

**TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING AGENDA
TO BE HELD IN PERSON
THURSDAY OCTOBER 7, 2021 10:00 AM
MOUNTAIN VILLAGE TOWN HALL
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO
MOUNTAIN VILLAGE TOWN HALL**

| | Time | Min. | Presenter | Type | |
|-----|-------|------|----------------------|----------------|--|
| 1. | 10:00 | | Chair | | Call to Order |
| 2. | 10:00 | 5 | Ward | Action | Reading and Approval of the September 2, 2021, Regular Design Review Board Meeting Minutes. |
| 3. | 10:05 | 30 | Ward/ Applicant | Quasi-Judicial | Consideration of a Design Review: Final Architecture Review for a new Single Family Home on Lot 810A, 118 Arizona Street, pursuant to CDC Section 17.4.11. |
| 4. | 10:35 | 30 | Haynes/ Applicant | Quasi-Judicial | Review and recommendation to Town Council regarding a rezone and density transfer on Lot 27A, Belvedere Phase III Development, Parcel Three-R, 112 Lost Creek Lane, Mountain Village to develop 19 condominium units |
| 5. | 11:05 | 30 | Miller/ Applicant | Quasi-Judicial | Consideration of a Design Review: Final Architecture Review for a Multi-Family Development at Lot 30, 98 Aspen Ridge, consisting of Sixteen (16) Condominium Units and two (2) Employee Condominiums, pursuant to CDC Section 17.4.11. This item was continued from the August 5, 2021 DRB meeting. |
| 6. | 11:35 | 30 | Ward/ Applicant | Quasi-Judicial | Review and Recommendation to the Town Council regarding a Density Transfer and Rezone located at Lot 27A, 112 Lost Creek Lane, Unit 2-3, to transfer one condominium unit of density from the density bank onto the property re-separating Units 2 & 3 into two separate condominium units |
| 7. | 12:05 | 5 | Miller/ Applicant | Quasi-Judicial | Consideration of a Design Review: Final Architectural and Site Review for a new single-family home on Lot 729R-6, 89 Pennington Place, pursuant to CDC Section 17.4.11. To be continued to the November 4, 2021 DRB Meeting. |
| 8. | 12:10 | 30 | | | Lunch |
| 9. | 12:40 | 45 | Ward/ Applicant | Quasi-Judicial | Consideration of a Design Review: Initial Architecture and Site Review for a new Single Family Home on Lot 515, 134 Russell Drive, pursuant to CDC Section 17.4.11. |
| 10. | 1:25 | | Chair | | Adjourn |

Please note that this Agenda is subject to change. (Times are approximate and subject to change)
455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435
Phone: (970) 369-8242 Fax: (970) 728-4342

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting Town Hall at the above numbers or email: cd@mtnvillage.org. We would appreciate it if you would contact us at least 48 hours in advance of the scheduled event so arrangements can be made to locate requested auxiliary aid(s).

**DESIGN REVIEW BOARD MINUTES
TOWN OF MOUNTAIN VILLAGE
DESIGN REVIEW BOARD MEETING
THURSDAY SEPTEMBER 2, 2021**

Call to Order

Chairman Banks Brown called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:04 AM on September 2, 2021

Attendance

The following Board members were present and acting:

Greer Garner
Liz Caton
Banks Brown
Adam Miller
Ellen Kramer
David Craige
Cath Jett arrived
Scott Bennett 1st Alternate
Shane Jordan 2nd Alternate

The following Board members were absent:

None

Town Staff in attendance:

Michelle Haynes, Planning & Development Services Director
John Miller, Senior Planner
Amy Ward, Planner

Public in attendance: None

Item 2. Reading and Approval of the August 5, 2021, Regular Design Review Board Meeting Minutes.

On a **MOTION** by **Caton** and seconded by **Miller** DRB voted unanimously to approve the August 5, 2021 Regular DRB Meeting Minutes.

Item 3. Consideration of a Design Review: Final Architecture Review for a new Single Family Home on Lot 166AR2-2, 1 Stonegate Drive, pursuant to CDC Section 17.4.11.

Amy Ward presented on behalf of staff
Nick Moskwa, TKP Architects, presented as applicant

Public Comment: None

On a **MOTION** by **Caton** and seconded by **Garner** DRB voted unanimously to approve the Final Architectural Review for a new single-family home located at Lot 166AR2-2, based on the evidence provided within the Staff Report of record dated August 24, 2021, with the following design variations and specific approvals:

Design variations:

- 1) Road and Driveway Standards
- 2) Tandem Parking

DRB Specific Approval:

- 1) Metal Fascia
- 2) Board form Concrete (address monument)
- 3) GE encroachment – Grading, below grade soil nailing, retaining walls.

And, with the following conditions:

- 1) Prior to building permit the applicant shall submit a revised lighting plan for review by staff and one board member, to include moving the hot tub light to an allowable location, replace specified cans with outdoor rated fixtures and place lights around the skylight on a dimmer system.
- 2) Prior to building permit the applicant shall submit a revised construction mitigation plan addressing the issues of concern in this memo for staff review. Any needed permissions of adjacent landowners will also be provided to staff.
- 3) Prior to building permit the applicant shall provide a tree survey of the site and shall work with the Town Forester to mark trees for removal in Zone 2 of the Fire Mitigation Area.
- 4) Prior to issuance of a building permit the applicant shall provide written authorization from the owners of OSP-51RA for additional driveway encroachments and the extension of the driveway retaining wall.
- 5) Prior to issuance of a building permit the owner shall receive consent to the building permit application from the Town for the installation of the subterranean soil nails beneath Stonegate Drive
- 6) Prior to issuance of a certificate of occupancy the owner shall enter into a nonrevocable easement agreement for the subterranean soil nails with the Town.
- 7) A non-revocable general easement encroachment agreement will be executed prior to issuance of a certificate of occupancy for any encroachments approved by the DRB.
- 8) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 9) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 10) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 11) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Item 4. Consideration of a Design Review: Final Architecture

Review for a new Single Family Detached Condominium on Lot AR59, 129 Adams Way, pursuant to CDC Section 17.4.11.

Amy Ward presented on behalf of staff

Ken Alexander, Architects Collaborative, presented as applicant

Public comment: None

On a **MOTION** by **Kramer** and seconded by **Jett_DRB** voted unanimously to approve the Final Architectural Review for a new detached condominium located at Lot AR-59R, based on the evidence provided within the Staff Report of record dated August 18, 2021, with the following design variations and specific approvals:

Design Variation:

1) Window and door material

DRB Specific Approval:

1) GE encroachment for hammerhead and grading

And, with the following conditions:

- 1) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 2) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 3) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 4) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 5) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Item 5. Consideration of a Design Review: Final Architectural and Site Review for a new single-family home on Lot 729R-7, 87 Pennington Place, pursuant to CDC Section 17.4.11.

John Miller presented on behalf of staff

Kyle Warkentin on behalf of Karen Keating, TKP Architects presented as applicant

Public Comment: None

On a **MOTION** by **Garner** and seconded by **Kramer**, DRB voted unanimously to approve the Final Architecture Review for a new single-family home located at Lot 729R-7, based on the evidence provided within the Staff Report of record dated August 20, 2021, with the following Specific Approvals and Design Variations:

Design Review Board Specific Approvals:

- 1) Metal Fascia
- 2) General Easement Encroachments
- 3) Board Form Concrete
- 4) Tandem Parking

Design Review Board Design Variation:

- 1) Road and Driveway Standards

And, with the following conditions:

- 1) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 2) Prior to the issuance of a building permit, the applicant shall obtain an easement from TSG to access the sewer line to the west of the home or submit a revised utility plan to the public works director that provides access from Pennington Place.
- 3) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 4) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way, general easement, or setback, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (Fire Department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 5) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.
- 6) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 7) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials

Item 6. Consideration of a Design Review: Initial Architectural and Site Review for a new single-family home on Lot 729R-6, 89 Pennington Place, pursuant to CDC Section 17.4.11.

John Miller presented on behalf of staff

Tim Barstad, TKP Architects, presented as applicant

Public Comment: None

On a **MOTION** by **Garner** and seconded by **Kramer**, DRB voted unanimously to approve the Initial Architecture and Site Review for a new single-family home located at Lot 729R-6, based on the evidence provided within the Staff Report of record dated August 20, 2021, with the following Specific Approvals and Design Variations:

Design Review Board Specific Approvals:

1) General Easement Encroachments

Design Review Board Design Variation:

1) Road and Driveway Standards

And, with the following conditions:

- 1) The applicant shall revise the material sheet to remove all instances of stucco.
- 2) The applicant shall update the landscape plan and fire mitigation plan to remove flammable species from Zone 1 or otherwise revise the plan to include these trees in the dripline of the home. The landscaping plan shall also be revised to include irrigation locations throughout the lot.
- 3) The applicant shall revise the lighting plan submittal to include the cutsheet for the proposed LED strip light.
- 4) The applicant shall revise the civil drawings to indicate the full area of disturbance on the site to include all areas of grading and layback based on the existing civil designs for the home and site.
- 5) The applicant shall revise the civil drawings to demonstrate a 5-6% grade for all garage entries and parking areas.
- 6) Prior to the issuance of a building permit, the applicant shall obtain an easement from TSG to access the sewer line to the west of the home or submit a revised utility plan to the public works director that provides access from Pennington Place.
- 7) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 8) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 9) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way, general easement, or setback, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (Fire Department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 10) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.
- 11) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 12) A monumented land survey establishing the maximum building height and the maximum average building height, including but not limited to natural grade, finished grade and the building height measurement points (in USGS datum) prior to the Building Division conducting the required framing inspection.
- 13) Prior to the Building Division conducting the required framing inspection, a fourfoot

(4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials

Item 7. Lunch

Item 8. Consideration of a Design Review: Initial Architecture and Site Review for a new Single Family Home on Lot 810A, 118 Arizona Street, pursuant to CDC Section 17.4.11.

Amy Ward presented on behalf of staff
Thomas Diverio, presented as applicant

Public Comment: None

On a **MOTION** by **Garner** and second by **Jett** DRB voted unanimously to approve the Initial Architectural and Site Review for a new single-family home located at Lot 810A, based on the evidence provided within the Staff Report of record dated August 19, 2021, with the following specific approvals:

DRB Specific Approval:

- 1) GE encroachment for grading and western retaining wall
- 2) Metal fascia

And, with the following conditions:

- 1) Prior to final review, the applicant shall include the max average height calculations on their height compliance sheet.
- 2) Prior to final review, the applicant shall revise the landscaping plan to move all new spruce plantings at least 5' from edge of home, and to add additional plantings for screening to the east of the driveway.
- 3) Prior to final review, the applicant shall revise the materials calculations and renderings to be in alignment and clarify the material at the top of the "stone bases".
- 4) Prior to final review, the applicant shall revise the materials calculations to show the total sum of each material.
- 5) Prior to final review, the applicant shall revise the address monument to meet the lighting specifications of the CDC and shall show the proposed monument location on the site plan.
- 6) Prior to final review, the applicant shall revise the construction mitigation plan to calculate excavated material to be store or removed, and to indicate a staged parking scenario.
- 7) Prior to final review, the applicant shall revise the floorplans to indicate fuel source for any solid fuel burning devices.
- 8) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be

constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

9) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

10) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials

11) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory

12) Prior to final review the applicant shall make sure the civil drawings and architectural drawings are in alignment (especially as it pertains to the western retaining wall).

13) Prior to final review the applicant will replace the stucco material with a stone material.

ADJOURN

MOTION to adjourn by unanimous consent, the Design Review Board voted to adjourn the September 2, 2021 meeting at 1:45 pm.

Prepared and Submitted by,

Amy Ward
Planner



AGENDA ITEM 3
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board
FROM: Amy Ward, Planner
FOR: Design Review Board Public Hearing; October 7, 2021
DATE: September 27, 2021
RE: Staff Memo – Final Architecture Review (FAR) Lot 810A, 118 Arizona Drive

APPLICATION OVERVIEW: New Single-Family Home on Lot 810A

PROJECT GEOGRAPHY

Legal Description: LOT 810A, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE FINAL PLAT OF LOTS 807, 808, AND 810, FILING 11, TELLURIDE MOUNTAIN VILLAGE RECORDED AUGUST 21, 1991 IN PLAT BOOK 1 AT PAGE 1161, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Address: 118 Arizona Dr.

Applicant/Agent: Michelle & Thomas Diverio

Owner: Mast Architecture and Development LLC

Zoning: Single-Family

Existing Use: Vacant

Proposed Use: Single-Family

Lot Size: .831 acres

Adjacent Land Uses:

- **North:** Single-family
- **South:** Single-family
- **East:** Single-family
- **West:** Single-family



ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comm

Case Summary: Michelle and Thomas Diverio, applicants and owners of Lot 810A, are requesting Design Review Board (DRB) approval of a Final Architectural Review (FAR)

Application for a new single-family home on Lot 810A, 118 Arizona Drive. The Lot is approximately .831 acres and is zoned Single-family. The overall square footage of the home is approximately 6,800 gross square feet, with 5,651 livable square feet, and provides 2 interior parking spaces within the proposed garage and 2 exterior spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

| <u>CDC Provision</u> | <u>Requirement</u> | <u>Proposed</u> |
|-------------------------------------|---------------------------|------------------------------------|
| Maximum Building Height | 40' (gable) Maximum | 38' 11" |
| Maximum Avg. Building Height | 30' Maximum | 24' 10" |
| Maximum Lot Coverage | 40% (6,255 s.f.) | 17.2% (6,212 s.f.) |
| General Easement Setbacks | No encroachment | Grading, hammerhead, and hardscape |
| Roof Pitch | | |
| Primary | | 1.5:12 |
| Secondary | | 1.5:12 |
| Exterior Material | | |
| Stone | 35% minimum | 30.2% |
| Windows/Doors | 40% maximum | 19.5% |
| Parking | 2 interior/2 exterior | 2/2 |

Design variations:

- 1) Exterior Materials – Less than 35% stone
- 2) Lighting – lighting on upper floors

DRB Specific Approval:

- 1) GE Encroachments – Grading and retaining wall
- 2) Metal fascia

Please note, this Memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated August 19, 2021.

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Staff: Criteria met

17.3.14: General Easement Setbacks

Lot 810A is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The Driveway as shown currently takes access from Arizona Drive and crosses the General Easement to the homesite. There is also a retaining wall associated with the driveway at the NE corner of the GE.*
- *Utilities: Given Lot 810A's location and the location of the existing utilities, the GE will need to be crossed on the North GE, accessing utilities within Arizona Drive.*
- *Landscaping: There is some proposed new planting in the northern and eastern GE as well as the address monument in the GE to the west of the driveway.*

The proposal also includes some GE encroachments requiring specific DRB approval:

- *There is a portion of a retaining wall in the western GE*
- *There is landscape grading in the east, south and west GE.*

Staff: The retaining wall in the western GE seemed to be generally accepted by DRB at Initial Review, and the Civil drawings and architectural renderings of this area now seem to be in alignment. The grading in the southern and western GE is minimal. The grading in the eastern GE seems to be an attempt at rerouting a natural drainage swale that runs through the property further to the east to create positive drainage away from the home.

Regardless of the encroachment, any development within the General Easement will require the owner and the Town to enter into a GE Encroachment Agreement as part of a condition of approval.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

Staff: Criteria met

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: The applicant has added some additional plantings along the retaining wall to the east of the driveway per the comments from Initial Review, this should help to screen the drive from the adjacent property as well as to provide for some vegetative covering to make up for the trees that were removed due to the re-grading and to help it blend more into the existing landform.

17.5.6: Building Design

The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation.

Staff: Since Initial Review the applicant has replaced the originally proposed stucco material with a light-colored honed limestone. This brings the total stone percentage up to 30.2% which is still under the required 35%. Staff does believe that this helps tie the vertical elements into the stone base of the home and make it feel more grounded. If the DRB finds this percentage acceptable, then a design variation should be granted. Otherwise, staff finds that the criteria for building design is being met.

Additionally, an area of concern at Initial Review was the front entrance, and possible snowfall hazard from roof shedding. The applicant has increased the roof area at the front

entry. Snow could still be an issue to the east of the front entry and the applicant has added snow guards to this area of concern. The patio surface to the west of the front entry is not very deep, staff is still concerned that snow falling could land on someone on the patio or on the driveway below and would like to see snow guards added here. The service area at the western most side of the house now has a roof surface protecting it. You can see this in elevation, but not on the roof plan. The applicant should submit a revised roof plan showing these changes prior to building permit.

17.5.7: Grading and Drainage Design

Staff: Lot 810A slopes fairly consistently from Arizona Drive up to the SE. Because of the large sub-grade square footage, there will be a large quantity of excavated materials that will need to be either removed from the site or stockpiled. The applicant has not addressed this in the construction mitigation plan and should do so before a building permit is issued. As discussed at initial the extensive grading is necessary to create positive drainage away from the home.

17.5.8: Parking Regulations

Staff: Criteria met.

17.5.9: Landscaping Regulations

Staff: The applicant updated the plan to move all spruce at least 5' from edge of home and added additional plantings to the east of the driveway. Criteria met.

17.5.11: Utilities

Staff: Criteria met.

17.5.12: Lighting Regulations

Staff: A lighting plan with photometric study was provided. The plan is simple, with one type of wall mounted sconce fixture and one recessed can light fixture. The recessed can lighting is meeting all the requirements of the CDC. A design variation is being requested for the wall sconce lighting on upper floors. The requirements for decks on second and upper floors that do not have stairs state that they "shall have only recessed wall or ceiling, in-rail or in-wall, louvered or concealed lighting that is directed towards the building or the deck/patio surface and not to the exterior yards." The proposed fixture A is not recessed or in wall, however staff believes that an argument could be made that it is both concealed and directed towards the building. If DRB determines that this sconce is allowable, then a design variation should be granted. Otherwise, the applicant should submit a revised lighting plan for review prior to building permit.

17.5.13: Sign Regulations

Staff: The address monument has been revised to indicate a downlit LED, however the specification sheet was not included in the submittal. The applicant shall provide a specification for staff review prior to building permit.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Criteria met.

17.6.6: Roads and Driveway Standards

Staff: Criteria met.

17.6.8: Solid Fuel Burning Device Regulations

Staff: Criteria met.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The applicant has not added an area of excavated dirt stockpiles and/or indicated the removal of such. The applicant should revise the construction mitigation plan to indicate how excavated materials are to be handled prior to building permit.

Staff Recommendation: Staff recommends the DRB approve the Final Architectural Review for Lot 810A, 118 Arizona Drive, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architectural Review for a new single-family home located at Lot 810A, based on the evidence provided within the Staff Report of record dated September 27, 2021, with the following design variations and specific approvals:

Design variations:

- 1) Exterior materials – less than 35% stone
- 2) Lighting – lighting on upper floors

DRB Specific Approval:

- 1) GE encroachment for grading and retaining wall
- 2) Metal fascia

And, with the following conditions:

- 1) Prior to building permit, the applicant shall provide a lighting specification for the address monument for staff review.
- 2) Prior to building permit, the applicant shall revise the construction mitigation plan to calculate excavated material to be store or removed, and to indicate a staged parking scenario.
- 3) Prior to building permit, the applicant shall provide a revised roof plan indicating snow fencing, and adding the roof over the back entry for staff review.
- 4) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 5) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 6) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 7) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 8) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/aw



NEW SINGLE FAMILY RESIDENCE AT 810A ARIZONA STREET MOUNTAIN VILLAGE, COLORADO 81435

GENERAL NOTES

- These documents, as instruments of service, are the property of Architect and may not be used or reproduced in any manner without expressed written consent.
- No deviations from these plans are to be made, in any way, without the expressed WRITTEN permission of the Architect. Alternate equipment may only be substituted with written approval of the Architect.
- The General Contractor (G.C.) is to provide, locate and build into the work all supplementary materials (inserts, anchors, angles, plates, openings, sleeves, hangers, slab depressions, pitches, etc) as required to properly install, support, brace, and shore all building components within the scope of the project.
- It is not the intent of these documents to show every minor construction detail. The G.C. is expected to furnish and install all items required to complete all building systems and provide all necessary appurtenances for equipment to be placed in proper working order with quality craftsmanship without increasing the contract sum or contract completion date.
- The G.C. is to obtain all required permits for the construction, finishing and occupancy of the project.
- All work described in these documents must be performed by construction professionals licensed & insured in the state of Colorado, and shall be performed in accordance with the latest edition of the International Building Code, National Electric Code, City Ordinances, and County amendments.
- It is the intent of the Architect that this work conform with all requirements of the building authorities having jurisdiction over this type of construction and occupancy. The G.C. shall notify the Architect/Engineer of Record immediately if any discrepancies are encountered between the drawings and these requirements. Any discrepancies shall be resolved by the Architect/Engineer of Record prior to proceeding with the work.
- Structural Drawings shall be worked together with Architectural, Plumbing, Mechanical, and Electrical drawings to locate depressed slabs, slopes, drains, outlets, recesses, openings, regulates, bolt settings, sleeves, dimensions, etc. Discrepancies shall be brought to the attention of the Architect before proceeding with any and all work.
- These drawings are not to be scaled. Use dimensions and information shown. All dimensions are frame to frame, to structure, or to centerline, unless otherwise noted. The G.C. shall verify all dimensions in field and report any discrepancies to Architect for action.
- The G.C. shall verify all dimensions and conditions at the job site before starting any work. Bring all discrepancies to the attention of the Architect before beginning any work.
- The G.C. shall promptly notify the Architect in writing of the existing of any observed variations between the Contract Documents and the applicable codes or ordinances.
- All work done under the supervision of the G.C. shall be in a neat and workmanlike manner in accordance with federal, state and local governing agencies having jurisdiction.
- The G.C. shall repair all damage to the existing building during construction resulting from lack of care and due diligence and may not claim monetary damages or time delays against the contract sum or contract completion date for that work.
- The G.C. shall coordinate and schedule the work of all trades to insure that the project is completed by the contract completion date.
- Prior to commencing work, the G.C. shall verify the location of all equipment to be removed/relocated. Removals shall be coordinated with the Owner.
- The G.C. shall provide an on-site dumpster in a location coordinated with the owner for the disposal of removed material/construction debris. The dumpster shall be emptied periodically to prevent overflow and unsightly conditions.
- The G.C. shall provide the Architect with redline as-built drawings for all field changes/additions to the work included in the drawings.
- The G.C. shall provide an itemized cost breakdown of all items and phases of construction at the time of bidding.
- The Architect is not responsible for construction means, methods, sequences, procedures, precautions or programs related to this project's construction.
- All work is to be plumb, aligned, square, and adequately supported. Fill all voids between components. All items that do not meet the Architect's satisfaction as to good trade practices and quality craftsmanship shall be removed and redone at the G.C.'s expense.
- The G.C. is to maintain a safe site, clear of debris at all times.
- The G.C. and all subcontractors are to guarantee the quality of their work for a minimum period of one year in writing, to be submitted with the bid.
- All details and sections shown on these drawings are intended to be typical and shall be construed to apply to any similar situation elsewhere in the work except where a different detail is shown. It is the G.C.'s responsibility to foresee additional conditions prior to commencing the work and notify the Architect immediately for instruction.
- All assemblies referred to as fire-rated shall be a minimum of one hour unless otherwise indicated. All penetrations through any rated assembly shall be provided with approved penetration rated devices.
- Attention is directed to provisions in AIA Document A201 "General Conditions", Article 4, regarding Contractor's responsibility in regards to shop drawings. The G.C. shall review and approve the submitted shop drawing with the Contract Documents prior to submission to the Architect. Rejected shop drawing will be returned to the Subcontractor for revision and re-submission. The Architect shall then review and approve the submitted shop drawing for design intent only. Rejected shop drawings will be returned to the Subcontractor for revision and re-submission. Once approved by the Architect and Contractor, the Subcontractor shall submit the shop drawings to the City Building Department for review and approval prior to any fabrication and installation. All shop drawings shall be submitted on 24" x 36" PAPER ONLY. Submit 4 (four) copies for approval. Truss drawings shall be at the same scale as that of the floor plan, and all shop drawings shall be sealed and signed by a registered Engineer, in order to be approved.
- The G.C. shall provide a telephone (cell phones are acceptable) and fax line at the job site. The G.C. is responsible for its use.
- The G.C. shall verify the location of any and all existing utility lines in the area of proposed work.

DESIGN PROFESSIONALS

ARCHITECT OF RECORD:



AA26003251-IB26001745
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ARC-000406806 (Colorado)
LEED AP BD+C
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STRUCTURAL ENGINEER:

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Matthew Hopp, PE
605 River Park Drive
Ridgeway, CO 81435
970.318.1469
matt@pehop.com

SURVEYOR:

FOLEY ASSOCIATES, INC.
Jeffrey Haskell
P.O. Box 1385, 125 W. Pacific Avenue, Suite B-1
Telluride, CO 81435
970.728.6153
jhaskell@foleyassoc.com

INDEX OF DRAWINGS

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A2.1 First Floor Plan
A2.2 Second Floor Plan
A2.3 Roof Plan
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A4.8 Lighting Projection First Floor
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DESIGN ARCHITECT:



MAST ARCHITECTURE
& DEVELOPMENT
Thomas Diverio
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Pinecrest, FL 33156
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thomas.diverio@gmail.com

CIVIL ENGINEER:

UNCOMPAGHRE ENGINEERING, LLC
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GENERAL CONTRACTOR:

LUDWIG AND SONS
Stan Ludwig
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Telluride, CO 81435
970.728.5648
ludwigconstruction@hotmail.com

CIVIL SHEETS

C1 Notes
C2 Site Grading with Driveway Profile
C2.1 Site Grading with Trees Displayed
C3 Utilities
C4 Construction Mitigation

CODE COMPLIANCE & GENERAL PROJECT DATA

Project Scope of Work:
New 2-story single family residence
New driveway approach

Building Codes: The work in these documents shall be done in accordance with:

- IRC 2012
- Community Development Code, Town of Mountain Village, as amended on August 20, 2020

Town of Mountain Village Zoning District: Single Family Residential

Building Stories: 2 total floors.
Occupancy Classification: R-3

Gross Floor Area
Living
First Floor 1,311 square feet
Second Floor 4,340 square feet

Sub-total 5,651 square feet

Garage/Mechanical 1,149 square feet

Total Area 6,800 square feet

Lot Area: 36,192 square feet (0.831 Acres)

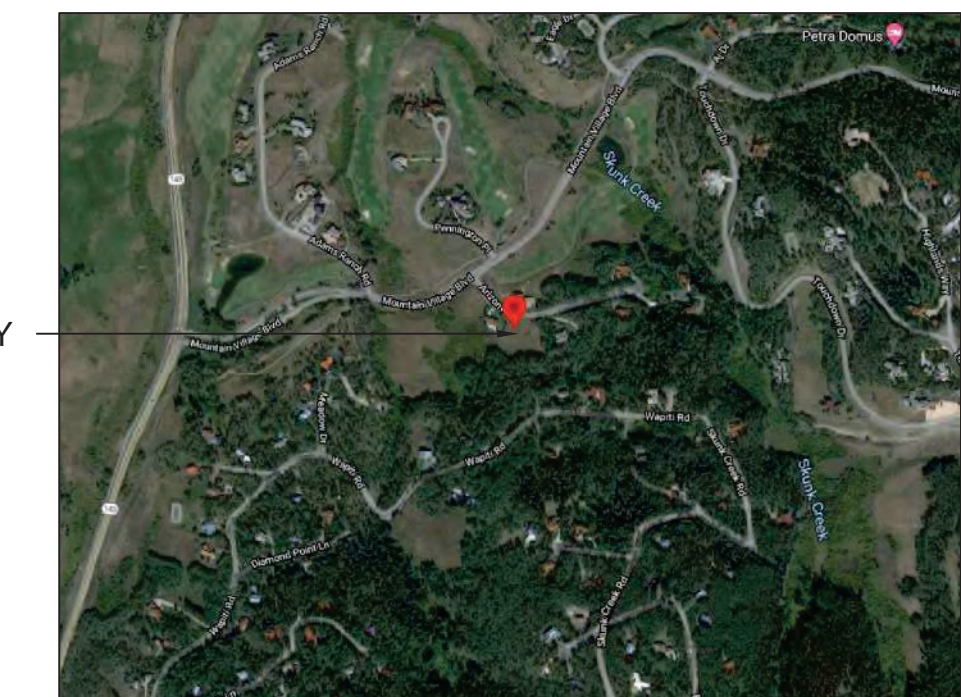
Lot Coverage:
Maximum Lot Coverage 40% (14,476.8 square feet)
Proposed Lot Coverage 17.2% (6,212 square feet)

Building Height:
Building Height 40'-0"
Average Building Height 30'-0"
Maximum Allowable 38'-11"
Proposed 24'-10"

Parking:
Required spaces 2 enclosed spaces + 2 off street parking = 4 total
Proposed spaces 2 enclosed spaces + 2 off street parking = 4 total

LOCATION MAP

MOUNTAIN VILLAGE, COLORADO 81435



PROPERTY

LEGAL DESCRIPTION

Lot 810A, Telluride Mountain Village, filing 11, according to the final plat of lots 807, 808 and 810, filing 11, Telluride Mountain Village recorded August 21, 1991 in plat book 1, page 1161.

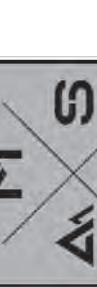
County of San Miguel, State of Colorado



Mauricio Salazar
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ARCHITECT OF RECORD
SALTOARCHITECTURE



NEW SINGLE FAMILY RESIDENCE AT
810A ARIZONA STREET
MOUNTAIN VILLAGE, COLORADO 81435
(LOT 810A, TOWN OF MOUNTAIN VILLAGE)

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10.7.2021

COVER SHEET &
GENERAL NOTES

REVISION DATE

A1.0

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17:59:05-04'00"

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SITE PLAN

REVISION DATE

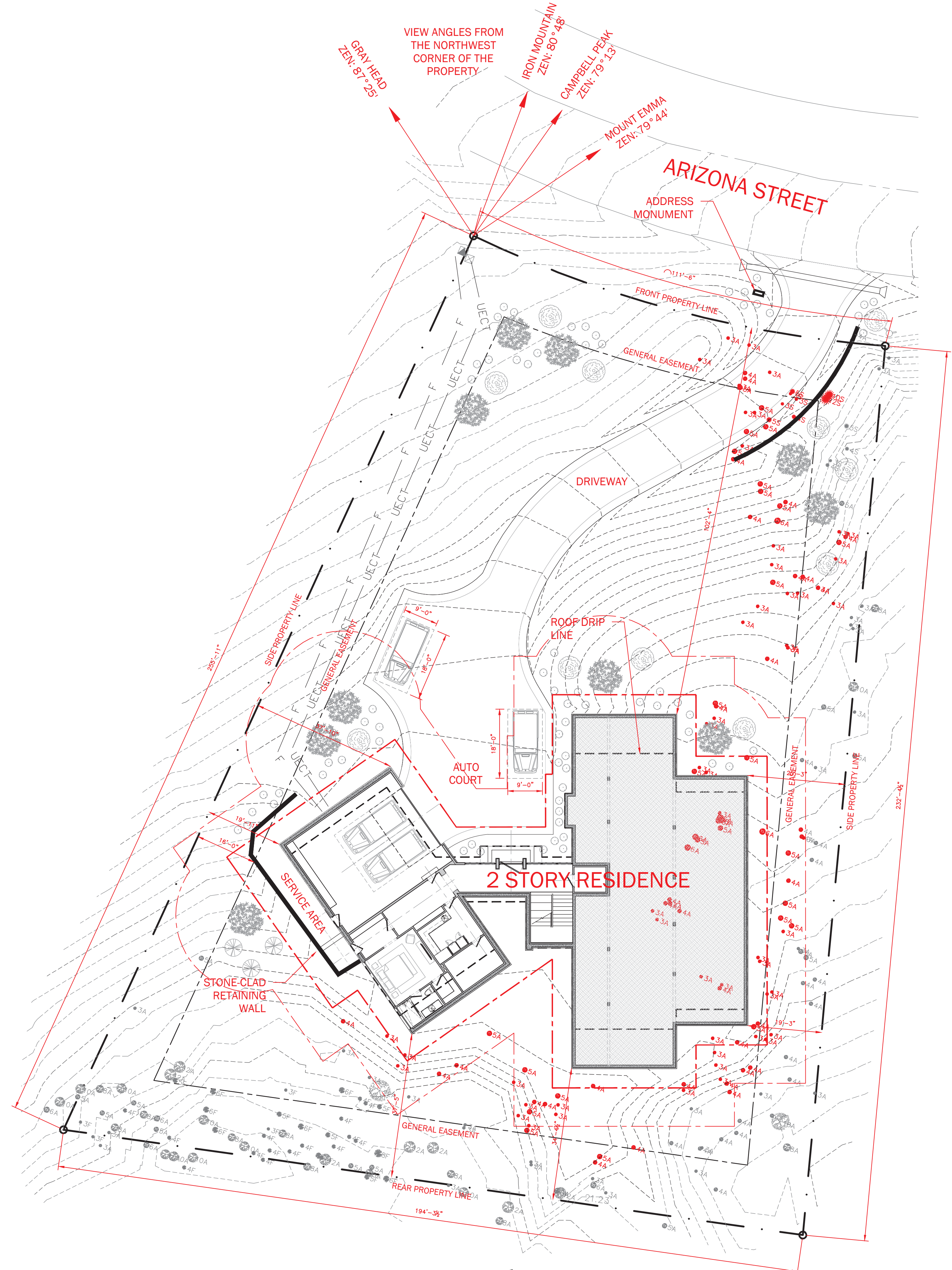
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EXISTING SITE PLAN

1/16" = 1'-0"

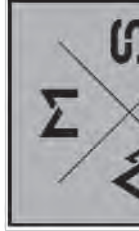


PROPOSED SITE PLAN

1/16" = 1'-0"



NOTE:
A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.



GENERAL NOTES

- All trees and shrubs to be located by project Architect /Owner.
- All trees and shrubs shall be backed filled with a topsoil / organic fertilizer mixture at a 2:1 ratio.
- Necessary trees shall be staked with 4" metal posts. Trees shall be guyed with 12 gauge galvanized wire and polypropylene tree race strips.
- Perennial planting beds shall be tilled 6" depth and amended with topsoil and organic fertilizer at a 2:1 ratio.
- See planting details for all deciduous and evergreen trees.
- Mulch all perennial beds with a pine bark soil conditioner by Southwest Importers; shredded cedar bark.
- All plant material to meet the American Standard for Nursery Stock.
- All existing trees shall be protected throughout the duration of construction.

NOXIOUS WEEDS:

- All planted materials including seeds, shall be non noxious species as specified in the noxious weed CDC Table 5-5 or subsequently designated as a noxious weed by the State of Colorado, or the town.

LANDSCAPE MAINTENANCE NOTES:

- Turf shall be aerated 2 to 3 times per year to increase the water absorption rate. Necessary organic fertilization and amendment shall be incorporated at the same time.
- Necessary organic fertilizers and amendment shall be added to perennial beds seasonally along with mulch.
- All shrubs in snow shed areas to be cut back in fall to 12"-18" in height.
- Irrigation system to be blown out by October 31st each fall and turned on by June 1st each spring.

IRRIGATION NOTES:

- Tap with rainbird pvb-075 backflow preventer.
- Rainbird RCM-12 electromechanical controller.
- 1.5" Wilkins model 500 pressure regulator.
- Rainbird 150-PEB 1.5" electric remote control valve.
- Class 200 PVC mainline 1 1/2".
- 1" 80NSF polyateral line.
- Water sensor by Rainbird

REVEGETATION NOTES

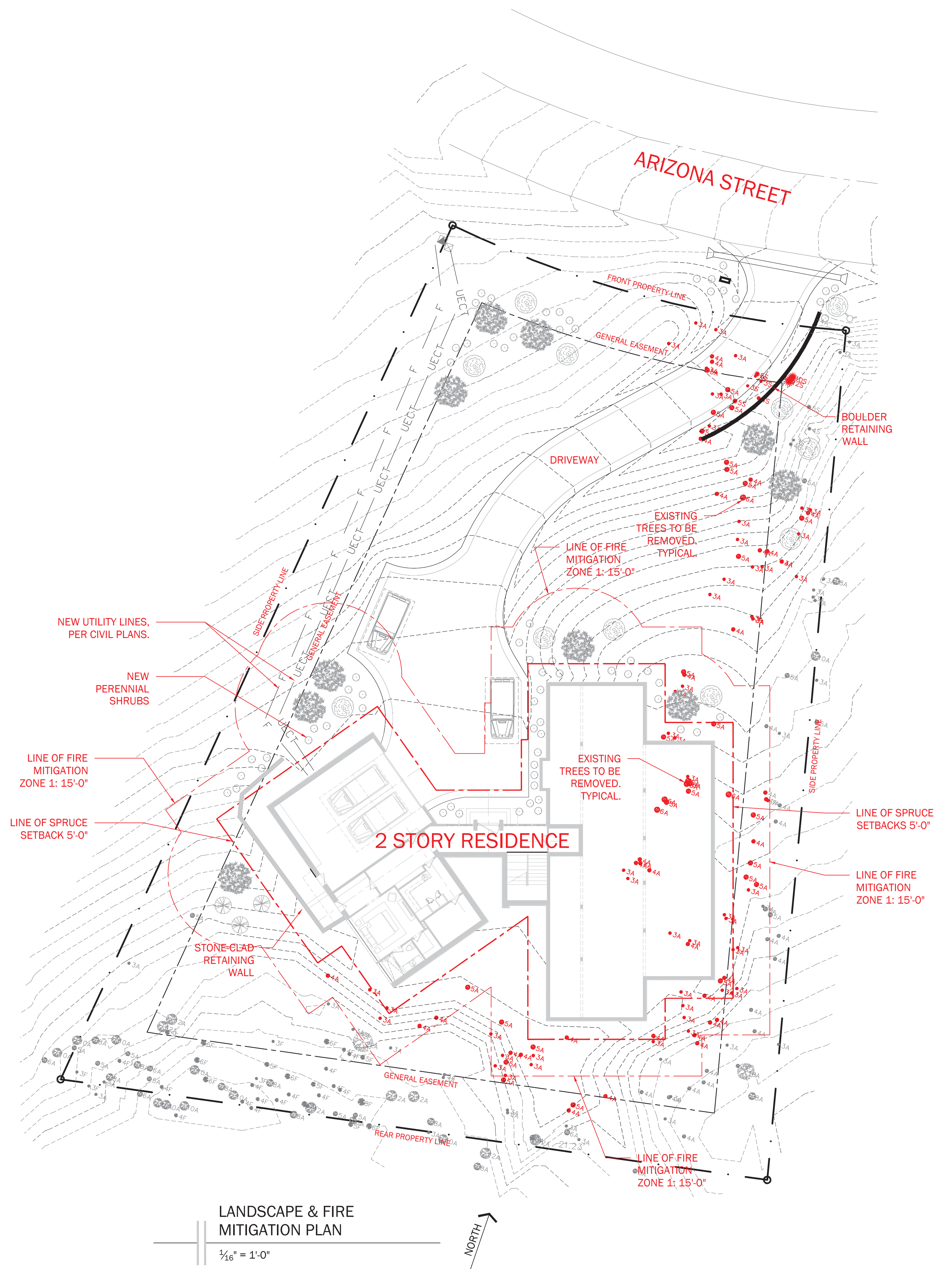
- Subsoil surfaces shall be tilled to a 4" depth on non fill areas.
- Topsoil shall be spread at a minimum depth of 4" over all areas to be revegetated (except on slopes greater than 3:1) and amendments rototilled at a rate of three cubic yards per thousand square feet.
- Broadcasting of seed shall be done immediately after topsoil is applied (within 10 days to minimize erosion and weeds.
- Areas which have been compacted or relatively undisturbed needing seeding, shall be scarified before broadcasting of seed.
- Broadcast with specified seed mix and follow with dry mulching, straw or hay shall be uniformly applied over seeded area, at a rate of 1.5 tons per acre for hay or 2 tons per acre for straw, crimp in.
- On slopes greater than 3:1 erosion control blanket shall be applied in place of straw mulch and pinned.
- All utility cuts shall be revegetated within two weeks after installation of utilities to prevent weed infestation.
- Seed all areas labeled native grass seed with the following mixture at a rate of 12 lbs per acre.
 - Western Yarrow 5%
 - Tall Fescue 10%
 - Arizona Fescue 5%
 - Hard Fescue 5%
 - Creeping Red Fescue 10%
 - Alpine Bluegrass 15%
 - Canada Bluegrass 10%
 - Perennial Ryegrass 15%
 - Slender Wheatgrass 10%
 - Mountain Brome 15%

PLANT SCHEDULE

| SYMBOL | COMMON NAME | BOTANICAL NAME | SIZE | QUANTITY |
|--------|------------------------|--------------------------|--------|----------|
| | COLORADO SPRUCE | PICEA PUNGENS 'COLORADO' | 12'-0" | 10 |
| | QUAKING ASPEN | POPULUS TREMULOIDES | 3" | 3 |
| | BRISTLECONE PINE | PINUS ARISTATA | 6'-0" | 11 |
| | GLOBE SPRUCE SHRUB | PICEA PUNGENS 'GLOBOSA' | 2'-0" | 68 |
| | EXISTING TO BE REMOVED | N/A | N/A | N/A |

FIRE MITIGATION NOTES

- Zone 1:**
- All slash and flammable vegetation shall be removed from Zone 1.
 - All trees and shrubs located within Zone 1 shall be removed.
- Zone 2:**
- Dominant and codominant live trees with a dbh of four inches (4") or greater shall be spaced with a ten foot (10') crown-to-crown separation. All ladder fuels and slash shall be removed from the ten foot (10') crown-to-crown separation area.
 - All stressed, diseased, dead or dying trees and shrubs, as identified by staff, shall be removed except for standing dead trees that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.
 - Shrubs over five feet (5') tall shall have an average spacing of ten feet (10') from shrub-to-shrub.
 - Trees remaining within Zone 2 shall have branches pruned to a height of ten feet (10'), but notwithstanding said height requirement, branches need not be pruned to more than one-third (1/3) of the tree height with the following exceptions:
 - Aspen trees
 - Isolated spruce and fir trees.



LANDSCAPE & FIRE MITIGATION PLAN

1/16" = 1'-0"

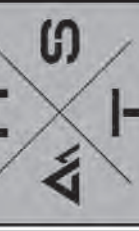




Mauricio Salazar
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ARCHITECT OF RECORD
SALTOARCHITECTURE



DESIGN ARCHITECT
NEW SINGLE FAMILY RESIDENCE AT
810A ARIZONA STREET
MOUNTAIN VILLAGE, COLORADO 81435
(LOT 810A, TOWN OF MOUNTAIN VILLAGE)

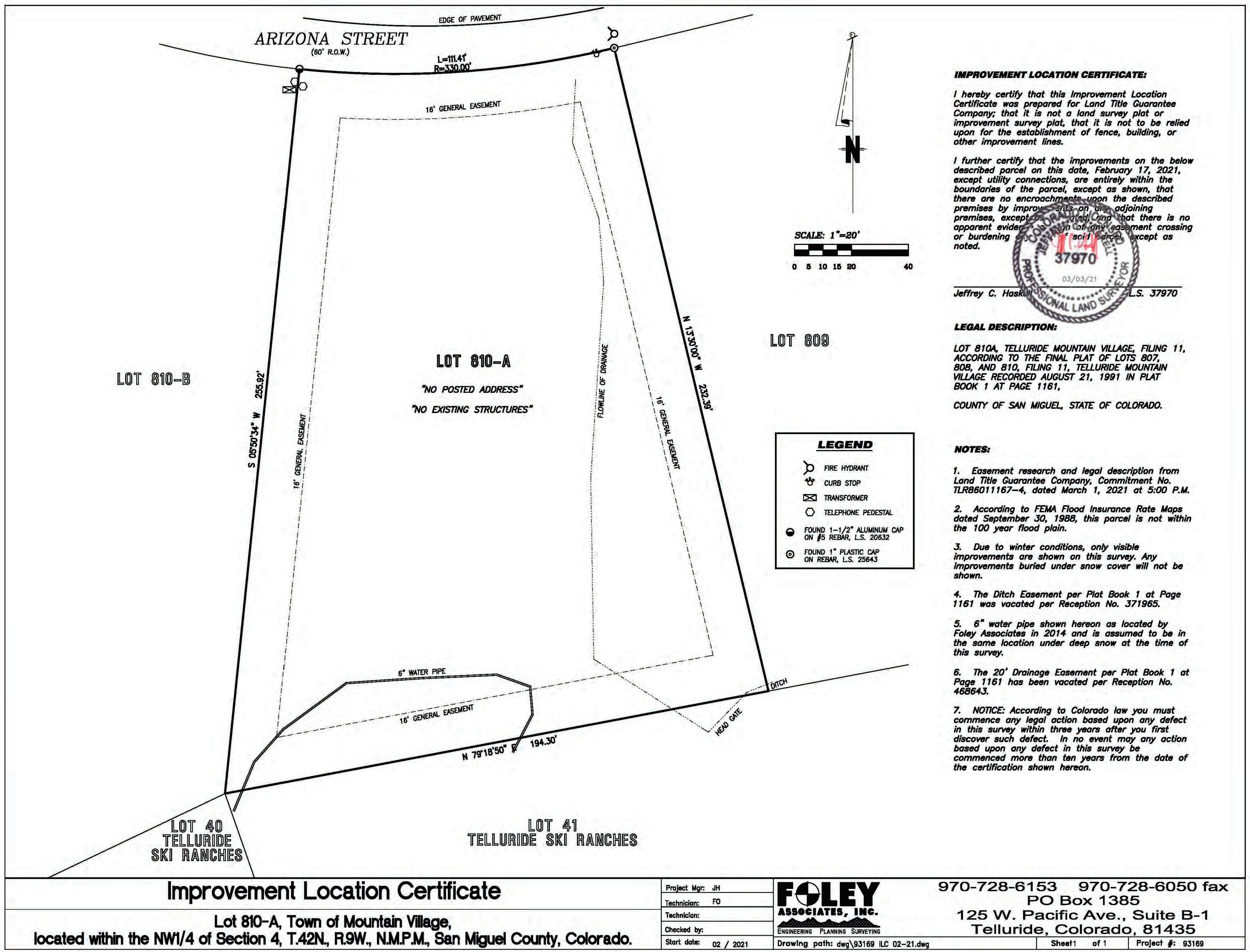
DESIGN REVIEW BOARD
FINAL SUBMITTAL SET
10.7.2021

SURVEY

REVISION DATE

A1.3

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IMPROVEMENT LOCATION CERTIFICATE:

I hereby certify that this Improvement Location Certificate was prepared for Land Title Guarantee Company; that it is not a land survey plat or improvement survey plat, that it is not to be relied upon for the establishment of fence, building, or other improvement lines.

I further certify that the improvements on the below described parcel on this date, February 17, 2021, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on the adjoining premises, except as noted, and that there is no apparent evidence of any easement crossing or burdening of said parcel, except as noted.



Jeffrey C. Haskins, Professional Land Surveyor, L.S. 37970

LEGAL DESCRIPTION:

LOT 810A, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE FINAL PLAT OF LOTS 807, 808, AND 810, FILING 11, TELLURIDE MOUNTAIN VILLAGE RECORDED AUGUST 21, 1991 IN PLAT BOOK 1 AT PAGE 1161, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

- Easement research and legal description from Land Title Guarantee Company, Commitment No. TLR86011167-4, dated March 1, 2021 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Maps dated September 30, 1988, this parcel is not within the 100 year flood plain.
- Due to winter conditions, only visible improvements are shown on this survey. Any improvements buried under snow cover will not be shown.
- The Ditch Easement per Plat Book 1 at Page 1161 was vacated per Reception No. 371965.
- 6" water pipe shown hereon as located by Foley Associates in 2014 and is assumed to be in the same location under deep snow at the time of this survey.
- The 20' Drainage Easement per Plat Book 1 at Page 1161 has been vacated per Reception No. 468643.
- NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

LEGEND

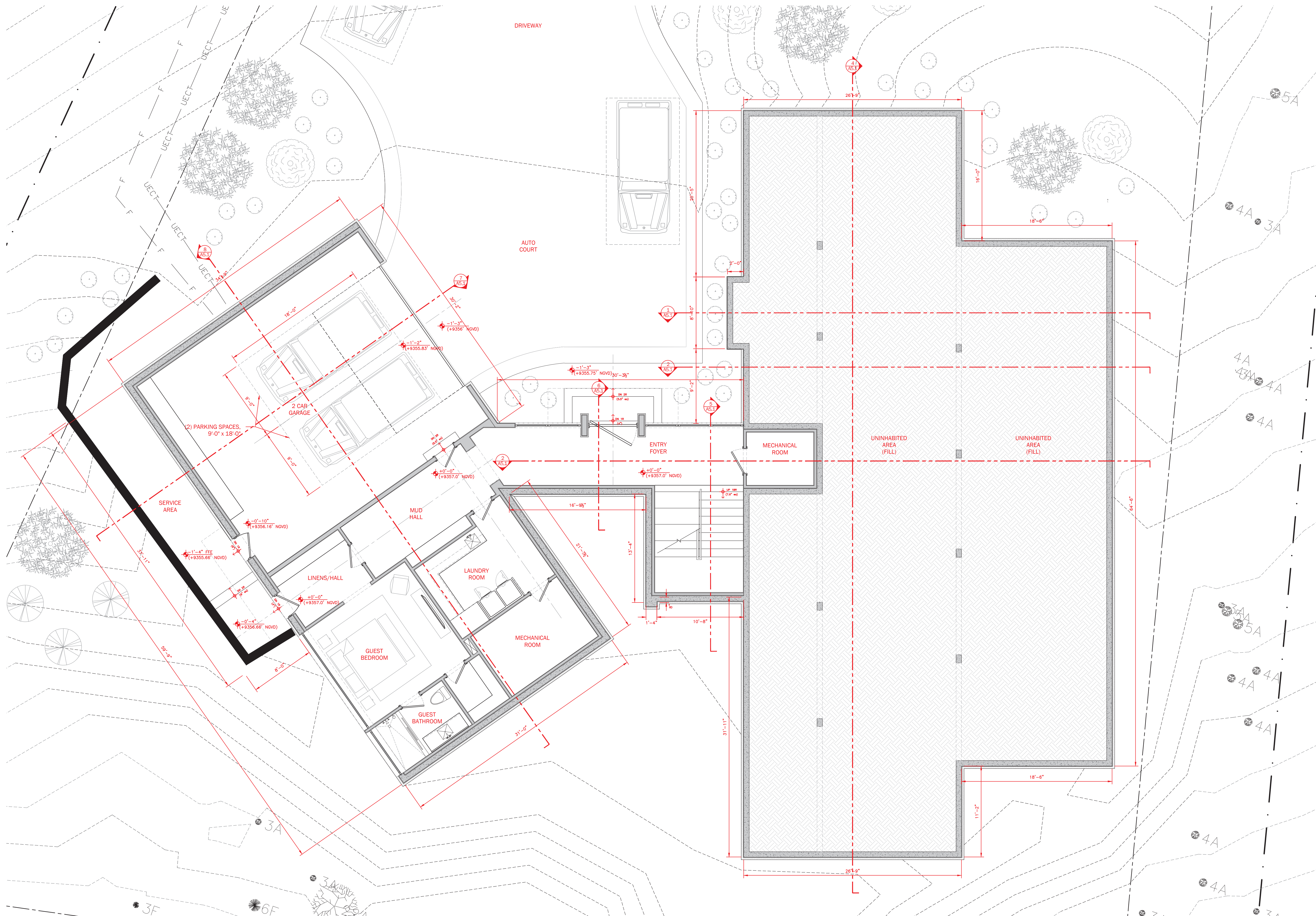
| | |
|--|---|
| | FIRE HYDRANT |
| | CURB STOP |
| | TRANSFORMER |
| | TELEPHONE PEDESTAL |
| | FOUND 1-1/2" ALUMINUM CAP ON #5 REBAR, L.S. 20632 |
| | FOUND 1" PLASTIC CAP ON REBAR, L.S. 25643 |

| | | | | | | | |
|---|--|-----------------|--|---|--|---|--|
| Improvement Location Certificate | | Project Mgr: JH | | FOLEY ASSOCIATES, INC. ENGINEERING PLANNING SURVEYING | | 970-728-6153 970-728-6050 fax | |
| Lot 810-A, Town of Mountain Village, located within the NW1/4 of Section 4, T.42N, R.9W., N.M.P.M., San Miguel County, Colorado. | | Technician: FO | | | | PO Box 1385 125 W. Pacific Ave., Suite B-1 Telluride, Colorado, 81435 | |
| | | Checked by: | | Start date: 02 / 2021 | | Drawing path: dwg\93169 ILC 02-21.dwg | |

Survey shown here is for reference only. See attached signed/sealed copies

BOUNDARY SURVEY
N.T.S.

F:\Old W\ubha\065193A\93169.dwg 93169 ILC 02-21.dwg 3/7/2021 11:04:54 AM PG 4



FIRST FLOOR PLAN

3/16" = 1'-0"



Mauricio Salazar
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17:59:21-04'00"

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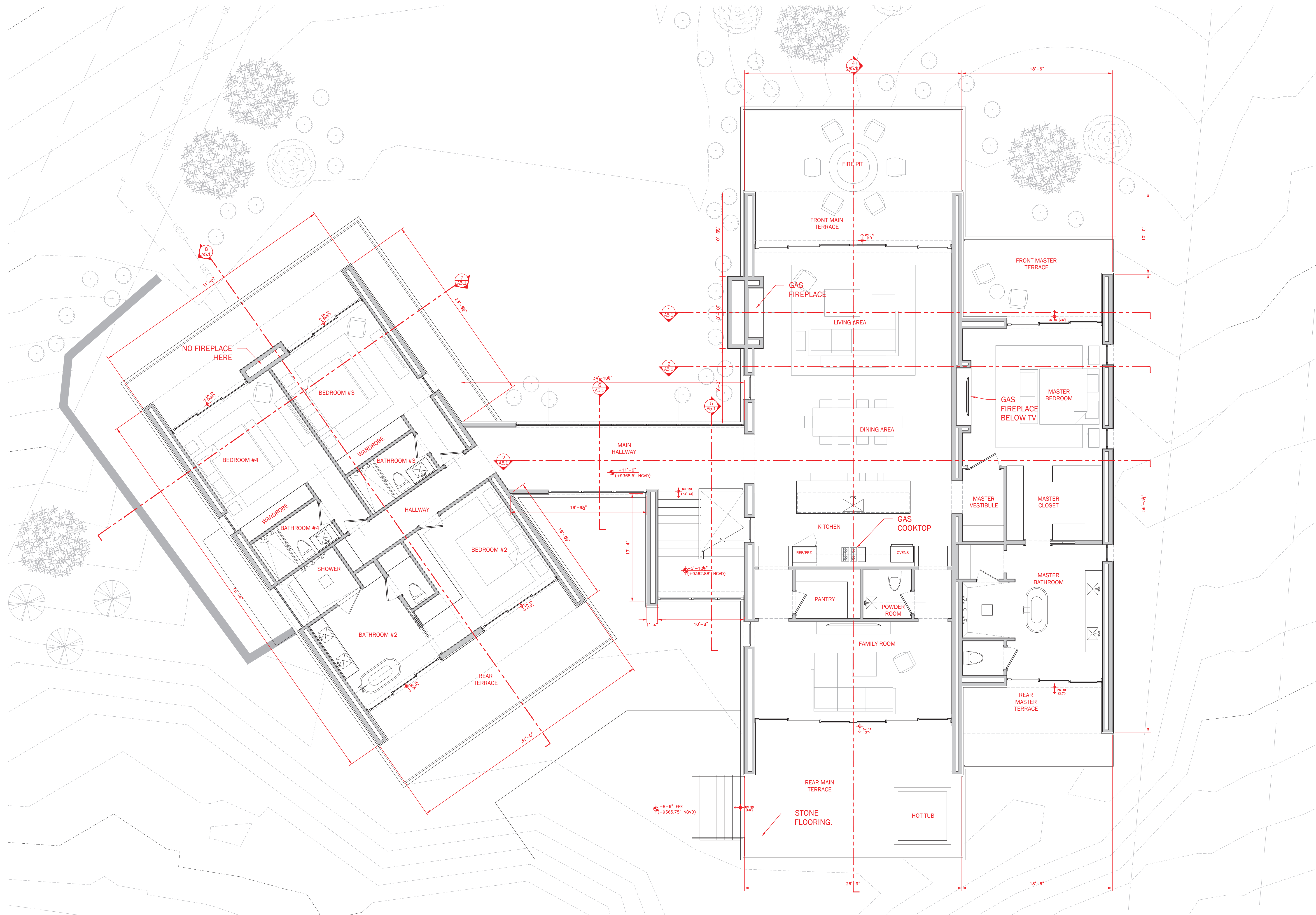
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10.7.2021

FIRST FLOOR PLAN

| REVISION | DATE |
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| | |

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SECOND FLOOR PLAN

3/16" = 1'-0"



NOTE:
 Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

MAURICIO SALAZAR ARCHITECT
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DESIGN ARCHITECT

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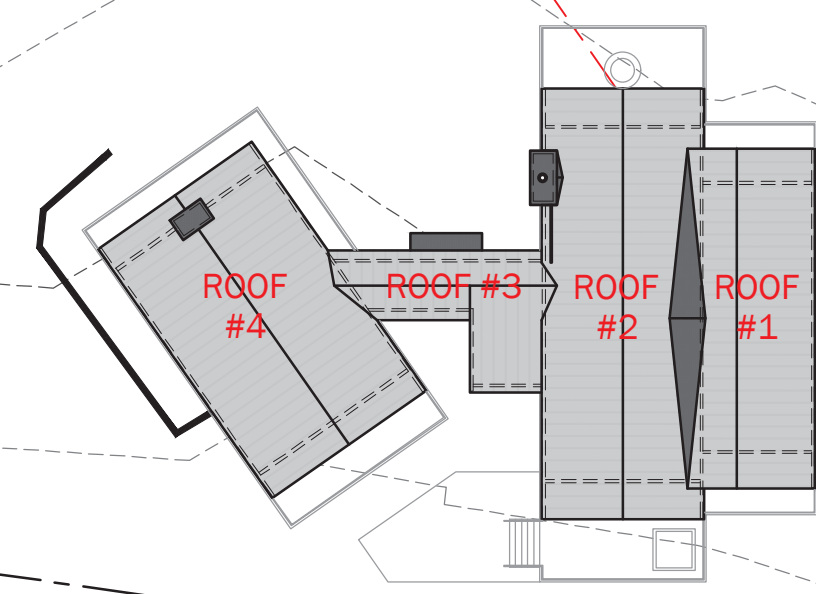
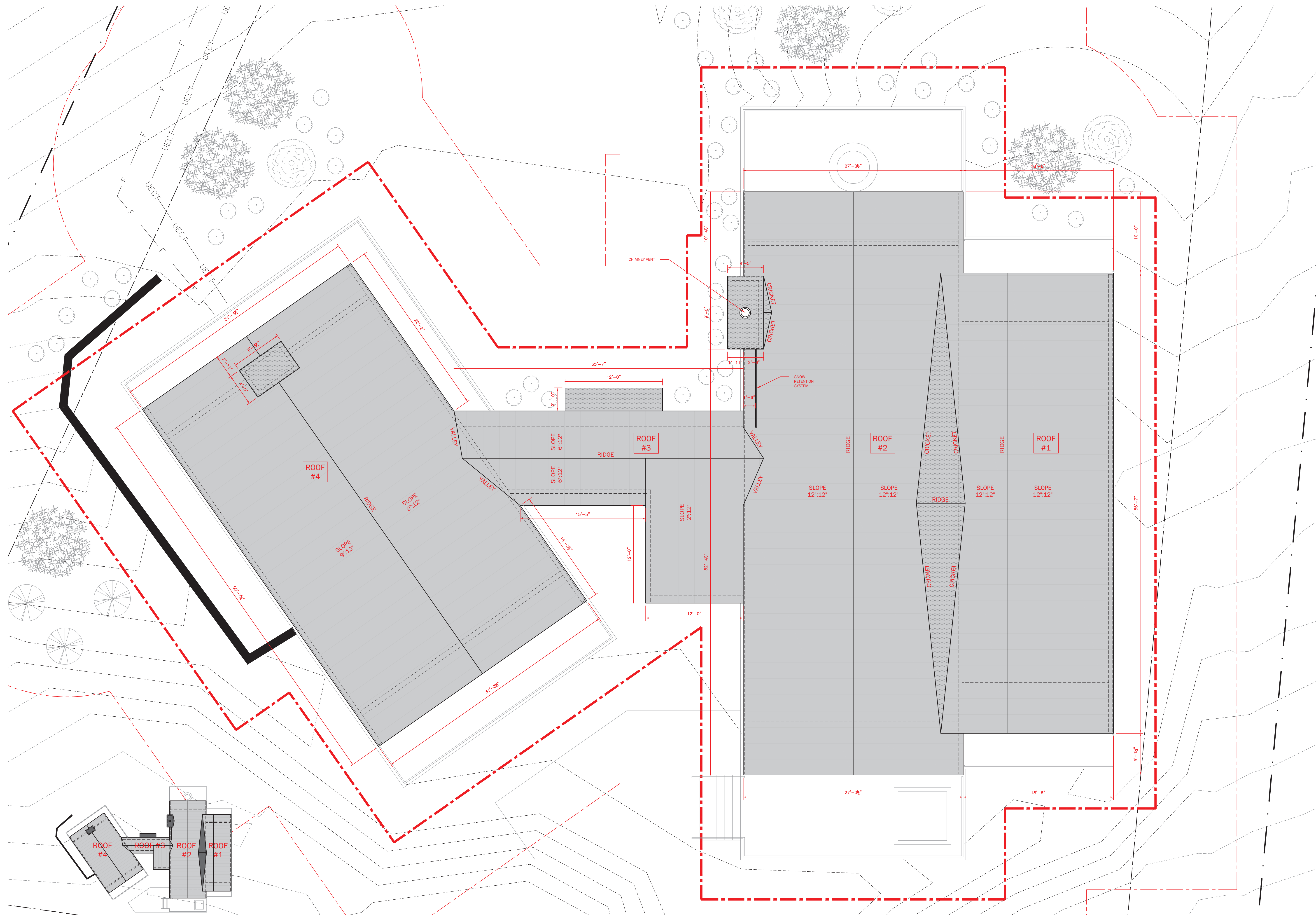
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SECOND FLOOR
 PLAN

| REVISION | DATE |
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ROOF KEY PLAN
N.T.S.



ROOF PLAN

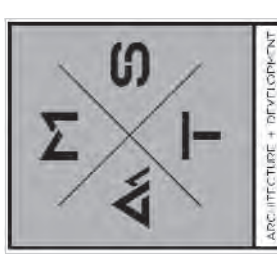
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ROOF PLAN

REVISION DATE

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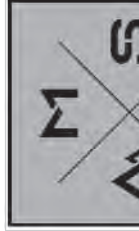
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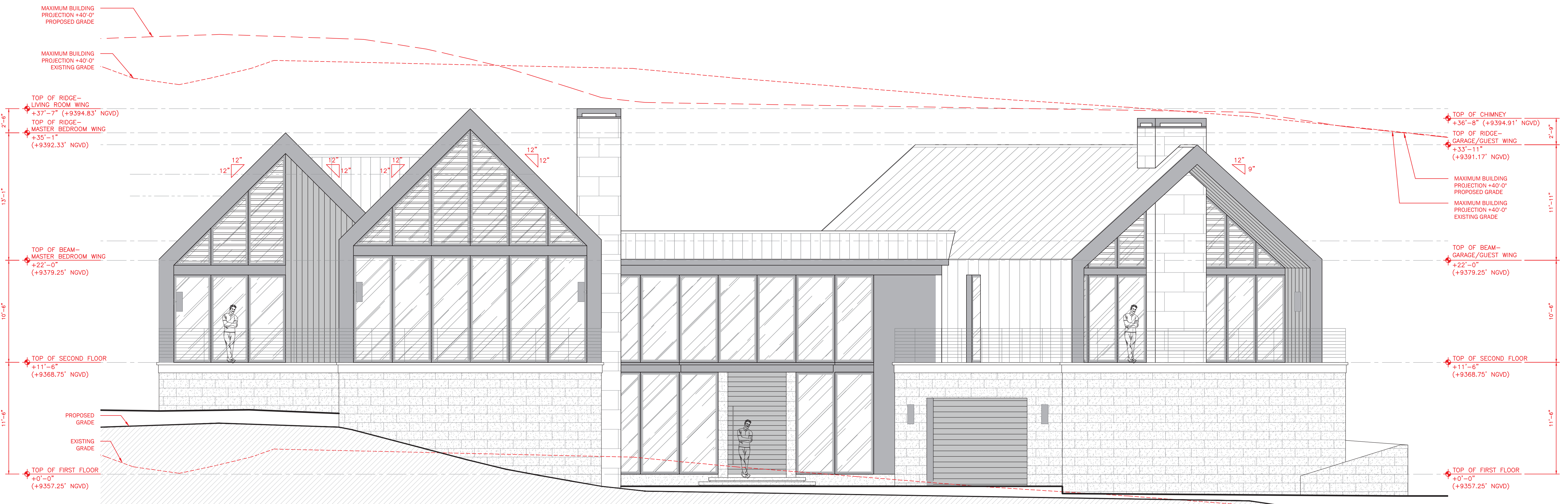
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ELEVATIONS

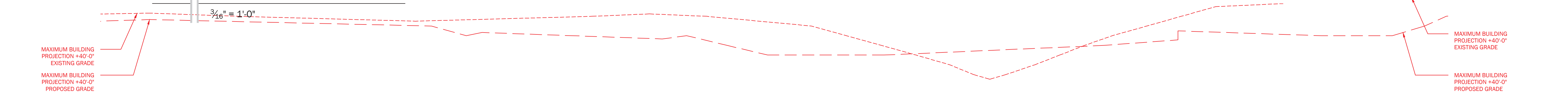
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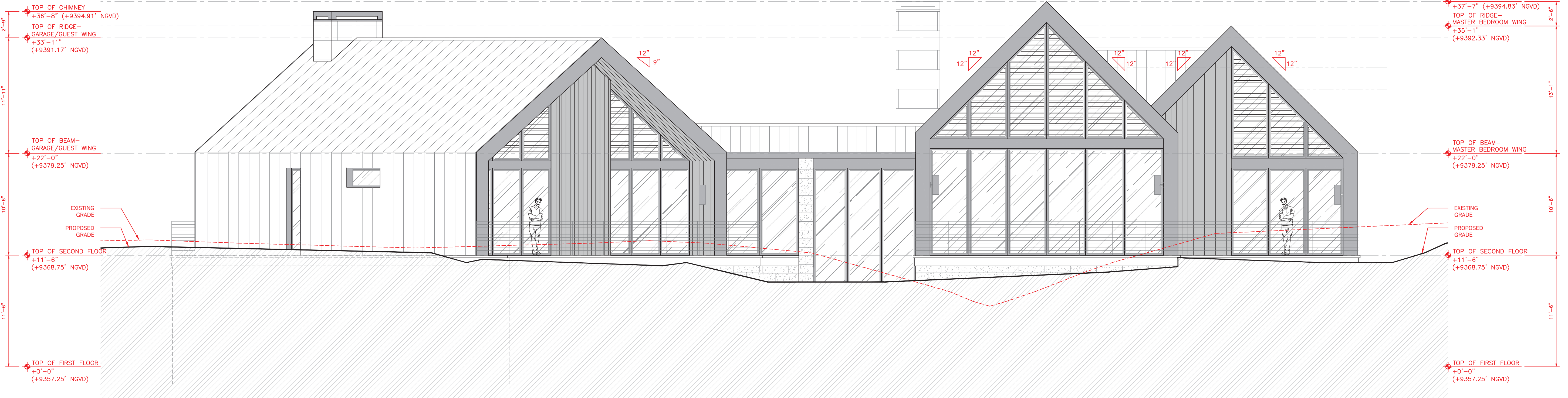
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MAIN RESIDENCE
NORTH ELEVATION (FRONT)



MAIN RESIDENCE
SOUTH ELEVATION (REAR)



MAIN RESIDENCE
SOUTH ELEVATION (REAR)



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17:59:40-04'00"

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ARCHITECT OF RECORD
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DESIGN ARCHITECT
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(LOT 850A, TOWN OF MOUNTAIN VILLAGE)

DESIGN REVIEW BOARD
FINAL SUBMITTAL SET
10.7.2021

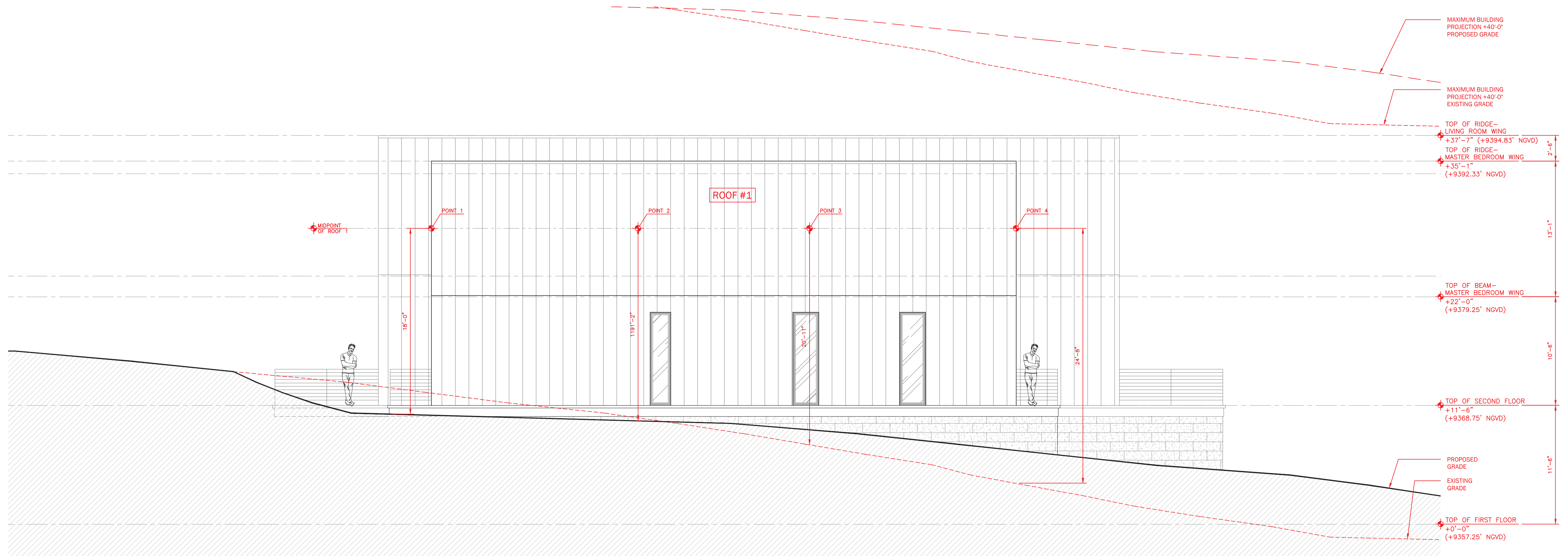
ELEVATIONS

REVISION DATE

A3.2

2139MAS

| AVERAGE ROOF HEIGHT - ROOF 1 | |
|------------------------------|---------|
| POINT 1 | 18'-0" |
| POINT 2 | 18'-7" |
| POINT 3 | 20'-11" |
| POINT 4 | 24'-8" |
| TOTAL | 20'-6" |

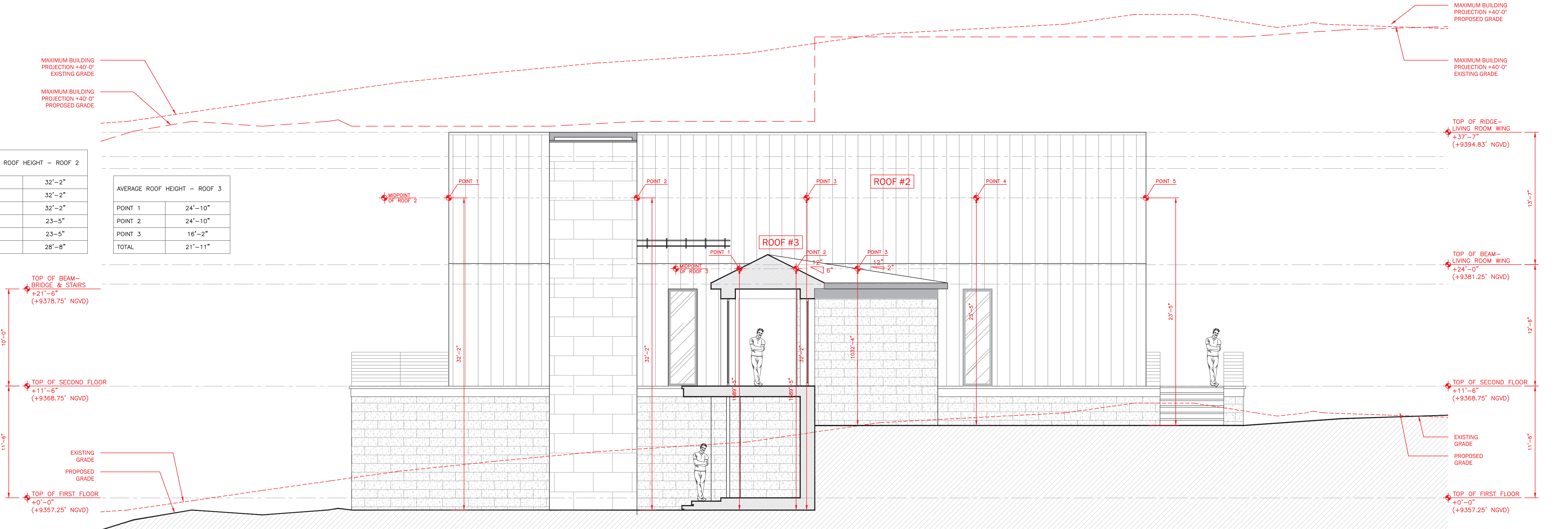


MAIN RESIDENCE
EAST ELEVATION (SIDE)

3/16" = 1'-0"

| AVERAGE ROOF HEIGHT - ROOF 2 | |
|------------------------------|--------|
| POINT 1 | 32'-2" |
| POINT 2 | 32'-2" |
| POINT 3 | 32'-2" |
| POINT 4 | 23'-5" |
| POINT 5 | 23'-5" |
| TOTAL | 28'-8" |

| AVERAGE ROOF HEIGHT - ROOF 3 | |
|------------------------------|---------|
| POINT 1 | 24'-10" |
| POINT 2 | 24'-10" |
| POINT 3 | 16'-2" |
| TOTAL | 21'-11" |



MAIN RESIDENCE
PARTIAL WEST ELEVATION (COURTYARD)

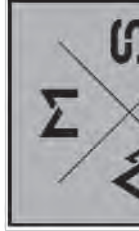
3/16" = 1'-0"



Mauricio Salazar
2021.09.23
17:59:45-04'00"

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ARCHITECT OF RECORD
SALTOARCHITECTURE



NEW SINGLE FAMILY RESIDENCE AT
810A ARIZONA STREET
MOUNTAIN VILLAGE, COLORADO 81455
(LOT 810A, TOWN OF MOUNTAIN VILLAGE)

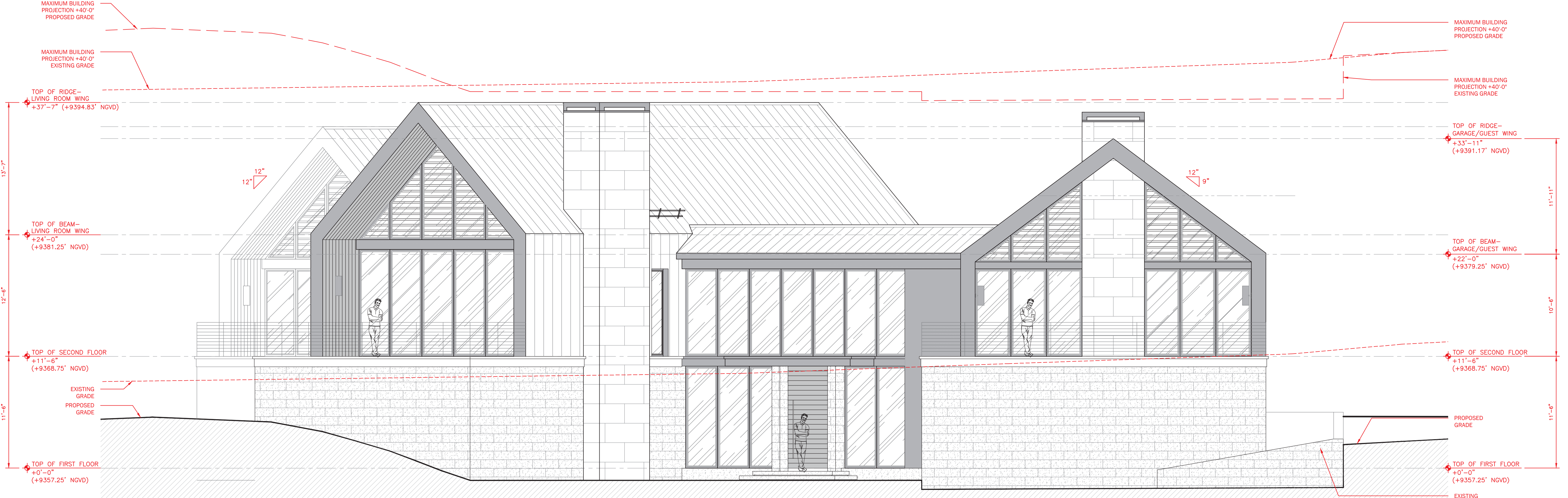
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FINAL SUBMITTAL SET
10.7.2021

ELEVATIONS

REVISION DATE

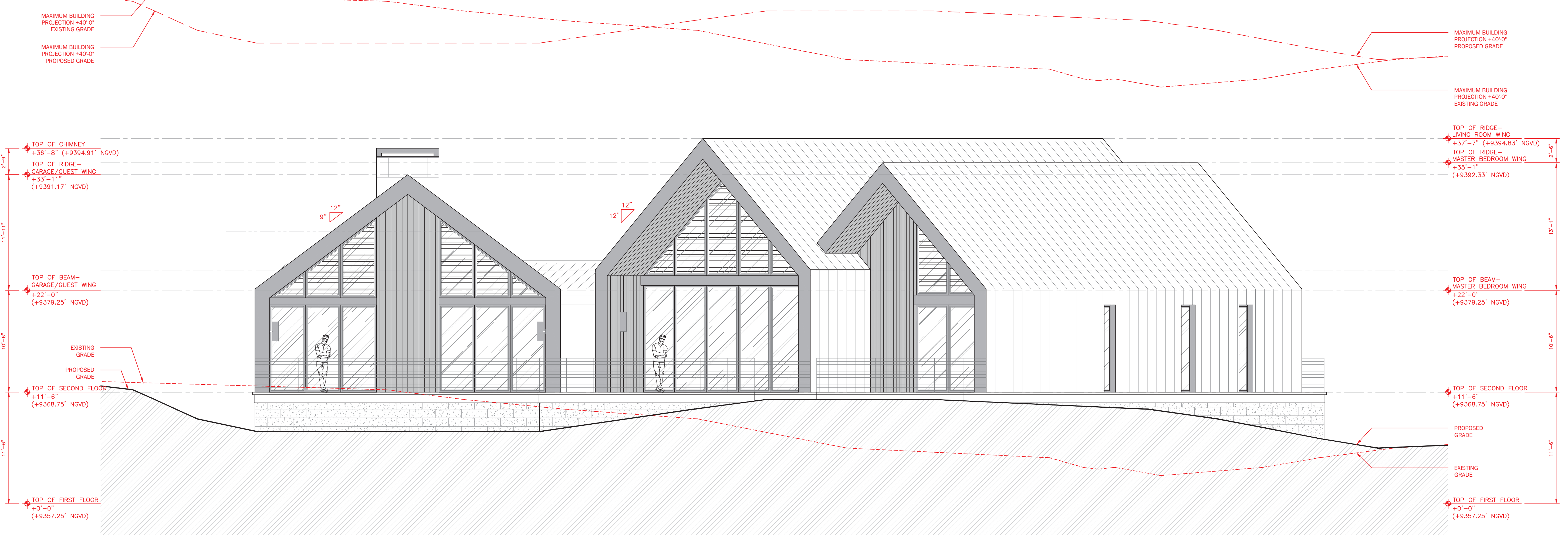
A3.3

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**GARAGE/GUEST WING
NORTHWEST ELEVATION (FRONT)**

3/16" = 1'-0"



**GARAGE/GUEST WING
SOUTHEAST ELEVATION (REAR)**

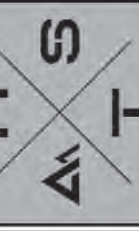
3/16" = 1'-0"



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17:59:50-04'00"

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NEW SINGLE FAMILY RESIDENCE AT
810A ARIZONA STREET
MOUNTAIN VILLAGE, COLORADO 81455
(LOT 850A, TOWN OF MOUNTAIN VILLAGE)

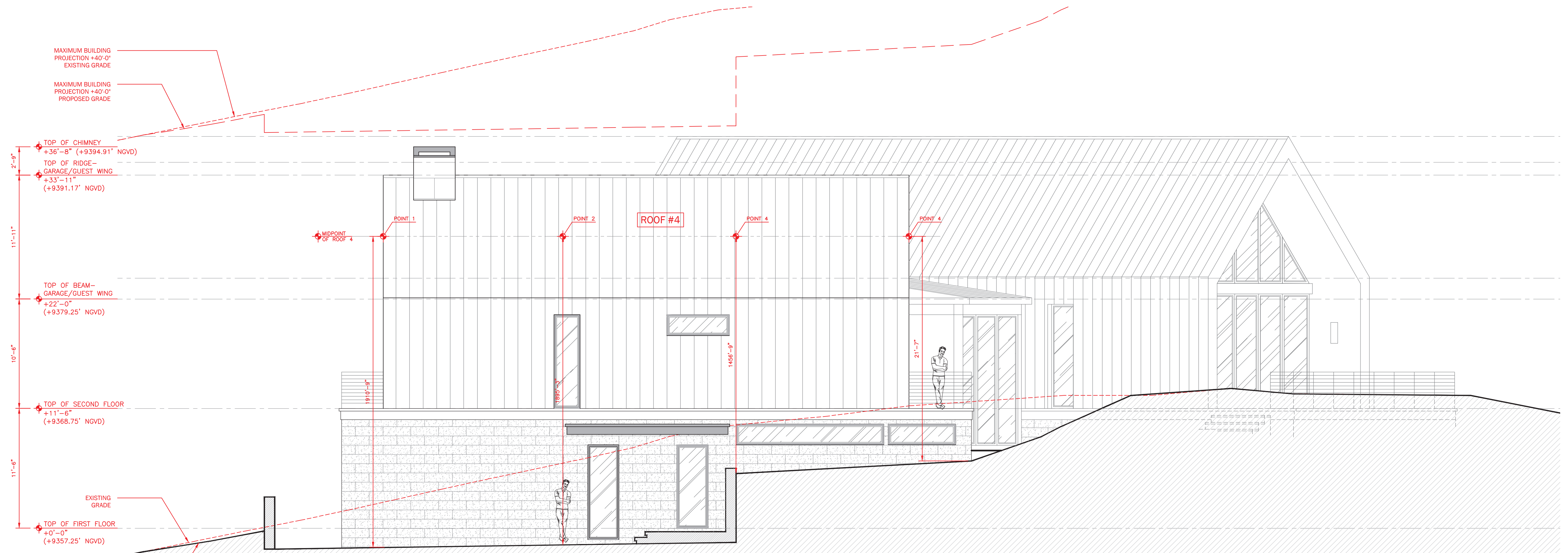
DESIGN REVIEW BOARD
FINAL SUBMITTAL SET
10.7.2021

ELEVATIONS

REVISION DATE

A3.4

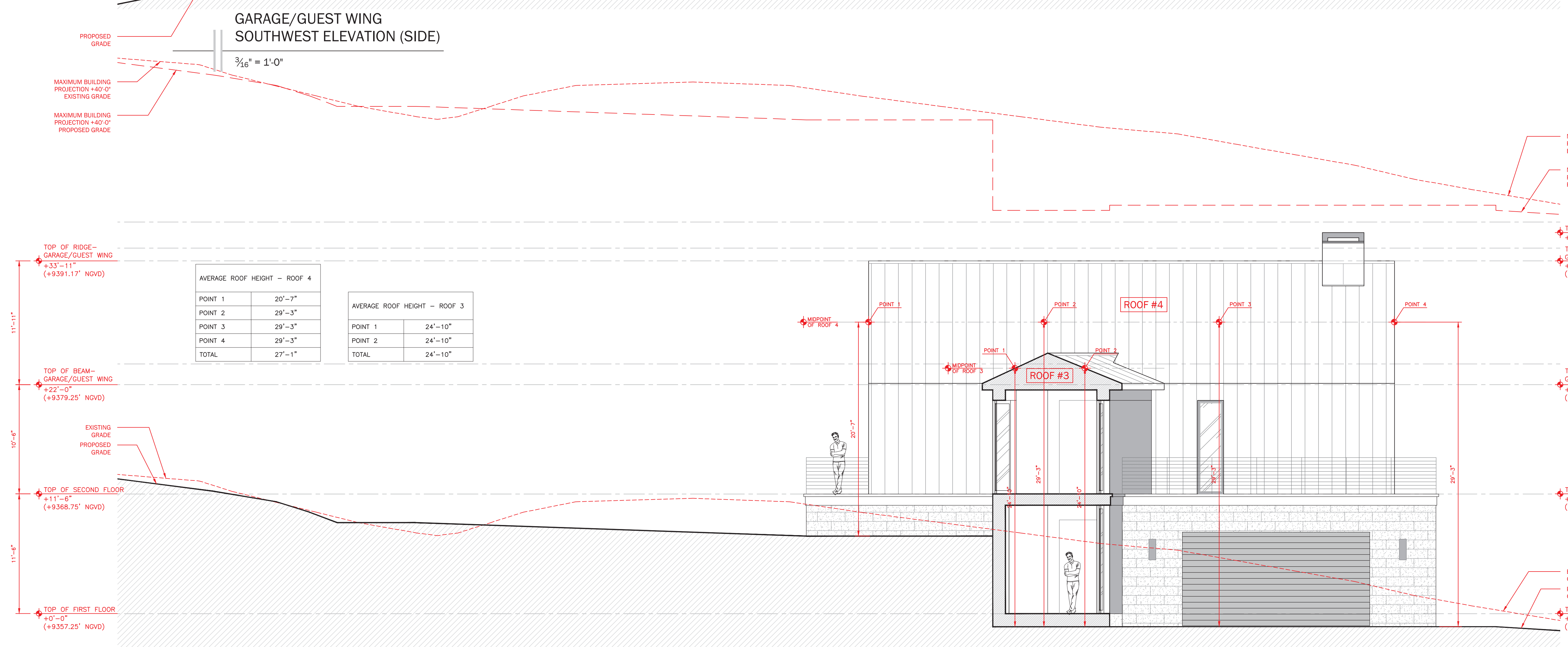
2139MAS



| AVERAGE ROOF HEIGHT - ROOF 4 | |
|------------------------------|---------|
| POINT 1 | 29'-10" |
| POINT 2 | 29'-7" |
| POINT 3 | 22'-9" |
| POINT 4 | 21'-7" |
| TOTAL | 25'-11" |

**GARAGE/GUEST WING
SOUTHWEST ELEVATION (SIDE)**

3/16" = 1'-0"



| AVERAGE ROOF HEIGHT - ROOF 4 | |
|------------------------------|--------|
| POINT 1 | 20'-7" |
| POINT 2 | 29'-3" |
| POINT 3 | 29'-3" |
| POINT 4 | 29'-3" |
| TOTAL | 27'-1" |

| AVERAGE ROOF HEIGHT - ROOF 3 | |
|------------------------------|---------|
| POINT 1 | 24'-10" |
| POINT 2 | 24'-10" |
| TOTAL | 24'-10" |

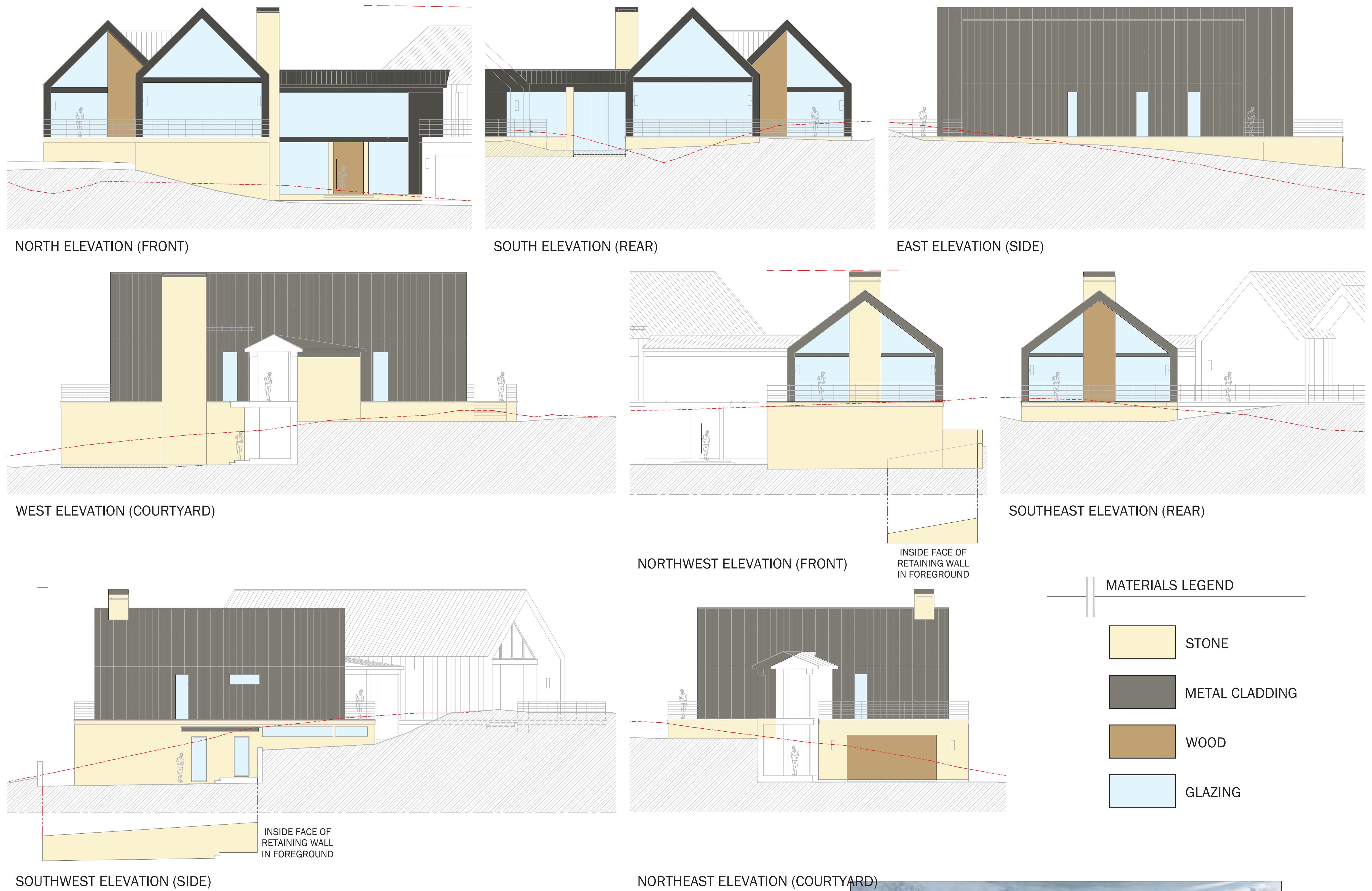
**GARAGE/GUEST WING
PARTIAL NORTHEAST ELEVATION (COURTYARD)**

3/16" = 1'-0"

| MATERIALS SURFACE AREA CALCULATION BY FAÇADE | | | |
|---|----------------|---------------|--|
| Main Residence | | | |
| North Elevation (Front) | | | |
| Stone | 536.7 | 24.9% | |
| Metal Siding | 458.6 | 21.3% | |
| Wood | 169.0 | 7.8% | |
| Glazing | 991.0 | 46.0% | |
| Subtotal | 2155.3 | 100.0% | |
| South Elevation (Rear) | | | |
| Stone | 219.4 | 14.7% | |
| Metal Siding | 359.7 | 24.1% | |
| Wood | 104.0 | 7.0% | |
| Glazing | 809.5 | 54.2% | |
| Subtotal | 1492.6 | 100.0% | |
| East Elevation (Side) | | | |
| Stone | 251.8 | 11.9% | |
| Metal Siding | 1795.7 | 85.1% | |
| Glazing | 63.0 | 3.0% | |
| Subtotal | 2110.5 | 100.0% | |
| West Elevation (Courtyard) | | | |
| Stone | 1007.3 | 41.8% | |
| Metal Siding | 1342.6 | 55.7% | |
| Glazing | 60.0 | 2.5% | |
| Subtotal | 2409.9 | 100.0% | |
| Garage/Guest Wing | | | |
| Northwest Elevation (Front) | | | |
| Stone | 769.0 | 66.4% | |
| Metal Siding | 110.0 | 9.5% | |
| Glazing | 279.3 | 24.1% | |
| Subtotal | 1158.3 | 100.0% | |
| Southeast Elevation (Rear) | | | |
| Stone | 164.5 | 24.3% | |
| Metal Siding | 110.0 | 16.3% | |
| Wood | 122.9 | 18.2% | |
| Glazing | 279.3 | 41.3% | |
| Subtotal | 676.7 | 100.0% | |
| Southwest Elevation (Courtyard) | | | |
| Stone | 790.3 | 39.3% | |
| Metal Siding | 1095.2 | 54.5% | |
| Glazing | 124.2 | 6.2% | |
| Subtotal | 2009.7 | 100.0% | |
| Northeast Elevation (Courtyard) | | | |
| Stone | 328.2 | 22.5% | |
| Metal Siding | 950.2 | 65.0% | |
| Wood | 160.0 | 11.0% | |
| Glazing | 22.5 | 1.5% | |
| Subtotal | 1460.9 | 100.0% | |
| Overall Surface Area | | | |
| Stone | 4067.2 | 30.2% | |
| Metal Siding | 6222.0 | 46.2% | |
| Wood | 555.9 | 4.1% | |
| Glazing | 2628.8 | 19.5% | |
| Subtotal | 13473.9 | 100.0% | |

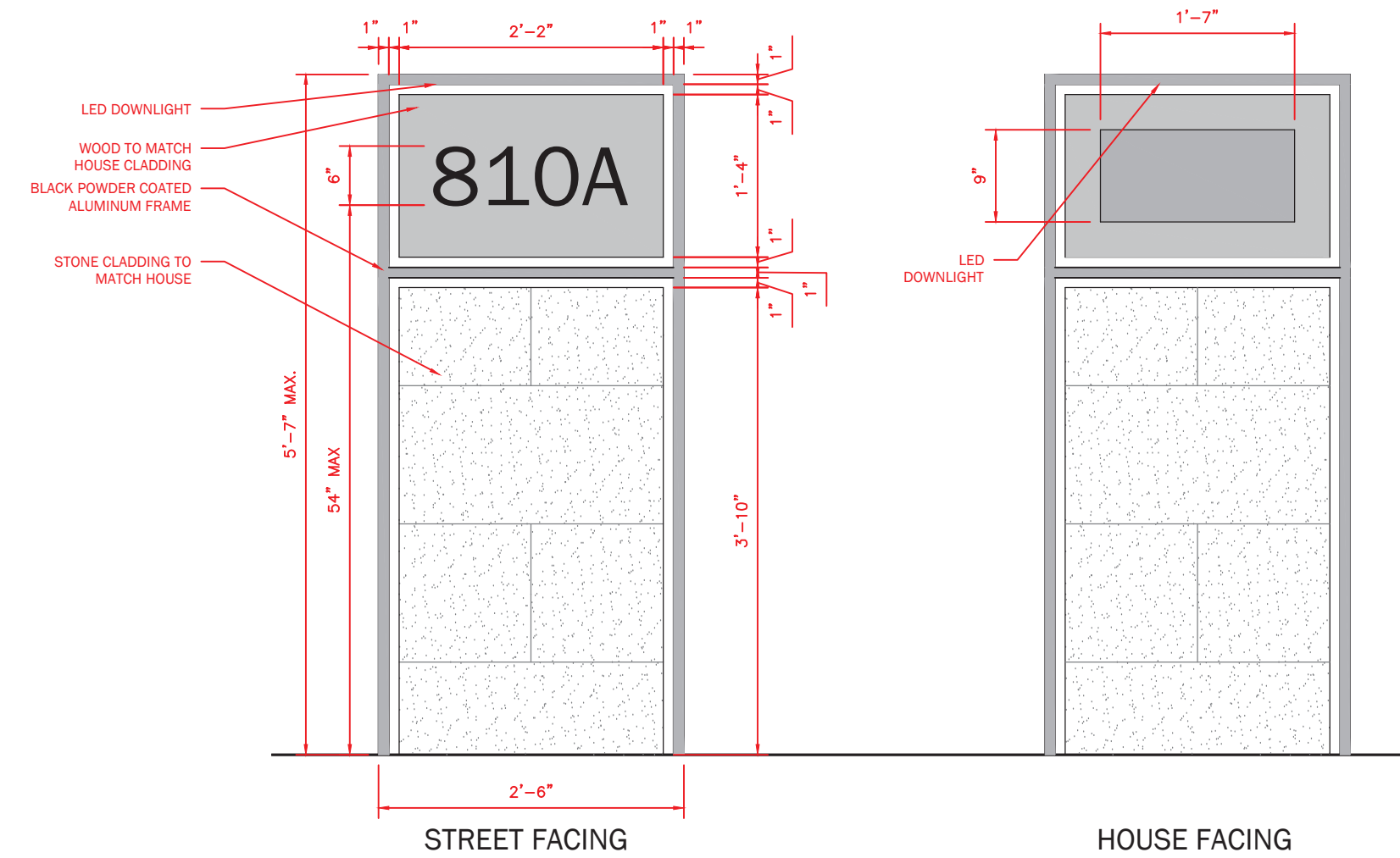
NOTE:
Consistent with town building codes. Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIIC (Wildland Urban Interface Code) approved products.

| AVERAGE ROOF HEIGHTS | |
|----------------------|---------|
| ROOF 1 | 20'-6" |
| ROOF 2 | 28'-8" |
| ROOF 3 (WEST) | 21'-11" |
| ROOF 3 (EAST) | 25'-11" |
| ROOF 4 (SW) | 27'-1" |
| ROOF 4 (NE) | 24'-10" |
| TOTAL | 24'-10" |



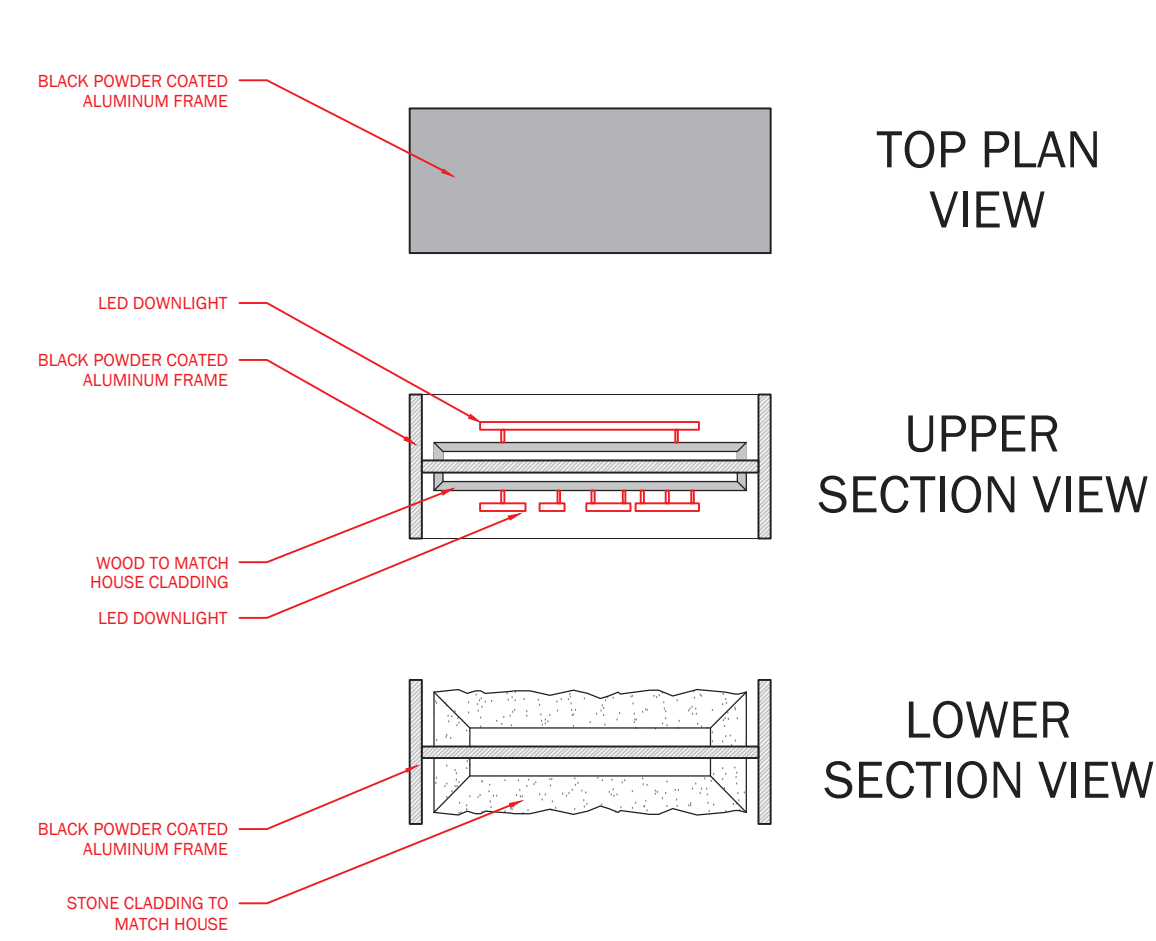
SOUTHWEST ELEVATION (SIDE)

NORTHEAST ELEVATION (COURTYARD)



ADDRESS MONUMENT
ELEVATIONS

3/4" = 1'-0"



ADDRESS MONUMENT
PLAN VIEWS

3/4" = 1'-0"



ADDRESS MONUMENT
3D VIEW

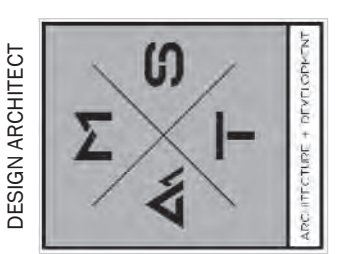
N.T.S.



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NEW SINGLE FAMILY RESIDENCE AT
810A ARIZONA STREET
MOUNTAIN VILLAGE, COLORADO 81435
(LOT 850A, TOWN OF MOUNTAIN VILLAGE)

DESIGN REVIEW BOARD
FINAL SUBMITTAL SET
10.7.2021

ADDRESS
MONUMENT
DETAILS

REVISION DATE

A3.5

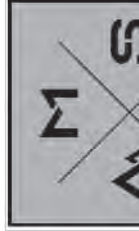
2139MAS



Mauricio Salazar
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18:00:00-04'00'

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NEW SINGLE FAMILY RESIDENCE AT
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MOUNTAIN VILLAGE, COLORADO 81435
(LOT 810A, TOWN OF MOUNTAIN VILLAGE)

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FINAL SUBMITTAL SET
10.7.2021

EXTERIOR
MATERIALS &
RENDERINGS

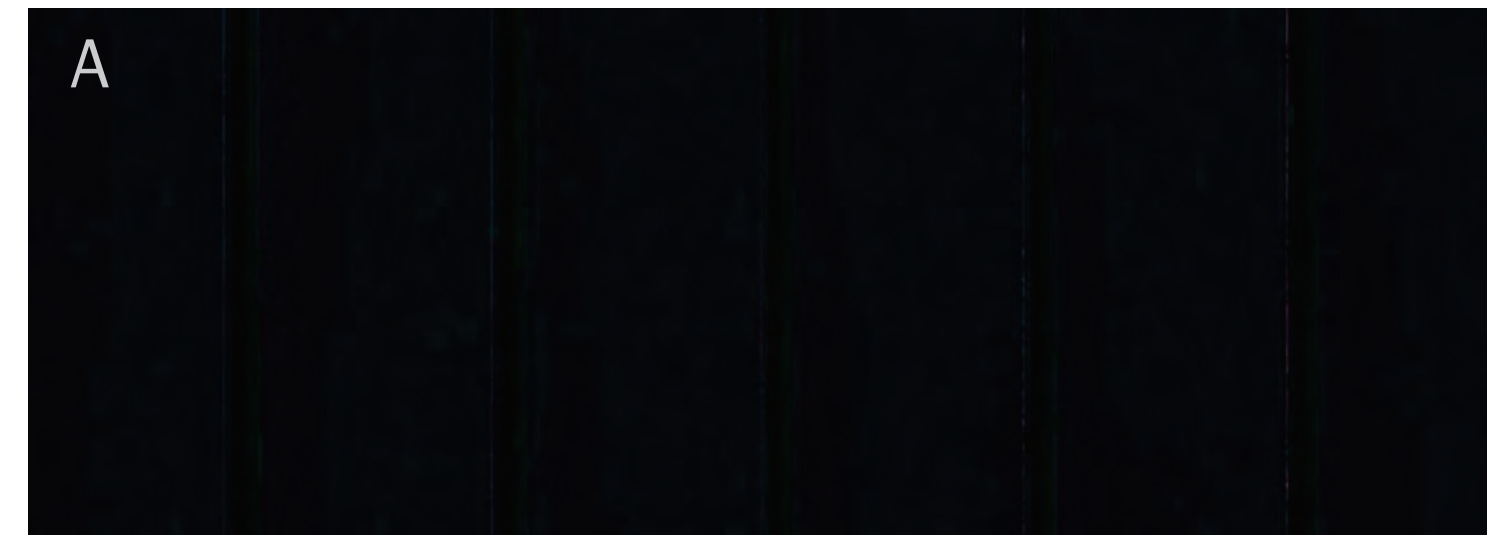
REVISION DATE

A3.6

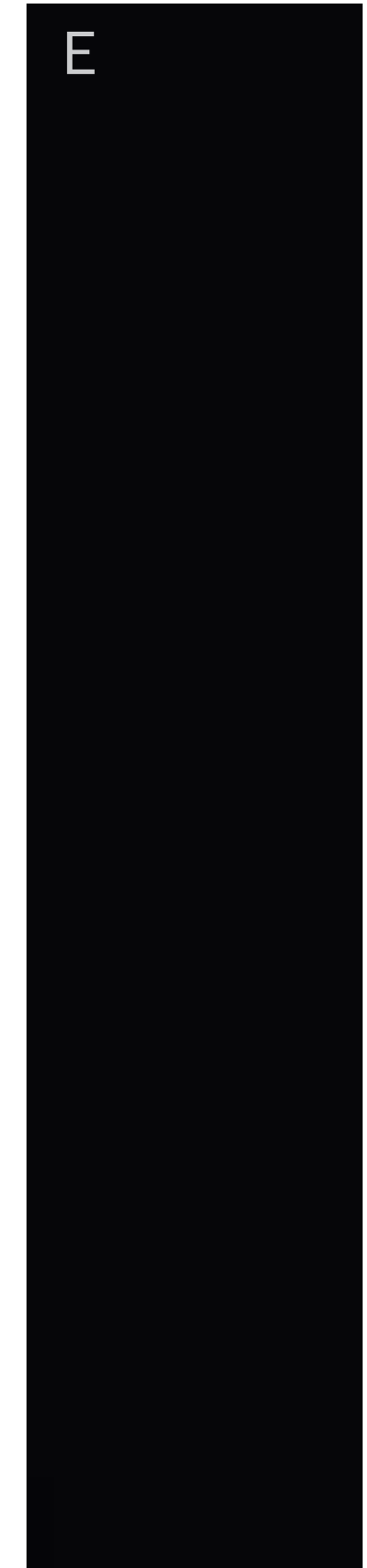
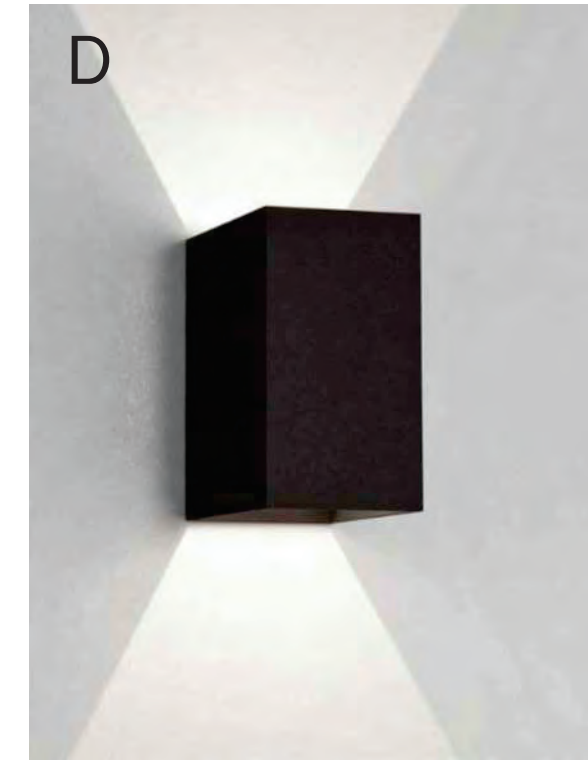
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Conceptual renderings/images only.



- A BLACK STANDING SEAM METAL ROOF & SIDING, WITH CONCEALED SCREWS AND 1.5" TALL RIBS
 - B BROOMED POURED IN PLACE CONCRETE DRIVEWAY
 - C 1x8 STAINED WIRE BRUSHED WESTERN RED CEDAR CLADDING WITH "FINELINE" T&G
 - D BLACK WALL SCENCE
 - E JELD-WEN BLACK ALUMINUM CLAD WINDOWS & BLACK ALUMINUM CHIMNEY CAP
 - F MILAGRO SPLIT-FACE STACKED RANDOM LENGTH EXTERIOR STONE CLADDING WITH STAGGERED JOINTS
 - G BLACK HORIZONTAL PICKET STEEL RAILINGS
 - H SPANISH WHITE BREEZE HONED LIMESTONE 24x48
- (Conceptual renderings/images only.)



Conceptual renderings/images only.



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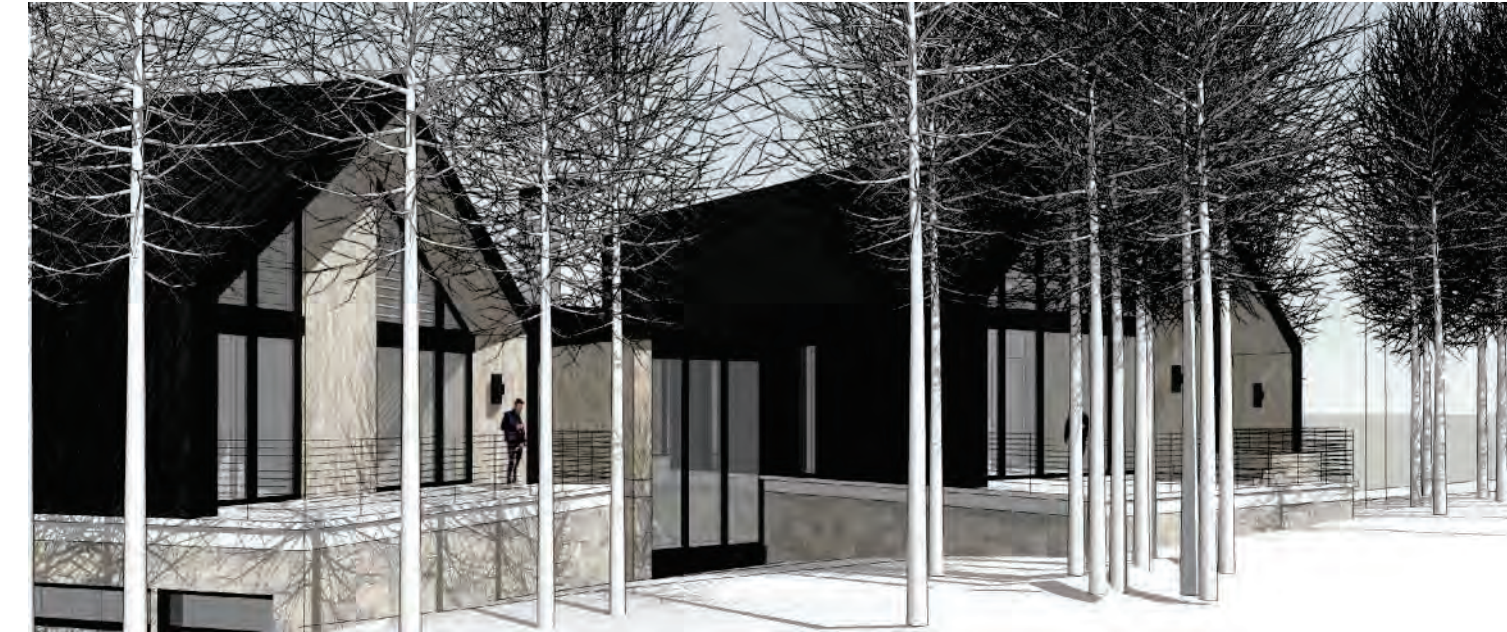
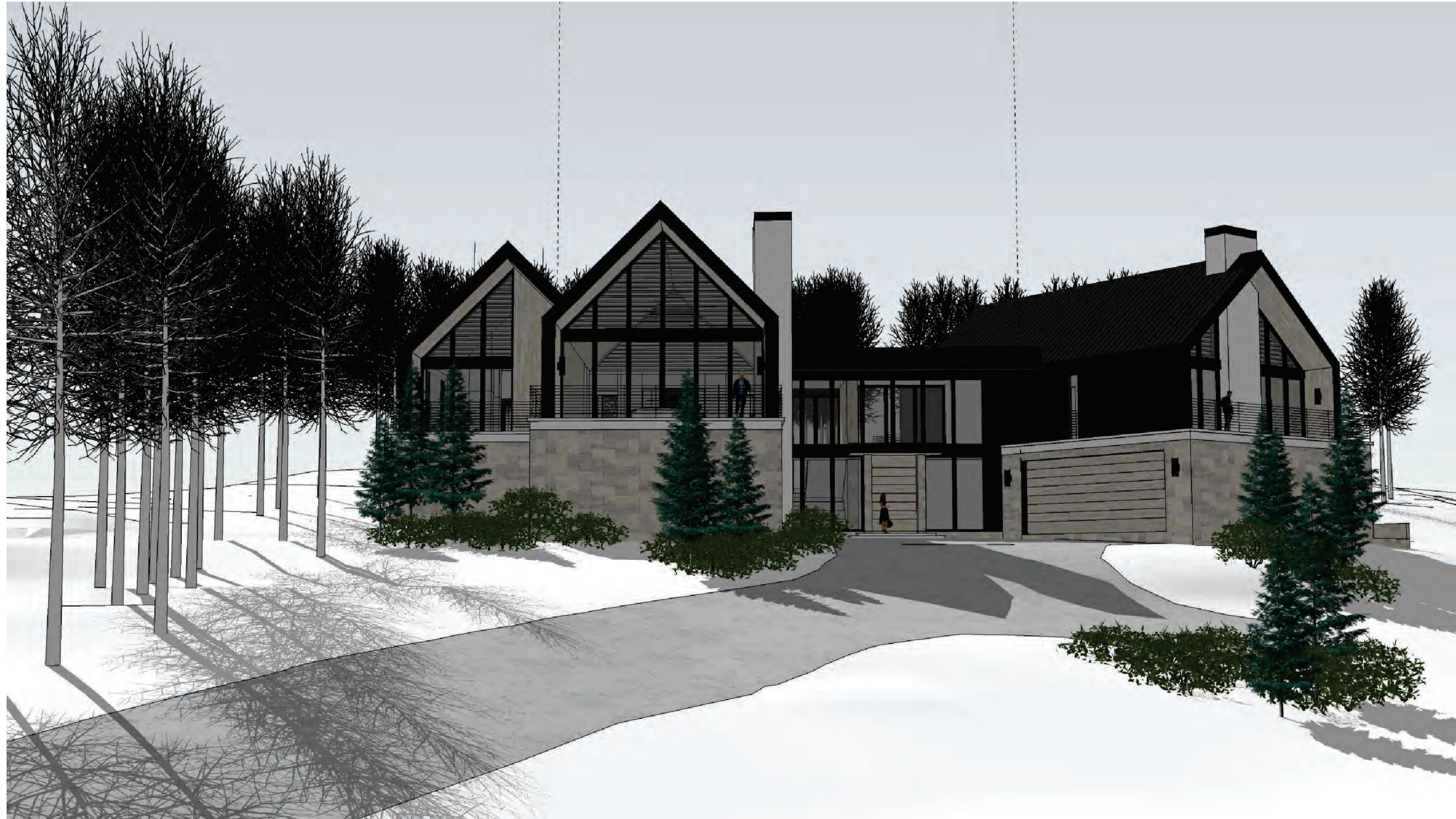
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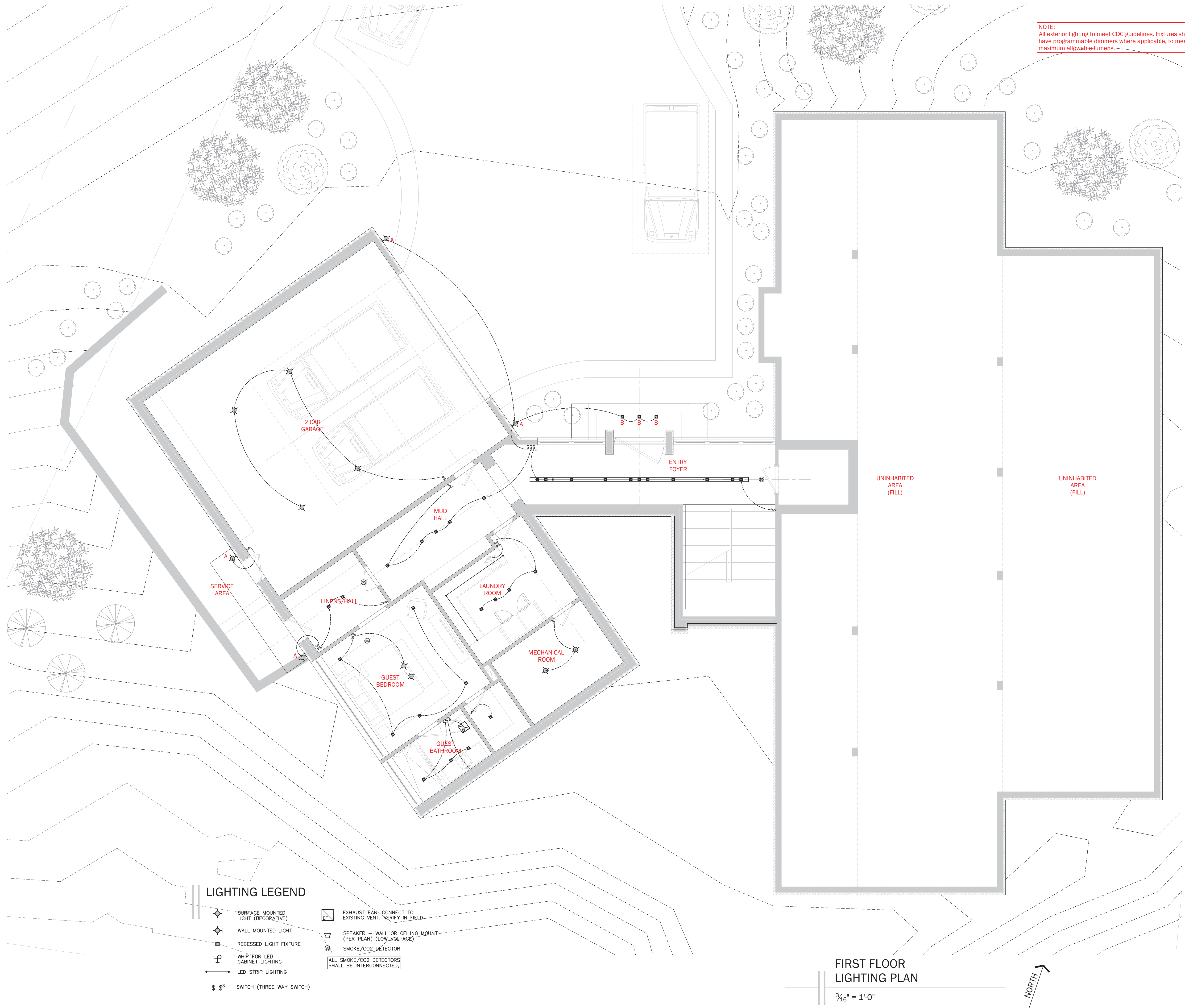
3D MODEL VIEWS

REVISION DATE

A3.7

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LIGHTING LEGEND

- SURFACE MOUNTED LIGHT (DECORATIVE)
- WALL MOUNTED LIGHT
- RECESSED LIGHT FIXTURE
- WHIP FOR LED CABINET LIGHTING
- LED STRIP LIGHTING
- SWITCH (THREE WAY SWITCH)
- EXHAUST FAN, CONNECT TO EXISTING VENT. VERIFY IN FIELD.
- SPEAKER - WALL OR CEILING MOUNT (PER PLAN) (LOW VOLTAGE)
- SMOKE/CO2 DETECTOR
- ALL SMOKE/CO2 DETECTORS SHALL BE INTERCONNECTED.**

FIRST FLOOR LIGHTING PLAN

3/16" = 1'-0"



EXTERIOR LIGHT FIXTURE SPECS

TEGEL 18 WALL SCENE | TEEM LIGHTING

Generalized system design characteristics. Tegel outdoor LED wall scones. Providing well-controlled up and down lighting, or down light only. These wall scones provide warm and ambient illumination. The upper of three faces allows recessing the scones into the wall.

High quality LED-based LEDs for consistent long life performance and color. **TYPE A (Downlight only)**

Ordering information against the elements:

- Material and finish: Matte Black
- Lighting: Programmable dimmer
- LED type: High quality LED-based LEDs
- LED color: Warm White (3000K)
- LED wattage: 10W
- LED beam angle: 120°
- LED beam diameter: 2.5"
- LED beam length: 1.5"
- LED beam width: 1.5"
- LED beam height: 1.5"
- LED beam depth: 1.5"
- LED beam area: 1.5"
- LED beam volume: 1.5"
- LED beam weight: 1.5"
- LED beam length: 1.5"
- LED beam width: 1.5"
- LED beam height: 1.5"
- LED beam depth: 1.5"
- LED beam area: 1.5"
- LED beam volume: 1.5"
- LED beam weight: 1.5"

ORDERING INFORMATION

TEGEL 18 WALL SCENE | TYPE A (Downlight only)

TEGEL 18 WALL SCENE | TEEM LIGHTING

TYPE A (Downlight only)

PHOTOMETRIC

TEGEL 18 DOWN

TEGEL 18 DOWN

PROJECT INFO

TEGEL 18 WALL SCENE | TYPE A (Downlight only)

AETHER - Open reflector | WAC LIGHTING

R3A01, R3A01T | Responsible Lighting

TYPE B (trim)

PROJECT DESCRIPTION

FEATURES

- Designed for high ceilings
- 120V AC input
- 120V AC output
- 120V AC input
- 120V AC output

APPLICATIONS

TECHNICAL SPECIFICATIONS

| Model | Power (W) | Beam Angle (°) | Beam Diameter (ft) | Beam Length (ft) | Beam Area (sq ft) | Beam Volume (cu ft) | Beam Weight (lb) |
|--------|-----------|----------------|--------------------|------------------|-------------------|---------------------|------------------|
| R3A01 | 10 | 120 | 2.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| R3A01T | 10 | 120 | 2.5 | 1.5 | 1.5 | 1.5 | 1.5 |

REAL DT

WAC LIGHTING

AETHER - Housing | WAC LIGHTING

HR-3LED-H17A | Responsible Lighting

TYPE B (housing)

PROJECT DESCRIPTION

FEATURES

- Designed for high ceilings
- 120V AC input
- 120V AC output
- 120V AC input
- 120V AC output

APPLICATIONS

TECHNICAL SPECIFICATIONS

| Model | Power (W) | Beam Angle (°) | Beam Diameter (ft) | Beam Length (ft) | Beam Area (sq ft) | Beam Volume (cu ft) | Beam Weight (lb) |
|--------------|-----------|----------------|--------------------|------------------|-------------------|---------------------|------------------|
| HR-3LED-H17A | 10 | 120 | 2.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| HR-3LED-H17 | 10 | 120 | 2.5 | 1.5 | 1.5 | 1.5 | 1.5 |

WAC LIGHTING



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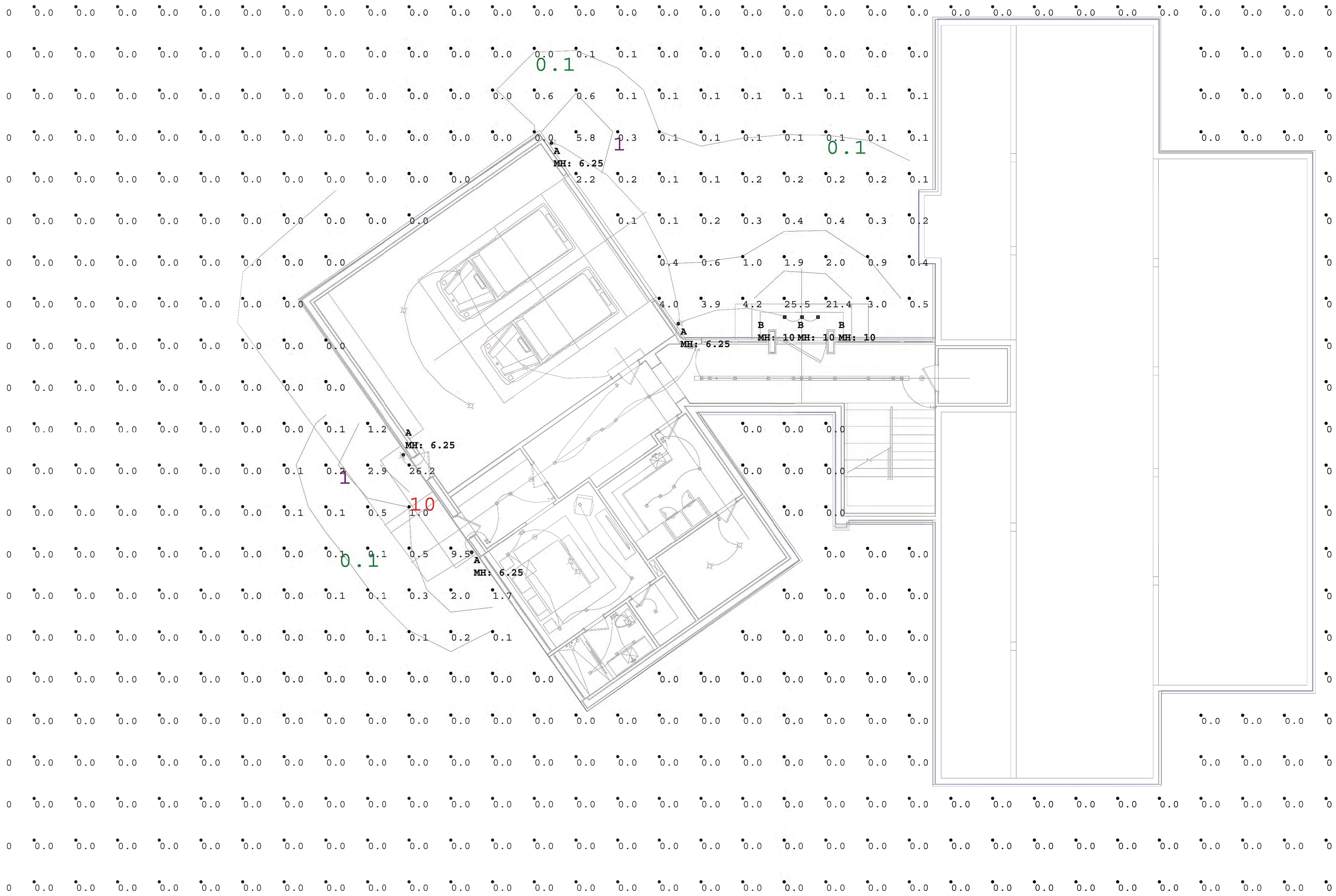


DESIGN REVIEW BOARD
FINAL SUBMITTAL SET
10.7.2021

FIRST FLOOR LIGHTING PLAN

| REVISION | DATE |
|----------|------|
| | |

A4.1



- Notes:
1. Surface reflectances: Vertical/Horizontal - 50/20.
 2. Calculation values are at height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH."
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

| Luminaire Schedule | | | | Total Lumen Output | Total Input Watts | Light Lost Factor | User Defined Factor |
|--------------------|---|---|--------------------------------------|--------------------|-------------------|-------------------|---------------------|
| ○ | A | 4 | TECH LIGHTING 7000WTEG 830 18NCH N C | 1171 | 15.1 | 0.900 | 1.000 |
| □ | B | 3 | WAC R3ASDT-N827-WT | 1142 | 15.3737 | 0.900 | 1.000 |

| Calculation Summary | | | | | | | |
|---------------------------|--------------------|-------|------|------|-----|---------|--|
| Calculation Grid Location | Calc. Height (Ft.) | Units | Avg | Max | Min | Avg/Min | |
| EXTERIOR_Floor | 0 | Fc | 0.14 | 26.2 | 0.0 | N.A. | |

PHOTOMETRICS
FIRST FLOOR - EXTERIOR

3/16" = 1'-0"



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NEW SINGLE FAMILY RESIDENCE AT
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(LOT 810A, TOWN OF MOUNTAIN VILLAGE)

DESIGN REVIEW BOARD
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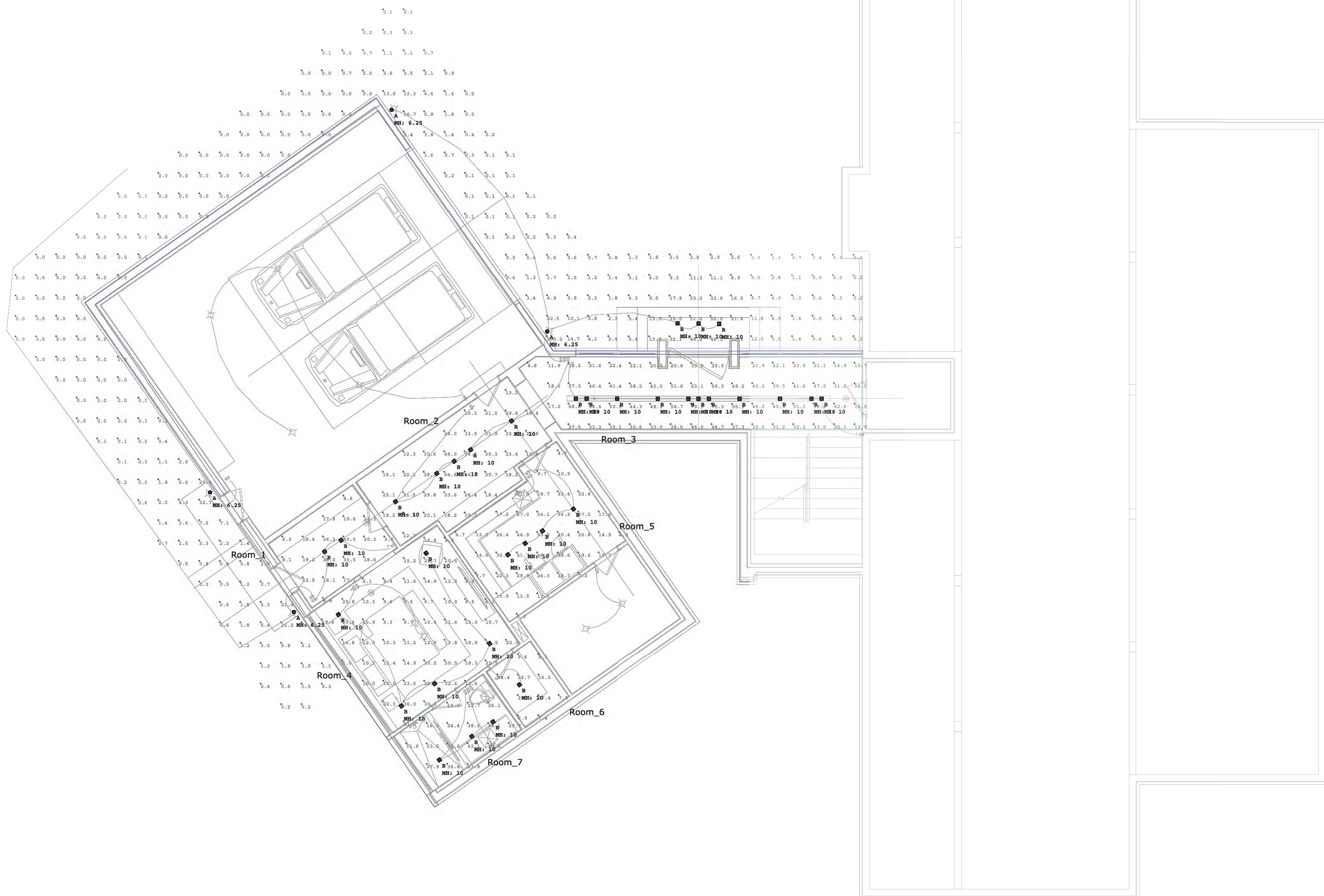
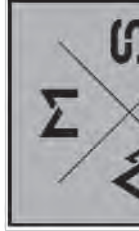
PHOTOMETRICS
FIRST FLOOR
EXTERIOR

| REVISION | DATE |
|----------|------|
| | |

A4.2

2139MAS

Mauricio Salazar
2021.09.23
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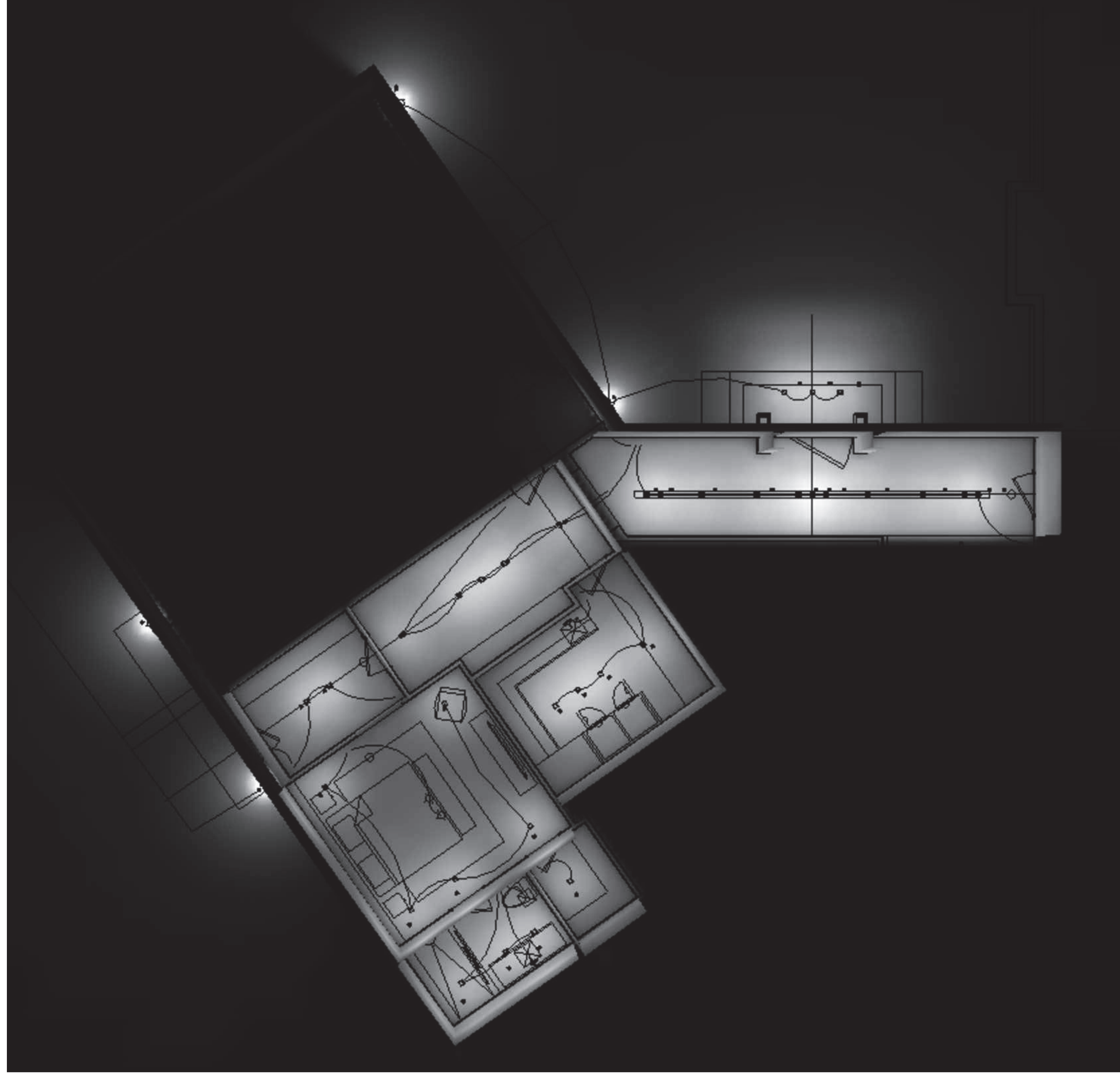


| Luminaire Schedule | | | | Total Lumen Output | Total Input Watts | Light Lost Factor | User Defined Factor |
|--------------------|------|-----|--------------------------------------|--------------------|-------------------|-------------------|---------------------|
| Symbol | Type | Qty | Manufacturer / Catalog Number | | | | |
| ○ | A | 4 | TECH LIGHTING 7000WTEG 830 18NCH N C | 1171 | 15.1 | 0.900 | 1.000 |
| □ | B | 34 | WAC R3ASDT-N827-WT | 1142 | 15.3737 | 0.900 | 1.000 |

| Calculation Summary | | | | | | |
|---------------------------|--------------------|-------|-------|-------|------|---------|
| Calculation Grid Location | Calc. Height (Ft.) | Units | Avg | Max | Min | Avg/Min |
| EXTERIOR_Floor | 0 | Fc | 4.24 | 205.2 | 0.0 | N.A. |
| Room_1_Floor | 0 | Fc | 19.31 | 40.5 | 6.5 | 2.97 |
| Room_2_Floor | 0 | Fc | 27.07 | 54.8 | 12.3 | 2.20 |
| Room_3_Floor | 0 | Fc | 36.00 | 79.5 | 4.8 | 7.50 |
| Room_4_Floor | 0 | Fc | 16.18 | 36.0 | 5.0 | 3.24 |
| Room_5_Floor | 0 | Fc | 22.10 | 53.0 | 4.7 | 4.70 |
| Room_6_Floor | 0 | Fc | 13.83 | 26.7 | 5.1 | 2.71 |
| Room_7_Floor | 0 | Fc | 28.49 | 44.1 | 11.6 | 2.46 |

- Notes:
1. Surface reflectances: Ceiling/Wall/Floor - 80/50/20.
 2. Calculation values are at height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH."
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.





LIGHTING PROJECTION
FIRST FLOOR

3/16" = 1'-0"



| REVISION | DATE |
|----------|------|
| | |

LIGHTING
PROJECTION
FIRST FLOOR

DESIGN REVIEW BOARD
FINAL SUBMITTAL SET
10.7.2021

NEW SINGLE FAMILY RESIDENCE AT
810A ARIZONA STREET
MOUNTAIN VILLAGE, COLORADO 81435
(LOT 810A, TOWN OF MOUNTAIN VILLAGE)



DESIGN ARCHITECT
MSA ARCHITECTS - ARCHITECTS

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SALTOARCHITECTURE

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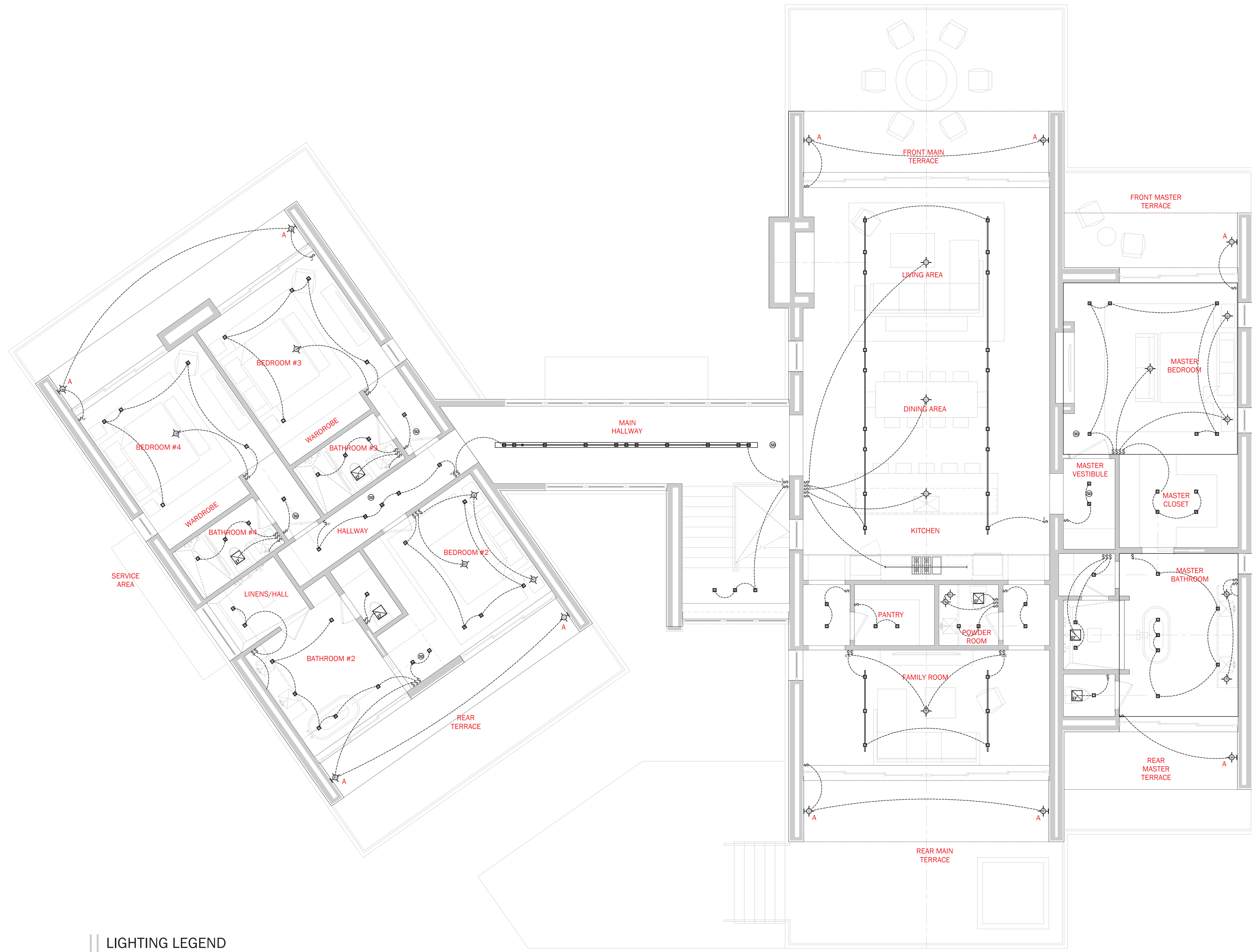


Mauricio Salazar
2021.09.23
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A4.4

2139MAS

NOTE:
All exterior lighting to meet CDC guidelines. Fixtures shall have programmable dimmers where applicable, to meet maximum allowable lumens.

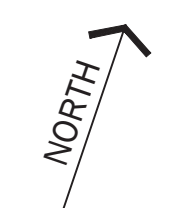


LIGHTING LEGEND

- SURFACE MOUNTED LIGHT (DECORATIVE)
- WALL MOUNTED LIGHT
- RECESSED LIGHT FIXTURE
- WHIP FOR LED CABINET LIGHTING
- LED STRIP LIGHTING
- SWITCH (THREE WAY SWITCH)
- EXHAUST FAN, CONNECT TO EXISTING VENT. VERIFY IN FIELD.
- SPEAKER - WALL OR CEILING MOUNT (PER PLAN) (LOW VOLTAGE)
- SMOKE/CO2 DETECTOR
- ALL SMOKE/CO2 DETECTORS SHALL BE INTERCONNECTED.

SECOND FLOOR LIGHTING PLAN

3/16" = 1'-0"



TEGEL 18 WALL SCONCE TEEM LIGHTING

Unobtrusive modern design characteristics. Tegel outdoor LED wall sconces. Providing well-controlled up and down lighting, or down light only. These wall sconces provide ambient and accent illumination. The appeal of these fixtures comes from their design profile.

High quality LED-rated LEDs for consistent long life performance and color. **TYPE A (Downlight only)**

Ordering protection against the elements:

- Impact resistant, UV stabilized frosted acrylic lensing
- 100% waterproof and frost resistant, with IP and NEMA rated options

SPECIFICATIONS

| | |
|------------------------|----------------------|
| Model | TEGEL 18 |
| Material | Aluminum |
| Finish | Black, White, Bronze |
| Light Source | LED |
| Color Temperature | 3000K, 4000K, 5000K |
| Beam Spread | 15° |
| Mounting | Wall |
| Dimensions (H x W x D) | 6.5" x 3.5" x 3.5" |
| Weight | 0.8 lbs |

ORDERING INFORMATION

TEEM LIGHTING

TEGEL 18 WALL SCONCE TEEM LIGHTING

TYPE A (Downlight only)

PHOTOMETRIC

| TEGEL 18 DOWN | | TEGEL 18 DOWN | |
|-------------------|-------|-------------------|-------|
| Beam Spread | 15° | Beam Spread | 15° |
| Light Output (lm) | 100 | Light Output (lm) | 100 |
| Color Temp | 3000K | Color Temp | 3000K |
| Beam Angle | 15° | Beam Angle | 15° |
| Beam Diameter | 1.5" | Beam Diameter | 1.5" |

PROJECT INFO

TEEM LIGHTING

AETHER - Open reflector WAC LIGHTING

R3AR01, R3AS01

Fixture Type: **TYPE B (trim)**

PROJECT DESCRIPTION

FEATURES

- Designed for high quality lighting
- 100% waterproof and frost resistant
- 100% LED rated LEDs
- 100% impact resistant
- 100% UV resistant
- 100% impact resistant

APPLICATIONS

TECHNICAL SPECIFICATIONS

| Model | Material | Finish | Light Source | Color Temp | Beam Spread | Mounting |
|--------|----------|--------|--------------|------------|-------------|----------|
| R3AR01 | Aluminum | Black | LED | 3000K | 15° | Wall |
| R3AS01 | Aluminum | White | LED | 3000K | 15° | Wall |

WAC LIGHTING

AETHER - Housing WAC LIGHTING

HR-3LED-H17A

Model: HR-3LED-H17A

TYPE B (housing)

HR-3LED-H17

Model: HR-3LED-H17

WAC LIGHTING



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SALTOARCHITECTURE

ARCHITECT OF RECORD

DESIGN ARCHITECT

810A ARIZONA STREET
MOUNTAIN VILLAGE, COLORADO 81435
(LOT 810A, TOWN OF MOUNTAIN VILLAGE)



NEW SINGLE FAMILY RESIDENCE AT
810A ARIZONA STREET
MOUNTAIN VILLAGE, COLORADO 81435
(LOT 810A, TOWN OF MOUNTAIN VILLAGE)

DESIGN REVIEW BOARD
FINAL SUBMITTAL SET
10.7.2021

SECOND FLOOR
LIGHTING PLAN

REVISION DATE

A4.5



Mauricio Salazar
2021.09.23
18:00:36-04'00"

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NEW SINGLE FAMILY RESIDENCE AT
810A ARIZONA STREET
MOUNTAIN VILLAGE, COLORADO 81435
(LOT 810A, TOWN OF MOUNTAIN VILLAGE)

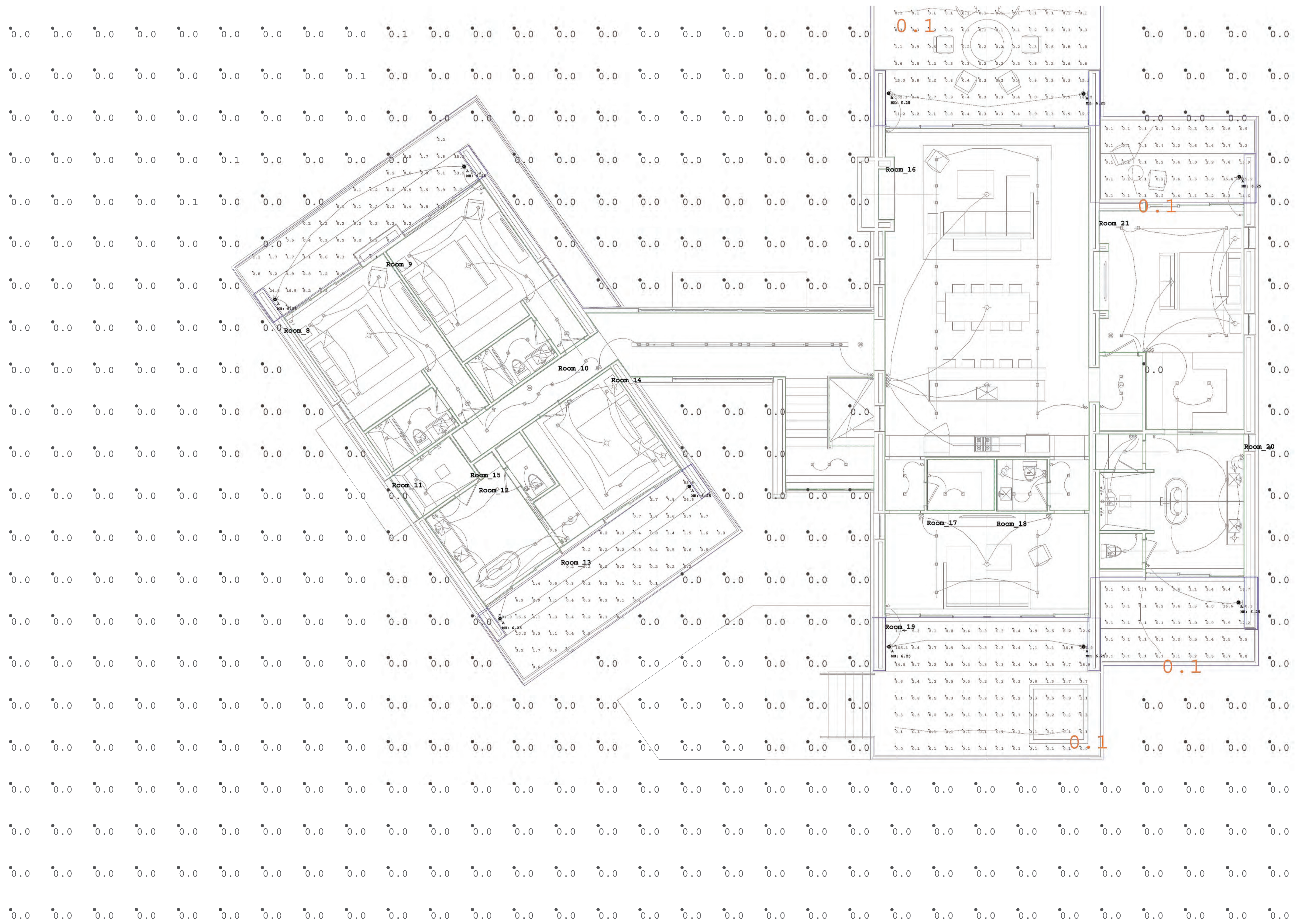
DESIGN REVIEW BOARD
FINAL SUBMITTAL SET
10.7.2021

PHOTOMETRICS
SECOND FLOOR
EXTERIOR

| REVISION | DATE |
|----------|------|
| | |

A4.6

2139MAS

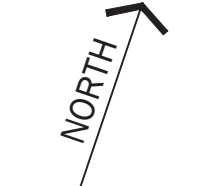


- Notes:
1. Surface reflectances: Ceiling/Wall/Floor - 80/50/20.
 2. Calculation values are at height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH."
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

| Luminaire Schedule | | | | Total Lumen Output | Total Input Watts | Light Lost Factor | User Defined Factor |
|--------------------|------|-----|-------------------------------------|--------------------|-------------------|-------------------|---------------------|
| Symbol | Type | Qty | Manufacturer / Catalog Number | 1171 | 15.1 | 0.900 | 1.000 |
| ○ | A | 10 | TECH LIGHTING 700WTEG 830 18NCH N C | | | | |

| Calculation Summary | | | | | | | |
|---------------------------|--------------------|-------|------|-------|-----|---------|--|
| Calculation Grid Location | Calc. Height (Ft.) | Units | Avg | Max | Min | Avg/Min | |
| EXTERIOR_1 | 0 | Fc | 4.29 | 63.4 | 0.1 | 42.90 | |
| EXTERIOR_2 | 0 | Fc | 5.68 | 197.9 | 0.1 | 56.80 | |
| EXTERIOR_3 | 0 | Fc | 4.79 | 204.9 | 0.0 | N.A. | |
| EXTERIOR_4 | 0 | Fc | 8.21 | 280.3 | 0.1 | 82.10 | |
| EXTERIOR_5 | 0 | Fc | 8.97 | 315.9 | 0.1 | 89.70 | |
| EXTERIOR_6 | 0 | Fc | 4.53 | 185.2 | 0.0 | N.A. | |
| LEVEL_1_Grade | -10 | Fc | 0.00 | 0.1 | 0.0 | N.A. | |

PHOTOMETRICS
SECOND FLOOR - EXTERIOR
3/16" = 1'-0"

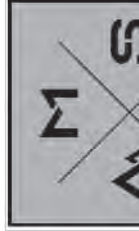




Mauricio Salazar
2021.09.23
18:00:41-04'00"

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ARCHITECT OF RECORD
SALTOARCHITECTURE



NEW SINGLE FAMILY RESIDENCE AT
810A ARIZONA STREET
MOUNTAIN VILLAGE, COLORADO 81435
(LOT 810A, TOWN OF MOUNTAIN VILLAGE)

DESIGN REVIEW BOARD
FINAL SUBMITTAL SET
10.7.2021

PHOTOMETRICS
SECOND FLOOR
INTERIOR

REVISION DATE

A4.7

2139MAS



| Luminaire Schedule | | | | Total Lumen Output | Total Input Watts | Light Lost Factor | User Defined Factor |
|--------------------|------|-----|--------------------------------------|--------------------|-------------------|-------------------|---------------------|
| Symbol | Type | Qty | Manufacturer / Catalog Number | | | | |
| ○ | A | 10 | TECH LIGHTING 700OWTEG 830 18NCH N C | 1171 | 15.1 | 0.900 | 1.000 |
| □ | B | 108 | WAC R3ASDT-N827-WT | 1142 | 15.3737 | 0.900 | 1.000 |

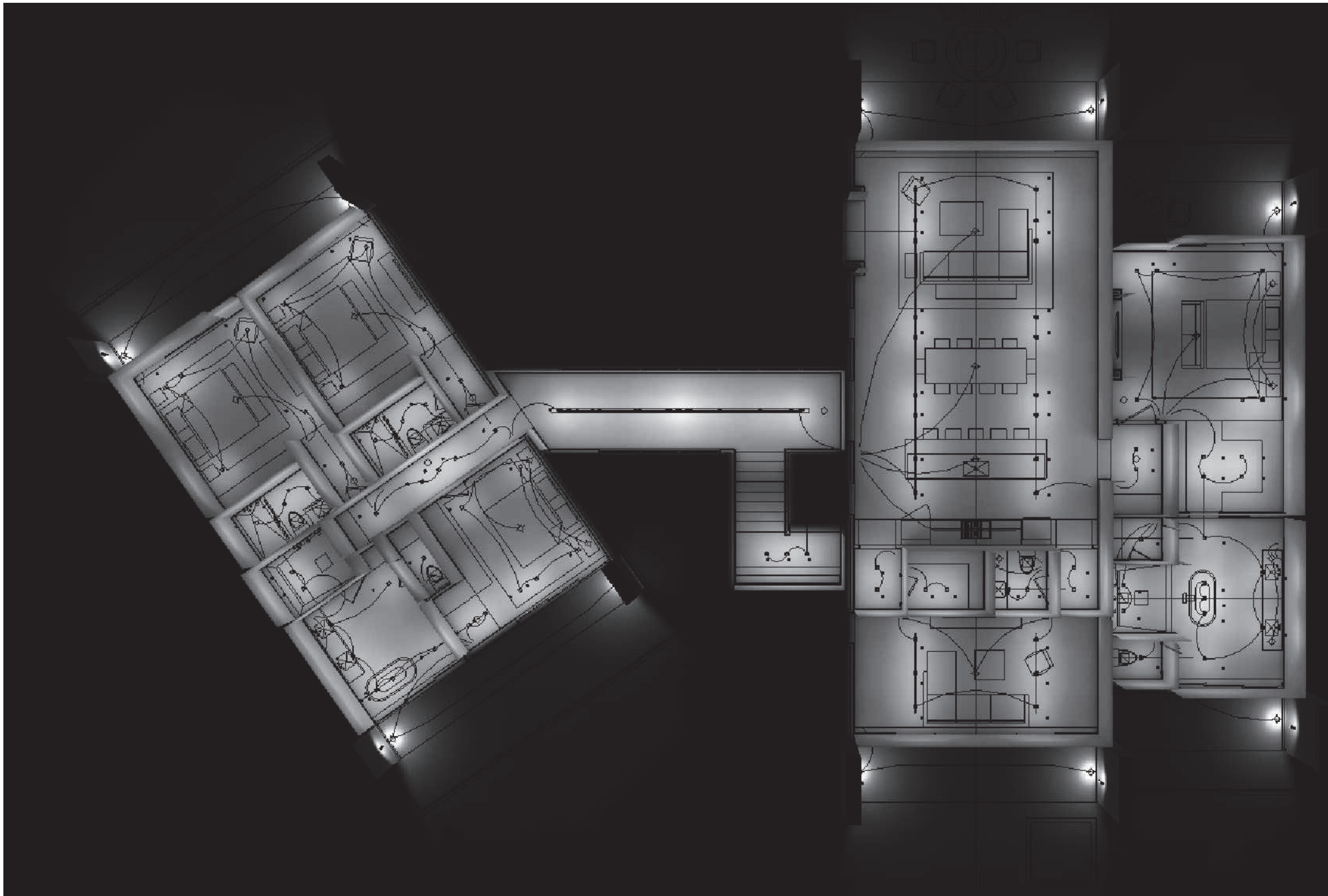
| Calculation Summary | | | | | | |
|---------------------------|--------------------|-------|-------|-------|------|---------|
| Calculation Grid Location | Calc. Height (Ft.) | Units | Avg | Max | Min | Avg/Min |
| EXTERIOR_1 | 0 | Fc | 7.92 | 70.4 | 0.6 | 13.20 |
| EXTERIOR_2 | 0 | Fc | 9.98 | 204.6 | 0.6 | 16.63 |
| EXTERIOR_3 | 0 | Fc | 5.58 | 204.6 | 0.1 | 55.80 |
| EXTERIOR_4 | 0 | Fc | 9.88 | 280.1 | 0.3 | 32.93 |
| EXTERIOR_5 | 0 | Fc | 11.11 | 315.7 | 0.4 | 27.78 |
| EXTERIOR_6 | 0 | Fc | 5.00 | 184.8 | 0.1 | 50.00 |
| Room_10_Floor | 0 | Fc | 29.74 | 46.3 | 11.9 | 2.50 |
| Room_11_Floor | 0 | Fc | 29.58 | 45.9 | 10.6 | 2.79 |
| Room_12_Floor | 0 | Fc | 21.98 | 43.7 | 5.6 | 3.93 |
| Room_13_Floor | 0 | Fc | 28.64 | 53.9 | 8.1 | 3.54 |
| Room_14_Floor | 0 | Fc | 25.12 | 53.9 | 8.7 | 2.89 |
| Room_15_Floor | 0 | Fc | 33.48 | 78.2 | 5.6 | 5.98 |
| Room_16_Floor | 0 | Fc | 20.39 | 50.7 | 2.5 | 8.16 |
| Room_17_Floor | 0 | Fc | 24.85 | 44.0 | 11.2 | 2.22 |
| Room_18_Floor | 0 | Fc | 29.96 | 46.0 | 16.9 | 1.77 |
| Room_19_Floor | 0 | Fc | 19.82 | 38.4 | 8.1 | 2.45 |
| Room_20_Floor | 0 | Fc | 29.12 | 66.3 | 9.2 | 3.17 |
| Room_21_Floor | 0 | Fc | 21.28 | 59.4 | 5.2 | 4.09 |
| Room_8_Floor | 0 | Fc | 17.40 | 43.5 | 6.2 | 2.81 |
| Room_9_Floor | 0 | Fc | 17.58 | 44.2 | 6.4 | 2.75 |

- Notes:
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 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

PHOTOMETRICS
SECOND FLOOR - INTERIOR

3/16" = 1'-0"





LIGHTING PROJECTION
SECOND FLOOR

3/16" = 1'-0"



| REVISION | DATE |
|----------|------|
| | |

LIGHTING
PROJECTION
SECOND FLOOR

DESIGN REVIEW BOARD
FINAL SUBMITTAL SET
10.7.2021

NEW SINGLE FAMILY RESIDENCE AT
810A ARIZONA STREET
MOUNTAIN VILLAGE, COLORADO 81435
(LOT 810A, TOWN OF MOUNTAIN VILLAGE)



DESIGN ARCHITECT
M+S ARCHITECTURE

ARCHITECT OF RECORD
SALTOARCHITECTURE

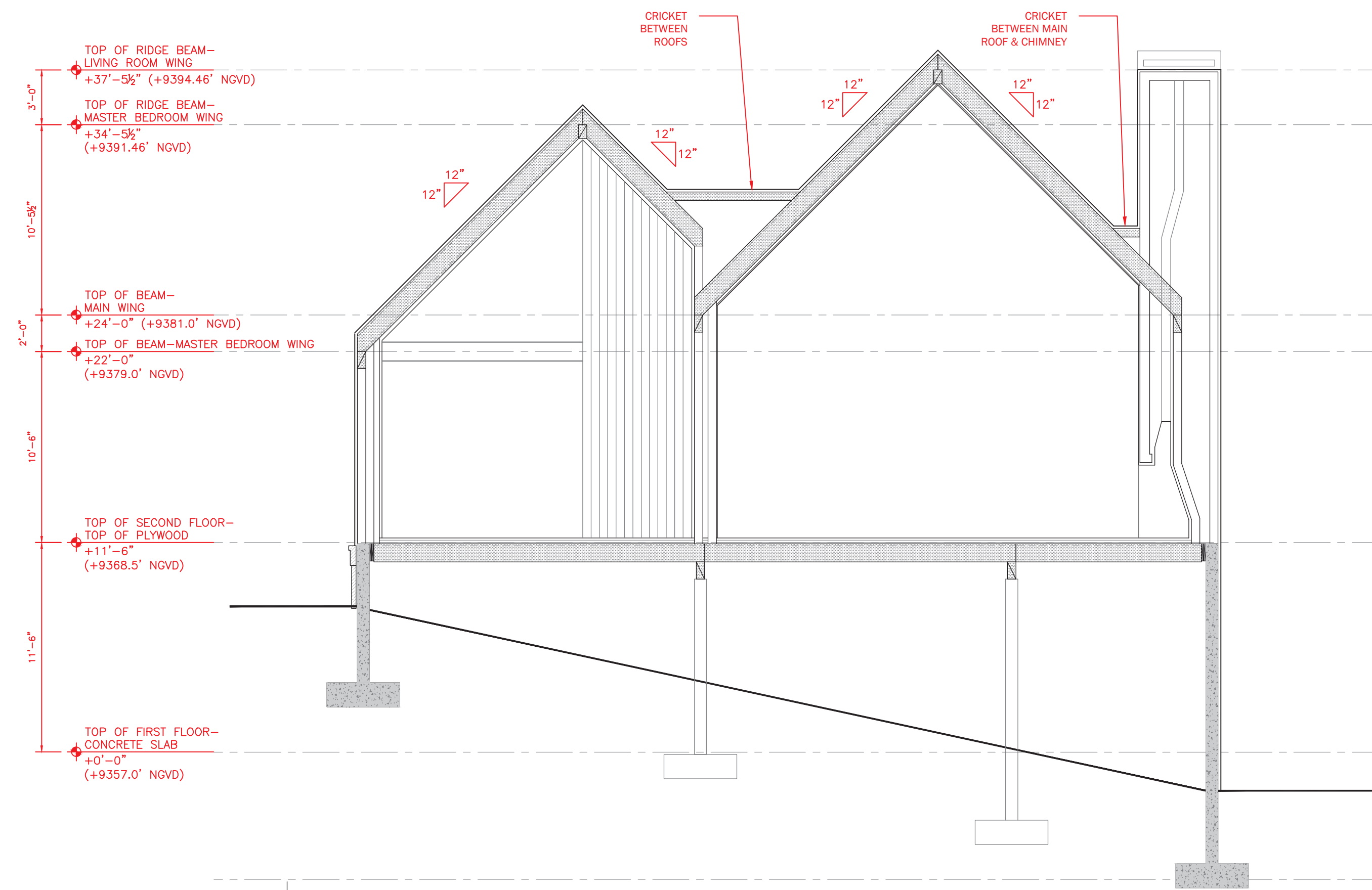
Mauricio Salazar, Architect
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mauricio@saltoarchitecture.com



Mauricio Salazar
2021.09.23
18:00:46-04'00'

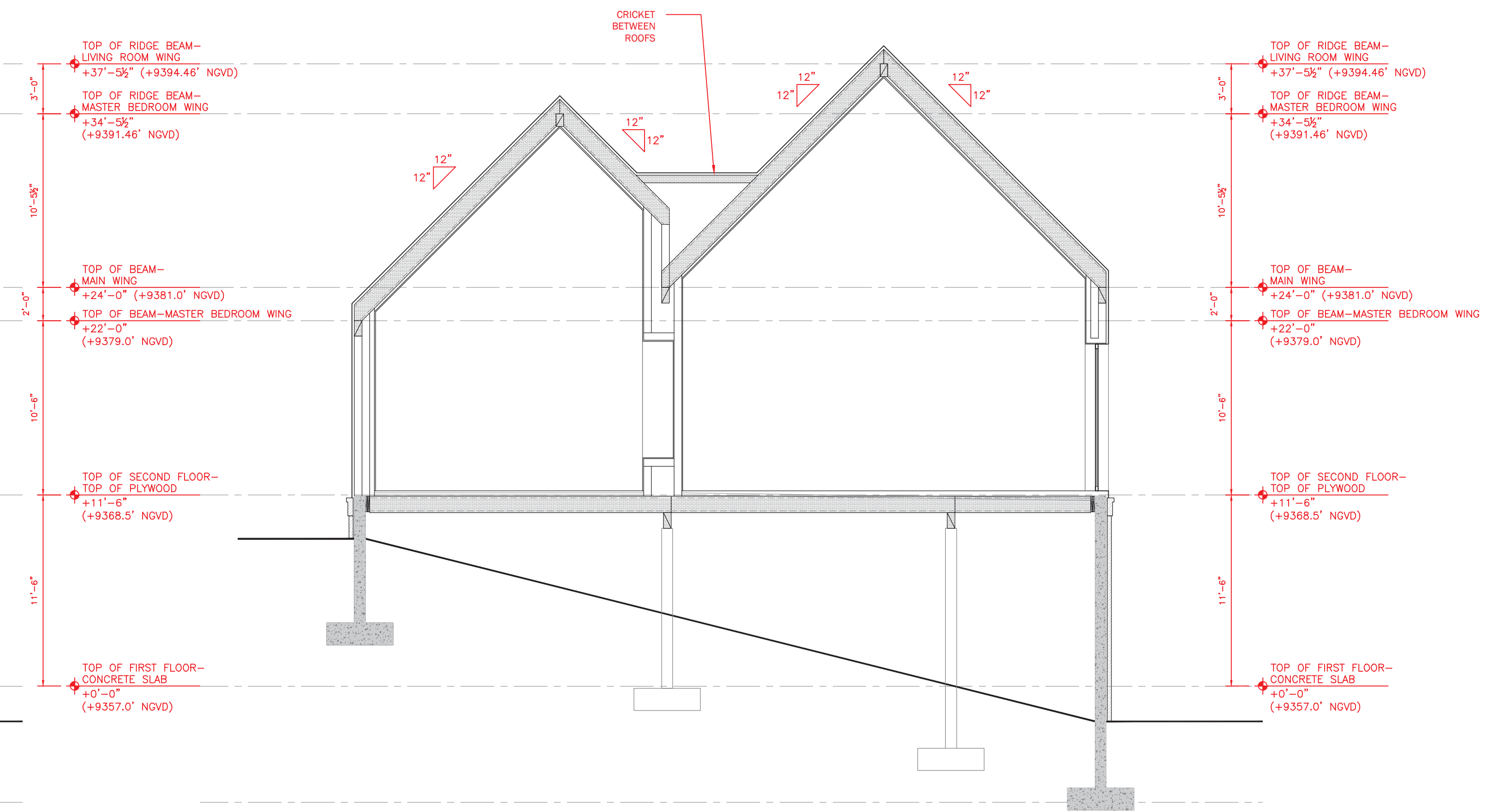
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2139MAS



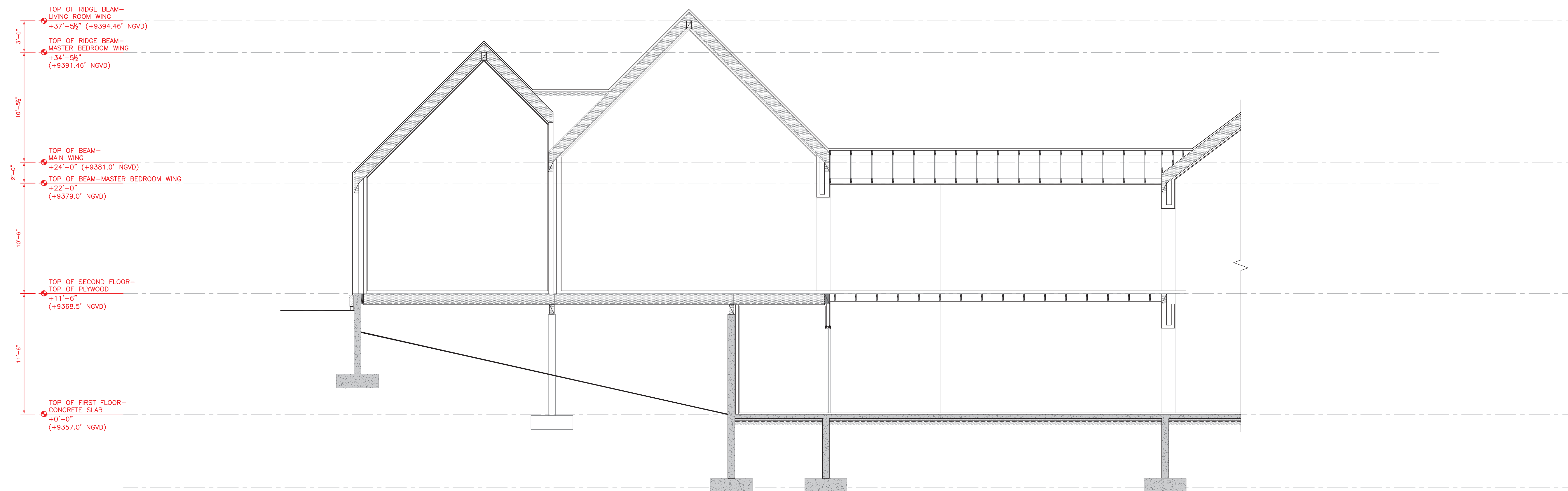
SECTION 1

3/16" = 1'-0"



SECTION 2

3/16" = 1'-0"



SECTION 3

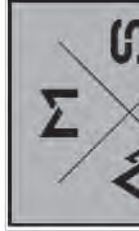
3/16" = 1'-0"



Mauricio Salazar
2021.09.23
18:00:51-04'00"

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ARCHITECT OF RECORD
SALTOARCHITECTURE



NEW SINGLE FAMILY RESIDENCE AT
810A ARIZONA STREET
MOUNTAIN VILLAGE, COLORADO 81435
(LOT 850A, TOWN OF MOUNTAIN VILLAGE)

DESIGN REVIEW BOARD
FINAL SUBMITTAL SET
10.7.2021

SECTIONS

REVISION DATE

A5.1

2139MAS

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

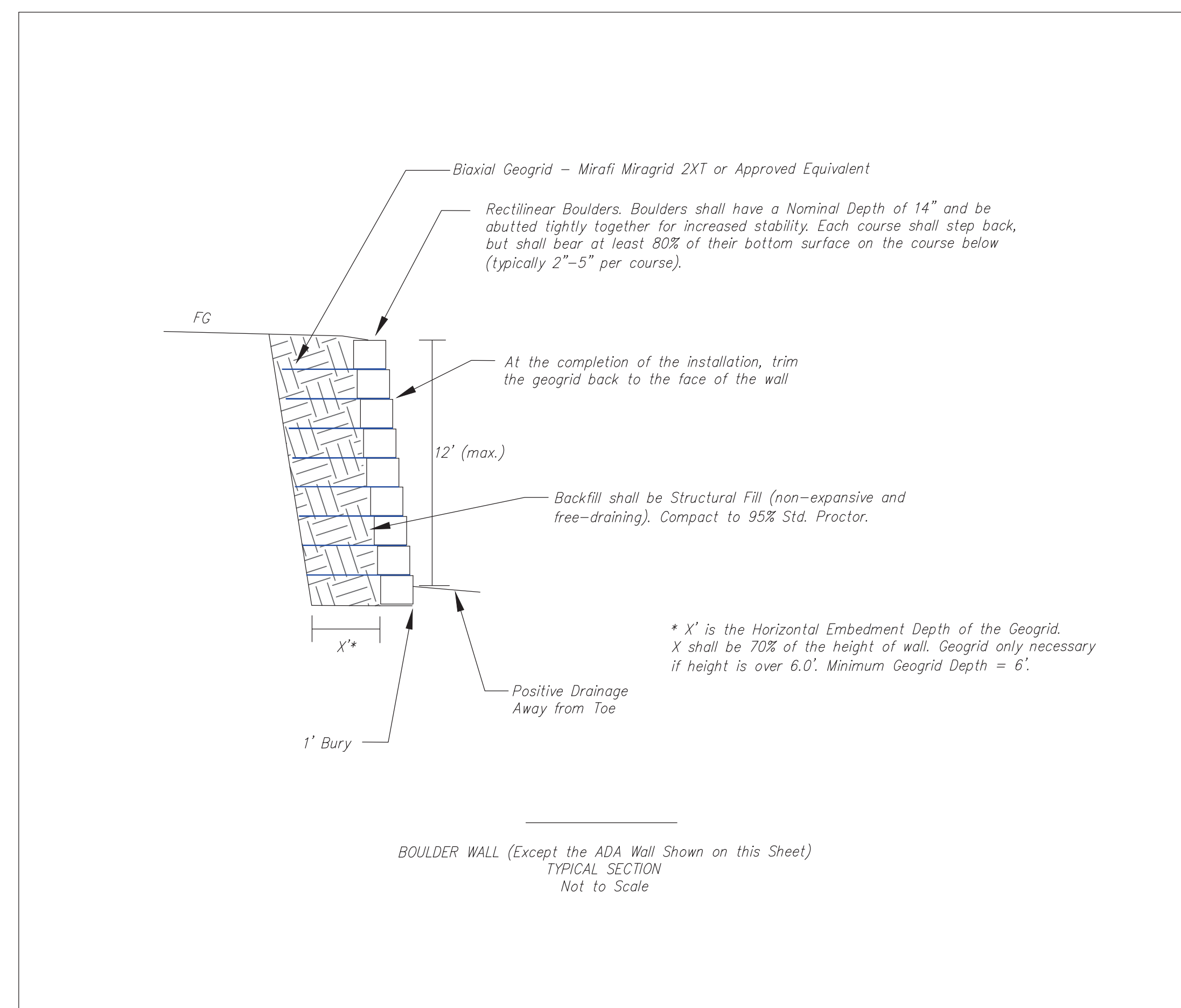
22. ALL DISTURBED GROUND SHALL BE RE-SEEDDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2021-07-05
Addressed JM Comments 2021-07-21

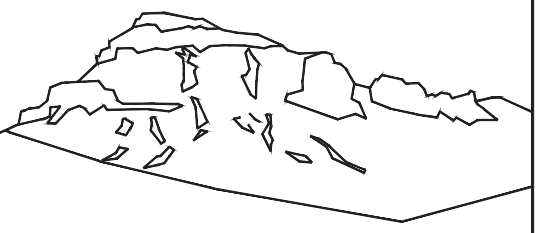
Lot 810 A
Arizona Street
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



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P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2021-07-05
Addressed JM Comments 2021-07-21
Grade and Wall Changes on South 2021-09-17

Lot 810 A
Arizona Street
Mtn. Village, CO

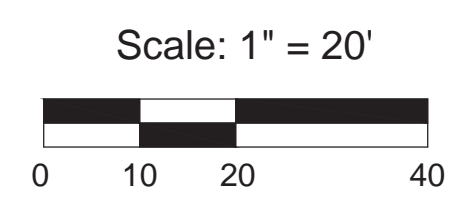
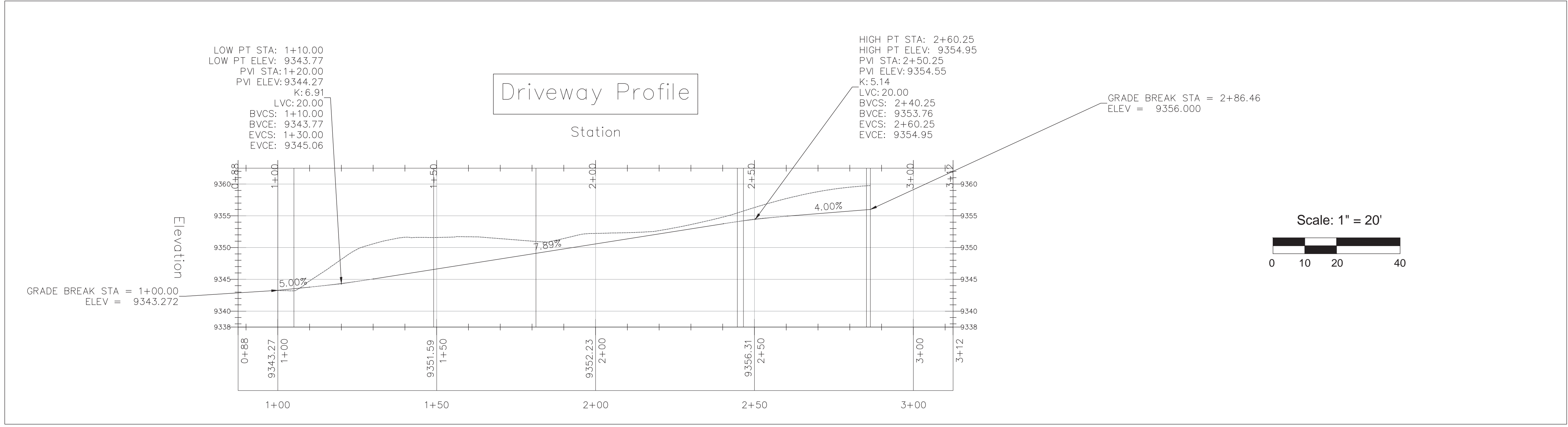
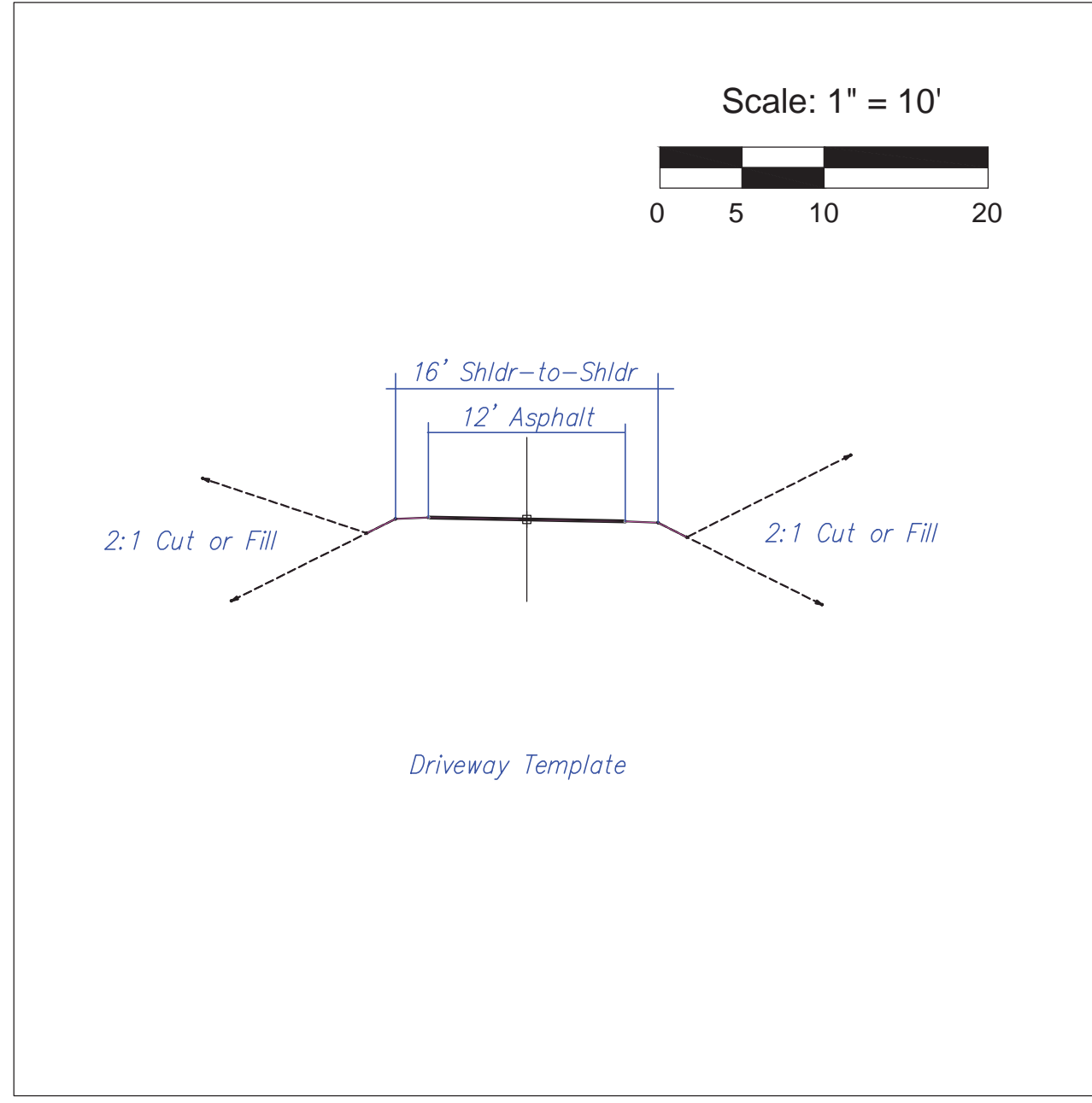
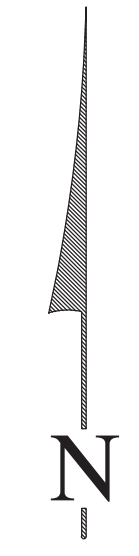
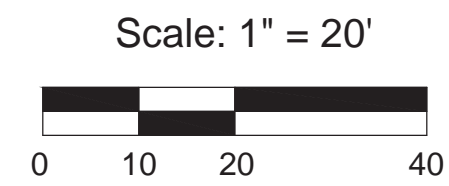
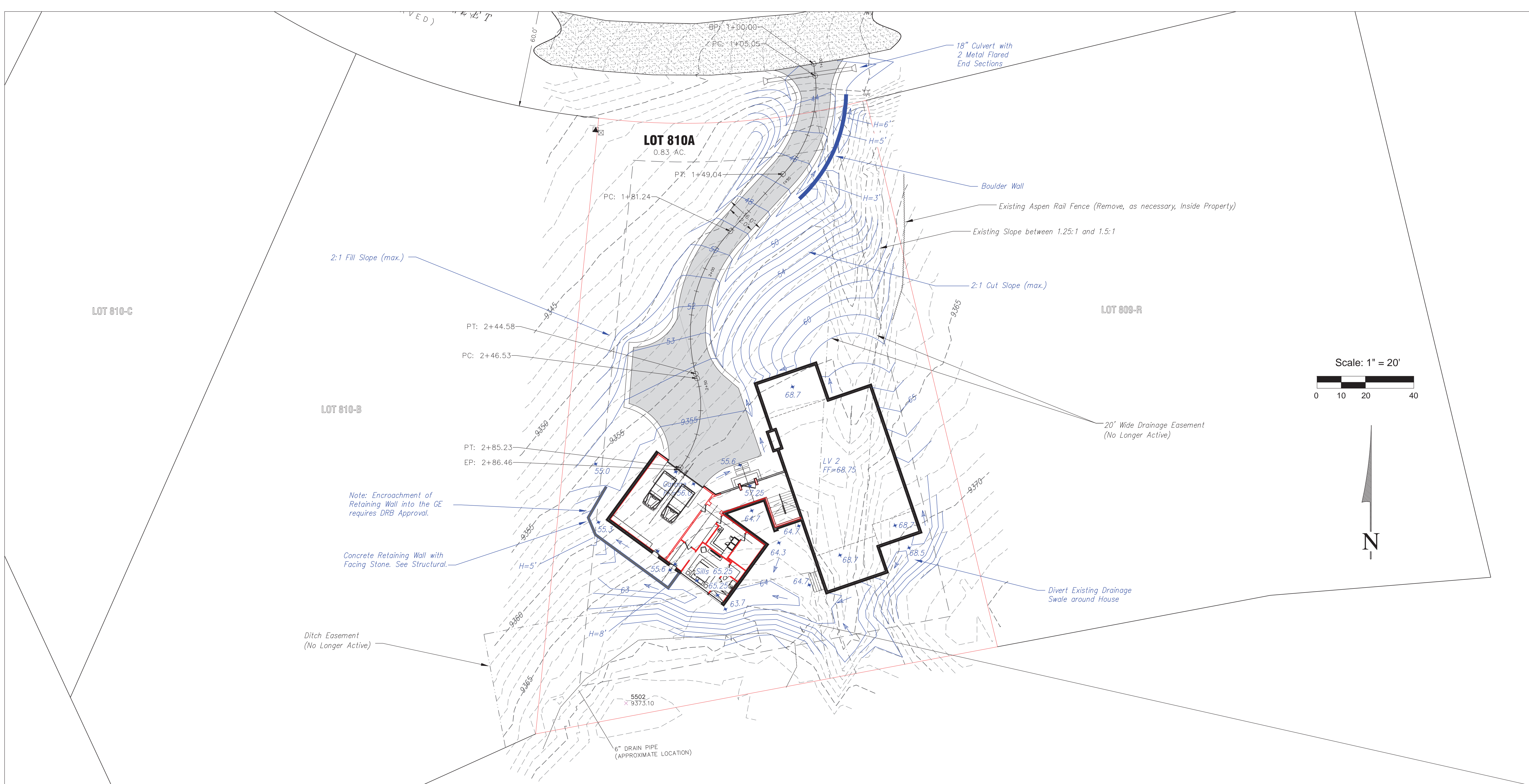


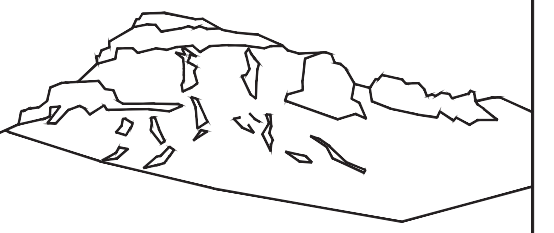
CONTRACTOR TO REVIEW AND COMPARE ALL
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AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading
and
Driveway
Profile

No Trees

C2.0





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Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

| | |
|---------------------------------|------------|
| SUBMITTAL | 2021-07-05 |
| Addressed JM Comments | 2021-07-21 |
| Grade and Wall Changes on South | 2021-09-17 |

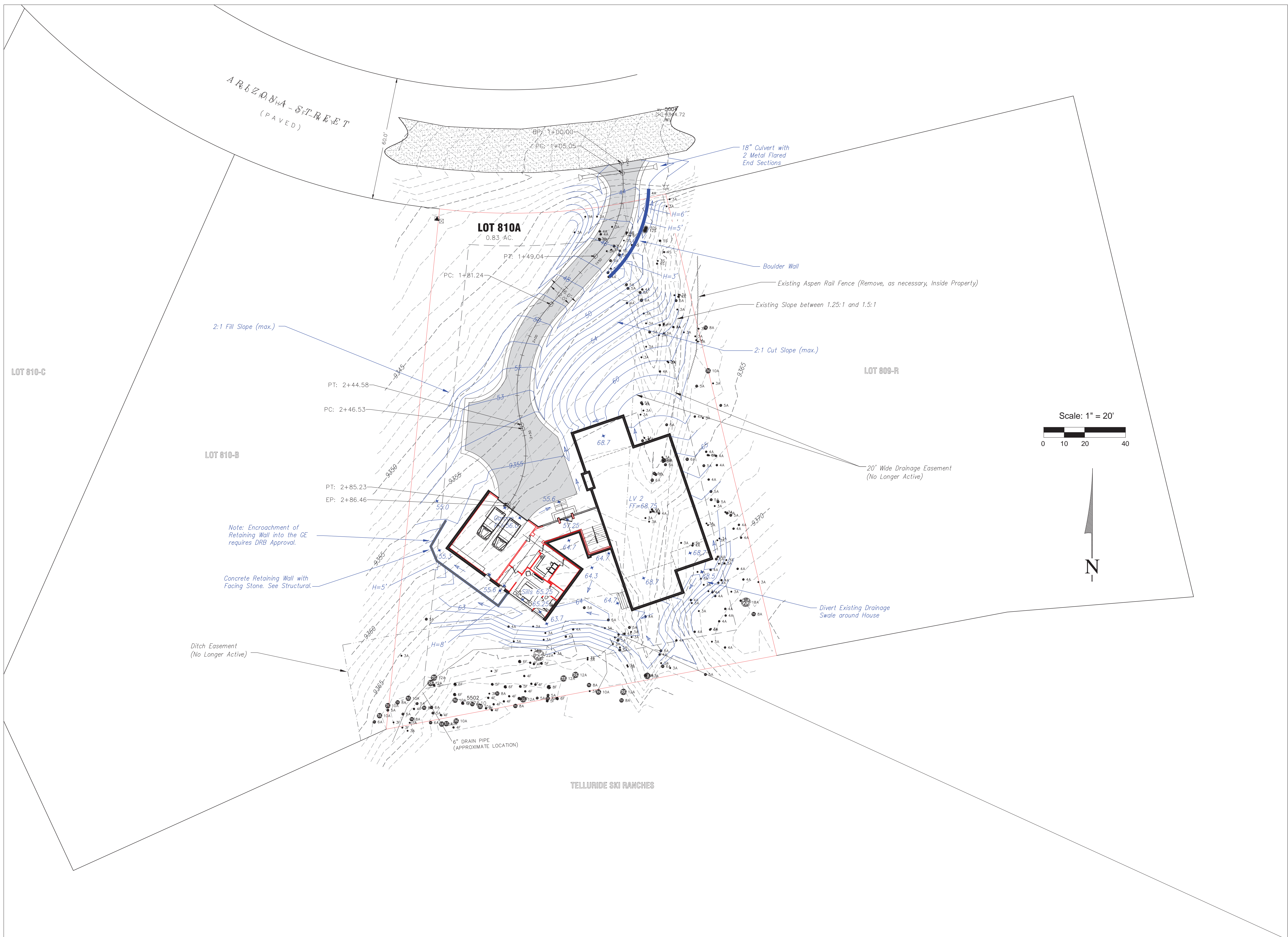
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Arizona Street
Mtn. Village, CO

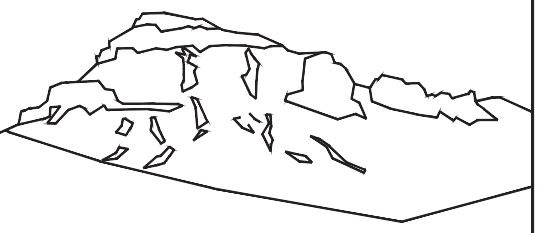


CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading
with Trees
Displayed

C2.1





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Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2021-07-05
Addressed JM Comments 2021-07-21

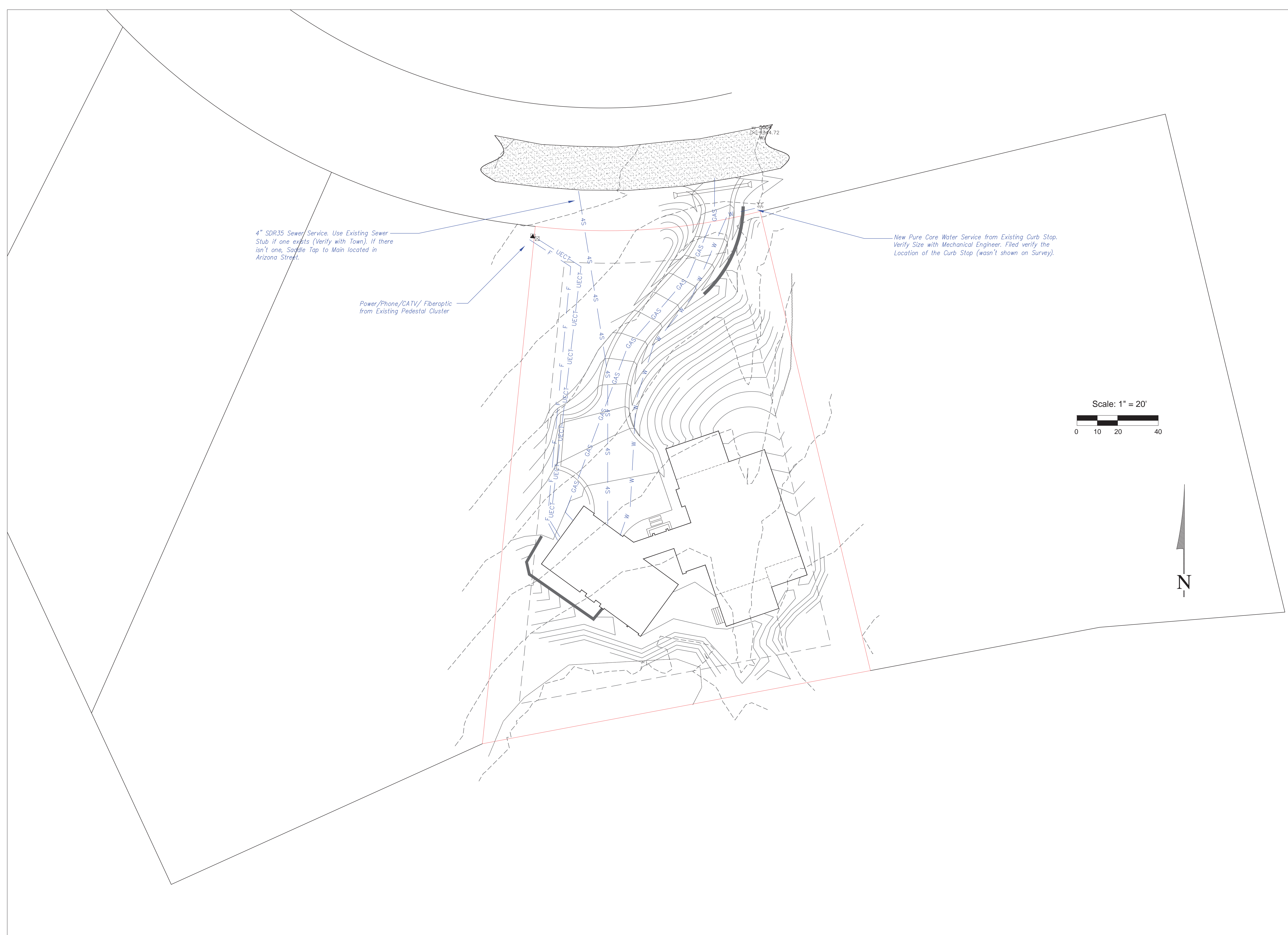
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Arizona Street
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
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ARCHITECT PRIOR TO ANY FIELD WORK BEING
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Utilities

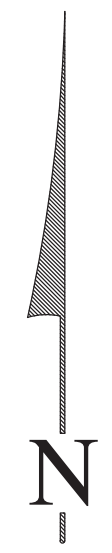
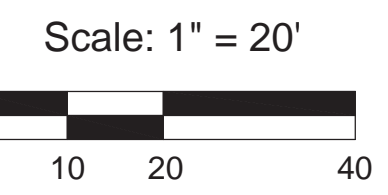
C3

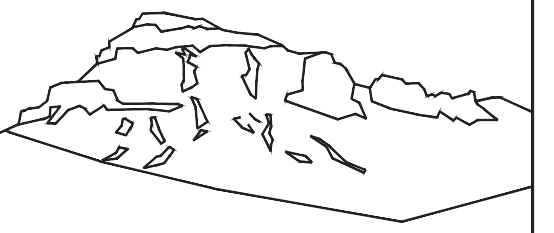


4" SDR35 Sewer Service. Use Existing Sewer
Stub if one exists (Verify with Town). If there
isn't one, Saddle Tap to Main located in
Arizona Street.

Power/Phone/CATV/ Fiberoptic
from Existing Pedestal Cluster

New Pure Core Water Service from Existing Curb Stop.
Verify Size with Mechanical Engineer. Field verify the
Location of the Curb Stop (wasn't shown on Survey).





Uncompahgre
Engineering, LLC

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Telluride, CO 81435
970-729-0683

SUBMISSIONS:

| | |
|---------------------------------|------------|
| SUBMITTAL | 2021-07-05 |
| Addressed JM Comments | 2021-07-21 |
| Grade and Wall Changes on South | 2021-09-17 |

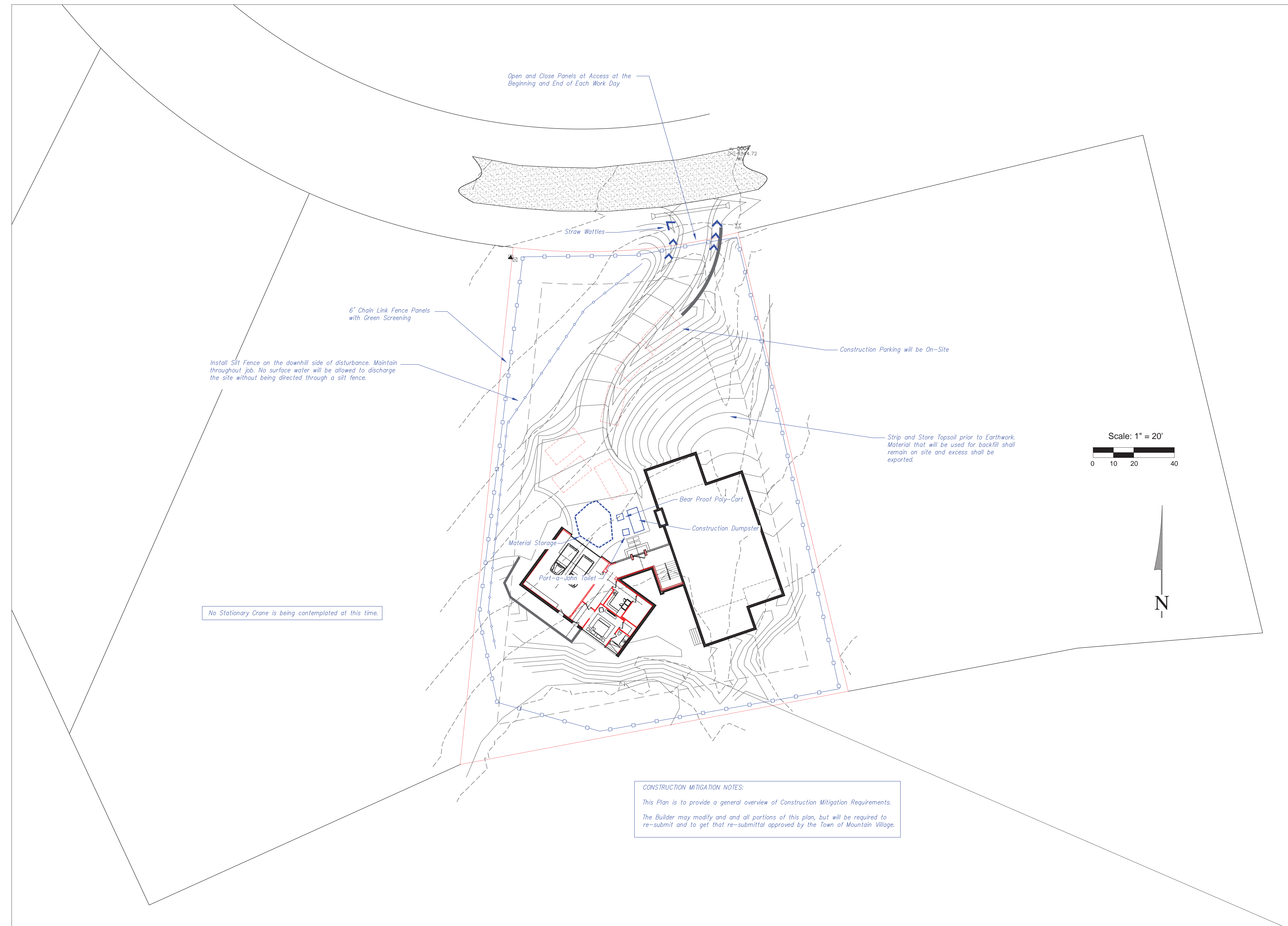
Lot 810 A
Arizona Street
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Construction
Mitigation

C4

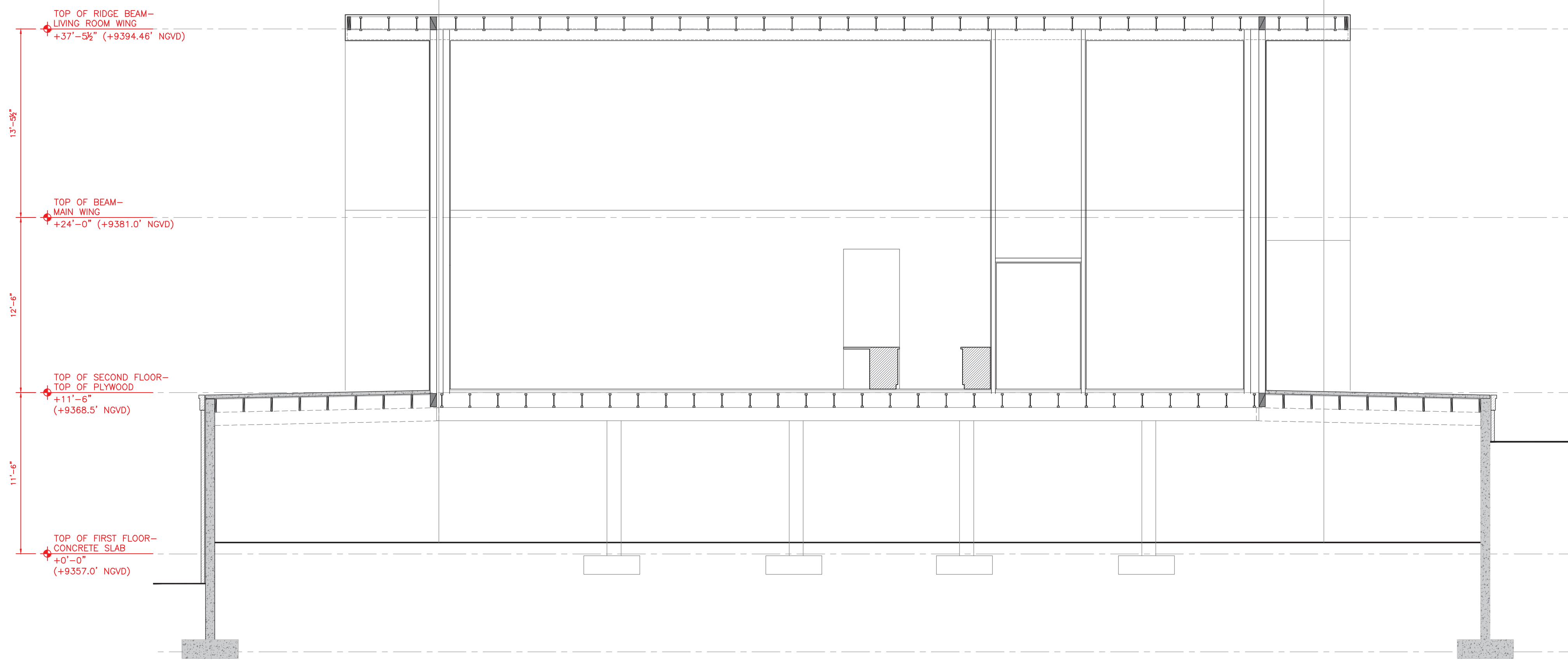


No Stationary Crane is being contemplated at this time.

CONSTRUCTION MITIGATION NOTES:

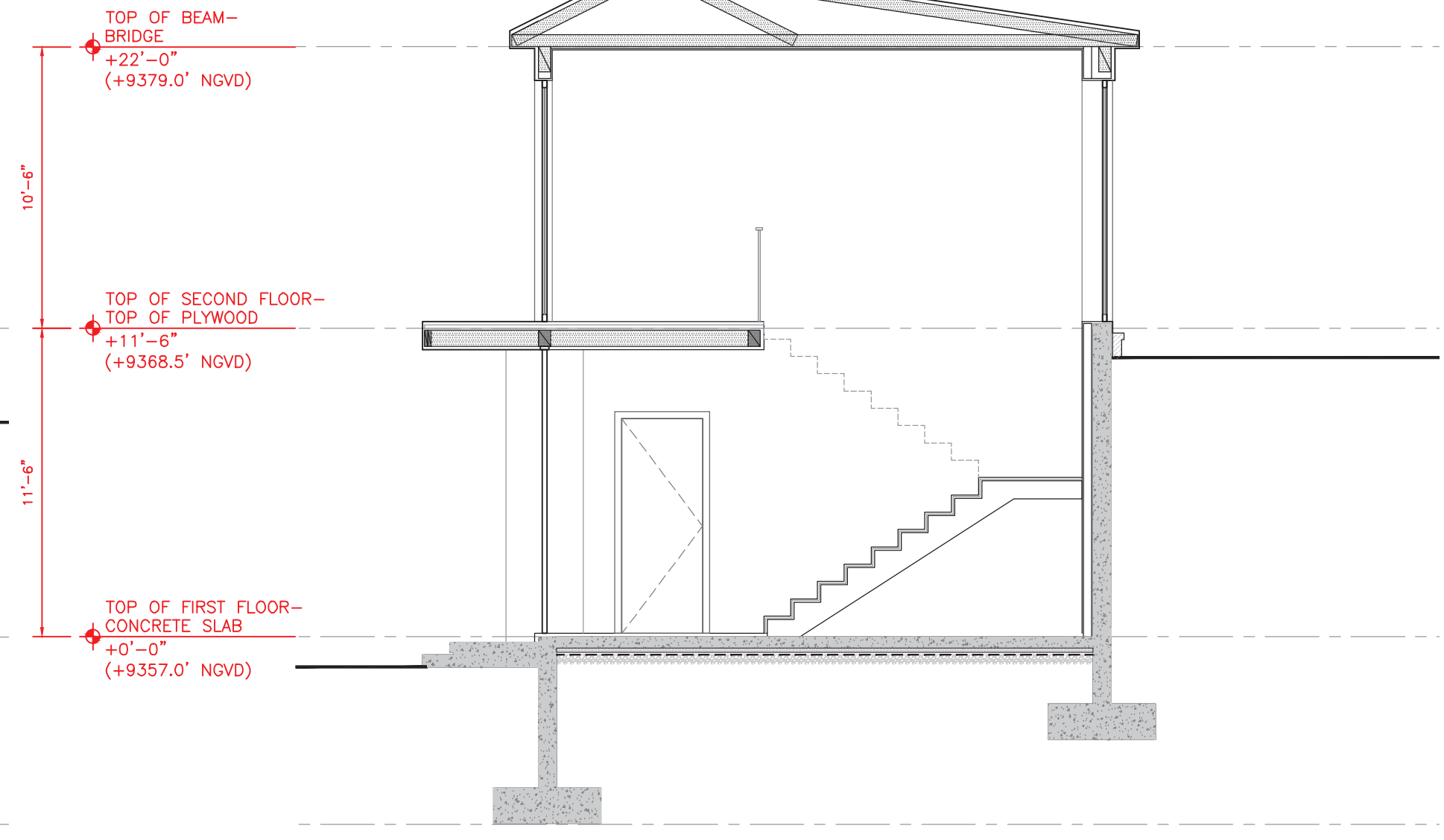
This Plan is to provide a general overview of Construction Mitigation Requirements.

The Builder may modify and add all portions of this plan, but will be required to re-submit and to get that re-submittal approved by the Town of Mountain Village.



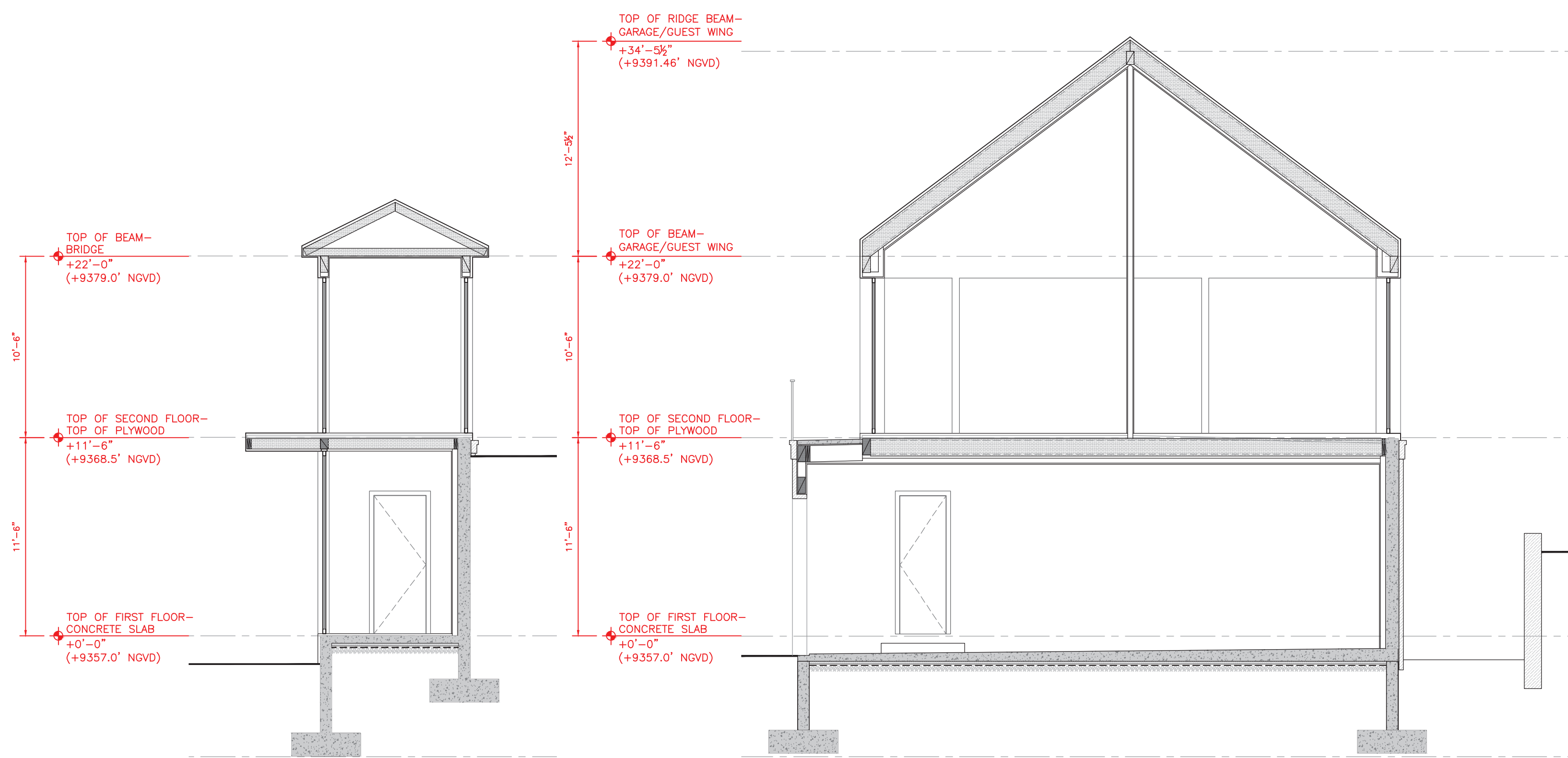
SECTION 4

3/16" = 1'-0"



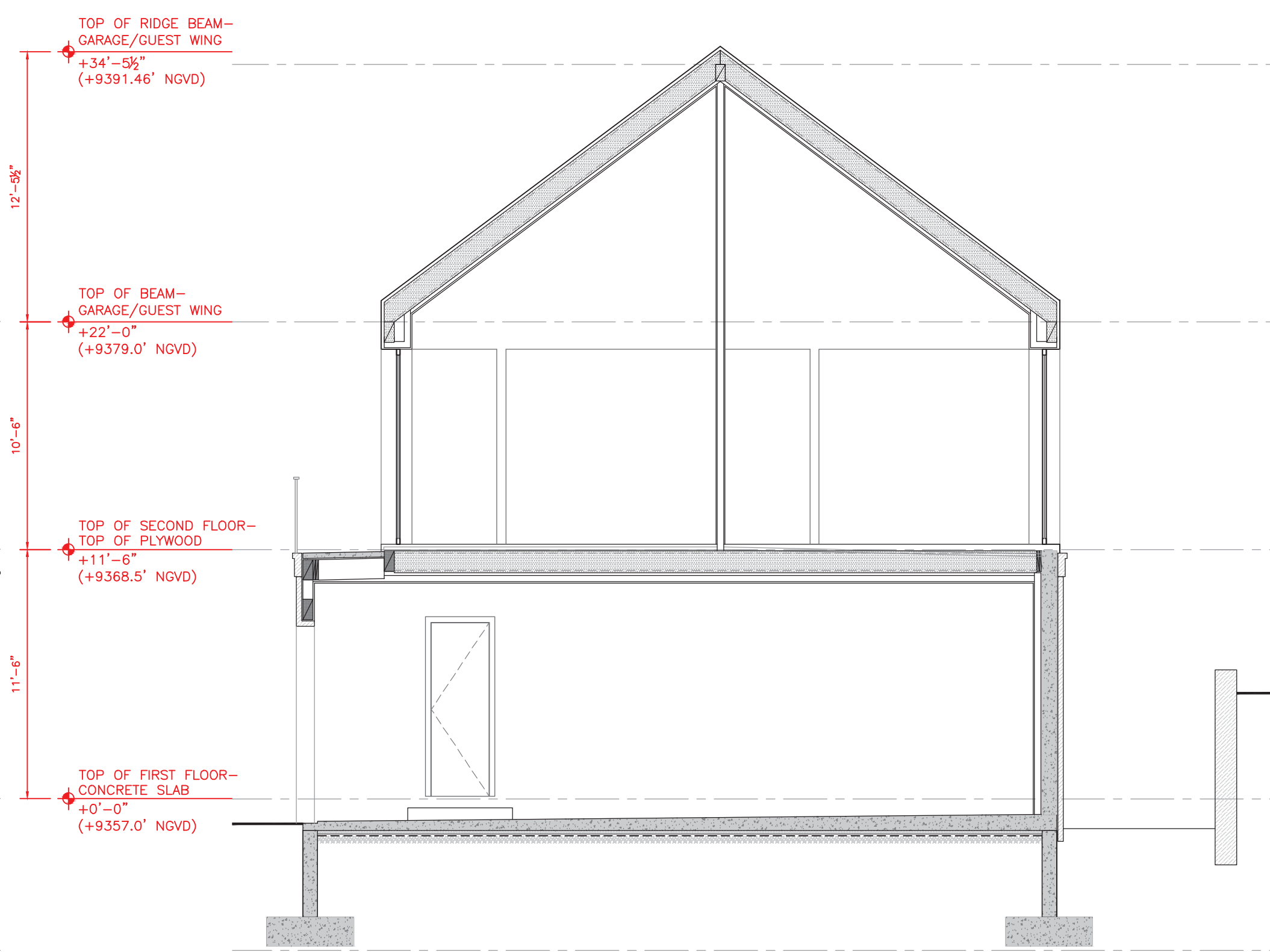
SECTION 5

3/16" = 1'-0"



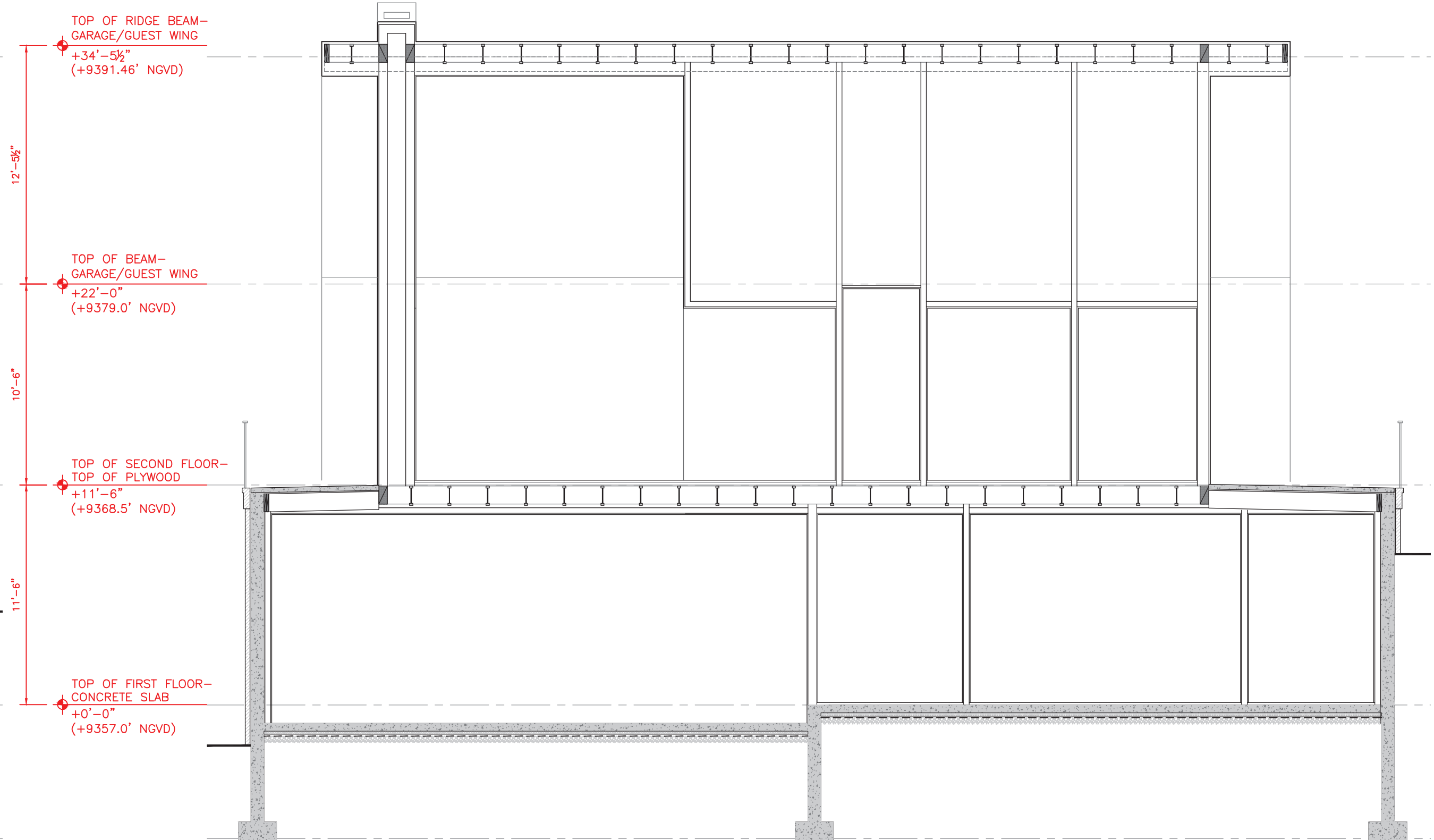
SECTION 6

3/16" = 1'-0"



SECTION 7

3/16" = 1'-0"

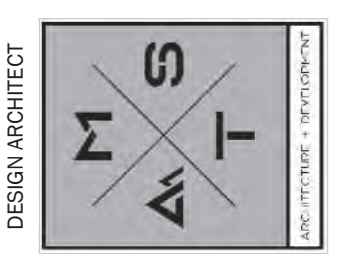


SECTION 8

3/16" = 1'-0"

Mauricio Salazar, Architect
#807887 (Florida)
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saltoarchitecture.com



NEW SINGLE FAMILY RESIDENCE AT
810A ARIZONA STREET
MOUNTAIN VILLAGE, COLORADO 81435
(LOT 810A, TOWN OF MOUNTAIN VILLAGE)

DESIGN REVIEW BOARD
FINAL SUBMITTAL SET
10.7.2021

SECTIONS

REVISION DATE

A5.2

2139MAS



**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

Agenda Item # 4

TO: Mountain Village Town Council
FROM: Michelle Haynes, Planning and Development Services Director
FOR: October 7, 2021
DATE: September 15, 2021
RE: A review and recommendation to Town Council regarding a rezone and density transfer on Lot 27A, Belvedere Phase III Development, Parcel Three-R, 112 Lost Creek Lane, Mountain Village

PROJECT GEOGRAPHY

Legal Description: Parcel Three-R, Belvedere Park Condominiums, A Common Interest Community, According To The Map Recorded June 15, 2006 In Plat Book 1 At Page 3674, And As Defined And Described In The Declaration Of Covenants, Conditions And Restrictions (Belvedere Park Condominiums, A Colorado Common Interest Ownership Community) Recorded June 29, 2004 Under Reception No. 367339, County Of San Miguel, State Of Colorado.

Address: TBD Lost Creek Lane
Applicant/Agent: Idarado Real Estate Co., & James Mahoney, attorney
Owner: TCH Belvedere Phase III LLC
Zoning: Village Center
Existing Use: Condominium Use
Proposed Use: Development of Phase III with 19 condominiums
Lot Acreage 1.58 acres in total (all three phases)

Adjacent Land Uses:

- o **North:** multi-family, village center
- o **South:** residential, vacant
- o **East:** multi-family, village center
- o **West:** multi-family

ATTACHMENTS

- A. Applicant's Submittal Materials (narrative and Improvement Location Certificate)
- B. Topographic Survey dated 2006
- C. Belvedere Original Condominium Map Site Plan 2006
- D. Planning Director Interpretation dated 8.30.2021

TOWN COUNCIL WORKSESSION

The applicant held a worksession with Town Council on August 19, 2021 to discuss the possible density transfer and rezone and future development plan.

- A. Click [here](#) for the Town Council worksession memo

B. Click [here](#) for the Town Council live stream of the worksession item
Town Council provided positive non-binding direction for the applicant to proceed with a density transfer and rezone for the proposed density with some consideration if the HOA was amenable to adding employee housing to incorporate it.

ASSOCIATED FORMATIVE RECORD DOCUMENT

- [Bridge Construction and Maintenance Agreement 10.18.2000](#)
- [2004 Development Agreement 6.18.2004](#)
- [2004 Master Condominium Map](#)
- [2004 Master Declarations](#)
- [Prior approved Phase III Design Plans 2006 \(expired\)](#)

Figure 1. Vicinity Map



PURPOSE

The applicant seeks approval for a density transfer and rezone application to rezone Belvedere Phase III from 17 condo’s, 10 lodges and 2 efficiency lodges to 29 condominiums. Phase III would build 19 condominiums with 10 condominiums already developed through Phase I & II.

SITE HISTORY

Belvedere Park Condominiums Master Development plan was approved in 2004, to be developed in three phases. The Land Use Ordinance (LUO) and now the Community Development Code that replaced the LUO, allowed for properties to be developed in a phased manner so long as a Master Development Plan was approved for the project. A Master Development Plan was approved in 2004. Pursuant to the approved Master Development Plan, Phase I was developed with three condominium units in 2005. Phase II was developed with 7 condominium units in 2006. Phase III had an approved development plan that included the construction of the then remaining density of 17 condominiums, 10 lodges and 2 efficiency lodges. The associated design review approval of Phase III expired in 2007.

HISTORY OF BELVEDERE PHASE III

Belvedere, inclusive of Phase III, had three prior rezones of unit designations

2004-Ordinance-2004-0511-04

| Current Zoning | | Rezone | |
|----------------|------------------|--------|------------------|
| 16 | condominium | 29 | condominiums |
| 31 | lodge | 0 | lodge |
| 71 | efficiency lodge | 0 | efficiency lodge |

2005-Resolution-2005-0712-13

| Current Zoning | | Rezone | |
|----------------|-------------|--------|--------------|
| 29 | condominium | 28 | condominiums |
| 0 | Lodge | 2 | lodge |

2006-Resolution-2006-0509-03

| Current Zoning | | Rezone | |
|----------------|------------------|--------|------------------|
| 28 | condominium | 27 | condominiums |
| 2 | lodge | 10 | lodge |
| 0 | efficiency lodge | 2 | efficiency lodge |

Resolution 2006-0509-03 was the last rezone and includes the ten condominium units already constructed in Phases I and II. Phase III was intended to be constructed in 2006-2007 but subsequently the design plans expired and the project was never realized. This was around the time of the Great Recession that technically began in 2007. We believe that with the rezone in 2006, there was some discussion that the rezone and subsequent development would be a partnership with the Lumiere. That agreement was never realized and the Great Recession occurred shortly thereafter. Subsequent to 2006, the HOA reaffirmed the desire for only an additional 19 condominium units.

Proposed Rezone

| Current Zoning | | Proposed Rezone | |
|----------------|------------------|-----------------|------------------|
| 27 | Condominium | 29 | condominiums |
| 10 | Lodge | 0 | lodge |
| 2 | efficiency lodge | 0 | efficiency lodge |

*10 condominiums are already constructed, the rezone would need to increase the condominium density by two units, and reduce the lodge and efficiency lodge by placing the density in the density bank as unassigned density. (Please note we indicate 10 condominiums built for the purposes of this memo. We have a pending application to separate one unit back to two units that had recently been combined via rezone and density transfer and a building permit that intends to revert back.)

VILLAGE CENTER ZONING PURSUANT TO THE CDC

The applicant intends to construct pursuant to the underlying zoning. Zoning requirements are listed below.

| Village Center Zoning | Limitation |
|-------------------------|---|
| Lot Coverage | No lot coverage limitation |
| Parking | Parking must be in a parking garage below grade in the Village Center 1 parking space per condominium unit |
| | 1-5 common HOA spaces for service vehicles and deliveries |
| Building Heights | 60 feet maximum height 48 feet maximum average height |

REZONE/DENSITY TRANSFER AND MASTER DEVELOPMENT PLAN APPLICATIONS

The applicant seeks approval of the proposed rezone/density transfer with a condition attached to any approval of the rezone/density transfer requiring a Master Plan Amendment and design review application be submitted and approved within 18 months of any approval of the rezone/density transfer application. If the rezone/density transfer application is approved, the applicant would then seek to amend the previously approved Master Development Plan with a concurrent two-step design review application.

ANTICIPATED PROCESS STEPS

The typical staff recommended process would be as follows:

- Rezone and Density Transfer Application. Class 4 application. Recommendation from the Design Review Board. Two readings of an ordinance by Town Council.
- Two-step design review process and concurrently amendment to the Master Development Plan. There would be an initial and final design review and concurrent amendment to the Master Development Plan.

CONFORMANCE WITH THE COMPREHENSIVE PLAN

The 2011 Comprehensive Plan does not list any site-specific policies for Parcel N, Lot 27; however, Belvedere is labeled Parcel N, Lot 27 and listed in the Village Center Development Table 7. with the following site-specific requirements:

Table 7. Mountain Village Center Development Table

| Parcel Designation | Target Maximum Building Height | Target Hotbed Mix | Target Condo Units | Target Dorm Units* | Target Restaurant/Commercial Area | Total Target Units |
|------------------------|--------------------------------|-------------------|--------------------|--------------------|-----------------------------------|--------------------|
| Parcel M Lot 30 | 78.5 | 88 | 12 | 2 | 0 | 102 |
| Parcel N Lot 27 | 78.5 | 64 | 9 | 2 | 0 | 75 |
| Parcel O TSG Clubhouse | 57.5 | 51 | 7 | 1 | 0 (Private Club OK) | 59 |



According to the Comprehensive Plan if a property is designated as a flagship hotel site, it must be developed pursuant to the PUD Zone District and consistent with general conformance with the Comprehensive Plan. The table would require 78.5 feet in height and a significantly larger amount of units with a mix of hotbeds, condominiums and employee dorms equaling generally around 75 units total.

A Planning Director Interpretation (consistent with CDC Section 17.1.8) draft was circulated to Town Council as part of the worksession application and subsequently formalized on August 30, 2021 (attached as exhibit C.). The interpretation is specific to the applicability of the Village Center Development table to the proposed project in light of the previously approved Master Development Plan. In review of the Village Center Development Table, and all the development tables (Table 7, 8 & 9, Village Center, Town Hall and the Meadows respectively), the town did not include lots that either already had a site-specific development plan (like Rosewood (Lots 126R and 152) and 109R (The Mountain Village Hotel PUD), or a Master Development Plan (like Elkstone Lot 600A). As a result, inclusion of Lot 27A in the Village Center Development Table conflicts with the exclusion of other lots with site specific development plans or Master Development Plans. This conclusion is bolstered by the fact the Comprehensive Plan notes Parcel N Lot 27 has “no site-specific policies” associated with the property. In summary, inclusion of Parcel N, Lot 27 is ruled in error because it is governed by the Master Development Plan.

Finally, although the Town does not enforce private covenants, the Master HOA at Belvedere has limited the development of Phase III to 19 condominium units. The implication is that the HOA would not otherwise consent to an application if it otherwise does not conform with their desired density and development. The applicants propose development in alignment with the HOA's desires.

REZONE AND DENSITY TRANSFER CRITERIA

The following criteria shall be met for the review authority to approve a rezoning development application:

- a. **The proposed rezoning is in general conformance with the goals, policies and provisions of the Comprehensive Plan;**

The rezone is in general conformance with the goals, policies and provisions of the Comprehensive Plan.

- p. 9, "Concentrate development in high density areas to achieve economic sustainability and vibrancy."

There are no site specific policies

Table 7. Does not apply per the Planning Director Interpretation

- b. **The proposed rezoning is consistent with the Zoning and Land Use Regulations;**

The applicants proposed to build consistent with the underlying zoning and do not propose any Variances nor a Planned Unit Development application.

- c. **The proposed rezoning meets the Comprehensive Plan project standards;**

These standards apply to Planned Unit Development applications and are otherwise reviewed with design review (see p. 95 of the CDC for Comprehensive Plan Project Standards)

- d. **The proposed rezoning is consistent with public health, safety and welfare, as well as efficiency and economy in the use of land and its resources;**

This criterion is met.

- e. **The proposed rezoning is justified because there is an error in the current zoning, there have been changes in conditions in the vicinity or there are specific policies in the Comprehensive Plan that contemplate the rezoning;**

Not applicable

- f. **Adequate public facilities and services are available to serve the intended land uses;**

This criterion will be met with a forthcoming building design.

- g. **The proposed rezoning shall not create vehicular or pedestrian circulation hazards or cause parking, trash or service delivery congestion; and**

This criterion will be met with a forthcoming site and building design.

h. h. The proposed rezoning meets all applicable Town regulations and standards.
The applicants indicated they will construct pursuant to the underlying zone district regulations of Village Center.

Density Transfer Criteria:

- a. **The criteria for decision for a rezoning are met, since such density transfer must be processed concurrently with a rezoning development application (except for MPUD development applications);**

This is being met.

- b. **The density transfer meets the density transfer and density bank policies; and**

The applicants must demonstrate that they have acquired the necessary two condominium densities, 6 person equivalent, prior to recordation of the ordinance. The applicants will transfer the remaining lodge and efficiency lodge density into the density bank.

- c. **The proposed density transfer meets all applicable Town regulations and standards.**

This is being met.

Staff note: There is a concurrent density transfer and rezone application being heard at this meeting at Belvedere. A recent rezone and density transfer reduced the existing 10 condominiums to 9 by combining units 2 &3. The current application proposes to separate the combined unit resulting in 10 condominiums again. For the purposes of simplicity, we have kept the density count at the original levels of 10 subject to review and approval of the pending density transfer and rezone to re-separate units 2 &3.

STAFF ANALYSIS AND RECOMMENDATION

If the DRB provides an affirmative recommendation to Town Council, staff recommends the following motion.

I move to recommend approval to Town Council for a density transfer and rezone application at Lot 27A, Belvedere Phase III, 112 Lost Creek Lane, Parcel 3 R from 27 condominiums, 10 lodge units and 2 efficiency lodges to a total of 29 condominium units (10 built, 19 unbuilt) with the following conditions:

- 1. The ordinance reflect that a Master Development Plan amendment and design review be submitted and approved within 18 months of the rezone and density transfer approval.*
- 2. The applicant demonstrate acquisition of the two condominium zoning designations, or 6 person equivalent of density prior to recordation of the ordinance.*
- 3. The applicant affirms the design of the building will be consistent with the underlying zone district regulations.*
- 4. The owner of record of density in the density bank, once transferred, shall be responsible for all dues, fees and any taxes associated with the assigned density and zoning until such time as the density is either transferred to a lot or another person or entity.*

This motion is based on the evidence and testimony provided at a public hearing held on October 7, 2021, with notice of such hearing as required by the Community Development Code.

/mbh



Idarado Real Estate Company
128B S Oak
Telluride, CO
970-708-1497

August 25, 2021

To: Mountain Village Design Review Board and Town Council
From: Idarado Real Estate Company and James Mahoney P.C.
For: October 7, 2021 DRB Meeting and October 21, 2021 Town Council Meeting
RE: Density Transfer Application Narrative for Lot 27A, Parcel Three-R, Belvedere Phase III
Development, 112 Lost Creek Lane, Mountain Village

PURPOSE OF APPLICATION

Idarado Real Estate Company has Parcel Three-R (the "Property") under contract with the intent to purchase and develop Belvedere Phase III, the last phase of development on the Property. The applicant seeks to amend the Master Plan of Parcel 27A and bring the density in line with what is approved by the Belvedere Park Owners Association (the "Master Association"), which is 19 total condominium units for Parcel Three-R.

SITE HISTORY

Lot 27A, Phases I, II, and III have had a long history resulting in conflicting zoning:

| Date | May 2004 | June 2004 | May 2006 | June 2006 | 2006 | June 2011 |
|------------------|---|---|---|---|--|--|
| Party | Town | HOA | Town | HOA | HOA | Town - Comp |
| Document | Ordinance-2004-0511-04 MASTER PLAN APPROVAL | Belvedere Park Condominiums Declaration | Density Transfer - Resolution-2006- 0509-03 | Belvedere Park Condominiums – First Amendment to Declaration | Belvedere Phase I and II built. Leaves 19 units remaining | Resolution- 2011-0616-11 COMP PLAN Target |
| Condominium | 29 | 29 | 27 | 29 | 19 | 9 |
| Lodge | | | 10 | | | |
| Efficiency Lodge | | | 2 | | | |
| Hotbeds | | | | | | 64 |
| Dorms | | | | | | 2 |
| Total | 29 | 29 | 39 | 29 | 19 | 75 |

2004:

- Belvedere Park Condominiums Master Development plan was approved in 2004, to be developed in three phases with an allowable 29 total units. The Land Use Ordinance (LUO) and now the Community Development Code that replaced the LUO, allowed for properties to be developed in a phased manner so long as a Master Development Plan was approved for the project.
- The Master Association codified 29 total allowable units in the Belvedere Park Condominiums Declaration in 2004.
- Pursuant to the approved Master Development Plan, Phase I was developed with three condominium units in 2005. Phase II was developed with 7 condominium units in 2006. This left Phase III with 19 possible units.

2006:

- Resolution 2006-0509-03 was a rezone that included the ten condominium units already constructed in Phases I and II. Phase III had an approved development plan that included the construction of 17 condominiums, 10 lodges and 2 efficiency lodges. The associated design review approval of Phase III expired in 2007.
- In 2006, the Master Association re-affirms that only 29 units total (19 units for Phase III) are allowed per the HOA Declaration and its First Amendment to the Declaration.

2011:

- Town of Mountain Village issues the Comprehensive Plan which addresses Lot 27A/Parcel Three-R in Table 7, Mountain Village Center Development Table. However, no site specific policies exist for Lot 27A/ Parcel Three-R, which creates further confusion for the Property's zoning. In August of 2021 the Town of Mountain Village Planning Director issued an official interpretation stating that development tables of the Comprehensive Plan are not applicable to properties with a prior existing Master Development Plan, which Belvedere Phase Three-R has had since 2004. This is discussed further in the CDC compliance section below.

REZONE/DENSITY TRANSFER APPLICATION

Our proposed rezone is to bring the town zoning in conformance with the Belvedere Park Condominiums Declaration, as well as the 2004 Master Plan Approval:

| Current Zoning | | Rezone | |
|----------------|------------------|--------|------------------|
| 27 | Condominium | 29 | Condominiums |
| 10 | Lodge | 0 | Lodge |
| 2 | Efficiency Lodge | 0 | Efficiency lodge |

10 condominiums are already constructed, bringing the rezone density for Phase III back to 19 units. The rezone would need to increase the condominium density by two units and reduce the lodge (-10) and efficiency lodge (-2) by placing the density in the density bank as unassigned density.

The applicant would like to seek approval of the proposed rezone/density transfer first. The applicant would be willing to consider a condition attached to any approval of the rezone/density transfer requiring a Master Plan Amendment and design review application be submitted and approved within 18 months of any approval of the rezone/density transfer application. This process optimizes the balance between time constraints, with the applicant under contract, with time for thoughtful and iterative design.

The following process steps were discussed and understood by Council in the work session on August 19, 2021:

- Rezone and Density Transfer Application. Class 4 application. Recommendation from the Design Review Board. Two readings of an ordinance by Town Council.
- Two-step design review process and concurrent amendment to the Master Development Plan following approval of Density Transfer by Town Council.

EMPLOYEE HOUSING UNITS

The proposed rezone does not include the addition of any employee housing units due to the applicant's timing constraints and the need to obtain Master Association approval for any additional employee housing units. The Applicant is pursuing the issue with the Master Association concurrently and would be willing to add an employee housing unit to this application if approved by the Master Association.

COMMUNITY DEVELOPMENT CODE COMPLIANCE ANALYSIS

Follows on the next page.



To: Mountain Village Design Review Board and Town Council
 From: Idarado Real Estate Company and James Mahoney P.C.
 For: October 7, DRB Meeting and October 21, 2021 Town Council Meeting
 RE: Analysis of CDC Criteria for the Density Transfer Application for Lot 27A, Parcel Three-R, Belvedere Phase III Development, 112 Lost Creek Lane, Mountain Village (the “**Application**”).

In order to approve the Application, the DRB and ultimately the Mountain Village Town Council must consider the Application via the criteria set forth in the Community Development Code (“**CDC**”) for a Density Transfer/Rezone as a Class 4 Application which are set forth in CDC section 17.4.10 as follows:

Class 4 Applications. The following criteria shall be met for the Review Authority to approve a density transfer:

- a. The criteria for decision for a rezoning are met, since such density transfer must be processed concurrently with a rezoning development application (except for MPUD development applications);
- b. The density transfer meets the density transfer and density bank policies; and
- c. The proposed density transfer meets all applicable Town regulations and standards.

Criteria “a” is addressed below as there are multiple criteria within the rezone criteria. Criteria “b” is satisfied by meeting the density transfer and density bank policies which are set forth in Section 17.3.8 of the CDC and cover basic items related to density transfers and is satisfied as the applicant will acquire the two units of condominium density required to bring the number of condo units to 19 upon approval from the Town. The Applicant will complete the required documentation with the Town to place such density on the Property and will transfer the ten (10) lodge units and two (2) efficiency lodge units to the density bank and is willing to accept a condition of approval to ensure these actions occur on approval. Criteria “c” is met as the Application addresses all of the Town regulations and standards which apply as set forth in the Application, this narrative and the accompanying materials.

Rezone Criteria. Criteria “a” of the Density Transfer application requires that the criteria for a rezone application are also met. The Criteria for a rezone application are set forth in Section 17.4.9.C.3 as follows:

- a. The proposed rezoning is in general conformance with the goals, policies and provisions of the Comprehensive Plan;
- b. The proposed rezoning is consistent with the Zoning and Land Use Regulations;
- c. The proposed rezoning meets the Comprehensive Plan project standards;
- d. The proposed rezoning is consistent with public health, safety and welfare, as well as efficiency and economy in the use of land and its resources;
- e. The proposed rezoning is justified because there is an error in the current zoning, there have been changes in conditions in the vicinity or there are specific policies in the Comprehensive Plan that contemplate the rezoning;
- f. Adequate public facilities and services are available to serve the intended land uses;
- g. The proposed rezoning shall not create vehicular or pedestrian circulation hazards or cause parking, trash or service delivery congestion; and
- h. The proposed rezoning meets all applicable Town regulations and standards.



The Application meets the criteria as follows:

- a. The proposed rezoning is in general conformance with the goals, policies and provisions of the Comprehensive Plan;

The Town's Planning Director, Michelle Haynes, issued an official CDC interpretation regarding the applicability of Table 7, Mountain Village Center Development Table of the Comprehensive Plan to properties with a prior existing Master Development Plan. In simple terms the interpretation states that development tables of the Comprehensive Plan are not applicable to properties with a prior existing Master Development Plan which Belvedere Phase Three-R has had since 2004. Therefore, the target densities and flag designation set forth in Table 7 do not apply to this criterion and there are no site-specific policies for this Property in the Comprehensive Plan. However, this criterion is satisfied as the overall goals, policies and provisions of the Comprehensive Plan envision as the 19 condominium units fits within the diversity of the Village Center contemplated by the Comprehensive Plan, has the appropriate fit in the surrounding neighborhood (Comp Plan Pg. 35), and due to the popularity of whole unit rentals in the rental market provide lodging opportunities within the Village Center Sub Area which is a goal of the Comprehensive Plan.

- b. The proposed rezoning is consistent with the Zoning and Land Use Regulations;

The proposed density transfer does not alter the zoning of the Property which is already zoned as Village Center which allows for a broad range of uses including multi-family dwellings and there is not change to the Land Use requested by the Application. The resulting development will comply with all Land Use Regulations including providing the required parking of one parking space per unit plus parking for HOA and other uses on site.

- c. The proposed rezoning meets the Comprehensive Plan project standards;

There are no site-specific standards for this Property. Therefore, general standards of the Comprehensive Plan apply which relate to achieving density while minimizing visual impact, mass and scale that fits the site and other matters such as access and adequate facilities. The requested rezone/density transfer is actually a reduction in overall density which reduces the visual impact, mass and scale so that the resulting development will fit in with the surrounding properties such as Belvedere Phases One and Two as well as Lumiere and the Telemark buildings.

- d. The proposed rezoning is consistent with public health, safety and welfare, as well as efficiency and economy in the use of land and its resources;

The Application is consistent with the public health, safety and welfare as the application is an overall reduction in density, adequate access and facilities exist and the resulting development will not result in any additional health safety or welfare concerns.



- e. The proposed rezoning is justified because there is an error in the current zoning, there have been changes in conditions in the vicinity or there are specific policies in the Comprehensive Plan that contemplate the rezoning;

This criterion is not all that applicable to a simple density transfer as there is no change in the underlying zoning however, the criteria is still meet as the applicant is simply cleaning up a disconnect between what has been approved by the Master Association and the density at the Town level.

- f. Adequate public facilities and services are available to serve the intended land uses;

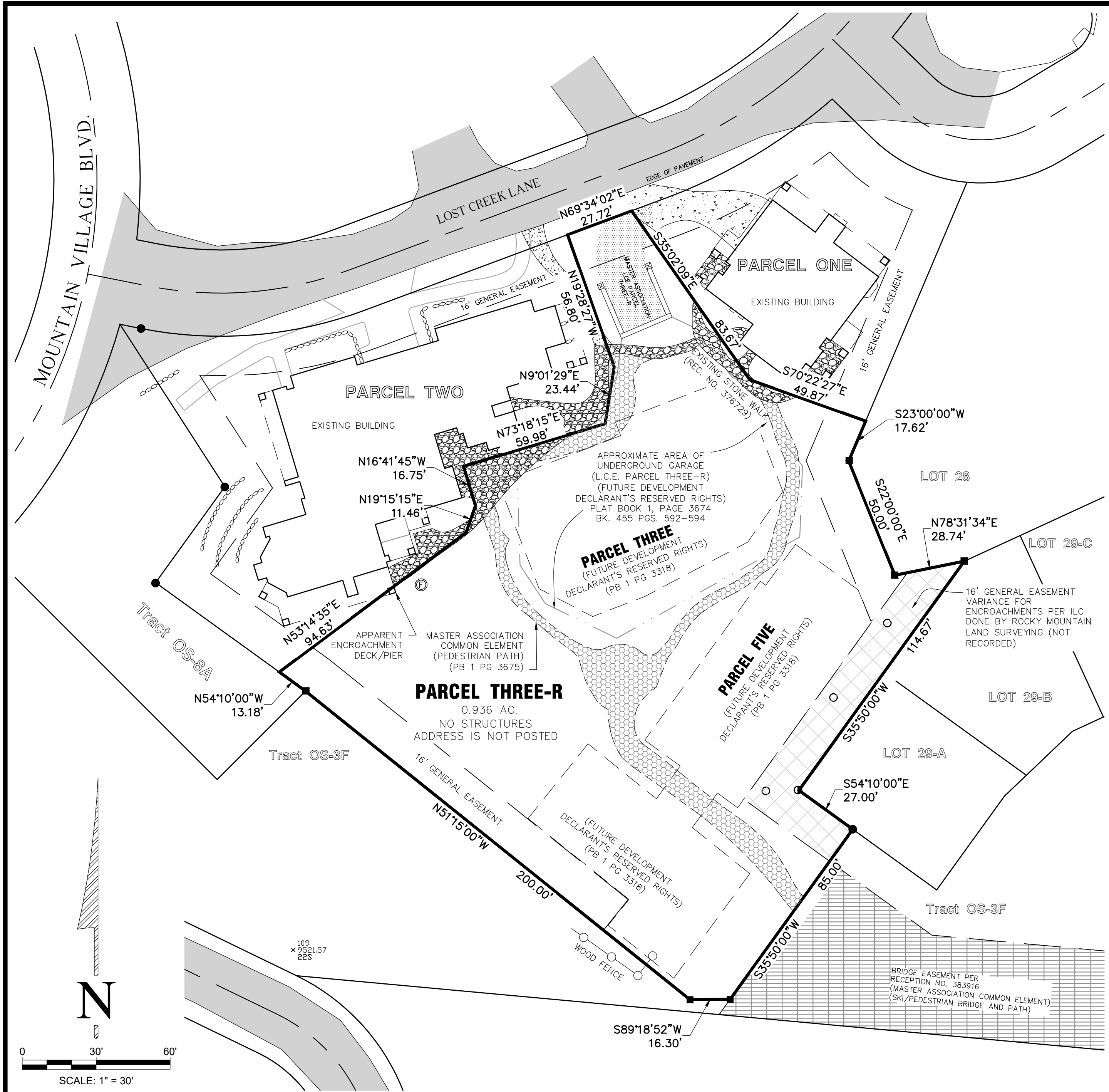
Adequate public facilities and services are available in access, water, sewer, fire protection and other similar public facilities and the overall reduction in density will not impact the adequacy of such facilities and services.

- g. The proposed rezoning shall not create vehicular or pedestrian circulation hazards or cause parking, trash or service delivery congestion; and

The reduction in overall density will not create any vehicular or pedestrian circulation hazards, parking, trash or service delivery congestion as the access and facilities remains the same as would otherwise exist. The access to Belvedere Phase Three-R will be from Lost Creek between the Belvedere Phase One and Two buildings.

- h. The proposed rezoning meets all applicable Town regulations and standards.

The Application meets all applicable Town regulations and standards.



LEGEND

- FOUND REBAR & ALUMINUM CAP, LS 20632
- FOUND REBAR & ALUMINUM CAP, LS 24954
- FOUND REBAR & ALUMINUM CAP, LS 31155
- FOUND ALUMINUM CAP IN CONCRETE, CAP ILLEGIBLE
- ⊙ FIRE PROTECTION SPRINKLER
- ASPHALT PAVEMENT
- INDICATES MASTER ASSOCIATION COMMON ELEMENT PLAT BOOK 1, PAGE 3674
- ▨ INDICATES MASTER ASSOCIATION LIMITED COMMON ELEMENT FOR PARCEL THREE-R PLAT BOOK 1, PAGE 3674
- ▩ INDICATES MASTER ASSOCIATION COMMON ELEMENT FOR BRIDGE EASEMENT PLAT BOOK 1, PAGE 3674

NOTICE:

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

NOTES:

1. According to Flood Insurance Rate Map 08113C0300 C dated September 30, 1988, this parcel lies within Flood Zone "X" (Areas determined to be outside the 500-year flood plain).
2. Easement research from Land Title Guarantee Company, Order No. ABS86008787, Effective Date 03/04/2019 at 5:00 P.M.
3. Lineal Units U.S. Survey Feet.
4. Improvements shown are from 4/2007 ILC, lot is completely snow covered. There is no evidence visible of any changes to the lot from the site inspection on 3/18/2019.
5. The use of this Improvement Location Certificate by any person or entity other than the person or entity certified to without the express permission of San Juan Surveying is prohibited.

PROPERTY DESCRIPTION:

Parcel Three-R, Belvedere Park Condominiums, A Common Interest Community, according to the Map recorded June 15, 2006 in Plat Book 1 at page 3674, and as defined and described in the Declaration of Covenants, Conditions, and Restrictions (Belvedere Park Condominiums, a Colorado Common Interest Ownership Community) recorded June 29, 2004 under Reception No. 367339.

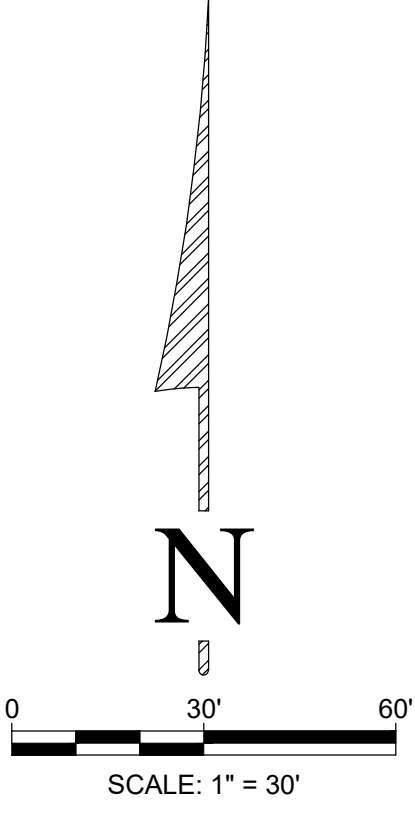
County of San Miguel,
State of Colorado

IMPROVEMENT LOCATION CERTIFICATE

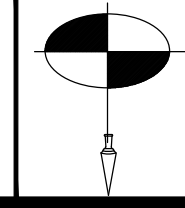
I hereby certify that this Improvement Location Certificate was prepared for Land Title Guarantee Company, Bariloche, LLC, and TCH Belvedere Phase Three, LLC, a Delaware Limited Liability Company, and that it is not a Land Survey Plat or Improvement Survey Plat, and that it is not to be relied upon for the establishment of fence, building, or other future improvement lines.

I further certify that the improvements on the above described parcel on this date, March 18, 2019, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated and, there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.

Christopher R. Kennedy
Christopher R. Kennedy, P.L.S. 36577
03/27/2019



IMPROVEMENT LOCATION CERTIFICATE
PARCEL THREE-R, BELVEDERE PARK CONDOMINIUMS



SAN JUAN SURVEYING
SURVEYING * PLANNING
102 SOCIETY DRIVE TELLURIDE, CO. 81435
(970) 728 - 1128 (970) 728 - 9201 fax
office@sanjuansurveying.net

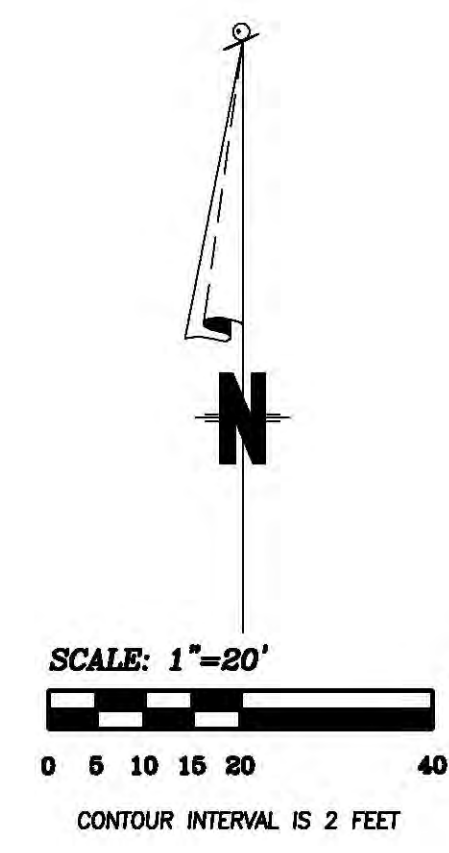
| | |
|-----------------|-----------|
| DATE: | 3/22/2019 |
| JOB: | 03110 |
| DRAWN BY: | ESS |
| CHECKED BY: | CRK |
| REVISION DATES: | |
| SHEET: | 1 OF 1 |

This topographic survey of Lot 27A and a portion of Tract OS-3F, Town of Mountain Village was field surveyed in July of 2006 under the direct responsibility, supervision and checking of Joshua J. Casselberry of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.

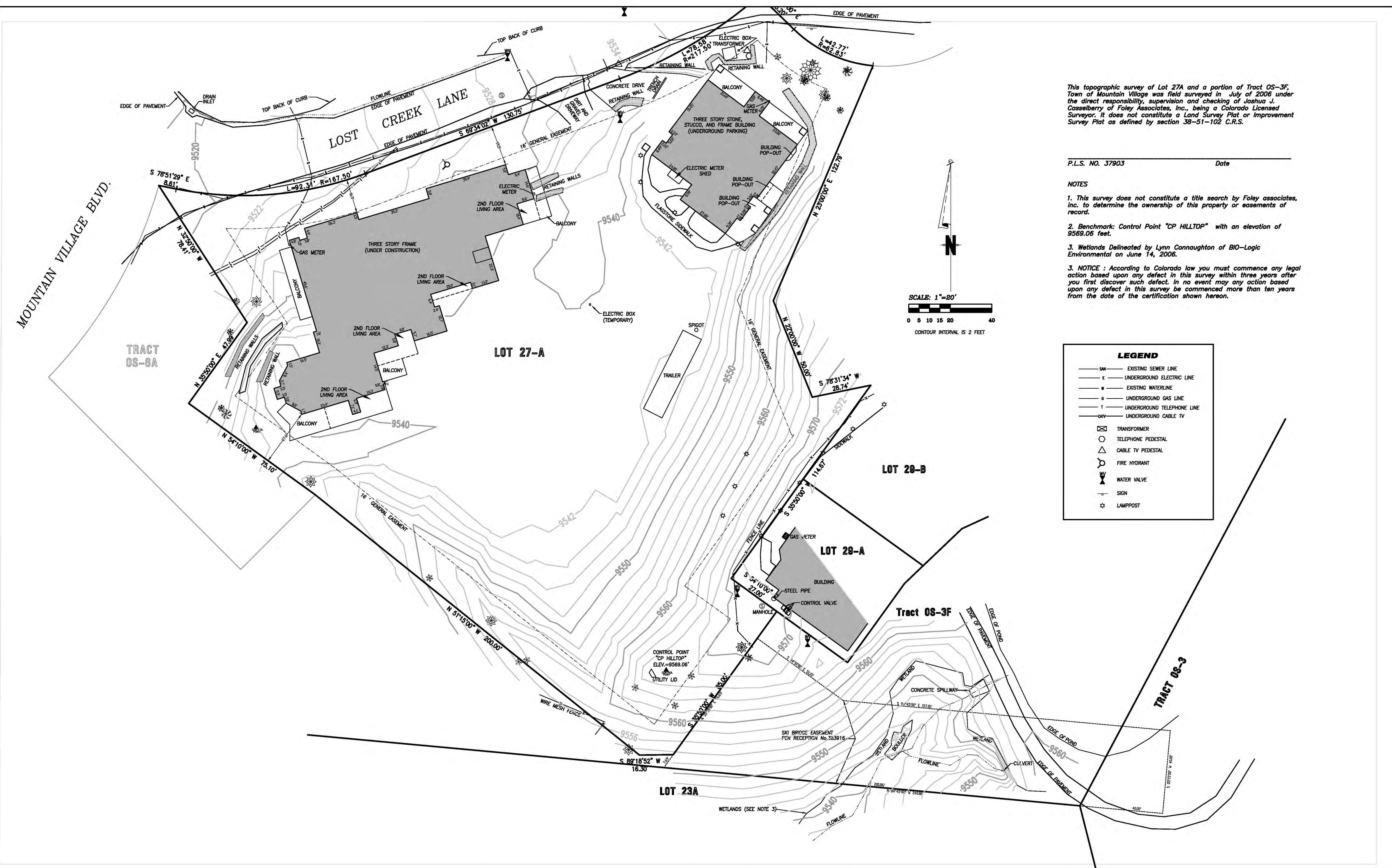
P.L.S. NO. 37903 Date

NOTES

1. This survey does not constitute a title search by Foley associates, inc. to determine the ownership of this property or easements of record.
2. Benchmark: Control Point "CP HILLTOP" with an elevation of 9569.06 feet.
3. Wetlands Delineated by Lynn Connaughton of BIO-Logic Environmental on June 14, 2006.
3. NOTICE : According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.



| LEGEND | |
|--------|----------------------------|
| —SW— | EXISTING SEWER LINE |
| —E— | UNDERGROUND ELECTRIC LINE |
| —W— | EXISTING WATERLINE |
| —G— | UNDERGROUND GAS LINE |
| —T— | UNDERGROUND TELEPHONE LINE |
| —C— | UNDERGROUND CABLE TV |
| ⊠ | TRANSFORMER |
| ○ | TELEPHONE PEDESTAL |
| △ | CABLE TV PEDESTAL |
| ⊕ | FIRE HYDRANT |
| ⊕ | WATER VALVE |
| — | SIGN |
| ☆ | LAMPOST |



TOPOGRAPHIC SURVEY LOT 27-A, TOWN OF MOUNTAIN VILLAGE

| Project Mgr: | Rev. | description | date | by |
|--------------|------|-------------|------|----|
| JC | | | | |
| Technician: | | | | |
| Checked by: | | | | |
| Start date: | | | | |



970-728-6153 970-728-6050 fax
P.O. BOX 1385
125 W. PACIFIC, SUITE B-1
TELLURIDE, COLORADO 81435

Z:\Old W\08S2005\05061\dwg\TOPO 07-06.dwg, 5/29/2014, 4:16:45 PM, dave



05/16/06



BELVEDERE PARK

PHASE III
LOT 27A, LOST CREEK LANE
MOUNTAIN VILLAGE, COLORADO

COPYRIGHT: ALL DRAWING AND WRITTEN INFORMATION APPEARING WITHIN SHALL NOT BE DUPLICATED, DISCLOSED OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF IVINS DESIGN GROUP, P.C.

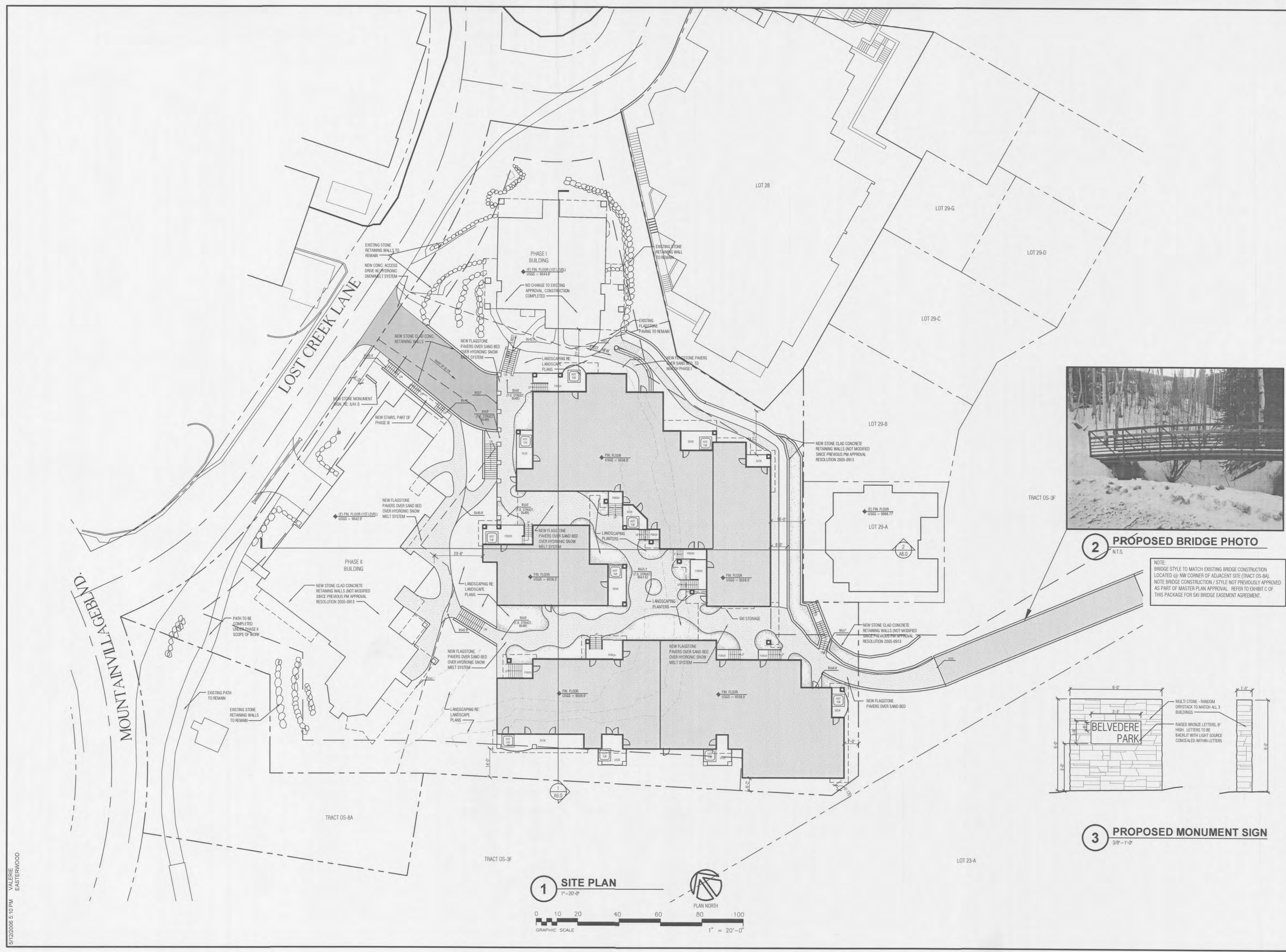
| REV. | DATE | ISSUED FOR: |
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JOB NO. 05014.0
DATE 05-16-06
SCALE:

SHEET TITLE
SITE PLAN

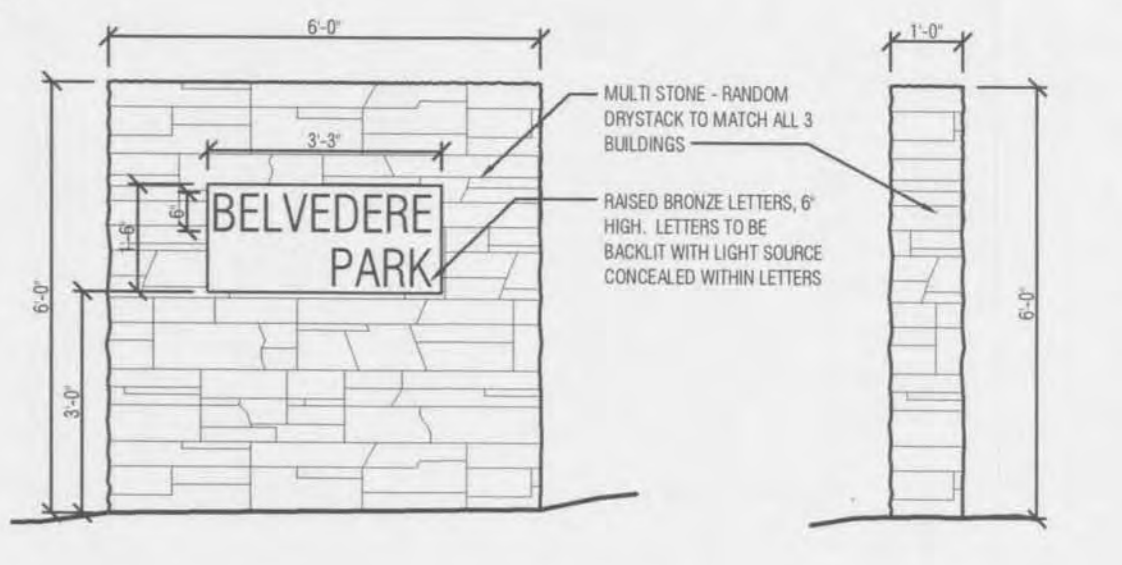
SHEET NO.

A1.0

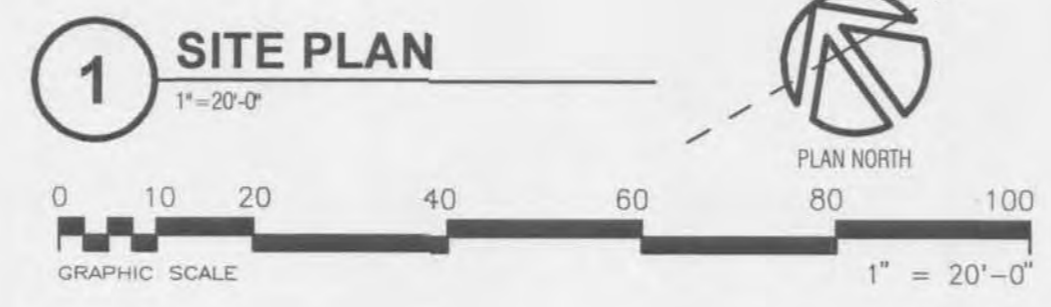


2 PROPOSED BRIDGE PHOTO
N.T.S.

NOTE: BRIDGE STYLE TO MATCH EXISTING BRIDGE CONSTRUCTION LOCATED @ NW CORNER OF ADJACENT SITE (TRACT OS-8A). NOTE BRIDGE CONSTRUCTION / STYLE NOT PREVIOUSLY APPROVED AS PART OF MASTER PLAN APPROVAL. REFER TO EXHIBIT C OF THIS PACKAGE FOR SKI BRIDGE EASEMENT AGREEMENT.



3 PROPOSED MONUMENT SIGN
3/8" = 1'-0"



5/12/2006 5:10 PM VALERIE EASTERWOOD

TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE INTERPRETATION

TOPIC: Comprehensive Plan development table applicability to projects with approved development plans inclusive of Planned Unit Development approvals or Master Development Plans

QUESTION: we would like to request an official interpretation from you as is authorized by the CDC in regards to the applicability of the development table in the comp plan to Belvedere Phase Three-R in light of the Master Plan for Belvedere's existence.

INTERPRETATION:

_if additional background attached

In review of the 2011 Comprehensive Plan, build out analysis and the associated development tables, staff has analyzed and researched the parcels listed and also not listed in the three development tables found in the Comprehensive Plan (found on pages 52, 62, 66) as it pertains to existing approved development plans (like approved Planned Unit Developments) or approved master development plans. After careful analysis, I am providing this interpretation to create better development clarity as it relates the Tables' relevance to properties with approved development plans or approved master development plans. This interpretation applies specifically to Table 7. Mountain Village Center Development Table, Table 8. Town Hall Center Development Table and Table 9. Meadows Development Table.

Staff has discerned that properties that have existing approved development plans or approved master development plans were omitted from the tables. The rationale is that if there is an existing approved development plan or master development plan, the anticipated development is already perfected so to anticipate a different development would be in conflict with existing town approvals.

For example, Lots 152R & 126R (commonly called Rosewood) and Lot 109R (commonly called the Mountain Village Hotel PUD) had valid Planned Unit Developments and were therefore not included in the Table 7. nor were associated site specific principles, policies or actions noted in the Comprehensive Plan. The Elkstone property, Lot 600A, in the Town Hall Center, is similar in that it was subject to a Master Development Plan, contemplating phased development, and omitted from Table 8 for that reason.

In only once instance did staff find that there is a listed parcel/lot specifically in Table 7. called Parcel N, which is listed as Lot 27, technically called 27A, that is subject to a master development plan. Table 7. creates a direct conflict with the master development plan as it anticipates heights, densities and flagship hotel designations not previously anticipated or approved by the master development plan.

Staffs interpretation is that when there is an existing approved development plan (a site

specific development plan inclusive of a Planned Unit Development) or a master development plan) that Table 7., Table 8, or Table 9 as applicable, does not apply. Site specific policies, as applicable could apply through the density transfer and rezone process at council's discretion

For the purposes of amendment to such properties, Comprehensive Plan general conformance can be determined by the relevant sections of the Comprehensive Plan as a whole. Amendments to properties with existing development approvals would rely upon either the PUD criteria, as applicable, or the master development plan, as applicable. I view the inclusion of Lot 27A as an error in the table because it has an approved master development plan.

APPLICABLE CODE SECTIONS:

- See definition of Master Development Plan
- Definition of Site Specific Development Plan
- Tables 7,8 and 9 of the 2011 Comprehensive Plan
- See CDC Section 17.4.11.E(2) Master Development Plan
- See CDC Section 17.4.12.I.(6) Prior Approved PUD's
- CDC Section 17.4.12.N. Planned Unit Development Amendment Process

FILE OR CASE # REFERENCE (if any): _____

APPROVED BY:  _____

Michelle Haynes,
Planning and Development Services Director

DATE: August 30, 2021



Agenda Item No. 5
**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

TO: Mountain Village Design Review Board
FROM: John Miller, Senior Planner
FOR: Design Review Board Public Hearing; October 7, 2021
DATE: September 27, 2021
RE: Final Architecture Review for a Multi-Family Development at Lot 30, 98 Aspen Ridge (continued from August 5, 2021)

PROJECT GEOGRAPHY

Legal Description: LOT 30 TELLURIDE MOUNTAIN VILLAGE FILING 1 PLAT BK 1 PG 1208 REPLAT BK 1 PG 2139 REC 10 16 96 AND PLAT BK 1 PG 860 AND 5 29 2002 AT 349360 DEANNEXATION AMENDMENT TO AMEND AND RESTATE DECS.

Address: 98 Aspen Ridge
Owner: AVVENTURA LLC
Zoning: Multi-Family Zone District / Commercial, Condo, Employee Apartment
Existing Uses: Commercial/Employee Apartment
Proposed Uses: Condominium/Employee
Condominium
Lot Size: 0.60 acres

Adjacent Land Uses:

- **North:** Active Open Space
- **South:** Active Open Space
- **East:** Active Open Space
- **West:** Multi-Family

ATTACHMENTS

- Exhibit A: Referral Comments
- Exhibit B: Narrative
- Exhibit C: Plan Set
- Exhibit D: Public Comments
- Exhibit E: Resolution 2018-0215-04



Figure 1: Vicinity Map

CASE SUMMARY: Timothy Losa of Zehren and Associates (Applicant), acting on behalf of Avventura, LLC (Owner) is requesting Design Review Board (DRB) approval of a Final Architectural Review (FAR) Application for a new multi-family development located at Lot 30, 98 Aspen Ridge. Lot 30 is currently vacant except for a mixed-use building (Building 100) located at its southwest corner that houses commercial space and an employee apartment. The remainder of Lot 30 carries a unique “Building Footprint” (TF) designation and allows for the development of a structure to lot lines provided that the Building Code setbacks are met, adequate fire access is provided, and the applicable requirements of the CDC are met

The proposed multi-family development also includes proposed common area amenities such as a concierge, lounge, ski and bike lockers, hot tub, and exercise area – which are housed in a 3,215 sq. ft. clubhouse facility. As currently proposed, the existing commercial space and employee apartment within Building 100 would be rezoned to two employee condominiums, but the commercial density would remain as a potential future use.

It should be noted that the Town Council at their July hearing, requested that the applicant revise the plans for Building 100 to accommodate a total of 3 employee condominiums which is not reflected in this proposal. With that, the DRB should condition this change to be provided as part of building permitting, given that Building 100 currently exists and would simply require a retrofitting of the space to accommodate the additional unit. It will be important that the floor layout of these units be reviewed and approved by the Mountain Village Housing Authority prior to building permitting.

At the August 19, 2021, Town Council Meeting – the Council directed the DRB to allow for an Alternative Parking Requirement due to the increased employee condominium unit density required by Town Council through the Density Transfer and Rezone process. The applicant has provided an Alternative Parking Requirement narrative addressing the reduced parking request.

Referral Comment Discussion:

The following comments have been provided from various referral agencies:

Public Works Director: “Public Works does not want a curb cut for Lot 30 off of Mountain Village Blvd. Access to Lot 30 must come from Aspen Ridge Drive. Public Works has reviewed the most recent site plan for Lot 30, ASP1.02 and has found the access and the delivery area acceptable on Aspen Ridge.”

Fire Department: 1) The structure shall require a monitored sprinkler system in compliance with NFPA 13R. 2) A Fire Department Connection installed on one side of the porte-cochere. 4.5” Storz fitting. 3) Porte-cochere height shall meet IFC 503.2.1 Dimensions. 4) The address numbers shall be reflective coated or outlined with a reflective coating. 5) Knox Box installed 60” from grade above the FDC.

Parks and Recreation: There’s a swath of TSG open space between lot 30 and the Blvd., but we want to make sure that we get a there is a sidewalk between Aspen Ridge Road and the bridge. It would be great if we could tie into the trail down to the Peaks too.

Please note, this Memo addresses only changes or additional information provided since the first Final Architecture Review meeting held on August 5, 2021. For more information regarding the details of previous memos provided for Final Architecture Review or Initial Architectural and Site Review please see staff memo of records dated August 5 and July 6, 2021.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The Applicant is required to follow all requirements even if an applicable section of the CDC is not cited. *Please note that Staff comments will be indicated by Italicized Text.*

Table 1

| <u>CDC Provision</u> | <u>Requirement</u> | <u>Proposed</u> |
|----------------------------------|--------------------------|-----------------|
| Maximum Building Height | 48'+5' (53' gabled roof) | 52.9 feet |
| Maximum Average Height | 48'+5' (53' gabled roof) | 39.9 feet |
| Maximum Lot Coverage | up to 100% * | 73.3% |
| General Easement Setbacks | No GE | n/a |
| Roof Pitch | | |
| Primary | | 8:12 |
| Secondary | | Multiple |
| Exterior Material | | |
| Stone | 35% minimum | 35.25% |
| Windows/Doors | 40% maximum | 10.25% |
| Stucco | No requirement | 0% |
| Metal | No requirement | 4% |
| Wood | No requirement | 50.50% |
| Parking** | 30 (1.5 per unit) | 24 Garage |
| | 1-5 HOA | 1 |

*Lot 30 carries a footprint lot (TF) designation, and 100% site coverage is allowed.

** The applicant has provided a Alternative Parking Analysis endorsed by the Town Council for a 1.2 space per unit parking requirement, resulting in a requirement of 25 parking spaces.

Design Review Board Specific Approvals:

Section 17.5.8(A)(6): Alternative Parking Plan allowing for 1.2 spaces per unit.

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. Gable roof forms in the multi-family zone district are permitted a maximum building height and maximum average building height of 53 feet above the most restrictive grade.

Staff: Criteria Met.

17.3.14: General Easement Setbacks

Lot 30 is not burdened by any General Easements or Setbacks.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: Criteria Met.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: Criteria Met.

17.5.6: Building Design

Staff: The design incorporates traditional alpine design elements such as gabled roof forms and materials as stone, wood, and metal. Since the last Design Review meeting, the applicant has entirely removed the stucco elements from the building design. In order to accomplish this, the applicant increased the stone and stucco amounts as currently shown in Table 1 of this memo. The stucco was a DRB concern, and this change eliminates that design element entirely.

The Applicant has indicated that the entrance drive and motor court will be snow melted, but it is unclear at this time the total square footage of the snowmelt area as proposed. The CDC allows for a total of 1000 square feet and an additional 50 square feet per unit of snowmelt to be exempt from mitigation requirements. If the total amount of area covered by snowmelt exceeds this allowed amount, the owner will be required to offset this energy use with a fee.

17.5.7: Grading and Drainage Design

Staff: The Applicant has provided a Grading and Drainage plan in accordance with the requirements of the CDC. As such, the following should be noted:

- *Section 17.5.8: Parking Regulations require that sand and oil traps shall be provided in all parking garage drainage systems, and the drainage plan should be revised to reflect such. The Applicant has addressed this requirement.*
- *As shown on this plan, the Applicant is proposing to access Lot 30 from an existing access easement across Tract OS1AR3. As designed, the proposed access will require the easement to shift slightly to the west of its current location – this also must be granted by the owner of the tract.*
- *The applicant has revised the grading and drainage plan along with some floor plans to allow for some additional area surrounding the building in order to construct the project without encroaching on neighboring property. This includes minor retaining walls associated with the project.*

17.5.8: Parking Regulations *(this section has been updated for 10.7.21 meeting)*

Lot 30 is zoned multi-family, a zoning designation that is intended to provide higher density multi-family uses limited to multi-family dwellings, hotbed development, recreational trails, workforce housing, and similar uses. In the multi-family zone, condo and employee condo units require 1.5 units of parking.

The CDC allows for the Applicant to propose an Alternative Parking Requirement, stating that “the town recognizes the minimum parking requirements set forth in this section are based on standard parking requirements applied in similar jurisdictions, and that parking demands for a use may change over time due to changes in key variables that impact the amount of required parking, such as the number of people travelling to town by airplanes and mass transit ground transportation”. In order to propose an alternative parking requirement, the Applicant must demonstrate that the proposed parking shall be sufficient to serve the proposed uses, and that the alternative parking requirements are not detrimental to public health, safety, and welfare.

Alternative parking requirements may be approved by the review authority for class 3, 4 or 5 development applications. Given that the Town Council is the review authority for Class 4 Density Transfer and Rezone and the DRB is the review authority for the concurrent Class 3 Design Review, staff recommended that the Town Council discuss the request as it relates to the Class 4 Density Transfer and if they feel it appropriate, to direct the DRB to, at minimum, grant the Alternative Parking requirement based on the requested additional employee condo unit. The Applicant has provided a parking narrative and analysis per the CDC requirement that demonstrates parking demand for Dense Multi-Use buildings near public transit and this report demonstrates that 1.2 spaces per dwelling unit is appropriate. Based on this report, 20 units would require a total of 24 spaces less the HOA short term spaces and would otherwise be met under the proposed parking shown in the current design plan.

The following items should be noted:

- 1. Tandem Parking: The Applicant has revised and removed the request for Tandem Parking.*

Staff maintains the recommendation that the Owner of Lot 30 enter into a development agreement that can memorialize the town's requirement of 1.2 spaces per unit. If the DRB agrees, then a condition of approval shall be included in any approval, requiring this prior to the issuance of a Certificate of Occupancy.

Staff is also requesting a condition that the Draft Condominium Map and Declarations addressing Section 17.5.8 of the CDC, be provided to the Town prior to the issuance of a Certificate of Occupancy.

17.5.9: Landscaping Regulations *(this section has been updated for 10.7.21 meeting)*

The Applicant has provided a landscape plan for Final Review. Due to the footprint of the project, the entirety of all trees on Lot 30 will be required to be removed during construction. Given the large amount of mature existing trees on the surrounding open space, this does not appear to be problematic. The applicant is otherwise proposing approximately 450 sq ft of landscaping areas with the remainder of the adjacent areas disturbed during construction to be revegetated with native seed mix.

It should also be noted that the CDC requires that multi-family development occurring adjacent to pedestrian paths and/or hiking and biking trails provide linkages to those trails as part of their landscaping plan. The Parks and Recreation Department provided comments related to this and suggested a sidewalk as part of this requirement. The applicant has indicated that this is acceptable, and they would provide these linkages – dependent on the granting of this by the owner of the adjacent open space. Finally, the Applicant will be required to provide financial guarantees as part of the landscaping plan prior to the issuance of a Certificate of Occupancy.

17.5.10: Trash, Recycling, and General Storage Areas

Staff: Criteria Met.

17.5.11: Utilities

Staff: Criteria Met.

17.5.12: Lighting Regulations *(this section has been updated for 10.7.21 meeting)*

Staff: The Applicant has submitted a lighting plan for final review and generally speaking, it appears to meet the requirements of the CDC. Additionally, the photometric study appears to meet the requirements for Foot Candles on the site. The lighting plan appears to be subdued with

the majority of the proposed lighting either step lights or recessed can lights. It should be noted that the hot tub would assumably have lighting, and this was not shown other than the step lights surrounding it. The DRB requested additional lighting for the motor court and the plans have been revised accordingly with the applicant providing a bollard lighting system for this area. The bollard exceeds Lumen allowances, but the cut sheet indicates that it is a dimmable fixture. These bollards shall be limited in overall lumen output as a condition of approval.

17.5.13: Sign Regulations

Staff: The Applicant has not provided details on the address monument/location at this time and is requesting that this design portion of the application be granted at a later date by either staff or a member of the DRB in conjunction with staff.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: The majority of the vegetation on Lot 30 will be removed as part of the site preparation. As such, staff is suggesting that the owner of Lot 30 and the owner of OS1AR3 coordinate for fire mitigation work to occur within OS1AR3. Otherwise, the provisions of this section do not apply with the exception of any proposed landscaping meeting the requirements for fire resistance.

Steep Slopes: The building site does not contain steep slopes.

17.6.6: Roads and Driveway Standards

Staff: Criteria Met.

17.6.8: Solid Fuel Burning Device Regulations

Staff: All fireplaces within the proposal are to run on natural gas unless solid fuel burning permits are obtained prior to building permitting.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation *(this section has been updated for 10.7.21 meeting)*

Staff: The Applicant has provided a Construction Mitigation Plan for final review and staff will note the following:

- 1. The crane radius has been modified to no longer overhang the adjacent open space.*
- 2. There will be limited operation space between the construction fencing the proposed structure. The applicant has indicated that this spacing will be enough, but if its determined that additional impacts will occur on the adjacent open space, the applicant shall provide written authorization from the owner of the open space prior to disturbance.*

RECOMMENDATION: Based on the above findings within this memo of record, staff finds that the application meets the requirements of the CDC for the Final Architecture Review.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

I move to approve the Final Architecture Review for a new multi-family condominium located at Lot 30, 98 Aspen Ridge, based on the evidence provided within the Staff Memo of record dated September 27, 2021, with the following Specific Approvals:

- 1) Design Review Board Specific Approvals:**
Section 17.5.8(A)(6): Alternative Parking Plan allowing for 1.2 spaces per unit.

and, with the following conditions:

- 1) The proposed bollard lighting for the Courtyard area shall be operated on a dimmer to limit overall lumen output.
- 2) Prior to the issuance of a building permit, the applicant shall submit proposed floorplans for Building 100 to the Town of Mountain Village Housing Authority for review and approval. The applicant shall simultaneously provide these plans to the Planning Division for the appropriate design review approval for the conversion of the existing commercial space into 2 additional residential units.
- 3) Prior to the issuance of a building permit, the Applicant shall receive approval from the Town Forester for the proposed landscaping plan as well as obtain a tree permit for any tree removal on the site.
- 4) Prior to the issuance of a building permit, the Applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 5) Prior to issuance of a building permit, the Applicant shall provide written permissions from the property owner of OS1AR3 for sewer connections. Any utility installation that creates disturbed areas shall be revegetated per the requirements of the CDC.
- 6) Prior to the issuance of a Certificate of Occupancy, the Owner of Lot 30 enter into a development agreement memorialize the underlying parking requirements per unit and designating that all parking at Lot 30 shall not be sold or otherwise conveyed.
- 7) Town of Mountain Village 1997 Deed Restrictions for each built unit shall be executed prior to the issuance of a Certificate of Occupancy per Section 17.3.9 consistent with the requirements found at CDC Section 17.3.9.
- 8) Prior to the issuance of a Certificate of Occupancy Condominium Map and Declarations addressing Section 17.5.8 of the CDC shall be provided to the Town for review.
- 9) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 10) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 11) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments outside of Lot 30.
- 12) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior material.
- 13) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

This motion is based on the evidence and testimony provided at a public hearing held on October 7, 2021, with notice of such hearing as required by the Community Development Code.



September 28, 2021

John Miller
Senior Planner
Town of Mountain Village
Via Electronic Mail: JohnMiller@mtnvillage.org

Re: Lot 30 Development Narrative
Design Review Application

John:

Lot 30 is owned by Avventura, LLC, a Colorado limited liability company. The principal of Avventura, LLC is Dr. Louis C. Alaia. Dr. Alaia has owned property in Mountain Village since the inception of the Telluride Ski Area in 1972. In 2007, Dr. Alaia developed the Tramontana project which is located across Aspen Ridge Drive on Lot 31.

Avventura submitted concurrent applications for both Class 4 Rezoning/Density Transfer and Class 3 Design Review for a Multi-Family Development on Lot 30. DRB recommended approval of the Rezoning/Density Transfer Application and approved the Design Review: Initial Architecture Review for a Multi-Family Development on July 1, 2021. DRB considered the Lot 30 Design Review: Final Architecture Review for a Multi-Family Development on August 5, 2021 and continued the review to the October 7, 2021 DRB meeting. Town Council approved the Rezoning/Density Transfer Application on August 19, 2021. As part of Town Council's approval of the Rezoning/Density Transfer Application, Town Council required that the number of employee units within the project be increased from the three units originally proposed to a total of four units.

REVISIONS IN RESPONSE TO AUGUST 5, 2021, DESIGN REVIEW COMMENTS

- Removal of stucco from the building exterior.
- Addition of three exterior (directional) bollard light fixtures within the courtyard area.
- Division of one employee unit within 98 Aspen Ridge Drive into two units.

The Lot 30 project consists of sixteen Condominium Units, four Employee Condominium Units, and common area amenities including a concierge/reception, lounge, ski and bike lockers, hot tub, and exercise area in a common clubhouse facility exclusively for the benefit of unit owners and their guests. The proposed development is in addition to the existing building located on Lot 30 at 98 Aspen Ridge Drive, which includes one existing employee unit of approximately 678 square feet and approximately 1,710 square feet of commercial space, which will be converted into two Employee Condominiums. The total number of Employee Condominium Unit to be located on Lot 30 will be four units.



BACKGROUND

Lot 30 is zoned as a “Multi-family” Lot and carries a “TF” or “Building Footprint” designation. It is currently allocated nine, (9), Condominium Units and two, (2), Employee Apartment Units of density.

Lot 30 and Lot 11 were re-platted in 1996 to incorporate a building located on Lot 11 that was originally constructed in connection with the Aspen Ridge development within the reconfigured boundaries of Lot 30.

Lot 30 is also referenced in the Town’s Comprehensive Plan under Parcel M, which included Lot 30 and portions of open space owned by TSG. The Town’s Comprehensive Plan was amended in 2018 to provide that Lot 30 could be developed separate and apart from surrounding Open Space Parcel OS1AR-3. Lot 30 is also designated as part of the Village Center Subarea in the Future Land Use Plan.

In 2019, Avventura rezoned approximately 678 square feet of the Commercial Space within the existing building to create one (1) Employee Unit. The remaining 1,710 square feet within the building continues to be zoned as Commercial and is currently used as office space. The remaining commercial area will be converted into two (2) Employee Condominium Units.

REZONING/DENSITY TRANSFER APPLICATION APPROVED BY TOWN COUNCIL

Density (CDC 17.3.7; CDC 17.3.8)

Town Council approved the Lot 30 Rezoning/Density Transfer Application on August 19, 2021, which transfers 21 persons of density from the Density Bank to Lot 30 to provide seven (7) additional Condominium Units, for a total of sixteen (16) Condominium Units and increases the number of employee units from two (2) Employee Apartment Units to a total of four (4) Employee Condominium Units.

| Existing Density | | | |
|--------------------|-----------------|------------------------|-------------------------|
| Unit Type | Number of Units | Person Equivalent/Unit | Total Person Equivalent |
| Condominium | 9.0 | 3.0 | 27.0 |
| Employee Apartment | 2.0 | 3.0 | 6.0 |
| Total | 11.0 | 3 | 33.0 |



| Density to be Transferred to Lot 30 | | | |
|--|-----------------|------------------------|-------------------------|
| Density Bank Certificate Number Unit Type ¹ | Number of Units | Person Equivalent/Unit | Total Person Equivalent |
| 054 Single Family | 0.5 | 4.0 | 2.0 |
| 055 Single Family | 1.0 | 4.0 | 4.0 |
| 056 Single Family | 1.0 | 4.0 | 4.0 |
| 057 Single Family | 1.0 | 4.0 | 4.0 |
| 058 Single Family | 1.0 | 4.0 | 4.0 |
| 050 Condominium | 1.0 | 3.0 | 3.0 |
| Employee Condominium ² | 2.0 | 3.0 | 6.0 |
| Additional Density Transferred to Lot 30 | | | 27.0 |

| Proposed Density | | | |
|----------------------|-----------------|------------------------|-------------------------|
| Unit Type | Number of Units | Person Equivalent/Unit | Total Person Equivalent |
| Condominium | 16.0 | 3.0 | 48.0 |
| Employee Condominium | 4.0 | 3.0 | 12.0 |
| Total | 20.0 | 3.0 | 60.0 |

Uses (CDC 17.3.4.D)

The Multi-family Zone district allows for development of condominium and employee units as permitted uses. The current building located on Lot 30 was constructed by the developer of the Aspen Ridge project with approximately 2,448 square feet of Commercial space. In 2019, Avventura rezoned approximately 678 square feet of the commercial space within the building to create one (1) Employee Unit. The remaining 1,710 square feet within the building continues to be zoned as Commercial and is currently used as office space. The commercial space will be converted to two employee units.

Workforce Housing (CDC 17.3.9)

Lot 30 is required to construct two, (2), employee apartment units. One, (1), employee unit was created by Avventura in 2019 and is located within the existing building on Lot 30. That employee unit is currently occupied in compliance with the Town of Mountain Village Employee Housing Deed Restriction. Avventura is proposing a total of four (4) Employee Condominium Units in the project.

- Avventura is proposing to convert the existing commercial space into two (2) additional Employee Condominium Units within the existing building on Lot 30 for a total of three (3) Employee Condominiums within the existing building.
- Avventura is also proposing to construct one (1) additional Employee Condominium Unit within the new construction proposed for Lot 30.

¹ Density represented by the density bank certificates is owned by Avventura. The Single Family persons of density will be rezoned to Condominium.

² The Town of Mountain Village will either create 2 additional Employee Condominium Units or will transfer 2 Employee Condominium Units from the Density Bank owned by the Town of Mountain Village.



Building Height Limits (CDC 17.3.11 and 17.3.12)

The CDC limits the maximum and maximum average building height on multi-family lots to 48 feet. However, the ridge of a gable, hip, gambrel, or similar pitched roof may extend the maximum building height up to five (5) feet above the specified maximum height limit.

- The proposed average height is 39.9 feet, 8.1 feet below the maximum average height limit.
- The absolute height does not exceed a maximum dimension of 53 feet when measured to a building ridge or mechanical “chimney”.
 - The maximum height exceeds 52 feet but does not exceed feet 53 feet in six locations.
 - Two locations are mechanical “chimneys”, or vents above elevators.
 - All other locations are roof ridges where the natural grade is significantly lower than the proposed grades at the outer edges of the structure.

Maximum Lot Coverage (CDC 17.3.13)

Lot 30 is designated as a “TF” or “Building Footprint Lot”. As such, lot coverage is interpreted to be 100% provided building code, setbacks, fire access, and applicable requirements of the CDC are met.

- The proposed structure has fire access from Aspen Way, Mountain Village Boulevard and Aspen Ridge Drive, and complies with provisions of adopted building codes related to distances to property lines.

General Easement Setbacks (CDC 17.3.13)

There is no general easement setback on Lot 30 as the lot is designated as a “Building Footprint Lot” allowing development of structures to the lot line.

Building Design (CDC 17.5.6)

Although the project is located outside the Village Center Zone District, the town’s Future Land Use plan does incorporate Lot 30 within the Village Center Subarea. Given that Lot 30 occupies a meaningful location as a visual “transition” or “gateway” into the more-dense Village Center, the design of the project steps in scale from the Aspen Ridge multi-family structures southwest of Lot 30, to the taller, higher density structures of in the Village Center, including Granita, located directly across Mountain Village Boulevard and the Meadows Ski Run to the north and east.

In complying with CDC 17.5.6, the project has been designed to comply with CDC design requirements including:

- Making use natural boulder walls to transition grades while minimizing the use of structural site retaining walls.
- Grounding the building to the site with the use of stone as the primary exterior finish material
- Utilizing stepped roof forms that emphasize sloped planes, varied ridgelines, vertical offsets, as well as a combination of shed and gabled dormers to add visual interest.
- Applying Decks, balconies, and bay windows to create variety, visual interest, and detail on the exterior elevations to minimize any perceived mass.
- Using naturally weathering exterior materials and colors that harmonize with surrounding buildings and the landscape, while providing variety and a unique identity for the project.



Grading and Drainage Design (CDC 17.5.7)

No slopes over 30 percent, wetlands or drainages are located within the proposed development site.

Preliminary grading has been designed to blend with the surrounding infrastructure and the existing landscape on Lot OS1AR-3 while generally maintaining existing drainage patterns.

- Boulder retaining walls are provided at the northwest and northeast corners of the site to allow for egress and range in height from approximately 12 inches to 42 inches.
- A structural planter wall is proposed along the west property line varying in height from approximately 24 inches to 42 inches.
- The proposed access drive complies with grading requirements identified within the CDC and does not exceed 5% for the first 20 feet along Aspen Ridge Road, and 10% thereafter.
- Stormwater will be collected from paved areas and retained on-site within drywells engineered in accordance with adopted town standards, allowing for direct recharge of stormwater to the water table.
 - Stormwater collected from vehicular parking areas will be filtered with a sand/oil separator prior to discharge into drywells.

Parking Regulations (CDC 17.5.8)

See **Exhibit A** for parking discussion and analysis

Loading/Unloading

- The Blue Mesa Loading/Unloading and Parking Delivery Zone, which is twelve feet (12') in width by fifty-five feet (55') in length, with fourteen feet (14') of overhead clearance, is located directly adjacent to the project site across Mountain Village Boulevard. (Attachment).
- The project includes a loading and delivery area, which is twelve feet (12') in width by thirty feet (30') in length, with fourteen feet (14') of overhead clearance, in conjunction with vehicular and pedestrian access to the project off Aspen Ridge Drive.

It should be noted that standard engineering practice typically accounts for 85% of the maximum on-site capacity and that:

- The intended uses are solely limited to individually owned or leased residential condominiums; there are no hospitality, restaurant, commercial, or retail uses proposed as part of the development.
 - The lack of an enclosed, on-site loading bay is consistent with other multi-family residential condominiums of similar size with a similar number of units within the Town of Mountain Village and other comparable resorts.
 - Residential refuse is accommodated in accordance with CDC 17.5.10, and does not require a compactor or dumpster.
- The provision of WB-50 (55 foot long) vehicles on site could be detrimental to public health, safety, and welfare as:
 - A minimum of one additional vehicle access point would be required on Mountain Village Boulevard.
 - Due to configuration and grading of the lot and adjacent roadways, turning movements for vehicles of this size would require vehicles to cross into oncoming traffic lanes.



Landscaping (CDC 17.5.9)

As the Lot is designed as a "TF" or building footprint lot, there are no setback or maximum site coverage requirements.

- Approximately 450 square feet of formal landscaping will be provided within two planting beds.
- All other areas disturbed by construction activities will be revegetated with natural materials to blend with the existing landscape.

Trash, Recycling and General Storage Areas (CDC 17.5.10)

Designated storage units have been provided for each unit either at the end of a parking space or within common storage areas.

A bicycle storage room accommodating approximately +/- 70 bicycles and +/- 40 ski/snowboard lockers have been indicated at level 0.

A common trash enclosure of approximately 225 square feet with a ceiling height of ten feet is provided adjacent to the snow-melted drive at the southwest corner of the site.

- A minimum enclosure of 120 square feet is required for multifamily projects of greater than four units under CDC regulations.
- As the building contains less than 25 units, trash compaction units or dumpsters are not required or anticipated. Trash and Recycling will be stored within standard, bear proof 96-gallon residential poly-carts as provided by the local waste management service.

Utilities (CDC 17.5.11)

Existing utilities and proposed utility routing are addressed in accordance with Design Review Requirements.

Lighting (CDC 17.5.12)

Minimal site lighting related to building egress in accordance with adopted life safety codes has been indicated. No surface or decorative lighting fixtures have been indicated in the attached lighting plan.

Sign Regulations (CDC 17.5.13)

Monument signage will be addressed in greater detail prior to the second meeting and/or under a separate joint application with adjacent property owners.

Please do not hesitate to contact me with any questions concerns or clarifications regarding the content of this narrative.

A handwritten signature in black ink, appearing to read 'Timothy Losa'.

Timothy Losa, AIA, NCARB
Principal
Zehren and Associates, Inc.



September 29, 2021

John Miller
Senior Planner
Town of Mountain Village
Via Electronic Mail: JohnMiller@mtnvillage.org

Re: Lot 30 Development Narrative
Exhibit C - Parking

John:

At the August 19, 2021 Town Council hearing on the Lot 30 Density Transfer Application, the Town Council approved the application and directed Adventura, LLC ("Adventura"), the developer of Lot 30, to provide one additional employee unit within the Lot 30 project for a total of four employee units. The Town Council's approval specifically stated that "The Town Councils finds that the proposed alternative parking requirements shall provide sufficient parking spaces to serve the proposed use and directs DRB to waive the requirement for one additional required space under the current parking regulations, Table 5-2, Section 17.5.8 of the CDC. As you will recall, Adventura stated that in order to add one additional employee unit to the project, the "Alternative Parking Requirement" for the project would need to be approved.

This submittal provides additional detail regarding the alternative parking requirement previously proposed and discussed at the August 19, 2021 Town Council hearing that is referenced in the Town Council motion of approval.

ALTERNATIVE PARKING REQUIREMENT.

The Community Development Code ("CDC") specifically provides for *alternative* parking requirements to the minimum parking requirements for each Zone District and type of density unit set forth in the CDC. CDC Section 17.5.8(A)(6) provides as follows:

6. Alternative Parking Requirement

- a. The Town recognizes that the minimum parking requirements set forth in this section are based on standard parking requirements applied in similar jurisdictions, and that parking demands for a use may change over time due to changes in key variables that impact the amount of required parking, such as the number of people travelling to the town by airplanes and mass transit ground transportation. It is, therefore, important to allow alternative parking requirements to be proposed by a developer. Alternative parking requirements may be approved by the review authority for class 3, 4 or 5 development applications subject to the following findings:
 - i. The alternative parking requirements shall be sufficient to meet the parking demand for the proposed uses; and
 - ii. The alternative parking requirements shall not be detrimental to the public health, safety and welfare.



- b. Any developer proposing alternative parking requirements shall submit a parking study prepared by a qualified parking or transportation consultant that confirms that the proposed minimum parking requirements shall provide sufficient parking spaces to serve the proposed uses.
- c. The review authority shall determine the final parking requirements concurrent with the required development application.

CDC REQUIRED PARKING FOR MULTI-FAMILY LOTS OUTSIDE OF THE VILLAGE CENTER.

Lot 30 is uniquely situated in that it is zoned as a Multi-Family Lot located outside of the Village Center Zone District but is specifically designated as part of the **Village Center Subarea**. CDC Section 17.5.8.A provides a parking requirement of 1.50 spaces for each Condominium Unit and Employee Unit located on a Multi-Family Lot. In addition, 1.00 parking space is required to be provided and designated for HOA maintenance purposes. Applying these parking requirements to the Lot 30 project, (now including 4 employee units), results in the following parking space calculations:

| Lot 30 Required Parking Outside Village Center Per Table 5-2 CDC Section 17.5.8.A.1 | | | |
|--|--------------|----------------------------------|--------------------------------|
| Zoning Designation/Use | Units | Parking Space Requirement | Parking Spaces Required |
| <i>Condominium Unit</i> | 16 | 1.50 | 24 |
| <i>Employee Condo/Apt. Unit</i> | 4 | 1.50 | 6 |
| Association Maintenance (17.5.8.A.4) | | 1.00 | 1 |
| Total | 20 | | 31 |

PARKING DEMAND ANALYSIS

Lot 30 is located immediately adjacent to the Village Center separated only by the width of Mountain Village Boulevard. Lot 30 is ideally situated with the Village Center in terms of access to pedestrian pathways, mass transit, retail, hospitality, employment centers, and recreational amenities creating little vehicular traffic and hourly variation in parking demand. Given the immediate geographic location of Lot 30 to the Village Center, the analysis undertaken for an Alternative Parking Requirement for the Lot 30 project takes into consideration the following data: (i) parking space requirements for the Village Center under the CDC (Attachment 1), (ii) previous parking studies provided to the Town (Attachment 2); and (iii) nationally adopted standards for forecasting parking demand in the Parking Generation Manual published by the Institute of Transportation Engineers (Attachment 3).

As indicated in **Attachment 1**, parking for Condominium and Employee Units is reduced under CDC 17.5.8.A by 33% from 1.5 to 1.0 space per unit for projects within Village Center Zone District boundaries. Although the Lot 30 is not technically located within the Village Center Zone District, Lot 30 is immediately adjacent to and shares common borders with the Village Center. In addition, the Town’s future land use plan set forth in the Town’s Comprehensive Plan specifically includes Lot 30 within the



boundaries of the *Village Center Subarea*, which contemplates significantly higher densities due to the proximity to the Village Center transit, loading and unloading services and amenities.

A parking study for The Ridge project was completed in 2015 (see **Attachment 2**) and was the basis for the Town's 2019 approval of an alternative parking requirement for The Ridge reducing the parking space requirement from 1.5 to 1.0 spaces per Condominium Unit. (The Ridge project is similarly zoned Multi-Family and is located outside of the Village Center.) The Ridge study was completed between the Christmas and New Year's Holiday and indicated that parking demand ranged from 0.35 to 1.0 spaces per residential unit with an average of 0.62 spaces. Although the study did not specifically account for employee units, this study generally concludes that the average parking demand, during one of the most intensive use time periods during the year, is only 62% of the 1.0 space per residential unit, or a 38% reduction as would be required by CDC 17.5.8.A.6 for residential units within the Village Center, and a 59% reduction from the 1.5 spaces per residential unit required for properties outside the Village Center boundaries.

The 5th Edition of the Parking Generation Manual published by the Institute of Transportation Engineers forecasts that parking demand for Multifamily Housing under the Mid-Rise/Dense Multi-Use Urban classification (see **Attachment 3**) would average approximately 1.2 space per dwelling unit representing 20% reduction in parking than would be required under the CDC. Furthermore, a peak demand of 83% or greater of the total capacity occurs, on average between 9:00 pm and 6:00 am weekdays and between 10:00 pm and 9:00 am on Saturdays.

PARKING DEMAND CONCLUSIONS

Based upon our review of the CDC, The Ridge study including the alternative parking requirement approved by the Town for The Ridge in 2019, ITE national standards, and our professional experience within other similar mountain resorts within the state and elsewhere, an alternative parking requirement for Lot 30 should be based on 1.2 spaces per each Condominium and Employee unit. A proposed 20% reduction in the parking rate from 1.5 to 1.2 spaces per residential unit is more than sufficient to meet the proposed parking demand as it correlates with published national standards and represents a 20% increase over that approved for the Ridge in 2019. Given that the forecasted parking demand for Lot 30 applying either the Village Center requirements, The Ridge study calculations, or ITE standards would be satisfied with a parking requirement of 1.2 spaces per unit, this alternative parking requirement would not be detrimental to the health, safety, or welfare of the public.

Under the CDC, the Lot 30 project is required to provide one dedicated parking space for homeowner's association maintenance. Peak demand for this type of dedicated space would typically occur weekdays between 9:00 am and 5:00 pm. Additionally, because demand for residential and maintenance/service uses typically occur at different times of the day, it may be appropriate to consider allowing residential use of the single required maintenance space between 7:00 pm and 8:00 am, potentially providing an additional space that could be utilized during peak demand.

Utilizing an Alternative Parking Requirement for Lot 30 of 1.20 spaces rather than 1.50 spaces per unit, the required number of parking spaces for the 20 units is 24 parking spaces, plus one HOA maintenance space for a total of **25 parking** spaces as set forth in the following table:



| Lot 30 Alternative Parking Requirement | | | |
|---|-----------|---------------------------|-------------------------|
| Zoning Designation/Use | Units | Parking Space Requirement | Parking Spaces Required |
| Condominium Unit | 16 | 1.20 | 19.20 |
| Employee Condo/Apt. Unit | 4 | 1.20 | 4.80 |
| Association Maintenance (17.5.8.A.4) | | 1.00 | 1 |
| Total | 20 | | 25 |

PARKING SPACE DESIGNATIONS AND MANAGEMENT

CDC Section 17.5.8.B.2.c. provides that **required parking spaces** be designated as **either** a limited common element or a general common element on the condominium map and further provides as follows:

- (b) Where a zoning designation has a parking requirement for 0.5 space per unit (e. g. 1.5 spaces per unit), such parking spaces shall be pooled together and designated as a general common element and not be assigned or conveyed for an individual unit owner use.

Apply this provision to the 20 units in the Lot 30 project and using a parking space requirement of 1.2 spaces per unit rather than 1.5 space per unit, results in a total of 4 of the required parking spaces for the 20 units to be designated as a general common element on the Lot 30 condominium map (20 units x 0.20 = 4 spaces).

The parking diagram provided for the Lot 30 project, as included with this submittal depicts each of the 25 required parking spaces, with 5 parking spaces designated as general common elements and 20 parking spaces designated as limited common elements.

Please do not hesitate to contact me with any questions concerns or clarifications regarding the content of this study.

Timothy Losa, AIA, NCARB
Zehren and Associates, Inc.

- Attachment 1 – CDC provisions
- Attachment 2 – 2015 Village Center Parking Study
- Attachment 3 – ITE Parking Generation
- Attachment 4 – Parking Diagram

(b) The Town-adopted IDF curves are set forth in Appendix 5-1.

2. All surface drains shall be a minimum eight inch (8") drain grate.
3. Development in the Village Center for infill lots may propose the use of a master drainage plan when drainage as required by this section cannot be accommodate on-site, with floodwater attenuation provided off-site when practicable.

M. Drainage plans shall require the review and approval of Public Works.

N. The applicant shall propose specific clearing limits in the plans submitted for DRB review that incorporate laybacks that conform to the general easement requirements set forth in Chapter 3.

17.5.8 PARKING REGULATIONS

A. Required Number of Parking Spaces.

1. Parking spaces shall be provided on-site for development as set forth in Table 5-2.

Table 5-2, Required Parking Table

| Zoning Designation | Required Number of Parking Spaces |
|---|--|
| Single-family | 2 enclosed spaces in garage and 2 surface parking spaces |
| Condominium unit (Village Center) | 1 space per unit |
| Condominium unit (Multi-family) | 1.5 spaces per unit |
| Single-family common interest community | 2 spaces per unit |
| Employee condo/apt. unit (Village Center) | 1 space per unit |
| Employee condo/apt. unit (outside Village Center) | 1.5 spaces per unit |
| Hotel unit | 0.5 space per unit |
| Hotel efficiency unit | 0.5 space per unit |
| Lodge unit | 0.5 space per unit |
| Efficiency lodge unit | 0.5 space per unit |
| Commercial space (low intensity commercial) | 1 space per 1,000 sq. ft. |
| Commercial space (high intensity commercial) | 1 space per 500 sq. ft. |
| Industrial | 2 space per 1,000 sq. ft. |

2. For single family, the review authority may allow for tandem spaces as the two (2) surface spaces for smaller lots less than 0.75 acre where non-tandem parking is not feasible due to unique site conditions such as steep slopes, wetlands and unique shaped lots, and may waive the two (2) surface spaces for smaller lots when tandem parking is not feasible.
3. All parking shall be located outside of the general easement setback unless an encroachment is approved by the DRB as provided for in Chapter 3.
4. No less than one (1) space, but no more than five (5) spaces shall be provided for homeowners association maintenance vehicles. Such spaces shall be retained by the homeowners association as a general common element and shall be available for services such as housekeeping, cleaning, deliveries, maintenance, repair and minor construction. The spaces shall be signed for service vehicle use.
5. For uses not listed, the parking requirements shall be determined by the review authority based upon the parking requirements of a land use that is similar to the proposed use,



January 27, 2015

MEMORANDUM

TO: Steve Cram, St. Shopia Partners LLLP

FROM: Todd Frisbie, PE, FHU; Colleen Guillotte, PE, FHU

SUBJECT: The Ridge Parking Analysis
FHU Reference No. 115027-01

Parking occupancy data was collected for four condominiums in Mountain Village, CO. The data was collected at peak parking times between 10 PM and 5 AM during the holiday season (between Christmas and New Years). It was anticipated that using both the holidays and collecting overnight counts would lead to the highest parking occupancy rates. **Table 1** provides the parking data collect at all locations.

Table 1. Parking Data

| Development | Residential Units | Parking Spaces | Maximum Occupancy Observed | Occupied Spaces/Units |
|--------------------|-------------------|----------------|----------------------------|-----------------------|
| See Forever Vilage | 27 | 43 | 27 | 1.00 |
| Lorian | 26 | 32 | 9 | 0.35 |
| Lorian New | 6 | 10 | 3 | 0.50 |
| Westermere | 14 | 11 | 9 | 0.64 |
| Palmyra | 20 | 17 | 10 | 0.50 |
| Total | 93 | 113 | 58 | 0.62 |

As shown, the maximum number of parking spaces occupied per residential unit varied between 0.35 and 1.00. The overall average occupancy rate for all the developments was 0.62 parking spots occupied per residential unit.

We hope this information is helpful. If you have any questions, then please feel free to call me or Colleen at 719-314-1800.

Land Use: 221 Multifamily Housing (Mid-Rise)

Description

Mid-rise multifamily housing includes apartments, townhouses, and condominiums located within the same building with at least three other dwelling units and with between three and 10 levels (floors) of residence. Multifamily housing (low-rise) (Land Use 220), multifamily housing (high-rise) (Land Use 222), and affordable housing (Land Use 223) are related land uses.

Time of Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand on a weekday (one general urban/suburban study site), a Saturday (two general urban/suburban study sites), and a Sunday (one dense multi-use urban study site).

| Hour Beginning | Percent of Peak Parking Demand | | |
|-----------------|--------------------------------|----------|--------|
| | Weekday | Saturday | Sunday |
| 12:00–4:00 a.m. | 100 | 100 | 100 |
| 5:00 a.m. | 94 | 99 | – |
| 6:00 a.m. | 83 | 97 | – |
| 7:00 a.m. | 71 | 95 | – |
| 8:00 a.m. | 61 | 88 | – |
| 9:00 a.m. | 55 | 83 | – |
| 10:00 a.m. | 54 | 75 | – |
| 11:00 a.m. | 53 | 71 | – |
| 12:00 p.m. | 50 | 68 | – |
| 1:00 p.m. | 49 | 66 | 33 |
| 2:00 p.m. | 49 | 70 | 40 |
| 3:00 p.m. | 50 | 69 | 27 |
| 4:00 p.m. | 58 | 72 | 13 |
| 5:00 p.m. | 64 | 74 | 33 |
| 6:00 p.m. | 67 | 74 | 60 |
| 7:00 p.m. | 70 | 73 | 67 |
| 8:00 p.m. | 76 | 75 | 47 |
| 9:00 p.m. | 83 | 78 | 53 |
| 10:00 p.m. | 90 | 82 | 73 |
| 11:00 p.m. | 93 | 88 | 93 |

Additional Data

In prior editions of *Parking Generation*, the mid-rise multifamily housing sites were further divided into rental and condominium categories. An investigation of parking demand data found no clear differences in parking demand between the rental and condominium sites within the ITE database. As more data are compiled for future editions, this land use classification can be reinvestigated.

The average parking supply ratios for the study sites with parking supply information are shown in the table below.

| Setting | Proximity to Rail Transit | Parking Supply Ratio | |
|------------------------|-----------------------------------|----------------------|----------------|
| | | Per Dwelling Unit | Per Bedroom |
| Center City Core | Within ½ mile of rail transit | 1.1 (15 sites) | 1.0 (12 sites) |
| Dense Multi-Use Urban | Within ½ mile of rail transit | 1.2 (39 sites) | 0.9 (34 sites) |
| | Not within ½ mile of rail transit | 1.2 (65 sites) | 0.8 (56 sites) |
| General Urban/Suburban | Within ½ mile of rail transit | 1.5 (25 sites) | 0.8 (12 sites) |
| | Not within ½ mile of rail transit | 1.7 (62 sites) | 1.0 (39 sites) |

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in California, Colorado, District of Columbia, Maryland, Massachusetts, New Jersey, New York, Oregon, Virginia, Washington, and Wisconsin.

It is expected that the number of bedrooms and number of residents are likely correlated to the parking demand generated by a residential site. Parking studies of multifamily housing should attempt to obtain information on occupancy rate and on the mix of residential unit sizes (i.e., number of units by number of bedrooms at the site complex). Future parking studies should also indicate the number of levels contained in the residential building.

Source Numbers

21, 209, 247, 255, 277, 401, 402, 419, 505, 512, 522, 533, 535, 536, 537, 538, 545, 546, 547, 575, 576, 577, 579, 580, 581, 583, 584, 585, 587

Multifamily Housing (Mid-Rise) (221)

Peak Period Parking Demand vs: Dwelling Units

On a: Weekday (Monday - Friday)

Setting/Location: General Urban/Suburban (no nearby rail transit)

Peak Period of Parking Demand: 10:00 p.m. - 5:00 a.m.

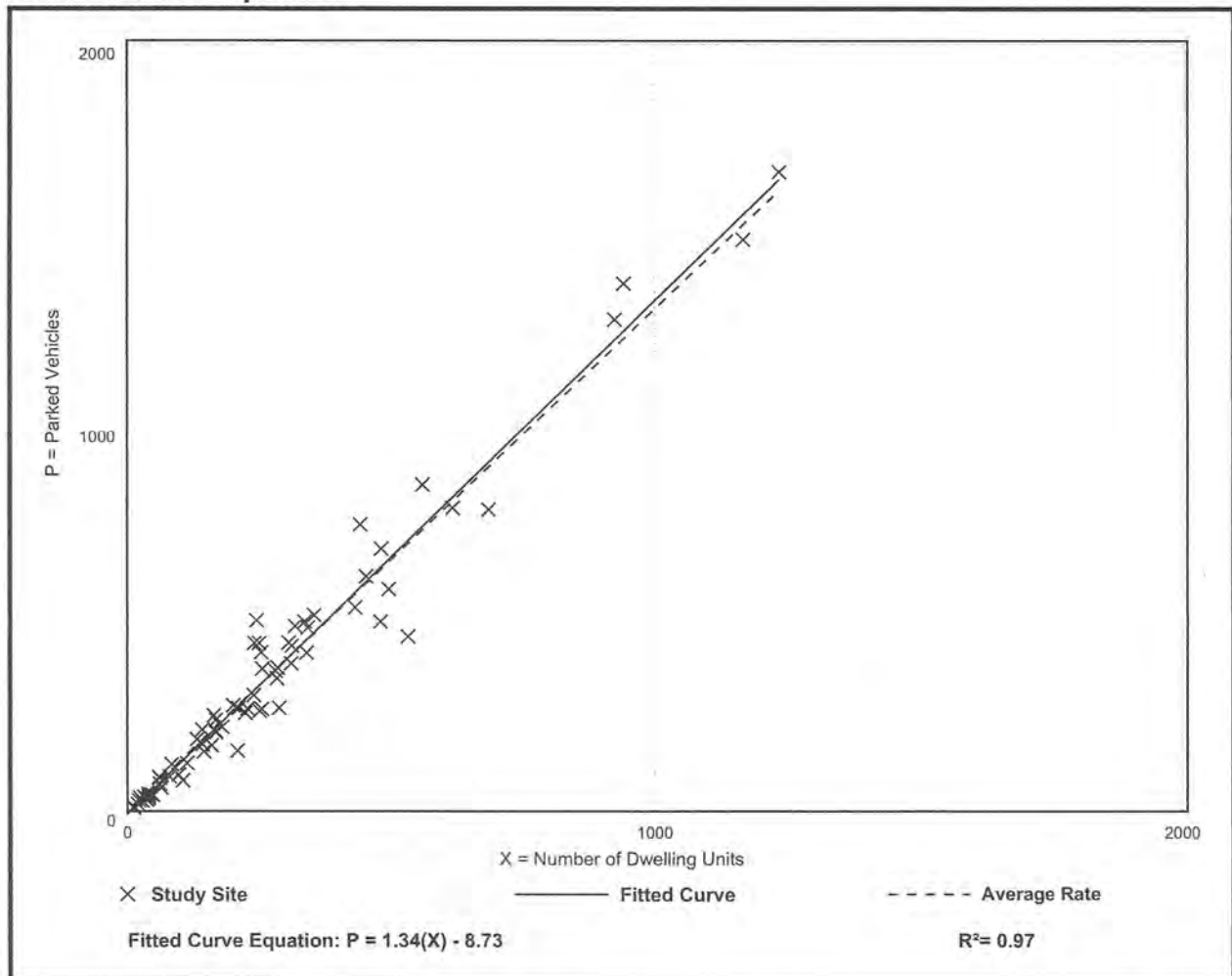
Number of Studies: 73

Avg. Num. of Dwelling Units: 261

Peak Period Parking Demand per Dwelling Unit

| Average Rate | Range of Rates | 33rd / 85th Percentile | 95% Confidence Interval | Standard Deviation (Coeff. of Variation) |
|--------------|----------------|------------------------|-------------------------|--|
| 1.31 | 0.75 - 2.03 | 1.13 / 1.47 | 1.26 - 1.36 | 0.22 (17%) |

Data Plot and Equation



Multifamily Housing (Mid-Rise) (221)

Peak Period Parking Demand vs: Dwelling Units

On a: Saturday

Setting/Location: General Urban/Suburban (no nearby rail transit)

Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.

Number of Studies: 3

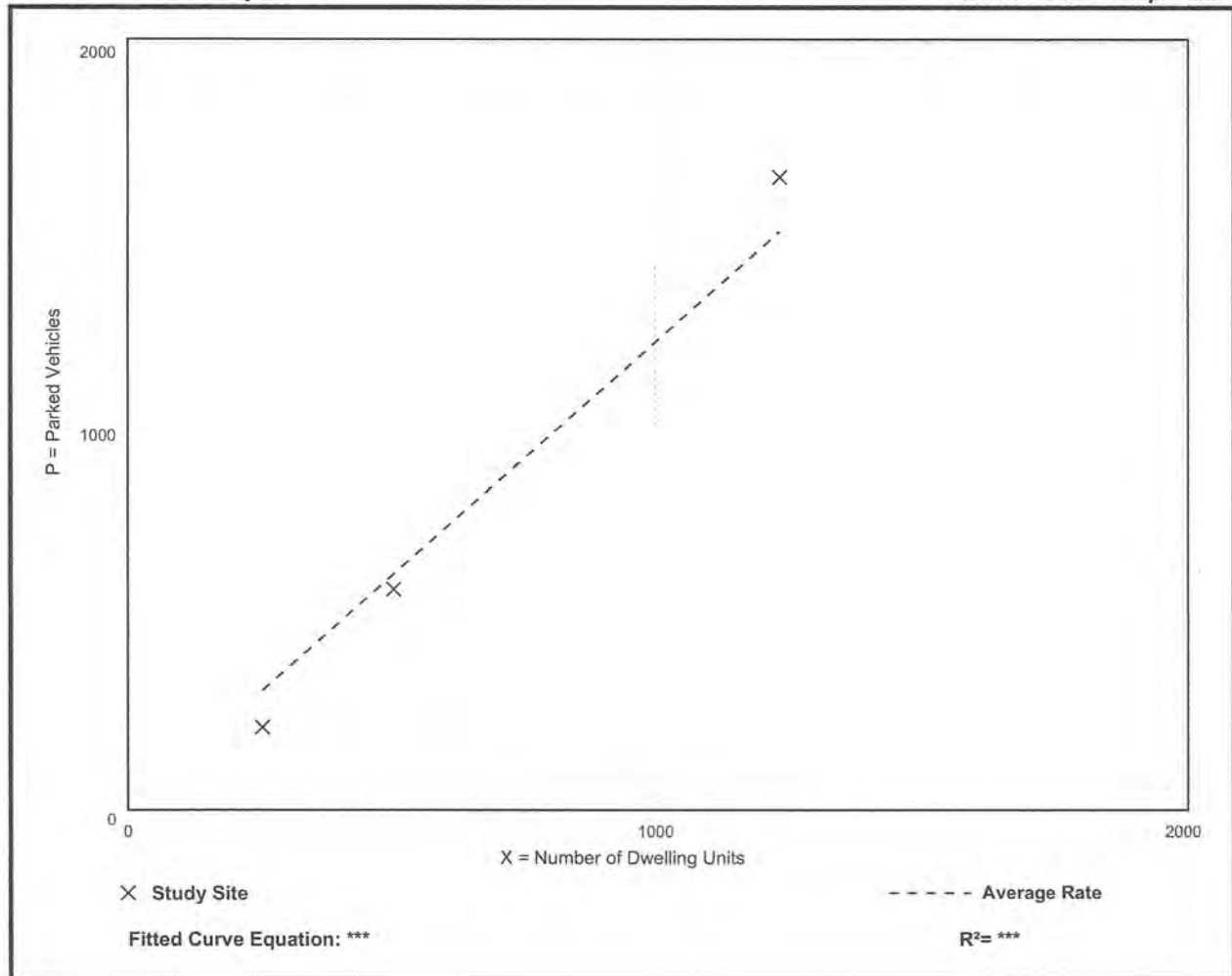
Avg. Num. of Dwelling Units: 665

Peak Period Parking Demand per Dwelling Unit

| Average Rate | Range of Rates | 33rd / 85th Percentile | 95% Confidence Interval | Standard Deviation (Coeff. of Variation) |
|--------------|----------------|------------------------|-------------------------|--|
| 1.22 | 0.84 - 1.33 | 0.94 / 1.33 | *** | 0.20 (16%) |

Data Plot and Equation

Caution – Small Sample Size



CDC 17.5.8.A.6. Alternative Parking Requirement

The Town recognizes that the minimum parking requirements set forth in this section are based on standard parking requirements applied in similar jurisdictions, and that parking demands for a use may change over time due to changes in key variables that impact the amount of required parking, such as the number of people traveling to the town by airplanes and mass transit, ground transportation. It is, therefore, proposed to allow alternative parking requirements to be imposed by a developer. Alternative parking requirements may be approved by the review authority for class 3, 4 or 5 development applications subject to the following findings:

- The alternative parking requirements shall be sufficient to meet the parking demand for the proposed uses; and
- The alternative parking requirements shall not be detrimental to the public health, safety and welfare.

b. Any developer proposing alternative parking requirements shall submit a parking study prepared by a qualified parking or transportation consultant that confirms that the proposed minimum parking requirements shall provide sufficient parking spaces to serve the proposed uses.

c. The review authority shall determine the final parking requirements concurrent with the required development application.

CDC 17.5.8.B.S.c.i. Provision of Parking Spaces

No required parking space may be sold, leased or otherwise used separately from the development and must be retained to supply parking spaces for the approved uses

i. Required parking spaces shall be designated as either a limited common element or a general common element on the condominium map.

(a) Where a zoning designation has a parking requirement for a full parking space, such parking space may be designated as a limited common element and signed and reserved for the use of a specific unit owner.

(b) Where a zoning designation has a parking requirement for 0.5 space per unit (e.g. 1.5 spaces per unit), such parking spaces shall be pooled together and designated as a general common element and not be assigned or conveyed for individual unit owner use.

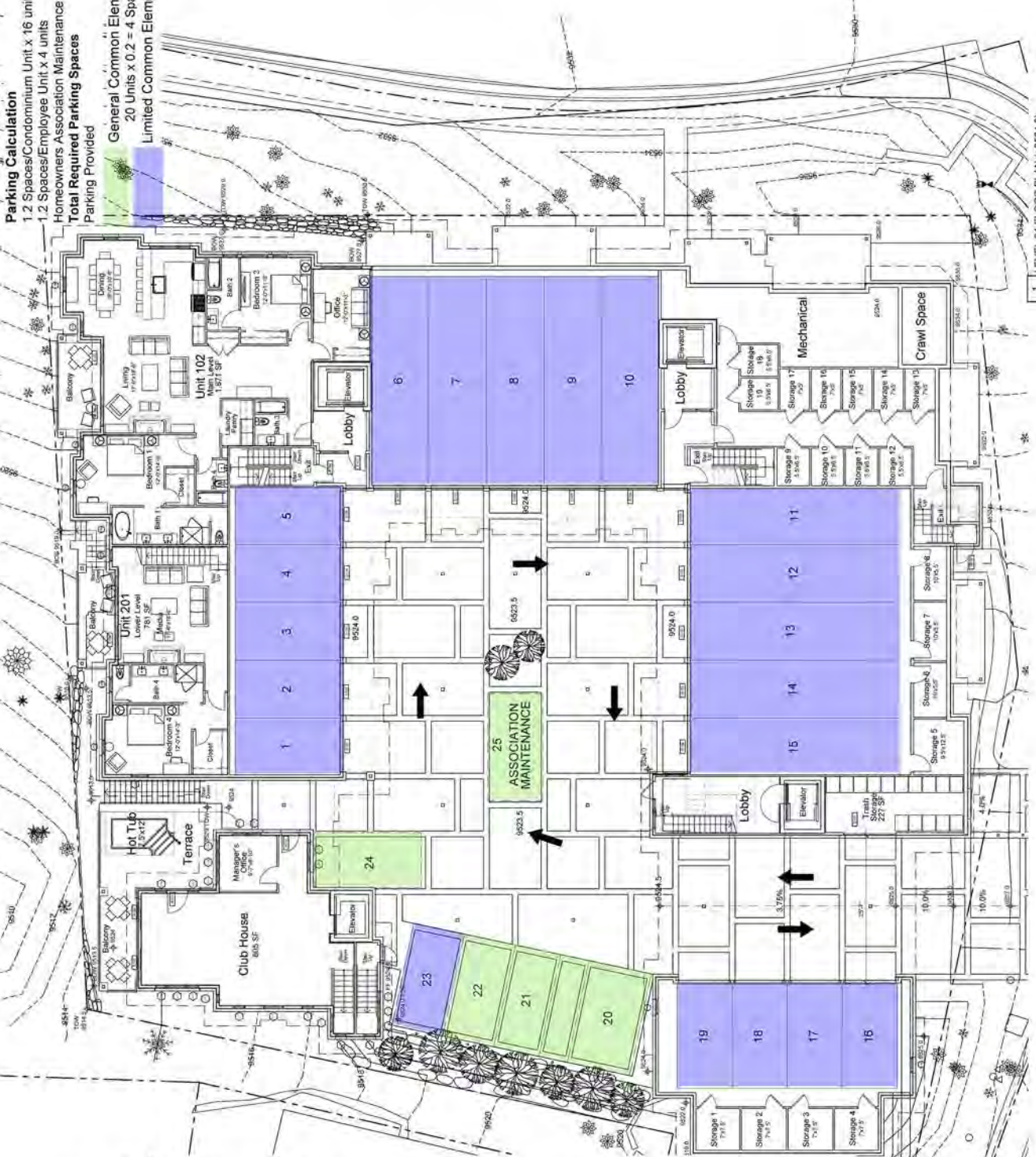
ii. Development may provide for additional parking spaces beyond the required parking which may be condominiumized and individually sold provided such parking is designated on the proposed development plans for review and approval by the review authority

Parking Calculation
 1.2 Spaces/Condominium Unit x 16 units = 19.2
 1.2 Spaces/Employee Unit x 4 units = 4.8
 Homeowners Association Maintenance = 1.0
Total Required Parking Spaces = 25.0
 Parking Provided = 25.0

General Common Element (5)
 20 Units x 0.2 = 4 Spaces
 Limited Common Element (20)

| | | | | |
|---|--|--|---|---|
| ZEHREN AND ASSOCIATES, INC. ARCHITECTURE • PLANNING • INTERIORS 101 El Dorado 44 East Beaver Creek Blvd., Suite 303 P.O. Box 1976 - Avon, Colorado 81620 (970) 943-0237 FAX (970) 943-1800 (800) 943-6990 FAX (800) 943-3102 | | CIVIL STRUCTURAL ELECTRICAL MECHANICAL | MOUNTAIN VILLAGE LOT 30 TELLURIDE MOUNTAIN VILLAGE, CO (Copyright © 2017 by Zehren & Associates, Inc.) | SHEET NO. A1.2 SCALE AS SHOWN DATE 03/25/2021 DRAWN BY X CHECKED BY X TRACED BY X APPROVED BY X |
|---|--|--|---|---|

Attachment 4




1 LEVEL 01 FLOOR PLAN (+9524.0)

MOUNTAIN VILLAGE - LOT 30

IN

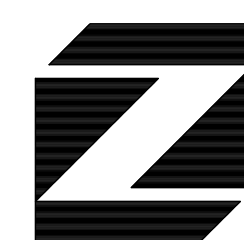
MOUNTAIN VILLAGE, CO

| | |
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|  | |
| 20192733 | |
| 10/07/2021 | |
| DR | 4 |



DESIGN REVIEW - 4

OCTOBER 7TH, 2021



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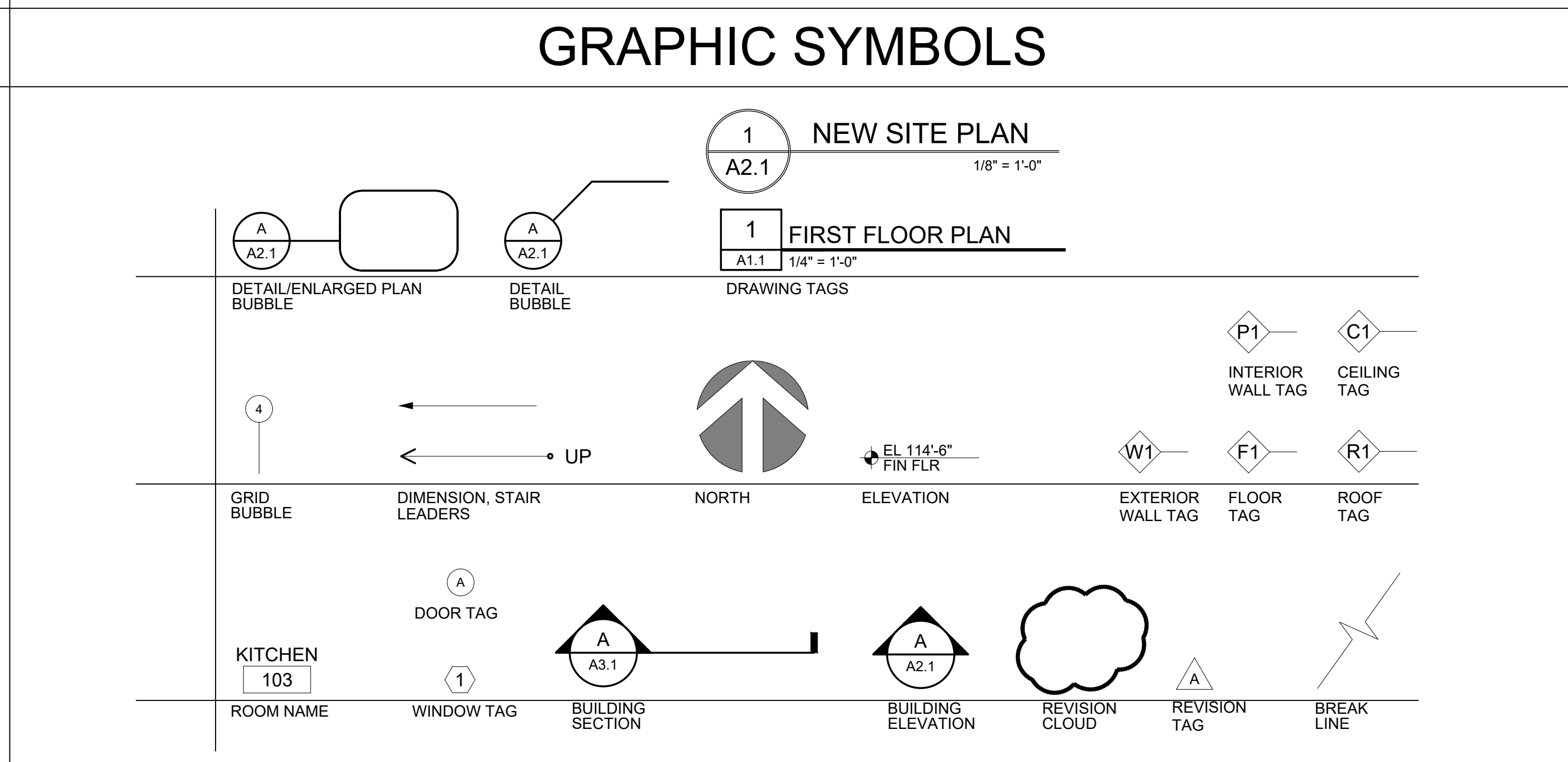
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P.O. Box 1976 - Avon, Colorado 81620
(970) 949-0257 FAX (970) 949-1080

| PROJECT DIRECTORY | | | |
|--------------------|--|--------------------------------|---|
| PROPERTY OWNER | AVVENTURA, LLC Contacts: Louis Alaia 95 Aspen Ridge Drive #7 Mountain Village, CO 81435 Email: lcalaiamd@gmail.com | STRUCTURAL ENGINEER | TBD |
| ARCHITECT | ZEHREN & ASSOCIATES, INC. Contacts: Tim Losa P.O. Box 1976 Avon, CO 81620 Voice: (970) 949-0257 Fax: (970) 949-1080 Email: TimL@zehren.com | CIVIL ENGINEER | ALPINE LAND CONSULTING, LLC Contacts: Greg P.O. Box 234 Rico, CO 81332 Voice: (970) 708-0326 Email: Gregg@AlpineLandConsulting.com |
| GENERAL CONTRACTOR | FINBRO CONSTRUCTION, LLC Contacts: Werner Catsman Voice: (970) 519-1379 Email: Werner@catsman.com | MECHANICAL/ELECTRICAL ENGINEER | AEC, INC. Contacts: Charles Langston, P.E. P.O. Box 8489 Avon, CO 81620 Voice: (970) 748-8520 |
| | | INTERIORS | TBD |

| INDEX OF DRAWINGS | | | |
|-------------------------------------|-------------------------------------|----------------------|--|
| GENERAL | A0.0 COVER SHEET | ARCHITECTURAL | A1.1 LEVEL 00 FLOOR PLAN (+9513.5) |
| | A0.1 PROJECT INFORMATION SHEET | | A1.2 LEVEL 01 FLOOR PLAN (+9524.0) |
| | | | A1.3 LEVEL 02 FLOOR PLAN (+9535.0) |
| GRAPHIC PLANS | LP1.1 LOCATION PLAN | | A1.4 LEVEL 03 FLOOR PLAN (+9546.0) |
| ASP1.01 SITE PLAN | R1.1 PROPOSED EXTERIOR MATERIALS | | A1.5 LEVEL 04 FLOOR PLAN (+9557.0) |
| R1.2 EXTERIOR MATERIALS PERCENTAGES | R1.2 EXTERIOR MATERIALS PERCENTAGES | | A1.6 LEVEL 05 FLOOR PLAN (+9568.0) |
| R1.3 RENDERED EXTERIOR ELEVATIONS | R1.3 RENDERED EXTERIOR ELEVATIONS | | A1.7 ROOF PLAN |
| R1.4 RENDERED EXTERIOR ELEVATIONS | R1.4 RENDERED EXTERIOR ELEVATIONS | | A1.8 OVERLAY ROOF PLAN |
| R1.5 RENDERED EXTERIOR ELEVATIONS | R1.5 RENDERED EXTERIOR ELEVATIONS | | A5.60 DOOR DETAILS |
| R1.6 RENDERED EXTERIOR ELEVATIONS | R1.6 RENDERED EXTERIOR ELEVATIONS | | A5.61 DOOR SCHEDULE |
| R1.7 RENDERED EXTERIOR ELEVATIONS | R1.7 RENDERED EXTERIOR ELEVATIONS | | A5.62 DOOR SCHEDULE |
| R1.8 RENDERED EXTERIOR ELEVATIONS | R1.8 RENDERED EXTERIOR ELEVATIONS | | A5.70 WINDOW DETAILS |
| R2.1 VILLAGE CONTEXT | R2.1 VILLAGE CONTEXT | | A5.71 WINDOW DETAILS |
| R2.2 VILLAGE CONTEXT | R2.2 VILLAGE CONTEXT | | A5.72 WINDOW SCHEDULE |
| R2.3 VILLAGE CONTEXT | R2.3 VILLAGE CONTEXT | | A5.73 WINDOW SCHEDULE |
| R2.4 EMPLOYEE UNITS | R2.4 EMPLOYEE UNITS | | CMP1.0 CONST MANAGEMENT PLAN |
| R3.1 STREET VIEW | R3.1 STREET VIEW | | ELECTRICAL |
| R3.2 STREET VIEW | R3.2 STREET VIEW | | E1.0 LEGEND, SPECS, DETAILS & ONE-LINE |
| R3.3 STREET VIEW | R3.3 STREET VIEW | | E2.0 SITE LIGHTING & PLAN |
| CIVIL | 1 OF 1 TOPOGRAPHIC SURVEY | CUT SHEETS | LITHONIA LIGHTING CUT SHEETS |
| 1 OF 3 DRB GRADING PLAN | 2 OF 3 DRB DRAINAGE PLAN | | WAC LIGHTING CUT SHEET |
| 2 OF 3 DRB DRAINAGE PLAN | 3 OF 3 DRB UTILITY PLAN | | LITHONIA LIGHTING BOLLARD CUT SHEET |
| LANDSCAPE | L1.0 LANDSCAPE PLAN | | |

- ### GENERAL NOTES
- DO NOT SCALE DRAWINGS.
 - DIMENSIONS ARE TO FACE OF STUD, CENTERLINE OF GRID, AND FACE OF CONCRETE, UNLESS NOTED OTHERWISE.
 - ALL ANGLES ON PLANS ARE 90 DEGREES OR 45 DEGREES, UNLESS NOTED OTHERWISE.
 - NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS IN DOCUMENTS PRIOR TO DEMOLITION, CONSTRUCTION, OR ALTERATION OF EXISTING OR NEW STRUCTURES.
 - PROVIDE ALL NECESSARY BLOCKING IN WOOD & METAL STUD WALLS AND CEILINGS. LOCATIONS INCLUDE BUT ARE NOT LIMITED TO TOILETS, BATH ACCESSORIES, CEILING AND WALL MOUNTED ELECTRICAL FIXTURES, SHELVES, CLOSET RODS, CABINETRY, COUNTERTOPS, AND FALSE BEAMS.

CODES



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PROJECT INFORMATION SHEET

| | |
|--------------------------|---------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY | CHK BY TRV BY TL |

SHEET No.
A0.1

SCALE: AS SHOWN



TRAMONTANA



INN AT LOST CREEK



BLUE MESA



BELVEDERE



ASPEN RIDGE



GRANITA



LUMIERE



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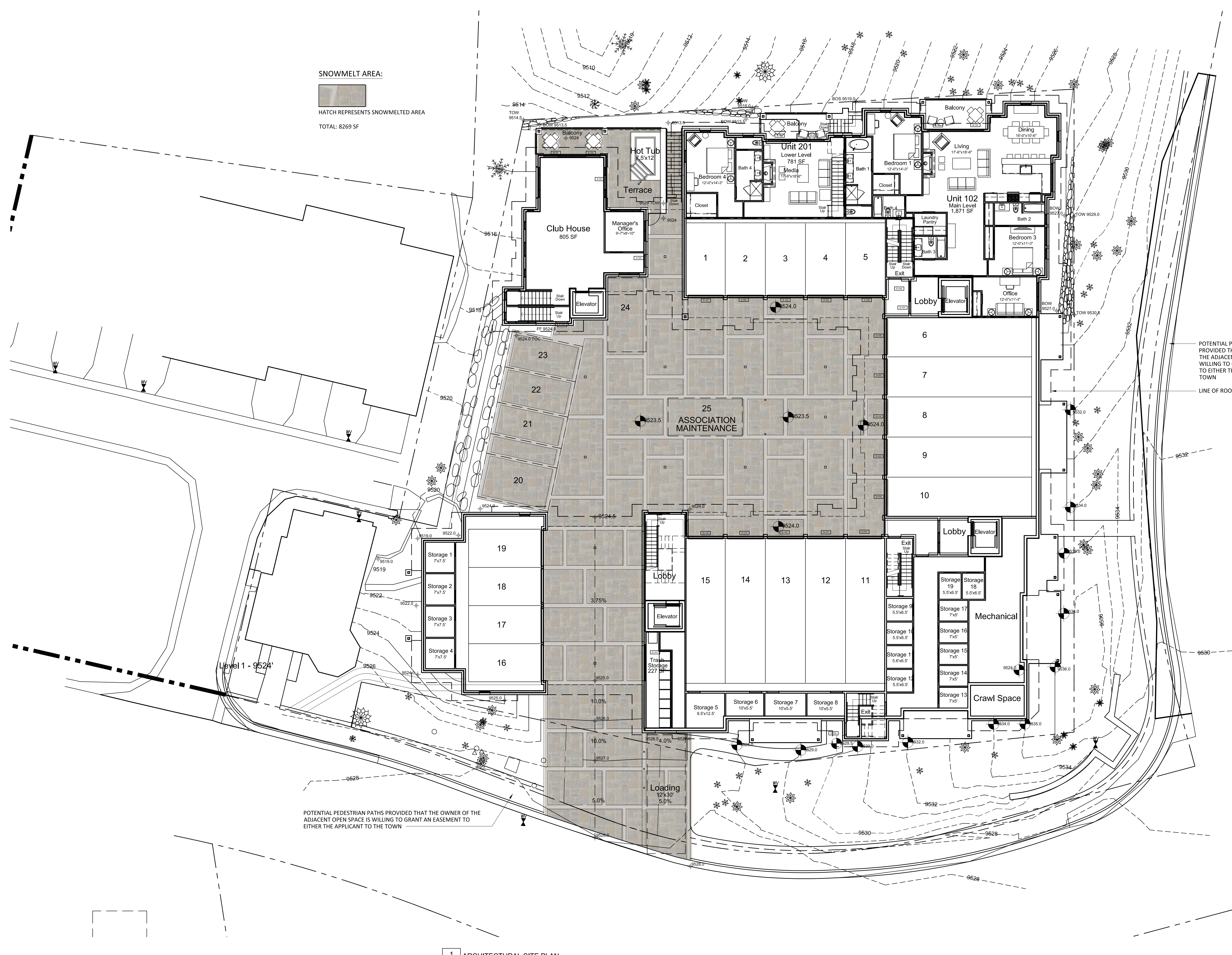
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LOCATION PLAN

| | |
|-------------|---------------|
| PROJECT No. | DATE |
| 192733.00 | 03/23/2021 |
| DRAWN BY | CHK BY TRV BY |

SHEET No.
LP1.1
 SCALE:





SNOWMELT AREA:
 HATCH REPRESENTS SNOWMELTED AREA
 TOTAL: 8269 SF

POTENTIAL PEDESTRIAN PATHS PROVIDED THAT THE OWNER OF THE ADJACENT OPEN SPACE IS WILLING TO GRANT AN EASEMENT TO EITHER THE APPLICANT TO THE TOWN

LINE OF ROOF ABOVE

POTENTIAL PEDESTRIAN PATHS PROVIDED THAT THE OWNER OF THE ADJACENT OPEN SPACE IS WILLING TO GRANT AN EASEMENT TO EITHER THE APPLICANT TO THE TOWN

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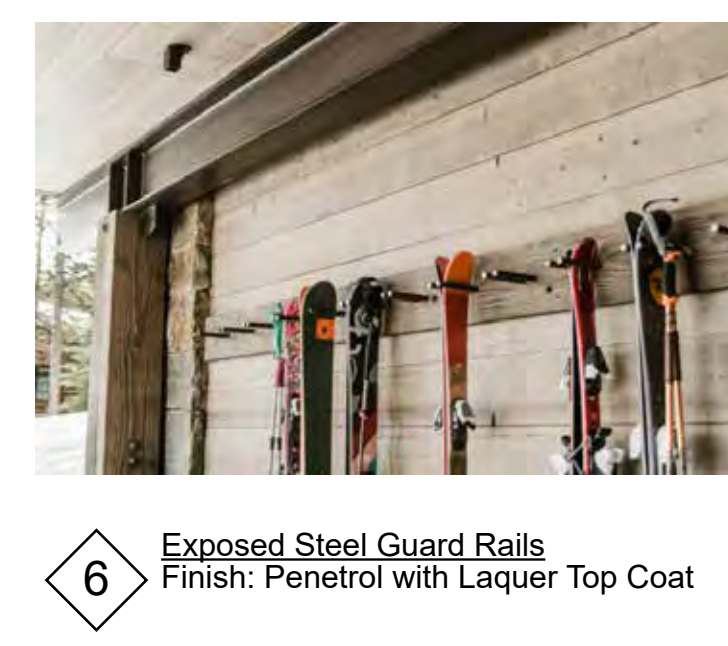
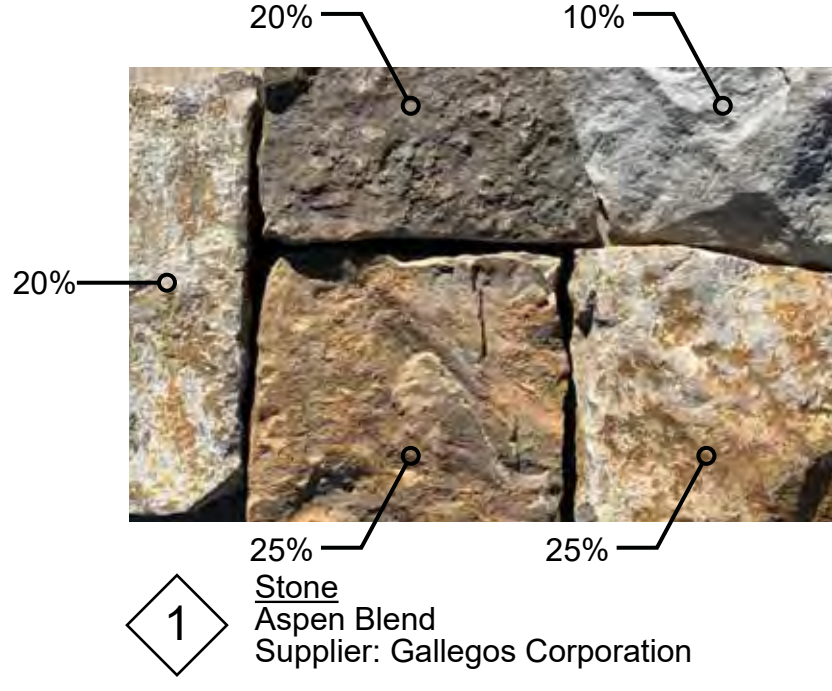
SITE PLAN

| | | |
|--------------------------|--------------------|--------|
| PROJECT No. 192733.00 | DATE 03/23/2021 | |
| DRAWN BY TL | CHK BY TL | TRV BY |

SHEET No.
ASP1.01
 SCALE: AS SHOWN



1 ELEVATION - A (EAST)
A2.1 1/8"=1'-0"



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PROPOSED EXTERIOR MATERIALS

| | |
|--------------------------|--------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY | CHK BY TRV BY |

SHEET No.
R1.1
SCALE:



STONE
35.25%



WOOD SIDING
50.50%



GLASS
10.25%



STEEL
4.00%

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EXTERIOR MATERIALS PERCENTAGES

| | |
|--------------------------|--------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY | CHK BY TRV BY |

SHEET No.
R1.2
SCALE:



ELEVATION - B (NORTH)
1/8"=1'-0" CURRENT DESIGN: 8/19/2021



ELEVATION - B (NORTH)
1/8"=1'-0" PREVIOUS DESIGN: 7/29/2021

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RENDERED EXTERIOR ELEVATIONS

| | |
|-------------|---------------|
| PROJECT No. | DATE |
| 192733.00 | 03/23/2021 |
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SHEET No.
R1.3
SCALE:

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ELEVATION - A (EAST)

1/8"=1'-0"

CURRENT DESIGN: 8/19/2021



ELEVATION - A (EAST)

1/8"=1'-0"

PREVIOUS DESIGN: 7/29/2021

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| | |
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| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY | CHK BY TRV BY |

SHEET No.
R1.4
 SCALE:



ELEVATION - H (SOUTH)
1/8"=1'-0"

CURRENT DESIGN: 8/19/2021



ELEVATION - H (SOUTH)
1/8"=1'-0"

PREVIOUS DESIGN: 7/29/2021

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ELEVATIONS**

| | |
|--------------------------|--------------------|
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| DRAWN BY | CHK BY TRV BY |

SHEET No.
R1.5
SCALE:



ELEVATION - C-D-E (WEST)
 1/8"=1'-0" CURRENT DESIGN: 8/19/2021



ELEVATION - C-D-E (WEST)
 1/8"=1'-0" PREVIOUS DESIGN: 7/29/2021

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RENDERED EXTERIOR ELEVATIONS

| | |
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| DRAWN BY | CHK BY TRV BY |
| | |

SHEET No.
R1.6
 SCALE:



ELEVATION - G (INTERIOR COURT SOUTH)
 1/8"=1'-0" CURRENT DESIGN: 8/19/2021



ELEVATION - G (INTERIOR COURT SOUTH)
 1/8"=1'-0" PREVIOUS DESIGN: 7/29/2021

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| | |
|--------------------------|--------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY | CHK BY TRV BY |

SHEET No.
R1.7

SCALE:



ELEVATION - F (INTERIOR COURTYARD NORTH)
 1/8"=1'-0" CURRENT DESIGN: 8/19/2021



ELEVATION - F (INTERIOR COURTYARD NORTH)
 1/8"=1'-0" PREVIOUS DESIGN: 7/29/2021

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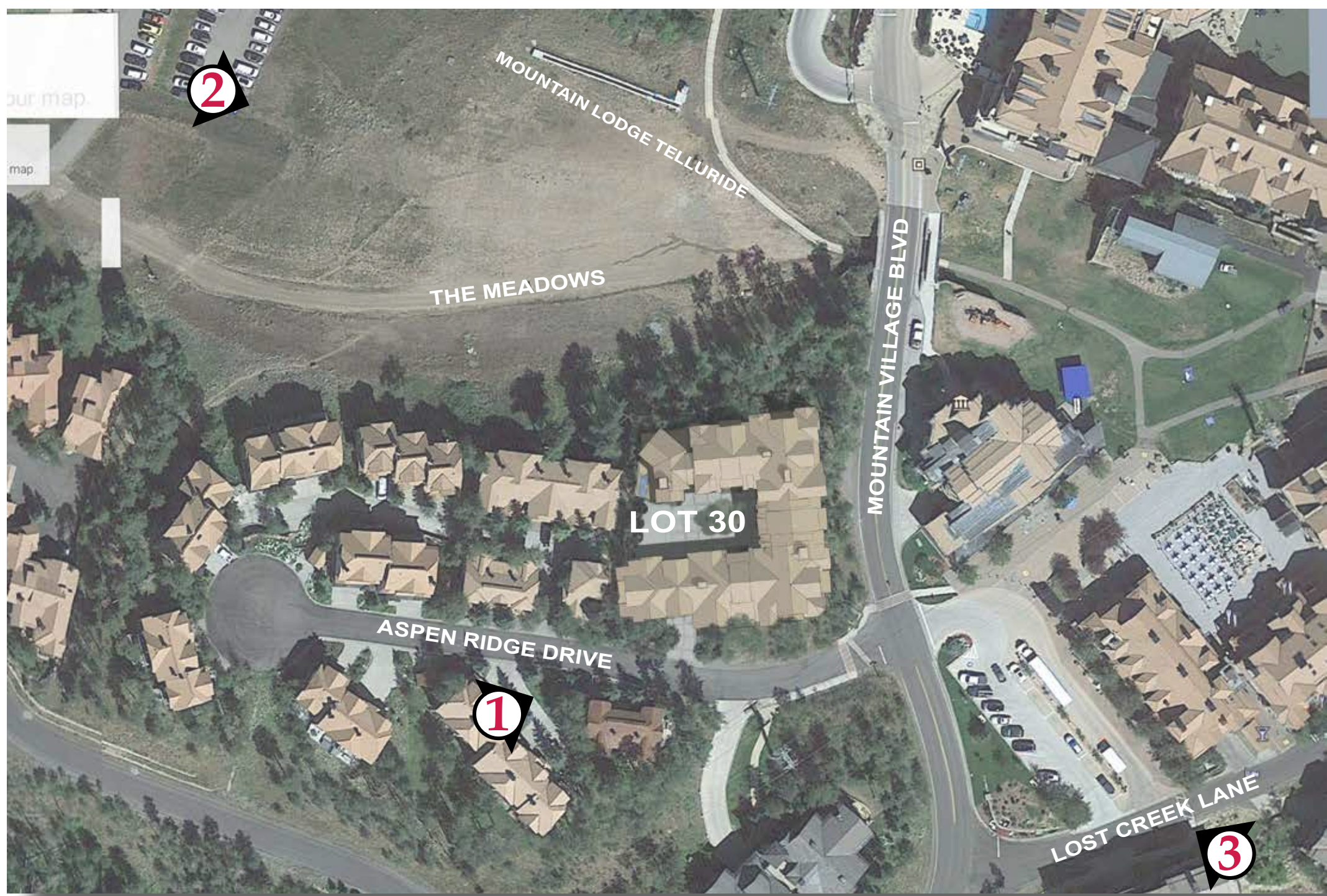
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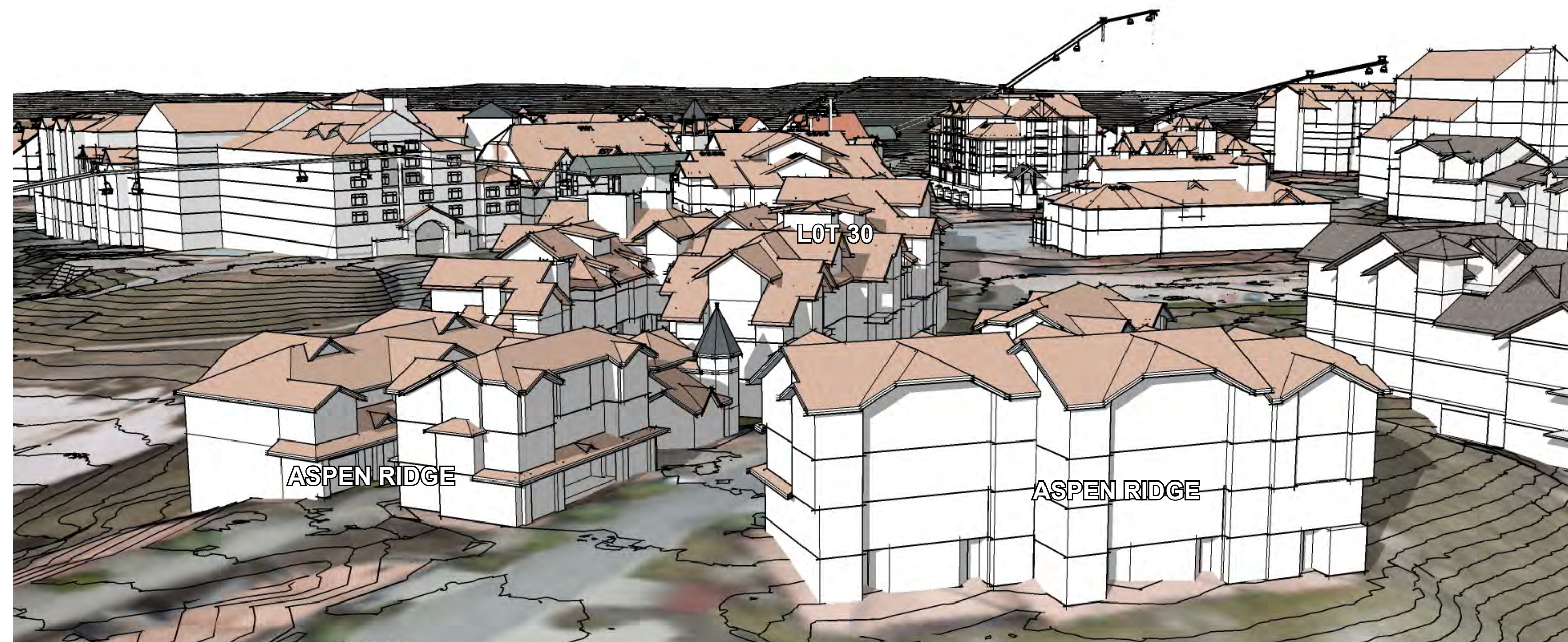
1 Northwest- Aspen Ridge Drive



3 Northwest Aerial - Lost Creek Lane



2 Southeast Aerial - The Meadows



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CIVIL
STRUCTURAL

SEAL

MOUNTAIN VILLAGE
LOT 30
 TELLURIDE MOUNTAIN VILLAGE, CO
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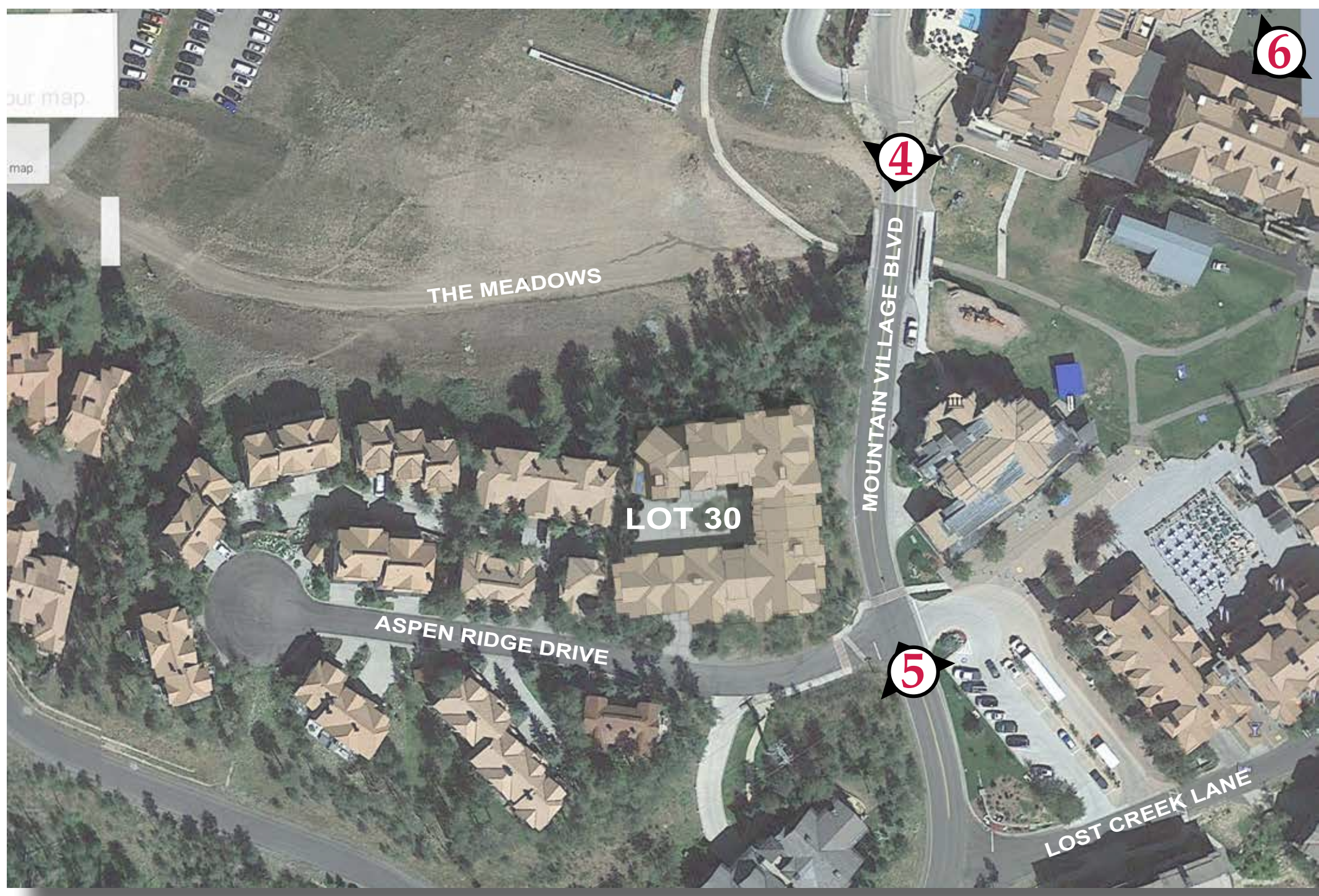
ISSUED FOR:

| No. | DATE | COMMENT |
|-----|------------|-------------------|
| | | REVIEW |
| B | 03/30/2021 | CONCEPT BUDGETING |
| C | 04/28/2021 | DESIGN REVIEW - 1 |
| D | 07/01/2021 | DESIGN REVIEW - 2 |
| E | 07/29/2021 | DESIGN REVIEW - 3 |
| F | 10/07/2021 | DESIGN REVIEW - 4 |

VILLAGE CONTEXT

| | |
|-------------|---------------|
| PROJECT No. | DATE |
| 192733.00 | 03/23/2021 |
| DRAWN BY | CHK BY TRV BY |
| | |

SHEET No.
R2.1
 SCALE:



5 North - Mountain Village Boulevard



6 Southwest Aerial - Madeline



4 South - Mountain Village Boulevard

ZEHREN AND ASSOCIATES, INC.
 ARCHITECTURE - PLANNING - INTERIORS
 LANDSCAPE ARCHITECTURE
 48 East Beaver Creek Blvd., Suite 303
 P.O. Box 1976 - Avon, Colorado 81620
 (970) 949-0257 FAX (970) 949-1080

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| F | 10/07/2021 | DESIGN REVIEW - 4 |

PROJECT No.
192733.00

DATE
03/23/2021

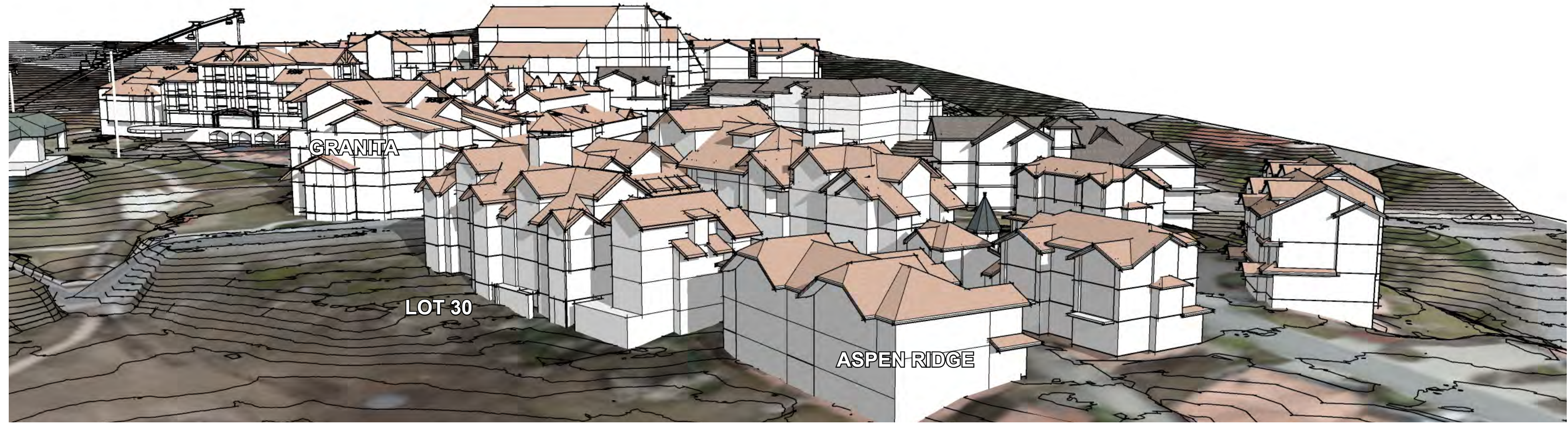
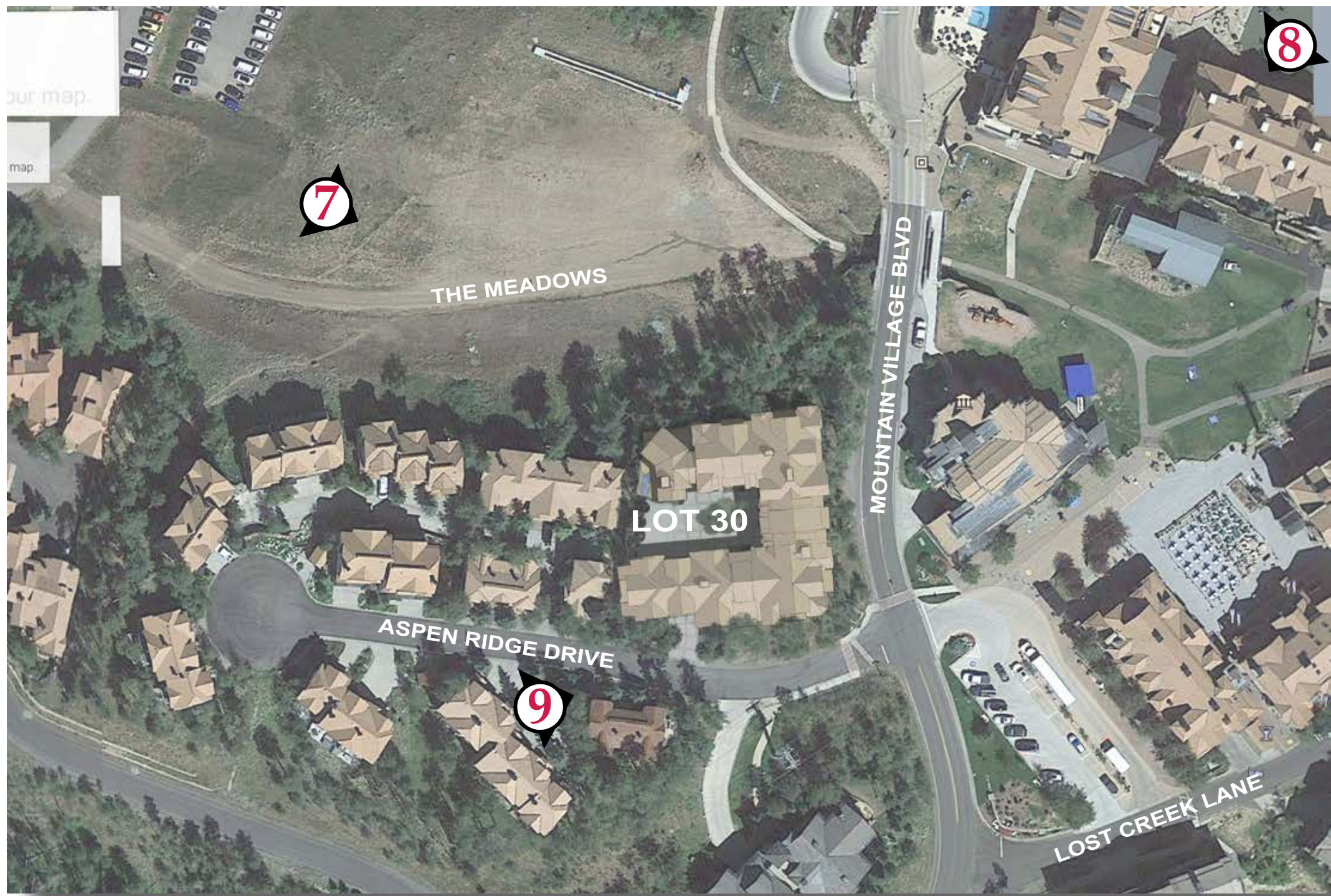
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CHK BY

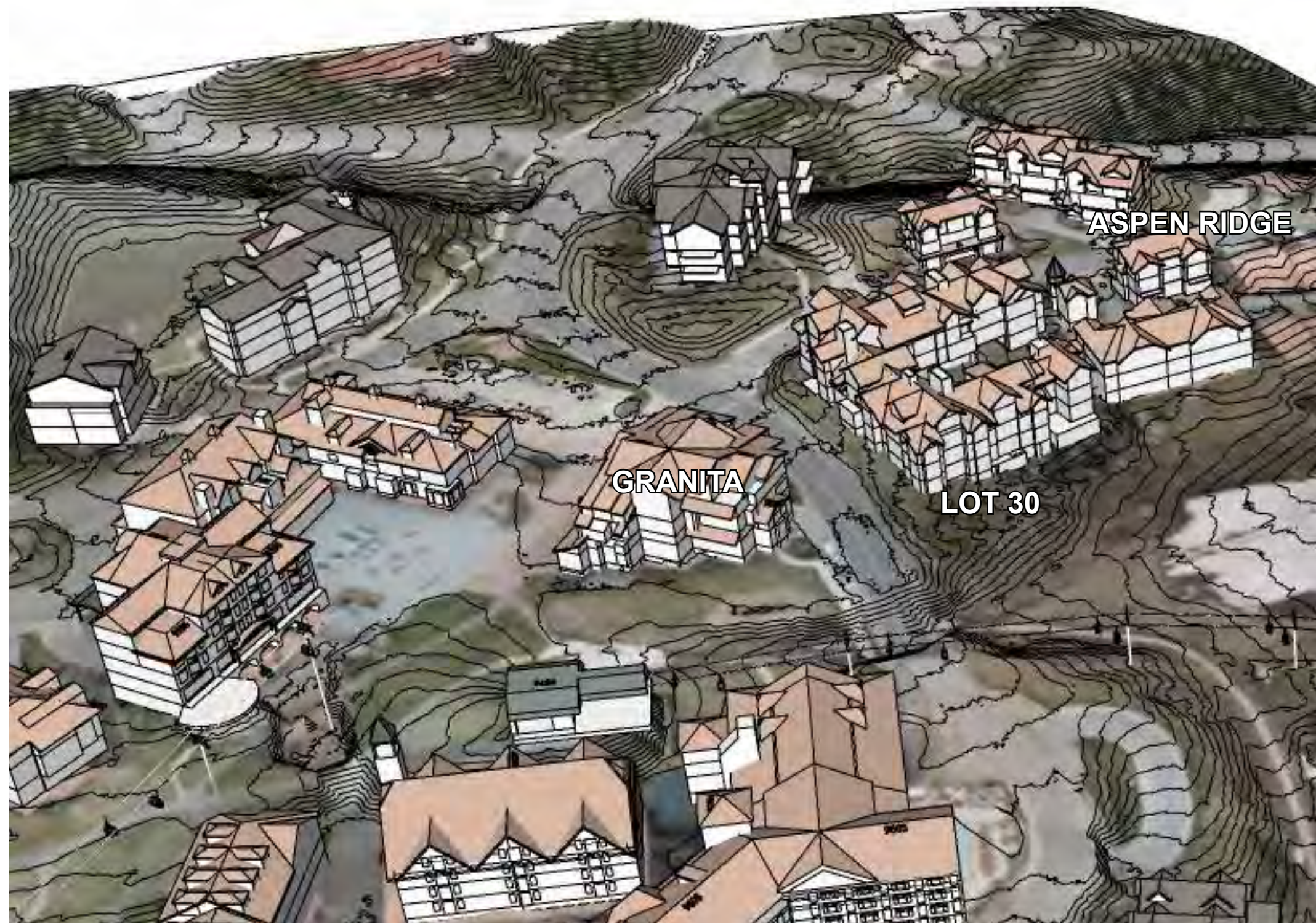
TRV BY

SHEET No.
R2.2

SCALE:



7 Southeast - The Meadows



8 Southwest Aerial - Madeline



9 Northeast Aerial - Aspen Ridge Drive

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VILLAGE CONTEXT

| | |
|--------------------------|--------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY | CHK BY TRV BY |

SHEET No.
R2.3
 SCALE:



Employee Units

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 ARCHITECTURE - PLANNING - INTERIORS
 LANDSCAPE ARCHITECTURE
 101 El Paseo
 Santa Barbara, California 93101
 (805) 963-6890 FAX (805) 963-8102

ZEHREN

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 P.O. Box 1976 - Avon, Colorado 81620
 (970) 949-0257 FAX (970) 949-1080

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EMPLOYEE UNITS

| | |
|-------------|---------------|
| PROJECT No. | DATE |
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SHEET No.
R2.4
SCALE:



4 South - Mountain Village Boulevard



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STREET VIEW

| | |
|-------------|---------------|
| PROJECT No. | DATE |
| 192733.00 | 03/23/2021 |
| DRAWN BY | CHK BY TRV BY |
| | |

SHEET No.
R3.1
 SCALE:



5 North - Mountain Village Boulevard

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 ARCHITECTURE - PLANNING - INTERIORS
 LANDSCAPE ARCHITECTURE
 101 El Paseo
 Santa Barbara, California 93101
 (805) 963-6890 FAX (805) 963-8102

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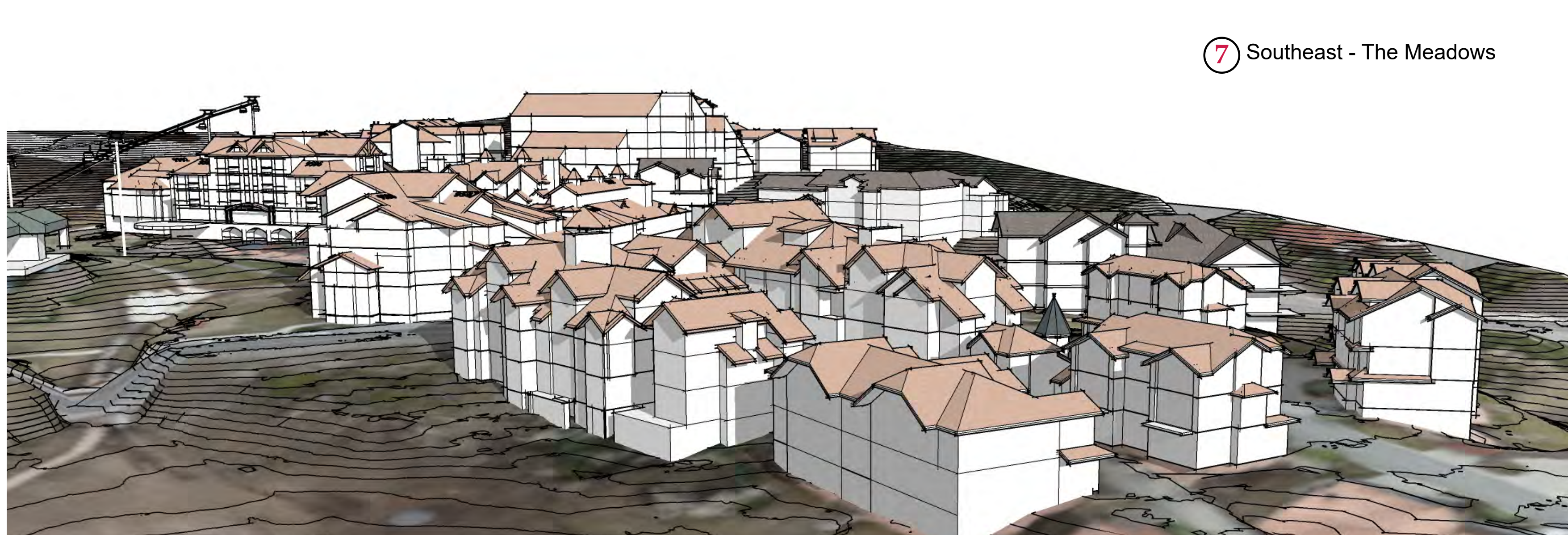
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STREET VIEW

| | |
|-------------|---------------|
| PROJECT No. | DATE |
| 192733.00 | 03/23/2021 |
| DRAWN BY | CHK BY TRV BY |
| | |

SHEET No.
R3.2
 SCALE:



7 Southeast - The Meadows



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 101 El Paseo
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MOUNTAIN VILLAGE
 LOT 30

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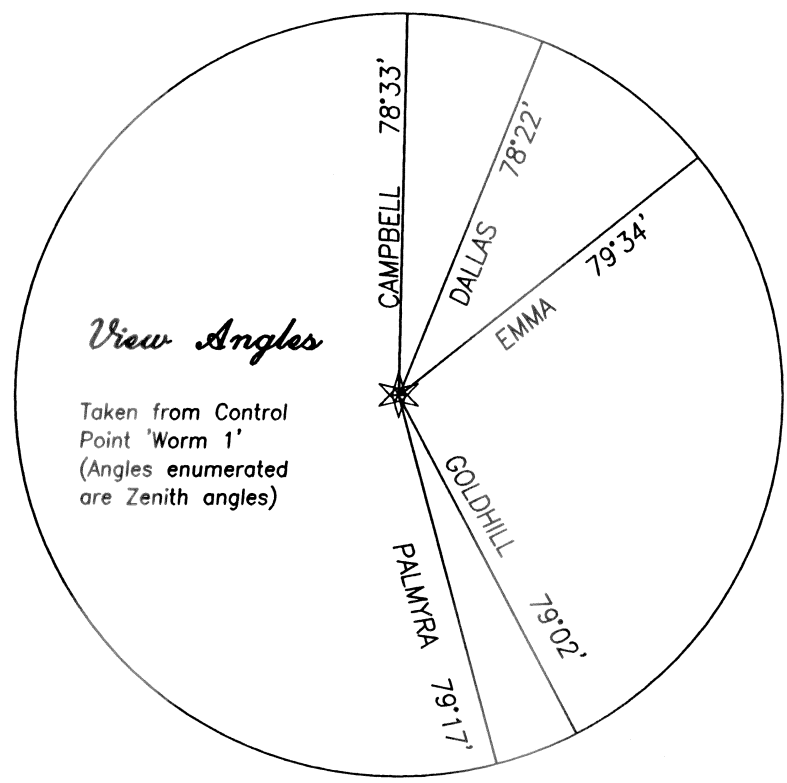
STREET VIEW

| | |
|-------------|---------------|
| PROJECT No. | DATE |
| 192733.00 | 03/23/2021 |
| DRAWN BY | CHK BY TRV BY |

SHEET No.

R3.3

SCALE:



This Topographic survey of a portion of Lot 30, Mountain Village, Filing No. 1 was field surveyed in June of 2008 under the direct responsibility, supervision and checking of Joshua J. Casselberry, of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37903

Date

NOTES

1. This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.
2. Benchmark: Control Point "WORM-1", an 8" spike set flush to the natural ground, as shown hereon, having an elevation of 9528.04 feet.

LOT 10

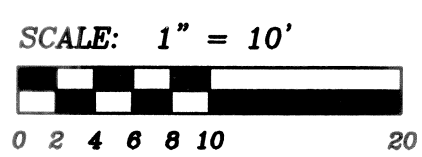
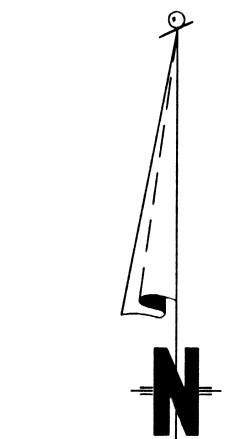
LOT 11

LOT 30

MOUNTAIN VILLAGE BOULEVARD

Legend

| | |
|--|-------------------|
| | ASPEN 2" TO 6" |
| | ASPEN 8" TO 12" |
| | ASPEN 14" TO 18" |
| | FIR 3" TO 6" |
| | FIR 8" TO 12" |
| | FIR 14" TO 20" |
| | SPRUCE 3" TO 6" |
| | SPRUCE 8" TO 12" |
| | SPRUCE 14" TO 20" |
| | WATER VALVE |



**TOPOGRAPHIC SURVEY
 LOT 30, FILING 1, MOUNTAIN VILLAGE**

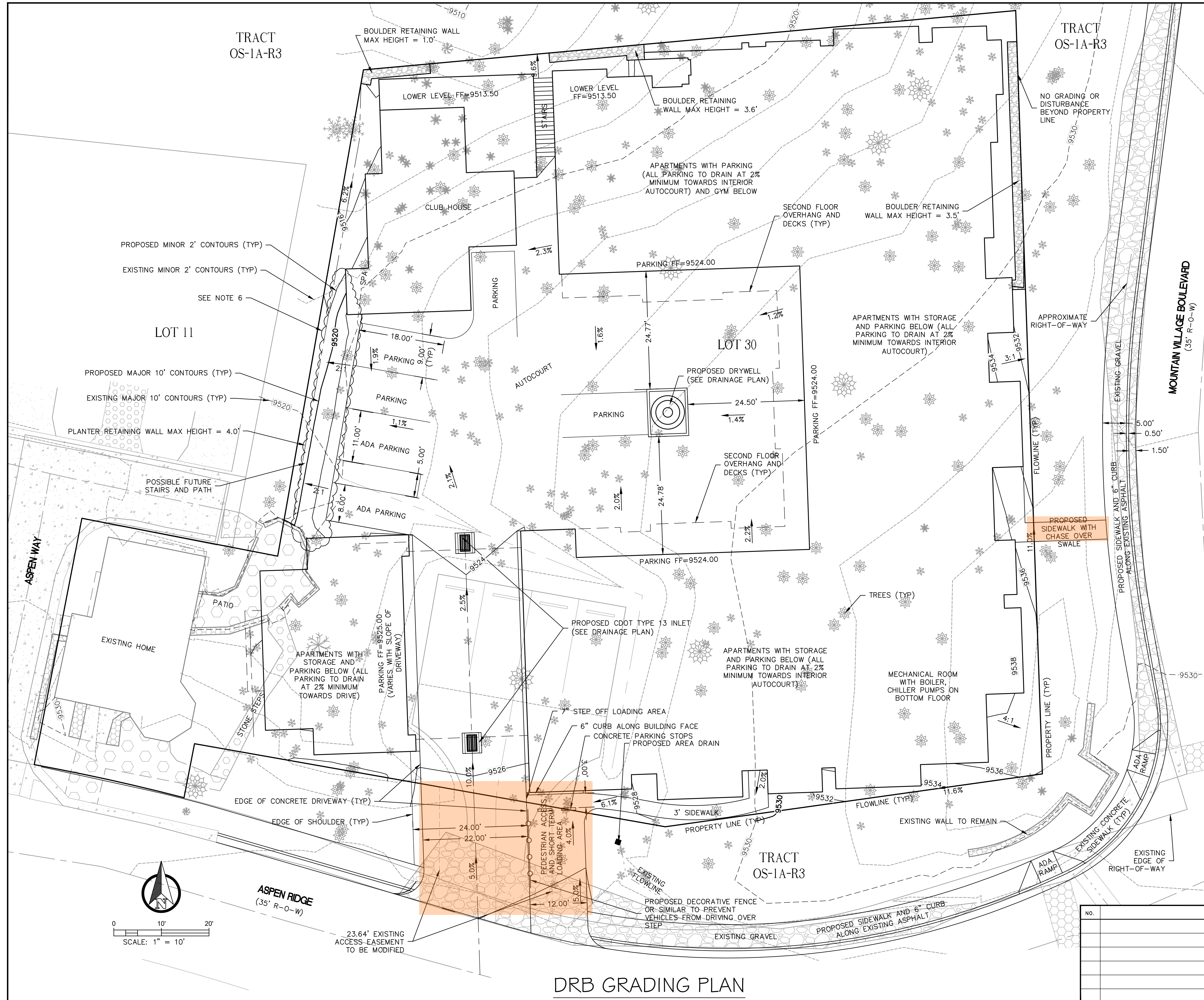
| Project Mgr: | Rev. | description | date | by |
|--------------|--------|-------------|------|----|
| JC | | | | |
| Technician: | SS | | | |
| Checked by: | | | | |
| Start date: | 6/4/08 | | | |



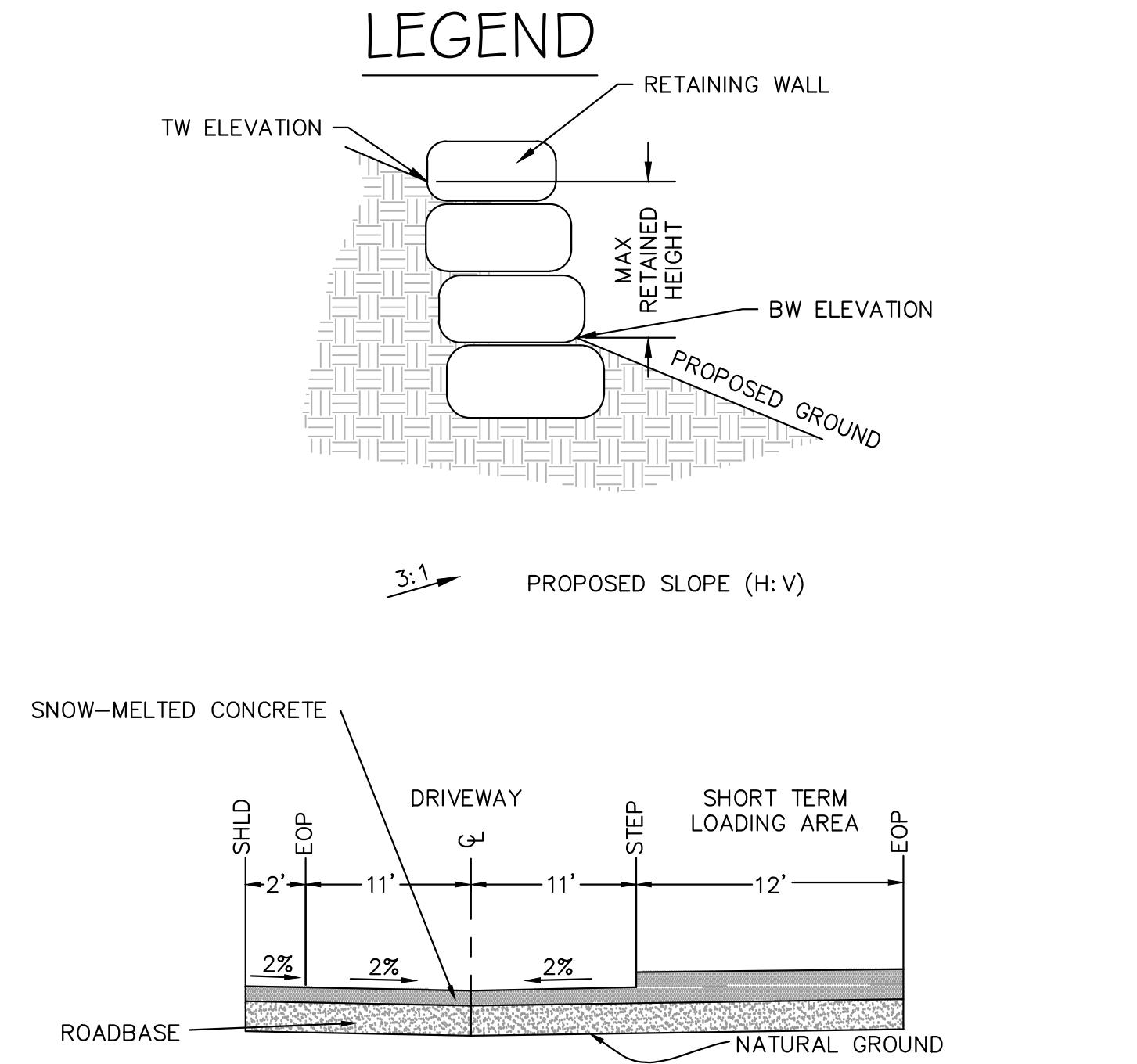
970-728-6153 970-728-6050 fax
 P.O. BOX 1385
 125 W. PACIFIC, SUITE B-1
 TELLURIDE, COLORADO 81435

Drawing path: W:\JOBS\96004\TOPO-TREES-05-08

Sheet 1 of 1 Project #: 96004



- ### NOTES
1. THIS IS A PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION.
 2. EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY FOLEY ASSOCIATES INC AND WAS COMBINED WITH THE PARKING LOT DESIGN THAT WAS CONSTRUCTED IN 2019.
 3. MAXIMUM SLOPE GRADING TO BE 2.5(H):1(V).
 4. ACCESS EASEMENT TO BE RELOCATED TO INCORPORATE THE DRIVEWAY EXTENTS.
 5. RETAINING WALL HEIGHTS DO NOT INCLUDE CAP OR FOUNDATION.
 6. SLOPES TO BE MECHANICALLY STABILIZED WITH BOULDERS AND GEOTEXTILE WITH SEED MAT OR SIMILAR. CONFIRM WITH GEOTECHNICAL ENGINEER, LANDSCAPE AND ARCHITECTURAL DRB PLANS BEFORE PREPARING CONSTRUCTION PLANS.



TYPICAL DRIVEWAY CONCRETE SECTION WITH SNOWMELT

NTS

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 OR
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 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

THESE FINAL DRB PLANNING DOCUMENTS WERE PREPARED BY ME AND UNDER MY DIRECT SUPERVISION ON BEHALF OF ALPINE LAND CONSULTING, LLC FOR AVENTURA, LLC AND INCLUDES PRELIMINARY DRB PLANNING DESIGN ONLY, AND DOES NOT INCLUDE ANY OTHER PLANNING OR ENGINEERING.



GREGORY E. ANDERSON
 COLORADO PROFESSIONAL ENGINEER
 REGISTRATION NO. 35736

ALPINE LAND CONSULTING, LLC
 P.O. BOX 234
 RICO, COLORADO 81332
 970-708-0326
 GREG@ALPINELANDCONSULTING.COM

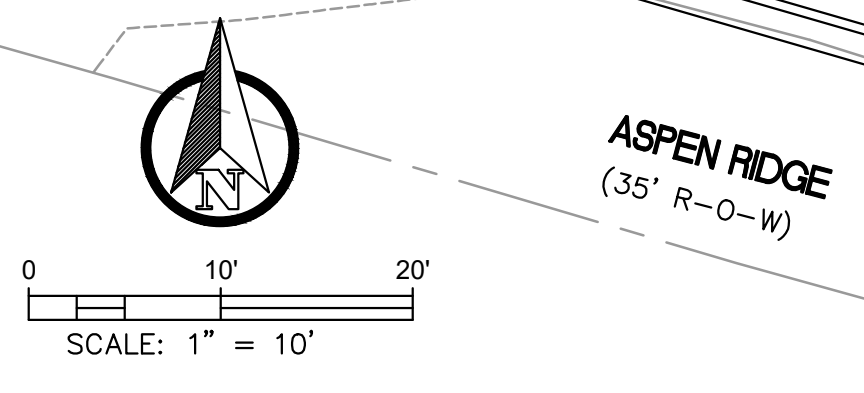
LOT 30 TOWN OF MOUNTAIN VILLAGE
 DRB GRADING PLAN

CLIENT:
 AVENTURA LLC
 LOUIS ALAIA
 18990 SANTA CLARA CIR
 FOUNDATION VALLEY, CA 92708

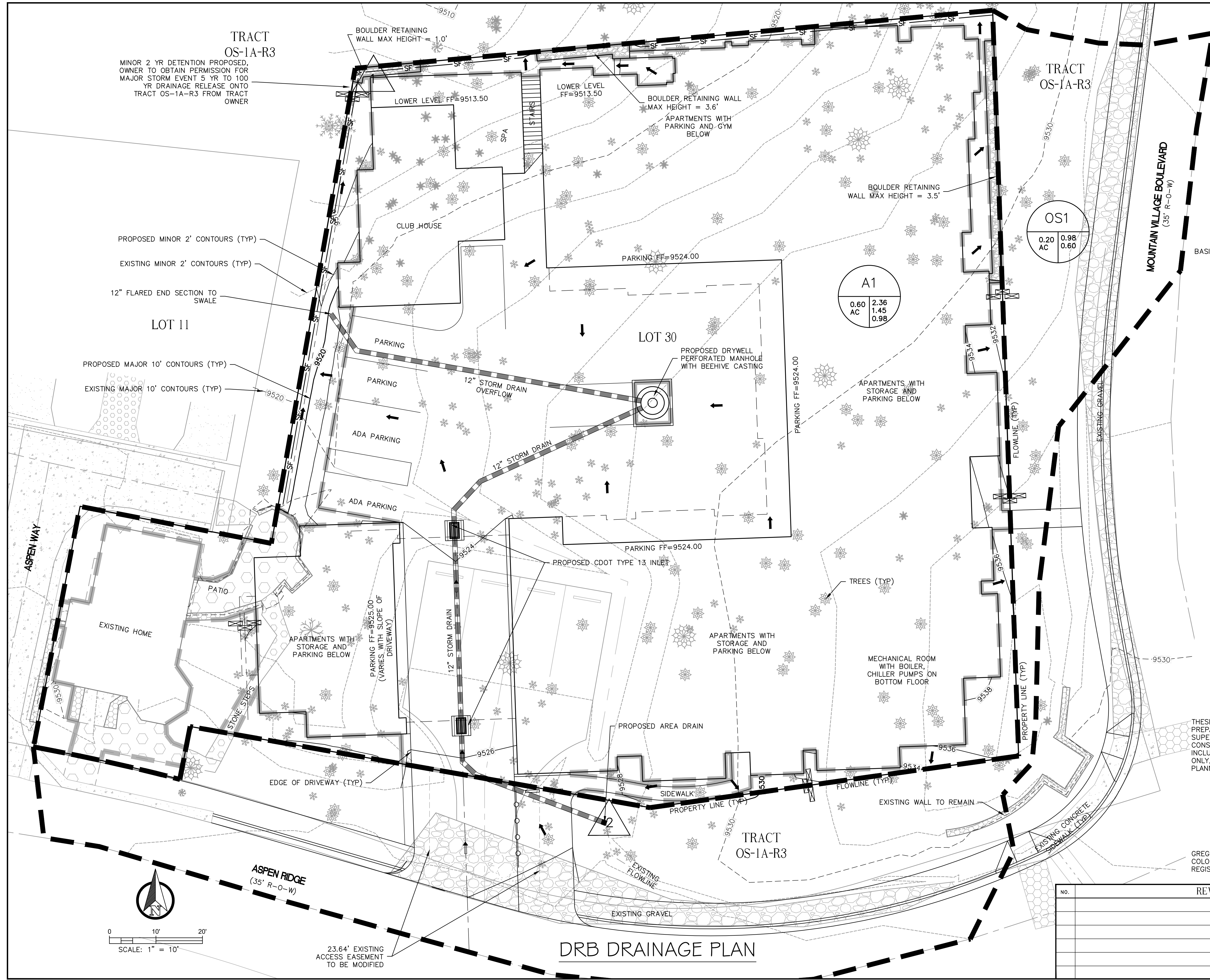
DATE: JULY 22, 2021
 PROJECT #: 2019009
 PROJECT MANAGER: GEA
 DRAWN BY: GEA/ADM

SHEET #:
1 OF 3

| NO. | REVISIONS | DATE |
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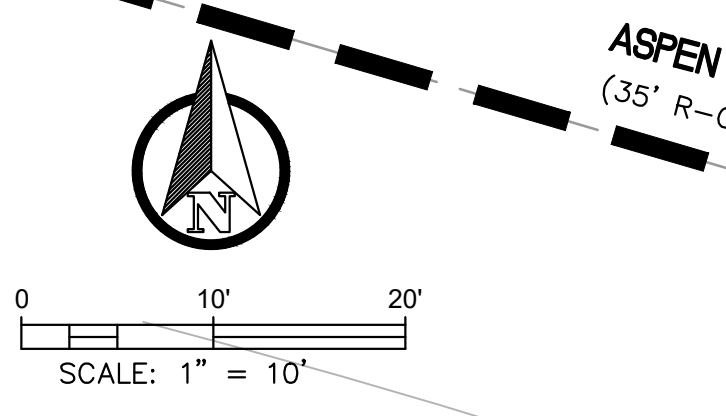


DRB GRADING PLAN



TRACT OS-1A-R3
 MINOR 2 YR DETENTION PROPOSED, OWNER TO OBTAIN PERMISSION FOR MAJOR STORM EVENT 5 YR TO 100 YR DRAINAGE RELEASE ONTO TRACT OS-1A-R3 FROM TRACT OWNER

PROPOSED MINOR 2' CONTOURS (TYP)
 EXISTING MINOR 2' CONTOURS (TYP)
 12" FLARED END SECTION TO SWALE
 LOT 11
 PROPOSED MAJOR 10' CONTOURS (TYP)
 EXISTING MAJOR 10' CONTOURS (TYP)



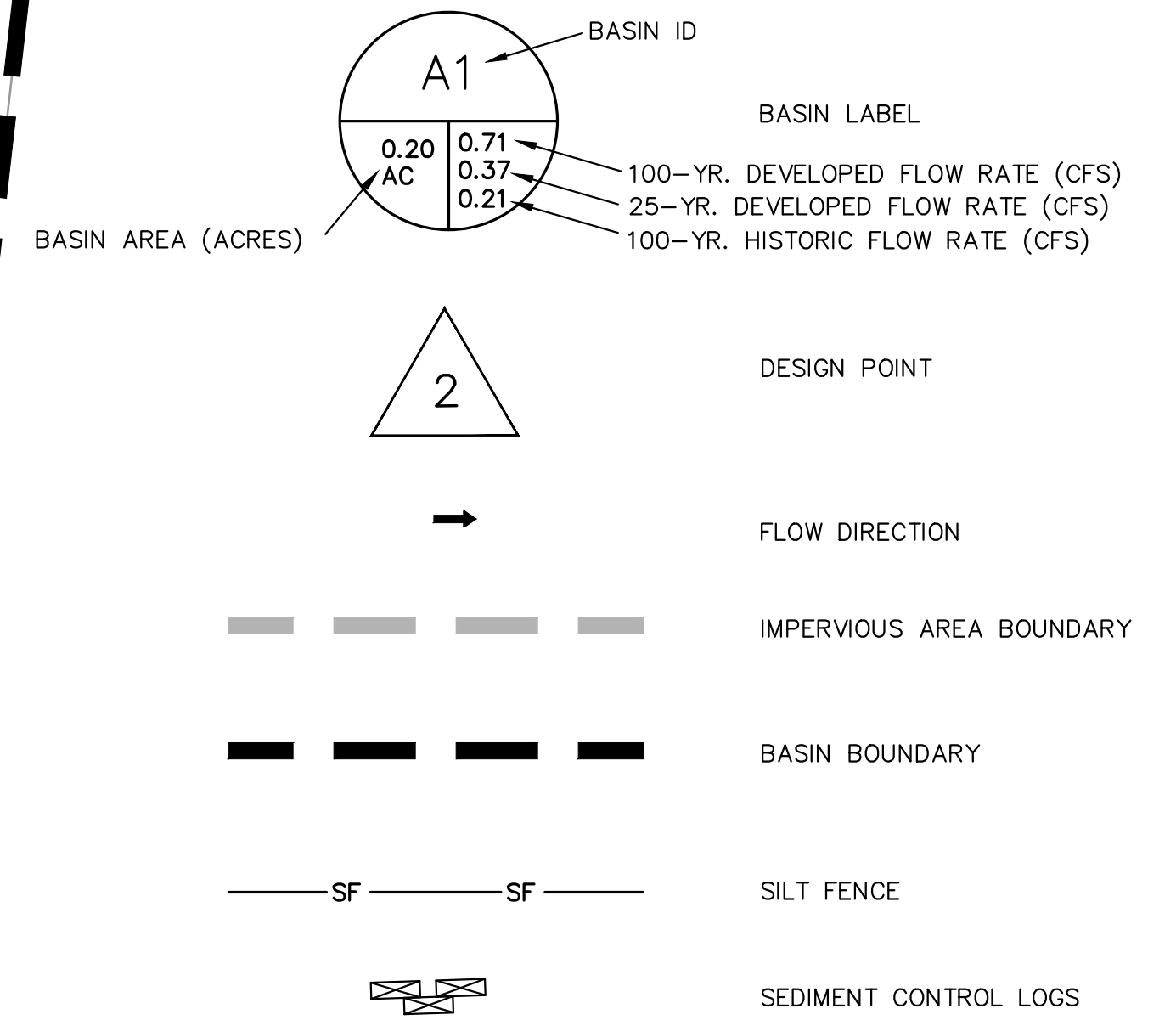
23.64' EXISTING ACCESS EASEMENT TO BE MODIFIED

DRB DRAINAGE PLAN

NOTES

1. THIS IS A PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION.
2. ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY FOLEY ASSOCIATES INC.
3. MAXIMUM SLOPE GRADING TO BE 2.5(H):1(V).
4. RETAINING WALL MAX HEIGHTS DO NOT INCLUDE FOUNDATION OR CAPS (SEE SHEET 1 LEGEND).

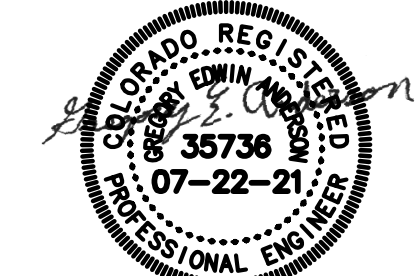
LEGEND



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GREGORY E. ANDERSON
 COLORADO PROFESSIONAL ENGINEER
 REGISTRATION NO. 35736

ALPINE LAND CONSULTING, LLC
 P.O. BOX 234
 RICO, COLORADO 81332
 970-708-0326
 GREGG@ALPINELANDCONSULTING.COM

LOT 30 TOWN OF MOUNTAIN VILLAGE
 DRB DRAINAGE PLAN

CLIENT:
 AVENTURA LLC
 LOUIS ALAIA
 18890 SANTA CLARA CIR
 FOUNDATION VALLEY, CA 92708

DATE: JULY 22, 2021

PROJECT #: 2019009

PROJECT MANAGER: GEA
 DRAWN BY: GEA/ADM

SHEET #:

2 OF 3

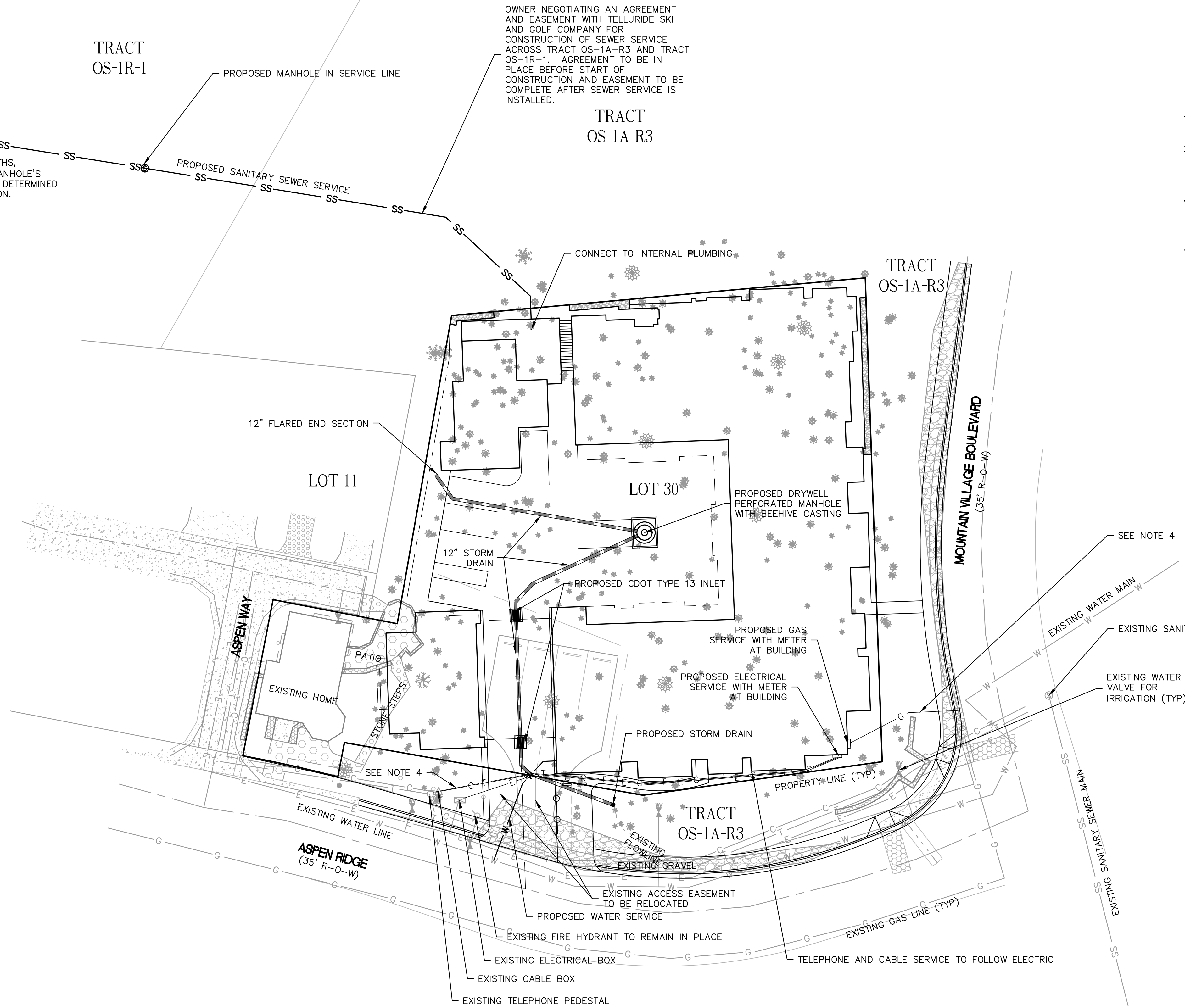
| NO. | REVISIONS | DATE |
|-----|-----------|------|
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OWNER NEGOTIATING AN AGREEMENT AND EASEMENT WITH TELLURIDE SKI AND GOLF COMPANY FOR CONSTRUCTION OF SEWER SERVICE ACROSS TRACT OS-1A-R3 AND TRACT OS-1R-1. AGREEMENT TO BE IN PLACE BEFORE START OF CONSTRUCTION AND EASEMENT TO BE COMPLETE AFTER SEWER SERVICE IS INSTALLED.

NOTES

1. THIS IS A PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION.
2. ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY FOLEY ASSOCIATES INC. SOME OF THE UTILITY SERVICES LOCATIONS SHOWN ON THIS PLAN ARE FROM MAPPING AS-BUILT INFORMATION ONLY AND NOT CONFIRMED BY FIELD SURVEY DUE TO WINTER CONDITIONS.
3. ALL UTILITY LOCATES TO BE PERFORMED PRIOR TO FINAL DESIGN. IT IS RECOMMEND THAT THE SEWER MANHOLE INVERT ELEVATIONS ARE DETERMINED FOR ALL THREE SURROUNDING MANHOLES PRIOR TO FINAL DESIGN IN ORDER TO DETERMINE IF THE SEWER REQUIRES A PUMP IN THE MECHANICAL ROOM.
4. AN EASEMENT WILL HAVE TO BE ESTABLISHED FOR ALL UTILITY SERVICES THROUGH ANY OPEN SPACE.

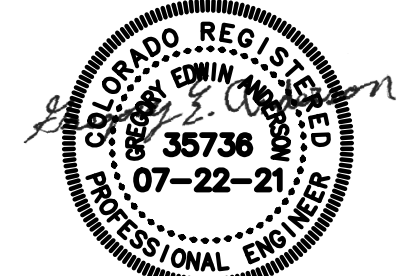
DUE TO CURRENT SNOW DEPTHS, EXISTING SANITARY SEWER MANHOLE'S LOCATION AND DEPTH TO BE DETERMINED BEFORE FINAL DRB SUBMISSION.



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GREGORY E. ANDERSON
 COLORADO PROFESSIONAL ENGINEER
 REGISTRATION NO. 35736



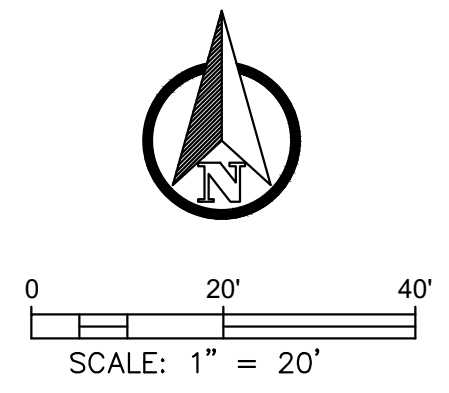
LOT 30 TOWN OF MOUNTAIN VILLAGE
 DRB UTILITY PLAN

CLIENT:
 AVENTURA LLC
 LOUIS ALAIA
 18890 SANTA CLARA CIR
 FOUNDATION VALLEY, CA 92708

DATE: JULY 22, 2021
 PROJECT #: 2019009
 PROJECT MANAGER: GEA
 DRAWN BY: GEA/ADM

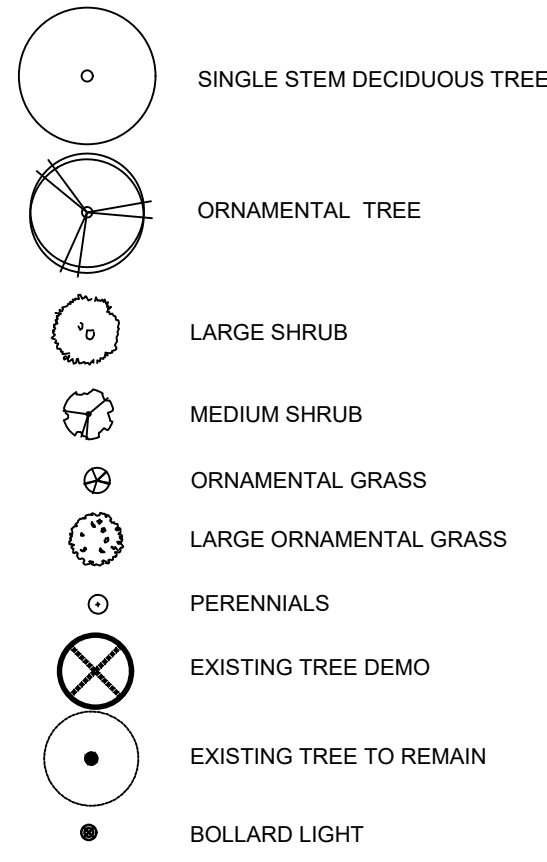
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3 OF 3

| NO. | REVISIONS | DATE |
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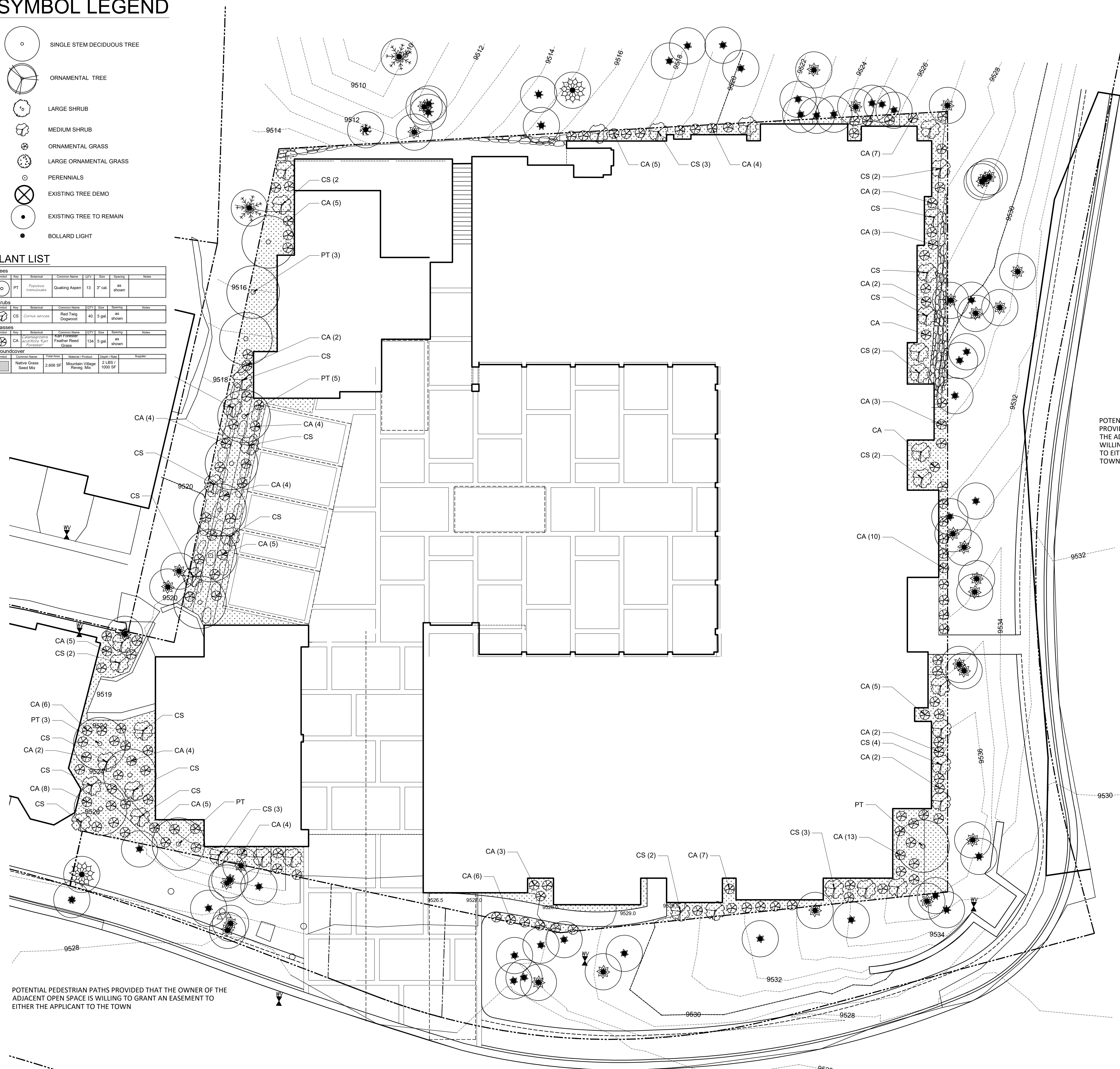
DRB UTILITY PLAN

SYMBOL LEGEND



PLANT LIST

| Tree | Symbol | Botanical | Common Name | HT | Sp. / | Notes |
|--------------|----------|----------------------|------------------|----------|-----------------|----------|
| PT | (Symbol) | Pinus ponderosa | Quaking Aspen | 13' | 7' cal. | as shown |
| Shrubs | | | | | | |
| CS | (Symbol) | Cornus sericea | Red Twig Dogwood | 40' | 5 gal. | as shown |
| Grasses | | | | | | |
| CA | (Symbol) | Chlorophytum comosum | Spider Plant | 13" | 5 gal. | as shown |
| Groundcover | | | | | | |
| Native Grass | (Symbol) | 2,800 SF | Mountain Village | 2,800 SF | 7 LBS / 1000 SF | |



POTENTIAL PEDESTRIAN PATHS PROVIDED THAT THE OWNER OF THE ADJACENT OPEN SPACE IS WILLING TO GRANT AN EASEMENT TO EITHER THE APPLICANT TO THE TOWN

POTENTIAL PEDESTRIAN PATHS PROVIDED THAT THE OWNER OF THE ADJACENT OPEN SPACE IS WILLING TO GRANT AN EASEMENT TO EITHER THE APPLICANT TO THE TOWN

1 LANDSCAPE PLAN



NOTES

SITE AND LANDSCAPE NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LOCAL GOVERNMENT STANDARDS PER THE APPROVED PLANS.
- CONTRACTORS SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATES OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION AND BECOMING AWARE OF ALL UNDERGROUND UTILITIES AND SUB-SURFACE INFRASTRUCTURE. CONTRACTORS SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE TO UTILITIES.
- ALL STRUCTURAL ELEMENTS, BOULDERS AND TREES THAT ARE NOT IDENTIFIED FOR DEMOLITION OR REMOVAL ARE TO BE PRESERVED AND PROTECTED DURING ALL PERIODS OF WORK. CONTRACTOR IS RESPONSIBLE FOR COST AND OR REPLACEMENT FOR ANY ITEM DAMAGED DURING THE COURSE OF WORK.
- CONTRACTOR SHALL SUBMIT A WRITTEN DOCUMENT TO INCLUDE THE WARRANTY AND GUARANTEE OF ALL WORK AND MATERIALS INCLUDED WITHIN THE CONTRACT AS DESCRIBED IN THE GENERAL CONDITIONS.
- ALL SITE AND LANDSCAPE ELEMENTS SHALL BE LOCATED AND LAID OUT IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.
- ALL TREES LOCATIONS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. SHRUBS SHALL BE LAID OUT IN THE FIELD BY THE CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- THE PLANT LISTS ARE PROVIDED FOR REFERENCE ONLY, AND THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT COUNTS AND IF A DISCREPANCY EXISTS, THE PLAN SHALL DICTATE.
- THE CONTRACTOR SHALL NOT DELIBERATELY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES, AND OTHER CONFLICTS EXIST THAT WERE NOT KNOWN DURING DESIGN. IN THESE CIRCUMSTANCES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND GENERAL CONTRACTOR. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO PROVIDE SUCH NOTICE.
- IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF PLANTING AREAS AND AREAS SHOWN ON THE PLANS, LANDSCAPE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION.
- FINAL LOCATION AND STAKING OF ALL PLANT AND HARDSCAPE MATERIALS SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR AT THE DIRECTION OF THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL NOT PROCEED WITH PLANTING AND FINAL INSTALLATION UNTIL LAYOUT AND STAKING HAS BEEN FULLY APPROVED BY THE LANDSCAPE ARCHITECT.
- CONTRACTORS SHALL PROVIDE OWNER WITH UNIT COSTS FOR ALL SITE AND LANDSCAPE ELEMENTS AND PLANTINGS AND INCLUDE ALL COSTS FOR MATERIAL, LABOR, TRANSPORTATION, HANDLING, OVERHEAD AND PROFIT, SPECIFICALLY AS REQUESTED.
- ALL BOULDER PLACEMENT IS TO BE APPROVED IN ADVANCE BY LANDSCAPE ARCHITECT PRIOR TO FINAL PLACEMENT.
- NO SUBSTITUTIONS FOR ANY MATERIALS SPECIFIED SHALL BE MADE WITHOUT LANDSCAPE ARCHITECT APPROVAL.
- ALL ROADWAY AREAS WITHIN AND SURROUNDING WORK AREAS SHALL BE SWEEPED AND CLEANED AT COMPLETION OF WORK EACH DAY AND NO MATERIALS SHALL BE STORED WITHIN OR SURROUNDING THE WORK AREA OVERNIGHT. CONSTRUCTION SHALL NOT BE CONSIDERED COMPLETE UNTIL ALL PROJECT AREAS HAVE BEEN CLEANED OF ALL DIRT, DEBRIS, MATERIALS, AND ALL DAMAGED ITEMS REPAIRED WITH ACCEPTANCE BY THE LANDSCAPE ARCHITECT.

PLANTING NOTES AND SPECIFICATIONS:

- ALL PLANT MATERIALS SHALL BE NURSERY GROWN. PLANTS SHALL BE HEALTHY AND FREE OF DISEASE AND PESTS. ALL PLANT MATERIAL IS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR SHALL SUPPLY PHOTOS AND LOCATION OF THE SOURCE OF ALL TREES AND SHRUBS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO DELIVERY OF MATERIALS TO THE PROJECT SITE(S).
- ALL CONTAINER PLANTS SHALL HAVE BEEN GROWN IN THE CONTAINERS IN WHICH THEY ARE DELIVERED FOR A MINIMUM OF TWO MONTHS, BUT NOT MORE THAN TWO YEARS FOR SHRUBS AND GRASSES AND ONE YEAR FOR PERENNIALS AND GROUND COVERS.
- PLANTING BACKFILL IS TO CONSIST OF 66% NATIVE TOPSOIL AND 33% ORGANIC COMPOST TO A DEPTH OF 9". TILL 5" OF TOPSOIL IMPORT AND 3" OF COMPOST FOR ALL AREAS TO BE PLANTED.
- ALL TREE AND SHRUB PLANTING AREAS ARE TO BE MULCHED WITH 3" MULCH.
- ALL PERENNIAL BEDS SHALL BE COVERED WITH A TOP COAT OF 2" OF COMPOST (NO MULCH). CONTRACTOR SHALL PROVIDE A SAMPLE OF COMPOST AND ITS SOURCE TO LANDSCAPE ARCHITECT PRIOR TO PLANT INSTALLATION.
- TREES SHALL HAVE ALL BINDING MATERIAL REMOVED AROUND THE BASE OF THE TRUNK AND BURLAP MATERIALS REMOVED AT LEAST HALFWAY TO THE MIDDLE OF THE ROOT BALL PRIOR TO BACKFILLING AND PLANTING.
- EVERGREEN TREES GREATER THAN 6' ARE TO BE STAKED WITH (3) 5" STEEL T-STAKES AND GUYED WITH GALVANIZED WIRE. SEE PLANTING DETAILS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ERADICATION, REMOVAL, DISPOSAL OF WEEDS WITHIN THE LIMITS OF WORK DURING THE CONSTRUCTION PERIOD AND THROUGH THE PROJECT'S FINAL ACCEPTANCE.
- AT THE TIME OF PLANTING ALL NEWLY PLANTED TREES AND SHRUBS SHALL BE FERTILIZED WITH BIOSOIL MIX. ALL PURPOSE FERTILIZER PER MANUFACTURER'S SPECIFICATIONS. THIS FERTILIZER TO BE MIXED IN WITH PLANTING BACKFILL. PLEASE CONTACT ROCKY MOUNTAIN BIO-PRODUCTS, 10801 E. 54TH AVENUE, DENVER, CO. 80239, PHONE (303) 696-8964.
- ALL PLANT BED AND LAWN AREAS SHALL BE SEPARATED FROM ADJACENT AREAS WITH EDGING. THE PREFERRED PRODUCT IS VALLEY VIEW INDUSTRIES 'ACE OF DIAMOND' PLASTIC EDGING OR EQUAL. EDGING SHALL BE PINNED IN PLACE WITH FIVE 9" MFR SUPPLIED MTL LANDSCAPE STAKES SPACED EVENLY PER 20' SECTION OF EDGING. JOINTS BETWEEN SECTIONS OF EDGING SHALL BE SECURED WITH MFR SUPPLIED C CLIPS. EDGING SHALL NOT EXTEND ABOVE SURROUNDING FINISHED GRADE BY MORE THAN 1/2".
- PRIOR TO PLANTING OR SEEDING, THE IRRIGATION SYSTEM SHALL BE FULLY IN PLACE AND OPERATIONAL.
- IRRIGATION SYSTEM TO BE DESIGN/BUILD WITH IRRIGATION PLAN SUBMITTED WITH BUILDING PERMIT SET.
- ALL PERENNIAL AND GARDEN PLANTING BEDS TO BE SPRAY HEAD IRRIGATED USING SOAKER HOSE, LOW VOLUME MIST AND/OR EMITTERS EQUIPPED WITH ADJUSTABLE NOZZLES TO LIMIT OVER/UNDER WATERING WITHIN A SPECIFIC ZONE.
- SHRUBS AND TREES TO BE DRIP IRRIGATED AND ON A SEPARATE ZONE TO BE SHUT OFF TWO FULL GROWING SEASONS AFTER PLANT ESTABLISHMENT.
- NATIVE SEED AREAS TO BE IRRIGATED WITH A TEMPORARY ROTOR IRRIGATION SYSTEM FOR AN ESTABLISHMENT PERIOD NOT TO EXCEED 3 YEARS.
- ALL DISTURBED AREAS SHALL BE REVEGETATED WITH TELLURIDE MOUNTAIN VILLAGE APPROVED NATIVE GRASS SEED MIX: (Western Yarrow 5%, Tall Fescue 10%, Arizona Fescue 5%, Hard Fescue 5%, Creeping Red Fescue 10%, Alpine Bluegrass 15%, Canada Bluegrass 10%, Perennial Ryegrass 15%, Slender Wheatgrass 10%, Mountain Bromo 15%) AT A RATE OF 2.0 LBS PER 1,000 SQUARE FEET.
- ALL NATIVE SEED AREAS ARE TO BE LIGHTLY RAKED 1/2" INTO THE SOIL AFTER SEEDS HAVE BEEN EVENLY DISTRIBUTED PER THE SPECIFIED SEEDING RATE.
- MULCH ALL NATIVE SEED AREAS WITH 1" - 2" OF CERTIFIED WEED FREE STRAW OR HAY, ALL STRAW AREAS ARE TO BE TACKIFIED WITH APPROVED ORGANIC TACKIFIER AT THE RATE OF 120 LBS / ACRE, OR HYDROMULCHED.
- SOIL PREPARATION OF ALL NATIVE SEED AREAS WILL INCLUDE THE FOLLOWING:
 - LOOSENING THE SOIL TO A MINIMUM OF 4" DEPTH REMOVING ROCKS OVER 2" IN DIAMETER, ROOTS, STICKS, DEBRIS AND ANY OTHER EXTRANEIOUS MATERIAL.
 - AMENDING SOIL WITH 2" COMPOST AND 2" TOPSOIL, AND TILLING TO A MINIMUM 6" DEPTH.
 - GRADED TO A SMOOTH, FREE DRAINING EVEN SURFACE WITH A LOOSE, MODERATELY COARSE TEXTURE. REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO DRAIN.
- ONE APPLICATION OF A DI-AMMONIUM PHOSPHATE FERTILIZER, 18-46-0, SHALL BE BROADCAST PRIOR TO SEEDING AT A RATE OF 8 LBS. PER 1000 SF. LANDSCAPE CONTRACTOR SHALL SUBMIT A WRITTEN DOCUMENT REGARDING ITS POLICY OF PLANT WARRANTY AND REPLACEMENT.
- EACH WARRANTY SHALL CONFORM TO THE MINIMUM STANDARD OF REPLACING ALL MATERIALS INCLUDING LABOR, DUE TO THE SICKNESS OR DEATH OF A PLANT FOR A PERIOD OF TWO YEARS FOLLOWING THE PLANTS INSTALLATION AND ACCEPTANCE OF THE PROJECT BY THE TOWN.
- ALL EXCESS NATIVE SOIL RESULTING FROM SOIL PREP SHALL BE DISPOSED OF AND REMOVED FROM THE SITE OR STOCKPILED IN LOCATION APPROVED BY OWNER.

HARDSCAPE NOTES:

REFER TO CIVIL AND LANDSCAPE DETAILS / SPECS FOR SIZES, COLORS, TYPE AND FINISHES OF ALL HARDSCAPE MATERIALS, INCLUDING PAVERS, BOULDERS, AND WALLS.

ELECTRICAL AND LIGHTING NOTES:

- ELECTRICAL CONTRACTOR SHALL WARRANTY ALL WORK FOR A PERIOD OF TIME OF (2) YEARS.
- ALL FIXTURES SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.

DEMOLITION NOTES:

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES (PROPOSED & EXISTING) PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO BEGINNING CONSTRUCTION.
- ANY DISTURBED AREAS OUTSIDE OF THE PROJECT LIMIT OF WORK SHALL BE RE-MEDIATED TO EXISTING CONDITIONS.
- ROOT BALLS TO BE GROUND UP ON SITE.
- ALL CONSTRUCTION WASTE SHALL BE DISPOSED OF PROPERLY OFF SITE.

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101 El Paso
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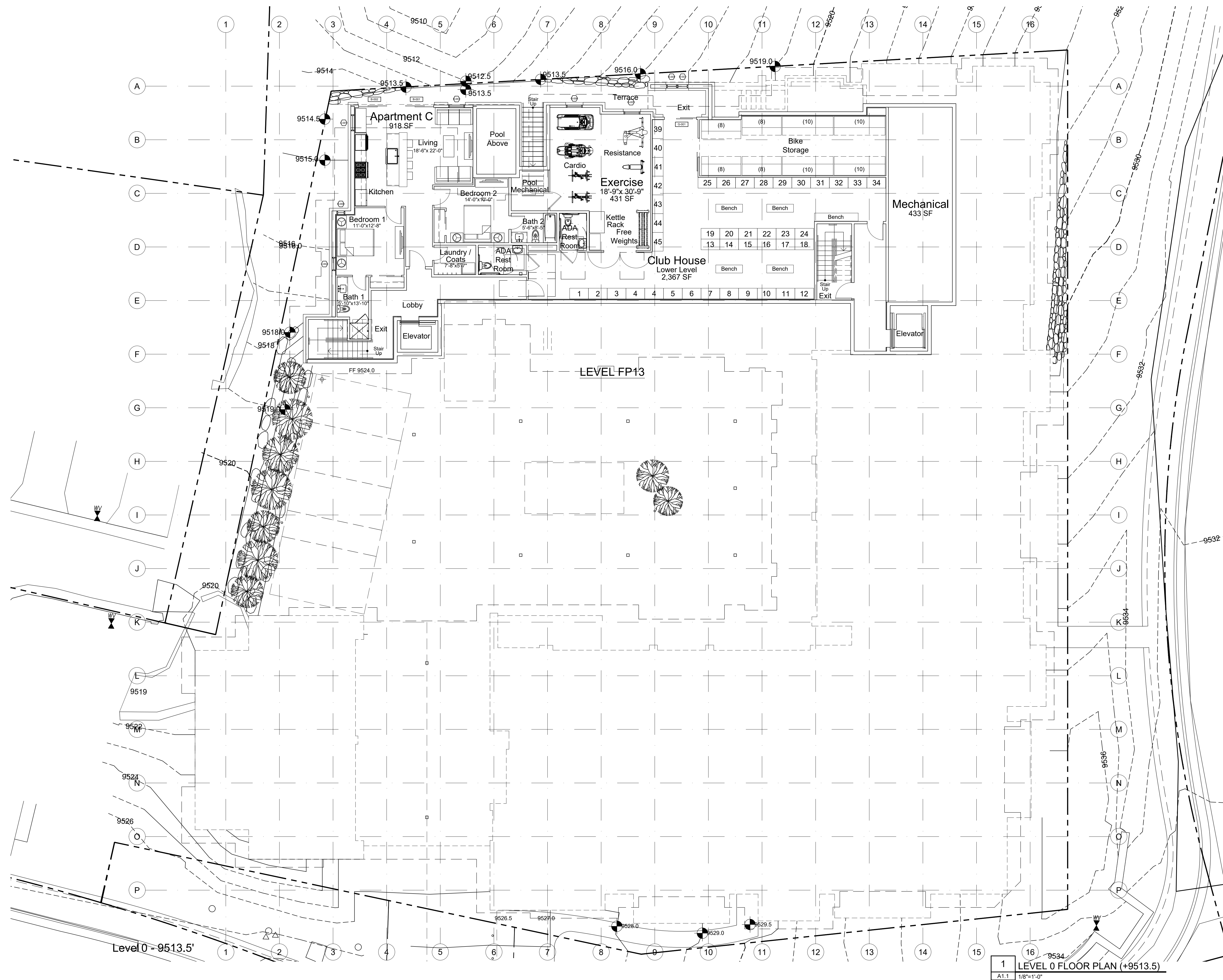
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LOT 30
TELLURIDE MOUNTAIN VILLAGE, CO
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| PROJECT No. | DATE | |
| 192733.00 | 03/23/2021 | |
| DRAWN BY | CHK BY | TRV BY |
| TH | PC | |

SHEET No. **L1.0**
SCALE: AS SHOWN



1 LEVEL 0 FLOOR PLAN (+9513.5)
A1.1 1/8"=1'-0"

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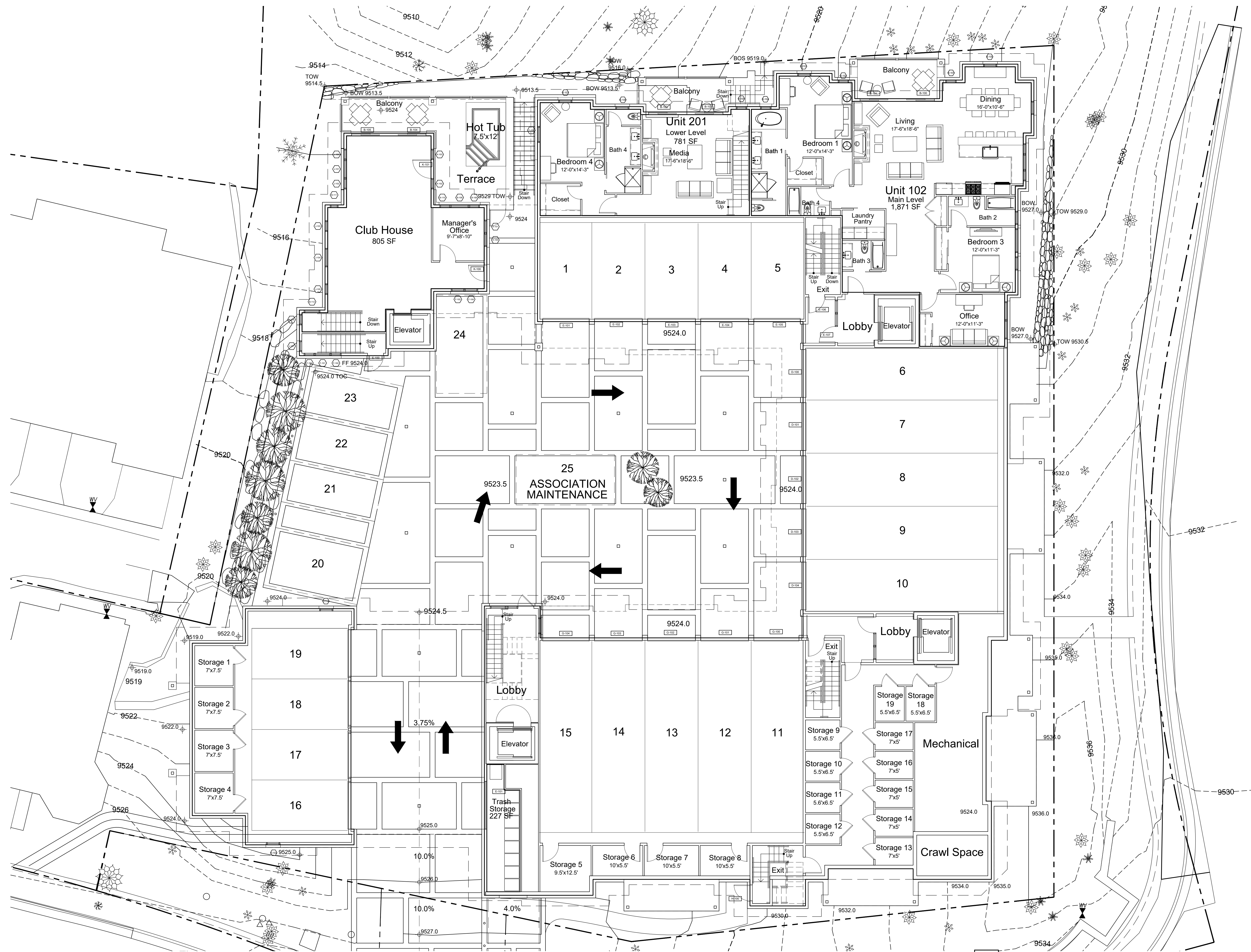
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| F | 10/07/2021 | DESIGN REVIEW - 4 |

LEVEL 0
FLOOR PLAN
(+9513.5)

| | |
|--------------------------|--------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY X | CHK BY X |
| | TRV BY X |

SHEET No.
A1.1
SCALE: AS SHOWN



1 LEVEL 01 FLOOR PLAN (+9524.0)
A1.2 1/8"=1'-0"

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LEVEL 01
FLOOR PLAN
 (+9524.0)

| | |
|--------------------------|--------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY X | CHK BY X |
| | TRV BY X |

SHEET No.
A1.2
 SCALE: AS SHOWN



1 LEVEL 02 FLOOR PLAN (+935.0)
A1.3 1/8"=1'-0"

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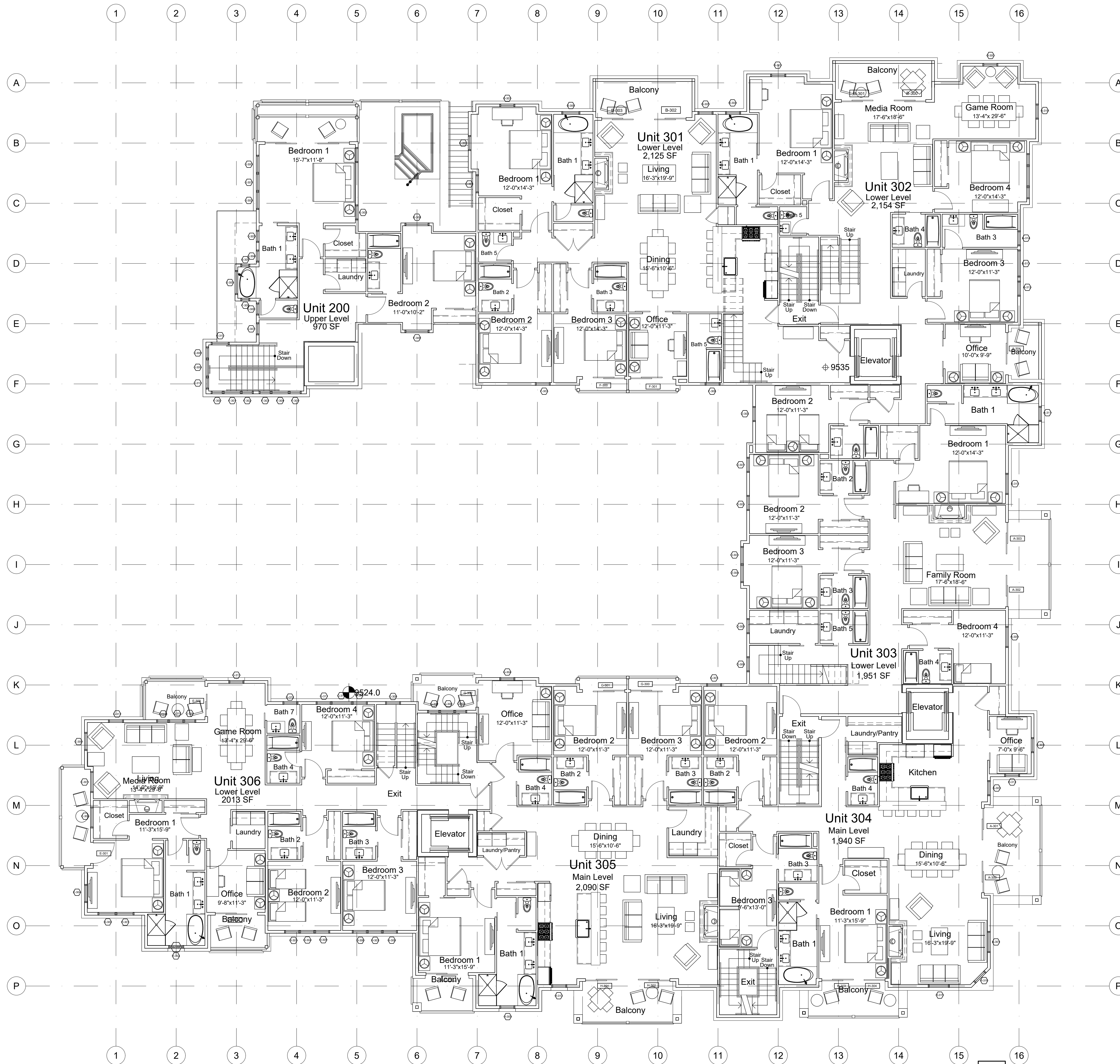
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| F | 10/07/2021 | DESIGN REVIEW - 4 |

LEVEL 02
FLOOR PLAN
(+935.0)

| | |
|--------------------------|--------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY X | CHK BY X |
| | TRV BY X |

SHEET No.
A1.3
SCALE: AS SHOWN



1 LEVEL 03 FLOOR PLAN (+9546.0)
A1.4 1/8"=1'-0"

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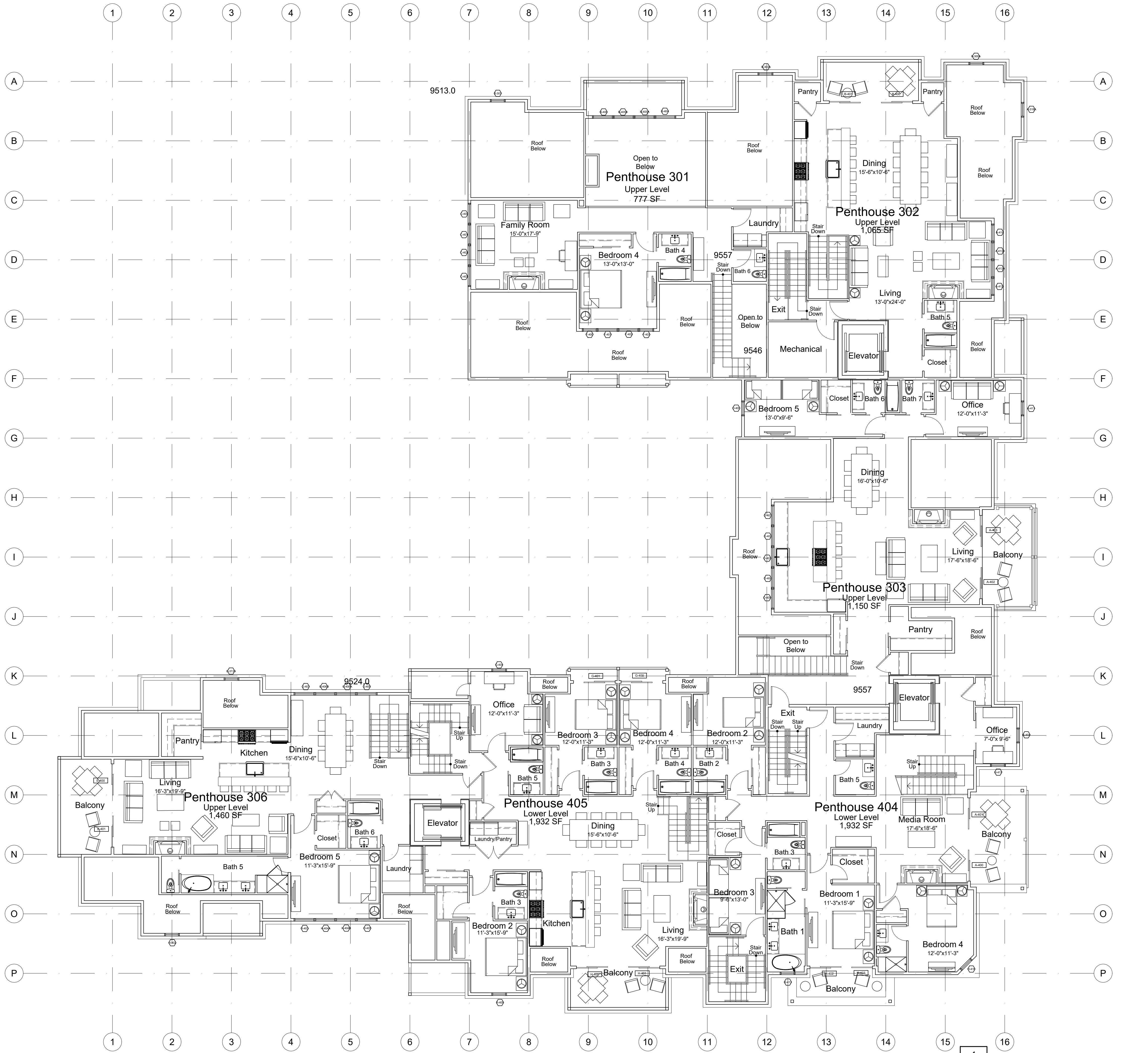
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| F | 10/07/2021 | DESIGN REVIEW - 4 |

LEVEL 03
FLOOR PLAN
(+9546.0)

| | |
|--------------------------|--------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY X | CHK BY X |
| | TRV BY X |

SHEET No.
A1.4
SCALE: AS SHOWN



1 LEVEL 04 FLOOR PLAN (+9557.0)
A1.5 1/8"=1'-0"

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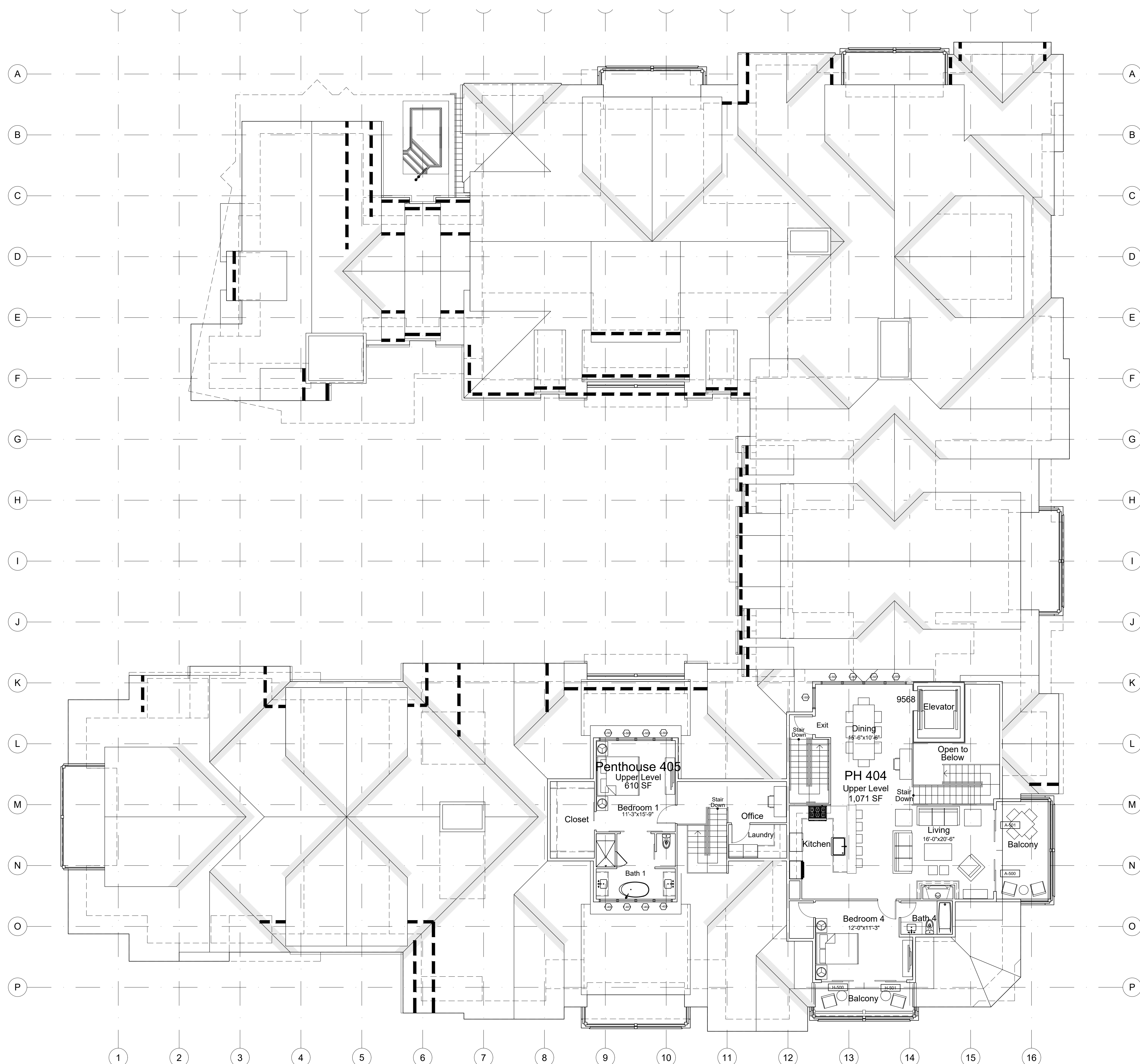
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| F | 10/07/2021 | DESIGN REVIEW - 4 |

LEVEL 04
FLOOR PLAN
(+9557.0)

| | |
|--------------------------|--------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY X | CHK BY X |
| | TRV BY X |

SHEET No.
A1.5
SCALE: AS SHOWN



1 LEVEL 05 FLOOR PLAN (+9568.0)
 A1.6 1/8"=1'-0"

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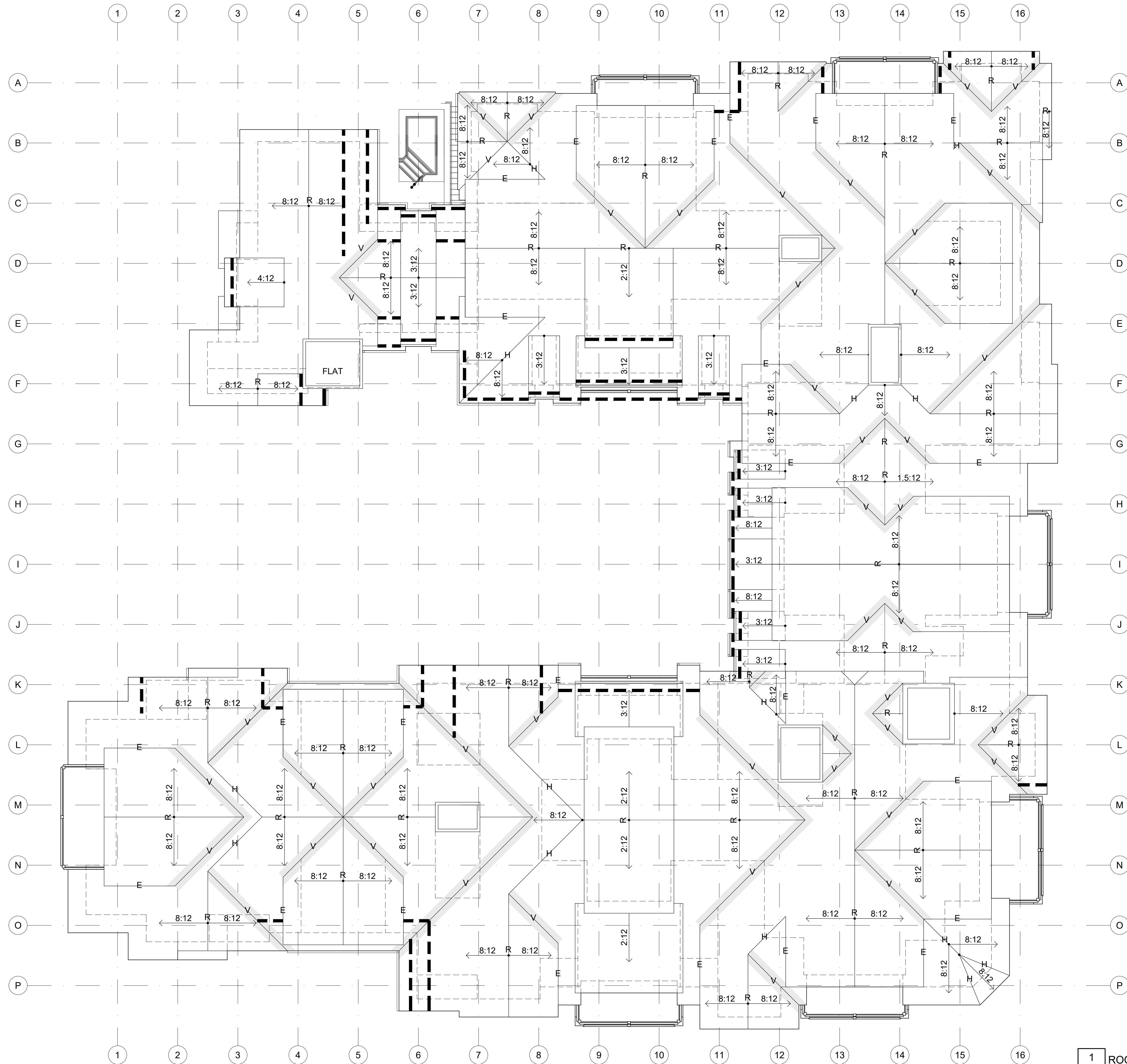
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LEVEL 05
FLOOR PLAN
(+9568)

| | |
|--------------------------|--------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY X | CHK BY X |
| | TRV BY X |
| SHEET No. A1.6 | |
| SCALE: AS SHOWN | |



LEGEND
 GUTTER AND DOWNSPOUT
 HEAT TRACE TAPE,
 TYP AT VALLEYS
 SNOW FENCE

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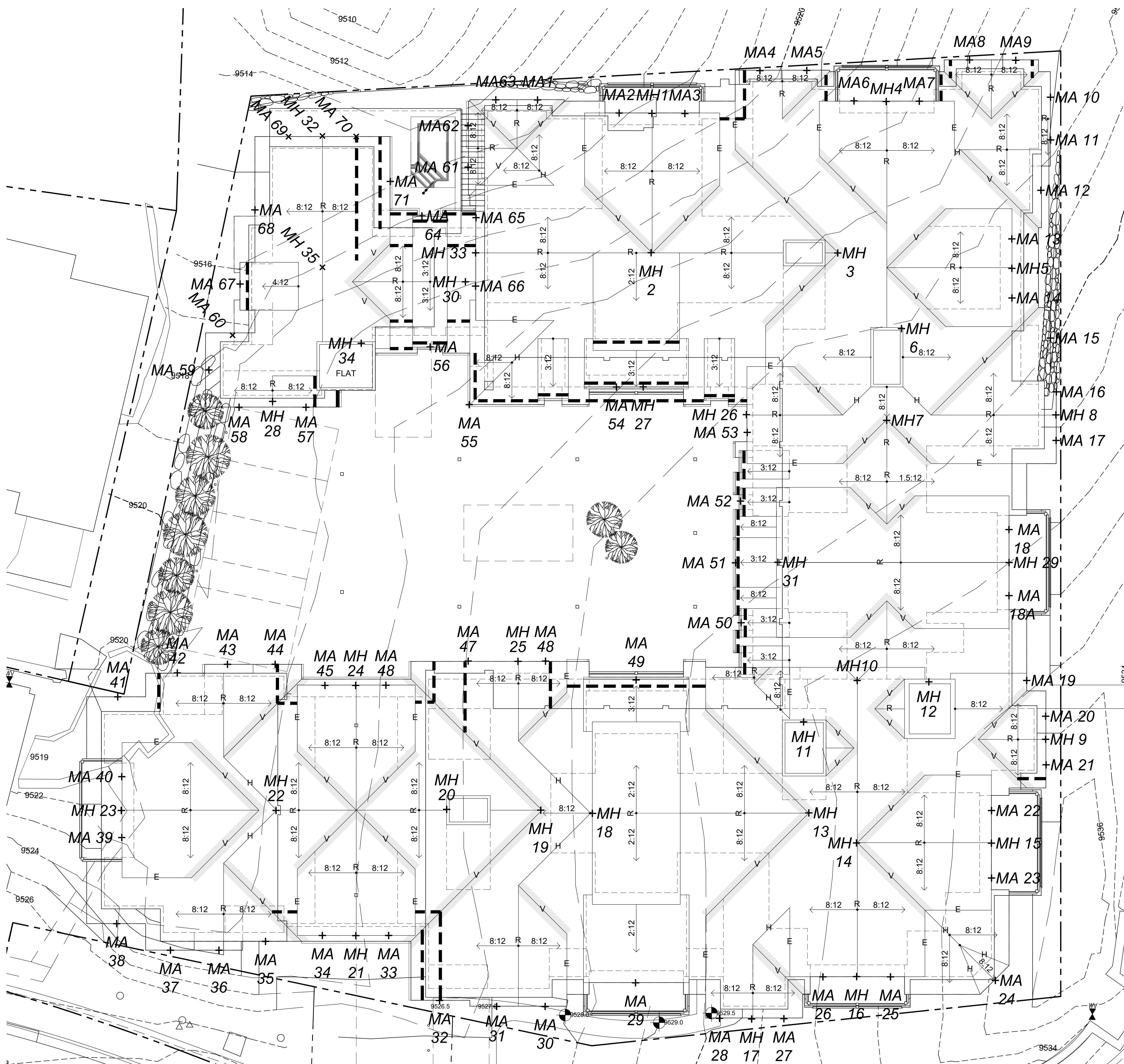
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ROOF PLAN

| | |
|--------------------------|--------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY X | CHK BY X |
| | TRV BY X |
| SHEET No. A1.7 | |
| SCALE: AS SHOWN | |

1 ROOF PLAN
 A1.7 1/8"=1'-0"



| Maximum Average Height | | | |
|------------------------|----------------|-----------------|-------------|
| Point (MA) | Roof Elevation | Grade Elevation | Roof Height |
| 1 | 9558.8 | 9513.6 | 45.2 |
| 2 | 9565.2 | 9517.2 | 48.0 |
| 3 | 9565.2 | 9518.4 | 46.8 |
| 4 | 9560.0 | 9519.4 | 40.6 |
| 5 | 9560.0 | 9520.6 | 39.4 |
| 6 | 9570.6 | 9522.6 | 48.0 |
| 7 | 9570.6 | 9524.2 | 46.4 |
| 8 | 9560.0 | 9525.0 | 35.0 |
| 9 | 9560.0 | 9526.4 | 33.6 |
| 10 | 9560.0 | 9526.8 | 33.2 |
| 11 | 9560.0 | 9527.0 | 33.0 |
| 12 | 9561.6 | 9527.0 | 34.6 |
| 13 | 9571.1 | 9527.0 | 44.1 |
| 14 | 9571.1 | 9527.0 | 44.1 |
| 15 | 9560.7 | 9528.0 | 32.7 |
| 16 | 9566.7 | 9530.0 | 36.7 |
| 17 | 9566.7 | 9531.2 | 35.5 |
| 18 | 9569.5 | 9532.0 | 37.5 |
| 18A | 9569.5 | 9533.0 | 36.5 |
| 19 | 9576.2 | 9533.1 | 43.1 |
| 20 | 9571.1 | 9534.6 | 36.5 |
| 21 | 9571.1 | 9535.5 | 35.6 |
| 22 | 9581.7 | 9534.5 | 47.2 |
| 23 | 9581.7 | 9534.5 | 47.2 |
| 24 | 9568.5 | 9534.9 | 33.6 |
| 25 | 9581.7 | 9533.2 | 48.5 |
| 26 | 9581.7 | 9532.1 | 49.6 |
| 27 | 9571.0 | 9531.3 | 39.7 |
| 28 | 9571.0 | 9530.5 | 40.5 |
| 29 | 9567.7 | 9529.0 | 38.7 |
| 30 | 9569.0 | 9527.5 | 41.5 |
| 31 | 9569.0 | 9526.5 | 42.5 |
| 32 | 9563.0 | 9525.5 | 37.5 |
| 33 | 9571.2 | 9524.5 | 46.7 |
| 34 | 9571.2 | 9523.5 | 47.7 |
| 35 | 9564.0 | 9523.0 | 41.0 |
| 36 | 9562.4 | 9523.0 | 39.4 |
| 37 | 9562.4 | 9523.5 | 38.9 |
| 38 | 9556.3 | 9524.0 | 32.3 |
| 39 | 9568.6 | 9522.0 | 46.6 |
| 40 | 9568.6 | 9520.5 | 48.1 |
| 41 | 9556.3 | 9520.0 | 36.3 |
| 42 | 9562.4 | 9520.0 | 42.4 |
| 43 | 9562.4 | 9521.0 | 41.4 |
| 44 | 9564.0 | 9522.0 | 42.0 |
| 45 | 9571.2 | 9524.0 | 47.2 |
| 46 | 9571.2 | 9524.0 | 47.2 |
| 47 | 9563.0 | 9524.0 | 39.0 |
| 48 | 9569.0 | 9524.0 | 45.0 |
| 49 | 9569.0 | 9524.0 | 45.0 |
| 50 | 9567.7 | 9524.0 | 43.7 |
| 51 | 9562.8 | 9524.0 | 38.8 |
| 52 | 9567.7 | 9524.0 | 43.7 |
| 53 | 9562.8 | 9524.0 | 38.8 |
| 54 | 9556.7 | 9524.0 | 32.7 |
| 55 | 9551.8 | 9524.0 | 27.8 |
| 56 | 9556.3 | 9523.0 | 33.3 |
| 57 | 9553.0 | 9520.0 | 33.0 |
| 58 | 9553.0 | 9521.0 | 32.0 |
| 59 | 9549.2 | 9519.0 | 30.2 |
| 60 | 9551.8 | 9517.0 | 34.8 |
| 61 | 9546.2 | 9514.5 | 31.7 |
| 62 | 9545.4 | 9514.4 | 31.0 |
| 63 | 9541.2 | 9517.9 | 23.3 |
| 64 | 9556.3 | 9518.0 | 38.3 |
| 65 | 9565.2 | 9519.5 | 45.7 |
| 66 | 9565.2 | 9524 | 41.2 |
| 67 | 9556.4 | 9516.5 | 39.9 |
| 68 | 9559.2 | 9515.5 | 43.7 |
| 69 | 9558.6 | 9514.5 | 44.1 |
| 70 | 9558.6 | 9514.4 | 44.2 |
| 71 | 9554.8 | 9516 | 38.8 |
| Maximum Average Height | | | 39.9 |

| Maximum Height | | | |
|----------------|----------------|-----------------|-------------|
| Point (MH) | Roof Elevation | Grade Elevation | Roof Height |
| 1 | 9569.0 | 9518.1 | 50.9 |
| 2 | 9569.0 | 9525.1 | 43.9 |
| 3 | 9569.0 | 9526.2 | 42.8 |
| 4 | 9574.5 | 9523.0 | 51.5 |
| 5 | 9574.5 | 9527.0 | 47.5 |
| 6 | 9580.0 | 9527.5 | 52.5 |
| 7 | 9574.5 | 9529.5 | 45.0 |
| 8 | 9569.5 | 9530.8 | 38.7 |
| 9 | 9573.8 | 9535.1 | 38.6 |
| 10 | 9585.0 | 9532.6 | 52.9 |
| 11 | 9584.0 | 9531.5 | 52.5 |
| 12 | 9584.5 | 9532.8 | 51.7 |
| 13 | 9580.0 | 9531.6 | 48.4 |
| 14 | 9585.5 | 9532.6 | 52.9 |
| 15 | 9585.5 | 9534.6 | 50.9 |
| 16 | 9585.5 | 9532.7 | 52.8 |
| 17 | 9567.7 | 9529.0 | 38.7 |
| 18 | 9580.0 | 9528.5 | 51.5 |
| 19 | 9574.5 | 9527.5 | 47.0 |
| 20 | 9578.0 | 9525.6 | 52.4 |
| 21 | 9574.5 | 9523.9 | 50.6 |
| 22 | 9574.5 | 9522.2 | 52.3 |
| 23 | 9572.5 | 9521.5 | 51.0 |
| 24 | 9574.5 | 9523.5 | 51.0 |
| 25 | 9567.7 | 9524.0 | 43.7 |
| 26 | 9567.8 | 9524.0 | 43.8 |
| 27 | 9556.8 | 9524.0 | 32.8 |
| 28 | 9556.8 | 9520.5 | 36.3 |
| 29 | 9573.3 | 9532.3 | 41.0 |
| 30 | 9559.0 | 9522.0 | 37.0 |
| 31 | 9573.3 | 9524.0 | 49.3 |
| 32 | 9562.4 | 9514.5 | 47.9 |
| 33 | 9569.0 | 9529.0 | 40.0 |
| 34 | 9563.0 | 9523.0 | 40.0 |
| 35 | 9562.5 | 9518.0 | 44.5 |
| Maximum Height | | | 46.4 |

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MOUNTAIN VILLAGE

LOT 30

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| No. | DATE | COMMENT |
|-----|------------|-------------------|
| A | 03/23/2021 | DESIGN REVIEW |
| B | 03/09/2021 | CONCEPT BUDGETING |
| C | 04/28/2021 | DESIGN REVIEW - 1 |
| D | 07/01/2021 | DESIGN REVIEW - 2 |
| E | 07/29/2021 | DESIGN REVIEW - 3 |
| F | 10/07/2021 | DESIGN REVIEW - 4 |

OVERLAY ROOF PLAN

PROJECT No. 192733.00
 DRAWN BY X
 SHEET No.

DATE 03/23/2021
 CHK BY X
 TRV BY X

A1.8
SCALE: AS SHOWN

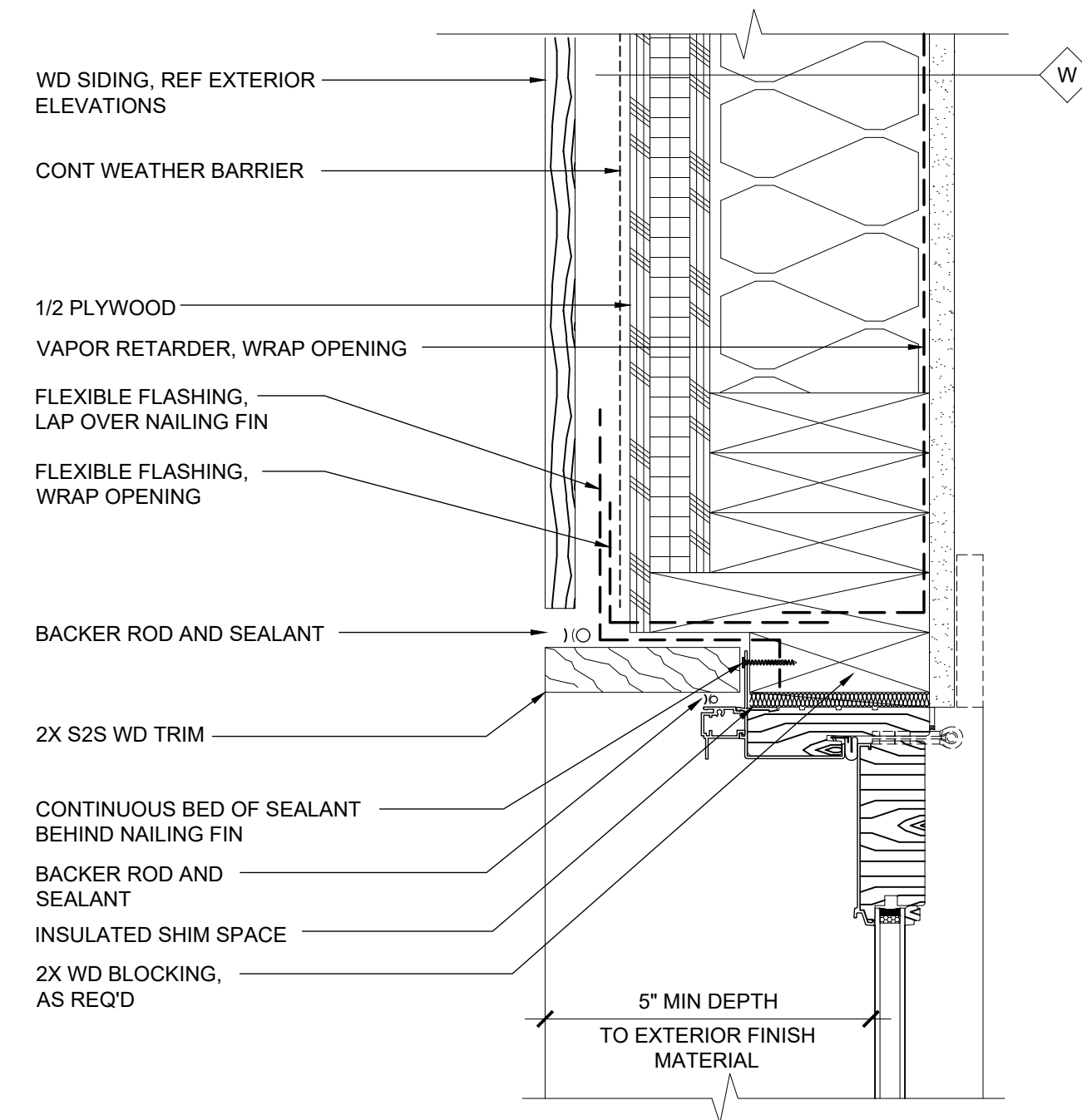
1 ROOF PLAN
A1.8 1/8"=1'-0"

DOOR SCHEDULE GENERAL NOTES:

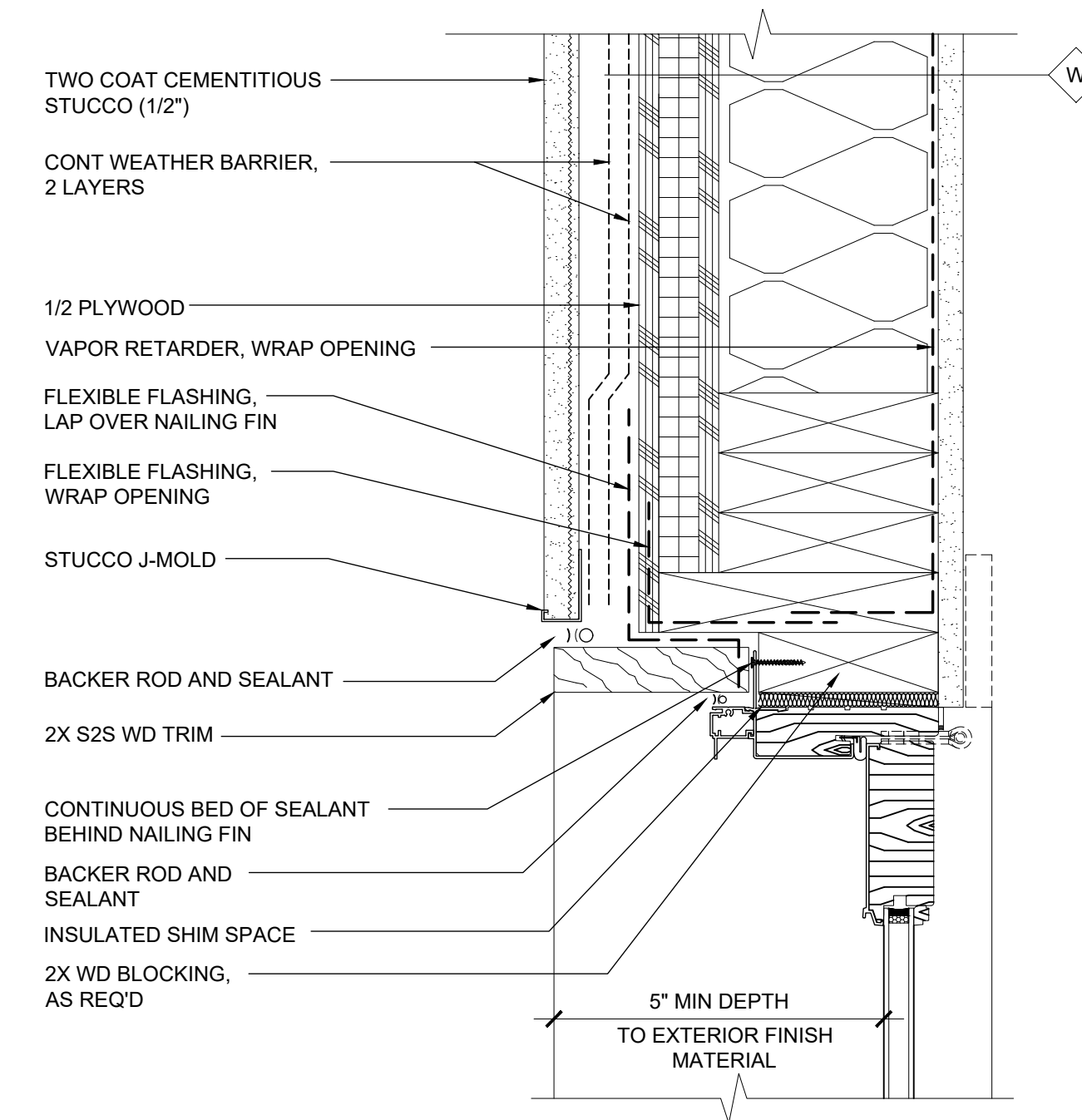
1. SIZE DETERMINED BY OVERALL SIZE OF DOOR, NOT BY INDIVIDUAL LEAFS UNLESS NOTED OTHERWISE.
2. RATINGS DESIGNATED IN MINUTES.
3. SEE SPECIFICATIONS FOR HARDWARE (HW) GROUPS.
4. SEE PLANS AND ELEVATIONS FOR SWING INFORMATION.

DOOR DETAIL GENERAL NOTES:

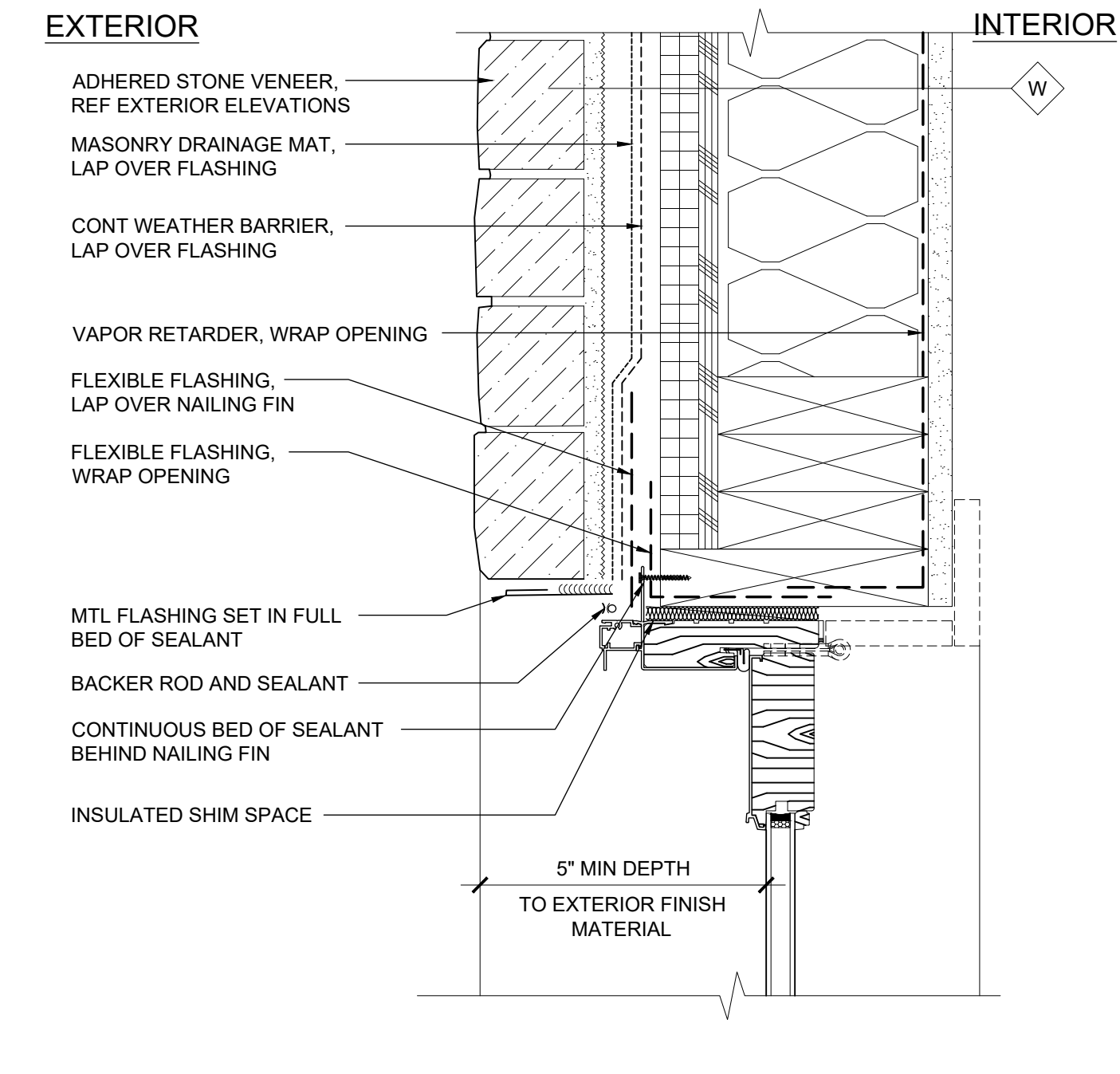
1. WEATHER BARRIER AND FLASHING LINES ARE SHOWN OFFSET FOR CLARITY, TYPICAL



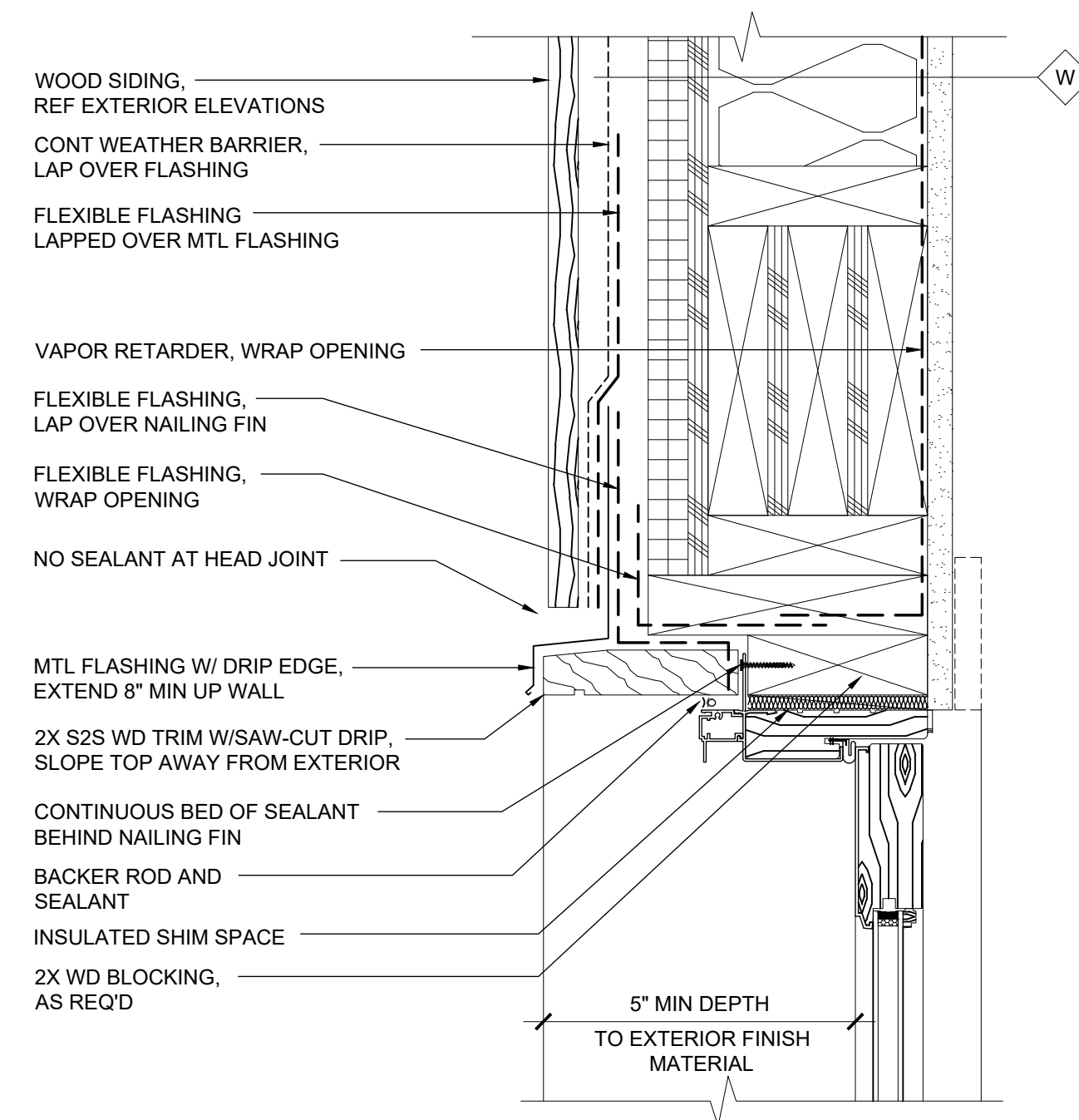
6 DOOR JAMB AT WOOD SIDING
A5.60 3"=1'-0"



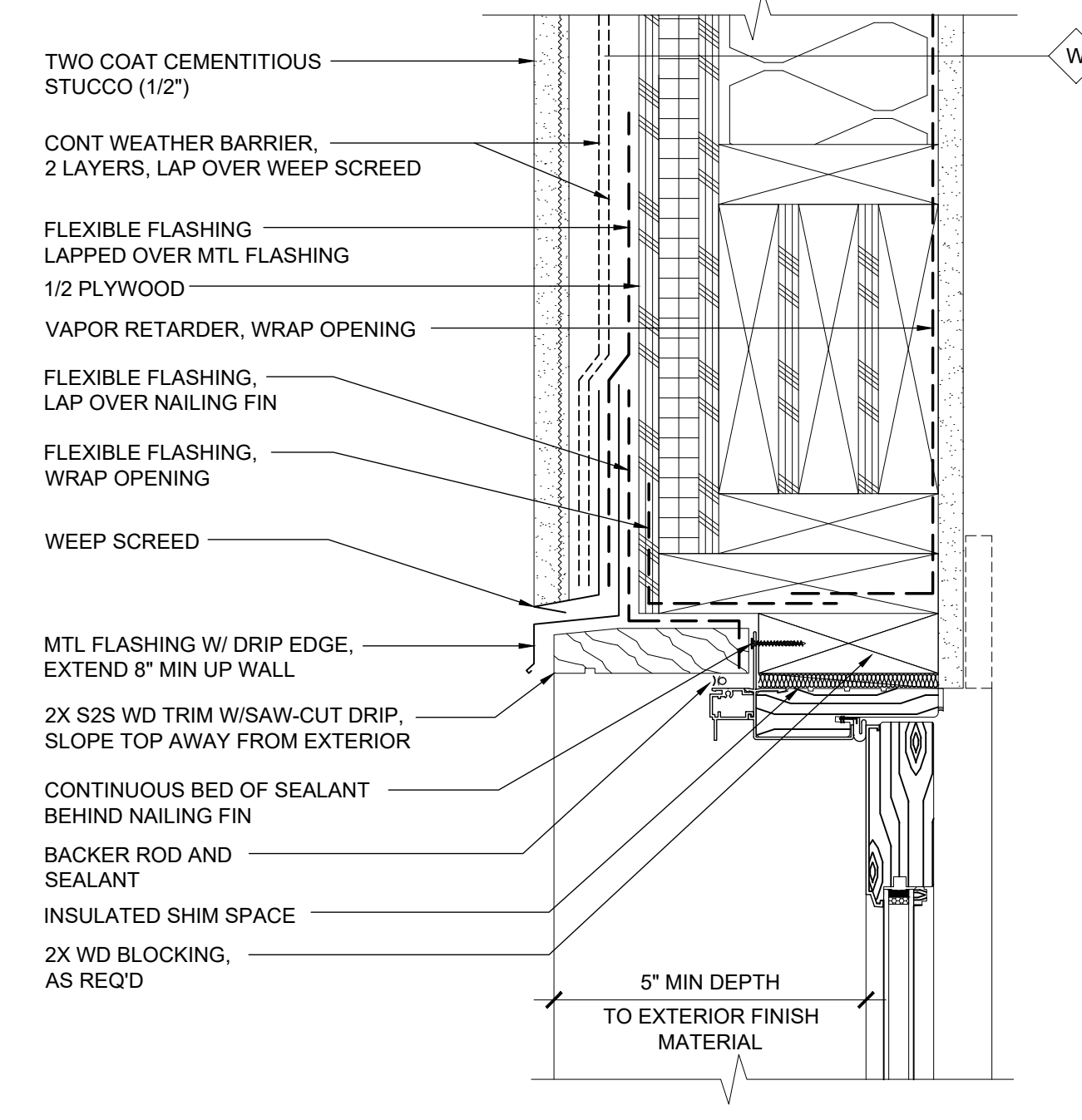
4 DOOR JAMB AT CEMENTITIOUS STUCCO
A5.60 3"=1'-0"



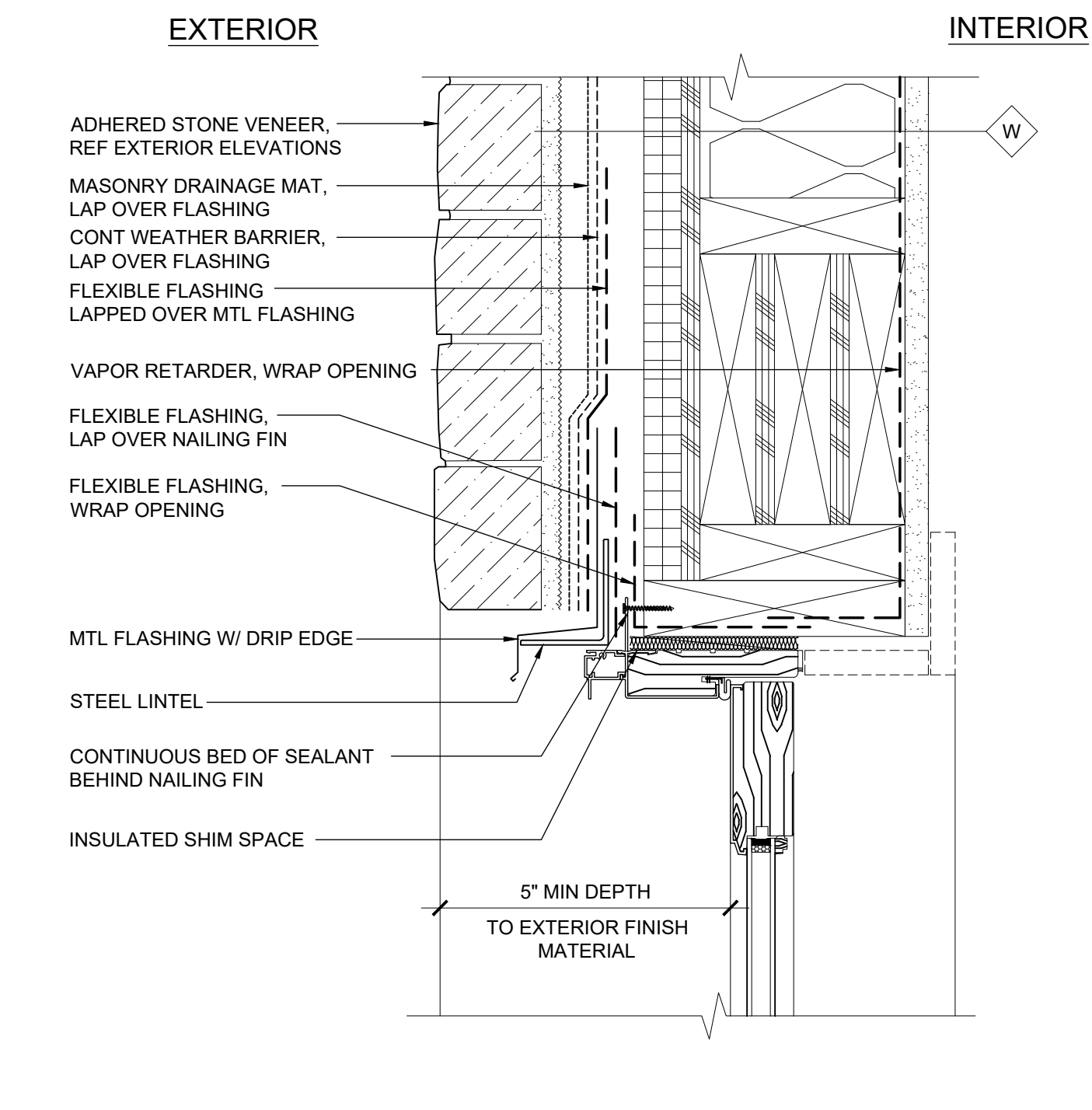
2 DOOR JAMB AT STONE
A5.60 3"=1'-0"



5 DOOR HEAD AT WOOD SIDING
A5.60 3"=1'-0"



3 DOOR HEAD AT CEMENTITIOUS STUCCO
A5.60 3"=1'-0"



1 DOOR HEAD AT STONE
A5.60 3"=1'-0"

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| E | 07/29/2021 | DESIGN REVIEW - 3 |
| F | 10/07/2021 | DESIGN REVIEW - 4 |

DOOR DETAILS

| | |
|--------------------------|--------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY X | CHK BY X |
| | TRV BY X |

SHEET No.
A5.60
SCALE: AS SHOWN

DOOR SCHEDULE GENERAL NOTES:

1. SIZE DETERMINED BY OVERALL SIZE OF DOOR. NOT BY INDIVIDUAL LEAFS UNLESS NOTED OTHERWISE.
2. RATINGS DESIGNATED IN MINUTES.
3. SEE SPECIFICATIONS FOR HARDWARE (HW) GROUPS.
4. SEE PLANS AND ELEVATIONS FOR SWING INFORMATION.

DOOR DETAIL GENERAL NOTES:

1. WEATHER BARRIER AND FLASHING LINES ARE SHOWN OFFSET FOR CLARITY, TYPICAL

| DOOR SCHEDULE | | | | | | | | | | | | | | | |
|---------------|------|------|---------------|--------|-------|--------|-------|--------|--------|------|------|--------|----|---------|---------|
| TAG | ROOM | TYPE | SIZE | | DOOR | | FRAME | | DETAIL | | | RATING | HW | GLAZING | REMARKS |
| | | | W x H | THK | CONST | FINISH | CONST | FINISH | HEAD | JAMB | SILL | | | | |
| A-300 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| A-301 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| A-302 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| A-303 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| A-304 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| B-300 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | -- | - | - | NA | -- | None | None |
| B-301 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| B-302 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| B-303 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| E-300 | -- | -- | 5'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| E-301 | -- | -- | 3'-6" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| G-300 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| G-301 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| G-302 | -- | -- | 4'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-300 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-301 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-301 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-302 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-303 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-304 | -- | -- | 3'-6" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |

3 LEVEL 3 DOOR SCHEDULE
A5.61

| DOOR SCHEDULE | | | | | | | | | | | | | | | |
|---------------|------|------|---------------|--------|-------|--------|-------|--------|--------|------|------|--------|----|---------|---------|
| TAG | ROOM | TYPE | SIZE | | DOOR | | FRAME | | DETAIL | | | RATING | HW | GLAZING | REMARKS |
| | | | W x H | THK | CONST | FINISH | CONST | FINISH | HEAD | JAMB | SILL | | | | |
| A-200 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| A-201 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| A-202 | -- | -- | 3'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | -- | -- | -- | NA | -- | None | None |
| A-203 | -- | -- | 3'-6" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| A-204 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| B-200 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| B-201 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| B-202 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| B-203 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| B-204 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| B-205 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| E-200 | -- | -- | 5'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| E-201 | -- | -- | 3'-6" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| F-200 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| F-201 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| G-200 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| G-201 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| G-202 | -- | -- | 4'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-200 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-201 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-202 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-203 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-204 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-205 | -- | -- | 3'-6" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |

3 LEVEL 2 DOOR SCHEDULE
A5.61

| DOOR SCHEDULE | | | | | | | | | | | | | | | |
|---------------|------|------|---------------|--------|-------|--------|-------|--------|--------|------|------|--------|----|---------|---------|
| TAG | ROOM | TYPE | SIZE | | DOOR | | FRAME | | DETAIL | | | RATING | HW | GLAZING | REMARKS |
| | | | W x H | THK | CONST | FINISH | CONST | FINISH | HEAD | JAMB | SILL | | | | |
| B-100 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| B-101 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| B-102 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| B-103 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| B-104 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | -- | -- | -- | NA | -- | None | None |
| B-105 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | -- | -- | -- | NA | -- | None | None |
| D-100 | -- | -- | 9'-0" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| D-101 | -- | -- | 9'-0" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| D-102 | -- | -- | 9'-0" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| D-103 | -- | -- | 9'-0" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| D-104 | -- | -- | 9'-0" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| E-100 | -- | -- | 3'-0" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| E-101 | -- | -- | 9'-0" x 9'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| E-101 | -- | -- | 8'-9" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| E-102 | -- | -- | 9'-0" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| E-103 | -- | -- | 9'-0" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| E-104 | -- | -- | 9'-0" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| E-105 | -- | -- | 8'-9" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| E-106 | -- | -- | 3'-0" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| E-107 | -- | -- | 3'-0" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| G-100 | -- | -- | 8'-6" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| G-101 | -- | -- | 9'-0" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| G-102 | -- | -- | 9'-0" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| G-103 | -- | -- | 9'-0" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| G-104 | -- | -- | 8'-9" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-100 | -- | -- | 3'-0" x 7'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| K-100 | -- | -- | 3'-0" x 7'-0" | 1 3/4" | WD | ST | WD | ST | -- | -- | -- | NA | -- | None | None |
| K-101 | -- | -- | 3'-6" x 7'-0" | 1 3/4" | WD | ST | WD | ST | -- | -- | -- | NA | -- | None | None |

2 LEVEL 1 DOOR SCHEDULE
A5.61

| DOOR SCHEDULE | | | | | | | | | | | | | | | |
|---------------|------|------|---------------|--------|-------|--------|-------|--------|--------|------|------|--------|----|---------|---------|
| TAG | ROOM | TYPE | SIZE | | DOOR | | FRAME | | DETAIL | | | RATING | HW | GLAZING | REMARKS |
| | | | W x H | THK | CONST | FINISH | CONST | FINISH | HEAD | JAMB | SILL | | | | |
| B-001 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | -- | -- | -- | NA | -- | None | None |
| B-002 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | -- | -- | -- | NA | -- | None | None |
| G-001 | -- | -- | 6'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |

1 LEVEL 0 DOOR SCHEDULE
A5.61

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| D | 07/01/2021 | DESIGN REVIEW - 2 |
| E | 07/29/2021 | DESIGN REVIEW - 3 |
| F | 10/07/2021 | DESIGN REVIEW - 4 |

DOOR SCHEDULE

| | |
|--------------------------|--------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY X | CHK BY X |
| | TRV BY X |

SHEET No.
A5.61
SCALE:
AS SHOWN

DOOR SCHEDULE GENERAL NOTES:

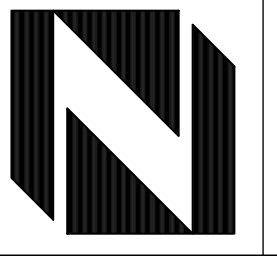
1. SIZE DETERMINED BY OVERALL SIZE OF DOOR, NOT BY INDIVIDUAL LEAFS UNLESS NOTED OTHERWISE.
2. RATINGS DESIGNATED IN MINUTES.
3. SEE SPECIFICATIONS FOR HARDWARE (HW) GROUPS.
4. SEE PLANS AND ELEVATIONS FOR SWING INFORMATION.

DOOR DETAIL GENERAL NOTES:

1. WEATHER BARRIER AND FLASHING LINES ARE SHOWN OFFSET FOR CLARITY, TYPICAL

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| F | 10/07/2021 | DESIGN REVIEW - 4 |

DOOR SCHEDULE

| | |
|--------------------------|--------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY X | CHK BY X |
| | TRV BY X |

SHEET No.
A5.62
 SCALE: AS SHOWN

| DOOR SCHEDULE | | | | | | | | | | | | | | | |
|---------------|------|------|---------------|--------|-------|--------|-------|--------|--------|------|------|--------|----|---------|---------|
| TAG | ROOM | TYPE | SIZE | | DOOR | | FRAME | | DETAIL | | | RATING | HW | GLAZING | REMARKS |
| | | | W x H | THK | CONST | FINISH | CONST | FINISH | HEAD | JAMB | SILL | | | | |
| A-500 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| A-501 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-500 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-501 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |

2 LEVEL 5 DOOR SCHEDULE
A5.62

| DOOR SCHEDULE | | | | | | | | | | | | | | | |
|---------------|------|------|---------------|--------|-------|--------|-------|--------|--------|------|------|--------|----|---------|---------|
| TAG | ROOM | TYPE | SIZE | | DOOR | | FRAME | | DETAIL | | | RATING | HW | GLAZING | REMARKS |
| | | | W x H | THK | CONST | FINISH | CONST | FINISH | HEAD | JAMB | SILL | | | | |
| A-400 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| A-401 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| A-402 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| A-403 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| B-400 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| B-401 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| E-400 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| E-401 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| G-400 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| G-401 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-400 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-401 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-402 | -- | -- | 7'-0" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |
| H-403 | -- | -- | 3'-6" x 8'-0" | 1 3/4" | WD | ST | WD | ST | - | - | - | NA | -- | None | None |

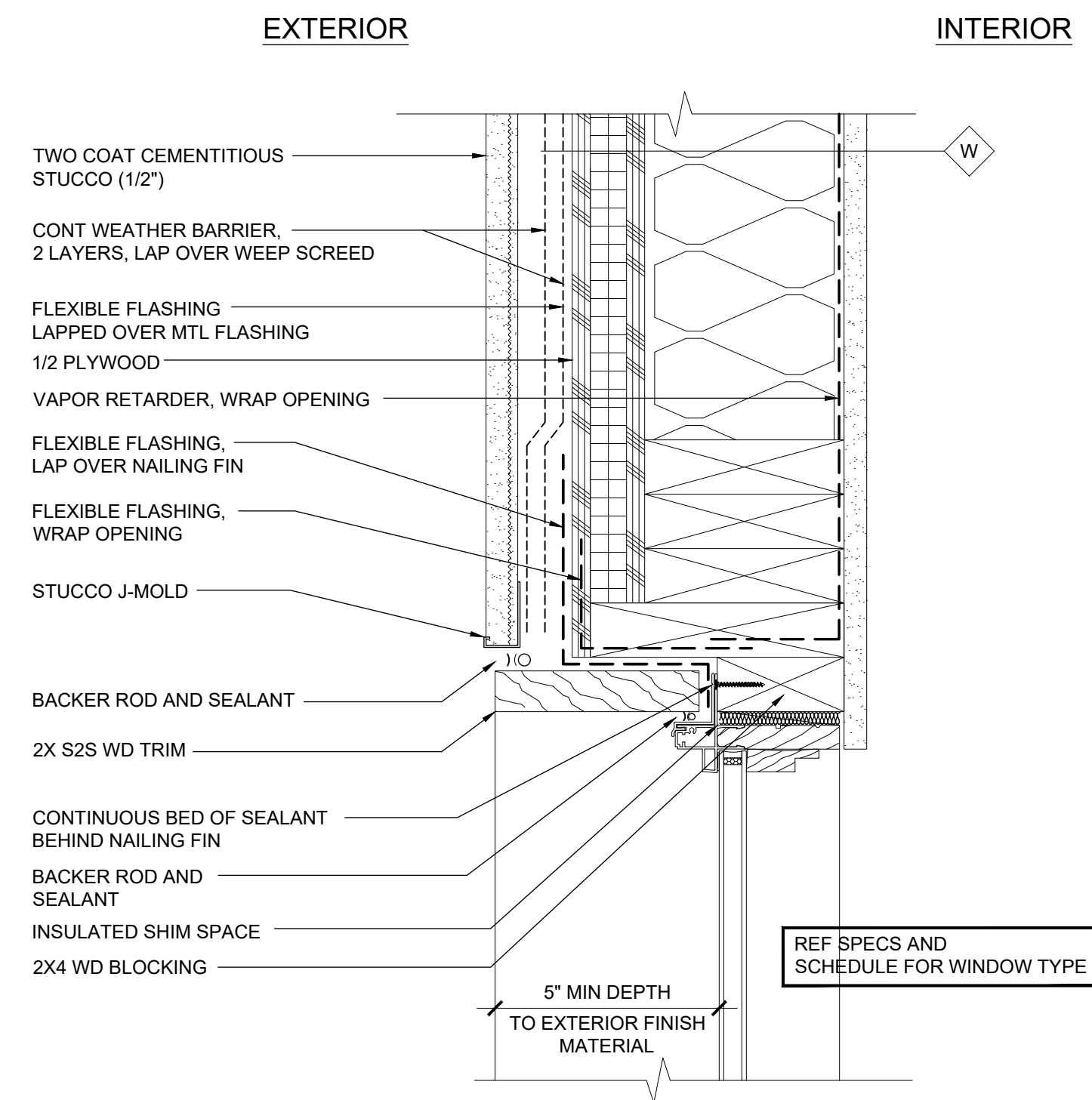
1 LEVEL 4 DOOR SCHEDULE
A5.62

WINDOW SCHEDULE GENERAL NOTES:

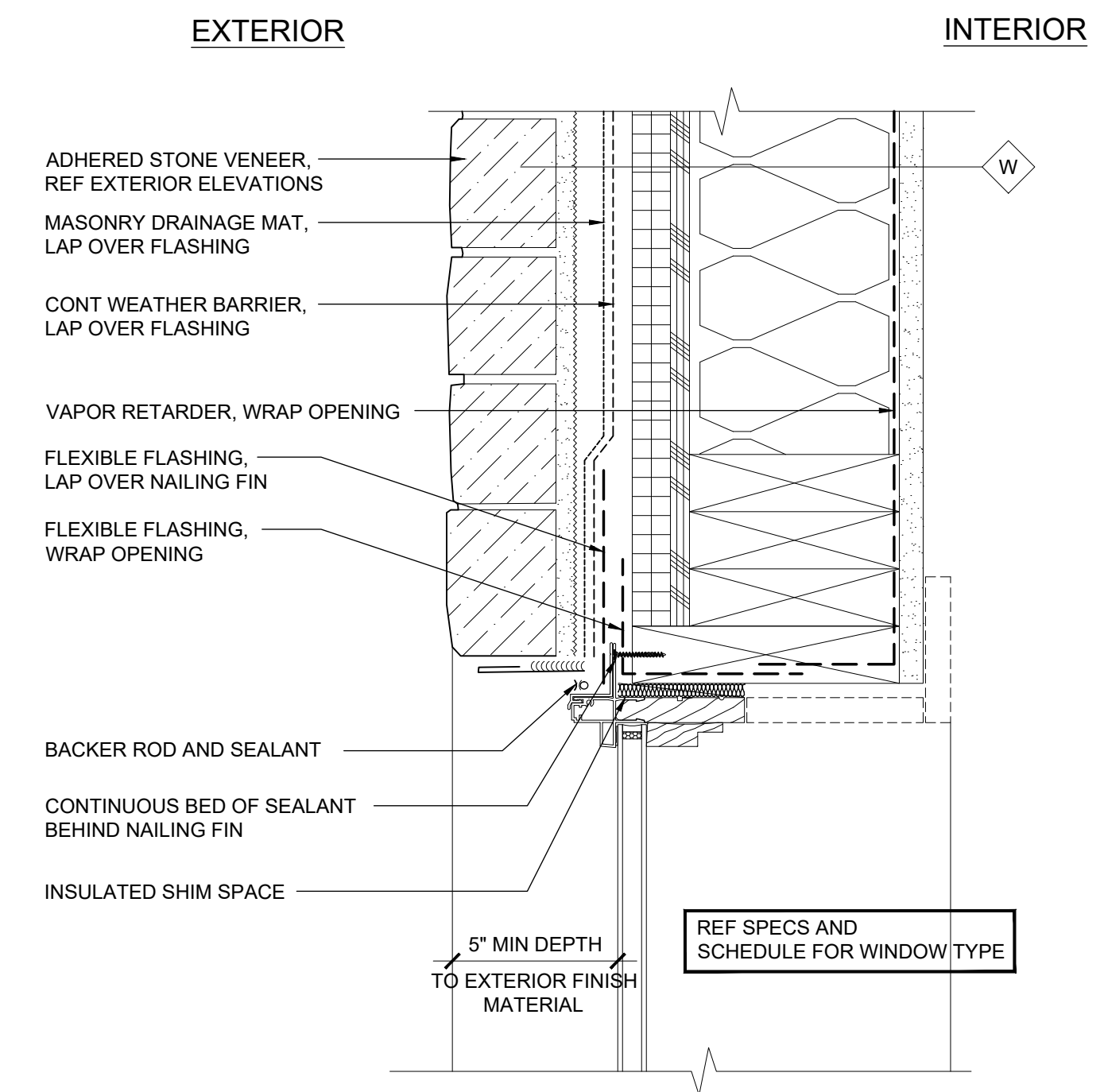
1. SEE FLOOR PLANS AND ELEVATIONS FOR WINDOW TAGS.
2. SEE ELEVATIONS FOR OPERATORS AND SWING INFORMATION.
3. WINDOW DIMENSIONS INDICATE UNIT DIMENSIONS - ROUGH OPENINGS TO BE PROVIDED BY WINDOW MANUFACTURER.
4. HEAD HEIGHTS TAKEN FROM TOP OF FINISHED FLOOR.
5. "PLATE" DESIGNATES PLATE GLASS, AND "TEMP" DESIGNATES TEMPERED GLASS - SEE SPECIFICATIONS FOR GLAZING SYSTEM.
6. PROVIDE WINDOW LIMITING DEVICES AT ALL OPERABLE UNITS WITH SILLS LESS THAN 36 INCHES, WHEN SILLS ARE 72 INCHES OR MORE ABOVE EXTERIOR GRADE.

WINDOW DETAIL GENERAL NOTES:

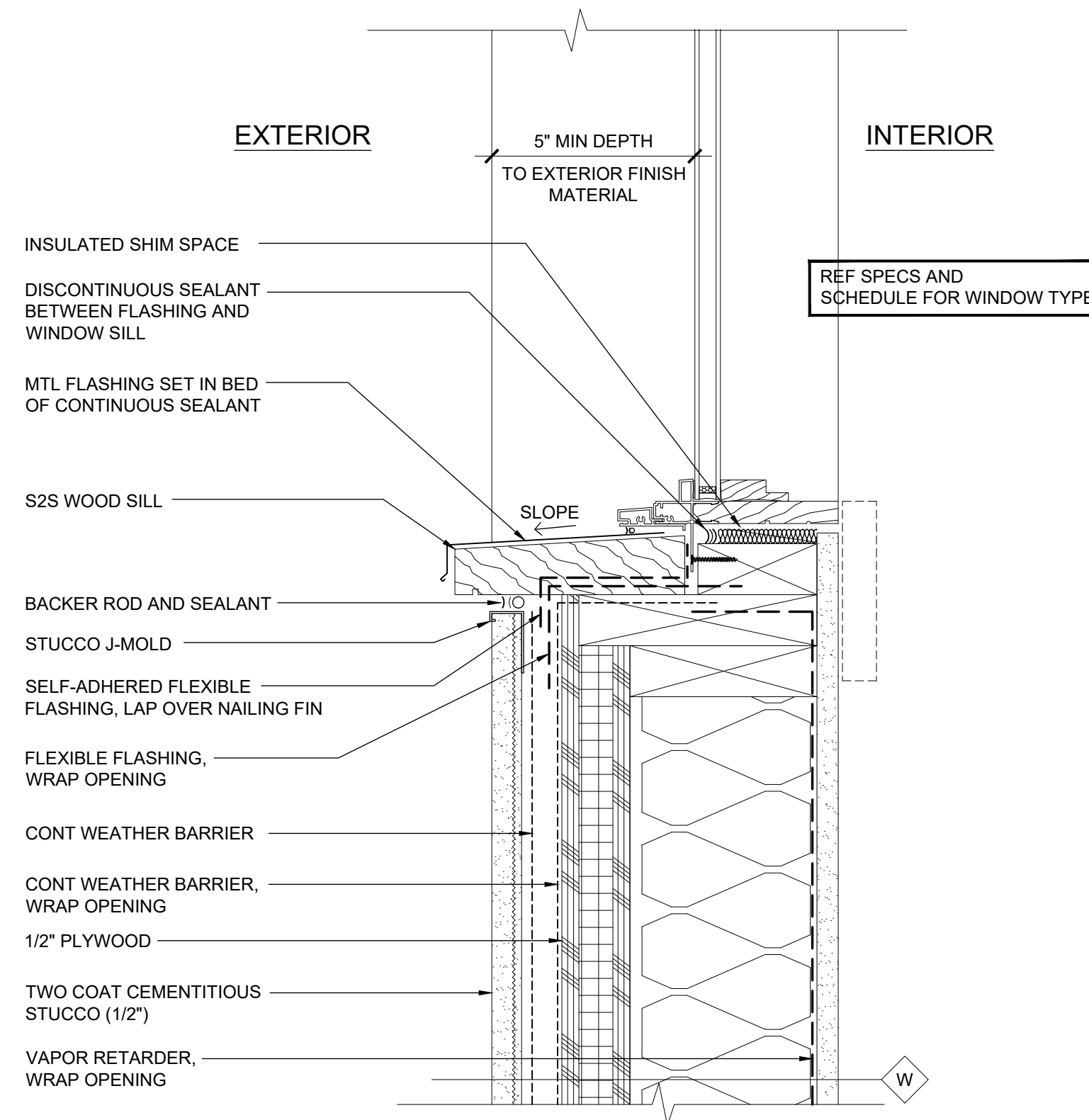
1. WEATHER BARRIER AND FLASHING LINES ARE SHOWN OFFSET FOR CLARITY, TYPICAL



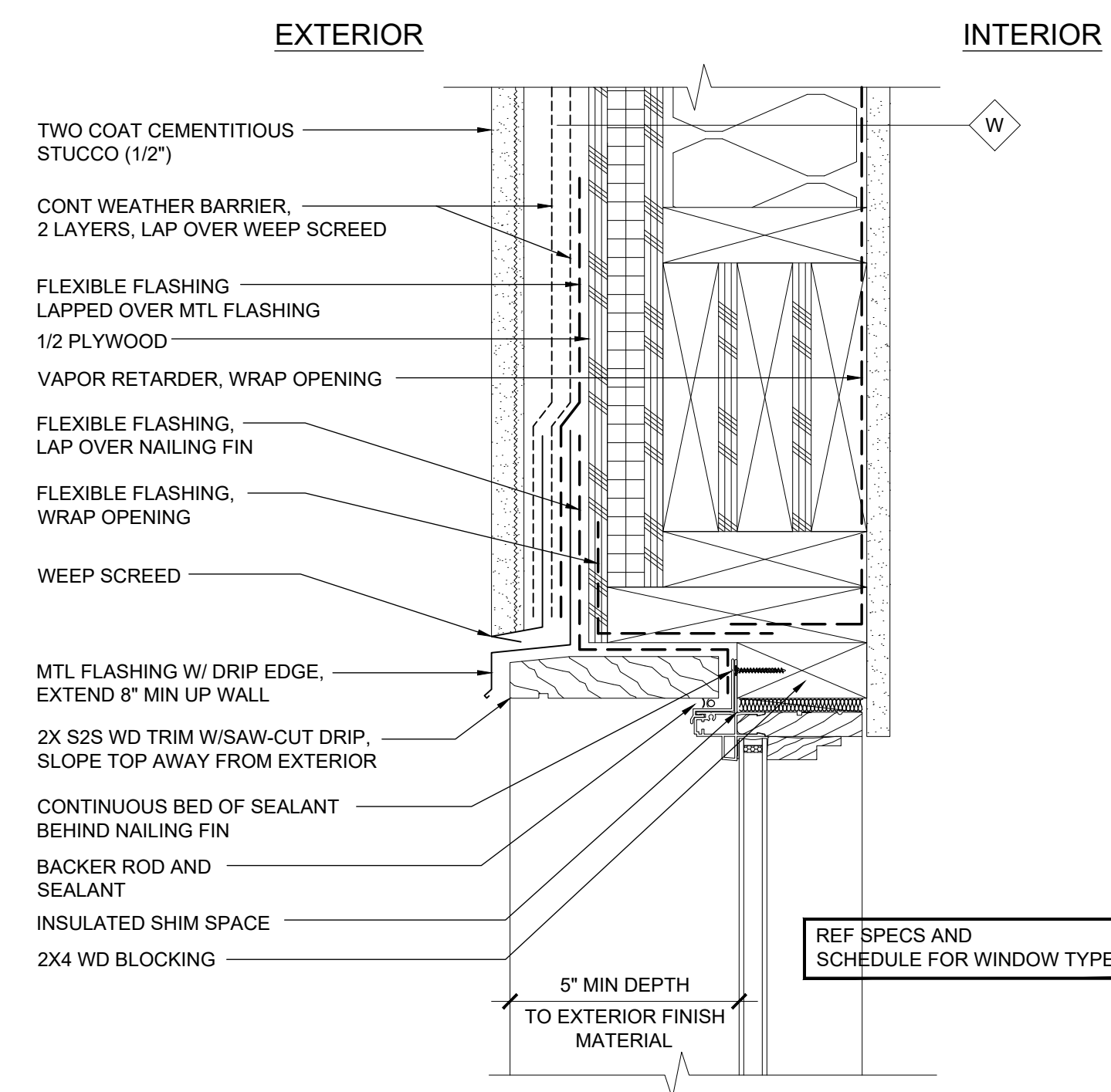
5 WINDOW JAMB AT CEMENTITIOUS STUCCO
A5.70 3"=1'-0"



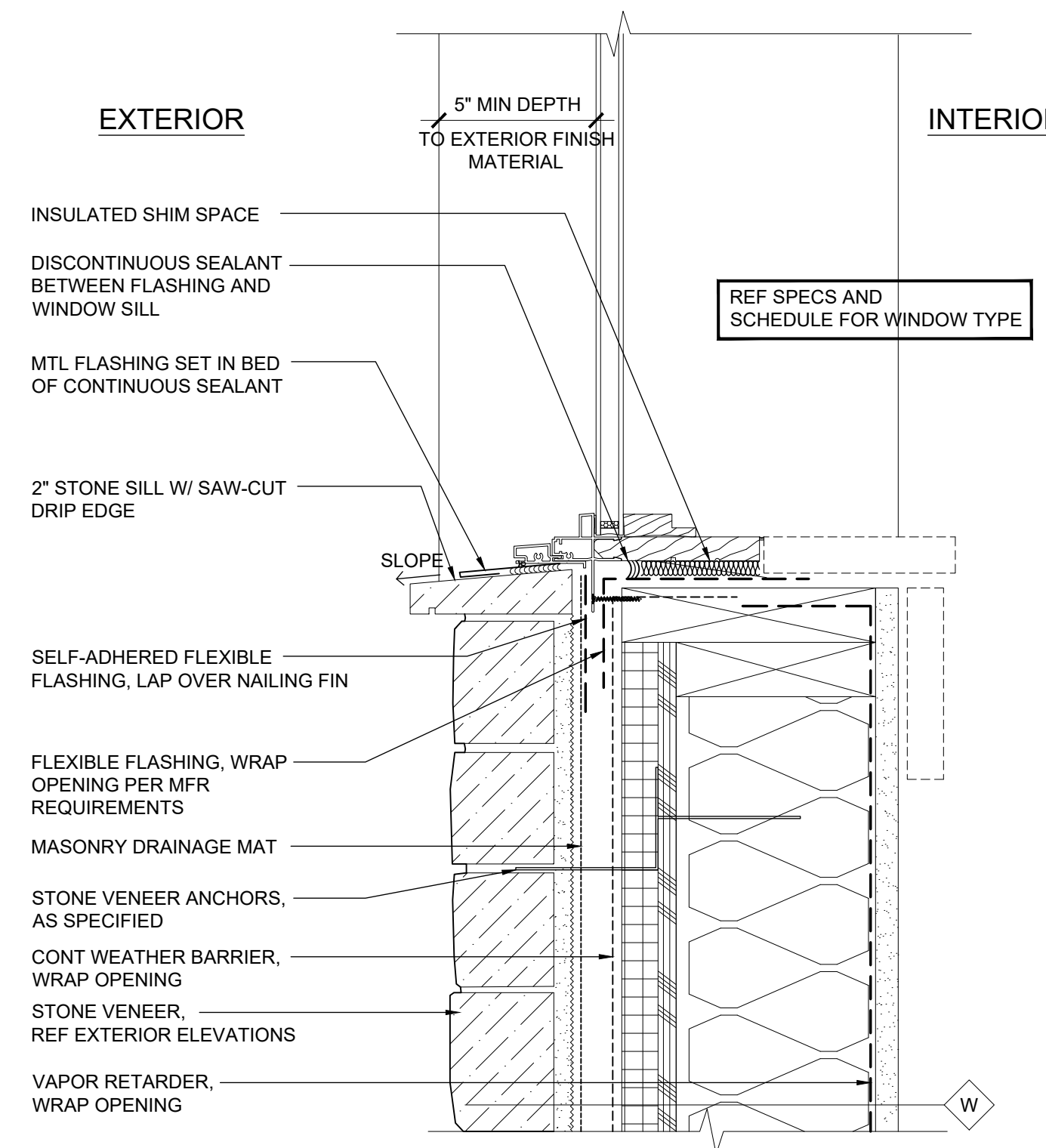
2 WINDOW JAMB AT STONE
A5.70 3"=1'-0"



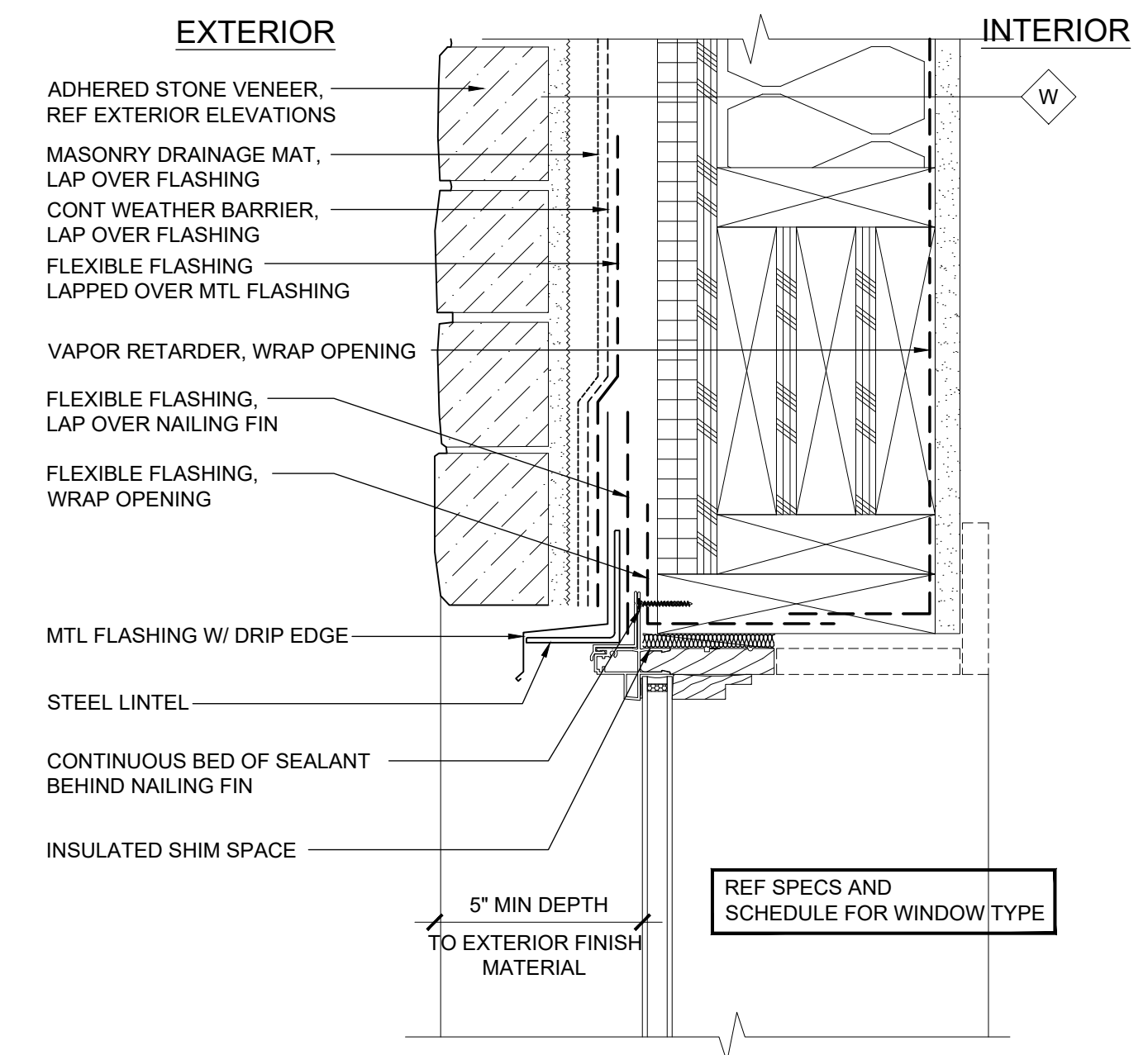
6 WINDOW SILL AT CEMENTITIOUS STUCCO
A5.70 3"=1'-0"



4 WINDOW HEAD AT CEMENTITIOUS STUCCO
A5.70 3"=1'-0"



3 WINDOW SILL AT STONE
A5.70 3"=1'-0"



1 WINDOW HEAD AT STONE
A5.70 3"=1'-0"

ZEHREN AND ASSOCIATES, INC.
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| No. | DATE | COMMENT |
| A | 03/23/2021 | DESIGN REVIEW |
| B | 03/30/2021 | CONCEPT BUDGETING |
| C | 04/28/2021 | DESIGN REVIEW - 1 |
| D | 07/01/2021 | DESIGN REVIEW - 2 |
| E | 07/29/2021 | DESIGN REVIEW - 3 |
| F | 10/07/2021 | DESIGN REVIEW - 4 |

WINDOW DETAILS

| | |
|--------------------------|--------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY X | CHK BY X |
| | TRV BY X |

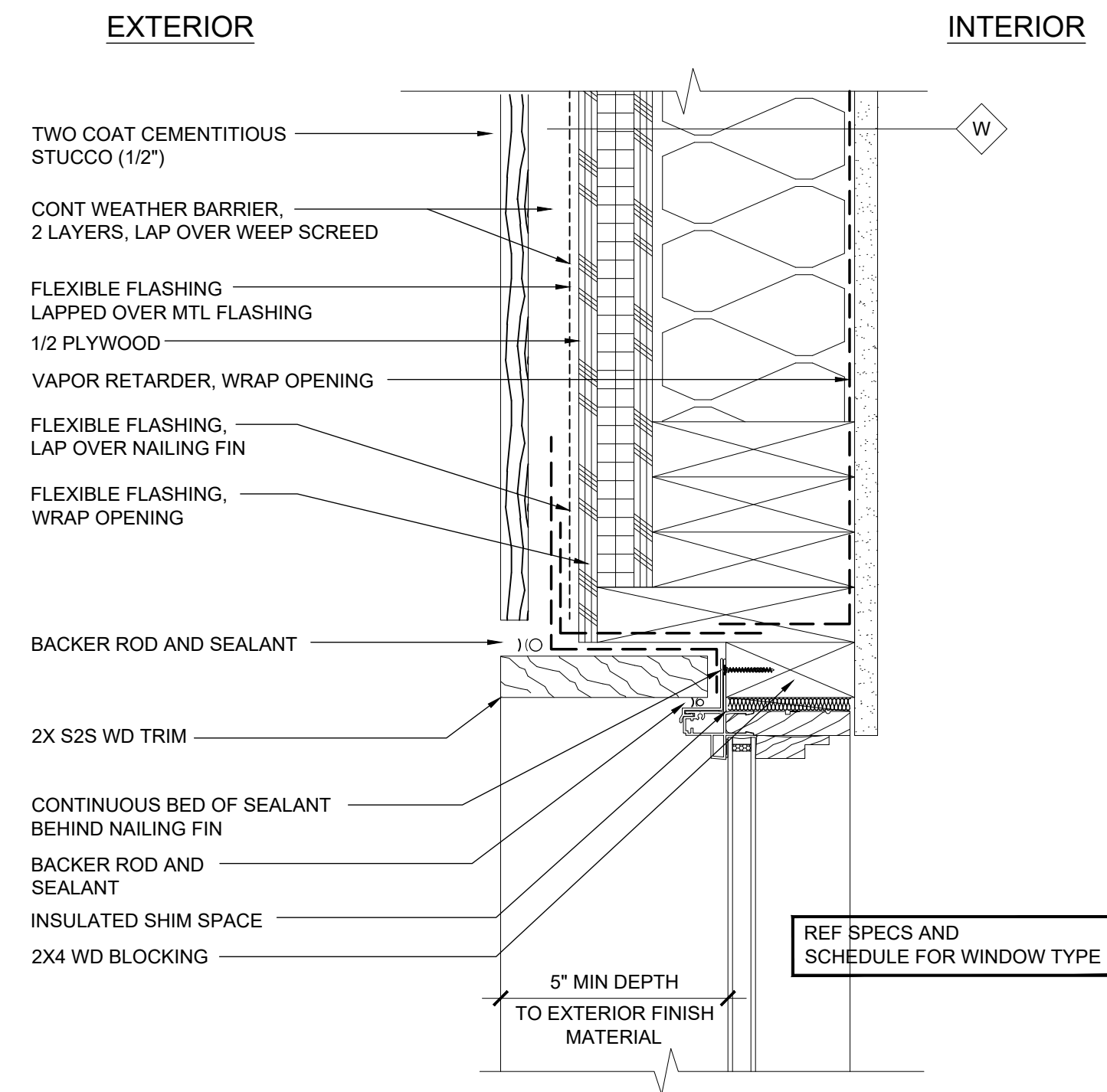
SHEET No.
A5.70
SCALE: AS SHOWN

WINDOW SCHEDULE GENERAL NOTES:

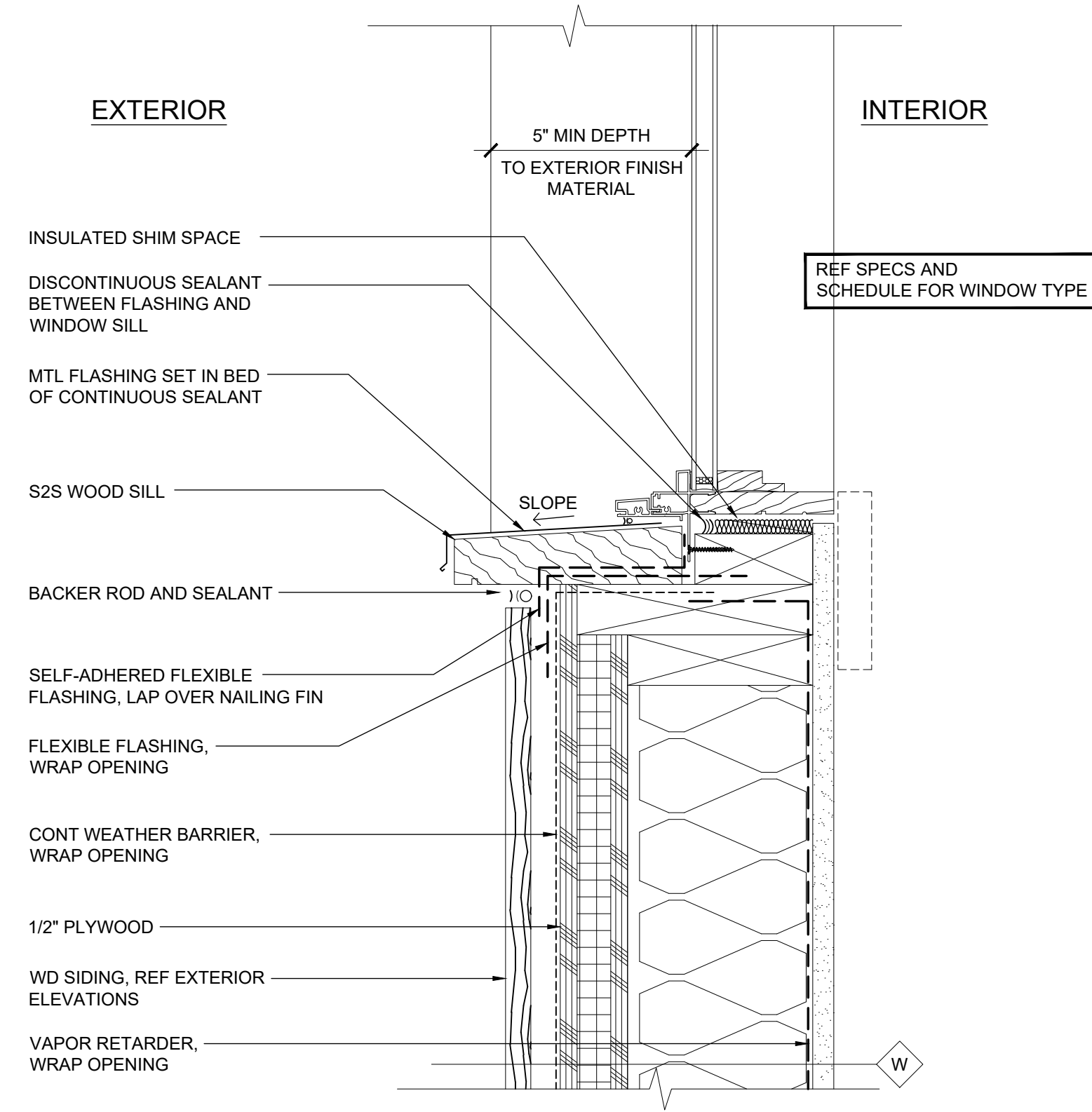
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2. SEE ELEVATIONS FOR OPERATORS AND SWING INFORMATION.
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WINDOW DETAIL GENERAL NOTES:

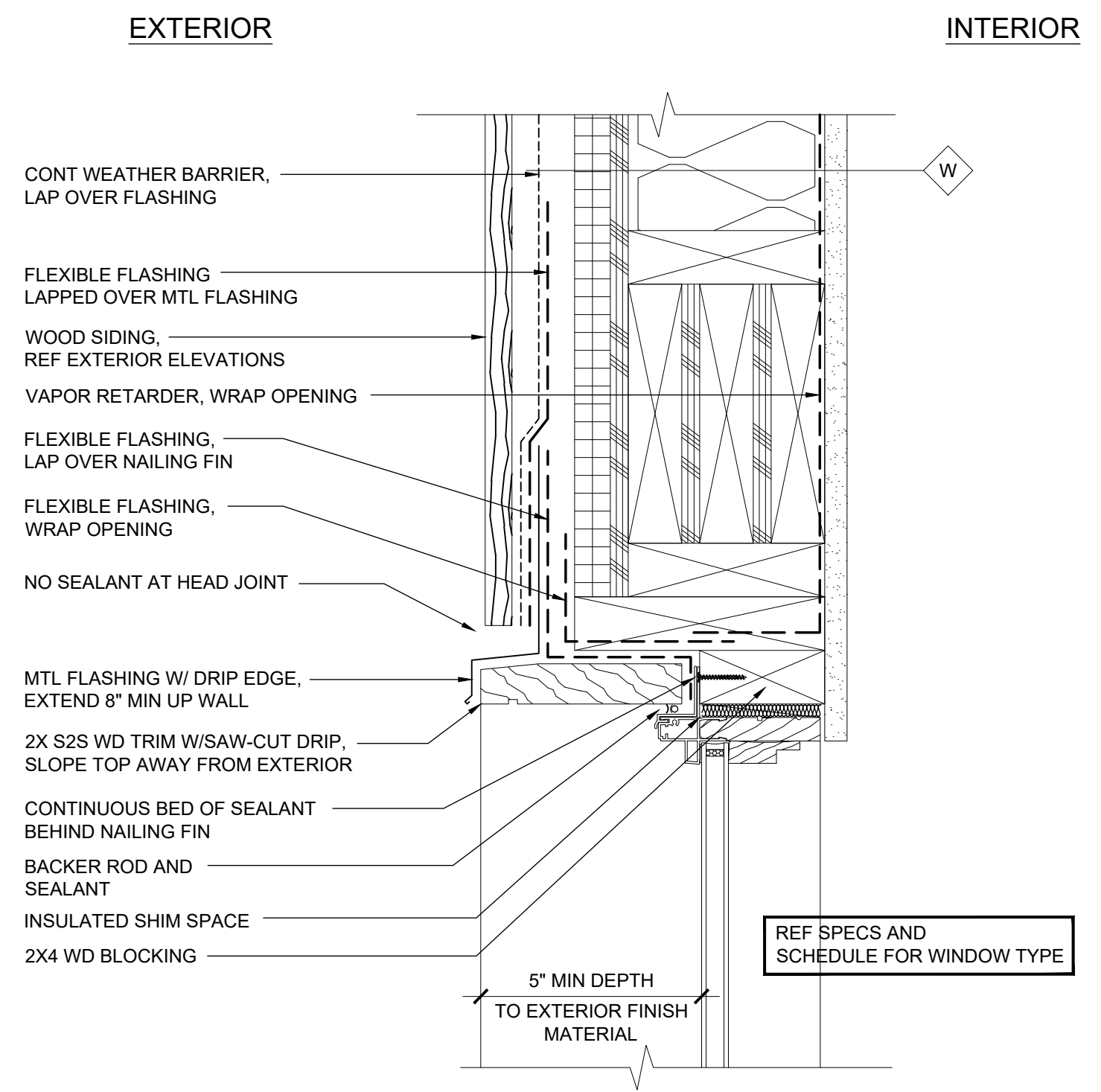
1. WEATHER BARRIER AND FLASHING LINES ARE SHOWN OFFSET FOR CLARITY, TYPICAL



2 WINDOW JAMB AT WOOD SIDING
A5.71 3"=1'-0"



3 WINDOW SILL AT WOOD SIDING
A5.71 3"=1'-0"



1 WINDOW HEAD AT WOOD SIDING
A5.71 3"=1'-0"

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ISSUED FOR:

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| A | 03/23/2021 | DESIGN REVIEW |
| B | 03/30/2021 | CONCEPT BUDGETING |
| C | 04/28/2021 | DESIGN REVIEW - 1 |
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| E | 07/29/2021 | DESIGN REVIEW - 3 |
| F | 10/07/2021 | DESIGN REVIEW - 4 |

WINDOW DETAILS

| PROJECT No. | DATE |
|-------------|------------|
| 192733.00 | 03/23/2021 |

| DRAWN BY | CHK BY | TRV BY |
|----------|--------|--------|
| X | X | X |

SHEET No. **A5.71**
SCALE: AS SHOWN

WINDOW SCHEDULE GENERAL NOTES:

- SEE FLOOR PLANS AND ELEVATIONS FOR WINDOW TAGS.
- SEE ELEVATIONS FOR OPERATORS AND SWING INFORMATION.
- WINDOW DIMENSIONS INDICATE UNIT DIMENSIONS - ROUGH OPENINGS TO BE PROVIDED BY WINDOW MANUFACTURER.
- HEAD HEIGHTS TAKEN FROM TOP OF FINISHED FLOOR.
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- PROVIDE WINDOW LIMITING DEVICES AT ALL OPERABLE UNITS WITH SILLS LESS THAN 36 INCHES, WHEN SILLS ARE 72 INCHES OR MORE ABOVE EXTERIOR GRADE.

WINDOW DETAIL GENERAL NOTES:

- WEATHER BARRIER AND FLASHING LINES ARE SHOWN OFFSET FOR CLARITY, TYPICAL

| WINDOW SCHEDULE | | | | | | | | | |
|-----------------|------|----------|-----------|------------|--------|------|------|---------|---------|
| TAG | TYPE | OPERATOR | SIZE W | WDW CONST | DETAIL | | | GLAZING | REMARKS |
| | | | | | HEAD | JAMB | SILL | | |
| A-200 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| A-201 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| A-202 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| A-203 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| A-204 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| A-205 | -- | Casement | 4'-0" | Metal Clad | - | - | - | Plate | None |
| A-206 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| A-207 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| A-208 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| A-209 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| A-210 | -- | Casement | 4'-0" | Metal Clad | - | - | - | Plate | None |
| A-210A | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| A-211 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| A-212 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| A-213 | -- | Casement | 4'-6" | Metal Clad | - | - | - | Plate | None |
| A-214 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| A-215 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| A-216 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| A-217 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| A-218 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| B-200 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| B-201 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| B-202 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| B-203 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| B-206 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| B-207 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| B-208 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| B-209 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| B-210 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| B-211 | -- | Casement | 1'-6" | Metal Clad | - | - | - | Plate | None |
| B-212 | -- | Casement | 3'-0" | Metal Clad | -- | -- | -- | Plate | None |
| C-200 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| D-200 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| D-201 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| D-202 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| D-203 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| D-204 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| D-205 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| D-206 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| E-200 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| E-201 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| E-204 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |

3 LEVEL 2 WINDOW SCHEDULE (+35)

A5.72

| | | | | | | | | | |
|-------|----|----------|-------|------------|----|----|----|-------|------|
| F-200 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| F-201 | -- | Casement | 3'-0" | Metal Clad | -- | -- | -- | Plate | None |
| F-202 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| F-202 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| F-203 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| F-204 | -- | Casement | 3'-0" | Metal Clad | -- | -- | -- | Plate | None |
| F-205 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| F-206 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| F-207 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| F-208 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| F-209 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| F-210 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| F-211 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-201 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| G-202 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-203 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-204 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-206 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| G-208 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-209 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-210 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-211 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-212 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-213 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-214 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| G-215 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-216 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| G-217 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-218 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-200 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-201 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-202 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-203 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| H-204 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| H-205 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| H-206 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| H-207 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| H-208 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| H-209 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-210 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-211 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| H-212 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-213 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| H-214 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| H-215 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| H-216 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| H-217 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| J-200 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| J-201 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| J-203 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| J-204 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| J-205 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| J-206 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| J-207 | -- | Casement | 3'-0" | Metal Clad | -- | -- | -- | Plate | None |
| J-208 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |

| WINDOW SCHEDULE | | | | | | | | | |
|-----------------|------|----------|-----------|------------|--------|------|------|---------|---------|
| TAG | TYPE | OPERATOR | SIZE W | WDW CONST | DETAIL | | | GLAZING | REMARKS |
| | | | | | HEAD | JAMB | SILL | | |
| B-100 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| B-101 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| B-102 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| B-103 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| B-104 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| B-105 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| B-106 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| B-107 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| B-108 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| B-109 | -- | Casement | 3'-6" | Metal Clad | -- | -- | -- | Plate | None |
| B-110 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| B-111 | -- | Casement | 1'-6" | Metal Clad | - | - | - | Plate | None |
| B-112 | -- | Casement | 3'-0" | Metal Clad | -- | -- | -- | Plate | None |
| C-100 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| F-100 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| F-101 | -- | Casement | 3'-0" | Metal Clad | -- | -- | -- | Plate | None |
| F-102 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| F-103 | -- | Casement | 2'-6" | Metal Clad | -- | -- | -- | Plate | None |
| F-104 | -- | Casement | 2'-6" | Metal Clad | -- | -- | -- | Plate | None |
| G-113 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-102 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| J-100 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| J-101 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| J-102 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| J-103 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| J-104 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| J-105 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| J-106 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| J-107 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| K-100 | -- | Casement | 2'-6" | Metal Clad | -- | -- | -- | Plate | None |
| K-101 | -- | Casement | 2'-6" | Metal Clad | -- | -- | -- | Plate | None |
| K-102 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |

2 LEVEL 1 WINDOW SCHEDULE (+24)

A5.72

| WINDOW SCHEDULE | | | | | | | | | |
|-----------------|------|----------|-----------|------------|------|------|------|---------|---------|
| TAG | TYPE | OPERATOR | SIZE W | WDW CONST | HEAD | JAMB | SILL | GLAZING | REMARKS |
| | | | | | | | | | |
| B-004 | -- | Fixed | 2'-0" | Metal Clad | - | - | - | Plate | None |
| B-005 | -- | Fixed | 3'-0" | Metal Clad | - | - | - | Plate | None |
| B-006 | -- | Fixed | 3'-0" | Metal Clad | - | - | - | Plate | None |
| B-007 | -- | Fixed | 3'-0" | Metal Clad | - | - | - | Plate | None |
| B-008 | -- | Fixed | 1'-6" | Metal Clad | - | - | - | Plate | None |
| J-001 | -- | Fixed | 3'-0" | Metal Clad | - | - | - | Plate | None |
| J-002 | -- | Fixed | 2'-6" | Metal Clad | - | - | - | Plate | None |

1 LEVEL 0 WINDOW SCHEDULE (+13)

A5.72

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WINDOW SCHEDULE

| | | |
|-------------|--------------|--------|
| PROJECT No. | DATE | |
| 192733.00 | 03/23/2021 | |
| DRAWN BY | CHK BY | TRV BY |
| X | X | X |
| SHEET No. | A5.72 | |
| SCALE: | AS SHOWN | |

WINDOW SCHEDULE GENERAL NOTES:

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2. SEE ELEVATIONS FOR OPERATORS AND SWING INFORMATION.
3. WINDOW DIMENSIONS INDICATE UNIT DIMENSIONS - ROUGH OPENINGS TO BE PROVIDED BY WINDOW MANUFACTURER.
4. HEAD HEIGHTS TAKEN FROM TOP OF FINISHED FLOOR.
5. "PLATE" DESIGNATES PLATE GLASS, AND "TEMP" DESIGNATES TEMPERED GLASS - SEE SPECIFICATIONS FOR GLAZING SYSTEM.
6. PROVIDE WINDOW LIMITING DEVICES AT ALL OPERABLE UNITS WITH SILLS LESS THAN 36 INCHES, WHEN SILLS ARE 72 INCHES OR MORE ABOVE EXTERIOR GRADE.

WINDOW DETAIL GENERAL NOTES:

1. WEATHER BARRIER AND FLASHING LINES ARE SHOWN OFFSET FOR CLARITY, TYPICAL

WINDOW SCHEDULE

| TAG | TYPE | OPERATOR | SIZE | | DETAIL | | | GLAZING | REMARKS |
|-------|------|----------|-------|------------|--------|------|------|---------|---------|
| | | | W | WDW CONST | HEAD | JAMB | SILL | | |
| E-500 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| F-400 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| F-401 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| F-402 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| F-403 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| G-500 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| G-501 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| G-502 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| G-503 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | NONE |
| G-504 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| G-505 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| G-506 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| G-507 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |

4 LEVEL 5 WINDOW SCHEDULE (+68)
A5.73

WINDOW SCHEDULE

| TAG | TYPE | OPERATOR | SIZE | | DETAIL | | | GLAZING | REMARKS |
|--------|------|----------|-------|------------|--------|------|------|---------|---------|
| | | | W | WDW CONST | HEAD | JAMB | SILL | | |
| A-318A | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| A-404 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| A-411 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| A-412 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| A-413A | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| A-413B | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| A-414 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |

3 LEVEL 4 WINDOW SCHEDULE (+57) (CONT)
A5.73

| | | | | | | | | | |
|--------|----|----------|-------|------------|---|---|---|-------|------|
| B-300A | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| B-303A | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| B-307 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| B-404 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| B-405A | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| B-405B | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| B-406 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| C-400 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| C-401 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| C-402 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| C-403 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| D-400 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| D-401 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| D-402 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| D-403 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| D-404 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| D-405 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| F-400 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| F-401 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| F-402 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| F-403 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-313A | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-404 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-405 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| G-406A | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| G-406B | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| G-407 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| H-402 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-403 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| H-404A | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| H-404B | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| H-405 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| H-409 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-413 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-416 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-417 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |

3 LEVEL 4 WINDOW SCHEDULE (+57)
A5.73

WINDOW SCHEDULE

| TAG | TYPE | OPERATOR | SIZE | | DETAIL | | | GLAZING | REMARKS |
|-------|------|----------|-------|------------|--------|------|------|---------|---------|
| | | | W | WDW CONST | HEAD | JAMB | SILL | | |
| A-301 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| A-303 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| A-304 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| A-305 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| A-310 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| A-311 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| A-312 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| A-313 | -- | Casement | 4'-6" | Metal Clad | - | - | - | Plate | None |
| A-314 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| A-318 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| B-300 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| B-303 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| B-304 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| B-305 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| B-306 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| B-307 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| B-308 | -- | Casement | 4'-0" | Metal Clad | -- | -- | -- | Plate | None |
| B-309 | -- | Casement | 1'-6" | Metal Clad | -- | -- | -- | Plate | None |

3 LEVEL 3 WINDOW SCHEDULE (+46) (CONT)
A5.73

| | | | | | | | | | |
|-------|----|----------|-------|------------|----|----|----|-------|------|
| B-310 | -- | Casement | 3'-0" | Metal Clad | -- | -- | -- | Plate | None |
| C-300 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| C-300 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| C-301 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| D-300 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| D-301 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| D-302 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| D-303 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| D-304 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| D-305 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| D-306 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| E-300 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| E-301 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| E-302 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| E-304 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| F-300 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| F-301 | -- | Casement | 3'-0" | Metal Clad | -- | -- | -- | Plate | None |
| F-302 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| F-303 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| F-304 | -- | Casement | 3'-0" | Metal Clad | -- | -- | -- | Plate | None |
| F-305 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| F-306 | -- | Casement | 4'-0" | Metal Clad | - | - | - | Plate | None |
| F-307 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| F-308 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| F-309 | -- | Casement | 1'-6" | Metal Clad | -- | -- | -- | Plate | None |
| G-301 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-304 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-305 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| G-306 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-307 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| G-308 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-309 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-310 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| G-311 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-312 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-313 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-314 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| G-315 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| G-316 | -- | Casement | 2'-0" | Metal Clad | - | - | - | Plate | None |
| G-317 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-300 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| H-301 | -- | Casement | 3'-0" | Metal Clad | - | - | - | Plate | None |
| H-302 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-303 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-304 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-305 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-306 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-307 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-308 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-309 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-310 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-315 | -- | Casement | 3'-6" | Metal Clad | - | - | - | Plate | None |
| H-316 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| H-317 | -- | Casement | 2'-6" | Metal Clad | - | - | - | Plate | None |
| J-300 | -- | Casement | 3'-0" | Metal Clad | -- | -- | -- | Plate | None |
| J-301 | -- | Casement | 3'-0" | Metal Clad | -- | -- | -- | Plate | None |
| J-302 | -- | Casement | 3'-0" | Metal Clad | -- | -- | -- | Plate | None |
| J-303 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| J-304 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| J-305 | -- | Casement | 4'-0" | Metal Clad | -- | -- | -- | Plate | None |
| J-306 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| J-307 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| J-308 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| J-309 | -- | Casement | 3'-0" | Metal Clad | -- | -- | -- | Plate | None |
| J-310 | -- | Casement | 2'-0" | Metal Clad | -- | -- | -- | Plate | None |
| K-300 | -- | Casement | 2'-6" | Metal Clad | -- | -- | -- | Plate | None |

1 LEVEL 3 WINDOW SCHEDULE (+46)
A5.73

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MECHANICAL
ELECTRICAL

MOUNTAIN VILLAGE
LOT 30

TELLURIDE MOUNTAIN VILLAGE, CO
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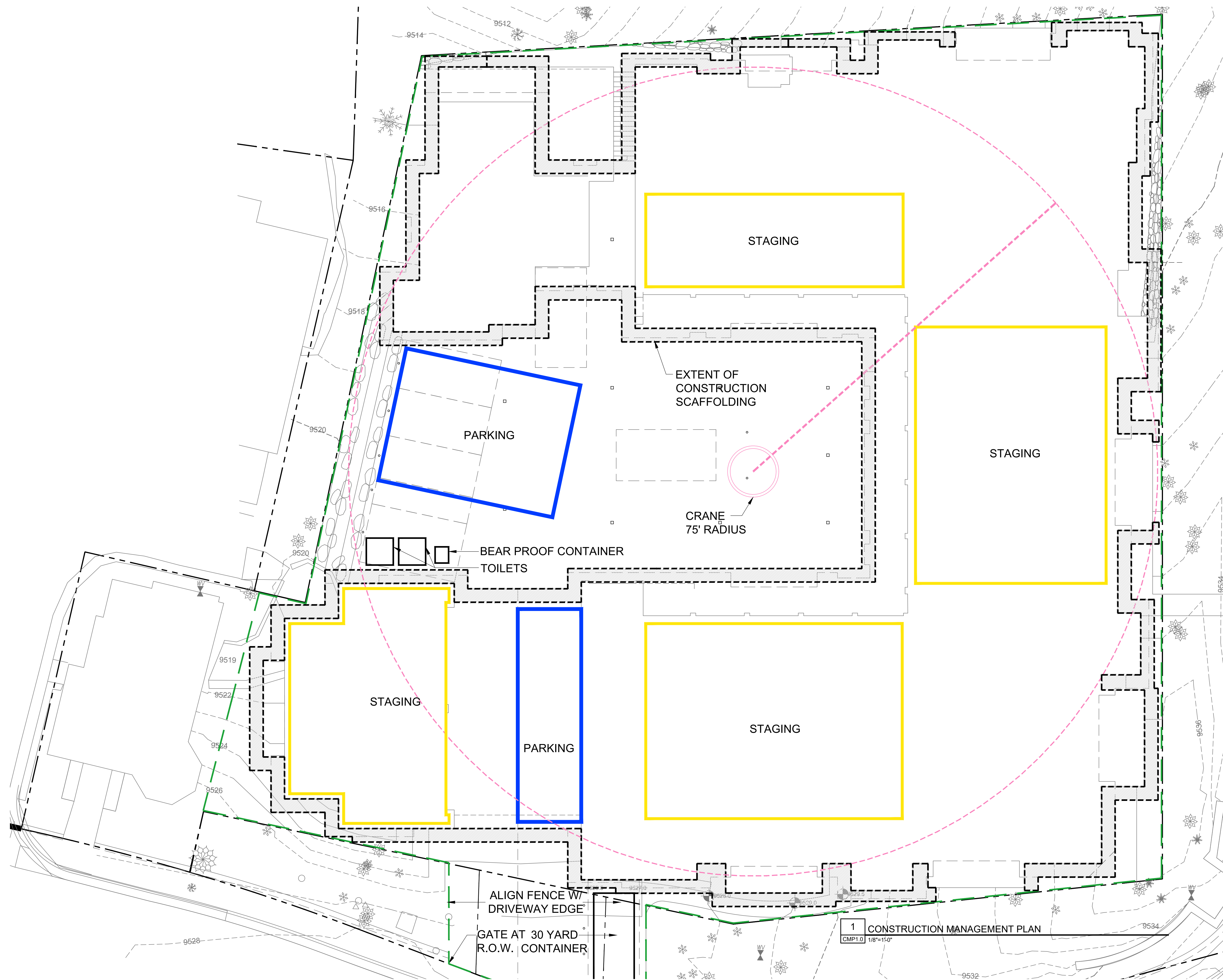
ISSUED FOR:

| No. | DATE | COMMENT |
|-----|------------|-------------------|
| A | 03/23/2021 | DESIGN REVIEW |
| B | 03/30/2021 | CONCEPT BUDGETING |
| C | 04/28/2021 | DESIGN REVIEW - 1 |
| D | 07/01/2021 | DESIGN REVIEW - 2 |
| E | 07/29/2021 | DESIGN REVIEW - 3 |
| F | 10/07/2021 | DESIGN REVIEW - 4 |

WINDOW SCHEDULE

| | |
|--------------------------|--------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY X | CHK BY X |
| | TRV BY X |

SHEET No.
A5.73
SCALE: AS SHOWN



LEGEND

- CONSTRUCTION EXTENTS / FENCING
- PARKING
- STAGING AREA
- CRANE AND EXTENTS
- EXTENT OF CONSTRUCTION SCAFFOLDING

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MECHANICAL
ELECTRICAL

CIVIL
STRUCTURAL

SEAL

MOUNTAIN VILLAGE
LOT 30
 TELLURIDE MOUNTAIN VILLAGE, CO
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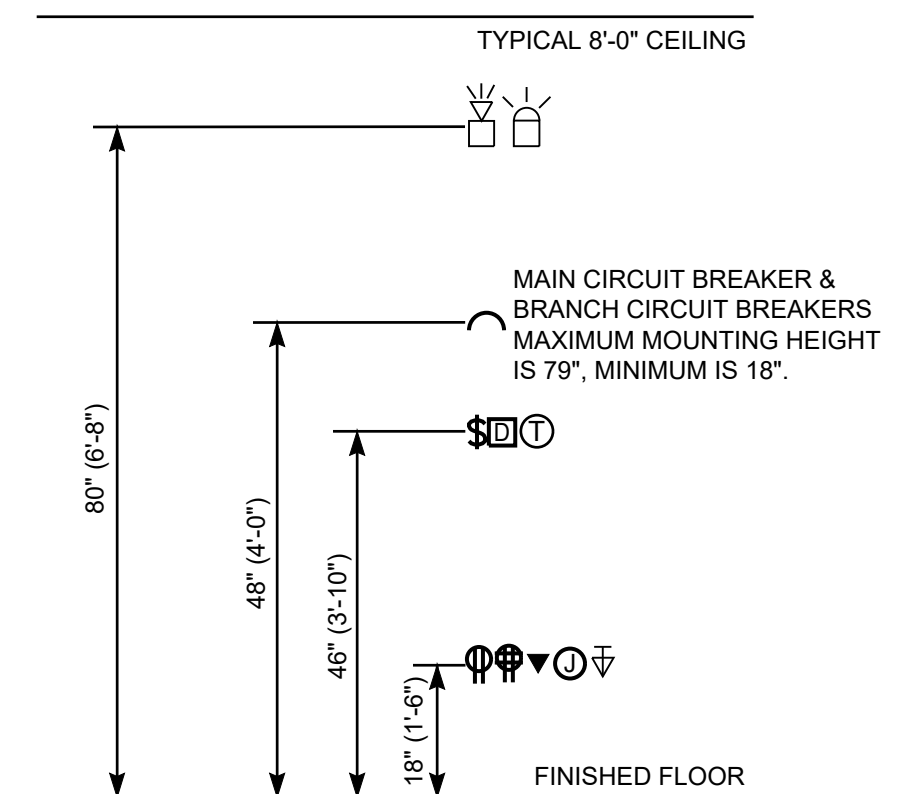
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| D | 07/01/2021 | DESIGN REVIEW - 2 |
| E | 07/28/2021 | DESIGN REVIEW - 3 |
| F | 10/07/2021 | DESIGN REVIEW - 4 |

**CONST
 MANAGEMENT
 PLAN**

| | |
|----------------------------|--------------------|
| PROJECT No. 192733.00 | DATE 03/23/2021 |
| DRAWN BY X | CHK BY X |
| | TRV BY X |
| SHEET No. CMP1.0 | |
| SCALE: AS SHOWN | |

1 CONSTRUCTION MANAGEMENT PLAN
 CMP1.0 1/8"=1'-0"

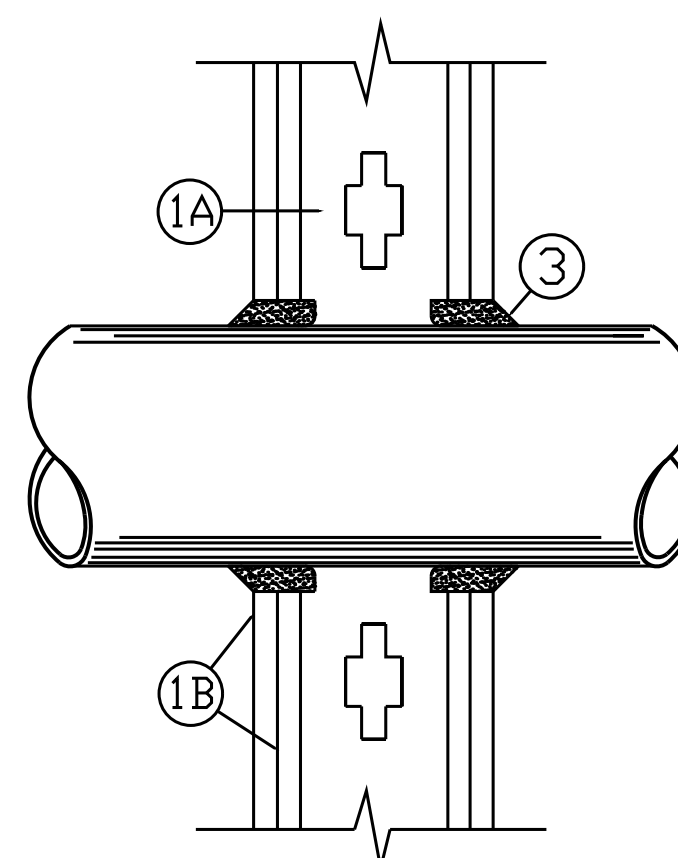


TYPICAL DEVICE MOUNTING HEIGHTS

NO SCALE

NOTES:

- HEIGHTS SHOWN ARE TYPICAL TO CENTERLINE OF BOX UNLESS NOTED OTHERWISE.
- DEVICES ABOVE DOORS SHALL BE CENTERED BETWEEN TOP OF DOOR TRIM AND CEILING LINE.
- MOUNTING HEIGHTS SHOWN ON ARCHITECTURAL ELEVATIONS AND NOTED ON ELECTRICAL FLOOR PLANS SHALL GOVERN OVER THOSE SHOWN ABOVE.
- FOR CEILING HEIGHTS HIGHER THAN 7'-2", INSTALL FIRE ALARM NOTIFICATION AUDIO AND VISUAL APPLIANCES AT 80" AFF OTHERWISE INSTALL AT 6" BELOW CEILING.
- MOUNTING HEIGHTS PER IBC AND ADA CODES



| Max Pipe or Conduit Diam in. (mm) | F Rating Hr | T Rating Hr |
|-----------------------------------|-------------|-------------|
| 1 (25) | 1 or 2 | 0+, 1 or 2 |
| 1 (25) | 3 or 4 | 3 or 4 |
| 4 (102) | 1 or 2 | 0 |
| 6 (152) | 3 or 4 | 0 |
| 12 (305) | 1 or 2 | 0 |

PENETRATION THROUGH A FIRE-RATED WALL

NO SCALE

1. WALL ASSEMBLY - THE 1, 2, 3 OR 4 HR FIRE-RATED GYPSUM WALLBOARD/STUD WALL ASSEMBLY SHALL BE CONSTRUCTED OF THE MATERIALS AND IN THE MANNER DESCRIBED IN THE INDIVIDUAL U300 OR U400 SERIES WALL OR PARTITION DESIGNS IN THE UL FIRE RESISTANCE DIRECTORY AND SHALL INCLUDE THE FOLLOWING CONSTRUCTION FEATURES:

- A. STUDS** - WALL FRAMING MAY CONSIST OF EITHER WOOD STUDS (MAX 2 HR FIRE RATED ASSEMBLIES) OR STEEL CHANNEL STUDS. WOOD STUDS TO CONSIST OF NOM 2 BY 4 IN. (51 BY 102 MM) LUMBER SPACED 16 IN. (406 MM) OC WITH NOM 2 BY 4 IN. (51 BY 102 MM) LUMBER END PLATES AND CROSS BRACES. STEEL STUDS TO BE MIN 3-5/8 IN. (92 MM) WIDE BY 1-3/8 IN. (35 MM) DEEP CHANNELS SPACED MAX 24 IN. (610 MM) OC.
- B. GYPSUM BOARD** - NOM 1/2 OR 5/8 IN. (13 OR 16 MM) THICK, 4 FT. (122 CM) WIDE WITH SQUARE OR TAPERED EDGES. THE GYPSUM WALLBOARD TYPE, THICKNESS, NUMBER OF LAYERS, FASTENER TYPE AND SHEET ORIENTATION SHALL BE AS SPECIFIED IN THE INDIVIDUAL U300 OR U400 SERIES DESIGN IN THE UL FIRE RESISTANCE DIRECTORY. MAX DIAM OF OPENING IS 26 IN. (660 MM).

2. THROUGH PENETRANT - ONE CONDUIT INSTALLED EITHER CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRESTOP SYSTEM. THE ANNULAR SPACE BETWEEN PIPE, CONDUIT OR TUBING AND PERIPHERY OF OPENING SHALL BE MIN OF 0 IN. (0 MM) (POINT CONTACT) TO MAX 2 IN. (51 MM). PIPE, CONDUIT OR TUBING TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF WALL ASSEMBLY. THE FOLLOWING TYPES AND SIZES OF METALLIC PIPES, CONDUITS OR TUBINGS MAY BE USED:

A. CONDUIT - NOM 6 IN. (152 MM) DIAM (OR SMALLER) STEEL CONDUIT OR NOM 4 IN. (102 MM) DIAM (OR SMALLER) STEEL ELECTRICAL METALLIC TUBING

3. FILL, VOID OR CAVITY MATERIAL* - **CAULK OR SEALANT** - MIN 5/8, 1-1/4, 1-7/8 AND 2-1/2 IN. (16, 32, 48 AND 64 MM) THICKNESS OF CAULK FOR 1, 2, 3 AND 4 HR RATED ASSEMBLIES, RESPECTIVELY, APPLIED WITHIN ANNULUS. FLUSH WITH BOTH SURFACES OF WALL. MIN 1/4 IN. (6 MM) DIAM BEAD OF CAULK APPLIED TO GYPSUM BOARD/PENETRANT INTERFACE AT POINT CONTACT LOCATION ON BOTH SIDES OF WALL. THE HOURLY F RATING OF THE FIRESTOP SYSTEM IS DEPENDENT UPON THE HOURLY FIRE RATING OF THE WALL ASSEMBLY IN WHICH IT IS INSTALLED, AS SHOWN IN THE FOLLOWING TABLE. THE HOURLY T RATING OF THE FIRESTOP SYSTEM IS DEPENDENT UPON THE TYPE OR SIZE OF THE PIPE OR CONDUIT AND THE HOURLY FIRE RATINGS OF THE WALL ASSEMBLY IN WHICH IT IS INSTALLED, AS TABULATED TO THE LEFT.

3M COMPANY - CP 25WB+ CAULK OR FB-3000 WT SEALANT.

*BEARING THE UL CLASSIFICATION MARKING

ELECTRICAL LEGEND

(NOT ALL SYMBOLS REQUIRED FOR THIS PROJECT)

RECESSED OR SURFACE DOWNLIGHT

WALL MOUNTED LIGHT FIXTURE

RECESSED FLUOR. LIGHT FIXTURE

SURFACE FLUOR. LIGHT FIXTURE

FIXTURE DESIGNATIONS:

UPPER CASE - FIXTURE TYPE
LOWER CASE - SWITCH DESIGNATION

SHADING ON FIXTURE INDICATES EMERG. BATTERY BACKUP

FLUORESCENT STRIP FIXTURE

TRACK LIGHT AS NOTED OR SCHEDULED

WALL WASHER

POLE MOUNTED FIXTURE

POST (BOLLARD) FIXTURE

STEP LIGHT

CEILING OR WALL MOUNTED EXIT LIGHT

EMERGENCY BATTERY LIGHTS

DUPLEX RECEPTACLE @ 18" UNLESS NOTED

DOUBLE DUPLEX RECEPTACLE @ 18" UNLESS NOTED

FLUSH FLOOR DUPLEX RECEPTACLE

SPECIAL OUTLET AS NOTED

DUPLEX RECEPTACLE HALF-SWITCHED @ 18" UNLESS NOTED

POP-UP RECEPTACLE

TELEPOWER POLE

MULTI-OUTLET PLUG STRIP

JUNCTION BOX IN FLOOR, CEILING OR IN WALL

COMPUTER/TELEPHONE OUTLET IN FLOOR OR WALL

TELEVISION OUTLET

TELEPHONE BACKBOARD

CONDUIT RUN CONCEALED IN WALL OR ABOVE CEILING

CIRCUIT HOMERUN

CONDUIT RUN BELOW FLOOR OR GRADE

CONDUIT STUB-UP - CAP & MARK

LIGHT SWITCH AT 46" UNLESS NOTED

SUBSCRIPTS:
2 = 2-POLE SWITCH
3 = 3-WAY SWITCH
4 = 4-WAY SWITCH
M = MOTION-OPERATED SWITCH
K = KEY-OPERATED SWITCH
T = THERMAL OVERLOAD SWITCH
P = SWITCH WITH PILOT LIGHT

DIMMER SWITCH W/ WATTAGE

PUSHBUTTON CONTROL STATION

PHOTOELECTRIC CELL

TIME SWITCH

THERMOSTAT AT 60" UNLESS NOTED

DIVISION 15 EQUIPMENT

FOOD SERVICE EQUIPMENT

COMMUNICATION SYSTEM

SPEAKER IN CEILING OR WALL

VOLUME CONTROL AT 60" UNLESS NOTED

MICROPHONE OUTLET IN FLOOR BOX OR WALL

CALL-IN SWITCH

PROGRAM BELL

INTERCOM

CLOCK

AMPLIFIER

ABBREVIATIONS

AC - ABOVE COUNTER
AFF - ABOVE FINISHED FLOOR
AFG - ABOVE FINISHED GRADE
AHJ - AUTHORITY HAVING JURISDICTION
AL - ALUMINUM
C - COPPER
EC - ELECTRICAL CONTRACTOR
EM - EMERGENCY
GC - GENERAL CONTRACTOR
GND - GROUND
GFI - GROUND FAULT INTERRUPTER
MC - MECHANICAL CONTRACTOR
NIC - NOT IN CONTRACT
NL - NIGHT LIGHT
NTS - NOT TO SCALE
PC - PLUMBING CONTRACTOR
REF - REFERENCE
UG - UNDERGROUND
UNO - UNLESS NOTED OTHERWISE
UTP - UNSHIELDED TWISTED PAIR
WP - WEATHER PROOF
XFM - TRANSFORMER
+18" - MOUNTING HEIGHT TO CENTERLINE OF DEVICE AFF OR AFG

FIRE ALARM SYSTEM

FACP - FIRE ALARM CONTROL PANEL

FAN - FIRE ALARM ANNUNCIATOR PANEL

AFS - FIRE ALARM PULL STATION

AS - ALARM HORN OR SPEAKER

CS - COMBINATION HORN/STROBE OR SPEAKER/STROBE

H - THERMAL HEAT DETECTOR

HS - SMOKE/IONIZATION DETECTOR

PH - PHOTOELECTRIC SMOKE DETECTOR

HP - HEAT/PHOTOELECTRIC SMOKE DETECTOR

SD - DUCT DETECTOR

SFS - SPRINKLER SYSTEM FLOW SWITCH

ST - SPRINKLER SYSTEM TAMPER SWITCH

S - STROBE

SFC - SMOKE/FIRE DAMPER CONNECTION

RI - REMOTE INDICATOR LIGHT

SECURITY SYSTEM

CD - CONTACT DOOR SWITCH IN JAMB OR HINGE

C OR R - INTRUSION MOTION DETECTOR AS SPECIFIED, CORRIDOR/ROOM

KA - KEY-OPERATED ACCESS SWITCH

SC - SURVEILLANCE CAMERA

DISTRIBUTION EQUIPMENT SYMBOLS

DISCONNECT SWITCH

FUSES

CIRCUIT BREAKER

CURRENT TRANSFORMER

TRANSFORMER

METER

MAGNETIC MOTOR STARTER

DISCONNECT SWITCH

PANELBOARD OR LOAD CENTER, FLUSH OR SURFACE MOUNTED

SWITCHBOARD, MOTOR CONTROL CENTER OR DISTRIBUTION BOARD

TRANSFORMER

GROUND

CIRCUIT BREAKER

MOTOR OUTLET

AUTOMATIC TRANSFER SWITCH

ELECTRICAL SPECIFICATIONS

A. General Requirements

- SCOPE:** Furnish all materials and labor required to execute this work as indicated on drawing and as specified, as necessary to complete the contract. Electrical work shall include, but not limited to, these major items:
 - Complete wiring system for new lighting and power as shown, including new panelboards, new conduits, new wires, new wiring devices, new control devices, etc. for a complete lighting and power system.
 - Complete feeder(s) installation as required for new and/or electrical apparatus as shown on single line diagram and drawings.
 - Complete branch circuit wiring required for the connection of emergency lighting and exit signs to existing emergency stand by power system.
- Complete provision, installation and connection of lighting fixtures, exit signs and lamps as specified and as shown on drawings.
- Fire alarm system will be by electrical contractor.
- Complete connection of HVAC/Plumbing motor(s), water heater(s), equipment, etc. furnish by mechanical - refer to both electrical and mechanical drawing for scope and work and additional information.
- Provide grounding and bonding Facilities.
- Complete all electrical demolition as required.
- Core drilling and patching of existing building structure required for electrical work. Core drilling shall follow Building Standard procedures and contractor shall have written approvals from building owner prior to start of any work.
- Test of entire system and work.
- Operating, Maintenance and identification instructions manuals, if any.
- PERMITS AND FEES:** Obtain and pay for all necessary permits, inspections, examinations and fees or charges necessary for execution and completion of electrical work.
- REGULATIONS AND CODES:**
 - Applicable codes: National Electric Code (Most Recent Edition) Conform to the prevailing edition and amendments thereto of the local jurisdiction's electrical code, pertinent NFPA publications and to the requirements of Federal, State or other City agencies having jurisdiction.
- SHOP DRAWINGS AND SUBMITTAL:**
 - Contractor shall submit shop drawings for engineer review and approval.
 - Shop drawing submittal shall include:
 - Lighting fixtures.
 - Panelboard(s).
- CONDUIT AND WIRE:**
 - CONDUCTOR SIZES AND TYPES:** For sizes #1/0 AWG and larger, use copper THW or aluminum XHHW. For sizes #1 AWG and smaller, use only copper wire with 600V insulation, types TW, THHN, or THW - stranded in sizes #6 and larger, solid in sizes #10 and smaller. Control wiring shall be #14, stranded. Use type THHN for wires entering or passing through fluorescent lighting fixtures. All motors shall be wired with copper conductors only.
 - MC cable permitted per local codes. Run hard pipe from panel to local junction box, and run MC cable from junction box to device.
 - NM cable permitted per local codes and where installed as required in NEC 334.
- ELECTRICAL DEVICES**
 - Convenience receptacles will be 20 amp or 15 amp, decora style. Finish per owner or architect. All dwelling unit receptacles to be tamper-resistant per NEC 406.11.
 - Light switches will be 20amp or 15 amp, decora style. Finish per owner or architect.
 - Dimming switches will be a minimum of 600W or as noted. Provide decora style, finish per owner or architect.
 - All mounting heights will conform to ADA guidelines. Typical receptacle heights will be +18" AFF and switch heights will be +46" AFF unless noted otherwise.

- E. Provide GFI type receptacles at kitchens, bathrooms, garages, exterior etc. as required by NEC 210.8.
 - F. Provide AFCI type receptacles at bedrooms, living rooms, dining rooms, hallways etc. as required by NEC 210.12.
 - G. Exterior weather-proof receptacles in damp or wet locations shall adhere to the requirements shown in NEC 406.9.
- SUPPORT**
 - Support all electrical equipment independent of accessible ceilings as required by NEC.
 - ELECTRICAL BOXES**
 - At fire rated wall, space electrical boxes at opposite sides of the wall no less than 24" horizontal distance.
 - When phone, TV & power receptacles are shown on plan next to each other. Locate respective receptacles next to each other on site with no more than 1" separating cover plates.
 - METERING**
 - EC shall coordinate whether or not meters require lever bypass with local utility and provide all meters with a lever bypass when required.

B. Cat 6 Wiring Requirements

- The cabling for voice and data must be continuous, home run, non-spliced, 500 Mhz or better category 6, 4 pair UTP as applicable. Acceptable manufacturers include: Berk-Tek, Belden, Lucent or equivalent.
- Data cable will be colored blue. Voice cable will be colored white.
- The terminations at the station locations must be Category 6, T568B (AT&T) modular RJ-45, 8 pin, 8 conductor, Hubbell, Leviton, or lucent or equivalent jacks, match faceplates to power, color coded for voice and data, match to cable. Outlets will be securely held in place.
- Wall mounted patch panels will be provided.
- All cables will be labeled with self-laminating labels at each cable end, at each patch panel location, and each wall/floor faceplate that has wiring installed. Coordinate numbering scheme with owner.
- Provide plenum rated cable when required by article NEC 300-22.
- Route cables so as not to exceed 90 meters in length. Bidder will identify any cable runs exceeding 90 meters and provide solution to meet the 90 meter requirement.
- All wiring shall be protected from moving mechanical or physical contacts. Cabling shall be free from tension at both ends, as well as through out the length of the run. Splices and bridge taps with cabling are strictly prohibited. Wiring is to be run in cable tray and conduit where specified.
- All connections of twisted wiring shall be made in such a way as to minimize the extent in which each twisted pair is unraveled at the point of its physical termination. No more than .5 inches of exposed untwisted pairs shall be present at these locations.
- Cable bends shall be no less than eight times the cable diameter or 1.00". Cables are to be kept a minimum of 6" from power lines, electric motors, fluorescent fixtures or heat generating devices.
- All cable hangers shall be no more than 48" apart. Contractor shall be familiar and install in accordance with all applicable codes and standards, including NEC, EIA/TIA 568, 569 and 606, and federal, state and local codes. Care must be taken to ensure cables are not kinked, bent beyond limit, overloaded, over-cinched, crushed, improperly untwisted, etc.
- No exposed wiring will be accepted unless approved in writing by the engineer. Cabling shall be in the wall, above the ceiling or where exposed, enclosed within cable trays, raceways or conduit, as specified.
- All cabling shall be bundled and properly secured and terminated.
- The warranty set forth for this system shall consist of a full three (3) years from the date of project completion. The contractor warrants the system to be free of defects of workmanship or products and will inspect and repair the system during this warranty period at no additional cost to the owner. The warranty period shall begin at the point of system acceptance or beneficial use, whichever comes later.

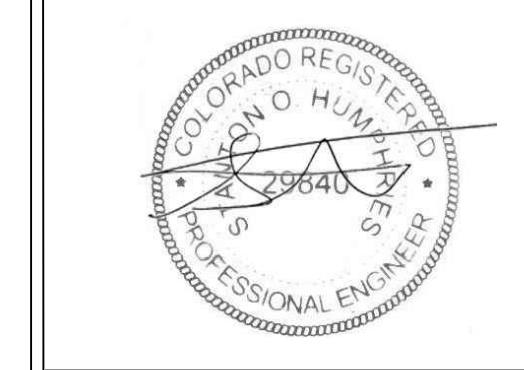
GENERAL NOTES ALL SHEETS

THE ELECTRICAL CONTRACTOR WILL PROVIDE A WALK THROUGH WITH THE OWNER/ARCHITECT PRIOR TO FINAL ROUGH-IN AS FOLLOWS:

- CONFIRM ALL LOCATIONS FOR LIGHT SWITCHES; ADD THREE WAYS IF FOUND NECESSARY.
- REVIEW RECEPTACLE LOCATIONS; MOVE AS REQUIRED.PROVIDE UNIT PRICING IF ADDITIONAL RECEPTACLES ARE REQUIRED.
- REVIEW RECEPTACLE LOCATIONS AT COUNTERS AND CONFIRM IF THOSE RECEPTACLES SHOULD BE ABOVE COUNTER OR BELOW. MOVE AS REQUIRED.

IN GENERAL CONFIRM POWER AND LIGHTING REQUIREMENTS. THE ELECTRICIAN SHOULD BE PREPARED TO REWORK SOME DEVICE LOCATIONS. SIGNIFICANT REWORK SHOULD BE FLAGGED AND UNIT PRICING PROVIDED AND WRITTEN AUTHORIZATION FOR ADDITIONAL COSTS APPROVED PRIOR TO PROCEEDING.

aec
Architectural Engineering Consultants
Mechanical, Electrical & Lighting Design Services
An Office with LEED™ Accredited Professionals
PO Box 8489, 40801 US Hwy 6 & 24, Ste 214, Avon, Colorado, 81620
Telephone: 970-748-8620
www.aec-vail.com



MOUNTAIN VILLAGE LOT 30 TELLURIDE, CO

| | |
|----------------|----------|
| AEC PROJECT #: | 21063 |
| DATE: | ISSUE: |
| 07-16-21 | PROGRESS |
| 07-21-21 | PERMIT |

| | |
|-----------|-------------|
| Drawn By: | Checked By: |
| CTL | SOH |

LEGEND, SPECS, DETAILS & ONE-LINE SCALE 1/8" = 1'-0"

GENERAL NOTES:

1. FOOT-CANDLE VALUES SHOWN ON THE ADJACENT PLAN WERE CALCULATED USING DIALUX EVO VER 9.2.
2. ALL EXTERIOR LIGHTS SHALL BE CONTROLLED WITH A PHOTO-SENSOR OR ASTRONOMICAL TIMECLOCK. COORDINATE CONTROLS LOCATION WITH OWNER PRIOR TO ROUGH-IN.
3. COORDINATE POWER CIRCUITING FOR EXTERIOR FIXTURES IN FIELD.
4. PROVIDE IC RATED HOUSING FOR ANY DOWNLIGHT LOCATIONS WHERE THERE IS INSULATION.
5. THIS PLAN DOES NOT SHOW EMERGENCY EGRESS LIGHTING. BATTERIES MAY BE NEEDED TO PROVIDE TO POWER DURING AN OUTAGE. COORDINATE EMERGENCY EGRESS BATTERIES AS REQUIRED FOR CODE.

LUMINAIRE SCHEDULE

| TYPE | DESCRIPTION | MANUFACTURER | CATALOG NUMBER | MOUNTING | NO. LAMP | VOLTS | DIMENSIONS | REMARKS |
|------|---|--------------|--------------------------------|----------|----------|-----------------|-----------------------------------|--|
| BA | BOLLARD-LED FULL CUTOFF ASYMMETRICAL DISTRIBUTION | LITHONIA | DS16 LED-12-350-30-ASYM-VOLT- | BOLLARD | 1 | 16W LED 3000K | 120 1/2" H X 8" DIA | REFERENCE MANUFACTURERS MOUNTING INSTRUCTIONS AND TEMPLATE |
| BS | BOLLARD-LED FULL CUTOFF SYMMETRICAL DISTRIBUTION | LITHONIA | DS16 LED-16C-350-30-SYMM-VOLT- | BOLLARD | 1 | 16W LED 3000K | 120 1/2" H X 8" DIA | REFERENCE MANUFACTURERS MOUNTING INSTRUCTIONS AND TEMPLATE |
| D | DOWNLIGHT - 4" DIAMETER | LITHONIA | LDN-3007-104-R-US-5M-VOLT-G210 | RECESSED | 1 | 8.8 W LED 3000K | 11 3/8" W X 9 7/8" W X 5 11/16" H | |
| S | STEP LIGHT | WAC | WLLED100C | RECESSED | 1 | 3.5 W LED 3000K | 3" L X 2" W X 2" H | MOUNT AT 18" HEIGHT |

SITE LIGHTING PLAN

SCALE: 1/8" = 1'-0"



**MOUNTAIN VILLAGE
 LOT 30
 TELLURIDE, CO**

AEC PROJECT #: 21063

| | |
|----------|----------|
| DATE: | ISSUE: |
| 07-16-21 | PROGRESS |
| 07-21-21 | PERMIT |
| 09-07-21 | PROGRESS |

Drawn By: CTL
 Checked By: SOH

**SITE
 LIGHTING &
 PLAN**

SCALE 1/8" = 1'-0"

E2.0
 2 of 2

FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs. Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.

Accommodates 12"-24" joist spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max ceiling thickness 1-1/2".

OPTICS — LEDs are binned to a 3-step SDCM; 80 CRI minimum. 90 CRI optional. LED light source concealed with diffusing optical lens. General illumination lighting with 1.0 S/MH and 55° cut-off to source and source image. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available. 0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled. 70% lumen maintenance at 60,000 hours.

LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. ENERGY STAR® certified product.

BUY AMERICAN — Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY — 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

| |
|----------------|
| Catalog Number |
| Notes |
| Type |



LDN4

**4" Open and WallWash LED
Non-IC
New Construction Downlight**



A+ Capable options indicated by this color background.

ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: LDN4 35/15 L04AR LSS MVOLT EZ1

| LDN4 Series | Color temperature | Lumens ¹ | Aperture/Trim Color | Finish | Voltage |
|---------------|-------------------|---------------------|-------------------------------|--|---|
| LDN4 4" round | 27/ 2700K | 05 500 lumens | L04 Downlight LW4 Wallwash | LSS Semi-specular LD Matte diffuse LS Specular | MVOLT Multi-volt 120 120V 277 277V 347 ³ 347V |
| | 30/ 3000K | 07 750 lumens | | | |
| | 35/ 3500K | 10 1000 lumens | | | |
| | 40/ 4000K | 15 1500 lumens | | | |
| | 50/ 5000K | 20 2000 lumens | | | |

| Driver | Options |
|---|---|
| GZ10 0-10V driver dims to 10% | SF ⁴ Single fuse |
| GZ1 0-10V driver dims to 1% | TRW ⁶ White painted flange |
| EZ10 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 10% | TRBL ⁶ Black painted flange |
| | EL ⁵ Emergency battery pack with integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS |
| EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1% | ELR ⁵ Emergency battery pack with remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS |
| | ELSD ⁵ Emergency battery pack with self-diagnostics, 10W Constant Power, integral test switch. Not Certified in CA Title 20 MAEDBS |
| D10 Minimum dimming 10% driver for use with JOT | ELRSD ⁵ Emergency battery pack with self-diagnostics, 10W Constant Power, remote test switch. Not Certified in CA Title 20 MAEDBS |
| D1 Minimum dimming 1% driver for use with JOT | E10WCPR ⁵ Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDBS |
| EDAB eldoLED DALI SOLDRIIVE dim to dark | E10WCPR ⁵ Emergency battery pack, 10W Constant Power with remote test switch. Certified in CA Title 20 MAEDBS |
| | NPP16D ^{7,10} nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). |
| | NPP16DER ^{7,10} nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit. |
| | N80 ⁸ nLight™ Lumen Compensation |
| | JOT ¹³ Wireless room control with "Just One Touch" pairing |
| | NPS80EZ ^{7,10} nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). |
| | NPS80EZER ^{7,10} nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). ER controls fixtures on emergency circuit. |
| | HAO ¹¹ High ambient option (40°C) |
| | CP ¹² Chicago Plenum |
| | RRL___ RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S. |
| | NLTAIR2 ^{8,9} nLight® Air enabled |
| | NLTAIRER2 ^{9,10} nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options |
| | NLTAIREM2 ^{9,10} nLight® AIR Dimming Pack Wireless Controls. UL924 Emergency Operation, via power interrupt detection. Available with battery pack options. |
| | BAA Buy America(n) Act Compliant |
| | 90CRI High CRI (90+) |

Notes

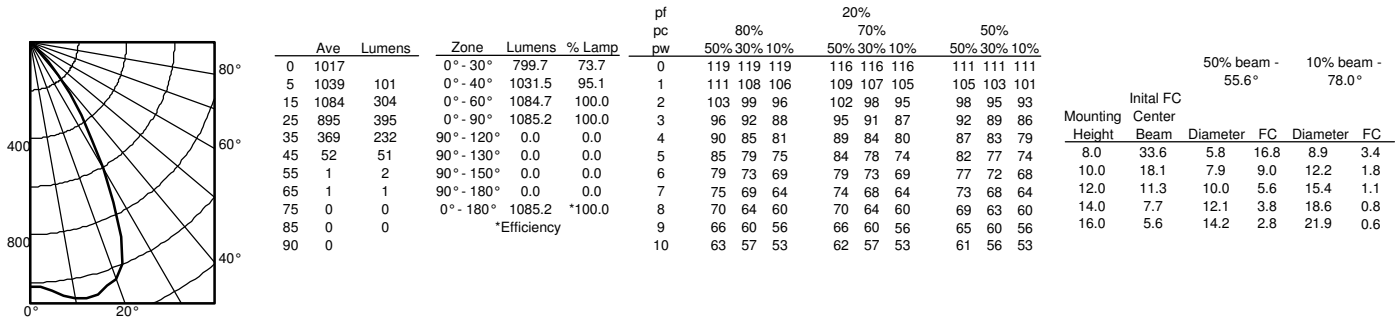
- Overall height varies based on lumen package; refer to dimensional chart on page 3.
- Not available with finishes.
- Not available with emergency options.
- Must specify voltage 120V or 277V.
- 12.5" of plenum depth or top access required for battery pack maintenance.
- Available with clear (AR) reflector only.
- Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
- Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers.
- Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP16DER or N80 options.
- NLTAIR2, NLTAIRER2 and NLTAIREM2 not recommended for metal ceiling installations.
- Fixture height is 5-11/16" for all lumen packages with HAO.
- Must specify voltage for 3000lm. Not available with emergency battery pack option.
- Must specify D10 or D1 driver. Not available with nLight options. Not available with CP. Not recommended for metal ceiling installation. Not for use with emergency backup power systems other than battery packs.

LDN4

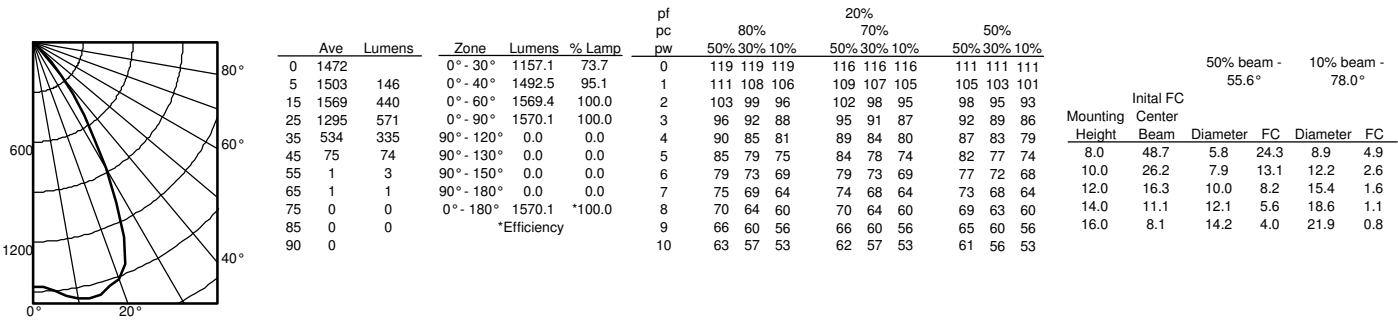
PHOTOMETRY

| Distribution Curve | Distribution Data | Output Data | Coefficient of Utilization | Illuminance Data at 30" Above Floor for a Single Luminaire |
|--------------------|-------------------|-------------|----------------------------|--|
|--------------------|-------------------|-------------|----------------------------|--|

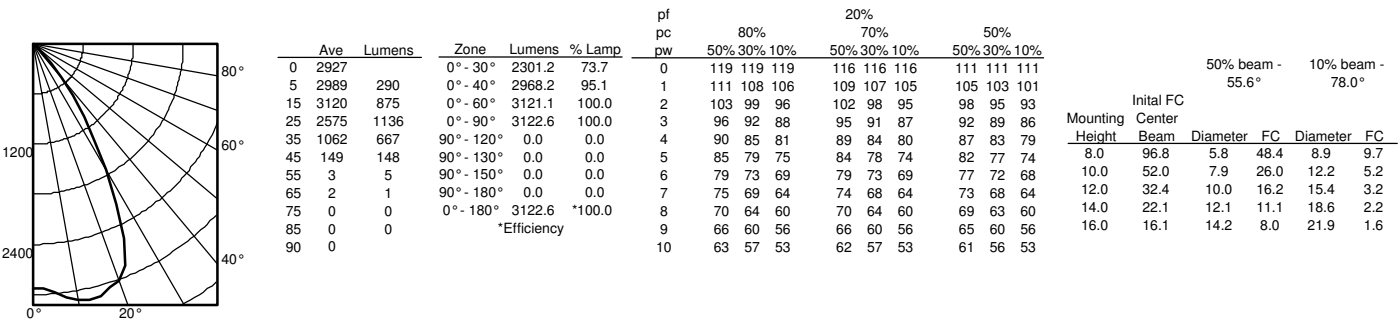
LDN4 35/10 L04AR, input watts: 10.58, delivered lumens: 1085.2, LM/W = 102.57, spacing criterion at 0= 1.04, test no. ISF 30712P229.



LDN4 35/15 L04AR, input watts: 17.5, delivered lumens: 1570.1, LM/W = 89.72, spacing criterion at 0= 1.04, test no. ISF 30712P234.



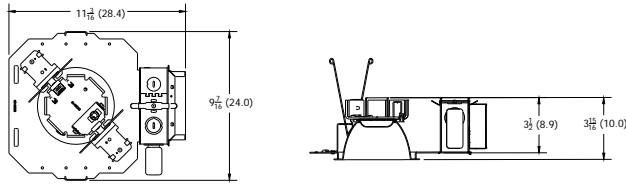
LDN4 35/30 L04AR, input watts: 32.1, delivered lumens: 3122.6, LM/W = 88.52, spacing criterion at 0= 1.04, test no. ISF 30712P249.



LDN4

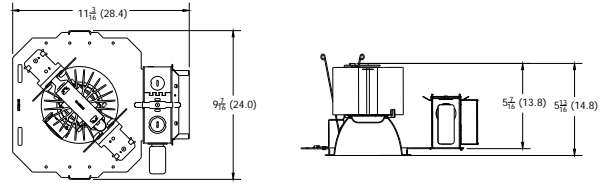
* All dimensions are inches (centimeters) unless otherwise noted.

LDN4 500 - 2000 LUMENS



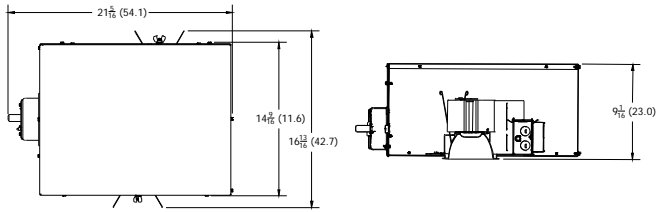
Aperture: 4-5/16" (11)
Ceiling Opening: 5-1/8" (13)
Overlap Trim: 5-7/16" (13.8)

LDN4 2500 - 4000 LUMENS



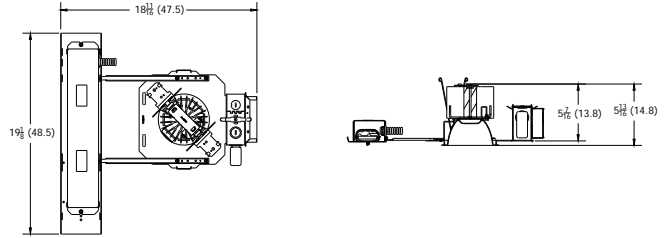
Aperture: 4-5/16" (11)
Ceiling Opening: 5-1/8" (13)
Overlap Trim: 5-7/16" (13.8)

LDN4 CP



Aperture: 4-5/16" (11)
Ceiling Opening: 5-1/8" (13)
Overlap Trim: 5-7/16" (13.8)

LDN4 EL



Aperture: 4-5/16" (11)
Ceiling Opening: 5-1/8" (13)
Overlap Trim: 5-7/16" (13.8)

| LDN4 | | | |
|---------|--------|---------|------|
| Nominal | Lumens | Wattage | Lm/W |
| 500 | 523.6 | 5.74 | 91.2 |
| 750 | 751.1 | 8.6 | 87.3 |
| 1000 | 1045 | 10.58 | 98.8 |
| 1500 | 1512 | 17.5 | 86.4 |
| 2000 | 2006 | 22.12 | 90.7 |
| 2500 | 2551 | 26.1 | 97.7 |
| 3000 | 3007 | 32.1 | 93.7 |
| 4000 | 4212 | 43 | 98.0 |

| LUMEN OUTPUT MULTIPLIERS \times CCT | | | | | |
|---------------------------------------|-------|-------|-------|-------|-------|
| | 2700K | 3000K | 3500K | 4000K | 5000K |
| 80CRI | 0.950 | 0.966 | 1.000 | 1.025 | 1.101 |

HOW TO ESTIMATE DELIVERED LUMENS IN EMERGENCY MODE

Use the formula below to estimate the delivered lumens in emergency mode

$$\text{Delivered Lumens} = 1.25 \times P \times \text{LPW}$$

P = Output power of emergency driver. P = 10W for PS1055CP

LPW = Lumen per watt rating of the luminaire. This information is available on the ABL luminaire spec sheet.

The LPW rating is also available at Designlight Consortium.

| LUMEN OUTPUT MULTIPLIERS \times FINISH | | | |
|--|------------|------------|------------|
| | Clear (AR) | White (WR) | Black (BR) |
| Specular (LS) | 1.0 | N/A | N/A |
| Semi-specular (LSS) | 0.950 | N/A | N/A |
| Matte diffuse (LD) | 0.85 | N/A | N/A |
| Painted | N/A | 0.87 | 0.73 |

Notes

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 80 typical.

ADDITIONAL DATA

JOT

JUST ONE TOUCH

The Sensor Switch JOT enabled solution offers a wireless, app-free approach to single room lighting control. JOT enabled products use Bluetooth® Low Energy (BLE) technology to enable wireless dimming and switching.

Diagram



LDN4 Series



Sensor Switch
WSXA JOT

- 1. Power:** Install JOT enabled fixtures and controls as instructed.
- 2. Pair:** Insert the pairing tool into the pinhole on the wall switch; press and hold any button for 6 seconds.
- 3. Play:** Once paired, each fixture will individually dim down to 10% brightness. All products will be fully functional.

COMPATIBLE 0-10V WALL-MOUNT DIMMERS

| MANUFACTURER | PART NO. | POWER BOOSTER AVAILABLE |
|----------------------------|---|-------------------------|
| Lutron® | Diva® DVTV | |
| | Diva® DVSCTV | |
| | Nova T® NTFTV | |
| | Nova® NFTV | |
| Leviton® | AWSMT-7DW | CN100 |
| | AWSMG-7DW | PE300 |
| | AMRMG-7DW | |
| | Leviton Centura Fluorescent Control System | |
| | IllumaTech® IP7 Series | |
| Synergy® | ISD BC | RDMFC |
| | SLD LPCS | |
| | Digital Equinox (DEQ BC) | |
| Douglas Lighting Controls | WPC-5721 | |
| Entertainment Technology | Tap Glide TG600FAM120 (120V) | |
| | Tap Glide Heatsink TGH1500FAM120 (120V) | |
| | Oasis OA2000FAMU | |
| Honeywell | EL7315A1019 | EL7305A1010 (optional) |
| | EL7315A1009 | |
| HUNT Dimming | Preset slide: PS-010-IV and PS-010-WH | |
| | Preset slide: PS-010-3W-IV and PS-010-3W-WH | |
| | Preset slide, controls FD-010: PS-IFC-010-IV and PS-IFC-010-WH-120/277V | |
| | Preset slide, controls FD-010: PS-IFC-010-3W-IV and PS-IFC-010-3W-WH-120/277V | |
| | Remote mounted unit: FD-010 | |
| Lehigh Electronic Products | Solitaire | PBX |
| PDM Electrical Products | WPC-5721 | |
| Starfield Controls | TR61 with DALI interface port | RT03 DALInet Router |
| WattStopper® | LS-4 used with LCD-101 and LCD-103 | |

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is part of an A+ Certified solution for nLight® control networks when ordered with drivers marked by a **shaded background***
- This luminaire is part of an A+ Certified solution for nLight control networks, providing advanced control functionality at the luminaire level, when selection includes driver and control options marked by a **shaded background***

To learn more about A+, visit www.acuitybrands.com/aplus.

*See ordering tree for details

LDN4

EXAMPLE

Group Fixture Control*

*Application diagram applies for fixtures with eldoLED drivers only.

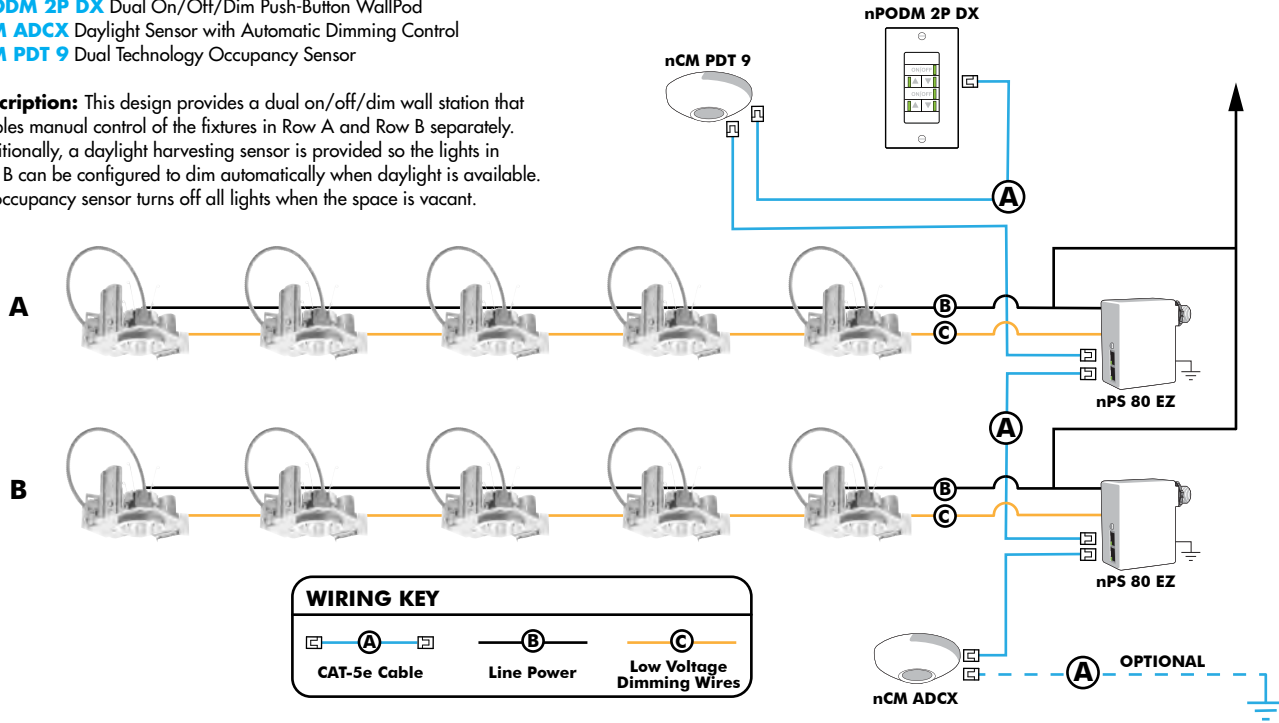
nPS 80 EZ Dimming/Control Pack (qty: 2 required)

nPODM 2P DX Dual On/Off/Dim Push-Button WallPod

nCM ADCX Daylight Sensor with Automatic Dimming Control

nCM PDT 9 Dual Technology Occupancy Sensor

Description: This design provides a dual on/off/dim wall station that enables manual control of the fixtures in Row A and Row B separately. Additionally, a daylight harvesting sensor is provided so the lights in Row B can be configured to dim automatically when daylight is available. An occupancy sensor turns off all lights when the space is vacant.



Choose Wall Controls

nLight offers multiple styles of wall controls - each with varying features and user experience.



Push-Button Wallpod

Traditional tactile buttons and LED user feedback



Graphic Wallpod

Full color touch screen provides a sophisticated look and feel

nLight® Wired Controls Accessories:

Order as separate catalog number. Visit www.acuitybrands.com/products/controls/nlight for complete listing of nLight controls.

| WallPod Stations | Model number | Occupancy sensors | Model Number |
|---------------------------|---------------------|--|-----------------------------|
| On/Off | nPODM (Color) | Small motion 360°, ceiling (PIR/dual Tech) | nCM 9 / nCM PDT 9 |
| On/Off & Raise/Lower | nPOD DX (Color) | Large motion 360°, ceiling (PIR/dual tech) | nCM 10 / nCM PDT 10 |
| Graphic Touchscreen | nPOD GFX (Color) | Wide View (PIR/dual tech) | nWV 16 / nWV PDT 16 |
| Photocell controls | Model Number | Wall Switch w/ Raise/Lower (PIR/dual tech) | nWSX LV DX / nWSX PDT LV DX |
| Dimming | nCM ADCX | Cat-5 cables (plenum rated) | Model Number |
| | | 10', CAT5 10FT | CAT5 10FT J1 |
| | | 15, CAT5 15FT | CAT5 15FT J1 |

nLight® AIR Control Accessories:

Order as separate catalog number. Visit www.acuitybrands.com/products/controls/nlightair.

Wall switches

| | Model number |
|----------------------------------|---------------------------|
| On/Off single pole | rPODB [color] |
| On/Off two pole | rPODB 2P [color] |
| On/Off & raise/lower single pole | rPODB DX [color] |
| On/Off & raise/lower two pole | rPODB 2P DX [color] |
| On/Off & raise/lower single pole | rPODBZ DX WH ¹ |

Notes

1 Can only be ordered with the RES7Z zone control sensor version.

nLight AIR

nLight AIR is the ideal solution for retrofit or new construction spaces where adding communication is cost prohibitive. The integrated nLight AIR rPP20 Power Pack is part of each Lithonia LDN Luminaire. These individually addressable controls offer the ultimate in flexibility during initial setup and for space repurposing.



Simple as 1,2,3

1. Install the nLight AIR fixtures with embedded smart sensor
2. Install the wireless battery-powered wall switch
3. With CLAIRITY app, pair the fixtures with the wall switch and if desired, customize the sensor settings for the desired outcome



Model: WL-LED100

LEDme® Step Light

WAC LIGHTING

Responsible Lighting®



Fixture Type:

Catalog Number:

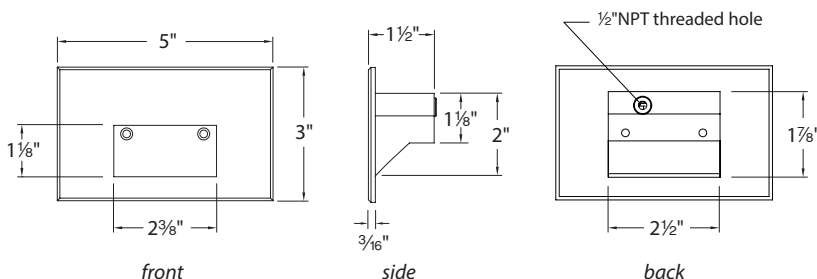
Project: _____

Location: _____

PRODUCT DESCRIPTION

Horizontal rectangle LEDme® Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.



FEATURES

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- Direct wiring, no driver needed
- Low profile, flush to wall aesthetics with no visible hardware
- 54,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- IP66 rated, Protected against high-pressure water jets
- Up to 200 fixtures can be connected in parallel
- 5 year WAC Lighting product warranty

SPECIFICATIONS

Construction: Die-cast aluminum or 316 marine grade cast stainless steel

Power: Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC 50/60Hz

Light Source: 3000K CCT Samsung HV-AC High Power LED, CRI: 90
Optional color lenses. Total power consumption of 3.5W

Mounting: Fits into 2" x 4" J-Box with minimum inside dimensions of 3" L x 2" W x 2" H
Includes bracket for J-Box mount.

Dimming: Dim to 10% with electronic low voltage (ELV) dimmer
Approved dimmers: Lutron Nova-T NTELV-300 & NTELV-600, Lutron Vietri VTELV-600, Lutron Diva DVELV-300P, Lutron Skylark SELV-300P, Lutron Maestro MAELV-600

Standards: IP66, UL & cUL Listed for wet locations, Title 24 JA8-2016 Compliant.

ORDER NUMBER

| Model # | Light Color | Finish |
|------------------------|---------------------------|---------------------------------------|
| WL-LED100 120V | C White 3000K | BK Black on Aluminum |
| | AM Amber 610nm | BN* Brushed Nickel on Aluminum |
| | RD Red 640nm | BZ Bronze on Aluminum |
| | BL Blue 450nm | GH Graphite on Aluminum |
| WL-LED100F 277V | SS Stainless Steel | WT White on Aluminum |
| | BL Blue 450nm | |
| WL-LED100 120V | C White 3000K | BBR Bronze on brass |
| | AM Amber 610nm | |

*Brushed Nickel Finish is for interior use only



Example: **WL-LED100F-BL-SS**

wacighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760



D-Series LED Bollard



d#series

Specifications

Diameter: 8" Round
(20.3 cm)

Height: 42"
(106.7 cm)

Weight (max): 27 lbs
(12.25 kg)



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The D-Series LED Bollard is a stylish, energy-saving, long-life solution designed to perform the way a bollard should—with zero uplight. An optical leap forward, this full cut-off luminaire will meet the most stringent of lighting codes. The D-Series LED Bollard's rugged construction, durable finish and long-lasting LEDs will provide years of maintenance-free service.

Ordering Information

EXAMPLE: DSXB LED 16C 700 40K SYM MVOLT DDBXD

| DSXB LED | Series | LEDs | Drive current | Color temperature | Distribution | Voltage | Control options | Other options | Finish <i>(required)</i> |
|----------|------------|--------------------------|---------------------------|---|--------------------------------|--------------------|--|---|----------------------------------|
| DSXB LED | Asymmetric | 12C 12 LEDs ¹ | 350 350 mA | 30K 3000 K | ASY Asymmetric ¹ | MVOLT ⁵ | PE Photoelectric cell, button type | SF Shipped installed Single fuse (120, 277, 347V) ^{4,7} | DWHXD White |
| | | | 450 450 mA ^{3,4} | 40K 4000 K | SYM Symmetric ² | 120 ⁵ | | | |
| DSXB LED | Symmetric | 16C 16 LEDs ² | 530 530 mA | 50K 5000 K | AMBPC Amber phosphor converted | 208 ⁵ | DMG 0-10V dimming driver (no controls) | DF Shipped installed Double fuse (208, 240V) ^{4,7} | DDBXD Dark bronze |
| | | | 700 700 mA | AMBLW Amber limited wavelength ^{3,4} | | | | | |
| | | | | | | 277 ⁵ | ELCW Emergency battery backup ⁶ | H30 30" overall height | DOBTXD Textured dark bronze |
| | | | | | | 347 ⁴ | | H36 36" overall height | DBLBXD Textured black |
| | | | | | | | | FG Ground-fault festoon outlet | DNATXD Textured natural aluminum |
| | | | | | | | | L/AB Without anchor bolts | DWHGXD Textured white |
| | | | | | | | | L/AB4 4-bolt retrofit base without anchor bolts ⁸ | |

Accessories

Ordered and shipped separately.

MRAB U Anchor bolts for DSXB⁸

NOTES

- 1 Only available in the 12C, ASY version.
- 2 Only available in the 16C, SYM version.
- 3 Only available with 450 AMBLW version.
- 4 Not available with ELCW.
- 5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- 6 Not available with 347V. Not available with fusing. Not available with 450 AMBLW.
- 7 Single fuse (SF) requires 120, 277, or 347 voltage option. Double fuse (DF) requires 208 or 240 voltage option.
- 8 MRAB U not available with L/AB4 option.



Performance Data

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%.

| Light Engines | Drive Current | System Watts | 3000 K | | | | | 4000 K | | | | | 5000 K | | | | | Limited Wavelength Amber | | | | | |
|-------------------------|---------------|--------------|--------|-----|---|---|---|--------|-----|---|---|---|--------|-----|---|---|---|--------------------------|-----|---|---|---|--|
| | | | Lumens | LPW | B | U | G | Lumens | LPW | B | U | G | Lumens | LPW | B | U | G | Lumens | LPW | B | U | G | |
| Asymmetric (12 LEDs) | 350 | 16 | 1,194 | 75 | 1 | 0 | 1 | 1,283 | 80 | 1 | 0 | 1 | 1,291 | 81 | 1 | 0 | 1 | | | | | | |
| | 530 | 22 | 1,719 | 78 | 1 | 0 | 1 | 1,847 | 84 | 1 | 0 | 1 | 1,859 | 85 | 1 | 0 | 1 | | | | | | |
| | 700 | 31 | 2,173 | 70 | 1 | 0 | 1 | 2,335 | 75 | 1 | 0 | 1 | 2,349 | 76 | 1 | 0 | 1 | | | | | | |
| | Amber 450 | 16 | | | | | | | | | | | | | | | | 348 | 22 | 1 | 0 | 1 | |
| Symmetric (16 LEDs) | 350 | 20 | 1,558 | 78 | 1 | 0 | 0 | 1,674 | 84 | 1 | 0 | 0 | 1,685 | 84 | 1 | 0 | 0 | | | | | | |
| | 530 | 28 | 2,232 | 80 | 2 | 0 | 1 | 2,397 | 86 | 2 | 0 | 1 | 2,412 | 86 | 2 | 0 | 1 | | | | | | |
| | 700 | 39 | 2,802 | 72 | 2 | 0 | 1 | 3,009 | 77 | 2 | 0 | 1 | 3,028 | 78 | 2 | 0 | 1 | | | | | | |
| | Amber 450 | 20 | | | | | | | | | | | | | | | | 419 | 21 | 1 | 0 | 1 | |

Note: Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

| Operating Hours | 0 | 25,000 | 50,000 | 100,000 |
|--------------------------|------|--------|--------|---------|
| Lumen Maintenance Factor | 1.00 | 0.98 | 0.97 | 0.95 |

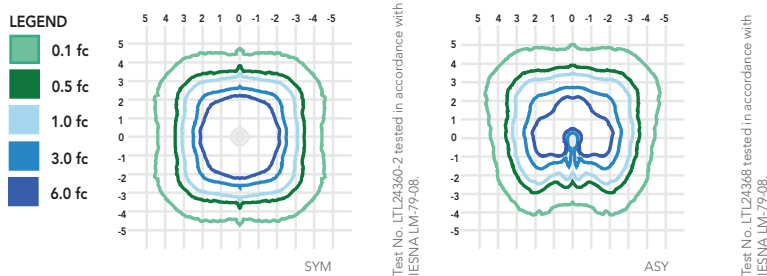
Electrical Load

| Light Engines | Drive Current (mA) | System Watts | Current (A) | | | | |
|---------------|--------------------|--------------|-------------|-------|-------|-------|-------|
| | | | 120 | 208 | 240 | 277 | 347 |
| 12C | 350 | 16W | 0.158 | 0.118 | 0.114 | 0.109 | 0.105 |
| | 530 | 22W | 0.217 | 0.146 | 0.136 | 0.128 | 0.118 |
| | 700 | 31W | 0.296 | 0.185 | 0.168 | 0.153 | 0.139 |
| | Amber 450 | 16W | 0.161 | 0.120 | 0.115 | 0.110 | 0.106 |
| 16C | 350 | 20W | 0.197 | 0.137 | 0.128 | 0.121 | 0.114 |
| | 530 | 28W | 0.282 | 0.178 | 0.162 | 0.148 | 0.135 |
| | 700 | 39W | 0.385 | 0.231 | 0.207 | 0.185 | 0.163 |
| | Amber 450 | 20W | 0.199 | 0.139 | 0.130 | 0.123 | 0.116 |

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Bollard homepage](#).

Isfootcandle plots for the DSXB LED 700 40K. Distances are in units of mounting height (3').



FEATURES & SPECIFICATIONS

INTENDED USE

The rugged construction and maintenance-free performance of the D-Series LED Bollard is ideal for illuminating building entryways, walking paths and pedestrian plazas, as well as any other location requiring a low-mounting-height light source.

CONSTRUCTION

One-piece 8-inch-round extruded aluminum shaft with thick side walls for extreme durability, and die-cast aluminum reflector and top cap. Die-cast aluminum mounting ring allows for easy leveling even in uneven areas and full 360-degree rotation for precise alignment during installation. Three 1/2" x 11" anchor bolts with double nuts and washers and 3-5/8" max. bolt circle template ensure stability. Overall height is 42" standard.

FINISH

Exterior parts are protected by a zinc-infused super durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering for maximum retention of gloss and luster. A tightly controlled multi-stage process ensures a minimum 3-mil thickness for a finish that can withstand the elements without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Two 0% uplight optical distributions are available: symmetrical and asymmetrical. IP66 sealed LED light engine provides smoothly graduated illumination without uplight. Light engines are available in standard 4000 K (>70 CRI) or optional 3000 K (>80 CRI) or 5000 K (67 CRI). Limited-wavelength amber LEDs are also available.

ELECTRICAL

Light engines consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (L95/100,000 hours at 700mA at 25°C). Class 2 electronic drivers are designed for an expected life of 100,000 hours with < 1% failure rate. Electrical components are mounted on a removable power tray.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated. Rated for -40°C minimum ambient. Cold-weather emergency battery backup rated for -20°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.



John A. Miller

From: LES OMOTANI <lmo8337@gmail.com>
Sent: Friday, April 2, 2021 11:32 AM
To: Michelle Haynes; John A. Miller
Cc: Les M. Omotani
Subject: Fwd: Lot 30

April 2, 2021

Hello Michelle and John,

In reviewing the latest application for the development of Lot 30 we, as owners of Granita 304, continue to have similar concerns to those we shared with you in 2020.

Our preference is that Lot 30 be developed in a manner similar to the existing houses/buildings in the Aspen Ridge development.

We remain concerned that a large uninterrupted solid block of multi-unit homes impacts the south and west views of Granita owners and guests.

It is our hope that you will require the developer to clearly mark the MAXIMUM height lines for the roof tops along Mountain Village Blvd. = 53 Feet. The illustrations provided / available in the link to the application do not allow an interpretation of the issue of greatest concern to us as owners in the Granita building.

[Last year the marking of trees was done in such a minimal manner / method as to serve no functional purpose. The markings were made at an elevation less than the highest heights of the roof top ridges.]

The developer will continue to make the false case that owners in the Granita Building will not suffer any loss of existing views to the south and west. This is simply not a true statement or conclusion.

A frank assessment of the rationale for the planned height / elevations of the penthouse units for this development is to provide those housing units with a clear view of the mountain vistas that they will remove and block from owners and guests in the Granita building. As owners of Granita 304 our purchase of this unit pre-dates the changes to the planning and zoning changes made regarding Lot 30 and Parcel M.

In our opinion, the developer has not made a sound case for the increased density nor for the significantly solid mass of building to be constructed in opposition to the current characteristic and quality of Aspen Ridge homes.

1. **Building Height Limits (CDC 17.3.11 and 17.3.12)**

The CDC limits the maximum and maximum average building height on Multi-Family lots to 48 feet. However, the ridge of a gable, hip, gambrel, or similar pitched roof may extend the maximum building height up to five (5) feet above the specified maximum height limit.

- The proposed development is in compliance with both the maximum and average height limits for Multi-Family lots.

PLEASE NOTE: Several of the drawings and illustrations that are available via the link are not completely visible. Is it possible to receive a scanned PDF copy of the complete application documents?

Thank you for your time and consideration. We look forward to receiving additional information of the review process and timeline for this application.

take care,

Les and Barbara

GRANITA 304

Les Omotani, Ph. D., Barbara Omotani, Ph. D.
LMO8337@gmail.com

8337 N Lee Trevino Drive
Tucson, Arizona 85742

516 652 6278

From: Michelle Haynes <MHaynes@mtnvillage.org>
Subject: FW: Lot 30
Date: April 2, 2021 at 7:34:21 AM MST
To: LES OMOTANI <lmo8337@gmail.com>, Albert Roer <albertroer@gmail.com>

Good morning. Lot 30 files can be downloaded at the following [link](#) found under current planning.

Michelle Haynes

From: Michelle Haynes
Sent: Friday, April 2, 2021 7:47 AM
To: LES OMOTANI <lmo8337@gmail.com>; Albert Roer <albertroer@gmail.com>
Subject: Lot 30

Les and Albert:

Good morning. We have received a complete application for Lot 30. The 30 day public noticing will go out shortly. The application will be posted to the website by early next week. We scheduled the public hearings for May and June. Thank you!

[Michelle Haynes](#), MPA
Planning and Development Services Director
Housing Director
Town of Mountain Village
[455 Mountain Village Blvd. Suite A](#)
O :: [970.239.4061](tel:970.239.4061)
M :: [970.417.6976](tel:970.417.6976)

For information about The Town of Mountain Village's response to COVID-19 (Coronavirus), please visit townofmountainvillage.com/coronavirus/

Si Usted necesita comunicarse conmigo y necesita servicio de traducción al español, simplemente háganoslo saber y podemos proporcionar tal servicio.

John A. Miller

From: John A. Miller
Sent: Monday, May 3, 2021 4:17 PM
To: John A. Miller
Subject: FW: Lot 30. April 9 2021

From: LES OMOTANI <lmo8337@gmail.com>
Sent: Friday, April 9, 2021 1:45 PM
To: Michelle Haynes <MHaynes@mtnvillage.org>; John A. Miller <JohnMiller@mtnvillage.org>
Cc: Les M. Omotani <LMO8337@gmail.com>; Yvette Rauff <yvette.rauff@gmail.com>; Sandy Van Gilbert <svgnm@comcast.net>; Albert Roer <albertroer@gmail.com>
Subject: Re: Lot 30. April 9 2021

April 9 2021

Hello John and Michelle,

Is it possible to request that the developed be asked to clearly mark the MAXIMUM roof line heights for each section of the building(s) that run parallel to Mountain Village Blvd. Last time they used red paint. It would be best if the marks were WIDER and more visible AND/OR were done using a florescent surveyor like tape or marking material of 3-5 inch width.

Last year the marks were made at the height of the top FLOOR and not the top of the roof line. Obviously this does not help anyone to determine the views that are blocked to current owners in the Granita building. What we want to see is the elevation of the maximum roof line heights.

It would be very desirable to have these elevations marked on the existing trees well before the initial DRB hearing scheduled for May 6, 2021.

Thank you for your consideration and great communication.

Sincerely,

Les Omotani

Granita 304

John A. Miller

From: Sandra <svgnm@comcast.net>
Sent: Monday, April 12, 2021 2:22 PM
To: John A. Miller
Subject: Fwd: Views from Granita 303

John,
I sent this to an incorrect email address and they were kind enough to notify me of my error. Sorry for the lag time in getting this to you.

Sandra Gilbert / Granita 303
Sent from my iPhone

Begin forwarded message:

From: Sandra <svgnm@comcast.net>
Date: April 12, 2021 at 1:51:38 PM MDT
To: MHaynes@mtnvillage.org
Cc: albertroer@gmail.com, yvette.rauff@gmail.com, lmo8337@gmail.com,
JohnMiller@mountainvillage.com
Subject: **Views from Granita 303**

Michelle and John,
As a follow up to Les' email and photos I reiterate his remarks.

The position of the minuscule red ties on the trees makes it clear that the massive proposed developer building will present a solid wall from Aspen Ridge road to the north. All views will be obliterated for Unit 303 and 203 and severely impact Unit 304.

Additionally views will be obliterated for homeowners and visitors driving north on Mountain Village Blvd, severely disrupting the arrival experience and impacting the intrinsic essence of Mountain Village and the visual access of the stunning vistas that sets MV apart as a community that values the land and environment.

Following are photos taken from Unit 303 last week.

Van and Sandra Gilbert/ Granita 303











Sent from my iPhone

John A. Miller

From: LES OMOTANI <lmo8337@gmail.com>
Sent: Monday, April 12, 2021 11:52 AM
To: Michelle Haynes; John A. Miller
Cc: Yvette Rauff; Sandy Van Gilbert; Les M. Omotani; Albert Roer
Subject: PROPOSED LOT 30 DEVELOPMENT = DENSITY AND HEIGHT

APRIL 12 2021

Hello Michelle and John,

Last summer the case was made by some to imply that owners of homes in the Granita Building did NOT have views to the south and west. Therefore the proposed new development would have a minimal impact upon existing sight lines.

Last week, we asked a friend to take a few photos from two of our rooms that are located on the third floor of the Granita building. It is obvious that we do indeed enjoy some great views throughout the winter and spring [and even the summer and fall.]. We continue to ask that the developer be required to CLEARLY mark the highest roof heights for the proposed building that will run the entire length parallel to Mountain Village Blvd. Obviously if the proposed construction will negatively affect the views from our Granita 304 condo then the impact upon Granita 303 and the units on the first and second floors will be SEVERE.

thanks for your consideration.











take care,

Les

GRANITA 304

Les Omotani, Ph. D.

LMO8337@gmail.com

8337 N Lee Trevino Drive
Tucson, Arizona 85742

516 652 6278

516 652 6278

John A. Miller

From: Yorke Pharr <yorkepharr@gmail.com>
Sent: Monday, April 26, 2021 2:48 PM
To: cd
Subject: Lot 30 density change

I have been owner at Aspen Ridge unit 4 for nearly 20 years. I wish to strongly object to the new and nearly double density request for the lot 30 from 11 to 19 units and 33 to 57 person change. This is now totally out of character for Aspen Ridge and the across street development by same developer. I hope those in charge will value tradition and reason and reject this change. It will definitely do damage to what has been carefully developed in heart of Mt Village. Quality not quantity please!

J Yorke Pharr iii and family

Sent from my iPhone

John A. Miller

From: Greg Nichols <rgnichols@me.com>
Sent: Tuesday, April 27, 2021 11:39 AM
To: cd
Cc: Tim Durham; Bohdan Iwanetz; Mike &Debbie Rutledge; Phil Gruszka; Julie REZNICEK; Laura Norwitch; Steve R; Marcy (Telluride)
Subject: Lot 30 Development

Attn: MV Planning Development

Our family first started skiing in Telluride in the mid-nineties and purchased our family townhouse in 2020 in Aspen Ridge. For over 20 plus years we have spent 10-15 weeks a year in MV and consider this our families 2nd home.

We purchased in the AR community as our HOA which is comprised of all AR owners was doing a great job then and continues to do so helping the AR neighborhood community remain one of the best in MV.

Another consideration was the development that would eventually go up on the Lot 30. We understood when we purchased that it was a low density area and we assumed we would never have to worry about a large condo development.

We never believed that MV would even consider approving a development this size on our block much less one that appears massive from the email plans I received.

Who believes that we should increase the units by 8 and allow 24 plus more people than originally zoned. After all, we all know that there will not be 57 people but closer to 70-80 when the units are full and everyone's friends, family, or group of renters show-up.

Parking will be a problem and feel sure unless MV police dept. are geared up for and do hourly drive-bys this will be an issue.

Many of us have grandchildren and small kids that are out and about in the neighborhood. The increase in the additional traffic down AR blvd. will certainly add an additional hazard that we have not faced. And as many of the new occupants will undoubtedly be renters, I feel sure they will all be lost and miss the driveway and head up-down our street.

Our AR HOA has worked hard to maintain building standards to help keep the noise level down in our community as most of us have our windows open 24/7 weather permitting. We never have party noise issues nor large outside gatherings. THAT there is a community center planned along with a spa/pool is unacceptable. As we all know, the more the booze flows the longer the party goes and louder it gets. Who is going to be in charge of shutting this problem down as we know" posted hours" are not working for some owners and young renters.

I have other concerns about the development as to how it will impact this area we have lived and vacationed in for 20 plus years. It is certainly not my/ours/MV problem that the developer can not make this a viable financial project with the current density zoning. Maybe they need to rescale the project or sell off Lot 30 to a developer that has no issues building within the existing MV zoning codes.

Thanks R Greg Nichols

John A. Miller

From: tim durham <rtimdurham@gmail.com>
Sent: Tuesday, April 27, 2021 1:09 PM
To: cd
Cc: Tim Durham
Subject: Lot 30 Development Proposal

Dear MV Design Review Board,

We are 31 year Mountain Village property owners in the Aspen Ridge Condominium complex. We have loved being a part time MV resident and truly consider it our "Happy Place." To that end we are very concerned about the proposed condominium project being proposed for Lot 30, which is directly adjacent to our property and shares Aspen Ridge Blvd as common egress and ingress.

Given the size of Lot 30, the currently approved density plan for 11 units actually already seems excessively dense, and would need to be very carefully designed with vehicular access to most units from Mountain Village Boulevard to prevent excess traffic on Aspen Ridge Blvd, given the existing volume of pedestrian traffic from Aspen Ridge and the condo residents down the stairs from us. The people traffic associated with 11 additional residential units should not present a problem assuming use is limited to individual owners or renters.

The most recent proposed plan of an increase up to 19 units not only consumes virtually every available square foot of the lot, but expands the human density to that which is more in line with a hotel. It far exceeds that of Aspen Ridge or the Granita which have lots of green spaces surrounding them. Furthermore, adding a Community Center and outdoor spa/pool further adds potential noise and visual pollution to surrounding properties and would be unacceptable to most.

As proposed, the massive size of this proposed development would certainly not be a transitional unit between Aspen Ridge and the Village. It would be the insertion of a very large, view blocking structure that would create increased noise and activity through the spa and community center areas. This proposed structure is out of place with its surroundings, not only with Aspen Ridge and The Granita, but also with other buildings around Sunset Plaza.

Obviously we strongly object to this development as proposed.

We truly appreciate your serious consideration of the potential harm that this proposed development would have on our, and all the neighboring resident's, "Happy Place" and highly encourage you to reject this density increase proposal as designed.

Regards,

Tim Durham
Aspen Ridge #24 Owner
512-422-1237

John A. Miller

From: Riles, Thomas <Thomas.Riles@nyulangone.org>
Sent: Tuesday, April 27, 2021 9:20 AM
To: cd
Cc: Merideth Munn; rtimdurham@gmail.com; adriana riles
Subject: Proposed Development at Aspen Ridge lot 30

Dear Members of the Design Review Board,

As owners at Aspen Ridge for over 30 years, we are appalled at the most recent plan to expand the project at Lot 30 of Aspen Ridge to 19 units, as well as the plan to include a Community Center with the spa and pool as part of the development most adjacent to the Aspen Ridge homes.

Clearly Lot 30 is ideal for development. It is surprising that it had not been developed long ago. As we have watched Aspen Ridge and Mountain Village grow, it always seemed that an attractive structure between the Aspen Ridge homes and the Granita would complete a graceful transition between the Village and the residential properties.

Given the size of Lot 30, if new structures were to maintain the same density that currently exists in Aspen Ridge, we estimate the lot could host the equivalent of seven more AR units. The previous plan for 11 units on Lot 30 seemed excessively dense, but manageable if well designed and if vehicular access to most units were from Mountain Village Boulevard. Also, the human traffic associated with 11 residential units would be acceptable if use were limited to individual owners or renters.

The most recent plan of 19 units not only consumes virtually every available square foot of the lot but expands the human density to that which is more in line with a hotel. It far exceeds that of Aspen Ridge or the Granita which has spacious surroundings. Including a Community Center and Spa further adds to the traffic and undoubtedly brings a transient and potentially commercial aspect to an area that has been heretofore limited to residential use.

As proposed, this development would certainly not be a transitional unit between Aspen Ridge and the Village. It would be the insertion of huge, humanly dense structure that is designed to increase activity through the spa and community space. The proposed structure is out of place with its surroundings, not only with Aspen Ridge and The Granita, but also with other buildings around Sunset Plaza.

Equally concerning is the proposal to have the only vehicular access for the new development from Aspen Ridge Drive. ARD has always been a quiet lane that residents use to walk from their homes to Mountain Village. Placing access, even for a 11 unit complex on the Drive will be detrimental to the families and in particular children who now feel safe walking from their homes to the crosswalk to reach the Village. The impact to all who depend on the Drive to walk to the Plaza and Village will be significant, and potentially dangerous if vehicles and deliveries for 19 units (or even 11 units) are all funneled through the entrance to Aspen Ridge Drive.

As I stated at the beginning, we have enjoyed watching Mountain Village develop these past 30 years. For the most part (Peaks excepted) new buildings have been well designed with careful consideration to the impact on the Village proper, and with the focus of making Mountain Village and Telluride the most attractive resort

area in the United States. The fact that we and so many others return to Mountain Village year after year is the enduring natural beauty as well as the attractive and functional architecture of the developed areas. This proposal seems contrary to all that has previously been done to adhere to high standards that have guided development to date. Placing a structure that utilizes every available foot and pushes the limits of height will serve no purpose other than satisfying the greed of the developers.

We firmly oppose the plan being reviewed by the Design Review Board and urge to DRB to do the right thing - reject this proposal.

Respectfully,
Tom and Adriana Riles
Owners at Aspen Ridge unit 25

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To the Mountain Village Design Review Board concerning Lot 30:

I have been an owner in the AspenRidge 1 Development in unit 27 since 1997 and have served on its HOA board since it was organized in March 1999.

I have been traveling to Telluride and Mountain Village since 1988 to ski and vacation every year. My hope is to move to this area in retirement and make Colorado my home.

The proposed Lot 30 development next to my personal unit (physically the closes, 8 feet) and to the Aspen Ridge Drive neighborhood has me concerned "Personally" about specific problems affecting myself and multiple owners in Aspen Ridge 1, Aspen Ridge 2, and even Tramontana.

The Developer is asking to increase the density to 16 condominiums and 3 employee condominiums (17 in the new structure) for 57 Total Personal Equivalents and 34 parking spaces. All these personal vehicles, other servicing vehicles and pedestrians **can only enter and exit via the Tunnel driveway on Aspen Ridge Drive**. This in contrast to every other dwelling on that street where either 1 or 2 cars exit onto the street or Tramontana which has 5 or 6 condominiums exiting 1-2 cars each from an underground garage. This demonstrates the difference in existing density and the **Huge traffic problem** with people/cars on a **small dead end private street**. At night the car lights would especially affect our Duplex building #1-2 directly across from where the Tunnel driveway exits. If you assist on this density level **it should enter and exit off Mountain Village Boulevard** with construction of sidewalks to allow connection to paths already built along to the other large developments on that street such as Madeline , Peaks, etc.

The next serious concern I wish to bring up is the proposed Club House with outside decks and Pool/Hot tub area located on the west side property line of Aventura's current plans. This is directly below my kitchen/dining room windows and even level with my Master bedroom, there has been no effective attempt to shelter our development from the noise or activity caused by a **party room/pool for 57 people plus guests eight feet from my window..**

In contrast eight of the Aspen Ridge Hot tubs are **indoors**, 1 outdoor tub used by AR unit 1 is 50+ feet from Tramontana's garage. Aspen Ridge 2 has hot tubs located on their balconies or private enclosed decks. We have had **very few or no** problems with noise for over 20+ years

I am sure an **indoor pool** and even some balcony hot tubs would be a better **more neighborly solution**.

Larissa my wife and I are not against growth in the Mountain Village community but we wish to comment at your May 6th DRB Zoom meeting and any follow up meetings concerning this subject.

Sincerely,

Bo and Larissa Iwanetz Unit 27B Aspen Ridge 1 Cell: 708-275-4911 biwanetz@sbcglobal.net

John A. Miller

From: Cynthia Warner <cindy@cindywarner.com>
Sent: Wednesday, April 28, 2021 4:11 PM
To: cd
Subject: Proposed Development of Lot 30 at Aspen Ridge

April 28, 2021

Dear Members of the Design Review Board,

Thank you for reviewing input for the Aspen Ridge Lot 30 proposal and considering the concerns of the community and nearby neighbors.

As family member/owner at Aspen Ridge for over 30 years, we are very concerned about the most recent plan to expand the previously planned density for the project at Lot 30 of Aspen Ridge to 19 units.

The previous plan for 11 units on Lot 30 seemed excessively dense, but manageable if well designed and if vehicular access to most units were from Mountain Village Boulevard.

The most recent plan of 19 units is beyond a reasonable density proposal. It would consume nearly every available buildable square foot of the lot. The sheer volume of building and hardscape proposed leaves very little open space or nature and would not be in line with the Aspen Ridge or Mountain Village objectives and setting. It would also increase the vehicular use and traffic beyond a reasonable usage.

The proposal to have the only vehicular access for the new development from Aspen Ridge Drive is also concerning as the existing roadway is often used by residents to walk from their homes to Mountain Village. Placing access, even for a 11-unit complex, on the Drive will be an increased safety hazard.

In conclusion, we firmly oppose the plan being reviewed by the Design Review Board and urge to DRB to reject the increased density aspect of this proposal.

All the best,

Cynthia Warner

Cynthia Warner, 718 Olinda Road, Makawao, HI 96768, cindy@cindywarner.com

(Family member of Bill & Joan Warner, owner at Aspen Ridge Unit 25C)

Cynthia Warner
cindy@cindywarner.com

John A. Miller

From: Jennie <jandjdaley@aol.com>
Sent: Thursday, April 29, 2021 4:07 PM
To: cd
Cc: rtimdurham@gmail.com
Subject: Lot 30 objection

We are long time owners at Aspen Ridge and strongly object to any increase in density (currently 9+2...16+3 requested) by the developer. Further, by reason of location, we request that height be limited to 48 feet, inclusive.

We believe that the enjoyment of our property will be severely curtailed if the current Lot 30 proposal is approved. **We request that no waivers or variances be granted.**

Sincerely,
Jennie and Jim Daley

John A. Miller

From: jerrystrickert <jerrystrickert@verizon.net>
Sent: Thursday, April 29, 2021 4:21 PM
To: Jennie; cd; jerrystrickert@verizon.net
Cc: rtimdurham@gmail.com
Subject: RE: Lot 30 objection

As long time owners at Aspen Ridge, we agree with everything stated in following message from Jim and Jennie Daley and would like to register your objections to any waivers or variances.

Jerry and Donald Strickert

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: Jennie <jandjdaley@aol.com>
Date: 4/29/21 5:06 PM (GMT-06:00)
To: cd@mtnvillage.org
Cc: rtimdurham@gmail.com
Subject: Lot 30 objection

We are long time owners at Aspen Ridge and strongly object to any increase in density (currently 9+2...16+3 requested) by the developer. Further, by reason of location, we request that height be limited to 48 feet, inclusive.

We believe that the enjoyment of our property will be severely curtailed if the current Lot 30 proposal is approved. **We request that no waivers or variances be granted.**

Sincerely,
Jennie and Jim Daley



SOLOMON LAW FIRM, P.C.

227 WEST PACIFIC AVENUE, SUITE A (REQUIRED FOR FEDEX)

PO BOX 1748 (REQUIRED FOR ALL U.S. MAIL)

JOSEPH A. SOLOMON, ESQ. TELLURIDE, COLORADO 81435

ATTORNEY AT LAW

E-MAIL: JSOLOMON@MONTROSE.NET

TEL (970) 728-8655

CELL (970) 729-2225

FAX (775) 703-9582

April 29, 2021

Town of Mountain Village Design Review Board
c/o Michelle Haynes, MPA
Planning and Development Services Director
Housing Director
Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, Colorado 81435

Re: Lot 30 Development Application / May 6, 2021 DRB Hearing

Dear Members of the DRB:

I represent Sandra and Van Gilbert, owners of Granita Unit 303. The purpose of this letter is to comment on the above matter.

Density

Lot 30 is currently has assigned density of nine (9) Condominium Units and two (2) Employee Apartments. The applicant is seeking to increase development density and develop a project that will contain sixteen (16) Condominium Units and three (3) Employee Condominium Units.

Mountain Village Comprehensive Plan

The Mountain Village Comprehensive Plan, as amended by the Resolution dated February 15, 2018, targets Lot 30 and adjacent open space (collectively referred to as "Parcel M") for a high density hotel.

The current Lot 30 owner is not applying to construct a hotel on Parcel M. Rather, the owner is merely seeking to construct nearly double the Condominium Units designated for Lot 30.

There is no justification for this increased density. This increased density results in walling out adjacent properties.

Town of Mountain Village Town Council
April 29, 2021
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Visuals

Enclosed are the following visuals:

1. Overhead view as provided by the Lot 30 owner/applicant. The single monolithic mass is not consistent with adjacent Aspen Ridge development.
2. Overhead view showing development according to current entitlements. The development should break up massing with buildings consistent with adjacent Aspen Ridge development.

October 15, 2020 Town Council Worksession

The applicant presented a very similar proposal at the October 15, 2020 Town Council Worksession. The Town Council responded that the project was too massive. However, again, the current application is substantially similar to the prior proposal.

Conclusion

Thank you for your consideration of these comments.

Sincerely,

A handwritten signature in black ink, appearing to read "Joseph A. Solomon", written over a horizontal line.

Joseph A. Solomon, Esq.

Encs.
Two Visuals

cc: Sandra & Van Gilbert
Ken Alexander

1. Overhead view as proposed by the applicant

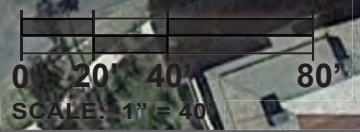


The single monolithic mass is not consistent with the adjacent Aspen Ridge development.

2. Overhead view
per current entitlements



Break up massing with buildings
consistent with adjacent Aspen
Ridge development



John A. Miller

From: Sandy Whitney <swhitney@taosnet.com>
Sent: Thursday, April 29, 2021 12:14 PM
To: cd
Subject: AR lot 30 Plan

Hi Mountain Village Planning Department,

We have recently caught wind about the proposed development of AR lot 30. We are partial owners of unit 25 AR, and bought in when they were first under construction, about 30 years ago. We have appreciated the skillful and articulate planning that has gone into the development of AR and Mountain Village over the last 30 years. Amazing! There is a sense of peace, calmness and order when visiting.

Reading about the proposed increase in zone density, and then about the building of a community center is quite disturbing. We have known that lot 30 would be developed, but anticipated development would be in line with the current state, which would be tolerable, and understandable. The increased zoning though, along with the development of a community center/pool/spa/lockers is out of line with what Aspen Ridge is all about. Looking at the architectural drawings, it looks more like a shopping center in the suburbs of Denver. The increase in people density, traffic, noise, parking would also make me think I was in a busy suburban setting.

Please, please, please consider how this proposed increased zoning density, and the Community Center will impact the current state of AR and Mountain Village. And please, reject this proposal based on basic principles. The beauty of the area will change forever if this goes through, all for the sake of MONEY in the pocket of a developer.

Sincerely,
Sandra & John Whitney

John A. Miller

From: Bill J Warner <billjwarner@gmail.com>
Sent: Thursday, April 29, 2021 11:02 AM
To: cd
Subject: Fwd: Proposed Development of Lot 30 Aspen Ridge

Subject: Proposed Development of Lot 30 Aspen Ridge

Mountain Village Planning Department:

A little history first. We bought into Unit 25 AR when the building was under construction in the 1980's. This was the first building constructed in Aspen Ridge and adjoins Lot 30. Another interesting fact is that we were the first occupants in Aspen Ridge.

We have enjoyed our 30 years at AR. But now we are quite dismayed to learn the owner of Lot 30 wants to increase the permitted 11 units to a proposed 19 units on .6 acre.

The density does not fit our AR community in any sense. Our AR is quite spacious. It is peaceful and quiet.

The proposal includes using AR Drive as access to the development. This is not good at all. At present AR occupants use this access as a quiet walking area to access the Village center and Sunset Plaza. This would become a hazardous excursion to the Village. The original 11 unit zoning would keep the safety aspect more in line with the current situation.

Mountain Village has developed mostly into a beautiful, well-planned resort area. The 19 proposed units will be a detraction from Mountain Village as it is now. And the negative part of this is the inclusion of a Community Center which includes a spa and pool. This is way too much for the AR community.

Please consider this proposal carefully. We urge you to reject this proposal of increasing the density to 19 units, and to reject the building of the Community Center.

Sincerely,

Bill & Joan Warner

John A. Miller

From: Peter Capobianco <petercapo@hotmail.com>
Sent: Friday, April 30, 2021 9:51 AM
To: cd
Subject: Lot 30 Application

Dear members of the Mountain Village Design Review Board

My wife and I have been residents of Aspen Ridge for 15 years . Having reviewed the current proposal for the Lot 30 development we are extremely disturbed by its potentially adverse consequences and would like you to consider our strong opposition to this submission .

In considering the dimensions , elevation, and location of Lot 30 as an abutter to Aspen Ridge we believe the density and high-rise nature of this proposal will have an extremely detrimental effect on the quality of life of the Aspen Ridge community. Aspen Ridge is a well laid out , low density development , not located within the central core of the Town. It should not be negatively impacted by a proposal better suited for that environment. The applicant's inaccurate description of this obtrusive Lot 30 project as a visual "gateway" is outrageous.

Additionally, we would like you to consider in your review that existing access is limited to a narrow singular road already frequented by the vehicular and pedestrian traffic of Aspen Ridge and Tramontana residents and its service providers. Having this access absorb the traffic impacts of the already approved density of 11 units will be challenging enough . To propose increasing this density by 73% is simply misguided. The traffic , noise , parking , required services and the like for a development of this scale will be overwhelming to the Aspen Ridge community . The imposition of an oversized development such as this will unjustifiably infringe on the quiet enjoyment rights of its residents.

Existing market conditions for housing demand in Mountain Village already assure the developer of a viable economic project under the current Lot 30 zoning approvals. The proposal being reviewed is simply an additional " density money grab " at the expense of the adverse consequences of its neighbors.

We respectfully request that the Board protect the interests of the longstanding residents of Aspen Ridge and deny this application in its present form .

Kind regards

Peter Capobianco
Aspen Ridge Unit 24

John A. Miller

From: Glynias, Joe <Joe.Glynias@huschblackwell.com>
Sent: Friday, April 30, 2021 12:41 PM
To: cd
Cc: whitneyglynias@hotmail.com; rtimdurham@gmail.com
Subject: Lot 30 Objection -- Aspen Ridge
Attachments: Presentation Development Lot 30 Mountain Village.pdf

Hello – we are owners on Aspen Ridge, and we wanted to reach out with our concern regarding the project proposed in the attached. In short, we are strongly opposed to this development.

My family and I have been coming out to Telluride since 2013, and always on Aspen Ridge. To say that we fell in love with Telluride and Aspen Ridge would be an injustice to what it has come to mean to us. The ease of access to MV, Meadows, the Gondola, and so many other activities are obvious, but the neighborhood feel is what made us want to be owners on the street. Last year, that became a reality and our six visits over twelve months became our pandemic refuge for my four young children. The comfort of knowing that they could simply walk into or back from the village while my wife and I relaxed at the house or listened to music in Heritage Plaza—without concern for traffic or their safety along the way—is something that makes Aspen Ridge uniquely a part of our life together. We relish having a house in a neighborhood, and we specifically did not want a unit amongst many others.

We understand that this plot has always been zoned for multi-dwelling use, and so some amount of increased population is to be expected, but the expanded application in this proposed development goes well beyond what we would like to see on our street. We are very concerned about the increased congestion on our small street, and the impact it will have on our neighborhood feel. Please consider this to be our formal objection to the proposed development, and we request that no waivers or variances be granted.

I do not believe I misunderstand the development being proposed, as I have studied carefully, but please feel free to contact me if you believe that is the case.

Thanks,
Joe and Whitney Glynias

Josef S. Glynias
Partner

HUSCH BLACKWELL LLP
190 Carondelet Plaza, Suite 600
St. Louis, MO 63105-3433
Direct: 314.345.6208
Fax: 314.480.1505
Joe.Glynias@huschblackwell.com
huschblackwell.com
[View Bio](#) | [View VCard](#)

Husch Blackwell Covid-19 Toolkit

Husch Blackwell has launched a COVID-19 response team providing insight to businesses as they address challenges related to the coronavirus outbreak. Content and programming to assist clients across multiple areas of operations can be found on our website via our [Coronavirus toolkit](#).

April 30, 2021

Town of Mountain Village Design Review Board
c/o Michelle Haynes, MPA
Planning and Development Services Director / Housing Director
Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, CO 81435

Re: Lot 30 Development Application

Dear Members of the DRB:

As parties directly impacted by the density increase proposed for Lot 30 and as two of the multitudes of people who are in awe of Mountain Village's spectacular setting, I respectfully submit these comments on the above matter.

Looking upwards from ground level to the red ties in the trees, the magnitude of the building mass is not readily apparent. From the balcony of our third-floor unit in the Granita Building the magnitude of the proposed building is apparent. The proposed structure(s) are not in keeping with the adjacent Aspen Ridge development.

Attached are two visuals illustrating how the higher density, 19-unit, condominium impacts its immediate surroundings.

Visual 1 is the mock-up of the condominium on the site using the developers photo taken with my permission from Granita 303's balcony. Taken during fire season the photo shows no views.

Visual 2 is a photo of the condominium site taken from Granita 303's balcony on a clear day, showing the view to the west and north. Using the bare trees and distinctive crooked tree limbs shown in Visual 1, I marked up the clear-day photo to mimic the building outline.

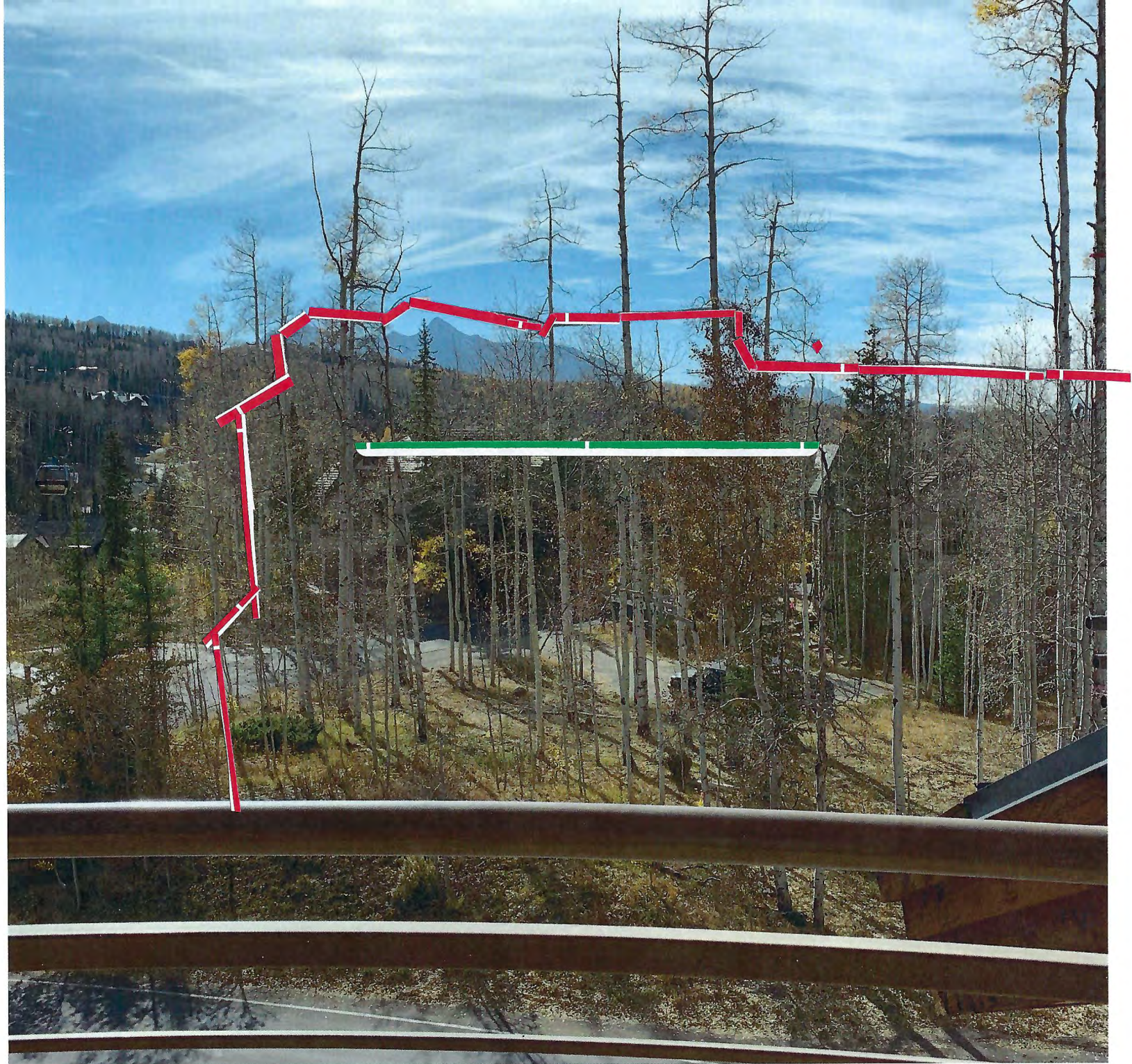
The **red outline** shows the condominium building rising above the distant horizon directly to the west and north, blocking every view.

The **green outline** marks the roof line of Aspen Ridge structures and shows how the proposed condominium building will loom over the long-standing Aspen Ridge development.

Is a developer entitled to drastically alter every visitors experience of the unique visual setting as one traverses Mountain Village Boulevard, diminish the sense of a pedestrian environment, and eliminate access to views and sunsets? The Lot 30 current density allows development of the site in keeping with the aesthetic values of the community and with respect for an appropriate building mass on Lot 30's limited size. With the Town Council's decision to authorize a review of the Comprehensive Plan for development decisions going forward, it seems prudent to place a moratorium on decisions until the review is completed.

Best regards,
Van and Sandra Gilbert





John A. Miller

From: Bohdan Iwanetz <biwanetz@sbcglobal.net>
Sent: Friday, April 30, 2021 1:14 PM
To: cd
Cc: Mike Rutledge; Dr, Tony Howard; Tim Durham; Phillip Gruszka; Bohdan A Iwanetz; Julie REZNICEK; Jack Ellis; Josie Howser; Rick Klopccic; Thomas West
Subject: Additional problem with Lot 30 proposal Discovered, water discharge hazard & possible damage!

Mountain Village Design Review Board

Addition to the prior objections by Bo & Larissa Iwanetz to the LOT 30 development.

This is the discovery concerning drainage of collected Water from the Car turn-around and driveway directly onto OS-1A-R3 (ski-out access for Aspen Ridge 1 HOA) east of unit 27 and through the West wall of the development via a 12 inch pipe

This is described on DRB Grading Plan sheet 2 of 3 prepared by Alpine Land Consulting, LLC in the Avventura Packet. (this is page 189 of the 238 page 1st meeting package) it is noted at North end of the Planter wall "12 inch flared end section or culvert outlet in wall"

This would discharge on a surface that would ice up in the winter, and erode the path as well as discharge possible against the foundation and crawlspace of the 4-plex specifically my unit 27.

I need a clear explanation why this is allowed and cannot be discharge to a different area that would be wider and not so dangerous and possible damaging to the communities ski out access and neighboring structures.

Bohdan A. Iwanetz owner of Aspe Ridge 1 unit #27.

Sunday, May 2, 2021

Via email: CD@mtnvillage.org

Mountain Village Planning and Development Services
455 Mountain Village Boulevard, Suite A
Mountain Village, Colorado 81435

Re: Lot 30 Development Comments

Dear Mountain Village Design Board:

As the owner of a property within 400 feet of the proposed development of lot 30, I am submitting my comments and concerns regarding the development. I am opposed to the change in density and the development as currently submitted.

My wife, Joanne, and I are the owners of condominium number 204 in the Granita Building. We do not rent out the condominium and occupy the unit periodically throughout the year. Our condominium is on the second level of the building with a southwest exposure – right toward lot 30

Our concerns are summarized with the following three points:

1. The zoning of lot 30 at the time of our purchase of the condominium was a salient factor in our purchase decision. We depended on the Village Comprehensive Plan, the Design review board, and the Town Council to help protect our interests (i.e., views, noise, density). Rezoning or “transferring” density flies in the face of the spirit of zoning and undermines our interests.
2. The density and the height of the development with no set back requirements will create a “canyon” effect similar to the area of Mountain Village Boulevard, north of the Madeline Hotel.
3. The proposed development of Lot 30 as submitted by Zehern and Associates will significantly decrease the property value of our condominium unit as well as the values of the other Granita condominiums.

We take no exception to the proposed Lot 30 limited commercial space or (2) employee units of density.

Zoning

We purchased our condominium 3 years ago. Working with our realtor, we confirmed at that time that Lot 30 was zoned for up to nine condominium units and two employee units. That seemed reasonable. Our expectation was that, if the lot had to be developed, that the

Page 2

Via email: CD@mtnvillage.org

Mountain Village Planning and Development Services

455 Mountain Village Boulevard, Suite A

Mountain Village, Colorado 81435

Re: Lot 30 Development Comments

May 2, 2021

condominium units would be similar in density and appearance to the adjacent Aspen Ridge units. The Aspen Ridge units have an acceptable height, density, and setback.

Our understanding of zoning is that it is to provide a comprehensive pattern of growth and development while protecting the values of the current property owners. Wikipedia states "*These (zoning) guidelines are set in order to guide urban growth and development.*" There is an implicit expectation of some permanency and reliability of the zoning process.

I am sure that Adventura, LLC was well aware of the zoning when they purchased the property. To change the parameters of the zoning to try and make their development financially sound is not the problem of the Mountain Village Development Board or the owners of the Granita Building.

In addition, the whole concept of "trading" density units contradicts the zoning principal. The "trade" allows higher density where the higher density was never planned (or, in this case, desired).

Our opinion is that the Village Development Board and Town council owes a responsibility to the Citizens of Mountain Village to respect the original intent of the current zoning.

Canyon Effect:

One can walk down the street or the sidewalk of Mountain Village Boulevard north of the Madeline Hotel at most times be walking in shadows. The area is lifeless with little activity. We have heard residents call it the "dead zone" as the adjacent buildings tower above, with little sunlight. There are virtually no building setbacks or activity in this area(except for the delivery trucks!). The sounds of the cars and trucks reverberate between the buildings with no dampening.

If the development of lot 30 proceeds as designed, the space between the Granita building and the Lot 30 development will likely have a similar feel (except our balconies and windows will open to the space). This configuration of high buildings with no or little setback is not desirable and decreases our property values and our quality of life.

Property Values:

This concern is certainly related to the first two concerns. If the development of lot 30 proceeds as Zehren and Associates have proposed, the values of the condominiums in Granita

Page 3

Via email: CD@mtnvillage.org

Mountain Village Planning and Development Services

455 Mountain Village Boulevard, Suite A

Mountain Village, Colorado 81435

Re: Lot 30 Development Comments

May 2, 2021

will certainly decrease. Several long-term owners sold their condominiums after the Lot 30 proposal was submitted.

If the Lot 30 development proceeds as submitted, then Zehren and Associates owes all of the Granita owners with west, and southwest exposures compensation for the decrease in their property values.

But, then again, isn't that what zoning is supposed to prevent?

A handwritten signature in blue ink that reads "Sam Patton". The signature is written in a cursive, flowing style.

Sam Patton, P.E.

The Granita Building

560 Mountain Village Boulevard, #204

Mountain Village, Colorado 81435

SPatton@ EnviroDesign.biz

512-633-5396

John A. Miller

From: Herman KLEMICK <hklemick@hotmail.com>
Sent: Sunday, May 2, 2021 6:59 AM
To: cd
Cc: John A. Miller; timl@zehren.com; lcalaiamd@gmail.com
Subject: Lot 30 Development

We are the owners of Aspen Ridge #23. We oppose the proposed increase in density and the development of lot 30. The increase in density will negatively impact the owners of Aspen Ridge and traffic on Mountain Village Blvd. Was there an independent traffic study on the impact of the development on Aspen Ridge and MV Blvd? If so please send it to us. The long construction will also negatively impact the owners of Aspen Ridge. Where is the proposed staging area for the construction? Where are the workers and construction vehicle supposed to park? Who will make the repairs to the Aspen Ridge road during and after construction? Please provide us with a rendering of the proposed project. I see absolutely no benefit to Aspen Ridge owners or the traffic on MVBlvd. Once again we strongly oppose the increase in density and the development. Herman and Diane Klemick

Sent from my iPad

John A. Miller

From: Michelle Haynes
Sent: Monday, May 3, 2021 9:38 AM
To: John A. Miller
Subject: FW: Lot 30 development objections - public comment

From: yvette rauff <yvette.rauff@gmail.com>
Sent: Monday, May 3, 2021 9:39 AM
To: Michelle Haynes <MHaynes@mtnvillage.org>
Subject: Lot 30 development objections

Hello Michelle,

I'm not sure if you are the correct person for me to send my objections to regarding the proposed Lot 30 development.....if not, please let me know where I should send this.

I reviewed the proposed development plans and have several objections to the magnitude of the mass of the building and what effect that will have on the quality of the "neighborhood" for current owners in the Granita Building and Aspen Ridge, as well as all of us who call Mountain Village home. Regarding the request for an increase to the density: I see no reason for approving such an increase. The addition of one additional employee housing unit does not justify the increase in my opinion.

In fact, when the developer brought his proposed plans to the owners of Granita units last fall, I, and others, strenuously objected to them then.

I believe that the review of the Comprehensive Plan for development that is in motion will reveal that the majority of the residents of Mountain Village are concerned with overdevelopment and the very real risk to subsequently diminishing of the qualities that make this place so special for residents and guests alike.

Sincerely,
Yvette Rauff
133 Lost Creek Lane #3
Mountain Village

John A. Miller

From: Howard Dixon <hrdixon@yahoo.com>
Sent: Tuesday, May 4, 2021 11:49 AM
To: cd
Subject: Lot 30 development project

Hello,

This is Howard and Donna Dixon. We are owners in Unit 1D of Aspen Ridge Townhouses. We are original owners in this portion of Aspen Ridge Townhouses, purchasing our unit in 1992, when the construction was complete. Our two unit (#1 & 2) attached buildings were in the second phase of the AR project, after the first phase of the project of four units to the north, closer to the ski hill by chair one.

My understanding is that there are four main aspects that are a concern to us in Unit 1 and adjacent Unit 2.

We agree with Tony Howard and our other owners that these are important issues.

1. The driveway into and out of Lot 30 should be redirected as to change the direction of the cars coming out of the complex so we don't have them heading directly toward our unit. This would be of most concern at night to reduce headlight exposure into our unit. We would sincerely request this change of exit direction.
2. Should place the dumpster shack in a position that it is not an eyesore to the neighborhood. Hopefully it can be landscaped to block its view from the street, and our units.
3. We would appreciate that the access to Run #1, along the property line to the west of Lot #30 lotline be kept open for the skiers that use that route to access Run #1. It might also be a route that your owners in Lot #30 might find a benefit to also access the route to Run #1.
4. Most importantly, we firmly object to the increase in density from the original 11 units to 19 units on this 0.6 acre parcel, that was originally approved.

Best regards,
Howard and Donna Dixon
AR Unit 1D

John A. Miller

From: Ken <ken@architectstelluride.com>
Sent: Tuesday, May 4, 2021 3:01 PM
To: Michelle Haynes
Cc: John A. Miller
Subject: Fwd: LOT 30

Michelle and John, please review the attached letter and I would like to speak at the meeting.

Thanks,
Ken Alexander
Founder Architects Collaborative
"Amazing Spaces. Magnificent Places."
ken@architectstelluride.com
970.708.1076
P.O. Box 3954 Telluride 81435

ARCHITECTE
COLL

Begin forwarded message:

From: Ken Alexander <ken@architectstelluride.com>
Subject: LOT 30
Date: May 4, 2021 at 11:17:20 AM MDT
To: Solomon & Solomon <solomon@montrose.net>
Cc: Sandra <svgnm@comcast.net>, <VGilbet@vharchitect.com>

Town of Mountain Village Design Review Board
c/o Michelle Haynes, MPA
Planning and Development Services Director
Housing Director
Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, Colorado 81435

Re: Lot 30 Development Application

Dear Members of the DRB,

I have been asked by the owners of Granita to write this letter on their behalf.

As I'm sure you are aware the current CDC is under review by a private consultant. Certainly an important project such as this will be affected by the revisions. My interpretation as an Architect who has worked on numerous multifamily and hotel projects such as; the Inn at Lost Creek, See Forever and the Lorian Condominiums is that Hotel projects are problematic.

The occupancy numbers for a hotel in Telluride are difficult with the off season fluctuations. Finding a brand name operator is a problem for this reason. I have always said a hotel needs to have a developer/owner with deep pockets who will build it and then hire the hotel to manage it. A risky business and one that has caused numerous changes in ownership at the Peaks and Madeline for example. The latest Four Seasons hotel has 2 developers collaborating probably for much the same reason.

Most likely this project is not proposing a hotel because of that. So then what do we allow instead? Only the current density? The desire for more "Hot beds" is still good planning. But how do we achieve this and aid developers in designing a project that is successful? If I am not mistaken, that is the reason to allow a density increase.

Economics dictate a smaller more affordable unit is more likely to rent. Currently density is appropriated in a manner to allow more smaller units. Simply allowing a developer a density increase without addressing the short term rental "hot bed" issue is a mistake. What is the public benefit?

To address the massing of the building we have the "average maximum height". This is meant to reduce the scale to adjacent properties, street frontage and to maintain view corridors. I would ask the applicant to respect the neighbors input and ask the DRB to insure this is done properly. While not required, story poles have been used in the past to insure view corridors are preserved.

In conclusion I would ask the DRB and the Planning Board to review closely the increase in density to insure a public benefit. Hotels have operated on a sale of a number of units with some held in ownership to insure rental. Then offered HOA dues reductions for privately owned units who rent for example.

More importantly I would ask the DRB to assure that the maximum average height maintain my clients view corridors.

Thank you,

Ken Alexander
Founder Architects Collaborative
"Amazing Spaces. Magnificent Places."
ken@architectstelluride.com
970.708.1076
P.O. Box 3954 Telluride 81435

ARCHITECTS
COLLABORATIVE

May 1, 2021

To the PRB and City Council of Mountain Village:

This is a response to the request of Avventura, LLC detailed in the notice dated April 3, 2021 for plan approval for the new construction development of Lot 30, Mountain Village. These comments are made from review of the notice to surrounding property owners and available drawings and plans from September 24, 2020.

While we respect the rights of property owners to develop and build structures on their property, we as owners of the Aspen Ridge Condominium Buildings #1 and #2 have the following objections to the planned development:

1—The density requirements of Mountain Village exist in part to help protect existing property owners and users from the burden of overreaching reasonable limits of new adjacent developments. Because this planned development requires a special approval of an increase in housing unit density which will support up to 57 persons on a 0.6 acre lot, and more than 25 vehicles which would enter and exit on the small side road adjacent to it (Aspen Ridge Drive), we respectfully object to the request of the city administration to approve the increase in density. This density increase will impact noise, traffic, and pedestrian safety in this area in the area surrounding lot 30.

2—The plans noted above indicate that the only entrance and exit drive into this large structure will apparently be located at the current easement for a driveway entrance well west of Mountain Village Blvd onto Aspen Ridge Drive. This driveway, as noted on the plans, opens/empties in close proximity to the NE end of our building which contains Aspen Ridge units 1 and 2. We feel that this is an unwelcome and unnecessary inconvenience to us as existing property owners and will have a significant impact on the enjoyment and value of our property. Automobiles entering and leaving this sole vehicle access to the development will increase:

a- noise-- with automobiles starting and stopping directly across from our building to enter the gate and turn into and out of the building.

b-light—headlights at night will potentially shine directly onto our bedroom windows as they exit the building.

c-exhaust and vehicle odors which will enter open bedroom windows of each of our units on two floors facing the proposed driveway during the summer months.

d—these also have a likelihood of impacting the privacy and enjoyment of the outdoor hot tub east of Aspen Ridge #1.

3—The proposed 225 sq ft trash receptacle area, which is the only common trash receptacle indicated for the proposed development in the notice, is stated to be planned adjacent to the driveway. The noise and odors resulting from expected use of this receptacle have a potential impact on the enjoyable use of our property.

Regarding #'s 2 and 3 above, we would propose that an entry to the proposed development from Mountain Village Blvd. would be much more practical and have less impact on our condominium complex.

As current property owners, we very much appreciate your consideration of our objection to the increase in density and the development plan proposal as written. Thank you very much for taking the time to review our requests.

Sincerely,

Charles and Lisa Howard

Linda Maclachlan

Claire Polstein/Paul Rudnick

Jack Ellis

Howard and Donna Dixon

John A. Miller

From: John Tarbox <jtarbox@aol.com>
Sent: Thursday, May 6, 2021 8:51 AM
To: cd; John A. Miller
Cc: Thomas West
Subject: Objections to Proposed Development of Lot 30, Town of Mountain Village

I wish to speak at the Design Review Board hearing this morning at 10:00 am
My comments will address the following objections.

Thank you,
John Tarbox

Objections to Proposed Development
of
Lot 30, Town of Mountain Village

From John Tarbox, attorney for Thomas West, owner of several units in Aspen Ridge

We strenuously object to the proposed development and ask that the Design Review Board (DRB) deny the proposed development and in particular deny the requested density transfer, the requested rezoning and all requested variances.

The proposed development is far too dense, uses too much impervious cover, is too tall, is not compatible with the adjoining properties, and fails to use proper setbacks, graduated heights and other appropriate design features.

The applicant developed the Tramontana project so it is clear he knows how to build a nice project. Lot 30 should be developed similarly to its neighbors Aspen Ridge or Tramontana. Both properties meet the basic principles of urban planning mentioned above.

The existing density of 9 condominiums + 2 employee condominiums is the most that should be allowed on Lot 30. Even that figure is quite dense, but since it is currently approved, we are not objecting to it. That density permits adherence to the basic design principles.

Use of a zero lot line, with no building setbacks, is not appropriate for Lot 30. This property is not in the Village Center, and this feature is wildly inappropriate for the neighbors and the surrounding open space. The harsh impact of no building setbacks is made worse by the lack of graduated height maximums, and a 53 foot height, imposing what amounts to a giant wall right on top of the neighbors and the open space. None of this is compatible with the neighboring vegetative environment, wildlife, recreation or views of the open space, or the use, enjoyment and property values of the neighbors at Aspen Ridge and at other neighboring properties.

Instead, Lot 30 should be developed with appropriate setbacks, graduated height maximums, and overall height above grade no greater than the neighboring properties at Aspen Ridge and Tramontana.

The primary characteristics of Telluride and Mountain Village are the incredible beauty and views. This project destroys both and is inconsistent with the very nature of Mountain Village and the Mountain Village Comprehensive Plan. This project fails to meet several of the 8 key land-use values of the Comprehensive Plan:

- 1) it fails to preserve open space lands, “expansive views” and the “unparalleled visual experience”,
- 2) it imposes upon the “Recreational Backbone” of Mountain Village, lessening the recreational experience,
- 3) it fails in “Alpine Character Preservation“, opting instead for a dense urban feel, which is not appropriate in this location,
- 7) the “Gateways” value refers to “protecting public viewsheds“ and the natural corridor surrounding Mountain Village Boulevard. This project fails in this regard and destroys many existing view corridors, which should be preserved to the greatest extent possible,
- 8) The value for “Appropriateness and Fit of Land Uses” states that “uses should fit into the surrounding neighborhood to ensure appropriate scale and context to their surrounding natural and built environments”. This project badly fails to meet this value.

The proposal refers to its adjacency to the Village Center to justify its dense urban design. The fact is that the project is NOT in the Village Center and this design is not appropriate or compatible with the surrounding land uses.

Beyond the general design, several particular details are objectionable:

- a) The northwest corner of the project is way too far forward and destroys a significant portion of the views of Aspen Ridge Building 27.
- b) Locating the pool and amenities in the northwest corner puts significant noise and light pollution right on top of Aspen Ridge Building 27.
- c) The stormwater for the entire project dumps onto Aspen Ridge creating significant drainage, flooding, erosion and other problems. This must be addressed.
- d) No stormwater detention is provided. Both detention for flood and erosion control, and water quality, must be provided.
- e) The structural planter wall along the west property line amounts to an unsightly wall, right on top of existing residences and must be redesigned.
- f) The project has only 525 ft.² of formal landscaping, which is only 2% of the 0.6 acre project. It appears that the remaining 98% of the project is impervious cover, which is wildly inappropriate.
- g) The trash enclosure should be required to be far away from the Aspen Ridge property line.

Approving these proposals would not only be inappropriate, but would significantly harm property values, especially for Aspen Ridge Building 27, and would be a governmental action that amounts to a taking without compensation. We ask you to reject the proposed development and in particular deny the requested density transfer, rezoning and all variances and send the applicant back to the drawing board to design a more appropriate project.

Thank you for your time and consideration.

LAW OFFICES OF

JOHN E. TARBOX

ATTORNEYS AND COUNSELORS AT LAW

248 ADDIE ROY ROAD, SUITE A-201

AUSTIN, TEXAS 78746

512 / 913 - 9888 (TEL)

512 / 532 - 6305 (FAX)

John A. Miller

From: Thomas West <trinity.exp1@yahoo.com>
Sent: Thursday, May 6, 2021 9:08 AM
To: John A. Miller
Subject: Re: Zoom Call for Lot 30 Development

Here are the written comments that I will be discussing today before the board:

Good morning,

I appreciate the opportunity and the time to address the Design Review Board regarding the proposed Lot 30 development.

With the past month, my family invested in Aspen Ridge Unit 27, immediately adjacent to the proposed development. I just within the last week became aware of the proposed density increase. I know little about many of the issues regarding zoning within the township of Mountain Village though I am beginning to learn about many of terms including transfer of density and density banks and BuildingFootprint Lot.

I am here today to oppose the increased density as it will diminish the property value of my investment and I believe the investment of the other property owners in Aspen Ridge. The now beautiful Aspen Ridge drive will be overshadowed by a high wall of masonry and stone extending as much as 4 stories high near all property lines.

The concept of a TF lot or Building Footprint Lot with the approval of building of structures to the lot line may have application and look appropriate in certain situations, I do not believe, this is a situation where it is appropriate or beneficial to the neighboring properties or the township of Mountain Village. Though I understand that Lot 30 may be designated as part of the core, it is not in the core in practicality, and building to the lot lines with no green space allocated does not enhance the area nor adjacent properties. This is a 180 degree turn from the way the tasteful and beautiful Tramontana property was developed.

The shock I have felt from seeing the scope of the building density proposed, the lack of green space, the building heights proposed, the lack of building setbacks, and absence of green space cannot be overstated. With that being said, I have these questions:

1. What is the Connectivity with adjoining property owners designed into the project to enhance adjacent properties and blend into the existing development?

2. What alternative ingress and egress from the proposed development project have been considered? Possibly ingress and egress onto Mountain Village Boulevard?
3. The approval process of the new development should take into consideration a stepping down to similar heights as adjoining structures at Aspen Ridge? Or will it tower over existing buildings at Aspen Ridge casting its shadows and being a permanent eyesore for Aspen Ridge owners?
4. Landscaping plans between Aspen Ridge and the proposed development to soften and add beauty for the Aspen Ridge property owners seems grossly inadequate?
5. Has consideration been designed into the project for joint access to the ski slopes For Aspen Ridge property owners ? Does it consider and protect current access to the slopes for Aspen Ridge property owners?
6. Why does the pool need to be located at the corner of the property exposing the adjacent property owners to noise and light from the pool and activity at the pool? It is currently located in extremely close proximate to the balcony on Unit 27. Why not move the pool above the entrance to the project as was done at the Madeline away from adjacent property owners? Have the planners of the project done analysis of the sunlight on the pool per day on the current pool location? A quick check seemed to indicate that location would get as little as 30 minutes of sun a day which seems like a poor location for a swimming pool.
7. Will the entire portion of water and snow falling on the site be captured and dropped into dry wells and thus not be impacting adjacent property owners? I am not sure but I believe there is currently a storm drain that is pointed in the direction of Aspen Ridge development. I have not had time to confirm that but would be strongly opposed to that should it be the case.

This completes the questions and concerns I have at this time. I reiterate that I strongly believe that while the may this may make for a more profitable development and bring more beds to the core area, it does not enhance the existing street of Aspen Ridge Drive and will not be an improvement to the area property owners as proposed and will actually diminish our property values.

I strongly oppose the project as designed and ask that you send it back to come up with a plan that integrates and enhances the existing properties.

Thomas West

Sent from my iPad

On May 6, 2021, at 9:42 AM, John A. Miller <JohnMiller@mtnvillage.org> wrote:

Thank you Thomas for the heads up. When we get to the Lot 30 item, staff will present, then the applicant - and after that, the Chairman will open the floor for public comment.

Best,

J

John A Miller III
Senior Planner
Planning & Development Services
Town of Mountain Village
455 Mountain Village Blvd, Suite A
Mountain Village, CO 81435
O :: 970.369.8203
C :: 970.417.1789

For information about The Town of Mountain Village's response to COVID-19 (Coronavirus), please visit townofmountainvillage.com/coronavirus/

-----Original Message-----

From: Thomas West <trinity.exp1@yahoo.com>
Sent: Thursday, May 6, 2021 8:22 AM
To: cd <cd@mtnvillage.org>
Subject: Zoom Call for Lot 30 Development

Good morning, I would like to speak at the hearing at 10:00.

I am an owner in the adjacent property, Aspen Ridge condominiums.

Thomas West

Sent from my iPad

John A. Miller

From: Carie Corry <carie.corry@gmail.com>
Sent: Friday, May 7, 2021 6:39 AM
To: cd
Subject: Proposed development Lot 30

Please note that we vehemently oppose the proposed development of Lot 30. We have been telluride property owners for over 25 years and this plan is not acceptable, nor in line with the beauty of the Mountain Village. The footprint is too large and the density is much too high. Please oppose this project in the interest of all of us that are invested in Telluride as a beautiful mountain retreat. Thank you for your support in this matter.

Carie Warner Corry
Aspen Ridge

--

Carie Corry
678-262-8834

John A. Miller

From: Jack Ellis <jackellis803@comcast.net>
Sent: Thursday, May 6, 2021 2:13 PM
To: John A. Miller
Cc: Bo Iwanetz; Tim Durham; Tony Howard
Subject: Lot 30

Hello Mr. Miller,

I understand that I am too late to have the following comment entered as a part of the May 6 review. I have been out of town and for practical purposes unable to correspond with you until now. I hope my thoughts will be considered in any future decisions regarding the development of lot 30. I ask that you enter this message into the comments for this application. Any thing you can add to correct any of my assumptions will likewise be welcomed.

I am an owner of Unit #2 in Aspen Ridge I. I purchased this unit in 1992 with the verbal understanding from the developer, Mr. Huschke, that there was a 8 foot easement on the east side of the Aspen Ridge property adjoining Lot 30 that was to serve all the owners of Aspen Ridge I as a ski in-ski out access to the Meadows ski run. We have enjoyed this privilege for the past 30 years. Only recently have I discovered that apparently the 'TF' zoning designation for lot 30 meant 'total footprint,' meaning that building is permitted up to the lot line. (Additionally, it does not seem that construction to the lot line is appropriate adjacent to multi-family projects such as Aspen Ridge.) My concern is that due to slopes, contours and other natural, or newly man-made due to construction, effects this zoning designation may diminish or prevent the practical use of this 8 foot easement.

If you are a skier, you may appreciate that 8 feet, walled on both sides, is not a generously wide path in which to navigate. The path, or actual track, that has been historically used for those past 30 years is not a straight line and has some meanderings, or 'slaloms,' which in retrospect I infer are used to check one's speed or to avoid a natural obstacle. Without the ability to be on site and actually measure that 'natural path,' which has been rather constant over the years, I am quite confident that it exceeds 8 feet in width for a portion of its length, and I am sure that it encroaches slightly onto that 8 foot easement. I believe that the current zoning, will allow construction that will create a clear safety risk. To do so would seem to me to be irresponsible.

My concern is that construction may cause this easement to no longer be viable for the professed use as a "ski run." The "TF" designation may force the existing traditional path to be reoriented such that it encounters existing impediments, or that construction may cause new impediments, such as the drainage outflow correctly objected to by Mr. Iwanetz, will create dangerous icy sections of the path, or that slopes and contours may become too steep or narrow to allow safe transit even within the 8 foot width. Other construction effects, not yet envisioned may very well become "unintended consequences."

I request that the design be analyzed to determine if construction needs to extend to the lot line at this point of interface with Unit 27 of Aspen Ridge and a minimal setback be required. Alternatively and/or in addition, requirements be added to the building permit to assure that there be no impediments to the safe passage of skiers in the use of this easement.

Thank you for your consideration.

John R. (Jack) Ellis

Town of Mountain Village Design Review Board
c/o Michelle Haynes, MPA
Planning and Development Services Director
Housing Director Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, Colorado 81435

Re: Lot 30 Development Application

Dear Members of the Design Review Board:

I am commenting concerning the referenced application. My family owns multiple interests in Aspen Ridge Phase I.

We strongly oppose the increase in density for multiple reasons including the following:

- The application for increased density will result in a design that simply is too large for the 0.60-acre lot. The mass and zero lot line design will overwhelm the views, the beauty, and the overall aesthetics of Aspen Ridge and other adjacent properties. The application is proposing to increase density to a prorata density of 31.66 units per acre.
- The classic “footprint” lot seems to have been designed for the core and was thus surrounded by walking space that facilitates connectivity around the “footprint” lots that work together to create the core. We do not see any connectivity created by this building with such a large “closed-in” design. It seems rather that this zoning is better applied to lots surrounded by plaza space.
- Virtually 100% impervious cover is not without negative impact on the surrounding properties. Watershed and drainage issues, shadow casting, lack of room for greenspace and landscaping, lack of room for sidewalks are all extremely negative impacts for adjacent properties.
- Lack of connectivity with surrounding properties.

We have questions including the following that we would like answers to:

- Is this increased density and “footprint lot” designation make sense in this development application?
- Will a privacy wall be allowed to be put constructed on the property line to provide privacy and noise protection from loud gatherings of people in the club room and adjacent spaces? These spaces will be in very close proximity (14 feet) to the master bedroom and the balcony of Aspen Ridge #27.

We do not see that there is any merit to the increased density and designation as a footprint lot in Mountain Village. We believe that protection from this overbearing use of density transfers is in the best interests of all of Mountain Village property owners and visitors.

Currently, Aspen Ridge Drive including the Tramontana development is a beautiful and special location aesthetically, please do not change that by increasing the density of Lot 30 dramatically as requested.

In conclusion, thank you for your consideration of these comments.

Thomas and Ann West



SOLOMON LAW FIRM, P.C.

227 WEST PACIFIC AVENUE, SUITE A (REQUIRED FOR FEDEX)

PO BOX 1748 (REQUIRED FOR ALL U.S. MAIL)

JOSEPH A. SOLOMON, ESQ. TELLURIDE, COLORADO 81435

ATTORNEY AT LAW

E-MAIL: JSOLOMON@MONTROSE.NET

TEL (970) 728-8655

CELL (970) 729-2225

FAX (775) 703-9582

June 1, 2021

Town of Mountain Village Design Review Board
c/o Michelle Haynes, MPA
Planning and Development Services Director
Housing Director
Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, Colorado 81435

Re: Lot 30 Development Application

Dear Members of the DRB:

I represent Sandra and Van Gilbert, owners of Granita Unit 303. The purpose of this letter is to comment on the above matter.

October 15, 2020 Town Council Worksession

At the May 6, 2021 DRB hearing, the results of the Town Council Worksession were misrepresented to the DRB. Town staff stated that, at this Worksession, "Council kind of gave it the green light." That was not an accurate statement. In addition, a DRB member stated it was that member's understanding that Council endorsed the proposal. Again, that was not accurate. Rather, as explained in the letter submitted on behalf of the Gilberts on April 28, 2021:

October 15, 2020 Town Council Worksession

The applicant presented a very similar proposal at the October 15, 2020 Town Council Worksession. The Town Council responded that the project was too massive. However, again, the current application is substantially similar to the prior proposal.

Importantly, see the enclosed Transcript of 10/15/20 Town Council Worksession, Town Councilmembers Concluding Remarks. This discussion began at 03:32:20 of the Zoom recording.

It appears the Town should consider addressing its general Worksession procedures, being, ensuring the minutes reflect Council direction.

Density

Again, Lot 30 is currently has assigned density of nine (9) Condominium Units and two (2) Employee Apartments. The applicant is seeking to increase development density and develop a project that will contain sixteen (16) Condominium Units and three (3) Employee Condominium Units.

Mountain Village Comprehensive Plan

The Mountain Village Comprehensive Plan, as amended by the Resolution dated February 15, 2018, targets Lot 30 and adjacent open space (collectively referred to as “Parcel M”) for a high density hotel.

The current Lot 30 owner is not applying to construct a hotel on Parcel M. Rather, the owner is merely seeking to construct nearly double the Condominium Units designated for Lot 30.

There is no justification for this increased density. This increased density results in walling out adjacent properties.

Visuals

Enclosed are the following visuals, similar to those presented to Town Council in October 2020 and the same as provided to DRB prior to the May 6, 2021 DRB hearing:

1. Overhead view as provided by the Lot 30 owner/applicant. The single monolithic mass is not consistent with adjacent Aspen Ridge development.
2. Overhead view showing development according to current entitlements. The development should break up massing with buildings consistent with adjacent Aspen Ridge development.

Town of Mountain Village Town Council
June 1, 2021
Page 3

Conclusion

Thank you for your consideration of these comments.

Sincerely,

A handwritten signature in black ink, appearing to read "Joseph A. Solomon, Esq.", written over a horizontal line.

Joseph A. Solomon, Esq.

Encs.

Transcript of 10/15/20 Town Council Worksession / Council Concluding Remarks
Two Visuals

cc: Sandra & Van Gilbert
Ken Alexander

Transcript of Town Council Worksession

Continued Discussion Regarding a Development Proposal for Lot 30, to Develop
17 Condominium Density Units and 3 Employee Condominium Units

October 15, 2020

Town Councilmembers Concluding Remarks

Laila Benitez: I'm going to go ahead and close public comment and bring things back up to counsel. Is there any other feedback or any questions that you have to share with either Stephanie [Fanos] or the applicant.

Marty Prohaska: To make this productive what I seem to be hearing is that there are lingering concerns about the potential mass and scale of it specifically I would think from the perspective of Mountain Village Boulevard, and I agree if there were some changes to the design that would allow for a little bit more division of these large buildings, a little bit more space, that might be better received by neighbors.

Laila Benitez: Other feedback. I think I would echo Marty's comments. I am not in the design game, and I'm not going to try and propose anything specific, but I will say that a large mass if broken could have a completely different impact on how it's received in the neighborhood.

Patrick you are nodding your head.

Patrick Berry: I generally agree with what Marty just commented and your comments as well. There's some hesitation that I'm seeing on the sale the size and the public benefit, you know I appreciate the additions but does it fit the scope, I've got more research to do on that as well.

Laila Benitez: Let's just say I don't have an issue with height so much as just what Marty stated, the large expanse in one building.

If there's no other comments, I'm going to conclude this worksession.

1. Overhead view as proposed by the applicant

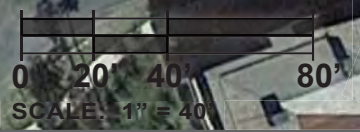


The single monolithic mass is not consistent with the adjacent Aspen Ridge development.

2. Overhead view
per current entitlements



Break up massing with buildings
consistent with adjacent Aspen
Ridge development



John A. Miller

From: JOHN TARBOX <jtarbox@aol.com>
Sent: Thursday, July 1, 2021 10:51 AM
To: John A. Miller; cd; Michelle Haynes
Cc: Thomas West
Subject: Re: Objections to Proposed Development of Lot 30, Town of Mountain Village

John and Michelle,

I understand the Design Review Board will be holding a hearing today regarding Lot 30 and I wish to offer the following comments and objections.

Thank you,

John Tarbox

Objections to Proposed Development

of

Lot 30, Town of Mountain Village

From John Tarbox, attorney for Thomas West, owner of several units in Aspen Ridge and two units in The Madeline.

As owner of units in the core and out of the core, we understand the stark difference between the two areas. Surely the developer of Lot 30 understands this stark difference as well, and the only reason we can think of to put a core design outside the core is simply to maximize revenue. That is not a sufficient reason to violate the aesthetics of Mountain Village. It is the duty of the DRB and the Town Council to preserve those aesthetics, and we ask you to do so by denying this application in its current form.

We strenuously object to the proposed development and ask that the Design Review Board (DRB) deny the proposed development and in particular deny the requested density transfer, the requested rezoning and all requested variances.

The proposed development is far too dense, uses too much impervious cover, is too tall, is not compatible with the adjoining properties, and fails to use proper setbacks, graduated heights and other appropriate design features.

The applicant developed the Tramontana project so it is clear he knows how to build a nice project. Lot 30 should be developed similarly to its neighbors Aspen Ridge or Tramontana. Both properties meet the basic principles of urban planning mentioned above.

The existing density of 9 condominiums + 2 employee condominiums is the most that should be allowed on Lot 30. At 18.33 units per acre, even that figure is quite dense, and significantly higher than Aspen Ridge next door, but since it is currently approved, we are not objecting to it. That density permits adherence to basic design principles. By comparison, the proposal is 31.66 units per acre which is far too dense and makes adherence to basic design principles impossible.

Use of a zero lot line, with no building setbacks, is not appropriate for Lot 30. This property is not in the Village Center, and this feature is wildly inappropriate for the neighbors and the surrounding open space. The harsh impact of no building setbacks is made worse by the lack of graduated height maximums, and a 53 foot height, imposing what amounts to a giant wall right on top of the neighbors and the open space. None of this is compatible with the neighboring vegetative environment, wildlife, recreation or views of the open space, or the use, enjoyment and property values of the neighbors at Aspen Ridge and at other neighboring properties.

Instead, Lot 30 should be developed with appropriate setbacks, graduated height maximums, and overall height above grade no greater than the neighboring properties at Aspen Ridge and Tramontana.

The primary characteristics of Telluride and Mountain Village are the incredible beauty and views. This project destroys both and is inconsistent with the very nature of Mountain Village and the Mountain Village Comprehensive Plan. This project fails to meet several of the 8 key land-use values of the Comprehensive Plan:

1) it fails to preserve open space lands, “expansive views” and the “unparalleled visual experience”,

2) it imposes upon the “Recreational Backbone” of Mountain Village, lessening the recreational experience,

3) it fails in “Alpine Character Preservation“, opting instead for a dense urban feel, which is not appropriate in this location,

7) the “Gateways” value refers to “protecting public viewsheds“ and the natural corridor surrounding Mountain Village Boulevard. This project fails in this regard and destroys many existing view corridors, which should be preserved to the greatest extent possible,

8) The value for “Appropriateness and Fit of Land Uses” states that “uses should fit into the surrounding neighborhood to ensure appropriate scale and context to their surrounding natural and built environments”. This project badly fails to meet this value.

The proposal refers to its adjacency to the Village Center to justify its dense urban design. The fact is that the project is NOT in the Village Center and this design is not appropriate or compatible with the surrounding land uses.

Beyond the general design, several particular details are objectionable:

- a. The northwest corner of the project is way too far forward and destroys a significant portion of the views of Aspen Ridge Building 27.
- b. The stormwater for the entire project dumps onto Aspen Ridge creating significant drainage, flooding, erosion and other problems. This must be addressed.

- d. No stormwater detention is provided. Both detention for flood and erosion control, and water quality, must be provided.

- e. The structural planter wall along the west property line amounts to an unsightly wall, right on top of existing residences and must be redesigned.

- f. The project has only 525 ft.² of formal landscaping, which is only 2% of the 0.6 acre project. It appears that the remaining 98% of the project is impervious cover, which is wildly inappropriate.

- g. The trash enclosure should be required to be far away from the Aspen Ridge property line.

Approving these proposals would not only be inappropriate, but would significantly harm property values, especially for Aspen Ridge Building 27, and would be a governmental action that amounts to a taking without compensation. We ask you to reject the proposed development and in particular deny the requested density transfer, rezoning and all variances and send the applicant back to the drawing board to design a less-dense, more appropriate project.

Thank you for your time and consideration.

John

LAW OFFICES OF
JOHN E. TARBOX
ATTORNEYS AND COUNSELORS AT LAW
248 ADDIE ROY ROAD, SUITE A-201
AUSTIN, TEXAS 78746

[512 / 913 - 9888](tel:5129139888) (TEL)
[512 / 532 - 6305](tel:5125326305) (FAX)

Sent from my phone, please excuse any typos or brevity.

On May 6, 2021, at 10:14 AM, John Tarbox <jtarbox@aol.com> wrote:

Thank you!

John

LAW OFFICES OF
JOHN E. TARBOX
ATTORNEYS AND COUNSELORS AT LAW
248 ADDIE ROY ROAD, SUITE A-201
AUSTIN, TEXAS 78746

512 / 913 - 9888 (TEL)
512 / 532 - 6305 (FAX)

From: John A. Miller [mailto:JohnMiller@mtnvillage.org]
Sent: Thursday, May 06, 2021 10:08 AM
To: John Tarbox; cd

Objections to Proposed Development
of
Lot 30, Town of Mountain Village

From John Tarbox, attorney for Thomas West, owner of several units in Aspen Ridge

We strenuously object to the proposed development and ask that the Design Review Board (DRB) deny the proposed development and in particular deny the requested density transfer, the requested rezoning and all requested variances.

The proposed development is far too dense, uses too much impervious cover, is too tall, is not compatible with the adjoining properties, and fails to use proper setbacks, graduated heights and other appropriate design features.

The applicant developed the Tramontana project so it is clear he knows how to build a nice project. Lot 30 should be developed similarly to its neighbors Aspen Ridge or Tramontana. Both properties meet the basic principles of urban planning mentioned above.

The existing density of 9 condominiums + 2 employee condominiums is the most that should be allowed on Lot 30. Even that figure is quite dense, but since it is currently approved, we are not objecting to it. That density permits adherence to the basic design principles.

Use of a zero lot line, with no building setbacks, is not appropriate for Lot 30. This property is not in the Village Center, and this feature is wildly inappropriate for the neighbors and the surrounding open space. The harsh impact of no building setbacks is made worse by the lack of graduated height maximums, and a 53 foot height, imposing what amounts to a giant wall right on top of the neighbors and the open space. None of this is compatible with the neighboring vegetative environment, wildlife, recreation or views of the open space, or the use, enjoyment and property values of the neighbors at Aspen Ridge and at other neighboring properties.

Instead, Lot 30 should be developed with appropriate setbacks, graduated height maximums, and overall height above grade no greater than the neighboring properties at Aspen Ridge and Tramontana.

The primary characteristics of Telluride and Mountain Village are the incredible beauty and views. This project destroys both and is inconsistent with the very nature of Mountain Village and the Mountain Village Comprehensive Plan. This project fails to meet several of the 8 key land-use values of the Comprehensive Plan:

- 1) it fails to preserve open space lands, “expansive views” and the “unparalleled visual experience”,
- 2) it imposes upon the “Recreational Backbone” of Mountain Village, lessening the recreational experience,
- 3) it fails in “Alpine Character Preservation“, opting instead for a dense urban feel, which is not appropriate in this location,
- 7) the “Gateways” value refers to “protecting public viewsheds“ and the natural corridor surrounding Mountain Village Boulevard. This project fails in this regard and destroys many existing view corridors, which should be preserved to the greatest extent possible,

8) The value for “Appropriateness and Fit of Land Uses” states that “uses should fit into the surrounding neighborhood to ensure appropriate scale and context to their surrounding natural and built environments”. This project badly fails to meet this value.

The proposal refers to its adjacency to the Village Center to justify its dense urban design. The fact is that the project is NOT in the Village Center and this design is not appropriate or compatible with the surrounding land uses.

Beyond the general design, several particular details are objectionable:

- a. The northwest corner of the project is way too far forward and destroys a significant portion of the views of Aspen Ridge Building 27.
- b. Locating the pool and amenities in the northwest corner puts significant noise and light pollution right on top of Aspen Ridge Building 27.
- c. The stormwater for the entire project dumps onto Aspen Ridge creating significant drainage, flooding, erosion and other problems. This must be addressed.
- d. No stormwater detention is provided. Both detention for flood and erosion control, and water quality, must be provided.
- e. The structural planter wall along the west property line amounts to an unsightly wall, right on top of existing residences and must be redesigned.
- f. The project has only 525 ft.² of formal landscaping, which is only 2% of the 0.6 acre project. It appears that the remaining 98% of the project is impervious cover, which is wildly inappropriate.
- g. The trash enclosure should be required to be far away from the Aspen Ridge property line.

Approving these proposals would not only be inappropriate, but would significantly harm property values, especially for Aspen Ridge Building 27, and would be a governmental action that amounts to a taking without compensation. We ask you to reject the proposed development and in particular deny the requested density transfer, rezoning and all variances and send the applicant back to the drawing board to design a more appropriate project.

Thank you for your time and consideration.

LAW OFFICES OF
JOHN E. TARBOX
ATTORNEYS AND COUNSELORS AT LAW
248 ADDIE ROY ROAD, SUITE A-201
AUSTIN, TEXAS 78746

512 / 913 - 9888 (TEL)
512 / 532 - 6305 (FAX)

July 14, 2021

To: Mountain Village Town Council

Re: Proposed rezoning and development of Lot 30, agenda item #15, July 15, 2021

Re: Potential impact of proposed development on Aspen Ridge unit #1

Dear Council Members:

There have been considerable numbers of comments opposing this development, including numerous letters from many Aspen Ridge (AR) owners. I would first like to reiterate objections from the owners of AR #1 included in the letter dated May 1, 2021. These emphasize that the location of the driveway entrance to the proposed development will likely cause significant light and noise pollution affecting our property and patio, including the only AR outdoor hot tub. The proposed drive location is directly across from the AR#1 patio and lights from exiting vehicles will likely shine directly onto the patio. In addition, if autos are allowed exit to the right, the lights and noise will likely negatively affect all the AR units on the cul-de-sac.

It continues to be our belief, along with many of the written comments to date, that the design and the scale of the proposed development of lot 30 is inconsistent with the existing development of Aspen Ridge Drive and should be denied.

Should the council decide to approve the density increase and driveway location as it has been presented, we respectfully request requirements be included which would require the developer to design and construct an aesthetic wall along our property line, at a minimum six feet in height, to shield and mitigate these effects of the light on the enjoyment of our patio. Also requiring no right turn out of the proposed development would seem to greatly help mitigate the negative impacts of those of us already here.

Sincerely,

Charles and Lisa Howard
Aspen Ridge #1

John A. Miller

From: Michelle Haynes
Sent: Friday, July 9, 2021 1:10 PM
To: John A. Miller
Subject: FW: Avventura design

John:

This person would like this included in the public record for Lot 30 and distributed to the DRB. Thank you,

Michelle

From: Tad Koter <konsult.korp77@gmail.com>
Sent: Friday, July 9, 2021 10:41 AM
To: Michelle Haynes <MHaynes@mtnvillage.org>
Subject: Avventura design

Dear Michelle

I am a condo buyer at Avventura in telluride , Colorado because I am very interested to rent the property once it's built. I am sure it's a great investment .

It's going to be a beautifully design and high end
Telluride needs that to bring a nice tourists .

Many thanks

Best regards

Pawel Grendys

John A. Miller

From: mvclerk
Sent: Thursday, July 15, 2021 12:25 PM
To: mvclerk
Cc: John A. Miller; Michelle Haynes; pwisor; Kim Montgomery
Subject: FW: No Public Benefit from Lot 30 Proposal

Please see the public comment below:

Susan Johnston
Town Clerk
Town of Mountain Village
O::970.369.6429
M::970-729-3440

[Website](#) | [Facebook](#) | [Twitter](#) | [Instagram](#) | [Email Signup](#)

From: Jennie <jandjdaley@aol.com>
Sent: Thursday, July 15, 2021 12:20 PM
To: mvclerk <mvclerk@mtnvillage.org>
Subject: No Public Benefit from Lot 30 Proposal

My name is Jennie Daley and our family has owned property at Aspen Ridge for more than 20 years. As previously submitted on page 336 in today's packet, we strongly object to the applicant's current proposal to develop Lot 30. Based upon all public documents submitted to date, we believe that **this project is NOT in the best interest of the community**. Further, we understand that the Council is obligated to vote NO and deny approval for density transfer and rezoning if there is no public benefit.

If approved, the proposed project will harm the community and create an unsightly, massive structure, devoid of nature, on an important parcel in Mountain Village. Any development on Lot 30 is intended to house "transitional" units, bridging high density Village Center units and less dense Multi-Family units.

The assertion offered in the final bullet of Appendix A, letter a...that "the project is an appropriately scaled transition between the higher density Village Center, less dense outlying areas, and the natural alpine settings"...is simply false.

While acknowledging that the applicant has the right to request a density transfer for this project, it must be pointed out that no development on Aspen Ridge Drive has ever built out to its fully authorized density. The most recent project, owned and developed by this applicant, followed this precedent set by Aspen Ridge three decades ago. The result is that Aspen Ridge Drive is a wonderful haven of thoughtfully designed units, built within trees. Approval of the massive design proposed on Lot 30 would destroy the community.

Specifically, no public benefit results from a project that strips all nature from Lot 30, creates disharmony among adjacent communities that have existed for decades, poses a dangerous pedestrian and vehicular environment on Aspen Ridge Drive, towers over the Aspen Ridge community and obstructs all views from Granita residents. The Council must conclude the obvious: this application is inappropriate for Lot 30 and a new "transitional" design should be submitted BEFORE considering issues of density transfer and rezoning.

Several more details should be highlighted:

How does one reconcile proposed 19 units to 17.5 units (pages 258 & 268)?

How does 57 person equivalents = 58 bedrooms (pages 258 & 268)?

How can 5 and 4 bedroom units (7 in total) be considered "transitional"?

How can noise and light pollution be ignored?

How can an acceptable design be "all structure" and "no nature"?

In conclusion, we encourage the Council to take more time to review the details of all documents again. Please do not rely upon staff findings and conclusions. We believe them to be lacking.

The proposed application defies logic and must be sent back for a new design, if it is to benefit the community and residents of Mountain Village.



SOLOMON LAW FIRM, P.C.

227 WEST PACIFIC AVENUE, SUITE A (REQUIRED FOR FEDEX)

PO BOX 1748 (REQUIRED FOR ALL U.S. MAIL)

JOSEPH A. SOLOMON, ESQ. TELLURIDE, COLORADO 81435

ATTORNEY AT LAW

E-MAIL: JSOLOMON@MONTROSE.NET

TEL (970) 728-8655

CELL (970) 729-2225

FAX (775) 703-9582

June 1, 2021

Town of Mountain Village Design Review Board
c/o Michelle Haynes, MPA
Planning and Development Services Director
Housing Director
Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, Colorado 81435

Re: Lot 30 Development Application

Dear Members of the DRB:

I represent Sandra and Van Gilbert, owners of Granita Unit 303. The purpose of this letter is to comment on the above matter.

October 15, 2020 Town Council Worksession

At the May 6, 2021 DRB hearing, the results of the Town Council Worksession were misrepresented to the DRB. Town staff stated that, at this Worksession, "Council kind of gave it the green light." That was not an accurate statement. In addition, a DRB member stated it was that member's understanding that Council endorsed the proposal. Again, that was not accurate. Rather, as explained in the letter submitted on behalf of the Gilberts on April 28, 2021:

October 15, 2020 Town Council Worksession

The applicant presented a very similar proposal at the October 15, 2020 Town Council Worksession. The Town Council responded that the project was too massive. However, again, the current application is substantially similar to the prior proposal.

Importantly, see the enclosed Transcript of 10/15/20 Town Council Worksession, Town Councilmembers Concluding Remarks. This discussion began at 03:32:20 of the Zoom recording.

It appears the Town should consider addressing its general Worksession procedures, being, ensuring the minutes reflect Council direction.

Density

Again, Lot 30 is currently has assigned density of nine (9) Condominium Units and two (2) Employee Apartments. The applicant is seeking to increase development density and develop a project that will contain sixteen (16) Condominium Units and three (3) Employee Condominium Units.

Mountain Village Comprehensive Plan

The Mountain Village Comprehensive Plan, as amended by the Resolution dated February 15, 2018, targets Lot 30 and adjacent open space (collectively referred to as “Parcel M”) for a high density hotel.

The current Lot 30 owner is not applying to construct a hotel on Parcel M. Rather, the owner is merely seeking to construct nearly double the Condominium Units designated for Lot 30.

There is no justification for this increased density. This increased density results in walling out adjacent properties.

Visuals

Enclosed are the following visuals, similar to those presented to Town Council in October 2020 and the same as provided to DRB prior to the May 6, 2021 DRB hearing:

1. Overhead view as provided by the Lot 30 owner/applicant. The single monolithic mass is not consistent with adjacent Aspen Ridge development.
2. Overhead view showing development according to current entitlements. The development should break up massing with buildings consistent with adjacent Aspen Ridge development.

Town of Mountain Village Town Council
June 1, 2021
Page 3

Conclusion

Thank you for your consideration of these comments.

Sincerely,

A handwritten signature in black ink, appearing to read "Joseph A. Solomon, Esq.", written over a horizontal line.

Joseph A. Solomon, Esq.

Encs.

Transcript of 10/15/20 Town Council Worksession / Council Concluding Remarks
Two Visuals

cc: Sandra & Van Gilbert
Ken Alexander

Transcript of Town Council Worksession

Continued Discussion Regarding a Development Proposal for Lot 30, to Develop
17 Condominium Density Units and 3 Employee Condominium Units

October 15, 2020

Town Councilmembers Concluding Remarks

Laila Benitez: I'm going to go ahead and close public comment and bring things back up to counsel. Is there any other feedback or any questions that you have to share with either Stephanie [Fanos] or the applicant.

Marty Prohaska: To make this productive what I seem to be hearing is that there are lingering concerns about the potential mass and scale of it specifically I would think from the perspective of Mountain Village Boulevard, and I agree if there were some changes to the design that would allow for a little bit more division of these large buildings, a little bit more space, that might be better received by neighbors.

Laila Benitez: Other feedback. I think I would echo Marty's comments. I am not in the design game, and I'm not going to try and propose anything specific, but I will say that a large mass if broken could have a completely different impact on how it's received in the neighborhood.

Patrick you are nodding your head.

Patrick Berry: I generally agree with what Marty just commented and your comments as well. There's some hesitation that I'm seeing on the sale the size and the public benefit, you know I appreciate the additions but does it fit the scope, I've got more research to do on that as well.

Laila Benitez: Let's just say I don't have an issue with height so much as just what Marty stated, the large expanse in one building.

If there's no other comments, I'm going to conclude this worksession.

1. Overhead view as proposed by the applicant

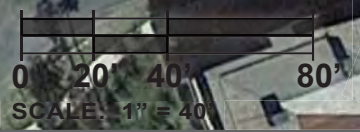


The single monolithic mass is not consistent with the adjacent Aspen Ridge development.

2. Overhead view
per current entitlements



Break up massing with buildings
consistent with adjacent Aspen
Ridge development





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JOSEPH A. SOLOMON, ESQ. TELLURIDE, COLORADO 81435

ATTORNEY AT LAW

E-MAIL: JSOLOMON@MONTROSE.NET

TEL (970) 728-8655

CELL (970) 729-2225

FAX (775) 703-9582

July 8, 2021

Town of Mountain Village Town Council
c/o John A. Miller III, Senior Planner
Planning and Development Services
Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, Colorado 81435

Re: Lot 30 Development Application

Dear Members of the Town Council:

I represent Sandra and Van Gilbert, owners of Granita Unit 303. The purpose of this letter is to comment on the above matter.

Preliminary Summary

The Gilberts' sole comment on this application remains that the increased density is inappropriate. Lot 30 should be developed as four or five structures, consistent with the neighboring Aspen Ridge project. It should not be developed as a single monolithic structure covering the entire Lot.

October 15, 2020 Town Council Worksession

Town Council had a Worksession on October 15, 2020. At that Worksession, Council clearly gave feedback that the project should be revised to buildings with space between. A copy of the transcript reflecting the key Councilmember remarks is enclosed. This discussion began at 03:32:20 of the Zoom recording.

May 6, 2021 DRB Hearing

Despite Council's comments, the applicant submitted a proposal virtually identical to that shown to Council at the Worksession.

At the May 6, 2021 DRB hearing, the results of the Town Council Worksession were misrepresented to the DRB. Town staff told the DRB that, at the Worksession, "*Council kind of gave it the green light.*" That was not an accurate statement. In addition, a DRB member stated

it was that member's understanding that Council endorsed the proposal. Again, that was not accurate.

DRB continued the hearing stating it wanted more information concerning what exactly Council directed at the Worksession.

July 1, 2021 DRB Hearing

The DRB reconvened on July 1, 2021. At this hearing, Town staff gave the DRB no information concerning what Council said at the October Worksession.

The Gilberts provided the DRB with the enclosed transcript.

The applicant stated that the transcript did not accurately reflect Council's position, and that in fact Council supported the application.

The DRB endorsed the application.

Visuals

Enclosed are the following visuals, similar to those presented to Town Council in October 2020 and provided to DRB prior to the May 6 and July 1, 2021 DRB hearings:

1. Overhead view as provided by the Lot 30 owner/applicant. The single monolithic mass is not consistent with adjacent Aspen Ridge development.
2. Overhead view showing development according to current entitlements. The development should break up massing with buildings consistent with adjacent Aspen Ridge development.

Town of Mountain Village Town Council
July 8, 2021
Page 3

Conclusion

Thank you for your consideration of these comments.

Sincerely,

A handwritten signature in black ink, appearing to read "Joseph A. Solomon, Esq.", written over a horizontal line.

Joseph A. Solomon, Esq.

Encs.

Transcript of 10/15/20 Town Council Worksession / Council Concluding Remarks
Two Visuals

cc: Sandra & Van Gilbert
Ken Alexander



**Agenda Item No. 6
PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

TO: Mountain Village Design Review Board

FROM: Amy Ward, Planner

FOR: Design Review Board Meeting, October 7, 2021

DATE: September 28, 2021

RE: A Review and Recommendation by the Design Review Board regarding a Density Transfer and Rezone application for Lot 27A, Units 2 and 3 at 112 Lost Creek Lane per Community Development Code Sections 17.4.9 & 17.4.10

PROJECT GEOGRAPHY

Legal Description: *RESIDENTIAL UNIT 2-3, BELVEDERE PARK CONDOMINIUMS – PHASE ONE, ACCORDING TO THE FIRST AMENDMENT TO THE BELVEDERE PARK CONDOMINIUMS – PHASE ONE CONDOMINIUM MAP RECORDED MARCH 12, 2021 UNDER RECEPTION NO. 468845, AND AS DEFINED AND DESCRIBED IN THE CONDOMINIUM DECLARATION FOR BELVEDERE PARK CONDOMINIUMS – PHASE ONE RECORDED AUGUST 1, 2005 UNDER RECEPTION NO. 376603 AS AMENDED BY THE FIRST AMENDMENT RECORDED MARCH 12, 2021 UNDER RECEPTION NO. 468846, COUNTY OF SAN MIGUEL, STATE OF COLORADO.*

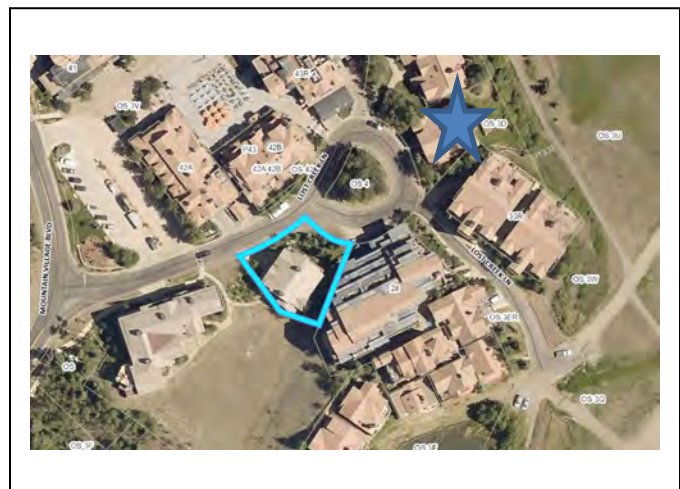
Address: 112 Lost Creek Lane #2-3
Owner: Jefferson W. Kirby and Karen M. Kirby
Zoning: Multi Family
Existing Use: Multi Family
Proposed Use: Separate Units 2 & 3 into two condominiums

Adjacent Land Uses:

- **North:** Multi-Family
- **South:** Multi-Family
- **East:** Multi-Family
- **West:** Multi-Family

ATTACHMENTS

- Exhibit A: Applicant's narrative
- Exhibit B: Original Condo Map
- Exhibit C: First Map Amendment



CASE SUMMARY:

In February of 2020, Town Council approved an ordinance converting Units 2 and 3, Lot 27A, from two condominium designations to one condominium designation (Unit 2-3) and transferring

the excess density into the density bank. Thomas G. Kennedy, the attorney for the current owners of Unit 2-3, is proposing a Density Transfer and Rezone to reverse this process, and again separate Unit 2-3 back into two condominium Units. Both the condominium and the excess density within the density bank are under the same ownership and the density just needs to be transferred back onto the property. Currently, Unit 2-3 has 1 unit of Condominium Density assigned for a total of 3 person equivalents. If the Town Council determines that the rezone of Unit 2-3 is appropriate, the newly created Unit 2 and Unit 3 would at that point need 1 extra unit of density that would be required per the CDC to be transferred from the Density Bank onto one of the units.

With that, the applicants have submitted an application for a Density Transfer and Rezone to rezone Unit 2-3 into two units 2 and 3 and transfer 1 Unit of Condominium density from the density bank onto one of the newly created Units. Once the applicant has obtained approval for the splitting of these two units, the owner will cause the two units to be separated again (see proposed floorplans attached).

Table 1: Current Zoning and Density for Unit 2-3

| Unit No. | Zoning Designation | Units of Density | Person Equivalent |
|----------|--------------------|------------------|-------------------|
| 2-3 | Condominium | 1 | 3 |

Table 2: Proposed Zoning and Density for Unit 2 and 3

| Unit No. | Zoning Designation | Units of Density | Person Equivalent |
|----------|--------------------|------------------|-------------------|
| 2 | Condominium | 1 | 3 |
| 3 | Condominium | 1 | 3 |
| | Total | 2 | 6 |

Staff Note: The proposal will result in a net increase of 1 Condominium Unit of Density – or 3 person equivalents on Lot 27A. The density will be transferred from the density bank onto Lot 27A, Unit 3

Staff provided an opportunity to comment on the proposed development per the referral process and received the following comments - Finn Kjome with public works said public works had no issues with the application.

CRITERIA, ANALYSIS, AND FINDINGS

The criteria for the decision to evaluate a rezone that changes the zoning designation and/or density allocation assigned to a lot is listed below. The following criteria must be met for the review authority to approve a rezoning application:

17.4.9: Rezoning Process

(***)

3. Criteria for Decision: (***)

- a. The proposed rezoning is in general conformance with the goals, policies, and provisions of the Comprehensive Plan;

Staff Finding: The Comprehensive Plan designates the Mountain Village Center sub-area as a neighborhood of mixed use including multiunit development. There are no site specific policies. Per the planning director interpretation the development table does not apply.

- b. The proposed rezoning is consistent with the Zoning and Land Use Regulations;
Staff Finding: The proposed rezone and density transfer meets the requirements of the CDC. The Village Center Zone is intended to provide higher density multi-family dwellings. By increasing the density and re-creating two condominium units, as was originally approved by the Town, the owners would be meeting that intent of providing higher density.

All other land use regulations are being met. Unit 2-3 currently has two designated parking spaces. With the separation of the two units, one parking space will be re-designated to each unit.

- c. The proposed rezoning meets the Comprehensive Plan project standards;

The Comprehensive Plan Project Standards are listed as follows:

1. Visual impacts shall be minimized and mitigated to the extent practical, while also providing the targeted density identified in each subarea plan development table. It is understood that visual impacts will occur with development.
2. Appropriate scale and mass that fits the site(s) under review shall be provided.
3. Environmental and geotechnical impacts shall be avoided, minimized and mitigated, to the extent practical, consistent with the Comprehensive Plan, while also providing the target density identified in each subarea plan development table.
4. Site-specific issues such as, but not limited to the location of trash facilities, grease trap cleanouts, restaurant vents and access points shall be addressed to the satisfaction of the Town.
5. The skier experience shall not be adversely affected, and any ski run width reductions or grade changes shall be within industry standards.

Staff Finding: There will be no visual impacts, no change to existing mass and scale, no additional environmental or geotechnical impacts, no additional site-specific issues, and no skier experience impacts as this rezone is within an already existing building.

- d. The proposed rezoning is consistent with public health, safety and welfare, as well as efficiency and economy in the use of land and its resources;

Staff Finding: This proposal returns the Units to the previously approved zoning from the initial development. Staff finds that there would be no detriment to returning this use.

- e. The proposed rezoning is justified because there is an error in the current zoning, [and/or] there have been changes in conditions in the vicinity [and/] or there are specific policies in the Comprehensive Plan that contemplate the rezoning;

Staff Finding: The comprehensive plan envisions Lot 27A for multi-family development, the density transfer and rezone continues the use of the lot as such, albeit in a slightly increased overall density.

- f. Adequate public facilities and services are available to serve the intended land uses;
Staff Finding: There are currently adequate public services to accommodate this request.
- g. The proposed rezoning shall not create vehicular or pedestrian circulation hazards or cause parking, trash or service delivery congestion; and
Staff Finding: The rezoning will not create vehicular or pedestrian circulation hazards.
- h. The proposed rezoning meets all applicable Town regulations and standards.
Staff Finding: The application meets all applicable regulations and standards.

17.4.10: Density Transfer Process

D. Criteria for Decision

- 2. Class 4 Applications. The following criteria shall be met for the Review Authority to approve a density transfer.
 - a. The criteria for decision for rezoning are met since such density transfer must be processed concurrently with a rezoning development application (except for MPUD development applications);
Staff Finding: The applicant has met the criteria for the decision for rezoning as provided above.
 - b. The density transfer meets the density transfer and density bank policies; and.
Staff Finding: The application meets all applicable density transfer and density bank policies.
 - c. The proposed density transfer meets all applicable Town regulations and standards.
Staff Finding: The application meets all applicable regulations and standards.

DESIGN REVIEW BOARD CRITERIA FOR REVIEW:

The Design Review Board's purview relates specifically to how density transfers and rezone applications may have design-related implications. The DRB must determine if the proposed location, design, and other applicable standards have been met.

RECOMMENDATION: If DRB determines that the application for a Density Transfer and Rezone of Lot 27A meets the criteria for decision listed within this staff memo, then staff has provided the following suggested motion:

I move to recommend to Town Council, an Ordinance regarding the Density Transfer and Rezone application pursuant to CDC Sections 17.4.9 & 17.4.10 of the Community Development Code, to rezone Lot 27A Unit 2-3 and transfer 1 condominium density unit (3-person equivalent density) from the density bank to the lot based on the evidence provided within the Staff Report of record dated September 28, 2021, and with the following conditions:

1. Prior to the recordation of the associated ordinance approving the Density Transfer and Rezone, the owner must complete the Density Bank Transfer process with the Town and this change shall be reflected in the Town official Lot List.
2. The owner of record of density in the density bank, shall be responsible for all dues, fees, and any taxes associated with the assigned density and zoning until such time as the density is either transferred to this lot or another person or entity.
3. The final design of the newly separated condominium units shall be determined with the required Design Review Process application pursuant to the applicable requirements of the CDC.
4. A condominium map and amendment showing Unit 23 as two separate condominium unit 2 and 3 must be executed for the legal separation of the units prior to a certificate of occupancy being issued.

This motion is based on the evidence and testimony provided at a public hearing held on October 7, 2021, with notice of such hearing as required by the Community Development Code.

/abw

EXHIBIT A

ADDENDUM/NARRATIVE TO REZONING AND DENSITY TRANSFER

August 6, 2021

MV BP One LLC, a Colorado limited liability company (“**Owner**”) is the current fee simple owner of certain property (“**Unit 2 and 3**”) legally described as Residential Units 2 and 3, Belvedere Park Condominiums, Town of Mountain Village, San Miguel County, Colorado. See attached Deed and Title Commitment demonstrating this ownership.

Owner recently acquired Unit 2 and 3 from Jefferson and Karen Kirby (“**Kirby**”). Last year, the Kirby’s initiated and earlier this year they completed a process by which they sought town approval to combine Unit 2 and 3 into one residential condominium unit. To this end, the Kirby’s submitted a land use application with the Town: (i) to rezone the property from two residential condominium units into one residential condominium unit and (ii) to transfer the resulting extra unit of condominium density into the Mountain Village Density Bank, which was being held in their name. The Town approved these actions as reflected in Ordinance No 2020-4, recorded on March 12, 2021 in Reception No. 468842 (Copy attached). The Town issued the Kirby’s Mountain Village Density Bank Certificate #060 (“**Unit 2-3 Density Transfer Certificate**”) (Copy attached).

Units 2 and 3 are part of the Belvedere Park Condominiums, Phase One, which originally consisted of three residential condominium units. An affiliated party to the Owner owns Unit 1 of the Belvedere Park Condominiums, Phase One. As such, this Owner and its affiliates own all of the residential condominium units within Belvedere Park Condominiums, Phase One.

With the completion of the Kirby’s rezone/density transfer process with the Town, the Kirby’s removed portions of the walls that had previously separated Units 2 and 3, generally at the location indicated on attached drawing. To formally reflect these changes, the Kirby’s recorded amendments to the Belvedere Park Condominium Phase One Condominium Map and Declarations, recorded on March 12, 2021 respectively in Reception No. 468845 and in Reception No. 468846.

Owner, through this application, effectively wishes to reverse the prior actions of the Kirby’s and separate the one combined residential condominium unit space back into two separate residential condominium units. This involves a new application for rezone/density transfer involving Unit 2 and 3. As part of Owner’s purchase of Units 2 and 3 from the Kirby’s, the Owner also acquired the density rights from the Kirby’s which had been transferred to the town of Mountain Village Density Bank (see attached Assignment of Density and Bill of Sale). As part of this request, the Owner has also submitted its Density Bank Transfer Application requesting the Town to transfer the Unit 2-3 Density Transfer Certificate to Owner. Coincident with securing the Town approvals for these applications, the Owner will cause the unit to be separated again splitting the space into two units. A copy of the plan showing these improvements is attached.

The current zoning/land use/density status for Units 2 and 3 is as follows.

Table 1 – CURRENT ZONING/LAND USES/DENSITY FOR UNIT 2-3

| Unit No | Zone District | Zoning Designation | Units | Density Per Unit | Total Density |
|----------------|----------------------|---------------------------|--------------|-------------------------|----------------------|
| 2-3 | Village Center | Condominium | 1 | 3 | 3 |
| | | | | | |
| Total | | | 1 | | 3 |

The proposed zoning/land use/density status for Units 2 and 3 when separated would be as follows.

**Table 1 – PROPOSED ZONING/LAND USES/DENSITY
FOR UNIT 2 AND UNIT 3**

| Unit No | Zone District | Zoning Designation | Units | Density Per Unit | Total Density |
|----------------|----------------------|---------------------------|--------------|-------------------------|----------------------|
| 2 | Village Center | Condominium | 1 | 3 | 3 |
| 3 | Village Center | Condominium | 1 | 3 | 3 |
| Total | | | 2 | | 6 |

Owner is not requesting a rezoning of Units 2 and 3 from the current Village Center Zone District.

The rezoning is only needed to transfer density to the Town Density Bank per CDC Section 17.3.8(B): “Density may be transferred from one lot to another lot or to the density bank provided the density transfer is approved pursuant to the density transfer and rezoning processes as concurrent development applications...”

The Owner proposes to use the density previously assigned to Units 2 and 3 by prior Town zoning and density allocations. The resulting affect will be to restore two nice sized, units in place of the larger combined unit. The combined units would be able to accommodate additional families and guests, which is a goal of the Comprehensive Plan (eg. increase the number and type of accommodation units base for visitors to the Mountain Village).

Rezoning and Density Transfer Criteria for Decision

The proposed rezoning complies with the Rezoning Process Criteria for Decision set forth in CDC Section 17.4.9(C)(3) as outlined in the following sections:

General Conformance with the Mountain Village Comprehensive Plan

The proposed rezoning and density transfer are in general conformance with the Comprehensive Plan. The Comprehensive Plan’s Future Land Use Plan does offer some general guidance for the development of the Lot 27A, advocating the retention of the existing zoning on Phase One and Phase Two.

Consistency with Zoning and Land Use Regulations

The proposed rezoning and density transfer applications are consistent with the Zoning and Land Use Regulations contained in CDC Section 17.3. There were three parking spaces allocated to Units A, B and C in the original condominium project and the same allocations will be available with the conversion back to three residential condominium units, each unit will have an assigned space.

Multi-family condominium dwellings are permitted uses in the Village Center Zone District.

The approval of the Application does not impact the CDC Platted Open Space requirements.

The building is as existing structure, which complies with applicable CDC building requirements and limitations.

Scale and Mass

The Belvedere Park Condominium Phase One building is a currently existing improvement. The Owner is not planning on changing its mass or scale.

Environmental and Geotechnical Impacts

There are not any environmental conditions that impact the Belvedere Park Condominium Phase One building.

Consistency with Public Health, Safety and Welfare

The Belvedere Park Condominium Phase One building is an existing improvement with no external changes being contemplated in connection with this application. The proposed uses and resulting densities as a result of the rezoning/density transfer is consistent with the public health, safety and welfare.

Rezoning Justification

The proposed rezoning and density transfer is justified in that the proposal re-established the unit configuration originally approved by the Town.

Public Facilities and Services

The proposed rezoning and density transfer is justified in that the proposal re-established the unit configuration originally approved by the Town; therefore, the existing public facilities original put in place to serve the three units in the Belvedere Park Condominium Phase One building would remain in place and serve the re-establishment of the three units proposed by the Owner.

Project Circulation, Parking, Trash and Deliveries

Nothing in this application would change the manner, method, siting or operation of the vehicular and pedestrian circulation in the building, nor would parking, trash or deliveries change from what the town had approved in the past and upon which the building has been operating since the building was constructed in 2005.

Compliance with Other Town Regulations

The proposed development will comply with the requirements of the CDC and any applicable requirements of the Municipal Code.

Conclusion

For the reasons set forth above, the Owner believes that the Applications complies with applicable provisions of the CDC and should be approved by the Town.

The Owner reserves the right to revise and supplement the Application as additional information becomes available or issues are identified.

The Owner appreciates the Town's review of this Application.

Respectfully Submitted,

MV BP One LLC,
a Colorado limited liability company

By: 

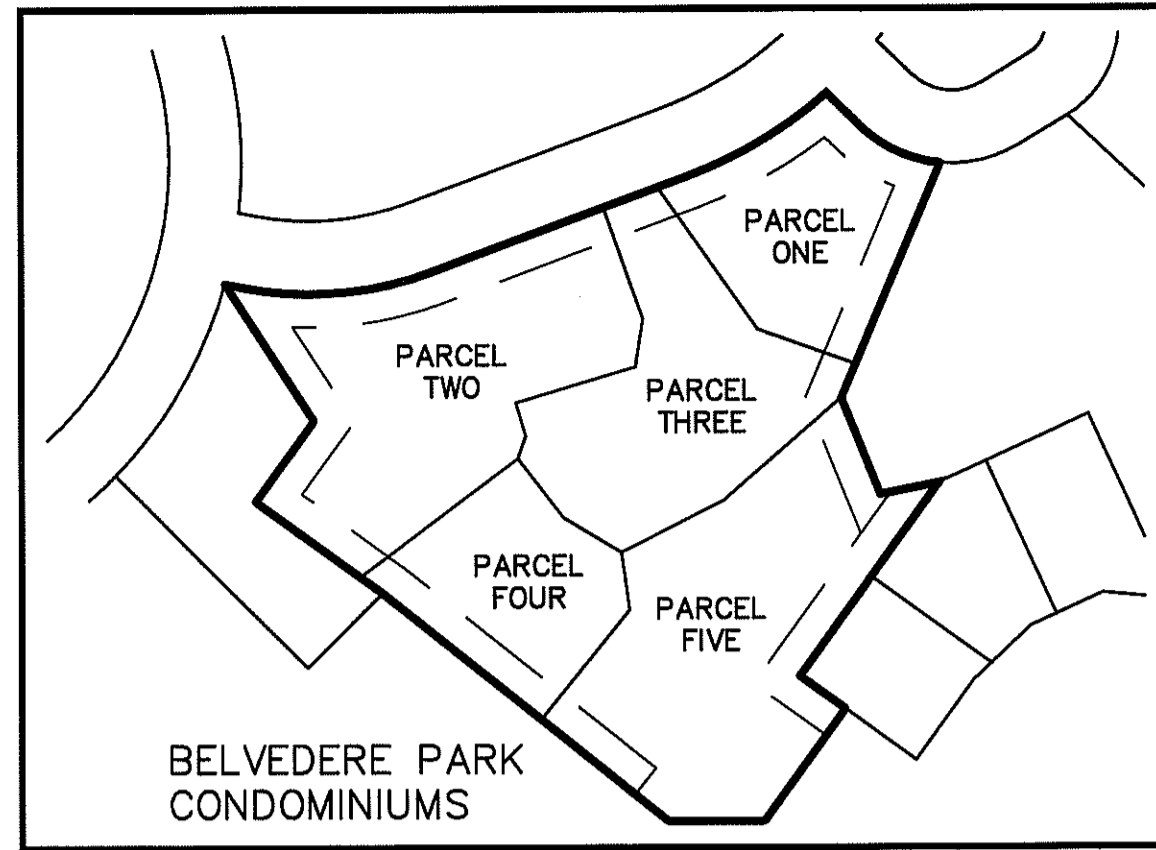
Printed Name: Randy D. Podolsky
Title: Manager

Table of Exhibits

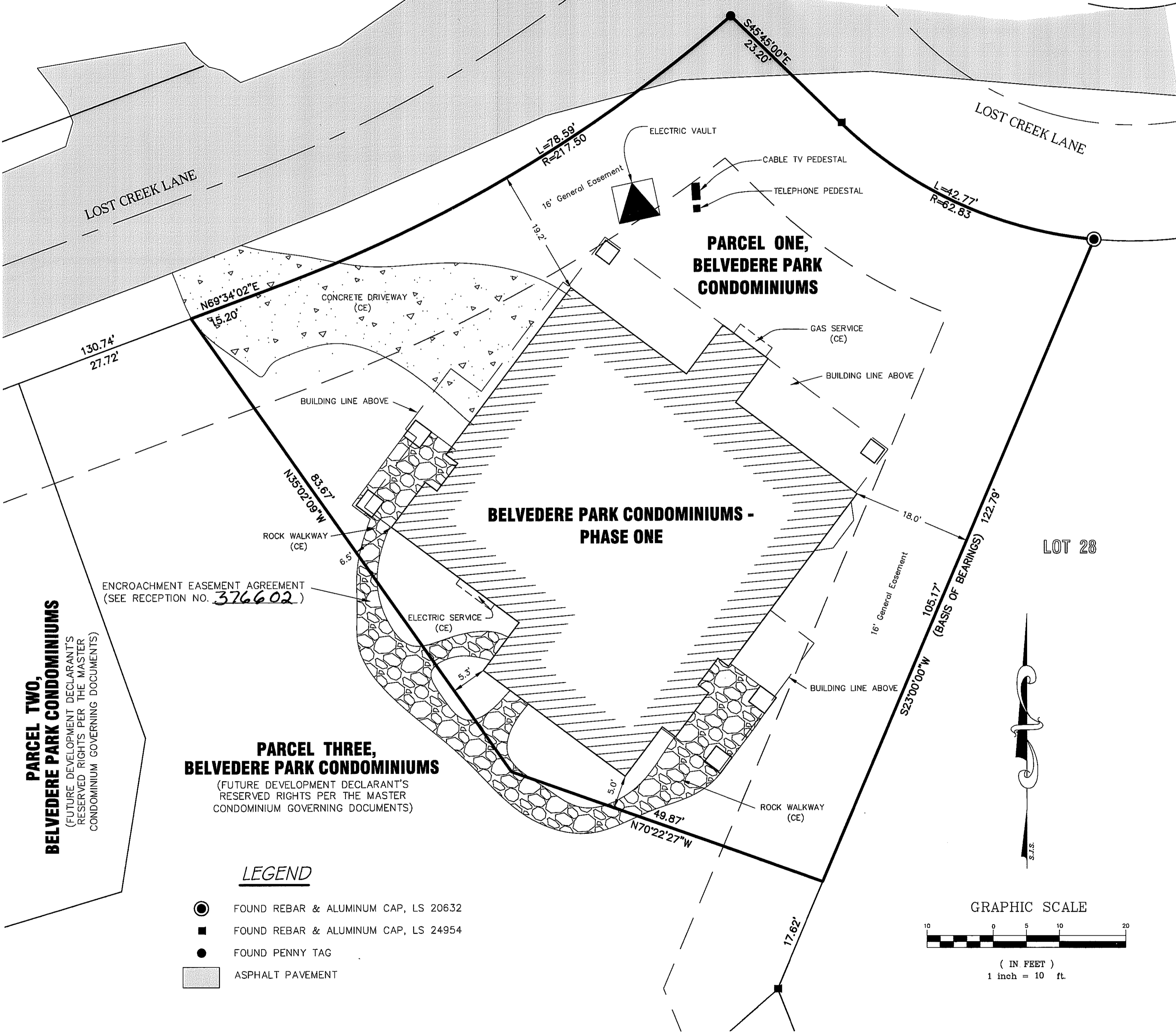
The following documents are submitted as exhibits in further support of the Application.

| Exhibit | Document |
|----------------|---|
| A | Deed and Title Commitment |
| B | Vicinity Map |
| C | Original Condominium Map |
| D | Original Declaration |
| E | First Amendment to Condo Map |
| F | First Amendment to Declaration |
| G | Drawing showing proposed walls to be reinserted |
| H | Ordinance No 2020-4, |
| I | Density Certificate |
| J | Assignment of Density |
| K | Bill of Sale |
| L | |
| M | |
| | |

EXHIBIT B



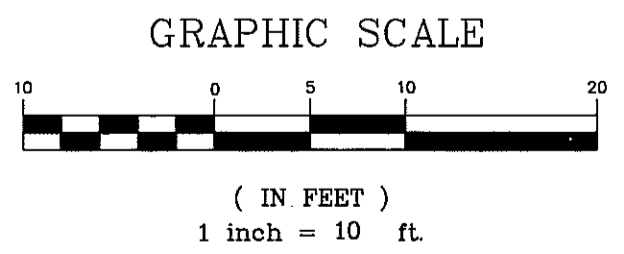
| UNIT | SQUARE FEET | DESIGNATION | PARKING |
|------------------------|-------------|------------------|---------|
| Residential Unit One | 2,164 | Residential Unit | 1 Space |
| Residential Unit Two | 2,137 | Residential Unit | 1 Space |
| Residential Unit Three | 2,762 | Residential Unit | 1 Space |
| Parking Space Unit One | 170 | Parking | N/A |
| Parking Space Unit Two | 156 | Parking | N/A |



PARCEL THREE, BELVEDERE PARK CONDOMINIUMS
 (FUTURE DEVELOPMENT DECLARANT'S RESERVED RIGHTS PER THE MASTER CONDOMINIUM GOVERNING DOCUMENTS)

LEGEND

- FOUND REBAR & ALUMINUM CAP, LS 20632
- FOUND REBAR & ALUMINUM CAP, LS 24954
- FOUND PENNY TAG
- ▨ ASPHALT PAVEMENT



SURVEYORS CERTIFICATE:

I, Christopher R. Kennedy, being a Registered Land Surveyor in the State of Colorado, do hereby certify that this Map ("Map") and Survey of BELVEDERE PARK CONDOMINIUMS - PHASE ONE, was made by me and under my direct responsibility, supervision and checking, in compliance with the applicable provisions of Title 38, Article 51, C.R.S., and that the information contained herein is true and accurate to the best of my knowledge and belief. I further certify that all structural components of the buildings and improvements containing or comprising the Units shown on this Map are substantially completed.

Christopher R. Kennedy
 Christopher R. Kennedy P.L.S. 36577
 7/29/2005



NOTICE:

According to Colorado law you must commence any legal action based upon defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

BASIS OF BEARINGS:

Bearing from the #5 rebar with aluminum cap (LS 24954) and the #5 rebar with aluminum cap (LS 20632) along the common line between Lot 27A and Lot 28 assumed to be the record bearing of South 23°00'00" West.

TITLE INSURANCE COMPANY CERTIFICATE:

Security Title Guaranty Company does hereby certify that we have examined the title to Parcel One, Belvedere Park Condominiums, Town of Mountain Village, as amended, and as shown hereon and that title to this real property is in the name of TCH Belvedere Phase One, LLC, a Delaware limited liability company and is free and clear of all encumbrances, liens, and taxes except as follows: **Deed of Trust Recorded at Reception No. 367858 and Ad Valorem taxes.**

Dated this 29th day of July, 2005
 Security Title Guaranty Company

By: *J. Dolan*
 Title Insurance Company Representative

NOTES:

- Easement research from Security Title Guaranty Co., Commitment No. S0060772, Amend. No. 1, dated July 27, 2005 at 8:00 A.M.
- The following abbreviations are defined for this Condominium Map:

| | |
|---------|---|
| CE | Common Element |
| LCE | Limited Common Element |
| Sq. Ft. | Square Feet |
| CH | Ceiling Height (Vertical Unit Boundary) |
- Elevations are referenced to the Town of Mountain Village Datum.
- Floor plans in this Condominium Map are not drawn exactly to scale. Dimension shown are accurate and are to be used in preference to scale accuracy.
- Dimensions and square footage shown are to face of studs or face of concrete.

STATE OF COLORADO }
 COUNTY OF SAN MIGUEL } SS: **J. DOLAN**
 NOTARY PUBLIC
 STATE OF COLORADO
 MY COMMISSION EXPIRES 4/5/2008

Suscribed and sworn to before me by Thomas G. Kennedy as Attorney-in-fact for Daniel D. Boeckman, Manager of TCH Belvedere Partners, LLC, on this 29 day of July, 2005.

Witness my hand and official seal.

Notary Public: *J. Dolan*
 My Commission Expires: 4/5/08

CLERK AND RECORDERS CERTIFICATE:

This Map was accepted for filing in the Office of the Clerk and Recorder of San Miguel County, Colorado on this 1st day of August, 2005.

Book No. PL-1 Page No. 3498-35
 Reception No. 376604 Time 9:15 AM
Doris Ruffe
 County Clerk & Recorder



OWNER'S CERTIFICATION:

- TCH Belvedere Development, LLC, a Delaware limited liability company as the owner of Lot 27A, Town of Mountain Village, established thereon a certain land condominium community ("Land Condominium") known as "Belvedere Park Condominiums" ("Master Community"), consisting of five parcels of land ("Parcels"), including Parcel One, Belvedere Park Condominiums.
- The Master Community was formed in accordance with the Condominium Declaration ("Master Condominium Declaration") recorded on June 29, 2004 in Reception No. 367339 and the Condominium Map ("Master Condominium Map") recorded on June 29, 2004 in Plat Book 1 at page 3318, Reception No. 367340, Town of Mountain Village, San Miguel County, Colorado, as amended by First Map Amendment recorded on January 26, 2005 in Plat Book 1 at Page 3438. The Master Condominium Declaration and the Master Condominium Map are hereafter referred to as the "Master Condominium Governing Documents".
- The Master Community was formed for the purposes stated in the Master Condominium Governing Documents, including the purpose of creating the Parcel and for the purpose of administering and managing the Master Condominium Property (as defined in the Master Condominium Governing Documents).
- The Master Common Interest Community was formed with the recordation of a certain Declaration, The Belvedere Park Condominiums Owners Association, a Colorado non-profit corporation ("Master Association"), which has been formed as a non-profit association to exercise the functions set forth herein and to own, lease, hold, operate, care for and manage certain property owned by the Association for the common benefit of Owners and Occupants of the Common Interest Community.
- TCH Belvedere Development, LLC has conveyed title to Parcel One, Belvedere Park Condominiums ("Property") to TCH Belvedere Phase One, LLC, a Delaware limited liability company ("Owner").
- The Property, together with the rights, duties and obligations under those certain easements which benefit and burden the Property and further together with all the improvements, consisting of buildings and other structures on the Real Property ("Improvements") are collectively referred to on the Map as the "Property". The Property is as depicted and described on this Map.
- This is the same Property and the same Map that was defined, described and referred to in that certain Condominium Declaration for Belvedere Park Condominiums - Phase One, which was recorded in the Office of the Clerk and Recorder for San Miguel County, Colorado on Aug 1, 2005 at Reception No. 376603 ("Declaration").
- Owner, as Declarant and as the fee simple title owner of the Property, does hereby submit the Property and all improvements constructed thereon to separate and common, condominium ownership and use in accordance with (i) the Declaration, (ii) the Colorado Common Interest Ownership Act, Colorado Revised Statutes Title 38, Article 33.3, as amended, and (iii) the Colorado Revised Nonprofit Corporation Act, Colorado Revised Statutes Title 7, Articles 121-137, as amended, for the purpose of exercising the functions of the condominium owners' association and creating a condominium common interest ownership community on the Property the name of which is "Belvedere Park Condominiums - Phase One" ("Community"). The Community may be expanded to include additional adjoining or adjacent improved and unimproved property and/or the Community may be included in other common interest communities. The Community is deemed to be a Subordinate Community within and as the same is contemplated by the Master Condominium Governing Documents.
- The Community initially consists of Units, Common Elements and Limited Common Elements, inclusive of certain reserved Declarant Rights, which may be depicted on this Map and as may be further defined or described in the Declaration.
- The Owner has reserved certain declarant rights, special declarant rights and development rights ("Reserved Declarant Rights"), as the same are described on this Map and/or in the Declaration. Declarant reserves the right to relocate Units, Common Elements and Limited Common Elements designated for parking spaces, trash areas, access, stairways and the like to other areas within the Community or such other community to which the Units, Common Elements and Limited Common Elements created by this Community are annexed into, including areas below grade, provided that Declarant provides a parking space, trash area, access and the like of a similar size and quality to the person or party owning or benefited by the Units, Common Elements and/or Limited Common Elements.
- All Terms, conditions, requirements, restrictions and the rights, duties and obligations established in the Master Condominium Governing Documents and intended to be made applicable to and against Parcel One, Belvedere Park Condominiums and each Owner of a Unit in the Belvedere Park Condominiums - Phase One (as such terms are defined below) shall continue in full force and effect.
- This is the Condominium Map contemplated by the Master Condominium Governing Documents and shall be deemed to be and serve as a "Supplemental Map" as contemplated by the Master Condominium Governing Documents.
- The Property, including the Units and the Common elements established herein are deemed to be annexed into both: (a) The Master Community and made subject to the Master Community Governing Documents; and (b) Belvedere Park Condominiums - Phase One and also made subject to the Declaration and this Map. Declarant hereby exercises its Declarant's Reserved Rights as provided for in the Master Community Governing Documents to annex the Property, Units and Common Elements into the Master Community.

IN WITNESS WHEREOF, the Owner, as Declarant executes this Map as of the Effective Date and has executed the Declaration to define the character, duration, rights, duties, obligations and limitations of condominium common interest ownership.

OWNER:
TCH Belvedere Phase One, LLC
 a Delaware limited liability company
 T C H BELVEDERE PHASE ONE LLC

By: TCH Belvedere Development, LLC
 a Delaware limited liability company
 Its: Manager

By: TCH Belvedere Management, LLC
 a Delaware limited liability company
 Its: Sole Member

By: TCH Belvedere Partners, LLC
 a Delaware limited liability company
 Its: Sole Member

By: *Thomas G. Kennedy*
 Thomas G. Kennedy, Attorney-in-fact for
 Daniel D. Boeckman, Manager

State of Colorado }
 County San Miguel } SS: *Doris Ruffe*
 Filed for record at AUGUST 1 2005
 and duly recorded in plat 3498-3504
 book DORIS RUFFE page
 By: *Doris Ruffe*
 County Clerk & Recorder
 Fees: \$71.00

PAGE 3498

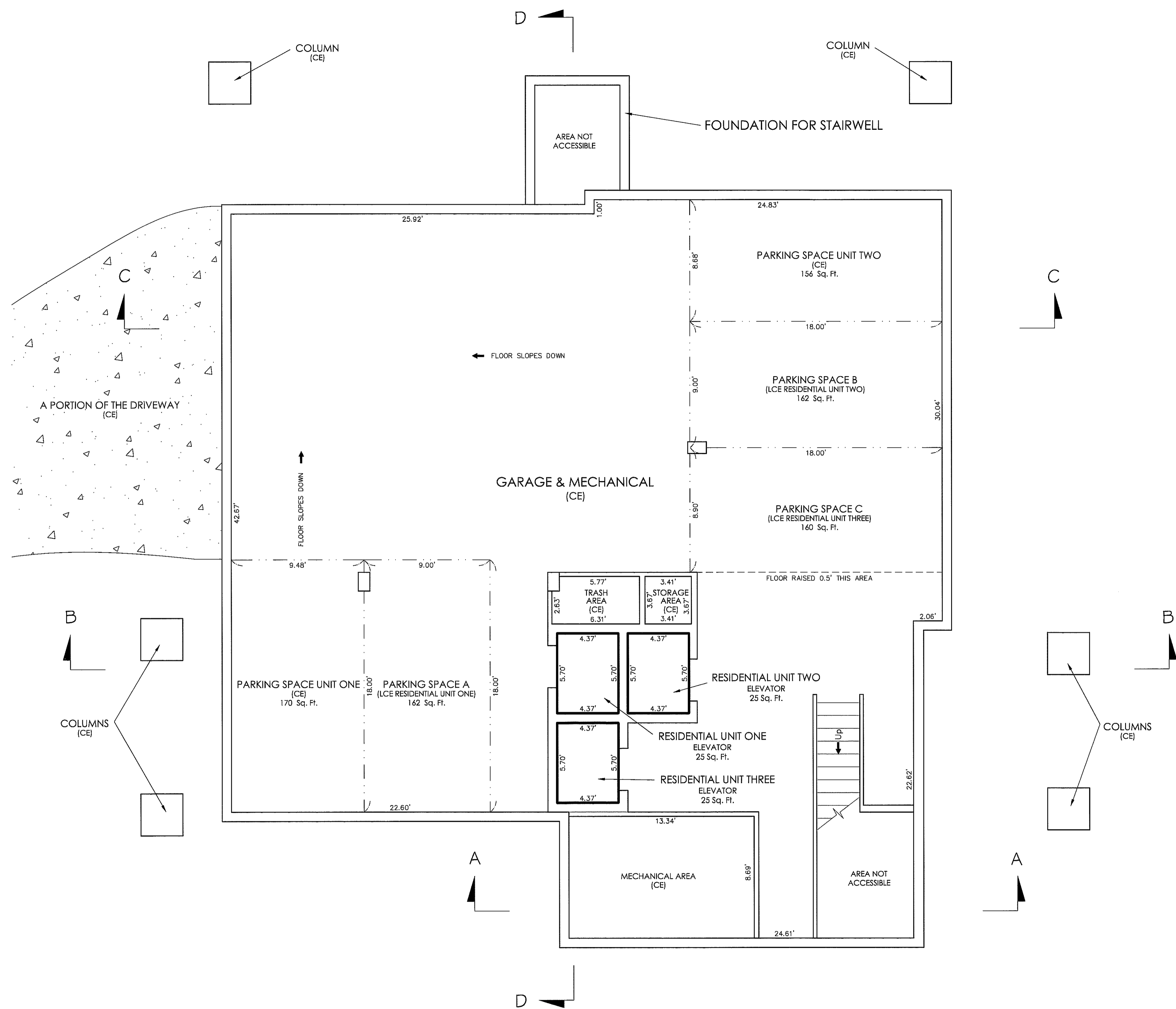
BELVEDERE PARK CONDOMINIUMS - PHASE ONE CONDOMINIUM MAP

PARCEL ONE, BELVEDERE PARK CONDOMINIUMS, A COLORADO COMMON INTEREST COMMUNITY IN THE TOWN OF MOUNTAIN VILLAGE, SAN MIGUEL COUNTY, COLORADO SITUATED IN THE N.E. 1/4, SECTION 3, TOWNSHIP 42 NORTH, RANGE 9 WEST, N.M.P.M.

SAN JUAN SURVEYING INC.
 SURVEYING * PLANNING
 160 D SOCIETY DRIVE TELLURIDE, CO. 81435
 (970) 728 - 1128 (970) 728 - 9201 fax
 SJS@TELLURIDECOLORADO.NET

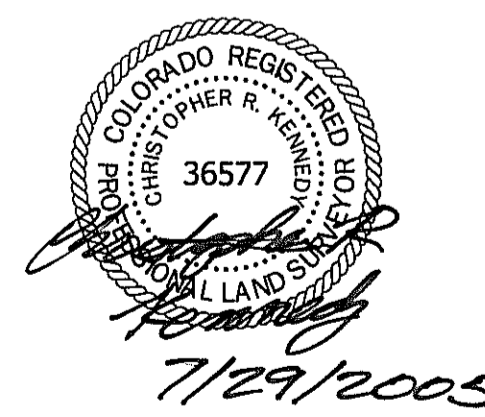
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GARAGE LEVEL PLAN

SCALE: 1" = 4'



Page 3499

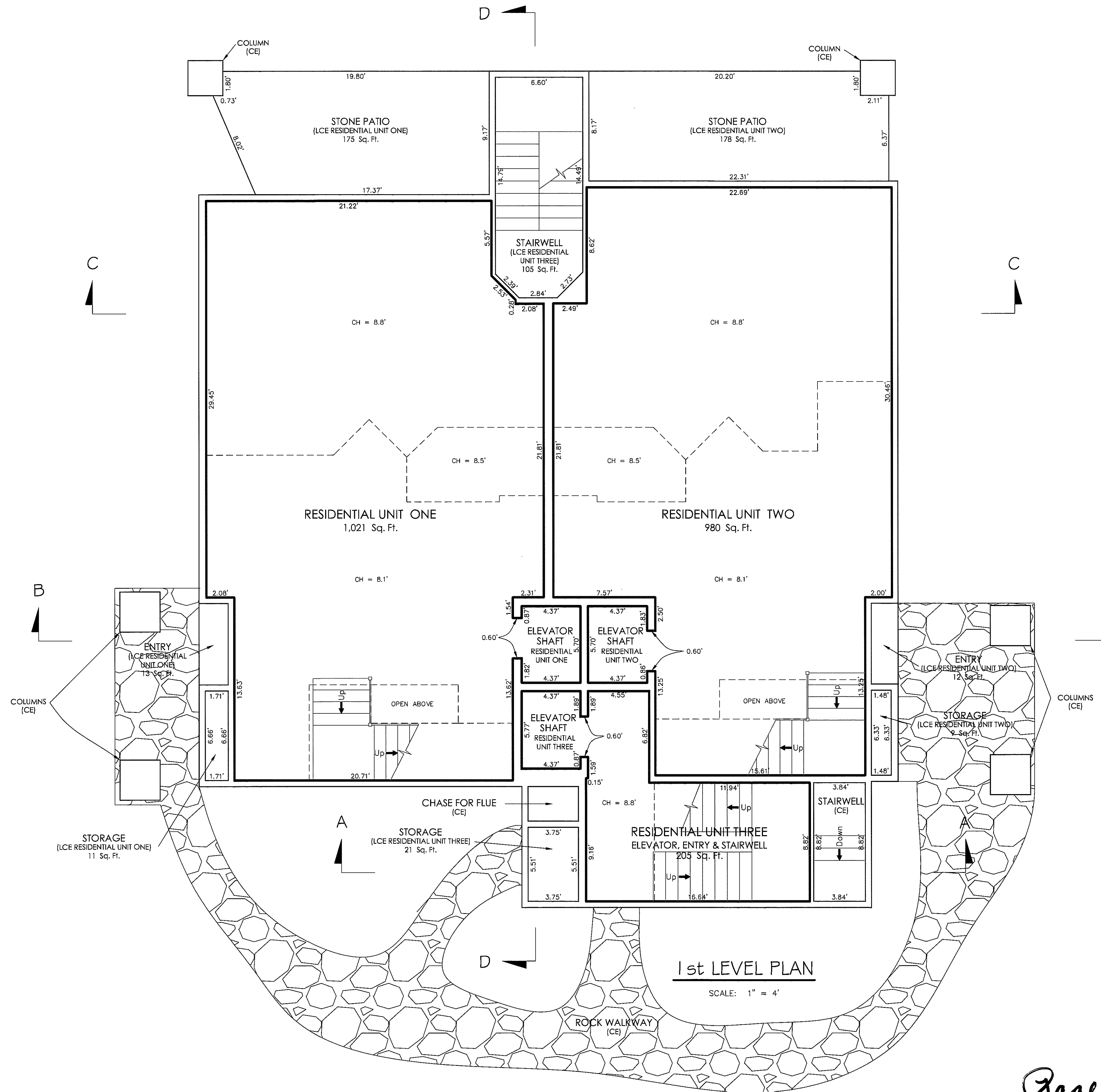
**BELVEDERE PARK CONDOMINIUMS -
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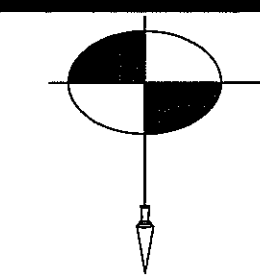


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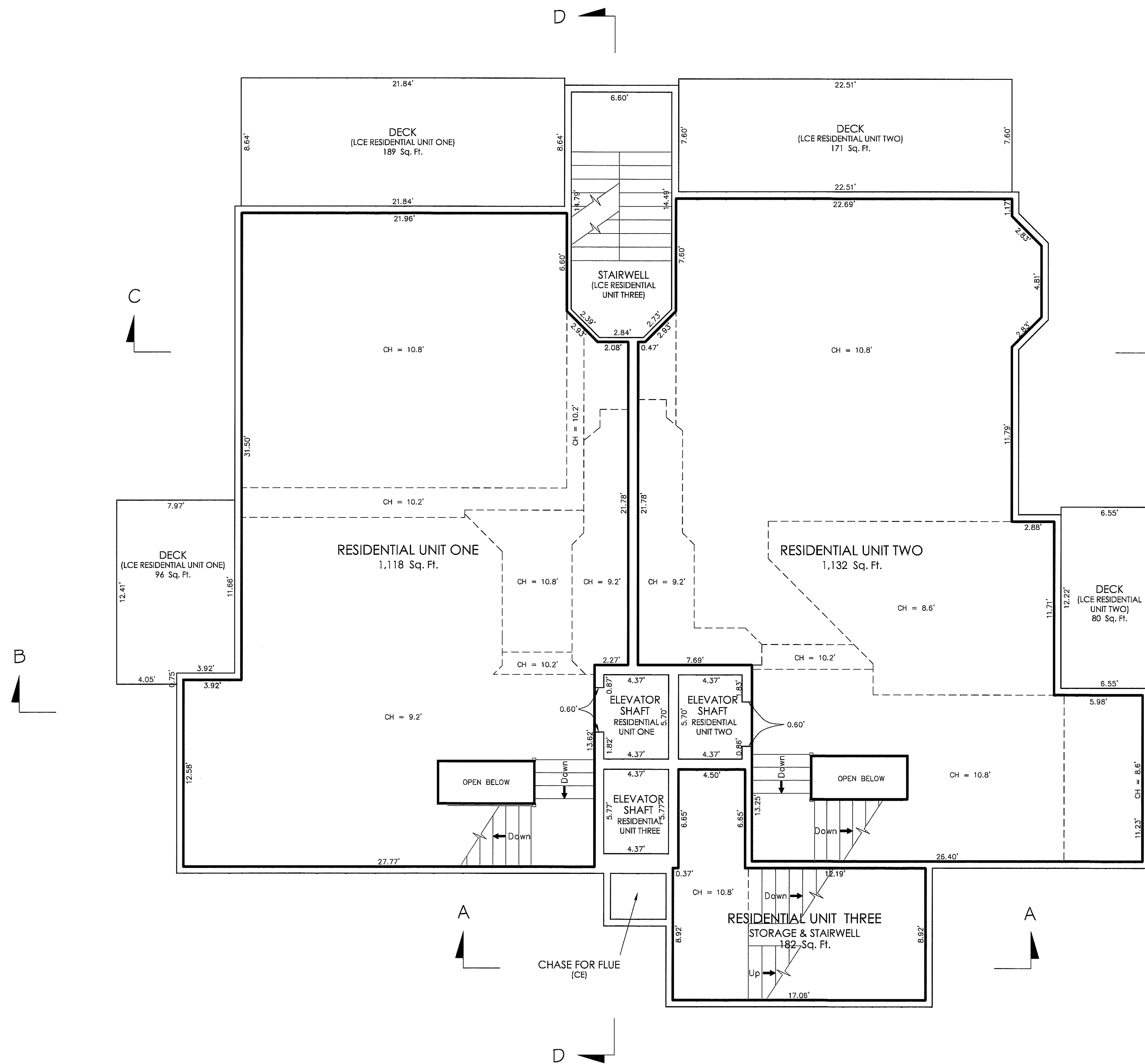
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PHASE ONE CONDOMINIUM MAP**

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 COMMUNITY IN THE TOWN OF MOUNTAIN VILLAGE, SAN MIGUEL COUNTY, COLORADO
 SITUATED IN THE N.E. 1/4, SECTION 3,
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2nd LEVEL PLAN

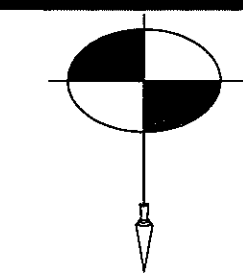
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BELVEDERE PARK CONDOMINIUMS - PHASE ONE CONDOMINIUM MAP

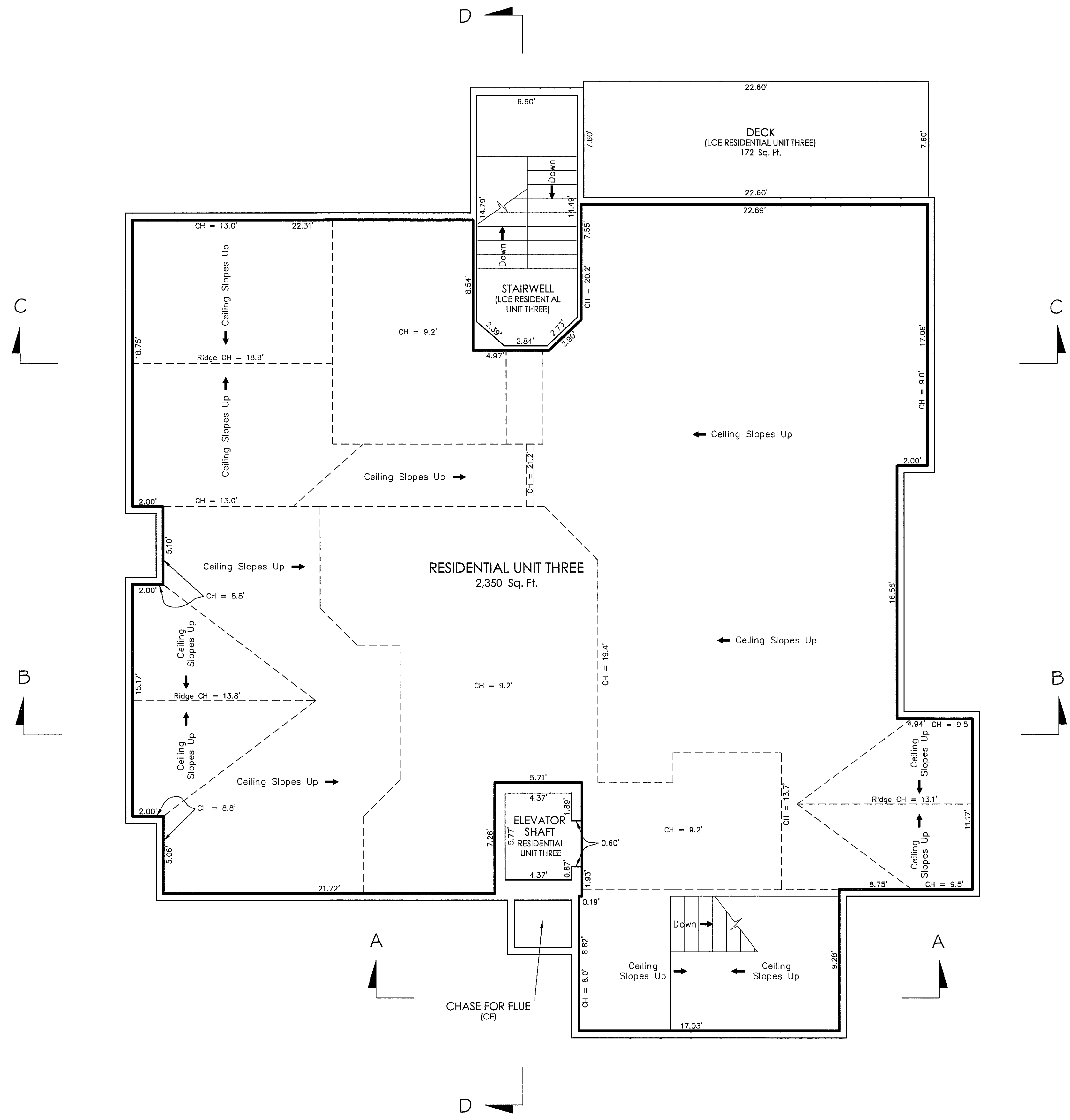
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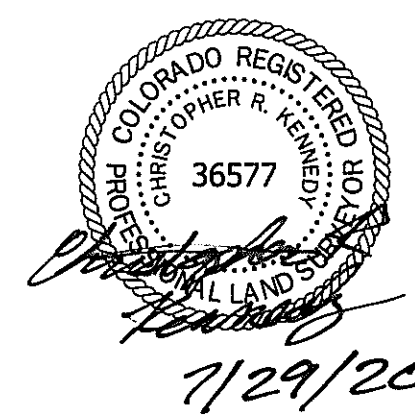
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3rd LEVEL PLAN

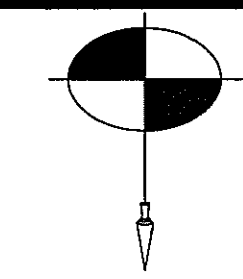
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Page 3502

**BELVEDERE PARK CONDOMINIUMS -
PHASE ONE CONDOMINIUM MAP**

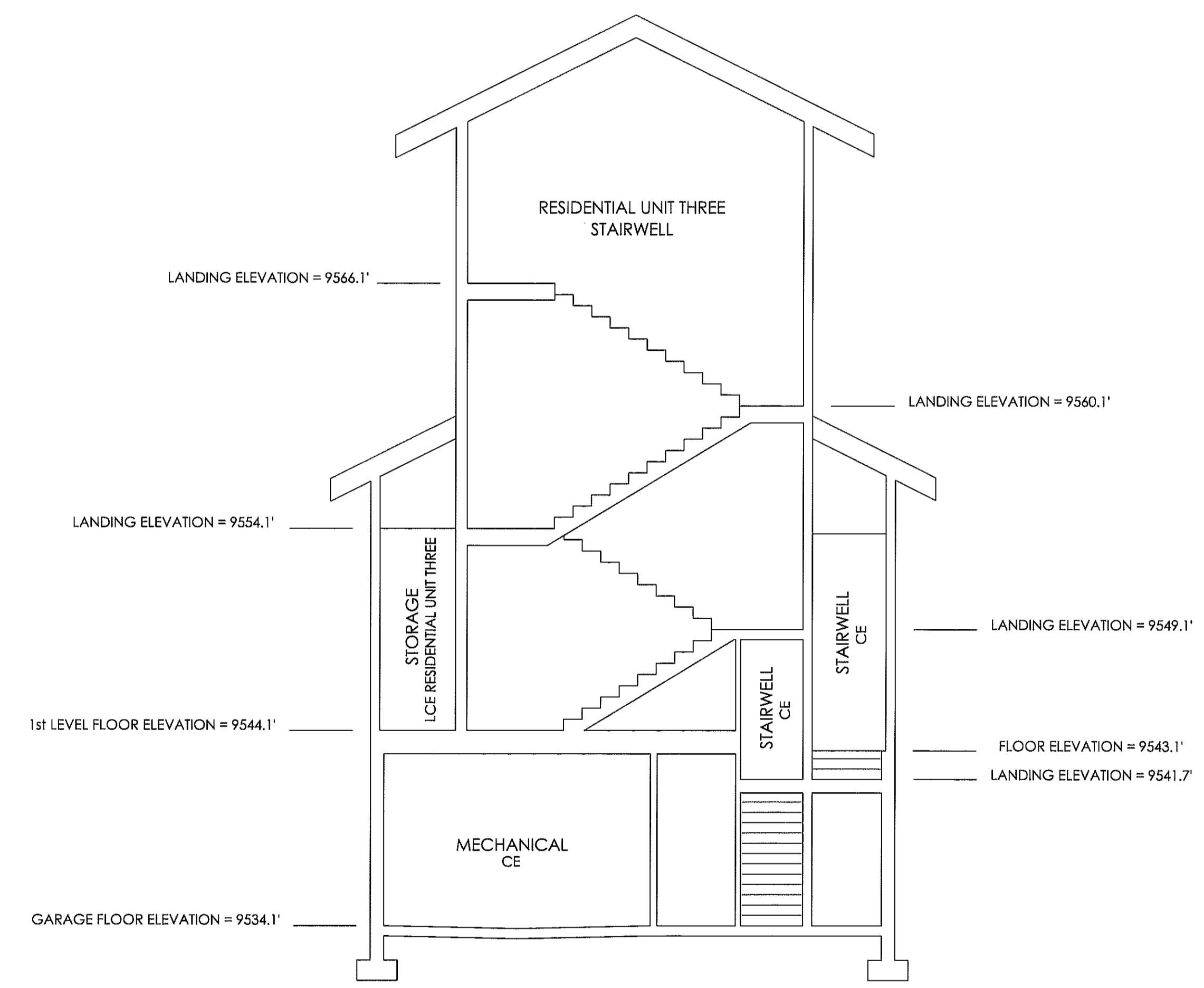
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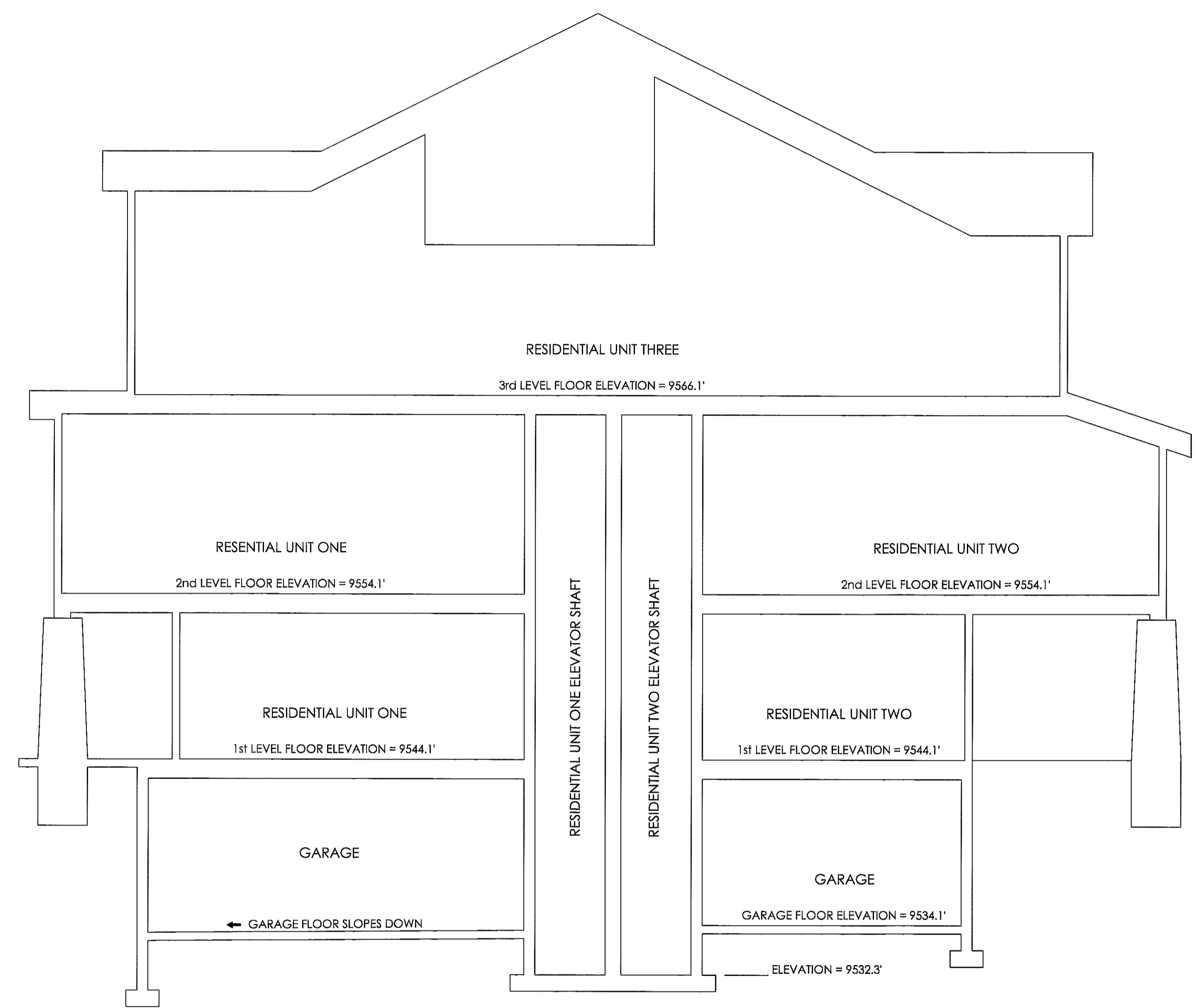
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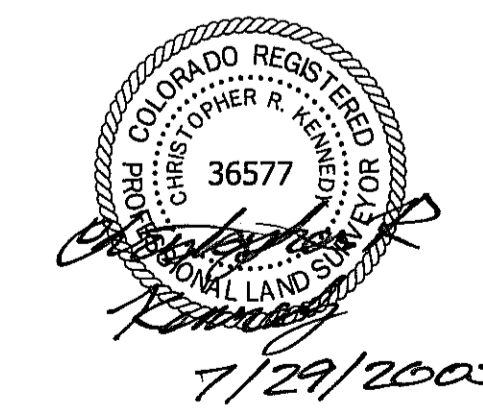
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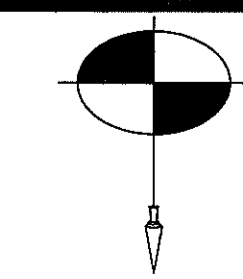
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Page 3503

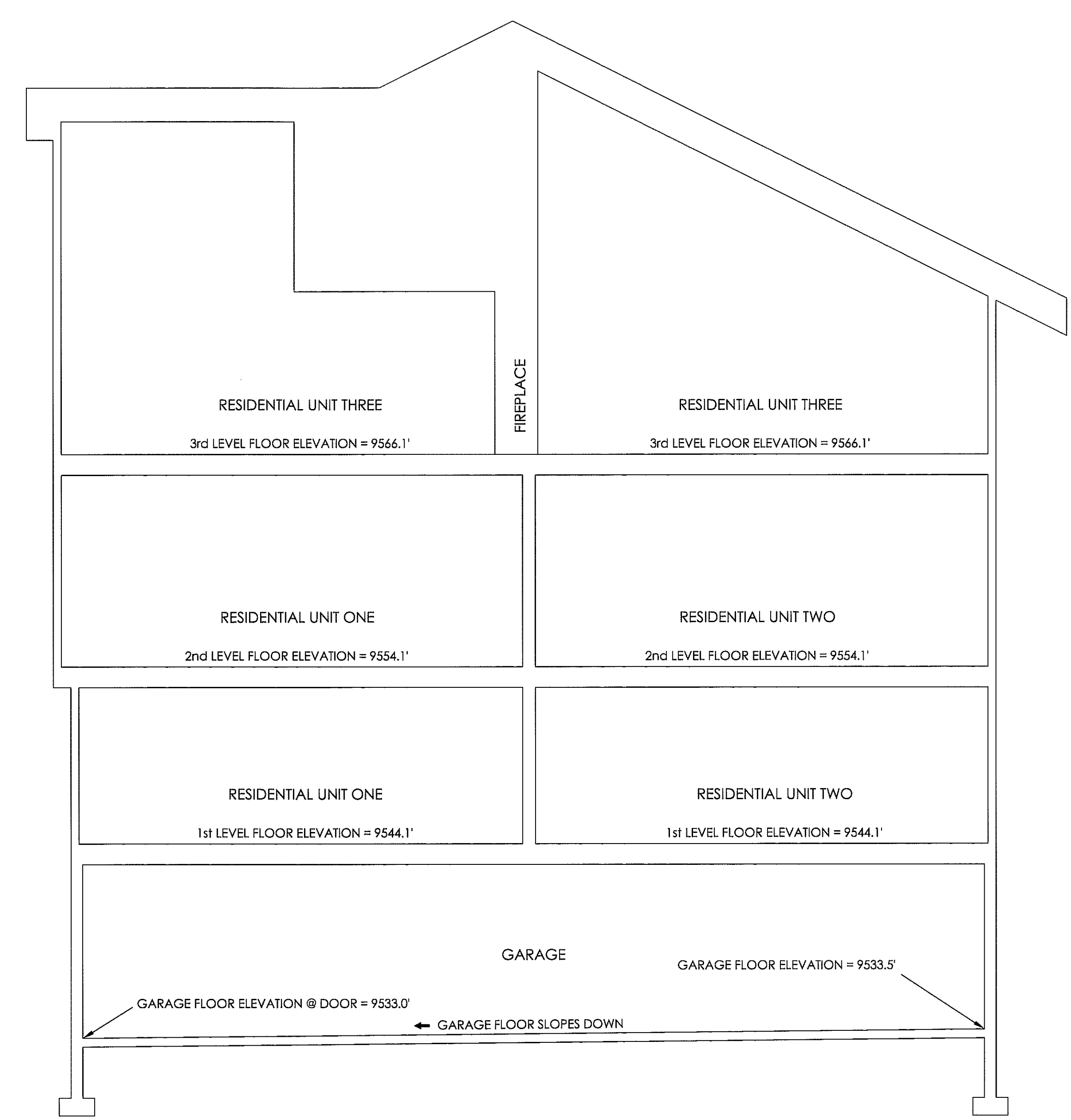
**BELVEDERE PARK CONDOMINIUMS -
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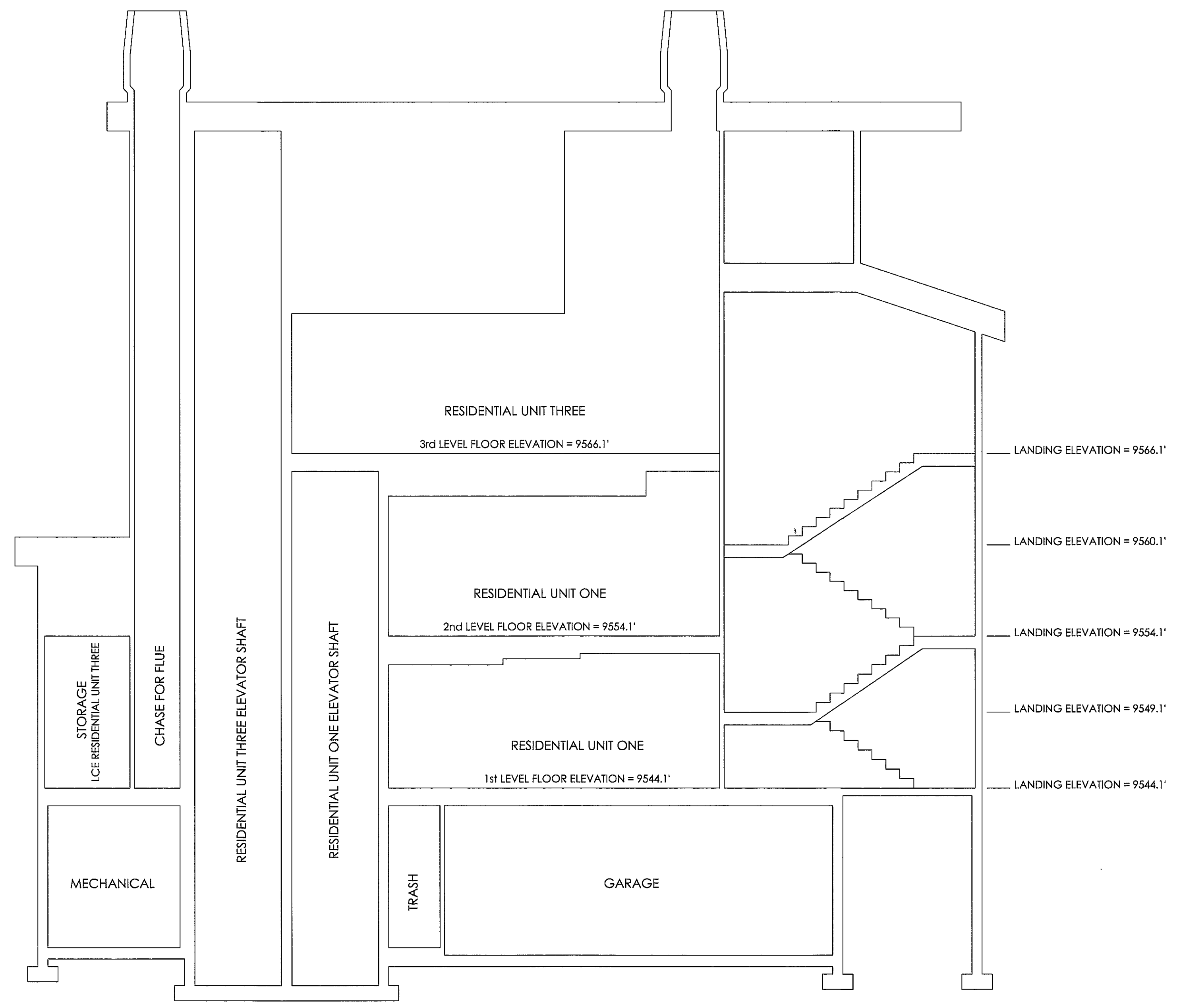


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SECTION C-C
SCALE: 1" = 5'



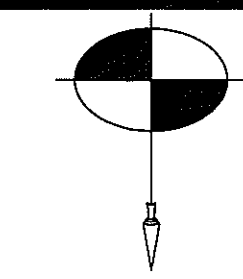
SECTION D-D
SCALE: 1" = 5'

Professional Seal
 COLORADO REGISTERED SURVEYOR
 36577
 J. J. ...
 7/29/2005

Page 3504

**BELVEDERE PARK CONDOMINIUMS -
PHASE ONE CONDOMINIUM MAP**

PARCEL ONE, BELVEDERE PARK CONDOMINIUMS, A COLORADO COMMON INTEREST COMMUNITY IN THE TOWN OF MOUNTAIN VILLAGE, SAN MIGUEL COUNTY, COLORADO SITUATED IN THE N.E. 1/4, SECTION 3, TOWNSHIP 42 NORTH, RANGE 9 WEST, N.M.P.M.

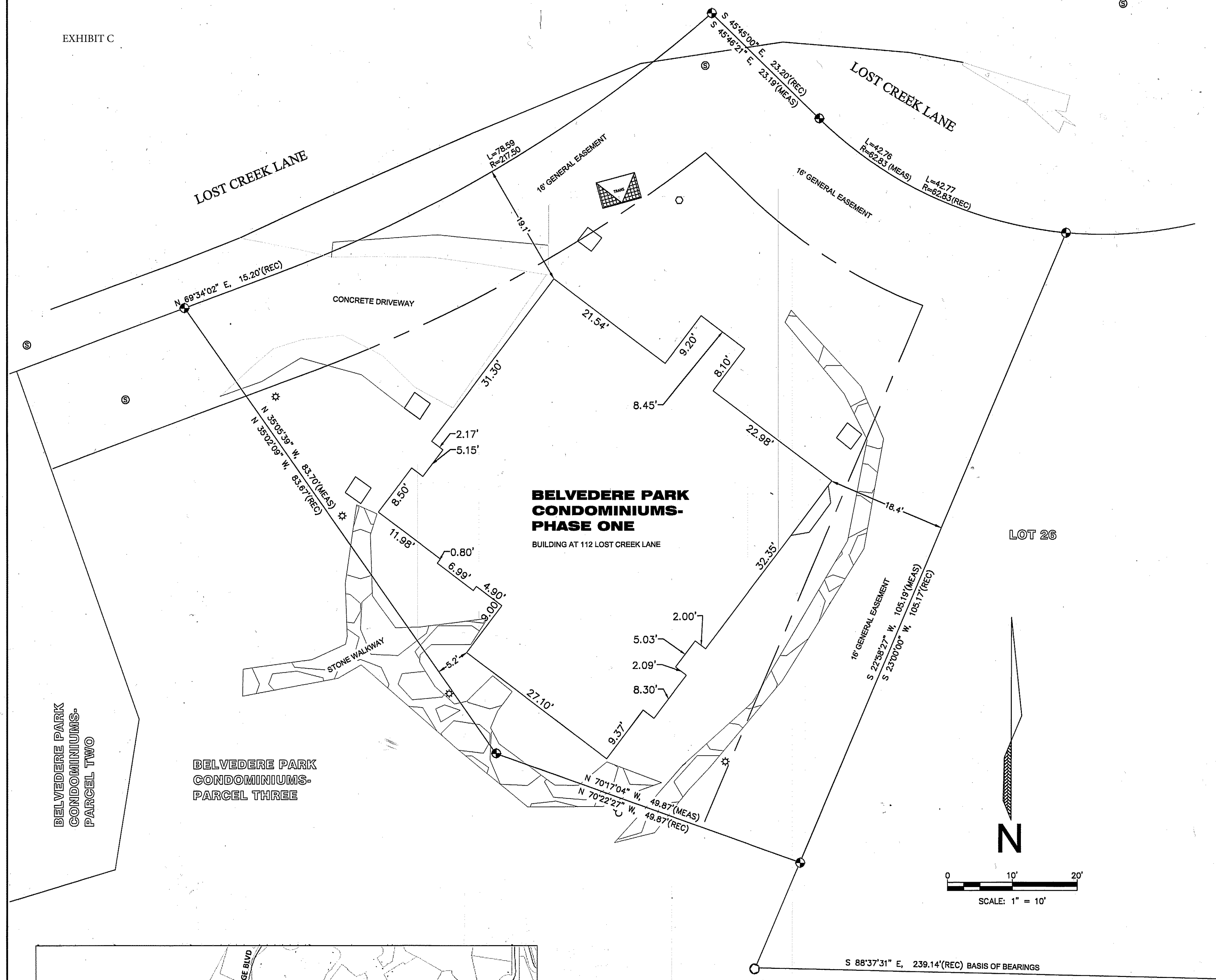


SAN JUAN SURVEYING INC.
 SURVEYING * PLANNING
 160 D SOCIETY DRIVE TELLURIDE, CO. 81435
 (970) 728 - 1128 (970) 728 - 9201 fax
 SJS@TELLURIDECOLORADO.NET

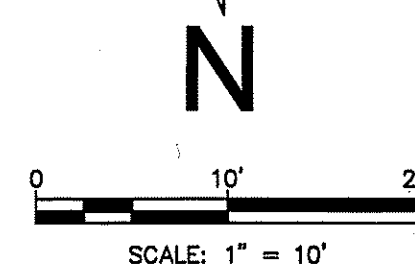
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|-----------------|---------|
| DATE: | 7/28/05 |
| JOB: | 03110 |
| DRAWN BY: | JAL |
| CHECKED BY: | CRK |
| REVISION DATES: | |
| SHEET: | 7 OF 7 |

C:\Users\jwalsh\Documents\376604\376604.dwg 7/28/05 10:52:17 AM

EXHIBIT C



BELVEDERE PARK CONDOMINIUMS - PHASE ONE
 BUILDING AT 112 LOST CREEK LANE

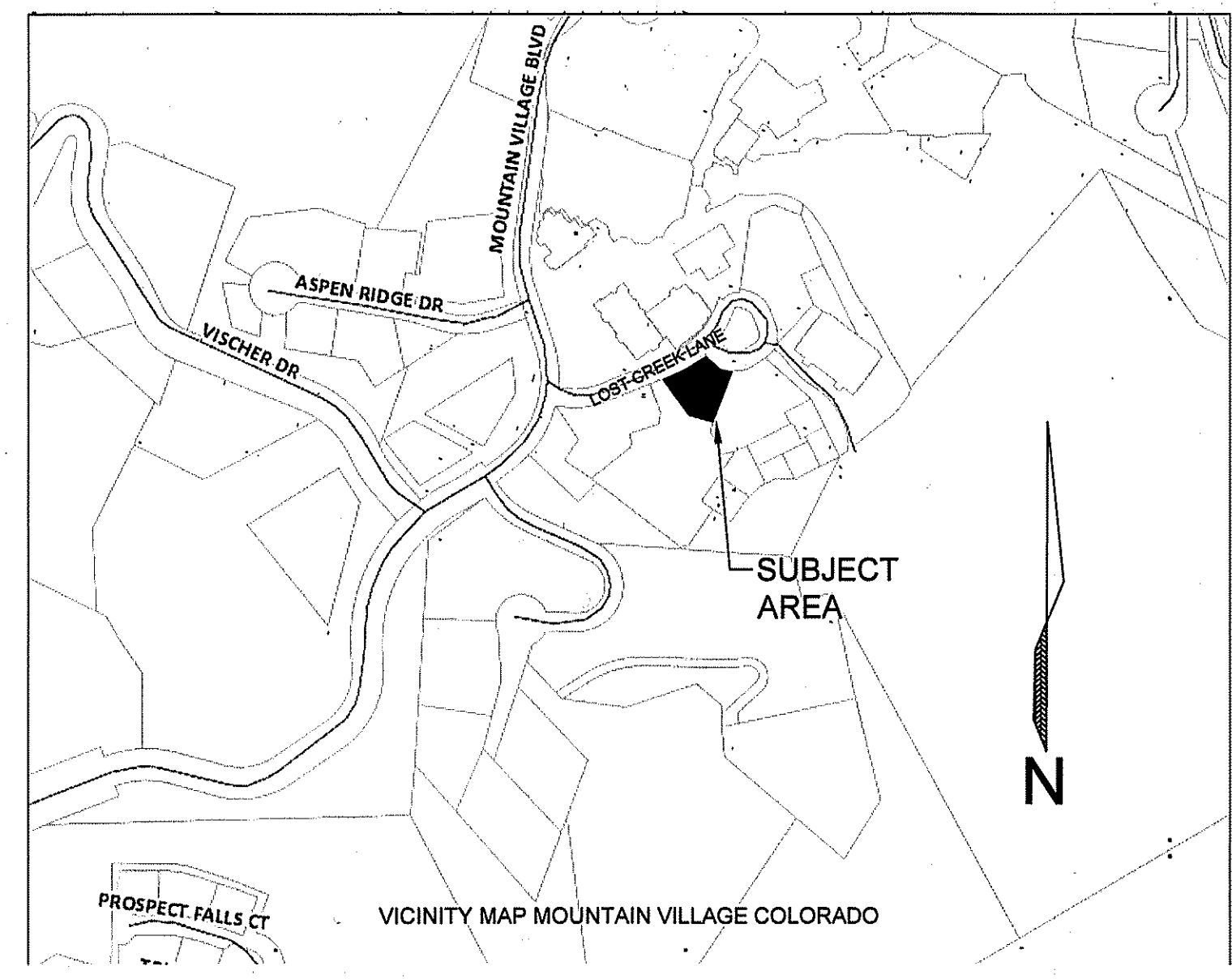


LEGEND:

- ⊕ SET #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 38014
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 320632
- ⚡ TRANSFORMER
- ⊙ TELEPHONE PEDESTAL
- ⊙ SEWER MAN HOLE
- ⊙ FIRE HYDRANT
- ⊙ LIGHT
- (REC) INDICATES RECORD BEARING AND DISTANCE
- (MEAS) INDICATES FIELD MEASURED BEARING AND DISTANCE

| UNIT | SQUARE FEET | DESIGNATION | PARKING |
|----------------------------|-------------|------------------|----------|
| RESIDENTIAL UNIT ONE | 2164* | RESIDENTIAL UNIT | 1 SPACE |
| RESIDENTIAL UNIT TWO-THREE | 4903 | RESIDENTIAL UNIT | 2 SPACES |
| PARKING SPACE UNIT ONE | 170 | PARKING | N/A |
| PARKING SPACE UNIT TWO | 156 | PARKING | N/A |

* DERIVED FROM PLAT RECORDED AT RECEPTION No. 376604



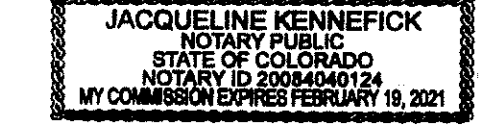
ASSOCIATION:

Belvedere Park Condominiums - Phase One Owners Association, Inc., a Colorado nonprofit corporation
 By: [Signature] Date: 2/1/21
 Randy Podolsky, Vice President
 Name: n/a Date: _____
 State of Colorado
 County of San Miguel

Subscribed to and acknowledged before me this 9th day of February, 2021, by Randy Podolsky

as the President of Belvedere Park Condominiums - Phase One Owners Association, Inc., a Colorado nonprofit corporation.

Witness my hand and official seal.
[Signature]
 Notary Public



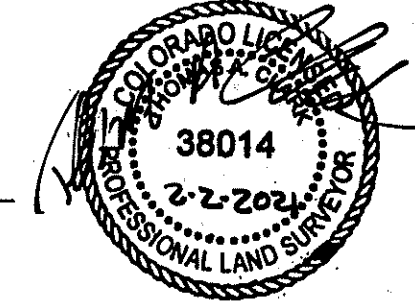
My commission expires: 2/19/2021

LAND SURVEYOR'S CERTIFICATE:

I, Thomas A. Clark, being Registered Land Surveyor in the State of Colorado, do hereby certify that this map amendment and survey of The Belvedere Park Condominiums, First Amendment to Condominium Map, Replat of Units 2 and 3 ("Map Amendment") (i) is made under my direct supervision, responsibility and checking; (ii) is true and accurate to the best of my knowledge and belief; (iii) is clear and legible; and (iv) contains all information required by C.R.S. 38-33.3-209.

Dated this 2nd day of February, 2021

[Signature]
 Thomas A. Clark PLS. 38014



NOTES:

- Easement research from Land Title Guarantee Company, Commitment No. TLR86008907-2 dated 04/18/2019 at 5:00 P.M.
- Elevation datum is unchanged from Map recorded 8/1/2005 at Plat Book 1, at page 3498.
- Dimensions and areas shown are measured to face of drywall or finished wall surface.
- NOTICE: According to Colorado law you must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.
- BASIS OF BEARINGS: Bearings are based on found monuments on the south line of Lot 26 as Recorded August 1, 2005 in Plat Book 1 at Page 3498.
- According to FEMA Flood Insurance Rate Map #08113C0287D, effective on 9/30/1992, this parcel is in Zone X; Areas determined to be outside of the 100-year flood plain.
- The following abbreviations are defined for this Condominium Map:
 L.C.E. Limited Common Element
 C.E. Common Element
 Sq. Ft. Square Feet
 C.H. Ceiling Height
- The Belvedere Park Condominiums, a condominium community (the "Community") exists in accordance with the following described documents (the "Governing Documents"):
 a. Declaration of Covenants, Conditions and Restrictions for The Belvedere Condominiums A Condominium Project Located in the Town of Mountain Village, County of San Miguel State of Colorado recorded on August 1, 2005 in the Office of the San Miguel County Clerk and Recorder (the "Official Records") at Reception No. 376603; County of San Miguel, State of Colorado (collectively referred to as the "Declaration");
 b. Condominium Map recorded on August 8, 2005, in Plat Book 1 at page 3498, ("Original Map"); and
 c. the Articles of Incorporation dated July 22, 2005, including any and all amendments for Belvedere Park Condominiums - Phase One Owners Association, Inc. (the "Association").
- The Community consists of certain Common Elements and Units as depicted and described in the Governing Documents, which Units are each separately owned by certain "Owners" and which Common Elements are managed and administered by the Association for and on behalf of the Owners.
- The Association and Owners have approved of this Map Amendment to address the following:
 a. to approve of and depict certain modifications to combine units known as Residential Unit 2 and Residential Unit 3; by combining such units into one unit, which shall hereinafter be described and depicted as Residential Unit 2-3 (the "Subject Unit").
 Accordingly, the purpose of this Map Amendment is to: (a) approve, establish, clarify, and confirm the respective boundaries the Subject Unit as described and depicted on this Map Amendment, and (b) state, acknowledge and confirm that, with the recordation of this Map Amendment that the Subject Unit now is comprised of the Units previously known as Residential Unit 2 and Residential Unit 3.
- The Association has secured the requisite approvals to authorize and direct the Association to execute and record this Map Amendment, and take any and all such other and further actions as contemplated hereunder.
- No new Right of Ways or Easements are created by this Map Amendment and all previous covenants, condition, restriction, or limitation remain in place except as noted.
- The elevator for former Residential Unit 2 has been removed. The former Limited Common Element (LCE) space from the elevator on the Garage Level is now LCE storage for the benefit of Unit 2-3.
- The former LCE space from the removed Unit 2 elevator on the Garage Level is now LCE Storage for Unit 2-3. The former LCE space from the removed Unit 2 elevator on the First Level is now part of Unit 2-3 and has been deeded to the Unit 2-3 Owner by the Association pursuant to the quit claim deed recorded herewith. The former LCE space from the removed Unit 2 elevator on the Second Level is now part of Unit 2-3 and has been deeded to the Unit 2-3 Owner by the Association pursuant to the quit claim deed recorded herewith.
- No changes are made to Residential Unit One or any of the exterior of the building as recorded in Plat book 1, at page 3498 by this Map Amendment.
- Approval of this plan may create a vested property right pursuant to Article 68 of Title 24, C.R.S., as amended.
- The Town of Mountain Village parking requirements are satisfied for the newly created Unit 2-3. There are two (2) LCE parking spaces in the garage for Unit 2-3, being Parking Space B and Parking Space C
- The Unit combination and other adjustments reflected in this Map have been approved by the Town of Mountain Village pursuant to Ordinance #2020-04, recorded herewith.
- Prior to the Unit combination effected by this Map, the square footage of Unit 2 was 2137 sf, and the square footage of Unit 3 was 2762 sf. New Unit 2-3 is 4903 sf. The adjusted allocated interests of all Units is set forth in the First Amendment to Condominium Declaration recorded herewith.

FORMER PROPERTY DESCRIPTION:

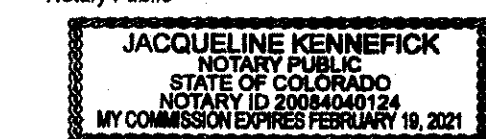
CONDOMINIUM UNIT 2 AND CONDOMINIUM UNIT 3, BELVEDERE PARK CONDOMINIUMS - PHASE ONE, ACCORDING TO THE BELVEDERE PARK CONDOMINIUMS - PHASE ONE CONDOMINIUM MAP RECORDED AUGUST 1, 2005 IN PLAT BOOK 1 AT PAGE 3498, AND AS DEFINED AND DESCRIBED IN THE CONDOMINIUM DECLARATION FOR BELVEDERE PARK CONDOMINIUMS - PHASE ONE RECORDED AUGUST 1, 2005 UNDER RECEPTION NO. 376603, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

CERTIFICATE OF OWNERSHIP:

Residential Unit 2-3 Owner:
 Jefferson W. Kirby and Karen Kirby
 By: [Signature] Date: Feb. 5, 2021
 Jefferson W. Kirby, Owner
 By: [Signature] Date: 2/5/2021
 Karen Kirby, Owner
 Subscribed to and acknowledged before me this 5th day of February, 2021, by Jefferson W. Kirby and Karen M. Kirby.

Witness my hand and official seal.

[Signature] My commission expires: 2/19/2021
 Notary Public



IN WITNESS WHEREOF, the Association and Owners have approved and consented to and do hereby duly adopt, execute, and deliver this Map Amendment, intending it to become effective as of _____, 2021 ("Effective Date").

TOWN OF MOUNTAIN VILLAGE COLORADO:

This Map Amendment is hereby approved as conforming to all applicable laws of the Town of Mountain Village.

[Signature] 2/21/2021
 Planning and Development Services Director
 Date

This Map Amendment and the associated density transfer and rezoning is approved by the Town of Mountain Village in accordance with the Ordinance recorded herewith.

[Signature] 03/08/21
 Laila Benitez, Mayor
 Date

TITLE INSURANCE CERTIFICATE:

Land Title Guarantee Company, a Colorado licensed title company, does hereby certify that we have examined the title to the Subject Unit herein shown on this Map Amendment and that the title to the Subject Unit is in the name of Jefferson W. Kirby and Karen M. Kirby and is free and clear of all liens and taxes except as follows: ad valorem taxes.

[Signature] 2/3/21
 Title Insurance Company Representative

COUNTY TREASURER'S CERTIFICATE:

I certify that according to the records in San Miguel County Treasurer's office, there are no liens against the Subject Unit, for unpaid State, County or Municipal ad valorem taxes or special assessments certified to the County Treasurer for collection.

[Signature] 2/12/2021
 County Treasurer
 Date



RECORDER'S CERTIFICATE:

This Map Amendment was filed for record in the Official Records on this 12th day of March, 2021, at

Reception Number 418845
 Time 10:12 AM

[Signature]
 San Miguel County Clerk

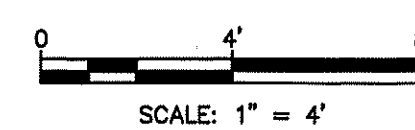
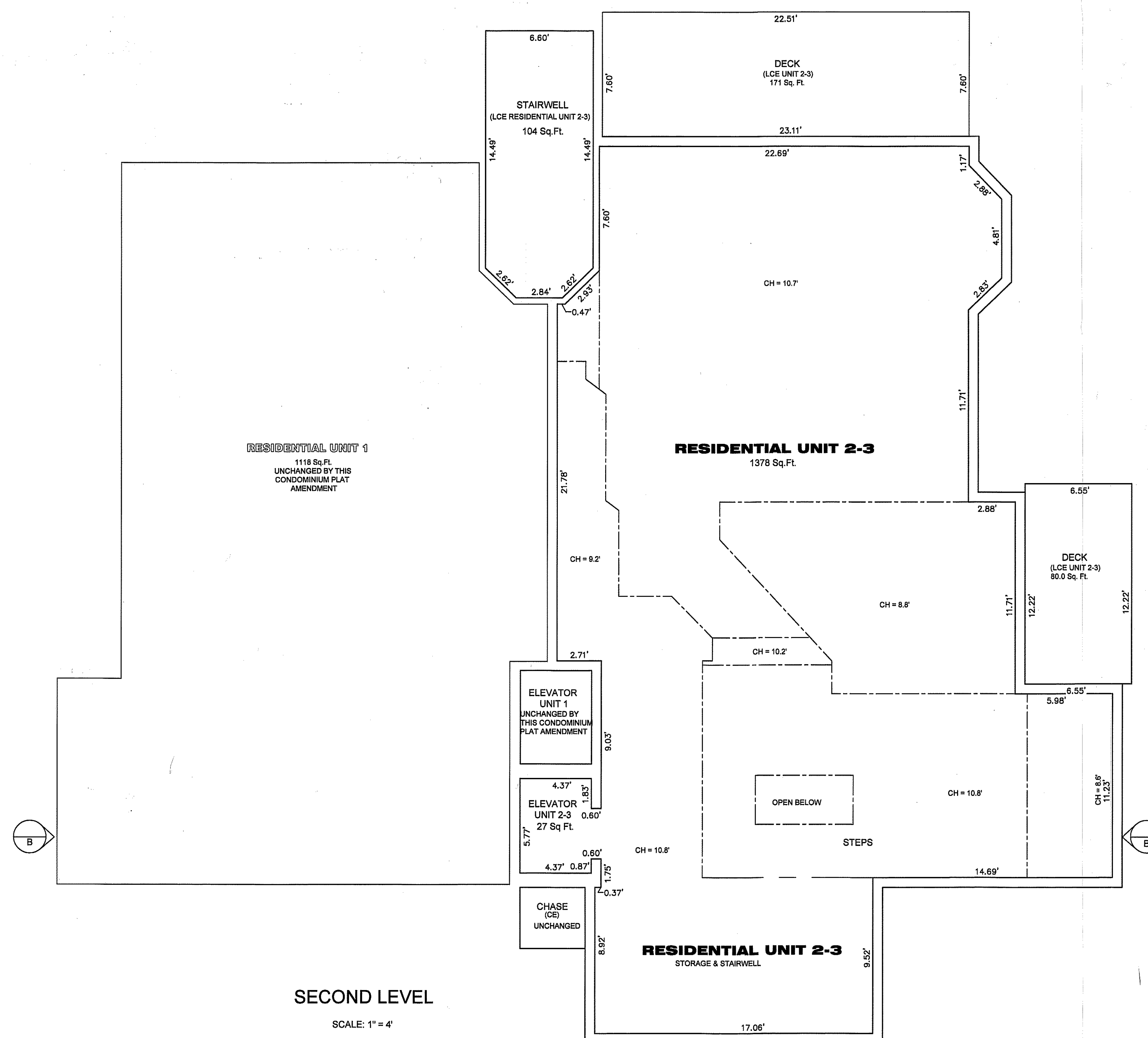
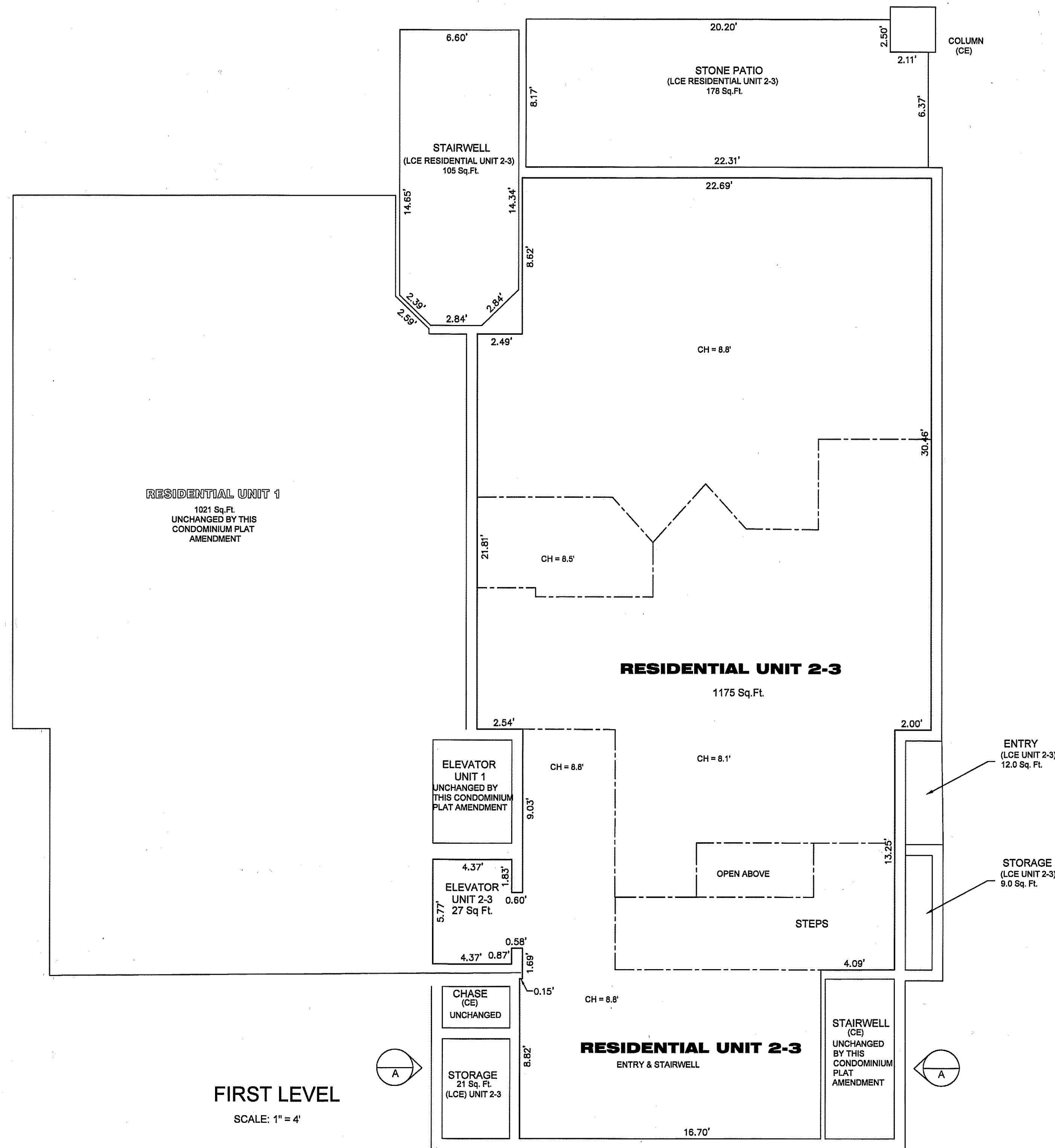


FIRST AMENDMENT TO BELVEDERE PARK CONDOMINIUMS - PHASE ONE CONDOMINIUM MAP

PARCEL ONE, BELVEDERE PARK CONDOMINIUMS, A COLORADO COMMON INTEREST COMMUNITY IN THE TOWN OF MOUNTAIN VILLAGE, SAN MIGUEL COUNTY, COLORADO SITUATED IN THE N.E. 1/4, SECTION 3, T42N, R9W, N.M.P.M.

ALL POINTS LAND SURVEY L.L.C.
 PO BOX 754 OPHIR, COLORADO 81435 (970) 708-9694

| | | |
|----------------|------------|--------------|
| DATE: 9/3/2019 | JOB# 19022 | SHEET-1-OF-4 |
| DRAWN BY TC | | |
| CHECKED BY JCC | | |

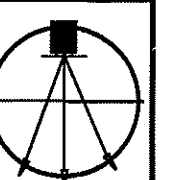


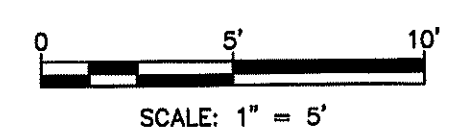
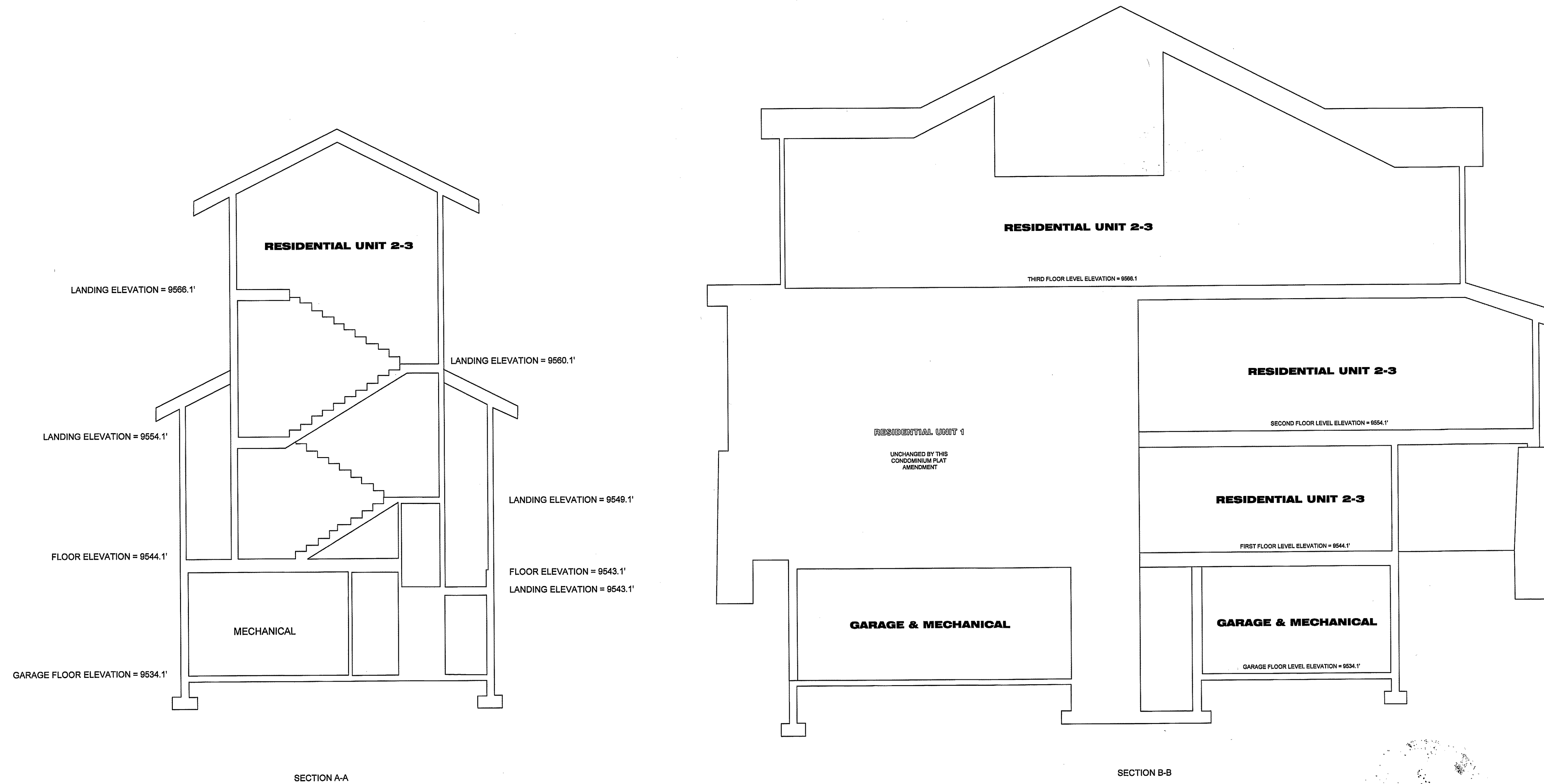
**FIRST AMENDMENT TO BELVEDERE PARK
CONDOMINIUMS - PHASE ONE CONDOMINIUM MAP**

PARCEL ONE, BELVEDERE PARK CONDOMINIUMS, A COLORADO COMMON INTEREST COMMUNITY IN THE TOWN OF MOUNTAIN VILLAGE, SAN MIGUEL COUNTY, COLORADO SITUATED IN THE N.E. 1/4, SECTION 3, T42N, R9W, N.M.P.M.

ALL POINTS LAND SURVEY L.L.C.
PO BOX 754 OPHIR, COLORADO 81435
(970) 708-9694

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|-----------------|--------------|-------------|
| DATE: 9/3/2019 | DRAWN BY: TC | JOB#: 19022 |
| CHECKED BY: JCC | SHEET-2-OF-4 | |



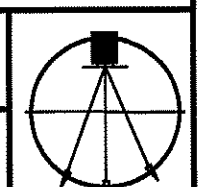


**FIRST AMENDMENT TO BELVEDERE PARK
CONDOMINIUMS - PHASE ONE CONDOMINIUM MAP**

PARCEL ONE, BELVEDERE PARK CONDOMINIUMS, A COLORADO COMMON INTEREST COMMUNITY IN THE TOWN OF MOUNTAIN VILLAGE, SAN MIGUEL COUNTY, COLORADO SITUATED IN THE N.E. 1/4, SECTION 3, T42N, R9W, N.M.P.M.

ALL POINTS LAND SURVEY L.L.C.
PO BOX 754 OPHIR, COLORADO 81435 (970) 708-9694

| | |
|----------------|--------------|
| DATE: 9/3/2019 | JOB# 19022 |
| DRAWN BY TC | SHEET-4-OF-4 |
| CHECKED BY | |





Agenda Item No. 7
**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

TO: Mountain Village Design Review Board

FROM: John Miller, Community Housing Program Director

FOR: Design Review Board Meeting; October 7, 2021

DATE: September 27, 2021

RE: Consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 729R-6, 89 Pennington Place, pursuant to CDC Section 17.4.11.

BACKGROUND: Staff is requesting a continuation of the Final Architecture Review to the November 4, 2021 Regular Meeting. The memo is being provided not to open the public hearing but solely for the purpose of the DRB providing a motion to continue to the Regular November 4 meeting date.

DRB also has the ability to table the item, which would require the applicant to re-notice the project at a time in the future.

RECOMMENDED MOTION: I move to continue, the consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 729R-6, 89 Pennington Place, pursuant to CDC Section 17.4.11.to the Regular Design Review Board Meeting on August 5, 2021.

/JJM



AGENDA ITEM 9
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board
FROM: Amy Ward, Planner
FOR: Design Review Board Public Hearing; October 7, 2021
DATE: September 29, 2021
RE: Staff Memo – Initial Architecture and Site Review (IASR) Lot 515, 134 Russell Drive

APPLICATION OVERVIEW: New Single-Family Home on Lot 515

PROJECT GEOGRAPHY

Legal Description: LOT 515, TELLURIDE MOUNTAIN VILLAGE, FILING 2, ACCORDING TO THE PLAT RECORDED MARCH 3, 1987 IN PLAT BOOK 1 AT PAGE 702, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Address: 134 Russell Drive

Applicant/Agent: Dylan Henderson, Salt Architects

Owner: GL Telluride, LP, A Texas Limited Partnership

Zoning: Single-Family

Existing Use: Vacant

Proposed Use: Single-Family

Lot Size: .54 acres

Adjacent Land Uses:

- **North:** Single-family
- **South:** Open space
- **East:** Single-family
- **West:** Single-family



Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comm

Case Summary: Dylan Henderson of Salt Architects is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home on Lot 515, 134 Russell Drive. The Lot is approximately .54 acres and is zoned Single-family. The overall square footage of the home is approximately 3,157

gross square feet, with 2,634 livable square feet, and provides 2 interior parking spaces within the proposed garage and 2 exterior spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

| <u>CDC Provision</u> | <u>Requirement</u> | <u>Proposed</u> |
|-------------------------------------|-----------------------|------------------------------------|
| Maximum Building Height | 35' (shed) Maximum | 24' 2" |
| Maximum Avg. Building Height | 30' (shed) Maximum | 14' 9" |
| Maximum Lot Coverage | 40% (9,430 s.f.) | 13.4% (3,158 s.f.) |
| General Easement Setbacks | No encroachment | Grading, hammerhead, and hardscape |
| Roof Pitch | | |
| Primary | | 3:12 |
| Secondary | | 3.5:12 |
| Exterior Material | | |
| Stone | 35% minimum | 35% |
| Windows/Doors | 40% maximum | 22% |
| Parking | 2 interior/2 exterior | 2/2 |

DRB Specific Approval:

- 1) Metal fascia
- 2) GE Encroachments – Retaining wall, hammerhead and landscape grading
- 3) Tandem Parking

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates a combination of shed roof forms. Homes with a primary shed roof form are granted a maximum building height of 35 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: Staff has determined that the primary roof form for this home is a shed and therefore granted a maximum height of 35 feet. The applicant has calculated a max height of 24' 2" and a max average height of 14'9". The home appears to meet the requirements for both max and max average height. The plan set demonstrates height compliance with a parallel plane analysis that shows both existing and proposed grade.

17.3.14: General Easement Setbacks

Lot 515 is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide

for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The Driveway as shown currently takes access from Russell Drive and crosses the General Easement to the homesite.*
- *Utilities: Given Lot 515's location and the location of the existing utilities, the GE will need to be crossed at the northwest corner of the GE, the sewer is proposed to cross in the center of the northern GE, accessing utilities within Russell Drive.*
- *Landscaping: There is proposed new planting in all of the GE areas surrounding the property. The address monument is within the northwestern GE as well.*

The proposal also includes some GE encroachments requiring specific DRB approval:

- *There is a retaining wall and associated hammerhead in the northern GE.*
- *There is landscape grading for the creation of a berm in the northern GE.*

Staff: Lot 515 is just over half an acre in size and even though the square footage of the home is smaller than other homes in the area, the site is still challenging to accommodate all of the required site elements. The southeast and southwest corners of the property are encumbered by wetlands, making the siting of a hammerhead for turn-around difficult. DRB should discuss whether the encroachment for the hammerhead is appropriate given the restrictive site conditions.

The creation of the berm in the northern GE will provide some exterior living space that is buffered from the road. The berm is approximately 5' tall and will also be planted with numerous trees. The combination of berm and tree plantings will help serve to visually buffer the home from Russell Drive. If DRB finds this encroachment allowable, a specific approval should be granted.

Regardless of the encroachment, any development within the General Easement will require the owner and the Town to enter into a GE Encroachment Agreement as part of a condition of approval.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The home is a contemporary form, however the choice of traditionally used mountain style materials such as cut stone, stained cedar siding and steel accents reflect an alpine style. The prominent stone chimney also plays a role in reinforcing the mountain

vernacular. The stone base surrounding the home as well as the black clad windows and doors should create an exterior capable of withstanding our high alpine environment. The roof is a black clad metal as well. Overall, it appears that the design is visually appealing and would fit within the existing Mountain Village Design Theme.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: Lot 515 gently slopes to the east. There are no existing trees on the site. The applicant had little choice on the siting of the home due to the constraints of the two delineated wetlands in addition to the GE setbacks. Staff believes that the creation of the berm to the north of the home in combination with the proposed landscaping will help the home blend into the existing landform.

17.5.6: Building Design

The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation.

Staff: The stone base of the home provides the first grounding element. This stone is continued all the way up to the roof in the connecting element between the garage and the main living area and mirrored on the other side of the living area by the stone chimney. These vertical stone elements seem to tie the taller shed roof forms into the grounded base of the home.

There are no raised decks, only ground level patios proposed in a large format fond du lac flagstone that also portrays a sense of mass extending out into the landscape.

The proposed cedar siding is installed horizontally, however more detail should be provided prior to final on the detail of how it will be installed. In the renderings, the fascia appears to be metal, and the soffit appears to be cedar to match the wood siding, however this should be clarified prior to final review. If the fascia is indeed metal and the DRB finds this appropriate than a specific approval should be granted.

17.5.7: Grading and Drainage Design

Staff: There is a small area to the west of the home proposed to be regraded in order to create positive drainage away from the foundation. The extensive area of re-grading is to the north of the home within the building envelope, within the northern GE and within the road right of way. Public Works has expressed no concerns over this proposed berm. Staff's only concern is that during the addition of fill and the re-grading of the berm that appropriate measures are taken to protect the wetlands. This issue will be discussed later within this memo.

17.5.8: Parking Regulations

Staff: The applicant has shown two interior and two exterior parking spaces on their plan. The exterior spaces are in a tandem format. This is an allowable specific approval on lots of less than .75 acres. The constraints of the site have previously been discussed within this memo, DRB should discuss if these constraints merit allowance and if so, a design variation should be granted.

17.5.9: Landscaping Regulations

The applicant has provided a landscaping plan that indicates a large quantity of new tree plantings as well as the required native grass seed mix and wetlands buffer mix. The

placement of the new trees will provide screening from almost every direction. Though much of the planting is in the GE, public works does not have any issues with the plantings as proposed. Irrigation is indicated as temporary until tree establishment is accomplished. The Town Forester has not yet provided comments regarding the plan; however, staff believes the plan does not currently meet the diversity of species clause. Because of the golf course on the back side of the home, the applicant has proposed a landscape berm at the front of the home that would provide some buffering from Russell Drive. This solution seems like a smart way to accommodate some outdoor living space without the added danger from errant golf balls. Staff would like to see the applicant revise the landscape plan to include some diverse species before final review.

17.5.11: Utilities

Staff: Existing utilities pedestals are in the road right of way near the northwest corner of the lot. As shown on the utilities plan, the electric and fiber is running across a small portion of Lot 514. The applicant would need to obtain permissions from the owner for this work and will also need to execute an encroachment agreement for any encroaching utilities. The other option would be to revise the utility plan to run electric and fiber a short distance east within the GE before turning south onto Lot 515. The sewer line will be accessed from the main within Russell Drive. The connection boxes at the home are on the west side of the garage and should not be visually obtrusive. The grade below the boxes is relatively flat for easy access by the utility companies.

17.5.12: Lighting Regulations

Staff: A lighting plan was provided and because the home is under 3500 g.s.f. no photometric study is required. All of the fixture specifications provided meet the lighting provisions of the CDC, it should be noted that no specification was given for the puck light at the address monument, staff is requesting this specification prior to final review. Because of the wetlands on the property special attention should be paid to any fixtures on the side of the home facing the wetlands. The lighting plan shows no exterior fixtures on either the SE or SW corner of the home, so staff feels there is no concern over light spill impacting the wetland areas.

17.5.13: Sign Regulations

Staff: The address marker is in the GE to the west of the driveway. The monument is a stone base with a projecting mill steel column. The numbers are indicated as stainless steel, but it does not show that they will be treated with a reflective coating as required by the CDC. The indicated dimensions meet the CDC design regulations. A downlight is indicated, but a specification for the light fixture was not included. The applicant should revise this submittal prior to final review to address the issues of concern raised in this memo.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: The applicant has included the 15' Zone 1 Fire Mitigation Area and has not proposed any new plantings within this area. There are no existing trees on the site. In Zone 2, it does not appear that they are meeting the required 10' crown to crown spacing in some areas. The applicant should revise this prior to final review.

17.6.6: Roads and Driveway Standards

Staff: The driveway exceeds the required width of 12' plus 2' shoulders. The grade is from 4-5%. There is a hammerhead which will provide both turn around and garage back out space. It appears the driveway is meeting all of the requirements of the CDC. The

applicant is requesting a design variation for tandem parking and because of the constraints of the lot, staff supports this parking variation request. If DRB agrees than a design variation should be granted.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does include a fireplace but has not called out a fuel source. This should be clarified prior to final review. If the applicant intends to have a wood burning fireplace, then a solid fuel burning permit must be provided to the Town. Additionally, there is an exterior firepit shown on the landscape plan. The CDC does not allow for exterior wood burning permits, so the applicant should indicate the fuel source for the fire pit prior to final review.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The construction mitigation plan shows required material staging, dumpster, bear-proof trash receptacles, and a port a toilet. The parking plan indicates two spots on the site which is unlikely to be sufficient. The contractor will have to obtain from the Town any additional parking permits for parking in the road right of way. Construction fencing is indicated around the perimeter of the site; however, the GE is intended to be preserved in its natural state. Primarily to the south and west of the homesite, the construction fence could be pulled in to avoid construction creep onto these areas of the GE. Silt fencing and wattles are shown, but staff still has some concern about the area to the SE of the proposed berm. Storm water could run down this side of the berm into the wetland area. Staff would like to see one more wattle here to capture any silt before it runs into the wetland area. No crane is indicated on the CMP, if it is determined that one is required, the applicant shall work with town staff to make sure the crane swing doesn't impede the roadway.

Staff Recommendation: Staff recommends the DRB approve the Initial Architectural and Site Review for Lot 515, 134 Russell Drive, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architectural and Site Review for a new single-family home located at Lot 515, based on the evidence provided within the Staff Report of record dated September 29, 2021, with the following specific approvals:

DRB Specific Approval:

- 1) GE encroachment for hammerhead and associated retaining wall, and landscape grading
- 2) Metal fascia
- 3) Tandem parking

And, with the following conditions:

- 1) Prior to final review, the applicant shall clarify the proposed materials for soffit and fascia and give more detail about the installation of the wood siding.
- 2) Prior to final review, the applicant shall revise the landscaping plan to increase the diversity of species and ensure they are meeting the Zone 2 crown to crown spacing required for fire mitigation.
- 3) Prior to final review, the applicant shall revise the utilities plan to remove the encroachment from Lot 514 or provide owner authorization for the installation of utilities from the owner of Lot 514.
- 4) Prior to final review, the applicant shall revise the address monument plan to include a lighting specification for the address monument, and to indicate the numerals will be coated with a reflective surface.
- 5) Prior to final review, the applicant shall specify the fuel source for all solid fuel burning devices.
- 6) Prior to final review, the applicant shall revise the construction mitigation plan to bring the construction fence out of the GE wherever possible, and to add additional protections of the SE side of the proposed berm to prevent silt entering the wetlands.
- 7) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 8) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 9) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 10) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/aw



To: Mountain Village Design Review Board and Planning Staff
Date: 9/202021

Thank you so much for reviewing our application for 134 Russell Drive. We are excited about the coming project and have outlined compliance below. The house is a single story residence with a total of 2,634 SQ FT livable area and a 523 SQ FT garage making this a modest sized home for the Mountain Village.

17.3.12 Building Height Limits- The total height of the highest roof eave is 18'- 10 5/8" as shown on A3.1 detail 1_North Elevation. The allowable offset of 35' for shed roofs is shown on each elevation for reference. We are over 16' below the allowable height limit.

17.3.13 Maximum Lot Coverage- The Gross Area of the Lot is 23,575.17 SQ FT. Our proposed lot coverage is 3,158.12 SQ FT which equates to 13.4%. Allowable is 40% making our proposal 26.6% below the allowable coverage.

17.3.14 General Easements Setbacks- The lot has a 16' General Easement/Setback line offset from the property line. Our proposed setbacks are 27'- 5 1/2" from the Western property line, 21' from the Northern property line, 71' - 4 3/8" from the Eastern property line and 19'-10" from the Southern property line.

17.3.21 Deviation from Zoning and Land Use Regulations- Due to the shallow nature of the lot and (2) areas of mapped wetlands on the site the house cannot sit along the Southern setback line which has forced a shorter driveway out to Russell Drive. We have accommodated a hammerhead turnaround on the site but we do not have enough room for the two exterior parking spaces in addition to the garage. We are requesting (2) tandem parking spaces outside of the garage to satisfy the on site parking requirements.

17.5.4 Town Design Theme

Our proposed design is Mountain Modern in intent and nature. The siding will be a stained wood to match the Mountain Village design aesthetic with exposed timber and mill scale steel accents.

ARCHITECTURE
SANTA BARBARA

DYLAN HENDERSON

saltarchitect.com

805.729.4276

dylan@saltarchitect.com

Stone surrounds the base of the house and clearly differentiates foundation from wall plane. This grounds the house into the topography of the site and allows for a mix of materials and compliance with the exterior stone requirement. The garage doors will be black steel plate. Please see sheet A3.5 for exterior material sheet with all finishes and intended colors called out.

17.5.5 Building Siting Design- The house is sited between the two wetland areas as described on the survey sheet A1.1. The goal is to capture the stunning views of the San Sofias while creating privacy from Russell Drive. The berm that we have designed at the front of the lot along Russell provides this privacy. The intent is to grade the berm to allow for proper drainage along Russell Drive in the Right of Way. The berm is 6.5' at its highest point above nature grade with an undulating slope East and West on the lot. Due to the extents of the Eastern wetland on the lot we have placed the house closer to the Western property line while still allowing for a landscape buffer and proper drainage to the West.

17.5.6 Building Design- Our design is a simple collection of (4) shed roofs and four volumes connected by varied height connecting elements. We have not created any complicated roof forms or valleys that will require maintenance. This is an elegant composition of forms and elevations that fit in well with the Town of Mountain Village.

17.5.7 Grading and Drainage Design- The site has a shallow ground water table which has dictated no below grade liveable area. We have allowed brought the slab elevation of the house up to 9506'-4" which is approx. two feet above the existing ground elevation to make sure that we keep our footing/slab excavation as shallow as possible. David Ballode with Uncompahgre Engineering has completed the Civil design for the site. Please see sheets C1 through C4. C2 shows the grading and drainage on the site with the intent that all water is directed back toward the Eastern wetland. The wetland to the West is indeterminate and does not appear in Chris Hazen's staking plan as no wetland was found.

17.5.8 Parking Regulations- The house has a compliant two car garage and hammerhead on site. See above 17.3.21 for our request for tandem parking in front of the garage. Due to the shallow nature of the lot and the mapped wetlands we cannot accommodate the two exterior parking spaces and the hammerhead on the lot.

17.5.9 Landscape Regulations- Please see sheet A1.3. The landscape has a nice diversity of species of multi stem Aspen, Blue Spruce and Engelmann Spruce. The intent is to re-seed and re-vegetate with Telski Wildflower Grass Seed Mix with a combination of Native Grass Seed mix and a Wetlands Buffer mix. See the description of the grass mix on our landscape plan for details of the mix design.

17.5.10 Trash, Recycling and General Storage Areas- Trash Cans will be located in the garage and taken out to the curb on a weekly basis. All storage will be contained within the house.

17.5.11 Utilities- See sheet C3 for all utility locations on the site and existing electrical, water, gas and sewer lines. The intent is to have all utility connections come into the house on the West side of the garage and brought into the mechanical room where it will be distributed within the house.

17.5.12 Lighting Regulations- Please see sheet A1.4 for our exterior lighting plan. Each fixture is dark sky compliant and simple and minimal on the house. There are (4) path lights between the driveway and the house, (7) down lit wall sconces, and (8) recessed cans illuminating the patio and entrance. The lights provide code required life safety and low spread lighting only.

Please let me know any questions and we really appreciate your time in reviewing our drawings and application.

Dylan Henderson
CO Lic#: ARC.0402941
970.708.4795



SALT ARCHITECTURE
SANTA BARBARA, CA
805.729.4276

PROJECT TEAM

PROPERTY OWNER

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Stamford CT 06903

ARCHITECT

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Associate Architect: Brian Platley
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125 W. Pacific Ave. Unit B-1
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Office: 805-452-0690
Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath
(New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC- Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain
Village 81435

SITE ANALYSIS

Zoning - Single Family
Gross Lot Area = 23,575.17 SQ.FT. = 0.54 Acres
Max Lot Coverage Allowed = 40%
Lot Coverage Proposed = 3,158.12 SQ. FT.= 13.4%
Max Height Proposed = 24'-2"
Max Height Allowed = 40'-0"
Max Average Height Proposed = 30'
Max Average Height Allowed = 14.9'
Parking Req. - 2 Parking Space Required
- 2 Covered Provided, 2 Surface Tandem

Area Schedule

| Comments | Area |
|-------------|---------|
| Garage Area | 523 SF |
| Living Area | 2634 SF |

SNOWMELT TOTALS

ZONE 1 - DRIVEWAY = 1090 SQ.FT
ZONE 2 - ENTRY WALK WAY = 188 SQ.FT
ZONE 3 - MECH LANDING = 17 SQ.FT
ZONE 4 - LIVING ROOM DECK = 1262 SQ.FT
ZONE 5 - REAR ENTRY LANDING = 110 SQ.FT

TOTAL SNOWMELT = 2,667 SQ.FT
EXEMPT = 1,000 SQ.FT PER C101.1(i)(v.a.i)
REQ. MITIGATION = 1,667 SQ.FT

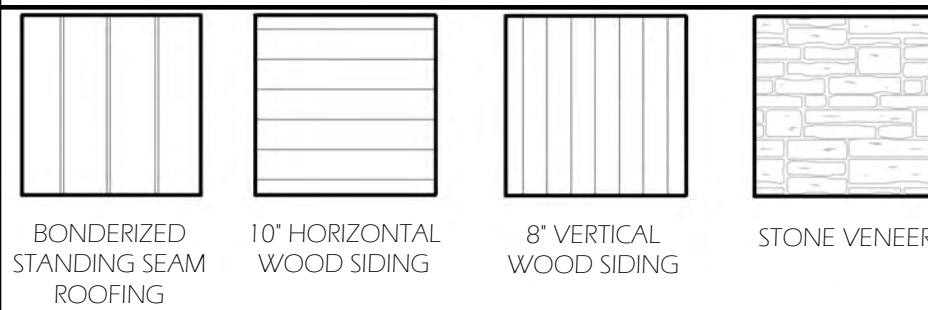
SCOPE OF WORK

PROPOSAL TO CONSTRUCTION A 3,194.83 SQ.FT SINGLE FAMILY RESIDENCE WITH ATTACHED (2) CAR GARAGE ON A 23,530.93 SQ.FT LOT. THE HOME TO BE (3) BEDROOM 3 1/2 BATH SINGLE LEVEL RESIDENCE WITH EXTERIOR PATIOS, FIRE PIT AND IN GROUND SPA.
REQUEST FOR TANDEM PARKING AT PROPOSED GARAGE FOR OUTSIDE PARKING REQUIREMENT

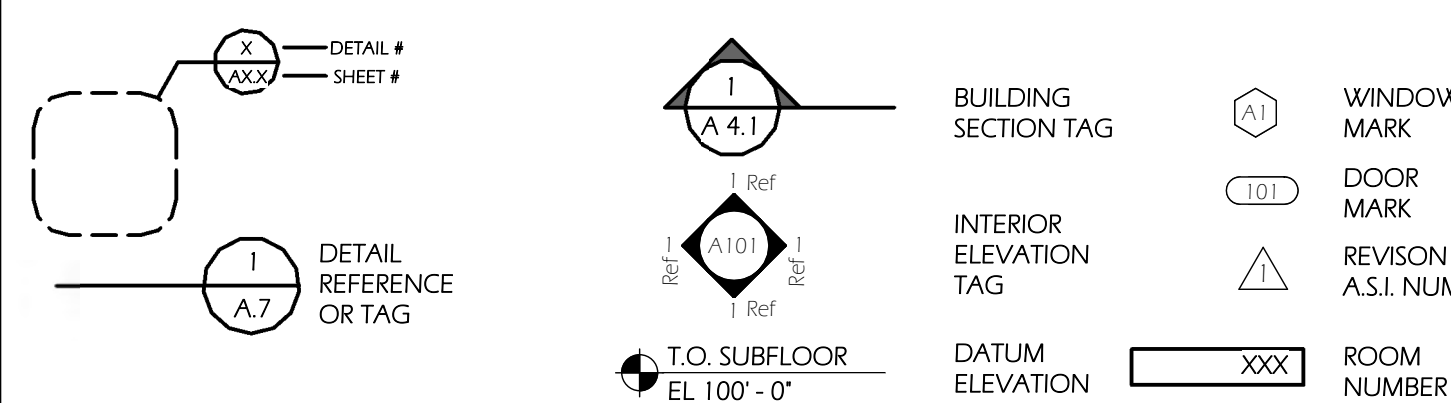
CODES

National Electrical Code (2020)
International Fuel Gas Code (2018)
International Energy Conservation Code (2018)
International Existing Building Code (2018)
International Fire Code (2018)
International Mechanical Code (2018)
International Plumbing Code (2018)
International Residential Code (2018)

EXTERIOR MATERIALS



GRAPHIC SYMBOLS LEGEND



GENERAL NOTES & BEST MANAGEMENT PRACTICES:

GENERAL NOTES

CONTRACT DOCUMENTS: CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED.

ORGANIZATION:

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), INTERIOR DRAWINGS (A10 SHEETS), STRUCTURAL DRAWINGS (S SHEETS), MECHANICAL AND PLUMBING DRAWINGS (M & P SHEETS), & ELECTRICAL (E SHEETS). THESE DRAWINGS ARE ORGANIZED BY BUILDING UNIT.

CODE COMPLIANCE:

ALL WORK, MATERIALS, AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP.

INTENT:

THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

COORDINATION:

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS, AND REPORT ANY DISCREPANCIES, ERRORS, OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL, AND LIGHTING DRAWINGS.

SHOWER COMPARTMENT WALLS:

SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET. BUILT-IN TUBS WITH SHOWERS SHALL HAVE WATERPROOF JOINTS BETWEEN THE TUB AND ADJACENT WALL.

WALL AND CEILING FINISHES:

INTERIOR WALL AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES:
- CLASS A: FLAME SPREAD 0-25; SMOKE-DEVELOPED 0-450.
- CLASS B: FLAME SPREAD 26-75; SMOKE-DEVELOPED 0-450.
- CLASS C: FLAME SPREAD 76-200; SMOKE-DEVELOPED 0-450.

ALL INTERIOR FINISH MATERIALS OTHER THAN TEXTILES SHALL HAVE A CLASS A RATING.

(TEXTILE WALL COVERINGS SHALL HAVE A CLASS A FLAME SPREAD INDEX IN ACCORDANCE WITH ASTM E 84 AND BE PROTECTED BY AUTOMATIC SPRINKLERS.)

SEE RCP SERIES FOR CEILING, SOFFIT, BEAM AND COFFER HEIGHTS.

ABBREVIATIONS USED IN SET:

A.F.F. =Above Finish Flooring
U.N.O. =Unless Noted Otherwise
T.O. =Top Of
T.O.F.F. =Top Of Finish Flooring
T.B.D. =To Be Determined / To Be Designed
(E) =Existing

VICINITY MAP - Town of Mountain Village



EXISTING SITE IMAGES



VIEW NORTH



VIEW SOUTH

SHEET LIST

| Sheet Number | Sheet Name | Sheet Issue Date |
|--------------|---|------------------|
| A.0.0 | Cover Sheet & Plan Set Information | 09/21/2021 |
| A.0.1 | Building Perspectives | 09/10/2021 |
| A.1.1 | Survey | 09/10/2021 |
| A.1.2 | Site Plan | 09/10/2021 |
| A.1.3 | Landscape | 09/10/2021 |
| A.1.4 | Exterior Lighting Plan | 09/10/2021 |
| A.2.1 | Floor Plans | 09/10/2021 |
| A.2.2 | Roof Plan | 09/10/2021 |
| A.3.1 | Elevations | 09/10/2021 |
| A.3.2 | Elevations | 09/10/2021 |
| A.3.3 | Elevations | 09/10/2021 |
| A.3.4 | Material Calculations & Height Compliance | 09/10/2021 |
| A.3.5 | Exterior Materials | 09/10/2021 |
| A.3.6 | Unnamed | 09/10/21 |
| A.8.1 | Door & Window Schedule | 09/10/2021 |
| C1 | Civil Notes | 09/09/2021 |
| C2 | Grading and Drainage Plan | 09/09/2021 |
| C3 | Utilities | 09/09/2021 |
| C4 | Construction Mitigation Plan | 09/09/2021 |

Blum

134 Russell Drive

Cover Sheet & Plan Set
Information

Date: 09/21/2021

Drawn by: DH / BF

Checked by: DH / BF

A 0.0

Scale: As indicated



① Perspective 1



② Perspective 2



SALT



SALT



③ Perspective 3

SALT

SALT ARCHITECTURE
SANTA BARBARA, CA
805.729.4276

PROJECT TEAM

PROPERTY OWNER

Alex and Maureen Blum
116 Farms Road,
Stamford CT 06903

ARCHITECT

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Associate Architect: Brian Flatley
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125 W. Pacific Ave. Unit B-1
P.O. Box 1365 - Telluride, CO 81435
Office: 805-452-0690
Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath
(New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC- Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain
Village 81435

| No. | Drawing Set Description | Issued Date |
|-----|-------------------------|-------------|
| 1 | IASR Review | 09/10/2021 |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |

| No. | Description | Date |
|-----|-------------|------|
| | | |

Blum

134 Russell Drive

Building Perspectives

Date: 09/10/2021
Drawn by: DH / BF
Checked by: DH / BF

A 0.1

Scale:

COPYRIGHT 2021 9/21/2021 3:35:51 PM

PROJECT TEAM

PROPERTY OWNER

Alex and Maureen Blum
116 Farms Road,
Stamford CT 06903

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Platley
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Cell: 970.708.4795
email: dylan@saltarchitecture.com

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Mike Arbaney
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| 1 | IASR Review | 09/10/2021 |
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| No. | Description | Date |
|-----|-------------|------|
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Blum

134 Russell Drive

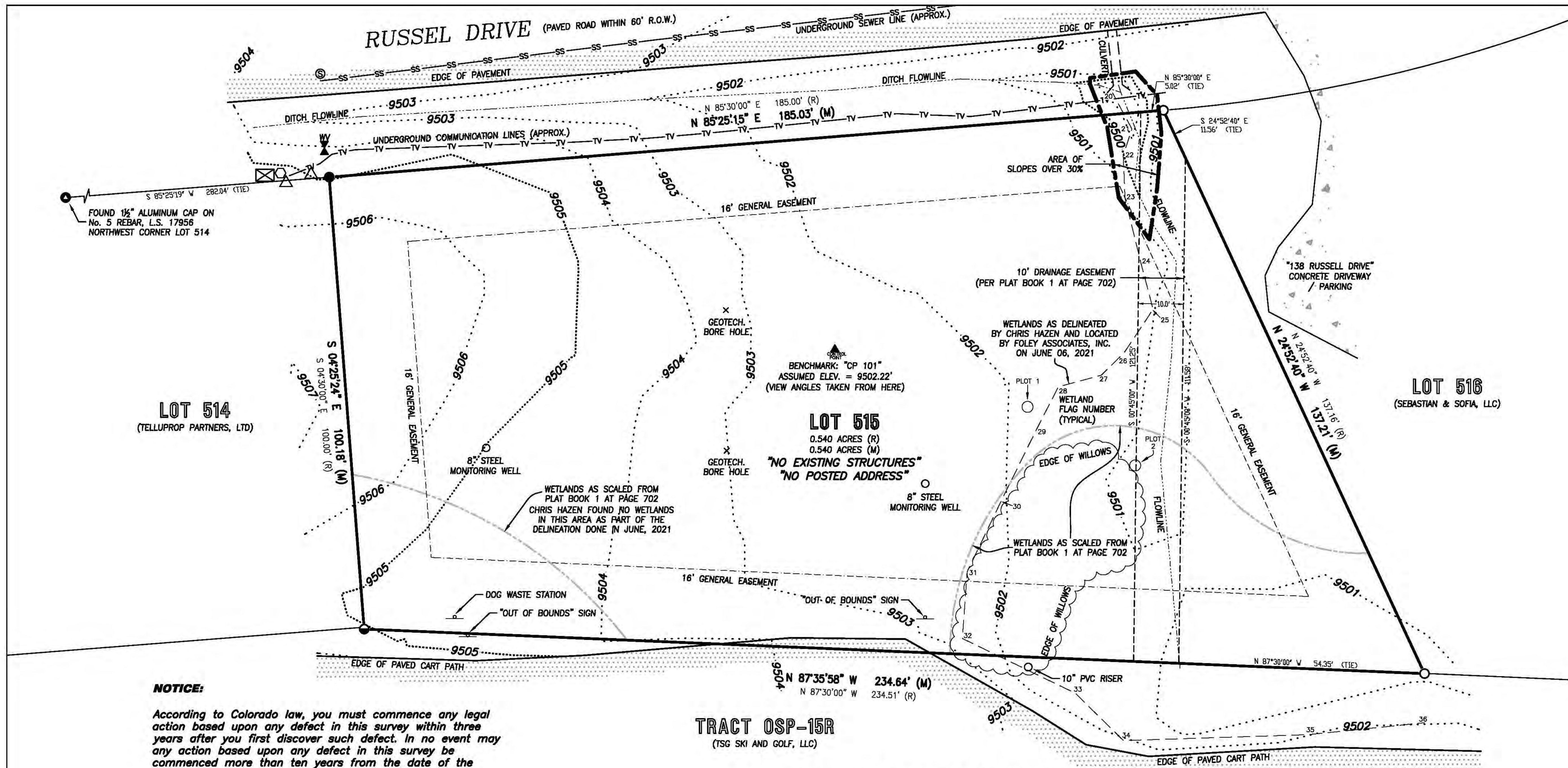
Survey

| | |
|-------------|------------|
| Date: | 09/10/2021 |
| Drawn by: | DH / BF |
| Checked by: | DH / BF |

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Scale:

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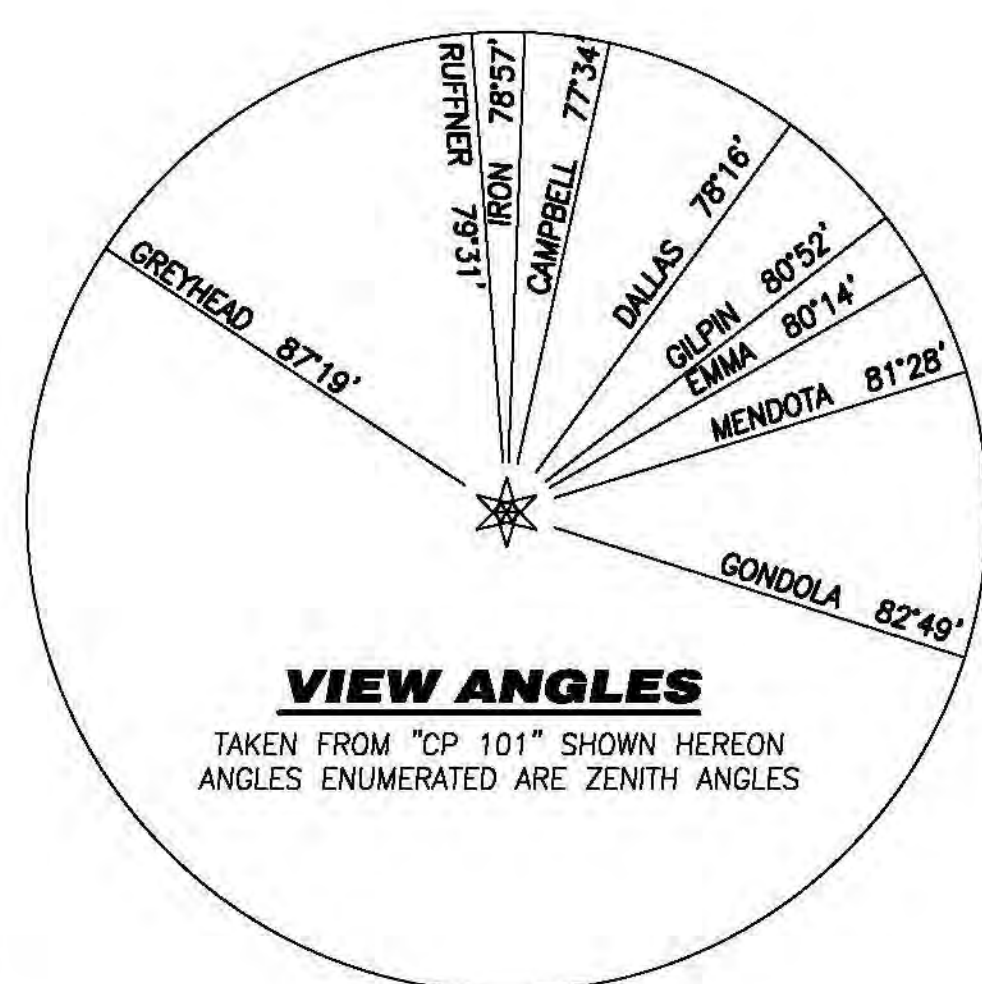


NOTICE:

According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

LEGEND

- ⊠ ELECTRIC BOX
- △ COMMUNICATION PEDESTAL
- TELEPHONE PEDESTAL
- ⊙ SEWER MANHOLE
- ⊕ WATER VALVE
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 24954
- FOUND 1-1/2" PLASTIC CAP ON 5/8" REBAR, L.S. 25643
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37970
- (M) MEASURED DIMENSIONS ACCORDING TO THIS SURVEY
- (R) RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 702



This Topographic Survey of Lot 515, Town of Mountain Village, was field surveyed on April 13, 2021 and updated on June 04, 2021 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 Date

LEGAL DESCRIPTION:

LOT 515, TELLURIDE MOUNTAIN VILLAGE, FILING 2, ACCORDING TO THE PLAT RECORDED MARCH 3, 1987 IN PLAT BOOK 1 AT PAGE 702,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

- Easement research and property description from Land Title Guarantee Company, Order Number TLR86010896, dated December 3, 2020 at 5:00 P.M.
- BASIS OF BEARINGS: The bearing between found monuments along the Eastern boundary of Lot 515, as shown hereon, was assumed to have the record bearing of N 24°52'40" W according to Plat Book 1 at page 702.
- Benchmark: Control point "CP 101", as shown hereon, with an assumed elevation of 9502.22 feet.
- Contour interval is one foot.
- Slopes over 30% are as indicated hereon.
- There are no trees located on this lot other than the stand of willows shown.
- Underground utility lines were painted by a private company and located by Foley Associates, Inc., as shown hereon.

Existing Conditions Plan

Lot 515, Town of Mountain Village, Filing 2,
located within the SE 1/4 of Section 33, T.43N., R.9W., N.M.P.M., County of San Miguel, State of Colorado.

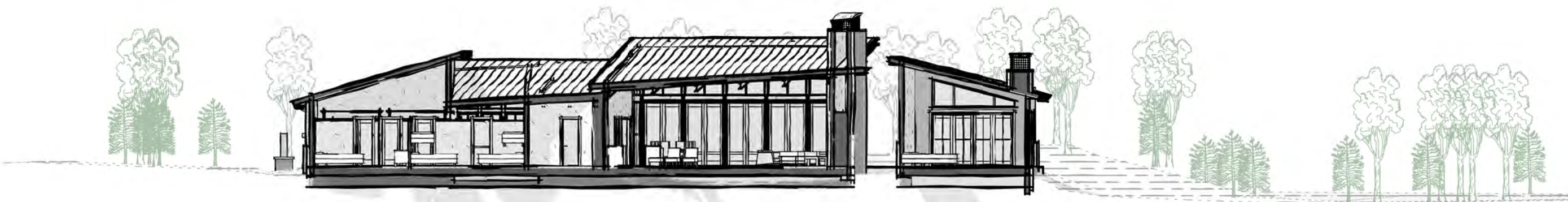
| | |
|--------------|------------|
| Project Mgr: | JH |
| Technician: | MC |
| Checked by: | DC |
| Start date: | 06/04/2021 |



Drawing path: dwg\20045 EC Plan 06-21.dwg

970-728-6153 970-728-6050 fax
PO Box 1385
125 W. Pacific Ave., Suite B-1
Telluride, Colorado, 81435

Sheet 1 of 1 Project #: 20045



3 Site Section
1/16" = 1'-0"

SNOWMELT TOTALS

ZONE 1 - DRIVEWAY = 1090 SQ FT
 ZONE 2 - ENTRY WALK WAY = 188 SQ FT
 ZONE 3 - MECH LANDING = 17 SQ FT
 ZONE 4 - LIVING ROOM DECK = 1262 SQ FT
 ZONE 5 - REAR ENTRY LANDING = 110 SQ FT

 TOTAL SNOWMELT = 2,667 SQ FT
 EXEMPT = 1,000 SQ FT PER C101.1(IVa)1
 REQ. MITIGATION = 1,667 SQ FT

PLANTING SYMBOLS

- (Symbol with solid lines) EXISTING PLANTING TO REMAIN (SYMBOL SHOWN GRAYTONE)
- (Symbol with dashed lines) EXISTING PLANTING TO BE REMOVED (SYMBOL SHOWN GRAYTONE WITH DASHED LINES)

NOTE: NO EXISTING TREES ON SITE PER ATTACHED SURVEY

SITE PLAN NOTES:

- ONLY EXISTING TREES SHOWN. SEE LANDSCAPE PLAN FOR NEW PLANTINGS
- SITE IS NOT LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREA; SITE HAS NO ROCK OUT CROPPING OR WETLANDS
- CONTRACTOR RESPONSIBLE FOR LOCATING AND ROUTING EXISTING UTILITIES TO PROPOSED LOCATIONS. INSTALLATION TO BE REVIEWED AND APPROVED BY UTILITY COMPANY
- EXISTING UTILITY SUPPLY TO REMAIN
- ANY EXISTING OVERHEAD UTILITIES TO BE BURIED
- SEE LIGHTING PLAN FOR ALL EXTERIOR LIGHTING INFORMATION
- SEE LANDSCAPE PLAN FOR ALL PLANTING DETAILS
- NO ROOF TOP EQUIPMENT SHOWN, AS NONE WILL BE INSTALLED
- ALL DRAINAGE TO COMPLY WITH PUBLIC WORKS REQUIREMENTS
- ALL EGRESS WINDOW WELLS TO DRAIN INTO DRY WELLS BELOW SLAB, DRY WELLS TO BE LOOSE GRAVEL 24" MINIMUM BELOW SLAB
- EGRESS LADDER TO BE PROVIDED AT ALL WINDOW WELL LOCATIONS UNLESS WALKOUT TO GRADE PROVIDED
- ALL RETAINING WALLS 4' ABOVE GRADE AND TALLER SHALL BE ENGINEERED BY A LICENSED ENGINEER
- FINISH GRADE AROUND THE ADDITION SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 2% FOR THE FIRST 4 FEET PER LOCAL POLICY.
- SOILS PREPARATION SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL ENGINEER.



SALT ARCHITECTURE
 SANTA BARBARA, CA
 805.729.4276

PROJECT TEAM

PROPERTY OWNER

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 116 Farms Road,
 Stamford CT 06903

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 Office: 805-452-6900
 Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath
 (New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
 IRC - Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain
 Village 81435

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Blum

134 Russell Drive

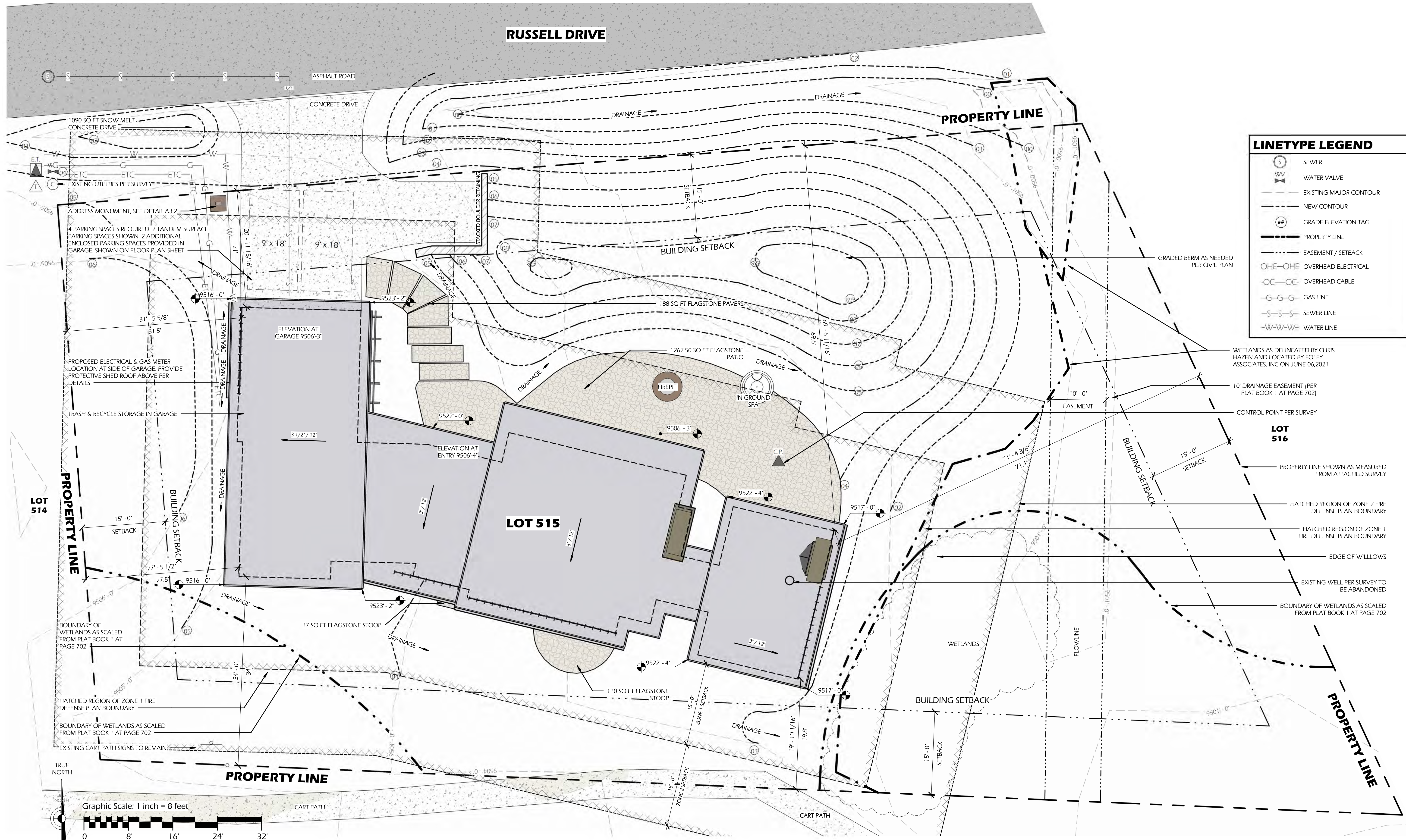
Site Plan

| | |
|-------------|------------|
| Date: | 09/10/2021 |
| Drawn by: | DH / BF |
| Checked by: | DH / BF |

A 1.2

Scale: As indicated

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1 Site Plan
1/8" = 1'-0"

PLANTING - SYMBOLS LEGEND

| | | | |
|--|---|--|--|
| | EXISTING PLANTING TO REMAIN (SYMBOL SHOWN GRAYTONE) | | ASPEN WITH CALIPER SIZE SHOWN NOTE: PLANTINGS ARE LABELED WITH CALIPER SIZE. REFER TO SURVEY & SITE PLAN SHEETS FOR EXISTING TREE SIZE INFORMATION |
| | EXISTING PLANTING TO BE REMOVED (SYMBOL SHOWN GRAYTONE WITH DASHED LINES) | | BLUE SPRUCE |
| | NEW PROPOSED PLANTING (SYMBOL SHOWN BLACK WITH COLORED FILL) | | ENGLEMAN SPRUCE |
| | | | HATCHED AREA OF REVEG / RESEED NOTE: TELSKI WILDFLOWER GRASS AND SEED MIX IN ALL GRASS HATCHED AREA ALL IRRIGATION OF REVEGETATED AREAS TO BE TEMPORARY |

LINETYPE LEGEND

| | |
|--|------------------------------------|
| | SEWER |
| | WATER VALVE |
| | PROPOSED POST CONSTRUCTION CONTOUR |
| | GRADE ELEVATION TAG |
| | PROPERTY LINE |
| | EASEMENT / SETBACK |
| | OVERHEAD ELECTRICAL |
| | OVERHEAD CABLE |
| | GAS LINE |
| | SEWER LINE |
| | WATER LINE |
| | HOSE BIB |

SNOWMELT TOTALS

ZONE 1 - DRIVEWAY = 1090 SQ FT
 ZONE 2 - ENTRY WALK WAY = 188 SQ FT
 ZONE 3 - MECH LANDING = 17 SQ FT
 ZONE 4 - LIVING ROOM DECK = 1262 SQ FT
 ZONE 5 - REAR ENTRY LANDING = 110 SQ FT

TOTAL SNOWMELT = 2,667 SQ FT
 EXEMPT = 1,000 SQ FT PER C 101.1(j)(vii)
 REQ. MITIGATION = 1,667 SQ FT

PLANTINGS - NEW PROPOSED

| Type Mark | Type Comments | Count | Phase Created | Phase Demolished |
|------------------|---------------|-------|------------------|------------------|
| Aspen | 12 in Caliper | 27 | New Construction | None |
| Blue Spruce | 3 in Caliper | 13 | New Construction | None |
| Englemann Spruce | 3 in Caliper | 4 | New Construction | None |

NOTE: NO EXISTING TREES ON SITE PER ATTACHED SURVEY

LANDSCAPE NOTES:

REVEGETATION NOTES

- SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
- TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REVEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
- BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN TEN DAYS) TO MINIMIZE EROSION AND WEEDS.
- AREAS WHICH HAVE BEEN COMPACTED, OR ARE RELATIVELY UNDISTURBED, NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
- BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING.
- STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY AND 2 TONS PER ACRE FOR STRAW, CRIMP IN.
- ON SLOPES GREATER THAT 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
- ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
- SEED ALL AREAS LABELED AS REVEG/RESEED WITH TELSKI WILDFLOWER GRASS AND SEED MIX OF A RATE AS FOLLOWS:
 - Native Grass Seed Mix.**
 - Seeding with the native grass seed mix or the wetland buffer mix, if applicable, is required in all disturbed areas on the perimeter of the building site and at utility and road cuts.
 - (a) **Native Grass Seed Mix (General Revegetation)**
 - Western Yarrow 5%
 - Tall Fescue 10%
 - Arizona Fescue 5%
 - Hard Fescue 5%
 - Creeping Red Fescue 10%
 - Alpine Bluegrass 15%
 - Canada Bluegrass 10%
 - Perennial Ryegrass 15%
 - Slender Wheatgrass 10%
 - Mountain Brome 15%
 - (b) **Wetlands Buffer Mix**
 - To be planted within twenty feet (20') of wetland areas
 - Alpine Bluegrass 14%
 - Slender Wheatgrass 35%
 - Mountain Brome 36%

LANDSCAPE GENERAL NOTES

- ALL TREES AND SHRUBS SHALL BE FIELD LOCATED BY PROJECT ARCHITECT.
- ALL TREES AND SHRUBS SHALL BE BACK FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
- NECESSARY TREES SHALL BE STAKED WITH 4 FOOT METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRAPS.
- PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
- SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER, SHREDDED BARK.
- ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANTED MATERIALS SHALL BE A NON-NOXIOUS SPECIES AS SPECIFIED WITHIN THE SAN MIGUEL COUNTY NOXIOUS WEED LIST. LANDSCAPING SHOWN ON THE LANDSCAPE PLAN SHALL COMPLY WITH SECTION 9-109 OF THE DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.
- ALL NEW PLANTED ASPEN TREES TO BE MULTI-STEM TREES.

IRRIGATION

- 1" TAP WITH RAINBIRD PVB-075 BACKFLOW PREVENTER
- RAINBIRD RCM-12 ELECTROMECHANICAL CONTROLLER
- 1 1/2" WILKINS MODEL 500 PRESSURE REGULATOR
- RAINBIRD 150 ELECTRIC REMOTE CONTROL VALVE
- 1" CLASS 200 PVC MAINLINE
- 1" NSF POLYLATERAL LINE
- WATER SENSOR
- RAINBIRD POP-UP DRIP LINE
- TREES AND SHRUBS TO BE DRIP ONLY-DRIP ZONES TO BE SHUT OFF (2) FULL GROWING SEASONS AFTER PLANT ESTABLISHMENT
- TEMPORARY IRRIGATION OF REVEGETATED AREAS - LONG TERM WATERING TO BE ASSESSED TOT AUTHORITY



TRUE NORTH

Graphic Scale: 1 inch = 8 feet

0 8' 16' 24' 32'

1 Landscape Plan
1/8" = 1'-0"



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PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath (New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
 IRC - Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain Village 81435

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Blum

134 Russell Drive

Landscape

Date: 09/10/2021
 Drawn by: DH / BF
 Checked by: DH / BF

A 1.3

Scale: As indicated

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Blum

134 Russell Drive

Exterior Lighting Plan

Date: 09/10/2021
Drawn by: DH / BF
Checked by: DH / BF

A 1.4

Scale: As indicated



1 Lighting Perspective 1



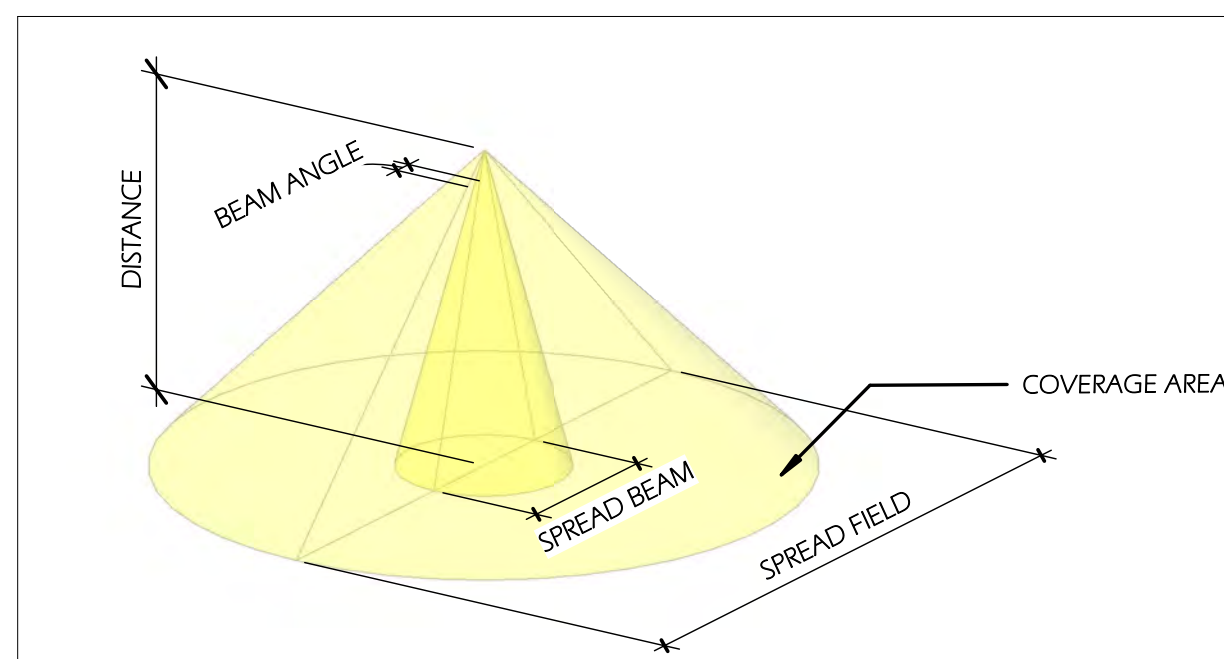
2 Lighting Perspective 2



3 Lighting Perspective 3



4 Lighting Perspective 4



6 Lighting Detail

LIGHTING NOTES:

- ILLUMINANCE (LUX): ILLUMINANCE IS A MEASUREMENT OF THE LIGHT INTENSITY AT ANY POINT. THE LIGHT INTENSITY DROPS EXPONENTIALLY THE FURTHER AWAY YOU GET FROM THE SOURCE (DISTANCE).
- LUMINOUS FLUX (LM): THE LUMINOUS FLUX IS A MEASURE OF THE TOTAL LIGHT OUTPUT FROM A SOURCE. FOR EXAMPLE, A 1 CANDELA LIGHT SOURCE WILL PRODUCE 1 LUMEN PER SQUARE METER AT THE DISTANCE OF 1 METER.
- BEAM ANGLE: THE BEAM ANGLE IS THE ANGLE OF RADIATION FOR A LIGHT SOURCE. FOR EXAMPLE A BEAM ANGLE ON 30 DEGREES MEANS THE LIGHT HAS A SHAPE OF A CONE AND ITS BORDERS FORM A 15 DEGREE ANGLE WITH THE CENTER AXIS. A CHANGE IN THE BEAM ANGLE AFFECTS THE LUMINOUS INTENSITY (LUX) OF A LIGHT SOURCE BUT NOT THE LUMINOUS FLUX (LUMENS).
- SPREAD (M): THE SPREAD IS THE WIDTH OF THE LIGHT WHEN IT HITS THE FLAT SURFACE.
- COVERAGE AREA (M2): THE COVERAGE AREA IS THE SIZE OF THE CIRCULAR AREA THAT THE LIGHT ILLUMINATES ON THE FLAT SURFACE.

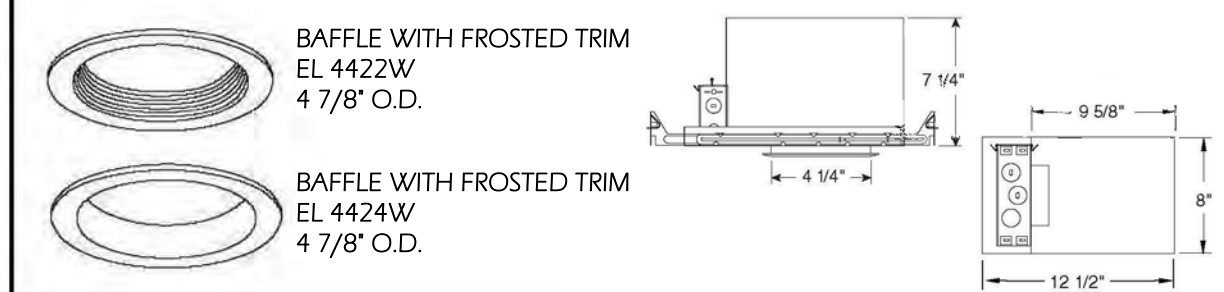
- ILLUM TYPE: LED
 - SOURCE LUMENS: 660
 - TEMP: 3000K
 - CRI: 80
 - BEAM VIEW ANGLE: 38
- FIXTURE HEIGHTS VARY
- LUMINOUS AREA AT 14'-7" AFF: 97.58 LUX
 - SPREAD (M): 3.06m
 - COVERAGE AREA (M2): 7.36m²
 - LUMINOUS AREA AT 16'-6" AFF: 65.87LUX
 - SPREAD (M): 3.73m
 - COVERAGE AREA (M2): 10.9m²

ELKO: ELD44ICA 4" LED New Construction IC Airtight Housing

Lamp: 13W LED module, 350mA DC
Driver: 120V AC, 0.14A high quality driver Dimmable with most incandescent and electronic dimmers.
Trim Ring: Polycarbonate trim ring designed to conceal ceiling cutout.
ELD44ICA: 3000°K, 660 lm

Note: Battery backup driver available upon request.

- Housing includes LED module and driver unit.
- Double wall construction, for use in insulated ceilings.
- 7 1/4" height allows for use in 2 x 8 construction.
- Adjustable housing accommodates up to 1 1/4" ceiling thickness.
- Advanced heat sink design for best heat dissipation to maintain maximum LED module life.
- Over 660 lumens effective light output (with baffle trim).
- High CRI (>80), warm white (3000°K), high lumen maintenance.
- Housing meets restricted air flow requirement (per ASTM E-283).
- CA Title 24 compliant.
- Meets ENERGY STAR requirements.
- Trims sold separately.



- ILLUM TYPE: LED
- SOURCE LUMENS: 270
- TEMP: 3000K
- CRI: ##
- LUMINOUS AREA: 515.7 LUX
- SPREAD (M): 1.07m
- COVERAGE AREA (M2): 0.894m²
- BEAM VIEW ANGLE: 90

Solara 21.5" High Black 12V LED Landscape Path Light

PRODUCT DETAILS:
Give the walking areas of your home exterior the illumination from this stylish L-shaped energy-efficient LED landscape path light.

ADDITIONAL INFO:

Bestow your home exterior with the soft glow from this stylish L-shaped low-voltage energy-efficient LED landscape path light. It features a handsome black finish over heavy-duty stainless steel construction and a handy 90-degree beam angle. It's versatile enough to go next to a walkway or in the low-lying hedges at the edge of your yard.

- 21.5" high x 5 1/2" wide x 2" deep.
- Built-in 3 watt LED module, 270 lumen light output, comparable to a 25 watt incandescent, 3000K color temperature.
- L-shaped low-voltage energy-efficient LED landscape path light.
- Black finish over heavy duty stainless steel construction.
- Low voltage - 12V AC.
- 90-degree beam angle.

Lighting Fixture Schedule

| Type Mark | Description | Count | Type Comments |
|-----------|---------------|-------|---------------------------|
| | ELKO | 5 | Recessed Can Light |
| A | Quadrate | 7 | Wall Sconce |
| B | ELKO | 3 | Recessed Can Light |
| C | Bollard Light | 4 | Low Voltage Path Lighting |

- ILLUM TYPE: LED
- SOURCE LUMENS: 383
- TEMP: 3000K
- CRI: 90
- LUMINOUS AREA: 50.40 LUX
- SPREAD (M): 4.06m
- COVERAGE AREA (M2): 13.0m²
- BEAM VIEW ANGLE: 90

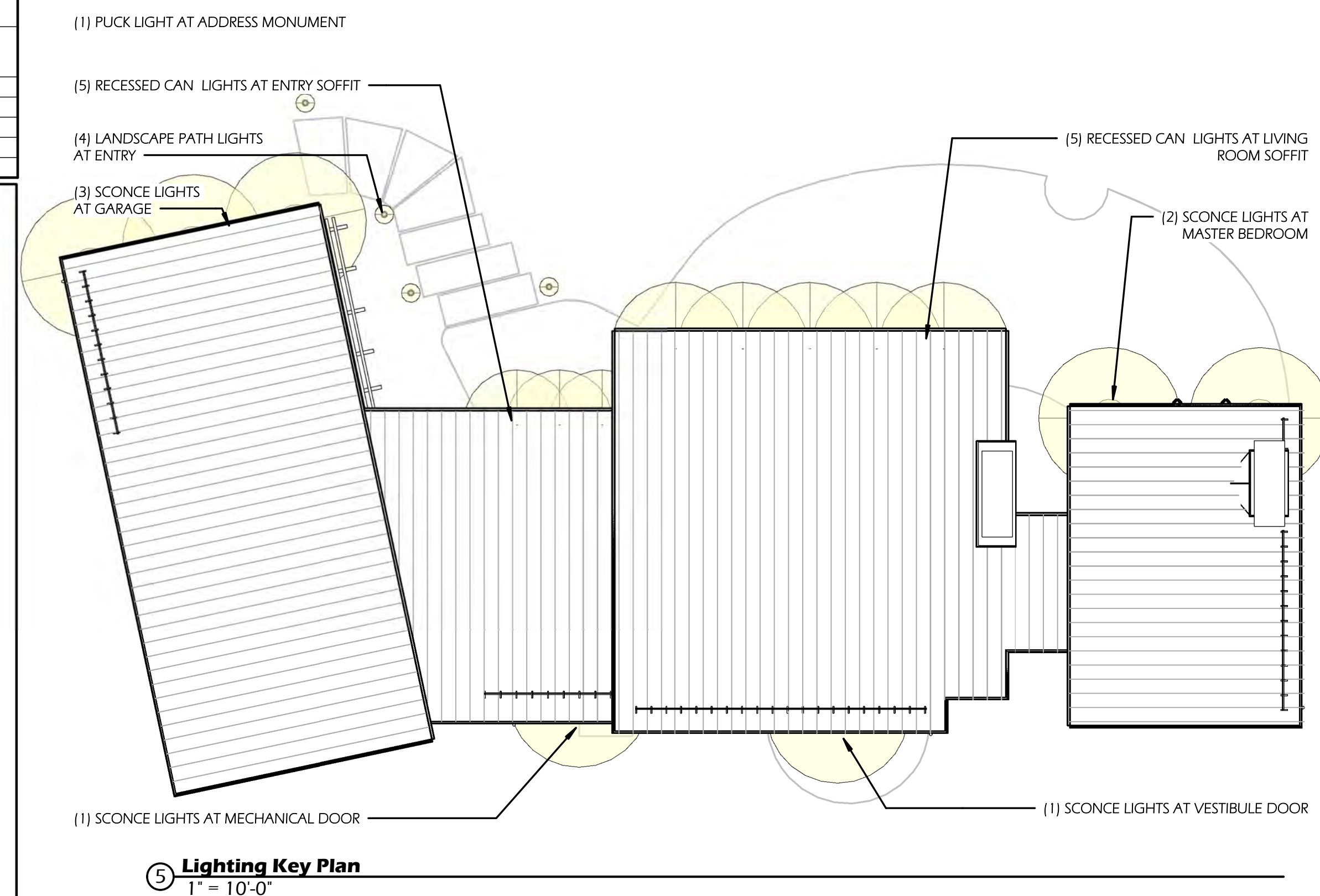
Quadrate Outdoor Wall Sconce

The Tech Lighting Quadrate Outdoor Wall Sconce takes advantage of 2 integrated LEDs to cast light upward to the wall it is installed on, and downward to accent the extended wall plate and illuminate any surfaces below. Aluminum construction and high-performance components ensure this wall sconce possesses the durability necessary to endure in the face of harsh outdoor conditions. The product features a minimalist and contemporary look that isn't diminished by any unsightly hardware, as they are each cleverly hidden.

DETAILS:

- Casts light upward and downward
- Warm-dimmable from 3000-2200K with an ELV dimmer (not included)
- Rectangular wall plate
- Designed by Sean Lavin in 2017
- Material: Aluminum
- Title 24 compliant
- ETL Listed Wet
- Warranty: Limited 5 Year
- Fixture: Width 5", Height 13", Depth 4.8"

Finish: Bronze
Lighting: 15.8 Watt [383 Lumens] 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 35000 hours



5 Lighting Key Plan
1" = 10'-0"

PROJECT TEAM

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Stamford CT 06903

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Blum

134 Russell Drive

Floor Plans

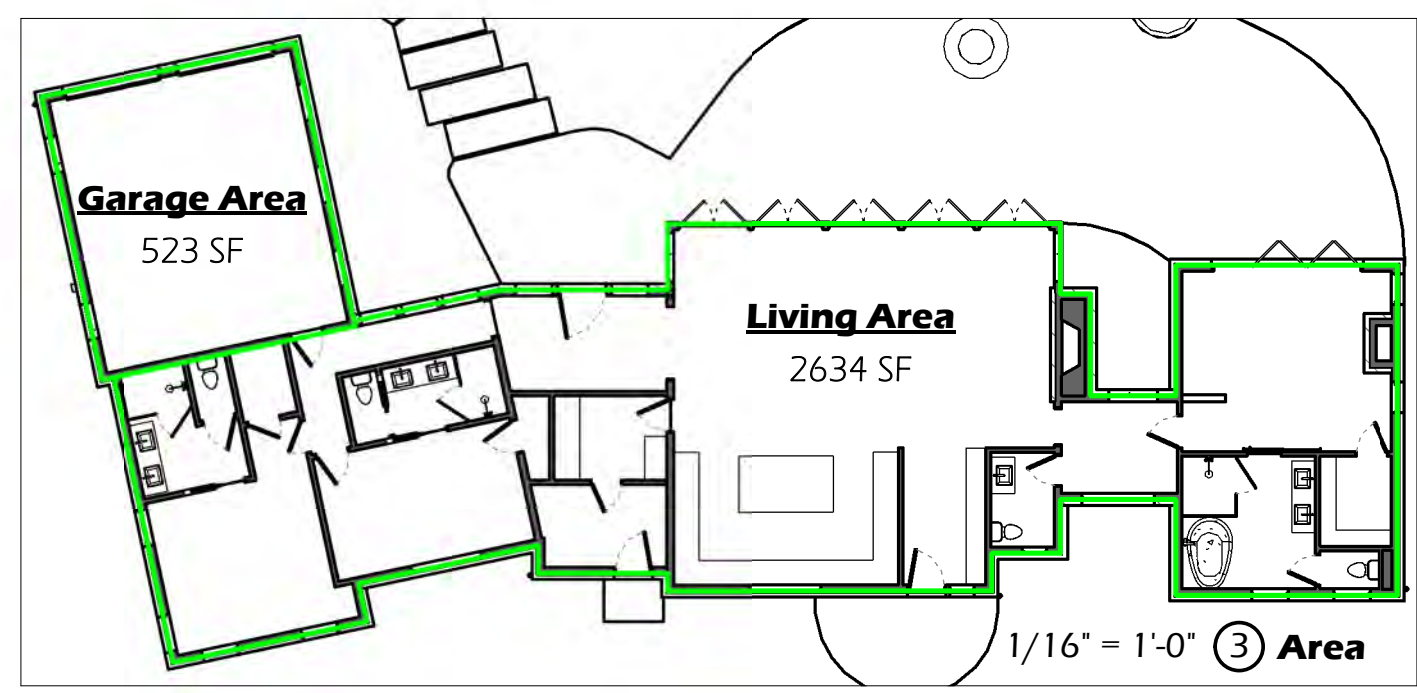
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Scale: As indicated

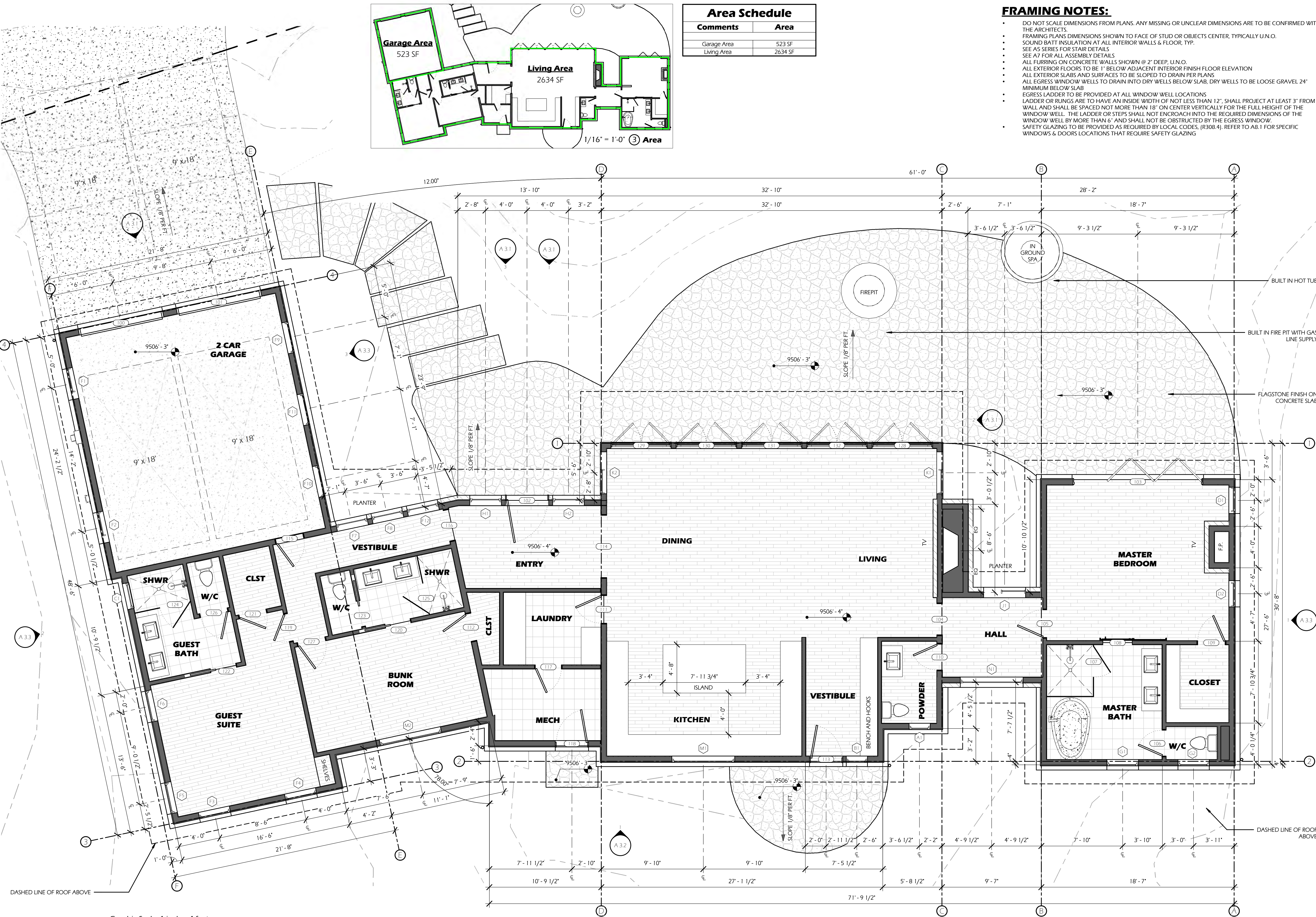
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| Area Schedule | |
|---------------|---------|
| Comments | Area |
| Garage Area | 523 SF |
| Living Area | 2634 SF |

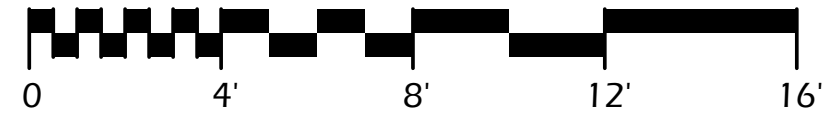


FRAMING NOTES:

- DO NOT SCALE DIMENSIONS FROM PLANS. ANY MISSING OR UNCLEAR DIMENSIONS ARE TO BE CONFIRMED WITH THE ARCHITECTS.
- FRAMING PLANS DIMENSIONS SHOWN TO FACE OF STUD OR OBJECTS CENTER, TYPICALLY U.N.O.
- SOUND BATT INSULATION AT ALL INTERIOR WALLS & FLOOR, TYP.
- SEE A5 SERIES FOR STAIR DETAILS
- SEE A7 FOR ALL ASSEMBLY DETAILS
- ALL FURRING ON CONCRETE WALLS SHOWN @ 2" DEEP, U.N.O.
- ALL EXTERIOR FLOORS TO BE 1" BELOW ADJACENT INTERIOR FINISH FLOOR ELEVATION
- ALL EXTERIOR SLABS AND SURFACES TO BE SLOPED TO DRAIN PER PLANS
- ALL EGRESS WINDOW WELLS TO DRAIN INTO DRY WELLS BELOW SLAB, DRY WELLS TO BE LOOSE GRAVEL 24" MINIMUM BELOW SLAB
- EGRESS LADDER TO BE PROVIDED AT ALL WINDOW WELL LOCATIONS
- LADDER OR RUNGS ARE TO HAVE AN INSIDE WIDTH OF NOT LESS THAN 12", SHALL PROJECT AT LEAST 3" FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18" ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL. THE LADDER OR STEPS SHALL NOT ENCR OACH INTO THE REQUIRED DIMENSIONS OF THE WINDOW WELL BY MORE THAN 6" AND SHALL NOT BE OBSTRUCTED BY THE EGRESS WINDOW.
- SAFETY GLAZING TO BE PROVIDED AS REQUIRED BY LOCAL CODES, (R308.4). REFER TO A8.1 FOR SPECIFIC WINDOWS & DOORS LOCATIONS THAT REQUIRE SAFETY GLAZING



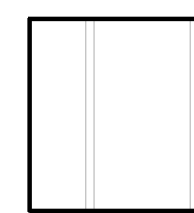
Graphic Scale: 1 inch = 4 feet



2 Level 1 Framing Plan
1/4" = 1'-0"

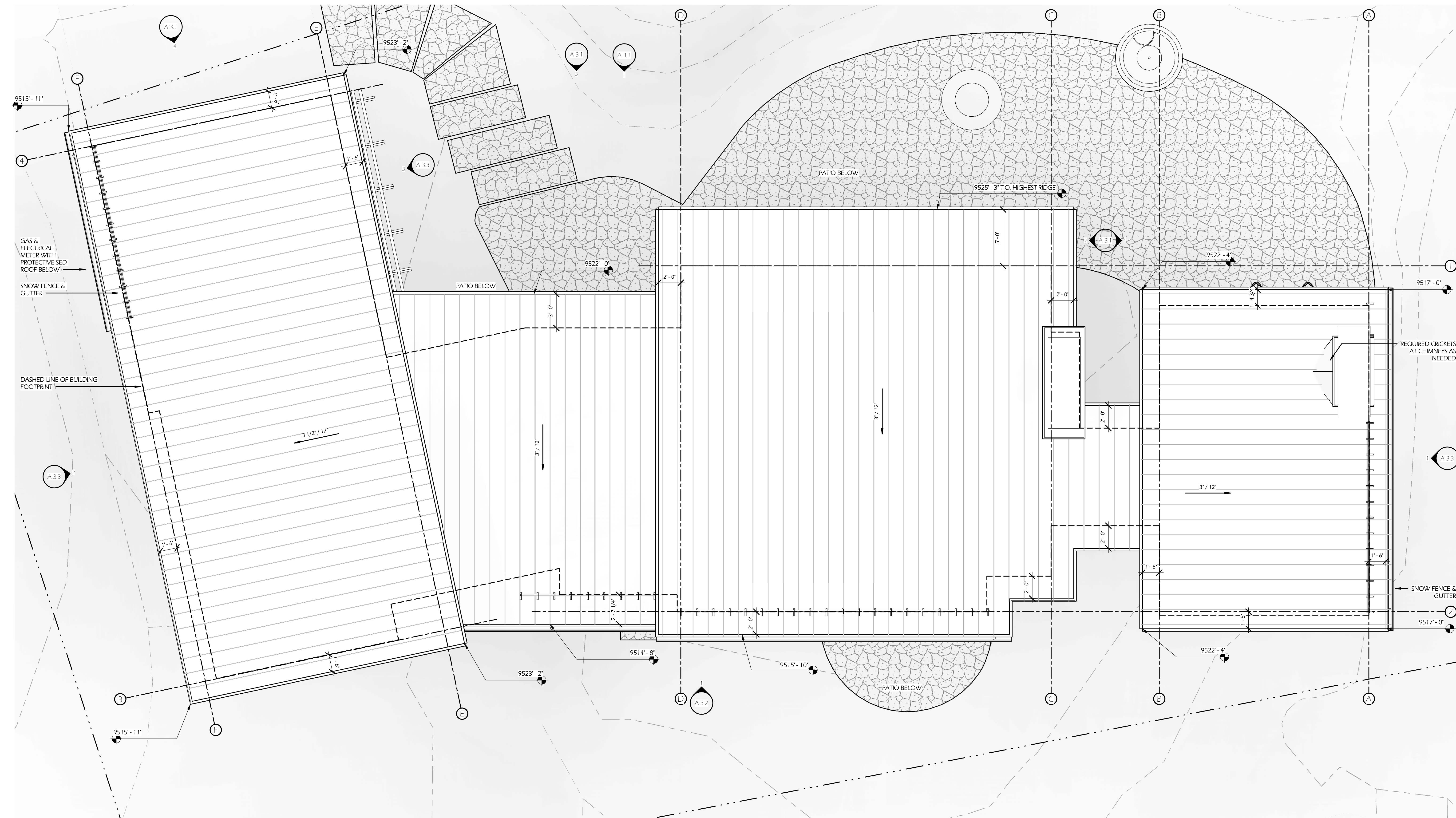
ROOF PLAN NOTES:

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- SEE A5 SERIES FOR STAIR DETAILS
- SEE A7 FOR ALL ASSEMBLY DETAILS
- ALL FURRING ON CONCRETE WALLS SHOWN @ 2" U.N.O.
- ALL EXTERIOR FLOORS TO BE 1" BELOW ADJACENT INTERIOR FINISH FLOOR ELEVATION
- ALL SOFFITS & RIDGES TO BE FULLY SEALED PER DETAILS
- SAFETY GLAZING TO BE PROVIDED AS REQUIRED BY LOCAL CODES. (R308.4) REFER TO A8.1 FOR SPECIFIC WINDOWS & DOORS LOCATIONS THAT REQUIRE SAFETY GLAZING
- EAVE OUTLOOK DIMENSIONS SHOWN ON BUILDING SECTIONS



METAL
STANDING
SEAM ROOFING

Roof Plan Materials



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ARCHITECT

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Office: 805-452-9690
Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath
(New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC - Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain
Village 81435

| No. | Drawing Set Description | Issued Date |
|-----|-------------------------|-------------|
| 1 | IASR Review | 09/10/2021 |
| 2 | | |
| 3 | | |
| 4 | | |
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| No. | Description | Date |
|-----|-------------|------|
| 1 | | |
| 2 | | |

Blum

134 Russell Drive

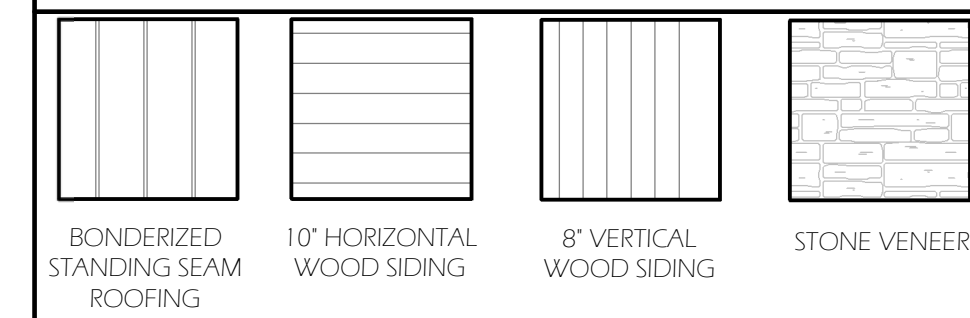
Roof Plan

| | |
|-------------|------------|
| Date: | 09/10/2021 |
| Drawn by: | DH / BF |
| Checked by: | DH / BF |

A 2.2

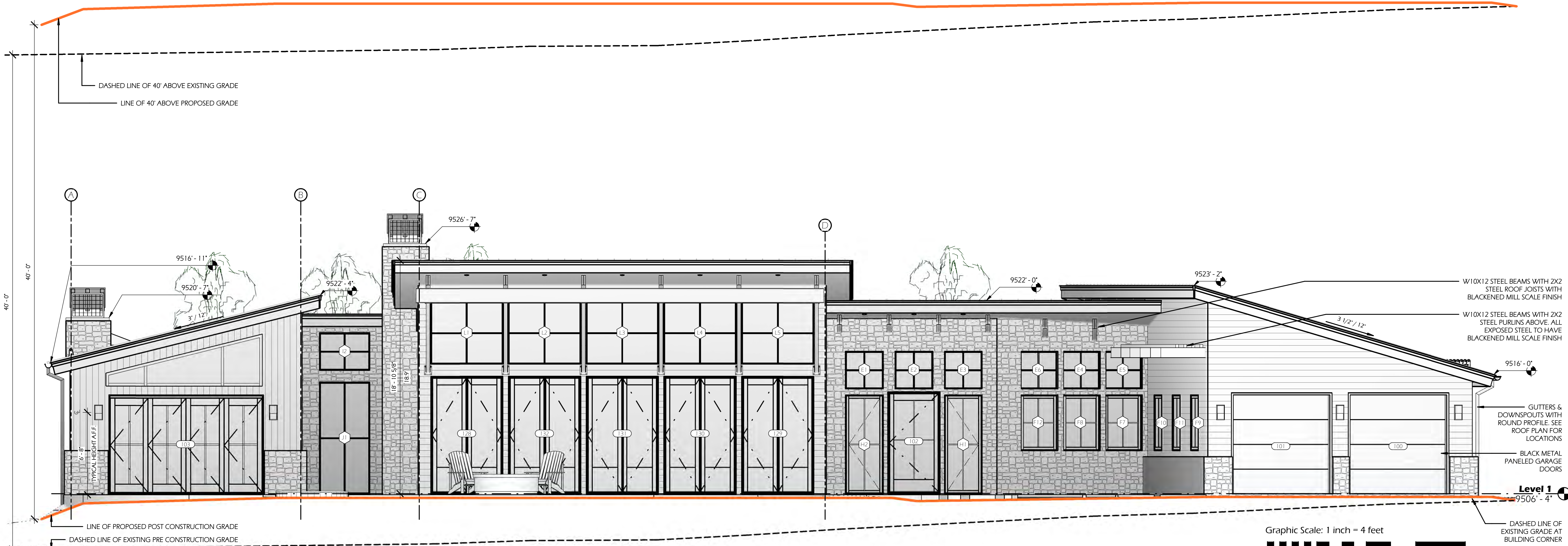
Scale: As indicated

EXTERIOR MATERIALS

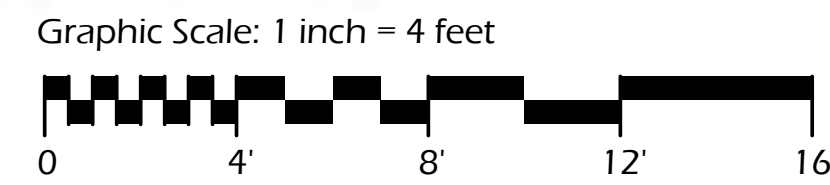


EXTERIOR ELEVATION NOTES:

- ALL MECHANICAL VENTING TO BE PAINTED TO MATCH ADJACENT MATERIALS TO CONCEAL VENTS AS APPROPRIATE
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- SEE A4 SERIES - BUILDING SECTIONS FOR DETAIL LOCATIONS
- DASHED LINES REPRESENT WINDOW & DOOR OPERATIONS
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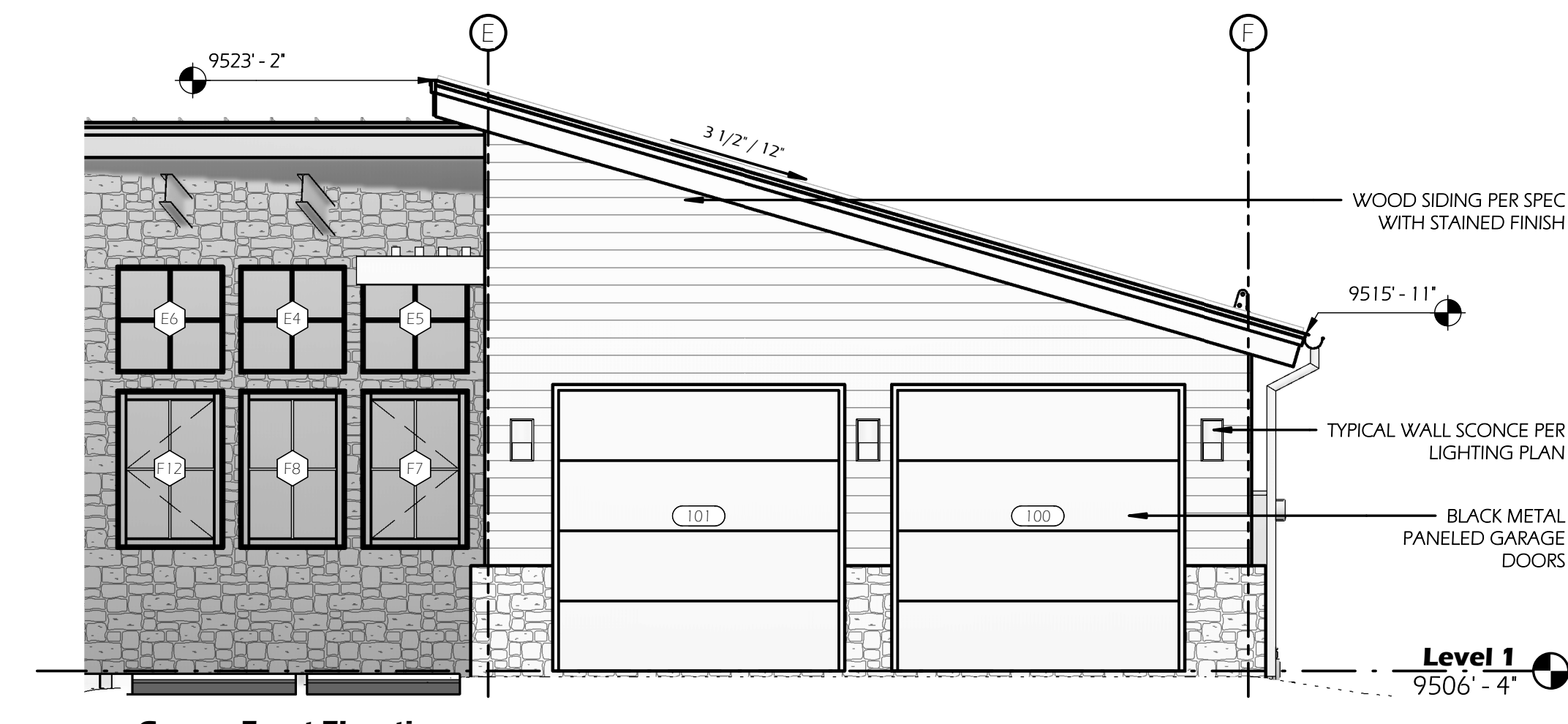
1 North Elevation
1/4" = 1'-0"



2 Partial Living Room
1/4" = 1'-0"



3 Entry Elevation
1/4" = 1'-0"



4 Garage Front Elevation
1/4" = 1'-0"

PROJECT TEAM

PROPERTY OWNER

Alex and Maureen Blum
116 Farms Road,
Stamford CT 06903

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Platley
301 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
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e-mail: dylan@saltarchitecture.com

STRUCTURAL ENG.

Colorado Structural Inc.
Mike Arbaney
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Office: 970-349-5922

MECHANICAL ENG.

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|-----|-------------|------|
| | | |

Blum

134 Russell Drive

Elevations

Date: 09/10/2021
Drawn by: DH / BF
Checked by: DH / BF

A 3.1

Scale: As indicated

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Blum

134 Russell Drive

Elevations

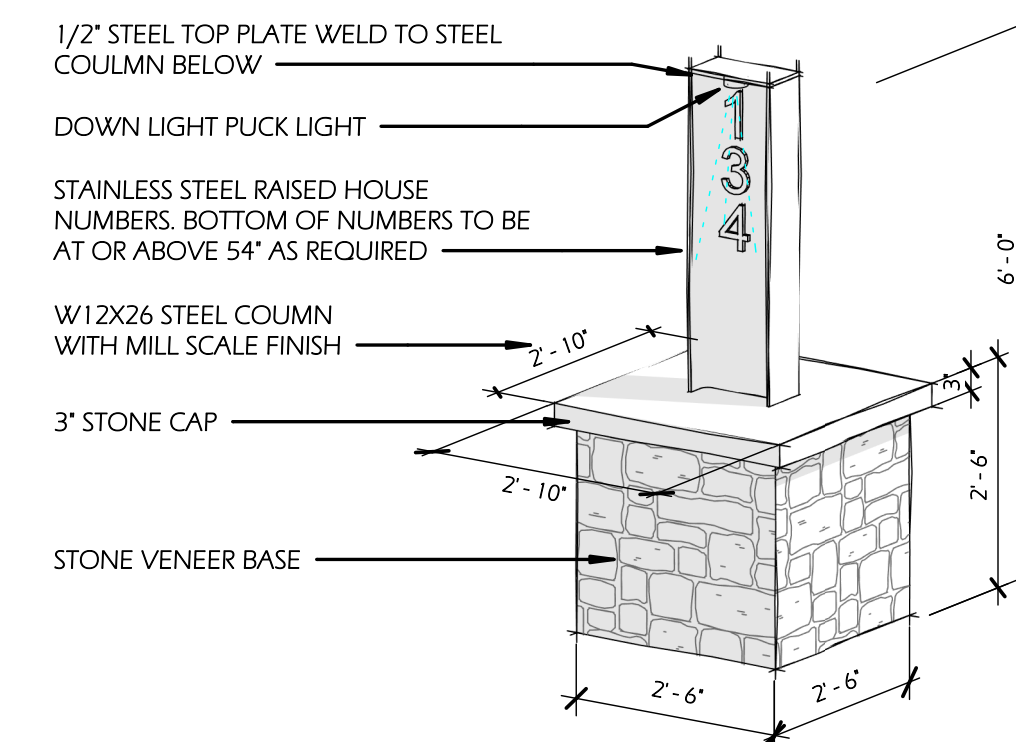
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|-------------|------------|
| Date: | 09/10/2021 |
| Drawn by: | DH / BF |
| Checked by: | DH / BF |

A 3.2

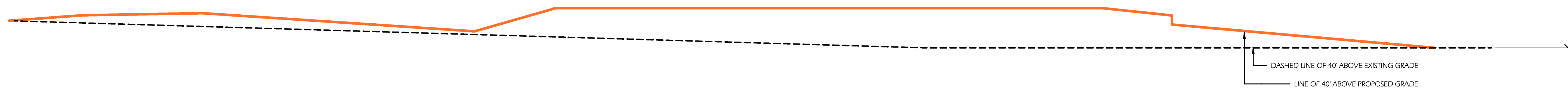
Scale: 1/4" = 1'-0"

COPYRIGHT 2021 9/21/2021 3:55:12 PM

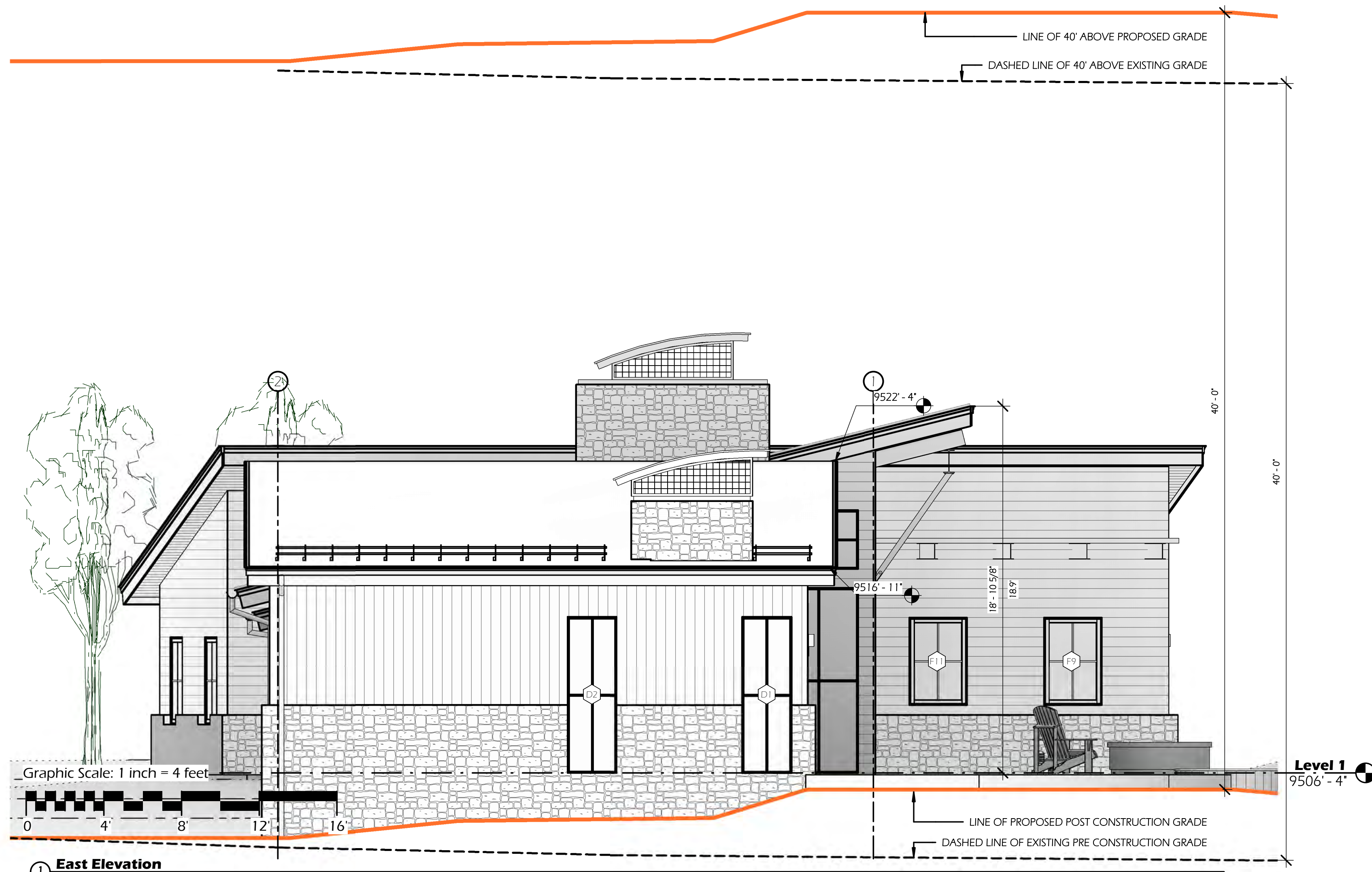
TOTAL HEIGHT NOT TO EXCEED 72" AS REQUIRED



② Address Monument



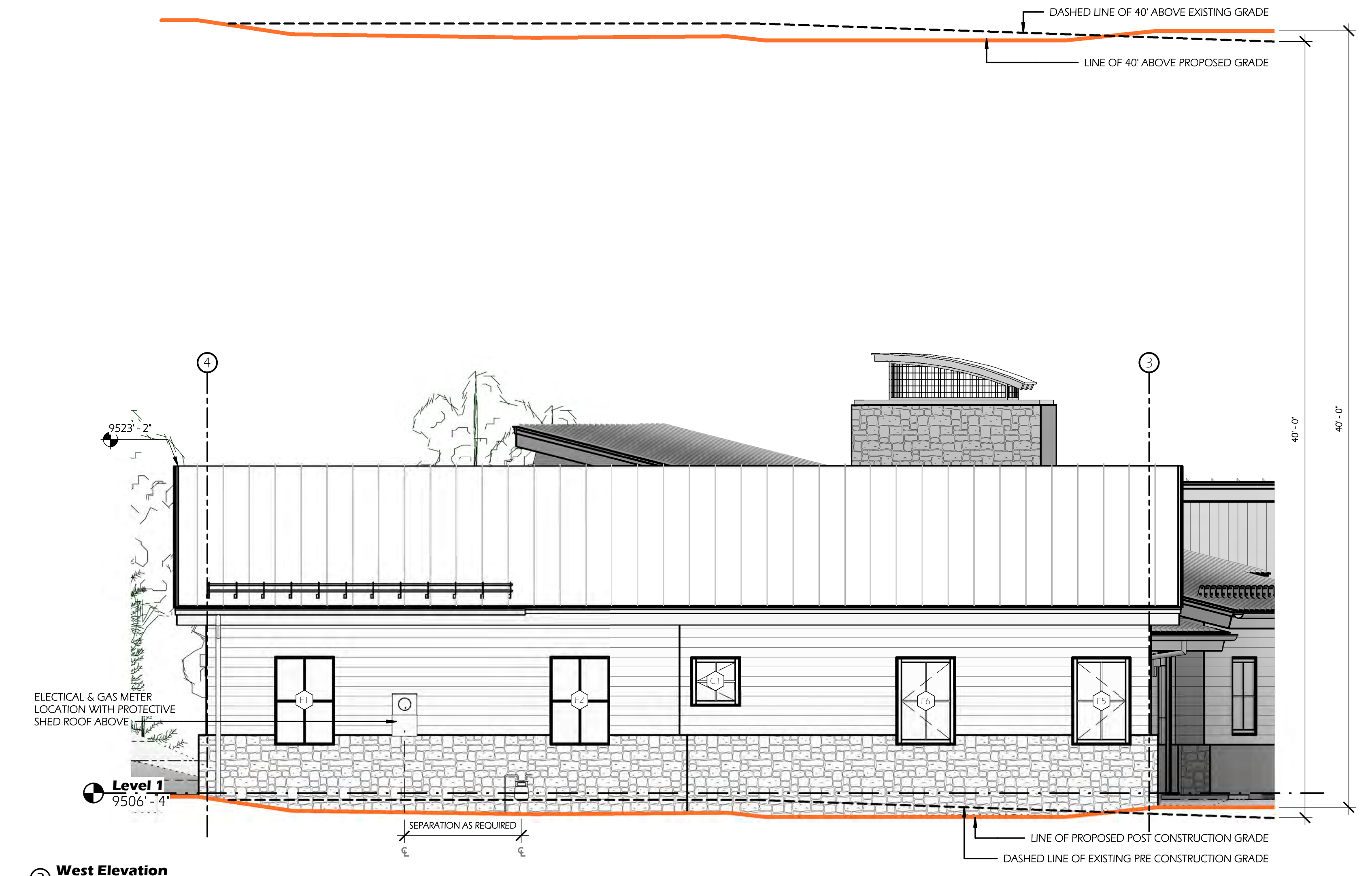
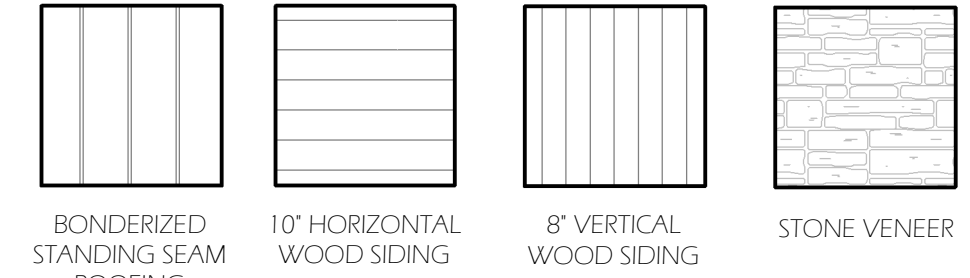
① South Elevation
1/4" = 1'-0"



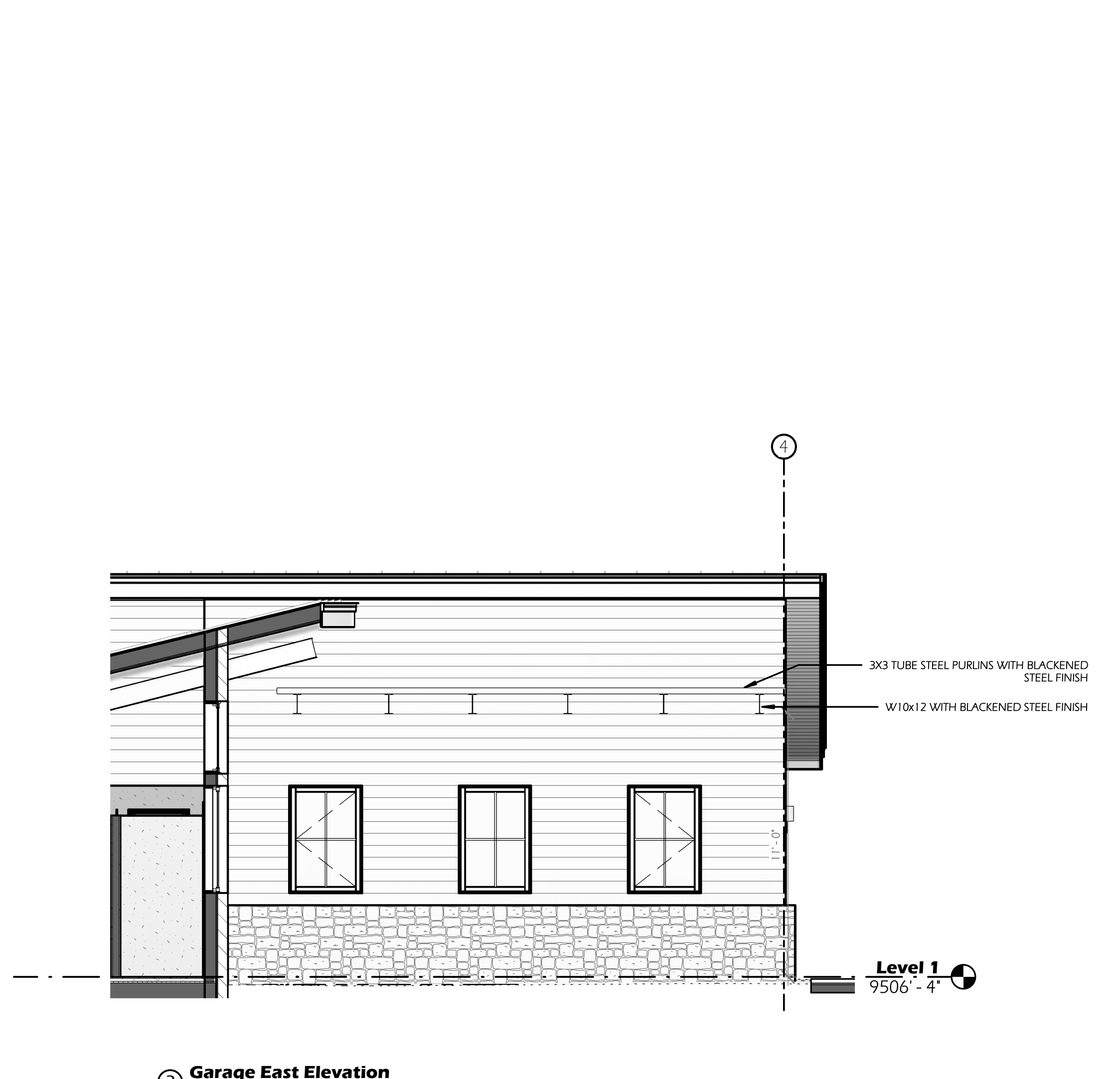
① East Elevation
1/4" = 1'-0"

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② West Elevation
1/4" = 1'-0"



③ Garage East Elevation
1/4" = 1'-0"



SALT ARCHITECTURE
SANTA BARBARA, CA
805.729.4276

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| | | |

Blum

134 Russell Drive

Elevations

| | |
|-------------|------------|
| Date: | 09/10/2021 |
| Drawn by: | DH / BF |
| Checked by: | DH / BF |

A 3.3

Scale: As indicated

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PROJECT DESCRIPTION

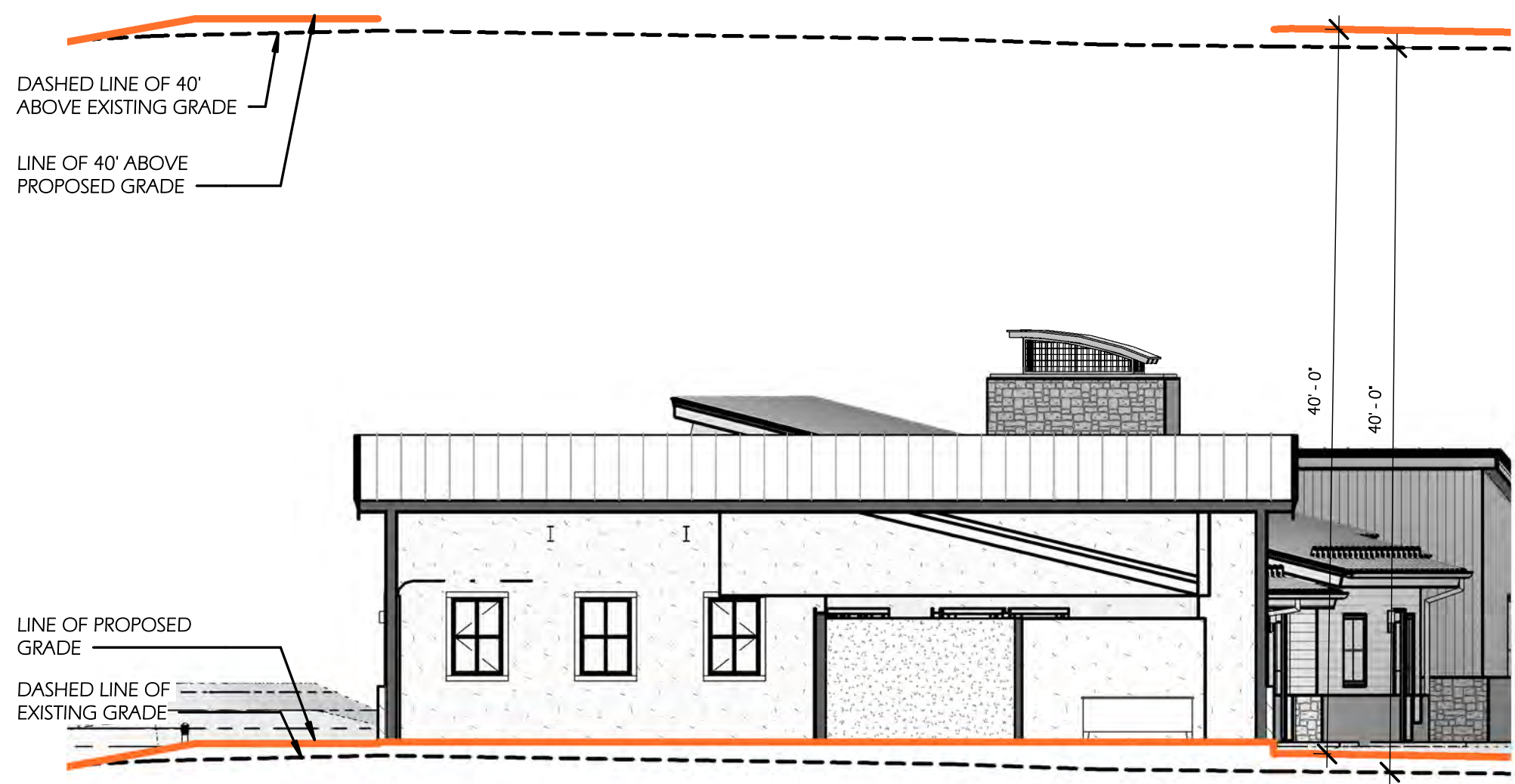
1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath
(New)

PROJECT ZONING

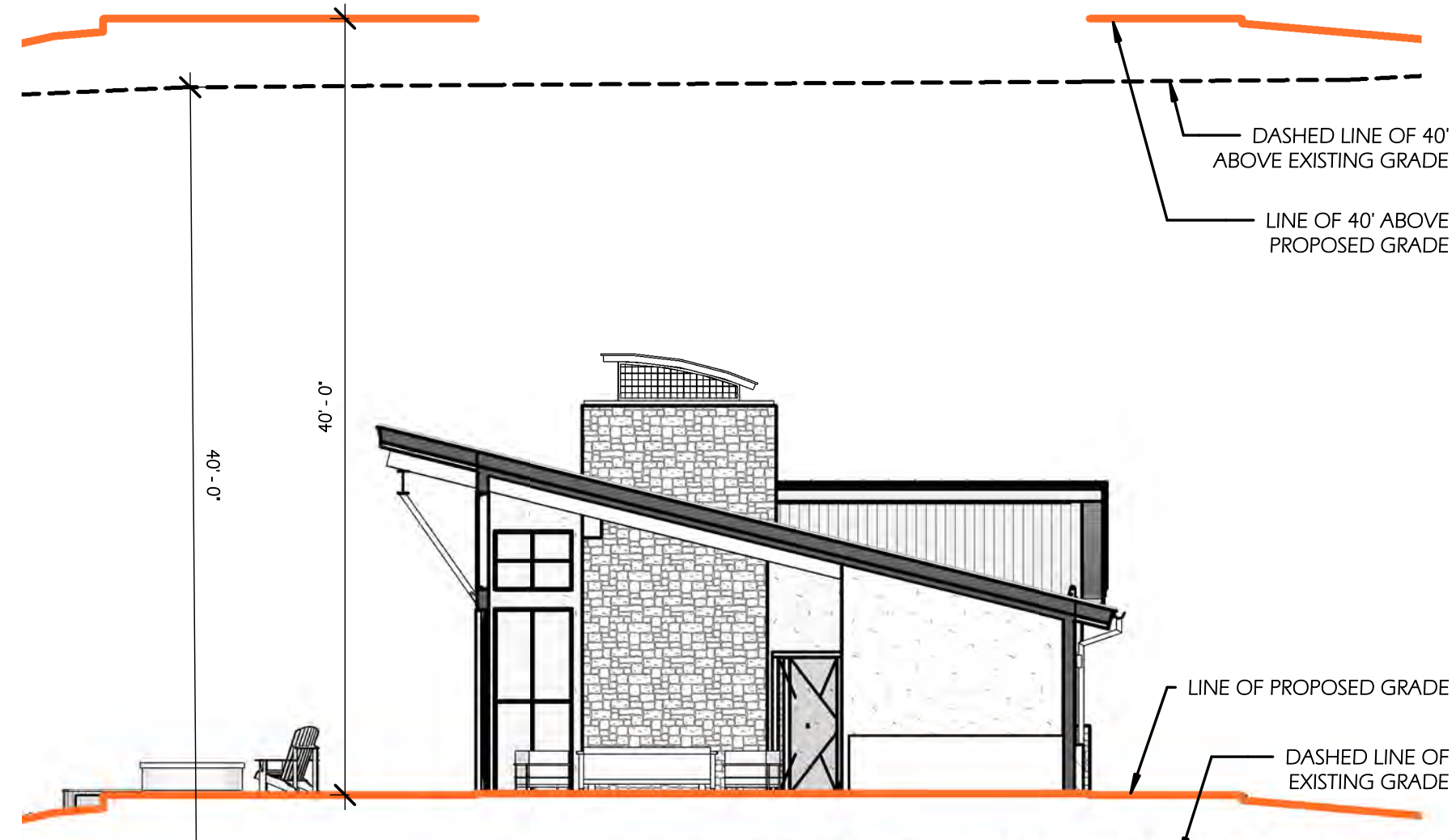
Zoning District - Single Family Residence - 2018
IRC - Occ. Class R-3

PROJECT LEGAL DESCRIPTION

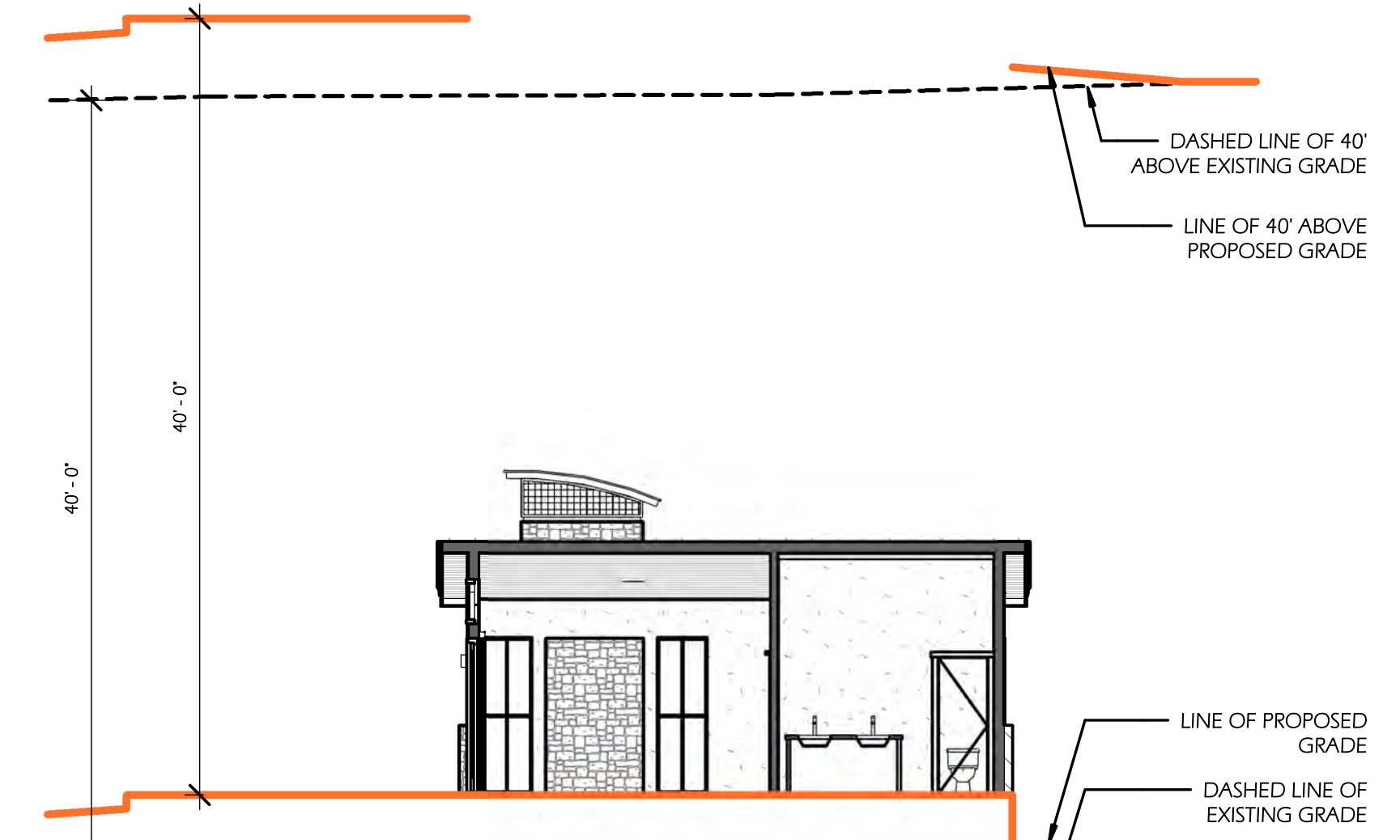
Lot 515/134 Russell Drive, Town of Mountain
Village 81435



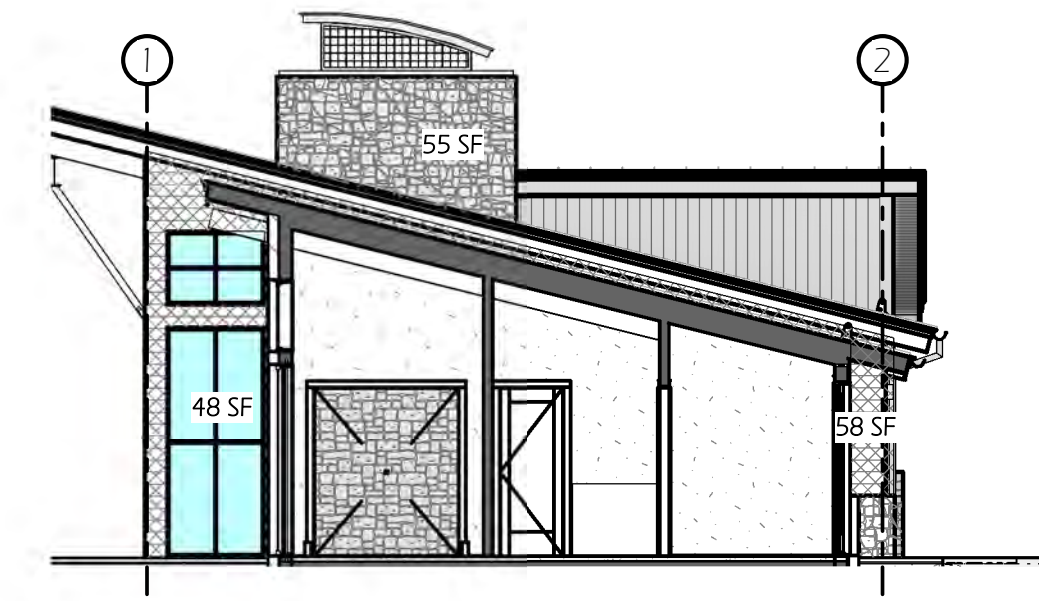
1 Parallel Plane Section 1
1/8" = 1'-0"



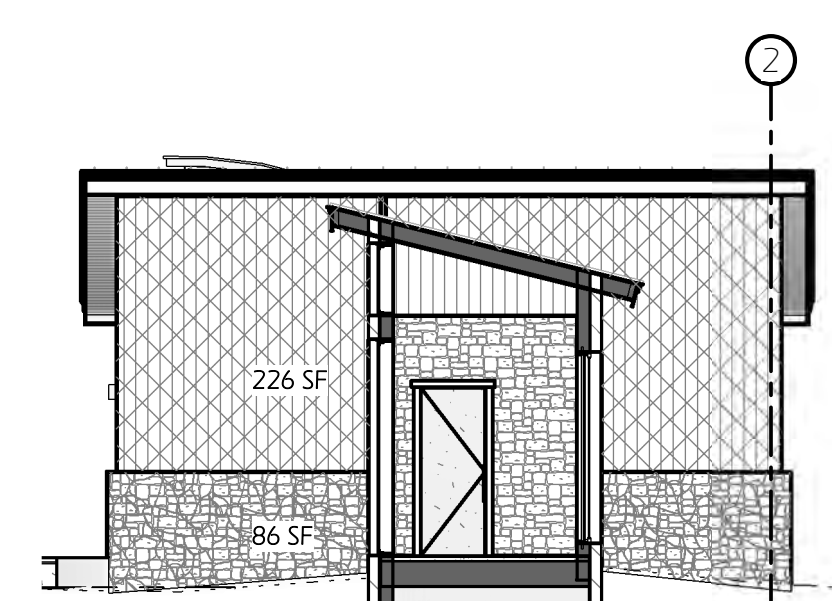
2 Parallel Plane Section 2
1/8" = 1'-0"



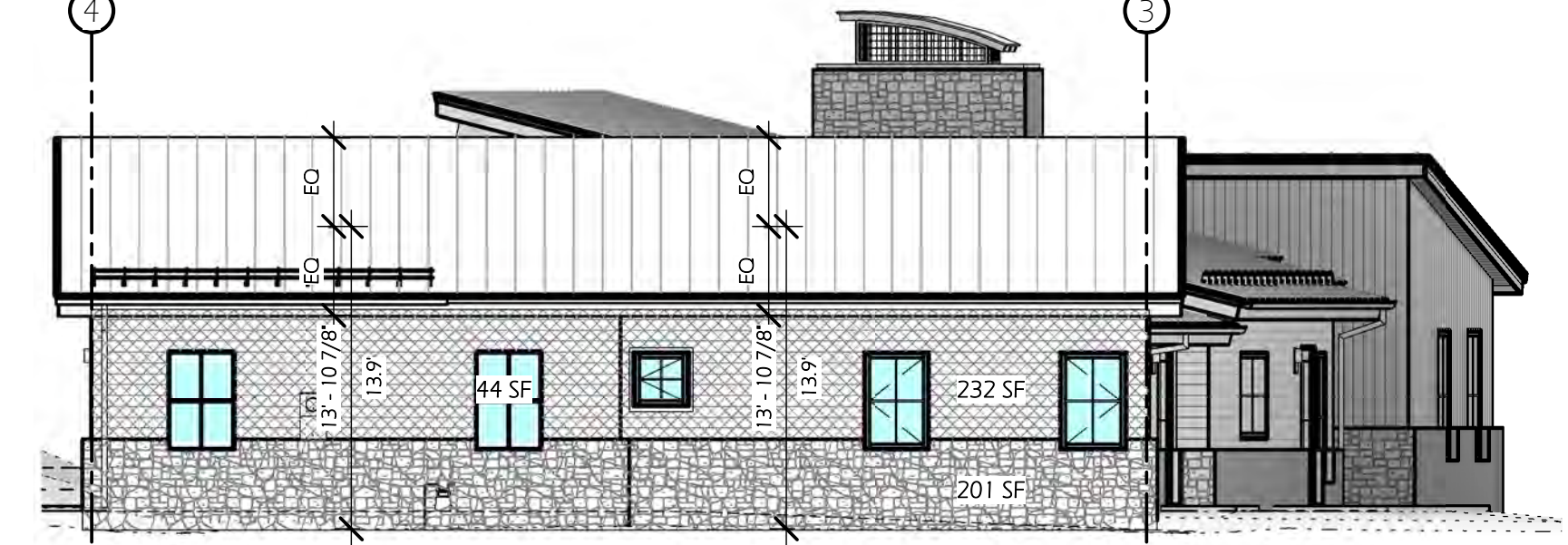
3 Parallel Plane Section 3
1/8" = 1'-0"



1/8" = 1'-0" 4 Partial West at Living Room



1/8" = 1'-0" 5 Partial West at Master



1/8" = 1'-0" 6 West Elevation

MATERIAL CALCULATIONS

EXTERIOR WALL MATERIAL PERCENTAGES

| | |
|--------------------------------|-----|
| PERCENTAGE OF STONE: | 35% |
| PERCENTAGE OF STUCCO: | 0 |
| PERCENTAGE OF WOOD: | 43% |
| PERCENTAGE OF ACCENT MATERIAL: | 0 |
| PERCENTAGE OF FENESTRATION: | 22% |

TOTAL BUILDING

| | |
|-----------------------------------|-------|
| TOTAL SQ. FT. OF EXTERIOR WALL: | 4,714 |
| TOTAL SQ. FT. OF STONE: | 1,637 |
| TOTAL SQ. FT. OF STUCCO: | 0 |
| TOTAL SQ. FT. OF WOOD: | 2,027 |
| TOTAL SQ. FT. OF ACCENT MATERIAL: | 0 |
| TOTAL SQ. FT. OF FENESTRATION: | 1,050 |

NORTH ELEVATION

| | |
|--|-------|
| TOTAL SQ. FT. OF EXTERIOR WALL : | 1,339 |
| TOTAL SQ. FT. OF STONE :204+126= | 330 |
| TOTAL SQ. FT. OF STUCCO : | 0 |
| TOTAL SQ. FT. OF WOOD :77+134+121= | 332 |
| TOTAL SQ. FT. OF ACCENT MATERIAL: | 0 |
| TOTAL SQ. FT. OF FENESTRATION :622+55= | 677 |

EAST ELEVATION

| | |
|--|-------|
| TOTAL SQ. FT. OF EXTERIOR WALL : | 1,264 |
| TOTAL SQ. FT. OF STONE :212+192+93= | 497 |
| TOTAL SQ. FT. OF STUCCO : | 0 |
| TOTAL SQ. FT. OF WOOD :97+157+397= | 651 |
| TOTAL SQ. FT. OF ACCENT MATERIAL: | 0 |
| TOTAL SQ. FT. OF FENESTRATION :48+38+30= | 116 |

SOUTH ELEVATION

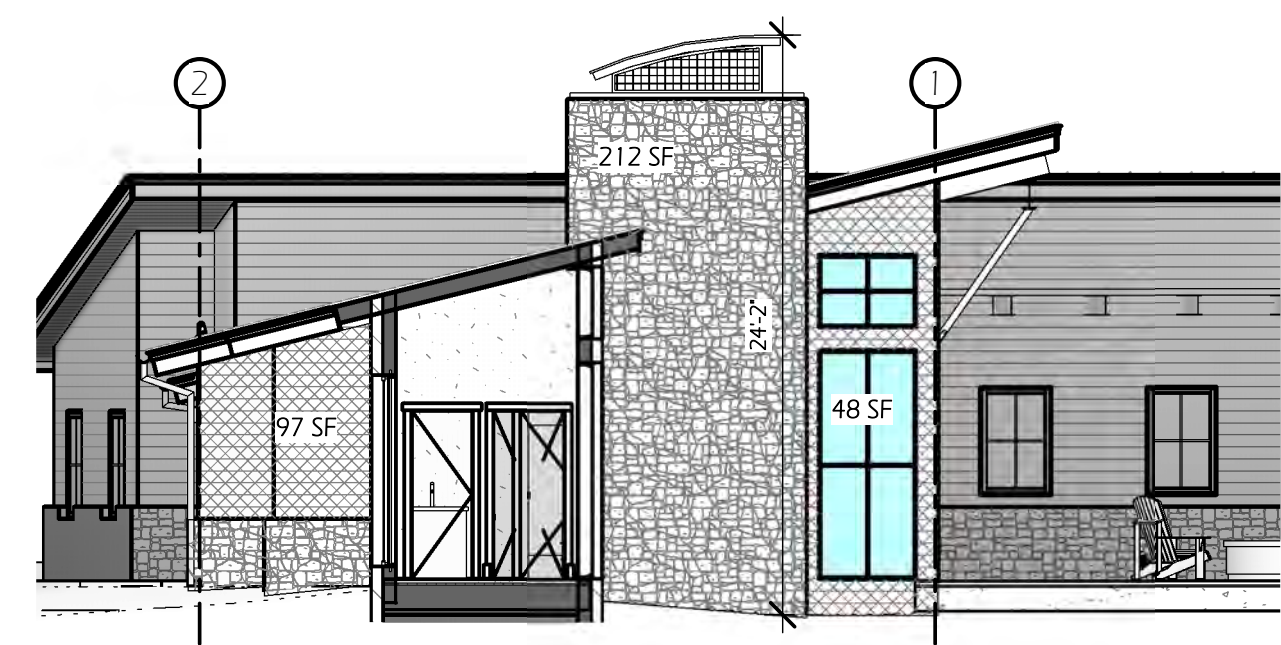
| | |
|--|-------|
| TOTAL SQ. FT. OF EXTERIOR WALL : | 1,161 |
| TOTAL SQ. FT. OF STONE :70+398= | 468 |
| TOTAL SQ. FT. OF STUCCO : | 0 |
| TOTAL SQ. FT. OF WOOD :135+252+141= | 528 |
| TOTAL SQ. FT. OF ACCENT MATERIAL: | 0 |
| TOTAL SQ. FT. OF FENESTRATION :20+145= | 165 |

WEST ELEVATION

| | |
|---------------------------------------|-----|
| TOTAL SQ. FT. OF EXTERIOR WALL : | 950 |
| TOTAL SQ. FT. OF STONE :55+86+201= | 342 |
| TOTAL SQ. FT. OF STUCCO : | 0 |
| TOTAL SQ. FT. OF WOOD :58+226+232= | 516 |
| TOTAL SQ. FT. OF ACCENT MAT.: | 0 |
| TOTAL SQ. FT. OF FENESTRATION :48+44= | 92 |

HEIGHT AVERAGE CALCULATIONS

$$\frac{16.4' + 15.2' + 13.0' + 14.8' + 19.2' + 19.2' + 15.0' + 13.1' + 13.9' + 13.9' + 13.5' + 14.1' + 13.2' + 14.2' + 13.4' + 16.1'}{16} = 14.9 \text{ FT AVERAGE HEIGHT}$$



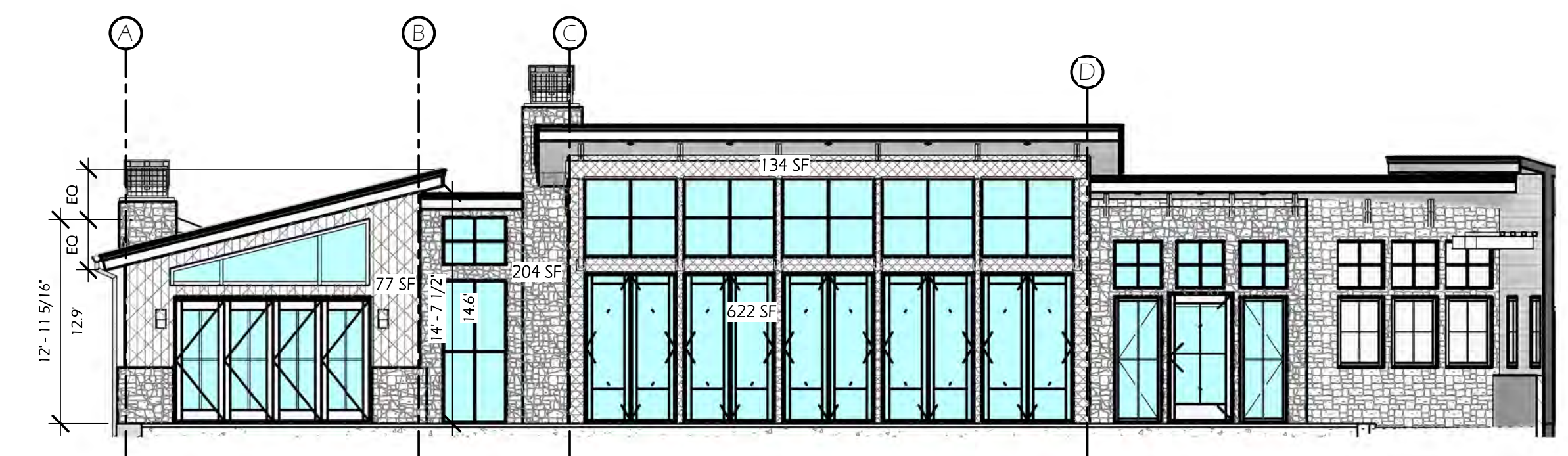
1/8" = 1'-0" 7 Partial East at Living Room



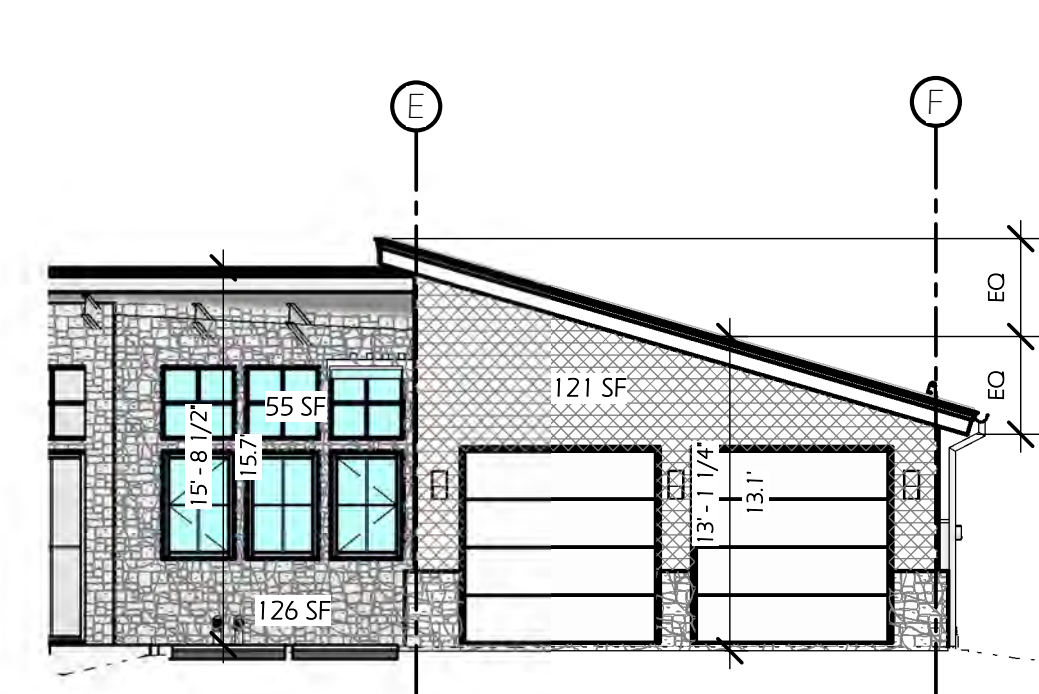
1/8" = 1'-0" 8 East Elevation



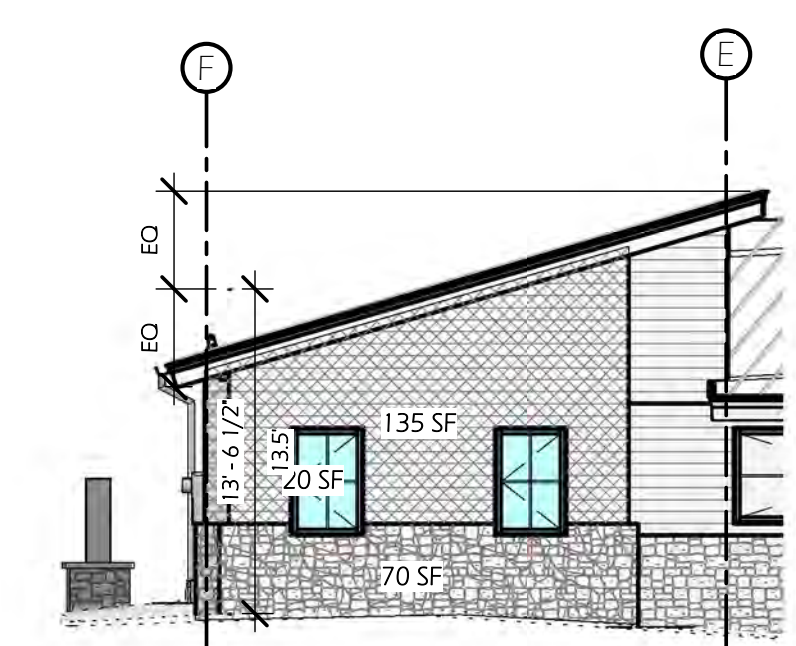
1/8" = 1'-0" 9 Partial East at Garage



1/8" = 1'-0" 10 North Elevation



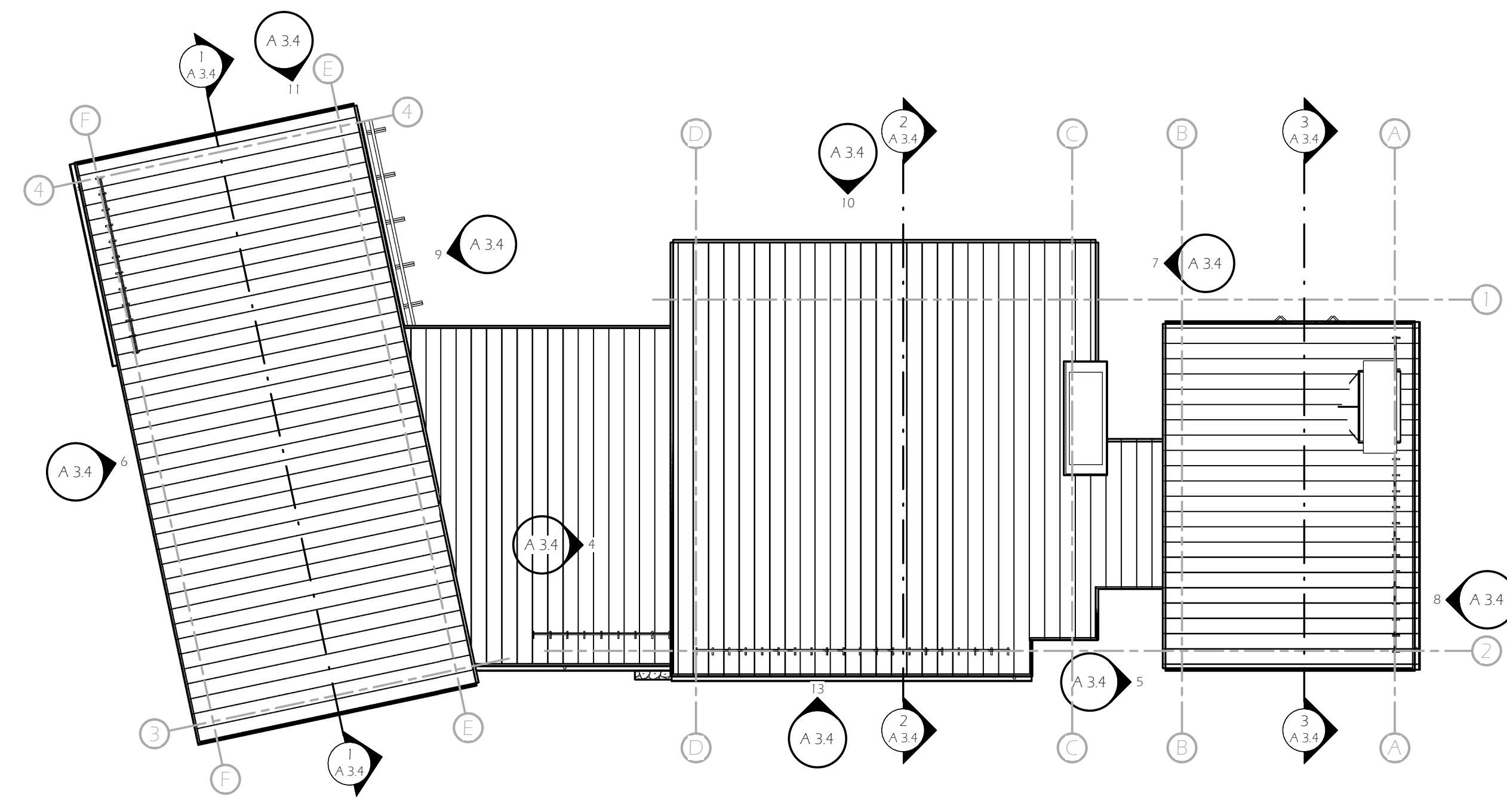
1/8" = 1'-0" 11 Partial North at Garage Front Elevation



1/8" = 1'-0" 12 South West Elevation



1/8" = 1'-0" 13 South East Elevation



14 Key Plan
1" = 10'-0"

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Blum

134 Russell Drive

Material Calculations & Height Compliance

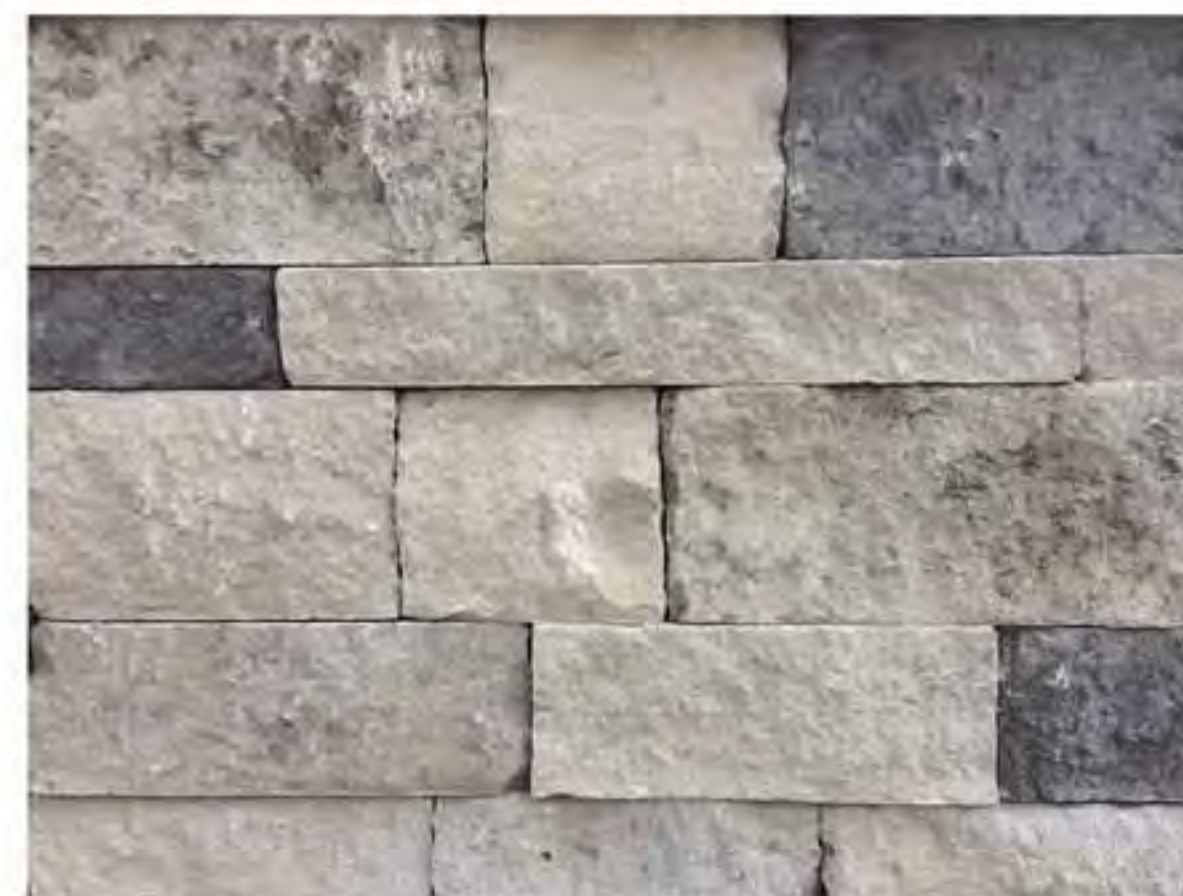
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| Checked by: | DH / BF |

A 3.4

Scale: As indicated



BLACK CLAD WINDOWS AND DOORS



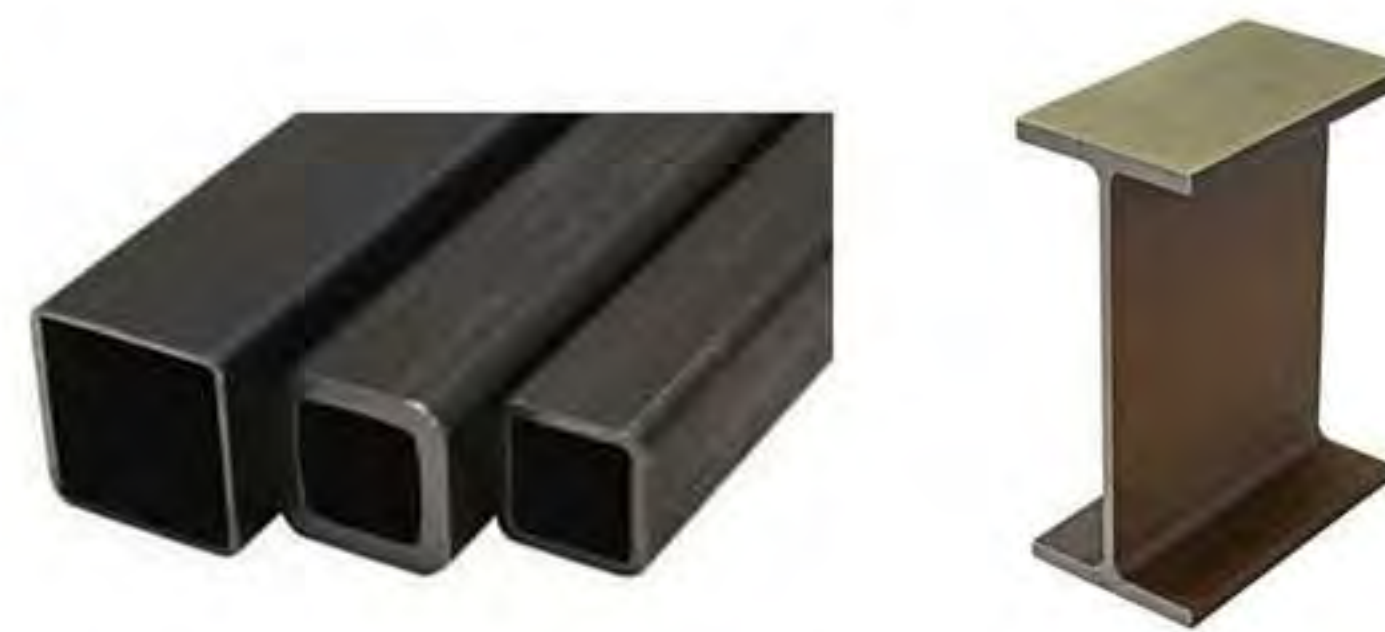
BILTMORE ASHLAR PATTERN STONE



VERTICAL STAINED CEDAR SIDING



FOND DU LAC FLAGSTONE



EXTERIOR EXPOSED STEEL BEAMS AND PURLINS



BLACK METAL PANEL GARAGE DOORS



BONDERIZED STANDING SEAM ROOFING

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Blum

134 Russell Drive

Exterior Materials

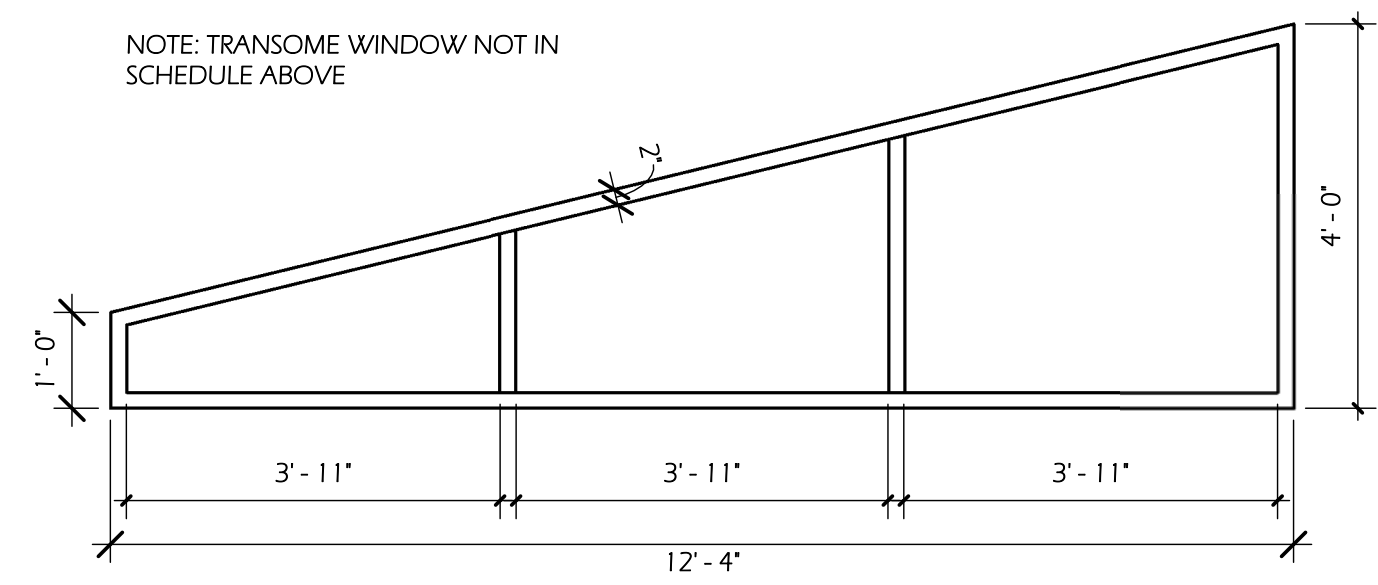
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A 3.5

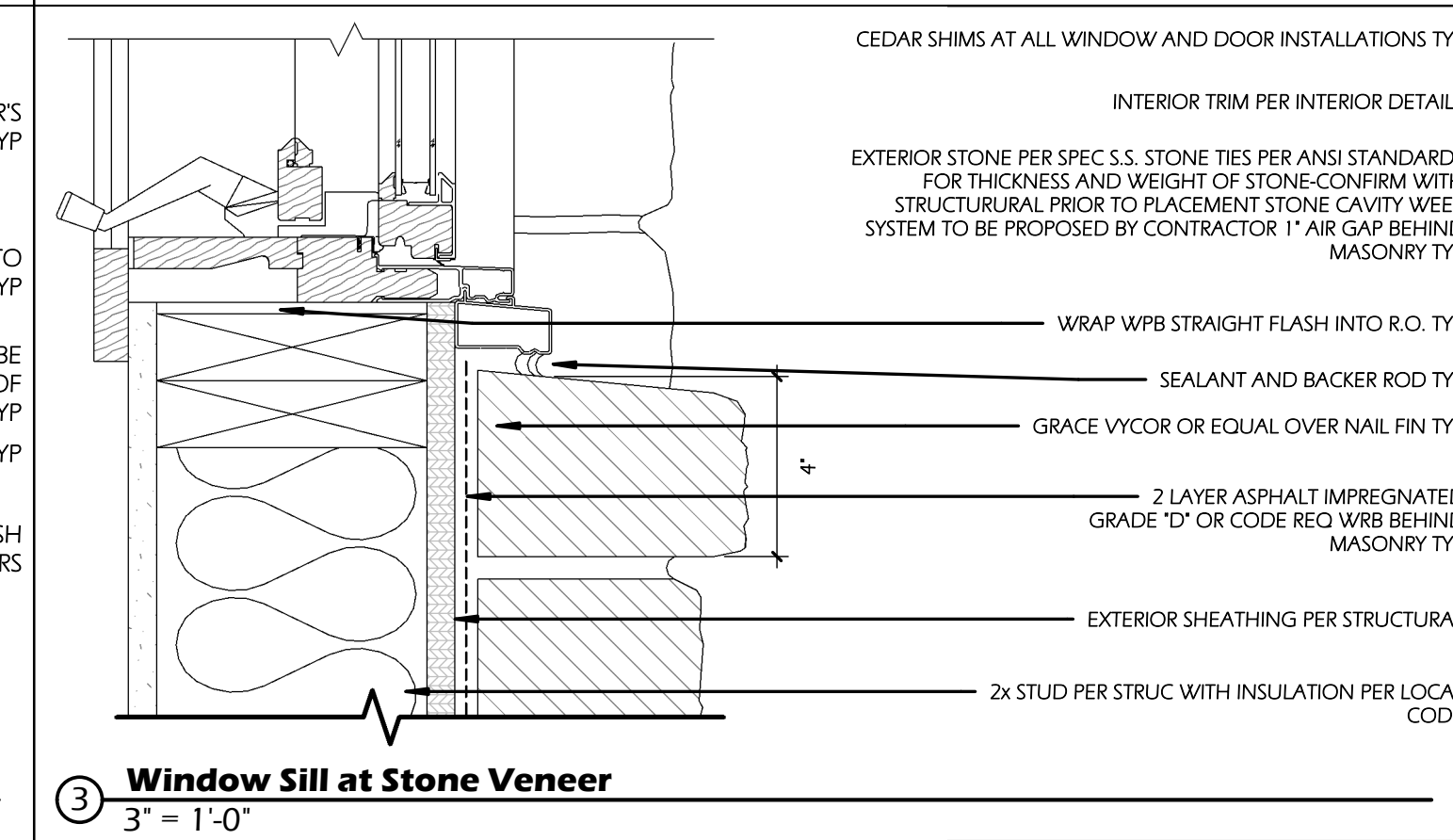
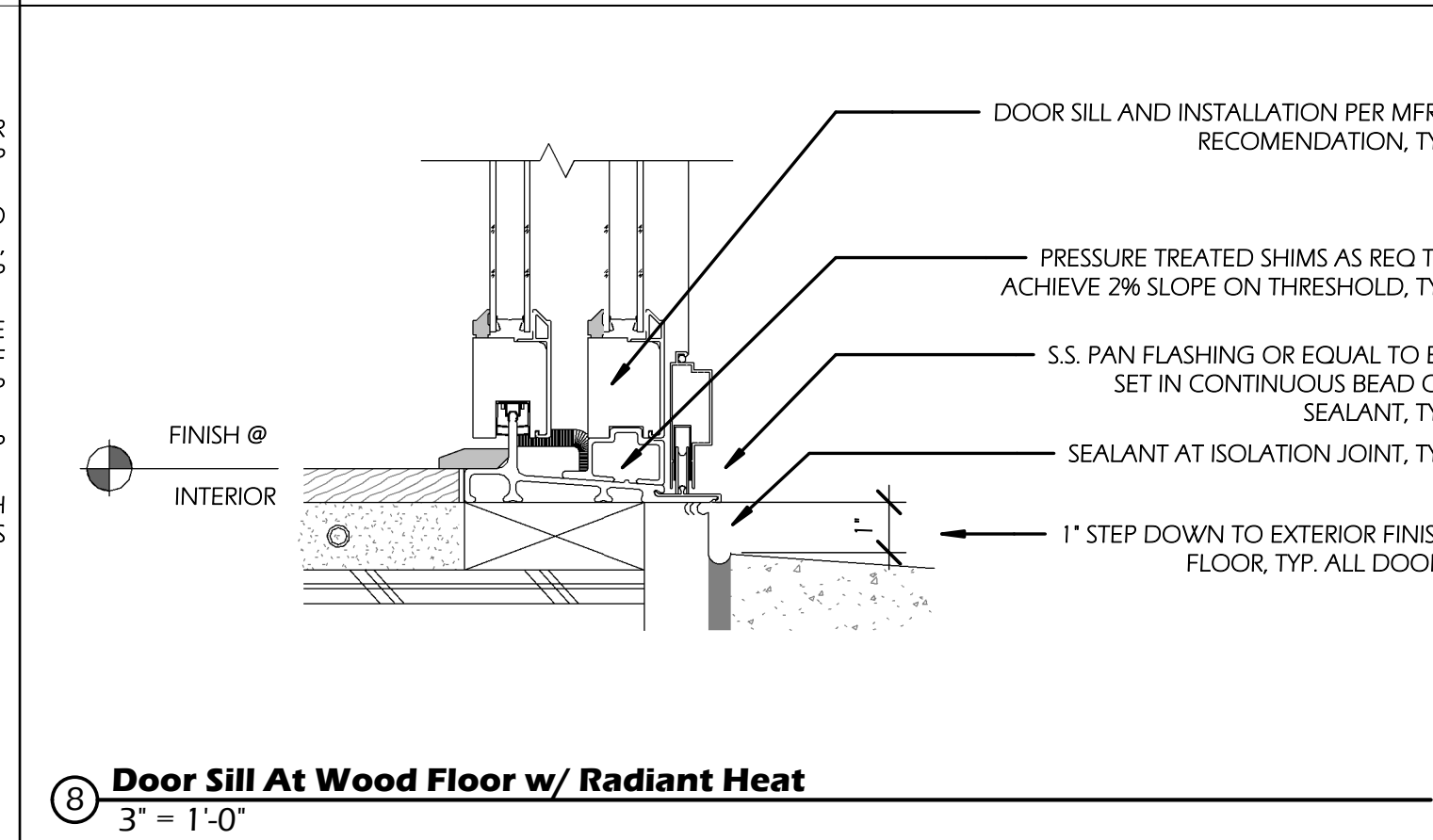
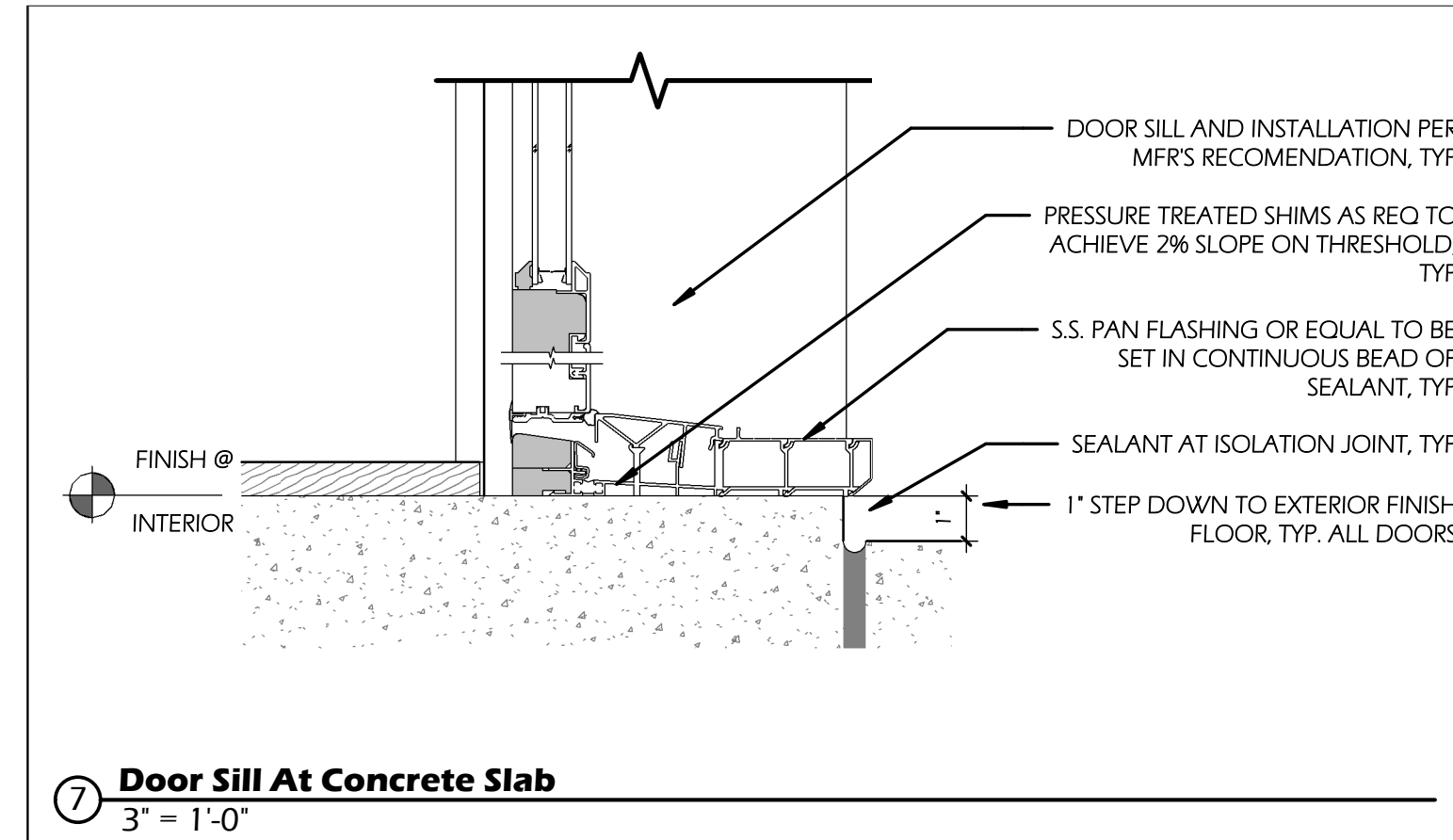
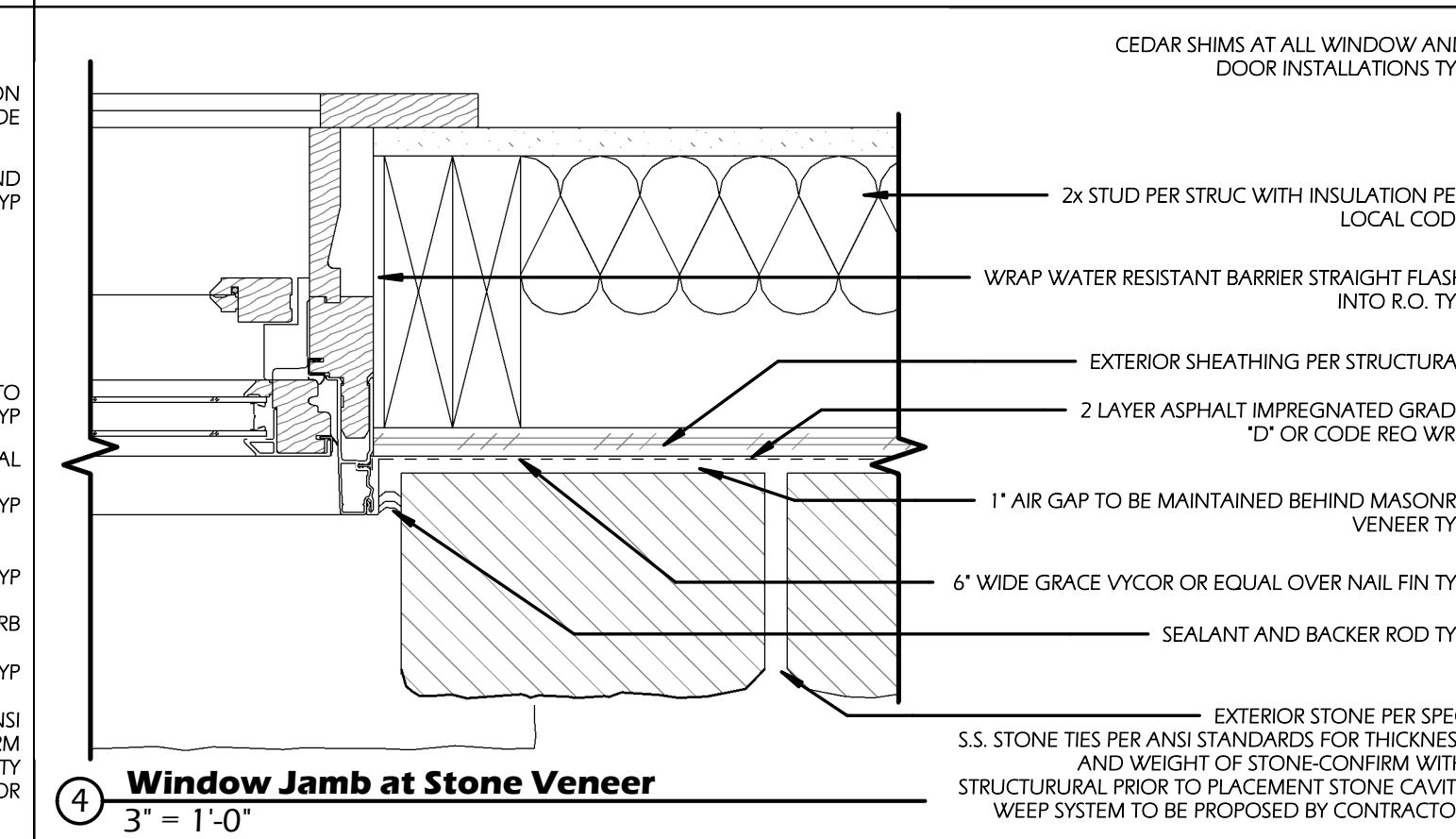
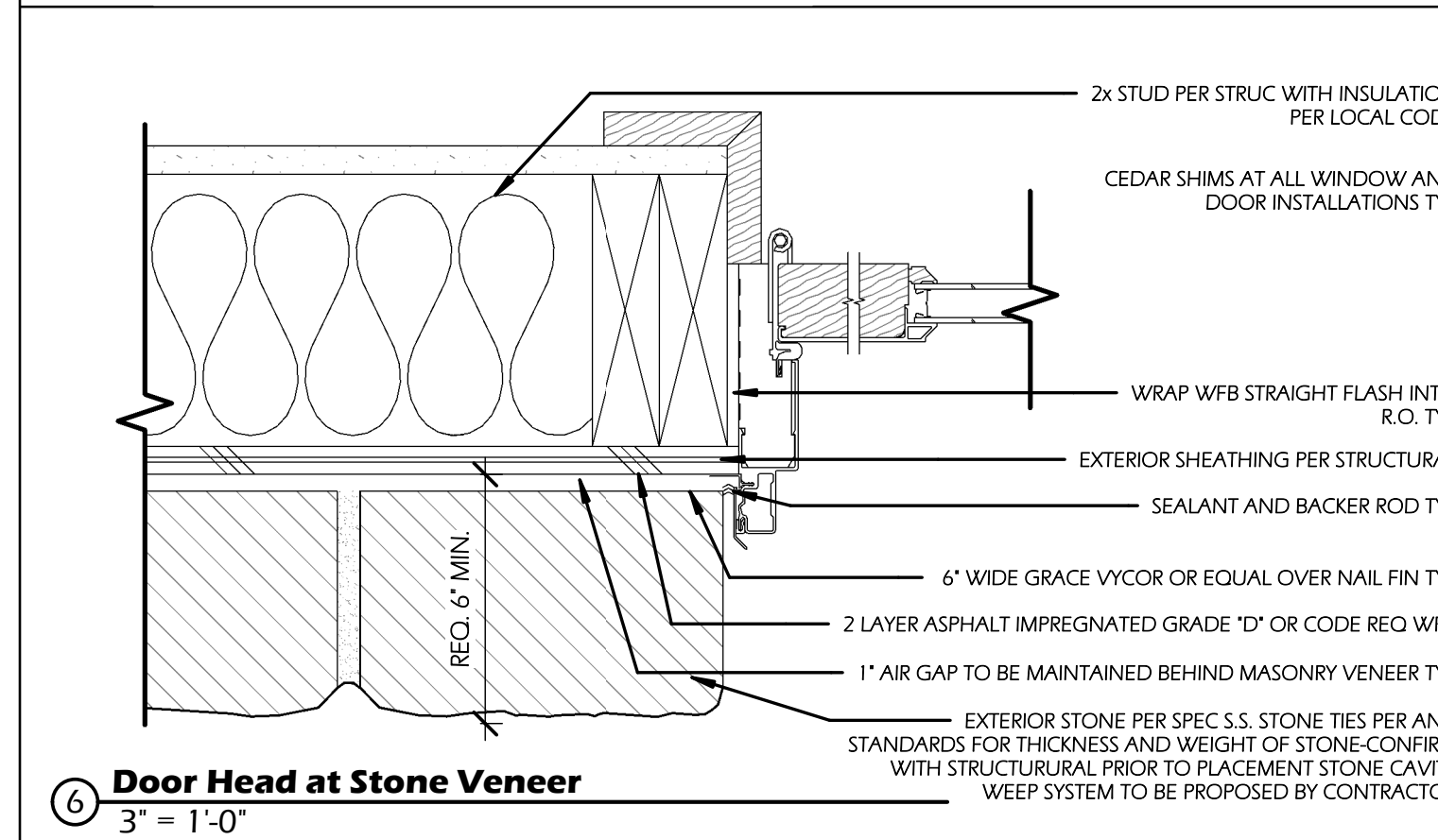
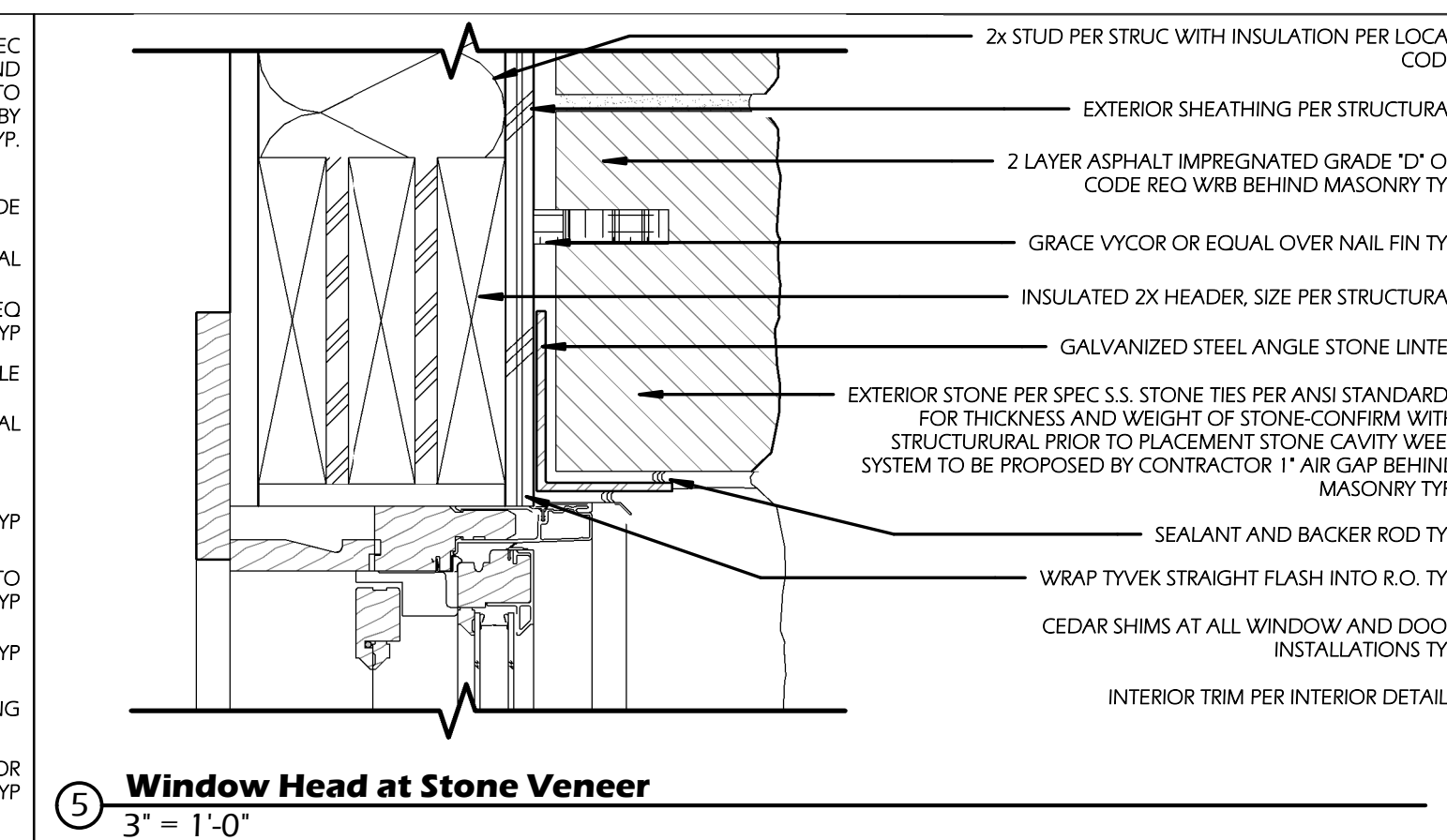
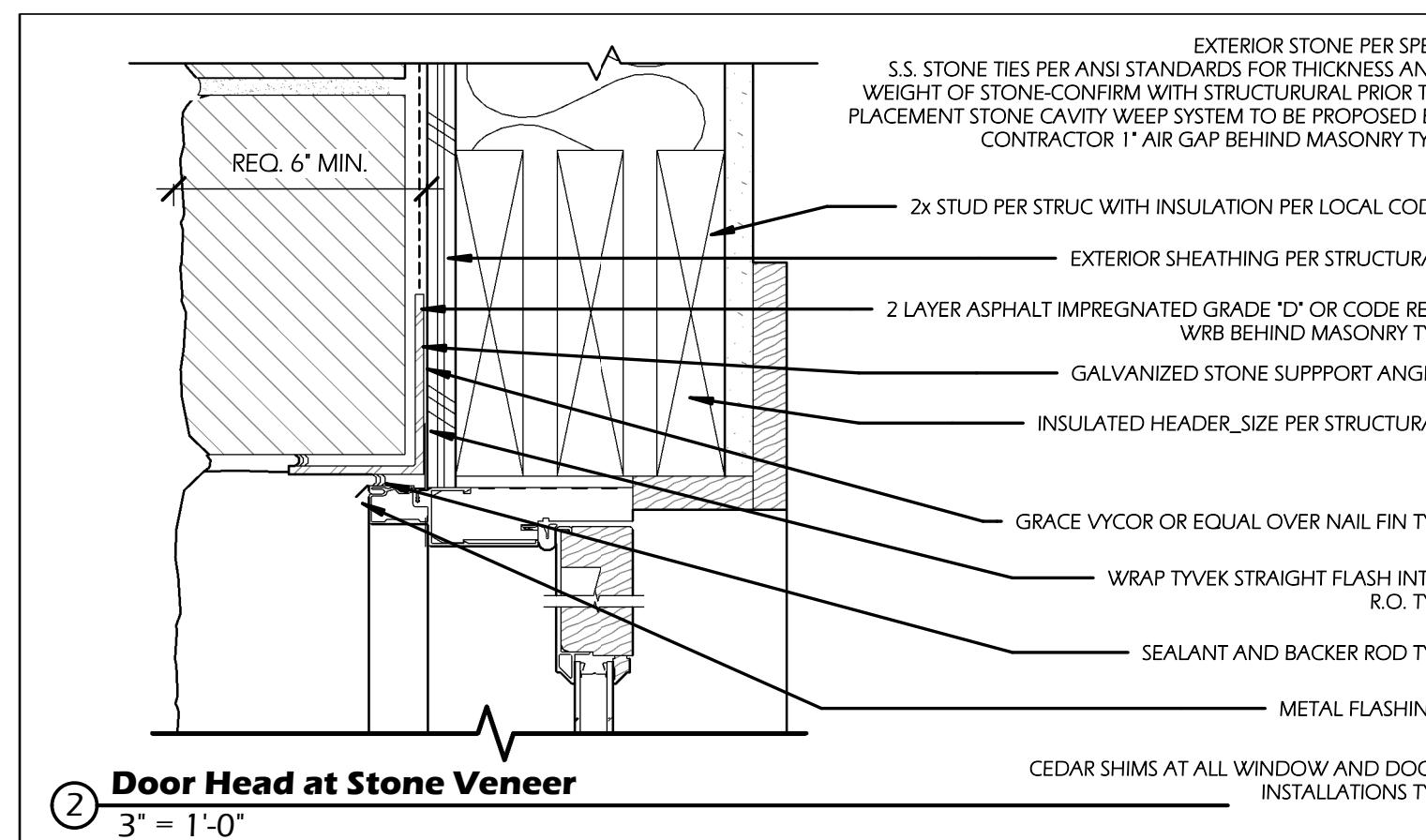
Scale:

| Window Schedule - New Proposed | | | | | | | | | |
|--------------------------------|---------|--------|--------|-------------|-------------|-------------------|-----------|----------|------|
| ID Mark | Level | Width | Height | Head Height | Sill Height | Type Comments | Operation | U-Factor | SHGC |
| A1 | Level 1 | 2'-0" | 3'-0" | 7'-0" | 4'-0" | Casement - 1 Wide | Casement | | |
| B1 | Level 1 | 2'-0" | 6'-0" | 7'-0" | 1'-0" | Casement - 1 Wide | Casement | | |
| C1 | Level 1 | 2'-6" | 2'-6" | 7'-0" | 4'-6" | Casement - 1 Wide | Casement | | |
| D1 | Level 1 | 2'-6" | 8'-0" | 8'-0" | 0" | Fixed - 1 Wide | Fixed | | |
| D2 | Level 1 | 2'-6" | 8'-0" | 8'-0" | 0" | Fixed - 1 Wide | Fixed | | |
| E1 | Level 1 | 3'-0" | 3'-0" | 11'-6" | 8'-6" | Fixed - 1 Wide | Fixed | | |
| E2 | Level 1 | 3'-0" | 3'-0" | 11'-6" | 8'-6" | Fixed - 1 Wide | Fixed | | |
| E3 | Level 1 | 3'-0" | 3'-0" | 11'-6" | 8'-6" | Fixed - 1 Wide | Fixed | | |
| E4 | Level 1 | 3'-0" | 3'-0" | 11'-6" | 8'-6" | Fixed - 1 Wide | Fixed | | |
| E5 | Level 1 | 3'-0" | 3'-0" | 11'-6" | 8'-6" | Fixed - 1 Wide | Fixed | | |
| E6 | Level 1 | 3'-0" | 3'-0" | 11'-6" | 8'-6" | Fixed - 1 Wide | Fixed | | |
| F1 | Level 1 | 3'-0" | 4'-6" | 7'-0" | 2'-6" | Fixed - 1 Wide | Fixed | | |
| F2 | Level 1 | 3'-0" | 4'-6" | 7'-0" | 2'-6" | Fixed - 1 Wide | Fixed | | |
| F3 | Level 1 | 3'-0" | 4'-6" | 7'-0" | 2'-6" | Casement - 1 Wide | Casement | | |
| F4 | Level 1 | 3'-0" | 4'-6" | 7'-0" | 2'-6" | Casement - 1 Wide | Casement | | |
| F5 | Level 1 | 3'-0" | 4'-6" | 7'-0" | 2'-6" | Casement - 1 Wide | Casement | | |
| F6 | Level 1 | 3'-0" | 4'-6" | 7'-0" | 2'-6" | Casement - 1 Wide | Casement | | |
| F7 | Level 1 | 3'-0" | 4'-6" | 8'-0" | 3'-6" | Casement - 1 Wide | Casement | | |
| F8 | Level 1 | 3'-0" | 4'-6" | 8'-0" | 3'-6" | Casement - 1 Wide | Casement | | |
| F9 | Level 1 | 3'-0" | 4'-6" | 8'-0" | 3'-6" | Casement - 1 Wide | Casement | | |
| F10 | Level 1 | 3'-0" | 4'-6" | 8'-0" | 3'-6" | Casement - 1 Wide | Casement | | |
| F11 | Level 1 | 3'-0" | 4'-6" | 8'-0" | 3'-6" | Casement - 1 Wide | Casement | | |
| F12 | Level 1 | 3'-0" | 4'-6" | 8'-0" | 3'-6" | Casement - 1 Wide | Casement | | |
| G1 | Level 1 | 3'-0" | 6'-0" | 8'-0" | 2'-0" | Casement - 1 Wide | Casement | | |
| G2 | Level 1 | 3'-0" | 6'-0" | 8'-0" | 2'-0" | Casement - 1 Wide | Casement | | |
| H1 | Level 1 | 3'-0" | 8'-0" | 8'-0" | 0" | Casement - 1 Wide | Casement | | |
| H2 | Level 1 | 3'-0" | 8'-0" | 8'-0" | 0" | Casement - 1 Wide | Casement | | |
| I1 | Level 1 | 4'-0" | 3'-0" | 13'-6" | 10'-6" | Fixed - 1 Wide | Fixed | | |
| I2 | Level 1 | 4'-0" | 3'-0" | 13'-0" | 10'-0" | Fixed - 1 Wide | Fixed | | |
| I3 | Level 1 | 4'-0" | 3'-0" | 13'-6" | 10'-6" | Fixed - 1 Wide | Fixed | | |
| J1 | Level 1 | 4'-0" | 9'-0" | 9'-0" | 0" | Fixed - 1 Wide | Fixed | | |
| K1 | Level 1 | 4'-0" | 9'-6" | 9'-6" | 0" | Fixed - 1 Wide | Fixed | | |
| K2 | Level 1 | 4'-0" | 9'-6" | 9'-6" | 0" | Fixed - 1 Wide | Fixed | | |
| L1 | Level 1 | 5'-10" | 5'-0" | 15'-6" | 10'-6" | Fixed - 1 Wide | Fixed | | |
| L2 | Level 1 | 5'-10" | 5'-0" | 15'-6" | 10'-6" | Fixed - 1 Wide | Fixed | | |
| L3 | Level 1 | 5'-10" | 5'-0" | 15'-6" | 10'-6" | Fixed - 1 Wide | Fixed | | |
| L4 | Level 1 | 5'-10" | 5'-0" | 15'-6" | 10'-6" | Fixed - 1 Wide | Fixed | | |
| L5 | Level 1 | 5'-10" | 5'-0" | 15'-6" | 10'-6" | Fixed - 1 Wide | Fixed | | |
| M1 | Level 1 | 6'-0" | 4'-0" | 7'-0" | 3'-0" | Casement - 1 Wide | Casement | | |
| M2 | Level 1 | 6'-0" | 4'-0" | 7'-0" | 3'-0" | Casement - 1 Wide | Casement | | |
| N1 | Level 1 | 6'-0" | 8'-0" | 8'-6" | 6" | Casement - 1 Wide | Casement | | |

| Door Schedule - New Proposed | | | | | | | | | |
|------------------------------|---------|--------|--------|-------------|-------------|--------------------------------|--|----------|------|
| ID Mark | Level | Height | Width | Head Height | Sill Height | Operation | Type Comments | U-Factor | SHGC |
| 100 | Level 1 | 8'-0" | 8'-0" | 8'-0" | 0" | Overhead Track | Garage Door | | |
| 101 | Level 1 | 8'-0" | 8'-0" | 8'-0" | 0" | Overhead Track | Garage Door | | |
| 102 | Level 1 | 8'-0" | 4'-0" | 8'-0" | 0" | Inswing Single French | Exterior Aluminum Clad Full Lite Panel | | |
| 103 | Level 1 | 8'-0" | 12'-6" | 8'-0" | 0" | Fold N Stack | 6 Panel Fold N Stack w Single Operable Panel | | |
| 104 | Level 1 | 7'-0" | 3'-0" | 7'-0" | 0" | Open - No Panel | Cased Opening | | |
| 105 | Level 1 | 7'-0" | 2'-8" | 7'-0" | 0" | Single French - Swing Per Plan | Typical Interior Flush Panel | | |
| 106 | Level 1 | 7'-0" | 2'-6" | 7'-0" | 0" | Single French - Swing Per Plan | Typical Interior Flush Panel | | |
| 107 | Level 1 | 7'-0" | 3'-0" | 7'-0" | 0" | Outswing - See Plan | Glass Single Panel at Curbless Shower | | |
| 108 | Level 1 | 7'-0" | 3'-0" | 7'-0" | 0" | Barn Door | Barn Door | | |
| 109 | Level 1 | 7'-0" | 2'-8" | 7'-0" | 0" | Single French - Swing Per Plan | Typical Interior Flush Panel | | |
| 110 | Level 1 | 7'-0" | 2'-6" | 7'-0" | 0" | Single French - Swing Per Plan | Typical Interior Flush Panel | | |
| 111 | Level 1 | 7'-0" | 2'-8" | 7'-0" | 0" | Single French - Swing Per Plan | Typical Interior 3 Panel | | |
| 112 | Level 1 | 7'-0" | 2'-8" | 7'-0" | 0" | Single French - Swing Per Plan | Typical Interior 3 Panel | | |
| 113 | Level 1 | 7'-0" | 3'-0" | 7'-0" | 0" | Inswing Single French | Exterior Aluminum Clad Full Lite Panel | | |
| 114 | Level 1 | 7'-0" | 6'-0" | 7'-0" | 0" | Open - No Panel | Cased Opening | | |
| 115 | Level 1 | 7'-0" | 2'-8" | 7'-0" | 0" | Single French - Swing Per Plan | Typical Interior Flush Panel | | |
| 116 | Level 1 | 7'-0" | 3'-0" | 7'-0" | 0" | Open - No Panel | Cased Opening | | |
| 117 | Level 1 | 7'-0" | 2'-6" | 7'-0" | 0" | Single French - Swing Per Plan | Typical Interior Flush Panel | | |
| 118 | Level 1 | 7'-0" | 3'-0" | 7'-0" | 0" | Inswing Single French | Exterior Aluminum Clad Full Lite Panel | | |
| 119 | Level 1 | 7'-0" | 2'-8" | 7'-0" | 0" | Single French - Swing Per Plan | Typical Interior 3 Panel | | |
| 120 | Level 1 | 7'-0" | 2'-6" | 7'-0" | 0" | Pocket Slider - See Plan | Typical Interior Flush Panel | | |
| 121 | Level 1 | 7'-0" | 2'-8" | 7'-0" | 0" | Single French - Swing Per Plan | Typical Interior 3 Panel | | |
| 122 | Level 1 | 7'-0" | 2'-6" | 7'-0" | 0" | Pocket Slider - See Plan | Typical Interior Flush Panel | | |
| 123 | Level 1 | 7'-0" | 2'-6" | 7'-0" | 0" | Pocket Slider - See Plan | Typical Interior Flush Panel | | |
| 124 | Level 1 | 7'-0" | 3'-0" | 7'-0" | 0" | Outswing - See Plan | Glass Single Panel at 4' Curb | | |
| 125 | Level 1 | 7'-0" | 3'-0" | 7'-0" | 0" | Outswing - See Plan | Glass Single Panel at 4' Curb | | |
| 126 | Level 1 | 7'-0" | 2'-8" | 7'-0" | 0" | Single French - Swing Per Plan | Typical Interior 3 Panel | | |
| 127 | Level 1 | 7'-0" | 2'-8" | 7'-0" | 0" | Single French - Swing Per Plan | Typical Interior 3 Panel | | |
| 128 | Level 1 | 9'-6" | 5'-10" | 9'-6" | 0" | Outswing - French | Exterior Double Panel | | |
| 129 | Level 1 | 9'-6" | 5'-10" | 9'-6" | 0" | Outswing - French | Exterior Double Panel | | |
| 130 | Level 1 | 9'-6" | 5'-10" | 9'-6" | 0" | Outswing - French | Exterior Double Panel | | |
| 131 | Level 1 | 9'-6" | 5'-10" | 9'-6" | 0" | Outswing - French | Exterior Double Panel | | |
| 132 | Level 1 | 9'-6" | 5'-10" | 9'-6" | 0" | Outswing - French | Exterior Double Panel | | |



1 Transom Window
1/2" = 1'-0"



SALT ARCHITECTURE
SANTA BARBARA, CA
805.729.4276

PROJECT TEAM

PROPERTY OWNER

Alex and Maureen Blum
116 Farms Road,
Stamford CT 06903

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Platley
310 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
email: dylan@saltarchitect.com

STRUCTURAL ENG.

Colorado Structural Inc.
Mike Arbaney
315 Bellevue Ave. Unit F
P.O. Box 2544 - Crested butte, CO 81224
Office: 970-349-5922

MECHANICAL ENG.

Hughes Consulting Eng PA
220 W. Colorado Ave.
P.O. Box 688 - Telluride, CO 81435
Office: 970-239-1949
Fax: 785-642-2492

SURVEYOR

Foley Associates, Inc.
125 W. Pacific Ave. Unit B-1
P.O. Box 1385 - Telluride, CO 81435
Office: 805-452-9690
Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath
(New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC - Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain
Village 81435

| No. | Drawing Set Description | Issued Date |
|-----|-------------------------|-------------|
| 1 | IASR Review | 09/10/2021 |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |

| No. | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |

Blum

134 Russell Drive

Door & Window
Schedule

Date: 09/10/2021
Drawn by: DH / BF
Checked by: DH / BF

A 8.1

Scale: As indicated

COPYRIGHT 2021 9/27/2021 3:35:46 PM

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

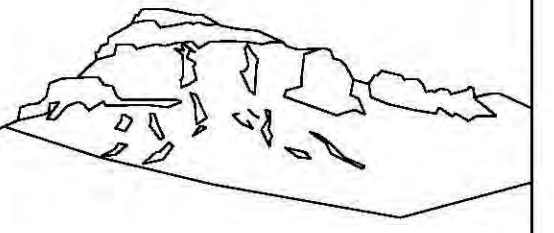
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

| | |
|-----------------|------------|
| SUBMITTAL | 2021-07-19 |
| Flipped Parking | 2021-09-09 |

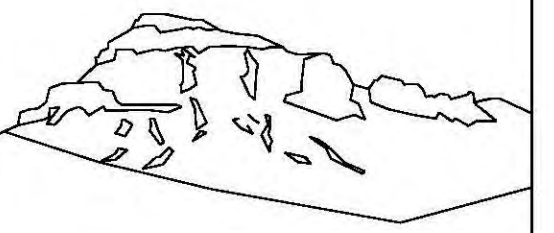
Lot 515
134 Russell Dr.
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



Uncompahgre Engineering, LLC

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Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2021-07-19
Flipped Parking 2021-09-09

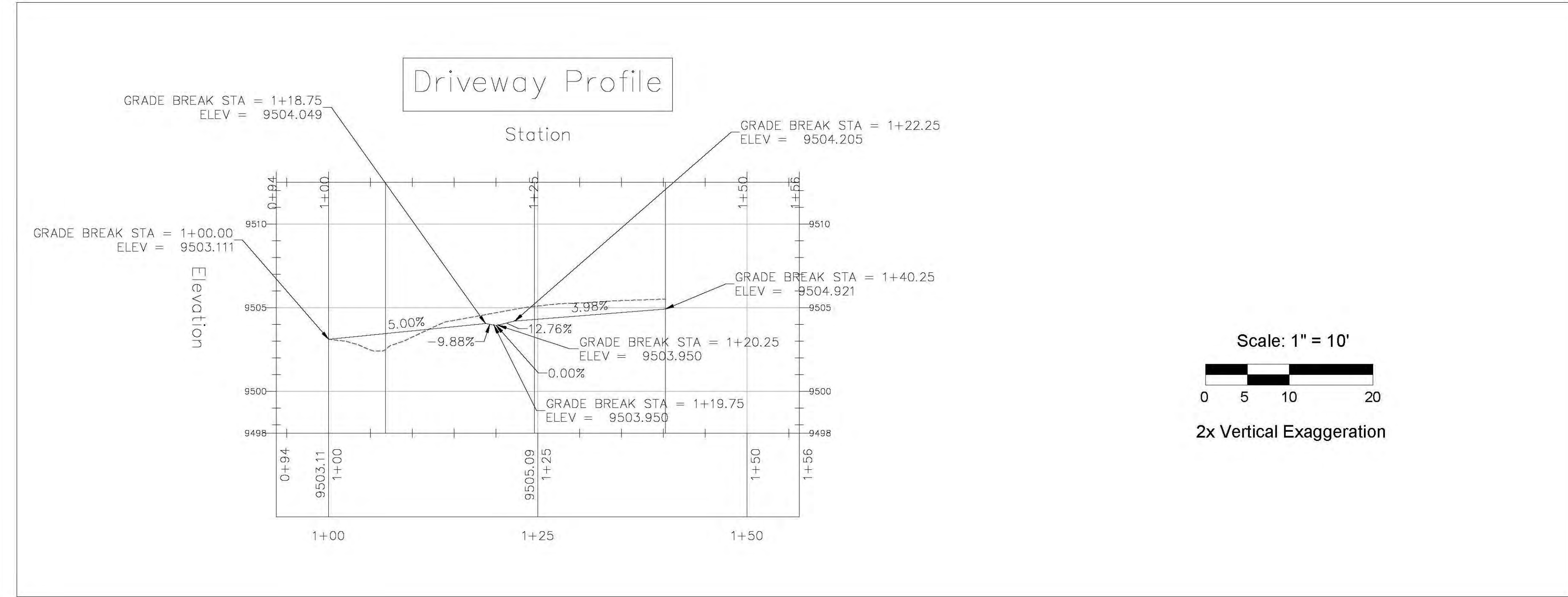
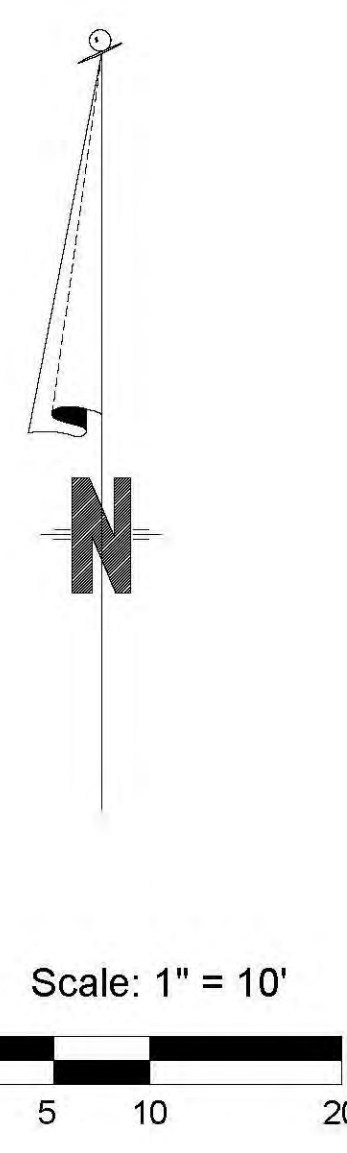
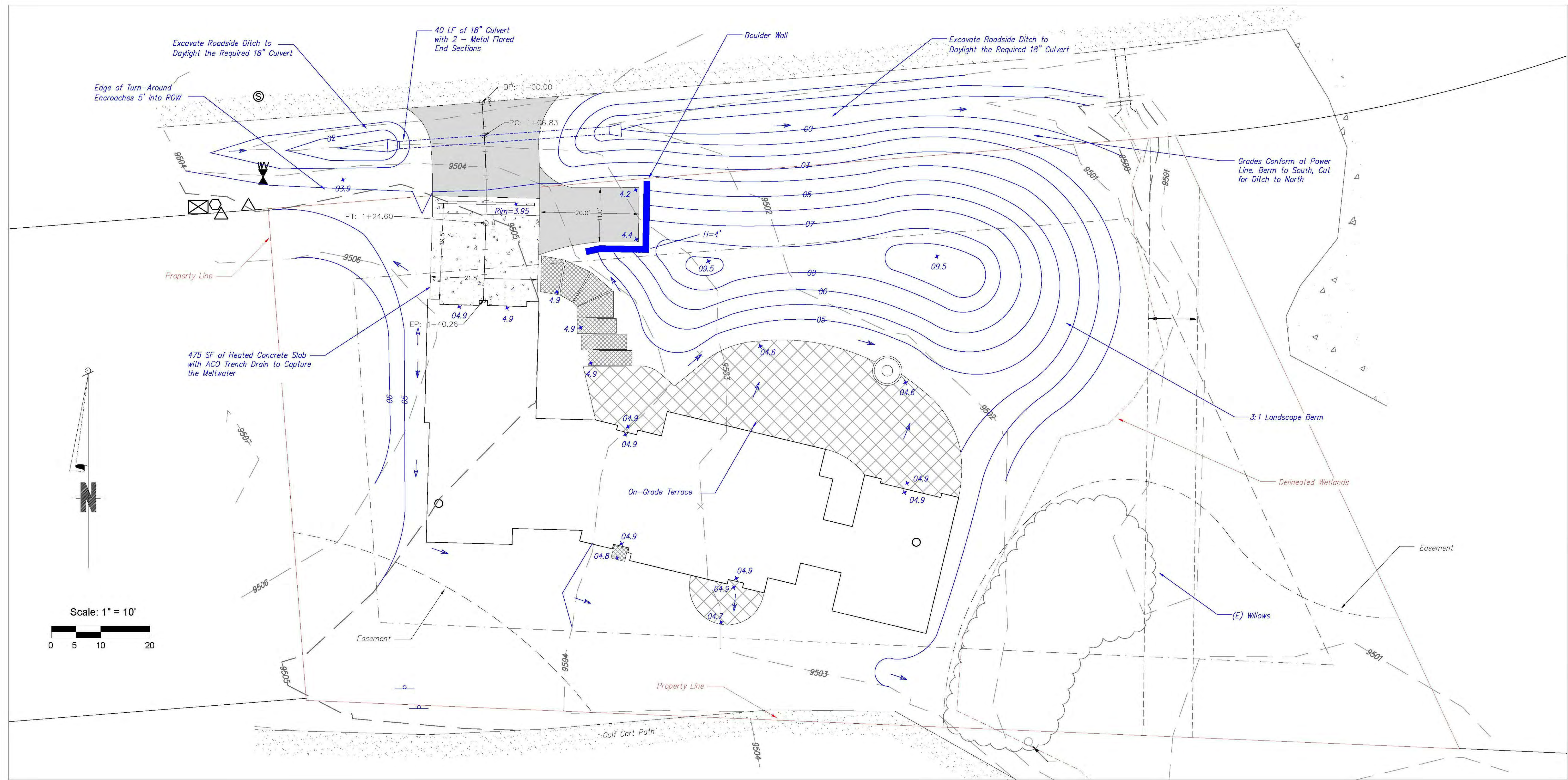
Lot 515
134 Russell Dr.
Mtn. Village, CO



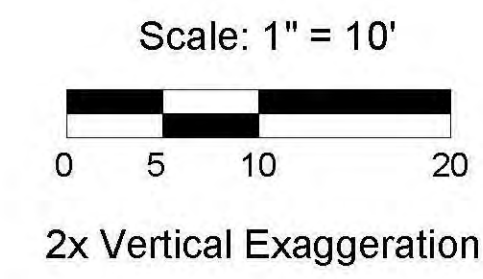
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

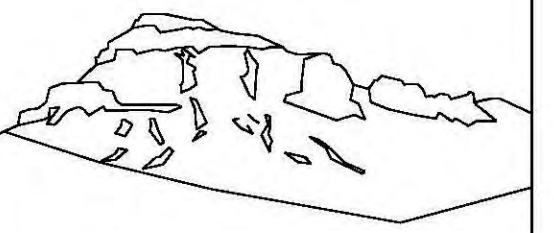
Civil
Site Grading
with
Driveway Profile

C2



Driveway Profile





Uncompahgre
Engineering, LLC

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Lot 515
134 Russell Dr.
Mtn. Village, CO



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Utilities

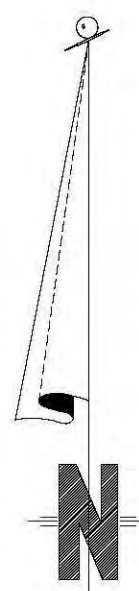
C3

New Water Service from Existing Curb Stop. Verify
Size Requirements with Mechanical Engineer and
Coordinate with Town of Mtn. Village

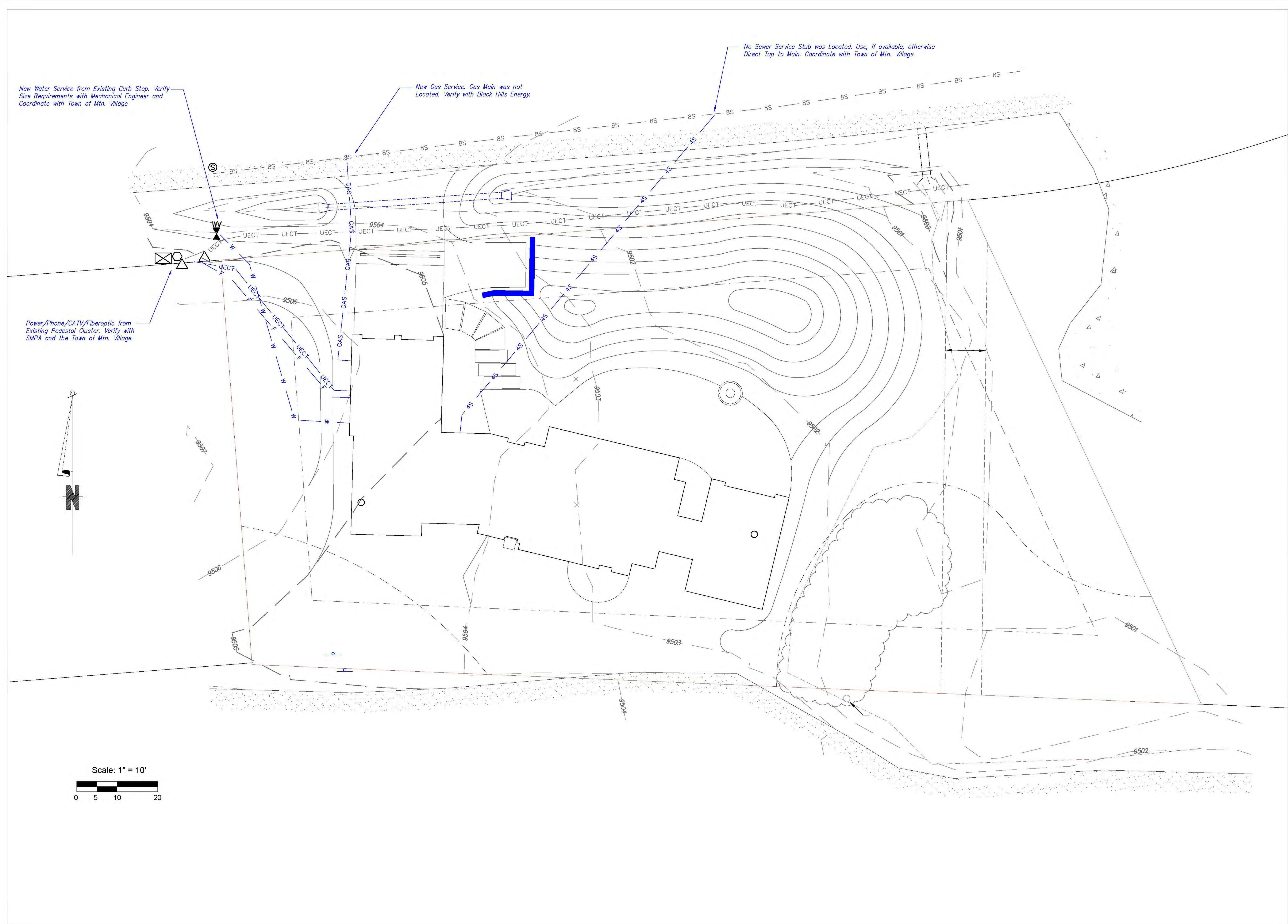
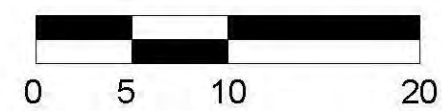
New Gas Service. Gas Main was not
Located. Verify with Black Hills Energy.

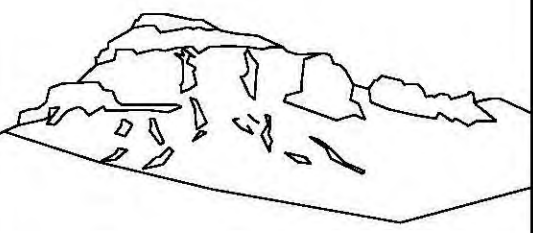
No Sewer Service Stub was Located. Use, if available, otherwise
Direct Tap to Main. Coordinate with Town of Mtn. Village.

Power/Phone/CATV/Fiberptic from
Existing Pedestal Cluster. Verify with
SMPA and the Town of Mtn. Village.



Scale: 1" = 10'





Uncompahgre
Engineering, LLC

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Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2021-07-19
Flipped Parking 2021-09-09

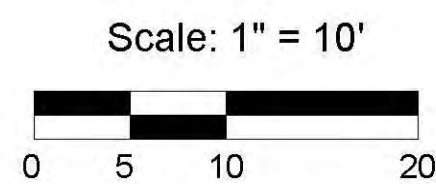
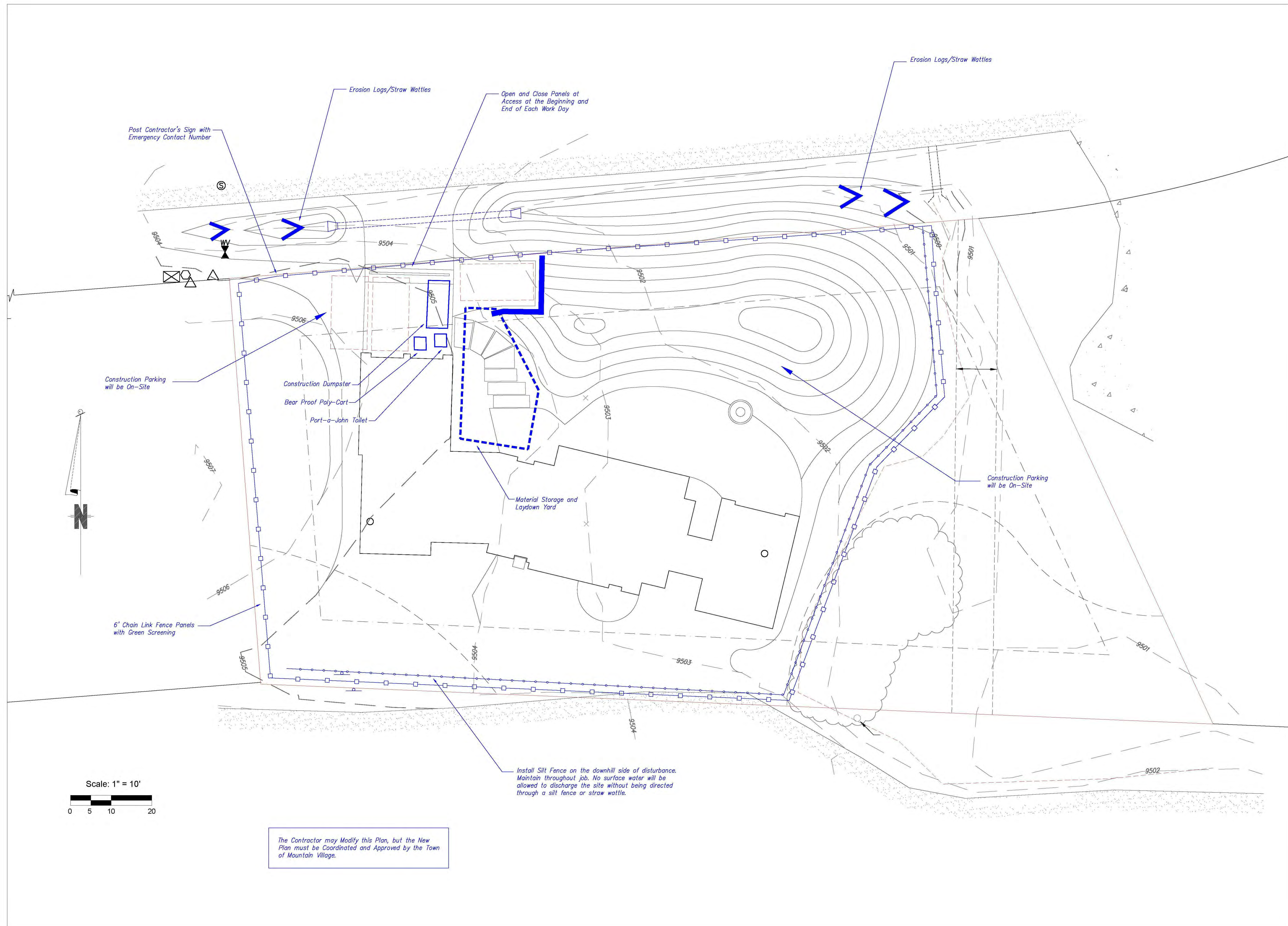
Lot 515
134 Russell Dr.
Mtn. Village, CO



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CHAPTERS AND INTERDISCIPLINARY DRAWINGS
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Construction
Mitigation

C4



The Contractor may Modify this Plan, but the New Plan must be Coordinated and Approved by the Town of Mountain Village.