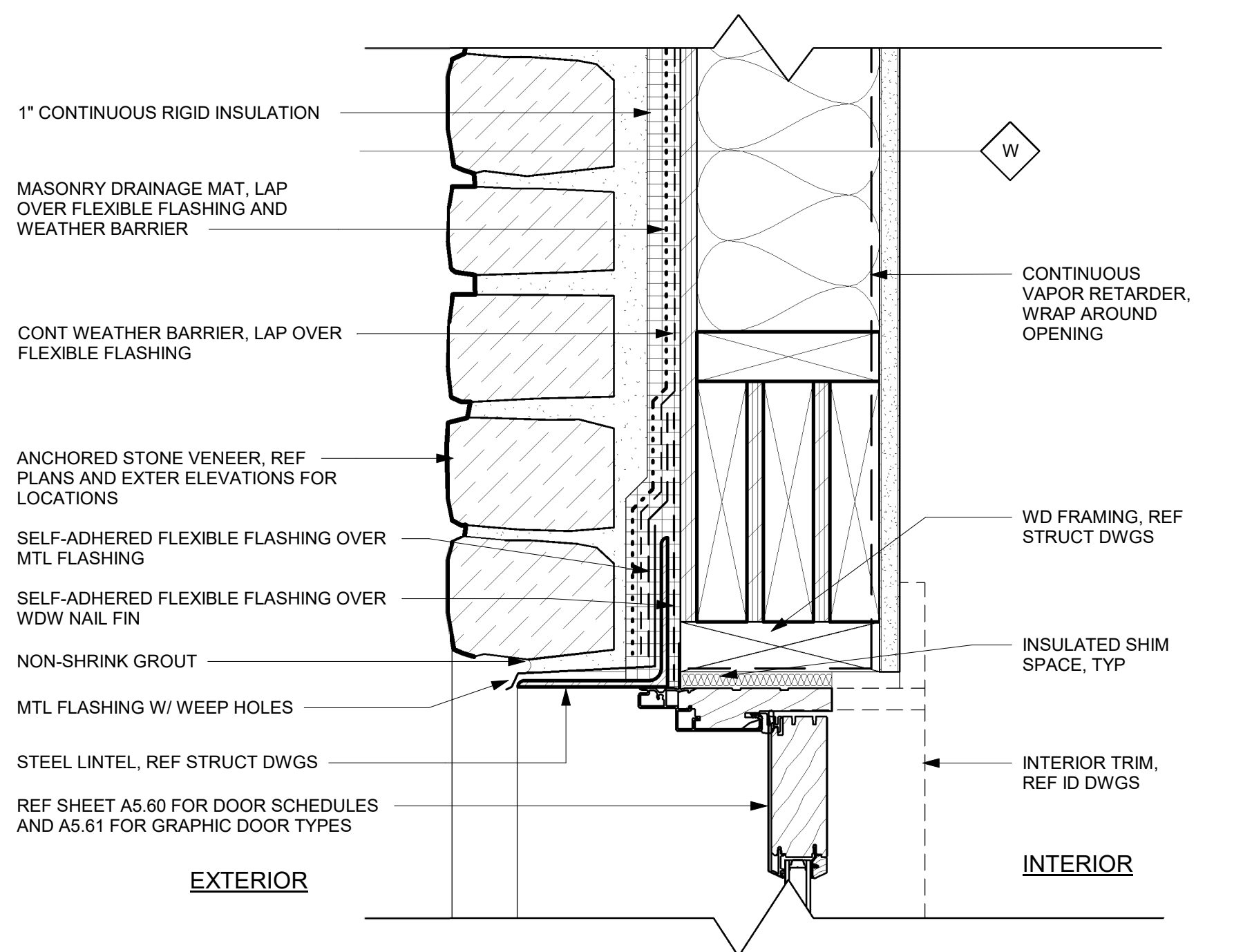
7 DOOR JAMB TYP AT METAL PANEL
A5.62 3" = 1'-0"



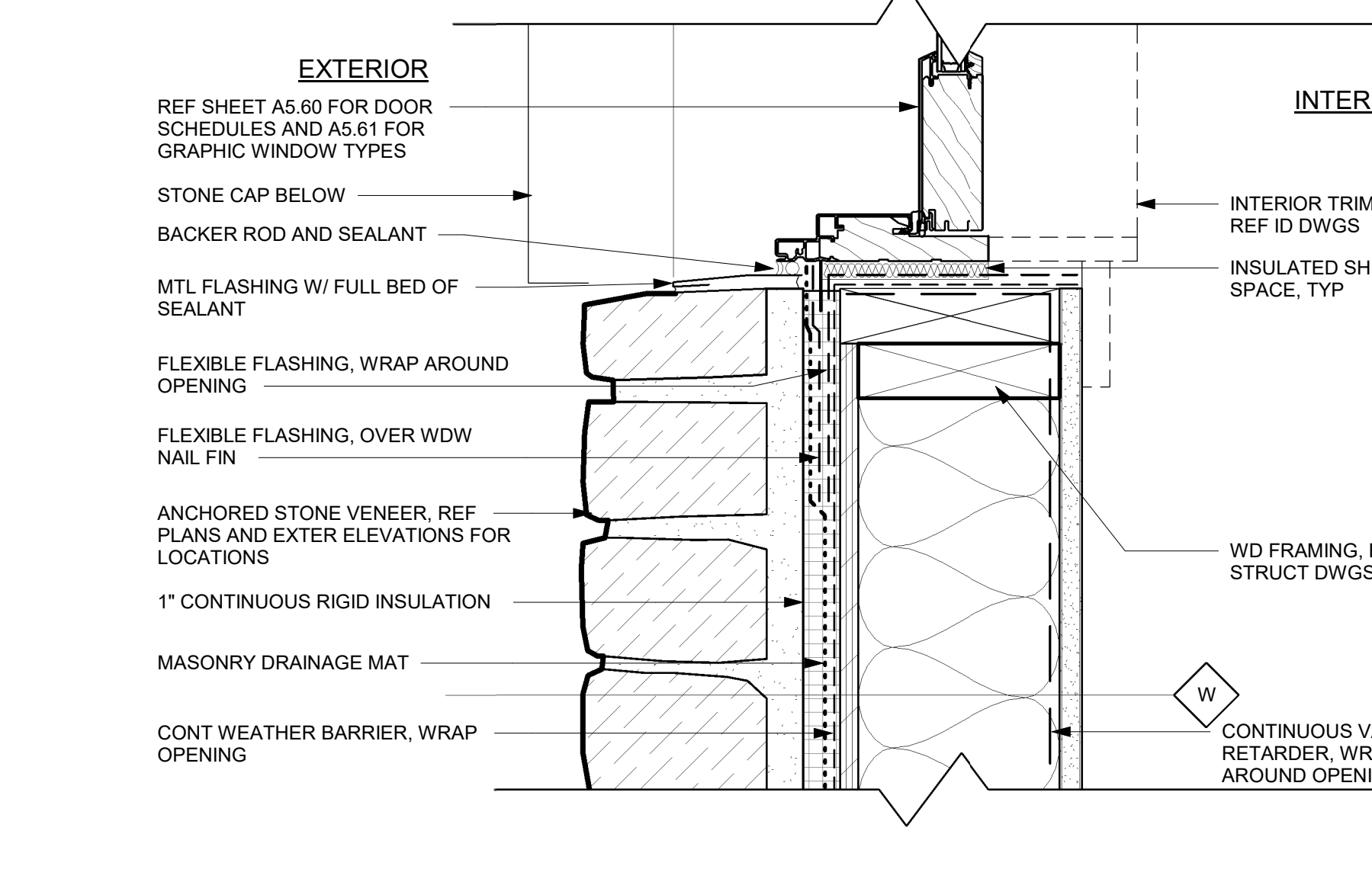
5 DOOR HEAD TYP AT WOOD SIDING
A5.62 3" = 1'-0"



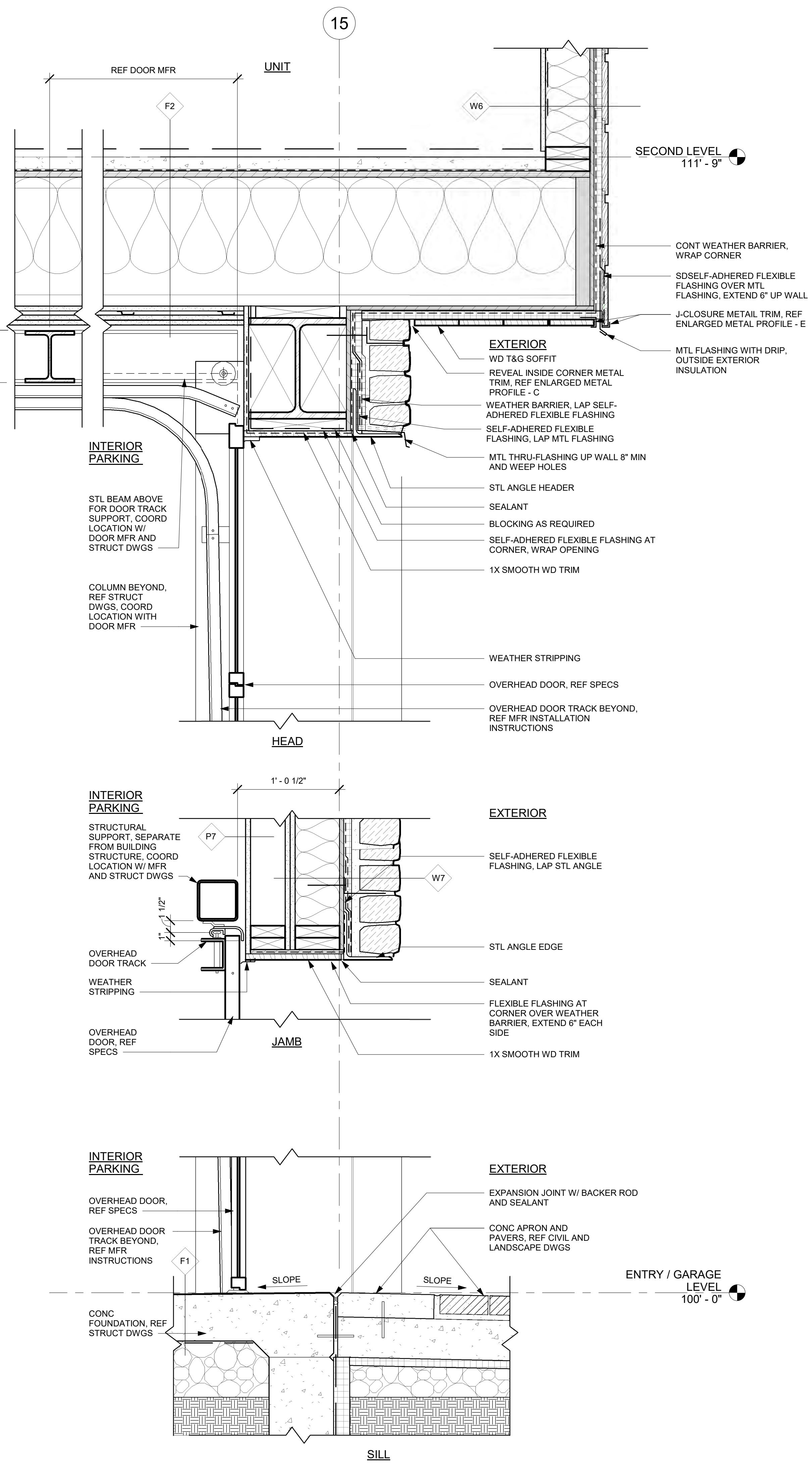
4 DOOR JAMB TYP AT WOOD SIDING
A5.62 3" = 1'-0"



3 DOOR HEAD TYP AT STONE VENEER
A5.62 3" = 1'-0"



2 DOOR JAMB TYP AT STONE VENEER
A5.62 3" = 1'-0"



1 DOOR HEAD, JAMB, SILL AT OVERHEAD GARAGE DOOR
A5.62 1 1/2" = 1'-0"

GENERAL NOTES:
1. DETAILS HAVE BEEN UPDATED TO REFLECT NEW ASSEMBLY TYPES. REF SHEETS A5.20-5.22 FOR ADDITIONAL INFORMATION.

No.	DATE	COMMENT
G	06/18/2020	DESIGN REVIEW
H	12/09/2020	PERMIT REISSUE
J	07/22/2021	FINAL DESIGN REVIEW

KEY PLAN

DOOR DETAILS

PROJECT No.	20182606.00	ORIGIN DATE	11/13/2018
DRAWN BY	JBR/CH	CHK BY	DF/BJ
		TRV BY	TL

SHEET No. **A5.62**
SCALE: AS SHOWN

WINDOW SCHEDULE												
TAG	TYPE	OPERATOR	SIZE			WDW CONST	DETAIL			GLAZING	REMARKS	
			W	H	HD HT		HEAD	JAMB	SILL			
101A	A1	Fixed	4' - 0"	6' - 9"	9' - 0"	Metal Clad	1/A5.73 SIM	4/A5.73	5/A5.73	PLATE	STOREFRONT	
101B	A	Fixed	4' - 0"	6' - 9"	9' - 0"	Metal Clad	1/A5.73 SIM	9/A5.73	5/A5.73	TEMP	STOREFRONT	
101C	A1	Fixed	1' - 0"	6' - 9"	9' - 1"	Metal Clad	1/A5.73 SIM	9/A5.73	5/A5.73	TEMP	STOREFRONT	
101D	A	Fixed	4' - 0"	6' - 9"	9' - 0"	Metal Clad	1/A5.73 SIM	9/A5.73	5/A5.73	TEMP	STOREFRONT	
101E	A1	Fixed	4' - 0"	6' - 9"	9' - 0"	Metal Clad	1/A5.73 SIM	4/A5.73	5/A5.73	PLATE	STOREFRONT	
101J	A	Casement	3' - 0"	6' - 9"	9' - 0"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	PLATE	EGRESS	
101L	A	Casement	3' - 0"	6' - 9"	9' - 0"	Metal Clad						
102A	A	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	TEMP		
102B	A1	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	TEMP		
102C	A1	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	TEMP		
102D	A	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	TEMP		
106A	A	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	TEMP		
106B	A	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	TEMP		
109A	A	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	PLATE		
109B	A1	Fixed	3' - 6"	6' - 9"	9' - 0"	Metal Clad	3/A5.72	--	1/A5.72	PLATE	SASH SET	
109C	A1	Fixed	3' - 6"	6' - 9"	9' - 0"	Metal Clad	3/A5.72	--	1/A5.72	PLATE	SASH SET	
109D	A	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	PLATE		
109E	A	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	PLATE		
109F	A	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	PLATE		
109G	C5	Awning	5' - 0"	6' - 6"	9' - 0"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	PLATE		
110A	A	Awning	3' - 0"	5' - 0"	7' - 6"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	PLATE		
110B	A	Awning	3' - 0"	5' - 0"	7' - 6"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	PLATE		
200A	B	Fixed	3' - 6"	2' - 3"	9' - 0"	Metal Clad	6/A5.72	8/A3.11	4/A5.72	PLATE	SASH SET	
203A	A1	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
203B	A1	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
204A	A1	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
204B	A	Fixed	3' - 6"	9' - 0"	9' - 0"	Metal Clad	6/A5.72	--		TEMP		
204C	A	Fixed	3' - 6"	9' - 0"	9' - 0"	Metal Clad	6/A5.72	--		TEMP		
204D	A1	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
204E	C4	Awning	6' - 0"	5' - 6"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	1/A5.72	PLATE		
205A	A1	Awning	3' - 0"	5' - 6"	9' - 0"	Metal Clad	3/A5.72			TEMP		
205B	A1	Awning	3' - 0"	5' - 6"	9' - 0"	Metal Clad	3/A5.72			PLATE		
205C	A1	Fixed	2' - 0"	5' - 6"	9' - 0"	Metal Clad	3/A5.72		1/A5.72	PLATE		
205D	A1	Fixed	2' - 0"	5' - 6"	9' - 0"	Metal Clad	3/A5.72		1/A5.72	PLATE		
205E	A1	Awning	3' - 0"	5' - 6"	9' - 0"	Metal Clad	3/A5.72		1/A5.72	PLATE		
205F	A1	Awning	3' - 0"	5' - 6"	9' - 0"	Metal Clad	3/A5.72		1/A5.72	PLATE		
206A	A	Awning	3' - 0"	6' - 0"	9' - 0"	Metal Clad	3/A5.72		1/A5.72	TEMP		
206B	A1	Awning	3' - 0"	6' - 0"	9' - 0"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	TEMP		
253A	A1	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
253B	A1	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
255A	A	Fixed	3' - 0"	6' - 0"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	PLATE		
255B	A1	Awning	2' - 0"	6' - 0"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	PLATE		
255C	A	Casement	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	PLATE	EGRESS	
255D	C1	Casement	8' - 0"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	PLATE		
261A	A	Casement	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	PLATE	EGRESS	
300A	B	Fixed	3' - 6"	2' - 3"	9' - 0"	Metal Clad	6/A5.72	8/A3.11	4/A5.72	PLATE	SASH SET	
303A	A	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
303B	A	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
304A	A	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
304B	A	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
304C	C5	Awning	6' - 0"	5' - 6"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	PLATE		
305A	A	Awning	3' - 0"	5' - 6"	9' - 0"	Metal Clad	6/A5.72		1/A5.72	TEMP		
305B	A	Awning	3' - 0"	5' - 6"	9' - 0"	Metal Clad	6/A5.72		1/A5.72	PLATE		
305C	A	Fixed	2' - 0"	5' - 6"	9' - 0"	Metal Clad	6/A5.72		1/A5.72	PLATE	SASH SET	
305D	A	Fixed	2' - 0"	5' - 6"	9' - 0"	Metal Clad	6/A5.72		1/A5.72	PLATE	SASH SET	
305E	A	Awning	3' - 0"	5' - 6"	9' - 0"	Metal Clad	6/A5.72		1/A5.72	PLATE		
305F	A	Awning	3' - 0"	5' - 6"	9' - 0"	Metal Clad	6/A5.72		1/A5.72	PLATE		
306A	A1	Awning	3' - 0"	5' - 6"	9' - 0"	Metal Clad	6/A5.72		4/A5.72	TEMP		
306B	A	Awning	3' - 0"	5' - 6"	9' - 0"	Metal Clad	9/A5.72	8/A5.72	7/A5.72	TEMP		
312A	A1	Casement	3' - 0"	5' - 6"	31' - 6"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	PLATE	EGRESS	
315A	A1	Awning	3' - 0"	5' - 6"	9' - 0"	Metal Clad	9/A5.72	8/A5.72	7/A5.72	PLATE		
315B	A1	Awning	3' - 0"	5' - 6"	9' - 0"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	TEMP		
316A	B	Fixed	2' - 10"	2' - 3"	9' - 0"	Metal Clad	9/A5.72	2 & 8 /A5.72	7/A5.72	PLATE	SASH SET	
317A	A1	Awning	2' - 10"	5' - 6"	9' - 0"	Metal Clad	9/A5.72	2 & 8 /A5.72	1/A5.72	TEMP		
353A	A	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
353B	A	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
355A	A1	Awning	2' - 0"	6' - 0"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	PLATE		
355B	A	Fixed	3' - 0"	6' - 0"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	PLATE	SASH SET	
355C	A1	Casement	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	PLATE	EGRESS	
355D	C	Casement	8' - 0"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	PLATE		
361A	A1	Casement	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	PLATE		
361B	A1	Casement	3' - 0"	5' - 6"	9' - 0"	Metal Clad	9/A5.72	8/A5.72	1/A5.72	PLATE	EGRESS	
363A	A1	Awning	3' - 0"	5' - 6"	9' - 0"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	TEMP		
364A	B	Fixed	2' - 10"	2' - 3"	9' - 0"	Metal Clad	9/A5.72	2 & 8 /A5.72	7/A5.72	PLATE	SASH SET	
365A	A1	Awning	2' - 10"	5' - 6"	9' - 0"	Metal Clad	9/A5.72	2 & 8 /A5.72	1/A5.72	TEMP		
366A	A1	Casement	3' - 0"	5' - 0"	10' - 0"	Metal Clad	12/A5.72		10/A5.72	PLATE	EGRESS	
367A	B	Fixed	3' - 0"	2' - 3"	9' - 0"	Metal Clad	3/A5.72	2/A5.72	1/A5.72	PLATE	SASH SET	
400A	F1	Fixed	3' - 6"	5' - 0"	8' - 6"	Metal Clad		8/A3.11	4/A5.72	PLATE	SASH SET	
402A	A1	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
402B	A1	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72		4/A5.72	TEMP		
403A	A1	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72		4/A5.72	TEMP		
403B	A1	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
403C	B	Awning	2' - 6"	3' - 0"	6' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	PLATE		
404A	B	Awning	3' - 0"	4' - 6"	7' - 6"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
404B	B	Fixed	2' - 6"	6' - 0"	9' - 0"	Metal Clad	12/A5.72	11/A5.72	10/A5.72	PLATE	SASH SET	
404C	B	Awning	3' - 0"	4' - 6"	7' - 6"	Metal Clad	6/A5.72		4/A5.72	PLATE		
404D	B	Casement	2' - 0"	4' - 6"	7' - 6"	Metal Clad	6/A5.72		4/A5.72	PLATE	EGRESS	
404E	A2	Fixed	2' - 10"	6' - 0"	10' - 10"	Metal Clad	12/A5.72	11/A5.72	10/A5.72	PLATE	SASH SET	
404F	B	Casement	2' - 0"	4' - 6"	7' - 6"	Metal Clad	6/A5.72		4/A5.72	PLATE		

WINDOW SCHEDULE												
TAG	TYPE	OPERATOR	SIZE			WDW CONST	DETAIL			GLAZING	REMARKS	
			W	H	HD HT		HEAD	JAMB	SILL			
404G	B	Awning	3' - 0"	4' - 6"	7' - 6"	Metal Clad	6/A5.72		4/A5.72	PLATE		
404H	B	Fixed	2' - 6"	5' - 0"	8' - 0"	Metal Clad	12/A5.72	11/A5.72	10/A5.72	PLATE		
406A	B	Awning	3' - 0"	4' - 6"	7' - 5 1/4"	Metal Clad	6/A5.72		4/A5.72	TEMP		
411A	A1	Casement	3' - 0"	5' - 6"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	PLATE	EGRESS	
412A	D	Fixed / Casement	3' - 0"	4' - 10"	7' - 10"	Metal Clad	12/A5.72		10/A5.72	PLATE	FIXED TRAP UPPER, CASEMENT LOWER	
413A	A	Awning	3' - 0"	5' - 6"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
414A	B	Fixed	2' - 10"	2' - 3"	9' - 0"	Metal Clad	9/A5.72	2 & 8 /A5.72	7/A5.72	PLATE	SASH SET	
415A	A1	Awning	2' - 10"	5' - 6"	9' - 0"	Metal Clad	9/A5.72	2 & 8 /A5.72	7/A5.72	TEMP		
416A	A	Fixed	3' - 0"	7' - 8"	8' - 5"	Metal Clad	12/A5.72	11/A5.72	10/A5.72	TEMP		
450A	F	Fixed	3' - 6"	5' - 0"	8' - 6"	Metal Clad		8/A3.11	4/A5.72	PLATE	SASH SET	
452A	A1	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
452B	A1	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72		4/A5.72	TEMP		
453A	A1	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72		4/A5.72	TEMP		
453B	A1	Awning	3' - 6"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
453C	B	Fixed	3' - 6"	5' - 0"	7' - 3"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	PLATE	SASH SET	
453D	C1	Casement	8' - 0"	6' - 9"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	PLATE		
453E	B	Fixed	3' - 6"	5' - 0"	7' - 3"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	PLATE	SASH SET	
453F	E	Fixed	8' - 0"	2' - 7 1/4"	12' - 7 1/4"	Metal Clad	6/A5.72	5/A5.72		PLATE	MECH LOUVER	
458A	D1	Fixed / Casement	3' - 0"	4' - 10"	7' - 10"	Metal Clad	12/A5.72		10/A5.72	PLATE	FIXED TRAP UPPER, CASEMENT EGRESS LOWER	
459A	B	Fixed	3' - 0"	2' - 3"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	PLATE	SASH SET	
461C	A1	Awning	3' - 0"	5' - 6"	9' - 0"	Metal Clad	6/A5.72	5/A5.72	4/A5.72	TEMP		
462A	B	Fixed	2' - 10"	2' - 3"	9' - 0"	Metal Clad	9/A5.72	2 & 8 /A5.72	7/A5.72	PLATE	SASH SET	
463A	A1	Awning	2' - 10"	5' - 6"								

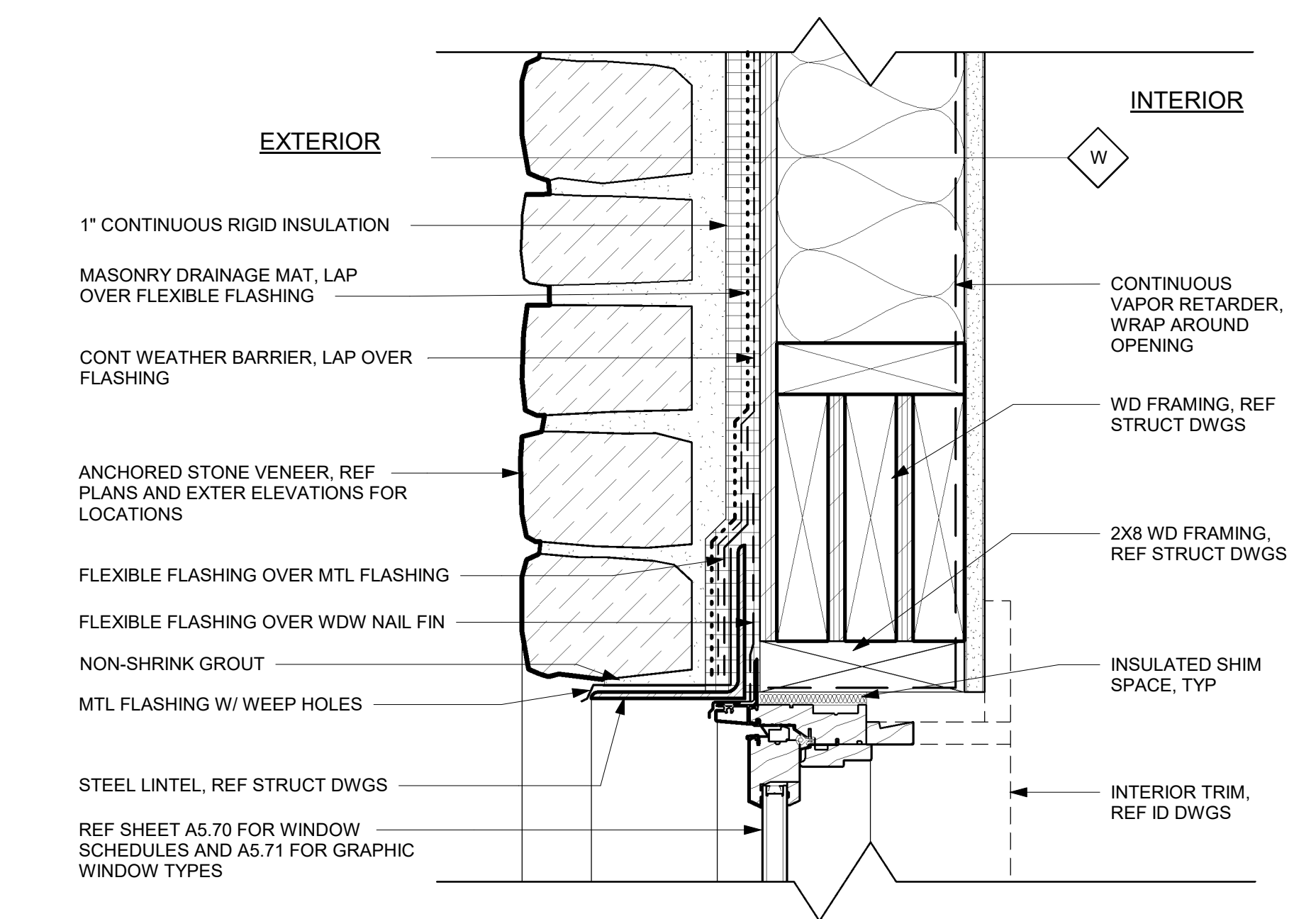
ISSUE No.	DATE	COMMENT
E	07/11/2019	50% CD Set
F	09/12/2019	PERMIT SET
G	06/18/2020	DESIGN REVIEW
H	12/09/2020	PERMIT REISSUE
J	07/22/2021	FINAL DESIGN REVIEW

KEY PLAN

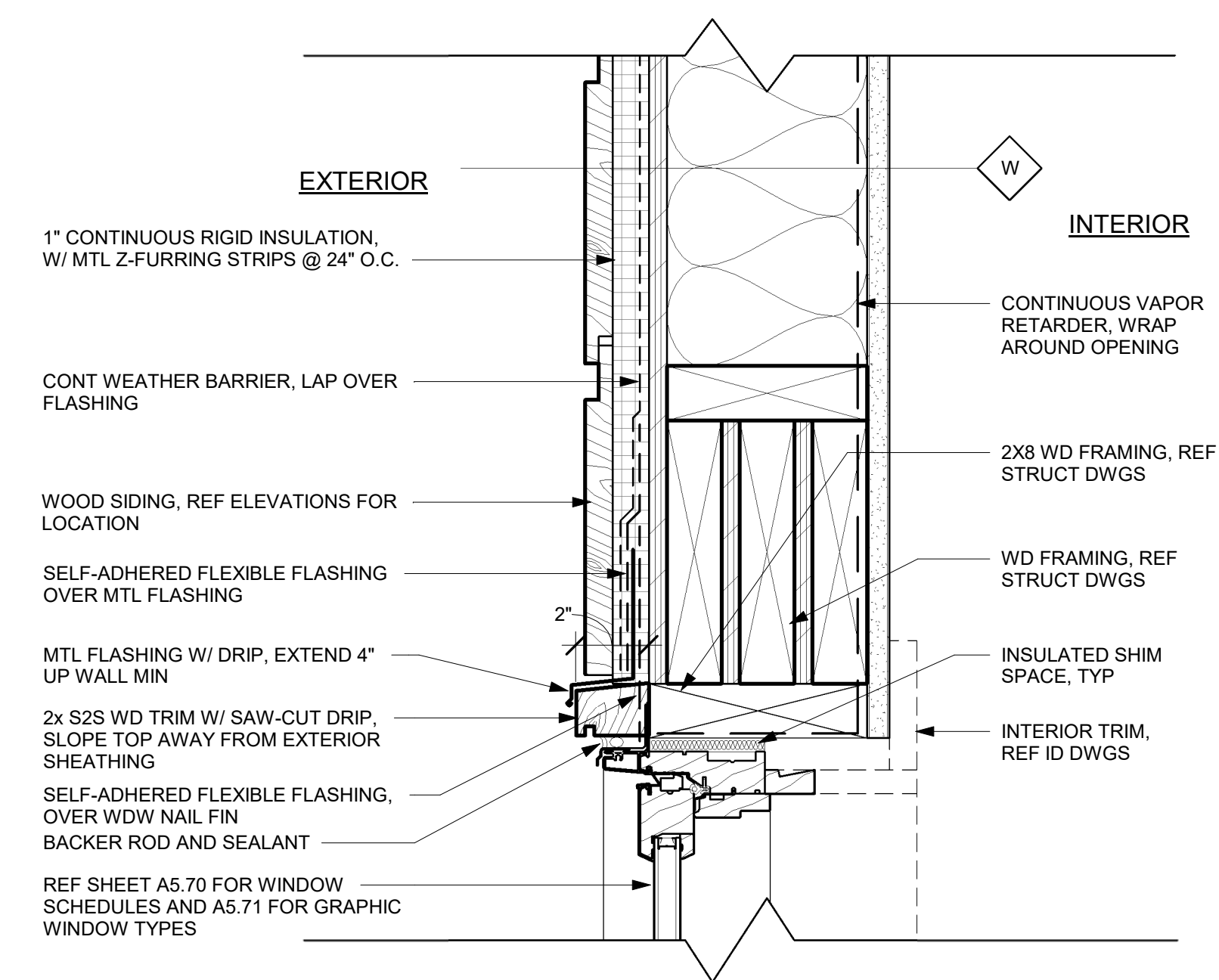
WINDOW DETAILS

PROJECT No.	20182606.00	ORIGIN DATE	11/13/2018
DRAWN BY	CH	CHK BY	TL
		TRV BY	DF
SHEET No.	A5.72		
SCALE	AS SHOWN		

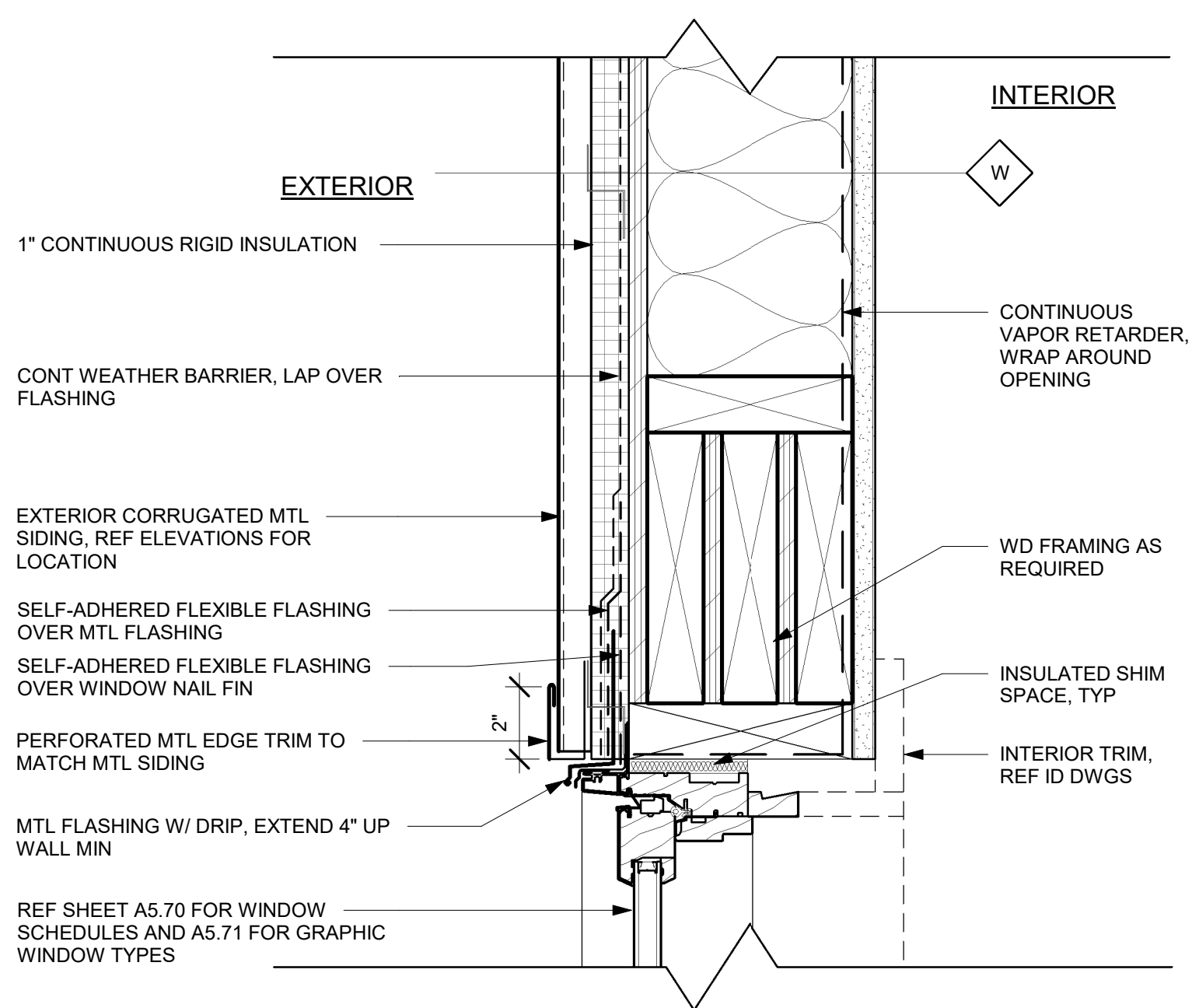
GENERAL NOTES:
 1. DETAILS HAVE BEEN UPDATED TO REFLECT NEW ASSEMBLY TYPES, REF SHEETS A5.20-5.22 FOR ADDITIONAL INFORMATION.



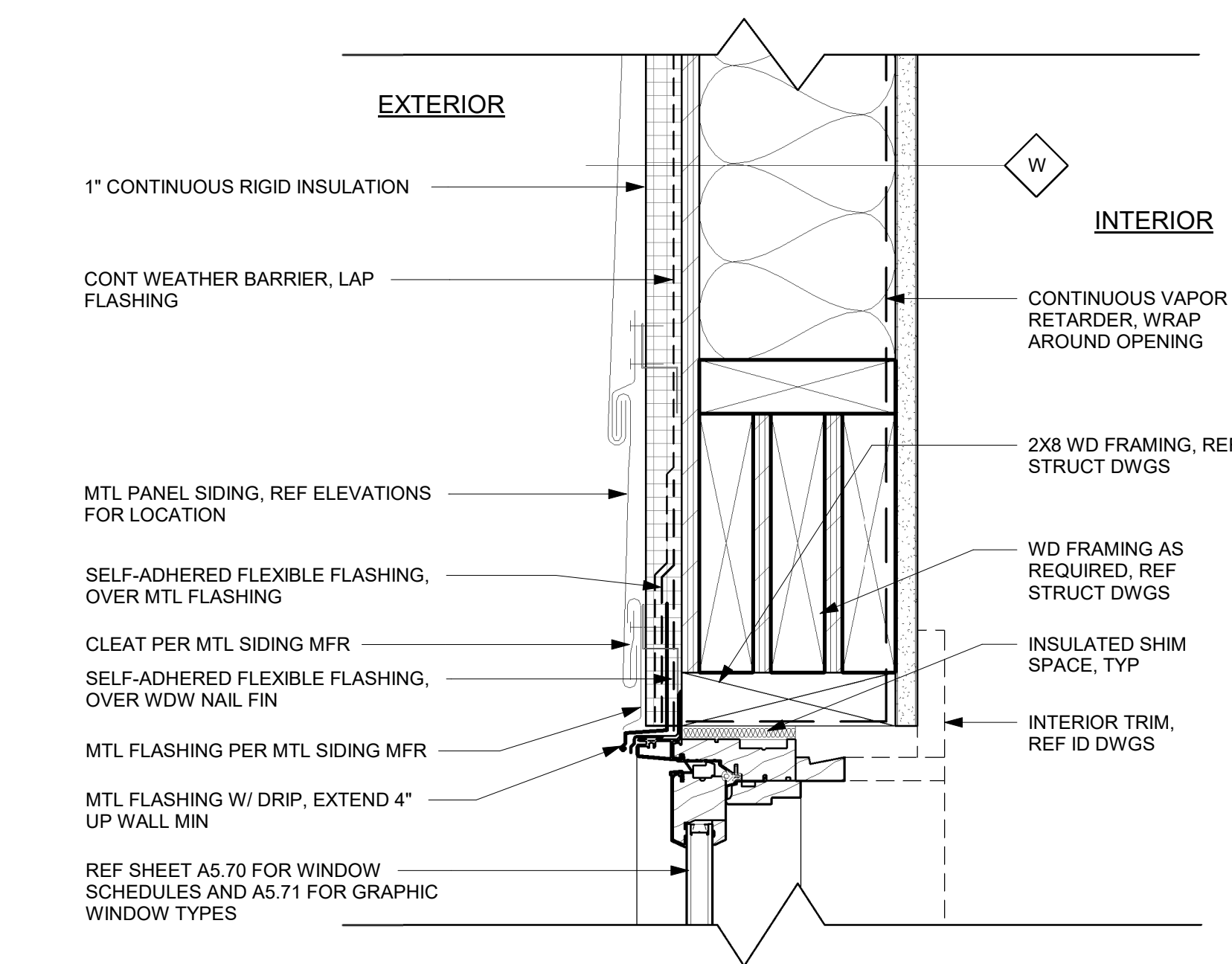
3 WINDOW HEAD AT SONE VENEER TYP
 A5.72 3" = 1'-0"



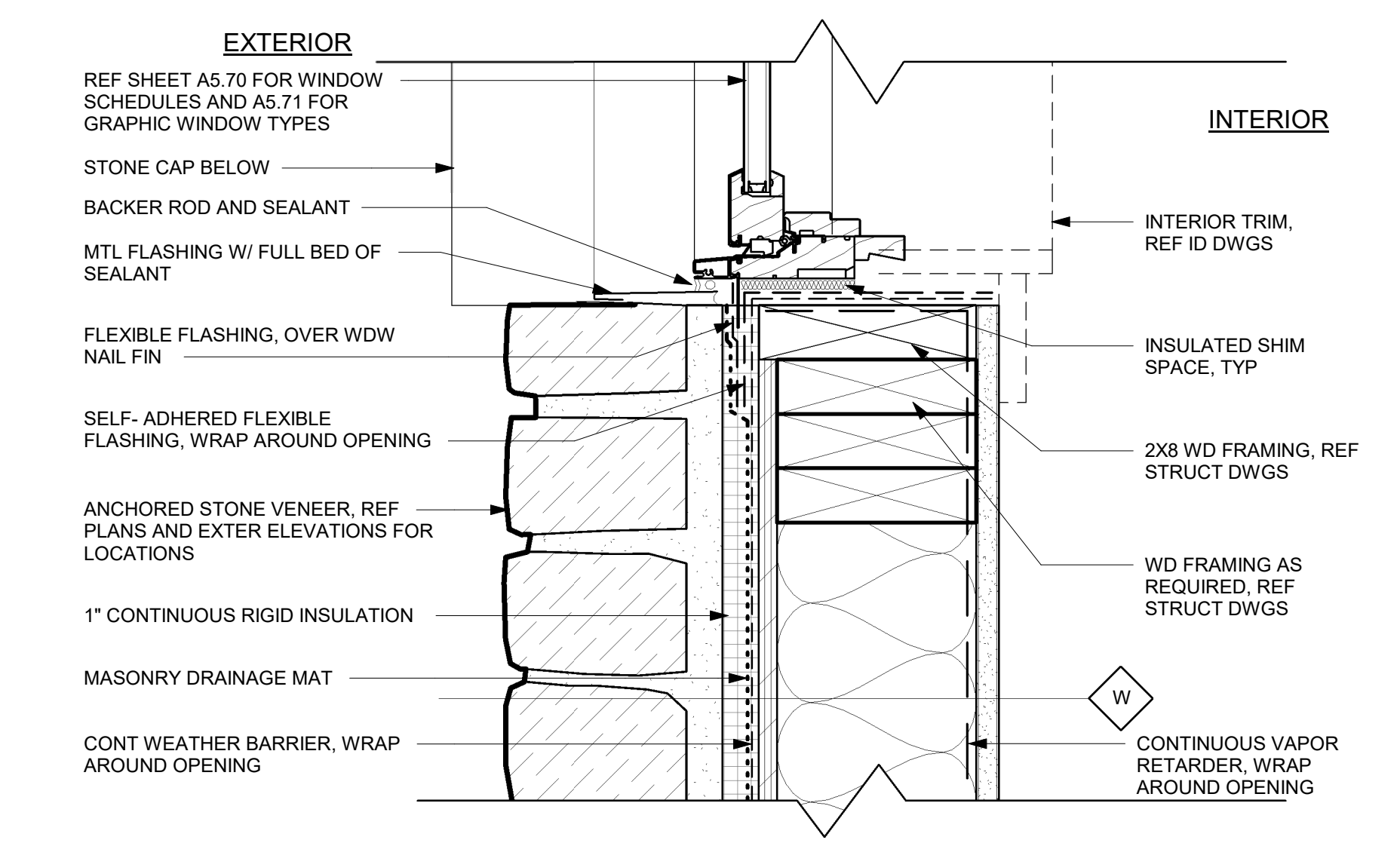
6 WINDOW HEAD AT WOOD SIDING TYP
 A5.72 3" = 1'-0"



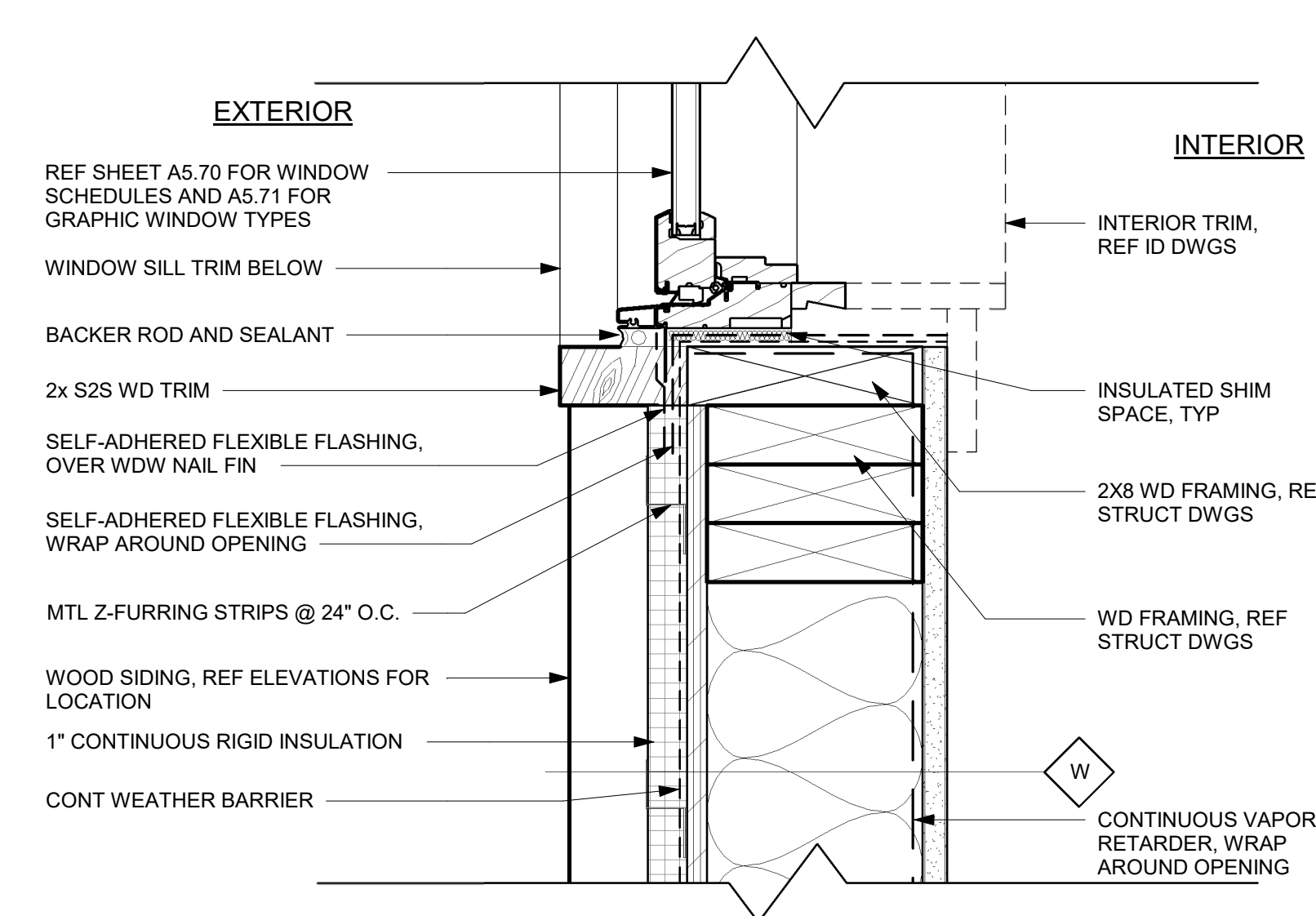
9 WINDOW HEAD AT CORRUGATED SIDING TYP
 A5.72 3" = 1'-0"



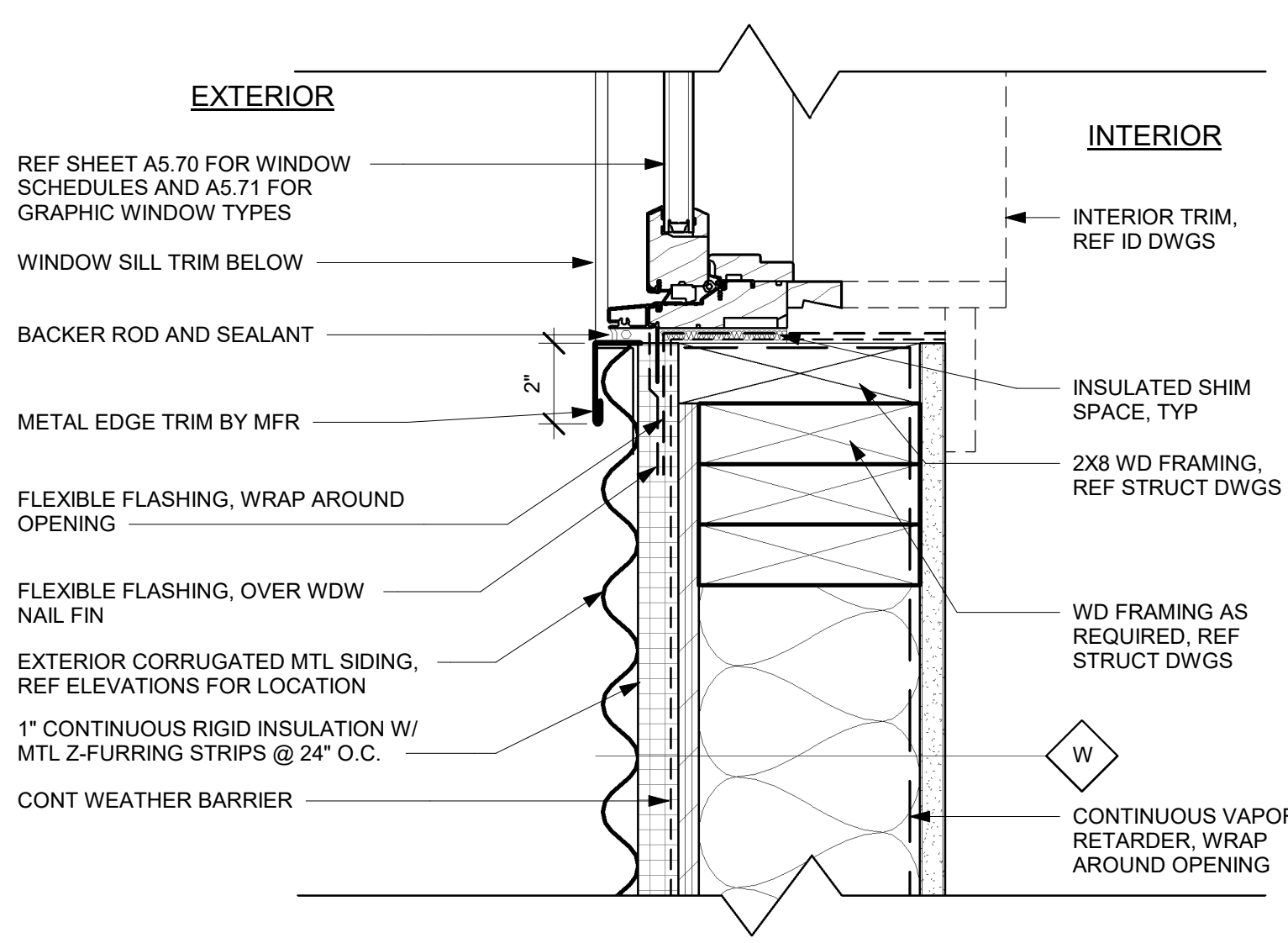
12 WINDOW HEAD AT METAL PANEL TYP
 A5.72 3" = 1'-0"



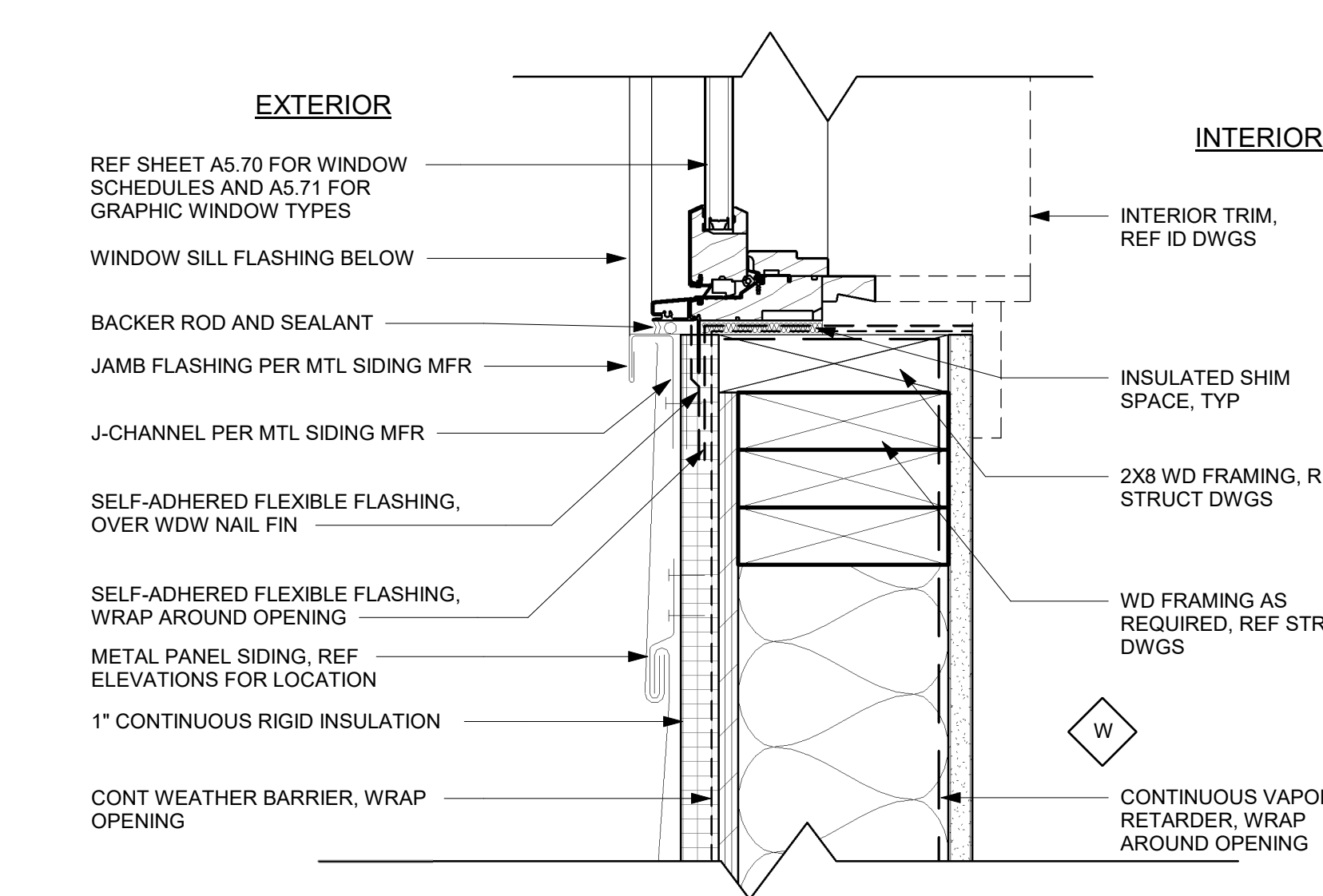
2 WINDOW JAMB AT SONE VENEER TYP
 A5.72 3" = 1'-0"



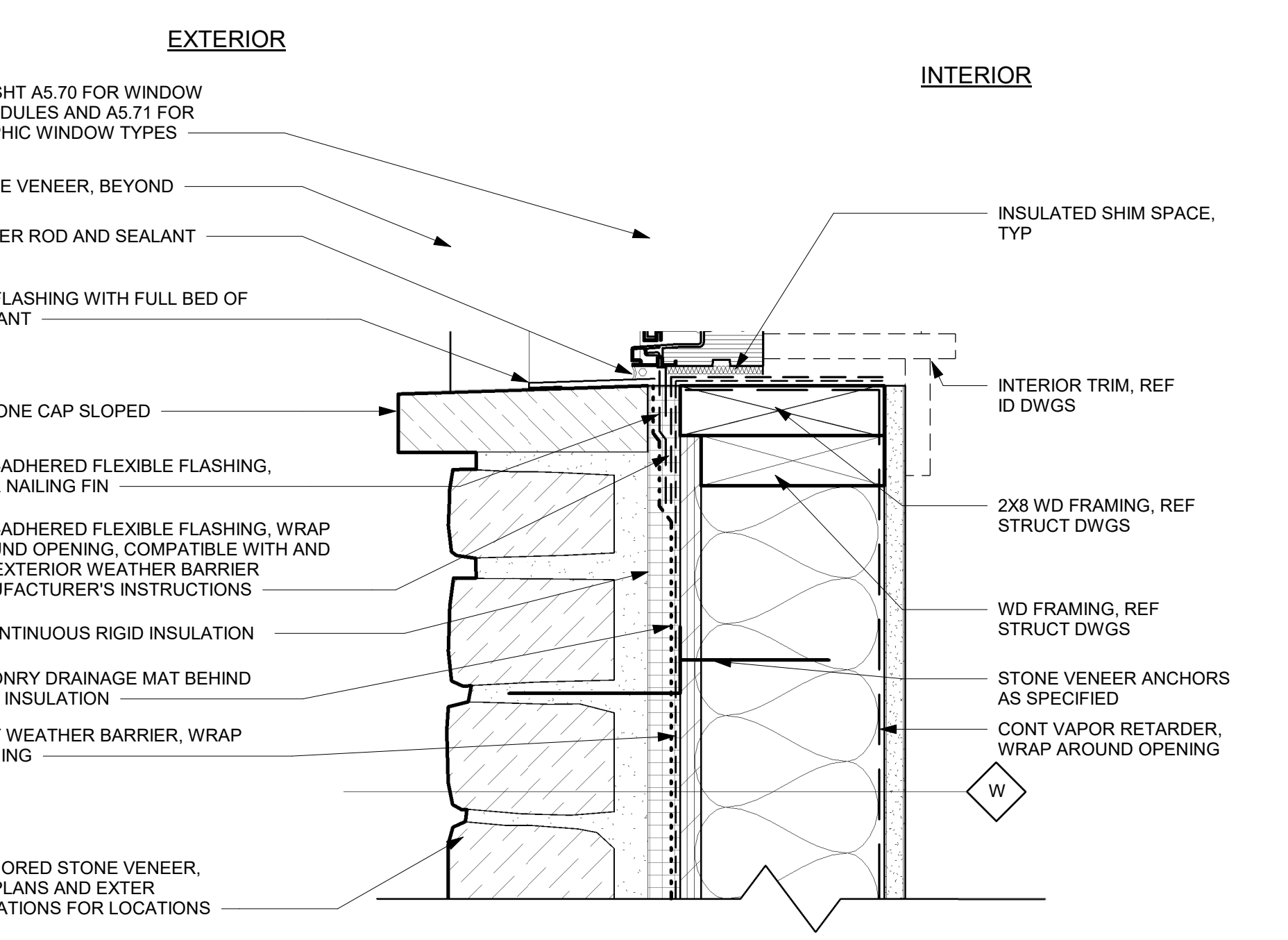
5 WINDOW JAMB AT WOOD SIDING TYP
 A5.72 3" = 1'-0"



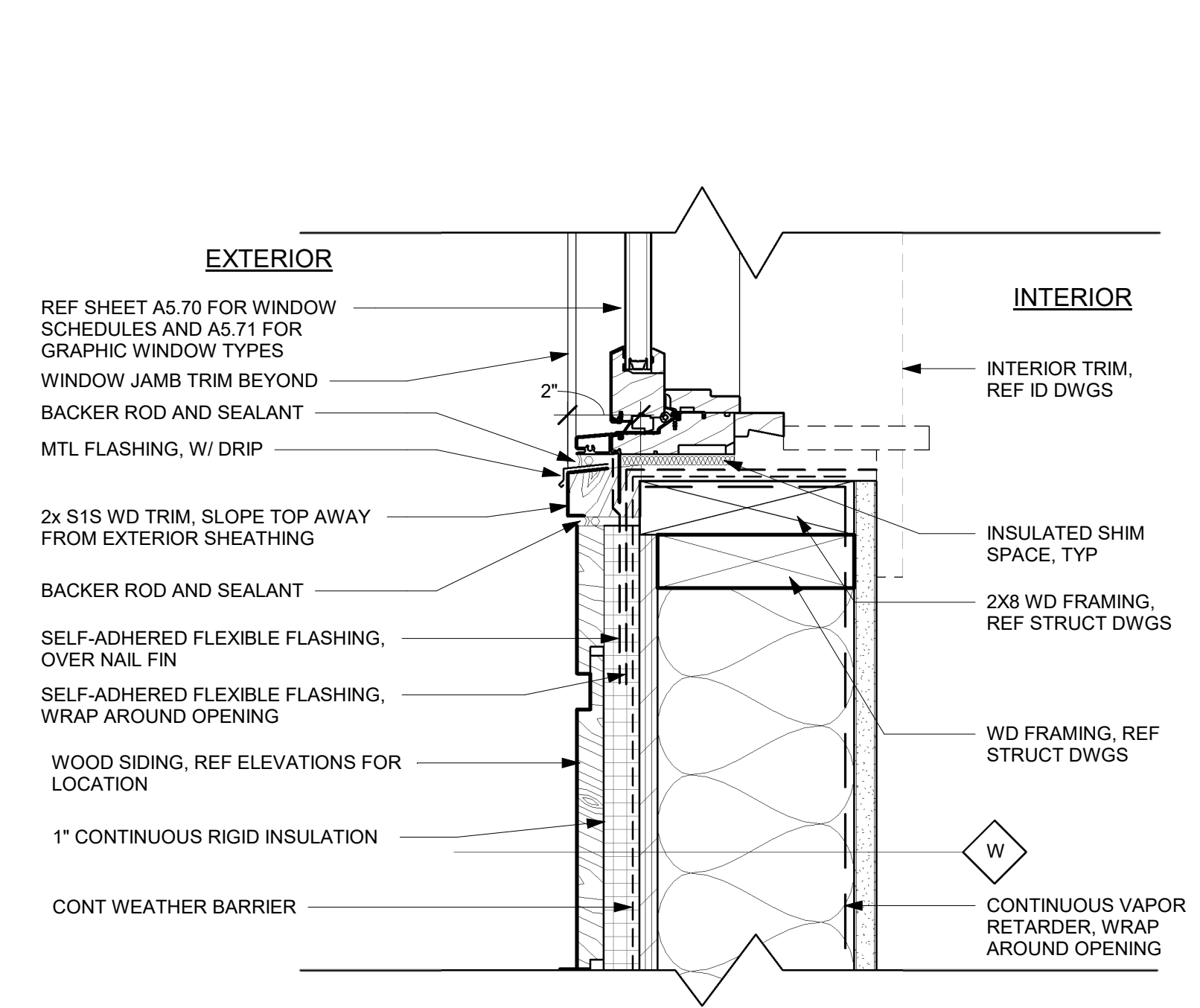
8 WINDOW JAMB AT CORRUGATED SIDING TYP
 A5.72 3" = 1'-0"



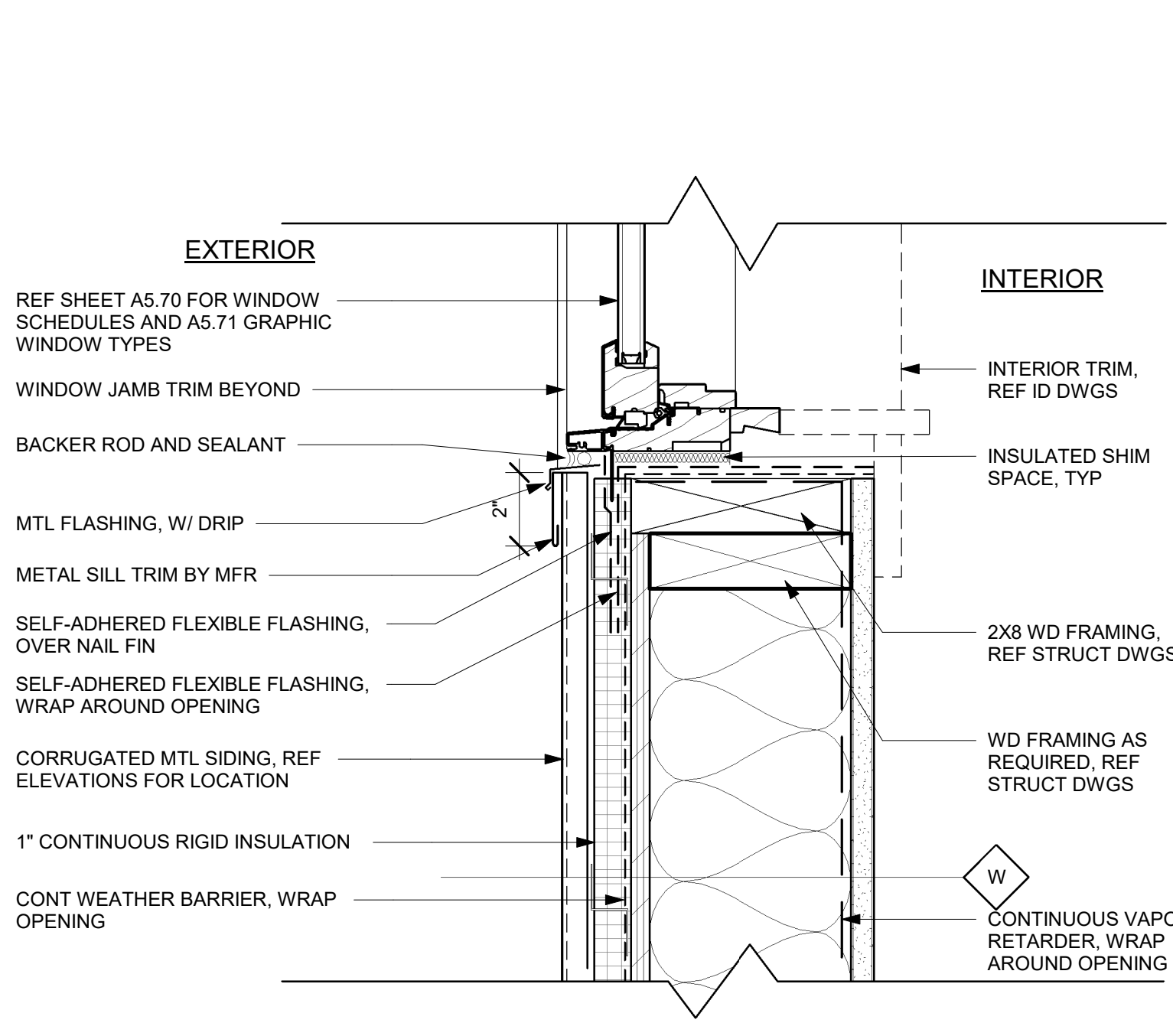
11 WINDOW JAMB AT METAL PANEL TYP
 A5.72 3" = 1'-0"



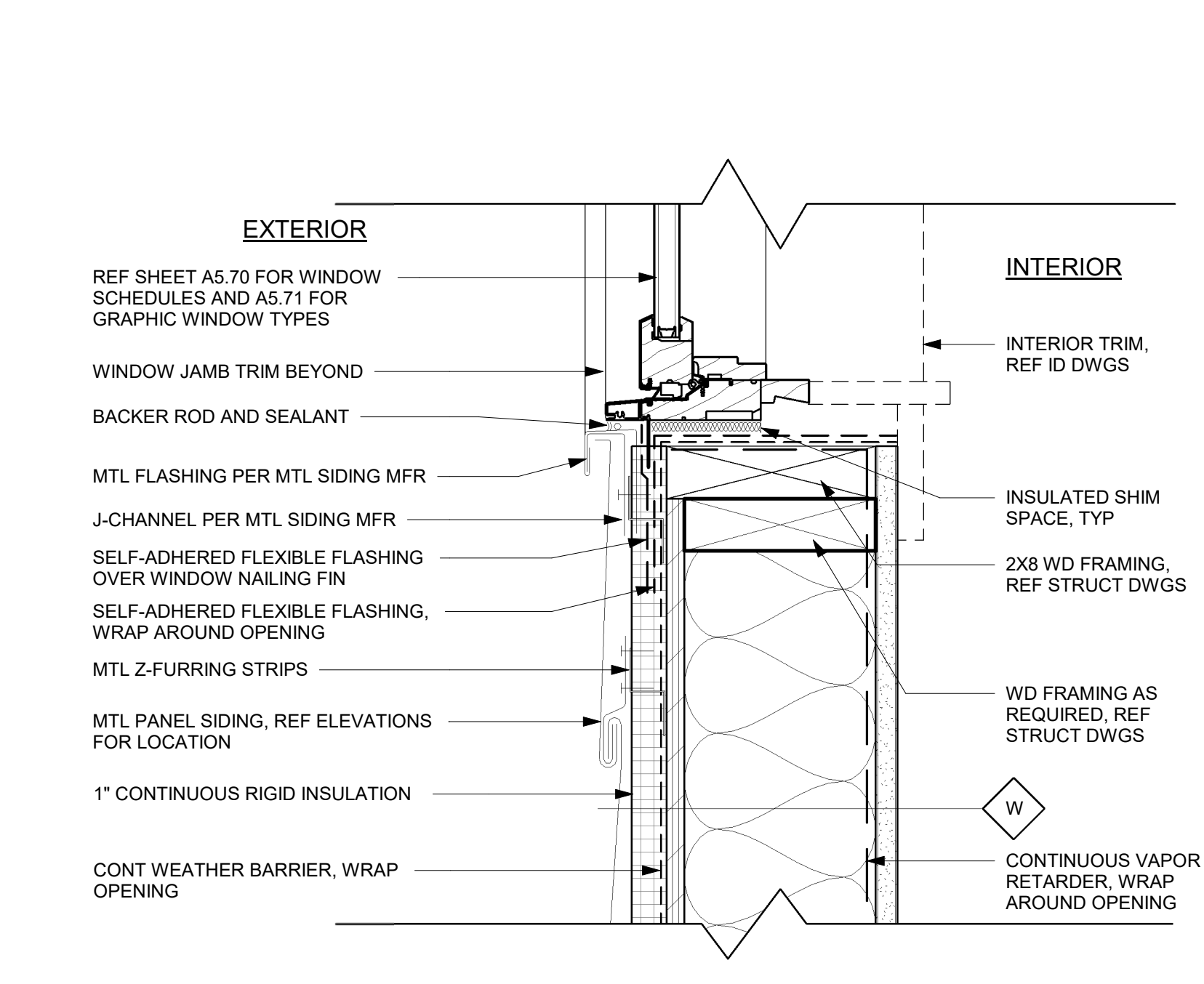
1 WINDOW SILL AT SONE VENEER TYP
 A5.72 3" = 1'-0"



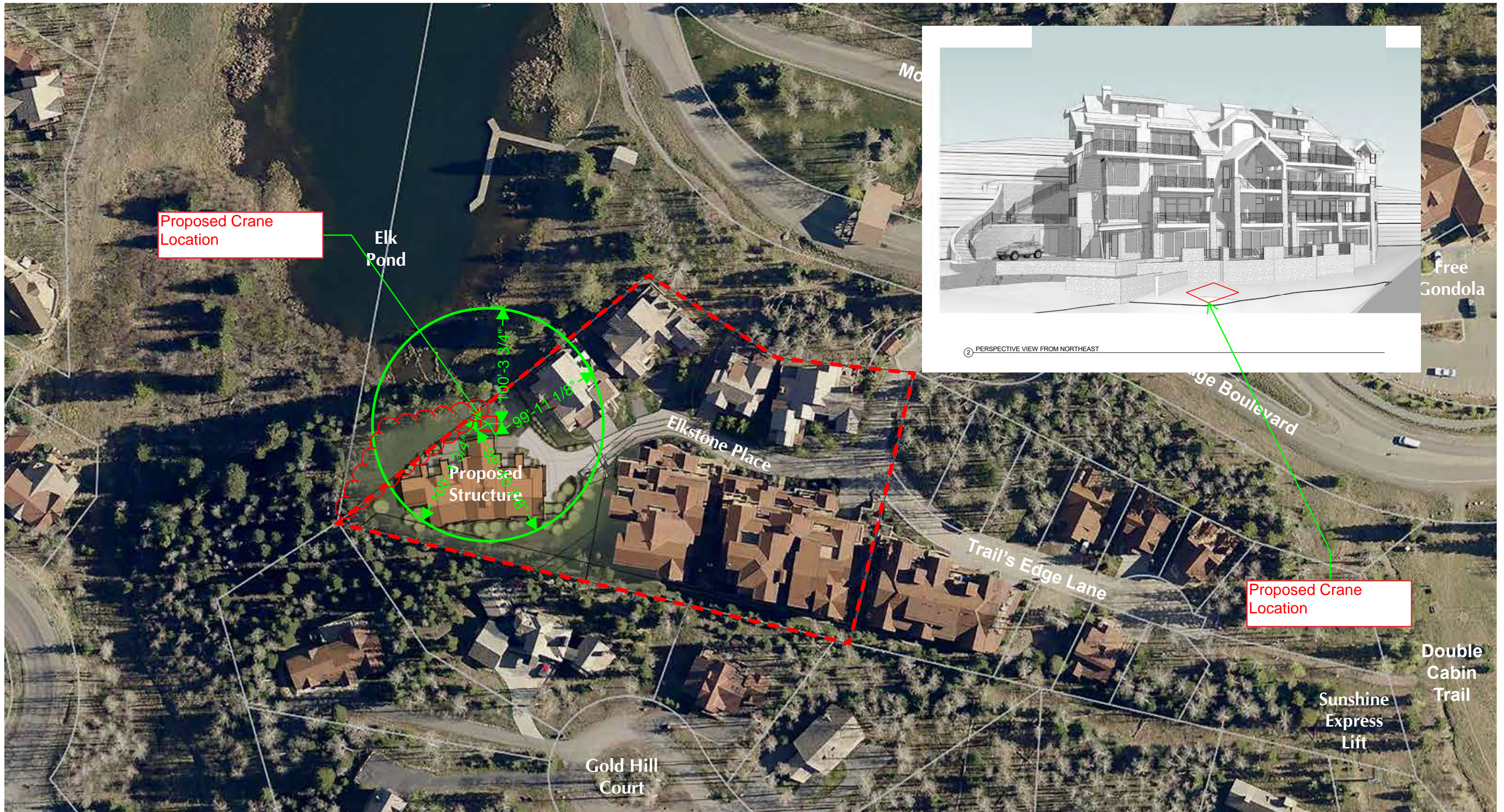
4 WINDOW SILL AT WOOD SIDING TYP
 A5.72 3" = 1'-0"



7 WINDOW SILL AT CORRUGATED SIDING TYP
 A5.72 3" = 1'-0"



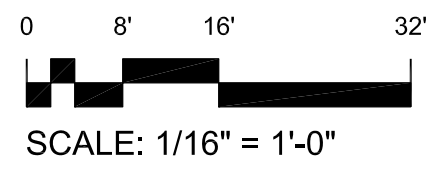
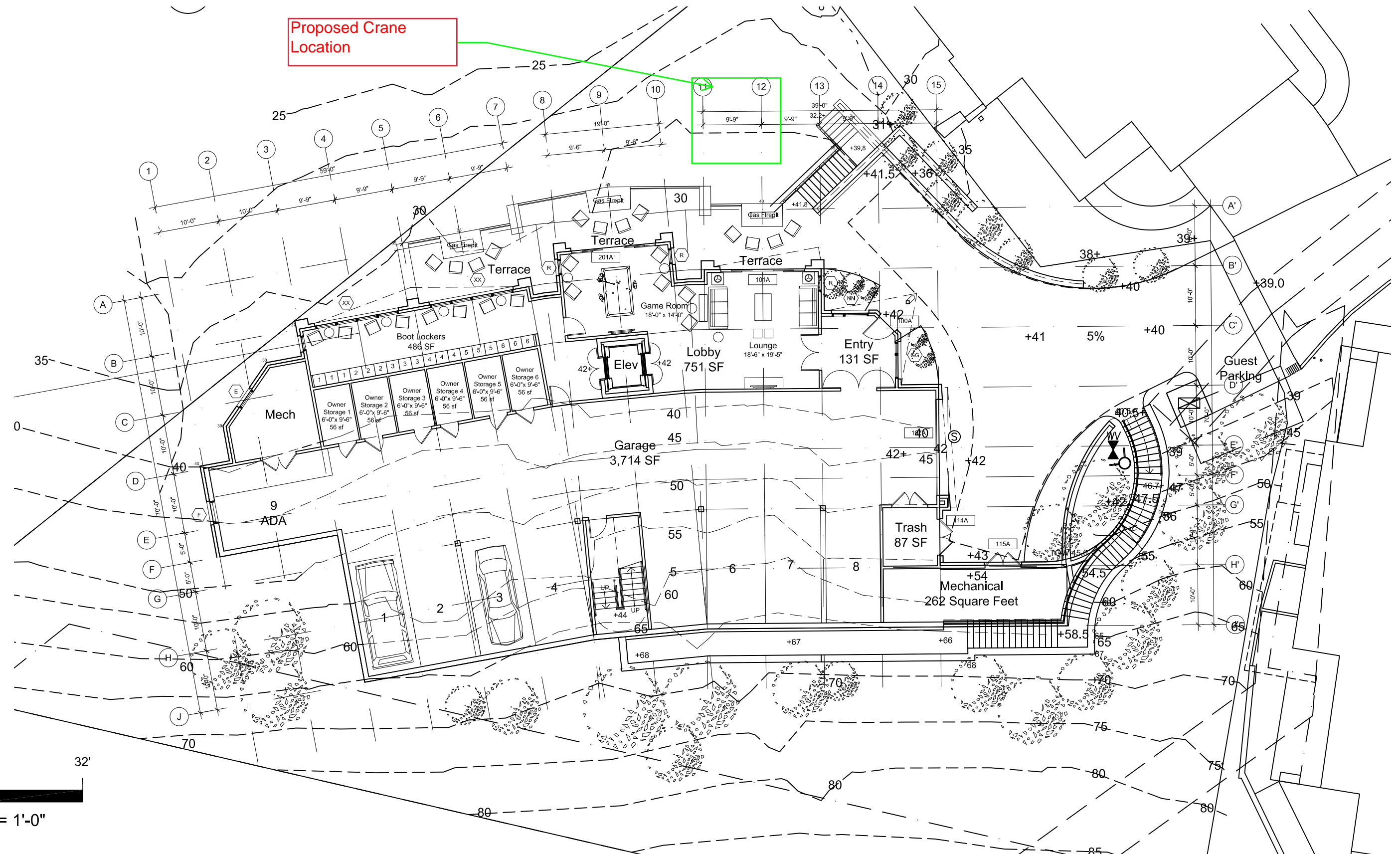
10 WINDOW SILL AT METAL PANEL TYP
 A5.72 3" = 1'-0"



 Site Plan

January 24, 2019

Proposed Crane Location



First Level Floor Plan (+42'-0")

January 24, 2019

Schematic Design
elkstone lakeside condominiums

FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs. Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.

Accommodates 12"-24" joist spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max ceiling thickness 1-1/2".

OPTICS — LEDs are binned to a 3-step SDCM; 80 CRI minimum. LED light source concealed with diffusing optical lens. General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

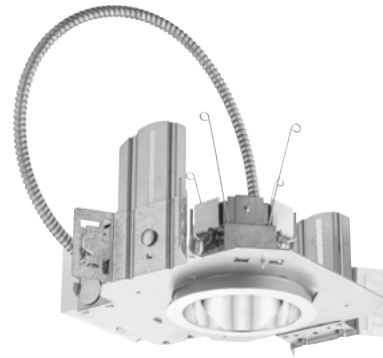
ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available. 0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled. 70% lumen maintenance at 50,000 hours.

LISTINGS — Certified to US and Canadian safety standards. Damp location standard (wet location, covered ceiling optional). ENERGY STAR® certified product.

WARRANTY — 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Catalog Number
Notes
Type



LDN4

**4" OPEN
Non-IC
New Construction Downlight**



A+ Capable options indicated by this color background.

ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: LDN4 35/15 L04AR LSS MVOLT EZ1

LDN4 Series	Color temperature	Lumens ¹	Aperture/Trim Color		Finish	Voltage
LDN4 4" round	27/ 2700K	05 500 lumens	L04	Downlight	AR Clear	LSS Semi-specular
	30/ 3000K	10 1000 lumens	LW4	Wallwash	WR ² White	LD Matte diffuse
	35/ 3500K	15 1500 lumens			BR ² Black	LS Specular
	40/ 4000K	20 2000 lumens				MVOLT Multi-volt
	50/ 5000K	25 2500 lumens				120 120V
		30 3000 lumens				277 277V
						347 ³ 347V

Driver	Options			
GZ10 0-10V driver dims to 10%	SF ⁴	Single fuse	N80 ⁶	nLight™ Lumen Compensation
GZ1 0-10V driver dims to 1%	TRW ⁵	White painted flange	NPS80EZ ⁶	nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1).
EZ10 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 10%	TRBL ⁵	Black painted flange	NPS80EZER ⁶	nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). ER controls fixtures on emergency circuit.
	EL	Emergency battery pack with integral test switch. Not Certified in CA Title 20 MAEDBS	HAO ⁹	High ambient option (40°C)
EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1%	ELR	Emergency battery pack with remote test switch. Not Certified in CA Title 20 MAEDBS	CP ¹⁰	Chicago Plenum
	ELSD	Emergency battery pack with self-diagnostics, integral test switch. Not Certified in CA Title 20 MAEDBS	WL	Wet Location, specify for exterior use applications
	ELRSD	Emergency battery pack with self-diagnostics, remote test switch. Not Certified in CA Title 20 MAEDBS	RRL__	RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S.
	E10WC	Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDBS	NLTAIR2 ^{2,8}	nLight® Air enabled
	E10WCPR	Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDBS	NLTAIRER2 ^{8,9}	nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit
	NPP16D ⁶	nLight® network power/relay pack with 0-10V dimming for non-elddoLED drivers (GZ10, GZ1).	USPOM	US point of manufacture
	NPP16DER ⁶	nLight® network power/relay pack with 0-10V dimming for non-elddoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit.		

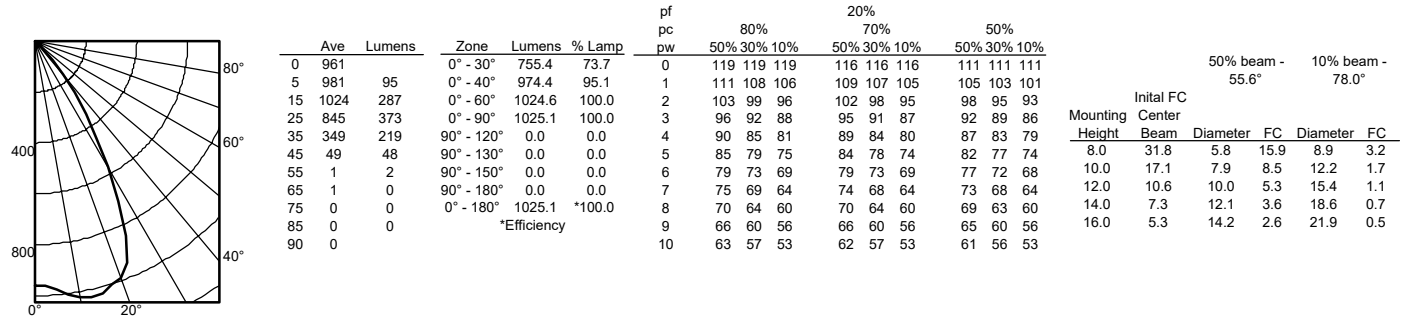
Notes

- Overall height varies based on lumen package; refer to dimensional chart on page 3.
- Not available with finishes.
- Not available with emergency options.
- Must specify voltage 120V or 277V.
- Available with clear (AR) reflector only.
- Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
- Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers.
- Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP16DER or N80 options.
- NLTAIR2 and NLTAIRER2 not recommended for metal ceiling installations.
- Fixture height is 5-11/16" for all lumen packages with HAO.
- Must specify voltage for 3000lm. Not available with emergency battery pack option.

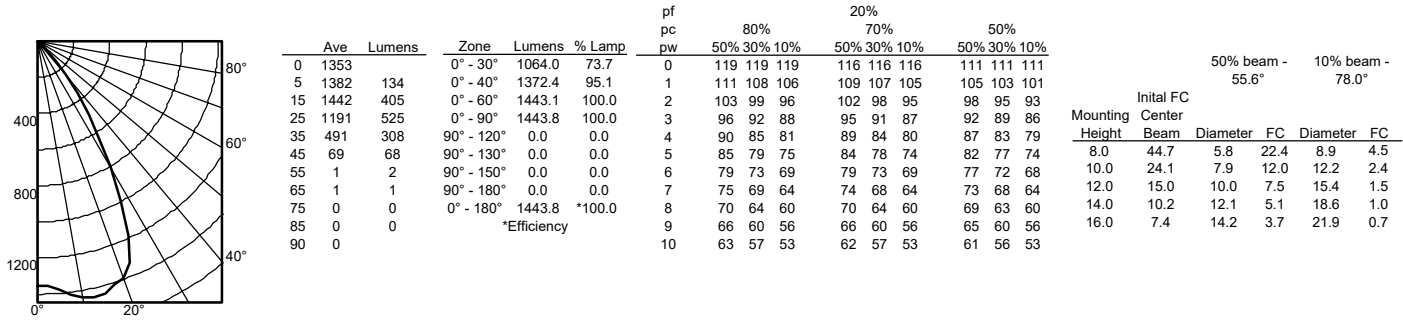
PHOTOMETRY

Distribution Curve	Distribution Data	Output Data	Coefficient of Utilization	Illuminance Data at 30" Above Floor for a Single Luminaire
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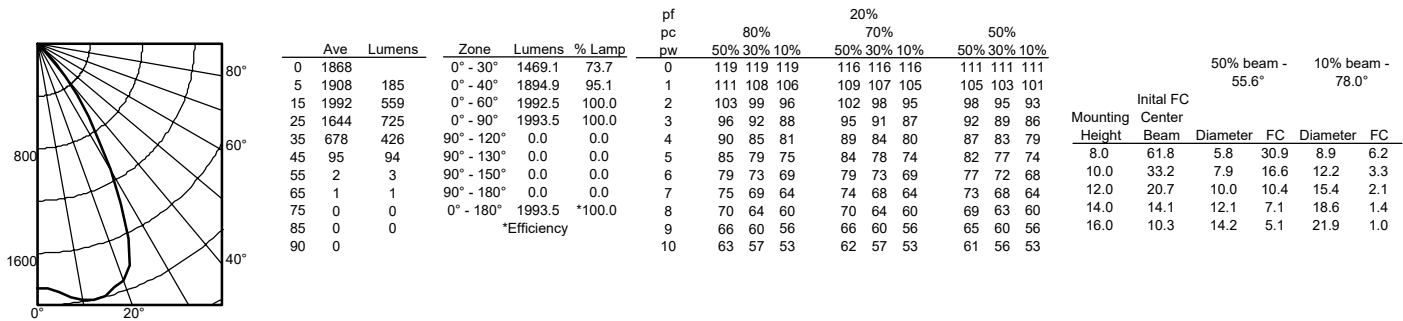
LDN4 35/10 L04AR, input watts: 12.69, delivered lumens: 1025.1, LM/W = 80.78, spacing criterion at 0= 1.04, test no. ISF 30712P31.



LDN4 35/15 L04AR, input watts: 20.44, delivered lumens: 1443.8, LM/W = 70.63, spacing criterion at 0= 1.04, test no. ISF 30712P28.



LDN4 35/20 L04AR, input watts: 22.52, delivered lumens: 1993.5, LM/W = 88.52, spacing criterion at 0= 1.04, test no. ISF 30712P25.



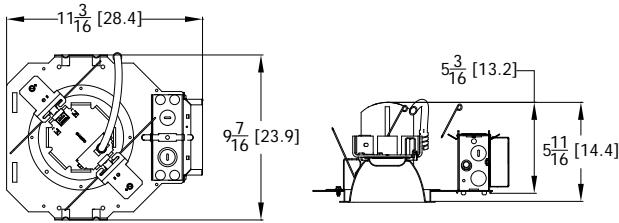
Accessories: Order as separate catalog numbers (shipped separately).

SCA4 Sloped ceiling adapter.
Degree of slope must be specified (5D, 10D, 15D, 20D, 25D, 30D). Refer to [TECH-190](#).

LDN4

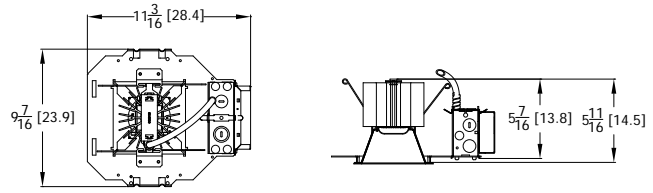
* All dimensions are inches (centimeters) unless otherwise noted.

LDN4 500-1500 LUMEN



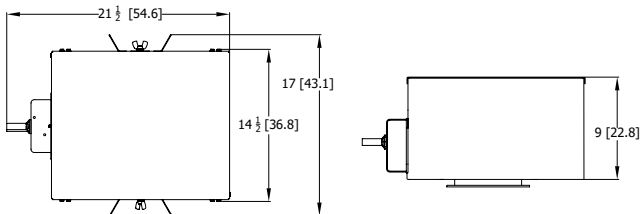
Aperture: 4-5/16 (11)
 Ceiling Opening: 5-1/8 (13)
 Overlap trim: 5-7/16 (13.8)

LDN4 2000-3000 LUMEN



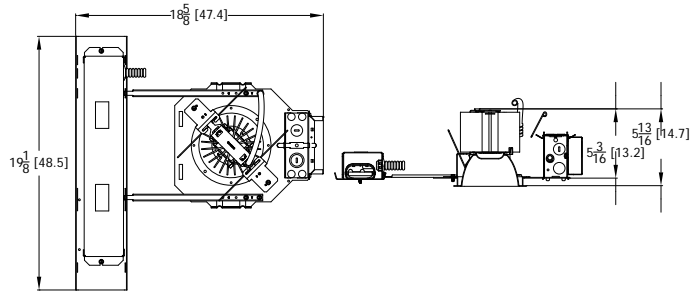
Aperture: 4-5/16 (11) Square
 Ceiling Opening: 5-1/8 (13) Square
 Overlap trim: 5-7/16 (13.8) Square

LDN4 CP



Aperture: 4-5/16 (11)
 Ceiling Opening: 5-1/8 (13)
 Overlap trim: 5-7/16 (13.8)

LDN4 EL-ELR



Aperture: 4-5/16 (11)
 Ceiling Opening: 5-1/8 (13)
 Overlap trim: 5-7/16 (13.8)

LDN4			
Target Lumen	Lumens @ 3500K	Wattage	LPW
500	688.8	8.5	80.8
1000	1025.1	12.7	80.7
1500	1443.8	20.4	70.8
2000	1993.5	22.5	88.6
2500	2659.0	30.1	88.3
3000	2860.1	34.8	82.2

HOW TO ESTIMATE DELIVERED LUMENS IN EMERGENCY MODE

Use the formula below to estimate the delivered lumens in emergency mode

Delivered Lumens = 1.25 x P x LPW

P = Output power of emergency driver. P = 10W for PS1055CP

LPW = Lumen per watt rating of the luminaire. This information is available on the ABL luminaire spec sheet.

The LPW rating is also available at Designlight Consortium.

LUMEN OUTPUT MULTIPLIERS - CCT					
	2700K	3000K	3500K	4000K	5000K
80CRI	0.950	0.966	1.000	1.025	1.101

LUMEN OUTPUT MULTIPLIERS - FINISH			
	Clear (AR)	White (WR)	Black (BR)
Specular (LS)	1.0	N/A	N/A
Semi-specular (LSS)	0.950	N/A	N/A
Matte diffuse (LD)	0.85	N/A	N/A
Painted	N/A	0.87	0.73

Notes

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 80 typical.

ADDITIONAL DATA

COMPATIBLE 0-10V WALL-MOUNT DIMMERS		
MANUFACTURER	PART NO.	POWER BOOSTER AVAILABLE
Lutron®	Diva® DVTV	
	Diva® DVSTV	
	Nova T® NTFTV	
	Nova® NFTV	
Leviton®	AWSMT-7DW	CN100
	AWSMG-7DW	PE300
	AMRMG-7DW	
	Leviton Centura Fluorescent Control System	
	IllumaTech® IP7 Series	
Synergy®	ISD BC	RDMFC
	SLD LPCS	
	Digital Equinox (DEQ BC)	
Douglas Lighting Controls	WPC-5721	
Entertainment Technology	Tap Glide TG600FAM120 (120V)	
	Tap Glide Heatsink TGH1500FAM120 (120V)	
	Oasis OA2000FAMU	
Honeywell	EL7315A1019	EL7305A1010 (optional)
	EL7315A1009	
HUNT Dimming	Preset slide: PS-010-IV and PS-010-WH	
	Preset slide: PS-010-3W-IV and PS-010-3W-WH	
	Preset slide, controls FD-010: PS-IFC-010-IV and PS-IFC-010-WH-120/277V	
	Preset slide, controls FD-010: PS-IFC-010-3W-IV and PS-IFC-010-3W-WH-120/277V	
	Remote mounted unit: FD-010	
Lehigh Electronic Products	Solitaire	PBX
PDM Electrical Products	WPC-5721	
Starfield Controls	TR61 with DALI interface port	RT03 DALInet Router
WattStopper®	LS-4 used with LCD-101 and LCD-103	

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is part of an A+ Certified solution for nLight® control networks when ordered with drivers marked by a **shaded background***
- This luminaire is part of an A+ Certified solution for nLight control networks, providing advanced control functionality at the luminaire level, when selection includes driver and control options marked by a **shaded background***

To learn more about A+, visit www.acuitybrands.com/aplus.

*See ordering tree for details

LDN4

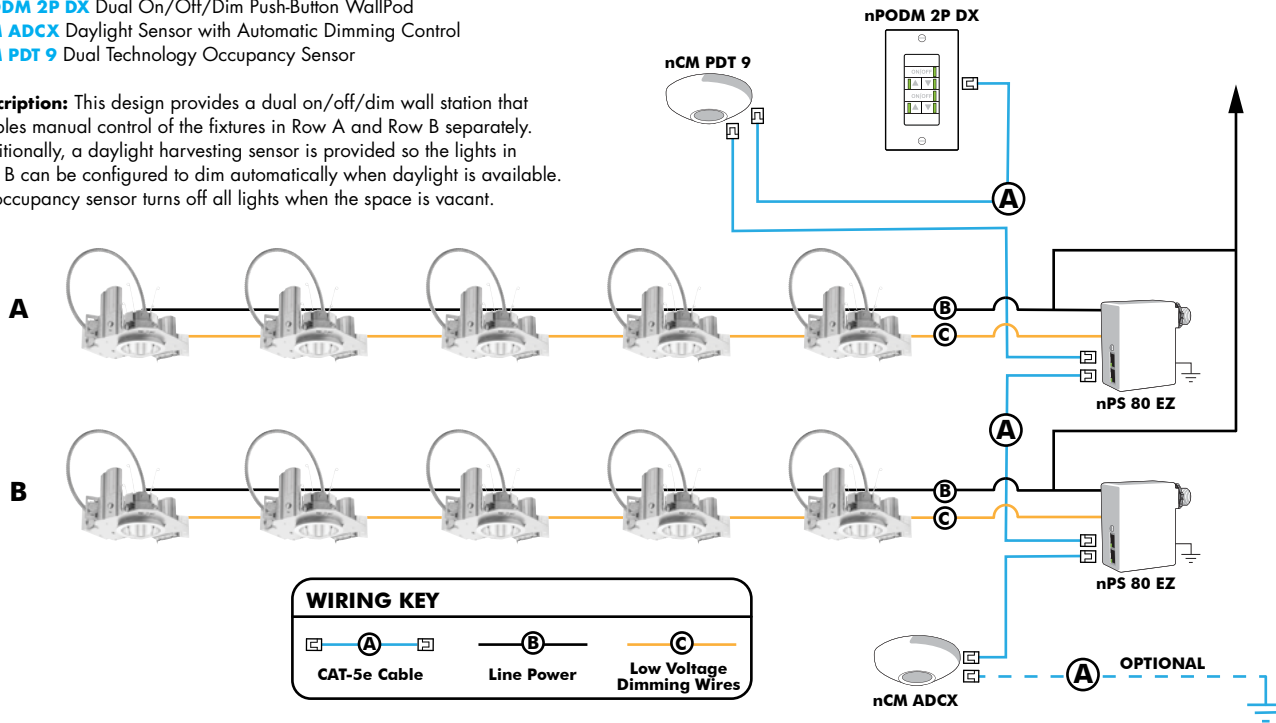
EXAMPLE

Group Fixture Control*

*Application diagram applies for fixtures with eldoLED drivers only.

- nPS 80 EZ** Dimming/Control Pack (qty: 2 required)
- nPODM 2P DX** Dual On/Off/Dim Push-Button WallPod
- nCM ADCX** Daylight Sensor with Automatic Dimming Control
- nCM PDT 9** Dual Technology Occupancy Sensor

Description: This design provides a dual on/off/dim wall station that enables manual control of the fixtures in Row A and Row B separately. Additionally, a daylight harvesting sensor is provided so the lights in Row B can be configured to dim automatically when daylight is available. An occupancy sensor turns off all lights when the space is vacant.



Choose Wall Controls

nLight offers multiple styles of wall controls - each with varying features and user experience.



Push-Button Wallpod
Traditional tactile buttons and LED user feedback



Graphic Wallpod
Full color touch screen provides a sophisticated look and feel

nLight® Wired Controls Accessories:

Order as separate catalog number. Visit www.acuitybrands.com/products/controls/nlight for complete listing of nLight controls.

WallPod Stations	Model number	Occupancy sensors	Model Number
On/Off	nPODM (Color)	Small motion 360°, ceiling (PIR/dual Tech)	nCM 9 / nCM PDT 9
On/Off & Raise/Lower	nPOD DX (Color)	Large motion 360°, ceiling (PIR/dual tech)	nCM 10 / nCM PDT 10
Graphic Touchscreen	nPOD GFX (Color)	Wide View (PIR/dual tech)	nWV 16 / nWV PDT 16
Photocell controls	Model Number	Wall Switch w/ Raise/Lower (PIR/dual tech)	nWSX LV DX / nWSX PDT LV DX
Dimming	nCM ADCX	Cat-5 cables (plenum rated)	Model Number
		10', CAT5 10FT	CATS 10FT J1
		15, CAT5 15FT	CATS 15FT J1

nLight® AIR Control Accessories:

Order as separate catalog number. Visit www.acuitybrands.com/products/controls/nlightair.

Wall switches	Model number
On/Off single pole	rPODB [color]
On/Off two pole	rPODB 2P [color]
On/Off & raise/lower single pole	rPODB DX [color]
On/Off & raise/lower two pole	rPODB 2P DX [color]
On/Off & raise/lower single pole	rPODBZ DX WH ¹

Notes

- 1 Can only be ordered with the RES7Z zone control sensor version.

nLight AIR

nLight AIR is the ideal solution for retrofit or new construction spaces where adding communication is cost prohibitive. The integrated nLight AIR rPP20 Power Pack is part of each Lithonia LDN Luminaire. These individually addressable controls offer the ultimate in flexibility during initial setup and for space repurposing.



Simple as 1,2,3

1. Install the nLight® AIR fixtures with embedded smart sensor
2. Install the wireless battery-powered wall switch
3. With CLAIRITY app, pair the fixtures with the wall switch and if desired, customize the sensor settings for the desired outcome



Model: WL-LED100

LEDme® Step Light

WAC LIGHTING

Responsible Lighting®



Fixture Type:

Catalog Number:

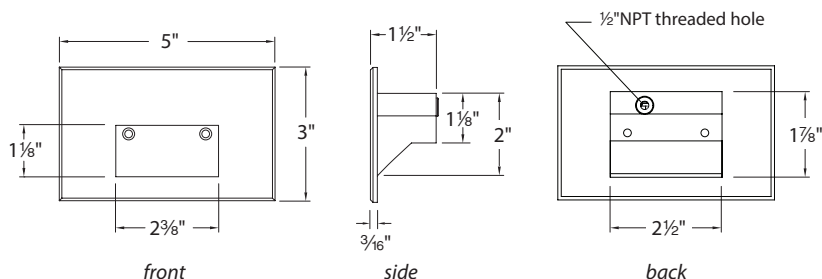
Project: _____

Location: _____

PRODUCT DESCRIPTION

Horizontal rectangle LEDme® Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.



FEATURES

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- Direct wiring, no driver needed
- Low profile, flush to wall aesthetics with no visible hardware
- 54,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- IP66 rated, Protected against high-pressure water jets
- Up to 200 fixtures can be connected in parallel
- 5 year WAC Lighting product warranty

SPECIFICATIONS

Construction: Die-cast aluminum or 316 marine grade cast stainless steel

Power: Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC 50/60Hz

Light Source: 3000K CCT Samsung HV-AC High Power LED, CRI: 90
Optional color lenses. Total power consumption of 3.5W

Mounting: Fits into 2" x 4" J-Box with minimum inside dimensions of 3" L x 2" W x 2" H
Includes bracket for J-Box mount.

Dimming: Dim to 10% with electronic low voltage (ELV) dimmer
Approved dimmers: Lutron Nova-T NTELV-300 & NTELV-600, Lutron Vietri VTELV-600, Lutron Diva DVELV-300P, Lutron Skylark SELV-300P, Lutron Maestro MAELV-600

Standards: IP66, UL & cUL Listed for wet locations, Title 24 JA8-2016 Compliant.

ORDER NUMBER

Model #	Light Color	Finish
WL-LED100 120V	C White 3000K	BK Black on Aluminum
	AM Amber 610nm	BN* Brushed Nickel on Aluminum
	RD Red 640nm	BZ Bronze on Aluminum
	BL Blue 450nm	GH Graphite on Aluminum
WL-LED100F 277V	SS Stainless Steel	WT White on Aluminum
	BL Blue 450nm	
WL-LED100 120V	C White 3000K	BBR Bronze on brass
	AM Amber 610nm	

*Brushed Nickel Finish is for interior use only



Example: **WL-LED100F-BL-SS**

wacighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

From: Bob Horowitz bhorowitz@rhlaw.net
Wed 7/28/2021 10:03 AM

Amy,

Thanks for taking the time to speak to me this morning and meeting on-site with me and my neighbor Rick, regarding the improper non-disturbance fencing location in the site plan which you explained you are assuming constitutes the required revised construction plan.

As discussed, the depicted proposed fencing location in the southwest corner is inconsistent with the approved DRB conditions (nos. 2 and 11) in that the fence would then be too far east and would be within that specific non-disturbance area. In particular, condition 11 provides: *Prior to Final Architectural Review [on August 5], the construction mitigation plan will be revised to include construction fencing placement to protect areas that will not be graded consistent with the overall grading plan. As approved by the DRB, this was required in part to protect the non-disturbance per condition 2 of: the existing Elkstone 21 retaining wall and the four(4) conifers and aspens above the wall in the southeast corner.*

However, as currently depicted, the fence is improperly designated to the east of those protected improvements and trees. As discussed, because the new boulders are to connect to that existing retaining wall, the fence must be moved west to the edge of that first boulder to honor the conditions already approved by the DRB.

Thank you and let me know if you have any questions.

Bob



TO: Mountain Village Design Review Board

FROM: Michelle Haynes, Planning and Development Services Director

FOR: Design Review Board Public Hearing; August 5, 2021

DATE: July 25, 2021

RE: Review and Recommendation to Town Council regarding amendments to the Community Development Code consistent with the Town of Mountain Village Community Housing Initiatives; specifically, amendments to re-introduce duplex development within an overlay district in the single family zone district, modifications to the definition of Accessory Dwelling Unit (ADU), removing Mother-in-law suite and clarifying that an ADU is allowed within detached condominium development and other conforming amendments.

OVERVIEW

The Town Council launched a Community Housing Initiative which consists of a multi-pronged approach to incentivizing and creating community housing in the Town of Mountain Village. The Town of Mountain Village continues to be a leader in supporting existing and new community housing in Mountain Village and the greater Telluride region.

ZONING INCENTIVES OVERVIEW

Town Council provided direction to pursue the zoning incentives as described in this memo. The zoning incentives included re-introducing duplex development as an overlay within the single-family zone district in a limited vicinity called the Duplex Overlay District. This also included providing more clarity regarding accessory dwelling units, ADUs, specifically that they are allowed within detached condominiums in addition to the Single-Family zone district. We also propose zoning incentives related to ADU's. If an ADU is voluntarily deed restricted, the size of the ADU can increase by 200 square feet over the size that is otherwise allowed. Second, if an ADU is voluntarily deed restricted, the overall lot coverage can be increased by 5% on the property. These incentives will be further described below.

ATTACHMENTS

- A. Redline CDC Amendments
- B. Proposed Town Council Policy Resolution
- C. Proposed Duplex primary and secondary overlay

RE-INTRODUCE DUPLEX DEVELOPMENT

Subdividable duplex and non-subdividable duplex zoning designations were first introduced as part of the final Mountain Village Planned Unit Development Agreement and allowed within the single-family zone district in 1991, before we incorporated as a

community. These zoning designations carried into our incorporation and settlement agreement with the County.

Single family, subdividable duplex and non-subdividable duplex carry the following zoning designations and person equivalents found in the table below.

Table 1. Zoning Designations in the single-family zone district and person equivalents

Zoning Designation	Person Equivalent
Single family	4
Non-Subdividable Duplex	6.5
Subdividable Duplex	8

In 2013 when the CDC replaced the Land Use Ordinance (LUO) duplex zoning designations were removed except in a handful of cases where duplexes were already platted but not yet built.

Below are the definitions of each with proposed modifications shown as strikethroughs.

Non-Subdividable Duplex Dwelling Unit: A lot containing either (a) a detached building containing only two (2) dwelling units that are located on one (1) lot; or (b) two (2) detached buildings with each building only containing one (1) dwelling unit, both as limited under the single-family zone district requirements. Each dwelling unit may have one (1) kitchen without size limitation. Wet bars are also allowed in common living rooms, entertainment rooms and similar common areas that cannot be locked-off from the dwelling unit. ~~A mother in-law suite is permitted.~~

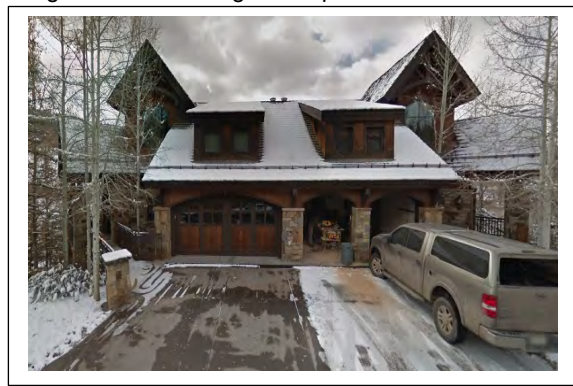
Subdividable Duplex Dwelling Unit: A Lot zoned as Subdividable Duplex, which may be used for the construction of two (2) Dwelling Units ~~plus Accessory Dwelling Unit(s).~~ A Subdividable Duplex Lot may be condominiumized by staff subdivision application.

Here are a few examples of attached duplex development

Figure 1. Conceptual image of an attached duplex



Figure 2. An existing MV duplex home circa 2000



The primary difference between a non-subdividable duplex and a subdividable duplex is that the **non-subdividable** duplex's second unit could only be rented and would be required to be deed restricted. The **subdividable duplex** second unit could be held in separate ownership via a condominium regime and need not be deed-restricted but could participate in the YES program to deed-restrict one or both units.

Duplex History Detail

Non-Subdividable Duplex Zoning Designation. The original intent of the non-subdividable duplex designation was to assist in meeting the affordable housing requirements of the Mountain Village with the following general requirements:

- 1) The non-subdividable duplex lot may not be further subdivided.
- 2) The second unit may be attached or detached.
- 3) The second unit may only be used as an affordable housing unit and rented. Meaning it is deed restricted.
- 4) There is one access point of the public right of way to serve both units.

Subdividable Duplex Zoning Designation. The purpose and intent of a subdividable duplex unit (attached or detached) is similar to the non-subdividable duplex in the following ways but also different as noted below:

- 1) The property must acquire the necessary density, subdivision and rezone and does not otherwise increase the density limitation of the town.
- 2) If the second unit is deed restricted, Town Council can create the workforce density as part of the rezone and density transfer process.
- 3) There is one access point of the public right of way to serve both units.
- 4) The units may be held in separate ownership through a condominium map process.

Staff recommends the following modifications to the definitions.

Non-subdividable duplex. Staff recommends we re-instate the non-subdividable duplex as originally intended that the second unit stays in the same ownership, is deed restricted by legal instrument to occupancy exclusively by persons who are employed within the Telluride R-1 District and their spouses and children, consistent with CDC Section 17.3.9. Staff also recommends a requirement that both units must be constructed at the same time.

Subdividable duplex. Staff recommends the second unit may be (but not required to be) deed restricted by legal instrument to occupancy exclusively by persons who are employed within the Telluride R-1 District and their spouses and children, consistent with CDC Section 17.3.9 and allowed to have separate ownership. Deed restriction of either or both units are eligible to participate in the YES program. Staff also recognizes that there is a no further subdivision provision in the CDC and have suggested some edits to allow for the re-introduction of duplex development within the overlay district. We recommend modifying the definition so that the units can be condominiumized. The CDC is otherwise clear that in the event detached duplex units were constructed as detached, the property could not be further subdivided by plat or later rezoned to two single family lots.

A rezone and density transfer application would be needed should someone wish to rezone from single family to either duplex designation. In the event that the second unit is voluntarily deed restricted, Town Council can create the workforce housing density which would save the application money and time because otherwise, additional density would be required to be purchased by the developer through the density bank.

Other land use matters of relevance.

In both duplex scenarios the site coverage, height limitations and parking requirements are the same as that carried by the single-family zoning so although you may see two units attached or detached, the massing and context will be similar to that of a single-family home.

Staff analysis: Re-introducing duplex development within a discrete overlay district in combination with the YES program is one means to incentive the development of additional housing inventory in the Mountain Village. It also varies the mix of housing inventory which is a goal of any Community Housing Initiative.

DUPLEX OVERLAY PROPOSED

Staff recommends re-introduction of non-subdividable duplex and subdividable duplex zoning designations within a **Duplex Overlay** to be shown as a layer within the single family zone district, on the official zone district map. Staff recommends a zone #1 and zone #2. Within zone #2 adjacent owner consent would be needed as part of a rezone and density transfer application to propose duplex development.

ACCESSORY DWELLING UNIT

Accessory Dwelling Units are allowed within the single-family zone district as attached [to the primary home] if the lot size is less than .75 acres and detached [from the primary home] if the lot size is over .75 acres. This accessory use is considered ancillary to the primary home, allows for a separate lock-off entrance and a full kitchen. Traditionally the ADU's were intended for caretaker and ancillary uses to manage estate properties in the Mountain Village. ADU's have functioned like this, and provided long term and short-term rental options for homeowners at their discretion. The ADU's size is limited and subordinate to the main dwelling consistent with the regulations found in the CDC.

The original definition of the ADU allowed for it as a normal incidental to, subordinate to and devoted exclusively to the main use of the residence (1998 LUO)

The current definition is as follows:

Accessory Dwelling Unit: A single-family dwelling that is located on the same lot as the primary single-family dwelling that meets the requirements for an accessory dwelling unit contained in Chapter 3. Each dwelling unit may have one (1) kitchen without size limitation. Wet bars are also allowed in common living rooms, entertainment rooms and similar common areas that cannot be locked-off from the dwelling unit.

The current CDC also allows for a mother-in-law suite in detached condominiums. This is very similar to an ADU except there must be a common shared entrance, and the kitchen facility is limited in size. Staff recommends removing this and replacing it with an allowance for an ADU.

Proposal

Pursuant to Council direction, staff has removed the definition of a mother-in-law suite, then integrating some of the mother-in-law language into the ADU definition. Staff clarified that an ADU is allowed within detached condominiums in addition to the single-family zone district and SFCI.

Proposed definition:

Accessory Dwelling Unit: A dwelling unit that is located on the same lot or within the same primary dwelling (as applicable) as the primary single-family or detached condominium dwelling that meets the requirements for an accessory dwelling unit contained in Chapter 3. Each dwelling unit may have one (1) kitchen without size limitation. A separate entrance is allowed. Size limitations apply as contained in Chapter 3. Wet bars are also allowed in common living rooms, entertainment rooms and similar common areas that cannot be locked-off

from the dwelling unit. Accessory Dwelling Unit can share a common entrance or common hallway within the primary dwelling unit.

Allowable Zone Districts:

The proposed CDC amendment will make it clear that an ADU is allowed in the Single-Family zone district, Single family Common Interest Community (SFCI) zone district, and Multi-Family zone district when the unit configuration is a detached condominium dwelling unit.

ADU's are recommended to be prohibited within duplex development.

Parking:

In the CDC there is no parking requirement for an ADU; however, it can be determined by the Design Review Board with development review on a case-by-case basis per CDC Section 17.5.8.A(5). Staff is recommending that this flexibility is maintained for any future ADUs.

ADDITIONAL ADU ZONING INCENTIVES

Staff added two additional zoning incentives to the ADU provisions in the case where the owner voluntarily enters into a deed restriction for the ADU. 1) Deed restricted ADUs can be constructed with an additional 200 square feet of bonus floor area. 2) Owners proposing a deed restricted ADU can increase their overall lot coverage by 5% from the Lot Coverage requirements provided in the CDC.

ADDITIONAL BROAD INCENTIVES

Staff recommends that if a project is comprised of 60% or more of deed restricted housing, then the process is expedited by a one step design review application. This means that all the requirement of the initial and final review are provided in one application.

NEXT STEPS

If Town Council recommends moving forward, below is a proposed outline of the CDC timeline and amendment process:

- May 20, 2021 – Launched the Community Housing Initiatives
- June 17, 2021 – Work session to receive direction regarding zoning incentives in the Community Development Code (CDC)
- August 5, 2021 – Design Review Board recommendation on proposed zoning incentives
- August 19, 2021 – First Reading of an Ordinance regarding proposed zoning incentives
- September 16, 2021- Second Reading of an Ordinance regarding proposed zoning incentives

RESOLUTION SUPPORTING COMMUNITY HOUSING INCENTIVES

Staff is also proposing the following Town Council Resolution that sets the additional policy recommendations:

- 1) Fees will continue to be waived for deed restricted housing developments
- 2) Deed restricted housing will receive priority on future DRB agendas
- 3) All other town regulations remain in full force and effect.

RECOMMENDED MOTION

I move to recommend approval to Town Council, an Ordinance and Resolution regarding the CDC amendments supporting the Community Housing Initiatives found in the attached

exhibit A. CDC redline amendments and exhibit B. draft Town Council resolution. To also direct staff to update the Official Zoning Map to include the duplex overlay generally shown as exhibit C.

/mbh

CHAPTER 17.3 ZONING AND LAND USE REGULATIONS

17.3.1 PURPOSE

The purpose and intent of the Zoning and Land Use Regulations is to create a zoning scheme that is consistent with the Town's Comprehensive Plan in order to insure compatibility of land uses, efficient and economical use of land and adequate light and air in development projects. These regulations are also intended to:

- A. Establish zone districts and zone district requirements and incorporate by reference the Official Zoning Map;
- B. Specify accessory and conditional land uses that are permitted within each zone district;
- C. Outline specific zoning designations to be applied to each lot;
- D. Preserve the person-equivalent Density Limitation in the Original PUD Boundary;
- E. Provide for density transfers and the establishment and regulation of the Town density bank;
- F. Preserve the platted open space requirement and provide for rezoning of open space for development as envisioned in the Comprehensive Plan;
- G. Establish building height, site coverage, general easement and setback requirements;
- H. Establish requirements for rezoning hotbed sites identified in the Comprehensive Plan; and
- I. Provide regulations concerning nonconforming uses, structures and lots.

17.3.2 ZONE DISTRICTS ESTABLISHED

A. Zone Districts

The following zone districts are established for use within the Town:

- a. Active Open Space Zone District ("AOS"):
 - i. Limited use, ski resort active open space ("class 1 AOS");
 - ii. Limited use, golf course active open space ("class 2 AOS");
 - iii. Full use, ski resort active open space ("class 3 AOS");
 - iv. Resource conservation active open space ("class 4 AOS"); and
 - v. Right-of-way active open space ("class 5 AOS").
 - b. Passive Open Space Zone District ("POS");
 - c. Civic Zone District ("CV");
 - d. Multi-Family Zone District ("MF");
 - e. Maintenance-Public Works Zone District ("MPW");
 - f. _____ Single-family Zone District ("SF");
 - i. Subdividable Duplex/Non-Subdividable Duplex
 - f.g. _____ Single-family Common Interest Community Zone District ("SFCI");
 - g.h. _____ Village Center Zone District ("VC"); and
 - h.i. _____ PUD Zone District ("PUD").
2. These zone districts were established in order to implement the Comprehensive Plan's land use plan policies including but not limited to the land uses envisioned in the future land use plan map.
- a. The Comprehensive Plan future land use map shall be implemented by:

- i. Ensuring all development applications that are required to be in general conformance with the Comprehensive Plan are compliant with the land use plan policies and future land use map of the Comprehensive Plan (Please refer to the Town Comprehensive Plan regulations in Chapter 1); and;
- ii. Ensuring that the ski resort operator and the golf resort operator's land will be rezoned in the future to be in general conformance with the land use plan policies and the future land use plan as set forth in the Comprehensive Plan, including but not limited to the public benefit number 9 in the Comprehensive Plan public benefits table, that requires Telluride Ski Resort operator and Telluride Golf Resort operator's land to be rezoned to be consistent with the six open space classifications shown on the future land use plan and as set forth in this CDC.

B. Zone District Descriptions and Land Uses

The following sections provide a description of the zone districts and the general uses allowed within each zone district. The land uses allowed in each zone district are more specifically set forth in the land Use Schedule.

1. Active Open Space Zone Districts' Classifications. Active open space has the following zone district classifications:

- a. **Limited Use Ski Resort Active Open Space (Class 1 AOS)**
The Class 1 AOS Zone District is intended to provide open space areas limited to active recreational uses, recreational trails, ski resort uses limited to snowmaking systems, ski runs, ski events and related activities, tramways and related facilities and other similar uses that involve limited vertical development.
- b. **Limited Use Golf Course Active Open Space (Class 2 AOS)**
The class 2 AOS Zone District is intended to provide open space areas limited to golf course facilities and related activities, such as greens, tees, fairways, golf cart paths, infrastructure, waterworks, irrigation, pump houses, electrical, lightning shelters, recreational trails and similar uses.
- c. **Full Use Ski Resort Active Open Space (Class 3 AOS)**
The class 3 AOS Zone District is intended to provide open space areas with more intensive land uses than those permitted in the class 1 AOS and class 2 AOS zone districts that are typically associated with the operation and maintenance of a ski resort and the community at large, which are limited to ski resort uses, active recreation uses, recreational trails, community infrastructure, equestrian facilities, workforce housing, telecommunications antenna and similar uses.
- d. **Resource Conservation Active Open Space (Class 4 AOS)**
The class 4 AOS Zone District is intended to provide open space areas limited to passive open space uses such as recreational trails, picnicking areas, nature interpretation, nature viewing and similar uses.
- e. **Right-of-Way and Access Active Open Space (Class 5 AOS)**
The class 4 AOS Zone district is intended to provide open space areas limited to roadways, driveways, vehicular signage, utilities, parking, infrastructure, telecommunications antennas, recreational trails, ski runs and associated infrastructure at road-ski run intersections, community infrastructures and similar uses.

2. Passive Open Space Zone District. The Passive Open Space Zone District ("POS") is

intended to provide open space areas limited to passive open space uses, land in a natural state, environmental restoration such as wetland mitigation and forest management, fire mitigation, subsurface utilities and infrastructure, and similar uses.

3. **Civic Zone District.** The Civic Zone District ("CV") is intended to provide civic land uses limited to municipal facilities, community facilities, workforce housing, hotbed development in accordance with the Comprehensive Plan, and similar uses. This zone district shall only be applied to the Town Hall Subarea and is expressly prohibited elsewhere, including but not limited to the ski resort operator's shops area located off of Prospect Creek Drive.
4. **Multi-Family Zone District.** The Multi-family Zone District ("MF") is intended to provide higher density multi-family uses limited to multi-family dwellings, hotbed development, recreational trails, workforce housing and similar uses.
5. **Maintenance-Public Works Zone District.** The Maintenance-Public Works Zone District ("MPW") is intended to provide land for public works uses limited to community infrastructure, recreational trails, maintenance facilities, public works facilities and similar uses. This zone district, or a PUD zone district with the same land uses, shall be applied to any rezoning of the ski resort operators shops area located off of Prospect Creek Drive.
6. **Single-Family Zone District.** The Single-family Zone District (SF) is intended to provide lower density single-family residential areas limited to single-family dwellings and similar uses. Subdividable and Non-subdividable duplex zoning designations are permitted to continue are allowed within the single-family zone district consistent with the Subdividable and Non-Subdividable Overlay on lots 213, 245 and 257B unless such lots are rezoned to the have a single-family zoning designation found on the Official Zoning Map. Lots 213, 245 and 257B have existing duplex zoning designation use and are allowed to continue within the single-family zone district.
7. **Single-Family Common Interest Community Zone District.** The Single-family Common Interest Community Zone District ("SFCI") is intended to provide lower density, single-family residential areas limited to single-family dwellings that are platted as single-family lots subject to limitations set forth in the Subdivision Regulations, and similar uses.
8. **Village Center Zone District.** The Village Center Zone District ("VC") is intended to provide for a mix of high intensity and high density land uses in the Village Center limited to commercial, multi-family, recreational trails, active recreation uses, recreational facilities, parking facilities, visitor-oriented uses, conferencing facilities, cultural facilities and uses, workforce housing, resort support and similar uses.
9. **PUD Zone District.** The Planned Unit Development ("PUD") Zone District is intended to provide for a development to achieve the new land uses envisioned in the Comprehensive Plan and/or the PUD purposes set forth in the PUD Regulations, with a variety of land uses as envisioned in the Comprehensive Plan.

17.3.3 USE SCHEDULE

A. The Town of Mountain Village Land Use Schedule ("Use Schedule"), Table 3-1, establishes specific permitted, accessory, conditional and not permitted land uses for each zone district.

1. The Use Schedule lists the following notations:

P = permitted use;
A = accessory use;
C = conditional use;

PM = permitted with Planning and Building division staff approval of construction mitigation plan (Staff may classify to conditional use based on impacts and extent of construction staging);

PT = permitted use in Town Hall Plaza only;

SE = special event development application required; and

PVC = permitted Village Center only

2. Blank cells in the Use Schedule under each of the respective zone districts indicate that the use appearing next to that blank cell is expressly prohibited in that zone district.
3. The Director of Community Development shall render the final administrative decision concerning the scope, application and meaning of terms in this Use Schedule.
4. Any conforming land use in the Use Schedule, or any use approved pursuant to section B below can be proposed as a permitted, accessory or conditional land use in the PUD Zone District as a part of a PUD development application as set forth in the PUD Regulations.

Table 3-1: Town of Mountain Village Land Use Schedule

Use/Zone	C	C	C	C	C	P	SF,	MF	MPW	CV	VC
	L	L	L	L	L	O	SFCI				
	A	A	A	A	A	S					
	S	S	S	S	S						
	S	S	S	S	S						
	1	2	3	4	5						
	A	A	A	A	A						
	O	O	O	O	O						
	S	S	S	S	S						
Commercial (Sale of Goods)											
Bakery										PT	P
Bar, Lounge, nightclub								A		PT	P
Book, hobby/toy store										PT	P
Clothing store										PT	P
Coffee shop								A		PT	P
Delicatessen/café										PT	P
Drug store/pharmacy										PT	P
Florist										PT	P
General commercial, retail								A		PT	P
Grocery store										PT	P
Home decorating										PT	P
Jewelry store										PT	P
Liquor store										PT	P
Novelty, curio and souvenir										PT	P
Restaurant (no drive through)								A		PT	P
Farmers' market			SE							SE	P
Special events			SE							SE	SE
Sporting goods and rentals								PC		PT	P
Vending apparatuses			PVC							PT	P
Professional Services											
Bank, financial institution										PT	P/C
Beauty, barber shop										PT	P/C
General office										PT	P/C
Insurance										PT	P/C

Use/Zone	C L A S S I F I C A T I O N S	C L A S S I F I C A T I O N S	C L A S S I F I C A T I O N S	C L A S S I F I C A T I O N S	C L A S S I F I C A T I O N S	P O S	SF, SFCI	MF	MPW	CV	VC
Medical center or medical offices										PT	P/C
Real estate office										PT	P/C
Office			C					A		PT	P/C
Private school										PT	P/C
Entertainment											
Auditorium, conferencing								A		P	P
Bowling alley							A	A		P	P
Busking			PVC							PT	
Dance studio							A			P	P
General indoor entertainment							A			P	P
General outdoor entertainment	C	C	PVC				A			P	P
Pool hall											P
Theater, indoor							A	A		P	P
Theater, outdoor			SE				A	A		C	C
Special events	SE	SE	SE		SE						SE
Open Space, Public and Infrastructure Uses											
Access roads, driveways	C	C	C	P	P			P	P	P	P
Active open space			P		P		P	P	P	P	P
Active recreation uses without any buildings	P	P	P								
with buildings	C	C	C								
Alpine slide			C								
Amphitheater			C								
Bus or transit station adjoining existing transit route			C	P	P		P	P		P	P
Camping	C	C	C	C	C						
Cemetery			C								
Church			C					C		PT	P
Community center					C			C		C	C
Community gardens	C	C	C	C				C		C	C
Community Infrastructure			C				C	C	P	P	C
Composting, rear yard with no nuisance			C				P	P	P	C	
Conference center								A		P	P
Cross-country, nordic skiing	P	P	P	P	P	P	P	P	P	P	P
Cross-country nordic center			P	C	C			C		C	C
Dog Daycare/Veterinarian										C	C
Drainage infrastructure, storm drainage infrastructure	P	P	P	P	P	P	P	P	P	P	P
Workforce housing			C				C	P		P	P

Use/Zone	C L A S S I F I C A T I O N S	C L A S S I F I C A T I O N S	C L A S S I F I C A T I O N S	C L A S S I F I C A T I O N S	C L A S S I F I C A T I O N S	P O S	SF, SFCI	MF	MPW	CV	VC
Fire station										PT	
Forestry management, forest enhancement, fire mitigation	P	P	P	P	P	P	P	P	P	P	P
Garden located in rear yard							P	P			
General recreational structures and improvements with no buildings or structures	P	P	P	P	P		P	P	P	P	P
General recreational structures and improvements with buildings or structures	C	C	C							P	P
Golf course uses	P	P	P								
Golf club house											P
Golf halfway houses	C	C	C								
Golf course maintenance building and associated outdoor storage		C	C					C			
Government office										P	
Grading infrastructure such as retaining walls	P	P	P	P			P	P	P	P	P
Greenhouse			C				C	C	C	C	C
Heliport			C							C	C
Hospital, clinic										P	C
Ice skating facility, outdoor private or public			PVC				C	C		C	P
Ice skating facility, indoor private or public			C								P
Infrastructure, below grade and above grade pedestals	P	P	P	P	P	C	P	P	P	P	P
Infrastructure, above grade	C	C	C	C	P	C	P	P			
Landscaping infrastructure	P	P	P	P	P	P	P	P	P	P	P
Library, museum										PT	C
Miniature golf			C								C
Multipurpose facility	C		C								P
Municipal Facilities			C					C	P	P	P
Natural area protection and preservation	P	P	P	P	P	P	P	P	P	P	P
Nature center building	C	C	C								
Nature center, outdoor interpretation	P	P	P	P	P	P	P	P	P	P	P
Parking garage			C					A		P	A
Parking, surface lot for guests			C				A	A	A	A	C
Passive open space uses	P	P	P	P	P	P	P	P	P	P	P
Police station										PT	C
Police video equipment	P	P	P	P	P		P	P	P	P	P

Use/Zone	C L A S S I F I C A T I O N S	C L A S S I F I C A T I O N S	C L A S S I F I C A T I O N S	C L A S S I F I C A T I O N S	C L A S S I F I C A T I O N S	P O S	SF, SFCI	MF	MPW	CV	VC
Post office			C							PT	
Private art							PC				
Public art			P					P		P	P
Recreational center/sports training facility	C	C	C							PT	P
Recreational trails	P	P	P	P	P	P	P	P	P	P	P
Recreational facilities general, without built structures	P	P	P	P	P	P	P	P	P	P	P
Recreational facilities general, with built structures	C	C	C	C	C		P	P	P	P	P
Renewable Energy Systems	C	C	C		A		P	P	P	P	P
Riding stables, equestrian			C							C	
Ski area explosives storage			C								
Ski area maintenance facilities and limited employee parking			C								
Ski area, general uses without impact	P	P	P	P							P
Ski area, general uses that may have impacts	C	C	C	C	C		C	C	C	C	C
Ski area offices			C								PC
Ski area outdoor storage			P								
Ski area ski patrol facilities			P								
Ski area ski racing facilities	P		P	P							
Ski area special events	P		P	P							
Ski area racing structures	P		P								
Permanent ski area rental, demo facilities that are not a special event			C								
Ski area snow making facilities and associated storage	P	P	P	P			P	P	P	P	P
Ski area restaurants			C								P
Ski area schools	PT		C								
Ski slopes	P	P	P	P				P		P	P
Ski trails	P	P	P	P		P	P	P	P	P	P
Ski lifts, tramways and structures	P	P	P	P		C	C	C		P	P
Ski area or Town, non-commercial refueling facility			C					C	C	C	
Snowcat access	P	P	P	P		P	P	P	P	P	P
Snow making systems and equipment	P	P	P	C	C						
Snow storage			P								
PV solar system, private			C				P	P	P	P	P

Use/Zone	C L A S S I F I C A T I O N S	C L A S S I F I C A T I O N S	C L A S S I F I C A T I O N S	C L A S S I F I C A T I O N S	C L A S S I F I C A T I O N S	P O S	SF, SFCI	MF	MPW	CV	VC
PV solar system, commercial			C					C	C	C	C
Telecommunication antenna	C	C	C	C				C/P	C/P	C/P	C/P
Cell on Wheels (COW)	P	P	P	P	P	P	P	P	P	P	P
Temporary real estate sales office associated in one unit of new development							C	C	C	C	C
Private outdoor tennis courts and tennis facilities			C	C	C		A				P
Private indoor tennis							C				
Public tennis courts	C	C	C								P
Town shops and storage		C	C					C		P	
Trash and recycling facilities			C					C		P	
Utility infrastructure, underground	P	P	P	P	P	P	P	P	P	P	P
Major Utility infrastructure, above ground	C	C	C	C	C		C	C	C	C	C
Minor utility infrastructure, above ground accessory to development	P	P	P	P	P		P	P	P	P	P
Vehicle sponsorship as limited by Sign Regulations	C	C	C							C	C
Water and sewer infrastructure	P	P	P	P	P	P	P	P	P	P	P
Water storage tanks	C	C	C	C	C		C	C	C	C	C
Water and sewer treatment facilities	C	C	C	C	C			C		C	
Water wells	P	P	P	P	P	C	P	P	P	P	P
Weddings, parties and private events (Refer to Special Event Regulations)	P	P	P				P	C		C	C
Wind turbines	C	C	C				C	C	C	C	
Residential and Lodging Uses											
Clothes line, rear yard not visible from public way							A	A			
Permitted accessory buildings or structures limited to detached garage, gazebo and similar accessory buildings							A	A	A	A	A
Single-family dwelling platted as a condominium dwelling unit							P (SFCI only)	P			P

Use/Zone	C L S S 1 A O S	C L S S 2 A O S	C L S S 3 A O S	C L S S 4 A O S	C L S S 5 A O S	P O S	SF, SFCI	MF	MPW	CV	VC
<u>Single family detached condominium dwelling unit</u>							P (SFCI Only)				
<u>Accessory dwelling unit</u>							P	P ¹			
Condominium dwelling unit								P		P	P
Condominium-hotel dwelling unit								P		C	P
<u>Detached condominium dwelling unit</u>								P			
Non-subdivided duplex ²							P				
<u>Subdividable duplex³</u>							P				
Efficiency lodge dwelling unit								P		C	P
Employee apartment dwelling unit			C				A	P		P	P
Employee condominium dwelling unit			C					P		P	P
Employee dorm dwelling unit			C					P		P	P
Employee Single-family dwelling unit			C				P	P			
Hotel dwelling unit								P		C	P
Hotel efficiency dwelling unit								P		C	P
Industrial								p ²			
Lodge								P		C	P
Parking, public garage			C					A	C	P	P
Parking, surface lot			C				A	A	C	A	C
Recreational facilities, private, non-commercial							C	A			C
Rentals, short or long-term							P	P		P	P
Single-family							P				
Single-family accessory garage							A				
Single-family accessory dwelling unit							A (SF only)				
Single-Family, general accessory uses in the rear yard such as a fenced in dog area.							A				
Construction staging			PM				PM	PM	PM	PM	PM

²¹ - Permitted within detached condominium dwelling units only.

² Permitted within the primary and secondary duplex overlay found on the Official Zoning Map

³ Permitted within the primary and secondary duplex overlay found on the Official Zoning Map Permitted only where industrial zoning is allowed as a legal non-conforming use.

Use/Zone	C L A S S 1 A O S	C L A S S 2 A O S	C L A S S 3 A O S	C L A S S 4 A O S	C L A S S 5 A O S	P O S	SF, SFCI	MF	MPW	CV	VC
Educational Facilities											
School, private or public			C					C		P	C
College, private or public			C					C		P	C
Day-care, home								C		P	C
Day-care, non-profit or public								C		P	C

B. Uses Not Listed in Use Table

1. No development permit or building permit shall be issued for a use not listed in the Use Schedule unless the Director of Community Development determines that the proposed use either:
 - a. Similar to, or is closely related to, a land use classification set forth above and does not have greater impacts; or
 - b. The proposed use falls within the zone district descriptions and general uses section set forth above or the specific zone district requirements sets forth below.
2. For uses that are clearly not listed as a permitted, accessory, or conditional use by the Zoning and Land Use Regulations, the Director of Community Development shall make determination of whether the use is allowed as a code interpretation.

C. Primary Use Establishment Prior to Accessory Use

1. The primary use on a lot must be established prior to or concurrent with any proposed accessory use. An accessory use shall not be permitted on a lot until the primary use is established.
2. For adjoining lots owned by the same owner where a primary use has been established on one lot, an accessory use shall not be established on the adjoining lot unless the lot line is vacated pursuant to the Subdivision Regulations, and any density is transferred pursuant to the density transfer.

D. Prohibited Uses

1. Horses, all-terrain vehicles, snowmobiles, motor bikes or other motorized vehicles shall not be allowed to be used or operated within or on a lot except as otherwise specifically permitted by rules and regulations of the Town or the CDC.
 - a. Exceptions:
 - i. Those motorized vehicles specifically permitted for the uses and activities deemed necessary by ski resort operator, golf resort operator and/the Town for the safe and efficient operation of the ski area, golf

4. **Permitted Uses.** Lots in the active open space zone districts shall be used for uses set forth in the Use Schedule for each active open space zone district and other similar uses.
5. **Accessory Buildings or Structures.** Permitted accessory buildings or structures shall be directly related to the specific uses set forth in the use table as determined by the Planning Division.
6. **Accessory Uses.** Permitted accessory uses include those typically associated with active open space uses, such as benches, picnic areas, signs, nature interpretation and other similar uses.

B. Passive Open Space Zone District

1. **New Use Process.** As a condition to the commencement of any permitted use of a lot within the passive open space zone district as limited in the Use Schedule (Table 3-1), or a change in use of an existing passive open space use, a conditional use permit shall be obtained.
2. **Permitted Uses.** Lots in the passive open space zone district shall be used for passive open space uses and other similar uses.
3. **Accessory Buildings or Structures.** No building, structures shall be allowed in the passive open space zone district.
4. **Accessory Uses.** Permitted accessory uses include those typically associated with the specific uses allowed in the active open space zone district as set forth in the Use Schedule.

C. Civic Zone District

1. **Permitted Uses.** Lots in the Civic Zone District shall be used for the construction of municipal buildings and facilities, transportation facilities, commercial uses, offices and hotbed development as envisioned in the Comprehensive Plan, and other similar uses.
2. **Accessory Buildings or Structures.** Permitted accessory buildings or structures include transportation buildings, storage buildings and other similar structures.
3. **Accessory Uses.** Permitted accessory uses include home occupations pursuant to the Home Occupation Regulations, surface parking as limited by the Parking Regulations, and other similar uses.

D. Multi-Family Zone District

1. **Permitted Uses.** Lots in the Multi-family Zone District shall be used for the construction of multi-family dwellings, including lodge units, efficiency lodge units, condominium units (attached or detached), workforce housing units, hotel units, hotel efficiency units, accessory commercial uses as limited below and other similar uses.
2. **Accessory Buildings or Structures.** Permitted accessory buildings or structures include hot tubs, saunas, swimming pools, gazebos, art and similar uses. Detached storage buildings are expressly prohibited in the Village Center, and are only allowed in other projects for trash and recycling structures or buildings, bike storage/common community storage (such as bicycles), and similar situations.
3. **Accessory Uses.** Permitted accessory uses include home occupations pursuant to the Home Occupation Regulations, surface parking as limited by the Parking Regulations, and other similar uses.
4. **Commercial Area Limitation.** Commercial area is limited to restaurants and gift shops that primarily serve the guests and owners of a development, or as otherwise provided in

the Comprehensive Plan.

5. Accessory Dwelling Unit (ADU). Accessory dwelling units are allowed within detached condominium dwelling units (not a multi-family building). The ADU is an accessory use and ancillary to the primary use. Such units shall:

- a. Only be allowed if the primary detached condominium dwelling unit exists or is constructed concurrently;
- b. Comply with the Design Regulations;
- c. Have the following floor area limitations:
 - i. A maximum of 800 sq. ft. of floor area if the detached condominium dwelling unit is 4,000 sq. ft. or less of floor area; and
 - ii. If the detached condominium dwelling unit is in excess of 4,000 sq. ft., the accessory dwelling unit is limited to twenty percent (20%) of the floor area of the primary detached condominium dwelling unit or 1,500 square feet of floor area, whichever is less.
- d. Be located within the detached condominium dwelling (not detached).
- e. Provide separate access to the unit, a kitchen facility separate from the main detached condominium dwelling unit, and off-street parking as required by the Design Regulations. A common entrance can alternatively be provided; and
- f. Be located so as to minimize visual impacts on the lot and on lots immediately adjacent to the proposed unit to the extent practical.

4.6.

E. Maintenance-Public Works Zone District

1. **Permitted Uses.** Lots in the maintenance-public works zone district shall be used for municipal facilities such as maintenance shops, storage, infrastructure, fueling, offices and other similar uses.
2. **Accessory Buildings or Structures.** Permitted accessory buildings or structures include telecommunications antennas, storage buildings, fuel islands, snow storage/disposal and other similar buildings.
3. **Accessory Uses.** Permitted accessory uses include golf course maintenance, ski resort maintenance, infrastructure and other similar uses.

F. Single-Family Zone District

1. **Permitted Uses.** Lots in the single-family zone district may be used for the construction of one (1) single-family dwelling unit and one (1) accessory dwelling unit.
 - a. ~~Non-subdividable and subdividable duplex zoning designations are allowed within the Duplex Overlay as depicted on the Official Zoning Map contained within a portion of the Single Family Zone District with the following regulations: Three (3) lots in the single-family zone district have a zoning designation of non-subdivideable duplex: Lot 213, Lot 245 and Lot 257B, with the following allowances and limitations to such lots:~~
 - b.
 - e.a. Two (2) dwelling units may be constructed;
 - d. ~~One (1) dwelling unit shall be designated as a major duplex unit, and one (1) dwelling unit shall be designated as minor duplex unit;~~

- e. ~~The square footage of the minor duplex unit may not exceed seventy-five percent (75%) of the square footage of the major unit;~~
- f.b. Dwelling units may be either detached or combined into one (1) structure; and
- c. ~~Accessory dwelling units shall not be allowed.~~
- d. ~~The duplex development must be constructed at the same time concurrently.~~
- e. ~~Duplex development requires a rezone and density transfer application. If ½ of the duplex unit is deed restricted consistent with CDC Section 17.3.9, Town Council may elect to create the associated workforce housing density.~~
- g.f. ~~Should duplex development be contemplated within the secondary duplex overlay, adjacent homeowner consent is required as part of the rezone and density transfer application. Adjacent means consent of all adjoining lot owners as well as the owners of any lot located directly across from the subject lot.~~

2. **Accessory Buildings or Structures.** Permitted accessory buildings or structures include hot tubs, saunas, swimming pools, gazebos, art, ski tramways approved pursuant to the Conditional Use Permit Process, outdoor kitchens, play equipment, fire pits, tennis courts and typical court fencing, ice skating rinks approved pursuant to the Conditional Use Permit Process, fenced dog areas, and similar uses. Storage buildings are expressly prohibited, except the DRB may approve a trash and recycling bin storage building at the end of a driveway longer than 100 feet provided such is designed in accordance with the Design Regulations.

- a. All accessory buildings or structures shall be located in the rear yard to the extent practical.
- b. Accessory buildings or structures shall not exceed 500 sq. ft. in size or floor area, as applicable.
- c. Design requirements applicable to accessory dwelling units are in the Single-Family zone district.
- d. Buffering is provided for high activity level buildings or structures, such as hot tubs, swimming pools and tennis courts to mitigate the adverse visual and noise impacts.

3. **Accessory Uses.** Permitted accessory uses include home occupations pursuant to the Home Occupation Regulations, firewood storage in the rear yard when a valid fireplace permit is held, ski surface parking as limited by Parking Regulations, private outdoor projection system onto the wall of a building to show movies or other media that is not visible from a public way or adjoining lot (buffering required), and other similar uses.

4. **Further Subdivision Prohibited and Rezoning Limited.** A single-family lot may not be further subdivided and additional density may not be transferred onto a single-family lot by the Rezoning Process or otherwise, except as allowed in the duplex overlay for duplex development only. This prohibition does not prohibit lot line adjustments, lot line vacations or correction plats, which do not create additional lots. Single-family lots may only be rezoned to the Passive Open Space District or to subdividable or non-subdividable duplex zoning as permitted. Subdividable and non-subdividable duplex zoning designations may not be further subdivided except for the creation of a condominium regime and separate ownership in the instance of the subdividable duplex zoning designation. See definitions.

5. **Accessory Dwelling Unit.** Accessory dwelling units are permitted in the Single-Family Zone District provided such units shall:

- constructed concurrently;
- b. Comply with the Design Regulations;
- c. Have the following floor area limitations:
 - i. A maximum of 800 sq. ft. of floor area if the primary single-family dwelling unit on the lot is 4,000 sq. ft. or less of floor area; and
 - ii. If the primary single-family dwelling unit is in excess of 4,000 sq. ft., the accessory dwelling unit is limited to twenty percent (20%) of the floor area of the primary single-family dwelling unit or 1,500 square feet of floor area, whichever is less.
- d. Be physically attached (roof forms and foundation) to the primary single-family dwelling unit if the lot is less than or equal to 0.75 acres. Lots that are greater than 0.75 acres may develop an accessory dwelling unit that is detached from the main single-family dwelling unit;
- e. Provide separate access to the unit, a kitchen facility separate from the main single-family dwelling unit, and off-street parking as required by the Design Regulations. A common entrance may alternatively be provided; and
- f. Be located on a lot so as to minimize visual impacts to existing buildings on lots immediately adjacent to the proposed unit to the extent practical.
- g. An Accessory Dwelling Unit may increase in size by an additional 200 square feet if deed restricted by legal instrument to occupancy exclusively by persons who are employed within the Telluride R-1 District and their spouses and children, consistent with CDC Section 17.3.9.
- h. Lot coverage can increase by 5% if an Accessory Dwelling Unit is deed restricted by legal instrument, to occupancy exclusively by persons who are employed within the Telluride R-1 District and their spouses and children. Both g & h may be applied to the same property consistent with CDC Section 17.3.9.
- f. _____

G. Single-Family Common Interest Community Zone District

1. **Permitted Uses.** Detached single-family condominium dwellings are permitted in the Single-family Common Interest Community Zone District provided:
 - a. The official land use and density allocation list shows the lot to currently have condominium density, and such area has already been platted as a condominium community with owners now desiring to convert to a common interest community;
 - b. Three (3) or more single-family units are located in the same common interest community;
 - c. The detached single-family condominium dwellings are located in a common interest community;
 - d. The common interest community contains common elements such as parking areas, roads, tennis courts, driveways or amenity areas;
 - e. The Town has reviewed and approved concurrent rezoning and subdivision plat development applications to create the single-family common interest community, with 100% of all owners participating in the subdivision and rezoning processes;
 - f. The detached single-family dwellings meet the Design Regulations for single-

- g. family dwellings; and
A plat note and development agreement related to the concurrent subdivision approval prohibiting lot line vacations and lot line adjustments that would allow for a larger home than the original condominium subdivision would have allowed based on the application of the requirements of the CDC.

2. Accessory Buildings. Permitted accessory buildings or structures include hot tubs, saunas, swimming pools, gazebos, art, outdoor kitchens, play equipment, fire pits, tennis courts and typical court fencing, ski tramways approved pursuant to the Conditional Use Permit Process, fenced dog areas and other similar uses. Storage buildings are expressly prohibited.

- a. All accessory buildings or structures shall be located in the rear yard to the extent practical.
- b. Accessory buildings or structures shall not exceed 500 sq. ft. in size or floor area, as applicable.
- c. Buffering is provided for high activity level buildings or structures, such as hot tubs, swimming pools and tennis courts to mitigate the adverse visual and noise impacts.

3. Accessory Uses. Permitted accessory uses include home occupations pursuant to the Home Occupation Regulations, firewood storage in the rear yard when a valid fireplace permit is held, surface parking to meet the Parking Regulations, private outdoor projection system onto the wall of a building to show movies or other media that is not visible from a public way or adjoining lot (buffering required), and other similar uses. Accessory dwelling units are expressly prohibited.

4. Accessory Dwelling Unit (ADU). Accessory dwelling unit is allowed within a single family detached condominium dwelling unit (not a multi-family building). The ADU is an accessory use and ancillary to the primary use. Such dwelling units shall:

- a. Only be allowed if the primary detached condominium dwelling unit exists or is constructed concurrently;
- b. Comply with the Design Regulations;
- c. Have the following floor area limitations:
 - i. A maximum of 800 sq. ft. of floor area if the detached condominium dwelling unit is 4,000 sq. ft. or less of floor area; and
 - ii. If the detached condominium dwelling unit is in excess of 4,000 sq. ft., the accessory dwelling unit is limited to twenty percent (20%) of the floor area of the primary detached condominium dwelling unit or 1,500 square feet of floor area, whichever is less.
- d. Be located within the detached condominium dwelling (not detached).
- e. Provide separate access to the unit, a kitchen facility separate from the main detached condominium dwelling unit, and off-street parking as required by the Design Regulations. A common entrance may alternatively be provided; and
- f. Be located so as to minimize visual impacts on the lot and on lots immediately adjacent to the proposed unit to the extent practical.
- g. An Accessory Dwelling Unit may increase in size by an additional 200 square feet if deed restricted by legal instrument to occupancy exclusively by persons who are employed within the Telluride R-1 District and their spouses and

- F. A lot may not be rezoned to include the non-subdivideable zoning designation because there are only three (3) lots with this designation at the time of adopting the CDC, and the Town desires to ensure the integrity of the single-family zone district.

17.3.7 DENSITY LIMITATION

- A. By agreement between San Miguel County and the Town, the total density allowed within the Original PUD Boundary, either platted or banked, is 8,027 person equivalents (“Density Limitation”).
- B. Density transfers, subdivisions, PUDs and rezonings within the Original PUD Boundary shall not increase the Density Limitation.
 - 1. Density in the incorporated area of the town outside the Original PUD Boundary is not included in the Density Limitation calculation.
 - 2. Commercial floor area is not limited by the Density Limitation and may be proposed in locations in accordance with the Comprehensive Plan.
 - 3. New workforce housing density created by the Town subject to the workforce housing restriction is not included in the Density Limitation calculation.
- C. The person-equivalent density is calculated based on the actual unit-to-person equivalent density conversion factors listed in Table 3-2.
- ~~C.D.~~ In the event ½ of a subdividable or non-subdividable duplex unit is deed restricted by legal instrument to occupancy exclusively by persons who are employed within the Telluride R-1 District and their spouses and children, consistent with CDC Section 17.3.9, Town Council can elect to create the workforce housing density as part of the rezone and density transfer application process.

Table 3-2: Person-Equivalent Density Conversion Table

Zoning Designation	Actual Unit	Person-Equivalent Density
<u>Subdividable duplex</u>	<u>1</u>	<u>8.0 person equivalents</u>
Single-family	1	4.0 person equivalents
Single-family common interest community	1	3.0 person equivalents
Non-subdivideable duplex	1	6.5 person equivalents
Condominium	1	3.0 person equivalents
Lodge	1	0.75 person equivalents
Efficiency lodge	1	0.50 person equivalents
Hotel	1	1.5 person equivalents
Hotel efficiency	1	2.0 person equivalents
Employee condominium	1	3.0 person equivalents
Employee apartment	1	3.0 person equivalents
Employee dorm	1	1.0 person equivalents
<u>Employee Single Family</u>	<u>1</u>	<u>4.0 person equivalent</u>

17.3.8 DENSITY TRANSFER AND DENSITY BANK POLICIES

- A. The density bank was created for the purpose of preserving undeveloped density for future development.
- B. Density may be transferred from one lot to another lot or to the density bank provided the density transfer is approved pursuant to the density transfer and rezoning processes as concurrent development applications, except for MPUD development application that may defer density transfer to the final PUD plan stage.

Hotel efficiency	2.0
Industrial	0
<u>Zoning Designation</u>	<u>Density (In Person Equivalents)</u>
Lodge unit	0.75
Non-subdivideable duplex	6.5
Open space	
Passive open space	0
Limited ski use active open space (Class 1 AOS)	0
Limited golf course active open space (Class 2 AOS)	0
Full use active open space (Class 3 AOS)	0
Resource conservation active open space (Class 4 AOS)	0
Right-of-way active open space (Class 5 AOS)	0
Parking	0
Single-family	4
Single-family common interest community	3
<u>Subdividable Duplex</u>	8

Density Allocation: The number of person equivalents or amount of commercial floor area or industrial floor area assigned to a specific lot in the town. Some lots do not have a maximum floor area or area (as applicable) for commercial or industrial uses allocated by the official land use and density allocation list or by a resolution, and in such cases the amount of commercial or industrial floor area or area allowed on a lot shall be that in existence as of the effective date of the CDC.

Density Bank: The density bank is owned and administered by the Town and was created for the purpose of preserving undeveloped density for future development. The density bank holds reserved, previously approved and platted density until such time as that density is transferred onto a lot for entitlement and subsequent development.

Density Bank Certificate: The official certificate issued by the Town to the owner of density in the density bank.

Density Limitation: The total maximum density within the boundaries of Original PUD Boundary, including zoned, platted or banked density is 8,027 person equivalents except for new workforce housing subject to the workforce housing restriction (Please refer to Chapter 3).

Density Transfer: The transfer of density from a lot to another lot, the transfer of density to or from the density bank, or the transfer of density within the density bank pursuant to the density transfer process and the density transfer and density bank policies.

Density Transfer and Density Bank Policies: The density transfer and density bank policies set forth in the Zoning Regulations contained in Chapter 3 to transfer density from one lot to another lot or into or out of the density bank.

Density Transfer Process: The development application process established in the development application procedures contained in Chapter 4.

Design Review Board or DRB: The Town of Mountain Village Design Review Board as provided for in the Town Charter and the CDC with the primary responsibilities of conducting the Design Review Process and also recommendations as the Planning and Zoning Advisory Board for the Town.

development, drainage and other improvements provided, however, the following exceptions may be allowed outside of the disturbance envelopes:

1. Trails;
2. Driveways;
3. Utilities provided such should be located under the driveway, if practicable;
4. Grading improvements associated with the overall subdivision that were reviewed and approved by the Town;
5. Tree removal for required fire mitigation or forest health; and/or
6. Other improvements as may be allowed by the review authority provided the natural integrity of the lot is maintained and development constraints are avoided.

Domesticated Animal. Domesticated animals are defined as (1) any animal normally domesticated and kept inside a dwelling, including but not limited to parakeets, canaries or aquarium fish; and (2) any dog or cat not otherwise regulated by Town ordinances.

Drainage: The removal of surface water or ground water from a lot by drains, grading or other means. Drainage, sometimes referred to in terms of storm water management, also includes water quality protection through the control of run-off to minimize erosion, sedimentation and other pollutants (oil, etc.) during and after development and includes the prevention or alleviation of flooding through detention or retention. Please refer to drainage design standards.

Drainage Design Standards: The grading and drainage design requirements of the Town as provided for in Chapter 5.

Dwelling Unit: Dwelling unit means a building or a portion of a building containing a single unit providing living facilities for one (1) or more persons, including permanent provisions for living, sleeping, a kitchen as limited herein, and sanitation. Dwelling units are further classified as:

250 Accessory Dwelling Unit: ~~A single-family~~ ~~An accessory~~ dwelling unit that is located on the same lot ~~or within the same primary dwelling (as applicable)~~ as the primary single-family ~~or detached condominium~~ dwelling that meets the requirements for an accessory dwelling unit contained in Chapter 3. Each dwelling unit may have one (1) kitchen without size limitation. ~~A separate entrance is allowed. Size limitations apply as contained in Chapter 3.~~ Wet bars are also allowed in common living rooms, entertainment rooms and similar common areas that cannot be locked-off from the dwelling unit. ~~Accessory Dwelling Unit can share a common entrance or common hallway within the primary dwelling unit.~~

Multi-Family Dwelling Unit: A building containing three (3) or more dwelling units on one (1) lot. Multi-family dwelling units include apartment units and condominium units and lodge units that may also be built with hotel units, hotel efficiency units and efficiency lodge units (Please refer to the zoning designation definition that contains specific allowances and limitations for each type of multi-family dwelling unit, that may limit kitchen and room configuration limitations for these unit types). When a kitchen size is not limited by a dwelling unit zoning designation definition, each dwelling unit may have one (1) kitchen without size limitation. For condominiums, wet bars are also allowed in common living rooms, entertainment rooms and similar common areas that cannot be locked-off from the dwelling unit.

Non-Subdivideable Duplex Dwelling Unit: ~~A lot containing either (a) a detached building containing only two (2) dwelling units that are located on one (1) lot; or (b) two (2) detached buildings with each building only containing one (1) dwelling unit, both as limited under the~~

~~single-family zone district requirements. Each dwelling unit may have one (1) kitchen without size limitation. Wet bars are also allowed in common living rooms, entertainment rooms and similar common areas that cannot be locked off from the dwelling unit. A mother-in-law suite is permitted.~~

Detached Condominium Dwelling Unit: An individual Dwelling Unit, without common attachment, within a common interest community in which portions of the real estate are designated for separate ownership and the remainder of which is designated for common ownership solely by the Owners of the separate ownership portions.

Single-Family Detached Condominium Dwelling Unit: A detached building containing only one (1) dwelling unit that is located within a condominium community with at least three (3) or more detached single-family condominium dwelling units located on one (1) lot. Each dwelling unit may have one (1) kitchen without size limitation. Wet bars are also allowed in common living rooms, entertainment rooms and similar common spaces ~~areas that cannot be locked off from the dwelling unit.~~ An accessory dwelling unit mother-in-law suite is permitted within the single family detached condominium dwelling (not detached).

Single-Family Dwelling Unit: A detached building containing only one (1) dwelling unit that is located on one (1) lot unless such is in the single-family common interest community zone district where three (3) or more single-family dwellings in such community. Each dwelling unit may have one (1) kitchen without size limitation. In addition, one (1) additional kitchen is permitted for homes over 5,000 sq. ft. for the preparation of large meals for guests if such kitchen cannot be locked off from the dwelling unit. Wet bars are also allowed in common living rooms, entertainment rooms and similar common areas that cannot be locked-off from the dwelling unit. An accessory dwelling unit mother-in-law suite is permitted.

Easement: A less than fee interest in land, which provides a person other than the owner of the land certain rights over that land, or any designated part of that land, for the purposes specified by such easement.

Easement Vacation: The vacation or removal of an easement shown on a recorded subdivision plat that is dedicated to or held by the Town Council.

Effective Date of CDC: The date the CDC was effective after the second reading of the ordinance adopting such code.

Efficacy: Luminous efficacy is a measure of how well a light source produces visible light. It is the ratio of luminous flux to power, measured in lumens per watt (lm/W).

Efficiency Lodge Unit: See zoning designation definition.

Employee: A person who is employed within the Telluride R-1 School District and maintains residence in the town as set forth in the employee housing or workforce housing restriction.

Employee Apartment: See zoning designation and dwelling unit definitions.

Employee Condominium: See zoning designation and dwelling unit definitions.

Employee Dorm: See zoning designation definition.

Monumented Land Survey: A survey prepared by a Colorado licensed public land surveyor that finds or marks all property corners, property lines, existing improvements and construction and development improvements. The lot corners and lot lines included in the monument land survey may be limited down by the Planning Division to the area affected by development or construction.

~~**Mother-in-Law Suite:** A suite that is accessed from a common hallway in the home that does not contain a separate entrance, lock or the ability to lock off a common foyer that may contain a bedroom, small living area, and a limited kitchen facilities consisting of a sink, microwave, two element burner and a six (6) cubic foot (maximum) refrigerator.~~

Mountain Village: When used as a freestanding phrase not referring to the Town of Mountain Village or a Town document, Mountain Village shall mean the geographic, incorporated area of the Town.

MPUD: A master PUD as set forth in the PUD Regulations.

MPUD Development Agreement: The binding agreement between the developer and the Town required as a condition of approval of an outline PUD, which agreement includes requirements for dedication and conveyance of community benefits associated with all phases of the MPUD and which details the uses and densities associated with the individual parcels and/or phases of the MPUD as provided for in the PUD Regulations.

Multi-Family Zone District: A lot zoned as multiunit or multi-family that permits multi-family development with the following limited zoning designations as specifically zoned on each lot: hotel units, hotel efficiency units, lodge units, efficiency lodge units, condominium units, commercial space, workforce housing units and parking together with such public and semi-public facilities, private recreation facilities and related visitor-oriented uses as may be appropriately developed on the property.

Municipal Facilities: Facilities and services traditionally provided by the Town, such as water services, police protection, fire protection, maintenance/shops and similar uses.

Natural Grade: See definition of Grade.

Native Grass Seed Mix: The native grass seed mix as set forth in the Landscaping Regulations section of the Design Regulations.

Nonconforming Structure: Any building or structure legally established pursuant to the land use regulations in effect at the time of its development that does not comply with the CDC regulations.

Nonconforming Use: Any use of land, building or structure that was established pursuant to the land use regulations in effect at the time of its development but which use does not comply with the CDC regulations.

Non-Domesticated Animal: Any animal that is not a domesticated animal (Please refer to domesticated animal definition).

~~**Non-Subdivideable Duplex Lot:** See zoning designation definition. A lot with a zoning designation of non-subdivideable duplex that allows for the construction of two (2) dwelling units consistent with the accessory dwelling unit requirements in the single-family zone district.~~

Right-of-Way: An area dedicated to public use for pedestrian and vehicular circulation, which may also accommodate public utilities and similar uses.

Roofline: The highest horizontal line of a building or structure as defined by ridges, gables, dormers or parapets and excepting chimneys, antennas, cupolas and steeples.

Sale or Sell: The exchange of goods or services for money or other consideration, including the offering of goods or services for donation except when offered to express religious, social or political belief.

Sandwich Board Signs: Freestanding signs with signage on two (2) sides.

Seasonal Lighting: Lighting installed and operated in connection with the holidays or other seasonal traditions.

Service Commercial: Any establishment of which the primary activity is the provision of personal or professional service as opposed to products, such as attorney services, surveying services, title services, real estate services or beauty services.

Short Term Accommodation: Means a building or any unit within a building may only be rented, leased or occupied for a period of less than 30 (thirty) consecutive days by any occupant (that is, any length of time between 1 and 29 consecutive days) and not as a primary residence.

Sign: Any object, device, display, structure or part thereof situated outdoors or indoors, which is used to advertise, identify, inform, display, direct or attract attention to an object, person, institution, organization, business, religious group, product service, event or location by any means, including words, letters, figures, designs, symbols, fixtures, colors, illumination or projected images.

Off-premise Signs: Signs advertising goods, products or services that are not located or sold on the lot or premise on which the sign is located except for signs that project into a plaza area, directory signs and other off-premise signs as allowed by the Sign Regulations.

Sign Area; The area of the entire face of a sign shall be measured in determining sign area, including but not limited to the advertising surface and any framing trim or molding. On a two-sided sign where the faces are parallel to each other and separated by less than one (1) foot, only one (1) face is counted in calculating the sign area.

Single-Family Condominium Dwelling Unit: See zoning designation and dwelling unit definitions.

Single-Family Dwelling Unit: See zoning designation and dwelling unit definitions.

Site: The entire area included in the legal description of the land on which a development activity is proposed in a development application.

Site Coverage: The total horizontal area of any building, carport, porte-cochere or arcade and shall also include walkways, roof overhangs, eaves, exterior stairs, decks, covered porch, terraces and patios. Such horizontal measurement shall be from the driplines of buildings and from the exterior surface of the total wall assembly.

Site-Specific Development Plan: The final approved development application plans for a development where (a) a development permit has been issued and no further development approvals are required

2. **Minor Event:** Any special event for which daily attendance is expected to be less than one thousand (1,000) people; or
3. **Major Event:** Any special event for which daily attendance is expected to be more than one thousand (1,000) people and/or the special event is to take place on multiple consecutive days.
4. **Ski Area Event:** Any special event conducted by or sponsored by the ski resort operator, which is typically associated with normal ski resort operations such as ski races, ski competitions, and ski related product demonstrations, that are to take place solely on land owned by the ski resort operator that is used for ski resort operations.

Weddings conducted entirely on private property that provide for adequate infrastructure that do not have any significant adverse impacts are not considered a special event.

Special Event Permit: The permit issued by the Planning Division in order for a person or entity to conduct a special event pursuant to the Special Event Regulations, except for ski area events that meet the criteria set forth in the Special Event Regulations.

Specific Zone District Requirements: The specific zone district requirements for each zone district as outlined in Chapter 3 of this CDC.

SPUD: A site-specific PUD as set forth in the PUD Regulations.

SPUD Process: See site-specific PUD Process.

Staff: See Planning Division.

State: The State of Colorado.

Steep Slopes: Slopes that are thirty percent (30%) or greater.

Stipulated Settlement Order: The 1999 Stipulated Settlement Order in *BOCC v. Town of Mountain Village*, 97 CV 133, as recorded at reception number 329093 on September 8, 1999, in the public records of the San Miguel County Clerk and Recorder's Office as may be amended by the parties to such order and approved by the San Miguel County District Court from time to time.

Streams, Intermittent: Those areas where waters produce a defined channel or bed that flows part of the year.

Streams, Perennial: Those areas where waters produce a defined channel or bed that flows year-round.

Stop Work Order: The administrative order to halt, cease and enjoin development, construction, work, use or activity that is in violation of the requirements of the CDC.

Structure: Anything constructed or built on a site whether temporary or permanent.

Subdividable Duplex: See zoning designation definition.

Subarea Plan: One of the three (3) subarea plans in the Comprehensive Plan within the three (3) subareas including the Village Center Subarea, the Town Hall Subarea and the Meadows Subarea.

mechanical, plumbing and heating; wholesale sales and distributors; welding and machine shops; food service distribution; cleaning and janitorial supply; bulk storage and distribution facilities for fuels, explosives, pesticides, solvents, corrosives, paving, excavation, hauling and other contracting services involving heavy equipment, maintenance and repair of trucks and heavy equipment, electric utility substation, water treatment plant, water storage and distribution facilities, snow making facilities, ski area maintenance operations, cable TV operations and other service facilities. A lot shall not be re-zoned to include this zoning designation due to the Comprehensive Plan's envisioned phase out of industrial uses from the town over time. Lots with this zoning designation prior to the effective date of the CDC are considered legal, conforming uses.

Lodge: A zoning designation that means a two (2) room space plus a mezzanine with up to two separate baths and a full kitchen. These units may be in a condominium community.

Non-Subdividable Duplex: A zoning designation that means the construction of two (2) dwelling units. Creation of a non-subdividable duplex dwelling unit requires a density transfer and rezone application. If the second unit is deed restricted, Town Council can create the deed restricted density as part of the rezone and density transfer process. The units must be held in the same ownership and cannot be condominiumized or further subdivided.

~~**Non-Subdividable Duplex:** A legal, non-conforming zoning designation that means construction of two (2) dwelling units as provided for in the Zoning Regulations and the single-family zone district. A lot may not be re-zoned to include this zoning designation in order to ensure the integrity of the overall single-family zone district. Lots with this zoning designation prior to the effective date of the CDC are considered legal, non-conforming uses.~~

Parking: A zoning designation that means for parking uses, including but not limited to the following: private or public vehicle parking structures or surface parking, private office and commercial uses that are transportation, tourist or town-related and that are accessory to a parking structure, general access, utility installation and maintenance, drainage and transportation systems and all buildings and incidental facilities related to the use. Notwithstanding the above, no use is allowed that is incompatible with the general resort nature of the town.

Single-Family: A zoning designation that means construction of a building containing one (1) dwelling unit and one (1) accessory dwelling unit (accessory dwelling unit can also be detached per accessory dwelling unit requirements) as provided for in the zoning regulations.

Single-Family Common Interest Community: A zoning designation that means a detached building containing only one (1) single-family dwelling unit that is located within a common interest community with at least three (3) or more single-family dwelling units in such community.

Single-Family Condominium: A zoning designation that means a detached building containing only one (1) dwelling unit that is located within a condominium community with at least three (3) or more single-family dwelling units located on a lot.

Subdividable Duplex: A zoning designation that the construction of two (2) dwelling units. Creation of a subdividable duplex lot requires a density transfer and rezone application. If the second unit is deed restricted, Town Council can create the deed restricted density as part of the rezone and density transfer process. The units can be condominiumized and owned by separate owners, but otherwise restricted from further subdivision.

**RESOLUTION OF THE TOWN COUNCIL
OF MOUNTAIN VILLAGE, ADOPTING INTERIM COMMUNITY HOUSING INITIATIVE
INCENTIVES**

RESOLUTION NO. 2021 – 0819 - ____

WHEREAS, the Town Council (Council) of the Town of Mountain Village (Town) is authorized to create policies that encourage the Community Housing Initiatives; and

WHEREAS, by Resolution Town Council may implement said policies; and

WHEREAS, The Town of Mountain Village recognizes that fee and zoning incentives are important to promote Community Housing development;

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF MOUNTAIN VILLAGE AS FOLLOWS:

1. The Town of Mountain Village continues to waive development fees associated with Community Housing also known as workforce housing and deed restricted projects; and
2. The Design Review Board is reviewing and the Town Council is adopting by Community Development Code amendment, a series of CDC amendments supportive of the construction and maintenance of community housing; and
3. Community Housing Projects will receive priority on Design Review Board agendas; and
4. All other town regulations remain in full force and effect.

Section 1. Resolution Effect

- A.** This Resolution shall have no effect on pending litigation, if any, and shall not operate as an abatement of any action or proceeding now pending under or by virtue of the resolutions repealed or amended as herein provided and the same shall be construed and concluded under such prior resolutions.
- B.** All resolutions, of the Town, or parts thereof, inconsistent or in conflict with this Resolution, are hereby repealed, replaced and superseded to the extent only of such inconsistency or conflict.

Section 2. Severability

The provisions of this Resolution are severable and the invalidity of any section, phrase, clause or portion of this Resolution as determined by a court of competent jurisdiction shall not affect the validity or effectiveness of the remainder of this Resolution.

Section 3. Effective Date

This Resolution shall become effective on August 11, 2021 (the “Effective Date”) as herein referenced throughout this Resolution.

Section 4. Public Meeting

A public meeting on this Resolution was held on the 11th day of August in the Town Council Chambers, Town Hall, 455 Mountain Village Blvd, Mountain Village, Colorado 81435.

Approved and Adopted by the Town Council at a public meeting held on August 18, 2021

Town of Mountain Village, Town Council

By: _____
Laila Benitez, Mayor

Attest:

By: _____
Town Clerk

Approved as to Form:

Paul Wisor, Town Attorney

Duplex Overlay Option #1 – use by right – Lawson Overlook & Lawson Point Area

Duplex Overlay Option #2 – duplex with adjacent property owner consent area (Russell Drive and Double Eagle)

