

**TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING AGENDA
TO BE HELD IN PERSON
THURSDAY NOVEMBER 4, 2021 10:00 AM
MOUNTAIN VILLAGE TOWN HALL
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO
MOUNTAIN VILLAGE TOWN HALL**

	Time	Min.	Presenter	Type	
1.	10:00		Chair		Call to Order
2.	10:00	5	Ward/Quinn-Jacobs	Action	Reading and Approval of the October 7, 2021, Regular Design Review Board Meeting Minutes.
3.	10:05	5	Haynes	Action	Approval of the DRB Schedule 2022
4.	10:10	30	Ward/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a new Single Family Home on Lot 515, 134 Russell Drive, pursuant to CDC Section 17.4.11.
5.	10:40	30	Grubb/ Applicant	Quasi-Judicial	Review and recommendation to Town Council regarding Density Transfer and Rezone located at Lots 243AR and 243BR, 100 Hang Glider Drive, to transfer one single-family unit of density into the density bank
6.	11:10	30			Lunch
7.	11:40	45	Ward/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a new Single Family Home on Lot 166AR-7, 6 Stonegate Drive, pursuant to CDC Section 17.4.11.
8.	12:25	5	Grubb/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architectural and Site Review for a new single-family home on Lot 729R-6, 89 Pennington Place, pursuant to CDC Section 17.4.11. To be continued to the December 2, 2021 DRB Meeting.
9.	12:30		Chair		Adjourn

Please note that this Agenda is subject to change. (Times are approximate and subject to change)
455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435
Phone: (970) 369-8242 Fax: (970) 728-4342

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting Town Hall at the above numbers or email: cd@mtnvillage.org. We would appreciate it if you would contact us at least 48 hours in advance of the scheduled event so arrangements can be made to locate requested auxiliary aid(s).

**DESIGN REVIEW BOARD MINUTES
TOWN OF MOUNTAIN VILLAGE
DESIGN REVIEW BOARD MEETING
THURSDAY October 7, 2021**

Call to Order

Chairman Banks Brown called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:01 AM on October 7, 2021

Attendance

The following Board members were present and acting:

Greer Garner
Liz Caton
Banks Brown
Adam Miller left at 12:30
Ellen Kramer
David Craige
Cath Jett arrived at 10:05
Scott Bennett 1st Alternate
Shane Jordan 2nd Alternate

The following Board members were absent:

None

Town Staff in attendance:

Michelle Haynes, Planning & Development Services Director
John Miller, Community Housing Program Director
Brian Grubb, Senior Planner
Amy Ward, Planner
Samuel Quinn-Jacobs, Planning Technician
Paul Wisor, Interim Town Manager & Town Attorney

Public in attendance: Sue Bey, J. J. Ossola, Kristina Lamb

Item 2. Reading and Approval of the September 2, 2021, Regular Design Review Board Meeting Minutes.

On a **MOTION** by **Garner** and seconded by **Kramer** DRB voted unanimously to approve the September 2, 2021 Regular DRB Meeting Minutes.

Item 3. Consideration of a Design Review: Final Architecture Review for a new Single Family Home on Lot 810A, 118 Arizona Street, pursuant to CDC Section 17.4.11.

Amy Ward presented on behalf of staff
Thomas Diverio, presented as applicant

Public Comment: None

On a **MOTION** by **Craige** and seconded by **Kramer** DRB voted 6-1 (Jett dissented because the item does not meet the stone requirements set by the CDC). to approve the Final Architectural Review for a new single-family home located at Lot 810A, based on the evidence provided within the Staff

Report of record dated September 27, 2021, with the following design variations and specific approvals:

Design variations:

- 1) Exterior materials – less than 35% stone
- 2) Lighting – lighting on upper floors
- 3) Road and Driveway Standards, for a 4ft retaining wall

DRB Specific Approval:

- 1) GE encroachment for grading and retaining wall
- 2) Metal fascia

And, with the following conditions:

- 1) Prior to building permit, the applicant shall provide a lighting specification for the address monument for staff review.
- 2) Prior to building permit, the applicant shall revise the construction mitigation plan to calculate excavated material to be store or removed, and to indicate a staged parking scenario.
- 3) Prior to building permit, the applicant shall provide a revised roof plan indicating snow fencing, and adding the roof over the back entry for staff review.
- 4) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 5) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 6) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 7) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 8) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Item 4. Review and recommendation to Town Council regarding a rezone and density transfer on Lot 27A, Belvedere Phase III Development, Parcel Three-R, 112 Lost Creek Lane, Mountain Village to develop 19 condominium units

Michelle Haynes presented on behalf of staff

Idarado Real Estate Co., & James Mahoney, attorney, as applicant

Public comment: Randy Dedulski: supports the project development and employee housing.

On a **MOTION** by **Kramer** and seconded by **Garner** DRB voted unanimously to recommend approval to the Town Council regarding a density transfer and rezone application at Lot 27A, Belvedere Phase III, 112 Lost Creek Lane, Parcel 3R from 17 condominiums, 10 lodge units and 2 efficiency lodge units, to 19 condominium units and 2 employee condominium units.

With the following findings:

1. Phase I has 3 constructed condominiums, Phase II has 7 constructed condominiums and Phase III proposes 19 condominiums. In total the property in aggregate will have 29 condominium zoning designation units.
2. 10 lodge units and 2 efficiency lodge units will be transferred to the density bank.
3. The applicant will acquire two (2) condominiums zoning designation units from the density bank and demonstrate the purchase/acquisition prior to recordation of the ordinance.
4. The application meets the rezone and density transfer criteria outlined in this memo.
5. The lot list will be updated to reflect the rezone approval.
6. The associated density certificate/s will be voided once the density is assigned to the lot concurrent with recordation of the ordinance.

With the following conditions:

1. The ordinance reflects that a Master Development Plan amendment and design review be submitted and approved within 18 months of the rezone and density transfer approval.
2. The applicant affirms the design of the building will be consistent with the underlying zone district regulations.
3. The owner of record of density in the density bank, once transferred, shall be responsible for all dues, fees and any taxes associated with the assigned density and zoning until such time as the density is either transferred to a lot or another person or entity.
4. The design review application will be subject to Resolution 2021-1021-xx, affordable housing mitigation in areas if it is not yet adopted when the application is submitted.
5. If additional employee condominium units are approved by the HOA as part of the development of phase III, the applicant will need to add those units via the density transfer and rezone process with the Town. The town will waive application fees and cover the cost of public noticing in order to accommodate the employee housing condominium unit designation on the site.
6. With an additional recommendation that 2 employee condominiums be included with their development project plan.

This motion is based on the evidence and testimony provided at a public hearing held on October 7, 2021, with notice of such hearing as required by the Community Development Code.

Item 5. Consideration of a Design Review: Final Architecture Review for a Multi-Family Development at Lot 30, 98 Aspen Ridge, consisting of Sixteen (16) Condominium Units and two (2) Employee Condominiums, pursuant to CDC Section 17.4.11.

John Miller presented on behalf of staff

Timothy Losa, Zehren and Associates, and Stephanie Fanos presented as applicant

Public Comment: None

On a **MOTION** by **Jett** and seconded by **Caton**, DRB voted 5-2 (Kramer dissented due to parking space calculation, Craigie dissented due to concerns over public health and safety) to approve the Final Architecture Review for a new multi-family condominium located at Lot 30, 98 Aspen Ridge, based on the evidence provided within the Staff Memo of record dated September 27, 2021, with the following Specific Approvals:

1) Design Review Board Specific Approvals:

Section 17.5.8(A)(6): Alternative Parking Plan allowing for 1.2 spaces per unit.

and, with the following conditions:

- 1) The proposed bollard lighting for the Courtyard area shall be operated on a dimmer to limit overall lumen output.
- 2) The applicant shall submit proposed floorplans for Building 100 to the Town of Mountain Village Housing Authority for review and approval prior to the issuance of a permit for either Building 100 or 98 Aspen Ridge. The applicant shall simultaneously provide these plans to the Planning Division for the appropriate design review approval for the conversion of the existing commercial space into 2 additional residential units.
- 3) Prior to the issuance of a building permit, the Applicant shall receive approval from the Town Forester for the proposed landscaping plan as well as obtain a tree permit for any tree removal on the site.
- 4) Prior to the issuance of a building permit, the Applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 5) Prior to issuance of a building permit, the Applicant shall provide written permissions from the property owner of OS1AR3 for sewer connections. Any utility installation that creates disturbed areas shall be revegetated per the requirements of the CDC.
- 6) Prior to the issuance of a Building Permit for either Building 100 or 98 Aspen Ridge, the Owner of Lot 30 enter into a development agreement to memorialize the underlying parking requirements per unit and designating that all parking at Lot 30 shall not be sold or otherwise conveyed. AS part of the development agreement the applicant shall demonstrate that the GCE Parking spaces shall be held in GCE for perpetuity.
- 7) Town of Mountain Village 1997 Deed Restrictions for each built unit shall be executed prior to the issuance of a Certificate of Occupancy per Section 17.3.9 consistent with the requirements found at CDC Section 17.3.9.
- 8) Prior to the issuance of a Certificate of Occupancy Condominium Map and Declarations addressing Section 17.5.8 of the CDC shall be provided to the Town for review.
- 9) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 10) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 11) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments outside of Lot 30.

12) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior material.

13) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

14) The proposed updated materials shall be approved by a Town of Mountain Village Staff member and 2 members of the Design Review Board. In addition, the lighting plan shall be reviewed concurrently with the same members.

This motion is based on the evidence and testimony provided at a public hearing held on October 7, 2021, with notice of such hearing as required by the Community Development Code.

Item 6. Review and Recommendation to the Town Council regarding a Density Transfer and Rezone located at Lot 27A, 112 Lost Creek Lane, Unit 2-3, to transfer one condominium unit of density from the density bank onto the property re-separating Units 2 & 3 into two separate condominium units

Amy Ward presented on behalf of staff

Thomas G. Kennedy, attorney, and Randy Dedulsk presented as applicant

Public Comment: None

On a **MOTION** by **Craige** and seconded by **Jett**, DRB voted unanimously to recommend to Town Council, an Ordinance regarding the Density Transfer and Rezone application pursuant to CDC Sections 17.4.9 & 17.4.10 of the Community Development Code, to rezone Lot 27A Unit 2-3 and transfer 1 condominium density unit (3-person equivalent density) from the density bank to the lot based on the evidence provided within the Staff Report of record dated September 28, 2021, and with the following conditions:

- 1. Prior to the recordation of the associated ordinance approving the Density Transfer and Rezone, the owner must complete the Density Bank Transfer process with the Town and this change shall be reflected in the Town official Lot List.
- 2. The owner of record of density in the density bank, shall be responsible for all dues, fees, and any taxes associated with the assigned density and zoning until such time as the density is either transferred to this lot or another person or entity.
- 3. The final design of the newly separated condominium units shall be determined with the required Design Review Process application pursuant to the applicable requirements of the CDC.
- 4. A condominium map and amendment showing Unit 23 as two separate condominium unit 2 and 3 must be executed for the legal separation of the units prior to a certificate of occupancy being issued.

This motion is based on the evidence and testimony provided at a public hearing held on October 7, 2021, with notice of such hearing as required by the Community Development Code.

Item 7. Consideration of a Design Review: Final Architectural and Site Review for a new single-family home on Lot 729R-6, 89 Pennington Place, pursuant to CDC Section 17.4.11.

John Miller presented on behalf of staff
Matthew Shear, presented as applicant

Public Comment: None

On a **MOTION** by **Jett** and second by **Kramer** DRB voted unanimously to continue, the consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 729R-6, 89 Pennington Place, pursuant to CDC Section 17.4.11.to the Regular Design Review Board Meeting on November 4, 2021.

Item 8. Lunch

Item 9: Consideration of a Design Review: Initial Architecture and Site Review for a new Single Family Home on Lot 515, 134 Russell Drive, pursuant to CDC Section 17.4.11.

Amy Ward presented on behalf of staff
Dylan Henderson, Salt Architects, as applicant

On a **MOTION** by **Caton** and second by **Kramer** DRB voted 5-2 (Jett dissented due to proximity to wetlands, Bennet dissented due to the simplicity of the back facade) to approve the Initial Architectural and Site Review for a new single-family home located at Lot 515, based on the evidence provided within the Staff Report of record dated September 29, 2021, with the following specific approvals:

DRB Specific Approval:

- 1) GE encroachment for hammerhead and associated retaining wall, and landscape grading
- 2) Metal fascia
- 3) Tandem parking

And, with the following conditions:

- 1) Prior to final review, the applicant shall clarify the proposed materials for soffit and fascia and give more detail about the installation of the wood siding.
- 2) Prior to final review, the applicant shall revise the landscaping plan to increase the diversity of species and ensure they are meeting the Zone 2 crown to crown spacing required for fire mitigation.
- 3) Prior to final review, the applicant shall revise the utilities plan to remove the encroachment from Lot 514 or provide owner authorization for the installation of utilities from the owner of Lot 514.
- 4) Prior to final review, the applicant shall revise the address monument plan to include a lighting specification for the address monument, and to indicate the numerals will be coated with a reflective surface.
- 5) Prior to final review, the applicant shall specify the fuel source for all solid fuel burning devices.
- 6) Prior to final review, the applicant shall revise the construction mitigation plan to bring the construction fence out of the GE wherever possible, and to add additional protections of the SE side of the proposed berm to prevent silt entering the wetlands.
- 7) Consistent with town building codes, Unenclosed accessory structures attached

to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

8) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

9) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials

10) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

11) Staff will review delineated wetlands conditions and report back to design review board

ADJOURN

MOTION to adjourn by unanimous consent, the Design Review Board voted to adjourn the October, 7 2021 meeting at 1:43 pm.

Prepared and Submitted by,

Samuel Quinn-Jacobs
Planning Technician

2022 DRB Meeting Schedule

DRB Meeting Dates for 2022	
Thursday, January 6, 2022	10am
Thursday, February 3, 2022	10am
Thursday, March 3, 2022	10am
Thursday, March 31, 2022 (Replaces April 7)	10am
Thursday, May 5, 2022	10am
Thursday, June 2, 2022	10am
Thursday, July, 2022	10am
Thursday, August 4, 2022	10am
Thursday, September 1, 2022	10am
Thursday, October 6, 2022	10am
Thursday, November 3, 2022	10am
Thursday, December 1, 2022	10am



AGENDA ITEM 4
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: Amy Ward, Planner

FOR: Design Review Board Public Hearing; November 4, 2021

DATE: October 25, 2021

RE: Staff Memo – Final Architecture Review (FAR) Lot 515, 134 Russell Drive

APPLICATION OVERVIEW: New Single-Family Home on Lot 515

PROJECT GEOGRAPHY

Legal Description: LOT 515, TELLURIDE MOUNTAIN VILLAGE, FILING 2, ACCORDING TO THE PLAT RECORDED MARCH 3, 1987 IN PLAT BOOK 1 AT PAGE 702, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Address: 134 Russell Drive

Applicant/Agent: Dylan Henderson, Salt Architects

Owner: GL Telluride, LP, A Texas Limited Partnership

Zoning: Single-Family

Existing Use: Vacant

Proposed Use: Single-Family

Lot Size: .54 acres

Adjacent Land Uses:

- **North:** Single-family
- **South:** Open space
- **East:** Single-family
- **West:** Single-family



Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comm

Case Summary: Dylan Henderson of Salt Architects is requesting Design Review Board (DRB) approval of a Final Architectural Review (FAR) Application for a new single-family home on Lot 515, 134 Russell Drive. The Lot is approximately .54 acres and is zoned Single-family. The overall square footage of the home is approximately 3,157 gross square feet, with 2,634 livable square feet, and provides 2 interior parking spaces within the proposed garage and 2 exterior spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	35' (shed) Maximum	24' 2"
Maximum Avg. Building Height	30' (shed) Maximum	14' 9"
Maximum Lot Coverage	40% (9,430 s.f.)	13.4% (3,158 s.f.)
General Easement Setbacks	No encroachment	Grading, hammerhead, and hardscape
Roof Pitch		
Primary		3:12
Secondary		3.5:12
Exterior Material		
Stone	35% minimum	36.5%
Windows/Doors	40% maximum	22%
Parking	2 interior/2 exterior	2/2

DRB Specific Approval:

- 1) Materials - Metal fascia and Thermory siding
- 2) GE Encroachments – Retaining wall, hammerhead and landscape grading
- 3) Tandem Parking

Design Variations:

- 1) Landscape Regulations – Diversity of species

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Staff: Criteria met

17.3.14: General Easement Setbacks

Lot 515 is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The Driveway as shown currently takes access from Russell Drive and crosses the General Easement to the homesite.*
- *Utilities: Given Lot 515's location and the location of the existing utilities, the GE will need to be crossed at the northwest corner of the GE, the sewer is proposed to cross in the center of the norther GE, accessing utilities within Russell Drive.*

- *Landscaping: There is proposed new planting in all of the GE areas surrounding the property. The address monument is within the northwestern GE as well.*

The proposal also includes some GE encroachments requiring specific DRB approval:

- *There is a retaining wall and associated hammerhead in the northern GE.*
- *There is landscape grading for the creation of a berm in the northern GE.*

Staff: Lot 515 is just over half an acre in size and even though the square footage of the home is smaller than other homes in the area, the site is still challenging to accommodate all of the required site elements. The southeast and southwest corners of the property are encumbered by wetlands, making the siting of a hammerhead for turn-around difficult. DRB should discuss whether the encroachment for the hammerhead is appropriate given the restrictive site conditions.

The creation of the berm in the northern GE will provide some exterior living space that is buffered from the road. The berm is approximately 5' tall and will also be planted with numerous trees. The combination of berm and tree plantings will help serve to visually buffer the home from Russell Drive. If DRB finds this encroachment allowable, a specific approval should be granted.

Regardless of the encroachment, any development within the General Easement will require the owner and the Town to enter into a GE Encroachment Agreement as part of a condition of approval.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

Staff: Criteria met.

17.5.5: Building Siting Design

Staff: Criteria met.

17.5.6: Building Design

Staff: The applicant has revised the rear facade of the building by adding a roof extension over the rear door. This gives the back of the house more visual interest. Additionally, the stone cladding extends all the way to the roofline in areas where it also does so in the front of the home. By matching the areas of cladding the home appears more unified in design from front to back.

Sheet A 6.1 details the installation of exterior materials, and includes the additional details requested at Initial Review.

17.5.7: Grading and Drainage Design

Staff: Criteria met

17.5.8: Parking Regulations

Staff: The applicant has shown two interior and two exterior parking spaces on their plan. The exterior spaces are in a tandem format. This is an allowable specific approval on lots of less than .75 acres. The constraints of the site have previously been discussed at the Initial Review, DRB seemed to be generally in favor of allowing tandem parking, a specific approval should be granted.

17.5.9: Landscaping Regulations

The applicant has added (7) doug fir trees to the landscape plan, increasing the diversity of species, although they are not quite meeting the required 40% of diversity, staff recommends granting a design variation to the landscape regulations. As we have discussed in previous applications, currently it is difficult to meet that requirement given the limitations of local nursery tree stock. They have also removed numerous trees where crown-to-crown spacing was not previously in compliance. Staff believes the landscaping plan is meeting all provisions of the fire mitigation code.

17.5.11: Utilities

Staff: Existing utilities pedestals are in the road right of way near the northwest corner of the lot. The applicant has revised the utility plan to show no encroachment on Lot 314.

17.5.12: Lighting Regulations

Staff: At Initial Review staff found that all of the proposed lighting was meeting the regulations of the CDC. The applicant has added a specification for the lighting at the address monument, which seems to also meet the regulations. Staff believes the lighting plan is fully in compliance with CDC lighting regulations.

17.5.13: Sign Regulations

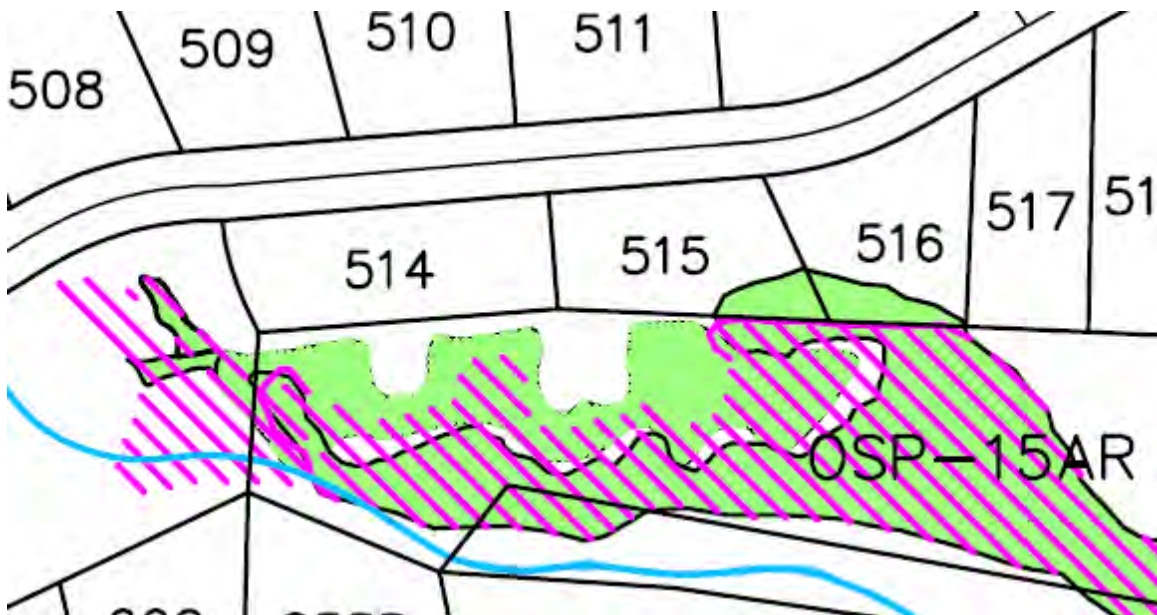
Staff: The applicant has revised the specification of the numerals on the address monument to show that they will be treated with a reflective coating as required by the CDC. Staff now finds the monument is in compliance with all CDC regulations.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Criteria met.

Wetland Regulations: At Initial review there was some concern regarding the wetland, and whether it was part of the wetlands conservation easement area; shown below is a map of the conservation easement area (hatched in purple). It clearly shows that the conservation easement area does not extend onto Lot 515.



There are delineated wetlands on the property. According to the CDC the two applicable standards for projects that are NOT proposing any disturbance or fill of a wetland area are:

- Avoid disturbance to wetland areas to the extent practicable, and minimize and mitigate impacts where site conditions preclude the ability to avoid wetland impacts.*
- Provide appropriate setbacks to wetland areas to the extent practicable. There will be situations where wetland fill or no wetland setbacks are appropriate to implement the Comprehensive Plan, allow for reasonable use, or for site-specific issues or project needs.*

Staff feels that these standards are being met.

17.6.6: Roads and Driveway Standards

Staff: DRB seemed generally comfortable at Initial Review with approving a specific approval for the requested tandem parking.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does include a fireplace and has indicated that it is to run on natural gas. The proposed firepit on the front patio does not have a fuel source indicated. The applicant shall revise this onto indicate a fuel source prior to building permit.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The construction mitigation plan has been revised. The new plan brings the construction fencing closer to the home site, although some areas of the GE will still be disturbed, the landscaping plan does indicate that these areas are all to be revegetated with Town native seed mix. Staff concerns about the wetland area to the SE corner of the lot have been addressed by adding an additional layer of silt fencing as well as by mandating that the berm is graded, seeded and covered with erosion control mat at the time of initial backfill instead of waiting until the end of the job. This should address staff concerns about the potential for new topsoil to wash into the wetland area. The proposed parking was not changed, the contractor will still need to work with the Town to obtain permissions/permits for any road right of way parking during construction.

Staff Recommendation: Staff recommends the DRB approve the Final Architectural Review for Lot 515, 134 Russell Drive, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architectural Review for a new single-family home located at Lot 515, based on the evidence provided within the Staff Report of record dated October 25, 2021, with the following specific approvals:

DRB Specific Approval:

- 1) Materials - Metal fascia and Thermory siding
- 2) GE Encroachments – Retaining wall, hammerhead and landscape grading
- 3) Tandem Parking

And, with the following conditions:

- 1) Prior to building permit, the applicant shall specify the fuel source for all solid fuel burning devices including the firepit indicated on the landscape plan.
- 2) Prior to building permit the applicant shall work with Town staff to designate an appropriate area for off-site construction parking.
- 3) Prior to the issuance of a certificate of occupancy, a revocable general easement agreement must be executed to capture all GE encroachments inclusive of landscaping elements (only if associated irrigation is also found in the general easement). An associated exhibit to the agreement is a necessary part of the legal document.
- 4) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 5) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 6) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 7) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/aw



To: Mountain Village Design Review Board and Planning Staff

Date: 10/22/2021

Response to the Staff Report of record dated September 29, 2021,
with the following specific approvals:

Response to the following conditions:

1) Prior to final review, the applicant shall clarify the proposed materials for soffit and fascia and give more detail about the installation of the wood siding.

Please see details on Sheet A6.1 for all soffit, fascia and siding details.

2) Prior to final review, the applicant shall revise the landscaping plan to increase the diversity of species and ensure they are meeting the Zone 2 crown to crown spacing required for fire mitigation.

Please see details on Sheet A1.3 for all landscape details. Number of trees was reduced to comply with Zone 2 requirements and Douglas Fir trees were added.

3) Prior to final review, the applicant shall revise the utilities plan to remove the encroachment from Lot 514 or provide owner authorization for the installation of utilities from the owner of Lot 514.

Please see details on Sheet C3 for the re-routing of the utilities.

4) Prior to final review, the applicant shall revise the address monument plan to include a lighting specification for the address monument, and to indicate the numerals will be coated with a reflective surface.

Please see details on Sheet A3.2 for address monument details.

ARCHITECTURE
SANTA BARBARA

DYLAN HENDERSON

saltarchitect.com

805.729.4276

dylan@saltarchitect.com

5) Prior to final review, the applicant shall specify the fuel source for all solid fuel burning devices.

Please see details on Sheet A0.0 (scope of work) and A2.1 note indicating natural gas direct vent sealed fireplace units.

6) Prior to final review, the applicant shall revise the construction mitigation plan to bring the construction fence out of the GE wherever possible, and to add additional protections of the SE side of the proposed berm to prevent silt entering the wetlands.

Please see details on Sheet C4 for additional silt protection and re-location of the construction fence.

Comments (7-11) were advisory and will be included in the building permit and development agreements on the plan set.

Best, Dylan



www.saltarchitect.com
590 E Gutierrez Suite D
Santa Barbara, CA 93103
805-729-4276
CO Lic#: ARC.0402941



SALT ARCHITECTURE
SANTA BARBARA, CA
805.729.4276

PROJECT TEAM

PROPERTY OWNER

Alex and Maureen Blum
116 Farms Road,
Stamford CT 06903

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Platley
201 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

STRUCTURAL ENG.

Colorado Structural Inc.
Mike Arbaney
315 Bellevue Ave. Unit F
P.O. Box 2544 - Crested butte, CO 81224
Office: 970-349-5922

MECHANICAL ENG.

Hughes Consulting Eng PA
220 W. Colorado Ave.
P.O. Box 688 - Telluride, CO 81435
Office: 970-239-1949
Fax: 785-642-2492

SURVEYOR

Foley Associates, Inc.
125 W. Pacific Ave. Unit B-1
P.O. Box 1365 - Telluride, CO 81435
Office: 805-452-6690
Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath
(New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC- Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain
Village 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	9.21.2021
2	IASR FINAL Review	10/22/2021
3		
4		
5		
6		
7		
8		
9		
10		

No. Description Date

Blum

134 Russell Drive

Cover Sheet & Plan Set
Information

Date: 10/22/2021

Drawn by: DH / BF

Checked by: DH / BF

A 0.0

Scale: As indicated

COPYRIGHT 2021 10/26/2021 8:58:23 PM



SITE ANALYSIS

Zoning - Single Family
Gross Lot Area = 23,575.17 SQ.FT. = 0.54 Acres
Max Lot Coverage Allowed = 40%
Lot Coverage Proposed = 3,158.12 SQ. FT. = 13.4%
Max Height Proposed = 24'-2"
Max Height Allowed = 40'-0"
Max Average Height Proposed = 14.9'
Max Average Height Allowed = 30'
Parking Req. - 2 Parking Space Required
- 2 Covered Provided, 2 Surface Tandem

Area Schedule

Comments	Area
Garage Area	523 SF
Living Area	2634 SF

SNOWMELT TOTALS

ZONE 1 - DRIVEWAY = 1090 SQ FT
ZONE 2 - ENTRY WALK WAY = 188 SQ FT
ZONE 3 - MECH LANDING = 17 SQ FT
ZONE 4 - LIVING ROOM DECK = 1262 SQ FT
ZONE 5 - REAR ENTRY LANDING = 110 SQ FT

TOTAL SNOWMELT = 2,667 SQ FT
EXEMPT = 1,000 SQ FT PER C101.1(i)(v.a.i)
REQ. MITIGATION = 1,667 SQ FT

SCOPE OF WORK

PROPOSAL TO CONSTRUCTION A 3,194.83 SQ FT SINGLE FAMILY RESIDENCE WITH ATTACHED (2) CAR GARAGE ON A 23,530.93 SQ FT LOT. THE HOME TO BE (3) BEDROOM 3 1/2 BATH SINGLE LEVEL RESIDENCE WITH EXTERIOR PATIOS, FIRE PIT AND IN GROUND SPA.

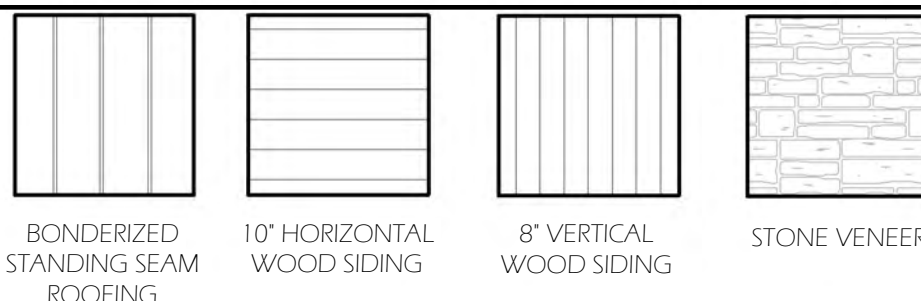
REQUEST FOR TANDEM PARKING AT PROPOSED GARAGE FOR OUTSIDE PARKING REQUIREMENT.

ALL FIREPLACES AND EXTERIOR FIREPIT TO BE NATURAL GAS DIRECT VENT CLOSED UNITS

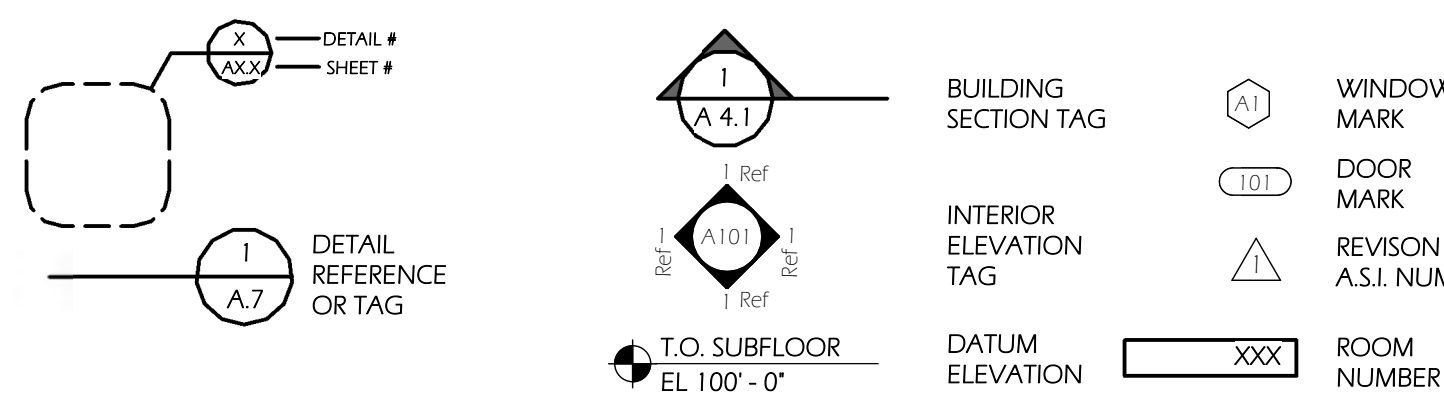
CODES

National Electrical Code (2020)
International Fuel Gas Code (2018)
International Energy Conservation Code (2018)
International Existing Building Code (2018)
International Fire Code (2018)
International Mechanical Code (2018)
International Plumbing Code (2018)
International Residential Code (2018)

EXTERIOR MATERIALS



GRAPHIC SYMBOLS LEGEND



GENERAL NOTES & BEST MANAGEMENT PRACTICES:

GENERAL NOTES

CONTRACT DOCUMENTS: CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED.

ORGANIZATION:

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), INTERIOR DRAWINGS (A10 SHEETS), STRUCTURAL DRAWINGS (S SHEETS), MECHANICAL AND PLUMBING DRAWINGS (M & P SHEETS), & ELECTRICAL (E SHEETS). THESE DRAWINGS ARE ORGANIZED BY BUILDING UNIT.

CODE COMPLIANCE:

ALL WORK, MATERIALS, AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP.

INTENT:

THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

COORDINATION:

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS, AND REPORT ANY DISCREPANCIES, ERRORS, OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL, AND LIGHTING DRAWINGS.

SHOWER COMPARTMENT WALLS:

SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET. BUILT-IN TUBS WITH SHOWERS SHALL HAVE WATERPROOF JOINTS BETWEEN THE TUB AND ADJACENT WALL.

WALL AND CEILING FINISHES:

INTERIOR WALL AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES:

- CLASS A: FLAME SPREAD 0-25; SMOKE-DEVELOPED 0-450.
- CLASS B: FLAME SPREAD 26-75; SMOKE-DEVELOPED 0-450.
- CLASS C: FLAME SPREAD 76-200; SMOKE-DEVELOPED 0-450.

ALL INTERIOR FINISH MATERIALS OTHER THAN TEXTILES SHALL HAVE A CLASS A RATING.

(TEXTILE WALL COVERINGS SHALL HAVE A CLASS A FLAME SPREAD INDEX IN ACCORDANCE WITH ASTM E 84 AND BE PROTECTED BY AUTOMATIC SPRINKLERS.)

SEE RCP SERIES FOR CEILING, SOFFIT, BEAM AND COFFER HEIGHTS.

ABBREVIATIONS USED IN SET:

- A.F.F. =Above Finish Flooring
- U.N.O. =Unless Noted Otherwise
- T.O. =Top Of
- T.O.F.F. =Top Of Finish Flooring
- T.B.D. =To Be Determined / To Be Designed
- (E) =Existing

VICINITY MAP - Town of Mountain Village



EXISTING SITE IMAGES



VIEW NORTH



VIEW SOUTH

SHEET LIST

Sheet Number	Sheet Name	Sheet Issue Date
A 0.0	Cover Sheet & Plan Set Information	10/22/2021
A 0.1	Building Perspectives	10/22/2021
A 1.1	Survey	10/22/2021
A 1.2	Site Plan	10/22/2021
A 1.3	Landscape	10/22/2021
A 1.4	Exterior Lighting Plan	10/22/2021
A 2.1	Floor Plans	10/22/2021
A 2.2	Roof Plan	10/22/2021
A 3.1	Elevations	10/22/2021
A 3.2	Elevations	10/22/2021
A 3.3	Elevations	10/22/2021
A 3.4	Material Calculations & Height Compliance	10/22/2021
A 3.5	Exterior Materials	10/22/2021
A 6.1	Building Details	10/22/2021
A 8.1	Door & Window Schedule	10/22/2021
C 1	Civil Notes	09/09/2021
C 2	Grading and Drainage Plan	09/09/2021
C 3	Utilities	10/22/2021
C 4	Construction Mitigation Plan	10/22/2021



① Perspective 1



② Perspective 2



SALT



SALT



③ Perspective 3



SALT ARCHITECTURE
SANTA BARBARA, CA
805.729.4276

PROJECT TEAM

PROPERTY OWNER

Alex and Maureen Blum
116 Farms Road,
Stamford CT 06903

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Platley
311 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

STRUCTURAL ENG.

Colorado Structural Inc.
Mike Arbaney
315 Bellevue Ave. Unit F
P.O. Box 2544 - Crested butte, CO 81224
Office: 970-349-5922

MECHANICAL ENG.

Hughes Consulting Eng PA
220 W. Colorado Ave.
P.O. Box 688 - Telluride, CO 81435
Office: 970-239-1949
Fax: 785-642-2492

SURVEYOR

Foley Associates, Inc.
125 W. Pacific Ave. Unit B-1
P.O. Box 1365 - Telluride, CO 81435
Office: 805-452-0690
Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath
(New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC - Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain
Village 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	9/21/2021
2	IASR FINAL Review	10/22/2021
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Blum

134 Russell Drive

Building Perspectives

Date: 10/22/2021
Drawn by: DH / BF
Checked by: DH / BF

A 0.1

Scale:

PROJECT TEAM

PROPERTY OWNER

Alex and Maureen Blum
116 Farms Road,
Stamford CT 06903

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Platley
310 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
email: dylan@saltarchitect.com

STRUCTURAL ENG.

Colorado Structural Inc.
Mike Arbaney
315 Bellevue Ave. Unit F
P.O. Box 2544 - Crested butte, CO 81224
Office: 970-349-5922

MECHANICAL ENG.

Hughes Consulting Eng PA
220 W. Colorado Ave.
P.O. Box 688 - Telluride, CO 81435
Office: 970-239-1949
Fax: 785-642-2492

SURVEYOR

Foley Associates, Inc.
125 W. Pacific Ave. Unit B-1
P.O. Box 1385 - Telluride, CO 81435
Office: 970-728-6050
Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath
(New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC - Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain
Village 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	9/21/2021
2	IASR FINAL Review	10/22/2021
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Blum

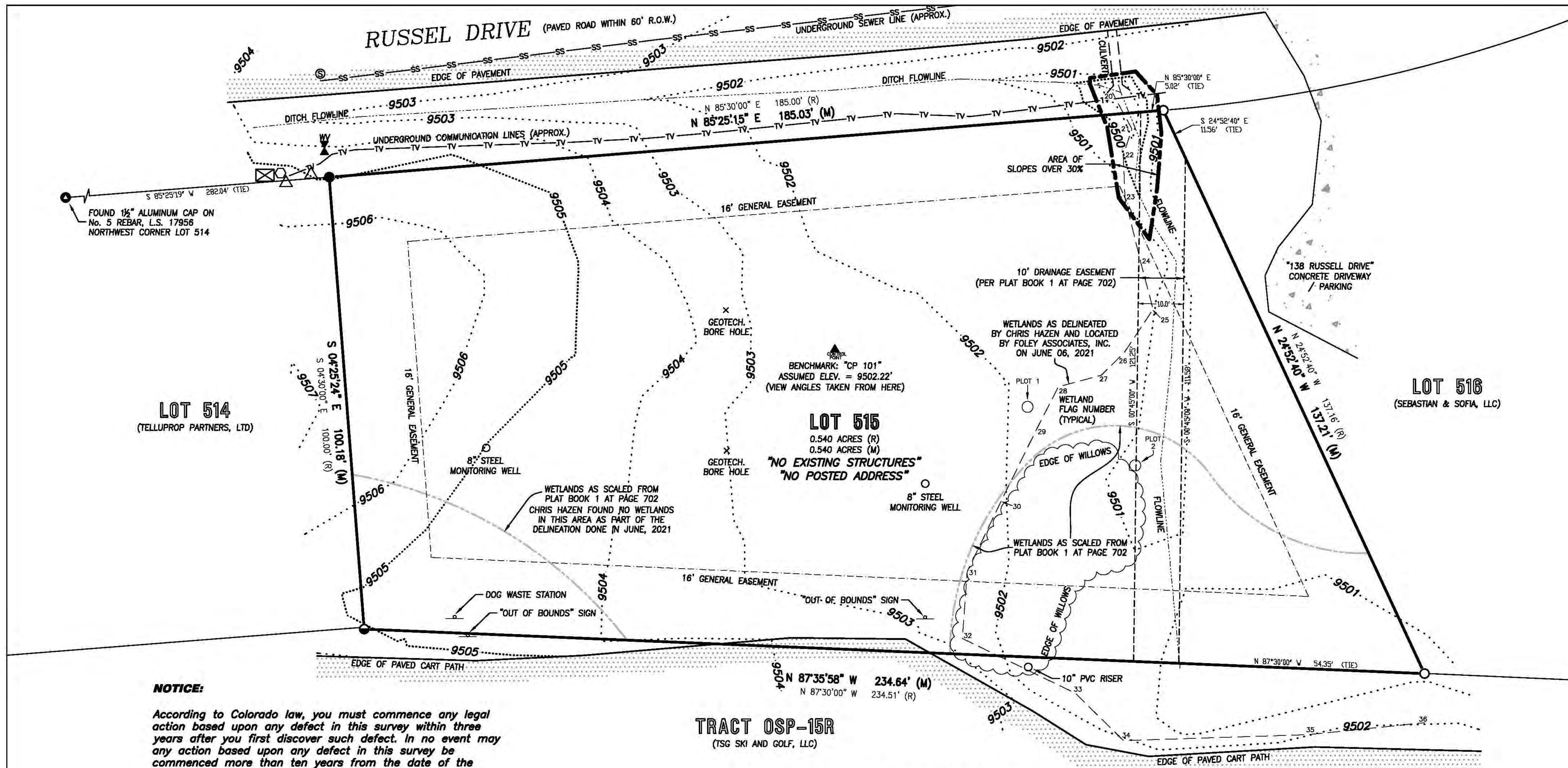
134 Russell Drive

Survey

Date:	10/22/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 1.1

Scale:

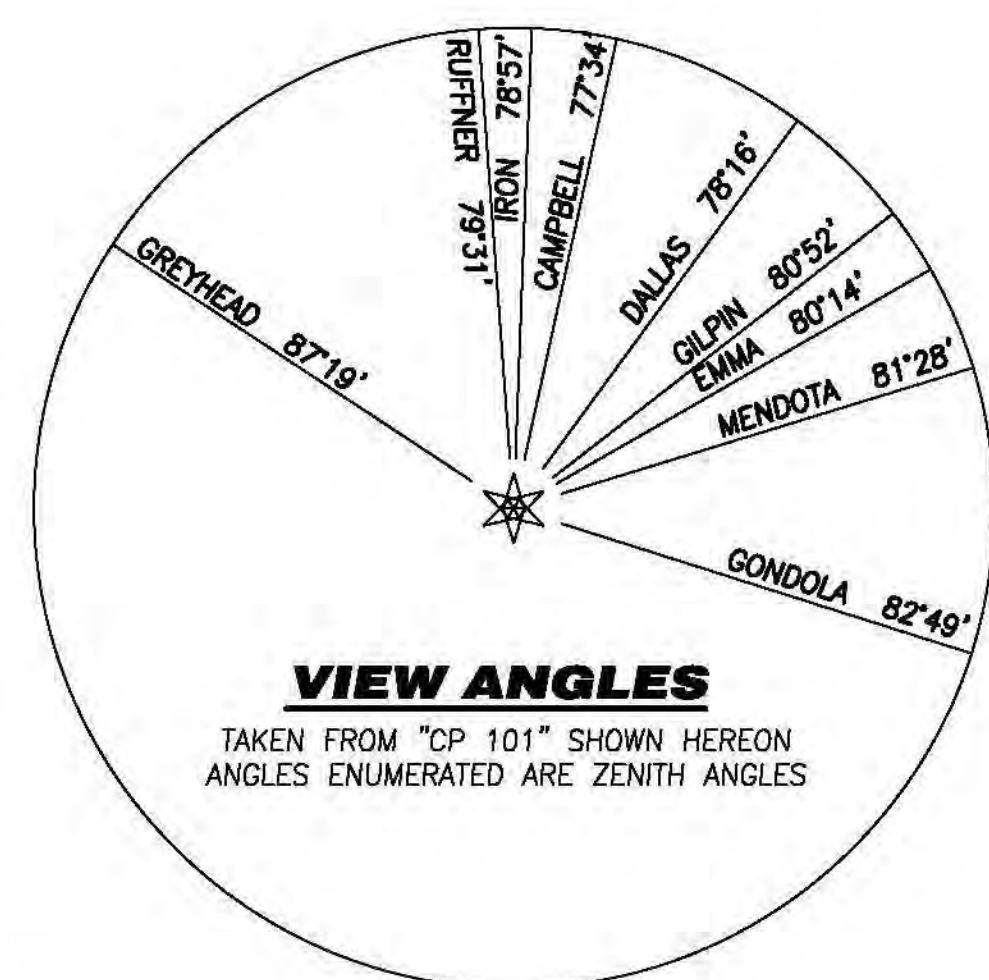


NOTICE:

According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

LEGEND

- ⊠ ELECTRIC BOX
- △ COMMUNICATION PEDESTAL
- TELEPHONE PEDESTAL
- ⊙ SEWER MANHOLE
- ⊕ WATER VALVE
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 24954
- FOUND 1-1/2" PLASTIC CAP ON 5/8" REBAR, L.S. 25643
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37970
- (M) MEASURED DIMENSIONS ACCORDING TO THIS SURVEY
- (R) RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 702



This Topographic Survey of Lot 515, Town of Mountain Village, was field surveyed on April 13, 2021 and updated on June 04, 2021 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 Date

LEGAL DESCRIPTION:

LOT 515, TELLURIDE MOUNTAIN VILLAGE, FILING 2, ACCORDING TO THE PLAT RECORDED MARCH 3, 1987 IN PLAT BOOK 1 AT PAGE 702,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

- Easement research and property description from Land Title Guarantee Company, Order Number TLR86010896, dated December 3, 2020 at 5:00 P.M.
- BASIS OF BEARINGS: The bearing between found monuments along the Eastern boundary of Lot 515, as shown hereon, was assumed to have the record bearing of N 24°52'40" W according to Plat Book 1 at page 702.
- Benchmark: Control point "CP 101", as shown hereon, with an assumed elevation of 9502.22 feet.
- Contour interval is one foot.
- Slopes over 30% are as indicated hereon.
- There are no trees located on this lot other than the stand of willows shown.
- Underground utility lines were painted by a private company and located by Foley Associates, Inc., as shown hereon.

Existing Conditions Plan

Lot 515, Town of Mountain Village, Filing 2,
located within the SE 1/4 of Section 33, T.43N., R.9W., N.M.P.M., County of San Miguel, State of Colorado.

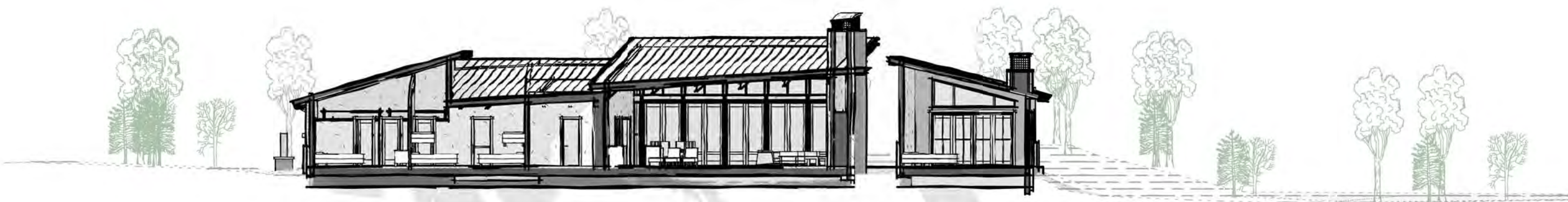
Project Mgr:	JH
Technician:	MC
Checked by:	DC
Start date:	06/04/2021



Drawing path: dwg\20045 EC Plan 06-21.dwg

970-728-6153 970-728-6050 fax
PO Box 1385
125 W. Pacific Ave., Suite B-1
Telluride, Colorado, 81435

Sheet 1 of 1 Project #: 20045



3 Site Section
1/16" = 1'-0"

SNOWMELT TOTALS

ZONE 1 - DRIVEWAY = 1090 SQ FT
 ZONE 2 - ENTRY WALK WAY = 188 SQ FT
 ZONE 3 - MECH LANDING = 17 SQ FT
 ZONE 4 - LIVING ROOM DECK = 1262 SQ FT
 ZONE 5 - REAR ENTRY LANDING = 110 SQ FT

 TOTAL SNOWMELT = 2,667 SQ FT
 EXEMPT = 1,000 SQ FT PER C101.1[iva.1]
 REQ. MITIGATION = 1,667 SQ FT

PLANTING SYMBOLS

- (Symbol with solid lines) EXISTING PLANTING TO REMAIN (SYMBOL SHOWN GRAYTONE)
- (Symbol with dashed lines) EXISTING PLANTING TO BE REMOVED (SYMBOL SHOWN GRAYTONE WITH DASHED LINES)

NOTE: NO EXISTING TREES ON SITE PER ATTACHED SURVEY

SITE PLAN NOTES:

- ONLY EXISTING TREES SHOWN. SEE LANDSCAPE PLAN FOR NEW PLANTINGS
- SITE IS NOT LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREA; SITE HAS NO ROCK OUT CROPPING OR WETLANDS
- CONTRACTOR RESPONSIBLE FOR LOCATING AND ROUTING EXISTING UTILITIES TO PROPOSED LOCATIONS. INSTALLATION TO BE REVIEWED AND APPROVED BY UTILITY COMPANY
- EXISTING UTILITY SUPPLY TO REMAIN
- ANY EXISTING OVERHEAD UTILITIES TO BE BURIED
- SEE LIGHTING PLAN FOR ALL EXTERIOR LIGHTING INFORMATION
- SEE LANDSCAPE PLAN FOR ALL PLANTING DETAILS
- NO ROOF TOP EQUIPMENT SHOWN, AS NONE WILL BE INSTALLED
- ALL DRAINAGE TO COMPLY WITH PUBLIC WORKS REQUIREMENTS
- ALL EGRESS WINDOW WELLS TO DRAIN INTO DRY WELLS BELOW SLAB, DRY WELLS TO BE LOOSE GRAVEL 24" MINIMUM BELOW SLAB
- EGRESS LADDER TO BE PROVIDED AT ALL WINDOW WELL LOCATIONS UNLESS WALKOUT TO GRADE PROVIDED
- ALL RETAINING WALLS 4' ABOVE GRADE AND TALLER SHALL BE ENGINEERED BY A LICENSED ENGINEER
- FINISH GRADE AROUND THE ADDITION SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 2% FOR THE FIRST 4 FEET PER LOCAL POLICY.
- SOILS PREPARATION SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL ENGINEER.



SALT ARCHITECTURE
 SANTA BARBARA, CA
 805.729.4276

PROJECT TEAM

PROPERTY OWNER

Alex and Maureen Blum
 116 Farms Road,
 Stamford CT 06903

ARCHITECT

Architect: Dylan Henderson
 Associate Architect: Brian Platley
 301 Anacapa Street
 Santa Barbara, CA 93101
 Office: 805.729.4276
 Cell: 970.708.4795
 email: dylan@saltarchitecture.com

STRUCTURAL ENG.

Colorado Structural Inc.
 Mike Arbaney
 315 Bellevue Ave. Unit F
 P.O. Box 2544 - Crested butte, CO 81224
 Office: 970-349-5922

MECHANICAL ENG.

Hughes Consulting Eng PA
 220 W. Colorado Ave.
 P.O. Box 688 - Telluride, CO 81435
 Office: 970-239-1949
 Fax: 785-642-2992

SURVEYOR

Foley Associates, Inc.
 125 W. Pacific Ave. Unit B-1
 P.O. Box 1365 - Telluride, CO 81435
 Office: 805-452-9690
 Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath
 (New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
 IRC - Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain
 Village 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	9.21.2021
2	IASR FINAL Review	10/22/2021
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Blum

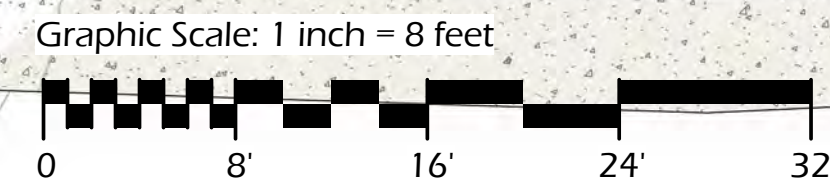
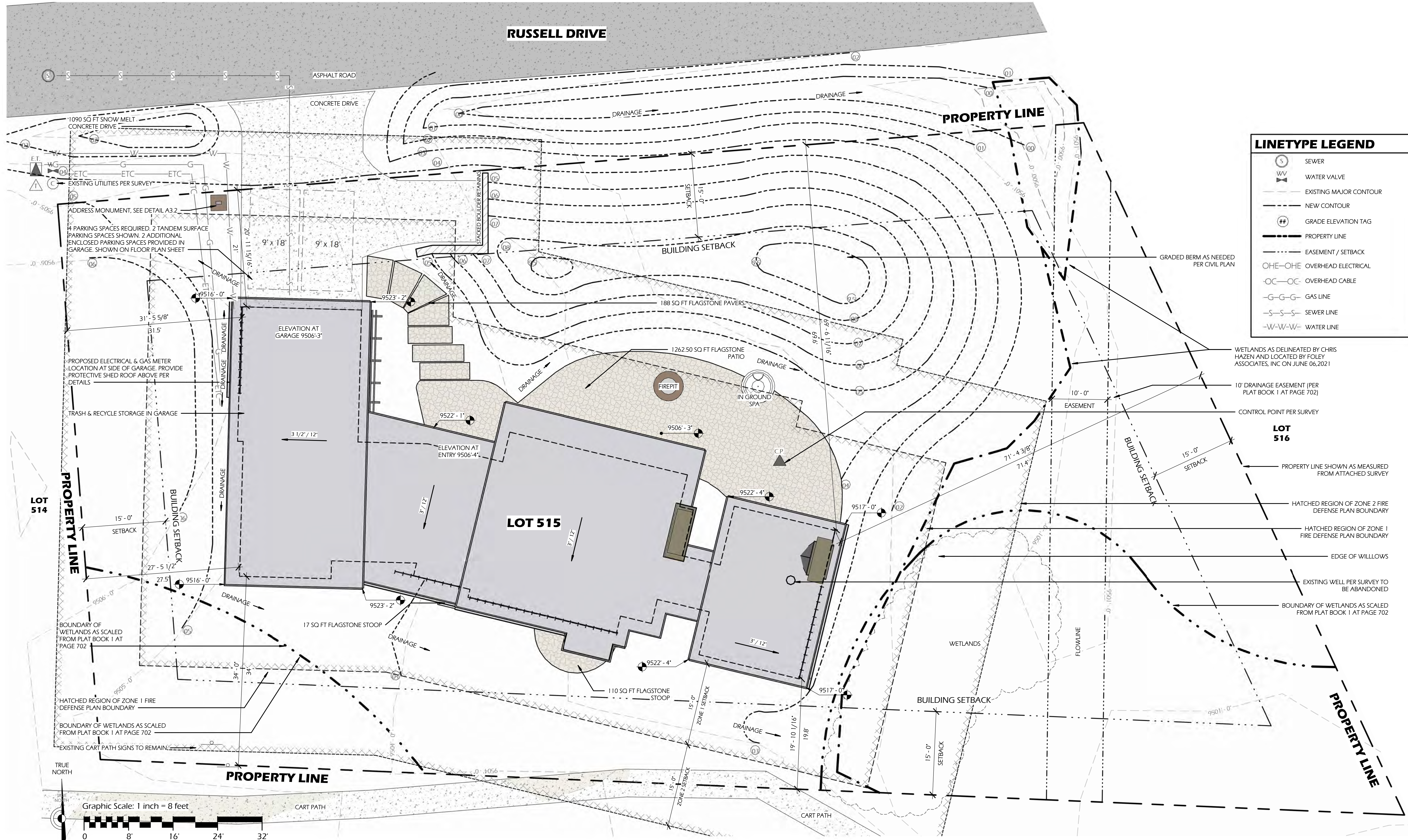
134 Russell Drive

Site Plan

Date:	10/22/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 1.2

Scale: As indicated



1 Site Plan
1/8" = 1'-0"

COPYRIGHT 2021 10/26/2021 4:31:23 PM

PLANTING - SYMBOLS LEGEND

	EXISTING PLANTING TO REMAIN (SYMBOL SHOWN GRAYTONE)		ASPEN WITH CALIPER SIZE SHOWN NOTE: PLANTINGS ARE LABELED WITH CALIPER SIZE. REFER TO SURVEY & SITE PLAN SHEETS FOR EXISTING TREE SIZE INFORMATION
	EXISTING PLANTING TO BE REMOVED (SYMBOL SHOWN GRAYTONE WITH DASHED LINES)		BLUE SPRUCE
	NEW PROPOSED PLANTING (SYMBOL SHOWN BLACK WITH COLORED FILL)		ENGLEMAN SPRUCE
			DOUGLAS FIR
		ALL IRRIGATION OF REVEGETATED AREAS TO BE TEMPORARY	
		HATCHED AREA OF REVEG / RESEED NOTE: TELSKI WILDFLOWER GRASS AND SEED MIX IN ALL GRASS HATCHED AREA	

LINETYPE LEGEND

	SEWER
	WATER VALVE
	PROPOSED POST CONSTRUCTION CONTOUR
	GRADE ELEVATION TAG
	PROPERTY LINE
	EASEMENT / SETBACK
	OHE-OHE OVERHEAD ELECTRICAL
	OVERHEAD CABLE
	GAS LINE
	SEWER LINE
	WATER LINE
	HOSE BIB

SNOWMELT TOTALS

ZONE 1 - DRIVEWAY = 1090 SQ FT
 ZONE 2 - ENTRY WALK WAY = 188 SQ FT
 ZONE 3 - MECH LANDING = 17 SQ FT
 ZONE 4 - LIVING ROOM DECK = 1262 SQ FT
 ZONE 5 - REAR ENTRY LANDING = 110 SQ FT

TOTAL SNOWMELT = 2,667 SQ FT
 EXEMPT = 1,000 SQ FT PER C 101.1(j)(a.i)
 REQ. MITIGATION = 1,667 SQ FT

PLANTINGS - NEW PROPOSED

Type Mark	Type Comments	Count	Phase Created	Phase Demolished
Aspen	12 in Caliper	19	New Construction	None
Blue Spruce	3 in Caliper	7	New Construction	None
Douglas Fir	3 in Caliper	7	New Construction	None
Englemann Spruce	3 in Caliper	3	New Construction	None

NOTE: NO EXISTING TREES ON SITE PER ATTACHED SURVEY

LANDSCAPE NOTES:

- REVEGETATION NOTES**
- SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REVEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
 - BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN TEN DAYS) TO MINIMIZE EROSION AND WEEDS.
 - AREAS WHICH HAVE BEEN COMPACTED, OR ARE RELATIVELY UNDISTURBED, NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
 - BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING.
 - STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY AND 2 TONS PER ACRE FOR STRAW, CRIMP IN.
 - ON SLOPES GREATER THAT 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
 - ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
 - SEED ALL AREAS LABELED AS REVEG/RESEED WITH TELSKI WILDFLOWER GRASS AND SEED MIX OF A RATE AS FOLLOWS:

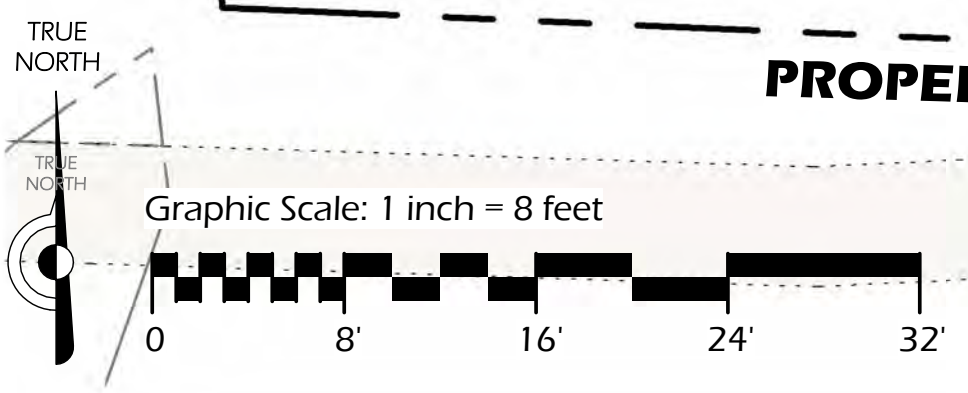
- Native Grass Seed Mix.**
 - Seeding with the native grass seed mix or the wetland buffer mix, if applicable, is required in all disturbed areas on the perimeter of the building site and at utility and road cuts.
- (a) Native Grass Seed Mix (General Revegetation)**
 - Western Yarrow 5%
 - Tall Fescue 10%
 - Arizona Fescue 5%
 - Hard Fescue 5%
 - Creeping Red Fescue 10%
 - Alpine Bluegrass 15%
 - Canada Bluegrass 10%
 - Perennial Ryegrass 15%
 - Slender Wheatgrass 10%
 - Mountain Brome 15%
- (b) Wetlands Buffer Mix**
 - To be planted within twenty feet (20') of wetland areas
 - Arizona Fescue 14%
 - Alpine Bluegrass 14%
 - Slender Wheatgrass 35%
 - Mountain Brome 36%

LANDSCAPE GENERAL NOTES

- ALL TREES AND SHRUBS SHALL BE FIELD LOCATED BY PROJECT ARCHITECT.
- ALL TREES AND SHRUBS SHALL BE BACK FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
- NECESSARY TREES SHALL BE STAKED WITH 4 FOOT METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRAPS.
- PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
- SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER, SHREDED BARK.
- ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANTED MATERIALS SHALL BE A NON-NOXIOUS SPECIES AS SPECIFIED WITHIN THE SAN MIGUEL COUNTY NOXIOUS WEED LIST. LANDSCAPING SHOWN ON THE LANDSCAPE PLAN SHALL COMPLY WITH SECTION 9-109 OF THE DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.
- ALL NEW PLANTED ASPEN TREES TO BE MULTI-STEM TREES.

IRRIGATION

- 1" TAP WITH RAINBIRD PVB-075 BACKFLOW PREVENTER
- RAINBIRD RCM-12 ELECTROMECHANICAL CONTROLLER
- 1 1/2" WILKINS MODEL 500 PRESSURE REGULATOR
- RAINBIRD 150 ELECTRIC REMOTE CONTROL VALVE
- 1" CLASS 200 PVC MAINLINE
- 1" NSF POLYLATERAL LINE
- WATER SENSOR
- RAINBIRD POP-UP DRIP LINE
- TREES AND SHRUBS TO BE DRIP ONLY-DRIP ZONES TO BE SHUT OFF (2) FULL GROWING SEASONS AFTER PLANT ESTABLISHMENT
- TEMPORARY IRRIGATION OF REVEGETATED AREAS - LONG TERM WATERING TO BE ASSESSED TOT AUTHORITY



1 Landscape Plan
1/8" = 1'-0"



SALT ARCHITECTURE
 SANTA BARBARA, CA
 805.729.4276

PROJECT TEAM

PROPERTY OWNER
 Alex and Maureen Blum
 116 Farms Road,
 Stamford CT 06903

ARCHITECT

Architect: Dylan Henderson
 Associate Architect: Brian Platley
 701 Anacapa Street
 Santa Barbara, CA 93101
 Office: 805.729.4276
 Cell: 970.708.4795
 e-mail: dylan@saltarchitect.com

STRUCTURAL ENGR.

Colorado Structural Inc.
 Mike Arbaney
 315 Bellevue Ave. Unit F
 P.O. Box 2544 - Crested Butte, CO 81224
 Office: 970-349-5922

MECHANICAL ENGR.

Hughes Consulting Eng PA
 220 W. Colorado Ave.
 P.O. Box 688 - Telluride, CO 81435
 Office: 970-239-1949
 Fax: 785-642-2992

SURVEYOR

Foley Associates, Inc.
 125 W. Pacific Ave. Unit B-1
 P.O. Box 1385 - Telluride, CO 81435
 Office: 805-452-0690
 Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath (New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
 IRC - Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain Village 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	9.21.2021
2	IASR FINAL Review	10/22/2021
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date
1	Final Design Review	10/22/2021

Blum
 134 Russell Drive
 Landscape

Date: 10/22/2021
 Drawn by: DH / BF
 Checked by: DH / BF

A 1.3
 Scale: As indicated

COPYRIGHT 2021 10/26/2021 4:31:50 PM

PROJECT TEAM

PROPERTY OWNER

Alex and Maureen Blum
116 Farms Road,
Stamford CT 06903

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Platley
701 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
email: dylan@saltarchitecture.com

STRUCTURAL ENG.

Colorado Structural Inc.
Mike Arbaney
315 Bellevue Ave. Unit F
P.O. Box 2544 - Crested butte, CO 81224
Office: 970-349-5922

MECHANICAL ENG.

Hughes Consulting Eng PA
220 W. Colorado Ave.
P.O. Box 688 - Telluride, CO 81435
Office: 970-239-1949
Fax: 785-642-2492

SURVEYOR

Foley Associates, Inc.
125 W. Pacific Ave. Unit B-1
P.O. Box 1365 - Telluride, CO 81435
Office: 805-529-6990
Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath
(New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC - Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain
Village 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	9.21.2021
2	IASR FINAL Review	10/22/2021
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Blum

134 Russell Drive

Exterior Lighting Plan

Date: 10/22/2021
Drawn by: DH / BF
Checked by: DH / BF

A 1.4

Scale: As indicated



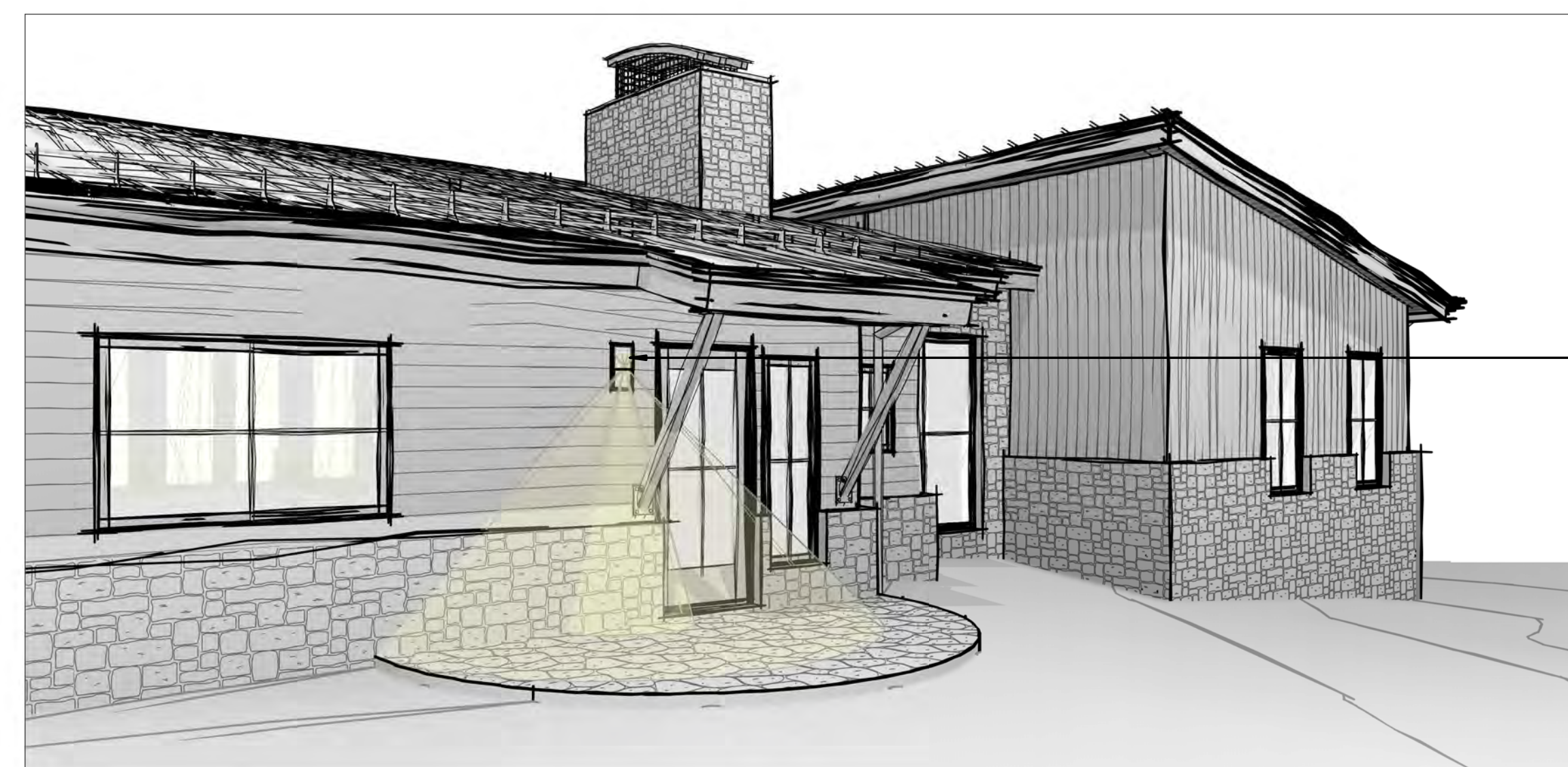
1 Lighting Perspective 1



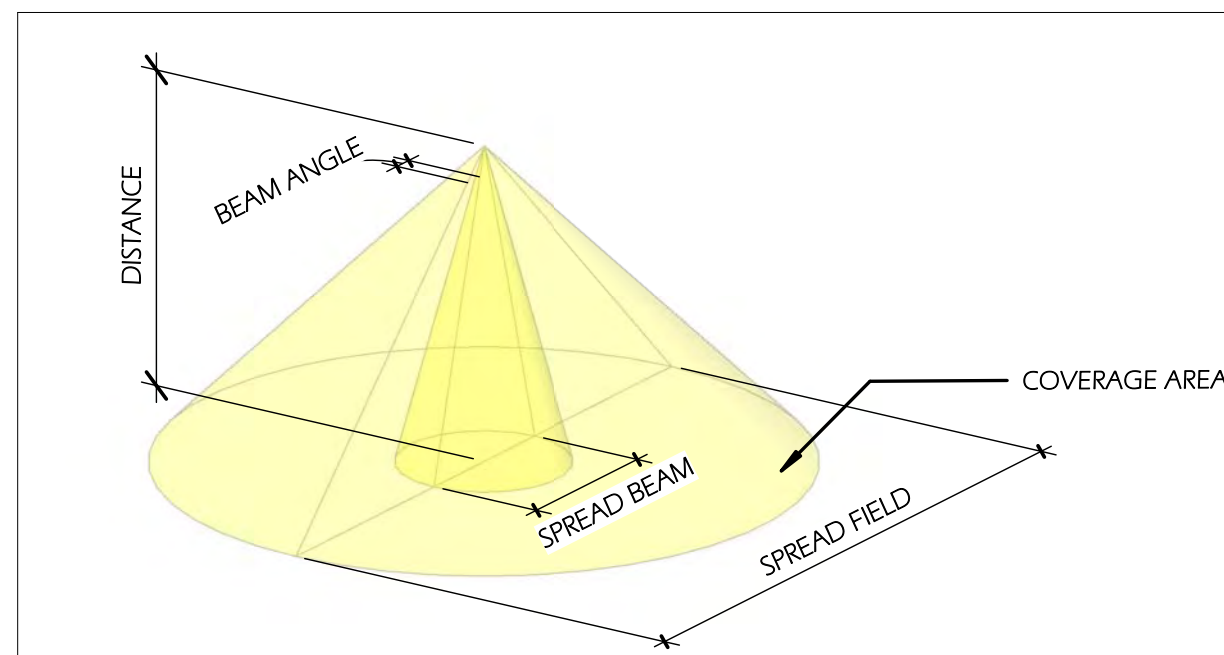
2 Lighting Perspective 2



3 Lighting Perspective 3



4 Lighting Perspective 4



6 Lighting Detail

LIGHTING NOTES:

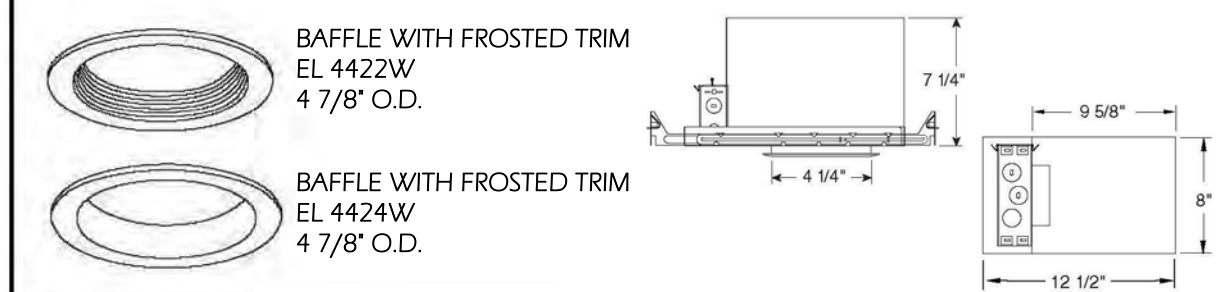
- ILLUMINANCE (LUX): ILLUMINANCE IS A MEASUREMENT OF THE LIGHT INTENSITY AT ANY POINT. THE LIGHT INTENSITY DROPS EXPONENTIALLY THE FURTHER AWAY YOU GET FROM THE SOURCE (DISTANCE).
- LUMINOUS FLUX (LM): THE LUMINOUS FLUX IS A MEASURE OF THE TOTAL LIGHT OUTPUT FROM A SOURCE. FOR EXAMPLE, A 1 CANDELA LIGHT SOURCE WILL PRODUCE 1 LUMEN PER SQUARE METER AT THE DISTANCE OF 1 METER.
- BEAM ANGLE: THE BEAM ANGLE IS THE ANGLE OF RADIATION FOR A LIGHT SOURCE. FOR EXAMPLE A BEAM ANGLE ON 30 DEGREES MEANS THE LIGHT HAS A SHAPE OF A CONE AND ITS BORDERS FORM A 15 DEGREE ANGLE WITH THE CENTER AXIS. A CHANGE IN THE BEAM ANGLE AFFECTS THE LUMINOUS INTENSITY (LUX) OF A LIGHT SOURCE BUT NOT THE LUMINOUS FLUX (LUMENS).
- SPREAD (M): THE SPREAD IS THE WIDTH OF THE LIGHT WHEN IT HITS THE FLAT SURFACE.
- COVERAGE AREA (M2): THE COVERAGE AREA IS THE SIZE OF THE CIRCULAR AREA THAT THE LIGHT ILLUMINATES ON THE FLAT SURFACE.

- ILLUM TYPE: LED
 - SOURCE LUMENS: 660
 - TEMP: 3000K
 - CRI: 80
 - BEAM VIEW ANGLE: 38
- FIXTURE HEIGHTS VARY
- LUMINOUS AREA AT 14'-7" AFF: 97.58 LUX
 - SPREAD (M): 3.06m
 - COVERAGE AREA (M2): 7.36m²
 - LUMINOUS AREA AT 16'-6" AFF: 65.87 LUX
 - SPREAD (M): 3.73m
 - COVERAGE AREA (M2): 10.9m²

ELKO: ELD44ICA 4" LED New Construction IC Airtight Housing

Lamp: 13W LED module, 350mA DC
Driver: 120V AC, 0.14A high quality driver Dimmable with most incandescent and electronic dimmers.
Trim Ring: Polycarbonate trim ring designed to conceal ceiling cutout.
ELD44ICA: 3000°K, 660 lm
Note: Battery backup driver available upon request.

- Housing includes LED module and driver unit.
- Double wall construction, for use in insulated ceilings.
- 7 1/4" height allows for use in 2 x 8 construction.
- Adjustable housing accommodates up to 1 1/4" ceiling thickness.
- Advanced heat sink design for best heat dissipation to maintain maximum LED module life.
- Over 660 lumens effective light output (with baffle trim).
- High CRI (>80), warm white (3000°K), high lumen maintenance.
- Housing meets restricted air flow requirement (per ASTM E-283).
- CA Title 24 compliant.
- Meets ENERGY STAR requirements.
- Trims sold separately.



- ILLUM TYPE: LED
- SOURCE LUMENS: 270
- TEMP: 3000K
- CRI: ##
- LUMINOUS AREA: 515.7 LUX
- SPREAD (M): 1.07m
- COVERAGE AREA (M2): 0.894m²
- BEAM VIEW ANGLE: 90

Solara 21.5" High Black 12V LED Landscape Path Light

PRODUCT DETAILS:
Give the walking areas of your home exterior the illumination from this stylish L-shaped low-voltage energy-efficient LED landscape path light.

ADDITIONAL INFO:

Bestow your home exterior with the soft glow from this stylish L-shaped low-voltage energy-efficient LED landscape path light. It features a handsome black finish over heavy-duty stainless steel construction and a handy 90-degree beam angle. It's versatile enough to go next to a walkway or in the low-lying hedges at the edge of your yard.

- 21.5" high x 5 1/2" wide x 2" deep.
- Built-in 3 watt LED module, 270 lumen light output, comparable to a 25 watt incandescent, 3000K color temperature.
- L-shaped low-voltage energy-efficient LED landscape path light.
- Black finish over heavy duty stainless steel construction.
- Low voltage - 12V AC.
- 90-degree beam angle.

Lighting Fixture Schedule

Type Mark	Description	Count	Type Comments
	ELKO	5	Recessed Can Light
A	Quadrate	7	Wall Sconce
B	ELKO	3	Recessed Can Light
C	Bollard Light	4	Low Voltage Path Lighting

- ILLUM TYPE: LED
- SOURCE LUMENS: 383
- TEMP: 3000K
- CRI: 90
- LUMINOUS AREA: 50.40 LUX
- SPREAD (M): 4.06m
- COVERAGE AREA (M2): 13.0m²
- BEAM VIEW ANGLE: 90

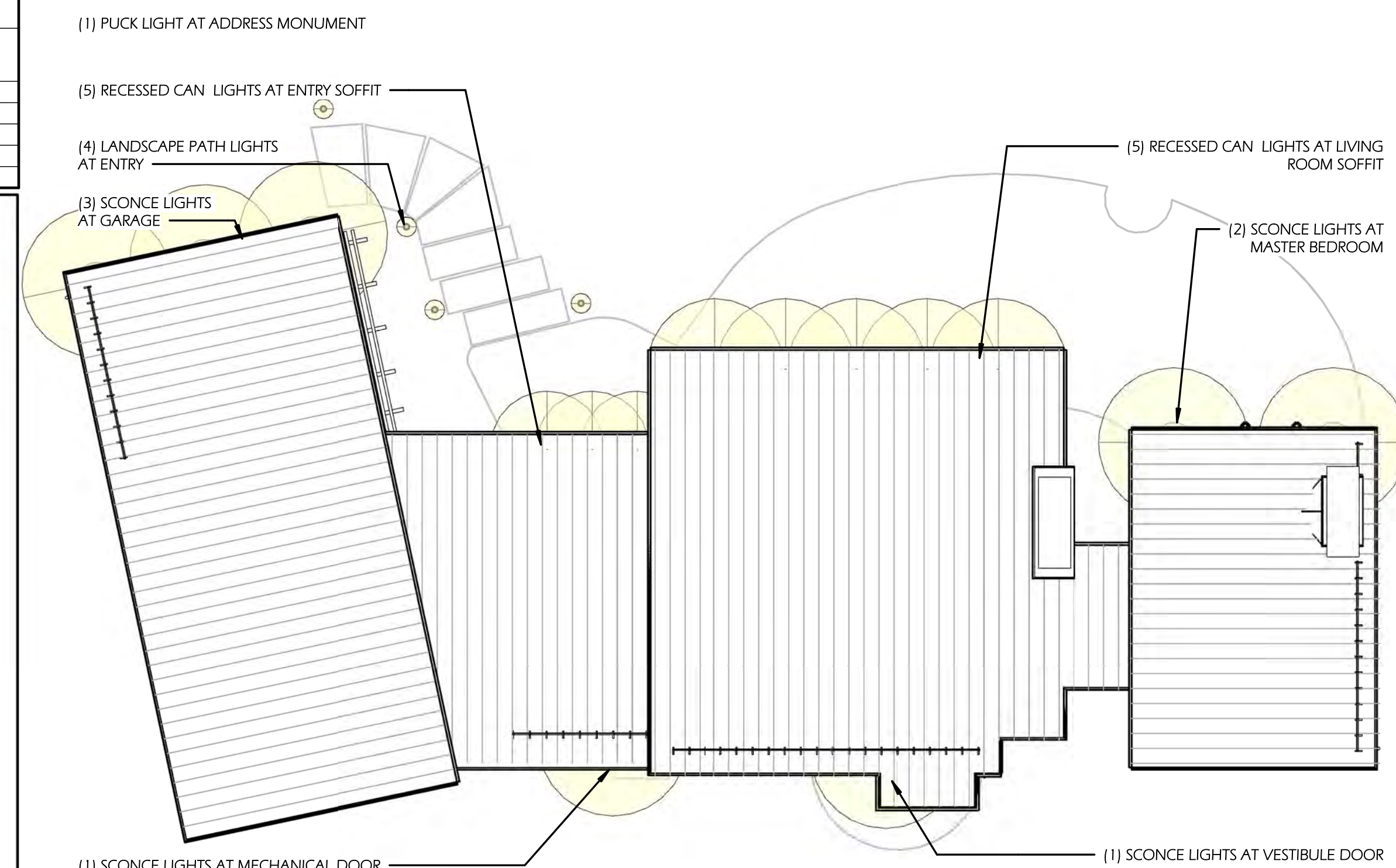
Quadrate Outdoor Wall Sconce

The Tech Lighting Quadrate Outdoor Wall Sconce takes advantage of 2 integrated LEDs to cast light upward to the wall it is installed on, and downward to accent the extended wall plate and illuminate any surfaces below. Aluminum construction and high-performance components ensure this wall sconce possesses the durability necessary to endure in the face of harsh outdoor conditions. The product features a minimalist and contemporary look that isn't diminished by any unsightly hardware, as they are each cleverly hidden.

DETAILS:

- Casts light upward and downward
- Warm-dimmable from 3000-2200K with an ELV dimmer (not included)
- Rectangular wall plate
- Designed by Sean Lavin in 2017
- Material: Aluminum
- Title 24 compliant
- ETL Listed Wet
- Warranty: Limited 5 Year
- Fixture: Width 5", Height 13", Depth 4.8"

Finish: Bronze
Lighting: 15.8 Watt [383 Lumens] 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 35000 hours



5 Lighting Key Plan
1" = 10'-0"

PROJECT TEAM

PROPERTY OWNER

Alex and Maureen Blum
116 Farms Road,
Stamford CT 06903

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Platley
301 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

STRUCTURAL ENG.

Colorado Structural Inc.
Mike Arbaney
315 Bellevue Ave. Unit F
P.O. Box 2544 - Crested butte, CO 81224
Office: 970-349-5922

MECHANICAL ENG.

Hughes Consulting Eng PA
2701 W. Colorado Ave.
P.O. Box 688 - Telluride, CO 81435
Office: 970-239-1949
Fax: 785-642-2492

SURVEYOR

Foley Associates, Inc.
125 W. Pacific Ave. Unit B-1
P.O. Box 1365 - Telluride, CO 81435
Office: 805-452-6990
Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath
(New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC - Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain
Village 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	9.21.2021
2	IASR FINAL Review	10/22/2021
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date
1	Final Design Review	10/22/2021

Blum

134 Russell Drive

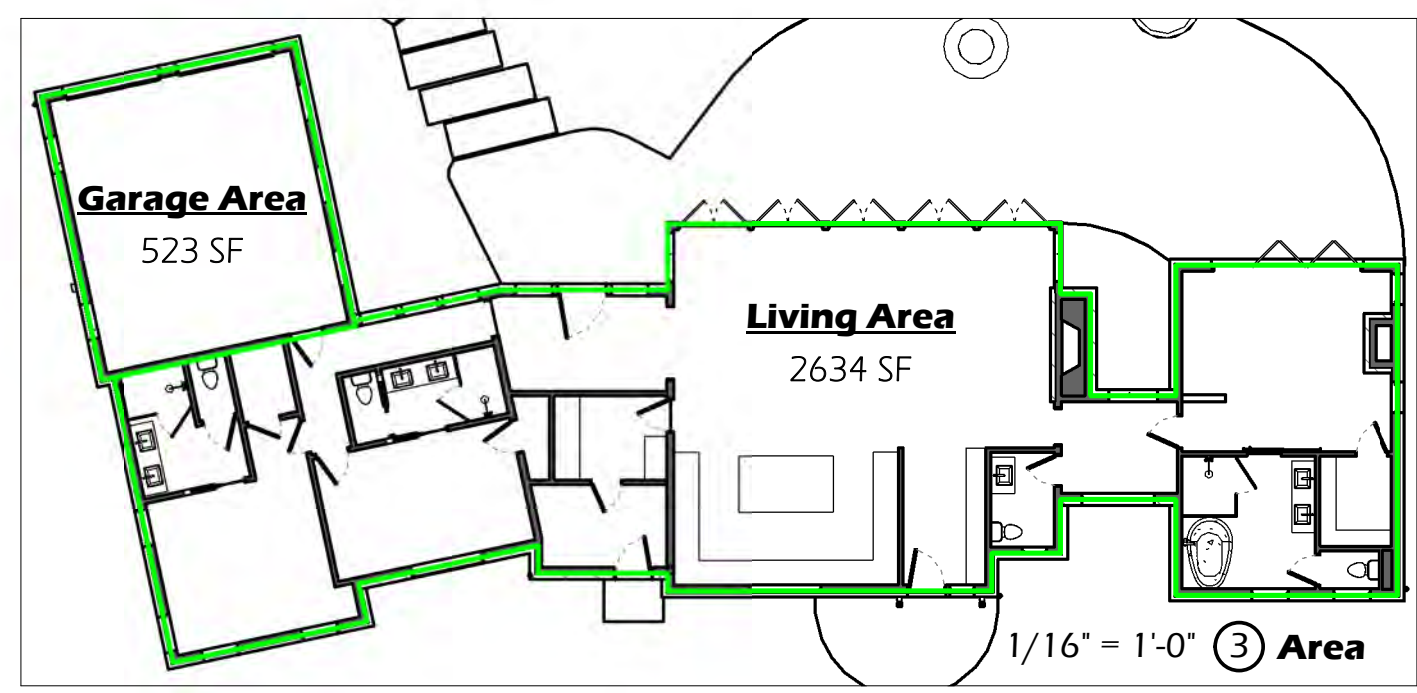
Floor Plans

Date:	10/22/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 2.1

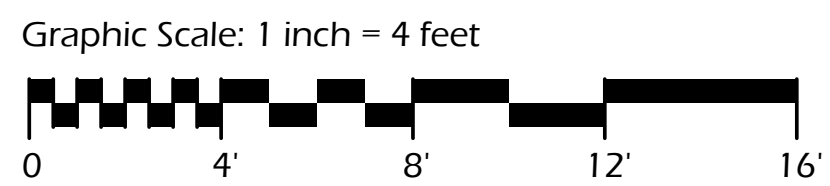
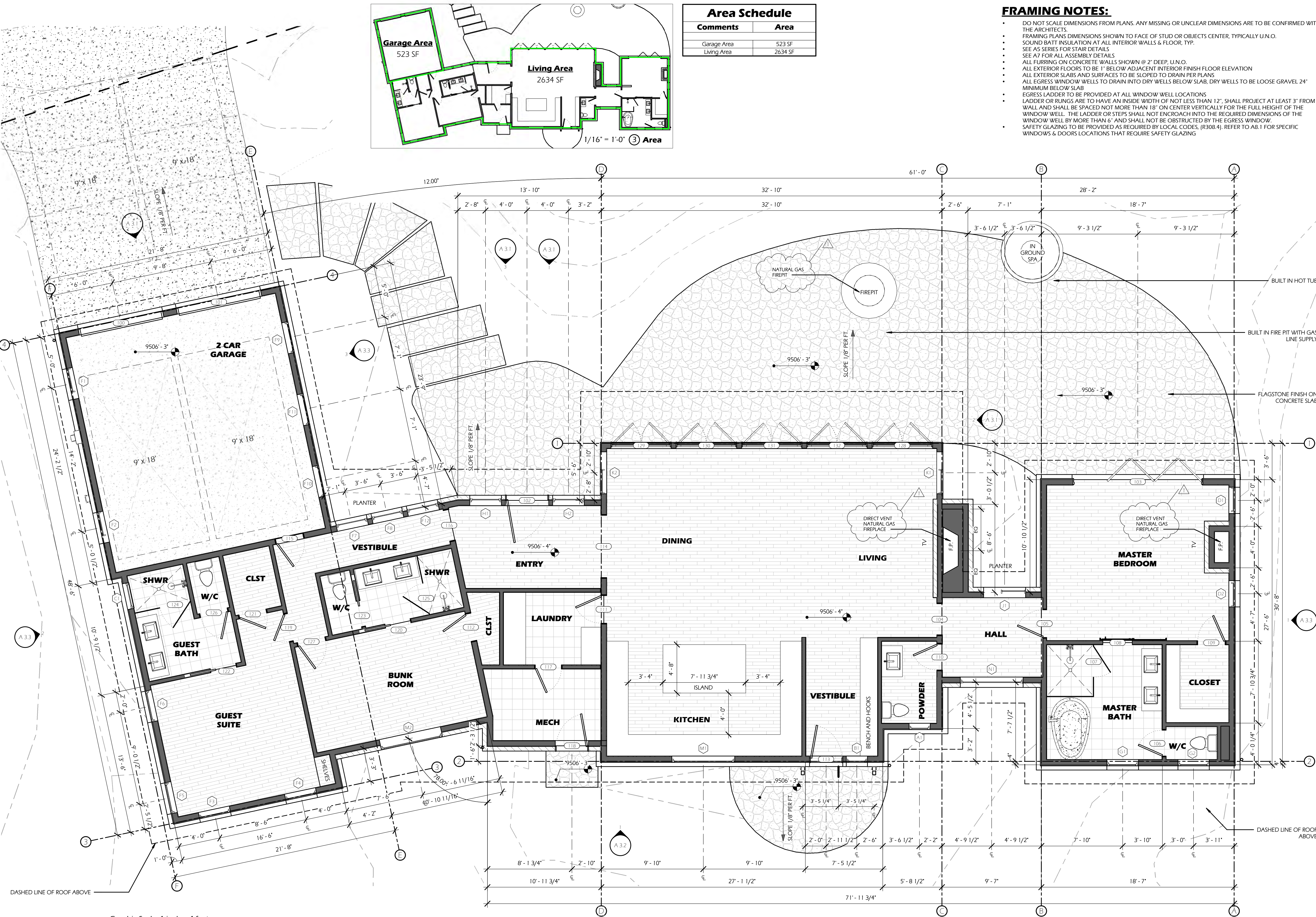
Scale: As indicated

Area Schedule	
Comments	Area
Garage Area	523 SF
Living Area	2634 SF



FRAMING NOTES:

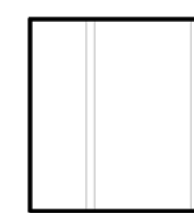
- DO NOT SCALE DIMENSIONS FROM PLANS. ANY MISSING OR UNCLEAR DIMENSIONS ARE TO BE CONFIRMED WITH THE ARCHITECTS.
- FRAMING PLANS DIMENSIONS SHOWN TO FACE OF STUD OR OBJECTS CENTER, TYPICALLY U.N.O.
- SOUND BATT INSULATION AT ALL INTERIOR WALLS & FLOOR, TYP.
- SEE A5 SERIES FOR STAIR DETAILS
- SEE A7 FOR ALL ASSEMBLY DETAILS
- ALL FURRING ON CONCRETE WALLS SHOWN @ 2" DEEP, U.N.O.
- ALL EXTERIOR FLOORS TO BE 1" BELOW ADJACENT INTERIOR FINISH FLOOR ELEVATION
- ALL EXTERIOR SLABS AND SURFACES TO BE SLOPED TO DRAIN PER PLANS
- ALL EGRESS WINDOW WELLS TO DRAIN INTO DRY WELLS BELOW SLAB, DRY WELLS TO BE LOOSE GRAVEL 24" MINIMUM BELOW SLAB
- EGRESS LADDER TO BE PROVIDED AT ALL WINDOW WELL LOCATIONS
- LADDER OR RUNGS ARE TO HAVE AN INSIDE WIDTH OF NOT LESS THAN 12", SHALL PROJECT AT LEAST 3" FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18" ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL. THE LADDER OR STEPS SHALL NOT ENCRoACH INTO THE REQUIRED DIMENSIONS OF THE WINDOW WELL. BY MORE THAN 6" AND SHALL NOT BE OBSTRUCTED BY THE EGRESS WINDOW.
- SAFETY GLAZING TO BE PROVIDED AS REQUIRED BY LOCAL CODES, (R308.4). REFER TO A8.1 FOR SPECIFIC WINDOWS & DOORS LOCATIONS THAT REQUIRE SAFETY GLAZING



Level 1 Framing Plan
1/4" = 1'-0"

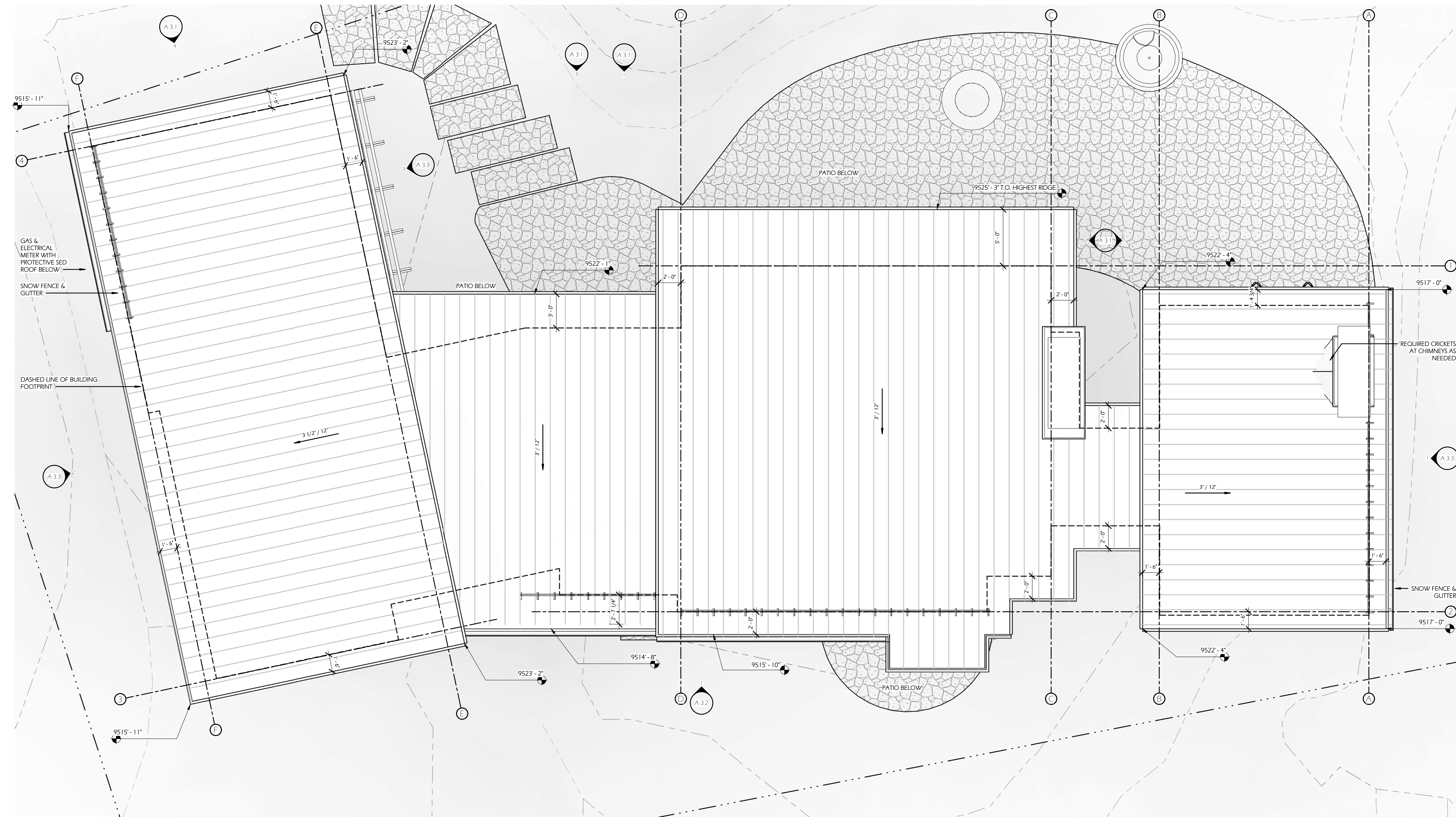
ROOF PLAN NOTES:

- SOUND BATT INSULATION AT ALL INTERIOR WALLS & FLOOR, TYP.
- SEE A5 SERIES FOR STAIR DETAILS
- SEE A7 FOR ALL ASSEMBLY DETAILS
- ALL FURRING ON CONCRETE WALLS SHOWN @ 2" U.N.O.
- ALL EXTERIOR FLOORS TO BE 1" BELOW ADJACENT INTERIOR FINISH FLOOR ELEVATION
- ALL SOFFITS & RIDGES TO BE FULLY SEALED PER DETAILS
- SAFETY GLAZING TO BE PROVIDED AS REQUIRED BY LOCAL CODES. (R308.4) REFER TO A8.1 FOR SPECIFIC WINDOWS
- & DOORS LOCATIONS THAT REQUIRE SAFETY GLAZING
- EAVE OUTLOOK DIMENSIONS SHOWN ON BUILDING SECTIONS



METAL STANDING SEAM ROOFING

Roof Plan Materials



PROJECT TEAM

PROPERTY OWNER

Alex and Maureen Blum
116 Farms Road,
Stamford CT 06903

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Platley
701 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

STRUCTURAL ENG.

Colorado Structural Inc.
Mike Arbaney
315 Bellevue Ave. Unit F
P.O. Box 2544 - Crested butte, CO 81224
Office: 970-349-5922

MECHANICAL ENG.

Hughes Consulting Eng PA
220 W. Colorado Ave.
P.O. Box 688 - Telluride, CO 81435
Office: 970-239-1949
Fax: 785-642-2492

SURVEYOR

Foley Associates, Inc.
125 W. Pacific Ave. Unit B-1
P.O. Box 1365 - Telluride, CO 81435
Office: 805-452-0690
Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath (New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC - Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain
Village 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	9/21/2021
2	IASR FINAL Review	10/22/2021
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date
1		
2		

Blum

134 Russell Drive

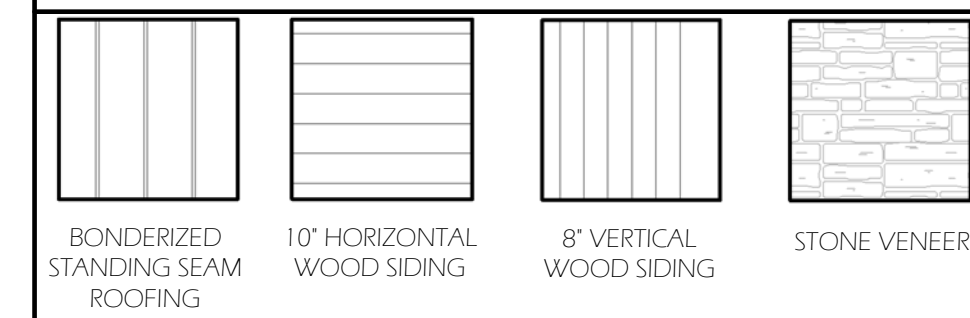
Roof Plan

Date:	10/22/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 2.2

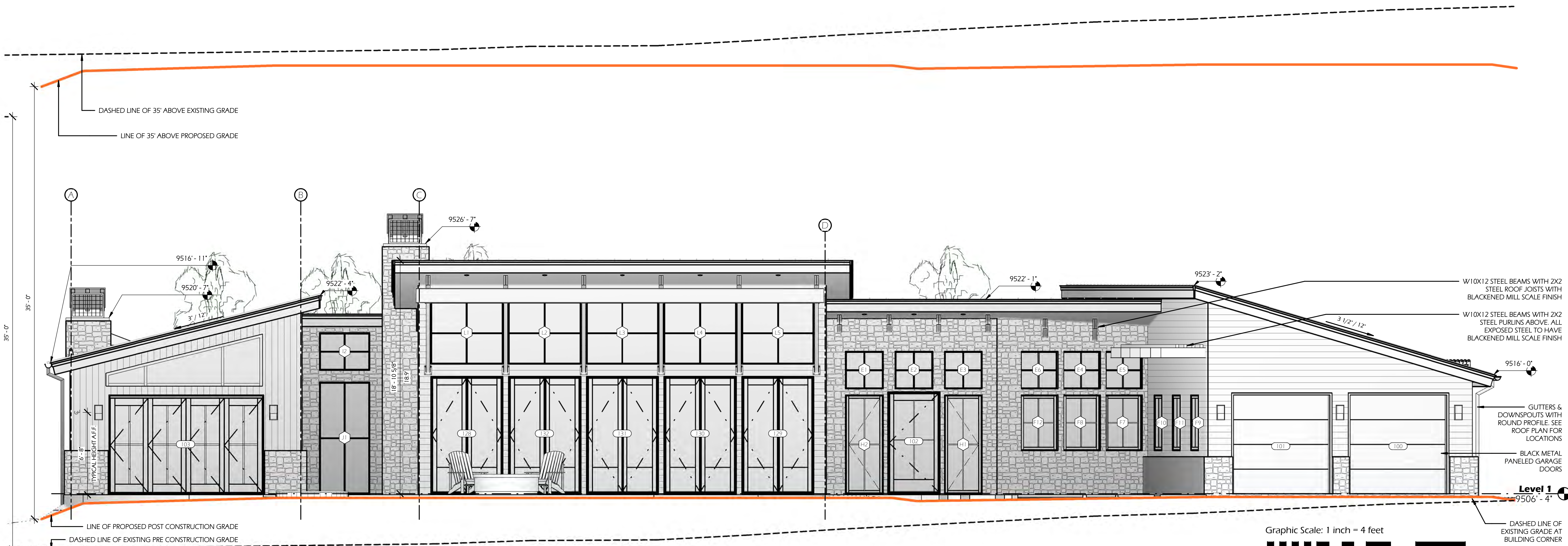
Scale: As indicated

EXTERIOR MATERIALS

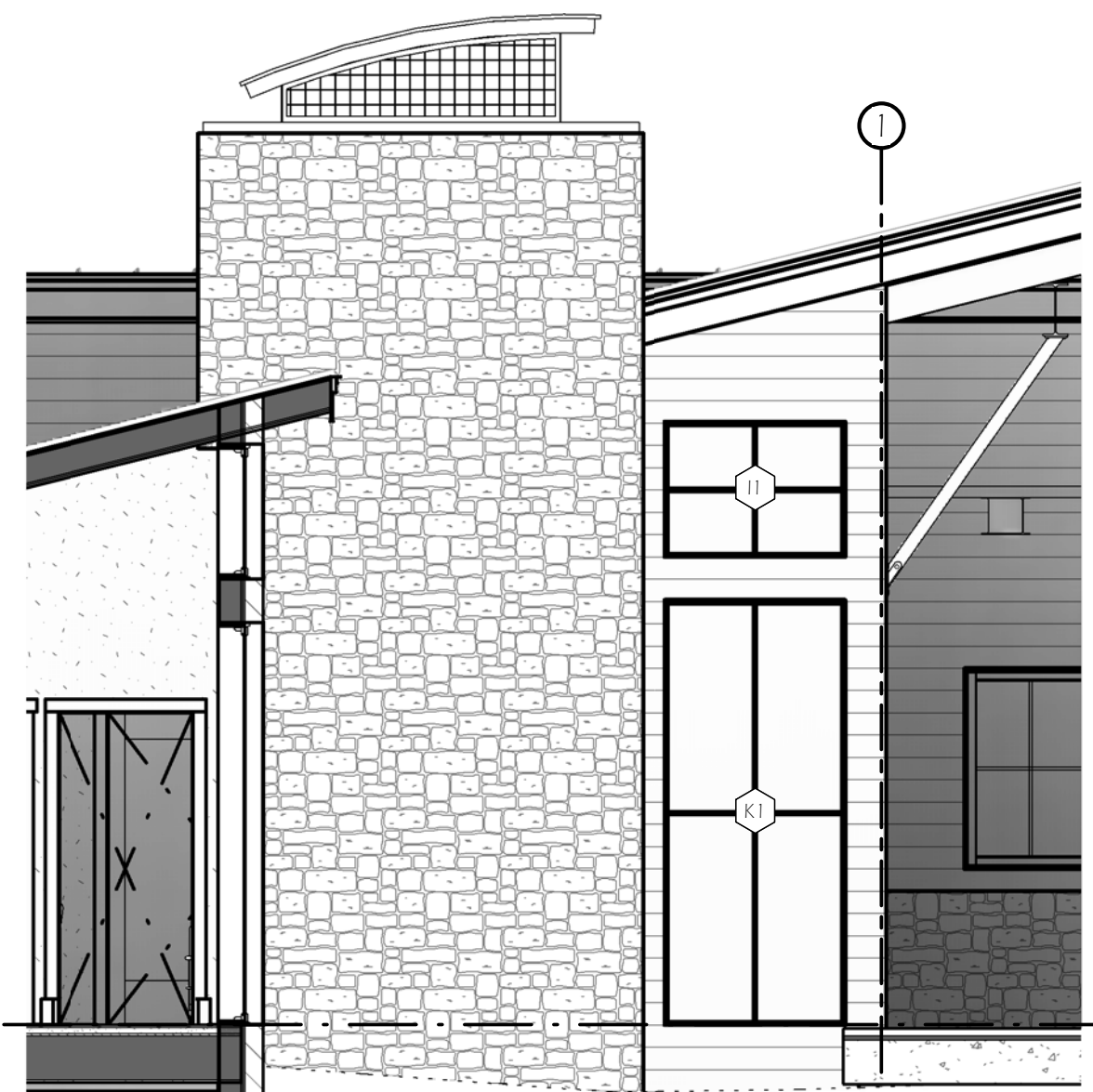
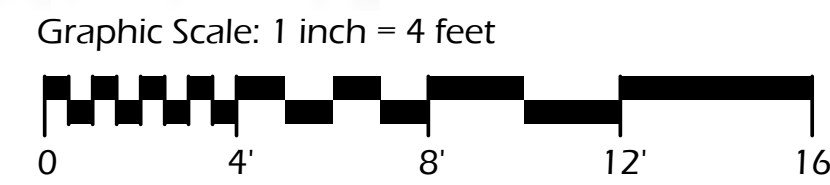


EXTERIOR ELEVATION NOTES:

- ALL MECHANICAL VENTING TO BE PAINTED TO MATCH ADJACENT MATERIALS TO CONCEAL VENTS AS APPROPRIATE
- ALL WINDOWS & DOORS TO HAVE ALUMINUM CLAD EXTERIORS U.N.O.
- ALL WINDOW & DOOR SDL BARS SHOWN ARE TO BE INTEGRAL & NOT REMOVABLE
- NO ROOF TOP EQUIPMENT SHOWN AS NONE WILL BE INSTALLED
- SEE A8.1 WINDOW & DOOR SCHEDULE FOR HEADER HEIGHTS
- SEE A4 SERIES - BUILDING SECTIONS FOR DETAIL LOCATIONS
- DASHED LINES REPRESENT WINDOW & DOOR OPERATIONS
- LABELS SHOWN ON NEW WINDOWS AND DOORS ONLY, UNLABELED WINDOWS & DOORS ARE EXISTING TO REMAIN
- USE GRADES SHOWN AS GUIDES ONLY. FINAL SITE GRADES TO HAVE POSITIVE DRAINAGE AWAY FOR BUILDING AT ALL SIDES, WITH REQUIRED MINIMUM 6" CONCRETE FOUNDATION EXPOSED. PROVIDE GRAVEL/ TRENCH DRAINAGE AS NEEDED.



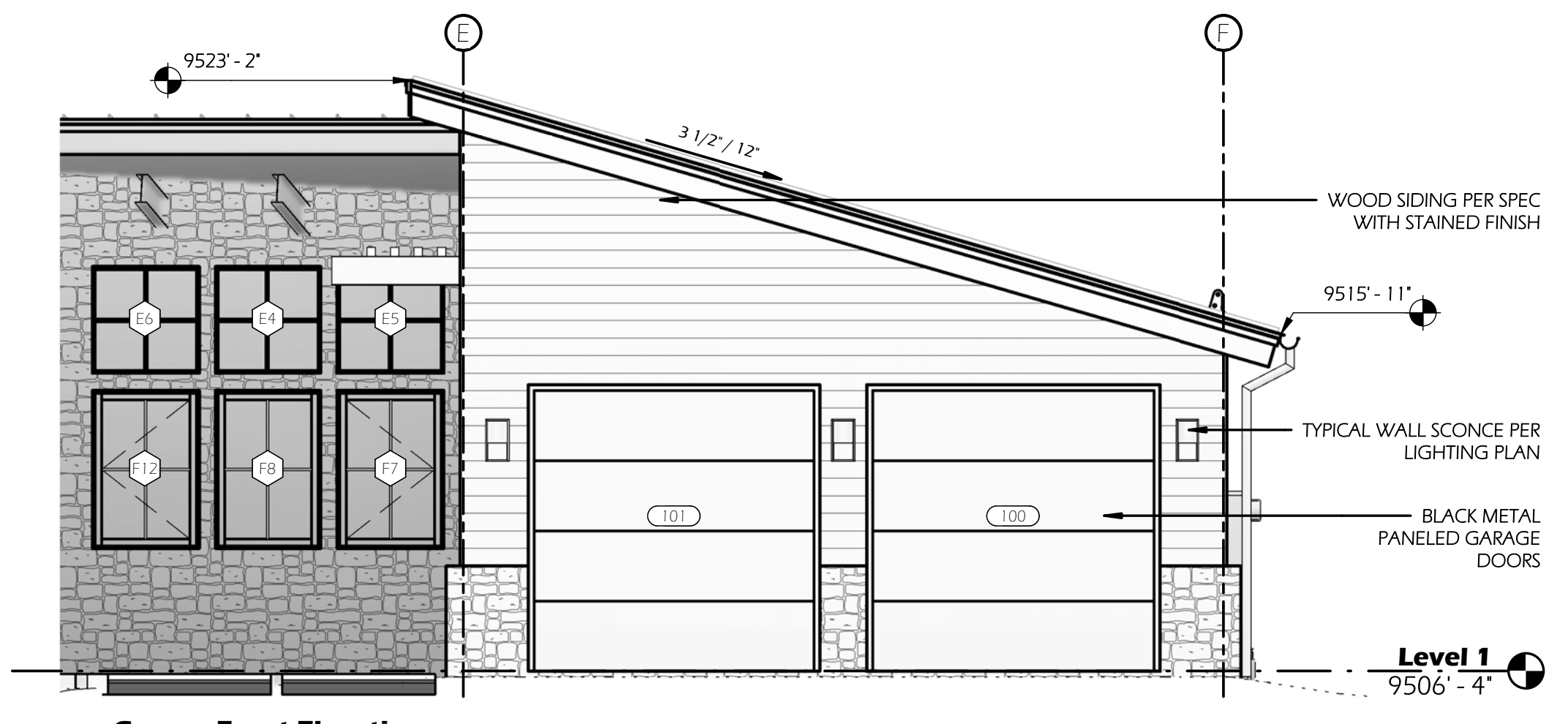
1 North Elevation
1/4" = 1'-0"



2 Partial Living Room
1/4" = 1'-0"



3 Entry Elevation
1/4" = 1'-0"



4 Garage Front Elevation
1/4" = 1'-0"

PROJECT TEAM

PROPERTY OWNER
Alex and Maureen Blum
116 Farms Road,
Stamford CT 06903

ARCHITECT
Architect: Dylan Henderson
Associate Architect: Brian Platley
301 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

STRUCTURAL ENG.
Colorado Structural Inc.
Mike Arbaney
315 Bellevue Ave. Unit F
P.O. Box 2544 - Crested butte, CO 81224
Office: 970-349-5922

MECHANICAL ENG.
Hughes Consulting Eng PA
220 W. Colorado Ave.
P.O. Box 688 - Telluride, CO 81435
Office: 970-239-1949
Fax: 785-642-2492

SURVEYOR
Foley Associates, Inc.
125 W. Pacific Ave. Unit B-1
P.O. Box 1385 - Telluride, CO 81435
Office: 805-452-6690
Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath (New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018 IRC - Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain Village 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	9.21.2021
2	IASR FINAL Review	10/22/2021
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Blum

134 Russell Drive

Elevations

Date: 10/22/2021
Drawn by: DH / BF
Checked by: DH / BF

A 3.1

Scale: As indicated

PROJECT TEAM

PROPERTY OWNER

Alex and Maureen Blum
116 Farms Road,
Stamford CT 06903

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Flattery
201 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

STRUCTURAL ENG.

Colorado Structural Inc.
Mike Arbaney
315 Bellevue Ave. Unit F
P.O. Box 2544 - Crested butte, CO 81224
Office: 970-349-5922

MECHANICAL ENG.

Hughes Consulting Eng PA
220 W. Colorado Ave.
P.O. Box 688 - Telluride, CO 81435
Office: 970-239-1949
Fax: 785-842-2492

SURVEYOR

Foley Associates, Inc.
125 W. Pacific Ave. Unit B-1
P.O. Box 1385 - Telluride, CO 81435
Office: 805-452-0690
Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath
(New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC- Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain
Village 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	9/21/2021
2	IASR FINAL Review	10/22/2021
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date
1	Final Design Review	10/22/2021

Blum

134 Russell Drive

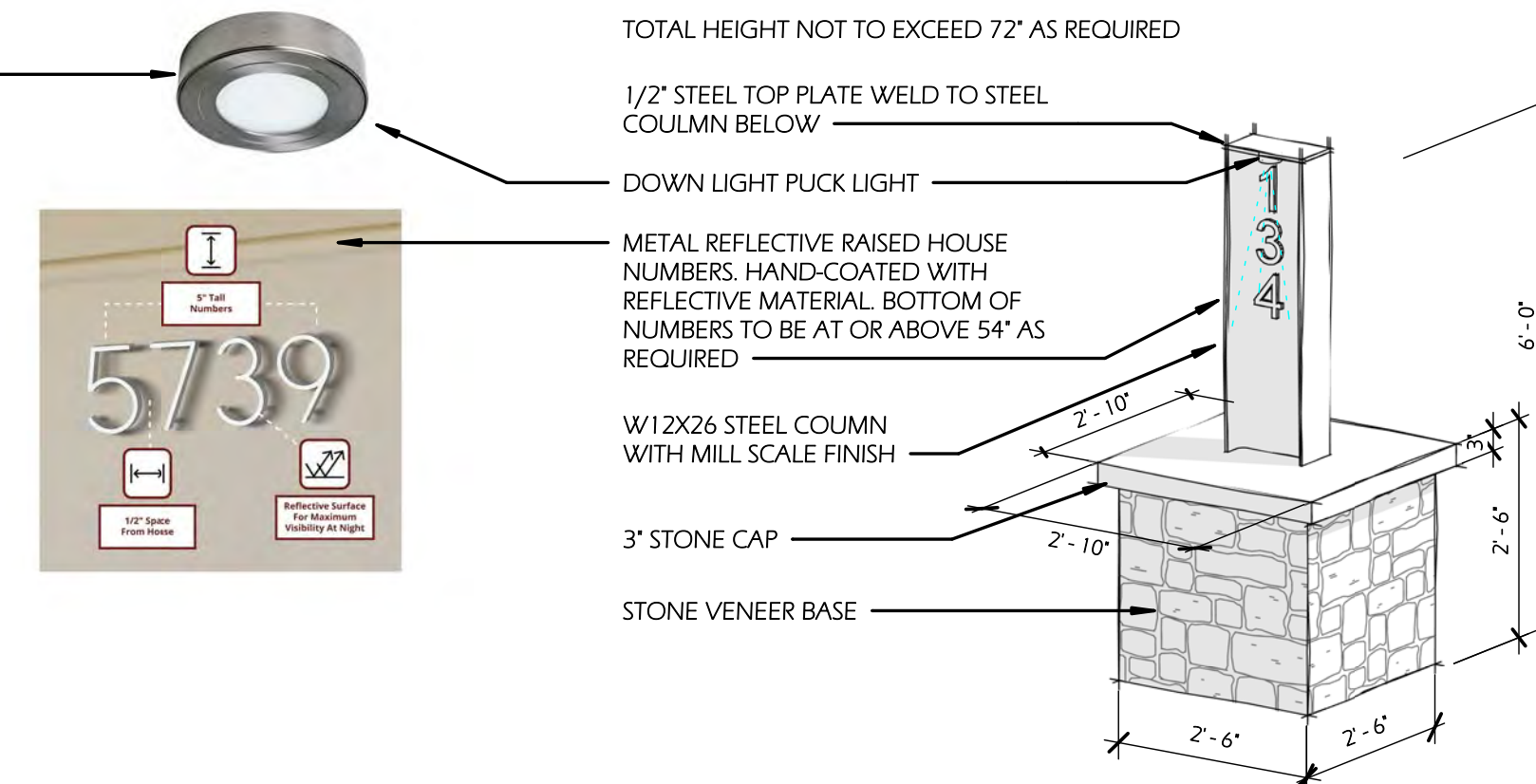
Elevations

Date:	10/22/2021
Drawn by:	DH / BF
Checked by:	DH / BF

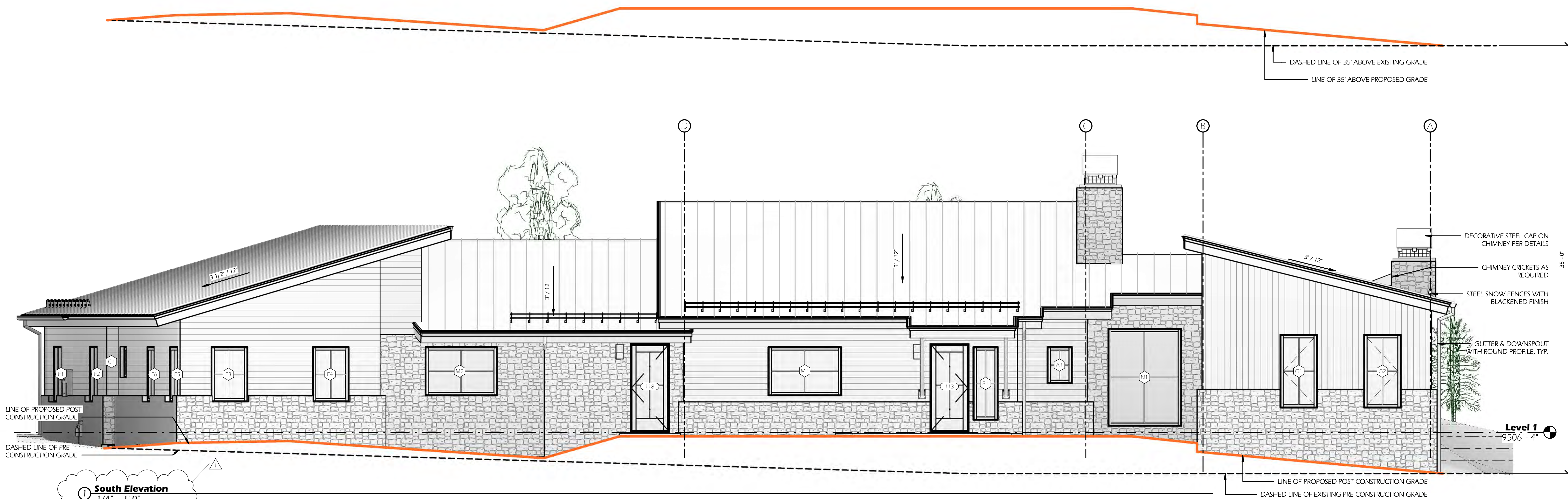
A 3.2

Scale: 1/4" = 1'-0"

375 LUMENS OUTPUT WITH A 120 DEGREE BEAM ANGLE
POWER SOURCE: HARDWIRED



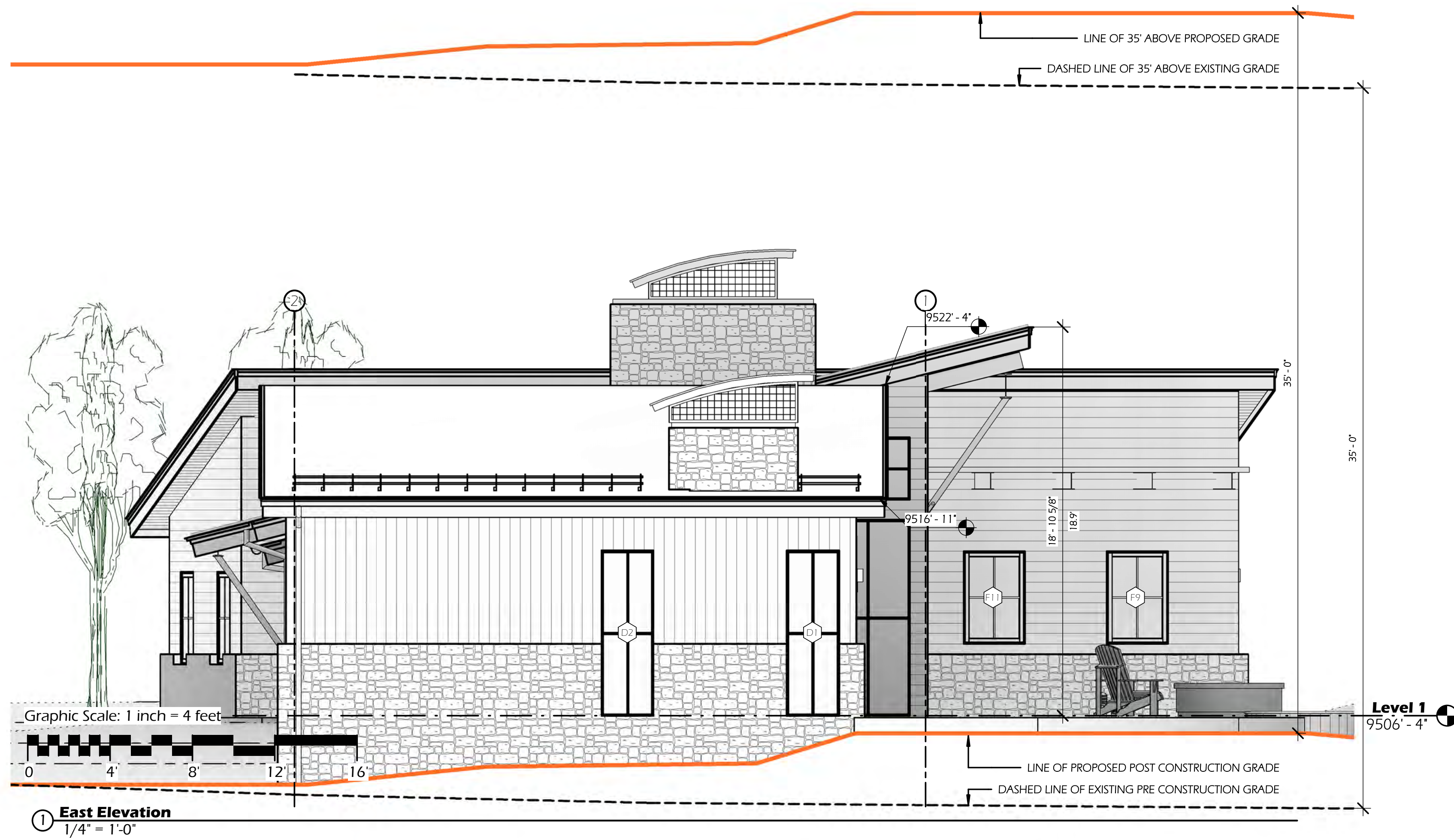
2 Address Monument



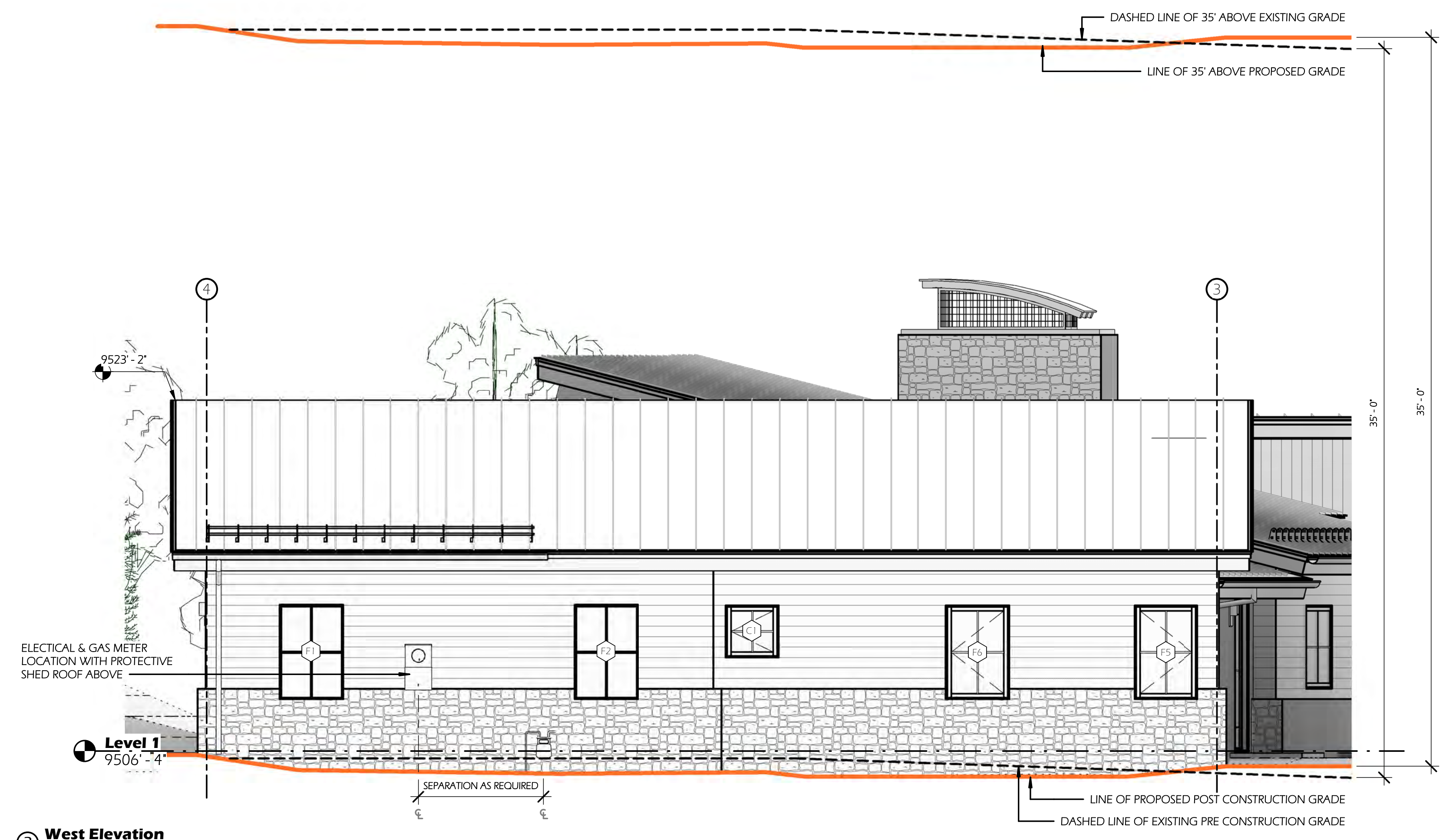
1 South Elevation
1/4" = 1'-0"

EXTERIOR ELEVATION NOTES:

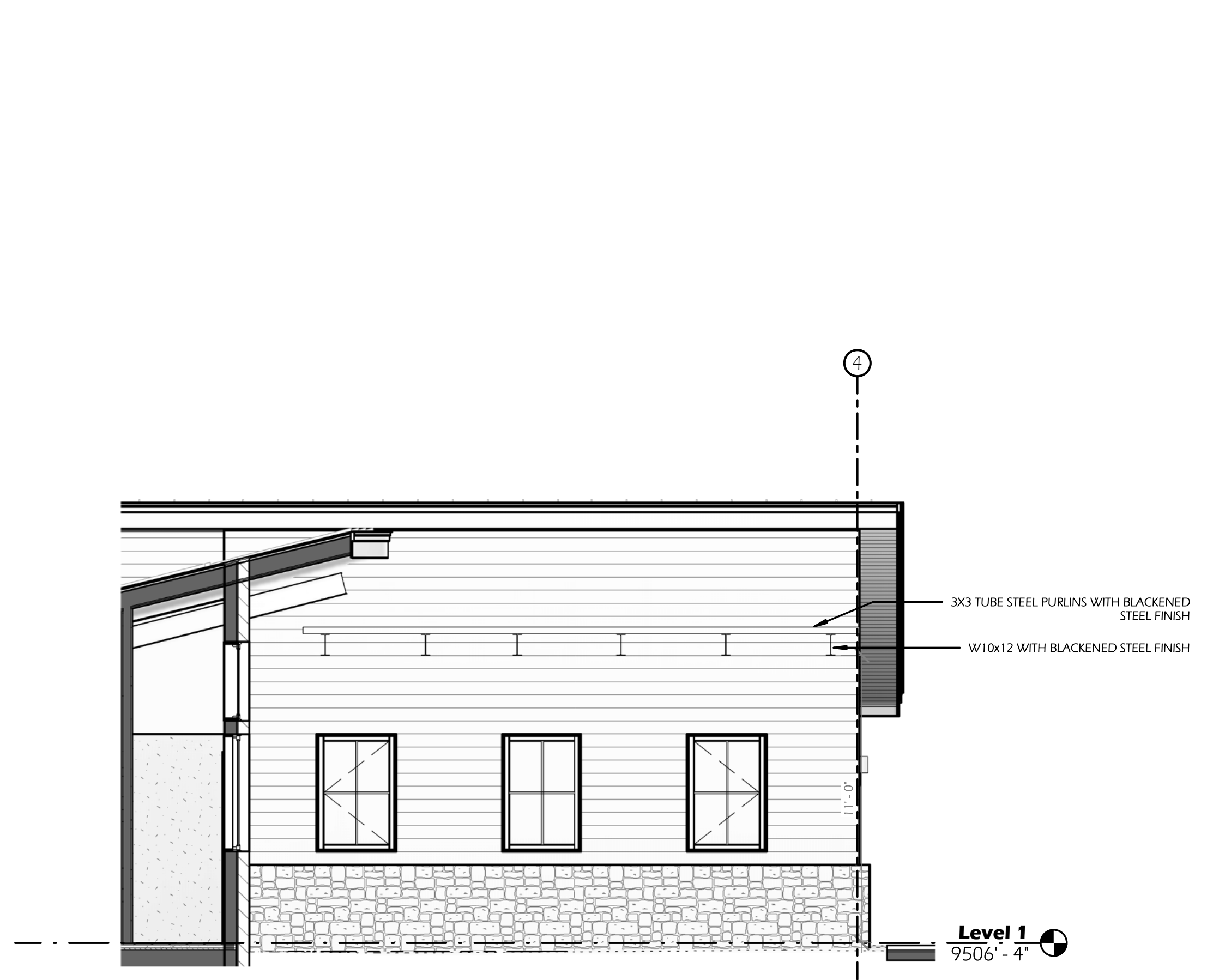
- ALL MECHANICAL VENTING TO BE PAINTED TO MATCH ADJACENT MATERIALS TO CONCEAL VENTS AS APPROPRIATE
- ALL WINDOWS & DOORS TO HAVE ALUMINUM CLAD EXTERIORS U.N.O.
- ALL WINDOW & DOOR SDL BARS SHOWN ARE TO BE INTEGRAL & NOT REMOVABLE
- NO ROOF TOP EQUIPMENT SHOWN AS NONE WILL BE INSTALLED
- SEE A8.1 WINDOW & DOOR SCHEDULE FOR HEADER HEIGHTS
- SEE A9 SERIES - BUILDING SECTIONS FOR DETAIL LOCATIONS
- DASHED LINES REPRESENT WINDOW & DOOR OPERATIONS
- LABELS SHOWN ON NEW WINDOWS AND DOORS ONLY, UNLABELED WINDOWS & DOORS ARE EXISTING TO REMAIN
- USE GRADES SHOWN AS GUIDES ONLY. FINAL SITE GRADES TO HAVE POSITIVE DRAINAGE AWAY FOR BUILDING AT ALL SIDES, WITH REQUIRED MINIMUM 6" CONCRETE FOUNDATION EXPOSED. PROVIDE GRAVEL/ TRENCH DRAINAGE AS NEEDED.



① East Elevation
1/4" = 1'-0"



② West Elevation
1/4" = 1'-0"



③ Garage East Elevation
1/4" = 1'-0"

PROJECT TEAM

PROPERTY OWNER

Alex and Maureen Blum
116 Farms Road,
Stamford CT 06903

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Flatley
301 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

STRUCTURAL ENG.

Colorado Structural Inc.
Mike Arbaney
315 Bellevue Ave. Unit F
P.O. Box 2544 - Crested butte, CO 81224
Office: 970-349-5922

MECHANICAL ENG.

Hughes Consulting Eng PA
220 W. Colorado Ave.
P.O. Box 688 - Telluride, CO 81435
Office: 970-239-1949
Fax: 785-642-2492

SURVEYOR

Foley Associates, Inc.
125 W. Pacific Ave. Unit B-1
P.O. Box 1365 - Telluride, CO 81435
Office: 805-452-6690
Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath (New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC- Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain Village 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	9.21.2021
2	IASR FINAL Review	10/22/2021
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Blum

134 Russell Drive

Elevations

Date:	10/22/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 3.3

Scale: As indicated

PROJECT TEAM

PROPERTY OWNER

Alex and Maureen Blum
116 Farms Road,
Stamford CT 06903

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Platley
3101 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

STRUCTURAL ENG.

Colorado Structural Inc.
Mike Arbaney
315 Bellevue Ave. Unit F
P.O. Box 2544 - Crested Butte, CO 81224
Office: 970.349.5922

MECHANICAL ENG.

Hughes Consulting Eng PA
220 W. Colorado Ave.
P.O. Box 688 - Telluride, CO 81435
Office: 970.239.1949
Fax: 785.642.2992

SURVEYOR

Foley Associates, Inc.
125 W. Pacific Ave. Unit B-1
P.O. Box 1365 - Telluride, CO 81435
Office: 805-452-0690
Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath
(New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC - Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain
Village 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	9.21.2021
2	IASR FINAL Review	10/22/2021
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Blum

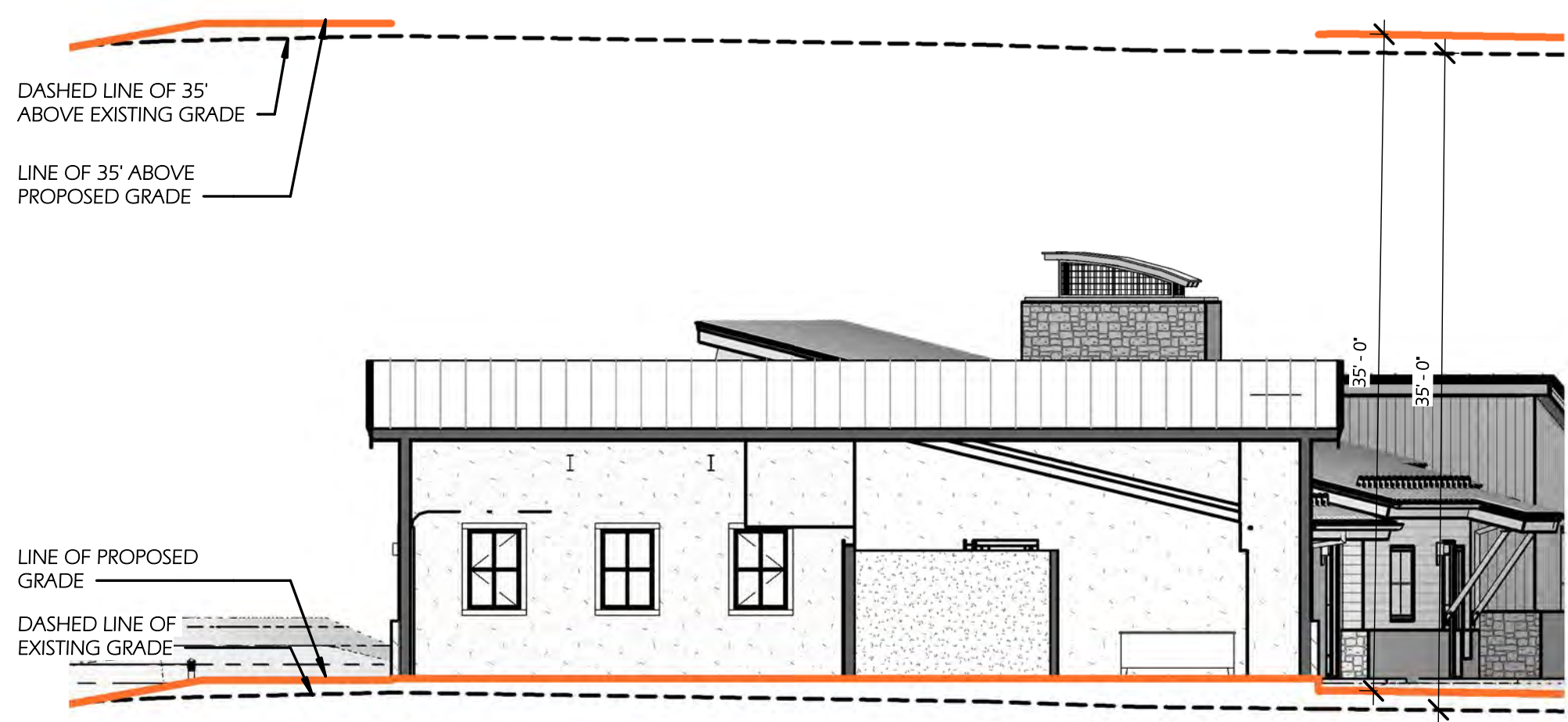
134 Russell Drive

Material Calculations & Height Compliance

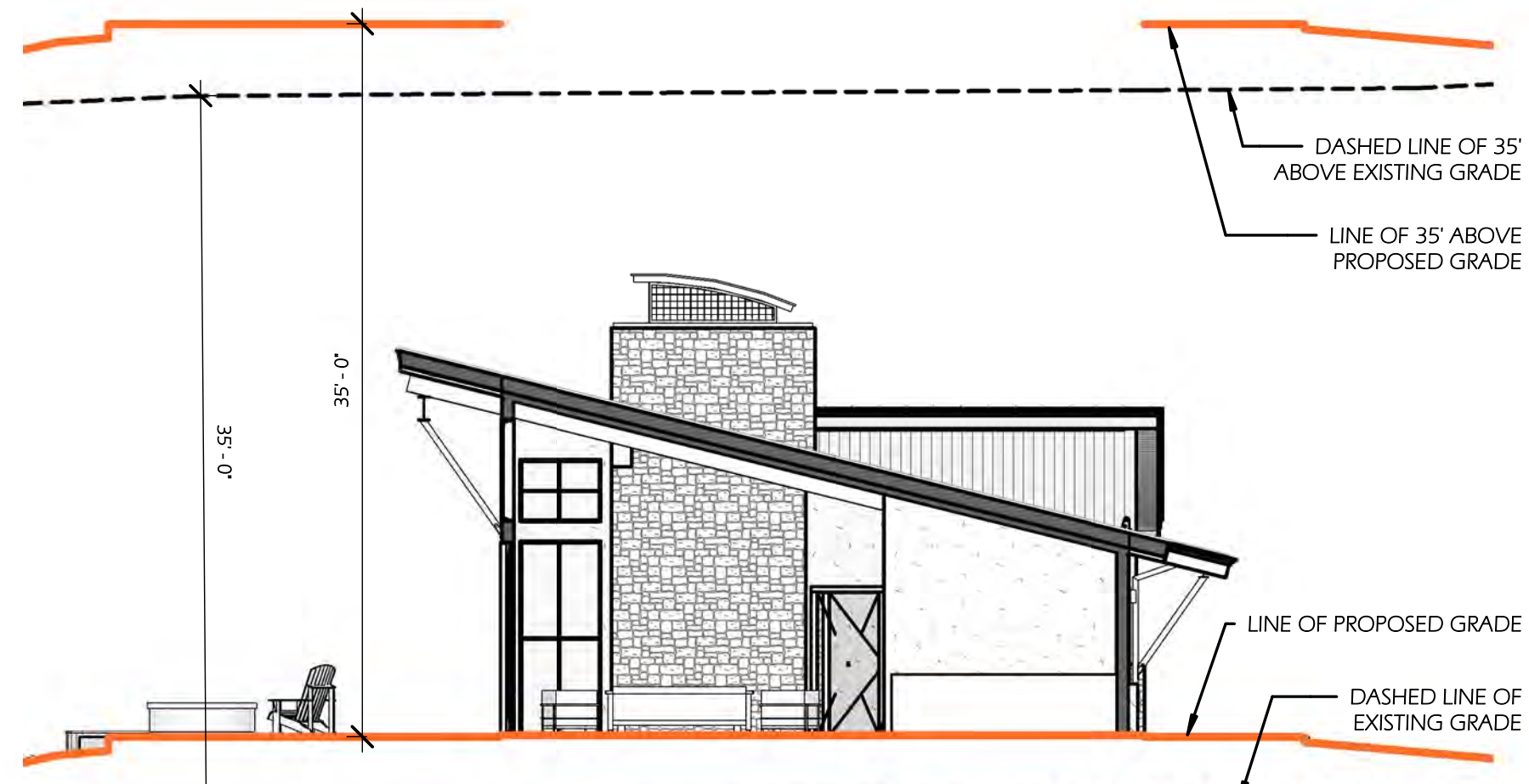
Date: 10/22/2021
Drawn by: DH / BF
Checked by: DH / BF

A 3.4

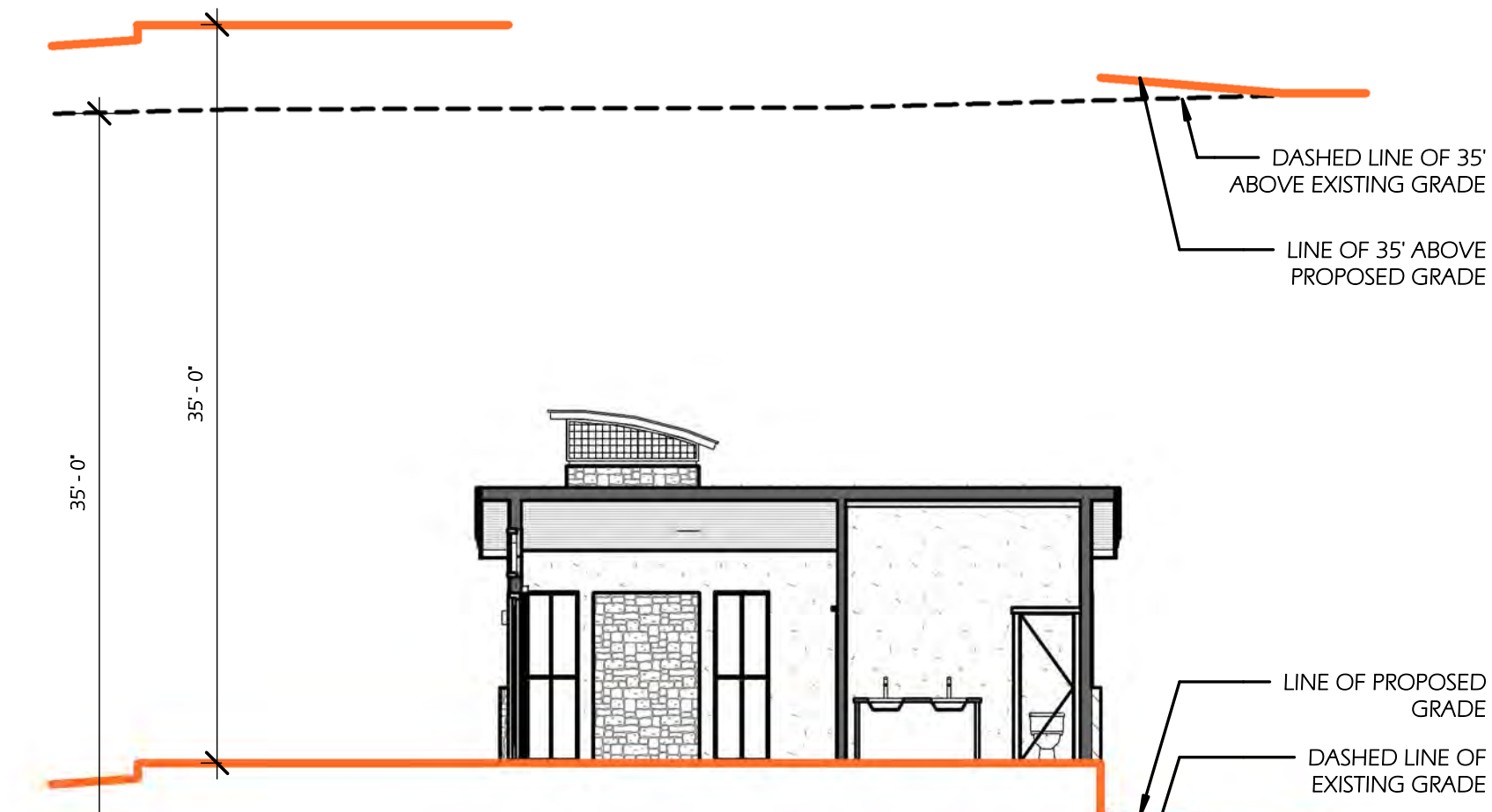
Scale: As indicated



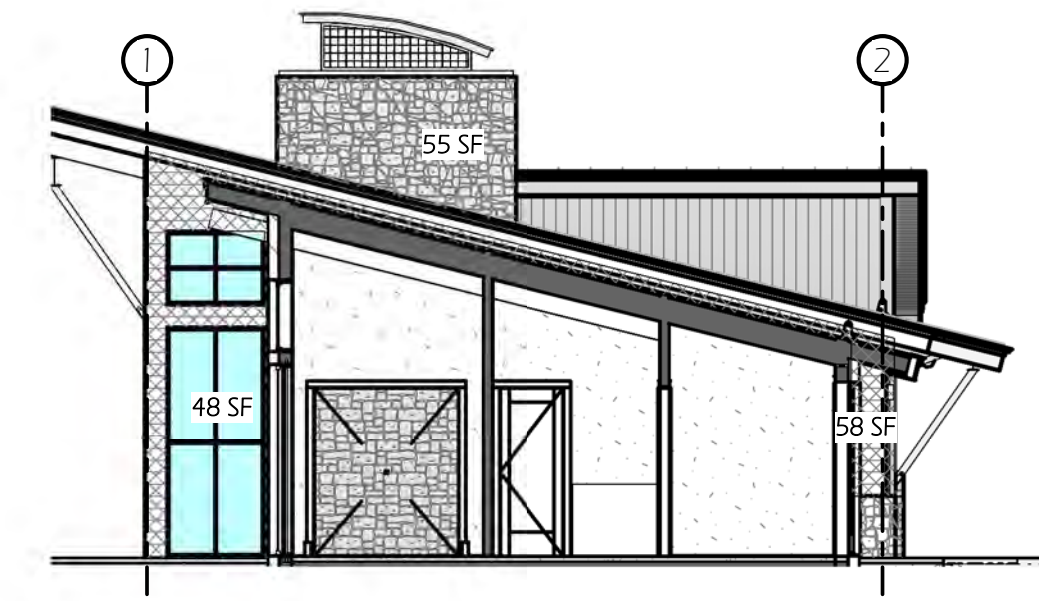
1 Parallel Plane Section 1
1/8" = 1'-0"



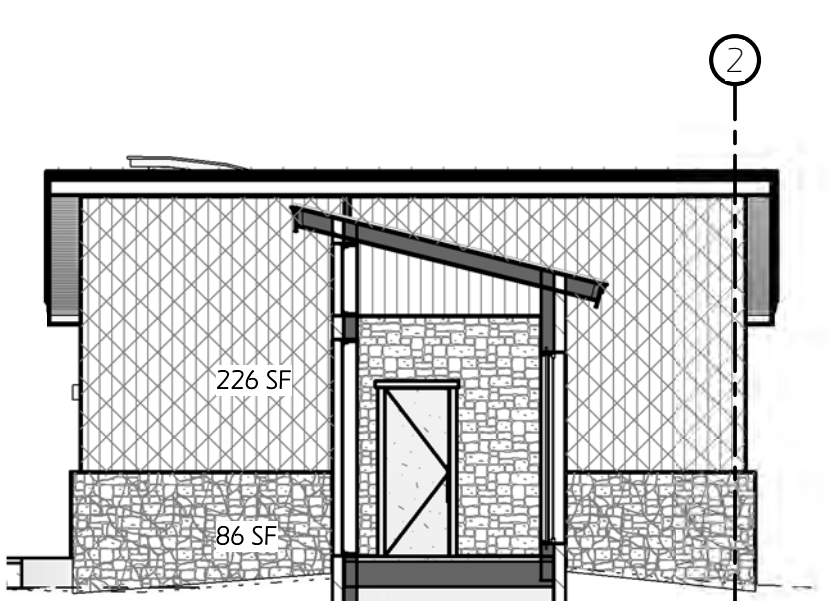
2 Parallel Plane Section 2
1/8" = 1'-0"



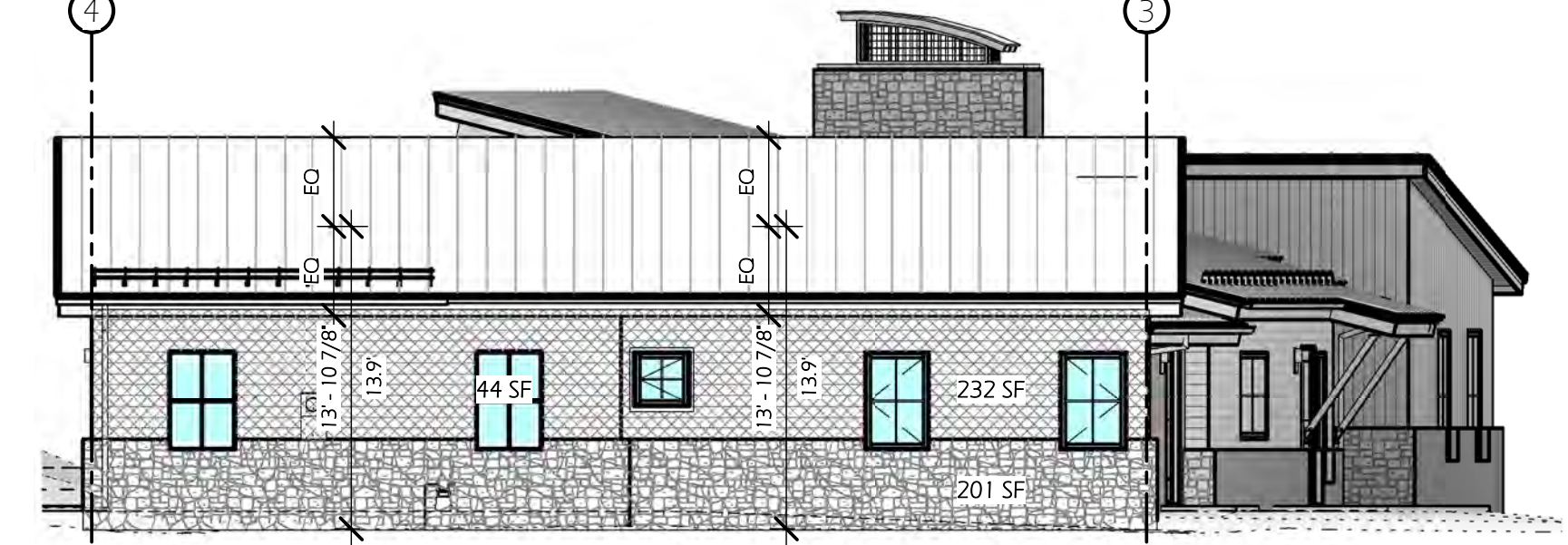
3 Parallel Plane Section 3
1/8" = 1'-0"



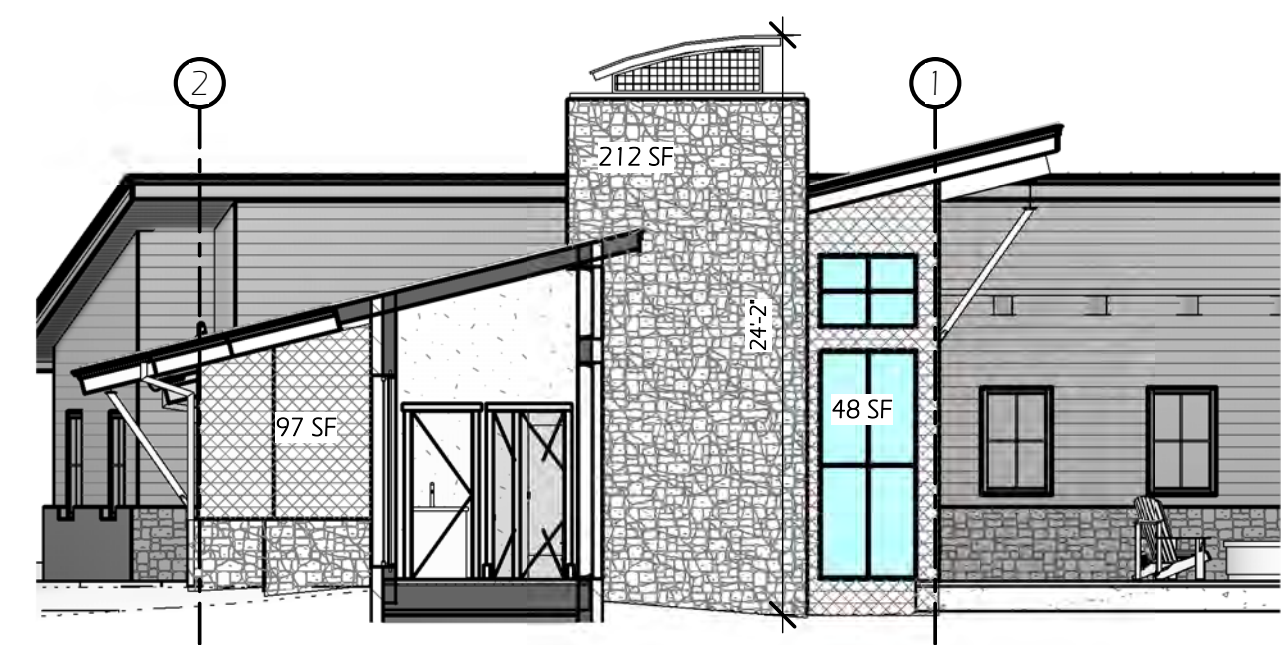
1/8" = 1'-0" 4 Partial West at Living Room



1/8" = 1'-0" 5 Partial West at Master



1/8" = 1'-0" 6 West Elevation



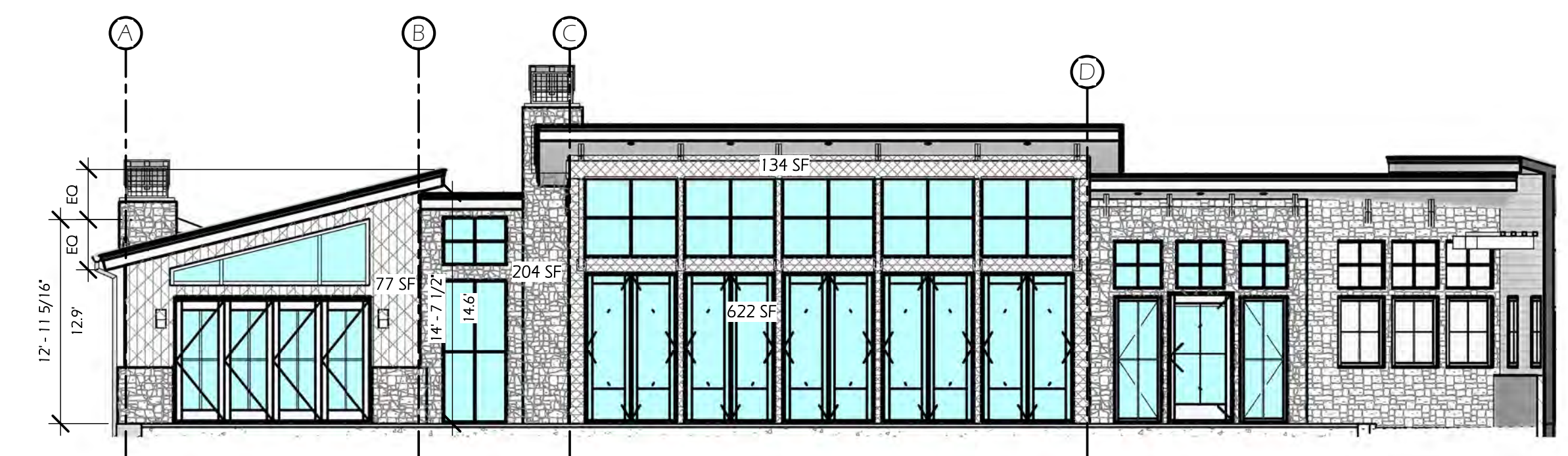
1/8" = 1'-0" 7 Partial East at Living Room



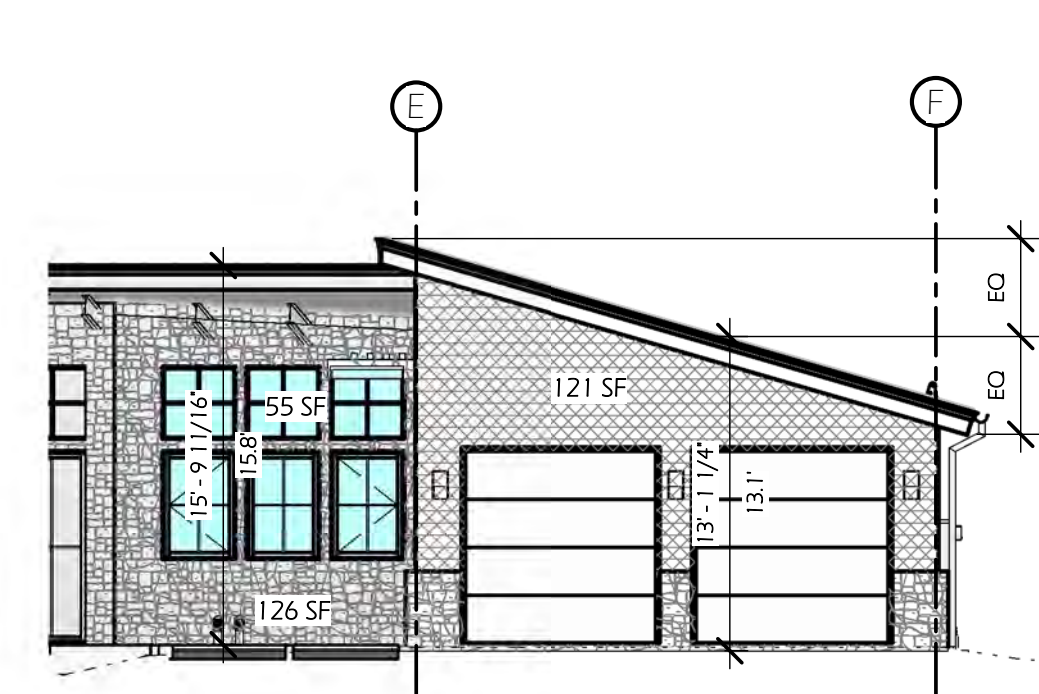
1/8" = 1'-0" 8 East Elevation



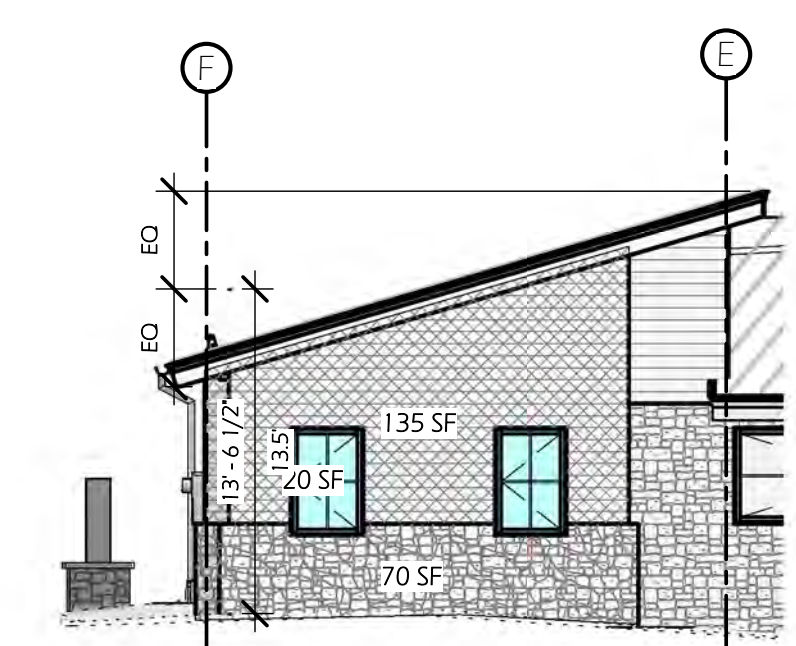
1/8" = 1'-0" 9 Partial East at Garage



1/8" = 1'-0" 10 North Elevation



1/8" = 1'-0" 11 Partial North at Garage Front Elevation



1/8" = 1'-0" 12 South West Elevation



1/8" = 1'-0" 13 South East Elevation

MATERIAL CALCULATIONS
Exterior wall material percentages

Percentage of stone:	36.5%
Percentage of stucco:	0.0%
Percentage of wood:	41.4%
Percentage of accent material:	0.0%
Percentage of fenestration:	22.1%
	100.0%

North Elevation

Total sq. ft. of exterior wall	1,339
Total sq. ft. of stone	204 126 = 330
Total sq. ft. of stucco	= 0
Total sq. ft. of wood	77 134 121 = 332
Total sq. ft. of accent material	= 0
Total sq. ft. of fenestration	622 55 = 677

Total sq. ft. of all exterior walls	4,737
Total sq. ft. of stone	1,727
Total sq. ft. of stucco	=
Total sq. ft. of wood	1,963
Total sq. ft. of accent material	=
Total sq. ft. of fenestration	1,047

East Elevation

Total sq. ft. of exterior wall	1,264
Total sq. ft. of stone	212 192 93 = 497
Total sq. ft. of stucco	= 0
Total sq. ft. of wood	97 157 397 = 651
Total sq. ft. of accent material	= 0
Total sq. ft. of fenestration	48 38 30 = 116

South Elevation

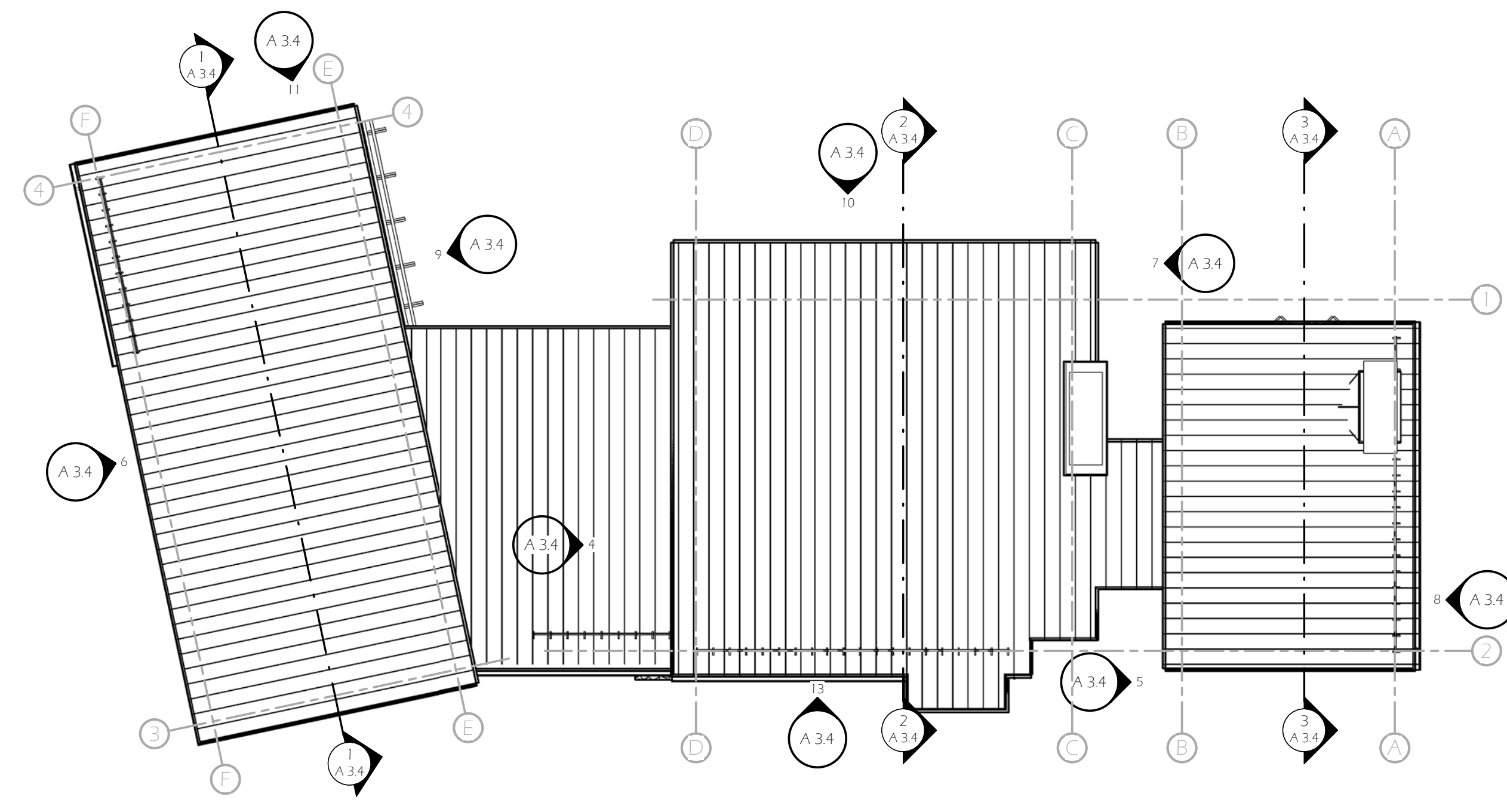
Total sq. ft. of exterior wall	1,184
Total sq. ft. of stone	70 488 = 558
Total sq. ft. of stucco	= 0
Total sq. ft. of wood	135 183 146 = 464
Total sq. ft. of accent material	= 0
Total sq. ft. of fenestration	20 142 = 162

West Elevation

Total sq. ft. of exterior wall	950
Total sq. ft. of stone	55 86 201 = 342
Total sq. ft. of stucco	= 0
Total sq. ft. of wood	58 226 232 = 516
Total sq. ft. of accent material	= 0
Total sq. ft. of fenestration	48 44 = 92

HEIGHT AVERAGE CALCULATIONS

16.4' + 15.2' + 13.0' + 14.8' + 19.2' + 19.2' + 15.0' + 13.1' + 13.9' + 13.9' + 13.5' + 14.1' + 13.2' + 14.2' + 13.4' + 16.1' = 238.2 (238.2 / 16) = 14.9 FT AVERAGE HEIGHT



14 Key Plan
1" = 10'-0"



BLACK CLAD WINDOWS AND DOORS



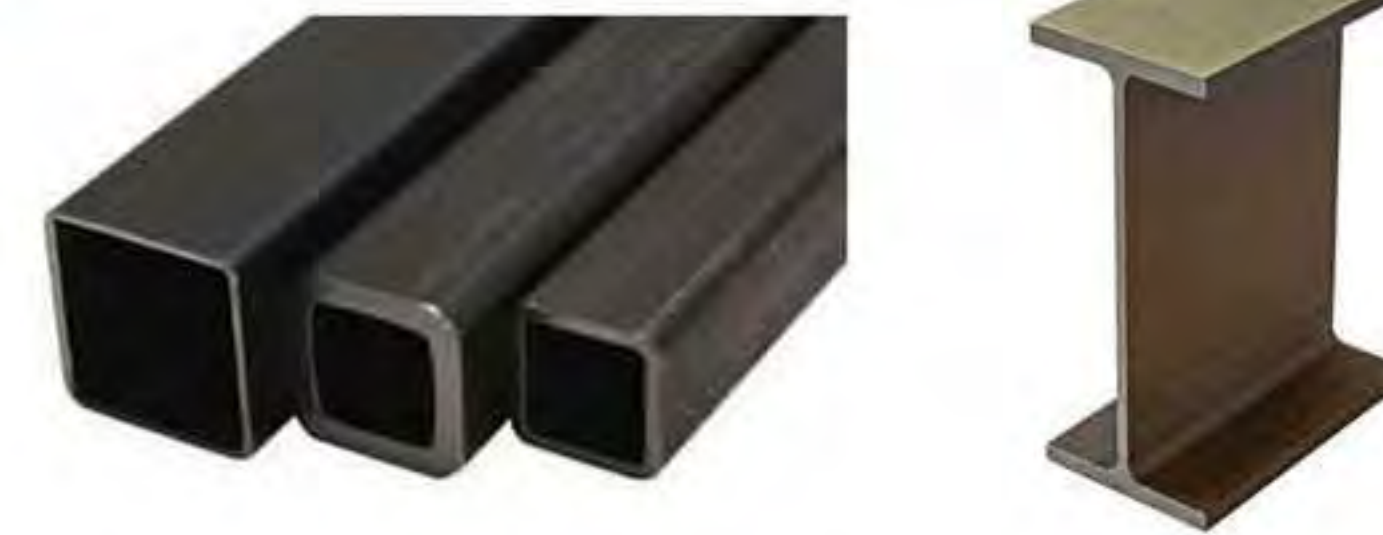
BILTMORE ASHLAR PATTERN STONE



VERTICAL STAINED CEDAR SIDING



FOND DU LAC FLAGSTONE



EXTERIOR EXPOSED STEEL BEAMS AND PURLINS



BLACK METAL PANEL GARAGE DOORS



BONDERIZED STANDING SEAM ROOFING

PROJECT TEAM

PROPERTY OWNER

Alex and Maureen Blum
 116 Farms Road,
 Stamford CT 06903

ARCHITECT

Architect: Dylan Henderson
 Associate Architect: Brian Platley
 701 Anacapa Street
 Santa Barbara, CA 93101
 Office: 805.729.4276
 Cell: 970.708.4795
 e-mail: dylan@saltarchitecture.com

STRUCTURAL ENG.

Colorado Structural Inc.
 Mike Arbaney
 315 Bellevue Ave. Unit F
 P.O. Box 2544 - Crested Butte, CO 81224
 Office: 970-349-5922

MECHANICAL ENG.

Hughes Consulting Eng PA
 220 W. Colorado Ave.
 P.O. Box 688 - Telluride, CO 81435
 Office: 970-239-1949
 Fax: 785-642-2492

SURVEYOR

Foley Associates, Inc.
 125 W. Pacific Ave. Unit B-1
 P.O. Box 1385 - Telluride, CO 81435
 Office: 805-452-9690
 Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath
 (New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
 IRC- Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain
 Village 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	9.21.2021
2	IASR FINAL Review	10/22/2021
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Blum

134 Russell Drive

Exterior Materials

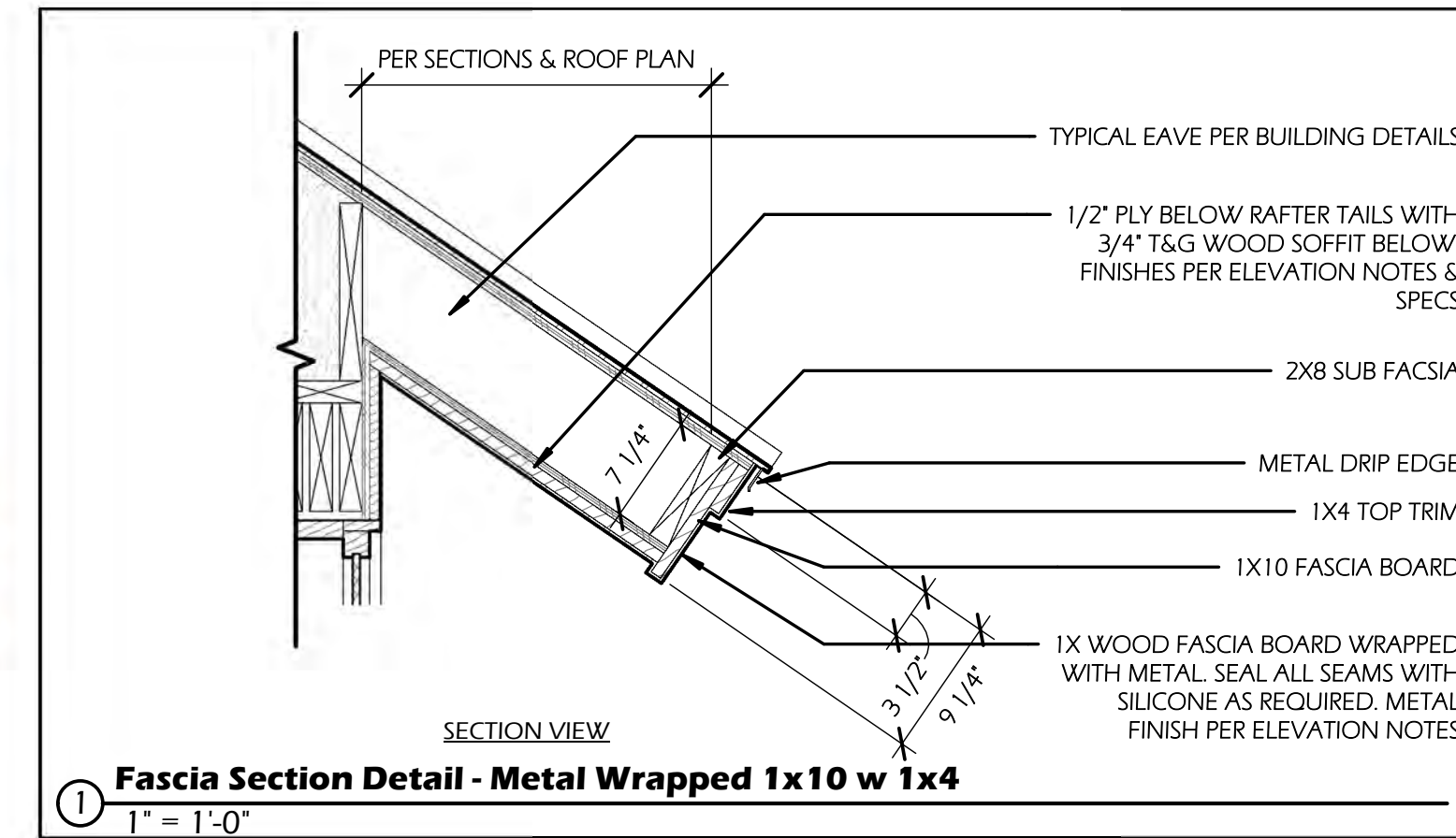
Date:	10/22/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 3.5

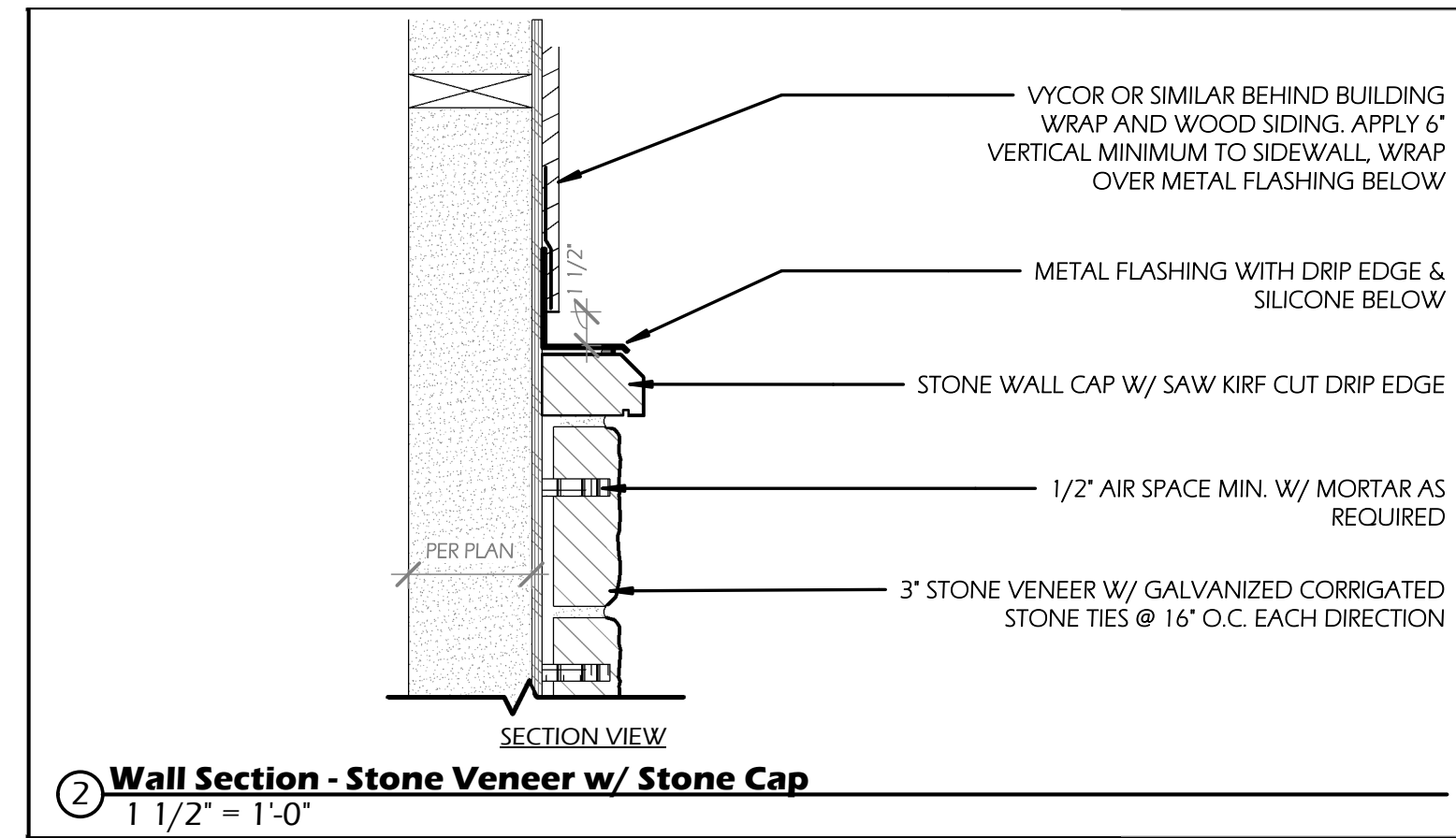
Scale:



PRECEDENT IMAGE FOR METAL FASCIA



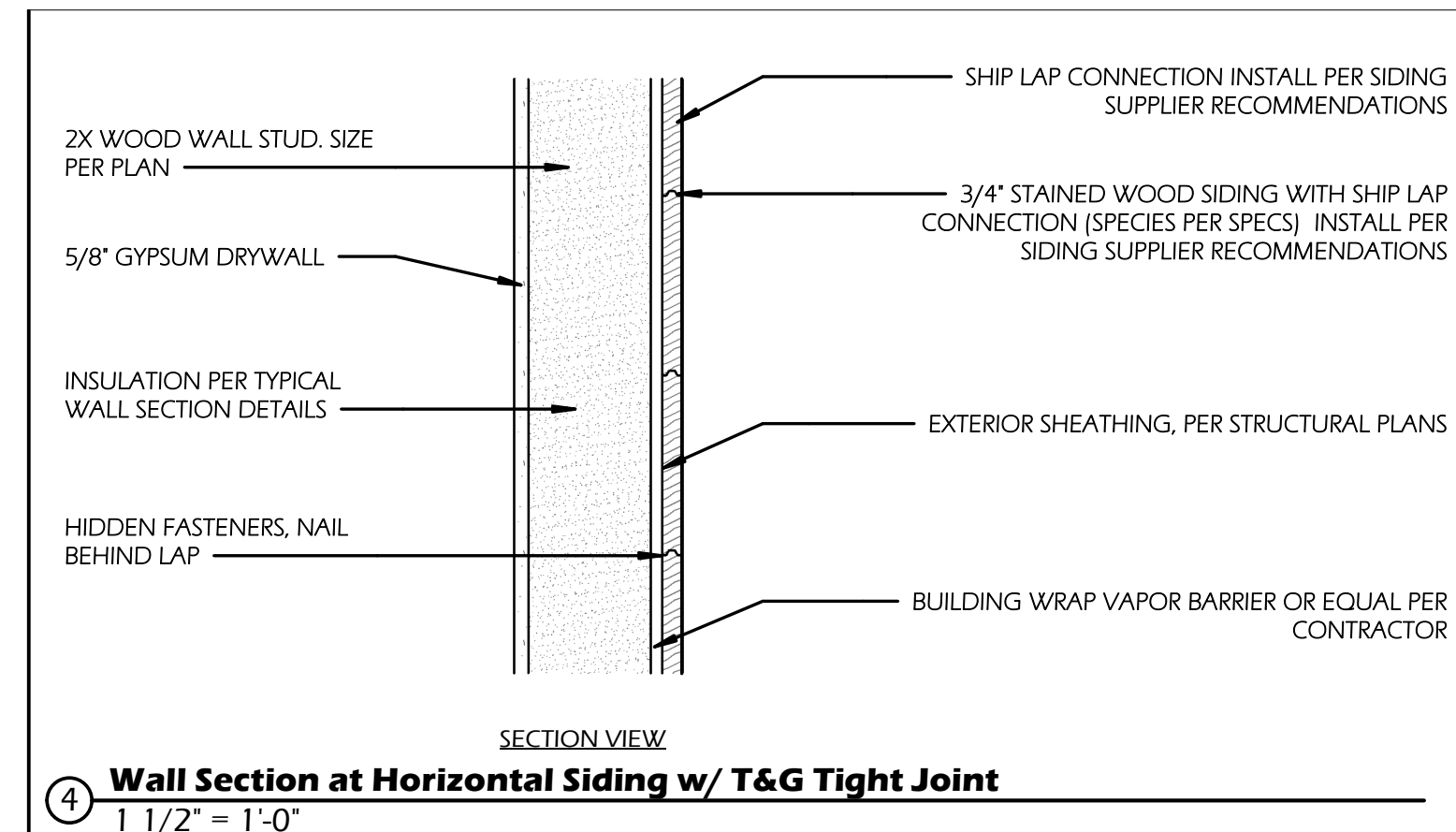
1 Fascia Section Detail - Metal Wrapped 1x10 w 1x4
1" = 1'-0"



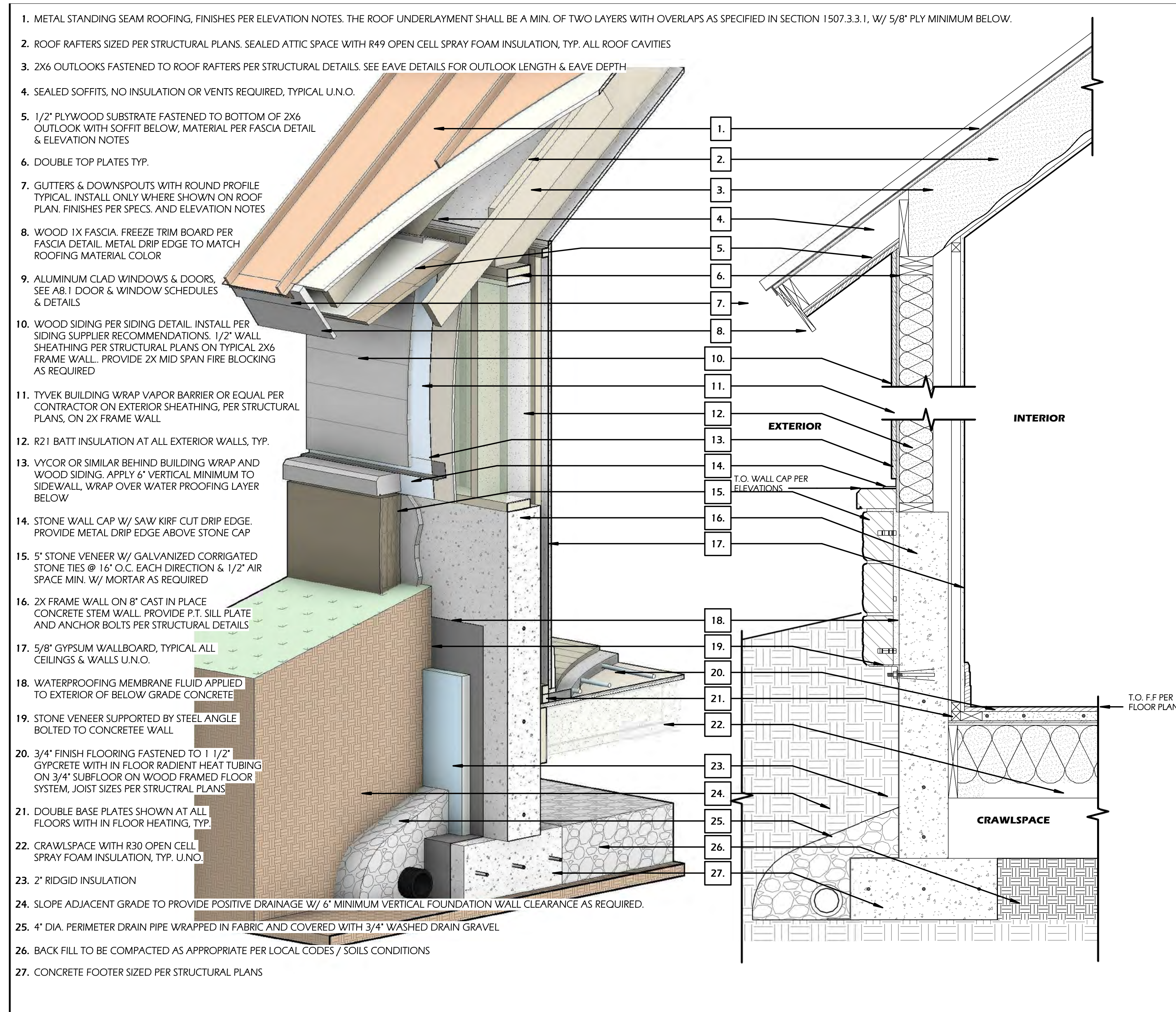
2 Wall Section - Stone Veneer w/ Stone Cap
1 1/2" = 1'-0"



THERMORY SIDING_ ASH CLADDING 1X6 COLOR BROWN



4 Wall Section at Horizontal Siding w/ T&G Tight Joint
1 1/2" = 1'-0"



3 Typical Details - 1" Scale CO - Dependent 3
1" = 1'-0"

PROJECT TEAM

PROPERTY OWNER

Alex and Maureen Blum
116 Farms Road,
Stamford CT 06903

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Platley
301 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

STRUCTURAL ENG.

Colorado Structural Inc.
Mike Arbaney
315 Bellevue Ave. Unit F
P.O. Box 2544 - Crested butte, CO 81224
Office: 970-349-5922

MECHANICAL ENG.

Hughes Consulting Eng PA
220 W. Colorado Ave.
P.O. Box 688 - Telluride, CO 81435
Office: 970-239-1949
Fax: 785-642-2992

SURVEYOR

Foley Associates, Inc.
125 W. Pacific Ave. Unit B-1
P.O. Box 1385 - Telluride, CO 81435
Office: 805-452-6690
Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath
(New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC- Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain
Village 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	9/21/2021
2	IASR FINAL Review	10/22/2021
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Blum

134 Russell Drive

Building Details

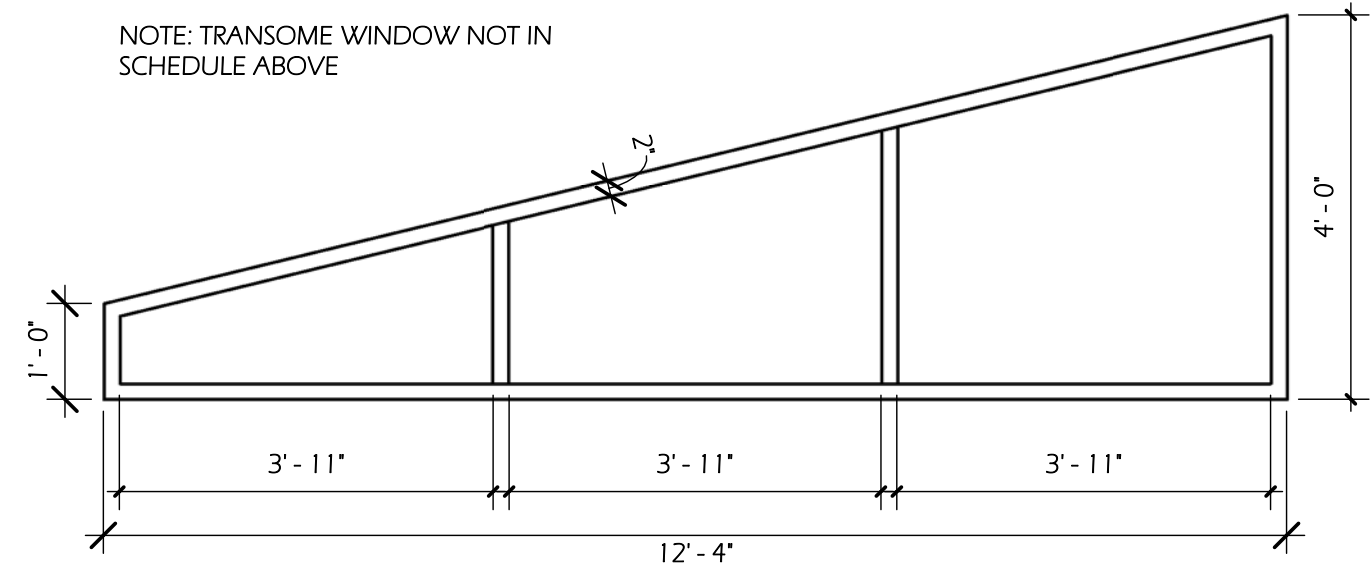
Date:	10/22/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 6.1

Scale: As indicated

Window Schedule - New Proposed

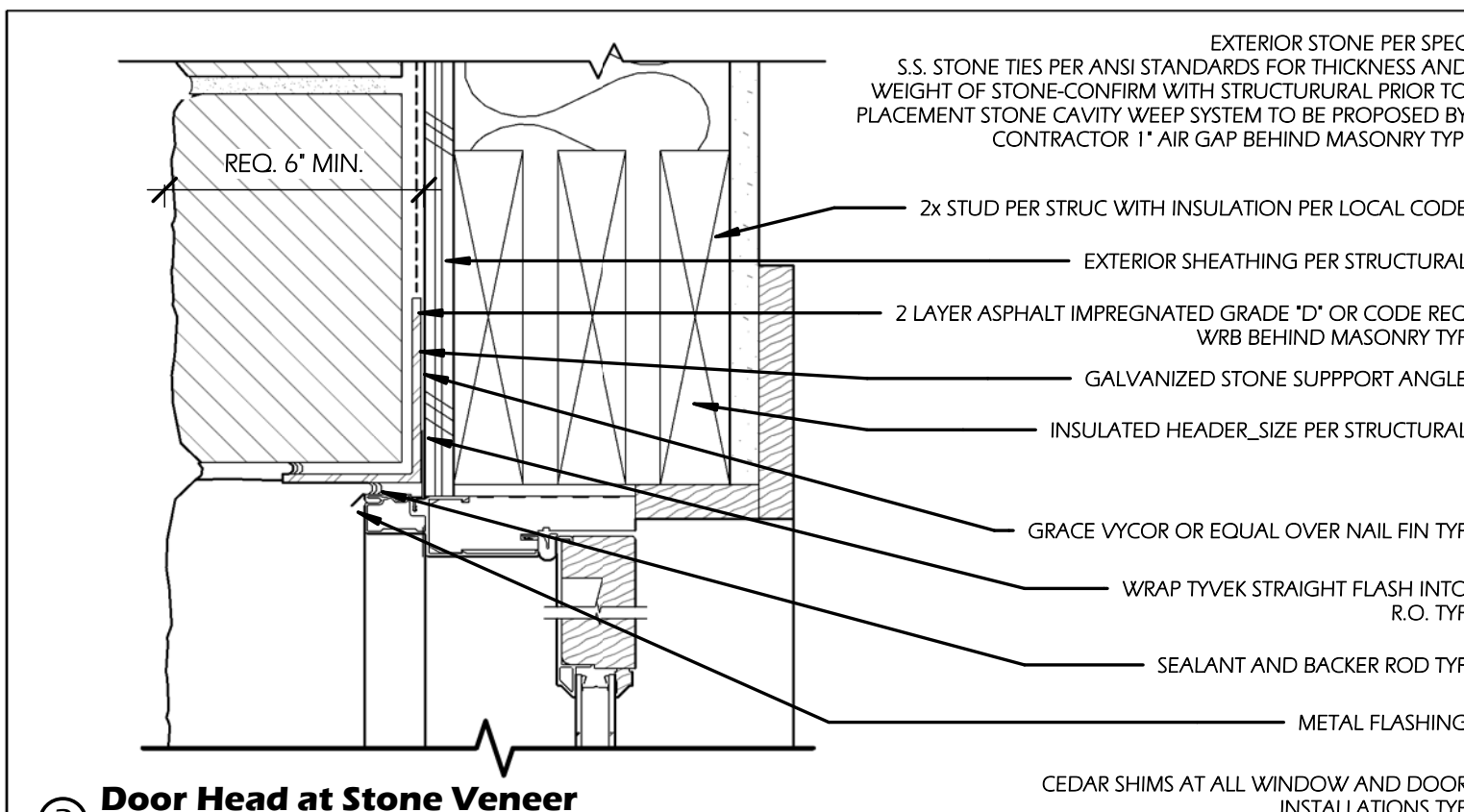
ID Mark	Level	Width	Height	Head Height	Sill Height	Type Comments	Operation	U-Factor	SHGC
A1	Level 1	2'-0"	3'-0"	7'-0"	4'-0"	Casement - 1 Wide	Casement		
B1	Level 1	2'-0"	6'-0"	7'-0"	1'-0"	Casement - 1 Wide	Casement		
C1	Level 1	2'-6"	2'-6"	7'-0"	4'-6"	Casement - 1 Wide	Casement		
D1	Level 1	2'-6"	8'-0"	8'-0"	0"	Fixed - 1 Wide	Fixed		
D2	Level 1	2'-6"	8'-0"	8'-0"	0"	Fixed - 1 Wide	Fixed		
E1	Level 1	3'-0"	3'-0"	11'-6"	8'-6"	Fixed - 1 Wide	Fixed		
E2	Level 1	3'-0"	3'-0"	11'-6"	8'-6"	Fixed - 1 Wide	Fixed		
E3	Level 1	3'-0"	3'-0"	11'-6"	8'-6"	Fixed - 1 Wide	Fixed		
E4	Level 1	3'-0"	3'-0"	11'-6"	8'-6"	Fixed - 1 Wide	Fixed		
E5	Level 1	3'-0"	3'-0"	11'-6"	8'-6"	Fixed - 1 Wide	Fixed		
E6	Level 1	3'-0"	3'-0"	11'-6"	8'-6"	Fixed - 1 Wide	Fixed		
F1	Level 1	3'-0"	4'-6"	7'-0"	2'-6"	Fixed - 1 Wide	Fixed		
F2	Level 1	3'-0"	4'-6"	7'-0"	2'-6"	Fixed - 1 Wide	Fixed		
F3	Level 1	3'-0"	4'-6"	7'-0"	2'-6"	Casement - 1 Wide	Casement		
F4	Level 1	3'-0"	4'-6"	7'-0"	2'-6"	Casement - 1 Wide	Casement		
F5	Level 1	3'-0"	4'-6"	7'-0"	2'-6"	Casement - 1 Wide	Casement		
F6	Level 1	3'-0"	4'-6"	7'-0"	2'-6"	Casement - 1 Wide	Casement		
F7	Level 1	3'-0"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement		
F8	Level 1	3'-0"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement		
F9	Level 1	3'-0"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement		
F10	Level 1	3'-0"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement		
F11	Level 1	3'-0"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement		
F12	Level 1	3'-0"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement		
G1	Level 1	3'-0"	6'-0"	8'-0"	2'-0"	Casement - 1 Wide	Casement		
G2	Level 1	3'-0"	6'-0"	8'-0"	2'-0"	Casement - 1 Wide	Casement		
H1	Level 1	3'-0"	8'-0"	8'-0"	0"	Casement - 1 Wide	Casement		
H2	Level 1	3'-0"	8'-0"	8'-0"	0"	Casement - 1 Wide	Casement		
I1	Level 1	4'-0"	3'-0"	13'-6"	10'-6"	Fixed - 1 Wide	Fixed		
I2	Level 1	4'-0"	3'-0"	13'-0"	10'-0"	Fixed - 1 Wide	Fixed		
I3	Level 1	4'-0"	3'-0"	13'-6"	10'-6"	Fixed - 1 Wide	Fixed		
J1	Level 1	4'-0"	9'-0"	9'-0"	0"	Fixed - 1 Wide	Fixed		
K1	Level 1	4'-0"	9'-6"	9'-6"	0"	Fixed - 1 Wide	Fixed		
K2	Level 1	4'-0"	9'-6"	9'-6"	0"	Fixed - 1 Wide	Fixed		
L1	Level 1	5'-10"	5'-0"	15'-6"	10'-6"	Fixed - 1 Wide	Fixed		
L2	Level 1	5'-10"	5'-0"	15'-6"	10'-6"	Fixed - 1 Wide	Fixed		
L3	Level 1	5'-10"	5'-0"	15'-6"	10'-6"	Fixed - 1 Wide	Fixed		
L4	Level 1	5'-10"	5'-0"	15'-6"	10'-6"	Fixed - 1 Wide	Fixed		
L5	Level 1	5'-10"	5'-0"	15'-6"	10'-6"	Fixed - 1 Wide	Fixed		
M1	Level 1	6'-0"	4'-0"	7'-0"	3'-0"	Casement - 1 Wide	Casement		
M2	Level 1	6'-0"	4'-0"	7'-0"	3'-0"	Casement - 1 Wide	Casement		
N1	Level 1	6'-0"	8'-0"	8'-6"	6"	Casement - 1 Wide	Casement		



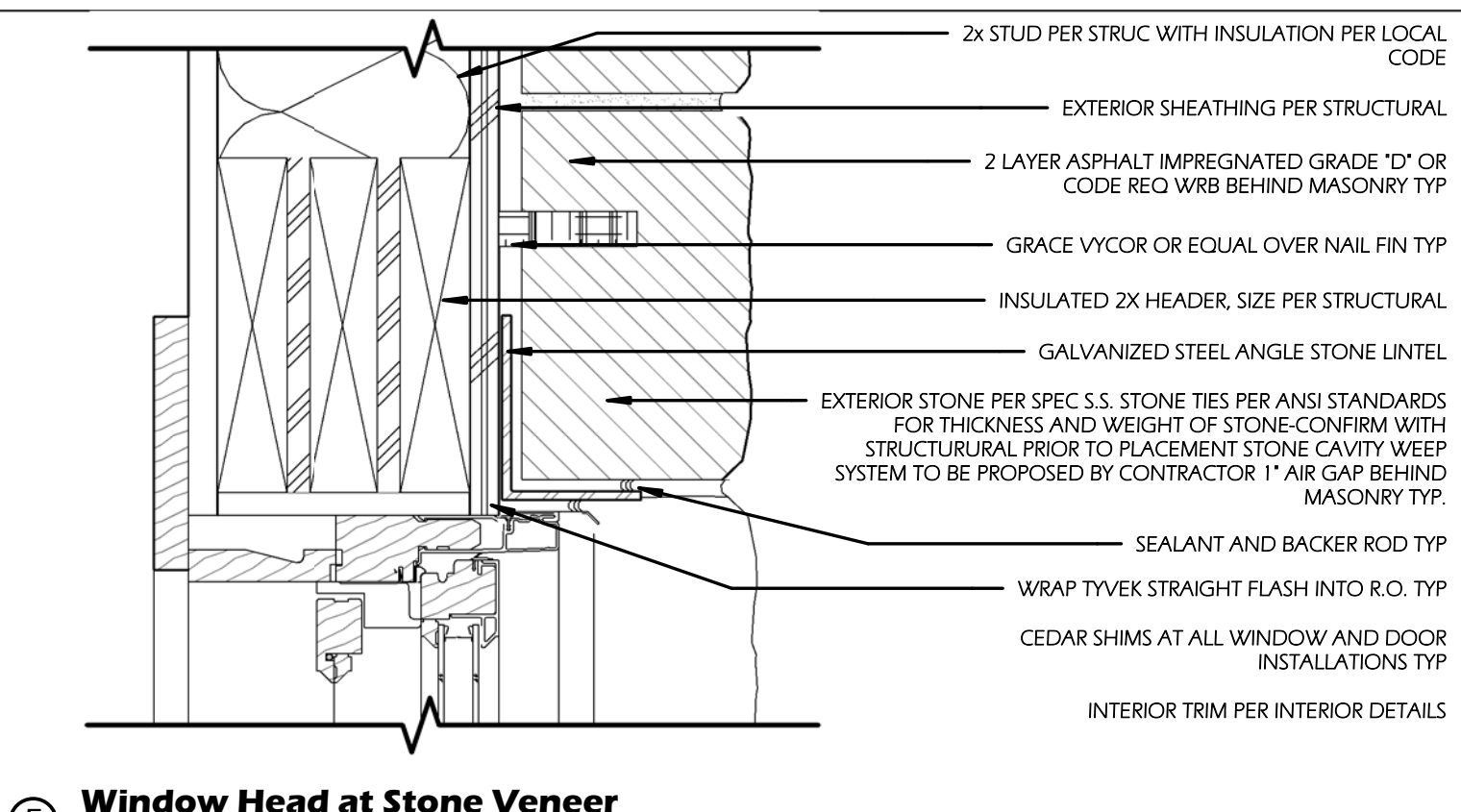
1 Transom Window
1/2" = 1'-0"

Door Schedule - New Proposed

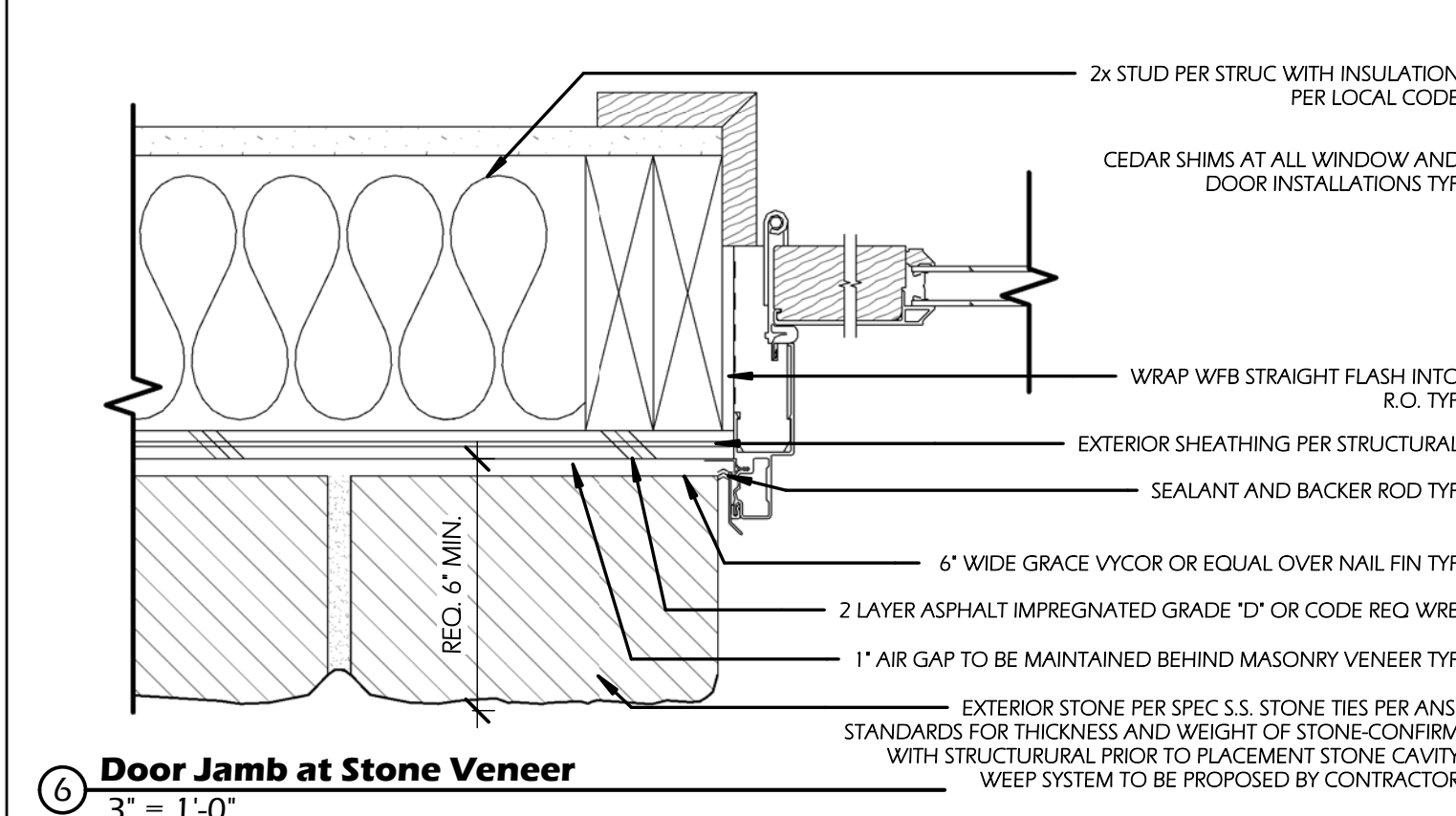
ID Mark	Level	Height	Width	Head Height	Sill Height	Operation	Type Comments	U-Factor	SHGC
100	Level 1	8'-0"	8'-0"	8'-0"	0"	Overhead Track	Garage Door		
101	Level 1	8'-0"	8'-0"	8'-0"	0"	Overhead Track	Garage Door		
102	Level 1	8'-0"	4'-0"	8'-0"	0"	Inswing Single French	Exterior Aluminum Clad Full Lite Panel		
103	Level 1	8'-0"	12'-6"	8'-0"	0"	Fold N Stack	6 Panel Fold N Stack w Single Operable Panel		
104	Level 1	7'-0"	3'-0"	7'-0"	0"	Open - No Panel	Cased Opening		
105	Level 1	7'-0"	2'-8"	7'-0"	0"	Single French - Swing Per Plan	Typical Interior Flush Panel		
106	Level 1	7'-0"	2'-6"	7'-0"	0"	Single French - Swing Per Plan	Typical Interior Flush Panel		
107	Level 1	7'-0"	3'-0"	7'-0"	0"	Outswing - See Plan	Glass Single Panel at Curbless Shower		
108	Level 1	7'-0"	3'-0"	7'-0"	0"	Barn Door	Barn Door		
109	Level 1	7'-0"	2'-8"	7'-0"	0"	Single French - Swing Per Plan	Typical Interior Flush Panel		
110	Level 1	7'-0"	2'-6"	7'-0"	0"	Single French - Swing Per Plan	Typical Interior Flush Panel		
111	Level 1	7'-0"	2'-8"	7'-0"	0"	Single French - Swing Per Plan	Typical Interior 3 Panel		
112	Level 1	7'-0"	2'-8"	7'-0"	0"	Single French - Swing Per Plan	Typical Interior 3 Panel		
113	Level 1	7'-0"	3'-0"	7'-0"	0"	Inswing Single French	Exterior Aluminum Clad Full Lite Panel		
114	Level 1	7'-0"	6'-0"	7'-0"	0"	Open - No Panel	Cased Opening		
115	Level 1	7'-0"	2'-8"	7'-0"	0"	Single French - Swing Per Plan	Typical Interior Flush Panel		
116	Level 1	7'-0"	3'-0"	7'-0"	0"	Open - No Panel	Cased Opening		
117	Level 1	7'-0"	2'-6"	7'-0"	0"	Single French - Swing Per Plan	Typical Interior Flush Panel		
118	Level 1	7'-0"	3'-0"	7'-0"	0"	Inswing Single French	Exterior Aluminum Clad Full Lite Panel		
119	Level 1	7'-0"	2'-8"	7'-0"	0"	Single French - Swing Per Plan	Typical Interior 3 Panel		
120	Level 1	7'-0"	2'-6"	7'-0"	0"	Pocket Slider - See Plan	Typical Interior Flush Panel		
121	Level 1	7'-0"	2'-8"	7'-0"	0"	Single French - Swing Per Plan	Typical Interior 3 Panel		
122	Level 1	7'-0"	2'-6"	7'-0"	0"	Pocket Slider - See Plan	Typical Interior Flush Panel		
123	Level 1	7'-0"	2'-6"	7'-0"	0"	Pocket Slider - See Plan	Typical Interior Flush Panel		
124	Level 1	7'-0"	3'-0"	7'-0"	0"	Outswing - See Plan	Glass Single Panel at 4' Curb		
125	Level 1	7'-0"	3'-0"	7'-0"	0"	Outswing - See Plan	Glass Single Panel at 4' Curb		
126	Level 1	7'-0"	2'-8"	7'-0"	0"	Single French - Swing Per Plan	Typical Interior 3 Panel		
127	Level 1	7'-0"	2'-8"	7'-0"	0"	Single French - Swing Per Plan	Typical Interior 3 Panel		
128	Level 1	9'-6"	5'-10"	9'-6"	0"	Outswing - French	Exterior Double Panel		
129	Level 1	9'-6"	5'-10"	9'-6"	0"	Outswing - French	Exterior Double Panel		
130	Level 1	9'-6"	5'-10"	9'-6"	0"	Outswing - French	Exterior Double Panel		
131	Level 1	9'-6"	5'-10"	9'-6"	0"	Outswing - French	Exterior Double Panel		
132	Level 1	9'-6"	5'-10"	9'-6"	0"	Outswing - French	Exterior Double Panel		



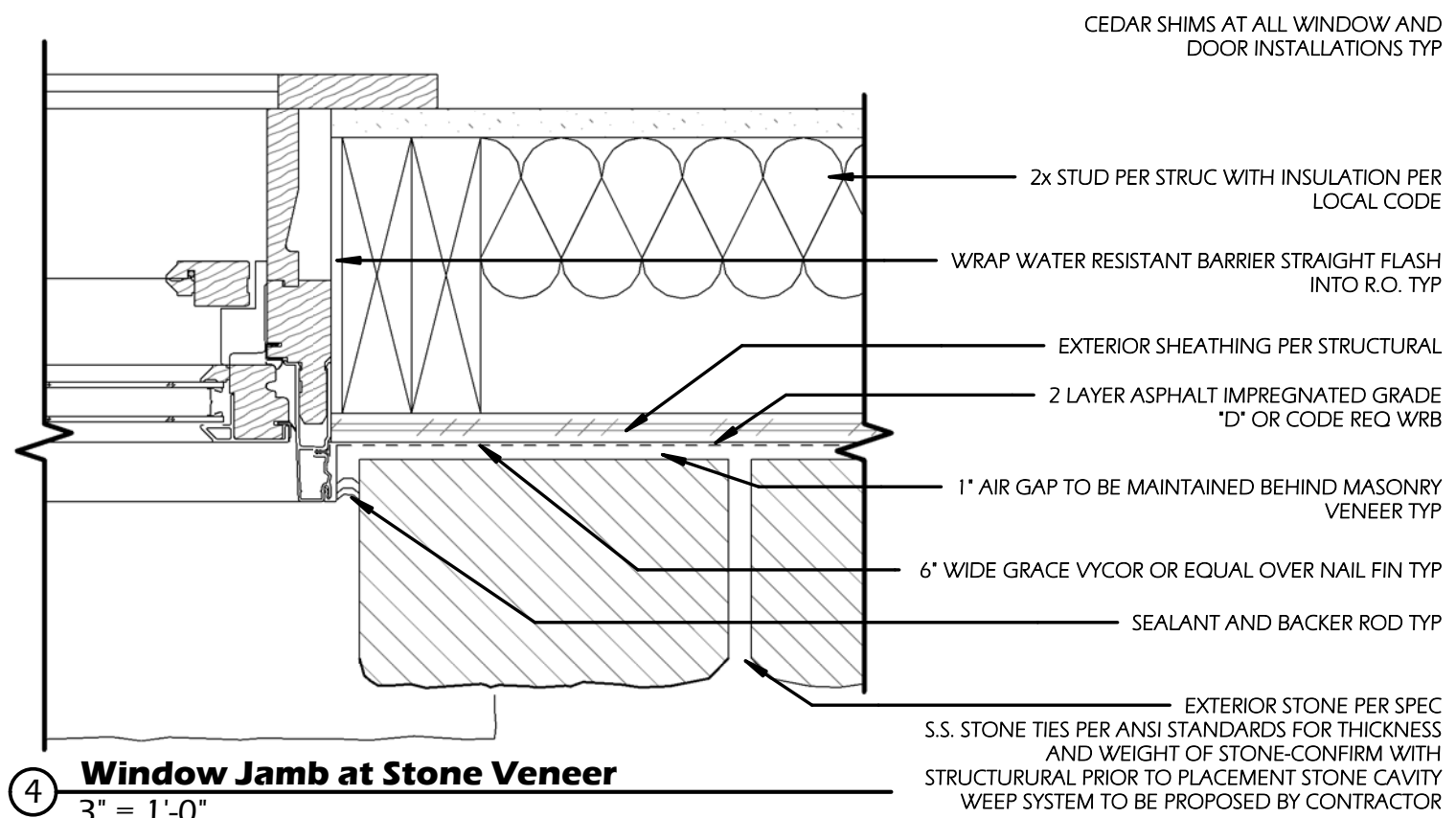
2 Door Head at Stone Veneer
3' = 1'-0"



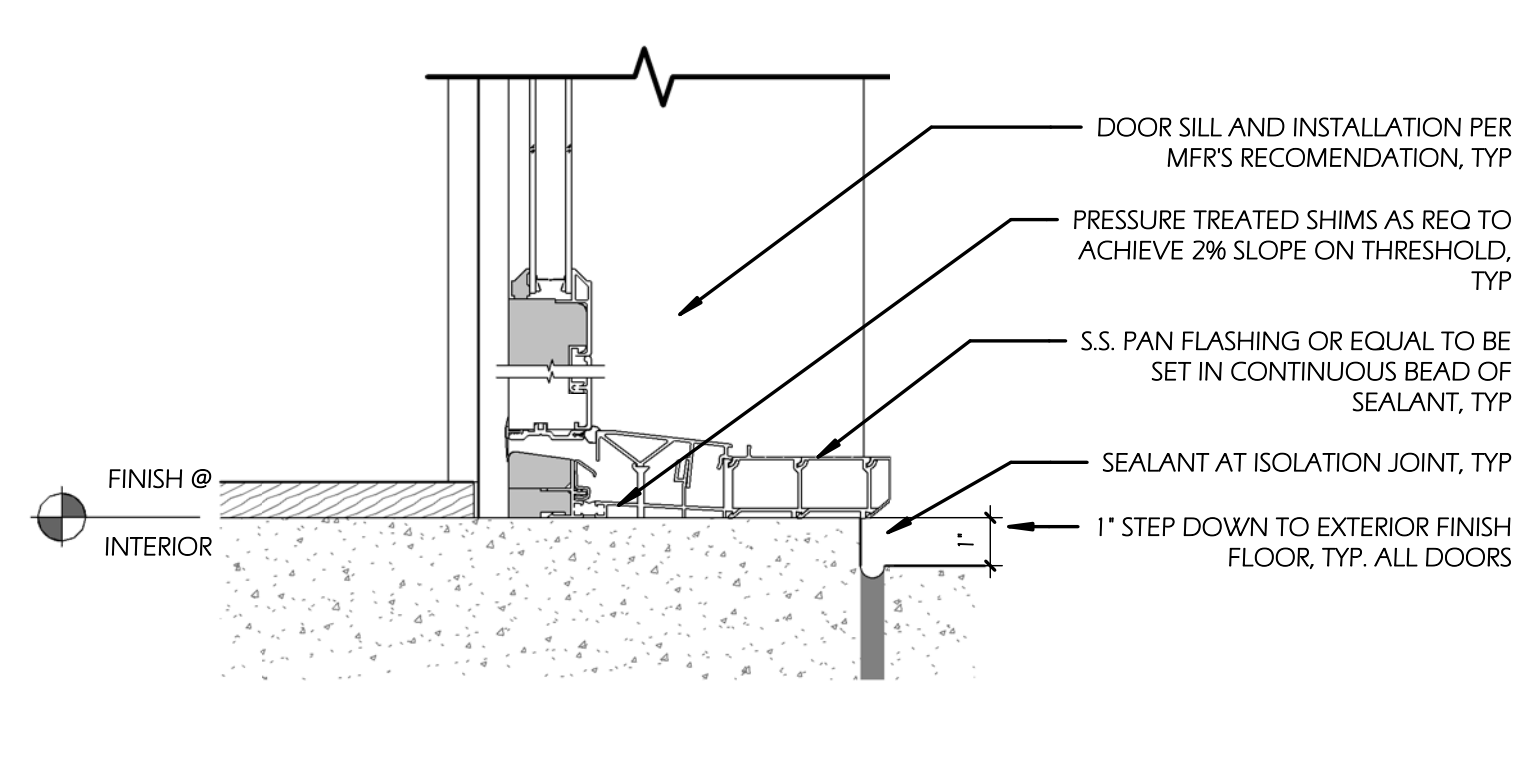
5 Window Head at Stone Veneer
3' = 1'-0"



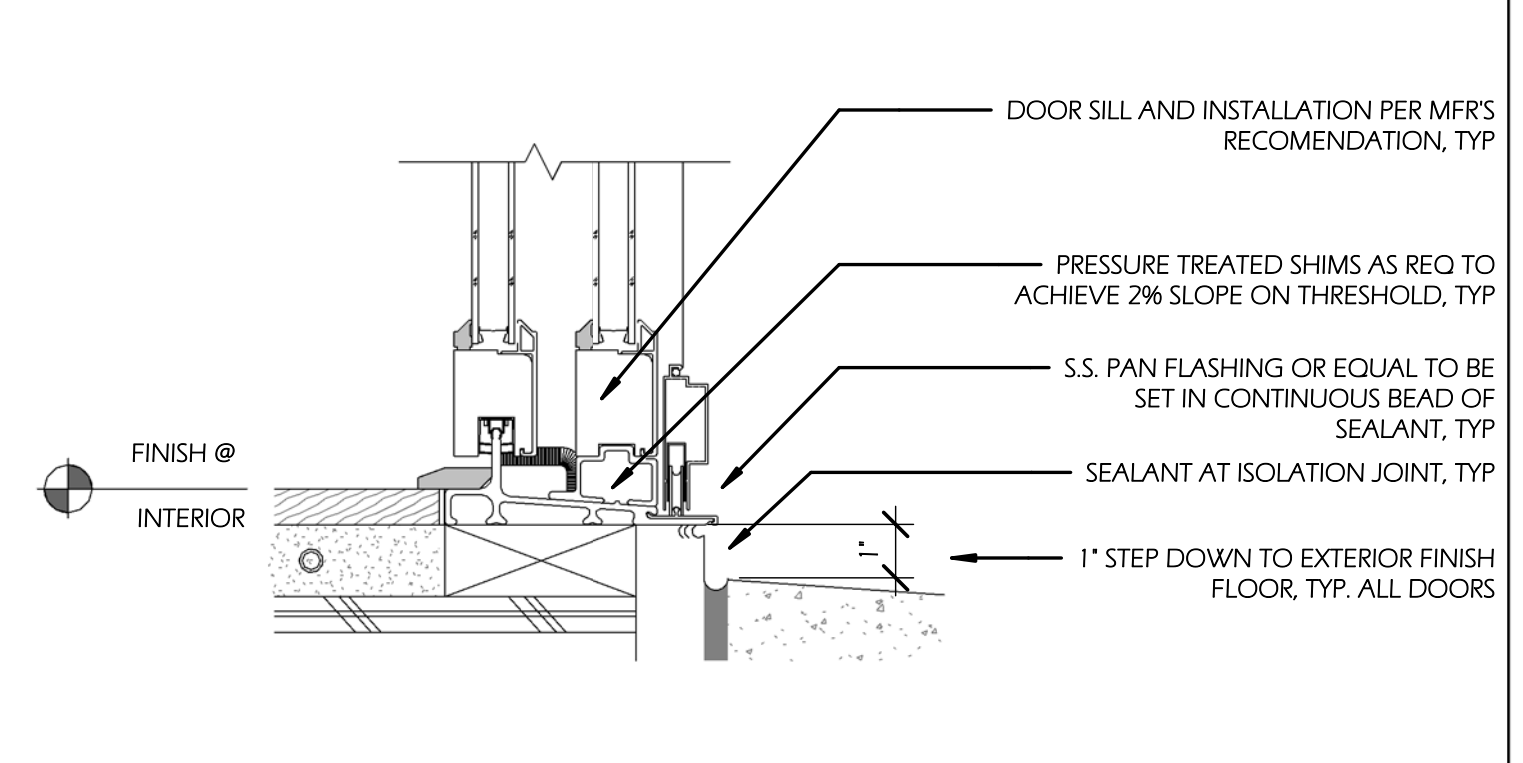
6 Door Jamb at Stone Veneer
3' = 1'-0"



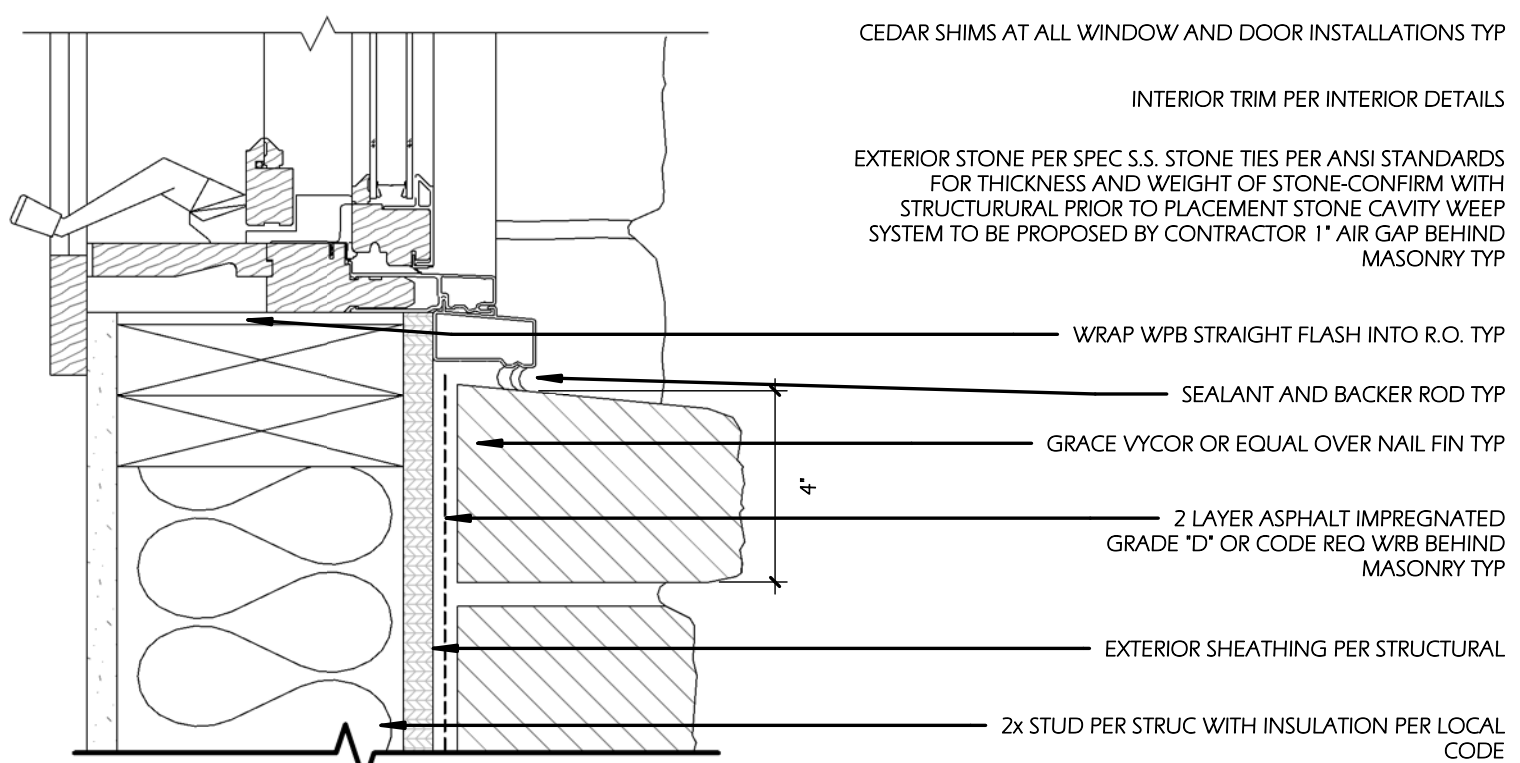
4 Window Jamb at Stone Veneer
3' = 1'-0"



7 Door Sill At Concrete Slab
3' = 1'-0"



8 Door Sill At Wood Floor w/ Radiant Heat
3' = 1'-0"



3 Window Sill at Stone Veneer
3' = 1'-0"



SALT ARCHITECTURE
SANTA BARBARA, CA
805.729.4276

PROJECT TEAM

PROPERTY OWNER

Alex and Maureen Blum
116 Farms Road,
Stamford CT 06903

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Platley
3701 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
email: dylan@saltarchitect.com

STRUCTURAL ENG.

Colorado Structural Inc.
Mike Arbaney
315 Bellevue Ave. Unit F
P.O. Box 2544 - Crested butte, CO 81224
Office: 970-349-5922

MECHANICAL ENG.

Hughes Consulting Eng PA
220 W. Colorado Ave.
P.O. Box 688 - Telluride, CO 81435
Office: 970-239-1949
Fax: 785-642-2492

SURVEYOR

Foley Associates, Inc.
125 W. Pacific Ave. Unit B-1
P.O. Box 1385 - Telluride, CO 81435
Office: 805-452-0690
Fax: 970-728-6050

PROJECT DESCRIPTION

1 Level - 3 Bedroom, 3 Bath + 1 Powder Bath
(New)

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC - Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 515/134 Russell Drive, Town of Mountain
Village 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	9.21.2021
2	IASR FINAL Review	10/22/2021
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Blum

134 Russell Drive
Door & Window
Schedule

Date: 10/22/2021
Drawn by: DH / BF
Checked by: DH / BF

A 8.1

Scale: As indicated

COPYRIGHT 2021 10/26/2021 4:34:23 PM

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

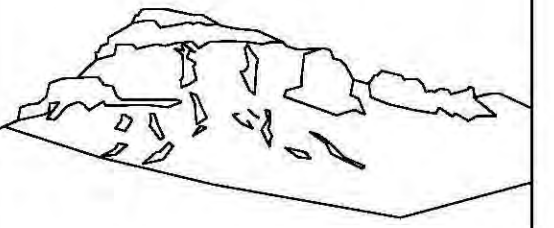
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2021-07-19
Flipped Parking	2021-09-09

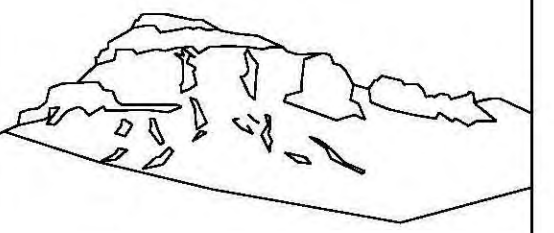
Lot 515
134 Russell Dr.
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



Uncompahgre Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2021-07-19
Flipped Parking 2021-09-09

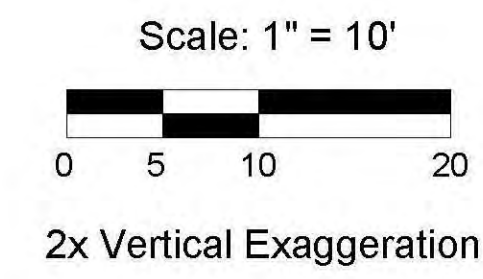
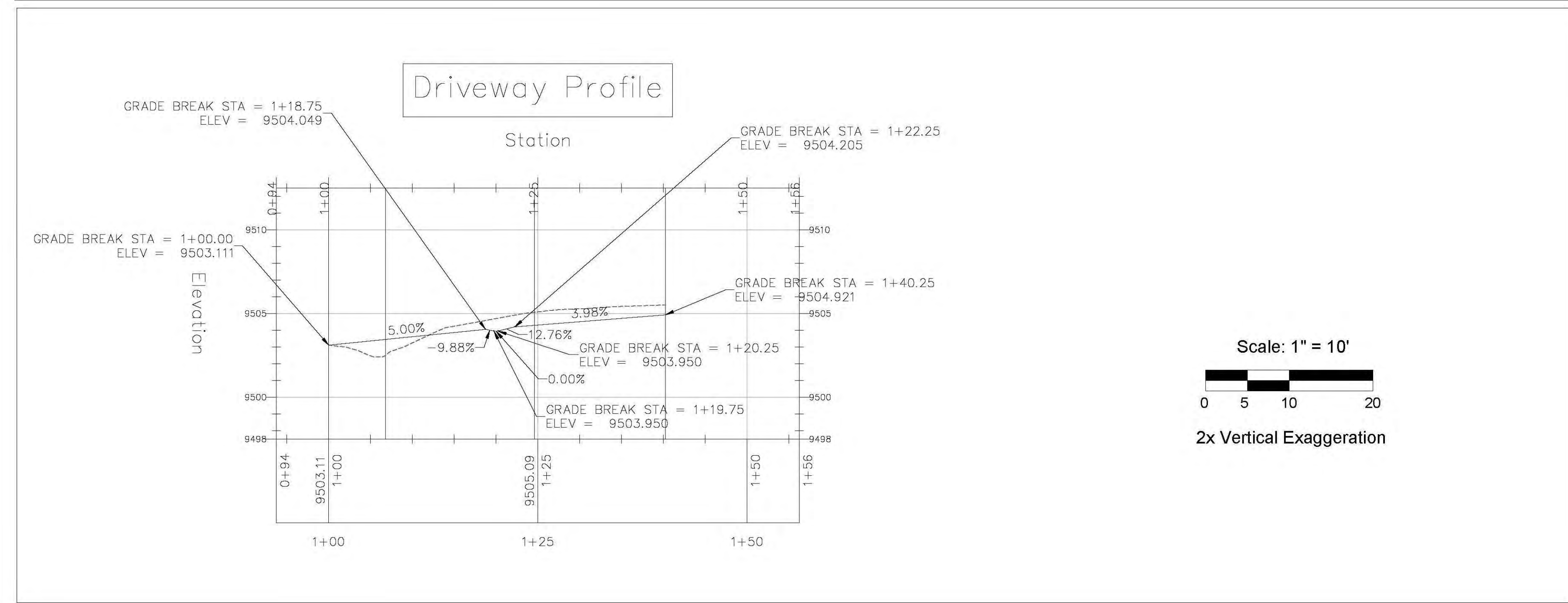
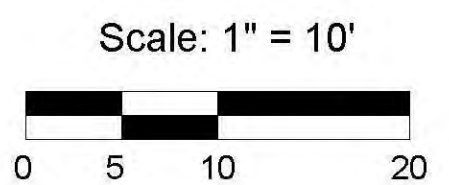
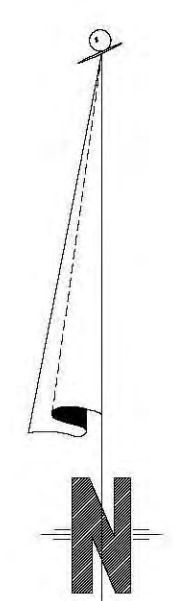
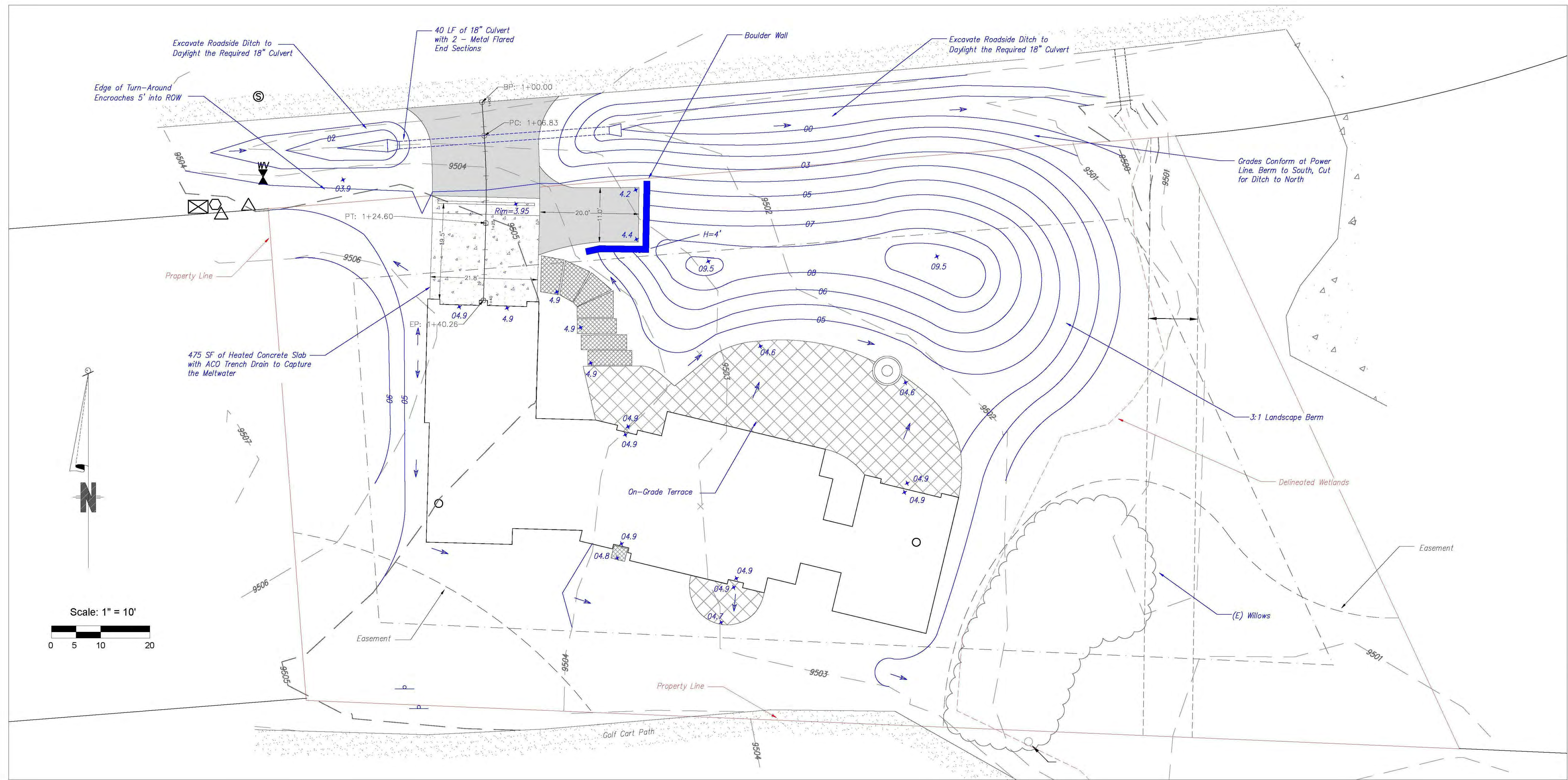
Lot 515
134 Russell Dr.
Mtn. Village, CO

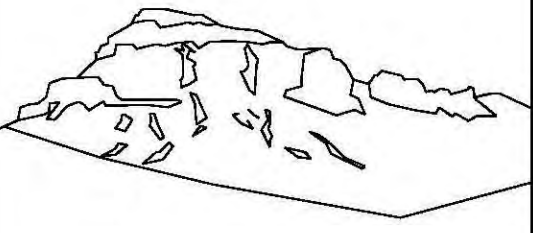


CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Civil
Site Grading
with
Driveway
Profile

C2





Uncompahgre Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2021-07-19
Flipped Parking	2021-09-09
IASR Comments	2021-10-22

Lot 515
134 Russell Dr.
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

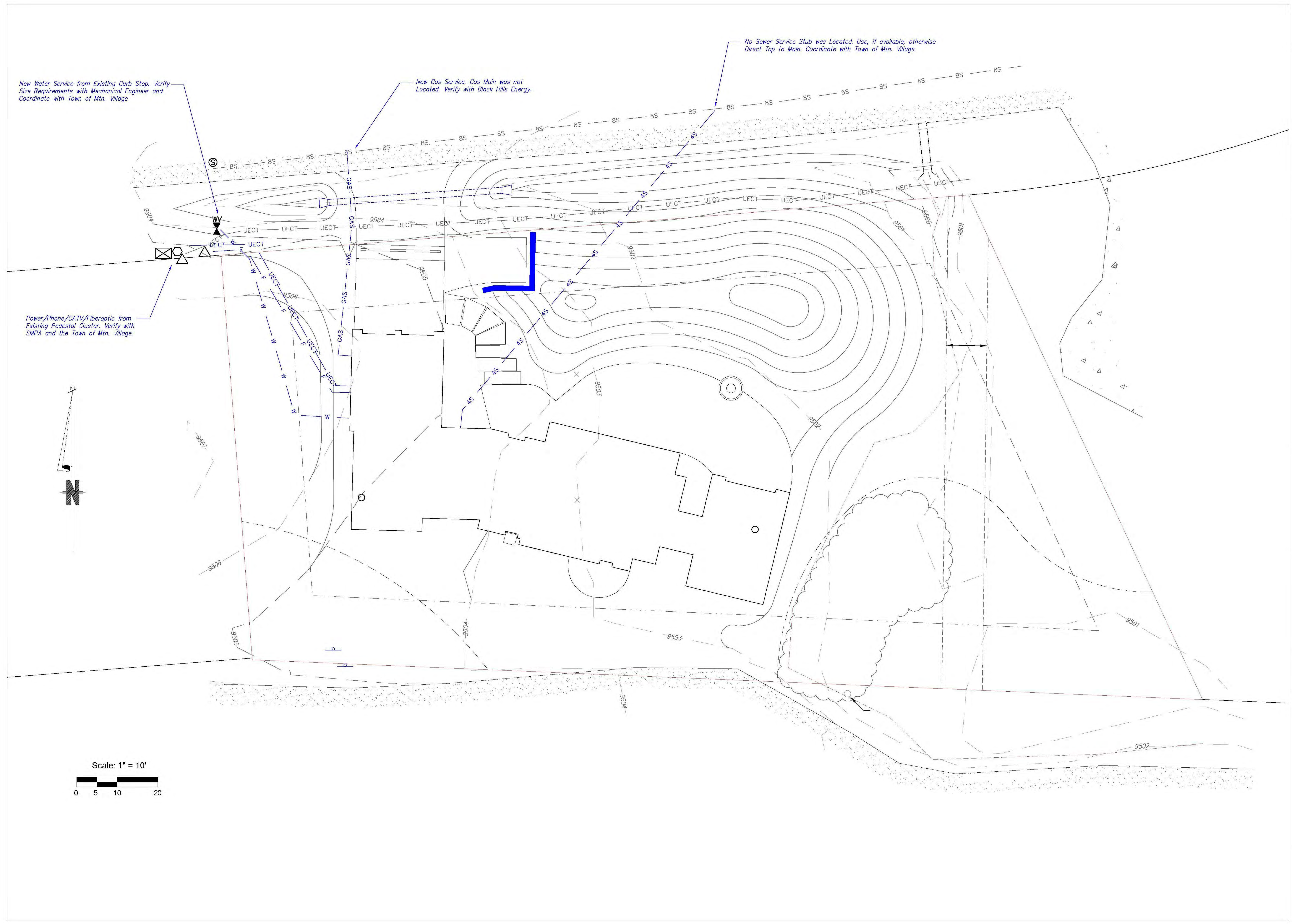
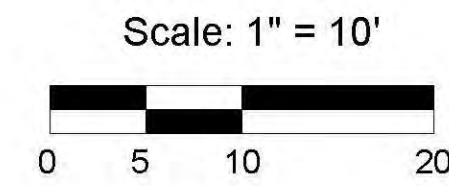
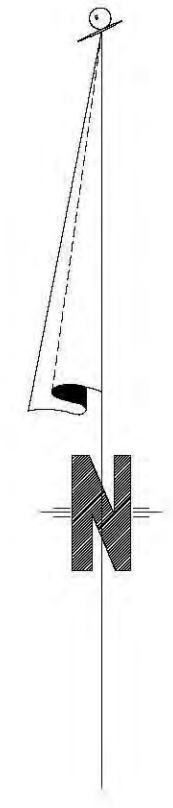
C3

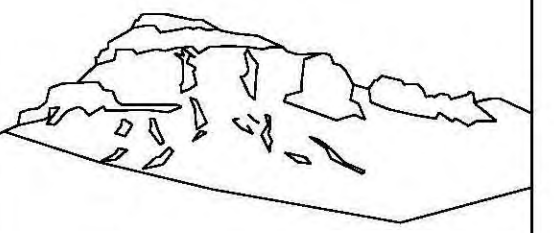
New Water Service from Existing Curb Stop. Verify Size Requirements with Mechanical Engineer and Coordinate with Town of Mtn. Village.

New Gas Service. Gas Main was not Located. Verify with Black Hills Energy.

No Sewer Service Stub was Located. Use, if available, otherwise Direct Tap to Main. Coordinate with Town of Mtn. Village.

Power/Phone/CATV/Fiberptic from Existing Pedestal Cluster. Verify with SMPA and the Town of Mtn. Village.





Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2021-07-19
Flipped Parking	2021-09-09
IASR Comments	2021-10-22

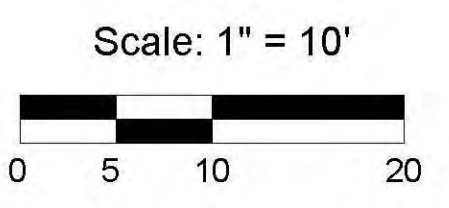
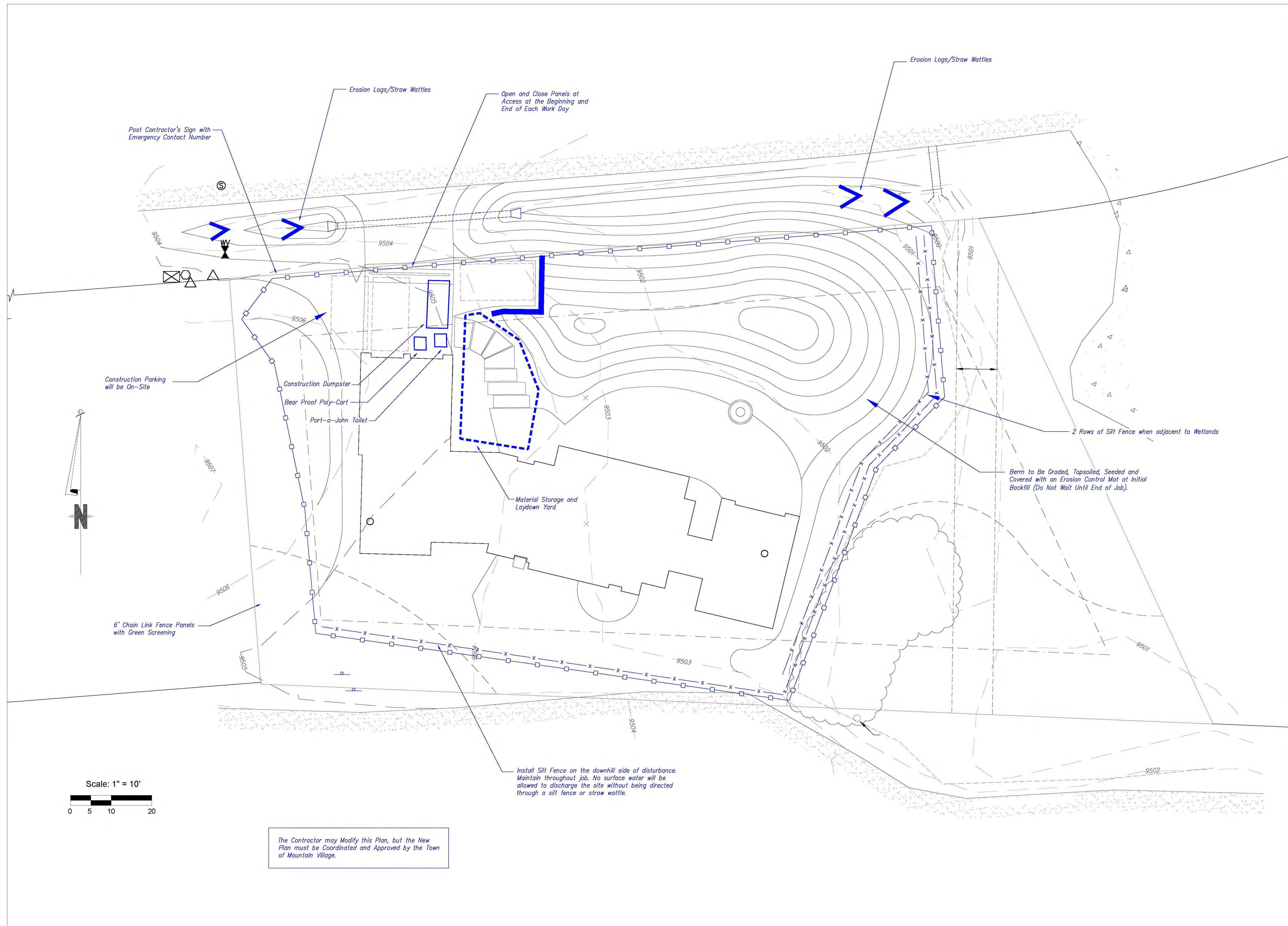
Lot 515
134 Russell Dr.
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Construction
Mitigation

C4



The Contractor may Modify this Plan, but the New Plan must be Coordinated and Approved by the Town of Mountain Village.



**Agenda Item No. 5
PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

TO: Mountain Village Design Review Board

FROM: Brian Grubb, Senior Planner

FOR: Design Review Board Meeting, November 4, 2021

DATE: October 25, 2021

RE: A Review and Recommendation by the Design Review Board regarding a Density Transfer and Rezone application for Lot 243 AR and 243 BR at 102 and 108 Hang Glider Drive per Community Development Code Sections 17.4.9 & 17.4.10

PROJECT GEOGRAPHY

Legal Description: Lots 243 AR and 243 BR Telluride Mountain Village
Address: 102 and 108 Hang Glider Drive
Owner: Jeffery Dickmann
Zoning: Single Family
Existing Use: Vacant Land
Proposed Use: Replat Lots 243 AR and 243 BR into Lot 243 R for one single family residence

Lot Size: Lot 243 AR .591 Acres
Lot 243 BR .476 Acres
Combined 1.067 Acres

Adjacent Land Uses:

- **North:** Single-Family and Open Space
- **South:** Single-Family
- **East:** Single-Family
- **West:** Single-Family and Open Space



ATTACHMENTS

- Exhibit A: Applicant's narrative
- Exhibit B: Existing Conditions
- Exhibit C: Proposed Plat

CASE SUMMARY:

Jeffery Dickmann, the owner of Lots 243 AR and 243 BR is proposing a Density Transfer and Rezone which is associated with a concurrent Class 5 Minor Subdivision to replat the two aforementioned vacant single-family zoned properties into one lot. Both of the lots are under the same ownership and the purpose of the replat is to provide a lot more suitable for the future development of one single-family home. Currently, both lots have 1 unit of Single-Family Density assigned for a total of 8 person equivalents between the two lots. If the Town Council determines that the replat of Lots 243 AR and BR is appropriate, the newly created Lot 243 R would at that point have 1 extra unit of density that would be required per the CDC to be transferred into the Density Bank.

With that, the applicant has submitted two concurrent applications: 1) Minor Subdivision to be heard by Town Council on November 18, 2021 and, 2) A Density Transfer and Rezone to transfer 1 Unit of Single-Family density into the density bank. As part of the above case summary, it should be noted that the Design Review Board’s (DRB) purview in this application relates solely to the recommendation of the density transfer and rezone application. Town Council is the sole ruling body on the Minor Subdivision (replat). Before the submittal for design review and building permits, the DRB and Town Council will need to determine that the application for density transfer and rezone is appropriate.

Table 1: Lot 243 AR and 243 BR Zoning Designations and Density Table Existing and Proposed

Lot	Existing Zoning Designations Built	Existing Zoning Designations Platted and unbuilt	Proposed Zoning Designations Built	Proposed Zoning Designations Platted and Unbuilt	Person Equivalents	Total Person Equivalents
243 AR	0	1			4	
243 BR	0	1			4	
			Total:			8
Lot 243-R	-	-	0	1	4	4
Former Lot 243-AR To Density Bank				1	4	4
			Total:			8

Staff Note: The proposal will result in a net decrease of 1 Single Family Unit of Density – or 4 person equivalents on Lot former lot 243-AR. The density will be transferred to the density bank and the owners will continue to pay any associated fees for this density.

Staff provided an opportunity to comment on the proposed development per the referral process and received the following responses: Public Works, TFPD, and the Town Forester all responded expressing no issues or concerns.

CRITERIA, ANALYSIS, AND FINDINGS

The criteria for the decision to evaluate a rezone that changes the zoning designation and/or density allocation assigned to a lot is listed below. The following criteria must be met for the review authority to approve a rezoning application:

17.4.9: Rezoning Process

3. Criteria for Decision:

- a. The proposed rezoning is in general conformance with the goals, policies, and provisions of the Comprehensive Plan;

Staff Finding: The Comprehensive Plan speaks in detail on the benefits of maintaining the character of single-family neighborhoods in the Mountain Village. As part of that, the overall density of a neighborhood can impact the livability for existing residents as the remaining lots are developed in what can be described as infill. This project is proposing to reduce the overall density of this area. Based on this, it appears the proposed density transfer and rezone would meet the intent of the Comprehensive Plan by continuing the use on the proposed lot as single-family residential.

- b. The proposed rezoning is consistent with the Zoning and Land Use Regulations; *Staff Finding: The proposed rezone and density transfer meets the requirements of the CDC. The Single-Family Zone is intended to provide lower density single-family dwellings. By reducing the density between the two lots, the owners would be meeting that intent of providing lower density.*

All other land use regulations are being met. Parking is addressed in more detail below, but it should be generally noted that by reducing the density, there will be less required parking.

- c. The proposed rezoning meets the Comprehensive Plan project standards;

The Comprehensive Plan Project Standards are listed as follows:

1. Visual impacts shall be minimized and mitigated to the extent practical, while also providing the targeted density identified in each subarea plan development table. It is understood that visual impacts will occur with development.
2. Appropriate scale and mass that fits the site(s) under review shall be provided.
3. Environmental and geotechnical impacts shall be avoided, minimized and mitigated, to the extent practical, consistent with the Comprehensive Plan, while also providing the target density identified in each subarea plan development table.
4. Site-specific issues such as, but not limited to the location of trash facilities, grease trap cleanouts, restaurant vents and access points shall be addressed to the satisfaction of the Town.
5. The skier experience shall not be adversely affected, and any ski run width reductions or grade changes shall be within industry standards.

Staff Finding: Generally, single family lots are not discussed in a site-specific context within the Comprehensive Plan as it relates to the standards listed above. With that, item 1 above discusses visual impacts and it may be helpful to note that by reducing the overall density the visual impacts may also be reduced. Although this could result in a larger home, one may assume that the overall visual impact of one home would be less than the impact from two.

Further there is a large wetland area that spans both properties. The CDC encourages re-platting properties in order to accommodate suitable development which is happening with this application.

- d. The proposed rezoning is consistent with public health, safety and welfare, as well as efficiency and economy in the use of land and its resources;
Staff Finding: This proposal is an efficient use of land and resources. There should be a reduced impact to public health safety and welfare through the reduction of overall density in this area and the associated impacts.
- e. The proposed rezoning is justified because there is an error in the current zoning, [and/or] there have been changes in conditions in the vicinity [and/] or there are specific policies in the Comprehensive Plan that contemplate the rezoning;
Staff Finding: The comprehensive plan envisions Lot 243 AR and 243 BR as single-family residential Lots and they will continue to be utilized as such, albeit in a reduced overall site density.
- f. Adequate public facilities and services are available to serve the intended land uses;
Staff Finding: There are currently adequate public services to accommodate this request.
- g. The proposed rezoning shall not create vehicular or pedestrian circulation hazards or cause parking, trash or service delivery congestion; and
Staff Finding: The rezoning will not create vehicular or pedestrian circulation hazards. There will be an overall reduction in curb cuts and vehicular movements through the reduction in the density on the lots.
- h. The proposed rezoning meets all applicable Town regulations and standards.
Staff Finding: The application meets all applicable regulations and standards.

17.4.10: Density Transfer Process

D. Criteria for Decision

2. Class 4 Applications. The following criteria shall be met for the Review Authority to approve a density transfer.

- a. The criteria for decision for rezoning are met since such density transfer must be processed concurrently with a rezoning development application (except for MPUD development applications);
Staff Finding: The applicant has met the criteria for the decision for rezoning as provided above.
- b. The density transfer meets the density transfer and density bank policies; and.
Staff Finding: The application meets all applicable density transfer and density bank policies. The applicant is proposing to transfer existing density into the density bank.
- c. The proposed density transfer meets all applicable Town regulations and standards.
Staff Finding: The application meets all applicable regulations and standards.

DESIGN REVIEW BOARD CRITERIA FOR REVIEW:

The Design Review Board's purview relates specifically to how density transfers and rezone applications may have design-related implications. The DRB must determine if the proposed location, design, and other applicable standards have been met.

RECOMMENDATION: If the DRB determines that the application for a Density Transfer and Rezone of Lots 243 AR and 243 BR meets the criteria for decision listed within this staff memo, then the following motion may be proposed:

I move to recommend to Town Council, an Ordinance regarding the Density Transfer and Rezone application pursuant to CDC Sections 17.4.9 & 17.4.10 of the Community Development Code, to rezone Lots 243 AR and 243 BR and transfer 1 single-family density unit (4-person equivalent density) to the density bank based on the evidence provided within the Staff Report of record dated October 25, 2021, and with the following conditions:

1. Prior to the recordation of the associated ordinance approving the Density Transfer and Rezone, the owner must obtain Town Council approval of the Class 5 Minor Subdivision.
2. The owner of record of density in the density bank, shall be responsible for all dues, fees, and any taxes associated with the assigned density and zoning until such time as the density is either transferred to a lot or another person or entity.
3. The final location and design of any buildings, grading, landscaping, parking areas, and other site improvements shall be determined with the required Design Review Process application pursuant to the applicable requirements of the CDC.

This motion is based on the evidence and testimony provided at a public hearing held on November 4, 2021 with notice of such hearing as required by the Community Development Code.

Lot 243-AR + Lot 243-BR Minor Subdivision, Rezoning and Density Transfer



August 23, 2021



PROJECT OVERVIEW

Jeffrey Dickmann (“**Owner**”) is the owner of the Lot 243-AR and Lot 243-BR (“**Property**”) as shown in Figure 1. The Owner proposes to vacate the lot line and general easement between Lot 243-AR and Lot 243-BR, and to transfer one single-family unit to the Town density bank, with the goal of designing and constructing a new single-family home on the Property.

The Town Official Land Use and Density Allocation List shows that Lot 243-AR and Lot 243-BR are each allocated one single-family unit as follows, with the proposed density also indicated:

Table 1. Official Land Use and Density Allocation List Existing and Proposed Density

Lot	Acreage	Zone District	Zoning Designation	Actual Units	Density Per Unit	Equivalent Units
Zoned Density						
243-AR	0.591	Single-family	Single-family	1	4	4
243-BR	0.476	Single-family	Single-family	1	4	4
Proposed Density						
243-R	1.067	Single-family	Single-family	1	4	4
Density Transfer to Density Bank						
243-AR		Single-family	Single-family	1	4	4

Proposed Applications

The Owner is proposing Minor Subdivision, Rezoning and Density Transfer applications (collectively “**Applications**”).



Figure 1. The Property

Site Context

The Property has extensive tree cover, a wetland area and steep slopes as shown in the existing conditions plan that is included in the Applications plan set and Figure 2 and 3. The wetland area is located in the northern center of the Property as shown with a green color in Figure 2 and extends into the Hang Glider Drive Right-of-Way. The steep slopes that are 30% or greater are located lower on the Property and in a small upper area as shown with a turquoise color in Figure 3.

The Property has a low USGS elevation of 9600 in the northwest corner along Hang Glider Drive and a high elevation of 9648 on its southern border with Lot 245 for an overall elevation change of 48 feet and an average grade of 24%.

The proposed development and disturbance area is located to the south and east of the wetland area, with the driveway approach from the northwest corner of the Property.

Wetlands

The wetlands on the Property were delineated by Chris Hazen with The Terra Firm. It is the Owner's intent to avoid the wetland area to the extent practicable consistent with the Mountain Village Community Development Code ("CDC") Section 17.6.1(B) and to provide setbacks to the extent practicable.

A development plan has not been created by the Owner's team at this time, with the understanding that the Town will have to review the planned single-family home pursuant to the CDC Design Review Process where the CDC Wetland Regulations will be applied. It is the Owner's intent to avoid wetland fill, if practicable, to avoid the need to provide mitigation in new wetland areas.



Steep Slopes

Section 17.6.1(C)(2)(a) of the Community Development Code (“CDC”) states that:

“Building and development shall be located off slopes that are thirty percent (30%) or greater to the extent practical.

i. In evaluating practicable alternatives, the Town recognizes that it may be necessary to permit disturbance of slopes that are 30% or greater on a lot to allow access to key viewsheds, avoid other environmental issues, buffer development and similar site-specific design considerations.”

The development of the Property necessitates disturbance of steep slopes that are 30% or greater to allow for driveway access and to allow for development outside of the wetland area. The Design Review Process application narrative will further address the CDC Steep Slope Regulations based on the proposed development plan and civil engineering design.

REZONING

The proposed rezoning complies with the Rezoning Process Criteria for Decision set forth in CDC Section 17.4.9(C)(3).

General Conformance with the Mountain Village Comprehensive Plan

The proposed rezoning and density transfer are in general conformance with the Mountain Village Comprehensive Plan (“Plan”). The Plan’s Future Land Use Plan designates the Property as single-family. The Plan also recommends protection of wetland areas which will be facilitated by the Applications since development of

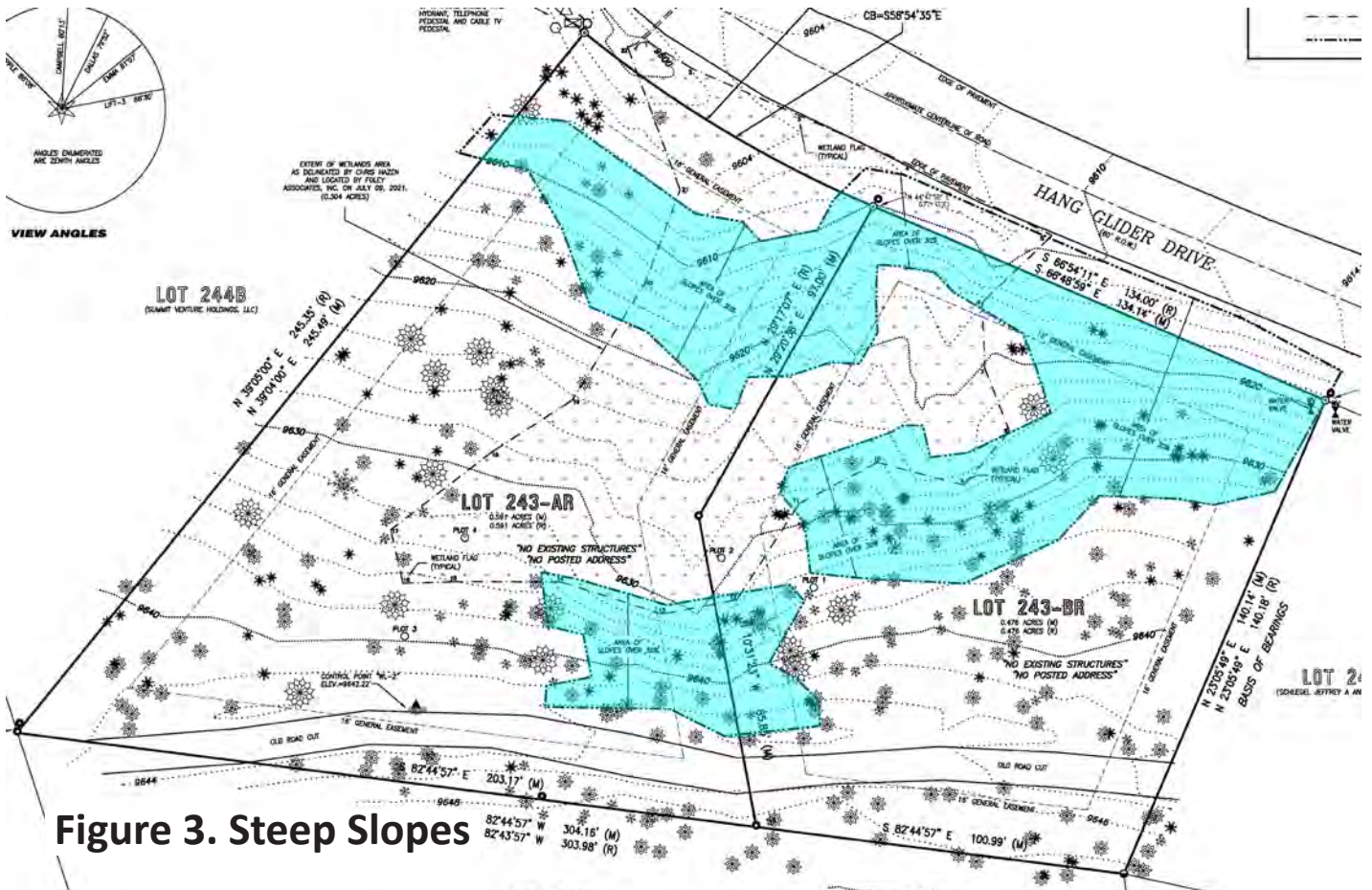


Figure 3. Steep Slopes

one lot will have less wetland impact than if the two lots were developed separately. The proposed development will avoid disturbance to wetland areas to the maximum extent practicable. The Minor Subdivision provides for the reconfiguration of lots to potentially avoid and mitigate impacts.

Consistency with Zoning and Land Use Regulations

The Applications are consistent with the Zoning and Land Use Regulations contained in CDC Section 17.3. Single-family dwellings are permitted uses in the Single-family Zone District. The Owner will transfer one (1) single-family unit to the Town density bank as required by the CDC. The rezoning does not impact the CDC Platted Open Space requirements. Development of the Property will comply with the CDC's dimensional limitations (building height, average height, site coverage, setbacks, etc.).

Comprehensive Plan Project Standards

The proposed rezoning complies with the Comprehensive Plan Project Standards in CDC Section 17.4.12 (H).

Visual Impacts

Visual impacts are mitigated by reducing the overall density on the Property to have only one home versus two (2) homes. Views through the Property from surrounding development are very limited due to the extensive tree cover. The Owner intends to preserve as many trees as possible with select removal for development and Town required fire mitigation.

Scale and Mass

The scale and mass of the development will be regulated by the CDC Zoning Regulations and Design Regulations.

Environmental and Geotechnical Impacts

The proposed development will avoid and mitigate environmental and geotechnical impacts. A Colorado licensed Professional Engineer and licensed architect will design the civil and site plans in accordance with the CDC Wetland Regulations, Steep Slope Regulations, Grading Regulations and Driveway Standards.

Site Specific Issues

The proposed development addresses site specific issues as already identified in this narrative.

Consistency with Public Health, Safety and Welfare

The proposed rezoning is consistent with the public health, safety and welfare. The proposed development will be designed in accordance with the dimensional limitations of the underlying Single-family Zone District and in accordance with the CDC Design Guidelines. The dimensional limitations of the CDC were created to ensure appropriate and compatible development as envisioned by the Plan, the Single-family Zone District and the CDC. Adequate infrastructure and services are available to the Property through the Hang Glider Right-of-Way.

Rezoning Justification

The proposed rezoning is justified by the Plan with it rezoning the importance of combining lots to reduce wetland impacts. The original zoning for the Property also seems very aggressive with two (2) lots due to the steep slopes and wetlands on the site. It is respectfully submitted that the proposed zoning of one (1) single-family unit is more appropriate for the Property based on the wetlands and steep slopes that are present.

Public Facilities and Services

The Telluride Fire Protection District will provide fire protection and emergency response services. The Mountain Village Police Department will provide police services. Water and sewer are available from the Town of Mountain Village. Gas and electric services will be provided by Black Hills Energy and SMPA, respectively. Access is available from Hang Glider Drive.

Project Circulation, Parking, Trash and Deliveries

The proposed development will be accessed by Hang Glider Drive. The design of the driveway will be coordinated with the Telluride Fire Protection District and the Town in accordance with the CDC Driveway Standards. Parking will be provided for the single-family development in accordance with the CDC Parking Regulations. A trash and recycling storage area will be provided in the garage or an enclosure.

Compliance with Other Town Regulations

The proposed development will comply with the requirements of the CDC and any applicable requirements of the Municipal Code.

DENSITY TRANSFER

The proposed development complies with the CDC density transfer policies. CDC Section 17.3.8(C) states:

“If all of the density assigned to a lot is not utilized as a part of a subdivision, rezoning, design review or other process as provided for in the CDC, such unused density shall be transferred to the density bank...”

The Owner understands that he will be responsible for paying all annual TMVOA dues and fees that are charged to density in the density bank.

CDC Section 17.3.8(E)(1) states:

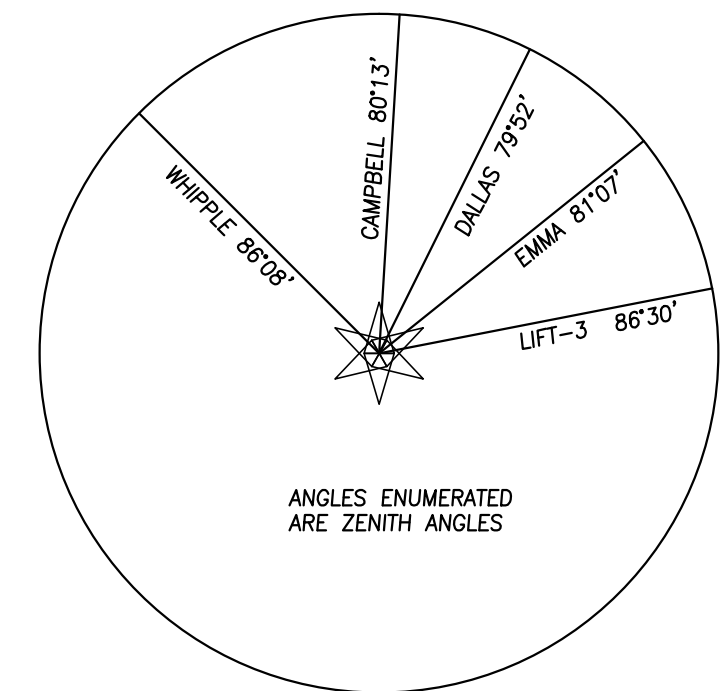
“A development application for the decrease of density assigned to a lot shall not be approved unless the rezoning development application includes a request to transfer the unused density to the density bank or there is a concurrent rezoning transferring the unused density to another lot.”

The Applications accomplish this CDC requirement.

The proposal is in compliance with the Density Transfer Process and outlined in CDC Section 17.4.10. The density transfer will meet the density transfer and density bank policies, with one (1) single-family unit proposed to be transferred to the density bank.

TREE LEGEND

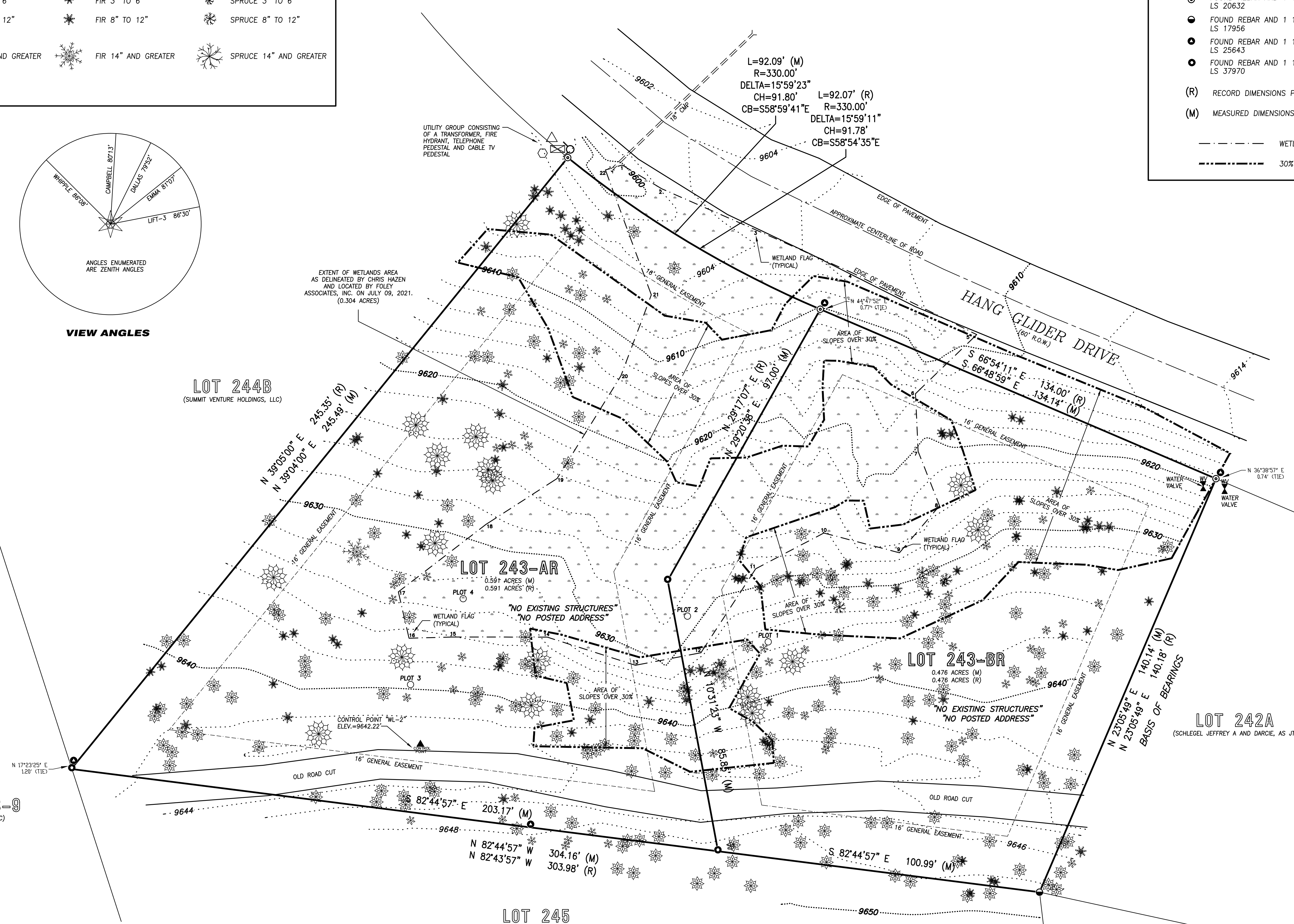
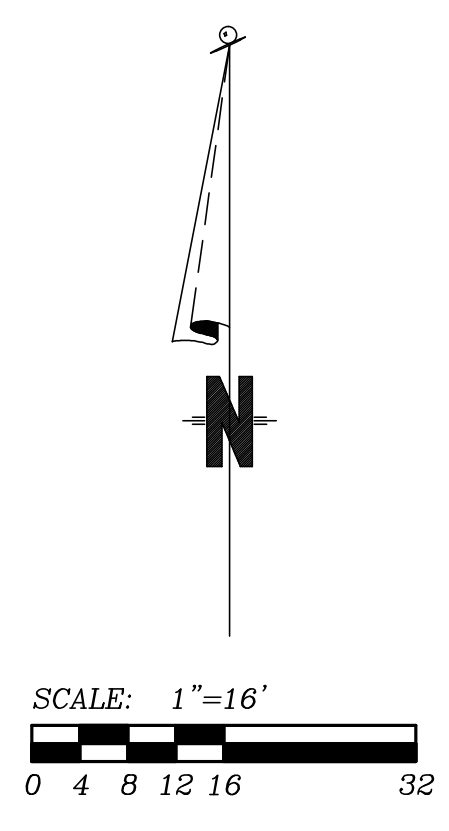
ASPEN 3" TO 6"	FIR 3" TO 6"	SPRUCE 3" TO 6"
ASPEN 8" TO 12"	FIR 8" TO 12"	SPRUCE 8" TO 12"
ASPEN 14" AND GREATER	FIR 14" AND GREATER	SPRUCE 14" AND GREATER



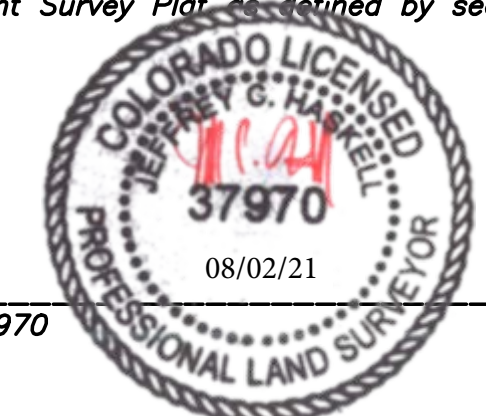
VIEW ANGLES

LEGEND

FOUND REBAR AND 1 1/2" ALUMINUM CAP LS 20632	FOUND REBAR AND 1 1/2" ALUMINUM CAP LS 17956	FOUND REBAR AND 1 1/2" ALUMINUM CAP LS 25643	FOUND REBAR AND 1 1/2" ALUMINUM CAP LS 37970
(R) RECORD DIMENSIONS PER PLAT BOOK 1, PAGE 997	(M) MEASURED DIMENSIONS PER THIS SURVEY	---	
---		---	
---		---	



This Existing Conditions Plan of Lot 243-AR and Lot 243-BR, Town of Mountain Village, was prepared on July 09, 2021 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 Date

LEGAL DESCRIPTION:
 LOT 243-AR AND LOT 243-BR, TOWN OF MOUNTAIN VILLAGE, A REPLAT OF LOTS 243-A AND 243-B, ACCORDING TO THE PLAT RECORDED DECEMBER 17, 2008 IN PLAT BOOK 1 AT PAGE 4034,
 COUNTY OF SAN MIGUEL, STATE OF COLORADO.

- NOTES:**
- Easement research and legal description from Land Title Guarantee Company, Order No. TLR86011271, dated February 25, 2021 at 5:00 P.M.
 - According to FEMA Flood Insurance Rate Map 08113C0287-D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
 - BASIS OF BEARINGS:** Found monuments along the southeastern boundary of Lot 243-BR, as shown hereon, assumed to have the record bearing of N 23°05'49" E according to Plat Book 1 at page 4034.
 - Benchmark: Control Point "CP WL-2", as shown hereon, with an elevation of 9642.22'.
 - Contour interval is two feet.
 - Trees shown hereon were located as part of a survey done in February of 2013.
 - Slopes 30% or greater are shown hereon.
 - Foley Associates, Inc. is not aware of any underground utilities located on this lot, but utility locates were not performed as part of this survey. Utility locates should be performed by respective providers before any construction.
 - NOTICE:** According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

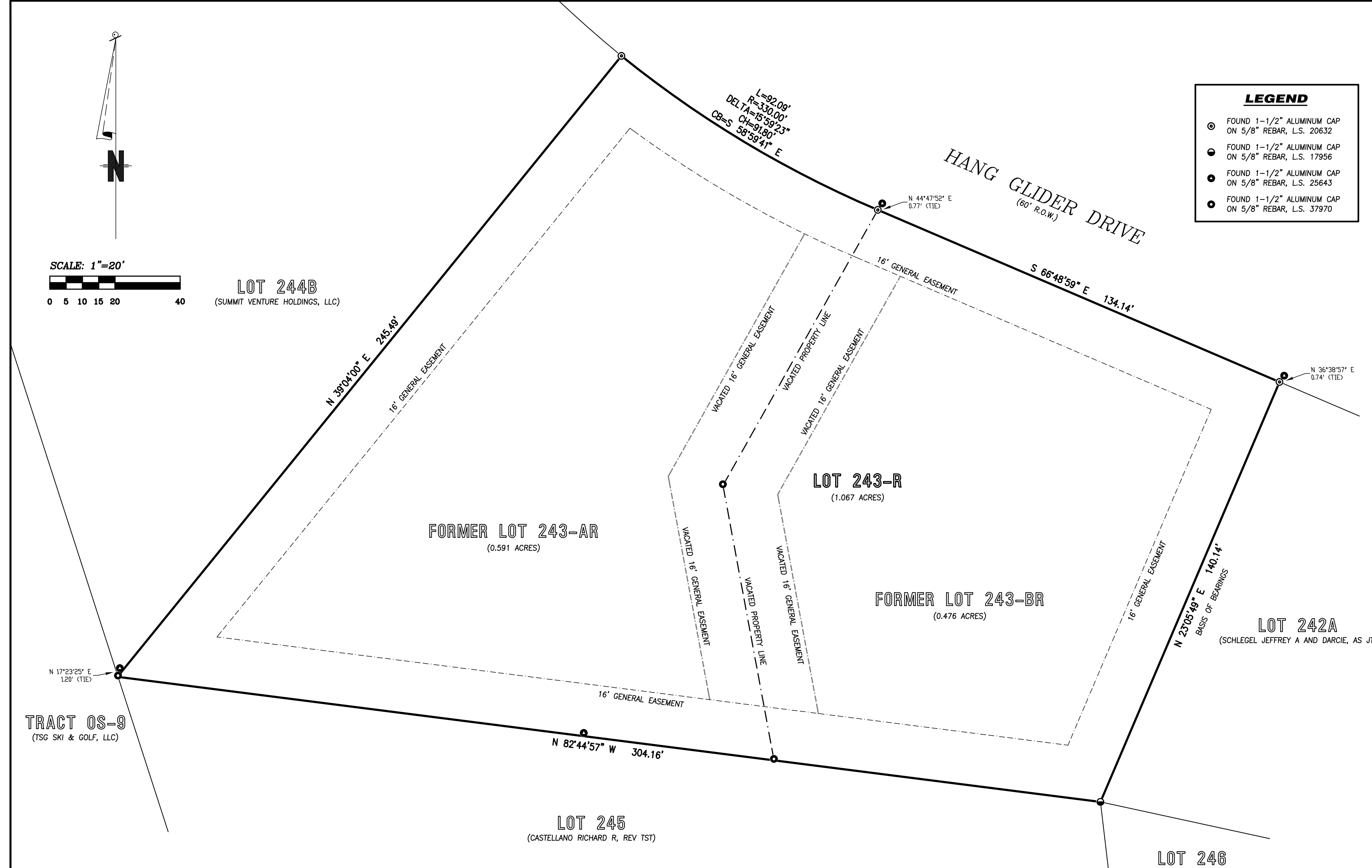
TRACT OS-9
(TSG SKI & GOLF, LLC)

Existing Conditions Plan
 Lot 243-AR and Lot 243-BR, Town of Mountain Village,
 located within the SW 1/4 of Section 3, T.42N, R.9W, N.M.P.M., County of San Miguel, State of Colorado.

Project Mgr:	JH	Rev.	description	date	by
Technician:	MC				
Checked by:	JZ				
Start date:	07/08/2021				

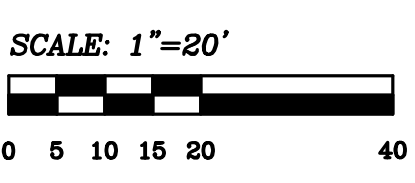


970-728-6153 970-728-6050 fax
 P.O. BOX 1385
 125 W. PACIFIC, SUITE B-1
 TELLURIDE, COLORADO 81435



LEGEND

- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 20632
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 17956
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 25643
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37970



GRANT OF 16' GENERAL EASEMENT:

Glider Investment Partners, LLC, a Maryland limited liability company and TSG Ski & Golf, LLC, a Delaware limited liability company hereby grants to TSG Ski & Golf, LLC, a Delaware limited liability company, and the Town of Mountain Village (the "Town"), their successors and assigns, a perpetual easement, 16 feet in width over, across and under all areas designated as 16' General Easement on this Replat for any and all uses, improvements and activities deemed necessary by TSG Ski & Golf, LLC and the Town, for the safe and efficient operation of the Telluride Ski Area, the Telluride Golf Course, and the Town, which include but are not limited to the following: utilities, drainage, electrical service, communication service, ski slope maintenance, bicycle access, skier access, roadway access, equestrian access, pedestrian access, golf cart access, snow making, waterways, slope maintenance, snow storage, retaining walls, snowmobile access, snow removal, snowcat access, water, sanitary sewer and storm sewer.

Glider Investment Partners, LLC, A Maryland limited liability company
By: _____

ACKNOWLEDGMENT:

State of _____)
County of _____)ss
The foregoing signature was acknowledged before me this _____ day of _____, 2021 A.D. by _____ as _____ of Glider Investment Partners, LLC, A Maryland limited liability company.
My commission expires _____
Witness my hand and seal.

Notary Public _____

16' GENERAL EASEMENT VACATION:

The undersigned being the beneficiaries of record of those portions of land labeled as 16 foot General Easement (G.E.) has established on the property as shown hereon by the Plat of record filed in the Office of the Clerk and Recorder of San Miguel County do hereby vacate and relinquish that portion of said easement as shown vacated on this plat.

Town of Mountain Village
By: _____ Mayor, _____ Date _____

By: _____ Town Manager, _____ Date _____

SECURITY INTEREST HOLDER'S CONSENT:

The undersigned _____, as a beneficiary of a deed of trust which constitutes a lien upon the declarant's property, recorded at Reception No. _____ in the San Miguel County Clerk and Recorder's real property records, hereby consents to the subdivision of the real property as depicted on this Plat and to the dedication of land as streets, alleys, roads and other public areas, as designated on this Plat, and hereby releases said dedicated lands from the lien created by said instrument.

Name: _____
Date: _____
Address: _____
Signature: _____
Title: _____

ACKNOWLEDGMENT:

State of _____)
County of _____)ss
The foregoing signature was acknowledged before me this _____ day of _____ of _____, 2021 A.D. by _____
My commission expires _____
Witness my hand and seal.

Notary Public _____

NOTES:

1. Approval of this plan may create a vested property right pursuant to Article 68 of Title 24, C.R.S., as amended.
2. Easement research from Land Title Guarantee Company, Order No. TLR8011271, dated February 25, 2021 at 5:00 P.M.
3. BASIS OF BEARINGS: The Bearing along the eastern boundary of Former Lot 243-BR, as monumented hereon, was assumed to have the record bearing of N 23°05'49" E according to Plat Book 1 at page 4034.
4. Notice is hereby given that the area included in the plat described herein is subject to the regulations of the Land Use Ordinance, of the Town of Mountain Village, March, 2005 as amended.
5. NOTES OF CLARIFICATION:
 - a. The Configuration of the following lots, tracts, and right-of-way have been modified by this plat: None
 - b. The following lots have been created by this plat: Lot 243-R
 - c. The following lots have been deleted by this plat: Lots 243-AR and 243-BR
6. The approval of this Plat Amendment vacates all prior plats for the area described in the Legal Description as shown hereon in the Certificate of Ownership.
7. NOTICE: According to Colorado law you, must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.
8. LINEAL UNITS: Distances shown hereon are measured in U.S. Survey Feet.
9. SURVEY CONTROL NOTES: Monuments stamped, "LS 25643", shown hereon, are not original Lot 243 monuments and were not accepted as part of this survey.

TOWN OF MOUNTAIN VILLAGE APPROVAL:

I, _____, as mayor of the Town of Mountain Village, Colorado, do hereby certify that this plat has been approved by the Town Council in the same resolution that has authorized and directed us to execute this document.

By: _____ Mayor, Town of Mountain Village, Colorado

ACKNOWLEDGMENT:

State of _____)
County of _____)ss
The foregoing signature was acknowledged before me this _____ day of _____, 2021 A.D. by _____ as Mayor, Town of Mountain Village, Colorado.
My commission expires _____
Witness my hand and seal.

Notary Public _____

TITLE INSURANCE COMPANY CERTIFICATE:

Land Title Guarantee Company does hereby certify that we have examined the title to the lands herein shown on this Replat and that the title to this land is in the name of Glider Investment Partners, LLC, A Maryland limited liability company, and is free and clear of all encumbrances, liens, taxes, and special assessments except as follows:

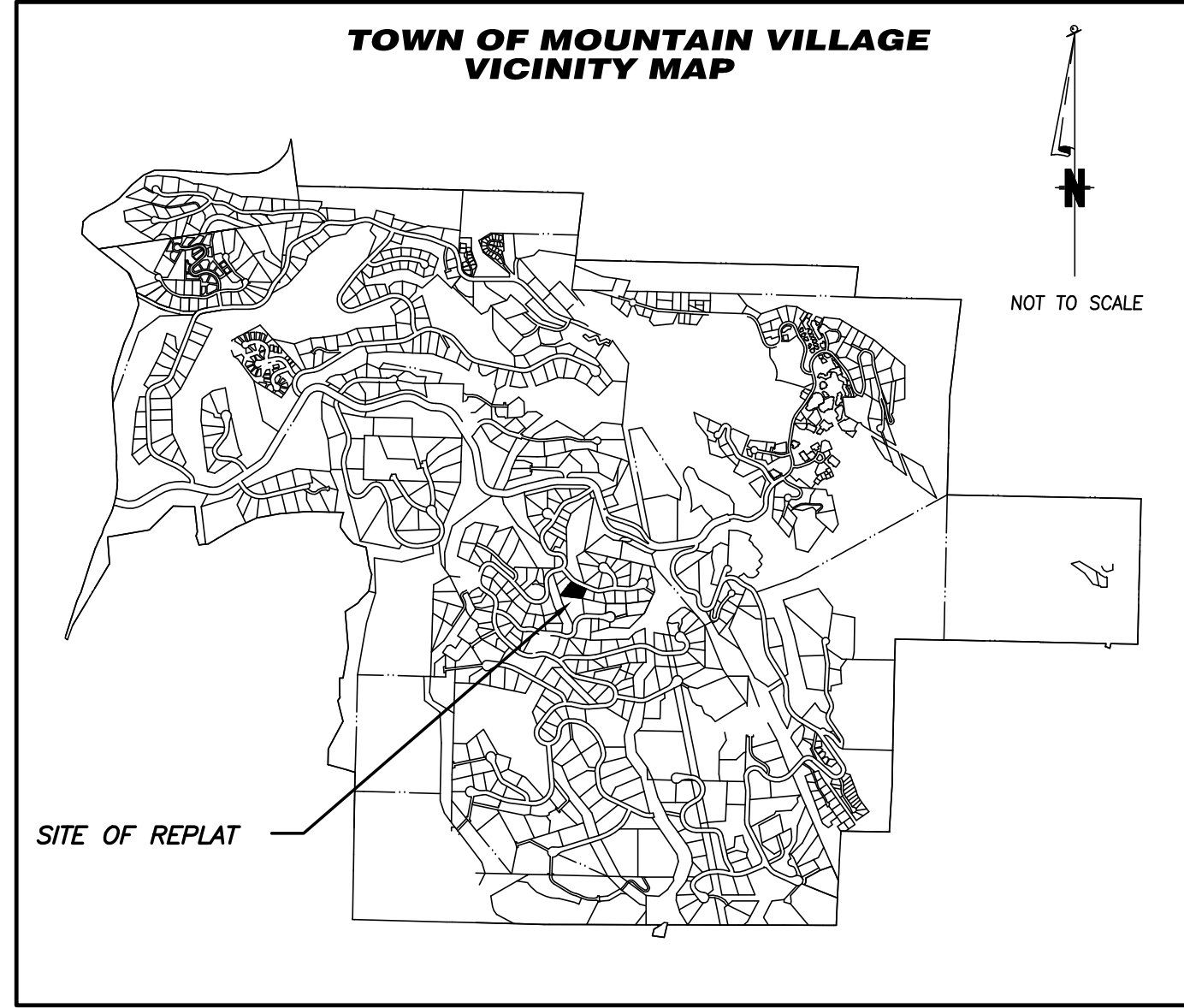
Title Insurance Company Representative _____

RECORDER'S CERTIFICATE:

This plat was filed for record in the Office of the San Miguel County Clerk and Recorder on this _____ day of _____, 2021, at

Plat Book _____
Page _____
Reception No. _____
Time _____

San Miguel County Clerk _____



CERTIFICATE OF OWNERSHIP:

KNOW ALL PERSONS BY THESE PRESENTS that Glider Investment Partners, LLC, A Maryland limited liability company, being the owners in fee simple of Lot 243-AR and 243-BR, Town of Mountain Village, according to the plat recorded December 17, 2008 in Plat Book 1 at page 4034, County of San Miguel, State of Colorado, hereby makes an Amendment to the Final Plat of said real property in accordance with the Replat shown hereon.

OWNERS:
By: _____ of Glider Investment Partners, LLC, A Maryland limited liability company

ACKNOWLEDGMENT:
State of _____)
County of _____)ss
The foregoing signature was acknowledged before me this _____ day of _____, 2021 A.D. by _____ as _____ of Glider Investment Partners, LLC, A Maryland limited liability company.
My commission expires _____
Witness my hand and seal.

Notary Public _____

SURVEYOR'S CERTIFICATE:

I, Jeffrey C. Haskell of Foley Associates, Inc., a Professional Land Surveyor licensed under the laws of the State of Colorado, do hereby certify that LOT 243-R, TOWN OF MOUNTAIN VILLAGE, A REPLAT OF LOTS 243-AR AND 243-BR, shown hereon has been prepared under my direct responsibility, supervision and checking. This survey complies with applicable provisions of Title 38, Article 51, C.R.S. to the best of my knowledge and belief.

IN WITNESS WHEREOF, I here unto affix my hand and official seal this _____ day of _____, A.D. 2021.

P.L.S. 37970 _____ Date _____

Lot 243-R, Town of Mountain Village, a Replat of Lots 243-AR and 243-BR, Town of Mountain Village, located within the NW 1/4 of the SW 1/4 and the SW 1/4 of the NW 1/4 of Section 3, T.42N., R.9W., N.M.P.M., County of San Miguel, State of Colorado.

Project Mgr:	JH	Rev.	description	date	by
Technician:	MC				
Checked by:					
Start date:	07/2021				



970-728-6153 970-728-6050 fax
P.O. BOX 1385
125 W. PACIFIC, SUITE B-1
TELLURIDE, COLORADO 81435



TO: Mountain Village Design Review Board
FROM: Amy Ward, Planner
FOR: Design Review Board Public Hearing; November 4, 2021
DATE: October 25, 2021
RE: Staff Memo – Initial Architecture and Site Review (IASR) Lot 166AR2-7, 6 Stonegate Drive

APPLICATION OVERVIEW: New Single-Family Home on Lot 515

PROJECT GEOGRAPHY

Legal Description: LOT 166AR2-7, TELLURIDE MOUNTAIN VILLAGE, ACCORDING TO THE REPLAT OF LOT 166AR, OSP-51, AND OS-166 TO LOTS 166AR2-1 THRU 166AR2-15, PARCEL A, OSP-51A, OSP51RB AND OS-166T RECORDED APRIL 4, 2003 IN PLAT BOOK 1 AT PAGE 3116, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Address: 6 Stonegate Drive

Applicant/Agent: Dylan Henderson, Salt Architects

Owner: Steven Rosenberg

Zoning: Single-Family

Existing Use: Vacant

Proposed Use: Single-Family

Lot Size: .35 acres

Adjacent Land Uses:

- **North:** Single-family
- **South:** Single-family
- **East:** Open space
- **West:** Single-family



Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comm

Case Summary: Dylan Henderson of Salt Architects is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home on Lot 166AR2-7, 6 Stonegate Drive. The Lot is approximately .12 acres and is zoned Single-family. The overall square footage of the home is approximately

4, 869 gross square feet, with 4,285 livable square feet, and provides 2 interior parking spaces within the proposed garage.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	40' (gable) Maximum	32' 3"
Maximum Avg. Building Height	35' (gable) Maximum	23.4'
Maximum Lot Coverage	40% (6,115 s.f.)	16.7% (2,546 s.f.)
General Easement Setbacks	No encroachment	No encroachment**
Roof Pitch		
Primary		4:12
Secondary		6:12
Exterior Material		
Stone	35% minimum	35%
Windows/Doors	40% maximum	12%
Parking	2 interior/2 exterior	2 interior

**Pending replat

Design Variation:

- 1) Landscaping – diversity of species

DRB Specific Approval:

- 1) Parking Waiver
- 2) GE encroachment - grading

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates a combination of shed roof forms. Homes with a primary shed roof form are granted a maximum building height of 35 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: Staff has determined that the primary roof form for this home is a gable and therefore granted a maximum height of 40 feet. The parallel plane projection is showing that the home is clearly under the 40' limit at all elevations. However, the applicant has listed a max height of 39' 4" on the cover sheet and states that the max height is 32' 3" in the design narrative. This discrepancy should be cleared up prior to final design review. The max average height is meeting the requirements at 23.4'.

17.3.14: General Easement Setbacks

Lot 166AR2-7 is burdened by a sixteen (16) foot General Easement (GE) on the east, west and south. Currently there is a 30' GE to the north. The applicant is planning on

applying for a replat of the lot to change this GE to a 16' easement similar to the surrounding properties. This replat application was delayed due to a staffing issue, however the approval of the replat could be handled by a condition of approval. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Utilities: Given Lot 166AR2-7's location and the location of the existing utilities, the GE will need to be crossed on the south side of the lot for electric, cable, telephone. The sewer is proposed to cross the northern GE.*
- *Landscaping: There is proposed new planting in the southern GE.*

The proposal also includes some GE encroachments requiring specific DRB approval:

- *There are (2) boulder retaining walls in the western GE.*
- *There is landscape grading in the eastern and western GE.*
- *There is a stairway that extends into the current northern GE. The applicant states that a replat application for the lot is proposed to minimize the GE area, which would remove the encroachment. The Town has not received an application yet, however staff feels comfortable conditioning that either a replat is approved or the applicant shall pursue a minor revision to remove the stairway encroachment prior to building permit.*

Staff: Staff finds the encroachments in the GE to be minimal and DRB should discuss whether they find these encroachments acceptable. If so, a specific approval should be granted.

Regardless of the encroachment, any development within the General Easement will require the owner and the Town to enter into a GE Encroachment Agreement as part of a condition of approval.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: This mountain modern style home uses a palette of materials that is reminiscent of historical mining buildings. Timbers, stone, and steel elements will hold up to the elements of our harsh alpine environment. Stained wood siding and bonderized metal shingles contemporize the exteriors some. The front façade of the home appears as a modest more

traditional home, but the back side clings to and steps down the hillside in a way that recalls some of the historic mining structures in the region. Staff believes the home will harmonize with many of the more contemporary homes currently proposed in that neighborhood while maintaining a connection to the historical nature of our community.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: Lot 166AR2-7 is a very steep lot, sloping from Stonegate Drive down to the NE. It is further constrained with an access easement and existing driveway and associated retaining walls for the use of Lots 166AR-7, 8 and 9. The GE on the NE end of the lot is also currently platted at 30' wide as compared to the lots around it that have only a 16' GE on this side. With all of these constraints, the applicant had very little choice as to where the home could be placed on the lot. The form of the home steps with the hillside and staff finds that the proposed development blends into the existing landform.

17.5.6: Building Design

The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation.

Staff: From the front entrance this low linear form is grounded to the site with its central stone entry form. The back side of the home tells a completely different story. Perched on the steep hillside, the grounding element is a stone clad foundation which protrudes from the hillside to support the home above. A portion of the lower level is cantilevered, with an elevated deck continuing off of the cantilevered living space. Although overall, staff believes that the stone clad foundational element really does portray a sense of "groundedness" there are some concerns that this this cantilevered deck area doesn't meet those criteria. Some discussion around the design and placement of the support columns might yield a design that better meets those criteria.

The proposed materials of Telluride Gold square cut stone, timbers, and steel I beams also lend a heavy grounded feeling to the exterior. The vertical stained cedar siding appears to replicate weathered wood, and the bonderized metal shingle siding and corrugated metal siding have a slightly contemporary feel.

17.5.7: Grading and Drainage Design

Staff: There is a small area to the east and west of the home proposed to be regraded– it should be noted that these areas are within the GE. There is also an area to the south of the home under the vehicular bridge. This proposed grading appears to be solely to create positive drainage away from the foundation of the home. The rest of the site is proposed to be left intact.

17.5.8: Parking Regulations

Staff: The applicant has shown two interior parking spaces on their plan. They are requesting that the two required exterior parking spaces be waived. This is an allowable specific approval on lots of less than .75 acres due to constraints on the site where tandem parking is not feasible. The constraints of the site have previously been discussed within this memo, DRB should discuss if these constraints merit allowance and if so, a specific approval should be granted.

17.5.9: Landscaping Regulations

The applicant has provided a landscaping plan that includes some new tree plantings to the south of the home across the driveway that should nicely buffer the home from Stonegate Drive. The species indicated are only spruce and aspen, hence they are not currently meeting the diversity of species clause. The applicant does indicate that all disturbed areas are to be revegetated with Town approved native seed mix. Lot 166AR2-7 is a very small, steep lot, without much additional space for landscaping, staff believes that this simple landscaping plan is appropriate for the site. If DRB feels the landscaping plan is adequate, then a design variation should be granted.

17.5.11: Utilities

Staff: Existing utilities pedestals are between Stonegate Drive and the already existing driveway. Meeting SMPA requirements of no more than 360 degrees in bends might prove to be difficult when negotiating crossing two existing retaining walls as well as the driveway. The water existing service also needs to be relocated from underneath the floating mechanical room. According to Public Works, the sewer connection should have already been stubbed to the lot during the original development, the applicant will just need to work with Town staff to locate sewer access.

17.5.12: Lighting Regulations

Staff: A lighting plan was provided. All of the fixture specifications provided meet the lighting provisions of the CDC. The lighting perspectives included on the plans do not demonstrate the required photometric study required by the CDC, however it should be noted that a lighting plan is not required until final review. As the home exceeds 3,500 s.f. the applicant should provide a photometric study prior to final review.

17.5.13: Sign Regulations

Staff: There is no address monument proposed. The address will be posted to the house; however, the applicant should provide more detail of this, indicating that the numerals will be reflective and to include a light source prior to final review. This is allowed for homes that are located within 20' of the roadway per the CDC.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: The applicant is not currently meeting the fire mitigation requirements. Per comments from the Town Forester, there are three conifer trees indicated to be kept within Zone 1, his recommendation is to waive the requirement for these three trees as they add valuable screening. Also, the crown to crown spacing in Zone 2 needs to be reviewed and amended, this can be handled on site between the contractor and Town Forester when applying for a tree removal permit.

Steep Slopes: As previously discussed in this memo, this lot is heavily constrained. Avoiding steep slopes would make this lot unbuildable.

17.6.6: Roads and Driveway Standards

Staff: The driveway of the home was previously built with another development project on Stonegate. The only addition to this is the turnout from that drive into the garage. The applicant has proposed an open steel bridge that spans the gap between the existing drive and the garage. The bridge appears to be relatively flat in grade. There is a wood and steel guardrail securing the sides of the bridge. Staff believes that the applicant is meeting all applicable road and driveway standards.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does include a fireplace but has not called out a fuel source. This should be clarified prior to final review. If the applicant intends to have a wood burning fireplace, then a solid fuel burning permit must be provided to the Town. Additionally, there is an exterior firepit shown on the landscape plan. The CDC does not allow for exterior wood burning permits, so the applicant should indicate the fuel source for the fire pit prior to final review.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The construction mitigation plan shows required material staging, dumpster, bear-proof trash receptacles, and a port a toilet. The materials staging is at the downhill side of the lot and given the steepness of the lot could only be accessed through the adjoining open space parcel OS-166R. The parking is also shown along this gravel road that is part of the same parcel. The use of this parcel would be dependent on permissions from the landowner. The applicant should provide a written access agreement for this use prior to building permit. The dumpster is shown on the edge of the hammerhead between lot 166AR2-7 and 166AR2-8 and outside of the construction fence, there is also one parking spot indicated here. Staff feels that all refuse containers should be located inside of the construction fencing. They have shown one parking spot in the hammerhead, this is a fire lane and should not be counted as an official parking area.

The construction fencing is pushed to the extent of the lot lines, which will likely lead to disturbance of much of the GE. Because of the need for the lower half of the lot for construction staging/mitigation, staff believes this disturbance is unavoidable. The applicant has indicated on their landscape plans that the entire lot is to be revegetated with Town approved native seed mix. Silt fencing is appropriately indicated on the downhill side of disturbance. Straw wattles are shown in the drainage ditch to the northeast of the lot and should prevent stormwater runoff, however this placement will also have to be authorized by the owners of OS-166R.

No crane is indicated on the CMP, if it is determined that one is required, the applicant shall work with town staff to make sure the crane swing doesn't impede the roadway. The applicant should revise the CMP prior to final review.

Staff Recommendation: Staff recommends the DRB approve the Initial Architectural and Site Review for Lot 166AR2-7, 6 Stonegate Drive, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architectural and Site Review for a new single-family home located at Lot 166AR2-7, based on the evidence provided within the Staff Report of record dated October 25, 2021, with the following design variations and specific approvals:

Design Variation:

- 1) Landscaping – diversity of species

DRB Specific Approval:

- 1) Parking Waiver
- 2) GE encroachment - grading

And, with the following conditions:

- 1) Prior to final review, the applicant shall revise the height compliance drawings.
- 2) Prior to final review, the applicant shall provide a photometric study.
- 3) Prior to final review, the applicant shall revise the address detail to include a lighting specification, and to indicate the numerals will be coated with a reflective surface.
- 4) Prior to final review, the applicant shall specify the fuel source for all solid fuel burning devices.
- 5) Prior to final review, the applicant shall revise the construction mitigation plan per the comments of this memo.
- 6) Prior to building permit, the applicant shall work with the Town Forrester to ensure they are meeting the Zone 2 crown to crown spacing required for fire mitigation.
- 7) Prior to building permit, the applicant shall work with Public Works to field verify all utilities.
- 8) Prior to building permit, the applicant shall provide proof of an access agreement with the owner of Lot OS 166R, if still being used for construction staging.
- 9) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 10) Prior to a certificate of occupancy a GE agreement shall be executed recognizing approved encroachments into the GE.
- 11) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 12) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 13) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/aw



To: Mountain Village Design Review Board and Planning Staff
Date: 10/05/2021

Thank you so much for reviewing our application for Lot 7 Stonegate Drive. We are excited about the coming project and have outlined compliance below. The house is a two and a half story residence with a total of 4,285SQ FT livable area and a 584 SQ FT garage.

17.3.12 Building Height Limits- The total height of the highest roof ridge is 32'-3''' as shown on A3.0 Detail 3_North Elevation. The allowable offset of 40' for gable roofs is shown on each elevation for reference.

17.3.13 Maximum Lot Coverage- The Gross Area of the Lot is 15,289.62 SQ FT. Our proposed lot coverage is 3,952 SQ FT which equates to 25.8%. Allowable is 40% making our proposal 14.2% below the allowable coverage.

17.3.14 General Easements Setbacks- The lot has a 16' General Easement/Setback line offset from the property line. Our proposed setbacks are 16'-7 1/4" from the Western property line, 37'-10" from the Northern property line, 16'-10 3/4" from the Eastern property line and 31'-1 1/2" from the Southern property line.

17.3.21 Deviation from Zoning and Land Use Regulations- Due to the step nature of the lot and the house having to abut the road we are forced into shorter driveway out to our access drive. We have accommodated a hammerhead turnaround that is shared between all lots on the access road but we do not have enough room for the two exterior parking spaces in addition to the garage. We are requesting to eliminate the (2) exterior parking spaces outside of the garage on the site. Parking is limited but we do have approx. 15'-10" on our "garage bridge" to accommodate cars on a temporary basis.

17.5.4 Town Design Theme

Our proposed design is Mountain Modern in intent and nature. The siding will be a combination of stained wood to match the

ARCHITECTURE
SANTA BARBARA

DYLAN HENDERSON

saltarchitect.com

805.729.4276

dylan@saltarchitect.com

Mountain Village design aesthetic with exposed timber and mill scale steel accents. The mid level of the project will be wrapped in bonderized metal shingle and bonderized corrugated siding. Stone surrounds the entire base of the house and clearly differentiates foundation from wall plane. This grounds the house into the topography of the site and allows for a mix of materials and compliance with the exterior stone requirement. The garage doors will be herringbone wood with windows above. The roofs will be a combination of corrugated metal and standing seam metal. Please see sheet A3.3 for exterior material sheet with all finishes and intended colors called out.

17.5.5 Building Siting Design- The house is located on a steep lot that is downhill from the existing access road. The step nature of the lot dictates a horizontal configuration that steps down the slope. The East/West long axis of the lot provides the access to the garage, entry door and living/dining level.

17.5.6 Building Design- Our design is a simple configuration of gable roofs that step down the slope side following the natural topography of the site. We have not created any complicated roof forms or valleys that will require maintenance. This is an elegant composition of forms and elevations that fit in well with the Town of Mountain Village and similar step lot designs.

17.5.7 Grading and Drainage Design- Please see the Civil Sheets in the set C1-C4. David Ballode with Uncompahgre Engineering has created our drainage and grading plan. You will note that we are staying appropriately away from the existing retaining wall that currently supports the existing road. We are providing drainage around the base of the house between the existing wall and the new foundation with a swale routed to the East and West easement areas.

17.5.8 Parking Regulations- The house has a compliant two car garage. There is an existing hammerhead to the East of the house that spans both Lot 7 and Lot 8. See above 17.3.21 for our request to eliminate the (2) on site exterior parking spaces. Due to the step nature of the lot and the narrow access road we cannot accommodate the two exterior parking spaces.

17.5.9 Landscape Regulations- Please see sheet A1.3. The landscape area outside of Zone 1 is very limited. There are several existing aspen and spruce that we would like to keep on site. Within Zone 1 on the step slope landscaping will be mostly grasses and the one planter area located to the North of the lower viewing deck. The intent is to re-seed and re-vegetate with Telski Wildflower Grass Seed Mix with a combination of Native Grass Seed mix and a Wetlands Buffer mix. See the description of the grass mix on our landscape plan for details of the mix design.

17.5.10 Trash, Recycling and General Storage Areas- Trash Cans will be located in the trash/mech room at the front of the lot adjacent to the entry and taken out to the curb on a weekly basis. All storage will be contained within the house.

17.5.11 Utilities- See sheet C3 for all utility locations on the site and existing electrical, water, gas and sewer lines. The intent is to have all utility connections come into the house at the road side mechanical room where it will be distributed within the house.

17.5.12 Lighting Regulations- Please see sheet A1.4 for our exterior lighting plan. Each fixture is dark sky compliant and simple and minimal on the house. There are (3) sconce lights at the garage, (2) step lights at entry, (1) sconce at entry, (4) baluster lights at living room deck, (4) step lights at upper living room deck, (3) recessed cans at the guest bedroom deck, (4) step lights on the guest bedroom deck, (2) step lights at the ski room deck, (1) sconce at the hot tub lower deck, and (3) step lights at the lower hot tub deck.

Please let me know any questions and we really appreciate your time in reviewing our drawings and application.

Dylan Henderson
CO Lic#: ARC.0402941
970.708.4795



Stonegate - Lot 7
Mountain Village
Telluride, CO



Stonegate - Lot 7
Mountain Village
Telluride, CO



Stonegate - Lot 7
Mountain Village
Telluride, CO



SALT ARCHITECTURE
SANTA BARBARA, CA
701 ANACAPA STREET 805.729.4276

PROJECT TEAM

PROPERTY OWNER

Steven Rosenberg
13520 HESBY STREET
SHERMAN OAKS, CA 91423

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Platley
701 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitect.com

SURVEYOR

San Juan Surveying
102 Society Drive
Telluride, CO 81435
Office: 970.728.1128

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 166AR-2 Stonegate
& Stonegate Drive
Town of Mountain Village, CO 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	10/08/2021
2		
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Lot 7

STONEGATE

Cover Sheet & Plan Set Information

Date:	10/08/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 0.0

Scale: As indicated

EXTERIOR MATERIALS



BLACK CLAD WINDOWS AND DOORS



EXTERIOR TIMBERS AT ROOFLINE AND TRUSS

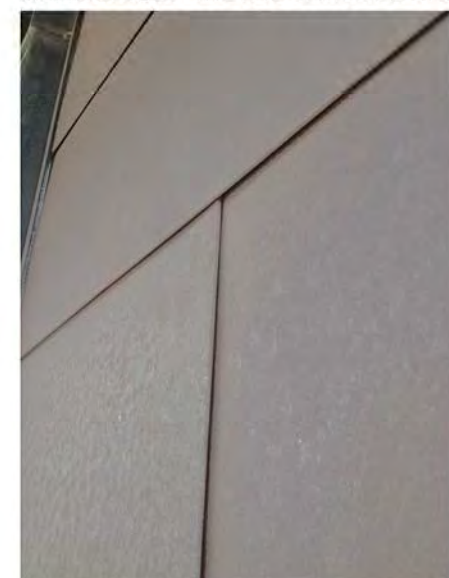


VERTICAL STAINED CEDAR SIDING



LOT 7 STONEGATE MATERIAL BOARD

BONDERIZED METAL SHINGLE SIDING BONDERIZED CORRUGATED SIDING



TELLURIDE GOLD ASHLAR PATTERN STONE



EXTERIOR DECK RAIL - COLOR TBD

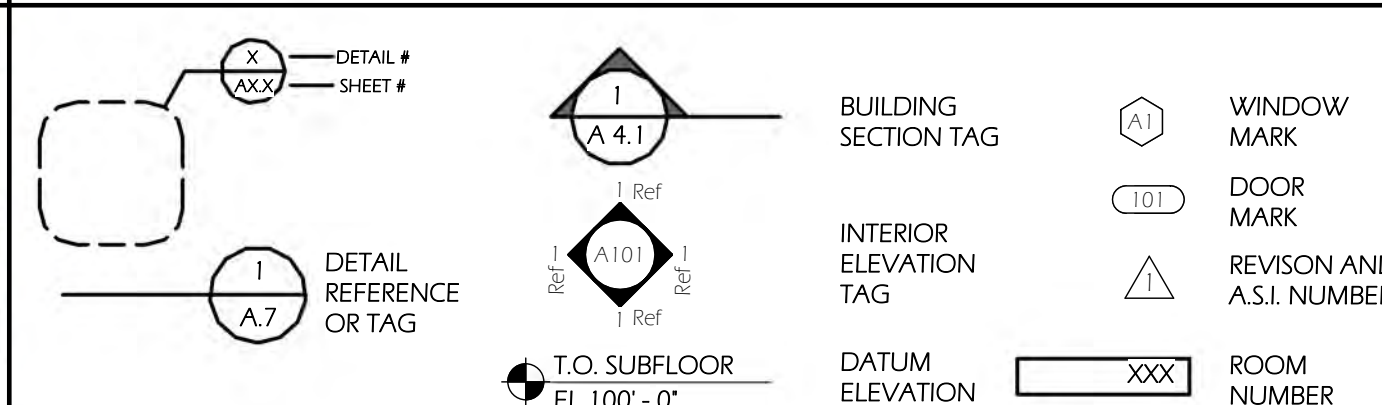


STEEL BEAMS AND COLUMNS



GARAGE DOORS

GRAPHIC SYMBOLS LEGEND



VICINITY MAP - Town of Mountain Village



PROJECT SITE

EXISTING SITE IMAGES



PROJECT SITE

VIEW NORTH



PROJECT SITE

VIEW SOUTH

SHEET LIST

Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date
A 0.0	Cover Sheet & Plan Set Information	10/08/2021		
A 0.1	Building Perspectives	10/08/2021		
A 1.1	Survey	10/08/2021		
A 1.2	Site Plan	10/08/2021		
A 1.3	Landscape	10/08/2021		
A 1.4	Exterior Lighting Plan	10/08/2021		
A 2.1	Entry Level Floor Plan	10/08/2021		
A 2.2	Master Level & Ski Level Floor Plan	10/08/2021		
A 2.3	Roof Plan	10/08/2021		
A 3.0	Average Height & Exterior Material Compliance	10/08/2021		
A 3.1	Elevations	10/08/2021		
A 3.2	Elevations	10/08/2021		
A 3.3	Exterior Materials Board	10/11/21		
A 8.1	Door & Window Schedule	10/08/2021		
C1	Notes	08/11/2021		
C2	Grading & Drainage Plan	08/11/2021		
C3	Utilities	08/11/2021		
C4	Construction Mitigation Plan	08/11/2021		

SITE ANALYSIS

Zoning - Single Family
Gross Lot Area = 15,289.62 SQ.FT. = 0.12 Acres
Max Lot Coverage Allowed = 40%
Lot Coverage Proposed = 2,546 SQ. FT. = 16.7%
Max Height Allowed = 40'
Max Average Height Proposed = 39.4'
Max Average Height Allowed = 30'
Max Average Height Proposed = 23.4'
Parking Req. - 2 Parking Space Required
- 2 Covered Provided

SCOPE OF WORK

PROPOSAL TO CONSTRUCT A 4,285 SQ FT SINGLE FAMILY HOME WITH AN ATTACHED 584.33 SQ FT GARAGE AT THE ENTRY LEVEL ON A 15,289.62 SQ FT LOT. THE HOME TO CONTAIN 3 BEDROOMS, 1 BUNK ROOM, 1 MEDIA ROOM, 4 1/2 BATHS AND 1 SKI/MUD ROOM. THREE LOWER DECKS (341 SQ FT, 87 SQ FT, 151 SQ FT) AND 397 SQ FT LOWER PATIO TO BE INCLUDED IN THE APPLICATION. A 462 SQ FT ENTRY BRIDGE AND DRIVEWAY BRIDGE TO BE INCLUDED TO BE USED FOR ACCESS OVER THE EXISTING RETAINING WALL. TOTAL SITE COVERAGE IS 3,952 SQ FT (ALLOWABLE = 6,115.9 SQ FT)

GENERAL NOTES & BEST MANAGEMENT PRACTICES:

GENERAL NOTES
CONTRACT DOCUMENTS:
CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED.
ORGANIZATION:
THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), INTERIOR DRAWINGS (I 10 SHEETS), STRUCTURAL DRAWINGS (S SHEETS), MECHANICAL AND PLUMBING DRAWINGS (M & P SHEETS), & ELECTRICAL (E SHEETS). THESE DRAWINGS ARE ORGANIZED BY BUILDING UNIT.
CODE COMPLIANCE:
ALL WORK, MATERIALS, AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP.
INTENT:
THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.
COORDINATION:
THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS, AND REPORT ANY DISCREPANCIES, ERRORS, OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL, AND LIGHTING DRAWINGS.
SHOWER COMPARTMENT WALLS:
SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET. BUILT-IN TUBS WITH SHOWERS SHALL HAVE WATERPROOF JOINTS BETWEEN THE TUB AND ADJACENT WALL.
WALL AND CEILING FINISHES:
INTERIOR WALL AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES:
- CLASS A: FLAME SPREAD 0-25; SMOKE-DEVELOPED 0-450.
- CLASS B: FLAME SPREAD 26-75; SMOKE-DEVELOPED 0-450.
- CLASS C: FLAME SPREAD 76-200; SMOKE-DEVELOPED 0-450.
ALL INTERIOR FINISH MATERIALS OTHER THAN TEXTILES SHALL HAVE A CLASS C RATING.
(TEXTILE WALL COVERINGS SHALL HAVE A CLASS A FLAME SPREAD INDEX IN ACCORDANCE WITH ASTM E 84 AND BE PROTECTED BY AUTOMATIC SPRINKLERS.)
SEE RCP SERIES FOR CEILING, SOFFIT, BEAM AND COFFER HEIGHTS.

ABBREVIATIONS USED IN SET:
A.F.F. =Above Finish Flooring
U.N.O. =Unless Noted Otherwise
T.O. =Top Of
T.O.F.F. =Top Of Finish Flooring
T.B.D. =To Be Determined / To Be Designed
(E) =Existing



① Perspective 1



④ Perspective 4



⑤ Perspective at Street



② Perspective 2



③ Perspective 3

PROJECT TEAM

PROPERTY OWNER

Steven Rosenberg
13520 Hesty Street
Sherman Oaks, CA 91423

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Flattery
701 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

SURVEYOR

San Juan Surveying
102 Society Drive
Telluride, CO 81435
Office: 970.728.1128

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 166AR2-7 Stonegate
6 Stonegate Drive
Town of Mountain Village, CO 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	10/08/2021
2		
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Lot 7

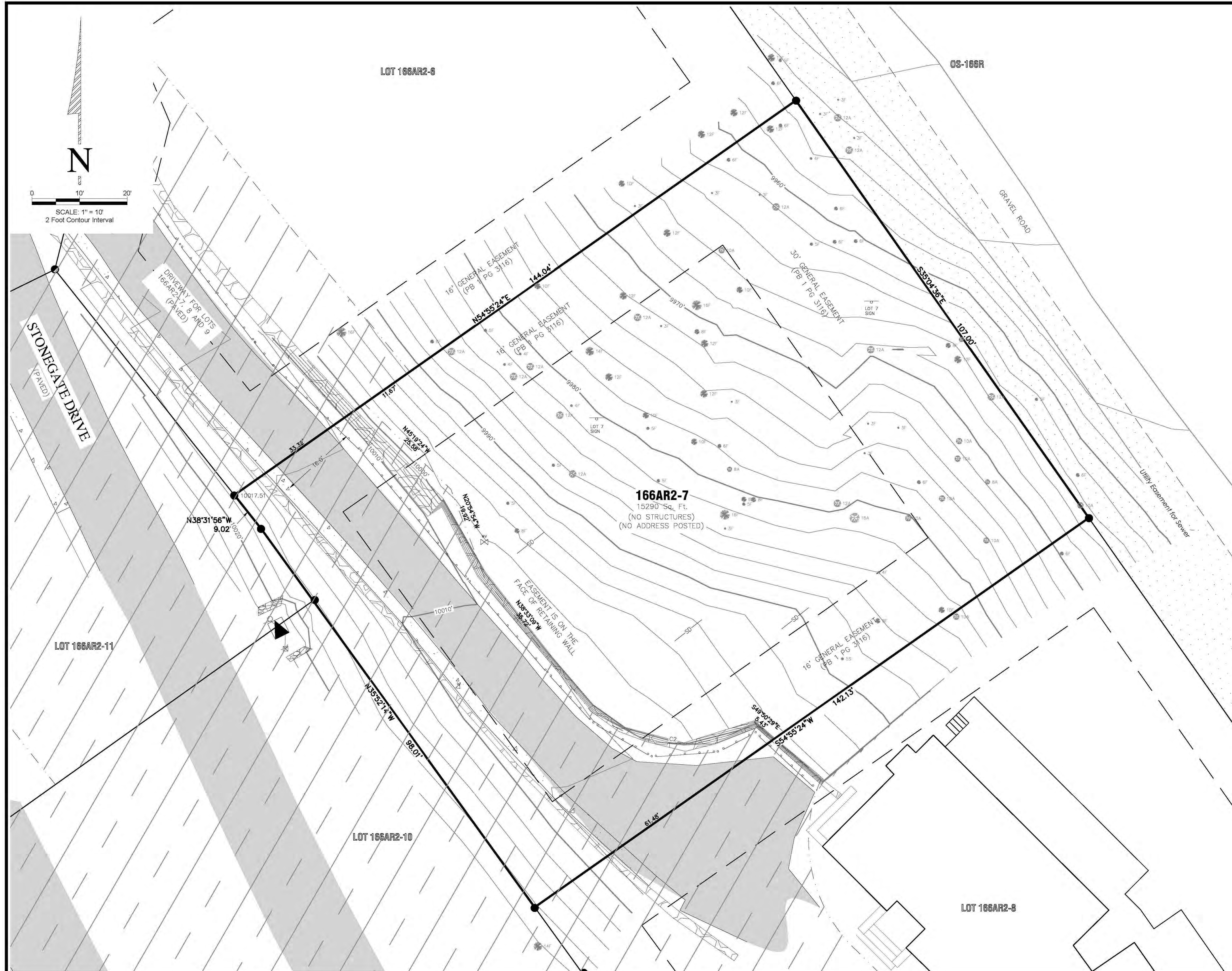
STONEGATE

Building Perspectives

Date:	10/08/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 0.1

Scale:



LEGEND

- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 28652
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 36577
- ⊗ TELEPHONE PEDESTAL
- ▲ ELECTRIC TRANSFORMER
- CABLE PEDESTAL
- ⊗ WATER VALVE
- ⊗ SIGN
- ⊗ FIR TREE, # INDICATES CALIPER
- ⊗ ASPEN TREE, # INDICATES CALIPER
- PVC DRAIN
- GUARD RAIL
- RETAINING WALL
- PVC DRAIN PIPE
- ▨ INDICATES COMMON DRIVEWAY AND UTILITY EASEMENT (MODIFIED PLAT BOOK 1 PAGE 4677)

NOTICE:

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

NOTES:

1. According to Flood Insurance Rate Map 08113C0287 D dated September 30, 1988, this parcel lies within Flood Zone "X" (Areas determined to be outside the 500-year flood plain).
2. Easement research from Land Title Guarantee Company, Commitment No. TLR60011130, Effective Date 01/26/2021 at 05:00 PM.
3. Vertical datum is based on the found Northwest corner of 166-AR2-7, an Aluminum Cap Rebar, LS 36577, having an elevation of 10,017.51 feet.
4. Fieldwork was performed May 2021.
5. Lineal Units U.S. Survey Feet
6. The use of this Improvement Survey Plat by any person or entity other than the person or entity certified to without the express permission of San Juan Surveying is prohibited.

PROPERTY DESCRIPTION:

Lot 166-AR2-7, Telluride Mountain Village, according to the Replat of Lot 166-AR, OSP-51 and OS-166 to Lots 166-AR2-1 thru 166-AR2-15, Parcel A, OSP-51A, OSP-51RB and OS-166R recorded April 4, 2003 in Plat Book 1 at page 3116.

County of San Miguel,
State of Colorado

BASIS OF BEARINGS:

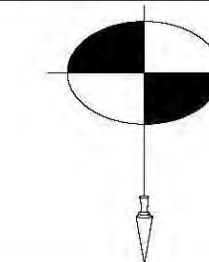
The Basis of Bearings for this Improvement Survey Plat was derived from the southwesterly boundary as depicted on the Plat filed as "THE CABINS AT GOLD HILL" recorded in Plat book 1 at page 2228. Said line also being a portion of the easterly boundary of OS-166 and having a bearing of **N 35°04'36" W**.

SURVEYOR'S CERTIFICATE:

I, Christopher R. Kennedy, of San Juan Surveying, being a licensed and Registered Land Surveyor in the State of Colorado, do hereby certify that this Improvement Survey Plat prepared for Land Title Guarantee Company and Steven Rosenberg was performed under my direct responsibility, supervision, and checking, and that the information herein is true and accurate to the best of my belief and knowledge. I further certify that the monuments as shown were field set as required by Articles 50 and 51 of Title 38, C.R.S.

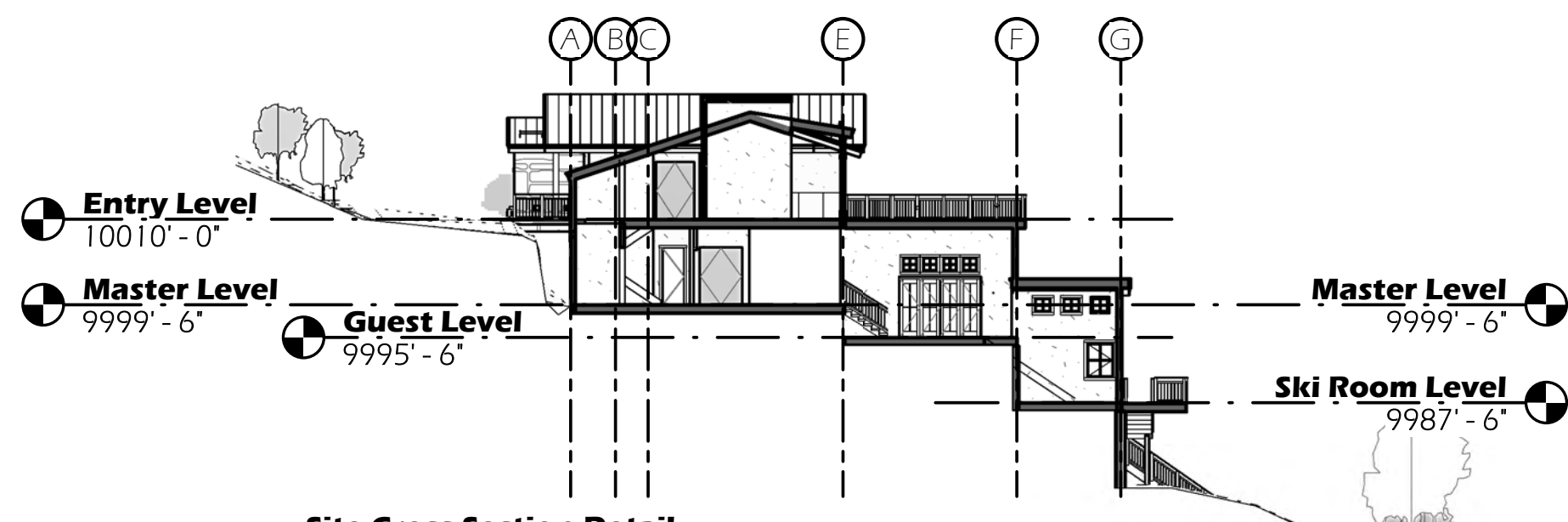
Christopher R. Kennedy
 Christopher R. Kennedy, P.L.S. 36577
 05/25/2021

IMPROVEMENT SURVEY PLAT
LOT 166AR2-7, TELLURIDE MOUNTAIN VILLAGE



SAN JUAN SURVEYING
 SURVEYING * PLANNING
 102 SOCIETY DRIVE TELLURIDE, CO. 81435
 (970) 728-1128 (970) 728-9201 fax
 office@sanjuansurveying.net

DATE:	05/25/2021
JOB:	02005
DRAWN BY:	KSK
CHECKED BY:	CRK
REVISION DATES:	
SHEET:	1 OF 1



1 Site Cross Section Detail
1" = 20'-0"

SITE PLAN NOTES:

- ONLY EXISTING TREES SHOWN. SEE LANDSCAPE PLAN FOR NEW PLANTINGS
- SITE IS NOT LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREA; SITE HAS NO ROCK OUT CROPPING OR WETLANDS
- CONTRACTOR RESPONSIBLE FOR LOCATING AND ROUTING EXISTING UTILITIES TO PROPOSED LOCATIONS. INSTALLATION TO BE REVIEWED AND APPROVED BY UTILITY COMPANY
- EXISTING UTILITY SUPPLY TO REMAIN
- ANY EXISTING OVERHEAD UTILITIES TO BE BURIED
- SEE LIGHTING PLAN FOR ALL EXTERIOR LIGHTING INFORMATION
- SEE LANDSCAPE PLAN FOR ALL PLANTING DETAILS
- NO ROOF TOP EQUIPMENT SHOWN, AS NONE WILL BE INSTALLED
- ALL DRAINAGE TO COMPLY WITH PUBLIC WORKS REQUIREMENTS
- ALL EGRESS WINDOW WELLS TO DRAIN INTO DRY WELLS BELOW SLAB, DRY WELLS TO BE LOOSE GRAVEL 24" MINIMUM BELOW SLAB
- EGRESS LADDER TO BE PROVIDED AT ALL WINDOW WELL LOCATIONS UNLESS WALKOUT TO GRADE PROVIDED
- ALL RETAINING WALLS 4' ABOVE GRADE AND TALLER SHALL BE ENGINEERED BY A LICENSED ENGINEER
- FINISH GRADE AROUND THE ADDITION SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 2% FOR THE FIRST 4 FEET PER LOCAL POLICY.
- SOILS PREPARATION SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL ENGINEER.

PROJECT TEAM

PROPERTY OWNER
Steven Rosenberg
13520 Hesby Street
Sherman Oaks, CA 91423

ARCHITECT
Architect: Dylan Henderson
Associate Architect: Brian Flattery
701 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

SURVEYOR
San Juan Surveying
102 Society Drive
Telluride, CO 81435
Office: 970.728-1128

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 166AR2-7 Stonegate
6 Stonegate Drive
Town of Mountain Village, CO 81435

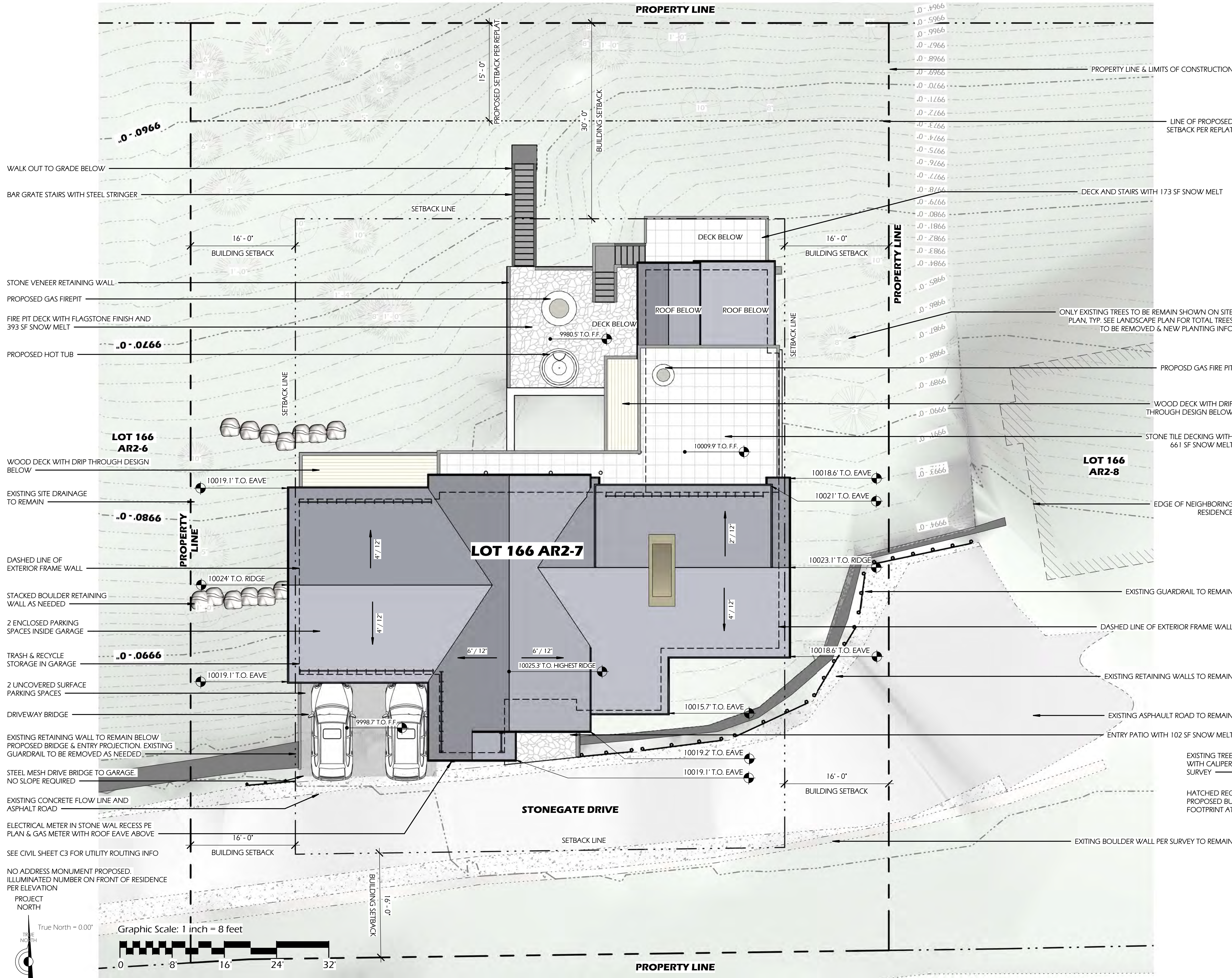
No.	Drawing Set Description	Issued Date
1	IASR Review	10/08/2021
2		
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Lot 7
STONEGATE
Site Plan

Date: 10/08/2021
Drawn by: DH / BF
Checked by: DH / BF

A 1.2
Scale: As indicated



SNOW MELT TOTALS

393	FIRE PIT DECK
173	SKI LEVEL DECK & STAIRS
661	ENTRY LEVEL DECK
102	ENTRY PATIO

PLANTING SYMBOLS

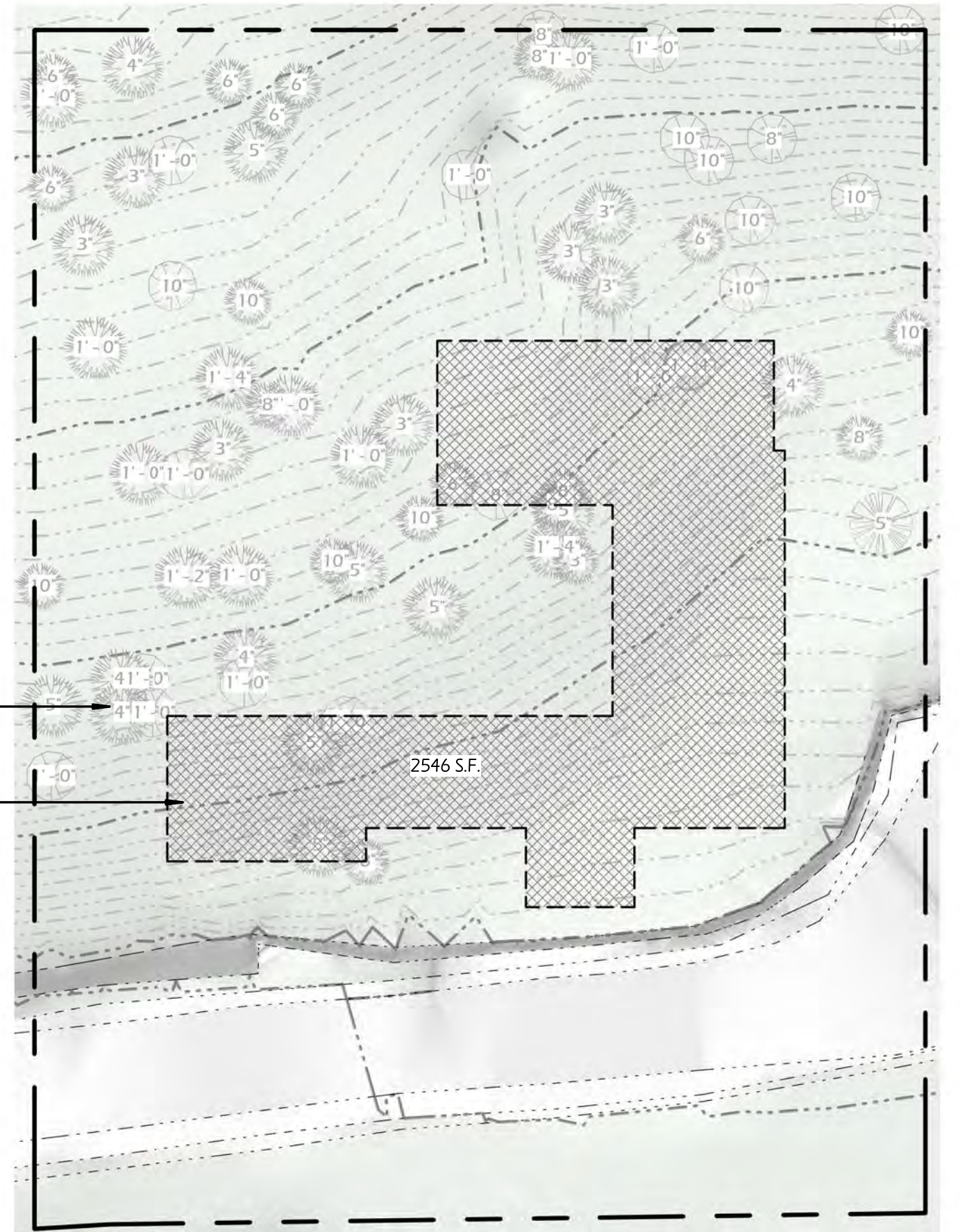
- EXISTING PLANTING TO REMAIN (SYMBOL SHOWN GRAYTONE)
- EXISTING PLANTING TO BE REMOVED (SYMBOL SHOWN GRAYTONE WITH DASHED LINES)
- NEW PROPOSED PLANTING (SYMBOL SHOWN BLACK WITH COLORED FILL)

LINETYPES LEGEND

- SEWER
- WATER VALVE
- EXISTING MAJOR CONTOUR
- NEW CONTOUR
- GRADE ELEVATION TAG
- PROPERTY LINE
- EASEMENT / SETBACK
- OHE-OHE OVERHEAD ELECTRICAL
- OC-OC OVERHEAD CABLE
- G-G-G GAS LINE
- S-S-S SEWER LINE
- W-W-W WATER LINE

2 Site Plan
1/8" = 1'-0"

3 Lot Coverage Plan
1/16" = 1'-0"



PROJECT TEAM

PROPERTY OWNER

Steven Rosenberg
13520 Hesby Street
Sherman Oaks, CA 91423

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Flately
701 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

SURVEYOR

San Juan Surveying
102 Society Drive
Telluride, CO 81435
Office: 970.728-1128

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 166AR2-7 Stonegate
6 Stonegate Drive
Town of Mountain Village, CO 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	10/08/2021
2		
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Lot 7

STONEGATE

Landscape

Date:	10/08/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 1.3

Scale: As indicated

LANDSCAPE NOTES:

REVEGETATION NOTES

- SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
- TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REVEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
- BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN TEN DAYS) TO MINIMIZE EROSION AND WEEDS.
- AREAS WHICH HAVE BEEN COMPACTED, OR ARE RELATIVELY UNDISTURBED, NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
- BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING.
- STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY AND 2 TONS PER ACRE FOR STRAW, CRIMP IN.
- ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
- ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
- SEED ALL AREAS LABELED AS REVEG/RESEED WITH TELSKI WILDFLOWER GRASS AND SEED MIX OF A RATE AS FOLLOWS:

Native Grass Seed Mix.

i. Seeding with the native grass seed mix or the wetland buffer mix, if applicable, is required in all disturbed areas on the perimeter of the building site and at utility and road cuts.

(a) Native Grass Seed Mix (General Revegetation)

- Western Yarrow 5%
- Tall Fescue 10%
- Arizona Fescue 5%
- Hard Fescue 5%
- Creeping Red Fescue 10%
- Alpine Bluegrass 15%
- Canada Bluegrass 10%
- Perennial Ryegrass 15%
- Slender Wheatgrass 10%
- Mountain Brome 15%

(b) Wetlands Buffer Mix

To be planted within twenty feet (20') of wetland areas

- Arizona Fescue 14%
- Alpine Bluegrass 14%
- Slender Wheatgrass 35%
- Mountain Brome 36%

LANDSCAPE GENERAL NOTES

- ALL TREES AND SHRUBS SHALL BE FIELD LOCATED BY PROJECT ARCHITECT.
- ALL TREES AND SHRUBS SHALL BE BACK FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
- NECESSARY TREES SHALL BE STAKED WITH 4 FOOT METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRAPS.
- PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
- SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER, SHREDDED BARK.
- ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANTED MATERIALS SHALL BE A NON-NOXIOUS SPECIES AS SPECIFIED WITHIN THE SAN MIGUEL COUNTY NOXIOUS WEED LIST. LANDSCAPING SHOWN ON THE LANDSCAPE PLAN SHALL COMPLY WITH SECTION 9-109 OF THE DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.
- ALL NEW PLANTED ASPEN TREES TO BE MULTI-STEM TREES.

IRRIGATION

- T TAP WITH RAINBIRD PVB-075 BACKFLOW PREVENTER
- RAINBIRD RCM-12 ELECTROMECHANICAL CONTROLLER
- 1 1/2" WILKINS MODEL 500 PRESSURE REGULATOR
- RAINBIRD 150 ELECTRIC REMOTE CONTROL VALVE
- 1" CLASS 200 PVC MAINLINE
- 1" NSF POLYLATERAL LINE
- WATER SENSOR
- RAINBIRD POP-UP DRIP LINE
- TREES AND SHRUBS TO BE DRIP ONLY-DRIP ZONES TO BE SHUT OFF (2) FULL GROWING SEASONS AFTER PLANT ESTABLISHMENT
- TEMPORARY IRRIGATION OF REVEGETATED AREAS - LONG TERM WATERING TO BE ASSESSED TOT AUTHORITY

Planting - Existing To Remain

Type Mark	Type Comments	Count	Phase Created	Phase Demolished
	4 in Caliper	6	New Construction	None
ASPEN	8 in Caliper	2	Existing	None
ASPEN	10 in Caliper	3	Existing	None
ASPEN	12 in Caliper	3	Existing	None
FIR	3 in Caliper	2	Existing	None
FIR	4 in Caliper	1	Existing	None
FIR	5 in Caliper	2	Existing	None
FIR	6 in Caliper	5	Existing	None
FIR	8 in Caliper	3	Existing	None
FIR	10 in Caliper	3	Existing	None
FIR	12 in Caliper	4	Existing	None
FIR	16 in Caliper	1	Existing	None
SPRUCE	4 in Caliper	4	New Construction	None
SPRUCE	5 in Caliper	1	Existing	None
		40		

Planting - Existing To Be Removed

Type Mark	Type Comments	Count	Phase Created	Phase Demolished
ASPEN	8 in Caliper	1	Existing	New Construction
ASPEN	10 in Caliper	4	Existing	New Construction
ASPEN	12 in Caliper	7	Existing	New Construction
ASPEN	16 in Caliper	1	Existing	New Construction
FIR	3 in Caliper	6	Existing	New Construction
FIR	4 in Caliper	4	Existing	New Construction
FIR	5 in Caliper	5	Existing	New Construction
FIR	6 in Caliper	2	Existing	New Construction
FIR	8 in Caliper	3	Existing	New Construction
FIR	10 in Caliper	2	Existing	New Construction
FIR	12 in Caliper	3	Existing	New Construction
FIR	14 in Caliper	1	Existing	New Construction
FIR	16 in Caliper	1	Existing	New Construction
		40		

Planting - New Proposed

Type Mark	Type Comments	Count	Phase Created	Phase Demolished
	4 in Caliper	6	New Construction	None
SPRUCE	4 in Caliper	4	New Construction	None
		10		

Planting - Symbols Legend

(Symbol with gray tone) EXISTING PLANTING TO REMAIN (SYMBOL SHOWN GRAYTONE)

(Symbol with dashed lines and gray tone) EXISTING PLANTING TO BE REMOVED (SYMBOL SHOWN GRAYTONE WITH DASHED LINES)

(Symbol with black fill and colored fill) NEW PROPOSED PLANTING (SYMBOL SHOWN BLACK WITH COLORED FILL)

(Symbol with caliper size shown) ASPEN WITH CALIPER SIZE SHOWN
NOTE: PLANTINGS ARE LABELED WITH CALIPER SIZE. REFER TO SURVEY & SITE PLAN SHEETS FOR EXISTING TREE SIZE INFORMATION

(Symbol with radiating lines) SPRUCE

(Symbol with radiating lines) DWARF EVERGREEN

(Hatched area) HATCHED AREA OF REVEG / RESEED



Landscape Plan
1/8" = 1'-0"

True North = 000°

Graphic Scale: 1 inch = 8 feet

0 8' 16' 24' 32'

PROJECT TEAM

PROPERTY OWNER

Steven Rosenberg
13520 HESBY STREET
SHERMAN OAKS, CA 91423

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Platley
701 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
email: dylan@saltarchitecture.com

SURVEYOR

San Juan Surveying
102 Society Drive
Telluride, CO 81435
Office: 970.728.1128

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 166AR-7 Stonegate
6 Stonegate Drive
Town of Mountain Village, CO 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	10/08/2021
2		
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		



(2) SCENCE LIGHTS - TYPE 'A' AT 8'-0" AFF

1 Lighting Perspective 1



(1) SCENCE LIGHT - TYPE 'B' AT 8'-6" AFF

(2) SIDEWAL STEP LIGHTS AT 1'-6" AFF TYP.

2 Lighting Perspective 2



(4) BALLUSTER LIGHTS

(1) SIDEWAL STEP LIGHTS

(4) SIDEWAL STEP LIGHTS AT 1'-6" AFF TYPICAL

(3) RECESSED CAN LIGHTS IN CEILING ABOVE DECK

(4) SIDEWAL STEP LIGHTS

3 Lighting Perspective 3



(2) SIDEWAL STEP LIGHTS

4 Lighting Perspective 4

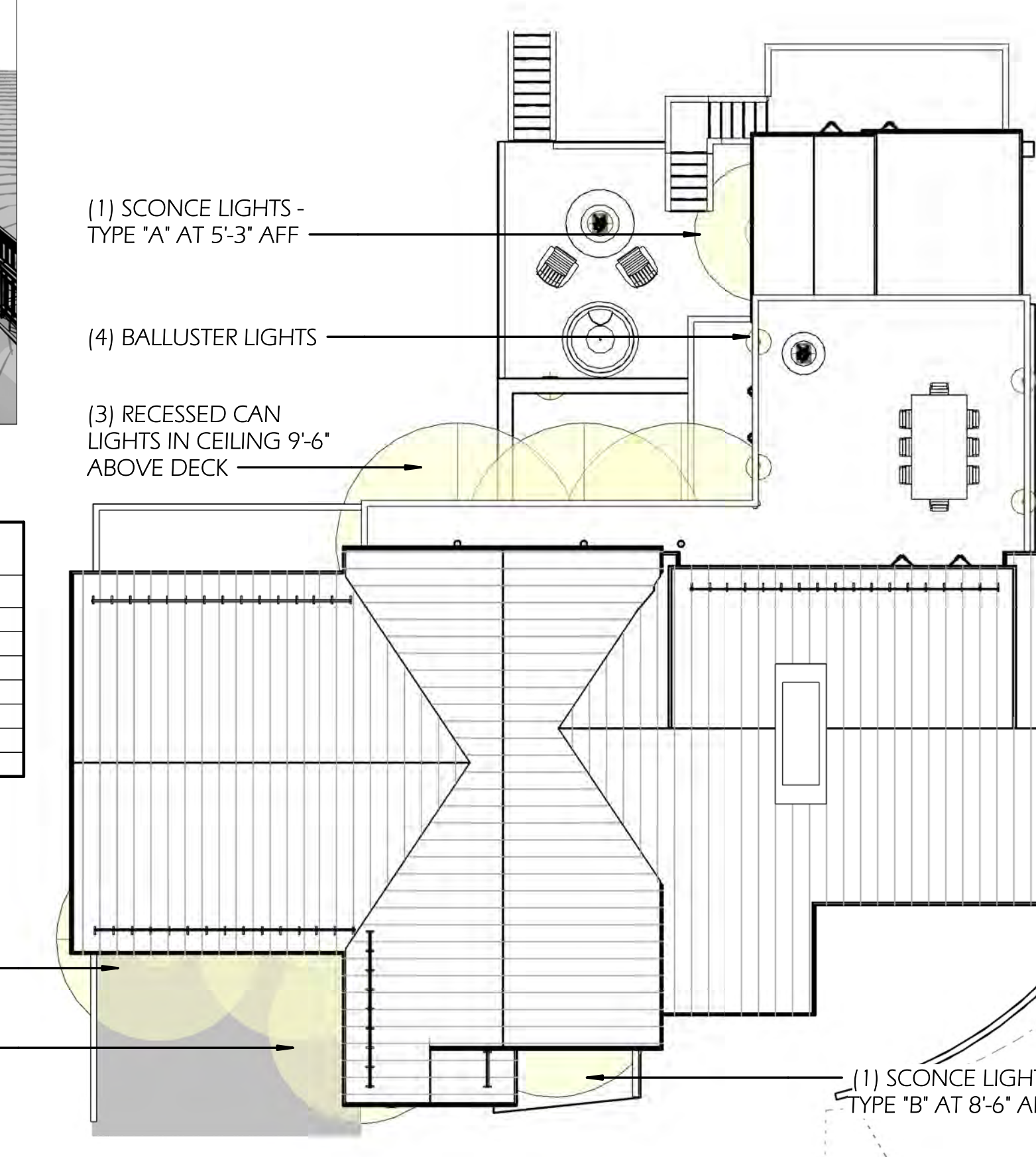


(3) RECESSED CAN LIGHTS IN CEILING 9'-6" ABOVE DECK

(1) SCENCE LIGHTS - TYPE 'A' AT 5'-3" AFF

(2) SIDEWAL STEP LIGHTS

5 Lighting Perspective 5



(1) SCENCE LIGHTS - TYPE 'A' AT 5'-3" AFF

(4) BALLUSTER LIGHTS

(3) RECESSED CAN LIGHTS IN CEILING 9'-6" ABOVE DECK

(2) SCENCE LIGHTS - TYPE 'A' AT 8'-0" AFF

(1) SCENCE LIGHTS - TYPE 'A' AT 7'-6" AFF

(1) SCENCE LIGHT - TYPE 'B' AT 8'-6" AFF

6 Lighting Key Plan
1" = 10'-0"


Lighting Fixture Schedule			
Type Mark	Type Comments	Count	Description
		7	
TYPE A	Scence	2	
TYPE C	Recessed Can Light	3	
TYPE D	Balluster Light	4	
TYPE E	Side Wall Step Light	11	
		27	

TYPE: A

- ILLUM TYPE: LED
- SOURCE LUMENS: 300
- TEMP: 3000K
- CRI: 90
- BEAM VIEW ANGLE: 90

FIXTURE HEIGHTS VARY

- LUMINOUS AREA AT 8'-0" AFF: 27.42 LUX
- SPREAD (M): 4.88m
- COVERAGE AREA (M2): 18.7m²
- LUMINOUS AREA AT 7'-6" AFF: 31.19 LUX
- SPREAD (M): 4.57m
- COVERAGE AREA (M2): 16.4m²
- LUMINOUS AREA AT 5'-3" AFF: 63.66 LUX
- SPREAD (M): 3.20m
- COVERAGE AREA (M2): 8.04m²




Alume AWL.61 Wall Sconce

Simple and refined are the best ways to describe the Alume AWL.61 Wall Sconce by LumenArt. The Opal Acrylic lenses pair well with the variety of models and finishes this fixture has to offer. Suitable for indoor and outdoor use.

- Details:**
- Material: Aluminum
 - Shade Material: Frosted White Opal Glass
 - Dimmable when used with a ELV or TRIAC or 0-10V Dimmer (Not Included)
 - ETL Listed Wet
 - 1 Light Option Fixture: Width 9", Height 4.75", Depth 1.62"
 - 1 DOWN light
 - 1 W LED

TYPE: B

- ILLUM TYPE: LED
- SOURCE LUMENS: 300
- TEMP: 3000K
- CRI: 80
- LUMINOUS AREA AT 9'-6" AFF: 19.44 LUX
- SPREAD (M): 5.79m
- COVERAGE AREA (M2): 26.3m²
- BEAM VIEW ANGLE: 90



Hinkley - Kore Bronze Square Dark Sky LED Outdoor Wall Light


Simple and refined are the best ways to describe the Alume AWL.61 Wall Sconce by LumenArt. The Opal Acrylic lenses pair well with the variety of models and finishes this fixture has to offer. Suitable for indoor and outdoor use.

Details:

- 7 1/2" high x 5 1/4" wide. Extends 4" from the wall. Backplate is 5 1/4" wide.
- Weights 2 lbs.
- Built-in dimmable 5 watt LED module
- Kore square cylinder ADA compliant
- dark sky compliant energy-efficient
- Bronze finished aluminum construction with Etched glass lens.

TYPE: C

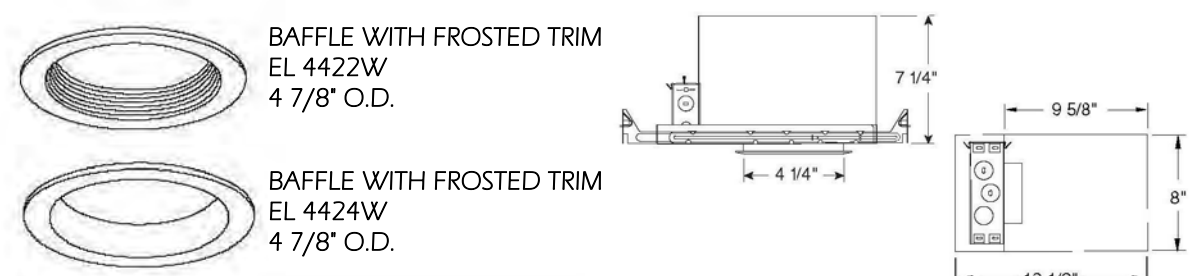
- ILLUM TYPE: LED
- SOURCE LUMENS: 660
- TEMP: 3000K
- CRI: 80
- BEAM VIEW ANGLE: 38
- LUMINOUS AREA AT 9'-6" AFF: 42.77 LUX
- SPREAD (M): 5.79m
- COVERAGE AREA (M2): 26.3m²



ELKO: ELD441CA 4" LED New Construction IC Airtight Housing


Lamp: 13W LED module, 350mA DC
Driver: 120V AC, 0.14A high quality driver Dimmable with most incandescent and electronic dimmers.
Trim Ring: Polycarbonate trim ring designed to conceal ceiling cutout.
ELD441CA: 3000°K, 660 lm
Note: Battery backup driver available upon request.

- Housing includes LED module and driver unit.
- Double wall construction, for use in insulated ceilings.
- 7 1/4" height allows for use in 2 x 8 construction.
- Adjustable housing accommodates up to 1 1/4" ceiling thickness.
- Advanced heat sink design for best heat dissipation to maintain maximum LED module life.
- Over 660 lumens effective light output (with baffle trim).
- High CRI (>80), warm white (3000°K), high lumen maintenance.
- Housing meets restricted air flow requirement (per ASTM E-283).
- CA Title 24 compliant.
- Meets ENERGY STAR requirements.
- Trims sold separately.



TYPE: D

- ILLUM TYPE: LED
- SOURCE LUMENS: 150
- TEMP: 2700K
- CRI: 90
- LUMINOUS AREA AT 10' AFF: 1.263 LUX
- SPREAD (M): 0.508m
- COVERAGE AREA (M2): 0.254m²
- BEAM VIEW ANGLE: 90



Hardy Island Matte Bronze Landscape Deck Sconce

Hinkley 16801MZ-LL - Hardy Island products are impeccably designed to defy the harshest environments. The Hardy Island Collection, named for the ruggedly beautiful island off the coast of British Columbia, defies the harshest environments in style with landscape lighting that features fully enclosed lamps and a rich weathered brass finish that will mature naturally over time.

DETAILS:

- SKU: 16801MZ-LED
- Safety Rating: C-US Wet Rated
- Material: Cast Brass
- Finish: Matte Bronze
- Category: Deck/Step Lighting
- Dimensions and Weight: Length: 2.00 in. Width: 3.50 in. Height: 3.50 in. Extension/Depth: 2.00 in. Weight: 1.10 lb.

TYPE: E

- ILLUM TYPE: LED
- SOURCE LUMENS: 68
- TEMP: 2700K
- CRI: 90
- LUMINOUS AREA AT 1'-6" AFF: 397.7 LUX
- SPREAD (M): 0.61m
- COVERAGE AREA (M2): 0.292m²
- BEAM VIEW ANGLE: 90



WL-LED100 Step And Wall Light

Construction: Die-cast corrosion resistant aluminum alloy
Low profile, flush to wall aesthetics with no visible hardware
Balanced lighting, free of shadows with minimum glare

Lot 7

STONEGATE

Exterior Lighting Plan

Date: 10/08/2021
Drawn by: DH / BF
Checked by: DH / BF

A 1.4

Scale: As indicated

PROJECT TEAM

PROPERTY OWNER

Steven Rosenberg
13520 Hesby Street
Sherman Oaks, CA 91423

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Flatley
701 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

SURVEYOR

San Juan Surveying
102 Society Drive
Telluride, CO 81435
Office: 970.728-1128

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 166AR2-7 Stonegate
6 Stonegate Drive
Town of Mountain Village, CO 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	10/08/2021
2		
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Lot 7

STONEGATE

Entry Level Floor Plan

Date:	10/08/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 2.1

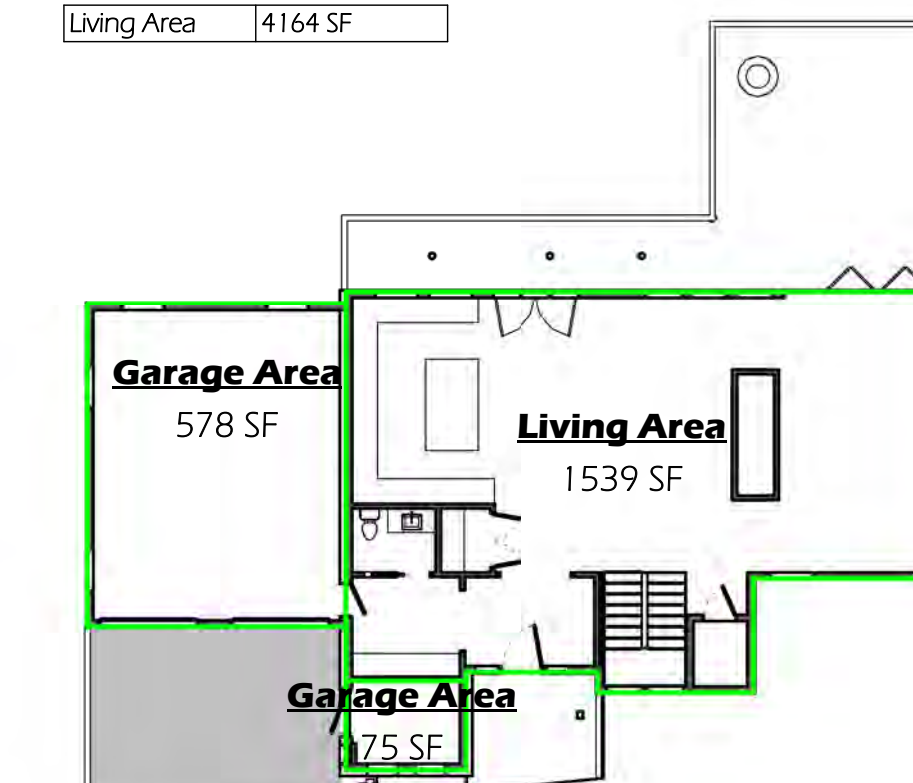
Scale: As indicated

FRAMING NOTES:

- DO NOT SCALE DIMENSIONS FROM PLANS. ANY MISSING OR UNCLEAR DIMENSIONS ARE TO BE CONFIRMED WITH THE ARCHITECTS.
- FRAMING PLANS DIMENSIONS SHOWN TO FACE OF STUD OR OBJECTS CENTER, TYPICALLY U.N.O.
- SOUND BATT INSULATION AT ALL INTERIOR WALLS & FLOOR, TYP.
- SEE AS SERIES FOR STAIR DETAILS.
- SEE A7 FOR ALL ASSEMBLY DETAILS.
- ALL FURRING ON CONCRETE WALLS SHOWN @ 2" DEEP, U.N.O.
- ALL EXTERIOR FLOORS TO BE 1" BELOW ADJACENT INTERIOR FINISH FLOOR ELEVATION
- ALL EXTERIOR SLABS AND SURFACES TO BE SLOPED TO DRAIN PER PLANS
- ALL EGRESS WINDOW WELLS TO DRAIN INTO DRY WELLS BELOW SLAB, DRY WELLS TO BE LOOSE GRAVEL 24" MINIMUM BELOW SLAB
- EGRESS LADDER TO BE PROVIDED AT ALL WINDOW WELL LOCATIONS
- LADDER OR RUNGS ARE TO HAVE AN INSIDE WIDTH OF NOT LESS THAN 12", SHALL PROJECT AT LEAST 3" FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18" ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL. THE LADDER OR STEPS SHALL NOT ENCRUMB INTO THE REQUIRED DIMENSIONS OF THE WINDOW WELL BY MORE THAN 6" AND SHALL NOT BE OBSTRUCTED BY THE EGRESS WINDOW.
- SAFETY GLAZING TO BE PROVIDED AS REQUIRED BY LOCAL CODES, (R308.4). REFER TO A8.1 FOR SPECIFIC WINDOWS & DOORS LOCATIONS THAT REQUIRE SAFETY GLAZING

Area	Comments	Level
238 SF	Living Area	Ski Room Level
436 SF	Living Area	Guest Level
1952 SF	Living Area	Master Level
652 SF	Garage Area	Entry Level
1539 SF	Living Area	Entry Level

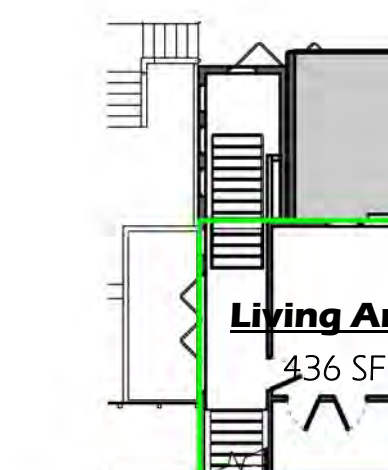
Living Area 4164 SF



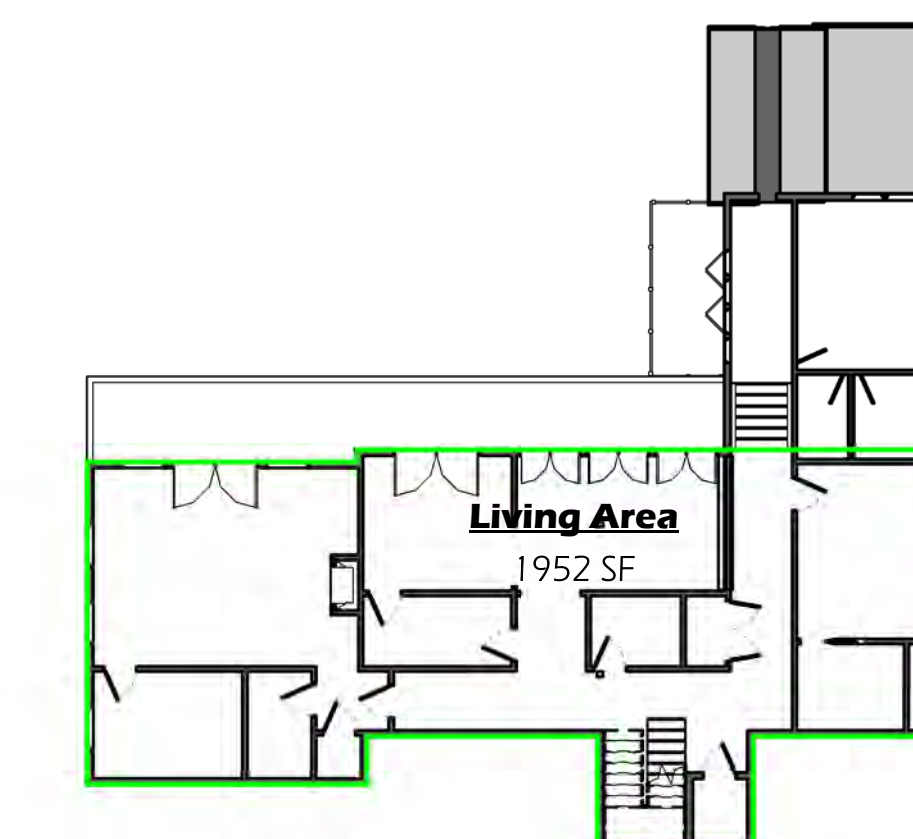
3 Entry Level
1/16" = 1'-0"



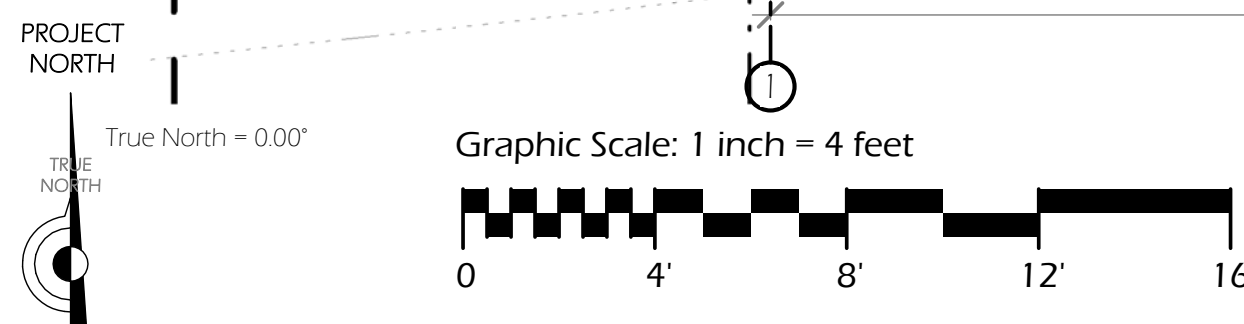
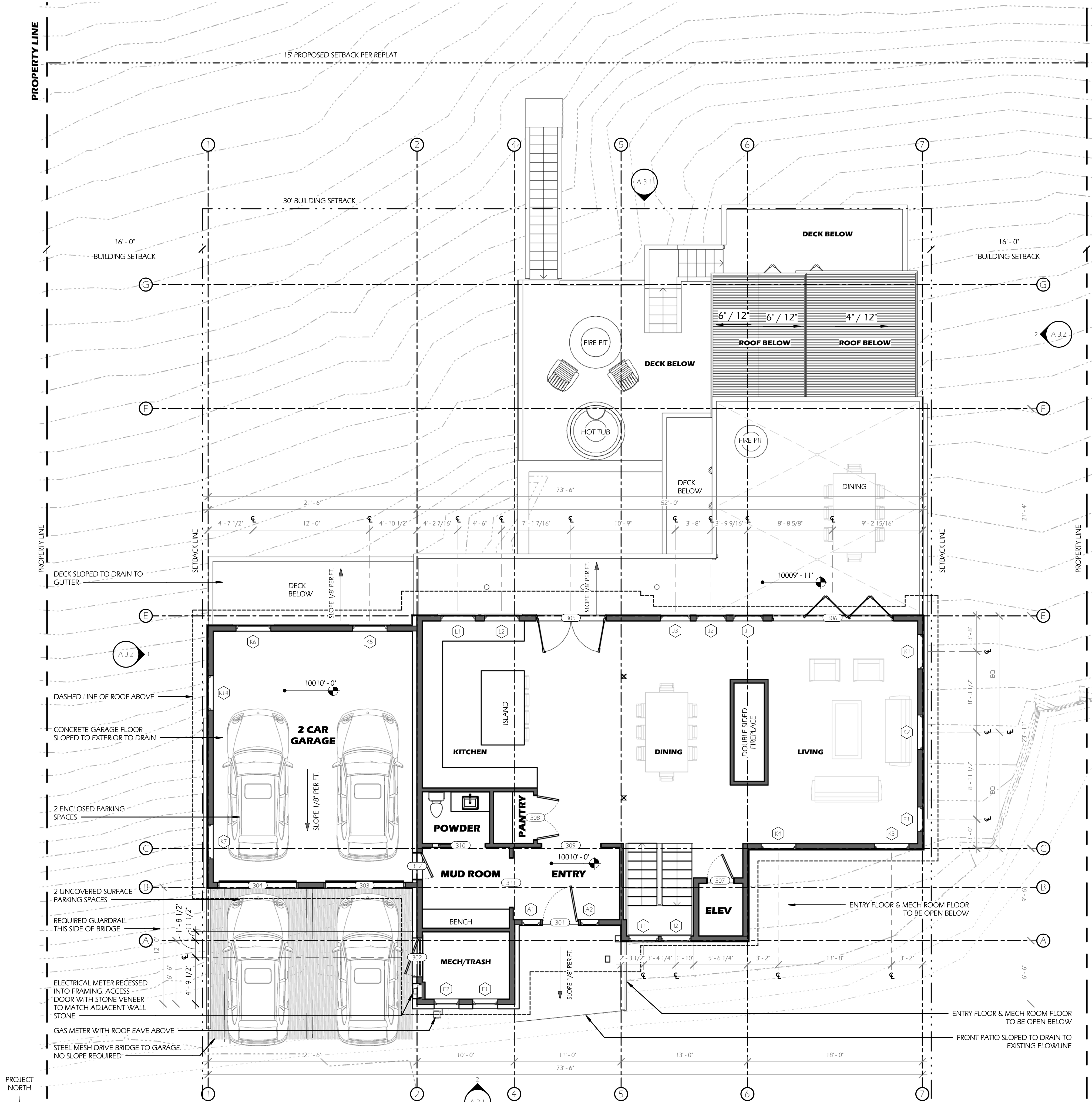
6 Ski Room Level
1/16" = 1'-0"



4 Guest Level
1/16" = 1'-0"



5 Master Level
1/16" = 1'-0"



1 Entry Level
3/16" = 1'-0"

PROJECT TEAM

PROPERTY OWNER

Steven Rosenberg
13520 Hesby Street
Sherman Oaks, CA 91423

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Flatley
701 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

SURVEYOR

San Juan Surveying
102 Society Drive
Telluride, CO 81435
Office: 970.728-1128

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 166AR2-7 Stonegate
6 Stonegate Drive
Town of Mountain Village, CO 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	10/08/2021
2		
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Lot 7

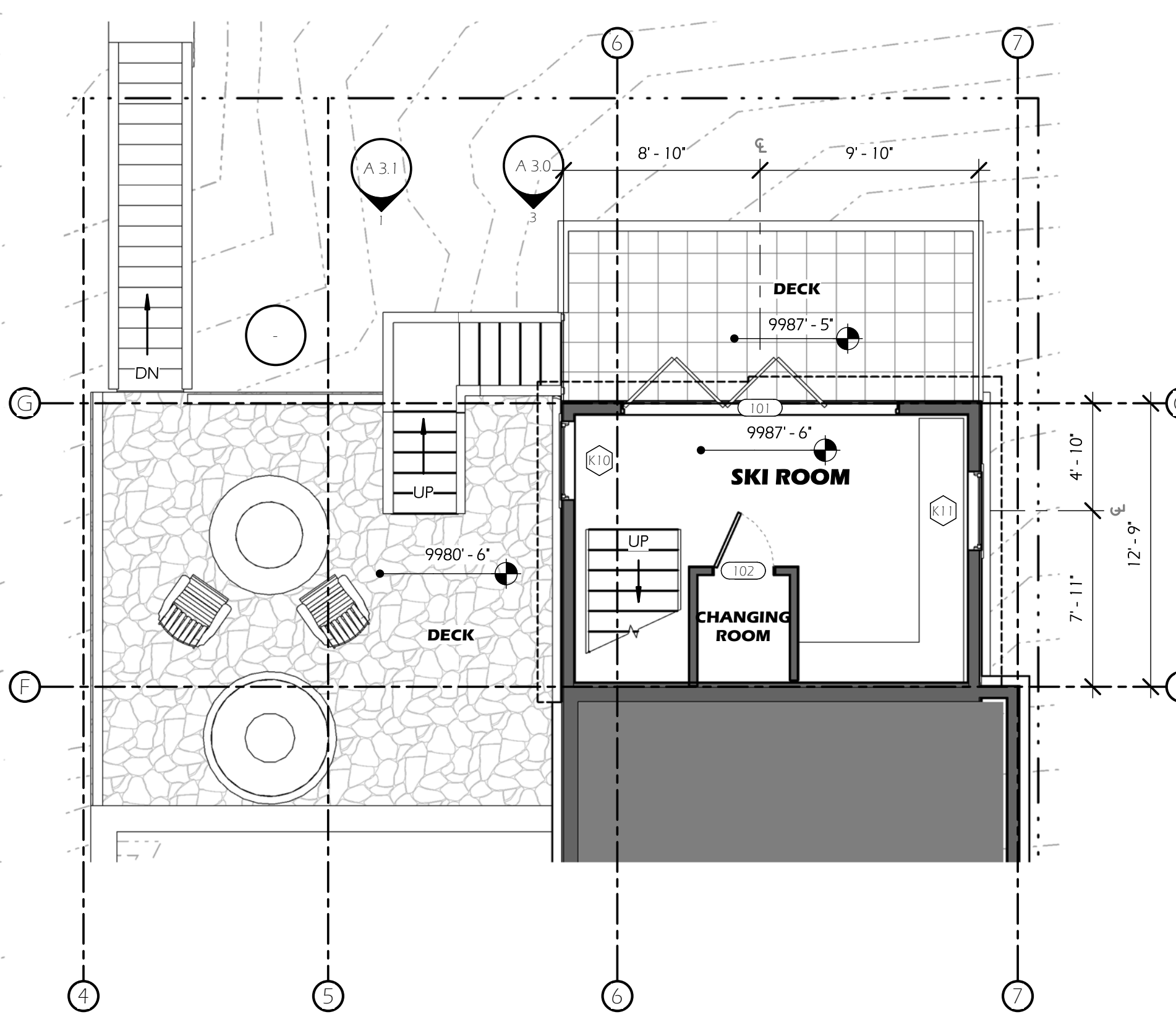
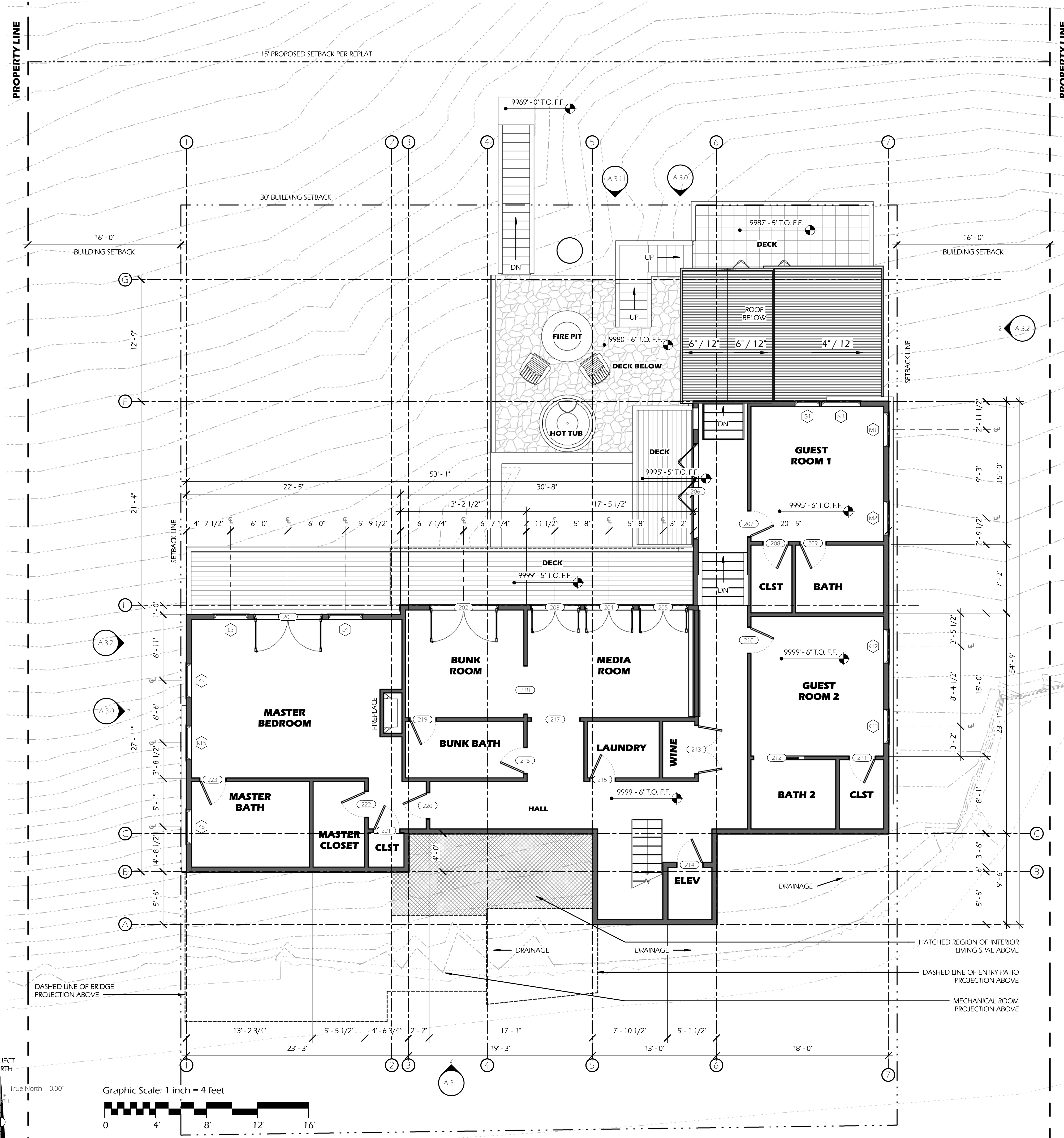
STONEGATE

Master Level & Ski Level Floor Plan

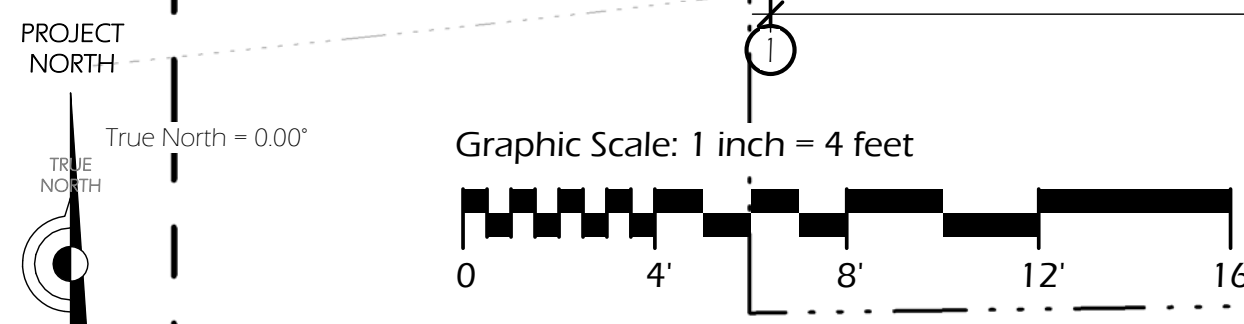
Date:	10/08/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 2.2

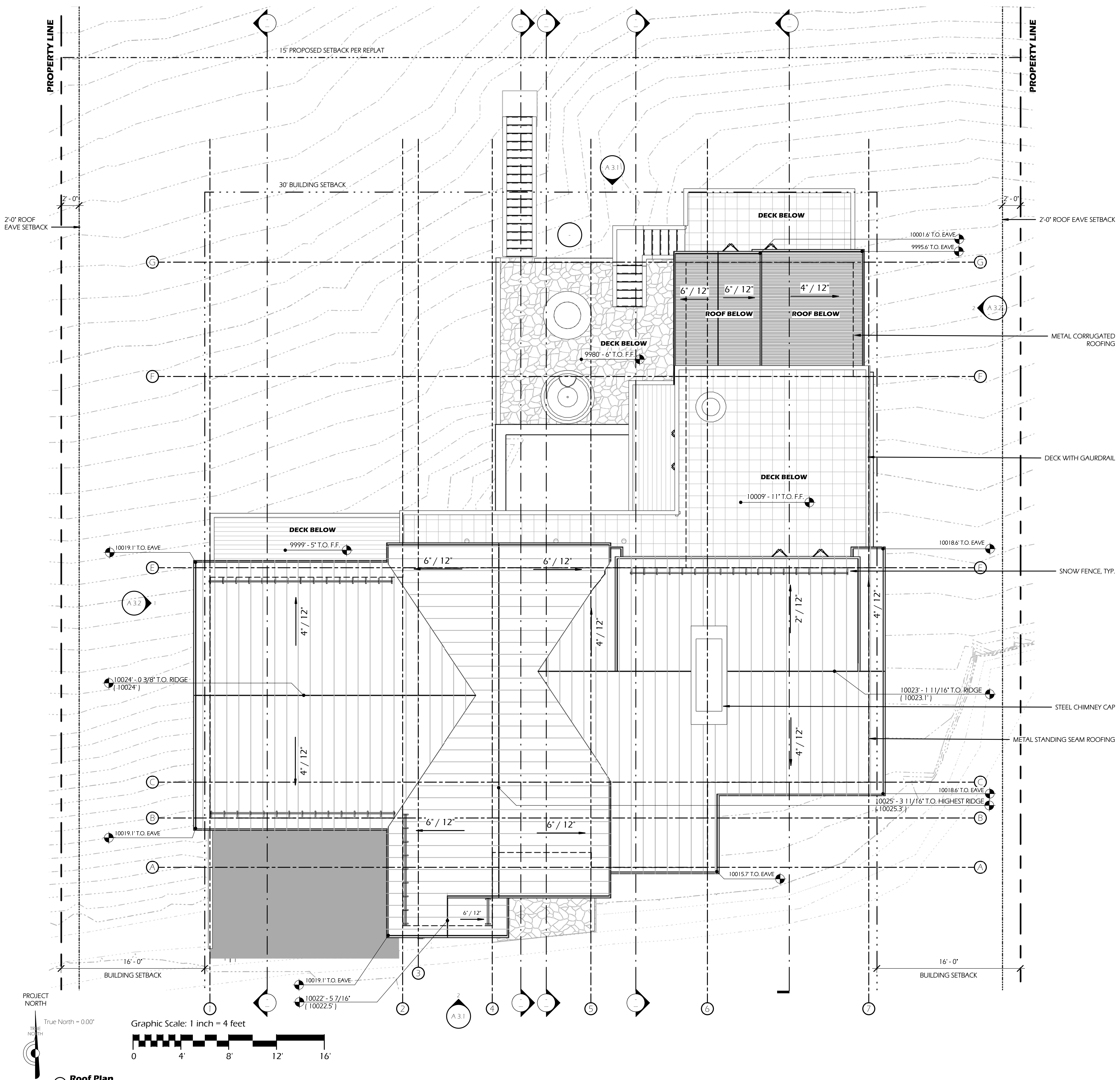
Scale: 3/16" = 1'-0"



2 Ski Room Level
3/16" = 1'-0"



1 Master Level
3/16" = 1'-0"



ROOF PLAN NOTES:

- SOUND BATT INSULATION AT ALL INTERIOR WALLS & FLOOR, TYP.
- SEE A5 SERIES FOR STAIR DETAILS
- SEE A7 FOR ALL ASSEMBLY DETAILS
- ALL FURRING ON CONCRETE WALLS SHOWN @ 2" U.N.O.
- ALL EXTERIOR FLOORS TO BE 1" BELOW ADJACENT INTERIOR FINISH FLOOR ELEVATION
- ALL SOFFITS & RIDGES TO BE FULLY SEALED PER DETAILS
- SAFETY GLAZING TO BE PROVIDED AS REQUIRED BY LOCAL CODES, (R308.4) REFER TO A8.1 FOR SPECIFIC WINDOWS & DOORS LOCATIONS THAT REQUIRE SAFETY GLAZING
- EAVE OUTLOOK DIMENSIONS SHOWN ON BUILDING SECTIONS



SALT ARCHITECTURE
 SANTA BARBARA, CA
 701 ANACAPASTREET 805.729.4276

PROJECT TEAM

PROPERTY OWNER

Steven Rosenberg
 13520 Hesby Street
 Sherman Oaks, CA 91423

ARCHITECT

Architect: Dylan Henderson
 Associate Architect: Brian Flatley
 701 Anacapa Street
 Santa Barbara, CA 93101
 Office: 805.729.4276
 Cell: 970.708.4795
 e-mail: dylan@saltarchitecture.com

SURVEYOR

San Juan Surveying
 102 Society Drive
 Telluride, CO 81435
 Office: 970.728-1128

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

Zoning District - Single Family Residence - 2018
 IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 166AR2-7 Stonegate
 6 Stonegate Drive
 Town of Mountain Village, CO 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	10/08/2021
2		
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Lot 7

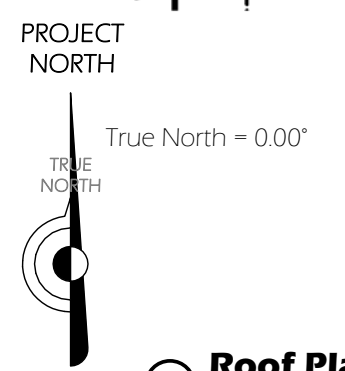
STONEGATE

Roof Plan

Date:	10/08/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 2.3

Scale: As indicated



1 Roof Plan
 3/16" = 1'-0"

COPYRIGHT 2021 10/11/2021 6:24:51 PM

PROJECT TEAM

PROPERTY OWNER

Steven Rosenberg
13520 Hestby Street
Sherman Oaks, CA 91423

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Platley
701 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

SURVEYOR

San Juan Surveying
102 Society Drive
Telluride, CO 81435
Office: 970.728.1128

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

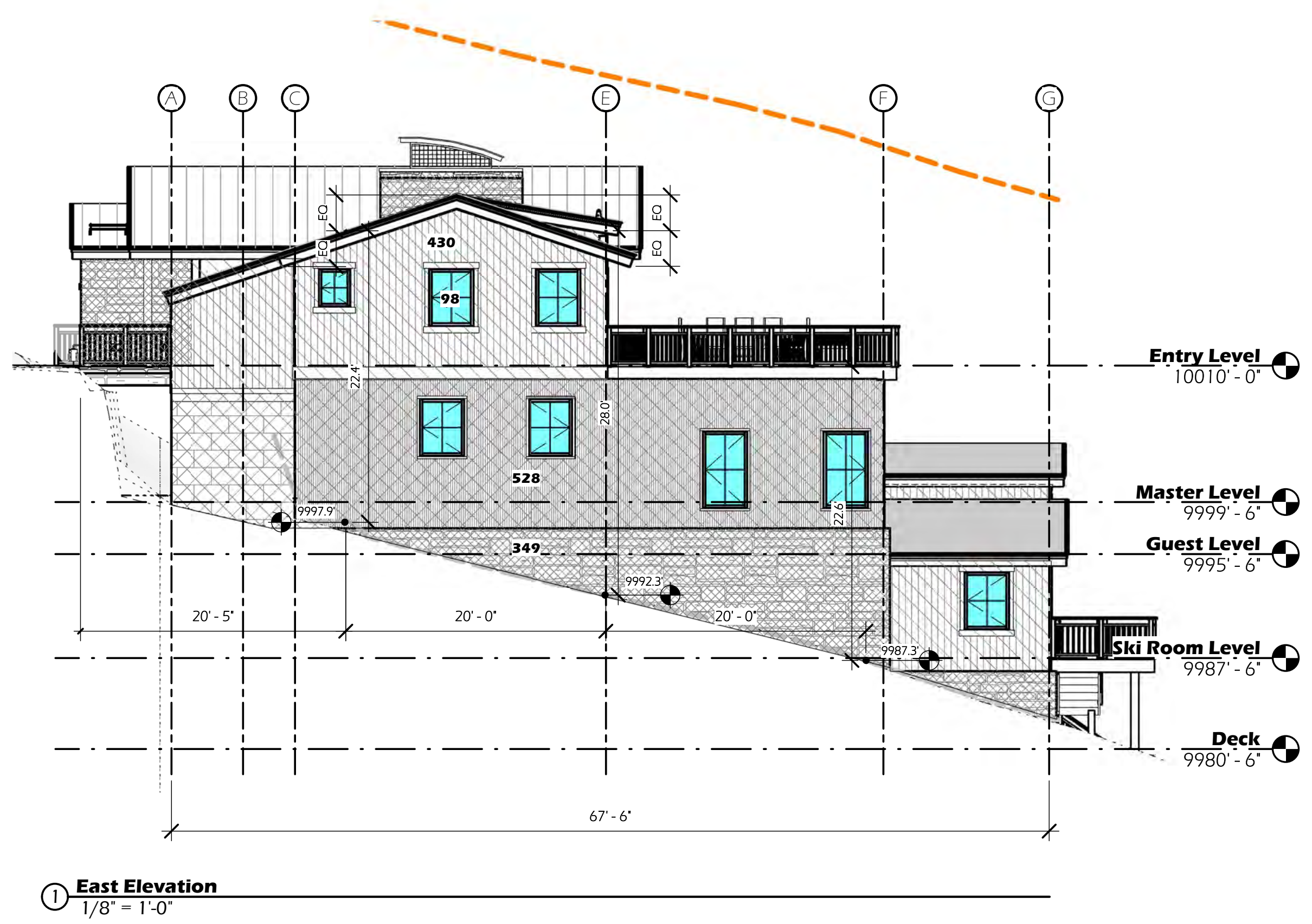
Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

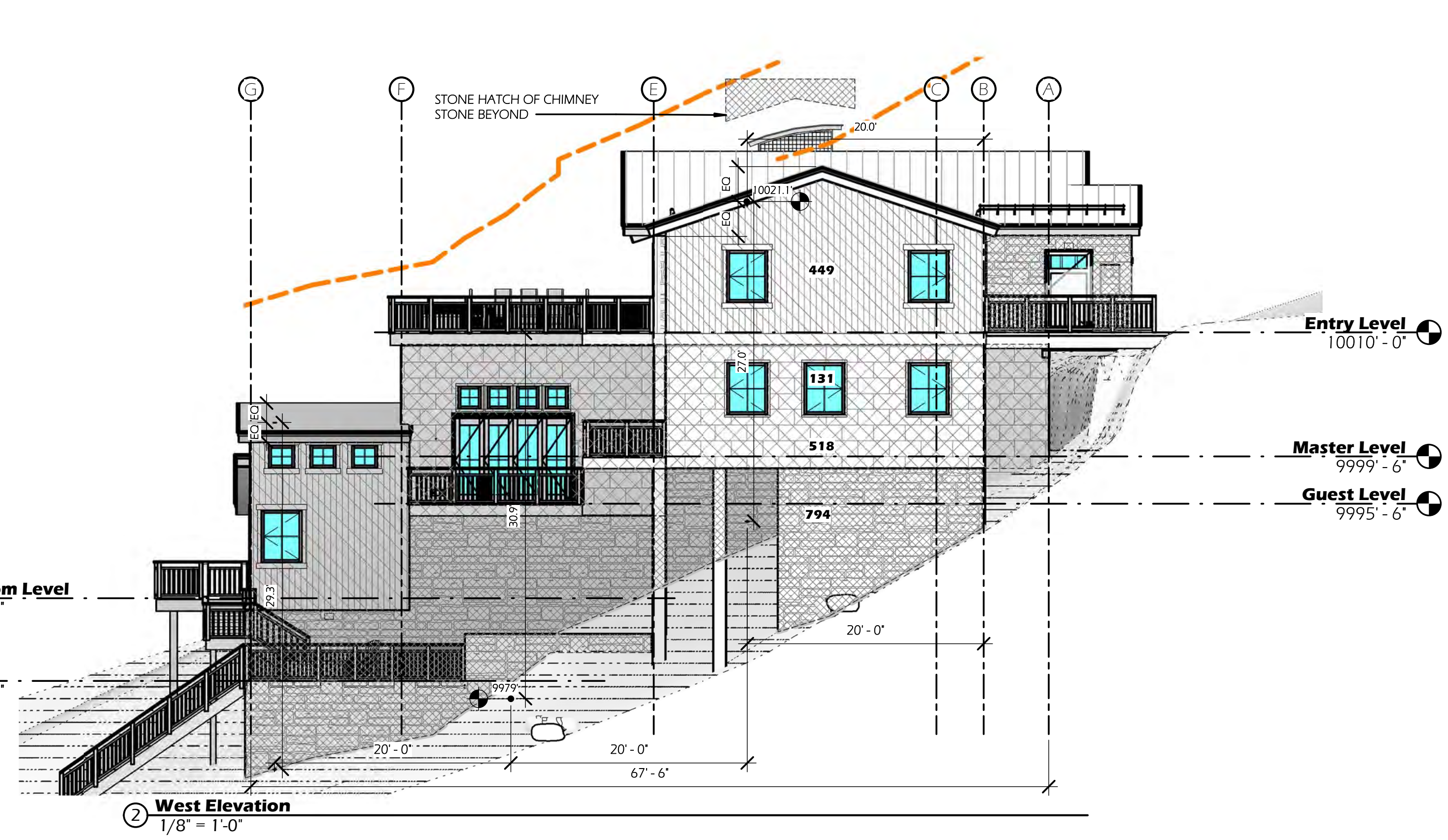
Lot 166AR2-7 Stonegate
6 Stonegate Drive
Town of Mountain Village, CO 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	10/08/2021
2		
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date



1 East Elevation
1/8" = 1'-0"



2 West Elevation
1/8" = 1'-0"

MATERIAL CALCULATIONS

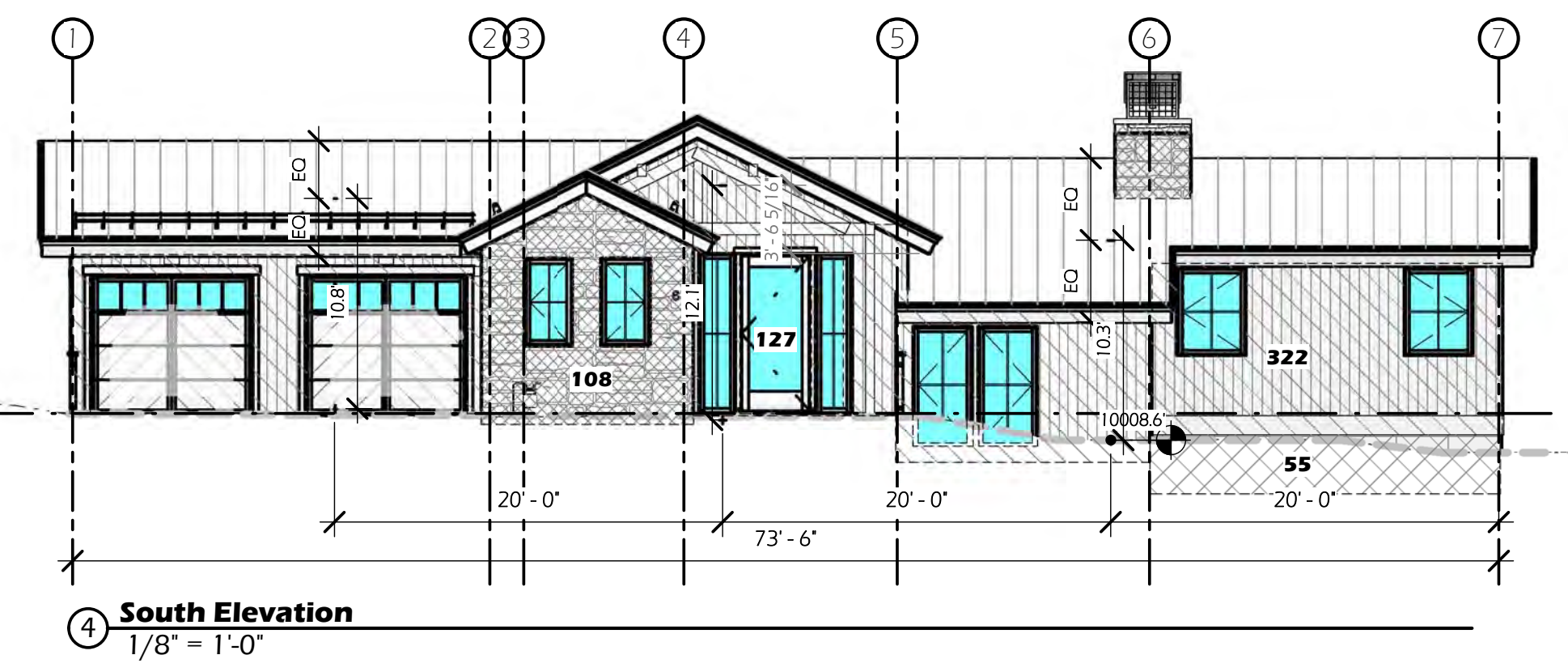
EXTERIOR WALL MATERIAL PERCENTAGES		NORTH ELEVATION	
PERCENTAGE OF STONE:	35%	TOTAL SQ. FT. OF EXTERIOR WALL :	2,493
PERCENTAGE OF STUCCO:	0%	TOTAL SQ. FT. OF STONE :	975
PERCENTAGE OF WOOD:	29%	TOTAL SQ. FT. OF STUCCO :	0
PERCENTAGE OF ACCENT MATERIAL:	24%	TOTAL SQ. FT. OF WOOD :	629
PERCENTAGE OF FENESTRATION:	12%	TOTAL SQ. FT. OF ACCENT MATERIAL:	417
		TOTAL SQ. FT. OF FENESTRATION :	472
TOTAL BUILDING		EAST ELEVATION	
TOTAL SQ. FT. OF EXTERIOR WALL:	6,402	TOTAL SQ. FT. OF EXTERIOR WALL :	1,405
TOTAL SQ. FT. OF STONE:	2,226	TOTAL SQ. FT. OF STONE :	349
TOTAL SQ. FT. OF STUCCO:	0	TOTAL SQ. FT. OF STUCCO :	0
TOTAL SQ. FT. OF WOOD:	1,830	TOTAL SQ. FT. OF WOOD :	430
TOTAL SQ. FT. OF ACCENT MATERIAL:	1,518	TOTAL SQ. FT. OF ACCENT MATERIAL:	528
TOTAL SQ. FT. OF FENESTRATION:	828	TOTAL SQ. FT. OF FENESTRATION :	98
		SOUTH ELEVATION	
		TOTAL SQ. FT. OF EXTERIOR WALL :	612
		TOTAL SQ. FT. OF STONE :	108
		TOTAL SQ. FT. OF STUCCO :	0
		TOTAL SQ. FT. OF WOOD :	322
		TOTAL SQ. FT. OF ACCENT MATERIAL:	55
		TOTAL SQ. FT. OF FENESTRATION :	127
		WEST ELEVATION	
		TOTAL SQ. FT. OF EXTERIOR WALL :	1,892
		TOTAL SQ. FT. OF STONE :	794
		TOTAL SQ. FT. OF STUCCO :	0
		TOTAL SQ. FT. OF WOOD :	449
		TOTAL SQ. FT. OF ACCENT MAT. :	518
		TOTAL SQ. FT. OF FENESTRATION :	131

HEIGHT AVERAGE CALCULATIONS

$22.4' + 28.0' + 22.6' + 29.3' + 30.9' + 27.0' + 10.3' + 19.3' + 32.3' + 35.6' = 280.6'$ (280.6' / 12) = 23.4 FT
AVERAGE HEIGHT



3 North Elevation
1/8" = 1'-0"



4 South Elevation
1/8" = 1'-0"

Lot 7

STONEGATE

Average Height & Exterior Material Compliance

Date: 10/08/2021
Drawn by: DH / BF
Checked by: DH / BF

A 3.0

Scale: As indicated

COPYRIGHT 2021 10/11/2021 6:25:06 PM

PROJECT TEAM

PROPERTY OWNER

Steven Rosenberg
13520 Hestby Street
Sherman Oaks, CA 91423

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Platley
301 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

SURVEYOR

San Juan Surveying
102 Society Drive
Telluride, CO 81435
Office: 970.728-1128

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 166AR2-7 Stonegate
6 Stonegate Drive
Town of Mountain Village, CO 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	10/08/2021
2		
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Lot 7

STONEGATE

Elevations

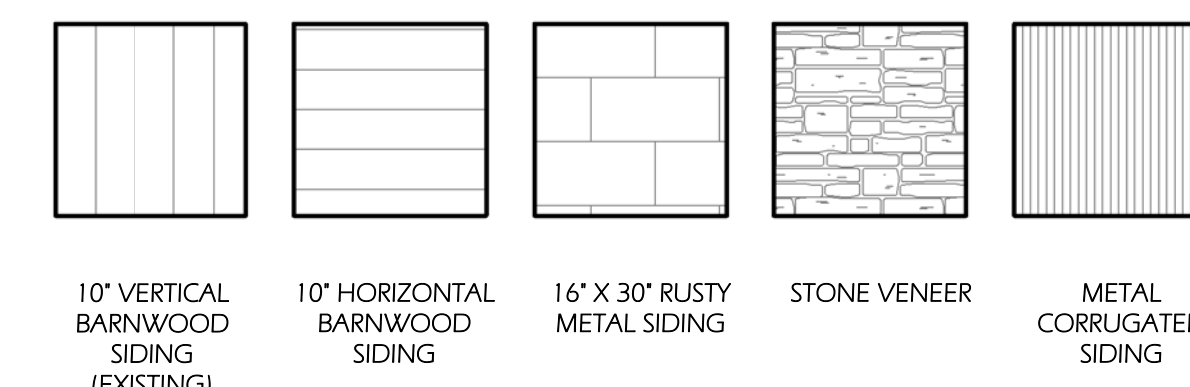
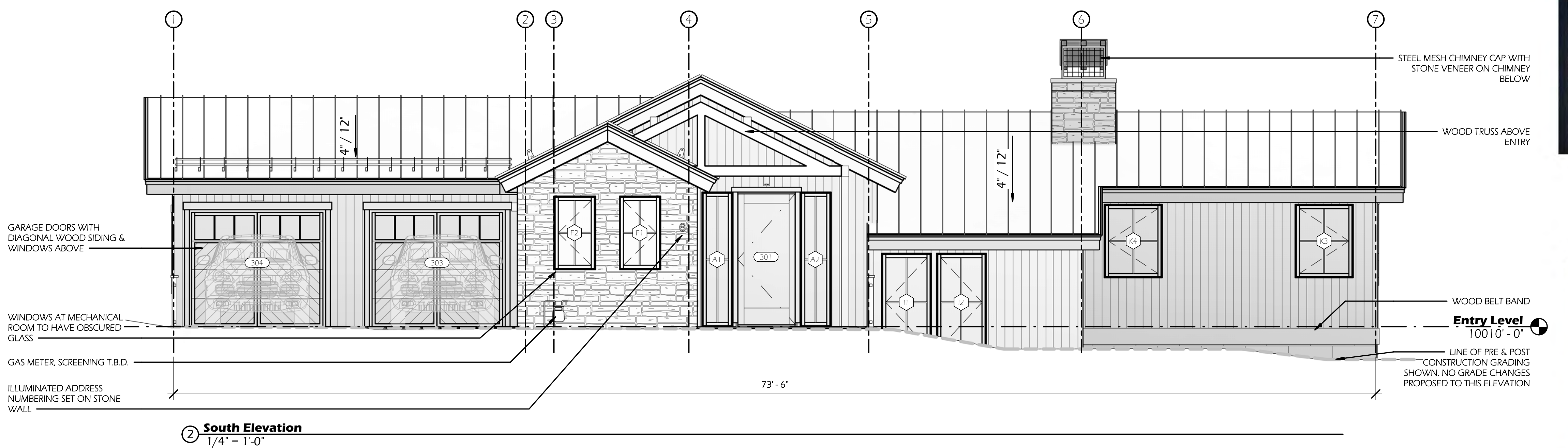
Date:	10/08/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 3.1

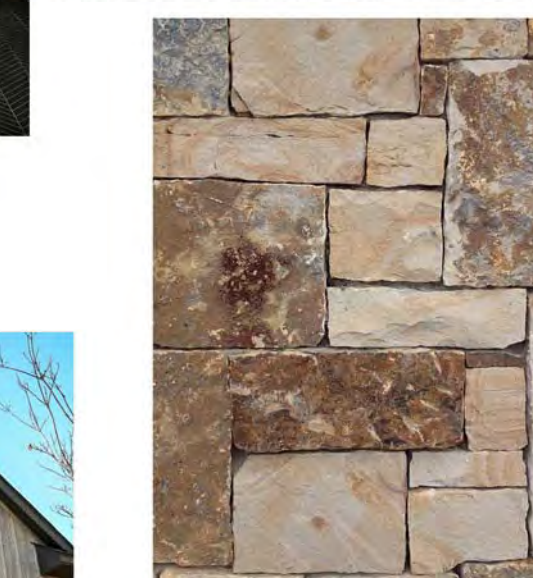
Scale: As indicated

EXTERIOR ELEVATION NOTES:

- ALL MECHANICAL VENTING TO BE PAINTED TO MATCH ADJACENT MATERIALS TO CONCEAL VENTS AS APPROPRIATE
- ALL WINDOWS & DOORS TO HAVE ALUMINUM CLAD EXTERIORS U.N.O.
- ALL WINDOW & DOOR S.D.L. BARS SHOWN ARE TO BE INTEGRAL & NOT REMOVABLE
- NO ROOF TOP EQUIPMENT SHOWN AS NONE WILL BE INSTALLED
- SEE A8.1 WINDOW & DOOR SCHEDULE FOR HEADER HEIGHTS
- SEE A4 SERIES - BUILDING SECTIONS FOR DETAIL LOCATIONS
- DASHED LINES REPRESENT WINDOW & DOOR OPERATIONS
- LABELS SHOWN ON NEW WINDOWS AND DOORS ONLY, UNLABELED WINDOWS & DOORS ARE EXISTING TO REMAIN
- USE GRADES SHOWN AS GUIDES ONLY. FINAL SITE GRADES TO HAVE POSITIVE DRAINAGE AWAY FOR BUILDING AT ALL SIDES, WITH REQUIRED MINIMUM 6" CONCRETE FOUNDATION EXPOSED. PROVIDE GRAVEL/ TRENCH DRAINAGE AS NEEDED.

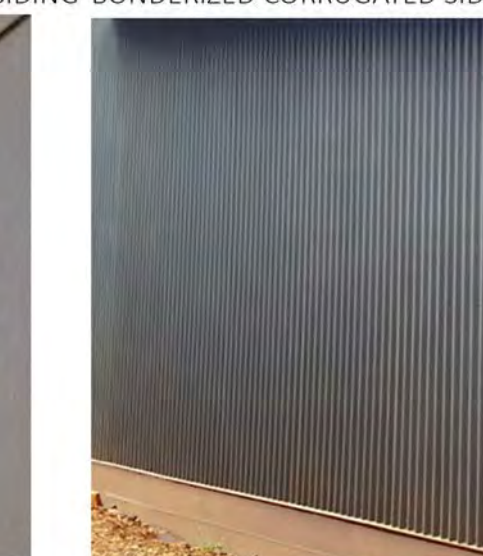
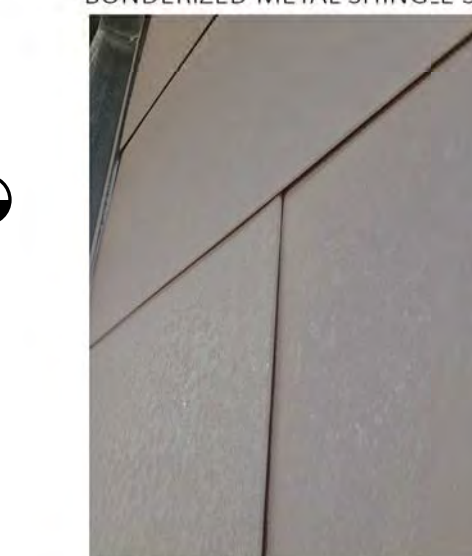


Exterior Materials
1/4" = 1'-0"



LOT 7 STONEGATE MATERIAL BOARD

BONDERIZED METAL SHING.E SIDING BONDERIZED CORRUGATED SIDING



PROJECT TEAM

PROPERTY OWNER

Steven Rosenberg
13520 Hestby Street
Sherman Oaks, CA 91423

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Flattery
701 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

SURVEYOR

San Juan Surveying
102 Society Drive
Telluride, CO 81435
Office: 970.728.1128

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 166AR2-7 Stonegate
6 Stonegate Drive
Town of Mountain Village, CO 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	10/08/2021
2		
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Lot 7

STONEGATE

Elevations

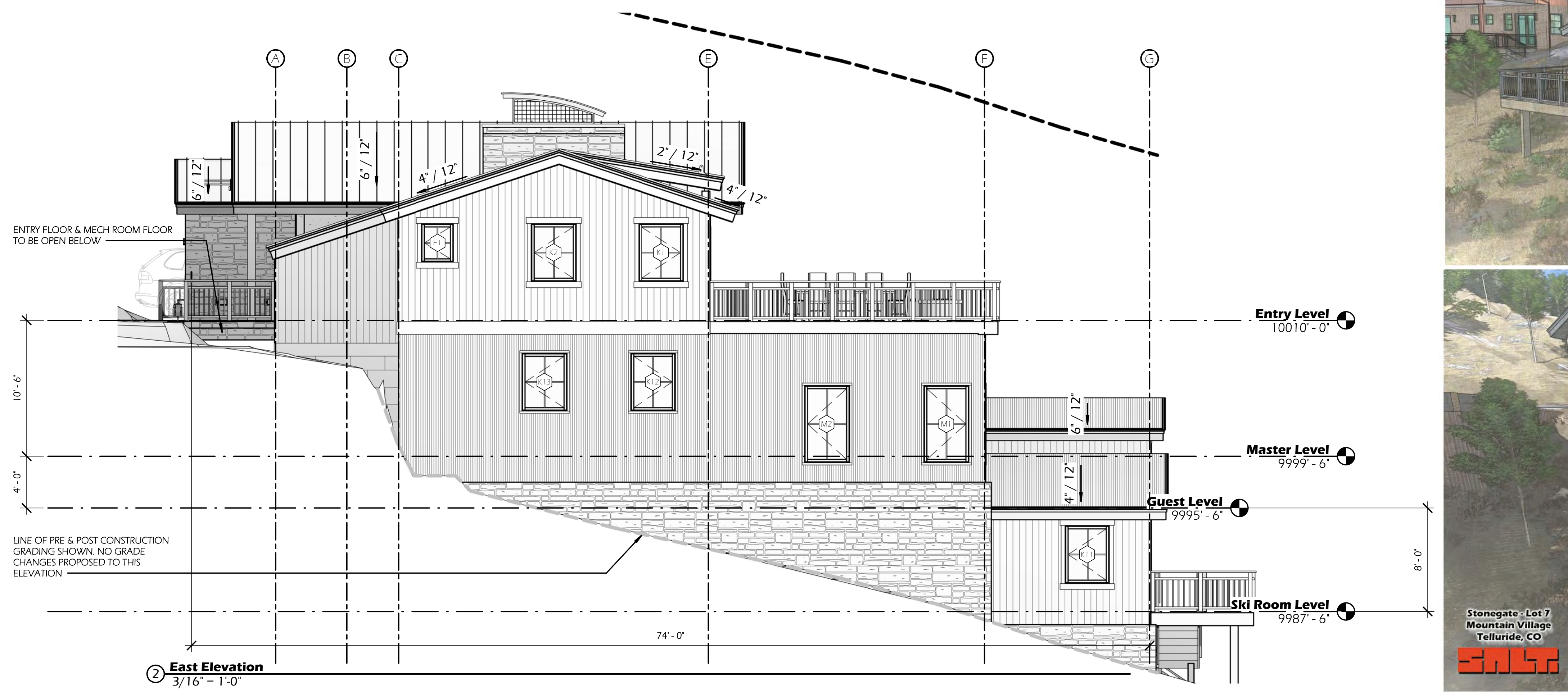
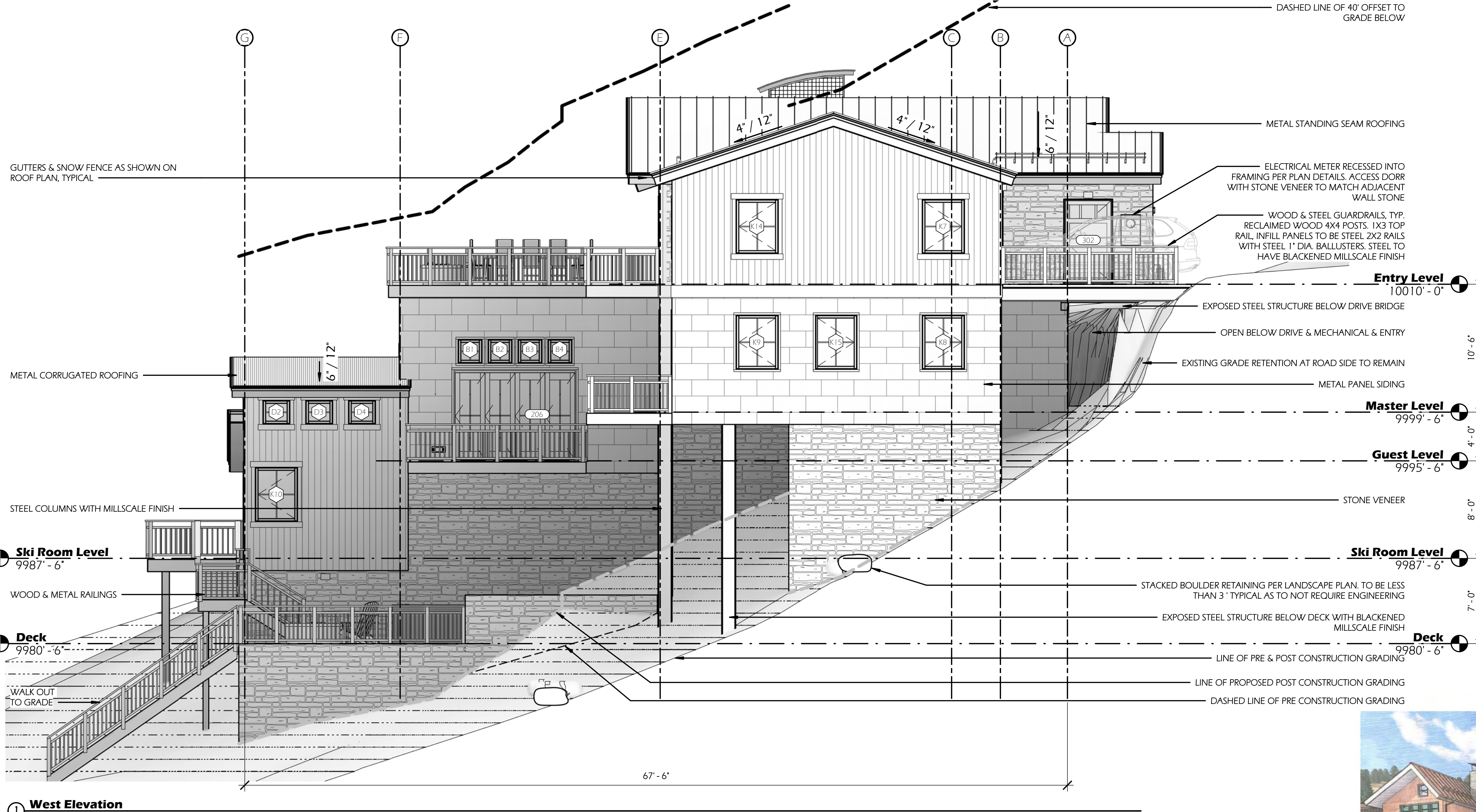
Date:	10/08/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 3.2

Scale: As indicated

EXTERIOR ELEVATION NOTES:

- ALL MECHANICAL VENTING TO BE PAINTED TO MATCH ADJACENT MATERIALS TO CONCEAL VENTS AS APPROPRIATE
- ALL WINDOWS & DOORS TO HAVE ALUMINUM CLAD EXTERIORS U.N.O.
- ALL WINDOW & DOOR SDL BARS SHOWN ARE TO BE INTEGRAL & NOT REMOVABLE
- NO ROOF TOP EQUIPMENT SHOWN AS NONE WILL BE INSTALLED
- SEE AB.1 WINDOW & DOOR SCHEDULE FOR HEADER HEIGHTS
- SEE A4 SERIES - BUILDING SECTIONS FOR DETAIL LOCATIONS
- DASHED LINES REPRESENT WINDOW & DOOR OPERATIONS
- LABELS SHOWN ON NEW WINDOWS AND DOORS ONLY, UNLABELED WINDOWS & DOORS ARE EXISTING TO REMAIN
- USE GRADES SHOWN AS GUIDES ONLY. FINAL SITE GRADES TO HAVE POSITIVE DRAINAGE AWAY FOR BUILDING AT ALL SIDES, WITH REQUIRED MINIMUM 6" CONCRETE FOUNDATION EXPOSED. PROVIDE GRAVEL/ TRENCH DRAINAGE AS NEEDED.





BLACK CLAD WINDOWS AND DOORS



EXTERIOR TIMBERS AT ROOFLINE AND TRUSS



VERTICAL STAINED CEDAR SIDING



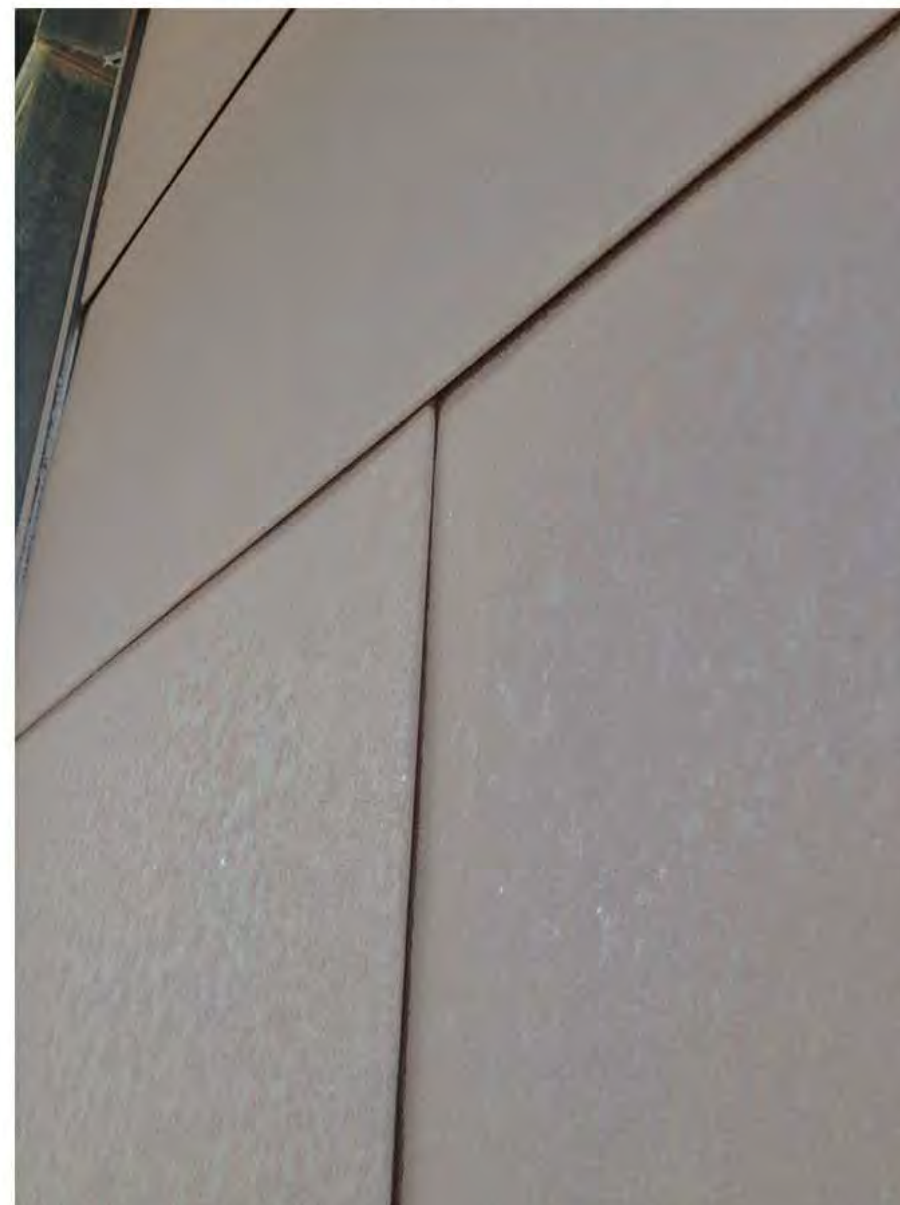
TELLURIDE GOLD ASHLAR PATTERN STONE



EXTERIOR DECK RAIL- COLOR TBD

LOT 7 STONEGATE MATERIAL BOARD

BONDERIZED METAL SHINGLE SIDING BONDERIZED CORRUGATED SIDING



STEEL BEAMS AND COLUMNS

GARAGE DOORS



SALT ARCHITECTURE
SANTA BARBARA, CA
701 ANACAPA STREET 805.729.4276

PROJECT TEAM

PROPERTY OWNER

Steven Rosenberg
13520 Hesty Street
Sherman Oaks, CA 91423

ARCHITECT

Architect: Dylan Henderson
Associate Architect: Brian Platley
701 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
e-mail: dylan@saltarchitecture.com

SURVEYOR

San Juan Surveying
102 Society Drive
Telluride, CO 81435
Office: 970.728.1128

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 166AR2-7 Stonegate
6 Stonegate Drive
Town of Mountain Village, CO 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	10/08/2021
2		
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Lot 7

STONEGATE

Exterior Materials Board

Date: 10/11/21
Drawn by: DH / BF
Checked by: DH / BF

A 3.3

Scale:

Door Schedule

ID Mark	Level	Height	Width	Head Height	Sill Height	Comments	Operation	Type Comments
101	Ski Room Level	7'-6"	12'-6"	7'-6"	0"		Fold N Stack w Single Swing Panel	Quad 2/3 Lite Panel Fold N Stack w Single Operable Panel
102	Ski Room Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel
201	Master Level	8'-0"	7'-0"	8'-0"	0"		Inswing Double French	Exterior Aluminum Clad Double Full Lite Panel
202	Master Level	8'-0"	7'-0"	8'-0"	0"		Inswing Double French	Exterior Aluminum Clad Double Full Lite Panel
203	Master Level	8'-0"	5'-0"	8'-0"	0"		Inswing Double French	Exterior Aluminum Clad Double Full Lite Panel
204	Master Level	8'-0"	5'-0"	8'-0"	0"		Inswing Double French	Exterior Aluminum Clad Double Full Lite Panel
205	Master Level	8'-0"	5'-0"	8'-0"	0"		Inswing Double French	Exterior Aluminum Clad Double Full Lite Panel
206	Guest Level	7'-6"	10'-0"	7'-6"	0"		Fold N Stack w Single Swing Panel	Quad 2/3 Lite Panel Fold N Stack w Single Operable Panel
207	Guest Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel
208	Guest Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel
209	Guest Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel
210	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel
211	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel
212	Master Level	7'-0"	2'-7 1/4"	7'-0"	0"		Pocket Slider - See Plan	Typical Interior Full Lite Panel
213	Master Level	7'-0"	5'-0"	7'-0"	0"		Double French - Swing Per Plan	Double Typical Interior 3 Panel
214	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel
215	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel
216	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel
217	Master Level	7'-0"	5'-0"	7'-0"	0"		Open - No Panel	Cased Opening
218	Master Level	7'-0"	5'-0"	7'-0"	0"		Open - No Panel	Cased Opening
219	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel
220	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel
221	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel
222	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel
223	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel
301	Entry Level	8'-0"	3'-6"	8'-0"	0"		Inswing Single French	Exterior Aluminum Clad Full Lite Panel
302	Entry Level	7'-0"	4'-0"	7'-0"	0"		Outswing Single French	Exterior Aluminum Clad 2/3 Lite Panel
303	Entry Level	7'-0"	8'-0"	7'-0"	0"		Overhead Track	Garage Door
304	Entry Level	7'-0"	8'-0"	7'-0"	0"		Overhead Track	Garage Door
305	Entry Level	7'-0"	7'-0"	7'-0"	0"		Inswing Double French	Exterior Aluminum Clad Double Full Lite Panel
306	Entry Level	7'-6"	12'-6"	7'-6"	0"		Fold N Stack w Single Swing Panel	Quad 2/3 Lite Panel Fold N Stack w Single Operable Panel
307	Entry Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel
308	Entry Level	7'-0"	4'-6"	7'-0"	0"		Double French - Swing Per Plan	Double Typical Interior 3 Panel
309	Entry Level	7'-0"	6'-0"	7'-0"	0"		Open - No Panel	Cased Opening
310	Entry Level	7'-0"	2'-8"	7'-0"	0"		Pocket Slider - See Plan	Typical Interior Flush Panel
311	Entry Level	7'-0"	5'-0"	7'-0"	0"		Open - No Panel	Cased Opening
312	Entry Level	7'-0"	2'-8"	7'-0"	0"		Hinged - See Plan	Millwork Panel

Window Schedule

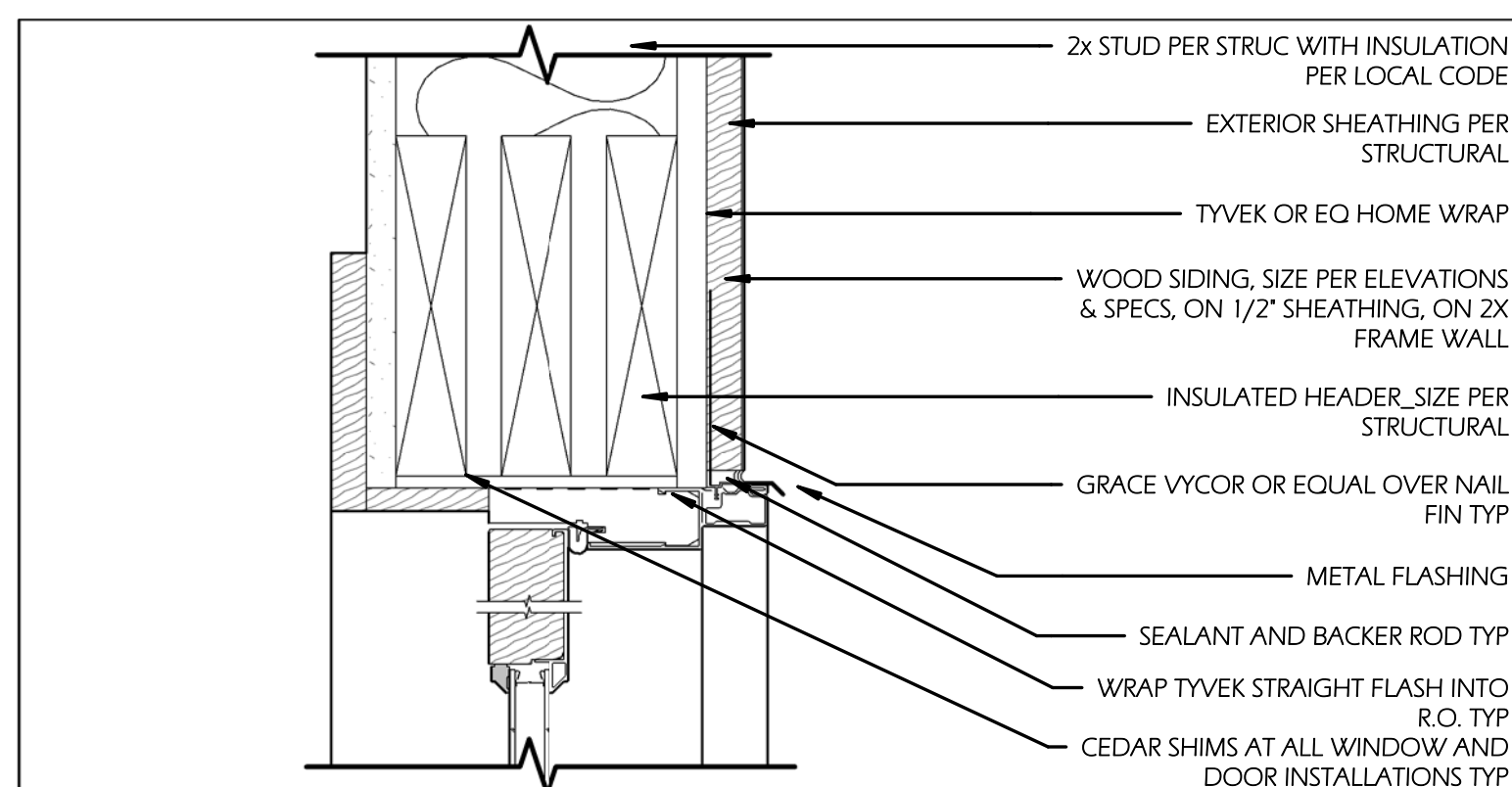
ID Mark	Level	Width	Height	Head Height	Sill Height	Type Comments	Operation
A1	Entry Level	1'-10"	8'-3"	8'-3"	0"	Casement - 1 Wide	Casement
A2	Entry Level	1'-10"	8'-3"	8'-3"	0"	Casement - 1 Wide	Casement
B1	Guest Level	2'-0"	2'-0"	10'-0"	8'-0"	Casement - 1 Wide	Casement
B2	Guest Level	2'-0"	2'-0"	10'-0"	8'-0"	Casement - 1 Wide	Casement
B3	Guest Level	2'-0"	2'-0"	10'-0"	8'-0"	Casement - 1 Wide	Casement
B4	Guest Level	2'-0"	2'-0"	10'-0"	8'-0"	Casement - 1 Wide	Casement
C1	Entry Level	2'-3"	1'-6"	9'-0"	7'-6"	Casement - 1 Wide	Casement
C2	Entry Level	2'-3"	1'-6"	9'-0"	7'-6"	Casement - 1 Wide	Casement
C3	Entry Level	2'-3"	1'-6"	9'-0"	7'-6"	Casement - 1 Wide	Casement
D1	Ski Room Level	2'-3"	2'-0"	13'-0"	11'-0"	Casement - 1 Wide	Casement
D2	Ski Room Level	2'-3"	2'-0"	13'-0"	11'-0"	Casement - 1 Wide	Casement
D3	Ski Room Level	2'-3"	2'-0"	13'-0"	11'-0"	Casement - 1 Wide	Casement
D4	Ski Room Level	2'-3"	2'-0"	13'-0"	11'-0"	Casement - 1 Wide	Casement
E1	Entry Level	2'-6"	3'-0"	7'-6"	4'-6"	Casement - 1 Wide	Casement
F1	Entry Level	2'-6"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement
F2	Entry Level	2'-6"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement
G1	Guest Level	2'-6"	6'-0"	9'-6"	3'-6"	Casement - 1 Wide	Casement
H1	Entry Level	3'-0"	2'-0"	9'-10"	7'-10"	Casement - 1 Wide	Casement
H2	Entry Level	3'-0"	2'-0"	9'-10"	7'-10"	Casement - 1 Wide	Casement
H3	Entry Level	3'-0"	2'-0"	9'-10"	7'-10"	Casement - 1 Wide	Casement
H4	Entry Level	3'-0"	2'-0"	9'-10"	7'-10"	Casement - 1 Wide	Casement
H5	Entry Level	3'-0"	2'-0"	9'-10"	7'-10"	Casement - 1 Wide	Casement
H6	Entry Level	3'-0"	2'-0"	9'-10"	7'-10"	Casement - 1 Wide	Casement
H7	Entry Level	3'-0"	2'-0"	9'-10"	7'-10"	Casement - 1 Wide	Casement
I1	Entry Level	3'-0"	6'-0"	4'-6"	-1'-6"	Casement - 1 Wide	Casement
I2	Entry Level	3'-0"	6'-0"	4'-6"	-1'-6"	Casement - 1 Wide	Casement

Window Schedule

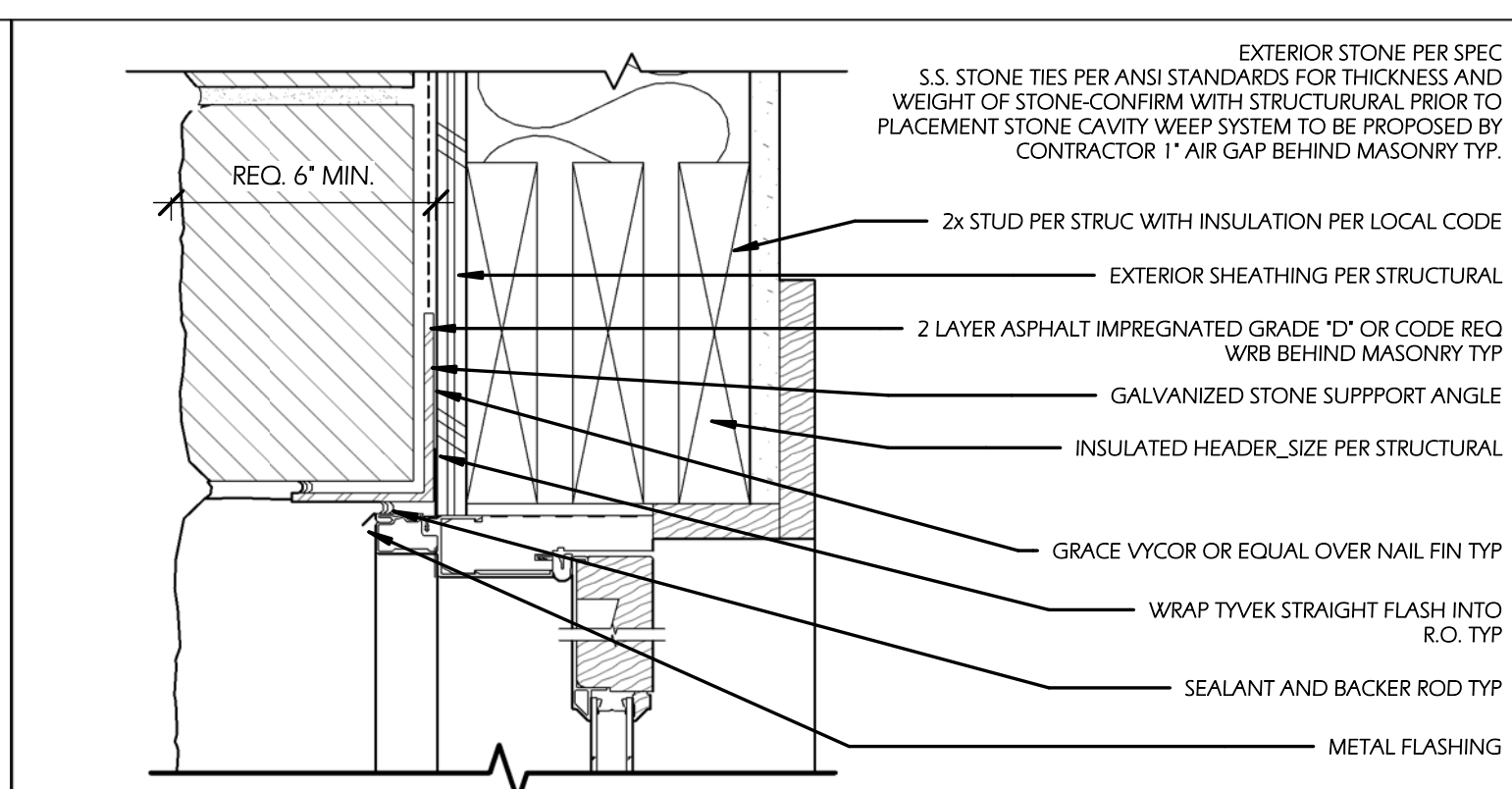
ID Mark	Level	Width	Height	Head Height	Sill Height	Type Comments	Operation
J1	Entry Level	3'-0"	6'-6"	7'-6"	1'-0"	Casement - 1 Wide	Casement
J2	Entry Level	3'-0"	6'-6"	7'-6"	1'-0"	Casement - 1 Wide	Casement
J3	Entry Level	3'-0"	6'-6"	7'-6"	1'-0"	Casement - 1 Wide	Casement
K1	Entry Level	3'-6"	4'-6"	7'-6"	3'-0"	Casement - 1 Wide	Casement
K2	Entry Level	3'-6"	4'-6"	7'-6"	3'-0"	Casement - 1 Wide	Casement
K3	Entry Level	3'-6"	4'-6"	7'-6"	3'-0"	Casement - 1 Wide	Casement
K4	Entry Level	3'-6"	4'-6"	7'-6"	3'-0"	Casement - 1 Wide	Casement
K5	Entry Level	3'-6"	4'-6"	7'-0"	2'-6"	Casement - 1 Wide	Casement
K6	Entry Level	3'-6"	4'-6"	7'-0"	2'-6"	Casement - 1 Wide	Casement
K7	Entry Level	3'-6"	4'-6"	7'-0"	2'-6"	Casement - 1 Wide	Casement
K8	Master Level	3'-6"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement
K9	Master Level	3'-6"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement
K10	Ski Room Level	3'-6"	4'-6"	7'-6"	3'-0"	Casement - 1 Wide	Casement
K11	Ski Room Level	3'-6"	4'-6"	6'-8"	2'-2"	Casement - 1 Wide	Casement
K12	Master Level	3'-6"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement
K13	Master Level	3'-6"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement
K14	Entry Level	3'-6"	4'-6"	7'-0"	2'-6"	Casement - 1 Wide	Casement
K15	Master Level	3'-6"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement
L1	Entry Level	3'-6"	5'-6"	9'-0"	3'-6"	Casement - 1 Wide	Casement
L2	Entry Level	3'-6"	5'-6"	9'-0"	3'-6"	Casement - 1 Wide	Casement
L3	Master Level	3'-6"	5'-6"	8'-0"	2'-6"	Casement - 1 Wide	Casement
L4	Master Level	3'-6"	5'-6"	8'-0"	2'-6"	Casement - 1 Wide	Casement
M1	Guest Level	3'-6"	6'-0"	9'-6"	3'-6"	Casement - 1 Wide	Casement
M2	Guest Level	3'-6"	6'-0"	9'-6"	3'-6"	Casement - 1 Wide	Casement
N1	Guest Level	4'-0"	6'-0"	9'-6"	3'-6"	Casement - 1 Wide	Casement

DOOR & WINDOW NOTES:

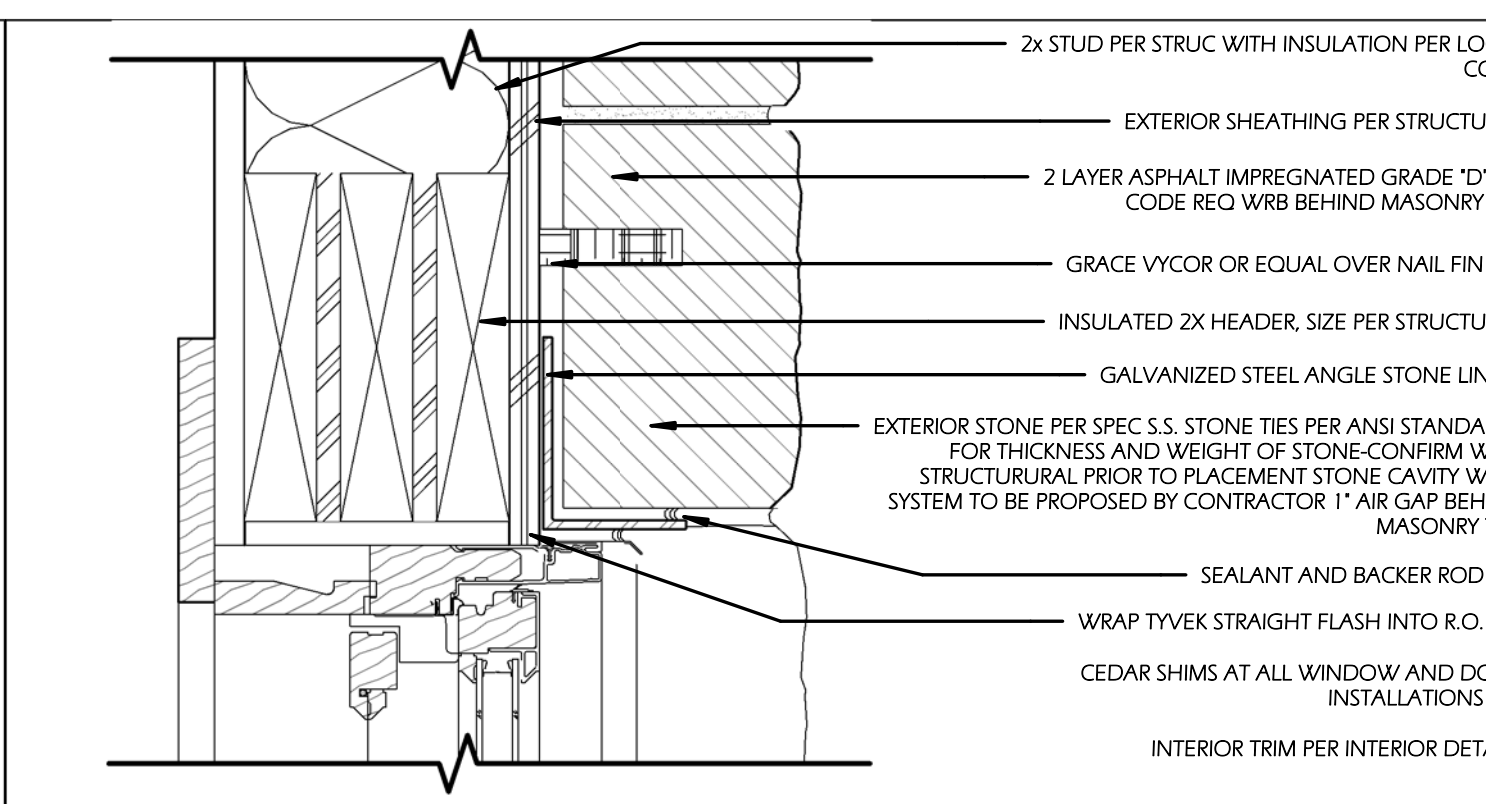
- HEAD HEIGHTS LISTED IN WINDOW SCHEDULE REFERENCE T.O. WINDOW FRAME. BUILDER TO ADD R.O. PER WINDOW MANUFACTURER RECOMMENDATIONS AND ADJUST HEADER HEIGHTS ACCORDINGLY
- ALL WINDOWS & DOORS TO HAVE ALUMINUM CLAD EXTERIOR & ARE TO BE INSTALLED PER MANU. INSTRUCTIONS
- NAIL FINIS & PENETRATIONS TO BE WRAPPED WITH GRACE ICE & WATER SHIELD OR EQUAL



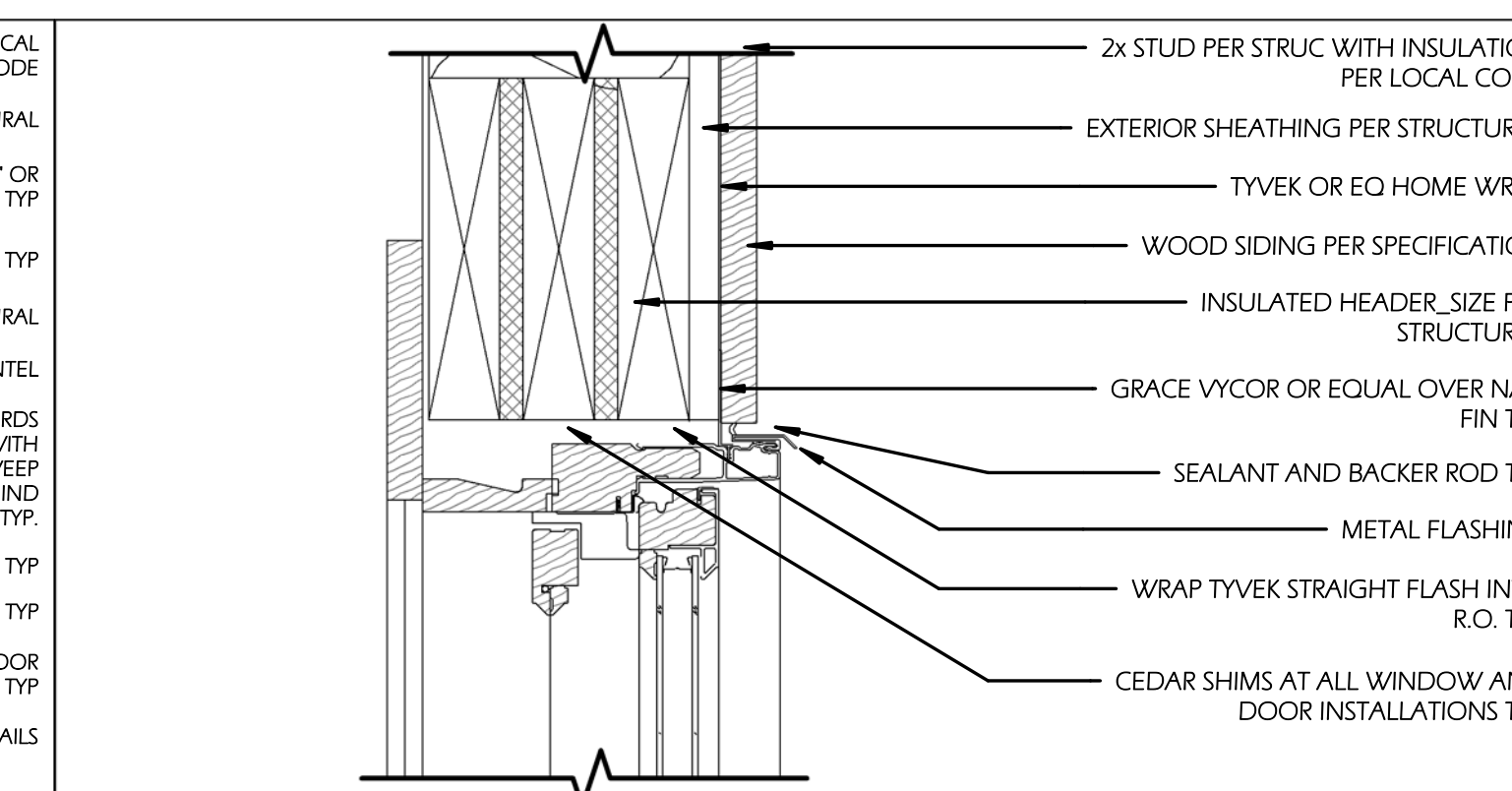
1 Door Head at Wood Siding
3" = 1'-0"



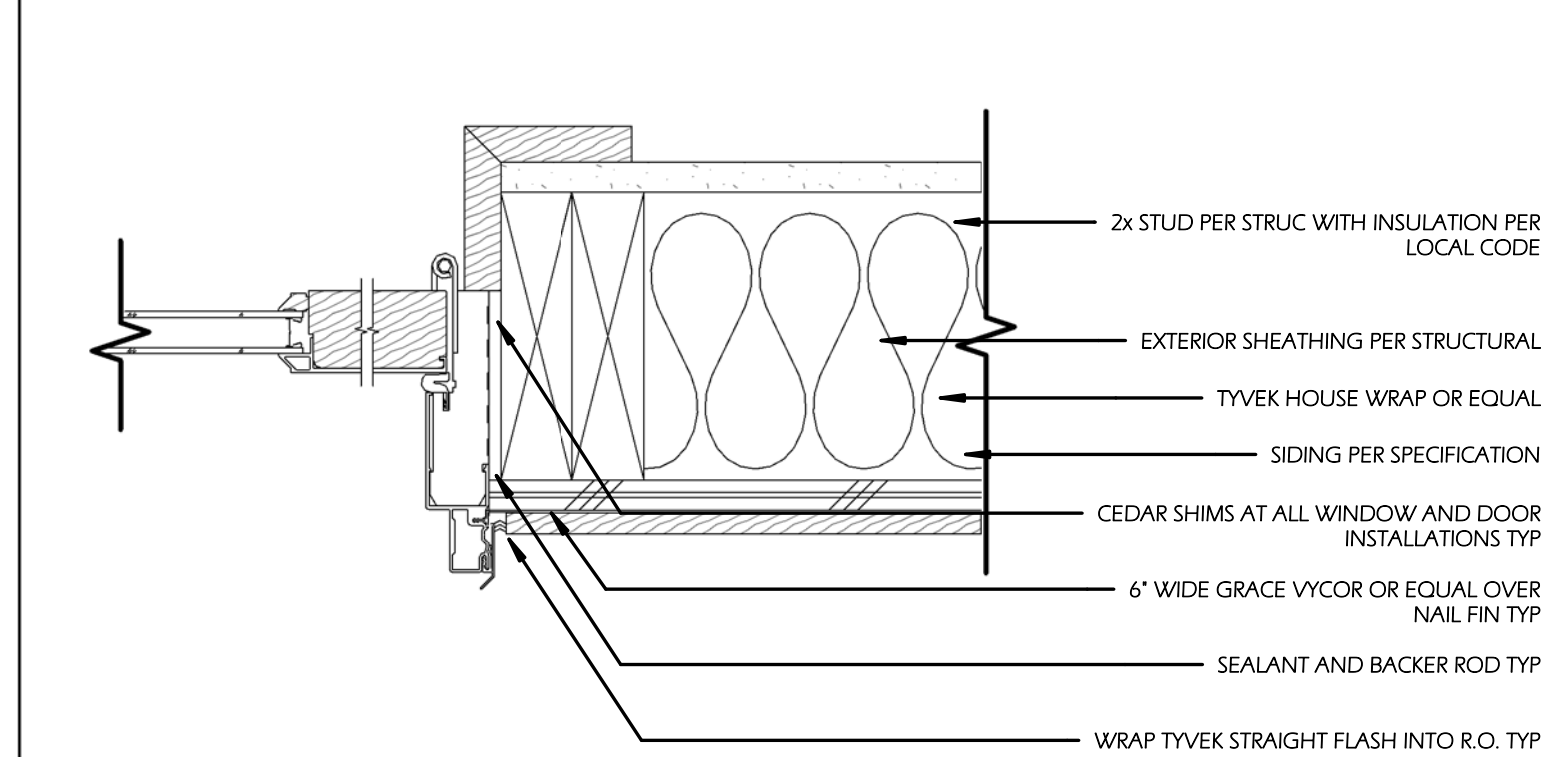
2 Door Head at Stone Veneer
3" = 1'-0"



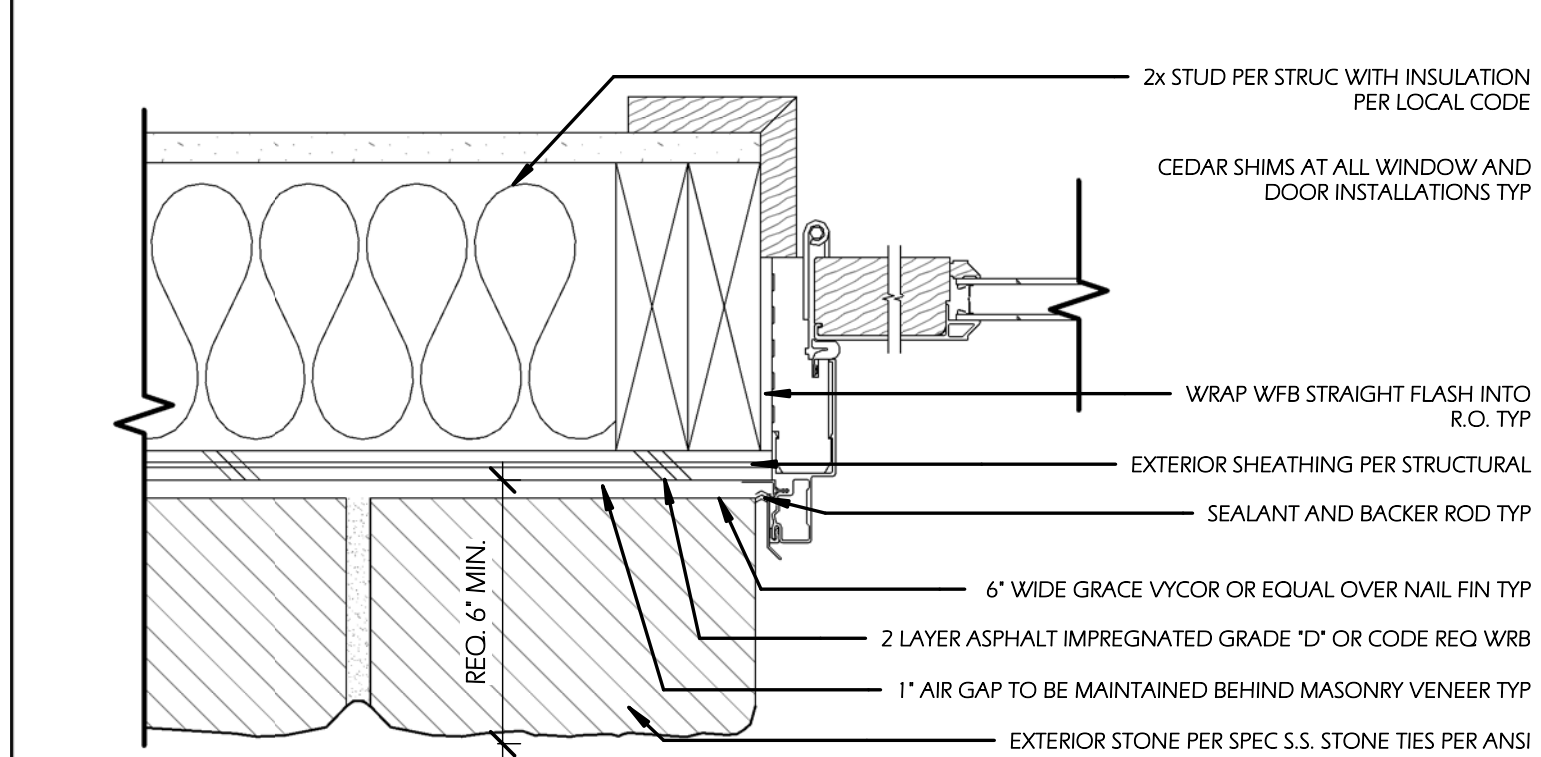
3 Window Head at Stone Veneer
3" = 1'-0"



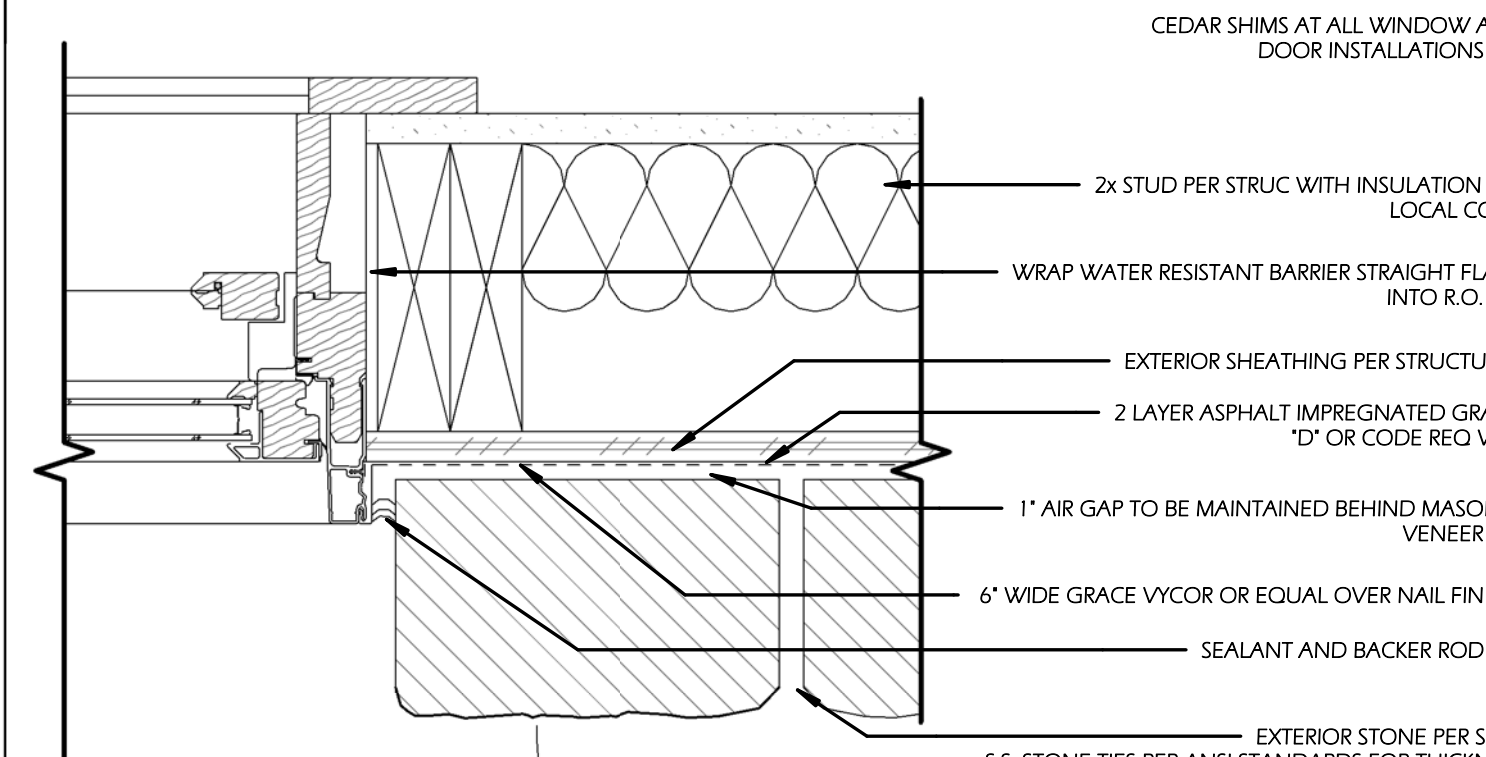
4 Window Head at Wood Siding
3" = 1'-0"



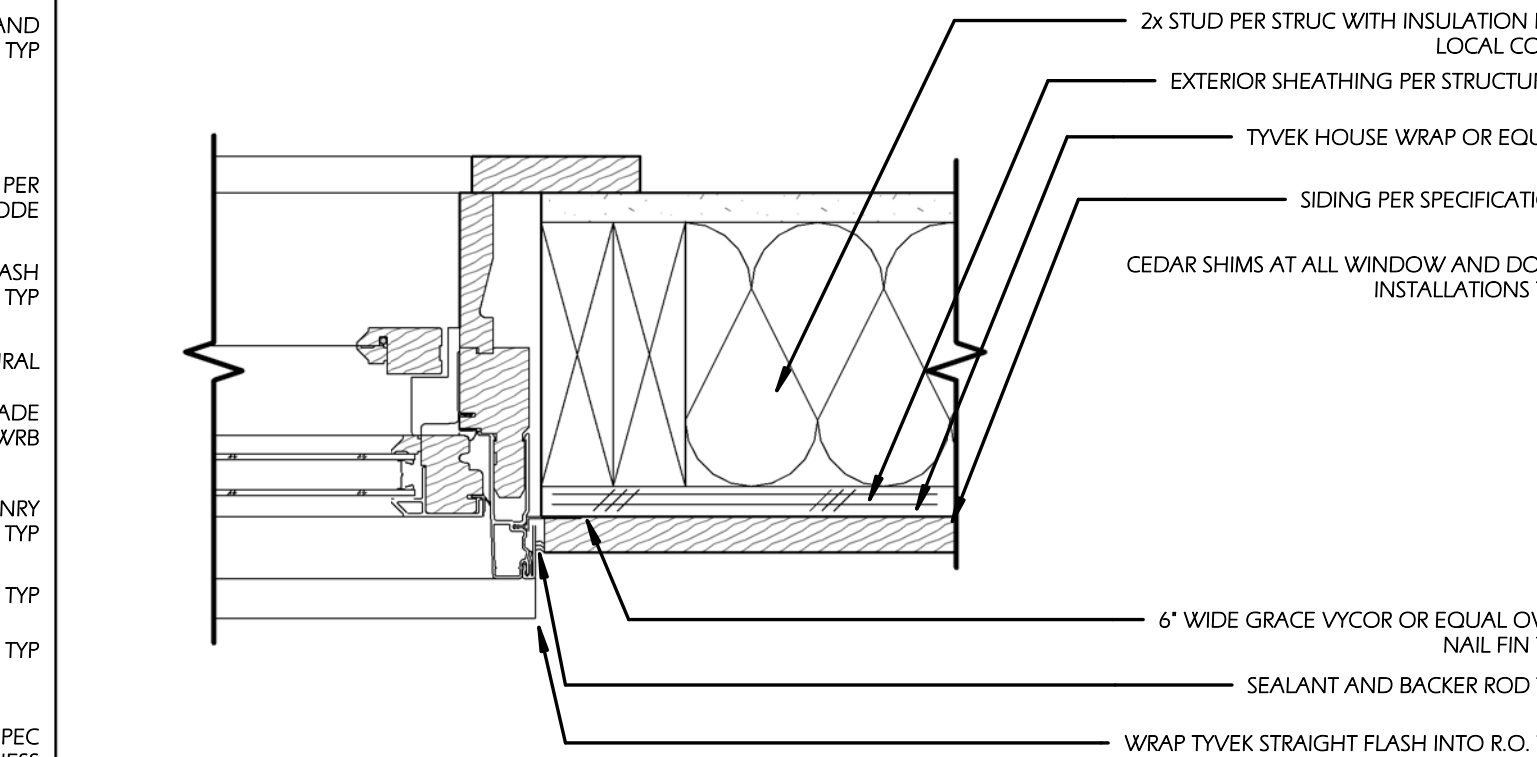
5 Door Jamb at Wood Siding
3" = 1'-0"



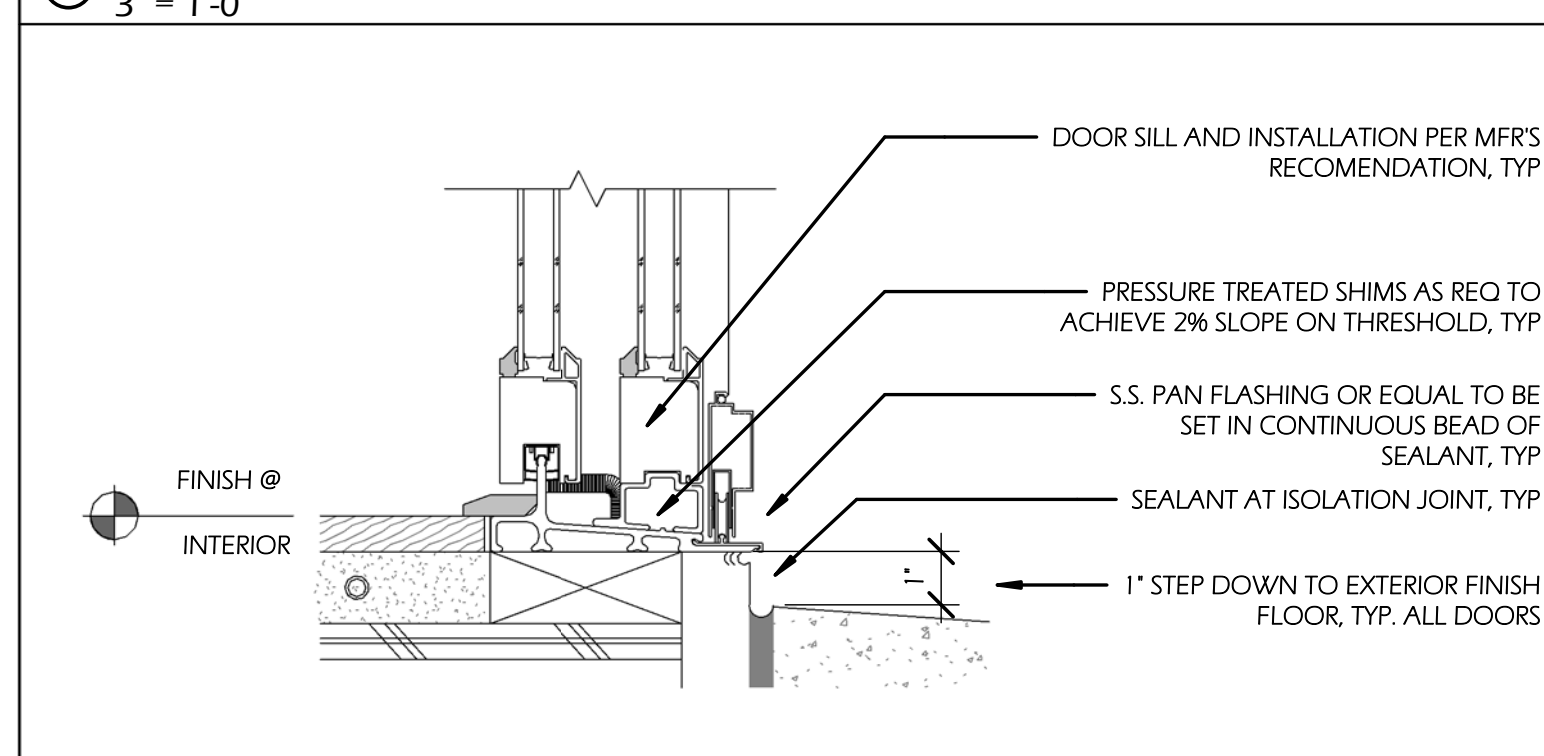
6 Door Jamb at Stone Veneer
3" = 1'-0"



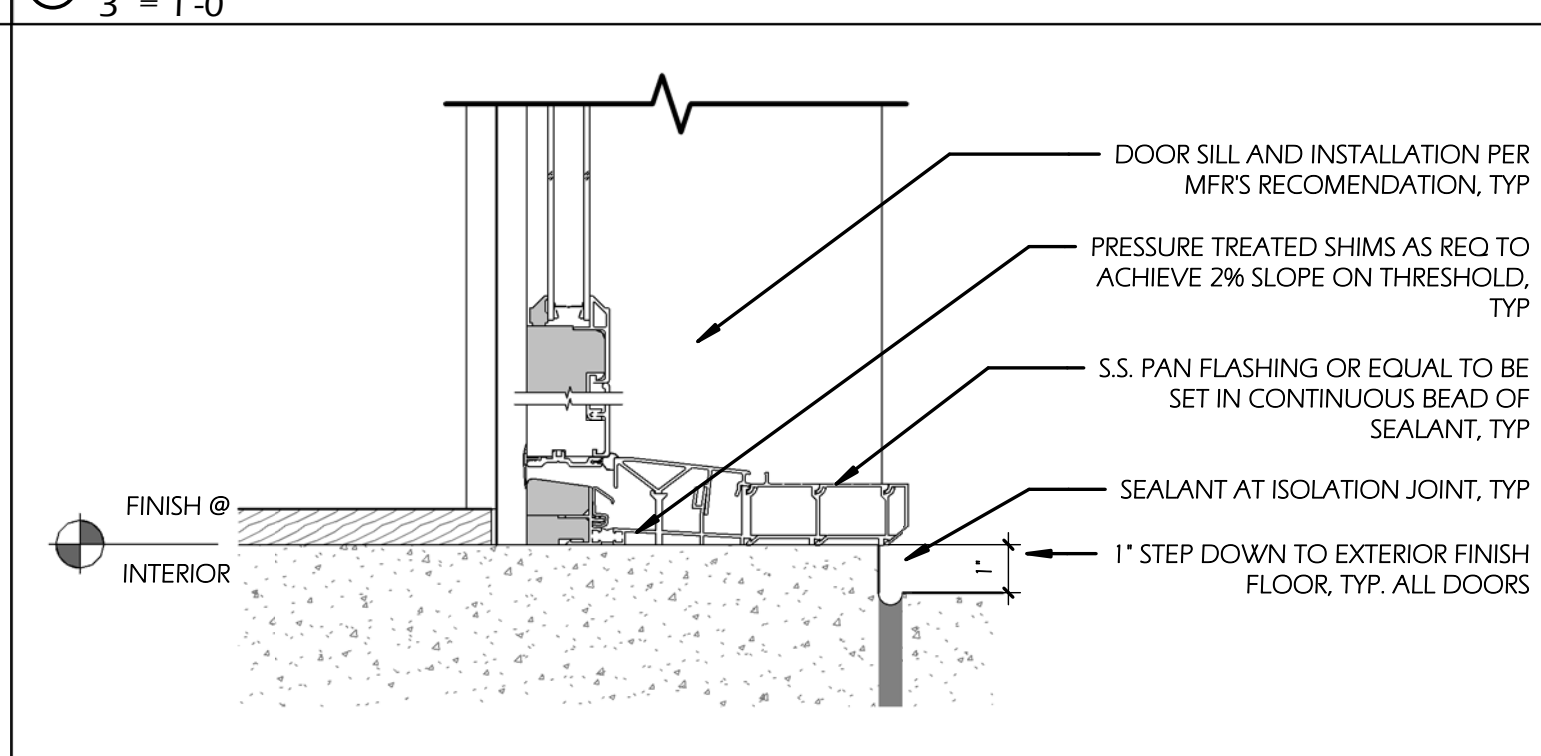
7 Window Jamb at Stone Veneer
3" = 1'-0"



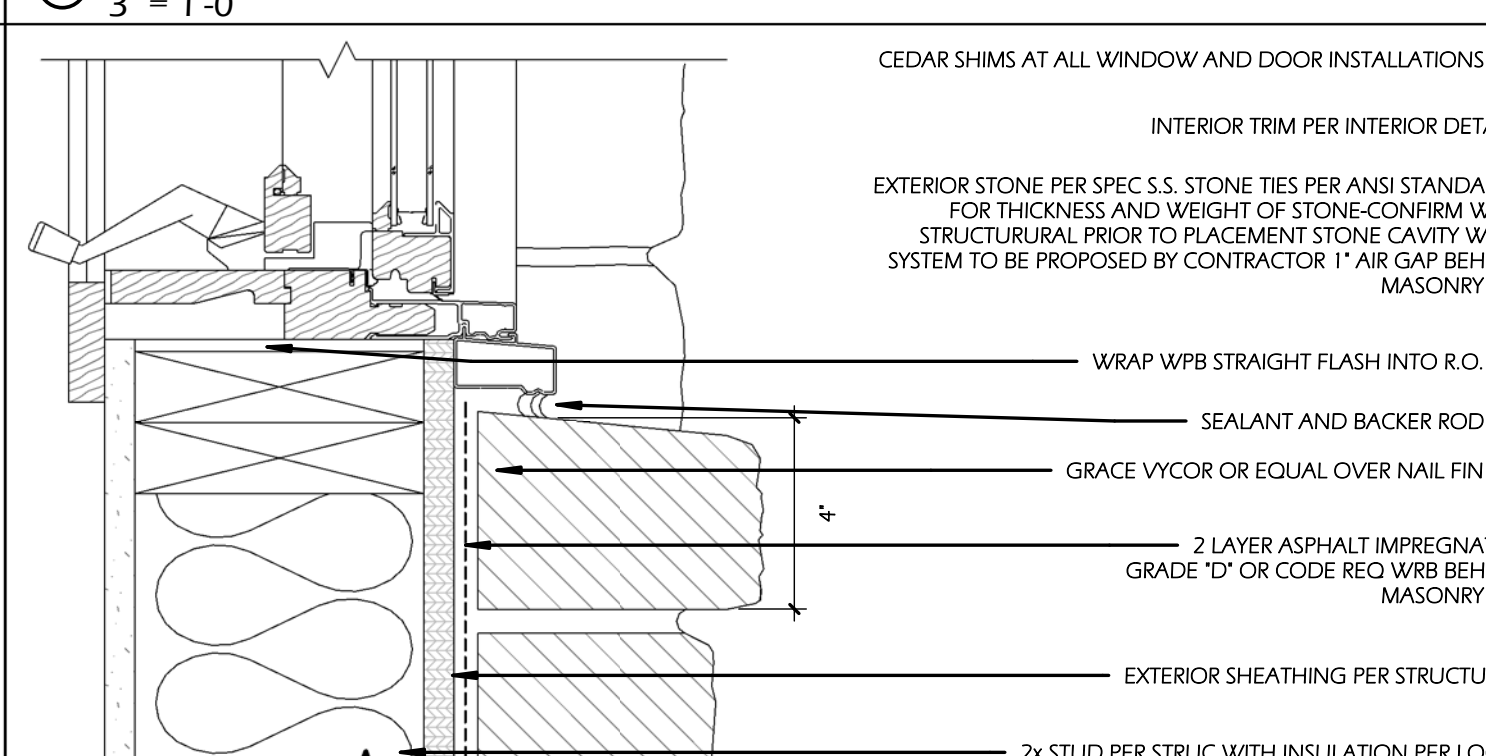
8 Window Jamb at Wood Siding
3" = 1'-0"



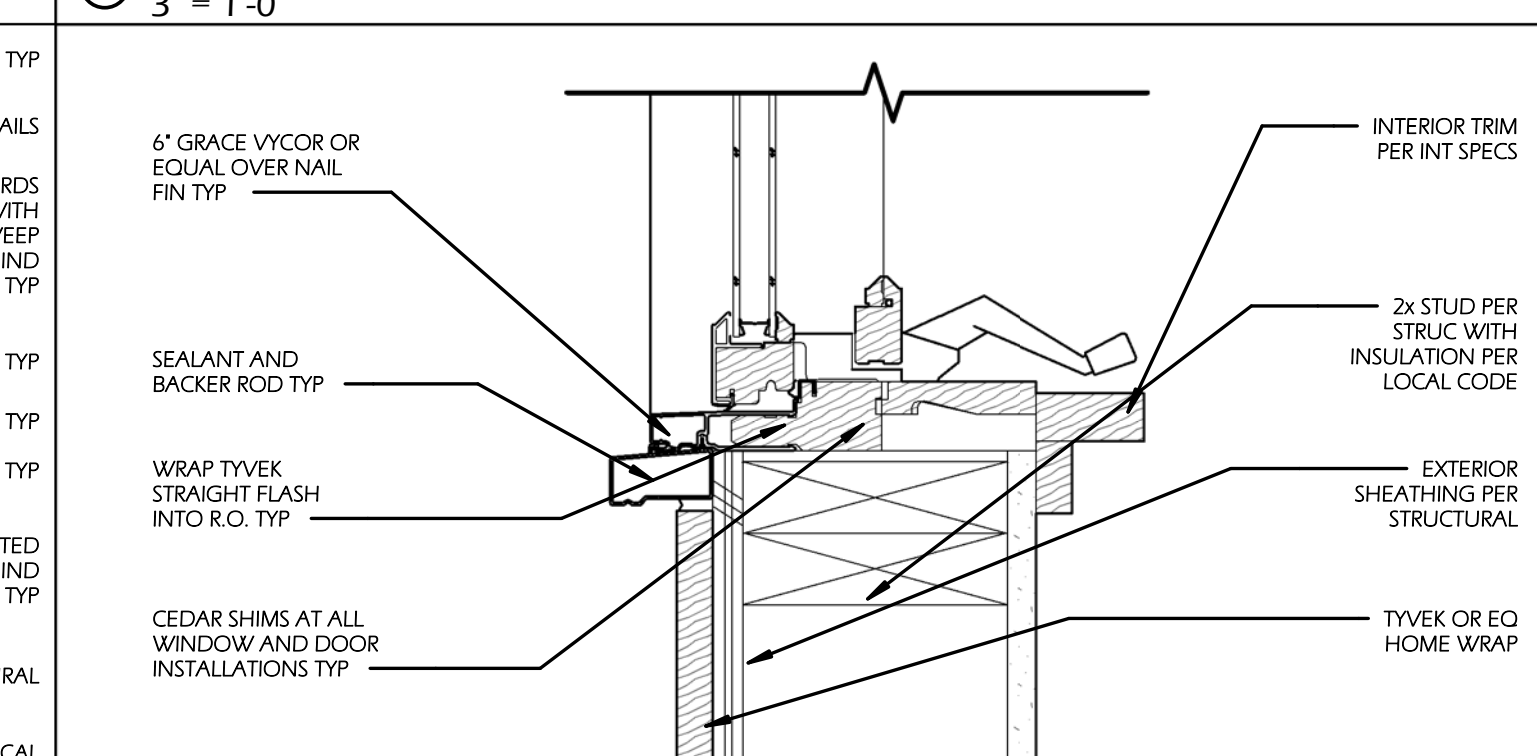
9 Door Sill At Wood Floor w/ Radiant Heat
3" = 1'-0"



10 Door Sill At Concrete Slab
3" = 1'-0"



11 Window Sill at Stone Veneer
3" = 1'-0"



12 Window Sill at Wood Siding
3" = 1'-0"



SALT ARCHITECTURE
SANTA BARBARA, CA
701 ANACAPASTREET 805.729.4276

PROJECT TEAM

PROPERTY OWNER
Steven Rosenberg
13520 Hesty Street
Sherman Oaks, CA 91423

ARCHITECT
Architect: Dylan Henderson
Associate Architect: Brian Plattey
701 Anacapa Street
Santa Barbara, CA 93101
Office: 805.729.4276
Cell: 970.708.4795
email: dylan@saltarchitect.com

SURVEYOR
San Juan Surveying
102 Society Drive
Telluride, CO 81435
Office: 970.728.1128

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION
4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING
Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION
Lot 166AR2-7 Stonegate
6 Stonegate Drive
Town of Mountain Village, CO 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	10/08/2021
2		
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date

Lot 7

STONEGATE

Door & Window Schedule

Date: 10/08/2021
 Drawn by: DH / BF
 Checked by: DH / BF

A 8.1

Scale: As indicated

COPYRIGHT 2021 10/11/2021 6:26:22 PM

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS:

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

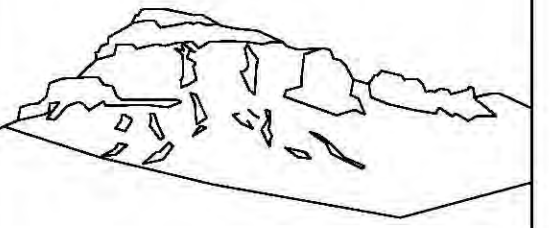
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL 2021-08-11

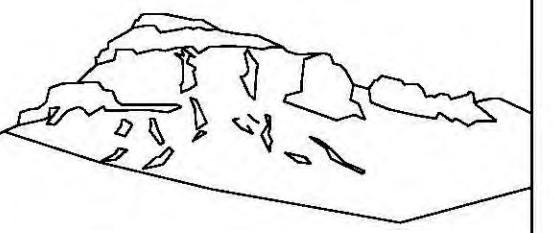
Lot 7 Stonegate
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
DRB SUBMITTAL 2021-08-11

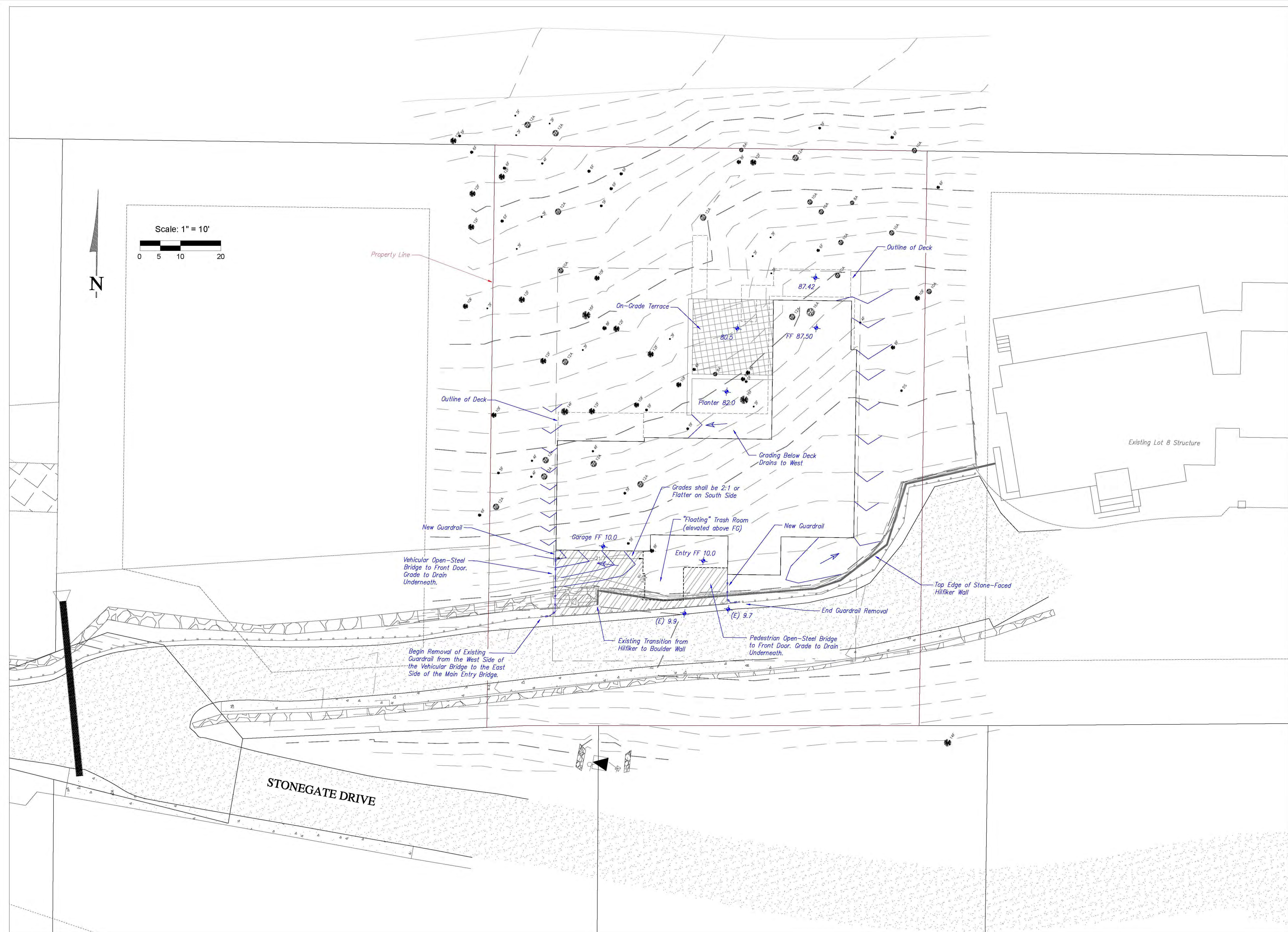
Lot 7 Stonegate
Mtn. Village, CO



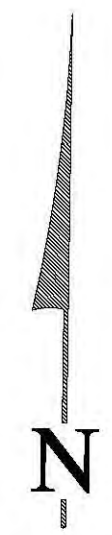
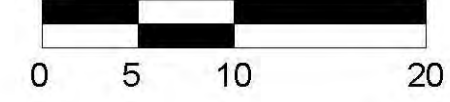
CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading
and
Drainage
Plan

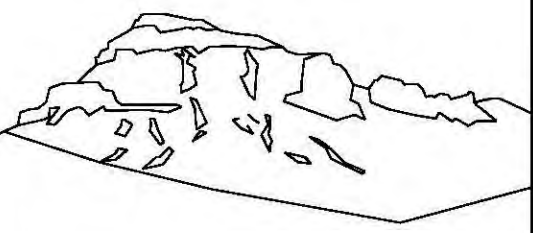
C2



Scale: 1" = 10'



STONEGATE DRIVE



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
DRB SUBMITTAL 2021-08-11

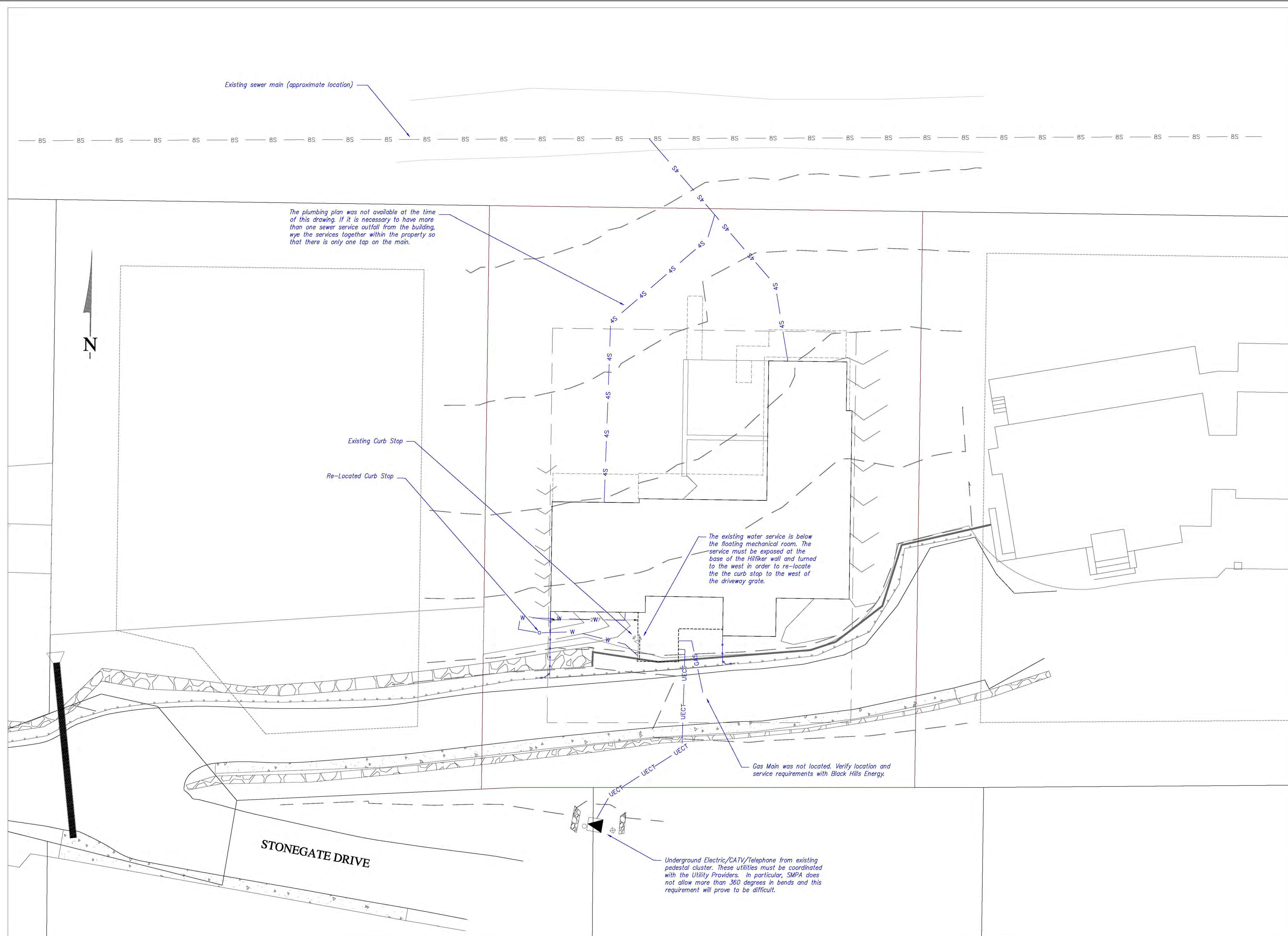
Lot 7 Stonegate
Mtn. Village, CO

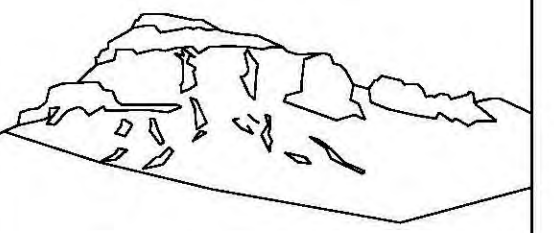


CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3





Uncompahgre Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
DRB SUBMITTAL 2021-08-11

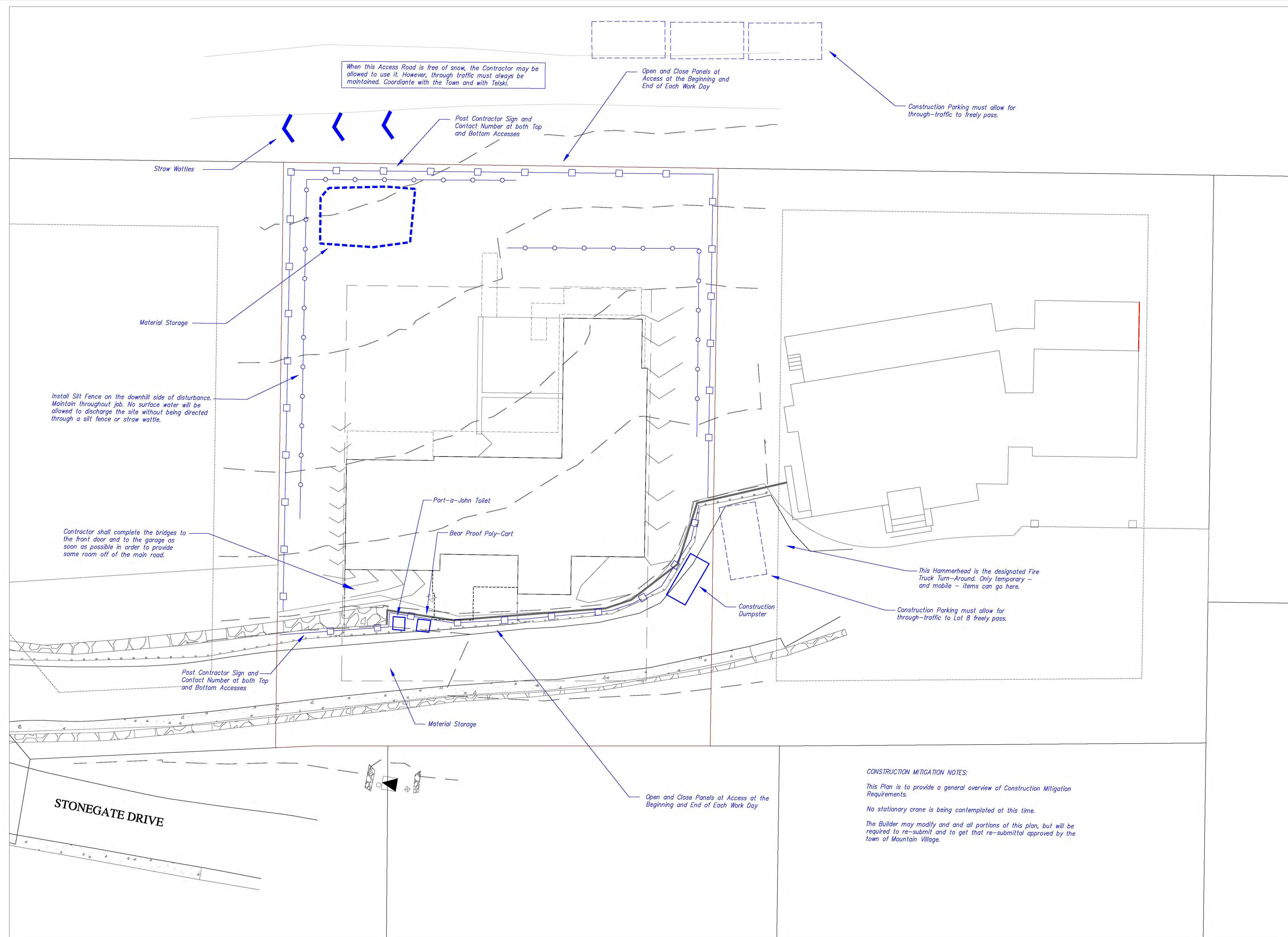
Lot 7 Stonegate Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Construction Mitigation Plan

C4



CONSTRUCTION MITIGATION NOTES:

This Plan is to provide a general overview of Construction Mitigation Requirements.

No stationary crane is being contemplated at this time.

The Builder may modify and all portions of this plan, but will be required to re-submit and to get that re-submittal approved by the town of Mountain Village.

DEVELOPMENT REFERRAL FORM



Referral Agency
Comments Lot 166AR2-
7, 6 Stonegate Drive:

No issues with Public Works. Just field verify the existing utilities.
Finn

Mike Otto - The landscape plan does not meet the diversity of tree plantings clause within Mountain Village community development code guidelines.

The wildfire mitigation plan does not meet Town of Mountain Village community development coded (cdc) guidelines. Zone 1 is marked and a tree survey is provided, however, flammable conifer trees greater than 4" dbh are required to be removed where zone 1 cannot be extended due to lot lines. It appears that 3 conifer trees are planned to be maintained within zone 1. I would recommend waiving the requirement for this project as the number and size of the trees to remain is small and adds value for screening and maintaining natural vegetation on the site. Additionally, wildfire mitigation zone 2 is represented on the landscape plan as the area 15' to 30' from the building footprint. To meet cdc requirements zone 2 should represent 15' from the building footprint to the lot lines. If zone 2 were to be extended, crown spacing between remaining trees on the lot would not be adequate and should be thinned or described as a grouping of trees to meet cdc requirements.

TFPD approves the proposal with the following conditions:

- 1) The structure is over 3,600 sq ft and shall require a monitored sprinkler system.
- 2) The width of the driveway shall meet the code of 16' total width. 12' shall be a hard surface with the shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.
- 3) The address monument shall be a minimum of 4'6" from grade to the bottom of the address numbers. Address numbers shall be 6" in height, reflective coated, or outlined with a reflective coating.
- 4) TFPD recommends the installation of a Knox Box for emergency entry into the structure.



Agenda Item No. 8
**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

TO: Mountain Village Design Review Board

FROM: Brian Grubb, Senior Planner

FOR: Design Review Board Meeting; November 4, 2021

DATE: October 25, 2021

RE: Consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 729R-6, 89 Pennington Place, pursuant to CDC Section 17.4.11.

BACKGROUND: Staff is requesting a continuation of the Final Architecture Review to the December 4, 2021 Regular Meeting. The memo is being provided not to open the public hearing but solely for the purpose of the DRB providing a motion to continue to the Regular December 2 meeting date.

DRB also has the ability to table the item, which would require the applicant to re-notice the project at a time in the future.

RECOMMENDED MOTION: I move to continue, the consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 729R-6, 89 Pennington Place, pursuant to CDC Section 17.4.11. to the Regular Design Review Board Meeting on December 2, 2021.