

**TOWN OF MOUNTAIN VILLAGE  
SPECIAL DESIGN REVIEW BOARD MEETING  
TUESDAY, MAY 31, 2022 10:00AM  
MOUNTAIN VILLAGE TOWN HALL  
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO  
TO BE HELD HYBRID THROUGH ZOOM:**

<https://us06web.zoom.us/j/86403476047?pwd=akxaOExhS0FGN0VzN0JhTlc5d0Qzd09>

	Time	Min.	Presenter	Type	
1.	10:00		Chairperson		Call to Order
2.	10:00	10	Miller/ Johnston	Action	Swearing In of Appointed Members for the Mountain Village Design Review Board
3.	10:10	180	Haynes/ Ward	Quasi-Judicial	A recommendation to Town Council regarding a Major PUD amendment to Lot 109R, formerly named the Mountain Village Hotel PUD, TBD Mountain Village Boulevard, to consider amendments to the existing PUD for a mixed-use hotel/resort development including plaza, commercial, hotel and residential uses with a height up to 96'-8" maximum height <i>continued from the May 5, 2022 Design Review Board Meeting</i>
4.	1:10		Chairperson		Adjourn

Please note that this Agenda is subject to change. (Times are approximate and subject to change)  
455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435  
Phone: (970) 369-8242 Fax: (970) 728-4342

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting Town Hall at the above numbers or email: [cd@mtnvillage.org](mailto:cd@mtnvillage.org). We would appreciate it if you would contact us at least 48 hours in advance of the scheduled event so arrangements can be made to locate requested auxiliary aid(s).



AGENDA ITEM 3  
**PLANNING & DEVELOPMENT SERVICE**  
**PLANNING DIVISION**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

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**TO:** Mountain Village Design Review Board

**FROM:** Amy Ward, Senior Planner & Michelle Haynes, Housing Planning and Development Services Director

**FOR:** Design Review Board Public Hearing; May 31, 2022, continued from the May 5, 2022 Design Review Board meeting

**DATE:** May 23, 2022

**RE:** Staff Memo – Review and Recommendation to Town Council Regarding a Major Planned Unit Development Amendment to the Lot 109R Planned Unit Development, commonly called the Mountain Village Hotel PUD, by Tiara Telluride, LLC.

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**APPLICATION OVERVIEW: Mixed Use Development inclusive of a hotel, condominiums, lodge units and employee housing on Lot 109R**

**PROJECT OVERVIEW**

The applicant requests a Major PUD Amendment to the 109R Planned Unit Development, formerly known as the Mountain Village Hotel PUD first approved in 2010, but subsequently received two PUD amendments to extend the approval to December of 2022. The amendment contemplates minor adjustments to the density, significant design changes inclusive of an increase in the height request from 88'-9" to 96'-8" and also an increase in average height from 65'-2.9" to 82.46'. ***This continued application reflects even lower maximum heights and average heights to be discussed.*** The design as currently proposed has heights that vary slightly from this request. A letter of intent has been provided by a luxury hotel brand called Six Senses. The project will also include public plaza improvements, public bathrooms, a market, two retail spaces, fine dining, a bar and a conference/wedding space on the 6<sup>th</sup> floor. The application also contemplates a replat to adjust boundaries around the property with the Town of Mountain Village, Village Center open space property, with Town Council consent to the application (TBD). The use elements consist of 62 guaranteed hot beds, 22 condominiums, 18 lodge units with lock offs, employee dormitory, and hotel amenity spaces and public commercial areas as identified above.

**Legal Description:** Lot 109R, Town of Mountain Village according to the Plat recorded on March 18, 2011 in Plat Book 1 at Page 4455, Reception No. 416994, County of San Miguel, State of Colorado

**Address:** 628, 632, 636, 638, 642 Mountain Village Blvd

**Owner/Applicant:** Tiara Telluride, LLC  
**Agent:** Ankur Patel & Matt Shear  
**Zoning:** Village Center Zone District, Village Center Active Open Space  
**Proposed Zoning:** Planned Unit Development (PUD)

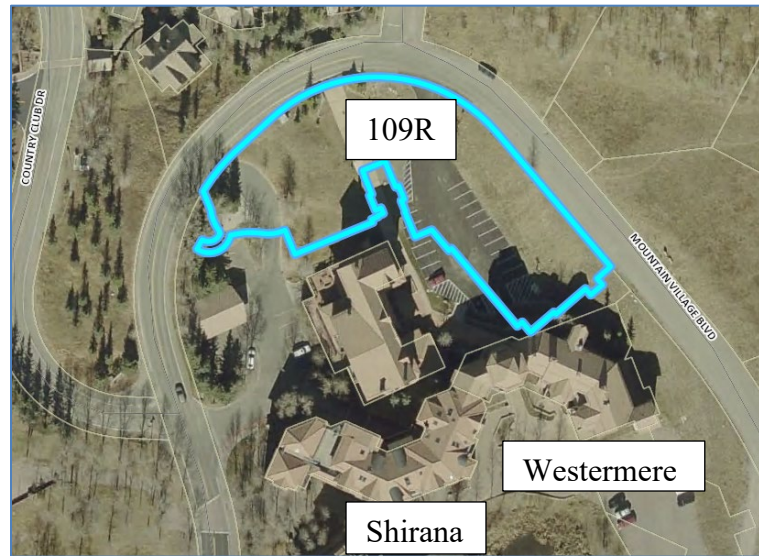
**Existing Use:** Vacant, used for temporary surface parking

**Approved Use Pursuant to PUD**

**Development Agreement:** 66 efficiency lodge units; 38 lodge units, 20 condominium units, one employee apartment and 20,164 sq. ft. of commercial space.

**Proposed Use:** 62 efficiency lodge units, 18 lodge units, 22 condominium units, 18 dormitory units, 2 employee apartments and approximately 26,000 square feet of commercial space.

**Site Area:** .825 acres proposed to change to .817 via a major subdivision application



**Adjacent Land Uses:**

- **North:** See Forever, Village Center
- **South:** Village Center, mixed use
- **East:** Multi-Family and Single Family, vacant
- **West:** Peaks, Village Center

**RECORD DOCUMENTS**

- Town of Mountain Village Community Development Code (as amended)
- Town of Mountain Village Home Rule Charter (as amended)

**ATTACHMENTS**

1. Applicant revised design narrative dated May 19, 2022
2. Applicant Architectural Drawings revised 5.24.22
3. PUD Process Overview
4. Original PUD design plans and PUD approvals found at the following [link](#)
5. Comparison List of 2010 Public Benefits, variations and specific approvals versus requested amendments, revised 5.24.22
6. Density existing and proposed, revised 5.24.22
7. Public Comments
  - a. Solomon 5.23.22
  - b. See Forever HOA 5.13.22
  - c. Nicktakis.5.13.22
  - d. Nicktakis 5.16.22
  - e. Kress 5.12.22
  - f. Horn 5.16.22
  - g. Mr. Whitacre 5.16.22
  - h. Mrs. Whitacre 5.16.22
  - i. Williams 5.24.22
  - j. Shirana 5.23.22
  - k. Brown 5.18.22
  - l. Billiion 5.16.22

8. Referral Comments
  - a. Public Works Director 5.23.22
  - b. Public Works Assistant Director 5.23.22
  - c. Operations and Development Director 5.23.22
  - d. Transit and Parks Director 5.23.22
  - e. Bruin Waste Management 5.24.22
9. [May 5, 2022 109R Design Review Board Packet \(this includes the Six Senses letter of intent and promotional materials\)\(109R begins on page 49\)](#)
10. Proposed Subdivision Exhibit
11. Existing Conditions Map

**BROAD OVERVIEW OF THE PUD DEVELOPMENT AGREEMENT**

The original PUD development agreement (link above) outlined the public benefits, the variations and the specific approvals granted in 2010. As noted above, the property replat occurred and the density was assigned consistent with the approval. See attachment #5 for a comparison of public benefits, variations and specific approvals between the original PUD/design and proposed amendments. See attachment #6 related to current and proposed density on the property pursuant to the amendment process.

The applicants are also requesting more variations as previously granted and proposing different public benefits (see attachment 5). For the purposes of the DRB’s recommendation, please review the redesign as new design review on the property. The applicants are also proposing adjustments between lot 109R and Village Center open space which would result in a net increase in Village Center open space of 360 square feet. Once Town Council reviews the PUD Amendment, they will provide direction to the applicant whether the Town consents to the replat request. The class 4 subdivision application will need to be concurrently heard and scheduled with a recommendation by the DRB to Town Council and Town Council review via Resolution. See exhibit #3 for process steps associated with the applicant’s submittal.

The significant amendment requests include an increase in maximum height from 88’9” to 96’8” and average height above the PUD agreement in addition to the reduction of public parking spaces from 48 to zero. Previously there was only one employee apartment provided onsite. The amendment proposes 11,700 square feet of onsite deed restricted housing constituting 18 dormitories and 2 employee apartments. This amendment application also guarantees 62 hotel rooms whereas the former only guaranteed 40. Finally, a significant snow melted public sidewalk along Mountain Village Boulevard is also being provided.

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by Italicized Text.***

**Table 1**

<u>CDC Provision</u>	<u>Requirement per the original PUD agreement</u>	<u>Proposed pursuant to the PUD amendment</u>
<b>Maximum Building Height*</b>	88’ 9”	96’ 8” (94.7’ currently shown)
<b>Average Building Height*</b>	65’ 2.9”	82.46’ (79.72’ currently shown)

<b>Maximum Lot Coverage</b>	100%	100%
<b>General Easement Encroachments</b>	none	none
<b>Setback Encroachments</b>	n/a	n/a
<b>Roof Pitch</b>		
Primary		1/4:12
Secondary		1/4:12
<b>Exterior Material</b>		
Stucco	Primary Material	0%
Stone	25% minimum	43%
Windows/Doors	40% maximum	31%*
<b>Parking (Requirement per type)</b>		(110 total spots shown on arch set)
Commercial Space (1 per 1,000**)	27	27
Condo (1 per unit)	22	22
Efficiency Lodge (.5 per unit)	31	31
Lodge (.5 per unit)	9	9
Public Parking (48)	48	0
Employee Dormitory (not listed***)	Determined by DRB	0
Employee Apartment (1 per unit)	2	2
HOA Maintenance Vehicles (1-5 spaces)	1-5	1
Unassigned	0	16
<b>Total****</b>	<b>92</b>	<b>108</b>

\*Additive of windows and glass screens

\*\*The original PUD only required 1 parking space per 1,000 square feet of commercial space and did not calculate commercial parking per intensity of use which otherwise is one (1) parking space per 500 square feet of high intensity commercial use (e.g. restaurant versus an office). The applicants request that the parking requirement only recognize one (1) parking space per 1,000 square feet of commercial space consistent with the original development agreement.

\*\*\*Employee Dormitory use does not list a parking requirement; however, the CDC states 17.5.8.A.5 states, "For uses not listed, the parking requirements shall be determined by the review authority based upon the parking requirements of a land use that is similar to the proposed use, other Town parking requirements or professional publications. A parking study may also be submitted by an applicant to assist the review authority in making this decision." This will be discussed more below under parking. Past precedent at Big Billies required 2 parking spaces for every three dormitories. This would require 12 parking spaces for 18 dormitories. The DRB can determine what's acceptable.

\*\*\*\*Dormitory requirement will increase this number.

Below is a list of CDC design variations and specific approvals. For the complete list of public benefits, variations and specific approvals requested, see attachment #5.

**Variation:**

1. Building heights - with a max height up to 96' 8" and an average height up to 82.46'

**Design Variations:**

1. Roof Form
2. Wall material – not meeting the required 25% stucco
3. Glazing – uninterrupted areas of glass that exceed 16 s.f.
4. Decks and Balconies – long continuous bands
5. Commercial, Ground Level and Plaza Area Design Regulations
  - a. Storefront Design\*per DRB discussion
  - b. Color Selection
  - c. Ski Locker Use on a Primary Pedestrian Route
6. Parking Area Design Standards – Aisle Width

**DRB Specific Approval:**

1. Materials – TPO membrane roof, metal fascia and soffit
2. Solar roof tiles in the Village Center
3. Road and Driveway Standards – (2) Curb cuts

**Chapter 17.3: ZONING AND LAND USE REGULATIONS**

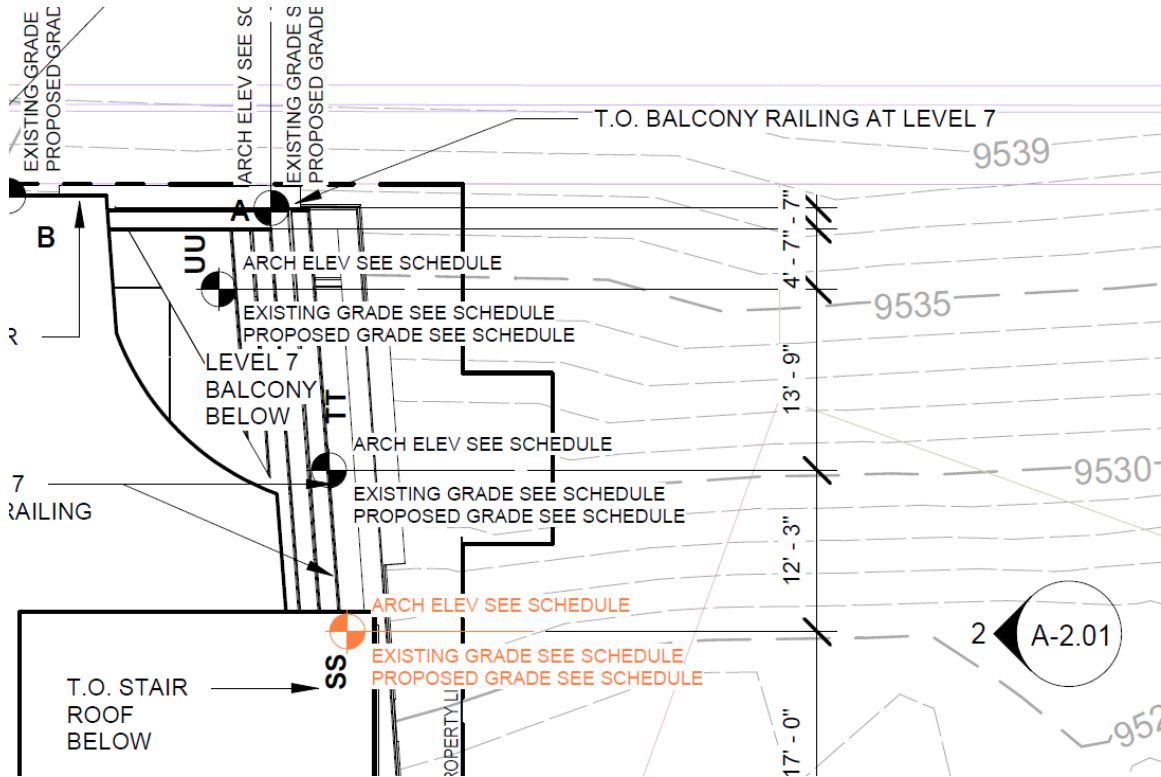
**17.3.12: Building Height Limits**

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates a combination of flat roof forms. Flat roofs are considered under shed roof guidelines and buildings with a primary shed roof form are granted a maximum building height of 60 feet in the Village Center. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive. Buildings are allowed an average height of 48' in the Village Center.

*Staff: Lot 109R has existing entitlements under the previously approved PUD agreement and design plans. This PUD granted a maximum height of 88' 9" and an average height of 65' 2.9" for the specific design package approved by the town. The current proposal shows a max height of 94.7' and an average height of 79.72'. The applicant is requesting a maximum increase in heights from 88'-9" to 96'8" with a current maximum height shown as 94'7" and an average height request increase from 65'-2.9" to 82.46' and currently shown as 79.72'. The increase in heights above the original PUD are considerations weighed against public benefits being offered and within the purview of Town Council.*

*There is one max height of 95' 0" shown at the main entry on the north elevation that was not counted per the direction of Town staff. The dimensions on this height are taken from the existing underpass connection. There is provision in the code whereby "If the Planning Division determines that there are minor irregularities in the natural grade, these areas shall not be used in determining compliance with the building height limitation set forth herein, and the surrounding typical natural grade shall be used."*

*Overall, staff believes that the applicant is now generally representing heights as prescribed per the CDC. There are three points on the NE corner of the building (A, UU and TT) shown for average heights that staff needs more clarity on why they were included in the table. These points appear to be on decks, not roof forms, but aren't shown on the elevation views, therefore staff needs more clarity from the applicant as to why these points should be included in average heights.*



Although this request is at the discretion of Town Council, DRB is making a recommendation to Council regarding the PUD amendment as it relates to design review. Some discussion of height as it relates to the overall mass and scale of the building is appropriate, however the final decision on whether the additional height is granted, lies with Town Council.

**17.3.14: General Easement Setbacks**

Lot 109R has no general easements. It should be noted that a replat is being proposed as a concurrent application with this PUD amendment.

The plans show awnings on the retail fronts facing the plazas, these awnings encroach into Town owned plaza areas, but as above grade encroachments that are typical for plaza areas, historically the Town has allowed such for awnings, projecting signs, etc. Should an encroachment agreement be determined necessary by the town attorney, we would condition this as part of the final review and execute the necessary legal instrument.

**Chapter 17.5: DESIGN REGULATIONS**

**17.5.4: Town Design Theme**

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must

continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

There are six key characteristics that the CDC recognizes as a way of determining whether a project meets the town design theme, and each will be addressed as they pertain to this project below:

1. Building siting that is sensitive to the building location, access, views, solar gain, tree preservation, and visual impacts to the existing design context of surrounding neighborhood development.

*The existing footprint from the formerly approved PUD is dictating the siting of this proposed building. Although some modification of the lot lines are proposed, these changes do not affect the above criteria significantly from the prior approval.*

2. Massing that is simple in form and steps with the natural topography.

*Staff believes the massing is simple in form. The most significant grade change on the lot is primarily the slope from Mountain Village Boulevard down to the existing surface parking lot on the east side of the property. The northeast side of the building is a vertical face, but the building does step down to the southwest towards the Village Core mirroring this slope.*

*The applicant has made some change to the east end of the building, cutting out two semi-circular parts of the roof to visually step this end of the building a bit more.*

3. Grounded bases that are designed to withstand alpine snow conditions.

*Stone is the primary exterior cladding at over 43%, and the entirety of the structure is clad in stone where the walls meet grade, so it is well designed to withstand alpine conditions in regard to exterior materials.*

*The base seems well grounded when viewed from Mountain Village Boulevard. The perpendicular columns of stacked stone anchor the form to the site. The applicant has added a lower version of these stacked stone columns to the plaza side. DRB should discuss whether this addition makes the building appear more visually grounded when seen from the plaza pedestrian level.*

4. Structure that is expressive of its function to shelter from high snow loads.

*The flat roofs with integrated snowmelt and gutter systems eliminate potential issues from snowfall from roofs to plaza or other pedestrian areas. The addition of a snow melted sidewalk along Mountain Village Boulevard should address snow build-up concerns. A proposed snowmelt plan has been provided.*

5. Materials that are natural and sustainable in stone, wood, and metal.

*The proposed material palette consists of both a rough and honed stone veneer in a lighter neutral tone, corten steel panels and louvers, a dark bronze metal fascia and cladding on storefronts, and a "wood look" metal soffit and glass rails. All of these materials seem in line with other materials found throughout the Mountain Village. The color palette plays off of tones found in the surrounding buildings.*



*There are other proposed materials that would require specific approval and are not in common use in the Village Core, however staff does believe that pending verification with physical samples that will be provided by the applicant at the hearing, these materials could be perceived as natural and sustainable. The roof is shown as a TPO membrane in charcoal gray. The fascia is a dark bronze metal, the soffit is a “wood look” metal. A new perforated metal railing has been added to the design and the physical sample should be available at the hearing for review. It should be noted that board form concrete was shown in initial conceptual renderings of the project, however board form concrete is not currently proposed.*

6. Colors that blend with nature.

*Staff feels that this characteristic is being met.*

### **17.5.5: Building Siting Design**

The CDC requires that any proposed development blend into the existing landforms and vegetation. All site plans shall provide a snow shed and storage plan for roofs, walkways and drives. Village Center building siting shall also relate directly to pre-established or proposed pedestrian walkways, malls and plaza areas.

*Staff: There is very little existing vegetation on the site as much of the site it is currently in use as a surface parking area. The proposed development does not blend into existing landforms as is typical in the Village Core.*

*The flat roof design is to have an integral snowmelt and guttering system, so snow shed should not be an issue. Some small additions to the currently configured snow melt plan are requested by staff for more complete coverage. The proposed melted sidewalk along Mountain Village Boulevard should address the previously discussed concern regarding accumulation of snow against the building due to plowing activity.*

### **17.5.6 Building Design**

#### **17.5.6.A Building Form**

The CDC requires that building forms are well grounded to withstand extreme natural forces of wind, snow and heavy rain. The materials must be appropriate for accumulated adjacent snow. Windows and doors shall be recessed (min. 5”) with variations. Exterior materials requirements reinforce the desired massing.

*Staff: As previously discussed, the applicant has revised the drawings to show some grounding elements on the plaza side (see discussion above 17.5.4.3), DRB should discuss whether this change is meeting the intent in the code.*

*The proposed design utilizes materials which should stand up well in typical alpine conditions. Detail of window recesses has been provided, and indicates a minimum of 5” reveal. No variation of recess depth is proposed at this time.*

#### **17.5.6.B Exterior Wall Form**

Overall form of walls shall be simple in design and need to portray a massing that is substantially grounded to the site. Wall forms shall define public spaces, disjointed spaces should be avoided.

*Staff: Overall wall form is meeting these conditions.*

Exterior walls along plazas shall reinforce “village street” concept with relatively narrow frontages and/or vertical “townhouse” proportions. Ground level commercial spaces shall be architecturally defined from spaces above.

*Staff: Ground level commercial spaces are somewhat differentiated from the floors above by a change in window pattern as well as the incorporation of the vertical stone columns. These columns feature a gas torch as a decorative element that will also serve as lighting. The applicant is proposing garage type doors to be able to open up these spaces to plaza areas during periods of good weather. The renderings show a canopy detail above some retail windows on the on the plaza side. The retail areas adjacent to the pedestrian access from the See Forever tunnel seem to be still in development and should also show some level of architectural detail for visual interest. Staff would like to see more details of this area as it relates to opportunity for architectural enhancements.*

### **17.5.6.C Roof Form**

#### **Roof Design Elements**

The roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines and vertical offsets. Roofs shall where practicable step with the topography of the site. The design of roofs shall reflect concern for snow accumulation and ice/snow shedding. Entries, walkways and pedestrian areas shall be protected from ice/snow shedding. Eaves and fascia shall generally be responsive and proportional to the design of the building.

*Staff: The roof as proposed is three flat surfaces, therefore does not meet the criteria for “emphasizing sloped planes” The stepping of the roof form doesn’t correspond with the slope of the natural topography, which generally slopes down from Mountain Village Boulevard.*

*As described in the narrative, the roof seems to be designed taking into account ice/snow shedding and the protection of pedestrians below. Staff generally feels that the eaves and fascia are in proportion to the building design.*

*The most striking feature of the roof is the large overhang on the pool deck that provides some protection to this exterior space. It is certainly meant as a defining architectural feature of the building. However, this detail adds to the perceived height as well, so some discussion should be had regarding whether the DRB is generally comfortable with the extra height that is being asked for with the inclusion of this detail.*

*The form of the eastern end of the roof has changed slightly since the last review. It now has two semi-circular fans cut out of it which relate to the curve in the western roof form. It also serves to reduce some of the perceived mass of this end of the building.*

*A series of solar panels is shown, the applicant describes these as non-reflective in their narrative. Details of the proposed panels including panel material, mounting systems, etc. should be provided so that DRB can evaluate, reflectivity, heights and overall visual impact.*

*Staff believes this proposed roof would require a design variation for roof form. Solar panels are also a specific approval in the Village Center.*

#### **Roof Drainage**

All development within the Village Center shall be required to provide an integral guttering system designed into the roof or other DRB approved system of gutters,

downspouts and heat-tape to contain roof run-off and all building roof run-off shall be directed to storm sewers or drainage systems capable of handling the volume of run-off.

*Staff: The applicant indicates that there will be an integral gutter system. A schematic design has been provided and more details of this as well as the storm water management plan should be provided prior to final review. A note has indicated that the water collected from this system might daylight into planters in the project. Staff referral comments indicate a preference for this water to be routed to the stormwater drain system.*

### **Roof Material**

Allowable materials (by DRB review) are burnt sienna concrete tile, earth tones compatible with burnt sienna concrete tile in color and texture, brown patina copper, metal roofing material limited to the following: black or gray standing seam bonderized (not reflective), zinc, solar roof tiles so long as they are contextually compatible in design, color, theme and durability (non-reflective). Some variation of roof material color is permissible by specific DRB approval as long as it is contextually compatible in design, color, theme and durability.

*Staff: The roof is proposed as a charcoal colored TPO membrane. The fascia is shown as metal. The soffit is a "wood look" metal soffit. All of these materials would require a specific approval. As previously mentioned, solar panels are planned to be used, details of any/all materials associated with the solar panels should also be provided. Solar roof tiles in the Village Center also require a specific approval.*

### **Pedestrian Protection**

*Staff: The flat roofs and integral guttering system remove snowfall risk.*

### **Nonreflective Material**

*Staff: The proposed TPO membrane appears to be nonreflective. Solar panels will also need to be verified as non-reflective once specifications are provided.*

### **17.5.6.D Chimneys, Vent and Rooftop Equipment Design**

*Staff: The current design shows one large chimney stack protruding through the roof at the southwest corner. They are also showing grease exhaust decks and three other areas of venting. Prior to final review the applicant should anticipate all necessary vents, exhausts, heating and air conditioning units, mechanical equipment, etc. and create a consolidated plan and a complementary design that addresses the CDC requirements to accommodate them.*

### **17.5.6.E Exterior Wall Materials**

The primary wall finish in the Village Center is supposed to be stucco, with minimum use of 25% stone and a maximum use of 20% wood.

*Staff: The applicant has proposed no stucco in this design. There is a honed stone veneer in a warm tone proposed as one of the two stone surfaces that nods to surrounding stucco buildings without the maintenance issues associated with this material. The other stone is a rough stacked stone veneer in a similar warm tone. Overall stone percentage on the building is listed at 43%. There is no wood cladding proposed. The other exterior materials are metal (screens, metal paneling, metal railings), and glass.*

*The decorative guardrail screen is a new addition to these revised plans. This material is called out as a Corten steel with decorative cutouts. The image shown on plans does not indicate the color of the material, in the provided elevations it looks black, this should be verified with a physical sample.*

*A design variation would be required for the lack of stucco as a primary material.*

#### **17.5.6.F Exterior Color**

Exterior material color shall harmonize with the natural landscape within and surrounding the town. Color shall be natural, warm and subtle. Roofs may be rusted, black or gray standing seam or corrugated metal. Any colors used on details such as trim, fascia and timbers can be stronger and provide contrast to the more subtle tones of large wall or roof areas.

*Staff: Staff believes this requirement is being met.*

#### **17.5.6.G Glazing**

Window design must be responsive to the energy code and site conditions. Openings and patterns shall be responsive to good solar design principles. Combinations of windows shall be used to establish a human scale to building facades in the Village Center. Windows within grounded base forms shall appear to be punched into walls. Window patterns and reveals need to be carefully studied to create interest and variety. Within the Village Center, the depth of reveals shall vary from the five inches (5") as set forth above with reveals greater than ten inches (10") being more desirable. For residential windows above the pedestrian (ground) level within the Village Center, uninterrupted, maximum glass area shall not exceed sixteen (16) square feet.

*Staff: There are some larger north facing windows in this project, which might not meet the provision of following good solar design principles, however views of the San Sophia ridgeline are in this direction and consideration of views has allowed for north facing windows on other projects. Southern facing windows have some degree of shading by balcony and roof overhangs which will help provide some heat protection during summer months.*

*There is some combination of window sizes, with a differentiation between residential and retail windows with the proposed design. The metal screening also helps introduce some variety into the window forms. Vertical stone columns provide some articulation between storefronts.*

*Window recesses are shown at a minimum of 5" meeting provisions of the CDC and metal clad windows are meeting materials requirements.*

*The applicant is requesting a design variation for 17.5.6.G.5 as there uninterrupted max glass areas are exceeding the 16 s.f. allowable per code in the Village Center.*

#### **17.5.6.H Doors and Entryways**

Within the Village Center and multi-family development, glass, metal and wood doors shall be used to establish interest, variety and character for the tenant spaces. The exterior face of a door must be recessed a minimum of 5" and garage doors must be recessed at least 7"

*Staff: The applicant is proposing a combination of a glass door and a garage type door for retail openings. These doors are to be clad in a dark bronze metal. The appropriate recess*

*is shown for windows. The garage door to the underground parking is recessed well within the building. The use of the garage doors as retail openings will definitely give this building a unique character within the Village Center and fits the contemporary architecture of the building. A conceptual rendering of the main entry shows a minimalistic design that features a fire element in the center of the porte cochere and simple glass doors.*

#### **17.5.6.I Decks and Balconies**

Decks and balconies shall be designed to enhance the overall architecture of the building by creating variety and detail on exterior elevations. Combinations of covered decks, projecting balconies and bay windows shall be used. Long, continuous bands of balconies are prohibited. Whenever possible, balconies and decks shall be located in areas of high sun exposure while at the same time preserving views and solar access.

*Staff: The balconies are well placed for solar exposure. The balconies step back as the building rises, which does provide for some visual interest. The balconies do present as long continuous bands, so if approved as proposed a design variation to this code section would be required.*

#### **17.5.7: Grading and Drainage Design**

*Staff: There is very little room for grading outside of the building envelope. There will be some grading along Mountain Village Boulevard, at the porte cochere and garage entrances and as the building meets the plaza areas. Storm drains are indicated and more information regarding the sufficiency of these systems will need to be better understood as it moves through final review and into building permit. A drainage study prepared by a Colorado professional engineer with storm water run-off calculations is required for mixed use projects. There were concerns about snow buildup between Mountain Village Boulevard and the building itself due to plowing, but the applicant has proposed melted sidewalks along this stretch of Mountain Village Boulevard. Staff referral comments indicate that this alleviates snow build up concerns.*

#### **17.5.8: Parking Regulations & Parking Area Design Standards**

*Staff: The project is providing a total of 108 parking spaces, this is 16 spaces more than the required parking per type of unit, with the exception of the employee dormitories, which aren't assigned a specific parking requirement per the CDC. It is up to DRB to determine the required parking for the employee dormitories. The town approved a 2 to 3 ratio of parking for dormitory use at Big Billies, our last developed dormitory project. The DRB required one parking space per dormitory unit with the 161CR Pond Lots Sketch PUD. The DRB could require either 12 spaces per 18 dormitory units at a 2 to 3 ratio or 18 spaces per 18 dormitory units at a 1 to 1 ratio.*

*It should be noted that the original PUD granted 48 public parking spaces to the Town as a public benefit, this PUD amendment application proposes to remove those public parking spaces. Although PUD related amendments are at the purview of Town Council numerous staff have indicated concern over the removal of these spaces during the referral process.*

*The plans indicate 7 compact spaces (10% allowed) and 5 handicap accessible parking spaces. Per building code, the required number of ADA accessible space would be 5 with the current configuration, so they are currently meeting this code. They also indicate that parking will be 100% valet parking. The applicant seems to be meeting the parking regulations in terms of number of spaces at this time, but it will be up to DRB to determine the required parking for the employee dormitories at which point the parking compliance can be re-assessed. Compact spaces are required to remain a general*

*common element, it will be important to assure that parking remains unassigned unless excess parking is provided compared to the number of required spaces per the project. Otherwise, the applicants would be requesting a variation to the CDC to allow for compact spaces to be assigned.*

*The Town Sustainability Coordinator is requesting that the project increase the availability of EV spaces in the project, see discussion under Alternative Energy Fueling below.*

*The Town Engineer has raised questions regarding overhead clearance. He suggests that 10.5-11.5 is typical for residential parking, but with this mixed-use development suggests more should be required. The current plans show a 10' floor to floor height on garage levels. It is unclear what amount of clearance this would allow to remain once you take into account floor structure and utilities. The applicant indicates that they will meet the required 7'6" clearance per building code. For garage levels that have utilities hanging from the ceiling like stormwater, water or sewer, our engineer is requesting more vehicular clearance and ceiling height to accommodate repair and maintenance.*

*The applicant is requesting a design variation for drive aisle width. The plans currently show some aisle widths of 18'. The required aisle width is 22'. The fire Marshall has approved a drive aisle width of 18'. If approved as proposed a design variation would be required.*

#### **17.5.7.C.10 Loading/Unloading Area**

Parking plans or site-plans for multi-family, commercial or mixed-use development shall provide for and reflect the location of loading/unloading areas on the premises.

*Staff: The proposed loading /unloading area does not meet the required dimensions of 12' x 55'. It is also not meeting the Village Center requirement that it shall be located within the associated parking garage (as shown a semi-truck would protrude from the building by no less than 12 feet). It should be noted that in projects containing over 100 units or commercial space (this project meets both) DRB can increase the required size of the loading area. On staff referral, there were concerns that the unloading area itself was too small at 330 square feet to accommodate a project that contains multiple restaurants, a spa, and commercial space. There is also some concern that there could be conflict between trash area pick-ups and deliveries, Shirana's parking garage entry, the projects garage entry for condominiums, and public parking - which is proposed to be reduced via redesign to better accommodate this projects back of house. The applicant has provided a circulation exhibit to better demonstrate all potential circulation in and around this loading/unloading area. It is still not clear what happens if any/all of these activities are happening at once, and where trucks will stage if the loading dock is occupied and/or inaccessible. See referral comments. Staff does not support an unloading area that does not meet the minimum requirements set by the CDC for a project of this size. If approved as proposed this would require a design variation to 17.5.7.C.10 for both dimensions and the required internal location.*

#### **17.5.7.C.11 Alternative Energy Fueling**

*Staff: The design narrative references two electric vehicle charging spaces on G2 but they are not marked as such on the plans. Comparisons with regulations passed in other Colorado communities suggest percentages of EV installed, EV Ready and EV Capable spaces. Staff recommends that DRB consider requiring the developer to provide 10% EV installed, 15% EV Ready and 50% EV Capable spaces.*

### **17.5.9: Landscaping Regulations**

*Staff: The applicant has included a preliminary landscaping plan (LS-401) showing location of planting beds in adjacent plaza and public areas. The plans are showing new trees, and a large number of shrubs and perennials mostly contained in planter beds scattered throughout the property. Although the revised plans have been scaled back some since the initial submittal, staff feels this still needs to be done further to accommodate more open space for potential small events as well as egress from the fire lane onto the plaza and through the plazas for maintenance and potential EMS services. The plans indicate that there will be a 10' to 12' width left open in most locations, however staff would like to see this as a minimum of 16' to allow for plaza services equipment, potential ambulance access as well as equipment such as a boom lift for exterior maintenance of the buildings. At least one larger open space should be included that could accommodate small special events. It should be noted that there are some discrepancies shown between the landscaping plan and the civil plans as they relate to planting areas along the fire access lane. These drawings should be brought into alignment before final review.*

*There are two different kinds of pavers as well as landscape rock indicated. Photos and physical sample of these should be provided for final review. There is proposed furniture – benches, bike racks and trash containers indicated on the plans. Detailed specifications of these should also be provided for final review. The Town does not generally authorize fixed furniture on the plazas, however given the constricted amount of space in this plaza, it might make sense to incorporate the furniture into the landscaping beds.*

*No details have been provided in terms of irrigation.*

*The building itself has some integrated planter beds on the balconies. No detail has yet been provided as to the proposed planting, structural systems and irrigation of these elements.*

*It should be noted that landscaping plans are not required until final review*

### **Village Center and Village Center Subarea Plan Development**

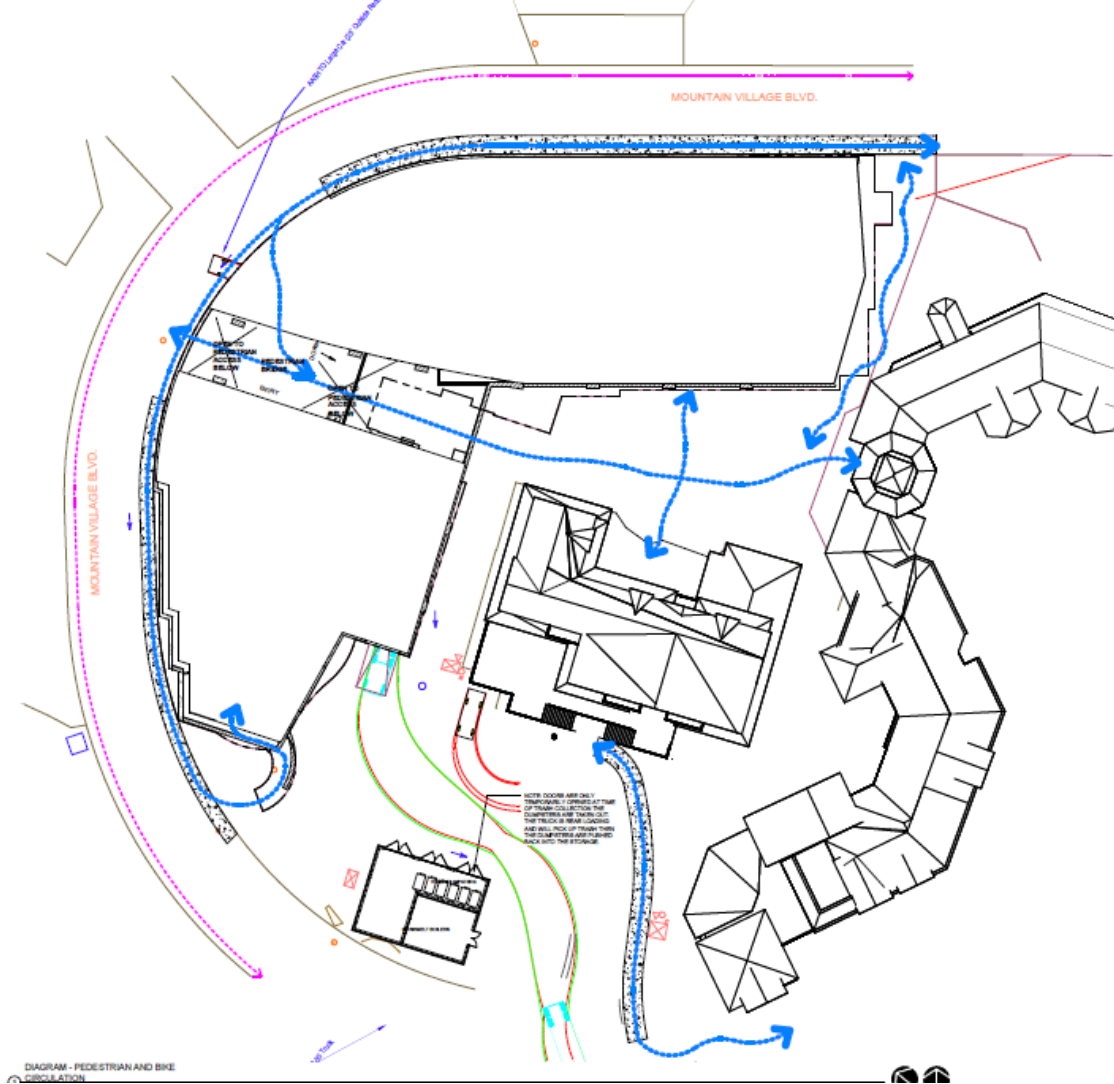
As the town grows and establishes primary pedestrian circulation systems, it is imperative that all building development relates to proposed or existing exterior pedestrian flows and spaces within the plaza areas. Building frontage shall contain and direct pedestrian circulation in a continuous, uninterrupted sequence.

*Staff: The existing walkway under Mountain Village Boulevard (from See Forever) will remain and connect to a pedestrian pathway that cuts through the new proposed building and continues into the Village Core. A pedestrian easement on the east side of the property has been relocated to the southeast corner of the building. Some staff had concern regarding the pedestrian access at the porte cochere with stairs to the plaza level (from pedestrian traffic coming from Sunny Ridge. Upper Mtn. Village Blvd.) and wondered whether this could be designated as a public walkway. The Pedestrian Circulation plan seems to show this path, however it would be important to capture this as an official public access easement in the final stages of review.*

*The building frontage should contain and direct pedestrian traffic fairly well, with the exception of the potential for pedestrians to head west on the emergency lane toward Mountain Village Boulevard. The applicant has proposed a new sidewalk from the Shirana Stairs towards the Peaks crosswalk area. Although some will likely walk through the Shirana building as indicated on the pedestrian circulation plan, some will inevitably follow*

the fire access route towards Mountain Village Boulevard. Pedestrian/vehicle conflict is likely with all of the shared uses (deliveries, trash, Shirana parking, public surface parking) in this back of house area. It will be important to investigate striping or other ways of mitigating these potential conflicts.

The applicant has also added a sidewalk along mountain village boulevard. As currently shown, there is a break in the sidewalk at the See Forever tunnel/vehicular bridge. The intention is that the sidewalk is continuous on Mountain Village Boulevard and necessary for ADA access from the town's perspective. The applicant proposed this revised sidewalk all along Mountain Village Boulevard which will create safe pedestrian access from the 161CR/Pond lots site (pursuant to their sketch approval) to the crosswalk that serves the Peaks, being provided by the 109R proposed project plan.



Semi-private outdoor spaces, such as restaurant patios and courtyards, shall be integrated into development to the extent practical. These spaces shall be located and designed to reinforce pedestrian circulation when adjacent to primary public malls and plazas.

Staff: The proposed restaurant is on the upper floors of the hotel. The Speakeasy bar fronts the tunnel through the building so neither of these spaces have the potential for



*patio space or courtyards. Staff would request that the applicant investigate the possibility of including infrastructure in one or more of the plaza level retail spaces for the plumbing and exhaust infrastructure necessary for restaurant use to allow for the potential for this type of use in the future.*

Main pedestrian circulation routes shall be defined and provide secondary routes for the opportunity to explore and seek out unexpected areas.

*Staff: The main pedestrian route through the newly created plaza area seems fairly well defined, and the proposed landscaping beds define secondary routes leading to retail areas. As mentioned previously, staff recommends the reduction in overall sizes of landscaping beds, however even with a reduction, these secondary paths can still be evident. Staff will designate a new Primary Pedestrian Route through this project and update the relevant Appendix 3-1, along with the Appendix 8-1 Village Center Emergency Access Routes in the CDC accordingly.*

The scale of pedestrian areas shall be kept intimate with great care and attention given to materials and detailing. Special pavers, hardware, fountains and landscaping shall be emphasized. Distance between buildings and widths of public areas shall vary with narrow passages leading to courtyards and secondary plazas.

*Staff: More detail as to materiality of plaza areas shall be provided prior to final review. Staff is not recommending the addition of fountains at this time due to recent history of drought conditions. Staff does find that distances are varied, and that paths connecting with smaller secondary courtyards on other properties exist.*

Secondary walkways and courtyards are strongly encouraged as part of building improvements. These secondary spaces can add interest by offering areas to be explored and discovered within the overall orientation of the major circulation system.

*Staff: Staff feels that the way this project interacts with Shirana and Westermere buildings and their surrounding spaces creates these secondary walkways and courtyards and that this requirement is being met.*

Secondary walkways and courtyards shall be paved with a material consistent with or complimentary to the major pedestrian areas of the town. Surface materials shall be rich and interesting, using such materials as stone pavers and granite cobbles, or concrete pavers. Surface materials shall have a minimum width of eight feet (8') and be lighted for evening use. Vertical grade changes shall be made to accommodate walking in ski boots and shall, therefore, have grades no greater than five percent (5%) with access ramps no greater than eight percent (8%). Stairways shall meet the building regulation requirements for stairs.

*Staff: Materials for plaza pavers have been indicated on the landscaping plan, however are not shown on the materials palette. This detail as well as more detail on proposed plaza furnishings should be provided prior to final review. There don't appear to be any major grade changes in the plaza areas, with a difference in height of 1.5' shown over the main plaza area. Lighting details will be provided at final review. Staff recommends movable benches, rather than fixed benches as proposed, only to the extent that they are placed in areas that need to remain open for plaza use and maintenance.*

Wherever possible, connecting paths and walkways shall include points of interest and artwork along their routes through such items as sculpture, fountains, bridges, archways and plaza furniture.

*Staff: Extensive landscaping should provide points of interest and the proposal does include plaza furniture (more details need to be provided). The pedestrian accessway does provide some opportunity for an interesting architectural detail similar to an archway. Staff would like to see more detail of this from both sides of building prior to final review. Integrating the project areas with town approved wayfinding is a requirement of the CDC and Comprehensive Plan.*

Development shall be required to coordinate the design and intent of all proposed pedestrian areas with appropriate Town departments.

*Staff: The applicant is working in coordination with Town staff.*

Owners of lots shall be required to develop any and all pedestrian areas and plaza areas to a maximum of thirty feet (30') out from the building footprint and/or the area of disturbance as determined by the review authority at the time of review and approval. The review authority may require additional development of pedestrian areas if, upon review of the completed site, the review authority determines that additional disturbance occurred during construction beyond which was identified at the time of review and approval of the development application.

*Staff: This requirement is being met with this proposal.*

Due to the extreme daily temperature changes that are experienced in the town and drastic temperature contrasts between shade and sun exposures, the review authority may require the developer to install, and require that any homeowners association operate and maintain a snowmelt system in primary plaza areas and pedestrian routes. The area of snowmelt may be limited in plaza areas and pedestrian routes to the extent practicable in order to minimize energy use as determined by the review authority. The extent of the snowmelt system shall be determined during the development application process. Under normal conditions snowmelt areas shall extend thirty feet (30') beyond the building footprint or cover the area of disturbance, whichever is greater unless reduced pursuant to this section by the review authority.

*Staff: The applicant has provided a snowmelt plan that indicates that the primary plaza will be snow melted. The pedestrian walkway through the building as well as the new proposed sidewalks along Mountain Village Boulevard will also be snow melted. The stairs to Mountain Village Boulevard on the SE side of the building could be problematic, however the applicant has represented that these will be steel grate so would not require melting. The prior PUD approval included snowmelt of the area of use over the towns OS-3BR-2 property (short term parking lot), however, the applicant illustrates revised plans using all of the OS-3BR-2 surface parking and driveway for their back of house use. Due to the expanded use the town is also requesting/requiring that all of this surface area be snowmelted. There is a small area to the south of the trash building and the sidewalk from the Shirana stairs to Mountain Village Boulevard which also needs to be snowmelted. The town recognizes that the applicant is providing significant snowmelt along with public improvements to create meaningful pedestrian pathways through and around the project that are safe and consistent with our CDC requirements in the Village Center.*

*The proposed Town trash building is also inclusive of boilers for the snowmelt system that serves the plazas and sidewalks. Due to this boiler location the fire marshal indicated the trash building will need to be fire sprinkled. With the revised plan staff's comments include that we do not want to lose any square footage over the existing square footage the town utilizes in the existing town building. The applicants will need to make the building larger to match our existing space, by increasing the square footage of the building. The applicant has also indicated that it would be necessary for an additional boiler room on the southeast corner under the public access stairs. As proposed, this would be located on Town open space. Staff does not support the location of an additional boiler room in this location and doesn't believe that additional boiler space outside of that already proposed in the trash building would be necessary for the amount of snowmelt currently indicated on the snowmelt plans. Staff asks that the snowmelt plan be revised to include the remaining area south of the trash shed used for parking and access to the boiler room and the sidewalk from Shirana to Mountain Village Boulevard, the additional boiler room be removed from town open space and the trash shed expand in size so that the town maintains the same square footage as utilized today. See referral comments.*

The review authority shall require the developer of lots to install site furniture and fixtures a maximum of feet (30') beyond the building footprint. Secondary plaza areas shall be furnished and maintained by the developer and operator of the respective projects for general public use. The Town may require the developer to enter into a maintenance agreement for plaza areas that require the maintenance of all improvements in such spaces to be maintained in good repair and a clean state. The maintenance agreement shall provide that all site furniture and fixtures located on Town property shall become the property of the Town.

*Staff: The applicant is developing plaza areas with furniture as described above. A use and maintenance agreement will need to be created as part of the final approvals. Additionally, an improvements agreement shall be entered into with the Town for all landscaping improvements.*

*An additional variation is being requested to the CDC at Section 17.3.4.H.4. Plaza Level Use Limitations to allow for a ski locker/private area along a Primary Pedestrian Route.*

#### **17.5.10 TRASH, RECYCLING AND GENERAL STORAGE AREAS**

The CDC requires trash enclosures that are a minimum of 10' x 12 for mixed-use developments if shared by more than 4 units. Trash compaction may be required for developments containing 25 or more units.

*Staff: The plans show trash rooms on all levels of the building that include trash chutes to level G2. The size of the trash room at G2 is 222 s.f. No trash compactor is indicated. This seems small for a project of this size. The trash will need to be manually removed from the trash room to the loading dock for removal from the building. A trash management plan should be provided detailing trash removal and how many pick ups will be required each week. Depending on the data provided in a trash management plan, a requirement for a trash compactor might be necessary.*

*The Town trash Enclosure is also contemplated to be re-oriented and re-designed with this proposal. On referral comments it was indicated that the building contains either 119 (Public Works) or 380 s.f. (Bruin) less space than the existing trash building. This needs*

*to be clarified, and staff recommends that the trash building be expanded to meet the current square footage of the existing building.*

*The elevations provided do not show an exhaust for the boilers and this could have a marked visual impact on neighbors. This will be important to understand as it will have visual impact on the neighboring buildings. More detail needs to be provided in terms of materials and material percentages. Staff also has concerns about the gate openings to the dumpster area and needed clearances for the gates to open. It seems that overhead doors might be more appropriate given the congested condition of this multi-use area. Referral comments from the existing operator Bruin also support the preference for overhead doors. The trash enclosure will be required to be sprinkled if a boiler room is included in the structure.*

*The applicant's narrative indicates that the lease with the existing trash operator Bruin should be terminated during the construction of the new trash enclosure but doesn't address providing interim service for the users of this building. Staff recommends a revised plan inclusive of an interim trash management plan be provided prior to final review. Terminating our trash agreement is not a viable solution for the town.*

#### **17.5.11: Utilities**

*Staff: The submitted utilities plan shows that water, sewer, electric and storm sewer utilities will be rerouted in coordination with Town Public Works. Sewer, water and storm drainage service can not be interrupted so temporary service will have to be provided and a plan for uninterrupted service during construction. Utilities that may run through the garage will need to be addressed as it relates to ownership, access and maintenance. Electrical service will also be re-routed in cooperation with SMPA. An electrical transformer and switch box as well as a natural gas substation location have been indicated, however are shown across the street on Town owned open space. Staff does not support these proposed locations and would like the applicant to utilize the landscaped areas to the north of the trash building (which is town owned but adjacent to 109R) and to the southwest area of their building as alternate sites. Boiler venting/smoke stacks will also need to be shown on the site plan in likely similar locations.*

#### **17.5.12: Lighting Regulations**

*Staff: A lighting plan has not been provided and is not required until final review. Decorative gas torches are shown on the building as an architectural detail, but no specifications for these fixtures have been provided. It is likely that if approved, these torches would require a design variation.*

#### **17.5.13: Sign Regulations**

*Staff: An address monument detail was not included. This should either be provided prior to final review or the applicant will have to go through a separate design review process for signage and wayfinding prior to receiving a certificate of occupancy.*

### **17.5.15 COMMERCIAL, GROUND LEVEL AND PLAZA AREA DESIGN REGULATIONS.**

#### **Storefront Design**

Commercial frontages shall create an identity for the activity within the commercial space while contributing to a visually exciting and cohesive plaza scene. Individual tenant frontages shall have expressive and imaginative design within the overall architectural context of the associated building. "Catalogue" or stereotyped storefronts within the Village Center are prohibited. All commercial storefront alterations and new construction shall require the review and approval of the review authority. Development

and redevelopment within the Village Center shall create pedestrian interest through the articulation of architectural features such as bay windows, balconies, arcades and dormers. The ground or pedestrian level shall be defined with textural elements and color that strengthen the scale and character of the resort. Window boxes and hanging baskets shall be incorporated into the design to add color, life and dimension to building fronts and window definition. Size and shape shall be relative to the building scale while proper clearance for pedestrians is allowed. Details of the storefront such as door and window hardware and light fixtures shall be fabricated from quality materials such as brass, copper, bronze, hardwoods and etched or leaded glass. Retail, commercial storefronts shall be clearly distinguishable from upper floors of a building.

*Staff: Individual storefronts do align with the overall architectural context of the building, being more modern, almost industrial style with the garage door openings as a unique feature. The applicant has added stone columns with decorative gas torches that help differentiate the lower level retail areas from the residential areas above. Pedestrian interest should be created when, during periods of nice weather, the storefronts are able to be left open, however with our mountain weather this likely won't happen often. The proposed design does not include window boxes or hanging baskets. Proposed door material is bronze and glass, details of hardware have not been provided at this stage. DRB should discuss whether more differentiation between these retail fronts is necessary and whether a design variation to storefront design is necessary.*

### **Color Selection**

While overall building color palettes are encouraged to be muted tones taken from the natural surroundings, the storefronts shall use rich and expressive colors that stand out from their background. These storefront facades shall be designed as distinct individual entities that relate to the business and are distinguished by architectural detail and creative application of color.

*Staff: The storefront design does not propose rich and expressive colors that stand out from the rest of the muted tones seen in the building. If approved as proposed staff believes a design variation would be necessary.*

### **Windows**

Window openings and trim shall be consistent in proportion and scale with the associated building. The commercial storefront shall be designed with predominantly transparent glass but may include a small percentage of opaque materials. Window trim shall vary in detailing and color while still being compatible with the overall architecture of the building. Attention shall be paid to operable windows so as not to protrude into or obstruct pedestrian ways when in the open position. Operable windows may need to be recessed or sliding to avoid this occurrence.

*Staff: Windows seem in proportion with the building and are primarily glass. There is no variety in coloring from the rest of the building. Staff has no concerns regarding the protrusion of operable windows as they are overhead sliders.*

### **Lighting**

*Staff: lighting details have not been provided. Lighting plans are not required until final review.*

**General Staff Comment.** The applicant should consider anchor points for temporary lighting or sunshade elements within the plaza areas on the buildings. Additional

considerations such as a greenhouse, temporary outdoor cooking or a coffee cart could be programmed and shown on plans prior to a final DRB review as shown in the presentation materials related to Six Senses.

## **Chapter 17.6: SUPPLEMENTARY REGULATIONS**

### **17.6.1: Environmental Regulations**

*Staff: Fire Mitigation and Forestry Management: Staff is recommending that the fire mitigation requirement be waived for this application. Although the proposal does include planting new trees and retaining some existing trees on the site, Mountain Village Boulevard and hardscaped plaza areas circle the building providing defensible space.*

*Sustainability – the proposed hotel operator Six Senses presents itself as a brand focused on sustainability. Staff looks forward to understanding more detail about proposed sustainability practices as this moves through review. Especially important to understand will be sustainability efforts that could effect the design of the structure such as any certifications (LEED, WELL or Living Building Challenge).*

*Another concern raised by the Town Sustainability Coordinator is in regard to potential impacts from birds with the proposed glass railings. The applicant indicates that they will address this before final review.*

### **17.6.6: Roads and Driveway Standards**

Required driveway width for mixed use development is 20' with (2) 2' shoulders. The maximum driveway grades shall not exceed five percent (5%) for the first twenty (20') feet from the edge of the public roadway or access tract.

*Staff: The driveway into the western garage entry is meeting the requirements in terms of width. It is meeting the grade requirements in terms of its departure from Mountain Village Boulevard at 4.4%. The code states that grades at garage entries shouldn't exceed 5-6%, but staff feels this provision doesn't apply here as one would continue into the garage on a down ramp. A transition zone from this down ramp onto the flat garage surface will be necessary.*

*The driveway at the porte cochere to the north of the building appears to be 20'-23.2' in width, but is lacking the required 2' shoulders. Grades range from 2.6-3.7%.*

*Revised plans should be provided that show compliance with dimensional requirements*

*Because the project is proposing two curb cuts to access the lot, specific approval will be required.*

### **17.6.8: Solid Fuel Burning Device Regulations**

*Staff: There is a chimney shown and one fireplace is shown in the main lobby area. A wood burning fireplace permit has been included with the application documents. It should be noted that proof of a required Town fireplace permit will be required for each wood burning unit proposed on the property.*

## **Chapter 17.7: BUILDING REGULATIONS**

### **17.7.19: Construction Mitigation**

*Staff: No construction mitigation plan has been provided and isn't required until final review.*

## **PUD Criteria for Decision at CDC Section 17.4.12.E**

### Criteria for Decision

1. The proposed PUD is in general conformity with the policies, principles and standards set forth in the Comprehensive Plan;
2. The proposed PUD is consistent with the underlying zone district and zoning designations on the site or to be applied to the site unless the PUD is proposing a variation to such standards;
3. The development proposed for the PUD represents a creative approach to the development, use of land and related facilities to produce a better development than would otherwise be possible and will provide amenities for residents of the PUD and the public in general;
4. The proposed PUD is consistent with and furthers the PUD purposes and intent;
5. The PUD meets the PUD general standards;
6. The PUD provides adequate community benefits;
7. Adequate public facilities and services are or will be available to serve the intended land uses;
8. The proposed PUD shall not create vehicular or pedestrian circulation hazards or cause parking, trash or service delivery congestion; and
9. The proposed PUD meets all applicable Town regulations and standards unless a PUD is proposing a variation to such standards.

### **Design Review Criteria for Review at CDC Section 17.4.11.D.**

- a. The proposed development meets the Design Regulations;
  - b. The proposed development is in compliance with the Zoning and Land Use Regulations;
  - c. The proposed development complies with the road and driveway standards;
  - d. The proposed development is in compliance with the other applicable regulations of this CDC;
  - e. The development application complies with any previous plans approved for the site still in effect;
  - f. The development application complies with any conditions imposed on development of the site through previous approvals; and
  - g. The proposed development meets all applicable Town regulations and standards.
- h. It shall be the burden of the applicant to demonstrate that submittal material and the proposed development substantially comply with the Design Regulations.

## **RECOMMENDED MOTION**

**Staff Recommendation:** Staff is providing proposed motions for either approval with conditions or continuation for your consideration.

Although this list of conditions might seem considerable, staff would like to emphasize that this process is different for a new PUD application. A major PUD amendment is technically only a DRB recommendation and Town Council action by two readings of an ordinance. The process constrains the considerations. The applicant has indicated that they need feedback from Town Council as it relates to some of the requests within the PUD itself before they are comfortable engineering some of the solutions that we are used to seeing earlier on in the process with single family residential design. Once the Town Council provides input as a first reading of an ordinance, this application comes back to the DRB integrating Town Council feedback on the larger scale items such as density, public benefit, mass and scale and variations. The applicants should have adequate direction to commit further to engineering solutions informing their final proposed design.

Staff has formulated recommended motions based upon design review. Should the DRB wish to provide broader comments around items that the Town Council decides such as mass and scale, variations, and adequate public benefits we have drafted a recommendation to insert those comments, by full consensus of the DRB, as an addition part of a motion so that those comments can be conveyed to Council.

**Staff Note:** *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

**Proposed Motion:**

The DRB can choose to recommend approval with conditions, continue, continue with conditions or recommend denial to the Town Council.

If the DRB decides to **approve**, Staff suggests the following motion:

*I move to recommend approval to Town Council of a Major Planned Unit Development Amendment to the Lot 109R Planned Unit Development, commonly called the Mountain Village Hotel PUD, by Tiara Telluride, LLC., based on the evidence provided within the Staff Report of record dated May 23, 2022, with the following findings, variances, design variations and DRB specific approvals as outlined in the staff report of record:*

If the DRB chooses to continue, staff suggests the following motion:

*I move to continue the Review and Recommendation to Town Council of a Major Planned Unit Development Amendment to the Lot 109R Planned Unit Development, commonly called the Mountain Village Hotel PUD, by Tiara Telluride, LLC., to INSERT DATE CERTAIN based on the evidence provided within the Staff Report of record dated May 23, 2022 with findings and conditions as outlined in the staff memo of record.:*

**Findings:**

1. The DRB required [ ] parking spaces for dormitory use.
2. That the fire lane must be used only for emergency vehicles, or authorized maintenance vehicles and is not otherwise expressly prohibited to be used for pedestrians.
3. The DRB recommendation is limited to design review however general consensus on broader Town Council related topics can be summarized and provided for Council consideration. Town Council will provide the final determination as to the Major PUD Amendment via the public hearing process.
4. The application meets the General Standards at 17.5.15.A.5 as it relates to site furniture and fixtures, that plaza uses shall be placed so as to not obstruct or impede fire access routes, pedestrian ways, general building ingress and egress or pedestrian flow through the plaza areas so long as the conditions are addressed as cited below.
5. The application meets the PUD Criteria for Decision found at CDC Section 17.4.12.E
6. The application is consistent with Design Review Process Criteria for Decision at CDC Section 17.4.11.D.

**Variation to Chapter 17.3.2 Building Height Limits:**

1. Building heights - with a max height up to 96' 8" and an average height up to 82.46'

**Design Variations:**

1. Roof Form



2. Wall material – not meeting the required 25% stucco
3. Glazing – uninterrupted areas of glass that exceed 16 s.f.
4. Decks and Balconies – long continuous bands
5. Commercial, Ground Level and Plaza Area Design Regulations –
  - a. Storefront Design \*per outcome of DRB discussion
  - b. Color Selection
  - c. To allow for ski locker private use on a Primary Pedestrian Route
6. Parking Area Design Standards – Aisle Width

**DRB Specific Approval:**

1. Materials – TPO membrane roof, metal fascia and soffit
2. Solar roof tiles in the Village Center
3. Road and Driveway Standards – (2) Curb cuts

**And, with the following conditions:**

1. Revise the height compliance drawings to address the issues discussed in the staff memo of record.
2. Revise the proposed sidewalk along Mountain Village Boulevard to show a continuous connection including the section at the See Forever tunnel.
3. Revise the parking plan to show that the required employee parking determined by DRB for the dormitories is being met.
4. Revise the parking plan to indicate the locations of any EV installed, EV Ready and EV Capable parking spaces, with the goal of providing as many as is feasible.
5. Revise the garage sections to show structure of building and utilities to the point where staff can understand the stack of structure, utilities (as applicable) and vehicular clearance.
6. Revise the unloading area to meet the minimum dimensional requirements per the CDC including containing delivery trucks entirely within the building.
7. Further detail the vehicular access plan. Investigate the possibility of one-way traffic in the trash area-garage access area. Further demonstrate that access will be available to the project loading dock, the project garage and the Shirana garage when trash removal is being undertaken at the Town trash building. Develop a delivery management plan that contemplates where a delivery truck will wait if the loading dock is occupied. Demonstrate that the current public bus turn-around area will still be available.
8. Revise the snow melt plan to include the area to the south of the trash building as well as the sidewalk from the Shirana stairs.
9. Provide some detail as to how they could potentially avoid bird/glass impacts.
10. Provide additional details regarding proposed solar panels, including the method of mounting and any/all materials associated with the panels.
11. Provide an updated roof plan showing all anticipated rooftop vents and equipment once the final programming is in place.
12. Revise rooftop snowmelt plan to indicate all water will be routed to the stormwater drains.
13. Provide an enlarged detail of the main entrance at the porte cochere area.
14. Provide a drainage study with storm water run-off calculations and/or update the original study as applicable.
15. Provide a current geotechnical report with final DRB review consistent with the Major PUD application requirements.
16. Revise the landscaping plans to reduce the area of planting beds, creating at least one open plaza space capable of having special events and allowing for better

- access to the plazas for maintenance and EMS services with a 16' minimum path. The applicant shall also include a materials board and specifications for all plaza furniture and hardscape material. Irrigation details and calculations are also required.
17. Investigate engineering anchor points for sun-shades and/or bistro lighting over the plaza areas for special events.
  18. Provide details regarding the proposed fixed planters within the building balconies, including technical details of the planters/green roofs, proposed plantings and irrigation details and calculations.
  19. Propose pavement striping or another method of indicating potential pedestrian crossing in front of Shirana garage entrance.
  20. Provide a detail of the opening to the pedestrian access through the building and demonstrate any proposed architectural features that define this opening and make it visually appealing.
  21. Verify the public access via the porte cochere to the plaza through the building and identify the legal instrument that will recognize the public access.
  22. Create a trash management plan indicating amount of recycling/trash generated and number of anticipated pickups per week.
  23. Provide an interim trash management plan for those users of the Town trash building.
  24. Revise the Town trash building plans to provide the equivalent space for trash and storage as the current building, to provide roll-up doors for access, to demonstrate all proposed materials, and to show venting for the boilers (unless those are moved to another location).
  25. Remove additional boiler location as proposed on town open space.
  26. Provide locations for electrical transformer/s, switch box and gas substation per the comments of this memo and referral comments and identify easements that would be necessary to accommodate utility infrastructure. The applicant should also indicate the plan for disposition of abandoned utilities.
  27. Provide electrical load calculation for SMPA so that the number and locations of transformers can be better identified.
  28. Revise the access plans to show compliance with dimensional requirements for driveways.
  29. Revise plans to show removable bollards at the fire lane access.
  30. Prior to building permit, an improvements agreement shall be entered into between the applicant and the town for all landscaping improvements.
  31. Prior to building permit, a maintenance agreement for landscaping and plaza maintenance will be entered into between the applicant and the Town.
  32. Additional agreements and easements will be identified in the Town Council memo prior to a final approval.
  33. Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
  34. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks or across property lines.
  35. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.

36. Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and
  - e. Any other approved exterior materials
37. It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
38. A Major Subdivision application must be approved by Town Council prior to issuance of a building permit and concurrent with final PUD approval.

The DRB have stated the following comments about the PUD to convey to Town Council as follows: [insert consensus comments here]

/aw

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CONCEPTUAL DESIGN NARRATIVE

**Lot 109R Telluride Mountain Village According to the Replat of Lots 73-76R, 109, 110, Tract 89-A  
and Tract OS-3BR- 1**

**May 19, 2022** Revised from May 13, 2022 in response to hearing on May 5, 2022 DRB hearing and town comments: 109R Major PUD Amendment Compliance Communication

This design narrative addresses the architectural building pertaining to Mountain Village Municipal Code specific to Community Development requirements in line with the existing PUD and new PUD amendment application. As a development team, we had numerous iterations of the design in order to both create a timeless building, and one that conforms to the natural elements and environment of Mountain Village.

Throughout this process we have received comments pertaining to internal workings of the building and back of house independent of planning and zoning. The focus has sometimes morphed beyond the planning and zoning process which typically focuses on how the building integrates into the natural surroundings, building height, building mass and building siting, has stepped inside into the interior challenging building code compliance.

It is the responsibility of the architect and engineers to design a building to International Building Code (IBC), International Energy Code Compliance (IECC), National Electric Code (NEC), International Fuel Gas Code (IFGC), International Mechanical Code (IMC), International Plumbing Code (IPC), International Fire Code (IFC), International Pool and Spa Code (IPSC), Ansi A117.2, and includes the local jurisdictional code compliance specific to the area for which the building is being designed. The building department reviews the building design for code compliance with these codes during the permitting process. It is also typical a code consultant review a preliminary set and cursory reviews of the project so that code compliance is not only being met, but also addressed up to and prior to submitting to the building department.

The architectural team has not only been in contact with a consultant but has also done code compliance reviews. The design team includes architect and LEED AP with previous LEED projects. Additional design team members include a team of engineers and specialty consultants including civil, landscape architect, structural, MEP, back of house/kitchen consultant, spa consultant, energy code compliance consultant, building envelope consultant, interior designer team, and LEED specialist.

Whole-building energy analysis will be used to optimize envelope, HVAC, lighting, pool/spa systems, snowmelt, and renewable energy strategies, which will all be evaluated under metrics such as energy costs, energy/demand reduction, carbon impacts, and greenhouse gas reduction. This iterative, holistic analysis will help the team determine the ideal fenestration and glazing performance targets with respect to the other building systems and design elements.

Operations are the responsibility of the developer and the hotel brand and continue to be addressed with the architect for the interior architectural design. We have worked closely as a team to integrate circulation needs, programming requirements, and adjacencies. Any revisions that may or may not arise due to programmatic needs including and not limited to back of house operations for mechanical, electrical, plumbing and/or branding demands will be addressed within the confines of the proposed footprint. The developer understands this may result in a net loss of leasable square footage and thus would not result in a change to the exterior due to this.

Much like how the mountainous terrain evolved, we have worked tirelessly on the design to address comments within the constrained site to push the architecture above and beyond. Architecture is romantically thought of for design, but the very real aspect to architecture is life safety and it is of the utmost importance. This includes vehicular and pedestrian circulation routes which we have addressed with the civil engineering design, landscape architecture, and most importantly, the Fire Marshal.

It is always a challenge to design an aesthetically appealing building within the confines of building code for life safety and we continue to ensure this is being met. This includes clearances required for servicing back of house equipment and are and will continue to be addressed as part of the building permit process. Our innate desire to create a building that integrates into the natural alpine surroundings is firmly planted into an equal desire to have the design be not only

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timeless but also a building the town can be proud to have as an addition to the community. However, to achieve this, we need to continue forward with a focus on the design approval. We hope that with this iteration of the design variance requests, we have satisfied staff and DRB comments so that you can recommend this design to the town council.

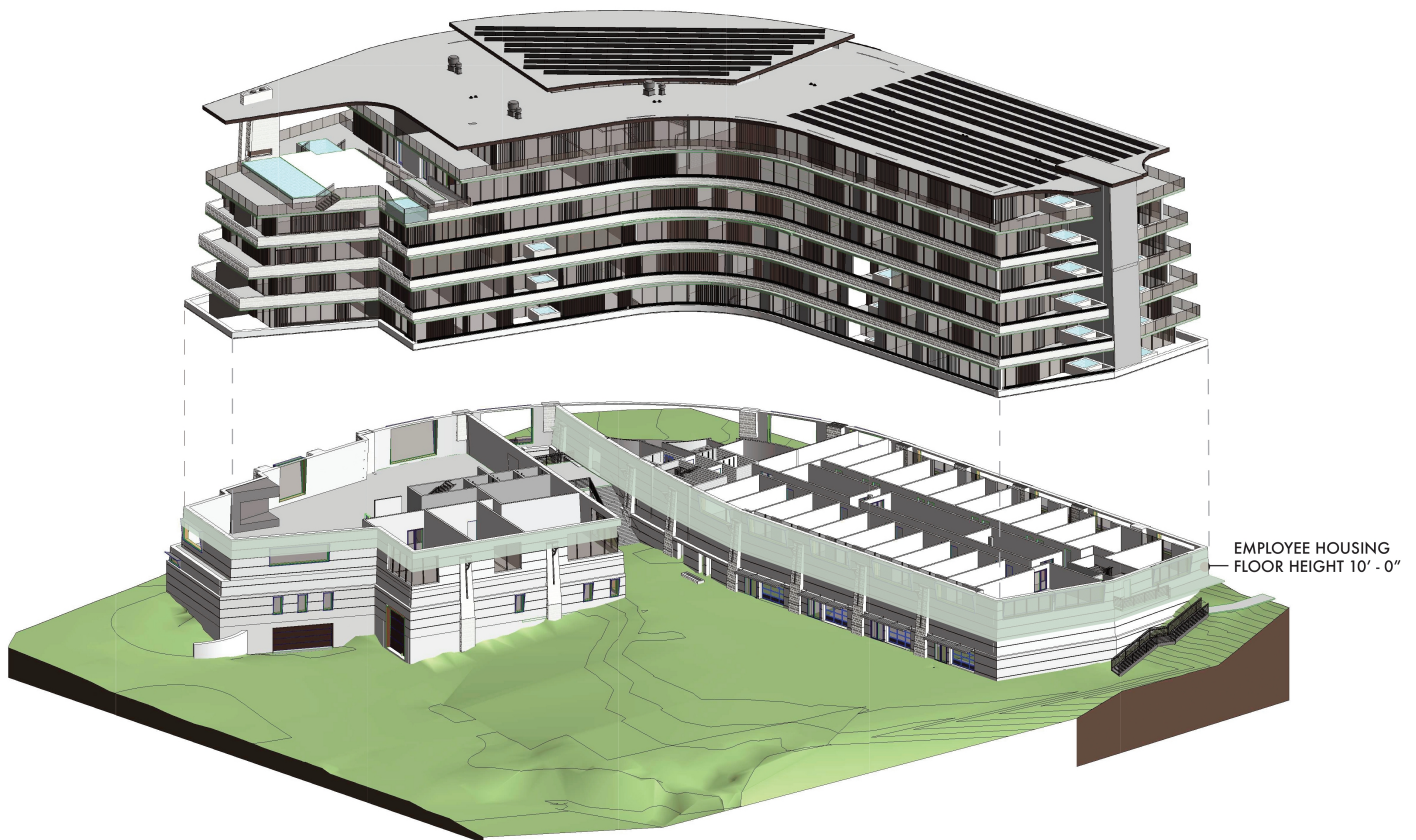
Section 17.5.6.A Building Design

17.3.11.C.2 Method for Measuring the Average Building Height.

1. The Average Building Height shall be measured from the natural grade or the finished grade, whichever is more restrictive, to the point on the roof plane midway between the eave and the highest point on the rooftop, roof ridge, parapet or topmost portion of the structure. An average building height calculation is produced for each of the four (4) architectural elevations. The four (4) height calculations are then averaged to derive the Average Building Height.

The existing PUD has an approved average height of 65'-2.9. The average height, as established per CDC guidelines only allows for gabled ridged rooflines to take an exception to the midpoint of the elevation. It does not address the incorporation of a flat roof. A flat roof can also address the mountainous and high alpine environment. Our previous submission prior to the first DRB hearing had a request for a variance to adjust the average height to 82.46'. We have modified the architecture and are now requesting a more modest adjustment to an average height of 79.72'.

This variance is the minimum variance needed to accommodate 13,728 SF of employee housing. We have attached diagrams to demonstrate without the added level of employee housing we would be in compliance with the existing PUD. Additionally, due to the very nature of the building design and flat roof it is important to note the average height is more reflective of the building height overall. It is equally important to note this is the majority of the building elevation and is approximately 9' under the previously approved max height.



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### 17.3.12 Building Height

The existing PUD has an approved height of 88'-9". Our previous submission prior to the first DRB hearing had a request for a variance to adjust the max height to 96'-8". The current request is for a variance to adjust the max height to 94'-8.4". We are requesting a minor modification of 5'-11.6" to the previously approved max height. The general height across the building is under the approved max height, which can be seen by our average height numbers.

In response to DRB comments, we modified the roof at the east end to connect with the elegance of the west end extend roof. This revision resulted in the need to slightly raise the modest stair roof which is no higher than the upper roof. The result is a minor height variation from the previous iteration of our design resulting in a max height on the east end stairwell of 92.5', but is also below the asking max height variance. We feel this modification is important and has improved the architecture.

This variance is the minimum variance needed to accommodate 13,728 SF of employee housing. We have attached diagrams to show that we would be in compliance with the existing PUD if we did not incorporate employee housing.

### 17.3.22 Right of way and town

1. For any new development on a privately owned lot that includes ancillary and associated improvements proposed to be located on or projecting into and/or over right-of-way or Town-owned access tracts, the review authority shall first review, and if approved, require the lot owner to enter into a Revocable Encroachment Agreement with the Town that includes indemnification for the Town from liability that may arise from such encroachments.

The south side of the property on the public courtyard has an awnings over the retail entries which provide shade and protection from the weather. These elements project over the property line. A diagram has been included in the PUD Amendment request. Please refer to PUD narrative for variance requests.

### 17.5.5 Building Siting Design

Mountain Village Road is immediately adjacent to the property line. There is only one sidewalk at the existing pedestrian underpass. In response to the confined site we are integrating a snow melt system as constraints do not allow for storage of snow that could accumulate from snow plowing.

#### 17.5.15.A. Plaza Use Design Regulations.

1. Purpose and Intent. The exterior surface uses of the plaza areas shall be carefully designed for the enjoyment of the public with outdoor dining and seating areas, vending apparatuses, ski and bike racks, media racks and other plaza uses contributing to the character and feel of the plaza areas. The design of plaza uses, therefore, shall be carefully considered. The Plaza Use Design Regulations are intended to establish design regulations for plaza uses on the plaza areas.

#### 2. Applicability and Plaza Use Standards.

- a. The Plaza Use Design Regulations are applicable to any person or entity conducting a plaza use on a plaza area.
- b. All uses on plaza areas shall require the review and approval of the Planning Division pursuant to the Design Regulations and the Town Plaza Use Design Standards ("Plaza Use Standards").
- c. The Town may amend the Plaza Use Standards without an amendment to the Design Regulations. Such amendments shall require a recommendation from the DRB and final action by Town Council. The DRB's review and Town Council action on amendments to the Plaza Use Standards shall be adopted by resolution and shall, prior to adoption, require public notice by the placement of an advertisement on the Town website.

3. Review Process. Plaza use development applications shall follow the class 1 application process.

#### 4. Criteria for Decision.

- a. The following criteria shall be met for the review authority to approve a plaza use development:
  - i. The plaza use meets the Plaza Use Design Regulations;

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- ii. The plaza use meets the Plaza Use Standards;
  - iii. The plaza use meets the applicable Design Regulations; and
  - iv. The plaza use meets all applicable Town regulations and standards.
- b. It shall be the burden of the applicant to demonstrate that submittal material and the proposed development comply with the criteria for decision.

5. General Standards.

- a. Compliance with Plaza Use Standards. Site furniture and fixtures in the Village Center shall be designed, installed, operated and maintained in accordance with the Plaza Use Standards.
- b. Maintenance of Plaza Areas. All plaza uses and associated plaza areas (pavers, etc.) shall be maintained by the plaza use operator and kept clean and in good repair. This includes but is not limited to the removal of snow and the replacement of damaged pavers or other plaza improvements in the plaza area caused by the plaza use operator. Such maintenance requirement shall be set forth in the required plaza use license agreement.
- c. Non-Obstruction. Plaza uses shall be placed so as to not obstruct or impede fire access routes, pedestrian ways, general building ingress and egress or pedestrian flow through the plaza areas.

6. Outdoor Dining and Seating Area Standards. The size, quantity and location of the outdoor dining and seating area shall be relative to the size of the business establishment, its frontage and the immediately adjacent plaza area.

- a. Solar access should be considered in locating outdoor dining and seating areas such as sunny, sheltered pockets that take advantage of solar access.

The interior parklike setting of the courtyard is well shaded.

- b. Snow shed from the adjacent building(s) shall also be considered when locating outdoor dining and seating areas.

The courtyard has snowmelt incorporated and will allow for the adjacent buildings snow shed.

- c. Outdoor dining and seating areas may be expanded from time to time for Town-approved special events.

Fixed built in benches are being proposed in the courtyard design.

- d. Placement of tables shall be limited to the specified outdoor dining and seating area within an exclusive premise or within the boundaries of a valid resort-complex liquor license and as described and depicted within the license agreement as required.

- e. The Town may set hours of operation, limitations on amplified music and similar measures to ensure there are no adverse impacts to residents and guests.

- f. Furniture placed by a business for the intention of serving liquor shall have a defined barrier unless the business holds a valid resort-complex liquor license and the edge of the resort complex is clearly identified by a review authority-approved barrier or signage designed in accordance with the Plaza Use Standards. This barrier may be created through the placement of planters, pots, benches, bollards, stone walls and other elements in accordance with the Plaza Use Standards.

- g. Any outdoor dining and seating area shall provide screening for any appliance or accessory use associated with food and beverage service such as cash register, warming trays, coffee burners, etc., unless the review authority approves an alternative plan. Such appliances and accessories shall be brought indoors following the close of each business day.

- h. The review authority may approve the installation of structures or other improvements in outdoor dining and seating areas that are not outlined in the Plaza Use Standards provided the review authority finds that such structures are in accordance with the basic architectural theme of the Village Center or other plaza areas, and that the public health, safety and welfare will be protected.

The proposed design includes outdoor seating integrated in the landscape. The benches will be heating and of a Corten steel finish.

7. Outdoor Display of Merchandise. Outdoor display of merchandise is permitted without Planning Division approval subject to such display meeting the Plaza Use Standards and shall be required to be removed at the close of each business day.

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17.5.6.A Building Form

The proposed design is comprised of a stepped structure with receding balconies like tiered alpine mountain terrain. The form is a deviation from Planters surround the balconies and wrap the perimeter which will provide a landscaped appearance reflective of the natural surroundings. The curved/elliptical shape allows for a more sculptural, organic and horizontal structure, to minimize the visual impact of a new building.

No stucco is incorporated into our design. The windows and doors are inset into the stone base.

17.5.6.C.1 Roof Design Elements

a. The roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines and vertical offsets.

The architectural design is out of compliance with the varied sloped plane requirements and varied ridgelines and vertical offsets. We are proposing a unique roof with a small pop up and an architectural feature over the pool deck which carries ones eyes outward and then up to the sky.

e. Roof ridgelines shall, where practicable, step with the topography of the site following the stepped foundation.

The majority of the roof is a horizontal continuous feature. We have deviated from this requirement by incorporating steps into the architectural floors rather than roof ridges.

The proposed roof design complements the tapered stepped balconies. The roofline separates as if pulling away from the mass and opens to the sky above where the pool deck is situated. The flat roof allows for integration of a large solar array with non-reflective glass. The upper penthouse roof peaks above the main roof and provides one last nod to a mountain top.

The proposed design will integrate a snow melt system.

17.5.6.C.2 Roof Drainage

b. All development within the Village Center shall be required to provide an integral guttering system designed into the roof or other DRB approved system of gutters, downspouts and heat-tape to contain roof run-off.

The design intent is to incorporate architectural fascia at the roof perimeter and direct water to internal downspouts routed to the exterior walls and then daylight at non-pedestrian walkways or be hard piped to storm water. The proposed design will integrate a snow melt system and internal roof drains. A schematic design has been provided and final roof drainage will be provided at final submittal.

17.5.6.C.3.v Roof Material

i. Synthetic roofing material that accurately emulates wood shake, concrete and slate tile or any other roofing material permitted or existing in Mountain Village.

The previously approved PUD incorporated tile roofing. We are proposing a synthetic "Class A" membrane roof assembly. Synthetic roofing is compliant with CDC acceptable materials but does not match previously submitted PUD roofing materials.

17.5.6.d The following roofing material outside of the Village Center shall be approved by the DRB as a specific approval that is processed as a class 3 development application if the DRB finds the roofing material is consistent with the Town design theme and the applicable Design Regulations:

The previously approved PUD did not incorporate solar. We are proposing non-reflective solar to offset energy use.

e. Village Center roofing material will require a class 3 development application and building specific design review. The following roof materials shall be approved by the DRB if the DRB finds the roofing material is consistent with the Town design theme and applicable Design Regulations:



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Per comments on 17.5.6.C.3.v we are proposing a charcoal synthetic roofing in lieu of the standard options. This is a deviation from previously approved PUD.

17.5.6.C.3.i. In the Village Center, all exposed metal flashing, gutters, downspouts and other roof hardware shall be copper except when structural requirements dictate the use of stronger materials such as for snow fences. The DRB may grant specific approval to allow for metal flashing, gutters, downspouts and other roof hardware as long as its contextually is compatible in design, color, theme, material and durability as the approved roofing materials.

#### 17.6.6.B Driveway Standards.

**Driveway Allowance.** A driveway may provide access for up to a maximum of three (3) single-family dwellings, or may also be used to provide access to a parking garage or any allowed surface parking lot serving multifamily, mixed-use, commercial or other development containing three or fewer buildings only one (1) lot directly from the main roadway.

All other development shall only use a roadway to serve access per the roadway standards.

##### Driveway Width.

For driveways that service three (3) or fewer single-family dwellings, the minimum paved drive surface width shall be twelve feet (12') for driveway lengths less than 150 feet. Driveway lengths exceeding 150 feet which service three (3) or fewer single-family dwellings shall have a minimum paved surface of sixteen feet (16'). Shoulders may be required by the Fire Code.

For driveways that service multifamily, mixed-use, commercial or other development, the paved drive surface width shall be no less than twenty feet (20') with two foot (2') shoulders on each side.

Shoulders shall be constructed of concrete drainage pans or other review authority approved material that is compacted to withstand a twenty (20) ton load minimum. The shoulders shall pitch two (2%) percent grade from the edge of the edge of the twelve (12') foot driveway.

Drainage pans are not required where a driveway is a drive aisle in a parking lot with the minimum width of such drive aisle twenty-four (24') feet.

The driveway access to the parking garage is 24' wide and also contains drainage pans.

**Driveway Construction.** Driveways shall be designed and constructed in accordance with the specifications shown in Figure 6-4.

**Maximum Grade.** Driveway grade shall not exceed eight percent (8%) except:

Garage entrances, parking and required fire apparatus turnaround areas shall not exceed five to six percent (5% – 6%) grades without specific approval from the review authority in consultation with the Telluride Fire Protection District and Public Works Department.

i. If driveways grades for such areas are approved greater than five to six (5% – 6%) percent, then the review authority may require that a snowmelt system be incorporated into the driveway design.

The maximum driveway grades shall not exceed five percent (5%) for the first twenty (20') feet from the edge of the public roadway or access tract.

Transitional sections not exceeding 500 feet may be allowed a maximum of ten (10%) percent if approved by the Town in consultation with the Fire Marshal. Transitional sections exceeding eight (8%) percent shall not be within 500 feet of each other. Curves with a centerline radius of less than 250 feet shall not exceed eight (8%) percent.

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Transitional sections may be allowed a maximum grade up to twelve (12%) percent providing all residences are equipped with an approved fire sprinkler system meeting the Fire Code.

Curves with a centerline radius of less than 250 feet shall not exceed eight percent (8%) grade. Material type typical will be copper. For the roof fascia we are proposing a color combination of black, dark bronze, and a wood look metal soffit in lieu of a copper finish. The materials may not be available in copper but will be of a durable quality.

17.5.6.C.4.d Raised planters, retaining walls or similar landscape features shall be used to direct pedestrians away from any snow or ice shed areas and shall be required where a potential volume of snow shed or an especially hazardous area exists due to the height and slope of the roof aspect and similar site-specific considerations.

We are in compliance with this section. The edge of the building tapers and the landscaping will keep pedestrians on a path away from potential hazards.

17.5.6.E.4 The primary exterior wall finish in the Village Center shall be stucco with a minimum use of twenty-five percent (25%) stone and a maximum of twenty percent (20%) wood as an exterior wall material.

We are requesting a variation from this requirement. The proposed design incorporates the towns allowable stone veneer with some metal panels with a Corten steel finish. We are requesting the requirement of 25% minimum of stucco be removed from the design requirement. The proposed design is a deviation from the previously approved PUD which included stucco.

17.5.6.I.1 Decks and balconies shall be designed to enhance the overall architecture of the building by creating variety and detail on exterior elevations. Combinations of covered decks, projecting balconies and bay windows shall be used.

We are requesting removal of the requirement to incorporate bay windows as this requirement negatively impacts the architecture.

2. Long, continuous bands of balconies are prohibited.

Our balconies will likely be viewed as long and continuous; however, we are incorporating privacy dividers to break them up. We have further broken up the architecture with columns and planters which conceal the balconies and provide additional privacy. We are requesting we be allowed the balconies as incorporated in the proposed design as it would negatively affect the architecture and the project to reduce access to views and an experience of outdoor access via large balconies.

#### 17.5.6.B Exterior Wall Form

1. Tiered and tapered stone walls anchor the structure to the natural environment. Metal accents and panels mimic weathered steel and the rich rust colors acknowledge the mountain environment. The mass of the walls start heavy and thick and provides relief from too much verticality. Windows are set back from exterior walls on the stepping balconies. Although the stone base of the walls are tapered, we believe they are in compliance with the town's requirements.

2. The existing site is connected via a pedestrian walkway that runs under Mountain Village Blvd. In order to keep the existing walkway from Sea Forever Village to the Village Core we integrated the building form and massing around the access. Once through the access way, the pedestrian circulation opens to the plaza. Benches will be provided throughout the courtyard inviting pedestrian interaction. The retail and market space accessed from the interior courtyard encourages additional pedestrian activities.

The circulation has been maintained and improved with stone pavers, trees, landscaping, and a winding organic path that wraps around the southwest side of the building connecting back to Mountain Village Blvd.

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17.5.6.C.1 Roof Design Elements

- a. The roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines and vertical offsets.

The architectural design is out of compliance with the varied sloped plane requirements and varied ridgelines and vertical offsets. We are proposing a unique roof with a small pop up and an architectural feature over the pool deck which carries ones eyes outward and then up to the sky.

- e. Roof ridgelines shall, where practicable, step with the topography of the site following the stepped foundation.

The majority of the roof is a horizontal continuous feature. We have deviated from this requirement by incorporating steps into the architectural floors rather than roof ridges.

17.5.6.C.2 Roof Drainage

- b. All development within the Village Center shall be required to provide an integral guttering system designed into the roof or other DRB approved system of gutters, downspouts and heat-tape to contain roof run-off.

The design intent is to incorporate architectural fascia at the roof perimeter and direct water to internal downspouts that will be routed to down the exterior walls and then daylight at non-pedestrian walkways.

17.5.6.C.3.v Roof Material

- v. Synthetic roofing material that accurately emulates wood shake, concrete and slate tile or any other roofing material permitted or existing in Mountain Village.

The previously approved PUD incorporated tile roofing. We are proposing a synthetic "Class A" membrane roof assembly.

17.5.6.C.3.i. In the Village Center, all exposed metal flashing, gutters, downspouts and other roof hardware shall be copper except when structural requirements dictate the use of stronger materials such as for snow fences. The DRB may grant specific approval to allow for metal flashing, gutters, downspouts and other roof hardware as long as its contextually is compatible in design, color, theme, material and durability as the approved roofing materials.

Material type typical will be copper. For the roof fascia we are proposing a color combination of black and dark bronze in lieu of a copper finish. The materials may not be available in copper but will be of a durable quality.

17.5.6.C.4 Pedestrian Protection

The covered Porte Cochere protects residents and guest from harsher winter months. The building embraces the existing pedestrian walkway connection which will provide additional shelter when meandering through the site. Proposed landscape path design directs pedestrians centrally away from building edges. The tapered walls recede from the building perimeter which further protects pedestrians from potential overhead hazards.

17.5.6.D.1 Chimneys, Vent and Rooftop Design

The chimney form is carried from the ground up comprised of the stone massing and tapers mimicking the other tapered forms of the building for a cohesive design.

We are focused on limiting rooftop equipment on the roof, however, if required, it will be properly screened and set back from the exterior of the building. The screened enclosure will be metal and of the same finish as other metal forms on the building.

17.5.6.d The following roofing material outside of the Village Center shall be approved by the DRB as a specific approval that is processed as a class 3 development application if the DRB finds the roofing material is consistent with the Town design theme and the applicable Design Regulations:

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The previously approved PUD did not incorporate solar. We are proposing non-reflective solar to offset energy use.

e. Village Center roofing material will require a class 3 development application and building specific design review. The following roof materials shall be approved by the DRB if the DRB finds the roofing material is consistent with the Town design theme and applicable Design Regulations:

Per comments on 17.5.6.C.3.v we are proposing a charcoal synthetic roofing in lieu of the standard options.

#### 17.5.6.E Exterior Wall Materials

The proposed design exceeds the DRB minimum 35% stone requirement. The stone steps with the building levels and transitions to rust metal panels and wood columns.

#### 17.5.6.E Exterior Color

The proposed design pallet is comprised of cream-colored stone, rust color metal panels like reminiscent of weathered steel, wood timber columns, charcoal grey roofing, black fascia, bronze window mullions and accents.

17.5.6.E.4 The primary exterior wall finish in the Village Center shall be stucco with a minimum use of twenty-five percent (25%) stone and a maximum of twenty percent (20%) wood as an exterior wall material.

We are requesting a variation from this requirement and the previously approved PUD. The proposed design incorporates the towns allowable stone veneer with some metal panels with a Corten steel finish. We are requesting the requirement of 25% minimum of stucco be removed from the design requirement.

#### 17.5.6.G Glazing

The proposed design addresses solar gain at the lower levels with sliding screens of vertical louvers. The exterior walls step back providing additional protection from too much solar gain and windows are partially screened with fixed vertical louvers comprised of rusted metal reminiscent of weathered steel. The horizontal ribbons of typical hotel and apartment windows which can lack imagination is interrupted with screened elements comprised of vertical louvers providing privacy and a playful rhythm across the façade conducive to nature.

Previously approved windows were painted aluminum. We are proposing a Kawneer finish or similar thermally broken aluminum storefront.

#### 17.5.6.I Decks and Balconies

Decks and balconies shall be designed to enhance the overall architecture of the building by creating variety and detail on exterior elevations. Combinations of covered decks, projecting balconies and bay windows shall be used.

We are requesting removal of the requirement to incorporate bay windows as this requirement negatively impacts the architecture.

The proposed design for decks and balconies provides a variety of details. The sixth floor pool deck is reminiscent of standing at a cliffs edge provides clear access to the surrounding views.

2. Long, continuous bands of balconies are prohibited.

Our balconies will likely be viewed as long and continuous; however, we have broken up the architecture with columns and planters which conceal the balconies and provide additional privacy. Balconies are further screened from each other with full height privacy screens. We are requesting we be allowed the balconies as incorporated in the proposed design as it would negatively affect the architecture and the project.

#### 17.5.8.C.3 Parking Regulations

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Aisle Width. The driveway and aisle width for either surface lots or parking garages shall be twenty-two feet (22').

We are requesting approval of a reduction of this requirement to 18' as needed for ramp to G1A and and G1A circulation. Fire Marshal approval has been provided.

We have provided parking by code and in addition will be providing twelve (12) parking spaces as per staffs request for employees.

17.5.12

We are requesting approval of the proposed exterior lighting at the northern façade which is intended to give off a warm soft glow, but is not a full cut off light as it is intended to be a gas torch.

**In response to DRB and town staff comments we have included the following additional clarification.**

1. Revise the height compliance drawings to address the issues discussed in the staff memo of record.

**RESPONSE: Revisions have been incorporated into elevations and topos please see revised sheets A-1.12, A-2.01, A-2.02, A-2.03 and A-2.04.**

2. Better address how snow will be managed consistent with the PUD development agreement, between the building and Mountain Village Boulevard by management and removal.

**RESPONSE: Upon town staff request, a sidewalk has been added from the northeast side of the building along Mountain Village Blvd to the Porte Cochere. This sidewalk will be snow melted. In addition, we will also be adding a snow melted sidewalk on the northwest side of the See Forever bridge to the entrance to our driveway as per staff request.**

3. From the pedestrian bridge going down MV Blvd., the Applicant is asking Public Works to blade the Blvd snow to the north side of the road and into the Open Space lot rather than blading it towards the building.

**RESPONSE: Condition not needed due to change in condition 2.**

4. Revise the parking plan to show the required number of ADA accessible spaces.

**RESPONSE: Please see revised parking plans.**

5. Revise the parking plan to indicate 10% EV installed, 15% EV Ready and 50% EV Capable parking spaces.

**RESPONSE: Parking constraints may limit this ask. We are showing two (2) EV charging stations on level G2 and will try our best to maximize EV parking.**

6. Revise the garage clearances to provide a minimum of 11.5' clearance and additional space as necessary for the routing of utilities that allows for the protection of these pipes as they run through the garage.

**RESPONSE: The sanitary and storm utilities will be located beneath Level G2 parking garage slab. A record of pipeline as-built condition will be captured if the need should arise to service below slab utility. A utility easement will be granted.**

**Per International Building Code (IBC) 2018 and CDC 17.5.8.1.d "The minimum clearance for each parking space shall be seven and one-half feet (7.5') as measured from the surface of the parking space to the garage roof or to hanging plumbing, mechanical equipment or other constructed improvements." There is an accessible van parking space at level G2 which will require a clearance of 8'-2". We will comply with code requirements and design interior spaces per building code through the permit process working closely with the engineers.**

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Golden, CO

7. Revise the garage clearances to provide a minimum of 11.5' clearance and additional space as necessary for the routing of utilities that allows for the protection of these pipes as they run through the garage.

**RESPONSE: Garage clearances to be coordinated with mechanical and plumbing and will adhere to code requirements for minimum height.**

8. Revise the unloading area to meet the minimum requirements per the CDC including containing delivery trucks entirely within the building. The applicant should demonstrate the turning radius of trucks leaving Mountain Village Boulevard.

**RESPONSE: We are asking for a variance as addressed in the PUD narrative due to site constraints for our loading dock. We are providing diagrams to show turning radius for a WB-55 truck as per this link. <https://www.screencast.com/t/VljfE9gsUaB>**

9. Provide a more detailed circulation plan showing pedestrian, bike, automobile, delivery, trash and EMS/FIRE circulation throughout the property.

**RESPONSE: Please see pedestrian and bicycle circulation diagram on sheet A2.08. Please see WB-50 delivery truck, garbage truck, fire truck/ambulance and golf cart service access on sheet A2.09.**

10. Work with Town staff to address public improvements between Shirana and the Peaks crosswalk and to provide a temporary load and unload zone along Mountain Village Boulevard.

**RESPONSE: We will work with town staff and Shirana HOA for feasibility of this ask.**

11. Provide some detail as to how they could potentially avoid bird/glass impacts.

**RESPONSE: This is of equal concern to us and details addressing bird/glass impacts will be provided at final submittal.**

12. Provide additional details regarding proposed solar panels, including the method of mounting and any/all materials associated with the panels.

**RESPONSE: Solar mount is to be flush with the roof and drainage slope. Details will be provided at final submittal.**

13. Provide an updated roof plan showing all anticipated rooftop vents and equipment once the final programming is in place.

**RESPONSE: To be provided at final submittal.**

14. Provide an enlarged detail of the main entrance at the porte cochere area.

**RESPONSE: To be provided at final submittal.**

15. Provide a drainage study with storm water run-off calculations, or revise the original study as applicable.

**RESPONSE: This will be done after Town Council approval and prior to Final DRB.**

16. Revise the landscaping plans to reduce the area of planting beds, creating more open plaza space and allowing for better access to the plazas for maintenance and EMS services. The applicant shall also include a materials board and specifications for all plaza furniture and hardscape material. Irrigation details and calculations are also required.

**RESPONSE: To be provided at final submittal. Refer to response #9 for circulation access plans.**

17. Provide details regarding the proposed planters within the building balconies, including technical details of the planters/green roofs, proposed plantings and irrigation details and calculations.

**RESPONSE: In response to DRB comments, the majority of building planters have been removed. The remaining planters will incorporate a hydrotech water proofing system and conservative irrigation. Additional details to be provided at final.**

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18. Demonstrate pedestrian access through the property, and address the concerns in the memo of record regarding pedestrian access from the emergency lane to Mountain Village Boulevard to the west as well as pedestrian traffic from Sunny Ridge and upper Mtn. Village Blvd.

**RESPONSE: There is no official pedestrian access down the Fire Lane. We will discourage pedestrian traffic down the lane. Pedestrian traffic flow is being contemplated through the Shirana courtyard and down the steps via a potential sidewalk being design to connect to existing sidewalk along Mountain Village Blvd. Refer to response #9 for circulation access plans.**

19. Provide a detail of the opening to the pedestrian access through the building and demonstrate any proposed architectural features that define this opening and make it visually appealing.

**RESPONSE: Additional façade design has been incorporated. Final design to be provided at final submittal.**

20. Revise their snowmelt plans per direction from Public Works by expanding the snowmelt areas accordingly.

**RESPONSE: Conceptual snowmelt plans have been created to incorporate additional areas, but will be subject to boiler placements. Concerns have been raised about the town's current boiler system emitting plumes from condensation and what visual impact, if any, there would be to the Shirana at the new trash building. We are proposing a sealed combustion exhaust system for the new boiler. This system mitigates the plume the exhaust. An attachment has been provided which delineates the exhaust and fresh air occur on the same side of the building and can be strategically placed to conceal from the main view.**

21. Revise the building programming to include larger trash areas (minimum 10' x 12') on floors that contain retail or restaurant uses, indicate a trash compactor for the project and provide a trash management plan indicating trash removal plan and number of anticipated pickups per week.

**RESPONSE: There are only trash chutes in the rooms marked as trash. The trash room is to help mitigate smells and noise not store trash.**

22. Provide an interim trash management plan for those users of the Town trash building.

**RESPONSE: Will discuss with town staff.**

23. Revise the Town trash building plans to provide more space for trash and storage, to demonstrate all proposed materials, and to show venting for the boilers(unless those are moved to another location).

**RESPONSE: Refer to revised trash facility plan sheet A-111. This will be conditional upon additional boiler space granted in other areas. Boilers and venting to be provided at final submittal.**

24. Provide proposed locations for electrical transformer and junction box and gas substation and identify any additional easements that would be necessary to accommodate these structures. The applicant should also indicate the plan for disposition of abandoned utilities.

**RESPONSE: Working with the utility providers. Initial conceptual plan is provided on sheet C.3. We have updated staff accordingly.**

25. Provide electrical load calculation for SMPA so that the number and locations of transformers can be better identified.

**RESPONSE: This will be provided at final.**

26. Revise the access plans to show compliance with dimensional and grade requirements for driveways. Additionally, more detailed plans on garage ramps and proposed grades within the building should be provided.

**RESPONSE: Preliminary grade has and is reflected on sheet C2.3. Final grading will be provided at final. The interior building parking garage ramps are per code compliance for building permit. Preliminary code reviews have been incorporated to confirm parking garage ramp is compliant. The architect is working closely with the civil engineer for the transition from the exterior grade to the interior building permitted portions.**

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27. Demonstrate all proposed fireplaces and fuel sources on floor plans and provide proof of proof of Town wood burning permit if any are proposed.

**RESPONSE: Please see attached approved fireplace permit. Fuel sources will be shown at final.**

28. Prior to building permit, an improvements agreement shall be entered into between the applicant and the town for all landscaping improvements.

**RESPONSE: Noted**

29. Prior to building permit, a maintenance agreement for landscaping and plaza maintenance will be entered into between the applicant and the Town.

**RESPONSE: Will be discussed with town staff and finalized.**

30. Additional agreements and easements will be identified in the Town Council memo prior to a final approval.

**RESPONSE: Noted**

31. Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

**RESPONSE: Noted**

32. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks or across property lines.

**RESPONSE: Noted**

33. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.

**RESPONSE: Noted**

34. Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials

**RESPONSE: Noted**

35. It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

**RESPONSE: Understood. We are working with the utility providers and have updated town staff.**

36. A Major Subdivision application must be approved by Town Council prior to issuance of a building permit and concurrent with final PUD approval.

**RESPONSE: Noted**



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Golden, CO

Other additional conditions to consider:

37. Prior to final review the applicant shall propose some re-design that continues the use of stacked stone and the grounding column forms onto the plaza side of the project.

**RESPONSE: This has been incorporated.**

38. Prior to final review the applicant shall propose some re-design that better differentiates retail from residential areas of the building and develops the retail areas along the pedestrian access through the building with more visual interest/architectural detail.

**RESPONSE: The façade has been revised incorporating buttresses reflective of the northern façade columns. The steps in the building have been emphasized reducing the mass of the vertical face to lower one's eye and focus to the human scale and 12 ft plane one experiences at the edges of buildings.**

3d viewer model link <https://autode.sk/3wloumH>



## Katsia Lord

---

**From:** Scott Heidergott <sheidergott@telluridefire.com>  
**Sent:** Thursday, March 31, 2022 12:59 PM  
**To:** Katsia Lord  
**Subject:** Re: Mountain Village Hotel Entitlement Submittal - Lot 109R

Katsia,

TFPD approves the reduced width from 22-feet to 18-feet for the drive aisle and parking ramp in the below-grade parking garage for the proposed design in Lot 109R submittal.

Kind regards,

On Wed, Mar 30, 2022 at 12:55 PM Katsia Lord <[klord@vaultdesigngroup.com](mailto:klord@vaultdesigngroup.com)> wrote:

Scott,

Thank you again for taking the time to speak with me. I am following up in email to capture our conversation so that planning is aware you have okayed the reduction from 22' wide to 18' for drive aisle and parking ramp in the below grade parking garage for the proposed design in Lot 109R Submittal.

Thank You,

Katsia Lord, AIA, LEED AP

PRINCIPAL

VAULT DESIGN

C: 720.233.7620

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# Solar-ready design for low-slope roofs

By GAF

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When designing low-slope roofing systems with photovoltaic panels, it's important to consider details such as layout and membrane type to ensure the roof performs as expected.

**Though photovoltaics are increasingly a key component of commercial projects, they may create challenges for the roof system. AIA partner GAF offers best practices to consider to ensure the roof and solar array perform as designed.**

Commercial rooftops are an appealing option for the installation of solar arrays to support energy conservation and generation: It's estimated that if photovoltaic systems were installed on all

commercial buildings in the US with roofs over 5,000 sq. ft., they would provide enough energy to [power nearly 60 percent of the total commercial electricity demand](#).

However, it is important to remember that the roof's primary function is to protect the building and its inhabitants from the elements. A solar-ready roof is typically a new or replacement roof that will incorporate solar arrays, and there are many important considerations for roof system design and panel layout.

For example, as solar panels get hotter, they produce less power. Installing a solar panel over a highly reflective membrane (versus a membrane with lower reflectance) may [boost the panel's efficiency by as much as 13 percent](#). Also, the use of bifacial solar panels over reflective roof membranes can [increase the panel efficiency by 30 to 35 percent](#), as they take advantage of the reflected light.

Damage is another important consideration. While ballasted solar panel mounting systems can be cost effective, they can add significant weight to the roof and may also shift and flutter during high winds and seismic activity. This movement could lead to damage of the roof membrane that is "detrimental to satisfactory long-term roof system performance," according to the National Roofing Contractors Association ([NRCA](#)).

After installation, new challenges may arise when the roof becomes a permanent platform for the continuous operation, service, and maintenance of the solar arrays. It's imperative that architects carefully consider roof system design, including membrane, coverboards, insulation, and attachments, in correlation with any photovoltaic arrays.

Here are the main considerations to take into account when designing low-slope roof systems for solar:

### **Choose the right products**

Solar arrays have a predicted lifespan of more than 25 years, so it's important that the roof have a commensurate or greater life expectancy.

According to the [National Renewable Energy Laboratory \(NREL\)](#), "the best roof for a flat application is a fully adhered thermoplastic olefin or polyolefin (TPO) membrane roof," reinforcing the use of adhered membranes as well as an adhered top layer of insulation and coverboard within the roof system. Designers and owners may also want to consider an increased roof membrane thickness to extend the roof's service life, and using wider rolls will minimize the number of seams buried below the solar arrays.

Regardless of the type of solar array installation, NRCA recommends using a roof membrane that provides enhanced protection against the effects of UV radiation and high service temperatures (for example, [GAF's Everguard Extreme TPO](#)) so that the roof life expectancy will match that of the solar arrays.

Include an adhered high-compressive-strength coverboard directly beneath the roof membrane to withstand increased foot traffic, enhance system durability, and extend the life expectancy of the roof.

For a ballasted system, use high-compressive-strength insulation, a minimum of two layers, staggered and offset. These systems also should include a protection or separation sheet adhered to the membrane.

### **Lay out and install properly**

NRCA recommends using attached or penetrating solar mounting systems through the roof to the structure. Penetrations and flashings must be well detailed and coordinated with the roofing contractor, solar contractor, and electrician. For ballasted solar array supports, additional protection of the roofing system may be required for warranty coverage.

Generally, solar panel layouts require a clear pathway around roof edges, hatches, skylights, service penetrations, between rows of panels, and along both centerline axes of the roof areas. Setting rack heights with enough clearance to service the roof membrane, especially at drains and penetrations, is also important.

Install walk pads for high-traffic areas to prevent damage to the roof during service of the PV panels.

Finally, conduct integrity testing of the roof membrane prior to installing solar overburden.

### **Consider long-term requirements**

In addition to these immediate needs, designers should consider how solar layout requirements align with best practices for roof maintenance.

- Lay out solar arrays to maximize solar energy collection while avoiding high-wind-uplift areas and additional snow accumulation.
- Provide perimeter and maintenance access for roof and solar array maintenance, as well as fire safety and smoke ventilation.
- Set racking systems so that they don't cross roof expansion joints or block drainage.
- Set solar arrays and rack heights so that drains and penetrations are accessible for maintenance.
- Engage with the roof contractor to inspect (and repair as needed) the roof membrane after solar array installation.

It's important to note that materials, layout, structure, and installation all go hand in hand for long-term health of your roof and systems.

The good news is that as rooftop solar becomes more popular, there are more resources available to designers, owners, and contractors to help design, install, and maintain a durable roof system

that can match or outlast the service life of solar arrays. See [GAF's Roofing and Building Science full publication](#) for more information and key resources.

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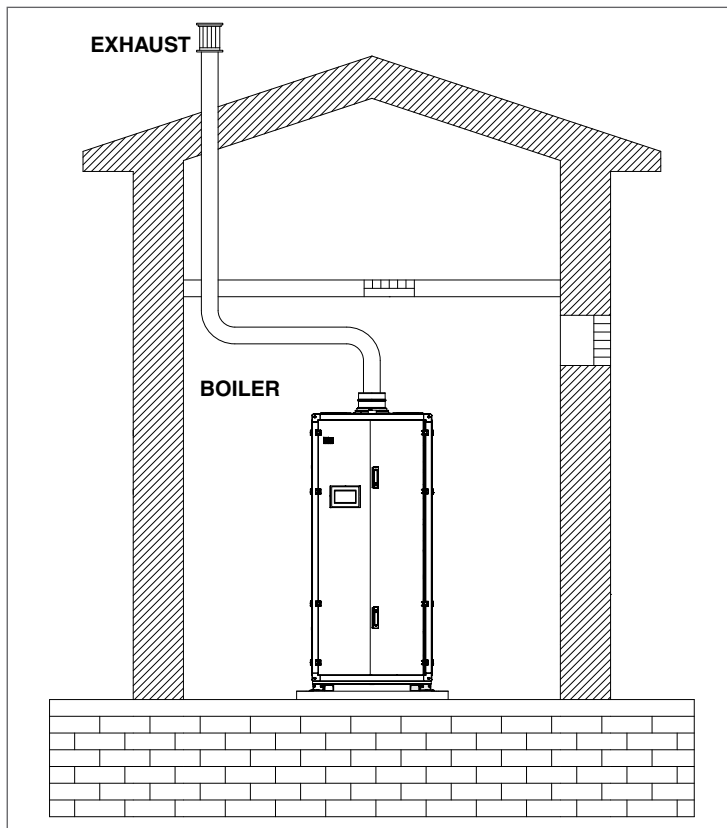


Fig. 31 All Combustion Air from Outdoors through Single Combustion Air Opening

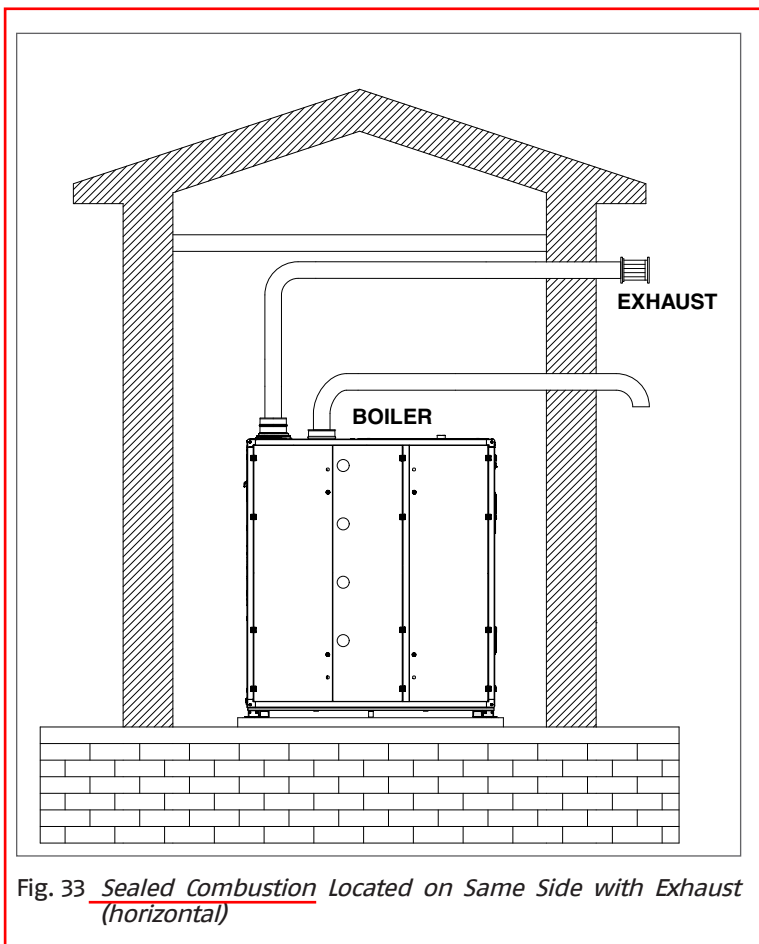


Fig. 33 Sealed Combustion Located on Same Side with Exhaust (horizontal)

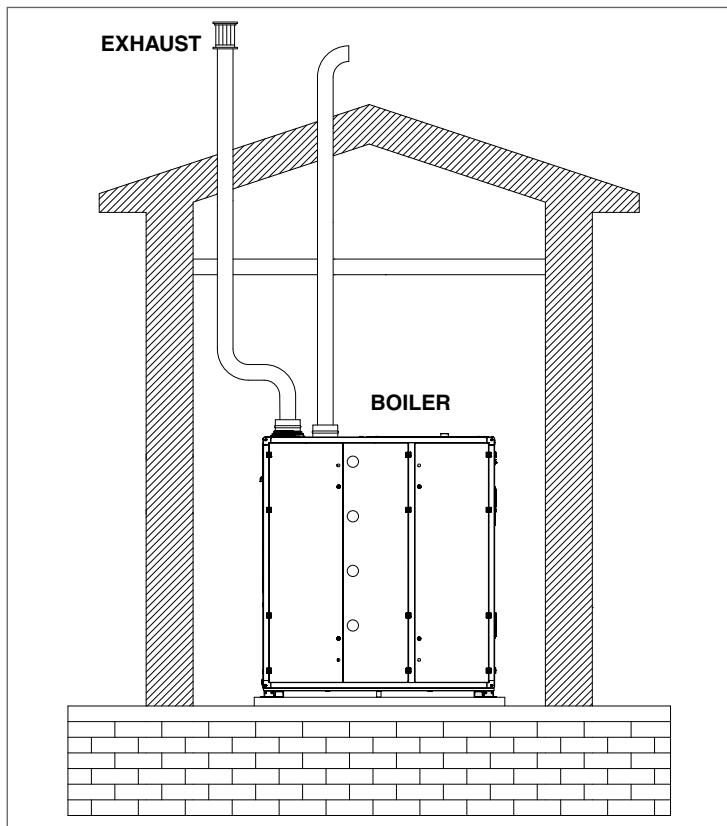


Fig. 32 Sealed Combustion Located on Same Side with Exhaust (vertical)

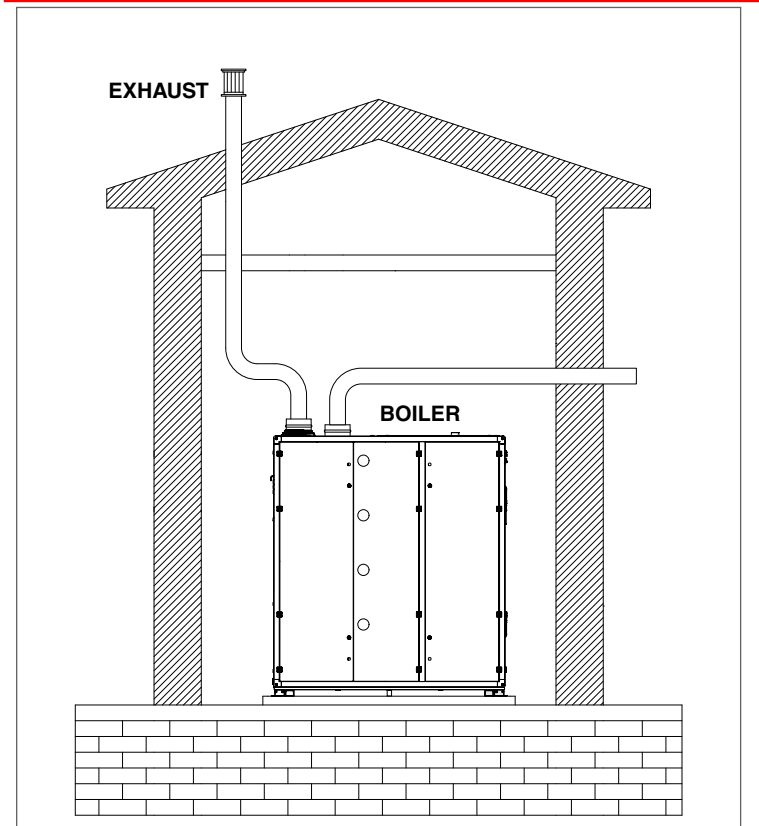


Fig. 34 Sealed Combustion Located on Side Wall



# Bird-friendly glazing



Up to one billion bird deaths in the United States are attributed to collisions with buildings and other structures each year<sup>1</sup>. This document provides information on the problem, its relation to building glass and glazing, and offers potential solutions for architects, contractors, and fabricators. As the architectural community and glass industry work to address this issue, it is critical for audiences to understand collision causes, product testing, bird behavior, and solution options.

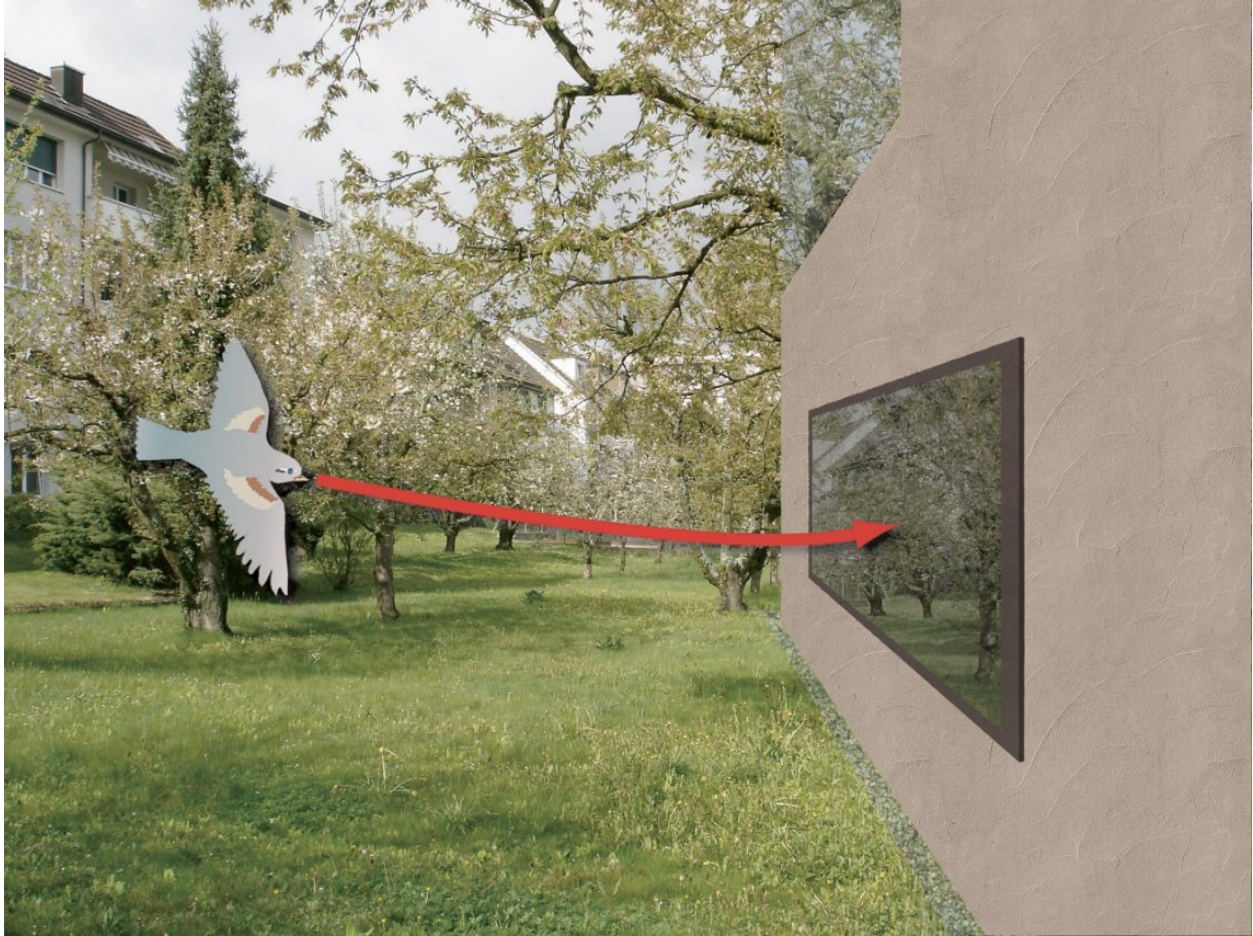
<sup>1</sup>*The Condor: Ornithological Applications, 2014*

## Why do birds collide with glass?

Cities with a density of building structures, including high-rise, can be the site of nighttime bird collisions due to interior and exterior lighting. Flocks of migrating birds can collide with large buildings and this generates headlines and attention. However, suburban, low-rise buildings account for a much higher percentage of collisions; individual collisions may not be as evident but can happen more frequently. In general, there are four ways buildings and building environments contribute to bird collisions:

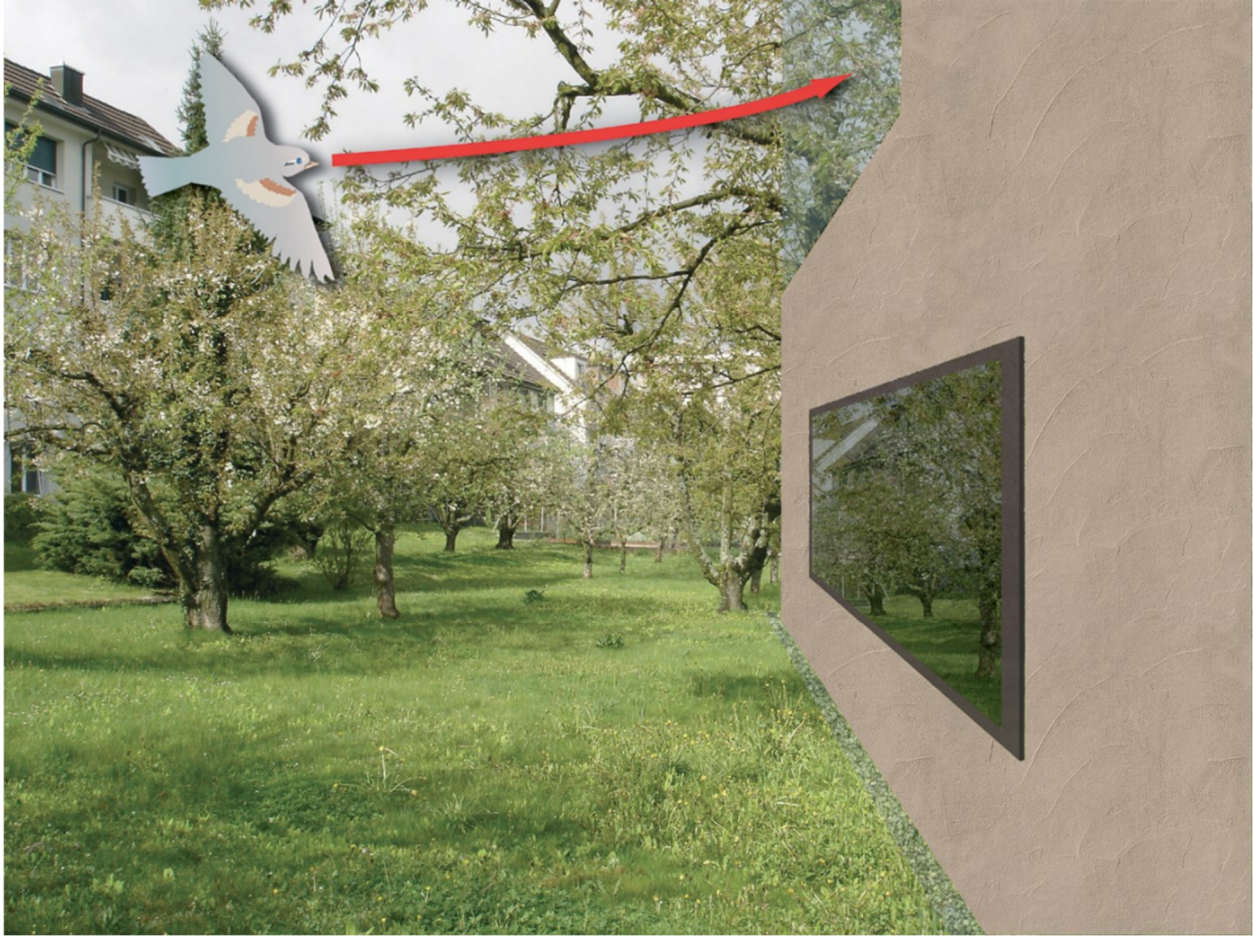
### Reflection

Birds cannot differentiate between actual and reflections of tree, sky, or habitat. Even lower reflecting glass can act like a mirror when it is bright outside and dark inside. When coupled with certain façade designs, the reflections can create areas that are visually confusing to birds. Reflective materials that provide adequate image formation, pose a danger to birds.



## **Transmission**

When there is a direct line of sight from one window to another (e.g. walkways, corners, bus stops, or transparent wind/sound barriers), birds do not perceive the glass as a barrier, and may attempt to fly through, causing a collision. Also, birds can see wooded atriums or indoor plants as an inviting habitat.



## **Design**

The design of the building and its location can have a significant impact on the collision risk as well as the maximum effectiveness of deterrents. Building shape, location, and landscaping (especially the anticipated height of the tree canopy once mature) all have considerable impact on the collision risk profile of the facility.



## **Lighting**

Birds use the night sky and ambient light levels to aid their migration navigation. This causes nighttime collisions as lighting inside buildings, especially those buildings with potential habitat, attracts birds. Artificial lights, particularly those that point upward, can lure and trap birds in their haze, where they potentially fly to the point of exhaustion.



## Counteracting collisions

There are three different preferred ways to treat glass that range in visibility to humans which all been shown to be effective for bird-friendly applications. Deciding which to use is based on the project criteria for aesthetics, cost and bird safety.

- **Fritted Glass**—This option is the most visible to the human eye, and therefore can offer the most data around efficacy in protecting birds (if humans can see it, birds can too). Frit patterns can be the most economical solution in new projects. However, frit will tend to obstruct more of the occupant view than some other solutions.
- **Etched Glass**—This includes different common means of treating the glass, so it is translucent. It is moderately visible to the human eye.
- **UV-coated Glass**—This option provides the least impact on human visibility and aesthetics. Humans only see in the visible light spectrum while some birds see in the UV spectrum in addition to the visible spectrum. UV coatings provide a visual marker that can indicate a potential obstacle to birds.

ATTACHMENT 2



**SHEET INDEX - GENERAL**

G-000 COVER SHEET

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**SHEET INDEX - CIVIL**

C2.1 GARAGE ACCESS PROFILE  
 C2.3 TURNING TEMPLATE EXHIBIT  
 C2.4 SNOW MELT DIAGRAM  
 C3 UTILITY PLAN

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**SHEET INDEX - LANDSCAPING**

L-100 LANDSCAPE NOTES  
 L-101 LANDSCAPE SCHEDULES  
 L-103 CONCEPTUAL LANDSCAPE PLAN  
 L-104 LANDSCAPE DETAILS  
 L-105 HARDSPACE PLAN  
 L-106 HARDSPACE DETAILS

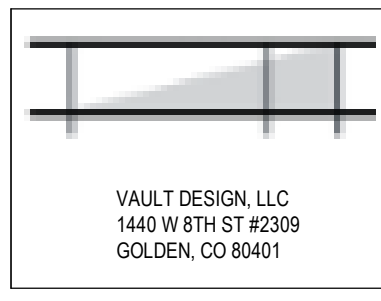
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**SHEET INDEX - STRUCTURAL**

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**SHEET INDEX - ARCHITECTURAL**

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 A-0.01 PERSPECTIVE RENDERINGS  
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 A-1.02 FLOOR PLAN - LEVEL G1 PLAZA - OVERALL  
 A-1.03 FLOOR PLAN - LEVEL 1/G1A PARKING - OVERALL  
 A-1.04 FLOOR PLAN - LEVEL 1 MEZZANINE - OVERALL  
 A-1.05 FLOOR PLAN - LEVEL 2 - OVERALL  
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 A-1.07 FLOOR PLAN - LEVEL 4 - OVERALL  
 A-1.08 FLOOR PLAN - LEVEL 5 - OVERALL  
 A-1.09 FLOOR PLAN - LEVEL 6 - OVERALL  
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 A-2.01 NORTHEAST & EAST ELEVATIONS  
 A-2.02 SOUTHEAST & WEST ELEVATIONS  
 A-2.03 3D MAX HEIGHT WITH EXISTING TOPO  
 A-2.04 3D MAX HEIGHT WITH PROPOSED TOPO  
 A-2.08 DIAGRAM - PEDESTRIAN AND BIKE CIRCULATION  
 A-2.09 DIAGRAM - VEHICULAR CIRCULATION  
 A-2.11 EXTERIOR ELEVATION - MATERIAL  
 A-2.12 EXTERIOR ELEVATION - MATERIAL  
 A-2.21 EXTERIOR ELEVATION SNOW MELT STUDY  
 A-2.22 EXTERIOR ELEVATION SNOW MELT STUDY  
 A-2.23 TYPICAL DETAILS  
 A-3.00 BUILDING SECTION



**Mountain Village Hotel**  
 LOT 109R MOUNTAIN VILLAGE, CO

**SCOPE OF WORK**

THE PROPOSED CONCEPT DESIGN IS COMPRISED OF HOTEL WITH EMPLOYEE HOUSING, APARTMENTS, AND CONDOS. THE COMMERCIAL SPACE INCLUDES RESTAURANT, SPA, RETAIL SPACE, SPEAKEASY AND WEDDING VENUE.

**OWNER**

TIARA TELLURIDE  
 450 S OLD DIXIE HWY  
 JUPITER, FL 33458

**ARCHITECT**

VAULT DESIGN, LLC  
 1440 W 8TH ST. #2309  
 GOLDEN, CO 80401

**ENGINEER**

UPCOMPAGRE ENGINEERING, LLC  
 P.O. BOX 3945  
 TELLURIDE, CO 81435

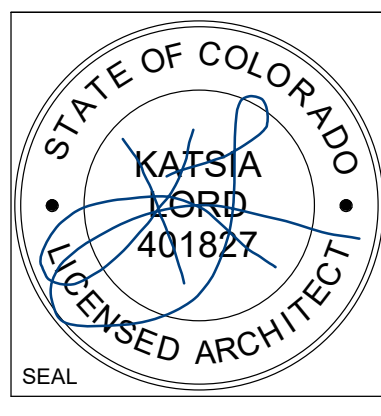
**LANDSCAPE**

NORRIS DESIGN  
 409 MAIN ST. SUITE 409  
 DENVER, CO

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Item	No.	Date	Description

LOT 109R MAJOR PUD AMENDMENT  
 SPECIAL HEARING SUBMITTAL  
 05.19.2022



Project Number  
 JOB NO.

COVER SHEET

G-000



**Mountain Village Hotel**  
 LOT 109R MOUNTAIN VILLAGE, CO

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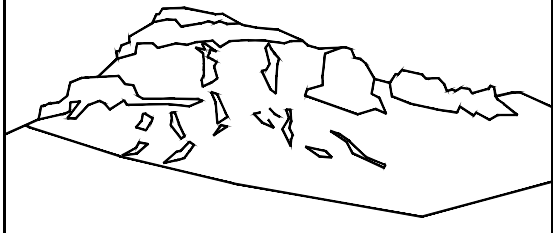
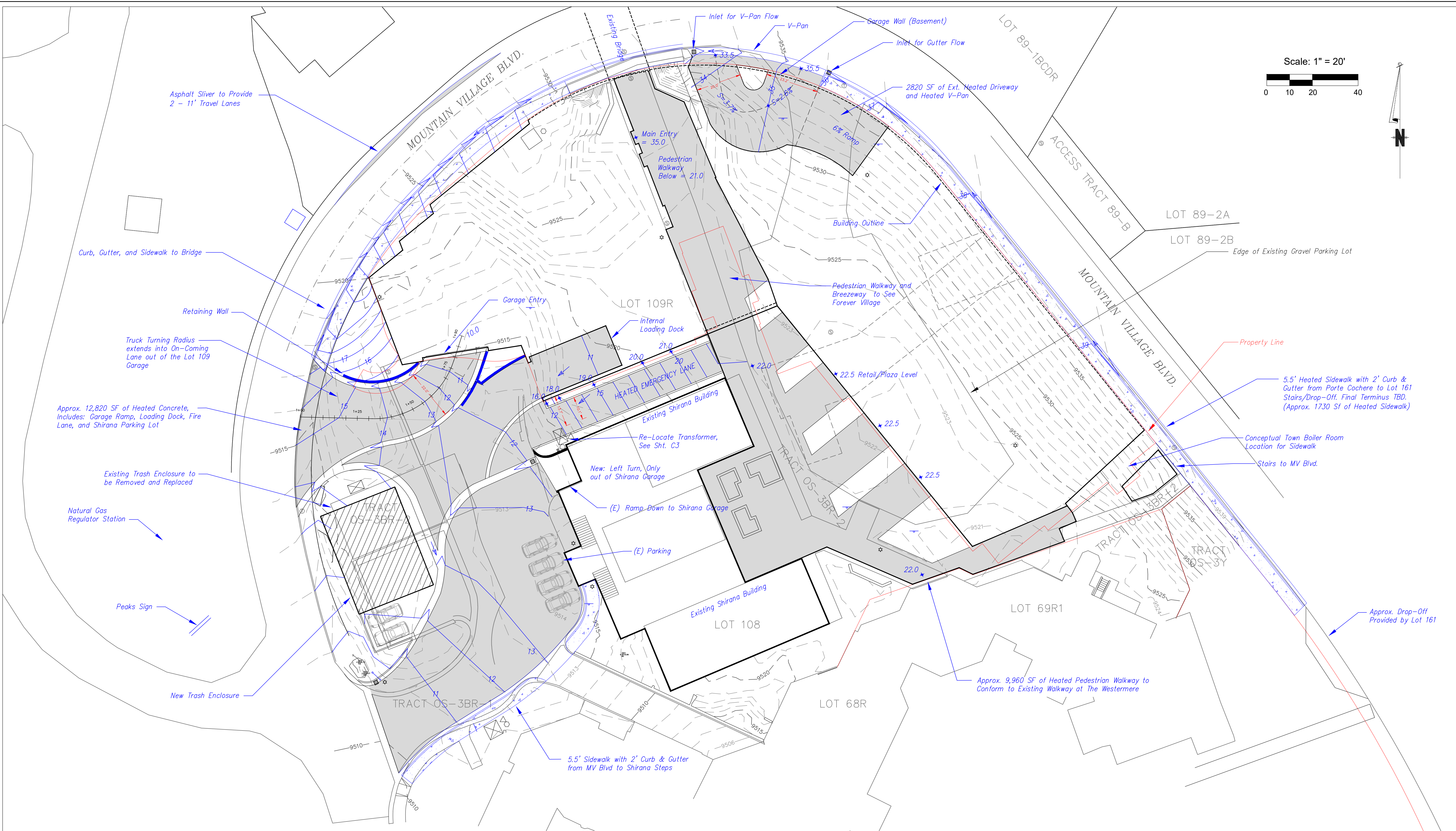
Item	No.	Date	Description

LOT 109R MAJOR PUD AMENDMENT  
 SPECIAL HEARING SUBMITTAL  
 05.19.2022

SEAL  
 Project Number  
 JOB NO.

PERSPECTIVE  
 RENDERING

A-0.P1



Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

Submittal	2022-03-04
Submittal	2022-04-15
Submittal	2022-05-19

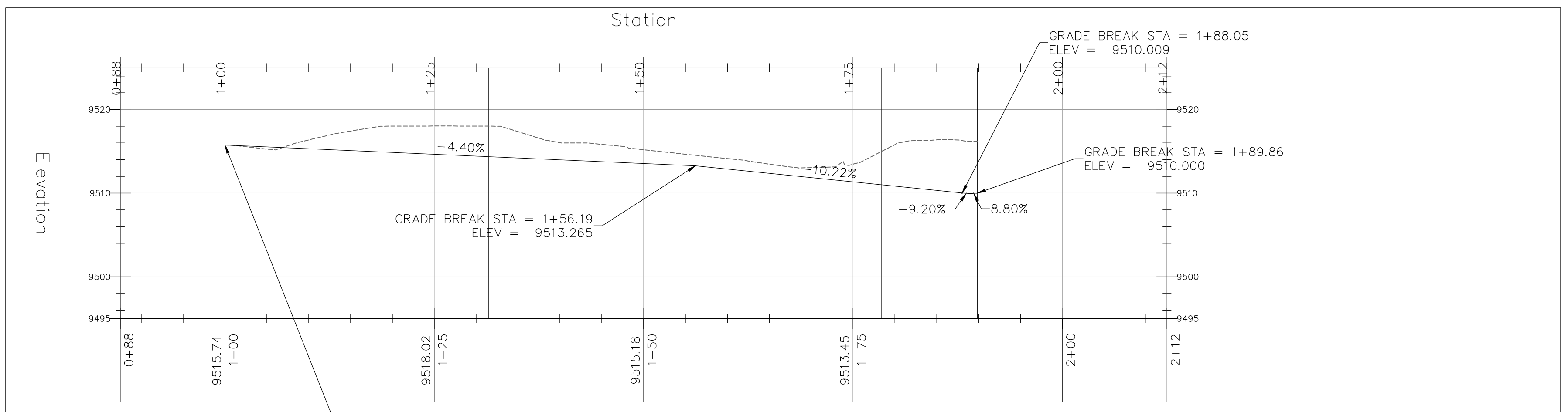
Lot 109R  
Mtn. Village, CO

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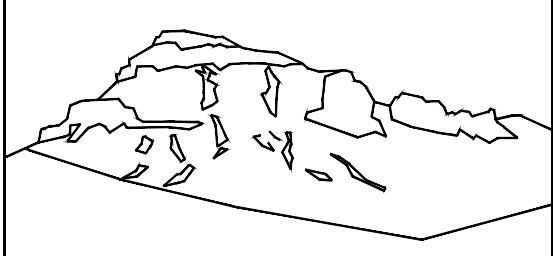
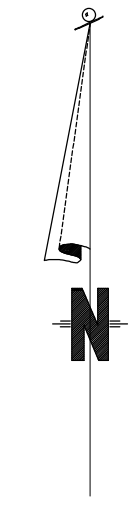
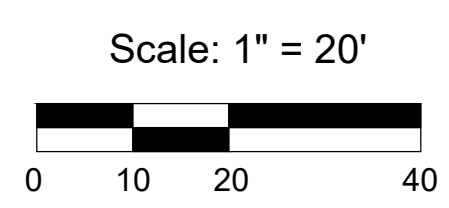
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading  
with  
Garage Access  
Profile

C2.1







Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:  
Submittal 2022-05-19

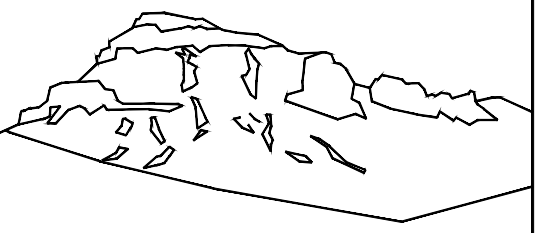
Lot 109R  
Mtn. Village, CO

**NOT FOR CONSTRUCTION**

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Turning  
Template  
Exhibit

**C2.3**



Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

Submittal 2022-03-04  
Submittal 2022-05-19

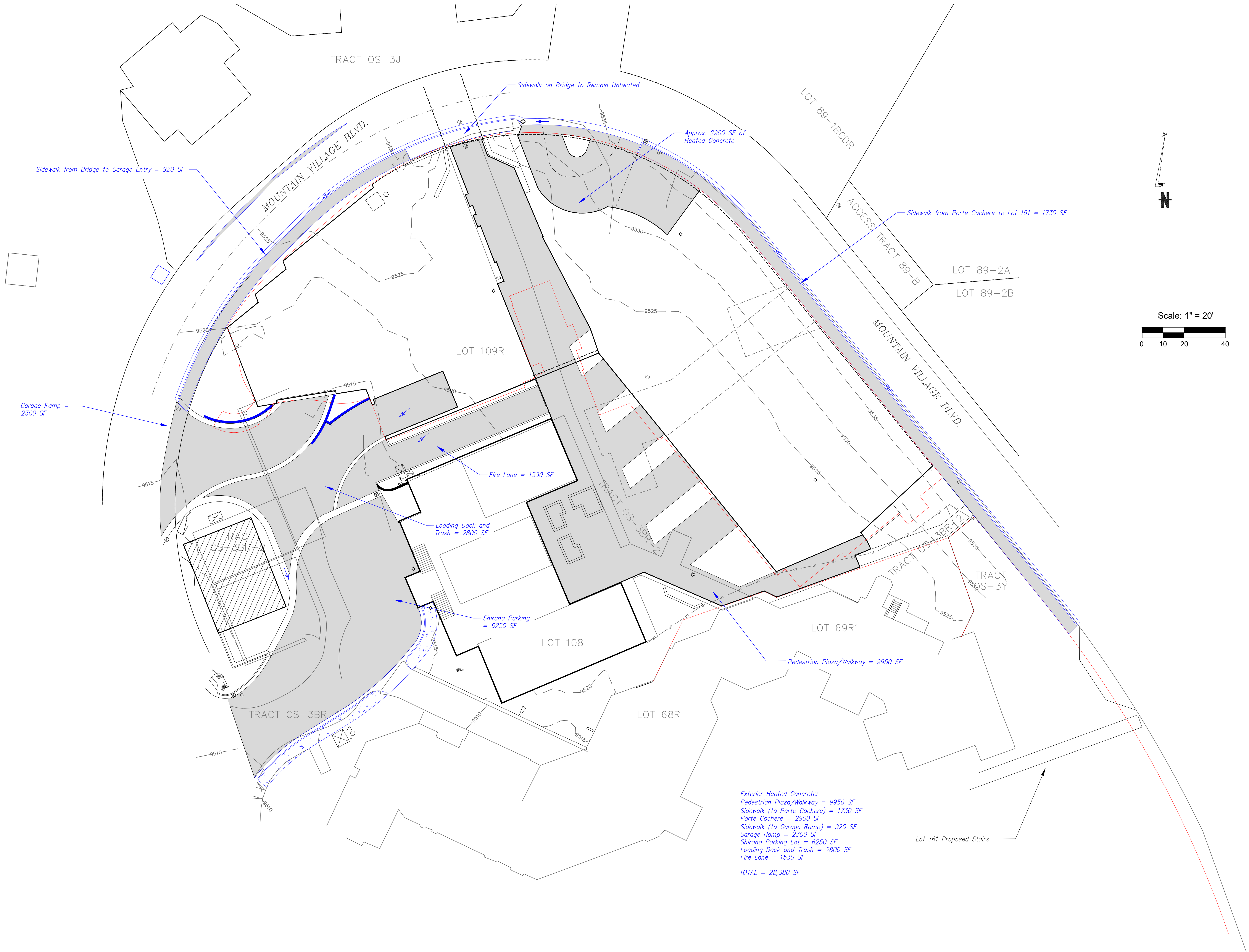
Lot 109R  
Mtn. Village, CO

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ARCHITECT PRIOR TO ANY FIELD WORK BEING  
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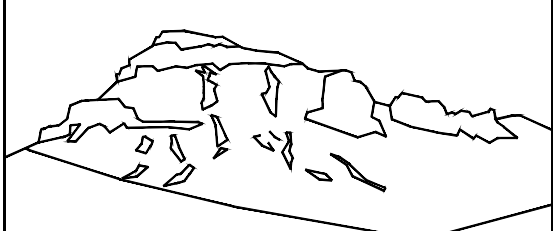
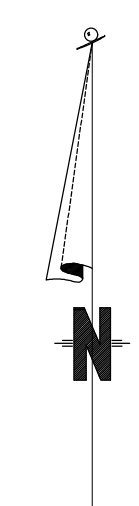
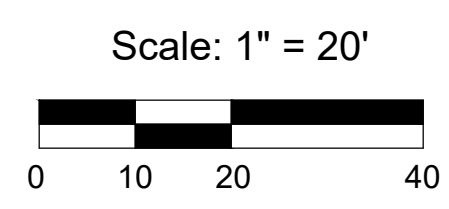
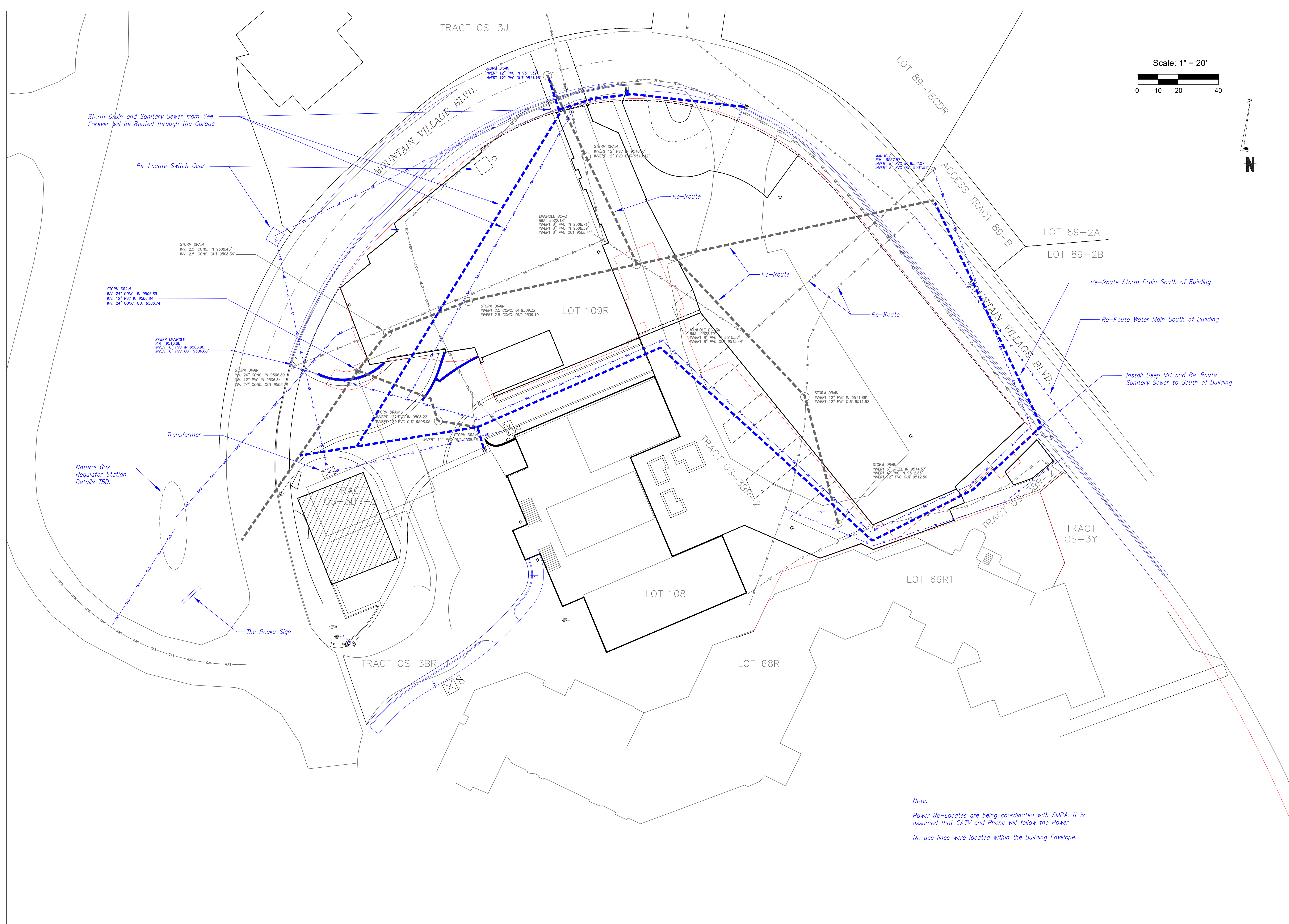
Exterior Heat  
Snowmelt  
Exhibit

C2.4



Exterior Heated Concrete:  
Pedestrian Plaza/Walkway = 9950 SF  
Sidewalk (to Porte Cochere) = 1730 SF  
Porte Cochere = 2900 SF  
Sidewalk (to Garage Ramp) = 920 SF  
Garage Ramp = 2300 SF  
Shirana Parking Lot = 6250 SF  
Loading Dock and Trash = 2800 SF  
Fire Lane = 1530 SF  
TOTAL = 28,380 SF

Lot 161 Proposed Stairs



**Uncompahgre Engineering, LLC**

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

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Submittal	2022-03-04
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Lot 109R  
Mtn. Village, CO

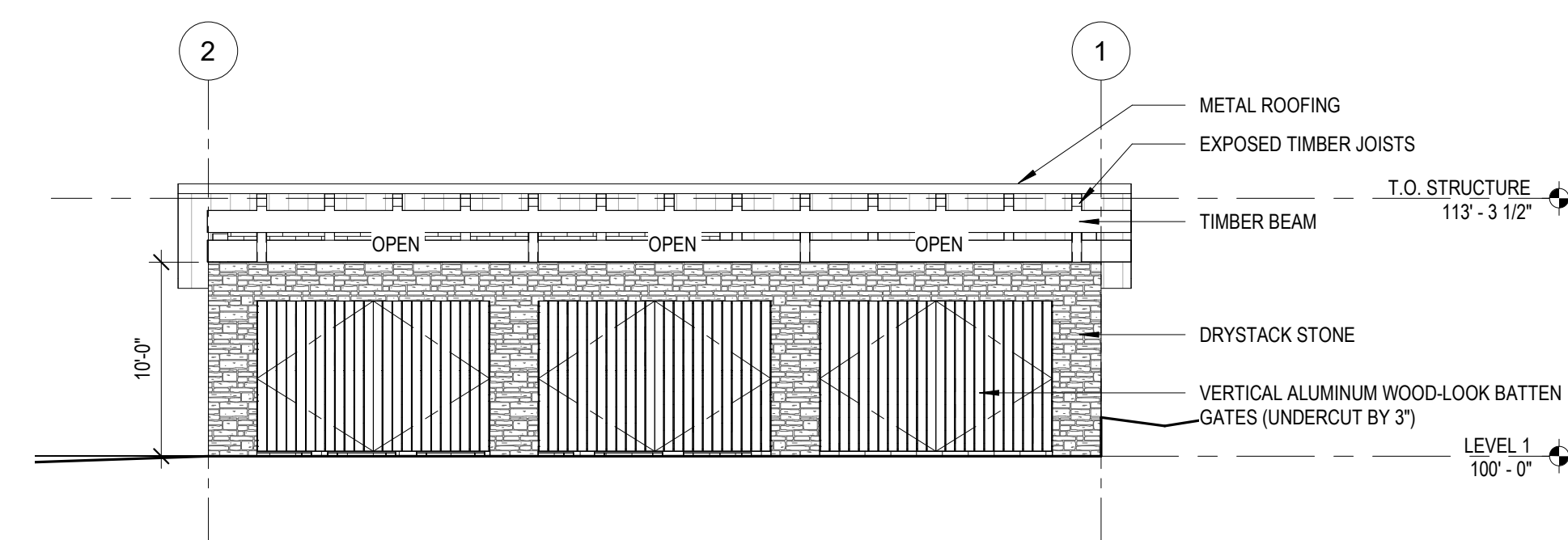
**NOT FOR CONSTRUCTION**

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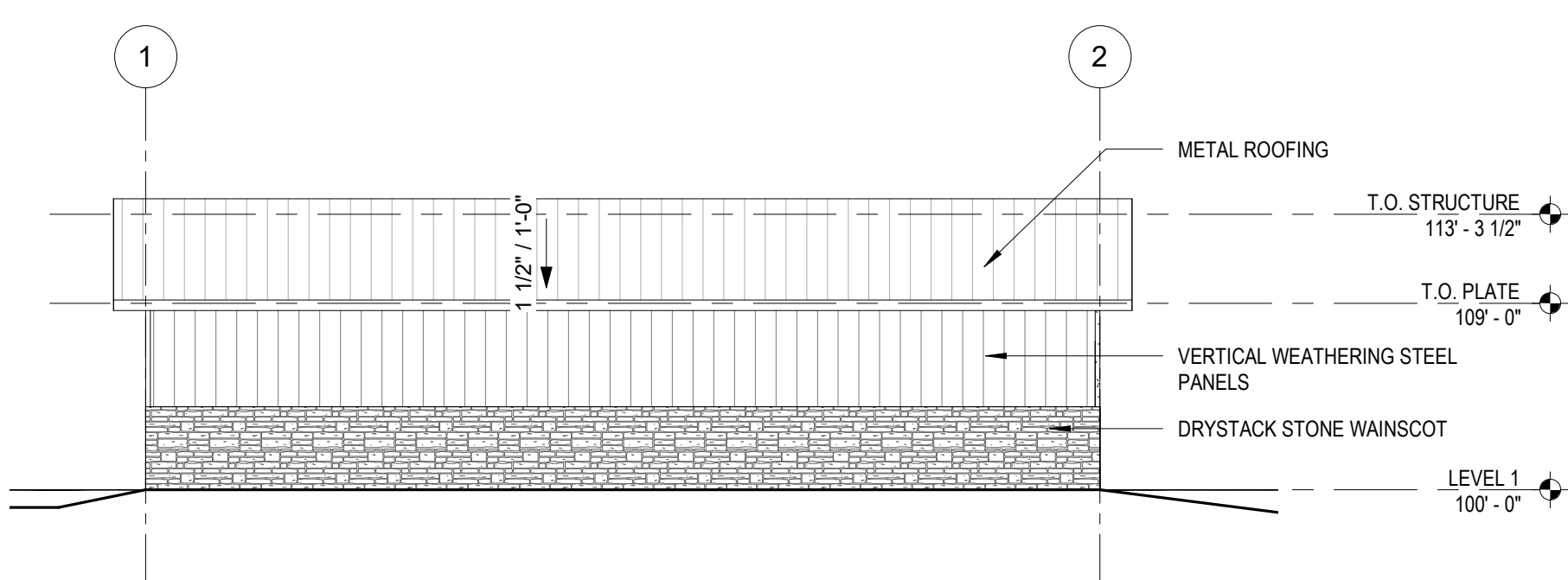
Utility Plan

**C3**

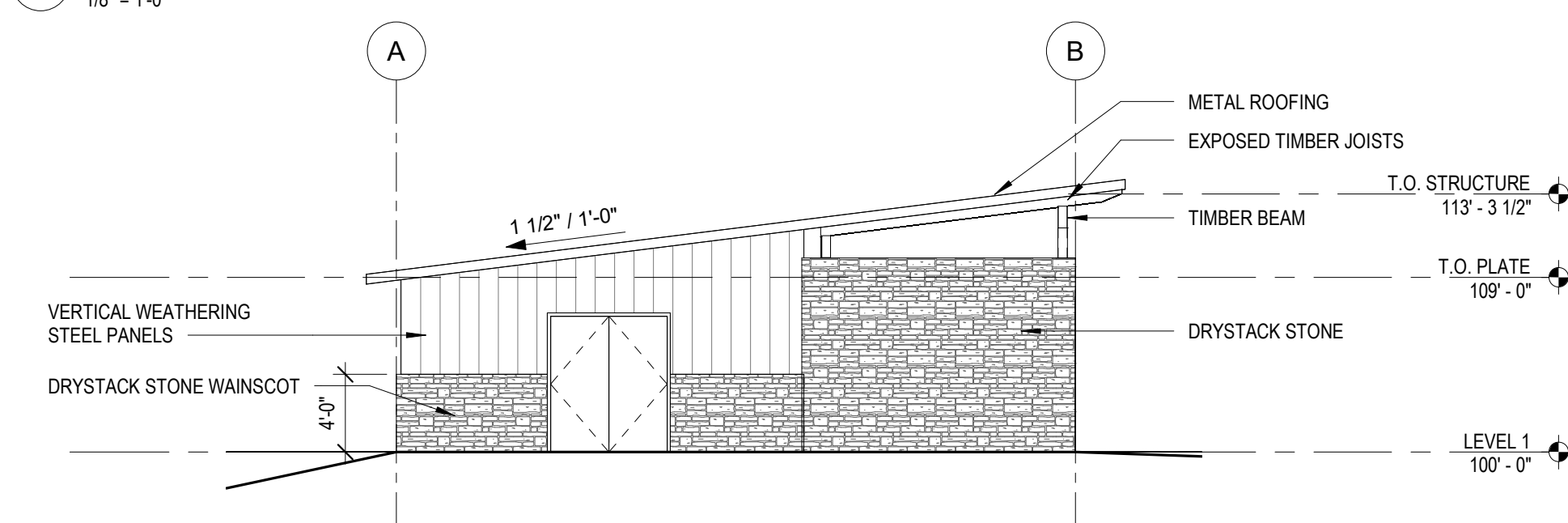
*Note:*  
Power Re-Locates are being coordinated with SMPA. It is assumed that CATV and Phone will follow the Power.  
No gas lines were located within the Building Envelope.



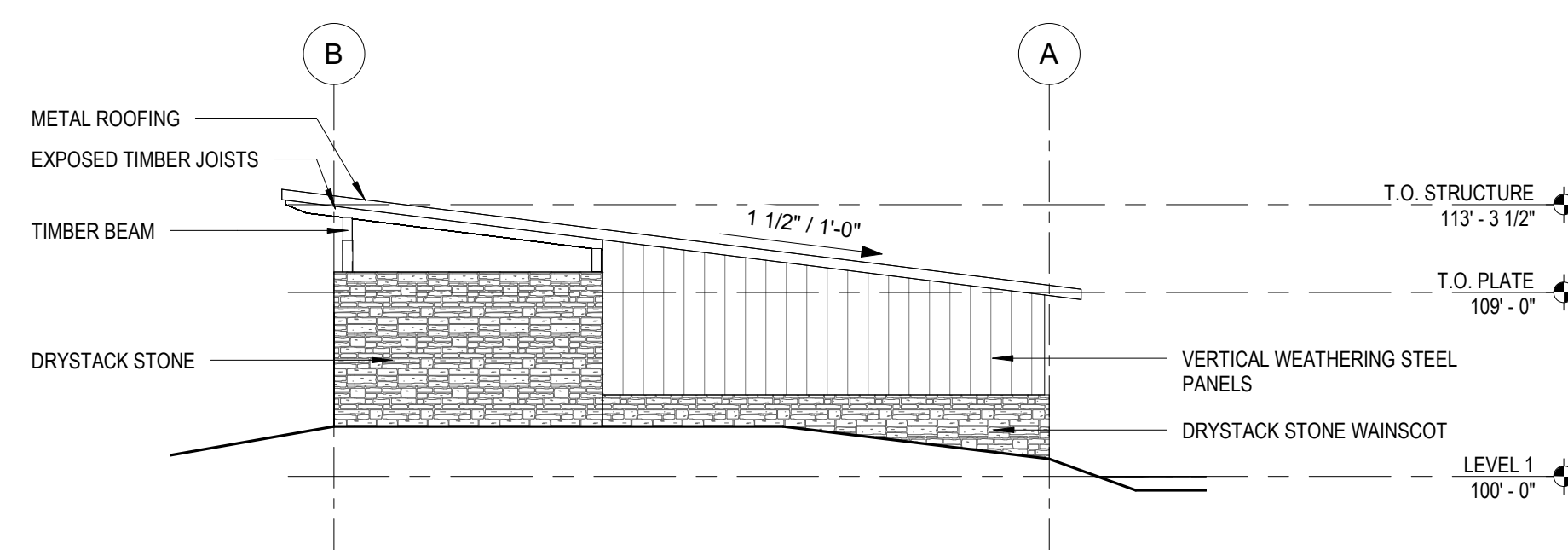
**5 EAST ELEVATION**  
1/8" = 1'-0"



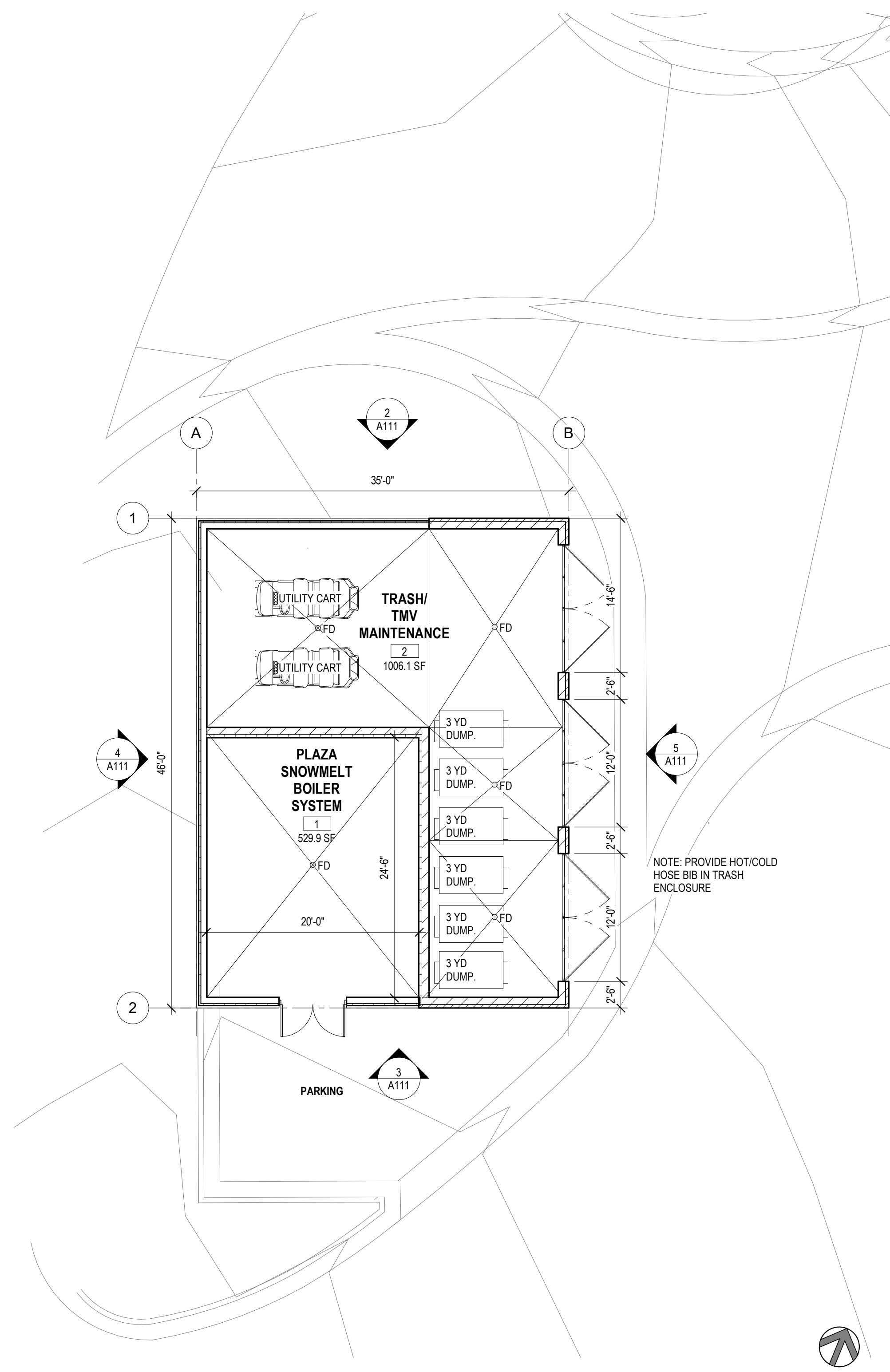
**4 WEST ELEVATION**  
1/8" = 1'-0"



**3 SOUTH ELEVATION**  
1/8" = 1'-0"



**2 NORTH ELEVATION**  
1/8" = 1'-0"



**FLOOR PLAN - TRASH & SNOWMELT BOILER SYSTEM ENCLOSURE**  
1/8" = 1'-0"

**LANDSCAPE NOTES**

1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
3. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
4. THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
5. THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
6. REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
7. LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
9. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
10. ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AS NOTED IN THE TECHNICAL SPECIFICATIONS.
11. TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
12. THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.

**LAYOUT NOTES**

1. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
2. SHOULD SITE CONDITIONS BE DIFFERENT THAN WHAT IS INDICATED ON THE DRAWINGS CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
3. CURVED WALKS AND CURB EDGES ARE INTENDED TO BE CONSTRUCTED WITH SMOOTH FLOWING CURVES. ANYTHING OTHER THAN SMOOTH FLOWING CURVES WILL BE REJECTED. THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
4. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR SHALL INSTALL SLEEVEING FOR IRRIGATION IMPROVEMENTS PRIOR TO INSTALLING CONCRETE FLATWORK. REFER TO IRRIGATION PLANS.
6. LAYOUT WALKS, SCORE JOINTS AND PAVING PATTERNS AS CLOSELY AS POSSIBLE TO PLANS, DETAILS, AND SPECIFICATIONS. DO NOT DEVIATE FROM PLANS UNLESS SPECIFIC APPROVAL IS OBTAINED FROM THE OWNER'S REPRESENTATIVE.
7. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK. SEE TECHNICAL SPECIFICATIONS.
8. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY FENCING AROUND ALL PLAY STRUCTURES UNTIL PROPER FALL SURFACE IS COMPLETELY INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
9. CONTRACTOR IS RESPONSIBLE FOR SUPERVISING ALL SAFETY SURFACING AND PAVEMENT DURING THE CURING PROCESS.

13. ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
14. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 3 YEARS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 3 YEARS FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
15. ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
16. ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
17. SHRUB, GROUNDCOVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY SPADE CUT EDGE. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. SPADE CUT EDGE SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
18. ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH, SPECIFIED MULCH IN MATERIAL SCHEDULE OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. ALL GROUND COVER AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 3" DEPTH SHREDDED CEDAR LANDSCAPE MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS.
19. AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
20. EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
21. CONTRACTOR SHALL OVER SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES AND ROADS WITH SPECIFIED SEED MIX UNLESS OTHERWISE NOTED ON THE PLANS.
22. ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
23. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
24. SOFT SURFACE TRAILS NEXT TO MANICURED TURF OR SHRUB BEDS SHALL BE CONTAINED WITH SPADE CUT EDGE.
25. PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.
26. THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE TOWN AND COUNTY SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.
27. THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL IMPROVEMENTS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT.
28. ALL TREES, SHRUBS, ORNAMENTAL GRASSES, PERENNIALS AND DESIGNATED AREAS OF NATIVE SEED SHALL BE IRRIGATED. ALL TREES, SHRUBS ORNAMENTAL GRASSES TO BE DRIP IRRIGATED. PERENNIALS AND SEED AREAS TO BE SPRAYED.
29. TREES PLANTED IN GROUPS OF THREE OR MORE SHALL BE A VARIETY OF SIZES TO MIMIC NATURAL TREE STANDS.
30. ALL EXISTING TREES SHALL BE PROTECTED AND PRESERVED TO THE EXTENT POSSIBLE.
31. PLANT QUANTITIES SHOWN IN SCHEDULE (L-1.1) EXCLUDE LANDSCAPE OUTSIDE LIMIT OF WORK.

**EROSION NOTES**

1. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, AND CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE FLOW LINE AND THE PUBLIC RIGHTS-OF-WAY OF MOUNTAIN VILLAGE AS A RESULT OF THIS SITE DEVELOPMENT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
2. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT.
3. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
4. THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT ON PUBLIC RIGHT-OF WAYS.
5. THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE IS PROHIBITED.
6. THE CLEANING OF CONCRETE TRUCK DELIVERY CHUTES IS PROHIBITED AT THE JOB SITE. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE TO THE STORM SEWER SYSTEM IS PROHIBITED.
7. THE CONTRACTOR SHALL PROTECT ALL STORM SEWER FACILITIES ADJACENT TO ANY LOCATION WHERE PAVEMENT CUTTING OPERATIONS INVOLVING WHEEL CUTTING, SAW CUTTING, OR ABRASIVE WATER JET CUTTING ARE TO TAKE PLACE. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL WASTE PRODUCTS GENERATED BY SAID CUTTING OPERATIONS ON A DAILY BASIS.

**MAINTENANCE NOTES**

**TREES, SHRUBS AND GROUND COVERS**

1. MAINTAIN TREES, SHRUBS, GROUND COVERS AND PLANTS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY WIRE SUPPORTS, AND RESETTING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
2. WATERING: MAINTAIN LARGE ENOUGH WATER BASINS AROUND PLANTS SO THAT ENOUGH WATER CAN BE APPLIED TO ESTABLISH MOISTURE THROUGHOUT ENTIRE ROOT ZONE. UTILIZE MULCHES TO REDUCE EVAPORATION AND WATERING FREQUENCY. ALL TREES SHALL BE DRIP IRRIGATED.
3. PRUNE AS REQUIRED AT TIME OF PLANTING AND AS NEEDED TO CORRECT DAMAGE.
4. STAKES AND GUY WIRES: INSPECT REGULARLY TO PREVENT GIRDLING OF TRUNKS OR BRANCHES AND TO PREVENT RUBBING WHICH MIGHT CAUSE BARK WOUNDS. REMOVE AND REPLACE DAMAGED STAKES AND GUYS AS DIRECTED BY THE OWNER.
5. WEED CONTROL: MAINTAIN TREE AND SHRUB BASINS FREE OF WEEDS AND GRASSES ON A WEEKLY BASIS. FREQUENT SOIL CULTIVATION THAT MIGHT DESTROY SHALLOW ROOTS IS NOT PERMITTED.
6. INSECTS AND DISEASE CONTROL: CONTROL INSECTS AND DISEASE AS NECESSARY TO PREVENT DAMAGE TO THE HEALTH OR APPEARANCE OF PLANTS. USE ONLY APPROVED MATERIALS AND METHODS. DEAD, DISEASED, AND/OR BEETLE INFESTED TREES MUST BE REMOVED UPON IMMEDIATE RECEIPT OF WRITTEN OR VERBAL NOTICE TO THE PROPERTY OWNER.
7. DEAD PLANT MATERIALS SHALL BE REMOVED WITHIN (1) MONTH WITH PLANTING MATERIALS THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN.
8. NATURAL LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REPLENISHED SO THAT THEY AGAIN ACHIEVE FULL COVERAGE TO A MINIMUM DEPTH AS SPECIFIED.

**WEED CONTROL**

1. IN AREAS THAT HAVE BEEN REGRADED AND/OR HAVE EXISTING WEED GROWTH, WEED CONTROL MEASURES APPROPRIATE TO THE AMOUNT OF GROWTH AND/OR SPECIES SHALL BE PROVIDED.
2. THROUGHOUT THE GROWING SEASON WEED CONTROL OF NATIVE AREAS SHALL BE PREFORMED USING A SPOT TREATMENT METHOD.
3. HERBICIDE SHALL BE APPLIED BY A LICENSED APPLICATOR OR UNDER THE DIRECT SUPERVISION OF A LICENSED APPLICATOR.

**NATIVE SEED AREAS**

1. REFERENCE WEED CONTROL NOTES ABOVE.
2. MOW A MINIMUM OF ONCE YEARLY UPON ESTABLISHMENT OF GRASS.

**SHEET LIST**

L-100	LANDSCAPE NOTES
L-101	LANDSCAPE SCHEDULES
L-401	LANDSCAPE PLAN
L-501	LANDSCAPE DETAILS
LS-401	HARDSCAPE PLAN
LS-501	HARDSCAPE DETAILS

409 Main Street  
Suite 207  
P.O. Box 2320  
Frisco, CO 80443  
P 970.485.4478  
www.norris-design.com

**MOUNTAIN VILLAGE HOTEL**

**PROJECT NUMBER: 1152-01-3146**

MOUNTAIN VILLAGE, COLORADO  
PLANNED UNIT DEVELOPMENT AMENDMENT

**OWNER:**

TIARA TELLURIDE LLC  
ANKUR PATEL  
450 S OLD DIXIE HWY  
SUITE 8  
JUPITER, FL 33458  
561-747-4384

**NOT FOR CONSTRUCTION**

**DATE:**

03/16/22: PUD AMEND  
& DRB  
05/23/22 SUB. 2

**SHEET TITLE:**

**LANDSCAPE NOTES**

**PLANT SCHEDULE**

DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES	QTY
PO TR	POPULUS TREMULOIDES	QUAKING ASPEN	B & B	2" CAL		8
PO NM	POPULUS TREMULOIDES 'CLUMP FORM'	QUAKING ASPEN	B & B	2.5" CAL.	CLUMP	5
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES	QTY
PI PP	PICEA PUNGENS 'BABY BLUE EYES'	BABY BLUE EYES COLORADO BLUE SPRUCE	B & B	8' HT.		5
PN AR	PINUS ARISTATA	BRISTLECONE PINE	B & B	8' HT.		2
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES	QTY
MA SS2	MALUS X 'SPRING SNOW'	SPRING SNOW CRAB APPLE	B & B	2.5" CAL.	CLUMP	1
PR VI	PRUNUS VIRGINIANA MELANOCARPA	NATIVE CHOKEBERRY	B & B	6" CLUMP		1
DECIDUOUS SHRUBS 2-4' SPREAD	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES	QTY
PH MO	PHYSOCARPUS MONOGYNUS	MOUNTAIN NINEBARK	CONT.	#5		16
RI AL	RIBES ALPINUM	ALPINE CURRANT	CONT.	#5		2
RI GR	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	CONT.	#5		14
DECIDUOUS SHRUBS 5-7' SPREAD	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES	QTY
COR B25	CORNUS SERICEA 'BAILEY'	BAYLEY'S RED TWIG DOGWOOD	CONT.	#5		11
FA PA	FALLUGIA PARADOXA	APACHE PLUME	CONT.	#5		2
LON LED	LONICERA LEDEBOURII	TWINBERRY HONEYSUCKLE	CONT.	#5		4
LON TAT	LONICERA TATARICA 'ARNOLD'S RED'	TATARIAN HONEYSUCKLE	CONT.	#5		3
SAL PUR	SALIX PURPUREA 'NANA'	DWARF ARCTIC WILLOW	CONT.	#5		12
SH AR	SHEPHERDIA ARGENTEA	SILVER BUFFALOBERRY	CONT.	#5		2
SY PE	SYRINGA X PRESTONIAE 'MISS CANADA'	MISS CANADA PRESTON LILAC	CONT.	#5		2
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES	QTY
PI MU	PINUS MUGO 'WHITE BUD'	WHITE BUD MUGO PINE	CONT.	#5		5
PI BG	PINUS MUGO 'BIG TUNA'	BIG TUNA MUGO PINE	CONT.	#5		8
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES	QTY
DE CE	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	CONT.	#1		45
SO NU	SORGHASTRUM NUTANS	INDIAN GRASS	CONT.	#1		45
PERENNIALS	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES	QTY
AC MO	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROW	CONT.	#1		5
AEG POD	AEGOPodium PODAGRARIA 'VARIEGATUM'	VARIEGATED BISHOP WEED	CONT.	#1		83
AQ CA	AQUILEGIA CAERULEA	ROCKY MOUNTAIN COLUMBINE	CONT.	#1		67
AR UV	ARCTOSTAPHYLOS UVA-URSIS	KINNIKINNICK	CONT.	#1		10
AS AL	ASTER ALPINUS	ALPINE ASTER	CONT.	#1		8
CAM OLY	CAMPANULA ROTUNDIFOLIA 'OLYMPICA'	OLYMPICA HAREBELL	CONT.	#1		98
DEL SKI	DELPHINIUM ELATUM 'SUMMER SKIES'	SUMMER SKIES LARKSPUR	CONT.	#1		2
DEL CA2	DELPHINIUM ELATUM 'YANKEE MIX'	CONNECTICUT YANKEE LARKSPUR	CONT.	#1		1
DEL BLA	DELPHINIUM X 'BLACK KNIGHT'	BLACK KNIGHT LARKSPUR	CONT.	#1		2
DIA ZIN	DIANTHUS DELTOIDES 'ZING ROSE'	ZING ROSE MAIDEN PINK	CONT.	#1		5
DIA F13	DIANTHUS X 'FIRST LOVE'	FIRST LOVE DIANTHUS	CONT.	#1		61
DIC SPE	DICENTRA SPECTABILIS	BLEEDING HEART	CONT.	#1		27
ES CA	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	CONT.	#1		11
FRA XFO	FRAGARIA X FORT LARAMIE	FORT LARAMIE WILD STRAWBERRY	CONT.	#1		107
LUP ROB	LUPINUS X 'POPSICLE BLUE'	POPSICLE BLUE LUPINE	CONT.	#1		6
LUP RUS	LUPINUS X 'RUSSELL HYBRIDS'	RUSSELL HYBRID LUPINE	CONT.	#1		11
NE LT	NEPETA X 'PSFIKE' TM	LITTLE TRUDY CATMINT	CONT.	#1		3
PAE DOU	PAEONIA LACTIFLORA 'DOUBLE PINK'	DOUBLE PINK CHINESE PEONY	CONT.	#1		4
PEN STR	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	CONT.	#1		37
SOD/SEED	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES	QTY
IRR AST	IRRIGATED NATIVE SEED		SEED			870 SF

**SHORT GRASS MIXTURE**

COMMON NAME	%	LBS./1000 S.F.
WESTERN YARROW	5%	.1
TALL FESCUE	10%	.2
ARIZONA FESCUE	5%	.1
HARD FESCUE	5%	.1
CREEPING RED FESCUE	10%	.1
ALPINE BLUEGRASS	15%	.3
CANADA BLUEGRASS	10%	.2
PERENNIAL RYEGRASS	15%	.3
SLENDER WHEATGRASS	10%	.2
MOUNTAIN BROME	15%	.3
TOTAL	100%	2.0 LBS

- NOTES
- SEED APPLICATION RATES
    - BROADCAST: 85-90 LBS/ACRE
    - DRILLED: 15-20 LBS/ACRE
  - APPLY EROSION CONTROL NETTING TO ANY AREA WHICH IS VULNERABLE TO SOIL EROSION SUCH AS SWALES OR STEEP SLOPES (3:1 OR STEEPER)
  - UTILIZE HYDROMULCH AND TACKIFIER OF 2,000 POUNDS PER ACRE WITH 3% TACKIFIER.
  - UNLESS NOTED OTHERWISE IN TECHNICAL SPECIFICATIONS, AMEND ALL TOPSOIL IN RESEED AREAS TO 2" DEPTH WITH COMPOST.
  - SEE SHALL BE APPLIED TO DISTURBED AREAS WITHIN 10 DAYS AFTER TOPSOIL HAS BEEN SPREAD.

**AMENITY SCHEDULE**

ITEM	DESCRIPTION	MANUFACTURER	CONTACT	PRODUCT NAME	PRODUCT NUMBER	COLOR/FINISH	NOTES
S-101	TRASH AND RECYCLING	BEARSAVER	CONTACT: 800-851-3887 SALES@BEARSAVER.COM	HA SERIES SINGLE TRASH ENCLOSURE	HA-PY	OLIVE GREEN WITH RECYCLING AND TRASH LABELS, ZINC RICH PRIMER.	INSTALL PER MANUFACTURER SPECIFICATIONS.

**MATERIALS SCHEDULE**

ITEM	DESCRIPTION	MANUFACTURER	CONTACT	PRODUCT NAME	SIZE / DIMENSIONS	COLOR/FINISH	NOTES
M-101	STANDARD CONCRETE	QUIKCRETE (OR APPROVED EQUAL)	N/A	N/A	REFER TO CIVIL PLANS FOR DETAILS	STANDARD GRAY BROOM FINISH ALL SLABS	REFER TO DETAILS FOR ALL LANDSCAPE CONCRETE INSTALLATION. REFER TO CIVIL FOR ALL DRIVES AND FLATWORK.
M-102	PAVER A	UNILOCK (OR APPROVED EQUAL)	JUSTIN J. HAMULA 801-707-8408 JUSTIN.HAMULA@CONFLUENCEPRODUCTS.COM	PROMENADE PLANK PAVER	RUNNING BOND PATTERN LAYING PATTERN A 100%: 8"X24" UNIT	GRANITE BLEND IL CAMPO FINISH	REFER TO DETAILS AND SPECIFICATIONS.
M-103	DECOMPOSED GRANITE	PIONEER LANDSCAPE CENTERS (OR APPROVED EQUAL)	CONTACT: 1-800-777-8139	BREEZE MINUS	REFER TO PLANS	TAN BREEZE	REFER TO DETAILS AND SPECIFICATIONS.
M-104	WOOD MULCH	WAUPACA NORTHWOODS (OR APPROVED EQUAL)	CONTACT: 715.256.4030 WWW.WAUPACANORTHWOODS.COM	NORTHWOODS ORGANICS	N/A WNW03255	NATURAL SHREDDED DARK	MINIMUM 3" DEPTH, INSTALL ABOVE WEED CONTROL FABRIC
M-105	LANDSCAPE BOULDERS	TELLURIDE STONE COMPANY (OR APPROVED EQUAL)	CONTACT: 970.728.6201 BETSY@TELLURIDESTONE.COM	TELLURIDE GOLD BOULDERS	REFER TO PLANS AND DETAILS 1 TO 5 TON BOULDERS	TELLURIDE GOLD	REFER TO CIVIL FOR DEPTH AND INSTALLATION DETAILS, BROOM FINISH SHALL BE PARALLEL WITH SLOPE TO ENSURE PROPER DRAINAGE

**NORRIS DESIGN**  
 Planning | Landscape Architecture | Branding  
 409 Main Street  
 Suite 207  
 P.O. Box 2320  
 Frisco, CO 80443  
 P 970.485.4478  
 www.norris-design.com

**MOUNTAIN VILLAGE HOTEL**  
 PROJECT NUMBER: 1152-01-3146  
 MOUNTAIN VILLAGE, COLORADO  
 PLANNED UNIT DEVELOPMENT AMENDMENT

**OWNER:**  
 TIARA TELLURIDE LLC  
 ANKUR PATEL  
 450 S OLD DIXIE HWY  
 SUITE 8  
 JUPITER, FL 33458  
 561-747-4384

**NOT FOR CONSTRUCTION**

**DATE:**  
 03/16/22: PUD AMEND  
 & DRB  
 05/23/22 SUB. 2

**SHEET TITLE:**  
 LANDSCAPE SCHEDULES

CHECKED BY: TR  
 DRAWN BY: AR, TR

**HARDSCAPE LEGEND**

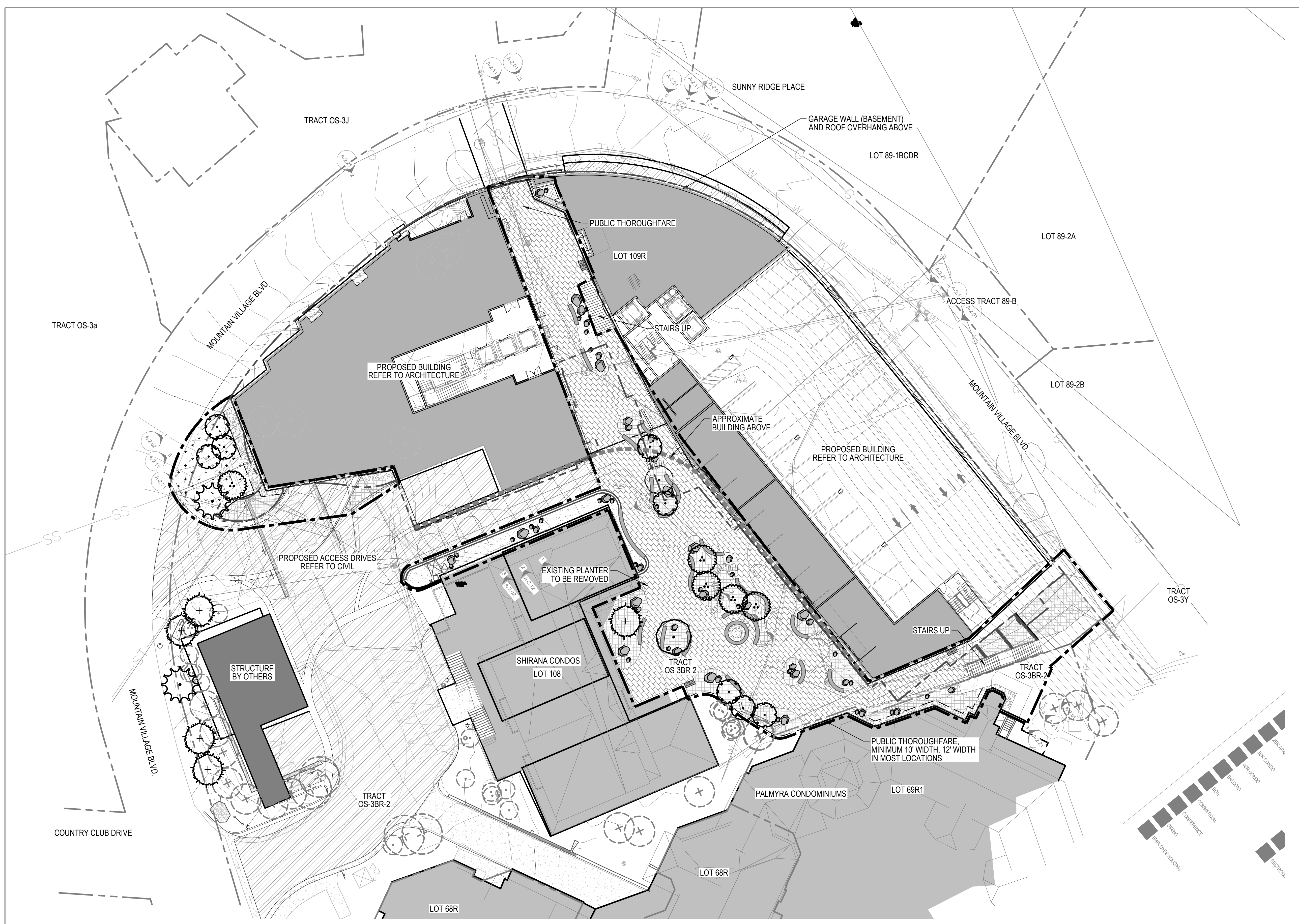
	PRECAST CONCRETE BENCH (CUSTOM) - DTL 7/LS-501
	TRASH AND RECYCLING
	LANDSCAPE BOULDERS DTL 5/L-501
	MATCH LINE
	LIMIT OF WORK
	LOT LINE
	SPADE CUT EDGER DTL 7/L-501
	EDGER DTL 8/L-501
	CONCRETE EDGER (TBD) DTL 5/LS-501
	RAISED CONCRETE CURB DTL 6/LS-501
	STANDARD CONCRETE DTL 1/LS-501
	PAVER A DTL 2/LS-501
	LANDSCAPE ROCK DTL 3.8/LS-501
	DECOMPOSED GRANITE DTL 3/LS-501
	WOOD MULCH DTL 4.6 & 7/L-501

**LANDSCAPE LEGEND**

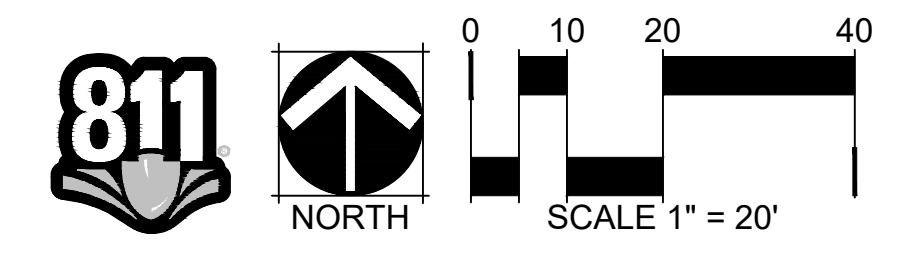
	EXISTING TREES TO BE REMOVED
	EXISTING TREES TO REMAIN DTL 3/L-501
	PROPOSED TREES DTL 1/L-501
	PROPOSED SHRUBS DTL 2/L-501
	PROPOSED ORNAMENTAL GRASSES DTL 4/LS-501
	PROPOSED PERENNIALS DTL 4/LS-501

**IRRIGATION NOTES**

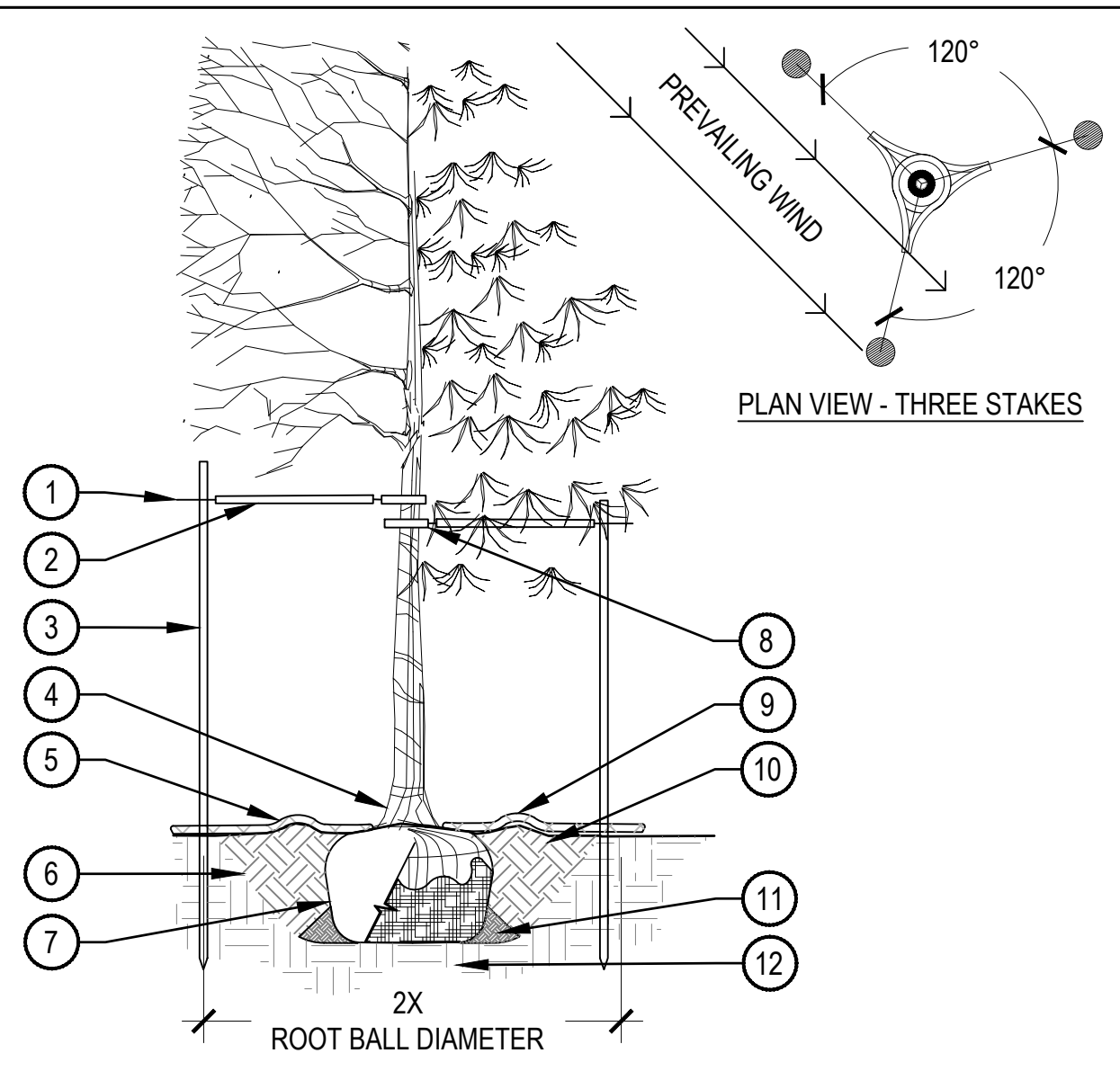
1. REPAIR AND REPLACE EXISTING DAMAGED IRRIGATION WITHIN IMPROVEMENTS LIMIT OF WORK BOUNDARY.
2. ALL TREES AND SHRUBS TO BE DRIP IRRIGATED.
3. ALL PERENNIALS AND NATIVE AREAS TO BE SPRAY IRRIGATED.
4. INSTALL PVC SLEEVING FOR IRRIGATION UNDER ALL NEW HARDSCAPE AND FUTURE HARDSCAPE.
5. IRRIGATION SYSTEM DESIGN TO BE DETERMINED PRIOR TO 100% CONSTRUCTION DOCUMENTS.



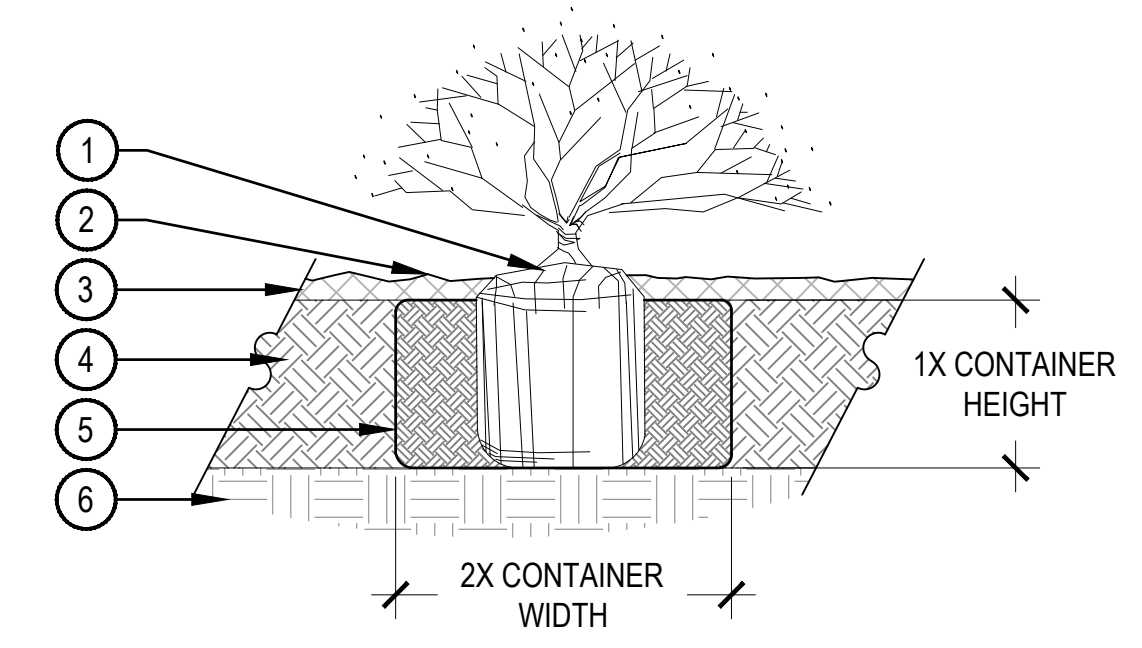
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- PRUNING NOTES:**
- ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
  - DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:**
- STAKE TREES PER DIAGRAM. AFTER A MINIMUM OF (3) THREE YEARS CONFIRM TREE IS ESTABLISHED. CHECK FOR ROOTBALL STABILITY. APPLY HAND PRESSURE TO TRUNK OF TREE. WHEN ROOTBALL DOES NOT MOVE, REMOVE STAKING.
    - 2" CALIPER SIZE AND UNDER DECIDUOUS AND ASPEN TREES - MINIMUM 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE).
    - EVERGREEN TREES - 3 STAKES PER DIAGRAM.
    - 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM.
  - WIRE OR CABLE SHALL BE MINIMUM 12 GAUGE. TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.
  - ADJUST STAKING, STRAPS AND GUY WIRES ANNUALLY.
  - TREATED WOOD POST PREFERRED. METAL T STAKES WITH PLASTIC SAFETY CAPS ACCEPTABLE WITH APPROVAL FROM OWNER.



- GALVANIZED WIRE
- PLACE MINIMUM 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAXIMUM 2" EACH SIDE
- INSTALL STAKING PER SPECIFICATIONS
- PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE
- 2'-0" RADIUS MULCH RING, VENTERED ON TRUNK, 3" DEPTH, ON TOP OF WEED FABRIC, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK, FINISHED GRADE REFERENCES TOP OF MULCH
- 1:1 SLOPE ON SIDES OF PLANTING HOLE
- REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM THE ENTIRE ROOTBALL AND TRUNK
- GROMMETED NYLON STRAPS
- 4-6" HIGH WATER SAUCER IN NON-TURF AREAS
- BACKFILL AROUND ROOTBALL WITH PLANT MIX, PLANT MIX SHALL CONSIST OF EQUAL PARTS TOPSOIL, COMPOST, EXCAVATED SOIL, PLUS MYCORRHIZAL INOCULANT PER SPECIFICATIONS
- PLACE SOIL AROUND ROOT BALL FIRMLY. DO NOT COMPACT OR TAMP, SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS
- PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT



- SET SHRUB ROOT-BALL 1" HIGHER THAN FINISH GRADE
- FINISH GRADE (TOP OF MULCH)
- SPECIFIED MULCH, REFER TO MATERIAL SCHEDULE
- TILL IN SPECIFIED SOIL AMENDMENT TO A DEPTH OF 8" IN BED
- BACKFILLED AMENDED SOIL
- UNDISTURBED SOIL

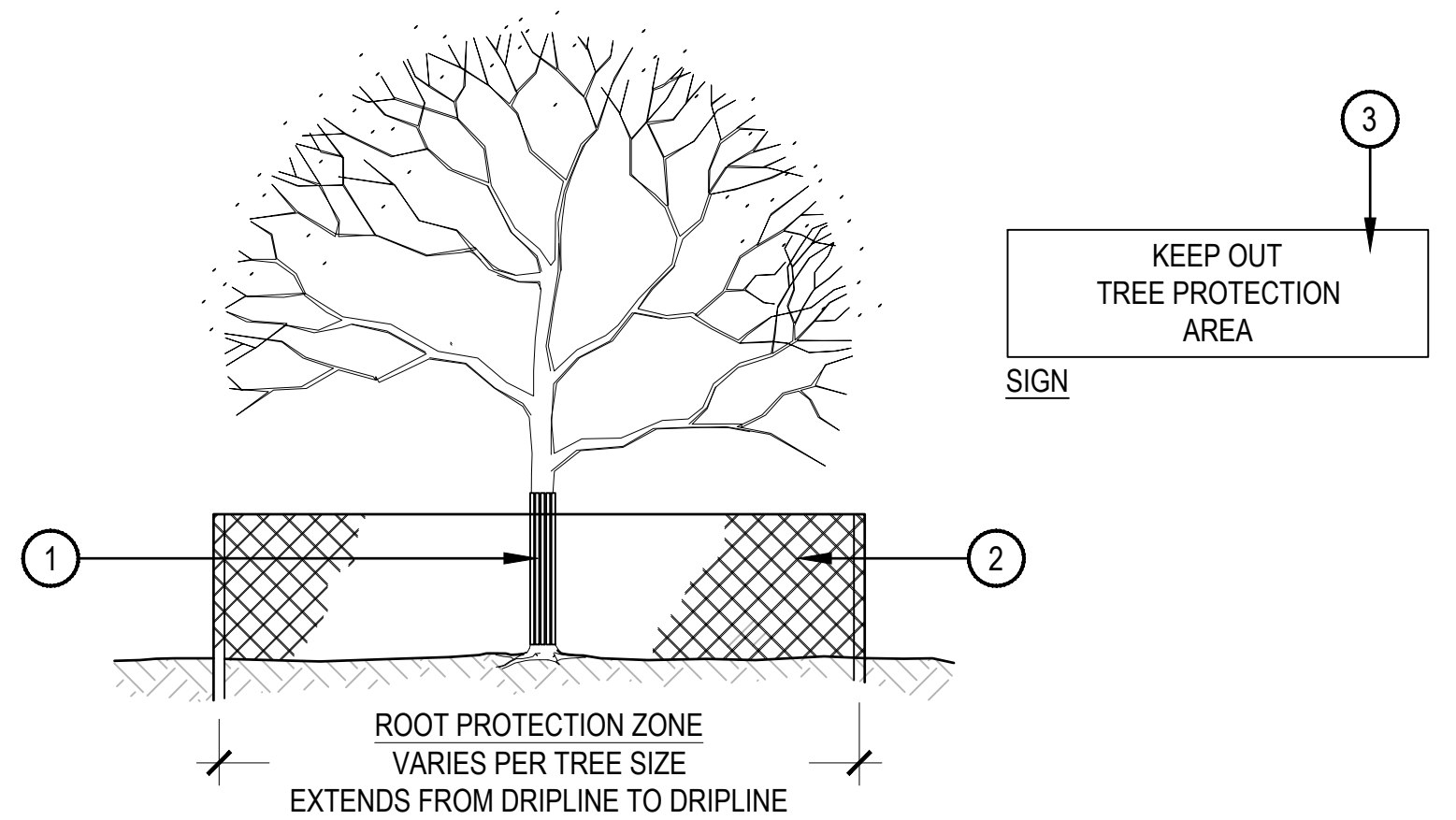
**NOTE:**

- BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.
- CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER.
- ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER.
- DIG PLANT PIT TWICE AS WIDE AND AS HIGH AS THE CONTAINER.
- PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING, DO NOT PRUNE MORE THAN 20% OF LIMBS.

**1 TREE PLANTING DETAIL**

SCALE: 3/16" = 1'-0"

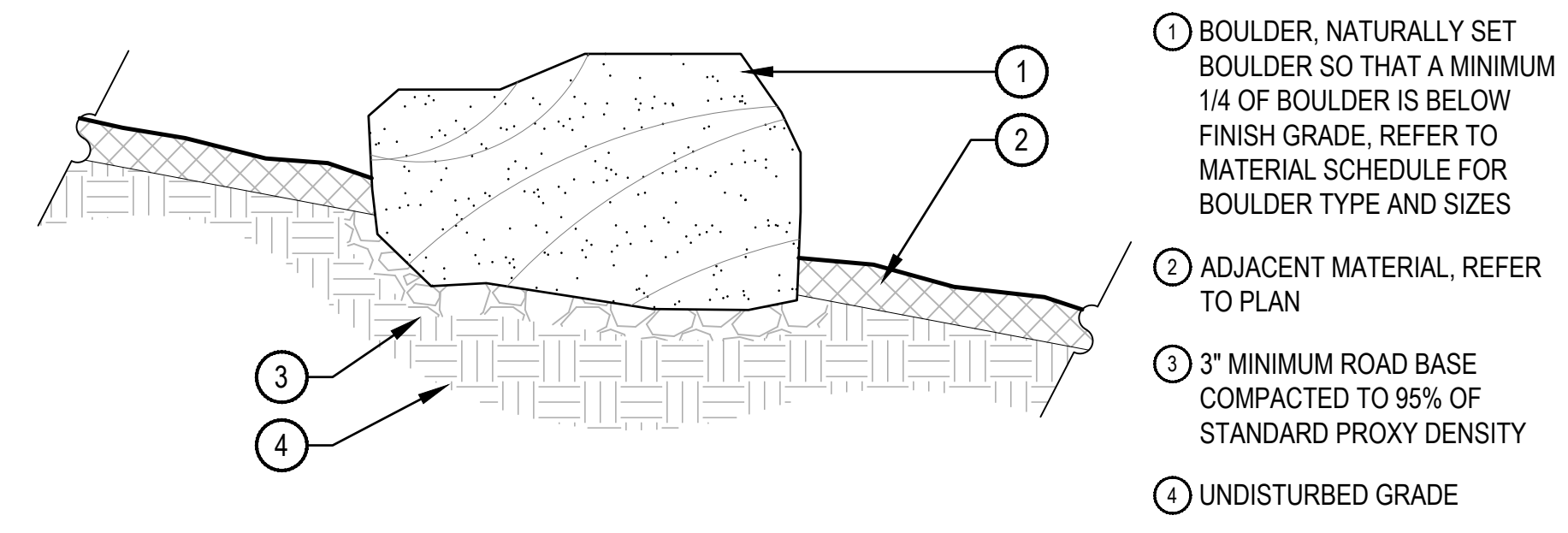
- NOTES:**
- TREES TO BE PROTECTED AND PRESERVED SHALL BE IDENTIFIED ON THE TRUNK WITH WHITE SURVEY TAPE. GROUPING OF MORE THAN ONE TREE MAY OCCUR.
  - TO PREVENT ROOT SMOTHERING, SOIL STOCKPILES, SUPPLIES, EQUIPMENT OR ANY OTHER MATERIAL SHALL NOT BE PLACED OR STORED WITHIN THE DRIP LINE OR WITHIN 15 FEET OF A TREE TRUNK, WHICHEVER IS GREATER.
  - FENCING MATERIAL SHALL BE SET AT THE DRIP LINE OR 15 FEET FROM TREE TRUNK, WHICHEVER IS GREATER, AND MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
  - FENCING MATERIAL SHALL BE BRIGHT, CONTRASTING COLOR, DURABLE, AND A MINIMUM OF FOUR FEET IN HEIGHT.
  - TREE ROOTS SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE.
  - WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. ROOTS SHALL BE CUT NO MORE THAN 1/3 OF THE RADIUS FROM DRIPLINE TO TRUNK. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING, DURING DORMANCY PERIOD. ROOT STIMULATOR SHALL BE APPLIED TO CUT ROOTS. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
  - WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING, DURING DORMANCY PERIOD. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
  - ANY GRADE CHANGES (SUCH AS THE REMOVAL OF TOPSOIL OR ADDITION OF FILL MATERIAL) WITHIN THE DRIP LINE SHOULD BE AVOIDED FOR EXISTING TREES TO REMAIN. RETAINING WALLS AND TREE WELLS ARE ACCEPTABLE ONLY WHEN CONSTRUCTED PRIOR TO GRADE CHANGE.



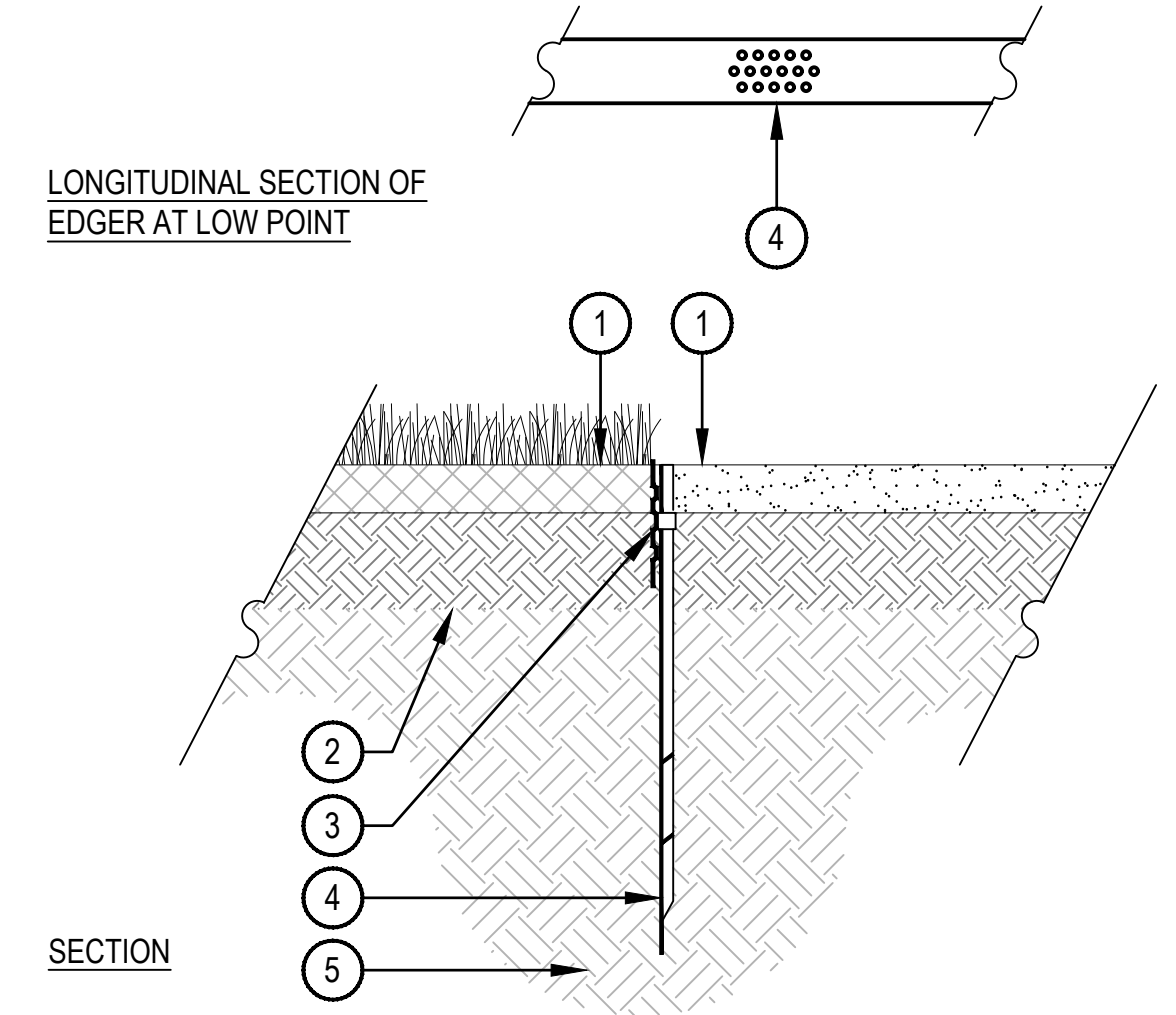
- TRUNK PROTECTION - 1" BOARDS NO LESS THAN 5' LONG OR TO REACH FIRST SCAFFOLD BRANCH. WIRE TO HOLD BOARDS IN PLACE. NO NAILS PERMITTED. INCLUDE WRAPPING OF BURLAP UNDER BOARDS.
- BRANCH PROTECTION - PROTECT LOWER BRANCHES OF TREE CANOPY. PROVIDE CONSTRUCTION FENCING OR EQUAL AT DRIPLINE MINIMUM.
- PLACE SIGNS EVERY 50'. PLACE SIGNS WHERE VISIBLE, ATTACH TO FENCING.

**3 TREE PROTECTION**

SCALE: 1/8" = 1'-0"



- BOULDER, NATURALLY SET BOULDER SO THAT A MINIMUM 1/4 OF BOULDER IS BELOW FINISH GRADE. REFER TO MATERIAL SCHEDULE FOR BOULDER TYPE AND SIZES
- ADJACENT MATERIAL, REFER TO PLAN
- 3" MINIMUM ROAD BASE COMPACTED TO 95% OF STANDARD PROXY DENSITY
- UNDISTURBED GRADE



- FINISHED GRADE, TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
- AMENDED SOIL PER SPECIFICATIONS
- PLASTIC EDGER, REFER TO MATERIAL SCHEDULE. DRILL (16) 1/2" DIAMETER HOLES 1" ON CENTER MINIMUM AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
- EDGER STAKE
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

**NOTES:**

- THERE SHALL BE NO EXPOSED SHARP/ JAGGED EDGES.
- CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.
- ENSURE POSITIVE DRAINAGE.

**5 LANDSCAPE BOULDER**

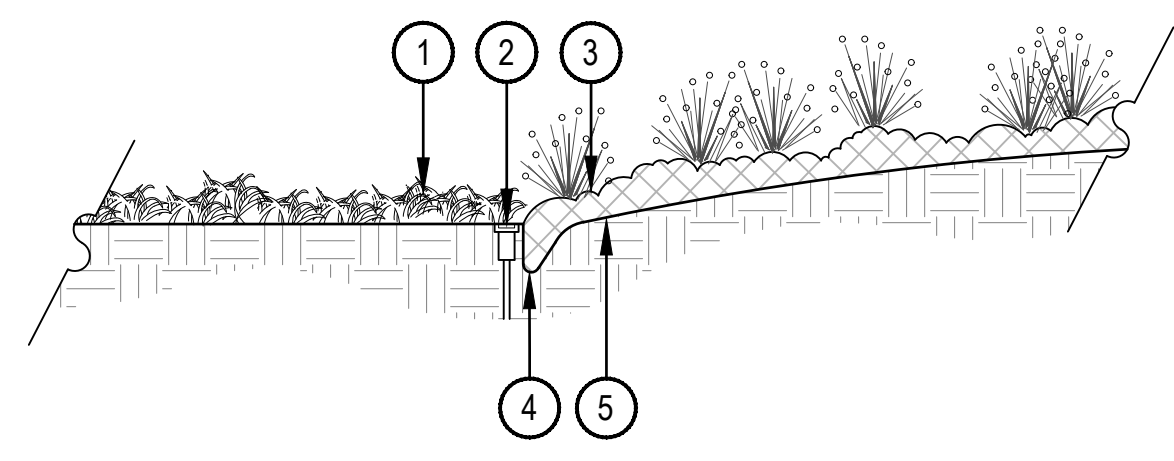
SCALE: 3/4" = 1'-0"

**6 PLASTIC EDGER**

SCALE: 1" = 1'-0"

**7 SPADE CUT EDGE**

SCALE: 1/2" = 1'-0"







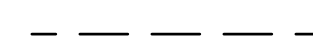
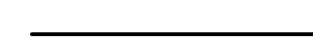


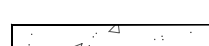
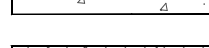
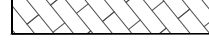




- TURFGRASS OR DYLAND SEED
- IRRIGATION HEADS SHOULD BE LOCATED ADJACENT TO MULCH BEDS, OFFSET HEAD INTO GRASS AREA TO ENSURE STABLE SUPPORT
- PLANTING BED
- VERTICAL SPADE CUT EDGE FILLED WITH SPECIFIED MULCH, TAPER EDGE OF BED SO MULCH IS DEEPER AGAINST SPADED EDGE
- SPECIFIED DEPTH OF MULCH, TYPICALLY WOOD MULCH 3"-4" DEEP


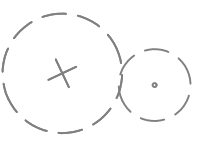

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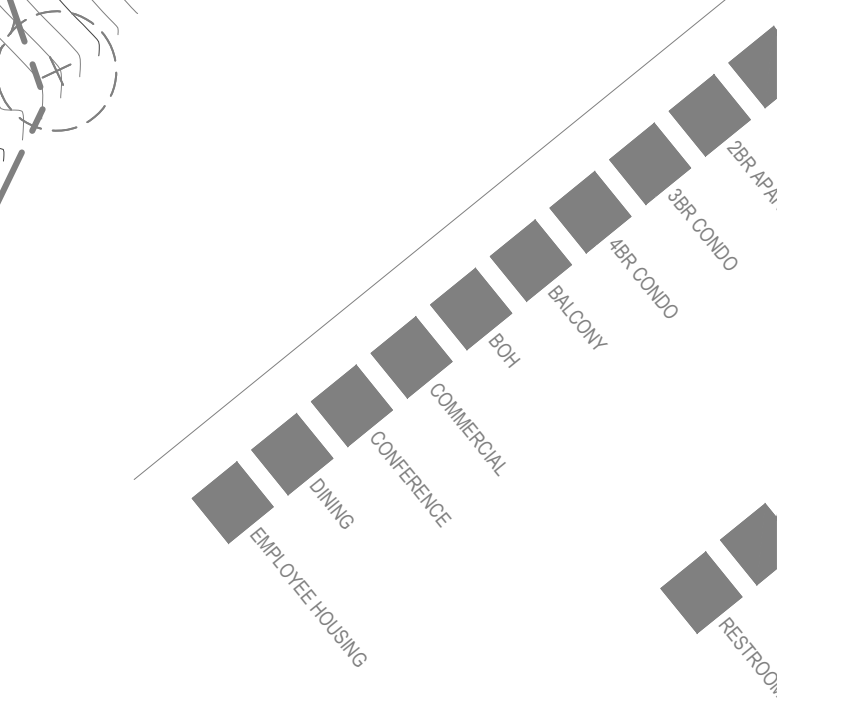
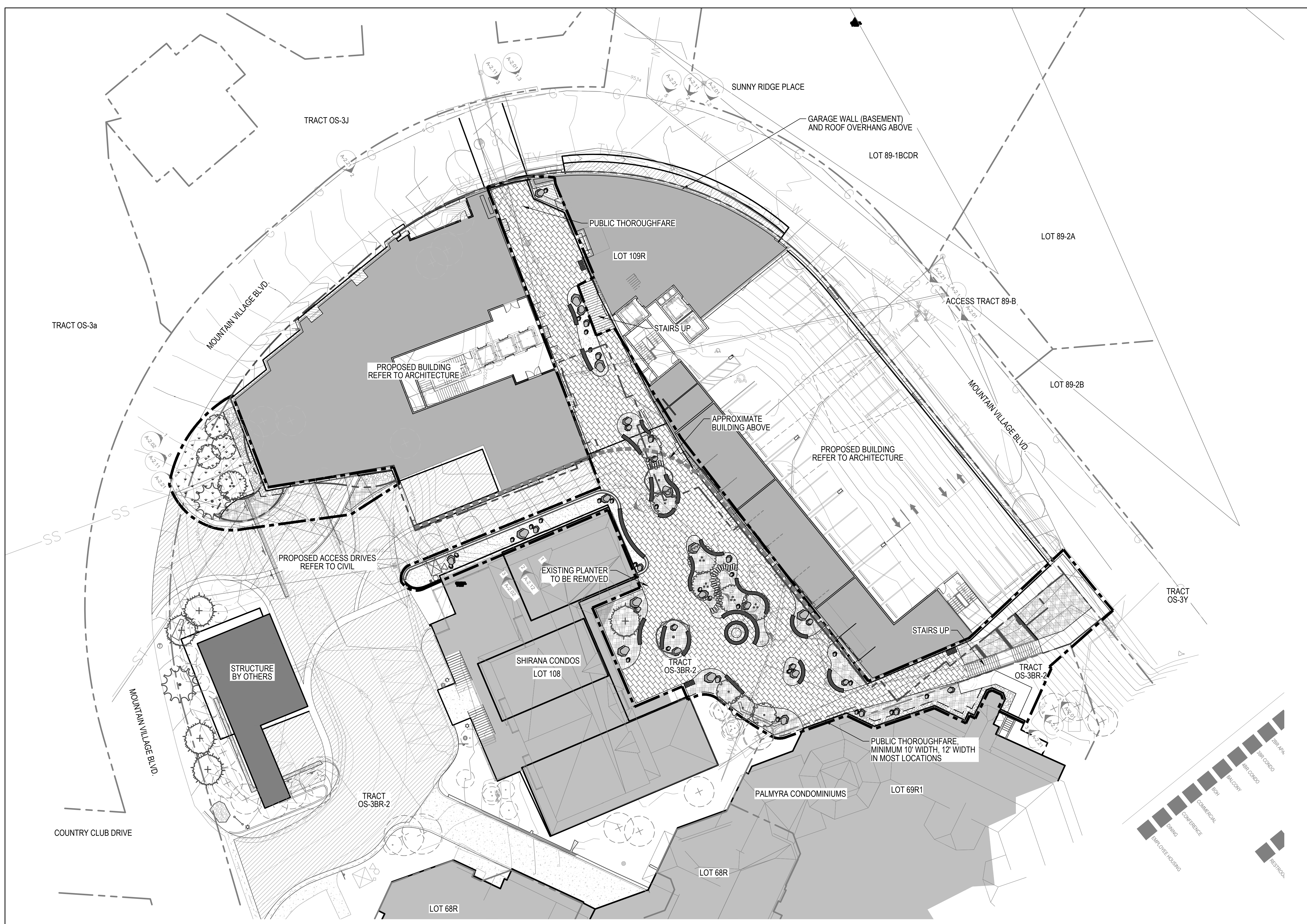


**HARDSCAPE LEGEND**

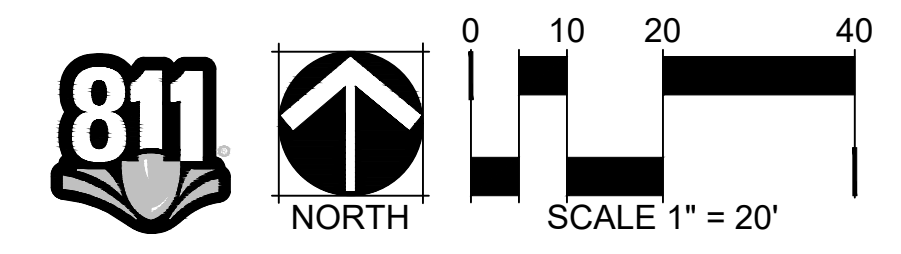
-  PRECAST CONCRETE BENCH (CUSTOM) - DTL 7/LS-501
-  TRASH AND RECYCLING
-  LANDSCAPE BOULDERS DTL 5/L-501
-  MATCH LINE
-  LIMIT OF WORK
-  LOT LINE
-  SPADE CUT EDGER DTL 7/L-501
-  EDGER DTL 8/L-501
-  CONCRETE EDGER (TBD) DTL 5/LS-501
-  RAISED CONCRETE CURB DTL 6/LS-501
-  STANDARD CONCRETE DTL 1/LS-501
-  PAVER A DTL 2/LS-501
-  LANDSCAPE ROCK DTL 3.8/LS-501
-  DECOMPOSED GRANITE DTL 3/L-501
-  WOOD MULCH DTL 4.6 & 7/L-501

**LANDSCAPE LEGEND**

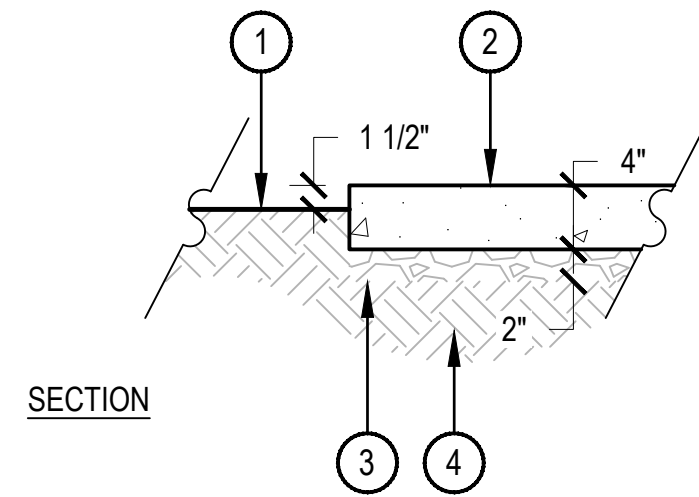
-  EXISTING TREES TO BE REMOVED
-  EXISTING TREES TO REMAIN DTL 3/L-501
-  PROPOSED TREES DTL 1/L-501



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- 1 ADJACENT LANDSCAPE, REFER TO LANDSCAPE PLANS
- 2 4" CONCRETE SLAB, SMOOTH FINISH
- 3 2" COMPACTED AGGREGATE BASE
- 4 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY



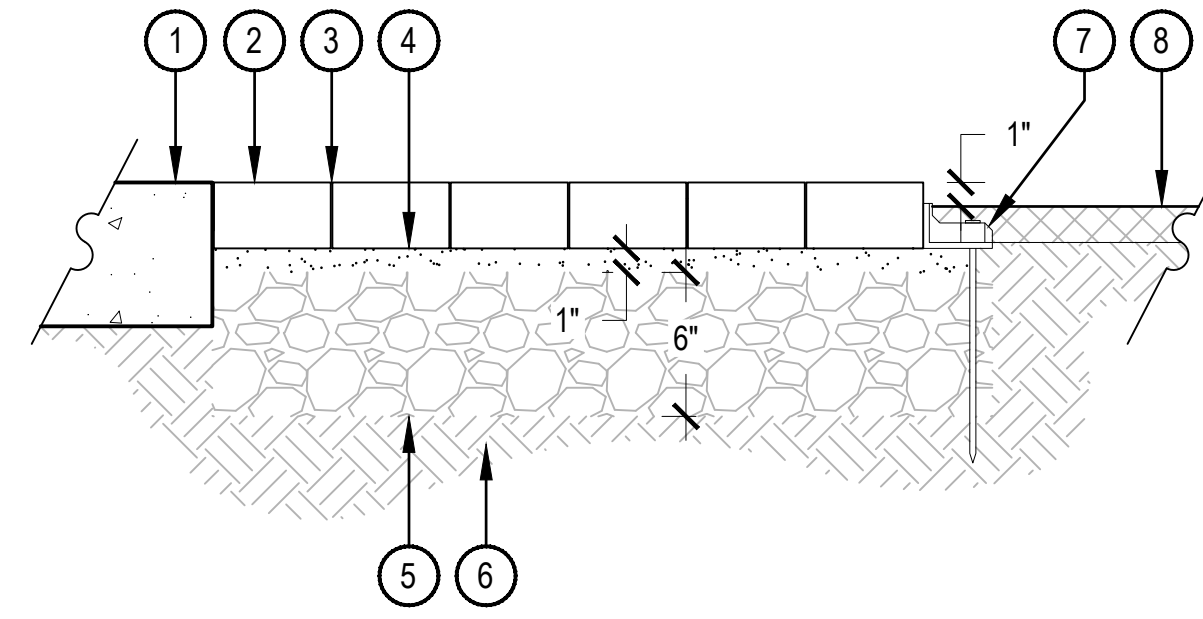
**NOTES:**

1. PROVIDE A 25 SF MOCK-UP OF CONCRETE PAVING FOR EACH FINISH SPECIFIED. MOCK-UP SHALL INCLUDE CONTROL JOINTS. MOCK-UP NOT REQUIRED FOR STANDARD BROOM FINISH.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
3. EXPANSION JOINTS AT 200' ON CENTER MAXIMUM OR WHERE NOTED.
4. CONTROL JOINTS AS SHOWN ON PLANS.
5. THIS DETAIL IS FOR LOW IMPACT TRAILS ONLY, SEE CIVIL DETAILS FOR ALL MAJOR CONCRETE PAVING DETAILS

**1 CONCRETE PAVING**

SCALE: 1" = 1'-0"

- 1 ADJACENT PAVING, REFER TO HARDSCAPE PLANS
- 2 PLANK PAVERS, REFER TO MATERIAL SCHEDULE, SHEET L-XXX
- 3 SILICA SAND SWEEP JOINTS
- 4 1" SAND SETTING BED
- 5 6" DEPTH OF COMPACTED ROAD BASE, COMPACT TO 95% STANDARD PROCTOR DENSITY
- 6 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- 7 SEK SUREBOND SNAP EDGE PAVER EDGING WITH 10" METAL STAKE, OR APPROVED EQUAL
- 8 ADJACENT LANDSCAPE, REFER TO PLANS



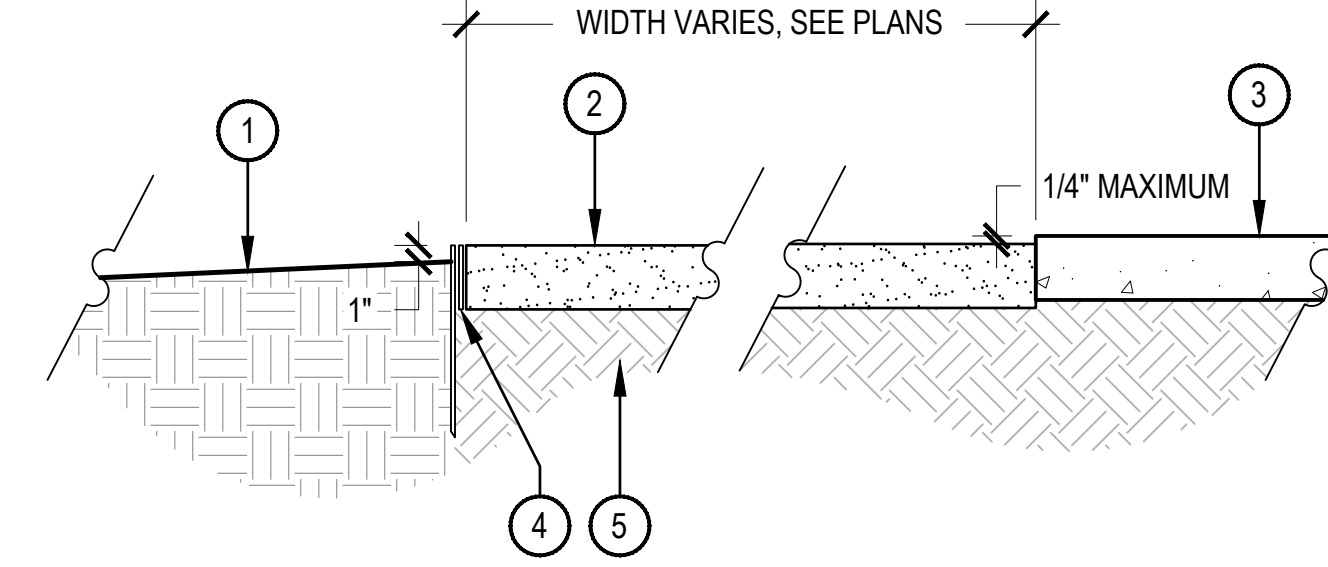
**NOTES:**

1. PROVIDE SMOOTH TRANSITION BETWEEN PLANK PAVING AND ADJACENT SURFACES.
2. PROVIDE POSITIVE DRAINAGE FROM ALL PAVING SURFACES.

**2 PLANK PAVING**

SCALE: 1 1/2" = 1'-0"

- 1 ADJACENT LANDSCAPE, REFER TO PLAN
- 2 AGGREGATE SURFACE, REFER TO PLANS FOR TYPE AND LOCATIONS, COMPACTED TO 4", ROLL EVERY 1" LAYER, SLOPE TO DRAIN
- 3 ADJACENT HARDSCAPE, REFER TO PLAN
- 4 EDGER, REFER TO PLANS FOR TYPE AND LOCATION
- 5 SUBGRADE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY



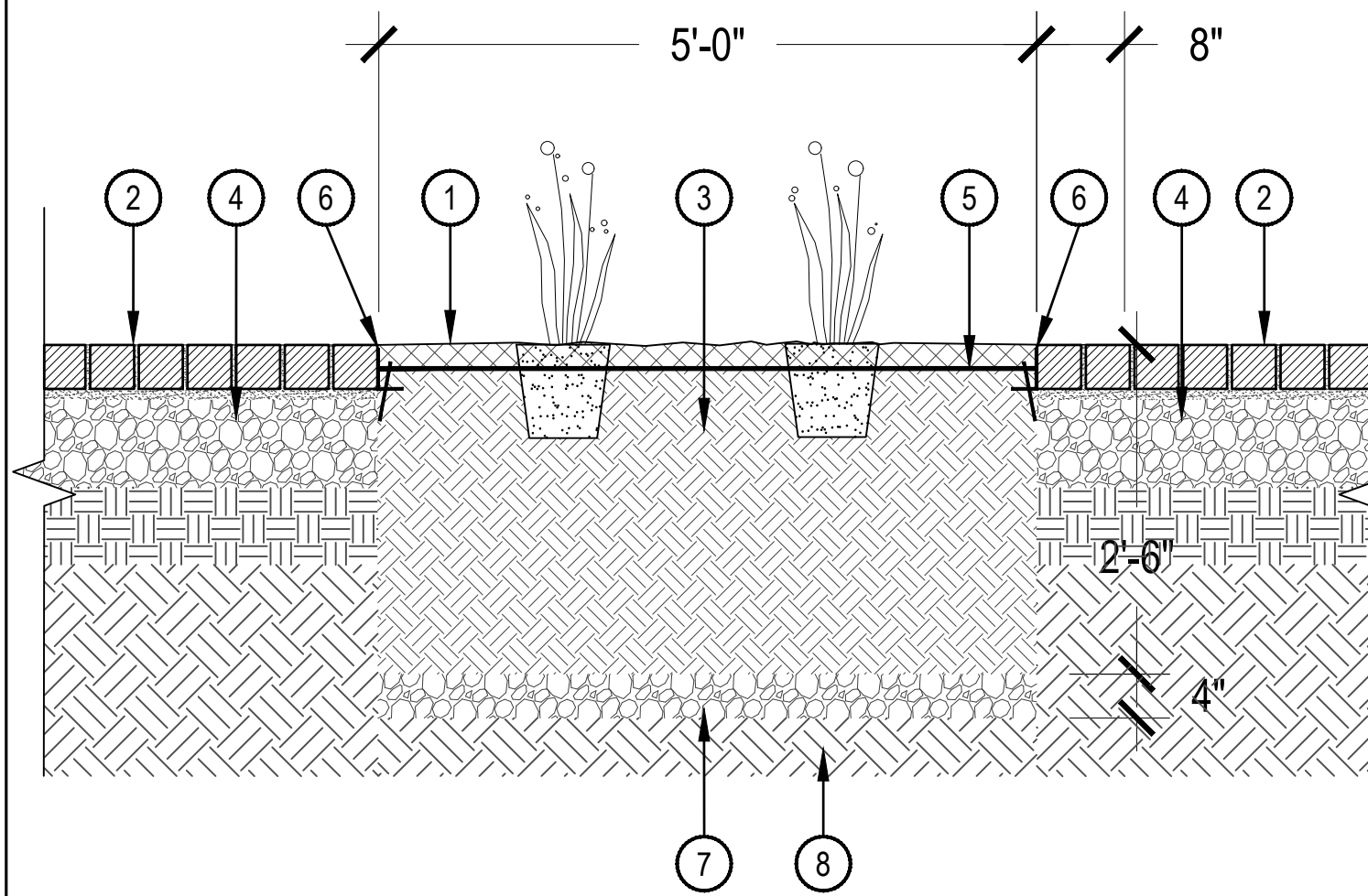
**NOTES:**

1. SLOPE ADJACENT LANDSCAPE AWAY FROM TRAIL OR PROVIDE APPROPRIATE DRAINAGE.

**3 AGGREGATE SURFACE**

SCALE: 1" = 1'-0"

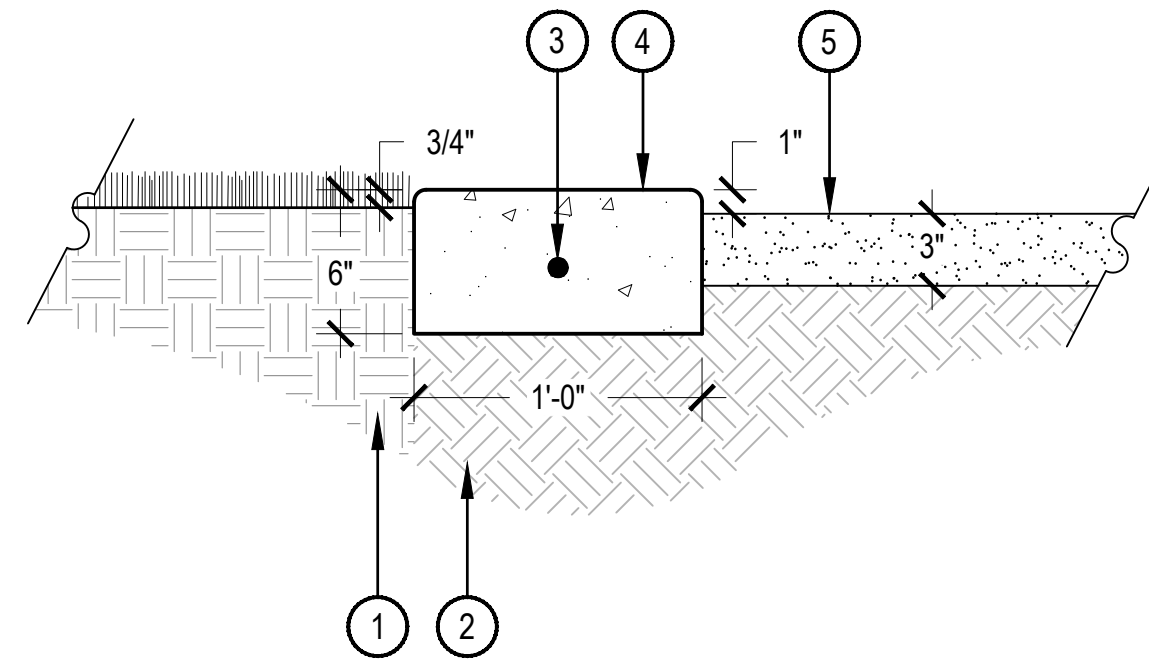
- 1 PLANTING BED MULCH, REFER TO MATERIAL SCHEDULE
- 2 ADJACENT PAVERS, SEE PLAN FOR TYPE AND MATERIAL SCHEDULE FOR MORE INFORMATION
- 3 AMENDED TOPSOIL, REFER TO LANDSCAPE SPECIFICATIONS FOR TYPE AND DEPTH
- 4 COMPACTED SUBGRADE FOR PAVERS, AS RECOMMENDED BY GEOTECHNICAL REPORT
- 5 WEED CONTROL FABRIC, REFER TO LANDSCAPE SPECIFICATIONS
- 6 PAVER RESTRAINT RAIL EDGER, STAKED, TOP OF EDGER
- 7 4" DEPTH OF GRAVEL FOR PLANTER DRAINAGE
- 8 UNDISTURBED SUBGRADE



**4 PLAZA PLANTER**

SCALE: 3/4" = 1'-0"

- 1 UNDISTURBED GRADE
- 2 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- 3 #4 REBAR CONTINUOUS
- 4 CONCRETE CURB WITH LIGHT BROOM FINISH, 1/2" RADIUS ON ALL EXPOSED EDGES
- 5 DECOMPOSED GRANITE, REFER TO MATERIAL SCHEDULE, SHEET L-XXX



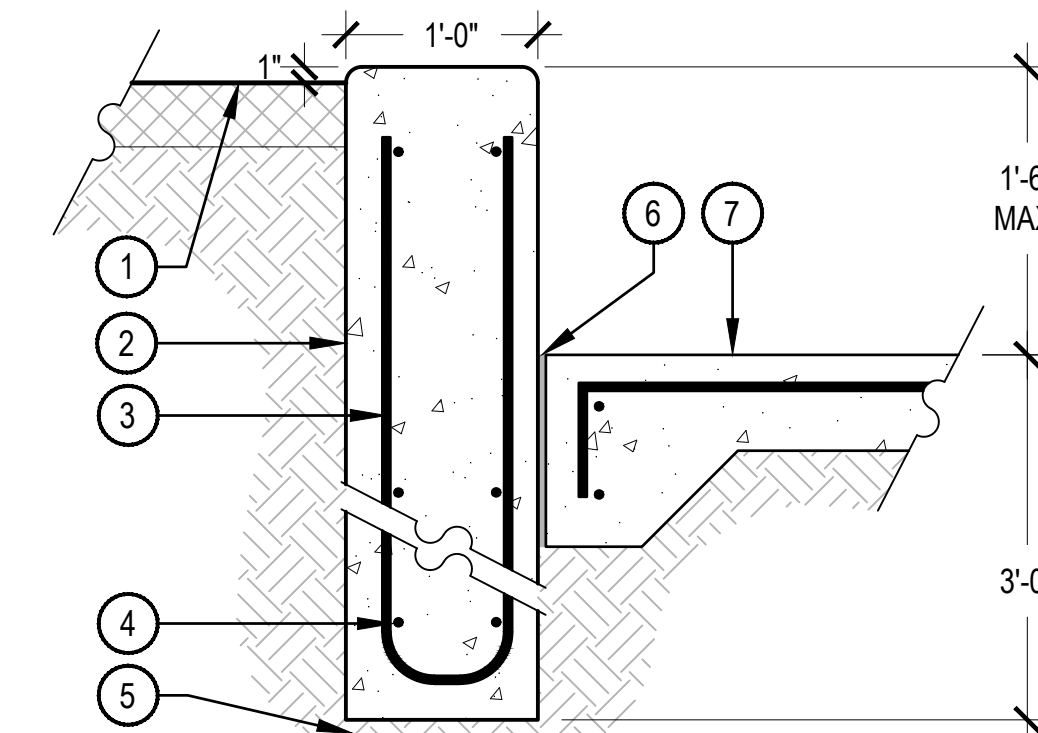
**NOTES:**

1. PROVIDE CONTROL JOINTS AT 6' ON CENTER AND EXPANSION JOINTS AT 24" ON CENTER.
2. MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2-1/2", UNLESS OTHERWISE NOTED.
3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 / 4,000 PSI AT 28 DAYS.

**5 CONCRETE EDGE**

SCALE: 1 1/2" = 1'-0"

- 1 SURROUNDING LANDSCAPE, REFER TO PLANS
- 2 CONCRETE SEATWALL, 1" RADIUS ON ALL EXPOSED CORNERS, REFER TO MATERIAL SCHEDULE, SHEET L-XXX, FOR FINISH
- 3 #4 REBAR, 24" ON CENTER SPACED FOR LENGTH OF WALL
- 4 (3) #4 REBAR SPACED EQUALLY ON EACH SIDE OF THE WALL, CONTINUOUS ALONG THE LENGTH OF THE WALL, OVERLAP 12" AT SPLICES
- 5 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- 6 EXPANSION JOINT
- 7 SURROUNDING HARDSCAPE, REFER TO DETAIL X, SHEET L-XXX



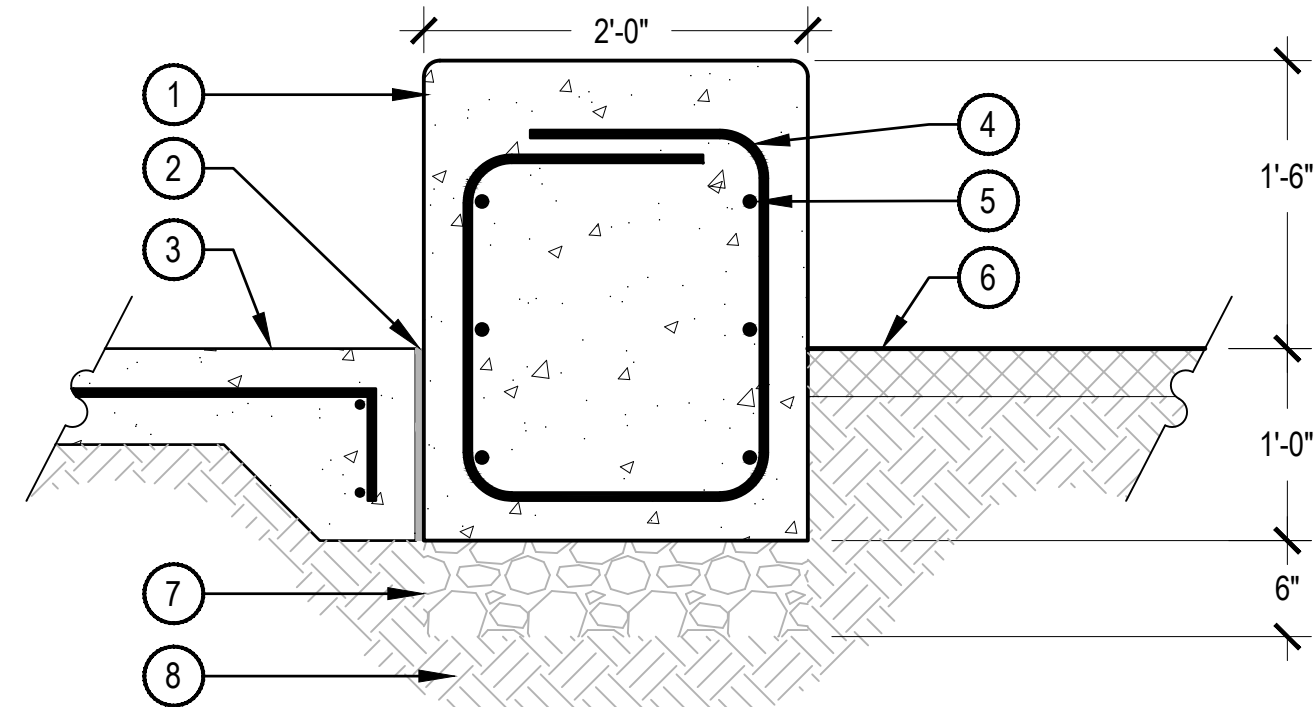
**NOTES:**

1. NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE PURPOSE, THIS DETAIL HAS NOT BEEN ENGINEERED.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT 28 DAYS.
3. MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2-1/2".
4. VERTICAL CONTROL JOINTS SHALL BE 10' ON CENTER WITH EXPANSION JOINTS 50' ON CENTER, UNLESS OTHERWISE NOTED.
5. VERTICAL FACES OF WALL SHALL BE PLUMB, WITH NO INCONSISTENCIES GREATER THAN 1/4" IN 10'-0" MEASURED IN ANY DIRECTION ALONG THE FACE OF THE WALL.
6. SEATWALL SHALL BE INSTALLED SO HORIZONTAL CURVES ARE SMOOTH AND FREE-FLOWING AS SHOWN ON PLANS.

**6 RAISED CONCRETE CURB**

SCALE: 1" = 1'-0"

- 1 CONCRETE SEATWALL, 1" RADIUS ON ALL EXPOSED CORNER, REFER TO MATERIAL SCHEDULE, SHEET L-XXX, FOR FINISH
- 2 EXPANSION JOINT
- 3 SURROUNDING HARDSCAPE, REFER TO DETAIL X, SHEET L-XXX
- 4 #4 REBAR LOOP, 24" ON CENTER DOWN EACH FACE OF WALL
- 5 (3) #6 REBAR EQUALLY SPACED (VERTICALLY) ON EACH SIDE, CONTINUOUS DOWN LENGTH OF WALL, OVERLAP SPLICES 12"
- 6 SURROUNDING LANDSCAPE, REFER TO PLANS
- 7 COMPACTED AGGREGATE BASE
- 8 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY



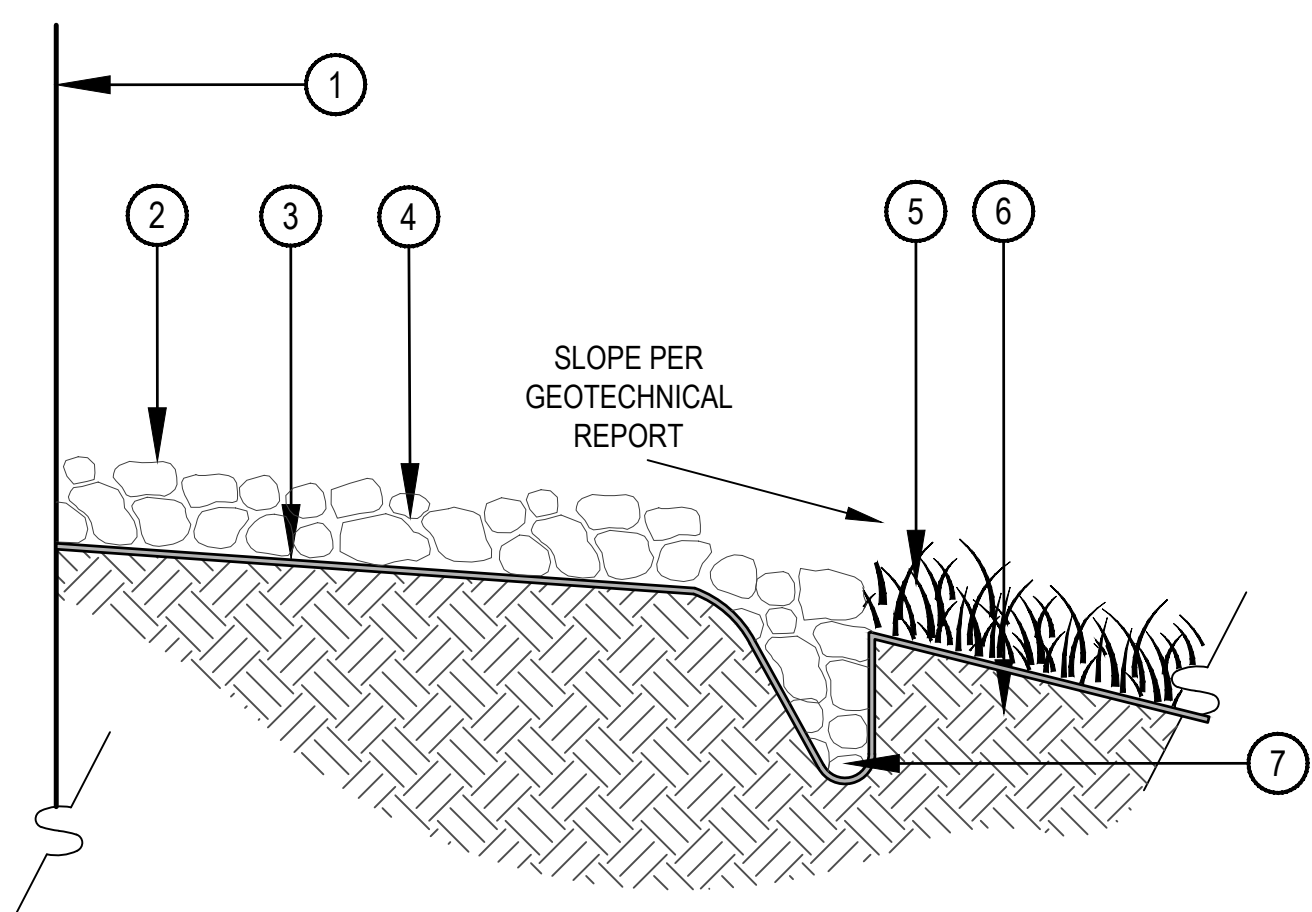
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**7 FREESTANDING CONCRETE SEATWALL**

SCALE: 1" = 1'-0"

- 1 ADJACENT BUILDING
- 2 RIVER ROCK COBBLE; MIX OF 75% 2"-4" COBBLE AND 25% 6"-12" COBBLE
- 3 WEED BARRIER FABRIC; 24" MINIMUM LAP JOINT
- 4 FINISH GRADE
- 5 ADJACENT NATIVE GRASS OR LANDSCAPE BED, REFER TO LANDSCAPE PLANS FOR ADJACENT TREATMENT TYPE
- 6 UNDISTURBED SUBGRADE
- 7 SPADE CUT EDGE OF DRIP LINE



**NOTES:**

1. COBBLE DRIP LINE TO BE INCLUDED AROUND PERIMETER OF ALL BUILDINGS WHERE ROOF LINE EXTENDS AND SHEDS WATER / SNOW.

**8 COBBLE DRIP LINE**

N.T.S.

**Mountain Village Hotel**  
LOT 109R MOUNTAIN VILLAGE, CO

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LEORD  
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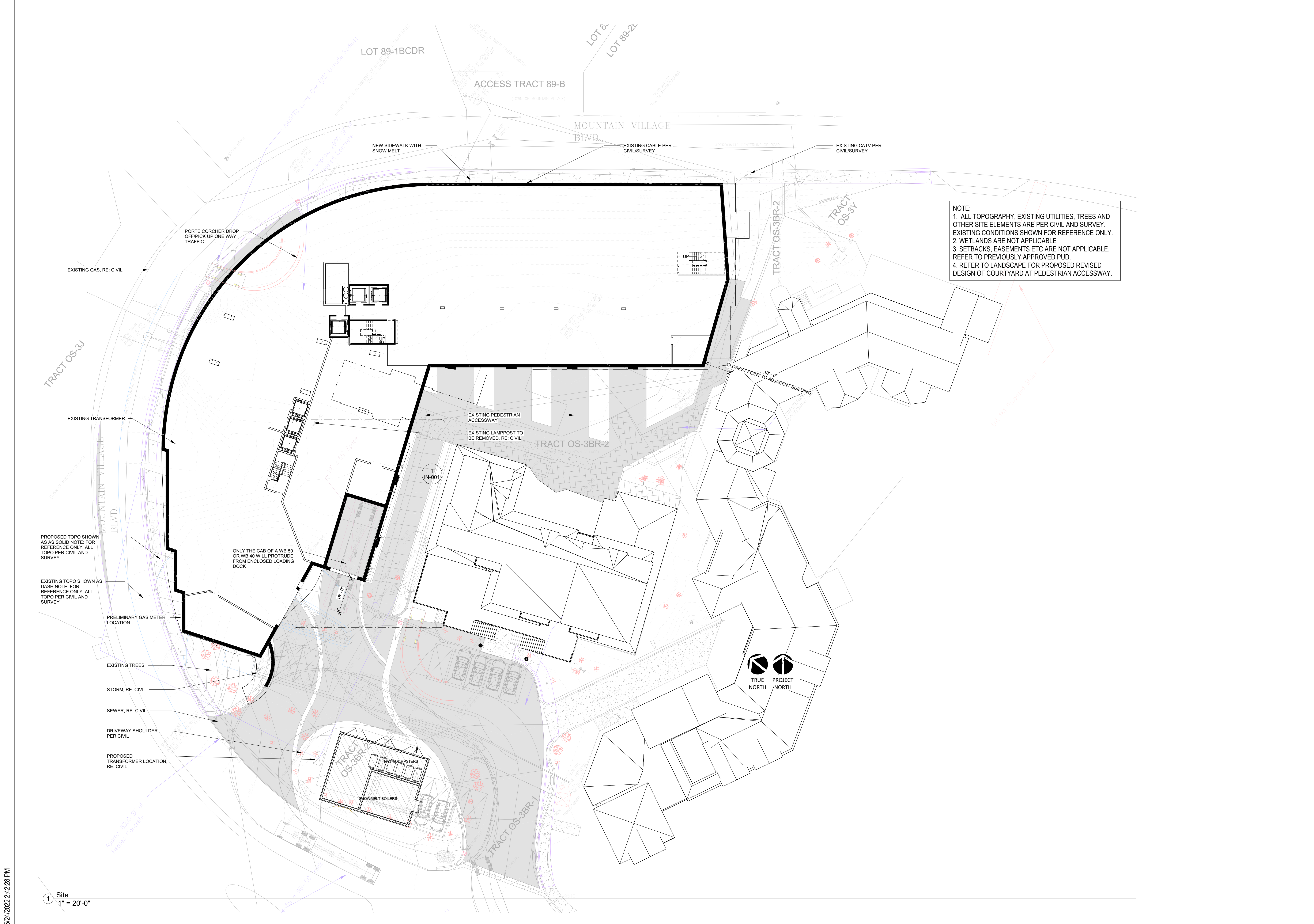
LOT 109R MAJOR PUD AMENDMENT  
SPECIAL HEARING SUBMITTAL  
05.19.2022

SEAL

Project Number  
JOB NO.

ARCHITECTURAL SITE  
PLAN

**A-0.00**



**NOTE:**  
1. ALL TOPOGRAPHY, EXISTING UTILITIES, TREES AND OTHER SITE ELEMENTS ARE PER CIVIL AND SURVEY. EXISTING CONDITIONS SHOWN FOR REFERENCE ONLY.  
2. WETLANDS ARE NOT APPLICABLE  
3. SETBACKS, EASEMENTS ETC ARE NOT APPLICABLE. REFER TO PREVIOUSLY APPROVED PUD.  
4. REFER TO LANDSCAPE FOR PROPOSED REVISED DESIGN OF COURTYARD AT PEDESTRIAN ACCESSWAY.

1 Site  
1" = 20'-0"

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# Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

### ROOM LEGEND

<span style="display:inline-block; width:15px; height:15px; background-color:#4682B4; border:1px solid black;"></span> 1BR APARTMENT	<span style="display:inline-block; width:15px; height:15px; background-color:#808080; border:1px solid black;"></span> KITCHEN
<span style="display:inline-block; width:15px; height:15px; background-color:#ADD8E6; border:1px solid black;"></span> 1BR+ APARTMENT	<span style="display:inline-block; width:15px; height:15px; background-color:#D3D3D3; border:1px solid black;"></span> OFFICE
<span style="display:inline-block; width:15px; height:15px; background-color:#6B8E23; border:1px solid black;"></span> 2BD CONDO	<span style="display:inline-block; width:15px; height:15px; background-color:#FFFFFF; border:1px solid black;"></span> PARKING
<span style="display:inline-block; width:15px; height:15px; background-color:#90EE90; border:1px solid black;"></span> 2BR APARTMENT	<span style="display:inline-block; width:15px; height:15px; background-color:#4169E1; border:1px solid black;"></span> RECREATIONAL
<span style="display:inline-block; width:15px; height:15px; background-color:#90EE90; border:1px solid black;"></span> 3BR CONDO	<span style="display:inline-block; width:15px; height:15px; background-color:#FF69B4; border:1px solid black;"></span> RESTAURANT
<span style="display:inline-block; width:15px; height:15px; background-color:#6B8E23; border:1px solid black;"></span> 4BR CONDO	<span style="display:inline-block; width:15px; height:15px; background-color:#FF4500; border:1px solid black;"></span> RESTROOM
<span style="display:inline-block; width:15px; height:15px; background-color:#FFFFFF; border:1px solid black;"></span> BALCONY	
<span style="display:inline-block; width:15px; height:15px; background-color:#808080; border:1px solid black;"></span> BOH	
<span style="display:inline-block; width:15px; height:15px; background-color:#FF8C00; border:1px solid black;"></span> COMMERCIAL	
<span style="display:inline-block; width:15px; height:15px; background-color:#808080; border:1px solid black;"></span> CONFERENCE	
<span style="display:inline-block; width:15px; height:15px; background-color:#FF8C00; border:1px solid black;"></span> DINING	
<span style="display:inline-block; width:15px; height:15px; background-color:#8FBC8F; border:1px solid black;"></span> EMPLOYEE HOUSING	
<span style="display:inline-block; width:15px; height:15px; background-color:#4682B4; border:1px solid black;"></span> HOTEL MOD	
<span style="display:inline-block; width:15px; height:15px; background-color:#ADD8E6; border:1px solid black;"></span> HOTEL SUITE	

#### LEVEL G2 BACK OF HOUSE ROOM AREAS

LEVEL	NAME	NUMBER	AREA
LEVEL G2 PARKING (9510)	BOILER ROOM	231Q	782 SF
LEVEL G2 PARKING (9510)	DELIVERY TRUCK LOADING / UNLOADING	231R	688 SF
LEVEL G2 PARKING (9510)	MECH	G201	218 SF
LEVEL G2 PARKING (9510)	TRASH	G202	222 SF
LEVEL G2 PARKING (9510)	BACK OF HOUSE, LAUNDRY, MECH.	G203-205	3964 SF
LEVEL G2 PARKING (9510)	LOADING/UNLOADING	G206	335 SF
LEVEL G2 PARKING (9510)	PARKING	G208	25781 SF
<b>TOTAL: 7</b>			<b>31989 SF</b>

(AREAS TAKEN TO INSIDE FACE OF FINISH AT EACH ROOM)

#### PARKING LEGEND

TYPE	PARKING LEVEL			TOTAL
	G2	G1	G1A	
STANDARD	46	23	25	94
COMPACT	7	-	2	9
VAN ACCESSIBLE	1	-	-	1
STANDARD ACCESSIBLE	2	2	-	4
<b>TOTAL</b>	<b>56</b>	<b>25</b>	<b>27</b>	<b>108</b>

NOTES:  
 1. (1) DEDICATED HOA MAINTENANCE SPACE PER PUD, RE: G2  
 2. STANDARD PARKING SPACE = 9' - 0" X 19' - 0" PER CDC  
 3. COMPACT PARKING SPACE = 9' - 0" X 16' - 0" PER CDC  
 4. (2) EMPLOYEE APARTMENT SPACES INCLUDED IN TOTAL  
 5. PARKING IS 100% VALET

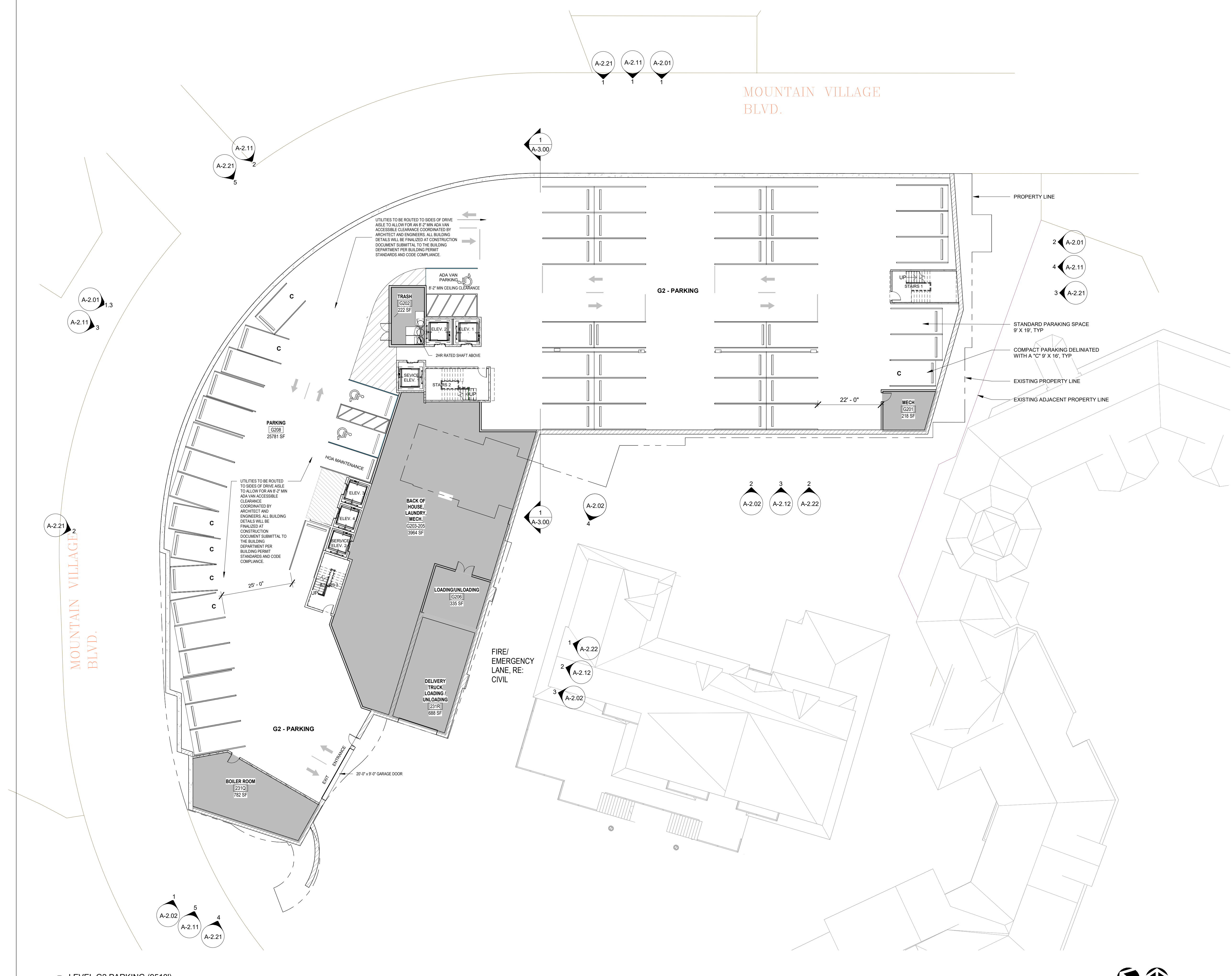
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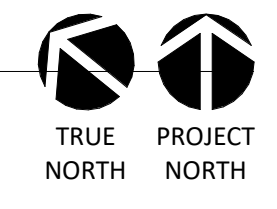
FLOOR PLAN - LEVEL G2 - OVERALL

A-1.01



1 LEVEL G2 PARKING (9510)  
 1/16" = 1'-0"

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# Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

### ROOM LEGEND

1BR APARTMENT	HOTEL MOD
1BR+ APARTMENT	HOTEL SUITE
2BD CONDO	KITCHEN
2BR APARTMENT	OFFICE
3BR CONDO	PARKING
4BR CONDO	RECREATIONAL
BALCONY	RESTAURANT
BOH	RESTROOM
COMMERCIAL	
CONFERENCE	
DINING	
EMPLOYEE HOUSING	

NAME	LEVEL	PLAZA	NUMBER	AREA
PARKING	LEVEL G1 PLAZA	(9522)	G203	10419 SF
RESTROOM	LEVEL G1 PLAZA	(9522)	G103	388 SF
RETAIL	LEVEL G1 PLAZA	(9522)	G102B	832 SF
SKI/EQUIPMENT STORAGE	LEVEL G1 PLAZA	(9522)	G101	1282 SF
SPA	LEVEL G1 PLAZA	(9522)	108	8897 SF
<b>TOTAL</b>			<b>5</b>	<b>21818 SF</b>

\*AREAS TAKEN TO INSIDE FACE OF FINISH AT EACH ROOM

TYPE	PARKING LEVEL			TOTAL
	G2	G1	G1A	
STANDARD	46	23	25	94
COMPACT	7	-	2	9
VAN ACCESSIBLE	1	-	-	1
STANDARD ACCESSIBLE	2	2	-	4
<b>TOTAL</b>	<b>56</b>	<b>25</b>	<b>27</b>	<b>108</b>

- NOTES:
- (1) DEDICATED HOA MAINTENANCE SPACE PER PUD, RE: G2
  - STANDARD PARKING SPACE = 9' - 0" x 19' - 0" PER CDC
  - COMPACT PARKING SPACE = 9' - 0" x 16' - 0" PER CDC
  - (2) EMPLOYEE APARTMENT SPACES INCLUDED IN TOTAL
  - PARKING IS 100% VALET

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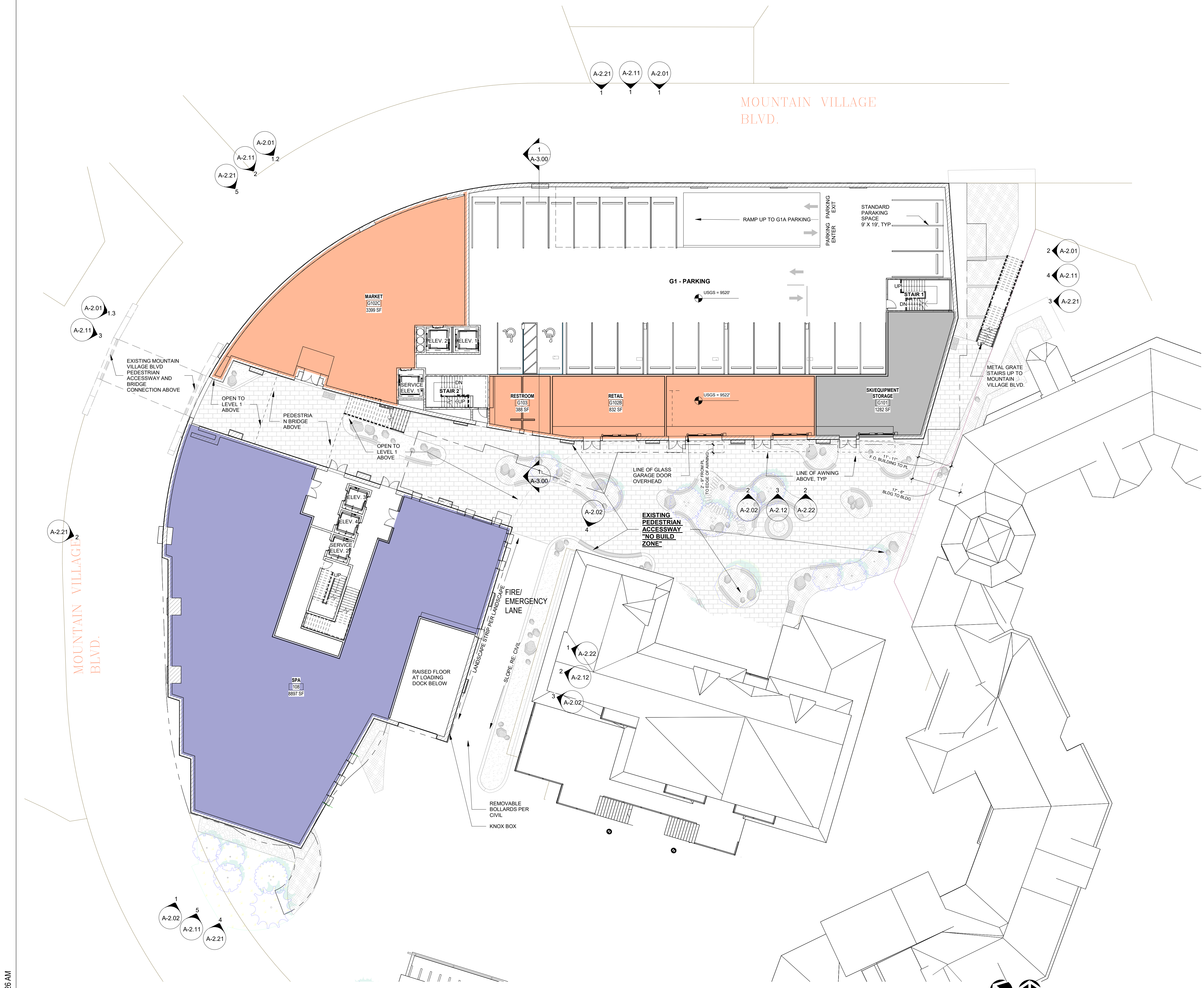
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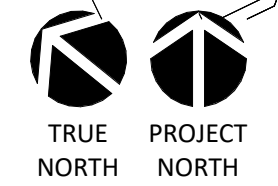
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FLOOR PLAN - LEVEL G1  
PLAZA - OVERALL

A-1.02



1 LEVEL G1 PLAZA  
1/16" = 1'-0"



**Mountain Village Hotel**  
LOT 109R MOUNTAIN VILLAGE, CO

**ROOM LEGEND**

	1BR APARTMENT		HOTEL MOD
	1BR+ APARTMENT		HOTEL SUITE
	2BD CONDO		KITCHEN
	2BR APARTMENT		OFFICE
	3BR CONDO		PARKING
	4BR CONDO		RECREATIONAL
	BALCONY		RESTAURANT
	BOH		RESTROOM
	COMMERCIAL		
	CONFERENCE		
	DINING		
	EMPLOYEE HOUSING		

**LEVEL 1 NON-RESIDENTIAL INTERIOR AREA**

NAME	LEVEL	NUMBER	AREA
BAR	LEVEL 1 (9535)	109	1014 SF
FIRE DPMT/ANNUNCIATOR	LEVEL 1 (9535)	103	157 SF
HOTEL ADMIN	LEVEL 1 (9535)	104	574 SF
KITCHEN	LEVEL 1 (9535)	107	747 SF
LOBBY LOUNGE	LEVEL 1 (9535)	110	5465 SF
RESIDENTIAL LOBBY	LEVEL 1 (9535)	101	278 SF
RESTROOM	LEVEL 1 (9535)	108	142 SF
SOTHEBY'S OFFICE	LEVEL 1 (9535)	106	648 SF
VALET OFFICE	LEVEL 1 (9535)	102	101 SF
VAULT OFFICE	LEVEL 1 (9535)	105	995 SF
<b>TOTAL: 10</b>			<b>*AREAS TAKEN TO INSIDE FACE OF FINISH AT EACH ROOM 10120 SF</b>

**PARKING LEGEND**

TYPE	PARKING LEVEL			TOTAL
	G2	G1	G1A	
STANDARD	46	23	25	94
COMPACT	7	-	2	9
VAN ACCESSIBLE	1	-	-	1
STANDARD ACCESSIBLE	2	2	-	4
<b>TOTAL</b>	<b>56</b>	<b>25</b>	<b>27</b>	<b>108</b>

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  - (2) EMPLOYEE APARTMENT SPACES INCLUDED IN TOTAL
  - PARKING IS 100% VALET

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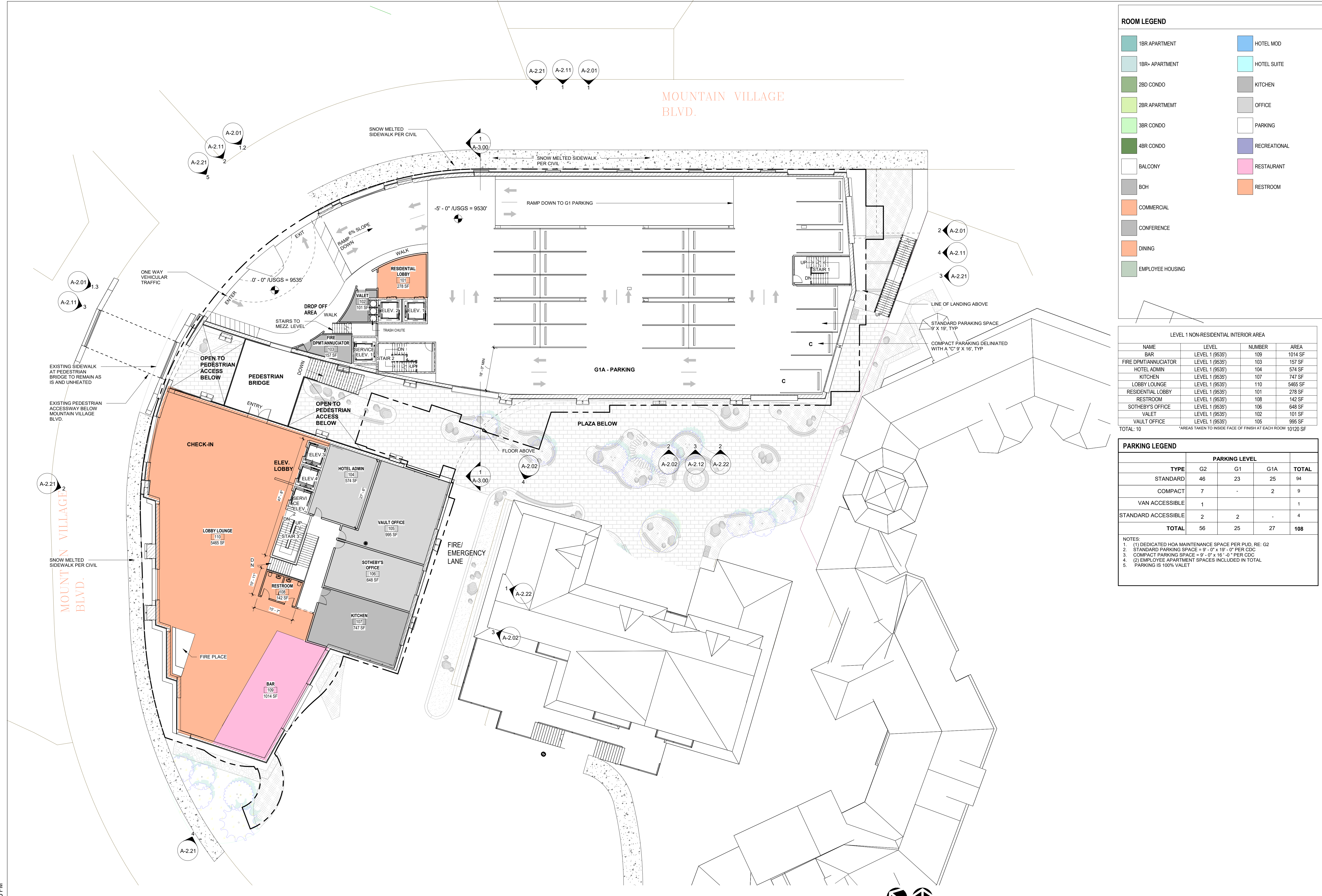
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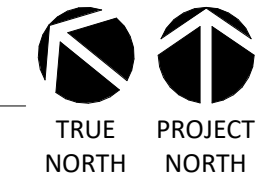
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Project Number  
JOB NO.

FLOOR PLAN - LEVEL 1/G1A  
PARKING - OVERALL

**A-1.03**



1 LEVEL 1 (9535)  
1/16" = 1'-0"





5/22/2022 8:32:21 PM

1 LEVEL 2  
1/16" = 1'-0"



**ROOM LEGEND**

1BR APARTMENT	DINING
1BR+ APARTMENT	EMPLOYEE HOUSING
2BD CONDO	HOTEL MOD
2BR APARTMENT	HOTEL SUITE
3BR CONDO	KITCHEN
4BR CONDO	OFFICE
BALCONY	PARKING
BOH	RECREATIONAL
COMMERCIAL	RESTAURANT
CONFERENCE	RESTROOM

**UNIT SUMMARY**

LEVEL	UNIT TYPE	UNIT G.S.F.	COUNT	UNITS BY FLOOR	G.S.F.
LEVEL 01A (MEZZ)	EMPLOYEE HOUSING	TBD	TBD	TBD	13,728
LEVEL 02	HOTEL JR. SUITE	491 - 749	24	31 HOTEL UNITS	32,287
	HOTEL SUITE	826 - 875	3		
LEVEL 03	HOTEL MOD.	827 - 722	3	31 HOTEL UNITS	31,622
	HOTEL JR. SUITE	821 - 744	3		
LEVEL 04	1 BR APARTMENT	745 - 508	8	18 APARTMENT UNITS	30,473
	1 BR APARTMENT + BIA	1008 - 1125	3		
	2 BR APARTMENT	1125 - 1388	7		
	2 BR CONDO	1315 - 1584	7		
	3 BR CONDO	2124 - 2340	3		
LEVEL 05	3 BR CONDO	1925 - 1388	7	10 CONDO UNITS	30,288
LEVEL 06	3 BR CONDO	1616 - 2123	5	5 CONDO UNITS	29,412
	3 BR CONDO	1985 - 1193	2		
LEVEL 07	4 BR CONDO	2332 - 3770	5	7 CONDO UNITS	23,990
TOTALS					191,810

**UNIT MIX**

RESIDENTIAL UNITS:	TOTALS	HOTEL UNITS:	TOTALS
EMPLOYEE	20	HOTEL MOD	48 (77%)
1 BR APARTMENT	11	HOTEL JR. SUITE	08 (14 (23%))
2 BR APARTMENT	07	HOTEL SUITE	08
2 BR CONDO	07		
3 BR CONDO	08		
3-4 BR PENTHOUSE CONDO	07		

**LEVEL 2 NON-RESIDENTIAL INTERIOR AREA**

LEVEL	NAME	NUMBER	AREA
LEVEL 2 (9550)	BOH	233	155 SF
LEVEL 2 (9550)	HKPG	232	306 SF
TOTAL 2			461 SF

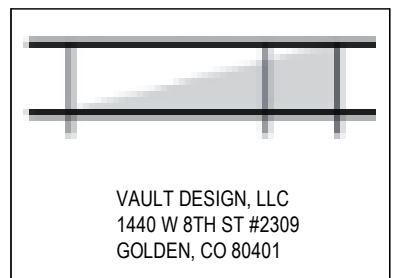
**LEVEL 2 HOTEL ROOM INTERIOR AREA**

LEVEL	NAME	NUMBER	AREA
LEVEL 2 (9550)	HOTEL MOD	214	757 SF
LEVEL 2 (9550)	HOTEL MOD	212	622 SF
LEVEL 2 (9550)	HOTEL MOD	210	627 SF
LEVEL 2 (9550)	HOTEL MOD	208	622 SF
LEVEL 2 (9550)	HOTEL MOD	206	523 SF
LEVEL 2 (9550)	HOTEL MOD	204	632 SF
LEVEL 2 (9550)	HOTEL MOD	203	514 SF
LEVEL 2 (9550)	HOTEL MOD	205	514 SF
LEVEL 2 (9550)	HOTEL MOD	207	411 SF
LEVEL 2 (9550)	HOTEL MOD	209	514 SF
LEVEL 2 (9550)	HOTEL MOD	211	514 SF
LEVEL 2 (9550)	HOTEL MOD	213	514 SF
LEVEL 2 (9550)	HOTEL MOD	215	553 SF
LEVEL 2 (9550)	HOTEL MOD	216	584 SF
LEVEL 2 (9550)	HOTEL MOD	217	530 SF
LEVEL 2 (9550)	HOTEL MOD	219	533 SF
LEVEL 2 (9550)	HOTEL MOD	221	552 SF
LEVEL 2 (9550)	HOTEL MOD	223	562 SF
LEVEL 2 (9550)	HOTEL MOD	225	530 SF
LEVEL 2 (9550)	HOTEL MOD	227	625 SF
LEVEL 2 (9550)	HOTEL MOD	229	486 SF
LEVEL 2 (9550)	HOTEL MOD	228	605 SF
LEVEL 2 (9550)	HOTEL MOD	226	601 SF
LEVEL 2 (9550)	HOTEL MOD	224	432 SF
TOTAL 24			13358 SF

**HOTEL SUITE INTERIOR AREA**

LEVEL	NAME	NUMBER	AREA
LEVEL 3 (9560.5)	HOTEL SUITE	302	1220 SF
LEVEL 3 (9560.5)	HOTEL SUITE	301	837 SF
LEVEL 3 (9560.5)	HOTEL SUITE	318	636 SF
LEVEL 3 (9560.5)	HOTEL SUITE	331	855 SF
LEVEL 3 (9560.5)	HOTEL SUITE	332	774 SF
LEVEL 3 (9560.5)	HOTEL SUITE	322	889 SF
LEVEL 3 (9560.5)	HOTEL SUITE	320	1173 SF
TOTAL 7			6385 SF

NOTE: AREAS SHOWN ARE TAKEN TO INSIDE FACE OF FINISH



VAULT DESIGN LLC  
1440 W 8TH ST #2309  
GOLDEN, CO 80401

**Mountain Village Hotel**  
LOT 109R MOUNTAIN VILLAGE, CO

HOTEL SUITE COORDINATION  
RELEASE OF THESE DOCUMENTS CONTINGENT UPON THE OWNER, ARCHITECT, CONTRACTOR, AND THE ARCHITECT, DESIGN AND CONSTRUCTION AGREEMENTS, AND THE ARCHITECT AND OWNER CONTRACTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE. THE ARCHITECT GUARANTEES PERFECTION OF WORKMANSHIP AND EVERY CONTRACTOR CANNOT BE ANTICIPATED ANY ERRORS, OMISSIONS, OR DISCREPANCY OCCURRED BY THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE ARCHITECT'S PROFESSIONAL RESPONSIBILITY AND DOES NOT INCLUDE CONSTRUCTION COSTS. IT IS THE ARCHITECT'S RESPONSIBILITY TO COORDINATE WITH ALL OTHER PROFESSIONALS INVOLVED IN THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.  
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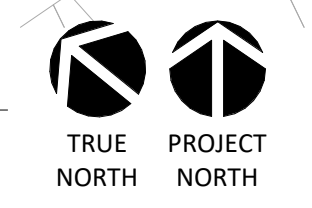
Item	No.	Date	Description

LOT 109R MAJOR PUD AMENDMENT  
SPECIAL HEARING SUBMITTAL  
05.19.2022

SEAL  
Project Number  
JOB NO.

FLOOR PLAN - LEVEL 2 -  
OVERALL

A-1.05





5/22/2022 8:41:55 PM

1 LEVEL 3  
1/16" = 1'-0"



**ROOM LEGEND**

- 1BR APARTMENT
- 1BR+ APARTMENT
- 2BD CONDO
- 2BR APARTMENT
- 3BR CONDO
- 4BR CONDO
- BALCONY
- BOH
- COMMERCIAL
- CONFERENCE
- DINING
- EMPLOYEE HOUSING
- HOTEL MOD
- HOTEL SUITE
- KITCHEN
- OFFICE
- PARKING
- RECREATIONAL
- RESTAURANT
- RESTROOM

UNIT SUMMARY					
LEVEL	UNIT TYPE	UNIT G.S.F.	COUNT	UNITS BY FLOOR	G.S.F.
LEVEL 01A (MEZZ)	EMPLOYEE HOUSING	180	180		13,728
LEVEL 02	HOTEL MOD	491-749	24	31 HOTEL UNITS	32,287
	HOTEL JR. SUITE	826-876	3		
LEVEL 03	HOTEL SUITE	886-1199	3		
	HOTEL MOD	827-722	4	31 HOTEL UNITS	31,622
LEVEL 04	HOTEL JR. SUITE	821-744	3		
	1 BR APARTMENT	746-598	8	18 APARTMENT UNITS	30,473
	1 BR APARTMENT + BIA	1009-1125	3		
	2 BR APARTMENT	1126-1388	7		
LEVEL 05	2 BR CONDO	1315-1584	7	10 CONDO UNITS	30,288
	3 BR CONDO	2124-2340	3		
LEVEL 06	3 BR CONDO	1616-2193	5	5 CONDO UNITS	29,412
	4 BR CONDO	2686-3193	2		
LEVEL 07	4 BR CONDO	2332-3270	5	7 CONDO UNITS	23,990
<b>TOTALS</b>					<b>191,810</b>

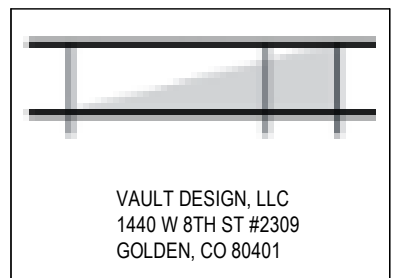
UNIT MIX					
RESIDENTIAL UNITS:	TOTALS	HOTEL UNITS:	TOTALS		
EMPLOYEE	20	HOTEL MOD	48	(77%)	62
1 BR APARTMENT	11	HOTEL JR. SUITE	36		
2 BR APARTMENT	07	HOTEL SUITE	08	(23%)	
2 BR CONDO	07				
3 BR CONDO	08				
3-4 BR PENTHOUSE CONDO	07				

LEVEL 3 NON-RESIDENTIAL INTERIOR AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 3 (9560.5)	BOH	335	157 SF
LEVEL 3 (9560.5)	HKPG	334	307 SF
<b>TOTAL: 2</b>			<b>464 SF</b>

HOTEL ROOM INTERIOR AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 3 (9560.5)	HOTEL MOD	303	516 SF
LEVEL 3 (9560.5)	HOTEL MOD	304	612 SF
LEVEL 3 (9560.5)	HOTEL MOD	305	516 SF
LEVEL 3 (9560.5)	HOTEL MOD	306	484 SF
LEVEL 3 (9560.5)	HOTEL MOD	307	421 SF
LEVEL 3 (9560.5)	HOTEL MOD	308	612 SF
LEVEL 3 (9560.5)	HOTEL MOD	309	524 SF
LEVEL 3 (9560.5)	HOTEL MOD	310	616 SF
LEVEL 3 (9560.5)	HOTEL MOD	311	524 SF
LEVEL 3 (9560.5)	HOTEL MOD	312	613 SF
LEVEL 3 (9560.5)	HOTEL MOD	313	526 SF
LEVEL 3 (9560.5)	HOTEL MOD	314	738 SF
LEVEL 3 (9560.5)	HOTEL MOD	315	562 SF
LEVEL 3 (9560.5)	HOTEL MOD	316	598 SF
LEVEL 3 (9560.5)	HOTEL MOD	317	540 SF
LEVEL 3 (9560.5)	HOTEL MOD	319	548 SF
LEVEL 3 (9560.5)	HOTEL MOD	321	560 SF
LEVEL 3 (9560.5)	HOTEL MOD	323	573 SF
LEVEL 3 (9560.5)	HOTEL MOD	325	534 SF
LEVEL 3 (9560.5)	HOTEL MOD	326	442 SF
LEVEL 3 (9560.5)	HOTEL MOD	327	618 SF
LEVEL 3 (9560.5)	HOTEL MOD	328	579 SF
LEVEL 3 (9560.5)	HOTEL MOD	329	502 SF
LEVEL 3 (9560.5)	HOTEL MOD	330	579 SF
<b>TOTAL: 24</b>			<b>13338 SF</b>

HOTEL SUITE INTERIOR AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 3 (9560.5)	HOTEL SUITE	302	1220 SF
LEVEL 3 (9560.5)	HOTEL SUITE	301	837 SF
LEVEL 3 (9560.5)	HOTEL SUITE	318	636 SF
LEVEL 3 (9560.5)	HOTEL SUITE	331	855 SF
LEVEL 3 (9560.5)	HOTEL SUITE	332	774 SF
LEVEL 3 (9560.5)	HOTEL SUITE	322	889 SF
LEVEL 3 (9560.5)	HOTEL SUITE	320	1173 SF
<b>TOTAL: 7</b>			<b>6385 SF</b>

NOTE: AREAS SHOWN ARE TAKEN TO INSIDE FACE OF FINISH



VAULT DESIGN, LLC  
1440 W 8TH ST #2309  
GOLDEN, CO 80401

# Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

HOTEL SUITE COOPERATION  
RELEASE OF THESE DOCUMENTS CONTINGENT UPON THE OWNER, ARCHITECT, DESIGNER, CONTRACTOR, AND THE ARCHITECT, DESIGN AND CONSTRUCTION. THE ARCHITECT, DESIGNER AND OWNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION. THE ARCHITECT, DESIGNER AND OWNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION. THE ARCHITECT, DESIGNER AND OWNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION. THE ARCHITECT, DESIGNER AND OWNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION.

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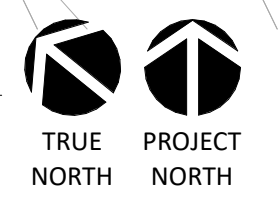
Item	No.	Date	Description

LOT 109R MAJOR PUD AMENDMENT  
SPECIAL HEARING SUBMITTAL  
05.19.2022

Project Number  
JOB NO.

FLOOR PLAN - LEVEL 3 -  
OVERALL

**A-1.06**



5/22/2022 8:45:15 PM

VAULT DESIGN, LLC  
1440 W 8TH ST #2309  
GOLDEN, CO 80401

# Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

NOTICE OF COOPERATION  
RELEASE OF THESE DOCUMENTS CONTINGENT UPON THE ARCHITECT RECEIVING THE OWNER'S DESIGN AND CONSTRUCTION AGREEMENT. RELEASE OF THESE DOCUMENTS DOES NOT CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF PERFORMANCE OR WARRANTY BY THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSEQUENCES ARISING OUT OF SUCH CHANGES.

Item	No.	Date	Description

LOT 109R MAJOR PUD AMENDMENT  
SPECIAL HEARING SUBMITTAL  
05.19.2022

SEAL

Project Number

FLOOR PLAN - LEVEL 4 -  
OVERALL

A-1.07

### ROOM LEGEND

- 1BR APARTMENT
- 1BR+ APARTMENT
- 2BD CONDO
- 2BR APARTMENT
- 3BR CONDO
- 4BR CONDO
- BALCONY
- BOH
- COMMERCIAL
- CONFERENCE
- DINING
- EMPLOYEE HOUSING
- HOTEL MOD
- HOTEL SUITE
- KITCHEN
- OFFICE
- PARKING
- RECREATIONAL
- RESTAURANT
- RESTROOM

UNIT SUMMARY					
LEVEL	UNIT TYPE	UNIT G.S.F.	COUNT	UNITS BY FLOOR	G.S.F.
LEVEL 01A (MEZZ)	EMPLOYEE HOUSING	TBD	TBD	TBD	TBD
LEVEL 02	HOTEL MOD	491-749	24	31 HOTEL UNITS	32,287
LEVEL 03	HOTEL SUITE	825-875	3		
LEVEL 04	HOTEL SUITE	825-1199	3		
LEVEL 05	HOTEL MOD	827-722	5	31 HOTEL UNITS	31,622
LEVEL 06	HOTEL SUITE	821-744	3		
LEVEL 07	HOTEL SUITE	827-1165	4		
LEVEL 08	1 BR APARTMENT	745-508	8	18 APARTMENT UNITS	30,473
LEVEL 09	1 BR APARTMENT + BALCONY	1008-1125	3		
LEVEL 10	2 BR APARTMENT	1125-1368	7		
LEVEL 11	2 BR CONDO	1375-1584	7	10 CONDO UNITS	30,288
LEVEL 12	3 BR CONDO	2124-2340	3		
LEVEL 13	3 BR CONDO	1925-2193	5	5 CONDO UNITS	29,412
LEVEL 14	4 BR CONDO	2332-2729	5	7 CONDO UNITS	23,990
TOTALS					191,810

UNIT MIX					
RESIDENTIAL UNITS	TOTALS	HOTEL UNITS	TOTALS		
EMPLOYEE	20	HOTEL MOD	48	78 (77%)	62
1 BR APARTMENT	11	HOTEL SUITE	58	69 (23%)	
2 BR APARTMENT	07				
2 BR CONDO	07				
3 BR CONDO	08				
3.4 BR PENTHOUSE CONDO	07				

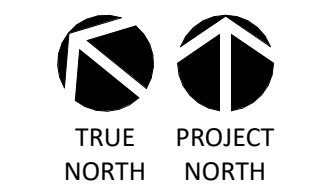
LEVEL 4 NON-RESIDENTIAL INTERIOR AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 4 (9571)	BOH	420	152 SF
LEVEL 4 (9571)	HKPG	419	306 SF
TOTAL: 2			457 SF

APARTMENT INTERIOR AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 4 (9571)	1 BEDROOM LODGE UNIT	403	966 SF
LEVEL 4 (9571)	1 BEDROOM LODGE UNIT	405	778 SF
LEVEL 4 (9571)	1 BEDROOM LODGE UNIT	407	777 SF
LEVEL 4 (9571)	1 BEDROOM LODGE UNIT	409	823 SF
LEVEL 4 (9571)	1 BEDROOM LODGE UNIT	411	888 SF
LEVEL 4 (9571)	1 BEDROOM LODGE UNIT	413	838 SF
LEVEL 4 (9571)	1 BEDROOM LODGE UNIT	415	1111 SF
LEVEL 4 (9571)	1 BEDROOM LODGE UNIT	417	1125 SF
LEVEL 4 (9571)	1 BEDROOM LODGE UNIT	416	1105 SF
LEVEL 4 (9571)	1 BEDROOM LODGE UNIT	412	1140 SF
LEVEL 4 (9571)	2 BEDROOM LODGE UNIT	408	1316 SF
LEVEL 4 (9571)	2 BEDROOM LODGE UNIT	406	1162 SF
LEVEL 4 (9571)	2 BEDROOM LODGE UNIT	404	1028 SF
LEVEL 4 (9571)	2 BEDROOM LODGE UNIT	402	1061 SF
LEVEL 4 (9571)	2 BEDROOM LODGE UNIT	401	1060 SF
LEVEL 4 (9571)	2 BEDROOM LODGE UNIT	410	1127 SF
LEVEL 4 (9571)	2 BEDROOM LODGE UNIT	414	1238 SF
LEVEL 4 (9571)	2 BEDROOM LODGE UNIT	418	1647 SF
TOTAL: 18			19188 SF

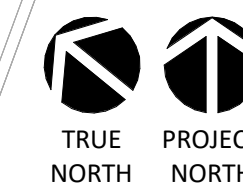
\*AREAS TAKEN TO INSIDE FACE OF FINISH AT EACH ROOM



1 LEVEL 4  
1/16" = 1'-0"



1 LEVEL 5  
1/16" = 1'-0"



ROOM LEGEND

- 1BR APARTMENT
- 1BR+ APARTMENT
- 2BD CONDO
- 2BR APARTMENT
- 3BR CONDO
- 4BR CONDO
- BALCONY
- BOH
- COMMERCIAL
- CONFERENCE
- DINING
- EMPLOYEE HOUSING
- HOTEL MOD
- HOTEL SUITE
- KITCHEN
- OFFICE
- PARKING
- RECREATIONAL
- RESTAURANT
- RESTROOM

UNIT SUMMARY					
LEVEL	UNIT TYPE	UNIT G.S.F.	COUNT	UNITS BY FLOOR	G.S.F.
LEVEL 01A (MEZZ)	EMPLOYEE HOUSING	180	TBD	TBD EMPLOYEE UNITS	13,728
LEVEL 02	HOTEL MOD	491-749	24	31 HOTEL UNITS	32,287
	HOTEL JR. SUITE	826-876	24		
	HOTEL SUITE	808-1199	3		
LEVEL 03	HOTEL MOD	807-722	24	31 HOTEL UNITS	31,622
	HOTEL JR. SUITE	821-744	3		
	HOTEL SUITE	827-1165	4		
LEVEL 04	1 BR APARTMENT	740-508	8	18 APARTMENT UNITS	30,473
	1 BR APARTMENT + BIA	1009-1125	3		
	2 BR APARTMENT	1128-1368	7		
	3 BR CONDO	1723-1998	7		
LEVEL 05	3 BR CONDO	2124-2340	3	10 CONDO UNITS	30,288
LEVEL 06	3 BR CONDO	1616-2123	5	5 CONDO UNITS	29,412
LEVEL 07	3 BR CONDO	1986-2193	2		
	4 BR CONDO	2332-3772	5	7 CONDO UNITS	23,990
<b>TOTALS</b>					<b>191,810</b>

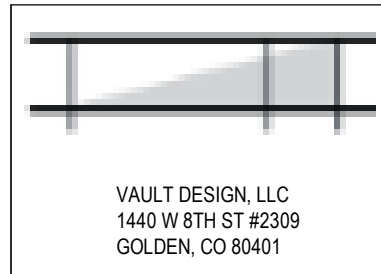
UNIT MIX					
RESIDENTIAL UNITS:	TOTALS	HOTEL UNITS:	TOTALS		
EMPLOYEE	20	HOTEL MOD	48	(77%)	62
1 BR APARTMENT	11	HOTEL JR. SUITE	28		
2 BR APARTMENT	07	HOTEL SUITE	08	(23%)	
2 BR CONDO	07				
3 BR CONDO	08				
3-4 BR PENTHOUSE CONDO	07				

LEVEL 5 NON-RESIDENTIAL INTERIOR AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 5 (9581.5)	HKPG	511	306 SF
LEVEL 5 (9581.5)	BOH	512	152 SF
<b>TOTAL: 2</b>			<b>457 SF</b>

CONDO INTERIOR AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 5 (9581.5)	CONDO	501	2057 SF
LEVEL 5 (9581.5)	CONDO	502	2034 SF
LEVEL 5 (9581.5)	CONDO	503	1616 SF
LEVEL 5 (9581.5)	CONDO	504	2369 SF
LEVEL 5 (9581.5)	CONDO	505	1421 SF
LEVEL 5 (9581.5)	CONDO	506	1732 SF
LEVEL 5 (9581.5)	CONDO	507	1691 SF
LEVEL 5 (9581.5)	CONDO	508	2466 SF
LEVEL 5 (9581.5)	CONDO	509	2035 SF
LEVEL 5 (9581.5)	CONDO	510	1706 SF
<b>TOTAL: 10</b>			<b>19127 SF</b>

CONDO INTERIOR BALCONY AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 5 (9581.5)	BALCONY	501B	519 SF
LEVEL 5 (9581.5)	BALCONY	502B	608 SF
LEVEL 5 (9581.5)	BALCONY	503B	206 SF
LEVEL 5 (9581.5)	BALCONY	504B	243 SF
LEVEL 5 (9581.5)	BALCONY	505B	245 SF
LEVEL 5 (9581.5)	BALCONY	506	378 SF
LEVEL 5 (9581.5)	BALCONY	507B	279 SF
LEVEL 5 (9581.5)	BALCONY	508B	188 SF
LEVEL 5 (9581.5)	BALCONY	509B	245 SF
LEVEL 5 (9581.5)	BALCONY	509B	121 SF
LEVEL 5 (9581.5)	BALCONY	510B	278 SF
LEVEL 6 (9592)	BALCONY	601B	528 SF
LEVEL 6 (9592)	BALCONY	602B	632 SF
LEVEL 6 (9592)	BALCONY	603B	217 SF
LEVEL 6 (9592)	BALCONY	604B	294 SF
LEVEL 6 (9592)	BALCONY	605B	385 SF
LEVEL 7 (9603.5)	BALCONY	701B	1297 SF
LEVEL 7 (9603.5)	BALCONY	702B	613 SF
LEVEL 7 (9603.5)	BALCONY	703B	328 SF
LEVEL 7 (9603.5)	BALCONY	704B	252 SF
LEVEL 7 (9603.5)	BALCONY	705B	131 SF
LEVEL 7 (9603.5)	BALCONY	707B	1100 SF
<b>TOTAL: 22</b>			<b>9088 SF</b>

NOTE: AREAS TAKEN TO INSIDE FACE OF FINISH AT EACH ROOM



# Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

HOTEL SUITE OR COOPERATION RELEASE OF THESE DOCUMENTS CONTemplates FURTHER COOPERATION AMONG THE OWNER, LEASER, CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLETE. IT IS THE ARCHITECT'S AND OWNER'S RESPONSIBILITY TO GUARANTEE PERFECTION. COMMUNICATION IS IMPERATIVE AND EVERY CONTRACTOR SHOULD BE ADVISED ANY ERRORS, OMISSIONS, OR DISCREPANCY OCCURRED BY THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO REPORT WILL INCREASE CONSTRUCTION COSTS. IT IS THE ARCHITECT'S RESPONSIBILITY TO REPORT TO THE ARCHITECT IMMEDIATELY AND IN WRITING ANY DISCREPANCY OCCURRED BY THE USE OF THESE DOCUMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSEQUENCES ARISING OUT OF SUCH CHANGES.

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Item	No.	Date	Description

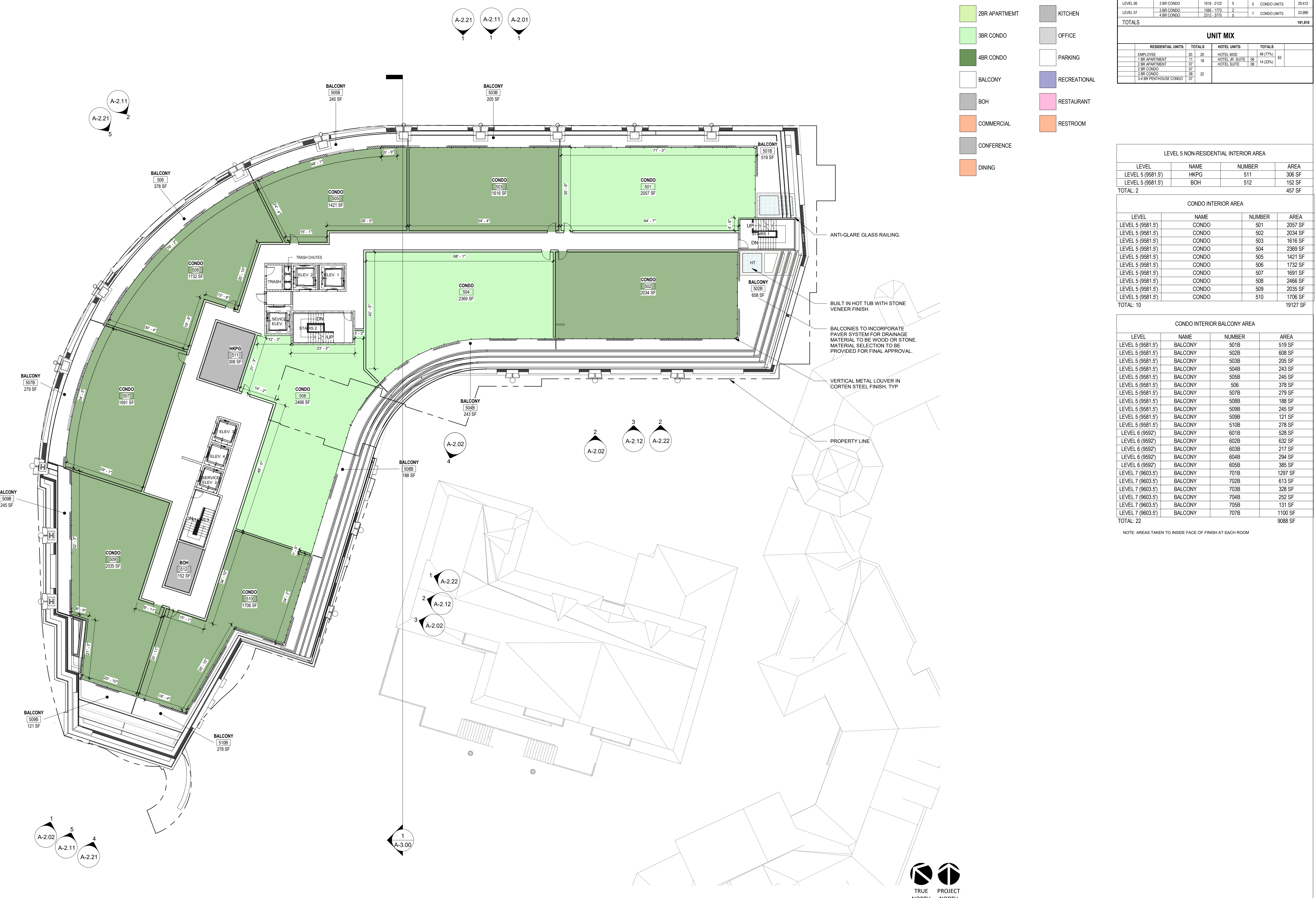
LOT 109R MAJOR PUD AMENDMENT  
SPECIAL HEARING SUBMITTAL  
05.19.2022

SEAL

Project Number

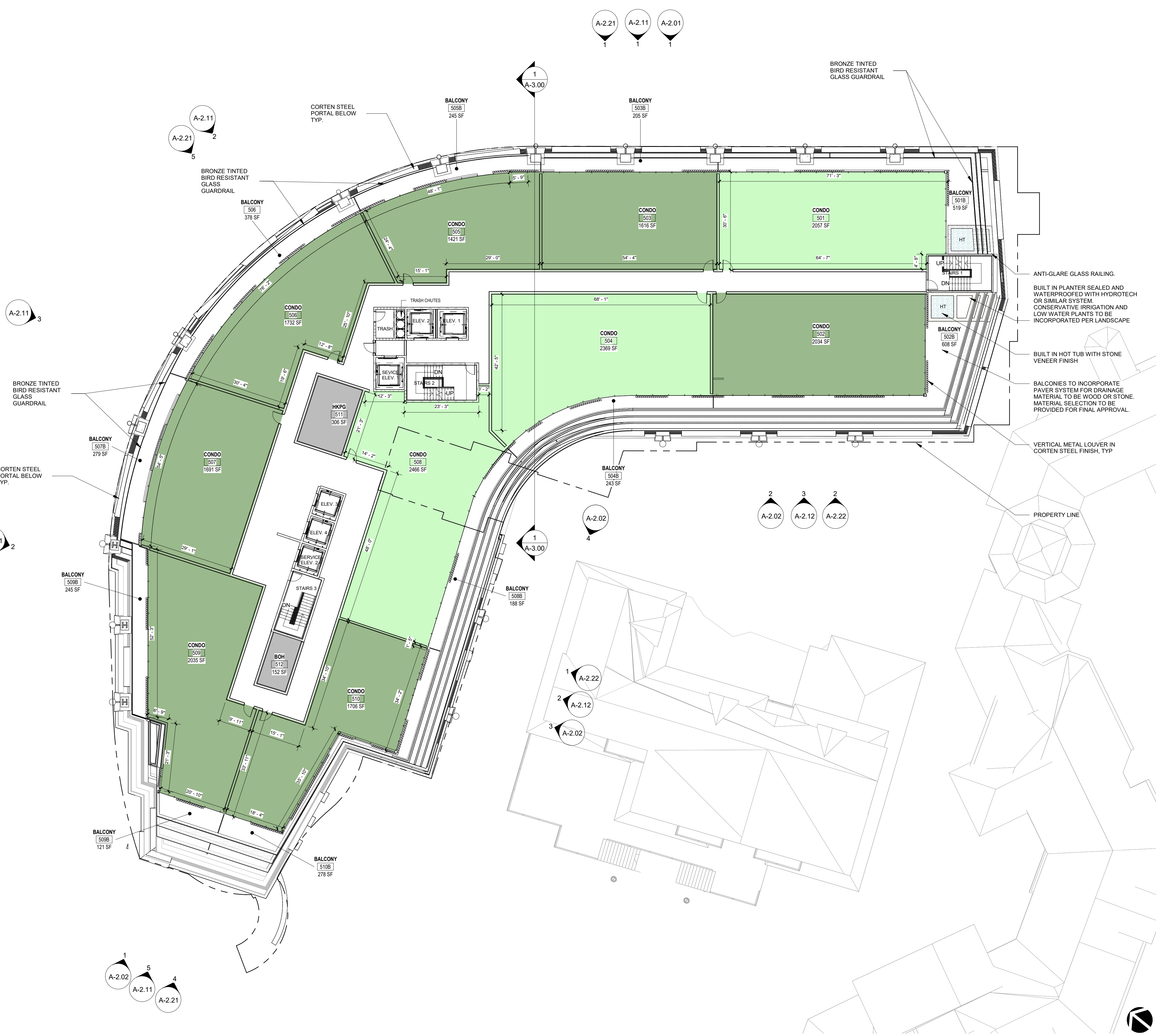
FLOOR PLAN - LEVEL 5 - OVERALL

A-1.08



5/22/2022 8:56:16 PM

1 LEVEL 5  
1/16" = 1'-0"



**ROOM LEGEND**

- 1BR APARTMENT
- 1BR+ APARTMENT
- 2BD CONDO
- 2BR APARTMENT
- 3BR CONDO
- 4BR CONDO
- BALCONY
- BOH
- COMMERCIAL
- CONFERENCE
- DINING
- EMPLOYEE HOUSING
- HOTEL MOD
- HOTEL SUITE
- KITCHEN
- OFFICE
- PARKING
- RECREATIONAL
- RESTAURANT
- RESTROOM

**UNIT SUMMARY**

LEVEL	UNIT TYPE	UNIT G.S.F.	COUNT	UNITS BY FLOOR	G.S.F.
LEVEL 01A (MEZZ)	EMPLOYEE HOUSING	TBD	TBD	TBD EMPLOYEE UNITS	13,728
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LEVEL 03	HOTEL SUITE	825-875	24	31 HOTEL UNITS	31,622
LEVEL 04	HOTEL SUITE	821-744	3	18 APARTMENT UNITS	30,473
LEVEL 05	1 BR APARTMENT	740-508	8	10 CONDO UNITS	30,288
LEVEL 06	2 BR APARTMENT	1028-1125	3	5 CONDO UNITS	29,412
LEVEL 07	3 BR CONDO	1728-1388	7	7 CONDO UNITS	23,990
TOTALS					191,810

**UNIT MIX**

RESIDENTIAL UNITS	TOTALS	HOTEL UNITS	TOTALS
EMPLOYEE	20	HOTEL MOD	24
1 BR APARTMENT	11	HOTEL SUITE	27
2 BR APARTMENT	07	HOTEL SUITE	08
2 BR CONDO	07		
3 BR CONDO	08		
3-4 BR PENTHOUSE CONDO	07		

**LEVEL 5 NON-RESIDENTIAL INTERIOR AREA**

LEVEL	NAME	NUMBER	AREA
LEVEL 5 (9581.5)	HKPG	511	306 SF
LEVEL 5 (9581.5)	BOH	512	152 SF
TOTAL: 2			457 SF

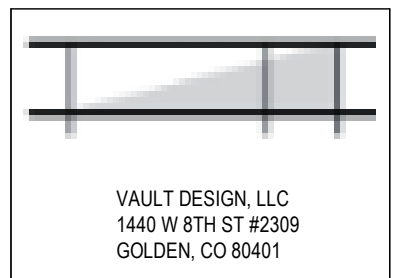
**CONDO INTERIOR AREA**

LEVEL	NAME	NUMBER	AREA
LEVEL 5 (9581.5)	CONDO	501	2057 SF
LEVEL 5 (9581.5)	CONDO	502	2034 SF
LEVEL 5 (9581.5)	CONDO	503	1616 SF
LEVEL 5 (9581.5)	CONDO	504	2369 SF
LEVEL 5 (9581.5)	CONDO	505	1421 SF
LEVEL 5 (9581.5)	CONDO	506	1732 SF
LEVEL 5 (9581.5)	CONDO	507	1691 SF
LEVEL 5 (9581.5)	CONDO	508	2466 SF
LEVEL 5 (9581.5)	CONDO	509	2035 SF
LEVEL 5 (9581.5)	CONDO	510	1706 SF
TOTAL: 10			19127 SF

**CONDO INTERIOR BALCONY AREA**

LEVEL	NAME	NUMBER	AREA
LEVEL 5 (9581.5)	BALCONY	501B	519 SF
LEVEL 5 (9581.5)	BALCONY	502B	608 SF
LEVEL 5 (9581.5)	BALCONY	503B	205 SF
LEVEL 5 (9581.5)	BALCONY	504B	243 SF
LEVEL 5 (9581.5)	BALCONY	505B	245 SF
LEVEL 5 (9581.5)	BALCONY	506B	378 SF
LEVEL 5 (9581.5)	BALCONY	507B	279 SF
LEVEL 5 (9581.5)	BALCONY	508B	188 SF
LEVEL 5 (9581.5)	BALCONY	509B	245 SF
LEVEL 5 (9581.5)	BALCONY	509B	121 SF
LEVEL 5 (9581.5)	BALCONY	510B	278 SF
LEVEL 6 (9592)	BALCONY	601B	528 SF
LEVEL 6 (9592)	BALCONY	602B	632 SF
LEVEL 6 (9592)	BALCONY	603B	217 SF
LEVEL 6 (9592)	BALCONY	604B	294 SF
LEVEL 6 (9592)	BALCONY	605B	385 SF
LEVEL 7 (9603.5)	BALCONY	701B	1297 SF
LEVEL 7 (9603.5)	BALCONY	702B	613 SF
LEVEL 7 (9603.5)	BALCONY	703B	328 SF
LEVEL 7 (9603.5)	BALCONY	704B	252 SF
LEVEL 7 (9603.5)	BALCONY	705B	131 SF
LEVEL 7 (9603.5)	BALCONY	707B	1100 SF
TOTAL: 22			9088 SF

NOTE: AREAS TAKEN TO INSIDE FACE OF FINISH AT EACH ROOM



VAULT DESIGN, LLC  
1440 W 8TH ST #2309  
GOLDEN, CO 80401

**Mountain Village Hotel**  
LOT 109R MOUNTAIN VILLAGE, CO

HOTEL SUITE OR COOPERATION  
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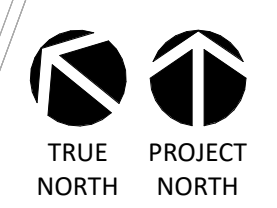
Item	No.	Date	Description

LOT 109R MAJOR PUD AMENDMENT  
SPECIAL HEARING SUBMITTAL  
05.19.2022

SEAL  
Project Number  
JOB NO.

FLOOR PLAN - LEVEL 5 -  
OVERALL

A-1.08



5/22/2022 8:56:54 PM

1 LEVEL 6  
1/16" = 1'-0"

ROOM LEGEND

- 1BR APARTMENT
- 1BR+ APARTMENT
- 2BD CONDO
- 2BR APARTMENT
- 3BR CONDO
- 4BR CONDO
- BALCONY
- BOH
- COMMERCIAL
- CONFERENCE
- DINING
- EMPLOYEE HOUSING
- HOTEL MOD
- HOTEL SUITE
- KITCHEN
- OFFICE
- PARKING
- RECREATIONAL
- RESTAURANT
- RESTROOM

UNIT SUMMARY					
LEVEL	UNIT TYPE	UNIT G.S.F.	COUNT	UNITS BY FLOOR	G.S.F.
LEVEL 01A (MEZZ)	EMPLOYEE HOUSING	TBD	TBD	TBD EMPLOYEE UNITS	13,728
LEVEL 02	HOTEL MOD	491,749	24	31 HOTEL UNITS	32,287
	HOTEL SUITE	826,875	24		
	HOTEL SUITE	826,119	3		
LEVEL 03	HOTEL MOD	307,722	54	31 HOTEL UNITS	31,622
	HOTEL SUITE	821,744	3		
LEVEL 04	1 BR APARTMENT	760,508	8	18 APARTMENT UNITS	30,473
	1 BR APARTMENT + BIA	1009,1125	3		
	2 BR APARTMENT	179,1389	7		
	2 BR CONDO	1721,1599	7	10 CONDO UNITS	30,288
LEVEL 05	3 BR CONDO	2124,2340	3		
LEVEL 06	3 BR CONDO	1616,2193	5	5 CONDO UNITS	29,412
	3 BR CONDO	1661,1193	1		
LEVEL 07	4 BR CONDO	2332,3779	5	7 CONDO UNITS	23,990
<b>TOTALS</b>					<b>191,810</b>

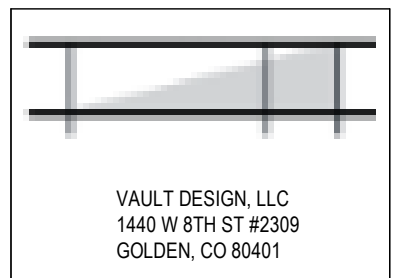
UNIT MIX					
RESIDENTIAL UNITS:	TOTALS	HOTEL UNITS:	TOTALS		
EMPLOYEE HOUSING	20	HOTEL MOD	20	68 (77%)	62
1 BR APARTMENT	11	HOTEL SUITE	28		
2 BR APARTMENT	07	HOTEL SUITE	08	14 (23%)	
2 BR CONDO	08				
3 BR CONDO	08				
3-4 BR PENTHOUSE CONDO	07				

LEVEL 6 NON-RESIDENTIAL INTERIOR AREA				
NAME	LEVEL	NUMBER	AREA	
KITCHEN	LEVEL 6 (9592)	607	752 SF	
MENS	LEVEL 6 (9592)	608	382 SF	
OMAKASE & POOL BAR	LEVEL 6 (9592)	611	1179 SF	
SIGNATURE DINING	LEVEL 6 (9592)	606	1993 SF	
WEDDING/ CONFERENCE	LEVEL 6 (9592)	610	1868 SF	
WOMENS	LEVEL 6 (9592)	609	441 SF	
<b>TOTAL: 6</b>			<b>6615 SF</b>	

CONDO INTERIOR AREA				
LEVEL	NAME	NUMBER	AREA	
LEVEL 5 (9581.5)	CONDO	501	2057 SF	
LEVEL 5 (9581.5)	CONDO	502	2034 SF	
LEVEL 5 (9581.5)	CONDO	503	1616 SF	
LEVEL 5 (9581.5)	CONDO	504	2369 SF	
LEVEL 5 (9581.5)	CONDO	505	1421 SF	
LEVEL 5 (9581.5)	CONDO	506	1732 SF	
LEVEL 5 (9581.5)	CONDO	507	1691 SF	
LEVEL 5 (9581.5)	CONDO	508	2466 SF	
LEVEL 5 (9581.5)	CONDO	509	2035 SF	
LEVEL 5 (9581.5)	CONDO	510	1706 SF	
<b>TOTAL: 10</b>			<b>19127 SF</b>	

CONDO INTERIOR BALCONY AREA				
LEVEL	NAME	NUMBER	AREA	
LEVEL 5 (9581.5)	BALCONY	501B	519 SF	
LEVEL 5 (9581.5)	BALCONY	502B	608 SF	
LEVEL 5 (9581.5)	BALCONY	503B	205 SF	
LEVEL 5 (9581.5)	BALCONY	504B	243 SF	
LEVEL 5 (9581.5)	BALCONY	505B	245 SF	
LEVEL 5 (9581.5)	BALCONY	506B	378 SF	
LEVEL 5 (9581.5)	BALCONY	507B	279 SF	
LEVEL 5 (9581.5)	BALCONY	508B	188 SF	
LEVEL 5 (9581.5)	BALCONY	509B	245 SF	
LEVEL 5 (9581.5)	BALCONY	510B	121 SF	
LEVEL 6 (9592)	BALCONY	601B	528 SF	
LEVEL 6 (9592)	BALCONY	602B	632 SF	
LEVEL 6 (9592)	BALCONY	603B	217 SF	
LEVEL 6 (9592)	BALCONY	604B	294 SF	
LEVEL 6 (9592)	BALCONY	605B	383 SF	
LEVEL 7 (9603.5)	BALCONY	701B	1297 SF	
LEVEL 7 (9603.5)	BALCONY	702B	613 SF	
LEVEL 7 (9603.5)	BALCONY	703B	328 SF	
LEVEL 7 (9603.5)	BALCONY	704B	252 SF	
LEVEL 7 (9603.5)	BALCONY	705B	131 SF	
LEVEL 7 (9603.5)	BALCONY	707B	1100 SF	
<b>TOTAL: 22</b>			<b>9088 SF</b>	

NOTE: AREAS TAKEN TO INSIDE FACE OF FINISH AT EACH ROOM



VAULT DESIGN LLC  
1440 W 8TH ST #2309  
GOLDEN, CO 80401

# Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

NOTICE OF COOPERATION  
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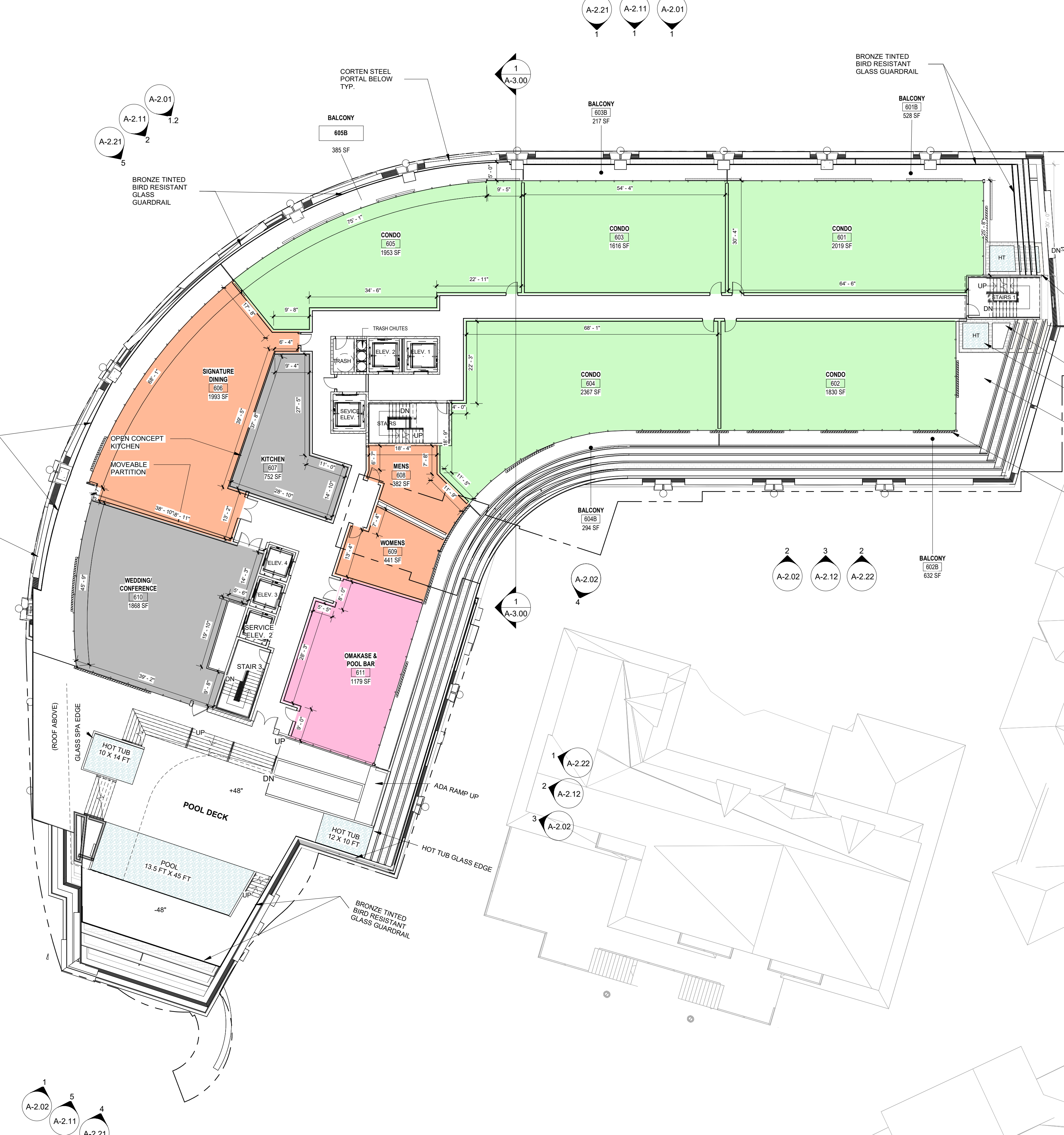
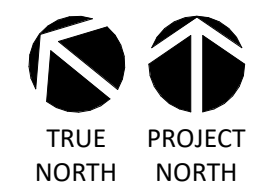
Item	No.	Date	Description

LOT 109R MAJOR PUD AMENDMENT  
SPECIAL HEARING SUBMITTAL  
05.19.2022

Project Number  
JOB NO.

FLOOR PLAN - LEVEL 6 -  
OVERALL

A-1.09



A-2.02  
A-2.11  
A-2.21

A-2.02  
A-2.12  
A-2.22

A-2.22  
A-2.12  
A-2.02

# Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

NOTICE OF COOPERATION  
RELEASE OF THESE DOCUMENTS CONTINGENT UPON THE OWNER, ARCHITECT, CONTRACTOR, AND THE ARCHITECT, DESIGN AND CONSTRUCTION AGREEMENTS, BETWEEN THE ARCHITECT AND OWNER CONTRACTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE. THE ARCHITECT GUARANTEES PERFECTION OF COMMUNICATION IS IMPERFECT AND EVERY CONTRACTOR CANNOT BE ANTICIPATED. ANY ERRORS, OMISSIONS, OR DISCREPANCY OCCURRED BY THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. THE ARCHITECT WILL BE RESPONSIBLE FOR CORRECTING SUCH ERRORS AND WILL BE RESPONSIBLE FOR COORDINATING SUCH CORRECTIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

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LOT 109R MAJOR PUD AMENDMENT  
SPECIAL HEARING SUBMITTAL  
05.19.2022

Project Number  
JOB NO.

FLOOR PLAN - LEVEL 7 -  
OVERALL

A-1.10

UNIT SUMMARY					
LEVEL	UNIT TYPE	UNIT G.S.F.	COUNT	UNITS BY FLOOR	G.S.F.
LEVEL 01A (MEZZ)	EMPLOYEE HOUSING	TBD	TBD	TBD EMPLOYEE UNITS	13,728
LEVEL 02	HOTEL MOD	491-749	24	31 HOTEL UNITS	32,287
	HOTEL JR. SUITE	826-875	3		
	HOTEL SUITE	826-1159	3		
LEVEL 03	HOTEL MOD	327-722	54	31 HOTEL UNITS	31,622
	HOTEL JR. SUITE	821-744	3		
LEVEL 04	1 BR APARTMENT	145-508	8	18 APARTMENT UNITS	30,473
	1 BR APARTMENT + BAL	1009-1125	3		
	2 BR APARTMENT	1728-1388	7		
	3 BR CONDO	1232-1084	7		
	3 BR CONDO	2124-2340	3		
LEVEL 05	3 BR APARTMENT	1910-2123	5	5 CONDO UNITS	29,412
LEVEL 06	3 BR CONDO	1986-1709	2	7 CONDO UNITS	23,990
LEVEL 07	4 BR CONDO	2332-3270	5		
TOTALS					191,810

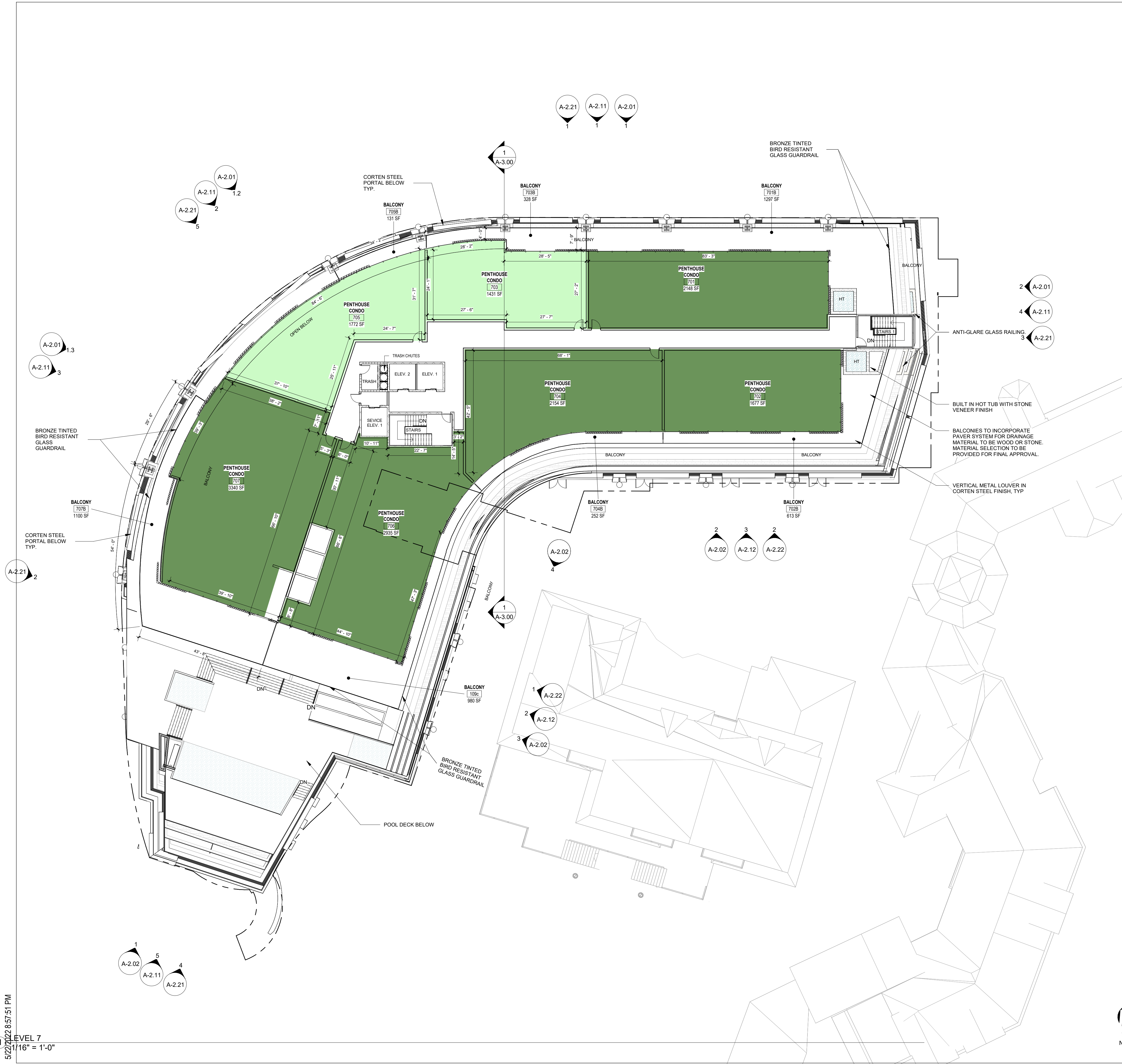
UNIT MIX					
RESIDENTIAL UNITS:	TOTALS	HOTEL UNITS:	TOTALS		
EMPLOYEE	20	HOTEL MOD	48	(77%)	
1 BR APARTMENT	11	HOTEL JR. SUITE	38		62
2 BR APARTMENT	07	HOTEL SUITE	14	(23%)	
2 BR CONDO	07				
3 BR CONDO	08				
3-4 BR PENTHOUSE CONDO	07				

CONDO INTERIOR AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 5 (9581.5)	CONDO	501	2057 SF
LEVEL 5 (9581.5)	CONDO	502	2034 SF
LEVEL 5 (9581.5)	CONDO	503	1616 SF
LEVEL 5 (9581.5)	CONDO	504	2369 SF
LEVEL 5 (9581.5)	CONDO	505	1421 SF
LEVEL 5 (9581.5)	CONDO	506	1732 SF
LEVEL 5 (9581.5)	CONDO	507	1691 SF
LEVEL 5 (9581.5)	CONDO	508	2466 SF
LEVEL 5 (9581.5)	CONDO	509	2035 SF
LEVEL 5 (9581.5)	CONDO	510	1706 SF
TOTAL: 10			19127 SF

CONDO INTERIOR BALCONY AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 5 (9581.5)	BALCONY	501B	519 SF
LEVEL 5 (9581.5)	BALCONY	502B	608 SF
LEVEL 5 (9581.5)	BALCONY	503B	205 SF
LEVEL 5 (9581.5)	BALCONY	504B	243 SF
LEVEL 5 (9581.5)	BALCONY	505B	245 SF
LEVEL 5 (9581.5)	BALCONY	506B	378 SF
LEVEL 5 (9581.5)	BALCONY	507B	279 SF
LEVEL 5 (9581.5)	BALCONY	508B	188 SF
LEVEL 5 (9581.5)	BALCONY	509B	245 SF
LEVEL 5 (9581.5)	BALCONY	509B	121 SF
LEVEL 5 (9581.5)	BALCONY	510B	278 SF
LEVEL 6 (9592)	BALCONY	601B	528 SF
LEVEL 6 (9592)	BALCONY	602B	632 SF
LEVEL 6 (9592)	BALCONY	603B	217 SF
LEVEL 6 (9592)	BALCONY	604B	294 SF
LEVEL 6 (9592)	BALCONY	605B	385 SF
LEVEL 7 (9603.5)	BALCONY	701B	1297 SF
LEVEL 7 (9603.5)	BALCONY	702B	613 SF
LEVEL 7 (9603.5)	BALCONY	703B	326 SF
LEVEL 7 (9603.5)	BALCONY	704B	252 SF
LEVEL 7 (9603.5)	BALCONY	705B	131 SF
LEVEL 7 (9603.5)	BALCONY	707B	1100 SF
TOTAL: 22			9068 SF

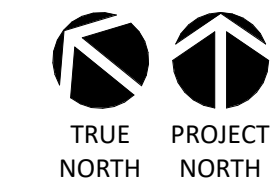
NOTE: AREAS TAKEN TO INSIDE FACE OF FINISH AT EACH ROOM

- ROOM LEGEND**
- 1BR APARTMENT
  - 1BR+ APARTMENT
  - 2BD CONDO
  - 2BR APARTMENT
  - 3BR CONDO
  - 4BR CONDO
  - BALCONY
  - BOH
  - COMMERCIAL
  - CONFERENCE
  - DINING
  - EMPLOYEE HOUSING
  - HOTEL MOD
  - HOTEL SUITE
  - KITCHEN
  - OFFICE
  - PARKING
  - RECREATIONAL
  - RESTAURANT
  - RESTROOM



5/22/2022 8:57:51 PM

LEVEL 7  
1/16" = 1'-0"



# Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

NOTICE OF COOPERATION  
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ON SITE.

Item	No.	Date	Description

LOT 109R MAJOR PUD AMENDMENT  
SPECIAL HEARING SUBMITTAL  
05.19.2022

SEAL

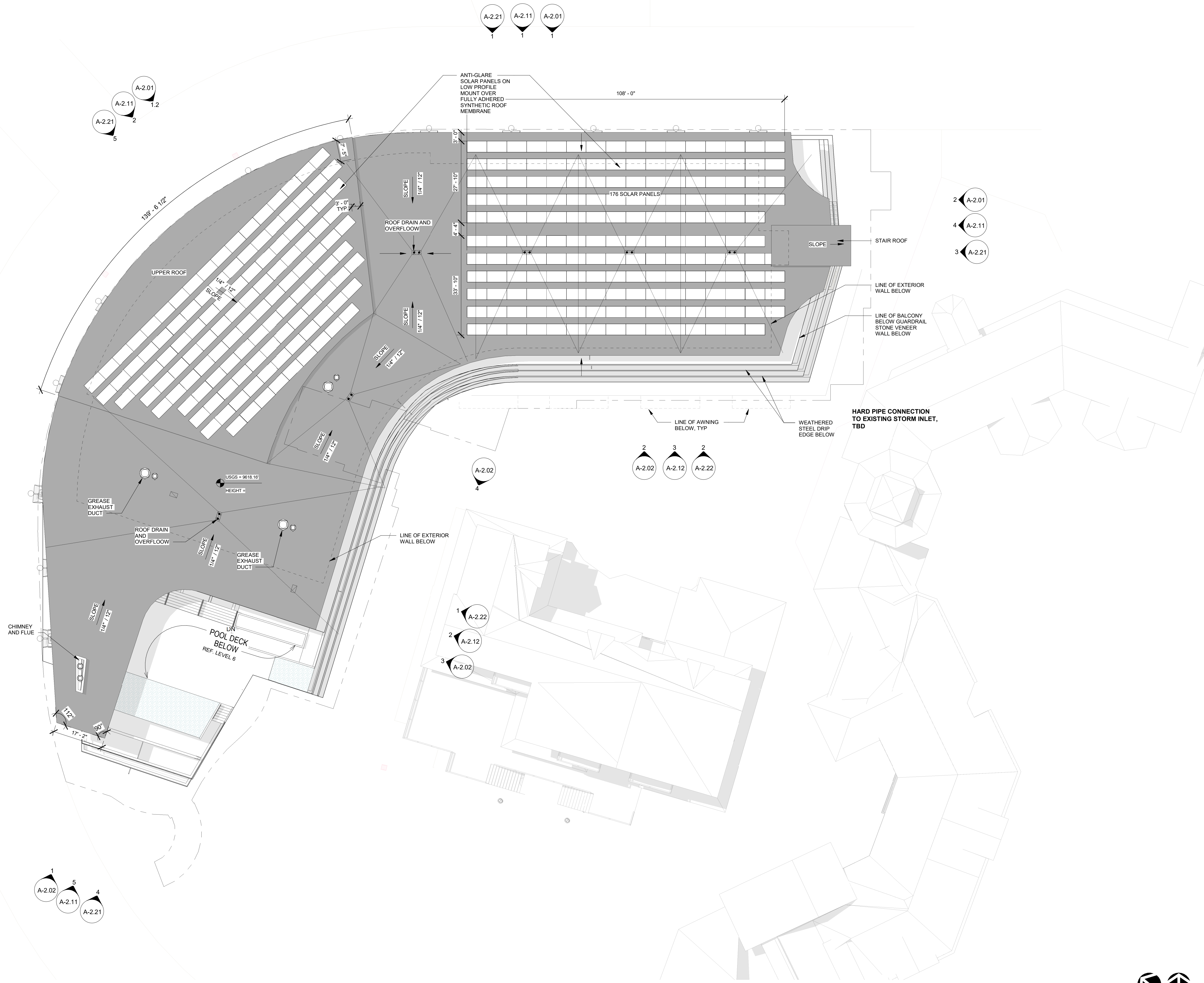
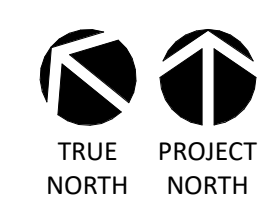
Project Number  
JOB NO.

ROOF

A-1.11

5/24/2022 4:22:42 PM

1 ROOF PLAN  
1/16" = 1'-0"



A-2.01  
A-2.11  
A-2.21

A-2.21  
A-2.11  
A-2.01

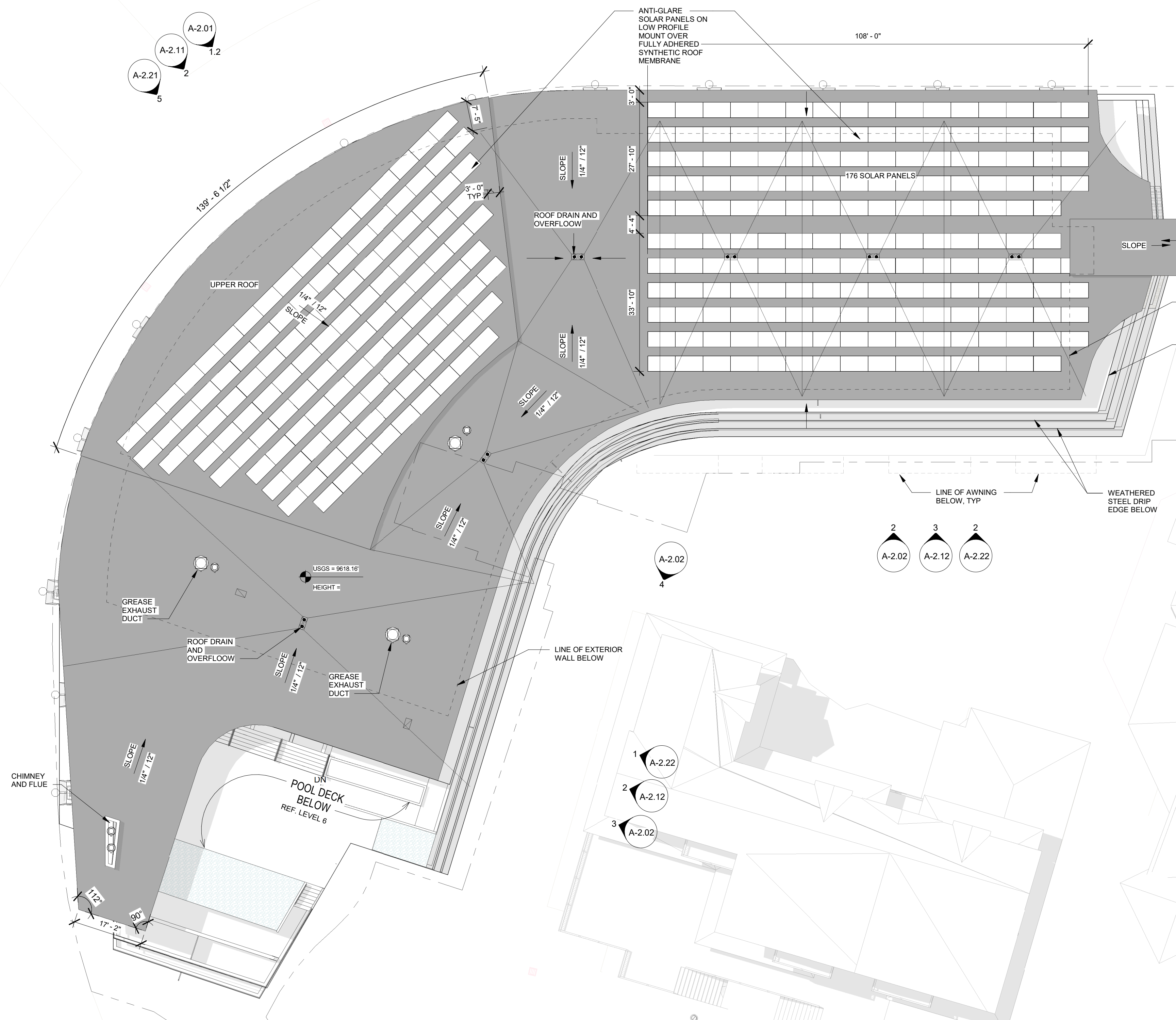
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A-2.01  
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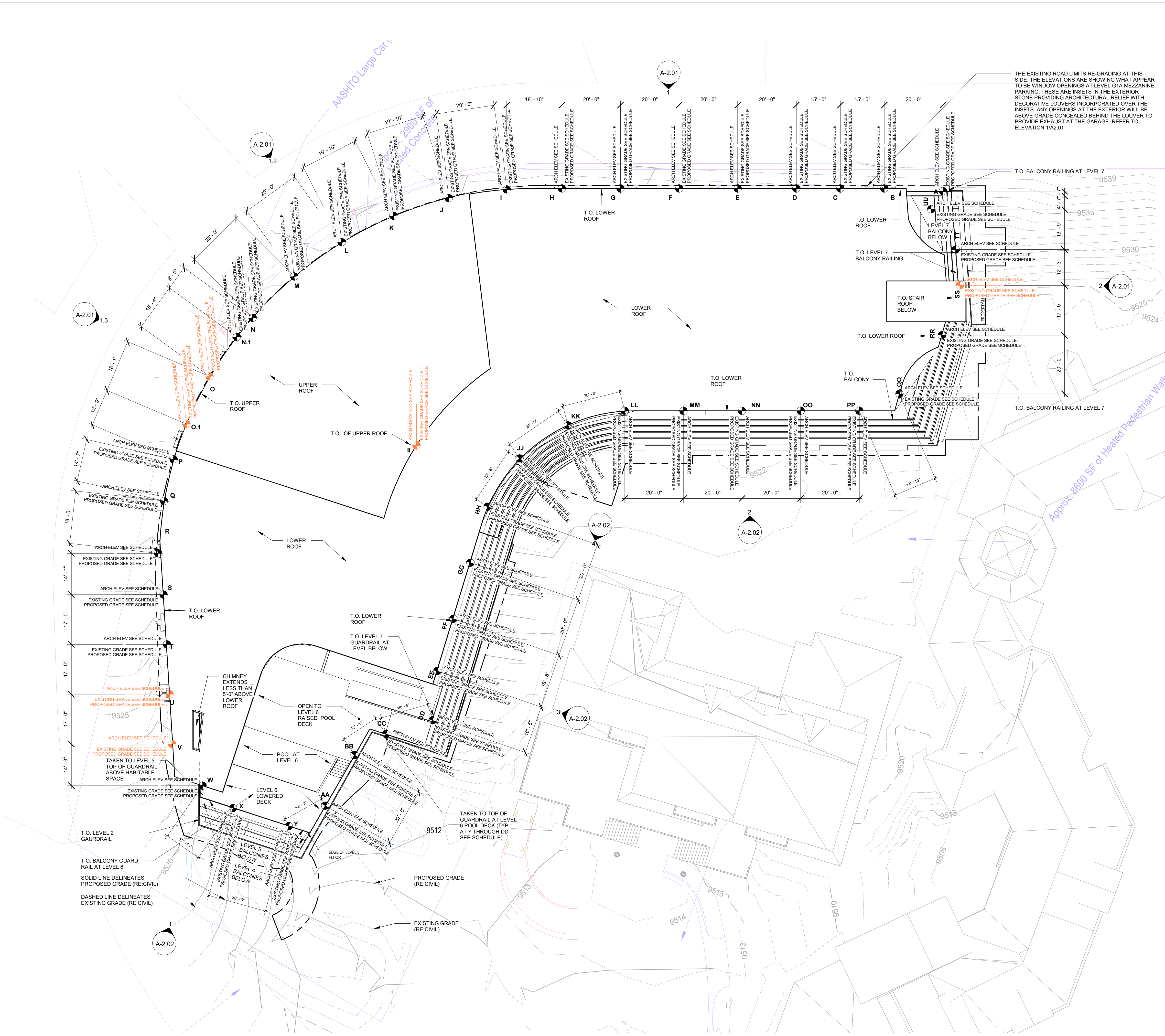
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1 A-2.22  
2 A-2.12  
3 A-2.02

1 A-2.02  
5 A-2.11  
4 A-2.21

2 AVERAGE HEIGHT PLAN REVISED  
1/16" = 1'-0"



SPOT ELEVATION LABEL	DESCRIPTION	ARCH ELEVATION	PROPOSED GRADE	HEIGHT TO PROPOSED GRADE	EXISTING GRADE	HEIGHT TO EXISTING GRADE
A	T.O. BALCONY RAILING	9578.8	9539.3	39.5	9536.0	42.8
B	T.O. LOWER ROOF	9614.5	9539.2	75.3	9537.0	77.5
C	T.O. LOWER ROOF	9614.5	9538.9	75.6	9536.8	77.7
D	T.O. LOWER ROOF	9614.5	9538.8	75.7	9536.8	77.7
E	T.O. LOWER ROOF	9614.5	9538.5	76.0	9536.5	78.0
F	T.O. LOWER ROOF	9614.5	9538.3	76.2	9536.3	78.2
G	T.O. LOWER ROOF	9614.5	9538.0	76.5	9536.0	78.5
H	T.O. LOWER ROOF	9614.5	9537.7	76.8	9535.7	78.5
I	T.O. LOWER ROOF	9614.5	9537.4	77.1	9536.2	78.3
J	T.O. UPPER ROOF	9617.5	9537.1	80.4	9536.0	81.5
K	T.O. UPPER ROOF	9617.5	9536.4	81.1	9535.7	81.8
L	T.O. UPPER ROOF	9617.5	9535.6	81.9	9535.1	82.4
M	T.O. UPPER ROOF	9617.5	9534.7	82.8	9534.0	83.5
N	T.O. UPPER ROOF	9617.5	9533.6	83.9	9531.5	86.0
N.1	T.O. UPPER ROOF	9617.5	9533.6	83.9	9531.5	86.0
O	T.O. UPPER ROOF	9617.5	9522.5	95.0	9527.0	90.5
O.1	T.O. UPPER ROOF	9617.5	9522.5	95.0	9527.0	90.5
P	T.O. LOWER ROOF	9614.5	9530.7	83.8	9530.7	83.8
Q	T.O. LOWER ROOF	9614.5	9530.1	84.4	9530.1	84.4
R	T.O. LOWER ROOF	9614.5	9529.2	85.3	9529.3	85.2
S	T.O. LOWER ROOF	9614.5	9527.8	86.7	9528.1	86.4
T	T.O. LOWER ROOF	9614.5	9526.2	88.3	9525.0	89.5
U	T.O. LOWER ROOF	9614.5	9524.0	90.5	9521.9	92.6
V	T.O. LOWER ROOF	9614.5	9521.0	93.5	9522.0	92.5
W	T.O. LOWER ROOF	9614.5	9520.3	94.2	9520.3	94.2
X	T.O. LOWER ROOF	9596.0	9518.8	77.2	9520.0	76.0
Y	T.O. LOWER ROOF	9596.0	9515.5	80.5	9518.2	77.8
AA	T.O. LOWER ROOF	9563.5	9510.5	53.0	9516.5	47.0
BB	T.O. LEVEL 6 GUARDRAIL	9595.5	9510.9	84.6	9515.5	80.0
CC	T.O. LEVEL 6 GUARDRAIL	9596.0	9511.5	84.5	9515.7	80.3
DD	T.O. LEVEL 6 GUARDRAIL	9595.5	9518.5	77.0	9518.0	77.5
EE	T.O. LOWER ROOF	9614.5	9519.8	94.7	9519.3	95.2
FF	T.O. LOWER ROOF	9614.5	9520.5	94.0	9519.8	94.7
GG	T.O. LOWER ROOF	9614.5	9521.5	93.0	9521.2	93.3
HH	T.O. LOWER ROOF	9614.5	9522.5	92.0	9522.1	92.4
II	T.O. UPPER ROOF	9616.5	9522.5	94.0	9523.0	93.5
JJ	T.O. LOWER ROOF	9614.5	9522.0	92.5	9523.0	91.5
KK	T.O. LOWER ROOF	9614.5	9523.0	91.5	9523.0	91.5
LL	T.O. LOWER ROOF	9614.5	9522.8	91.7	9522.1	92.4
MM	T.O. LOWER ROOF	9614.5	9522.5	92.0	9522.0	92.5
NN	T.O. LOWER ROOF	9614.5	9522.5	92.0	9522.1	92.4
OO	T.O. LOWER ROOF	9614.5	9522.5	92.0	9522.5	92.0
PP	T.O. LOWER ROOF	9614.5	9522.8	91.7	9522.5	92.0
QQ	T.O. LOWER ROOF	9614.5	9522.5	92.0	9522.5	92.0
RR	T.O. LOWER ROOF	9614.5	9523.5	91.0	9525.2	89.3
SS	T.O. STAIR ROOF	9617.5	9525.0	92.5	9525.0	92.5
TT	T.O. LOWER ROOF	9614.5	9530.8	83.7	9530.8	83.7
UU	T.O. LOWER ROOF	9614.5	9535.0	79.5	9535.0	79.5
				AVERAGE HEIGHT		79.72

\*ORANGE HIGHLIGHT DELINEATES THE ONLY POINTS EXCEEDING PREVIOUSLY APPROVED PUD THESE ARE DUE TO THE FIRE ACCESS LANE AND PEDESTRIAN PLAZA/PEDESTRIAN ACCESSWAY. NOTE THE MAJORITY OF HEIGHT IS BELOW THE PREVIOUSLY APPROVED PUD OF 88'-9" DUE TO EMPLOYEE HOUSING WHICH HAS RAISED THE HEIGHT OF THE BUILDING FROM THE PLAZA SIDE ONLY.

MAX BUILDING HEIGHT PROPOSED						
EAST OCCURS AT STARWELL	NORTHEAST	NORTH	NORTHWEST OCCURS AT SMALL ROOF EXTENSION OPEN TO SKY	WEST OCCURS AT SMALL ROOF EXTENSION OPEN TO SKY	SOUTHWEST OCCURS AT PEDESTRIAN PLAZA	
92'-6"	90'	88'	93.3	94.2	94.7	
					MAX BUILDING HEIGHT	94.7

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VAULT DESIGN LLC  
1440 W 8TH ST #2309  
GOLDEN, CO 80401

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## Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

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Item	No.	Date	Description

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SEAL

Project Number  
JOB NO.

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AVERAGE HEIGHT PLAN

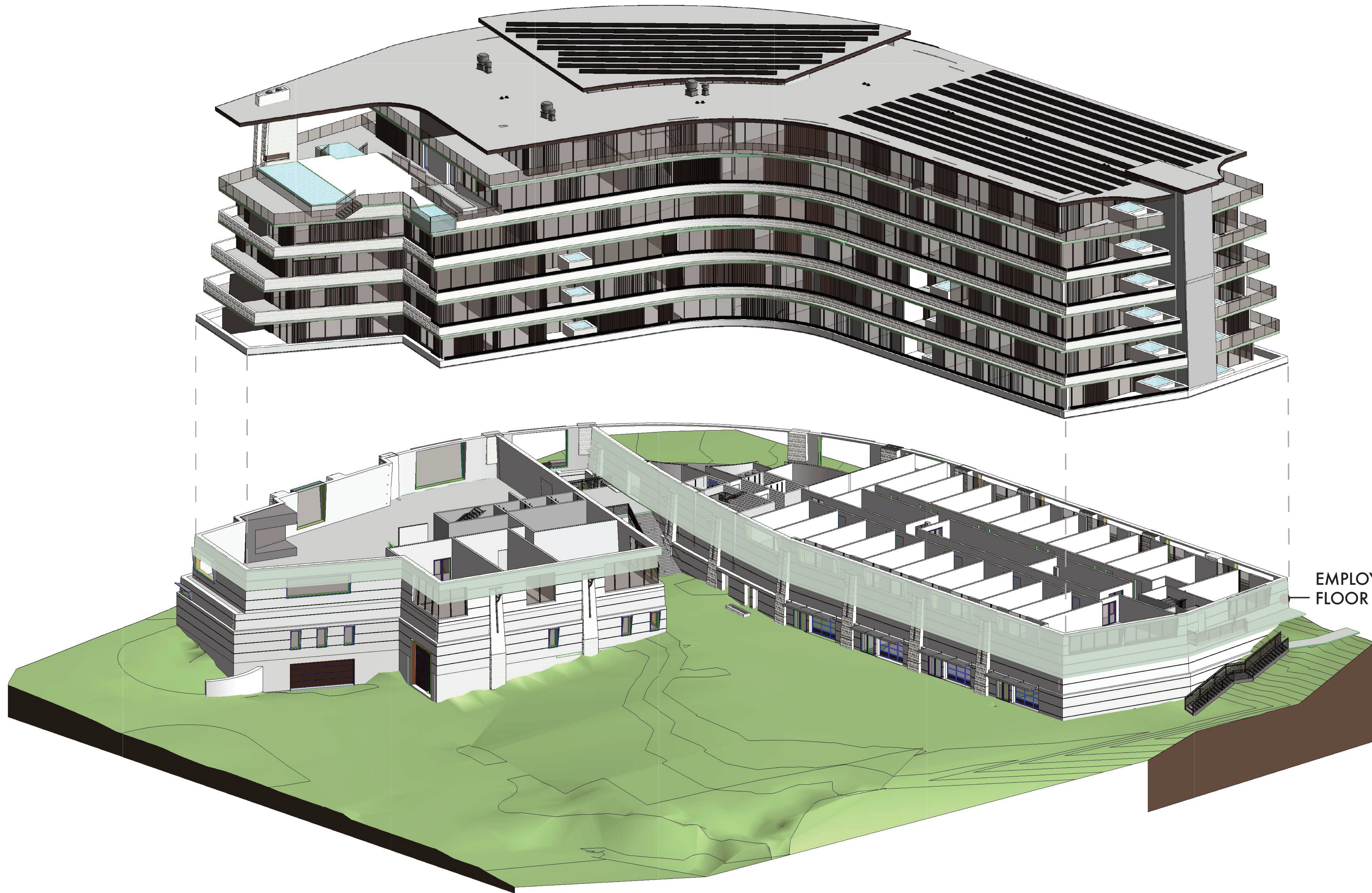
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# A-1.12



MAX BUILDING HEIGHT PROPOSED							
EAST OCCURS AT STAIRWELL	NORTHEAST	NORTH	NORTHWEST OCCURS AT SMALL ROOF EXTENSION OPEN TO SKY	WEST OCCURS AT SMALL ROOF EXTENSION OPEN TO SKY	SOUTHEAST OCCURS AT EMERGENCY ACCESS LANE	SOUTHWEST OCCURS AT PEDESTRIAN PLAZA	
92'-6"	86'	86'	93.5'	94.2'	94.7'	92.5'	
						MAX BUILDING HEIGHT	94.7'

VAULT DESIGN, LLC  
1440 W 8TH ST #2309  
GOLDEN, CO 80401



**Mountain Village Hotel**  
LOT 109R MOUNTAIN VILLAGE, CO

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AND OWNER'S RESPONSIBILITY TO PERFORM THESE  
SERVICES WITH CARE AND DILIGENCE. THE ARCHITECT  
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AND EVERY CONTRACTOR SHOULD BE ANTICIPATED ANY  
ERRORS, OMISSIONS, OR DISCREPANCY OCCURRED BY  
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ARCHITECT COMPOUNDS MISUNDERSTANDING AND  
INCREASES CONSTRUCTION COSTS. IT IS A FAILURE TO  
COOPERATE BY SIMPLE NOTICE TO THE ARCHITECT SHALL  
RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL  
CONSEQUENCES ARISING OUT OF SUCH CHANGES.  
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BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY  
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ON SITE.

EMPLOYEE HOUSING  
FLOOR HEIGHT 10' - 0"

Item	No.	Date	Description

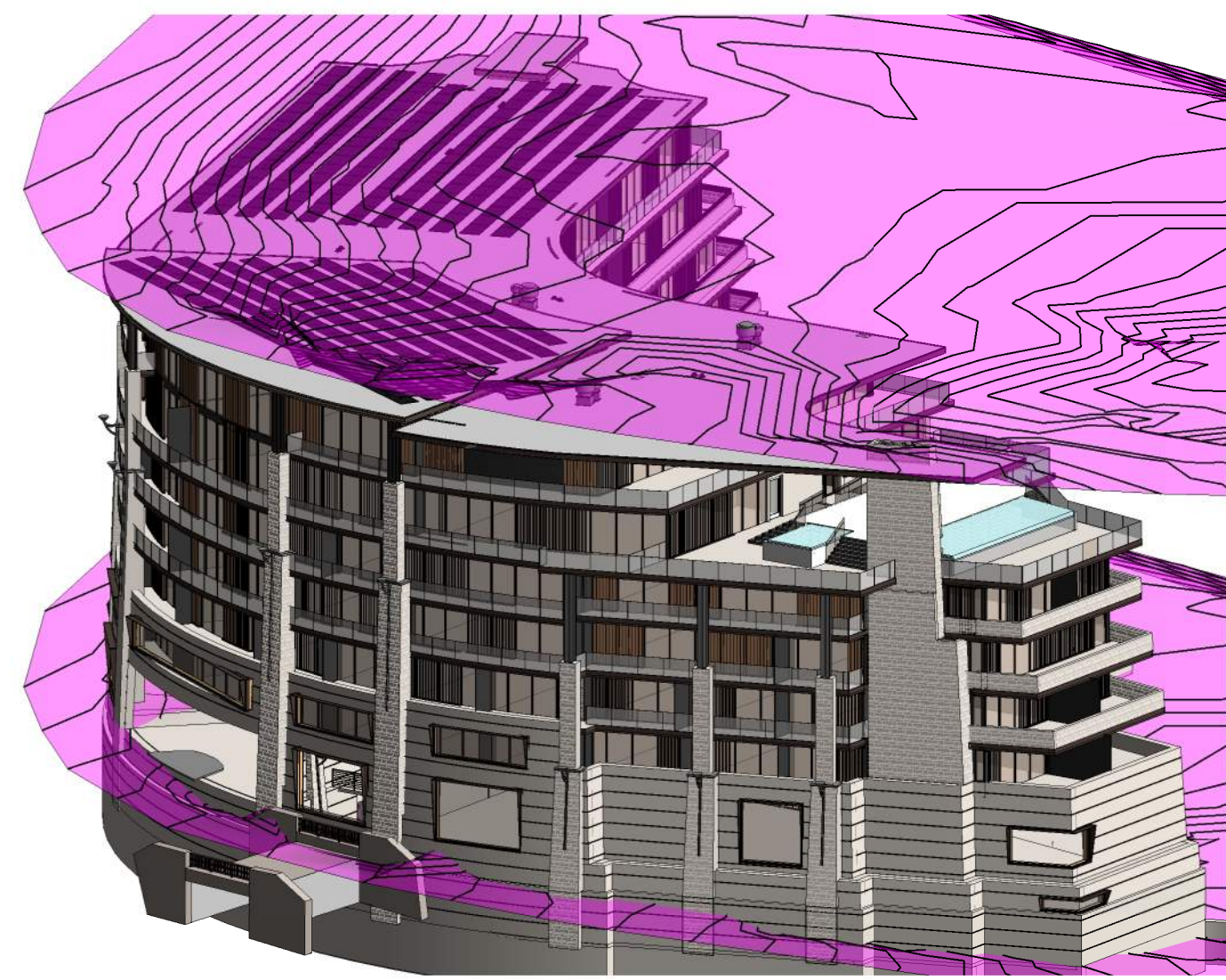
LOT 109R MAJOR PUD AMENDMENT  
SPECIAL HEARING SUBMITTAL  
05.19.2022

SEAL  
Project Number  
JOB NO.

EMPLOYEE HOUSING AXON



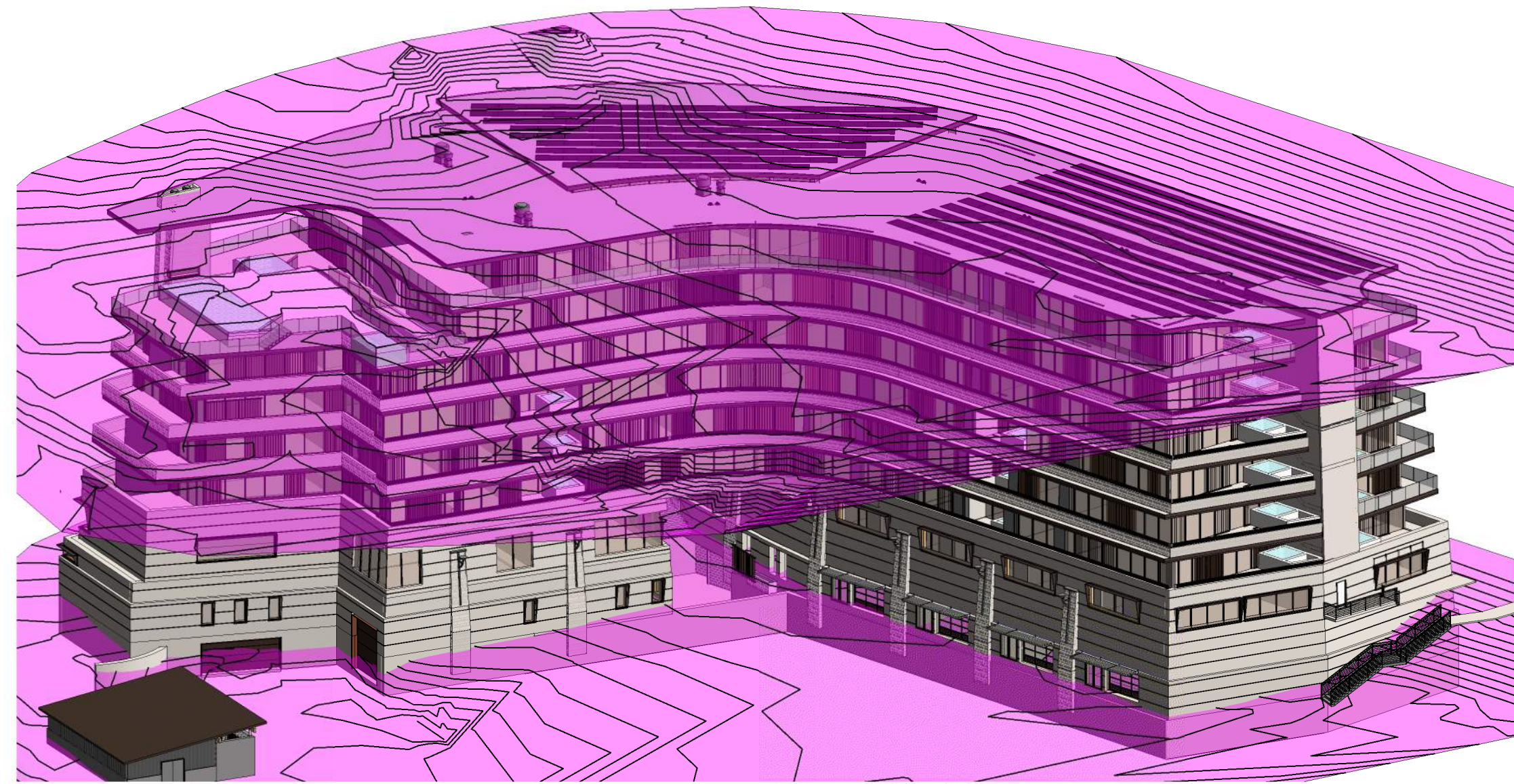




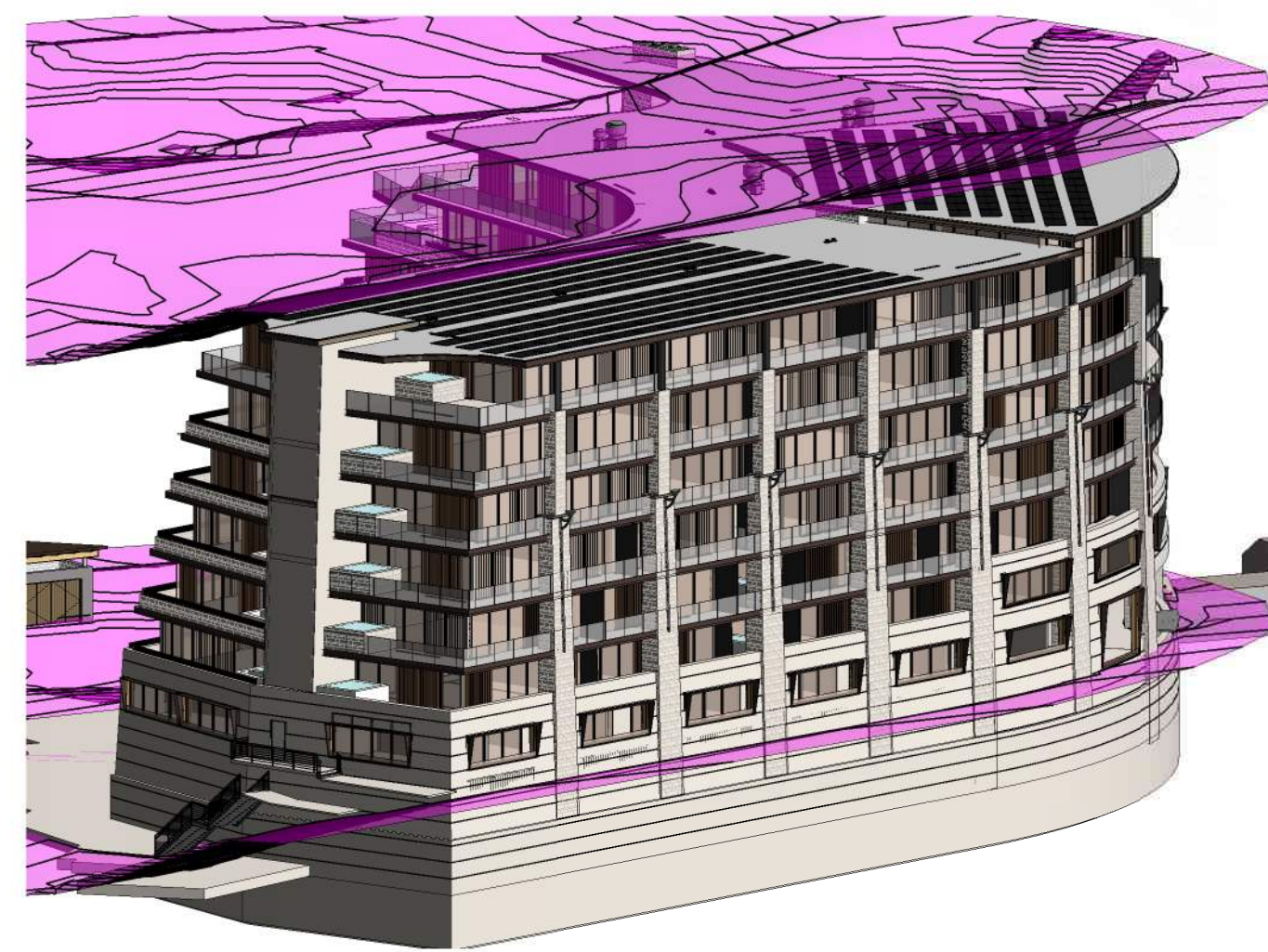
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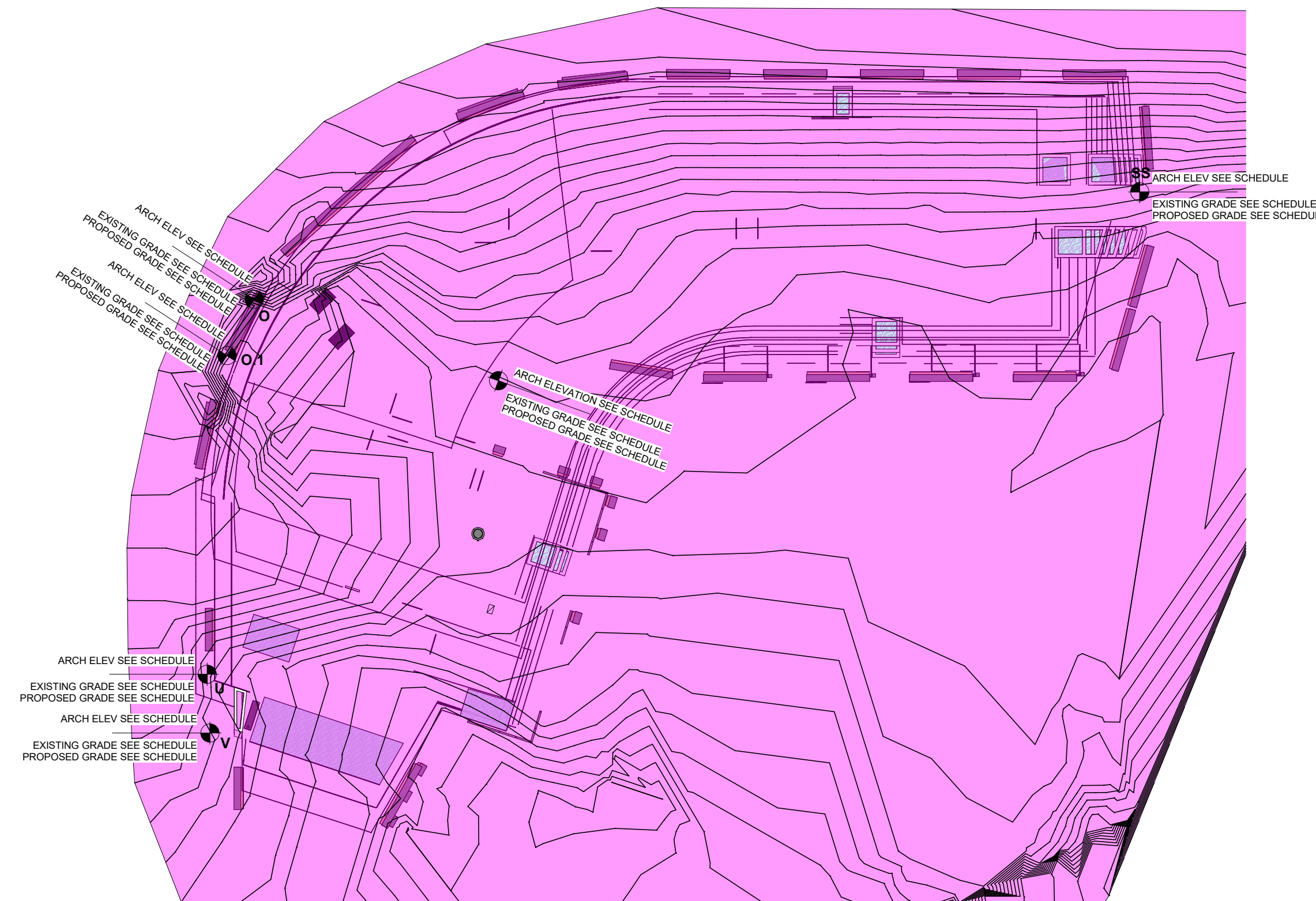
3 NW ELEVATION



4 SW PERSPECTIVE - EXISTING TOPO



2 SE PERSPECTIVE

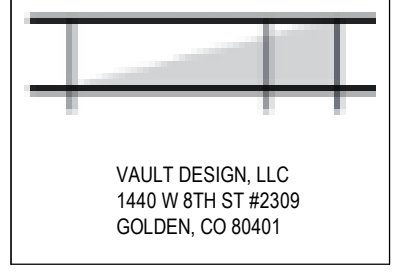


1 TOPO OVER ROOF

SPOT ELEVATION LABEL	DESCRIPTION	ARCH ELEVATION	PROPOSED GRADE	HEIGHT TO PROPOSED GRADE	EXISTING GRADE	HEIGHT TO EXISTING GRADE
A	T.O. BALCONY RAILING	9578.8	9539.3	39.5	9536.0	42.8
B	T.O. LOWER ROOF	9614.5	9539.2	75.3	9537.0	77.5
C	T.O. LOWER ROOF	9614.5	9538.9	75.6	9536.8	77.7
D	T.O. LOWER ROOF	9614.5	9538.8	75.7	9536.8	77.7
E	T.O. LOWER ROOF	9614.5	9538.5	76.0	9536.5	78.0
F	T.O. LOWER ROOF	9614.5	9538.3	76.2	9536.3	78.2
G	T.O. LOWER ROOF	9614.5	9538.0	76.5	9536.0	78.5
H	T.O. LOWER ROOF	9614.5	9537.7	76.8	9536.0	78.5
I	T.O. LOWER ROOF	9614.5	9537.4	77.1	9536.2	78.3
J	T.O. UPPER ROOF	9617.5	9537.1	80.4	9536.0	81.5
K	T.O. UPPER ROOF	9617.5	9536.4	81.1	9535.7	81.8
L	T.O. UPPER ROOF	9617.5	9535.6	81.9	9535.1	82.4
M	T.O. UPPER ROOF	9617.5	9534.7	82.8	9534.0	83.5
N	T.O. UPPER ROOF	9617.5	9533.6	83.9	9531.5	86.0
N.1	T.O. UPPER ROOF	9617.5	9533.6	83.9	9531.5	86.0
O	T.O. UPPER ROOF	9617.5	9522.5	95.0	9527.0	90.5
O.1	T.O. UPPER ROOF	9617.5	9522.5	95.0	9527.0	90.5
P	T.O. LOWER ROOF	9614.5	9530.7	83.8	9530.7	83.8
Q	T.O. LOWER ROOF	9614.5	9530.1	84.4	9530.1	84.4
R	T.O. LOWER ROOF	9614.5	9529.2	85.3	9529.3	85.2
S	T.O. LOWER ROOF	9614.5	9527.8	86.7	9528.1	86.4
T	T.O. LOWER ROOF	9614.5	9526.2	88.3	9525.0	89.5
U	T.O. LOWER ROOF	9614.5	9524.0	90.5	9521.9	92.6
V	T.O. LOWER ROOF	9614.5	9521.0	93.5	9522.0	92.5
W	T.O. LOWER ROOF	9614.5	9520.3	94.2	9520.3	94.2
X	T.O. LOWER ROOF	9596.0	9518.8	77.2	9520.0	76.0
Y	T.O. LOWER ROOF	9596.0	9515.5	80.5	9518.2	77.8
AA	T.O. LOWER ROOF	9563.5	9510.5	53.0	9516.5	47.0
BB	T.O. LEVEL 6 GUARDRAIL	9595.5	9510.9	84.6	9515.5	80.0
CC	T.O. LEVEL 6 GUARD RAIL	9596.0	9511.5	84.5	9515.7	80.3
DD	T.O. LEVEL 6 GUARDRAIL	9595.5	9518.5	77.0	9518.0	77.5
EE	T.O. LOWER ROOF	9614.5	9519.8	94.7	9519.3	95.2
FF	T.O. LOWER ROOF	9614.5	9520.5	94.0	9519.8	94.7
GG	T.O. LOWER ROOF	9614.5	9521.5	93.0	9521.2	93.3
HH	T.O. LOWER ROOF	9614.5	9522.5	92.0	9522.1	92.4
II	T.O. UPPER ROOF	9616.5	9522.5	94.0	9523.0	93.5
JJ	T.O. LOWER ROOF	9614.5	9522.0	92.5	9523.0	91.5
KK	T.O. LOWER ROOF	9614.5	9523.0	91.5	9523.0	91.5
LL	T.O. LOWER ROOF	9614.5	9522.8	91.7	9522.1	92.4
MM	T.O. LOWER ROOF	9614.5	9522.5	92.0	9522.0	92.5
NN	T.O. LOWER ROOF	9614.5	9522.5	92.0	9522.1	92.4
OO	T.O. LOWER ROOF	9614.5	9522.5	92.0	9522.5	92.0
PP	T.O. LOWER ROOF	9614.5	9522.8	91.7	9522.5	92.0
QQ	T.O. LOWER ROOF	9614.5	9522.5	92.0	9522.5	92.0
RR	T.O. LOWER ROOF	9614.5	9523.5	91.0	9525.2	89.3
SS	T.O. STAIR ROOF	9617.5	9525.0	92.5	9525.0	92.5
TT	T.O. LOWER ROOF	9614.5	9530.8	83.7	9530.8	83.7
UU	T.O. LOWER ROOF	9614.5	9535.0	79.5	9535.0	79.5
				AVERAGE HEIGHT		79.72

\*ORANGE HIGHLIGHT DELINEATES THE ONLY POINTS EXCEEDING PREVIOUSLY APPROVED PUD THESE ARE DUE TO THE FIRE ACCESS LANE AND PEDESTRIAN PLAZA/PEDESTRIAN ACCESSWAY. NOTE THE MAJORITY OF HEIGHT IS BELOW THE PREVIOUSLY APPROVED PUD OF 88'-9" DUE TO EMPLOYEE HOUSING WHICH HAS RAISED THE HEIGHT OF THE BUILDING FROM THE PLAZA SIDE ONLY.

MAX BUILDING HEIGHT PROPOSED					
EAST OCCURS AT STAIRWELL	NORTHEAST	NORTH	NORTHWEST OCCURS AT SMALL ROOF EXTENSION OPEN TO SKY	WEST OCCURS AT SMALL ROOF EXTENSION OPEN TO SKY	SOUTHWEST OCCURS AT ACCESS LANE
92'-6"	88'	88'	93.5'	94.2'	94.7'
					SOUTHWEST OCCURS AT PEDESTRIAN PLAZA
					92.5'
					MAX BUILDING HEIGHT
					94.7'



# Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

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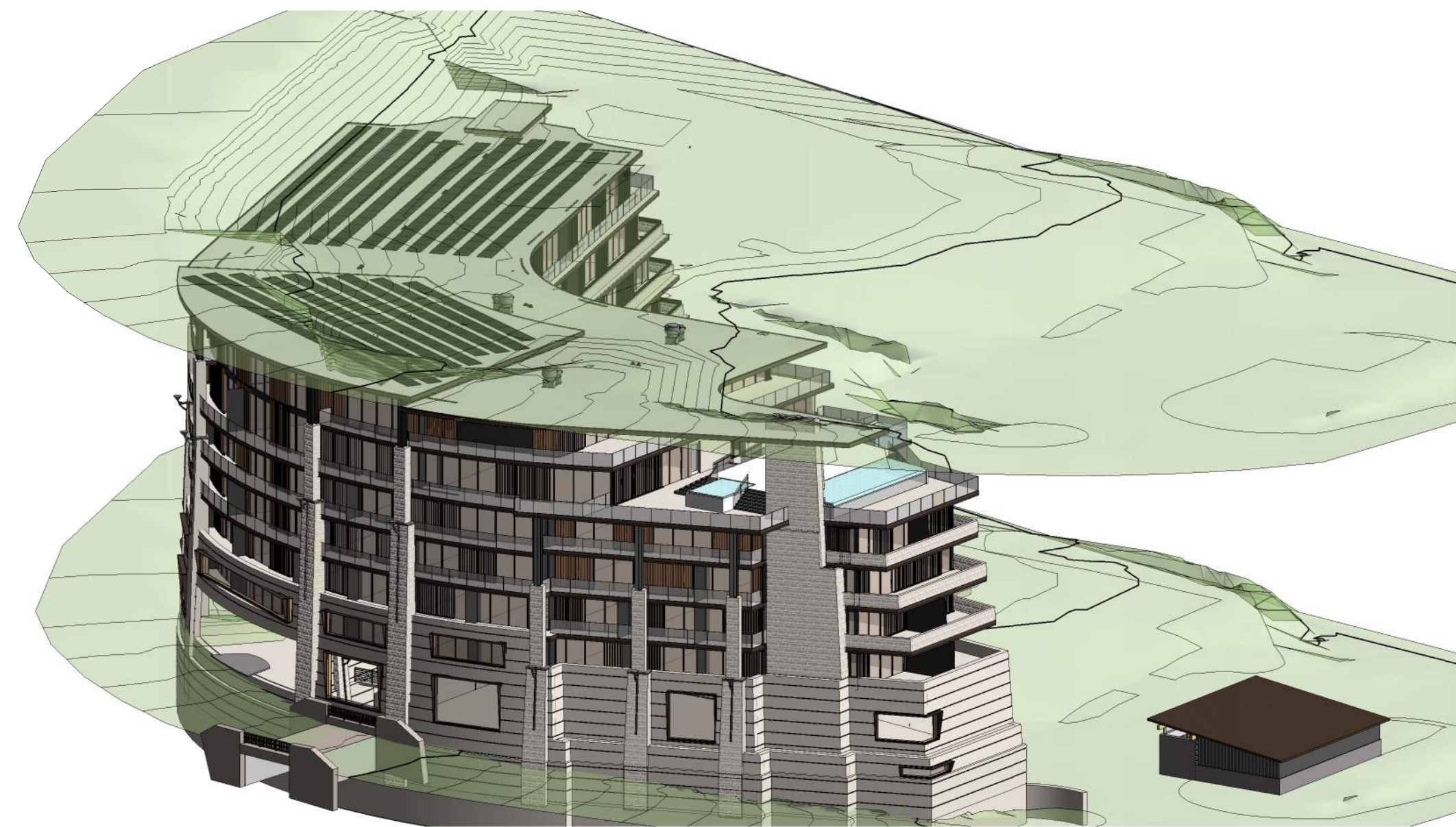
Item	No.	Date	Description

LOT 109R MAJOR PUD AMENDMENT SPECIAL HEARING SUBMITTAL 05.19.2022

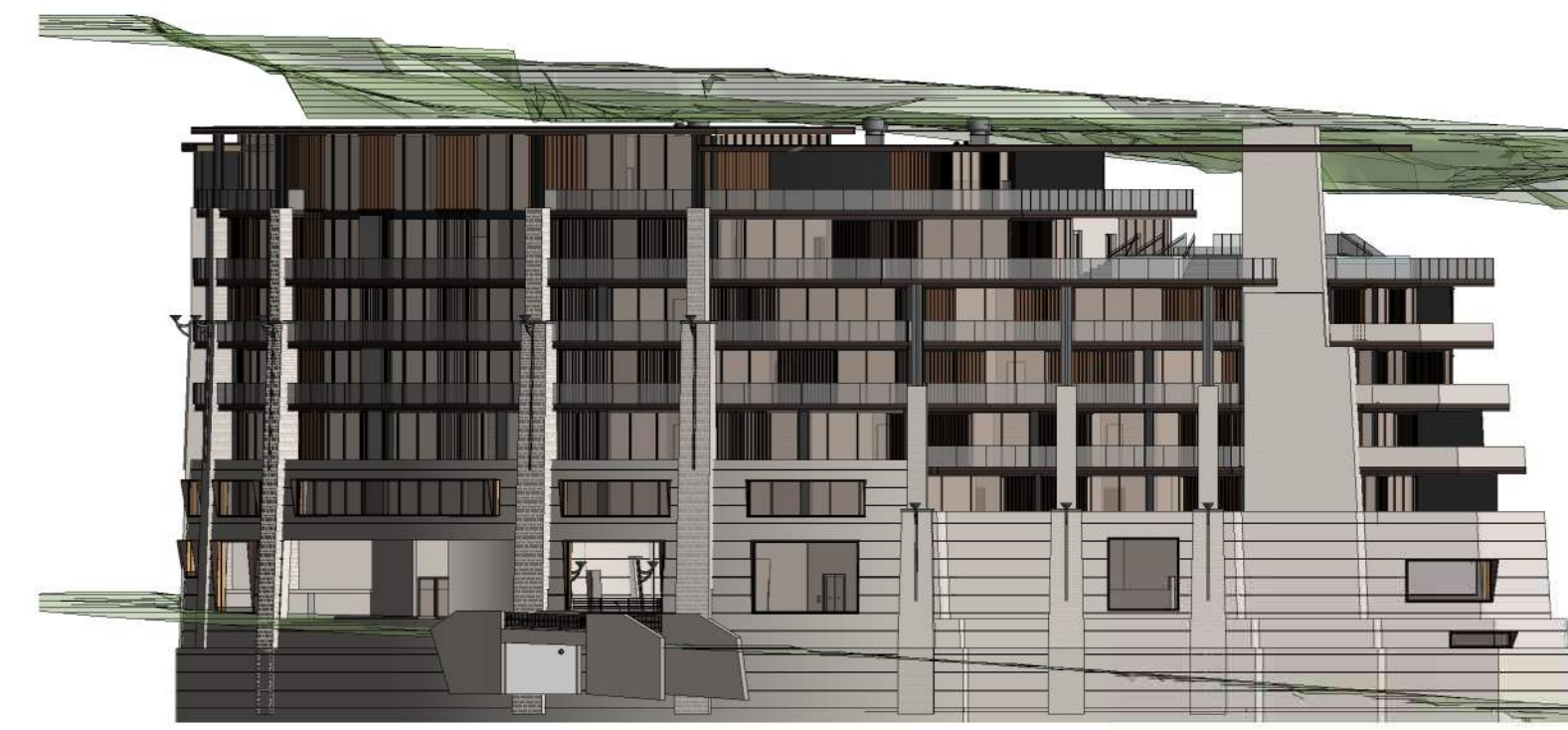
Project Number  
JOB NO.

3D MAX HEIGHT WITH EXISTING TOPO

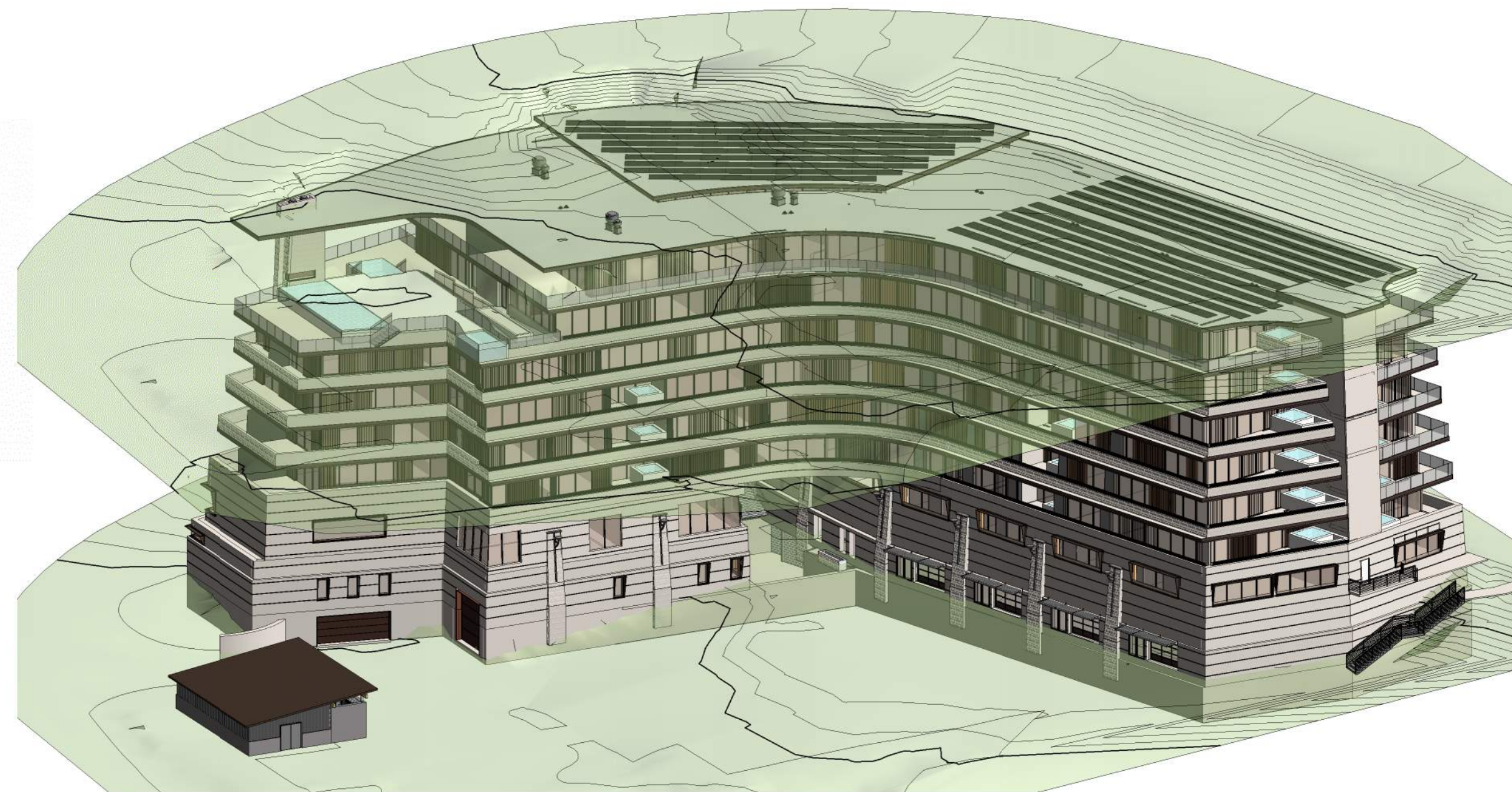
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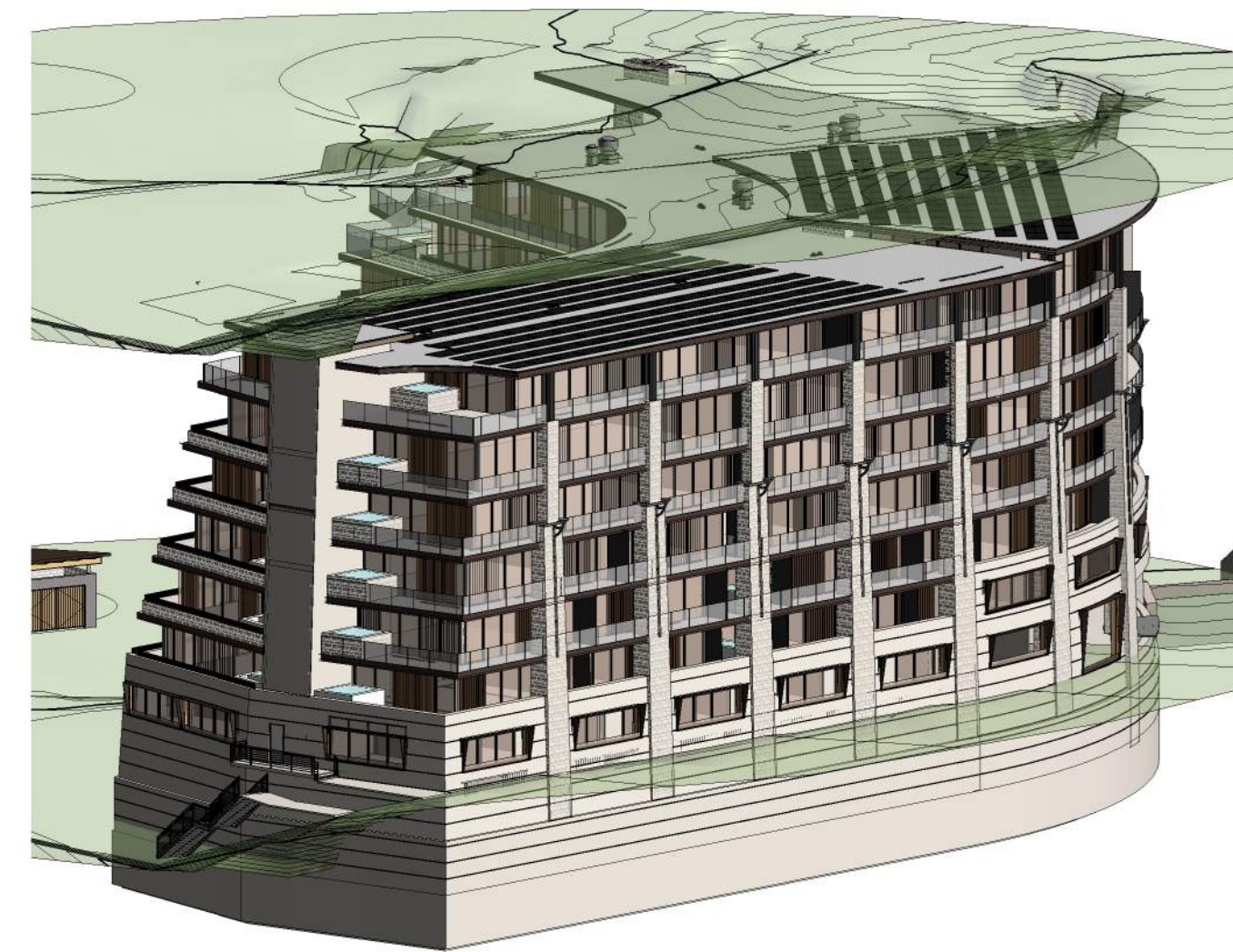
5 NW PERSPECTIVE



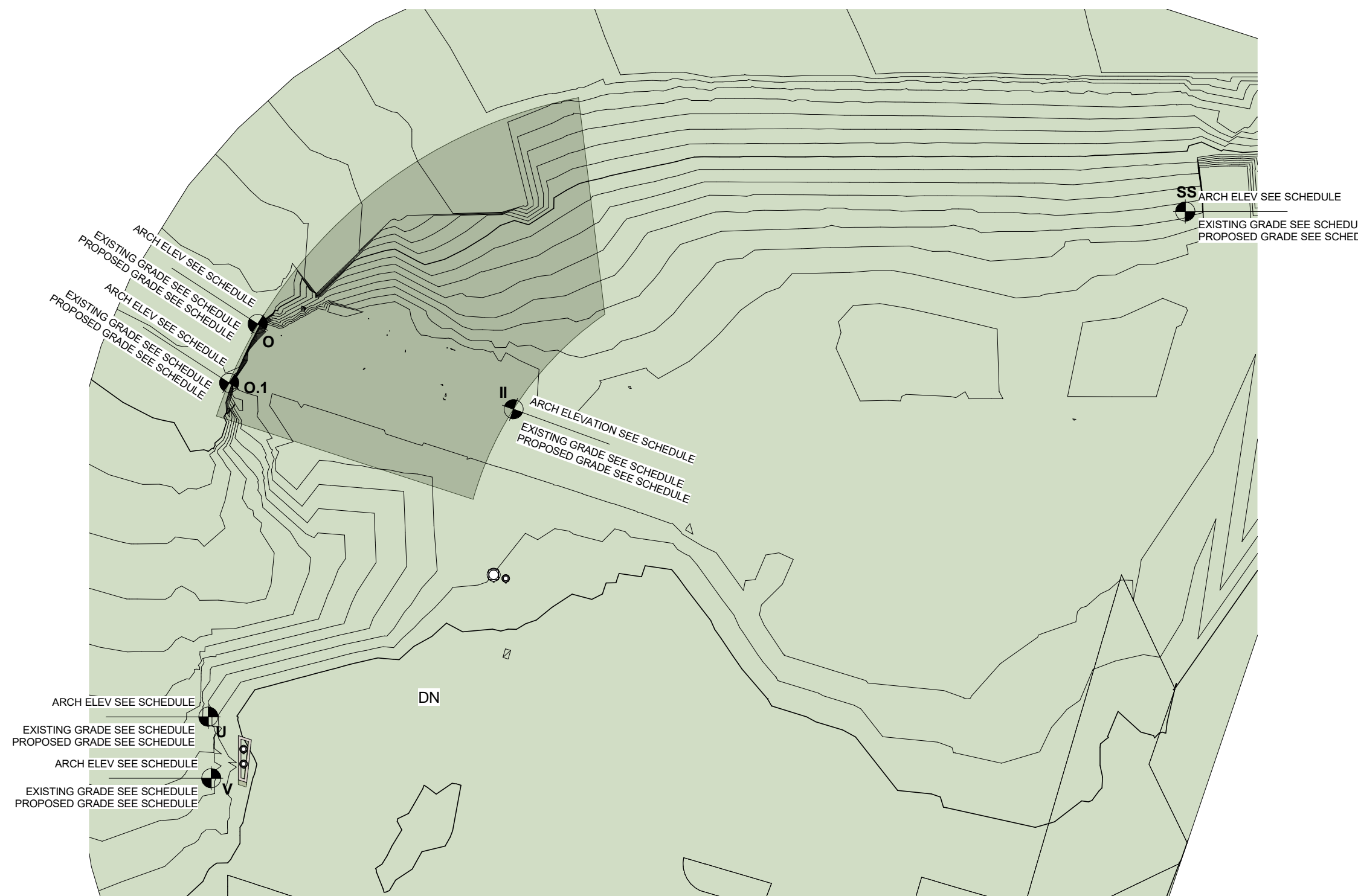
3 NW ELEVATION



4 SW PERSPECTIVE - PROPOSED TOPO



2 SE PERSPECTIVE

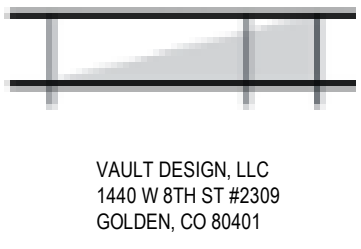


1 PROPOSED TOPO OVER ROOF  
1/32" = 1'-0"

SPOT ELEVATION LABEL	DESCRIPTION	ARCH ELEVATION	PROPOSED GRADE	HEIGHT TO PROPOSED GRADE	EXISTING GRADE	HEIGHT TO EXISTING GRADE
A	T.O. BALCONY RAILING	9578.8	9539.3	39.5	9536.0	42.8
B	T.O. LOWER ROOF	9614.5	9539.2	75.3	9537.0	77.5
C	T.O. LOWER ROOF	9614.5	9538.9	75.6	9536.8	77.7
D	T.O. LOWER ROOF	9614.5	9538.8	75.7	9536.8	77.7
E	T.O. LOWER ROOF	9614.5	9538.5	76.0	9536.5	78.0
F	T.O. LOWER ROOF	9614.5	9538.3	76.2	9536.3	78.2
G	T.O. LOWER ROOF	9614.5	9538.0	76.5	9536.0	78.5
H	T.O. LOWER ROOF	9614.5	9537.7	76.8	9536.0	78.5
I	T.O. LOWER ROOF	9614.5	9537.4	77.1	9536.2	78.3
J	T.O. UPPER ROOF	9617.5	9537.1	80.4	9536.0	81.5
K	T.O. UPPER ROOF	9617.5	9536.4	81.1	9535.7	81.8
L	T.O. UPPER ROOF	9617.5	9535.6	81.9	9535.1	82.4
M	T.O. UPPER ROOF	9617.5	9534.7	82.8	9534.0	83.5
N	T.O. UPPER ROOF	9617.5	9533.6	83.9	9531.5	86.0
N.1	T.O. UPPER ROOF	9617.5	9533.6	83.9	9531.5	86.0
O	T.O. UPPER ROOF	9617.5	9522.5	95.0	9527.0	90.5
O.1	T.O. UPPER ROOF	9617.5	9522.5	95.0	9527.0	90.5
P	T.O. LOWER ROOF	9614.5	9530.7	83.8	9530.7	83.8
Q	T.O. LOWER ROOF	9614.5	9530.1	84.4	9530.1	84.4
R	T.O. LOWER ROOF	9614.5	9529.2	85.3	9529.3	85.2
S	T.O. LOWER ROOF	9614.5	9527.8	86.7	9528.1	86.4
T	T.O. LOWER ROOF	9614.5	9526.2	88.3	9525.0	89.5
U	T.O. LOWER ROOF	9614.5	9524.0	90.5	9521.9	92.6
V	T.O. LOWER ROOF	9614.5	9521.0	93.5	9522.0	92.5
W	T.O. LOWER ROOF	9614.5	9520.3	94.2	9520.3	94.2
X	T.O. LOWER ROOF	9596.0	9518.8	77.2	9520.0	76.0
Y	T.O. LOWER ROOF	9596.0	9515.5	80.5	9518.2	77.8
AA	T.O. LOWER ROOF	9563.5	9510.5	53.0	9516.5	47.0
BB	T.O. LEVEL 6 GUARDRAIL	9595.5	9510.9	84.6	9515.5	80.0
CC	T.O. LEVEL 6 GUARD RAIL	9596.0	9511.5	84.5	9515.7	80.3
DD	T.O. LEVEL 6 GUARDRAIL	9595.5	9518.5	77.0	9518.0	77.5
EE	T.O. LOWER ROOF	9614.5	9519.8	94.7	9519.3	95.2
FF	T.O. LOWER ROOF	9614.5	9520.5	94.0	9519.8	94.7
GG	T.O. LOWER ROOF	9614.5	9521.5	93.0	9521.2	93.3
HH	T.O. LOWER ROOF	9614.5	9522.5	92.0	9522.1	92.4
II	T.O. UPPER ROOF	9616.5	9522.5	94.0	9523.0	93.5
JJ	T.O. LOWER ROOF	9614.5	9522.0	92.5	9523.0	91.5
KK	T.O. LOWER ROOF	9614.5	9523.0	91.5	9523.0	91.5
LL	T.O. LOWER ROOF	9614.5	9522.8	91.7	9522.1	92.4
MM	T.O. LOWER ROOF	9614.5	9522.5	92.0	9522.0	92.5
NN	T.O. LOWER ROOF	9614.5	9522.5	92.0	9522.1	92.4
OO	T.O. LOWER ROOF	9614.5	9522.5	92.0	9522.5	92.0
PP	T.O. LOWER ROOF	9614.5	9522.8	91.7	9522.5	92.0
QQ	T.O. LOWER ROOF	9614.5	9522.5	92.0	9522.5	92.0
RR	T.O. LOWER ROOF	9614.5	9523.5	91.0	9525.2	89.3
SS	T.O. STAIR ROOF	9617.5	9525.0	92.5	9525.0	92.5
TT	T.O. LOWER ROOF	9614.5	9530.8	83.7	9530.8	83.7
UU	T.O. LOWER ROOF	9614.5	9535.0	79.5	9535.0	79.5
				AVERAGE HEIGHT		79.72

\*ORANGE HIGHLIGHT DELINEATES THE ONLY POINTS EXCEEDING PREVIOUSLY APPROVED PUD THESE ARE DUE TO THE FIRE ACCESS LANE AND PEDESTRIAN PLAZA/PEDESTRIAN ACCESSWAY. NOTE THE MAJORITY OF HEIGHT IS BELOW THE PREVIOUSLY APPROVED PUD OF 88'-9" DUE TO EMPLOYEE HOUSING WHICH HAS RAISED THE HEIGHT OF THE BUILDING FROM THE PLAZA SIDE ONLY.

MAX BUILDING HEIGHT PROPOSED						
EAST OCCURS AT STAIRWELL	NORTHEAST	NORTH	NORTHWEST OCCURS AT SMALL ROOF EXTENSION OPEN TO SKY	WEST SMALL ROOF EXTENSION OPEN TO SKY	SOUTHWEST OCCURS AT EMERGENCY ACCESS LANE	SOUTHWEST OCCURS AT PEDESTRIAN PLAZA
92'-6"	86'	86'	93.3'	94.2'	94.7'	92.3'
						MAX BUILDING HEIGHT
						94.7'



Mountain Village Hotel  
LOT 109R MOUNTAIN VILLAGE, CO

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LOT 109R MAJOR PUD AMENDMENT  
SPECIAL HEARING SUBMITTAL  
05.19.2022

SEAL

Project Number  
JOB NO.

3D MAX HEIGHT WITH  
PROPOSED TOPO

A-2.04

PEDESTRIAN/BICYCLE ACCESS LEGEND

- PEDESTRIAN
- BICYCLE

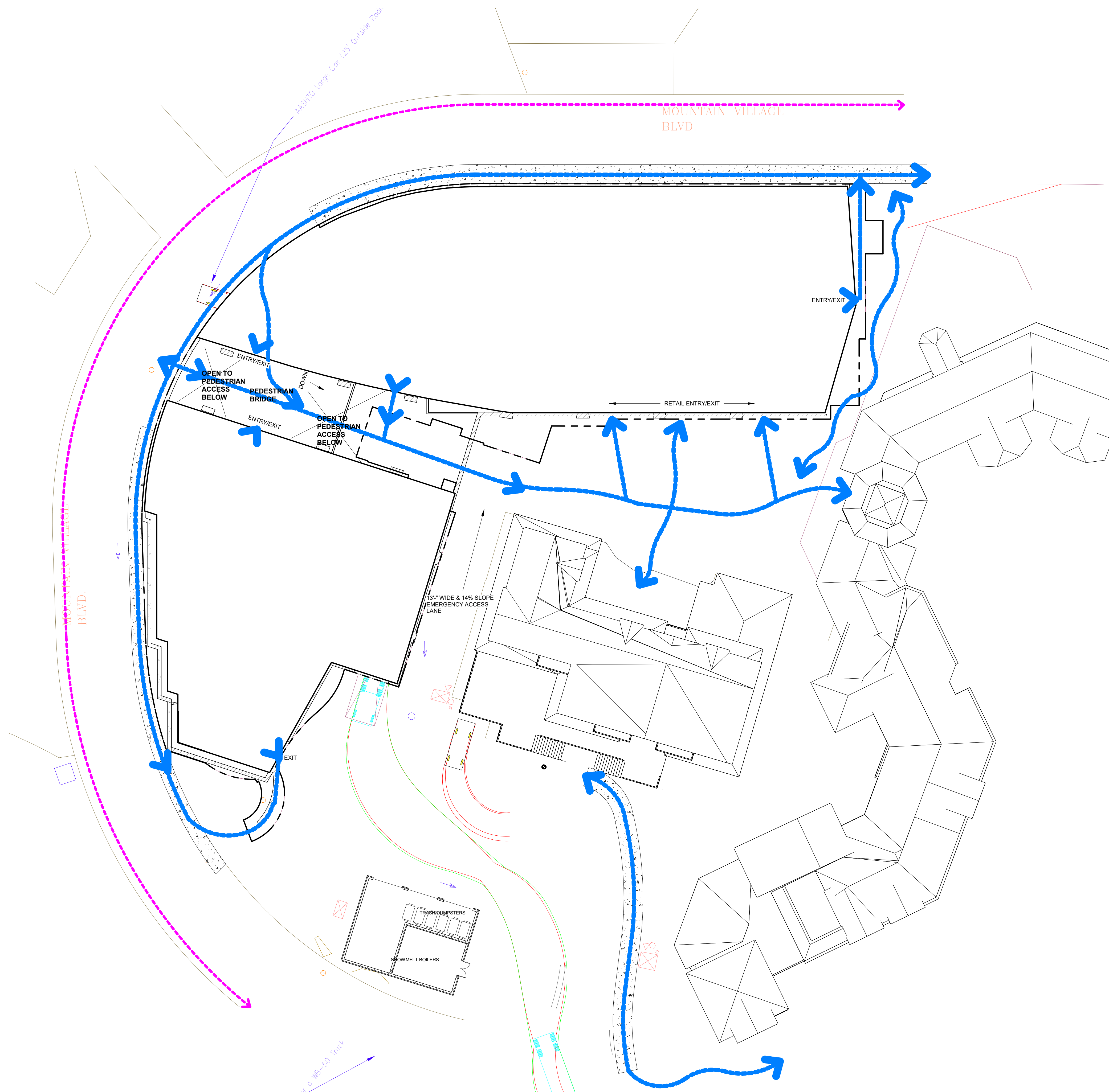


DIAGRAM - PEDESTRIAN AND BIKE CIRCULATION  
1 1" = 20'-0"

**Mountain Village Hotel**  
LOT 109R MOUNTAIN VILLAGE, CO

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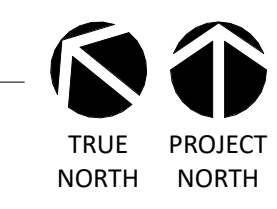
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Project Number  
JOB NO.

DIAGRAM - PEDESTRIAN  
AND BIKE CIRCULATION

A-2.08

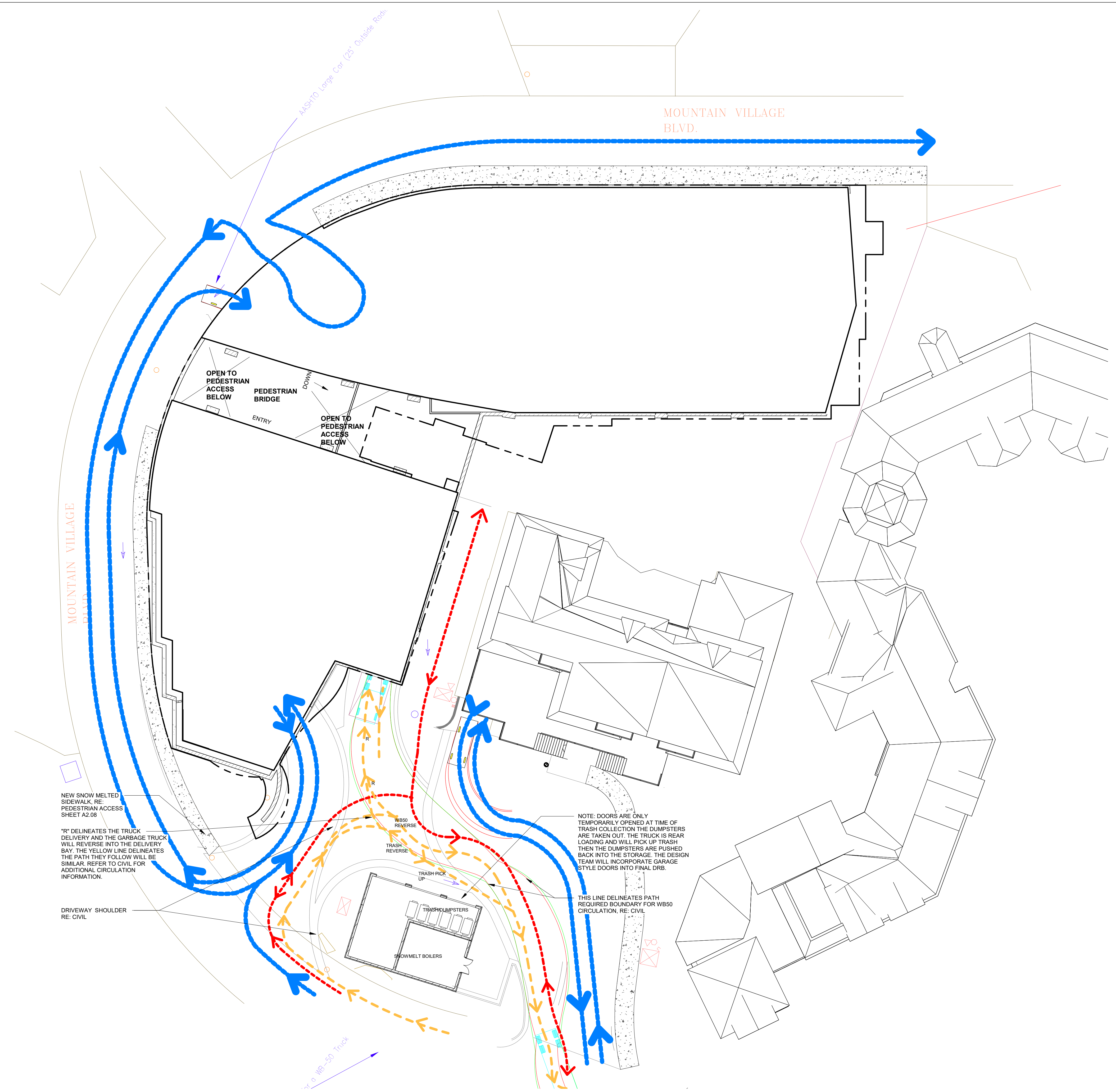


### VEHICULAR ACCESS LEGEND

CAR/SUV & VALET —————

EMERGENCY —————

WB-50/  
GARBAGE  
TRUCK - - - - -



NEW SNOW MELTED  
SIDEWALK, RE:  
PEDESTRIAN ACCESS  
SHEET A2.08

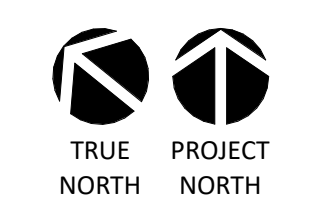
\*"R" DELINEATES THE TRUCK  
DELIVERY AND THE GARBAGE TRUCK  
WILL REVERSE INTO THE DELIVERY  
BAY. THE YELLOW LINE DELINEATES  
THE PATH THEY FOLLOW WILL BE  
SIMILAR. REFER TO CIVIL FOR  
ADDITIONAL CIRCULATION  
INFORMATION.

DRIVEWAY SHOULDER  
RE: CIVIL

WB-50  
TRUCK

NOTE: DOORS ARE ONLY  
TEMPORARILY OPENED AT TIME OF  
TRASH COLLECTION THE DUMPSTERS  
ARE TAKEN OUT. THE TRUCK IS REAR  
LOADING AND WILL PICK UP TRASH.  
THEN THE DUMPSTERS ARE PUSHED  
BACK INTO THE STORAGE. THE DESIGN  
TEAM WILL INCORPORATE GARAGE  
STYLE DOORS INTO FINAL DRB.

THIS LINE DELINEATES PATH  
REQUIRED BOUNDARY FOR WB50  
CIRCULATION, RE: CIVIL



## Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

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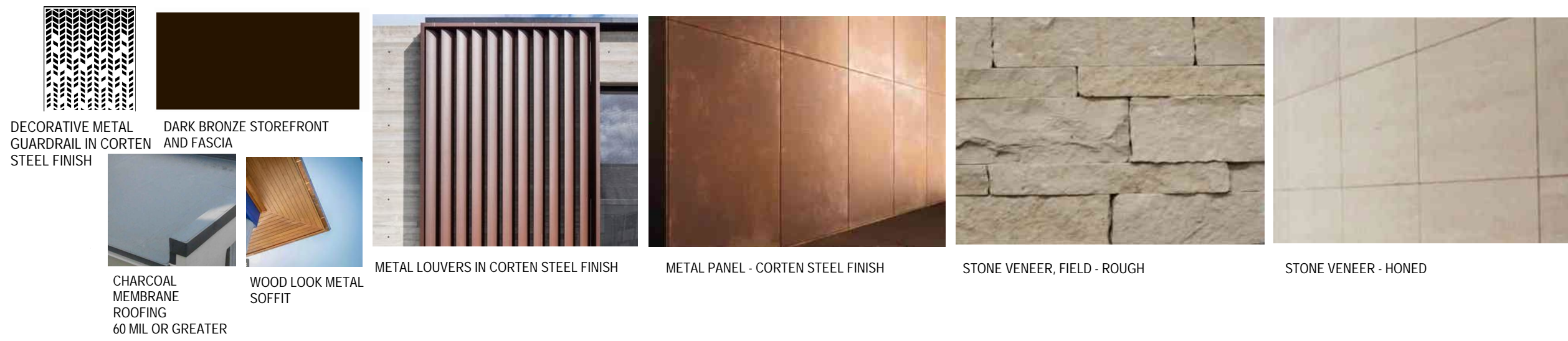
LOT 109R MAJOR PUD AMENDMENT  
SPECIAL HEARING SUBMITTAL  
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Project Number  
JOB NO.

DIAGRAM - VEHICULAR  
CIRCULATION

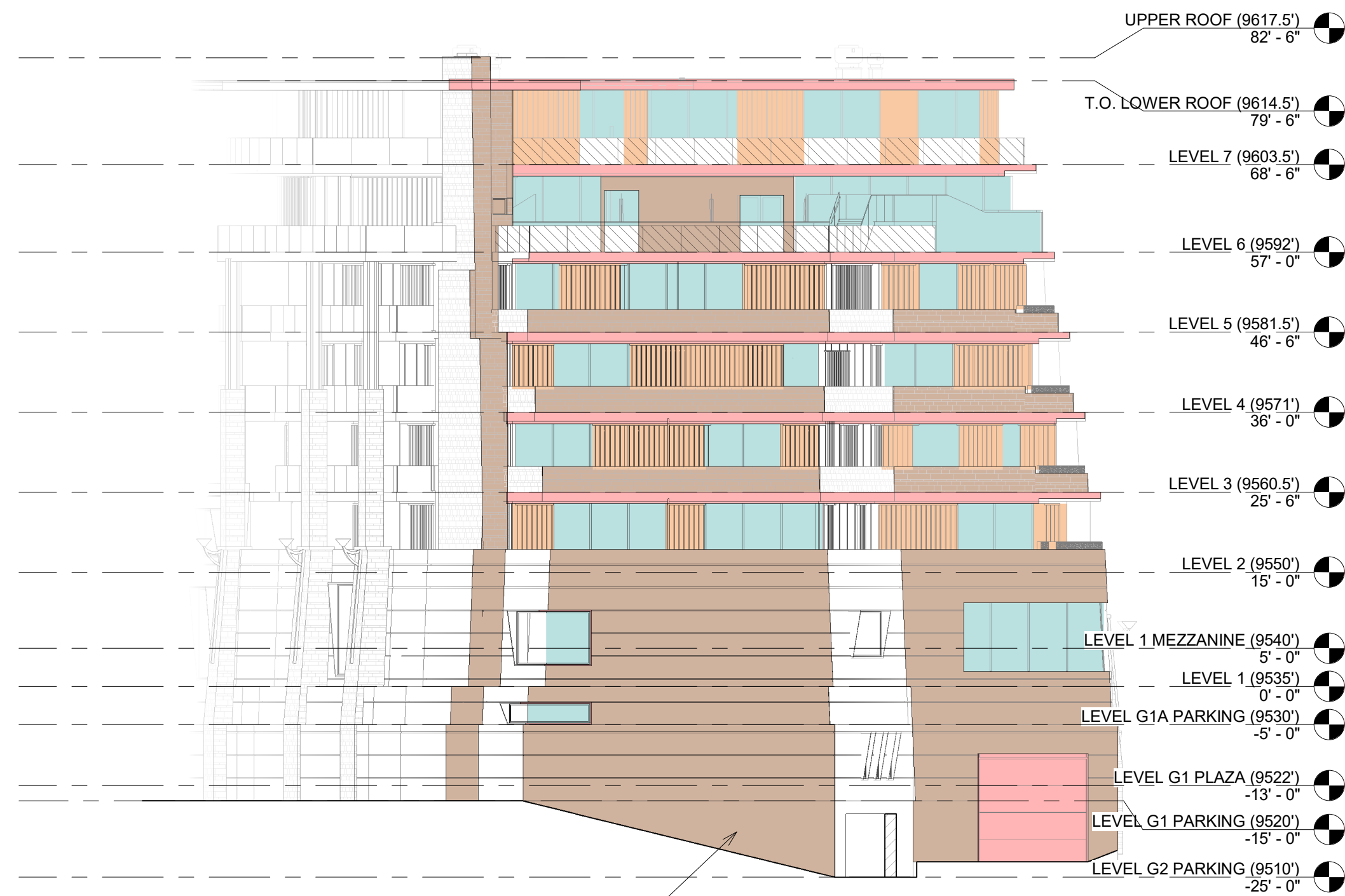
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MATERIAL	
	SCREENS
	GLASS
	STONE
	METAL
	GUARDRAILS
	WOOD

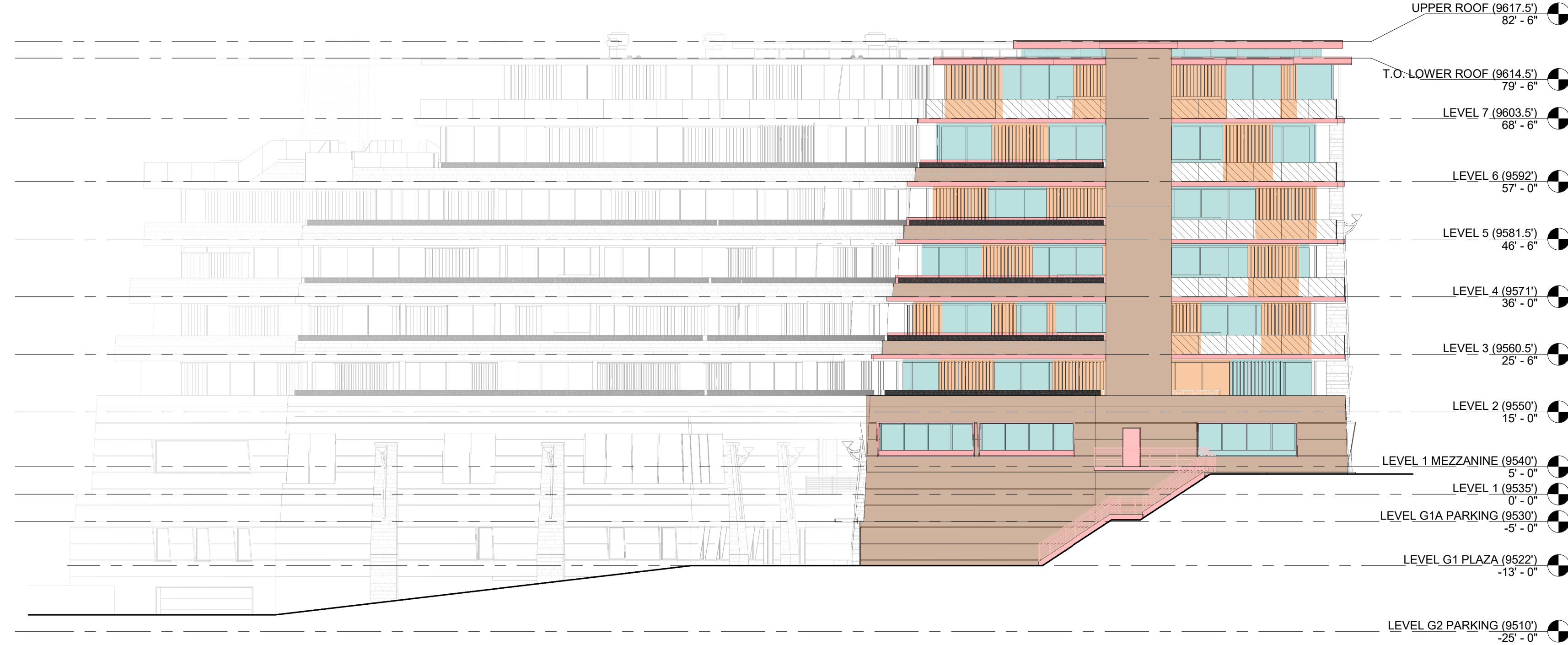


ELEVATION #SQFT	WEST ELEVATION (05/A-2.11)	NORTHWEST ELEVATION (03/A-2.11)	NORTH ELEVATION (02/A-2.11)	NORTHEAST ELEVATION (01/A-2.11)	EAST ELEVATION (04/A-2.11)	SOUTHEAST ELEVATION (03/A-2.12)	SOUTHWEST ELEVATION (02/A-2.12)	PEDESTRIAN WAY WEST ELEVATION (01/A-2.11)	TOTAL	PERCENT
SCREENS	1052.07	1715.36	747.13	4264.2	1271.73	2386.84	1947.71		13385.04	16%
GLASS	1504.26	2365.24	728.66	4318.09	1641.07	3998.91	3158.17	327.61	18042.01	22%
STONE	3275.93	4880.05	598.36	5464.22	3679.8	7440.62	6708.99	2721.81	34769.78	43%
METAL	854.14	1040.99	276.96	2061.42	767.95	1415.94	1533.12	40.03	7990.55	10%
GLASS GUARDRAIL	436.83	1546.66	309.78	3011	643.06	481.37	570.15		6998.85	9%
WOOD								87.12		
<b>MATERIAL TOTAL</b>	<b>7123.23</b>	<b>11548.3</b>	<b>2660.89</b>	<b>19118.93</b>	<b>8003.61</b>	<b>15723.68</b>	<b>13918.14</b>	<b>3176.57</b>	<b>81186.23</b>	<b>100%</b>

MATERIAL AREA CALCULATION  
1/4" = 1'-0"



WEST FACING SIDE ONLY  
EXTERIOR ELEVATION - MATERIAL - WEST  
1/16" = 1'-0"



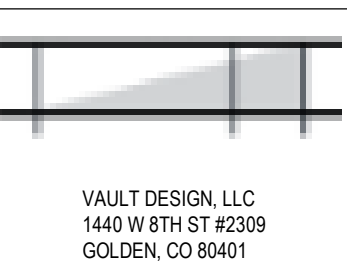
EXTERIOR ELEVATION - MATERIAL - EAST  
1/16" = 1'-0"



EXTERIOR ELEVATION - MATERIAL - NORTHEAST  
1/16" = 1'-0"

EXTERIOR ELEVATION - MATERIAL - NORTH  
1/16" = 1'-0"

EXTERIOR ELEVATION - MATERIAL - NORTHWEST  
1/16" = 1'-0"



VAULT DESIGN LLC  
1440 W 8TH ST #2309  
GOLDEN, CO 80401

Mountain Village Hotel  
LOT 109R MOUNTAIN VILLAGE, CO

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05.19.2022

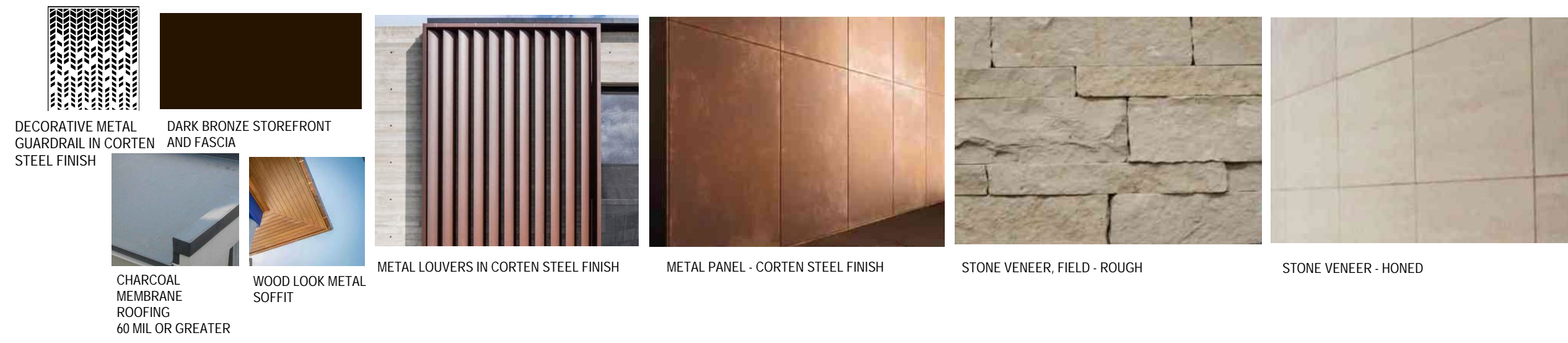
SEAL  
Project Number  
JOB NO.

EXTERIOR ELEVATION - MATERIAL

A-2.11



MATERIAL	
	SCREENS
	GLASS
	STONE
	METAL
	GUARDRAILS
	WOOD



ELEVATION #SQFT	WEST ELEVATION (05/A-2.11)	NORTHWEST ELEVATION (03/A-2.11)	NORTH ELEVATION (02/A-2.11)	NORTHEAST ELEVATION (01/A-2.11)	EAST ELEVATION (04/A-2.11)	SOUTHEAST ELEVATION (03/A-2.12)	SOUTHWEST ELEVATION (02/A-2.12)	PEDESTRIAN WAY WEST ELEVATION (01/A-2.11)	TOTAL	PERCENT
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WOOD								87.12		
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MATERIAL AREA CALCULATION  
1/4" = 1'-0"



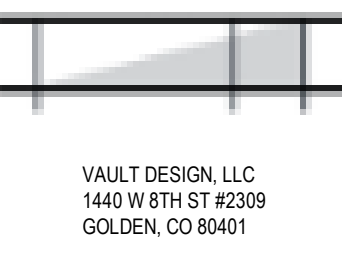
EXTERIOR ELEVATION - MATERIAL -  
SOUTHWEST  
1/16" = 1'-0"



EXTERIOR ELEVATION - MATERIAL -  
SOUTHEAST  
1/16" = 1'-0"



EXTERIOR ELEVATION - MATERIAL -  
PEDESTRIAN WEST  
1/16" = 1'-0"



Mountain Village Hotel  
LOT 109R MOUNTAIN VILLAGE, CO

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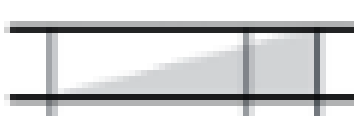
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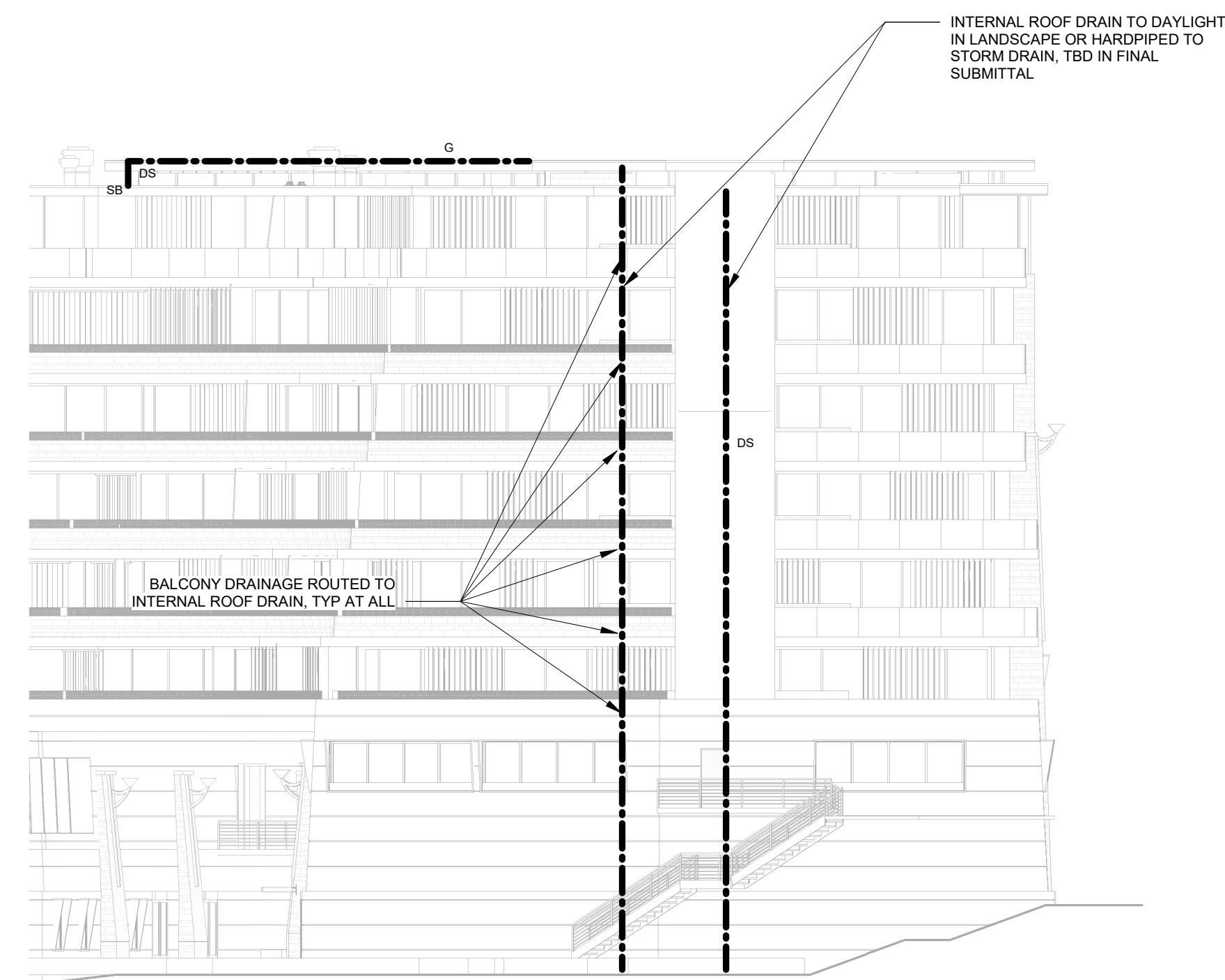
SEAL  
Project Number  
JOB NO.

EXTERIOR ELEVATION -  
MATERIAL

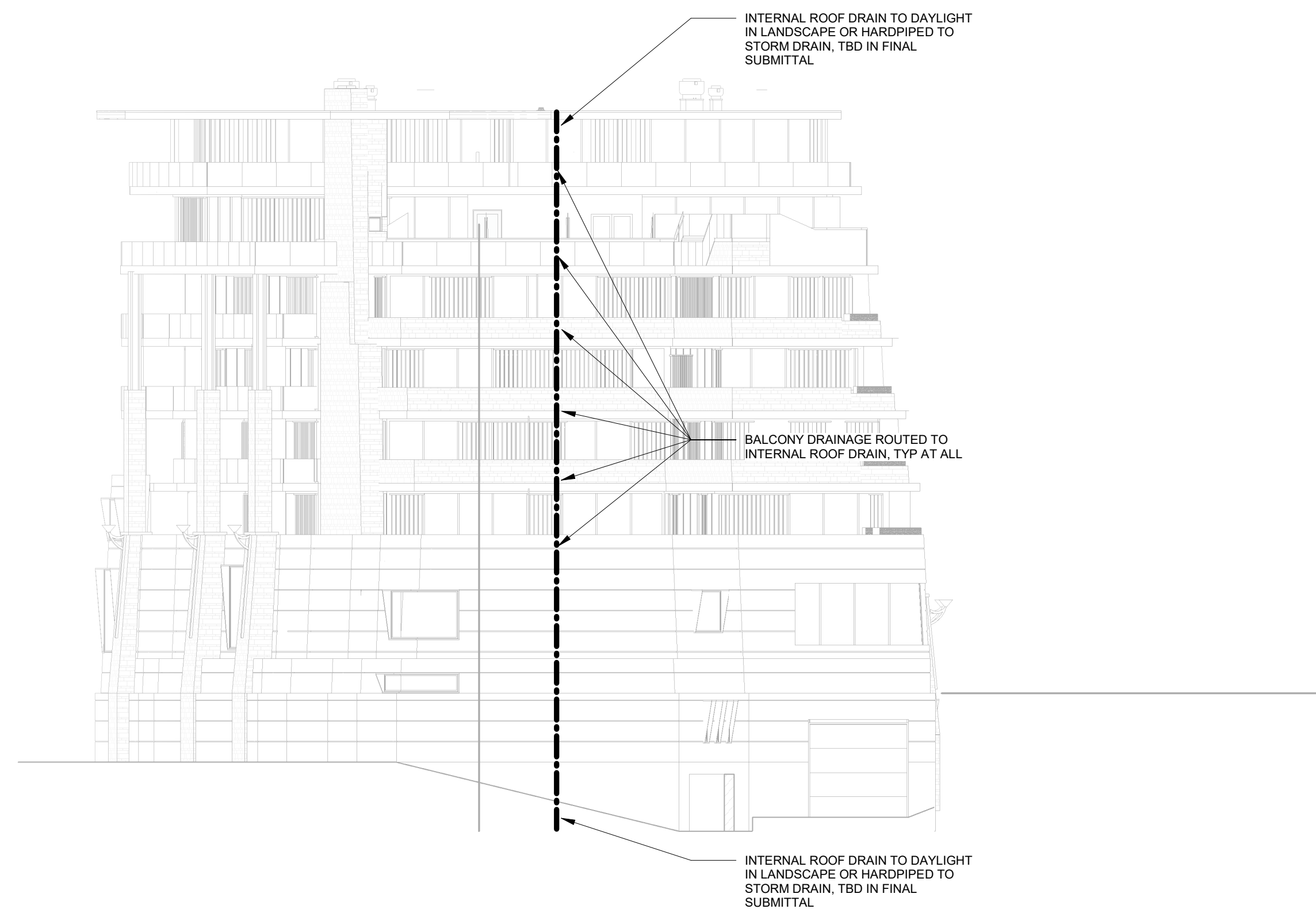
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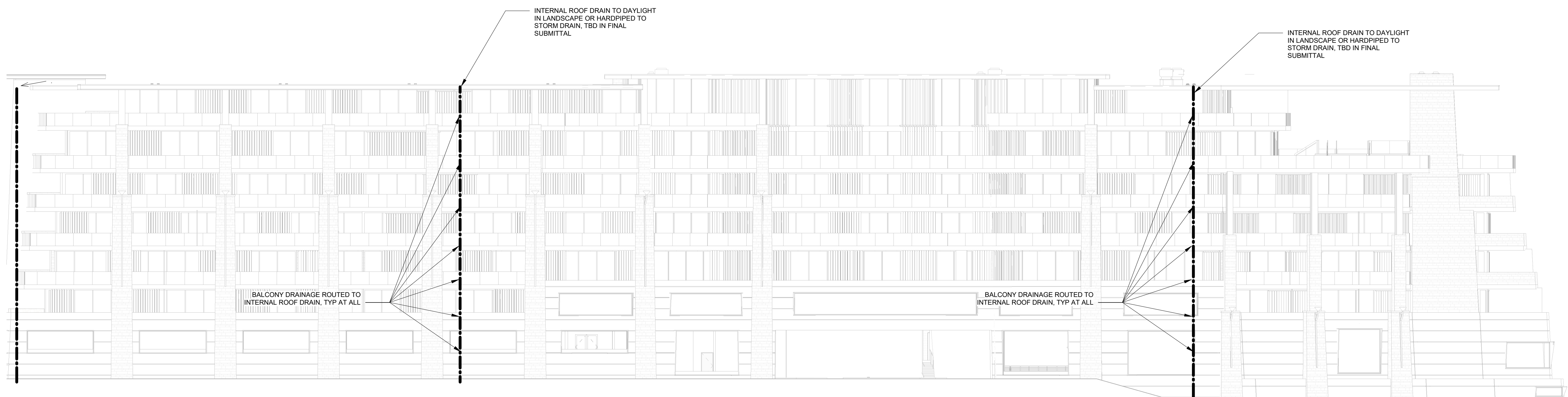
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GOLDEN, CO 80401



3 EXTERIOR ELEVATION-SNOW MELT  
STUDY EAST  
1/16" = 1'-0"



4 EXTERIOR ELEVATION-SNOW MELT  
STUDY- WEST  
1/16" = 1'-0"



1 EXTERIOR ELEVATION-SNOW MELT  
STUDY NORTHEAST  
1/16" = 1'-0"

2 EXTERIOR ELEVATION-SNOW MELT  
STUDY- NORTHWEST  
1/16" = 1'-0"

SNOW MELT KEY	
SB	SPLASH BLOCKS IN TERRACE
←	DIRECTION OF WATER FLOW
---	INTERNAL ROOF DRAIN
G	GUTTER
RD	ROOF DRAIN

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05.19.2022

SEAL

Project Number  
JOB NO.

EXTERIOR  
ELEVATION-SNOW MELT  
STUDY

A-2.21

**Mountain Village Hotel**  
LOT 109R MOUNTAIN VILLAGE, CO

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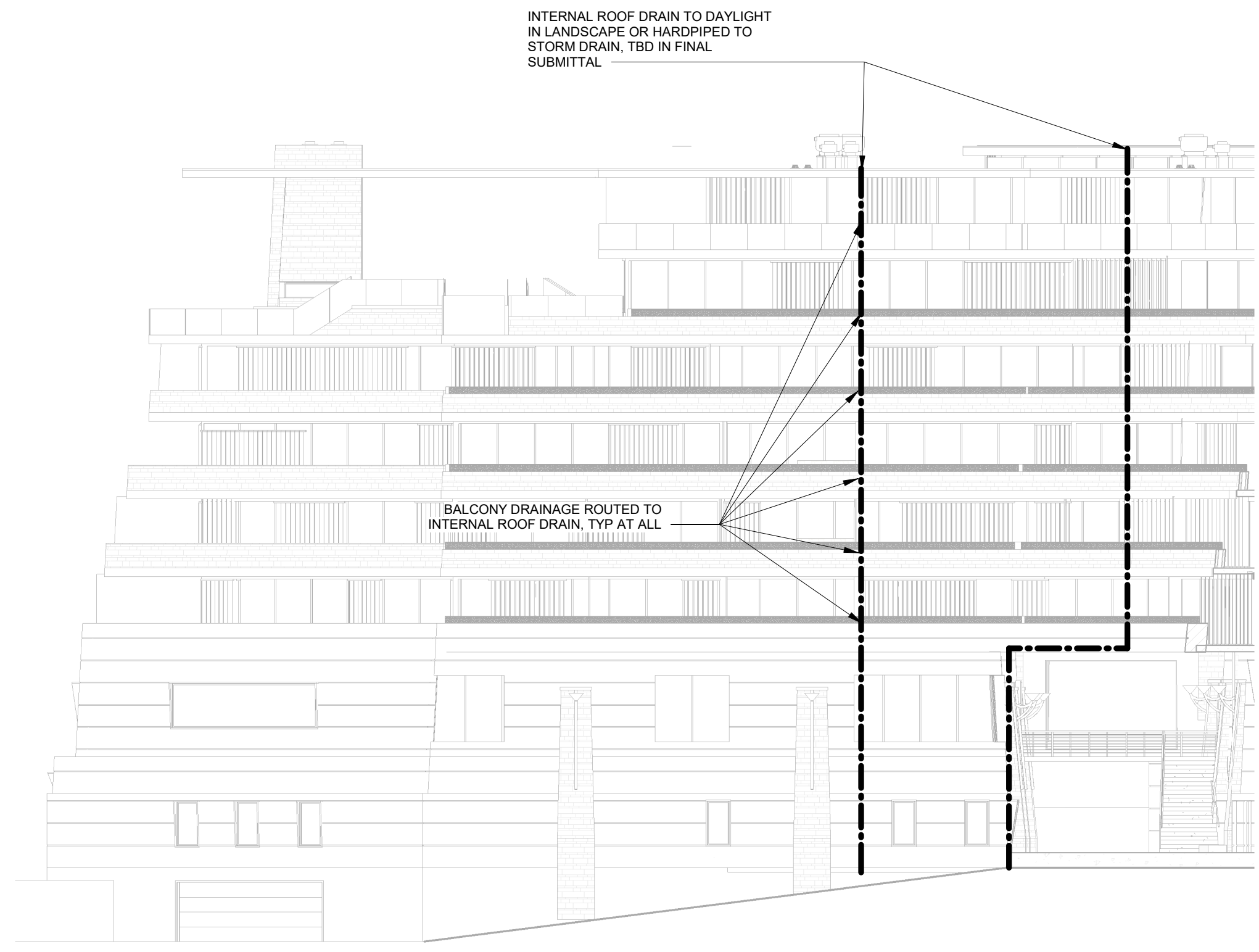
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05.19.2022

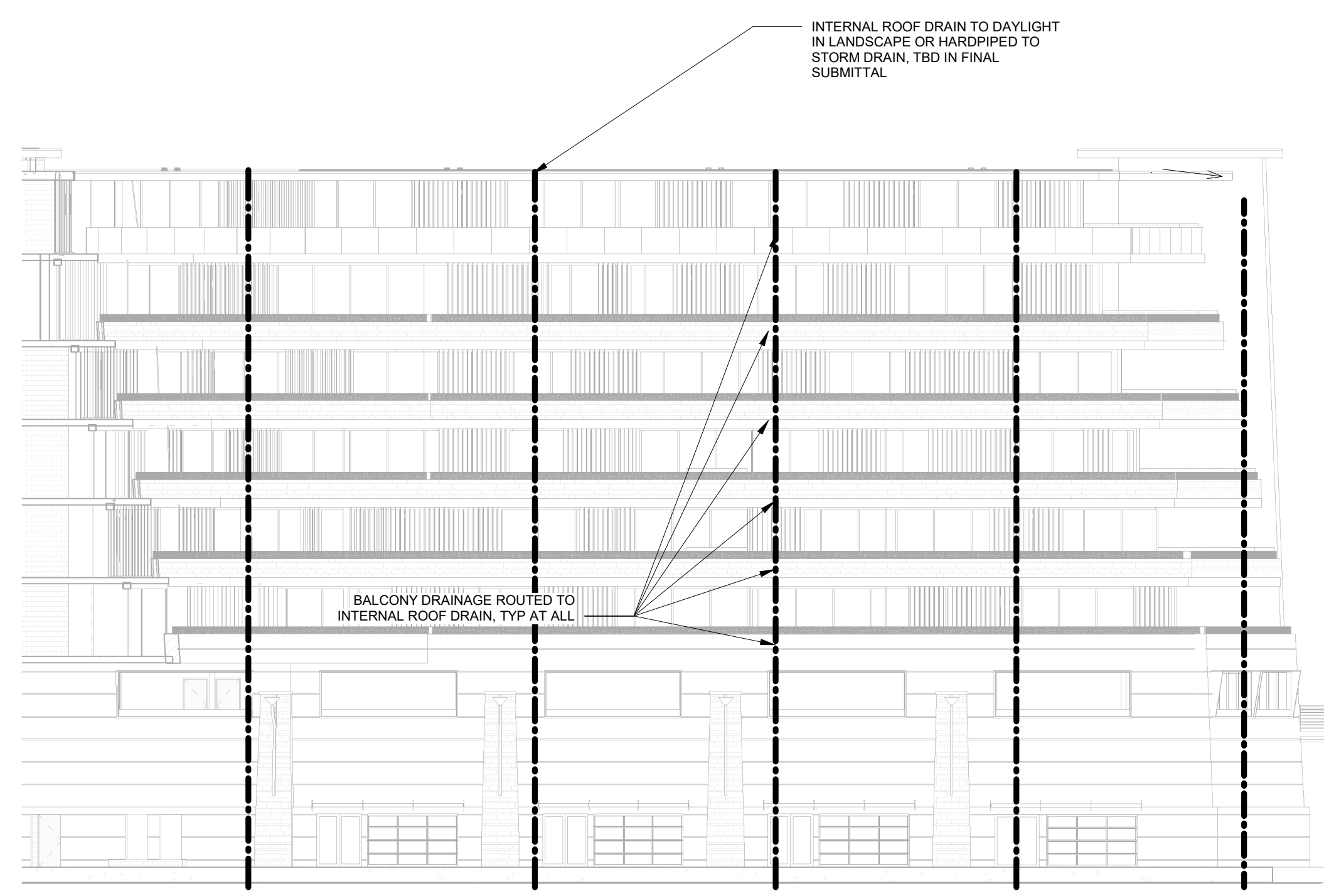
Project Number  
JOB NO.

EXTERIOR  
ELEVATION-SNOW MELT  
STUDY

A-2.22



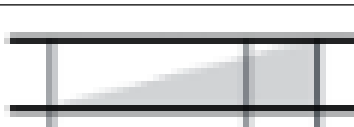
1 EXTERIOR ELEVATION-SNOW MELT  
STUDY - SOUTHWEST  
1/16" = 1'-0"



2 EXTERIOR ELEVATION-SNOW MELT  
STUDY - SOUTHEAST  
1/16" = 1'-0"

SNOW MELT KEY	
SB	SPLASH BLOCKS IN TERRACE
←	DIRECTION OF WATER FLOW
---	INTERNAL ROOF DRAIN
G	GLUTTER
RD	ROOF DRAIN

3 SNOW MELT KEY  
1/4" = 1'-0"



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Item	No.	Date	Description

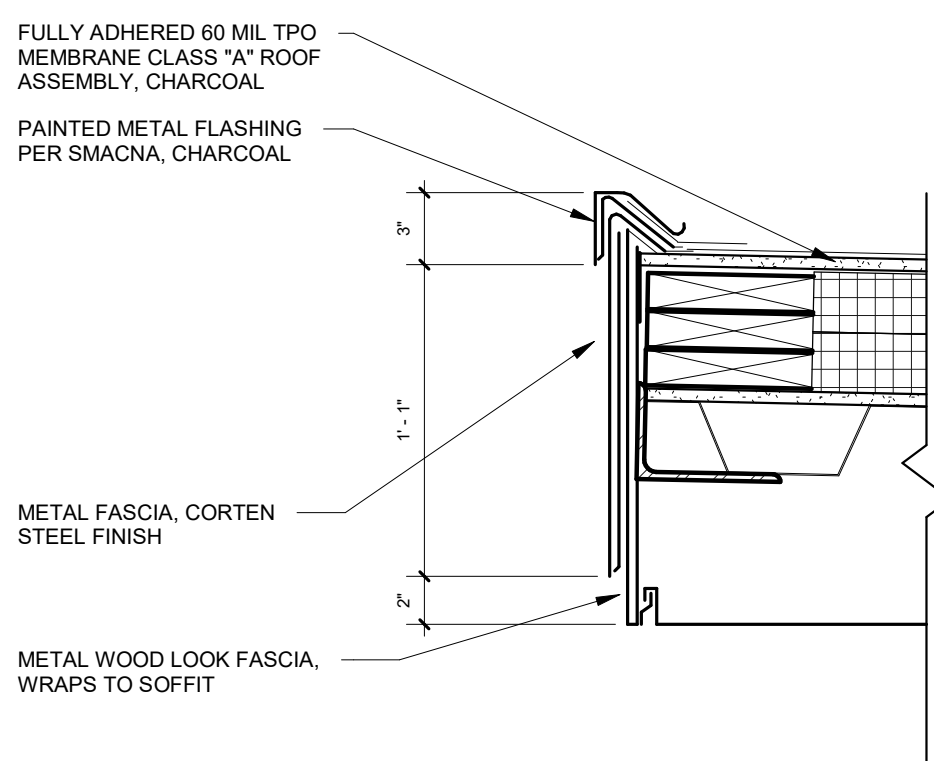
LOT 109R MAJOR PUD AMENDMENT  
SPECIAL HEARING SUBMITTAL  
05.19.2022

SEAL

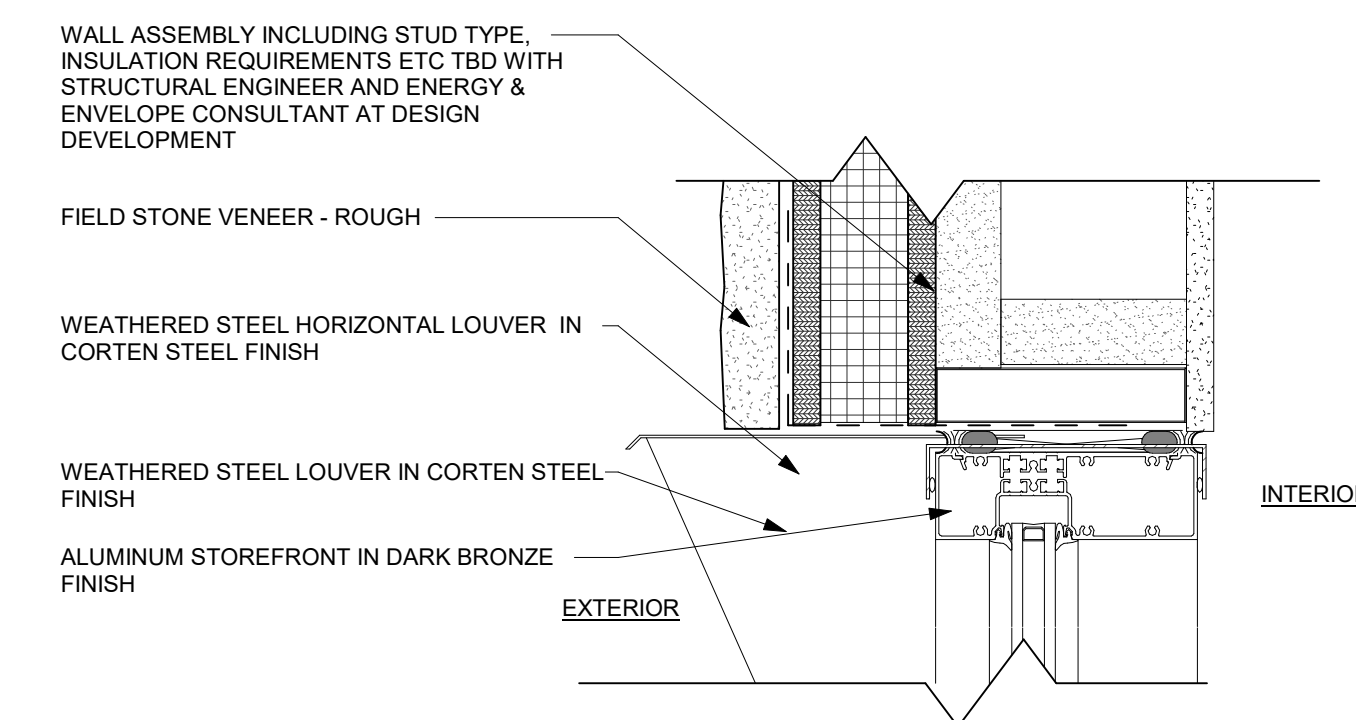
Project Number  
JOB NO.

TYPICAL DETAILS

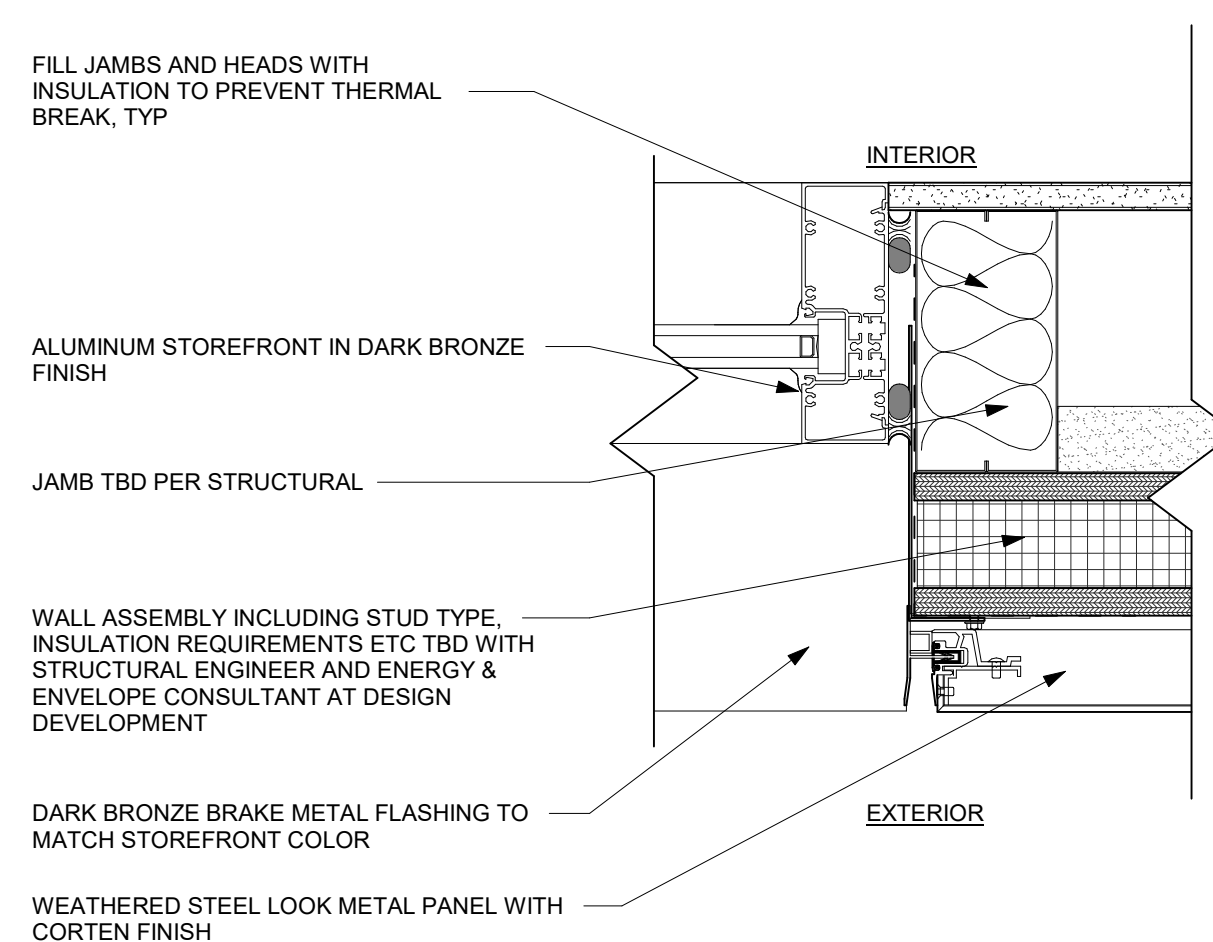
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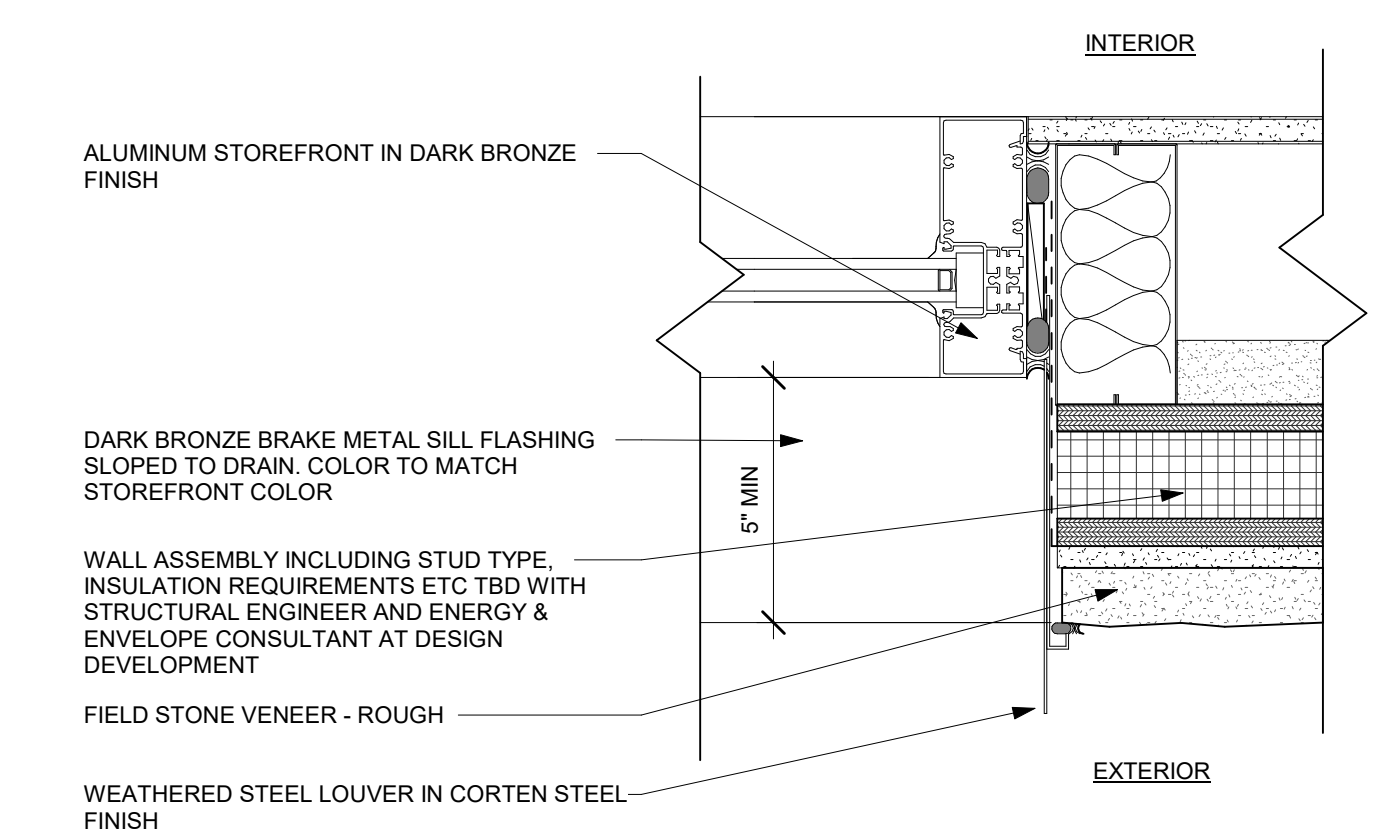
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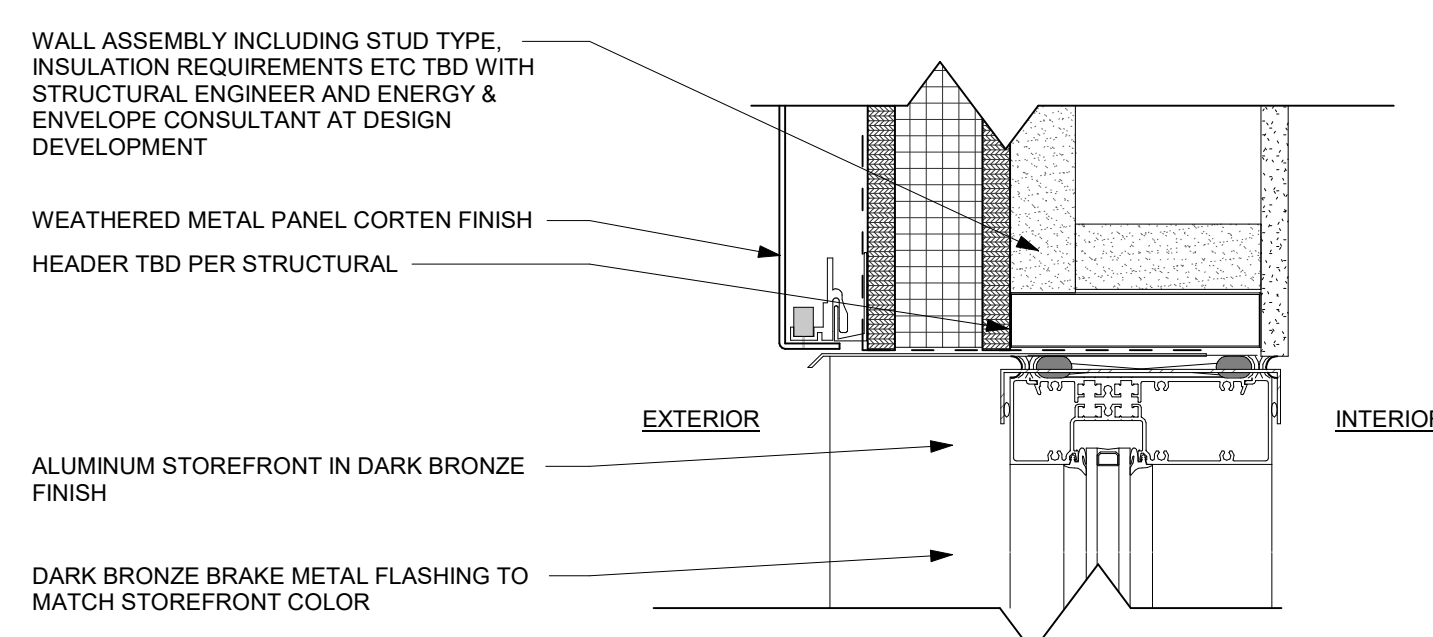
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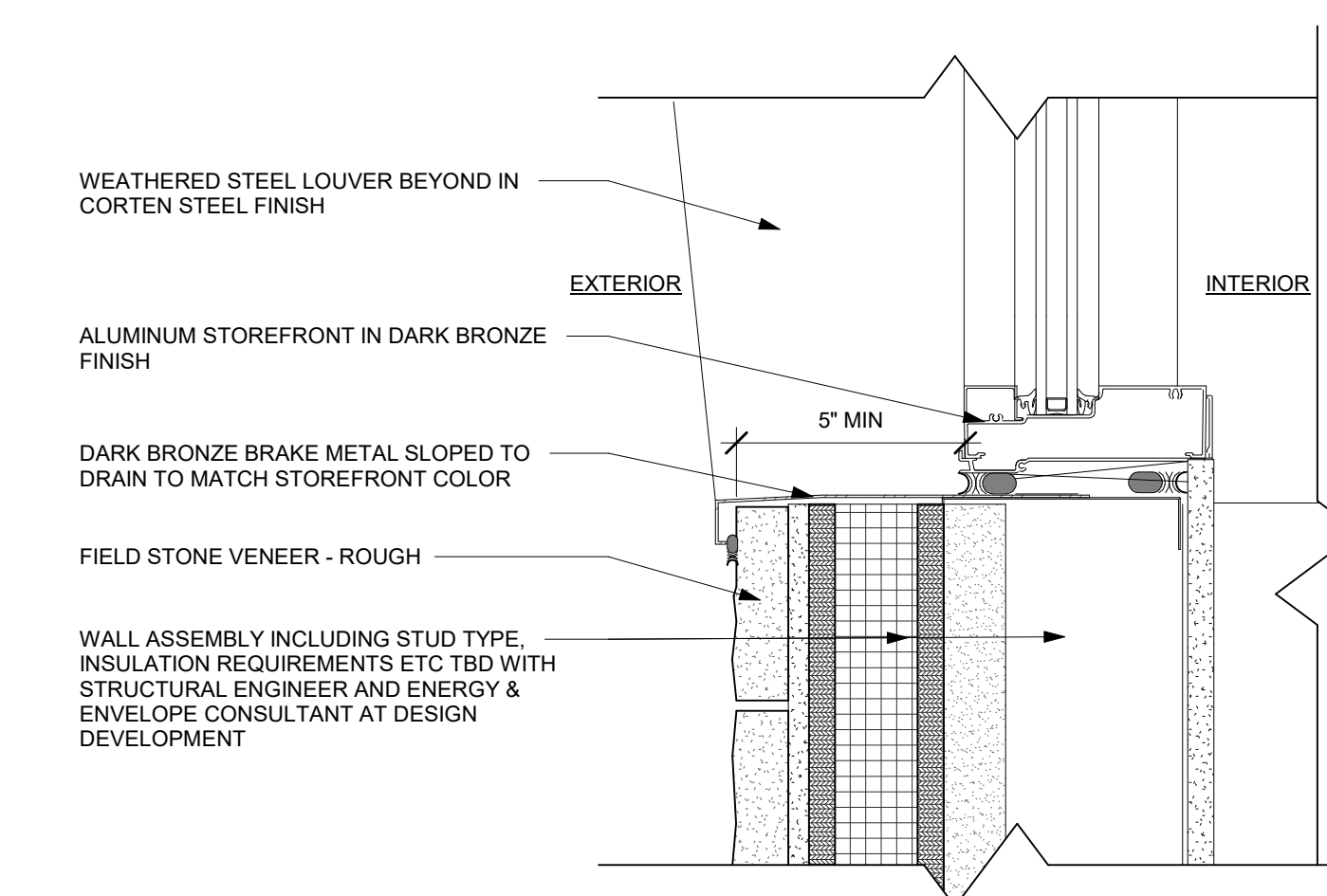
3 JAMB AT METAL PANEL  
3" = 1'-0"



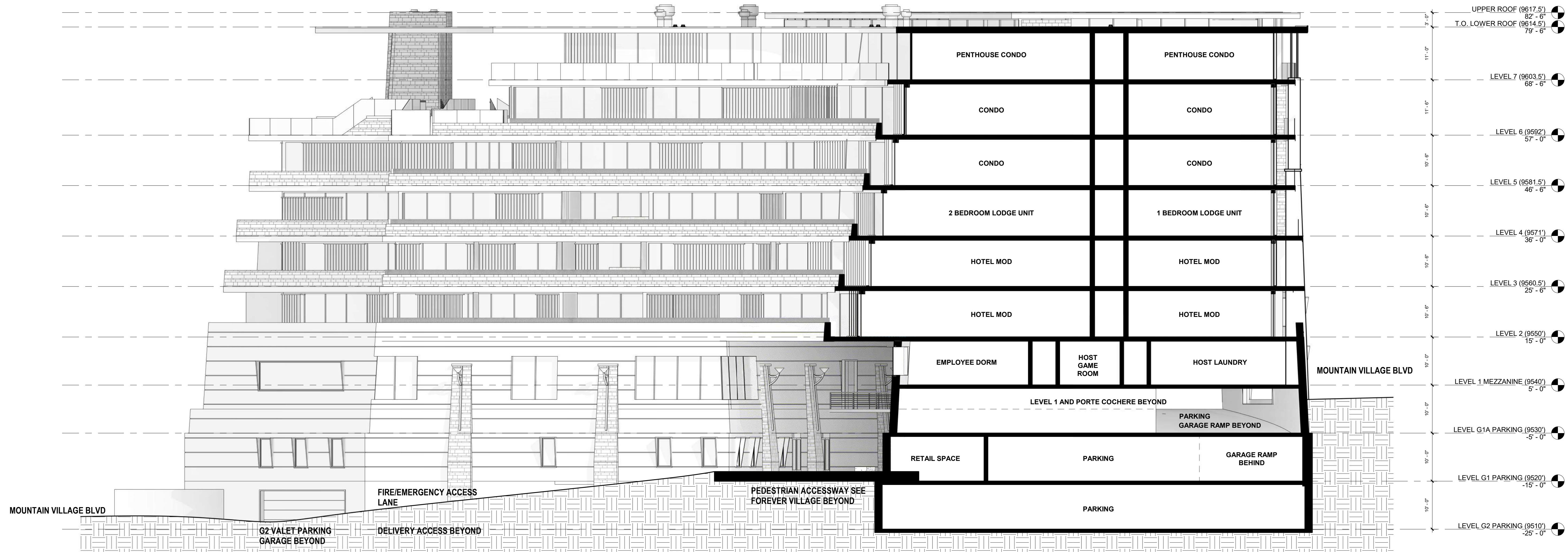
4 JAMB AT STONE  
3" = 1'-0"



1 HEAD AT METAL PANEL  
3" = 1'-0"



2 SILL AT STONE  
3" = 1'-0"



1 N-S Section looking East diagram  
 3/32" = 1'-0"

**Mountain Village Hotel**  
 LOT 109R MOUNTAIN VILLAGE, CO

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Item	No.	Date	Description

LOT 109R MAJOR PUD AMENDMENT  
 SPECIAL HEARING SUBMITTAL  
 05.19.2022

SEAL

Project Number  
 JOB NO.

BUILDING SECTION

**A-3.00**

# ATTACHMENT 3

## PUD Process Overview

### MAJOR PUD AMENDMENT PROCESS

#### *Emphasis added.*

Pursuant to CDC Section 17.4.12.6.a., PUDs approved prior to the effective date of the CDC are valid and enforceable under the terms and conditions of the approved development agreements. Modifications to such PUDs may be proposed pursuant to the ***PUD amendment process.***

Pursuant to CDC Section 17.4.12.O. Review Process, a Major Amendments. Major PUD amendment development applications shall be ***processed as class 4 development applications.***

The ***criteria for decision*** for a PUD amendment is the same as for the creation of a PUD.

To better integrate the two step design review staff anticipates the following outline of hearings for this PUD amendment:

- DRB Recommendation to the Town Council on the Major PUD Amendment
  - This also constitutes the initial design review
- Town Council considers the Major PUD amendment
  - This item will be continued so that the Council can provide feedback whether to agree to use portions of Village Center open space to replat 109R and OS BR 2.
- DRB provides a final design review
- DRB provides a recommendation on the Subdivision
- Town Council provides PUD review (1<sup>st</sup> reading of an ordinance)
- Town Council approves on 2<sup>nd</sup> reading the PUD amendment with all associated agreements in place, Also approves the Major Subdivision by Resolution.

### **MAJOR PUD AMENDMENTS PROPOSED BY CATEGORY**

- a. Density
- b. Parking
- c. Public Benefits
- d. Variations
- e. Specific Approvals
- f. Subdivision
- g. Public Improvements

When the original PUD was approved, the following items occurred:

- ✓ The developer received 0.50 acre from the Town that was part of OS 3-BR-1.
- ✓ 0.50 acre is now part of Lot 109R.
- ✓ Town received Lot 644 in the Meadows in exchange for the land given for the development
- ✓ Cost from the Developer was \$700,000 for 1.6 acres (Lot 644)
- ✓ Density permitted by the PUD has been transferred to the site
- ✓ The property was replat into its current configuration

# ATTACHMENT 5

Attachment #5 rev 5.24.22

## Overview of the 2010 PUD Development Agreement compared to the Proposed PUD Amendments

### Original and Proposed amendments to the PUD

	Original PUD	Amendment Request
<b>Public Benefits</b>		
	40 dedicated hotel rooms	62 dedicated hotel rooms
	Hotel Operator requirements	Hotel Operator requirements – letter of intent with Six Senses
	Furniture package	Furniture package
	40 dedicated hotel rooms held in common ownership with Hotel Facilities Unit	62 dedicated hotel rooms held in common ownership with Hotel Facilities Unit; not condo-hotel rooms
	A Mitigation payment of \$996,288	A Mitigation payment of \$1,500,000 to be a combined mitigation payment and building permit payment.
	Up to \$250,000 can be used to relocate the trash facility	Existing Trash Facility to be replaced at applicant estimated cost of \$750,000
	60% (\$597,773) of the mitigation payment to be used for employee housing.	On-site housing increased from one employee to 56 employees with shared kitchen and recreational facilities and a laundry, and parking (applicant estimated cost \$6,435,000 with a cumulative sale value of approximately \$20,000,000 if sold individually and not subjected to employee housing restrictions)
		Reposition and replace the Town Village Center trash facility. The applicant indicates this has a value of \$750,000 but that may include the proposed snow melt boiler location also.
	On the 2 <sup>nd</sup> anniversary of a Certificate of Occupancy, the operator will provide actual full time equivalent employee information. The owner shall pay \$4,018.52 per employee in excess of the 90 full time equivalent employees estimated by the owner.	On the 2 <sup>nd</sup> anniversary of a Certificate of Occupancy, the operator will provide actual full time equivalent employee information. The owner shall pay \$4,018.52 per employee in excess of the 90 full time equivalent employees estimated by the owner.
	One (1) employee apartment	Two (2) employee apartments and 18 employee dormitories, each comprised of individual sleeping rooms accommodating three people with common amenities such as a shared kitchen and recreational facilities and a laundry
		A commitment to providing 11,700 square feet of area within the hotel project dedicated to employee housing and associated amenity spaces

	Public Restroom	Public Restroom
	Plaza Improvements	Plaza Improvements
		Emergency access to Plaza Area
		Installation of two new sidewalks improved with snow melt systems: (1) Shirana to MV Blvd (2) From where the four seasons sidewalk ends continuous along MV Blvd to the entrance to OS-3BR-2 (109R back of house and town short term parking area)
	The Project Association responsible for removing and/or relocating snow from the south side of upper Mountain Village Boulevard	Installation of snow melted sidewalks along south side of Mountain Village Blvd – see above
		See Forever Walkway. A pedestrian access easement will be drafted that connects See Forever through Lot 109R to the Village Center. The pathway is recognized onsite.
	48 public parking spaces in the parking garage	Removed
	Westermere Breezeway Improvements	Westermere Breezeway Improvements
	Conference Room space rentable by the public	Conference Room space rentable by the public
	20,164 square feet commercial density	26,468 square feet commercial density
	24 hour valet service in exchange for tandem parking	Tandem parking eliminated; valet parking provided for commercial uses
	Village Pond Improvements	Village Pond Improvements as a fee in lieu
	The Town included 21,562.2 square feet of town property to create the resulting Lot 109R containing a total of 35,928 square feet. The Town accepted replacement property specifically Lot 644 in the meadows in consideration for the replatted property and original PUD agreement.	A total of 1,328 square feet would be removed from Lot 109R and added to OS-3-BR-2 and a total of 968 square feet would be removed from OS-3-BR-2 and added to Lot 109R. Offsetting the two results in a total addition to OS-3-BR-2 of 360 square feet (.008 acres).
	<b>Original PUD</b>	<b>Amendment Request</b>
<b>Variations</b>	Variation/waiver to LUO Section 2-416 to allow Lot 109 and 110, Building Footprint Lots, to expand by more than 25%.	
	Variation/waiver to LUO Section 4-308-9 to allow an increase in maximum to 88' – 9" and maximum average height of 65' – 2.9".	Variation/waiver CDC 17.3.12 Building Height Limits, to allow an increase in maximum to 94'-7" and maximum average height of 79.72' - TBD
	Variation/waiver to LUO Section 4-308-2 (sic.) [ <i>*Should have referenced 4-311-2.</i> ] to allow for permitted uses (parking, pedestrian	N/A



	paths, etc. as shown in plans) in Active Open Space as shown on the Final PUD Plans to be approved pursuant to the PUD process and not the special use permit process.	
	Variation/waiver to LUO Section 4-308-2(f) to allow for conference and meeting space on the plaza level.	N/A
	Variation/waiver to LUO Section 2-466 to allow for the proposed lock-off unit configuration as shown in the Final PUD Plans.	Lock-off unit configuration consistent with LUO Section 2-466
	Variation/waiver to LUO Section 4-609-5 to extend the PUD vesting period from three (3) to five (5) years.	N/A. Applicant proposes to create a vested property right in PUD as amended for standard 3-year vesting period
	Variation/waiver to LUO Section 9-13 through 9-16 to allow for the "festoon" lights over the plaza area.	
		Amendment to PUD to allow for excess efficiency lodge and lodge density to be rezoned to condominium, employee apartment or employee dormitory density.
		A request for Town Council to create bonus density or MV density in the density bank to be transferred to the property for employee apartment or employee dormitory use, as needed.
		A request to allow for an administrative, staff level rezone and density transfer for additional employee density, as a class one staff level PUD amendment processed upon application of the owner of the employee housing unit only.
		All commercial space to be parked at 1.00 per 1,000 sf in accordance with existing PUD and LUO Section 7-301
		A replat request to adjust boundaries between Lot 109R and OS-3-BR-2, Village Center Active Open Spaced owned by the Town of Mountain Village. Village Center Open space when reconfigured would increase by 360 square feet with modified boundaries.
		A request for no build zones to allow for the establishment of assumed property lines for building code purposes
		A request for easements for building overhangs and encroachments and emergency egress from employee housing unit
		Reposition the 89 Lot access easement.

		The load and unload area is less than the dimensional requirements at CDC Section 17.5.8.C.10.a
		The load and unload area is not entirely contained within the building at CDC Section 17.5.8.C.10.d.ii.h.
		Conference Center to be offered to the public at market rate rather than comparable to the Conference Center.
		Westermere breezeway improvements and Westermere path improvements consistent with their proposed development plan and subject to 7.2.8 of the proposed development agreement.
		Roof Form per CDC 17.5.6.C.
		Wall material (no stucco proposed) per CDC 17.5.6.E.
		Glazing – uninterrupted areas of glass that exceed 16 square feet per CDC 17.5.6.G.5
		Decks and Balconies – long continuous bands per CDC 17.5.6.I.
		Commercial, Ground Level and Plaza Area Design Regulations – Storefront Design, Color Selection per CDC 17.5.15
		Garage Drive Aisle reduced from 22 feet to 18 feet approved by the fire marshal per CDC 17.5.8.C.3
		Exterior Lighting, shielded natural gas torches not downlit
		Commercial, Ground Level and Plaza Area Design Regulations To allow for a ski locker private unit on a Primary Pedestrian Plaza

	<b>Original PUD</b>	<b>Amendment Request</b>
<b>Specific Approvals</b>	Specific approval from the Town Council to allow residential occupancy on the plaza level for an Employee Housing Condominium (LUO Section 4-308-4).	N/A
	Specific approval from the DRB to allow tandem parking to be included as required parking (Design Regulations Section 7-306-2).	N/A
	Specific approval from the DRB to allow for modification of the tile roofing material, not design (Design Regulations Section 8-211-5).	N/A
	Specific approval from the DRB to allow for 2:12 roof pitch (Design Regulations Section 8-202)	N/A

		Materials- TPO membrane roof, metal fascia and soffit
		Solar roof tiles in the Village Center
		Road and Driveway Standards – 2 curb cuts
<b>Specific Approvals</b>		<b>Imposition of Town Requirement</b>
		To establish a parking requirement for dormitory use per CDC 17.5.8.A.5

# ATTACHMENT 6

Density Attachment #6 rev 5.24.22

## Density

### Approved Density pursuant to the PUD

Type of Zoning Designation Unit	Total Zoning Designation Units	Person Equivalent per Unit Type	Total Person Equivalents
Efficiency Lodge	66	.5	33
Lodge	38	.75	28.5
Condominiums	20	3	60
Employee Apartments	1	3	3
Commercial	20,164 sq ft	0	0
<b>TOTAL</b>			<b>124.5</b>

### Proposed Density

Type of Zoning Designation Unit	Total Zoning Designation Units	Person Equivalent per Unit Type	Total Person Equivalents
Efficiency Lodge	62	.5	31
Lodge	18	.75	13.5
Condominiums	22	3	66
Employee Apartments	2	3	6
Employee Dormitory	18	1	18
Commercial	26,468 sq ft		0
<b>TOTAL</b>			<b>134.5</b>

### Density Summary

The applicants will have the following excess or deficient density:

4 efficiency lodge unit zoning designations = 2 person equivalent – in excess

20 lodge unit zoning designations = 15 person equivalent – in excess

1 employee unit zoning designation = 3 person equivalent in deficit

18 employee dormitory designation = 18 person equivalent in deficit

2 condominium zoning designation = 6 person equivalent in deficit

Although at Section 17.4.9.D.6. f. notes, “Lodge, efficiency lodge, hotel and hotel efficiency zoning designations may not be rezoned to condominium zoning designations,” and further the town has not allowed efficiency lodge or lodge zoning designation to be rezoned to employee zoning designations, in this case applicant is proposing an amendment to an existing PUD and, pursuant to CDC Section 17.4.12.D.2.b.iv, zoning designations can be assigned to the property as part of the PUD amendment process provided, per CDC Section 17.4.12.D.2.b.ii, any related density transfers required are also made. On such basis, the applicant is asking that certain density formerly allocated to excess lodge and efficiency lodge zoning designations but no longer required for such purpose be updated to condominium and employee zoning designations. The applicant requests that the type, mix or configuration of individual Employee Apartments and Employee Dorms, including changes that result in increases or decreases in density used at the Project or in changes to use designations, may be initiated by the owner of

fee title to the Employee Housing Unit, without any requirement that such change be initiated or joined by owners of fee title to at least 67% of the real property within the PUD or an individual or entity having the written permission of owners of fee title to at least 67% of the real property within the PUD, provided the Employee Housing Unit continues to be used for Employee Apartment, Employee Dorm, and Employee Amenities (an "Employee Housing Unit PUD Amendment"). Applicant also requests an Employee Housing Unit PUD Amendment will be reviewed and approved by the planning division as a Class 1 Application, consistent with Code Section 17.4.3.K.1.



## SOLOMON LAW FIRM, P.C.

227 WEST PACIFIC AVENUE, SUITE A (REQUIRED FOR FEDEX)

PO BOX 1748 (REQUIRED FOR ALL U.S. MAIL)

JOSEPH A. SOLOMON, ESQ. TELLURIDE, COLORADO 81435

ATTORNEY AT LAW

E-MAIL: JSOLOMON@MONTROSE.NET

TEL (970) 728-8655

CELL (970) 729-2225

FAX (775) 703-9582

May 12, 2022

Town of Mountain Village Town Council  
c/o Town of Mountain Village Town Clerk  
455 Mountain Village Blvd. Suite A  
Mountain Village, Colorado 81435

Via E-mail: mvclerk@mtnvillage.org

Re: Lot 109R Application to Amend P.U.D.  
Town Council Hearing May 19, 2022

Dear Councilmembers:

I represent Westermere Condominium Owners Association, Inc. (Westermere). The purpose of this letter is to comment on the above matter.

In 2011, a project applicant for Lot 109R obtained Town approval for a very significant increase in height and density on this site.

The current applicant had a worksession with Town Council on December 16, 2021, seeking to increase the parameters of the project. At that time, the Westermere along with other neighbors advocated to stick with the 2011 approval. At the worksession, the applicant stated it was not seeking variances beyond the 2011 approval.

Now, however, the applicant has applied to significantly increase the project height. The applicant is asking to increase the max height from 88'9" by nearly 8' to 96'8" and increase the average height from 65'2.9" by over 17' to 82.46'. The "modern" flat roof design simply allows this applicant to drastically increase the amount of product for sale and is inconsistent with Town Design Regulations.

This request should be denied. Again, in 2011, the Town already granted this Lot a significant height increase.

## ATTACHMENT 7A

Town of Mountain Village Town Council  
May 12, 2022  
Page 2

The buildings in the immediate area tend to be fairly consistent and compatible with each other. The massive building proposed by this applicant overwhelms the adjacent buildings. See the enclosed computer generated view, marked.

Westermere respectfully requests that the DRB deny the requested height increase.

Thank you for your consideration of these comments.

Sincerely,

A handwritten signature in black ink, appearing to read 'Joseph A. Solomon', written over a horizontal line.

Joseph A. Solomon, Esq.

Enc.

cc:  
Westermere Board of Directors  
Full Circle HOA Management



Massive building is out of scale with adjacent structures



## ATTACHMENT 7B

To: Mountain Village Design Board:

On behalf of the See Forever 2 HOA, the board is writing to express its strong opposition to the proposed development. We see several issues:

1) Our understanding is that work is being done on developing a master plan for Mountain Village to ensure that we do not lose the unique ambiance of our community and that growth is managed in a planful way appropriate for our community. We also understand that there are several hotels being proposed for the area immediately surrounding the Village core, and that at least one of these (proposed development by the gondola) is also requesting significant variance modifications in terms of design aesthetics. We question why the zoning board is considering multiple individual proposals piecemeal, rather than waiting to finalize an integrated and holistic approach to development that ensures consistency in design and is aligned with the current fabric of our town. The slope we step on by approving 1 or 2 design variances on a case by case basis might indeed be slippery and result in an overall community design impact that was not intended.

2) Based on the proposal, the developer is requesting a variance to the height restrictions, proposing a structure over 96 feet tall. What is the rationale for having a building of this height that violates building codes that I assume were thoughtfully developed? (It appears from the on line resource that 60 feet is the zoning limit in the Village, so this is a 50% increase in maximum height). It seems that every proposed development asks for variances. If they are all approved there will no longer be a standard. In addition, a building of this height will certainly diminish views from many of our See Forever properties and potentially block most sun exposure for some of our current residents. This big structure that is proposed will cause current See Forever owners to lose much of their view of the ski mountain and instead stare at the hotel. It will have a significant negative impact on property values for existing residents. I am sure that when owners purchased in Mt Wilson, they realized that the adjacent area would some day be developed. But I am also sure that they believed that the new development would adhere to the Villages' mountain resort design standards, and would not be taller than what was approved at the time of their purchase. I suspect that had people known that a 96 foot tall building would be built next door, many would have chosen not to purchase. Now they risk being stuck with a property that loses significant value due to the proposed large building that will be adjacent. The developer is asking for a variance to allow a 7 story modernistic building in Mountain Village. Just think about that. It certainly does not fit.

3) Based on the pictures, the # of units in less than 1 acre appears very dense. How does this density fit with the master plan for the town? The proposal indicates that there are 102 rooms planned for this small acreage, plus an additional 22 units for employees. I believe that the zoning currently calls for a building to have maximum lot coverage of 65% (according to the on line reference material). Is that being adhered to in this new development? How is the proposed density at all consistent with the current image, feel, and population of the town? This building proposal will transition Mountain Village towards an urban resort. Not a mountain retreat.

4) The proposed design is contemporary. It reminds me of the Squibb building in Princeton New Jersey. It certainly does not appear consistent with the overall feel of Mountain Village. There is nothing "mountain" about that. Consistent with a high tech office, absolutely. With a mountain resort, no.

5. Walkway. It appears that the walkway from See Forever into the Village Core will be protected. This is an absolute requirement. Owners and guests of See Forever must have a direct pedestrian walkway into the core. We cannot be forced to walk up or down to a street to get into the village. Whatever design is ultimately approved, this unfettered direct walkway access must be required.

On behalf of See Forever Owners, we are adamantly opposed to this project as proposed. We understand that development will happen. We are comfortable with that, so long as it is consistent with the zoning and design standards that are currently in place. We bought our properties based on the Village's commitment to maintaining the unique mountain resort feel, which we believed was protected by zoning. But the modern, tall structure that is proposed is counter to the essence of Mountain Village. It represent a skyscraper in our community. It is being done ad hoc, rather than as part of the comprehensive vision for the town which has been communicated. It is difficult to rationalize proceeding with 1-off developments and changing zoning variances on a case by case basis (2 recent variance proposals....the "5 star" luxury hotel by the Gondola, and now this one) when we are supposedly defining the longer term vision for the community to ensure we manage growth in a manner consistent with what Mountain Village has stood for.

The recent development proposals would indicate that Mountain Village's goal is to replicate Vail, but without the freeway. We residents of See Forever, and I suspect of all of Mountain Village, bought here because we did not want that. We reside in Mountain Village instead of Telluride town because we like the open spaces. We did not buy property here because we wanted to live in a community of densely situated high rises. And for our See Forever owners, we did not purchase our property thinking that zoning would be changed in a way that would negatively impact our home's values.

Sincerely

Bill Nictakis

HOA President. See Forever 2

## Project Summary

### Lot 109R (North Village Parking Lot)

\* Purchased by the Developer (from Jupiter, FL) on 10/15/21 for \$7 million:

Click to view

listing(s) <<https://www.flexmls.com/link.html?1oanfvwrf69,2,1,80692>>

\* .82 Acre Lot zoned hotel, commercial, residential

\* Building Design is stepped structure with receding balconies. 25% stone with metal panels, wood columns and a Corten Steel finish. Architect is Vault Design from Golden, CO

\* Proposed Maximum Building Height = 96' 8"

\* Proposed Average Building Height = 83' 6"

\* Proposed Hotel Operator = <https://www.sixsenses.com/en>

\* Proposed commercial spaces include restaurant, spa, retail, speakeasy and wedding venue

\* See attached proposed Unit Mix

\* See attached architectural renderings

\* To achieve approvals for this project, it will require approval by the Town of Mountain Village Design Review Board and then approval by the Mountain Village Town Council with 2 formal public hearing readings of the project.

\* The Design Review Board meeting to begin the project review is scheduled for May 5, 2022 at 10am MT (Formal agenda has yet to be published)

\* Resident and constituent feedback must be sent at least 48 hours prior to the public hearings to [cd@mtnvillage.org](mailto:cd@mtnvillage.org)

\* Current Design Review Board

materials: [https://townofmountainvillage.com/site/assets/files/37401/109r\\_design\\_review\\_materials.pdf](https://townofmountainvillage.com/site/assets/files/37401/109r_design_review_materials.pdf)



VAULT DESIGN, LLC  
 1440 W 8TH ST. #2309  
 GOLDEN, CO 80401

**MOUNTAIN  
 VILLAGE HOTEL  
 109R**

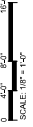
**LOT 109R  
 MOUNTAIN VILLAGE, CO**  
 Project Number

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NO.	DESCRIPTION	DATE	BY

**MAJOR PUD  
 AMENDMENT**  
 04.04.2022

SHEET NO.  
**A-0.P4**  
**PERSPECTIVE  
 RENDERINGS**



VAULT DESIGN, LLC  
1440 W 8TH ST. #2309  
GOLDEN, CO 80401

**MOUNTAIN  
VILLAGE HOTEL  
109R**

**LOT 109R  
MOUNTAIN VILLAGE, CO**  
Project Number

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NO.	DESCRIPTION	DATE
1	REVISION	10/10/2022

MAJOR PUD  
AMENDMENT  
04.04.2022

SHEET NO.  
**A-0.P1**  
PERSPECTIVE  
RENDERINGS



0 10' 20' 30'  
SCALE: 1/8" = 1'-0"

VAULT DESIGN, LLC  
1440 W 8TH ST. #2309  
GOLDEN, CO 80401

# MOUNTAIN VILLAGE HOTEL 109R

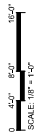
LOT 109R  
MOUNTAIN VILLAGE, CO  
Project Number

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NO.	DESCRIPTION	DATE/STATUS	BY

MAJOR PUD  
AMENDMENT  
04.04.2022

SHEET NO.  
**A-0.P2**  
PERSPECTIVE  
RENDERINGS



VAULT DESIGN, LLC  
1440 W 8TH ST. #2309  
GOLDEN, CO 80401

# MOUNTAIN VILLAGE HOTEL 109R

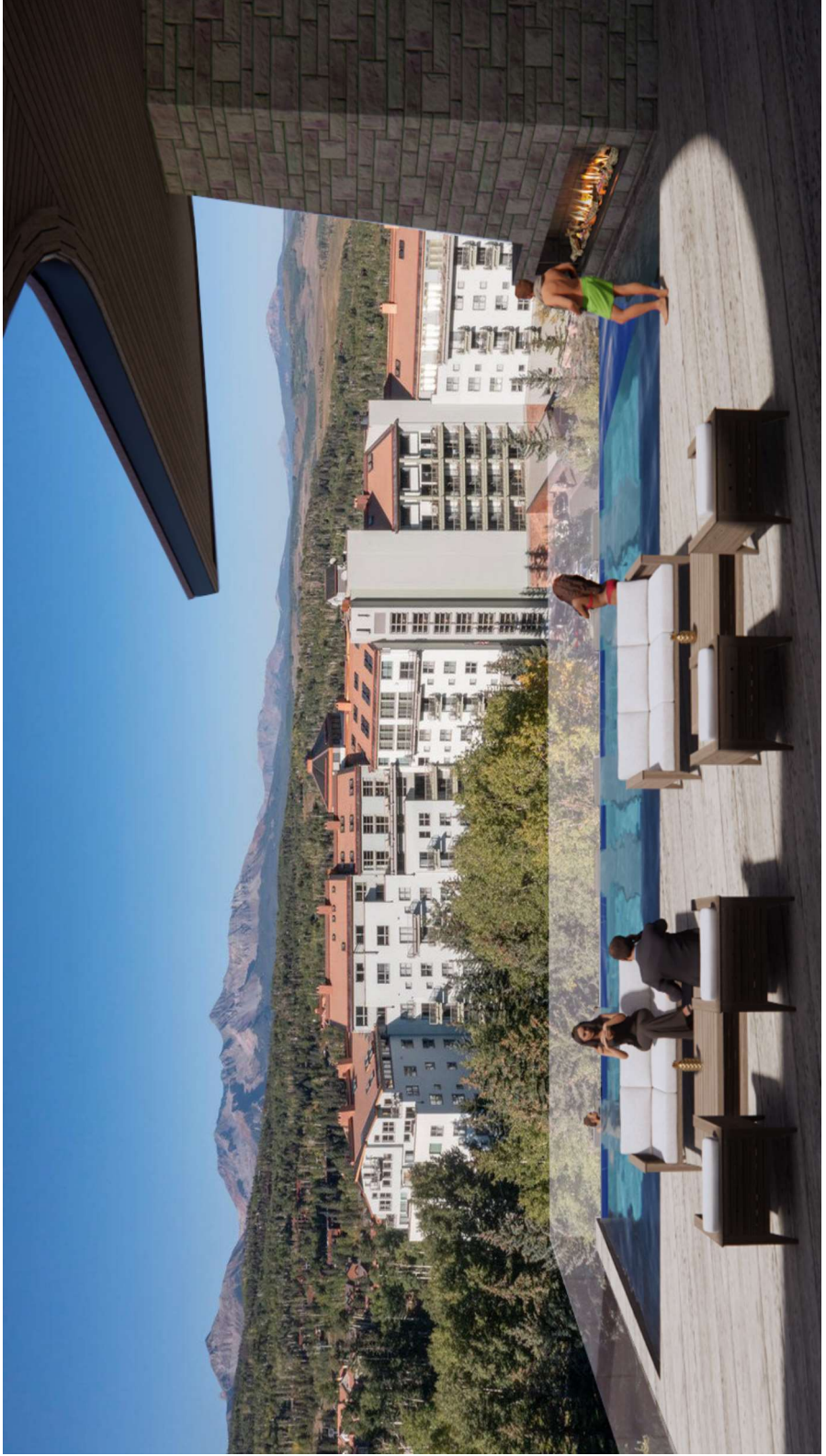
LOT 109R  
MOUNTAIN VILLAGE, CO  
Project Number

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NO.	DESCRIPTION	DATE/ISSUE	STATUS

MAJOR PUD  
AMENDMENT  
04.04.2022

SHEET NO.  
**A-0.P3**  
PERSPECTIVE  
RENDERINGS



0 10' 20' 30'  
SCALE: 1/8" = 1'-0"



VAULT DESIGN, LLC  
 1440 W 8TH ST. #2309  
 GOLDEN, CO 80401

**MOUNTAIN  
 VILLAGE HOTEL  
 109R**

LOT 109R  
 MOUNTAIN VILLAGE, CO  
 Project Number

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NO.	DESCRIPTION	DATE/REVISION
-----	-------------	---------------

MAJOR PUD  
 AMENDMENT  
 04.04.2022

SHEET NO.  
**A-0.P5**  
 PERSPECTIVE  
 RENDERINGS



0 10' 20' 40' 80' 160'  
 SCALE: 1/8" = 1'-0"

## UNIT SUMMARY

LEVEL	UNIT TYPE	UNIT G.S.F.	COUNT	UNITS BY FLOOR	G.S.F
LEVEL 01A (MEZZ)	EMPLOYEE HOUSING	TBD	TBD	TBD EMPLOYEE UNITS	14,609
LEVEL 02	HOTEL MOD.	491 - 749	24	31 HOTEL UNITS	32,297
	HOTEL JR. SUITE	625 - 875	3		
	HOTEL SUITE	826 - 1199	4		
LEVEL 03	HOTEL MOD.	507 - 722	24	31 HOTEL UNITS	31,622
	HOTEL JR. SUITE	621 - 744	3		
	HOTEL SUITE	827 - 1165	4		
LEVEL 04	1 BR APARTMENT	740 - 938	8	18 APARTMENT UNITS	30,473
	1 BR APARTMENT + B/A	1009 - 1125	3		
	2 BR APARTMENT	1128 - 1388	7		
LEVEL 05	2 BR CONDO	1374 - 1994	7	10 CONDO UNITS	30,288
	3 BR CONDO	2124 - 2340	3		
LEVEL 06	3 BR CONDO	1616 - 2123	5	5 CONDO UNITS	29,412
LEVEL 07	3 BR CONDO	1595 - 1773	2	7 CONDO UNITS	23,990
	4 BR CONDO	2312 - 3770	5		
<b>TOTALS</b>					<b>192,691</b>

## UNIT MIX

	RESIDENTIAL UNITS:	TOTALS		HOTEL UNITS:	TOTALS		
	EMPLOYEE	21	21	HOTEL MOD		48 (77%)	62
	1 BR APARTMENT	11	18	HOTEL JR. SUITE	06	14 (23%)	
	2 BR APARTMENT	07		HOTEL SUITE	08		
	2 BR CONDO	07	22				
	3 BR CONDO	08					
	3-4 BR PENTHOUSE CONDO	07					

Dear members of the Mountain Village Design Review Board and Town Council...

As owners of cabins and condominiums making up the community of See Forever Village, we are writing to you to express our strong and cohesive opposition to the proposal from Tierra Telluride seeking the town's approval for its hotel development on lot 109R. We don't oppose development; we support it. Provided however, it is within the scope and context of "existing zoning." In this case, we have two significant concerns: (1) Life safety due to density and subsequent traffic and lack of ingress/egress to and from the town of Mountain Village, and (2) the variances underlying this pending request from the original zoning of this lot.

Public safety is one of the most concerning aspects of this proposed development. Traffic in recent years has already grown here in our upper corner of Mountain Village as it moves to and from the Peaks and the condo communities and homes along Mountain Village Boulevard and Country Club Drive. Never mind that traffic from the entry to Mountain Village off of 145 to the core has grown dramatically. More important about this growth, however, are the related safety and access concerns this development project raises for the town.

Think of it in the context of what Mountain Village is... a small populated town on a mountain side having what is basically a single two-lane road running through it with one entry and exit point. Our main road has no second exit. This proposed hotel, as a third major establishment located at one of the farthest residential reaches of the Village, raises a question of what happens in a fire emergency or other catastrophic event affecting that new hotel, the Peaks, the Madeline, the Franz Klammer, or other residences in the vicinity. Imagine an elongated fire truck, or a number of them, running up to an emergency situation... a quickly spreading wildfire or something requiring evacuation of one of these large hotel/condos. Where do these vehicles maneuver; how do they maneuver? The road near us and in and out of the Village is narrow in a number of places with close or no shoulders, and emergency vehicles could get clogged in traffic or lodged in one direction, especially under conditions requiring rapid evacuation of residents and visitors. We have one fire house, one core of emergency vehicles, one med center that is not even in town. And only one usable way out of town.

Where is the developer's input from the town's emergency services, fire department, police, and San Miguel public health on this issue?

Beyond the road dilemma and its safety concerns, building another major hotel raises questions about stresses on our overall infrastructure... our water supply and capacity, our waste lines and treatment, all of our other utilities, our already congested gondola, and our health services. How many times in recent years have we had to put restrictions on our water use? And with that, how many times has our beautiful valley been engulfed with smoke from summer wildfires nearby? How many times in peak winter and summer periods are we seeing gondola lines in the Village or in town with long waits to ride... even as much as an hour. With the new hot beds and increased staff from this project and the pending 4 Seasons development, what would another 1,000 or 1,500 daily riders mean? And where's our hospital... not ready yet? How many more sick or injured people are we going to transport to Montrose or Grand Junction until it is?

We ask: “With the abundance of these major stresses on Mountain Village’s principal roadway, infrastructure and resources, are we putting the cart before the horse in authorizing projects of this magnitude?”

Add to this our employment stresses. Even if they propose employee housing in their build, aren’t our communities already stressed from a lack of workers to fill current jobs--a problem that's only grown more severe over the years. It’s not fleeting, not new, just worse year after year. If our current business owners already struggle with staffing issues, how will a new large luxury hotel meet their needed staffing? Will they poach them from the Peaks... from the Madeline, the Klamer? The developers are aspiring to create a 5-star hotel with more than 120 hotel rooms, condos, lodge rooms, and lock offs and providing upscale services, spa facilities, and restaurant dining... What will it take? 150 employees? 200 employees? ... maybe 250?

The enormity of their new structure itself is off putting. Nothing of its size has been proposed so close to us in See Forever Village, on such a small parcel of land. Perhaps other prospective developers recognized this and looked elsewhere in the past. Most of us See Forever owners are “for” continued development in Mountain Village, but for “smart” development that recognizes the town’s limitations, respects the quality of life of others, that attempts to fit in, and that doesn’t cause obstructions. A 97-foot high building that towers over our homes changes the character of our community. It’s not for us who live here and help to make Telluride the special place that it is. Above, below, and to its sides, the physical structure of this proposed hotel doesn’t fit. It’s as if the developers and their architects were enamored by a vision of their development in isolation, ignoring or oblivious of the community and homes it abuts. It is not smart development by ignoring established communities solely for the financial benefit of its developers. And in this way, the project sets a precedent for future developers and developments... “anything goes”.

And what then can we expect from the other major projects that Telski and other developers have broached for consideration? Where exactly does this development fit in the framework of our new master plan? The excuse has to be more than the higher density the plan may allow. Is Tierra Telluride just first in the line of elephants in the room?

We respectfully request that you reject the developers request to build this project or until substantial changes are made consistent with the original zoning for the lot.

Virginia and Bill Howard  
David and Gretchen Koitz  
Perch and Judy Nelson  
Faisal and Amber Adil  
Chris Fawzy  
Bill and Jean Nictakis  
Cindy Landon  
Dale and Chenault Boden  
Eric Madden and Emily Crew  
Elizabeth Moore  
Rich and Jilliane Hoffman  
Bill and Jean Nictakis  
Kate and Nigel Cooper  
Jack Roth

Dan Reedy  
Dennis Dautel  
Tom Barenberg  
Andrew Czekak  
Sheryl and Gary Wood  
Doug Hitchner  
Zach Lee  
Ruston and Heather Vickers  
Caitlin Davis and Lackland Bloom  
Pete and Peggy Miller  
Kathleen and Joe Howell  
Cyndi Bock  
Fredrik & Danielle Eliasson  
Mark F. Mai

# ATTACHMNET 7C

**From:** [Susan Johnston](#)  
**To:** [Michelle Haynes](#)  
**Subject:** FW: LOT 109R  
**Date:** Friday, May 13, 2022 3:08:38 PM  
**Attachments:** [image001.png](#)

---

Susan Johnston  
Town Clerk  
Town of Mountain Village  
O::970.369.6429  
M::970-729-3440

[Website](#) | [Facebook](#) | [Twitter](#) | [Instagram](#) | [Email Signup](#)

---

**From:** Paul Wisor <[pwisor@mtnvillage.org](mailto:pwisor@mtnvillage.org)>  
**Sent:** Thursday, May 12, 2022 10:50 PM  
**To:** Jean Nictakis <[jeannictakis@gmail.com](mailto:jeannictakis@gmail.com)>; council <[council@mtnvillage.org](mailto:council@mtnvillage.org)>  
**Subject:** RE: LOT 109R

Ms. Nictakis,

Thank you for your email. This communication serves as confirmation Council has received your correspondence. To clarify, as a matter of procedure, Council will be continuing the 109R agenda item, and will not be making substantive consideration of this matter on May 19th.

Thanks,

Paul

Paul F. Wisor  
Town Manager  
Town of Mountain Village  
455 Mountain Village Blvd, Suite A  
Mountain Village, CO 81435  
C :: 970.729.2654



---

**From:** Jean Nictakis <[jeannictakis@gmail.com](mailto:jeannictakis@gmail.com)>

## ATTACHMENT 7D

**Sent:** Thursday, May 12, 2022 10:53 AM

**To:** council <[council@mtnvillage.org](mailto:council@mtnvillage.org)>

**Subject:** LOT 109R

Dear Mountain Village Town Council,

I understand that you will be discussing the proposed development of Lot 109R at your May 19th meeting, and I wanted to share my concerns with you.

I live in See Forever and was relieved to see a walking path maintained into the core; however, the developer made it clear to the Design and Review Board that he did not have to have that easement for us. I want to be sure that any development will be **required** to have a permanent easement for the residents of See Forever to walk into the central core without having to walk on the side of the streets.

I join the many voices of Mountain Village residents who are gravely concerned about the overall height and massive scale of this property sitting virtually on top of Mountain Village Boulevard. Our residents worked hard on our General Plan and approved a plan that you all designed, and this development is requesting huge variances that will nullify our common goals.

I urge the Town Council to hold firm to our community standards while approving development in Mountain Village. Please do not approve these variances that will create a massive building out of scale with our community creating multiple safety hazards. Developers will continue to build in our beautiful and prosperous community without making such compromises.

Thank you,  
Jean Nictakis  
See Forever, Unit 119

# ATTACHMENT 7E

**From:** [Anton Kress](#)  
**To:** [cd](#)  
**Subject:** Pond lot hotel  
**Date:** Thursday, May 12, 2022 5:21:48 PM

---

First off, these new hotels going in are going to be an eyesore. However, since they're going to go in no matter what:

Plan for extra parking spaces for the public.

Plan for employee housing to staff the hotels.

Plan for garbage and recycling; your current facilities are maxed out.

Plan for underground delivery/services so you don't have delivery/ service trucks clogging up main thoroughfares.

Magically come up with more terrain for people to snowboard/ ski since the acreage of the mountain is very small compared to other resorts.

I doubt you'll take these considerations seriously, but it's gonna be hilarious watching the Town of Mountain Village screw this up.

Best of luck!

Yours truly,

Anton Kress



# ATTACHMENT 7F

1 To: Town Council, Town of Mountain Village  
2 Design Review Board, Town of Mountain Village  
3 From: John Horn  
4 Date: May 14, 2022  
5 Re: Comprehensive Plan Amendment  
6 -Connecting the Dots  
7

8 As a member of this community, I have attempted to stay abreast of four extremely significant matters  
9 currently being considered by the Town:

- 10  
11 A. Amendment of the Comprehensive Plan.  
12 B. Ordinance regarding amending Chapters 16.01, 16.02, 17.3, and 17.9 of the Community  
13 Development Code concerning affordable housing restrictions and adopting housing impact  
14 mitigation requirements.  
15 C. Major Planned Unit Development application to develop Lot 161C-R and Lots 67, 69R-2, 71R  
16 and OS-3Y, by Merrimac Fort Partners, LLC.  
17 D. Major Planned Unit Development Amendment to the Lot 109R Planned Unit Development,  
18 commonly called the Mountain Village Hotel PUD, by Tiara Telluride, LLC.  
19

20 Additionally, I am attempting to stay current with TSG's potential development in the vicinity of the  
21 Peaks hotel as presented at the November 18, 2022 Town Council meeting. Trying to stay abreast of  
22 these five projects is nearly a full-time job, my sympathy to the Town Council and DRB for the time  
23 demands placed on them by these projects.  
24

25 While I have given it my best effort, I find myself a bit confused and unable to connect some of the dots  
26 that appear to tie these projects together. My purpose in submitting this memorandum is to hopefully  
27 have the Town Council explain how the dots are connected.  
28

## 29 1. Workforce Housing

### 30 The Crisis

31 In their March 10, 2022 memorandum to Town Council and DRB for the joint meeting on March 17,  
32 2022, Michelle Haynes, Planning and Development Services Director, and Paul Wisor, Town Manager  
33 stated:  
34

35  
36 *"The Town of Mountain Village, and the Telluride region as a whole, is in the midst of a housing*  
37 *crisis that directly threatens the quality of life of every Mountain Village resident, second*  
38 *homeowner, business, and visitor. From entry level restaurant workers to top level ski executives,*  
39 *and every other position in between, these critical roles are going unfilled, in large part, because*  
40 *such workers and their families lack viable housing options within or near Mountain Village.*  
41 *Unless this crisis is addressed, the basic services and amenities that make Mountain Village a*  
42 *place like no other, will be diminished or eliminated altogether. Adoption of community housing*  
43 *mitigation directly addresses the impact new construction has on the associated housing need*  
44 *generated by new development. Housing would then be satisfied through built units, payments*  
45 *or within a hierarchy of approaches to satisfy the requirement acceptable to the town."*  
46

47 Pretty clear message, pretty sobering. It appears this message was based in part on the August 30, 2018  
48 San Miguel County Housing Needs Assessment as well as recent work done by Town consultants. Two  
49 excerpts from the Needs Assessment appear relevant to this discussion:

50  
51 1.1 “8. The current housing need in San Miguel County is defined by the existing deficit (catch-up)  
52 and the projected need over the next 10 years (keep-up).

53 Current catch-up need for housing is estimated by evaluating potential housing demand from  
54 the number of unfilled jobs, as reported by employers, and the number of in-commuters who  
55 would prefer to move into the County. Total catch-up housing need is estimated at 441 units (64  
56 units from unfilled jobs and 377 from in-commuters).” (page 13)

57  
58 This excerpt shows that as far back as 2018, San Miguel County had a deficit of 441 units. Current  
59 experience seems to clearly tells us this deficit has only gotten worse.

60  
61 1.2

Housing Need by Area (Emp. Dist.) [4]		
Telluride	37.7%	122
Mountain Village	35.8%	116
Norwood	4.6%	15
Other	<u>21.9%</u>	<u>71</u>
<b>Subtotal</b>	<b>100%</b>	<b>325</b>
Housing Need by Sector [5]		
Recreation/Entertainment	23.7%	77
Other occupation	19.4%	63
Professional Services, Real Estate, and Finance	19.3%	63
Bar, Restaurant, and Lodging	12.8%	42
Retail sales	11.3%	37
Health Care	8.4%	27
Construction	5.1%	17
Education and Child Care	0.0%	0
Government	<u>0.0%</u>	<u>0</u>
<b>Subtotal</b>	<b>100.0%</b>	<b>325</b>

Page 91

64  
65 This Needs Assessment table provides two key data points:

66  
67 1.3 Mountain Village had, at a minimum, a deficit of 116 units in 2018. Again, current experience  
68 seems to clearly tells us this deficit has only gotten worse.

69  
70 1.4 The “Housing Needs by Sector” portion of the table does not include a category for hotels  
71 and, therefore, the 116-unit deficit does not appear to include demand generated by any new  
72 hotel developments in the Mountain Village.

73  
74 The Housing Mitigation Ordinance  
75 The first reading of the Ordinance Amending Chapters 16.01, 16.02, 17.3 and 17.9 of the Community  
76 Development Code Concerning Affordable Housing Restrictions and Adopting Housing Impact Mitigation  
77 Requirements was passed by Town Council on April 21, 2022. This ordinance requires developers of  
78 hotels to mitigate 40% of affordable housing demand generated by the development. As stated in the  
79 February 10, 2022 memorandum from Andrew Knudtsen and Rachel Shindman, Economic & Planning

80 Systems, the 40% requirement was “set to be consistent with historic position of the region, at 40% for  
81 commercial and 60% for residential”.

82  
83 However, delving deeper into the proposed ordinance, if an application for the development is  
84 submitted in 2022, then the developers are only required to mitigate 25% of the 40% requirement;  
85 doing the math, the developers are only required to mitigate 10% ( $40\% \times 25\% = 10\%$ ) of the affordable  
86 housing demand generated by the development. But it gets worse, if the developer provides the  
87 housing in Mountain Village, then, pursuant to the ordinance, the requirement is reduced by 30%; doing  
88 the math, the developers are only required to mitigate 7% ( $40\% \times 25\% \times 70\% = 7\%$ ) of the affordable  
89 housing demand generated by the development.

90  
91 In summary, the housing ordinance passed on first reading will only require the developer of a hotel  
92 who files their development application in 2022 to mitigate 7% of the housing demand generated by  
93 their project if the housing is built in Mountain Village and 10% if it is bought out or built outside of  
94 Mountain Village. Who provides and pays for the other 90% to 93%?

95  
96 Help Needed to Connect the Affordable Housing Dots  
97 San Miguel County estimated that the Lot 161C-R/Pond Lots PUD will generate 200 employees; this  
98 number may be low. For this discussion, we will assume both the Lot 109 PUD and the Peaks Expansion  
99 will each generate 200 employees; a total of 600 employees. Based on the current draft of the housing  
100 mitigation ordinance, each of those three developments will only have to provide housing for between  
101 14 and 20 of the 200 employees needed to operate the development; between 42 and 60 for the 600  
102 employees needed to operate all three developments. The result is that the community will be tasked  
103 with providing housing for between 180 and 186 employees for each development; between 540 and  
104 558 for all three developments. Using the “historic position of the region, at 40% for commercial” has  
105 left us in a “in the midst of a housing crisis that directly threatens the quality of life of every Mountain  
106 Village resident, second homeowner, business, and visitor” with at least a shortage in 2018 of 441 units  
107 in the County and 158 ( $441 \times 35.8\% = 158$ ) in the Mountain Village. It appears we are digging our hole a  
108 whole lot deeper.

109  
110 Can someone please connect the affordable housing/hotel dots for me by explaining the following:

111  
112 1.5 How can continuing to use the “historic position of the region, at 40% for commercial”  
113 (actually 7%-10% under the proposed ordinance) that has placed us in a current “housing crisis”  
114 solve our existing crisis and not, instead, greatly increase the crisis?

115  
116 1.6 How, in good conscious, can our community approve hotel projects for which no concrete  
117 solution or financial commitments are in place to provide housing for 90% to 93% (180 and 186  
118 employees for each development; between 540 and 558 for all three developments) of the  
119 employees needed to operate the hotels? Will the burden will fall on the members and  
120 taxpayers of this community.

121  
122 1.7 How, in good conscious, can our community approve hotel projects in which the developers  
123 are only responsible for providing housing for 7% to 10% of the employees needed to operate  
124 their hotels?

125  
126 1.8 The Town’s 5/12/2022 4:07 PM community-wide email Re: Lot 161CR Hotel PUD sketch DRB  
127 hearing May 17 states “The application also is proposing roughly 3,000 square feet of dorm-style

128 *employee housing on site.*” Is the Town really considering approving a project that will require  
129 over 200 employees to only provide “3,000 square feet of dorm-style employee housing on  
130 site”? At 250 square feet per dorm room, 3,000 square feet equates to 12 dorm rooms. 12 dorm  
131 rooms do not even meet the 14 to 20 person minimum requirement under the deficient  
132 requirements of the proposed affordable housing requirements. Please help me connect the  
133 dots and make sense of this.

134  
135 1.9 What is the plan?

136  
137 At the March 17, 2022 joint Town Council/DRB meeting, it appears Councilperson Duprey may have  
138 been struggling to connect similar dots:

139  
140 “And I’ll make one other series of comments. I think there’s also a staging here that I don’t think  
141 is reflected. You can’t build two hotels and staff them without affordable housing. And that’s  
142 never really discussed. Affordable housing has got to come first and then you can staff your  
143 hotels. I don’t know where all the employees would live.” (Time stamp - 4:35:11)

144  
145 I listened to the balance of the meeting, and I did not hear an answer to Councilperson Duprey’s  
146 question; I did not hear an answer to my questions. I’d really appreciate it if Council would answer  
147 Councilperson Duprey’s and my questions.

148  
149 2. Hotbeds

150  
151 Overwhelming Community Concern

152 After viewing the March 17, 2022 joint Town Council/DRB meeting, I must confess that I am more  
153 confused now than before I viewed the meeting. Hopefully, someone can help me connect some more  
154 dots. Perhaps it is best to start with a few facts so we are all on the same page.

155  
156 1. On page 6 of the Comprehensive Plan Community Survey Results it states:

157  
158 “Year-round residents of Mountain Village are most concerned with increased density  
159 (50%), the impact on community character (41%) . . . The most-frequently selected  
160 concerns for part-time residents were increased density/more people in town, on the  
161 mountain, and on trails (57%); the impact on community character (49%)”.

162  
163 These survey results were overwhelmingly confirmed in the two tranches of public comments that were  
164 submitted on the two drafts of the Comp Plan. Councilperson Duprey summed up the community’s  
165 position at the March 17, 2022 Council meeting:

166  
167 “It was throughout the public comment last meeting, but it was to maintain the unique  
168 community character, and preserve natural areas and protected open space, and development  
169 and growth should be done carefully. And I said I think that’s where 90% of the community is.  
170 They’re not looking for an economic bonanza. They’re looking for I think small increments of  
171 improvement, a little bit better restaurant, things like that, but they don’t want 5,000 more  
172 people on the slopes.” (Time stamp - 4:33.41)

173  
174 “To me I think this is the hotbed plan and I think the community is really pushing back on it.”  
175 (Time stamp - 4:35:03)

176  
177 Mayor Benitez cogently summed up the community's position at the March 17, 2022 Council meeting:  
178

179 "I'm seeing 98% of our residents coming at us with a very clear message. I mean, it would be the  
180 height of ego for me to ignore that type of feedback. And they're very clear, they're saying the  
181 Pond Lots, 161C-R and 109R. Let's build that out, let's see how our community can sustain it and  
182 then, at that point, a future Council in 5 years or 10 years can make a decision. They don't even  
183 want to see these other potential hotbeds on there. They know they're there and if a developer  
184 comes in, they all have the right at any point to bring an application to Council nothing stops  
185 them from that and the community knows that. **But when they think of what their aspirations**  
186 **are, I think they are as clear as can be** . . . we need to be mindful, that our community is saying  
187 something to us. Yea, the seven of us were elected but that doesn't make us above their will.  
188 They're pretty specific, about what they'd like to see. You know, I've always said the Peaks  
189 expansion of the Peninsula should possibly still be on there and I'm wondering you know what,  
190 do we just wait, if they're ready do they just come forward with a development application and  
191 we take it as they come. **But aspirationally, do we listen to our community?**" (Time stamp -  
192 4:30:10) (Emphasis added).  
193

194 "And I didn't think I'd be here; I mean it's just a very overwhelming volume of feedback that's  
195 gotten me here." (Time stamp - 4:34:45)  
196

197 Taken together, Councilperson Duprey's and Mayor Benitez's comments accurately sum up the position  
198 and aspirations of the community:  
199

200 2.1 Maintain the unique community character, preserve natural areas, protect open space and  
201 development and growth should be done carefully.  
202

203 2.2 In terms of hotbed development, the Lot 161C-R/ Pond Lots and Lot 109R projects are  
204 acceptable; all the other hotbed projects should be deleted from the Comp Plan.  
205

206 2.3 The community is not looking for an economic bonanza.  
207

208 At different times during the meeting, members of the Council, staff and consultants acknowledged that  
209 the Comp Plan should reflect the current aspirations of the community. As noted by Councilperson  
210 Duprey's and Mayor Benitez's comments, the community's current aspirations are crystal clear, limit  
211 hotbed development to the Lot 161C-R/ Pond Lots and Lot 109R projects. As Mayor Benitez pointed out,  
212 a future Council in 5 years or 10 years can revisit the issue of hotbeds in other locations and, if the  
213 community's aspirations have changed, then the future Council can amend the Comp Plan to identify  
214 additional hotbed locations; but for now, the Comp Plan should reflect the current aspirations of the  
215 community and limit hotbed development in the Comp Plan to the Lot 161C-R/ Pond Lots and Lot 109R  
216 projects.  
217

218 Help Needed to Connect the Hotbed Dots

219 Can someone please connect some Comp Plan hotbed dots for me by explaining the following:  
220

221 2.4 Everyone agrees the Comp Plan should reflect the current aspirations of the community. As  
222 Mayor Benitez stated at the March 17, 2022 Council meeting, it is the community's current

223 aspiration that the Lot 161C-R/ Pond Lots and Lot 109R projects are the only hotbed projects  
224 acceptable to the community that should be included in the Comp Plan.

225  
226 2.4.1 At the March 17, 2022 meeting, contrary to the clear aspirations of the  
227 community, why did the Council unanimously direct the consultants to include the  
228 following project in the High Priority Proposed Hot Bed Sites table in the main body of  
229 the draft Comp Plan:

230  
231 Parcel A-1 Lots 122, 123, 126, OS-1R1. Peaks North Peninsula

232  
233 2.4.2 At the March 17, 2022 meeting, contrary to the clear aspirations of the  
234 community, why did the Council unanimously direct staff and the consultants to include  
235 the following six project in the Other Potential Hot Bed Sites table in an addendum to  
236 the draft Comp Plan:

237  
238 Parcel A-4 Lot 128: Telluride conference Center Expansion  
239 Parcel G: Gondola Station  
240 Parcel C-1: 89 Lot  
241 Parcel K: Magic Carpet  
242 Parcel O: TSG Clubhouse  
243 Lot F: Town Hall Center

244  
245 2.5 Shouldn't the Council follow Mayor Benitez's observation that a future Council in 5 years or  
246 10 years can revisit the issue of hotbeds in other locations (i.e., the 7 locations identified in  
247 paragraphs 2.4.1 and 2.4.2) and, if the community's aspirations have changed, amend the Comp  
248 Plan to include additional hotbed locations in the Comp Plan; but for now, delete the 7 other  
249 locations from the Comp Plan? By following Mayor Benitez's observation won't the Council be  
250 respecting the current aspirations of the community?

251  
252 2.6 At the March 17, 2022 Council meeting the following discussion occurred before the Peaks  
253 Peninsula project was chosen to be included in the Targeted Hot Bed Sites table in the body of  
254 the Comp Plan:

255  
256 Mayor Benitez: "And I just want to reiterate, that if there is a plan that the Peaks has  
257 developed for that property, we are not delaying you submitting an application and  
258 moving forward, I don't think that we are saying that at all. It's just as far as the  
259 community has spoken, it's not the highest priority but you can absolutely submit that  
260 application and it'll be reviewed according to the terms of the CDC, DRB just like  
261 anything else." (Time stamp 5:09:20)

262  
263 Jay Renkens: "With 2 tiers it will help provide clarity that it is part of the conversation,  
264 but it is a lower tier." (Time stamp 5:10:01)

265  
266 Mayor Benitez: "We're just saying it is not on the hot plate of things that are happening  
267 in the very near future, but you could prove us wrong by submitting an application.  
268 That's it, did I state that correctly? (Time stamp 5:10:10)

269

270 Councilperson Caton: “I would be in favor of leaving that in the top box, I just think G is  
271 too far off in the future, if they want to swap them out that is fine with me. (Time stamp  
272 5:10:20)

273  
274 The above conversation leaves me confused as to what is the purpose of the Comp Plan.  
275

276 2.6.1 If the purpose of the Comp Plan is to be aspirational and guide future  
277 development in the Town, why was the Council encouraging a developer to submit an  
278 application for a project that is contrary to the aspirations of the community?  
279

280 2.6.2 If the community was clear that the Peaks Peninsula project should not be  
281 included in the Comp Plan, how does including it and other projects anywhere in the  
282 Comp Plan, albeit an addendum, add clarity to the conversation? Doesn’t clarity  
283 demand that the only hotbed sites included anywhere in the Comp Plan should be  
284 limited to the Pond Lots, 161C-R and 109R?  
285

### 286 3. Open Space

#### 287 Community Has Spoken and Council Has Heard Them

288 At the March 17, 2022 Council meeting Mayor Benitez stated:  
289

290  
291 “If I could just say one thing that I want on the record and that I want everyone to hear, we have  
292 made no changes to open space. Like we have, everything that was in the Comp Plan in 2011,  
293 everything that was in the CDC, there have been zero changes recommended or made by this  
294 body. I think there’s a lot of just confusion about that fact, and I think it’s important that people  
295 know their homes are next to active open space, passive open space, it means a lot to people  
296 and so I just want to be as clear as possible with that.” (Time stamp 4:18:23)  
297

298 As one member of the community, I thank Mayor Benitez for stating the Council’s unequivocal support  
299 for the community’s profound and overwhelming desire to preserve and protect open space and clearly  
300 express that position in the draft Comp Plan. However, as everyone knows, the Comp Plan is not zoning  
301 and zoning is what provides certainty in terms of land use. This issue of certainty was identified by the  
302 2011 Town Council when it approved the Public Benefits Table in the current Comp Plan. The Public  
303 Benefits Table identifies nine items that are required to occur **“Concurrent with the first rezoning or  
304 PUD on TSG open space for hotbed development as envisioned by the Comprehensive Plan.”** Two of  
305 the items relate to open space:  
306

307 *“8. TSG will convey all TSG open space land to the TOMV that is designated on the Land Use Plan  
308 Map as Passive Open Space or as Resource Conservation Active Open Space.*

309  
310 *9. TOMV rezones TSG open space to limit currently allowed uses consistent with the six open  
311 space classifications shown on the Land Use Plan Map.”*  
312

313 The certainty so profoundly sought by the community regarding the use of open space will not occur  
314 until all TSG open space is rezoned to the *“uses consistent with the six open space classifications shown  
315 on the Land Use Plan Map.”*  
316

317 The current major Planned Unit Development application to develop Lot 161C-R and Lots 67, 69R-2, 71R  
318 and OS-3Y by Merrimac Fort Partners, LLC represents *“the first rezoning or PUD on TSG open space for*  
319 *hotbed development as envisioned by the Comprehensive Plan”* (i.e., Tract OS-3Y).

320  
321 Help Needed to Connect the Open Space Dots  
322 Can someone please connect the Comp Plan open space dots to the current Merrimac Fort Partners, LLC  
323 application’s dots for me by answering the following:

324  
325 3.1 Has the Town made it clear to Merrimac Fort Partners, LLC and TSG that items 8 and 9 in the  
326 existing Public Benefits Table must occur prior to or concurrently with any approval of their PUD  
327 application? If not, then why not?

328  
329 3.2 On a related note, will the Town require the other seven items identified in the Public  
330 Benefits Table to occur prior to or concurrently with any approval of the Merrimac Fort  
331 Partners, LLC PUD application? If not, then why not?

332  
333 4. Process

334 4.1 In terms of the Comp Plan amendment process, it appears we are in the final stretch of the final lap  
335 and the finish line is in sight. I can certainly appreciate the desire of Council, staff and the consultants to  
336 cross the finish line, I’m sure the public joins you in that desire, I certainly do. However, as Council has  
337 noted throughout the process, a project as important as this cannot be rushed; and certainly not now at  
338 the end. If the current Comp Plan is any indication, then the final not-redlined amended Comp Plan will  
339 be around 100 pages. I hope the Town will issue both a redlined and not-redlined version of the  
340 amended Comp Plan for the community to review. To properly review and comment on a 100+/- page  
341 document will take a bit of time and I hope the Council will give the community adequate time to do so;  
342 I suggest four weeks from the release of the final draft.

343  
344 4.2 The following excerpt comes from the Mountain Village Town Council Rules for the Conduct of  
345 Meetings and General Business, Revised February 2022:

346  
347 “Council may pose questions to staff, the Applicant, or members of the public as they address  
348 Council. **Council members shall refrain from answering questions**, expressing opinions, or  
349 stating how they intend to vote until after the public hearing is closed.” (Emphasis added)

350  
351 The following excerpt comes from the “Public Comment During Meeting” section on the Town Council  
352 website:

353  
354 “Please keep your comments as brief and succinct as possible and **under two minutes.**”  
355 (Emphasis added)

356  
357 Before the start of every public comment period during every Council meeting, the Mayor reminds the  
358 community members of the two minutes/no asking questions limitations. At some point in this Comp  
359 Plan process is it fair for the community members to be given the opportunity and adequate time to ask  
360 the Council questions and be given answers in an open forum? The ability of the electorate to directly  
361 address their elected officials is a fundamental cornerstone of democracy, of good government. It seems  
362 that after the proposed final draft of the Comp Plan is distributed to the community might be the time  
363 to offer the community members an opportunity to address any questions they may have regarding the  
364 final draft of the Comp Plan.



365

366 Thank you for listening to my thoughts and questions and I look forward to the Town helping me  
367 connect the dots and answer my questions.

368

369 END OF MEMORANDUM

## ATTACHMENT 7G

5-15-2022

Comments re Major Planned Unit Development Amendment (PUD) Mountain Village

Lot 109R Mountain Village Hotel

Lot 161 CR Hotel

Meadows Lot 644 – too large, more units than surrounding developments, too close to Parker Ridge below, disruptive to Jurassic Trail, eliminates the ability to connect to the MV Core continuing a one way in and out of The Meadows creating more traffic and a life safety issue.

General comments:

Design/Arch (Lot 109R, Lot 161 CR) are not consistent with the Village Core. We need to keep the existing charm of the old European arch. intact

The hotel developments should include their own employee housing.  
There should be more deed restricted units with true deed restrictions with no loopholes.  
Business owners should NOT be able to purchase deed restricted units for employee housing.

Do we want more design/building monstrosities like the Peaks?

So many units added creating impact to traffic and creating grid lock in and out of MV

Parking is already at capacity with the Meadows parking lot. Additional units will not help the limited parking. HOA enforcement is not the solution. The Meadows lot also serves as day use for skiers in the winter and would reduce their usage if the lot is full of overflow of new unit/dwellings vehicles.

Impact to water, sewer, electricity, utilities capability

Are we trying to create an Aspen, Vail or Park City for MV?

How many people/units can MV handle before we lose the quality of life that exists today?

This period in Mountain Village's history will be our destiny. How will the decisions and direction be viewed in the years/decades to come?

Don Whitacre  
Meadows property owner

# ATTACHMENT 7H

**From:** [Don Whitacre](#)  
**To:** [cd](#)  
**Subject:** Comments re Major Planned Unit Development Amendment (PUD) Mountain Village  
**Date:** Sunday, May 15, 2022 6:20:27 PM

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5-15-2022

Comments re Major Planned Unit Development Amendment (PUD) Mountain Village

Lot 109R Mountain Village Hotel

Lot 161 CR Hotel

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Don Whitacre  
Meadows property owner

# ATTACHMENT 7I

**From:** [leighann Williams](#)  
**To:** [Michelle Haynes](#); [Drew Harrington](#); [John A. Miller](#)  
**Subject:** Fwd: Hesitation and concerns over major PUD amendment to 109R  
**Date:** Tuesday, May 24, 2022 7:59:30 AM

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To: Town of Mountain Village Design Review Board  
Re: Major PUD Amendment to 109R

We are homeowners at Shirana, located at Lot 108, which may be the building most heavily impacted by this proposed project. We have been following the design information they have made public and have several concerns. I have spoken with several other of the nearby homeowners and they raise very valid issues. I will start off by saying my issues will not be presented as eloquently or explicitly, but would argue that I would represent the majority of the nearby homeowners in a real way.

I understand that the area will be developed, and this is inevitable. However, the size of this project is shocking. The height of the proposed building will tower over nearby buildings. In the original renderings, the proposal was already a variance over the current building codes and disheartening. The new renderings are sky scrapers comparatively, 90ft tall. Mountain village has a reputation of controlled, thoughtful progress and this far exceeds that which will flow with the mountain vibe. Additionally, the exterior does not conform to current aesthetics which is uniform throughout the core. The building should match the structures already in place.

Thirdly, there is no way that the current road structure will be able to handle the traffic of this enormous hotel and the proposed four seasons down the street. The parking lot that is being converted is one of the only lots large construction trucks can fit into, including needed services such as electrical and gas repairs. These providers now have no nearby access to the village core.

I feel deflated that this level of development is being rapidly assembled in mountain village. However, if I were to pinpoint my biggest concern, it is definitely the size of the structure being suggested. It is not what the people who live in mountain village want. It isn't at the core value of the area homeowners. It is urban, citified, incongruous, and lacks community. It is against all things Telluride. These feelings are subjective, sure, but certainly a visceral reaction upon seeing these plans.

There are, of course, other concerns brought up by other owners which I whole heartedly agree with, including issues with the trash station and aesthetics of the west peninsula which is now proposed to be more of a loading dock. The amount of noise pollution this structure will bring is so sad to a beautiful, peaceful area of Telluride.

I appreciate your time and understand the crossroads between progress and community are often met with contempt. Every summer, we sit out on our patio and breathe in fresh air while enjoying idyllic views of Mt Sneffles and the zenful setting of Mountain village. This project seems like this will no longer be a place of happiness and peace. Please help us alleviate the disappointment associated with this development by making it something we can all be excited about. Any feedback would be appreciated.

Leighann Williams  
624 Mountain Village blvd, unit 5&8

## ATTACHMENT 7J

To: Design Review Board  
Planning & Development Services  
Town of Mountain Village  
455 Mountain Village Boulevard, Suite A  
Mountain Village, CO 81435

From: Shirana HOA

Date: May 23, 2022

Subject: Comments on Proposed Lot 109R PUD Amendments

This memo revises and extends, to a certain extent, the comments we offered on behalf of the Shirana HOA at the prior hearing on the proposed Lot 109R PUD Amendments. We will be far more brief but would stipulate that our prior comments still obtain as we have not had any revised submission by the developer to consider in the interim. It's a little difficult to get thoughtful comments on the record when we don't know what the revised submission by the developer will contain.

Again, our major concerns are as follows:

- 1) The height and mass of the proposed building far exceeds what is contained in the PUD governing the land the developer purchased. We do not understand why, save for minor design and concept adjustments, which our predecessor board was heavily involved in negotiating, the DRB would seriously consider such a significant change to the existing PUD requirements. It will dwarf our building and everything around it.

We do appreciate the sensitivity of the employee housing issue and understand the Board's receptivity to the relatively significant (and unrequired) commitment to employee housing. However, to use this as the excuse for expanding the size of the building so substantially is, in our view, a bit of a red herring. Furthermore, it's worth noting that there will still be a significant net increase in employees with housing needs regardless of this commitment.

- 2) We object strenuously to the notion that the existing Town trash facility would be rebuilt and expanded. The location is terrible and an extreme nuisance, loud, dirty, and unsightly all at once. The plan was always to relocate this and the developer desires this. We are disappointed that the Town may not have the willingness to take this project on. Indeed, the "Four Seasons" project also under consideration was originally supposed to accommodate this facility, but for some reason, the developer's view that such a decision is inconsistent with the type of resort they wish to build is more important than the concerns of longtime town property owners. Not only should the facility be moved, it should be governed by strict operational standards for noise, cleanliness, and truck

frequency. Finally, we would ask the question, “if the trash facility has to be temporarily relocated for construction, why cannot it not be permanently relocated?” (Several photos of trash facility operations are attached for your information.)

- 3) Closely related to the trash facility is the issue of truck and traffic circulation. As other residents have pointed out, the proposed 109R project is essentially built to the edge of Mountain Village Boulevard, making an already dangerous turn substantially more so. Furthermore, the developer has put its projects “back of house” directly adjacent to our patio, further diminishing its value, while also forcing us to adapt to a left-turn only exit from our garage. While we appreciate the staff’s request that the developer at least modify its plans to accommodate delivery trucks fully within their proposed building, we don’t know if that modification is contemplated at this point. More important is the evident lack of awareness of just how congested our parking lot already is; layer in the daily truck deliveries, resident cars, and employee cars, and the situation becomes untenable and unsafe. (A photo of the Mountain Village Blvd. corner around the trash shed is included for your information, as well as several pictures of the front lot.)
- 4) We are concerned about emergency vehicle access to the plaza area and fire truck access to the back of our building. We trust the Fire Department’s judgment in this area but our building is substantially wooden and access will be extremely limited.
- 5) We are concerned about risks from both vibration and subsidence related to this construction. We will likely have to undertake the expense of an initial current structural survey and ongoing monitoring to detect and identify any impacts from construction.
- 6) While our owners utilize the current town parking lot behind Shirana only casually, it is a really important community asset. Even in the off-season, it is often nearly full. The original PUD required that the 48 parking spaces be preserved in the project. Where will these daily visitors, tradesmen, delivery vehicles, and passenger shuttles go? Certainly we can expect a huge increase in traffic in front of our building and Wells Fargo. (A recent off-season picture of the lot is included for your information.)

Last, we want to reiterate again that we are not, previous comments notwithstanding, opposed to the project. But everything about this is different from what the existing PUD contemplates; the developer requests variances to nearly every design, size, material, access, and usage requirement in the CDC. It’s important to consider the economic reality of this project. Will this be the first hotel ever in Mountain Village to be economically viable 12 months a year? The empirical, historical evidence suggests otherwise. And we all must acknowledge that regardless of what is contemplated at this point in the process, the operator of the hotel will not, in the long term, be bound by any of the promises or lofty goals described in these presentations.

Thank you for your work; we hope that you consider our concerns and those of so many other neighbors seriously.

Sincerely,

Robert C. Connor  
President









# ATTACHMENT 7K

**From:** [Linda Brown](#)  
**To:** [cd](#)  
**Cc:** [Linda Brown](#)  
**Subject:** Two hotels on a very small space  
**Date:** Wednesday, May 18, 2022 9:15:40 AM

---

I virtually attended the meeting last week that reviews the potential Six Senses hotel. I've also followed the progress on the proposed Four Seasons property. My opinion and concern is that Should both properties be approved, it would be lot of development on a relatively little bit of land.

My property is in Palmyra so I'm not crazy about being surrounded by giant buildings to begin with. If both are approved, the noise and street and pedestrian traffic will be disappointing to put it politely. We might even need a traffic light at the intersection in front of The Peaks. (oh dear) While I understand the strategic plan for MV and am not adverse to change, cramming so much property into a fragile ecosystem with limited road access to them both seems ill-advised. I've heard that environmental impact analyses would be done prior to approvals, frankly,

If both projects are approved, the environmental impacts should be studied concurrently, rather than independently. This is the most important point; my disappointment about the giant buildings is subjective and I can decide to sell my property or not.

It feels to me as if MV could be turning into a small Vail without the furs and in a much smaller footprint.

Sent from my iPad.

Linda L. Brown, Ph.D.  
Partners for Organizational Success  
c. 440.667.7584

# ATTACHMENT 7L

**From:** [David Billion](#)  
**To:** [cd](#)  
**Subject:** Hotel - bad idea  
**Date:** Monday, May 16, 2022 7:39:50 PM

---

Terrible idea – keep Telluride beautiful - down with development

Sincerely,

David Billion  
605-376-0447

# ATTACHMENT 8A

## Michelle Haynes

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**From:** Finn KJome  
**Sent:** Monday, May 23, 2022 4:40 PM  
**To:** Michelle Haynes; Amy Ward  
**Cc:** JD Wise; Jim Loebe; Zoe Dohnal  
**Subject:** 109R

Hi Planners,

Here are my comments for this version of 109R.

- The utility re-routing with respect to water, sewer and storm drain is acceptable at this stage of review. The details of how this works will need to be vetted. Please provide types of materials used, access to utilities for maintenance to include clearances in the garage and a plan on how to keep the utilities active during construction.
- The plan shows new electric and gas facilities in Town property across Mtn Village Blvd. This area should not be constrained by utilities for this project. Instead look at utilizing the landscaped areas by the west end of the hotel and the north end of the trash facility which already has the relocated transformer for Shirana proposed on.
- Please show cross sections of Mtn Village Blvd to show shoulder, asphalt road surface sidewalk and the separation to the building exterior wall. Its hard to tell if everything fits from the plans.
- Please provide a separate snowmelt plan that shows all areas to be snow melted. This should include the sidewalks, the fire lane, the pedestrian plaza and all the area of back of house/Shirana parking and trash building. Include square footages.
- A separate boiler room doesn't seem necessary for a system that is roughly 25,000 sqft.
- I have the same comment as last time. The delivery area is insufficient in size. Please provide the square footage calculations on how the delivery area was derived. Please provide on operational plan on how this functions on a normal day and also during the peak times of the years such as Christmas Holiday. Please provide an operational plan that explains what happens with hotel delivery trucks when the loading dock is full and a second truck shows up or what the delivery truck does when the Town trash pickup is going on. Parking on Mountain Village Blvd is not acceptable.
- The delivery bay designed with the delivery truck sticking out is unacceptable. The truck needs to back into the bay and the door needs to close while the truck is being unloaded.
- Please provide the backup on how the trash rooms for the hotel were calculated. The main trash room in the garage seem undersized. Please provide how the trash is picked up. What size truck will be used ? How many times a week will trash be removed?
- Where is the air exchange equipment for the garage? Please provide details on the exhaust and intake for this air handler.
- Does the hotel boilers vent through the roof? Provide this detail.
- The landscape plan needs to be updated to match the civil. As mentioned before there are to many planters and fixed hardscape on the plaza. Open this area up for future activities or at least recognize the future need for maintaining the building. 10 foot clearance is not enough width for the large man lifts that will be required for maintenance.
- Please show on the site plan the bollards that are required for the fire lane.
- The town trash room needs to have the same square footage as the existing please make necessary changes that reflect this. Is there room to open the trash room doors , park a trash truck and still have acceptable circulation?
- I understand the construction mitigation plan is not required at this review. Please start designing this plan with Town staff as soon as possible.

Finn

# ATTACHMENT 8B

**From:** [JD Wise](#)  
**To:** [Michelle Haynes](#); [Amy Ward](#)  
**Cc:** [Finn KJome](#); [Jim Loebe](#); [Zoe Dohnal](#); [Paul Wisor](#)  
**Subject:** 109R Referral Comments  
**Date:** Monday, May 23, 2022 1:37:55 PM

---

Michelle and Amy,

Regarding our review of the 109R PUD amendment, please include the following comments:

- I am still concerned with the lack of back of house space, particularly in the loading dock/receiving area. Ideally the loading bay would accommodate a truck to pull completely within the bay. It could be problematic to have a delivery truck extending 9-12 feet outside the bay in what is sure to be a busy and congested area. I believe this assumes a wb40 semitruck. Furthermore if wb50 or larger trucks are needed in the future they may not be able to access the loading bay without impacting circulation.
- The internal trash room seems inadequate. It's also unclear how the trash will be moved to the loading dock area for pickup.
- It would be worth exploring if one way traffic would help the overall circulation of the lower entry/trash/boiler zone.
- Snowmelt needs to extend into the two parking spaces shown on the south of the trash building. It would be helpful to see a dedicated snowmelt sheet that clearly shows all snow melted areas including drive lanes/parking areas/plazas/pedestrian walkways.
- The new configuration of the trash/boiler building is much better. It seems the Town trash/storage is now proposed at ~119 sq ft less than existing. Can the building be extended towards the two parking spots to gain back this square footage? We also need review and referral comments from Bruin Waste Management, the current hauler and lessee of the trash facility.
- Are the stairs from the drop off area now designated as a public walkway?
- The landscaping still needs to be scaled back in front of the retail/ski storage spaces to allow more flexible space for outdoor seating, small special-event flexibility, and maneuverability of Town utility cart vehicles and potentially EMS/Ambulance traffic. I would suggest a minimum width of 16' for vehicle/equipment access. This will also provide necessary access to the plaza for a boom lift or other equipment for services and repairs to the exterior of the building including window washing, façade repairs, etc.
- I am still concerned about omitting the 48 Town Parking Spaces from this project. This effectively eliminates all public parking on the north end of the Village Center which will cause a reduction of pedestrian foot-traffic on this end of the plazas. I often observe the public parking in the current public spaces and patronizing various businesses from Conference Center Plaza to the North. Not only will this be a detriment to current businesses, but I believe it will also reduce foot traffic to the retail businesses and food & beverage outlets included in this project. The nearest option for public parking would be to park in the Heritage Parking Garage, ride the elevator to the plaza level, then navigate the public plazas to this project. I worry that without public parking many patrons may not explore this end of the plaza and will rather land at businesses and

F&B outlets closer to where they park. Anything that encourages foot-traffic on this end of the Village Center will benefit all businesses in this zone, including those within this project, and help appropriately spread-out pedestrian traffic throughout the Village Center as a whole.

- There is a note that roof drains may daylight into the landscaping beds or be hard-piped into the storm drainage system, TBD at final. We would prefer that roof drains be hard-piped into the storm drainage.

Thank you for the opportunity to provide feedback on this PUD amendment.

J.D. Wise

Assistant Public Works Director

Town of Mountain Village

O :: 970.369.8235

M :: 970.708.0215

F :: 970.369.8119

[Website](#) | [Facebook](#) | [Twitter](#) | [Instagram](#) | [Email Signup](#)

Please note that I am in the office Tuesday through Friday.

## ATTACHEMENT 8C

**From:** [Zoe Dohnal](#)  
**To:** [Michelle Haynes](#); [Amy Ward](#)  
**Cc:** [Finn KJome](#); [Jim Loebe](#); [Paul Wisor](#); [JD Wise](#)  
**Subject:** 109R Referral Comments  
**Date:** Monday, May 23, 2022 3:16:42 PM

---

Michelle and Amy,

Please include the following comments concerning the 109R PUD amendment. Thank you!

- Versatility in retail space: A continual challenge in our Village Center commercial space is the lack of versatility after construction. To remodel a commercial space from retail to a restaurant requires a number of infrastructure improvements, including a ventilation system. Providing room, or putting in these types of infrastructure during initial construction will allow for a broader use potential and save a significant future investment.
- Public Parking: With the loss of 48 public parking spaces, our Mountain Village Center will no longer have public parking available at the north end of the village. This will impact current businesses and attracting new businesses to that area, as staff and patron parking is already a concern for many. The gondola parking garage will not satisfy this need. I understand the developer will provide 27 parking spaces for access to their public offerings. However, I do not feel like it will fulfill the need and be a detriment to sales. I would like to know how the developer plans on managing their patrons without sufficient parking?
- Plaza Use: I encourage the applicants to consider including infrastructure for future plazas uses within their plan. As the hotel will most likely promote plaza use for events, plaza vending, and expanded dining or retail.

[Zoe Dohnal](#)

Director of Operations and Development

Town of Mountain Village

455 Mountain Village Blvd. Suite A

O :: [970.369.8236](tel:970.369.8236)

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**Si Usted necesita comunicarse conmigo y necesita servicio de traducción al español, simplemente háganoslo saber y podemos proporcionar tal servicio.**



# ATTACHMENT 8D

**From:** [Jim Loebe](#)  
**To:** [Michelle Haynes](#)  
**Cc:** [Amy Ward](#); [Finn KJome](#); [Paul Wisor](#); [JD Wise](#); [Zoe Dohnal](#)  
**Subject:** 109R Referral Comments  
**Date:** Monday, May 23, 2022 2:59:24 PM

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Hi Michelle,

After reviewing the updated PUD plans for 109R I would like to echo my initial comments from the first draft:

- The sidewalk shown on the plans has a break in it at the bridge, on the inner radius of MVB. This sidewalk needs to be contiguous, all the way from the east 109R lot line, through 109R, to Wells Fargo, with ADA curb cuts at all intersections, lot entrances, and the main entry into the hotel. At no point should users be pushed into the road. The sidewalk also needs to be snow melted.
- It would be nice to see a diagram of all proposed areas to be snow melted
- On the pedestrian flow diagram, the emergency access lane between the proposed new plaza and the existing Short Term lot should be designated as an official pedestrian route on the diagram.
- The proposed traffic flow diagram shows two-way traffic through the area we currently call Short Term parking. Maybe the Chief should weigh in on this, but it just seems like too much activity in a small space. We use this as a bus turnaround and transit feels it should be one-way flow, counterclockwise. Hopefully it will work for delivery trucks to enter counterclockwise and back into the loading dock. It actually looks like an easier maneuver on paper than what they are proposing.

Thank you,

Jim Loebe  
Transit Director and Director of Parks and Recreation  
Town of Mountain Village  
O::970.369.8300  
M::970.729.3434

[Website](#) | [Facebook](#) | [Twitter](#) | [Instagram](#) | [Email Signup](#)

For information about The Town of Mountain Village's response to COVID-19 (Coronavirus), please visit [townofmountainvillage.com/coronavirus/](https://townofmountainvillage.com/coronavirus/)

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## ATTACHMENT 8E

**From:** [Chris Trospen](#)  
**To:** [Michelle Haynes](#)  
**Cc:** [Finn KJome](#)  
**Subject:** Re: Pages from 2022.05.19 DRB Compliance Hearing Submittal.pdf Lot 109R Hotel  
**Date:** Tuesday, May 24, 2022 8:08:55 AM

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Michelle,

Thank you for the information. I have listed below a couple things that I can see.

Who is going to be sharing that space with us? TOMV? If the carts could be parked towards the door and we were able to utilize the space behind the carts would work good. Or the carts be parked where the containers are listed and we utilize the large space where the carts are shown?

We are going to be giving up about 380 sq ft of space and we are already tight as it is. We normally have min. of 10 dumpsters in at all times plus our utility cart.

Roll up doors rather than barn doors would leave more space in the parking lot while we are servicing them, also less likely to be damaged..

Is it going to be a problem that we are blocking that driveway off for 20-30 min. per day while we are servicing the cans?

I think that's all I have.

Let me know your thoughts.

Chris Trospen  
Bruin Waste Management  
970-864-7531 office  
970-428-1246 cell

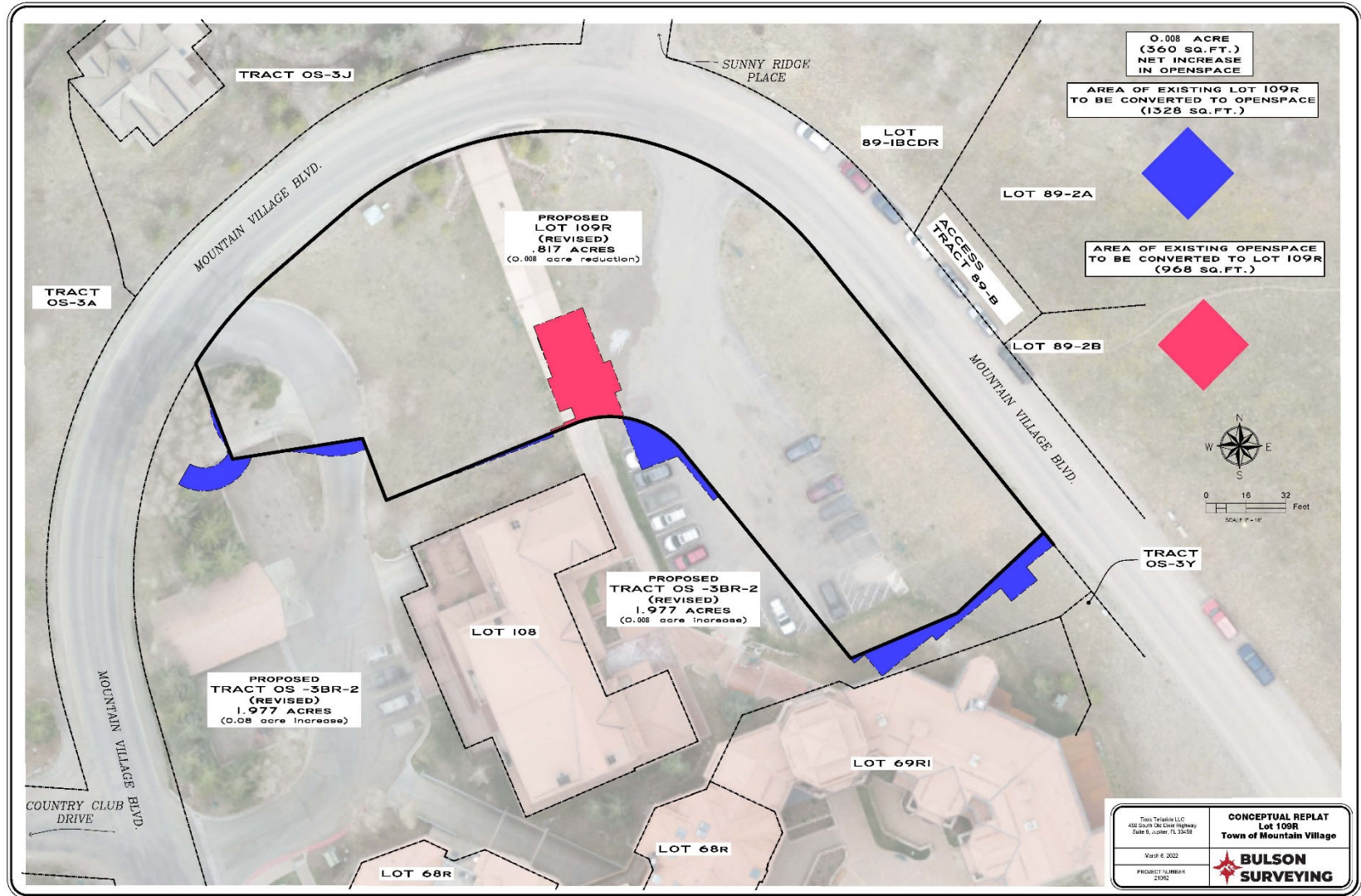
On May 23, 2022, at 4:12 PM, Michelle Haynes <[MHaynes@mtnvillage.org](mailto:MHaynes@mtnvillage.org)> wrote:

Chris:

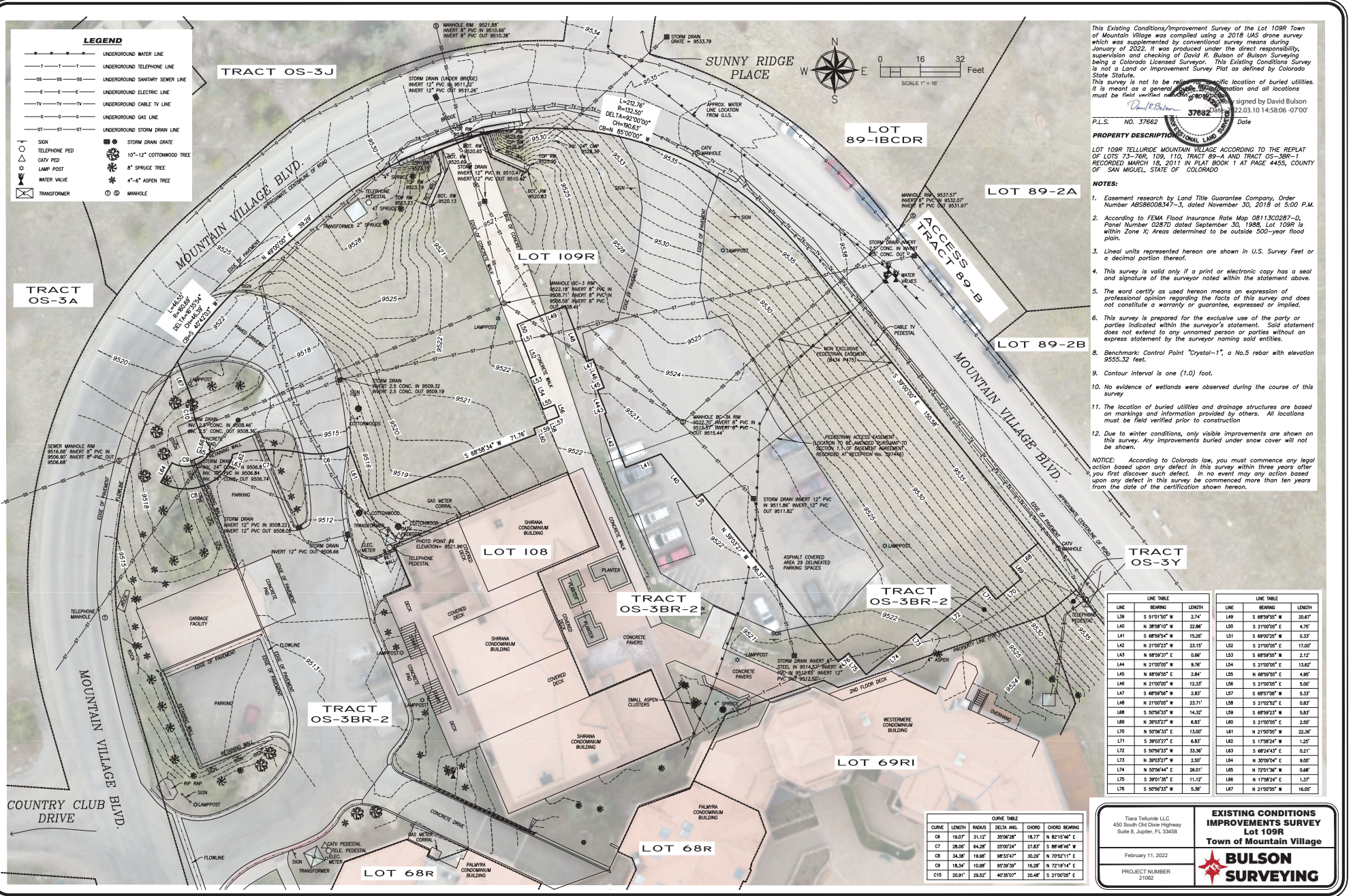
Good afternoon. Attached are the civils to date and the sheet showing the new trash shed. I understand the trash shed will need to be fire sprinklered if the boilers are co-located. Any and all thoughts you may have as to this layout would be helpful to understand from your perspective as the service provide.

Thank you!

# ATTACHMENT 10



# ATTACHMENT 11



This Existing Conditions/Improvement Survey of the Lot 109R Town of Mountain Village was compiled using a 2018 UAS drone survey which was supplemented by conventional survey means during January of 2022. It was produced under the direct responsibility, supervision and checking of David R. Bulson of Bulson Surveying being a Colorado Licensed Surveyor. This Existing Conditions Survey is not a Land or Improvement Survey as defined by Colorado State Statute. This survey is not to be relied upon for the location of buried utilities. It is meant as a general reference and all locations must be field verified before any excavation and all locations must be field verified before any construction.

David R. Bulson  
 37682  
 State of Colorado  
 License No. 37682  
 Date

P.L.S. NO. 37662

**PROPERTY DESCRIPTION**  
 LOT 109R TELLURIDE MOUNTAIN VILLAGE ACCORDING TO THE REPLAT OF LOTS 73-76R, 109, 110, TRACT 89-A AND TRACT OS-3BR-1 RECORDED MARCH 12, 2011 IN PLAT BOOK 1 AT PAGE 4455, COUNTY OF SAN MIGUEL, STATE OF COLORADO

- NOTES:**
1. Easement research by Land Title Guarantee Company, Order Number ABS6008347-3, dated November 30, 2018 at 5:00 P.M.
  2. According to FEMA Flood Insurance Rate Map 08113C0287-D, Panel Number 0287D dated September 30, 1998, Lot 109R is within Zone X; Areas determined to be outside 500-year flood plain.
  3. Lineal units represented hereon are shown in U.S. Survey Feet or a decimal portion thereof.
  4. This survey is valid only if a print or electronic copy has a seal and signature of the surveyor noted within the statement above.
  5. The word certify as used hereon means an expression of professional opinion regarding the facts of this survey and does not constitute a warranty or guarantee, expressed or implied.
  6. This survey is prepared for the exclusive use of the party or parties indicated within the surveyor's statement. Said statement does not extend to any unnamed person or parties without an express statement by the surveyor naming said entities.
  7. Benchmark: Control Point "Crystal-1", a No.5 rebar with elevation 9555.32 feet.
  8. Contour interval is one (1.0) foot.
  9. No evidence of wetlands were observed during the course of this survey.
  10. The location of buried utilities and drainage structures are based on markings and information provided by others. All locations must be field verified prior to construction.
  11. Due to winter conditions, only visible improvements are shown on this survey. Any improvements buried under snow cover will not be shown.
- NOTICE:** According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L39	S 51°01'00" W	2.74'	L49	S 89°50'00" W	29.67'
L40	N 38°38'10" W	22.86'	L50	S 21°00'00" E	4.75'
L41	S 68°59'54" W	15.26'	L51	S 89°00'00" E	0.33'
L42	N 21°00'23" W	23.15'	L52	S 21°00'00" E	17.00'
L43	N 89°59'53" E	0.66'	L53	S 89°59'00" W	2.12'
L44	N 21°00'00" W	9.26'	L54	S 21°00'00" E	13.67'
L45	N 89°59'50" E	2.84'	L55	N 89°59'50" E	4.86'
L46	N 21°00'00" W	13.23'	L56	S 21°00'00" E	5.00'
L47	S 89°59'56" W	2.85'	L57	S 89°57'00" W	5.33'
L48	N 21°00'00" W	23.71'	L58	S 21°02'52" E	0.83'
L49	S 50°56'33" W	14.32'	L59	S 89°59'23" W	5.83'
L50	N 39°52'27" W	6.83'	L60	S 21°00'00" E	2.50'
L60	N 50°56'33" E	13.00'	L61	N 21°00'00" W	22.36'
L61	S 39°52'27" E	6.83'	L62	S 79°59'24" W	1.25'
L62	S 50°56'33" W	33.36'	L63	S 89°59'47" E	0.31'
L63	N 39°52'27" W	3.50'	L64	N 30°00'04" E	9.00'
L64	N 50°56'44" E	26.01'	L65	N 70°10'36" W	0.68'
L65	S 39°01'30" E	11.12'	L66	N 17°58'24" E	1.37'
L66	S 50°56'33" W	5.30'	L67	N 21°00'00" E	16.00'

CURVE	LENGTH	ARC CHORD	CHORD BEARING
C6	19.07'	31.12'	N 21°10'46" E
C7	28.05'	64.28'	S 27°02'44" W
C8	34.38'	89.33'	S 30°29'11" E
C9	18.34'	10.98'	S 93°39'39" W
C10	20.91'	29.52'	S 47°30'07" W

Terra Telluride LLC  
 450 South Old Drive Highway  
 Suite 8, Jupiter, FL 33458

February 11, 2022

PROJECT NUMBER  
 21062

**EXISTING CONDITIONS IMPROVEMENTS SURVEY**  
**LOT 109R**  
**Town of Mountain Village**

**BULSON SURVEYING**