

**TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING AGENDA
TO BE HELD IN PERSON
THURSDAY SEPTEMBER 2, 2021 10:00 AM
MOUNTAIN VILLAGE TOWN HALL
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO
MOUNTAIN VILLAGE TOWN HALL**

	Time	Min.	Presenter	Type	
1.	10:00		Chair		Call to Order
2.	10:00	5	Ward	Action	Reading and Approval of the August 5, 2021, Regular Design Review Board Meeting Minutes.
3.	10:05	30	Ward/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a new Single Family Home on Lot 166AR2-2, 1 Stonegate Drive, pursuant to CDC Section 17.4.11.
4.	10:35	30	Ward/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a new Single Family Detached Condominium on Lot AR59, 129 Adams Way, pursuant to CDC Section 17.4.11.
5.	11:05	30	Miller/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architectural and Site Review for a new single-family home on Lot 729R-7, 87 Pennington Place, pursuant to CDC Section 17.4.11.
6.	11:35	45	Miller/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architectural and Site Review for a new single-family home on Lot 729R-6, 89 Pennington Place, pursuant to CDC Section 17.4.11.
7.	12:20	30	Chair		Lunch
8.	12:50	45	Ward/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a new Single Family Home on Lot 810A, 118 Arizona Street, pursuant to CDC Section 17.4.11.
9.	1:35		Chair		Adjourn

Please note that this Agenda is subject to change. (Times are approximate and subject to change)
455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435
Phone: (970) 369-8242 Fax: (970) 728-4342

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting Town Hall at the above numbers or email: cd@mtnvillage.org. We would appreciate it if you would contact us at least 48 hours in advance of the scheduled event so arrangements can be made to locate requested auxiliary aid(s).

**DESIGN REVIEW BOARD MINUTES
TOWN OF MOUNTAIN VILLAGE
DESIGN REVIEW BOARD MEETING
THURSDAY AUGUST 5, 2021**

Call to Order

Chairman Banks Brown called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:04AM on August 5, 2021

Attendance

The following Board members were present and acting:

Greer Garner
Liz Caton
Banks Brown
Adam Miller
Ellen Kramer
David Craige

Cath Jett arrived at 10:16pm

The following Board members were absent:

Scott Bennett 1st Alternate
Shane Jordan 2nd Alternate

Town Staff in attendance:

Michelle Haynes, Planning & Development Services Director
John Miller, Senior Planner
Amy Ward, Planner

Public in attendance:

Ramiel Kenoun
Frank Hensen
Ruth Hensen
Peter Lundeen
Ron Bercovitz
David Ballode
Ken Alexander
Anton Benitez
Ascenzo DiGiacomo
Isabella James
Bohdan Iwanetz
Joe Solomon
Jonathan Greenspan
Timothy Losa
Stephanie Fanos
Sue Berg
Susan Alaia
Louis Alaia
Chris Hawkins

Item 2. Reading and Approval of the July 1, 2021, Regular Design Review Board Meeting Minutes.

Caton asks that the address listed in Item 8 be corrected to read 87 Pennington Place.

On a **MOTION** by **Caton** and seconded by **Miller** DRB voted unanimously to approve the July 2, 2021 Regular DRB Meeting Minutes as amended.

Item 3. Consideration of a Design Review: Initial Architecture and Site Review for a Multi-Family Development on Lot 6151-CR, Unit 7, TBD Lawson Overlook, consisting of (3) Detached Condominium Units, Concurrent Review and Recommendation to Town Council for a variance request for Building Height pursuant to CDC section 17.4.16. Staff is requesting that both of these items be tabled.

On a **MOTION** by **Caton** and seconded by **Garner** DRB voted unanimously to table the Consideration of a Design Review: Initial Architecture and Site Review for a Multi-Family Development on Lot 6151-CR, Unit 7, TBD Lawson Overlook, consisting of (3) Detached Condominium Units, and the Concurrent Review and Recommendation to Town Council for a variance request for Building Height pursuant to CDC section 17.4.16.

Item 4. Consideration of a Design Review: Final Architecture Review for a new Single Family Detached Condominium on Lot AR-52R, 123 Adams Way, pursuant to CDC Section 17.4.11.

Amy Ward presented on behalf of staff

Peter Lundeen, Fuse Architecture, presented as applicant

Public comment: None

On a **MOTION** by **Kramer** and seconded by **Jett** DRB voted unanimously to approve the Final Architectural Review for a new detached condominium located at Unit AR-52R Timber Ridge, based on the evidence provided within the Staff Report of record dated July 21, 2021, with the following design variations and specific approvals:

Design Variation:

- 1) Lighting – fixture with excessive lumen capacity to be capped by dimmer system

DRB Specific Approval:

- 1) GE encroachment for grading

And, with the following conditions:

- 1) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 2) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 3) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 4) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 5) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the

appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Item 5. Consideration of a Design Review: Final Architecture Review for a new Single-Family Home on Lot 151R-2, 223 Country Club Drive, pursuant to CDC Section 17.4.11.

John Miller presented on behalf of staff
Lea Sisson, of Lea Sisson Architects presented as applicant

Public Comment: None

On a **MOTION** by **Garner** and seconded by **Kramer**, DRB voted unanimously to approve the Final Architecture Review for a new single-family home located at Lot 151R-2, based on the evidence provided within the Staff Report of record dated July 20, 2021, with the following Specific Approvals and Design Variations:

Design Review Board Specific Approvals:

1. Tandem Parking or Parking Waiver
2. Parking in the General Easement
3. Metal Fascia

Design Review Board Design Variation:

1. Road and Driveway Standards
2. Landscaping

And, with the following conditions:

- 1) Prior to the submittal for Building Permit, the applicant shall revise the construction mitigation plan per the comments of this memo.
- 2) ~~Prior to the submittal for a Final Architectural Review, the applicant shall provide an updated construction mitigation plan addressing the concerns of this report.~~
- 3) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 4) Prior to the issuance of a building permit, the applicant shall obtain an easement from TSG to access the sewer line to the south of the home.
- 5) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 6) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way, general easement, or setback, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (Fire Department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 7) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.
- 8) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 9) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 10) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials

Item 6. Conceptual work session for Lot 165, Units 8 and 9, Cortina Drive, to develop new Single-Family detached condominium residences, pursuant to CDC sections 17.4.11.

John Miller presented on behalf of staff
Ramiel Kenoun, Space Architects and Planners, presented as applicant

As a work session this was not opened up for Public Comment.

Specific feedback was given to the applicant, no action was taken.

Item 7. Consideration of a Design Review: Final Architecture Review for a new Single-Family Home on Lot 214A, 209 Benchmark Drive, pursuant to CDC Section 17.4.11.

Amy Ward presented on behalf of staff
Ron Bercovitz, Bercovitz Architects presented as applicant

Public Comment: None

On a **MOTION** by **Garner** and second by **Jett** DRB voted unanimously to to approve the Final Architectural Review for a new single-family home located at Lot 214A, based on the evidence provided within the Staff Report of record dated July 22, 2021, with the following design variations and specific approvals:

Design variations:

- 1) Exterior wall materials – Hardie Trim Fascia
- 2) Tandem Parking
- 3) Landscaping – Diversity of Species

DRB Specific Approval:

- 1) GE encroachment for hammerhead, hardscaping and grading

And, with the following conditions:

- 1) Prior to building permit, the applicant shall revise the lighting plan to replace the recessed can fixture with one that meets the CDC regulations, and provide a detail for the LED at the address monument, for staff review.
- 2) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 3) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 4) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;

- d. Roofing material(s); and
 - e. Any other approved exterior materials
- 5) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Adding conditions 6 & 7

- 6) Before building permit applicant shall provide an amended lighting plan for staff review
- 7) Before building permit applicant shall provide an amended landscaping plan for staff review that adds additional plantings between the GE and the driveway to screen the hammerhead.

Item 8. Consideration of a Design Review: Initial Architecture and Site Review for a new Single Family Home 166AR2-2, 1 Stonegate Drive, pursuant to CDC Section 17.4.11. This item was continued from the July 1, 2021 regular DRB meeting

Amy Ward presented on behalf of staff
Nick Moskwa, TKP Architects, presented as applicant with David Ballode

Public Comment: None

On a **MOTION** by **Garner** and second by **Jett** DRB voted 6-1 (Jett opposes due to a non-complete application, wall detail and stone calculations) to approve the Initial Architectural and Site Review for a new single-family home located at Lot 166AR2-2, based on the evidence provided within the Staff Report of record dated June 20, 2021, with the following design variations and specific approvals:

Design variations:

- 1) Road and Driveway Standards

DRB Specific Approval:

- 1) Tandem Parking
- 2) Metal Fascia
- 3) ~~Board form Concrete (address monument)~~
- 4) GE encroachment – Grading, below grade soil nailing, retaining walls.

And, with the following conditions:

- 1) Prior to final review, the applicant shall modify the landscaping plan per the comments from this meeting in regard to diversity of species and the proposed landscaping boulders.
- 2) Prior to final review, the applicant shall revise the proposed exterior materials calculations to clarify the location of the included retaining wall.
- 3) Prior to final review the applicant shall provide a tree survey of the site and a fire mitigation plan.
- 4) Prior to issuance of a building permit the applicant shall provide written authorization from the owners of OSP-51RA for additional driveway encroachments, soil nailing and the extension of the driveway retaining wall.
- 5) Prior to issuance of a building permit the owner shall receive consent to the building permit application from the Town and the owners of OSP-51RA for the installation of the subterranean soil nails beneath Stonegate Drive and on OSP-51RA property.
- 6) Prior to issuance of a certificate of occupancy the owner shall enter into a nonrevocable easement agreement for the subterranean soil nails with both the Town

and the owners of OSP-51RA.

7) A non-revocable general easement encroachment agreement will be executed prior to issuance of a certificate of occupancy for any encroachments approved by the DRB.

8) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

9) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

10) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');

b. Wood that is stained in the approved color(s);

c. Any approved metal exterior material;

d. Roofing material(s); and

e. Any other approved exterior materials

11) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

12) Before final review the applicant should amend the plan set to assure the civil drawings align with the architectural drawings

Item 9. Working Lunch.

Item 10. Consideration of a Design Review: Initial Architecture and Site Review for a new Single Family Detached Condominium on Lot AR59, 129 Adams Way, pursuant to CDC Section 17.4.11. This item was continued from the July 1, 2021 regular DRB meeting

Amy Ward presented on behalf of staff

Ken Alexander, Architects Collaborative, presented as applicant

Public Comment: None

On a **MOTION** by **Garner** and seconded by **Miller** the DRB voted unanimously to approve the Initial Architectural and Site Review for a new detached condominium located at Lot AR-59R, based on the evidence provided within the Staff Report of record dated July 21, 2021, with the following design variations and specific approvals:

Design Variation:

1) Window and door material

DRB Specific Approval:

1) GE encroachment for hammerhead and grading

And, with the following conditions:

1) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

- 2) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 3) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 4) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 5) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Item 11. Review and Recommendation to Town Council regarding a Conditional Use Permit to allow for a trash enclosure on a Portion of OS-1-R1, Town Hall Subarea, 455 Mountain Village Blvd pursuant to CDC Section 17.4.14, Concurrent consideration of a Design Review Application for a design variation to 17.5.6, Exterior Wall Materials, allowing a reduced stone percentage on the trash enclosure on Lot 1003R-1, 1003R-2A and OS-1-R1.

Michelle Haynes and John Miller presented on behalf of staff
Anton Benitez, Mountain Village Condominium Owners Association (MVCOA), presented as applicant

Public Comment:Jonathan Greenspan

On a **MOTION** by **Miller** and seconded by **Caton** DRB voted 6-1 (jett opposed due to no recycling) to recommend a motion of approval to Town Council regarding a proposed Conditional Use Permit for a trash enclosure located on portion of active open space with the following conditions:

- 1) A variance from the tramway board must be approved for the location of the trash enclosure within a perimeter of the ski lift and airspace prior to issuance of a building permit.
- 2) Provide a detailed trash and delivery plan for the market assuring that the primary deliveries and pickups will continue to occur from the loading dock and not create any nuisance or hazard by forcing deliveries to the front of the store.
- 3) Associated use, location and cost sharing agreements will be executed to the satisfaction of the respective parties.
- 4) Assure that the trash enclosure will be modified or relocated should the town develop Land Unit 1, the Village Station Condominiums in the future and written into the use agreement.
- 5) The CUP remains valid for a ten-year period at which time it can be reapplied for. Staff reserves the right to revisit the trash and delivery plan which would be complaint driven, and on an as needed basis.
- 6) The Town Council can periodically review the terms of the CUP with the owner to address issues or concerns with the intent that delivery and trash management continue to be mitigated. The Town reserves the right to impose additional conditions to mitigate impacts at the Town Council's sole and absolute discretion and/or the ability to revoke or suspend this CUP upon a violation of any conditions.
- 7) Update the associated agreements to contemplate town use in addition to MVCOA use.
- 8) Mitigation and avoidance of wetlands is a requirement of approval consistent with town regulations.

On a **MOTION** by **Garner** and seconded by **Miller** DRB voted unanimously to approve the application for a design variation to CDC Section 17.5.6.E: Exterior Wall Materials, to allow zero stone material percentage on Lots 1003R-1, 1003R-2A, and OS-1R-1, 455 Mountain Village Boulevard with the following findings:

Findings:

1) The Design Review Board finds that the proposed application meets the criteria for a design variation approval as outlined in CDC Section 17.4.11(E)(5)(i-vi) based on the evidence provided within the Staff Report of record dated July 26, 2021.

And the additional condition:

- 1) The applicant will come back with a single shed roof design for staff review.

Item 12. Consideration of a Design Review: Initial Architectural and Site Review for a new single-family home on Lot 729R-7, 87 Pennington Place, pursuant to CDC Section 17.4.11.

John Miller presented on behalf of staff

Tim Barstad (for Karen Keating), TKP Architects presented as applicant with Matthew Shear

Public Comment: None

On a **MOTION** by **Kramer** and seconded by **Caton** the DRB voted unanimously to approve the Initial Architecture and Site Review for a new single-family home located at Lot 729R-7, based on the evidence provided within the Staff Report of record dated July 24, 2021, with the following Specific Approvals and Design Variations:

Design Review Board Specific Approvals:

- 1) Metal Fascia
- 2) General Easement Encroachments
- 3) Board Form Concrete
- 4) Tandem Parking

Design Review Board Design Variation:

- 1) Road and Driveway Standards

And, with the following conditions:

- 1) As part of the Building Permit submittal, the applicant shall update the landscape plan and fire mitigation plan to remove flammable mulch products from Zone 1.
- 2) As part of the Building Permit submittal, the applicant shall revise the exterior lighting plan to include remove the landscaping bollards from the Lot in their entirety.
- 3) As part of the Building Permit submittal, the applicant shall revise the construction mitigation plan to include additional silt fencing along Pennington Place, as well as include additional on-street parking requests.
- 4) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 5) Prior to the issuance of a building permit, the applicant shall obtain an easement from TSG to access the sewer line to the west of the home or submit a revised utility plan to the public works director that provides access from Pennington Place.
- 6) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

7) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way, general easement, or setback, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (Fire Department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

8) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.

9) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

10) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials

11) The applicant shall amend the lighting plan to replace the (2) 2500 lumen fixtures with fixtures that are code compliant, and to remove all proposed bollards.

Item 13. Consideration of a Design Review: Final Architecture Review for a Multi-Family Development at Lot 30, 98 Aspen Ridge, consisting of Sixteen (16) Condominium Units and two (2) Employee Condominiums, pursuant to CDC Section 17.4.11.

John Miller presented on behalf of staff

Timothy Losa of Zehren and Associates, presented as applicant with Stephanie Fanos

Public Comment: Bohdan Iwanetz

On a **MOTION** by **Jett** and seconded by **Caton** the DRB voted 5-2 to continue to the October 7, 2021 regular DRB meeting the Final Architectural Review for a new multi-family condominium located at Lot 30, 98 Aspen Ridge (Miller feels they have met the guidelines for approval, Brown feels the applicant was addressing councils request for an additional employee housing and this put them in a difficult position to meet parking requirements).

Item 14. Consideration of a Design Review: Final Architecture Review for a new Multi Family Condominium Development on Lot 600A, Elkstone Expansion, pursuant to CDC Section 17.4.11.

Amy Ward presented on behalf of staff

Chris Hawkins of Alpine Planning, presented as applicant

Public Comment: None

On a **MOTION** by **Jett** and seconded by **Kramer** DRB voted unanimously to to approve the Final Architecture Review Application for a Multi-Family Development located within the expansion area of Lot 600A, consisting of a total of six (6) new condominium units based on the evidence provided within the Staff Report of record dated July 27, 2021, and with the following specific approvals and conditions:

DRB specific approvals:

- 1) GE encroachment – subterranean soil nailing

And, with the following conditions:

- 1) The applicant will bring the disturbed area between the proposed development and Elkstone 21 building back to its original pre-disturbed condition to include additional small diameter tree plantings and native seed planting. These plantings

shall not include any coniferous tree species and are required to be entirely deciduous.

2) The southeast corner of the Expansion Area will be preserved by the developer in its current state as shown on the Town approved grading plan including the existing Elkstone 21 retaining wall and the four (4) conifers and aspens above the wall. If grading or tree removal is proposed in this area, it will only be out of engineering necessity as provided for in a letter and revised grading plan that are stamped and signed by a Colorado licensed Professional Engineer. A 14-day courtesy notice of any grading in the southeast corner of the Expansion Area for engineering necessity shall be provided by email to the owners at Elkstone 21. Special attention will be given to the southeast corner of the development.

3) Prior to Building permit, the construction mitigation plan will be revised to align the construction fencing with the limits of disturbance shown on the grading plan to protect areas that will not be graded consistent with the overall grading plan.

4) If the four (4) conifers and aspens of special concern above the wall on the southeast corner are within the limits of disturbance, they will be separately fenced/protected.

5) If the (4) conifers and aspens of special concern above the wall on the southeast corner are removed for cause, they will be replaced with trees of like species and size.

6) Prior to issuance of a building permit, the applicant will create a "construction best practices protocol" to avoid potential bacterial contamination in the stormwater system for staff review. The applicant agrees to provide a follow up 2 years after the completion of construction to verify that no contamination has occurred, and otherwise address any bad odors or potential contamination issues by employing a mitigation strategy immediately upon being notified of any potential odor problems.

7) Prior to issuance of a building permit, the applicant shall present a revised lighting plan that replaces fixture A and B with an alternate compliant fixture for staff review.

8) Prior to issuance of a CO the property owner will enter into a General Easement Encroachment Agreement with the Town of Mountain Village for the subterranean soil nail encroachments to the south of the development if soil nailing is needed in the GE.

9) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

8

10) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.

11) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

12) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials

13) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Item 16. Review and Recommendation to Town Council regarding amendments to the Community Development Code consistent with the Town of Mountain Village Community Housing Initiatives; specifically, amendments to reintroduce duplex development within an overlay district in the single family zone district, modifications to the definition of Accessory Dwelling Unit (ADU), removing Mother-in-law suite and clarifying that an ADU is allowed within detached condominium development and other conforming amendments.

On a **MOTION** by **Jett** and seconded by **Miller** the DRB voted unanimously to recommend approval to Town Council, an Ordinance and Resolution regarding the CDC amendments supporting the Community Housing Initiatives found in the attached exhibit A. CDC redline amendments and exhibit B. draft Town Council resolution. To also direct staff to update the Official Zoning Map to include the duplex overlay generally shown as exhibit C.

ADJOURN

MOTION to adjourn by unanimous consent, the Design Review Board voted to adjourn the August 5, 2021 meeting at 6:06 pm.

Prepared and Submitted by,

Amy Ward
Planner



AGENDA ITEM 3
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board
FROM: Amy Ward, Planner
FOR: Design Review Board Public Hearing; September 2, 2021
DATE: August 24, 2021
RE: Staff Memo – Final Architecture Review (FAR) Lot 166AR2-2, 1 Stonegate Drive

APPLICATION OVERVIEW:

PROJECT GEOGRAPHY

Legal Description: LOT 166AR2-2, TELLURIDE MOUNTAIN VILLAGE, ACCORDING TO THE REPLAT OF LOT 166-AR, OSP-51 AND OS-166 TO LOTS 166AR2-1 THRU 166AR2-15, PARCEL A, OSP-51A, OSP-51RB AND OS-166R RECORDED APRIL 4, 2003 IN PLAT BOOK 1 AT PAGE 3116, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Address: 1 Stonegate Dr.

Applicant/Agent: Matthew Shear and Nick Moskwa, TKP Architects

Owner: TWO STONEGATE, LLC

Zoning: Single-Family

Existing Use: Vacant

Proposed Use: Single-Family

Lot Size: .206 acres

Adjacent Land Uses:

- **North:** Open space
- **South:** Single-family
- **East:** Open Space
- **West:** Single-family



Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comment

Case Summary: Matthew Shear and TKP Architects, Applicants for Lot 166AR2-2, are requesting Design Review Board (DRB) approval of a Final Architectural Review (FAR) Application for a new single-family home on Lot 166AR2-2, 1 Stonegate Drive. The Lot is approximately .206 acres and is zoned Single-family. The overall square footage of the home is approximately 6,105 gross square feet and provides 2 interior parking spaces within the proposed garage and two exterior spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	35' (shed) Maximum	34'-10"
Maximum Avg. Building Height	30' (shed) Maximum	20'- 9"
Maximum Lot Coverage	40% (3,594 s.f.)	39% (3,480 s.f.)
General Easement Setbacks	No encroachment	Multiple encroachments
Roof Pitch		
Primary		flat
Secondary		flat
Exterior Material		
Stone	35%	40.21%
Windows/Doors	40% maximum	27.24%
Parking	2 interior/2 exterior	2/2

Design Variations:

- 1) Tandem Parking
- 2) Road and Driveway Standards – Retaining Wall Height, Driveway Approach Angle

DRB Specific Approval:

- 1) Metal Fascia
- 2) Board form Concrete (address monument)
- 3) GE encroachment – Grading, below grade soil nailing, retaining walls

Please note, this Memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated July 21, 2021.

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Staff: Criteria met

17.3.14: General Easement Setbacks

Lot 166AR2-2 is burdened by a sixteen (16) sixteen-foot General Easement (GE) on the south side, an (8) eight-foot GE on the west side, no GE on the north side and a variable width GE on the east side. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses.

The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The Driveway as shown currently takes access from Stonegate Drive and crosses an access tract to the lot. A portion of the drive runs within the General Easement in a southeast direction to the garage.*
- *Landscaping: There is some proposed new planting in the in the east, south and west GE. The landscaping includes some boulders in addition to natural plantings. The address monument is on the west side of the drive in the GE as well.*

The proposal also includes some GE encroachments requiring specific DRB approval:

- *There is grading proposed in the eastern GE.*
- *There is an existing boulder retaining wall for Stonegate Drive within the western GE. The applicant is proposing to rebuild this retaining wall and extend it slightly to the north.*
- *The reconstruction of the retaining wall will require below grade soil nailing within the GE and under Stonegate Drive.*

Staff: In addition to the above GE encroachments, there are some other encroachments that need to be addressed:

- *The soil nailing will need specific approval for the GE encroachment but will also require approval from the town for the encroachment under Stonegate Drive. If approved the applicant will need to enter into a revocable General Easement encroachment agreement for both the GE and Stonegate Drive encroachments.*
- *The driveway has a deeded access across OSP-51RA; however, the access was created at only 12" wide. The driveway as shown is 12' wide with two 2' shoulders. Additionally, because of the steepness of the drive as well as the slope beyond, a guardrail is required which encroaches onto OSP-51RA even further. The applicant will have to work with the owner of OSP-51RA to obtain an easement for these further encroachments.*

Regardless, a revocable General Encroachment Agreement should be created to capture any encroachments approved by the DRB.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

Staff: Criteria met

17.5.5: Building Siting Design

Staff: Criteria met

17.5.6: Building Design

The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation.

Staff: At Initial Review, there was some confusion as to what areas of stone were to be included in the total stone area. The applicant has clarified the drawings and staff is comfortable that all stone shown in the calculations meet the requirements per the CDC. Stone siding as proposed appears to meet the minimum requirement of 35%.

The applicant has proposed a metal fascia and if DRB deems this material appropriate than a DRB specific approval should be granted.

17.5.7: Grading and Drainage Design

Staff: Lot 166AR2-2 slopes very steeply down to the east, with the lower side of the lot ending at an open space parcel just before San Joaquin Rd. The applicant has proposed some grading on the eastern side of the property within the GE. If DRB finds this grading appropriate than a specific approval should be granted. Because of the steepness of the lot, it will be important for the applicant to have a clear plan for excavated materials that will need to be either removed from the site or stockpiled. Existing slopes on the site are as steep as 1.4:1, so it will be important to understand the applicant's stormwater management plan, this will be discussed further with discussion of the construction mitigation plan.

At Initial Review, there was some concern over the intersection of the garage structure with the re-built retaining wall of Stonegate Drive. The applicant has revised the plans to clearly separate the two entities and added a heated pan with trench drain to deal with any potential snow build up.

17.5.8: Parking Regulations

Staff: The applicant has shown two interior and two exterior parking spaces on their plan. One of the exterior spaces is shown in a tandem format. Because the lot is less than .75 acres, tandem parking may be allowed by the review authority. If DRB finds the parking as proposed allowable than a specific approval for tandem parking should be granted.

17.5.9: Landscaping Regulations

The applicant has provided a revised landscaping plan, the Town Forester has indicated that diversity of species for planting has now been met. The landscape plan also indicates a number of "boulder walls." At initial review, DRB seemed to be generally supportive of these landscaping boulders. The applicant does indicate that temporary irrigation will be required until plantings are established, so a temporary encroachment agreement might be required.

17.5.11: Utilities

Staff: Neither the gas main nor the water main were located on the survey. It is assumed that sewer, water and gas are in Stonegate and will simply run down the driveway to the home. Most of the connections appear to be on the north side of the home around the corner to the left of the main entrance. Applicant should work with public works to field verify all utilities locations prior to building permit.

17.5.12: Lighting Regulations

Staff: A lighting plan was provided, along with photometric study. The lighting plan consists of two fixture types, a soffit recessed can light and a wall recessed light. The soffit recessed can light does not currently meet the CDC lighting regulations as it exceeds 850 lumens. Staff also has some concerns regarding the total number of fixtures specified and would like to hear from DRB whether a reduction in number of lighting fixtures is desired.

17.5.13: Sign Regulations

Staff: An address marker is shown on the landscape plan on the west side of the driveway. The marker design seems to meet all of the provisions of the CDC; however, the monument is primarily of board form concrete. This has not changed since Initial Review. If DRB deems this material appropriate, then a specific approval should be granted.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: The applicant has submitted a fire mitigation plan that seems to meet the Forestry provisions of the CDC. The applicant shall work with the Town Forester on site to identify trees for removal in Zone 2 in order to maintain the 10' crown to crown spacing required by the CDC.

17.6.6: Roads and Driveway Standards

Staff: The driveway appears to meet the width of 12' plus 2' shoulders, however there are some encroachment issues with OSP-51RA which were discussed previously.

The entrance from Stonegate to the drive does not appear to meet the angle of approach per the CDC as currently shown at an almost 8% grade. According to the CDC, "The maximum roadway grade shall not exceed five percent (5%) for the first twenty feet (20') from the edge of the public roadway or access tract. The fire Marshal's comments were that if the drive cannot be redesigned to have an approach of 5% or less than a sign shall be posted at the top of drive indicating "NO FIRE APPARATUS ACCESS." This can be approved by DRB by granting a design variation to road and driveway standards. The driveway is steep at 11.79% however transitional sections less than 12% are allowable by code.

There is a parking area to the north of the home created by a large retaining wall. At 12.5' this retaining wall does not meet the regulations of 17.6.6 in regard to retaining wall heights.

If the DRB finds either or both of these variations appropriate than a design variation should be granted for road and driveway standards.

17.6.8: Solid Fuel Burning Device Regulations

Staff: There are no solid fuel burning devices indicated on the plans.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: A construction mitigation plan was submitted, that includes dumpster, food waste disposal cart, and a port a potty all located within the access tract to the lot. It also includes a construction trailer that appears to be located on the adjacent OSP-51RA. Permissions from the landowner would have to be obtained for this construction trailer placement. The materials staging area is shown on the east (downhill) side of the lot. This site seems appropriate if the applicant has an access agreement with the owners of OS 166R to utilize that lot for access, otherwise staff believes this placement would be difficult to access from Stonegate drive due to the steep nature of the lot. There is construction fencing indicated surrounding the site, however no silt fencing or wattles are indicated for stormwater mitigation. This steep site will surely require additional mitigation. There are existing trees shown to be kept within the construction fencing, appropriate tree protection measure should be demonstrated. There is no parking indicated on the CMP. Prior to building

permit, the applicant should provide an updated construction mitigation plan addressing all of these concerns.

Staff Recommendation: Staff recommends the DRB approve the Final Architectural Review for Lot 166AR2-2, 1 Stonegate Drive, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architectural Review for a new single-family home located at Lot 166AR2-2, based on the evidence provided within the Staff Report of record dated August 24, 2021, with the following design variations and specific approvals:

Design variations:

- 1) Road and Driveway Standards
- 2) Tandem Parking

DRB Specific Approval:

- 1) Metal Fascia
- 2) Board form Concrete (address monument)
- 3) GE encroachment – Grading, below grade soil nailing, retaining walls.

And, with the following conditions:

- 1) Prior to building permit the applicant shall submit a revised lighting plan for review by staff and one board member.
- 2) Prior to building permit the applicant shall submit a revised construction mitigation plan addressing the issues of concern in this memo for staff review. Any needed permissions of adjacent landowners will also be provided to staff.
- 3) Prior to building permit the applicant shall provide a tree survey of the site and shall work with the Town Forester to mark trees for removal in Zone 2 of the Fire Mitigation Area.
- 4) Prior to issuance of a building permit the applicant shall provide written authorization from the owners of OSP-51RA for additional driveway encroachments and the extension of the driveway retaining wall.
- 5) Prior to issuance of a building permit the owner shall receive consent to the building permit application from the Town for the installation of the subterranean soil nails beneath Stonegate Drive
- 6) Prior to issuance of a certificate of occupancy the owner shall enter into a non-revocable easement agreement for the subterranean soil nails with the Town.
- 7) A non-revocable general easement encroachment agreement will be executed prior to issuance of a certificate of occupancy for any encroachments approved by the DRB.
- 8) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 9) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.

Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

- 10) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 11) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/aw



LOT 166AR2-2 FINAL ARCHITECTURE & SITE REVIEW



DRB INITIAL REVIEW

The DRB approved the Initial Architecture and Site Review on Aug 5th, 2021 subject to the following conditions (our responses shown in *italics*):

1. Prior to final review, the applicant shall modify the landscaping plan per the comments from this meeting in regard to diversity of species and the proposed landscaping boulders.
-This condition has been met.
2. Prior to final review, the applicant shall revise the proposed exterior materials calculations to clarify the location of the included retaining wall.
-This condition has been met.
3. Prior to final review the applicant shall provide a tree survey of the site and a fire mitigation plan.
-This condition has been met.
4. Prior to issuance of a building permit the applicant shall provide written authorization from the owners of OSP-51RA for additional driveway encroachments, soil nailing and the extension of the driveway retaining wall.
-This condition should carry forward and be included in the Final Plan approval.
5. Prior to issuance of a building permit the owner shall receive consent to the building permit application from the Town and the owners of OSP-51RA for the installation of the subterranean soil nails beneath Stonegate Drive and on OSP-51RA property.
-This condition should carry forward and be included in the Final Plan approval. Soil nails will no longer be installed on OSP-51RA Open Space Property from outside the property (Reference Civil drawing C2.1).
6. Prior to issuance of a certificate of occupancy the owner shall enter into a nonrevocable easement agreement for the subterranean soil nails with both the Town and the owners of OSP-51RA.
-This condition should carry forward and be included in the Final Plan approval.
7. A non-revocable general easement encroachment agreement will be executed prior to issuance of a certificate of occupancy for any encroachments approved by the DRB.
-This condition should carry forward and be included in the Final Plan approval.
8. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
-This condition should carry forward and be included in the Final Plan approval.
9. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or

exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

-This condition should carry forward and be included in the Final Plan approval.

10. Prior to the Building Division conducting the required framing inspection, a four foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials

-This condition should carry forward and be included in the Final Plan approval.

11. It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

-This condition is understood by the applicant.

12. Before final review the applicant should amend the plan set to assure the civil drawings align with the architectural drawings

-This condition has been met.

Design Variation:

1. Road and Driveway Standards

-Due to the slope of Stonegate Drive, the slope of the site, and the angle at which the access easement enters the site, the slope of the road within the first 20' -0" from the edge of the public roadway is unable to be under 5%. For this, the applicant is seeking a design variation request.

SPECIFIC DESIGN APPROVALS

We are seeking four (4) specific design approvals as follows:

1. Variation to 17.5.6(E)(3) to allow for the use of metal as a material for the fascia.
2. Variation to 17.3.14(F) to allow for a General Easement Encroachment.
3. Variation to 17.5.6(E)(7)(b) to allow for the use of board form concrete as an accent material to a few exterior elements.
4. Variation to 17.5.8(A)(2) for the use of tandem parking.

CDC Section 17.5.6(E)(3) states that metal fascia material requires a specific approval. We are using a thin dark bronze metal that is bonded to a substrate as our fascia material on all our flat roof overhangs. This material is meant to strengthen the horizontal nature of the architecture and will match the window and door frames.

CDC Section 17.3.14(F) states that the DRB may waive the general easement setback. In our Initial DRB meeting, the board was in general agreement that we had a justifiable reason to allow a portion of the driveway and the accompanying retaining wall to encroach into the GE. Our initial responses to the CDC guidelines are provided below (with our responses in blue):

1. The applicant has demonstrated that avoiding grading and disturbance in the general easement setback would create a hardship, and there is not a practicable alternative that allows for reasonable use of the lot;
 - *Lot 166AR2-2 has a number of unique attributes and constraints that have driven the current design of the residence. The site is burdened by a very steep slope, unique setback conditions, and existing retaining wall conditions which require rebuilding in order to safely build a home on the site. The above factors, combined with the need to fit the programmatic needs of the home within the maximum height requirements and max lot coverage, require a GE encroachment to rebuild the existing retaining wall. In order to restabilize Stonegate Drive, the applicant is proposing to systematically disassemble the existing boulder retaining wall and install subterranean soil nails beneath Stonegate Drive. The proposed retaining wall will then be assembled with a structural mesh, covered with shotcrete, and then faced with an oxidized metal panel which compliments the home's material palette.*
2. The disturbance in the general easement setback is due to natural features of the site, such as steep slopes, wetlands and streams;
 - *The size, shape, and extreme sloping grade of the site create a limited number of options for siting the programmatic elements of the residence. The condition of the existing boulder retaining wall requires addressing before a home can be safely built on the site. These factors create the need for the encroachment into the easement to rebuild the existing retaining wall.*
3. No unreasonable negative impacts result to the surrounding properties;
 - *Replacing the existing retaining wall will restabilize Stonegate Drive for many years to come. Addressing the existing boulder retaining wall which is beginning to show signs of failure will be of public benefit to those who travel on and/or access their homes via Stonegate Drive. The associated changes made by the GE encroachment will be unlikely*

to be seen by neighbors due to the placement of the home, nature of the site, landscaping, and surrounding roads/accessways.

4. The general easement setback or other setback will be revegetated and landscaped in a natural state;

- Any disturbance to the general easement, where our driveway and retaining wall is not present, will be returned to the natural state.

5. The Public Works Department has approved the permanent above-grade and below-grade improvements;

- The Public Works Department has commented in favor of the retaining wall within the GE encroachment.

6. The applicant will enter into an encroachment agreement with the Town with the form and substance prescribed by the Town; and

- We agree to entering into an encroachment agreement

7. Encroachments into the general easement setback or other setbacks are mitigated by appropriate landscaping, buffering and other measures directly related to mitigating the encroachment impacts.

- From Stonegate Drive, all vegetation will be returned to a natural state. The proposed retaining wall will not protrude above the height of existing retaining wall. The point at which the driveway and retaining wall enter into the GE, landscaping will be strategically placed to screen from public view.

CDC Section 17.5.6(E)(7)(b) states that concrete can only be used as an exterior material for structural elements, or as board formed concrete.

- Our design uses board form concrete solely for the address monument. This is a signature part of all Vault homes and acts as a unifying factor between them. The subtle use of board form concrete for the address monument both compliments and is complimented by the oxidized metal panels of the retaining wall for the property.

CDC Section 17.5.8(A)(2) states that the review authority may allow for tandem spaces as the two (2) surface spaces.

- We are showing two (2) standard enclosed parking spaces, and 2 surface parking spaces with one being a tandem space as required by CDC Section 17.5.8(A)(1). The turnaround for the property is large enough for two vehicles to park which allows for one surface parking space in the turnaround while allowing vehicles to simultaneously use it to exit the property. Maintaining the driveway turnaround's functionality is the reasoning for the one (1) proposed tandem surface parking space by the garage.

RETAINING WALL

During the Initial Design Review, it was requested that we show additional images to clarify how the home and new retaining wall will interact. These images illustrate how we intend address the condition between the rebuilt retaining wall and the Southeast wall of the garage/home. After the initial design review, the applicant, owner, and civil engineer met to ensure that the best approach was taken. From a constructability standpoint, erecting & securing the concrete forms for the garage wall would be very difficult considering its proximity to the rebuilt retaining wall. It was also decided that as a best practice, the home should stand apart from the retaining wall. This protects the home from movement/settling in the long term and removes concerns of lateral loads being placed on the garage wall of the home from snow (The path between the garage and retaining wall will be heated and use a trench drain to direct water away from the home).



Figure 1: Driveway Perspective



Figure 2: Pathway Perspective (From Motor Court)



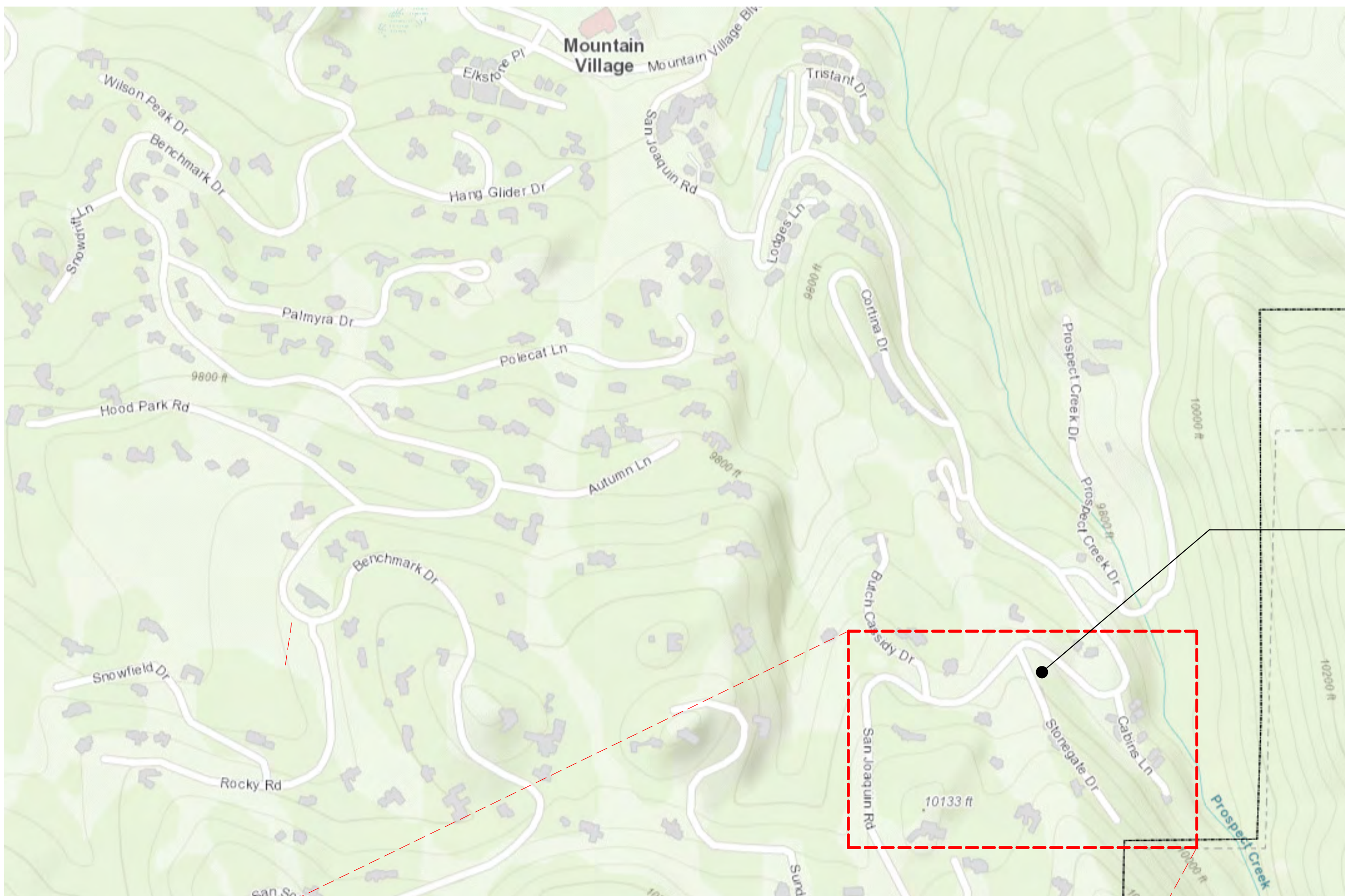
Figure 3: Pathway Perspective (Walking Through)



Figure 4 Pathway Perspective (From Yard)

Reference the A360 model as an additional tool for observing the design of Lot 166AR2-2:

A360 Model Link - <https://autode.sk/3yasTxF>

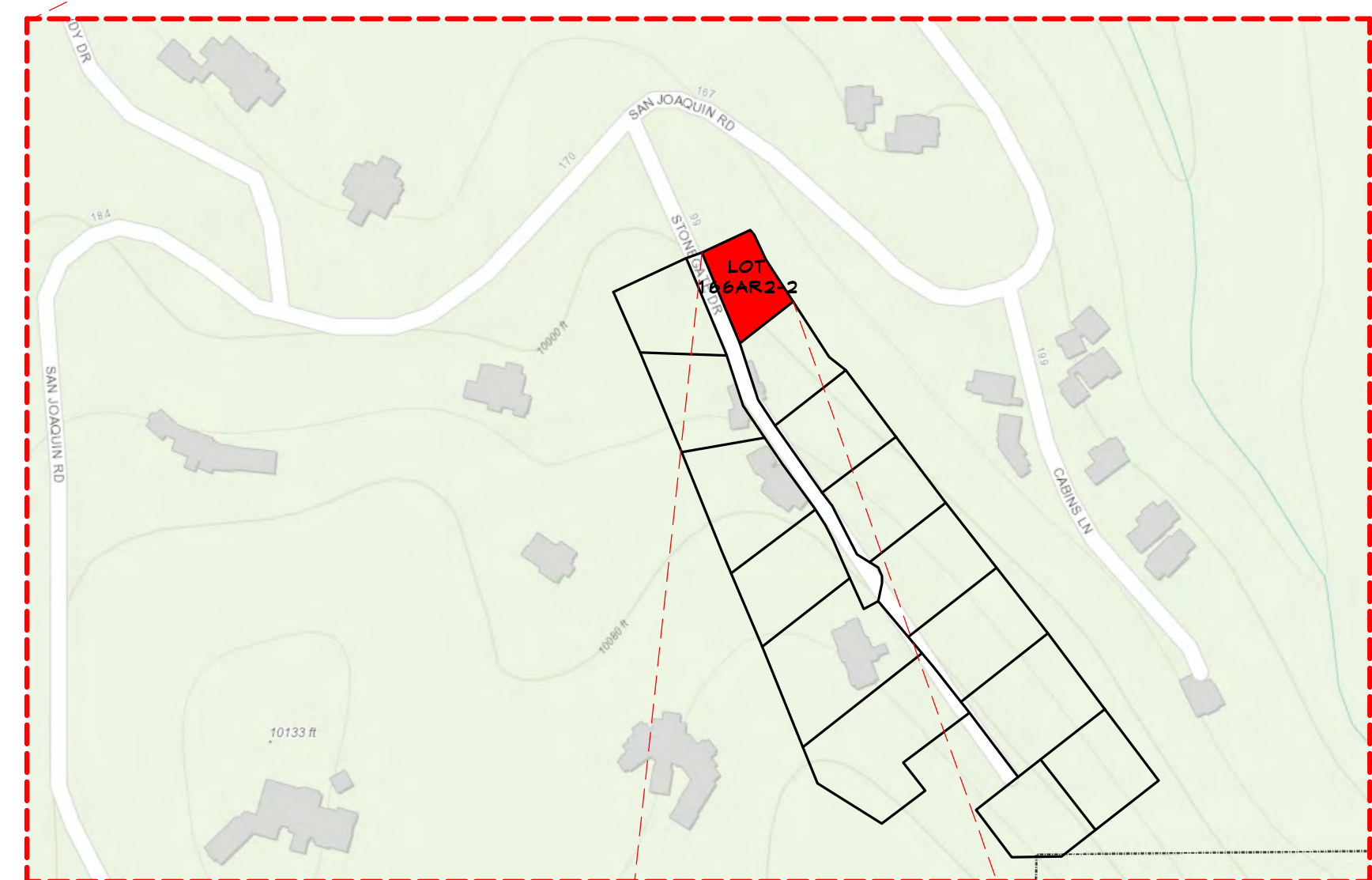


PROJECT SITE

VICINITY MAP

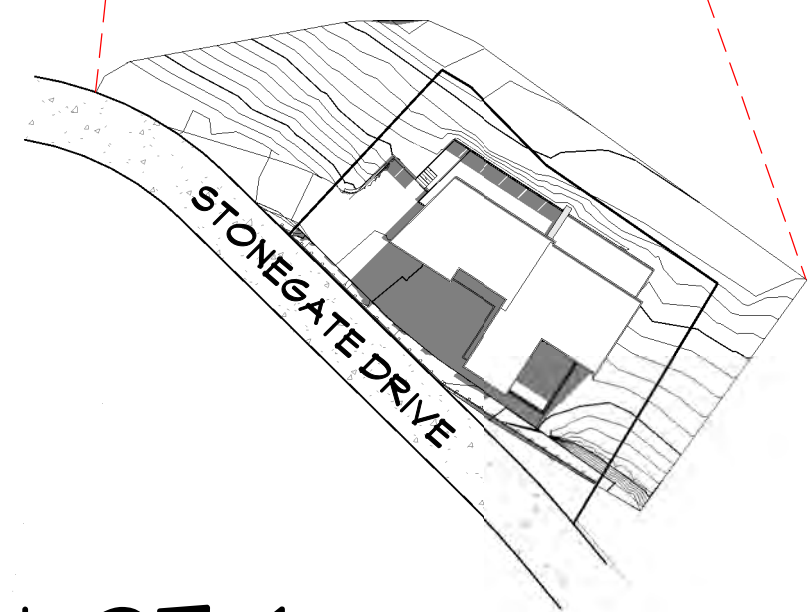


1 1/2" = 1'-0"



PLAT MAP

3/4" = 1'-0"



LOT 1

1" = 60'-0"



PROJECT DIRECTORY

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303.721.9009

LEGAL DESCRIPTION

LOT 166AR2-2, TOWN OF MOUNTAIN VILLAGE, LOCATED WITHIN SECTION 4, T. 42N, R. 9 W, SAN MIGUEL COUNTY, COLORADO

BUILDING ELEVATIONS

LOWER FLOOR SLAB: 4958'-11"
MAIN FLOOR SHEATHING: 4970'-6"
UPPER FLOOR SHEATHING: 4981'-0"
ROOF FRAMING AT PEAK: 4984'-1"
GARAGE SLAB AT DOORS: 4970'-6"

FLOOR AREAS: SQUARE FOOTAGE

FINISHED AREAS: 1195 S.F.
LOWER FLOOR: 4970 S.F.
MAIN FLOOR: 2190 S.F.
UPPER FLOOR: 2058 S.F.
TOTAL FINISHED: 9323 S.F.

UNFINISHED AREAS:
GARAGE: 714 S.F.
DECKS: 1445 S.F.
PATIOS: 381 S.F.

DRAWING SHEET INDEX

A0	SITE PLAN AND PROJECT NOTES
A0.1	TOPOGRAPHIC SURVEY
A0.2	SITE PLAN
A0.3	HEIGHT LIMIT ANALYSIS
A1	LOWER FLOOR PLAN
A2	MAIN FLOOR PLAN
A3	UPPER FLOOR PLAN
A4	ROOF PLAN
A5	ELEVATIONS
A6	MATERIAL CALCULATIONS

GENERAL PROJECT NOTES (2012 IRC)

- ALL CONSTRUCTION TO BE COMPLETED PER GOVERNING CODES BELOW:
2012 INTERNATIONAL RESIDENTIAL CODE (IRC) w/ LOCAL AMENDMENTS
2012 INTERNATIONAL PLUMBING CODE (IPC) w/ LOCAL AMENDMENTS
2012 INTERNATIONAL MECHANICAL CODE (IMC) w/ LOCAL AMENDMENTS
2012 INTERNATIONAL FUEL GAS CODE w/ LOCAL AMENDMENTS
2012 INTERNATIONAL ENERGY CONSERVATION CODE w/ LOCAL AMENDMENTS
2011 NATIONAL ELECTRICAL CODE
- DO NOT SCALE BLUEPRINTS. WRITTEN DIMENSIONS TAKE PRECEDENCE IN ALL CASES.
- ALL EXTERIOR WALLS TO BE 2X6 AT 16" O.C. EXCEPT AS NOTED ON THESE ARCHITECTURAL AND STRUCTURAL PLANS (RE: 2012 IRC, SECTION R602.)
- ALL INTERIOR WALLS TO BE 2X4 AT 16" O.C. EXCEPT AS NOTED ON THESE ARCHITECTURAL AND STRUCTURAL PLANS. (RE: 2012 IRC, SECTION R602.)
- ALL WINDOW SIZES NOTED ON THESE ARCHITECTURAL PLANS ARE GENERIC DIMENSIONS. TO BE READ AS 'FEET - INCHES'. (A WINDOW SIZE OF '11'-6" DENOTES '11'-6" WIDE BY 9'-0" HIGH). CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ARCHITECT IF WINDOW MANUFACTURER'S SPECIFIC WINDOW SIZES DO NOT MATCH THE GENERIC WINDOW DESIGNATIONS ON THESE PLANS.
- ALL GLASS IN HAZARDOUS LOCATIONS AS DEFINED BY THE 2012 IRC, SECTION R308.4, SHALL MEET THE GOVERNING CODE REQUIREMENT FOR SAFETY GLAZING.
- FIREPLACES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH APPLICABLE CODES (2012 IRC, SECTION R100.1) AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL GUARDRAILS SHALL COMPLY WITH THE 2012 IRC, SECTION R312.
- ALL HANDRAILS SHALL COMPLY WITH THE 2012 IRC, SECTION R311.1.8.
- PROVIDE BLOCKING AT ALL CLOSET ROD, SHELF AND BRACKET LOCATIONS AND AT ALL HANDRAILS, SHOWER DOOR AND TUB ENCLOSURE LOCATIONS.
- INSTALL 'DIUROCK' OR EQUIVALENT CONCRETE BACKING BOARD AT SHOWER / TUB ENCLOSURES, SHOWER BENCHES, TUB DECKS AND LOCATIONS TO RECEIVE TILE FINISHES.
- TOP OF ALL SHOWER BENCHES AND LEDGES SHALL BE SLOPED TO DRAIN AT 1/4" PER FOOT MINIMUM.
- SEE STRUCTURAL PLANS FOR ALL STRUCTURAL NOTES, MEMBER SIZES AND DETAILS.
- TRUSS MANUFACTURER IS TO PROVIDE TRUSS LAYOUT AND PROFILES TO THE STRUCTURAL ENGINEER AND ARCHITECT FOR REVIEW. SUCH WORK SHALL BE BASED BOTH ON THE ARCHITECTURAL TRUSS DIAGRAMS AND STRUCTURAL DRAWINGS. DIMENSIONS SHOWN FOR TRUSSES ON THE TRUSS DIAGRAMS ARE TO BE USED AS GENERAL GUIDES AND SHALL BE VERIFIED BY THE TRUSS MANUFACTURER.
- PROVIDE 1-HOUR FIRE PROTECTION AT USEABLE SPACE UNDER STAIRS BY CONSTRUCTING THE WALLS AND UNDERSIDE OF STAIR WITH 5/8" TYPE 'X' GYPSUM WALLBOARD.
- ALL DOORS BETWEEN DWELLING AND GARAGE AREAS MUST MEET THE REQUIREMENTS OF THE 2012 IRC, SECTION R302.5.
- PROVIDE 5/8" TYPE 'X' GYPSUM WALLBOARD AT GARAGE WALLS AND CEILING ADJACENT TO LIVING AREAS. AT GARAGE CEILING, REFER TO THE NATIONAL EVALUATION SERVICE, INC. REPORT NUMBER 'NER-200', SECTION 9.5.2. ALL EXPOSED BEAMS TO BE WRAPPED.

REPORT NUMBER 'NER-200'
FIGURE NO. 8, ASSEMBLY E-2

ENERGY REQUIREMENTS

PER 'RES-CHECK' OR PRESCRIPTIVE PACKAGE AS FOLLOWS FOR ALL NEW CONSTRUCTION:
U-VALUE FOR ALL PENETRATION GLAZING SHALL BE 0.32 (MAX.)
U-VALUE FOR ALL SKYLIGHT GLAZING SHALL BE 0.55 (MAX.)
PROVIDE R-48 (MIN) INSULATION IN ALL EXTERIOR ROOFS
PROVIDE R-20 + 5" OR R-13 + 1" (MIN) INSULATION IN ALL EXTERIOR WALLS
PROVIDE R-30 (MIN) INSULATION IN ALL FLOORS OVER UNHEATED SPACES & CANTILEVERS
PROVIDE R-10 (MIN) SLAB INSULATION FOR A DEPTH OF 4'-0"
PROVIDE R-15/14" (MIN) INSULATION FOR ALL GRAVEL SPACE WALLS
PROVIDE R-15/14" (MIN) INSULATION FOR ALL UNFINISHED BASEMENT FOUNDATION WALLS
*FIRST VALUE IS CAVITY INSULATION, SECOND IS CONTINUOUS INSULATION.
*R-15/14 DENOTES R-15 CONTINUOUS OR R-14 CAVITY INSULATION, PER 2012 IECC
IN ADDITION TO THE ABOVE INSULATION AND GLAZING STANDARDS, THE CONSTRUCTION OF THIS HOUSE MUST CONFORM TO ALL OTHER PROVISIONS OF THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE.

PROJECT DATA

LOT INFO		
LOT NAME	LOT 166AR2-2	
ZONING	SINGLE FAMILY RESIDENTIAL	
LOT SIZE	100% = .206 ACRES = 8,985 SF	
MAX LOT COVERAGE	40% = .083 ACRES = 3,594 SF	
LOT COVERAGE	94% = .080 ACRES = 3,480 SF	
BUILDING INFO		
DESCRIPTION	2.0 STORY w/ WALKOUT BASEMENT	
BUILDING HEIGHT	ALLOWED*	ACTUAL
MAXIMUM	35'	34'-10" +/-
AVERAGE	30'	20'-9" +/-
LOT SPECIFIC COVENANT RESTRICTIONS*		
PARKING SPACES		
ENCLOSED	REQUIRED	ACTUAL
SURFACE	2	2

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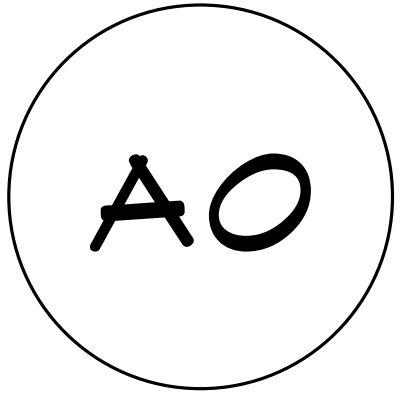


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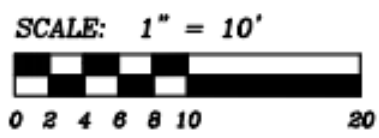
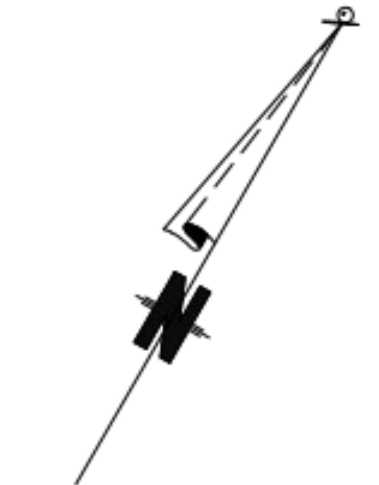
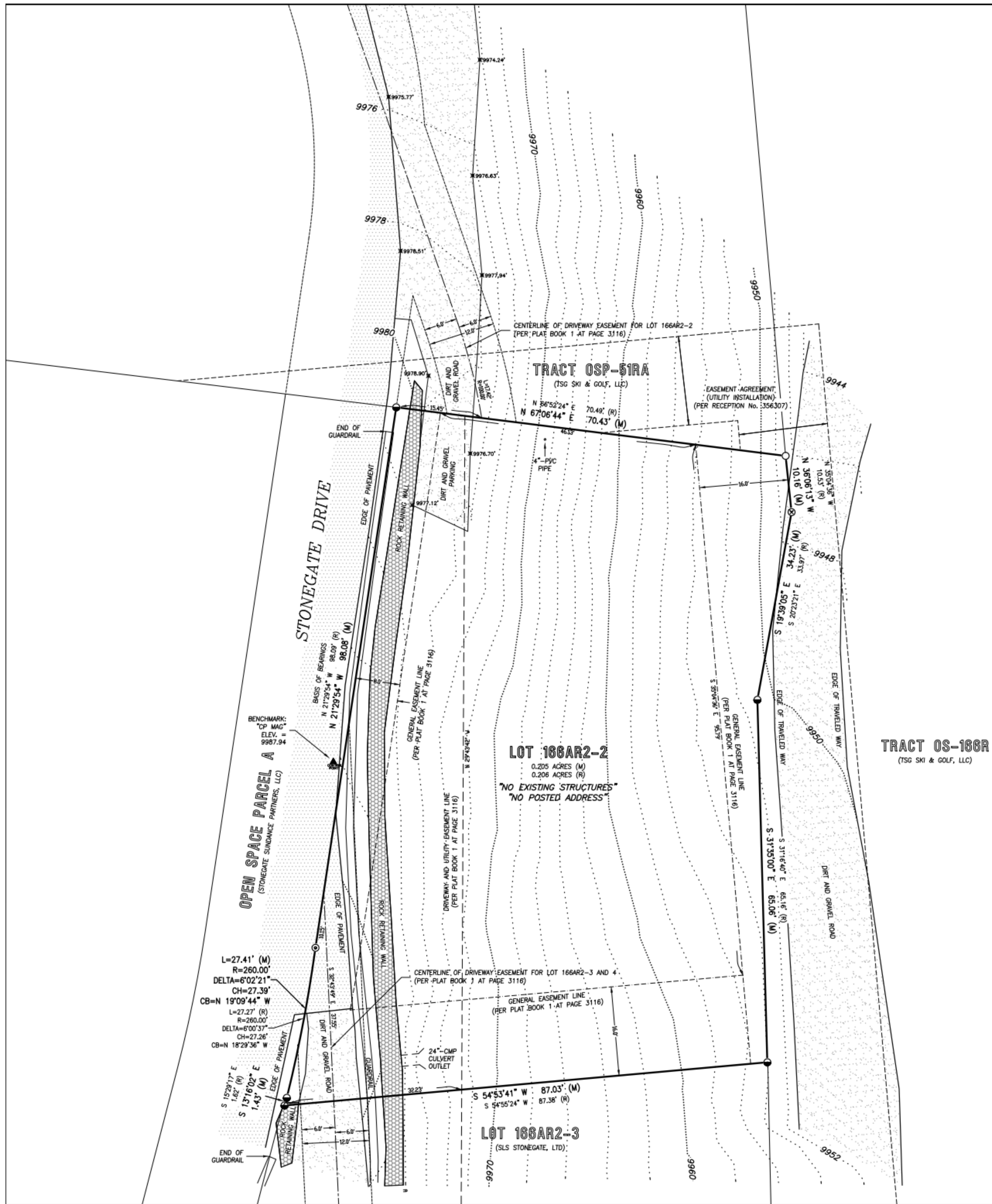
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CUSTOM RESIDENCE
ONE STONEGATE DRIVE
PROJECT ADDRESS
COUNTY, STATE

Issue: 7-23-21
drawn by: NM
revision #: revision set
11 - IN PROGRESS SET
8-20-21
NOT FOR CONSTRUCTION



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LEGEND

- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 36577
- ⊙ FOUND 3/4" BRASS TAG, L.S. 36577
- ⊗ FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, ILLEGIBLE
- FOUND 5/8" REBAR, NO CAP
- ⊕ 9977.84' SPOT ELEVATION (TYPICAL)
- (M) MEASURED DIMENSIONS ACCORDING TO THIS SURVEY
- (R) RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 3116

SURVEYOR'S STATEMENT:
 This Topographic Survey of Lot 166AR2-2, Telluride Mountain Village, was field surveyed on August 27, 2020 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It is not an Improvement Survey Plat, Improvement Location Certificate, or any other Land Survey as defined by Colorado State Statute.

Jeffrey C. Haskell L.S. 37662

PROPERTY DESCRIPTION:
 LOT 166AR2-2, TELLURIDE MOUNTAIN VILLAGE, ACCORDING TO THE REPLAT OF LOT 166-AR, OSP-51 AND OS-166 TO LOTS 166AR2-1 THRU 166AR2-15, PARCEL A, OSP-51A, OSP-51RB AND OS-166R RECORDED APRIL 4, 2003 IN PLAT BOOK 1 AT PAGE 3116.
 COUNTY OF SAN MIGUEL, STATE OF COLORADO.

- NOTES:**
- Easement research and property description from Land Title Guarantee Company, Order Number TLR66010377, dated August 12, 2020 at 5:00 P.M.
 - According to FEMA Flood Insurance Rate Map 080166, Panel Number 0287 D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
 - Benchmark: Control point "CP MAG", as shown hereon, with an assumed elevation of 9987.94 feet.
 - Contour interval is two feet.
 - NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

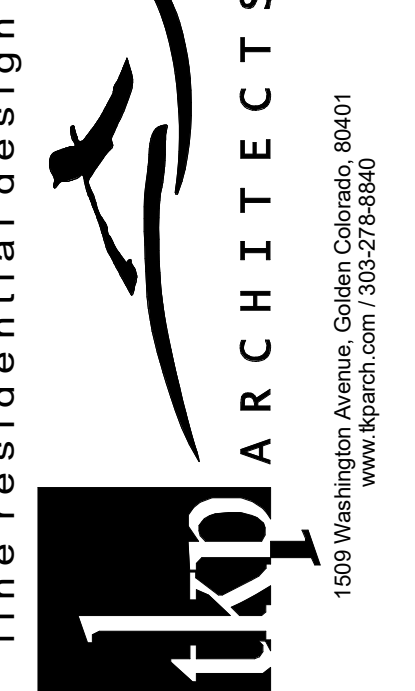
TOPOGRAPHIC SURVEY
 Lot 166AR2-2, Town of Mountain Village,
 located within the SE 1/4 of Section 3, T.42N, R.9W, N.M.P.M., County of San Miguel, State of Colorado.

Project Mgr:	JH	Rev.	description	date	by
Technician:	FD				
Checked by:	DC				
Start date:	08 / 2020				



970-728-6153 970-728-6050 fax
 P.O. BOX 1385
 125 W. PACIFIC, SUITE B-1
 TELLURIDE, COLORADO 81435

Drawing path: dwg\09026 Topo 10-20.dwg Sheet 1 of 1 Project #: 09026



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CUSTOM RESIDENCE
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PROJECT ADDRESS
COUNTY, STATE

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 drawn by: NM
 revision #: revision date

AO.1

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LEGAL DESCRIPTION
 LOT 166AR2-2, TOWN OF MOUNTAIN VILLAGE, LOCATED WITHIN SECTION 4, T. 42 N., R. 9 W., SAN MIGUEL COUNTY, COLORADO

FLOOR AREAS

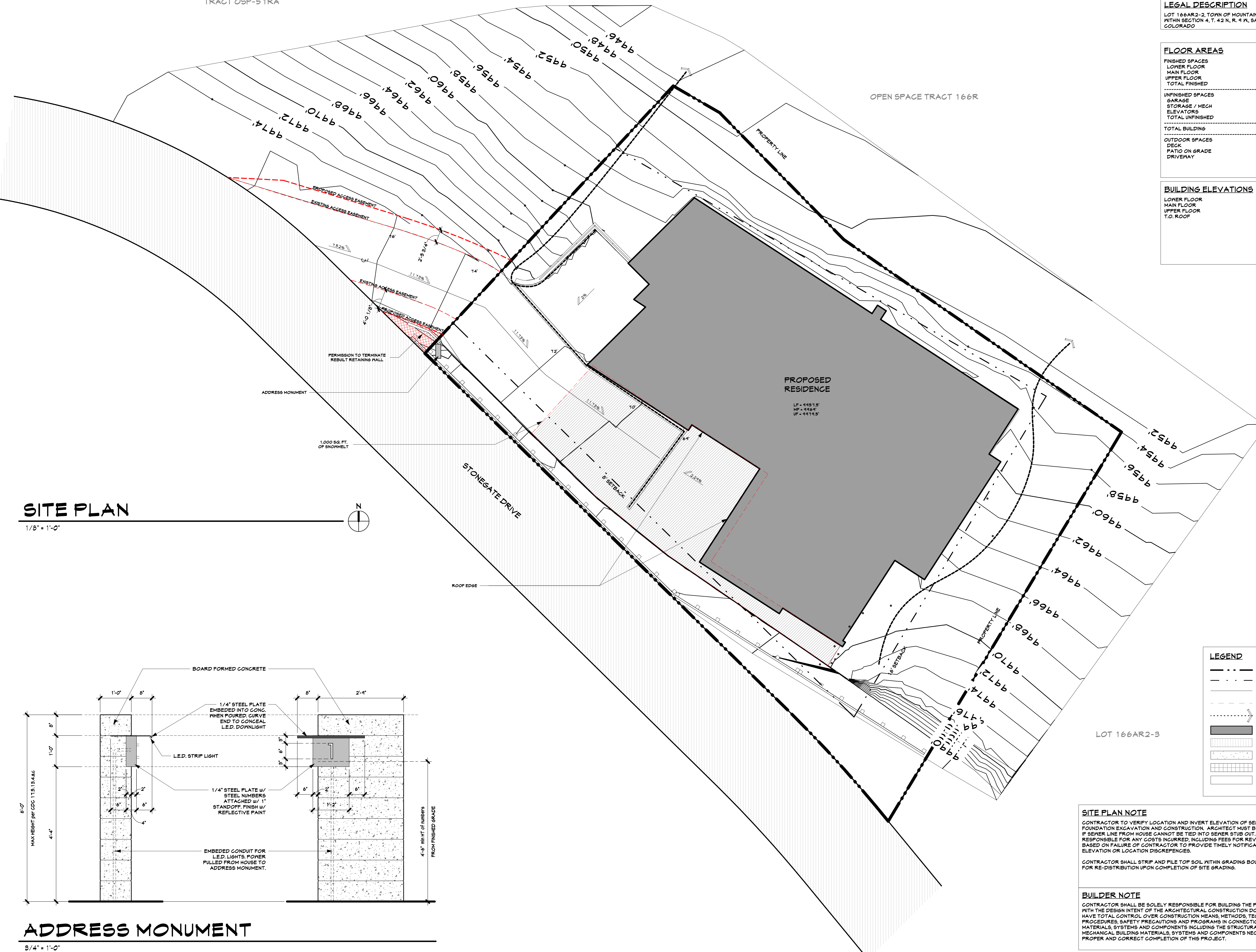
FINISHED SPACES	AREA SF.
LOWER FLOOR	1,150
MAIN FLOOR	2,212
UPPER FLOOR	1,445
TOTAL FINISHED	5,331

UNFINISHED SPACES	561
GARAGE	114
STORAGE / MECH	102
ELEVATORS	102
TOTAL UNFINISHED	887
TOTAL BUILDING	6,244

OUTDOOR SPACES	1,378
DECK	107
PATIO ON GRADE	107
DRIVEMAY	~/- 1,574

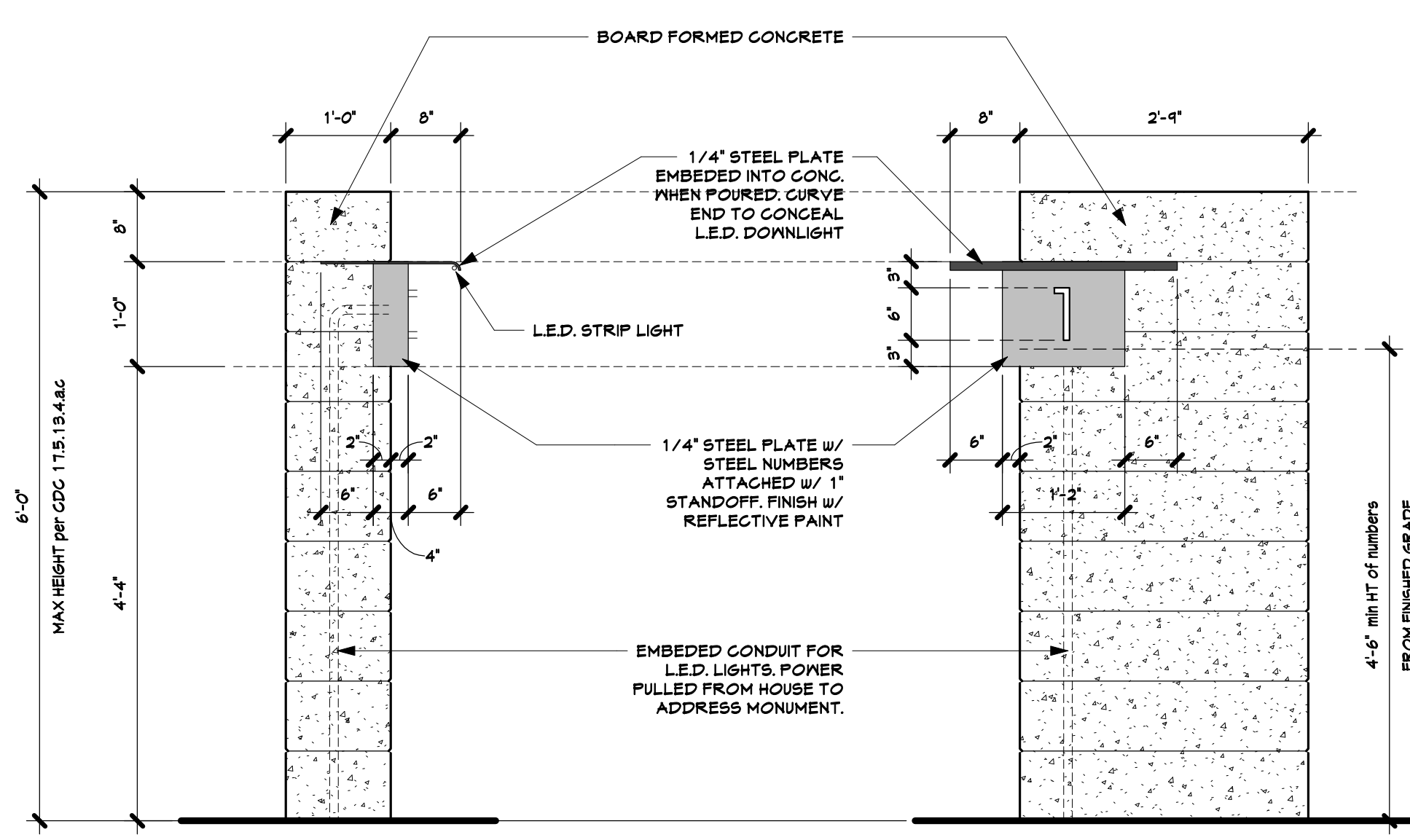
BUILDING ELEVATIONS

LOWER FLOOR	4958'-1"
MAIN FLOOR	4970'-6"
UPPER FLOOR	4981'-0"
T.O. ROOF	4984'-1"



SITE PLAN

1/8" = 1'-0"



ADDRESS MONUMENT

3/4" = 1'-0"

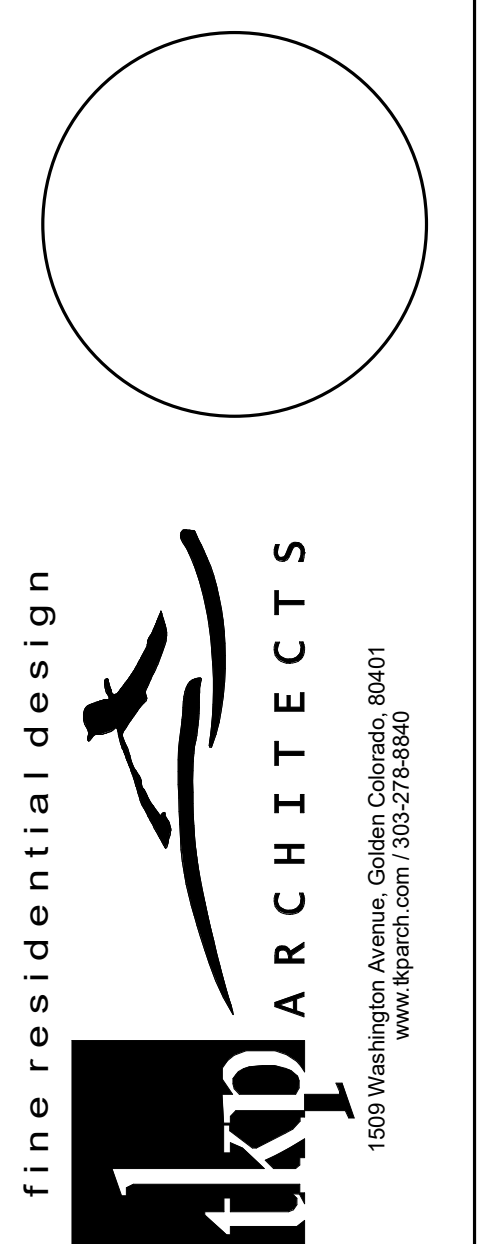
LEGEND

---	PROPERTY LINE
- - -	SETBACK/EASEMENT
---	NEW OR UNCHANGED CONTOUR
- - -	EXISTING CONTOUR TO BE RE-GRADED
---	DRAINAGE SWALE
█	NEW STRUCTURE
▨	EXISTING ROAD
▤	NEW ROAD
▥	PATIO ON GRADE
▧	PLANTING & LANDSCAPE

SITE PLAN NOTE
 CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION OF SEWER STUB-OUT BEFORE FOUNDATION EXCAVATION AND CONSTRUCTION. ARCHITECT MUST BE NOTIFIED IMMEDIATELY IF SEWER LINE FROM HOUSE CANNOT BE TIED INTO SEWER STUB OUT. ARCHITECT IS NOT RESPONSIBLE FOR ANY COSTS INCURRED, INCLUDING FEES FOR REVISIONS TO SITE PLAN, BASED ON FAILURE OF CONTRACTOR TO PROVIDE TIMELY NOTIFICATION OF SEWER ELEVATION OR LOCATION DISCREPANCIES.

CONTRACTOR SHALL STRIP AND FILL TOP SOIL WITHIN GRADING BOUNDARIES FOR RE-DISTRIBUTION UPON COMPLETION OF SITE GRADING.

BUILDER NOTE
 CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR BUILDING THE PROJECT IN ACCORDANCE WITH THE DESIGN INTENT OF THE ARCHITECTURAL CONSTRUCTION DOCUMENTS, AND SHALL HAVE TOTAL CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH ALL BUILDING MATERIALS, SYSTEMS AND COMPONENTS INCLUDING THE STRUCTURAL, ELECTRICAL AND MECHANICAL BUILDING MATERIALS, SYSTEMS AND COMPONENTS NECESSARY FOR THE SAFE, PROPER AND CORRECT COMPLETION OF THIS PROJECT.

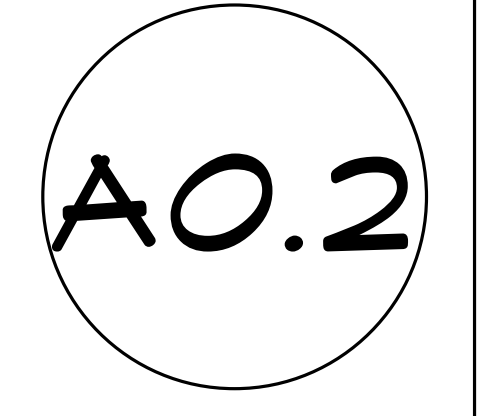


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CUSTOM RESIDENCE
 ONE STONEGATE DRIVE
 PROJECT ADDRESS
 COUNTY, STATE

Issue: 7-23-21
 drawn by: NM
 revision # revision date

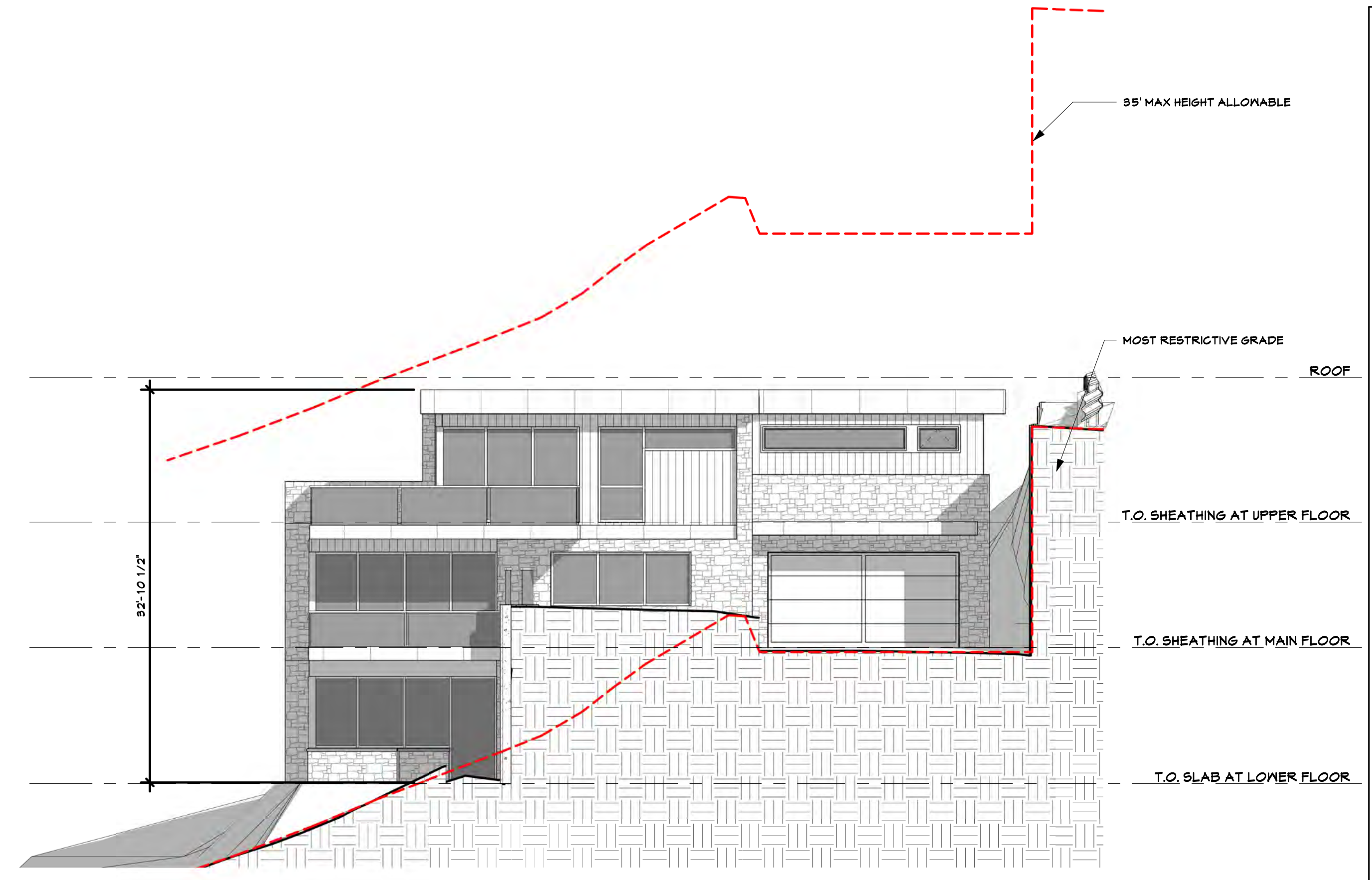
#1 - NM	8-20-21
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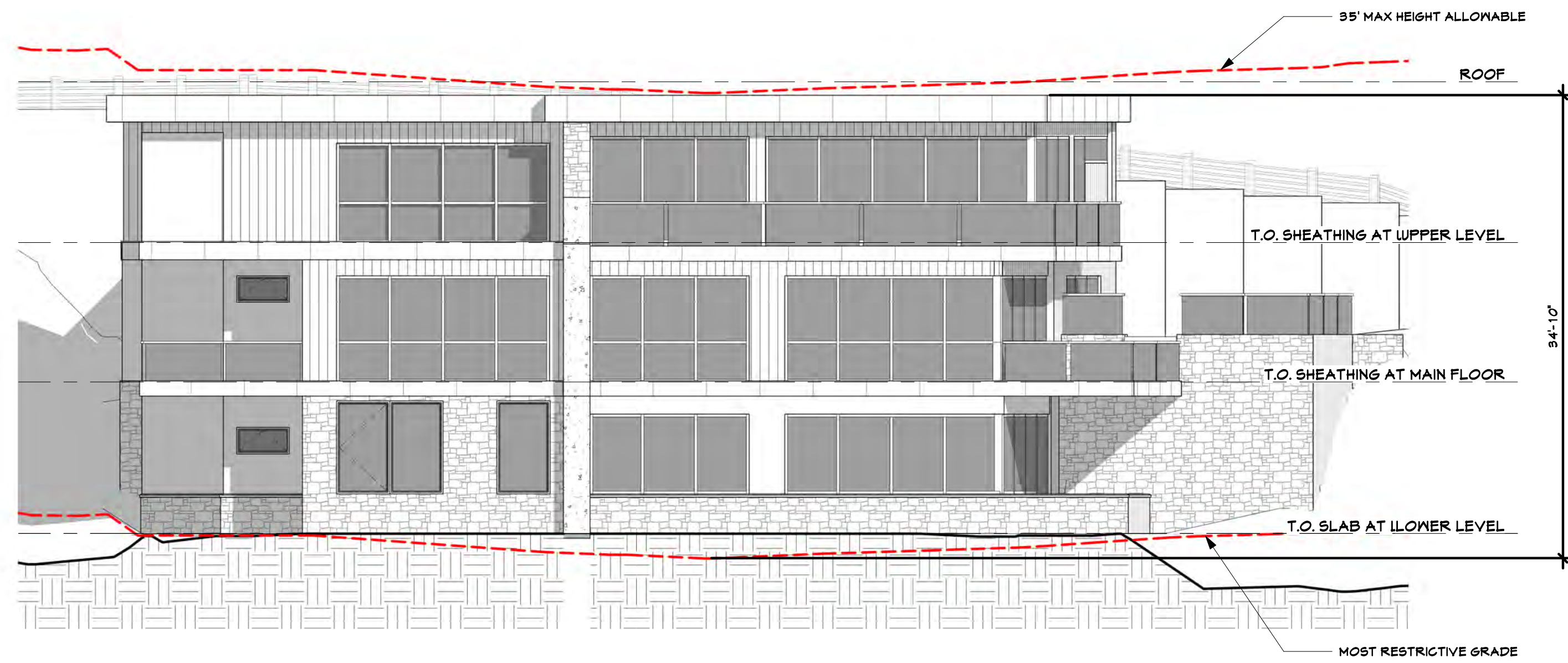
PARALELL PLANE ANALYSIS - SOUTHWEST

1/8" = 1'-0"



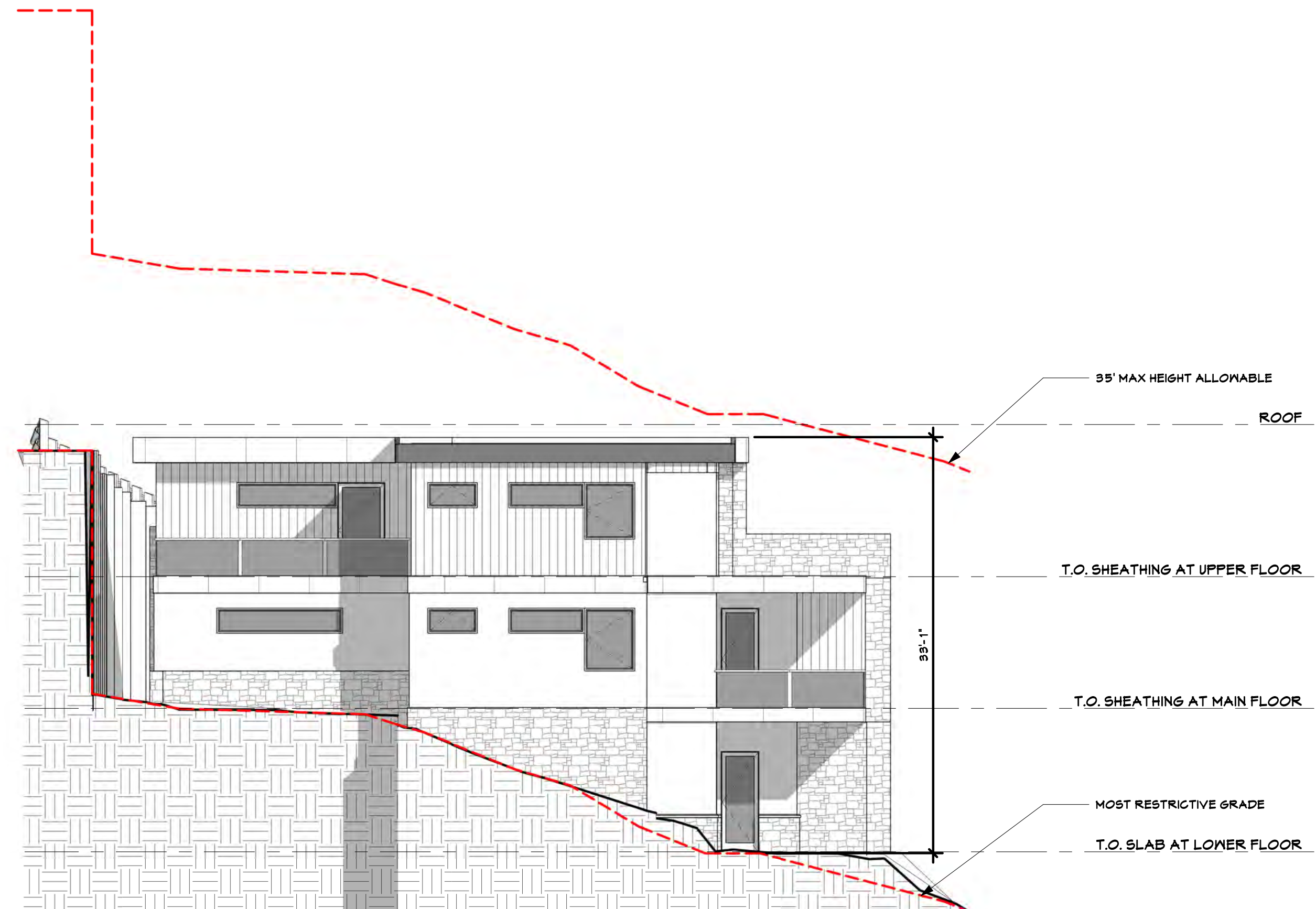
PARALELL PLANE ANALYSIS - NORTHWEST

1/8" = 1'-0"



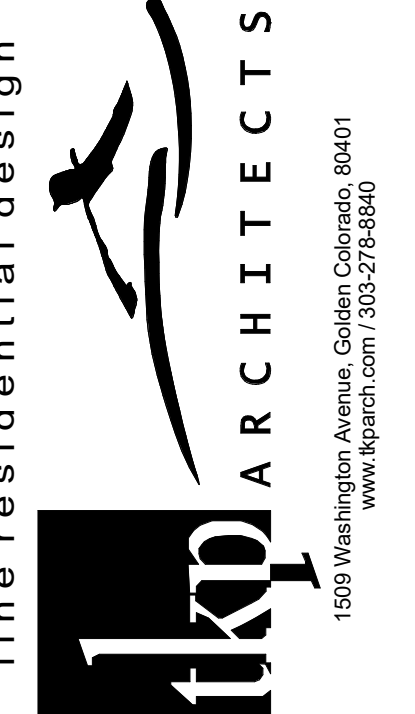
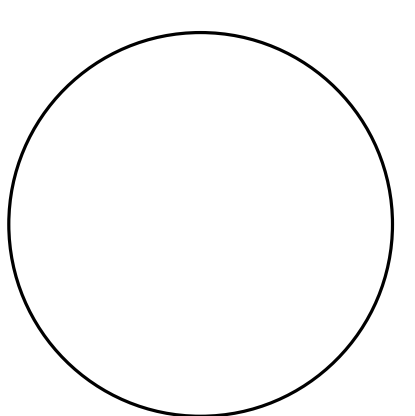
PARALLEL PLANE ANALYSIS - NORTHEAST

1/8" = 1'-0"



PARALELL PLANE ANALYSIS - SOUTHEAST

1/8" = 1'-0"

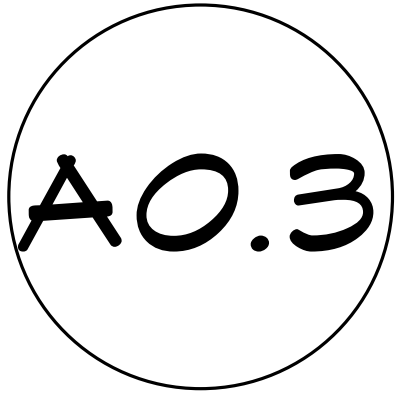


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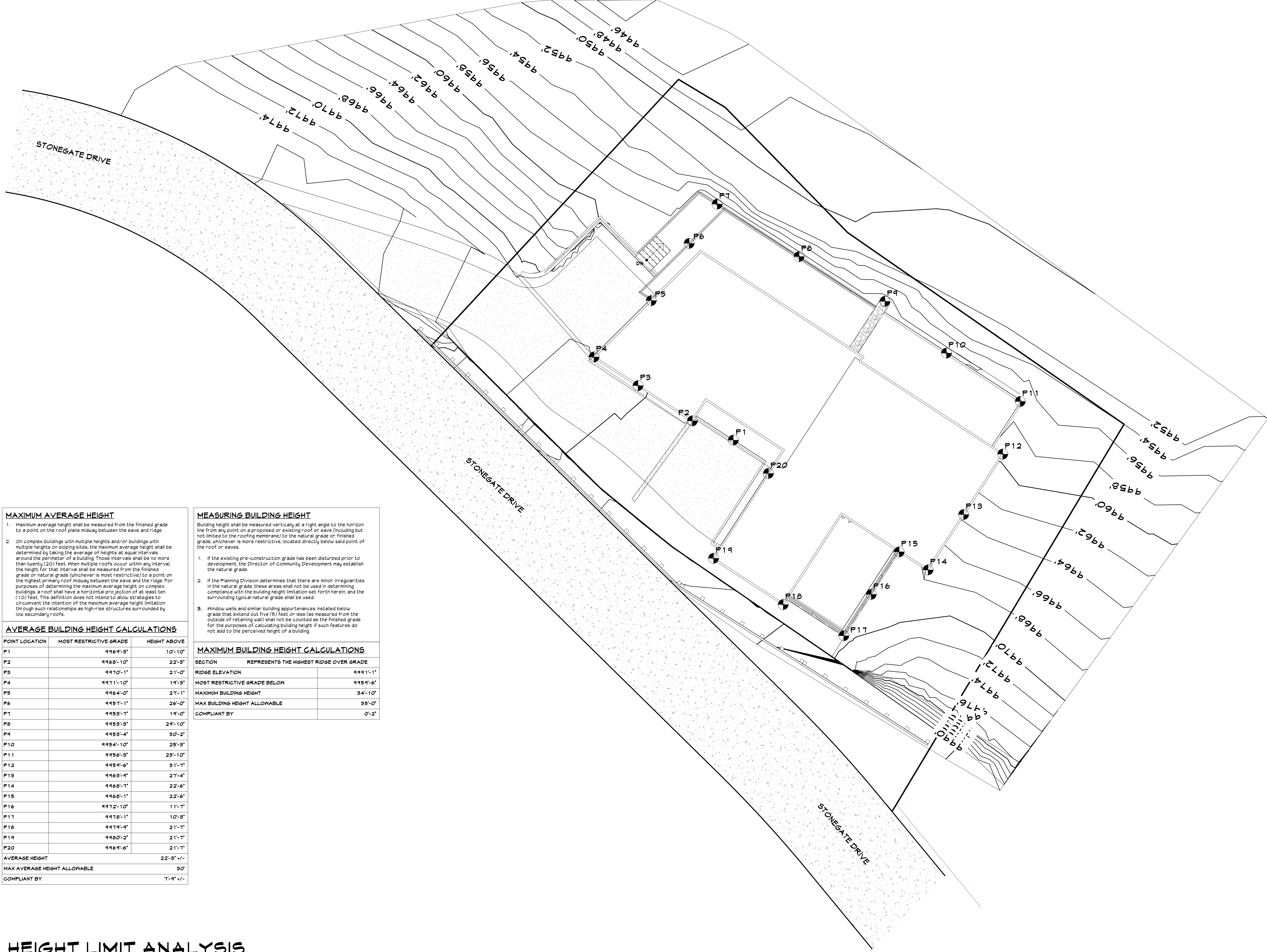
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CUSTOM RESIDENCE
ONE STONEGATE DRIVE
PROJECT ADDRESS
COUNTY, STATE

Issue:	7-23-21
drawn by:	NM
revision #	revision date
#1 - NM	8-20-21



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MAXIMUM AVERAGE HEIGHT

- Maximum average height shall be measured from the finished grade to a point on the roof plane midway between the eave and ridge.
- On complex buildings with multiple heights and/or buildings with multiple heights on sloping sites, the maximum average height shall be determined by taking the average of heights at equal intervals around the perimeter of a building. Those intervals shall be no more than twenty (20) feet. When multiple roofs occur within any interval, the height for that interval shall be measured from the finished grade or natural grade (whichever is most restrictive) to a point on the highest primary roof midway between the eave and the ridge. For purposes of determining the maximum average height on complex buildings, a roof shall have a horizontal projection of at least ten (10) feet. This definition does not intend to allow strategies to circumvent the intention of the maximum average height limitation through such relationships as high-rise structures surrounded by low secondary roofs.

MEASURING BUILDING HEIGHT

- Building height shall be measured vertically at a right angle to the horizon line from any point on a proposed or existing roof or eave (including but not limited to the roofing membrane) to the natural grade or finished grade, whichever is more restrictive, located directly below said point of the roof or eave.
- If the existing pre-construction grade has been disturbed prior to development, the Director of Community Development may establish the natural grade.
 - If the Planning Division determines that there are minor irregularities in the natural grade, these areas shall not be used in determining compliance with the building height limitation set forth herein, and the surrounding typical natural grade shall be used.
 - Window wells and similar building appurtenances installed below grade that extend out five (5) feet or less (as measured from the outside of retaining wall) shall not be counted as the finished grade for the purposes of calculating building height; if such features do not add to the perceived height of a building.

AVERAGE BUILDING HEIGHT CALCULATIONS

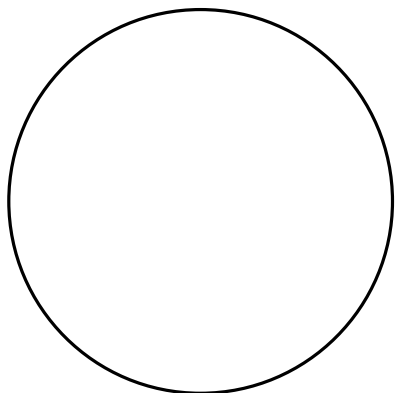
POINT LOCATION	MOST RESTRICTIVE GRADE	HEIGHT ABOVE
P1	9969'-9"	10'-10"
P2	9968'-10"	22'-9"
P3	9970'-1"	21'-0"
P4	9971'-10"	14'-9"
P5	9964'-0"	27'-1"
P6	9957'-1"	26'-0"
P7	9959'-7"	14'-0"
P8	9959'-9"	24'-10"
P9	9959'-4"	30'-2"
P10	9954'-10"	25'-9"
P11	9956'-9"	29'-10"
P12	9959'-6"	31'-7"
P13	9969'-9"	27'-4"
P14	9968'-7"	22'-6"
P15	9968'-1"	22'-6"
P16	9972'-10"	11'-7"
P17	9970'-1"	10'-9"
P18	9979'-9"	21'-7"
P19	9980'-2"	21'-7"
P20	9969'-6"	21'-7"
AVERAGE HEIGHT		22'-9" +/-
MAX AVERAGE HEIGHT ALLOWABLE		30'
COMPLIANT BY		7'-9" +/-

MAXIMUM BUILDING HEIGHT CALCULATIONS

SECTION	REPRESENTS THE HIGHEST RIDGE OVER GRADE
RIDGE ELEVATION	9991'-1"
MOST RESTRICTIVE GRADE BELOW	9959'-6"
MAXIMUM BUILDING HEIGHT	34'-10"
MAX BUILDING HEIGHT ALLOWABLE	35'-0"
COMPLIANT BY	0'-2"

HEIGHT LIMIT ANALYSIS

1/8" = 1'-0"

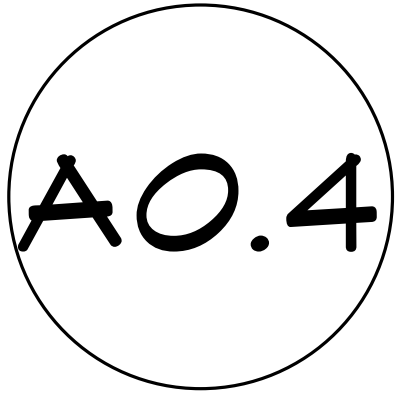


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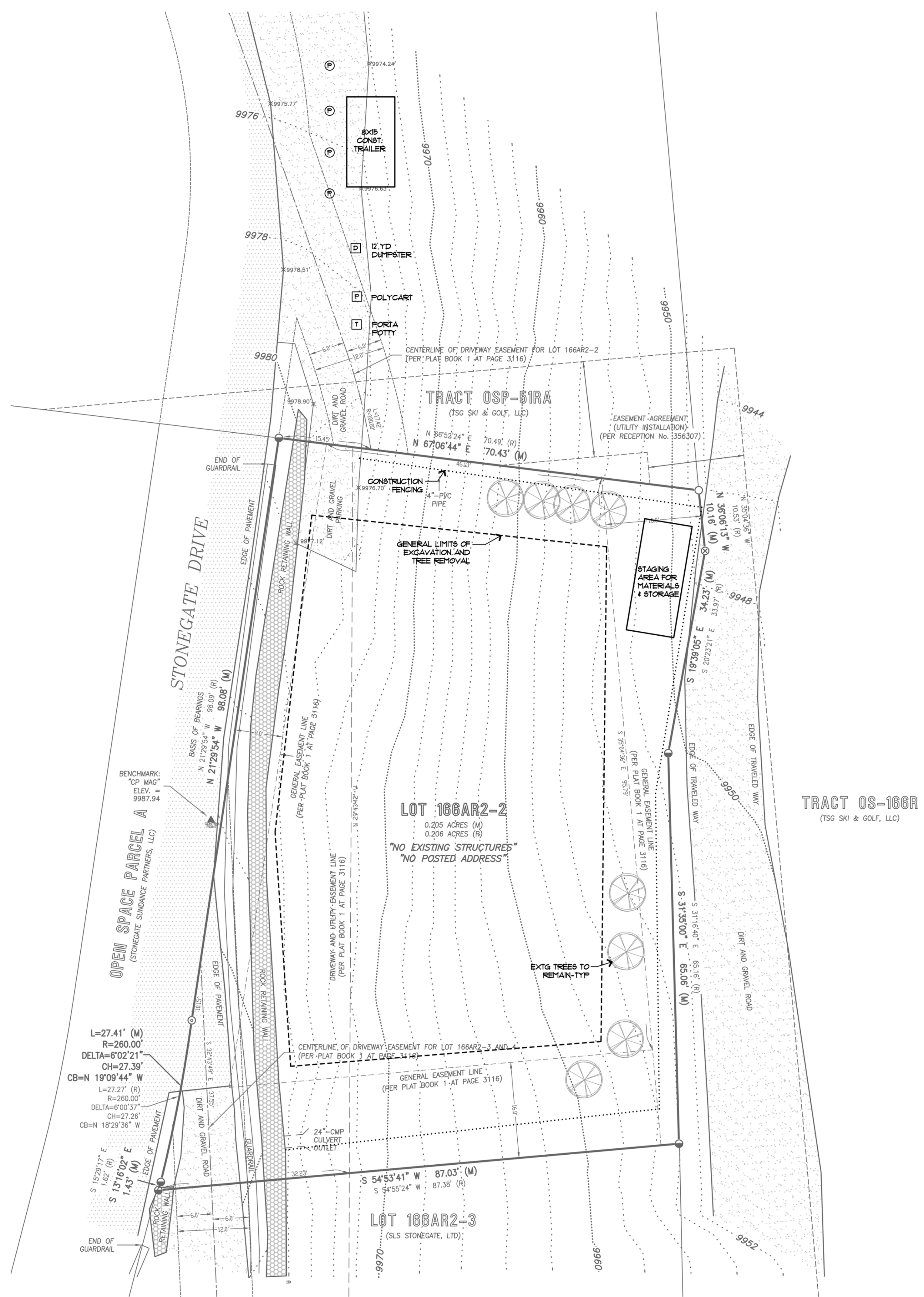
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ONE STONEGATE DRIVE
PROJECT ADDRESS
COUNTY, STATE

Issue:	7-23-21
drawn by:	NM
revision #	revision date
#1 - NM	8-20-21



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CONSTRUCTION MITIGATION SITE MAP

SCALE: 1" = 10'-0"

L=27.41' (M)
R=260.00'
DELTA=6°02'21"
CH=27.39'
CB=N 19°09'44" W
L=27.27' (R)
R=260.00'
DELTA=6°00'37"
CH=27.26'
CB=N 18°29'36" W

LOT 166AR2-3
(SLS STONEGATE, LTD.)

LOT 166AR2-2
0.205 ACRES (M)
0.206 ACRES (R)

"NO EXISTING STRUCTURES"
"NO POSTED ADDRESS"

TRACT OS-166R
(TSG SKI & GOLF, LLC)

TRACT OSP-51RA
(TSG SKI & GOLF, LLC)

STAGING AREA FOR MATERIALS & STORAGE

CONSTRUCTION FENCING

GENERAL LIMITS OF EXCAVATION AND TREE REMOVAL

EXT'G TREES TO REMAIN-TYP

BENCHMARK:
"CP MAG"
ELEV. = 9987.94

STONEGATE DRIVE

OPEN SPACE PARCEL A
(STONEGATE SUNSHINE PARTNERS, LLC)

Issue:	7-23-21
Drawn by:	JC
Revision #	revision date

#1 - JC 8-20-21

A0.5

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PROJECT ADDRESS
COUNTY, STATE

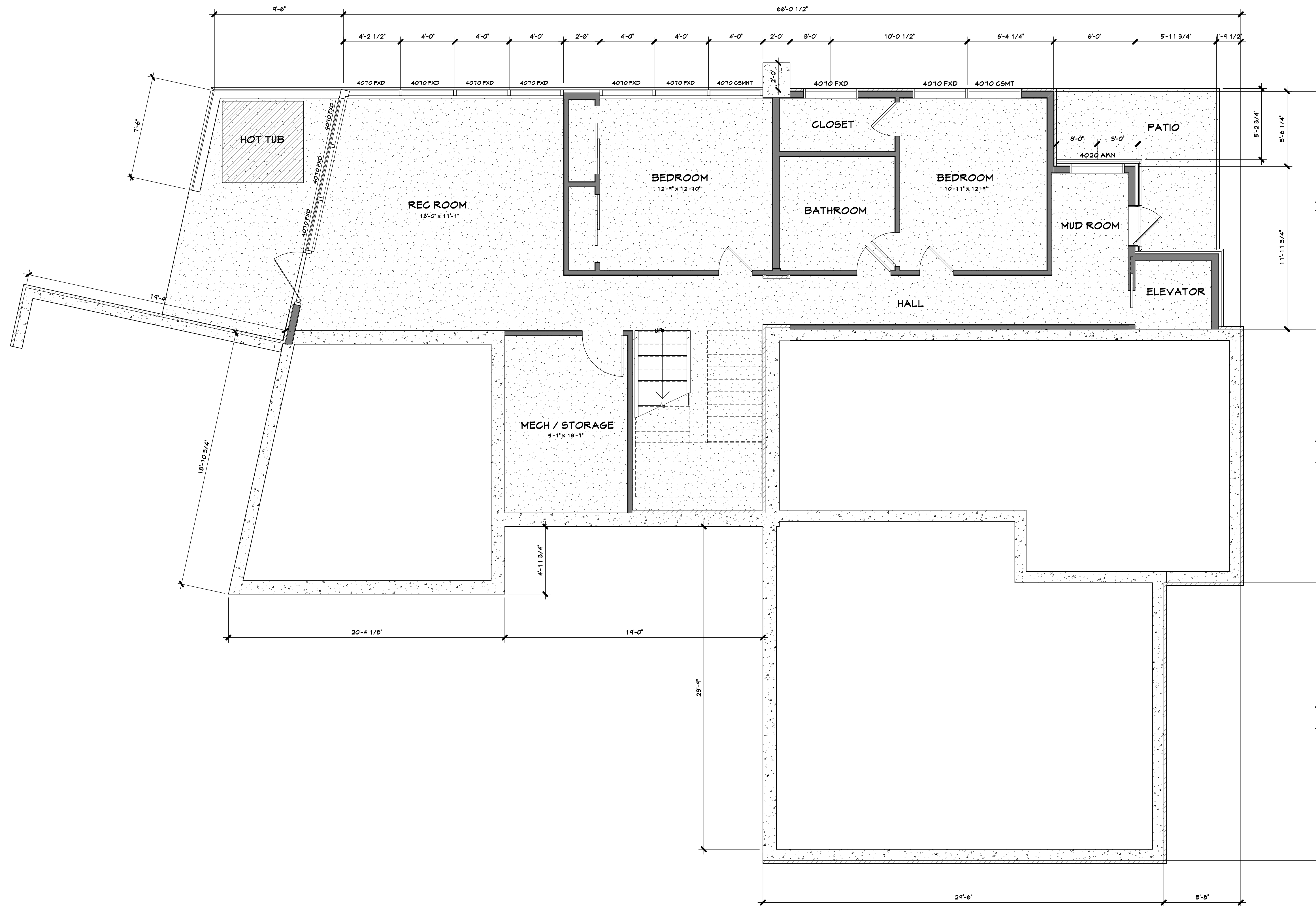
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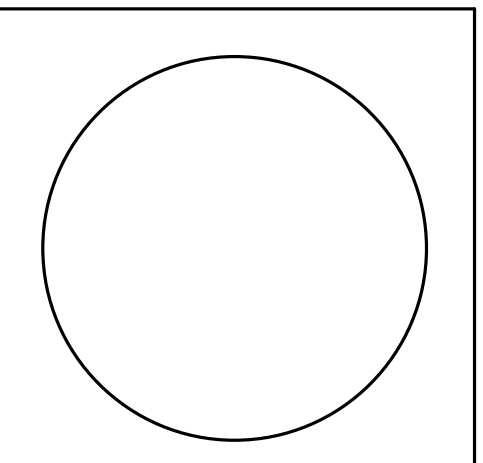
LOWER FLOOR PLAN

1/4" = 1'-0"



LEGEND

- NEW CONCRETE WALL
- NEW FRAME WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING ELEMENT TO BE DEMOLISHED

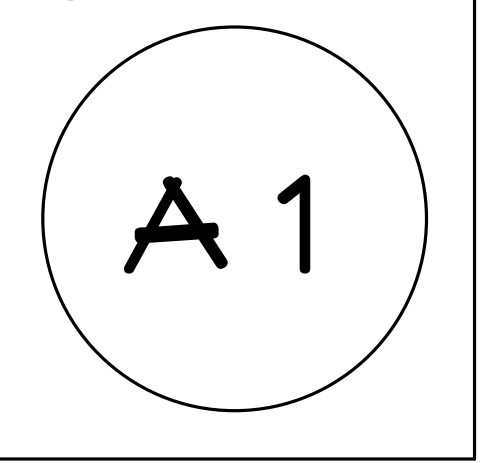


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CUSTOM RESIDENCE
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 PROJECT ADDRESS
 COUNTY, STATE

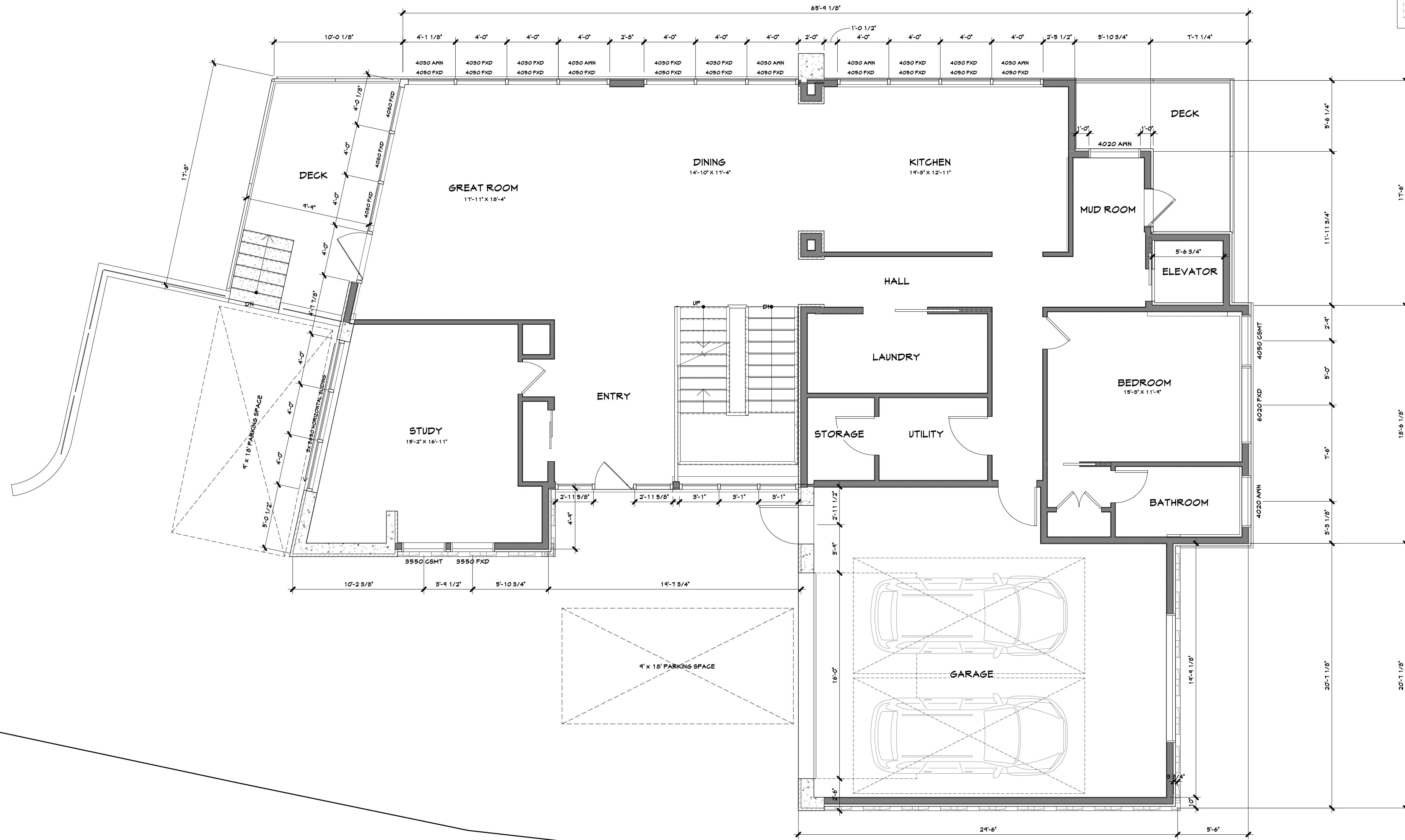
Issue: 7-23-21
 drawn by: NM
 revision # revision date
PROGRESS SET
NOT FOR CONSTRUCTION



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MAIN FLOOR PLAN

1/4" = 1'-0"



LEGEND

- NEW CONCRETE WALL
- NEW FRAME WALL
- EXISTING MALL TO REMAIN
- EXISTING MALL TO BE DEMOLISHED
- EXISTING ELEMENT TO BE DEMOLISHED

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CUSTOM RESIDENCE
ONE STONEGATE DRIVE
PROJECT ADDRESS
COUNTY, STATE

Issue: 7-23-21
drawn by: NM
revision # revision date

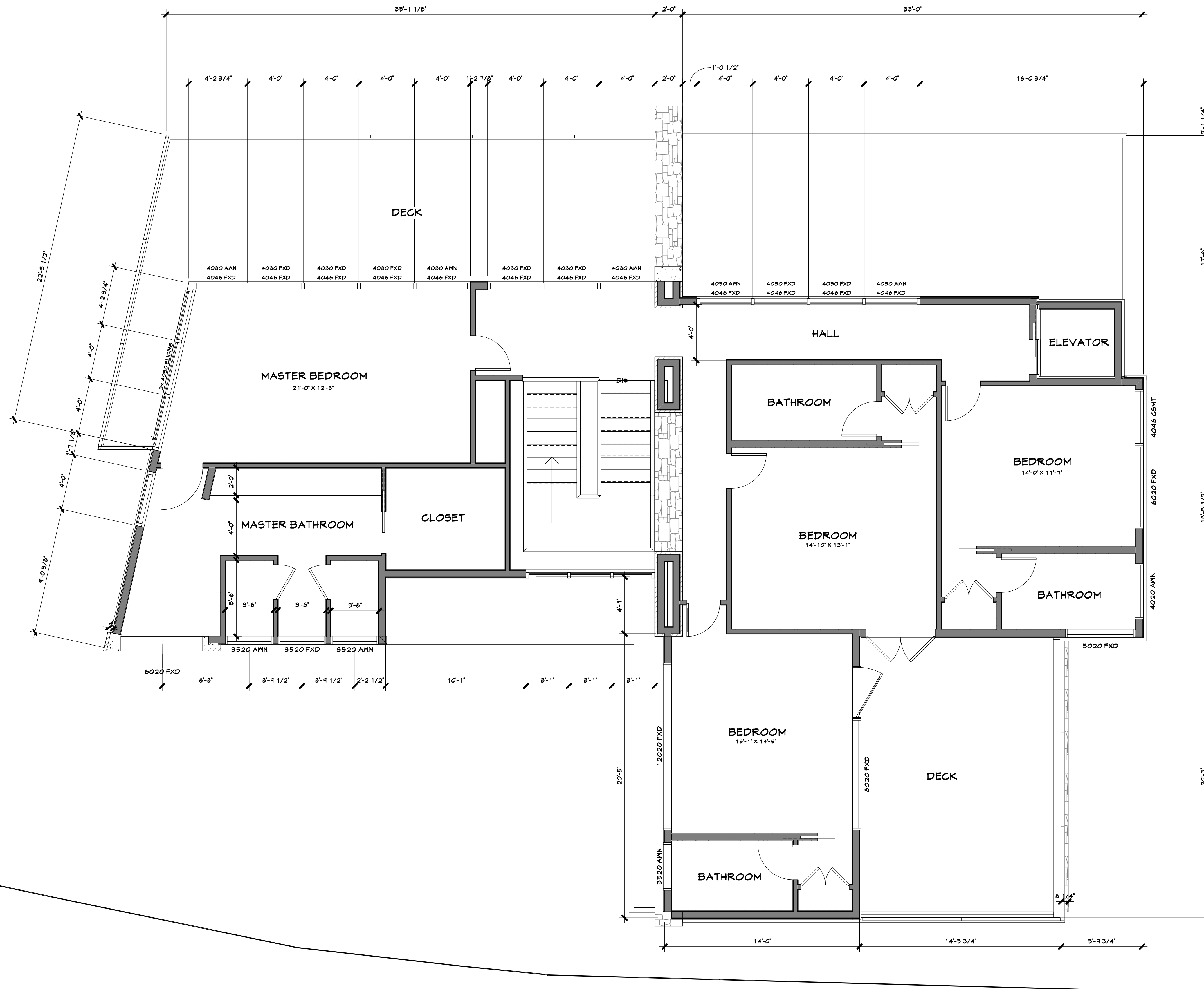
PROGRESS SET
NOT FOR
CONSTRUCTION

A2

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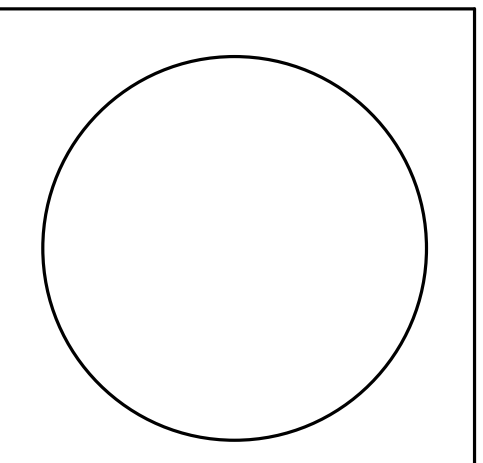
UPPER FLOOR PLAN

1/4" = 1'-0"



LEGEND

- NEW CONCRETE WALL
- NEW FRAME WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING ELEMENT TO BE DEMOLISHED



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T&P ARCHITECTS

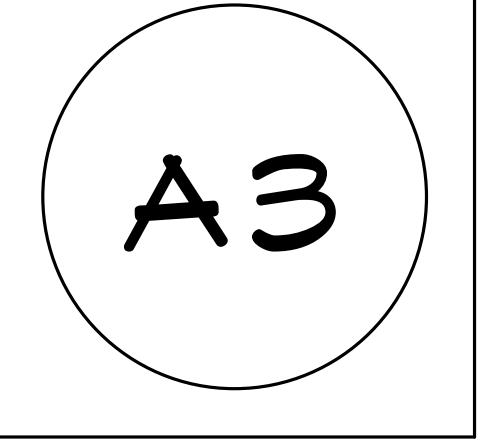
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Issue: 7-23-21
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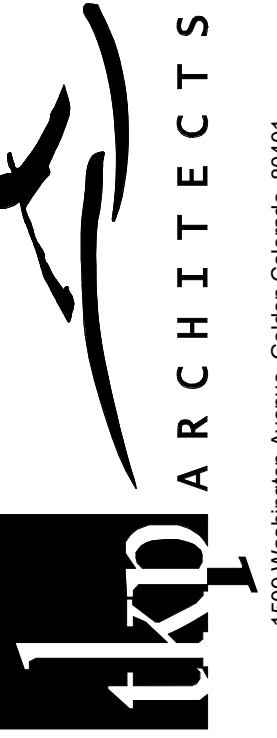
r 0 0
b



ROOF PLAN

1/4" = 1'-0"

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PROJECT ADDRESS
COUNTY, STATE

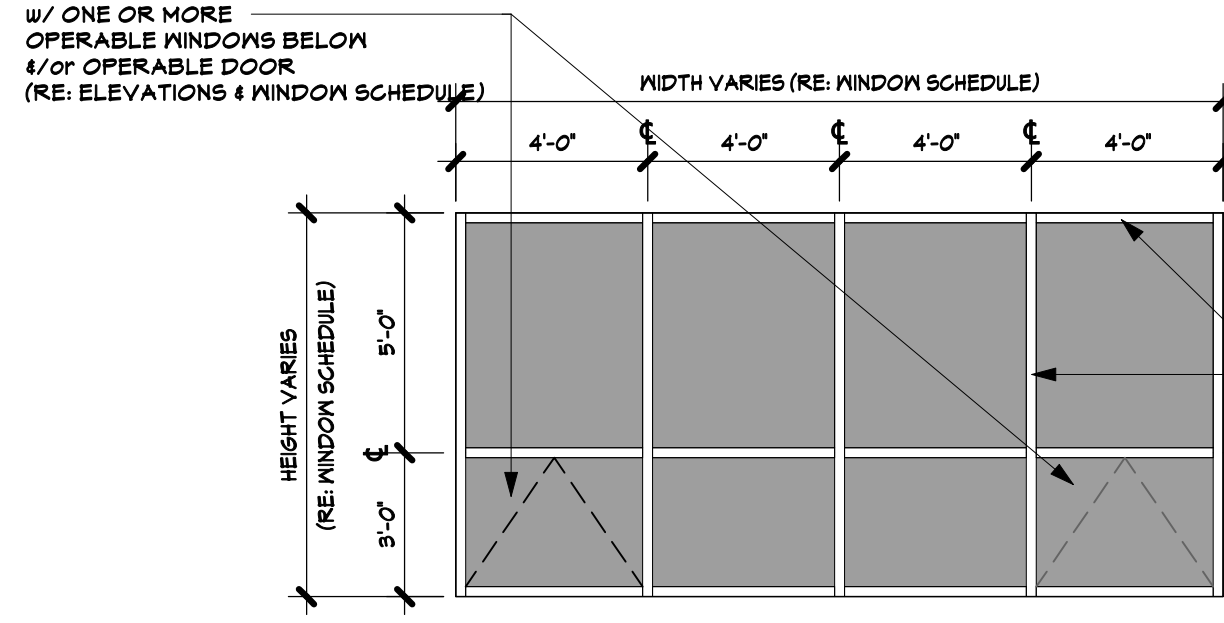
Issue: 7-23-21
 drawn by: NM
 revision # revision date

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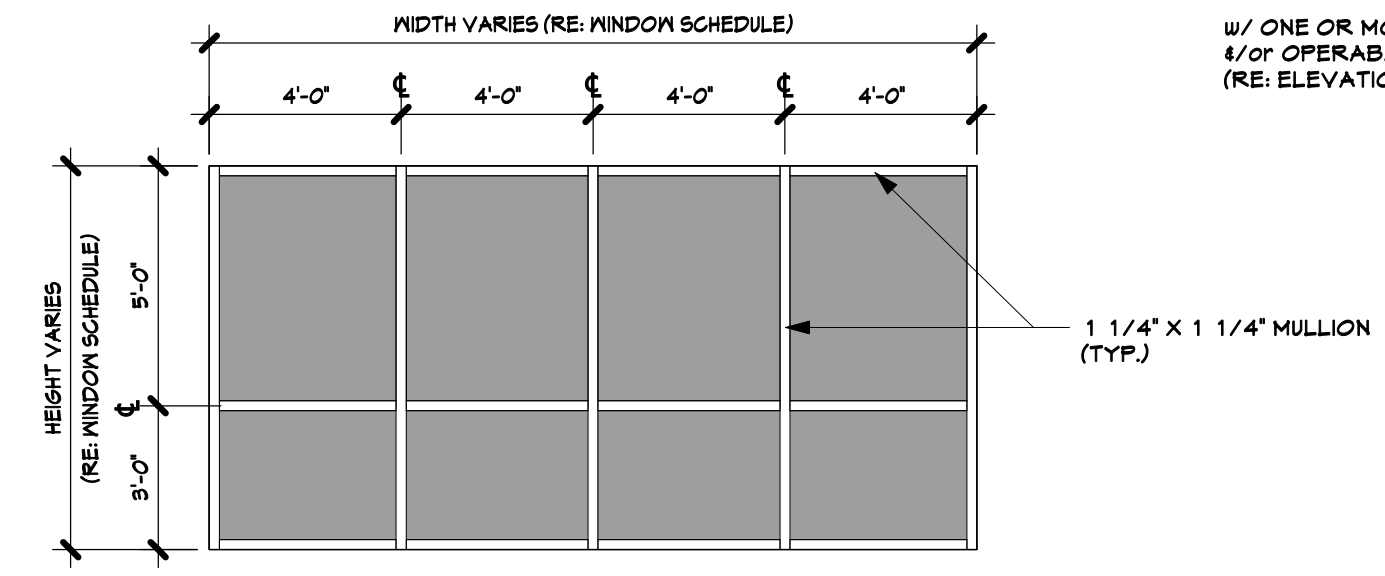
A4

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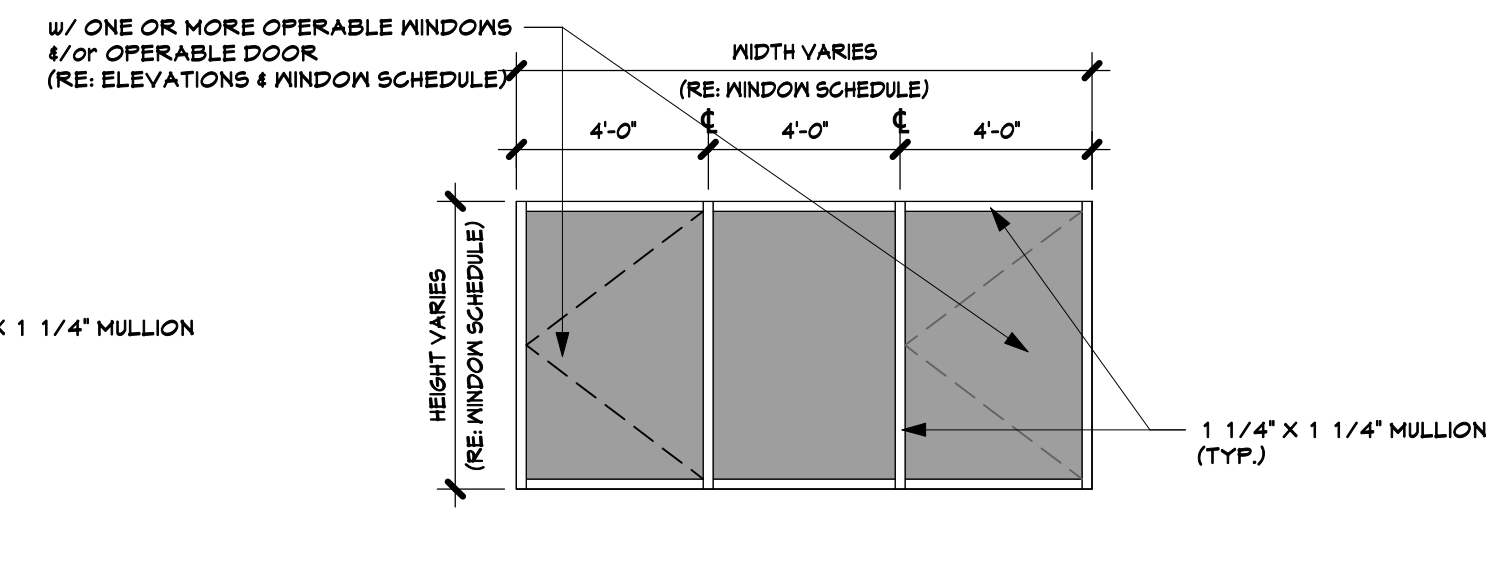
NOTE:
ROUGH OPENING SCHEDULE REFERS TO OPENING SIZES FOR WINDOW ASSEMBLIES FROM STRUCTURE TO STRUCTURE ELEMENTS. SOME OF THESE OPENINGS CAN BE DETERMINED & MODIFIED BY PLACEMENT OF FRAMED TRIMMERS AND HEADERS. SOME OPENINGS ARE DETERMINED BY MAJOR STRUCTURAL ELEMENTS SUCH AS BEAMS, COLUMNS & PORTAL FRAMES AND CANNOT BE MODIFIED. NON-STRUCTURAL CORNER WINDOWS WILL BE DEPENDANT ON RELATIONSHIP OF CORNER MULL & CONNECTION TO ADJACENT WALLS per MANUFACTURER. V.I.F. ALL MEASUREMENTS



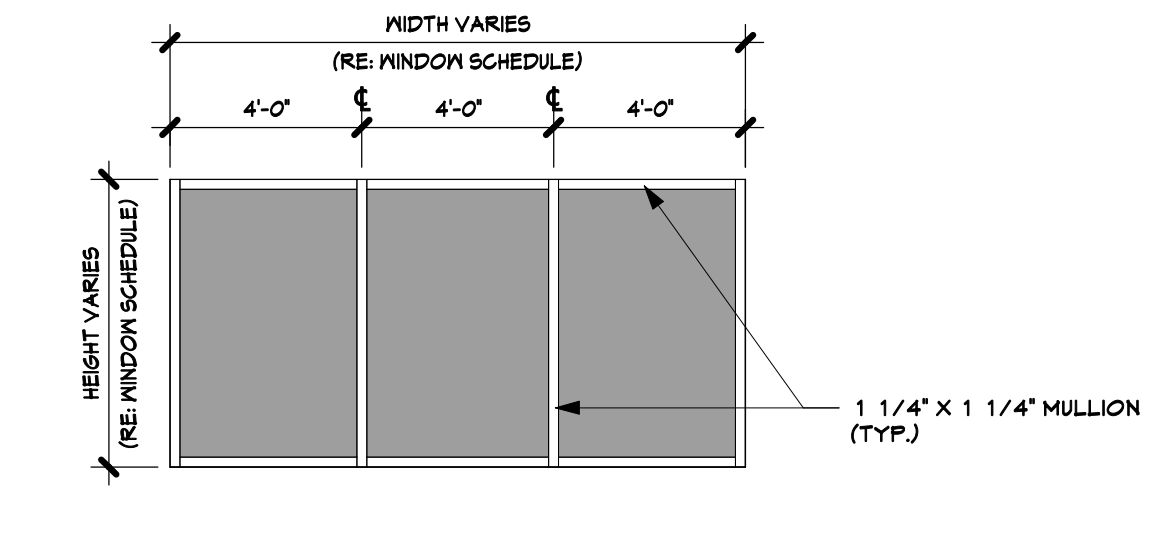
TYPE 1 STOREFRONT
1/4" = 1'-0"



TYPE 2 STOREFRONT
1/4" = 1'-0"



TYPE 3 STOREFRONT
1/4" = 1'-0"

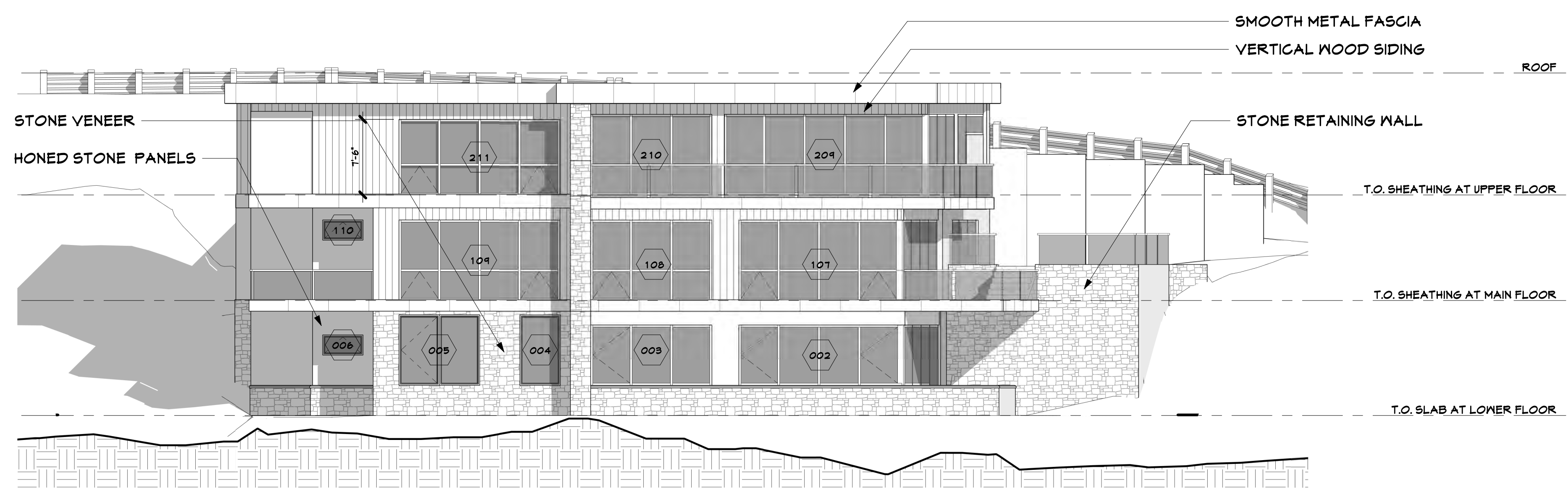


TYPE 4 STOREFRONT
1/4" = 1'-0"

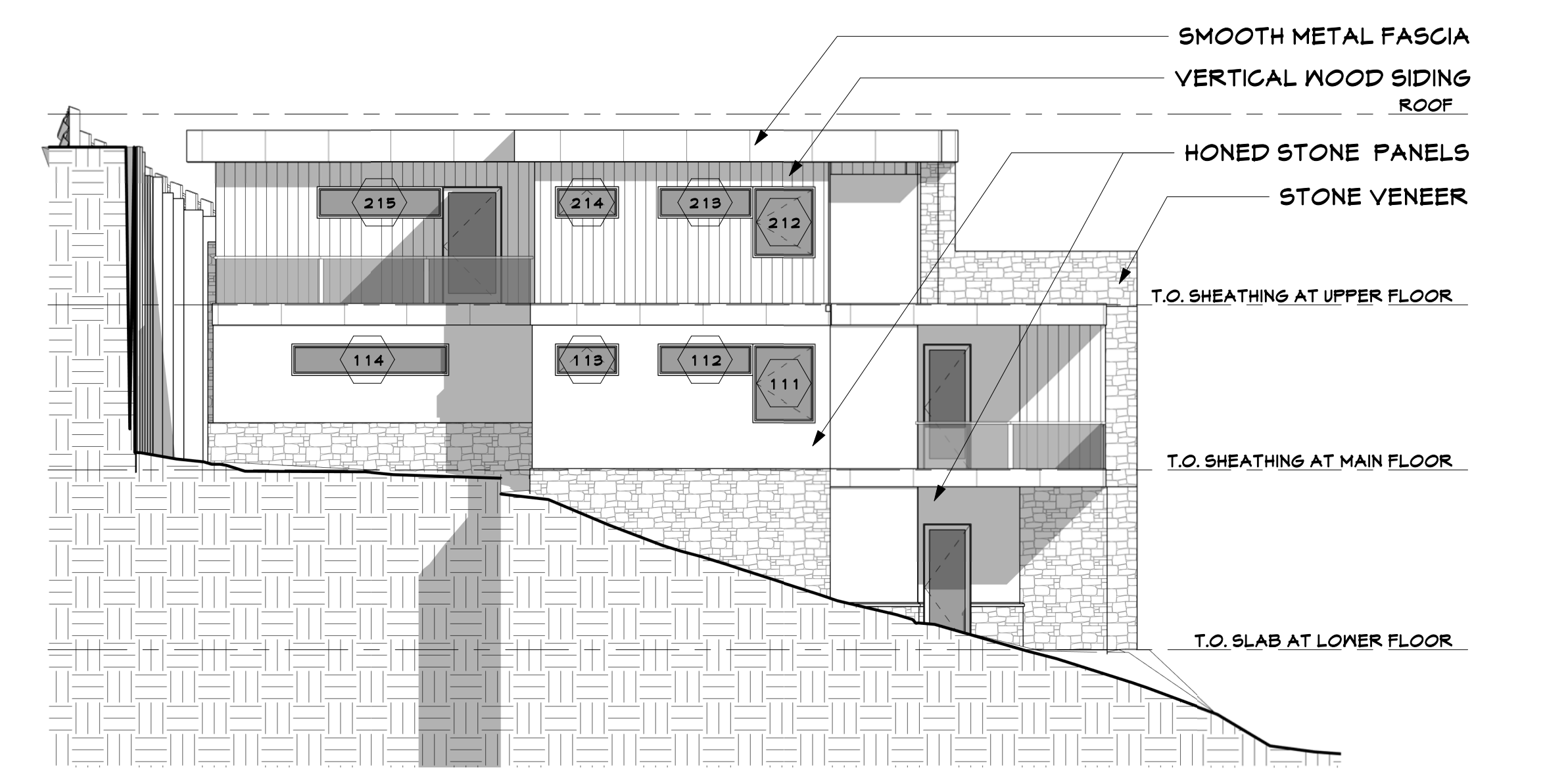
GENERAL NOTE:
STOREFRONT SIZING VARIES.
MULLIONS EQUALLY SPACED IN ROUGH OPENING WIDTH.
CORNER STOREFRONT UNITS TO CONTAIN 5" L-SHAPED MULLION.
(RE: WINDOW SCHEDULE & ELEVATIONS FOR ADDITIONAL INFORMATION.)



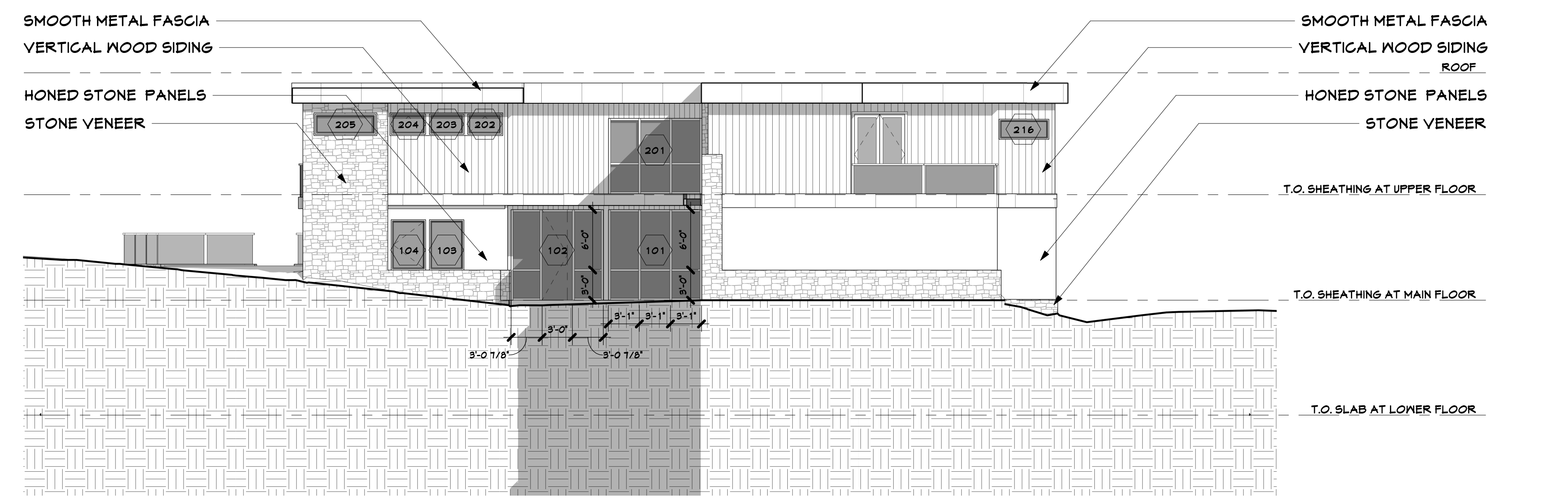
1503 Washington Avenue, Golden, Colorado, 80401
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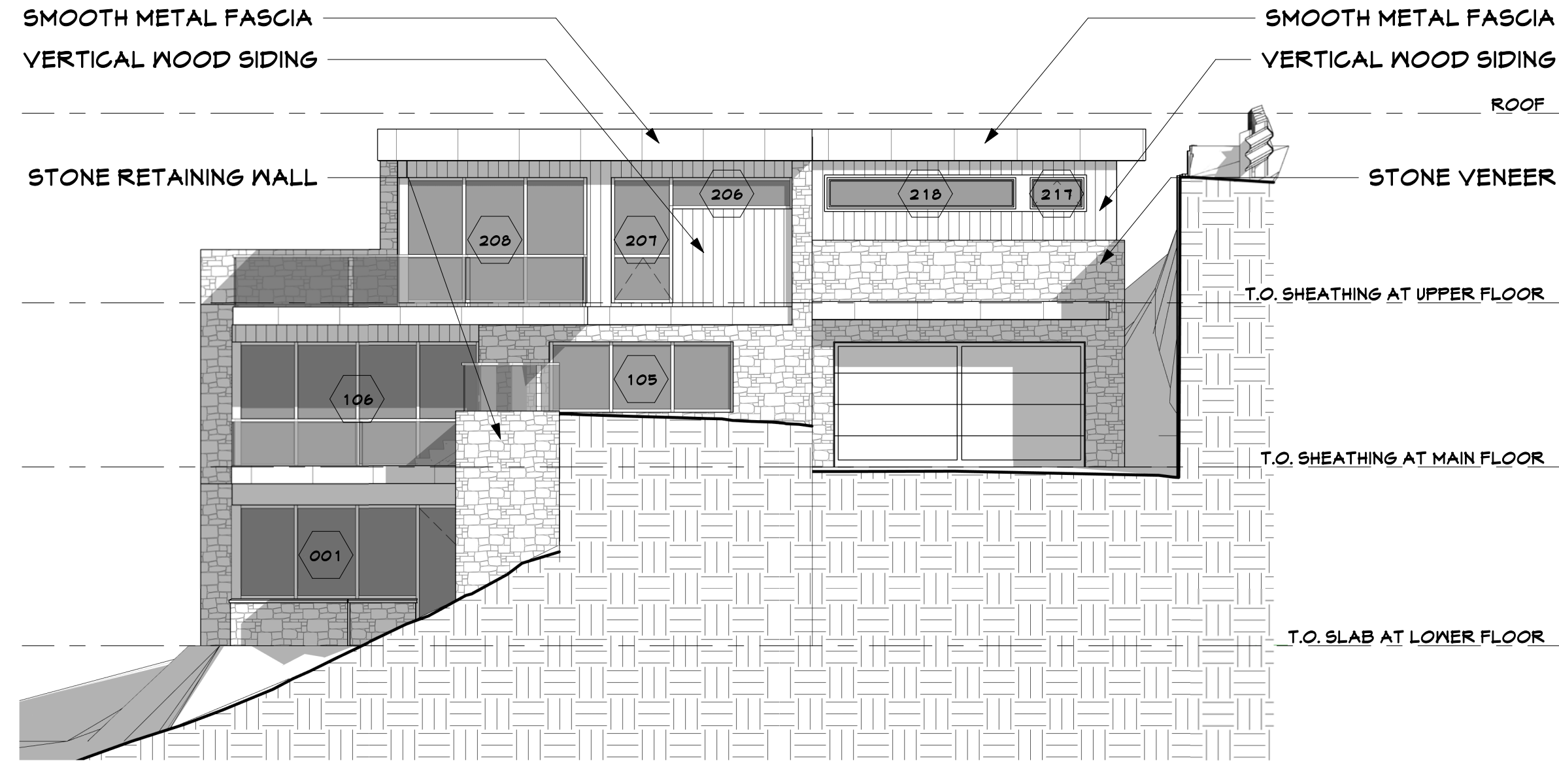
NORTHEAST ELEVATION
1/8" = 1'-0"



SOUTHEAST ELEVATION
1/8" = 1'-0"



SOUTHWEST ELEVATION
1/8" = 1'-0"



NORTHWEST ELEVATION
1/8" = 1'-0"

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ONE STONEGATE DRIVE
PROJECT ADDRESS
COUNTY, STATE

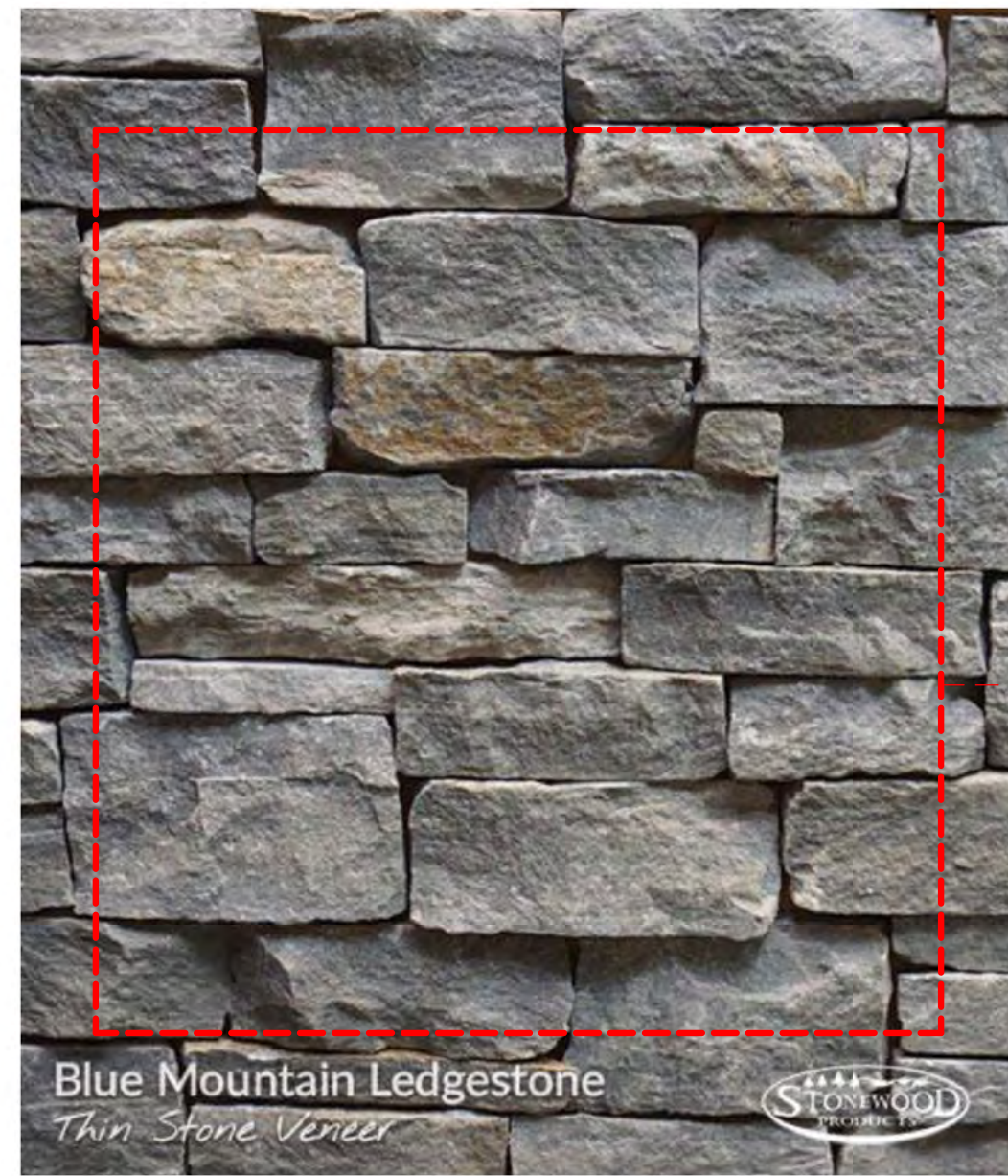
Issue: 7-23-21
drawn by: Author
revision #: revision date
11-AR 8-20-21
PROGRESS SET
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A5

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DARK BRONZE METAL FASCIA



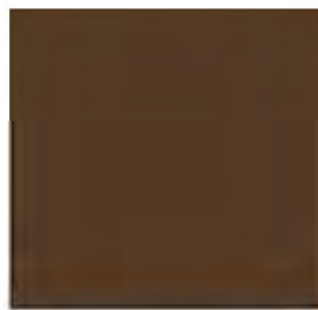
Blue Mountain Ledge Stone
Thin Stone Veneer



STONE RETAINING WALL



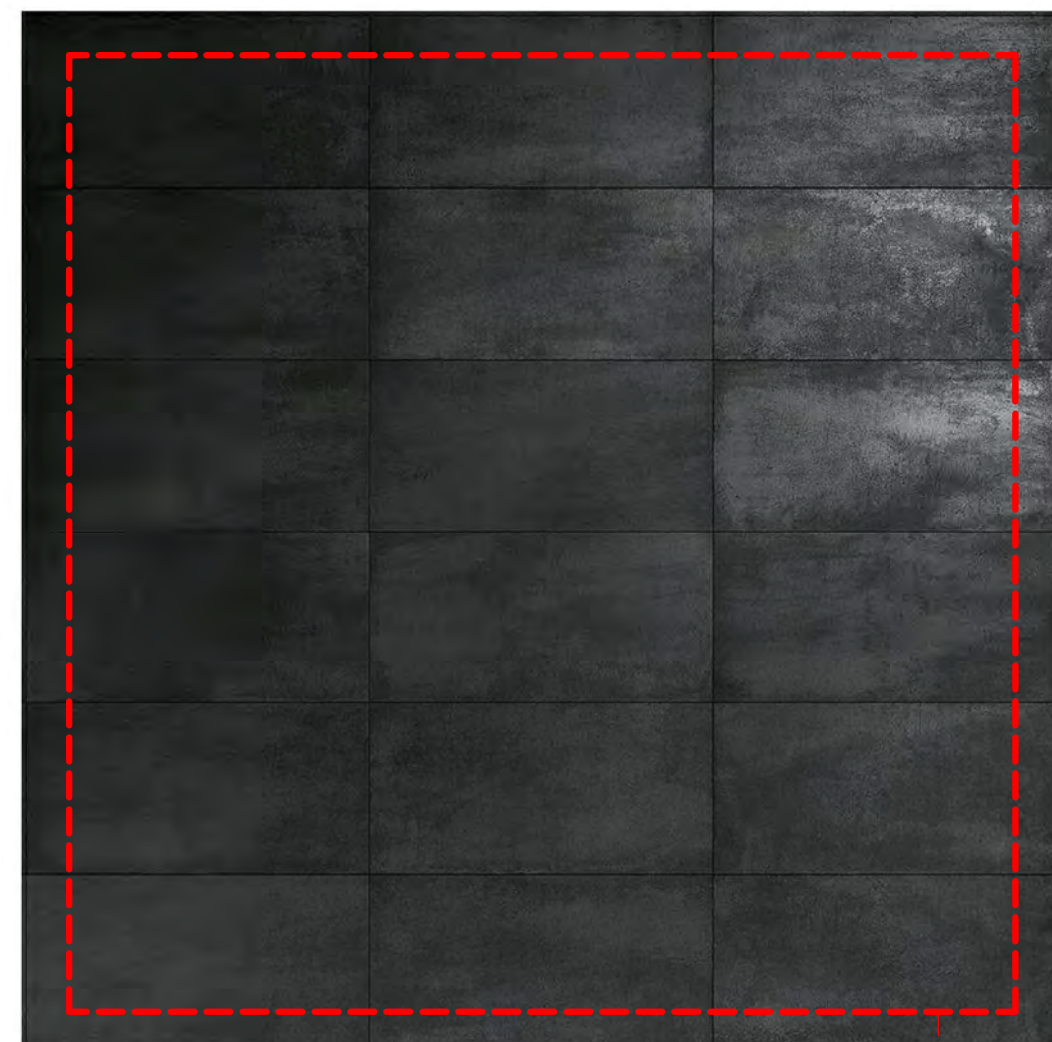
DARK BRONZE WINDOW FRAME



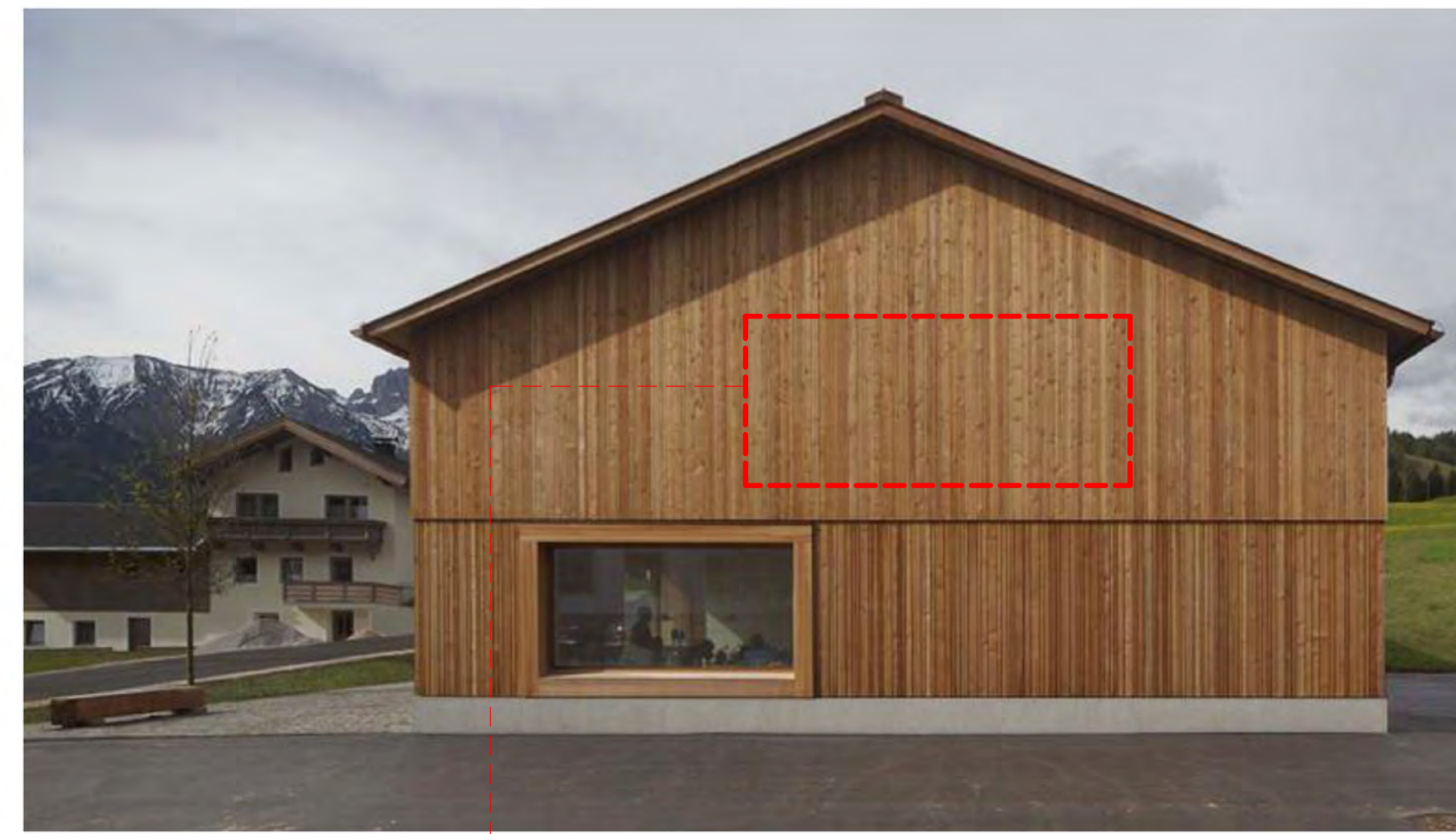
Dark Bronze Anodized



STONE BALLAST



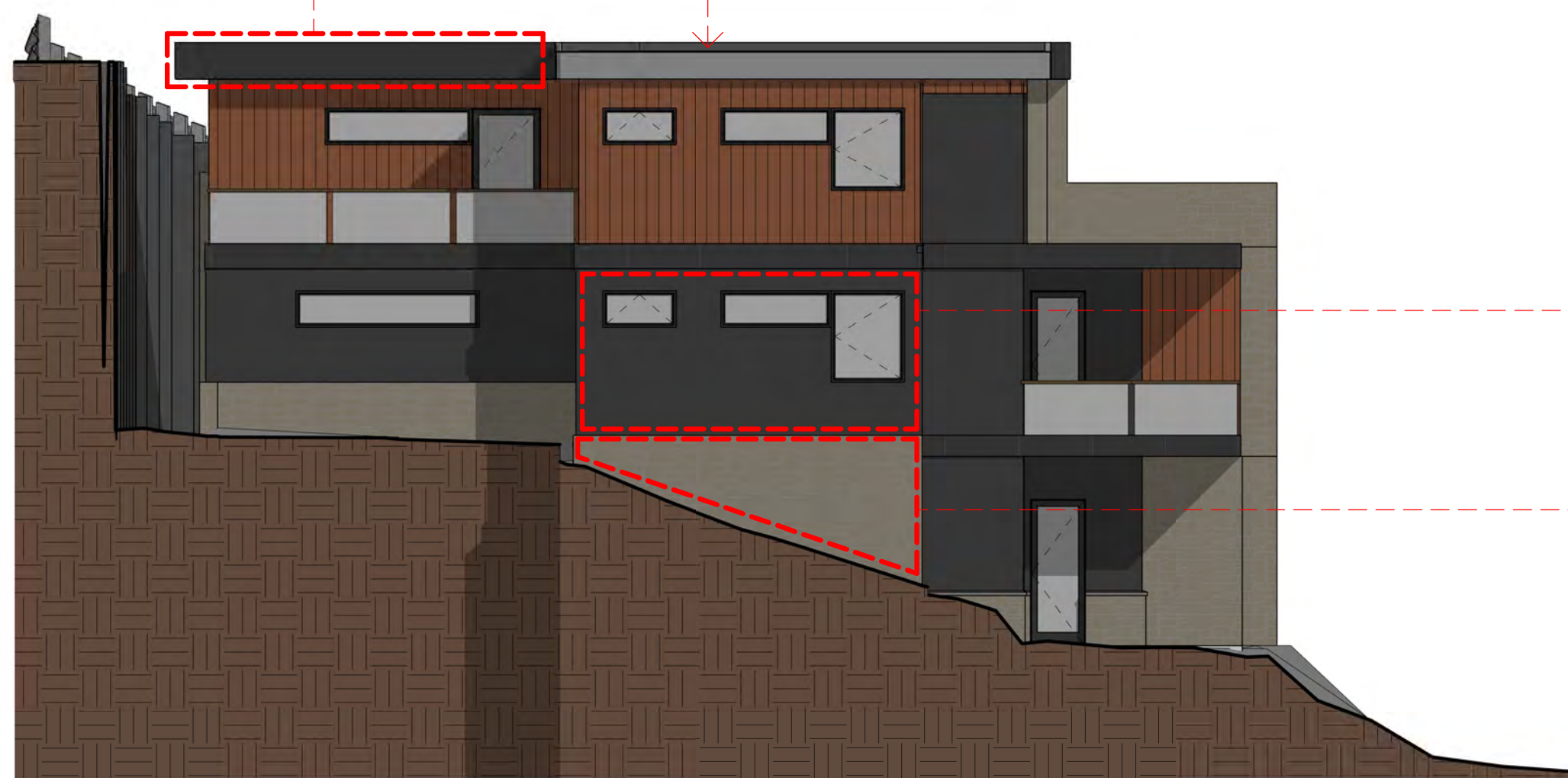
HONED STONE PANELS



VERTICAL WOOD SIDING



DARK OXIDIZED METAL PANEL



SOUTHEAST MATERIAL SELECTIONS

1/8" = 1'-0"



NORTHEAST MATERIAL SELECTIONS

1/8" = 1'-0"

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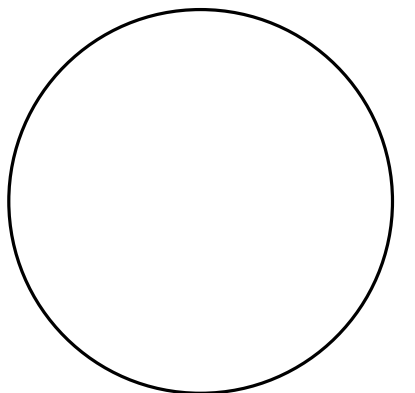
CUSTOM RESIDENCE
ONE STONEGATE DRIVE
PROJECT ADDRESS
COUNTY, STATE

Issue: 7-23-21
drawn by: NM
revision # revision date

*1 - NM 8-20-21

A5.1

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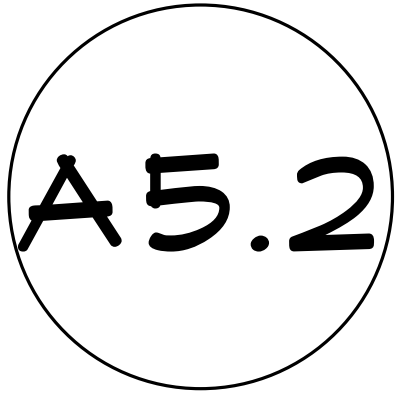


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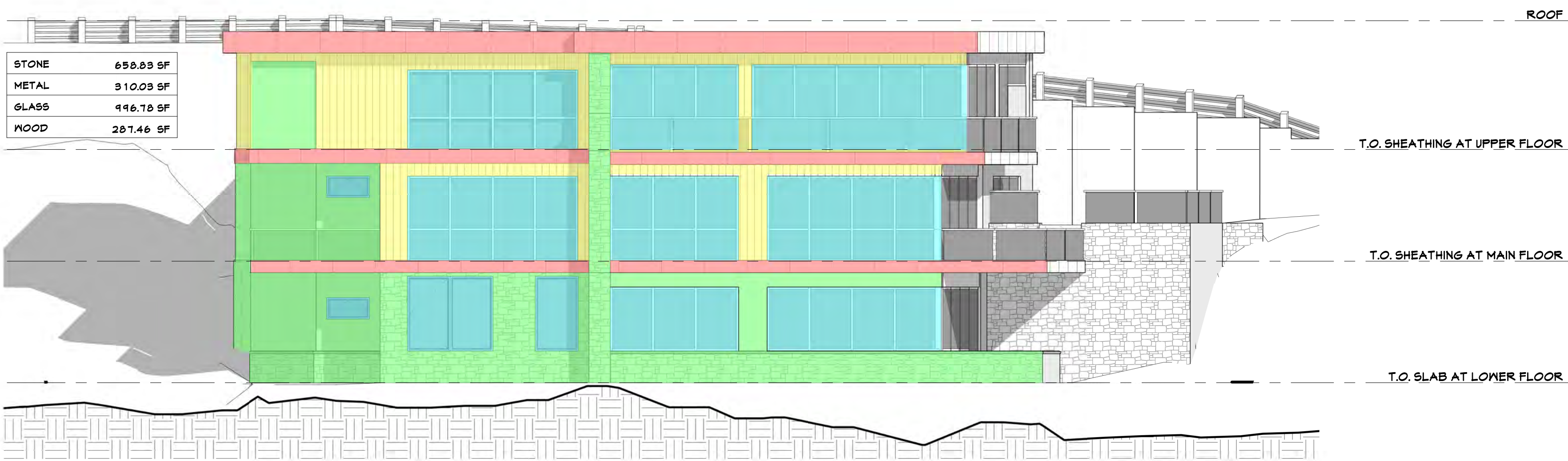
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COUNTY, STATE

Issue:	7-29-21
drawn by:	Author
revision #	revision date

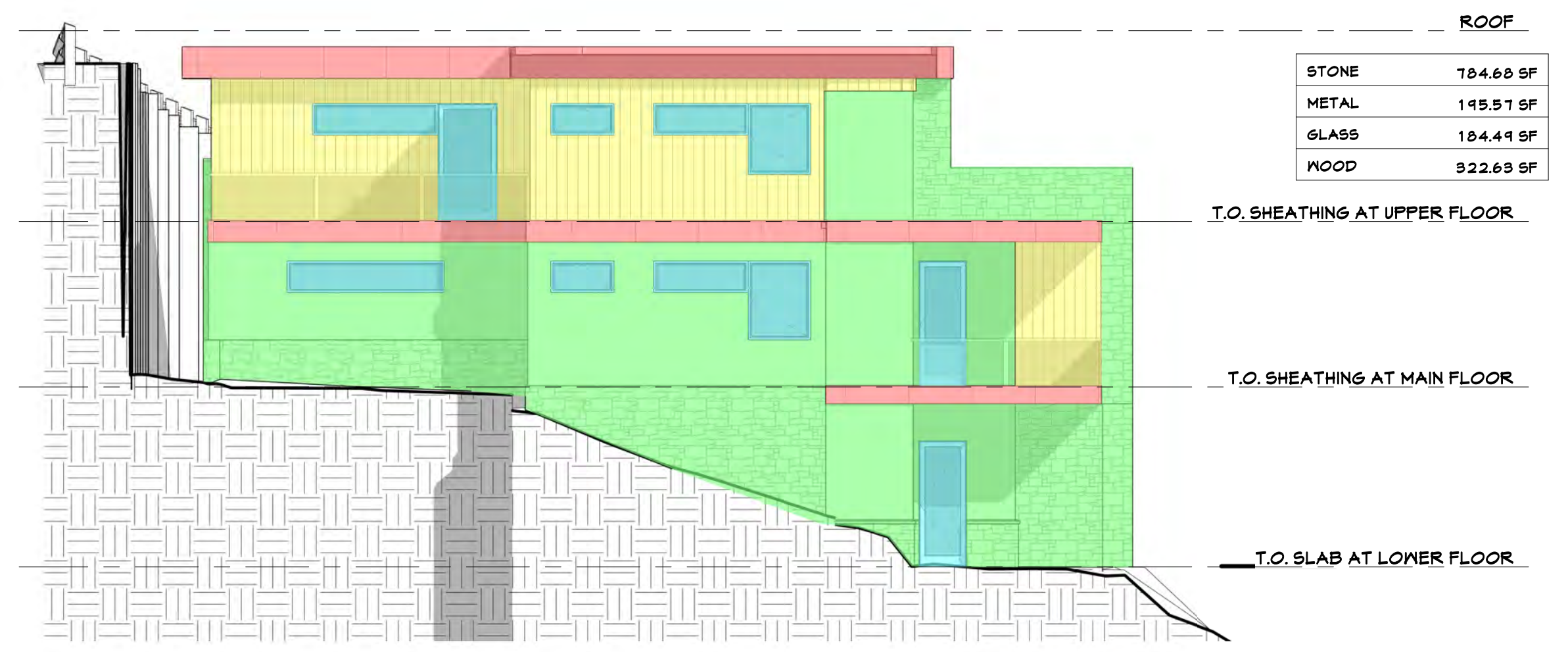


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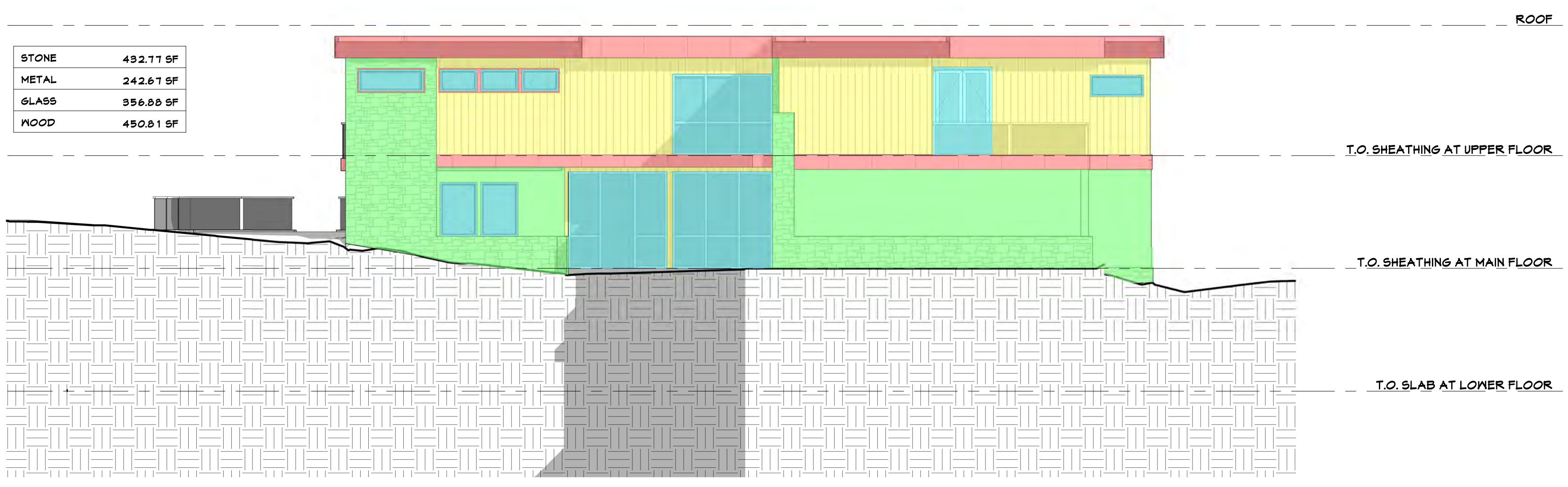
NORTHEAST ELEVATION - MATERIAL CALCULATIONS

1/8" = 1'-0"



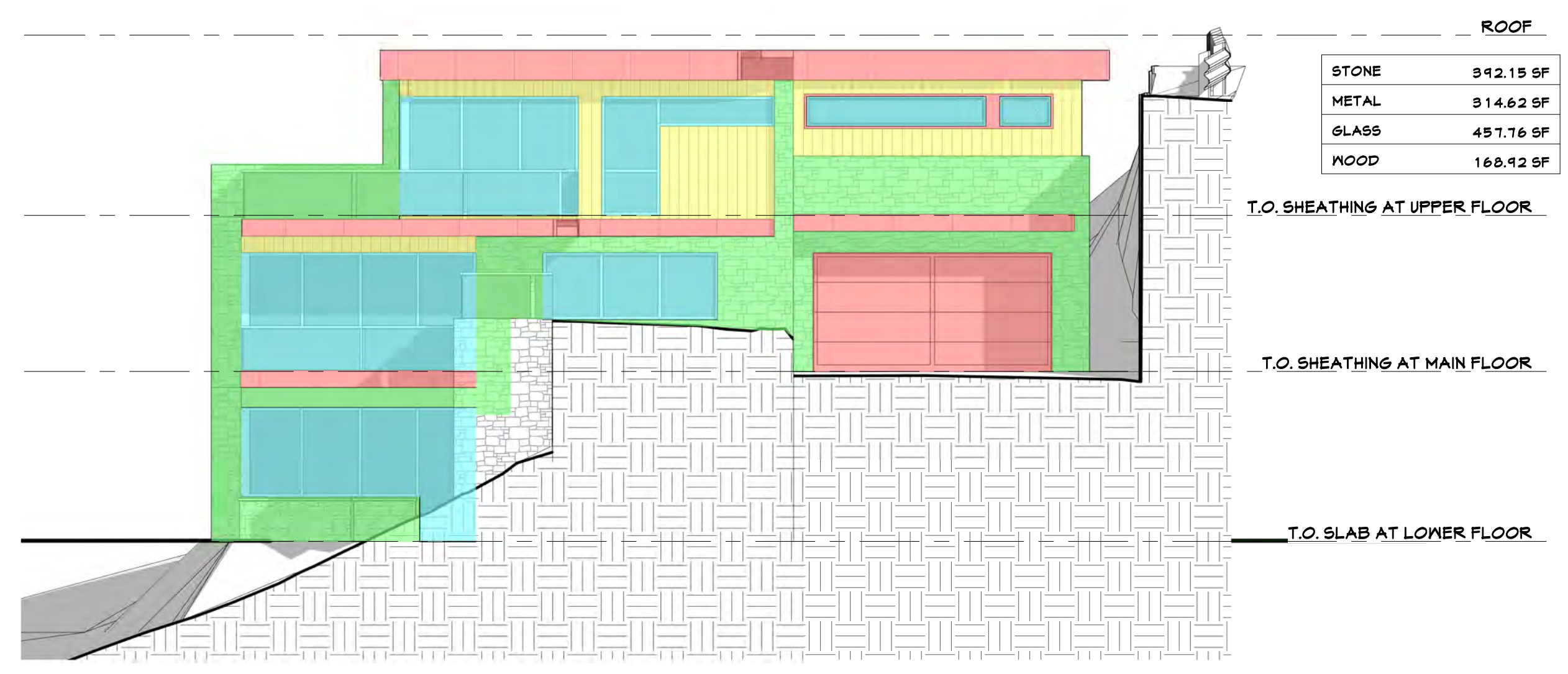
SOUTHEAST ELEVATION - MATERIAL CALCULATIONS

1/8" = 1'-0"



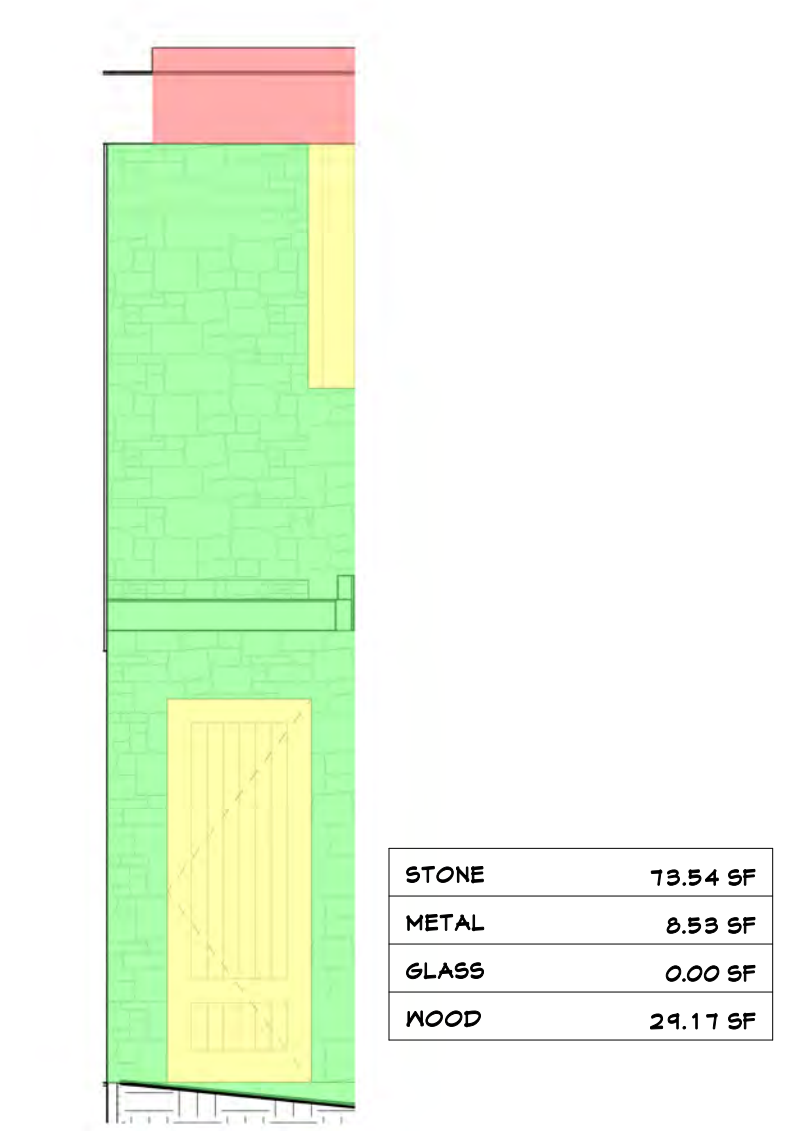
SOUTHWEST ELEVATION - MATERIAL CALCULATIONS

1/8" = 1'-0"



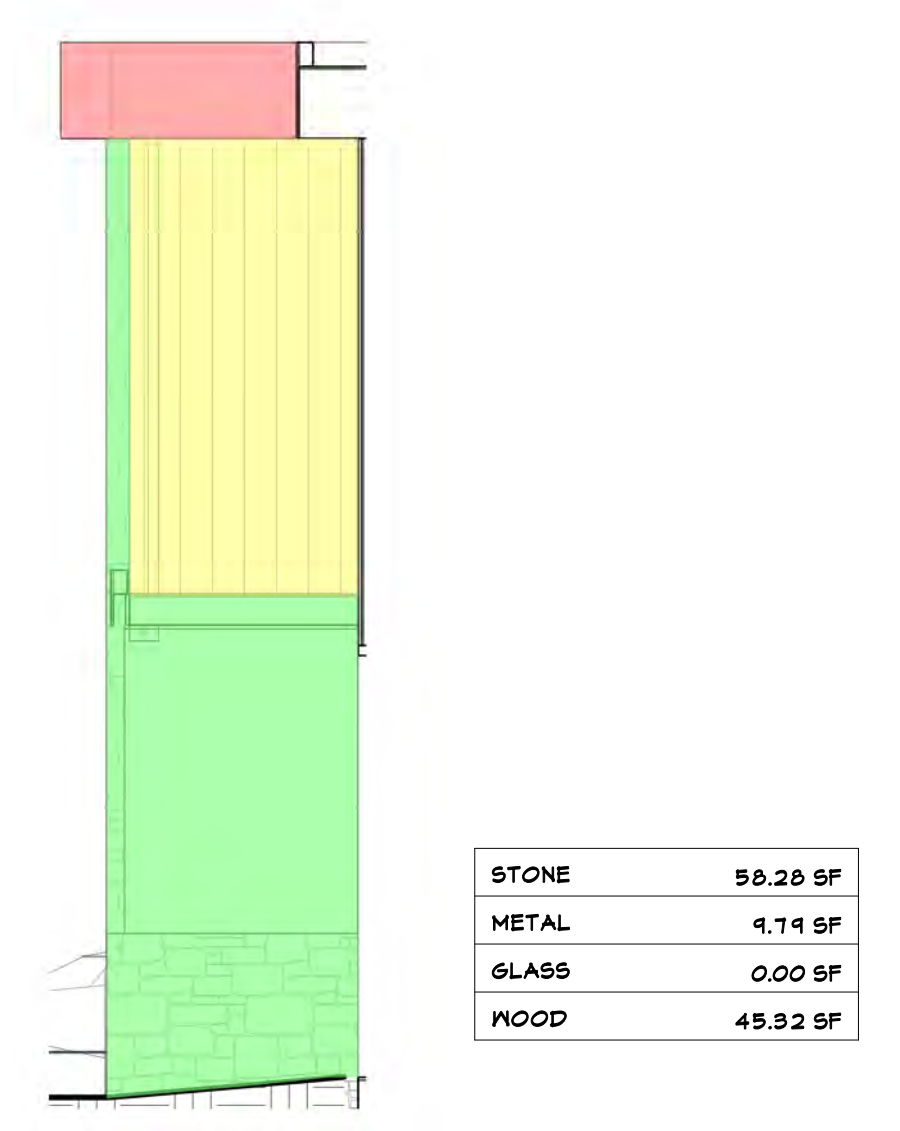
NORTHWEST ELEVATION - MATERIAL CALCULATIONS

1/8" = 1'-0"



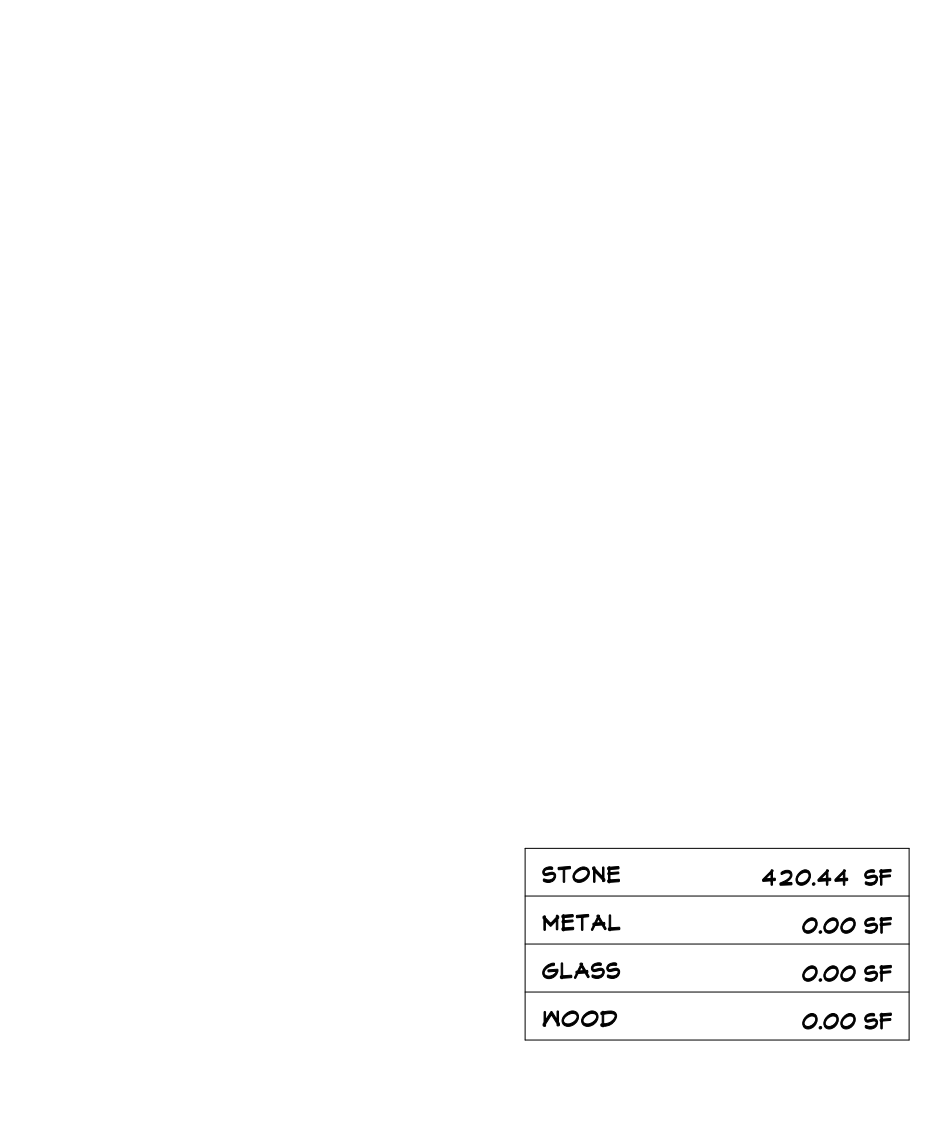
GARAGE - MAT. CALC.

1/4" = 1'-0"



ENTRANCE - MAT. CALC.

1/4" = 1'-0"



RETAINING WALL - MAT. CALC.

1/4" = 1'-0"

TOTAL BUILDING MATERIALS		
STONE	2,946.72 SF	40.21%
METAL	1,081.21 SF	14.75%
GLASS	1,495.91 SF	27.24%
WOOD	1,304.91 SF	17.80%

MATERIALS

- STONE
- METAL
- GLASS
- WOOD

Issue: 7-23-21
 drawn by: NM
 revision # revision date
 11 - 11 PROGRESS SET
 NOT FOR CONSTRUCTION
 8-20-21

A6

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WINDOW SCHEDULE

MARK	TYPE (STOREFRONT ONLY)	OPERABILITY	GENERIC SIZE		COMMENTS
			WIDTH	HEIGHT	
1	TYPE 3	FXD/FXD/FXD/DR	15'-6"	6'-0"-9'-0"	3890 FULL LITE PIVOT DOOR
2	TYPE 1	CSMT/FXD/FXD/CSMT	16'-2 1/2"	6'-0"	
3	TYPE 1	CSMT/FXD/FXD	12'-0"	6'-0"	
4		FXD	4'-0"	7'-0"	
5		CSMT/FXD	8'-0"	7'-0"	
6		AWN	4'-0"	2'-0"	
101	TYPE 2	FXD/FXD/FXD	4'-0"	2'-0"	
102	TYPE 1	FXD/DR/FXD	9'-1 3/4"	2'-0"	3090 FULL LITE PIVOT DOOR
103		FXD	3'-5"	5'-0"	
104		CSMT	3'-5"	5'-0"	
105	TYPE 3	MULTI-SLIDE	11'-8 3/4"	4'-6"	
106	TYPE 2	FXD/FXD/FXD/DR	15'-5 5/8"	8'-0"	3880 FULL LITE PIVOT DOOR
107	TYPE 1	AWN/FXD/FXD/AWN	16'-1 1/8"	8'-0"	
108	TYPE 1	AWN/FXD/FXD	12'-0"	8'-0"	
109	TYPE 1	AWN/FXD/FXD/AWN	16'-0"	8'-0"	
110		AWN	4'-0"	2'-0"	
111		CSMT	4'-0"	5'-0"	
112		FXD	6'-0"	2'-0"	
113		AWN	4'-0"	2'-0"	
114		FXD	10'-0"	2'-0"	
201	TYPE 2	FXD/FXD/FXD	9'-3"	7'-6"	
202		AWN	3'-5"	2'-0"	
203		FXD	3'-5"	2'-0"	
204		AWN	3'-5"	5'-0"	
205		FXD	6'-0"	5'-0"	
206	TYPE 4	FXD	7'-8 1/4"	2'-0"	
207	TYPE 1	AWN/FXD	3'-10 1/4"	8'-0"	
208	TYPE 2	FXD/FXD/FXD	11'-9"	8'-0"	
209	TYPE 1	AWN/FXD/FXD/FXD/AWN	20'-0 7/8"	8'-0"	
210	TYPE 1	AWN/FXD/FXD	12'-0"	8'-0"	
211	TYPE 1	AWN/FXD/FXD/AWN	16'-0"	7'-6"	
212		CSMT	4'-0"	4'-6"	
213		FXD	6'-0"	2'-0"	
214		AWN	4'-0"	2'-0"	
215		FXD	8'-0"	2'-0"	
216		FXD	5'-0"	2'-0"	
217		AWN	3'-5"	2'-0"	
218		FXD	12'-0"	2'-0"	

CUSTOM RESIDENCE
ONE STONEGATE DRIVE
PROJECT ADDRESS
COUNTY, STATE

Issue: 7-23-21
 drawn by: Author
 revision # revision date

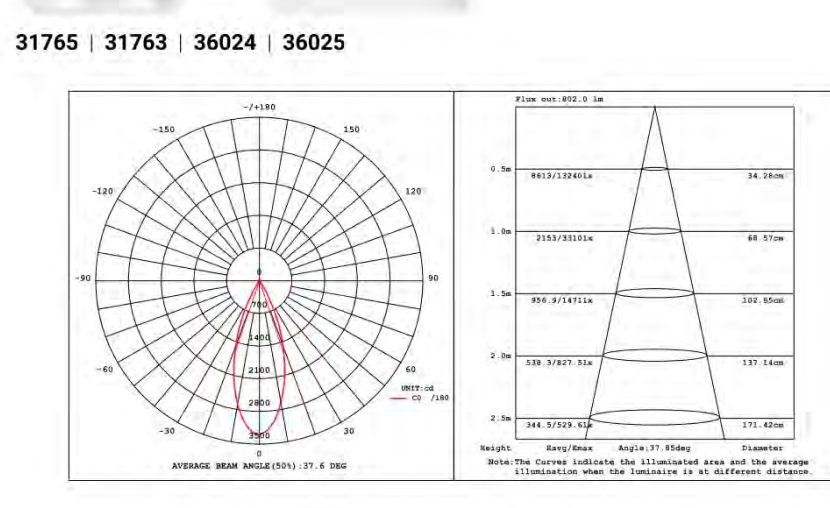
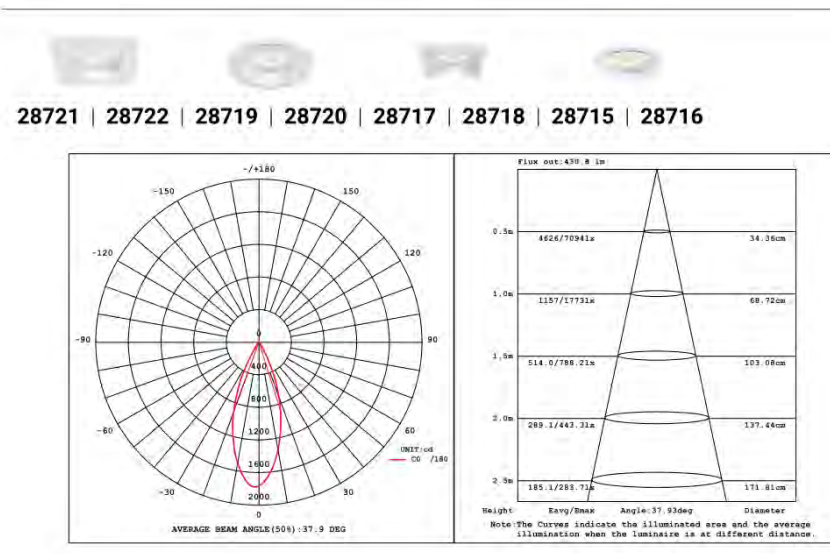
A 10

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 TEL 905.695.2955 toll free 1.800.660.5391
 FAX 905.695.2956 toll free 1.800.660.5390
 33 West Beaver Creek Road Richmond Hill, Ontario Canada L4B 1L8

28720-30, AMIGO 3 1/4" ROUND TRIM GIMBAL, 15W LED

PRODUCT DETAILS	
Part Number	28720-30-010
Product Color	WHITE
Shade / Accent Colour	WHITE
Diameter	3.125"
Height	4.125"
Weight	1.5lbs

LIGHT SOURCE DETAILS	
Light Source Type	INTEGRATED LED
Input Voltage	120V/277V
Bulb Voltage	120V
Socket Type	LED
Total Voltage	120V
Total Lumens	1200lm
Color	3000K
Dimmable	Yes

TECHNICAL DETAILS	
Light Direction	Down
Adjustable Lamp Head	Yes
Location	DRY
Approval	Yes
Temp. Rating	Yes
Beam Angle	40°
Cut Hole Diameter	3.25"

OPTIONS AVAILABLE		
ITEM NO.	FINISH	SHADE
28720-30-010	WHITE	WHITE
28720-30-021	BLACK	BLACK

Specification Sheet



HELIX SCREEN LED WW
2829422

Colour temperature: 27° 1516 x 27° 1116
 Received depth: 2" 3/8
 Available colors: ALL GREY (8 202 04 22 A), DARK GREY (8 202 04 22 B)

LED: 1.5W (3000K), 1 x LED, 1 W, CR-60 / 3000K / 120lm
 Effic: LED POWER: 80 LPM / 3000K
 For other CR or KELVIN, contact factory

LED Technical: Light source: 120 lm / 1 W / 122 lm/W
 Luminaire: 18 lm / 2.0 W / 90 lm/W

Class 2: Yes
 AUL: No

Weight: 0.7 LBS
 Protection class: IP54 - suitable for wet locations
 Minimum clearance: n/a

Options: CONCRETE BOX 187

Requirements: LED POWER SUPPLY: 350mA/DC DIM (Retrofit)
 For detailed installation instructions, please consult the manual # 2829422 2022.02

EXTERIOR LIGHTING NOTES

- EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 11.5.12 LIGHTING REGULATIONS.
- ALL NEW EXTERIOR LIGHTING TO BE TIED INTO HOME LIGHTING CONTROL SYSTEM TO LIMIT MAXIMUM LEVELS, SET EXTERIOR LIGHTING SCENES AND AUTOMATE OFF TIMES.
- ALL EXTERIOR LIGHT FIXTURES WILL BE FULL CUT-OFF DOWNLIGHTS THAT CREATE NO OFF-SITE GLARE.
- ALL EXTERIOR LIGHTS WILL BE LED LIGHTING WITH A MINIMUM COLOR TEMPERATURE OF 2400K AND A MAXIMUM COLOR TEMPERATURE OF 3000K.

ELECTRICAL LEGEND

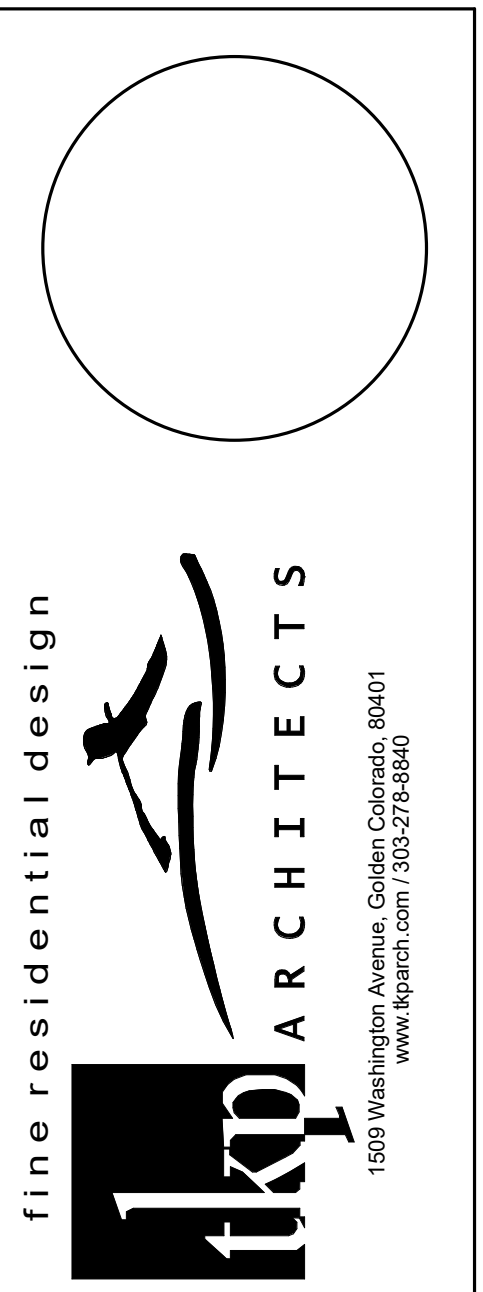
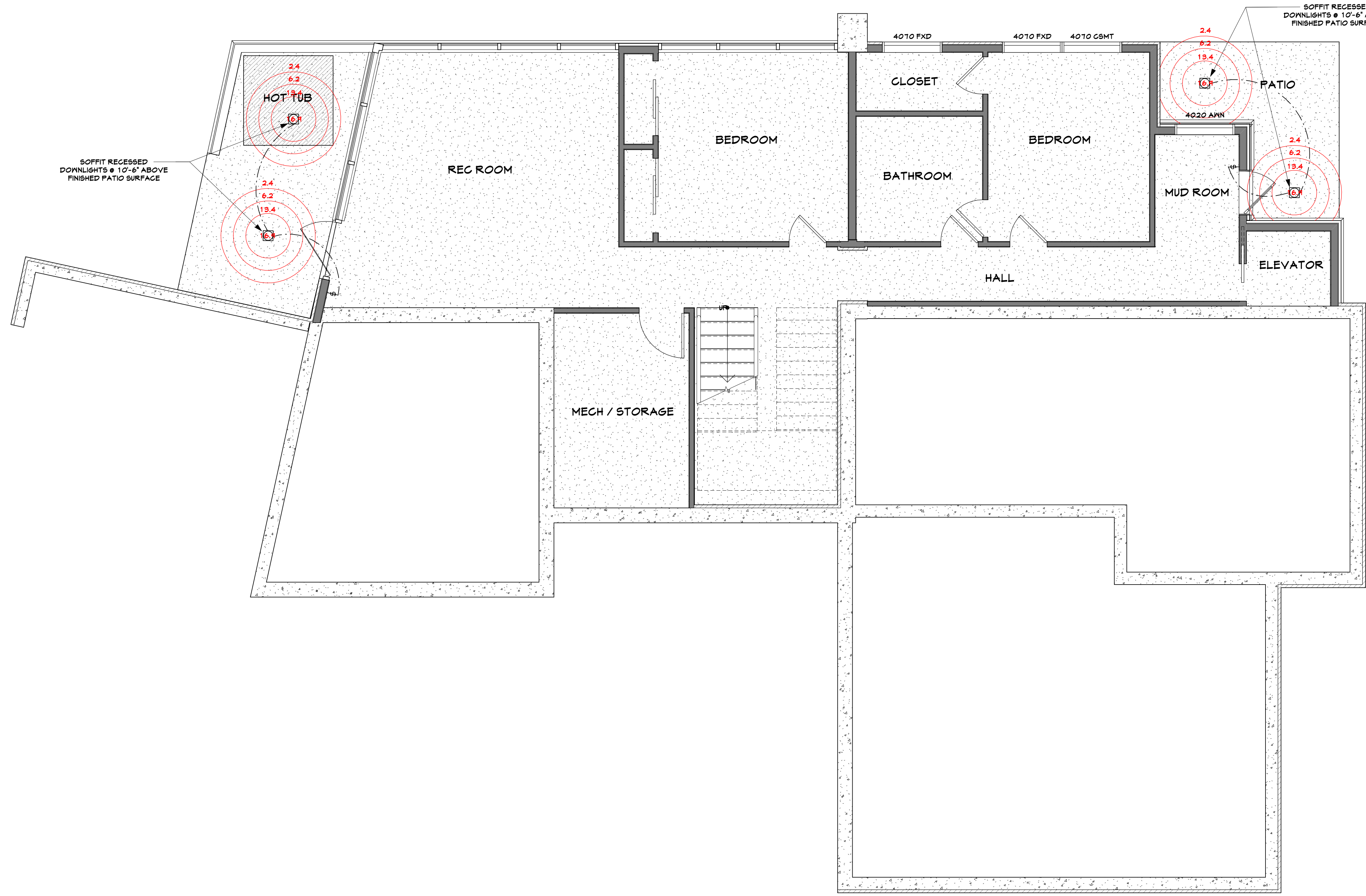
SWITCHES	OUTLETS
⊞ SINGLE POLE SWITCH	⊞ 120V DUPLEX OUTLET
⊞ SWITCH W/ DIMMER	⊞ 120V DUPLEX - HALF HOT
⊞ 3-WAY SWITCH	⊞ 120V QUADRUPLX OUTLET
⊞ 3-WAY SWITCH W/ DIMMER	⊞ 120V DUPLEX - FLOOR
⊞ 4-WAY SWITCH	⊞ 120V QUADRUPLX - FLOOR
⊞ SWITCH W/ MOTION SENSOR	⊞ 220V OUTLET
⊞ PUSH BUTTON SWITCH	⊞ WALL-CAB UNDERMOUNT LED TASK LIGHT AND OUTLET BAR, ON GFI CIRCUIT
⊞ FIREPLACE CONTROLS	
⊞ STEAM SHOWER CONTROLS	
⊞ KEYPAD (DOOR OPENER, SECURITY)	
⊞ LIGHTING CONTROL PAD	

MISCELLANEOUS	LIGHTING
⊞ CABLE JACK: COAXIAL	○ SURFACE MOUNT
⊞ ETHERNET JACK: CAT6	○ PENDANT LIGHT
⊞ PHONE JACK	○ LARGE PENDANT/ CHANDELIER
⊞ THERMOSTAT	○ WALL MOUNT
⊞ DOORBELL CHIMES	○ WALL SCNGE
⊞ EXHAUST FAN	○ RECESSED CAN
⊞ EXHAUST FAN W/ LIGHT	○ RECESSED CAN -SLOPED
⊞ IN-SINK FOOD DISPOSER	○ RECESSED CAN -ADJUSTABLE
⊞ OVERHEAD GARAGE DOOR OPENER	○ RECESSED CAN -WATERPROOF
⊞ SMOKE DETECTOR	○ RECESSED CAN -MINI
⊞ CARBON MONOXIDE DETECTOR	○ RECESSED HEAT LAMP
⊞ COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR	○ RECESSED STEP LIGHT
⊞ CEILING FAN	○ VANITY BAR LIGHT
	○ LED PANEL LIGHT
	○ WALL MOUNT CLOSET BAR LIGHT ON MOTION SENSOR
	○ KEYLESS LIGHT
	○ LED UTILITY LIGHT
	○ TRACK LIGHT
	○ LED TAPE LIGHT
	○ SECURITY FLOODLIGHT ON MOTION SENSOR

ELECTRICAL ABBREVIATIONS
CH CARBON MONOXIDE DETECTOR
GFI GROUND FAULT INTERRUPT
(H) HALOGEN FIXTURE
HRZ HORIZONTAL SWITCH/OUTLET
LTV LOW VOLTAGE FIXTURE
MS FIXTURE ON MOTION SENSOR
PC FIXTURE ON PULL CHAIN
SD SMOKE DETECTOR
WP WEATHERPROOF/ WATERPROOF
*4'4' FIXTURE MOUNTING HEIGHT (VARIES)

- GENERAL ELECTRICAL NOTES**
- PROVIDE GROUND FAULT INTERRUPTER (GFI) IN ACCORDANCE WITH GOVERNING ELECTRICAL CODES. ALL BATHROOM, KITCHEN, AND EXTERIOR OUTLETS SHALL BE ON 'GFI' CIRCUITS. ALL LAUNDRY AND GARAGE AREAS SHALL BE ON 'GFI' CIRCUITS.
 - ALL EXTERIOR OUTLETS AND LIGHT FIXTURES SHALL BE WEATHERPROOF AND APPROVED FOR EXTERIOR USE.
 - ALL LIGHT FIXTURES ABOVE TUBS OR SHOWERS SHALL BE WATERPROOF AND APPROVED FOR WET LOCATION USE.
 - ALL LIGHT FIXTURES IN CLOTHES CLOSETS SHALL BE SURFACE-MOUNT OR RECESSED FIXTURES, OR SHALL OTHERWISE COMPLY WITH THE 2015 IRC SECTION E4003.1.2.
 - PROVIDE SWITCHED LIGHT IN ATTIC, AT ACCESS, AND IN CRAWL SPACE, AT ACCESS.
 - ALL RECESSED LIGHT FIXTURES IN INSULATED CEILING SHALL BE IDENTIFIED AS 'TYPE IC' PER THE 2015 IRC SECTION 4004.8.
 - ALL SMOKE DETECTORS SHALL BE INTERCONNECTED FOR SIMULTANEOUS ALARM TRIGGERING.
 - ALL LED LIGHTING SHALL BE 3000K (OR WARMER) AND CR1 90 (OR GREATER).
 - ALL RECESSED LIGHT FIXTURES LOCATED INSIDE DISPLAY NICHE SHALL BE HELD AS CLOSE TO FRONT EDGE OF NICHE AS ALLOWABLE BY FIXTURE AND FRAMING.

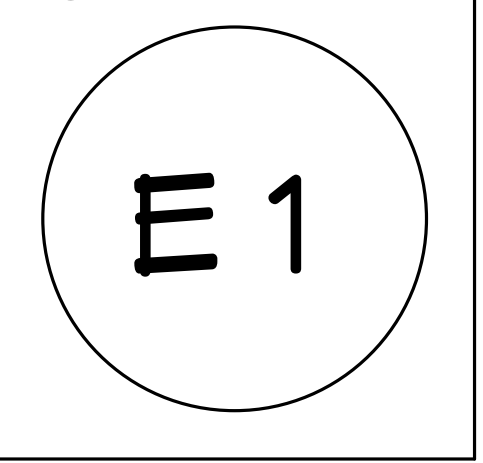
NOTE: PORTIONS OF THIS HOUSE'S LIGHTING WILL BE CONTROLLED BY AN INTEGRATED WHOLE HOUSE AUTOMATION SYSTEM, DESIGNED BY OTHERS. COORDINATE LIGHTING CIRCUIT GROUPINGS AND SWITCHING LOCATIONS PER AUTOMATION SYSTEM DESIGN.

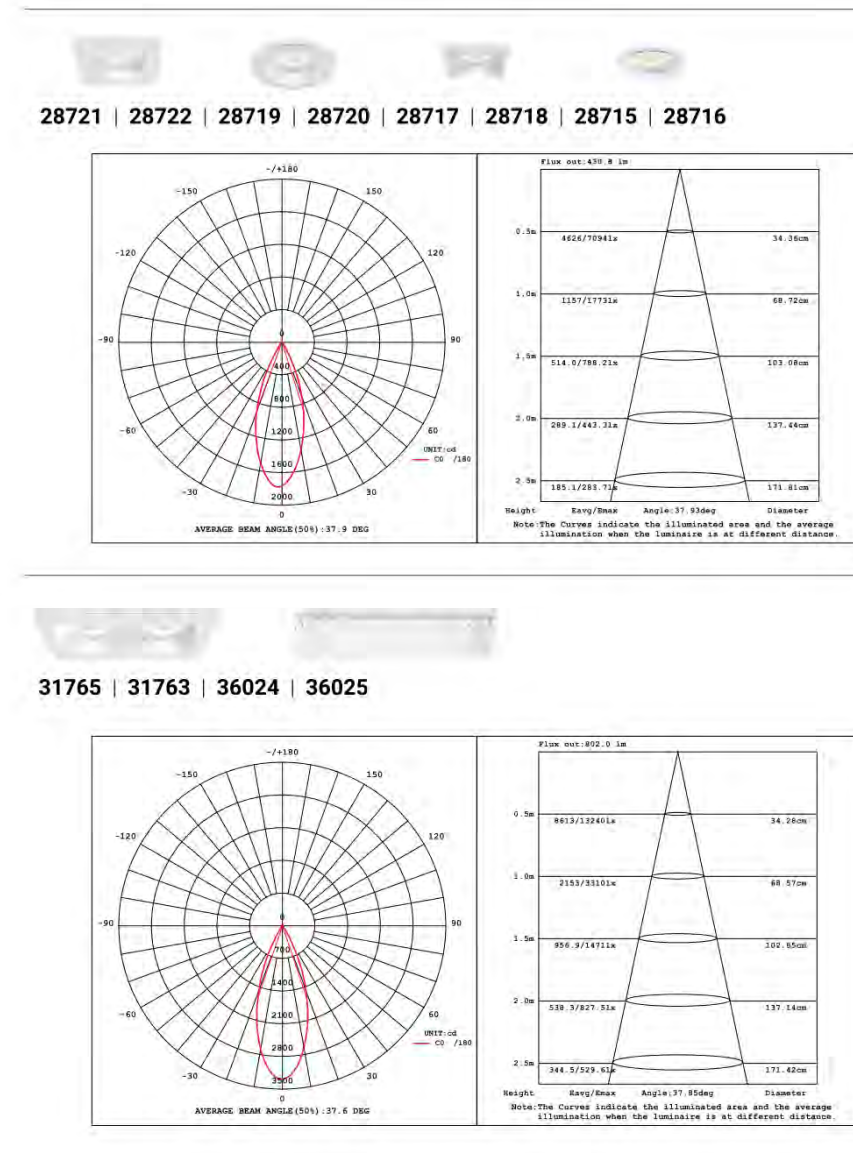


NOTICE: DUTY OF COOPERATION
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CUSTOM RESIDENCE
 ONE STONEGATE DRIVE
 PROJECT ADDRESS
 COUNTY, STATE

Issue: 7-23-21
 drawn by: NM
 revision # revision date
 11 - 8-20-21
PROGRESS SET
NOT FOR CONSTRUCTION





EUROFASE INC.
 TEL 905.695.2955 toll free 1.800.660.5391
 FAX 905.695.2956 toll free 1.800.660.5390
 33 West Beaver Creek Road Richmond Hill, Ontario Canada L4B 1L8

28720-30, AMIGO 3 1/4" ROUND TRIM GIMBAL, 15W LED

PRODUCT DETAILS
 No. 28720-30-010
 Product Color WHITE
 Shade / Accent Color WHITE
 Diameter 3.875"
 Height 4.125"
 Weight 1.56lb

LIGHT SOURCE DETAILS
 Light Source Type INTEGRATED LED
 Input Voltage 120V/277V
 Bulb Voltage 120V
 Socket Type LED
 Total Voltage 120V
 Total Lumens 2000lm
 Color 90 CRI
 Dimmable Yes

TECHNICAL DETAILS
 Light Direction Down
 Adjustable Lamp Head Yes
 Location Yes
 Approval Yes
 Title # 158
 Beam Angle 40°
 Cut Hole Diameter 3.25"

OPTIONS AVAILABLE
 ITEM NO. FINISH SHADE
 28720-30-015 WHITE WHITE
 28720-30-021 BLACK BLACK

Specification Sheet

HELIX SCREEN LED WW
 # 28294 22

Colour temperature: 2" 1516 x 3" 710
 Recessed depth: 2" 3/8
 Available colors: ALL GREY @ 202 24 22(A)
 DARK GREY @ 202 24 22(B)

LED: 1.5W / 3000K, 1 x LED, 1 W / CR-60 / 3000K / 120lm
 BKL LED POWER SUPPLY 300mA/2C
 For other CR or KELVIN, contact factory

LED Technical: Light source: 120 lm / 1 W / 122 lm/W
 Luminaire: 18 lm / 2.0 W / 9.0 lm/W

Class 2 AS Yes
 And 5 No
 Weight: 0.7 LBS
 Protection: IP54 suitable for wet locations
 Minimum clearance: n/a
 Options: CONCRETE BOX 187

Requirements:
 LED POWER SUPPLY 300mA/2C DIM (Retrofit)
 For recessed installation instructions, please consult the manual # 28294 22 2020/21

- EXTERIOR LIGHTING NOTES**
1. EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS.
 2. ALL NEW EXTERIOR LIGHTING TO BE TIED INTO HOME LIGHTING CONTROL SYSTEM TO LIMIT MAXIMUM LEVELS, SET EXTERIOR LIGHTING SCENES AND AUTOMATE OFF TIMES.
 3. ALL EXTERIOR LIGHT FIXTURES WILL BE FULL CUT-OFF DOWNLIGHTS THAT CREATE NO OFF-SITE GLARE.
 4. ALL EXTERIOR LIGHTS WILL BE LED LIGHTING WITH A MINIMUM COLOR TEMPERATURE OF 2400K AND A MAXIMUM COLOR TEMPERATURE OF 3000K.

ELECTRICAL LEGEND

SWITCHES
 SP SINGLE POLE SWITCH
 SD SWITCH W/ DIMMER
 3S 3-WAY SWITCH
 3SD 3-WAY SWITCH W/ DIMMER
 4S 4-WAY SWITCH
 MS SWITCH W/ MOTION SENSOR
 PS PUSH BUTTON SWITCH
 FC FIREPLACE CONTROLS
 ST STEAM SHOWER CONTROLS
 KP KEYPAD (DOOR OPENER, SECURITY)
 LCP LIGHTING CONTROL PAD

MISCELLANEOUS
 C CABLE JACK: COAXIAL
 E ETHERNET JACK: CAT6
 V PHONE JACK
 T THERMOSTAT
 CH CHIMES
 EX EXHAUST FAN
 EXL EXHAUST FAN W/ LIGHT
 ID IN-SINK FOOD DISPOSER
 OGD OVERHEAD GARAGE DOOR OPENER
 SD SMOKE DETECTOR
 CM CARBON MONOXIDE DETECTOR
 SD/CM COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR
 CF CEILING FAN

OUTLETS
 12V 120V DUPLEX OUTLET
 120V DUPLEX - HALF HOT
 120V QUADRUPLX OUTLET
 120V DUPLEX - FLOOR
 120V QUADRUPLX - FLOOR
 220V 220V OUTLET
 GFI WALL-CAB UNDERMOUNT LED TASK LIGHT AND OUTLET BAR, ON GFI CIRCUIT

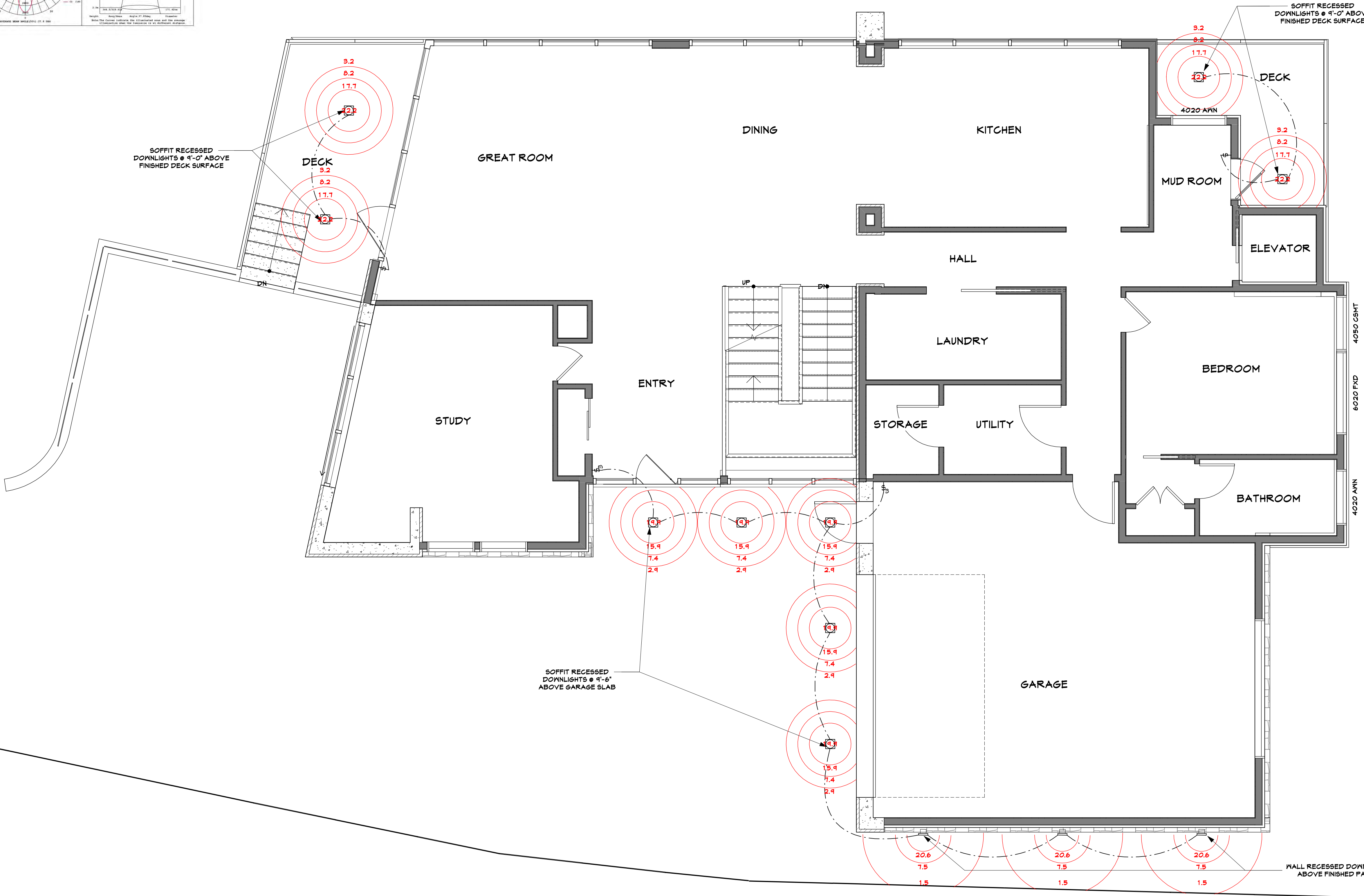
LIGHTING
 SM SURFACE MOUNT
 PL PENDANT LIGHT
 LP LARGE PENDANT/CHANDELIER
 MM WALL MOUNT
 MS WALL SCUDGE
 RC RECESSED CAN
 RS RECESSED CAN -SLOPED
 RA RECESSED CAN -ADJUSTABLE
 RW RECESSED CAN -WATERPROOF
 RM RECESSED CAN -MINI
 RL RECESSED HEAT LAMP
 RS RECESSED STEP LIGHT
 VB VANITY BAR LIGHT
 LP LED PANEL LIGHT
 MS WALL MOUNT CLOSET BAR LIGHT ON MOTION SENSOR
 KL KEYLESS LIGHT
 TL TRACK LIGHT
 MS LED TAPE LIGHT
 MS SECURITY FLOODLIGHT ON MOTION SENSOR

ELECTRICAL ABBREVIATIONS
 CH CARBON MONOXIDE DETECTOR
 GFI GROUND FAULT INTERRUPT
 (H) HALOGEN FIXTURE
 HRZ HORIZONTAL SWITCH/OUTLET
 LV LOW VOLTAGE FIXTURE
 MS FIXTURE ON MOTION SENSOR
 PC FIXTURE ON PULL CHAIN
 SD SMOKE DETECTOR
 WP WEATHERPROOF / WATERPROOF
 *4' FIXTURE MOUNTING HEIGHT (VARIES)

GENERAL ELECTRICAL NOTES

1. PROVIDE GROUND FAULT INTERRUPTER (GFI) IN ACCORDANCE WITH GOVERNING ELECTRICAL CODES. ALL BATHROOM, KITCHEN, AND EXTERIOR OUTLETS SHALL BE ON 'GFI' CIRCUITS. ALL LAUNDRY AND GARAGE AREAS SHALL BE ON 'GFI' CIRCUITS.
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5. PROVIDE SWITCHED LIGHT IN ATTIC, AT ACCESS, AND IN CRAWL SPACE AT ACCESS.
6. ALL RECESSED LIGHT FIXTURES IN INSULATED CEILING SHALL BE IDENTIFIED AS 'TYPE IC' PER THE 2015 IRC SECTION 4004.8.
7. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED FOR SIMULTANEOUS ALARM TRIGGERING.
8. ALL LED LIGHTING SHALL BE 3000K (OR WARMER) AND CRI 90 (OR GREATER).
9. ALL RECESSED LIGHT FIXTURES LOCATED INSIDE DISPLAY NICHE SHALL BE HELD AS CLOSE TO FRONT EDGE OF NICHE AS ALLOWABLE BY FIXTURE AND FRAMING.

NOTE: PORTIONS OF THIS HOUSE'S LIGHTING WILL BE CONTROLLED BY AN INTEGRATED WHOLE HOUSE AUTOMATION SYSTEM, DESIGNED BY OTHERS. COORDINATE LIGHTING CIRCUIT GROUPINGS AND SWITCHING LOCATIONS PER AUTOMATION SYSTEM DESIGN.



fine residential design

tkp ARCHITECTS
 1505 Washington Avenue, Golden, Colorado, 80401
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 ONE STONEGATE DRIVE
 PROJECT ADDRESS
 COUNTY, STATE

Issue: 7-23-21
 drawn by: NM
 revision #: revision date

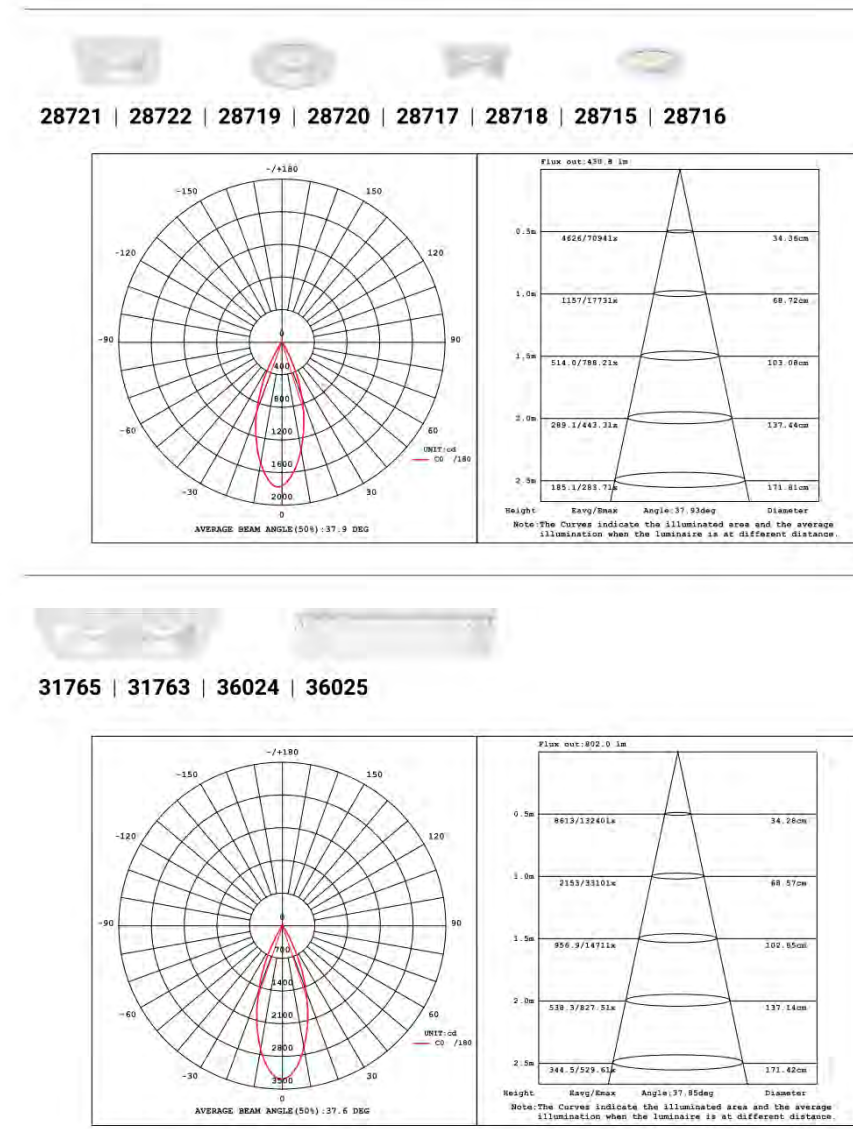
11-NR
 PROGRESS SET
 NOT FOR CONSTRUCTION
 8-20-21

E2

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MAIN FLOOR ELECTRICAL PLAN

1/4" = 1'-0"



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 33 West Beaver Creek Road Richmond Hill, Ontario Canada L4B 1L8

28720-30, AMIGO 3 1/4" ROUND TRIM GIMBAL, 15W LED

PRODUCT DETAILS
 No. 28720-30-010
 Product Color WHITE
 Shade / Accent Colour WHITE
 Diameter 3.531"
 Height 1.207"
 Weight 1.56lb

LIGHT SOURCE DETAILS
 Light Source Type INTEGRATED LED
 Input Voltage 120V/277V
 Bulb Voltage 120V
 Socket Type E17
 Total Voltage 120V
 Total Lumens 2000lm
 Color 3000K
 Dimmable Yes

TECHNICAL DETAILS
 Light Direction Down
 Adjustable Lamp Head Yes
 Location OVVY
 Approval
 Title #
 Beam Angle 40°
 Cut Hole Diameter 3.20"

OPTIONS AVAILABLE
 ITEM NO. FINISH SHADE
 28720-30-015 WHITE WHITE
 28720-30-021 BLACK BLACK

Specification Sheet

HELIX SCREEN LED WW
 # 2829422

Colour temperature: 2" 1516 x 7" 710
 Recessed depth: 2" 3/8
 Available colors: ALL GREY @ 202 (4 22 A), DARK GREY @ 202 (4 22 B)
 LED: 1.5W (3000K), 1 x LED, 1 W, CR-40 / 3000K / 120lm
 ENEC LED F00080-S-0107-3000K-01
 For other CR or KELVIN, contact factory
 LED Technical: Light source: 120 lm / 1 W / 122 lm/W
 Luminaire: 18 lm / 2.0 W / 9.0 lm/W

Class 2 Yes
 AUL No
 Weight: 0.7 LBS
 Protection class: IP54 - suitable for wet locations
 Minimum distance: n/a
 Options: CONCRETE BOX 187

Requirements:
 LED POWER SUPPLY: 350mA @ 0.0M (Retrofit)
 For recessed installation instructions, please consult the manual: 2.0 (2.0.1) 2022.02

- EXTERIOR LIGHTING NOTES**
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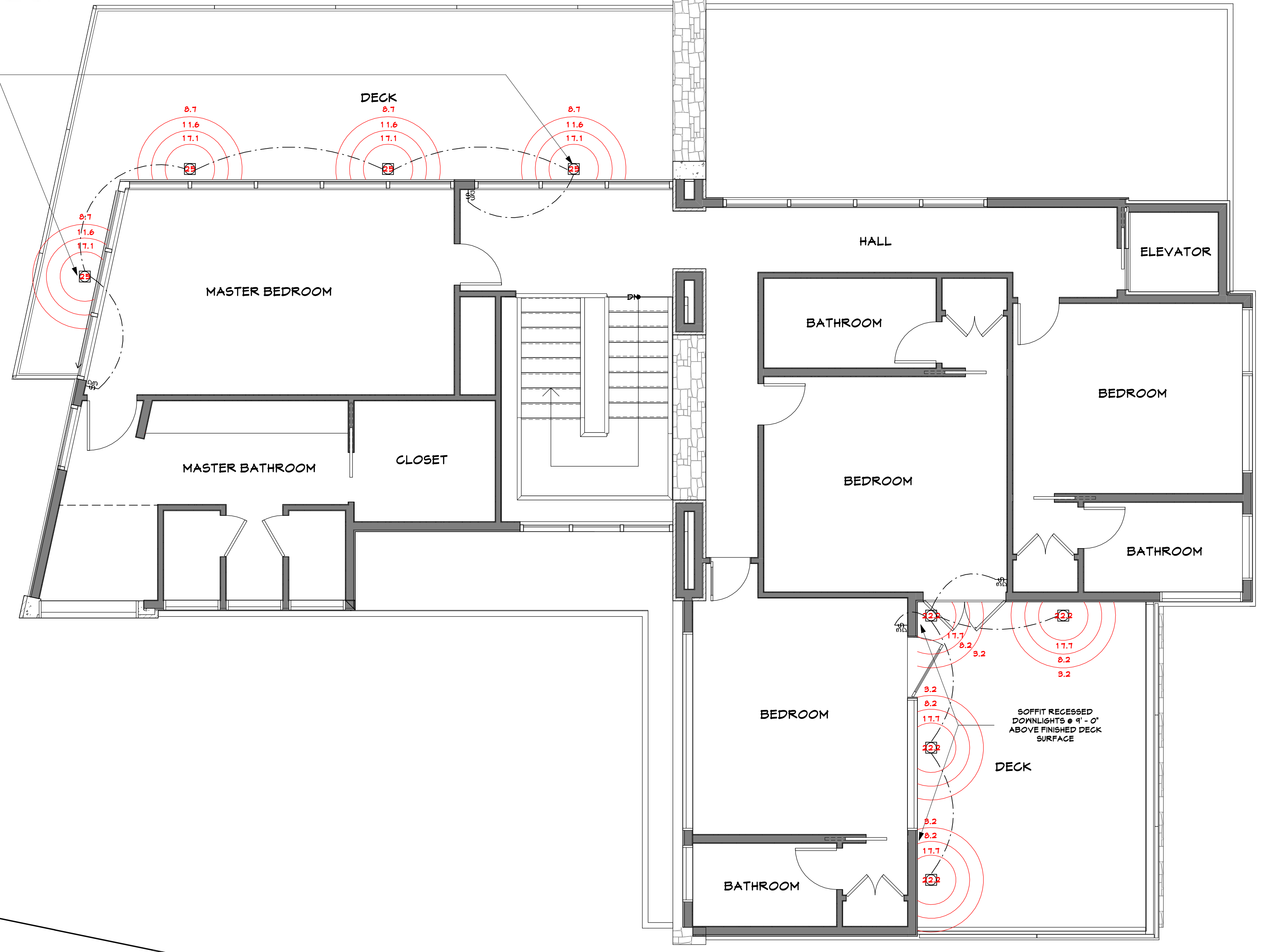
ELECTRICAL LEGEND

SWITCHES	OUTLETS
⊞ SINGLE POLE SWITCH	⊞ 120V DUPLEX OUTLET
⊞ SWITCH W/ DIMMER	⊞ 120V DUPLEX - HALF HOT
⊞ 3-WAY SWITCH	⊞ 120V QUADRIplex OUTLET
⊞ 3-WAY SWITCH W/ DIMMER	⊞ 120V DUPLEX - FLOOR
⊞ 4-WAY SWITCH	⊞ 120V QUADRIplex - FLOOR
⊞ SWITCH W/ MOTION SENSOR	⊞ 220V OUTLET
⊞ PUSH BUTTON SWITCH	⊞ WALL-CAB UNDERMOUNT LED TASK LIGHT AND OUTLET BAR, ON GFI CIRCUIT
⊞ FIREPLACE CONTROLS	
⊞ STEAM SHOWER CONTROLS	LIGHTING
⊞ KEYPAD (DOOR OPENER, SECURITY)	○ SURFACE MOUNT
⊞ LIGHTING CONTROL PAD	○ PENDANT LIGHT
	○ LARGE PENDANT/ CHANDELIER
MISCELLANEOUS	○ WALL MOUNT
⊞ CABLE JACK: COAXIAL	○ WALL SCNGE
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⊞ THERMOSTAT	○ RECESSED CAN - ADJUSTABLE
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⊞ IN-SINK FOOD DISPOSER	○ RECESSED STEP LIGHT
⊞ OVERHEAD GARAGE DOOR OPENER	○ VANITY BAR LIGHT
⊞ SMOKE DETECTOR	○ LED PANEL LIGHT
⊞ CARBON MONOXIDE DETECTOR	○ WALL MOUNT CLOSET BAR LIGHT ON MOTION SENSOR
⊞ COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR	○ KEYLESS LIGHT
⊞ CEILING FAN	○ LED UTILITY LIGHT
	○ TRACK LIGHT
	○ LED TAPE LIGHT
	○ SECURITY FLOODLIGHT ON MOTION SENSOR
ELECTRICAL ABBREVIATIONS	
CM CARBON MONOXIDE DETECTOR	
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MS FIXTURE ON MOTION SENSOR	
PC FIXTURE ON PULL CHAIN	
SD SMOKE DETECTOR	
WP WEATHERPROOF/ WATERPROOF	
+4' FIXTURE MOUNTING HEIGHT (VARIES)	

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NOTE: PORTIONS OF THIS HOUSE'S LIGHTING WILL BE CONTROLLED BY AN INTEGRATED WHOLE HOUSE AUTOMATION SYSTEM, DESIGNED BY OTHERS. COORDINATE LIGHTING CIRCUIT GROUPINGS AND SWITCHING LOCATIONS PER AUTOMATION SYSTEM DESIGN.



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CUSTOM RESIDENCE
 ONE STONEGATE DRIVE
 PROJECT ADDRESS
 COUNTY, STATE

Issue: 7-23-21
 drawn by: NM
 revision # revision date

11-16 PROGRESS SET NOT FOR CONSTRUCTION 8-20-21

E3

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GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

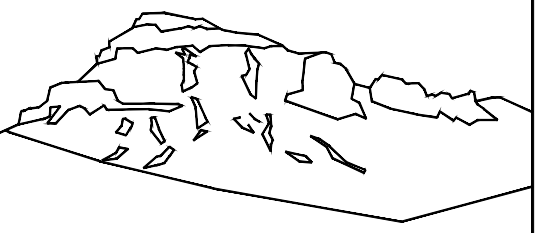
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2021-05-08
Revised Wall	2021-08-19

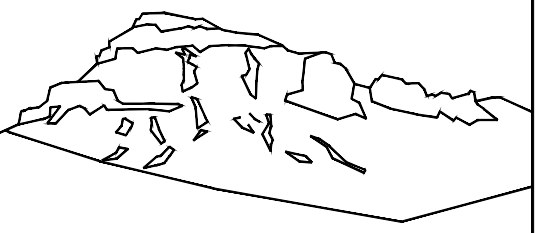
Lot 166AR2-2
(Lot 2) Stonegate
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Civil Engineering
General Notes

C1



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2021-05-08
Revised Wall 2021-08-18

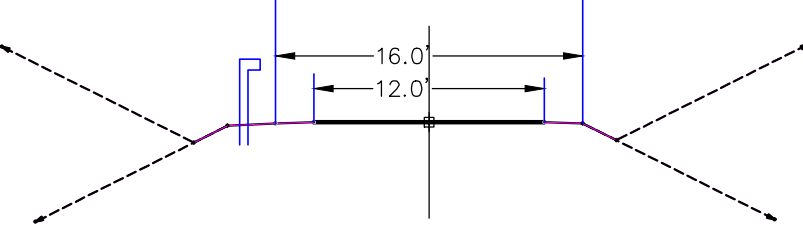
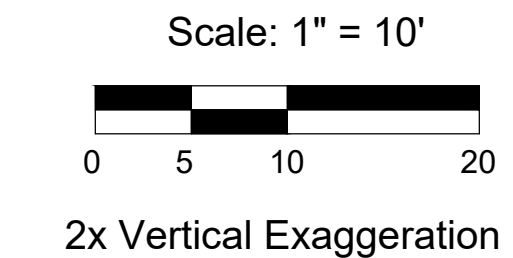
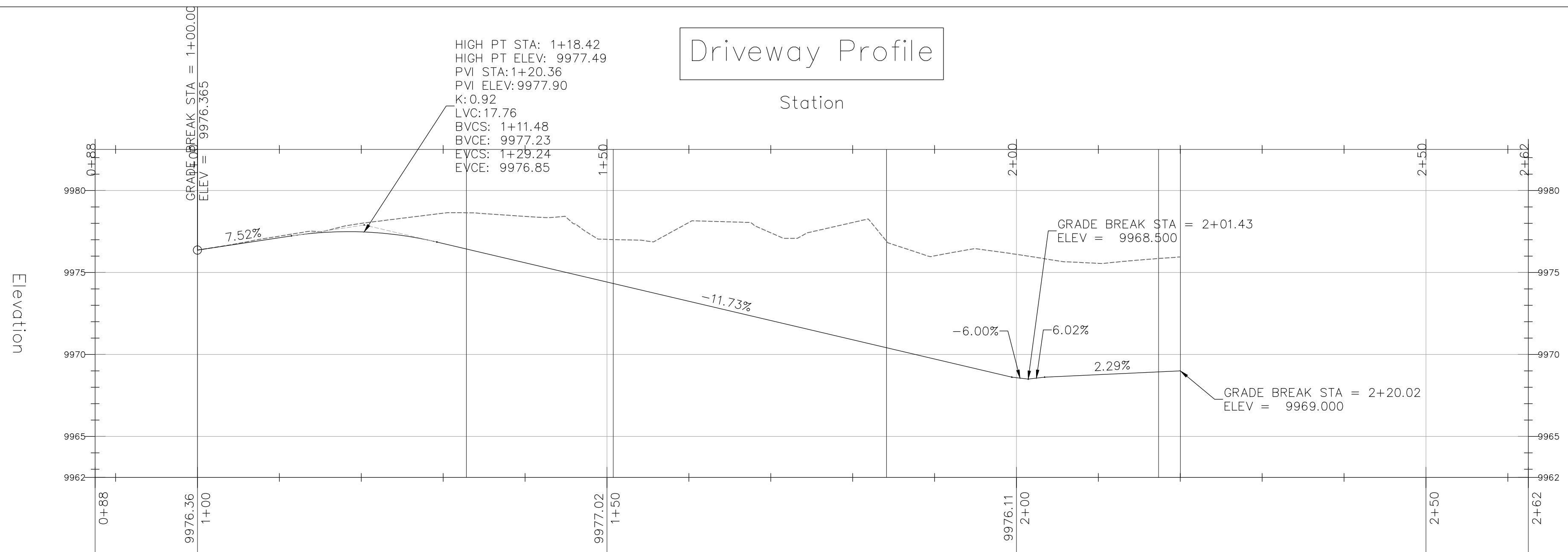
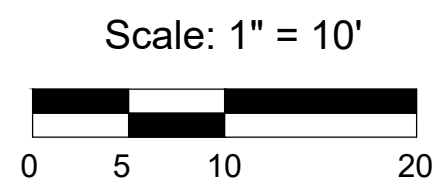
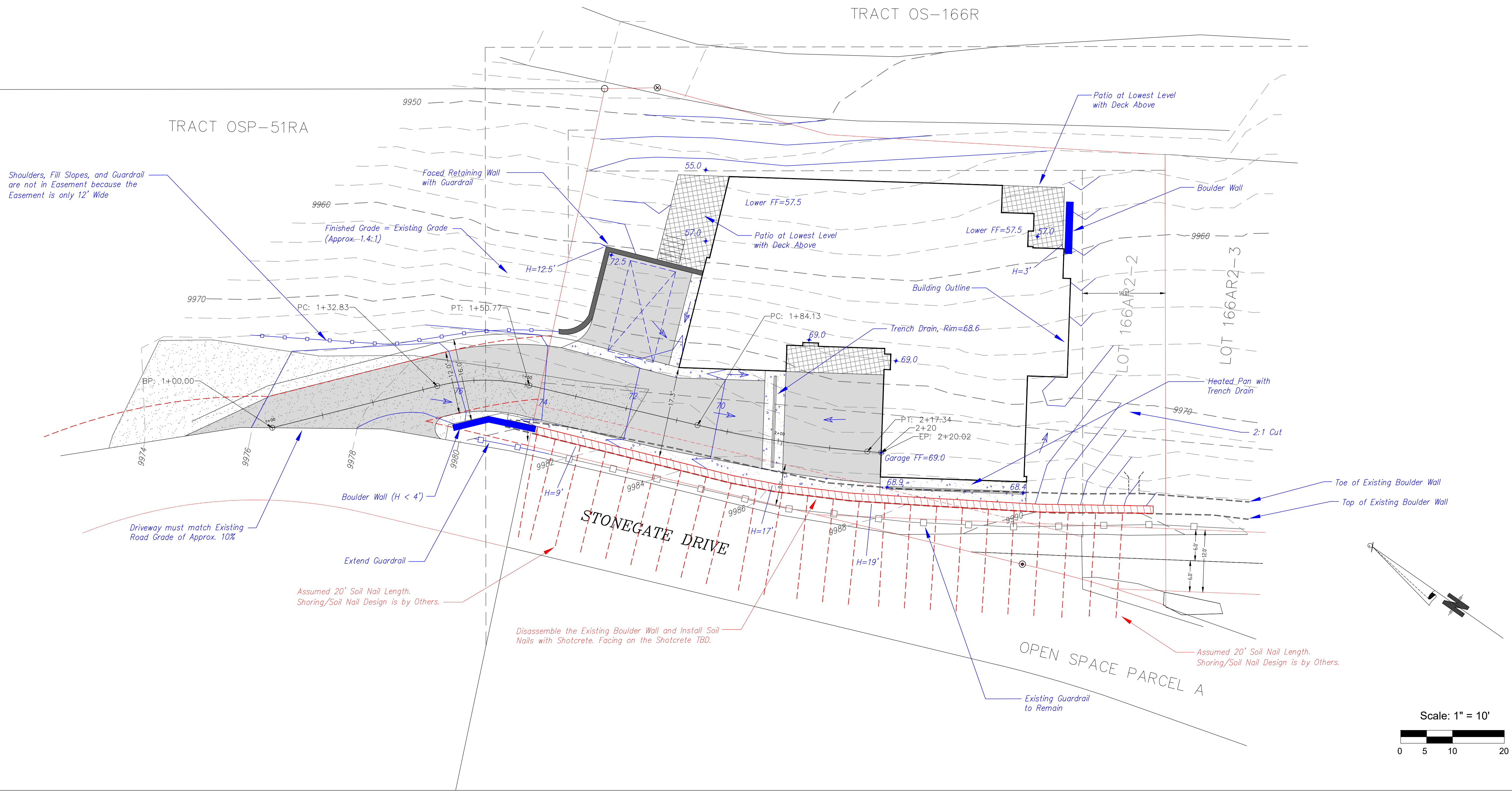
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Mtn. Village, CO

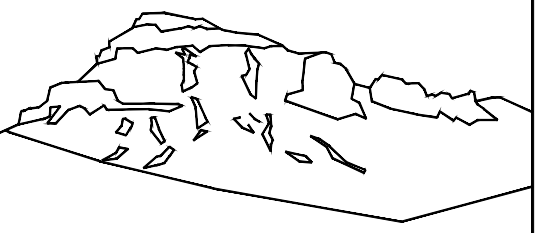


CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Civil Engineering
Site Plan
with
Driveway
Profile

C2.1





Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2021-05-08
Revised Wall 2021-08-19

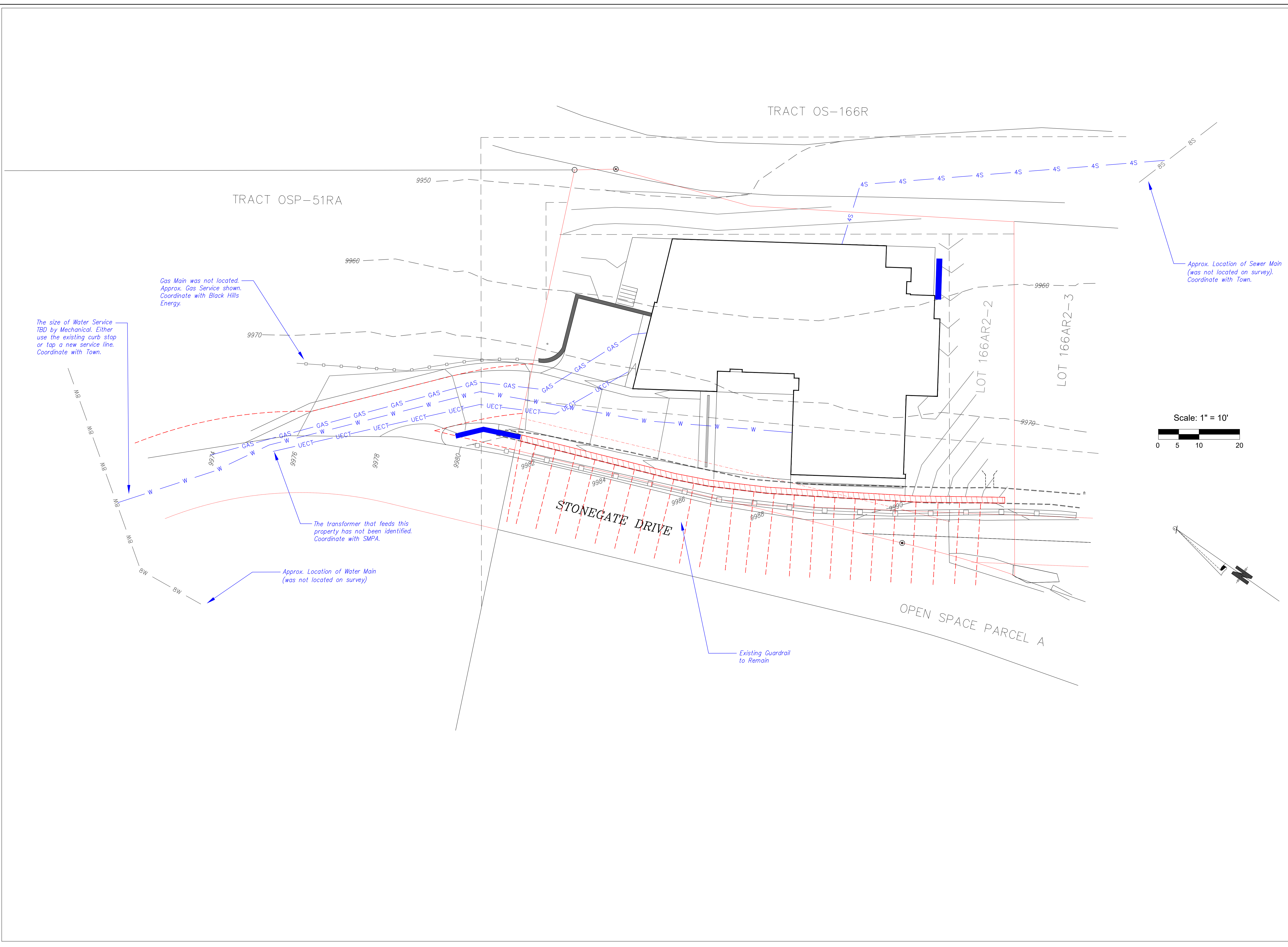
Lot 166AR2-2
(Lot 2) Stonegate
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3

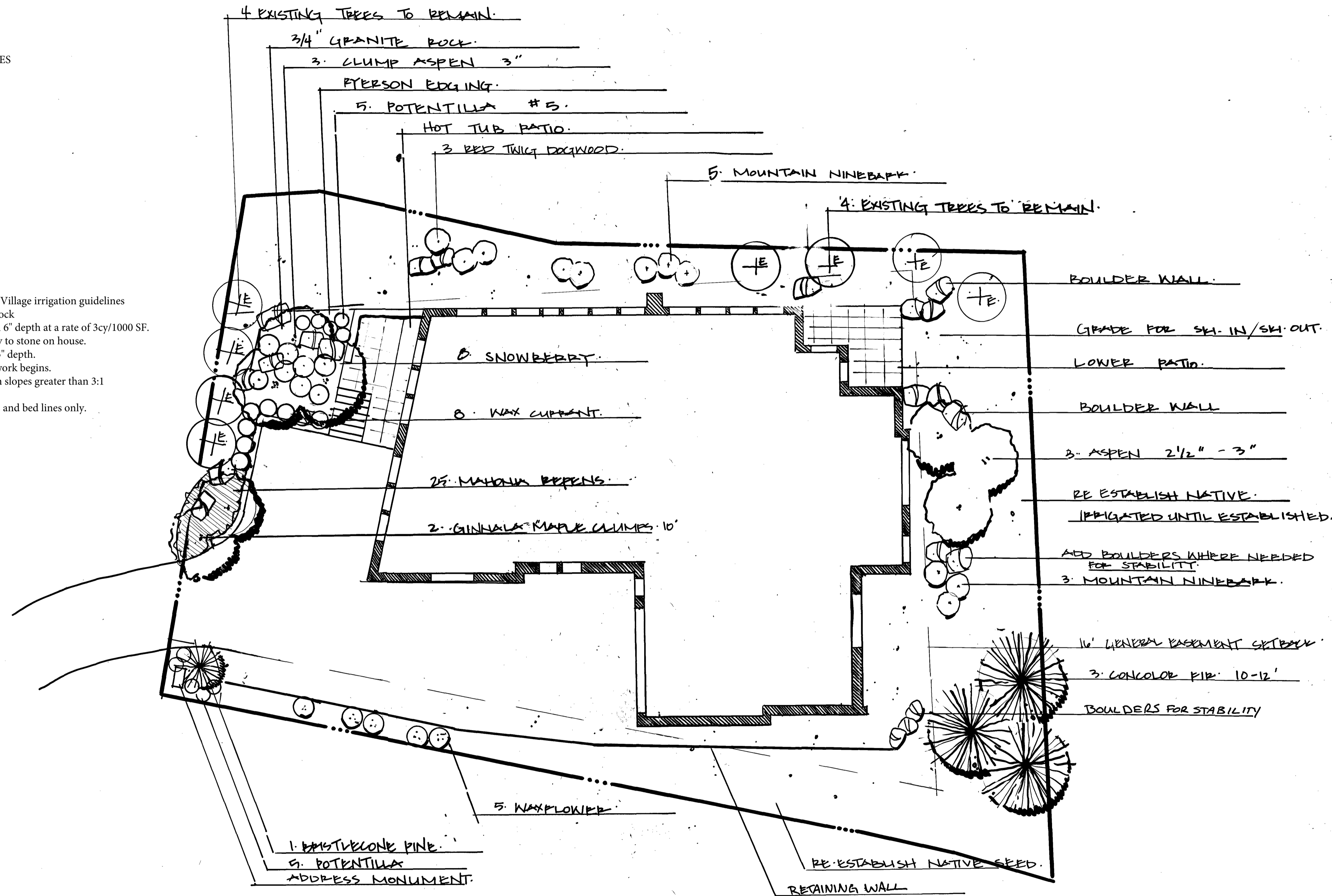


PLANTING SCHEDULE

QTY	Common Name	Scientific Name	Size	CSU- Fire Wise
TREES:				
6	Quaking Aspen	Populus Tremuloides	2.5" Clump	YES
3	Abies Concolor	Concolor Fir	10-12'	YES
1	Bristlecone Pine	Pinus Aristata	8' B&B	NO
2	Acer Ginnala	Acer Ginnala	10' Clump	YES
SHRUBS:				
25	Oregon Grape Holly	Mahonia repens	5 Gal	NO
3	Colorado Dogwood	Cornus stolonifera coloradense	5 Gal	YES
8	Scrubby Ninebark	Physocarpus monogynus	5 Gal	YES
10	Potentilla	Potentilla Fruticosa	5 Gal	YES
8	Snowberry	Symphoricarpos oreophilus	5 Gal	YES
8	Wax Currant	Ribes Cereum	5 Gal	YES
5	Waxflower	Jamesia americana	5 Gal	YES
Native Seed Mix:				
5%	Western Yarrow			
10%	Tall Fescue			
5%	Arizona fescue			
5%	Hard Fescue			
15%	Alpine Bluegrass			
10%	Canada Bluegrass			
15%	Perennial Ryegrass			
10%	Slender Wheatgrass			
15%	Mountain Brone			

General Landscape Notes:

- All new landscape will have new irrigation system following Mountain Village irrigation guidelines
- All Plant materials shall be meet the American Standard for nursery stock
- Soil amendment to be added in all disturbed areas tilled to a minimum 6" depth at a rate of 3cy/1000 SF.
- Boulders to be approved by landscape architect, and be complimentary to stone on house.
- All Landscape beds to have non-combustible rock mulch applied at a 3" depth.
- Final grading certificate should be signed off on before any landscape work begins.
- Newly seeded areas need to be protected with straw, hydromulch or on slopes greater than 3:1 use biodegradable erosion-control netting.
- All beds should be edged with roll top ryerson edging, separating grass and bed lines only.

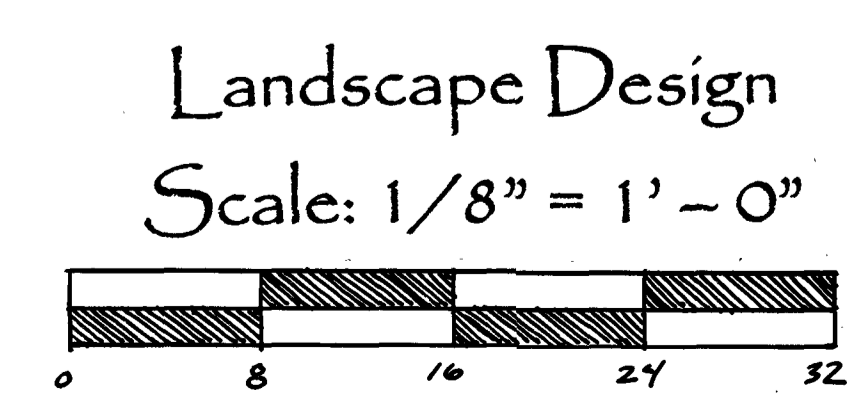


Custom Residence

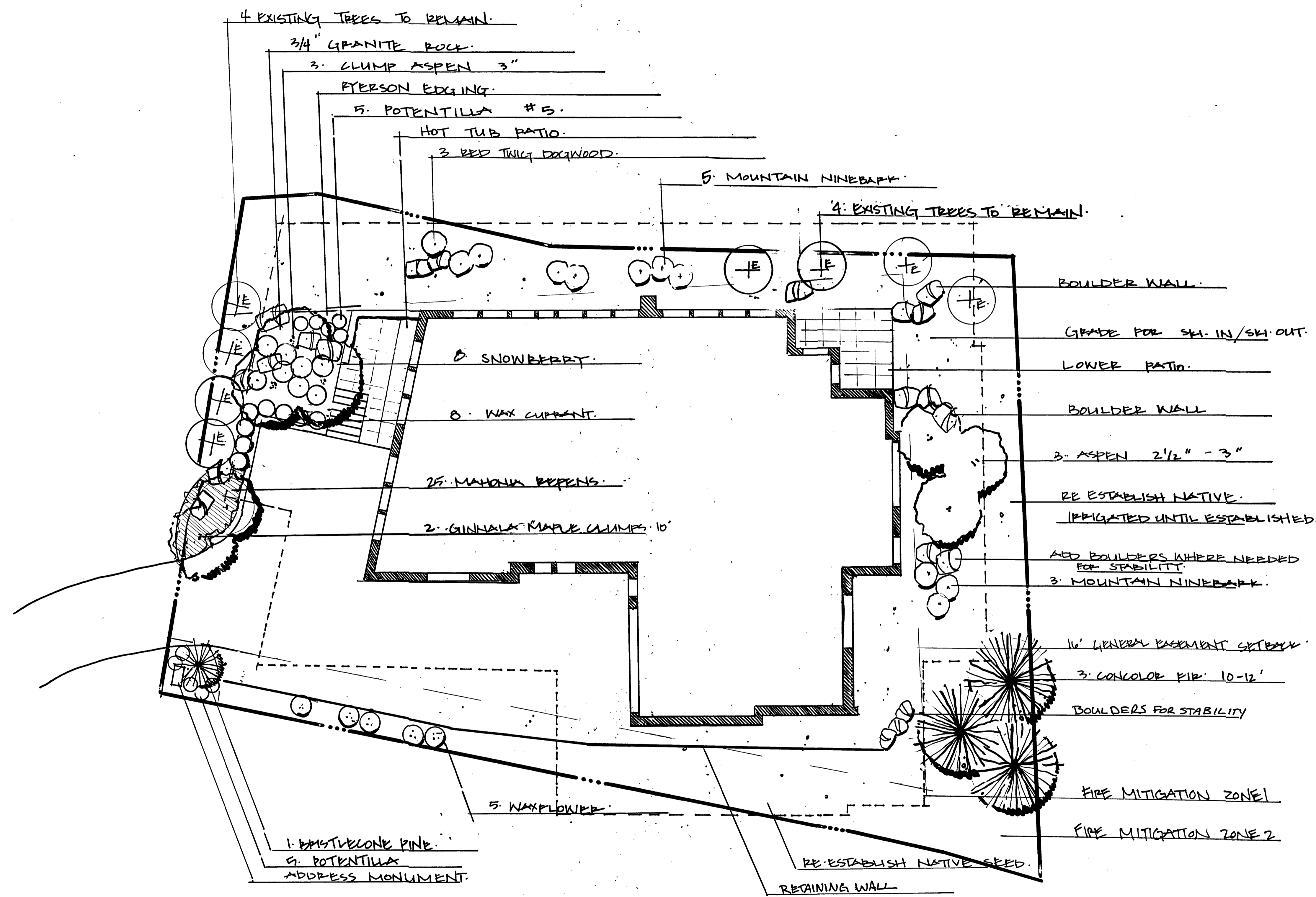
1 Stonegate
Mountain Village, Colorado 81435

DESIGNED BY:	DATE:
HOLLY TERRY	MAY 2021
REVISIONS:	
	6.15.21
	8.17.21

SCALE: 1/8" = 1'-0"	
LEGAL:	
JOB: [Arrow pointing up-left]	SHEET: 1 OF 1



THIS PLAN IS PROPERTY OF
DESIGNSCAPES COLORADO, INC.
USE OF THIS PLAN OR THE IDEAS FOUND HERE
ARE PROHIBITED WITHOUT PERMISSION OF
DESIGNSCAPES COLORADO, INC.



Custom Residence
1 Stonegate
Mountain Village, Colorado 81435

DESIGNED BY:	DATE:
HOLLY TERRY	MAY 2021
REVISIONS:	
	6.15.21
	8.17.21

SCALE:	1/8" = 1'-0"
LEGAL:	
JOB	SHEET: 1
	OF 1

Landscape Design
Scale: 1/8" = 1'-0"

THIS PLAN IS PROPERTY OF
DESIGNSCAPES COLORADO, INC.
USE OF THIS PLAN OR THE IDEAS FOUND HERE
ARE PROHIBITED WITHOUT PERMISSION OF
DESIGNSCAPES COLORADO, INC.

166AR2-2 Landscape Plan re-referral:

Looks like they made the requested adjustments. Diversity is now met. Junipers removed for wildfire safety. Looks good to me.

Mike Otto, Town Forester



AGENDA ITEM X
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board
FROM: Amy Ward, Planner
FOR: Design Review Board Public Hearing; September 2, 2021
DATE: August 18, 2021
RE: Staff Memo – Final Architecture and Site Review (FAR) Lot AR 59, 129 Adams Way

APPLICATION OVERVIEW: New Single-Family Detached Condominium on Lot AR 59

PROJECT GEOGRAPHY

Legal Description: UNIT AR-59, TIMBER RIDGE AT MOUNTAIN VILLAGE (FORMERLY THE VILLAGE AT ADMAS RANCH), A COMMON INTEREST COMMUNITY, ACCORDING TO THE PLAT RECORDED MAY 22, 2000 IN PLAT BOOK 1 AT PAGE 2715.

Address: 129 Adams Way

Applicant/Agent: Ken Alexander, Architects Collaborative

Owner: WAYNE H. FORD III AND KIM ELLIOTT

Zoning: Multi-family

Existing Use: Vacant

Proposed Use: Single Family Detached Condominium

Lot Size: 6736 s.f.

Adjacent Land Uses:

- **North:** Multi-family
- **South:** Multi-family
- **East:** Multi-family
- **West:** Single-Family

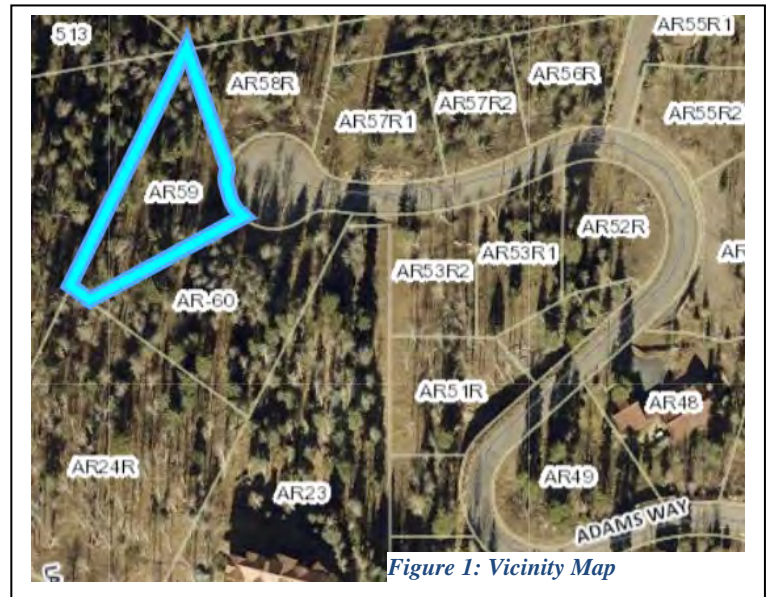


Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Lighting

Specifications

Case Summary: Ken Alexander of Architects Collaborative, Applicant for Lot AR-59, is requesting Design Review Board (DRB) approval of a Final Architectural Review (FAR) Application for a new single-family detached condominium on Lot AR-59, 129 Adams Way. The land unit is approximately 6736 s.f. (.15 ac) and is zoned multi-family. The overall square footage of the home is approximately 3,068 gross square feet and 2,389 livable square feet, and provides 2 interior parking spaces within the proposed garage.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. **Please note that Staff comments will be indicated by *Italicized Text*.**

Table 1

CDC Provision	Requirement	Proposed
Maximum Building Height	40' (gable) Maximum	38' 0"
Maximum Avg. Building Height	35' (gable) Maximum	23.89'
General Easement Setbacks	No encroachment	Grading, hammerhead
Roof Pitch		
Primary		8:12
Secondary		8:12
Exterior Material		
Stone	35% minimum	36%
Windows/Doors	40% maximum	27%
Parking	2 spaces per unit	2

Design Variation:

- 1) Window & Door material

DRB Specific Approval:

- 1) GE encroachment – grading and hammerhead

Please note, this Memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review meetings held on July 1, and August 5, 2021. For more information regarding the details of the Initial Architectural and Site Reviews please see staff memos of record dated May 28 and July 21, 2021.

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Staff: Criteria met

17.3.13: Maximum Lot Coverage

Staff: Criteria met

17.3.14: General Easement Setbacks

Lot AR-59R is platted as a "Unit" within the Timber Ridge PUD. Each "Unit" is a designated building envelope, and the rest of the lot is designated as a Limited Common Element. It should be noted that Lot AR-59R is currently in the process of a staff level subdivision to slightly adjust the boundaries of the "Unit." This replat should be finalized prior to Final Review. The current development application is utilizing the proposed newly created Unit AR-59R1 for its building envelope. The Timber Ridge Development does have a traditional

16' GE surrounding the exterior boundary of the entire PUD as well as the 16' adjacent to the road. The NW side of Unit AR-59R runs along this GE line.

Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The Driveway as shown currently takes access from Adams Way and crosses The GE to the lot.*
- *Landscaping: There is some proposed new planting surrounding the driveway within the GE as well as the address monument to the north of the driveway.*

The proposal also includes some GE encroachments requiring specific DRB approval:

- *The applicant has requested a very small amount of landscape grading at the northernmost corner of the home that extends slightly into the NW GE. If DRB finds this grading appropriate, then a specific approval should be granted.*
- *There is a proposed hammerhead off of the driveway that partially encroaches into the GE.*

At the July 1 DRB Review, staff had concerns regarding whether there could be some potential footer encroachments along the western GE, the applicant has addressed this in the revised design narrative, explaining how there will be no encroachment.

If DRB finds these encroachments allowable, then a specific approval should be granted. The owner will be required to enter into a non-revocable General Easement Agreement with the Town for any GE Encroachments approved by the DRB.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

Staff: Criteria met

17.5.5: Building Siting Design

Staff: Criteria met

17.5.6: Building Design

The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation.

Staff: The overall building design seems to meet all criteria. Windows and doors are indicated as fiberglass, this is not listed as an allowable material in the CDC, but If DRB is comfortable with the sample provide by the applicant then a design variation should be granted to allow its use. DRB seemed generally comfortable with this material at Initial Review.

17.5.7: Grading and Drainage Design

Staff: Criteria met

17.5.8: Parking Regulations

Staff: Criteria met

17.5.9: Landscaping Regulations

Staff: Criteria met

17.5.12: Lighting Regulations

Staff: The lighting plan generally seems to meet the provisions of the CDC, however, the plan indicates a wall mounted sconce (L3) that, though labeled “dark sky” at first appearance does not seem to be fully shielded, the light source could be visible through the glass panels. The applicant has provided a specification sheet that indicates a “white aluminum shade” which the applicant says will render the glass panels opaque. The latest revision of the CDC removed “opaque glass” as allowable in lighting fixtures. The applicant plans to bring a physical sample of this proposed light sconce to the final review. If DRB determines that the sconce is meeting the definition of fully shielded, then the lighting plan should be approved as proposed without necessitating any design variations. If the fixture is deemed not fully shielded than DRB could either approve it with a design variation or ask the applicant to amend the lighting plan for staff review prior to building permit.

17.5.13: Sign Regulations

Staff: Criteria met

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Criteria met

17.6.6: Roads and Driveway Standards

Staff: Criteria met

17.6.8: Solid Fuel Burning Device Regulations

Staff: Criteria met

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: Criteria met

Staff Recommendation: Staff recommends the DRB approve the Final Architectural Review for Lot AR-59, 129 Adams Way, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architectural Review for a new detached condominium located at Lot AR-59R, based on the evidence provided within the Staff Report of record dated August 18, 2021, with the following design variations and specific approvals:

Design Variation:

- 1) Window and door material

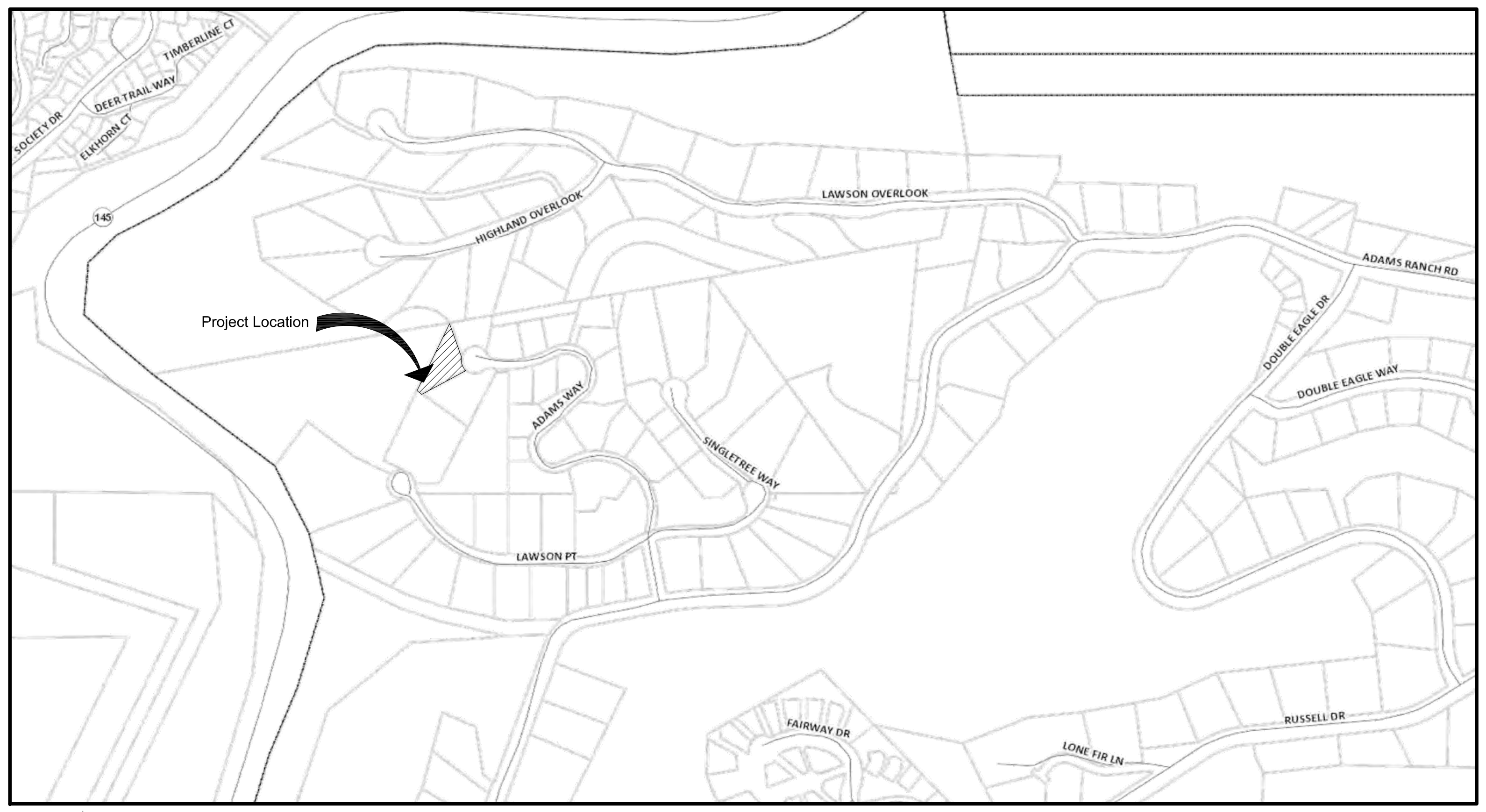
DRB Specific Approval:

- 1) GE encroachment for hammerhead and grading

And, with the following conditions:

- 1) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 2) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 3) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 4) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 5) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/aw



VICINITY MAP

DRAWING LIST:

A0	Cover Sheet	Date: July 19, 2021
C1	Improvement Survey Plat	Date: April 1, 2021
A1.1	Site Plan/Roof Plan	Date: July 19, 2021
A1.2	Utility/Grading Plan	Date: July 19, 2021
A1.3	Landscape Plan	Date: July 19, 2021
A1.4	Construction Staging Plan	Date: July 19, 2021
A2.1	Floor Plans	Date: July 19, 2021
A2.2	Floor Plans	Date: July 19, 2021
A3.1	Elevations	Date: July 19, 2021
A3.2	Elevations	Date: May 17, 2021
A3.3	Height Calcs	Date: July 19, 2021
A3.4	Height Calcs	Date: July 19, 2021
A3.5	Stone Calcs	Date: May 17, 2021
A3.6	Stone Calcs	Date: May 17, 2021
E1.1	Electrical Plans	Date: July 19, 2021

PLAN CONSULTANTS:

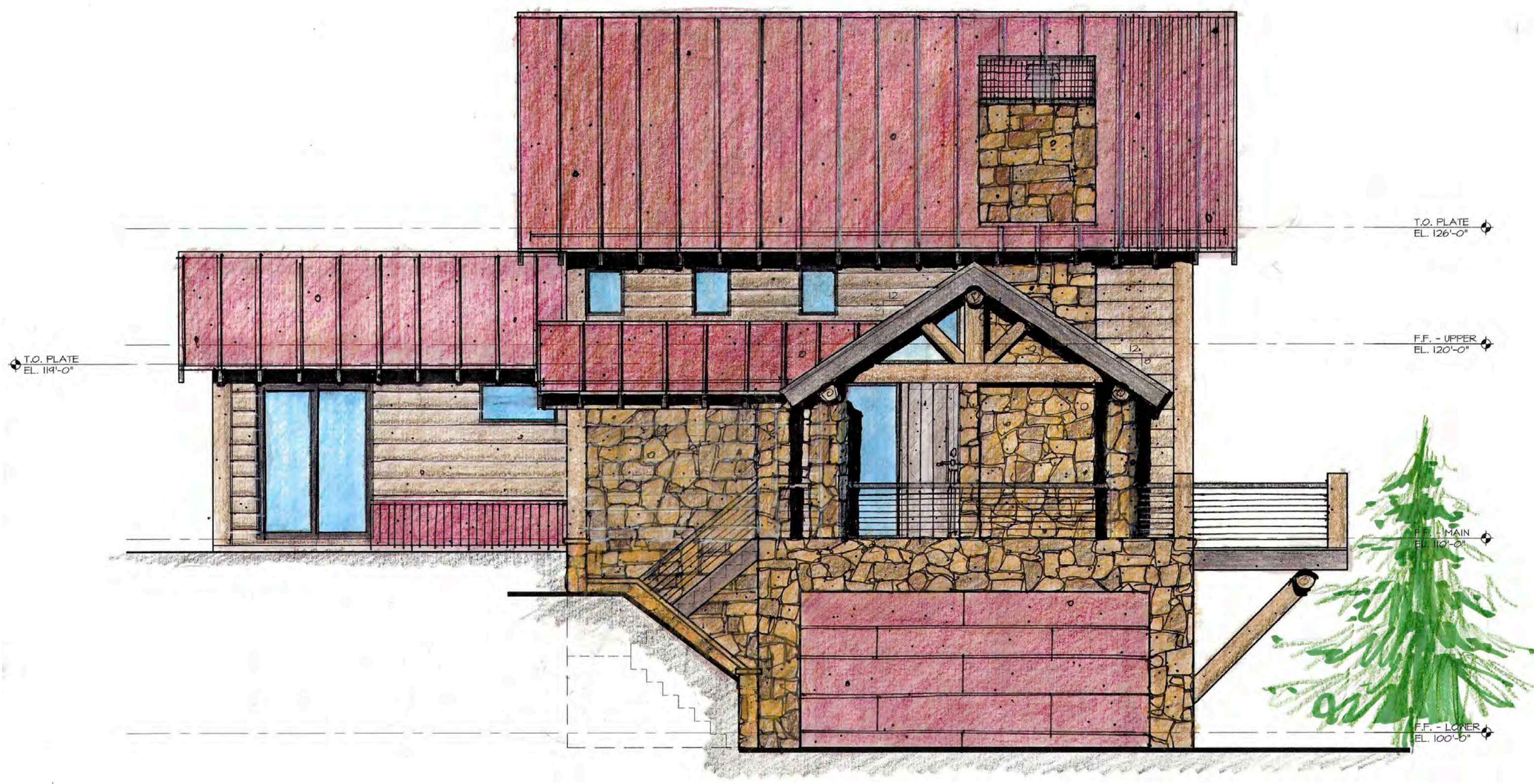
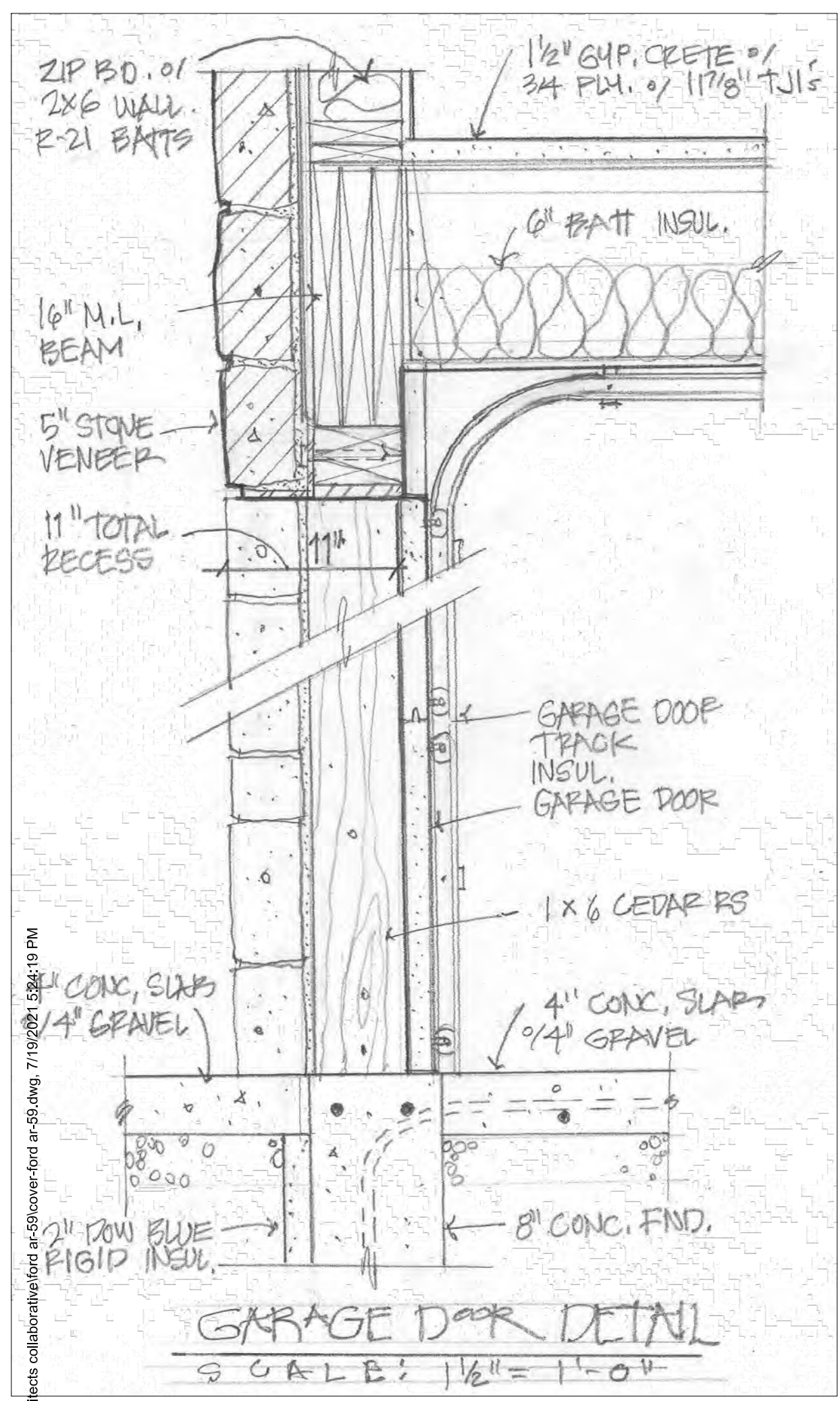
Architects Collaborative
Ken Alexander
PO Box 3954
Telluride, Colorado 81435
970-708-1076
ken@architectstelluride.com

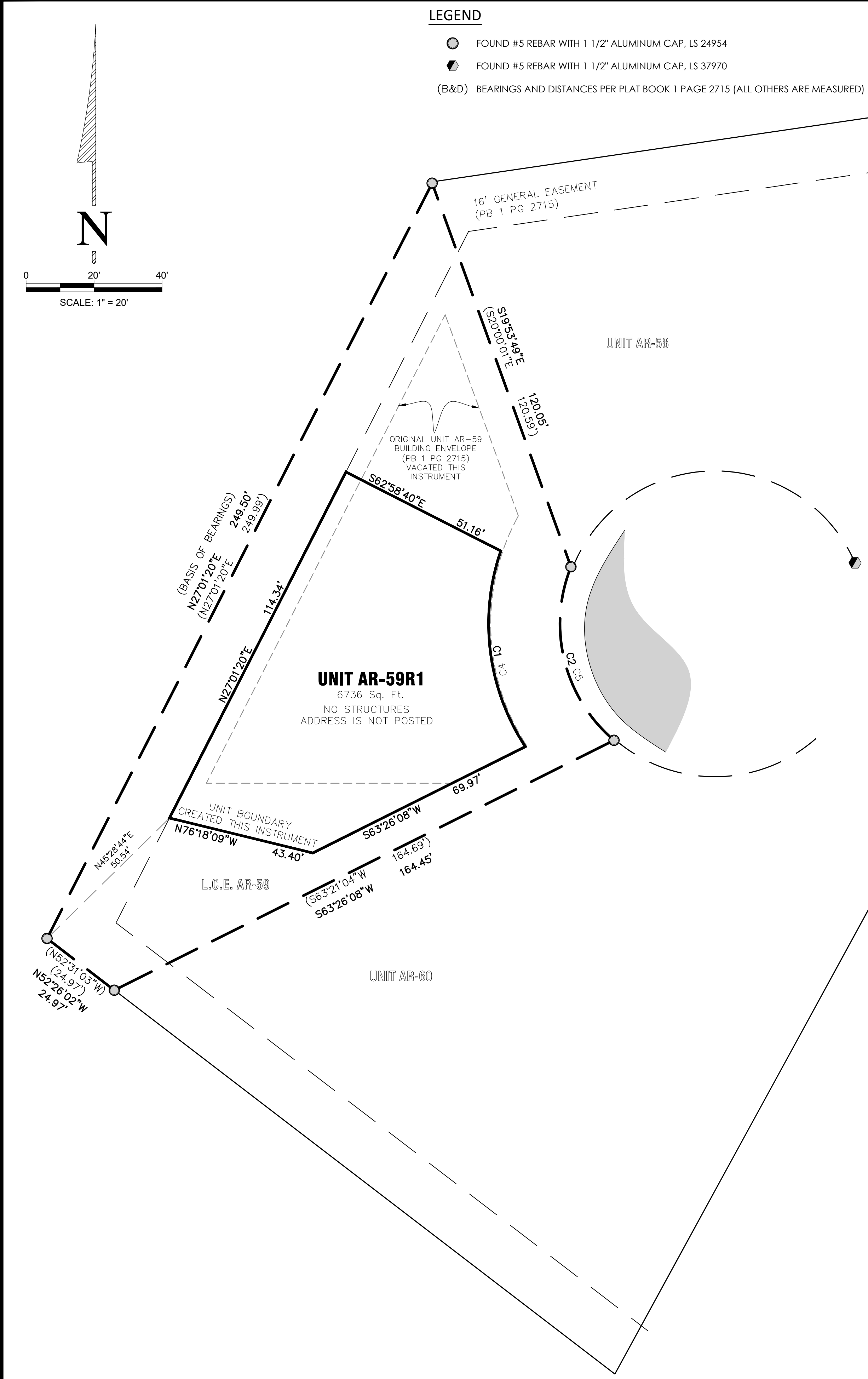
McMillian Engineering
195 S. Lena St.
Ridgeway, Colorado 81432
970-626-5113
mcmillian@ouraynet.com

San Juan Survey
PO Box 3730
102 Society Drive
Telluride, Colorado 81435
970-728-1128
office@sanjuansurveying.net

PROJECT SUMMARY

LOT SIZE:	6736 S.F.
ZONING DESIGNATION:	SINGLE FAMILY CONDOMINIUM/Common
MAXIMUM BUILDING HEIGHT:	38'/40' ALLOWED
AVERAGE BUILDING HEIGHT:	23.89'/30' ALLOWED
REQUIRED PARKING:	4 SPACES REQ'D/ 4 SPACES PROVIDED
MAXIMUM LOT COVERAGE:	18%





LEGEND

- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 24954
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 37970
- (B&D) BEARINGS AND DISTANCES PER PLAT BOOK 1 PAGE 2715 (ALL OTHERS ARE MEASURED)

NOTICE:

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

- NOTES:**
- According to Flood Insurance Rate Map: 08113C0287 D, map revised September 30, 1992, this parcel lies within Zone X (Areas determined to be outside the 500-year flood plain).
 - Fieldwork was performed November 2020, and March 2021.
 - Lineal Units U.S. Survey Feet
 - Easement research from Land Title Guarantee Copmany Order No. TLR86010134-4 Effective Date 07/42/2020 at 5:00 P.M.
 - The Basis of Bearings for this Fifth Amendment was derived from the Northwest line of the L.C.E. Unit AR-59, according to the Plat, Recorded in Plat Book 1 at page 2715, said bearing being **N 27°01'20" E**, both being found monuments as depicted on this plat.
 - The following abbreviations are defined for this Fifth Map Amendment:
C.E. Common Element
L.C.E. Limited Common Element
SQ. FT. Square Foot/Feet
 - TOTAL SQUARE FOOTAGE PER UNIT:
AR-59R1 6736 SQ. FT.

NOTICE: According to Colorado law, you must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

This Fifth Map Amendment that relocates Unit and L.C.E. boundaries in no way results in a replat of Lot C-2CR1 as same is depicted on that certain plat recorded October 27, 2005 in the Official Records at Plat Book 1, page 3558 at Reception No. 379098.

BASIS OF BEARINGS:

The Basis of Bearings for this Fifth Amendment was derived from the Northwest line of the L.C.E. Unit AR-59, according to the Plat, Recorded in Book 1 at page 2715, said bearing being **N 27°01'20" E**, both being found monuments as depicted on this plat.

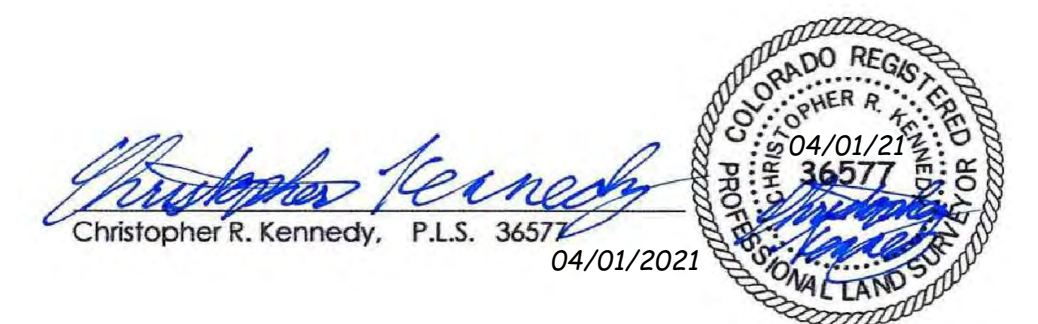
PROPERTY DESCRIPTION:

Unit AR-59, Timber Ridge at Mountain Village (formerly the Village at Adams Ranch), a Common Interest Community, according to the Plat recorded May 22, 2000 in Plat Book 1 at page 2715, and as defined and described in the Declaration recorded June 1, 1999 under Reception No. 326890, and as amended in instrument recorded June 9, 2000 under Reception No. 334770, and as amended in instrument recorded September 13, 2001 under Reception No. 343817, and as amended in instrument recorded October 27, 2005 under Reception No. 379100, and as amended in instrument recorded August 14, 2013 under Reception No. 429339, and as amended in instrument recorded August 28, 2017 under Reception No. 449950.

County of San Miguel,
State of Colorado.

SURVEYOR'S CERTIFICATE:

I, Christopher R. Kennedy of San Juan Surveying being a Colorado Licensed Land Surveyor, do hereby certify that this FIFTH AMENDMENT TO THE COMMON OWNERSHIP COMMUNITY PLAT FOR THE VILLAGE AT ADAMS RANCH was made by me and under my direct supervision, responsibility, and checking. It is true and accurate to the best of my knowledge and belief, is clear and legible, and contains all the information required by C.R.S. 38-33-3-209.



TOWN OF MOUNTAIN VILLAGE APPROVAL OF REPLAT:

I, Laila Benitez as Mayor of the Town of Mountain Village, Colorado, do hereby certify that this Replat, including the Replat Certificate, have been approved by the Town Council and that I have been authorized and directed to execute this Replat.

Town of Mountain Village, a Colorado Home Rule Municipality and Political Subdivision of the State of Colorado

By: _____
Laila Benitez as Mayor

ATTEST:

STATE OF COLORADO)
COUNTY OF SAN MIGUEL) SS

Subscribed to and acknowledged before me this _____ day of _____, 2021 by Laila Benitez as Mayor of The Town of Mountain Village.

My comission expires on _____
Witness my hand and seal.

Notary Public Date

CERTIFICATE OF OWNERSHIP:

KNOW ALL PERSONS BY THESE PRESENTS that Wayne H. Ford III and Kim Elliott, (collectively, the "Owners"), being the Owners of the Units described as follows, do hereby amend the Common Ownership Community Plat recorded June 1, 1999 at Reception No. 326884 in the San Miguel County Clerk and Recorder's real property records, as amended (the "map") for the Village at Adams Ranch (the "Community") as shows hereon (the "Fifth Map Amendment"):

PROPERTY DESCRIPTION:

Unit AR-59, Timber Ridge at Mountain Village (formerly the Village at Adams Ranch), a Common Interest Community, according to the Plat recorded May 22, 2000 in Plat Book 1 at page 2715, and as defined and described in the Declaration recorded June 1, 1999 under Reception No. 326890, and as amended in instrument recorded June 9, 2000 under Reception No. 334770, and as amended in instrument recorded September 13, 2001 under Reception No. 343817, and as amended in instrument recorded October 27, 2005 under Reception No. 379100, and as amended in instrument recorded August 14, 2013 under Reception No. 429339, and as amended in instrument recorded August 28, 2017 under Reception No. 449950.

County of San Miguel,
State of Colorado.

OWNER UNIT AR-59R1:

Wayne H. Ford III _____ Date

ACKNOWLEDGEMENT:

STATE OF COLORADO)
COUNTY OF SAN MIGUEL) SS

The foregoing Fifth Amendment to the Declaration was acknowledged before me on this _____ day of _____, 2021 by Wayne H. Ford III.

My comission expires on _____
Witness my hand and seal.

Notary Public Date

OWNER UNIT AR-59R1:

Kim Elliott _____ Date

ACKNOWLEDGEMENT:

STATE OF COLORADO)
COUNTY OF SAN MIGUEL) SS

The foregoing Fifth Amendment to the Declaration was acknowledged before me on this _____ day of _____, 2021 by Kim Elliott.

My comission expires on _____
Witness my hand and seal.

Notary Public Date

TITLE INSURANCE CERTIFICATE:

Land Title Guarantee Company does hereby certify that we have examined the title to all lands herein shown on this plat and that the title to this land is in the names of those persons shown in the Certificate of Ownership which is on the face hereof and is free of all liens and taxes, except as follows:

Dated this _____ day of _____, 2021.

Title Insurance Company Representative

COUNTY TREASURER'S CERTIFICATE:

I certify that according to the records in the San Miguel County Treasurer's Office, there are no liens against the Property included in this FIFTH AMENDMENT, or any part thereof, for unpaid State, County or Municipal ad valorem taxes or special assessments, certified to the San Miguel County Treasurer for collection.

Dated this _____ day of _____, 2021.

San Miguel County Treasurer Deputy

ASSOCIATION CERTIFICATE:

The Owners Association for the Village of Adams Ranch (the "Association"), does hereby consent to and approve the within terms, conditions, and any modifications and amendments to the Map, as the same are depicted, contained and set forth on this Fifth Map Amendment, including the deletion of Unit AR-59, the creation of AR-59R1, and all other related relocations to the boundaries and dimensions of Units and the L.C.E.s in the manner and as such amendments to the Allocated Interests consistent with same.

The consent of unit owners in the Community other than the Owners of the subject Units, is not required pursuant to the Colorado Common Interest Ownership Act including sections 38-33-3-208, -212, and -217, and the Association may allocate and assign L.C.E.s as a matter of reserved right pursuant to the Declaration, including Section 4.6(e).

IN WITNESS WHEREOF, the Association has executed this Fifth Map Amendment effective as this _____ day of _____, 2021 ("Effective Date").

ASSOCIATION:

The Owners Association for the Village of Adams Ranch, a Colorado nonprofit corporation.

By: _____ Date: _____
Name: _____ Title: _____

STATE OF COLORADO)
COUNTY OF SAN MIGUEL) SS

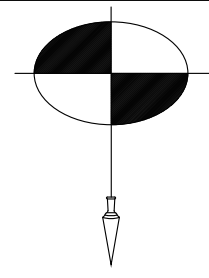
Subscribed and sworn to before me on this _____ day of _____, 2021 by _____, the _____ of the Owners Association for the Village at Adams Ranch, a Colorado nonprofit corporation.

My comission expires on _____
Witness my hand and seal.

Notary Public Date

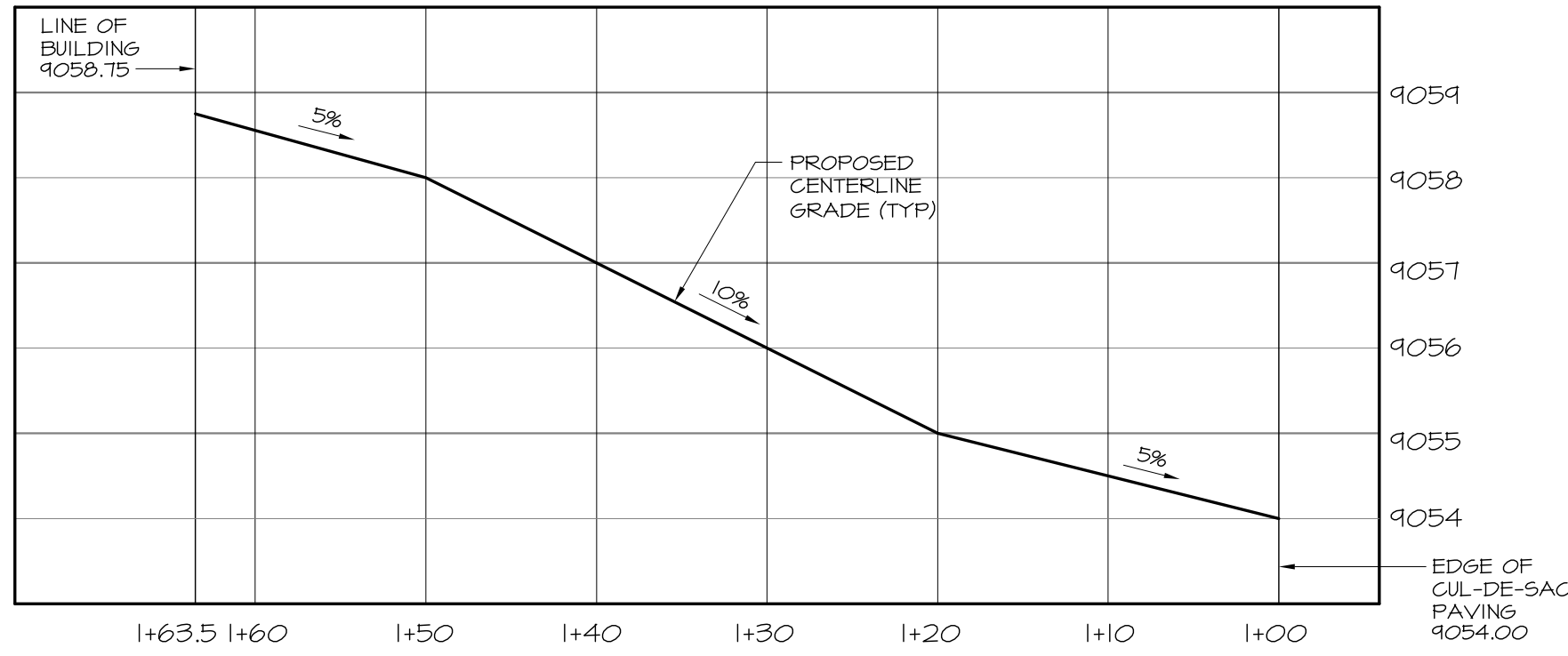
FIFTH AMENDMENT TO THE COMMON OWNERSHIP COMMUNITY PLAT FOR THE VILLAGE AT ADAMS RANCH
A COMMON INTEREST OWNERSHIP COMMUNITY
LOCATED ON LOTS C-2AR1, C-2BR1, C-2CR1, OS AR-1, OS AR-2, OS AR-3, OS AR-4 AND ADAMS WAY, REPLAT OF ADAMS RANCH AT TOWN OF MOUNTAIN VILLAGE

LOCATED WITHIN
SECTIONS 32 & 33
T43N, R9W, N.M.P.M.
COUNTY OF SAN MIGUEL
STATE OF COLORADO



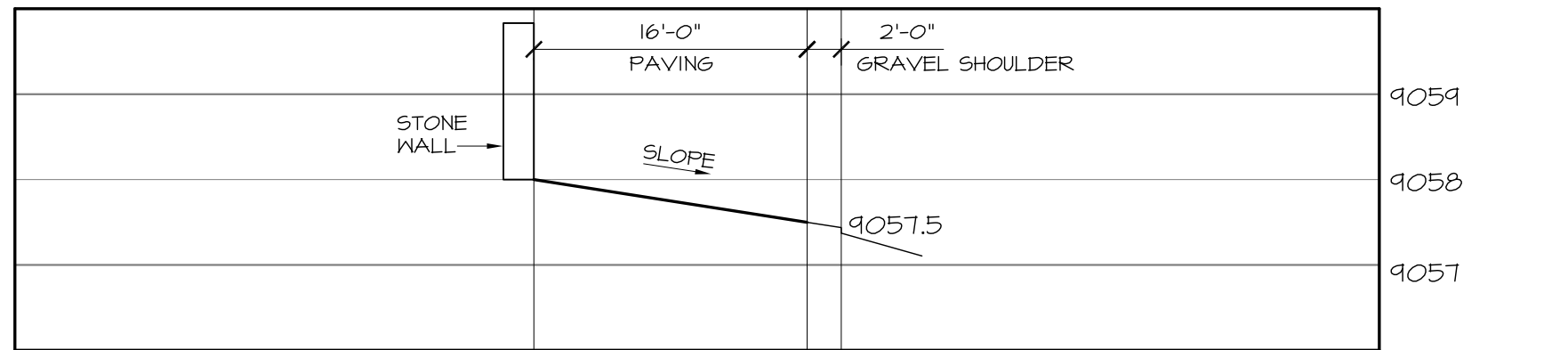
SAN JUAN SURVEYING
SURVEYING * PLANNING
102 SOCIETY DRIVE TELLURIDE, CO. 81435
(970) 728 - 1128 (970) 728 - 9201 fax
office@sanjuansurveying.net

DATE:	04/01/2021
JOB:	20041
DRAWN BY:	KSK
CHECKED BY:	CRK
REVISION DATES:	
SHEET:	1 OF 1



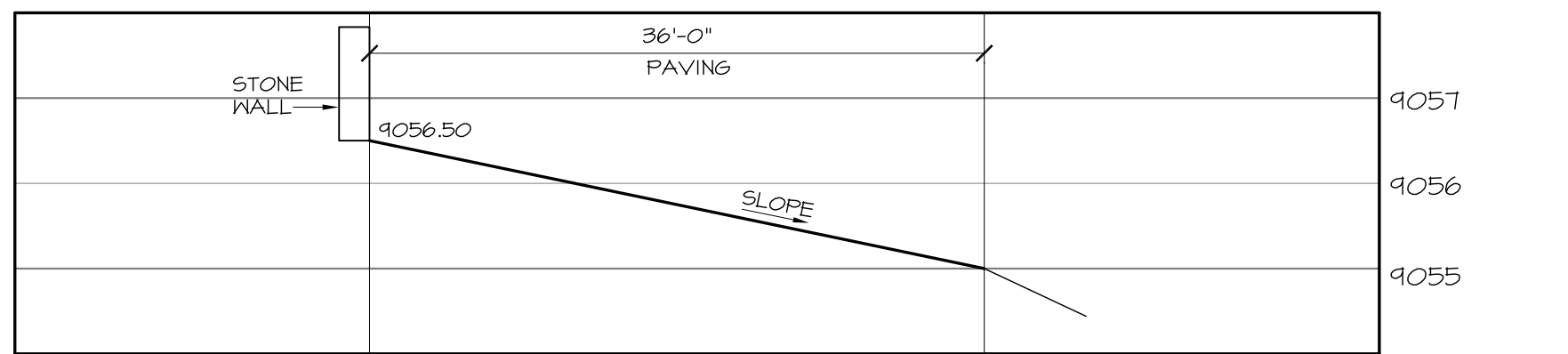
DRIVEWAY PROFILE S-1

HORIZONTAL: 1" = 10'
VERTICAL: 1" = 2'



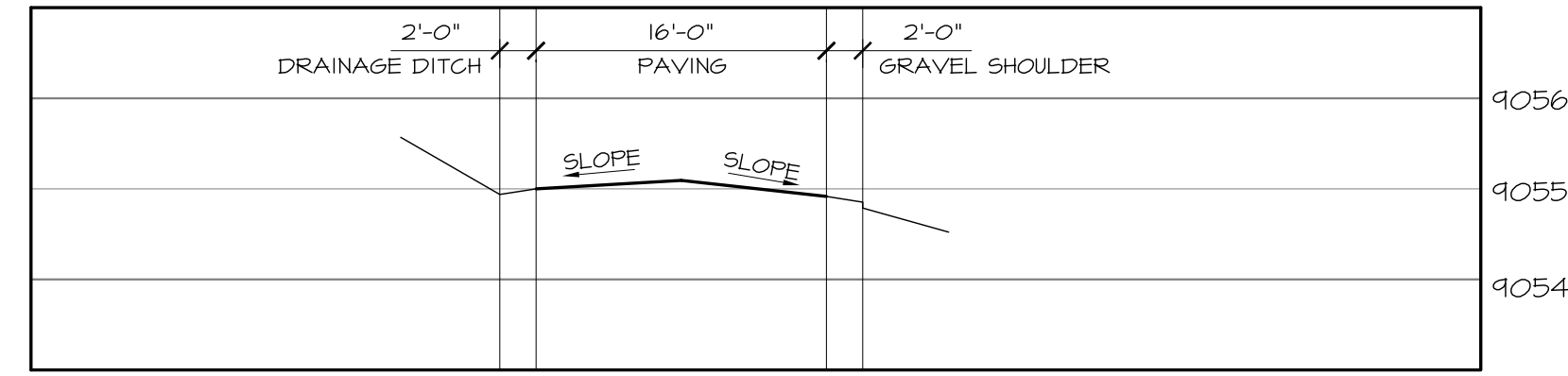
DRIVEWAY SECTION S-2 (STATION 1+45)

HORIZONTAL: 1" = 20'
VERTICAL: 1" = 2'



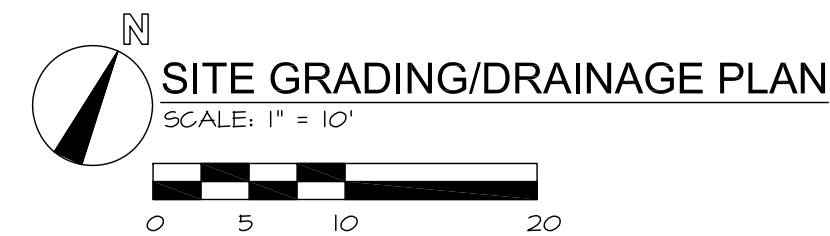
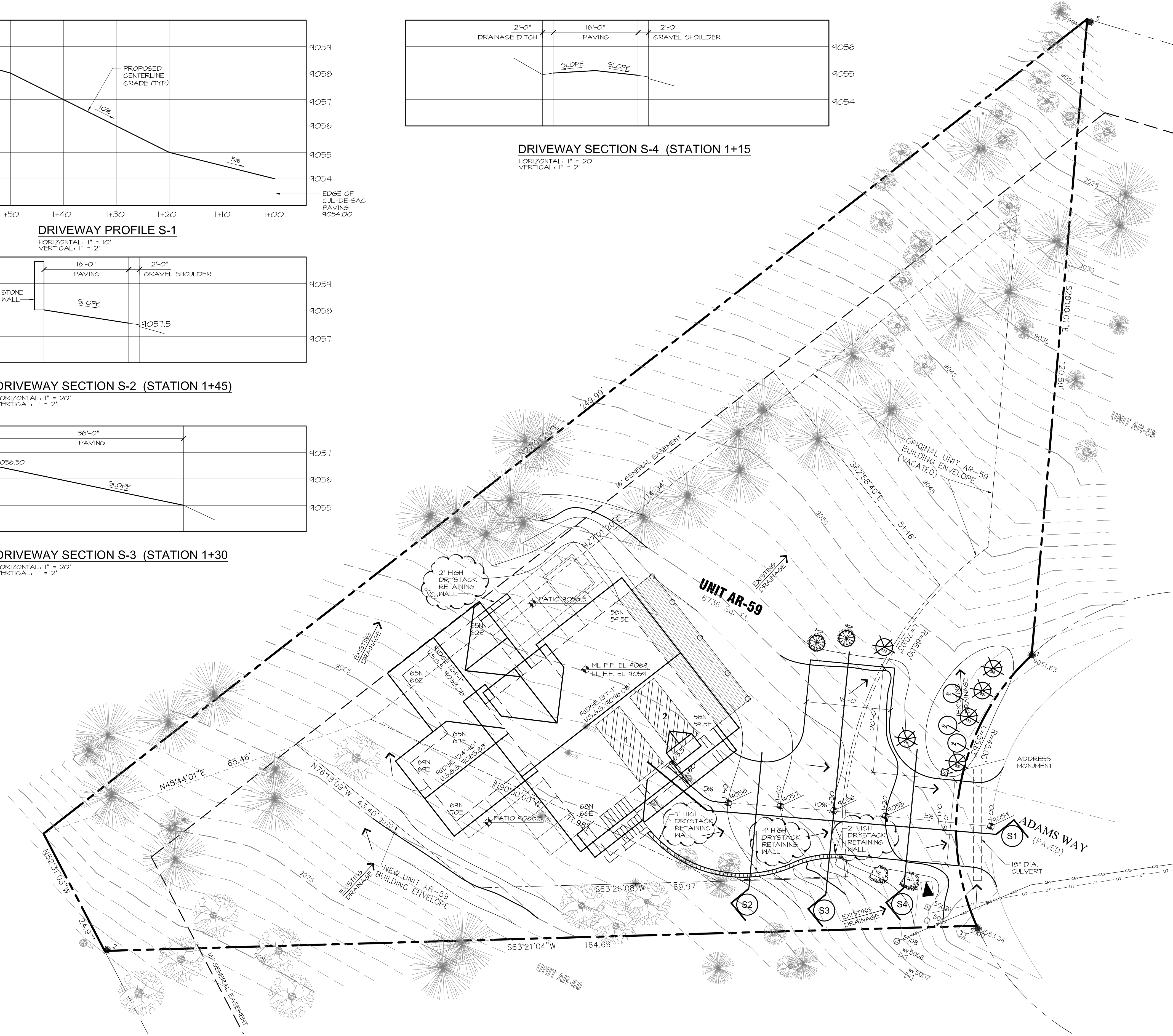
DRIVEWAY SECTION S-3 (STATION 1+30)

HORIZONTAL: 1" = 20'
VERTICAL: 1" = 2'

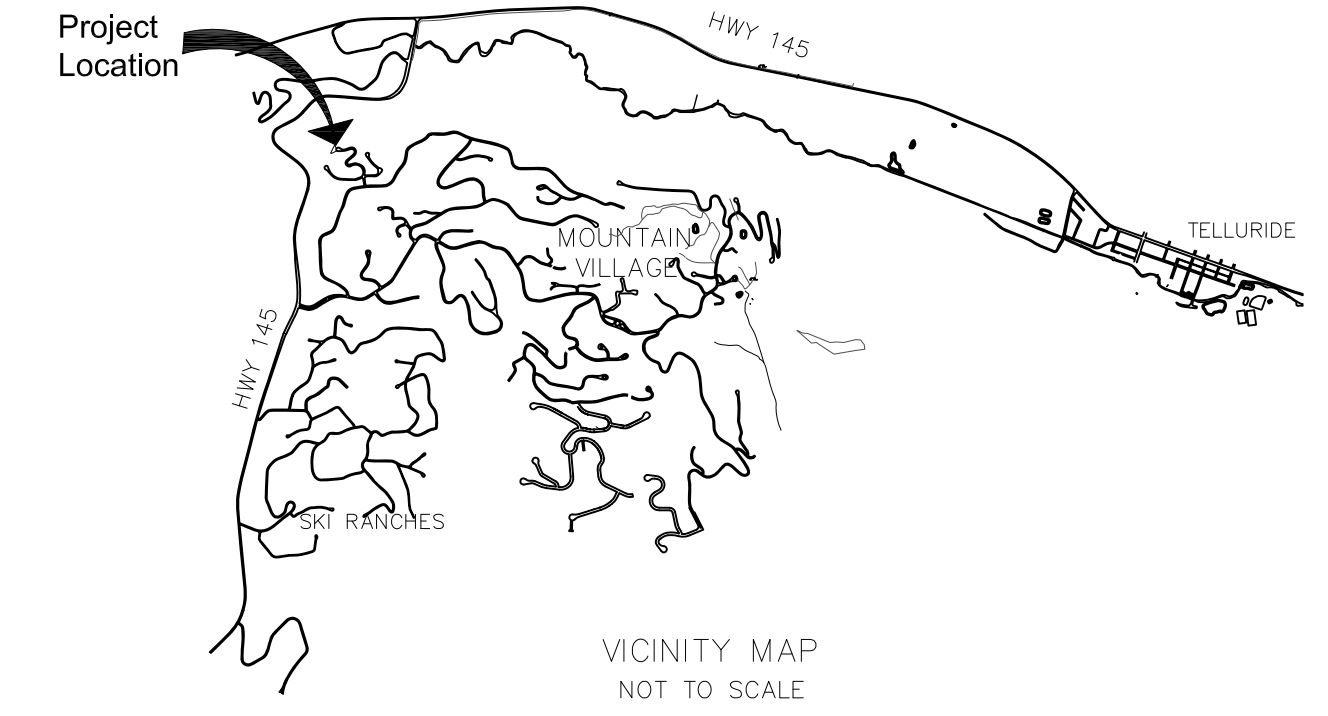


DRIVEWAY SECTION S-4 (STATION 1+15)

HORIZONTAL: 1" = 20'
VERTICAL: 1" = 2'

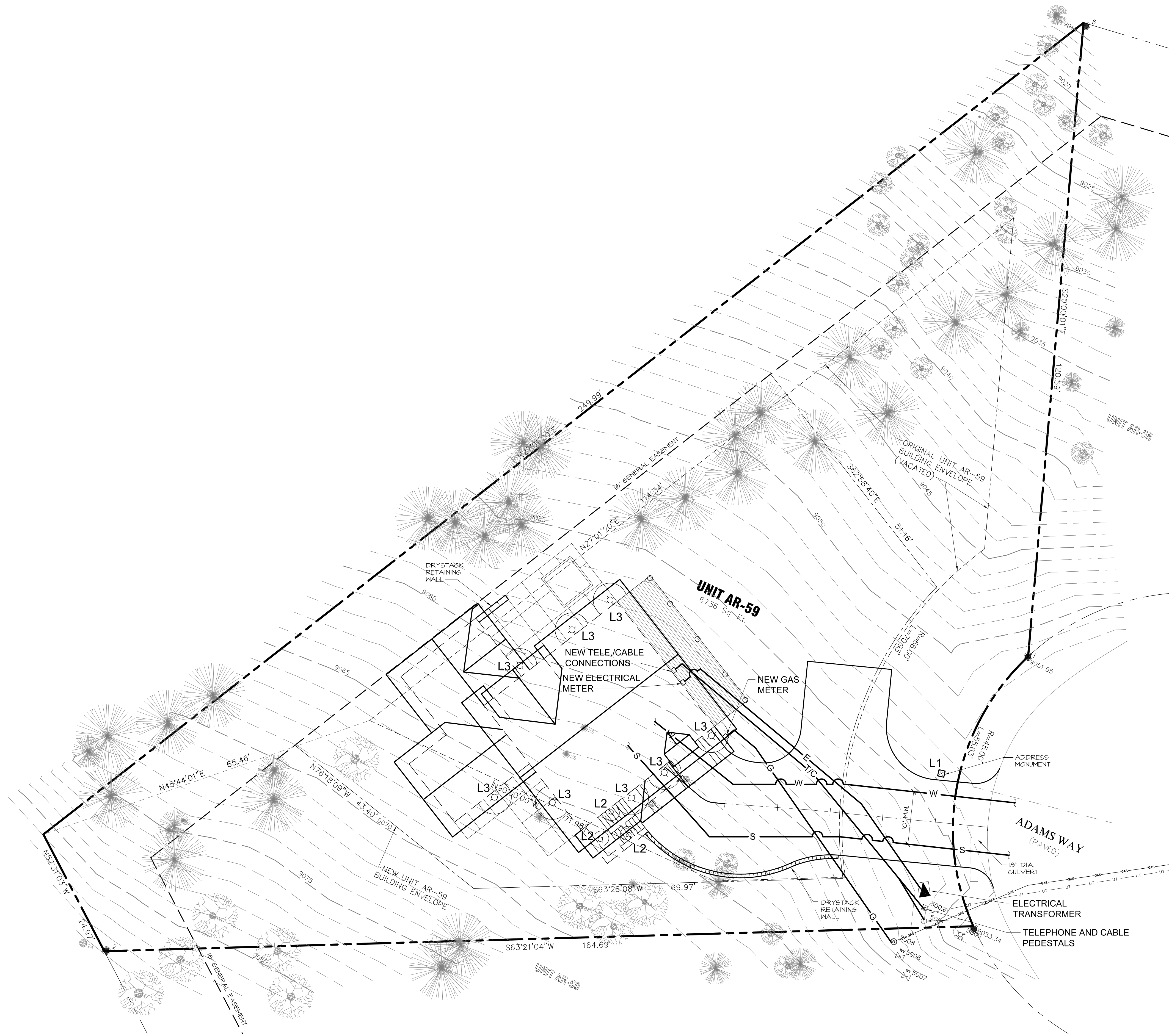


PROJECT SUMMARY
 LOT SIZE: 6736 S.F.
 ZONING DESIGNATION: SINGLE FAMILY CONDOMINIUM/Common AREA
 BUILDING HEIGHT: 38' MAX.
 AVERAGE BUILDING HEIGHT:
 REQUIRED PARKING: 4 SPACES REQ'D / 4 SPACES PROVIDED
 BUILDING COVERAGE: 2562 S.F.
 TOTAL COVERAGE PERCENT: 38%

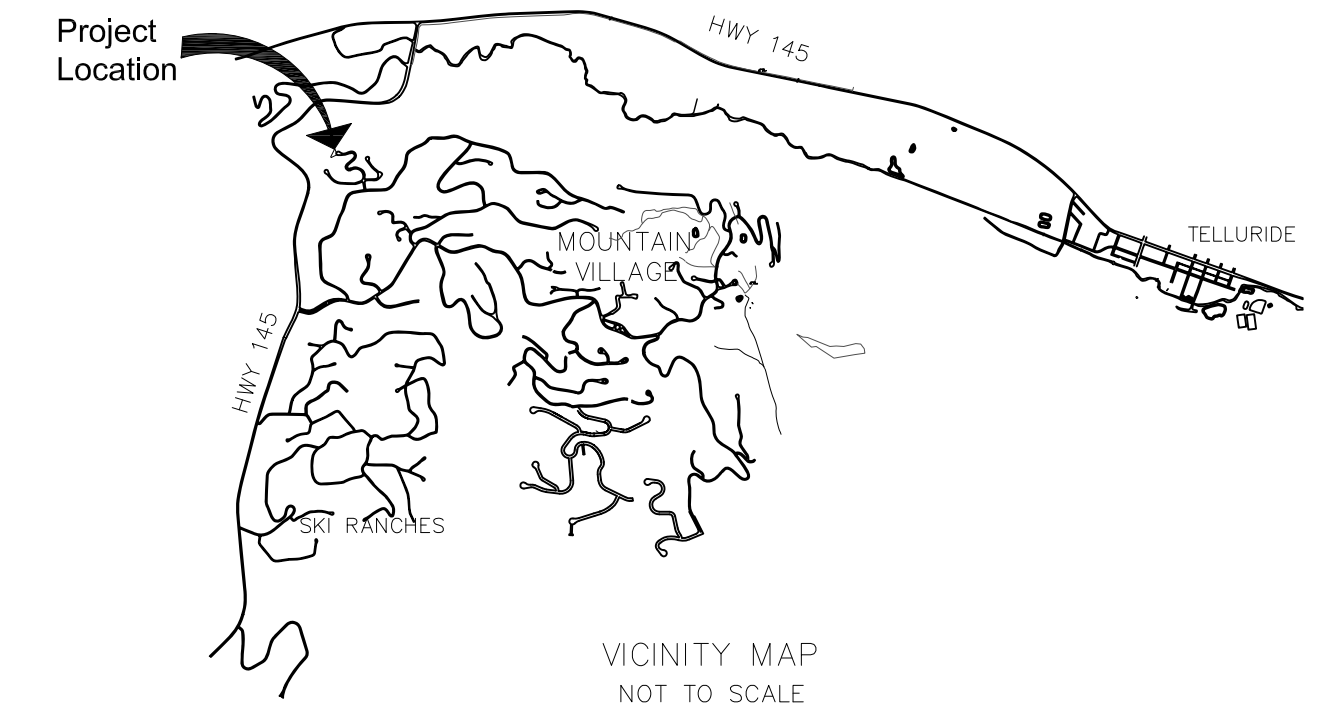


Bradley D. Nicholson

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SITE UTILITY AND EXTERIOR LIGHTING PLAN
 SCALE: 1" = 10'
 0 5 10 20



517001 Modern Forms Square 10" High Bronze LED Outdoor Wall Light - #592D | Lamp 78w

Modern Forms Square 10" High Bronze LED Outdoor Wall Light \$239.00 ADD TO CART

Modern Forms Square 10" High Bronze LED Outdoor Wall Light - Style B 592D

1 Review | 5 Questions, 9 Answers

\$239.00

FREE SHIPPING & FREE RETURNS* | [Low Price Guarantee](#)

1 ADD TO CART SAVE

or 4 interest-free payments of \$59.75 with [eZZILE](#)

Check Store Availability | Question? Ask a Store Associate

Open Box Available

PRODUCT DETAILS

Complete a modern aura in any entryway with the sleek geometric silhouette of this bronze outdoor wall light.

Additional Info:

Sleek and modern, this outdoor wall light from Modern Forms makes a bold statement. Featuring a warm bronze finish, the square silhouette casts a cascading glow throughout any entryway while remaining ADA-compliant. Create a charming aura with the dimming capabilities of the energy-efficient LED lights, complete with an electronic low voltage dimmer.

- 10" wide x 10" high. Extends 2 1/2" from the wall.
- Backplate is 9 1/2" high x 9 1/2" wide x 3/4" deep.
- Includes one dimmable 15 watt high-powered replicable LED module: 720 lumen light output, comparable to a 60 watt incandescent. 3000K color temperature. 90 CRI.
- Energy-efficient LED outdoor wall light from the Square collection by Modern Forms.
- Bronze finish over solid aluminum construction.
- ADA compliant design.

Shop all Modern Forms

https://www.lamps.com/products/modern-forms-square-10-high-bronze-led-outdoor-wall-light_592D.html

TYPE L1 - ADDRESS MONUMENT LIGHT CUT SHEET

LEGEND

- SCNCE INCANDESCENT (+7' ABOVE GRADE)
- (9) NIGHT SKY DOWNLIGHTS (+7' ABOVE DECK)



Bradley D. Nicholson

REVISIONS:
 4-13-21
 5-17-21
 6-14-21
 6-16-21
 7-14-21

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 C: 970-706-1076

Unit AR-59 Timber Ridge at Mountain Village
 TBD Adams Way, Mountain Village
 San Miguel County, Colorado

DATE:
 1.27.21

SHEET
 A1.2
 Unit AR-59

LANDSCAPE GENERAL NOTES:

1. SOIL PREPARATION

Topsoil will be stripped, stored on site, and spread to a minimum depth of four inches. Soil amendments of manure and peat moss are to be rototilled into all areas to be sodded and three cubic yards per thousand square feet.

2. PLANTINGS AND PLANT MATERIAL

All plant material will be required to meet the American Standard for Nursery Stock. All plantings will meet the standards of the Associated Landscape Contractors of Colorado- Reference schedule and plan for quantity and locations.

3. SODDING

All sodded areas will be bluegrass. Preparation of soils will include topsoil and rototilling to a depth of six to 8 inches. Sodded areas will be irrigated, see IRRIGATION.

4. TOWN OF MOUNTAIN VILLAGE PREFERRED LANDSCAPE # RE-VEG MIXES (2002)

NATIVE MIX (GENERAL RE-VEG)			
Western Tarron	5%	Alpine Bluegrass	15%
Tall Fescue	10%	Canada Bluegrass	10%
Arizona Fescue	5%	Perennial Ryegrass	15%
Hard Fescue	5%	Slender Wheatgrass	10%
Creeping Red Fescue	10%	Mountain Brome	15%

UPLAND MIX (MELANDS BUFFER MIX)

Arizona Fescue	14%
Alpine Bluegrass	14%
Slender Wheatgrass	38%
Mountain Brome	36%

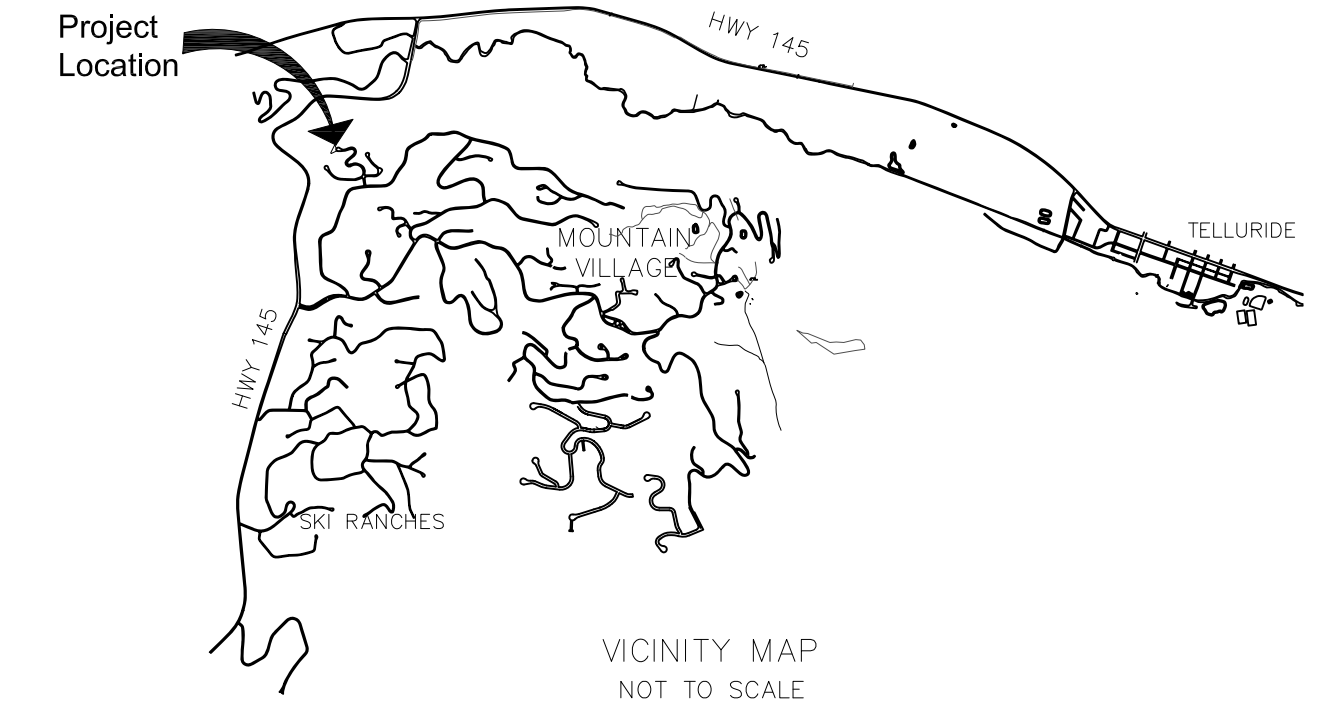
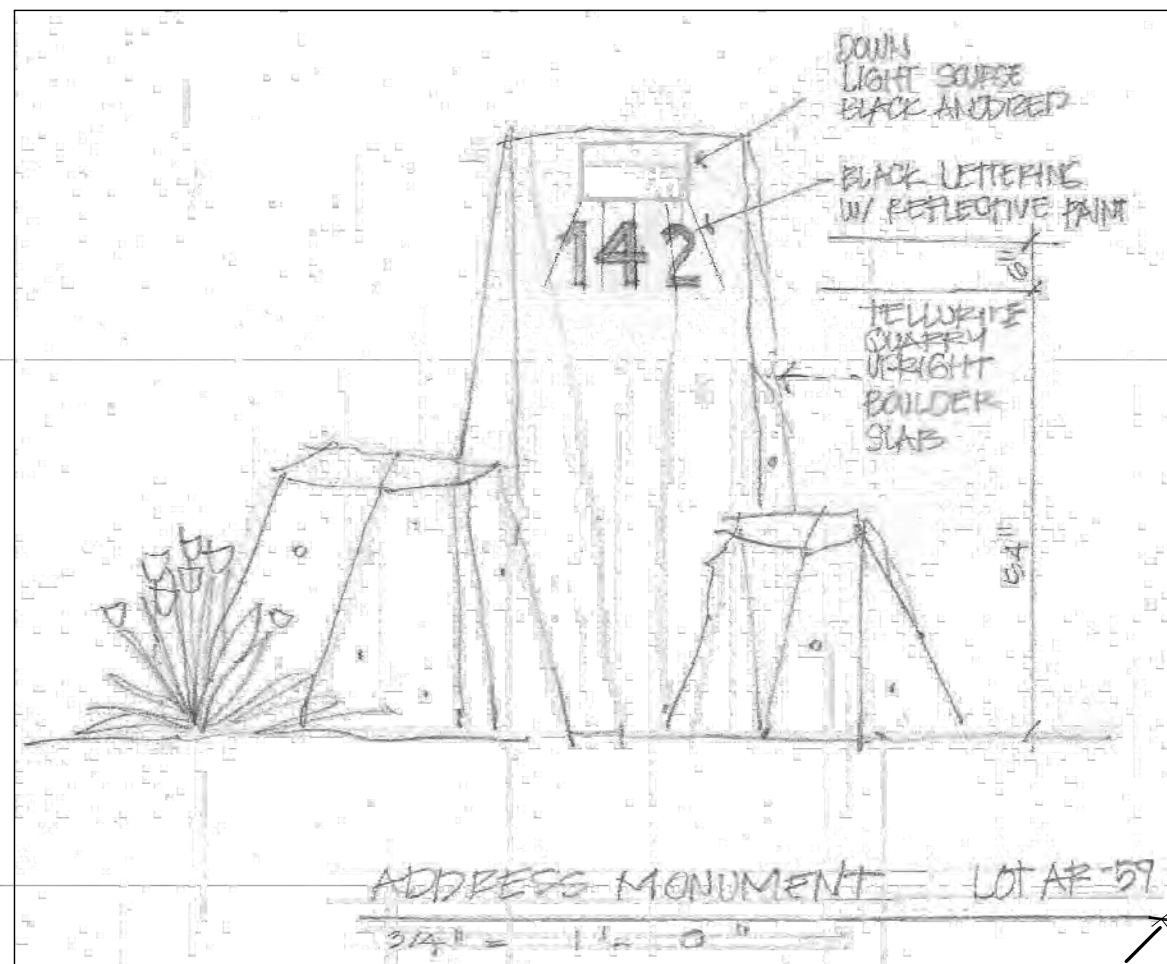
In areas to be seeded soil will be scarified and/or the topsoil replaced. Newly seeded areas will be mulched by straw, hydro-mulch, or erosion control netting on slopes steeper than 3:1.

5. IRRIGATION

Automatic irrigation will be provided in sodded areas and flower beds with a pop-up sprinkler system and drip irrigation respectively. Reference plan for design.

6. PLANT GUARANTEE

Landscape installation to provide a two-year guarantee on all newly planted material.



NOTES:

- PROPERTY OWNERS AGREE TO PROVIDE (2) YEAR PLAN GUARANTEE ON ALL PLANT MATERIALS.
- ALL AREAS DISTURBED BY CONSTRUCTION TO BE REVEGETATED TO NATURAL STATE PER MOUNTAIN VILLAGE APPROVED SEED MIX.
- PLAN SHALL COMPLY WITH SECTION 9-104 OF DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.
- ALL EXISTING TREES IN THE FIRE MITIGATION ZONE 2 WILL BE TRIMMED TO A HEIGHT OF 10' ABOVE GRADE.

RE-VEGETATION NOTES:

- ENTIRE SITE CLEARED OF STANDING DEAD.
- WOOD CHIP PILES OF EXISTING SLASH 4 REMOVE CHIPS.
- SEE CONSTRUCTION STAGING PLAN FOR FENCING.
- ALL AREAS TO BE REVEGETATED BEFORE CONSTRUCTION BEGINS EXCEPT HOME SITE.
- REVEGETATED AREAS WILL HAVE TEMPORARY BROADCAST IRRIGATION FOR THE FIRST SEASON.
- THE NEWLY PLANTED TREES WILL BE PROVIDED WITH FLOOD IRRIGATION FOR THE FIRST 2 SEASON UNTIL ESTABLISHED.

IRRIGATION LEGEND

Check Valve	- Fetco 825Y Double Check device
Station Timer	- Toro Vision II (8) station electronic timer
Gate Valve	- Fetco gate valve - Provide hose bib for winterization of entire system
Ball Valve	- Fetco ball valve - Provide for manual shut down of system
Electronic Control Valve	- Toro series 250 electronic control valve with flow control
Drip Tubing	- Dura-pol blue strip drip tubing - 1/2"
Main Line	- Class 200 PVC
Laterals	- 80# NSF Polyethylene
Sprinkler head	- Toro series 570 pop-up sprinkler head with PGD Nozzles

Notes:

- Irrigation System to be designed to 50 psi
- Main line to be class 200 PVC, 12" min. Depth
- Lateral lines to be 80 Poly 6 min. depth
- All wire to be #14 UF with dri-splice connectors
- Provide backflow prevention device at check valve
- Slope mainline for positive winter drainage provide manual drain valves at all low points
- Provide Hose bib hook up for winterization of entire system.
- Provide 2" sleeving under all paved surfaces

SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE
QA	3	Quaking Aspen	Populus tremuloides	3" - 3.5"
BS	6	Colorado Blue Spruce	Picea pungens	8" - 10"
BCP	2	Rocky Mountain Bristlecone Pine	Pinus aristata	5 gal.
CC	2	Chokecherry	Prunus virginiana	5 gal.
SP	0	Sub-alpine Fir	Abies lasiocarpa	5 gal.
TJ	0	Tam Juniper	Juniperus sabinia	5 gal.
HJ	0	Horizontal Juniper	Juniperus horizontalis	1 gal.
////		Assorted Perennials		

Notes:

- Perennials are:

COMMON NAME	BOTANICAL NAME
Snow on the Mountain	Aegopodium podagraria variegatum
Columbine, Alpine	Aquilegia alpina
Columbine, Rocky Mountain	Aquilegia canadensis
Alpine Aster	Aster alpinus
Calendula	Calendula officinalis
Snow-in-summer	Geranium tomentosum
Painted Daisy	Chrysanthemum coccineum
Delphinium	Delphinium sp.
Pinks, Spotted	Dianthus, alwoodii
Sweet William	Dianthus barbatus
Purple Coneflower	Echinacea purpurea
Daylily, Yellow	Hemerocallis "Hyperion"
Iris, Pink Bearded	Iris x germanica
Rocky Mountain Iris	Iris missouriensis
Iris, Blue Siberian	Iris sibirica "Gosau's Brother"
Yellow Flax	Linum flavum
Blue Flax	Linum lewisii
Flax, Blue	Linum perenne
Native Lupine	Lupinus parviflorus
Russell's Lupine	Lupinus polyphyllus
Engelmann Ivy	Parietaria alpinum
Alpine Parsieman	Thymus pseudo-lanuginosus
Thyme, Hooley	Thymus pseudo-lanuginosus
Pansy, Blue Tufted	Viola cornuta "Blue Perfection"
Violet, Corsican	Viola Corsica
- Provide 6" - 8" of topsoil in all planting beds.
- All trees to be staked and guyed.
- Areas of re-vegetation are to be determined after construction is completed.



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REVISIONS:
5-17-21
6-14-21
6-16-21
7-14-21

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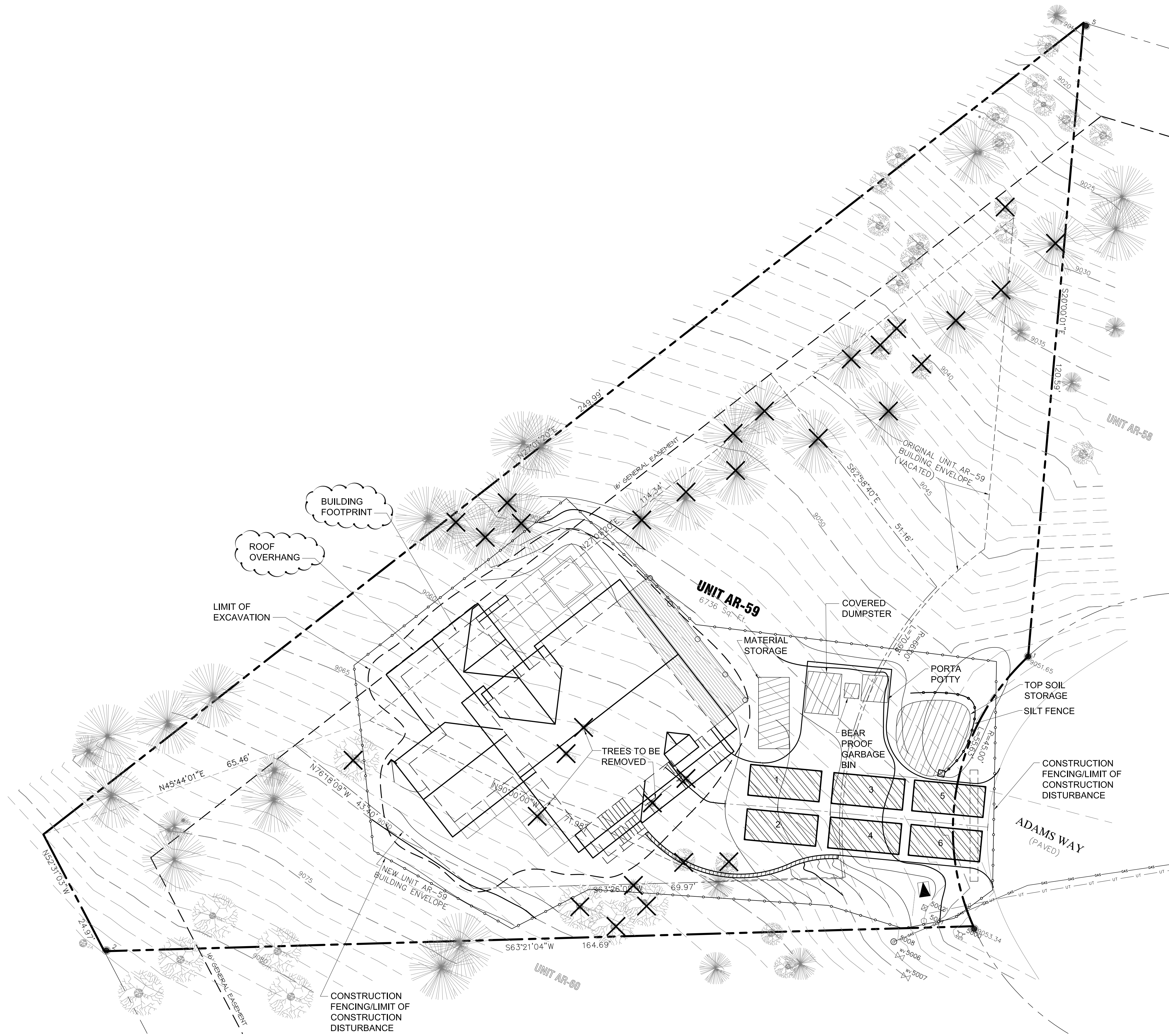
Unit AR-59 Timber Ridge at Mountain Village
TBD Adams Way, Mountain Village
San Miguel County, Colorado

DATE:
1.27.21

SHEET
A1.3
Unit AR-59

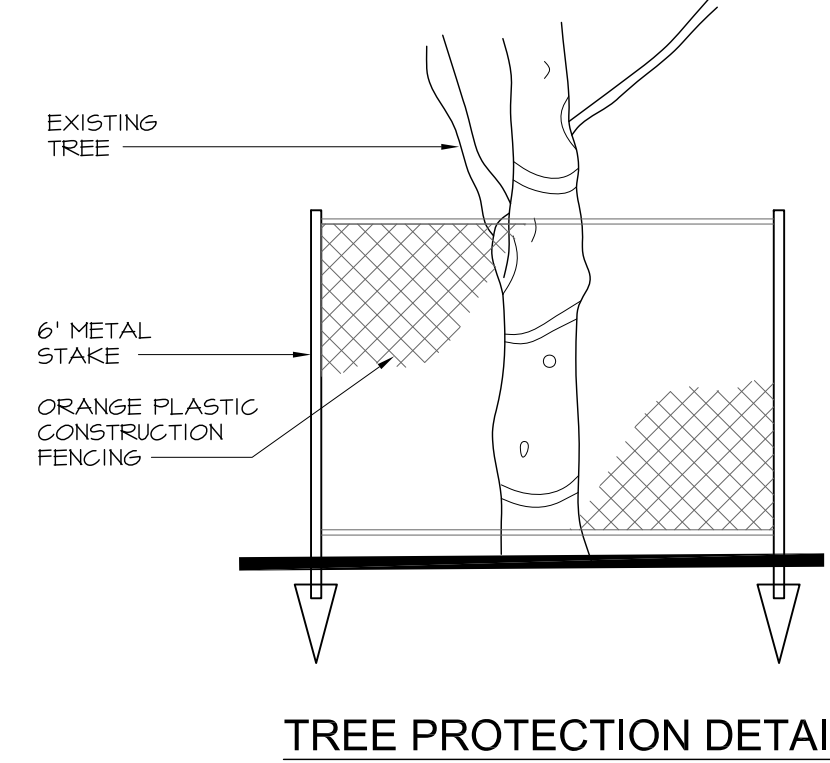
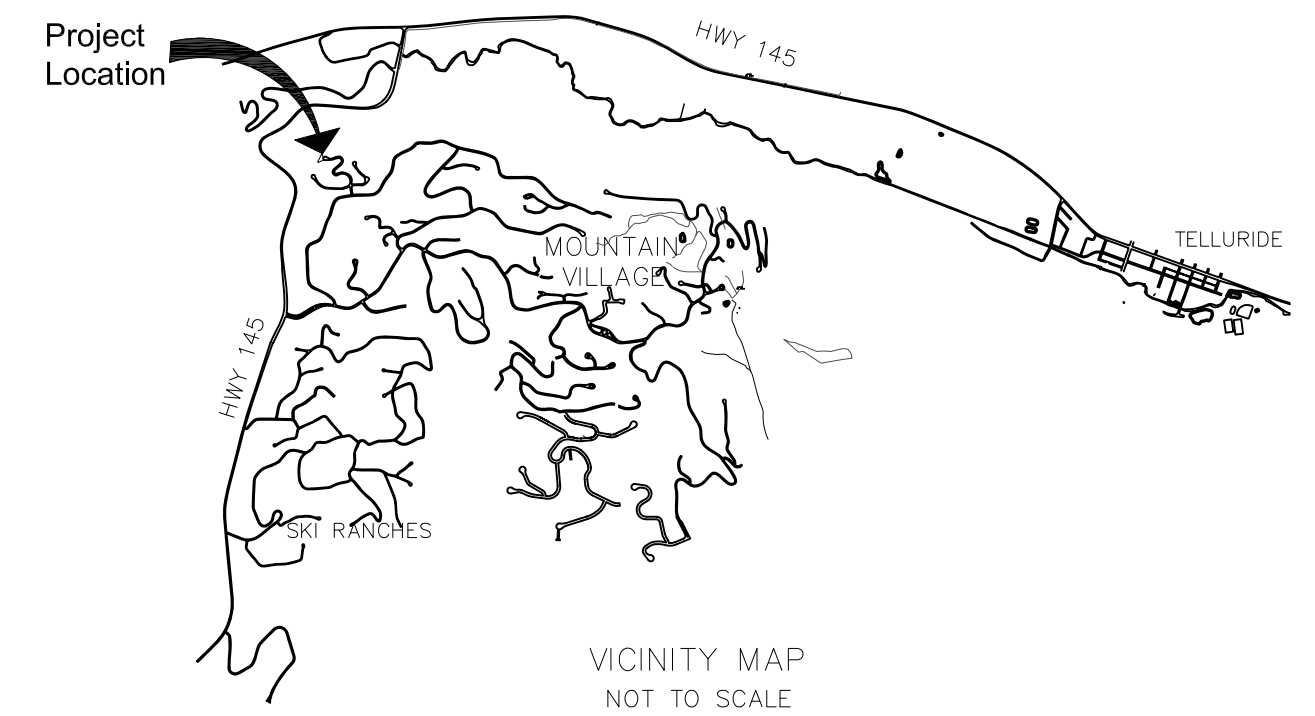


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CONSTRUCTION STAGING PLAN
 SCALE: 1" = 10'
 0 5 10 20

NOTES:
 EXISTING TREES TO BE REMOVED
 IMMEDIATELY, ADD SLASH MATERIAL
 BY EXCAVATOR



REVISIONS:
 5-17-21
 6-14-21
 6-16-21
 7-14-21

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DATE:
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SHEET
 A1.4
 Unit AR-59

REVISIONS:
 3-4-21
 4-10-21
 5-19-21
 7-14-21

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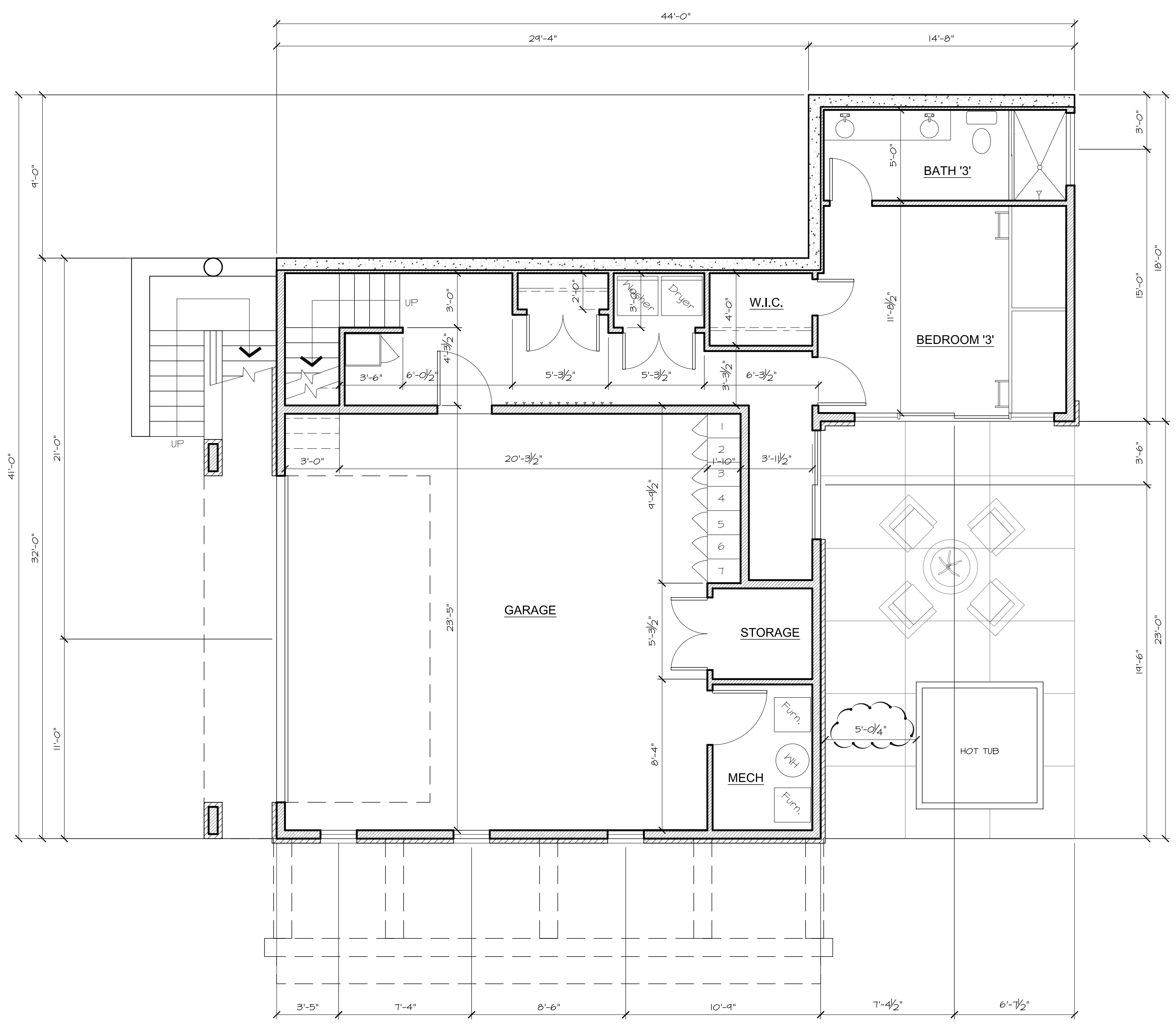
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Unit AR-59 Timber Ridge at Mountain Village
 TBD Adams Way, Mountain Village
 San Miguel County, Colorado

DATE:
 1.27.21

SHEET
 A2.1
 Unit AR-59

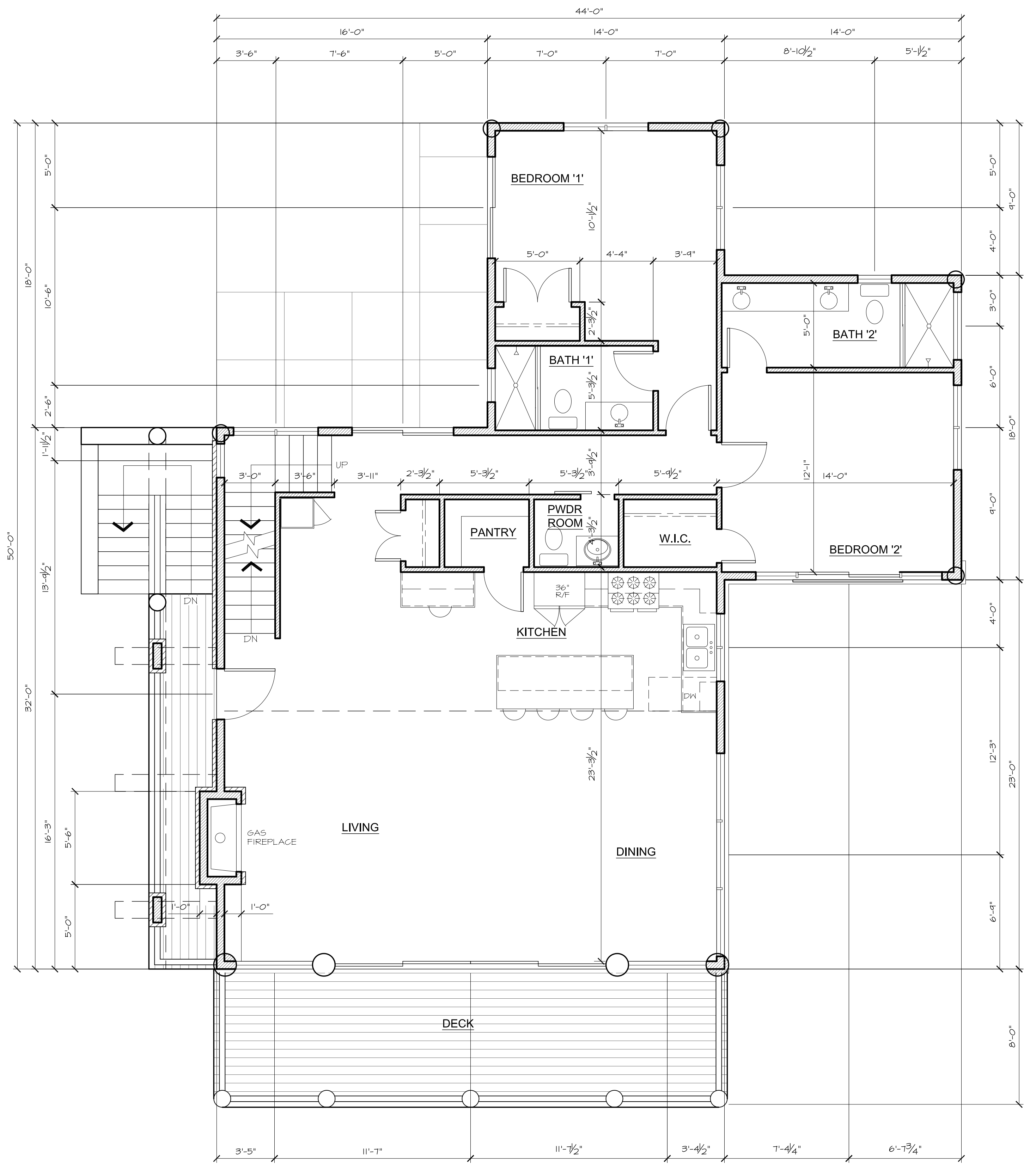
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FLOOR PLAN - LOWER LEVEL
 SCALE: 1/4" = 1'-0"

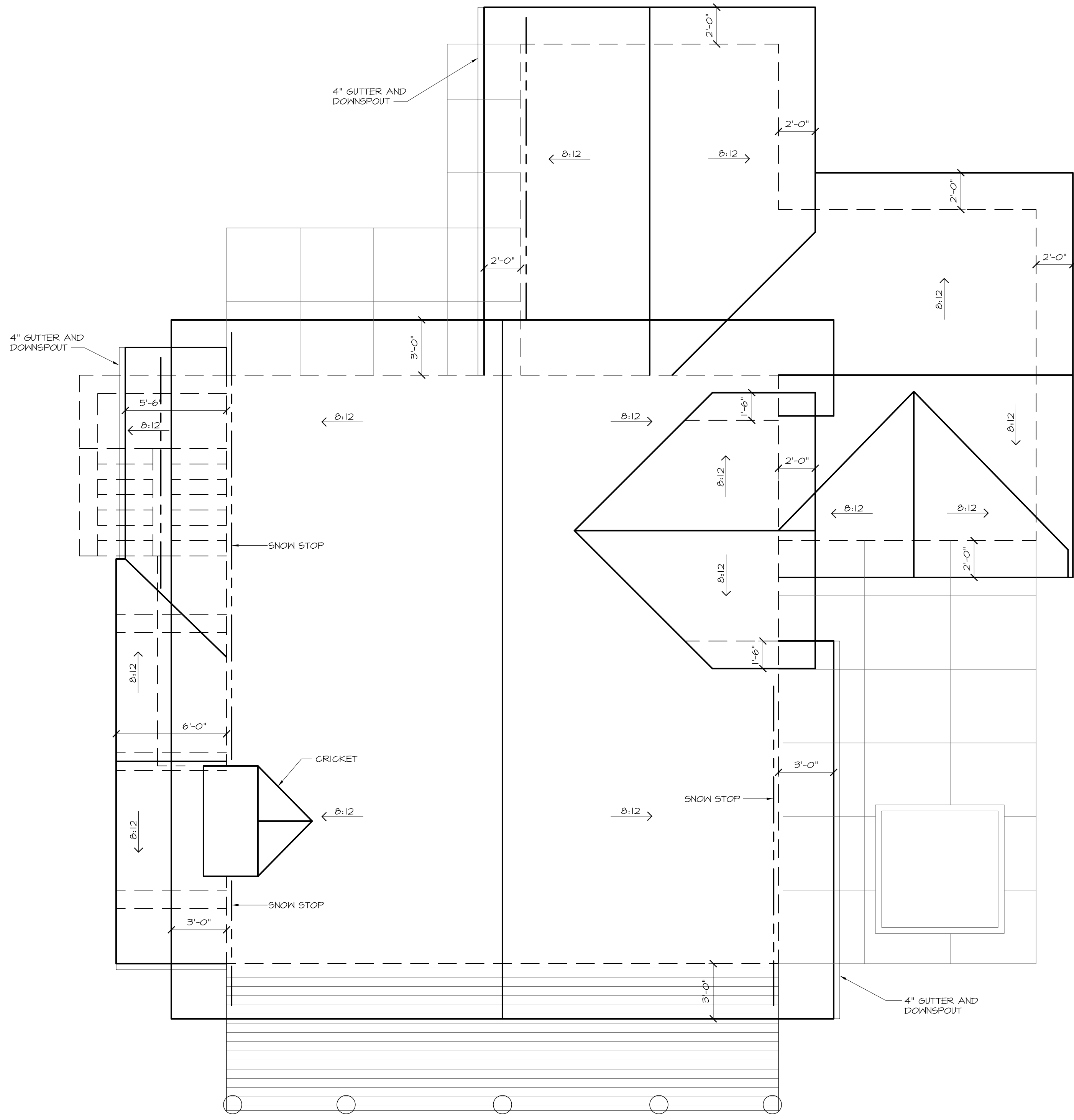
SQ. FOOTAGE CALCULATIONS

LOWER LEVEL (EXCLUDING GARAGE)	539 s.f.
GARAGE	679 s.f.
MAIN LEVEL	1,426 s.f.
UPPER LEVEL	424 s.f.
TOTAL LIVING SPACE	2,384 s.f.
TOTAL BUILDING	3,068 s.f.

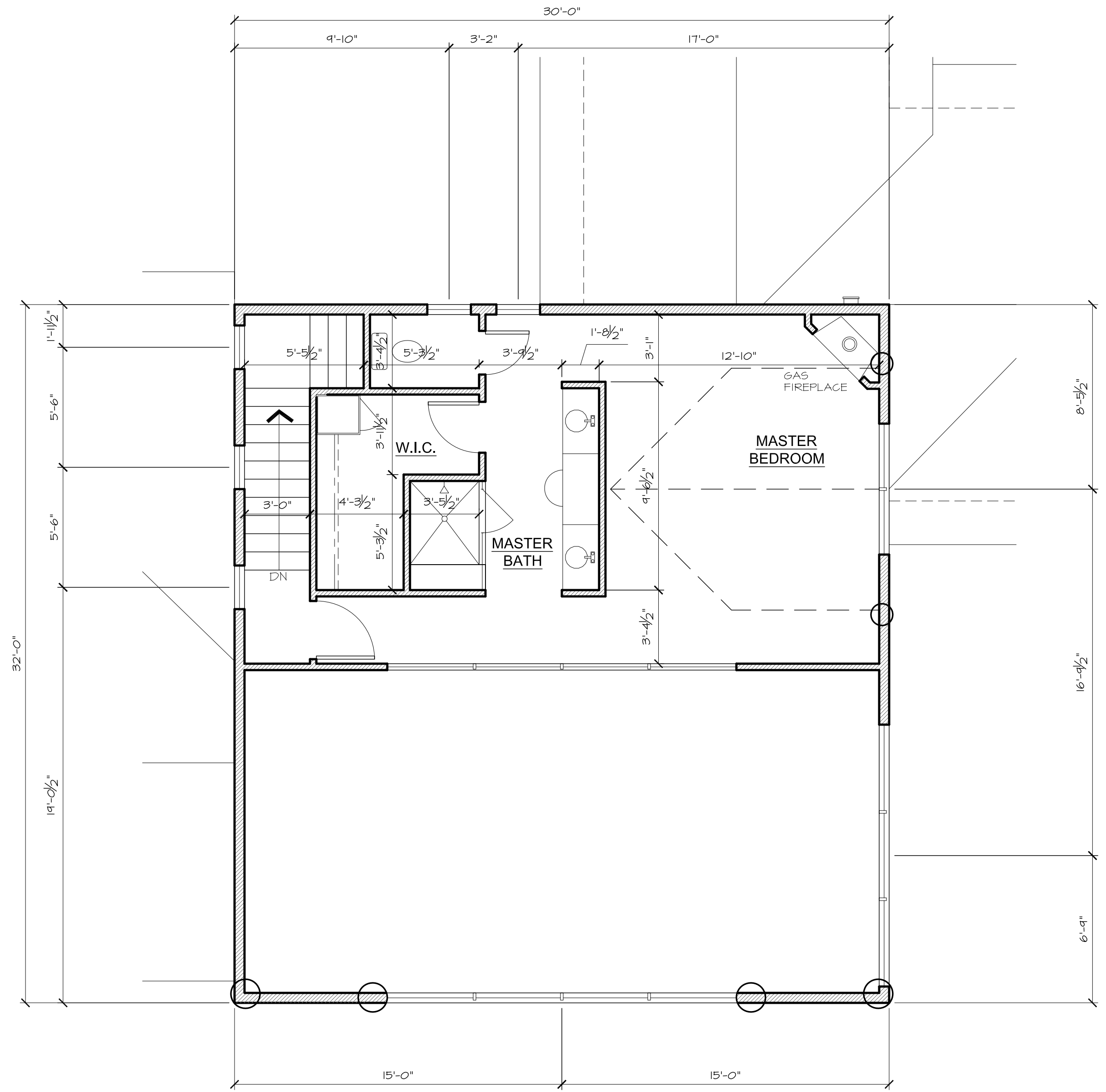


FLOOR PLAN - MAIN LEVEL
 SCALE: 1/4" = 1'-0"





ROOF PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN - UPPER LEVEL
SCALE: 1/4" = 1'-0"



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3-10-21
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5-11-21
7-14-21

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Unit AR-59 Timber Ridge at Mountain Village
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DATE:
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SHEET
A2.2
Unit AR-59



ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



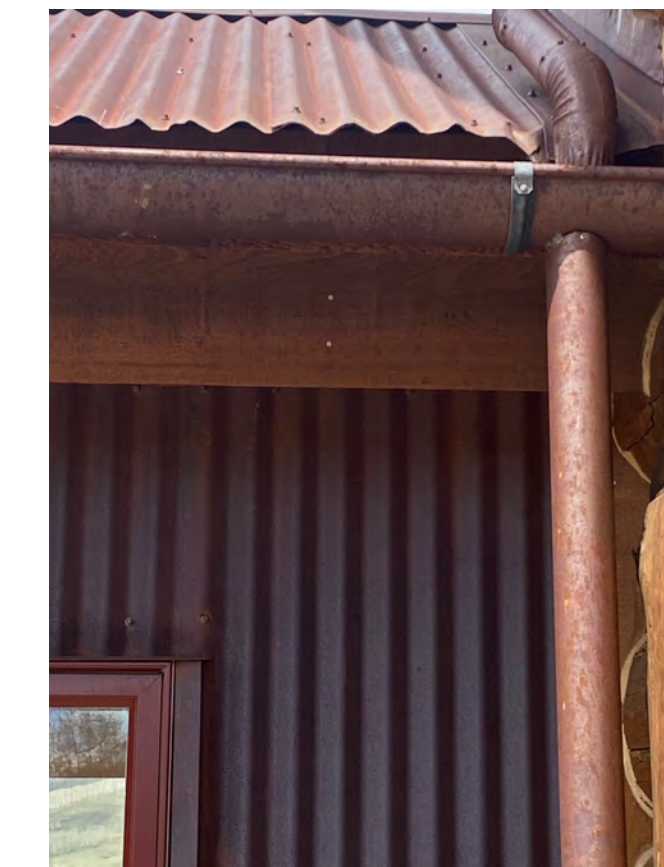
Hand peeled log siding with log post corners and chinking



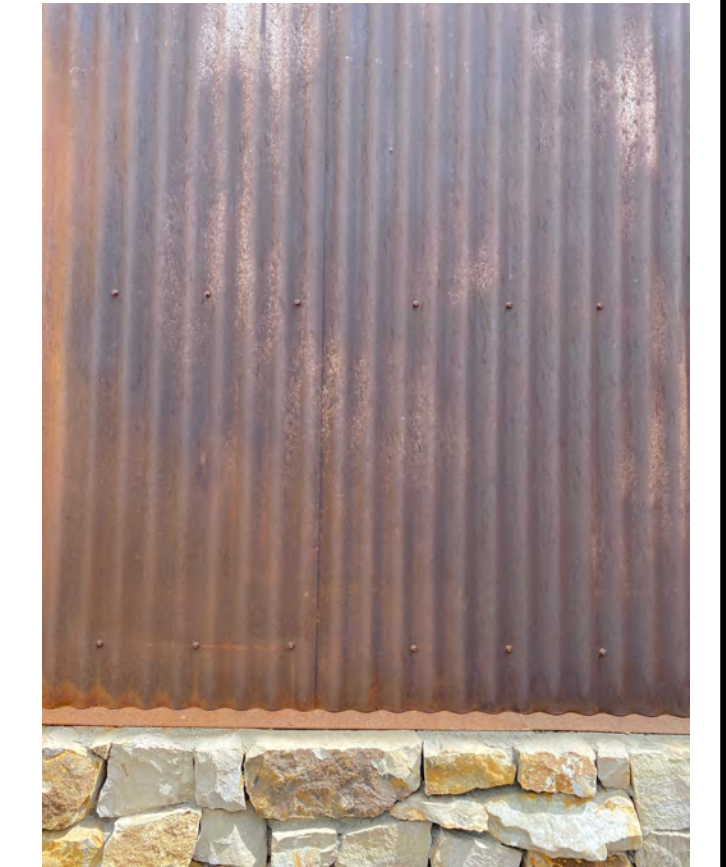
Garage door rusted metal flat 2'x4'



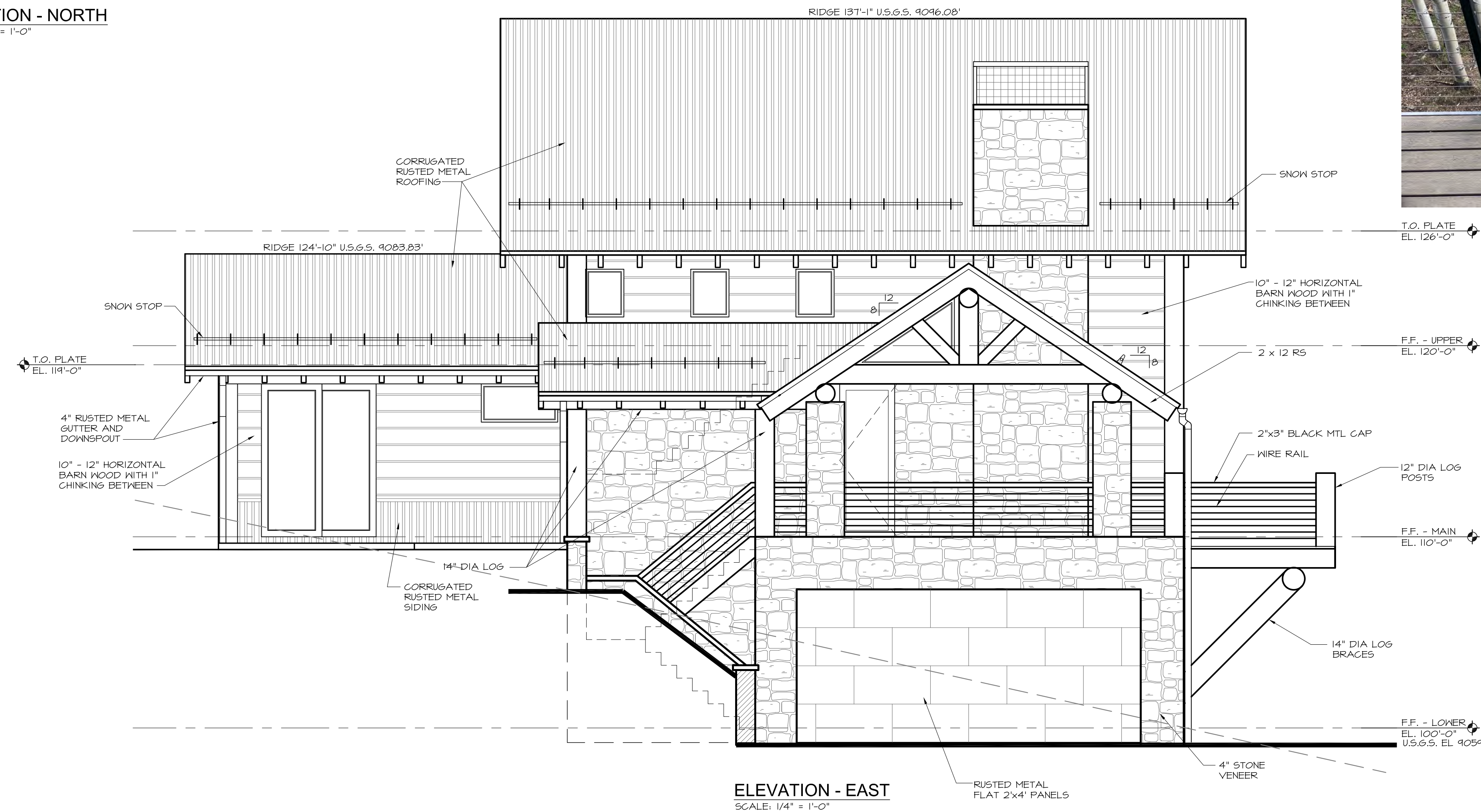
Stone Veneer



Gutters downspouts rd. Rusted metal



Siding / flashing / roofing corrugated rusted metal



ELEVATION - EAST
SCALE: 1/4" = 1'-0"



REVISIONS:

3-10-21
4-13-21
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7-14-21

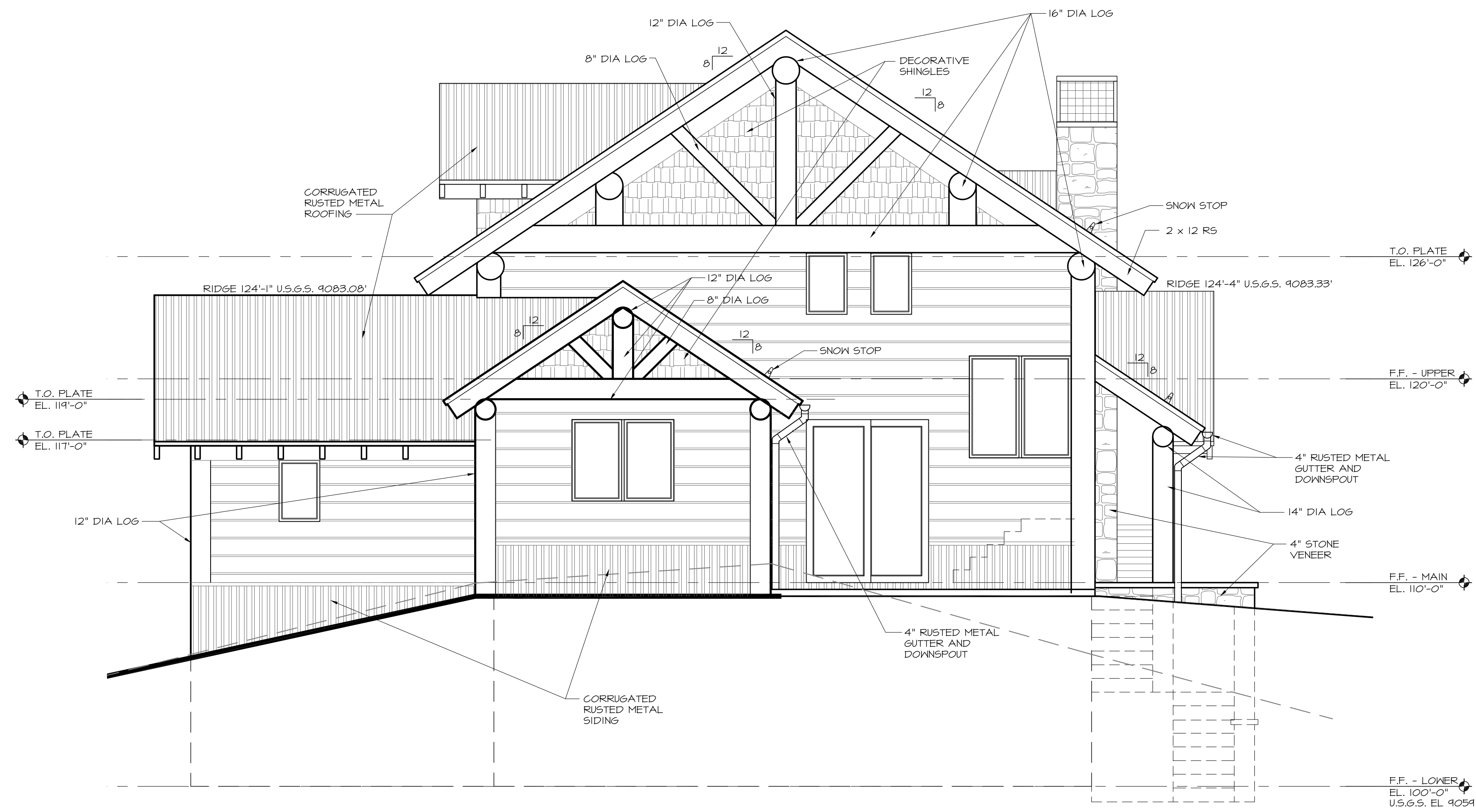
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Unit AR-59 Timber Ridge at Mountain Village
TBD Adams Way, Mountain Village
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DATE:
1.27.21

SHEET
A3.1
Unit AR-59



WINDOW SCHEDULE LOT AR-59 FORD RESIDENCE

ROOM	WINDOW SIZE	QUANTITY	NOTES
LOWER LEVEL			
Garage	2424A	(3)	
Hall	6080SGD	(1)	RH operable
Bedroom #3	6080SGD	(1)	RH operable /Temp.
Bath #3	3096F	(2)	Mull to SGD/Temp.
MAIN LEVEL			
Living room	6096F	(2)	
	16080SGD	(1)	2 operable center panels
Kitchen	4848S	(1)	
Stairs	2436F	(3)	
	(2)3048S	(1)	Temp.
Hall	6080SGD	(1)	Temp.
	(2)3618F	(1)	Transom/Mull to SGD
Bedroom #1	6080SGD	(1)	LH operable/Temp.
	(2)3030S	(1)	
	(2)3048S	(1)	
Bath #1	2424A	(1)	
Bedroom #2	(2)3048S	(1)	
bedroom	(2)3048 Trap	(1)	

9192021 Window and Door Materials | Marvin

A material with a high concentration of fiberglass and a strong resin, High-Density Fiberglass is a revolutionary material that achieves the look of other modern materials but with better thermal efficiency. In our Marvin Moderns product line, High-Density Fiberglass is used on the exterior of the windows and doors, while the interior is finished in a strong aluminum with a low-gloss finish.

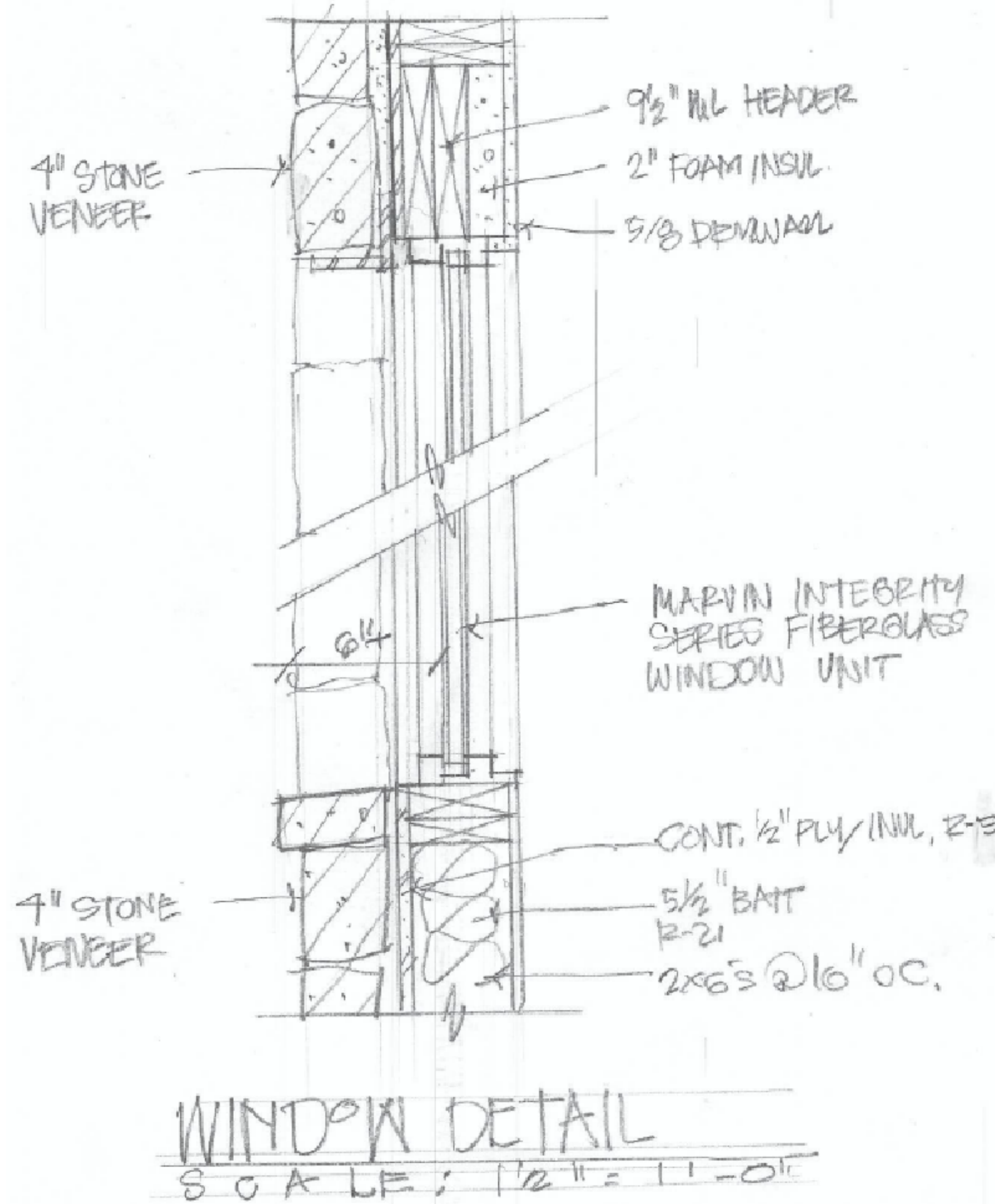
Benefits of High-Density Fiberglass

- Like polycarbonate fiberglass, High-Density Fiberglass expands and contracts at a rate comparable to that of glass to help maintain performance over time
- Maintains shape and thermal performance even in demanding climates
- Enables proprietary design that offers strength and performance even at expansive sizes

The Marvin Materials Difference: High-Density Fiberglass

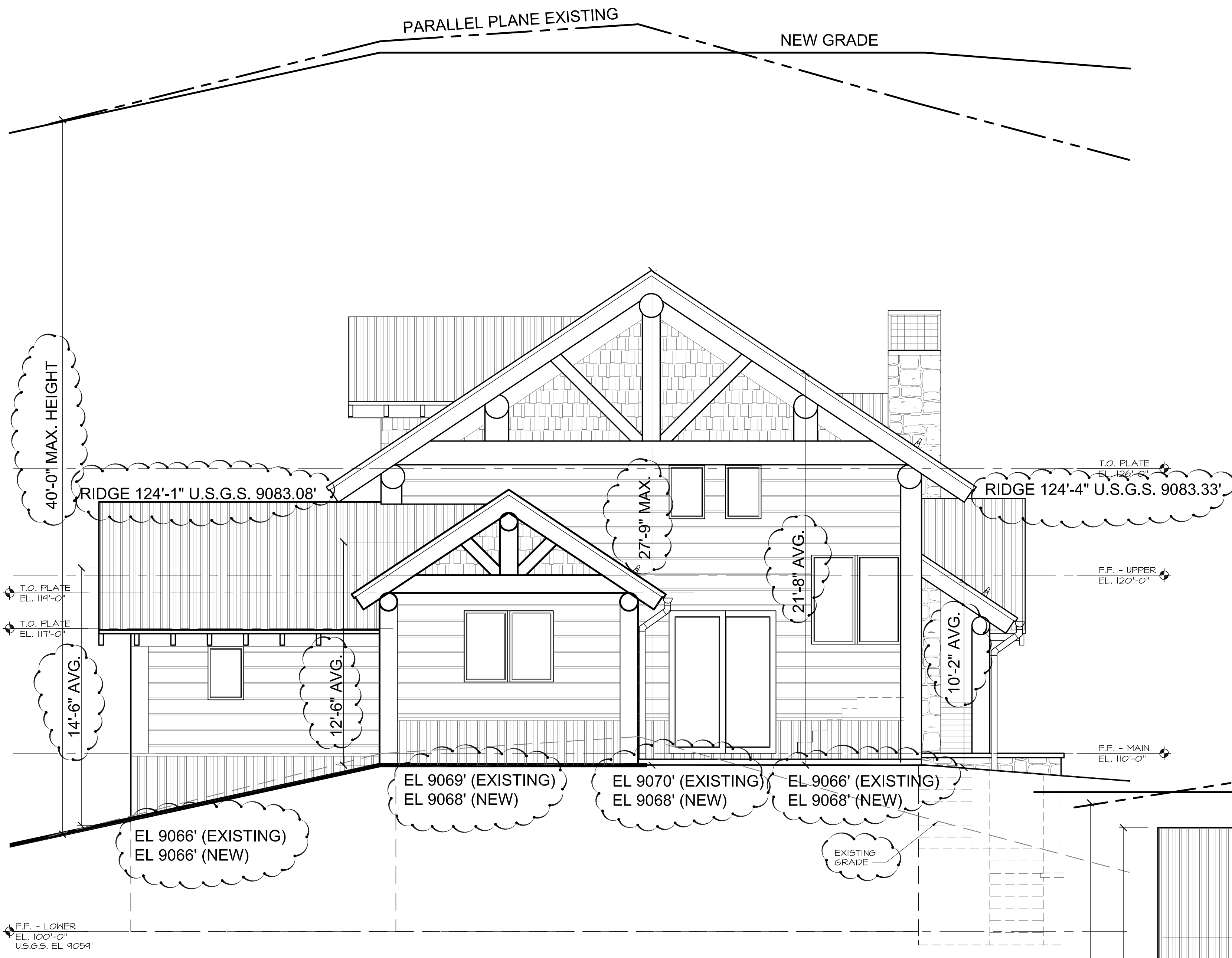
We believe that modern windows and doors should perform better, so we developed a High-Density Fiberglass and patent-pending frame design for our Marvin Moderns product line that reimagines how products in this size and style can perform. From exterior to interior, a solid piece of High-Density Fiberglass forms our unique new frame, which requires no additional material to aid in its thermal performance & durability from our thermally broken competitors. Finished seamlessly to the interior with aluminum, we're able to deliver exceptional thermal performance to enable strength at large sizes while preserving desirably narrow sight lines.

<http://www.marvin.com/products/design-options/essentials>

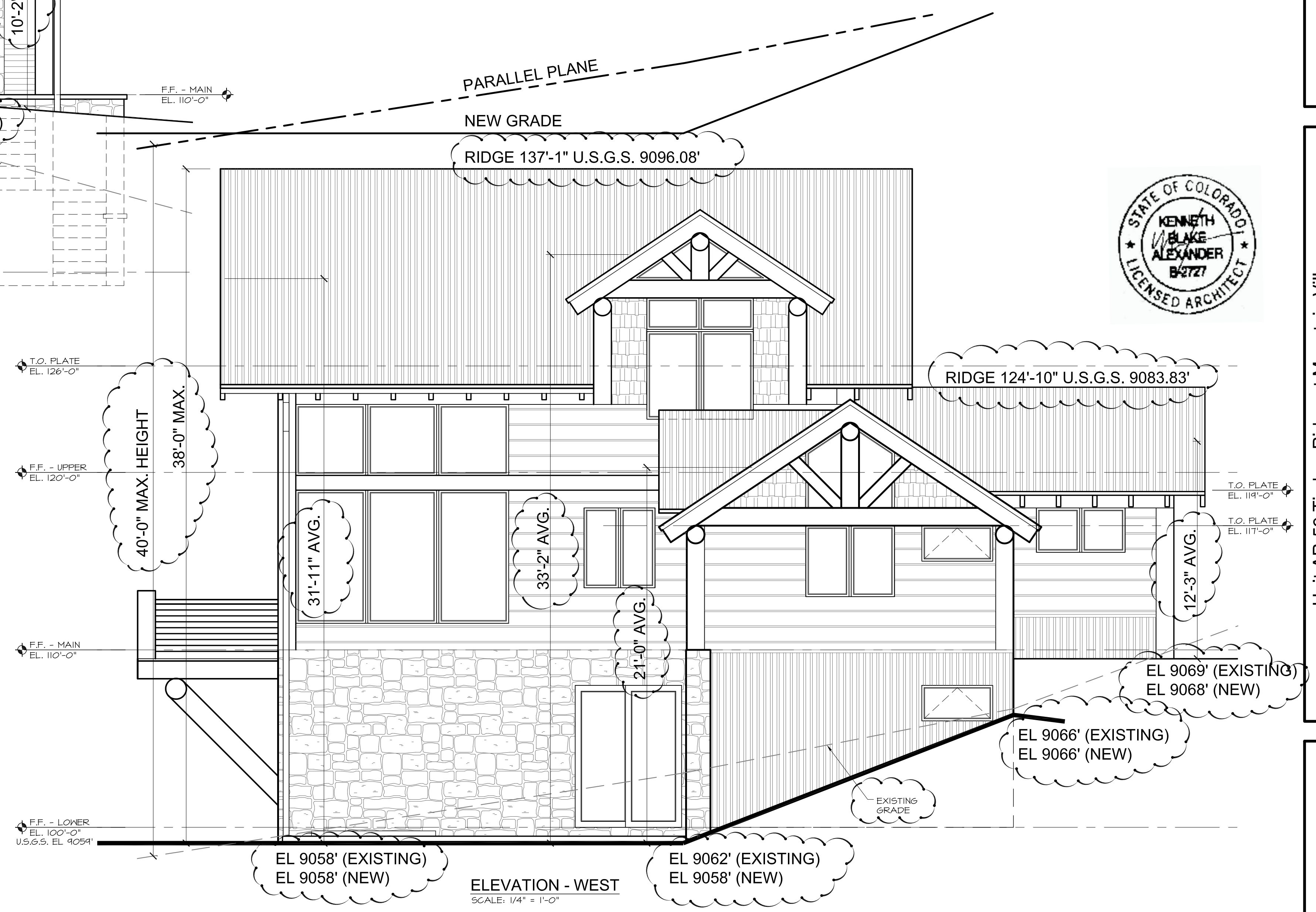


ELEVATION - WEST
SCALE: 1/4" = 1'-0"





ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



ELEVATION - WEST
SCALE: 1/4" = 1'-0"



PARALLEL PLANE EXISTING AND NEW GRADE

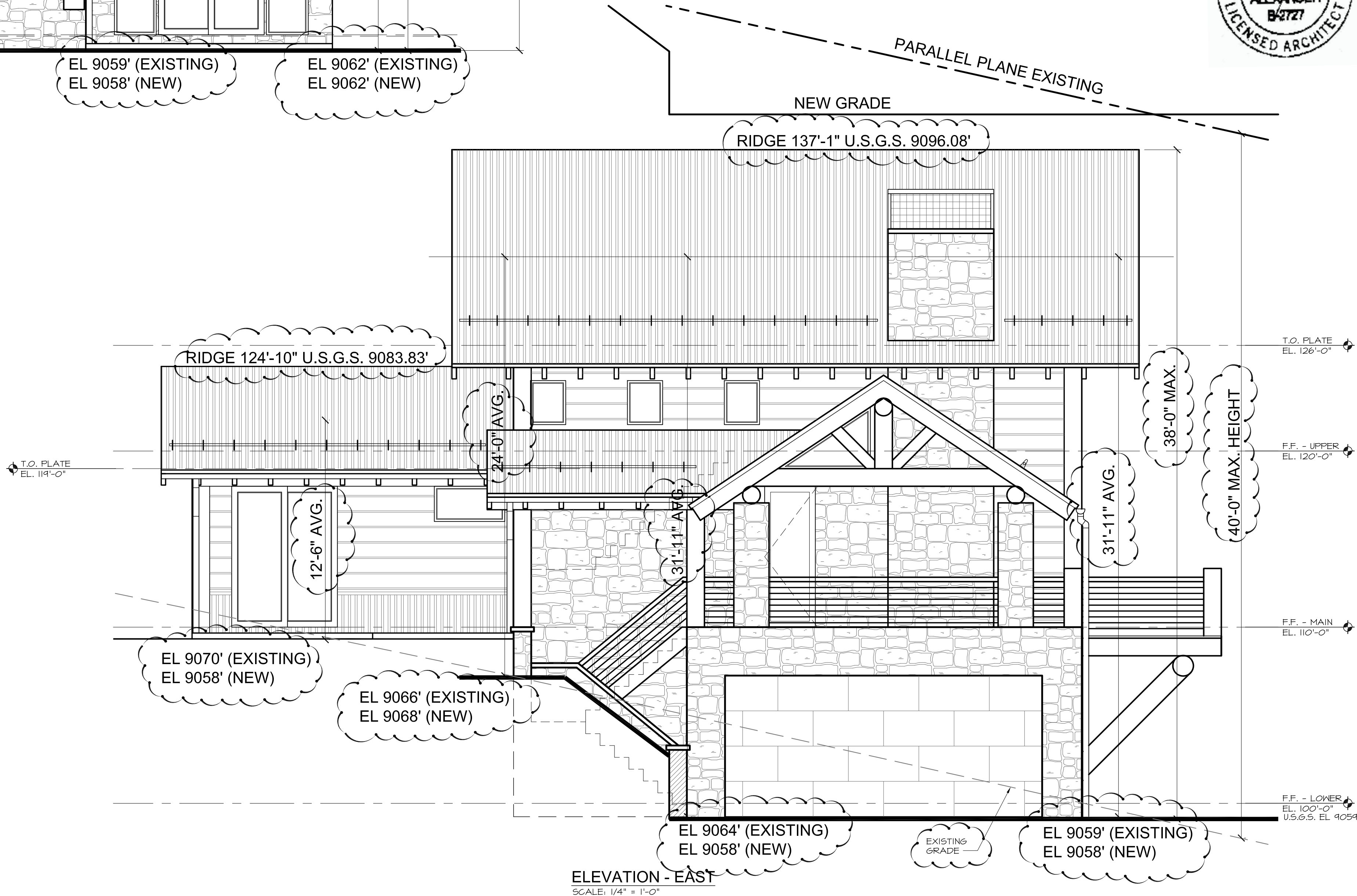


HEIGHT CALCULATIONS

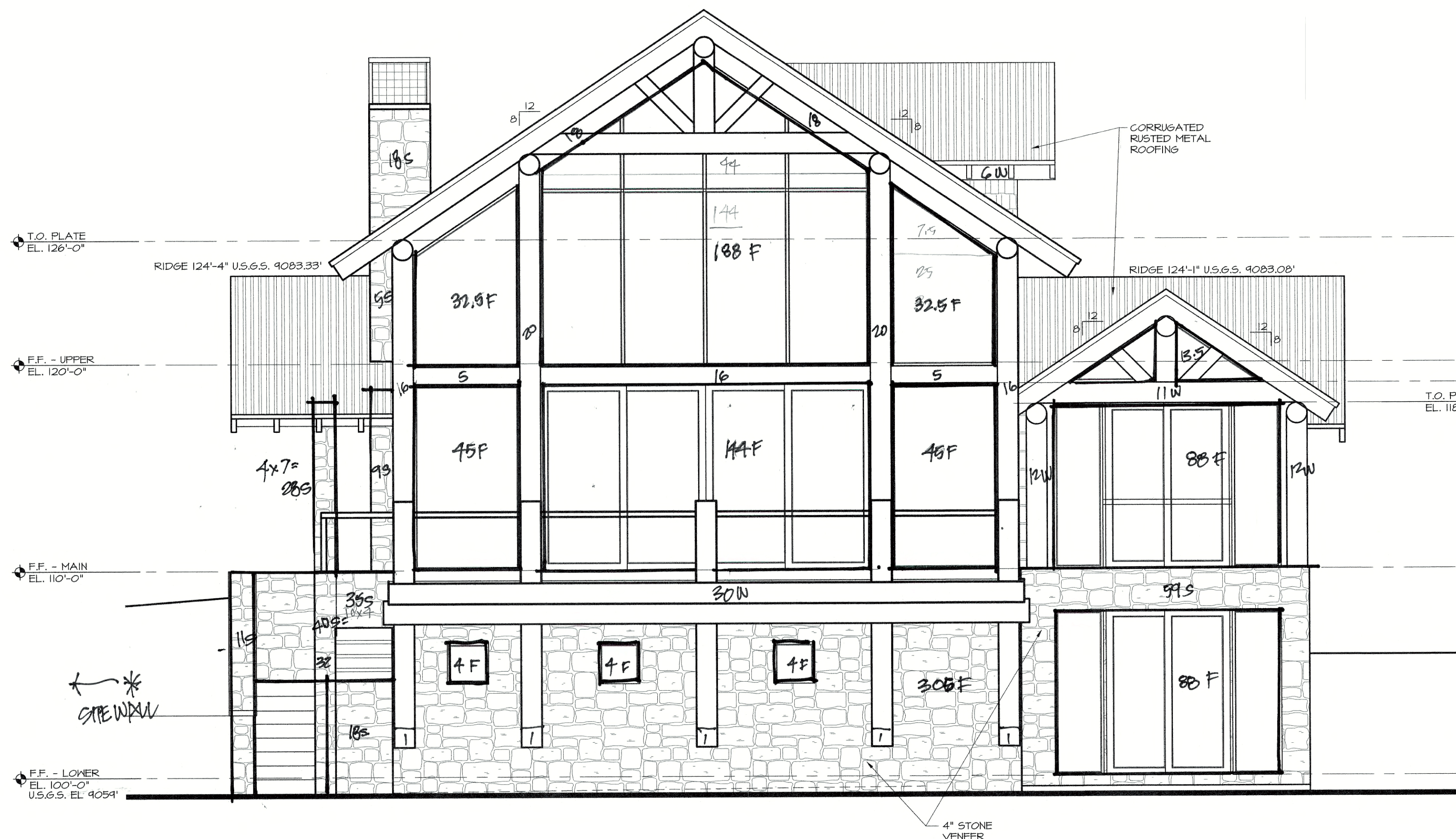
HEIGHT	NORTH	SOUTH	EAST	WEST	TOTAL
MAX.	38'	27.75'	38'	38'	35.43'
MAX. AVG.	26.8'	17.33'	26.6'	24.84'	23.89'



ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



ELEVATION - EAST
SCALE: 1/4" = 1'-0"

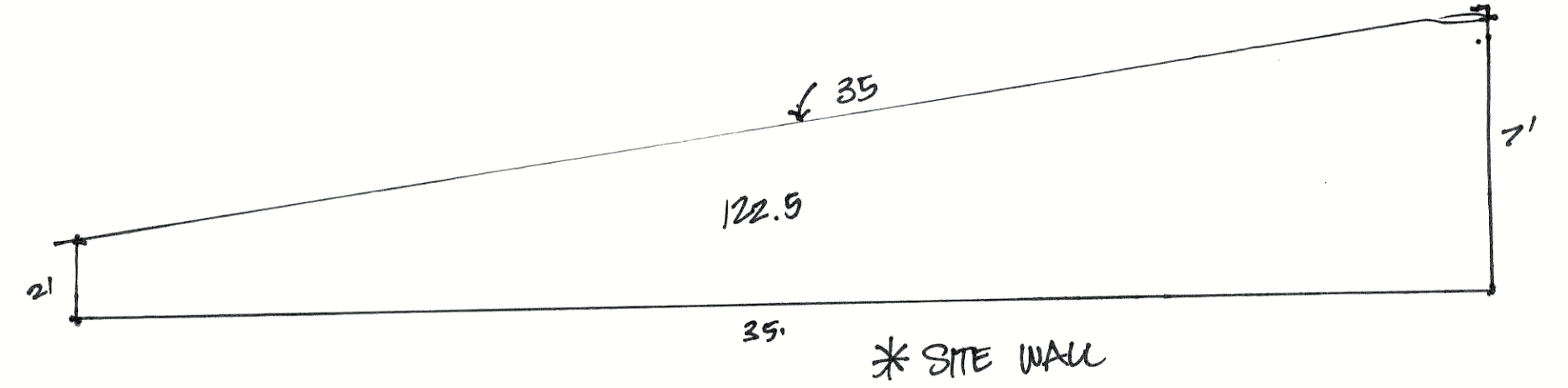


NORTH ELEVATION
 STONE $67 + 335 + 18 + 15 + 74 + 28 + 40 + 32 = 496$
 WOOD $24 + 11 + 86 + 40 + 32 + 15 + 5 = 163$
 METAL -
 PENESTRATION $88 + 135 + 88 + 16 + 70 + 65 = 492$
 TOTAL $1391.5 + 22.9$ SITE

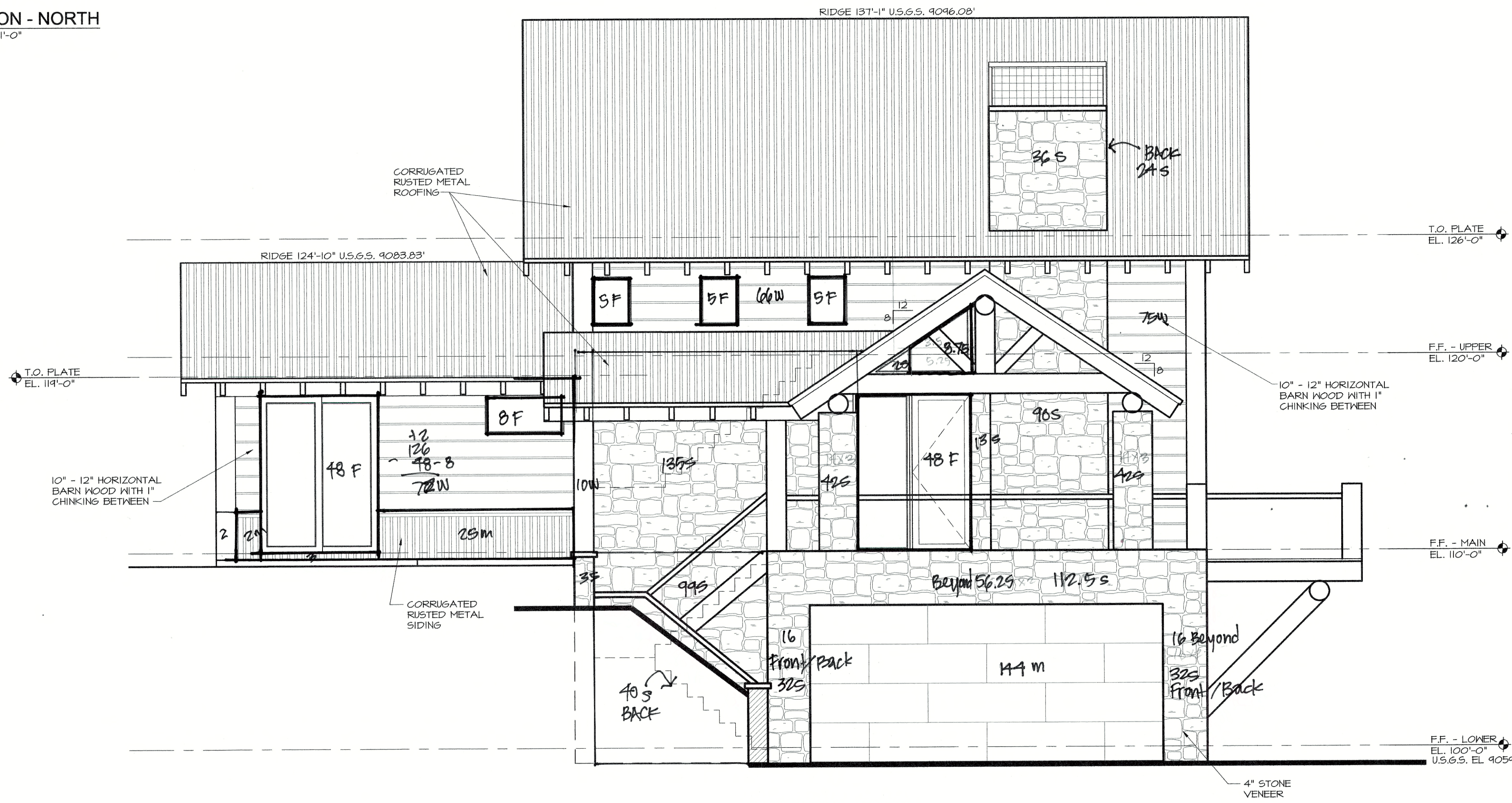
BLDG. TOTALS					
ELEVATION	STONE	WOOD	METAL	PENESTRATION	TOTAL
NORTH	496 BLDG. 221.5 SITE	163	-	492.5	1351.5
SOUTH	33.5	498.75	87.5	111	730.75
EAST	748.75 40 SITE	225	171	127.75	1272.5
WEST	188.25	401.5	130	246	965.75
	1464.0	1288.09	388.5	1177.25	4320.5

39% STONE
6% SITE TOTAL
40% TOTAL

38% BLDG.
6% SITE WALL
30% TOTAL STONE



ELEVATION - NORTH
SCALE: 1/4" = 1'-0"

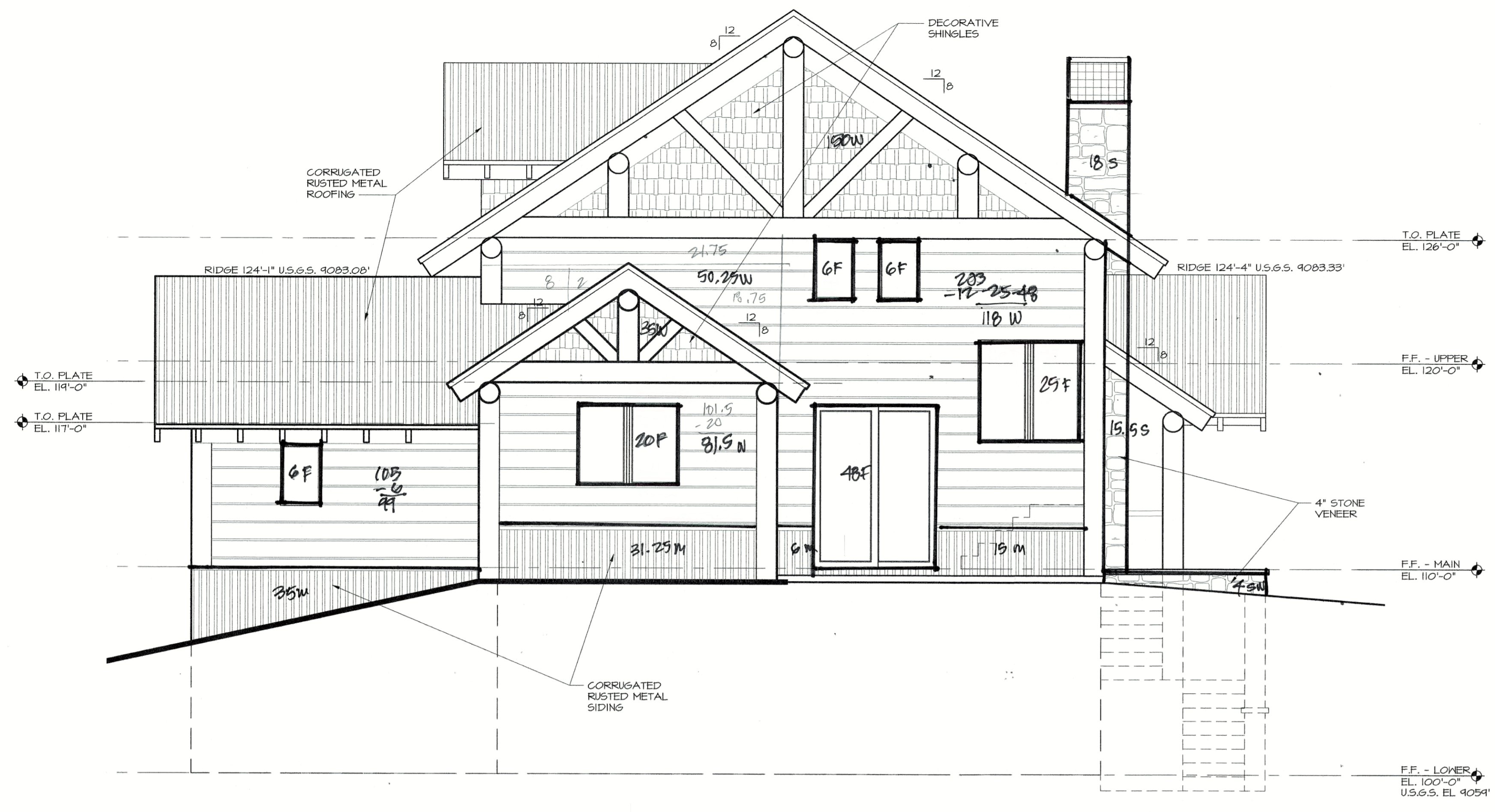


EAST ELEVATION
 STONE $64 + 112.5 + 84 + 18 + 60 + 155 + 97 + 56.25 + 32.75 + 40$ SITE = 745.75
 WOOD $75 + 66 + 70 + 2 + 10 = 223$
 METAL $25 + 2 + 144 = 171$
 PENESTRATION $98 + 87.5 + 15 + 54 = 127.75$
 TOTAL $+40$ SITE 1270.85

ELEVATION - EAST
SCALE: 1/4" = 1'-0"

STONE CALCULATIONS

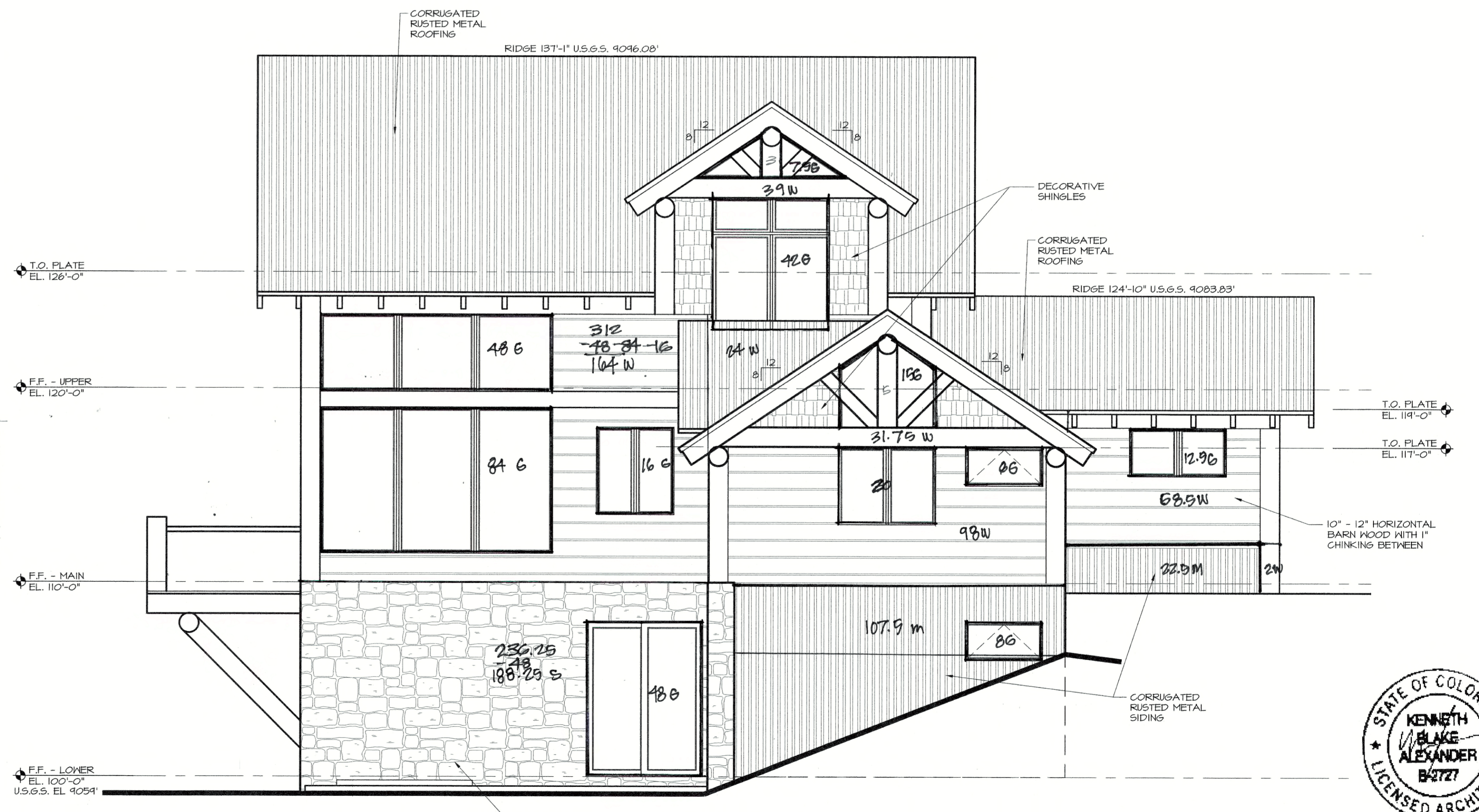




SOUTH ELEVATION		TOTALS
STONE	155 + 18 =	173
WOOD	118 + (50 + 50.25 + 81.5 + 99) =	498.75
METAL	15 + 6 + 31.75 + 35 =	87.5
FENESTRATION	25 + 12 + 48 + 20 + 16 =	121
TOTAL		780.25

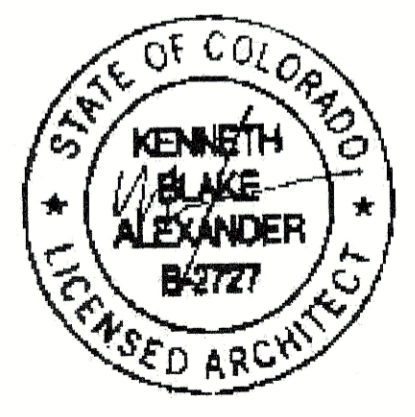
ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

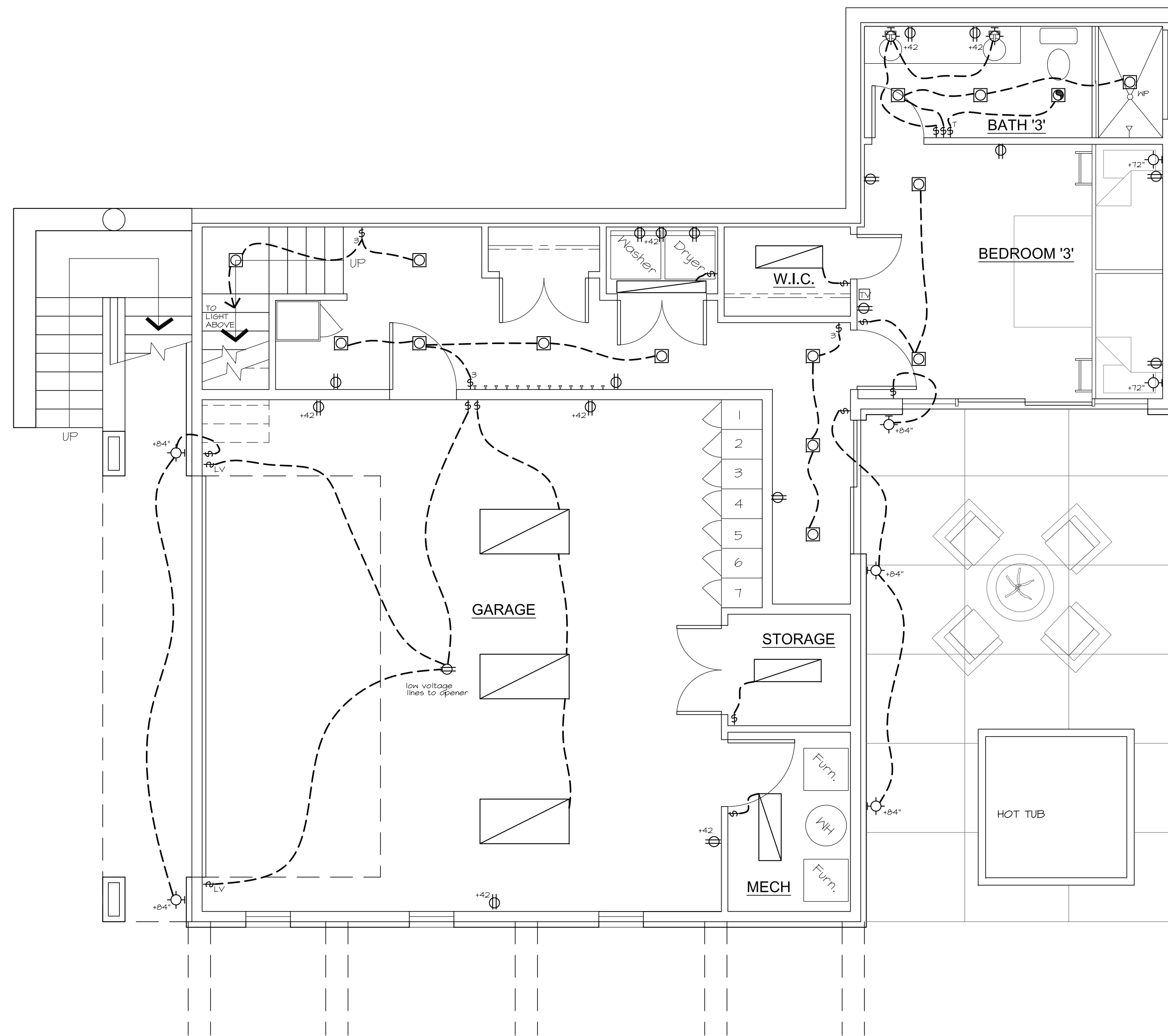
EAST ELEVATION		TOTALS
STONE	188.25 =	188.25
WOOD	164 + 24 + 34 + 8 + 98 + 68.9 =	432.9
METAL	107.5 + 22.5 =	130
FENESTRATION	48 + 84 + 16 + 49.5 + 25 + 16 + 12.9 =	246
TOTAL		767.25



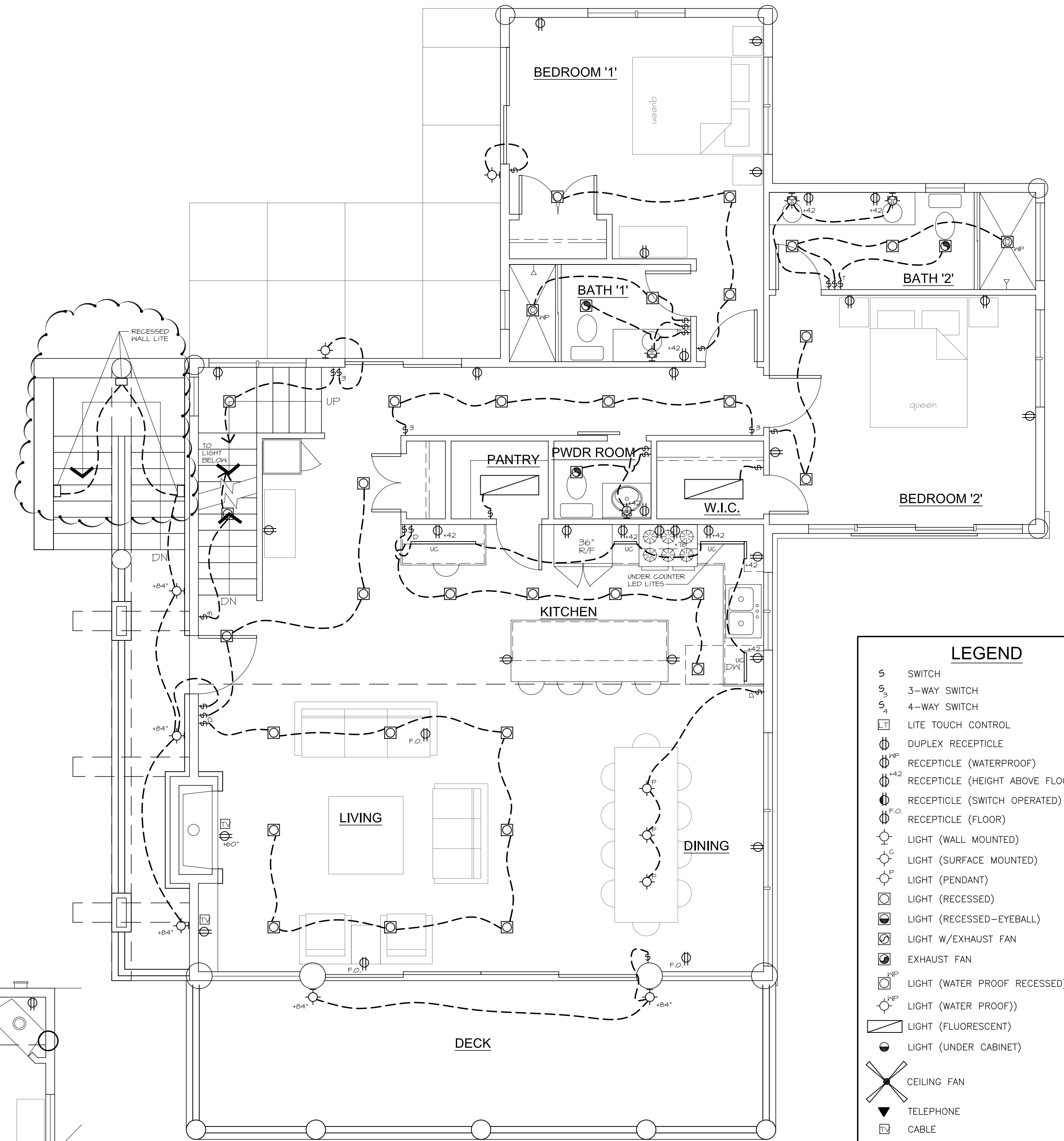
ELEVATION - WEST
SCALE: 1/4" = 1'-0"

STONE CALCULATIONS





FLOOR PLAN - LOWER LEVEL
SCALE: 1/4" = 1'-0"



FLOOR PLAN - MAIN LEVEL
SCALE: 1/4" = 1'-0"

LEGEND

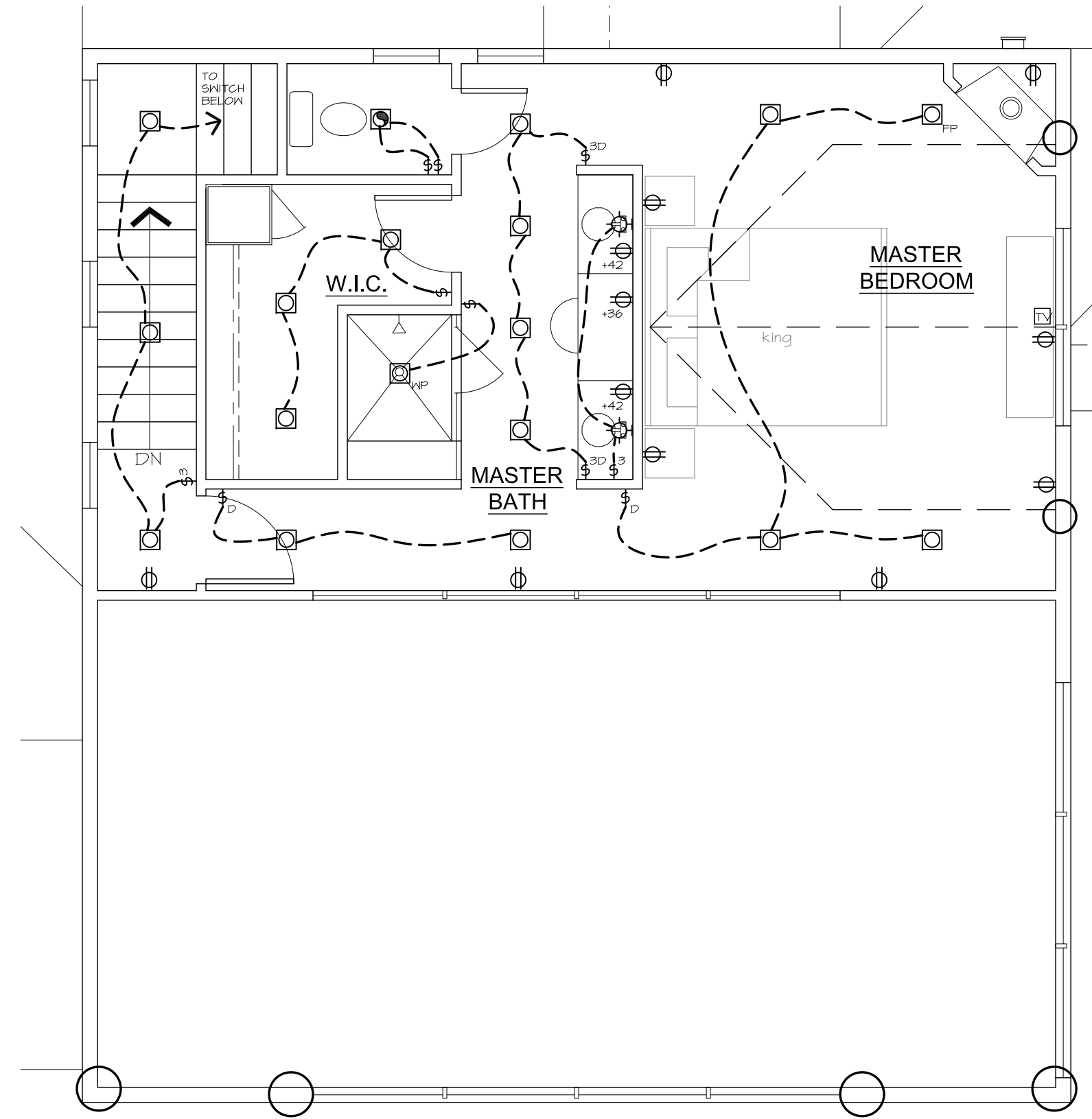
- S SWITCH
- S_{3W} 3-WAY SWITCH
- S_{4W} 4-WAY SWITCH
- LITE TOUCH CONTROL
- ⊕ DUPLEX RECEPTACLE
- ⊕ RECEPTACLE (WATERPROOF)
- ⊕ RECEPTACLE (HEIGHT ABOVE FLOOR)
- ⊕ RECEPTACLE (SWITCH OPERATED)
- ⊕ RECEPTACLE (FLOOR)
- ⊕ LIGHT (WALL MOUNTED)
- ⊕ LIGHT (SURFACE MOUNTED)
- ⊕ LIGHT (PENDANT)
- ⊕ LIGHT (RECESSED)
- ⊕ LIGHT (RECESSED-EYEBALL)
- ⊕ LIGHT W/EXHAUST FAN
- ⊕ EXHAUST FAN
- ⊕ LIGHT (WATER PROOF RECESSED)
- ⊕ LIGHT (WATER PROOF)
- ⊕ LIGHT (FLUORESCENT)
- ⊕ LIGHT (UNDER CABINET)
- ⊕ CEILING FAN
- ⊕ TELEPHONE
- ⊕ CABLE
- ⊕ SMOKE DETECTOR
- ⊕ SPEAKERS

Cloudy Bay 120V Dimmable LED Step Light, 3000K Warm White 3W 100lm, Indoor Outdoor Step Light, Oil Rubbed Bronze, 3 Pack

Size: 3 Pack
Color: ORB

Technical Details	Additional Information
Manufacturer: Cloudy Bay Lighting	ASIN: B07846QD4S
Part Number: CBST00350ORB-3PK	Customer Reviews: 1,255 ratings
Item Weight: 1 pounds	Best Sellers Rank: #15,395 in Tools & Home Improvement (See Top 100 in Tools & Home Improvement)
Product Dimensions: 4 x 3 x 2 inches	#37 in Outdoor Step Lights
Item model number: CBST00350ORB-3PK	Date First Available: December 10, 2018
Is discontinued by manufacturer: No	Warranty & Support: Product Warranty: For warranty information about this product, please click here.
Size: 3 Pack	Feedback
Color: ORB	Would you like to tell us about a lower price?
Style: Modern	
Finish: ORB	
Material: Aluminum	
Shape: Linear	
Power Source: AC/DC	
Voltage: 120 Volts	
Wattage: 3 watts	
Item Package Quantity: 3	
Type of bulb: LED	
Luminous Flux: 50 Lumen	
Special Features: Dimmable	
Batteries Included?: No	
Batteries Required?: No	

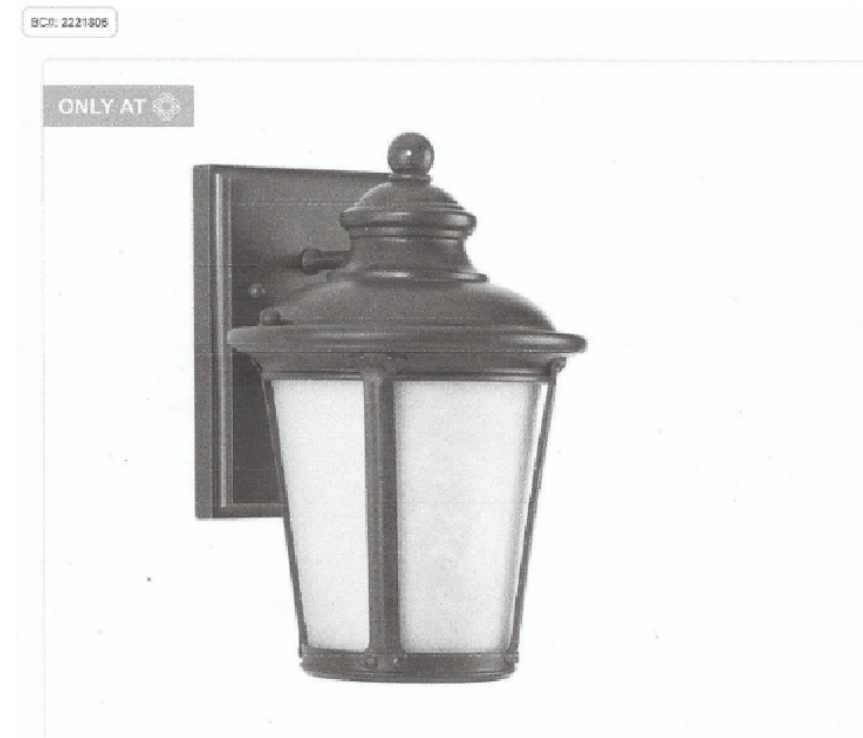
TYPE L2 - RECESSED STAIR LIGHT



FLOOR PLAN - UPPER LEVEL
SCALE: 1/4" = 1'-0"

SQ. FOOTAGE CALCULATIONS

LOWER LEVEL (EXCLUDING GARAGE)	534 s.f.
GARAGE	674 s.f.
MAIN LEVEL	1,426 s.f.
UPPER LEVEL	424 s.f.
TOTAL LIVING SPACE	2,304 s.f.
TOTAL BUILDING	3,068 s.f.



George Burled Iron Energy Star Dark Sky LED Outdoor Wall Lantern
TYPE L3 - WALL LIGHT



REVISIONS:
5-17-21
7-14-21

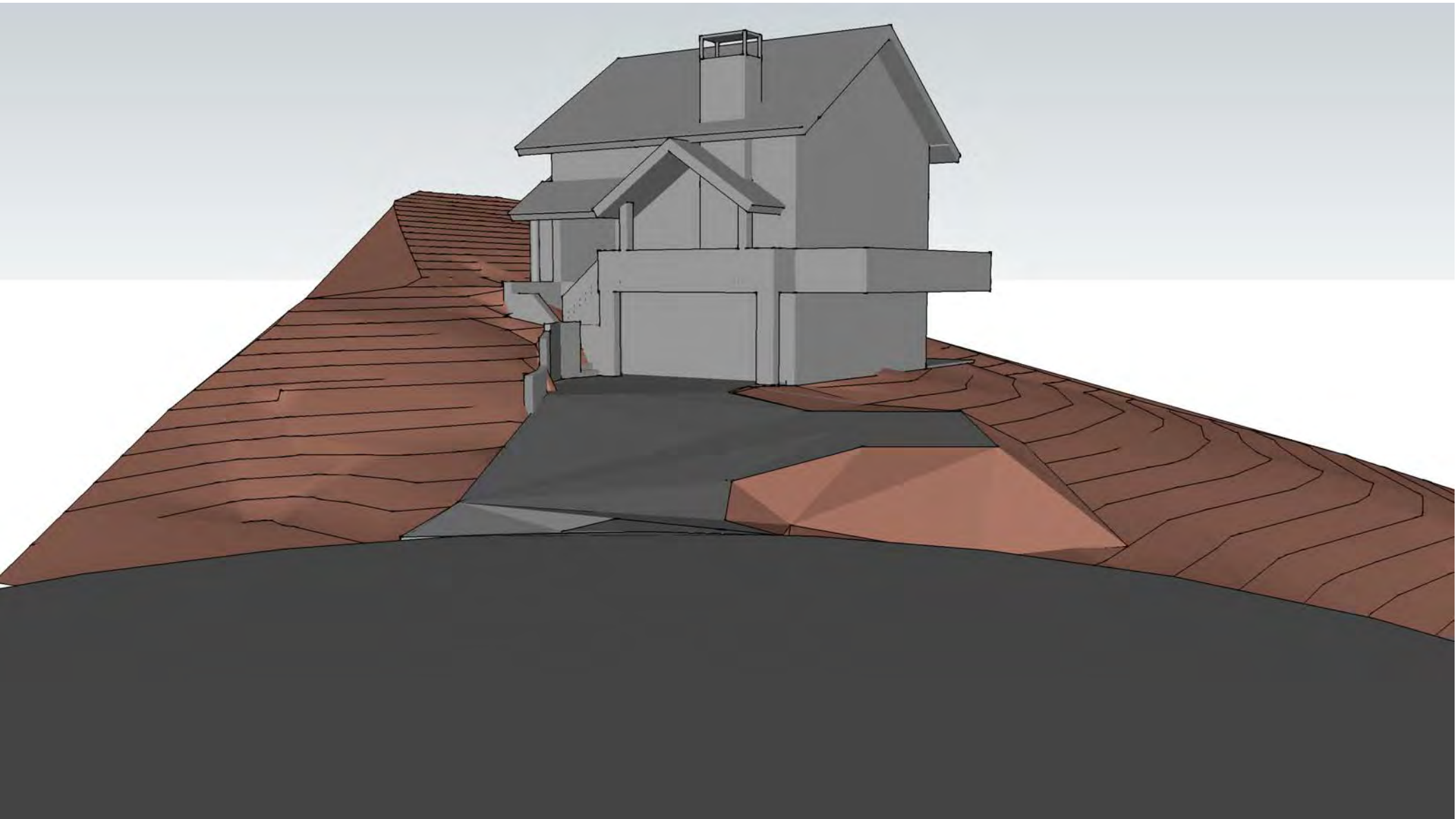
ARCHITECTS
COLLABORATIVE
Design + Build + Just Build + Just Design

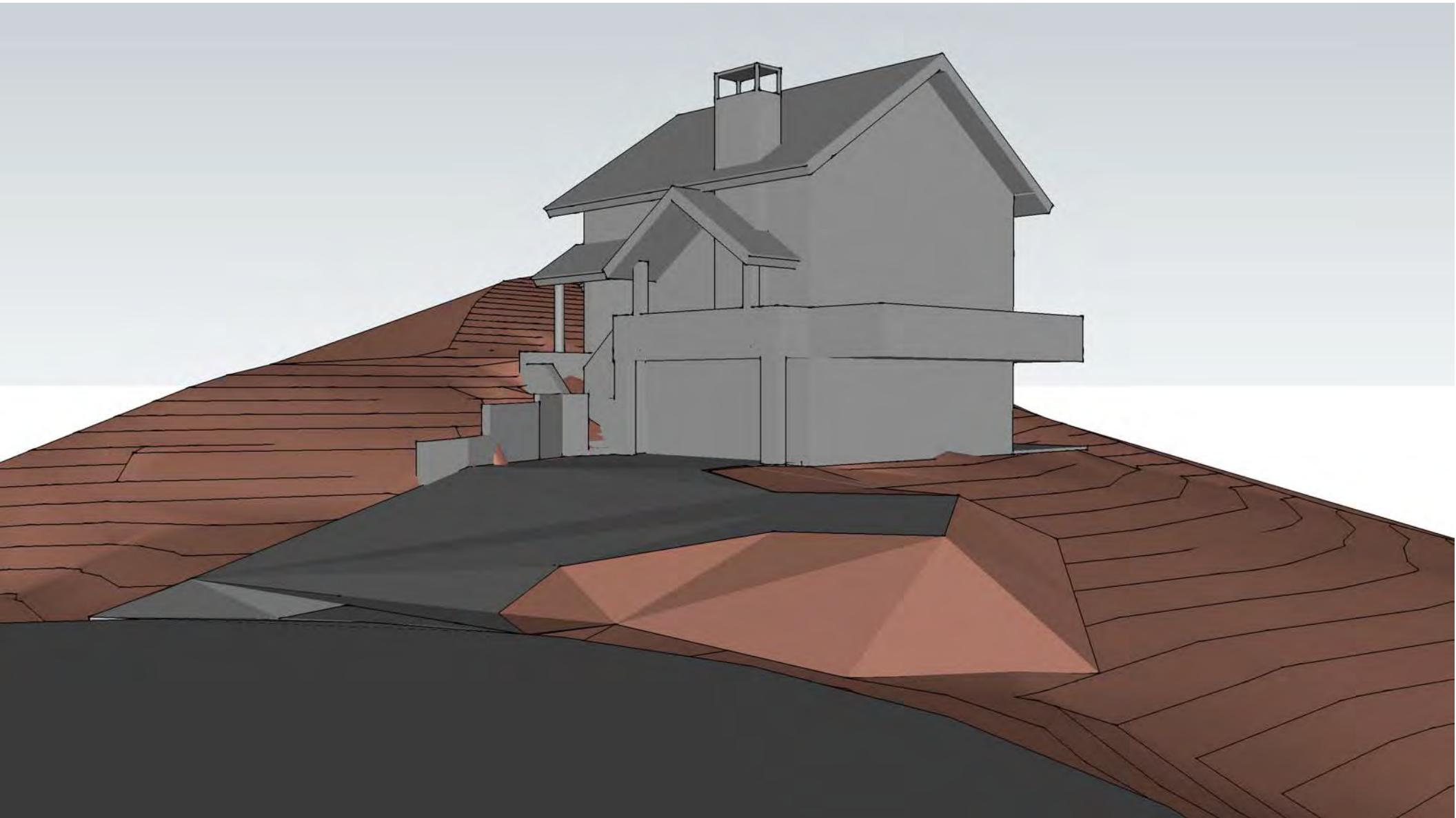
P.O. Box 3954 • Telluride, CO 81435
C: 970-708-1076

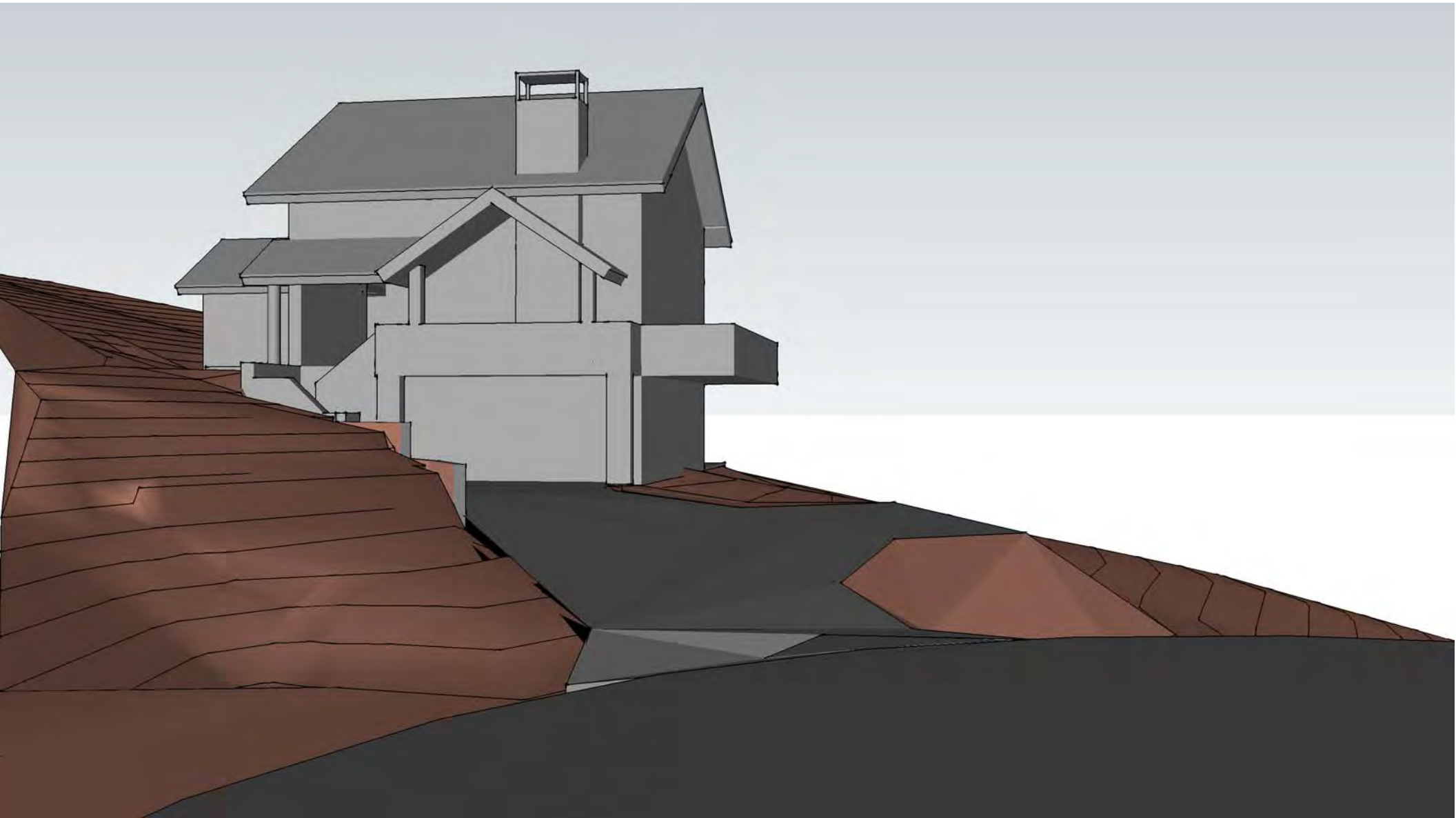
Unit AR-59 Timber Ridge at Mountain Village
TBD Adams Way, Mountain Village
San Miguel County, Colorado

DATE:
1.27.21

SHEET
E1.1
Unit AR-59







Mother's Day Flash Sale

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What are you shopping for?

LIGHTING FURNITURE DECOR DEALS

Lighting Fixtures > Outdoor Lighting > Outdoor Wall Lighting > Wall Mounted - Outdoor

BC#: 2221805

ONLY AT



George Burlled Iron Energy Star Dark Sky LED Outdoor Wall Lantern

BY 251 FIRST



(0) Share Your Thoughts

DESCRIPTION

It's hard to beat the bliss that comes with a night spent on a well-lit patio on a summer's evening. Look through 251 First for lanterns, solar strings, and citronella candles that illuminate your patio, porch, and deck. You'll also find permanent fixtures for your home's exterior such as sconces for the garage, pendants for an enclosed porch, and a chandelier to hang over the front door. Try a traditional lantern in matte black or white, suspending it from a long elegant chain. With your home's outdoor spaces well-lit, you heighten the safety and security for both you and your neighbours.

- George Burlled Iron Energy Star Dark Sky LED Outdoor Wall Lantern
- Etched hammered with light amber glass diffuser and white aluminium shade
- Energy Star Qualified
- Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry

<https://www.bellacor.com/productdetail/251-first-george-burlled-iron-energy-star-dark-sky-led-outdoor-wall-lantern-2221805.htm?partid=googlePLA-DataFeed-Outd...> 2/6

5/9/2021

251 First George Burlled Iron Energy Star Dark Sky LED Outdoor Wall Lantern | Bellacor

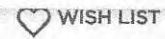
Bulb/Watt:	1 - 9.5 watt LED bulbs
Lumens:	800
Kelvins:	3000
Bulb/Gas Type:	LED Bulb
Total # of Lights:	1
Color Rendering Index:	90 - Excellent
Certification:	C-UL-US
Location Rating:	Wet Location
Material:	Aluminium
Style:	Traditional
Collection:	George
Assembly:	Some Assembly Required.
UPC:	781360241882

**Modern Forms Square 10" High Bronze LED Outdoor Wall Light****\$239.00****ADD TO CART****LAMPS PLUS**
THE NATION'S LARGEST LIGHTING RETAILER

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SALE

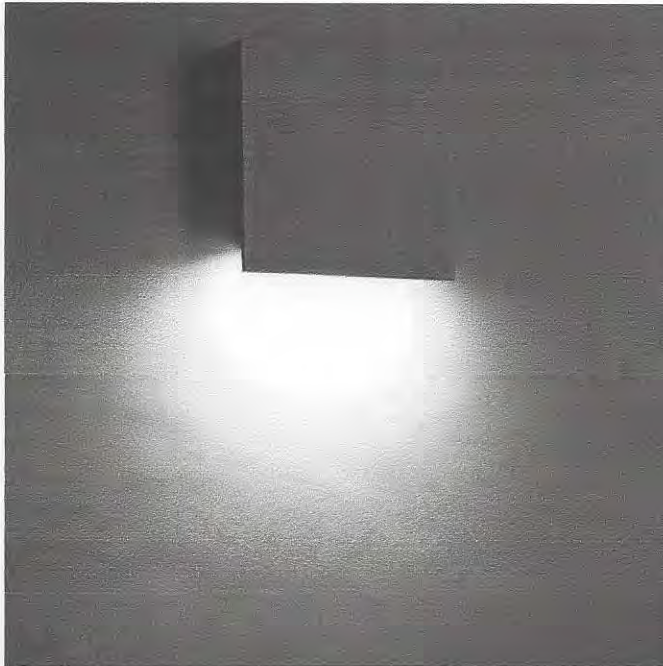


WISH LIST



CART

Home / Modern Forms Square 10 / Style # 59F23

**Modern Forms Square 10" High Bronze LED Outdoor Wall Light**

1 Review | 9 Questions, 10 Answers

\$239.00

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1

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DESIGN CHAT

PRODUCT DETAILS

Complete a modern aura in any entryway with the sleek geometric silhouette of this bronze outdoor wall light.

Additional Info:

Sleek and modern, this outdoor wall light from Modern Forms makes a bold statement. Featuring a warm bronze finish, the square silhouette casts a cascading glow throughout any entryway while remaining ADA-compliant. Create a charming aura with the dimming capabilities of the energy-efficient LED lights, complete with an electronic low voltage dimmer.

MODERN FORMS
LUMINAIRES + SMART FANS[Shop all Modern Forms](#)

- 10" wide x 10" high. Extends 2 1/2" from the wall.
- Backplate is 9 1/2" high x 9 1/2" wide x 3/4" deep.
- Includes one dimmable 15 watt high-powered replaceable LED module: 720 lumen light output, comparable to a 60 watt incandescent. 3000K color temperature. 90 CRI.
- Energy-efficient LED outdoor wall light from the Square collection by Modern Forms.
- Bronze finish over solid aluminum construction.
- ADA compliant design.

Home / Step Light / [3-PACK] LED Step/Stair Light, Dimmable LED, Wet Location, H-Mount, Warm White (3000K), ORB, 120V/3W/100lm

CBST0038300RB-3PK

[3-PACK] LED Step/Stair Light, Dimmable LED, Wet Location, H-Mount, Warm White (3000K), ORB, 120V/3W/100lm

Cloudy Bay Lighting Step/Stair Light



1. SUIT YOUR HOME STYLE
2. EASY INSTALLATION
3. BEAUTIFUL WARM WHITE GLOW
4. LONG LASTING INDOOR / OUTDOOR LIGHT
5. 120V / 3W / 100LM

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\$43.99

Sold Out

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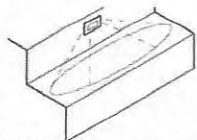
VERSATILE STEP LIGHTS TO ENHANCE AMBIENCE



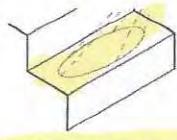
Matched Collections

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Confirm

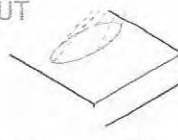


Stairs - step mount



Stairs - wall mount

ABOUT



Corridor - wall mount

High CRI LED Light

CRI90+ Rating Provides TRUE and COMFORT COLOR



The LED step lights have a CRI90+ rating, this allows the light to render more closely to the object's true and original color, thus produce a more accurate and vivid lighting than other lighting alternatives.

What you need to know



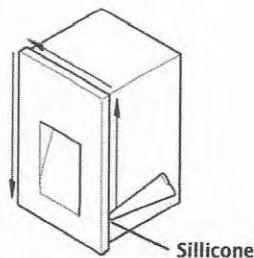
Cloudy Bay step light

With inside LED positioned facing down so the glow is projected down. Great choice for creating an inviting ambiance.



Old type step light

May project the glow outward to light up more than where you need.



For outdoor application

Where the fixture withstands to a season and lots of rains, consider applying silicone caulking for water seal enhancement

Quick installation instruction



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...and the way down to 0W to achieve a better dimming **ABOUT**, please refer to the dimmer chart below (dimmer compatibility tested by the manufacturer).

1. Lutron DV-600P 0.33-2.5W
2. Lutron PD-6WCL 0.53W-2.38W
3. Lutron MACL-153M 0.32W-2.2W
4. Lutron 603P 0.3W-2.2W
5. Leviton DSL06 0.66W-2.6W
6. Leviton RNL06 0.65W-2.65W
7. Cloudy Bay CBLD001WH 0.8W-2.6W

Preview & Download

 Manual and Installation Instructions

Product Basic Technical Details

Item Model Number	CBST003830ORB
Item Weight	0.5 pound
Product Dimensions	5.9 x 3.9 x 2.2 inches
Color Temperature	Warm white (3000K)
Luminous Flux	100lm
Dimmable	YES
Voltage	120v
Wattage	3W
Finish	Oil Rubbed Bronze

Other fine products



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AGENDA ITEM 5
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: John Miller, Community Housing Program Director

FOR: Design Review Board Public Hearing; September 2, 2021

DATE: August 20, 2021

RE: Consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 729R-7, 87 Pennington Place, pursuant to CDC Section 17.4.11.

APPLICATION OVERVIEW:

PROJECT GEOGRAPHY

Legal Description: LOT 729R-7, MOUNTAIN VILLAGE, ACCORDING TO THE PLAT OF LOTS 726R-1, 729R-1, 729R-2, 729R-3, 729R-4, 729R-5, 729R-6 & 729R-7 REPLAT, REZONE AND DENSITY TRANSFER, A REPLAT OF LOTS 726R, 729R AND TRACT 727R, MOUNTAIN VILLAGE, COLORADO, RECORDED JANUARY 23, 2001 IN PLAT BOOK 1 AT PAGE 2850, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Address: 87 Pennington Place
Applicant/Agent: TKP Architects
Owner: 89 Pennington, LLC
Zoning: Single-Family
Existing Use: Vacant Lot
Proposed Use: Single-Family
Lot Size: .648 acres
Adjacent Land Uses:

- **North:** Single-Family
- **South:** Open Space
- **East:** Multi-Family
- **West:** Open Space

ATTACHMENTS

Exhibit A: Architectural Plan Set
Exhibit B: Staff/Public Comment



Figure 1: Vicinity Map

Case Summary: Karen Keating of TKP Architects, Applicant is requesting Design Review Board (DRB) approval of a Final Architecture Review (FAR) Application for a new single-family home on Lot 729R-5, 87 Pennington Place. The Lot is approximately .648 acres and is zoned Single-Family. The overall square footage of the home is approximately 6,652 gross square feet (5,331 Finished) and provides 3 interior parking spaces within the proposed garage and 3 exterior parking spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. **Please note that Staff comments will be indicated by *Italicized Text*.**

Table 1

CDC Provision	Requirement	Proposed
Maximum Building Height	35' (shed) Maximum	25'-7"
Maximum Avg. Building Height	30' (shed) Maximum	18'-2"
Maximum Lot Coverage	40% Maximum (s.f.)	18%
General Easement Setbacks	16 Feet – No Encroachments	Encroachments
Roof Pitch		
Primary		0:12
Secondary		n/a
Exterior Material		
Stone	35% minimum	41.13%
Windows/Doors	40% maximum	26.70%
Parking	2 Enclosed	2+1 Tandem
	2 Surface	3

Design Review Board Specific Approvals:

1. **Metal Fascia**
2. **General Easement Encroachments**
3. **Board Form Concrete**
4. **Tandem Parking**

Design Review Board Design Variation:

1. **Road and Driveway Standards**

Staff Note: This Memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional relevant information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record from the Initial Review of this project.

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Staff: Complies with CDC requirements.

17.3.14: General Easement Setbacks

Lot 729R-7 is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses.

The proposal includes GE encroachments such as driveway elements, retaining walls, and landscaping that do not fall into the category of permitted setback development activity. These items were discussed in detail at the Initial Review, and the DRB requested additional information regarding the retaining wall which has been provided by the applicant as part of the final application materials. The DRB shall require a GE encroachment agreement for any approved encroachments.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: No changes.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: No changes.

17.5.6: Building Design

Staff: Overall, it appears that the applicant is meeting the CDC Building Design requirements. A condition of initial review was to detail snowmelt areas, and this has been updated for final – calling out 248 sq ft of snowmelt as shown on page A2.0.

17.5.7: Grading and Drainage Design

Staff: No changes.

17.5.8: Parking Regulations

Staff: The CDC requires all single-family homes to provide two enclosed and two surface parking spaces. The applicant has shown a total of 3 enclosed and 3 surface spaces, but the following items should be noted.

- 1. The applicant is requesting the DRB approve the request for tandem parking. The CDC allows for the DRB to grant this request for Lots smaller than 0.75 acres. Tandem parking has been requested for both the enclosed tandem space as well as the surface spaces. Due to the size and narrowness of this Lot, staff does not take issue with this request.*

17.5.9: Landscaping Regulations

The applicant has provided an updated landscaping plan for final review that was revised to include the following items addressing staff's initial concerns:

- 1. Removed flammable mulch material.*
- 2. Increased the diversity of plants and provided a specific planting schedule.*
- 3. Provided updated native grass mixture specs.*
- 4. Included specific irrigation notes and locations. Irrigation shown within the GE will require specific DRB approval and a GE encroachment agreement.*

17.5.11: Utilities

Staff: No changes.

17.5.12: Lighting Regulations

Staff: The applicant has provided an updated lighting plan for final review. The landscaping lighting was eliminated based on feedback from the DRB at the August Initial Review.

17.5.13: Sign Regulations

Staff: No changes.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: As part of the landscaping plan, the applicant did include information related to fire mitigation for the Lot. Given that the lot is completely free of trees, the Fire Mitigation Plan should focus on how the proposed landscaping for the home does not create a fire danger. Staff does not take issue with the conifers located along Pennington Place as they create additional screening, and otherwise the plantings are all listed on the CSU Firewise planting list. As mentioned above, the flammable mulch should be revised to a material more suitable for a wildfire zone. As noted above, the wood mulch has been revised now meeting the requirements of the CDC.

17.6.6: Roads and Driveway Standards

Staff: The retaining walls on the south side of the driveway do not meet the requirements of the CDC as shown for heights of retaining walls associated with driveway and parking areas –requiring a design variation. This was discussed in depth at the Initial Review and the applicant has provided a rendering of the proposed stepped retaining wall. Although stepped, this will still require a design variation to this standard.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The proposed design designates all fireplaces to be gas burning.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The applicant has revised their CMP to address the additional storm water and erosion control prevention for the site.

Staff Recommendation: Staff recommends the DRB approve the Final Architecture Review for Lot 729R-7, 87 Pennington Place based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architecture Review for a new single-family home located at Lot 729R-7, based on the evidence provided within the Staff Report of record dated August 20, 2021, with the following Specific Approvals and Design Variations:

Design Review Board Specific Approvals:

- 1) Metal Fascia
- 2) General Easement Encroachments
- 3) Board Form Concrete
- 4) Tandem Parking

Design Review Board Design Variation:

- 1) Road and Driveway Standards

And, with the following conditions:

- 1) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 2) Prior to the issuance of a building permit, the applicant shall obtain an easement from TSG to access the sewer line to the west of the home or submit a revised utility plan to the public works director that provides access from Pennington Place.
- 3) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 4) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way, general easement, or setback, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (Fire Department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 5) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.
- 6) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 7) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials

/jjm



TELLURIDE FIRE PROTECTION DISTRICT

Scott Heidergott, Fire Marshal

Address: 87 Pennington Place
Mountain Village, CO 81435
Architect: TKP Architect

- 1) The structure is over 3,600 sq ft and shall require a monitored sprinkler system.

John A. Miller

From: Finn KJome
Sent: Monday, March 29, 2021 10:14 AM
To: John A. Miller
Subject: RE: April 22, 2021 Special DRB Meeting Referrals - 729R-7, AR26, and 226BR

Here are my comments.
Finn

From: John A. Miller <JohnMiller@mtnvillage.org>
Sent: Friday, March 26, 2021 4:04 PM
To: Finn KJome <FKJome@mtnvillage.org>; Steven LeHane <SLeHane@mtnvillage.org>; Jim Loebe <JLoebe@mtnvillage.org>; Chris Broady <CBroady@mtnvillage.org>; jeremy@smpa.com; brien.gardner@blackhillscorp.com; kirby.bryant@centurylink.com; Scott Heidergott <sheidergott@telluridefire.com>; Mike Otto <MOtto@mtnvillage.org>
Cc: JD Wise <JWise@mtnvillage.org>
Subject: April 22, 2021 Special DRB Meeting Referrals - 729R-7, AR26, and 226BR

Good Afternoon All –

We currently have a big push for Design Review before spring melt so I am going to send you this month's referrals as one email instead of multiple. Amy should also sent or be in the process of sending a few more homes that she is reviewing.

1. New Single Family Home at 87 Pennington Place
https://townofmountainvillage.com/site/assets/files/34813/lot_729r-7_referral_packet.pdf
Field verify existing utilities. John we should probably talk about the swimming pool at some point no real issue just want to go over it with you. I don't have an issue with the encroachment into the GE but think DRB should discuss this.
2. New Single Family Home at 122 Singletree Road
https://townofmountainvillage.com/site/assets/files/34814/lot_ar26_referral_packet.pdf
Field verify existing utilities.
3. New Single Family Home at 242 Benchmark Drive
https://townofmountainvillage.com/site/assets/files/34815/lot_226br_referral_packet.pdf
Field verify existing utilizes. Work with Public Works on the future water tap.

Please let me know if there are any questions or concerns.

Best,
J

John A Miller III
Senior Planner
Planning & Development Services
Town of Mountain Village
455 Mountain Village Blvd, Suite A
Mountain Village, CO 81435
O :: 970.369.8203
C :: 970.417.1789



LOT 729R-7 FINAL ARCHITECTURE & SITE REVIEW



DRB INITIAL REVIEW

The DRB approved the Initial Architecture and Site Review on July 24, 2021 subject to the following conditions (our responses shown in *italics*):

1. As a part of the Building Permit submittal, the applicant shall update the landscape plan and fire mitigation plan to remove flammable mulch products from Zone 1.
On the landscaping sheets, the areas labeled "cedar mulch" have been changed to "rock mulch".
2. As part of the Building Permit submittal, the applicant shall revise the exterior lighting plan to remove the landscaping bollards from the Lot in their entirety.
The bollard lights along the driveway and the landscape pathway have been removed entirely. In the initial review meeting, some concerns for lighting of the lower retaining wall in the auto court were brought up. A couple additional in-wall downlights were added to help aid cars in turning around and locating the retaining wall.
3. As part of the Building Permit submittal, the applicant shall revise the construction mitigation plan to include additional silt fencing along Pennington Place, as well as include additional on-street parking requests.
The civil engineer was consulted on the silt fencing, and he advised that the straw wattles in the concentrated drainage swales along the driveway are there to filter any runoff heading towards Pennington Place. The silt fencing on the site is located along the entire downhill side of the site and filters the remaining runoff from the property. Additional parking has been added to the street. Please refer to the Civil drawings.
4. Prior to the submittal for a Final Architectural Review, the applicant shall provide an exterior lighting plan to include specific fixture cut sheets, dimmer switch details, and a photometric study of the Lot demonstrating compliance with the CDC lighting standards.
This condition has been met.
5. Prior to the submittal for a Final Architectural Review, the applicant shall revise the driveway widths and overall grades to comply with the CDC requirements.
This condition has been met.
6. Prior to the submittal for a Final Architectural Review, the applicant shall provide a construction mitigation plan.
This condition has been met.
7. Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
This condition should carry forward and will be included in the Final Plan approval. Current shown location of utility connections have been advised through the consultation of public works.

8. Prior to the issuance of a building permit, the applicant shall obtain an easement from TSG to access the sewer line to the west of the home or submit a revised utility plan to the public works director that provides access from Pennington Place.

This condition should carry forward and will be included in the Final Plan approval.

9. Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

This condition should carry forward. Notation has been added to relevant plan and elevation sheets regarding non-combustible construction.

10. It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way, general easement, or setback, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (Fire Department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

This condition is understood by the applicant.

11. Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.

This condition should carry forward and be included in the Final Plan approval.

12. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

This condition should carry forward and be included in the Final Plan approval.

13. Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials

This condition should carry forward and be included in the Final Plan approval.

SPECIFIC DESIGN APPROVALS

We are seeking four (4) specific design approvals as follows:

1. Variation to 17.5.6(E)(3) to allow for the use of metal as a material for the fascia.
2. Variation to 17.3.14(F) to allow for a General Easement Encroachment.
3. Variation to 17.5.6(E)(7)(b) to allow for the use of board form concrete as an accent material to a few exterior elements.
4. Variation to 17.5.8(A)(2) for the use of tandem parking.

CDC Section 17.5.6(E)(3) states that metal fascia material requires a specific approval. We are using a thin dark bronze metal that is bonded to a substrate as our fascia material on all our flat roof overhangs. This material is meant to strengthen the horizontal nature of the architecture and will match the window and door frames.

CDC Section 17.3.14(F) states that the DRB may waive the general easement setback. In our Initial DRB meeting, the board was in general agreement that we had a justifiable reason to allow a portion of the driveway and the accompanying retaining wall to encroach into the GE. Our initial responses to the CDC guidelines are provided below (with our responses in blue):

1. The applicant has demonstrated that avoiding grading and disturbance in the general easement setback would create a hardship, and there is not a practicable alternative that allows for reasonable use of the lot;

- Lot 729R-7 has a number of unique attributes and constraints that have driven the current design of the residence.

The site is graced with ample views from the northwest to the northeast. Any well designed house in The Mountain Village would take advantage of these views. To maximize this asset, we placed the entrance on the southern side, allowing the occupants to take advantage of these views from the moment they step into the house. We also placed the garage and accompanying auto court to the southern side. This creates advantages for both the occupants and the surrounding community. For the occupants, this keeps any driveway and connecting hardscape out of the primary north views, allowing a yard and landscaping to compliment the view side of the house. The driveway and autocourt are located on the southern side of the residence where there is the most sun exposure to melt off snow accumulation. For the community, the most attractive parts of the house are exposed, while the driveway and parking areas are almost completely hidden by the house and retaining wall.

The small size and relatively narrow shape of the property reduces the width of the lot, especially toward the southwestern end. The private covenant height restriction imposed on the property practically prohibits the residence from having an upper level.

Even with flat roofs, the only way for an appropriately designed and sized program to work would be to spread out a main level with a walkout basement.

To be able to design an appropriately sized and programmed house, take advantage of the site features and minimize the impact to the community under these constraints, our driveway needs to be able to run along the southern property edge.

2. The disturbance in the general easement setback is due to natural features of the site, such as steep slopes, wetlands and streams;
 - The size, shape and sloping grade of the site create a limited number of options for siting the programmatic elements of the residence. The private height restriction, combined with the program requirements, create the need for the driveway to encroach into the easement.
3. No unreasonable negative impacts result to the surrounding properties;
 - One of the main reasons we justified encroaching into the General Easement was the fact that the property is adjacent to an Open Space Tract. The encroachment occurs on the southeastern side of the property that is adjacent to this open space. Private property is unaffected by our encroachment. Also, since our driveway would be lower than the natural grade, the public would not be able to see any evidence of this encroachment from the street.
4. The general easement setback or other setback will be revegetated and landscaped in a natural state;
 - Any disturbance to the general easement, where our driveway and retaining wall is not present, will be returned to the natural state.
5. The Public Works Department has approved the permanent above-grade and below-grade improvements;
 - The Public Works Department has made no comment regarding our GE encroachment.
6. The applicant will enter into an encroachment agreement with the Town with the form and substance prescribed by the Town; and
 - We agree to entering into an encroachment agreement
7. Encroachments into the general easement setback or other setbacks are mitigated by appropriate landscaping, buffering and other measures directly related to mitigating the encroachment impacts.
 - From the Open Space Tract, all vegetation will be returned to a natural state. There will only be an approximate 6" protrusion of the top of the retaining wall visible. From Pennington Place, the point at which the driveway and retaining wall enter into the GE, landscaping will be strategically placed to screen from public view.

CDC Section 17.5.6(E)(7)(b) states that concrete can only be used as an exterior material for structural elements, or as board formed concrete. Our design uses board form concrete sparingly, as an exterior accent material to highlight specific vertical elements.

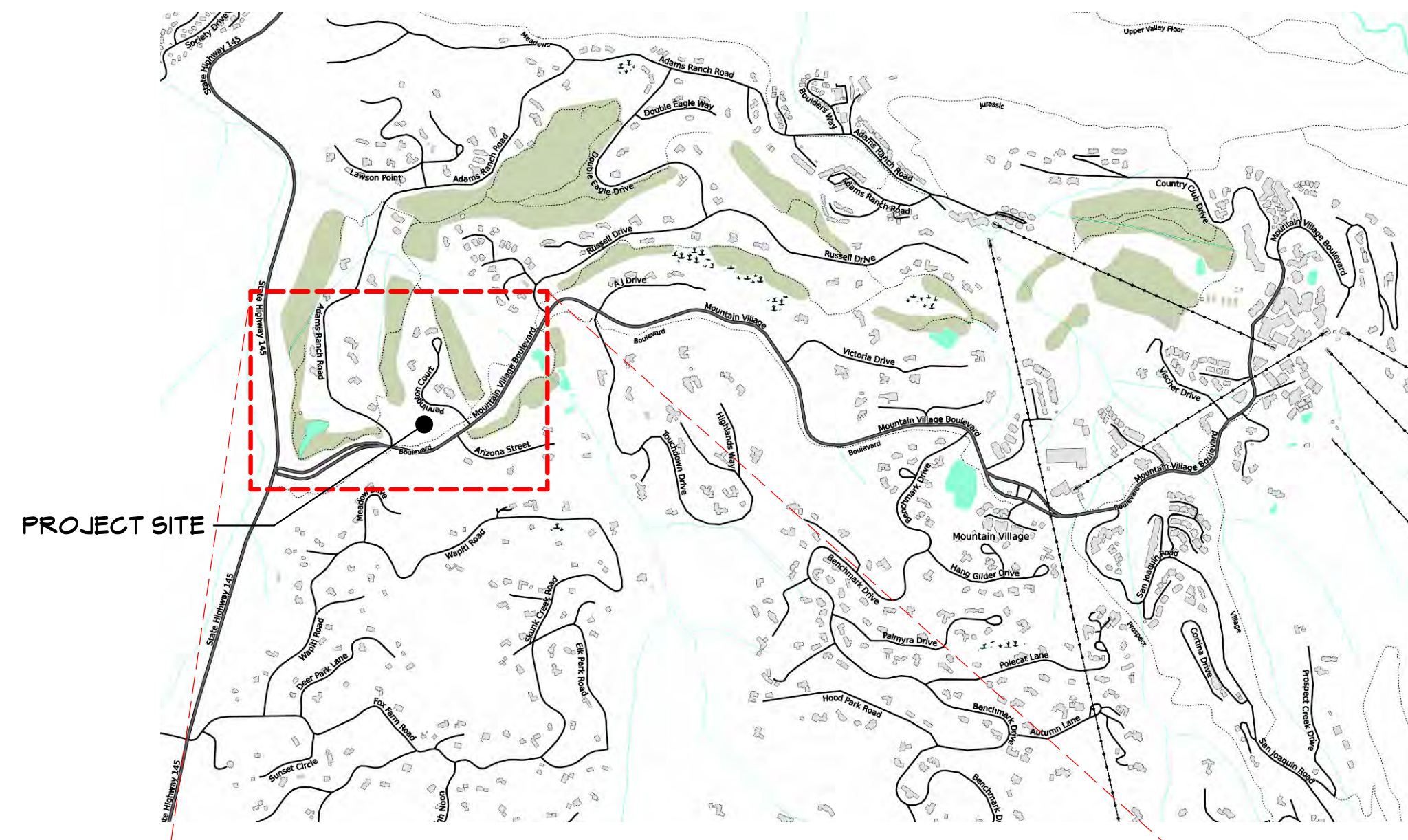
CDC Section 17.5.8(A)(2) states that the review authority may allow for tandem spaces as the two (2) surface spaces. We are showing two (2) standard parking spaces with an additional tandem space for extra car storage and feel that this design request does not apply.

RETAINING WALL

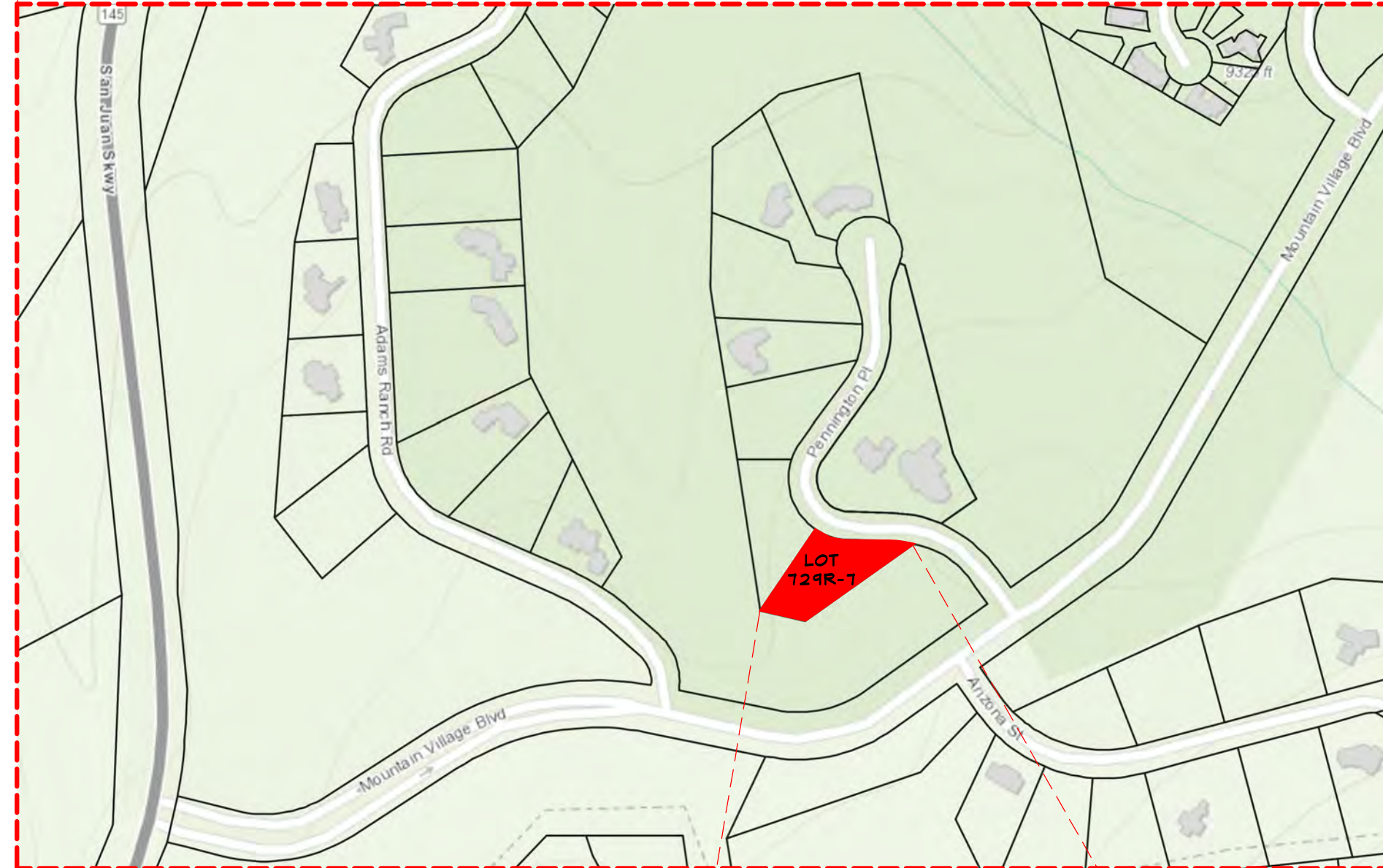
During the Initial Design Review, it was requested that we show an image looking at the retaining wall as seen from the front entry.



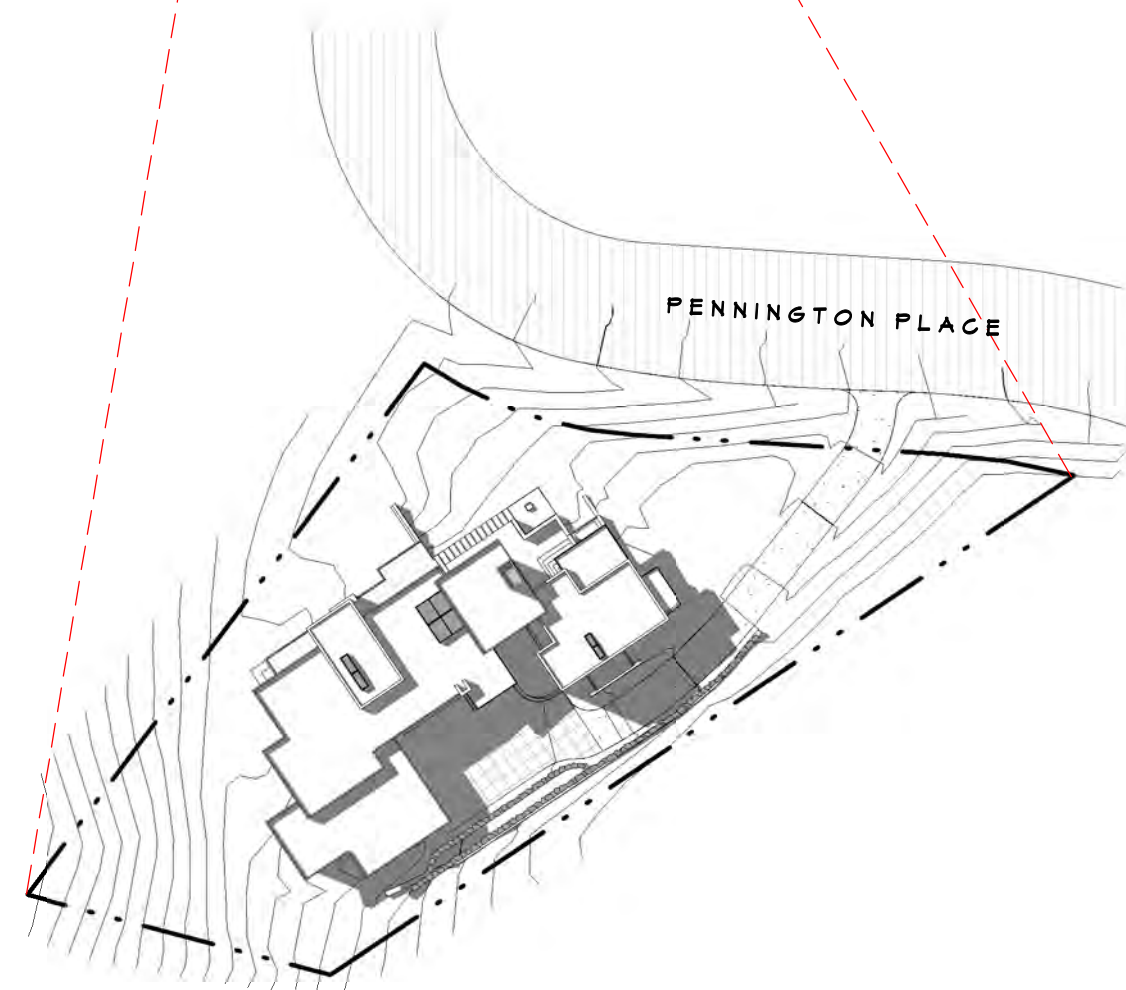
This image hopefully illustrates how we intend to lessen the impact of the 9' high structural concrete retaining wall. The concrete wall will be faced with the same rough stone used on the house. A lower dry-stacked landscape wall



VICINITY MAP



PLAT MAP



LOT 729R-7



SHEET INDEX

A0.0	COVER SHEET & PROJECT DATA
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A0.2	IMPROVEMENT SURVEY PLAT
A0.3	SITE PLAN
A0.4	HEIGHT LIMIT ANALYSIS
A0.5	PRIVATE COVENANT HEIGHT LIMIT
A0.6	FIRE MITIGATION PLAN
A1	LOWER FLOOR PLAN
A2.0	MAIN FLOOR PLAN
A2.1	MAIN FLOOR PLAN - MSTR
A3.0	ROOF PLAN
A3.1	ROOF PLAN - MSTR
A4.0	ELEVATIONS @ 1/8" = 1' / ROUGH OPENING SCHEDULE
A4.1	ELEVATIONS @ 1/4" = 1'
A4.2	ELEVATIONS @ 1/4" = 1'
A4.3	ELEVATIONS @ 1/4" = 1'
A5.0	EXTERIOR MATERIAL CALCS
A5.1	EXTERIOR MATERIAL BOARD
A5.2	EXTERIOR RENDERS
A6	BUILDING SECTIONS
A7	BUILDING SECTIONS
A8	SECTION DETAILS
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C1	CIVIL ENGINEERING NOTES
C2.2	GRADING AND DRIVEWAY PROFILE
G3	UTILITIES
G4	CONSTRUCTION MITIGATION PLAN
1	LANDSCAPE PLAN
2	IRRIGATION PLAN
3	OUTDOOR PATHWAY LIGHTING PLAN

PROJECT DIRECTORY

ARCHITECT: TKP ARCHITECTS
1509 WASHINGTON AVE
GOLDEN, CO 80401
303.278.8840

CONTRACTOR: GODY ABBOTT
TOP NOTCH CONSTRUCTION
970.546.1014

SURVEYOR: FOLEY ASSOCIATES, INC
125 W PACIFIC AVE, SUITE B-1
TOLLURIE, CO 80143
970.728.6193

STRUCTURAL: DAVE BENNING
SOP PARTNERSHIP
1509 WASHINGTON AVE
GOLDEN, CO 80401
303.278.8840

CIVIL: DAVID BALLODE
UNCOMPANHE ENGINEERING
113 LOST CREEK LANE, SUITE D
MOUNTAIN VILLAGE, CO 81435
970.729.0653

LANDSCAPE: DESIGNSCAPES COLORADO
15440 EAST FREMONT DRIVE
CENTENNIAL, CO 80112
303.755.7040

LEGAL DESCRIPTION

LOT 729R-7, TOWN OF MOUNTAIN VILLAGE, LOCATED WITHIN SECTION 4, T. 42 N. R. 9 N. SAN MIGUEL COUNTY, COLORADO

FLOOR AREAS

FINISHED SPACES	AREA S.F.
MAIN FLOOR	5351
LOWER FLOOR	1112
TOTAL FINISHED	5331
UNFINISHED SPACES	
GARAGE	432
STORAGE / MECH	384
TOTAL UNFINISHED	1921
TOTAL BUILDING	6652
OUTDOOR SPACES	
OUTDOOR ROOM	248
DECK	545
PATIOS ON GRADE	-/- 802
AUTO COURT	+/- 1650
DRIVEWAY	+/- 1750

BUILDING ELEVATIONS

MAIN FLOOR @ ENTRY	9246'-0"
FLOOR LEVEL @ MSTR	9249'-0"
GARAGE SLAB @ DOORS	9245'-4"
LOWER FLOOR	9234'-0"
T.O. ROOF @ MAIN FLOOR	9258'-0"
T.O. ROOF @ MSTR	9264'-0"
T.O. ROOF @ GREAT ROOM	9267'-0"
T.O. ROOF @ KITCHEN	9259'-6"
T.O. ROOF @ GARAGE	9256'-0"

GENERAL PROJECT NOTES (2012 IRC)

- ALL CONSTRUCTION TO BE COMPLETED PER GOVERNING CODES BELOW:
2012 INTERNATIONAL RESIDENTIAL CODE (IRC) w/ LOCAL AMENDMENTS
2012 INTERNATIONAL PLUMBING CODE (IPC) w/ LOCAL AMENDMENTS
2012 INTERNATIONAL MECHANICAL CODE (IMC) w/ LOCAL AMENDMENTS
2012 INTERNATIONAL FUEL GAS CODE w/ LOCAL AMENDMENTS
2011 NATIONAL ELECTRICAL CODE
- DO NOT SCALE BLUEPRINTS. WRITTEN DIMENSIONS TAKE PRECEDENCE IN ALL CASES.
ALL EXTERIOR WALLS TO BE 2x6 @ 16" O.C. EXCEPT AS NOTED ON THESE ARCHITECTURAL AND STRUCTURAL PLANS (RE: 2012 IRC, SECTION R602)
- ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. EXCEPT AS NOTED ON THESE ARCHITECTURAL AND STRUCTURAL PLANS. (RE: 2012 IRC, SECTION R602)
- ALL WINDOW SIZES NOTED ON THESE ARCHITECTURAL PLANS ARE GENERIC DIMENSIONS. TO BE READ AS "FEET - INCHES". (A WINDOW SIZE OF "11'-6" DENOTES "11'-6" WIDE BY 5'-0" HIGH). CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ARCHITECT IF WINDOW MANUFACTURER'S SPECIFIC WINDOW SIZES DO NOT MATCH THE GENERIC WINDOW DESIGNATIONS ON THESE PLANS.
- ALL GLASS IN HAZARDOUS LOCATIONS AS DEFINED BY THE 2012 IRC, SECTION R308.4, SHALL MEET THE GOVERNING CODE REQUIREMENT FOR SAFETY GLAZING.
- FIREPLACES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH APPLICABLE CODES (2012 IRC, SECTION R100.1) AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL GUARDRAILS SHALL COMPLY WITH THE 2012 IRC, SECTION R312.
- ALL HANDRAILS SHALL COMPLY WITH THE 2012 IRC, SECTION R311.7.B.
- PROVIDE BLOCKING AT ALL CLOSET ROD, SHELF, AND BRACKET LOCATIONS AND AT ALL HANDRAILS, SHOWER DOOR, AND TUB ENCLOSURE LOCATIONS.
- INSTALL "DUROCK" OR EQUIVALENT CONCRETE BACKING BOARD AT SHOWER / TUB ENCLOSURES, SHOWER BENCHES, TUB DECKS AND LOCATIONS TO RECEIVE TILE FINISHES.
- TOP OF ALL SHOWER BENCHES AND LEDGES SHALL BE SLOPED TO DRAIN AT 1/4" PER FOOT MINIMUM.
- SEE STRUCTURAL PLANS FOR ALL STRUCTURAL NOTES, MEMBER SIZES AND DETAILS.
- ALL DOORS BETWEEN DWELLING AND GARAGE AREAS MUST MEET THE REQUIREMENTS OF THE 2012 IRC, SECTION R302.5.
- PROVIDE 5/8" TYPE 'X' GYPSUM WALLBOARD AT GARAGE WALLS AND CEILING ADJACENT TO LIVING AREAS. AT GARAGE CEILING, REFER TO THE NATIONAL EVALUATION SERVICE, INC. REPORT NUMBER NER-2007, SECTION 3.5.2. ALL EXPOSED BEAMS TO BE WRAPPED.
- PROVIDE 26 GA. FLASHING BETWEEN EXTERNAL CONCRETE SLABS AND WOOD FRAMING.
- PROVIDE ROOF AND ATTIC VENTILATION IN ACCORDANCE WITH THE 2012 IRC, SECTION R308.
- GUTTERS, WHERE PROVIDED AT HORIZONTAL FASCIA, SHALL HAVE ONE DOWNSPOUT EVERY 25'-0" MAX.
- DOWNSPOUTS, WHERE PROVIDED, SHALL DISCHARGE OUTWARD BEYOND THE LIMITS OF THE FOUNDATION BACKFILL.
- ALL EXPOSED ROOF VENTS AND STACKS ARE TO BE PAINTED TO MATCH THE ADJACENT ROOF MATERIAL. LOCATE ALL VENTS AND STACKS TO THE REAR OF THE RIDGE IF POSSIBLE.
- PROVIDE FLASHING AT ALL ROOF TO ROOF CONNECTIONS, ROOF TO WALL CONNECTIONS AND ALL ROOF PENETRATIONS AS REQUIRED BY GOVERNING CODE.
- PROVIDE FLASHING AT ALL WINDOWS AND DOORS AND AT ALL BUILDING MATERIAL CONNECTIONS.
- BUILDER TO VERIFY AND COORDINATE UTILITY CONNECTIONS, THEIR ROUTING, AND ALL METER LOCATIONS.
- ICE AND WATER SHIELD TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS (SEE SECTION FOR NOTE.)
- INSTALL A CONTINUOUS 2x4 WOOD CANT STRIP AT ALL ROOF PITCH CHANGES TO PROVIDE CONTINUOUS BACKING BEHIND ICE AND WATER SHIELD.

ENERGY REQUIREMENTS

PER "RES-CHECK" OR PRESCRIPTIVE PACKAGE AS FOLLOWS FOR ALL NEW CONSTRUCTION:
U-VALUE FOR ALL PENETRATION GLAZING SHALL BE 0.32 (MAX.)
U-VALUE FOR ALL SKYLIGHT GLAZING SHALL BE 0.55 (MAX.)

PROVIDE R-49 (MIN) INSULATION IN ALL EXTERIOR ROOFS
PROVIDE R-20 + 5 OR R-13 + 10* (MIN) INSULATION IN ALL EXTERIOR WALLS
PROVIDE R-30 (MIN) INSULATION IN ALL FLOORS OVER UNHEATED SPACES & CANTILEVERS
PROVIDE R-10 (MIN) SLAB INSULATION FOR A DEPTH OF 4'-0"
PROVIDE R-15/14* (MIN) INSULATION FOR ALL CRAWL SPACE WALLS
PROVIDE R-15/14* (MIN) INSULATION FOR ALL UNFINISHED BASEMENT FOUNDATION WALLS

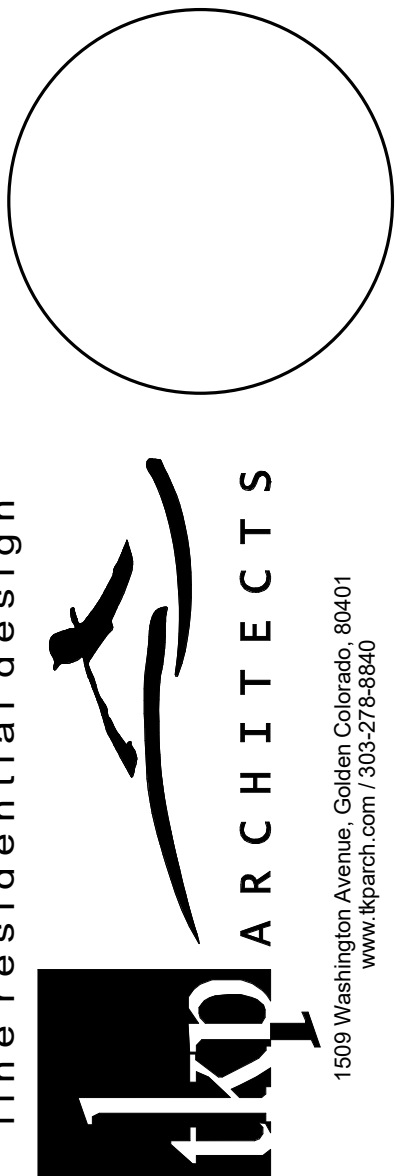
* FIRST VALUE IS CAVITY INSULATION, SECOND IS CONTINUOUS INSULATION.
* R-15/14 DENOTES R-15 CONTINUOUS OR R-14 CAVITY INSULATION, PER 2012 IECC

IN ADDITION TO THE ABOVE INSULATION AND GLAZING STANDARDS, THE CONSTRUCTION OF THIS HOUSE MUST CONFORM TO ALL OTHER PROVISIONS OF THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE.

PROJECT DATA

LOT INFO	
LOT NAME	LOT 729R-7
ZONING	SINGLE FAMILY RESIDENTIAL
LOT SIZE	100% = .648 ACRES = 28,246 SF
MAX LOT COVERAGE	40% = .259 ACRES = 11,298 SF
LOT COVERAGE	18% = .114 ACRES = 4,976 SF
BUILDING INFO	
DESCRIPTION	1.0 STORY w/ WALKOUT BASEMENT
BUILDING HEIGHT	ALLOWED* ACTUAL
MAXIMUM	35' 25' - 7' +/-
AVERAGE	30' 18' - 2' +/-
LOT SPECIFIC COVENANT RESTRICTIONS*	
PARKING SPACES	REQUIRED ACTUAL
ENCLOSED	2 2 + 1 TANDEM
SURFACE	2 3

* LOT 729R-7 HAS A RESTRICTIVE COVENANT AGREEMENT LIMITING BUILDING STRUCTURE HEIGHT. THE LIMITS IMPOSED ARE REPRESENTED ON THE SITE PLAN AS MAX ELEVATION LINES. THESE LINES WERE INTENDED TO BE THE MAX HEIGHT OF THE ROOF RIDGES, SINCE THE PROPOSED STRUCTURE USES FLAT ROOFS. THE PARAPET IS KEPT BELOW THE COVENANT HEIGHT RESTRICTIONS. (SEE ATTACHED COVENANT ON SHEET A0.5 FOR FURTHER INFORMATION)

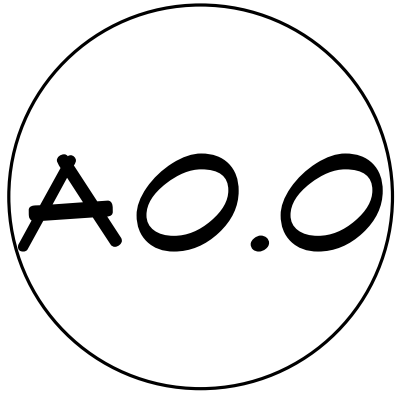


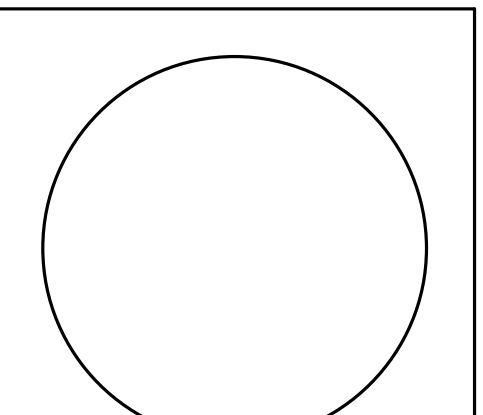
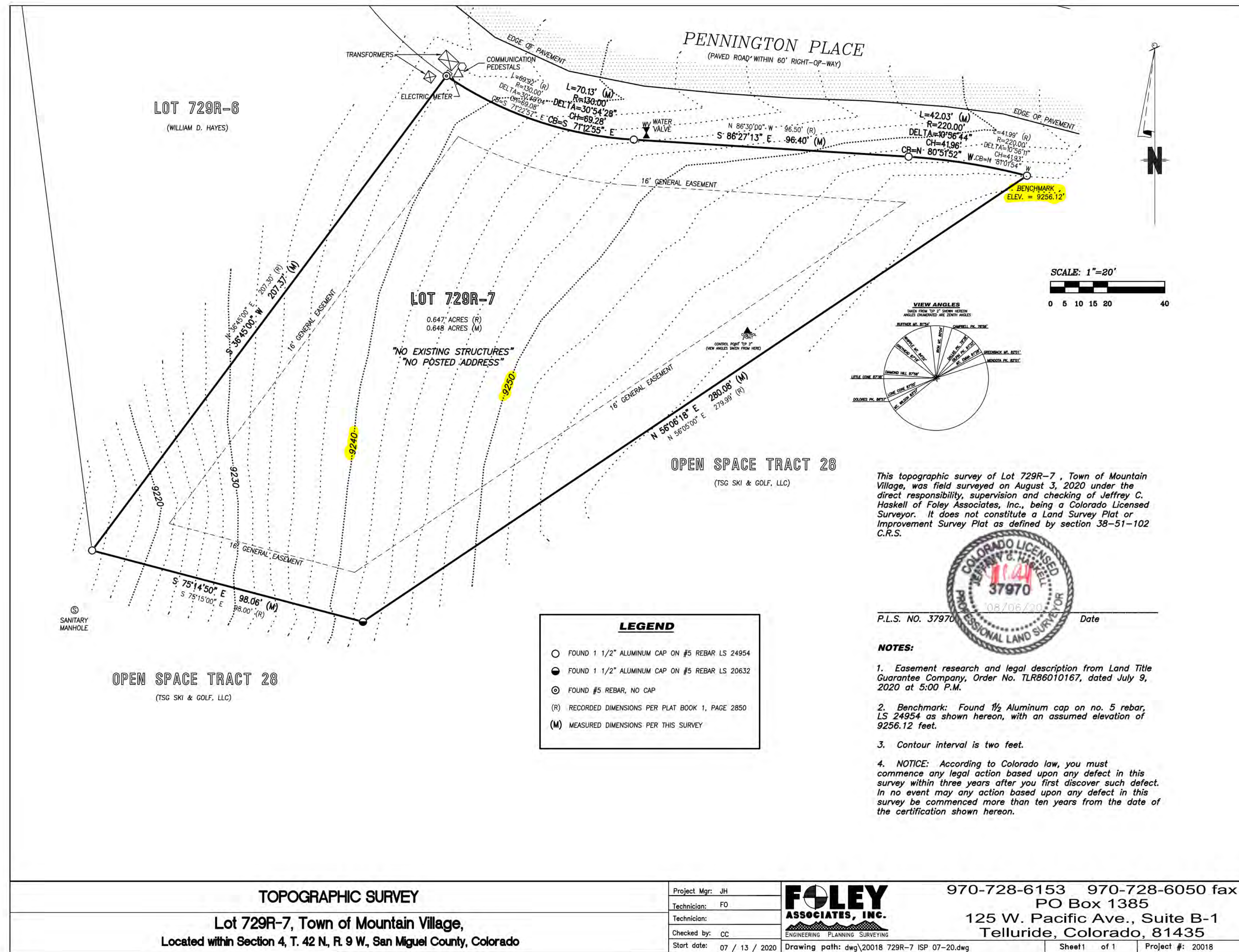
NOTICE: DUTY OF COOPERATION
Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his consultants have performed their services with reasonable care and skill, they cannot be held responsible for any errors, omissions, and every contractor must be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences. Contractor and Owner are unbound and shall release the Architect and Owner of such responsibility for all consequences arising out of such changes.

CUSTOM RESIDENCE
87 PENNINGTON PLACE
MOUNTAIN VILLAGE, CO 81435
SAN MIGUEL COUNTY

SUBMISSIONS

DRB Feedback	02/02/2021
Issued to DRB	02/17/2021
Resubmitted to DRB	04/01/2021
Issued to DRB	07/19/2021
Issued for FAR	08/18/2021





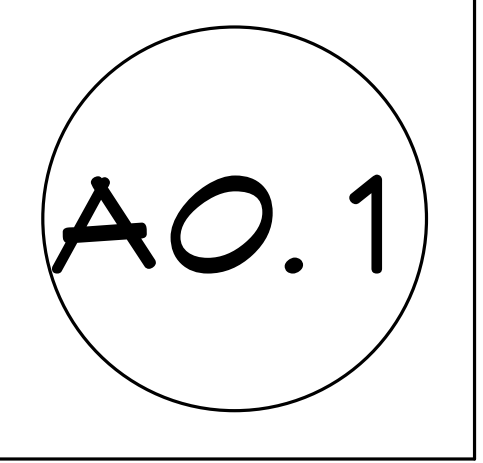
fine residential design
tkp ARCHITECTS
 1503 Washington Avenue, Golden, Colorado, 80401
 www.tkparchitects.com/730.679.6690

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 Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his consultants have performed their services with care, they may not be able to anticipate every condition or circumstance that may be encountered. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences. The Contractor and Owner are unimpaired, and shall relieve the Architect and Owner of such responsibility for all consequences arising out of such changes.

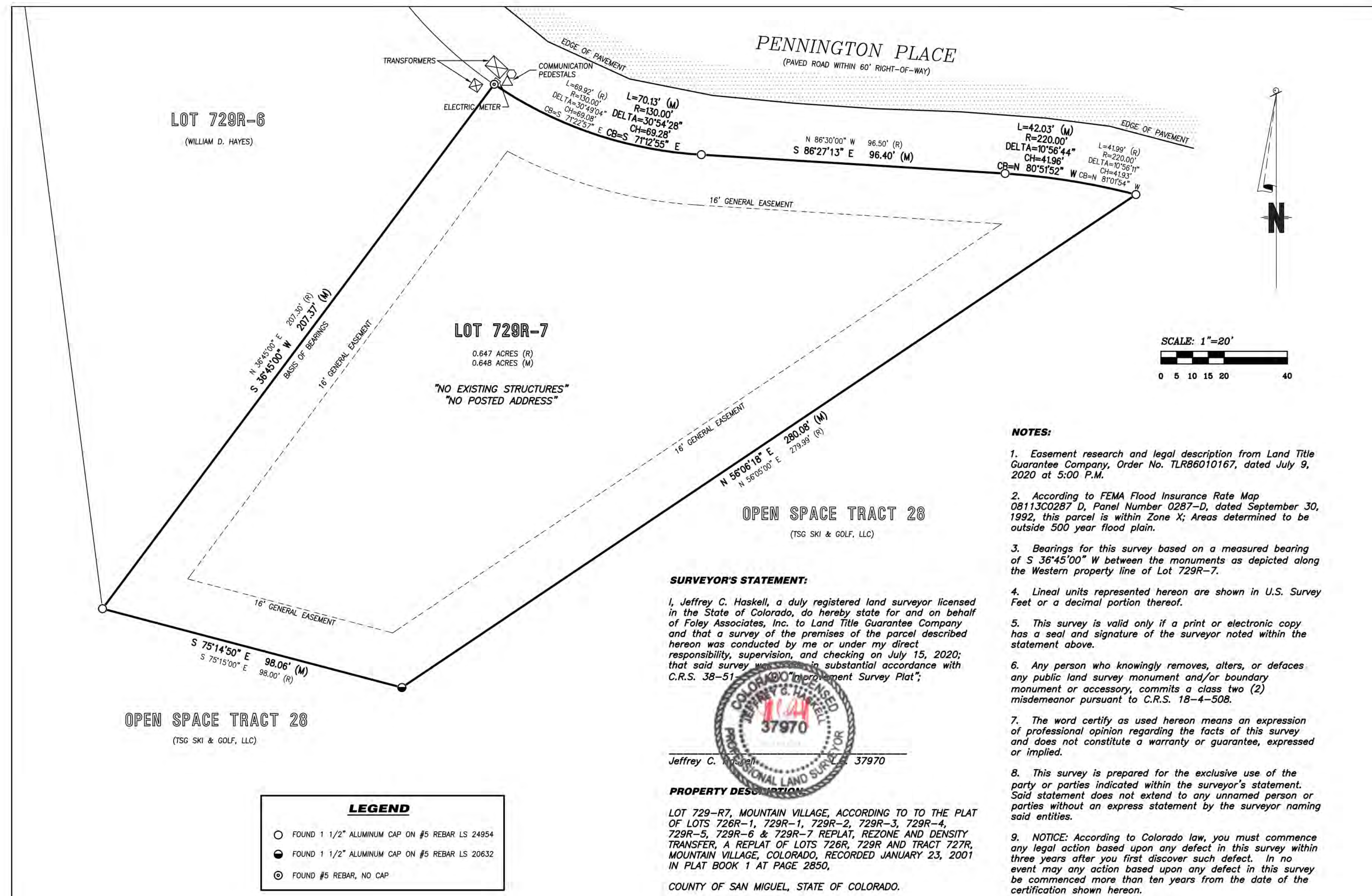
CUSTOM RESIDENCE
 87 PENNINGTON PLACE
 MOUNTAIN VILLAGE, CO 81435
 SAN MIGUEL COUNTY

SUBMISSIONS

DRB Feedback	02/02/2021
Issued to DRB	02/17/2021
Revised to DRB	04/01/2021
Issued to DRB	07/19/2021
Issued for FAR	08/18/2021



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LEGEND

○	FOUND 1 1/2" ALUMINUM CAP ON #5 REBAR LS 24954
●	FOUND 1 1/2" ALUMINUM CAP ON #5 REBAR LS 20632
⊙	FOUND #5 REBAR, NO CAP

SURVEYOR'S STATEMENT:

I, Jeffrey C. Haskell, a duly registered land surveyor licensed in the State of Colorado, do hereby state for and on behalf of Foley Associates, Inc. to Land Title Guarantee Company and that a survey of the premises of the parcel described hereon was conducted by me or under my direct responsibility, supervision, and checking on July 15, 2020; that said survey was made in substantial accordance with C.R.S. 38-51-101 through 103.



Jeffrey C. Haskell
PROFESSIONAL LAND SURVEYOR 37970

PROPERTY DESCRIPTION:

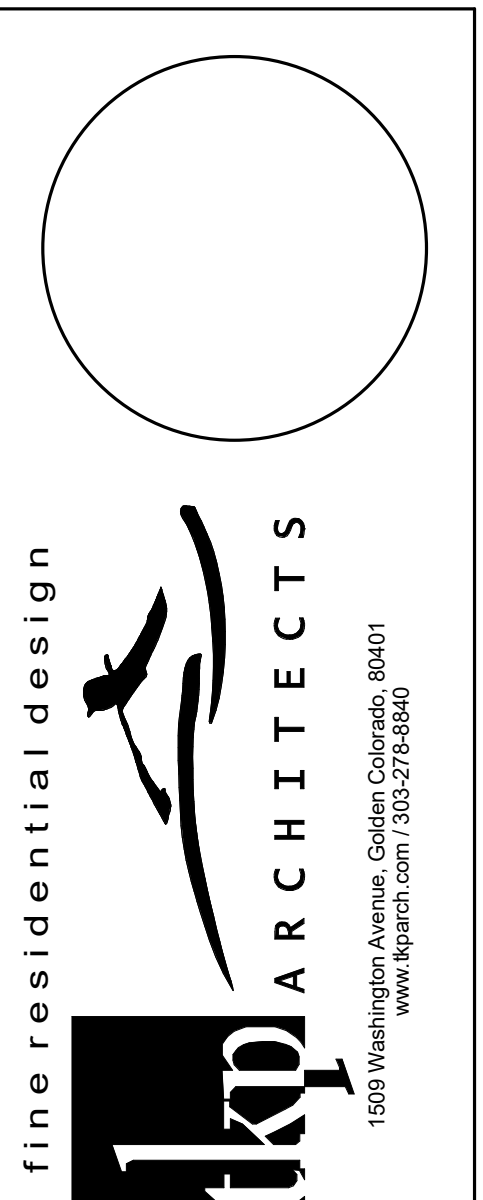
LOT 729-R7, MOUNTAIN VILLAGE, ACCORDING TO THE PLAT OF LOTS 726R-1, 729R-1, 729R-2, 729R-3, 729R-4, 729R-5, 729R-6 & 729R-7 REPLAT, REZONE AND DENSITY TRANSFER, A REPLAT OF LOTS 726R, 729R AND TRACT 727R, MOUNTAIN VILLAGE, COLORADO, RECORDED JANUARY 23, 2001 IN PLAT BOOK 1 AT PAGE 2850.

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

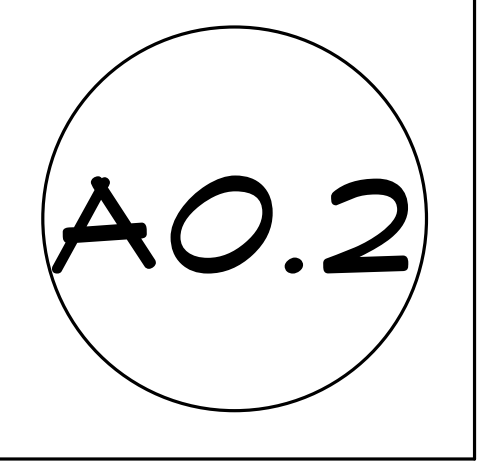
- Easement research and legal description from Land Title Guarantee Company, Order No. TLR86010167, dated July 9, 2020 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Map 08113C0287 D, Panel Number 0287-D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500 year flood plain.
- Bearings for this survey based on a measured bearing of S 36°45'00" W between the monuments as depicted along the Western property line of Lot 729R-7.
- Lineal units represented hereon are shown in U.S. Survey Feet or a decimal portion thereof.
- This survey is valid only if a print or electronic copy has a seal and signature of the surveyor noted within the statement above.
- Any person who knowingly removes, alters, or defaces any public land survey monument and/or boundary monument or accessory, commits a class two (2) misdemeanor pursuant to C.R.S. 18-4-508.
- The word certify as used hereon means an expression of professional opinion regarding the facts of this survey and does not constitute a warranty or guarantee, expressed or implied.
- This survey is prepared for the exclusive use of the party or parties indicated within the surveyor's statement. Said statement does not extend to any unnamed person or parties without an express statement by the surveyor naming said entities.
- NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

<p align="center">Improvement Survey Plat Lot 729R-7, Telluride Mountain Village, Located within Section 4, T. 42 N, R. 9 W, San Miguel County, Colorado</p>	Project Mgr: JH Technician: FO Checked by: DS Start date: 07 / 13 / 2020	 FOLEY ASSOCIATES, INC. ENGINEERING PLANNING SURVEYING	970-728-6153 970-728-6050 fax PO Box 1385 125 W. Pacific Ave., Suite B-1 Telluride, Colorado, 81435
	Drawing path: dwg\20018 729R-7 ISP 07-20.dwg Sheet 1 of 1 Project #: 20018	Submissions DRB Feedback 02/02/2021 Issued to DRB 02/17/2021 Reissued to DRB 04/01/2021 Issued to DRB 07/19/2021 Issued for FAR 08/18/2021	



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NORTHWEST

1" = 20'-0"



SOUTHEAST

1" = 20'-0"



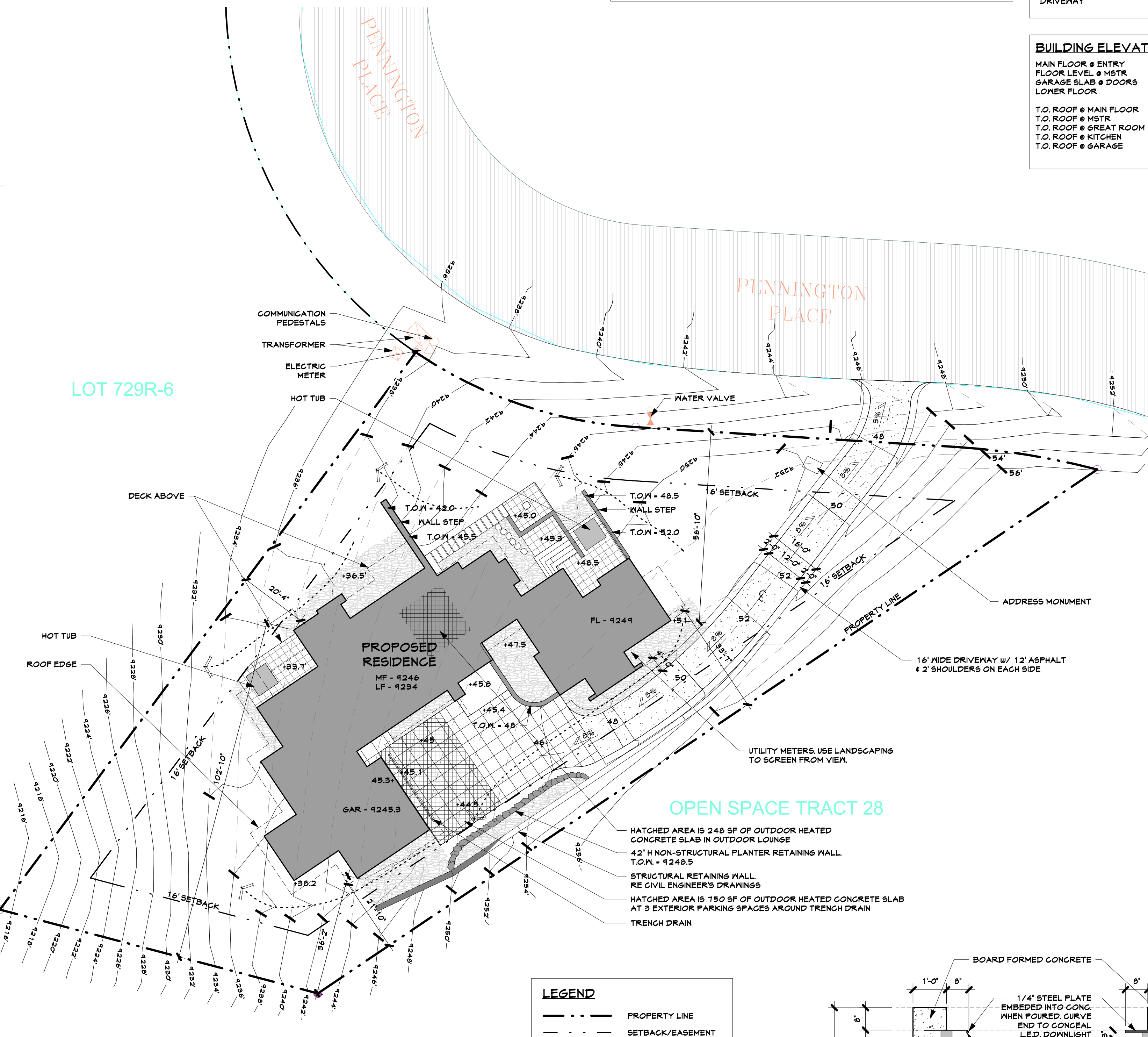
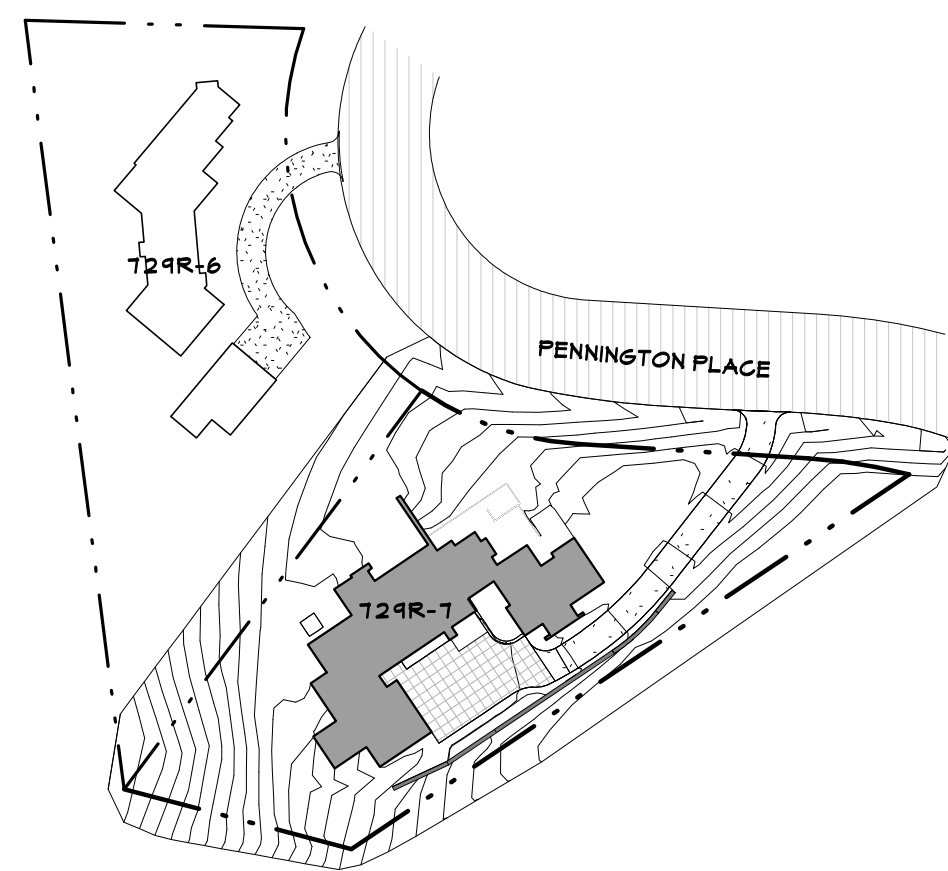
NORTHEAST

1" = 20'-0"



SOUTHWEST

1" = 20'-0"



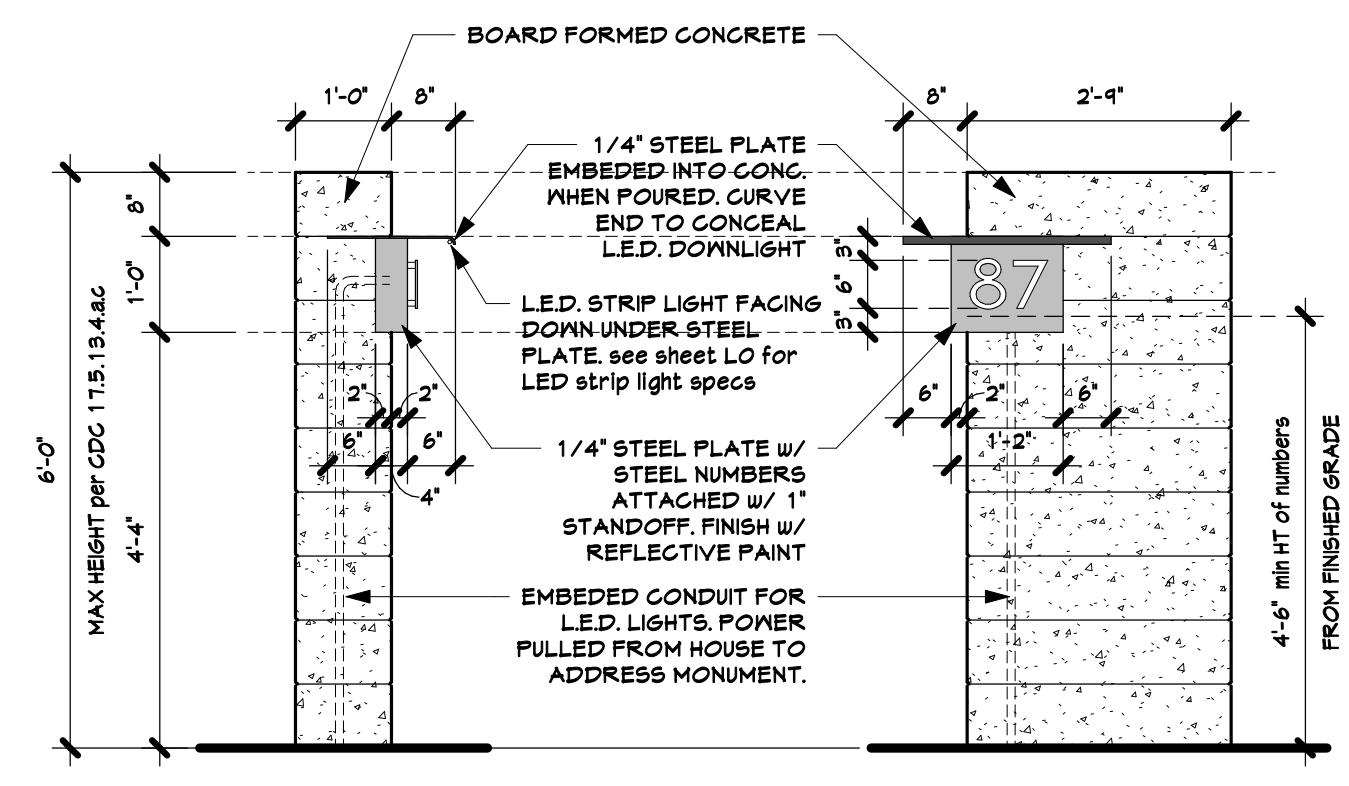
OPEN SPACE TRACT 28

SITE PLAN

1" = 20'-0"

LEGEND

- PROPERTY LINE
- - - SETBACK/EASEMENT
- NEW OR UNCHANGED CONTOUR
- - - EXISTING CONTOUR TO BE RE-GRADED
- - - DRAINAGE SWALE
- █ NEW STRUCTURE
- █ EXISTING ROAD
- █ NEW ROAD
- █ PATIO ON GRADE
- █ PLANTING & LANDSCAPE



ADDRESS MONUMENT

1/2" = 1'-0"

SITE PLAN NOTE

CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION OF SEWER STUB-OUT BEFORE FOUNDATION EXCAVATION AND CONSTRUCTION. ARCHITECT MUST BE NOTIFIED IMMEDIATELY IF SEWER LINE FROM HOUSE CANNOT BE TIED INTO SEWER STUB OUT. ARCHITECT IS NOT RESPONSIBLE FOR ANY COSTS INCURRED, INCLUDING FEES FOR REVISIONS TO SITE PLAN, BASED ON FAILURE OF CONTRACTOR TO PROVIDE TIMELY NOTIFICATION OF SEWER ELEVATION OR LOCATION DISCREPANCIES.

CONTRACTOR SHALL STRIP AND FILL TOP SOIL WITHIN GRADING BOUNDARIES FOR RE-DISTRIBUTION UPON COMPLETION OF SITE GRADING.

BUILDER NOTE

CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR BUILDING THE PROJECT IN ACCORDANCE WITH THE DESIGN INTENT OF THE ARCHITECTURAL CONSTRUCTION DOCUMENTS, AND SHALL HAVE TOTAL CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH ALL BUILDING MATERIALS, SYSTEMS AND COMPONENTS INCLUDING THE STRUCTURAL, ELECTRICAL AND MECHANICAL BUILDING MATERIALS, SYSTEMS AND COMPONENTS NECESSARY FOR THE SAFE, PROPER AND CORRECT COMPLETION OF THIS PROJECT.

LEGAL DESCRIPTION

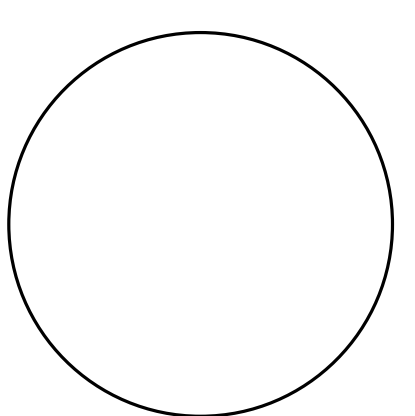
LOT 124R-1, TOWN OF MOUNTAIN VILLAGE, LOCATED WITHIN SECTION 4, T. 42 N, R. 9 W, SAN MIGUEL COUNTY, COLORADO

FLOOR AREAS

FINISHED SPACES	AREA S.F.
MAIN FLOOR	935.4
LOWER FLOOR	181.2
TOTAL FINISHED	533.1
UNFINISHED SPACES	
GARAGE	493.2
STORAGE / MECH	30.1
TOTAL UNFINISHED	192.1
TOTAL BUILDING	665.2
OUTDOOR ROOM	
DECK	248
PATIOS ON GRADE	545
AUTO COURT	1150
DRIVEWAY	1150

BUILDING ELEVATIONS

MAIN FLOOR @ ENTRY	9246'-0"
FLOOR LEVEL @ MSTR	9244'-0"
GARAGE SLAB @ DOORS	9245'-4"
LOWER FLOOR	9234'-0"
T.O. ROOF @ MAIN FLOOR	
T.O. ROOF @ MSTR	9250'-0"
T.O. ROOF @ GREAT ROOM	9261'-0"
T.O. ROOF @ KITCHEN	9259'-6"
T.O. ROOF @ GARAGE	9256'-0"



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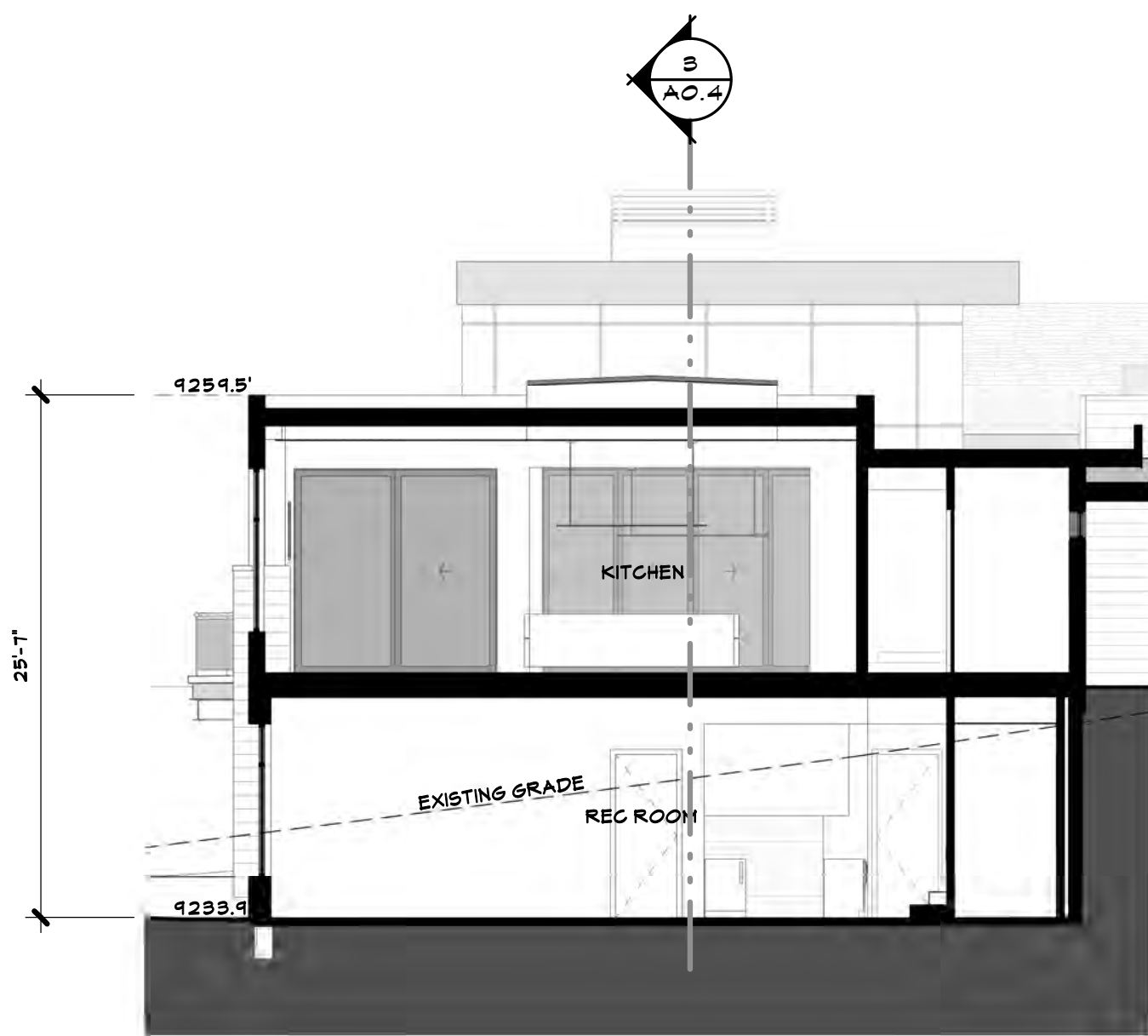
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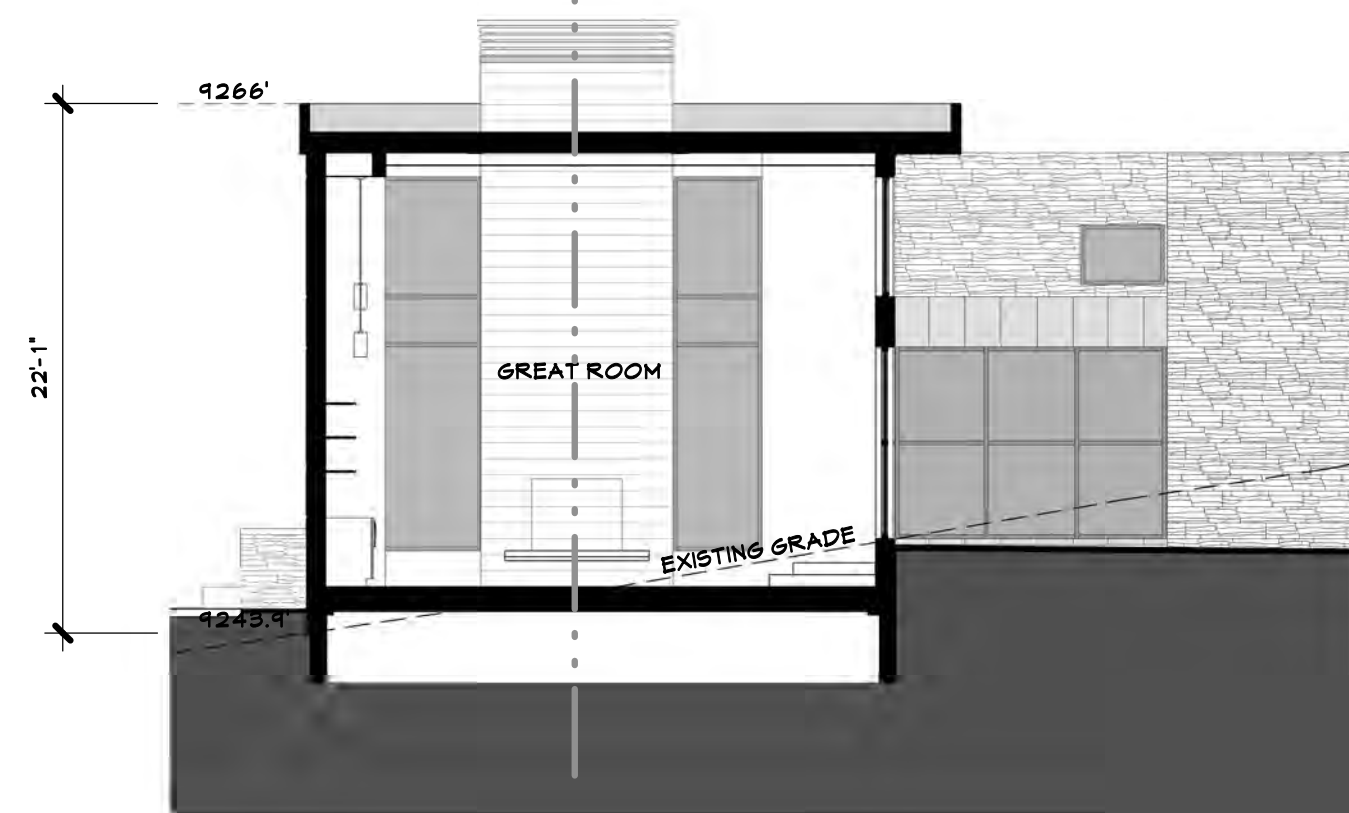
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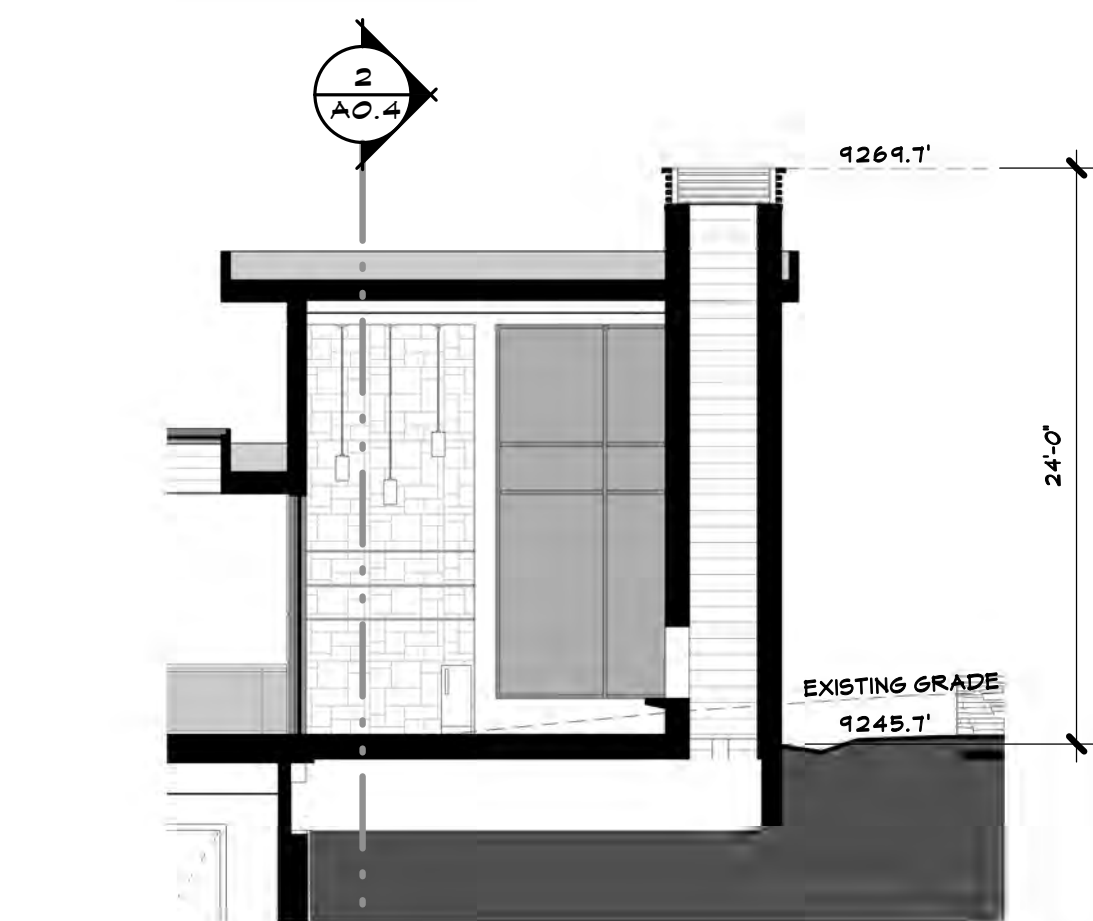
Section 1

1/8" = 1'-0"



Section 2

1/8" = 1'-0"



Section 3

1/8" = 1'-0"

MEASURING BUILDING HEIGHT

Building height shall be measured vertically at a right angle to the horizon line from any point on a proposed or existing roof or eave (including but not limited to the roofing membrane) to the natural grade or finished grade, whichever is more restrictive, located directly below said point of the roof or eaves.

1. If the existing pre-construction grade has been disturbed prior to development, the Director of Community Development may establish the natural grade.
2. If the Planning Division determines that there are minor irregularities in the natural grade, these areas shall not be used in determining compliance with the building height limitation set forth herein, and the surrounding typical natural grade shall be used.
3. Window wells and similar building appurtenances installed below grade that extend out five (5) feet or less (as measured from the outside of retaining wall) shall not be counted as the finished grade for the purposes of calculating building height if such features do not add to the perceived height of a building.

MAXIMUM BUILDING HEIGHT CALCULATIONS

SECTION 1 REPRESENTS THE HIGHEST RIDGE OVER GRADE	
RIDGE ELEVATION	4259.5'
MOST RESTRICTIVE GRADE BELOW	4239.4'
MAXIMUM BUILDING HEIGHT	25.6'
MAX BUILDING HEIGHT ALLOWABLE	35'
COMPLIANT BY	4.4'

SECTION 2 REPRESENTS THE HIGHEST USGS RIDGE ELEVATION	
RIDGE ELEVATION	4266.0'
MOST RESTRICTIVE GRADE BELOW	4249.4'
MAXIMUM BUILDING HEIGHT	22.1'
MAX BUILDING HEIGHT ALLOWABLE	35'
COMPLIANT BY	12.4'

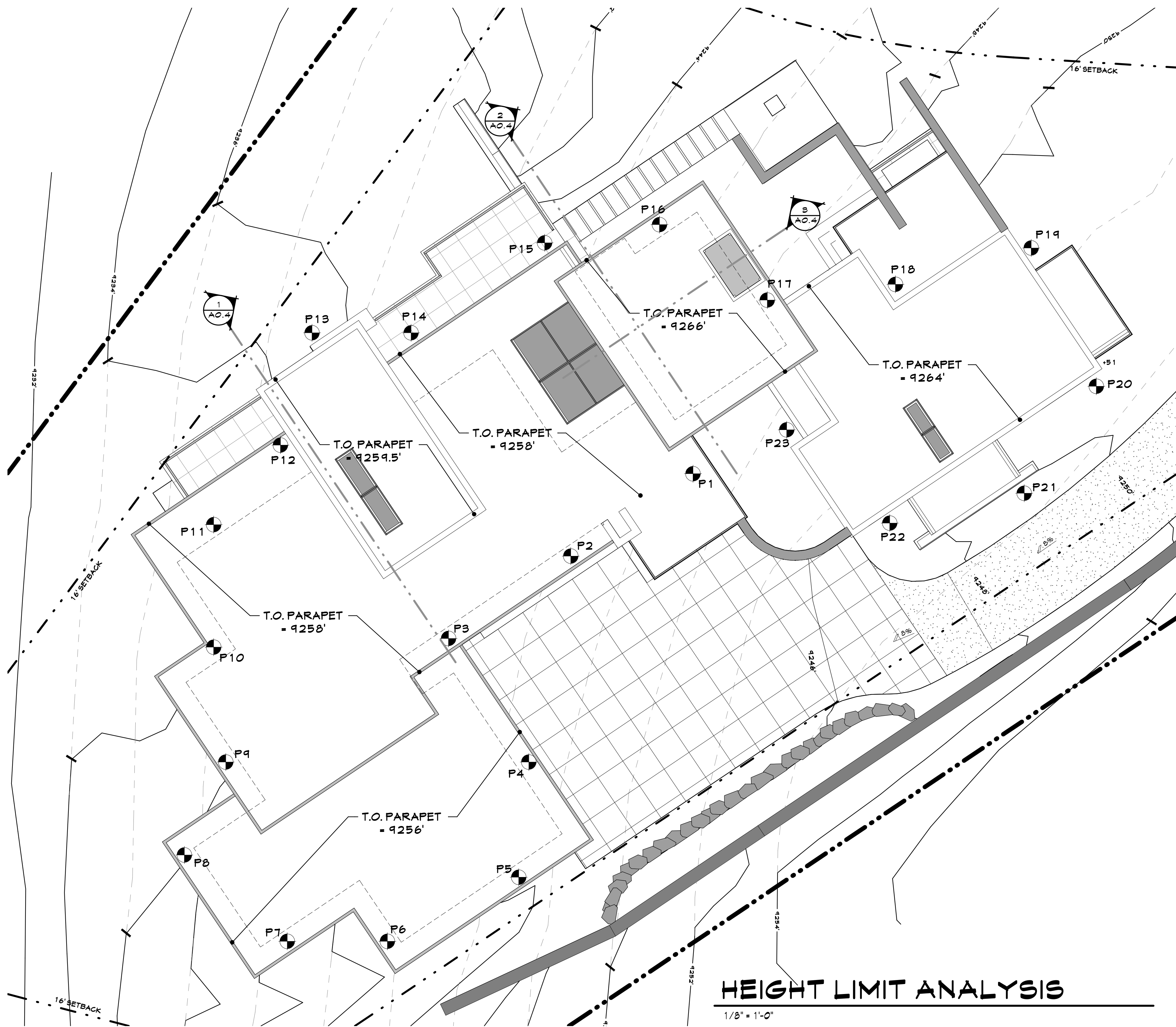
SECTION 3 REPRESENTS THE MAXIMUM CHIMNEY HEIGHT	
HIGHEST POINT (INCLUDING GAP)	4264.7'
MOST RESTRICTIVE GRADE BELOW	4245.7'
MAX HEIGHT	24.0'
MAX HEIGHT ALLOWABLE	40'
COMPLIANT BY	16.0'

MAXIMUM AVERAGE HEIGHT

1. Maximum average height shall be measured from the finished grade to a point on the roof plane midway between the eave and ridge.
2. On complex buildings with multiple heights and/or buildings with multiple heights on sloping sites, the maximum average height shall be determined by taking the average of heights at equal intervals around the perimeter of a building. Those intervals shall be no more than twenty (20) feet. When multiple roofs occur within any interval, the height for that interval shall be measured from the finished grade or natural grade (whichever is most restrictive) to a point on the highest primary roof midway between the eave and the ridge. For purposes of determining the maximum average height on complex buildings, a roof shall have a horizontal projection of at least ten (10) feet. This definition does not intend to allow strategies to circumvent the intention of the maximum average height limitation through such relationships as high-rise structures surrounded by low secondary roofs.

AVERAGE BUILDING HEIGHT CALCULATIONS

POINT LOCATION	MOST RESTRICTIVE GRADE	HEIGHT ABOVE
P1	4245.8'	12.2'
P2	4245.5'	12.5'
P3	4243.4'	14.1'
P4	4245.3'	10.7'
P5	4244.1'	11.4'
P6	4241.4'	14.1'
P7	4239.0'	17.0'
P8	4235.4'	20.1'
P9	4235.8'	22.2'
P10	4233.8'	24.2'
P11	4233.8'	24.2'
P12	4233.8'	24.2'
P13	4235.0'	24.5'
P14	4236.5'	27.5'
P15	4236.5'	27.5'
P16	4245.2'	20.8'
P17	4245.8'	20.2'
P18	4248.7'	19.3'
P19	4249.5'	14.5'
P20	4250.8'	19.2'
P21	4244.8'	14.2'
P22	4247.7'	16.3'
P23	4248.1'	15.4'
AVERAGE HEIGHT		18.17'
MAX AVERAGE HEIGHT ALLOWABLE		30'
COMPLIANT BY		11.83'



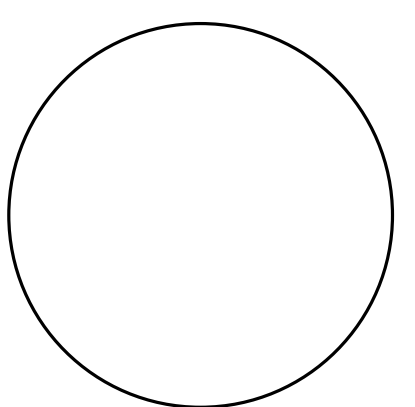
HEIGHT LIMIT ANALYSIS

1/8" = 1'-0"



Section 4 PARALLEL PLANE ANALYSIS

1" = 20'-0"



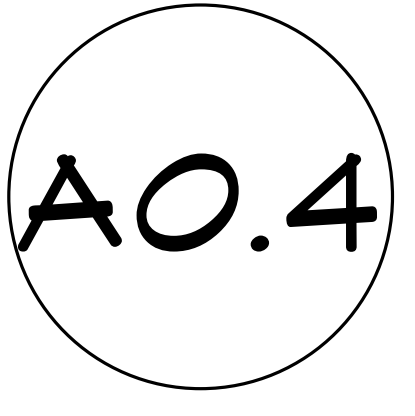
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THIS RESTRICTIVE COVENANT AGREEMENT ("Agreement") is entered into as of the 12th day of August 2004 by and between GFI Telluride, LLC, a Massachusetts limited liability company, 133 Pearl Street, Boston, Massachusetts 02110 ("GFI"), and Daniel W. James and Elizabeth K. James, P.O. Box 4110, Telluride, Colorado 81435 (collectively "James").

WHEREAS, GFI is the owner of the following described real property:

Lot 729R-7 according to the Plat of Lots 726R-1, 729R-1, 729R-2, 729R-3, 729R-4, 729R-5, 729R-6 & 729R-7 Replat, Rezone and Density Transfer, a Replat of Lots 726R, 729R, and Tract 727R, Mountain Village, Colorado, according to the Plat recorded January 23, 2001 in Plat Book 1 at page 2850, County of San Miguel, State of Colorado ("Lot 729R-7");

WHEREAS, James is the owner of the following described real property:

Unit 2, Eagle's View Reserve, a Planned Community, according to the Declaration of Covenants, Conditions, Restrictions and Easements for Eagle's View Reserve, recorded at Reception No. 361476 and First Supplemental Declaration recorded at Reception No. 362328 in the records of the Clerk and Recorder for San Miguel County, Colorado, and the Common Interest Community Map for Eagle's View Reserve, recorded in Plat Book 1, at page 3206 and the First Supplemental Map recorded in Plat Book 1 at page 3342 in the records of the Clerk and Recorder for San Miguel County, Colorado ("Unit 2"); and

WHEREAS, as a condition of James purchase of Unit 2 from GFI, GFI agreed to place a restriction on the height of a structure to be built on Lot 729R-7 as more specifically set forth herein.

NOW THEREFORE, the parties agree as follows:

1. GFI for itself and its successors in title covenants and agrees that no structure shall be constructed on Lot 729R-7 that exceeds the ridge height elevation of 9238.5 on the easterly portion of Lot 729R-7 and 9218.5 on the westerly portion of Lot 729R-7 as more particularly set forth in Exhibit "A" attached hereto and incorporated herein by this reference, without the prior written consent of James or their successors-in-interest.

2. In the event of any threatened or actual violation of this Restrictive Covenant by GFI or its successors in title, in addition to all other available legal and equitable remedies, James shall have the right to injunct to any threatened or actual violation in any court of competent jurisdiction.

- This Agreement is and shall be perpetual and permanent and this Agreement may be terminated only upon recording in the records of San Miguel County of a termination notice executed by the parties, or their respective successors in title.
- This Agreement shall run with the land and bind the GFI and all future owners of Lot 729R-7 and inure to the benefit of the James and their successors-in-interest.
- If a dispute arises out of this Agreement, then the prevailing party will be entitled to recover its reasonable attorney fees and costs from the other party.
- A waiver of a breach of any term of this Agreement will not be considered (a) a waiver of a further breach of the same term, or (b) a waiver of a breach of any other term, or (c) a waiver of such waiving party's right to declare an immediate or a subsequent default.
- This Agreement will be governed by and construed in accordance with the laws of the State of Colorado and venue shall be in the San Miguel County District Court.
- Each provision of this Agreement must be interpreted in a way that is valid under applicable law. If any provision is held invalid, the rest of this Agreement will remain in effect.
- The parties may amend this Agreement only by a written document signed by both parties.

IN WITNESS WHEREOF, the undersigned have executed this Restrictive Covenant to be effective as of the 12th day of August 2004, by Stephanie L. Fano, attorney-in-fact for Steven E. Goodman, Manager of GFI Telluride, LLC, a Massachusetts limited liability company

By: *[Signature]*
 Stephanie L. Fano, Attorney-in-fact for Steven E. Goodman, Manager

STATE OF COLORADO }
 COUNTY OF SAN MIGUEL }

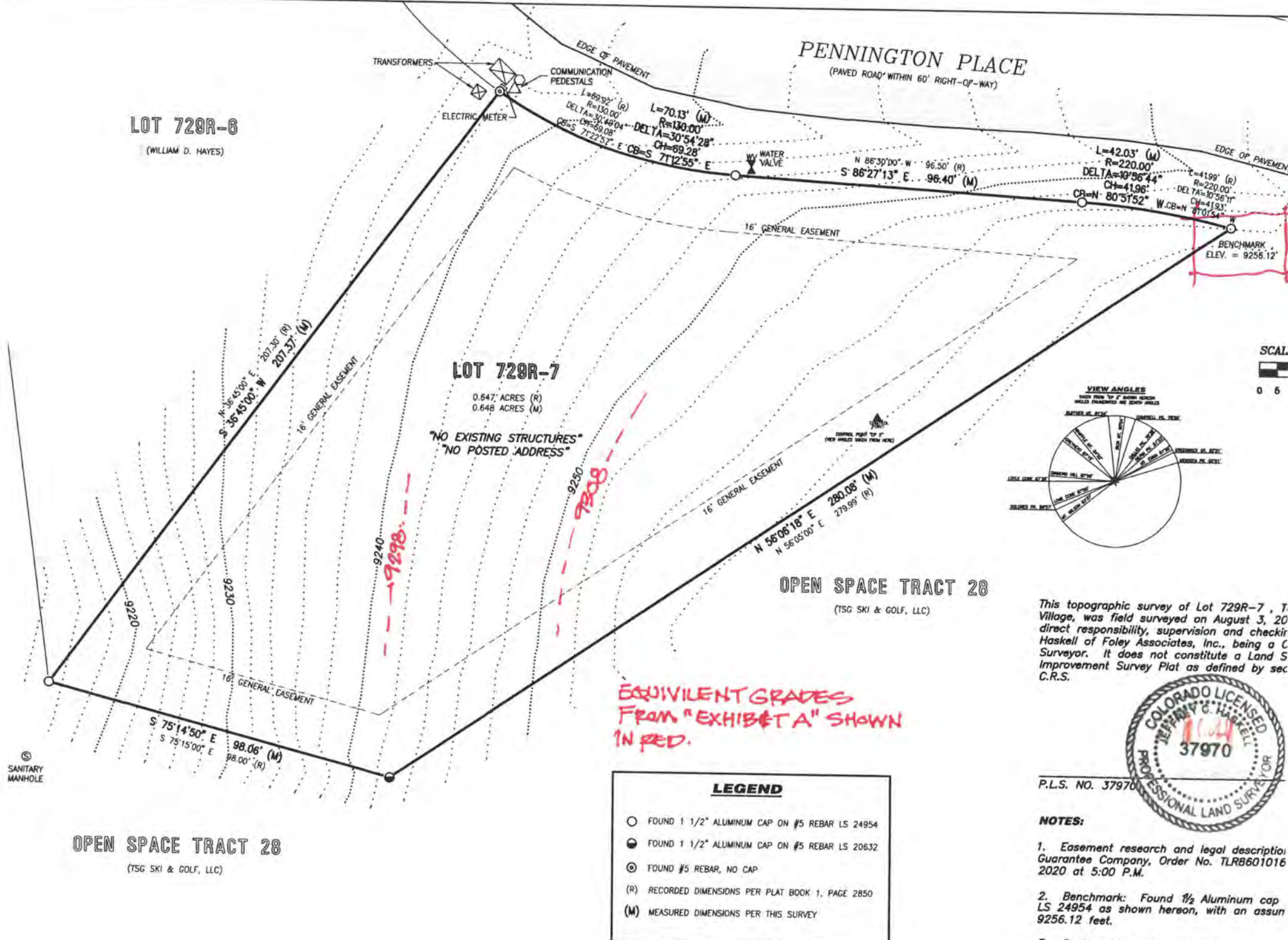
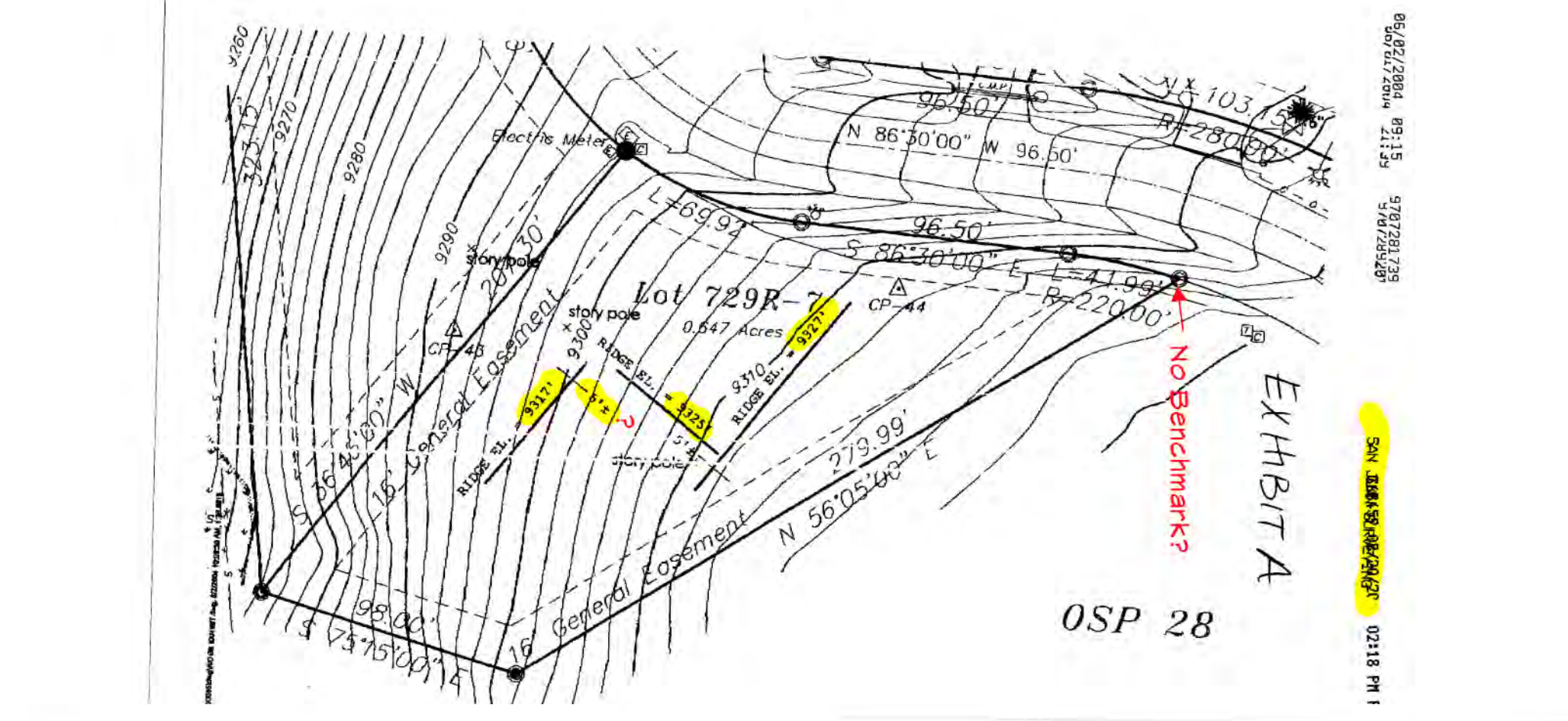
The foregoing document was acknowledged before me on the 12th day of August 2004, by Stephanie L. Fano, attorney-in-fact for Steven E. Goodman, Manager of GFI Telluride, LLC, a Massachusetts limited liability company.

My commission expires: _____

GAYLENE ANDERSON
 NOTARY PUBLIC
 STATE OF COLORADO
 My Commission Expires 5/21/09

[Signature]
 Notary Public

053415A04
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FIRE MITIGATION NOTES
 AS REQUIRED BY SECTION 11.6.1, PARAGRAPH 3 OF THE CDC:

1. THE EXISTING SITE HAS NO TREES.
2. NO TREES WILL BE REMOVED FROM THE SITE.
3. A FINAL LANDSCAPE PLAN WILL BE PREPARED BY A LICENSED COLORADO LANDSCAPE ARCHITECT.
4. ALL NEW LANDSCAPE MATERIAL WILL BE PLACED AND MAINTAINED TO COMPLY WITH THE REQUIREMENTS OF SECTION 11.6.1 PARAGRAPH 3 SUBPARAGRAPH D.
5. THERE ARE NO PROPOSED SOLID FUEL BURNING DEVICES ON THE SITE.

FIRE MITIGATION LEGEND

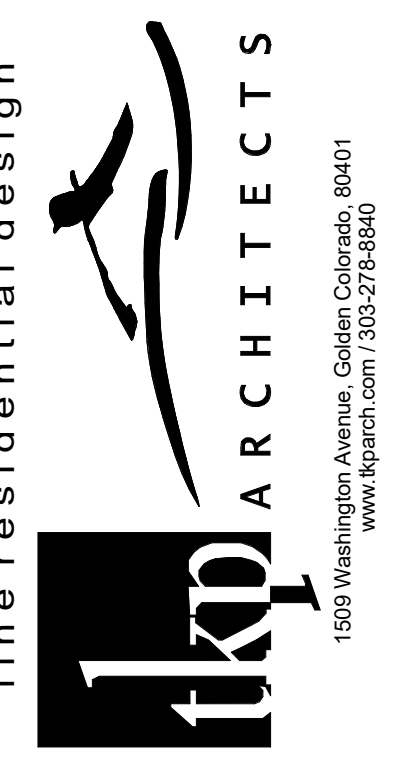
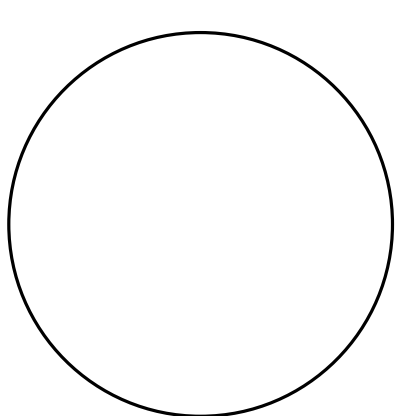
- ZONE 1
- ZONE 2

ZONE 1 - (15' OFFSET FROM THE BUILDING DRIFLINE) - THE SITE HAS NO TREES THAT NEED TO BE REMOVED. ALL FLAMMABLE SHRUBS AND SLASH TO BE REMOVED. ALL PROPOSED PLANTINGS IN ZONE 1 WILL BE SHRUBS, GRASSES AND PERENNIALS SELECTED FROM A FIREWISE PLANT MATERIAL LIST AND WILL BE IRRIGATED. ALL PROPOSED PLANTINGS WILL NOT BE PLANTED DIRECTLY BENEATH EGRESS WINDOWS OR NEAR FOUNDATION VENTS.

ZONE 2 - (THE REMAINING PORTION OF THE PROPERTY IS CONSIDERED ZONE 2)

FIRE MITIGATION PLAN

1" = 10'-0"



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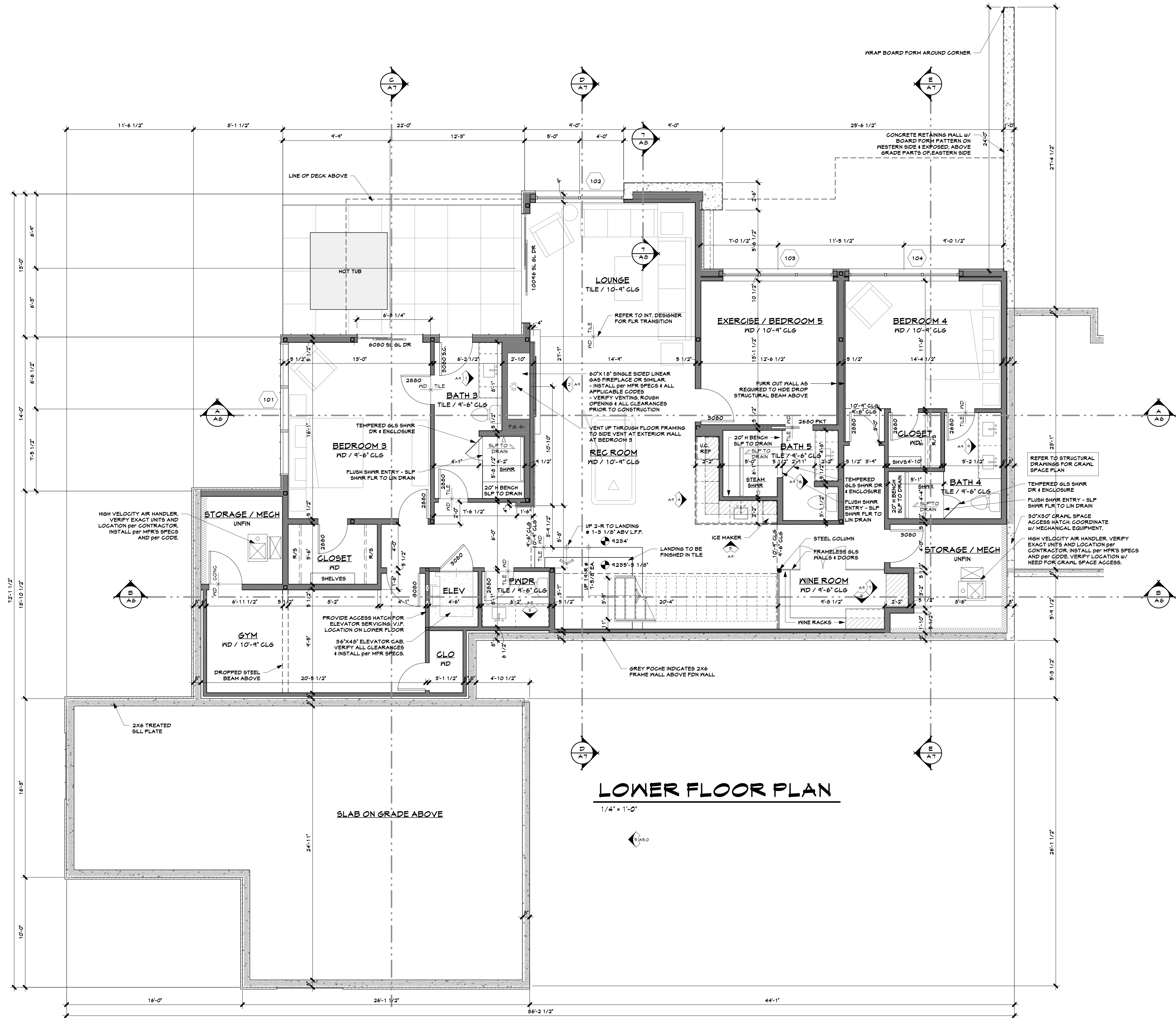
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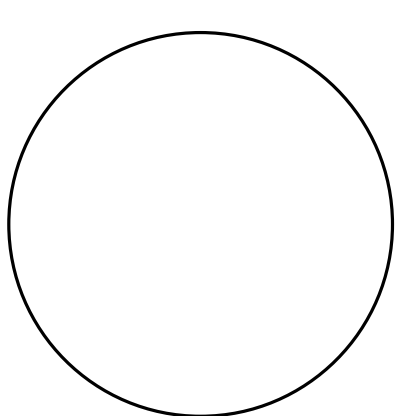


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LOWER FLOOR PLAN

1/4" = 1'-0"



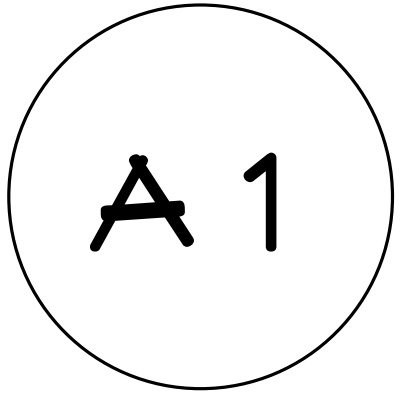
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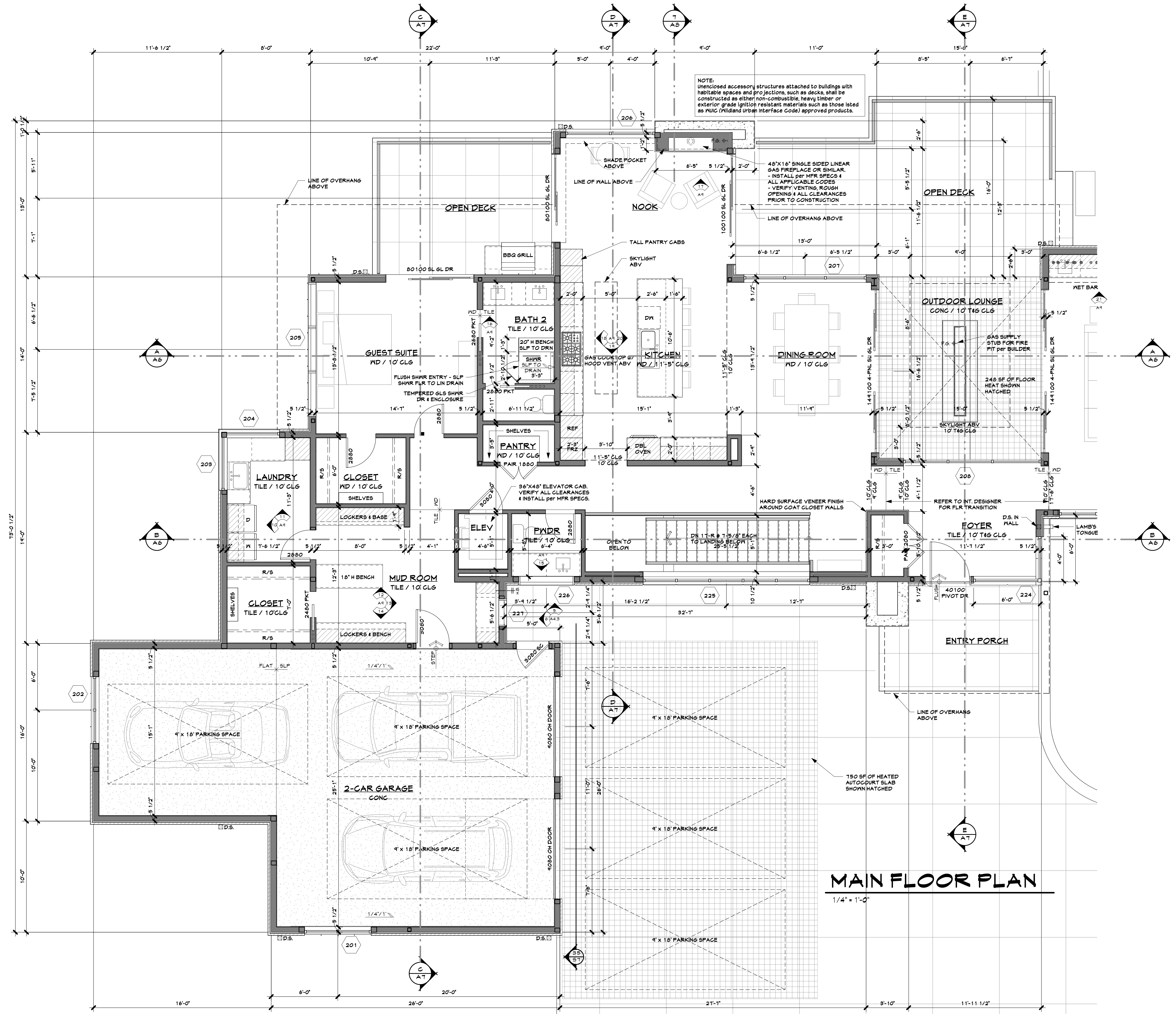
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MAIN FLOOR PLAN

1/4" = 1'-0"



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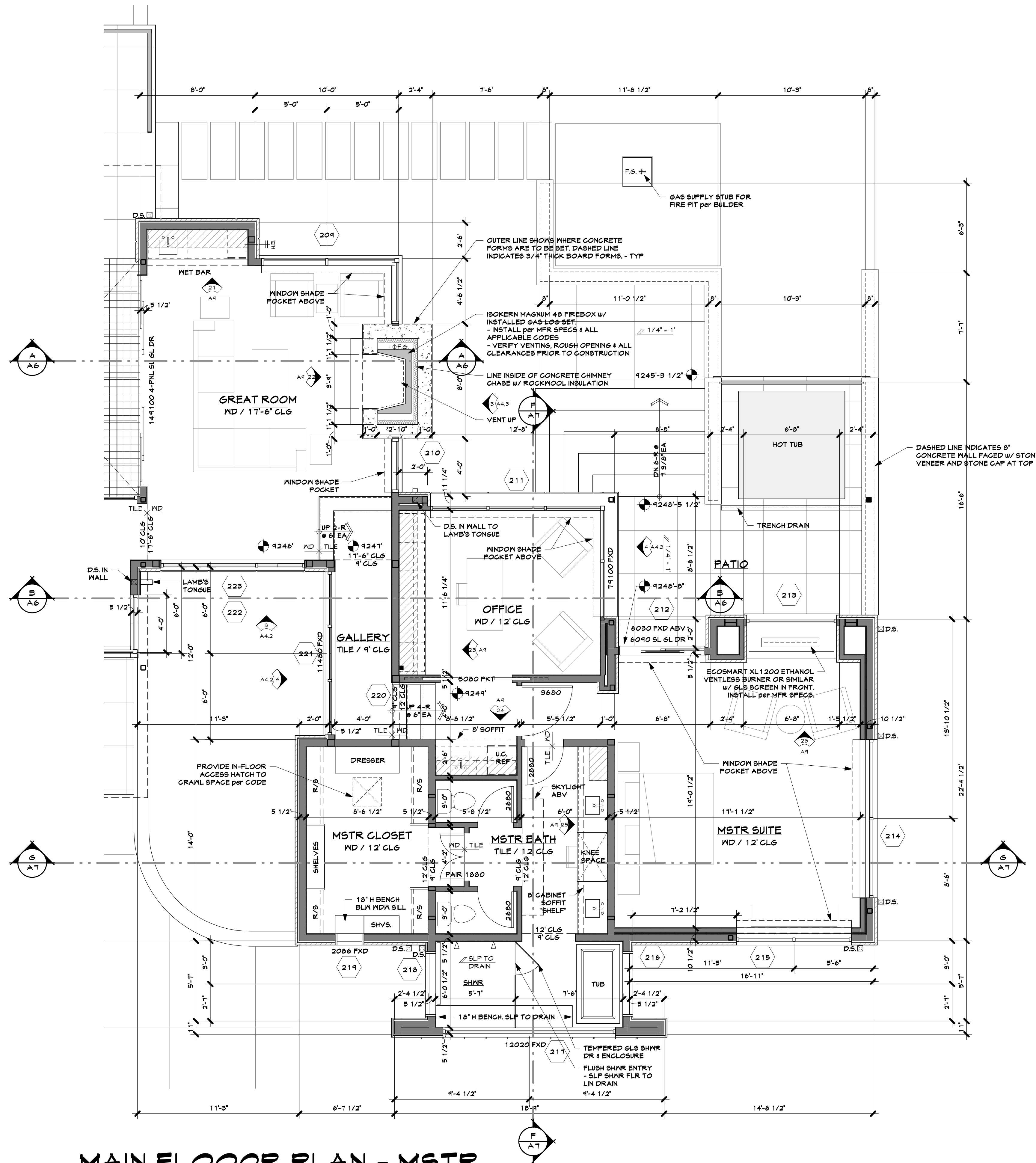
SUBMISSIONS

DRB Feedback	02/02/2021
Issued to DRB	02/17/2021
Reissued to DRB	04/01/2021
Issued to DRB	07/19/2021
Issued for FAR	08/18/2021

A2.0

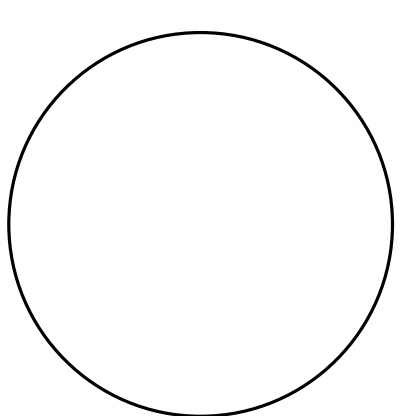
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MAIN FLOOR PLAN - MSTR

1/4" = 1'-0"



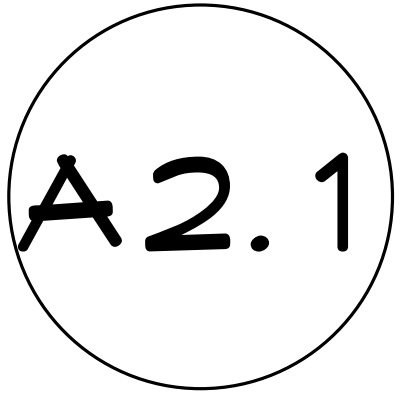
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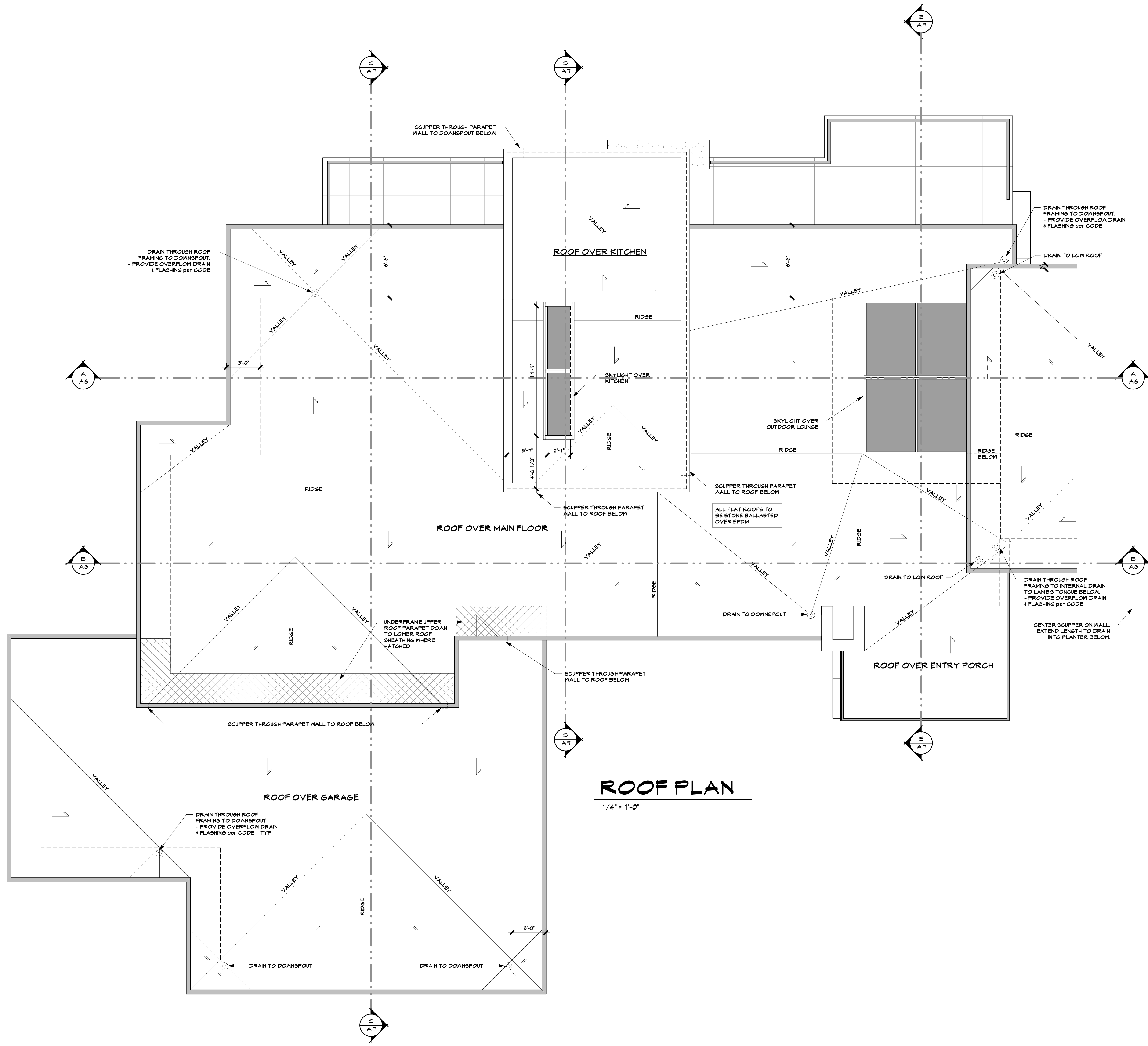
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ROOF PLAN

1/4" = 1'-0"



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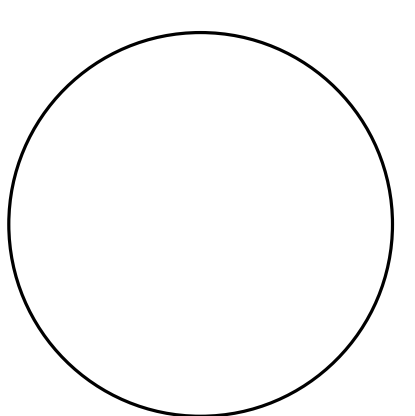
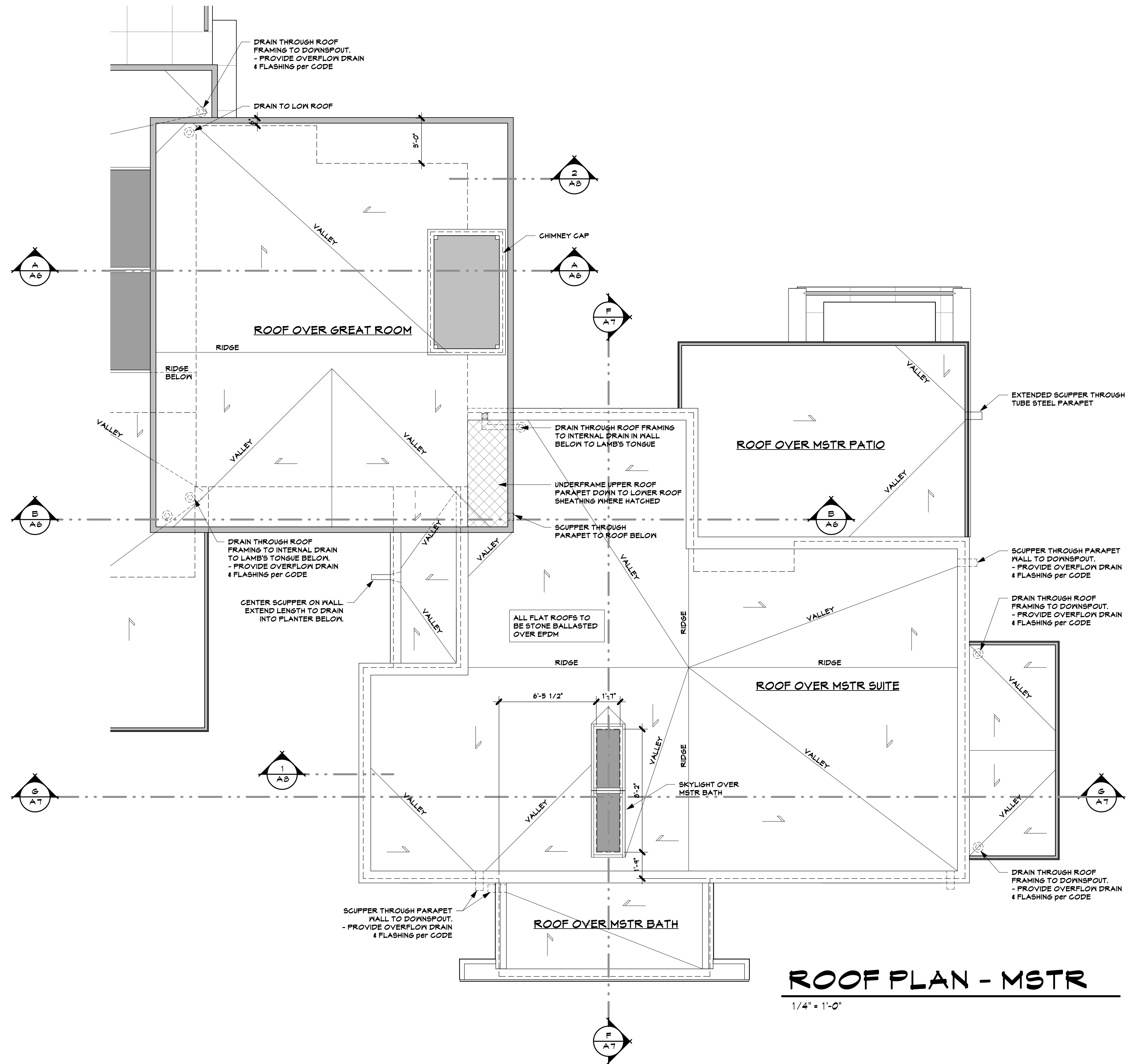
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A3.0

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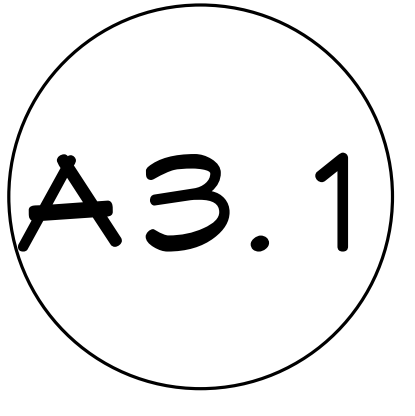
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SUBMISSIONS

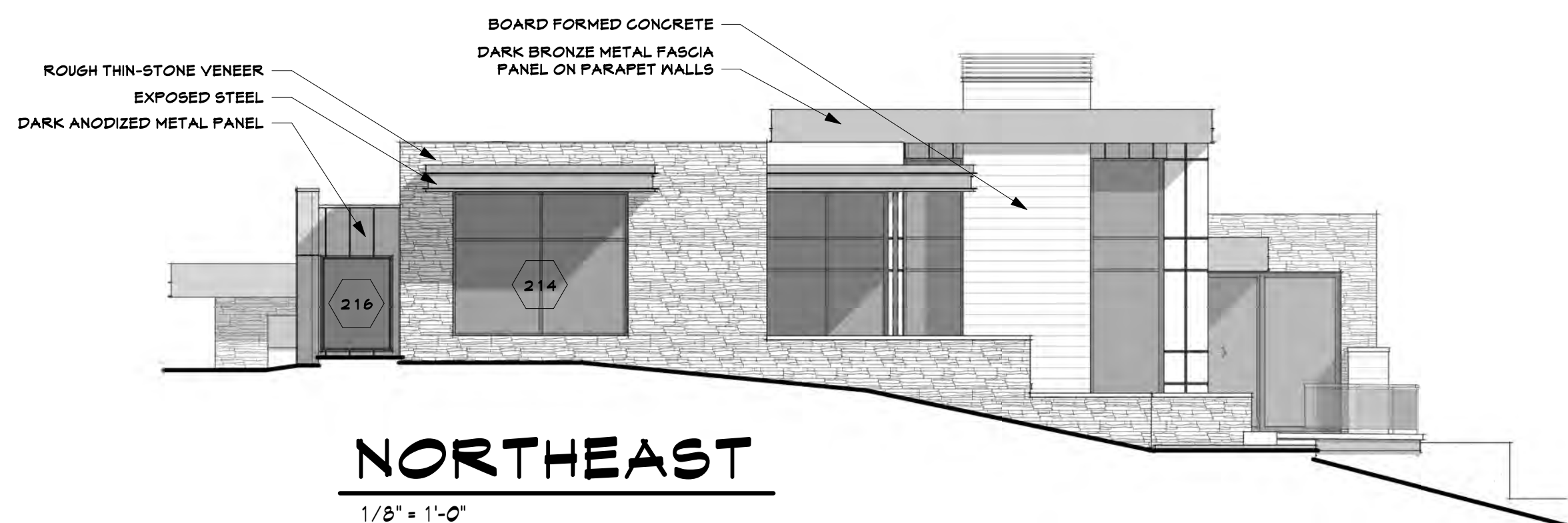
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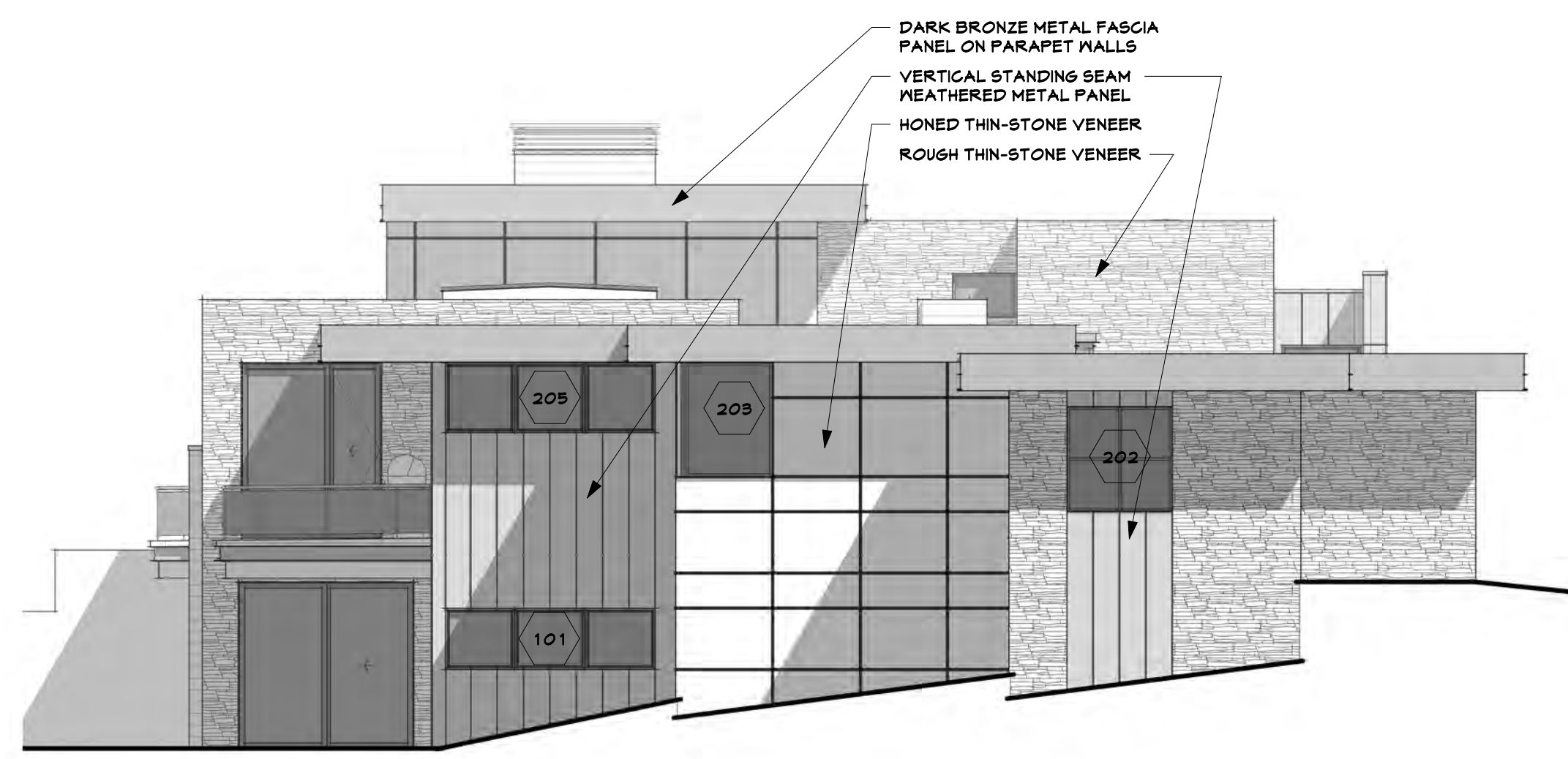
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ROUGH OPENING SCHEDULE				
NO.	WIDTH	HEIGHT	OPERABILITY	NOTES
101	12'-1"	3'-7"	FXD	
102	8'-0"	7'-7"	FXD	
103	10'-1"	6'-7"	CSMT-FXD-FXD	
104	10'-1"	6'-7"	FXD-FXD-CSMT	
201	6'-0"	6'-0"	FXD	
202	6'-0"	6'-0"	FXD	
203	4'-9"	6'-6"	FXD	
204	4'-9"	6'-6"	FXD	
205	12'-1"	4'-1"	FXD	
206	8'-0"	8'-1"	FXD	
207	11'-1"	8'-1"	FXD	
208	12'-1"	*10'-1"	FXD	*To go down to floor. May need a curb
209	14'-0"	15'-6"	FXD	Non-structural corner window
210	3'-8"	15'-6"	FXD	See 3/A4.3
211	19'-9"	10'-1"	FXD	Non-structural corner window
212	6'-1"	*3'-1"	FXD	*May be affected by how it mulls with door below
213	6'-3"	10'-6"	FXD	
214	11'-0"	9'-1"	FXD	
215	8'-0"	9'-1"	FXD	
216	4'-7"	6'-1"	FXD	
217	12'-1"	2'-1"	FXD	
218	4'-7"	2'-1"	FXD	See 4/A4.2
219	2'-1"	8'-7"	FXD	
220	4'-4"	2'-7"	FXD	See 4/A4.2
221	11'-4"	8'-1"	FXD	See 4/A4.2
222	10'-1"	8'-1"	FXD	
223	10'-1"	5'-1"	FXD	
224	10'-1"	8'-1"	FXD	Non-structural corner window
225	15'-0"	9'-0"	FXD	
226	5'-1"	1'-7"	FXD	See 5/A4.3
227	2'-7"	4'-7"	CSMT	See 6/A4.3

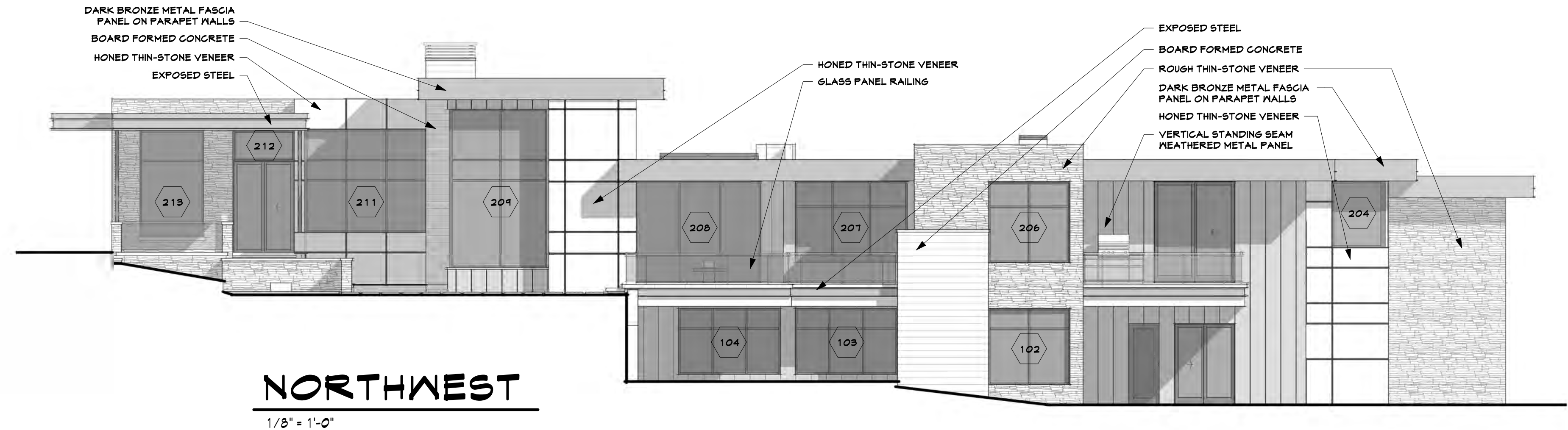
NOTE: ROUGH OPENING SCHEDULE REFERS TO OPENING SIZES FOR WINDOW ASSEMBLIES FROM STRUCTURE TO STRUCTURE ELEMENTS. SOME OF THESE OPENINGS CAN BE DETERMINED & MODIFIED BY PLACEMENT OF FRAMED TRIMMERS AND HEADERS. SOME OPENINGS ARE DETERMINED BY MAJOR STRUCTURAL ELEMENTS SUCH AS BEAMS, COLUMNS & PORTAL FRAMES AND CANNOT BE MODIFIED. NON-STRUCTURAL CORNER WINDOWS WILL BE DEPENDANT ON RELATIONSHIP OF CORNER MULL & CONNECTION TO ADJACENT WALLS per MANUFACTURER. V.I.F. ALL MEASUREMENTS



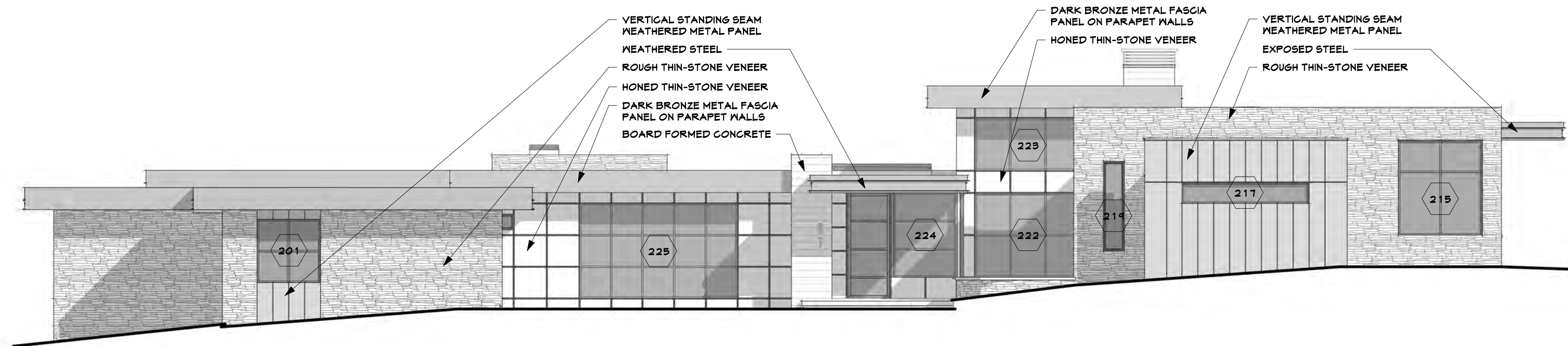
NORTHEAST
1/8" = 1'-0"



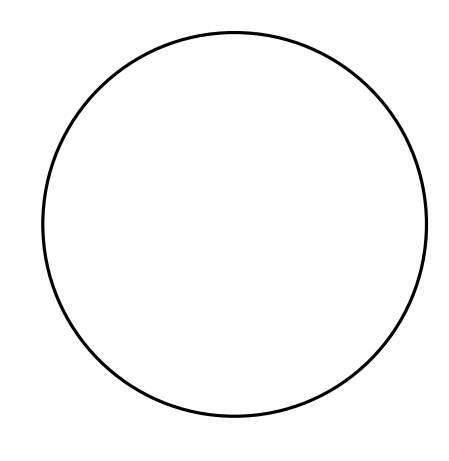
SOUTHWEST
1/8" = 1'-0"



NORTHWEST
1/8" = 1'-0"



SOUTHEAST
1/8" = 1'-0"

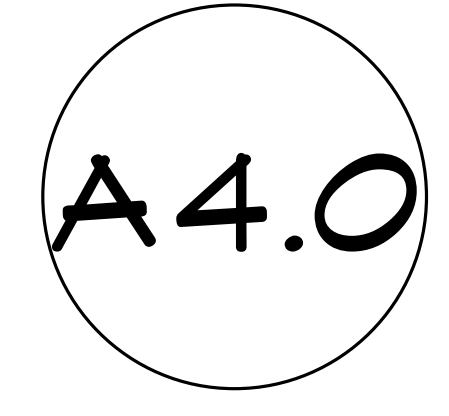


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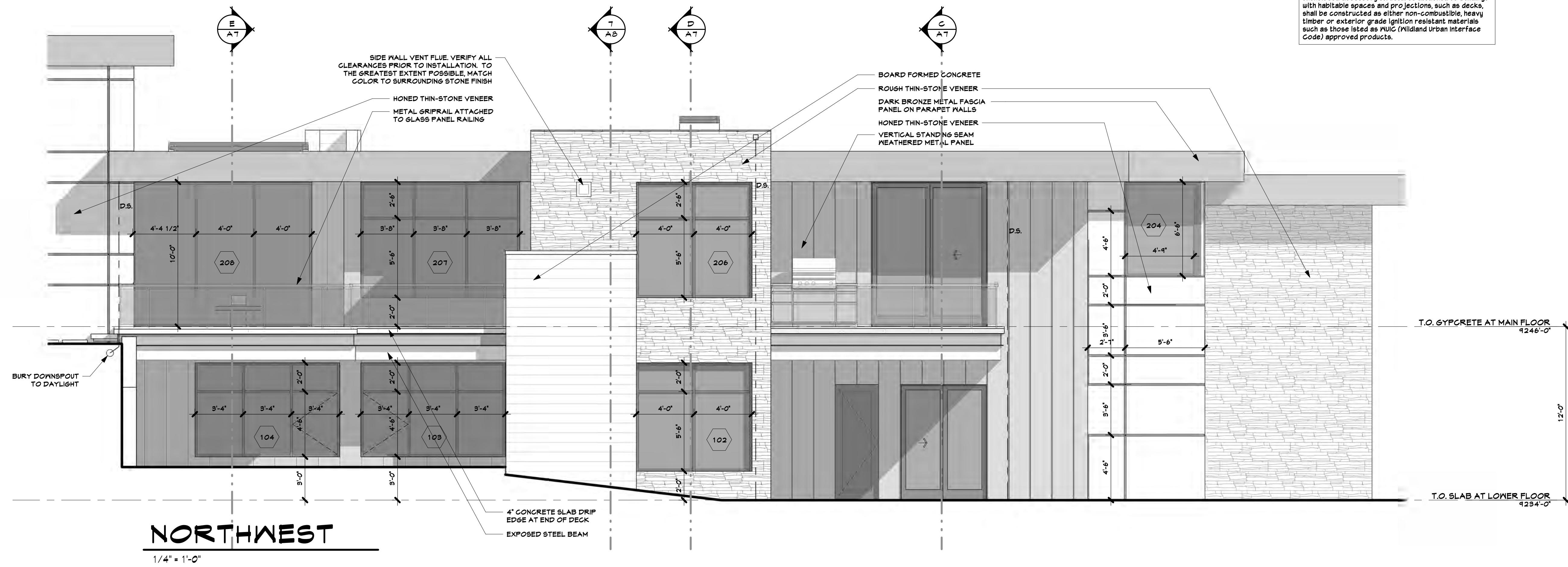
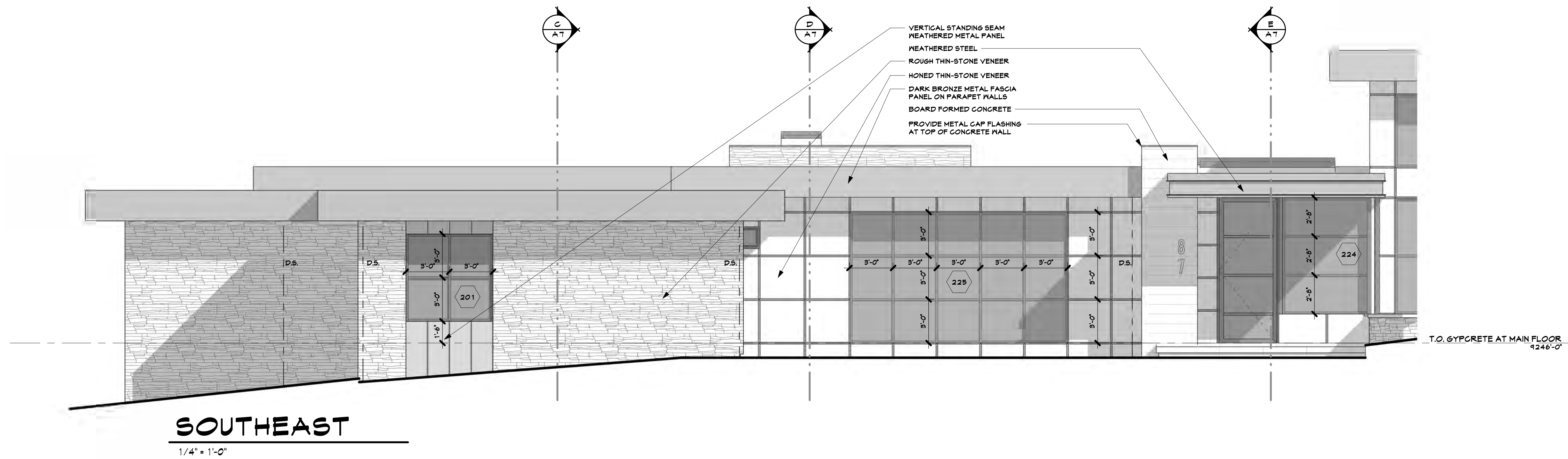
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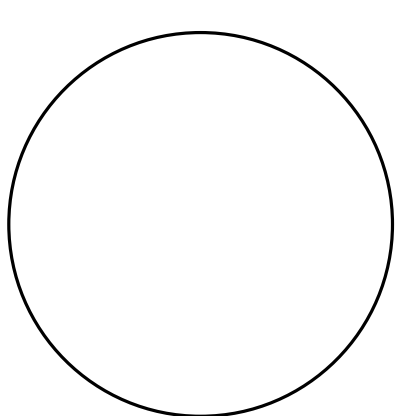
SUBMISSIONS	
DRB Feedback	02/02/2021
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NOTE:
 Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as MUIC (Wildland Urban Interface Code) approved products.



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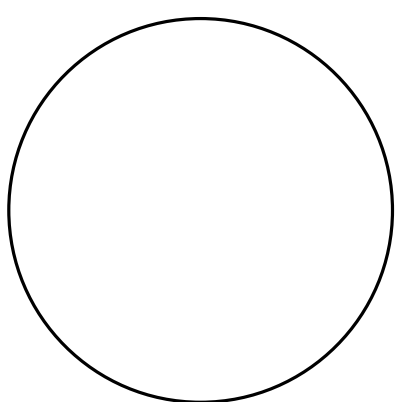
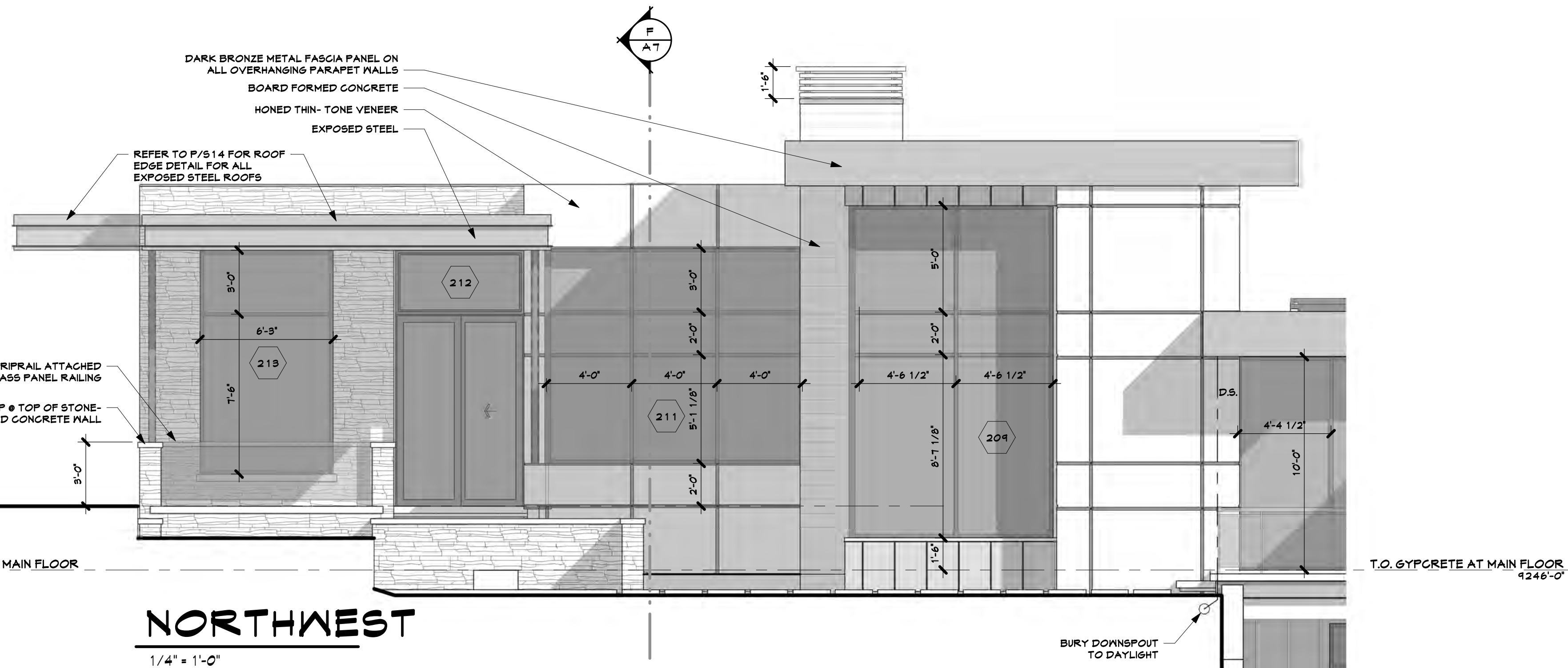
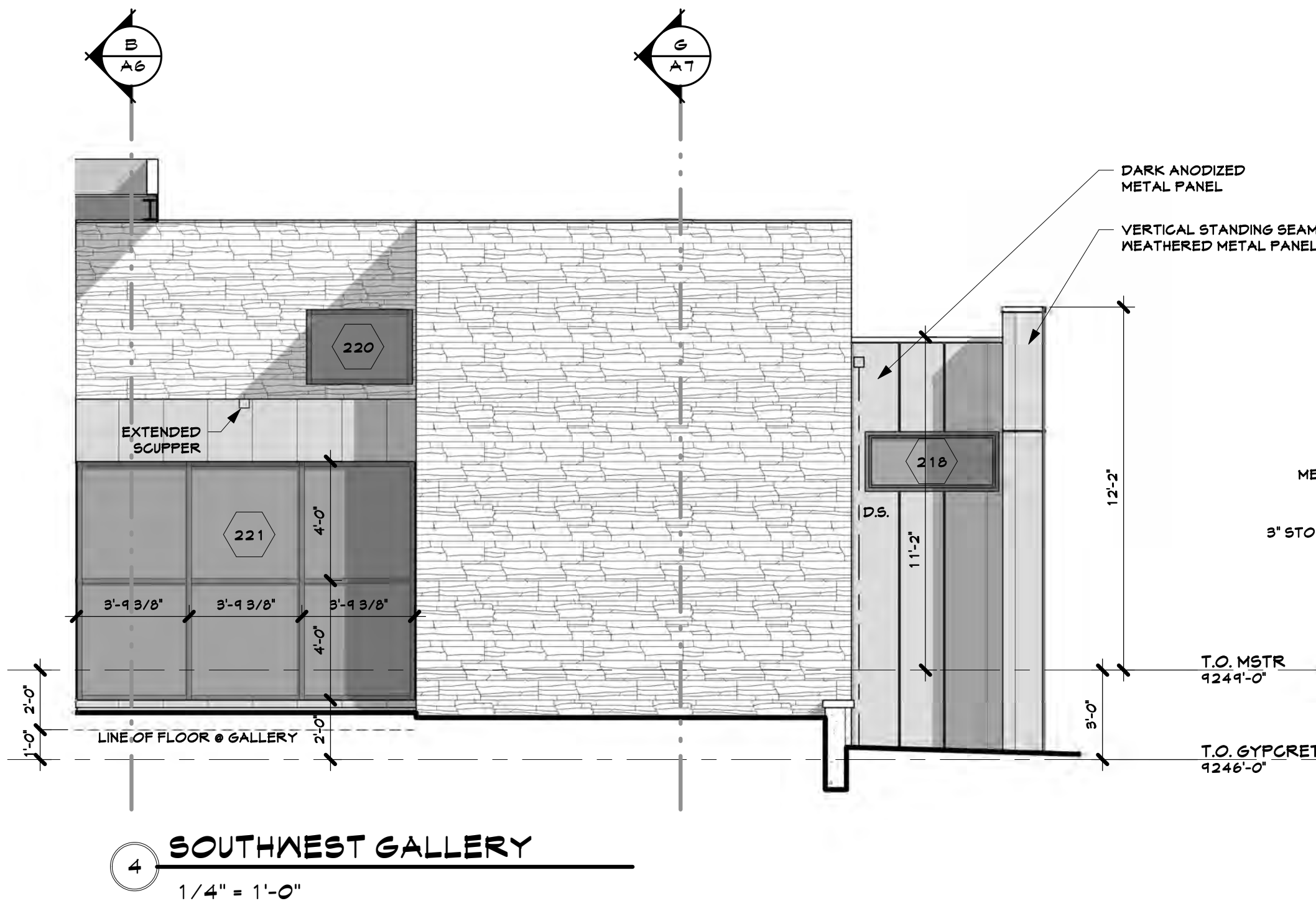
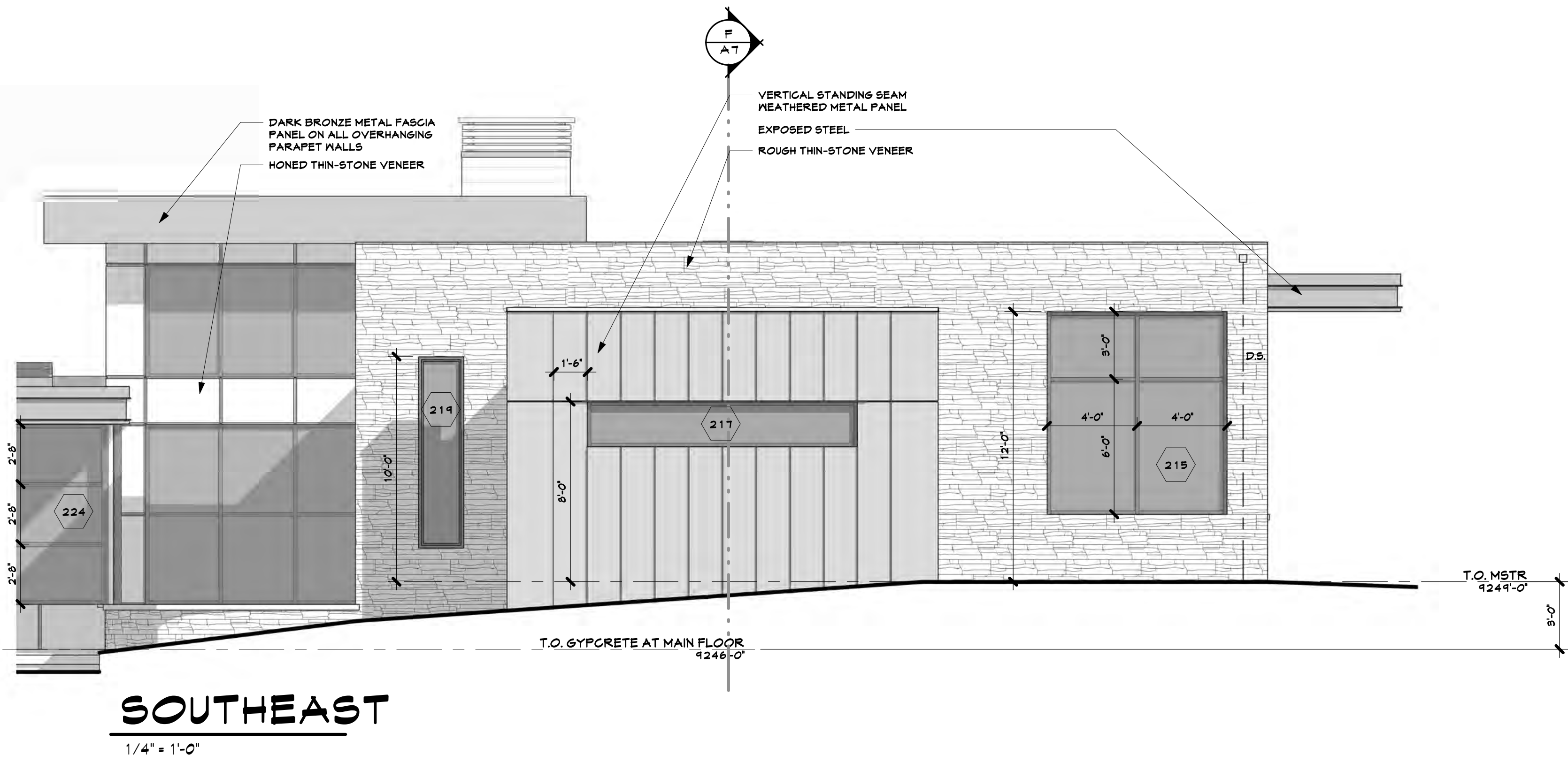
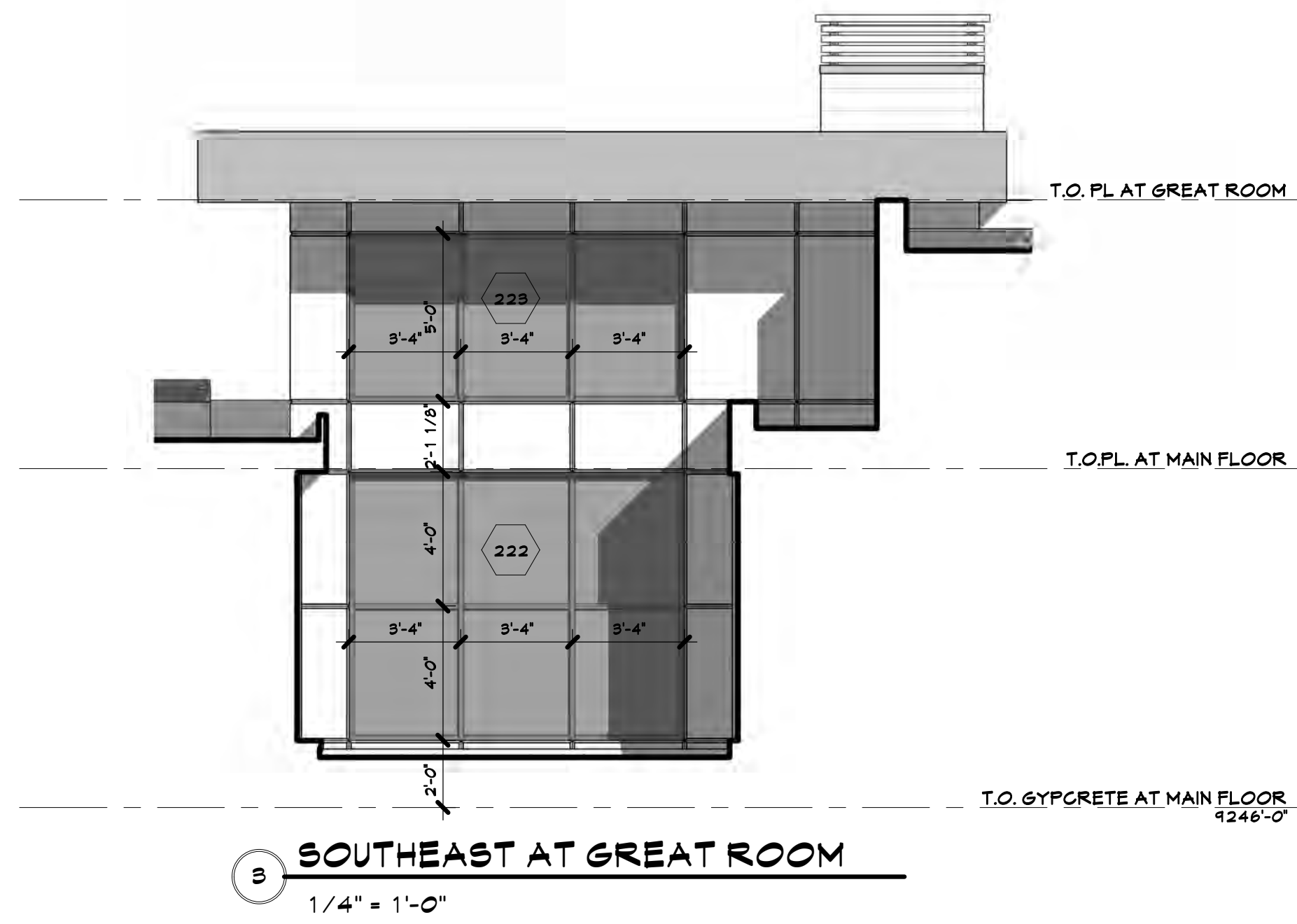
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A4.1

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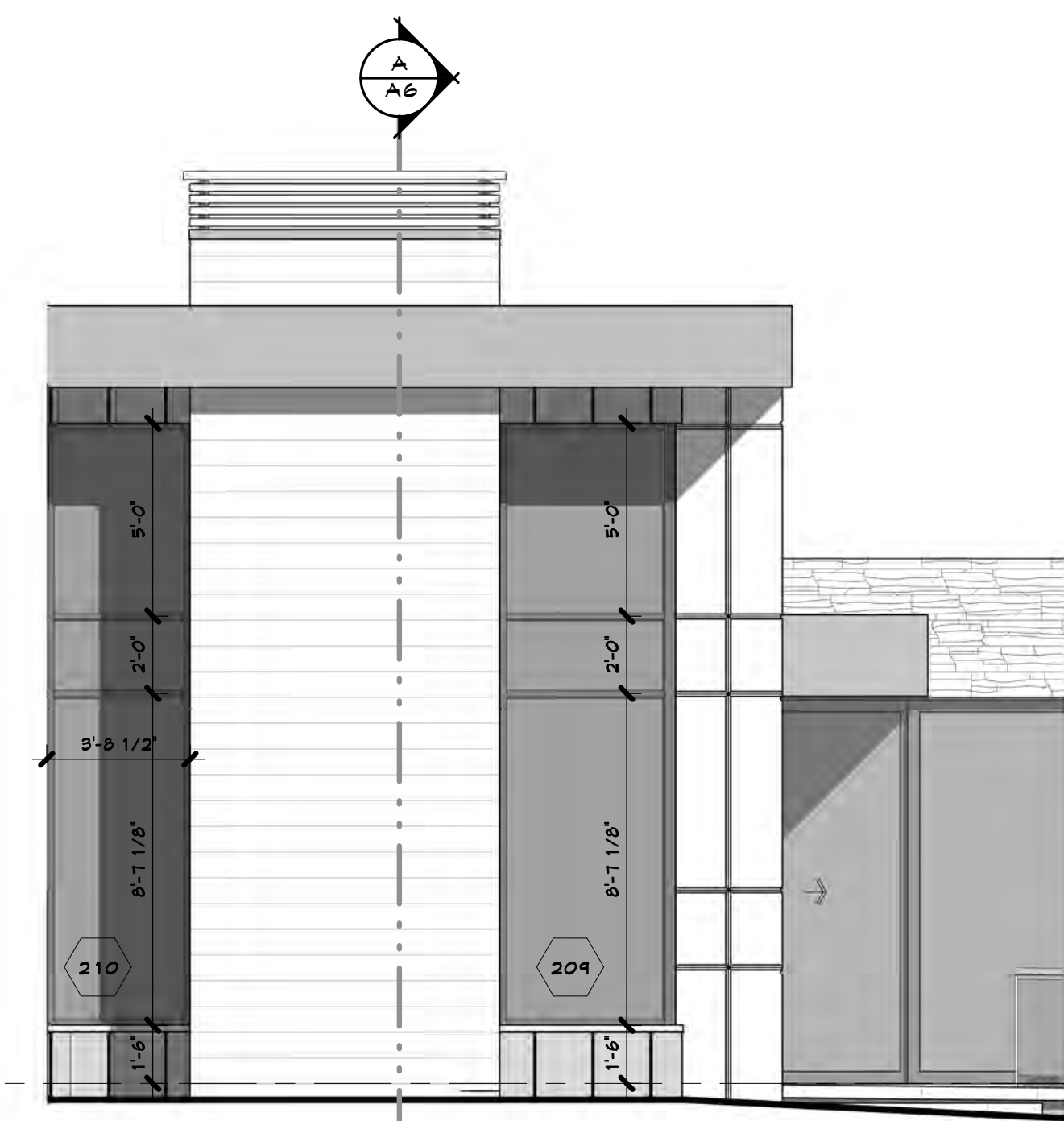
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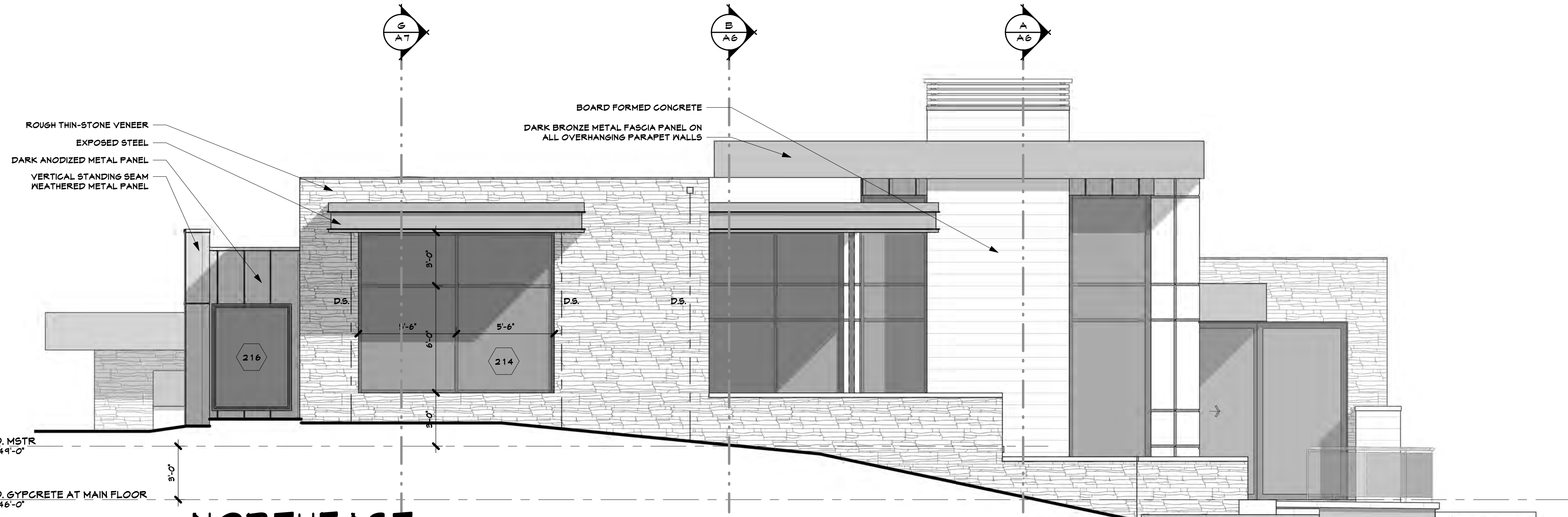
A4.2

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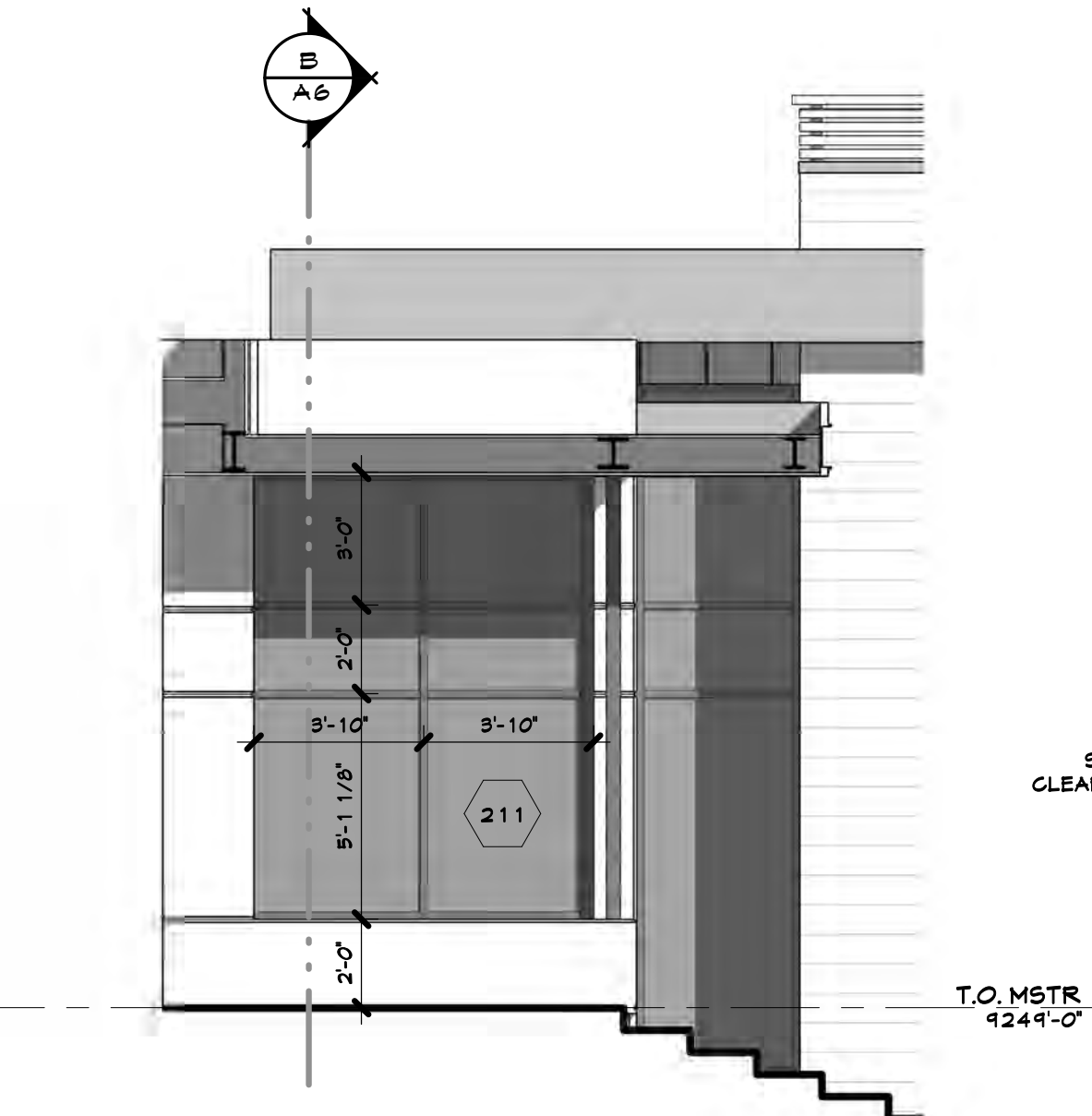
3 **NORTHEAST GREAT ROOM**

1/4" = 1'-0"



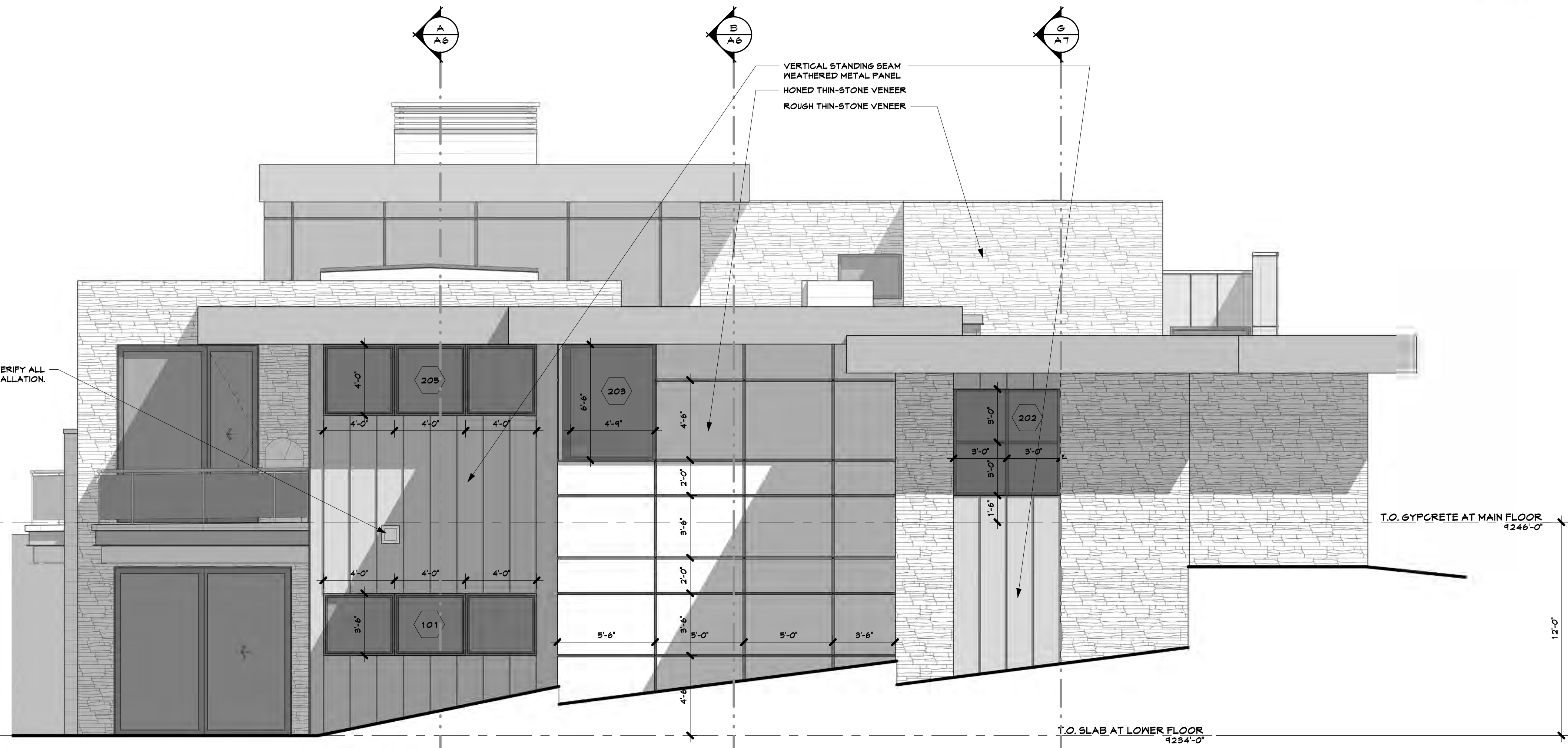
NORTHEAST

1/4" = 1'-0"



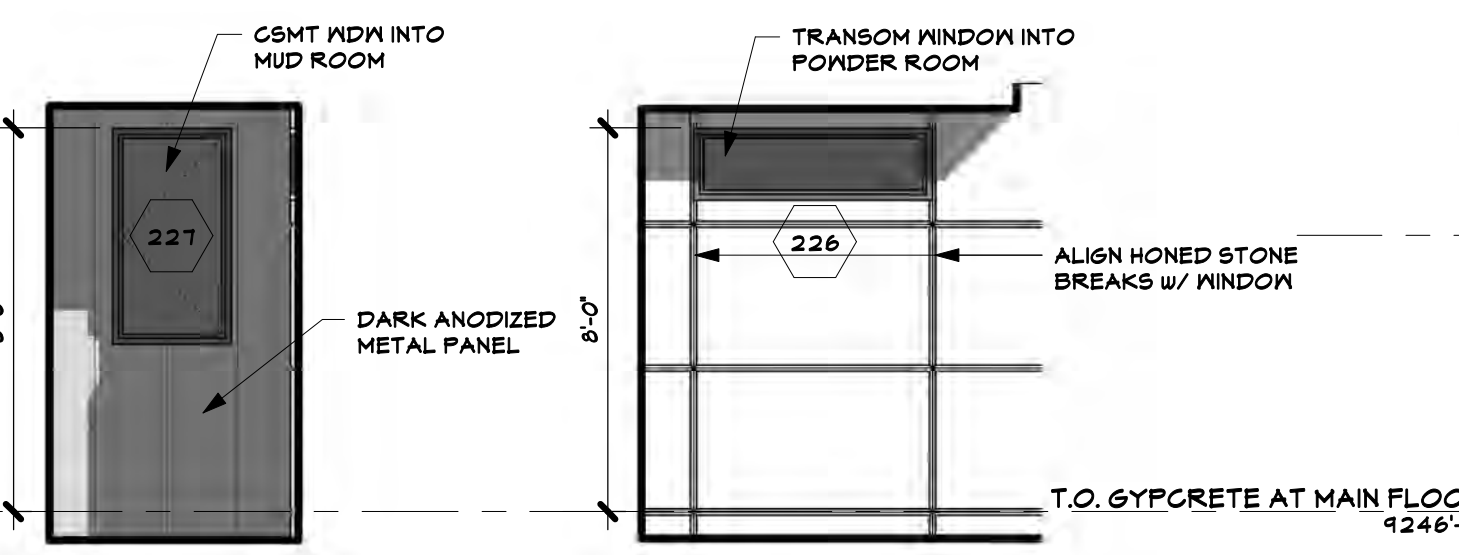
4 **NORTHEAST STUDY**

1/4" = 1'-0"



SOUTHWEST

1/4" = 1'-0"

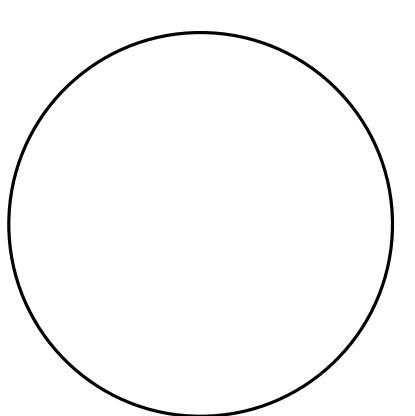


6 **GARAGE NICHE**

1/4" = 1'-0"

5 **GARAGE NICHE**

1/4" = 1'-0"



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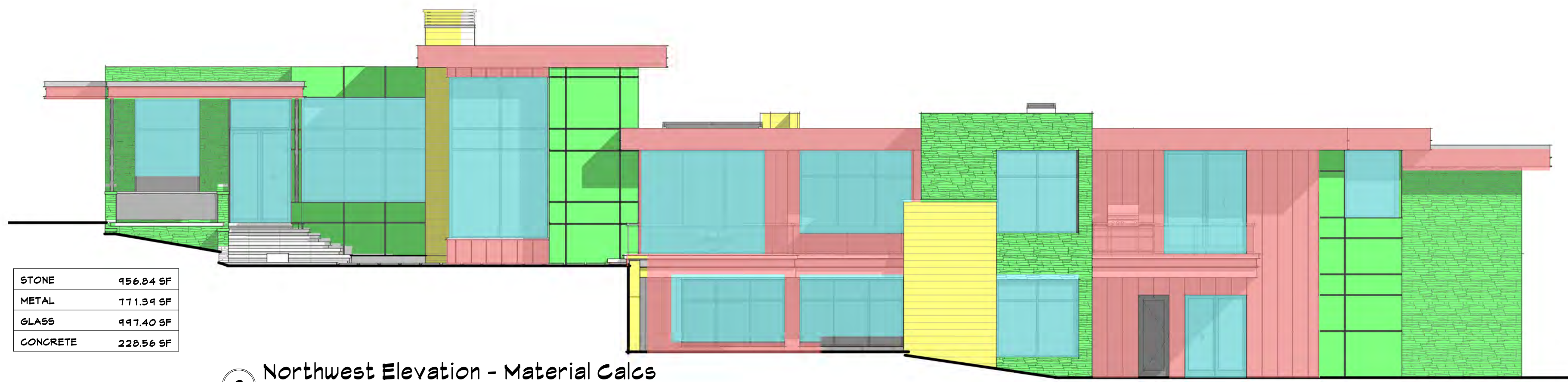
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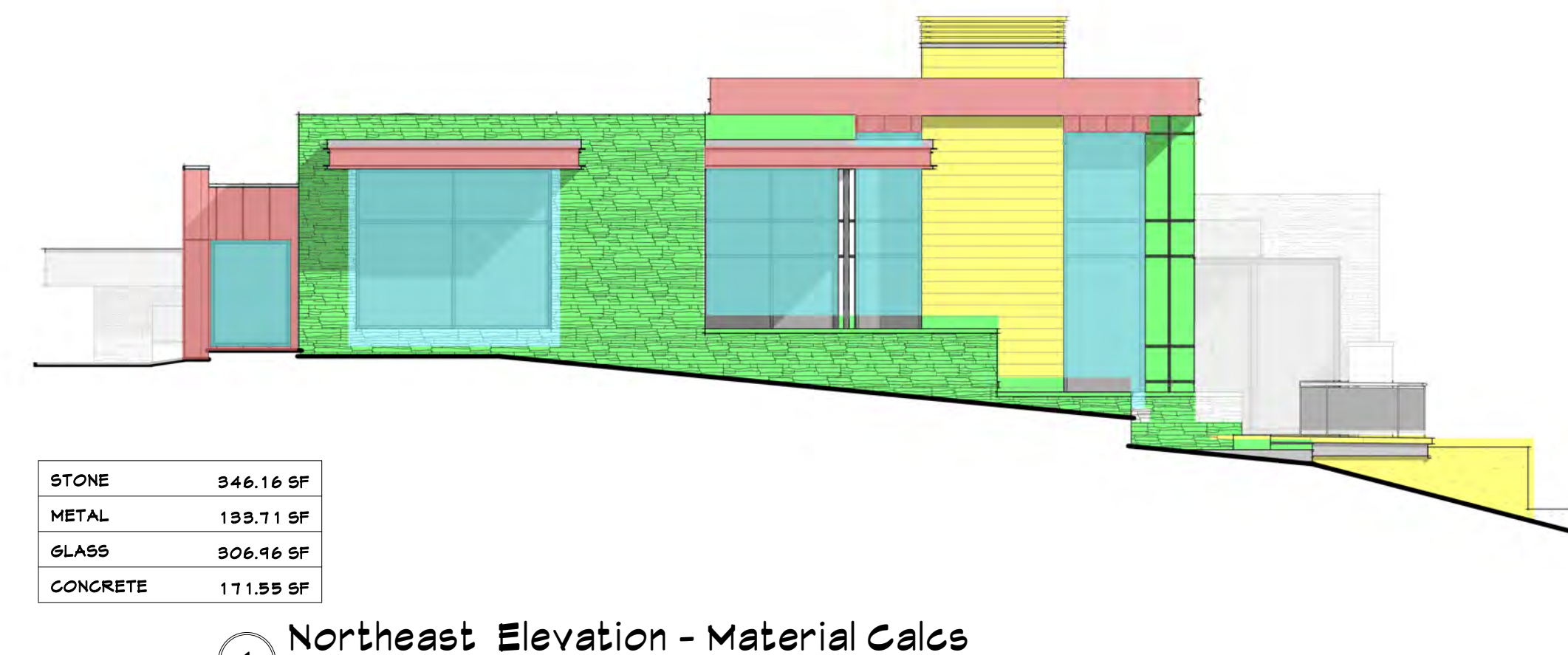
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STONE	456.84 SF
METAL	771.39 SF
GLASS	447.40 SF
CONCRETE	228.56 SF

2 Northwest Elevation - Material Calcs

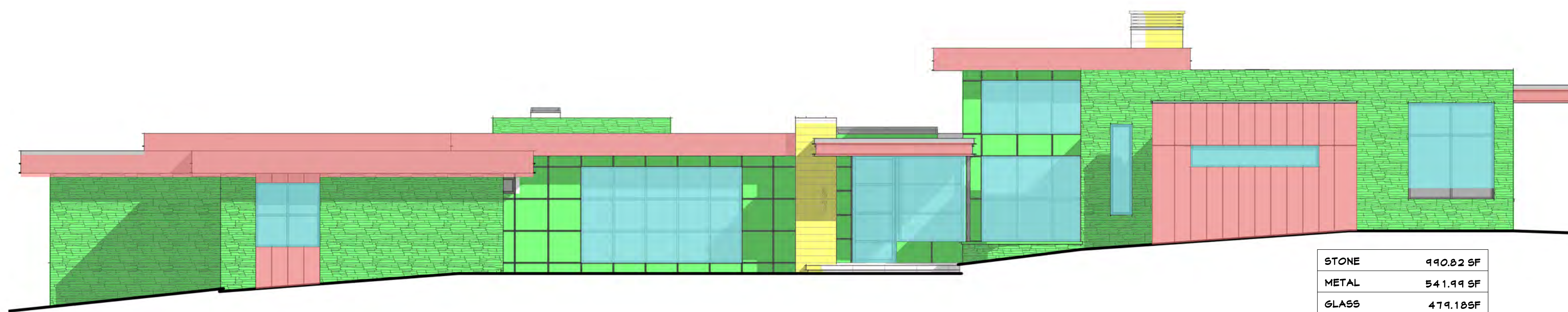
1/8" = 1'-0"



STONE	946.16 SF
METAL	199.71 SF
GLASS	306.96 SF
CONCRETE	171.55 SF

1 Northeast Elevation - Material Calcs

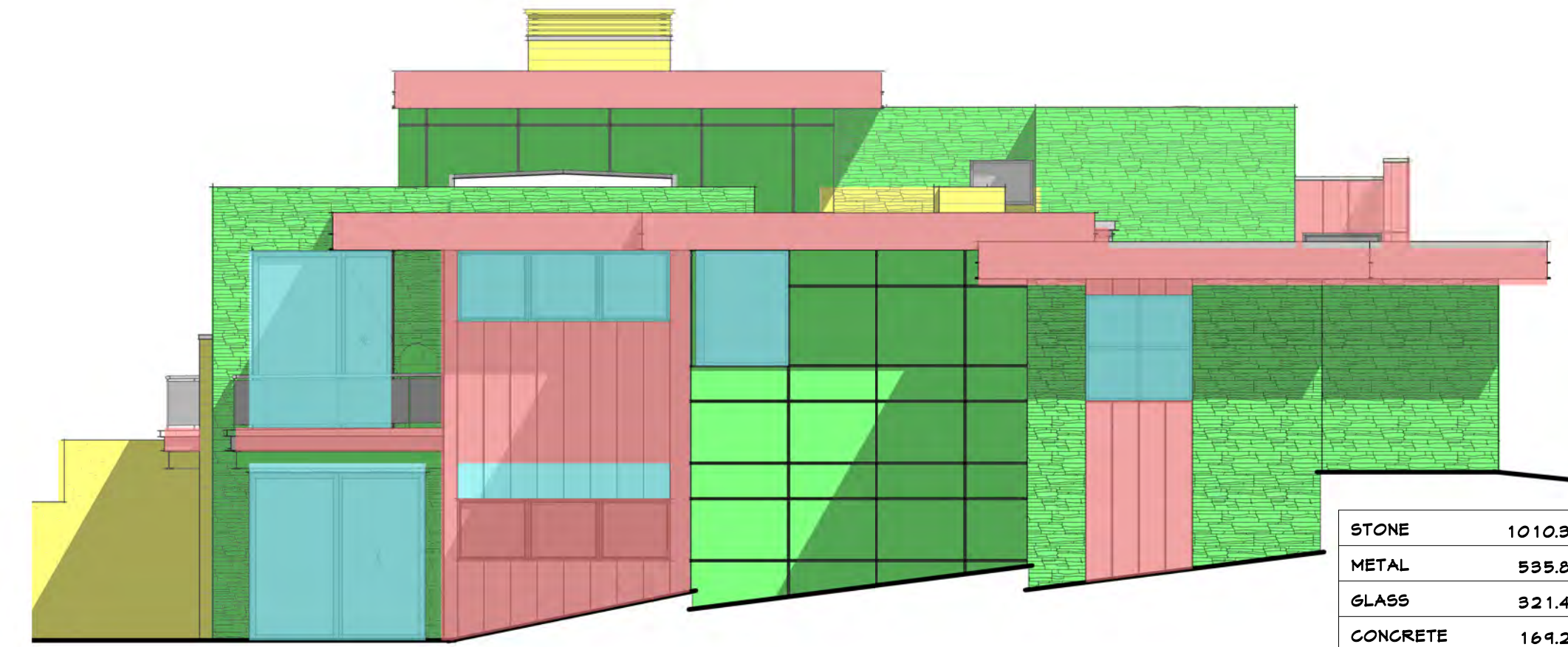
1/8" = 1'-0"



STONE	490.82 SF
METAL	541.99 SF
GLASS	474.18 SF
CONCRETE	63.99 SF

3 Southeast Elevation - Material Calcs

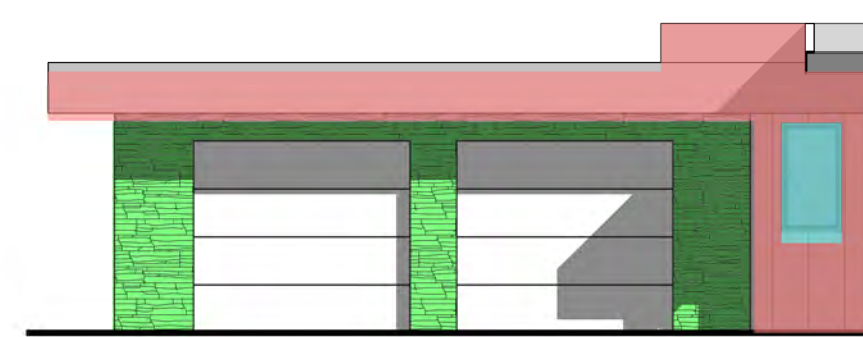
1/8" = 1'-0"



STONE	1010.34 SF
METAL	595.83 SF
GLASS	321.49 SF
CONCRETE	169.27 SF

4 Southwest Elevation - Material Calcs

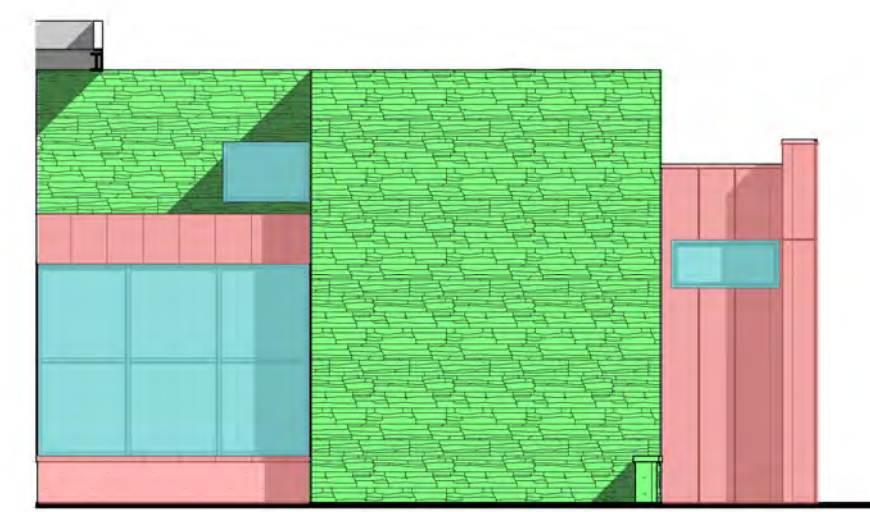
1/8" = 1'-0"



STONE	41.46 SF
METAL	111.72 SF
GLASS	12.50 SF
CONCRETE	0.00 SF

5 Garage Elevation - Material Calcs

1/8" = 1'-0"



STONE	927.05 SF
METAL	129.70 SF
GLASS	107.96 SF
CONCRETE	0.00 SF

6 West Elevation 2 - Material Calcs

1/8" = 1'-0"

MATERIALS	
STONE	
METAL	
GLASS	
CONCRETE	

TOTAL BUILDING MATERIALS		
STONE	4,129.01 SF	41.13%
METAL	2,364.26 SF	23.57%
GLASS	2,670.05 SF	26.70%
CONCRETE	862.42 SF	8.60%

STONE	249.76 SF
METAL	81.51 SF
GLASS	15.23 SF
CONCRETE	151.89 SF

10 Materials Unseen In Elevations

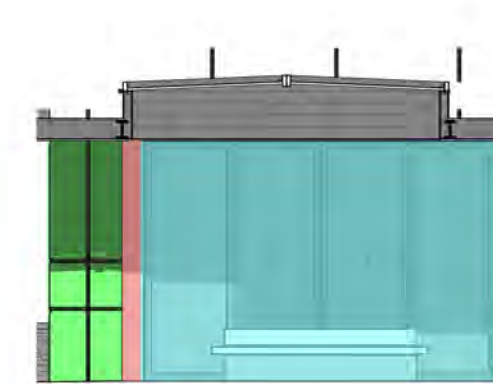
1/8" = 1'-0"



STONE	0.00 SQ. FT.
METAL	35.05 SQ. FT.
GLASS	37.33 SQ. FT.
CONCRETE	64.66 SQ. FT.

9 Entry Northeast Elevation - Material Calcs

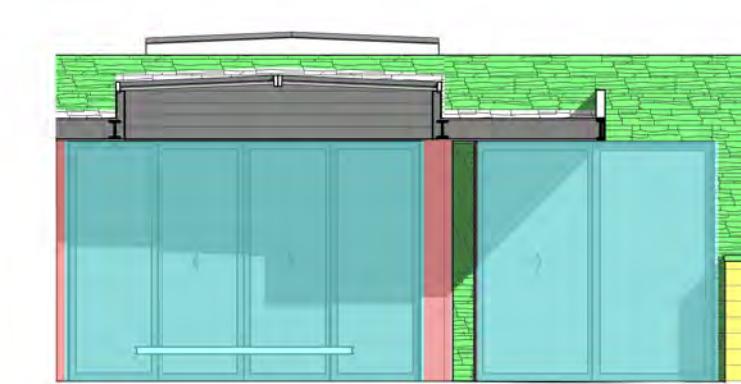
1/8" = 1'-0"



STONE	91.14 SF
METAL	11.90 SF
GLASS	150.00 SF
CONCRETE	0.00 SF

8 Outdoor Lounge West Elev - Material Calcs

1/8" = 1'-0"



STONE	77.42 SF
METAL	15.30 SF
GLASS	250.00 SF
CONCRETE	12.50 SF

7 Outdoor Lounge East Elev - Material Calcs

1/8" = 1'-0"

CUSTOM RESIDENCE
 87 PENNINGTON PLACE
 MOUNTAIN VILLAGE, CO 81435
 SAN MIGUEL COUNTY

SUBMISSIONS	
DRB Feedback	02/02/2021
Issued to DRB	02/17/2021
Revised to DRB	04/01/2021
Issued to DRB	07/19/2021
Issued for FAR	08/18/2021

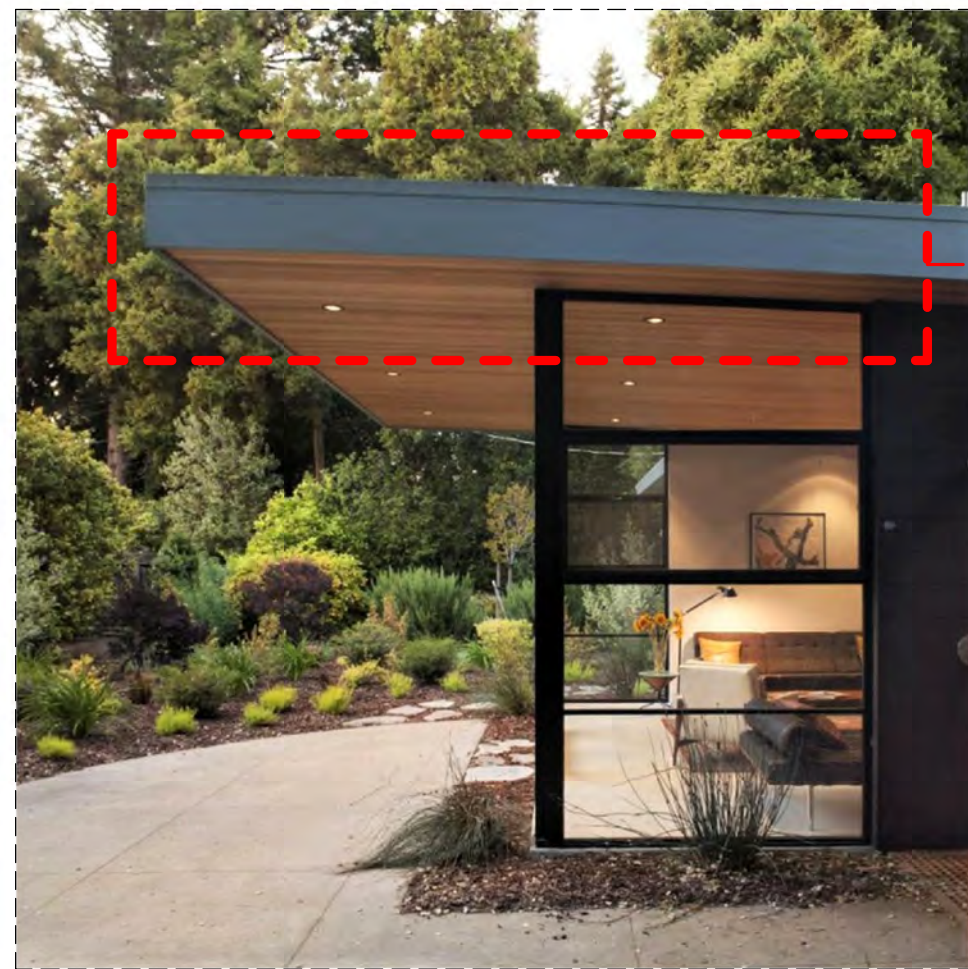
A5.0

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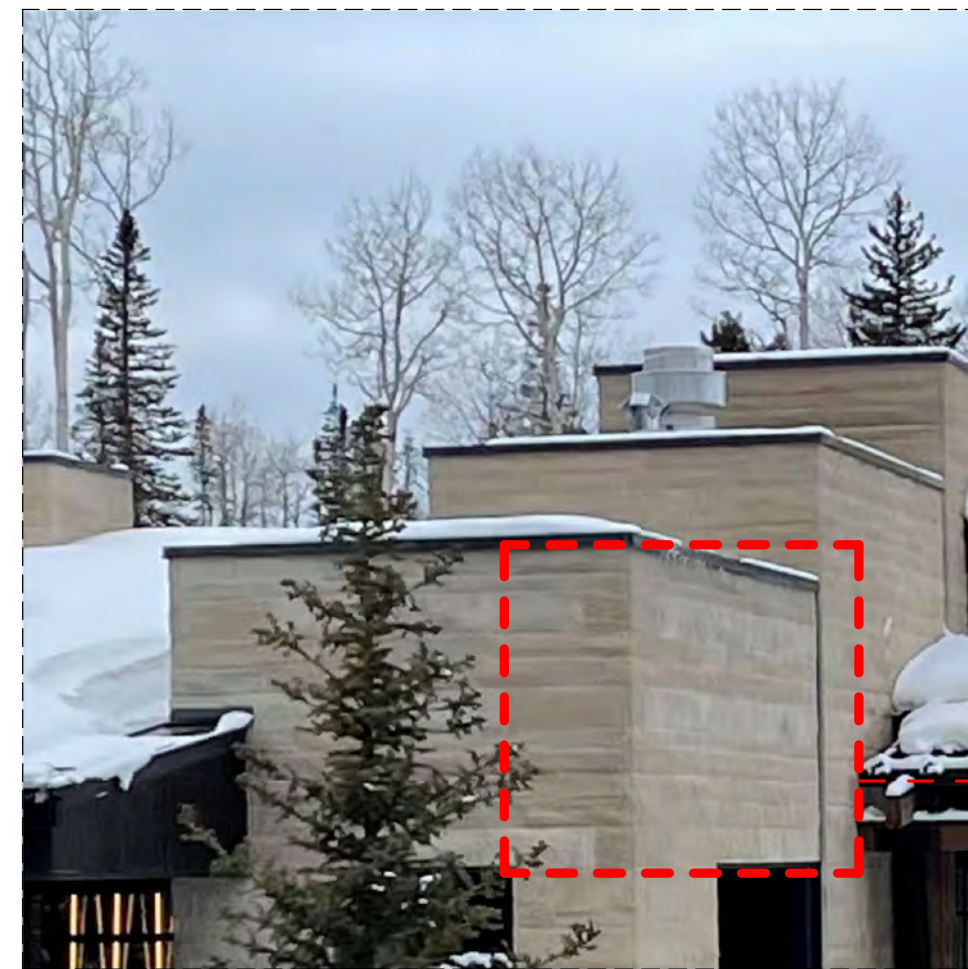
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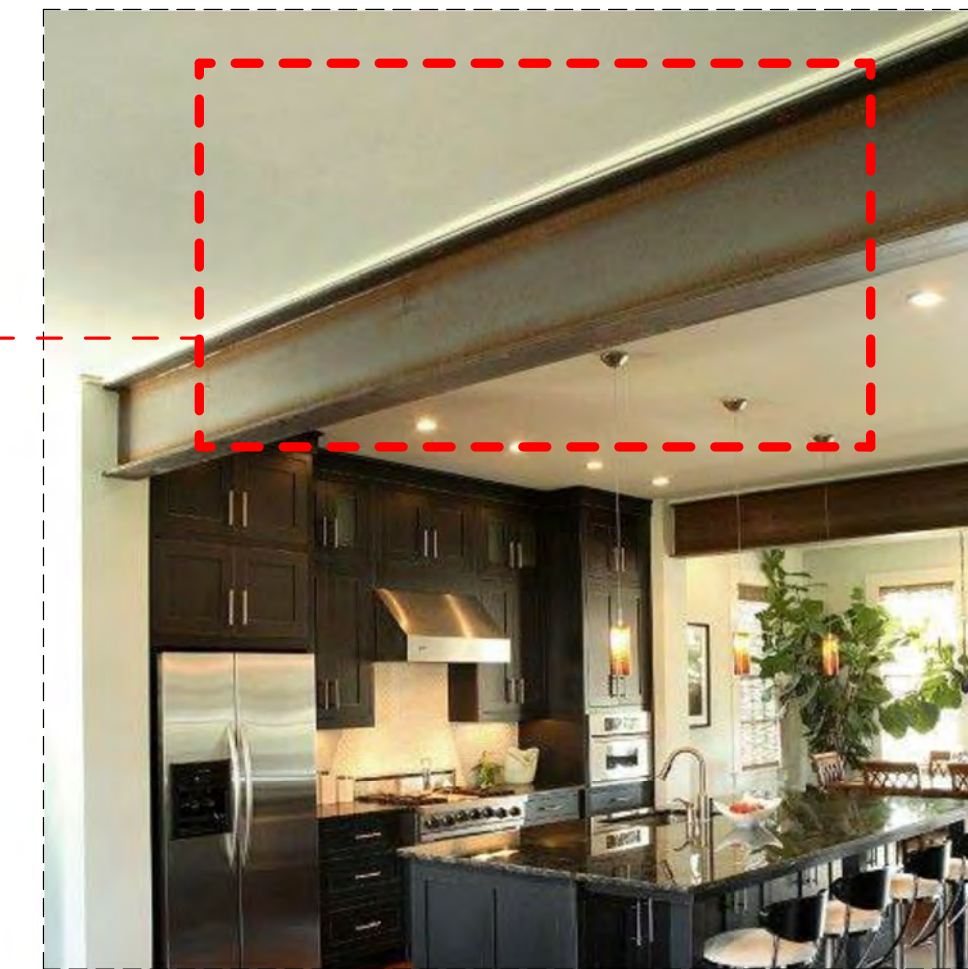
DARK BRONZE METAL FASCIA



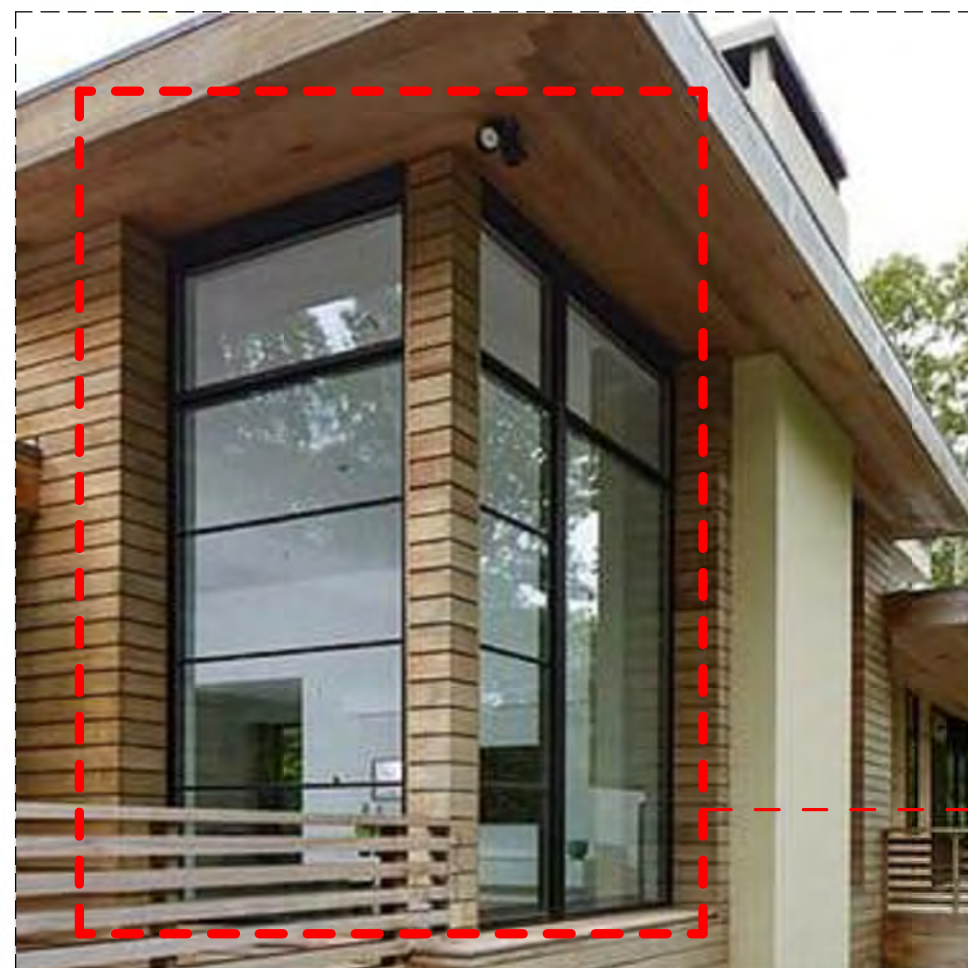
ROUGH THIN-STONE VENEER



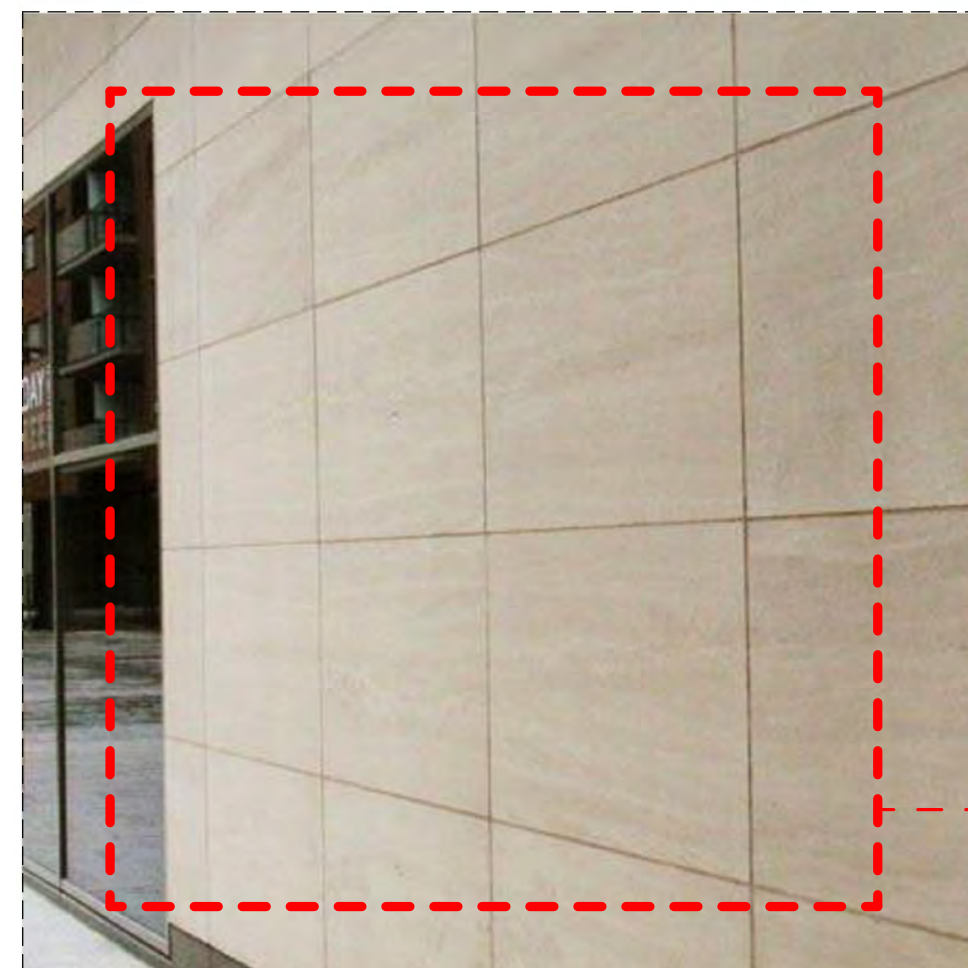
DARK ANODIZED METAL PANEL



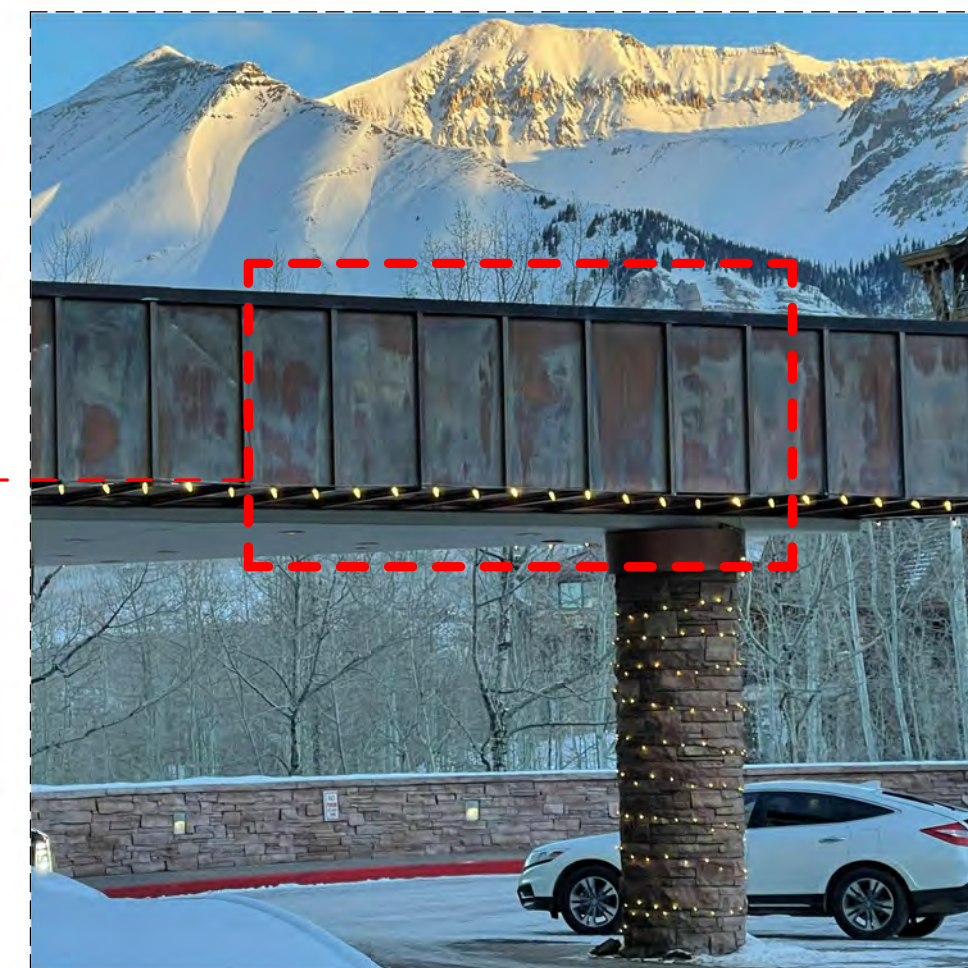
EXPOSED STEEL



DARK BRONZE WINDOW FRAME



HONED THIN-STONE VENEER



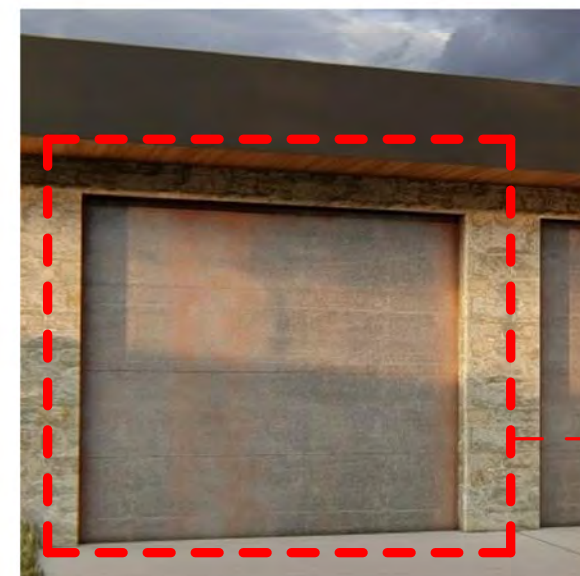
WEATHERED METAL PANELS



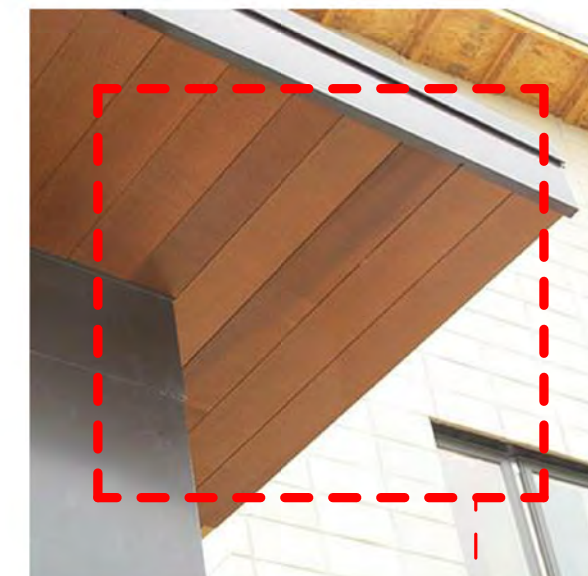
BOARD FORMED CONCRETE



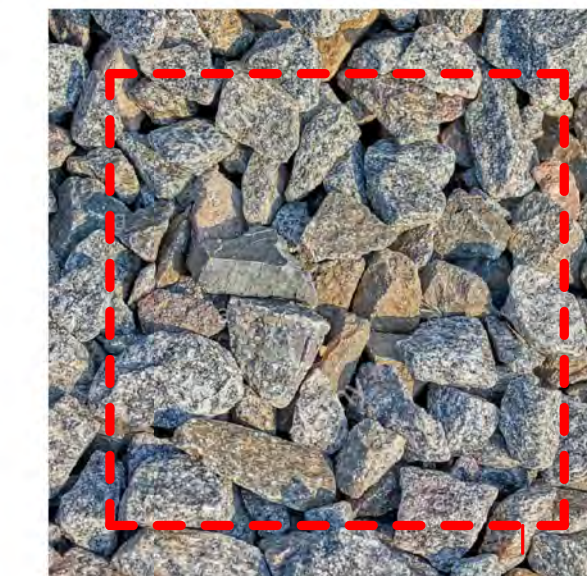
Dark Bronze Anodized



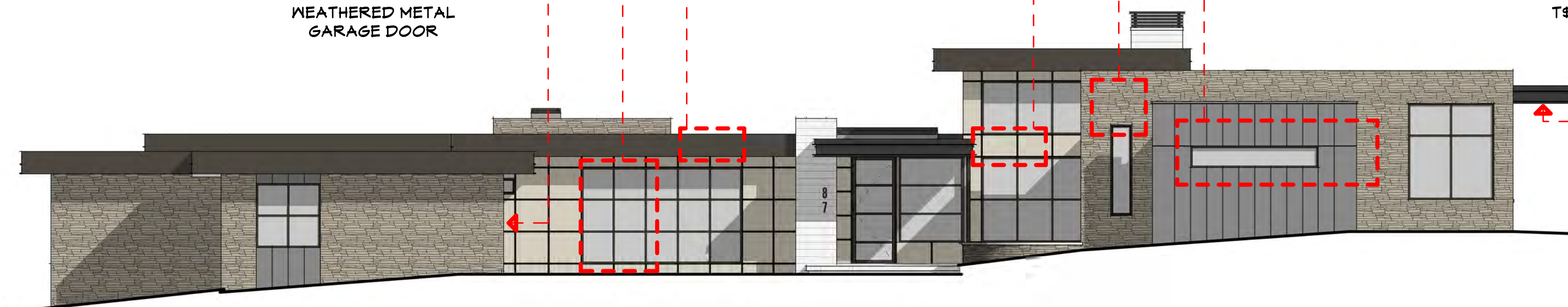
WEATHERED METAL GARAGE DOOR



T&G SOFFIT

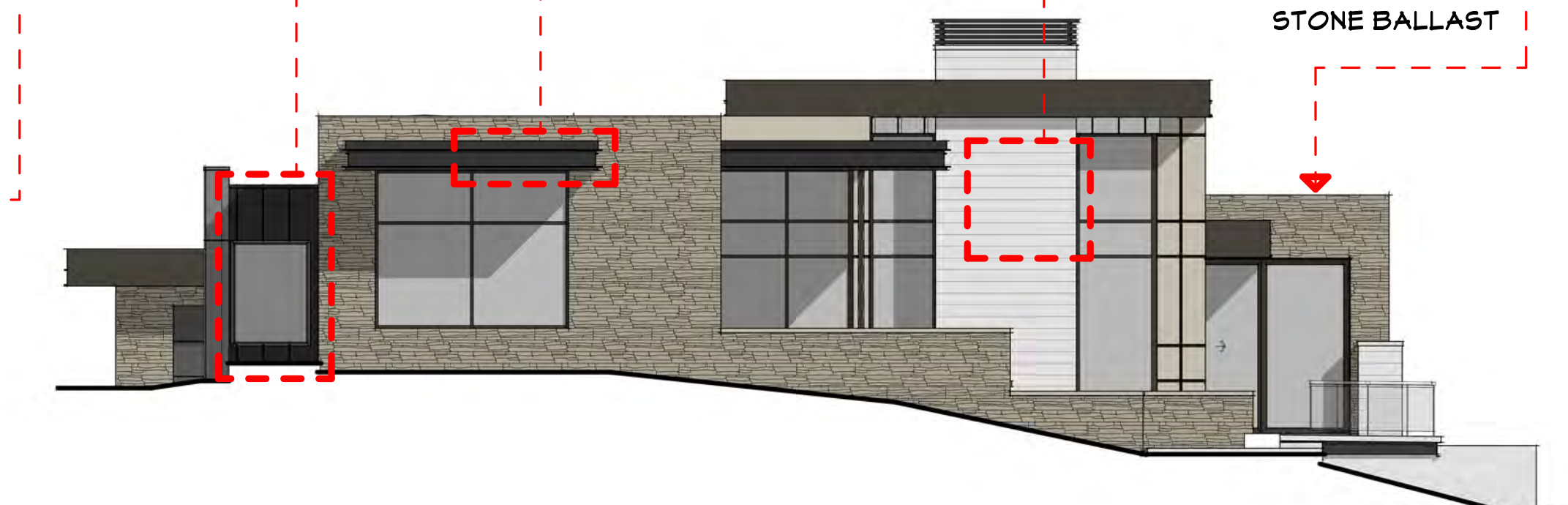


STONE BALLAST



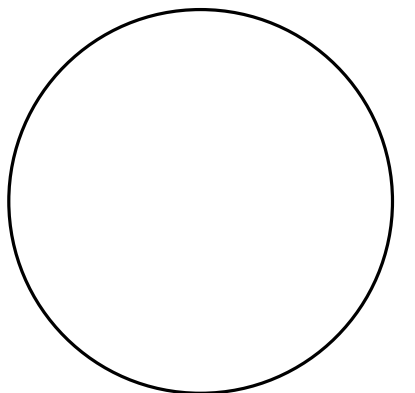
SOUTHEAST

1/8" = 1'-0"



NORTHEAST

1/8" = 1'-0"



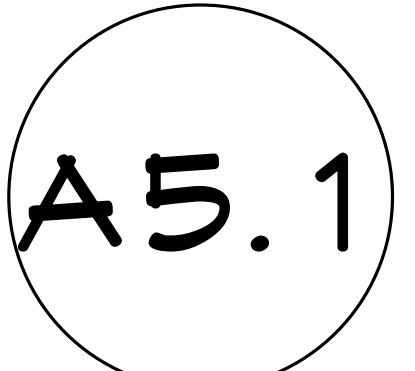
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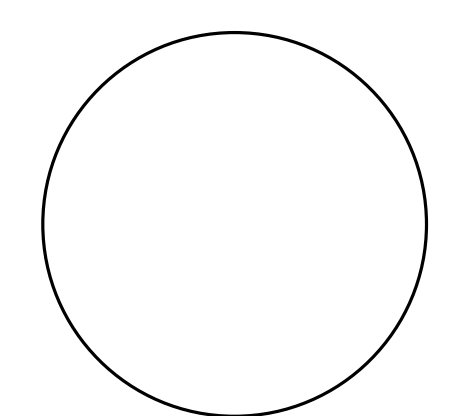
CUSTOM RESIDENCE
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SAN MIGUEL COUNTY

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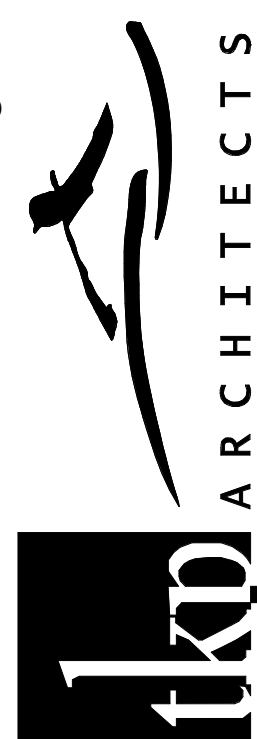
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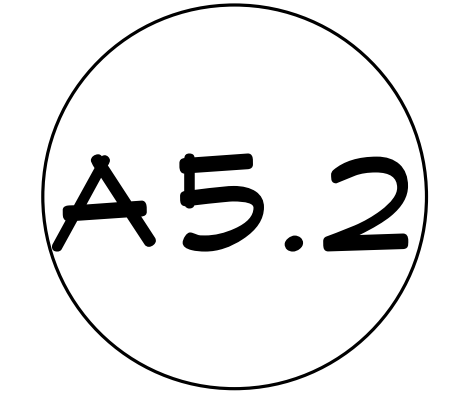
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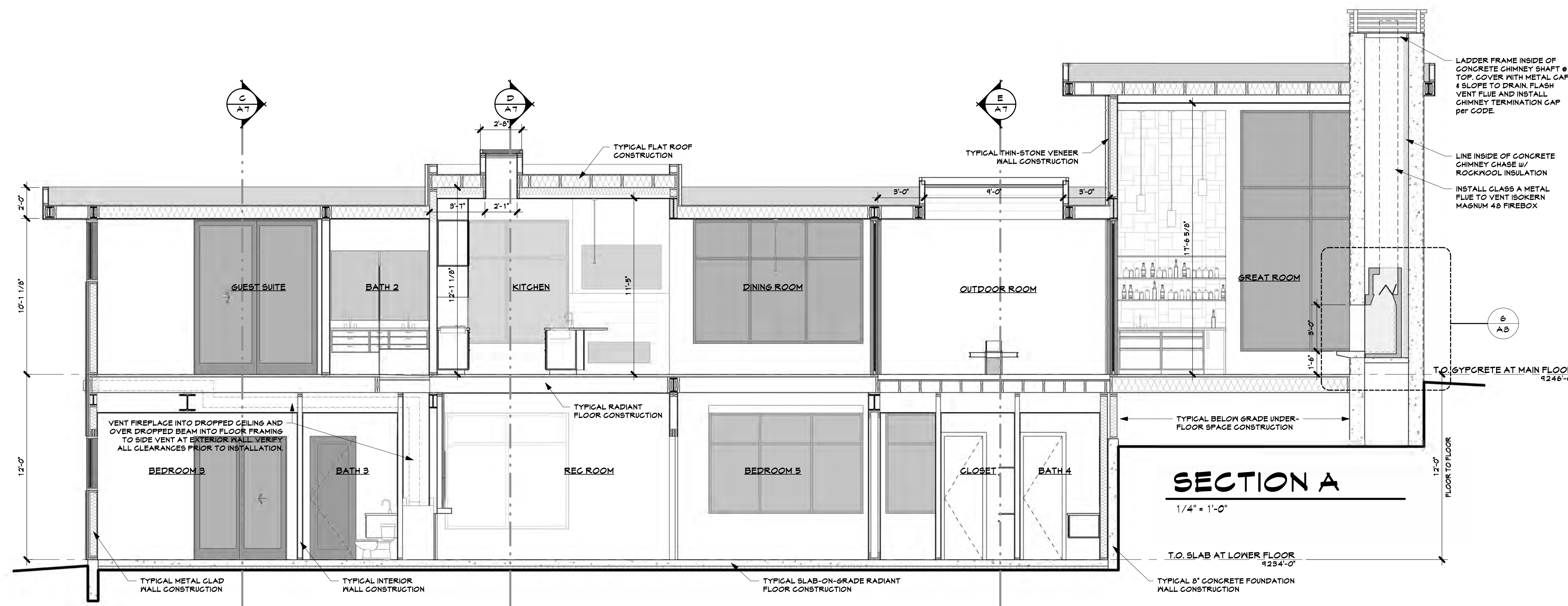
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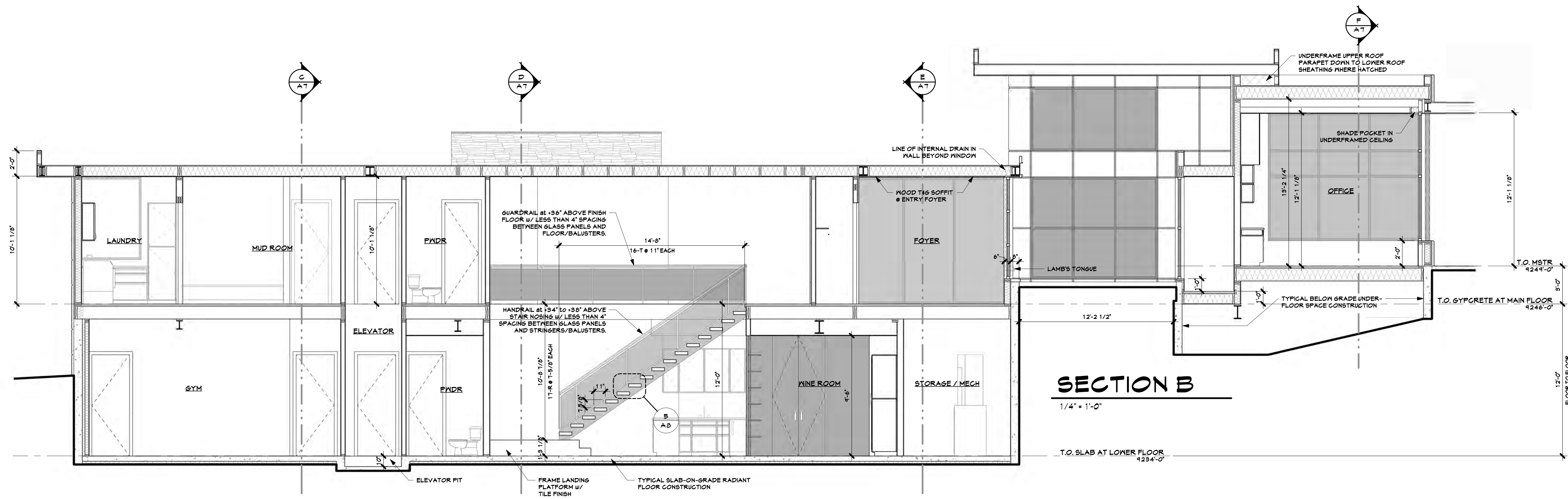
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SECTION A
1/4" = 1'-0"

TYPICAL CONSTRUCTION NOTES

- TYPICAL THIN STONE VENEER WALL CONSTRUCTION:**
2" NATURAL THIN-STONE VENEER ON LATH ON TWO LAYERS BUILDING FELT OVER "TYVEK" OR OTHER APPROVED MOISTURE BARRIER ON 1-7/16" ZIP SYSTEM R SHEATHING (R-6) 4X10 PANELS ON 2X6 STUDS @ 16" O.C. w/ DOUBLE TOP PLATE. PROVIDE PROPERLY LAPPED FLASHINGS AND SEALANTS AT ALL PENETRATIONS AND INTERSECTIONS. PROVIDE FIRE STOP, BLOCKING, and CORNER BRACING PER CODE. PROVIDE INSULATION PER ENERGY REQUIREMENTS. PROVIDE INTERIOR VAPOR BARRIER BEHIND 1/2" GYPSUM HALLBOARD INTERIOR FINISH. INSTALL "DURLOCK" OR EQUIVALENT CONCRETE BACKING BOARD AT SHOWER / TUB ENCLOSURES, SHOWER BENCHES, and TUB DECKS.
- TYPICAL METAL CLAD WALL CONSTRUCTION:**
VERTICAL STANDING SEAM METAL PANELS INSTALLED PER MFR'S SPECS ON "TYVEK" OR OTHER APPROVED MOISTURE BARRIER ON 1-7/16" ZIP SYSTEM R SHEATHING (R-6) 4X10 PANELS ON 2X6 STUDS @ 16" O.C. w/ DOUBLE TOP PLATE. PROVIDE PROPERLY LAPPED FLASHINGS AND SEALANTS AT ALL PENETRATIONS AND INTERSECTIONS. PROVIDE FIRE STOP, BLOCKING, and CORNER BRACING PER CODE. PROVIDE INSULATION PER ENERGY REQUIREMENTS. PROVIDE INTERIOR VAPOR BARRIER BEHIND 1/2" GYPSUM HALLBOARD INTERIOR FINISH. INSTALL "DURLOCK" OR EQUIVALENT CONCRETE BACKING BOARD AT SHOWER / TUB ENCLOSURES, SHOWER BENCHES, and TUB DECKS.
- TYPICAL FLAT ROOF CONSTRUCTION:**
SINGLE PLY FULLY-ADHERED EPDM MEMBRANE ON MECHANICALLY FASTENED 1/4" DENSEDECK ON TAPERED FOM INSULATION SLOPING 1/4" PER FOOT ON ROOF SHEATHING ON ROOF JOISTS PER ENGINEER. TAPERED FOAM INSULATION MAY NEED ADDITIONAL THICKNESS DEPENDING ON TAPER DEPTH. PROVIDE INSULATION PER ENERGY REQUIREMENTS. ATTACH 5/8" GYPSUM HALLBOARD INTERIOR FINISH AT ALL INTERIOR CEILING. PROVIDE CLASS-A TREATED T&G SOFFIT COMPLIANT w/ APPENDIX-Z AND RIDGE VENTILATION PER CODE. PROVIDE PROPERLY LAPPED FLASHINGS OR SEALANTS AT ALL ROOF/WALL INTERSECTIONS AND ROOF PENETRATIONS. ROOF ASSEMBLY TO COMPLY WITH APPENDIX-Z SECTION 2.10.4.2. ALL ROOF SURFACES TO BE BALLASTED WITH DARK STONE.
- TYPICAL BELOW GRADE UNDER-FLOOR SPACE CONSTRUCTION:**
CONTROL MOISTURE OF SOILS DURING CONSTRUCTION. RE-GRADE and CLEAN SURFACE OF SOIL PRIOR TO INSTALLATION OF VAPOR RETARDER. INSTALL VAPOR RETARDER and EXTEND UP INTERIOR OF CONCRETE FOUNDATION WALLS. ATTACH VAPOR RETARDER TO FACE OF FOUNDATION WALLS. DO NOT COVER STEEL OR STRUCTURAL WOOD MATERIAL REFER TO "GUIDELINES FOR DESIGN AND CONSTRUCTION OF NEW HOMES w/ BELOW-GRADE UNDER-FLOOR SPACES", VERSION 1.0, OCTOBER 30, 2003, DEVELOPED BY THE "MOISTURE MANAGEMENT TASK FORCE". PROVIDE MECHANICAL VENTILATION PER CODE ON HUMIDISTAT. UNDERFLOOR AREAS TO COMPLY WITH APPENDIX-Z SECTION 2.10.4.6.
- TYPICAL RADIANT FLOOR CONSTRUCTION:**
1-1/2" GYPCRETE OR EQUIVALENT w/ EMBEDDED RADIANT HEAT TUBING ON 3/4" MINIMUM T&G OSB, GLUED and NAILED TO FLOOR JOISTS. PROVIDE GLUE AT T & G JOINTS. PROVIDE 3/8" SOFFIT BOARD AND INSULATION PER ENERGY REQUIREMENTS AT ALL CANTILEVERS. PROVIDE DRAFT STOPS PER GOVERNING CODE. REFER TO STRUCTURAL PLANS FOR FRAMING INFORMATION.
- TYPICAL GARAGE SLAB CONSTRUCTION:**
5" REINFORCED CONCRETE GARAGE SLAB w/ 1/2" EXPANSION JOINT AT PERIMETER. SLOPE FROM REAR OF GARAGE TO OVERHEAD DOOR PER PLAN. BLOCKOUT FOUNDATION WALL AT OVERHEAD DOOR AND FOUR SLAB OVER. SEE STRUCTURAL FOUNDATION PLAN FOR ADDITIONAL INFORMATION.
- TYPICAL BASEMENT SLAB-ON-GRADE CONSTRUCTION:**
5" REINFORCED CONCRETE SLAB w/ 1/2" EXPANSION JOINT AT PERIMETER and CONTROL JOINTS EVERY 200 S.F. MAX. PROVIDE UNDERSLAB INSULATION PER ENERGY REQUIREMENTS. SEE STRUCTURAL FOUNDATION PLAN FOR ADDITIONAL INFORMATION.
- TYPICAL SLAB-ON-GRADE RADIANT FLOOR CONSTRUCTION:**
5" REINFORCED CONCRETE SLAB w/ EMBEDDED RADIANT HEAT TUBING w/ 1/2" EXPANSION JOINT AT PERIMETER and CONTROL JOINTS EVERY 200 S.F. MAX. PROVIDE UNDERSLAB INSULATION PER ENERGY REQUIREMENTS. SEE STRUCTURAL FOUNDATION PLAN FOR ADDITIONAL INFORMATION.
- TYPICAL 8" CONCRETE FOUNDATION WALL CONSTRUCTION:**
PROVIDE LIQUID MOISTURE PROOFING AT ALL EXTERIOR WALLS FROM GRADE LINE DOWN. PROVIDE PERIMETER DRAINS PER SOILS REPORT. PROVIDE 1/2" X 1/4" ANCHOR BOLTS AT 4'-0" O.C. and WITHIN 12" OF CORNERS and ENDS. PROVIDE INSULATION PER ENERGY REQUIREMENTS. SEE STRUCTURAL FOUNDATION PLAN FOR ADDITIONAL INFORMATION.
- PROVIDE 6" MIN. CLEARANCE BETWEEN ALL STRUCTURAL WOOD OR SIDING and FINISH GRADE.**
- TYPICAL INTERIOR WALL CONSTRUCTION:**
2X4S @ 16" O.C. w/ DOUBLE TOP PLATE. PROVIDE FIRE STOP and BLOCKING PER CODE. PROVIDE 1/2" GYPSUM HALLBOARD FINISH. PROVIDE 1/2" DURLOCK CONCRETE BACKER BOARD OR EQUIVALENT AT SHOWER / TUB ENCLOSURES, SHOWER BENCHES and TUB DECKS.



SECTION B
1/4" = 1'-0"

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SAN MIGUEL COUNTY

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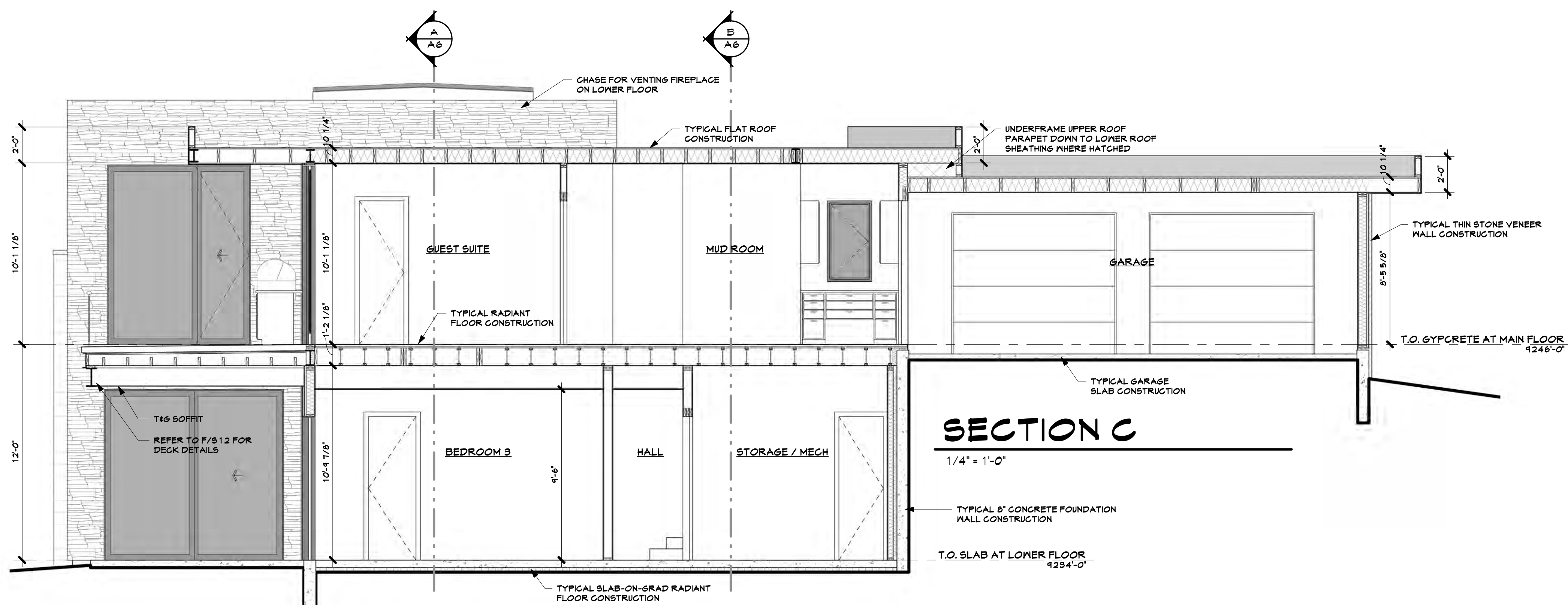
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TYPICAL CONSTRUCTION NOTES

TYPICAL THIN STONE VENEER MALL CONSTRUCTION:
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TYPICAL METAL GLAD MALL CONSTRUCTION:
VERTICAL STANDING SEAM METAL PANELS INSTALLED PER MFR'S SPECS ON "TYVEK" OR OTHER APPROVED MOISTURE BARRIER ON 1-7/16" ZIP SYSTEM R SHEATHING (R-6) 4X10 PANELS ON 2X6 STUDS @ 16" O.C. w/ DOUBLE TOP PLATE. PROVIDE PROPERLY LAPPED FLASHINGS AND SEALANTS @ ALL PENETRATIONS AND INTERSECTIONS. PROVIDE FIRE STOP, BLOCKING, AND CORNER BRACING PER CODE. PROVIDE INSULATION PER ENERGY REQUIREMENTS. PROVIDE INTERIOR VAPOR BARRIER BEHIND 1/2" GYPSUM MALLBOARD INTERIOR FINISH. INSTALL "DUROCK" OR EQUIVALENT CONCRETE BACKING BOARD AT SHOWER / TUB ENCLOSURES, SHOWER BENCHES, AND TUB DECKS.

TYPICAL FLAT ROOF CONSTRUCTION:
SINGLE PLY FULLY-ADHERED EPDM MEMBRANE ON MECHANICALLY FASTENED 1/4" DENSDECK ON TAPERED FOM INSULATION SLOPING 1/4" PER FOOT ON ROOF SHEATHING ON ROOF JOISTS per ENGINEER. TAPERED FOM INSULATION MAY NEED ADDITIONAL THICKNESS DEPENDING ON ROOF FRAMING DEPTH. PROVIDED INSULATION per ENERGY REQUIREMENTS. ATTACH 5/8" GYPSUM MALLBOARD INTERIOR FINISH AT ALL INTERIOR CEILINGSS. PROVIDE CLASS-A TREATED T&G SOFFIT COMPLIANT w/ APPENDIX-Z AND RIDGE VENTILATION per CODE. PROVIDE PROPERLY LAPPED FLASHINGS OR SEALANTS @ ALL ROOF/WALL INTERSECTIONS AND ROOF PENETRATIONS. ROOF ASSEMBLY TO COMPLY WITH APPENDIX-Z SECTION Z104.2. ALL ROOF SURFACES TO BE BALLASTED WITH DARK STONE.

BELOW GRADE UNDER-FLOOR SPACE CONSTRUCTION:
CONTROL MOISTURE OF SOILS DURING CONSTRUCTION. RE-GRADE and CLEAN SURFACE OF SOIL PRIOR TO INSTALLATION OF VAPOR RETARDER. INSTALL VAPOR RETARDER AND EXTEND UP INTERIOR OF CONCRETE FOUNDATION WALLS. ATTACH VAPOR RETARDER TO FACE OF FOUNDATION WALLS. DO NOT COVER STEEL OR STRUCTURAL WOOD MATERIAL. REFER TO "GUIDELINES FOR DESIGN AND CONSTRUCTION OF NEW HOMES w/ BELOW-GRADE UNDER-FLOOR SPACES", VERSION 1.0, OCTOBER 30, 2009, DEVELOPED BY THE "MOISTURE MANAGEMENT TASK FORCE". PROVIDE MECHANICAL VENTILATION PER CODE ON HUMIDISTAT. UNDERFLOOR AREAS TO COMPLY WITH APPENDIX-Z SECTION Z 104.6.

TYPICAL RADIANT FLOOR CONSTRUCTION:
CONTROL MOISTURE OF SOILS DURING CONSTRUCTION. RE-GRADE and CLEAN SURFACE OF SOIL PRIOR TO INSTALLATION OF VAPOR RETARDER. INSTALL VAPOR RETARDER AND EXTEND UP INTERIOR OF CONCRETE FOUNDATION WALLS. ATTACH VAPOR RETARDER TO FACE OF FOUNDATION WALLS. DO NOT COVER STEEL OR STRUCTURAL WOOD MATERIAL. REFER TO "GUIDELINES FOR DESIGN AND CONSTRUCTION OF NEW HOMES w/ BELOW-GRADE UNDER-FLOOR SPACES", VERSION 1.0, OCTOBER 30, 2009, DEVELOPED BY THE "MOISTURE MANAGEMENT TASK FORCE". PROVIDE MECHANICAL VENTILATION PER CODE ON HUMIDISTAT. UNDERFLOOR AREAS TO COMPLY WITH APPENDIX-Z SECTION Z 104.6.

TYPICAL GARAGE SLAB CONSTRUCTION:
5" REINFORCED CONCRETE GARAGE SLAB w/ 1/2" EXPANSION JOINT AT PERIMETER. SLOPE FROM REAR OF GARAGE TO OVERHEAD DOOR PER PLAN. BLOCKOUT FOUNDATION WALL AT OVERHEAD DOOR and FOUR SLAB OVER. SEE STRUCTURAL FOUNDATION PLAN FOR ADDITIONAL INFORMATION.

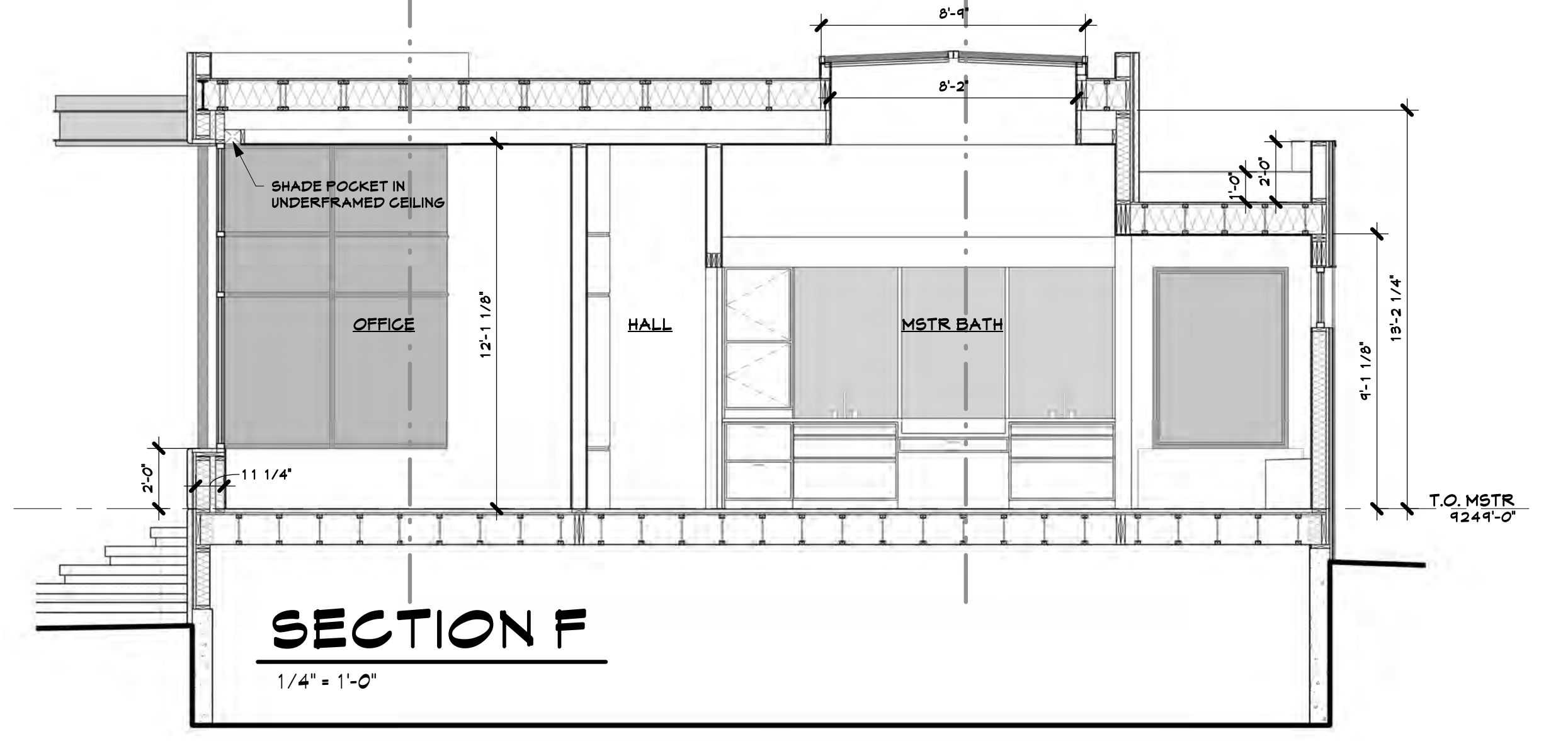
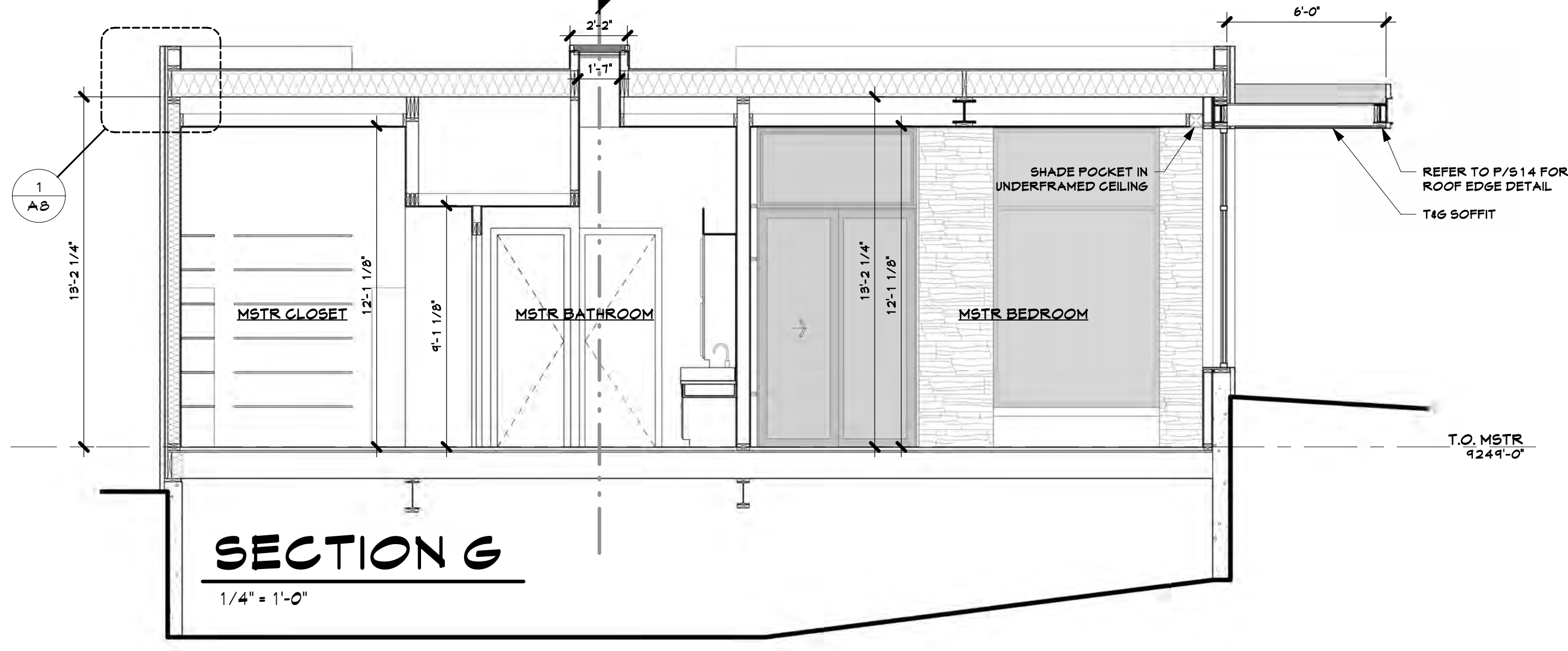
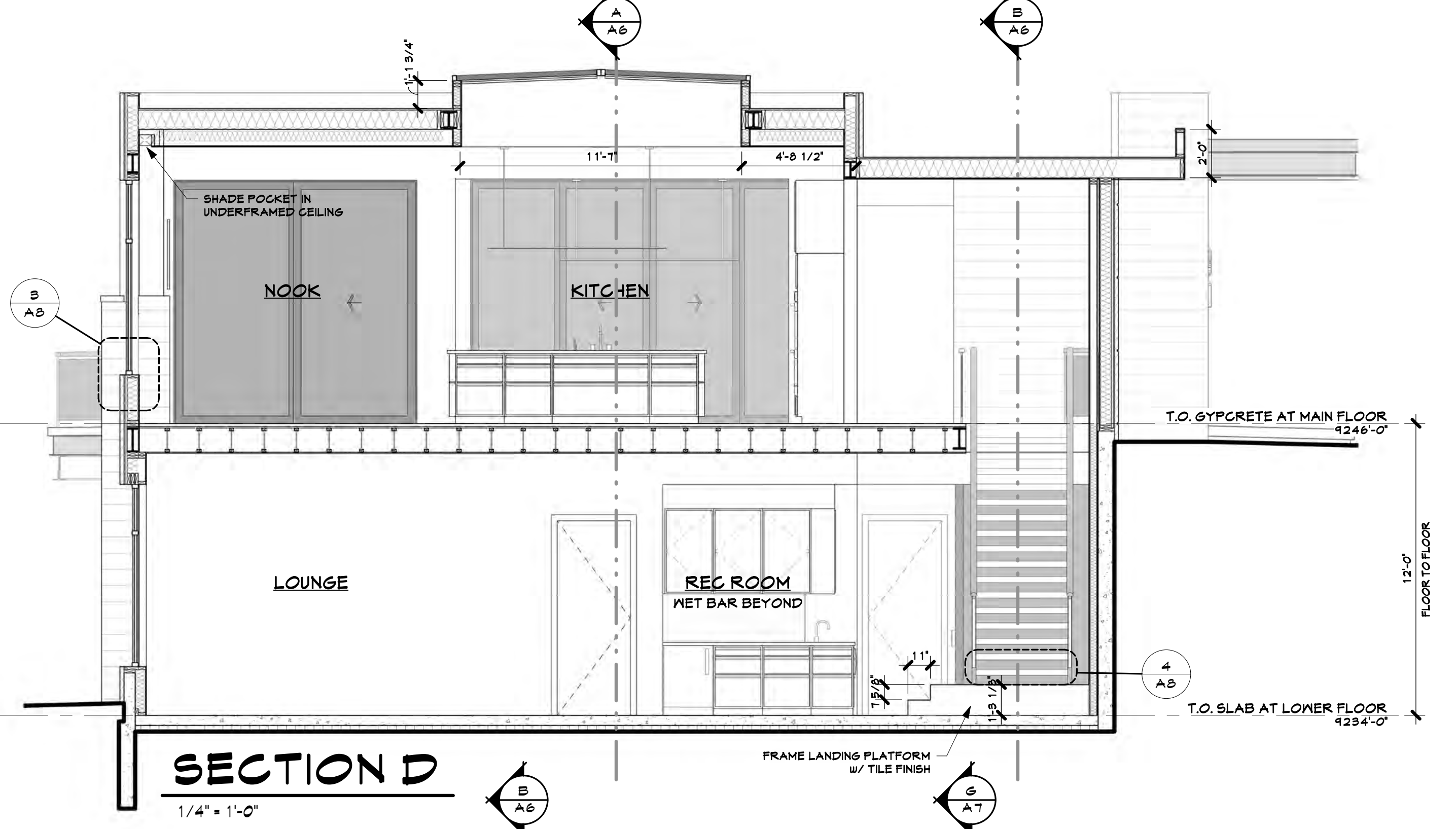
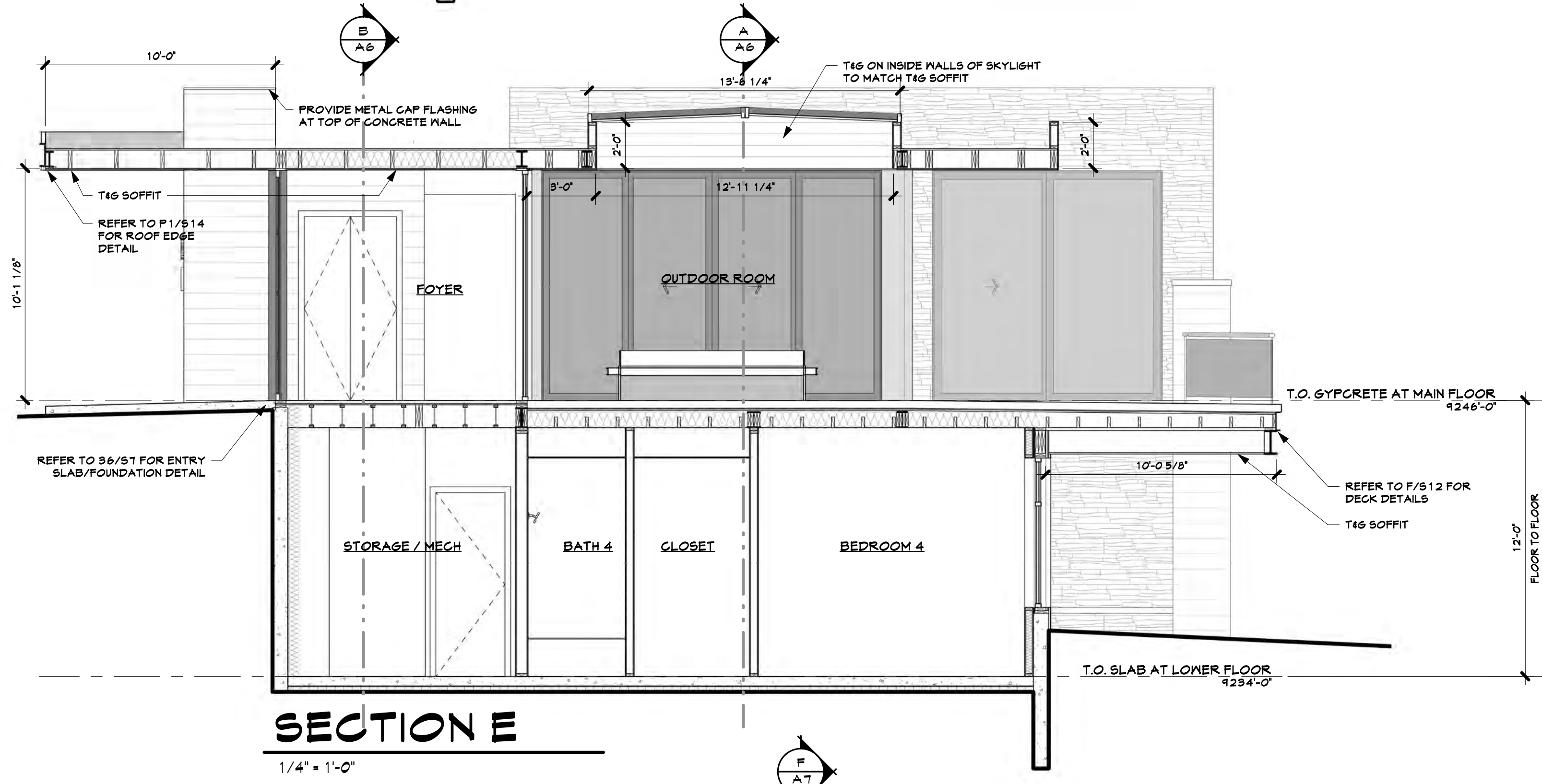
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5" REINFORCED CONCRETE SLAB w/ 1/2" EXPANSION JOINT AT PERIMETER and CONTROL JOINTS EVERY 200 S.F. MAX. PROVIDE UNDERSLAB INSULATION PER ENERGY REQUIREMENTS. SEE STRUCTURAL FOUNDATION PLAN FOR ADDITIONAL INFORMATION.

TYPICAL SLAB-ON-GRADE RADIANT FLOOR CONSTRUCTION:
5" REINFORCED CONCRETE SLAB w/ EMBEDDED RADIANT HEAT TUBING w/ 1/2" EXPANSION JOINT AT PERIMETER and CONTROL JOINTS EVERY 200 S.F. MAX. PROVIDE UNDERSLAB INSULATION PER ENERGY REQUIREMENTS. SEE STRUCTURAL FOUNDATION PLAN FOR ADDITIONAL INFORMATION.

TYPICAL 6" CONCRETE FOUNDATION WALL CONSTRUCTION:
PROVIDE LIQUID MOISTURE PROOFING @ ALL EXTERIOR WALLS FROM GRADE LINE DOWN. PROVIDE PERIMETER DRAINS PER SOILS REPORT. PROVIDE 1/2" X 10' ANCHOR BOLTS @ 4'-0" O.C. and WITHIN 12" OF CORNERS and ENDS. PROVIDE INSULATION PER ENERGY REQUIREMENTS. SEE STRUCTURAL FOUNDATION PLAN FOR ADDITIONAL INFORMATION.

PROVIDE 6" MIN. CLEARANCE BETWEEN ALL STRUCTURAL WOOD OR SIDING and FINISH GRADE.

TYPICAL INTERIOR MALL CONSTRUCTION:
2x4s @ 16" O.C. w/ DOUBLE TOP PLATE. PROVIDE FIRE STOP and BLOCKING PER CODE. PROVIDE 1/2" GYPSUM MALLBOARD FINISH. PROVIDE 1/2" DUROCK CONCRETE BACKER BOARD OR EQUIVALENT AT SHOWER / TUB ENCLOSURES, SHOWER BENCHES and TUB DECKS.

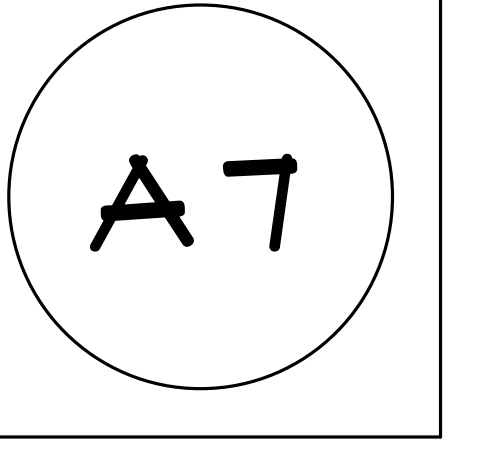


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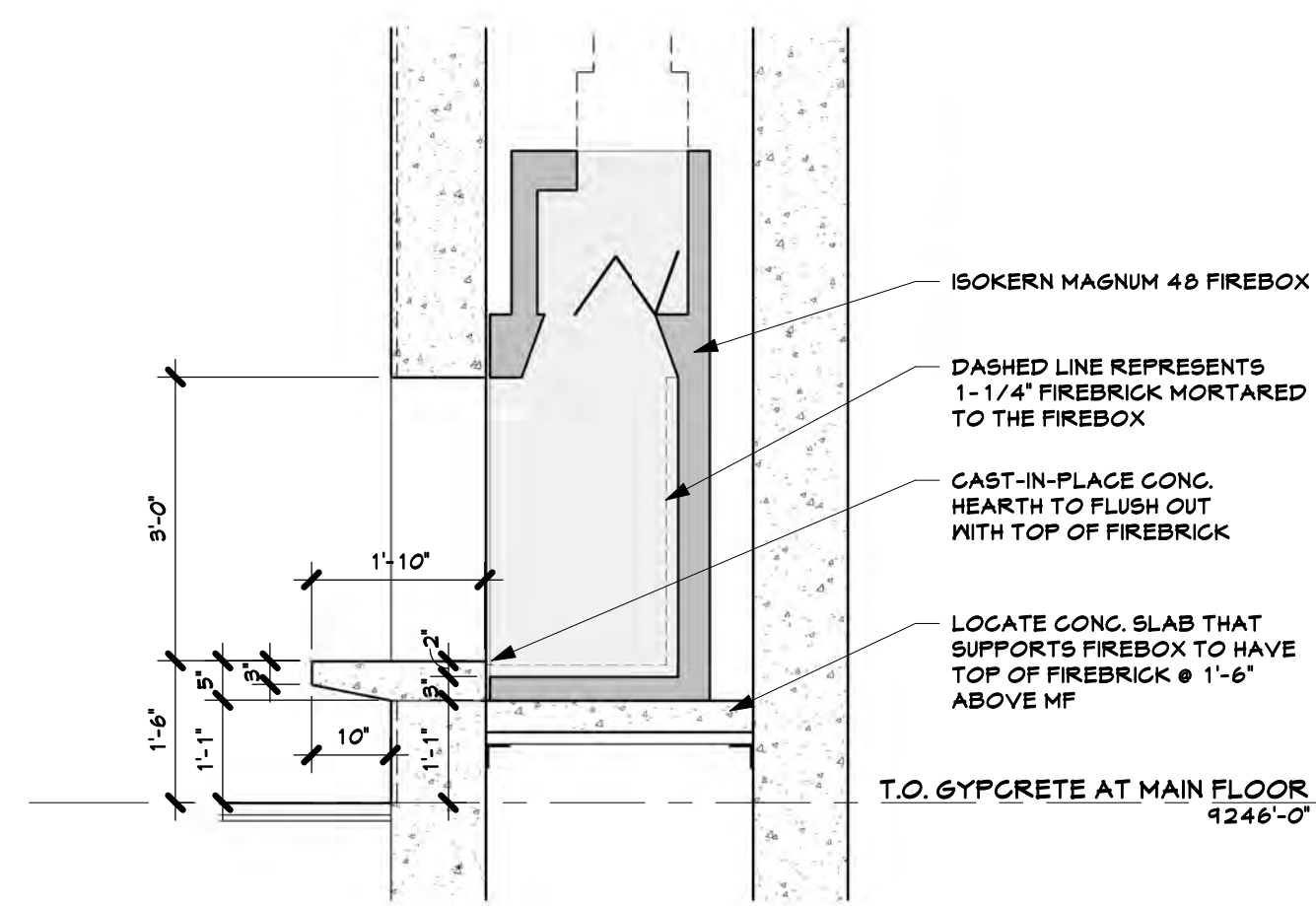
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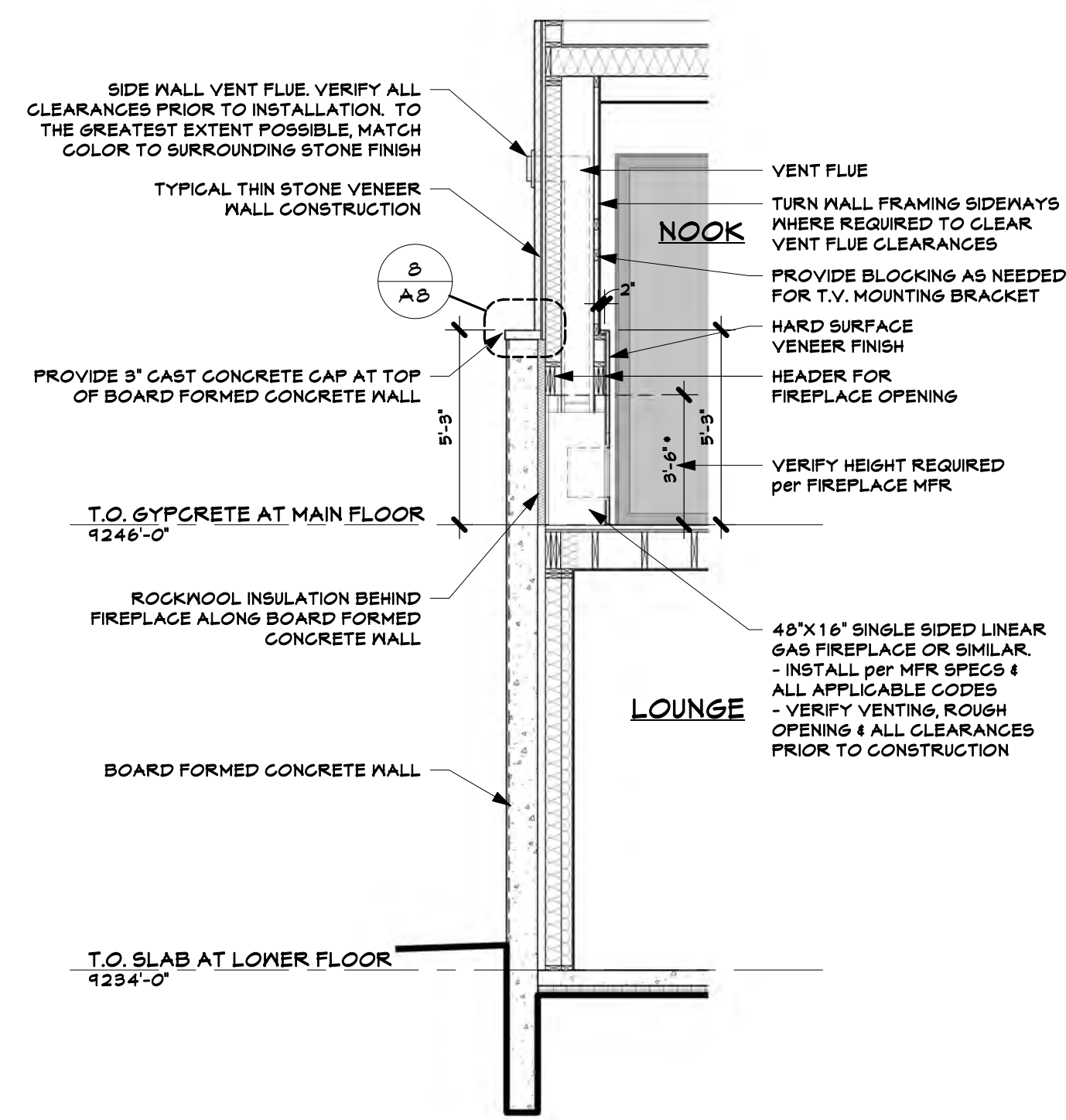
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Issued to DRB	07/19/2021
Issued for FAR	08/18/2021



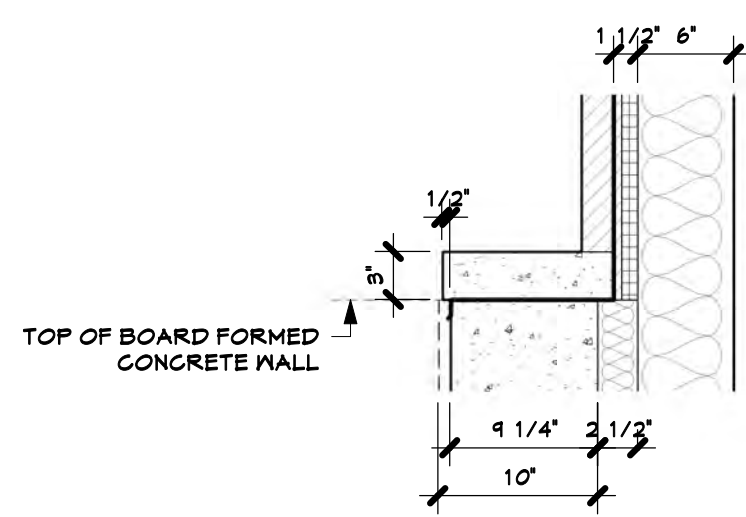
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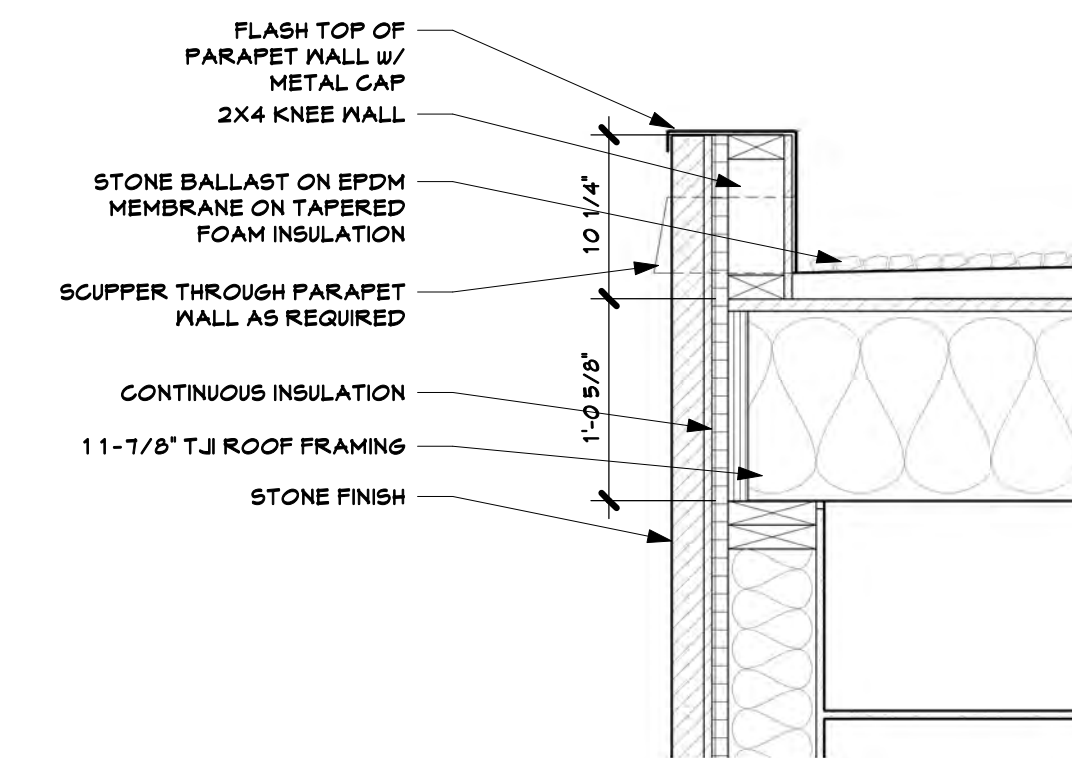
6 GREAT ROOM FIREPLACE
1/2" = 1'-0"



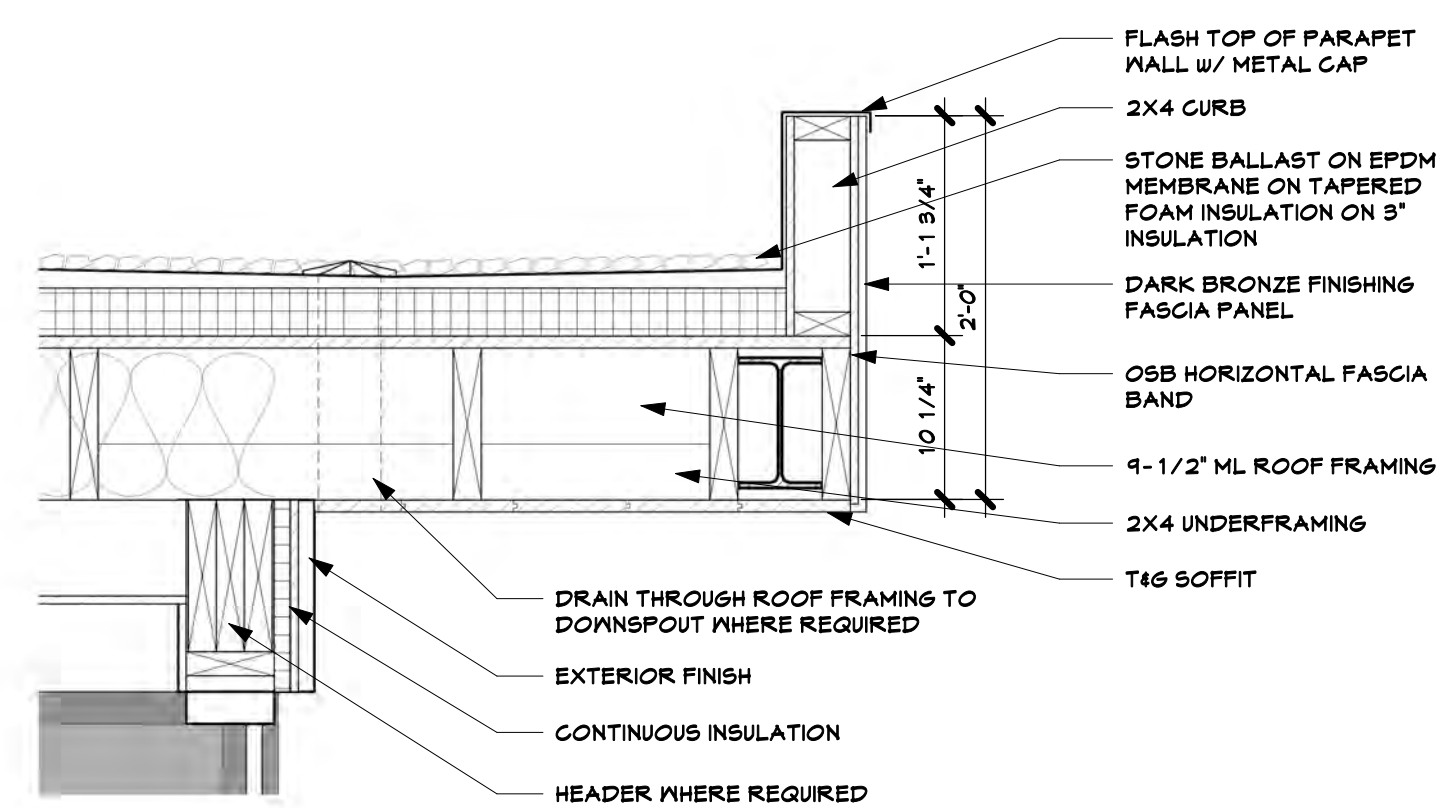
7 NOOK FIREPLACE
1/4" = 1'-0"



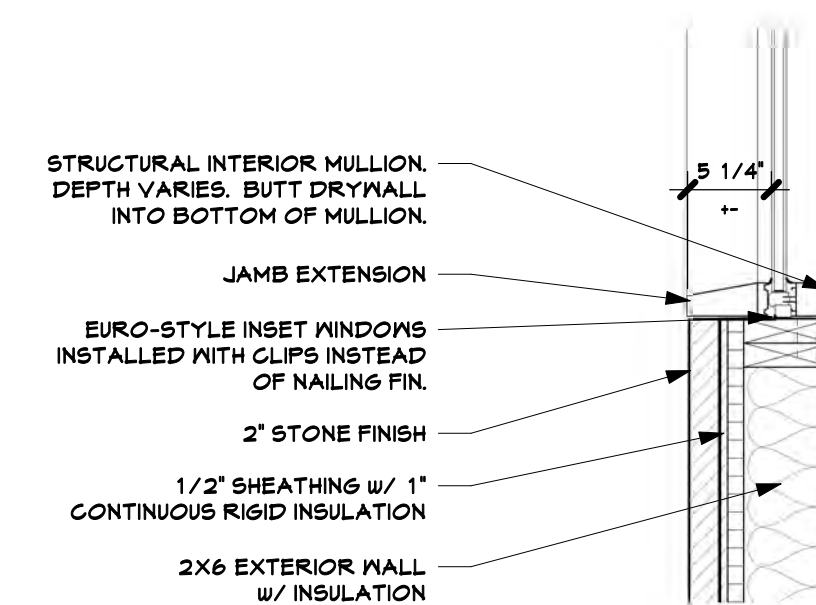
8 CONCRETE CAP
1" = 1'-0"



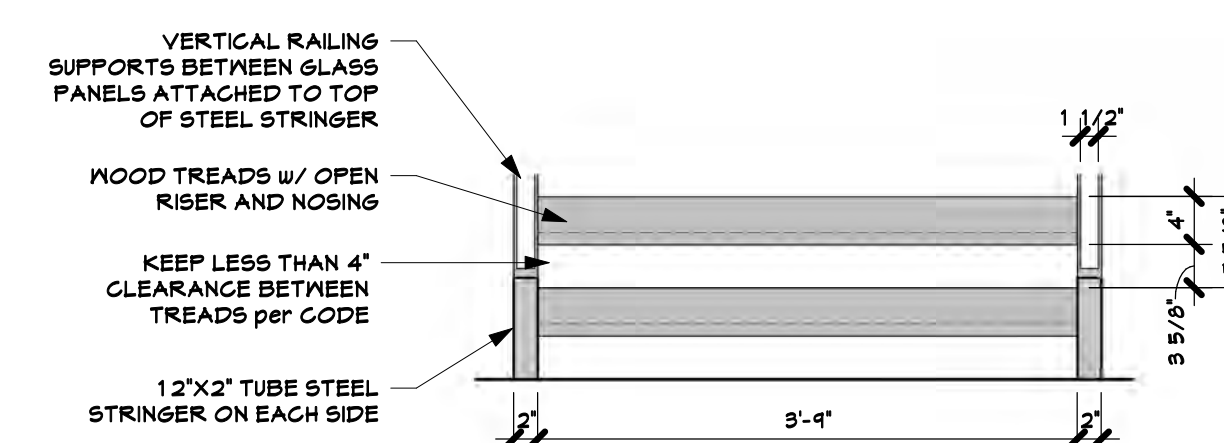
1 FLAT ROOF PARAPET
1" = 1'-0"



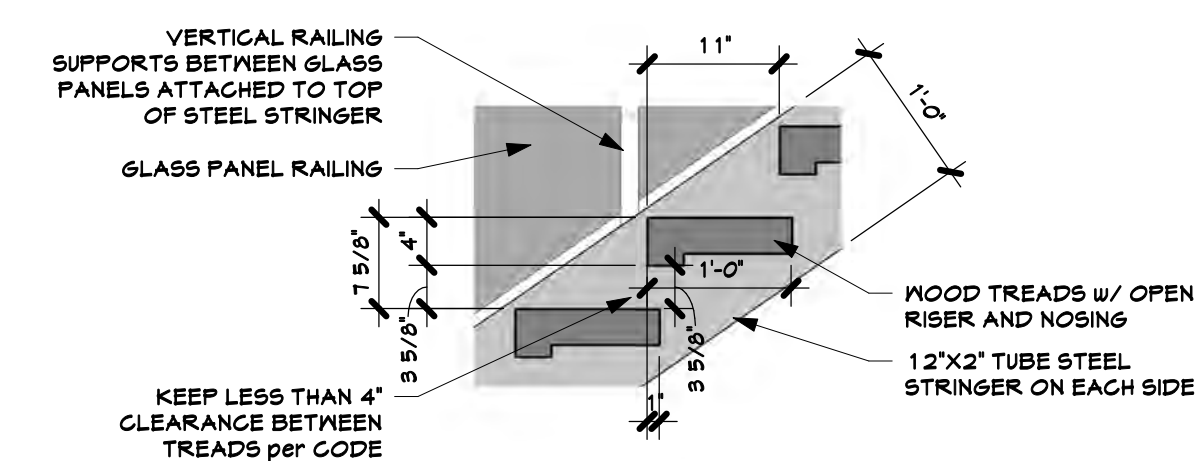
2 FLAT ROOF W/ OVERHANG
1" = 1'-0"



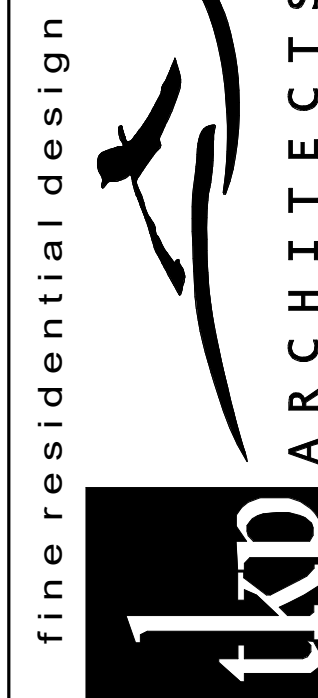
3 TYPICAL RECESSED WINDOW
1" = 1'-0"



4 STAIR ELEVATION
3/4" = 1'-0"



5 STAIR SECTION DETAIL
3/4" = 1'-0"



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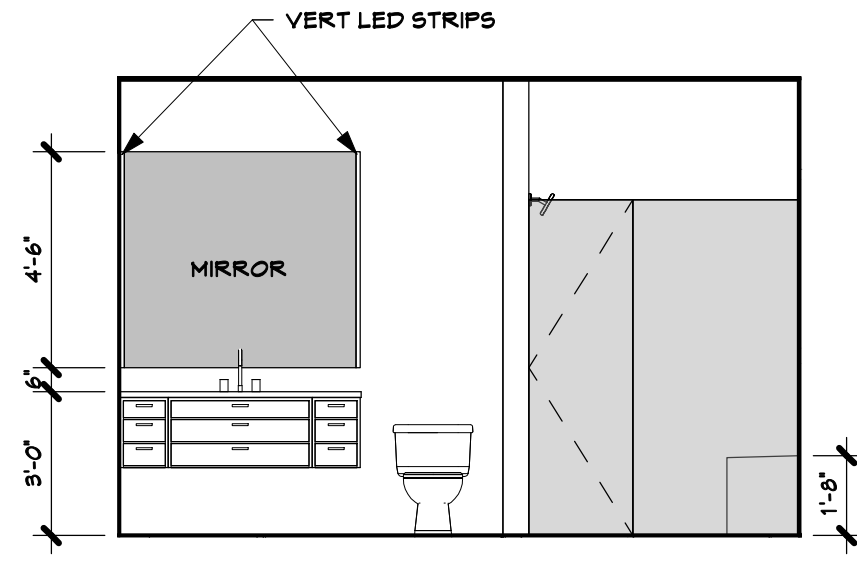
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CUSTOM RESIDENCE
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SAN MIGUEL COUNTY

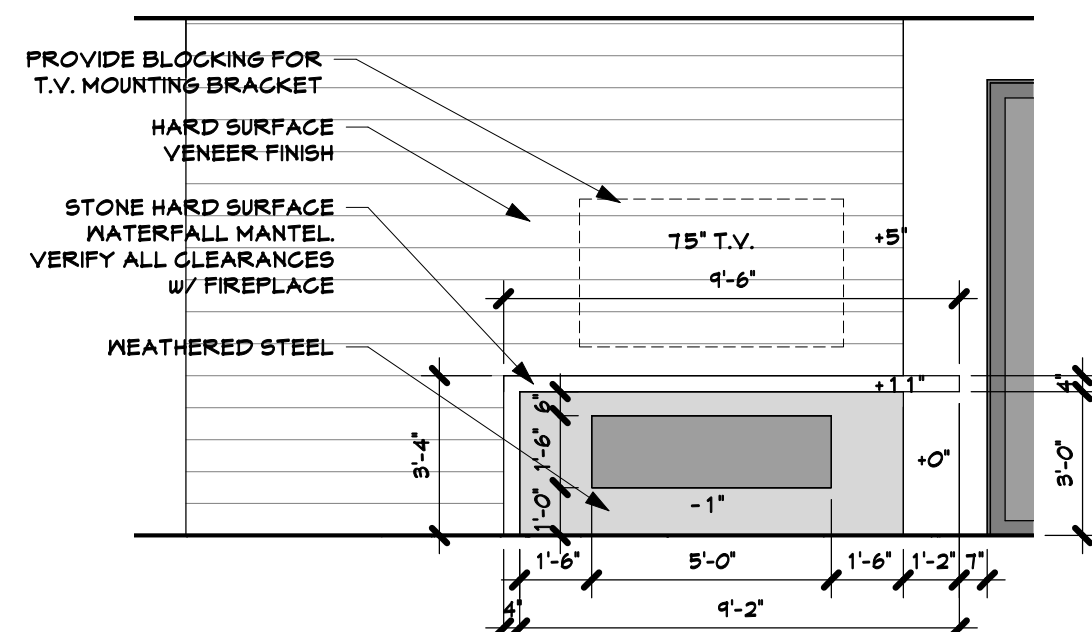
SUBMISSIONS

DRB Feedback	02/02/2021
Issued to DRB	02/17/2021
Reissued to DRB	04/01/2021
Issued to DRB	07/19/2021
Issued for FAR	08/18/2021

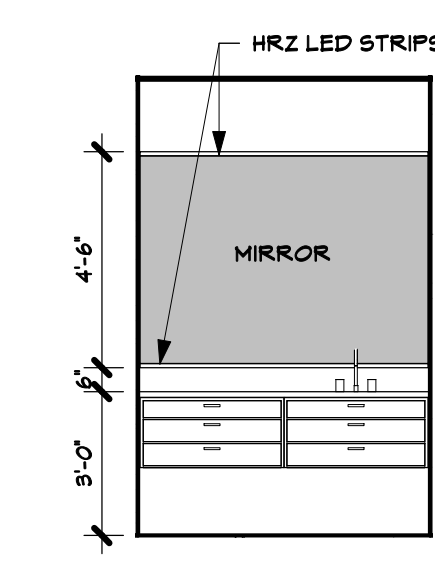
A8



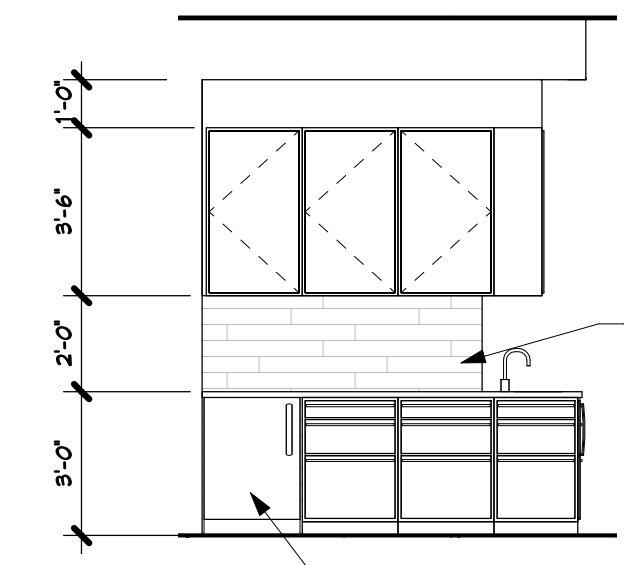
1 BATH 3
1/4" = 1'-0"



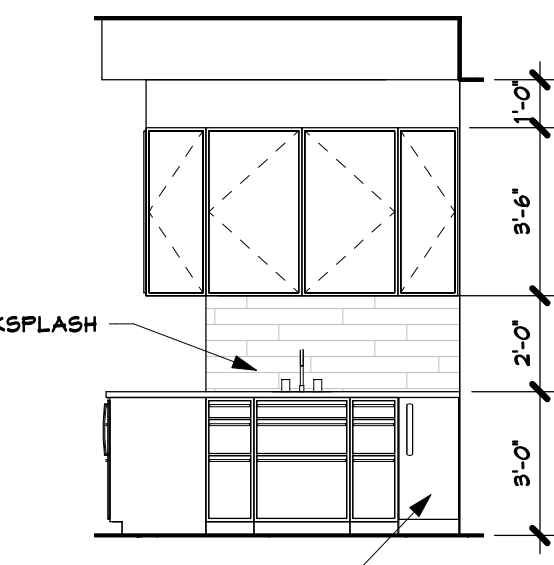
2 REC ROOM FIREPLACE
1/4" = 1'-0"



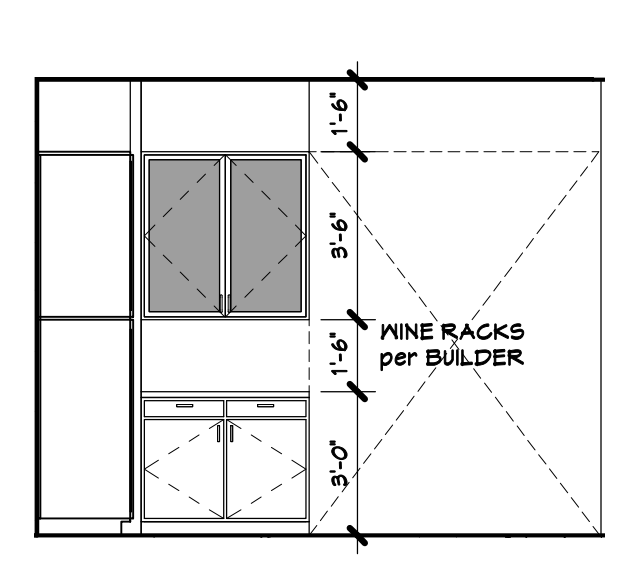
3 PWDR LF
1/4" = 1'-0"



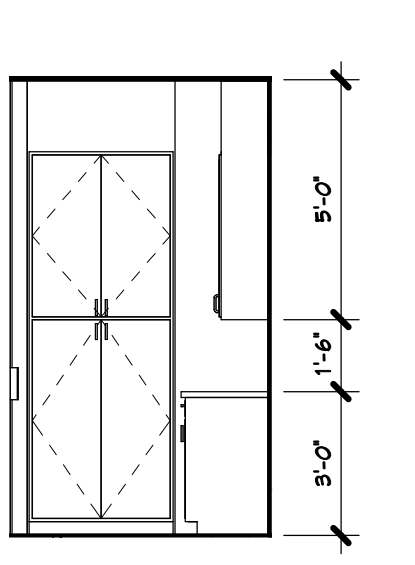
4 WET BAR LF
1/4" = 1'-0"



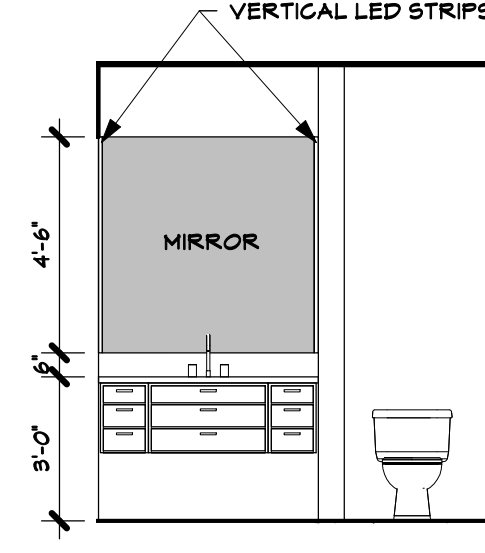
5 WET BAR LF
1/4" = 1'-0"



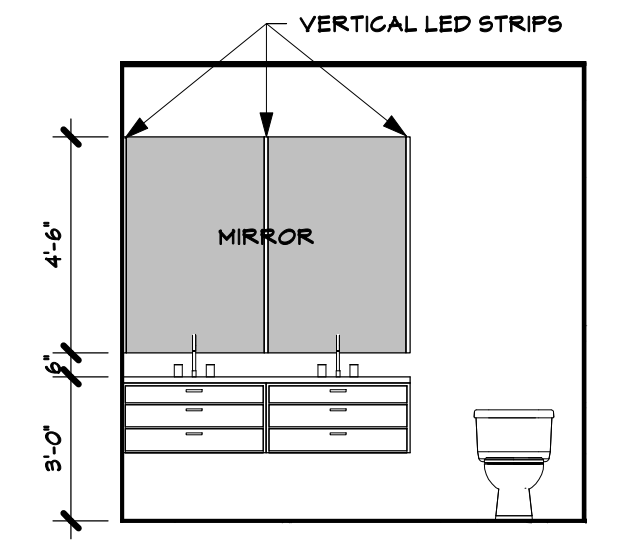
6 WINE ROOM
1/4" = 1'-0"



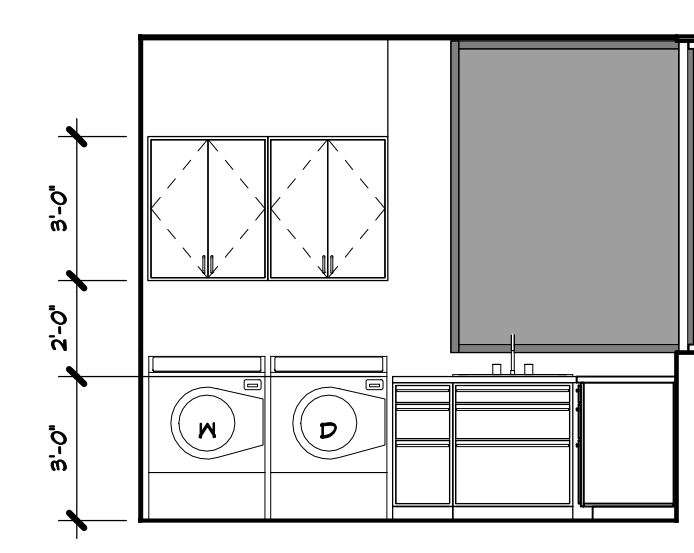
7 WINE ROOM
1/4" = 1'-0"



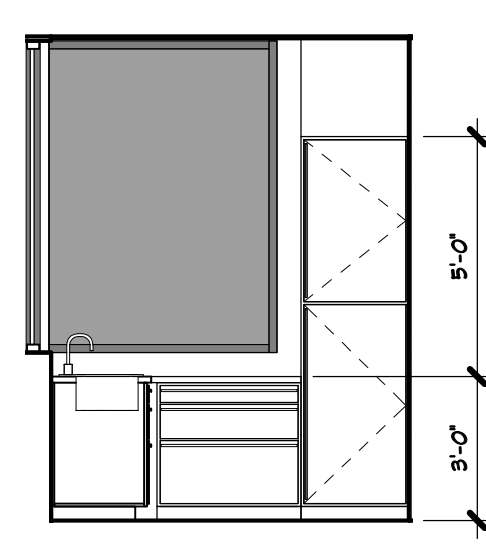
8 BATH 5
1/4" = 1'-0"



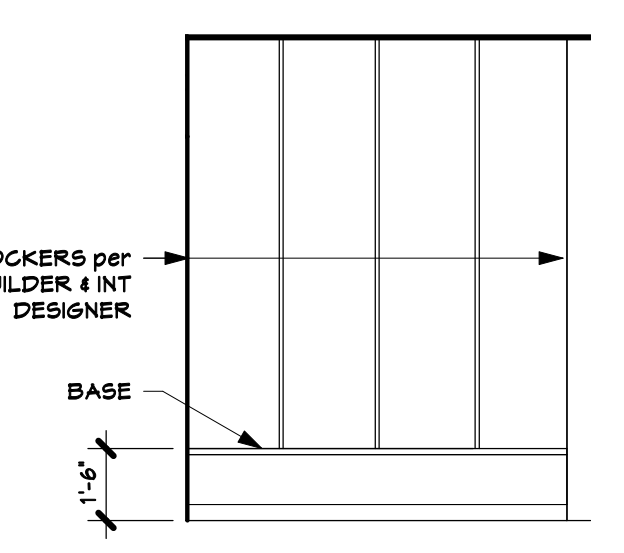
9 BATH 4
1/4" = 1'-0"



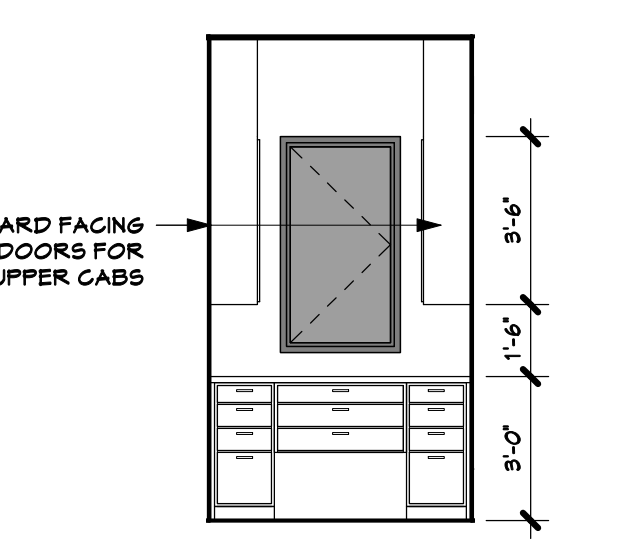
10 LAUNDRY
1/4" = 1'-0"



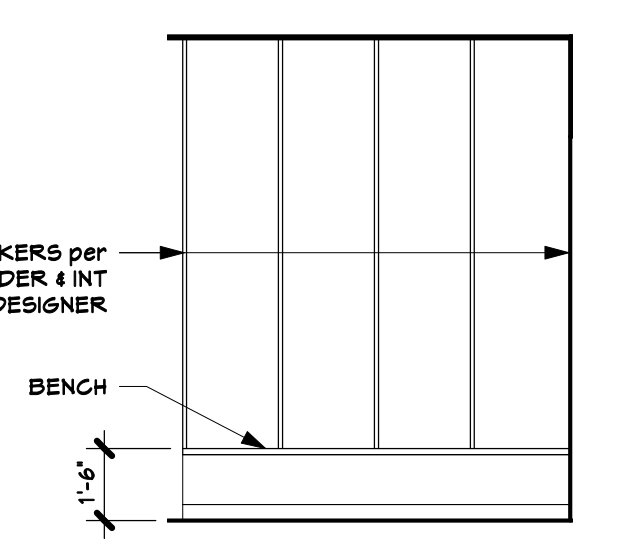
11 LAUNDRY
1/4" = 1'-0"



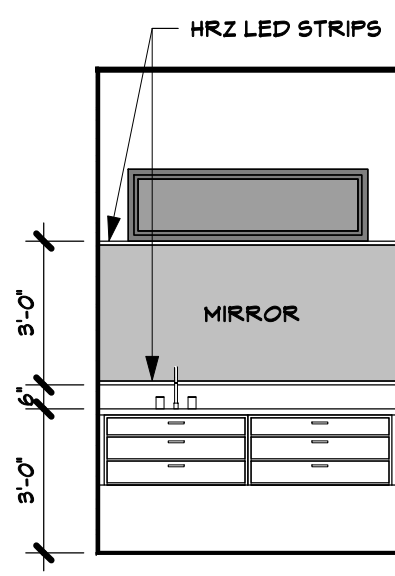
12 MUD ROOM
1/4" = 1'-0"



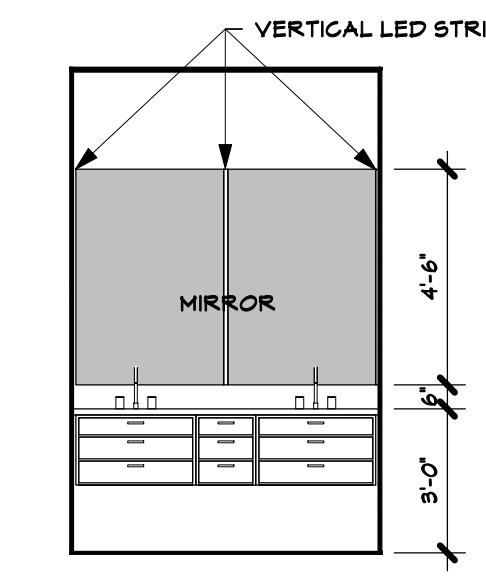
13 STOP & DROP
1/4" = 1'-0"



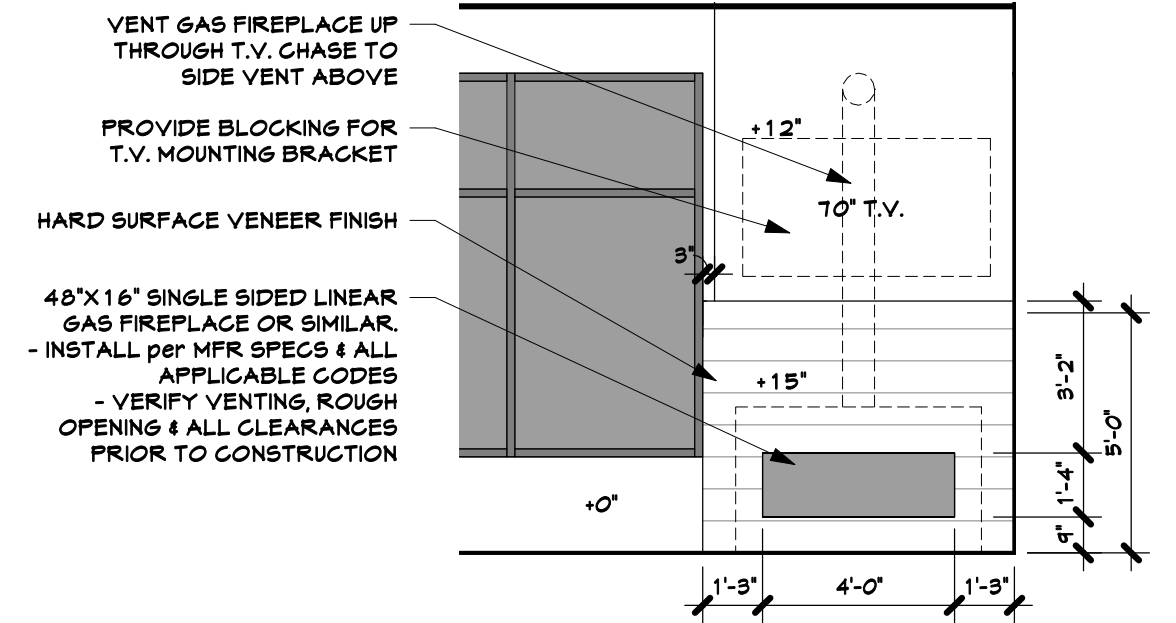
14 MUD ROOM
1/4" = 1'-0"



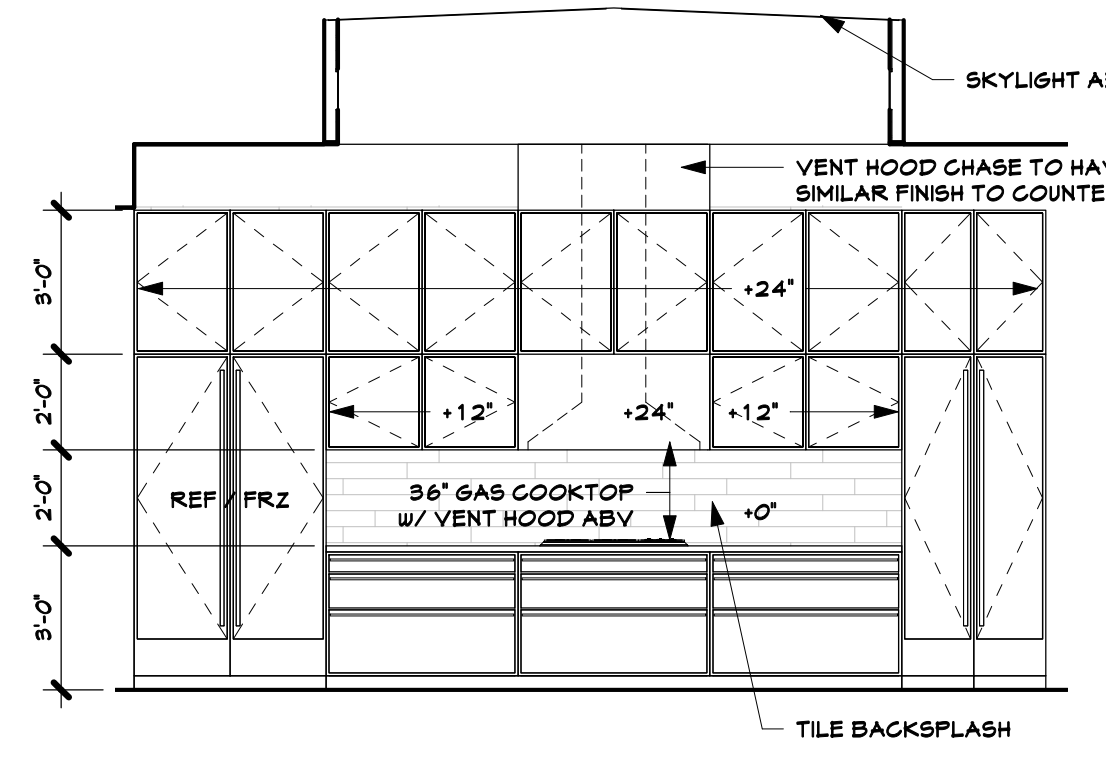
15 PWDR MF
1/4" = 1'-0"



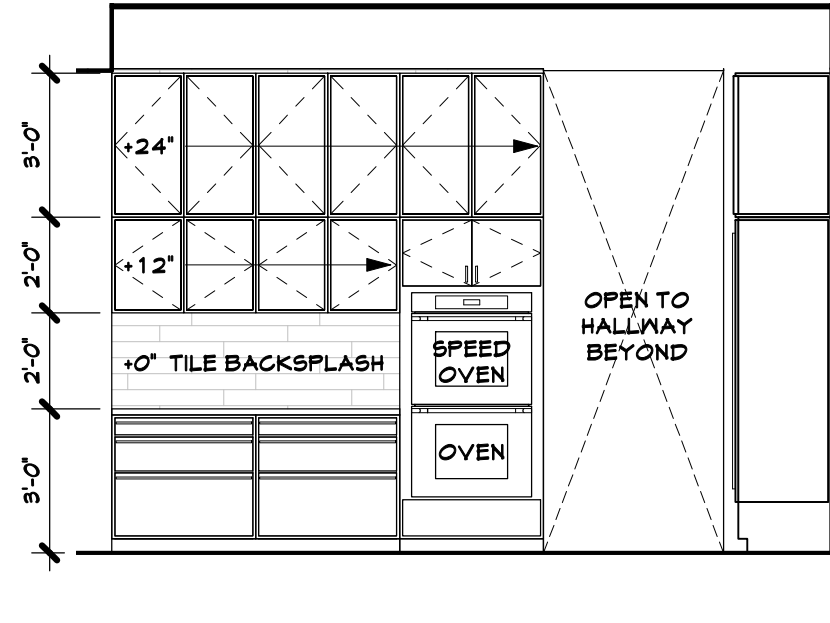
16 BATH 2
1/4" = 1'-0"



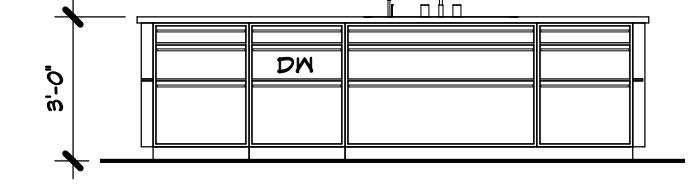
17 NOOK
1/4" = 1'-0"



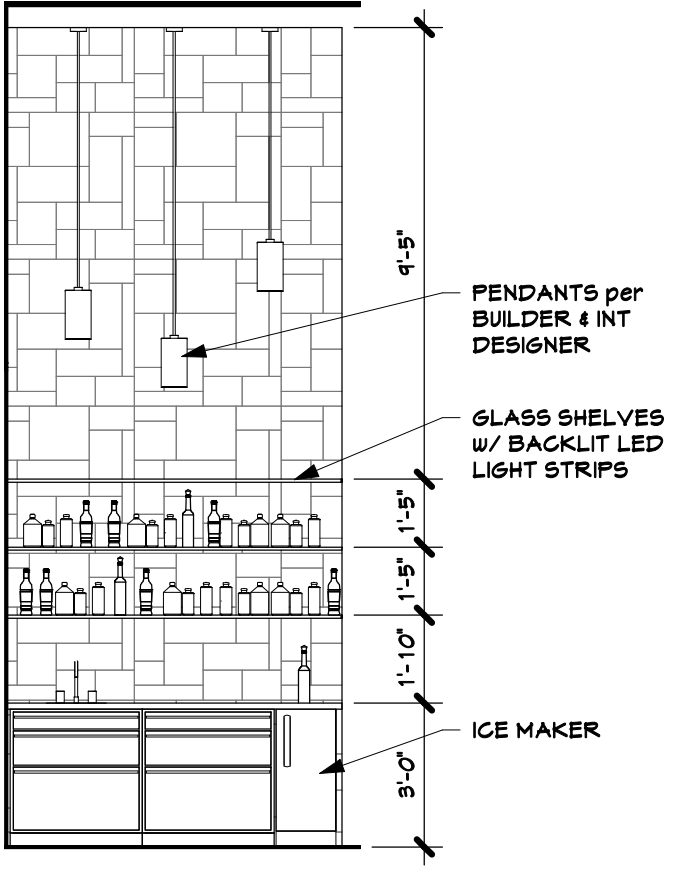
18 KITCHEN
1/4" = 1'-0"



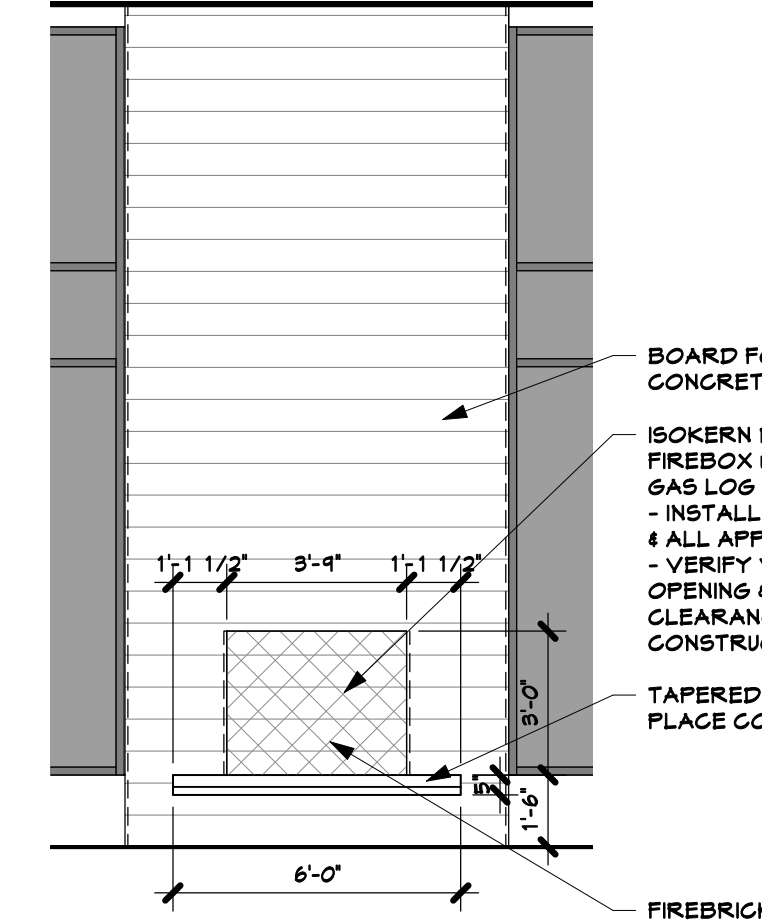
19 KITCHEN
1/4" = 1'-0"



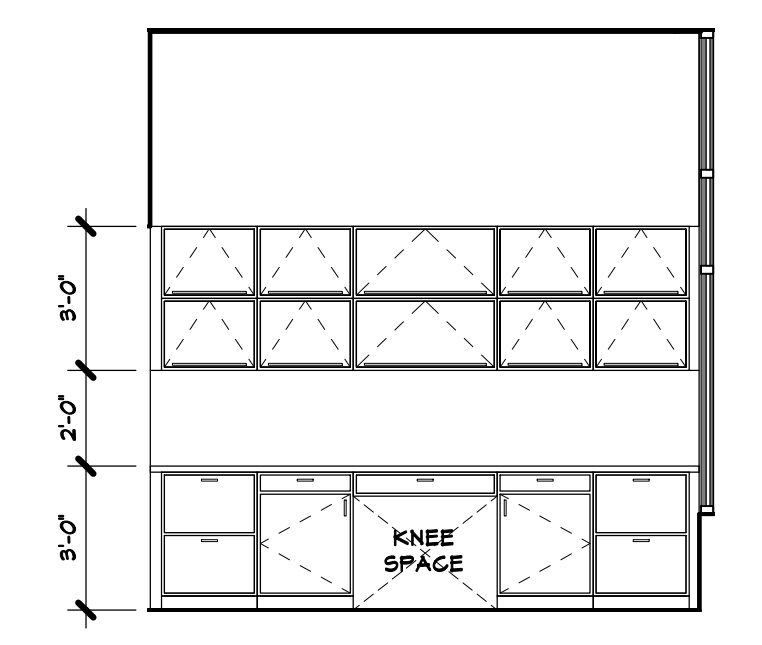
20 KITCHEN ISLAND
1/4" = 1'-0"



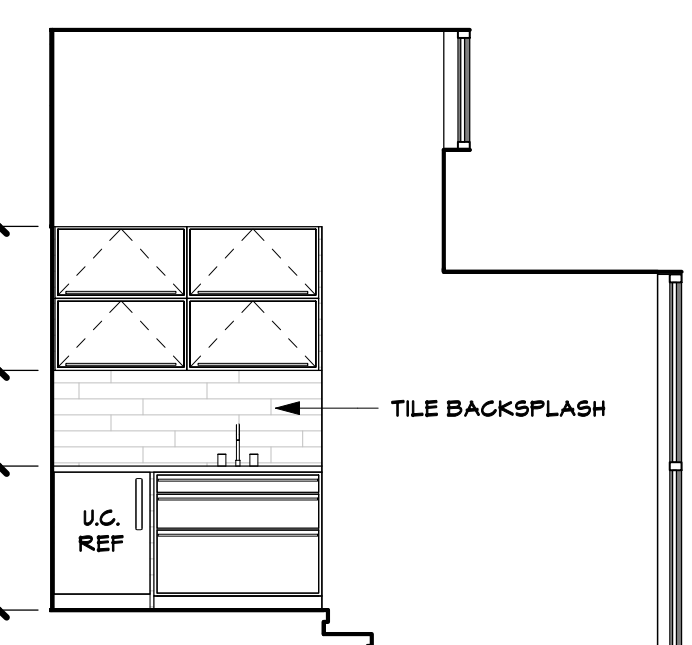
21 WET BAR MF
1/4" = 1'-0"



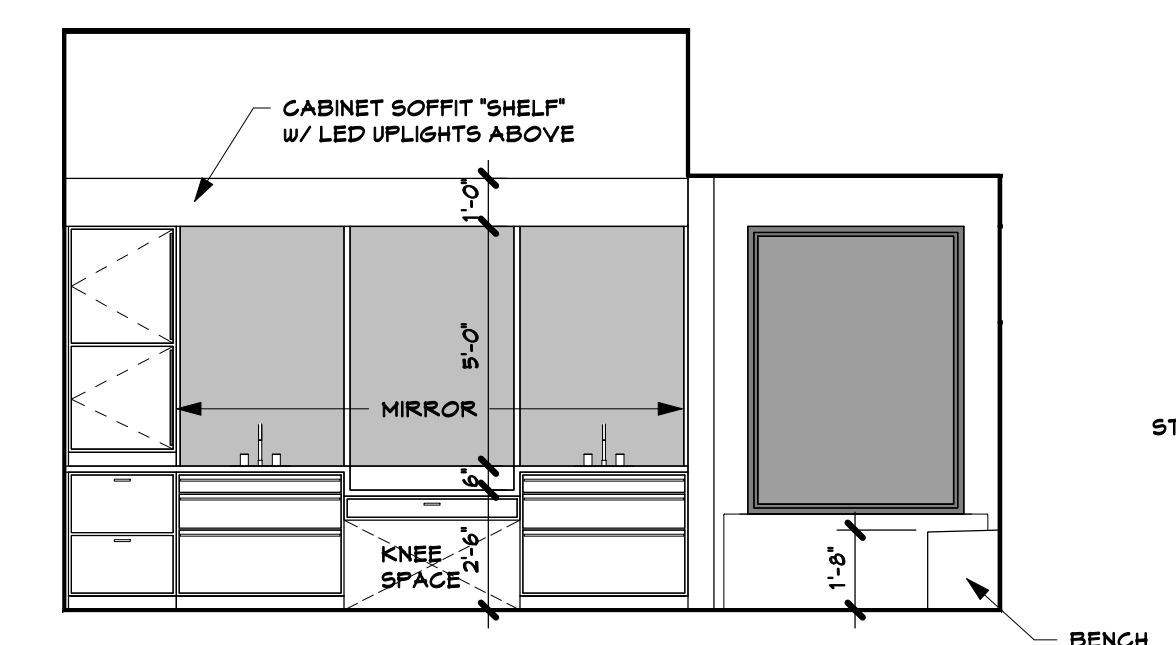
22 GREAT ROOM
1/4" = 1'-0"



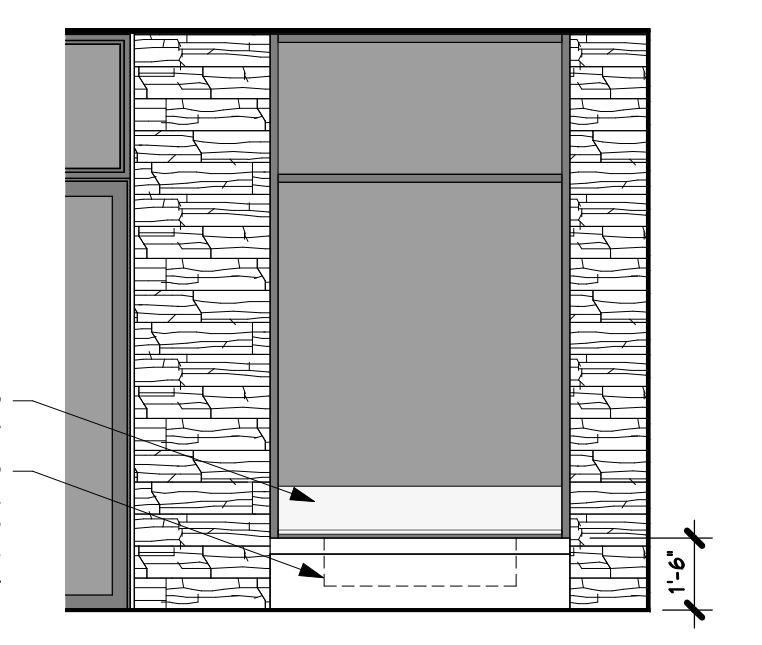
23 OFFICE
1/4" = 1'-0"



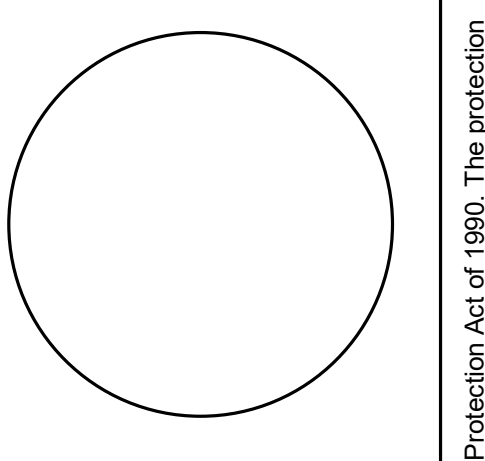
24 BREAKFAST BAR
1/4" = 1'-0"



25 MSTR BATH
1/4" = 1'-0"



26 MSTR FIREPLACE
1/4" = 1'-0"



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CUSTOM RESIDENCE
87 PENNINGTON PLACE
MOUNTAIN VILLAGE, CO 81435
SAN MIGUEL COUNTY

SUBMISSIONS
DRB Feedback 02/02/2021
Issued to DRB 02/17/2021
Resub to DRB 04/01/2021
Issued to DRB 07/19/2021
Issued for FAR 08/18/2021

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EXTERIOR FIXTURE A

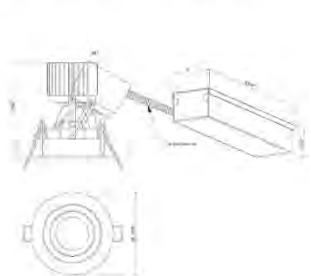


28720-30, AMIGO 3 1/4" ROUND TRIM GIMBAL, 15W LED

PRODUCT DETAILS table with columns for No., Product Color, Shade / Accent Colour, Diameter, Height, Weight.

LIGHT SOURCE DETAILS table with columns for Light Source Type, Input Voltage, Bulb Voltage, Socket Type, Total Lumens, Beam Angle, CRI, Dimmable.

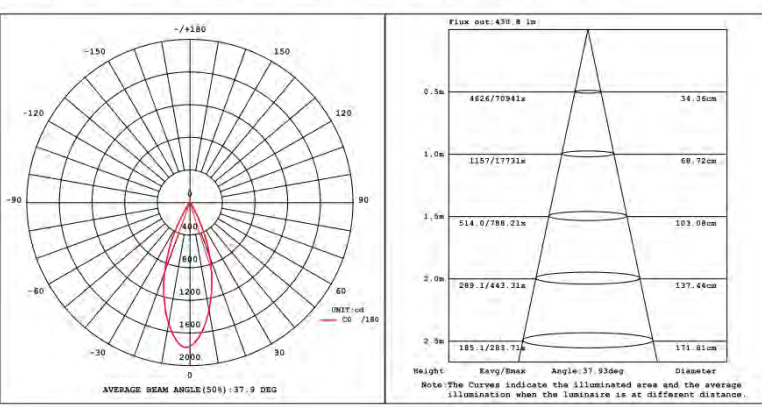
TECHNICAL DETAILS table with columns for Item No., Finish, Shade, Light Direction, Adjustable Lamp Head, Location, Approval, Title 24, Beam Angle, Cut Hole Diameter.



PHOTOMETRICS

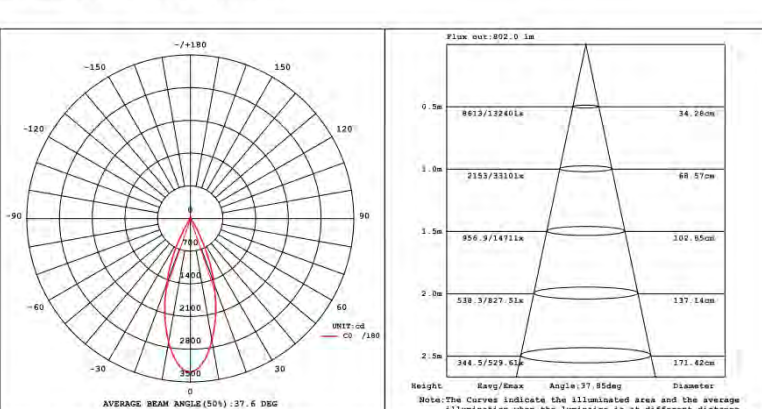
EXTERIOR FIXTURE A

28721 | 28722 | 28719 | 28720 | 28717 | 28718 | 28715 | 28716



EXTERIOR FIXTURE B

31765 | 31763 | 36024 | 36025



Eurofase logo

LED STRIP LIGHT • ADDRESS MONUMENT

Technical specifications for LED STRIP SERIES TBD.DS72(W) 6.6W INDOOR/OUTDOOR LED STRIP. Includes product features, accessories, and ordering guide.

EXTERIOR FIXTURE B

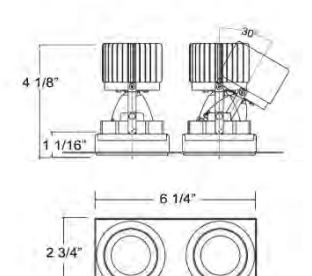


AMIGO, AMIGO 2-LIGHT GIMBAL TRIMLESS, 15W LED

PRODUCT DETAILS table with columns for No., Product Color, Shade / Accent Colour, Diameter, Height, Weight.

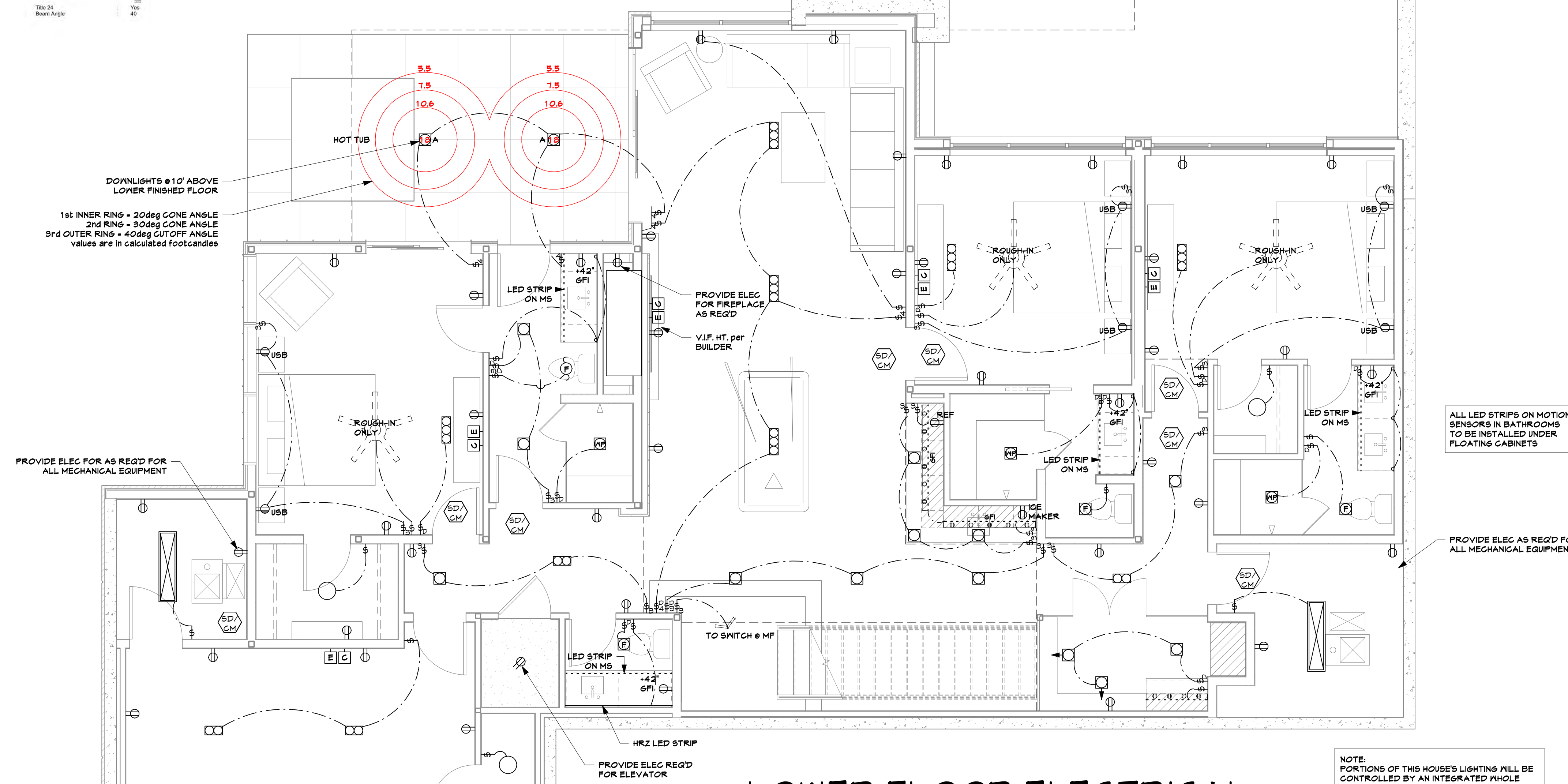
LIGHT SOURCE DETAILS table with columns for Light Source Type, Input Voltage, Bulb Voltage, Socket Type, Total Lumens, Beam Angle, CRI, Dimmable.

TECHNICAL DETAILS table with columns for Item No., Finish, Shade, Light Direction, Adjustable Lamp Head, Location, Approval, Title 24, Beam Angle, Cut Hole Diameter.



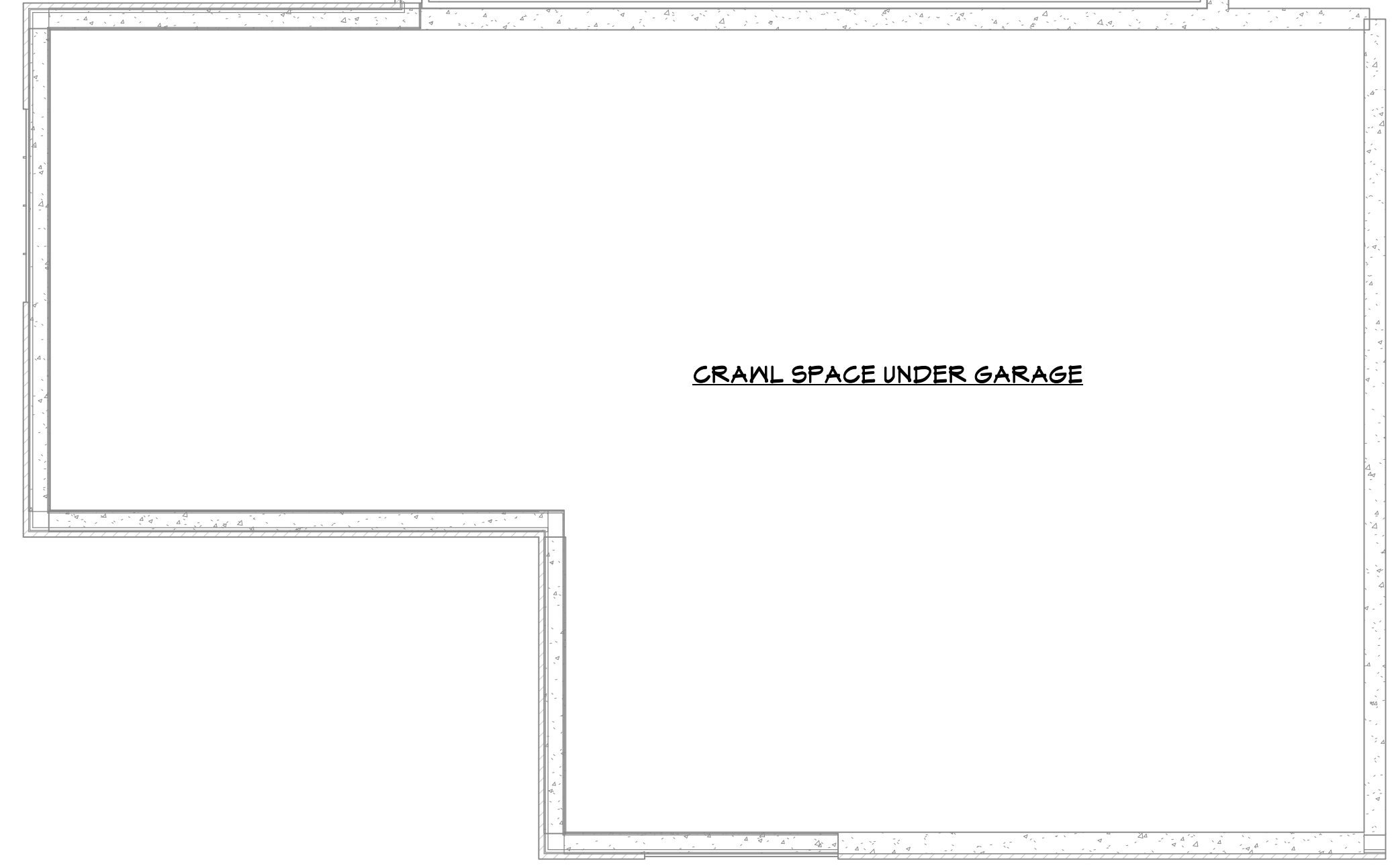
EXTERIOR LIGHTING NOTES

- List of 5 exterior lighting notes regarding installation, height, and glare requirements.



LOWER FLOOR ELECTRICAL

1/4" = 1'-0"

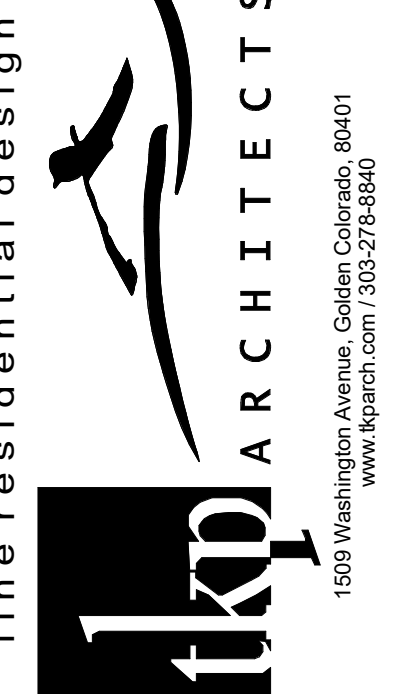
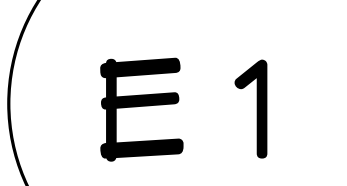


ELECTRICAL LEGEND section containing symbols for switches, outlets, miscellaneous items, lighting, and abbreviations.

GENERAL ELECTRICAL NOTES section containing numbered instructions for ground fault protection, weatherproofing, and lighting placement.

CUSTOM RESIDENCE 87 PENNINGTON PLACE MOUNTAIN VILLAGE, CO 81435 SAN MIGUEL COUNTY

SUBMISSIONS table with columns for DRB Feedback, Issued to DRB, Reissued to DRB, Issued to DRB, Issued for FAR.



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EXTERIOR FIXTURE A

EUROFASE INC.
 TEL 905.895.2055 toll free 1.800.660.5391
 FAX 905.895.2056 toll free 1.800.660.5390
 33 West Beaver Creek Road Richmond Hill, Ontario Canada L4B 1L8

28720-30, AMIGO 3 1/4" ROUND TRIM GIMBAL, 15W LED

PRODUCT DETAILS
 No. 28720-30-010
 Product Color WHITE
 Shade / Accent Colour WHITE
 Diameter 3.75"
 Height 1.58"
 Weight 0.15 lbs

LIGHT SOURCE DETAILS
 Light Source Type INTEGRATED LED
 Input Voltage 120V/277V
 Bulb Voltage 120V
 Socket Type E17
 Total Wattage 15W
 Total Lumens 1500lm
 Beam Angle 30°
 CRI 90
 Dimmable Yes

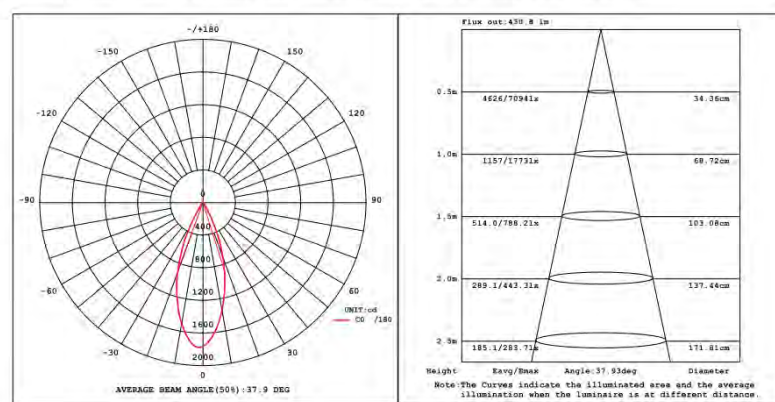
TECHNICAL DETAILS
 Light Direction Down
 Adjustable Lamp Head No
 Location Normal
 Title 24 Yes
 Beam Angle 30°
 Cut Hole Diameter 3.25"

OPTIONS AVAILABLE
 ITEM NO. FINISH SHADE
 28720-30-010 WHITE WHITE
 28720-30-021 BLACK BLACK

PHOTOMETRICS

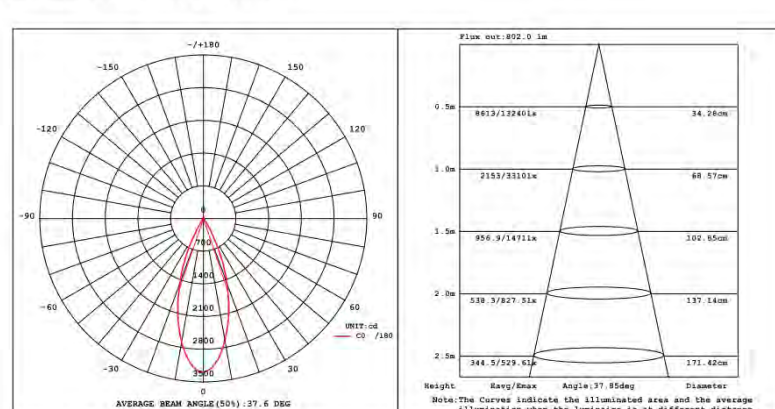
EXTERIOR FIXTURE A

28721 | 28722 | 28719 | 28720 | 28717 | 28718 | 28715 | 28716



EXTERIOR FIXTURE B

31765 | 31763 | 36024 | 36025



EXTERIOR LIGHTING NOTES

- EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS.
- ALL NEW EXTERIOR LIGHTING TO BE TIED INTO HOME LIGHTING CONTROL SYSTEM TO LIMIT MAXIMUM LEVELS, SET EXTERIOR LIGHTING SCENES AND AUTOWAKE OFF TIMES.
- ALL EXTERIOR LIGHT FIXTURES WILL BE FULL CUT-OFF DOWNLIGHTS THAT CREATE NO OFF-SITE GLARE.
- ALL EXTERIOR LIGHTS WILL BE LED LIGHTING WITH A MINIMUM COLOR TEMPERATURE OF 3000K AND A MAXIMUM COLOR TEMPERATURE OF 3000K.
- ALL WALL MOUNTED STEP LIGHTS TO BE MOUNTED NO HIGHER THAN 12-18" OFF THE GROUND SURFACE.

EXTERIOR FIXTURE B

EUROFASE INC.
 TEL 905.895.2055 toll free 1.800.660.5391
 FAX 905.895.2056 toll free 1.800.660.5390
 33 West Beaver Creek Road Richmond Hill, Ontario Canada L4B 1L8

AMIGO, AMIGO 2-LIGHT GIMBAL TRIMLESS, 15W LED

PRODUCT DETAILS
 No. 36025-30-01
 Product Color BLACK
 Shade / Accent Colour BLACK
 Length 2.75"
 Width 4.125"
 Height 4.88"
 Weight 0.15 lbs

LIGHT SOURCE DETAILS
 Light Source Type INTEGRATED LED
 Input Voltage 120V/277V
 Bulb Voltage 120V
 Socket Type E17
 Total Wattage 15W
 Total Lumens 1500lm
 Beam Angle 30°
 CRI 90
 Dimmable Yes

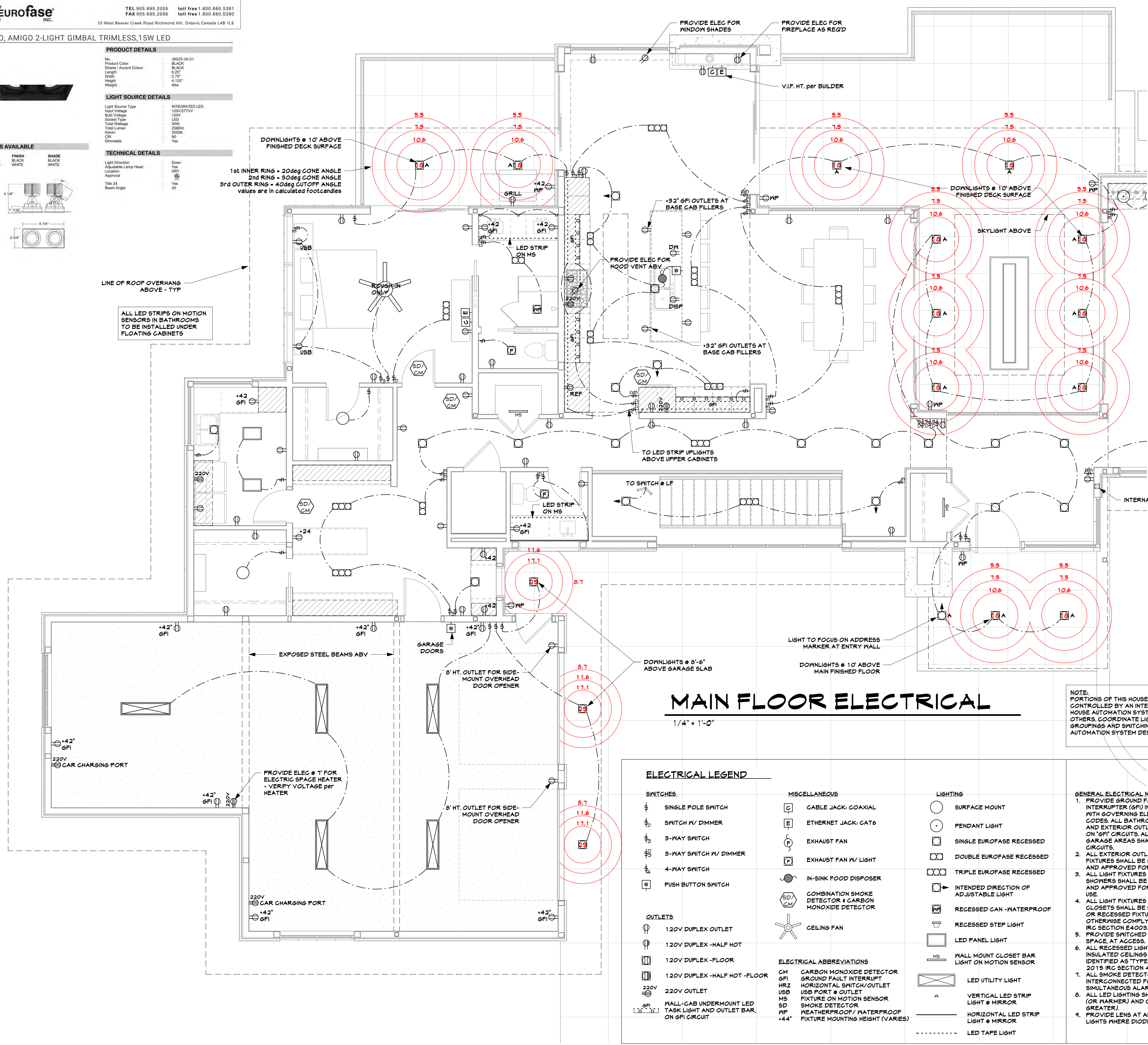
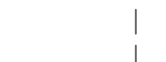
TECHNICAL DETAILS
 Light Direction Down
 Adjustable Lamp Head No
 Location Normal
 Title 24 Yes
 Beam Angle 30°

OPTIONS AVAILABLE
 ITEM NO. FINISH SHADE
 36025-30-01 BLACK BLACK
 36025-30-02 WHITE WHITE

PHOTOMETRICS

EXTERIOR FIXTURE B

31765 | 31763 | 36024 | 36025



MAIN FLOOR ELECTRICAL

1/4" = 1'-0"

ELECTRICAL LEGEND

<p>SWITCHES</p> <ul style="list-style-type: none"> Single Pole Switch Switch w/ Dimmer 3-Way Switch 3-Way Switch w/ Dimmer 4-Way Switch Push Button Switch <p>OUTLETS</p> <ul style="list-style-type: none"> 120V Duplex Outlet 120V Duplex -Half Hot 120V Duplex -Floor 120V Duplex -Half Hot -Floor 220V Outlet Wall-Cab Undermount LED Task Light and Outlet Bar, on GFI Circuit 	<p>MISCELLANEOUS</p> <ul style="list-style-type: none"> Cable Jack: Coaxial Ethernet Jack: Cat6 Exhaust Fan Exhaust Fan w/ Light In-Sink Food Disposer Combination Smoke Detector & Carbon Monoxide Detector Ceiling Fan <p>ELECTRICAL ABBREVIATIONS</p> <ul style="list-style-type: none"> CM Carbon Monoxide Detector GFI Ground Fault Interrupt HRZ Horizontal Switch/Outlet USB USB Port & Outlet MS Fixture on Motion Sensor SD Smoke Detector WP Weatherproof / Waterproof +44" Fixture Mounting Height (Varies) 	<p>LIGHTING</p> <ul style="list-style-type: none"> Surface Mount Pendant Light Single Eurofase Recessed Double Eurofase Recessed Triple Eurofase Recessed Intended Direction of Adjustable Light Recessed Can -Waterproof Recessed Step Light LED Panel Light Wall Mount Closet Bar Light on Motion Sensor LED Utility Light Vertical LED Strip Light & Mirror Horizontal LED Strip Light & Mirror LED Tape Light 	<p>GENERAL ELECTRICAL NOTES</p> <ol style="list-style-type: none"> PROVIDE GROUND FAULT INTERRUPTER (GFI) IN ACCORDANCE WITH GOVERNING ELECTRICAL CODES. ALL BATHROOM, KITCHEN, AND EXTERIOR OUTLETS SHALL BE ON GFI CIRCUITS. ALL LAUNDRY AND GARAGE AREAS SHALL BE ON GFI CIRCUITS. ALL EXTERIOR OUTLETS AND LIGHT FIXTURES SHALL BE WEATHERPROOF AND APPROVED FOR EXTERIOR USE. ALL LIGHT FIXTURES ABOVE TUBS OR SHOWERS SHALL BE WATERPROOF AND APPROVED FOR NET LOCATION USE. ALL LIGHT FIXTURES IN CLOTHES CLOSETS SHALL BE SURFACE-MOUNT OR RECESSED FIXTURES, OR SHALL OTHERWISE COMPLY WITH THE 2015 IRC SECTION E4009.1.2. PROVIDE SWITCHED LIGHT IN CRAWL SPACE, AT ACCESS. ALL RECESSED LIGHT FIXTURES IN INSULATED CEILING SHALL BE IDENTIFIED AS TYPE IC PER THE 2015 IRC SECTION 4004.8. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED FOR SIMULTANEOUS ALARM TRIGGERING. ALL LED LIGHTING SHALL BE 3000K (OR WARMER) AND CRI 90 (OR GREATER). PROVIDE LENS AT ALL LED STRIP LIGHTS WHERE DIODES ARE VISIBLE.
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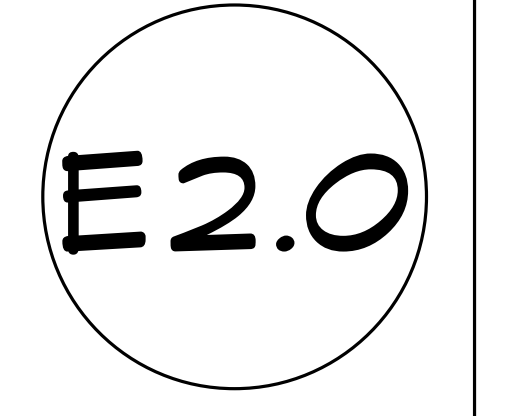
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CUSTOM RESIDENCE
 87 PENNINGTON PLACE
 MOUNTAIN VILLAGE, CO 81435
 SAN MIGUEL COUNTY

SUBMISSIONS

DRB Feedback	02/02/2021
Issued to DRB	02/17/2021
Resubmitted to DRB	04/01/2021
Issued to DRB	07/19/2021
Issued for FAR	08/18/2021



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EXTERIOR FIXTURE A

EUROFASE INC.
 TEL 905.895.2055 FAX 905.895.2056
 33 West Beaver Creek Road Richmond Hill, Ontario Canada L4B 1L8

28720-30, AMIGO 3 1/4" ROUND TRIM GIMBAL, 15W LED

PRODUCT DETAILS
 No. 28720-30-010
 Product Color WHITE
 Shade / Accent Colour WHITE
 Diameter 4.125"
 Height 1.58"
 Weight 1.58lb

LIGHT SOURCE DETAILS
 Light Source Type INTEGRATED LED
 Input Voltage 120V/277V
 Bulb Voltage 120V
 Socket Type E27
 Total Voltage 120V
 Total Lumens 1500lm
 Beam Angle 90°
 Dimmable Yes

TECHNICAL DETAILS
 Light Direction Down
 Adjustable Lamp Head Yes
 Location DRY
 Title 24 Yes
 Beam Angle 90°
 Cut Hole Diameter 3.25"

OPTIONS AVAILABLE
 ITEM NO. FINISH SHADE
 28720-30-010 WHITE WHITE
 28720-30-021 BLACK BLACK

EXTERIOR FIXTURE B

EUROFASE INC.
 TEL 905.895.2055 FAX 905.895.2056
 33 West Beaver Creek Road Richmond Hill, Ontario Canada L4B 1L8

AMIGO, AMIGO 2-LIGHT GIMBAL TRIMLESS, 15W LED

PRODUCT DETAILS
 No. 36225-30-01
 Product Color BLACK
 Shade / Accent Colour BLACK
 Length 2.75"
 Height 4.125"
 Weight 4.8lb

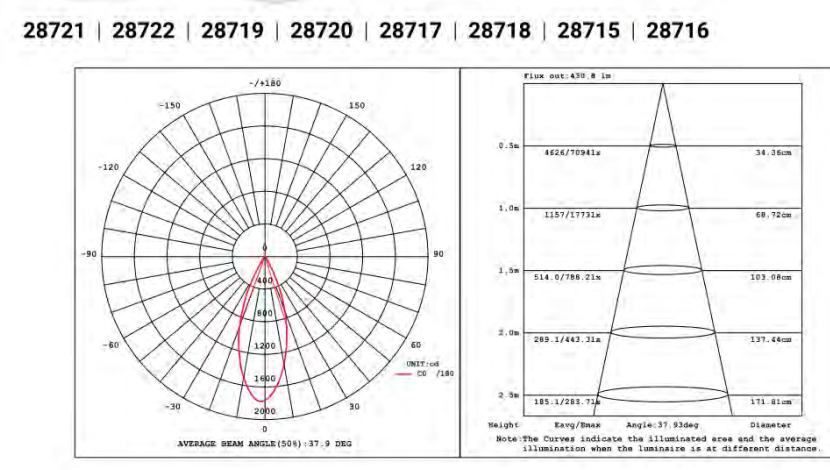
LIGHT SOURCE DETAILS
 Light Source Type INTEGRATED LED
 Input Voltage 120V/277V
 Bulb Voltage 120V
 Socket Type E27
 Total Voltage 120V
 Total Lumens 2000lm
 Beam Angle 90°
 Dimmable Yes

TECHNICAL DETAILS
 Light Direction Down
 Adjustable Lamp Head Yes
 Location DRY
 Title 24 Yes
 Beam Angle 90°

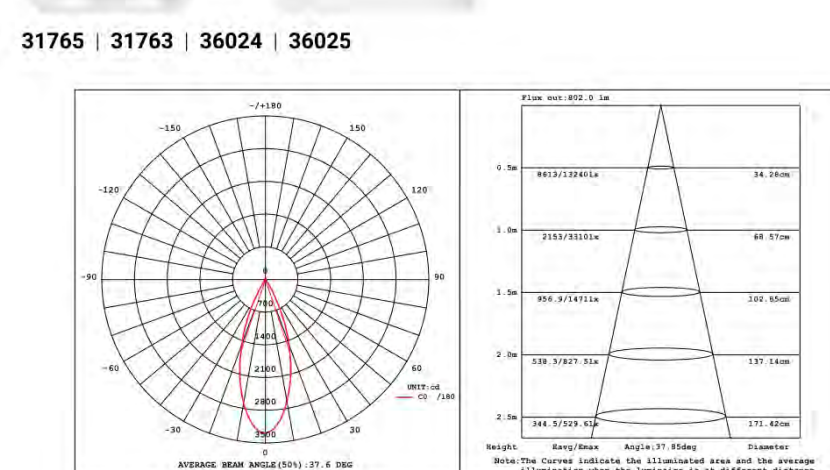
OPTIONS AVAILABLE
 ITEM NO. FINISH SHADE
 36225-30-01 BLACK BLACK
 36225-30-02 WHITE WHITE

PHOTOMETRICS

EXTERIOR FIXTURE A



EXTERIOR FIXTURE B



EXTERIOR FIXTURE C

Specification Sheet
HELL X SCREEN LED WW
 6 200 04 32

Color temperature: 2700K
 Beam angle: 15°
 Mounting: Surface mount
 Dimensions: 6.2" x 6.2" x 1.5"

LED 1.1W / 200lm / 1 x LED 1.1W / CRI 90 / 3000K / 120V
 EXCLUDED POWER SUPPLY / DIMMER

LED Technique: Light source: 120 VOLT 1 WATT 150 MW
 Luminaire: 6.2" x 6.2" x 1.5" (mm)

Options: CONCRETE BOX 157

Requirements: LED POWER SUPPLY 350mA-DC DIM (Remote)
 For more information please visit the website: www.eurofase.com

EXTERIOR LIGHTING NOTES

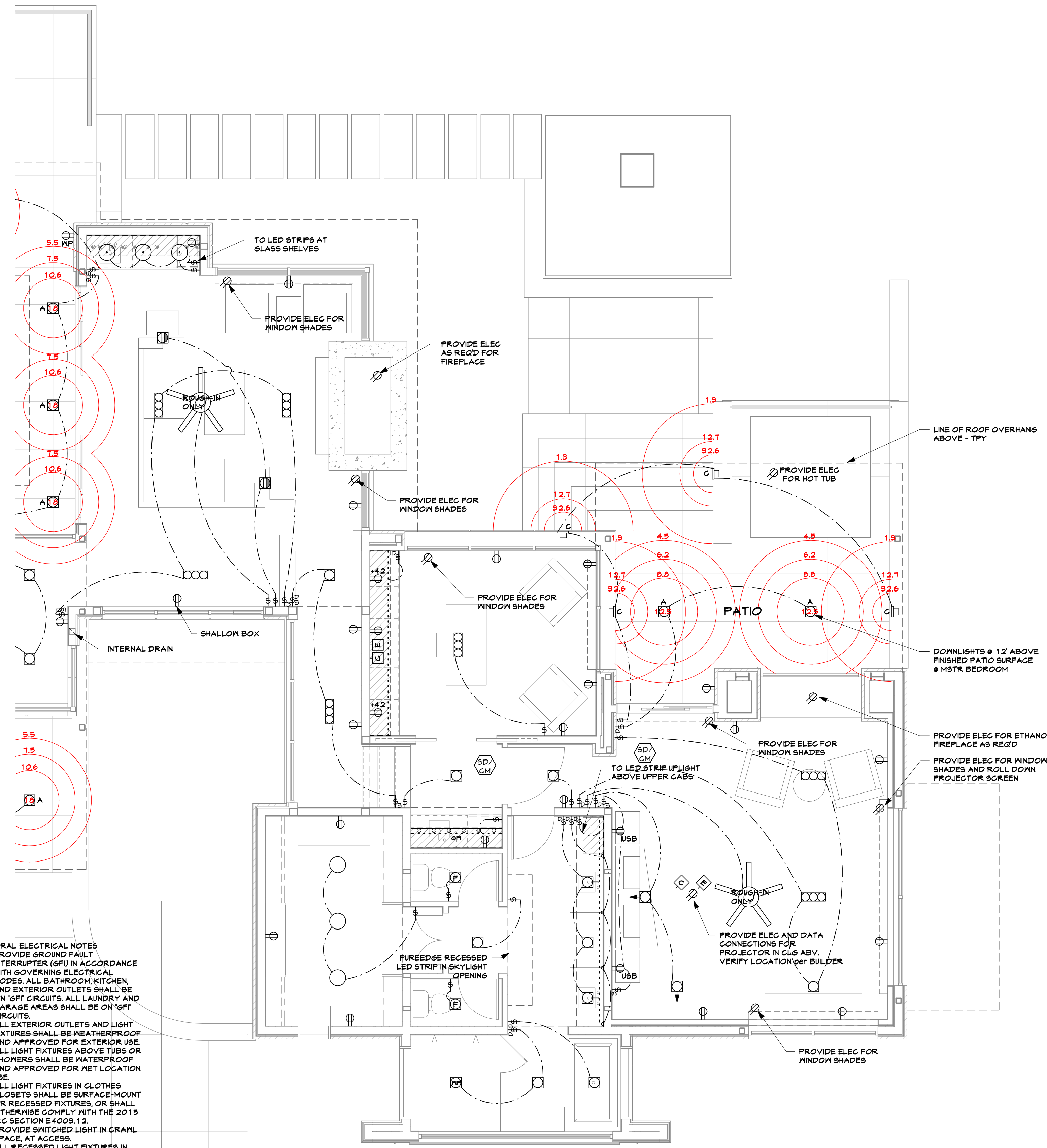
- EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS.
- ALL NEW EXTERIOR LIGHTING TO BE TIED INTO HOME LIGHTING CONTROL SYSTEM TO LIMIT MAXIMUM LEVELS, SET EXTERIOR LIGHTING SCENES AND AUTOMATE OFF TIMES.
- ALL EXTERIOR LIGHT FIXTURES WILL BE FULL CUT-OFF DOWNLIGHTS THAT CREATE NO OFF-SITE GLARE.
- ALL EXTERIOR LIGHTS WILL BE LED LIGHTING WITH A MINIMUM COLOR TEMPERATURE OF 3000K AND A MAXIMUM COLOR TEMPERATURE OF 3000K.
- ALL WALL MOUNTED STEP LIGHTS TO BE MOUNTED NO HIGHER THAN 12-18" OFF THE GROUND SURFACE.

NOTE: PORTIONS OF THIS HOUSE'S LIGHTING WILL BE CONTROLLED BY AN INTEGRATED WHOLE HOUSE AUTOMATION SYSTEM, DESIGNED BY OTHERS. COORDINATE LIGHTING CIRCUIT GROUPINGS AND SWITCHING LOCATIONS PER AUTOMATION SYSTEM DESIGN.

ELECTRICAL LEGEND

SWITCHES	MISCELLANEOUS	LIGHTING
⊕ SINGLE POLE SWITCH	ⓐ CABLE JACK: COAXIAL	○ SURFACE MOUNT
⊕/⊖ SWITCH W/ DIMMER	ⓑ ETHERNET JACK: CAT6	○ PENDANT LIGHT
⊕/⊖ 3-WAY SWITCH	ⓐ EXHAUST FAN	○ SINGLE EUROFASE RECESSED
⊕/⊖ 3-WAY SWITCH W/ DIMMER	ⓑ EXHAUST FAN W/ LIGHT	○ DOUBLE EUROFASE RECESSED
⊕/⊖ 4-WAY SWITCH	ⓐ IN-SINK FOOD DISPOSER	○ TRIPLE EUROFASE RECESSED
⊕/⊖ PUSH BUTTON SWITCH	ⓑ COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR	○ INTENDED DIRECTION OF ADJUSTABLE LIGHT
	ⓐ CEILING FAN	○ RECESSED CAN - WATERPROOF
		○ RECESSED STEP LIGHT
OUTLETS	ELECTRICAL ABBREVIATIONS	○ LED PANEL LIGHT
⊕ 120V DUPLEX OUTLET	GM CARBON MONOXIDE DETECTOR	○ MALL MOUNT CLOSET BAR LIGHT ON MOTION SENSOR
⊕ 120V DUPLEX - HALF HOT	GFI GROUND FAULT INTERRUPT	
⊕ 120V DUPLEX - FLOOR	HRZ HORIZONTAL SWITCH/OUTLET	○ LED UTILITY LIGHT
⊕ 120V DUPLEX - HALF HOT - FLOOR	USB USB PORT & OUTLET	△ VERTICAL LED STRIP LIGHT & MIRROR
⊕ 220V OUTLET	MS FIXTURE ON MOTION SENSOR	○ HORIZONTAL LED STRIP LIGHT & MIRROR
	SD SMOKE DETECTOR	○ LED TAPE LIGHT
	MP WEATHERPROOF / WATERPROOF FIXTURE MOUNTING HEIGHT (VARIES)	
	+44"	

- GENERAL ELECTRICAL NOTES**
- PROVIDE GROUND FAULT INTERRUPTER (GFI) IN ACCORDANCE WITH GOVERNING ELECTRICAL CODES. ALL BATHROOM, KITCHEN AND EXTERIOR OUTLETS SHALL BE ON "GFI" CIRCUITS. ALL LAUNDRY AND GARAGE AREAS SHALL BE ON "GFI" CIRCUITS.
 - ALL EXTERIOR OUTLETS AND LIGHT FIXTURES SHALL BE WEATHERPROOF AND APPROVED FOR EXTERIOR USE.
 - ALL LIGHT FIXTURES ABOVE TUBS OR SHOWERS SHALL BE WATERPROOF AND APPROVED FOR NET LOCATION USE.
 - ALL LIGHT FIXTURES IN CLOTHES CLOSETS SHALL BE SURFACE-MOUNT OR RECESSED FIXTURES, OR SHALL OTHERWISE COMPLY WITH THE 2015 IRC SECTION E4003.12.
 - PROVIDE SWITCHED LIGHT IN CRAWL SPACE AT ACCESS.
 - ALL RECESSED LIGHT FIXTURES IN INSULATED CEILING SHALL BE IDENTIFIED AS "TYPE C" PER THE 2015 IRC SECTION 4004.8.
 - ALL SMOKE DETECTORS SHALL BE INTERCONNECTED FOR SIMULTANEOUS ALARM TRIGGERING.
 - ALL LED LIGHTING SHALL BE 3000K (OR WARMER) AND CRI 90 (OR GREATER).
 - PROVIDE LENS AT ALL LED STRIP LIGHTS WHERE DIODES ARE VISIBLE.



MAIN FLOOR ELECTRICAL

1/4" = 1'-0"

fine residential design

tkp ARCHITECTS

1503 Washington Avenue, Golden, Colorado, 80401
 www.tkparchitect.com/703.279.6690

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 MOUNTAIN VILLAGE, CO 81435
 SAN MIGUEL COUNTY

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E2.1

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GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

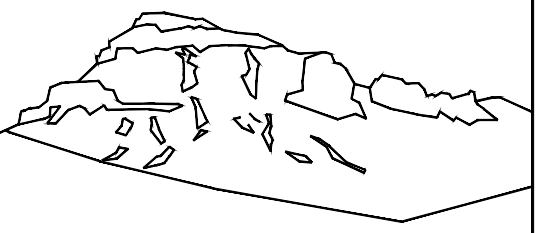
22. ALL DISTURBED GROUND SHALL BE RE-SEEDING WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB 2021-01-29
DRB 2021-06-16

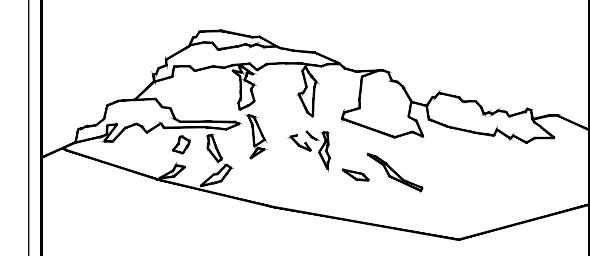
Lot 729R-7
Pennington Place
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Civil
Engineering
Notes

C1



Uncompahgre Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
DRB 2021-01-29
DRB 2021-08-16

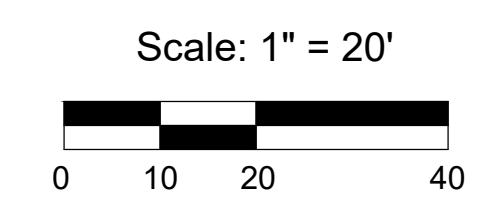
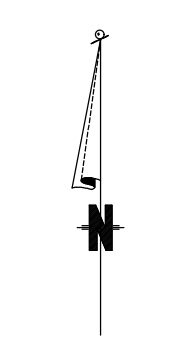
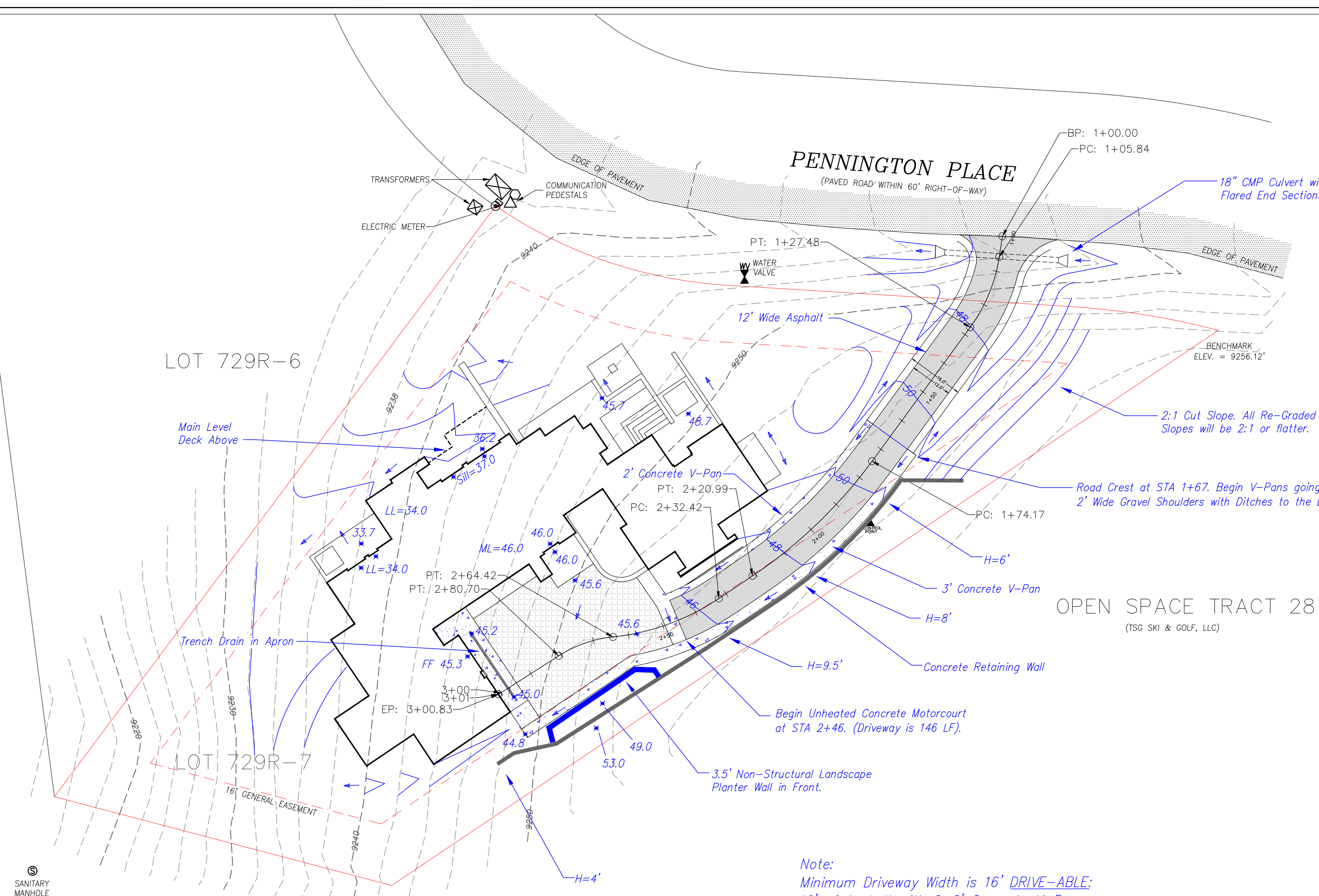
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Pennington Place
Mtn. Village, CO



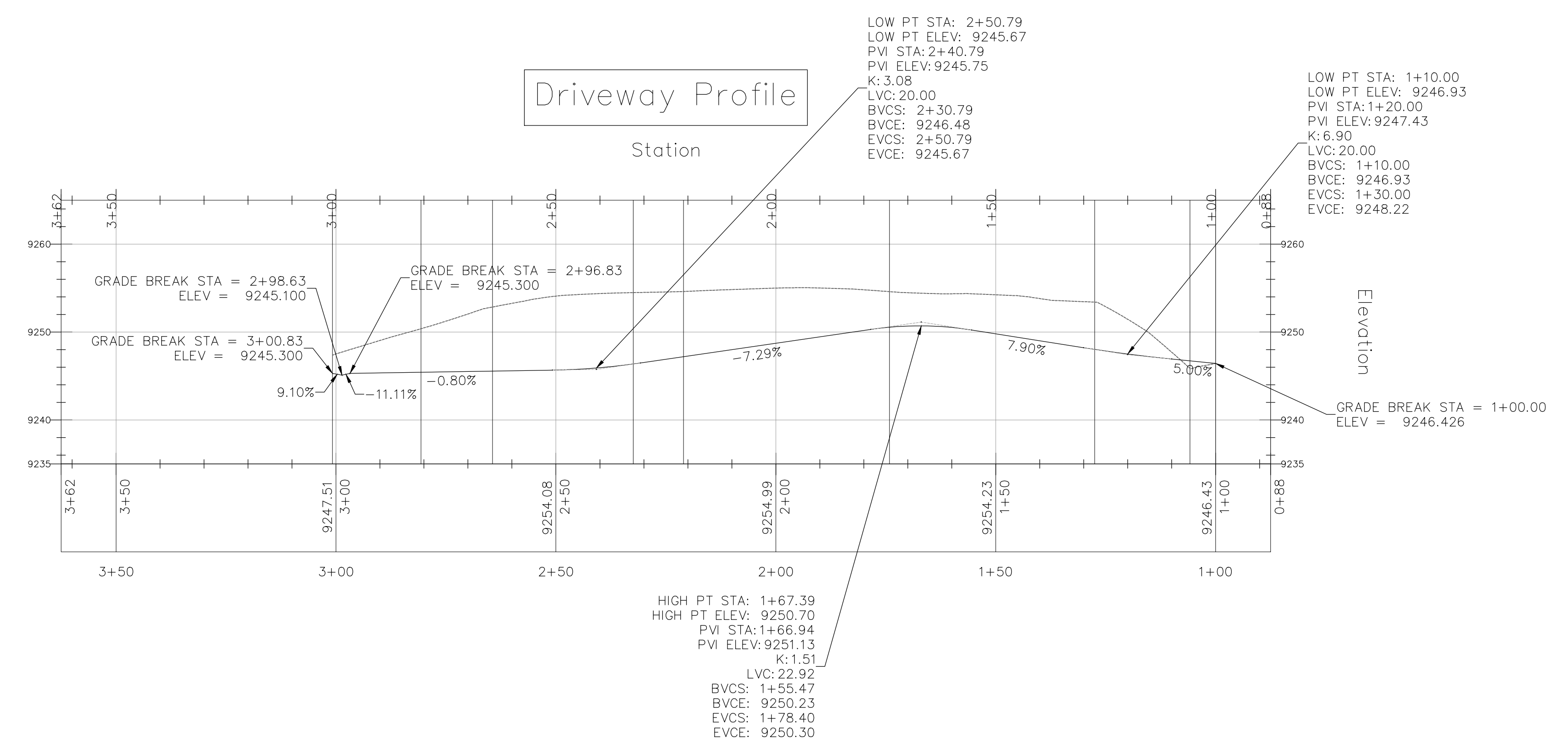
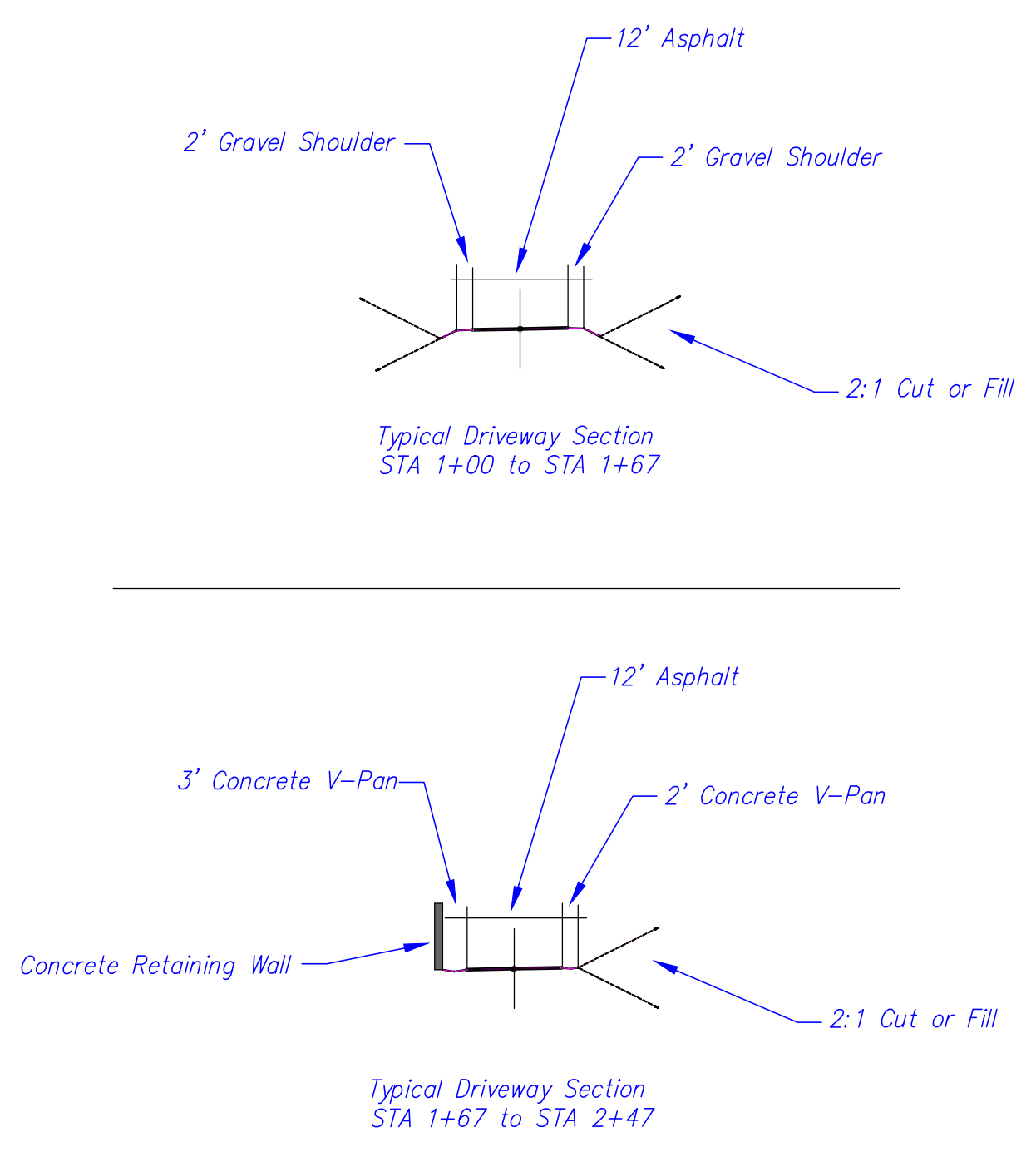
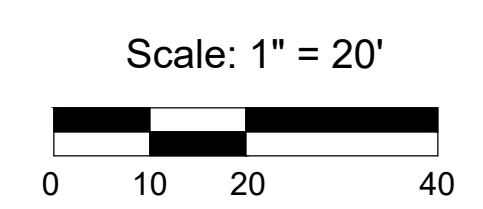
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**Driveway
Plan
and
Profile**

C2.2



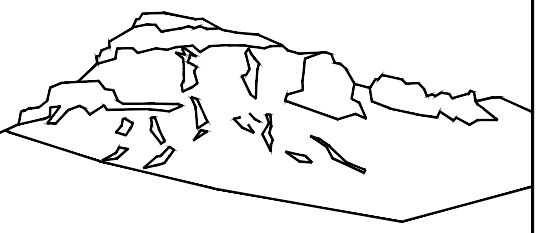
Note:
Minimum Driveway Width is 16' DRIVE-ABLE:
12' of Asphalt with 2-2' Concrete V-Pan
Shoulders.



HIGH PT STA: 1+67.39
HIGH PT ELEV: 9250.70
PVI STA: 1+66.94
PVI ELEV: 9251.13
K: 1.51
LVC: 22.92
BVCS: 1+55.47
BVCE: 9250.23
EVCS: 1+78.40
EVCE: 9250.30

LOW PT STA: 2+50.79
LOW PT ELEV: 9245.67
PVI STA: 2+40.79
PVI ELEV: 9245.75
K: 3.08
LVC: 20.00
BVCS: 2+30.79
BVCE: 9246.48
EVCS: 2+50.79
EVCE: 9245.67

LOW PT STA: 1+10.00
LOW PT ELEV: 9246.93
PVI STA: 1+20.00
PVI ELEV: 9247.43
K: 6.90
LVC: 20.00
BVCS: 1+10.00
BVCE: 9246.93
EVCS: 1+30.00
EVCE: 9248.22



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
DRB 2021-01-29
DRB 2021-06-16

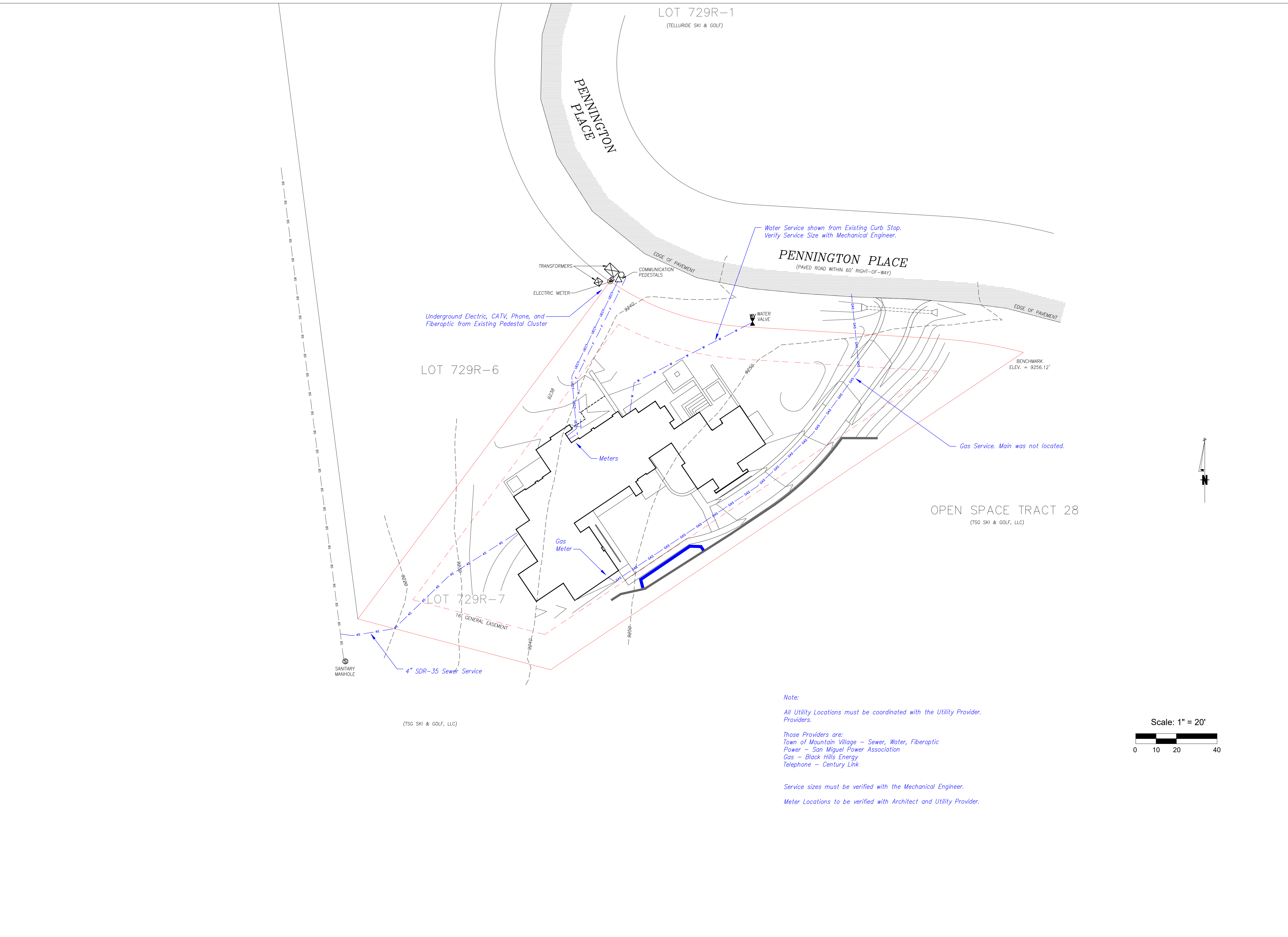
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Utilities

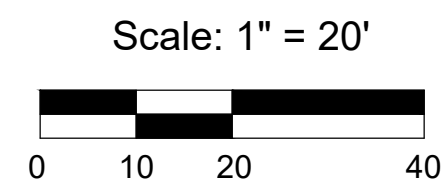
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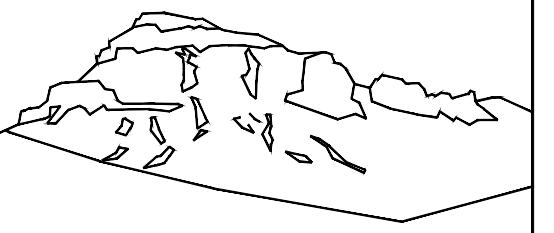


Note:
All Utility Locations must be coordinated with the Utility Provider.
Providers.

Those Providers are:
Town of Mountain Village – Sewer, Water, Fiber optic
Power – San Miguel Power Association
Gas – Black Hills Energy
Telephone – Century Link

Service sizes must be verified with the Mechanical Engineer.
Meter Locations to be verified with Architect and Utility Provider.





Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB	2021-01-29
DRB	2021-06-16
Revised Parking Spaces	2021-08-18

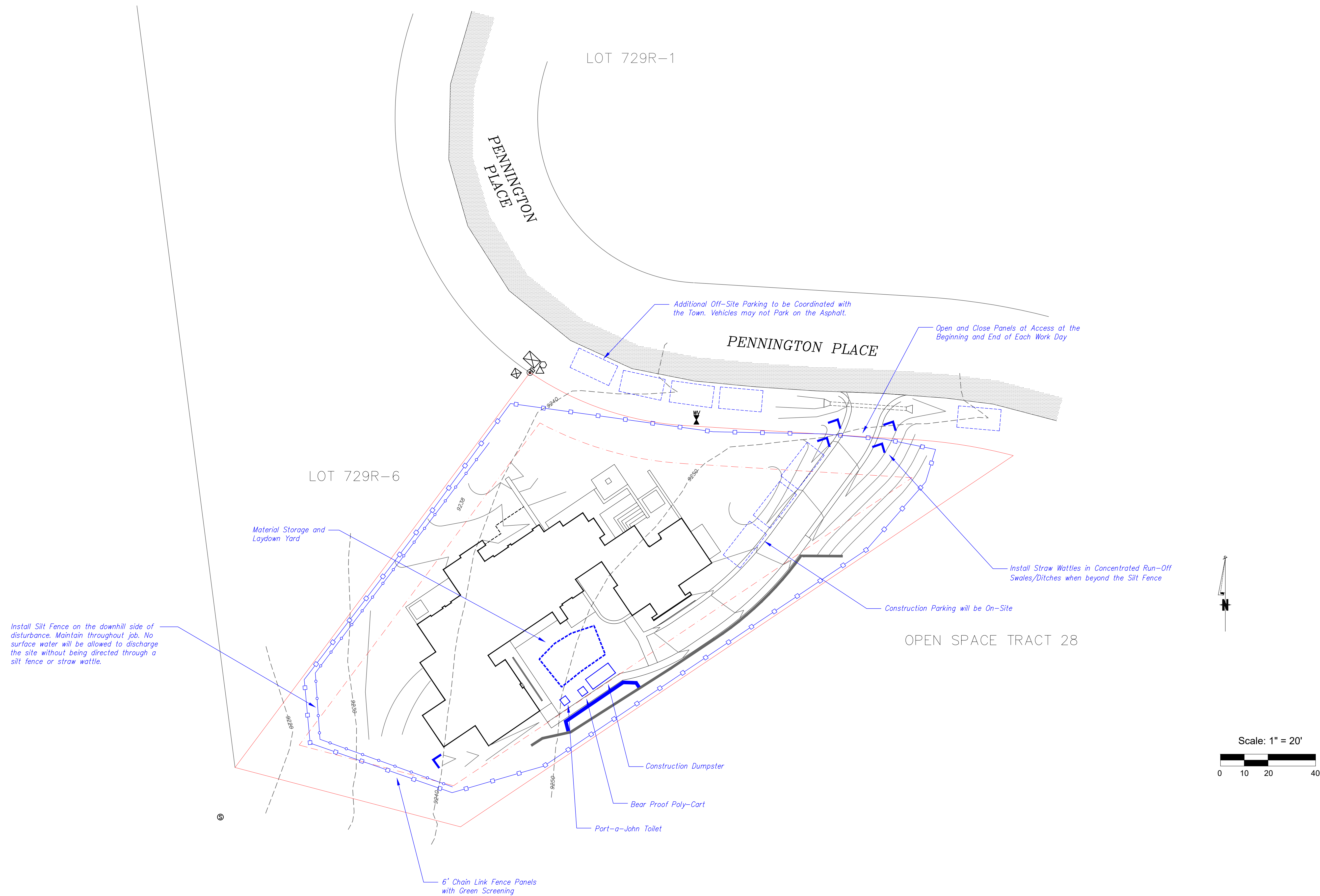
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**Construction
Mitigation
Plan**

C4



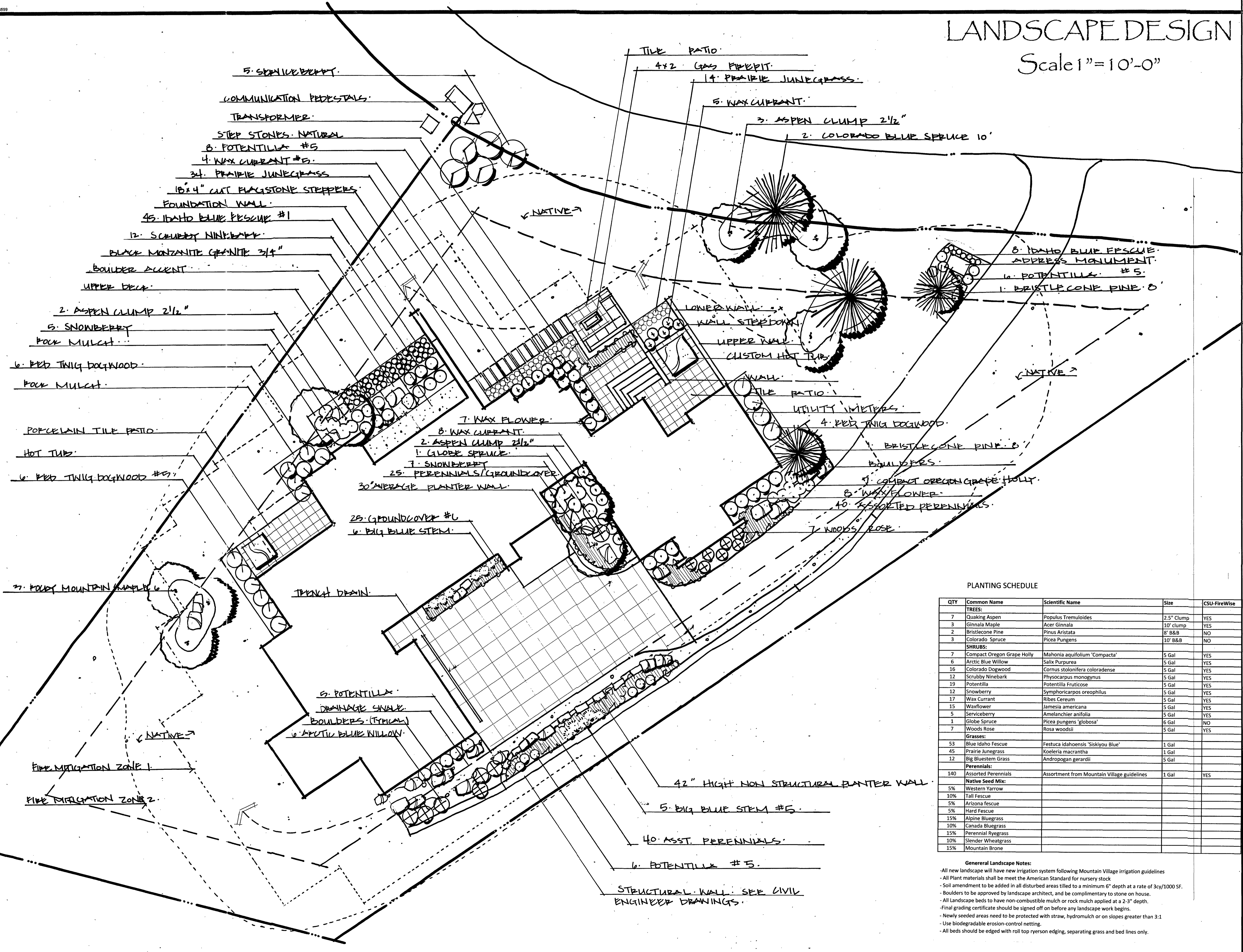
LANDSCAPE DESIGN

Scale 1" = 10'-0"



DESIGN · CONSTRUCTION · MAINTENANCE
15440 EAST FREMONT DRIVE
CENTENNIAL, CO 80112
(303) 721-9003 · FAX (303) 755-7040

Custom
Residence
87 Pennington Place
Mountain Village, Colorado



PLANTING SCHEDULE

QTY	Common Name	Scientific Name	Size	CSU-FireWise
TREES:				
7	Quaking Aspen	Populus Tremuloides	2.5" Clump	YES
3	Ginnala Maple	Acer Ginnala	10' clump	YES
2	Bristlecone Pine	Pinus Aristata	8' B&B	NO
3	Colorado Spruce	Picea Pungens	10' B&B	NO
SHRUBS:				
7	Compact Oregon Grape Holly	Mahonia aquifolium 'Compacta'	5 Gal	YES
6	Arctic Blue Willow	Salix Purpurea	5 Gal	YES
16	Colorado Dogwood	Cornus stolonifera coloradense	5 Gal	YES
12	Scrubby Ninebark	Physocarpus monogynus	5 Gal	YES
19	Potentilla	Potentilla Fruticosa	5 Gal	YES
12	Snowberry	Symphoricarpos oreophilus	5 Gal	YES
17	Wax Currant	Ribes Careum	5 Gal	YES
15	Waxflower	Jamesia americana	5 Gal	YES
5	Serviceberry	Amelanchier anifolia	5 Gal	YES
1	Globe Spruce	Picea pungens 'globosa'	6 Gal	NO
7	Woods Rose	Rosa woodii	5 Gal	YES
Grasses:				
53	Blue Idaho Fescue	Festuca idahoensis 'Siskiyou Blue'	1 Gal	
45	Prairie Junegrass	Koeleria macrantha	1 Gal	
12	Big Bluestem Grass	Andropogon gerardii	5 Gal	
Perennials:				
140	Assorted Perennials	Assortment from Mountain Village guidelines	1 Gal	YES
Native Seed Mix:				
5%	Western Yarrow			
10%	Tall Fescue			
5%	Arizona fescue			
5%	Hard Fescue			
15%	Alpine Bluegrass			
10%	Canada Bluegrass			
15%	Perennial Ryegrass			
10%	Slender Wheatgrass			
15%	Mountain Brone			

General Landscape Notes:
 - All new landscape will have new irrigation system following Mountain Village irrigation guidelines
 - All Plant materials shall be meet the American Standard for nursery stock
 - Soil amendment to be added in all disturbed areas tilled to a minimum 6" depth at a rate of 3cy/1000 SF.
 - Boulders to be approved by landscape architect, and be complimentary to stone on house.
 - All Landscape beds to have non-combustible mulch or rock mulch applied at a 2-3" depth.
 - Final grading certificate should be signed off on before any landscape work begins.
 - Newly seeded areas need to be protected with straw, hydromulch or on slopes greater than 3:1
 - Use biodegradable erosion-control netting.
 - All beds should be edged with roll top ryerson edging, separating grass and bed lines only.

DESIGNED BY: PLANTINGS: HOLLY TREMPER 5.2001 DATE:

REVISIONS:

SCALE: 1" = 10'-0"

LEGAL: PLANTING PLAN.

JOB SHEET: 1 OF 3

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LANDSCAPE DESIGN

Scale 1"=10'-0"



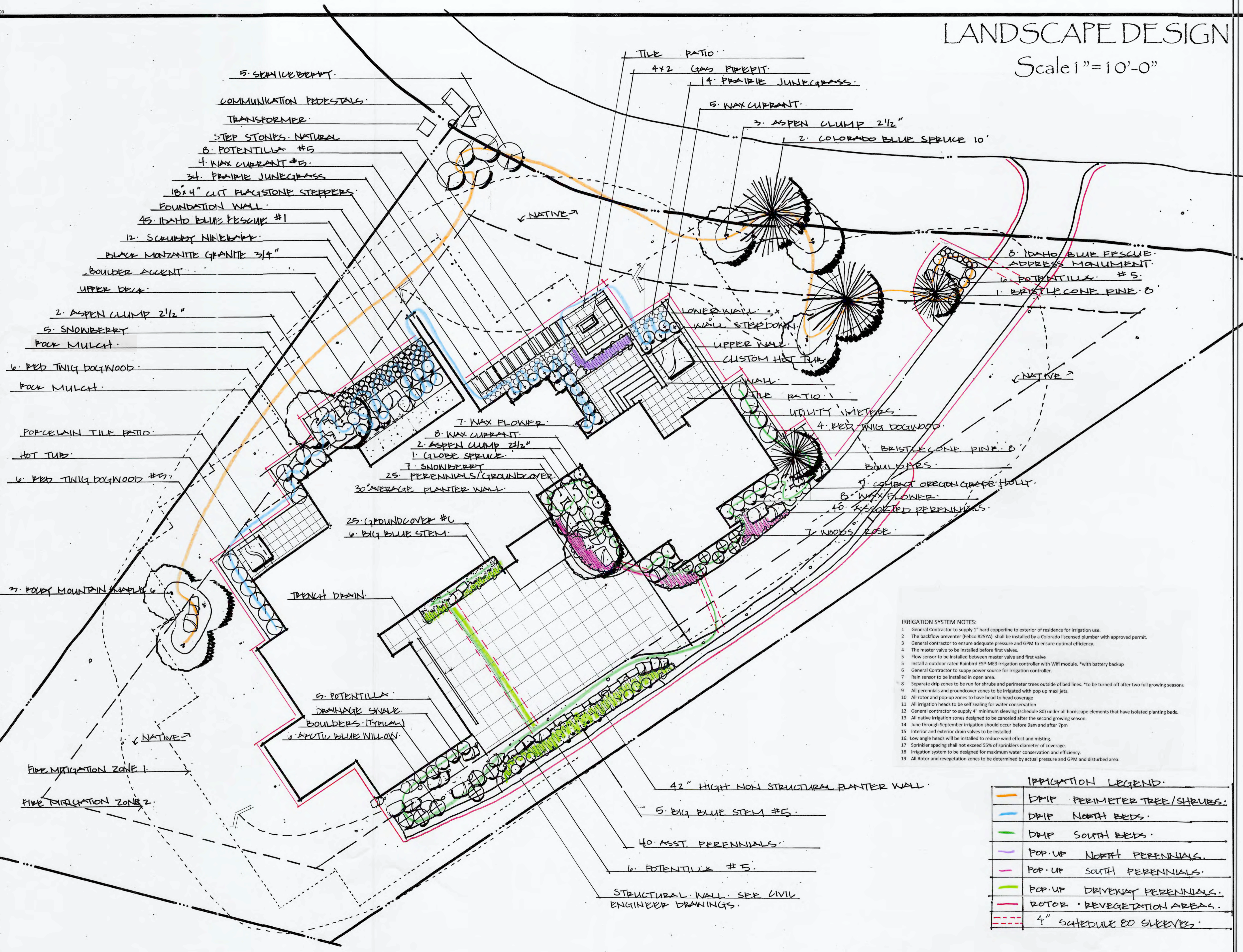
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15440 EAST FREMONT DRIVE
CENTENNIAL, CO 80112
(303) 721-9003 · FAX (303) 755-7040

Custom

Residence

87 Pennington Place

Mountain Village, Colorado



- IRRIGATION SYSTEM NOTES:
- General Contractor to supply 1" hard copperline to exterior of residence for irrigation use.
 - The backflow preventer (Febco 825YA) shall be installed by a Colorado licensed plumber with approved permit.
 - General contractor to ensure adequate pressure and GPM to ensure optimal efficiency.
 - The master valve to be installed before first valves.
 - Flow sensor to be installed between master valve and first valve.
 - Install an outdoor rated Rainbird ESP-ME3 irrigation controller with Wifi module. *with battery backup
 - General Contractor to supply power source for irrigation controller.
 - Rain sensor to be installed in open area.
 - Separate drip zones to be run for shrubs and perimeter trees outside of bed lines. *to be turned off after two full growing seasons
 - All perennials and groundcover zones to be irrigated with pop up max jets.
 - All rotor and pop-up zones to have head to head coverage
 - All irrigation heads to be self sealing for water conservation
 - General contractor to supply 4" minimum sleeving (schedule 80) under all landscape elements that have isolated planting beds.
 - All native irrigation zones designed to be canceled after the second growing season.
 - June through September irrigation should occur before 9am and after 7pm
 - Interior and exterior drain valves to be installed
 - Low angle heads will be installed to reduce wind effect and misting.
 - Sprinkler spacing shall not exceed 55% of sprinklers diameter of coverage.
 - Irrigation system to be designed for maximum water conservation and efficiency.
 - All Rotor and revegetation zones to be determined by actual pressure and GPM and disturbed area.

IRRIGATION LEGEND:

	DROP PERIMETER TREE/SHRUBS
	DROP NORTH BEDS
	DROP SOUTH BEDS
	POP-UP NORTH PERENNIALS
	POP-UP SOUTH PERENNIALS
	POP-UP DRIVEWAY PERENNIALS
	ROTOR REVEGETATION AREAS
	4" SCHEDULE 80 SLEEVES

DESIGNED BY:	DATE:
PLANTINGS: HOLLY TREES	5-2021
REVISIONS:	

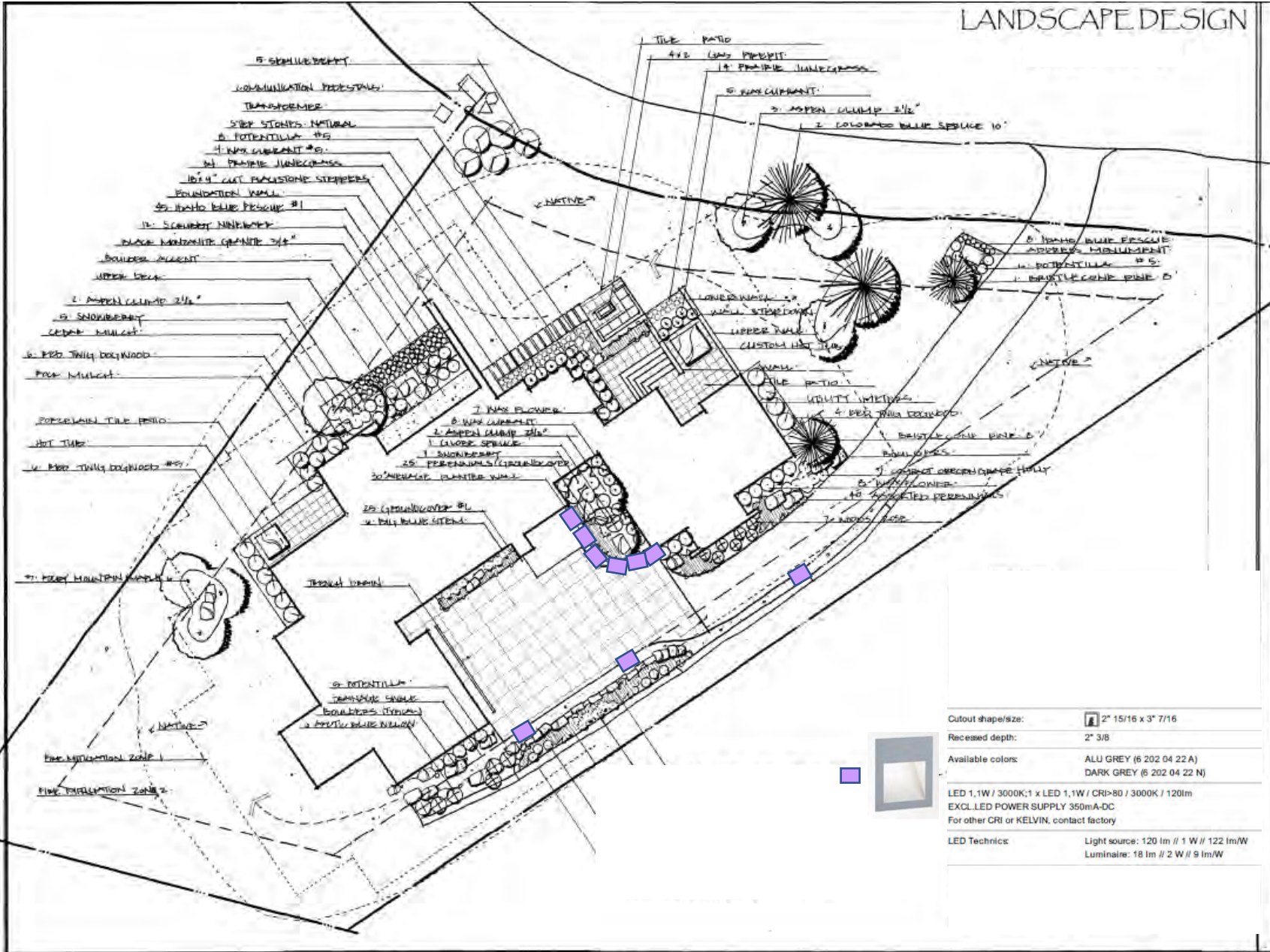
SCALE:	1"=10'-0"
LEGAL:	IRRIGATION PLAN
JOB	SHEET: 2 OF 3

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08/17/2021



- Bistro
- Lg Spot
- Med Spot
- Sm Spot
- Lg Well
- Med Well
- Path
- Lg Wash
- Med Wash
- Under-cap
- Recessed
- Water
- Down
- Transformer
- Hub
- Strip
- Low Voltage Sleeve



LANDSCAPE DESIGN

Cutout shape/size:	2" 15/16 x 3" 7/16
Recessed depth:	2" 3/8
Available colors:	ALU GREY (6 202 04 22A) DARK GREY (6 202 04 22 N)
LED 1,1W / 3000K; 1 x LED 1,1W / CRI>80 / 3000K / 120lm EXCLUDED POWER SUPPLY 350mA-DC For other CRI or KELVIN, contact factory	
LED Technique:	Light source: 120 lm // 1 W // 122 lm/W Luminaire: 18 lm // 2 W // 9 lm/W

Drew DaHarb
(303) 941-8799
ddaharb@designscapes.org
www.designscapescolorado.com
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AGENDA ITEM 6
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: John Miller, Community Housing Program Director

FOR: Design Review Board Public Hearing; September 2, 2021

DATE: August 20, 2021

RE: Consideration of a Design Review: Initial Architecture and Site Review for a new Single-Family home on Lot 729R-6, 89 Pennington Place, pursuant to CDC Section 17.4.11.

APPLICATION OVERVIEW:

PROJECT GEOGRAPHY

Legal Description: LOT 729R-6, MOUNTAIN VILLAGE, ACCORDING TO THE PLAT OF LOTS 726R-1, 729R-1, 729R-2, 729R-3, 729R-4, 729R-5, 729R-6 & 729R-7 REPLAT, REZONE AND DENSITY TRANSFER, A REPLAT OF LOTS 726R, 729R AND TRACT 727R, MOUNTAIN VILLAGE, COLORADO, RECORDED JANUARY 23, 2001 IN PLAT BOOK 1 AT PAGE 2850, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Address: 89 Pennington Place

Applicant/Agent: TKP Architects,
Tim Barstad

Owner: 89 Pennington, LLC

Zoning: Single-Family

Existing Use: Vacant Lot

Proposed Use: Single-Family

Lot Size: .667 acres

Adjacent Land Uses:

- **North:** Single-Family
- **South:** Open Space/Single-Family
- **East:** Multi-Family
- **West:** Open Space

ATTACHMENTS

Exhibit A: Architectural Plan Set
Exhibit B: Staff/Public Comment



Figure 1: Vicinity Map

Case Summary: Tim Barstad of TKP Architects (Applicant) is requesting Design Review Board (DRB) approval of an Initial Architecture and Site Review (IASR) Application for a new single-family home on Lot 729R-6, 89 Pennington Place. The Lot is approximately .667 acres and is zoned Single-Family. The overall square footage of the home is approximately 8,232 gross square feet (6,626 Finished) and provides 3 interior parking spaces within the proposed garage and 2 exterior parking spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. **Please note that Staff comments will be indicated by *Italicized Text*.**

Table 1

CDC Provision	Requirement	Proposed
Maximum Building Height	35' (shed) Maximum	34.6'
Maximum Avg. Building Height	30' (shed) Maximum	24.8'
Maximum Lot Coverage	40% Maximum (s.f.)	22%
General Easement Setbacks	16 Feet – No Encroachments	Encroachments
Roof Pitch		
Primary		1 1/2" : 12"
Secondary		1/4" : 12"
Exterior Material		
Stone	35% minimum	36.1%
Glazing	40% maximum	28.9%
Parking	2 Enclosed	2+1 Tandem
	2 Surface	3

Design Review Board Specific Approvals:

- 1. General Easement Encroachments**

Design Review Board Design Variation:

- 1. Road and Driveway Standards – Retaining Wall Heights**

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates nearly flat shed roof forms which are limited to 35 feet. The maximum average height must be at or below 30 feet for flat roof forms. The average height is an average of measurements from a point halfway between the parapet and the roof surface. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: Based on the heights provided as part of the submittal documents, the maximum building height as proposed is 34.6 feet from the highest ridge to the grade below and the maximum average building height is shown at 24.8 feet. As part of the height analysis, the applicant has provided a parallel plane analysis demonstrating that no portion of the home penetrates the 35-foot parallel slope height allowance for flat and shed roof forms.

17.3.14: General Easement Setbacks

Lot 729R-6 is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The driveway crosses the GE from Pennington Place to access the Lot.*
- *Address Monument: The address monument as shown is located within the GE. Due to the slopes of the site, pushing the monument out of the GE may result in less visible numbering and would be preferable in the location shown.*
- *Utilities: Gas, Water, Cable, Electric, and Phone are already located within Pennington Place and will require crossing the GE to the home. The applicant has shown access to the sewer main to the West of the property on OS-28. This connection may require that the applicant work with Telluride Ski and Golf to obtain access if there is not currently legal access for this connection.*
- *Landscaping: There is minor landscaping proposed in portions of the GE areas surrounding the home. The applicant has indicated that irrigation will be required and therefore irrigation locations should be provided as part of the FAR plan set in order to determine the extend of the GE impacts.*

In addition to the above, the proposal also includes setback encroachments that do not fall into the above category of permitted setback development activity:

- *Retaining Walls: Due to the topography and shape of Lot 729-6, the applicants are proposing a retaining wall associated with the driveway and parking area within the GE. It should be noted that due to the topography of the site, this retaining wall will not be seen from Mountain Village Blvd and will have what appears to be minimal impacts from Pennington Place.*
- *Hardscaping – Access Ramp: Due to the slope of the site and the height restrictions, the front door to the home is 4 feet lower in grade than the driveway area. In order to safely access the home, the applicant has provided an accessible ramp and this ramp as proposed will encroach into the General Easement.*

It should be noted that regardless of the encroachment, the DRB can waive the GE setback or other setbacks and allow for prohibited activities if it is determined that the applicant has demonstrated hardship and mitigated off-site impacts. The applicants have addressed these criteria as part of their provided narrative. It should be noted that any foundation walls that are within 5' of the GE will require a footer survey prior to pouring concrete to ensure there are no additional encroachments into the GE area.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The CDC provides design theme characteristics that attempt to link existing and new architecture throughout the Mountain Village. Although we have a broad spectrum of architectural mountain vernaculars, the link typically is accomplished through the use of strong material palettes of stone, metal, and wood.

The home design is best characterized as mountain modern, and largely driven by the topography of the site. The materials proposed for the exterior of the home fit well with existing homes in the Mountain Village and recently approved homes on Pennington Place. Although the home is quite modern in form, staff believes that the applicant has been responsive to the specific site constraints in order to limit overall site disturbance and comply with the building height requirements. It appears based on the applicant's submittal that the material palette for the project blends well with both the surrounding community, as well as the overall modern mountain vernacular.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: Lot 729R-6 is a 0.667-acre lot that slopes from a high point along Pennington Place, down to the low point at its northwest corner bordering OS Tract 28. The applicant has indicated that the site is entirely free of trees with the exception of a small area of willows near the southwest of the lot, and generally is vegetated with grasses only. The lot contains steep slopes with a large portion of the lot within areas over 30% slope. In addition to the slopes, the lot is quite narrow with a trapezoidal shape.

The design and siting of the proposed home has been driven by the topographical issues discussed above which has resulted in the proposed siting of the home. It appears that the homes siting is logical given these constraints.

17.5.6: Building Design

Staff: The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation. In order to accomplish this, the applicant is proposing stone elements as a Blue Mountain Ledge stone in a horizontal rectangular pattern. The stone elements are very prominent on the home, especially as viewed from Pennington Place. This stone does carry over to all elevations of the home, but the weathered shiplap siding in vertical arrangements are much more prominent on the rear façade, or west elevation.

In addition to the stone and wood elements, another strong element of the design are large scale metal paneling. This metal augments the more traditional stone and wood elements

of the home on certain facades in a way that contrasts nicely. Soffits and fascia are to be wood, and the roof is shown as grey or grey-brown standing seam.

The design of the home incorporates a low angle shed roof. Because of the topography and slopes of the site, the home presents as a two-story home as seen from Pennington Place. The home has incorporated stepped elements and rear outdoor living space to break up the roof elements. The garage door is shown as metal with some glazing.

The home's exterior palette as shown in the material sheet of the submission appears to blend well, although it should be noted that the materials call out stucco which does not appear to be utilized in the homes final 3-D renderings. Staff believes this to be accidental and this detail should be removed prior to final review.

The plans specify a total of 997 sq ft of snowmelt which is permitted without any required off-sets.

17.5.7: Grading and Drainage Design

Staff: The applicant provided a grading and drainage plan demonstrating finished slope and areas of regrading around the home. The changes to slopes surrounding the home are surprisingly limited given the amount of excavation that will be necessary to construct the home. Staff recommends that prior to Final Review, the area of disturbance be demonstrated as part of either this plan or the Construction Mitigation Plan in order to understand how the lot will be disturbed during construction. For example, the applicant has indicated that a 10 foot wall is necessary to retain the site for parking. If this is the case, there will be grading, excavation and disturbance much greater than what is currently show.

It should be noted that otherwise the plan does demonstrate the positive drainage away from the home in accordance with CDC requirements.

17.5.8: Parking Regulations

Staff: The CDC requires all single-family homes to provide two enclosed and two surface parking spaces. The applicant has shown a total of 3 enclosed and 2 surface spaces. Staff does not take issue with the configuration of the enclosed parking as the minimum parking requirements are being exceeded.

17.5.9: Landscaping Regulations

The applicant has provided a preliminary landscaping plan and staff notes the following:

- 1. Fire mitigation requirements not currently being met. See section below.*
- 2. Irrigation has been noted to be necessary but not currently show. This needs to be revised for final to demonstrate locations in order to determine the extent of and GE encroachments. Irrigation shown within the GE will require specific DRB approval and a GE encroachment agreement.*
- 3. Staff will note that the landscaping plan flammable tree species within Zone 1. The landscaping plan should be revised to meet the requirements of the CDC for landscaping and defensible space requirements.*

17.5.11: Utilities

Staff: All utilities are currently located within proximity to the home. The applicant shall work with the Public Works Director before final review to verify the specific locations of the connections for the home. The plan set shows the proposed connections and the locations of the proposed utilities based on field research. The applicant has shown the

sewer connection occurring in TSG open space and will need to coordinate approval with TSG prior to installation.

17.5.12: Lighting Regulations

Staff: The applicant has provided a preliminary lighting plan for DRB review. This plan included the proposed fixtures for the home and lot, as well as cut-sheet materials, and photometrics for the site. It appears based on the submitted cut sheets that the lighting meets the requirements of the CDC for things like lumen output and overall light temperature. The applicant has shown two LED light strips – one located underwater in the hot tub and one used for the address monument. The applicant should include the cut sheet for the LED strip light prior to final review.

17.5.13: Sign Regulations

Staff: The applicant has provided details for the address monument of the home. It appears that the monument's design generally meets the requirements of the CDC. The applicant has also provided additional details demonstrating that the proposed method of illumination is meeting the requirements of the CDC. The location of the monument seems logical and visible as shown in the GE given difference in grade between the ROW and the areas outside of the GE where the address could otherwise be located.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: As part of the landscaping plan, the applicant did include information related to fire mitigation for the Lot. Given that the lot is completely free of trees, the Fire Mitigation Plan should focus on how the proposed landscaping for the home does not create a fire danger. The Town forester has weighed in on the proposed landscaping and provided the following comments:

- 1. Tree diversity requirement not being met. Recommends DRB waive this requirement.*
- 2. Although showing common juniper shrubs, the proposed plantings are outside of the area of concern and no change is recommended.*

Additionally, planning staff notes that the applicant has included conifer species within Zone 1, and the applicant shall either revise the plan to include these plantings within the dripline of the home or modify these plantings to a species listed on the CSU Firewise planting list. The plan indicates non-flammable mulch products.

17.6.6: Roads and Driveway Standards

Staff: The CDC requires driveways under 150 feet in length have a minimum paved surface of 12 feet width and 2-foot shoulders on each side and as shown the applicant is meeting that requirement.

The maximum grade of the driveway appears to be approximately 6.71% with the driveway ranging from 5% to the max listed above. The CDC requires that garage entrances do not exceed 5-6% grade without specific approval from the DRB. Staff does not believe this to be intentional but if so, the applicant shall revise their narrative to address the necessity of the specific approval prior to final review by the DRB.

In addition, the proposed retaining walls exceed the allowed heights for driveways and must obtain a DRB Design Variation. The applicant has indicated that there will be minor planters at the base of the retaining walls to soften the walls heights, and it should be

noted that due to the grade of the site, the retaining walls will only be minimally visible as shown in the provided 3D renderings of the entry to the home.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The proposed design designates all fireplaces to be gas burning.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The applicant has not provided a CMP as part of the submittal. The applicant should coordinate with their contractor, along with the civil engineer to better understand the limits of disturbance, and the areas for stockpiling export materials prior to final review. The plan should also address all construction fencing and erosion control proposals as well as demonstrating parking for the project. Given the site constraints and the construction activity on Pennington Place slated for 2022, it would be beneficial to work with the neighbors to keep them abreast of pending construction with updates.

Staff Recommendation: Staff recommends the DRB approve the Initial Architecture and Site Review for Lot 729R-6, 89 Pennington Place based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architecture and Site Review for a new single-family home located at Lot 729R-6, based on the evidence provided within the Staff Report of record dated August 20, 2021, with the following Specific Approvals and Design Variations:

Design Review Board Specific Approvals:

- 1) General Easement Encroachments

Design Review Board Design Variation:

- 1) Road and Driveway Standards

And, with the following conditions:

- 1) The applicant shall revise the material sheet to remove all instances of stucco.
- 2) The applicant shall update the landscape plan and fire mitigation plan to remove flammable species from Zone 1 or otherwise revise the plan to include these trees in the dripline of the home. The landscaping plan shall also be revised to include irrigation locations throughout the lot.
- 3) The applicant shall revise the lighting plan submittal to include the cutsheet for the proposed LED strip light.
- 4) The applicant shall revise the civil drawings to indicate the full area of disturbance on the site to include all areas of grading and layback based on the existing civil designs for the home and site.
- 5) The applicant shall revise the civil drawings to demonstrate a 5-6% grade for all garage entries and parking areas.

- 6) Prior to the issuance of a building permit, the applicant shall obtain an easement from TSG to access the sewer line to the west of the home or submit a revised utility plan to the public works director that provides access from Pennington Place.
- 7) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 8) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 9) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way, general easement, or setback, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (Fire Department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 10) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.
- 11) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 12) A monumented land survey establishing the maximum building height and the maximum average building height, including but not limited to natural grade, finished grade and the building height measurement points (in USGS datum) prior to the Building Division conducting the required framing inspection.
- 13) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials

/jjm



TELLURIDE FIRE PROTECTION DISTRICT

Scott Heidergott, Fire Marshal

Date: 06/30/2021

Address: Lot 729-R6, 89 Pennington Place
Mountain Village, CO 81435

Plan review is approved with the following conditions:

- 1) The structure is over 3,600 sq ft and shall require a monitored sprinkler system.
- 2) The width of the driveway shall meet the code of 16' total width. 12' shall be a hard surface with the shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.
- 3) The address monument shall be minimum 4'6" from grade to the bottom of the address numbers. Address numbers shall be 6" in height, reflective coated or outlined with a reflective coating.
- 4) TFPD recommends the installation of a Knox Box for access during emergency situations.

John A. Miller

From: Finn KJome
Sent: Tuesday, June 29, 2021 4:02 PM
To: John A. Miller
Subject: RE: 729R-6, 89 Pennington Place New SFH

Looks good no issues. Have them field verify the utilities.
Finn

From: John A. Miller <JohnMiller@mtnvillage.org>
Sent: Tuesday, June 29, 2021 3:49 PM
To: Finn KJome <FKJome@mtnvillage.org>; Steven LeHane <SLeHane@mtnvillage.org>; Jim Loebe <JLoebe@mtnvillage.org>; Chris Broady <CBroady@mtnvillage.org>; jeremy@smpa.com; brien.gardner@blackhillscorp.com; kirby.bryant@centurylink.com; Scott Heidergott <sheidergott@telluridefire.com>; Mike Otto <MOtto@mtnvillage.org>
Cc: JD Wise <JWise@mtnvillage.org>
Subject: 729R-6, 89 Pennington Place New SFH

Good Afternoon All –
Please find the following referral for a New Single Family home located at Lot 729R-6, 89 Pennington Place.

https://townofmountainvillage.com/site/assets/files/35436/lot_729r-6_design_review_process_application_plan_set.pdf

Please let me know if there are any questions or concerns.
Best,
J

John A Miller III
Senior Planner
Planning & Development Services
Town of Mountain Village
455 Mountain Village Blvd, Suite A
Mountain Village, CO 81435
O :: 970.369.8203
C :: 970.417.1789



For information about The Town of Mountain Village's response to COVID-19 (Coronavirus), please visit townofmountainvillage.com/coronavirus/

Review comments by TOMV staff forester, Michael Otto

New Single Family Home at 89 Pennington Pl. Lot 729r-6

https://townofmountainvillage.com/site/assets/files/35436/lot_729r-6_design_review_process_application_plan_set.pdf

11 aspen

1 bristlecone

3 blue spruce

3 ginnala maple

4 diverse species / 18 trees = 22%. 40% diversity of tree plantings clause not met. It is recommended that this requirement is waived for this project.

18 common juniper shrubs are planned for the landscape. Common juniper is easily ignited and is not recommended within 5' of the planned structure. It appears that consideration was taken with the location of common juniper and no requirements to change the location or species are recommended.

**LOT 729R-6 DESIGN REVIEW
PROCESS APPLICATION
SUBMITTAL REQUIREMENTS**

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Development Narrative August 19, 2021

Lot 729R-6
89 Pennington Place
Town of Mountain Village
San Miguel County, CO 81435
Architect: TKP Architects pc

Introduction:

TKP Architects is submitting a Development Application and attached exhibits for review by the Town of Mountain Village for a 6,626 finished sq. ft. home with 1,606 sq. ft. of unfinished garage and mechanical/storage space for a total of 8,232 gross square feet of space on a 0.667 acre lot. The lot has no existing trees, rock outcrops or significant geologic features, and is accessed from Pennington Place on its east property line. Some portions of the property are sloped steeper than 30%, with areas of up to 37% slope. The lot has sweeping mountain views from the southwest to the northeast. The west property line abuts Open Space Tract 28.

Driving Factors:

Our design of the home's massing and layout was driven by a combination of panoramic mountain views, and the narrow shape of the lot which curves on the east side in response to Pennington Place's right-of-way. The site's most striking vantage point is near the northeast corner of the lot, so the great room and master suite have been located to enjoy these views. Other parts of the home are stepped and angled in relation to each other, to provide the house with excellent views from all the living spaces.

Design Style:

While the style of this home is markedly Mountain Contemporary, it draws some inspiration from the historical precedent of Colorado mining structures and Rocky Mountain homes built from onsite materials of rough-cut stone and coniferous timber. Our re-interpretation of historical motifs can be seen in the home's massing, a combination of simple shed-roof forms and two stone "tower" elements inspired by stone foundations of old railroad bridges. Steel I-beams and braces invite memories of early industrial and mining structures.

Special Review Items:

1. Development on slopes that are 30% or greater (17.6.1.C)
2. General easement encroachment for accessible ramp to entry door (17.3.14)
3. Retaining wall in excess of 5'-0" height limit (17.6.6)
4. Flat Roof Design (17.5.1)
5. Hot Tub on west (rear) side of house (17.3.4)

1. Development on Slopes that are 30% or Greater

A significant portion of the lot slopes 30% or greater (re: existing conditions plan sheet A0.1). To avoid any development on these steeply sloped portions would reduce the usable area of the lot to a small portion in the southeast corner, so we are requesting approval to develop as shown on our architectural site plan (sheet A0.2), which illustrates the area of the proposed house that overlaps the steep sloped area of the site.

2. General Easement Encroachment for Accessible Ramp to Entry Door

In order to comply with the CDC's driveway standards and maximum height restrictions, it was necessary to hold down the level of the entry door approximately 4' below the level of adjacent driveway, with a half-flight of steps leading down to the entry door. We feel strongly that there should be an accessible means of entering the home, so we are requesting encroachment into the general easement to create a 1:10 sloped concrete ramp to supplement the entry stairs.

3. Retaining Wall in excess of 5'-0" Height

A backout/ turn-around space is provided to the southeast of the garage, which also serves as the two required surface parking spaces. The grading of this turnaround area necessitates retaining walls exceeding the 5' maximum height. We have sought to mitigate the height of this retaining by terracing the retaining walls in two levels with landscaping in between.

4. Flat Roof Design

Flat roofs are used to break up the massing of the roof forms and to keep the house within the maximum height limit. The roof above the Great Room is a butterfly roof sloped 1.5 to 12 pitch on both sides of a roof valley towards and internal drain (see roof plan sheet A-4). This roof form is used to accentuate the panoramic views from within the home, which are largely uphill from the site.

5. Hot Tub

A site-built hot tub with an infinity-edge feature is proposed for this site, to be located on the west side of the house at the lower-level patio. The architecture of this hot tub is designed to incorporate the necessary retaining at this location, and is integrated with the structural support for the main level deck. The infinity-edge feature is intended to serve as a landscape feature as well as an amenity of the home.

**LOT 729R-6 DESIGN REVIEW
PROCESS APPLICATION PLAN SET
FOR INITIAL REVIEW**

2ST RESUBMITTAL: 8-20-2021

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**LOT 729R-6 DESIGN REVIEW
PROCESS APPLICATION**

3D MODELS

MODEL LINK:

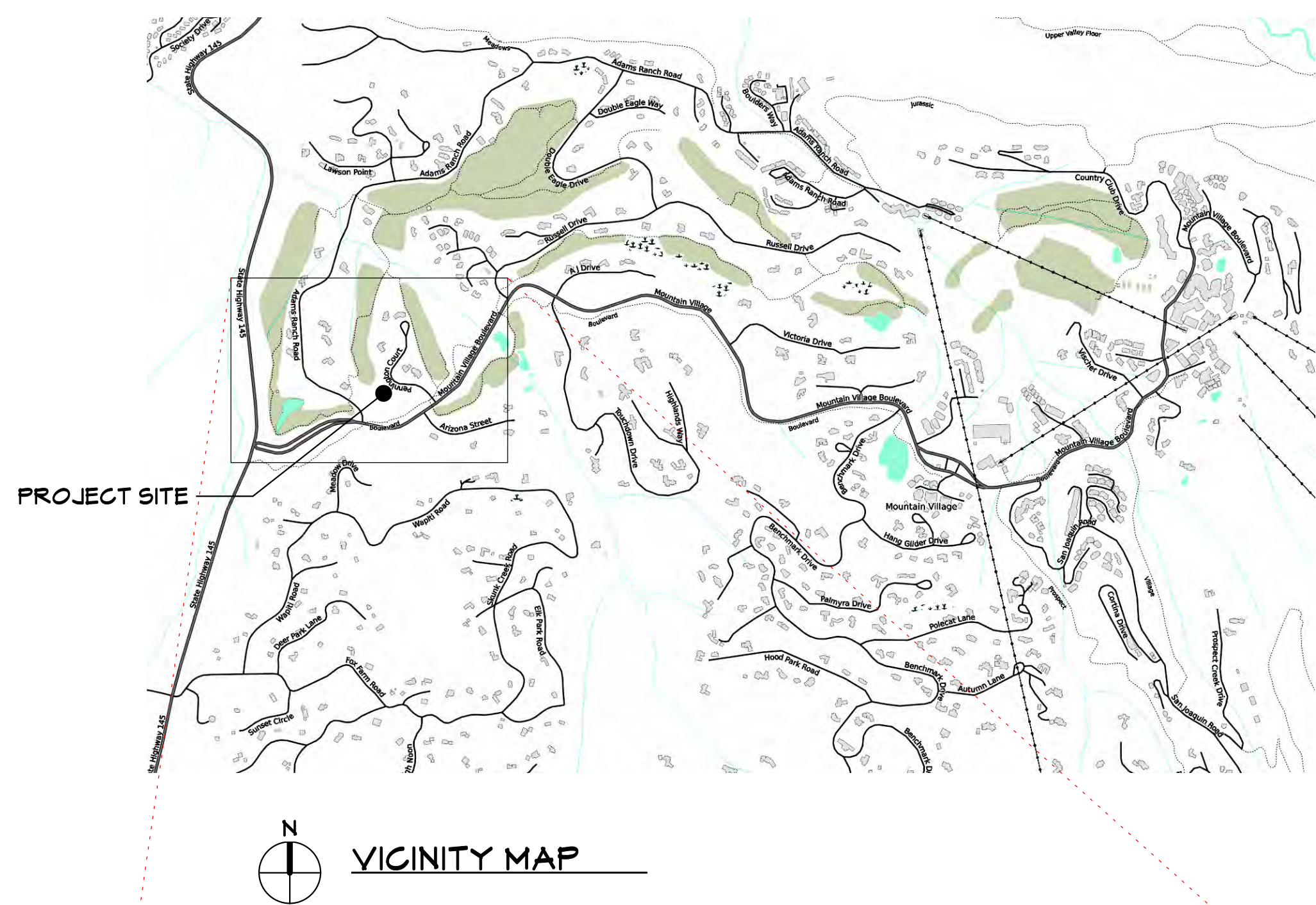
<https://autode.sk/3z9nWq3>

MODEL WITH MAXIMUM HEIGHT
LIMIT SHOWN AS ENVELOPE:

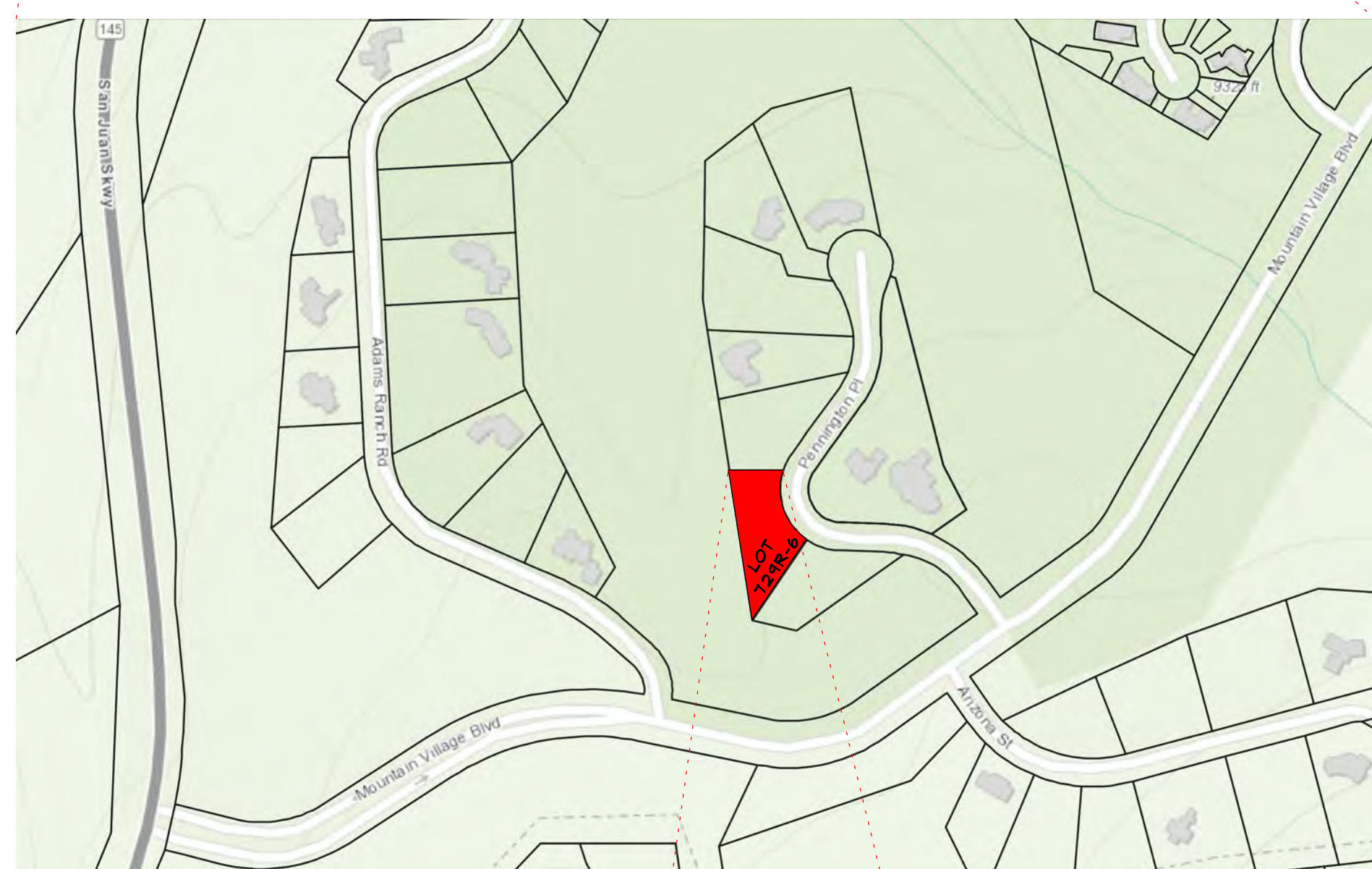
<https://autode.sk/2WnMBwd>

This model shows two transparent planes, one representing 35' above the existing grade, and another representing 35' above the new grade.

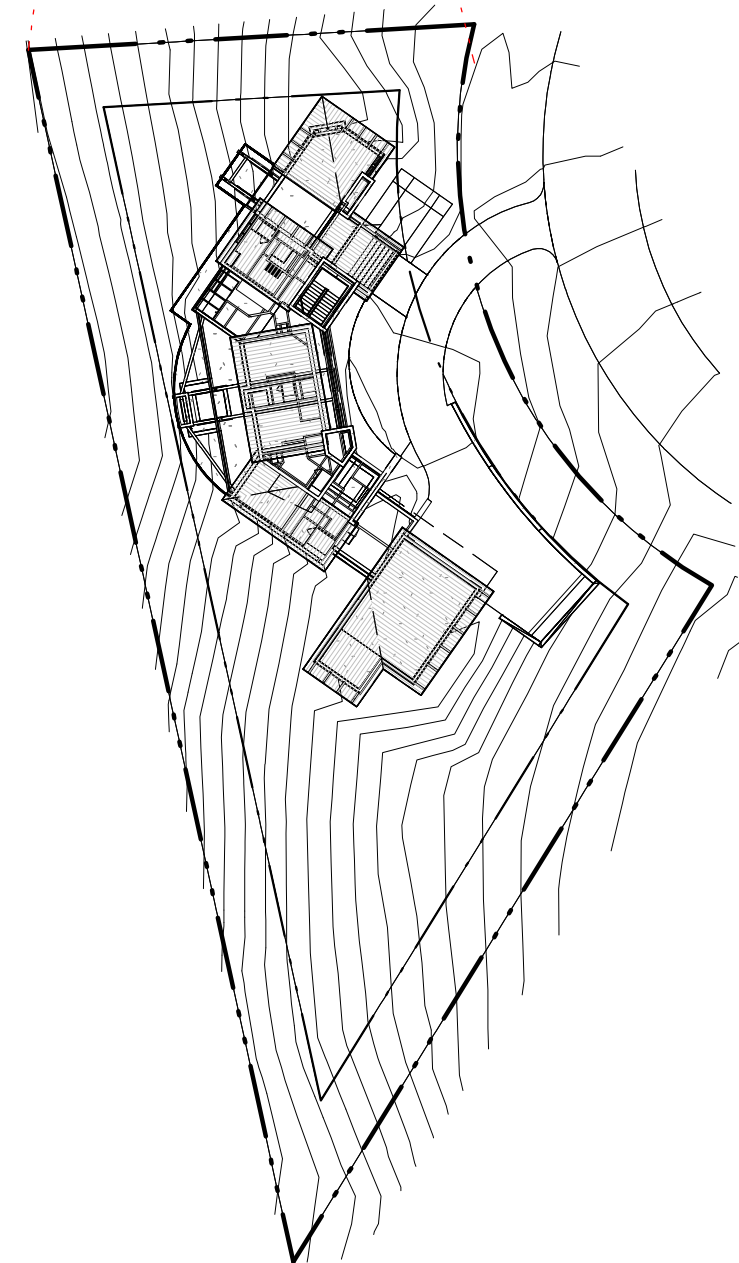
Together these planes create an envelope of the maximum height limit above most restrictive grade, to demonstrate how the proposed house architecture fits within these limits.



VICINITY MAP



FLAT MAP



LOT 129R-6

PROJECT DIRECTORY	
CONTRACTOR:	CODY ABBOTT TOP NOTCH CONSTRUCTION 8121 PRESERVE DR. TELLURIDE, CO 81435 970-546-1014
SURVEYOR:	JEFFREY HASKELL FOLEY ASSOCIATES, INC. P.O. BOX 1935 125 N PACIFIC AVE SUITE B-1 TELLURIDE, CO 81435 970-728-6153
STRUCTURAL ENGINEER:	DAVE BENNING STRUCTURAL DESIGN PARTNERSHIP 1504 WASHINGTON AVE GOLDEN, CO 80401 303-278-1750
CIVIL ENGINEER:	DAVID BALLODE UNCOMPANGRE ENGINEERING 113 LOST CREEK LN SUITE D MOUNTAIN VILLAGE, CO 81435 970-274-0683
LANDSCAPE DESIGNER:	HOLLY TERRY DESIGNSCAPES COLORADO 15440 E FREMONT DR CENTENNIAL, CO 80113 303-721-4003
ARCHITECT:	TIM BARSTAD TKP ARCHITECTS 1504 WASHINGTON AVE GOLDEN, CO 80401 303-278-8840

PROJECT DATA		
LOT INFO		
LOT NAME	LOT 129R-6	
ZONING	SINGLE FAMILY RESIDENTIAL	
LOT SIZE	100% = .667 ACRES = 29,055 SF	
MAX LOT COVERAGE	40% = .269 ACRES = 11,622 SF	
LOT COVERAGE	22% = .142 ACRES = 6,202 SF	
BUILDING INFO		
DESCRIPTION	2-STORY W/ WALKOUT BASEMENT	
BUILDING HEIGHT	ALLOWED	ACTUAL
	MAXIMUM	35'
	AVERAGE	30'
SNOWMELT AREA	1,000 SF.	491 SF.
PARKING SPACES		
	REQUIRED	ACTUAL
ENCLOSED	2	2 + 1 TANDEM
SURFACE	2	3

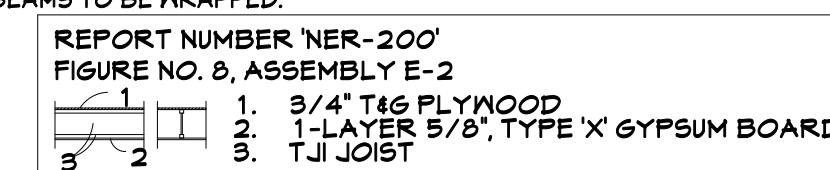
LEGAL DESCRIPTION	
LOT 129R-6, TOWN OF MOUNTAIN VILLAGE, LOCATED WITHIN SECTION 4, TOWNSHIP 42 NORTH, RANGE 4 WEST, SAN MIGUEL COUNTY, COLORADO	
BUILDING ELEVATIONS	
T.O. MAIN FLOOR SHEATHING	- 4221.0'
T.O. SHEATHING AT ENTRY	- 4222.8'
T.O. SHEATHING AT BRIDGE	- 4228.5'
T.O. GARAGE SLAB AT DOOR	- 4223.0'
T.O. LOWER FLOOR SLAB	- 4208.2'
T.O. UPPER FLOOR SHEATHING	- 4232.2'
FLOOR AREAS: SQUARE FOOTAGE	
FINISHED AREAS:	
LOWER FLOOR	1,478
MAIN FLOOR	9,100
UPPER FLOOR	1,548
TOTAL FINISHED	6,626
UNFINISHED AREAS:	
STORAGE/MECH	752
GARAGE	854
TOTAL UNFINISHED	1,606
TOTAL BUILDING AREA	8,232
LOT COVERAGE FOOTPRINT (MEASURED TO DRIP EDGE)	6,202

SUBMITTAL PACKAGE SHEET INDEX	
A0.0	COVER SHEET & PROJECT DATA
A0.1	EXISTING CONDITIONS PLAN
A0.2	ARCHITECTURAL SITE PLAN
A0.3	FIRE MITIGATION PLAN
A0.4	HEIGHT LIMIT ANALYSIS PLAN
A0.5	HEIGHT LIMIT ANALYSIS ELEVATIONS
A0.6	EXTERIOR LIGHTING (PHOTOMETRIC) PLAN
A1	LOWER FLOOR PLAN
A2	MAIN FLOOR PLAN
A3	UPPER FLOOR PLAN
A4	ROOF PLAN & DETAILS
A5	ELEVATIONS & DETAILS
A6	ELEVATIONS
A7	ELEVATIONS AND SCHEDULES
A8	EXTERIOR MATERIAL CALCULATIONS
A9	EXTERIOR MATERIAL DIAGRAM
A10	RENDERINGS
G1	COVER SHEET & GENERAL NOTES
G2.2	CIVIL SITE PLAN & DRIVEWAY PROFILE
G3	UTILITIES PLAN
L1	LANDSCAPING PLAN



GENERAL PROJECT NOTES (2018 IRC)

- ALL CONSTRUCTION TO BE COMPLETED PER GOVERNING CODES BELOW:
2018 INTERNATIONAL RESIDENTIAL CODE (IRC) W/ LOCAL AMENDMENTS
2018 INTERNATIONAL PLUMBING CODE (IPC) W/ LOCAL AMENDMENTS
2018 INTERNATIONAL MECHANICAL CODE (IMC) W/ LOCAL AMENDMENTS
2018 INTERNATIONAL FUEL GAS CODE W/ LOCAL AMENDMENTS
2018 INTERNATIONAL ENERGY CONSERVATION CODE W/ LOCAL AMENDMENTS
2020 NATIONAL ELECTRICAL CODE
- DO NOT SCALE BLUEPRINTS. WRITTEN DIMENSIONS TAKE PRECEDENCE IN ALL CASES.
- ALL EXTERIOR WALLS TO BE 2X6 AT 16" O.C. EXCEPT AS NOTED ON THESE ARCHITECTURAL AND STRUCTURAL PLANS. (RE: 2018 IRC, SECTION R602)
- ALL INTERIOR WALLS TO BE 2X4 AT 16" O.C. EXCEPT AS NOTED ON THESE ARCHITECTURAL AND STRUCTURAL PLANS. (RE: 2018 IRC, SECTION R602)
- ALL WINDOW SIZES NOTED ON THESE ARCHITECTURAL PLANS ARE GENERIC DIMENSIONS, TO BE READ AS "FEET - INCHES". (A WINDOW SIZE OF "11.630" DENOTES "11'-6" HIGH). CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ARCHITECT IF WINDOW MANUFACTURER'S SPECIFIC WINDOW SIZES DO NOT MATCH THE GENERIC WINDOW DESIGNATIONS ON THESE PLANS.
- ALL GLASS IN HAZARDOUS LOCATIONS AS DEFINED BY THE 2018 IRC, SECTION R308.4, SHALL MEET THE GOVERNING CODE REQUIREMENT FOR SAFETY GLAZING.
- FIREPLACES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH APPLICABLE CODES (2018 IRC, SECTIONS R1001 - R1006) AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL GUARDRAILS SHALL COMPLY WITH THE 2018 IRC, SECTION R311.2.
- ALL HANDRAILS SHALL COMPLY WITH THE 2018 IRC, SECTION R311.7.6.
- PROVIDE BLOCKING AT ALL CLOSET ROD, SHELF AND BRACKET LOCATIONS AND AT ALL HANDRAILS, SHOWER DOOR AND TUB ENCLOSURE LOCATIONS.
- INSTALL "DURLOCK" OR EQUIVALENT CONCRETE BACKING BOARD AT SHOWER / TUB ENCLOSURES, SHOWER BENCHES, TUB DECKS AND LOCATIONS TO RECEIVE TILE FINISHES.
- TOP OF ALL SHOWER BENCHES AND LEDGES SHALL BE SLOPED TO DRAIN AT 1/4" PER FOOT MINIMUM.
- SEE STRUCTURAL PLANS FOR ALL STRUCTURAL NOTES, MEMBER SIZES AND DETAILS.
- TRUSS MANUFACTURER IS TO PROVIDE TRUSS LAYOUT AND PROFILES TO THE STRUCTURAL ENGINEER AND ARCHITECT FOR REVIEW. SUCH WORK SHALL BE BASED BOTH ON THE ARCHITECTURAL TRUSS DIAGRAMS AND STRUCTURAL DRAWINGS. DIMENSIONS SHOWN FOR TRUSSES ON THE TRUSS DIAGRAMS ARE TO BE USED AS GENERAL GUIDES AND SHALL BE VERIFIED BY THE TRUSS MANUFACTURER.
- PROVIDE 1-HOUR FIRE PROTECTION AT USEABLE SPACE UNDER STAIRS BY CONSTRUCTING THE WALLS AND UNDERSIDE OF STAIR WITH 5/8" TYPE 'X' GYPSUM WALLBOARD.
- ALL DOORS BETWEEN DWELLING AND GARAGE AREAS MUST MEET THE REQUIREMENTS OF THE 2018 IRC, SECTION R302.5.
- PROVIDE 5/8" TYPE 'X' GYPSUM WALLBOARD AT GARAGE WALLS AND CEILING ADJACENT TO LIVING AREAS. AT GARAGE CEILING, REFER TO THE NATIONAL EVALUATION SERVICE, INC.' REPORT NUMBER NER-200', SECTION 3.9.2. ALL EXPOSED BEAMS TO BE WRAPPED.
- PROVIDE 26 GA. FLASHING BETWEEN EXTERNAL CONCRETE SLABS AND WOOD FRAMING.
- PROVIDE ROOF AND ATTIC VENTILATION IN ACCORDANCE WITH THE 2018 IRC, SECTION R906.
- GUTTERS, WHERE PROVIDED AT HORIZONTAL FASCIAS, SHALL HAVE ONE DOWNSPOUT EVERY 25'-0" MAX.
- DOWNSPOUTS, WHERE PROVIDED, SHALL DISCHARGE OUTWARD BEYOND THE LIMITS OF THE FOUNDATION BACKFILL.
- ALL EXPOSED ROOF VENTS AND STACKS ARE TO BE PAINTED TO MATCH THE ADJACENT ROOF MATERIAL. LOCATE ALL VENTS AND STACKS TO THE REAR OF THE RIDGE IF POSSIBLE.
- PROVIDE FLASHING AT ALL ROOF TO ROOF CONNECTIONS, ROOF TO WALL CONNECTIONS AND ALL ROOF PENETRATIONS AS REQUIRED BY GOVERNING CODE.
- PROVIDE FLASHING AT ALL WINDOWS AND DOORS AND AT ALL BUILDING MATERIAL CONNECTIONS.
- BUILDER TO VERIFY AND COORDINATE UTILITY CONNECTIONS, THEIR ROUTING, AND ALL METER LOCATIONS.
- ICE AND WATER SHIELD TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS (SEE SECTION FOR NOTE).
- INSTALL A CONTINUOUS 2X4 WOOD CANT STRIP AT ALL ROOF PITCH CHANGES TO PROVIDE CONTINUOUS BACKING BEHIND ICE AND WATER SHIELD.



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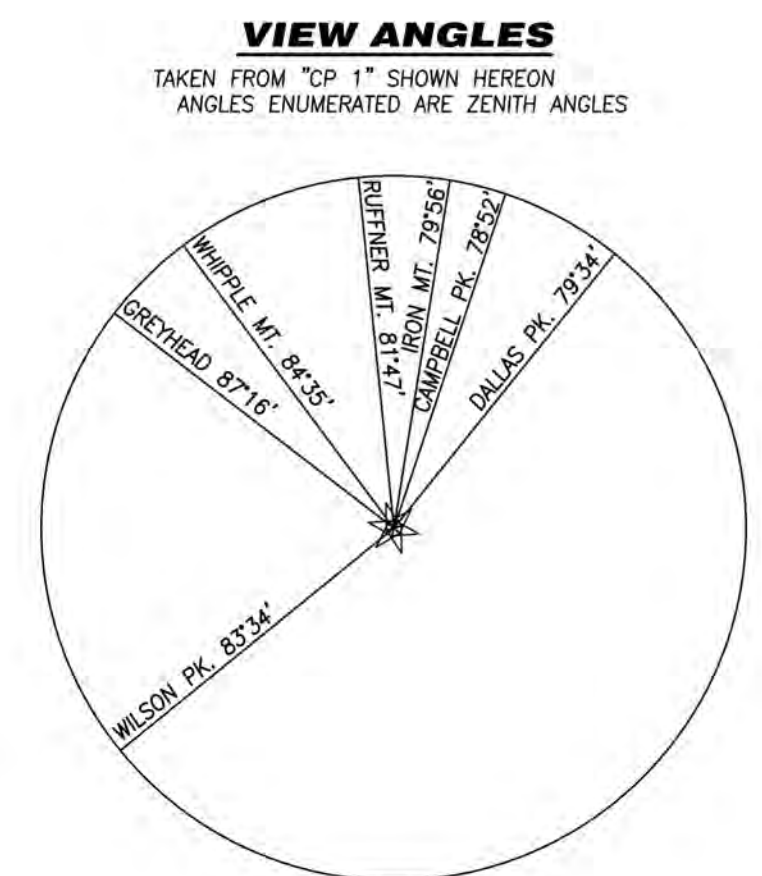
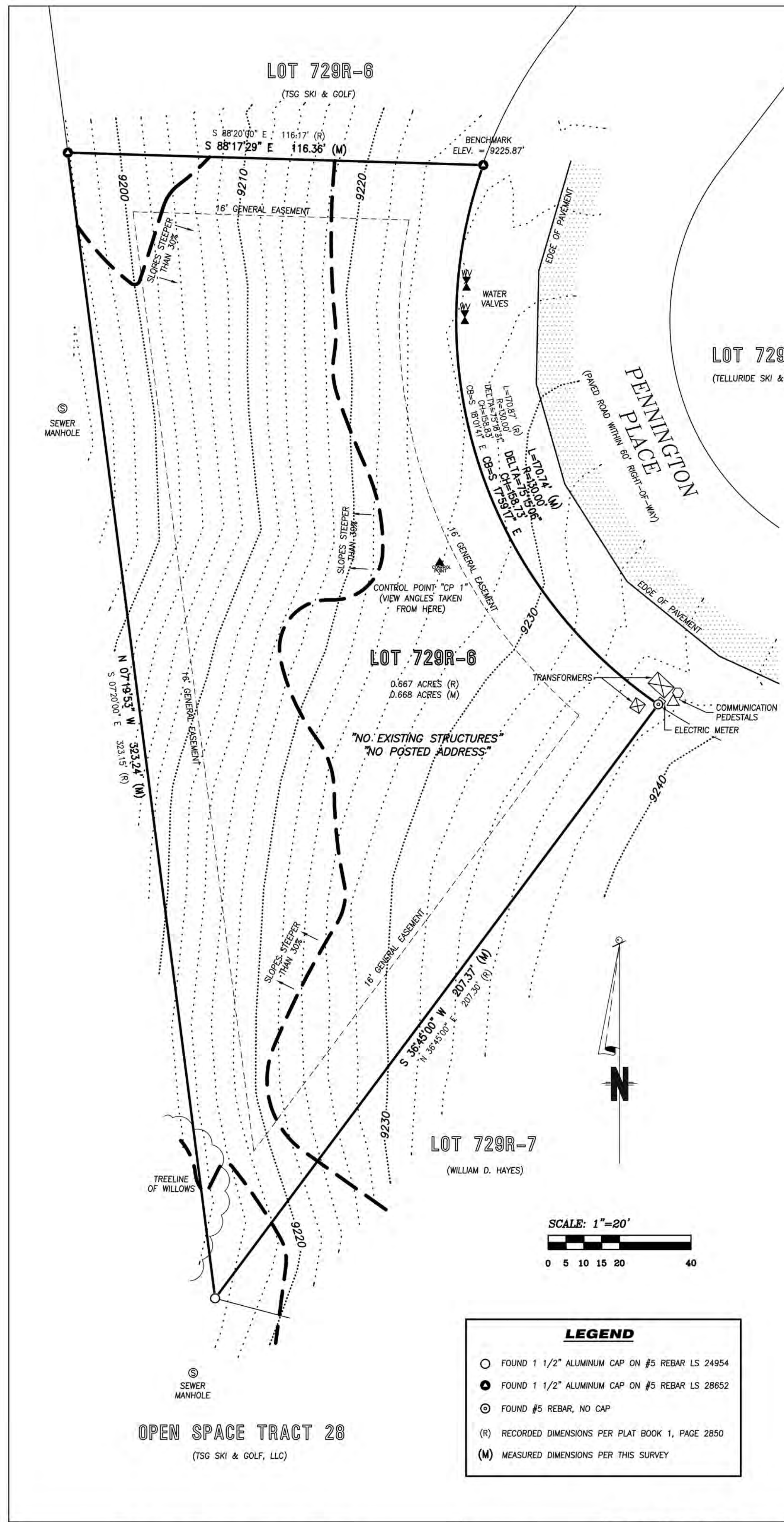
CUSTOM RESIDENCE
89 PENNINGTON PLACE
MOUNTAIN VILLAGE, CO 81435

Issue: 8-20-2021
drawn by: KK/TB
revision # revision date

PROGRESS SET
NOT FOR
CONSTRUCTION

A0.0

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SURVEYOR'S STATEMENT:

This Existing Conditions Plan of Lot 729-R6, Town of Mountain Village, was prepared on May 20, 2021 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-12-102, C.R.S.



P.L.S. NO. 37970 Date

PROPERTY DESCRIPTION:

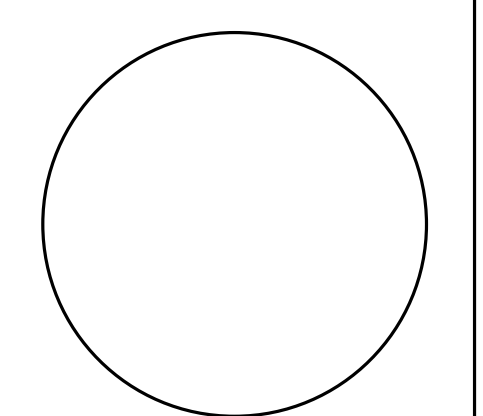
LOT 729-R6, MOUNTAIN VILLAGE, ACCORDING TO THE PLAT OF LOTS 726R-1, 729R-1, 729R-2, 729R-3, 729R-4, 729R-5, 729R-6 & 729R-7 REPLAT, REZONE AND DENSITY TRANSFER, A REPLAT OF LOTS 726R, 729R AND TRACT 727R, MOUNTAIN VILLAGE, COLORADO, RECORDED JANUARY 23, 2001 IN PLAT BOOK 1 AT PAGE 2850,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

- Easement research and legal description from Land Title Guarantee Company, Order No. TLR86010167, dated July 9, 2020 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Map 08113C0287-D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
- BASIS OF BEARINGS:** Found monuments along the western boundary of Lot 138, as shown hereon, assumed to have the record bearing of N 05°16'57" E according to Plat Book 1 at page 476.
- Benchmark: Found 1/2 Aluminum cap on no. 5 rebar, LS 28652 as shown hereon, with an assumed elevation of 9225.87 feet.
- Contour interval is two feet.
- Slopes 30% or greater exist on Lot 729R-6 as shown hereon.
- There are no known underground utilities located on lot 729R-6 other than those associated with the utility pedestals shown along Pennington Place. Utility locates should be performed by respective providers before any construction.
- There are no known wetlands located on Lot 729R-6. It is recommended that the owner confirm with the Town of Mountain Village.
- NOTICE:** According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

Existing Conditions Plan Lot 729R-6, Town of Mountain Village Located within Section 4, T. 42 N., R. 9 W., San Miguel County, Colorado		Project Mgr: JH	FOLEY ASSOCIATES, INC. ENGINEERING · PLANNING · SURVEYING	970-728-6153 970-728-6050 fax
		Technician: FD		125 W. Pacific Ave., Suite B-1
		Technician: CC		Telluride, Colorado, 81435
		Checked by: CC	Start date: 07 / 15 / 2020	Drawing path: dwg\20017 729R-6 ECP 05-21.dwg
				Sheet1 of 1 Project #: 20017

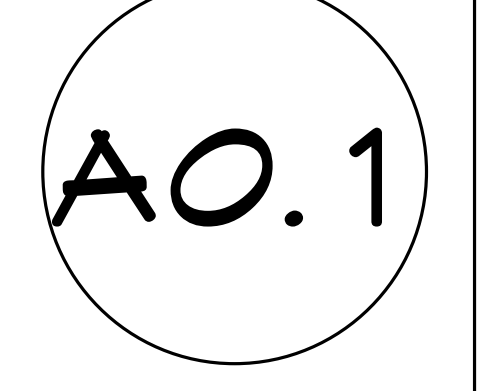


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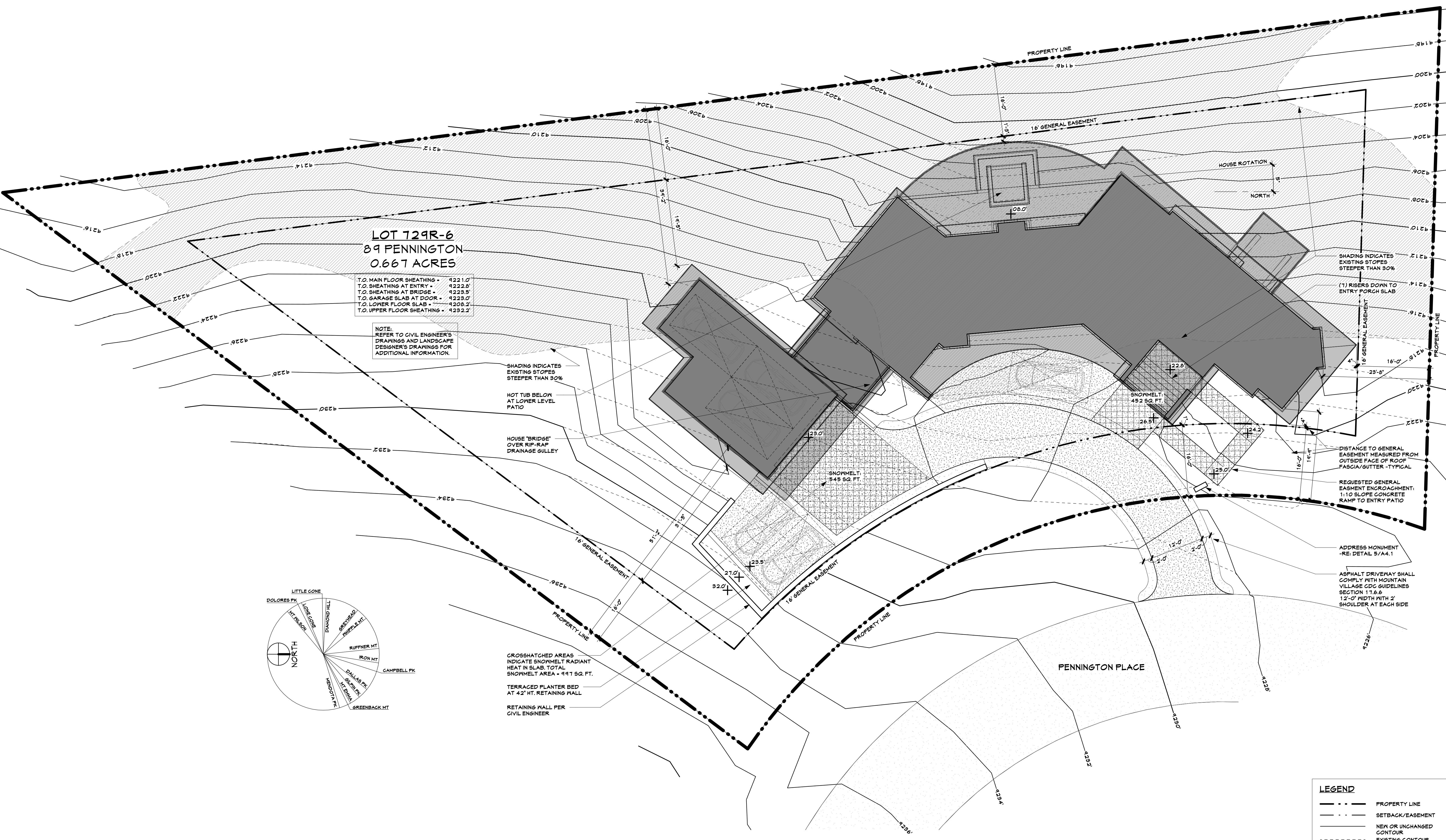
NOTICE: DUTY OF COOPERATION
 Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his consultants have performed their services with care and skill, they cannot be held responsible for any errors, omissions, and omissions that may occur. Any ambiguity or discrepancy in the drawings and specifications shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences. The Contractor and Owner are authorized and shall relieve the Architect and Owner of such responsibility for all consequences arising out of such changes.

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 89 PENNINGTON PLACE
 MOUNTAIN VILLAGE, CO 81435

Issue: 8-20-2021
 drawn by: OTHERS
 revision # revision date
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LOT 129R-6
89 PENNINGTON
0.667 ACRES

T.O. MAIN FLOOR SHEATHING = 4221.0
 T.O. SHEATHING AT ENTRY = 4222.0
 T.O. SHEATHING AT BRIDGE = 4223.5
 T.O. GARAGE SLAB AT DOOR = 4223.0
 T.O. LOWER FLOOR SLAB = 4208.2
 T.O. UPPER FLOOR SHEATHING = 4232.2

NOTE:
 REFER TO CIVIL ENGINEER'S
 DRAWINGS AND LANDSCAPE
 DESIGNER'S DRAWINGS FOR
 ADDITIONAL INFORMATION.

SHADING INDICATES
 EXISTING SLOPES
 STEEPER THAN 30%

HOT TUB BELOW
 AT LOWER LEVEL
 PATIO

HOUSE 'BRIDGE'
 OVER RIP-RAP
 DRAINAGE GULLEY

CROSSHATCHED AREAS
 INDICATE SNOWMELT RADIANT
 HEAT IN SLAB. TOTAL
 SNOWMELT AREA = 491 SQ. FT.

TERRACED PLANTER BED
 AT 42' HT. RETAINING WALL

RETAINING WALL PER
 CIVIL ENGINEER

SHADING INDICATES
 EXISTING SLOPES
 STEEPER THAN 30%

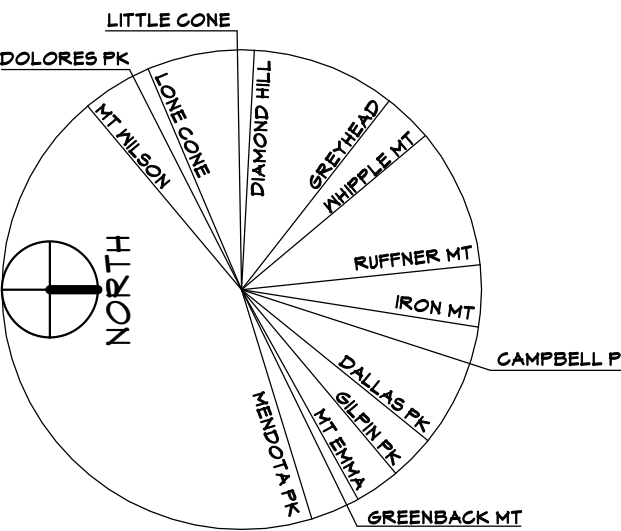
(1) RISERS DOWN TO
 ENTRY PORCH SLAB

DISTANCE TO GENERAL
 EASEMENT MEASURED FROM
 OUTSIDE FACE OF ROOF
 FASCIA/GUTTER - TYPICAL

REQUESTED GENERAL
 EASEMENT ENCROACHMENT:
 1:10 SLOPE CONCRETE
 RAMP TO ENTRY PATIO

ADDRESS MONUMENT
 -RE. DETAIL 5/A4.1

ASPHALT DRIVEWAY SHALL
 COMPLY WITH MOUNTAIN
 VILLAGE CDC GUIDELINES
 SECTION 11.6.6
 12'-0" WIDTH WITH 2'
 SHOULDER AT EACH SIDE



SITE PLAN
 1" = 10'-0"

LEGEND	
---	PROPERTY LINE
---	SETBACK/EASEMENT
---	NEW OR UNCHANGED CONTOUR
---	EXISTING CONTOUR TO BE RE-GRADED
---	NEW STRUCTURE
---	NEW OVERHANG, ROOF EAVE OR DECK
---	EXISTING ROAD/PAVING
---	NEW ROAD/PAVING
---	SNOWMELT PAVING

LEGAL DESCRIPTION
 LOT 129R-6, TOWN OF MOUNTAIN VILLAGE, LOCATED WITHIN SECTION 4, T. 42 N, R. 9 M, SAN MIGUEL COUNTY, COLORADO

CUSTOM RESIDENCE
89 PENNINGTON PLACE
MOUNTAIN VILLAGE, CO 81435

Issue: 8-20-2021
 drawn by: KK/TB
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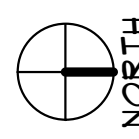
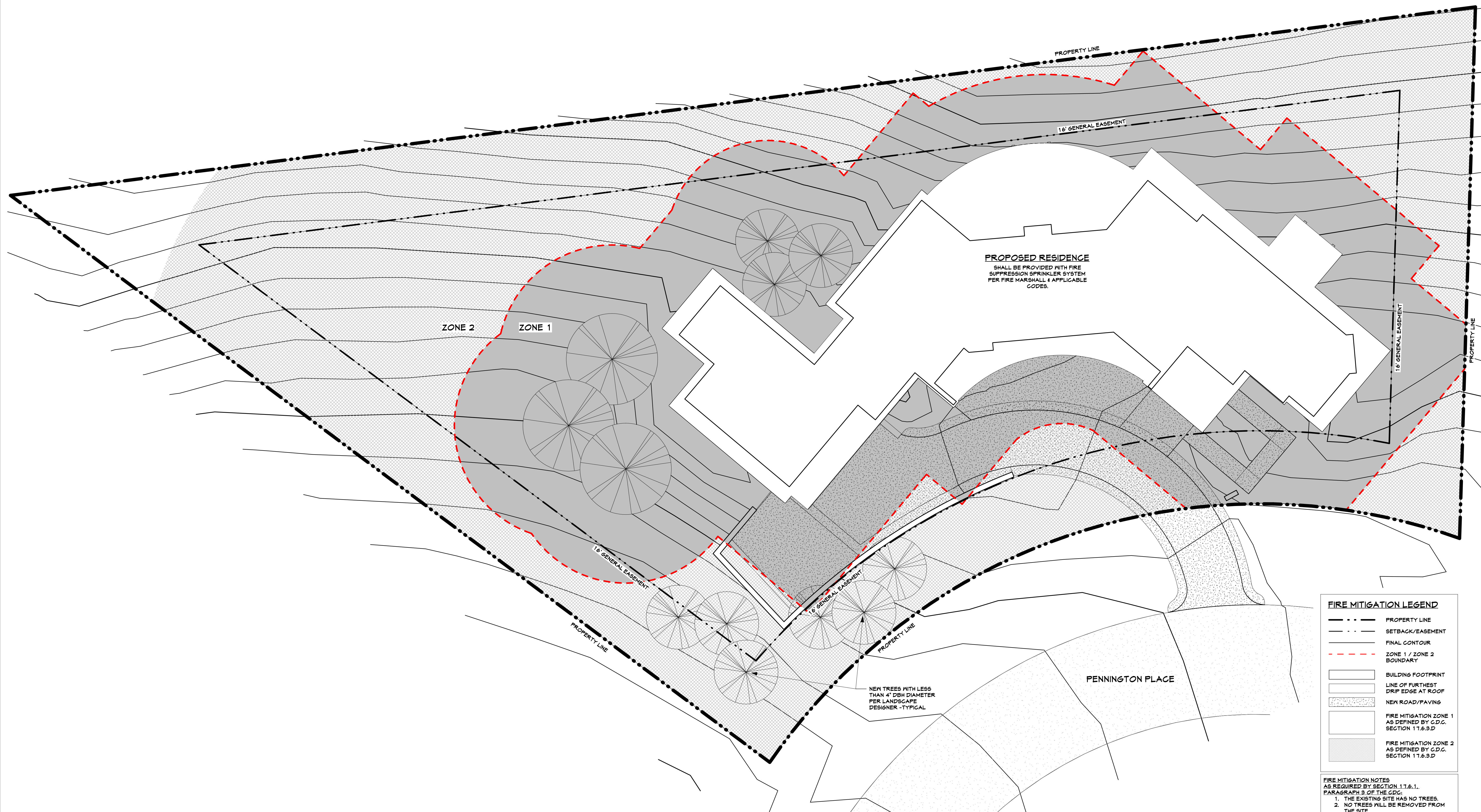
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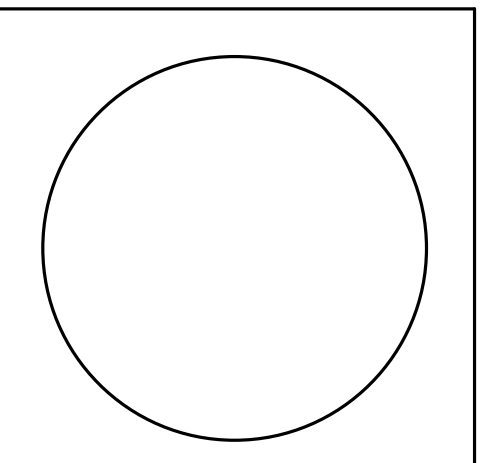
FIRE MITIGATION ZONE PLAN

1" = 10'-0"

FIRE MITIGATION LEGEND

- PROPERTY LINE
- - - SETBACK/EASEMENT
- FINAL CONTOUR
- - - ZONE 1 / ZONE 2 BOUNDARY
- [Symbol] BUILDING FOOTPRINT
- [Symbol] LINE OF FURTHEST DRIP EDGE AT ROOF
- [Symbol] NEW ROAD/PAVING
- [Symbol] FIRE MITIGATION ZONE 1 AS DEFINED BY C.D.C. SECTION 17.6.3.D
- [Symbol] FIRE MITIGATION ZONE 2 AS DEFINED BY C.D.C. SECTION 17.6.3.D

- FIRE MITIGATION NOTES AS REQUIRED BY SECTION 17.6.1. PARAGRAPH 3 OF THE C.D.C.**
1. THE EXISTING SITE HAS NO TREES.
 2. NO TREES WILL BE REMOVED FROM THE SITE.
 3. A FINAL SITE PLAN WILL BE SUBMITTED PREPARED BY A LICENSED COLORADO LANDSCAPE ARCHITECT.
 4. ALL NEW LANDSCAPE MATERIAL WILL BE PLACED AND MAINTAINED TO COMPLY WITH THE REQUIREMENTS OF SECTION 17.6.1 PARAGRAPH 3 SUBPARAGRAPH D.



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A0.3

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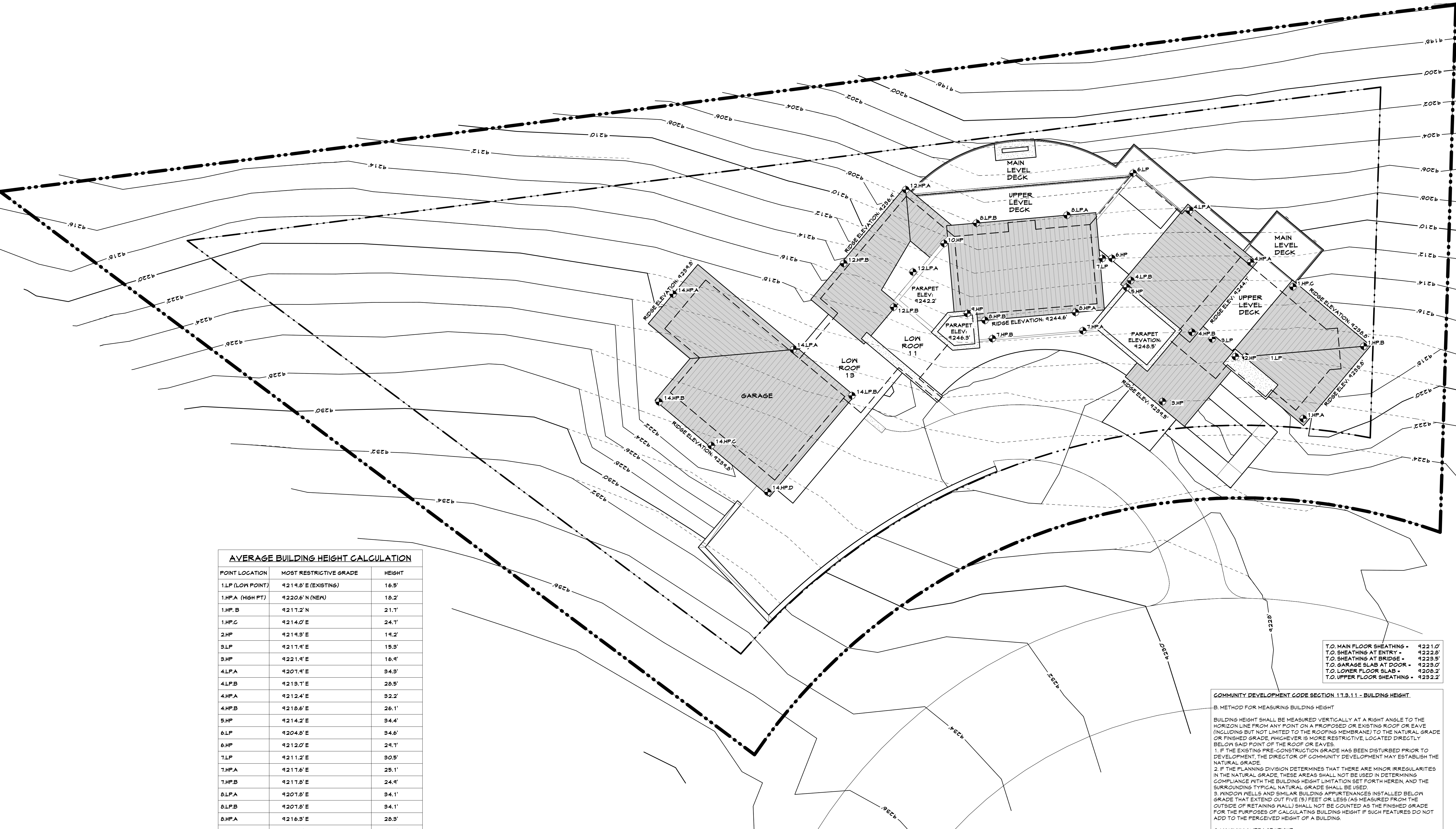
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AO.4

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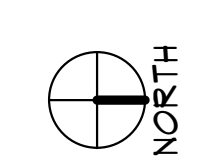


AVERAGE BUILDING HEIGHT CALCULATION

POINT LOCATION	MOST RESTRICTIVE GRADE	HEIGHT
1.LP (LOW POINT)	9219.8' E (EXISTING)	16.5'
1.HP.A (HIGH PT)	9220.6' N (NEW)	18.2'
1.HP.B	9217.2' N	21.7'
1.HP.C	9214.0' E	24.7'
2.HP	9219.3' E	19.2'
3.LP	9217.4' E	15.3'
3.HP	9221.4' E	16.4'
4.LP.A	9207.4' E	34.3'
4.LP.B	9219.7' E	28.5'
4.HP.A	9212.4' E	32.2'
4.HP.B	9218.6' E	26.1'
5.HP	9214.2' E	34.4'
6.LP	9204.8' E	34.6'
6.HP	9212.0' E	29.7'
7.LP	9211.2' E	30.5'
7.HP.A	9217.6' E	25.1'
7.HP.B	9217.8' E	24.9'
8.LP.A	9207.8' E	34.1'
8.LP.B	9207.8' E	34.1'
8.HP.A	9216.3' E	28.3'
8.HP.B	9216.3' E	28.3'
9.HP	9215.2' E	31.3'
10.HP	9210.4' E	31.8'
LOW SECONDARY ROOF 11 NOT COUNTED		
12.LP.A	9214.3' E	20.8'
12.LP.B	9216.7' E	18.2'
12.HP.A	9207.2' E	24.7'
12.HP.B	9214.2' N	22.7'
LOW SECONDARY ROOF 13 NOT COUNTED		
14.LP.A	9219.1' N	17.1'
14.LP.B	9220.6' N	15.6'
14.HP.A	9220.0' N	14.8'
14.HP.B	9221.5' N	18.3'
14.HP.C	9221.8' N	18.0'
14.HP.D	9223.2' N	16.6'
AVERAGE HEIGHT		24.8'
MAX AVERAGE HEIGHT ALLOWABLE		30.0'
MARGIN OF COMPLIANCE		5.2'

MAXIMUM BUILDING HEIGHT CALCULATIONS

6.LP	HIGHEST POINT ABOVE RELATIVE GRADE
MOST RESTRICTIVE GRADE BELOW	EXISTING 9204.8'
BUILDING HEIGHT	34.6'
MAXIMUM BUILDING HEIGHT ALLOWABLE	35.0'
MARGIN OF COMPLIANCE	0.4'
5.HP	
MOST RESTRICTIVE GRADE BELOW	EXISTING 9214.2'
BUILDING HEIGHT	34.4'
MAX BUILDING HEIGHT ALLOWABLE	35.0'
MARGIN OF COMPLIANCE	0.6'
4.LP.A	
MOST RESTRICTIVE GRADE BELOW	EXISTING 9207.4'
BUILDING HEIGHT	34.3'
MAX HEIGHT ALLOWABLE	35.0'
MARGIN OF COMPLIANCE	0.7'



HEIGHT LIMIT ANALYSIS

1" = 10'-0"

COMMUNITY DEVELOPMENT CODE SECTION 17.9.11 - BUILDING HEIGHT.

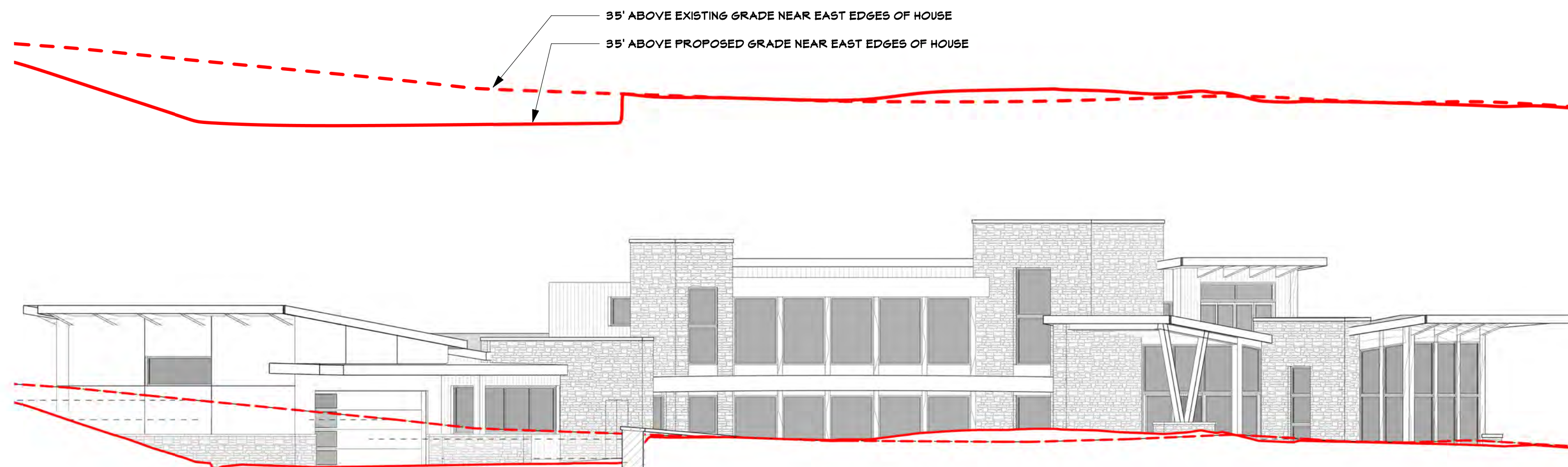
B. METHOD FOR MEASURING BUILDING HEIGHT
BUILDING HEIGHT SHALL BE MEASURED VERTICALLY AT A RIGHT ANGLE TO THE HORIZON LINE FROM ANY POINT ON A PROPOSED OR EXISTING ROOF OR EAVE (INCLUDING BUT NOT LIMITED TO THE ROOFING MEMBRANE) TO THE NATURAL GRADE OR FINISHED GRADE, WHICHEVER IS MORE RESTRICTIVE, LOCATED DIRECTLY BELOW SAID POINT OF THE ROOF OR EAVE.
1. IF THE EXISTING PRE-CONSTRUCTION GRADE HAS BEEN DISTURBED PRIOR TO DEVELOPMENT, THE DIRECTOR OF COMMUNITY DEVELOPMENT MAY ESTABLISH THE NATURAL GRADE.
2. IF THE PLANNING DIVISION DETERMINES THAT THERE ARE MINOR IRREGULARITIES IN THE NATURAL GRADE, THESE AREAS SHALL NOT BE USED IN DETERMINING COMPLIANCE WITH THE BUILDING HEIGHT LIMITATION SET FORTH HEREIN, AND THE SURROUNDING TYPICAL NATURAL GRADE SHALL BE USED.
3. PONDON WELLS AND SIMILAR BUILDING APPURTENANCES INSTALLED BELOW GRADE THAT EXTEND OUT FIVE (5) FEET OR LESS (AS MEASURED FROM THE OUTSIDE OF RETAINING WALL) SHALL NOT BE COUNTED AS THE FINISHED GRADE FOR THE PURPOSES OF CALCULATING BUILDING HEIGHT IF SUCH FEATURES DO NOT ADD TO THE PERCEIVED HEIGHT OF A BUILDING.

C. MAXIMUM AVERAGE HEIGHT
1. MAXIMUM AVERAGE HEIGHT SHALL BE MEASURED FROM THE FINISHED GRADE TO A POINT ON THE ROOF PLANE MIDWAY BETWEEN THE EAVE AND RIDGE.
2. ON COMPLEX BUILDINGS WITH MULTIPLE HEIGHTS AND/OR BUILDINGS WITH MULTIPLE HEIGHTS ON SLOPING SITES, THE MAXIMUM AVERAGE HEIGHT SHALL BE DETERMINED BY TAKING THE AVERAGE OF HEIGHTS AT EQUAL INTERVALS AROUND THE PERIMETER OF A BUILDING. THOSE INTERVALS SHALL BE NO MORE THAN TWENTY (20) FEET. WHEN MULTIPLE ROOFS OCCUR WITHIN ANY INTERVAL, THE HEIGHT FOR THAT INTERVAL SHALL BE MEASURED FROM THE FINISHED GRADE OR NATURAL GRADE (WHICHEVER IS MOST RESTRICTIVE) TO A POINT ON THE HIGHEST PRIMARY ROOF (MIDWAY BETWEEN THE EAVE AND THE RIDGE). FOR PURPOSES OF DETERMINING THE MAXIMUM AVERAGE HEIGHT ON COMPLEX BUILDINGS, A ROOF SHALL HAVE A HORIZONTAL PROJECTION OF AT LEAST TEN (10) FEET. THIS DEFINITION DOES NOT INTEND TO ALLOW STRATEGIES TO CIRCUMVENT THE INTENTION OF THE MAXIMUM AVERAGE HEIGHT LIMITATION THROUGH SUCH RELATIONSHIPS AS HIGH-RISE STRUCTURES SURROUNDED BY LOW SECONDARY ROOFS.**

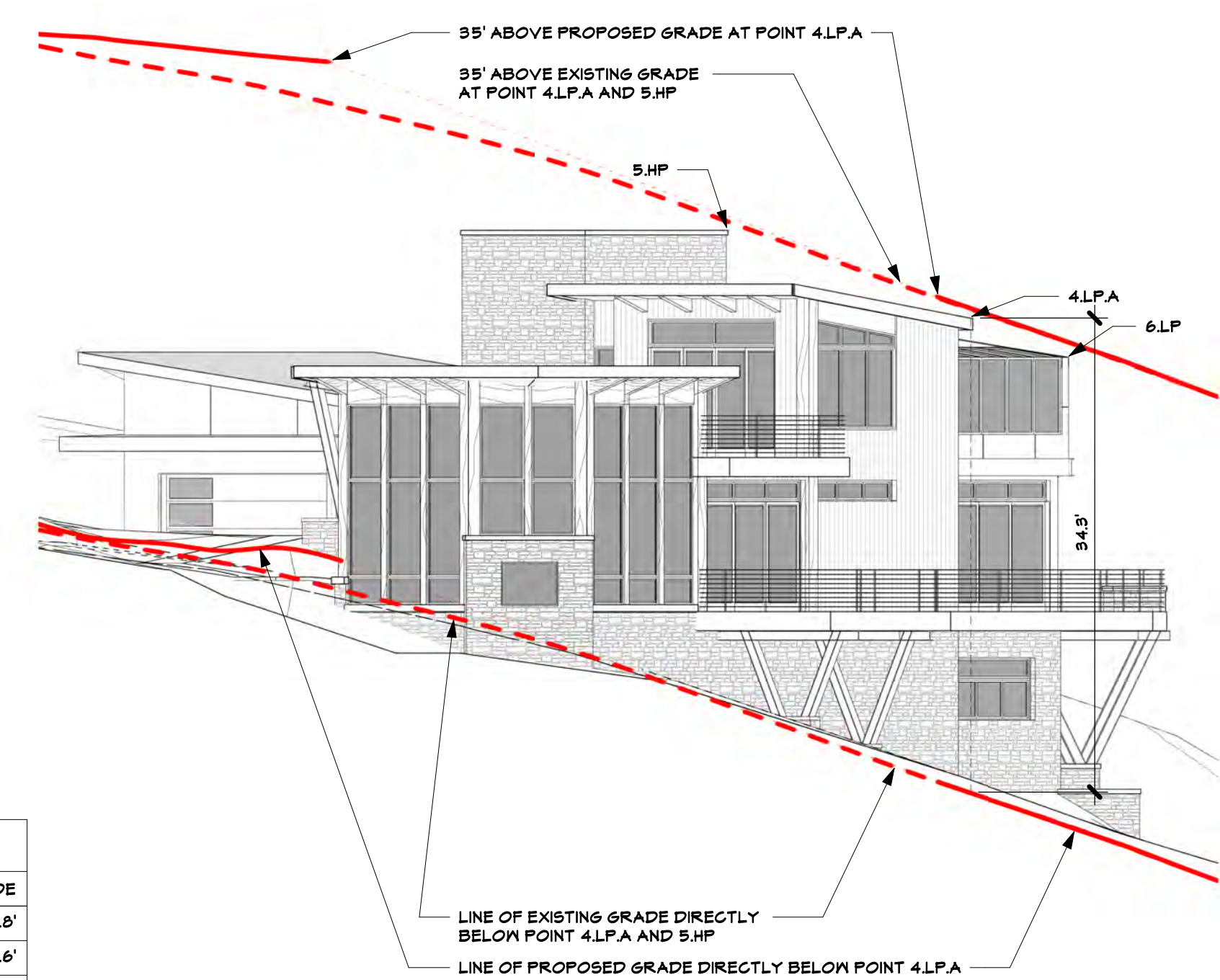
89 PENNINGTON HEIGHT ANALYSIS NOTES:

- "LOW SECONDARY ROOFS 11 AND 13 HAVE NOT BEEN COUNTED TOWARDS THE AVERAGE HEIGHT.
- ALL ROOFS AND PARAPETS SHADED GREY ARE COUNTED TOWARDS THE AVERAGE HEIGHT.
- SLOPED ROOFS ARE ASSIGNED POINTS AT THE LOW EDGE AND THE HIGH EDGE, AT 20' INTERVALS ALONG THE LENGTH OF THAT ROOF.
- FLAT ROOFS ARE ASSIGNED POINTS AT 20' INTERVALS ALONG THE LENGTH OF THAT ROOF. POINTS ARE PLACED ON PARAPETS WHERE APPLICABLE, AND LOCATED ABOVE THE MOST RESTRICTIVE GRADE WITHIN THE FOOTPRINT OF THAT ROOF.

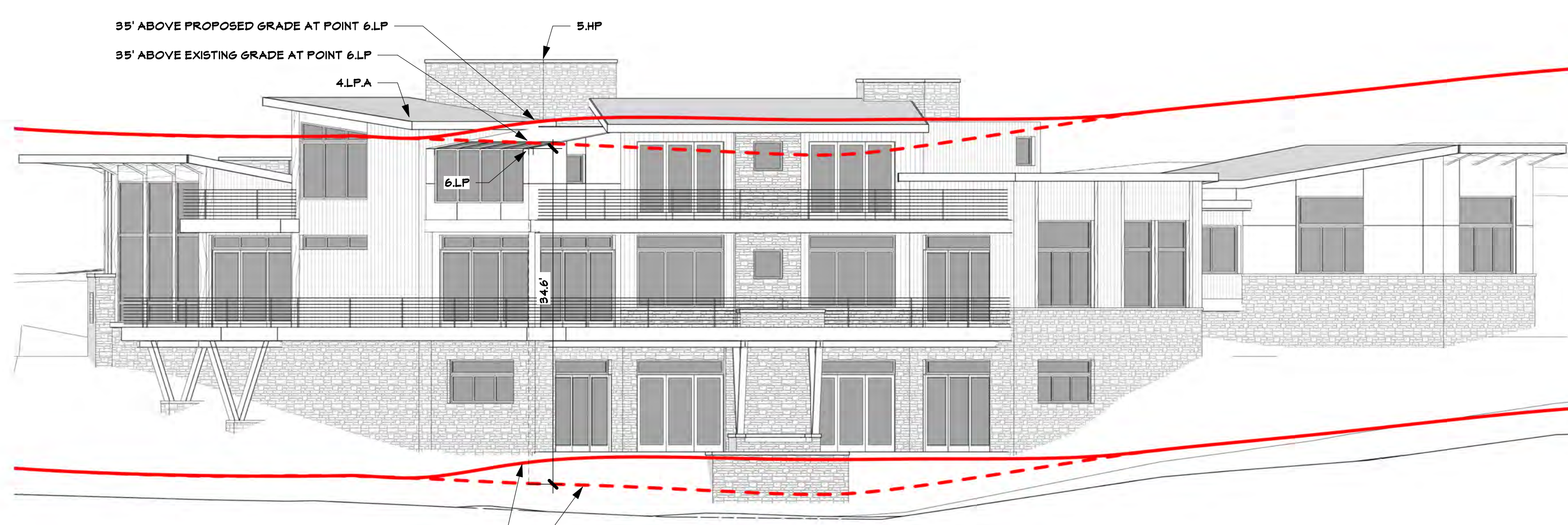
T.O. MAIN FLOOR SHEATHING = 9221.0'
T.O. SHEATHING AT ENTRY = 9222.8'
T.O. SHEATHING AT BRIDGE = 9223.5'
T.O. GARAGE SLAB AT DOOR = 9228.0'
T.O. LOWER FLOOR SLAB = 9208.2'
T.O. UPPER FLOOR SHEATHING = 9232.2'



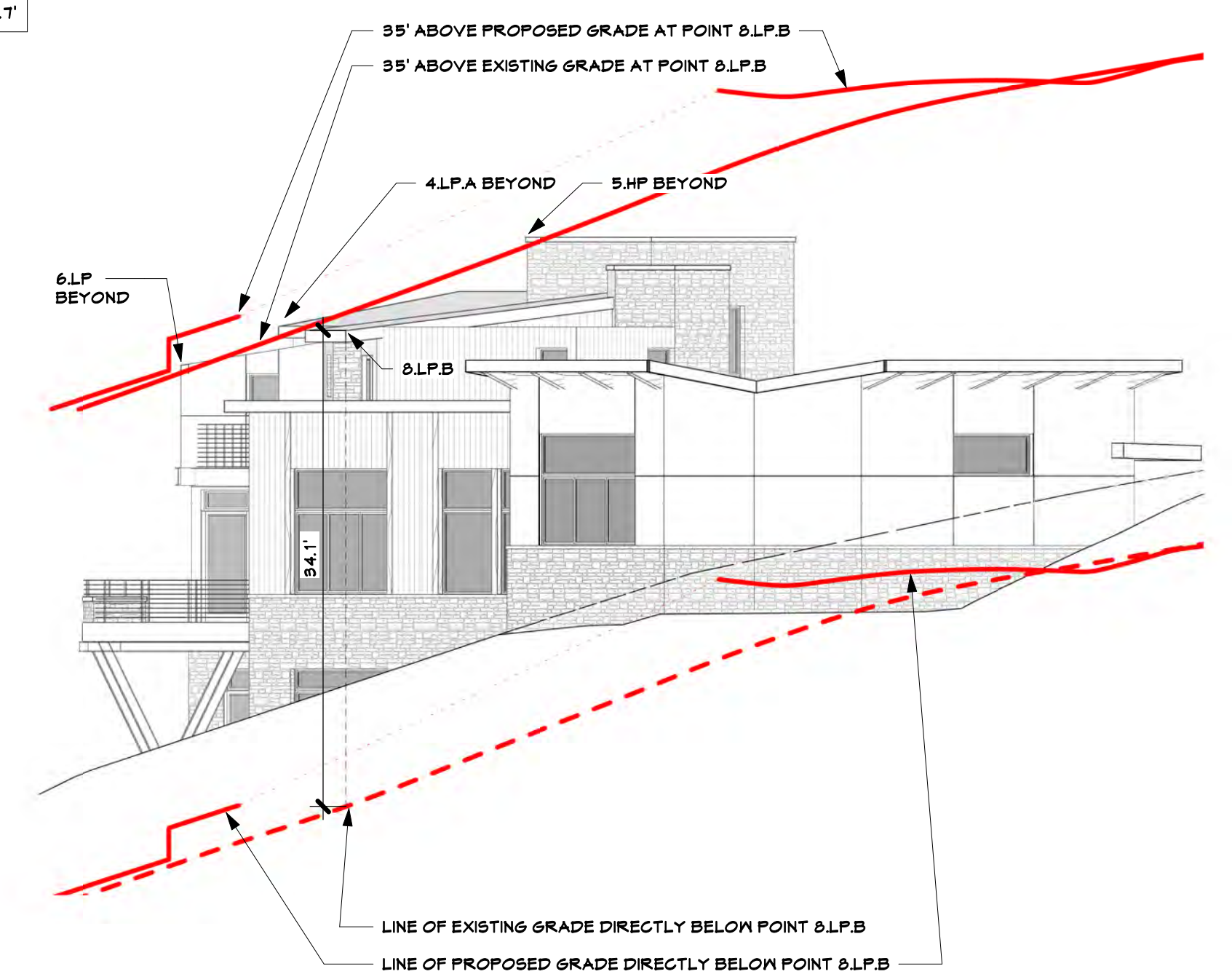
EAST ELEVATION
1" = 10'-0"



NORTH ELEVATION
1" = 10'-0"

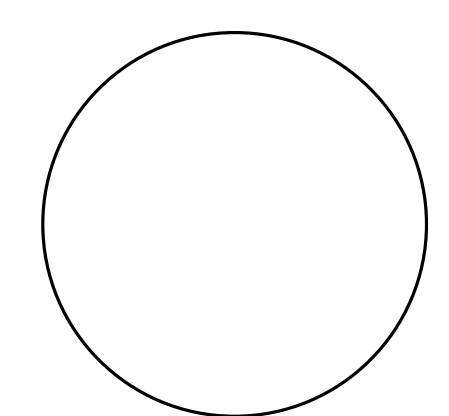


WEST ELEVATION
1" = 10'-0"



SOUTH ELEVATION
1" = 10'-0"

MAXIMUM BUILDING HEIGHT CALCULATIONS		
6.L.P.	HIGHEST POINT ABOVE RELATIVE GRADE	
MOST RESTRICTIVE GRADE BELOW	EXISTING	9204.8'
BUILDING HEIGHT		34.6'
MAXIMUM BUILDING HEIGHT ALLOWABLE		35.0'
MARGIN OF COMPLIANCE		0.4'
5.H.P.	SECOND HIGHEST POINT ABOVE RELATIVE GRADE	
MOST RESTRICTIVE GRADE BELOW	EXISTING	9214.2'
BUILDING HEIGHT		34.4'
MAX BUILDING HEIGHT ALLOWABLE		35.0'
MARGIN OF COMPLIANCE		0.6'
4.L.P.A.	THIRD HIGHEST POINT ABOVE RELATIVE GRADE	
MOST RESTRICTIVE GRADE BELOW	EXISTING	9207.4'
BUILDING HEIGHT		34.3'
MAX HEIGHT ALLOWABLE		35.0'
MARGIN OF COMPLIANCE		0.7'



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CUSTOM RESIDENCE
89 PENNINGTON PLACE
MOUNTAIN VILLAGE, CO 81435

Issue: 8-20-2021
drawn by: KK/TB
revision # revision date

PROGRESS SET
NOT FOR
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A0.5

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EXTERIOR FIXTURE A:
EUROFASE "34898-30" RECESSED LED
 LUMENS: 810
 COLOR TEMP: 3000 K
 LAMP TYPE: LED
 WATTS: 12

EXTERIOR FIXTURE B:
DELTA "HELI X" SCREEN LED
 LUMENS: 120
 COLOR TEMP: 3000 K
 LAMP TYPE: LED
 WATTS: 1

EUROFASE INC.
 TEL 905.695.2055 toll free 1.800.660.5391
 FAX 905.695.2056 toll free 1.800.660.5390
 33 West Beaver Creek Road Richmond Hill, Ontario Canada L4B 1L9

34898-30, 3.5-INCH SQUARE LED RECESSED, 12W

PRODUCT DETAILS	
No.	34898-30-01
Product Color	BLACK
Length	4.3"
Width	4.3"
Height	2.875"

LIGHT SOURCE DETAILS	
Light Source Type	INTEGRATED LED
Input Voltage	120V
Bulb Voltage	120V
Socket Type	LED
Total Wattage	12W
Total Lumens	810lm
Kelvin	3000K
CRI	90
Dimmable	Yes

TECHNICAL DETAILS	
Location	INDOOR
Approval	ADA
Title 24	Yes
Beam Angle	40°
Out Hole Diameter	3.75"

OPTIONS AVAILABLE

ITEM NO.	FINISH	SHADE
34898-30-01	BLACK	
34898-30-02	WHITE	

PROJECT INFORMATION

Job Name: _____ Date: _____ Category: _____

Comments: _____

www.eurofase.com

Specification Sheet

HELI X SCREEN LED WW
 6 202 04 22



WebLink

Outcut shape/size: 1" 15/16 x 3" 7/16
 Recessed depth: 2" 3/8

Available colors: ALU GREY (6 202 04 22 A)
 DARK GREY (6 202 04 22 N)

LED 1.1W / 3000K; 1 x LED 1.1W / CRI>80 / 3000K / 120lm
 EXCL LED POWER SUPPLY 350mA DC
 For other CRI or KELVIN, contact factory

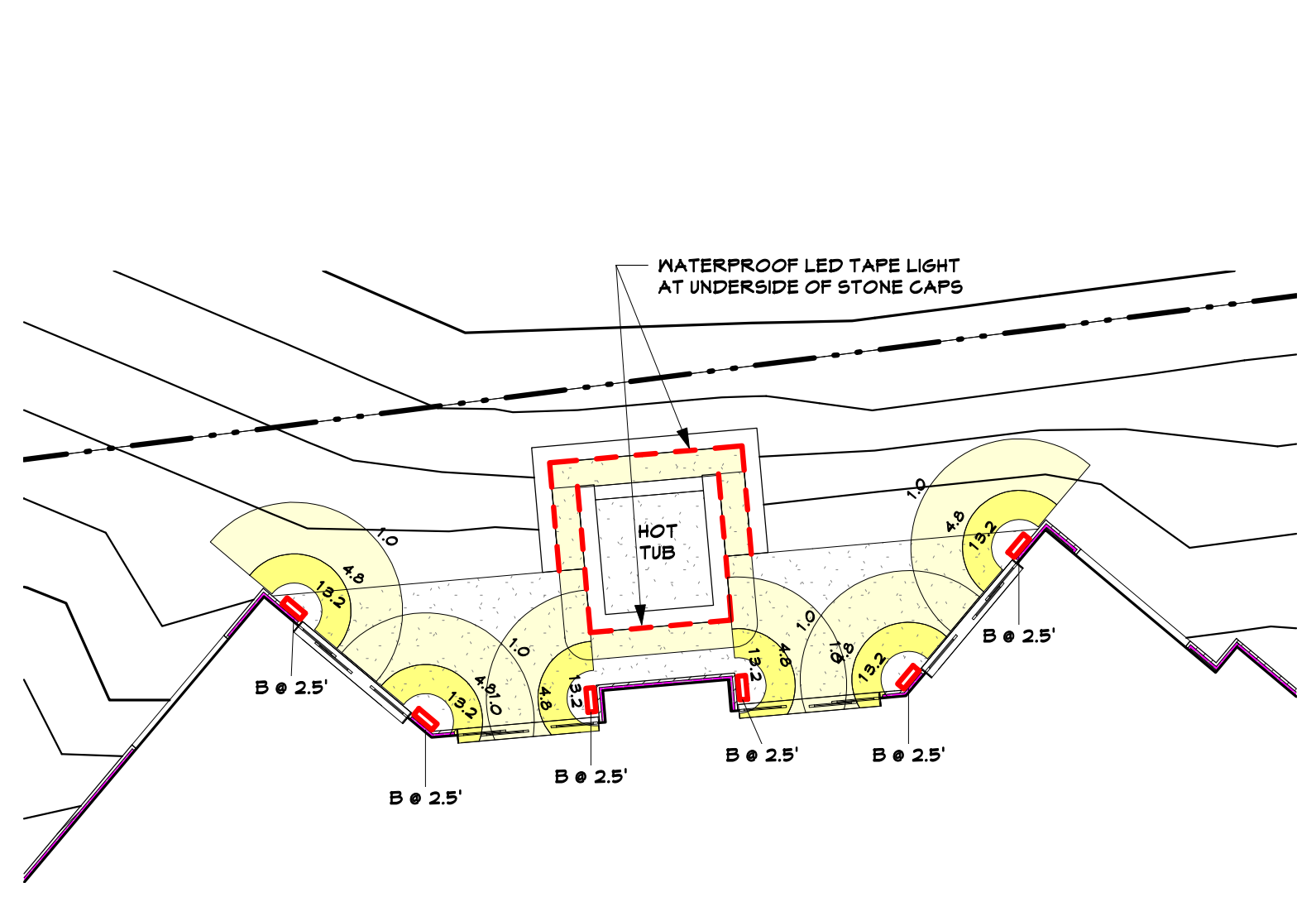
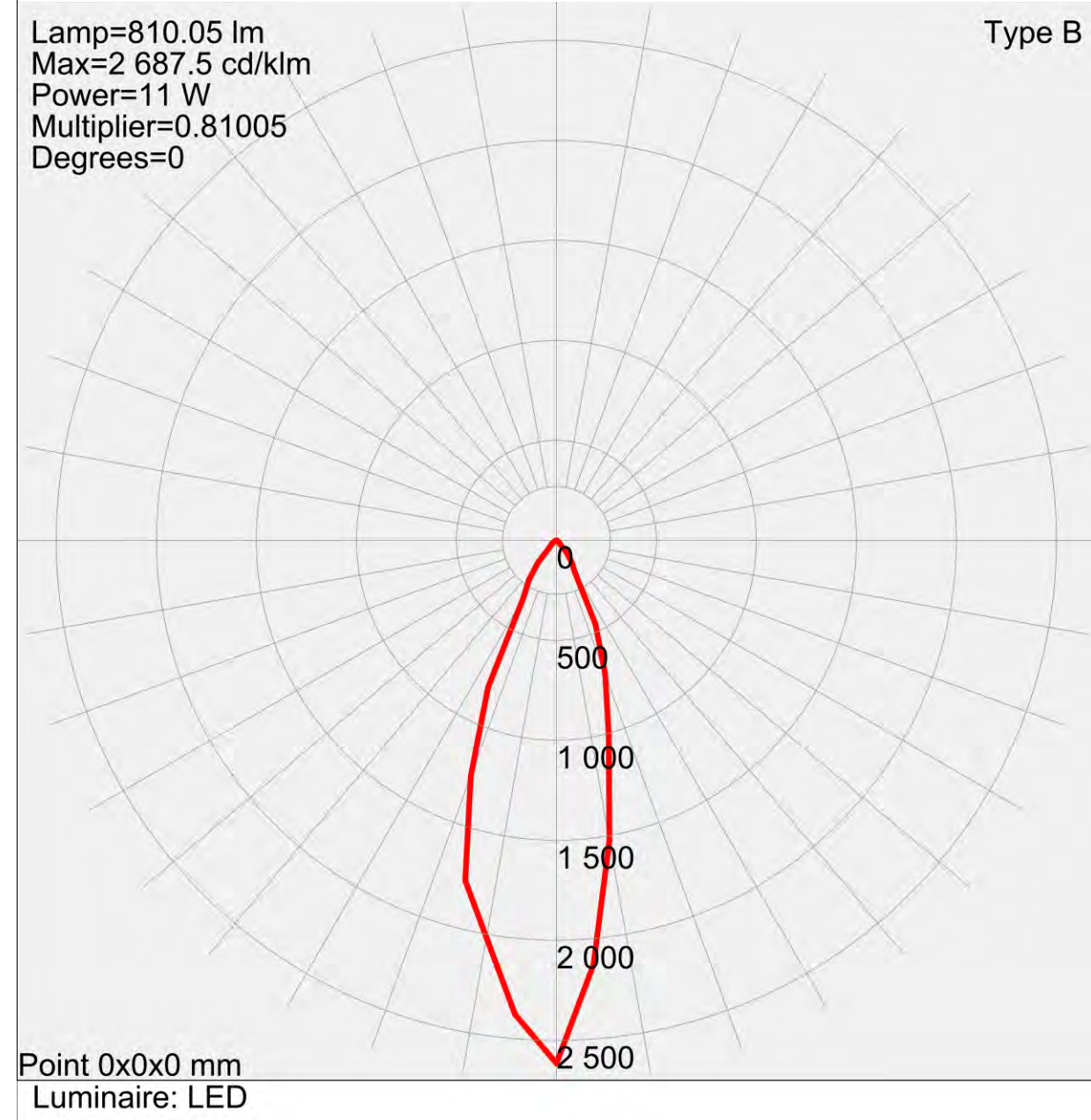
LED Technics: Light source: 120 lm // 1 W // 122 lm/W
 Luminaire: 18 lm // 2 W // 9 lm/W

Class 2: Yes
 Ada: N.a.

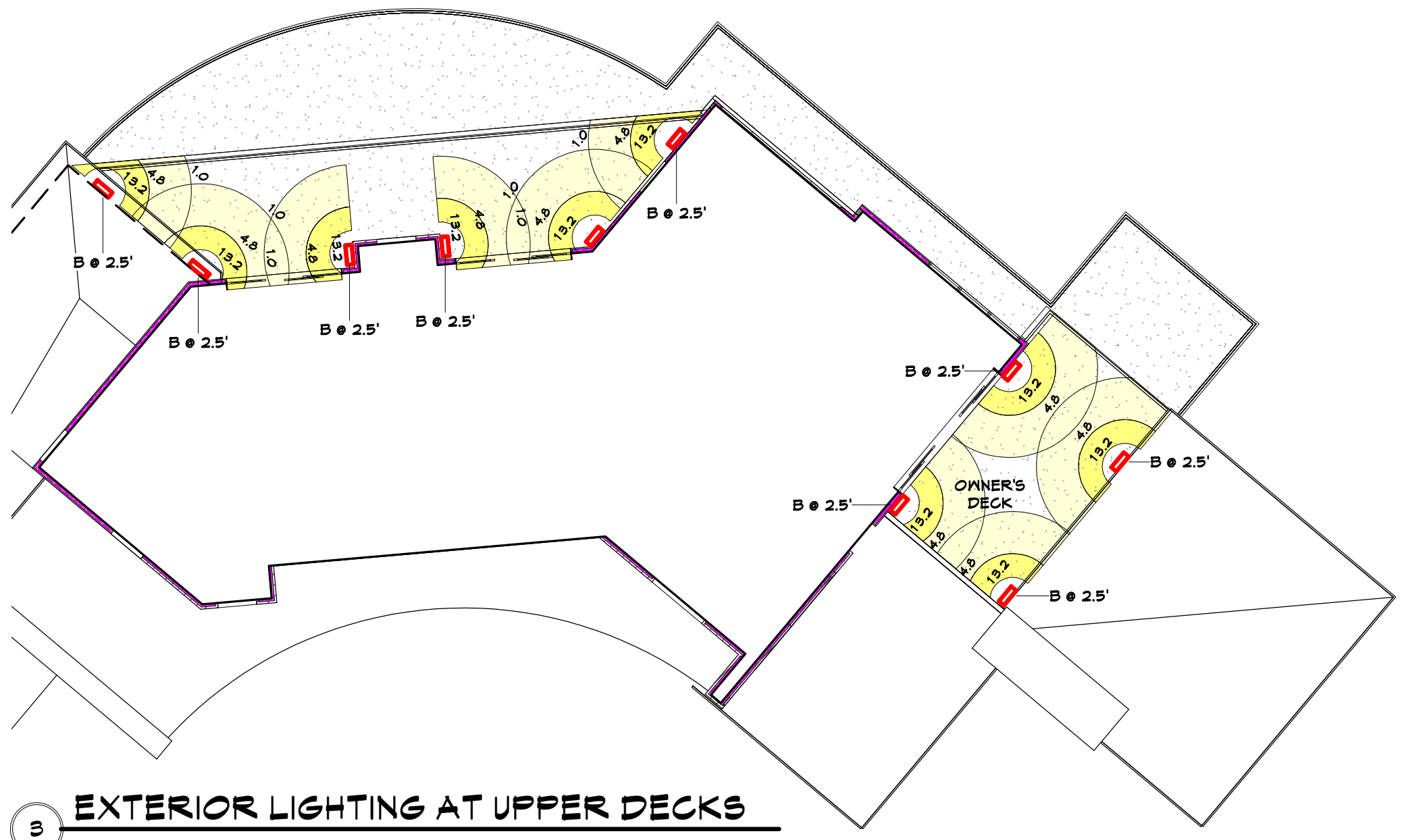
Weight: 0.7 LBS
 Protection level: IP54 - suitable for wet locations
 Minimum distance: n.a.

Options: CONCRETE BOX 187

Requirements:
 LED POWER SUPPLY 350mA DC DIM (Remote)
 For detailed installation instructions, please consult the manual: [2_202_04_22_HAND.pdf](#)



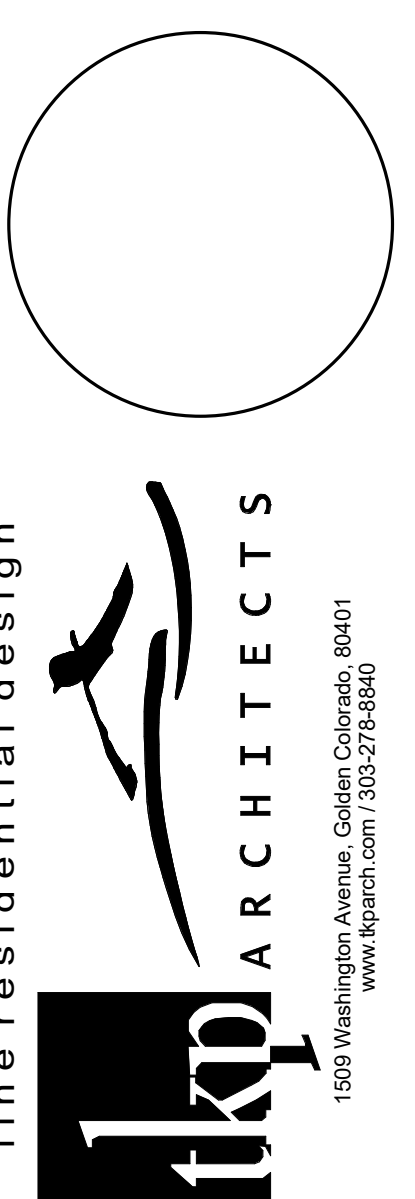
2 EXTERIOR LIGHTING AT LOWER PATIO
 1" = 10'-0"



B EXTERIOR LIGHTING AT UPPER DECKS
 1" = 10'-0"



EXTERIOR LIGHTING PLAN
 1" = 10'-0"



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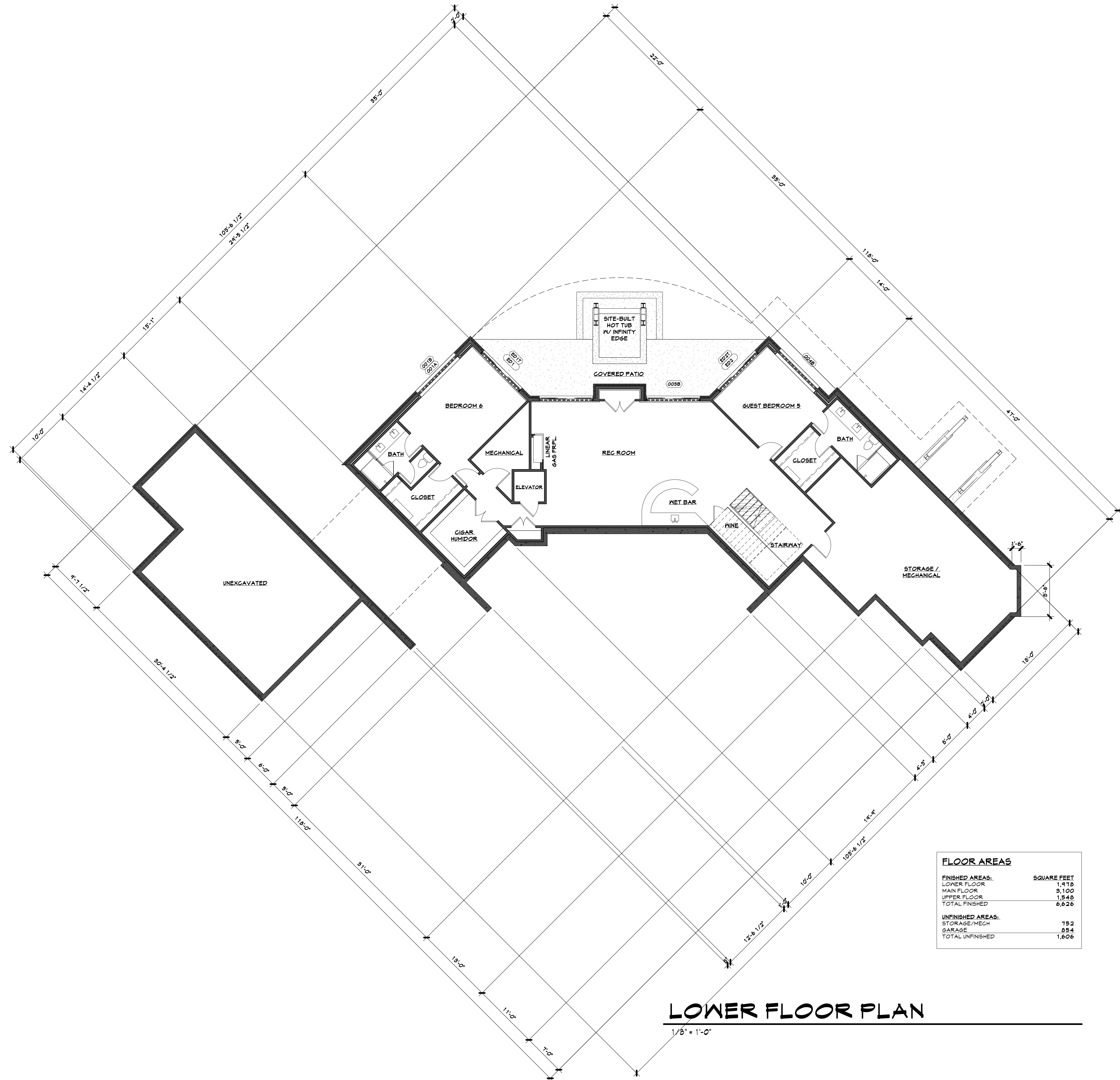
CUSTOM RESIDENCE
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 MOUNTAIN VILLAGE, CO 81435

Issue: 8-24-2021
 drawn by: KK/TB
 revision # revision date

PROGRESS SET
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A0.6

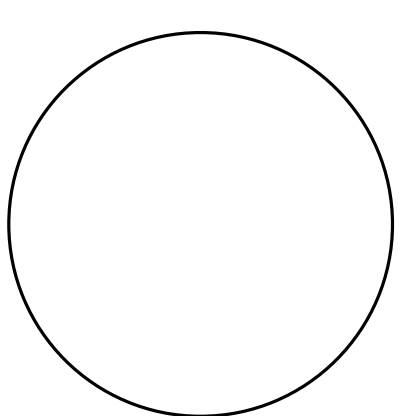
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FLOOR AREAS	
FINISHED AREAS:	SQUARE FEET
LOWER FLOOR	1,478
MAIN FLOOR	3,120
UPPER FLOOR	1,546
TOTAL FINISHED	6,626
UNFINISHED AREAS:	
STORAGE/MECH	752
GARAGE	894
TOTAL UNFINISHED	1,606

LOWER FLOOR PLAN

1/8" = 1'-0"



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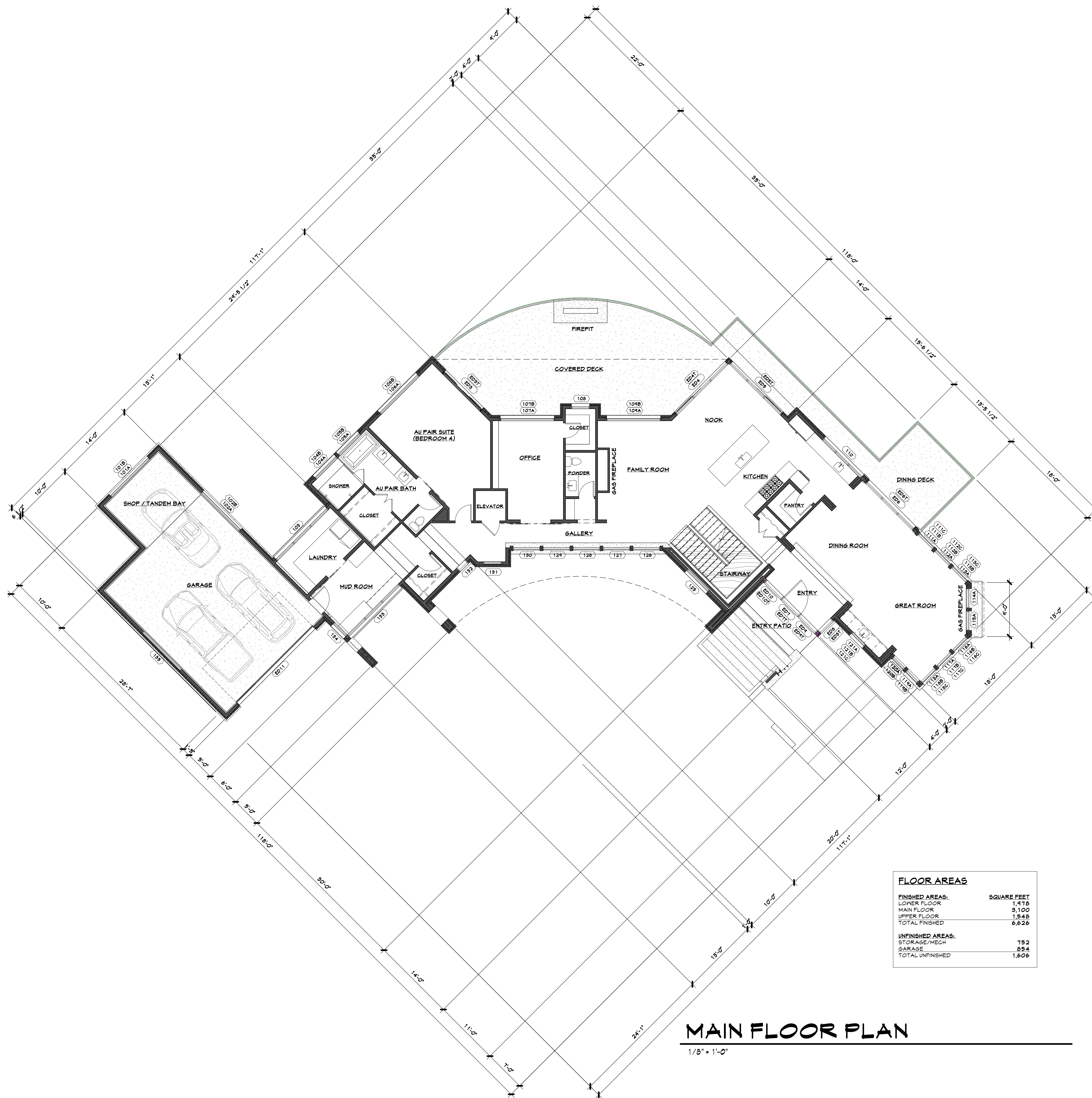
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Issue: 8-20-2021
 drawn by: KK/TB
 revision # revision date

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A. 1

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FLOOR AREAS	
FINISHED AREAS:	SQUARE FEET
LOWER FLOOR	1,478
MAIN FLOOR	3,120
UPPER FLOOR	1,546
TOTAL FINISHED	6,626
UNFINISHED AREAS:	
STORAGE/MECH	752
GARAGE	894
TOTAL UNFINISHED	1,606

MAIN FLOOR PLAN
1/8" = 1'-0"

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89 PENNINGTON PLACE
MOUNTAIN VILLAGE, CO 81435

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drawn by: KK/TB
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A.2

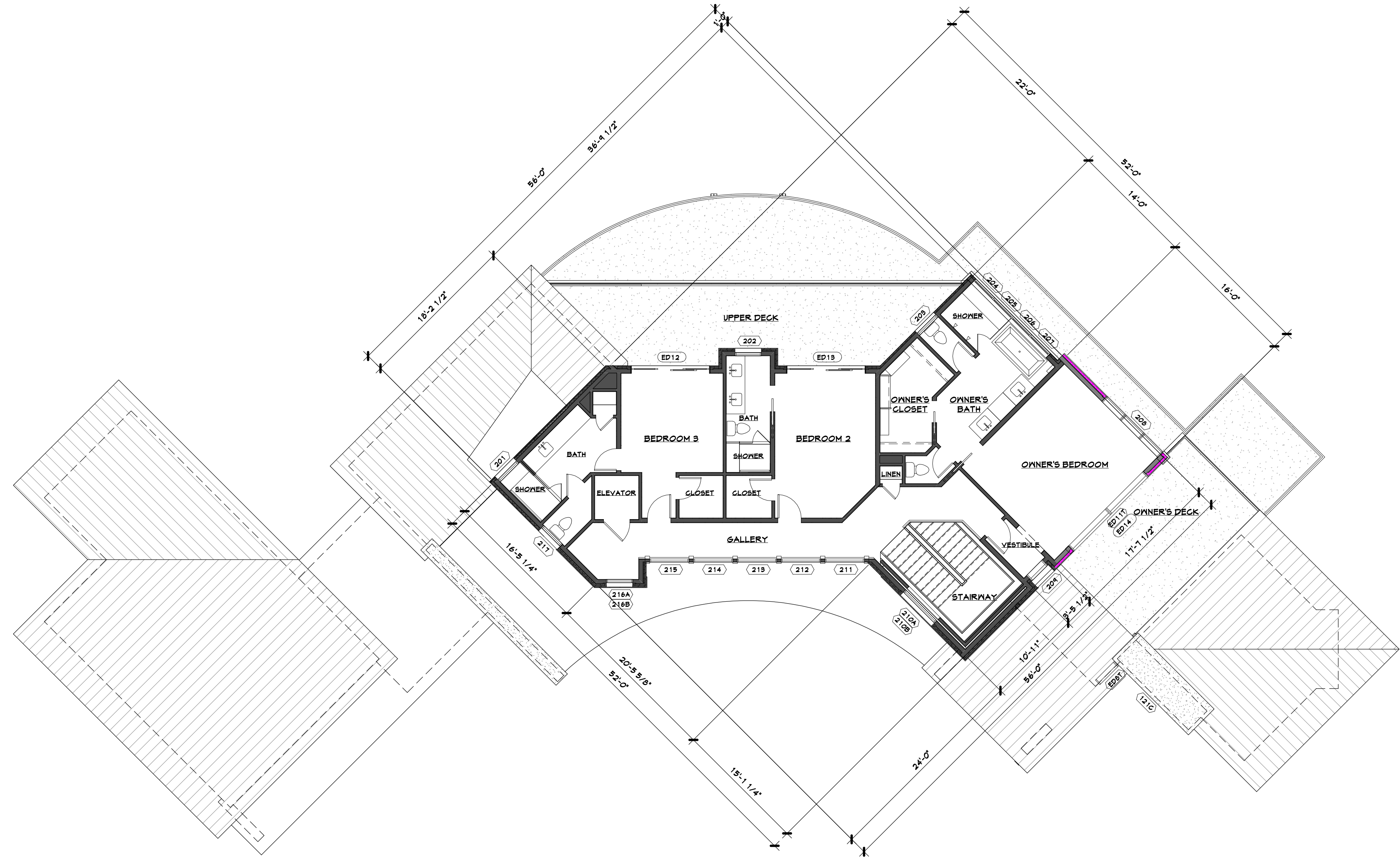
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UPPER FLOOR PLAN

1/8" = 1'-0"

FLOOR AREAS	
FINISHED AREAS:	SQUARE FEET
LOWER FLOOR	1,478
MAIN FLOOR	3,120
UPPER FLOOR	1,546
TOTAL FINISHED	6,626
UNFINISHED AREAS:	
STORAGE/MECH	752
GARAGE	894
TOTAL UNFINISHED	1,606

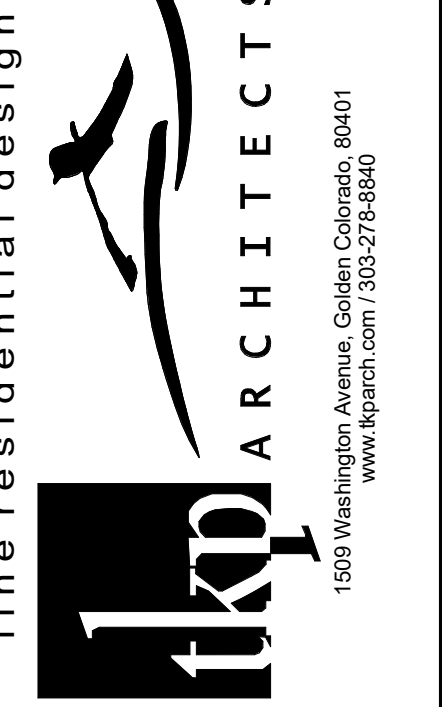
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 drawn by: KK/TB
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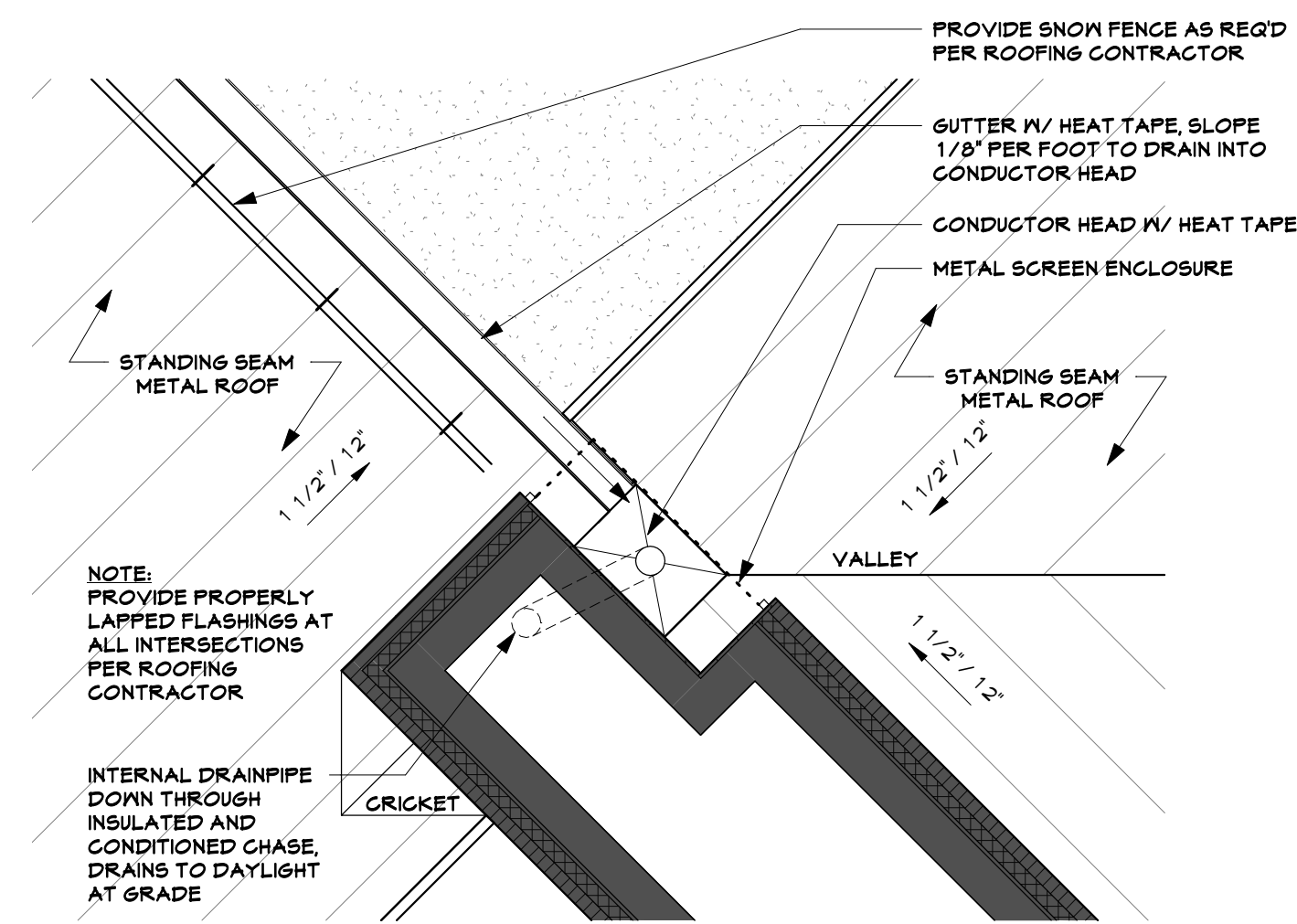
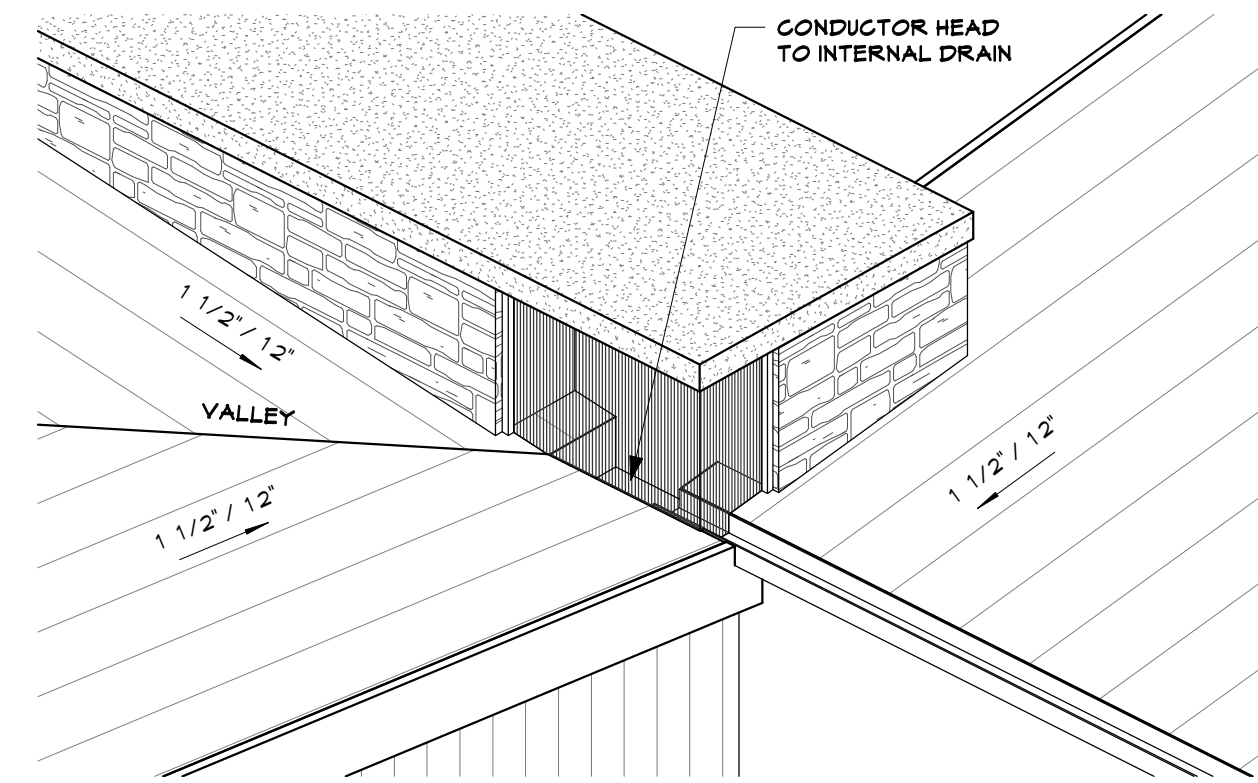
A.3

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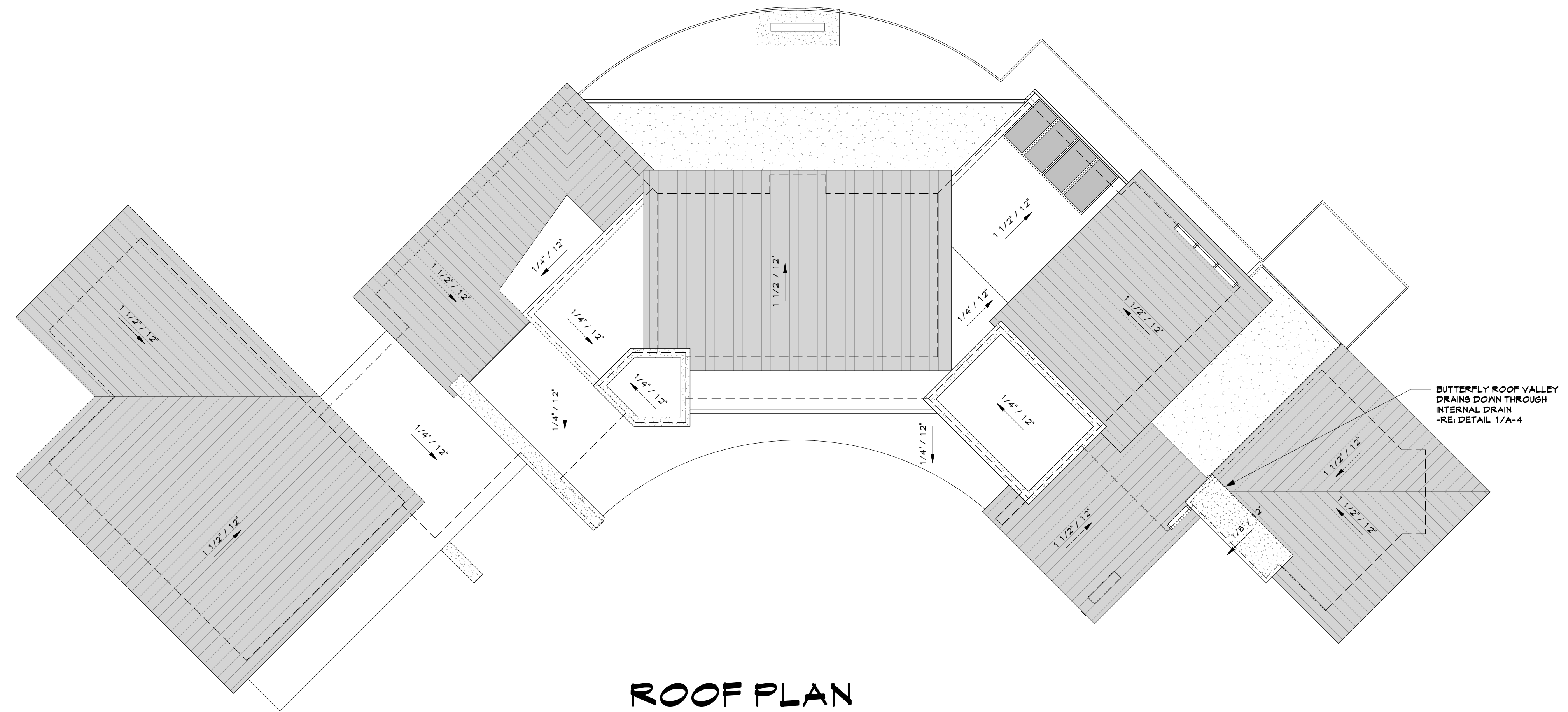


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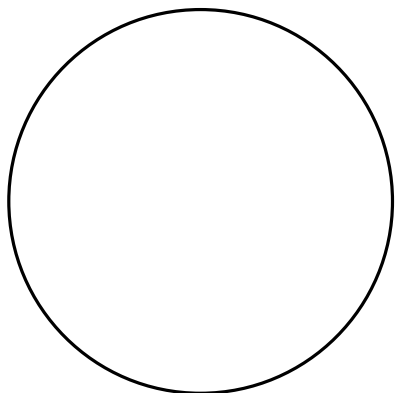


2 BUTTERFLY DRAIN DETAIL
1/2" = 1'-0"



ROOF PLAN

1/8" = 1'-0"



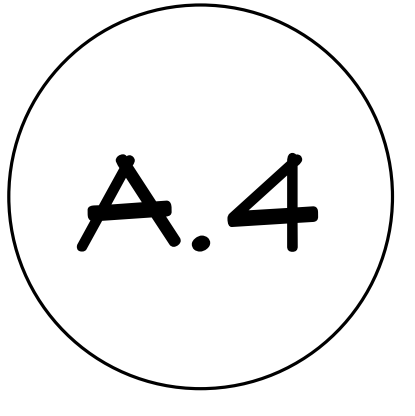
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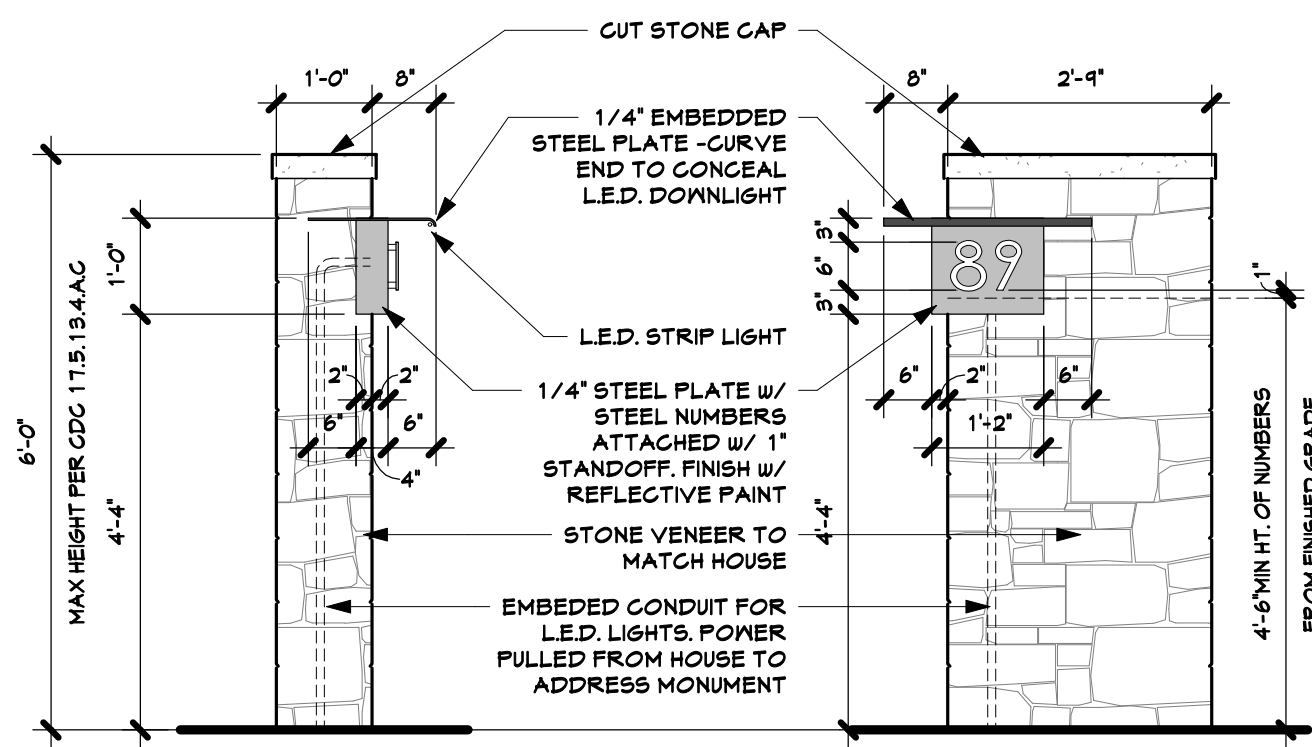
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Issue: 8-20-2021
drawn by: Author
revision # revision date

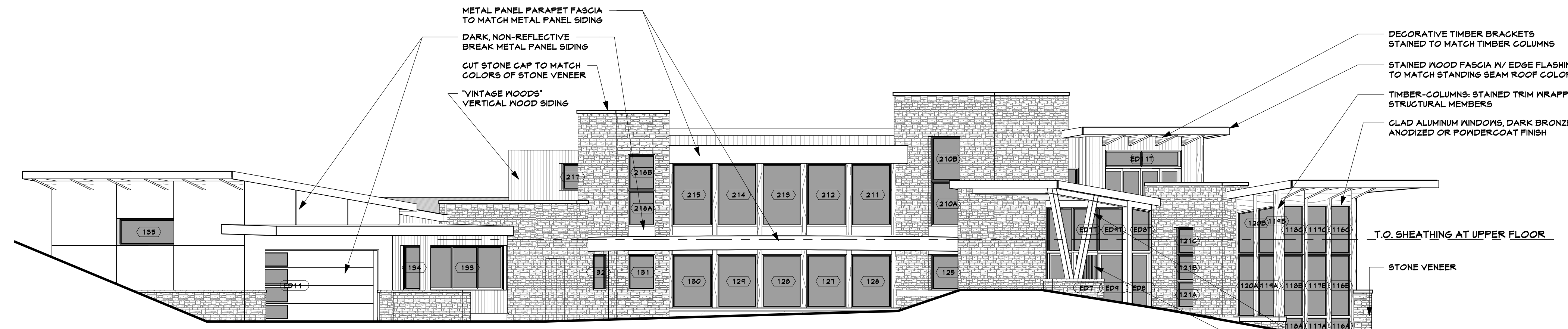
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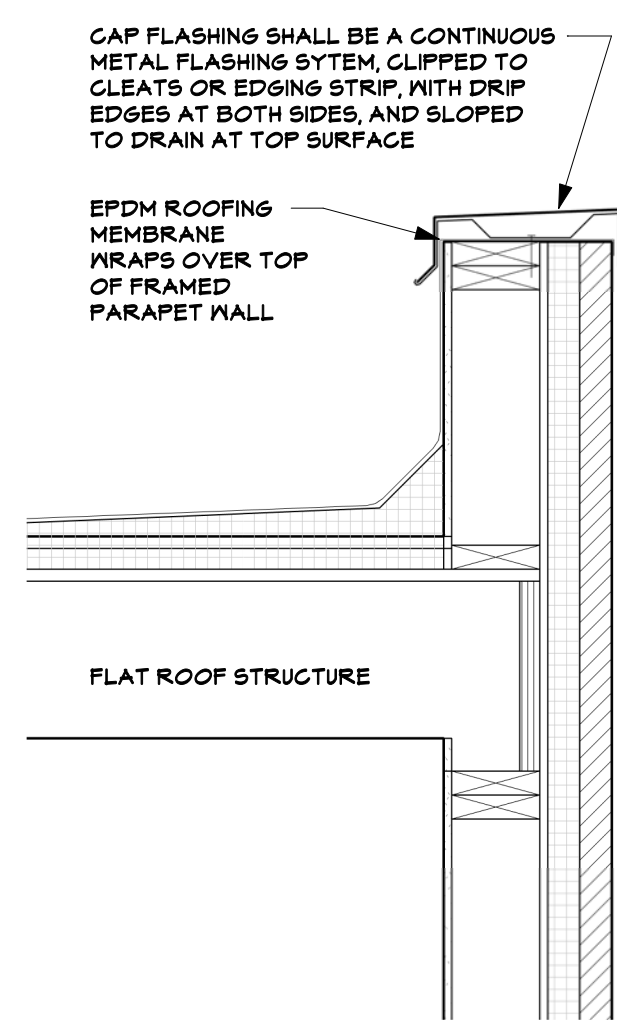
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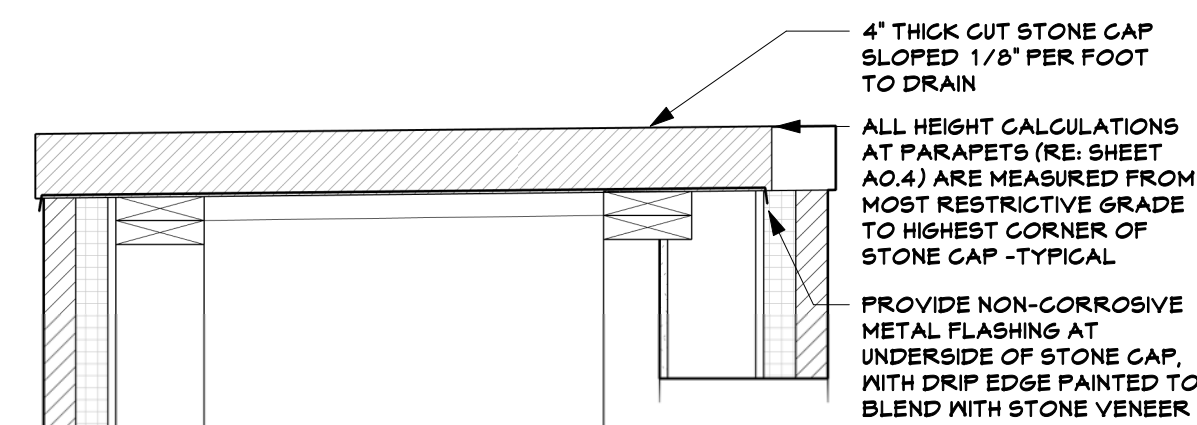
A ADDRESS MONUMENT
1/2" = 1'-0"



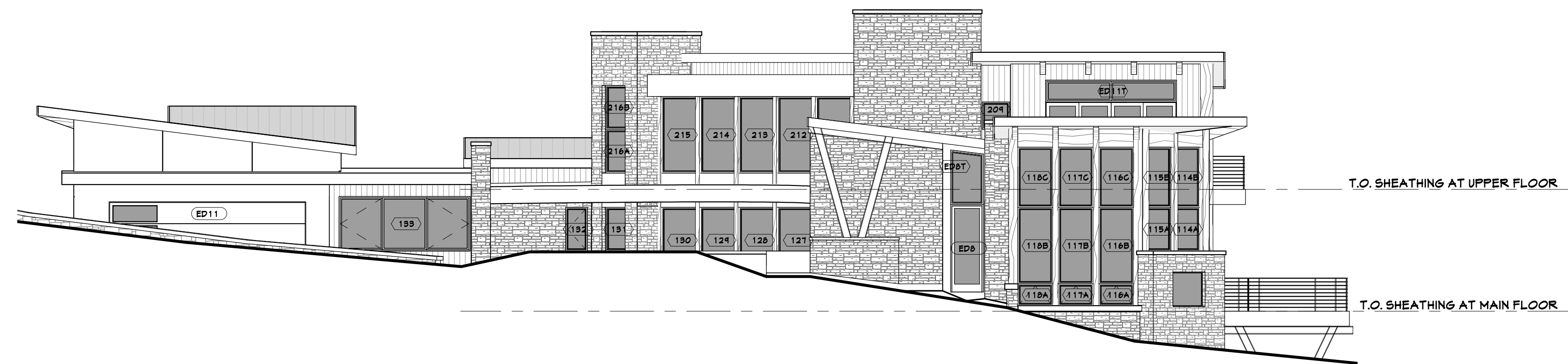
EAST
1/8" = 1'-0"



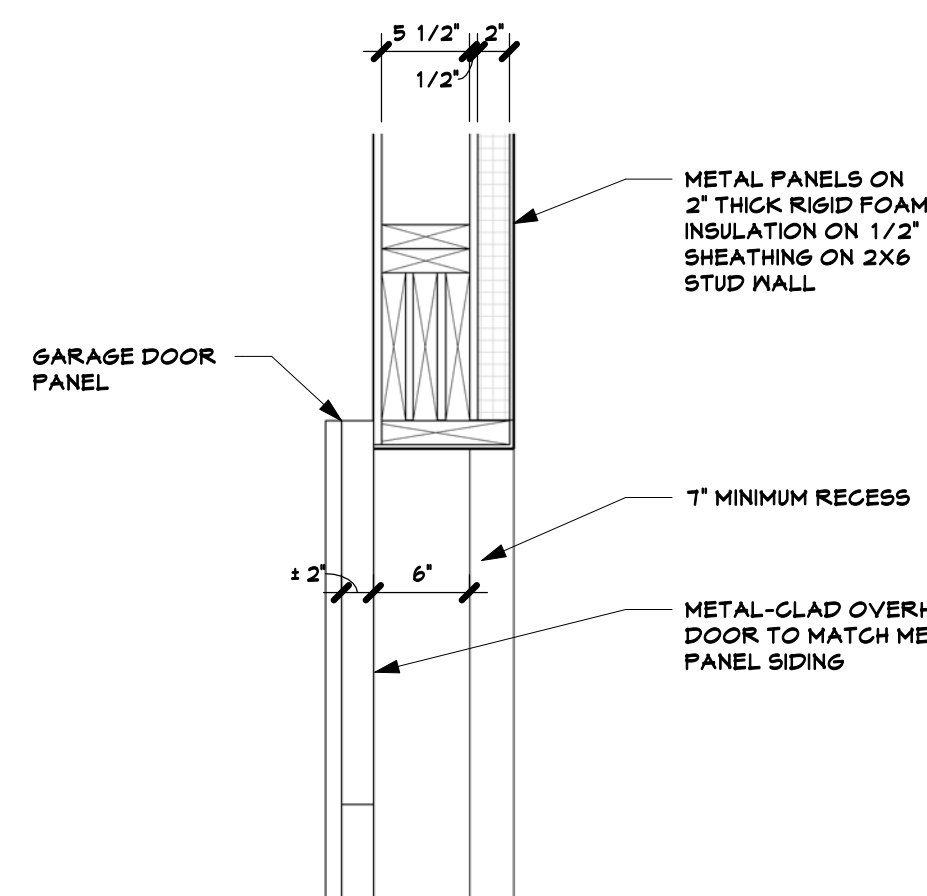
B PARAPET CAP FLASHING
1" = 1'-0"



C PARAPET STONE CAP
1" = 1'-0"

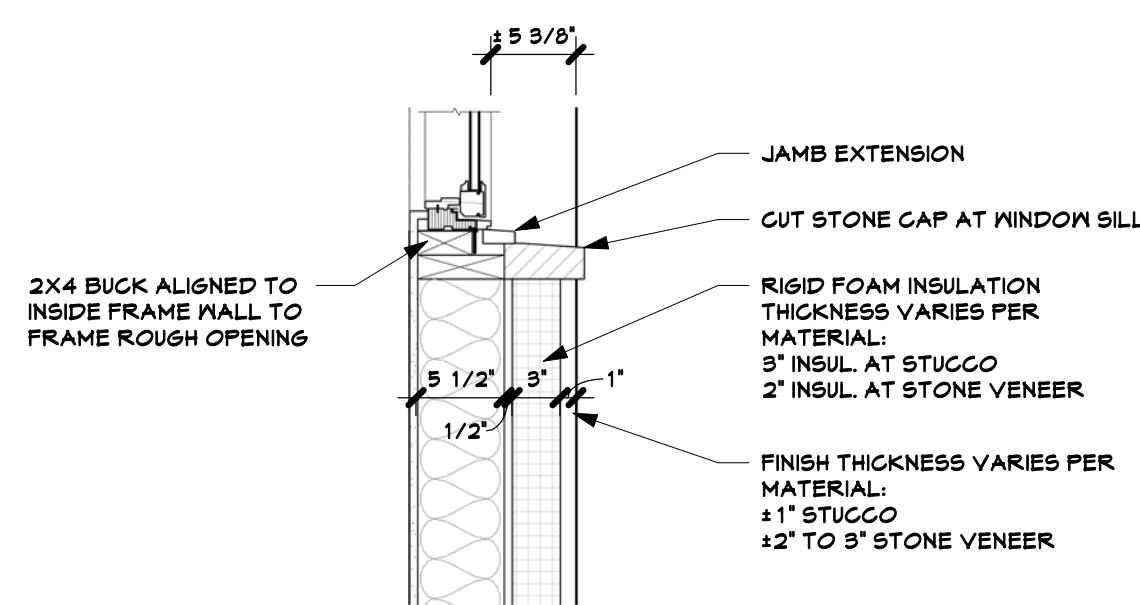


NORTHEAST
1/8" = 1'-0"



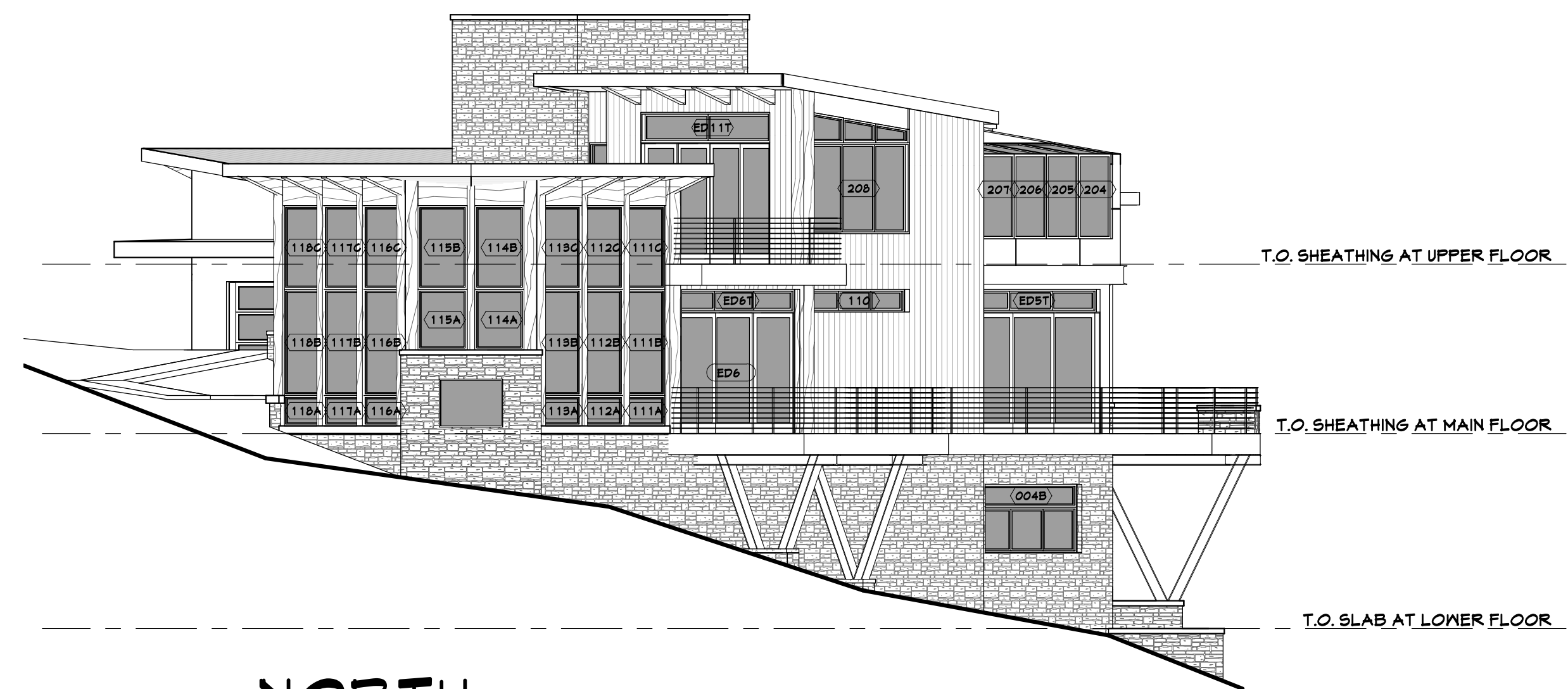
D RECESSED GARAGE DOOR
1" = 1'-0"

THE EXTERIOR FACE OF THE GARAGE DOOR SHALL BE RECESSED A MINIMUM OF SEVEN INCHES (7") FROM THE OUTSIDE FACE OF THE EXTERIOR WALL ASSEMBLY, PER CDC SECTION 17.5.6.A.6

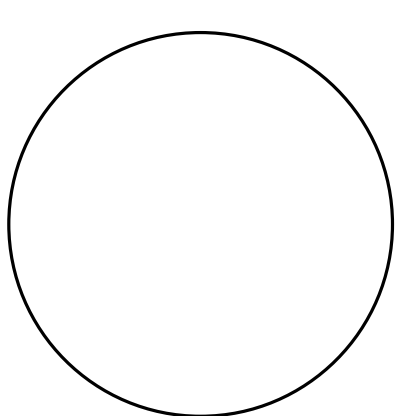


E RECESSED WINDOW DETAIL
1" = 1'-0"

WINDOWS AND DOORS IN STONE AND STUCCO AREAS SHALL BE RECESSED BACK FROM THE FACE OF THE EXTERIOR MATERIAL BY A MINIMUM OF FIVE INCHES (5") PER CDC SECTION 17.5.6.A.2



NORTH
1/8" = 1'-0"



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TKP ARCHITECTS

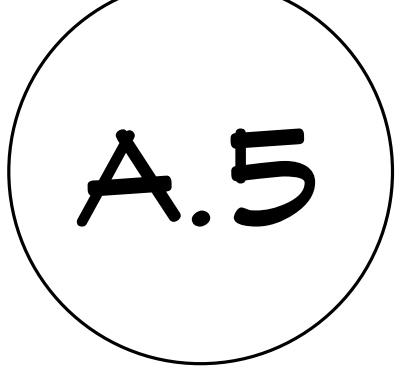
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CUSTOM RESIDENCE
89 PENNINGTON PLACE
MOUNTAIN VILLAGE, CO 81435

Issue: 8-20-2021
drawn by: KK/TB
revision # revision date

PROGRESS SET
NOT FOR
CONSTRUCTION

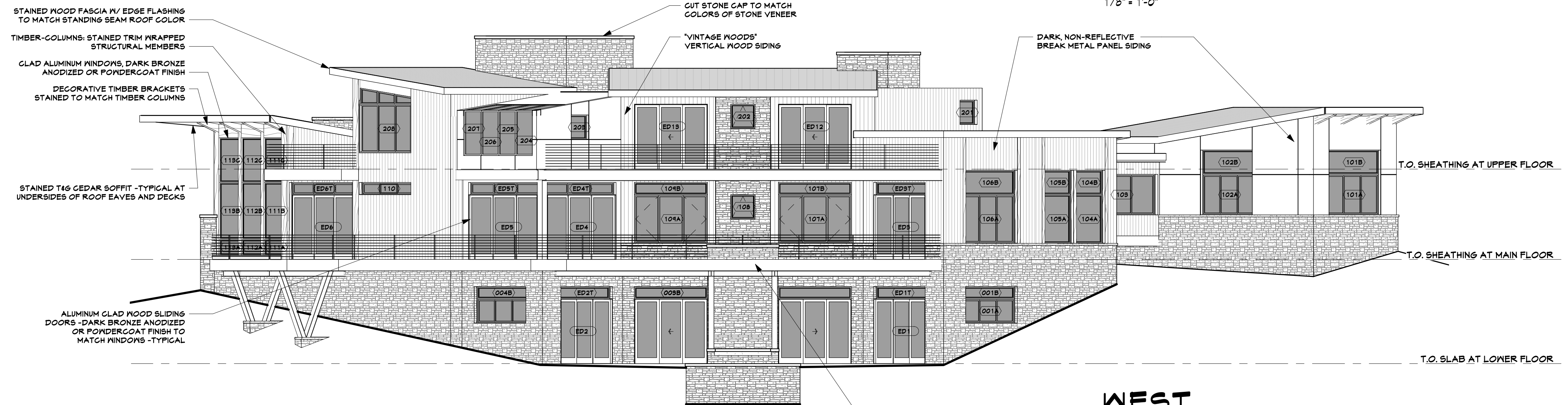


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NORTHWEST

1/8" = 1'-0"



WEST

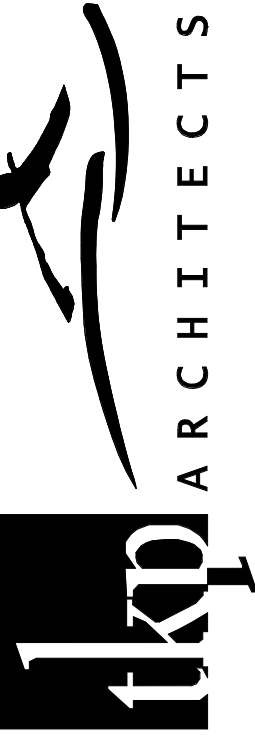
1/8" = 1'-0"



SOUTHWEST

1/8" = 1'-0"

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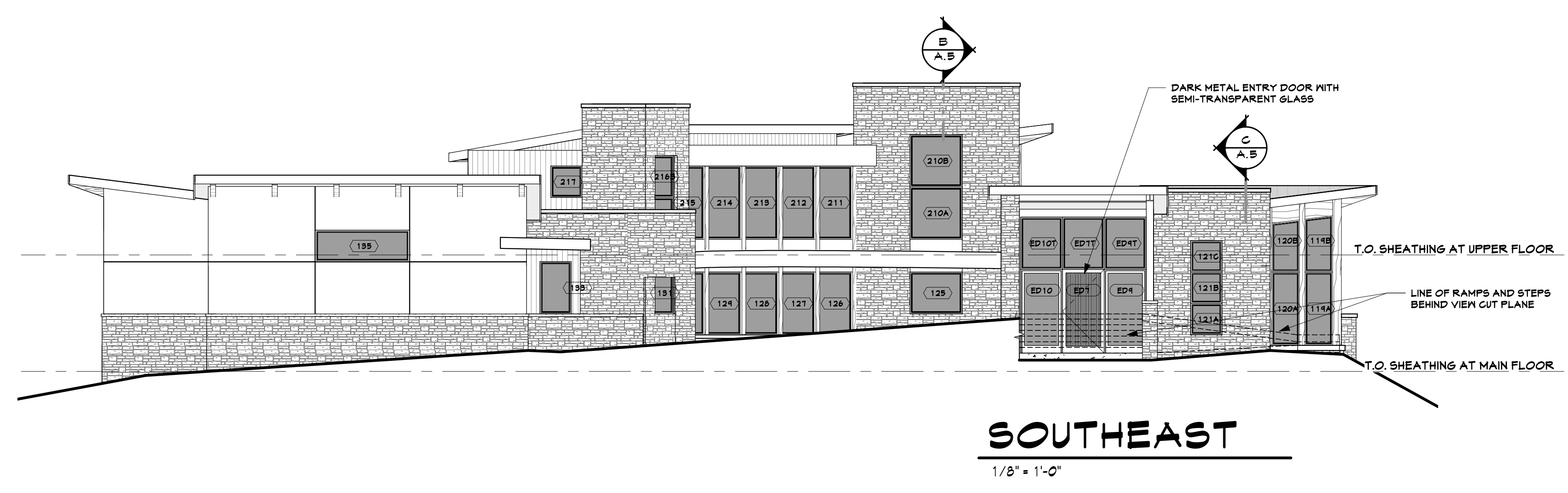
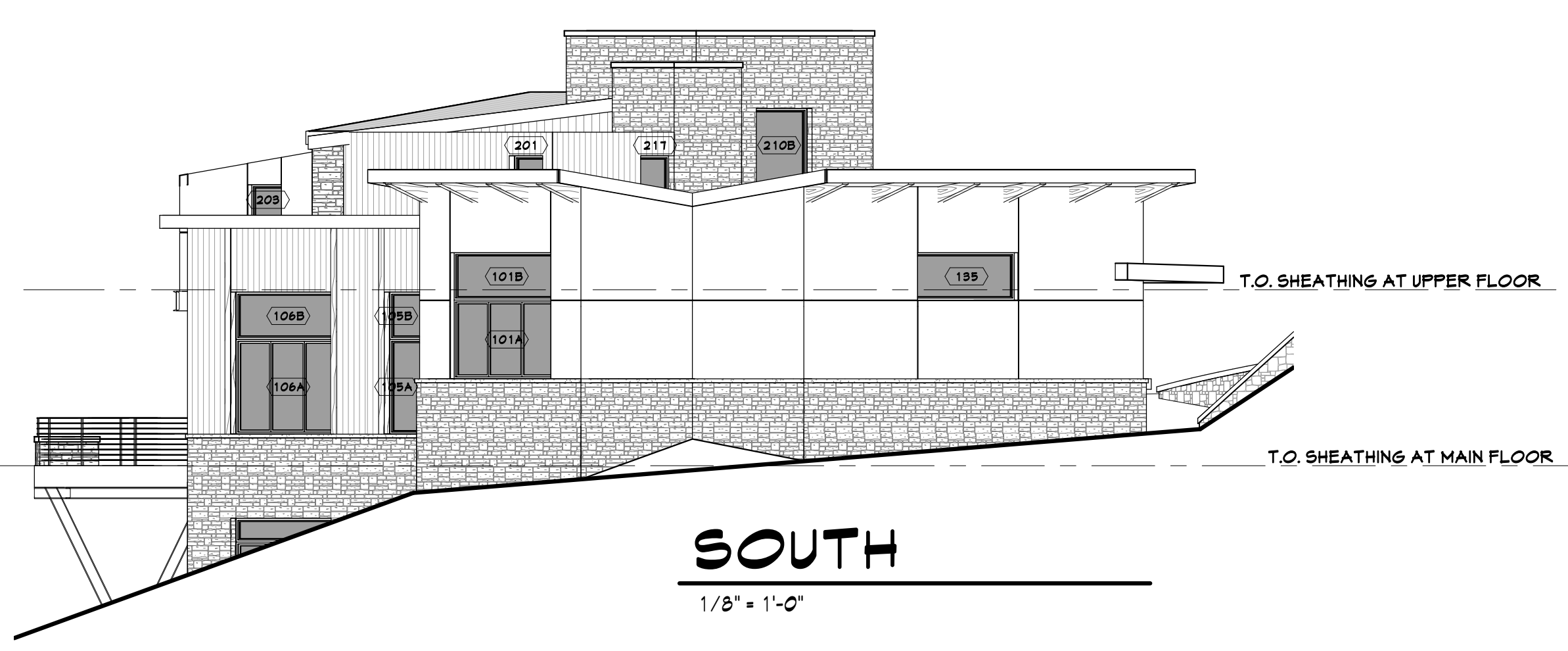
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A.6

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MARK	DESIGNATION / OPERATION	GENERIC SIZE		COMMENTS
		WIDTH	HEIGHT	
Q01A	9-3030 FXD	9'-0"	9'-0"	
Q01B	4016 FXD	4'-0"	1'-6"	
Q03B	4016 FXD	4'-0"	1'-6"	
Q04B	4016 FXD	4'-0"	1'-6"	
101A	3050 GSMT / 3050 FXD / 3050 GSMT	4'-0"	5'-0"	
101B	3040 FXD	4'-0"	3'-0"	
102A	3050 GSMT / 3050 FXD / 3050 GSMT	4'-0"	5'-0"	
102B	3040 FXD	4'-0"	3'-0"	
103	4050 GSMT / 4050 FXD / 4050 GSMT	12'-0"	5'-0"	
104A	5060 FXD	5'-0"	6'-0"	
104B	5030 FXD	5'-0"	3'-0"	
105A	5060 FXD	5'-0"	6'-0"	
105B	5030 FXD	5'-0"	3'-0"	
106A	3060 GSMT / 3060 FXD / 3060 GSMT	4'-0"	6'-0"	
106B	4080 FXD	4'-0"	3'-0"	
107A	3060 GSMT / 3060 FXD / 3060 GSMT	4'-0"	6'-0"	
107B	4016 FXD	4'-0"	1'-6"	
108	3050 AMN	3'-0"	3'-0"	
104A	3060 GSMT / 3060 FXD / 3060 GSMT	4'-0"	6'-0"	
104B	4016 FXD	4'-0"	1'-6"	
110	9-3016 FXD	4'-0"	1'-6"	
111A	3520 AMN	3'-5"	2'-0"	
111B	3510 FXD	3'-5"	7'-0"	
111C	3556 FXD	3'-5"	5'-6"	
112A	3520 AMN	3'-5"	2'-0"	
112B	3510 FXD	3'-5"	7'-0"	
112C	3556 FXD	3'-5"	5'-6"	
113A	3520 AMN	3'-5"	2'-0"	
113B	3510 FXD	3'-5"	7'-0"	
113C	3556 FXD	3'-5"	5'-6"	
114A	3340 FXD	3'-3"	4'-0"	
114B	3356 FXD	3'-3"	5'-6"	
115A	3340 FXD	3'-3"	4'-0"	
115B	3356 FXD	3'-3"	5'-6"	
116A	3220 AMN	3'-2 1/2"	2'-0"	
116B	3210 FXD	3'-2 1/2"	7'-0"	
116C	3256 FXD	3'-2 1/2"	5'-6"	
117A	3220 AMN	3'-2 1/2"	2'-0"	
117B	3210 FXD	3'-2 1/2"	7'-0"	
117C	3256 FXD	3'-2 1/2"	5'-6"	
118A	3220 AMN	3'-2 1/2"	2'-0"	
118B	3210 FXD	3'-2 1/2"	7'-0"	
118C	3256 FXD	3'-2 1/2"	5'-6"	
119A	2810 FXD	2'-8"	7'-0"	
119B	28 TRAP	2'-8"	5'-5"	
120A	2810 FXD	2'-8"	7'-0"	
120B	28 TRAP	2'-8"	5'-5"	
121A	5050 FXD	3'-0"	3'-0"	
121B	5050 FXD	3'-0"	3'-0"	
121C	5050 FXD	3'-0"	3'-0"	
125	5040 FXD	5'-0"	4'-0"	
126	4660 FXD	4'-6"	6'-0"	
127	4660 FXD	4'-6"	6'-0"	
128	4660 FXD	4'-6"	6'-0"	
124	4660 FXD	4'-6"	6'-0"	
130	4660 FXD	4'-6"	6'-0"	
131	3040 FXD	3'-0"	4'-0"	
132	2040 GSMT	2'-0"	4'-0"	
133	4050 GSMT / 4050 FXD / 4050 GSMT	12'-0"	5'-0"	
134	5050 FXD	3'-0"	5'-0"	
135	3040 FXD	3'-0"	3'-0"	
201	3050 FXD	3'-0"	3'-0"	
202	3050 AMN	3'-0"	3'-0"	
203	3050 AMN	3'-0"	3'-0"	
204	STOREFRONT GLAZING	3'-0"	5'-1"	MASTER BATH STOREFRONT FIXED GLAZING
205	STOREFRONT GLAZING	3'-0"	5'-1"	MASTER BATH STOREFRONT FIXED GLAZING
206	STOREFRONT GLAZING	3'-0"	5'-1"	MASTER BATH STOREFRONT FIXED GLAZING
207	STOREFRONT GLAZING	3'-0"	5'-1"	MASTER BATH STOREFRONT FIXED GLAZING
208	3060 GSMT / 3060 FXD / 3060 GSMT	4'-0"	6'-0"	
204	2626 FXD	2'-6"	2'-6"	
210A	5050 FXD	5'-0"	5'-0"	
210B	5050 FXD	5'-0"	5'-0"	
211	4610 FXD	4'-6"	7'-0"	
212	4610 FXD	4'-6"	7'-0"	
213	4610 FXD	4'-6"	7'-0"	
214	4610 FXD	4'-6"	7'-0"	
215	4610 FXD	4'-6"	7'-0"	
216A	3040 FXD	3'-0"	4'-0"	
216B	3040 FXD	3'-0"	4'-0"	
211	3050 FXD	3'-0"	3'-0"	
ED1T	4016 FXD	4'-0"	1'-6"	EXTERIOR DOOR TRANSOM
ED2T	4016 FXD	4'-0"	1'-6"	EXTERIOR DOOR TRANSOM
ED3T	4016 FXD	4'-0"	1'-6"	EXTERIOR DOOR TRANSOM
ED4T	9-4016 FXD	12'-0"	1'-6"	EXTERIOR DOOR TRANSOM
ED5T	9-4016 FXD	12'-0"	1'-6"	EXTERIOR DOOR TRANSOM
ED6T	9-3816 FXD	11'-0"	1'-6"	EXTERIOR DOOR TRANSOM
ED7T	4050 FXD	4'-0"	5'-0"	EXTERIOR DOOR TRANSOM
ED8T	30 TRAP	3'-0"	5'-0"	
ED9T	4050 FXD	4'-0"	5'-0"	
ED10T	4050 FXD	4'-0"	5'-0"	
ED10U	4016 FXD	4'-0"	1'-6"	
ED10V	9-3030 FXD	4'-0"	9'-0"	
ED10W	30 TRAP	3'-0"	1'-3"	
ED10X	30 TRAP	3'-0"	1'-1 1/2"	
ED10Y	30 TRAP	3'-0"	2'-0"	
ED11T	2-6020 FXD	12'-0"	2'-0"	

MARK	DESIGNATION / OPERATION	WIDTH	HEIGHT	COMMENTS
ED1	4080 SL GL DR	4'-0"	8'-0"	SLIDING GLASS DOOR
ED2	4080 SL GL DR	4'-0"	8'-0"	SLIDING GLASS DOOR
ED3	4080 SL GL DR	4'-0"	8'-0"	SLIDING GLASS DOOR
ED4	12080 SL GL DR	12'-0"	8'-0"	SLIDING GLASS DOOR
ED5	12080 SL GL DR	12'-0"	8'-0"	SLIDING GLASS DOOR
ED6	111680 SL GL DR	11'-0"	8'-0"	SLIDING GLASS DOOR
ED7	4080 ENTRY DOOR	4'-0"	8'-0"	FRONT ENTRY DOOR
ED8	3080 SIDELITE	3'-0"	8'-0"	FRONT ENTRY SIDELITE
ED9	4080 SIDELITE	4'-0"	8'-0"	FRONT ENTRY SIDELITE
ED10	4080 SIDELITE	4'-0"	8'-0"	FRONT ENTRY SIDELITE
ED11	18080 OVERHEAD DOOR	18'-0"	8'-0"	GARAGE OVERHEAD DOOR
ED12	4080 SL GL DR	4'-0"	8'-0"	SLIDING GLASS DOOR
ED13	4080 SL GL DR	4'-0"	8'-0"	SLIDING GLASS DOOR
ED14	12080 4-PNL SL GL DR	12'-0"	8'-0"	SLIDING GLASS DOOR
ED15	PAIR 2680	5'-0"	8'-0"	
ED16	3080	3'-0"	8'-0"	
ED17	2680	2'-8"	8'-0"	
ED18	2680	2'-8"	8'-0"	
ED19	2680	2'-8"	8'-0"	
ED20	2680	2'-8"	8'-0"	
ED21	PAIR 2080	4'-0"	8'-0"	
ED22	2680	2'-8"	8'-0"	
ED23	2680	2'-8"	8'-0"	
ED24	2680	2'-8"	8'-0"	
ED25	PAIR 2680	5'-0"	8'-0"	
ED26	4080 SL GL DR	4'-0"	8'-0"	
ED27	4080 SL GL DR	4'-0"	8'-0"	
ED28	2680	2'-8"	8'-0"	



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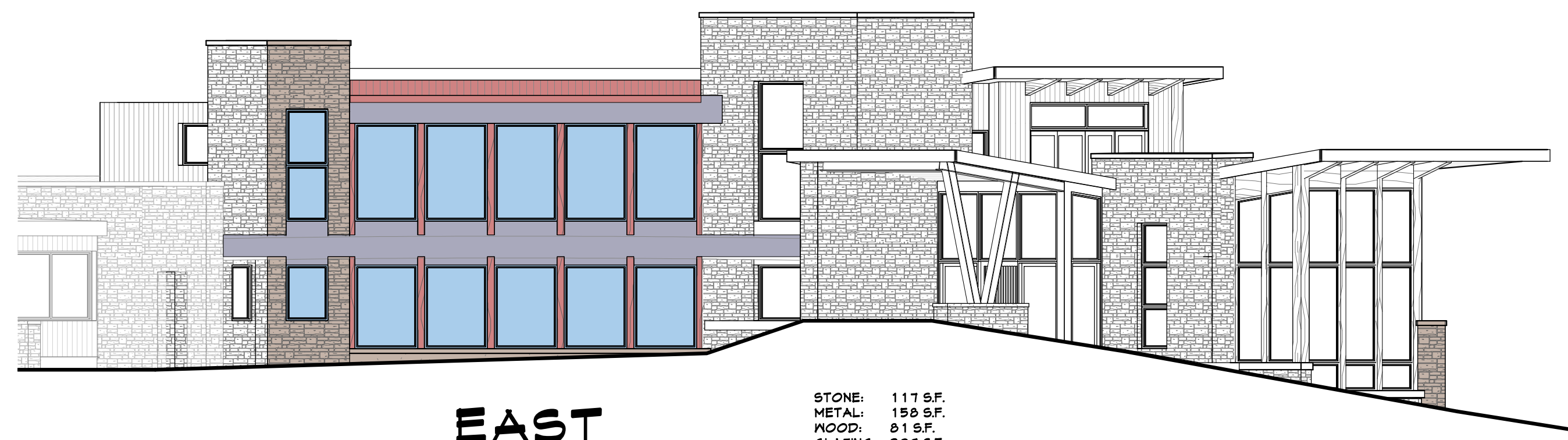
CUSTOM RESIDENCE
89 PENNINGTON PLACE
MOUNTAIN VILLAGE, CO 81435

Issue: 8-20-2021
drawn by: KK/TB
revision #: revision date

**PROGRESS SET
NOT FOR
CONSTRUCTION**

A.7

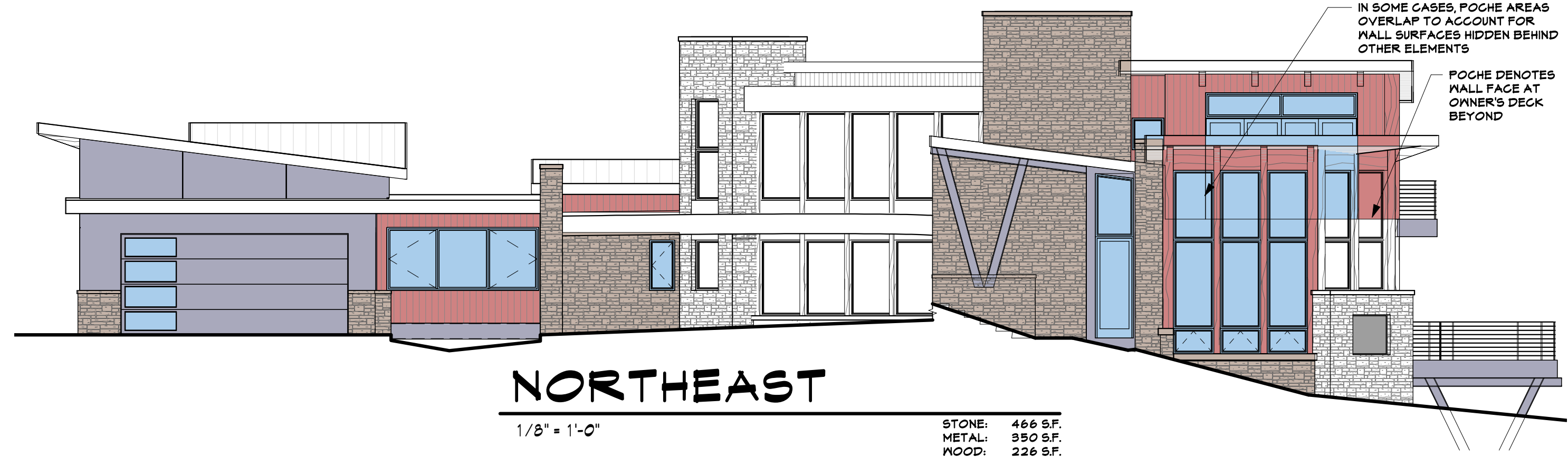
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EAST

1/8" = 1'-0"

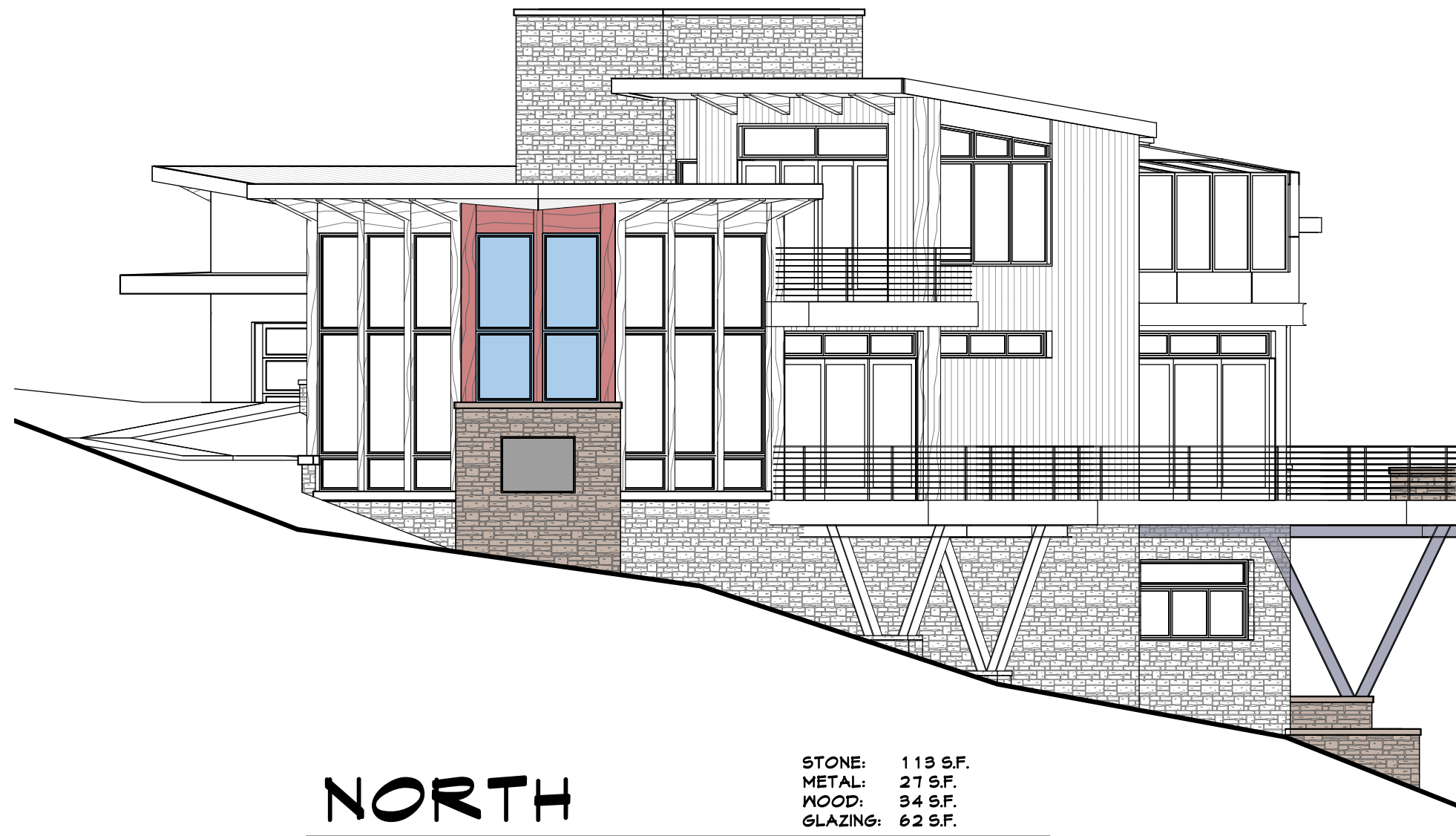
STONE: 111 S.F.
METAL: 158 S.F.
WOOD: 81 S.F.
GLAZING: 824 S.F.



NORTHEAST

1/8" = 1'-0"

STONE: 466 S.F.
METAL: 350 S.F.
WOOD: 228 S.F.
GLAZING: 341 S.F.



NORTH

1/8" = 1'-0"

STONE: 113 S.F.
METAL: 21 S.F.
WOOD: 34 S.F.
GLAZING: 62 S.F.



NORTHWEST

1/8" = 1'-0"

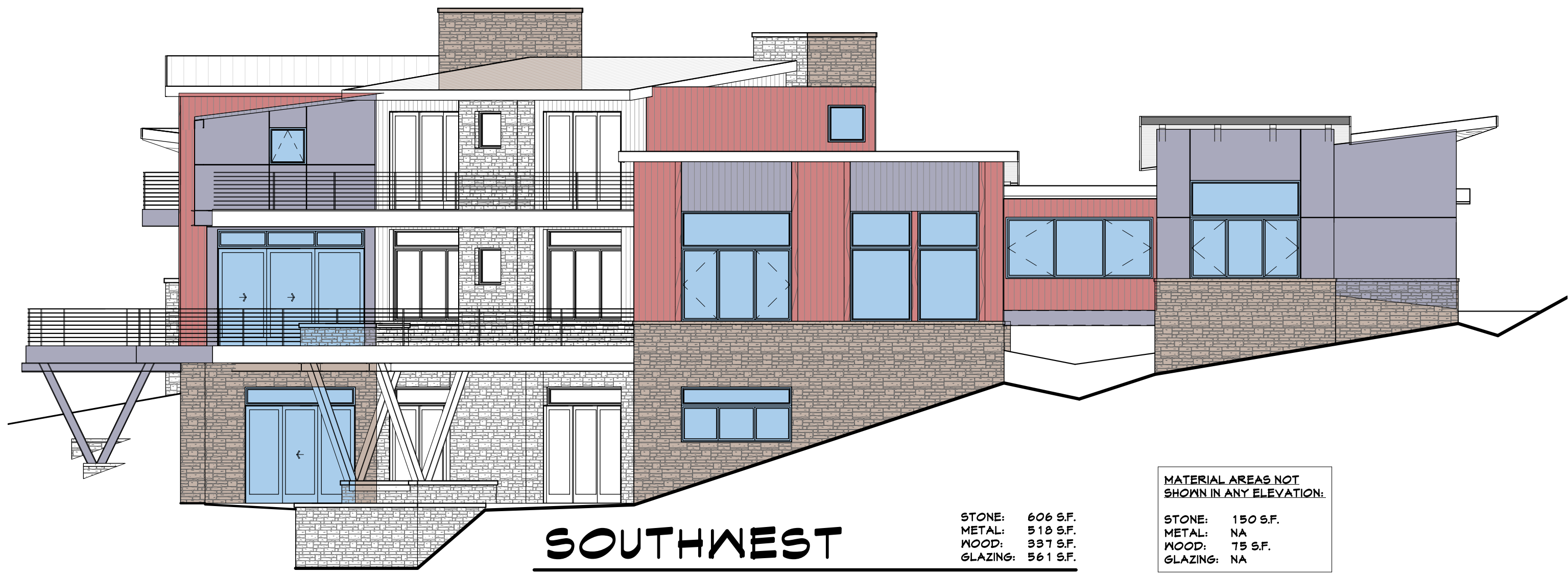
STONE: 668 S.F.
METAL: 450 S.F.
WOOD: 430 S.F.
GLAZING: 144 S.F.



WEST

1/8" = 1'-0"

STONE: 434 S.F.
METAL: 178 S.F.
WOOD: 129 S.F.
GLAZING: 468 S.F.

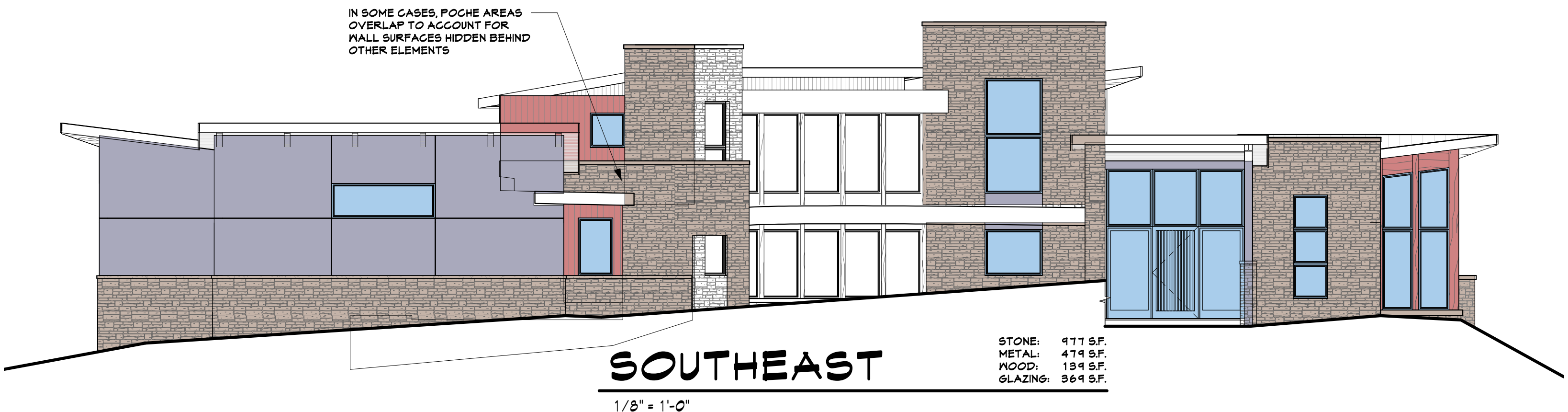


SOUTHWEST

1/8" = 1'-0"

STONE: 606 S.F.
METAL: 510 S.F.
WOOD: 337 S.F.
GLAZING: 361 S.F.

MATERIAL AREAS NOT SHOWN IN ANY ELEVATION:
STONE: 150 S.F.
METAL: NA
WOOD: 75 S.F.
GLAZING: NA



SOUTHEAST

1/8" = 1'-0"

STONE: 471 S.F.
METAL: 474 S.F.
WOOD: 134 S.F.
GLAZING: 364 S.F.

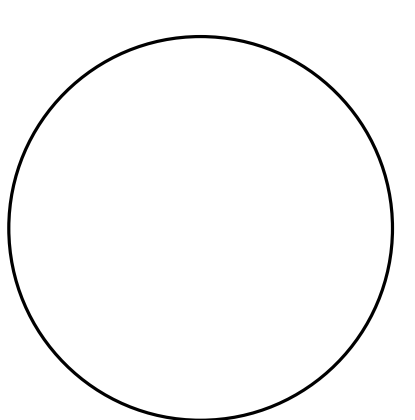
MATERIALS LEGEND

STONE
METAL
WOOD
GLAZING

MATERIALS AREAS

MATERIAL AREA (S.F.)	PERCENTAGE
STONE	3,731 36.1%
METAL	2,168 21.0%
WOOD	1,445 14.0%
GLAZING	2,985 28.9%
TOTAL	10,329 100%

SURFACES ARE HIGHLIGHTED AND AREAS CALCULATED IN THE VIEW WHICH IS PARALLEL TO THAT SURFACE. SURFACES AT AN ANGLE RELATIVE TO A VIEW PLANE ARE NOT HIGHLIGHTED OR CALCULATED IN THAT VIEW.



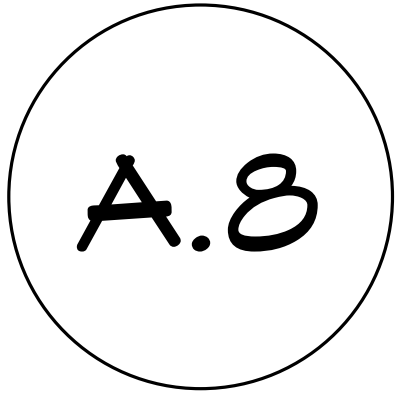
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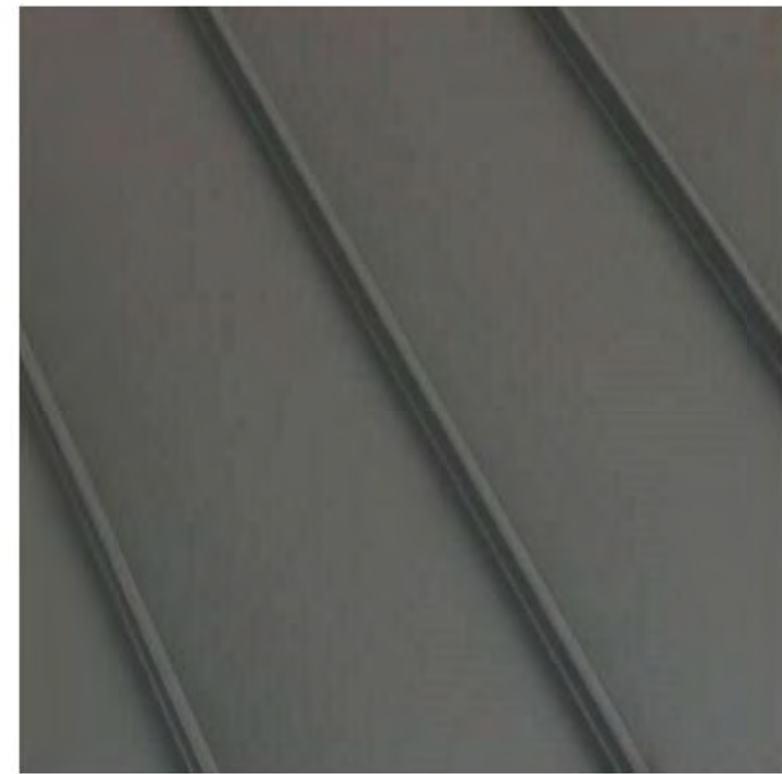
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ROOFING: STANDING SEAM METAL, GREY OR GREY-BROWN



EXTERIOR SOFFIT: T&G CLEAR CEDAR



WINDOW CLADDING: DARK BRONZE ANODIZED ALUMINUM



WOOD SIDING: WEATHERED WOOD VERTICAL SHIP-LAP



STUCCO: SANDY/LIGHT/NEUTRAL (EXACT COLOR TO BE DETERMINED)



STONE VENEER AND METAL PANEL



STEEL STRUCTURE: EXPOSED WIDE FLANGE STEEL, DARKING BLUING FINISH OR OIL RUB



FASCIA: WOOD WITH METAL FLASHING CAP



WINDOW CLADDING: DARK BRONZE ANODIZED ALUMINUM



WOOD SIDING: WEATHERED WOOD VERTICAL SHIP-LAP



STONE VENEER: BLUE MOUNTAIN LEDGESTONE

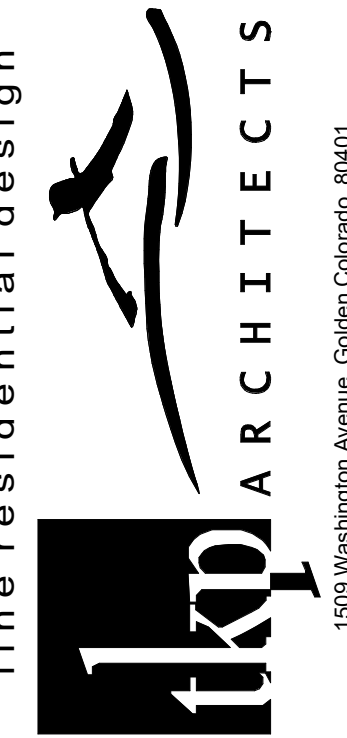
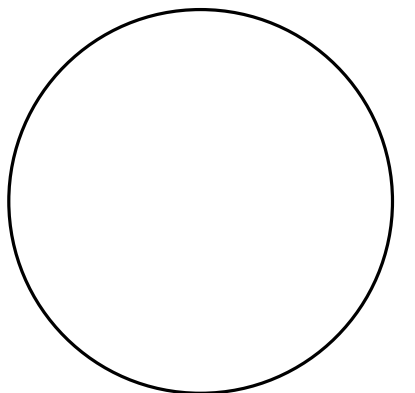


METAL PANEL: LARGE, DARK, MINIMALLY REFLECTIVE METAL PANELS



MATERIALS DIAGRAM

1/8" = 1'-0"



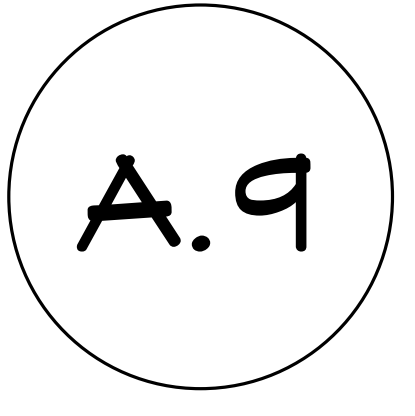
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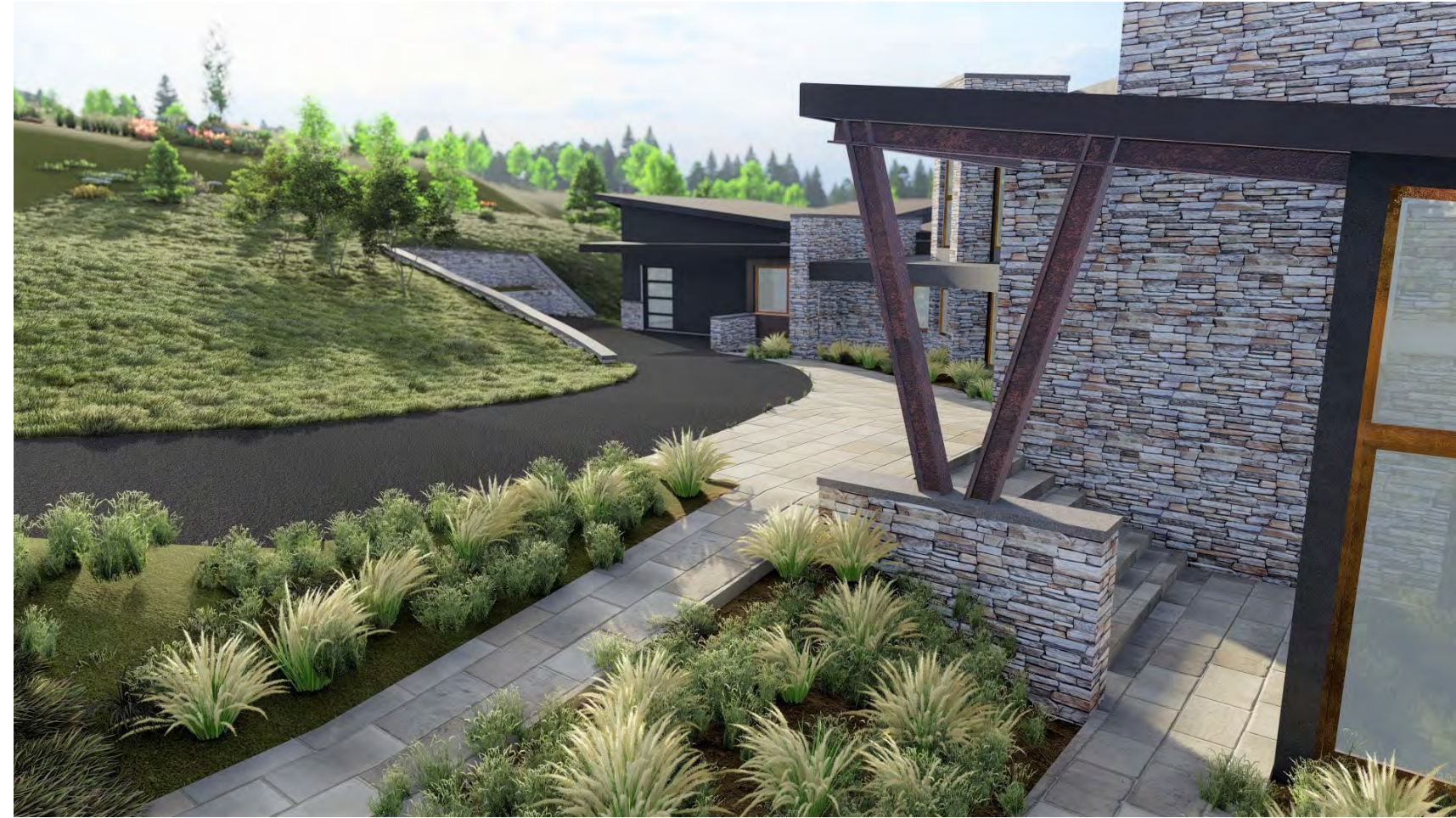
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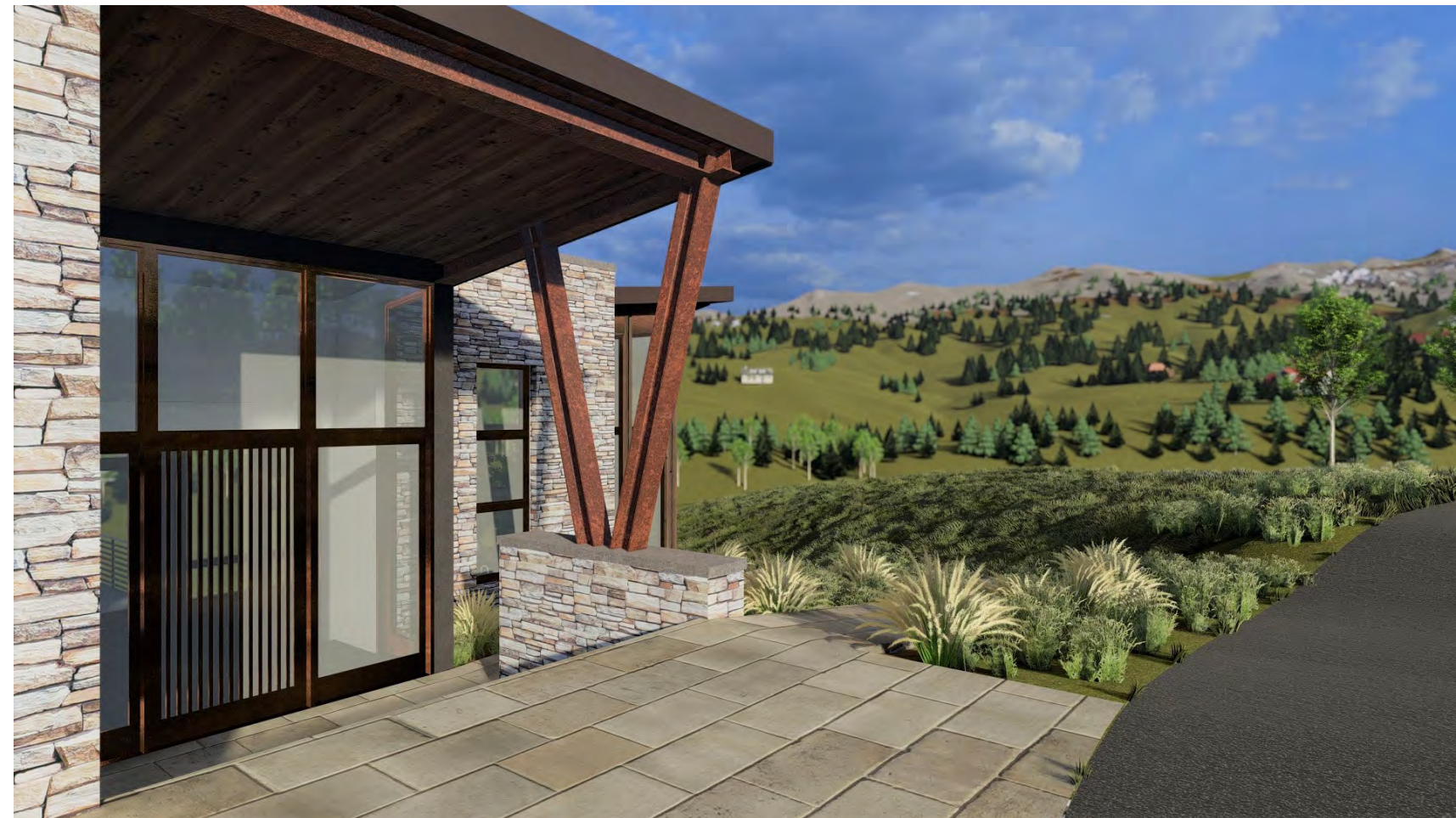
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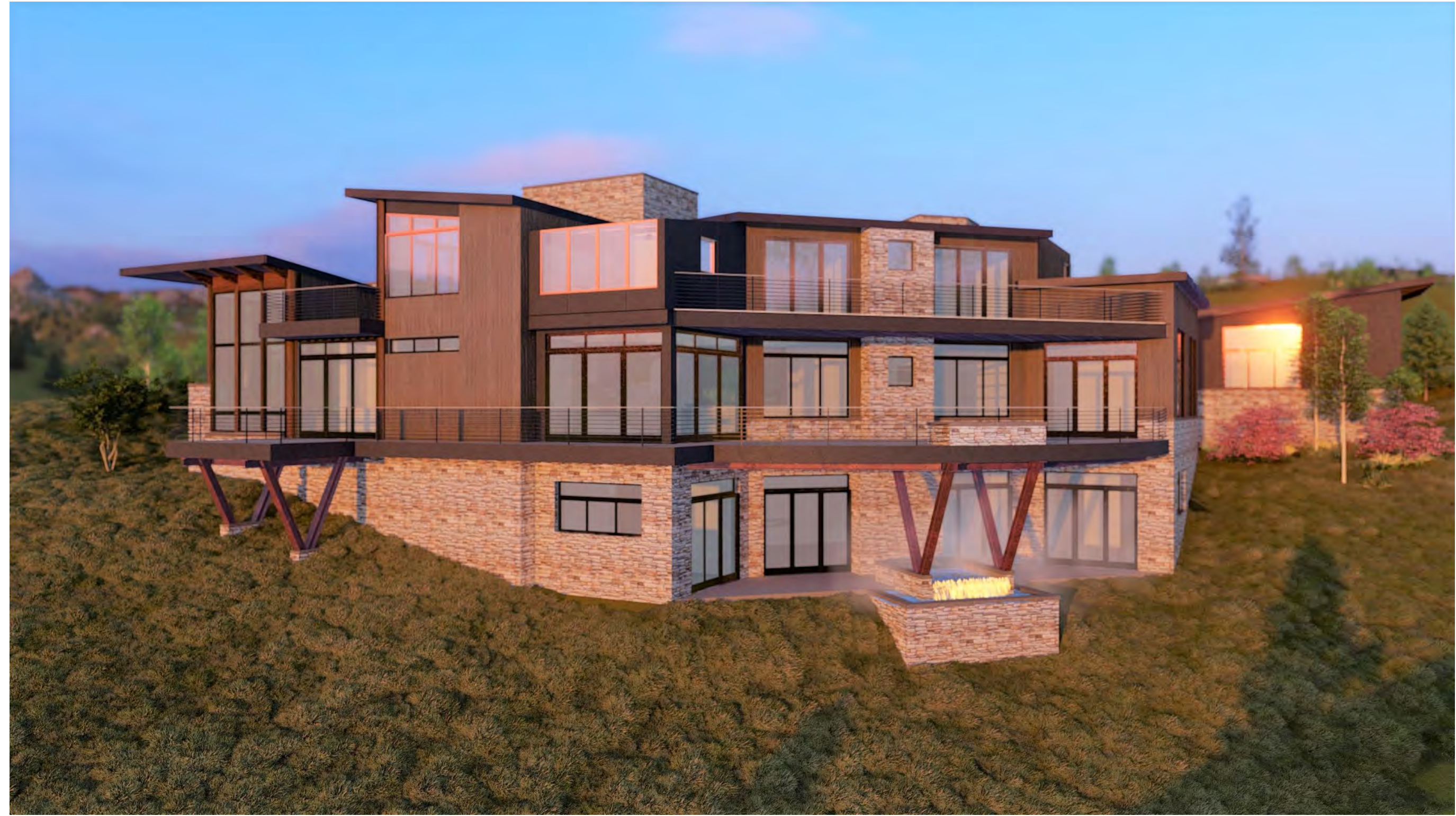
ENTRY ROOF



VIEW TO GARAGE AND RETAINING WALLS



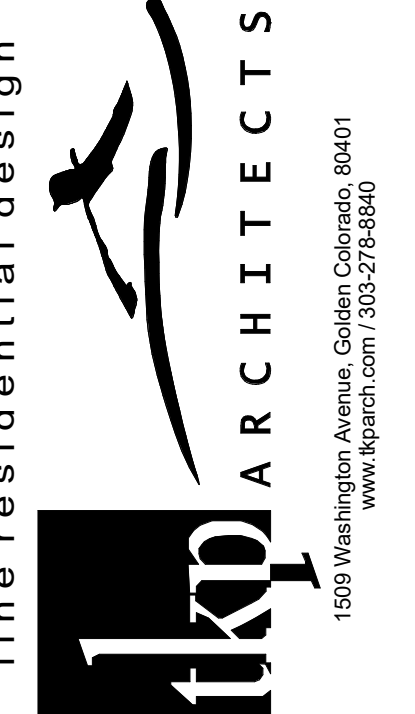
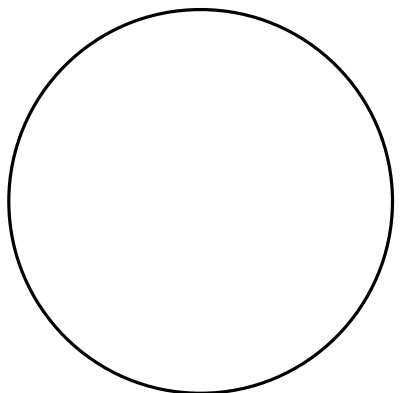
ENTRY APPROACH



NORTHWEST ELEVATION



G.E. ENCROACHMENT AS SEEN FROM PENNINGTON PLACE

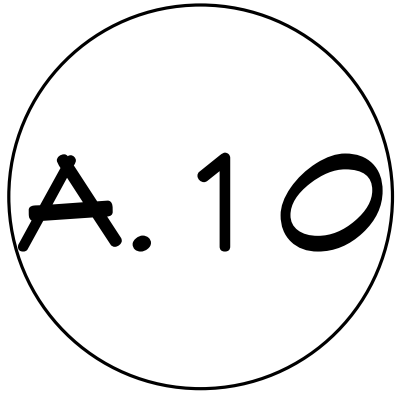


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GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

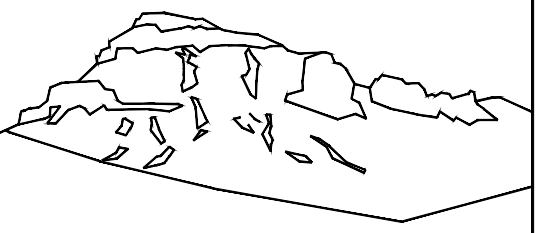
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2021-05-10

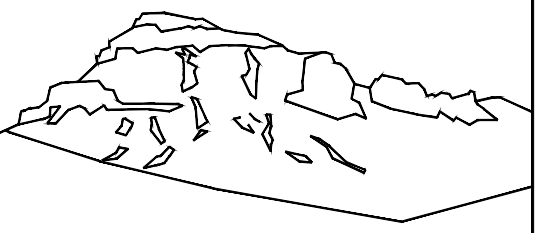
89 Pennington Pl.
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Civil Engineering
General Notes

C1



Uncompahgre Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
SUBMITTAL 2021-05-10

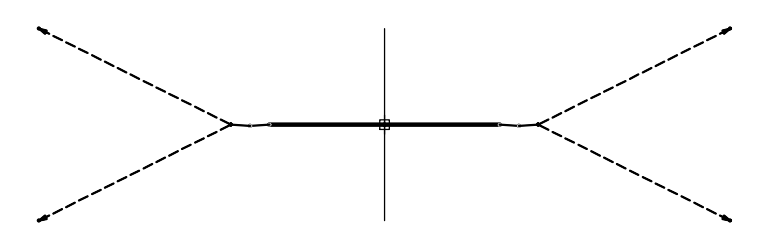
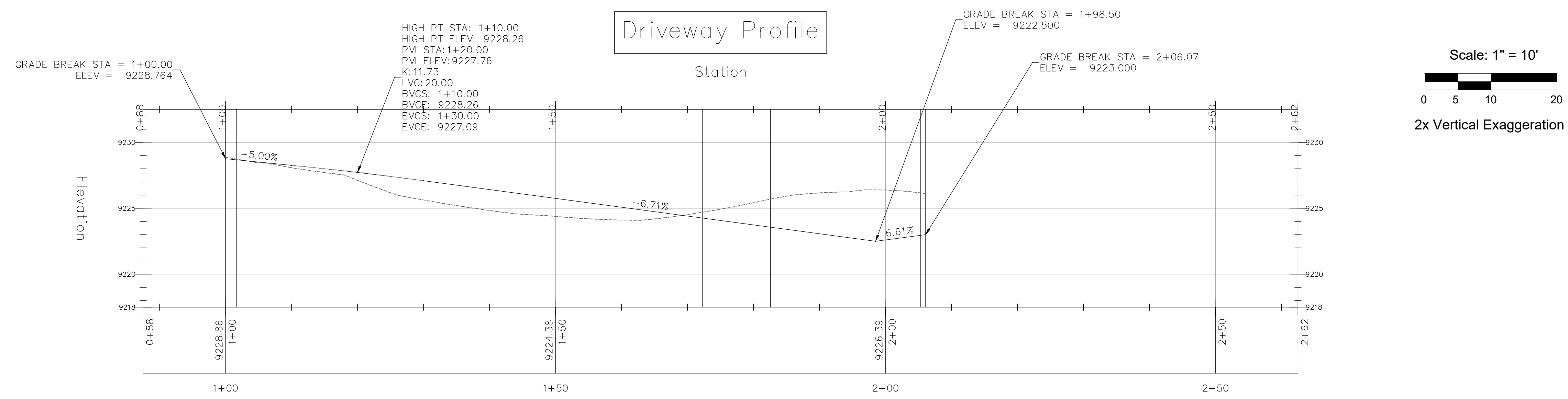
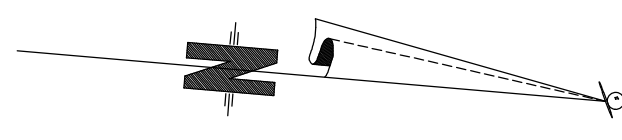
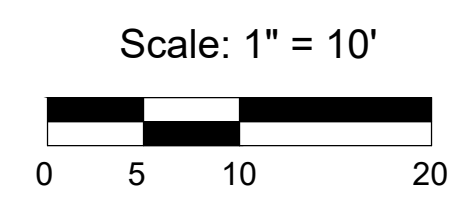
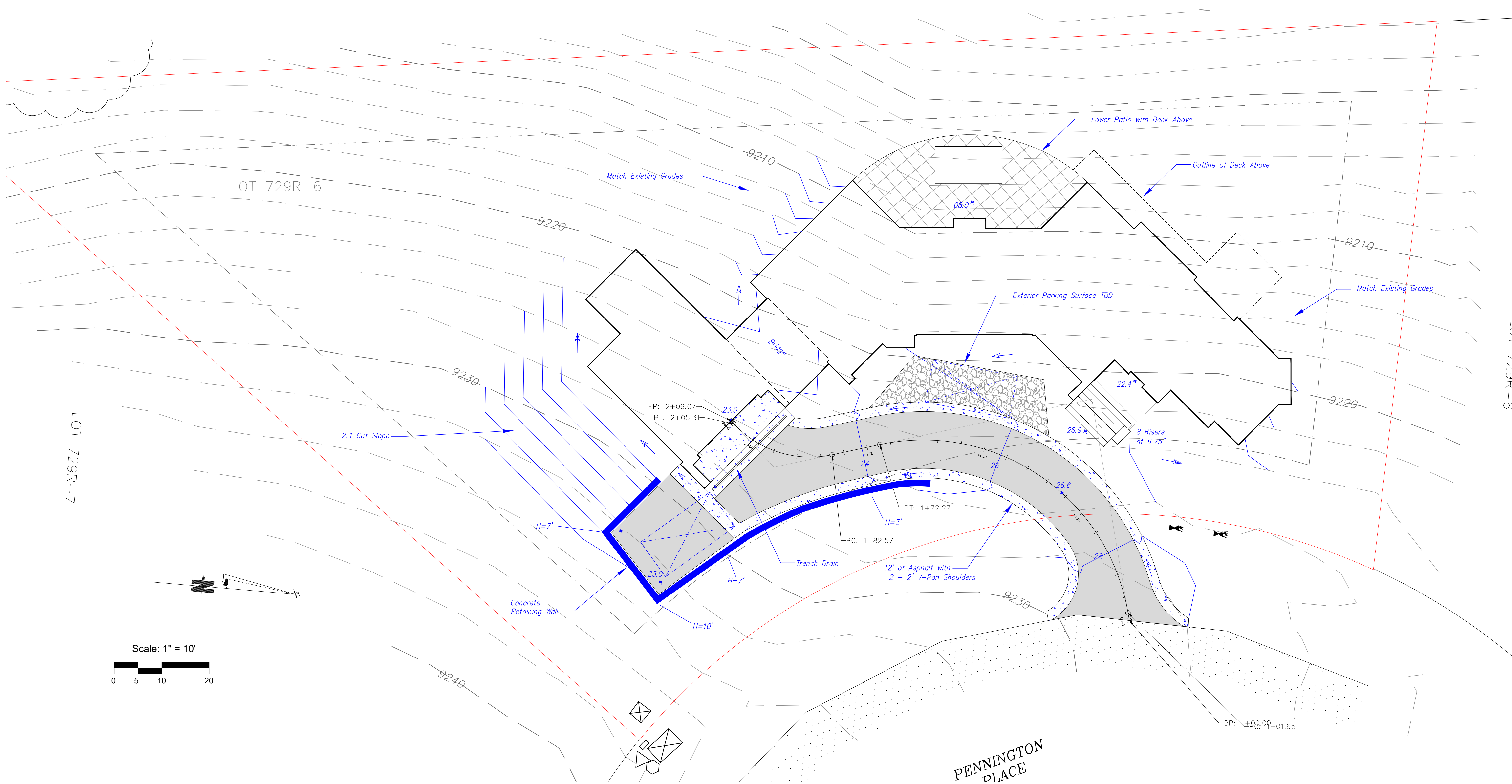
89 Pennington Pl.
Mtn. Village, CO

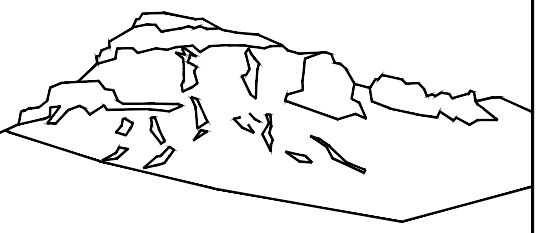


CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Civil Engineering Site Plan
with
Driveway Profile

C2.2





Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
SUBMITTAL 2021-05-10

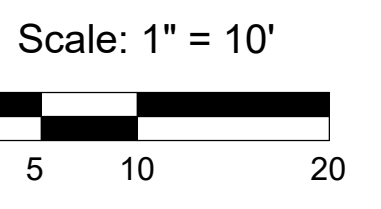
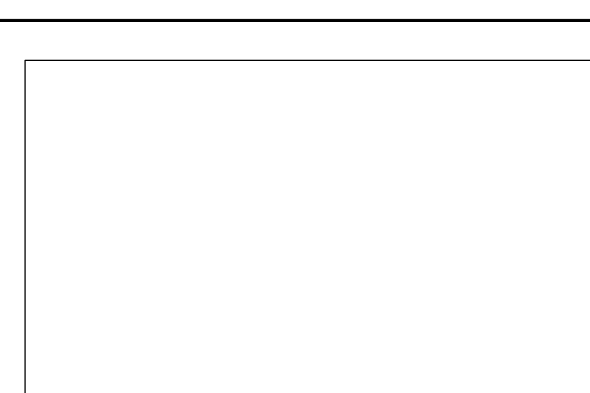
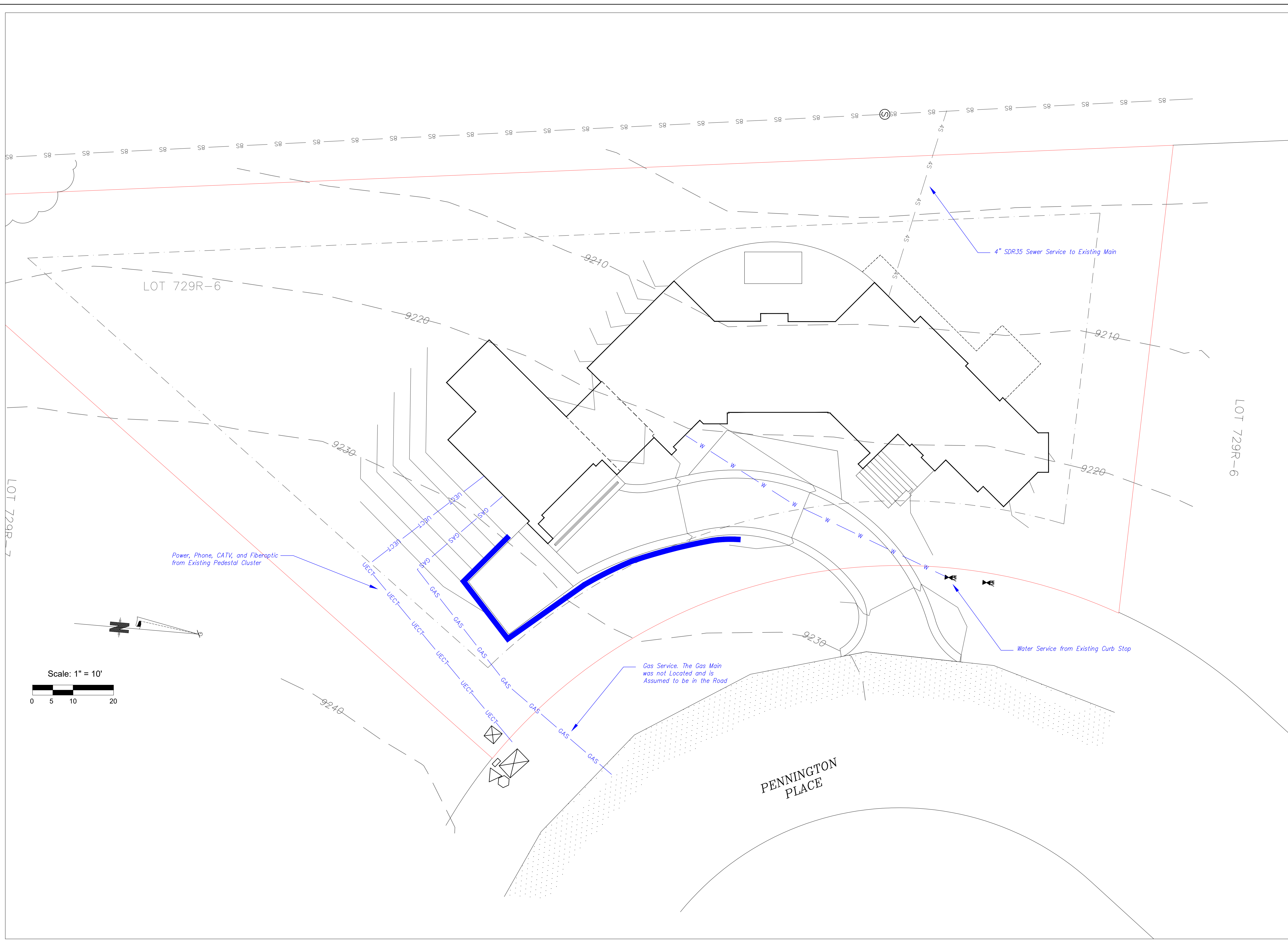
89 Pennington Pl.
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3



Power, Phone, CATV, and Fiberoptic
from Existing Pedestal Cluster

Gas Service. The Gas Main
was not Located and is
Assumed to be in the Road

Water Service from Existing Curb Stop

4" SDR35 Sewer Service to Existing Main

PENNINGTON
PLACE

LOT 729R-6

LOT 729R-6

LOT 729R-7

9240

9230

9220

9210

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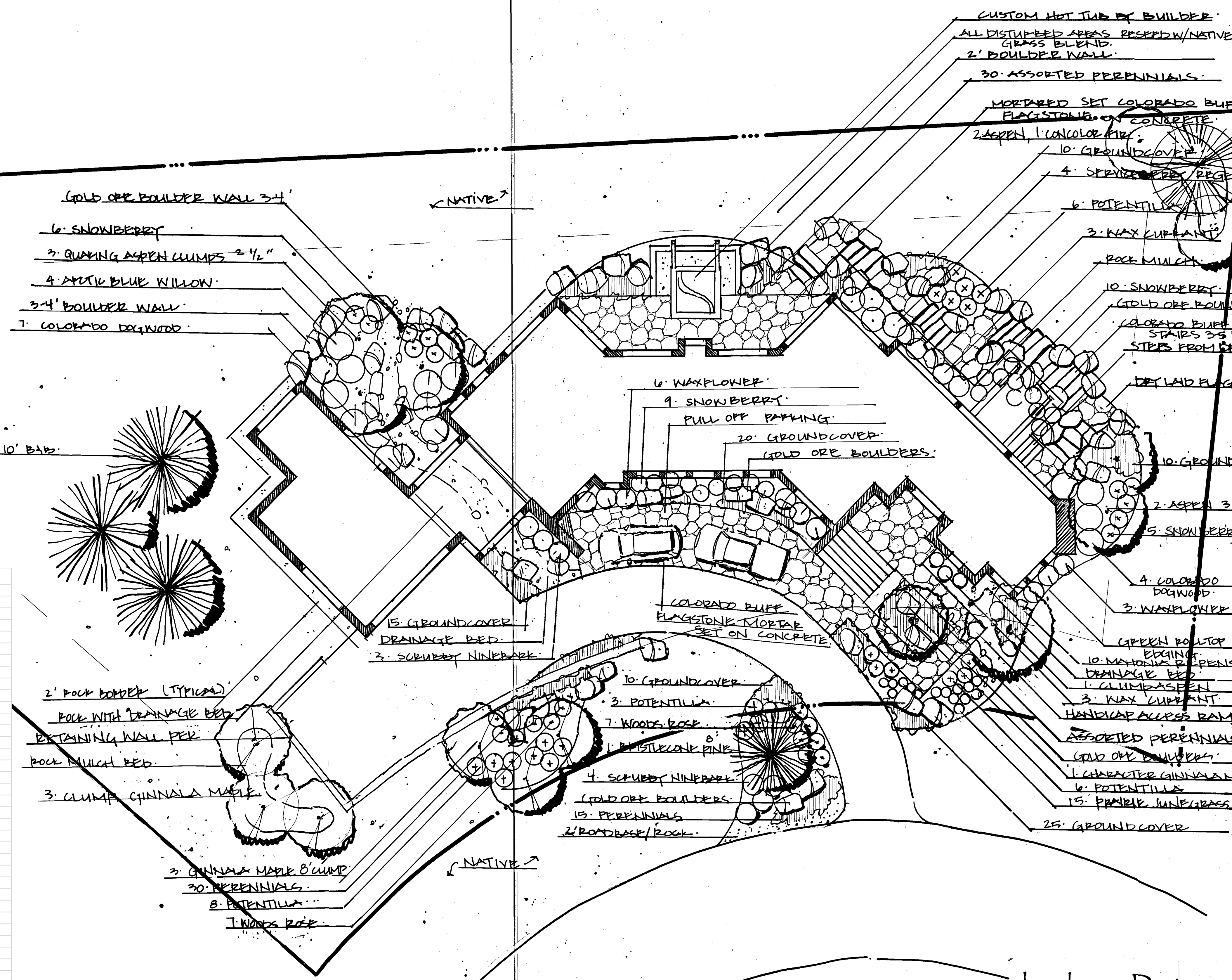
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Custom Home

89 Pennington Place

Mountain Village, CO, 81435

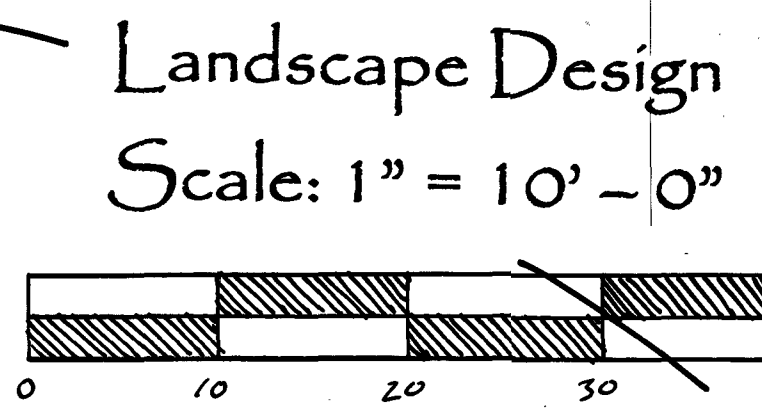


PLANTING SCHEDULE

QTY	Common Name	Scientific Name	Size
TREES:			
6	Quaking Aspen	Populus Tremuloides	2.5" Clump
2	Quaking Aspen	Populus Tremuloides	3" B&B
7	Ginnala Maple	Acer Ginnala	10' clump
1	Bristlecone Pine	Pinus Aristata	8" B&B
3	Colorado Spruce	Picea Pungens	10'-12' B&B
1	White Fir	Picea Abies	12' B&B
SHRUBS:			
14	Woods Rose	Rosa woodsii	5 Gal
4	Arctic Blue Willow	Salix Purpurea	5 Gal
11	Colorado Dogwood	Cornus stolonifera coloradense	5 Gal
7	Scrubby Ninebark	Physocarpus monogynus	5 Gal
23	Potentilla	Potentilla Fruticosa	5 Gal
24	Snowberry	Symphoricarpos oreophilus	5 Gal
9	Wax Currant	Ribes Cereum	5 Gal
9	Waxflower	Jamsia americana	5 Gal
4	Regent Serviceberry	Amelanchier x 'Regent'	5 Gal
10	Creeping Grape Holly	Mahonia repens	1 Gal
Perennials			
195	Assorted Perennials	Assortment from Mountain Village guidelines	1 Gal
Grasses			
15	Prairie Junegrass	Koeleria macrantha	1 Gal
Native Seed Mix:			
5%	Western Yarrow		
10%	Tall Fescue		
5%	Arizona fescue		
5%	Hard Fescue		
15%	Alpine Bluegrass		
10%	Canada Bluegrass		
15%	Perennial Ryegrass		
10%	Slender Wheatgrass		
15%	Mountain Brone		

General Landscape Notes:

- All new landscape will have new irrigation system following Mountain Village irrigation guidelines
- All Plant materials shall be meet the American Standard for nursery stock
- Soil amendment to be added in all disturbed areas tilled to a minimum 6" depth at a rate of 3cy/1000 SF.
- Boulders to be approved by landscape architect, and be complimentary to stone on house.
- All landscape beds to have non-combustible rock mulch applied at a 3" depth. *to be approved by landscape architect
- Final grading certificate should be signed off on before any landscape work begins.
- Newly seeded areas need to be protected with straw, hydromulch or on slopes greater than 3:1 use biodegradable erosion-control netting.
- All beds should be edged with roll top ryerson edging, separating grass and bed lines only.



DESIGNED BY:	DATE:
HOLLY TERRY	4-28-21
REVISIONS:	
DRIVEWAY RAMP	8-20-21

SCALE: 1" = 10' - 0"	
LEGAL:	
JOB	SHEET: 1
	OF 1

THIS PLAN IS PROPERTY OF
 DESIGNSCAPES COLORADO, INC.
 USE OF THIS PLAN OR THE IDEAS FOUND HERE
 ARE PROHIBITED WITHOUT PERMISSION OF
 DESIGNSCAPES COLORADO, INC.



USA / deltalight.us / +1(954) 677 9800
Canada / deltalight.ca / +1(905) 813 6130

Date _____

Name _____

Client _____

Project name _____

Quote# _____

Type/Quantity _____

Features

Powder coated stainless steel construction

Application

For indication lighting Residential, commercial, retail, and hospitality spaces

Dimming Options

Refer to housing or power supply spec sheet.

Listings

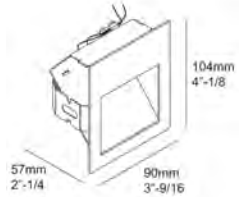
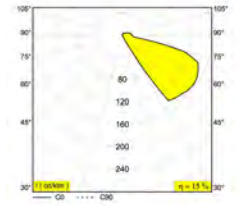


Specification Sheet

HELI X SCREEN LED WW

6 202 04 22

[Weblink](#)



Cutout shape/size:	2" 15/16 x 3" 7/16
Recessed depth:	2" 3/8
Available colors:	ALU GREY (6 202 04 22 A) DARK GREY (6 202 04 22 N)
1 x LED 1,1W / CRI>80 / 3000K / 120lm EXCL.LED POWER SUPPLY 350mA-DC For other CRI or KELVIN, contact factory	
LED Technics:	Light source: 120 lm // 1 W // 122 lm/W Luminaire: 18 lm // 2 W // 9 lm/W
Class 2	Yes
Ada	N.a.
Weight:	0.7 LBS
Protection level:	IP54 - suitable for wet locations
Minimum distance:	n.a.
Options:	CONCRETE BOX 187

Requirements :

LED POWER SUPPLY 350mA-DC DIM (Remote)

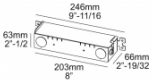
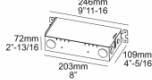
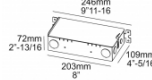
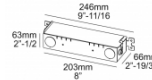
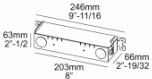
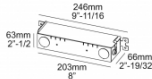
For detailed installation instructions, please consult the manual. [6_202_04_22_HAND.pdf](#)

24/08/2021 18:41:17

HELI X SCREEN LED WW
6 202 04 22

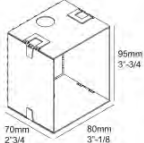
Related references

LED POWER SUPPLIES - REMOTE

<p>Weblink / Specsheet</p>  <p>LED POWER SUPPLY 350mA-DC / 11W DIM8 6 300 46 ED8 120V / 60Hz Number of luminaires: 3 -> 9</p>	<p>Weblink / Specsheet</p>  <p>LED POWER SUPPLY 350mA-DC / 13W DIM12 6 300 70 ED12 120V / 60Hz Number of luminaires: 6 -> 10</p>	<p>Weblink / Specsheet</p>  <p>LED POWER SUPPLY 350mA-DC / 19W DIM1 6 300 44 ED1 120-277V / 60Hz Number of luminaires: 4 -> 15</p>	<p>Weblink / Specsheet</p>  <p>LED POWER SUPPLY 350mA-DC / 19W DIM13 6 300 41 ED13 120-277V / 60Hz Number of luminaires: 4 -> 15</p>
<p>Weblink / Specsheet</p>  <p>LED POWER SUPPLY MULTI-POWER DIM7 6 300 15 120V / 60Hz Number of luminaires: 12 / - / -</p>	<p>Weblink / Specsheet</p>  <p>LED POWER SUPPLY MULTI-POWER DIM14 6 300 14 ED7 120V / 60Hz Number of luminaires: 6 -> 12 / - / -</p>		

Related references

CONCRETE BOXES

<p>Weblink / Specsheet</p>  <p>CONCRETE BOX 187 270 11 187</p>
--

HELI X SCREEN LED WW
6 202 04 22

Related project picture of product family:



HELI X SCREEN LED WW

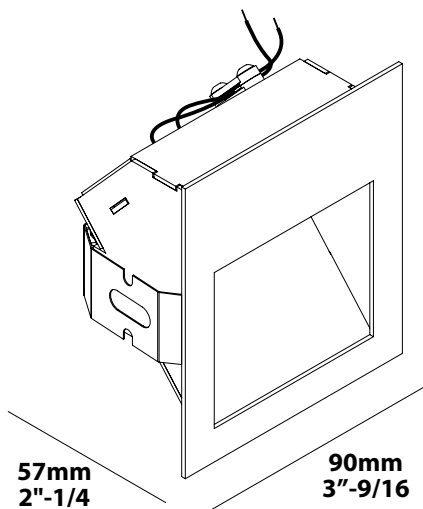
6 202 04 22 ◊

◊ = A / N

HELI X SCREEN LED NW

6 202 04 24 ◊

◊ = A / N



104mm
4"-1/8"

57mm
2"-1/4"

90mm
3"-9/16"

Application

Wall recessed
Concrete box installation
For indoor and outdoor use

Color Finish

A - Alu Grey
N - Dark Grey

Light source

6 202 04 22: 1 x POWERLED WHITE 1,1W
6 202 04 24: 1 x POWERLED WHITE 1,1W

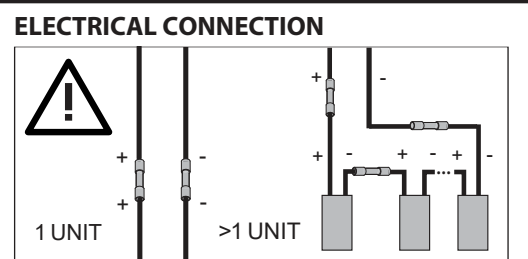
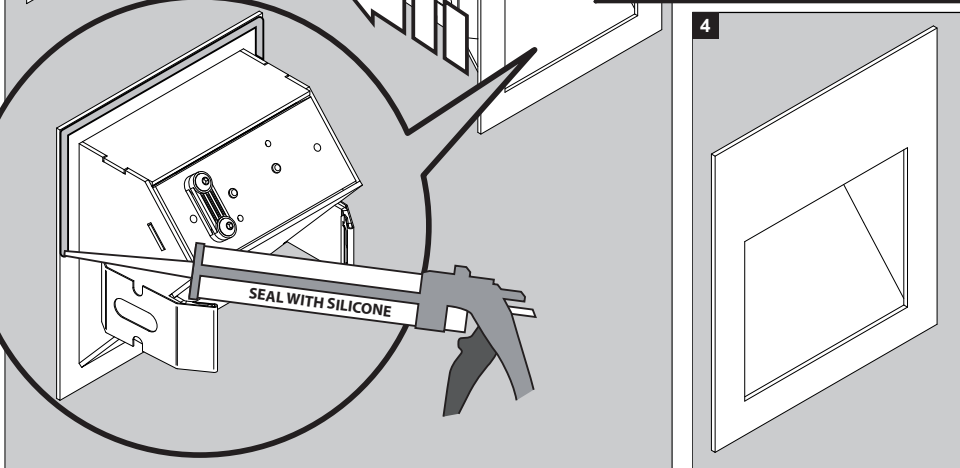
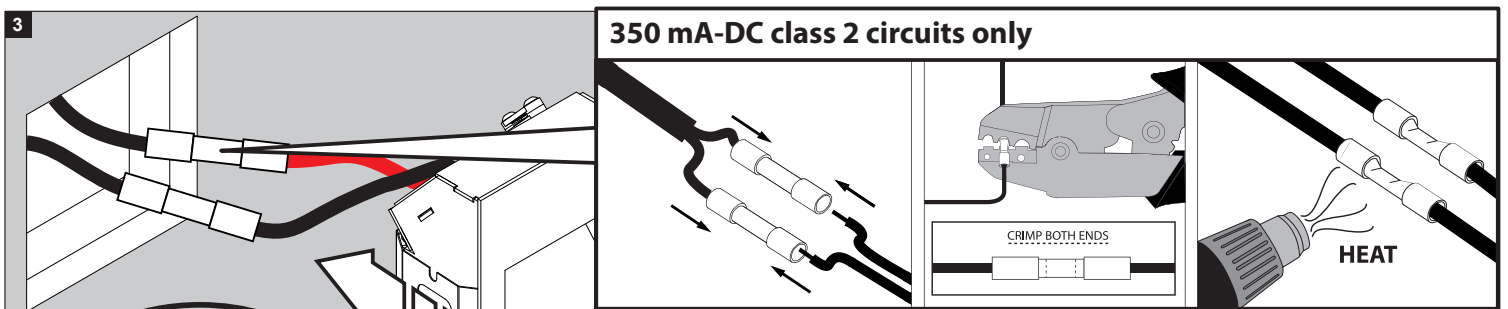
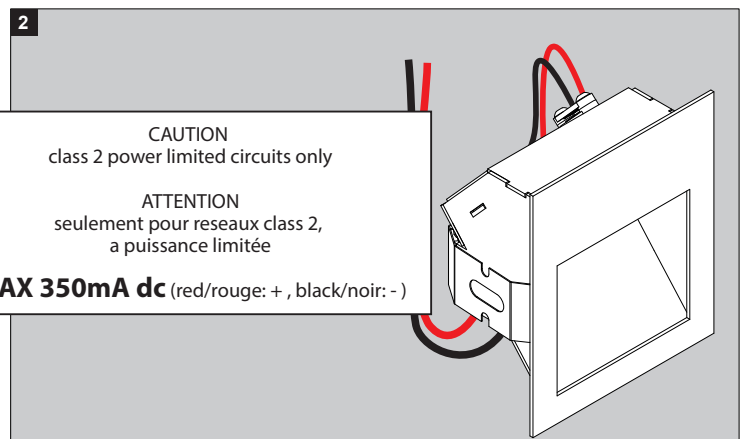
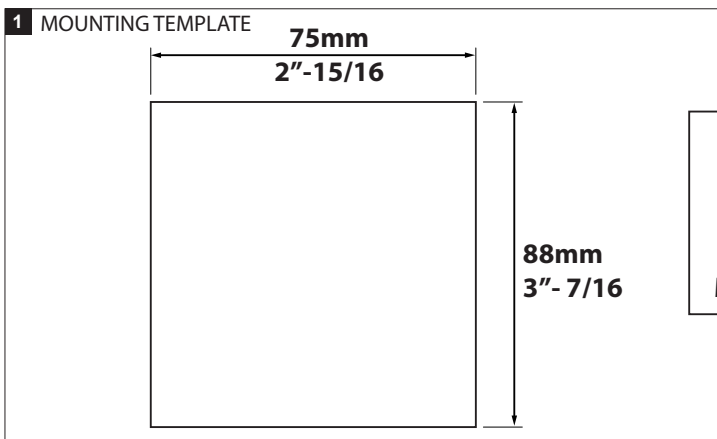
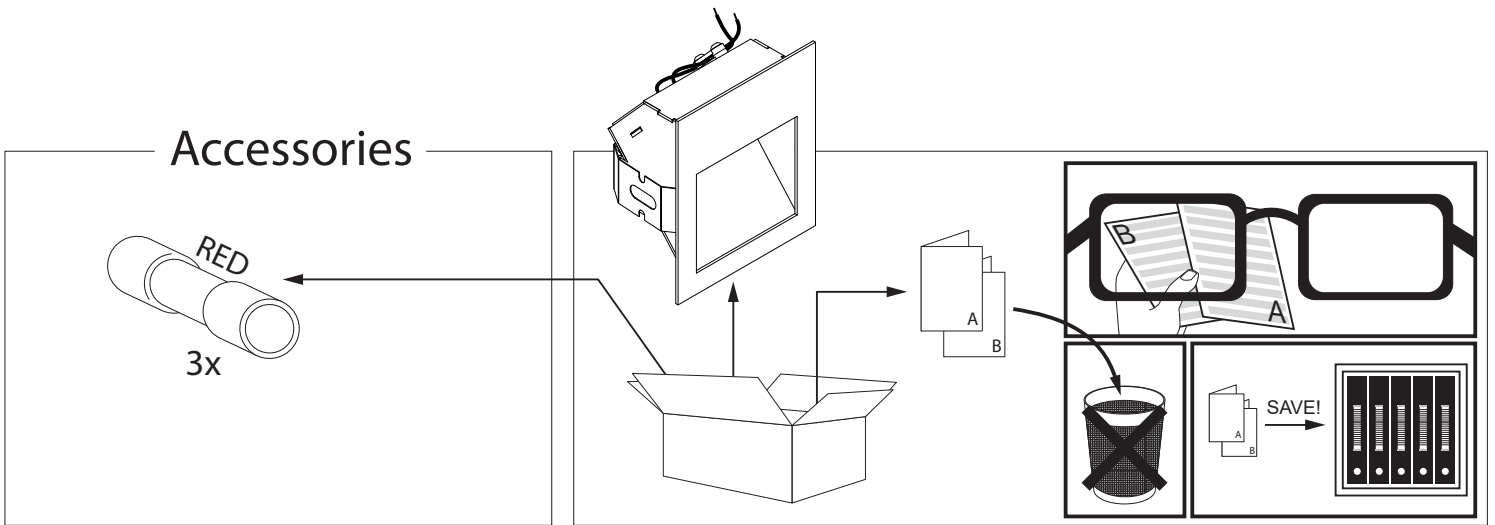
Product description

Powder coated stainless steel housing
Current controled class 2 power supply required
Remote 350mA max, Typical forward voltage 2,8V.
Suitable dry, damp and wet locations
Dust-protected - Protected against splashing water ➔ IP54
Weight: 0,7lbs 0,3kg

Options (not supplied)

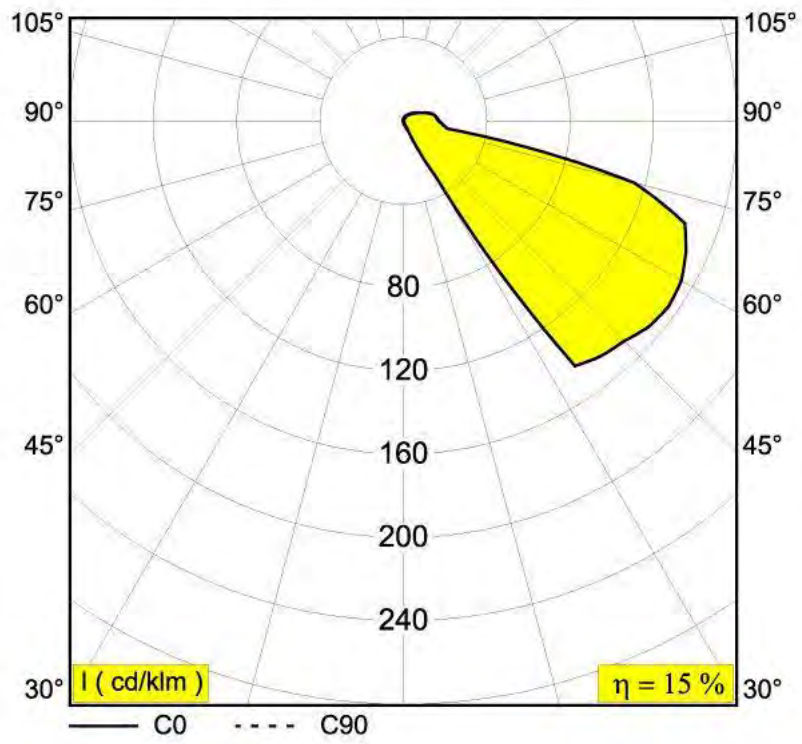
207 11 187 CONCRETE BOX 187

 INSTALLATION LUMINAIRE



WARNING

- Fixtures **MUST** be connected in **SERIES**.
- Connecting fixtures to a live power supply will **damage** the led module.



34898-30, 3.5-INCH SQUARE LED RECESSED, 12W



PRODUCT DETAILS

No.	:	34898-30-01
Product Color	:	BLACK
Length	:	4.5"
Width	:	4.5"
Height	:	2.875"


LIGHT SOURCE DETAILS

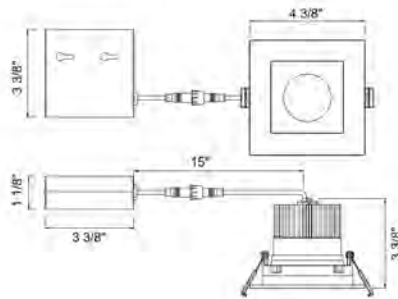
Light Source Type	:	INTEGRATED LED
Input Voltage	:	120V
Bulb Voltage	:	120V
Socket Type	:	LED
Total Wattage	:	12W
Total Lumen	:	800lm
Kelvin	:	3000K
CRI	:	90
Dimmable	:	Yes

OPTIONS AVAILABLE

ITEM NO.	FINISH	SHADE
34898-30-01	BLACK	
34898-30-02	WHITE	

TECHNICAL DETAILS

Location	:	DAMP
Approval	:	
Title 24	:	Yes
Beam Angle	:	40
Cut Hole Diameter	:	3.75"



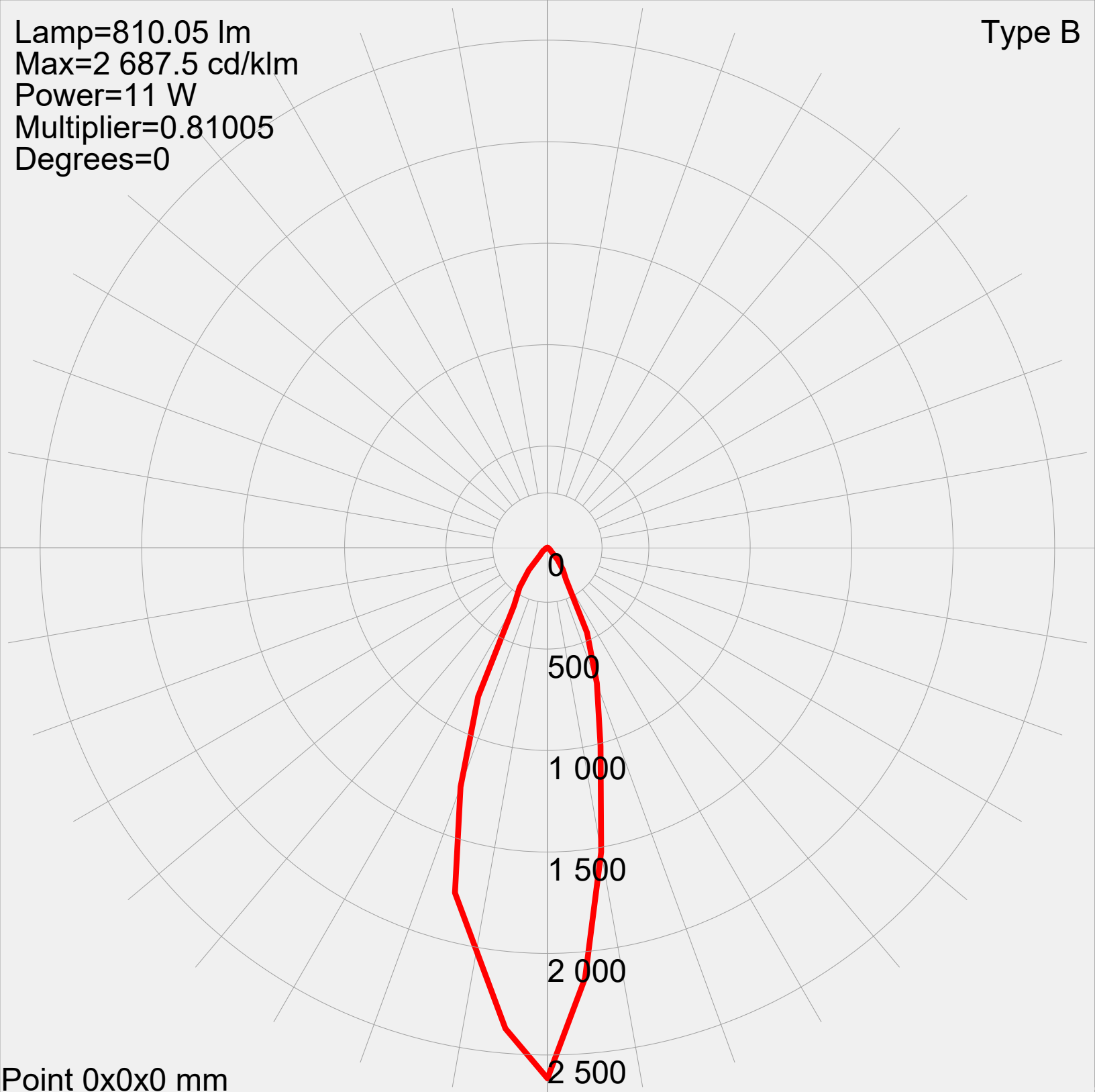
PROJECT INFORMATION

Job Name: Date: Category:

Comments:

Type B

Lamp=810.05 lm
Max=2 687.5 cd/klm
Power=11 W
Multiplier=0.81005
Degrees=0



Point 0x0x0 mm
Luminaire: LED



AGENDA ITEM 8
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: Amy Ward, Planner

FOR: Design Review Board Public Hearing; September 2, 2021

DATE: August 19, 2021

RE: Staff Memo – Initial Architecture and Site Review (IASR) Lot 810A, 118 Arizona Drive

APPLICATION OVERVIEW: New Single-Family Home on Lot 800A

PROJECT GEOGRAPHY

Legal Description: LOT 810A, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE FINAL PLAT OF LOTS 807, 808, AND 810, FILING 11, TELLURIDE MOUNTAIN VILLAGE RECORDED AUGUST 21, 1991 IN PLAT BOOK 1 AT PAGE 1161, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Address: 118 Arizona Dr.

Applicant/Agent: Michelle & Thomas Diverio

Owner: Mast Architecture and Development LLC

Zoning: Single-Family

Existing Use: Vacant

Proposed Use: Single-Family

Lot Size: .831 acres

Adjacent Land Uses:

- **North:** Single-family
- **South:** Single-family
- **East:** Single-family
- **West:** Single-family



Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comment

Case Summary: Michelle and Thomas Diverio, applicants and owners of Lot 810A, are requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home on Lot 810A, 118 Arizona Drive. The Lot is approximately .831 acres and is zoned Single-family. The overall square footage of the home is approximately 6,800 gross square feet, with 5,651 livable square feet, and provides 2 interior parking spaces within the proposed garage and 2 exterior spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. **Please note that Staff comments will be indicated by *Italicized Text*.**

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	35' (shed) Maximum	23' 8"
Maximum Avg. Building Height	30' (shed) Maximum	
Maximum Lot Coverage	40% (6,255 s.f.)	17.2% (6,212 s.f.)
General Easement Setbacks	No encroachment	Grading, hammerhead, and hardscape
Roof Pitch		
Primary		1.5:12
Secondary		1.5:12
Exterior Material		
Stone	35% minimum	19.8%
Windows/Doors	40% maximum	20.9%
Parking	2 interior/2 exterior	2/2

Design variations:

- 1) Exterior Materials – Less than 35% stone

DRB Specific Approval:

- 2) Metal fascia

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates a combination of gable roof forms. Homes with a primary gable roof form are granted a maximum building height of 40 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: Staff has determined that the primary roof form for this home is a gable and therefore granted a maximum height of 40 feet. The applicant has given a max height of 23' 8" and has not computed the max average height. The max height is well under the allowable and appears to meet the requirements maximum heights, it is assumed that the max average height would also be well under, however the applicant should provide this

calculation prior to final review. The plan set demonstrates height compliance with a parallel plane analysis that shows both existing and proposed grade.

17.3.14: General Easement Setbacks

Lot 810A is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The Driveway as shown currently takes access from Arizona Drive and crosses the General Easement to the homesite. There is also a retaining wall associated with the driveway at the NE corner of the GE.*
- *Utilities: Given Lot 810A's location and the location of the existing utilities, the GE will need to be crossed on the North GE, accessing utilities within Arizona Drive.*
- *Landscaping: There is some proposed new planting in the GE in the north GE. The address monument has not been given a proposed location, but it is assumed that it would be in the GE as well.*

The proposal also includes some GE encroachments requiring specific DRB approval:

- *There is a portion of a retaining wall in the western GE*
- *There is landscape grading in the east, south and west GE.*

Staff: The retaining wall in the western GE appears to be intended to create an area behind the garage by which to access the garage/laundry/guest room. Staff believes that this encroachment could be avoided by changing the program to provide an alternate access area rather than to the rear of the home. The grading in the south and west GE (other than the proposed retaining wall) is fairly minimal. The grading in the east GE seems to be an attempt at rerouting a natural drainage swale that runs through the property further to the east to create positive drainage away from the home.

Regardless of the encroachment, any development within the General Easement will require the owner and the Town to enter into a GE Encroachment Agreement as part of a condition of approval.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The home is undoubtedly contemporary in form, however the choice of the gabled roof reflects an alpine style. The two prominent chimneys also play a role in giving this home a mountain style. The chosen materials of steel and stone with smaller accents of wood and stucco should create an exterior capable of withstanding our high alpine environment. The Dark metal roof with an extended overhang at the gable end that wraps into the exterior wall cladding, gives the gabled form a sense of strength and importance that is somewhat reminiscent of the over engineered roofs of a traditional Swiss chalet. Overall, it appears that the design is visually appealing and would fit within the existing Mountain Village Design Theme.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: Lot 810A generally slopes from Arizona Drive north of the home up to the back of the lot to the south of the home. The applicant has buried the back of the home into the hillside, which settles it nicely into the existing landform. Because the natural drainage to the east of the home is being altered slightly to the east, many of the existing trees on the property are being removed to accommodate the re-grading. Staff suggests the applicant provide some additional landscaping along the east side of the home to replace some of the trees that were removed for additional screening as long as they are able to meet defensible space requirements for wildfire.

17.5.6: Building Design

The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation.

Staff: The multiple gable forms of the home are grounded on a stone base giving the home a feeling of a heavy grounded foundation. The renderings provided by the applicant show a white cap to that stone foundation, however the materials calculations call out the material there as stone. The applicant should provide clarification and assure that the renderings and drawings align prior to final review. Staff believes that, if that material is indeed stone, then the grounded wall form requirement has been met. However, if there indeed is a cap material to that base (especially in a light color as portrayed in the renderings), some discussion should be had as to whether the home is meeting that requirement of groundedness.

The proposed cedar siding will be installed in a "fine line" T&G pattern, it is stained a blonde color that will contrast well with the dark metal. The proposed stone is a split face stacked stone in random lengths, this is also a lighter color and will also contrast with roof and metal siding.

The proposed design uses stucco as a siding material. According to the CDC, stucco is an allowable material in areas outside of the Village Center, "as a subordinate exterior material." The applicant has only provided totals for stone and glazing, so it is difficult to determine what percentage of the total exterior materials is comprised of stucco, however doing rough calculations it seems that stucco is not subordinate to wood siding. DRB members should decide whether they believe the stucco as proposed meets the criteria for a subordinate material. Stone siding as proposed does not meet the minimum requirement at 19.8%. DRB should discuss whether they are comfortable with this percentage and if so, should grant a design variation. If not, the applicant should revise the exterior materials to conform to the 35% minimum.

17.5.7: Grading and Drainage Design

Staff: Lot 810A slopes fairly consistently from Arizona Drive up to the SE. Because of the large sub-grade square footage, there will be a large quantity of excavated materials that will need to be either removed from the site or stockpiled. This amount of material should be understood in order to better inform the construction mitigation plans. As discussed previously there is some proposed grading in the GE. This proposed grading is for the creation of the driveway as well as to create positive drainage away from the home.

17.5.8: Parking Regulations

Staff: The applicant has shown two interior and two exterior parking spaces on their plan and seems to be meeting all of the parking requirements of the CDC.

17.5.9: Landscaping Regulations

The applicant has provided a landscaping plan, the Town Forester has indicated that the blue spruce shown in Zone 1 could become a major source of home ignition and should be moved to at least 5' from the edge of the structure. Staff would also encourage the applicant to add some additional plantings along the east side of the driveway, to replace some of the native trees that were removed due to re-grading. The applicant should provide an updated landscaping plan prior to final review.

17.5.11: Utilities

Staff: Existing utilities pedestals for electric, phone fiber are within Arizona Drive as well as at the at the northwest corner of the lot. Most of the connections appear to be on the west side of the home and not in a very visible location.

17.5.12: Lighting Regulations

Staff: A preliminary lighting plan was provided with the initial submittal; however, the applicant has withdrawn that plan on the recommendation of staff and will submit a revised lighting plan for final review better addressing the requirements of the CDC. It should be noted that the lighting plan is not required until final review.

17.5.13: Sign Regulations

Staff: location of the address marker has not been indicated on the site plan. The monument uses stone, steel and wood materials to match the home. The indicated dimensions meet the CDC design regulations; however, the numerals are indicated to be backlit by an LED. This should be revised to show a downlit fixture. The applicant should revise the design and provide a location prior to final review.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: The applicant has submitted a fire mitigation plan that mostly meets the Forestry provisions of the CDC. The Town Forester has indicated that he would like to see all new plantings of blue spruce moved at least 5' from the edged of the home. Additionally, prior to building permit the applicant shall work with the town forester on site to identify trees for removal, ensuring the 10' crown to crown spacing mandated by the CDC.

17.6.6: Roads and Driveway Standards

Staff: The driveway appears to meet the width of 12' plus 2' shoulders. Both the entrance to the garage as well as the entrance to Arizona Dr. have a 4-5% grade which is appropriate. The rest of the driveway averages to a 7.89% grade.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does include a fireplace but has not called out a fuel source. This should be clarified prior to final review. If the applicant intends to have a wood burning fire place, then a solid fuel burning permit must be provided to the Town.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The construction mitigation plan shows required material staging, dumpster, bear-proof trash receptacles, parking and a port a toilet. The construction fencing is indicated around the perimeter of the site. Appropriate silt fencing and wattles are indicated. The applicant should add an area of excavated dirt stockpiles and/or indicate removal of such. No crane is indicated on the CMP, if it is determined that one is required, the applicant shall work with town staff to make sure the crane swing doesn't impede the roadway. It is likely that at least during the initial excavation, if not throughout the whole construction process, that additional parking will be required on Arizona Drive. The applicant should work with the town to obtain any necessary roadside parking permits.

Staff Recommendation: Staff recommends the DRB approve the Initial Architectural and Site Review for Lot 810A, 118 Arizona Drive, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architectural and Site Review for a new single-family home located at Lot 810A, based on the evidence provided within the Staff Report of record dated August 19, 2021, with the following design variations and specific approvals:

Design variations:

- 1) Exterior materials – less than 35% stone

DRB Specific Approval:

- 1) GE encroachment for grading (and western retaining wall if DRB finds this encroachment approvable)
- 2) Metal fascia

And, with the following conditions:

- 1) Prior to final review, the applicant shall include the max average height calculations on their height compliance sheet.
- 2) Prior to final review, the applicant shall revise the landscaping plan to move all new spruce plantings at least 5' from edge of home, and to add additional plantings for screening to the east of the driveway.
- 3) Prior to final review, the applicant shall revise the materials calculations and renderings to be in alignment and clarify the material at the top of the "stone bases".
- 4) Prior to final review, the applicant shall revise the materials calculations to show the total sum of each material.

- 5) Prior to final review, the applicant shall revise the address monument to meet the lighting specifications of the CDC and shall show the proposed monument location on the site plan.
- 6) Prior to final review, the applicant shall revise the construction mitigation plan to calculate excavated material to be store or removed, and to indicate a staged parking scenario.
- 7) Prior to final review, the applicant shall revise the floorplans to indicate fuel source for any solid fuel burning devices.
- 8) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 9) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 10) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 11) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/aw



NEW SINGLE FAMILY RESIDENCE AT 810A ARIZONA STREET MOUNTAIN VILLAGE, COLORADO 81435

GENERAL NOTES

1. These documents, as instruments of service, are the property of Architect and may not be used or reproduced in any manner without expressed written consent.
2. No deviations from these plans are to be made, in any way, without the expressed WRITTEN permission of the Architect. Alternate equipment may only be substituted with written approval of the Architect.
3. The General Contractor (G.C.) is to provide, locate and build into the work all supplementary materials (inserts, anchors, angles, plates, openings, sleeves, hangers, slab depressions, pitches, etc) as required to properly install, support, brace, and shore all building components within the scope of the project.
4. It is not the intent of these documents to show every minor construction detail. The G.C. is expected to furnish and install all items required to complete all building systems and provide all necessary appurtenances for equipment to be placed in proper working order with quality craftsmanship without increasing the contract sum or contract completion date.
5. The G.C. is to obtain all required permits for the construction, finishing and occupancy of the project.
6. All work described in these documents must be performed by construction professionals licensed & insured in the state of Colorado, and shall be performed in accordance with the latest edition of the International Building Code, National Electric Code, City Ordinances, and County amendments.
8. It is the intent of the Architect that this work conform with all requirements of the building authorities having jurisdiction over this type of construction and occupancy. The G.C. shall notify the Architect/Engineer of Record immediately if any discrepancies are encountered between the drawings and these requirements. Any discrepancies shall be resolved by the Architect/Engineer of Record prior to proceeding with the work.
9. Structural Drawings shall be worked together with Architectural, Plumbing, Mechanical, and Electrical drawings to locate depressed slabs, slopes, drains, outlets, recesses, openings, regulates, bolt settings, sleeves, dimensions, etc. Discrepancies shall be brought to the attention of the Architect before proceeding with any and all work.
10. These drawings are not to be scaled. Use dimensions and information shown. All dimensions are frame to frame, to structure, or to centerline, unless otherwise noted. The G.C. shall verify all dimensions in field and report any discrepancies to Architect for action.
11. The G.C. shall verify all dimensions and conditions at the job site before starting any work. Bring all discrepancies to the attention of the Architect before beginning any work.
12. The G.C. shall promptly notify the Architect in writing of the existing of any observed variations between the Contract Documents and the applicable codes or ordinances.
13. All work done under the supervision of the G.C. shall be in a neat and workmanlike manner in accordance with federal, state and local governing agencies having jurisdiction.
14. The G.C. shall repair all damage to the existing building during construction resulting from lack of care and due diligence and may not claim monetary damages or time delays against the contract sum or contract completion date for that work.
15. The G.C. shall coordinate and schedule the work of all trades to insure that the project is completed by the contract completion date.
16. Prior to commencing work, the G.C. shall verify the location of all equipment to be removed/relocated. Removals shall be coordinated with the Owner.
17. The G.C. shall provide an on-site dumpster in a location coordinated with the owner for the disposal of removed material/construction debris. The dumpster shall be emptied periodically to prevent overflow and unsightly conditions.
18. The G.C. shall provide the Architect with redline as-built drawings for all field changes/additions to the work included in the drawings.
19. The G.C. shall provide an itemized cost breakdown of all items and phases of construction at the time of bidding.
20. The Architect is not responsible for construction means, methods, sequences, procedures, precautions or programs related to this project's construction.
21. All work is to be plumb, aligned, square, and adequately supported. Fill all voids between components. All items that do not meet the Architect's satisfaction as to good trade practices and quality craftsmanship shall be removed and redone at the G.C.'s expense.
22. The G.C. is to maintain a safe site, clear of debris at all times.
23. The G.C. and all subcontractors are to guarantee the quality of their work for a minimum period of one year in writing, to be submitted with the bid.
24. All details and sections shown on these drawings are intended to be typical and shall be construed to apply to any similar situation elsewhere in the work except where a different detail is shown. It is the G.C.'s responsibility to foresee additional conditions prior to commencing the work and notify the Architect immediately for instruction.
25. All assemblies referred to as fire-rated shall be a minimum of one hour unless otherwise indicated. All penetrations through any rated assembly shall be provided with approved penetration rated devices.
26. Attention is directed to provisions in AIA Document A201 "General Conditions", Article 4, regarding Contractor's responsibility in regards to shop drawings. The G.C. shall review and approve the submitted shop drawing with the Contract Documents prior to submission to the Architect. Rejected shop drawing will be returned to the Subcontractor for revision and re-submission. The Architect shall then review and approve the submitted shop drawing for design intent only. Rejected shop drawings will be returned to the Subcontractor for revision and re-submission. Once approved by the Architect and Contractor, the Subcontractor shall submit the shop drawings to the City Building Department for review and approval prior to any fabrication and installation. All shop drawings shall be submitted on 24" x 36" PAPER ONLY. Submit 4 (four) copies for approval. Truss drawings shall be at the same scale as that of the floor plan, and all shop drawings shall be sealed and signed by a registered Engineer, in order to be approved.
27. The G.C. shall provide a telephone (cell phones are acceptable) and fax line at the job site. The G.C. is responsible for its use.
28. The G.C. shall verify the location of any and all existing utility lines in the area of proposed work.

DESIGN PROFESSIONALS

ARCHITECT OF RECORD:



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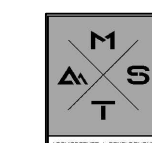
STRUCTURAL ENGINEER:

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970.318.1469
matt@peepeng@gmail.com

SURVEYOR:

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Jeffrey Haskell
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jhaskell@foleyassoc.com

DESIGN ARCHITECT:



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CIVIL ENGINEER:

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INDEX OF DRAWINGS

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- A1.0 Cover Sheet & General Notes
- A1.1 Site Plan
- A1.2 Landscape Plan
- A1.3 Survey
- A2.1 First Floor Plan
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- A2.3 Roof Plan
- A3.1 Elevations
- A3.2 Elevations
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- A3.4 Elevations
- A3.5 Address Monument Details & Materials Area
- A3.6 Renderings & Exterior Materials
- A3.7 3D model views
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CIVIL SHEETS

- C1 Notes
- C2 Site Grading with Driveway Profile
- C2.1 Site Grading with Trees Displayed
- C3 Utilities
- C4 Construction Mitigation

CODE COMPLIANCE & GENERAL PROJECT DATA

Project Scope of Work:
New 2-story single family residence
New driveway approach

Building Codes: The work in these documents shall be done in accordance with:

- IRC 2012
- Community Development Code, Town of Mountain Village, as amended on August 20, 2020

Town of Mountain Village Zoning District: Single Family Residential

Building Stories: 2 total floors.
Occupancy Classification: R-3

Gross Floor Area
Living
First Floor 1,311 square feet
Second Floor 4,340 square feet

Sub-total 5,651 square feet
Garage/Mechanical 1,149 square feet

Total Area 6,800 square feet

Lot Area: 36,192 square feet (0.831 Acres)

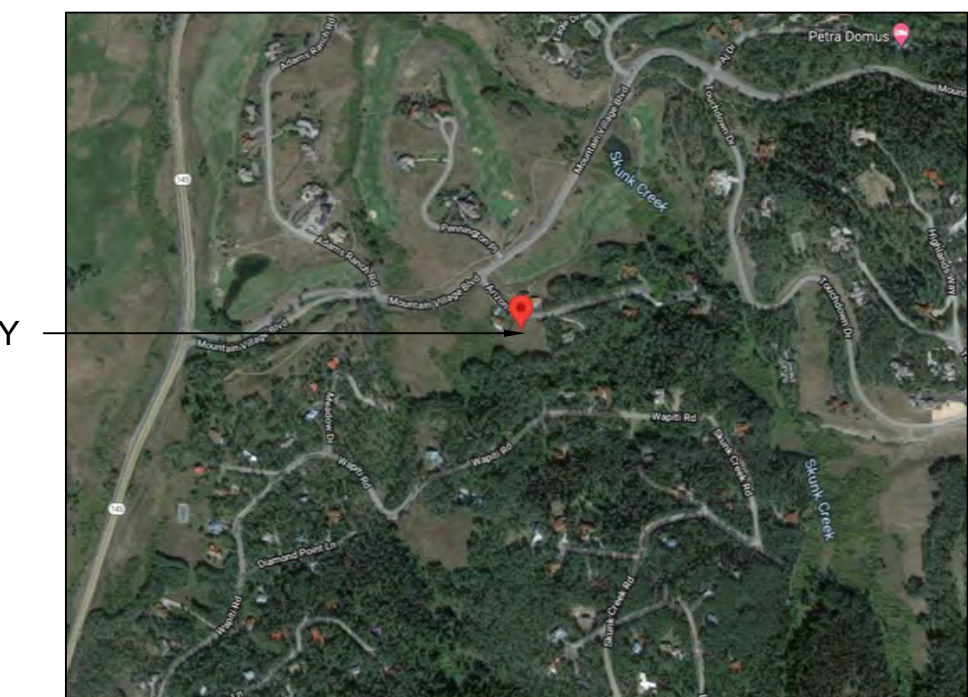
Lot Coverage:
Maximum Lot Coverage 40% (14,476.8 square feet)
Proposed Lot Coverage 17.2% (6,212 square feet)

Building Height:
Maximum Building Height 35'-0"
Proposed Building Height 23'-8"

Parking:
Required spaces 2 enclosed spaces + 2 off street parking = 4 total
Proposed spaces 2 enclosed spaces + 2 off street parking = 4 total

LOCATION MAP

MOUNTAIN VILLAGE, COLORADO 81435



PROPERTY

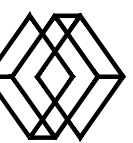
LEGAL DESCRIPTION

Lot 810A, Telluride Mountain Village, filing 11, according to the final plat of lots 807, 808 and 810, filing 11, Telluride Mountain Village recorded August 21, 1991 in plat book 1, page 1161.

County of San Miguel, State of Colorado

Mauricio Salazar, Architect
AR 7987 (Florida)
ARC 000406806 (Colorado)
LEED AP BD+C
mauricio@saltoarchitecture.com

ARCHITECT OF RECORD
SALTOARCHITECTURE



NEW SINGLE FAMILY RESIDENCE AT
810A ARIZONA STREET
MOUNTAIN VILLAGE, COLORADO 81435
(LOT 810A, TOWN OF MOUNTAIN VILLAGE)

DESIGN REVIEW BOARD
SUBMITTAL SET
7.6.2021

COVER SHEET & GENERAL NOTES

REVISION DATE

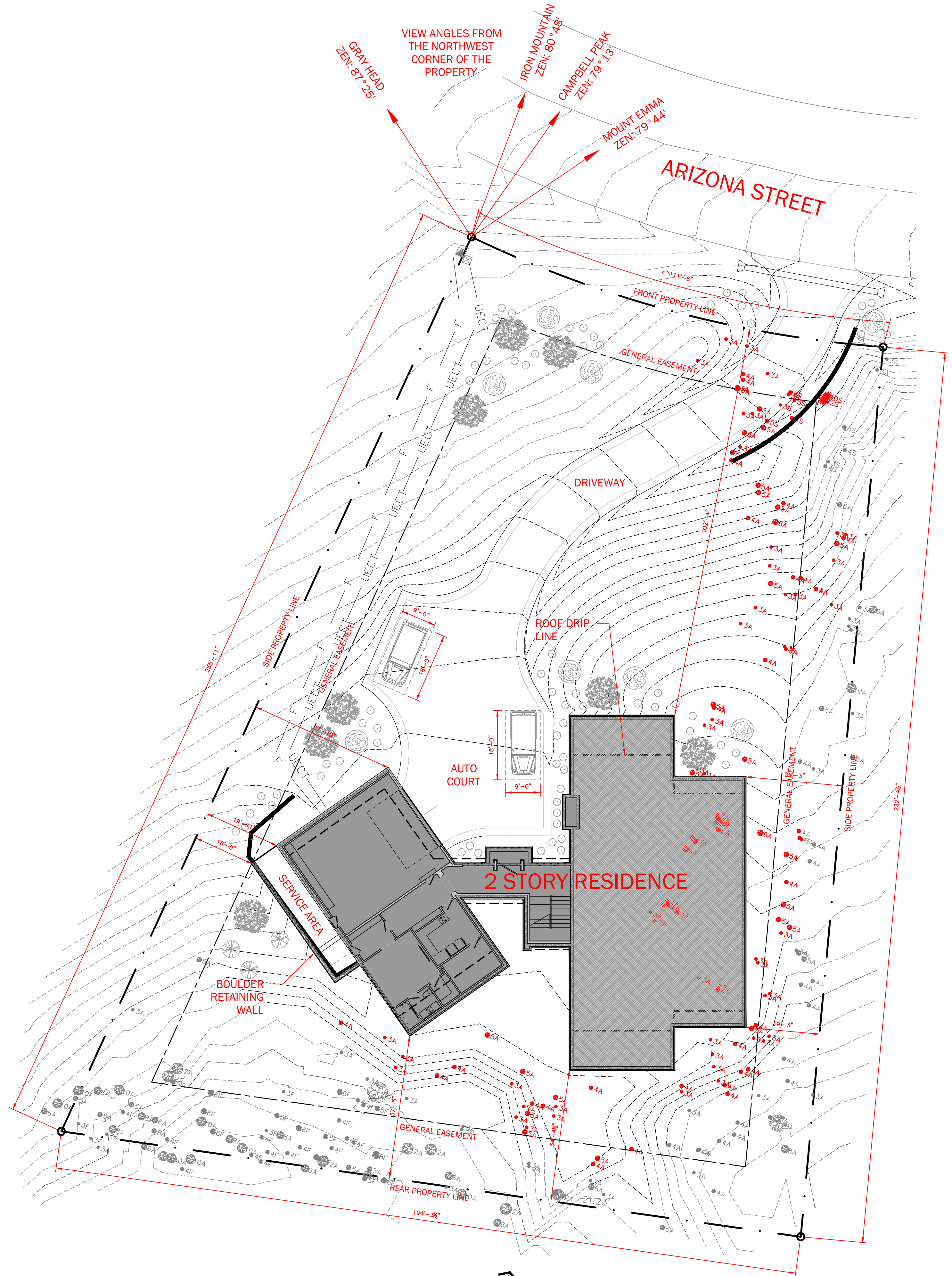
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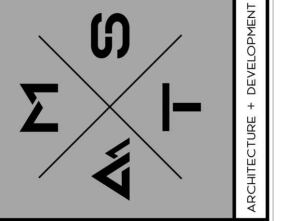
EXISTING SITE PLAN

1/16" = 1'-0"



PROPOSED SITE PLAN

1/16" = 1'-0"



GENERAL NOTES

- All trees and shrubs to be located by project Architect / Owner.
- All trees and shrubs shall be backed filled with a topsoil / organic fertilizer mixture at a 2:1 ratio.
- Necessary trees shall be staked with 4" metal posts. Trees shall be guyed with 12 gauge galvanized wire and polypropylene tree race strips.
- Perennial planting beds shall be tilled 6" depth and amended with topsoil and organic fertilizer at a 2:1 ratio.
- See planting details for all deciduous and evergreen trees.
- Mulch all perennial beds with a pine bark soil conditioner by Southwest Importers; shredded cedar bark.
- All plant material to meet the American Standard for Nursery Stock.
- All existing trees shall be protected throughout the duration of construction.

NOXIOUS WEEDS:

- All planted materials including seeds, shall be non noxious species as specified in the noxious weed CDC Table 5-5 or subsequently designated as a noxious weed by the State of Colorado, or the town.

LANDSCAPE MAINTENANCE NOTES:

- Turf shall be aerated 2 to 3 times per year to increase the water absorption rate. Necessary organic fertilization and amendment shall be incorporated at the same time.
- Necessary organic fertilizers and amendment shall be added to perennial beds seasonally along with mulch.
- All shrubs in snow shed areas to be cut back in fall to 12"-18" in height.
- Irrigation system to be blown out by October 31st each fall and turned on by June 1st each spring.



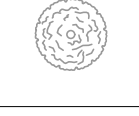

IRRIGATION NOTES:

- Tap with rainbird pvb-075 backflow preventer.
- Rainbird RCM-12 electromechanical controller.
- 1.5" Wilkins model 500 pressure regulator.
- Rainbird 150-PEB 1.5" electric remote control valve.
- Class 200 PVC mainline 1 1/2".
- 1" BONSF polylaterall line.
- Water sensor by Rainbird

REVEGETATION NOTES

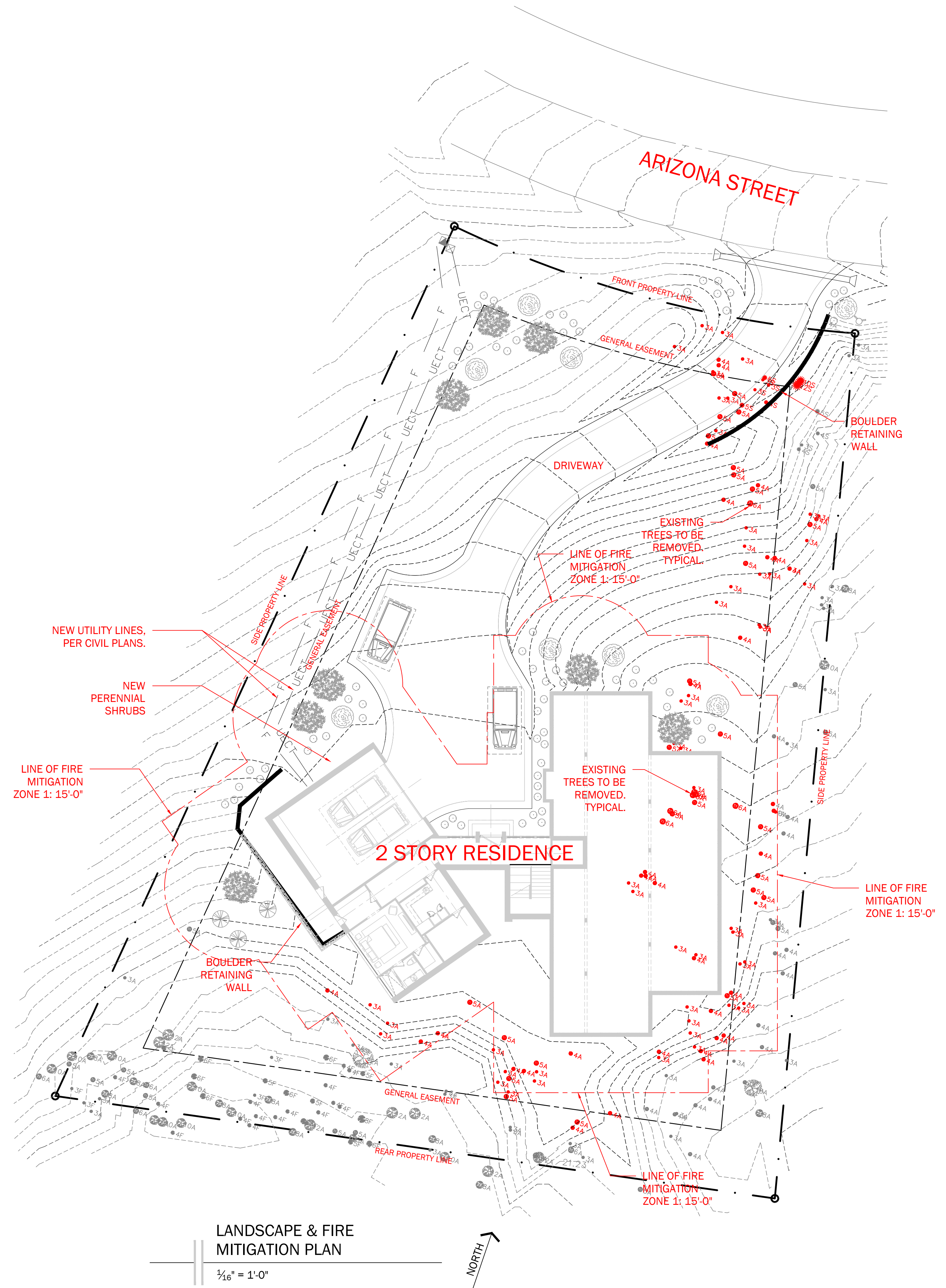
- Subsoil surfaces shall be tilled to a 4" depth on non fill areas.
- Topsoil shall be spread at a minimum depth of 4" over all areas to be revegetated (except on slopes greater than 3:1) and amendments rototilled at a rate of three cubic yards per thousand square feet.
- Broadcasting of seed shall be done immediately after topsoil is applied (within 10 days to minimize erosion and weeds.
- Areas which have been compacted or relatively undisturbed needing seeding, shall be scarified before broadcasting of seed.
- Broadcast with specified seed mix and follow with dry mulching, straw or hay shall be uniformly applied over seeded area, at a rate of 1.5 tons per acre for hay or 2 tons per acre for straw, crimp in.
- On slopes greater than 3:1 erosion control blanket shall be applied in place of straw mulch and pinned.
- All utility cuts shall be revegetated within two weeks after installation of utilities to prevent weed infestation.
- Seed all areas labeled native grass seed with the following mixture at a rate of 12 lbs per acre.
 - Western Yarrow 5%
 - Tall Fescue 10%
 - Arizona Fescue 5%
 - Hard Fescue 5%
 - Creeping Red Fescue 10%
 - Alpine Bluegrass 15%
 - Canada Bluegrass 10%
 - Perennial Ryegrass 15%
 - Slender Wheatgrass 10%
 - Mountain Brome 15%

PLANT SCHEDULE

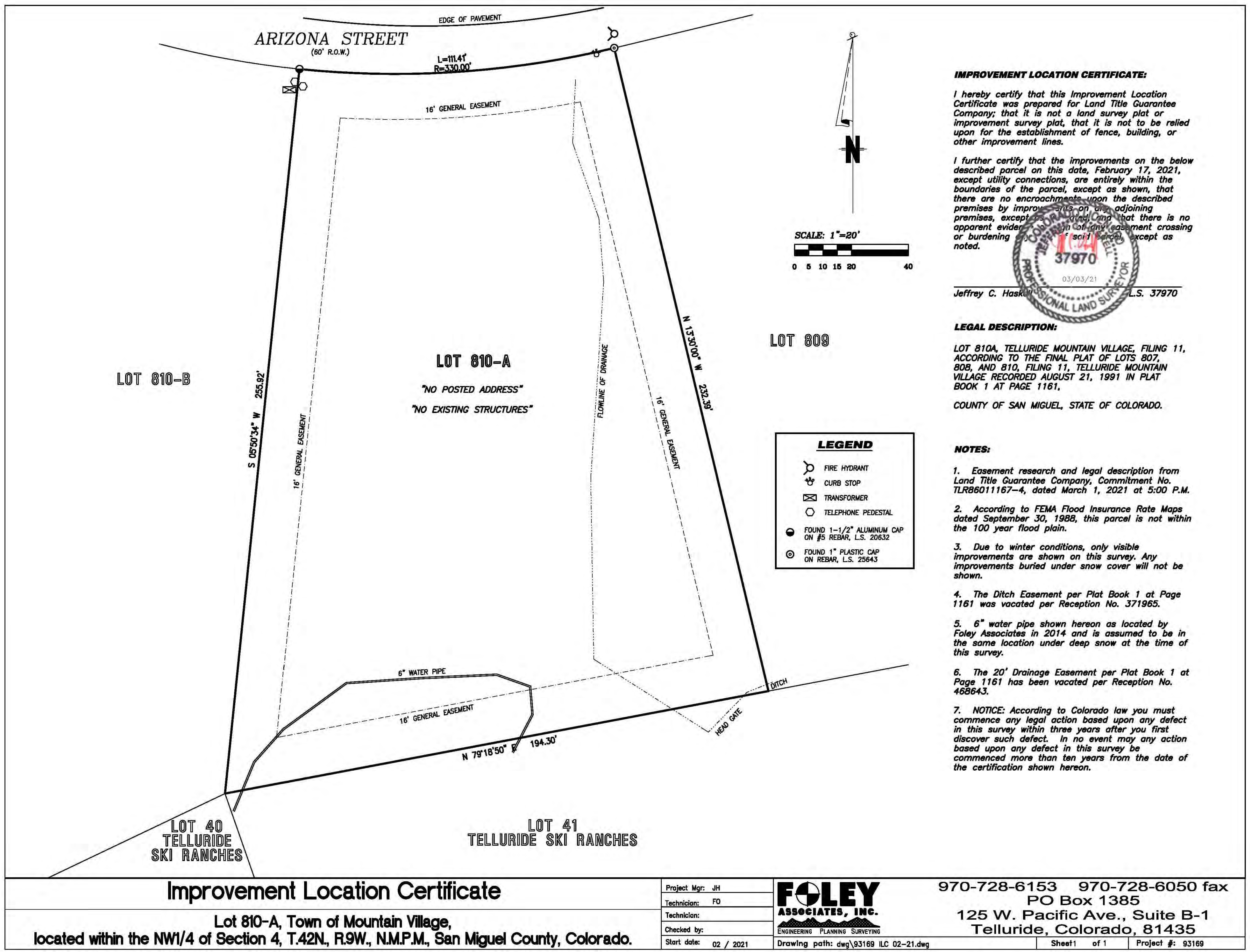
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY
	COLORADO SPRUCE	PICEA PUNGENS 'COLORADO'	12'-0"	8
	QUAKING ASPEN	POPULUS TREMULOIDES	3"	3
	BRISTLECONE PINE	PINUS ARISTATA	6'-0"	8
	GLOBE SPRUCE SHRUB	PICEA PUNGENS 'GLOBOSA'	2'-0"	68

FIRE MITIGATION NOTES

- Zone 1:**
- All slash and flammable vegetation shall be removed from Zone 1.
 - All trees and shrubs located within Zone 1 shall be removed.
- Zone 2:**
- Dominant and codominant live trees with a dbh of four inches (4") or greater shall be spaced with a ten foot (10') crown-to-crown separation. All ladder fuels and slash shall be removed from the ten foot (10') crown-to-crown separation area.
 - All stressed, diseased, dead or dying trees and shrubs, as identified by staff, shall be removed except for standing dead trees that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.
 - Shrubs over five feet (5') tall shall have an average spacing of ten feet (10') from shrub-to-shrub.
 - Trees remaining within Zone 2 shall have branches pruned to a height of ten feet (10'), but notwithstanding said height requirement, branches need not be pruned to more than one-third (1/3) of the tree height with the following exceptions:
 - Aspen trees
 - Isolated spruce and fir trees.



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IMPROVEMENT LOCATION CERTIFICATE:
 I hereby certify that this Improvement Location Certificate was prepared for Land Title Guarantee Company; that it is not a land survey plat or improvement survey plat, that it is not to be relied upon for the establishment of fence, building, or other improvement lines.

I further certify that the improvements on the below described parcel on this date, February 17, 2021, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on the adjoining premises, except as shown, and that there is no apparent evidence of any easement crossing or burdening of the parcel, except as noted.



Jeffrey C. Haskins, Professional Land Surveyor, L.S. 37970

LEGAL DESCRIPTION:
 LOT 810A, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE FINAL PLAT OF LOTS 807, 808, AND 810, FILING 11, TELLURIDE MOUNTAIN VILLAGE RECORDED AUGUST 21, 1991 IN PLAT BOOK 1 AT PAGE 1161.
 COUNTY OF SAN MIGUEL, STATE OF COLORADO.

LEGEND

	FIRE HYDRANT
	CURB STOP
	TRANSFORMER
	TELEPHONE PEDESTAL
	FOUND 1-1/2" ALUMINUM CAP ON #5 REBAR, L.S. 20632
	FOUND 1" PLASTIC CAP ON REBAR, L.S. 25643

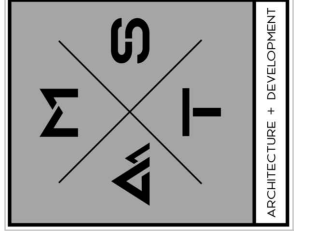
- NOTES:**
- Easement research and legal description from Land Title Guarantee Company, Commitment No. TLR86011167-4, dated March 1, 2021 at 5:00 P.M.
 - According to FEMA Flood Insurance Rate Maps dated September 30, 1988, this parcel is not within the 100 year flood plain.
 - Due to winter conditions, only visible improvements are shown on this survey. Any improvements buried under snow cover will not be shown.
 - The Ditch Easement per Plat Book 1 at Page 1161 was vacated per Reception No. 371965.
 - 6" water pipe shown hereon as located by Foley Associates in 2014 and is assumed to be in the same location under deep snow at the time of this survey.
 - The 20' Drainage Easement per Plat Book 1 at Page 1161 has been vacated per Reception No. 468643.
 - NOTICE:** According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

Improvement Location Certificate		Project Mgr: JH	FOLEY ASSOCIATES, INC. ENGINEERING PLANNING SURVEYING	970-728-6153 970-728-6050 fax
Lot 810-A, Town of Mountain Village, located within the NW1/4 of Section 4, T.42N, R.9W., N.M.P.M., San Miguel County, Colorado.		Technician: FO		PO Box 1385
		Checked by:	125 W. Pacific Ave., Suite B-1	
		Start date: 02 / 2021	Telluride, Colorado, 81435	
		Drawing path: dwg\93169 ILC 02-21.dwg	Sheet1 of 1	Project #: 93169

Survey shown here is for reference only. See attached signed/sealed copies

BOUNDARY SURVEY
N.T.S.

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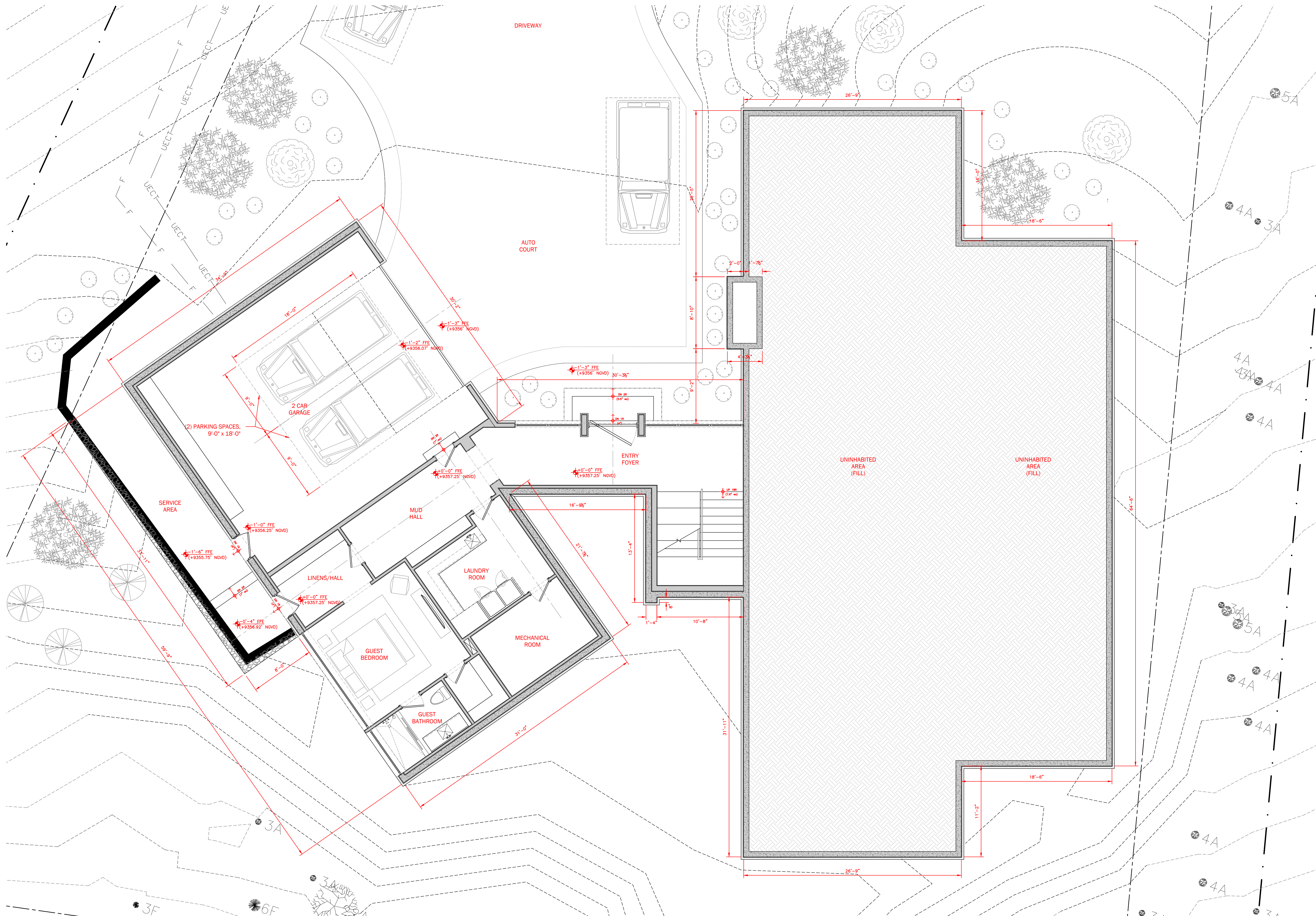


NEW SINGLE FAMILY RESIDENCE AT
810A ARIZONA STREET
MOUNTAIN VILLAGE, COLORADO 81435
(LOT 810A, TOWN OF MOUNTAIN VILLAGE)

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7.6.2021

SURVEY	
REVISION	DATE

A1.3

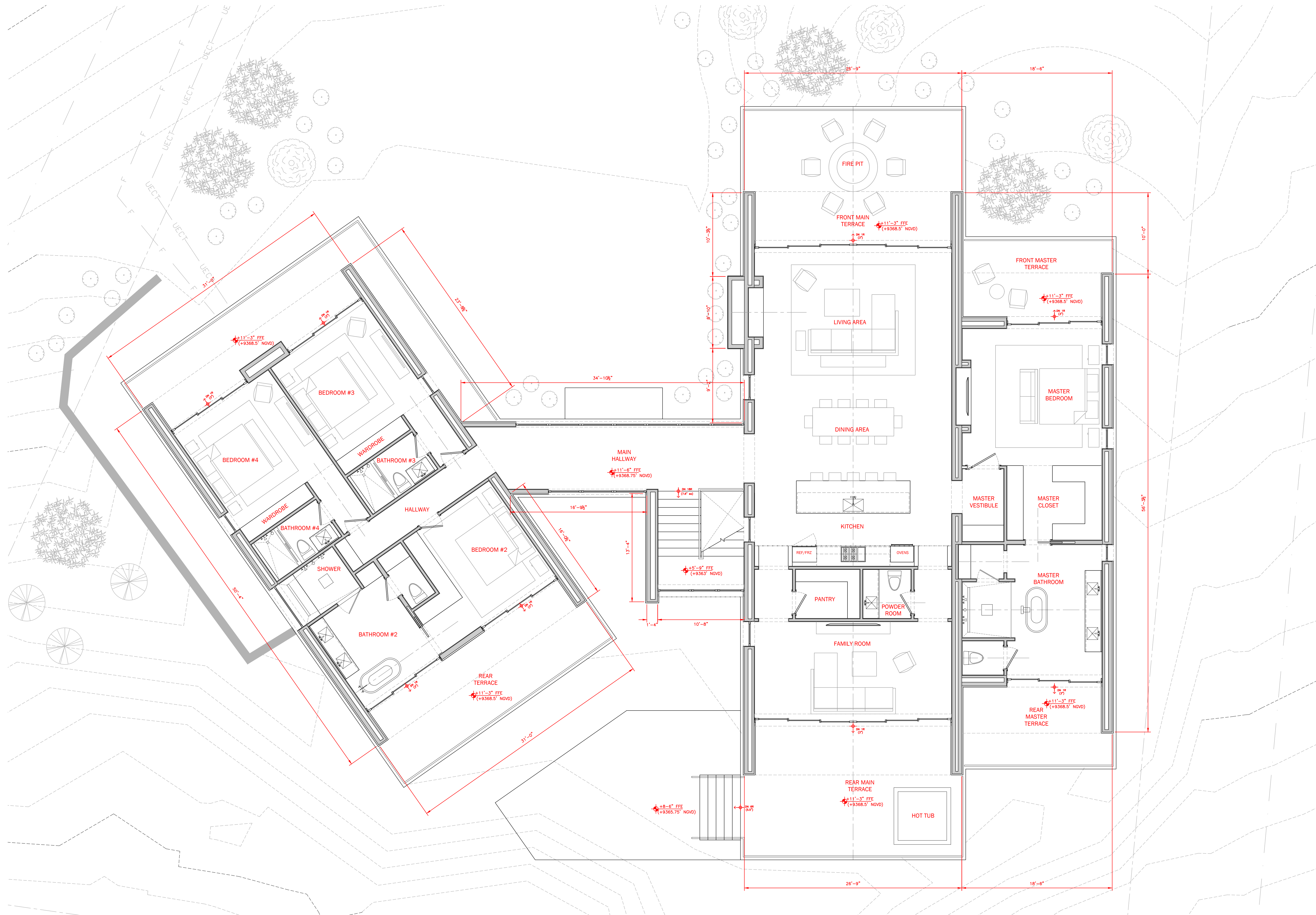


FIRST FLOOR PLAN

3/16" = 1'-0"



REVISION	DATE



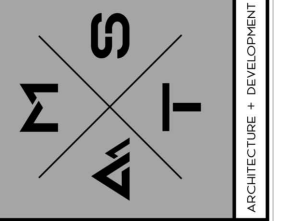
SECOND FLOOR PLAN

3/16" = 1'-0"



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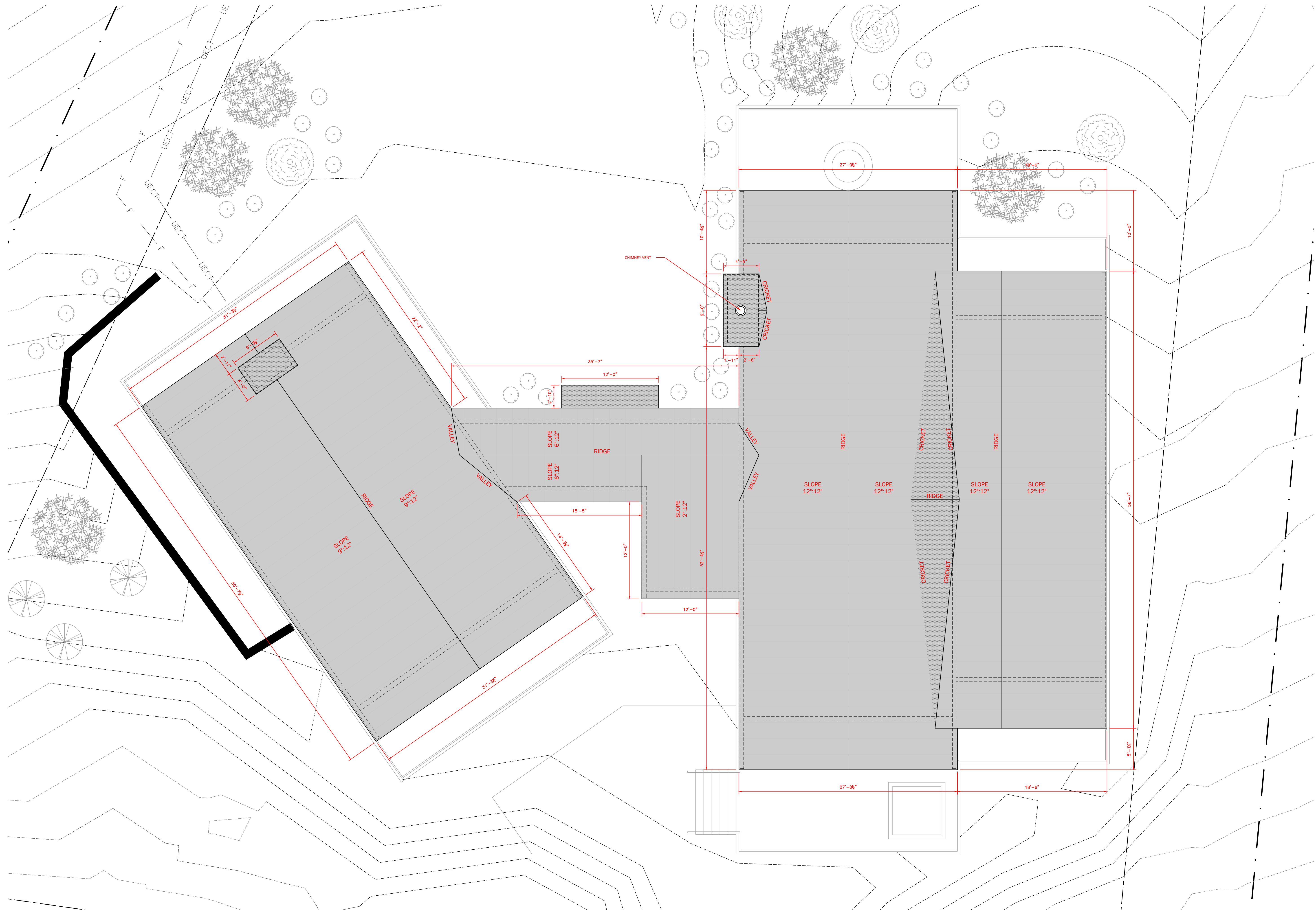
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SECOND FLOOR
 PLAN

REVISION DATE

A2.2

2139MAS



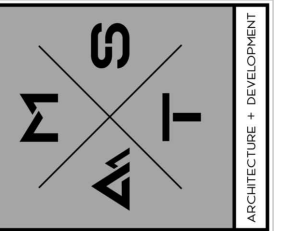
ROOF PLAN

3/16" = 1'-0"



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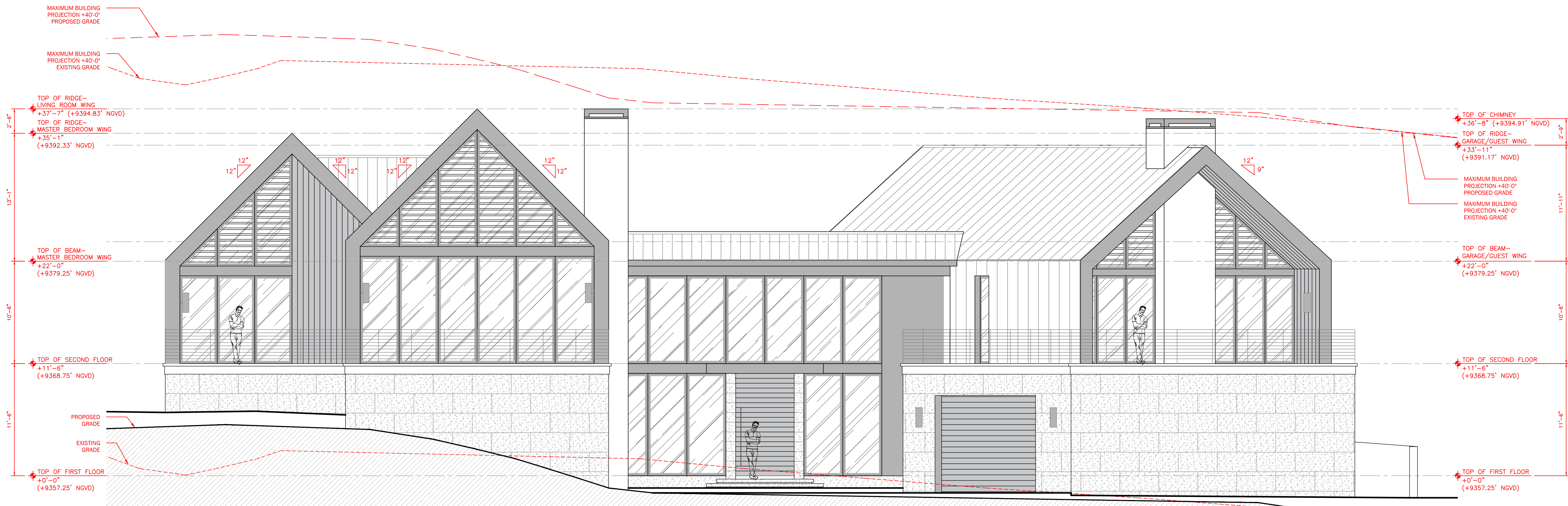
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ROOF PLAN

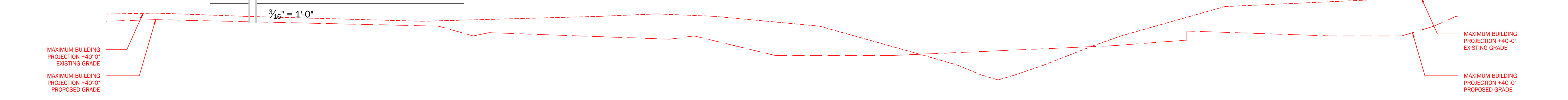
REVISION	DATE

A2.3

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MAIN RESIDENCE
NORTH ELEVATION (FRONT)

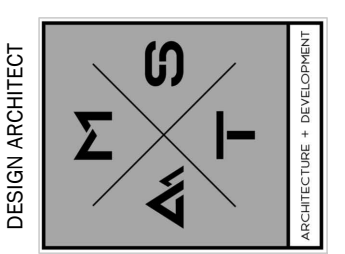


MAIN RESIDENCE
SOUTH ELEVATION (REAR)

3/16" = 1'-0"

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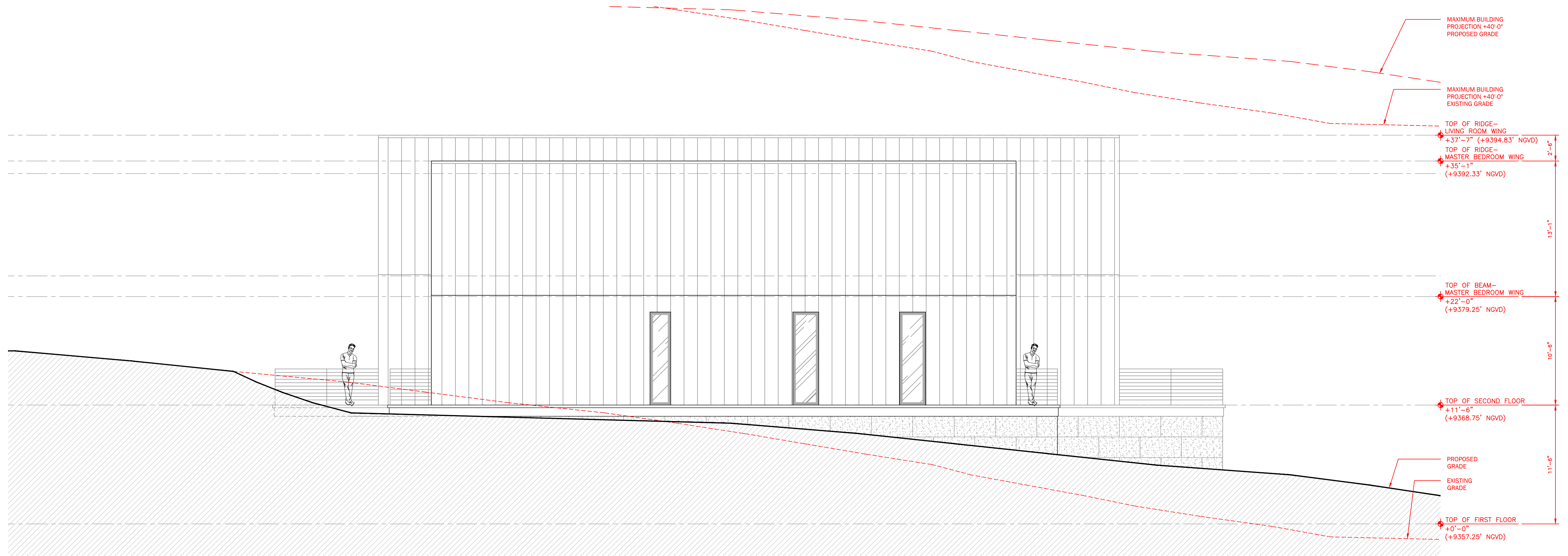
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ELEVATIONS

REVISION DATE

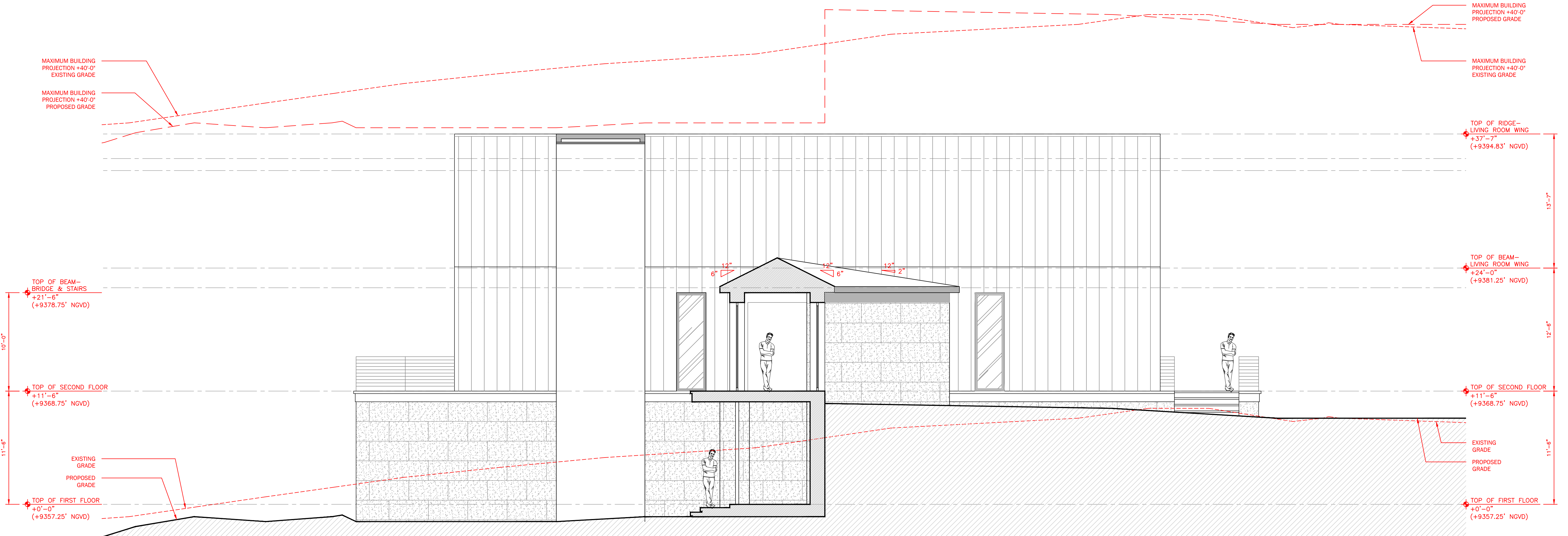
A3.1

2139MAS



MAIN RESIDENCE
EAST ELEVATION (SIDE)

3/16" = 1'-0"

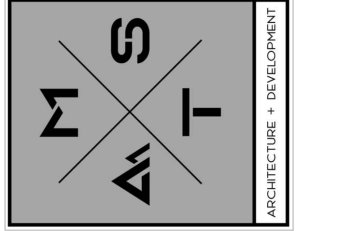


MAIN RESIDENCE
PARTIAL WEST ELEVATION (COURTYARD)

3/16" = 1'-0"

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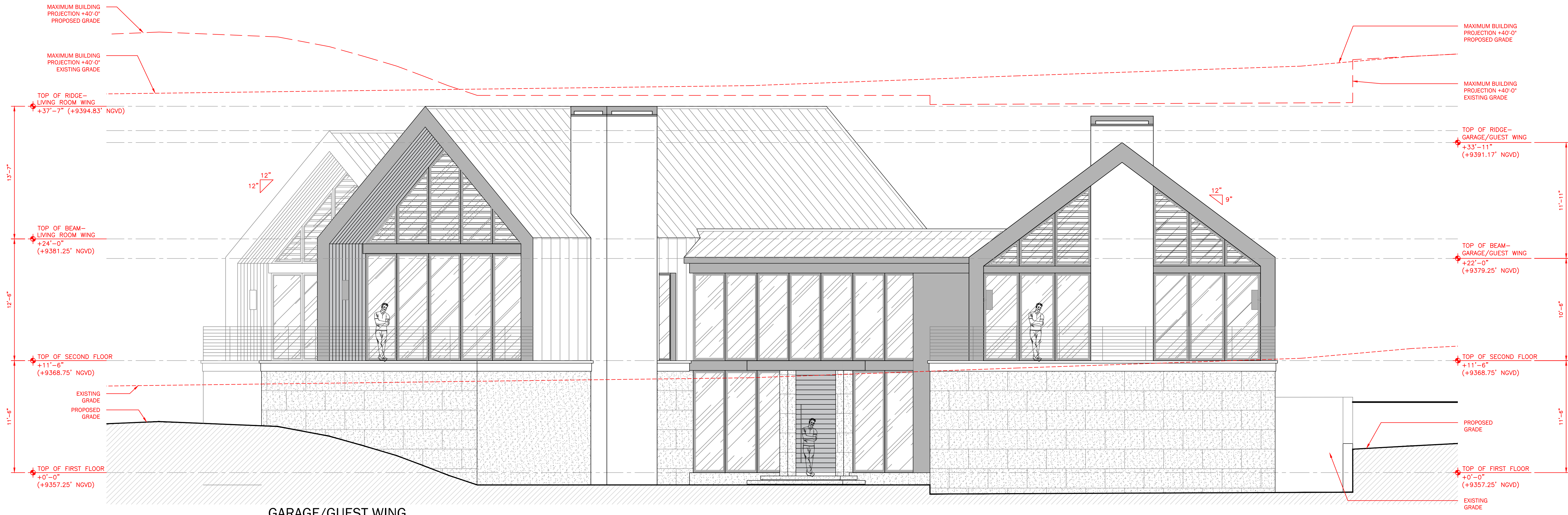
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ELEVATIONS

REVISION DATE

A3.2

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GARAGE/GUEST WING
NORTHWEST ELEVATION (FRONT)

3/16" = 1'-0"

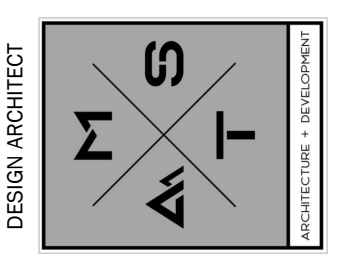


GARAGE/GUEST WING
SOUTHEAST ELEVATION (REAR)

3/16" = 1'-0"

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DESIGN ARCHITECT
MTS
ARCHITECTURE

NEW SINGLE FAMILY RESIDENCE AT
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(LOT 8.50A, TOWN OF MOUNTAIN VILLAGE)

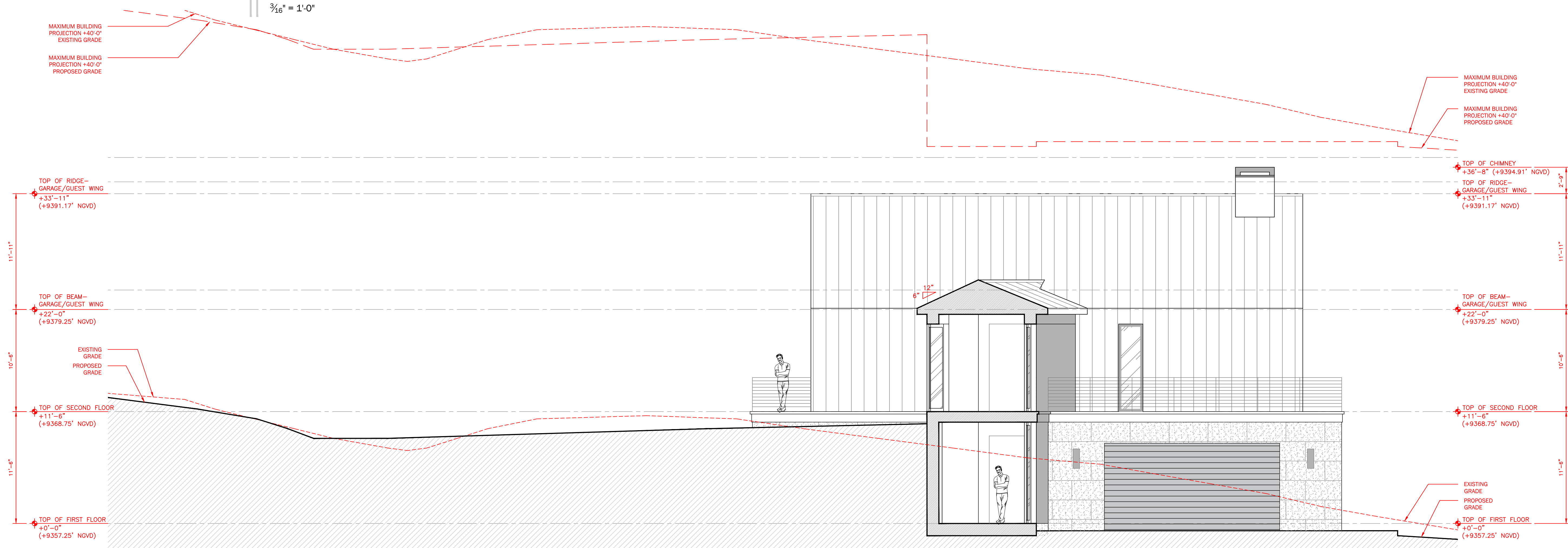
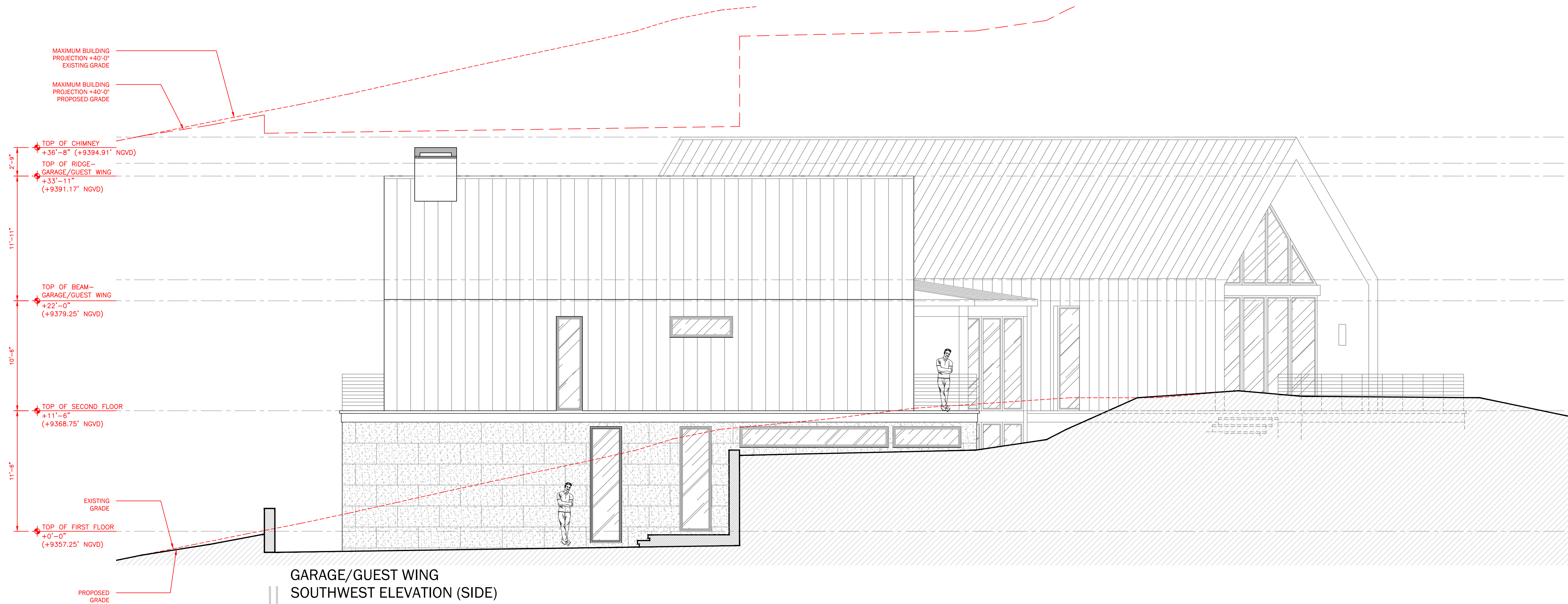
ELEVATIONS

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7.6.2021

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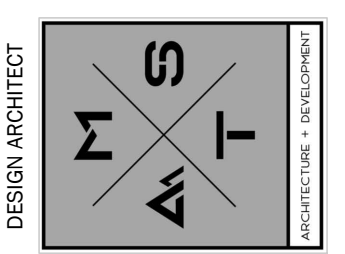
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NEW SINGLE FAMILY RESIDENCE AT
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ELEVATIONS

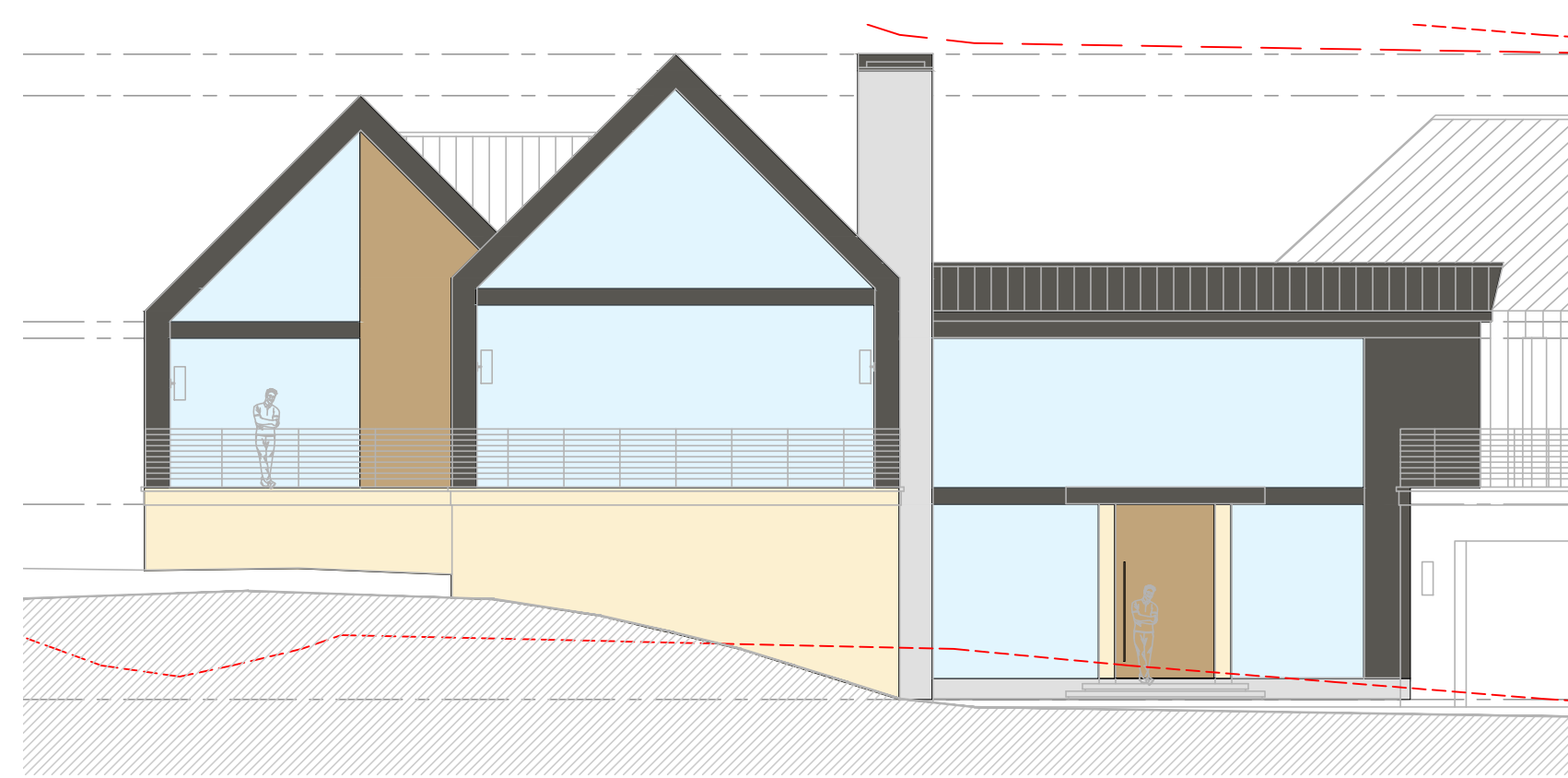
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A3.4

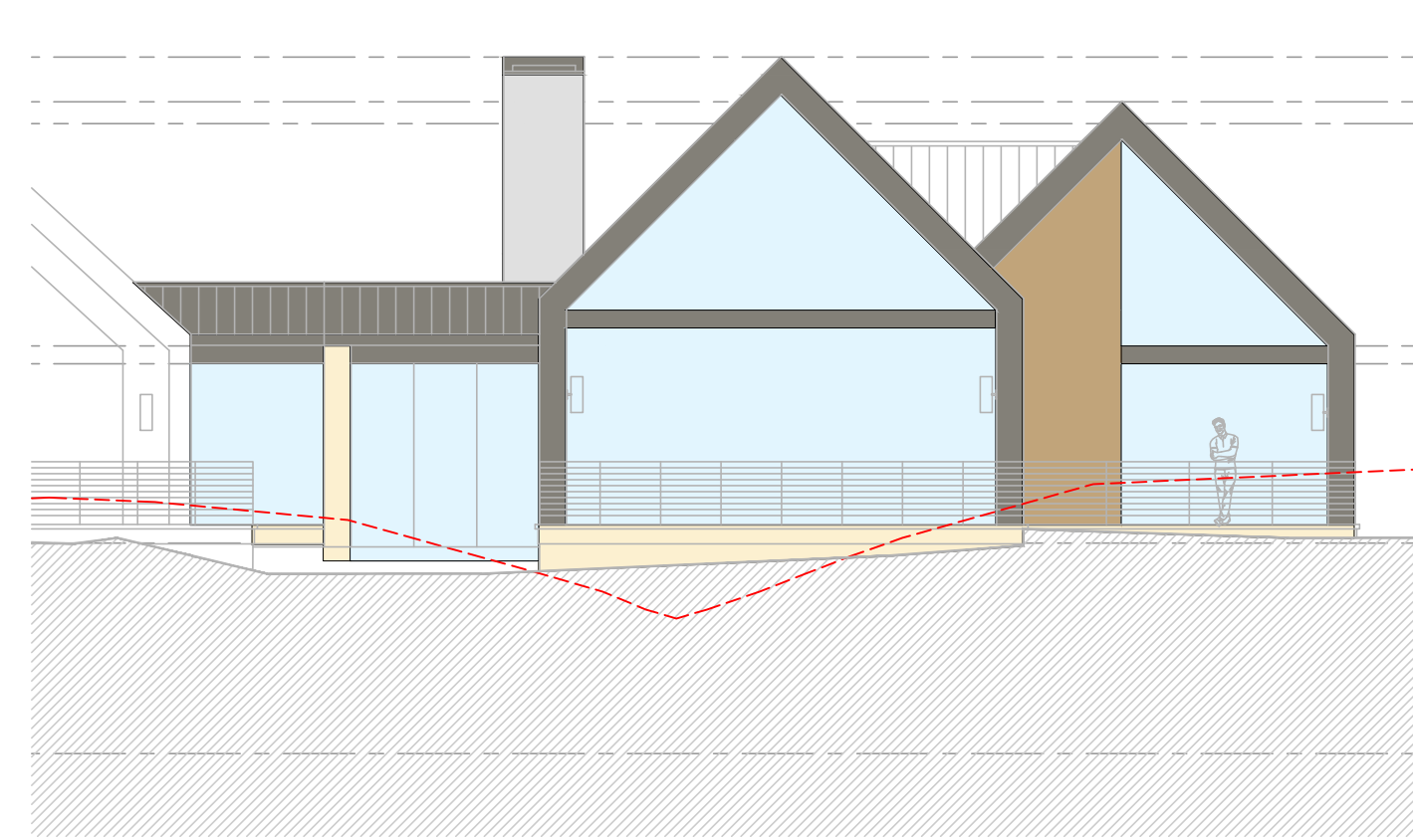
2139MAS

MATERIALS SURFACE AREA BY FACADE

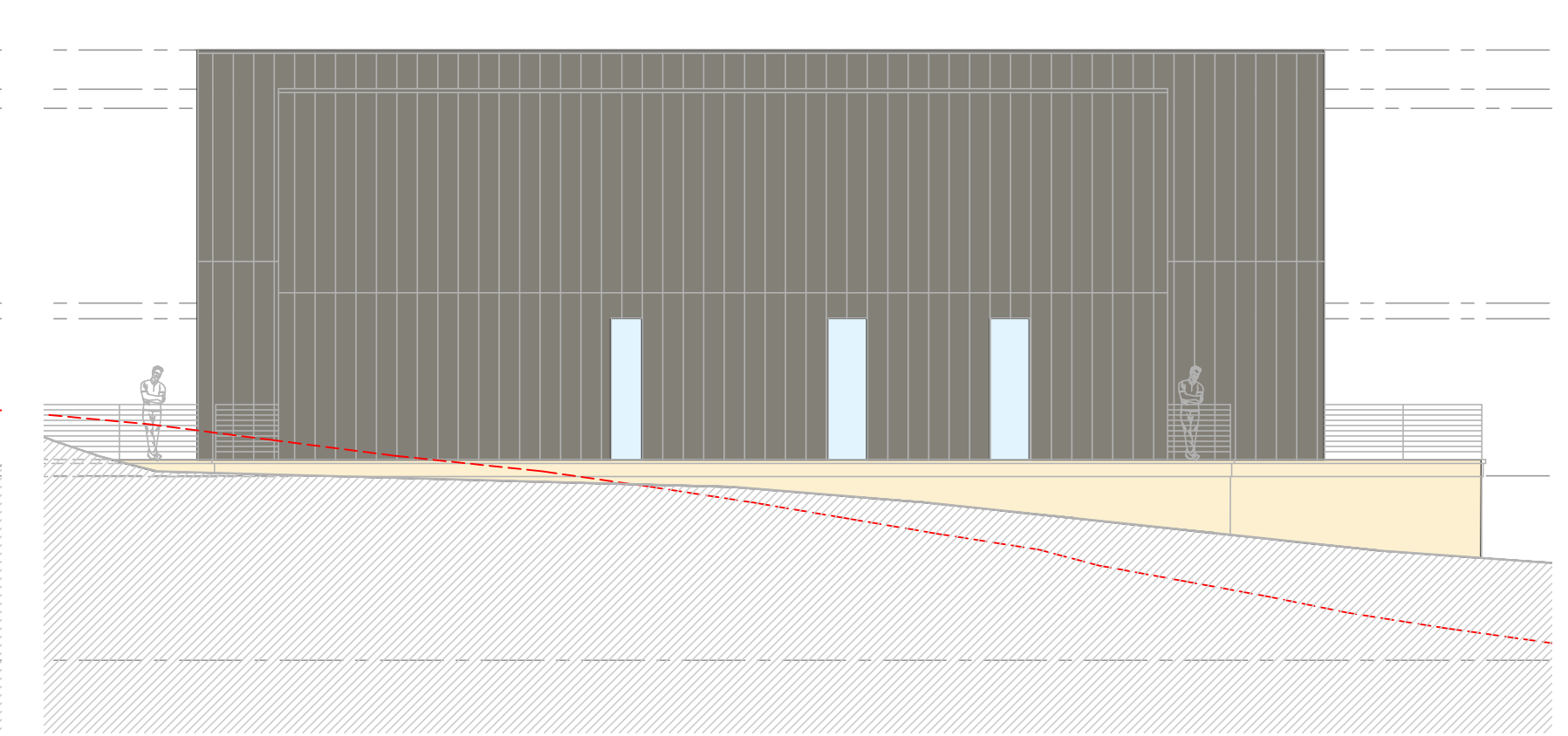
ELEVATION LOCATION & MATERIAL TYPE	SURFACE AREA	PERCENTAGE
MAIN RESIDENCE		
NORTH ELEVATION (FRONT)		
STONE	358.8 SF	16.8%
METAL SIDING	463.6 SF	21.7%
GLAZING	1,001 SF	46.9%
STUCCO	140.1 SF	6.7%
WOOD	169 SF	7.9%
SUBTOTAL	2,132.5 SF	
SOUTH ELEVATION (REAR)		
STONE	85.9 SF	6.7%
METAL SIDING	280.6 SF	21.9%
WOOD SIDING	106 SF	8.2%
GLAZING	760.1 SF	59.2%
STUCCO	50.9 SF	4.0%
SUBTOTAL	1,283.5 SF	
EAST ELEVATION (SIDE)		
STONE	236.8 SF	11.2%
METAL SIDING	1,810.7 SF	85.8%
GLAZING	63 SF	3.0%
SUBTOTAL	2,110.5 SF	
WEST ELEVATION (COURTYARD)		
STONE	552 SF	23.9%
METAL SIDING	1,352.6 SF	58.6%
GLAZING	60 SF	2.6%
STUCCO	343.1 SF	14.9%
SUBTOTAL	2,307.7 SF	
GARAGE/GUEST WING		
NORTHWEST ELEVATION (FRONT)		
STONE	482.1 SF	46.7%
METAL SIDING	114.9 SF	11.1%
GLAZING	287.3 SF	27.8%
STUCCO	148.1 SF	14.4%
SUBTOTAL	1,032.4 SF	
SOUTHEAST ELEVATION (REAR)		
STONE	68.6 SF	11.1%
METAL SIDING	114.9 SF	18.6%
GLAZING	287.3 SF	46.4%
STUCCO	148.1 SF	23.9%
SUBTOTAL	618.9 SF	
SOUTHWEST ELEVATION (SIDE)		
STONE	465.5 SF	27.1%
METAL SIDING	1,091.7 SF	63.6%
GLAZING	139.2 SF	8.1%
STUCCO	20.5 SF	1.2%
SUBTOTAL	1,716.9 SF	
NORTHEAST ELEVATION (COURTYARD)		
STONE	233.4 SF	17.4%
METAL SIDING	907.6 SF	67.4%
GLAZING	22.5 SF	1.7%
STUCCO	20.5 SF	1.5%
GARAGE DOOR	162 SF	12%
SUBTOTAL	1,346 SF	
OVERALL SURFACE AREA		
STONE	2,483.1 SF	19.8%
GLAZING	2,620.4 SF	20.9%



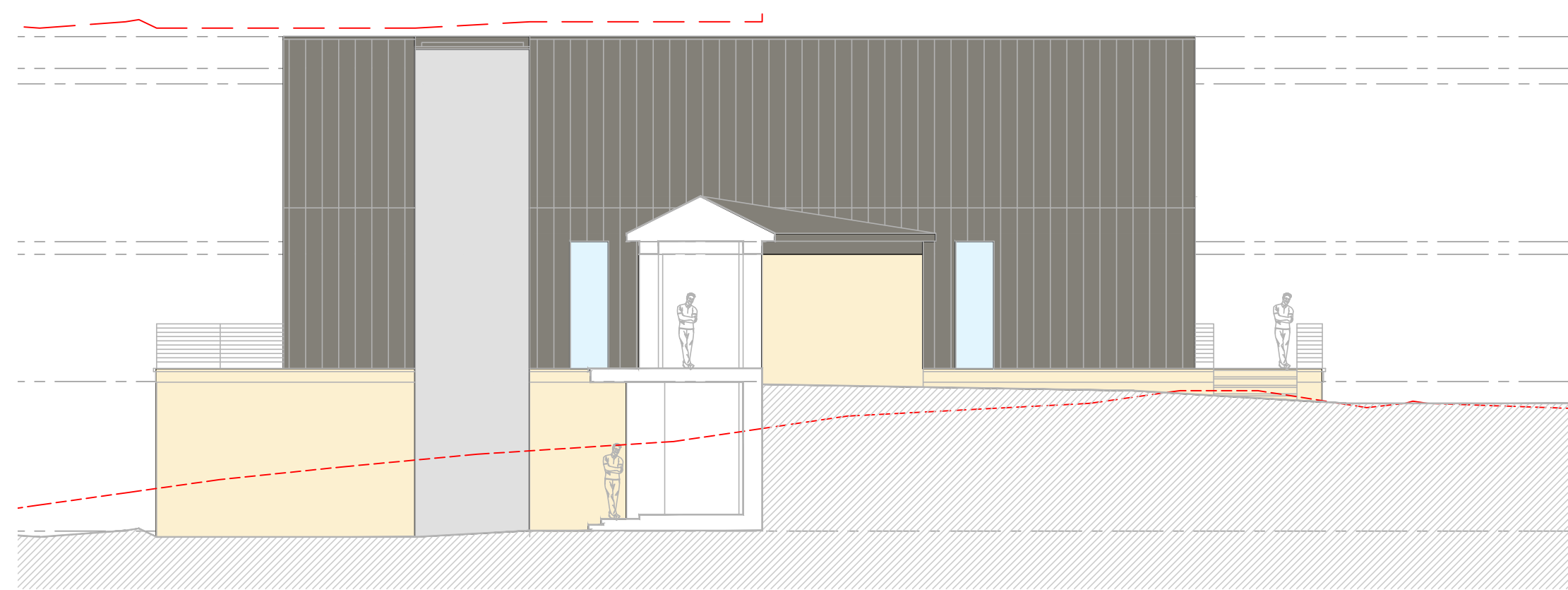
NORTH ELEVATION (FRONT)



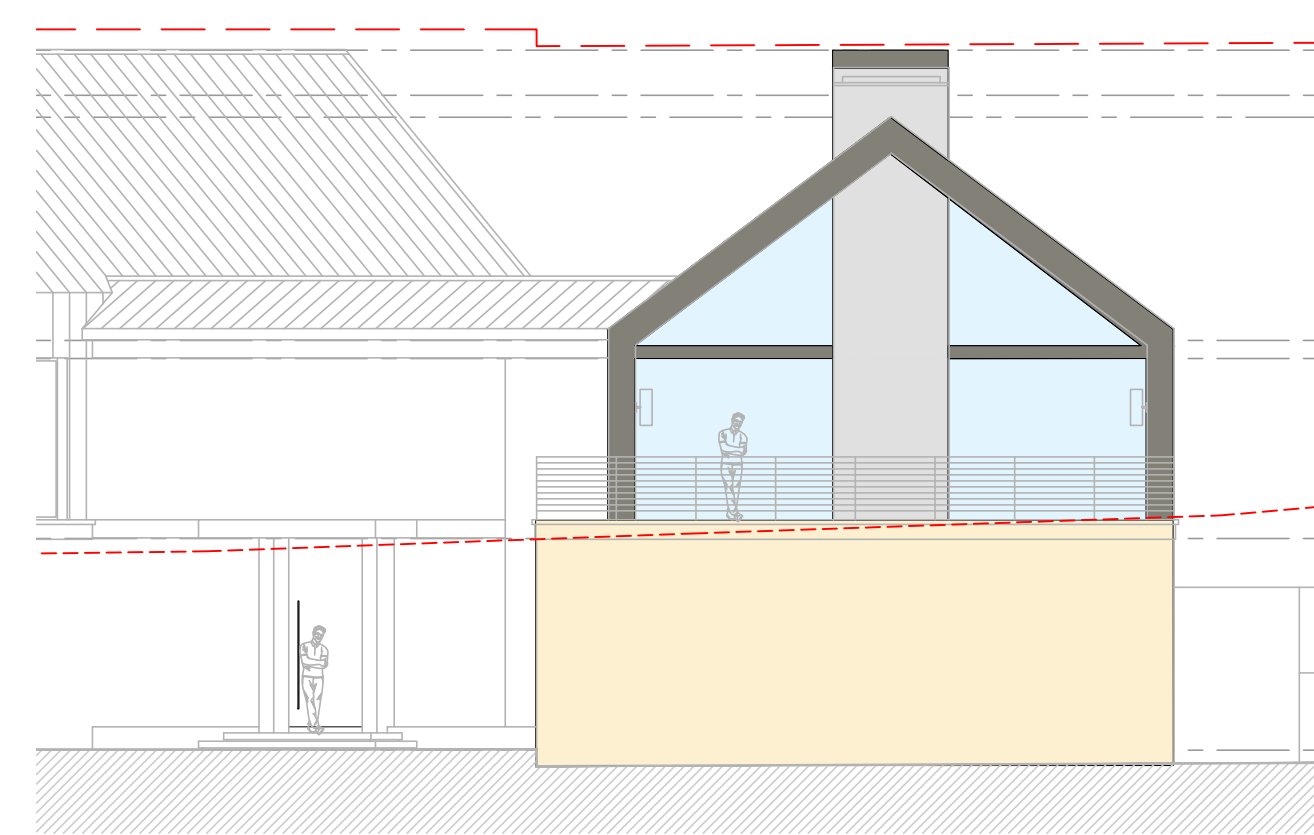
SOUTH ELEVATION (REAR)



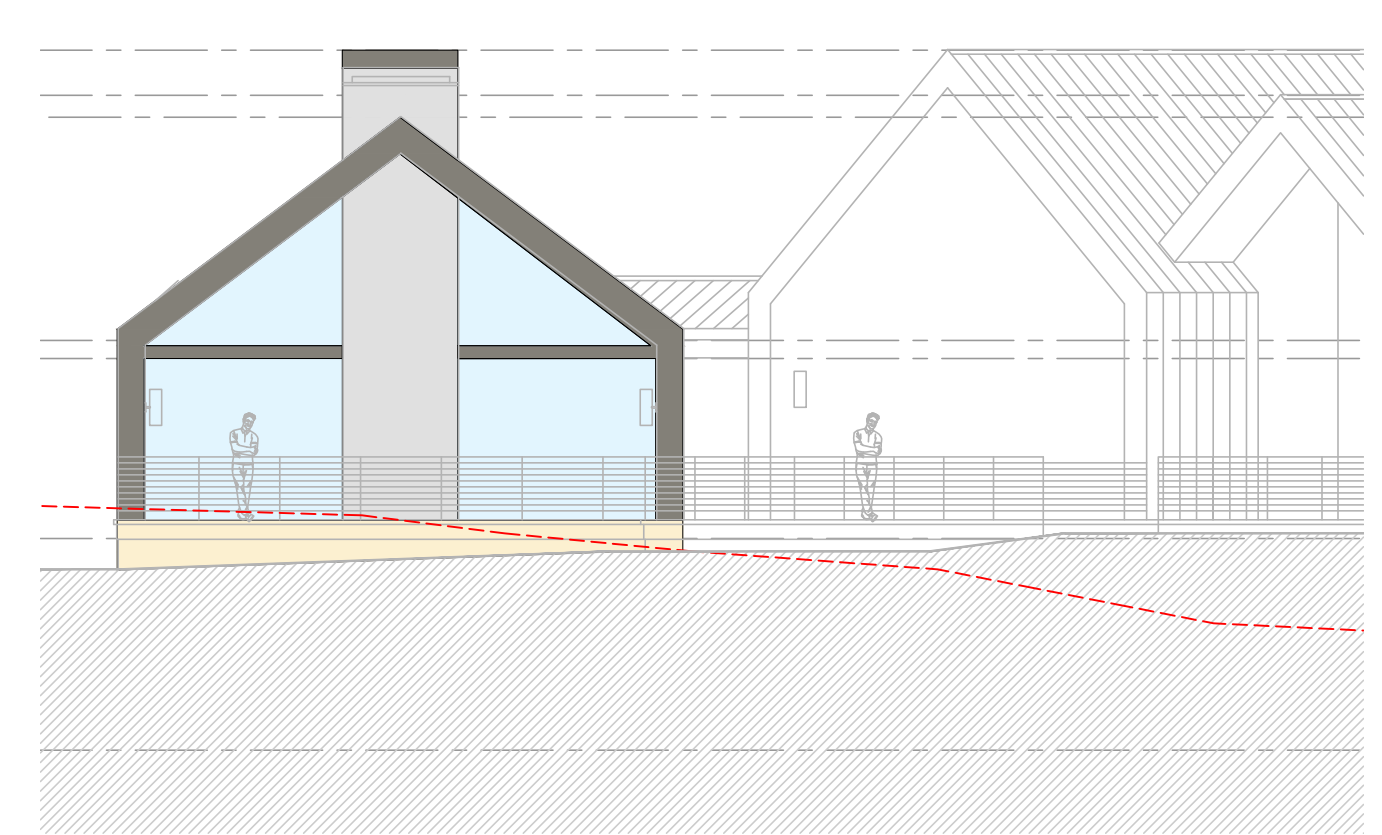
EAST ELEVATION (SIDE)



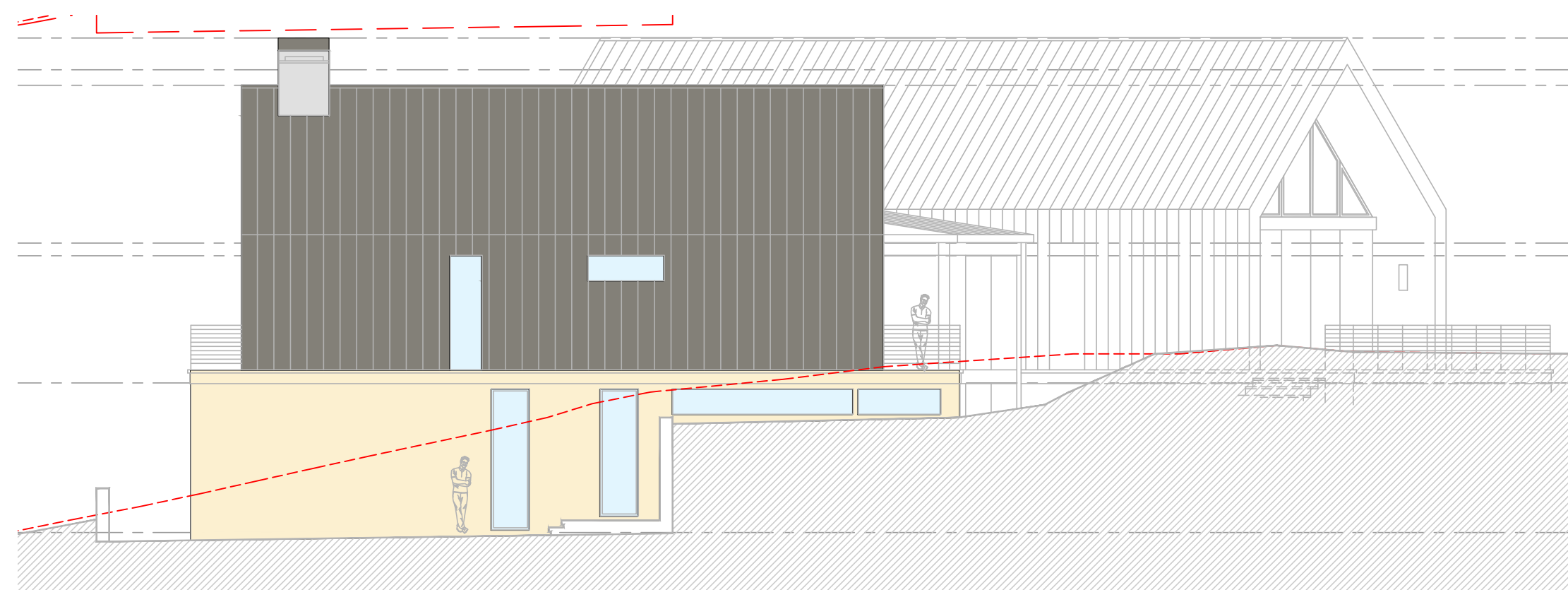
WEST ELEVATION (COURTYARD)



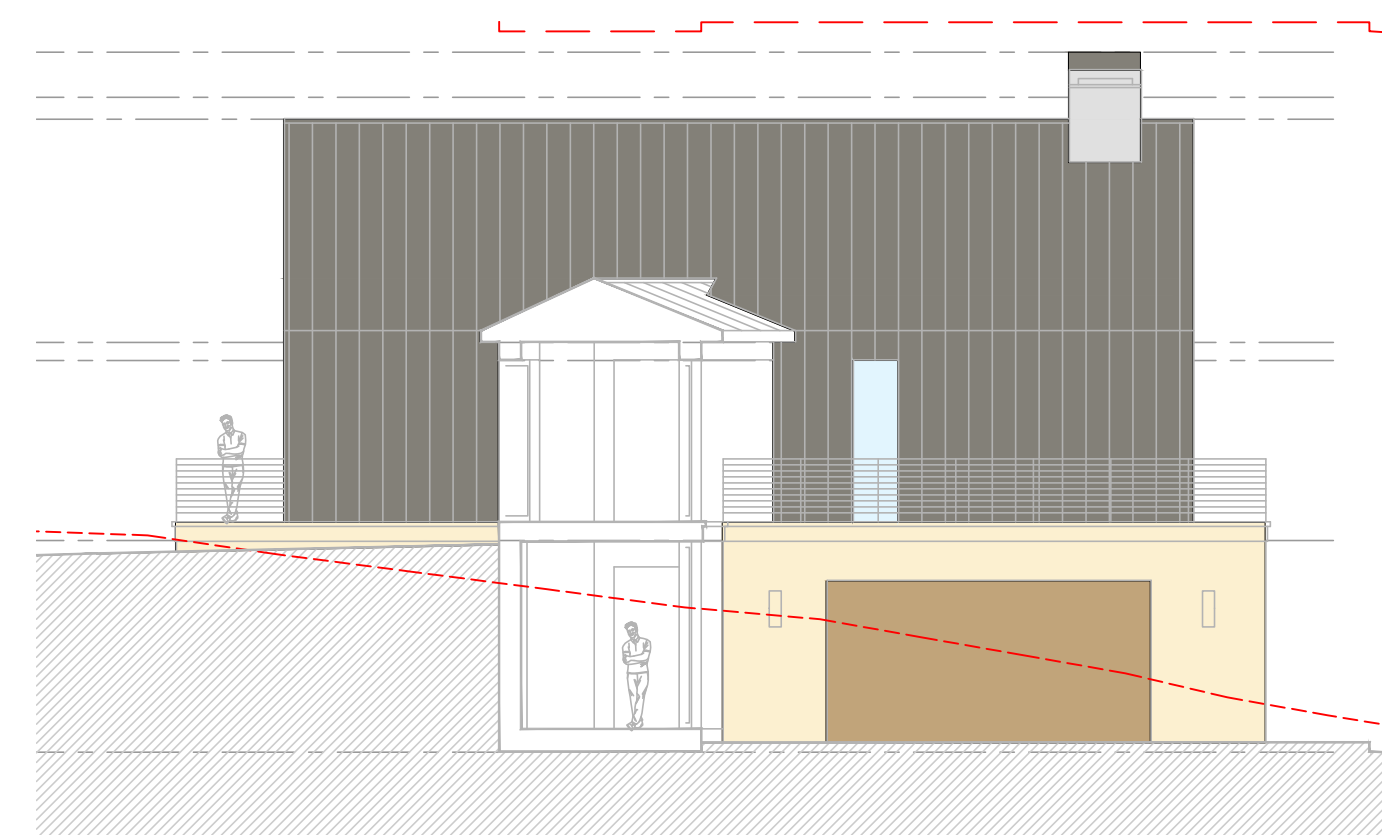
NORTHWEST ELEVATION (FRONT)



SOUTHEAST ELEVATION (REAR)




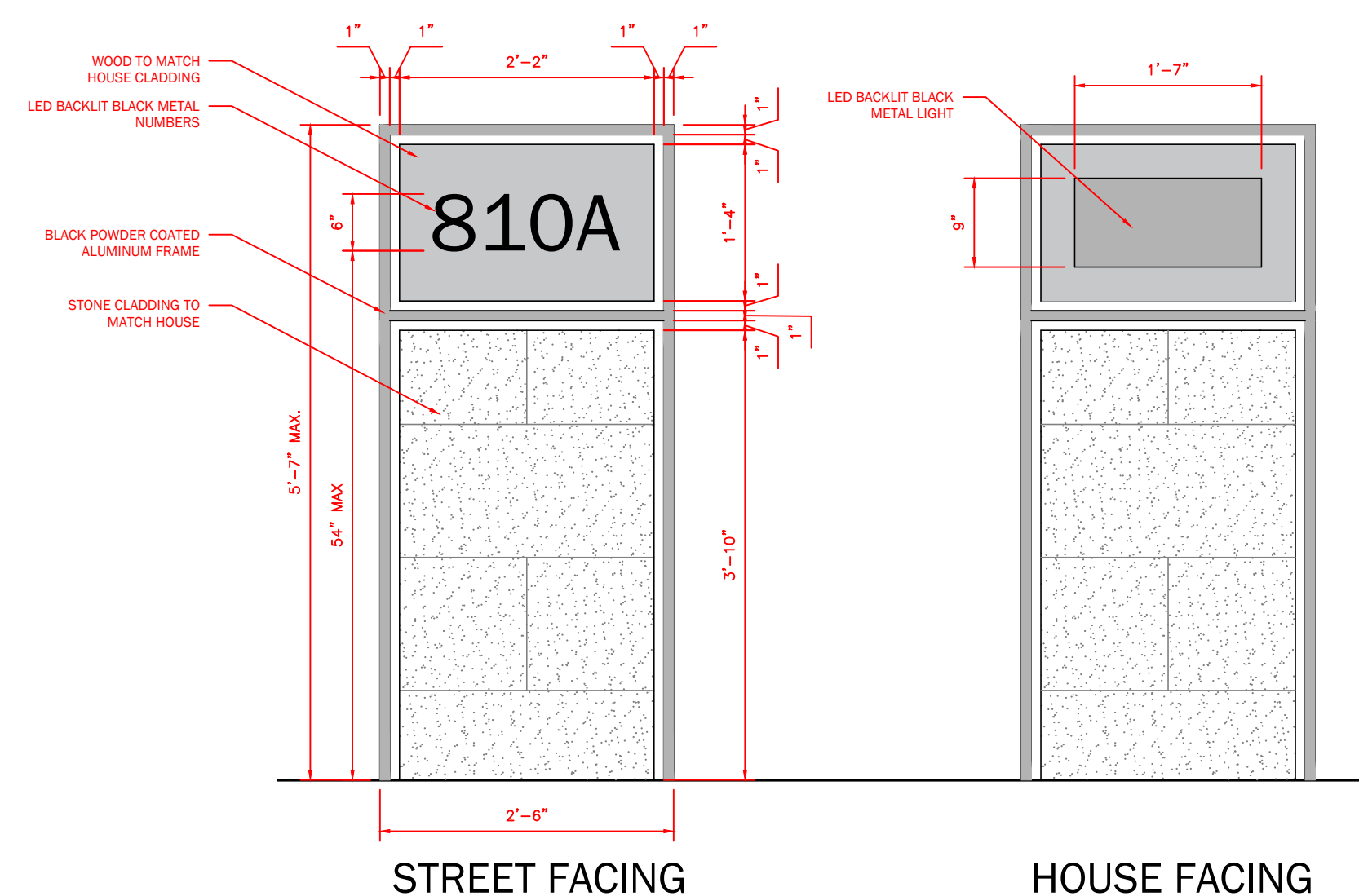
SOUTHWEST ELEVATION (SIDE)



NORTHEAST ELEVATION (COURTYARD)

MATERIALS LEGEND

-  STONE
-  METAL CLADDING
-  WOOD
-  STUCCO
-  GLAZING

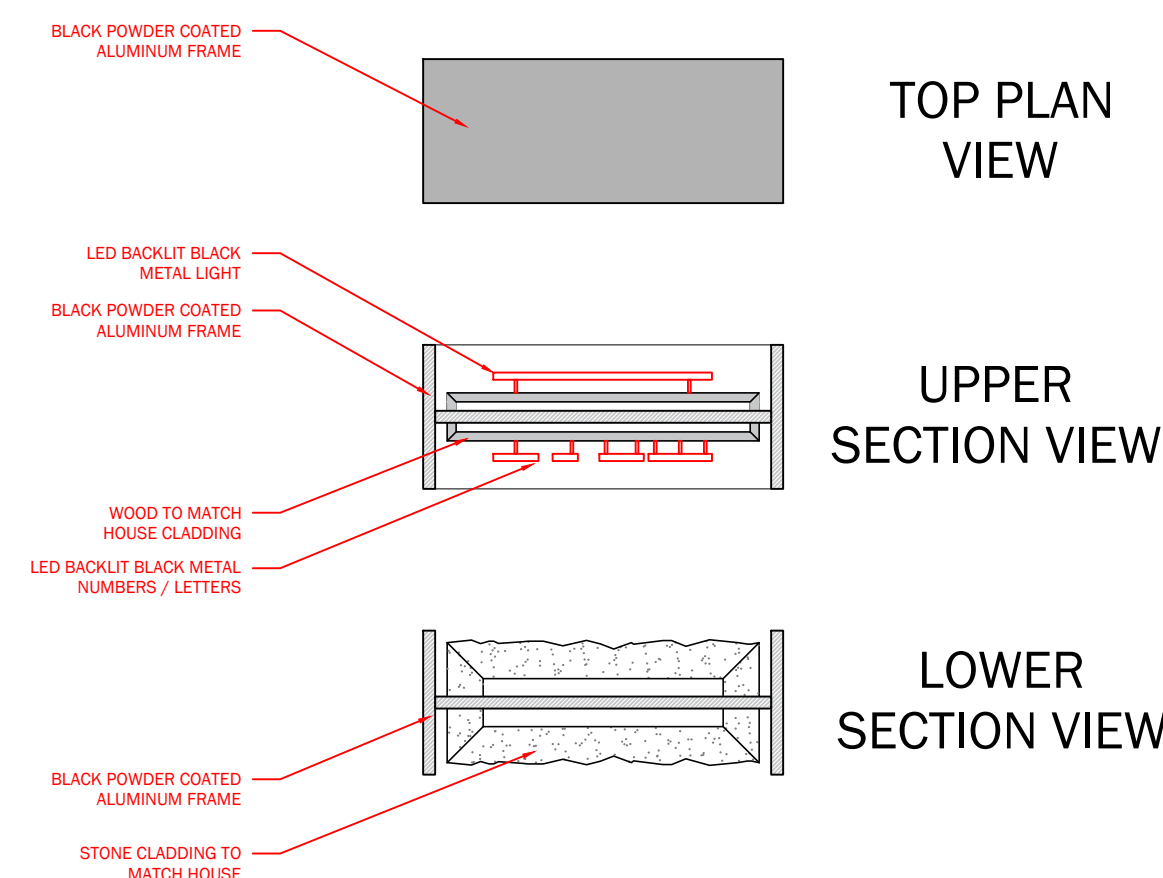


STREET FACING

HOUSE FACING

ADDRESS MONUMENT ELEVATIONS

3/4" = 1'-0"



TOP PLAN VIEW

UPPER SECTION VIEW

LOWER SECTION VIEW

ADDRESS MONUMENT PLAN VIEW

3/4" = 1'-0"

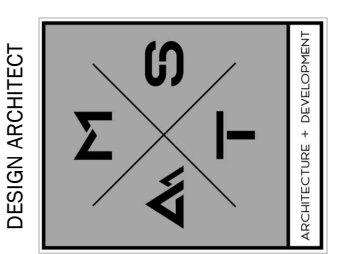


ADDRESS MONUMENT 3D VIEW

N.T.S.

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NEW SINGLE FAMILY RESIDENCE AT
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ADDRESS MONUMENT DETAILS

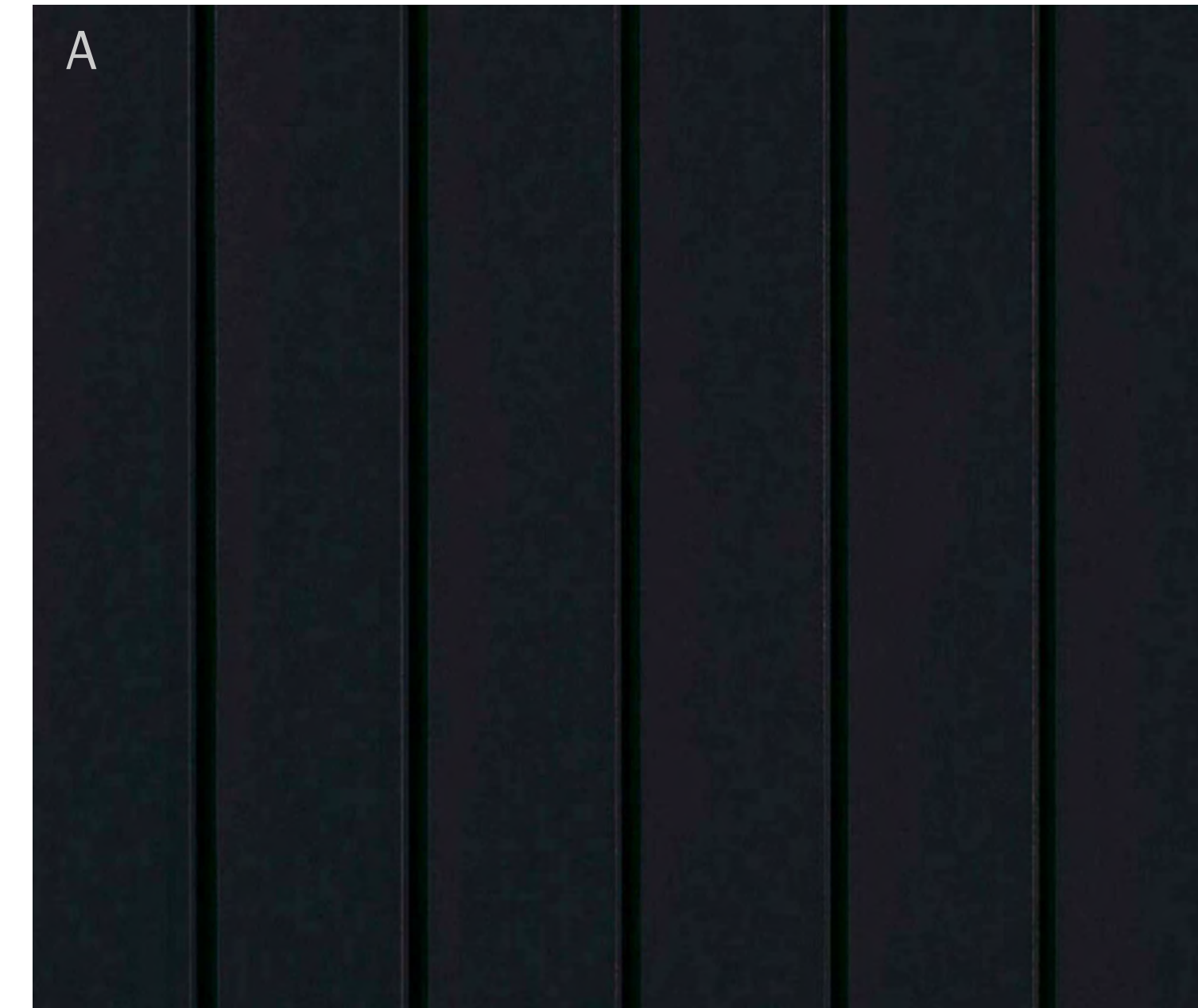
REVISION DATE

A3.5

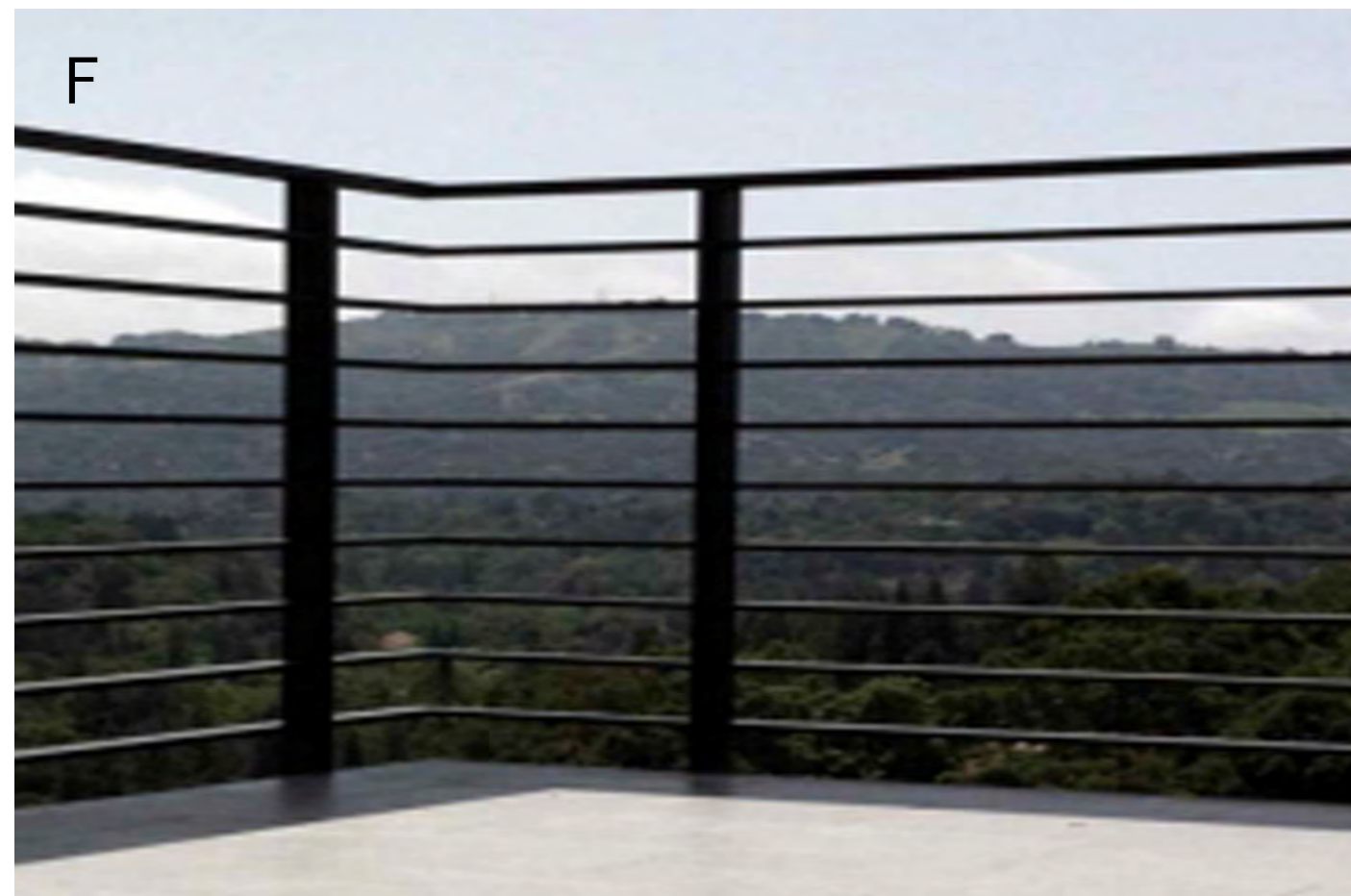
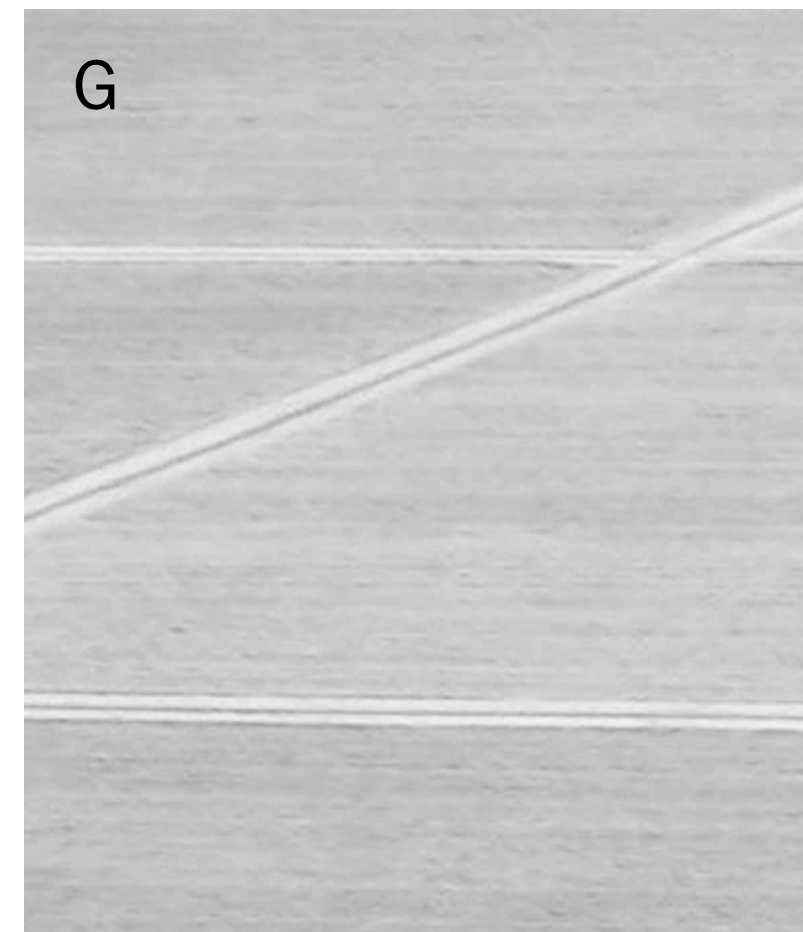
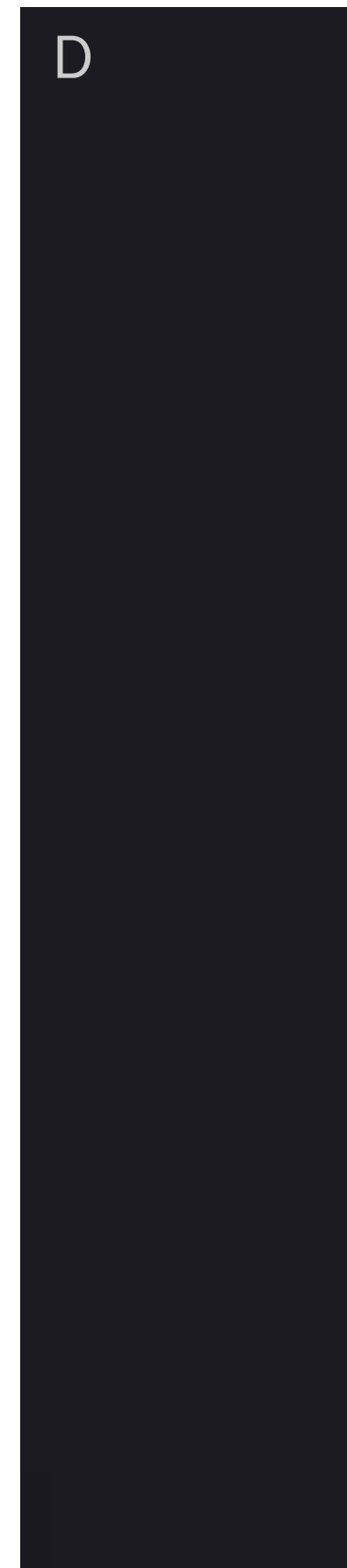
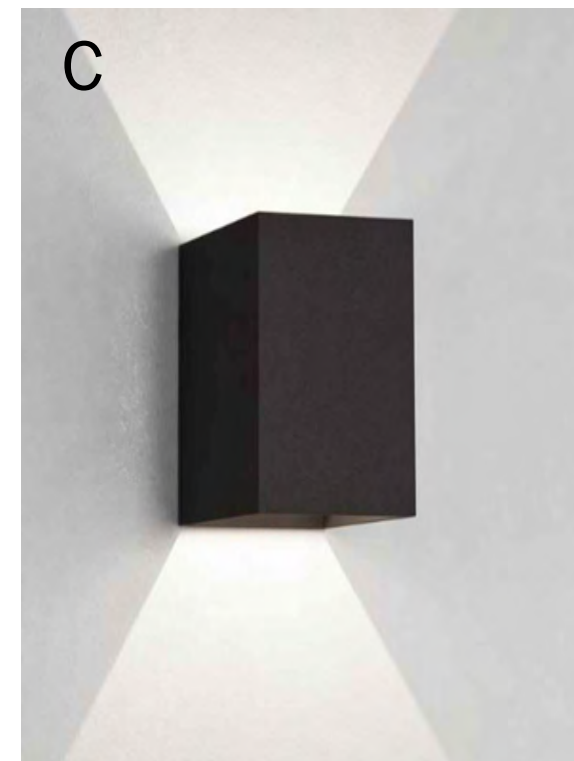
2139MAS



Conceptual renderings/images only.



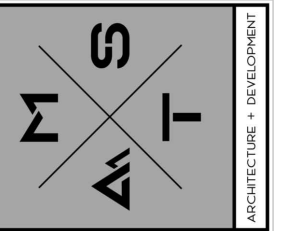
- A BLACK STANDING SEAM METAL ROOF & SIDING, WITH CONCEALED SCREWS AND 1.5" TALL RIBS
 - B 1x8 STAINED WIRE BRUSHED WESTERN RED CEDAR CLADDING WITH "FINELINE" T&G
 - C BLACK WALL SCONCE
 - D JELD-WEN BLACK ALUMINUM CLAD WINDOWS & BLACK ALUMINUM CHIMNEY CAP
 - E MILAGRO SPLIT-FACE STACKED RANDOM LENGTH EXTERIOR STONE CLADDING WITH STAGGERED JOINTS
 - F BLACK HORIZONTAL PICKET STEEL RAILINGS
 - G BROOMED POURED IN PLACE CONCRETE DRIVEWAY
- (Conceptual renderings/images only.)



Conceptual renderings/images only.

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EXTERIOR
 MATERIALS &
 RENDERINGS

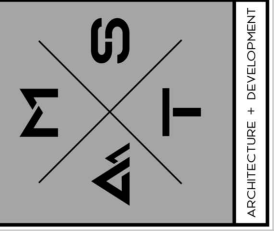
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A3.6



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3D MODEL VIEWS

REVISION	DATE

A3.7

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GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFFS MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

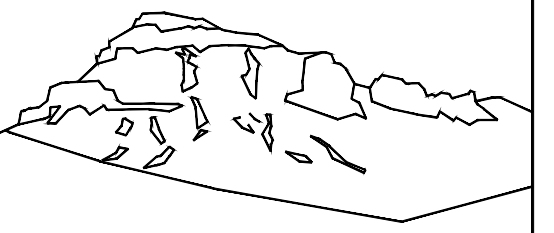
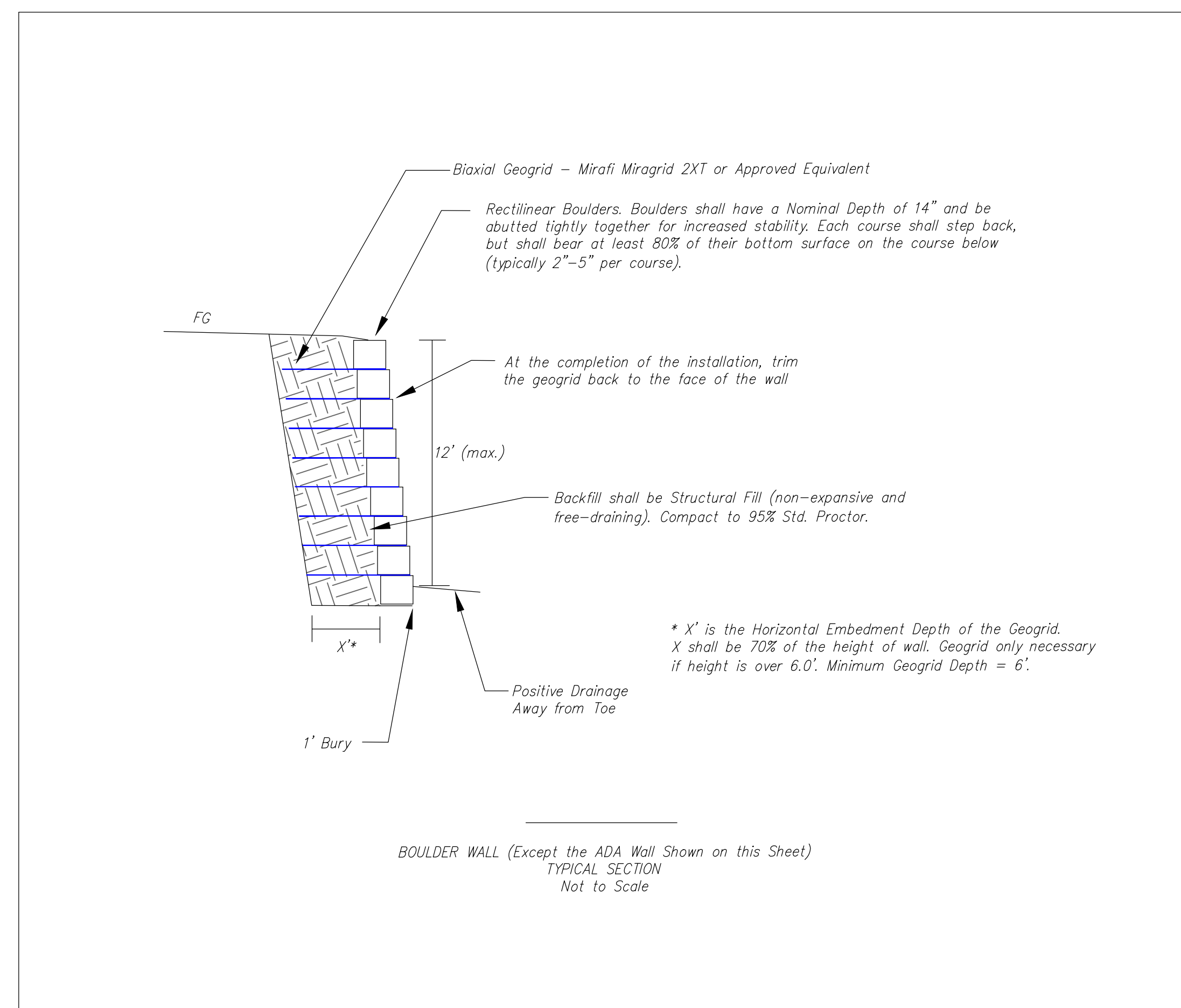
22. ALL DISTURBED GROUND SHALL BE RE-SEEDDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2021-07-05
Addressed JM Comments	2021-07-21

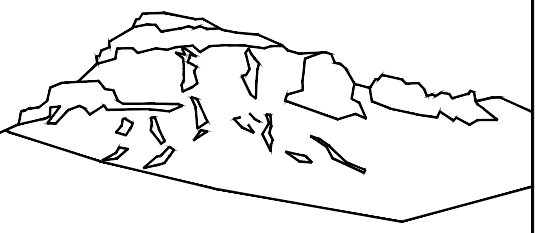
Lot 810 A
Arizona Street
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



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Lot 810 A
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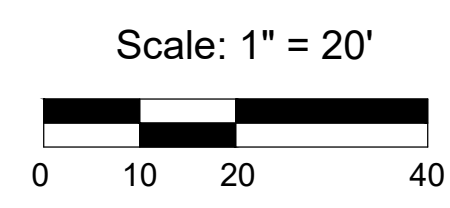
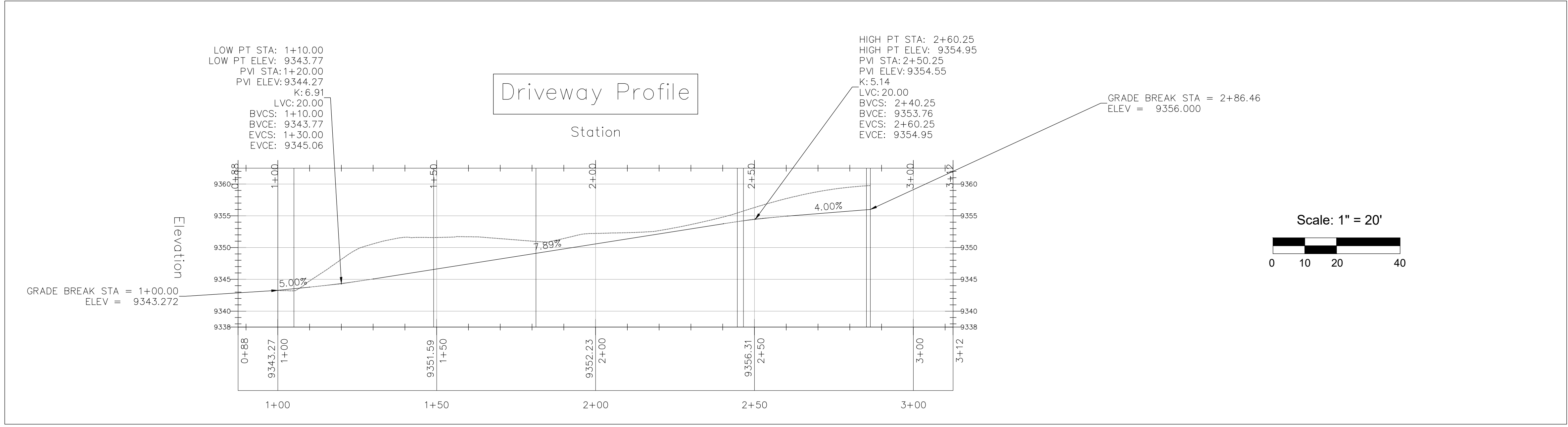
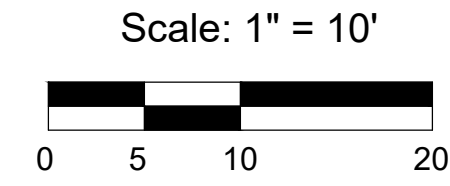
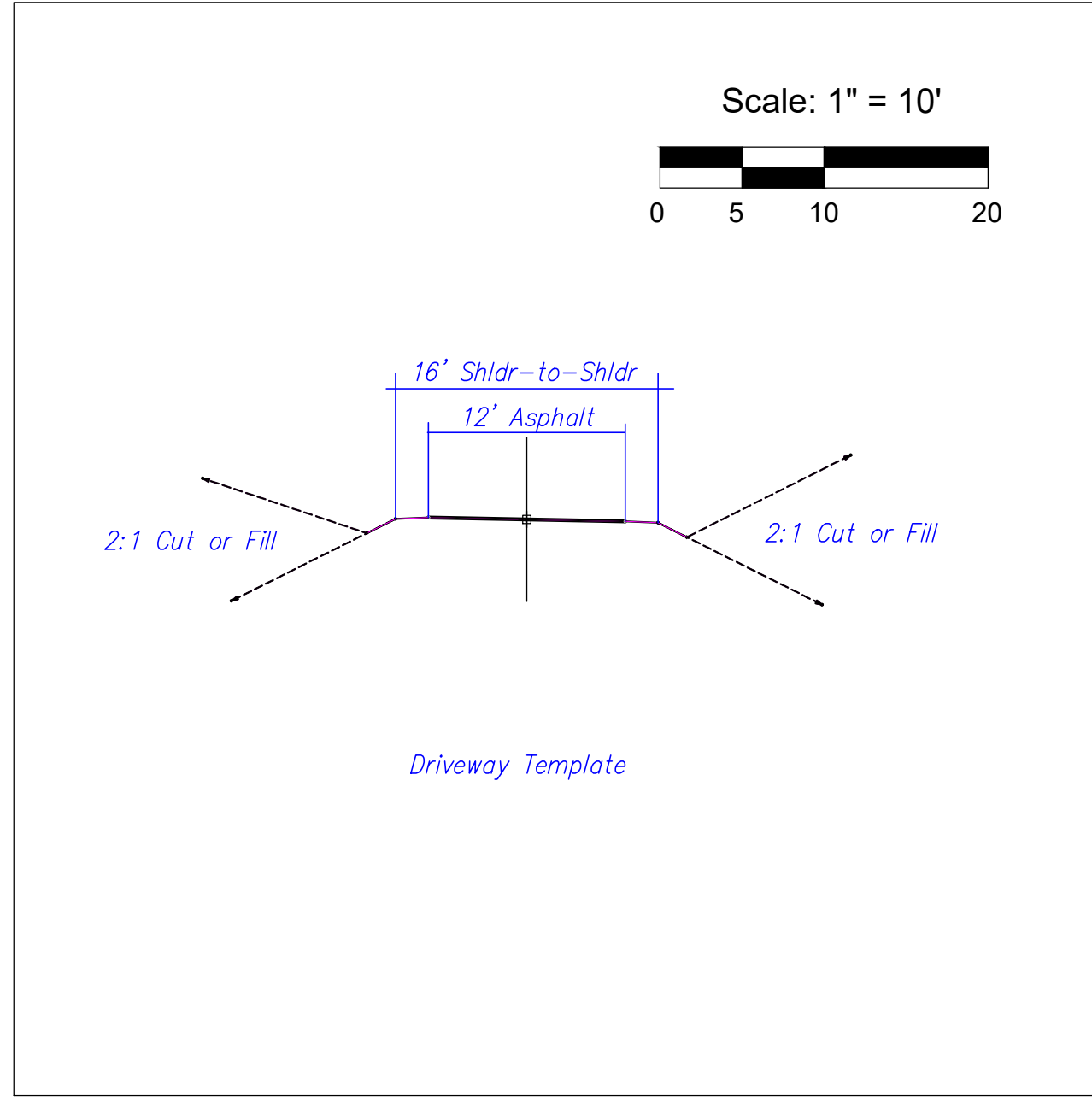
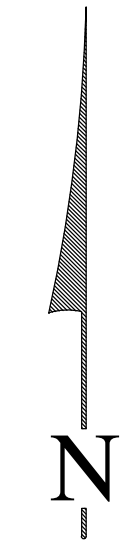
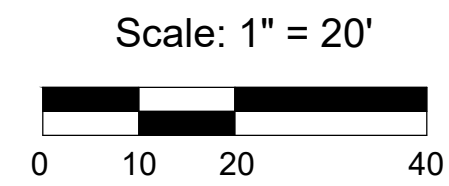
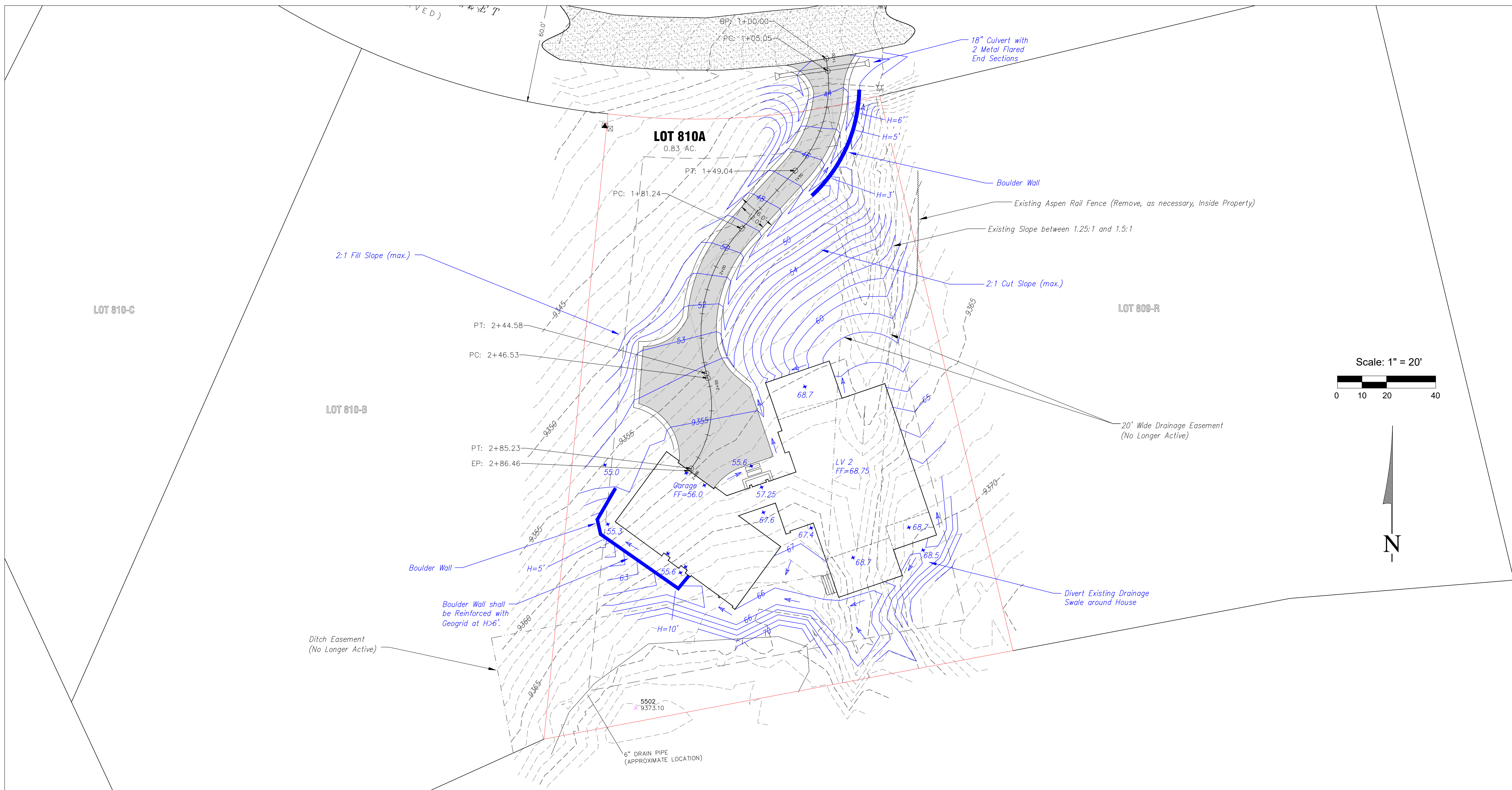


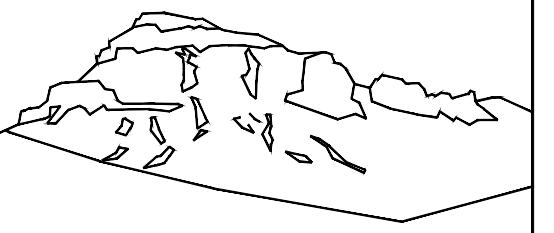
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Site Grading
and
Driveway
Profile

No Trees

C2.0





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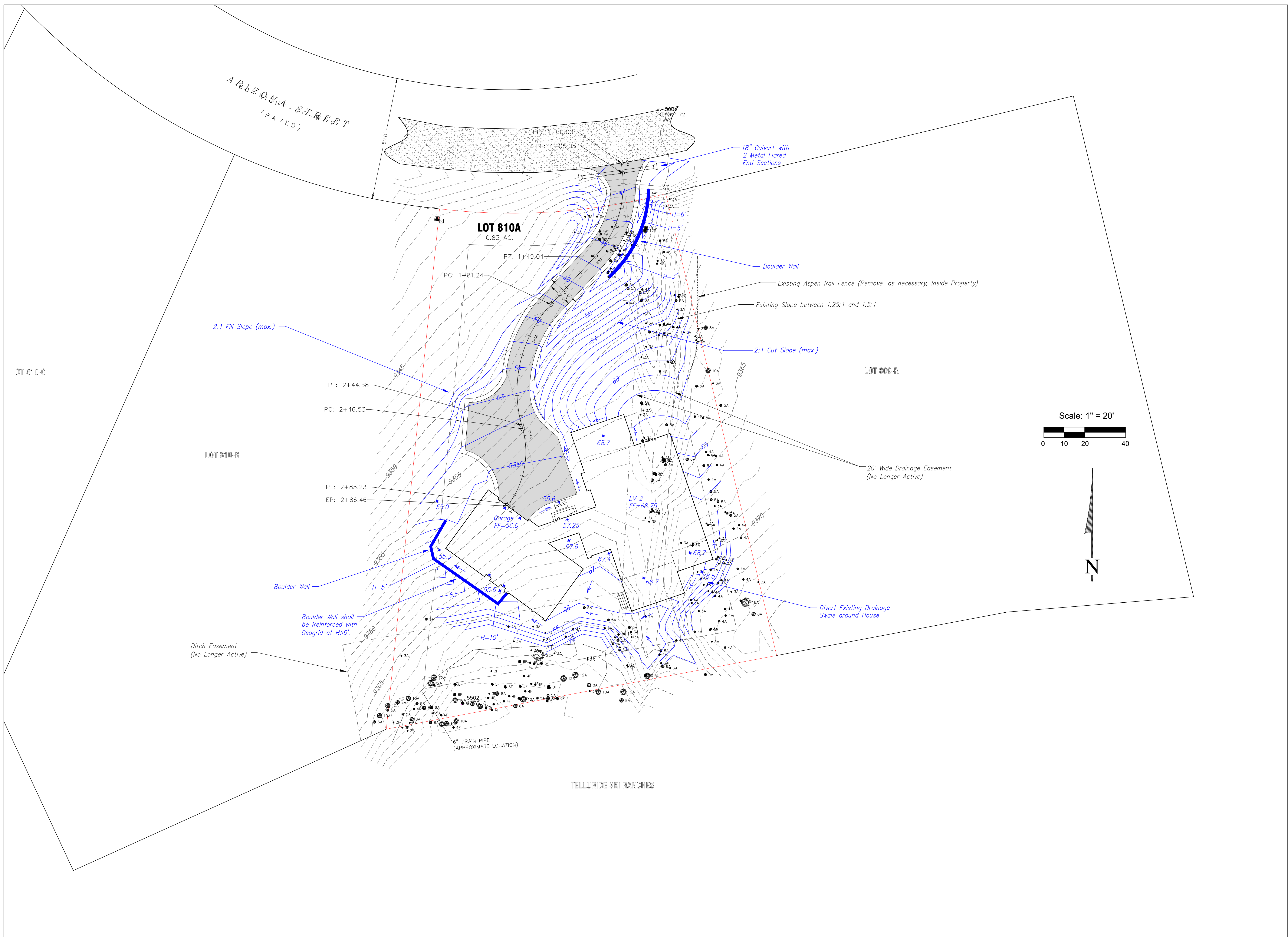
Lot 810 A
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Mtn. Village, CO



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Site Grading
with Trees
Displayed

C2.1



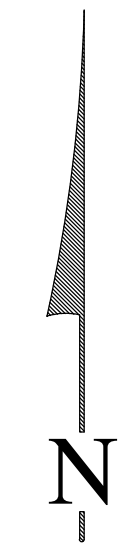
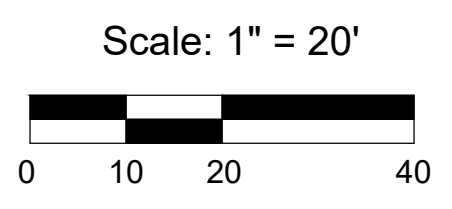
ARIZONA STREET
(PAVED)

LOT 810A
0.83 AC.

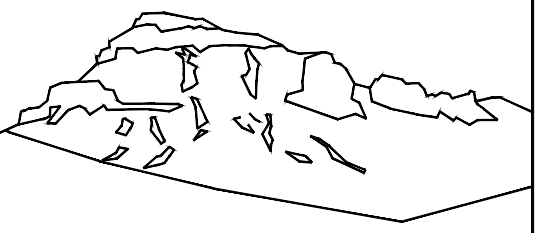
LOT 810-C

LOT 810-B

LOT 809-R



TELLURIDE SKI RANCHES



Uncompahgre
Engineering, LLC

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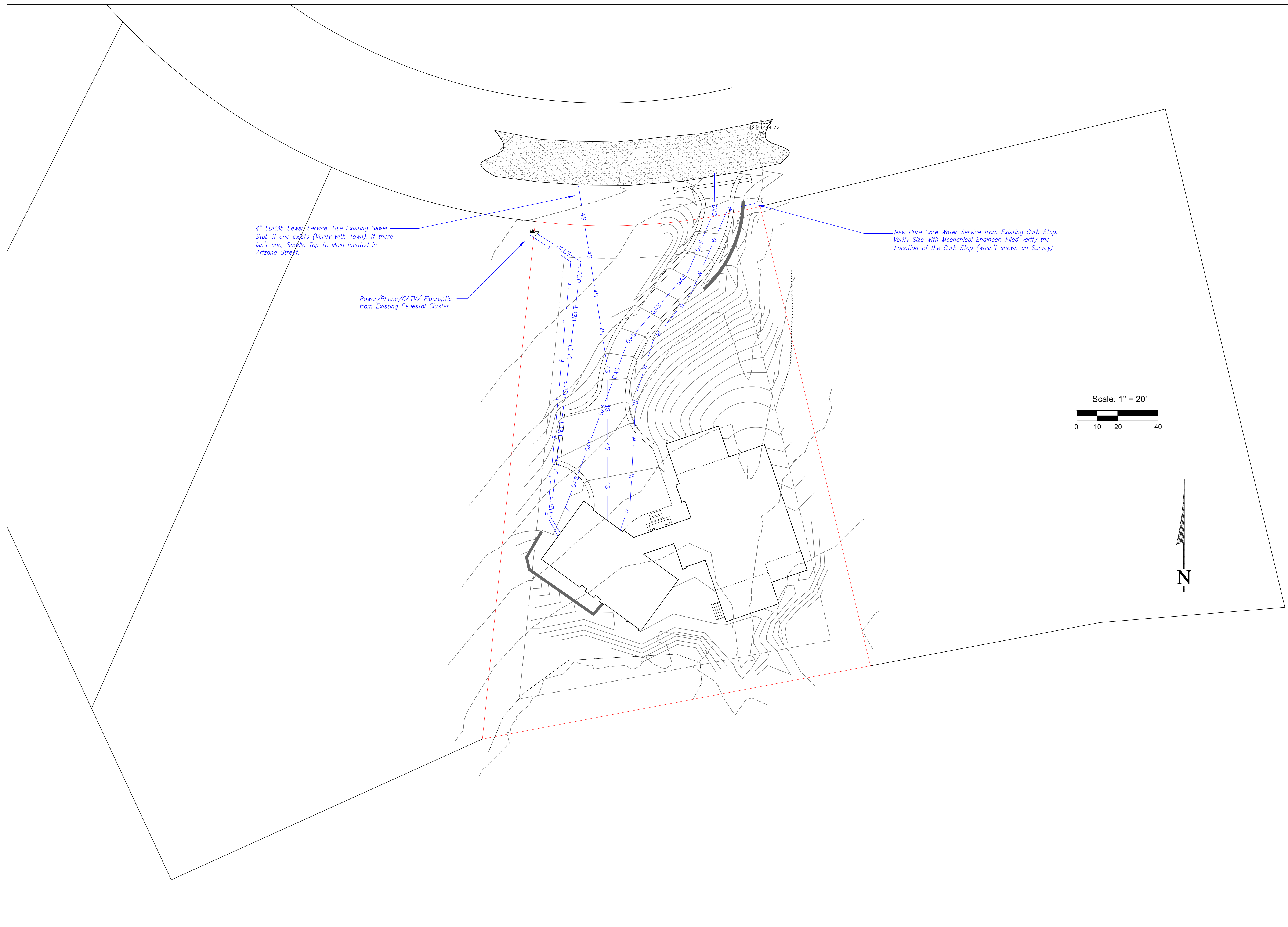
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Utilities

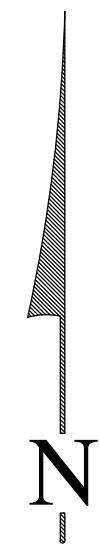
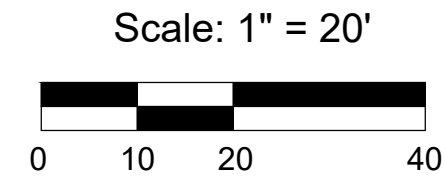
C3

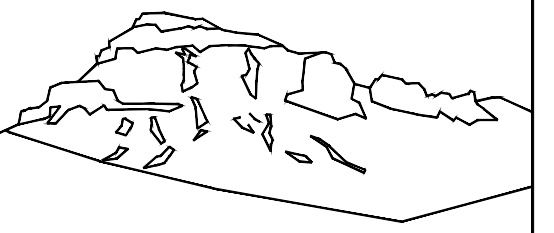


4" SDR35 Sewer Service. Use Existing Sewer
Stub if one exists (Verify with Town). If there
isn't one, Saddle Tap to Main located in
Arizona Street.

Power/Phone/CATV/ Fiberoptic
from Existing Pedestal Cluster

New Pure Core Water Service from Existing Curb Stop.
Verify Size with Mechanical Engineer. Filed verify the
Location of the Curb Stop (wasn't shown on Survey).





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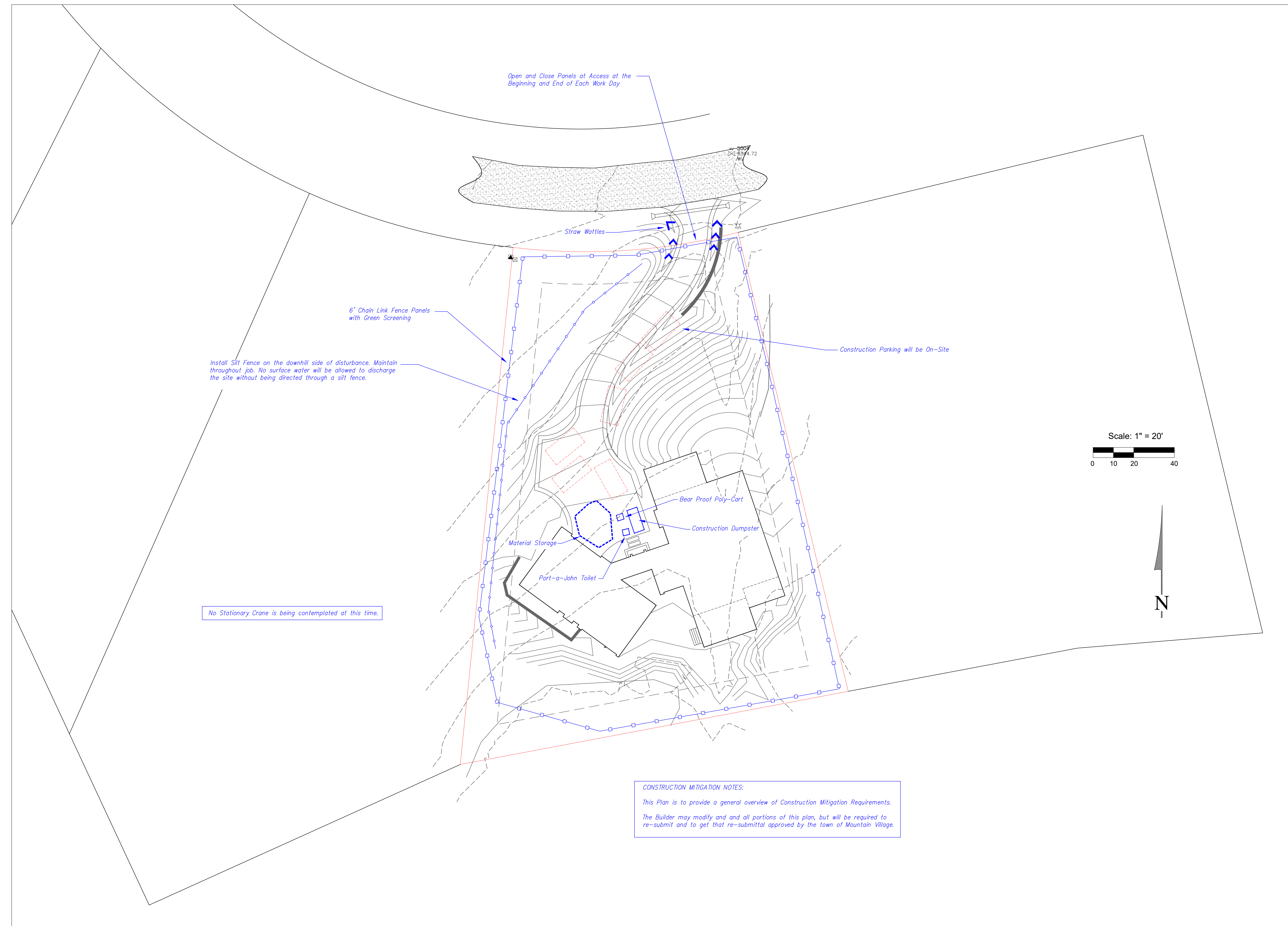
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Construction
Mitigation

C4



Install Silt Fence on the downhill side of disturbance. Maintain throughout job. No surface water will be allowed to discharge the site without being directed through a silt fence.

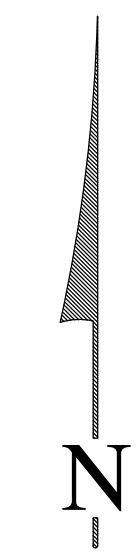
6' Chain Link Fence Panels with Green Screening

Open and Close Panels at Access at the Beginning and End of Each Work Day

Straw Wattles

Construction Parking will be On-Site

Scale: 1" = 20'



CONSTRUCTION MITIGATION NOTES:
This Plan is to provide a general overview of Construction Mitigation Requirements.
The Builder may modify and all portions of this plan, but will be required to re-submit and to get that re-submittal approved by the town of Mountain Village.

No Stationary Crane is being contemplated at this time.

Review comments by TOMV staff forester, Michael Otto

New Single Family Home at 118 Arizona St. Lot 810A

https://townofmountainvillage.com/site/assets/files/35662/initial_architecture_and_site_review_lot_8_10a_118_arizona_st_web_packet.pdf

After permits are paid be sure to contact Michael Otto to mark trees for zone 2 crown spacing.

The landscape plan lists blue spruce to be planted within zone 1. Blue spruce planted next to a home can become a major source of home ignition. Please alter the landscape plan so that blue spruce is not planted within 5' of the structure.



TELLURIDE FIRE PROTECTION DISTRICT

Scott Heidergott, Fire Marshal

Date: 08/12/2021

Address: Lot 810A, 118 Arizona St.
Mountain Village, CO 81435

Plan review is approved with the following conditions:

- 1) The structure is over 3,600 sq ft and shall require a monitored sprinkler system.
- 2) The width of the driveway shall meet the code of 16' total width. 12' shall be a hard surface with the shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.
- 3) The address monument shall be minimum 4'6" from grade to the bottom of the address numbers. Address numbers shall be 6" in height, reflective coated or outlined with a reflective coating.
- 4) TFPD recommends the installation of a Knox Box for access during emergency situations.