

**TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING AGENDA
THURSDAY JUNE 2, 2022 10:00 AM
MOUNTAIN VILLAGE TOWN HALL
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO
TO BE HELD HYBRID THROUGH ZOOM:**

<https://us06web.zoom.us/j/82912458856?pwd=WDMxWkNQb0FVMmRWVWlrSGk1L1F2Zz09>

	Time	Min.	Presenter	Type	
1.	10:00		Chair		Call to Order
2.	10:00	2	Quinn-Jacobs	Action	Reading and Approval of Summary of Motions of the May 5, 2022, Design Review Board Meeting.
3.	10:02	3	Quinn-Jacobs	Action	Reading and Approval of Summary of Motions of the May 17, 2022, Design Review Board Meeting.
4.	10:05	30	Miller/ Applicants	Action/ Recommendation	Interview New Applicants for Design Review Board open alternate seat with recommendation to Town Council
5.	10:35	30	Ward/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a new Single Family detached condominium on Lot 161D1, Unit 17, 6 Tunnel Lane, pursuant to CDC Section 17.4.11 and 17.5.16.
6.	11:05	30	Miller/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a new Single Family Detached Condominium on Lot AR-53-R1, TBD Adams Way, pursuant to CDC Section 17.4.11.
7.	11:35	30	Miller/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a new Single Family home on Lot 89-3A, 99 Lookout Ridge, pursuant to CDC Section 17.4.11.
8.	12:05	30	Lunch	Lunch	
9.	12:35	45	Miller/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a new Single Family home on Lot 220B, 113 Palmyra Drive, pursuant to CDC Section 17.4.11.
10.	1:20	45	Miller/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a new Single Family home on Lot 3R, AKA R3, 158 Vischer Drive, pursuant to CDC Section 17.4.11.
11.	2:05	45	Miller/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a new Single Family home on Lot 533, 237 Russell Drive, pursuant to CDC Section 17.4.11.
12.	2:50		Chair		Adjourn

Please note that this Agenda is subject to change. (Times are approximate and subject to change)
455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435
Phone: (970) 369-8242 Fax: (970) 728-4342

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting Town Hall at the above numbers or email: cd@mtnvillage.org. We would appreciate it if you would contact us at least 48 hours in advance of the scheduled event so arrangements can be made to locate requested auxiliary aid(s).

**DESIGN REVIEW BOARD MINUTES
TOWN OF MOUNTAIN VILLAGE
DESIGN REVIEW BOARD MEETING
THURSDAY MARCH 31, 2022**

Call to Order

Chair Banks Brown called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:01 AM on May 5, 2022.

Attendance

The following Board members were present and acting:

Banks Brown
Liz Caton
Cath Jett
Greer Garner
Scott Bennett (1st alternate)
Shane Jordan (2nd alternate)
Adam Miller
Ellen Kramer – Left after Item Number 12.

The following Board members were absent:

David Craige

Town Staff in attendance:

Paul Wisor, Town Manager
David McConaughy, Town Attorney
Michelle Haynes, Planning and Development Services Director, Housing Director
John Miller, Principal Planner
Amy Ward, Senior Planner
Samuel Quinn-Jacobs, Planning Technician
Finn Kjome, Public Works Director

Public Attendance:

- Charles Lynch
- Joe Coleman
- Cameron Kelly
- Patrick Lathem
- Anton Benitez
- Richard Thorpe
- Emory Smith
- Mike Lynch

Public Attendance Via Zoom:

- Adam Raiffe
- Allison Miller SEH
- Amber Adil
- Andrew Butler
- Bohdan Iwanetz
- Erik Carlson
- Jean Nictakis
- Julia Caulfied (KOTO)
- Julieta Ginevra
- Linda Brown
- markb@centresky.com
- Matthew Hintermeister
- Robert Connor
- Robert Stenhammer
- Tobin Brown
- Virginia Howard
- Lee Shea Betten
- Patrick Willis
- Sherri Reeder
- Tori Aidala
- WL "Perch" Nelson
- Susie Shaefer
- Michael McQueen
- Michelle Robson
- Andrew Rostek
- Faisal Adil
- Heather Hoffman
- Alan Kadin
- Amarillis Moran
- Jonette Bronson
- Stephanie Fanos
- Zoe Dohnal
- Lauren Kirn
- Kim Schooley
- Jonathan Greenspan
- Michael OConnor

Item 2. Reading and Approval of the March 31, 2022 Regular Design Review Board Meeting Minutes.

Samuel Quinn-Jacobs: Presented as Staff

On a **MOTION** by **Garner** and seconded by **Caton** the DRB voted **unanimously** to approve the minutes from the March 31, 2022 Meeting.

Item 3. Reading and Approval of the April 21, 2022 Regular Design Review Board Meeting Minutes.

Samuel Quinn-Jacobs: Presented as Staff

On a **MOTION** by **Kramer** and seconded by **Caton** the DRB voted **unanimously** to approve the minutes from the April 21, 2022 Meeting.

Item 4. Interview New Applicants for Design Review Board open seats with recommendation to Town Council

John Miller: Presented as Staff

Public Comment: None

On a **MOTION** by **Caton** and seconded by **Bennett** DRB voted **unanimously** to recommend its incumbent members, to be appointed by Town Council.

Item 5. A recommendation to Town Council regarding a Major PUD amendment to Lot 109R, formerly named the Mountain Village Hotel PUD, TBD Mountain Village Boulevard, to consider amendments to the existing PUD for a mixed-use hotel/resort development including plaza, commercial, hotel and residential uses with a height up to 96'-8" maximum height.

Michelle Haynes and Amy Ward: Presented as Staff

Matthew Sheer, Katsia Lord, Ankur Patel: Presented as Applicants

Public Comment:

- Public comments via mail/email were provided in the May 5, 2022 Design Review Board Meeting Packet
- Joe Coleman
- Patrick Latham
- Chad Horning
- Cameron Kelly
- Jolana Vankova
- Anton Benitez
- Robert Connor
- Joe Solomon
- Don Morgan
- David Foster

On a motion by **Kramer** and seconded by **Bennett** voted (7-1, Miller objected due to the continued meeting date and his belief that the project should not be continued) to *continue the Review and Recommendation to Town Council of a Major Planned Unit Development Amendment to the Lot 109R Planned Unit Development, commonly called the Mountain Village Hotel PUD, by Tiara Telluride, LLC., to May 31, 2022 based on the evidence provided within the*

Staff Report of record dated April 26, 2022 with findings and conditions as outlined in the staff memo of record.

Item 6. Lunch

Item 7. Consideration of a Design Review: Final Architecture Review for a new Single-Family Detached Condominium on Lot 649R-11, 11 Boulders Way, pursuant to CDC Section 17.4.11

John Miller: Presented as Staff

Kristine Perpar: Presented as Applicant

Public Comment:

- Anton Benitez
- Richard Thorpe

On a motion by **Garner** and seconded by **Jett** DRB voted **unanimously** to approve the Final Architecture Review for a new single-family home located at Lot 649-R, Unit 11, based on the evidence provided within the Staff Report of record dated April 21, 2022, with the following specific approvals:

DRB Specific Approval:

- 1) Setback Encroachment
- 2) Metal Fascia
- 3) Tandem Parking

And, with the following conditions:

- 1) Prior to the issuance of the building permit, the applicant shall provide garage door finish details per the CDC requirements.
- 2) Prior to the issuance of the building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 3) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 4) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
- 5) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 6) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 7) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Item 8. Consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 344R, 111 Rocky Rd., pursuant to CDC Section 17.4.11.

Amy Ward: Presented as Staff

David Baker, TSB Architecture: Presented as Applicant

Public Comment:

- Public comments via mail/email were provided in the May 5, 2022 Design Review Board Meeting Packet
- Mike McQueen

On a motion by **Kramer** and seconded by **Jett** DRB voted **unanimously** to approve the Final Architectural Review for a new single-family home located at Lot 344R, based on the evidence provided within the Staff Report of record dated April 21, 2022, with the following design variations and specific approvals:

Design Variations:

- 1) Road and Driveway standards – retaining walls over 5'
- 2) Sign regulations – address monument exceeds allowable height.

DRB Specific Approval:

- 1) GE Encroachments – Retaining wall and grading
- 2) Accessory building for trash

And, with the following conditions:

- 1) Prior to building permit, the applicant shall provide revised landscaping plans that address the comments of this memo for staff review.
- 2) Prior to building permit, the fire mitigation plan will be additionally reviewed by Town staff and revisions will be made if deemed necessary.
- 3) Prior to building permit, the applicant will revise the utility plan to leave a 15' buffer around all wetland areas.

- 4) Prior to building permit the construction mitigation plan will be revised per the comments of this memo and provided to staff for review.
- 5) Prior to building permit, the applicant shall revise the lighting plan to indicate that fixtures X and Y will be placed on a capped dimmer system to meet all CDC requirements for lumen output.
- 6) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
- 7) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 8) Prior to Certificate of Occupancy the applicant will enter into a revocable Encroachment Agreement with the Town for any approved encroachments in the general easement. This includes any encroachments that already exist on the property as well as any new encroachments.
- 9) Prior to the Building Division conducting the required framing inspection, a four foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 10) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Item 9. Consideration of a Design Review: Final Architecture Review for a new Single-Family Detached Condominium with an attached ADU on Lot 649R-10, 10 Boulders Way, pursuant to CDC Section 17.4.11

John Miller: Presented as Staff

Kristine Perpar: Presented as Applicants

Public Comment: None

On a motion by **Miller** and seconded by **Bennett** DRB voted unanimously to approve the Final Architecture Review for a new single-family home located at Lot 649-R, Unit 10, based on the

evidence provided within the Staff Report of record dated March 21, 2022, with the following specific approvals:

DRB Specific Approval:

- 1) Setback Encroachment
- 2) Metal Fascia
- 3) Tandem Parking

And, with the following conditions:

- 1) Prior to the issuance of the building permit, the applicant shall provide garage door finish details per the CDC requirements.
- 2) Prior to the issuance of a building permit, the applicant shall revise the utility plans to provide existing locations of utilities along with connection and disturbance locations. Additionally, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 3) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 4) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
- 5) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 6) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 7) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 8) Prior to submittal for a building permit, the applicant shall revise the plans to include appropriate snow fencing and ice retainage over the accessory dwelling.

Item 10. Consideration of a Design Review: Final Architecture Review for a new Single-Family home with an attached ADU on Lot 503, TBD Russell Drive, pursuant to CDC Section 17.4.11

Amy Ward: Presented as Staff

Edwin Lindell, ETL Architects: Presented as Applicant

Public Comment:

- Public comments via mail/email were provided in the May 5, 2022 Design Review Board Meeting Packet
- Mike Lynch provided public comment in person
- Jonette Bronson provided public comment via zoom

On a motion by **Garner** and seconded by **Caton** DRB voted **(7-1, Jett Dissented due to the two curb cuts and ADU)** to approve the Final Architectural Review for a new single-family home with attached ADU located at Lot 503, based on the evidence provided within the Staff Report of record dated April 19, 2022, with the following specific approvals and design variations:

DRB Specific Approval:

- 1) GE Encroachments – Retaining wall
- 2) Road Right of way encroachment (insubstantial) – Retaining wall
- 3) Road and Driveway Standards - (2) Curb cuts

Design variations:

- 1) Landscaping – diversity of species

And, with the following conditions:

- 1) Prior to building permit, the applicant shall submit a revised address monument design for both the Russell Drive address and the alternate access at Lone Fir Lane per the comments of the Police Chief and Fire Marshall, and to otherwise meet the requirements of the CDC, including address number heights.
- 2) Prior to building permit the applicant shall provide proof of an access agreement with TSG for the sewer accesses.
- 3) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 4) Prior to Certificate of Occupancy the applicant will enter into a revocable Encroachment Agreement with the Town for any approved encroachments in the general easement. This includes any encroachments that already exist on the property as well as any new encroachments.
- 5) Prior to Certificate of Occupancy the applicant will enter into a revocable Encroachment Agreement with the Town for any approved encroachments in the road right of way. This includes any encroachments that already exist on the property as well as any new encroachments.

- 6) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
- 7) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 8) Prior to the Building Division conducting the required framing inspection, a four foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 9) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 10) A use agreement will be created between the town and the applicant regarding a snow-truck turn-around.

Item 11 Consideration of a Design Review: Final Architecture Review for a new Single Family Detached Condominium on Lot 167-5, 162 San Joaquin, Unit 5, pursuant to CDC Section 17.4.11.

John Miller: Presented as Staff

Kristine Perpar: Presented as Applicant

Public Comment: None

On a motion by **Caton** and seconded by **Jett** DRB voted **unanimously** to approve the Final Architectural and Site Review for a new detached condominium located at Lot 167, Unit 5, based on the evidence provided within the Staff Report of record dated April 25, 2022, with the following design variations and specific approvals:

Design variations:

- 1) Road and Driveway Standards

DRB Specific Approval:

- 1) GE encroachments
- 2) Tandem Parking

And, with the following conditions:

- 1) Prior to the issuance of a Building Permit, the applicant shall provide a Town Right-of-Way revegetation plan and erosion control plan for any areas of town ROW to be disturbed as part of the project.
- 2) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 3) Prior to issuance of CO, all disturbances in the GE caused by construction will be re-graded and re-vegetated to its pre-disturbed condition.
- 4) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 5) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 6) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 7) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 8) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 9) Prior to the issuance of a building permit, the applicant shall revise the lighting around the hot tub area to include step lights, to be reviewed and approved by Staff.

Item 12. Discussion regarding a Conceptual Work Session for Lot 644, to develop new multi-family employee condominiums, pursuant to CDC Sections 17.4.6 and 17.4.11

John Miller: Presented as Staff

Mike Foster Triumph LLC, Paul Wisor and Michelle Haynes: Presented as Applicants

Item 13. Design Review Board Review and Recommendation to Town Council Regarding Amending the Municipal Code and Community Development Code; Creation of Chapter 2.18: Public Art Commission, and Amending Sections 17.5 and 17.8, concerning the creation of a Public Arts Commission

John Miller: Presented as Staff

Public Comment: None

On a motion by **Jett** and seconded by **Miller** DRB voted **unanimously** to recommend to Town Council the approval of a Public Arts Commission based on the evidence provided within the Staff Report of record dated April 25, 2022.

ADJOURN

MOTION to adjourn by unanimous consent, the Design Review Board voted to adjourn the May 5, 2022 meeting at 5:04

Prepared and submitted by,

Samuel Quinn-Jacobs
Planning Technician

DRAFT

**DESIGN REVIEW BOARD MINUTES
TOWN OF MOUNTAIN VILLAGE
SPECIAL DESIGN REVIEW BOARD MEETING
TUESDAY MAY 17, 2022**

Call to Order

Chair Banks Brown called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 2:02pm on May 17, 2022.

Attendance

The following Board members were present and acting:

David Craigie
Banks Brown
Liz Caton
Cath Jett
Greer Garner
Scott Bennett (1st alternate)
Shane Jordan (2nd alternate)
Ellen Kramer – via zoom

The following Board members were absent:

Adam Miller

Town Staff in attendance:

Paul Wisor, Town Manager
David McConaughy, Town Attorney
Michelle Haynes, Planning and Development Services Director, Housing Director
Amy Ward, Senior Planner
Samuel Quinn-Jacobs, Planning Technician

Public Attendance:

Kirsten Murray, Jeff Zimmerman, Dale Reed, Ana Bowling, Bill Fandel, Daniel Zemke, Winston Kelly, David Ballode, Chad Horning, Chris Hazen, Matt Hintermeister, Mickie Salloway, Anton Benitez, Stephanie Fanos, Joe Coleman, Yolana Vanek

Public Attendance Via Zoom:

Emily Royal, Erik Carlson, Frost Prioleau, Gabrielle, Jeff Busby, Justin Criado, Kyle C, Lauren Smith, Linda Brown, Mark Ruckoldt, Paul Squadrito, Rob Bodnar, Tamara, Tami Richardson, Yvette Rauff, Albert Roer, Dovid M. Spector, Lee Shea Betten, Molly Norton, Ty Allen, Vik Bhatia, Jean Nictakis, Denise Scanlon, KC KAISSI, Patrick Latham, Alex Martin, Rob Rydel (OZ)

Item 2. CLASS 3, SKETCH SITE SPECIFIC PLANNED UNIT DEVELOPMENT (SPUD), Initial architecture review, for Lot 161C-R, Lot 67, Lot 71R, OS-3y, and portions of OS-3XRR for a mixed-use hotel/resort development including plaza, commercial and residential uses

Michelle Haynes and Amy Ward: Presented as Staff

Dale Reed, Jeff Zimmerman and Kirsten Murray: Presented as applicants

The Design Review Board asked questions of the staff and the applicant. No action was taken.

ADJOURN

MOTION to adjourn by unanimous consent, the Design Review Board voted to adjourn the May 17, 2022 meeting at 4:20pm.

Prepared and submitted by,

Samuel Quinn-Jacobs
Planning Technician

DRAFT

**DESIGN REVIEW BOARD MINUTES
TOWN OF MOUNTAIN VILLAGE
SPECIAL DESIGN REVIEW BOARD MEETING
TUESDAY MAY 17, 2022**

Call to Order

Chair Banks Brown called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 4:30 pm on May 17, 2022.

Attendance

The following Board members were present and acting:

David Craigie
Banks Brown
Liz Caton
Cath Jett
Greer Garner
Scott Bennett (1st alternate)
Shane Jordan (2nd alternate)
Ellen Kramer – via zoom

The following Board members were absent:

Adam Miller

Town Staff in attendance:

Paul Wisor, Town Manager
David McConaughy, Town Attorney
Michelle Haynes, Planning and Development Services Director, Housing Director
Amy Ward, Senior Planner
Samuel Quinn-Jacobs, Planning Technician

Public Attendance:

Kirsten Murray, Jeff Zimmerman, Dale Reed, Ana Bowling, Bill Fandel, Daniel Zemke, Winston Kelly, David Ballode, Chad Horning, Chris Hazen, Matt Hintermeister, Mickie Salloway, Anton Benitez, Stephanie Fanos, Joe Coleman, Yolana Vanek

Public Attendance Via Zoom:

Emily Royal, Erik Carlson, Frost Prioleau, Gabrielle, Jeff Busby, Justin Criado, Kyle C, Lauren Smith, Linda Brown, Mark Ruckoldt, Paul Squadrito, Rob Bodnar, Tamara, Tami Richardson, Yvette Rauff, Albert Roer, Dovid M. Spector, Lee Shea Betten, Molly Norton, Ty Allen, Vik Bhatia, Jean Nictakis, Denise Scanlon, KC KAISSI, Patrick Latham, Alex Martin, Rob Rydel (OZ)

Item 2. CLASS 3, SKETCH SITE SPECIFIC PLANNED UNIT DEVELOPMENT (SPUD), Initial architecture review, for Lot 161C-R, Lot 67, Lot 71R, OS-3y, and portions of OS-3XRR for a mixed-use hotel/resort development including plaza, commercial and residential uses

Michelle Haynes and Amy Ward: Presented as Staff

Dale Reed, Jeff Zimmerman and Kirsten Murray: Presented as applicants

Public Comment:

Bill Fandel, Brian O'Neil, Joe Coleman, Daniel Zemke, Winston Kelly, Yolana Vanek

Public Comment Via Zoom:

Rob Bodnar, Vik Bhatia, Frost Prioleau, Erik Carlson, Tami Richardson, Jean Nictakis

A **MOTION** by **Jett** and seconded by **Kramer** was **withdrawn** to continue the Sketch Site-Specific Planned Unit Development (SPUD) application for a mixed-use hotel, branded residence and condominium project at 161CR, Lot 67, Lot 69R-2, Lot 71R, OS-3Y (commonly called the Pond Lots) to June 15th, 2022 at 10am.

On a **MOTION** by **Caton** and seconded by **Garner** the Design Review Board voted **(4-3 Craige, Kramer and Jett dissented)** to approve a Sketch Site-Specific Planned Unit Development (SPUD) application for a mixed-use hotel, branded residence and condominium project at 161CR, Lot 67, Lot 69R-2, Lot 71R, OS-3Y (commonly called the Pond Lots), based on the evidence provided within the Staff Report of record dated May 10, 2022, with the following findings, variations and specific approvals specific to design review:

Findings:

1. *The application is in General Conformance with the Comprehensive Plan*
2. *The application meets the Criteria for Decision found at CDC 17.4.12.E. and CDC 17.4.11.D.*
3. *The application is consistent with the Conceptual SPUD approval*
4. *Dormitory parking is established at 1 parking space for every one dormitory unit.*
5. *The application is consistent with CDC Section 17.3.4.H.7. Required Improvements for Adjacent Public Areas.*

Variations Requests:

1. *To allow heights up to 95.5' feet for the 161CR Lot and 78.5' feet for the pond lots (CDC 17.3.11 and 17.3.12)*
2. *To allow for footprint lots to exceed 25% (CDC 17.3.4.H.6)*
3. *Average heights can be established up to 58.2' for Lot 161CR and 51.3' for the Pond lots which may change between initial and final DRB review based upon design changes.*

Design Variations:

1. *Exterior Wall Materials (CDC 17.5.6.E.4)*
2. *Glazing Variance (CDC 17.5.6.G.1)*

And with the following conditions:

1. *Before final SPUD review the applicant shall revise the roof plan to indicate any needed snow guards as well as to show necessary rooftop venting, chimneys and equipment.*
2. *Prior to final SPUD review the applicant shall provide details of any railings necessary at retaining walls and stairs within the proposed landscape.*
3. *Prior to final SPUD review the applicant shall incorporate data gathered by the wetland consultant to revise the landscape plan and address specific wetland area enhancements.*
4. *Prior to final review the applicant shall revise the fire mitigation plan to address required fire mitigation per the CDC in cooperation with comment by a third-party consultant.*
4. *Prior to final SPUD review the applicant shall revise the fire mitigation plan to address required fire mitigation per the CDC in cooperation with comment by a third-party consultant.*
5. *Prior to final SPUD Review, the applicant shall provide a trash management plan consistent with CDC 17.5.10.*
6. *Prior to certificate of occupancy an access agreement for the proposed pedestrian/bike trail connector will be entered into between the property owner and the town.*

7. *Prior to final SPUD review the applicant shall provide more detail on proposed garage clearances.*
8. *Prior to final SPUD review the applicant will revise access plans to include required shoulder areas.*
9. *Prior to final SPUD review, the applicant will provide an interim utility plan to provide service to current users of utilities that are planned to be re-located.*
10. *Prior to final SPUD review the applicant will revise the parking plans to show at least 10% of the spaces be EV-installed, 15% be EV-Ready, and 50% be EV-Capable. This aligns with the Town Climate Action Plan.*
11. *Prior to final SPUD review the applicant shall revise the landscape lighting plans per the direction of DRB members at this meeting. An updated lighting plan for exterior fixtures on the building, including specification sheets for each fixture as well as photometric study shall also be provided.*
12. *Approval of the overall design, including variation requests, is subject to further review of all applicable criteria based on a workable 3D model to be provided by the applicant.*
13. *Approval of the overall design, including variation requests, is subject to further review of all applicable criteria based on story poles to be erected by the applicant to demonstrate the building heights*
14. *The applicant shall provide further details of the proposed roof design including colors, materials, and any ballast proposed for membrane roofing*
15. *Approval of the overall design, including variation requests, is subject to further review of all applicable criteria based on a view corridor analysis from Heritage Plaza and the Gondola Plaza to be provided by the applicant.*

ADJOURN

MOTION to adjourn by unanimous consent, the Design Review Board voted to adjourn the May 17, 2022 meeting at 6:04pm

Prepared and submitted by,

Samuel Quinn-Jacobs
Planning Technician



**AGENDA ITEM 4
PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board
FROM: John Miller, Principal Planner
FOR: Design Review Board Public Hearing; June 2, 2022
DATE: May 25, 2022
RE: Interview Applicants for Design Review Board Open Alternate Seat

Overview: The purpose of this memo is to provide an overview to the Design Review Board (DRB) who will interview and provide a recommendation to Town Council regarding one open DRB Alternate seat.

The DRB is appointed by Town Council to serve a four-year term and according to the Municipal Code is responsible for the following tasks:

1. *The improvement or alteration of any land, open space, exterior design of all new development and all exterior modifications to existing development, shall be subject to design review as specified in the Design Regulations.*
2. *In addition to its architectural review function, the Design Review Board shall serve as a planning and zoning advisory board and shall review all zoning applications and make recommendations thereon to the Town Council.*

On May 19, 2022 Town Council voted to appoint Brown, Miller, Craige and Bennett to regular seats, directing staff to readvertise for an open alternate seat. Eight applications have been submitted.

The eight new applicants are listed as follows:

1. Charles Lynch
2. David Gallagher
3. Jim Austin
4. Teri Steinberg
5. Isabella James
6. Neal Elinoff
7. Jeff Roberts
8. Suzanne Stitlington

ATTACHMENTS

Exhibit A: Letters of intent and supplementary application materials
Exhibit B: Recommended interview questions

Staff Recommendation:

Staff recommends the DRB discuss and interview the applications as needed and recommend an applicant to be appointed by Town Council for the open DRB Alternate seat..

Proposed Motion:

I move to make the recommendation to Town Council to appoint _____ as the second alternate seat, on the Design Review Board of the Town of Mountain Village.

Design Review Board Letter of Intent

To whom it may concern,

My name is Charles Lynch.

I'm interested in serving on the Mountain Village Design and Review Board.

I have lived and worked in Telluride since August of 1997. I was married here and both of my kids went to Mountain Munchkins, Telluride Preschool and Telluride Elementary. I owned Unit 13 @ Fairway Four and lived there between 1999 and 2004. Moved to Norwood and lived there until 2009. I divorced in 2010 and have lived @ VCA since October 2010.

My first job in Telluride was as a carpenter with B.O.N.E. Construction. I worked on the Smugglers Restaurant Project.

My first project as a general contractor in Telluride was converting the old karate studio across the street from the library into office space for Scott Ericson and Joshua Fairbanks in 1999.

As a carpenter, I also worked with Dallas Divide Construction, DeLuca Construction and Shavano.

I started managing projects as a superintendent with Hoins Construction in 2002. I also have worked as a superintendent with CCS Construction and am currently working for Koenig Construction as a superintendent. All along the way I have taken on many projects, commercial and residential, as a general contractor. Some clients easy to work with, some difficult. All the projects had their own unique challenges.

The majority of my commercial project experience has been in Mountain Village: Granita Building (Office remodel for Dr. J. Bronson), Hotel Madeline (misc. scope), Starbucks.

I have participated in the construction of numerous new homes and renovations in Mountain Village throughout the years and have always maintained a good relationship with the building department, clients and residents.

I feel my project history, love for living in Mountain Village and desire to facilitate the building process makes me an ideal candidate for the Design and Review Board.

I would be happy to help in any way.

Sincerely,
Charles Lynch



CHARLES LYNCH CLC SERVICES LLC

General contractor/ Superintendent
Licensed and Insured
29 years of experience.

MISSION

To provide timely management and exceptional craftsmanship.

BACKGROUND

Grew up in Springfield, IL.
Attended University of Colorado.
Started career in Seattle, WA.
Telluride resident since 1997.
Fairway Four resident 1999 – 2004.
VCA resident 10/2010 - Present
Father of two.
Non-drinker/smoker.
Avid outdoorsman & golfer.
Strong self-performer.

VITALS

415 Mountain Village Blvd., Unit 1149
Telluride, CO 81435

T (970) 708-1432

E lynchc71@yahoo.com

RECENT PROJECT HISTORY

Superintendent / Koenig Construction

04/2020 - Present

Philipps Project / 424 W. Dakota, Telluride.

New construction. 2200SF custom home.

General Contractor / CLC Services LLC

03/2019 – 03/2020

Boyd Project. (Phase 2) / 767 HWY 145, Telluride.

Garage renovation. Majority of work performed by self.

07/2017 – 08/2018

Boyd Project. (Phase 1)

Kitchen and (3) Bath renovation. Majority of work performed by self.

Carpenter / Koenig Construction

09/2018 – 02/2019

Rosenthal Project / 792 Smuggler

JOB EXPERIENCE

Rapport with clients. Reading construction documents. Permitting.
Creating CMP plans & completion schedules. Resolving design conflicts. Material take-offs. Hiring & directing sub-contractors. Safety monitoring. Generating shop drawings.

SKILLS

Computer & Smart Phone. (Microsoft Office user).

Journeyman carpenter.

Jack of all trades.

EDUCATION & CERTIFICATION

University of Colorado, B.A. Biology

Licensed National Standard Building Contractor (B)

Procore Software (Superintendent Level)

Building Science Organization Member

NOTABLE

Strong sub-contractor relationships.

Handled superintendent & lead carpenter duties on multiple projects.

Largest project supervised was 11,000SF Luxury Triplex in Telluride.

Commercial construction experience. (Starbucks)

Soil Stabilization. (Supervised Hilfiker Wall construction)

Per OSHA > No injuries on my watch.

Detailed work history and **references available upon request.**

From: [David Gallagher](#)
To: [Samuel Quinn-Jacobs](#)
Cc: [Brad Crouch](#); [Michelle Haynes](#)
Subject: Bio and letter of intent
Date: Thursday, February 10, 2022 9:56:12 AM

Hello,

I would like to join the design review board, this note is my letter of intent.

Brad - can you please send my bio to the people attached?

Thank you,

David Gallagher

David A. Gallagher | CEO | [Dominion Payroll Services](#) |
P 804.355.3430 | F 804.355.3432
3200 Rockbridge Street, RVA 23230
[dominionpayroll.com](#) | [Facebook](#) | [Twitter](#) | [LinkedIn](#) | [Blog](#) | [Secure File Transfer](#)

David Gallagher | CEO | Dominion Payroll
3200 Rockbridge Street, Suite 300 | Richmond, VA 23230 | 804-355-3430 | 804-355-3432
(fax)
[dominionpayroll.com](#) | [Facebook](#) | [Twitter](#) | [LinkedIn](#) | [Blog](#) | [Secure File Transfer](#)



Speaker. Father. Entrepreneur. Advocate. Innovator.

Speaker. Father. Entrepreneur. Advocate. Innovator. These are just some of the words that describe David Gallagher, CEO of Dominion Payroll and co-founder of the Cameron K. Gallagher Foundation.

David's story started in Richmond, Virginia, where he attended Benedictine High School before going on to earn an accounting degree from Virginia Commonwealth University. He married his high school sweetheart, Grace, and embarked on a dynamic career path that started with Coopers & Lybrand, then led to managing the West Coast and Asia-Pacific markets for ADP from Australia before returning to his roots in Richmond.

In 2002, David started Dominion Payroll with a classic (and decidedly American) entrepreneurial beginning: a few thousand dollars, a computer and a printer in a borrowed garage. Since then, Dominion Payroll has grown and changed dramatically, being named as one of Inc. magazine's 5,000 fastest-growing companies in the United States for twelve consecutive years. Headquartered in Richmond with offices in Nashville, Tampa, Dallas, Louisville, and Charlotte, Dominion Payroll recently won Chamber RVA's Impact Award for its outsized contributions to the community and has twice won the HYPE Young Professional Workplace Award.

David and his wife, Grace, have five children, and together they founded the Cameron K. Gallagher Foundation in 2014 to honor their oldest daughter, who passed away suddenly after completing the Shamrock Half Marathon in March of that year. Cameron, who was 16 years old at the time wanted to raise awareness of teenage anxiety and depression by starting a 5k race in Richmond before she passed.

The Speak Up 5k race series was born out of a desire to see Cameron's dream become reality and, through those events and other programs, the CKG Foundation has raised awareness and funding to help teens struggling with depression and anxiety in unprecedented ways throughout the country. David and Grace were honored with the 2015 Carol S. Fox Making Kids Count Award in recognition of the foundation's efforts.



David Gallagher

Founder and CEO, Dominion Payroll

President, Tang & Biscuit

Chairman, Cameron K. Gallagher Foundation

David generously donates his time and visionary leadership through service as a board member for several organizations in the Richmond community, including Collegiate School, Richmond CenterStage and ChamberRVA. He was named a finalist in 2015 for the Richmond Times-Dispatch "Person of the Year" Award and, in 2016, received the Edward H. Peeples Jr. Award for Social Justice, an award given to a VCU alumnus for leadership in humanitarian contributions in combating inequality and social injustice.

In 2018 David opened Tang & Biscuit, the largest indoor shuffleboard facility in the world. Tang & Biscuit offers an alternative to regular bars, where people of all ages are encouraged to engage, be social and enjoy a shared experience.

David continues to lead his business ventures and non-profit foundations to new heights in 2022.

From: [Jim Austin](#)
To: [Samuel Quinn-Jacobs](#)
Subject: J. Austin Application for Vacant Seat on DRB
Date: Saturday, February 12, 2022 9:59:44 AM
Attachments: [Austin Jim bio short.docx](#)
[CV Austin Long.docx](#)
[Letter of Intent to Join the Mountain Village Design Review Board.docx](#)

Dear Mr. Quinn-Jacobs:

I am writing to submit my name for consideration to fill one of the upcoming four vacant Design Review Board (DRB) seats. Attached please find a recent bio (short and long) and letter of intent. In brief, the reasons I am applying are:

- Long-time Visitor/New Resident: my family spent most winter holidays with my wife's parents in the Ski Ranches from the mid-1980's until 2005. Now we are now enjoying our recently built home in Mountain Village.
- Planning/Education Background: I have a joint Masters in Public Affairs and a Masters in Urban and Regional Planning; most of my professional life has been spent in strategy, planning roles. Today I lecture at Wharton and Brown in strategy, leadership and short- vs. longer-term decision-making.
- Love of the Outdoors: I am an avid skier, hiker, golfer and tennis player...all pleasures I enjoy here in Telluride. I am also aware of the challenges inherent in protecting our pristine environment with the demands of growth.
- Past Volunteer Efforts: I have been a member of a number of Boards, enjoying the challenges, comradery, and learning inherent in such enterprises. I hope to help here.

Thank you for your consideration.

Sincerely,

Jim

125 Adams Way, Mountain Village

Jim Austin

Strategy Executive Education

t: 312-388-2750

www.jh-austin.com

Letter of Intent to Join the Mountain Village Design Review Board, 2022

Jim Austin, 125 Adams Way, Mountain Village

I hope to be considered for one of the upcoming four vacant Design Review Board (DRB) seats for the following reasons:

- Long-time visitor/new resident: I first came to Telluride in the mid-1980's, spending most winter holidays with my wife's family in their Ski Ranches' home (Dr. and Mrs. George Conger). My wife and I are now enjoying our recently constructed new home for our family in Mountain Village (125 Adams Way)—designed by my wife, a licensed architect and professor of architecture at the Illinois Institute of Technology (IIT).
- Planning/Education/Corporate Background: I obtained a joint Masters in Public Affairs (MPA) and a Masters in Urban and Regional Planning (MURP) from Princeton. Today, I am an Adjunct Assistant Professor, Brown University, School of Professional Studies, where I teach Leadership & Marketing. I am also a Consultant/Lecturer at the Aresty Institute of Executive Education, Wharton (University of Pennsylvania), where I lead seminars on strategic planning, decision-making and execution. Prior to that, I was VP Strategic Development at Baxter Healthcare, a large pharmaceutical and medical device company, focusing on new, global growth opportunities, constantly balancing past initiatives against new, transformative investments.
- Love of the Outdoors: As the Town of MV Home Rule Charter (HRC) Preamble states, "...our Charter should provide measures which safeguard our citizens' life-style, protect the beauty of our natural

surroundings, and encourage the recreational nature of our town.”¹

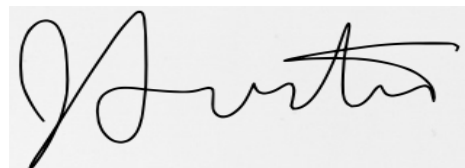
While I am an ardent skier, tennis player, golfer and hiker, I am also aware of the challenges in meeting the HRC’s goals...not just today, but in the years to come. More fundamentally, how should the Town balance the desires of current residents with those of new entrants, visitors, and the natural environment?

- Past Volunteer Efforts: I was Chairman of the Strategic Leadership Forum, a board member of the National Kidney Foundation of Illinois, a member of the Board of Directors for the University Club of Chicago, treasurer of LaSalle Language Academy, and a member of the Admissions Committee for the Latin School of Chicago. In all these efforts, I tried to listen first, discuss second, for it is only in bringing out different perspectives are the best decisions made.

In summary, I would welcome the opportunities and challenges to participate with other DRB members in maintaining and evolving the aesthetic bounty of this wonderful place. For more detail on my background, please visit my website:

www.jh-austin.com

Thank you for your consideration.

A handwritten signature in black ink, appearing to read "J. Austin", is centered on a light gray rectangular background.

¹ Amended 6/28/05



JIM AUSTIN

President, JH Austin Associates, Inc.

Jim Austin, a former senior executive at Baxter Healthcare, combines business strategy and organizational development theory with extensive industry experience. As a Consultant at the Aresty Institute of Executive Education at the Wharton School, Jim tailors senior-level seminars for a number of leading entities including CUES, SIFMA, Boston Scientific, Coca-Cola, Lincoln Financial, GE, GlaxoSmithKline, and China Minsheng Banking Company.

Jim is an Adjunct Assistant Professor at Brown University where he teaches Leadership & Marketing in the School of Professional Services.

In his consulting work, Jim developed scenarios of the future for the League of Southeastern Credit Unions; a new vision/priorities at RAND Health; and strategic priorities for the Board of Unity Medical Center, ND.

Jim has written two books (*Transformative Planning*; and *Leading Strategic Change*).

Jim holds a BA in Economics and Politics from Yale University. He was a Special Student at the Massachusetts Institute of Technology in the Urban Studies Department and received a joint Master of Public Affairs (MPA) and Master of Urban and Regional Planning (MURP) from Princeton University.

Fun fact about Jim: Between college and graduate school, Jim spent four years as an economist/planning officer in the Ministry of Finance, Botswana (southern Africa).

CURRICULUM VITAE

James H. Austin, Jr.

PERSONAL INFORMATION

Address: 125 Adams Way, Mountain Village, CO 81435
Phone: 312-388-2750 (cell)
Fax: NA
E-mail: james_austin@brown.edu

EDUCATION

1975 BA, Economics, Yale
1982 MPA, Woodrow Wilson School, Princeton University (full scholarship)
MURP, Woodrow Wilson School, Princeton University

ACADEMIC APPOINTMENTS

1998 – 2016 Business Management Professor, Introduction to Healthcare Management;
Strategic Management; Lake Forest Graduate School of Management
2004 – 2005 Adjunct Faculty, Healthcare Communication Strategies; Healthcare Informatics;
Stuart Graduate School of Business, Illinois Institute of Technology
2013 – 2016 Adjunct Faculty, Healthcare Ethics; Department of Health Systems Management,
College of Health Sciences, Rush University
2014 - Present Adjunct Assistant Professor, Leadership & Marketing, Master's of Healthcare
Leadership, Brown University

OTHER APPOINTMENTS/EMPLOYMENT

1976-1980 Economist/Planning Officer, Ministry of Finance, Botswana
1982-1986 Consultant, Arthur D. Little, Inc.
1986-1988 Assistant to the President, ANCHOR HMO, Rush Medical Center
1988-2000 Vice-President Strategy Development, Renal Division, Baxter Healthcare
2001-2003 CEO, MV Health, MonacoViola

- 2003-2005 Practice Leader, Organizational Development, St. Aubin, Haggerty & Associates
Senior Principal, Decision Strategies International, Inc.
- 2005-2016 Senior Principal, Decision Strategies International, Inc.
- 2006 – Present Consultant/Lecturer, Aresty Institute of Execution Education, Wharton
- 2014 – Present Faculty, Executive Programs, American College of Healthcare Executives (ACHE)
- 2016- Present President, JH Austin Associates, Inc.

HONORS AND AWARDS

- 2010 – 2010 “Most Distinguished Corporate Education Faculty Member”, Lake Forest Graduate School of Management
- 2015 - 2015 “Contribution to Learning Excellence”, Lake Forest Corporate Education

MEMBERSHIP IN SOCIETIES

- 1997 – 1998 International Strategic Leadership Forum, Chairman
- 2000 – 2003 National Kidney Foundation of Illinois, Member Board of Directors

NATIONAL OR INTERNATIONAL SERVICE

Editorial Responsibilities

- 1973-74 Editorial Editor, Yale Daily News
- 1994 - 2000 Editorial Board, *Strategic Direction*, MCB Business Strategy Publications, UK

SERVICE TO OTHER INSTITUTIONS

- 1990 – 1993 University Club of Chicago, Member Board of Directors
- 1997 – 1998 Catholic Health Partners, Member Strategic Planning Council
- 1997 – 1998 Latin School of Chicago, Member Admissions Committee

2000 – 2002 LaSalle Language Academy, Chair Finance Committee

BOOKS AND BOOK CHAPTERS

1. **J. Austin**, Botswana Drought Contingency Plan, Government of Botswana Printing Office, 1979
2. **J. Austin**, The Business of BioMedicine (Chapter 5); Paul J.H. and Joyce A Schoemaker, Chips, Clones and Living Beyond 100, FT Press, 9/09
3. **J. Austin**, J. Bentkover, L. Chait, Leading Strategic Change in an Era of Healthcare Transformation, Springer International Publishing, Switzerland, 2016
4. **J. Austin**, Transformative Planning: How Your Healthcare Organization Can Strategize for an Uncertain Future, Health Administration Press, 2018

OTHER NON-PEER REVIEWED PUBLICATIONS

1. **J. Austin**, “The Botswana Economy and the Problem of Vulnerability”, Swedish Embassy Development Cooperation Office Quarterly, January 1981
2. **J. Austin**, “South Africa’s Vulnerable Neighbor”, *Christian Science Monitor*, Op-Ed, June 10, 1981
3. **J. Austin**, “Trade Marts for Computer/Information Markets”, *Urban Land*, ULI, August 1984
4. **J. Austin**, “Project Management Models”, *Management Notes*, Arthur D. Little Management Education Institute, Inc., Vol. 2, 1985
5. **J. Austin**, “Profile of the ANCHOR Organization for Health Maintenance”, *Journal of Medical Practice Management*, May 1987
6. **J. Austin**, “Four Key Questions in Negotiations”, *Group Practice Journal*, American Group Practice Association, 1988.
7. **J. Austin**, “Leveraging the Internet for Better Patient Education”, *Dialysis & Transplantation*, Wiley Periodicals, Inc., June 2000
8. **J. Austin**, “The Future of BioSciences: Four Scenarios for 2020 and Beyond...”, *DSI Quarterly*, Summer 2005
9. **J. Austin**, “Case Study: Helping a Major Hospital Develop a New Vision”, *DSI Quarterly*, Fall 2005
10. **J. Austin**, M. Mavaddat, “The Future of BioSciences: Implications for the Bio-Pharmaceutical Industry”, *DSI Quarterly*, Spring 2006
11. **J. Austin**, M. Mavaddat, “The BioScience Industry and Technological Convergence”, *DSI Quarterly*, Summer 2006
12. J. Austin, P. Schoemaker, “Future Scenarios for Implantable Medical Devices”, *DSI Quarterly*, Summer 2007
13. **J. Austin**, T. Fadem, P. Schoemaker, “A Look into the Future of the U.S. Medical Device Market”, *Medical Device & Diagnostic Industry*, January 2009
14. **J. Austin**, “The Need for New Business Models: Big Pharma”, *DSI Quarterly*, Winter 2009
15. **J. Austin**, “2016: Possible Production Scenarios for the US Dairy Industry”, *Progressive Dairyman*, May 2008 (one of top-10 articles for the year)

INVITED PRESENTATIONS

National

1. "Leading Strategic Change", ACHE Executive Conference, Chicago, Dec. 2021
2. "Decision-Traps: Becoming a Better Strategic Decision-Maker", Cerner Healthcare Conference (virtual), October 12, 2021
3. "Leadership Development: Strategic Execution", Highmark Health, June 2021
4. "Leading Strategic Change", 6-Part ACHE Executive Program (virtual), October-November 2020
5. "Leading Strategic Change," Mid-America Healthcare Executives Forum, October 2020
6. "CEO Roundtable", CUES, Jan-November 2020
7. "Leading Strategic Change", ACHE/Iowa Hospital Association, December 2019
8. "Critical Thinking", Sompo/Wharton, October 2019
9. "Strategic Agility: Embracing Future Uncertainty", 2019 Healthcare Forum Leadership Summit, American Hospital Association, July 25, 2019
(<https://web.cvent.com/event/553b8ae2-ec4c-4cef-bd7f-7f9b5bdf10f9/websitePage:de5400e0-9ebd-47d6-93ae-ad5c7e59944b>)
10. "Strategic Planning", American College of Healthcare Executives (ACHE) Senior Executive Program, June 11, 2018
11. "Leading Strategic Change", pre-Congress Seminar, ACHE 2018 Annual Congress, March 24-25, 2018
12. "Leading Strategic Change in an Era of Uncertainty", Cerner Healthcare Conference, October 10, 2017
13. "Leading Transformational Change", American College of Healthcare Executives 2017 Conference, Chicago, March 2017
14. "Leading Strategic Change", American College of Healthcare Executives, Kiawah Island, April 2016
15. "Driving Change in Primary Care", American College of Healthcare Executives 2015 Conference, Chicago, March 2015
16. "Introduction to Strategic Thinking and Wharton Executive Education", American Association of Pediatric Dentists, Board of Directors, San Diego, January 2015
17. "Business Ethics: What to Do", PCMA 2015 Convening Leaders Conference, Chicago, January 2015
18. "Strategy Under Uncertainty", The Association for Convenience and Fuel Retailing (NACS) Conference, Las Vegas, October 2014
19. "Decision-Making Under Uncertainty", BBA Aviation, CEO/Executive Team, September 2014
20. "New Growth Strategies", AIBTM Orlando Conference, June 2014
21. "Value Innovation: Finding New Growth Opportunities", AIME CEO Conference, Australia, February 2014
22. "Scenario Planning: A Tool for Times of Uncertainty", Professional Convention Management Association (PCMA) 2014 Convening Leaders, January 2014

23. "Value Innovation and New Growth Opportunities", Redstone Financial Credit Union, Board of Directors, Florida, November 2013
24. "Scenarios of the Future of the Beef Industry", American Association of Bovine Producers Conference, Milwaukee, WI, September 2013
25. Strategic Plan Development, Volunteers of America, IL Chapter Board of Directors, January-May 2013
26. "Dealing with Uncertainty and Strategic Prioritization", Redstone Financial Credit Union, Board of Directors, Florida, November 2012
27. "Leadership in a Changing Healthcare Landscape", Board/Senior Management, St. Luke's University Health Network, Bethlehem PA, October 2012
28. "Strategy Under Uncertainty", Volunteers of America, Board of Directors, August 2013
29. "Dealing with Uncertainty and Strategic Prioritization", Redstone Financial Credit Union, Board of Directors, Florida, November 2012
30. "Leadership in a Changing Healthcare Landscape", Board/Senior Management, St. Luke's University Health Network, Bethlehem PA, October 2012
31. "Strategic Planning for Changing Times", Navistar Financial Executive Team, Chicago IL, October 2011-June 2012
32. "Scenario Planning and Innovation", Executive Team/Board, League of Southeastern Credit Unions & Affiliates, Florida, August 2011
33. "Scenarios of the Future", American College of Healthcare Architects, Board Retreat, January 2011
34. Dealing with Uncertainty...Developing Strategic Priorities", Board of Advisors, RAND Health, January-June 2011
35. "What is Strategy and the Tool of Scenario Planning", Royal Caribbean International Leadership Retreat, Miami Florida, November 2010
36. "Decision Traps", University of Alabama at Birmingham (UAB), 2009 National Symposium for Healthcare Executives, July 2009
37. "Decision-Making in Increasingly Uncertain Times", "Strategic Agility--Developing a Robust Plan for Short and Long-Term Success", "Creating a Local Vision", APTA, 2009 Transit CEOs Seminar, January 2009
38. "From the Future Back", Abbott, PPD, 2008 Managed Care Summit, Spring 2008
39. "Working with MDs", Decision Analysis Affinity Group (DAAG) 2008 Conference, April 2008
40. "Decision Traps and Managing Future Uncertainties", APTA, Transit Board Members Seminar, July 2008
41. "Updated Scenarios of the Future for US Dairy and Strategic Execution", PDPW, Managers Academy, January 2008
42. "Scenarios of the Future for US Dairy", PDPW, Managers Academy, January 2007
43. J. Austin, M. Hess, T. Fadem, "US Medical Device Industry: Scenarios for the Future", AdvaMed, 2007 Medical Technology Conference, Fall 2007
44. "Future of Medical Devices: Overview of the Market and Key Issues", Wharton, Medical Devices Scenario Conference, Fall 2006
45. J. Austin, D. de St. Aubin, "New Approaches to Strategy: Combining Team-building and Strategy Development", University of Chicago Business School Consulting Roundtable, 2002

46. Conference Chair, IIR, ePharma Summit: Leveraging eBusiness Strategies Across the Enterprise for Competitive Advantage, November 2000
47. “Maximizing the Role of eCommerce in Global Marketing Strategy”, IIR, E-Pharma: Implementing an Effective Electronic Media Marketing & Promotion Strategy, August 2000
48. Conference Chair, Frost & Sullivan, Second Annual Business Intelligence and Strategy in Healthcare Industry Conference and Exhibition, November 1999
49. “Going Global: Market Entry Strategies”, Frost & Sullivan, Fourth Annual Medical Device Industry Conference, March 1999
50. “Changing Strategic Direction: Implications for Growth and Performance Measurements”, IQPC, Performance Measurements for Strategic Planning Conference, February 1999
51. “Best Practices: Competitive Intelligence Management Strategies”, Frost & Sullivan, Competitive Intelligence in Business Conference, September 1998
52. “Technology Transfer at Baxter’s Renal Division”, Technology Transfer Society, July 1998
53. “Implementing a Global Strategy”, Strategic Management Society, Annual Conference, 1995
54. Chairman Introduction, Strategic Leadership Forum, Annual Conference, 1995

International

1. “Strategic Planning Under Uncertainty”, Saudi Ministry of Health, Wharton Executive Education, January 2020
2. “Decision-Making and Execution in Times of Uncertainty”, E-House, Chengdu China, January 2019
3. “Finding New Growth Opportunities: Strategy from the Outside-In”, The Wharton Latin America Conference Tour—Seminarium Master Classes, August 19-23, 2019, Mexico City, Bogota, Santiago
4. “Scenario Planning and Dealing with Uncertainty”, China Minsheng Banking Co, Beijing China, May 2019
5. “Strategic Leadership Under Uncertainty”, Lonza G-Camp, Basel Switzerland, November 2017
6. “Business Model Transformation”, Lonza G-Camp, London UK, March 2017
7. “Strategic Leadership: Dealing with Uncertainty”, Campbell’s, Sydney Australia, March 2016; July 2015
8. “Innovation and Strategic Segmentation”, Roche Leadership Excellence Program, Shanghai China, July 2015
9. “Value Innovation”, Scotiabank, Toronto Canada, 2014-2018 (annual meeting)
10. “Decision-Making Under Uncertainty”, CEO Summit at AIME, Melbourne Australia, February 2014
11. “Strategy in an Age of Uncertainty”, GSK High-Potentials, Mumbai India, May 2011; 2012 and 2013
12. “Strategy, Scenario Planning and Driving Change”, Santander Banco High Potentials, Madrid Spain, November 2011
13. “Decision-Making and Blue Ocean Strategy to Drive Future Growth”, Telstra High Potentials, Sydney Australia, June 2011
14. “Scenario Planning and Dealing with Decision Traps”, GE LIG Program (Munich, Istanbul, Milwaukee), April-October 2011

15. “Strategic Planning, Dealing with Uncertainty and the Tool of Scenario Planning”, ANZ Executive Team, Jakarta Indonesia, April 2011

From: [Teri Steinberg](#)
To: [Samuel Quinn-Jacobs](#)
Subject: Application for Design Review Board
Date: Friday, February 18, 2022 3:34:59 PM
Attachments: [Teri Steinberg Resume .doc](#)

Dear Sam Quinn Jacobs,

Thank you for considering my application for one of the open seats of the Mountain Village Design Review Board.

I will start by confessing I do not meet the exact qualifications you are looking for. I am a lawyer who worked for many years as a literary agent in New York City. However, my undergraduate degree is from the School of Natural Resources at The University of Michigan, which focused on Urban Planning. I have always been interested in city planning and find the opportunity to be involved with a community that is still creating itself to be thrilling. I understand that the Design Review Board does not have a direct hand in planning, but in making sure that the plans and designs others create are in keeping with the intent and vision of Mountain Village. I have read the 30-year Comprehensive Plan just out of interest.

I moved to Ophir three years ago, am a member of the Ophir Environmental Commission and started a Budget Advisory Committee last year so that we Ophir citizens can understand the needs of our own growing community. I feel incredibly fortunate to live in this area and enjoy being an involved community member.

I am happy to answer any questions you may have and thank you for your time and consideration of this application.

Best regards,

Teri

Teri Steinberg
cell: 917-771-8446

EXPERIENCE

Teri Steinberg, LLC Ophir, CO November 2022 – present
Work as an independent contractor with local attorneys on a variety of legal matters

T&B Literary, Publishing Consultant Firm, Detroit, MI and Ophir, CO
Co-Founder December 2018 – March 2021
Co-founded a publishing consultancy to bring my industry expertise to aspiring authors. Provided a range of services including coaching, editing and contract negotiation for authors and publishing companies

Campaign for Michigan Secretary of State Jocelyn Benson, Detroit, MI
Campaign Manager, Detroit headquarters September 2017 – November 2018
Coordinated and executed a successful political campaign including website, email campaigns, political strategy, fundraising and organizing Benson's appearance at Michigan Democratic conventions and fundraisers. Worked in coordination with the campaign manager and other lead staff in Lansing, Michigan.

Teri Tobias Agency, New York, NY
Creator and President of an independent literary agency October 2009 – 2017
Was an independent consultant for publishing clients including Penguin Random House, Inc., where I worked with the US CEO on special projects requiring company-wide implementation and Amazon Publishing, where I created their first foreign rights program. Represented major publishers and agencies to sell their authors' book worldwide, working with hundreds of internationally bestselling writers across fiction and non-fiction. Helped ideate, edit and sell books for Teri Tobias Agency's clients worldwide and co-represented film rights for the agency's clients. Spoke at international publishing conferences around the world on the future of publishing.

Sanford J. Greenburger Associates, New York, NY
Foreign Rights Director September 2005 – July 2009
Sold translation rights in over 50 territories for all clients represented by Sanford J. Greenburger Associates, including the only person to represent the foreign rights for Dan Brown at the height of his international best-selling status. Negotiated all foreign ancillary deals associated with The Da Vinci Code movie, coordinating with Sony Pictures Entertainment.

The Robbins Office, New York, NY.
Foreign Rights Director and Literary Agent September 2003 – August 2005
Helped ideate, edit and sell author's books in the US and worldwide on behalf of clients represented by The Robbins Office
Contracts Manager
Drafted and negotiated option/purchase agreements, publishing agreements, collaboration agreements, magazine agreements, and audio agreements for all clients represented by The Robbins Office.

International Creative Management, New York, NY.
Business Affairs Associate March 2001– August 2003
Drafted and negotiated option/purchase agreements, publishing agreements, collaboration agreements, magazine agreements, and audio agreements for all clients represented by the literary department of ICM
Literary Assistant to Agent Sloan Harris April 1999 – March 2001
Assisted now president of ICM Sloan Harris

LOCAL VOLUNTEER EXPERIENCE

Ophir General Assembly

- Chairperson, Ophir Budget Committee June 2021- present
- Ophir Environmental Commission member April 2021 – present

Telluride Adaptive Sports Program (TASP)

- Winter Assistant for skiing and snowboarding Winter 2019 – present

OTHER BUSINESS EXPERIENCE

- **Burns & Harris, Esqs, Associate**, New York, NY September 1998 – March 1999
- **Third Circuit Court Wayne County, Judicial Clerk**, Detroit, MI Summers, 1996 – 1998

EDUCATION

- **Wayne State University Law School**, Detroit, MI, Juris Doctor, 1998
- **Universiteit Utrecht**, Utrecht, The Netherlands: Public International Law program, Fall Semester, 1997.
- **University of Michigan**, Ann Arbor, MI, Bachelor of Science, School of Natural Resources, 1995.

ISABELLA JAMES

isabellajames97@gmail.com

720 633 4947

Experience and References

Architectural Designer, **CANSANO Design**, Telluride CO – 2021-Present

Contact: Ascenzo DiGiacomo 720 633 4948

Board Advisor, **Institute of Classical Architecture and Art**, Rocky Mountain

Recipient of the Certificate in Classical Architecture (ICAA)

Architectural Designer, **RATIO | Humphries Poli Arch**, Denver CO – 2017-2021

Contact: Dennis Humphries 303 607 0040

Architectural Intern, **The Mulhern Group** Ltd., Denver CO - 2014-2015

Contact: Andy Baldyga 303 297 3334

Education

University of Colorado Denver / **Master's of Architecture**

2019 - 2022 / Magna Cum Laude

University of Colorado Denver / **Bachelor's of Science in Architecture**

2015 - 2019 / Magna Cum Laude

Letter of Intent

To Whom it May Concern,

Lucky enough to be born in raised in the most wonderful community in the country, I am a Telluride woman through and through. I have witnessed the growth of this town through a unique perspective, one of architecture and design. After receiving my architectural education in Denver, I could not wait to come back to Telluride and Mountain Village to have a hand in the growth. The mountain vernacular is incredibly special to me and is worth preserving. Whether it be in a multi million dollar house on the hill, a new hotel in the village core, or a trash enclosure for the village market, I am committed to the very specific architectural language of Mountain Village.

I have experience working in a boutique firm on high end residential on the Ridge as well as in a corporate firm working on community buildings such as the Ridgeway library expansion and the Mancos K-12 schools renovation. My passion for architecture began very early in life when I would spend hours at the Wilkinson Public Library, it was here I realized the intense connection between architecture and our culture. It is our historic main street, ski shacks, and community buildings that truly give our home it's character. Mountain Village is one of the most unique towns in the country and that comes from the charm of the Chamonix-esque core. As the village grows and more houses go up on the ski area, it is our duty to preserve the architectural identity of our little mountain town. The design of Telluride and Mountain Village inspired me to pursue a degree in architecture. With this knowledge, experience and passion for our little slice of heaven here in the San Juans, I came back with the intention of preserving the historic architectural character while launching Mountain Village into a new era of growth and sustainability. I am deeply rooted in this community and my passion and knowledge of the mountain vernacular would make me the perfect candidate for the Mountain Village Design Review Board.

Thank you very much for your time and consideration,

Isabella James

The Town of Mountain Village
455 Mountain Village Blvd Suite A
Mountain Village, CO 81435

Jeff Roberts
650 Mountain Village Blvd Unit E
Mountain Village, CO 81435

RE: Letter of Intent, Design Review Board Alternative Seat

Dear Sam Quinn-Jacobs,
Please consider this my Letter of Intent for the Design Review Board Alternative Seat.

As a property owner and one who greatly appreciates the Mountain Village/Telluride area, I would be honored to be a part of helping shape and protect the future of our community. Nothing gives me more pleasure than bringing friends and family to my home, witnessing the instant awe and love of our region. As a member of the Design Review Board, it would be my focus to continue to create and sustain that experience.

While I am not an experienced architect, designer, or contractor in professional capacity, I have had executive leadership over numerous facility design and construction projects in the healthcare and hospitality spaces, in various cities across the United States. I also have led several construction projects in my personal life. This experience not only gives me insight into the tactical work to bring a plan or project to life, it also gives me the insight to know what is important to our customers, the business and homeowners that need our services.

Thank you for considering my candidacy,
Jeff Roberts
651-529-2954

From: [Kathrine Warren](#)
To: [neal elinoff](#); [Samuel Quinn-Jacobs](#)
Subject: Re: design and review board for MV
Date: Tuesday, February 15, 2022 5:20:49 PM

Hi Neal,

I am looping in Sam Quinn-Jacobs who is overseeing DRB applications.

Thank you!

Kathrine Warren
Public Information Officer
Town of Mountain Village
455 Mountain Village Blvd. Suite A
O :: 970.369.6415
M :: 970.708.7285
[Website](#) | [Facebook](#) | [Twitter](#) | [Instagram](#) | [Email Signup](#) | [Submit event](#) |

Si Usted necesita comunicarse conmigo y necesita servicio de traducción al español, simplemente háganoslo saber y podemos proporcionar tal servicio.

From: neal elinoff <nealelinoff@gmail.com>
Date: Tuesday, February 15, 2022 at 5:18 PM
To: Kathrine Warren <KWarren@mtnvillage.org>
Subject: design and review board for MV

Please throw my name into the hat.

I've lived in Telluride as a year round, full time resident since 1995. I own the Elinoff Gallery on Main Street and the Alpinist & the Goat.

We own a couple of rental properties in MV and we live at Crystal which is behind See Forever Village.

I'm a licensed contractor in MV having just completed a major excavation and addition to my MV home.

I'm 66 years old and married to Karla for 17 years. I have four children from my first marriage, two are lawyers, one is an internet professional and one is a NY Fashion designer. My wife, Karla and I brought 4 of her half-brother's children from Honduras who were taken by the state and we raised them here. Karlita is the Neil Armstrong Merit Scholar currently a Junior at CSU, and the two youngest ones are finishing their education in Aurora High School on the front range.

I am a private pilot and do volunteer flying for Angel Flights West, flying patients through the region to and from the hospitals in Denver, children and adults who cannot tolerate extended driving.

I'm vested in the community. I have no other residences and live here year round, full time since 1995 jockeying between properties but finally moving to our forever home at Crystal after it's recent renovation and expansion.

I'm an art dealer by trade, artist by desire, and lay architecture scholar for most of my life having personally known Michael Graves, Renzo Piano, IM Pei, (I was on the architectural committee for the University of Chicago Graduate School of Business) I've studied the works of Le Corbusier, Frank Gehry, Frank Lloyd Wright, Philip Johnson and many others, and I know many of our local architects and designers and I want to see MV as the quintessential place for people who want the best homes ever!. plus I want to do more volunteering now that I'm winding down much of my hands-on work on Main St.

I have a BS degree in statistics and BS in genetics from CU in 1973, I taught Epidemiology at St. George's University School of Medicine from 1973-1975 and was also a student there before moving back to the states and starting a chain of ice cream stores (Neal's Ice Cream in Houston) and cookie stores (Neal's Cookies, HQ in Houston with 122 stores) before selling out years ago. At the time I had a bakery products manufacturing company that produced cookie doughs, muffin mixes and brown batters as well as making our own fine chocolate which we used in our own cookies, etc. of 7.5 tonnes/week before moving to Chicago where I invented a coffee roaster, wrote a book on coffee roasting and started a chain of coffee shops (Brewsters). I founded the first weed store in Telluride in 2008 (Legally Supplied Marijuana for Telluride - LSMFT) and gave it to an employee to continue. He was a moron and couldn't keep it open so that was my foray into Marijuana.

I'm interested in contributing to the local community more than just being a local business owner, so please add me to your selection committee.

Neal Elinoff *president*

Elinoff & Co. Gallerists and Jewelers

204 West Colorado Ave.

PO Box 2846

Telluride, CO 81435

work: 970-728-5566; fax: 970-728-5950; cell: 970-708-0679

From: [suzanne sitlington](#)
To: [Samuel Quinn-Jacobs](#)
Subject: DRB open seat
Date: Thursday, May 26, 2022 9:12:30 AM
Attachments: [Suzanne Sitlington Resume 4 \(1\) \(1\) \(1\).PDF](#)

Hi,

Something is nudging me to apply for the open seat position....maybe the ski pass?

At present and for the past five years, I've lived with my son at the VCA. I've been around the Telluride area for the past twenty plus years, working for businesses in Mountain Village and Telluride and am thrilled to call Mountain Village home.

In my previous life, I lived in Seattle where I worked professionally and as a side gig purchased fixer uppers. The process of taking something run down and disrespected and bringing it back to life was immensely satisfying. I love and appreciate design and beauty and have no problem with offering an opinion.

Currently I'm working for Colorado 145 Jeep rental.

Sincerely,
Suzanne Sitlington
970.497.0670



Virus-free. www.avg.com

SUZANNE SITLINGTON

PROFESSIONAL SUMMARY

Motivated sales/customer service professional offering years of experience. Highly results-oriented and energetic with unsurpassed interpersonal and communication strengths. Productive, hardworking and known for consistent stellar performance against target sales goals and customer service expectations.

SKILLS

- The ability to plan, organize and execute.
- Exceptional communication and networking skills.
- The ability to work under pressure and multi-task.
- Comfortable and excited about technology.
- Successful working in a team environment, as well as independently.

WORK HISTORY

SALES ASSOCIATE 04/2020 to Current
Spectrum, Telluride, CO

- Implemented up-selling strategies, encompassing recommendation of accessories and complementary purchases.

SUBSTITUTE TEACHER 09/2017 to Current
Telluride Schools, Telluride, CO

- Upheld classroom routines to support student environments and maintain consistent schedules.

SALES ASSOCIATE 06/2019 to 04/2020
Elinoff Gallery, Telluride, CO

- Maintained organized, presentable merchandise to drive continuous sales.

SALES REPRESENTATIVE 12/2017 to 06/2019
Telluride Sports, Telluride, CO

- Sold over \$268,000 of sports wear over a two month period.

MANY HATS 08/1998 to 08/2011
Telluride Horseback/Property Manager/Telski, Telluride, CO

- Exceptional customer service.

PUBLISHING REPRESENTATIVE 09/1984 to 08/1997
Harper Collins, Seattle, WA

- Ran and managed my individual sales territory out of my home office. Largest territory was \$1.5 million.

EDUCATION

Missouri State University, Springfield, MO
Bachelor of Science, Marketing



AGENDA ITEM 5
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board
FROM: Amy Ward, Senior Planner
FOR: Design Review Board Public Hearing; June 2, 2022
DATE: May 24, 2022
RE: Staff Memo – Final Architecture Review (FAR) Lot 161D-1 Unit 17

APPLICATION OVERVIEW:

PROJECT GEOGRAPHY

Legal Description: UNIT 17 THE RIDGE AT TELLURIDE A PLANNED COMMUNITY LOT 161A4 ACC TO PLAT REC 04 05 2004 BK 1 PG 3262 3265 AND ACC TO 6TH SUPPLEMENTAL AND AMENDED PLANNED COMMUNITY PLAT PHASES 1 THRU 7 REC 07 02 2010 PLAT BK 1 PG 4349 4353 AND 6TH SUPPLEMENT & AMENDMENT TO DECS AT 413135 A 5.55 PER INT IN UNIT 4 LOT 161A 1R BLDG LOT 161 D1 OPEN SPACE TRACTS ROS 1A 2C 4B 5A 6A 7A LOT 161A 4 OPEN SPACE TRACTS ROS 1B 2B 3A 4A AND LOT 161A R3 OPEN SPACE TRACT ROS 5B COMMON ELEMENTS

Address: 6 Tunnel Lane
Applicant/Agent: Chris Hawkins, Alpine Planning
Owner: Telluride Longview LLC
Zoning: Multi-Family
Existing Use: Vacant Lot
Proposed Use: Detached Condominium
Lot Size: 7,500 square feet

Adjacent Land Uses:

- **North:** Multi-Family
- **South:** Open Space
- **East:** Multi-Family
- **West:** Multi-Family

ATTACHMENTS

Exhibit A: Architectural Plan Set
Exhibit B: Staff/Referral Comments



Figure 1: Vicinity Map

Case Summary: Chris Hawkins of Alpine Planning (Applicant), on the behalf of Telluride Longview LLC (Owner) is requesting Design Review Board (DRB) approval of a Final

Architectural Review (FAR) Application for a new single-family detached condominium located at Lot 161D-1, Unit 17, 6 Tunnel Lane. This was originally reviewed by DRB in February, 2021 for the Initial Architectural and Site Review. There were minor design changes that staff determined did not substantially affect mass and scale of the proposed development, so a determination was made that continuing on to final review was appropriate. These changes are bubbled on sheets A1.1-4 for a comprehensive view of the changes since Initial Review.

The Lot is 7,500 square feet and is zoned Multi-Family. The proposal includes a detached condo with the approximate gross square footage of 5,878 square feet. Because of the home's location near the top of Coonskin Ridge, additional development regulations must be addressed in addition to the general Design Review Standards – specifically, CDC Section 17.5.16: Ridgeline Lots.

There are additional regulations attributable to specific locations in the Mountain Village as memorialized in the Town and County Settlement Agreement with the intent to limit viewshed impacts as seen from the Valley below Mountain Village (aka 145 along the Valley Floor and the Town of Telluride). These regulations are reiterated in the CDC.

Due to the location of the home as it relates to the Coonskin View Survey and the geographical ridge elevation, the applicant has requested the Community Development Director waive the story pole requirement. This request is at the Director's discretion per the CDC. This request is also consistent with the Lot 161D-1 Unit 15's waiver approval which occurred in 2016. The story pole waiver request was also consented to by San Miguel County and the Town of Telluride.

It should be noted that this application does include an unfinished space to later be converted into a mother-in-law suite. As a point of clarification in January of 2022 the Town amended the CDC to remove mother-in-law suite as a permitted use and only allow an ADU in a detached condominium if the property has year round vehicular access via passenger car or light truck. This application was submitted before the CDC amendment therefore, a mother-in-law suite would be allowed with an associated design review application (if applicable) and future building permit.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	45' (ridge allowance)	42' – 2 1/8"
Maximum Average Height	30' (ridge allowance)	24' – 10 1/2"
Maximum Lot Coverage	Not applicable to Ridge	
General Easement Setbacks	No GE	
Roof Pitch		
Primary		10:12
Secondary		4:12
Exterior Material**		
Stone	35% minimum	47.78%
Windows/Doors	40% maximum	30.3%
Parking	2 Interior Golf Cart Spaces	2

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates a combination of gabled roof forms. Because of development agreements memorialized in the CDC, the Unit 17 is classified as a ridge lot, and with that it is granted a different height allowance than other detached condominiums in the Mountain Village. The unit is subject in this case to a 45-foot height limit from finished grade.

Staff: Maximum Building Height and Average Building Height calculation has been provided on pages A3.1 – A3.3. The Max height is shown at 42' 2 1/8" and the average height is 24' 10 1/2". It should be noted that Maximum height on Ridge Line Lots is measured to finished grade only. These heights are meeting height requirements of the CDC. Approval should condition that a height survey be required prior to the issuance of a framing inspection to determine the heights comply with the DRB approved plan and consistent with how height is measured as described above for this lot and similarly situated Ridge properties.

17.3.14: General Easement Setbacks

Lot 161D-1, Unit 17 is not burdened by any General Easements or Setbacks. The development documents specify that each unit on Lot 161D-1 is permitted to utilize the full 7,500 square feet allocated.

Staff: There is some proposed development in the way of retaining walls shown outside of the Unit area. The development agreement that also governs allowable uses in the Ridge does allow for access roads and retaining walls within Common Element Open Space Tracts, which is the adjoining parcel on to which the retaining walls extend.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The massing and form of the proposed home at Unit 17 is very traditional as it relates to recent home designs in the Mountain Village. The rooflines have changed since initial review, replacing what was a shed with a third gable. The materials – particularly the dry stack gold stone veneer and Corten metal siding tie the home visually with other homes on the ridge and throughout the Mountain Village. Even with the traditional form, staff believes this home to be categorized as a Mountain Modern design given the strong lines and modern materials that have been incorporated.

At just over 5,800 gross square feet, the home is in line with other home sizes along the ridge. Even with the large size, the home does feel like it has been built into the hillside in

a way that reduces is overall mass, particularly as seen from the top of coonskin ridge looking downhill.

The south elevation of the home (shown on page A3.2) is showing a change in the fenestration that was not captured in the bubbled redline. The windows are showing less dividers than what was proposed at initial. This is the primary elevation facing Mountain Village. Staff does feel that the current way of braking up this glass area is more logical and visually appealing than what was previously show, but it does seem likely that there will be some light spill from within the home given the large expanses of glass.

It appears based on the applicant's submittal that the material palette for the project blends well with both the surrounding community, as well as the overall modern mountain vernacular. There is one proposed material – the equitone cementitious panels that would require a design variation for material. This should be verified with a physical sample at the final review hearing and if DRB is generally comfortable with it for approval than a design variation should d be granted.

The materials are discussed below in more detail as it relates to the ridgeline lot requirements of Section 17.5.16.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: As briefly mentioned above, these lots allow for development of the entire 7,500 square feet and allow for full development of the allocated 7,500 square feet. With that, the location of the homes building envelope is tied to the subdivision documents and the location of the specific units within Lot 161D-1. It does appear that the home has attempted some visual subordination by incorporating the design of the home into the hillside. This appears to result in a less proud home as seen from the Mountain Village. Due to the steep slopes, vegetation, and location – it will be difficult to blend all future development of the homesites into the existing landforms entirely. With that being said, staff believes this project to be accomplishing this standard.

17.5.6: Building Design

The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation.

Staff: Although the applicant is meeting the material requirements for stone and fenestration, certain elevations appear to feel more grounded than others. In particular, stone on the north elevation is limited. Because of the elevation of the site, snow depth could be problematic and it will be important to understand the long-term suitability of the Corten Metal and Cementitious panels if they are not protected from snow and water. Material included by the applicant regarding the cementitious panels indicates that the material can actually be applied in way where the panel is installed partially sub-grade so staff feels like moisture from snow shouldn't be any more problematic. Corten metal siding seems to hold up fairly well.

The home's exterior palette contrasts and blends well between the gold stone, the rusted Corten Metal and the darker grey-black elements of the home. Staff is unsure of the proposed material for the garage door. This should be clarified at the final review hearing. The CDC allows for black metal standing seam roofing materials and this appears to meet that requirement.

The civil drawings indicate that the driveway will be heated, but a rough estimate puts that at less than 500 s.f. of snowmelt.

17.5.7: Grading and Drainage Design

Staff: The site is fairly steep and the homesite sits just below Tunnel Lane. There are two fairly extensive retaining walls between Tunnel Lane and the home. These walls are shown as stepped boulder walls with heights no greater than 4'. There is an additional boulder wall downhill (west of the home) to retain grade for a patio area off the lower level of the house. The fourth area of retainage is a wall that meets the north side of the home and allows for daylighting of a window well. See the grading and drainage plan as it relates to access, and grading required for areas surrounding the home. Prior to the building permit, a finished slope calculation shall be provided for all disturbed areas to determine appropriate revegetation and stormwater requirements.

17.5.8: Parking Regulations

Staff: Lot 161D-4 Unit 17 is required to provide two enclosed golf cart spaces per unit. The Town Council approved a parking variance for The Ridge under Resolution No. 2003-0610-10 because The Ridge was being planned as a unique development that would have limited vehicular access, with the main access provided by the Gondola during its normal operating hours. The Resolution established one parking space per unit as an approved alternative parking requirement. Resolution No. 2003-0610-10 was approved with the understanding that either off-site parking would be provided on Lot 161C-R with reception area and valet service; or that parking would be provided by payment to the Parking Fund.

The applicant has addressed this requirement within their provided narrative stating that "The Town; TMVOA; CO Lot 161C-R, LLC; and owners at The Ridge entered into a settlement agreement in 2019 that released several old parking and land use agreements in exchange for deeded parking spaces for The Ridge on Lot 161C-R. Most units at The Ridge were allocated one parking space on Lot 161C-R with an allowance to enter into a Reservation Agreement and escrow \$60,000 for a parking space by a set date; or to purchase a space based on construction costs at a later date. Unit 17 executed a Reservation and Escrow Agreement and deposited the corresponding \$60,000 deposit for a deeded parking space on June 6, 2019, per the parking settlement agreement. As such, Unit 17 currently parks on the surface of Lot 161C-R and will have a deeded parking space when covered parking is completed." (Sic).

17.5.9: Landscaping Regulations

The landscaping plan as proposed indicates 19 new trees to be planted on the site in addition to a good variety of shrubs, perennials and ornamental grasses. The diversity of species is not being represented within this tree mix. The south end of the lot is encumbered by a landscape buffer area. This area is required to be planted in way that creates a buffer zone between the home and the adjoining ski trail. The trees that are concentrated on the SE corner of the unit should buffer the home well from the ski run. The planting on the SW corner is a little less robust, but since the interaction will come primarily from skiers, they will experience any buffer areas when moving downhill, so the plantings seem appropriate to their function. Due to the home's location and visibility, staff is requesting that the DRB waive the requirements of the Fire Mitigation Section of the CDC.

17.5.11: Utilities

Staff: All utilities are currently located within proximity to the home. The applicant shall work with the Public Works Director before the final review to verify the specific locations of the connections for the home. The plan set shows the proposed connections and the

a design variation would be required. This area will generally be visible from Mountain Village, and so DRB should consider whether this type of lighting is appropriate given its location and its connection to the southeast open air dining area. On the lower level, recessed cans are used with the addition of some LED lighting at the stair and fireplace toe kick.

Staff would recommend that the applicant provide a revised lighting plan that removes the LED up-lighting on the east/northeast side of the home and otherwise reflects any comments made by DRB during the hearing.

17.5.13: Sign Regulations

Staff: The site plan indicates a wall mounted address monument to the east of the driveway, however the vertical face of the retaining wall would have to exceed grade for it to be viewable from the road. No detail of the monument was included in the plan set. Prior to building permit, the applicant shall provide a full address monument design to include more details, a revised location if necessary and method of illumination.

17.5.16: Ridgeline Lots

The CDC identifies Lot 161D-1 as a part of the Ridge Area and as such provides additional design restrictions. These provisions require the home to maintain visual subordination to the natural landscape along the ridge.

In order to accomplish this, the code requires the following:

1. All improvements are subject to a ridgeline covenant with San Miguel County as recorded at reception number 329093. The Town does not enforce the ridgeline covenant, with enforcement solely administered by San Miguel County.

Staff: The improvements appear to be aligned with the ridgeline covenant as discussed above within this memo. The Town of Mountain Village does not enforce this covenant but provided this application and all materials to both San Miguel County and the Town of Telluride in order for those agencies to provide comment on the proposed application.

2. The building height on Lot 161A-1R shall not exceed 35 feet (35') along the ridgeline of such building.

Staff: Not applicable. Subject unit is within Lot 161D-1.

3. Building height on other ridge area lots shall not exceed the lesser of:
 - a. The height of forty-five feet (45'); or
 - b. The maximum height allowed to the view plane limitation set forth in section 4 below.

Staff: The applicant is meeting these criteria with the proposed design. Because this lot is not within an identified view plane, it is limited by a height of 45 feet.

4. Except for the existing building on Lot 161A-1R and gondola facilities, the development of ridgeline area lots shall be designed to ensure that no lighting or any part of any building or structure extends into the view plane as shown on the Coonskin View Plane drawing recorded at reception number 328113.

Staff: Not applicable. Subject unit is not located within any view plane identified on the Coonskin View Plane.

- 5. New development in the ridgeline area, excluding the existing building on Lot 161A-1R and gondola facilities, shall require (a) the erection of a story pole to reflect the maximum height of the proposed development where such development will extend closest to the view plane as described in section 4 above; and (b) the installation of a light to illuminate the story pole where off-site light would be visible from the highest window. The applicant for development shall provide written notice of the story pole erection to San Miguel County and the Town of Telluride.*

Staff: The Town of Mountain Village has waived this request due to the location of the site in relation to the Coonskin View Plane survey and the geographical ridge. SMC agreed to this waiver request along with the Town of Telluride. The applicant has provided the following within their attached narrative: "Unit 17 is carved out of Lot 161D-1 and is located below the currently under construction home on Unit 15. There is no way the home will be visible from either Telluride or the Valley Floor since it is well below the geographic ridge. The highest roof elevation is approximately 10486 while the geographic ridge is located around approximately 10560. As a reference point, the roof on Unit 15 that is currently under construction to the north of and above Unit 17 has its highest roof ridge elevation of 10531.6' and you cannot see that from Telluride or the Valley Floor."

- 6. To the extent practical, no exterior lights shall be installed on the east side of buildings. Any required exterior lighting shall be shielded, recessed, or reflected so that no lighting is oriented towards the east side of the building.*

Staff: This item has been addressed above within the Lighting Standards.

- 7. No solid fuel burning device shall be allowed in the building on Lot 161A-1R.*

Staff: All fireplaces at the home are required to be natural gas burning fixtures.

- 8. For all new development, or substantial modifications to existing development, a courtesy referral shall be provided to San Miguel County and the Town of Telluride consistent with the Referral and Review Process outlined in the Development Review Procedures. The Town is not bound by any referral comments from either jurisdiction.*

Staff: A courtesy referral was provided to both the Town of Telluride and San Miguel County on January 7, 2021.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: Due to the location of the site, staff is requesting that the fire mitigation requirements be waived. This will allow for additional vegetative screening to be maintained to mitigate visual impacts from the Mountain Village Center.

Steep Slopes: The building site does contain steep slopes and these areas have been identified as part of the topographic survey. This has been discussed above but due to the nature of the Unit – the steep slopes are impractical to avoid.

17.6.6: Roads and Driveway Standards

Staff: The typical road and driveway standards do not apply to the ridge given its unique location and access. Grades in the driveway are approximately 3.5% and the drive as proposed is 12' wide which both seem sufficient for golf cart access. The driveway is indicated to be heated for snow melting.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does include fireplaces, and these are gas burning fixtures as required. The vents for these gas fireplaces are located on the rear of the home.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The applicant has submitted a CMP for final review. Staging on this site is more complicated due to the site's unique location. It looks like the primary access for construction would be from below the site on La Sal Lane. This makes sense, however no opening is indicated on the construction fencing and silt fencing is also indicated adjacent to the construction fence on the downhill side. Silt fencing is not as easy to move for access, therefore staff believes some adjustment will need to be made to allow for access without constantly having to move the silt fence. A crane is indicated, but doesn't show a crane swing, it seems likely that the crane would impact La Salle Lane, further details should be worked out with the building department prior to building permit. The plan does not reflect a bear proof food trash container and one is required. The parking as indicated doesn't show how many vehicles can be accommodated. It will be important to understand how much excavated material will need to be removed from the site and where it will be staged prior to removal.

Staff Recommendation: Staff recommends the DRB consider this request in relation to the CDC provisions listed above and particularly in Section 17.5.16: Ridgeline Lots to determine if the home is substantially complying with these provisions. If it's determined that the home does comply with these provisions, then staff recommends approval of the IASR, but if it's determined that these provisions are not being met then the item should be continued, and the applicant should revise the plans accordingly.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion for Approval:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architectural Review for a new single-family detached condominium located at Lot 161D-1 Unit 17, based on the evidence provided within the Staff Memo of record dated May 24, 2022, with the following findings and conditions:

Findings:

1. That the application is consistent with the Ridgeline Lot requirements found at 17.5.16
2. That the applicant has satisfied the parking requirement.

3. That the application was filed in 2021, when mother-in-law suites were still allowed in detached condominium.

Conditions:

- 1) Prior to submittal for building permit, the applicant shall provide design and location details for the address monument, to include lighting details and any civil revisions for shallow utilities associated with the monument for staff review.
- 2) Prior to the submittal for a building permit the applicant shall revise the lighting plan per the comments in this report for review by staff and one DRB member.
- 3) Prior to the submittal of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 4) Prior to submittal for building permit the applicant shall revise the construction mitigation plan to address the concerns raised in the staff memo of record.
- 5) Prior to the submittal for a building permit the applicant must provide the town with an executed copy of the Addendum to Reservation and Escrow Agreement for parking.
- 6) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 7) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 8) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the common open-space.
- 9) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials

/aw

ABBREVIATIONS

SYMBOLS			
&	AND	K	KICKPLATE
∠	ANGLE	KPL	KITCHEN
⊥	CENTER LINE	KB	KNEE BRACE
		KC	KITCHEN CABINET
		KO	KNOCKOUT
A	AIR CONDITIONING	L	LOW POINT
A/C	ANCHOR BOLT	L.P.	LIGHT
AB	ABOVE	LT	
ABV	ACOUSTICAL PANEL	M	MATERIAL
ACP	ACOUSTICAL CEILING TILE	MTL	METAL
ACT	AREA DRAIN	MAT	MATTER
AD	ADMINISTRATION	MAX	MAXIMUM
ADMIN	ADJACENT	MECH	MECHANICAL
ADJ	ABOVE FINISH FLOOR	MIN	MINIMUM
A.F.F.	ALTERNATE	M.O.	MASONRY OPENING
ALT	ALUMINUM	MTD	MOUNTED
ALUM	ACCESS PANEL	N	NECESSARY
AP	APPROXIMATE	NEC	NOT IN CONTRACT
APPROX	ARCHITECT/ARCHITECTURE	N.I.C.	NUMBER
ARCH		NO	NOT TO SCALE
		N.T.S.	
B	BOARD	O	ON CENTER
BD	BUILDING	O.C.	OUTSIDE DIAMETER
BLK	BLOCK	O.D.	OPPOSITE HAND
BLW	BELOW	O.H.	OPENING
BM	BEAM	OPNG	OPPOSITE
B.O.	BOTTOM OF	OPP	
BR	BRONZE	P	PARTITION
		PART	PLUMBING & DRAINAGE
C	CASEMENT	P&D	PROPERTY LINE
CABT	CABINET	PL	PLASTIC LAMINATE
CLNG	CEILING	PLMB	PLUMBING
CJ	CAST IRON	PLYWD	PLYWOOD
CLR	CONTROL JOINT	PR	PAINT
CMU	CLEAR	PTD	PAINTED
CO	CONCRETE MASONRY UNIT	R	RADIUS/RISER
COL	CLEANOUT	RAD	RADIATOR
COL	COLUMN	RCP	REFLECTED CEILING PLAN
CONT	CONTINUOUS	R.D.	ROOF DRAIN
CONV	CONCRETE	REC	RECESS
CONV	CONVECTOR	REFL	REFLECTED
CNT	CARPET	REQ	REQUIRED
CT	CERAMIC TILE	REV	REVEAL
CU	CONDENSING UNIT	RQ	ROUGH OPENING
		R.O.	
D	DETAIL	S	SINK
DTL	DRINKING FOUNTAIN	SAD	SADDLE
D.F.	DOUBLE HUNG	SF	SQUARE FEET
DH	DIAMETER	SHT	SHEET
DIA	DIMENSION	SIM	SIMILAR
DIM	DOUBLE WALL OVENS	SLNT	SEALANT
DO	DOOR DRAWING	SPEC'D	SPECIFIED
DR	DISHWASHER	SPEC	SPECIFICATION
DW	DRAWING	S.O.G.	SLAB ON GRADE
DWG		STD	STANDARD
		STL	STEEL
E	EACH	SS	STAINLESS STEEL
EA	EXHAUST FAN	STOR	STORAGE
EF	ELEVATION	STF	STAFF
ELEC	ELECTRIC	T	TREAD
ENCL	ENCLOSURE	T.B.S.	TO BE SELECTED
ENT	ENTRANCE	T.O.D.	TOP OF DRAIN
EQ	EQUAL	T.O.S.	TOP OF SLAB
EQPT	EQUIPMENT	T.O.W.	TOP OF WALL
EXST	EXISTING	TYP	TYPICAL
		U	UNLESS NOTED OTHERWISE
F	FLOOR DRAIN	UNF	UNFINISHED
FD	FOUNDATION	U.V.	UNIT VENTILATION
FDN	FIRE EXTINGUISHER	V	VARIES
FE	FINISH	V	VINYL COMPOSITE TILE
FIN	FLOOR	VCT	VENTILATOR
FLR	FACE OF WALL (STUD, ETC.)	VENT.	VERIFY IN FIELD
F.L.R.S.C.	FIRE RESISTANT SELF CLOSING	V.P.	VENT PIPE
FR	FRAME	W	WASHER
FS	FLOOR SINK	W	WITH
FTG	FOOTING	WO	WITHOUT
		WC	WATER CLOSET
G	GALVANIZED	WD	WASHER DRYER
GALV	GENERAL CONTRACTOR	WD	WOOD
GC	GLASS/GLAZING	WH	WATER HEATER
GL	GYPSSUM WALL BOARD	W.P.	WATERPROOF/WATERPROOFING
GWB		WT	WEIGHT
H	HOSE BIBB		
HB	HANDICAPPED		
HDCP	HEIGHT		
HGT	HOLLOW METAL		
HM	HIGH POINT		
H.P.	HOUR		
HR	HEATING & VENTILATION		
H&V	HEATING, VENTILATION & AIR		
HVAC	CONDITIONING		
I	INSIDE DIAMETER		
I.D.	INSULATION		
INFO			
INSUL			
J	JANITOR CLOSET		
JC	JOINT		
JT			

GENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, LAWS, PERMITS AND THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL NEW CONSTRUCTION ON THE SITE. ALL MATERIALS AND COMPONENTS SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS WITH FULL WARRANTIES.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK SHOULD A DISCREPANCY APPEAR IN THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS, NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTION ON HOW TO PROCEED.
- CHANGES FROM THE PLANS MADE WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.
- SHOULD A CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, THE SPECIFICATIONS SHALL TAKE PRECEDENCE UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES A CLARIFICATION OR ALTERNATE METHOD AND/OR MATERIALS.
- THE CONTRACTOR SHALL CONFINE HIS/HER OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE OWNER.
- THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION, FREE OF DEBRIS AND LITTER AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS/HER WORK SHALL REMOVE ALL TRASH AND DEBRIS AS OF RESULT OF HIS/HER OPERATION.
- ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
- THE CONTRACTOR SHALL DO ALL CUTTING, FITTING OR PATCHING OF HIS/HER WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING OR OTHERWISE ALTERING THE TOTAL WORK OR ANY OTHER PART OF IT. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH REVIEWED SHOP DRAWINGS AND SAMPLES.
- DIMENSIONS:
 - ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF DRAWINGS.
 - ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF C.M.U. OR FACE OF CONCRETE U.N.O.
 - CEILING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR TO FACE OF FINISH CEILING MATERIALS UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, A.C. EQUIPMENT, RECESSED ITEMS AND ALL OTHER ITEMS AS REQUIRED.
- WHERE LARGER STUDS OR FURRING ARE REQUIRED TO COVER PIPING AND CONDUITS, THE LARGER STUD SIZE OR FURRING SHALL BE EXTENDED THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.
- PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODES TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC. VERIFY TYPE REQUIRED WITH ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE ACCESS AND MINIMUM VENTILATION REQUIREMENTS TO ALL CRAWL SPACES AS REQUIRED BY GOVERNING CODES.
- INSTALL TEMPERED GLASS AS REQUIRED BY GOVERNING CODES.
- STRUCTURAL AND FIRE RESISTIVE INTEGRITY SHALL BE MAINTAINED AS REQUIRED BY GOVERNING CODES.
- FIREBLOCKS AND DRAFT STOPS SHALL BE PROVIDED AS REQUIRED BY GOVERNING CODES.
- THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT AIR INFILTRATION PER I.E.C.C. R402.4
- RECESSED LIGHT SHALL BE SEALED PER I.E.C.C. R402.4.5.

PROJECT TEAM

OWNER	TELLURIDE LONGVIEW, LLC 6122 CHARLOTTE STREET HOUSTON, TX 77005 CONTACT: CHARLES AND ERICA HARRIS
ARCHITECT	VERTICAL ARTS, INC. 970.871.0056 690 MARKETPLACE PLAZA SUITE 1 STEAMBOAT SPRINGS, CO 80487 CONTACT: CHANDLER DEIMUND
CONTRACTOR	NEW WEST PARTNERS 970.728.1722 10 EAST SAN BERNARDO DRIVE TELLURIDE, CO 81435 CONTACT: RYAN TOUGHER
PLANNER	ALPINE PLANNING, LLC 970.964.7927 565 SHERMAN STREET SUITE 11 RIDGWAY, CO 81432 CONTACT: CHRISTOPHER HAWKINS
LANDSCAPE ARCHITECT	VERTICAL ARTS, INC. 970.871.0056 690 MARKETPLACE PLAZA SUITE 1 STEAMBOAT SPRINGS, CO 80487 CONTACT: MITCH REWOLD
STRUCTURAL ENGINEER	MARTIN / MARTIN INC. 303.431.6100 77 METCALF ROAD UNIT 301 AVON, CO 81620 CONTACT: SEAN MOLLOY
CIVIL ENGINEER	UNCOMPAGRE ENGINEERING, LLC 970.729.0683 PO BOX 3945 TELLURIDE, CO 81435 CONTACT: DAVID BALLODE
MEP ENGINEER	BIGHORN CONSULTING ENGINEERS, CO 970.241.8709 386 INDIAN ROAD GRAND JUNCTION, CO 81501 CONTACT: BLAINE BUCK
LIGHTING DESIGNER	LS GROUP 970.927.5133 525 BASALT AVENUE UNIT I-300 BASALT, CO 81621 CONTACT: ELISE STREEB

VICINITY MAP



DRAWING SYMBOLS

	FLOOR OR SPOT ELEVATION		REVISION SYMBOL
	DOOR TAG		INTERIOR ELEVATION SYMBOL
	WINDOW TAG		DETAIL NUMBER
	WALL TAG		SHEET NUMBER
	FLOOR FINISH		SECTION NUMBER
	PROPOSED CONTOUR		SHEET NUMBER
	EXISTING CONTOUR		

GRAPHIC KEY TO MATERIALS

EARTH		INSULATION	
	COMPACTED FILL		BATT
	POROUS FILL		RIGID
CONCRETE		WOOD	
	CAST		FINISH
	GROUT LIGHTWEIGHT		ROUGH
MASONRY			BLOCKING
	CMU BLOCK		GLU-LAM
	BRICK		PLYWOOD
	STONE	METAL	
			STEEL

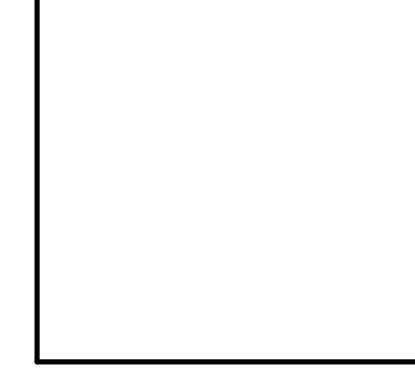
SHEET INDEX DRB

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C1	NOTES
C2	GRADING AND DRAINAGE PLAN
C3	UTILITIES
LANDSCAPE	
SP-1	SITE AND GRADING PLAN
L-1	LANDSCAPE PLAN
ARCHITECTURAL	
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A1.2	MAIN LEVEL COMPARISON PLAN
A1.3	ROOF COMPARISON PLAN
A1.4	ELEVATION COMPARISON
A2.1	LOWER LEVEL FLOOR PLAN
A2.2	MAIN LEVEL FLOOR PLAN
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ARCHITECTURE
PLANNING
LANDSCAPE
INTERIORS

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HARRIS RESIDENCE
6 TUNNEL LN, UNIT 17
MOUNTAIN VILLAGE, CO 81435
2041

CODE ANALYSIS

TYPE OF CONSTRUCTION	TYPE VB
OCCUPANCY	R-3
ALLOWABLE HEIGHT	45 FEET
CODE EDITIONS USED	2015 I.R.C. AND ALL ADMENDMENTS BY THE TOWN OF MOUNTAIN VILLAGE BUILDING DEPARTMENT

DATUM

MAIN LEVEL 100'-0" = 10458.00'

AREA CALCULATIONS

NAME	AREA
FINISHED	
Lower Level	2256.0 SF
Main Level	2434.4 SF
	4690.4 SF
FUTURE	
M.I.L. SUITE	454.5 SF
	454.5 SF
GARAGE	
Garage	468.1 SF
	468.1 SF
UNFINISHED	
Mechanical	223.3 SF
Storage	42.0 SF
	265.3 SF
Grand total	5878.4 SF

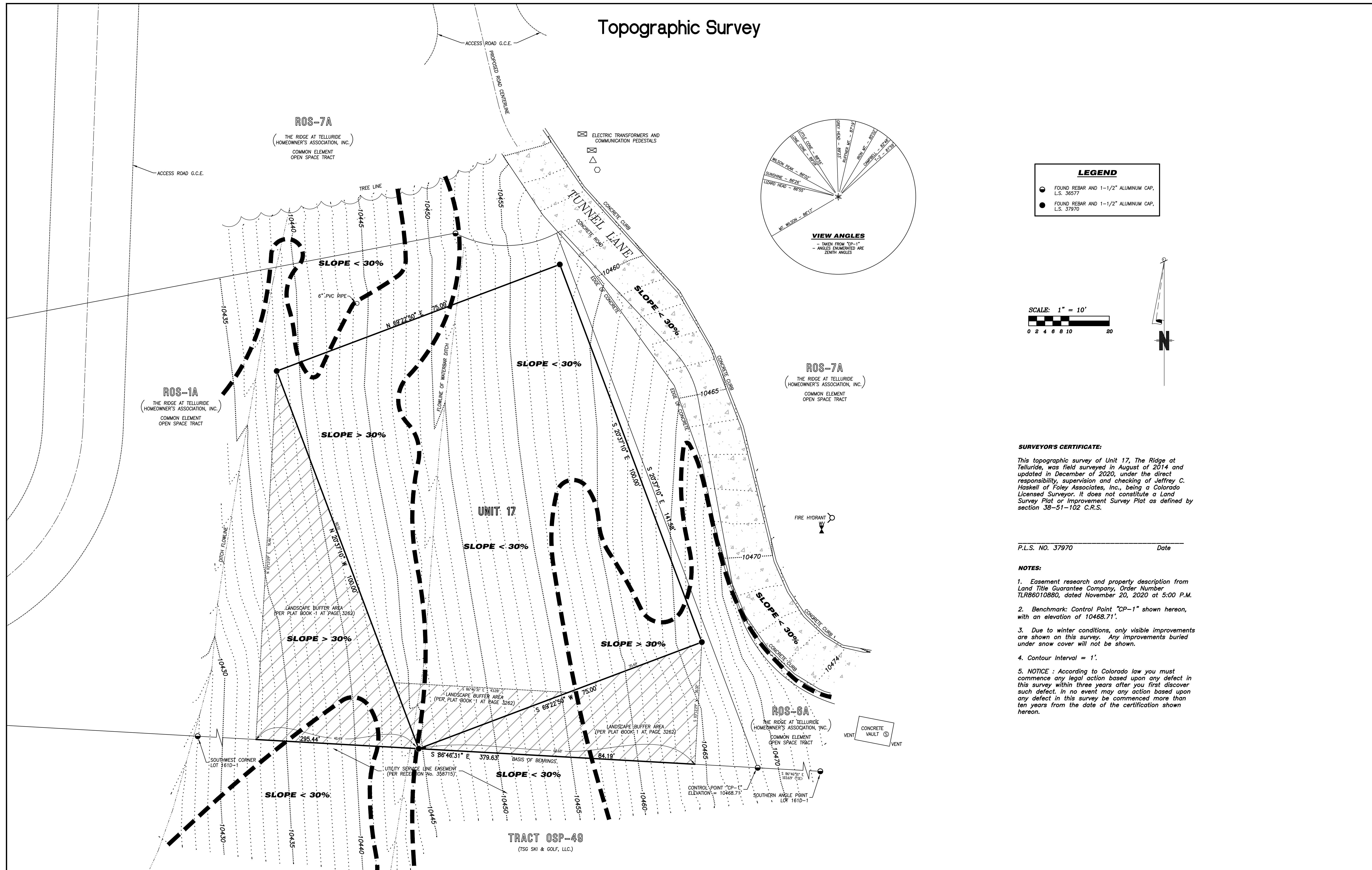
ISSUE NAME	DATE
1 100% SD	12/18/20
2 DRB INITIAL REVIEW	12/18/20
3 100% DESIGN DEVELOPMENT	12/18/21
4 100% DESIGN DEVELOPMENT	01/07/22
5 DRB FINAL REVIEW	01/26/22
7 PRICING SET	04/15/22

DRAWING TITLE
GENERAL INFORMATION SHEET

SHEET NO.

A0.1

Topographic Survey



Unit 17, The Ridge at Telluride, Town of Mountain Village
 Located within the NE1/4 of the SW1/4, S.2, T.42N., R.9W., N.M.P.M., San Miguel County, Colorado

Project Mgr:	JH
Technician:	FD
Checked by:	
Start date:	8 / 2014

Rev.	description	date	by

FOLEY ASSOCIATES, INC.
 ENGINEERING · PLANNING · SURVEYING

970-728-6153 970-728-6050 fax
 P.O. BOX 1385
 125 W. PACIFIC, SUITE B-1
 TELLURIDE, COLORADO 81435

Drawing path: dwg\11055 Topo Update 12-20.dwg Sheet1 of 1 Project #: 11055

F:\016 - Winters\0652011\11055.dwg 11/05/2014 11:29:02 AM PC4

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

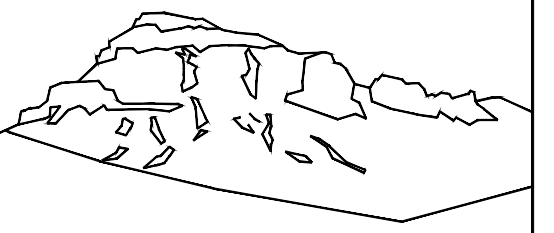
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2022-03-31

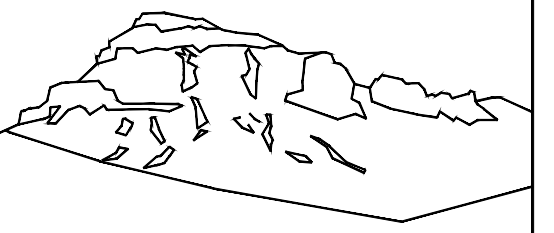
Harris Residence
6 Tunnel Lane
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
SUBMITTAL 2022-03-31

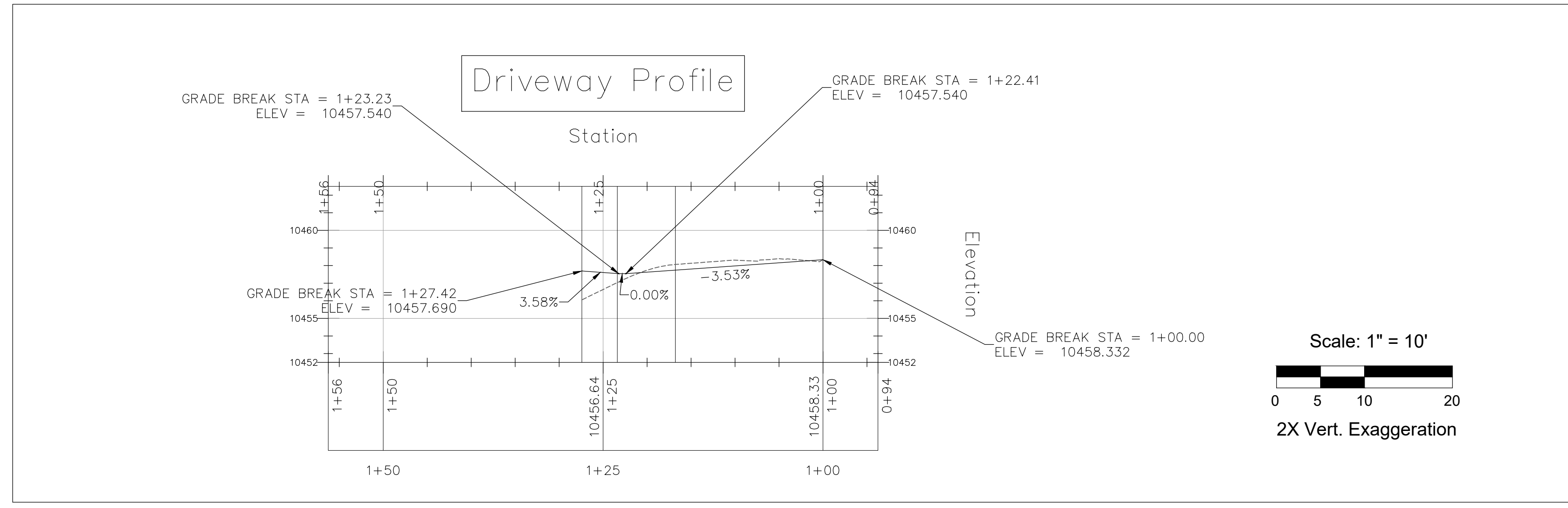
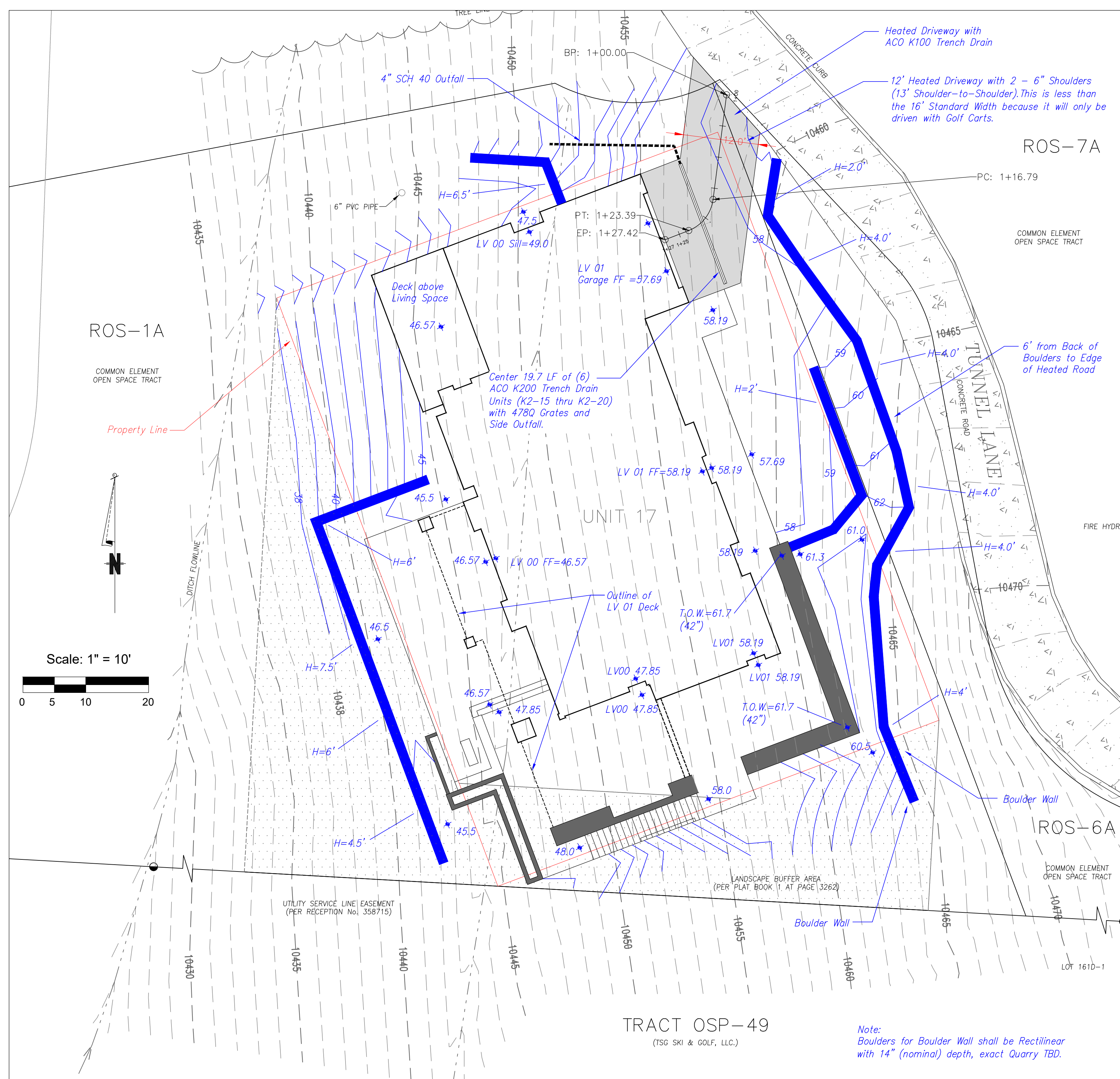
Harris Residence
6 Tunnel Lane
Mtn. Village, CO

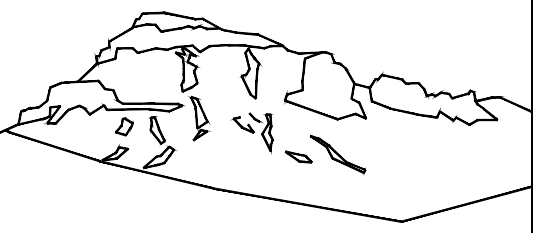


CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading
and
Drainage
Plan

C2



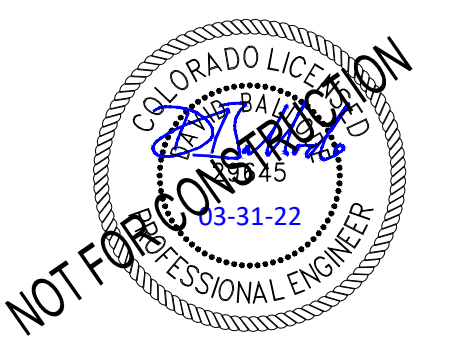


Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
SUBMITTAL 2022-03-31

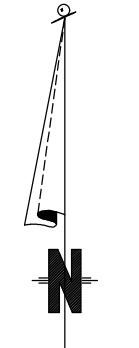
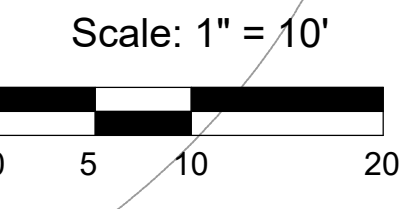
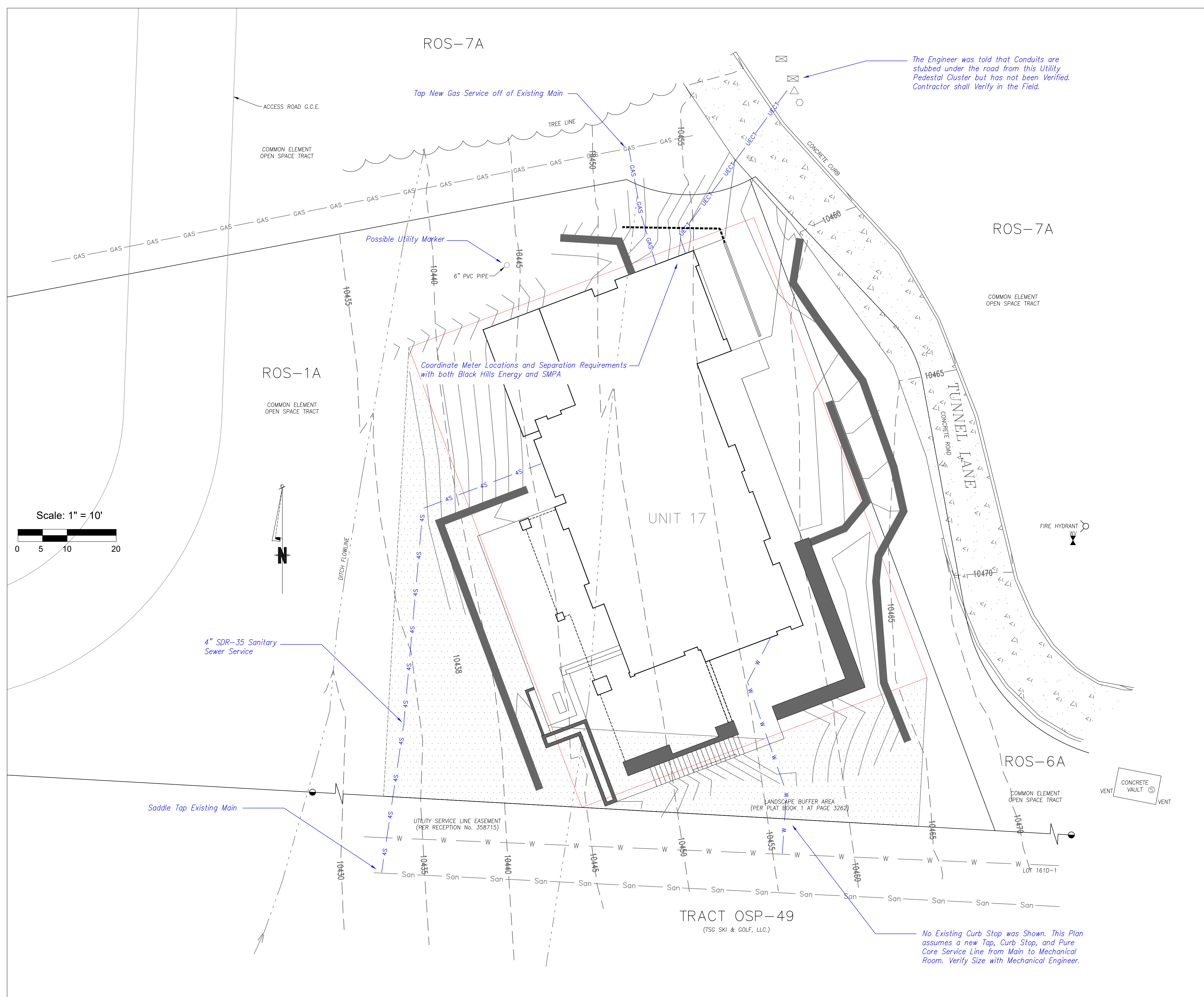
Harris Residence
6 Tunnel Lane
Mtn. Village, CO



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ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3



The Engineer was told that Conduits are stubbed under the road from this Utility Pedestal Cluster but has not been Verified. Contractor shall Verify in the Field.

Coordinate Meter Locations and Separation Requirements with both Black Hills Energy and SMPA

4" SDR-35 Sanitary Sewer Service

Saddle Tap Existing Main

No Existing Curb Stop was Shown. This Plan assumes a new Tap, Curb Stop, and Pure Core Service Line from Main to Mechanical Room. Verify Size with Mechanical Engineer.

TRACT OSP-49
(TSG SKI & GOLF, LLC.)

CONCRETE VAULT
VENT

ROS-6A

ROS-7A

ROS-7A

ROS-1A

UNIT 17

TUNNEL LANE
CONCRETE ROAD

FIRE HYDRANT

LANDSCAPE BUFFER AREA
(PER PLAT BOOK 1, AT PAGE 3262)

UTILITY SERVICE LINE EASEMENT
(PER RECEPTION No. 358715)

COMMON ELEMENT OPEN SPACE TRACT

LOT 161D-1

COMMON ELEMENT OPEN SPACE TRACT

COMMON ELEMENT OPEN SPACE TRACT

COMMON ELEMENT OPEN SPACE TRACT

COMMON ELEMENT OPEN SPACE TRACT

ACCESS ROAD G.C.E.

TREE LINE

CONCRETE CURB

DITCH FLOWLINE

San

San

San

San

San

San

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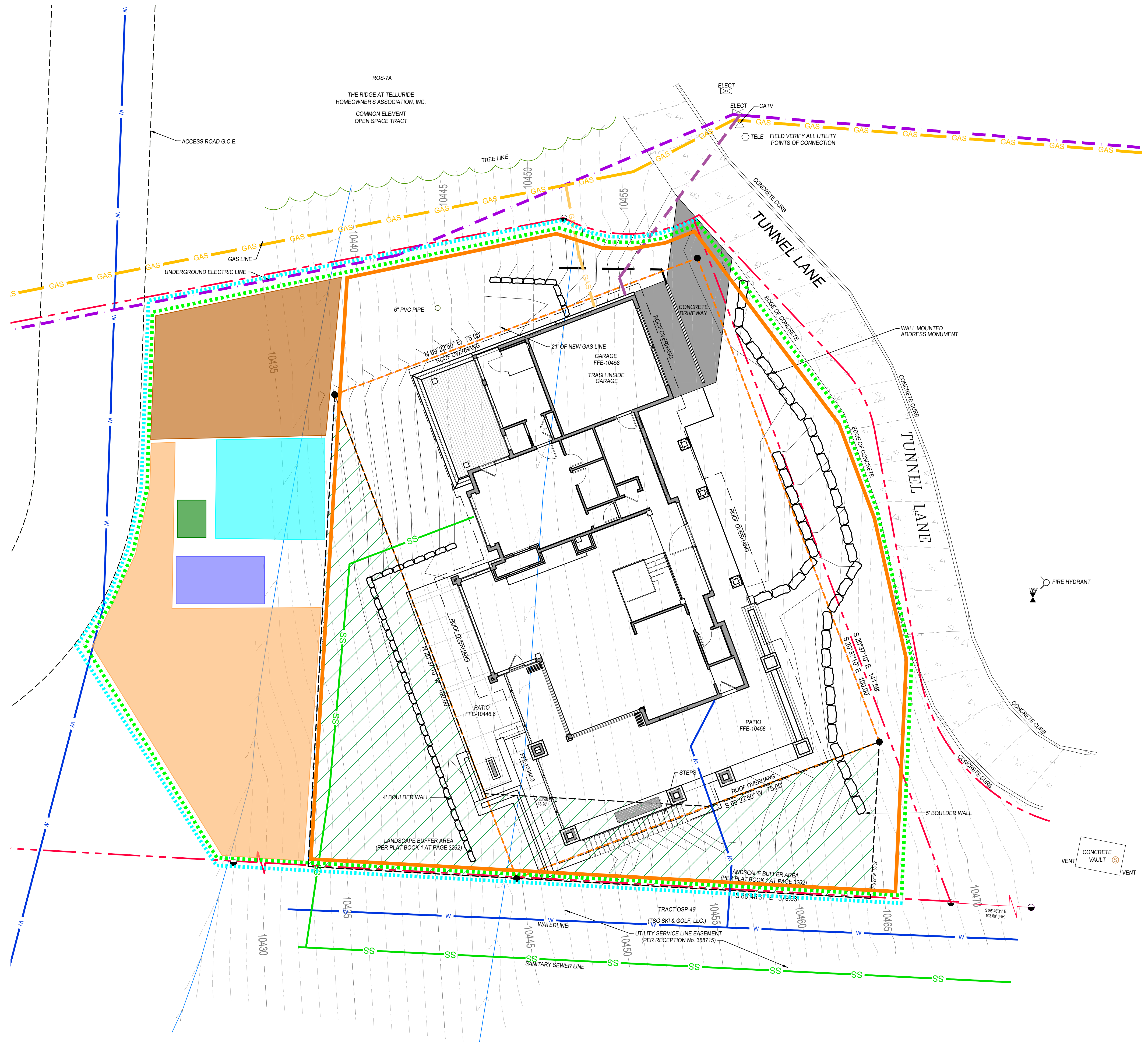
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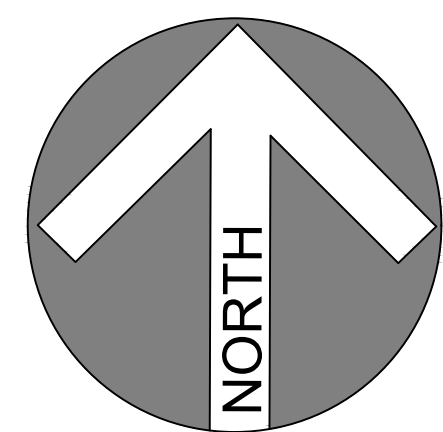
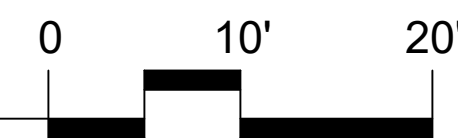
10510

10510

- LIMITS OF DISTURBANCE
- CONSTRUCTION FENCING
- CRANE
- SUMMER CONSTRUCTION PARKING
- PORTABLE TOILET
- DUMPSEY
- MATERIAL STAGING
- SILT FENCE



1 Construction Mitigation Plan - Unit 17
SCALE: 1"=10'-0"



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Harris Residence
Unit 17 - The Ridges at Telluride
Town of Mountain Village, Colorado

ISSUE NAME	DATE
DD SET	01.06.22
DRB FINAL REVIEW	02.01.22
DRB FINAL REVIEW	05.07.22

DRAWING TITLE
Construction Mitigation Plan - Unit 17

SHEET NO.
CP-1



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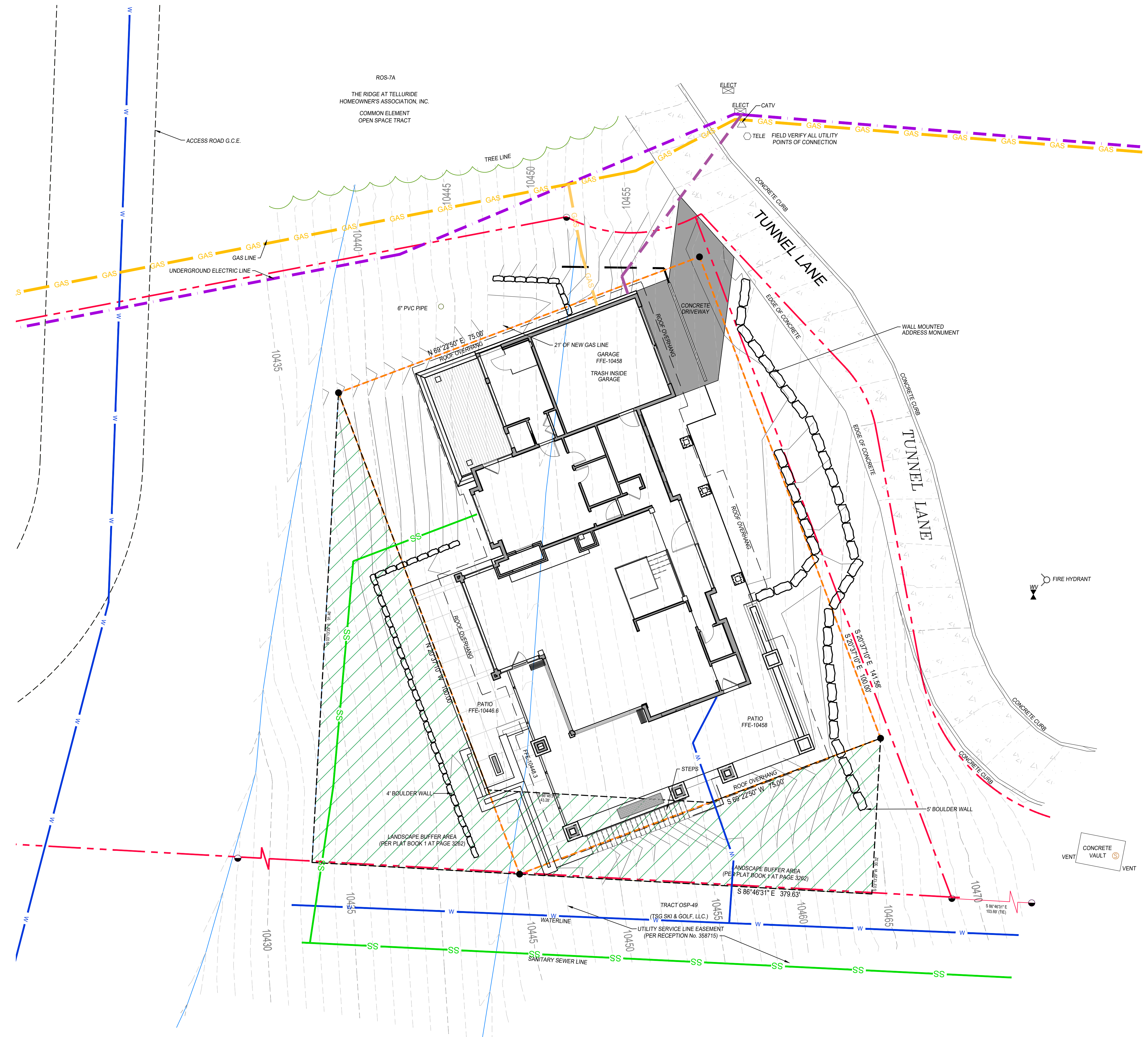
Harris Residence Unit 17 - The Ridges at Telluride Town of Mountain Village, Colorado

ISSUE NAME	DATE
DD SET	01.06.22
DRB FINAL REVIEW	02.01.22
DRB FINAL REVIEW	05.07.22

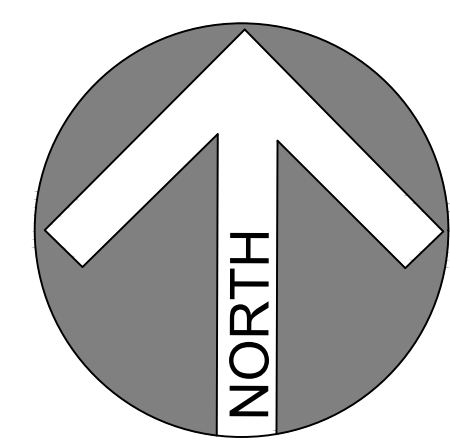
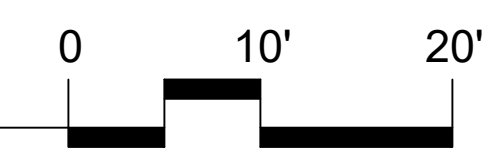
DRAWING TITLE
Site and Grading Plan

SHEET NO.

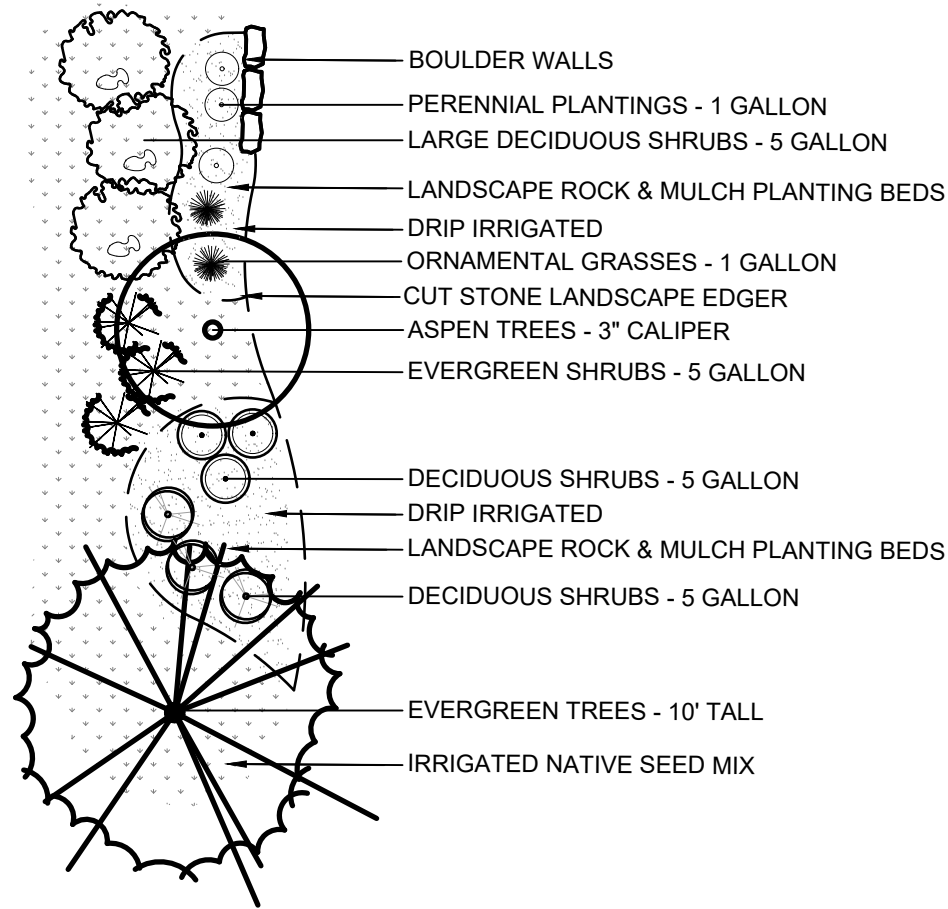
SP-1



1 Site and Grading Plan - Unit 17
SCALE: 1"=10'-0"



LANDSCAPE LEGEND

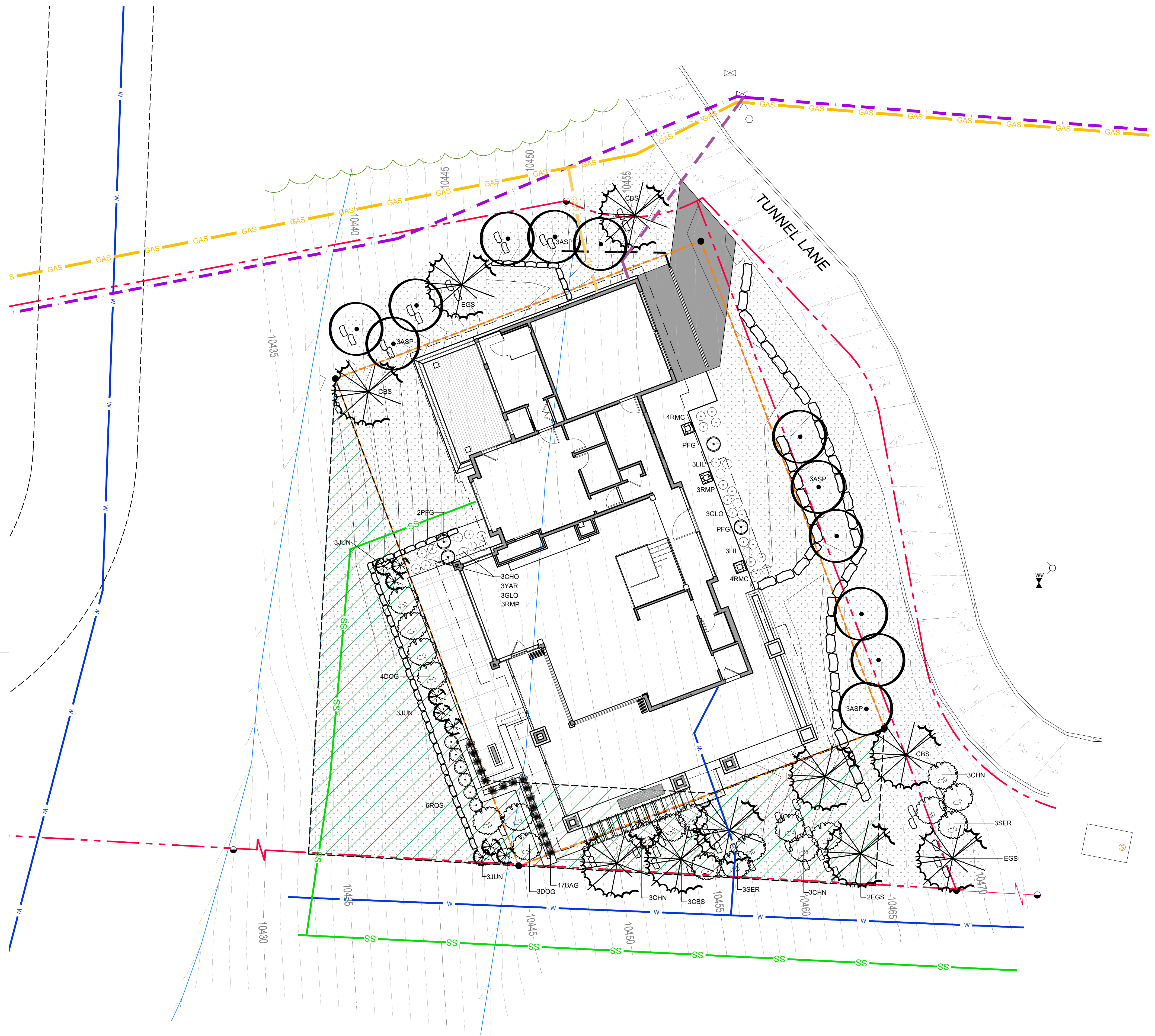


PROPOSED PLANT LIST

No.	Sym.	Biological Name/ Common Name - Planting Size
Deciduous Trees		
9	ASP	Populus tremuloides/ Quaking Aspen - 3" Caliper
Evergreen Trees		
4	EGS	Picea engelmannii/ Engelmann Spruce - 10' Tall
6	CBS	Picea pungens/ Colorado Spruce - 10' Tall
Evergreen Shrubs		
9	JUN	Juniperus communis/ Common Juniper - 5 Gallon
Deciduous Shrubs		
6	ROS	Rosa woodsii/ Woods Rose - 5 Gallon
9	CHN	Prunus virginiana melanocarpa/ Native Chokecherry - 5 Gallon
4	PFG	Potentilla fruticosa - 5 Gallon
6	SER	Amelanchier alnifolia/ Serviceberry - 5 Gallon
7	DOG	Cornus stolonifera coloradensis/ Colorado Dogwood - 5 Gallon
Perennials and Ornamental Grasses		
8	RMC	Aquilegia caerulea/ Rocky Mountain Columbine - 1 Gallon
6	RMP	Penstemon strictus/ Rocky Mountain Penstemon - 1 Gallon
3	CHO	Mahonia repens/ Creeping Holly - 1 Gallon
3	YAR	Achillea lanulosa/ Yarrow - 1 Gallon
6	GLO	Trollius laxus/ Globeflower - 1 Gallon
6	LIL	Calochortus gunnisonii/ Mariposa Lily - 1 Gallon
17	BAG	Helictotrichon sempervirens/ Blue Avena Grass - 1 Gallon
Native Seed Mix		
Western Yarrow 5%		
Tall Fescue 10%		
Arizona Fescue 5%		
Hard Fescue 5%		
Creeping Red Fescue 10%		
Alpine Bluegrass 15%		
Canada Bluegrass 10%		
Perennial Ryegrass 15%		
Slender Wheatgrass 10%		
Mountain Brome 15%		

LANDSCAPE AND IRRIGATION NOTES

- Planting beds are to have 3" of mulch or landscape rock over landscape fabric.
- An underground, pressurized irrigation system will be provided. All planting beds are to be irrigated with an automatic drip system. All native seed areas are to be irrigated with rotors.
- Cut stone edging is to be installed along the edge of the planting beds.
- Contractor will make every effort to minimize disruption to the existing vegetation outside the immediate construction area.
- Locate all utilities prior to construction. All disturbed areas are to be re-vegetated.



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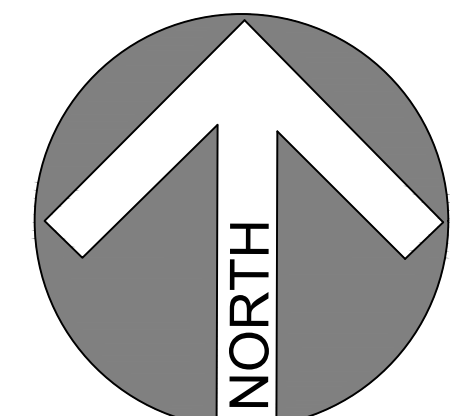
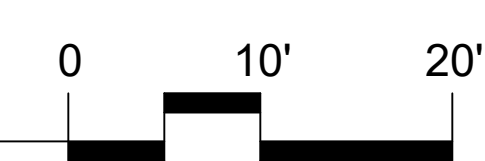
Harris Residence
Unit 17 - The Ridges at Telluride
Town of Mountain Village, Colorado

ISSUE NAME	DATE
DD Set	01.06.22
DRB FINAL REVIEW	02.01.22
DRB FINAL REVIEW	05.17.22

DRAWING TITLE
Landscape Plan

SHEET NO.
L-1

1 Landscape Plan - Unit 17
SCALE: 1"=10'-0"





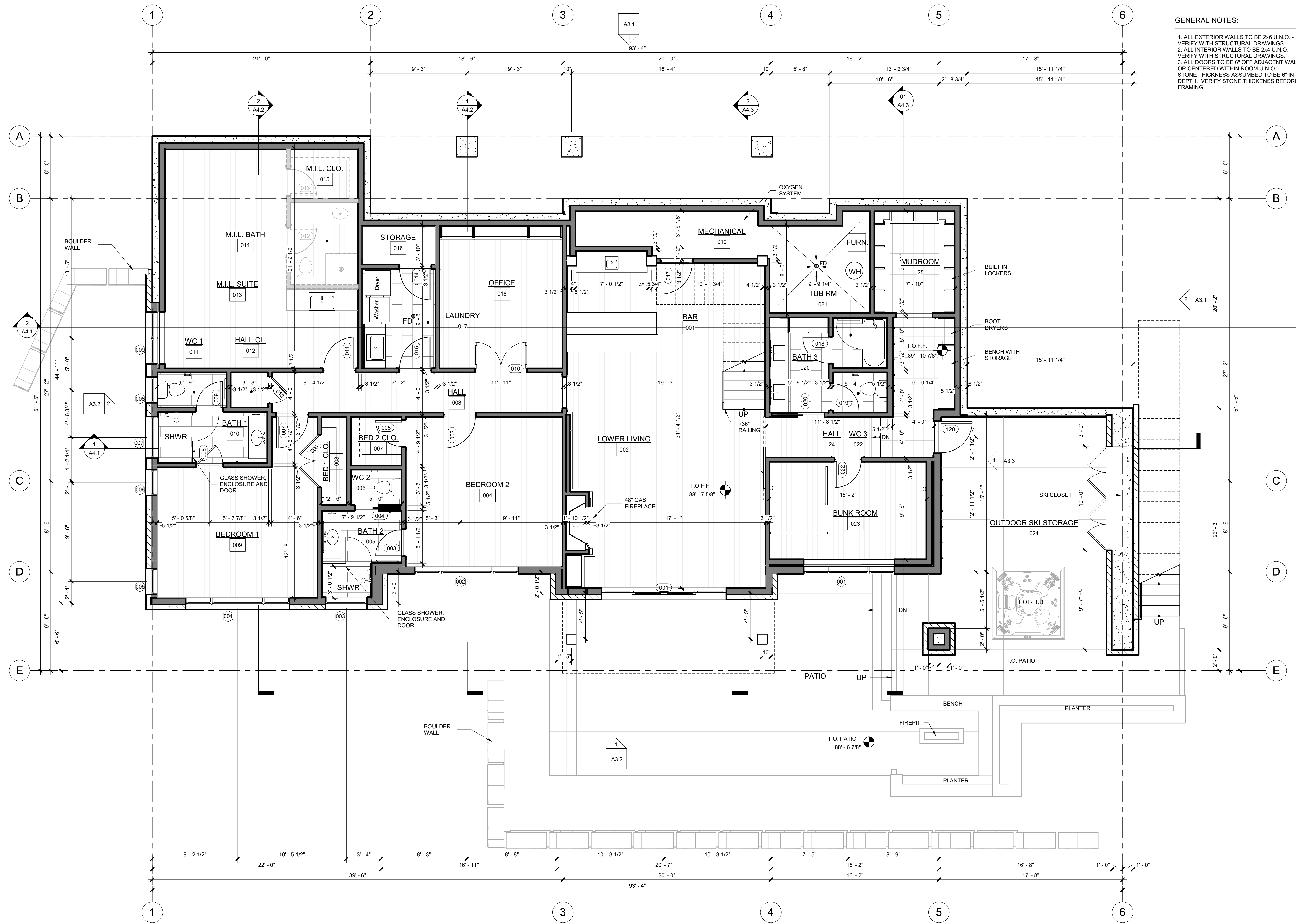
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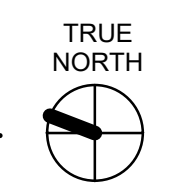
HARRIS RESIDENCE
6 TUNNEL LN, UNIT 17
MOUNTAIN VILLAGE, CO 81435
2041

GENERAL NOTES:

1. ALL EXTERIOR WALLS TO BE 2x6 U.N.O. - VERIFY WITH STRUCTURAL DRAWINGS.
2. ALL INTERIOR WALLS TO BE 2x4 U.N.O. - VERIFY WITH STRUCTURAL DRAWINGS.
3. ALL DOORS TO BE 6" OFF ADJACENT WALL OR CENTERED WITHIN ROOM U.N.O. STONE THICKNESS ASSUMED TO BE 6" IN DEPTH. VERIFY STONE THICKNESS BEFORE FRAMING.



1 LOWER LEVEL FLOOR PLAN
1/4" = 1'-0"



ISSUE NAME	DATE
1 100% SD	12/18/20
2 DRB INITIAL REVIEW	12/18/20
3 CLIENT APPROVAL SET	11/16/21
4 50% DESIGN DEVELOPMENT	12/14/21
5 100% DESIGN DEVELOPMENT	01/07/22
6 DRB FINAL REVIEW	01/26/22

DRAWING TITLE
LOWER LEVEL FLOOR PLAN

SHEET NO.

A2.1

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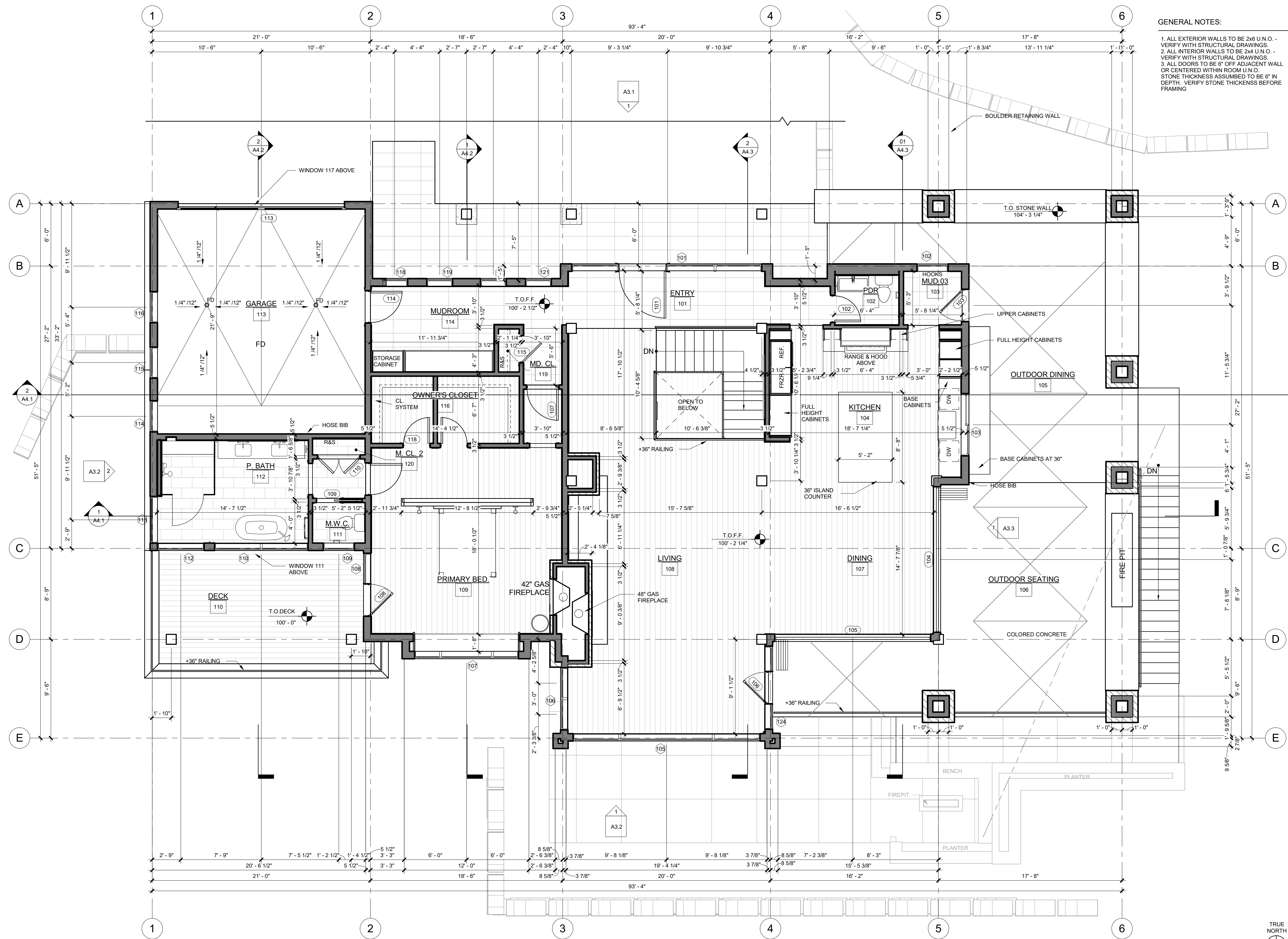


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HARRIS RESIDENCE
6 TUNNEL LN, UNIT 17
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2041

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① MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"



ISSUE NAME	DATE
1 100% SD	12/18/20
2 DRB INITIAL REVIEW	12/18/20
3 CLIENT APPROVAL SET	11/16/21
4 50% DESIGN DEVELOPMENT	12/14/21
5 100% DESIGN DEVELOPMENT	01/07/22
6 DRB FINAL REVIEW	01/26/22
7 PRICING SET	04/15/22

DRAWING TITLE
MAIN LEVEL FLOOR PLAN

SHEET NO.

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HARRIS RESIDENCE
6 TUNNEL LN, UNIT 17
MOUNTAIN VILLAGE, CO 81435
2041

ISSUE NAME	DATE
1 100% SD	12/18/20
2 DRB INITIAL REVIEW	12/18/20
3 CLIENT APPROVAL SET	11/19/21
4 50% DESIGN DEVELOPMENT	12/14/21
5 100% DESIGN DEVELOPMENT	01/07/22
6 DRB FINAL REVIEW	01/26/22
7 PRICING SET	04/15/22

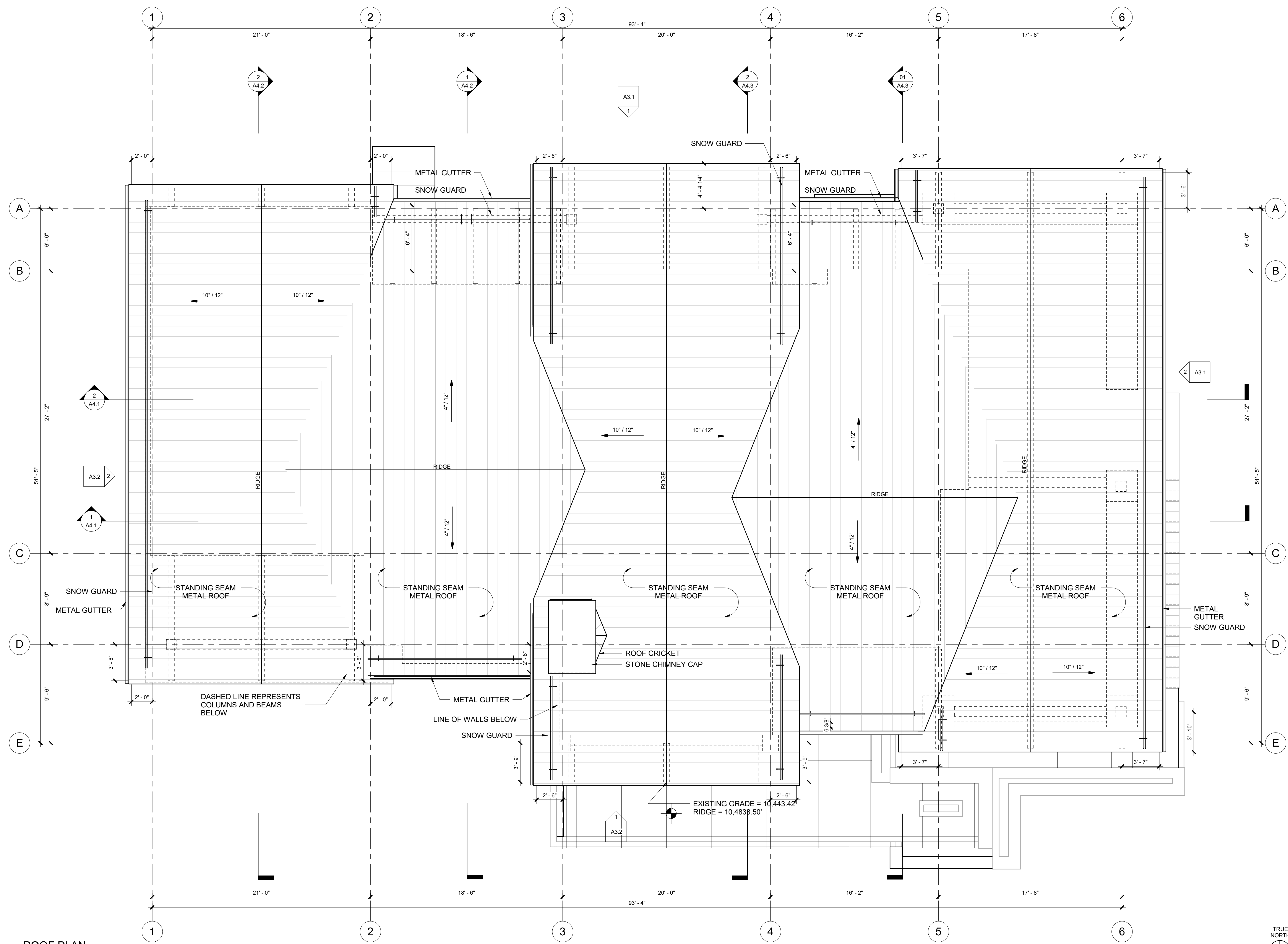
DRAWING TITLE

ROOF PLAN

SHEET NO.

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1 ROOF PLAN
1/4" = 1'-0"





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HARRIS RESIDENCE
6 TUNNEL LN, UNIT 17
MOUNTAIN VILLAGE, CO 81435
2041

ISSUE NAME	DATE
1 100% SD	12/18/20
2 DRB INITIAL REVIEW	12/18/20
3 15% DESIGN DEVELOPMENT	12/18/21
4 100% DESIGN DEVELOPMENT	01/07/22
5 DRB FINAL REVIEW	01/28/22
7 PRICING SET	04/15/22

DRAWING TITLE
EXTERIOR ELEVATIONS

SHEET NO.

A3.1

5/17/2022 3:31:23 PM

AVG. BUILDING HEIGHT - NORTH	
Number	Height
N1	16' - 5 7/8"
N2	20' - 6 1/2"
N3	18' - 2 3/4"
55' - 3 1/8" / 3 =	

AVG. BUILDING HEIGHT - EAST	
Number	Height
E1	27' - 8 3/8"
E2	26' - 7 5/8"
E3	17' - 11 1/4"
72' - 3 1/4" / 3 =	

AVG. BUILDING HEIGHT - TOTAL	
Number	Height
EAST	24' - 1 1/16"
WEST	25' - 5 3/4"
SOUTH	31' - 6 1/4"
NORTH	18' - 5 1/16"
99' - 6 1/8" / 4 =	

24' - 10 1/2"
TOTAL AVG. BLDG HEIGHT
30' - 0" ALLOWED
MAX AVG. BLDG HEIGHT

EXTERIOR WINDOWS CALCULATIONS	
Type	Area

EAST 278.13 WIN. / 970.03 TOTAL = 28.7%	
WINDOW	278.13 SF
WALL	691.90 SF
970.03 SF	
NORTH 347.71 WIN. / 1175.8 TOTAL = 29.5%	
WINDOW	347.71 SF
WALL	828.09 SF
1175.80 SF	
SOUTH 972.67 WIN. / 2501.24 TOTAL = 38.9%	
WINDOW	972.67 SF
WALL	1528.54 SF
2501.21 SF	
WEST 277.21 WIN. / 1144.47 TOTAL = 24.2%	
WINDOW	277.21 SF
WALL	867.26 SF
1144.47 SF	

(28.7% + 29.5% + 38.9% + 24.2%) / 4 =
30.3% TOTAL WINDOW COVERAGE
CDC REQ. - 40% MAX. WINDOW COVERAGE

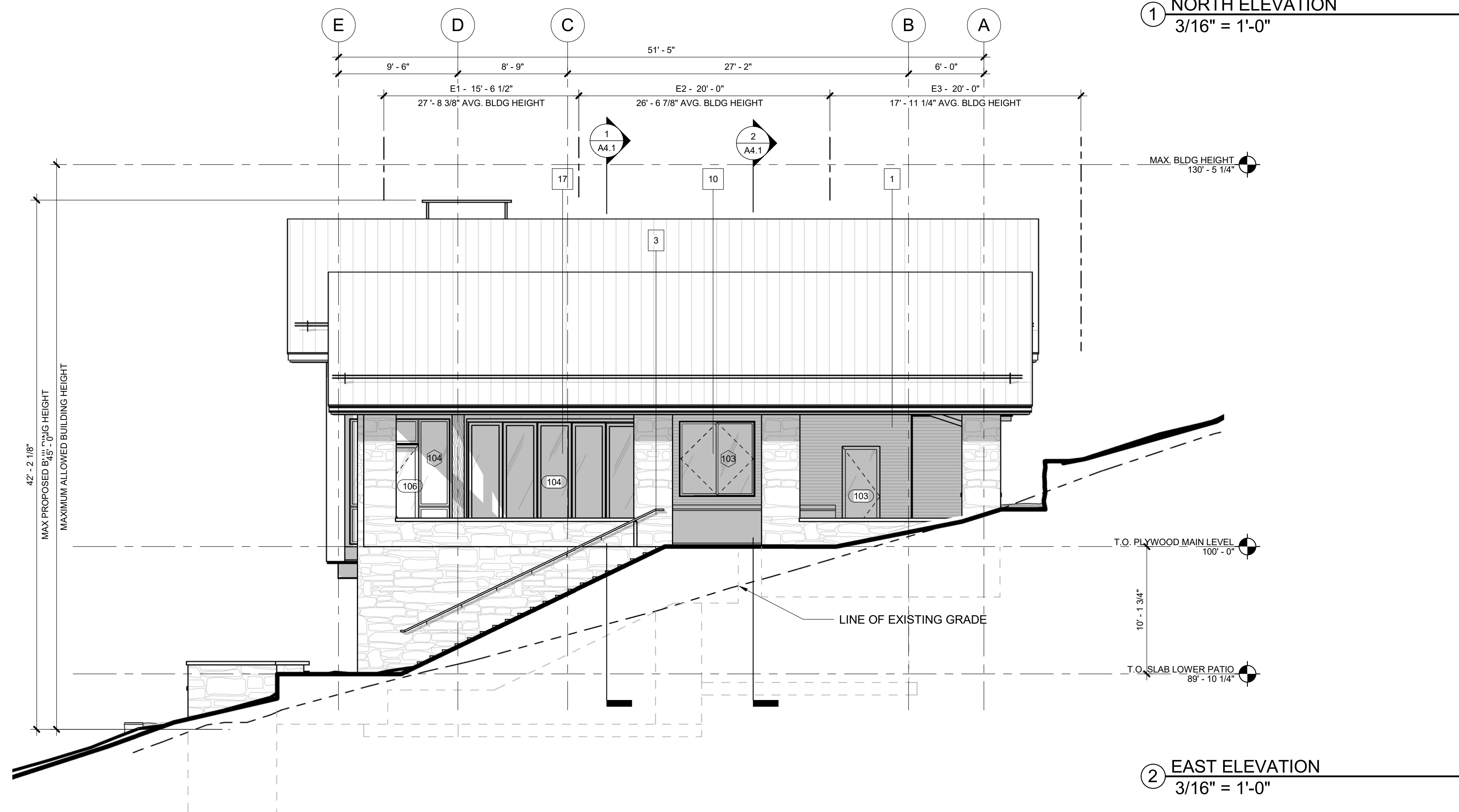
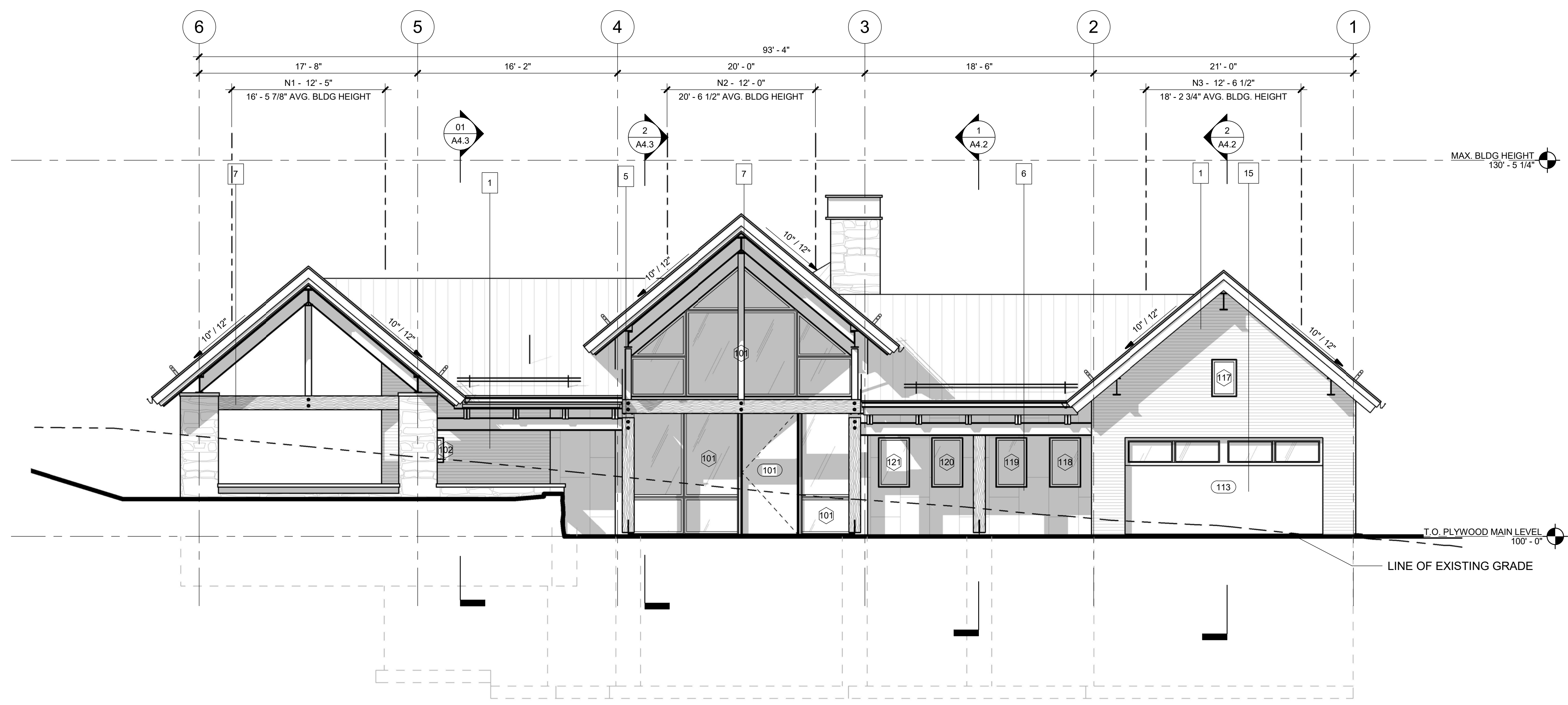
EXTERIOR MATERIAL CALCULATIONS	
Type	Area

DRIVE SITE WALL 240.10 STONE / 240.10 TOTAL = 100.0%	
EXT STONE	240.10 SF
WALL	0.00 SF
240.10 SF	
EAST 383.81 STONE / 1132.64 TOTAL = 33.9%	
EXT STONE	383.81 SF
WALL	748.83 SF
1132.64 SF	
NORTH 244.34 STONE / 1420.14 TOTAL = 17.2%	
EXT STONE	244.34 SF
WALL	1175.80 SF
1420.14 SF	
SOUTH 1005.13 STONE / 2794.64 TOTAL = 36.0%	
EXT STONE	1005.13 SF
WALL	1789.51 SF
2794.64 SF	
WEST 732.50 STONE / 1415.26 TOTAL = 51.8%	
EXT STONE	802.40 SF
WALL	610.10 SF
1412.50 SF	

(100% + 33.9% + 17.2% + 51.8%) / 5 =
47.78% TOTAL STONE COVERAGE
CDC REQ. - 35% MIN. STONE COVERAGE

KEYNOTE LEGEND	
Key Value	Keynote Text

1	CORRUGATED CORTEN
3	TELLURIDE STONE RE: MASON
4	STEEL CABLE RAILING
5	TIMBER COLUMN
6	EQUITONE PANEL NATURA N281
7	TIMBER BEAM
10	METAL CLAD WOOD WINDOWS - JELD-WEN
15	CUSTOM GARAGE DOOR
17	FOLDING GLASS DOOR



MAX. BLDG HEIGHT
130' - 5 1/4"

18' - 5 1/16"
NORTHERN AVG. BLDG HEIGHT

24' - 1 1/16"
EASTERN AVG. BLDG HEIGHT

T.O. PLYWOOD MAIN LEVEL
100' - 0"

LINE OF EXISTING GRADE

MAX. BLDG HEIGHT
130' - 5 1/4"

T.O. PLYWOOD MAIN LEVEL
100' - 0"

LINE OF EXISTING GRADE

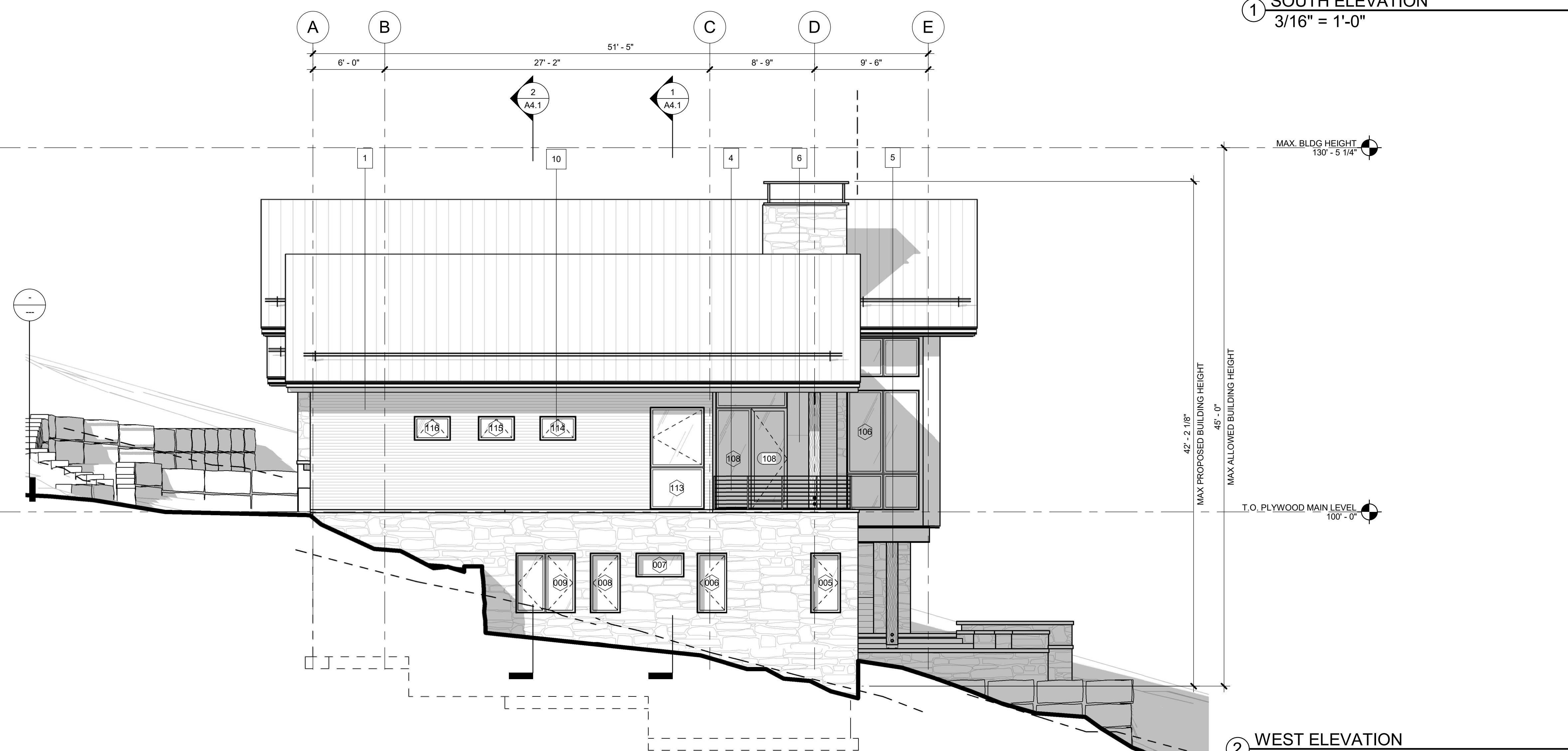
T.O. PLYWOOD MAIN LEVEL
100' - 0"

T.O. SLAB LOWER PATIO
89' - 10 1/4"

MAX PROPOSED BLDG HEIGHT
42' - 2 1/8"
MAXIMUM ALLOWED BUILDING HEIGHT



1 SOUTH ELEVATION
3/16" = 1'-0"



2 WEST ELEVATION
3/16" = 1'-0"

AVG. BUILDING HEIGHT - SOUTH	
Number	Height
S1	30' - 8"
S2	35' - 5"
S3	28' - 5 3/4"
94' - 6 3/4" / 3 =	
31' - 6 1/4"	
SOUTHERN AVG. BLDG HEIGHT	

AVG. BUILDING HEIGHT - WEST	
Number	Height
W1	18' - 2 3/4"
W2	27' - 6 3/4"
W3	30' - 8"
76' - 5 1/2" / 3 =	
25' - 5 3/4"	
EASTERN AVG. BLDG HEIGHT	

AVG. BUILDING HEIGHT - TOTAL	
Number	Height
EAST	24' - 1 1/16"
WEST	25' - 5 3/4"
SOUTH	31' - 6 1/4"
NORTH	18' - 5 1/16"
99' - 6 1/8" / 4 =	
24' - 10 1/2"	
TOTAL AVG. BLDG HEIGHT	
30' - 0" ALLOWED	
MAX AVG. BLDG HEIGHT	

EXTERIOR WINDOWS CALCULATIONS	
Type	Area
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WALL	867.26 SF
1144.47 SF	
(28.7% + 29.5% + 38.9% + 24.2%) / 4 =	
30.3% TOTAL WINDOW COVERAGE	
CDC REQ. - 40% MAX. WINDOW COVERAGE	

EXTERIOR MATERIAL CALCULATIONS	
Type	Area
DRIVE SITE WALL 240.10 STONE / 240.10 TOTAL = 100.0%	
EXT STONE	240.10 SF
WALL	0.00 SF
240.10 SF	
EAST 383.81 STONE / 1132.64 TOTAL = 33.9%	
EXT STONE	383.81 SF
WALL	748.83 SF
1132.64 SF	
NORTH 244.34 STONE / 1420.14 TOTAL = 17.2%	
EXT STONE	244.34 SF
WALL	1175.80 SF
1420.14 SF	
SOUTH 1005.13 STONE / 2794.64 TOTAL = 36.0%	
EXT STONE	1005.13 SF
WALL	1789.51 SF
2794.64 SF	
WEST 732.50 STONE / 1415.26 TOTAL = 51.8%	
EXT STONE	802.40 SF
WALL	610.10 SF
1412.50 SF	
(100% + 33.9% + 17.2% + 51.8%) / 5 =	
47.78% TOTAL STONE COVERAGE	
CDC REQ. - 35% MIN. STONE COVERAGE	

KEYNOTE LEGEND	
Key Value	Keynote Text
1	CORRUGATED CORTEN
3	TELLURIDE STONE RE: MASON
4	STEEL CABLE RAILING
5	TIMBER COLUMN
6	EQUITONE PANEL NATURA N281
7	TIMBER BEAM
10	METAL CLAD WOOD WINDOWS - JELD-WEN
15	CUSTOM GARAGE DOOR
17	FOLDING GLASS DOOR



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HARRIS RESIDENCE
6 TUNNEL LN, UNIT 17
MOUNTAIN VILLAGE, CO 81435
2041

ISSUE NAME	DATE
1 100% SD	12/18/20
2 DRB INITIAL REVIEW	12/18/20
4 15% DESIGN DEVELOPMENT	12/18/21
5 100% DESIGN DEVELOPMENT	01/07/22
6 DRB FINAL REVIEW	01/26/22
7 PRICING SET	04/15/22

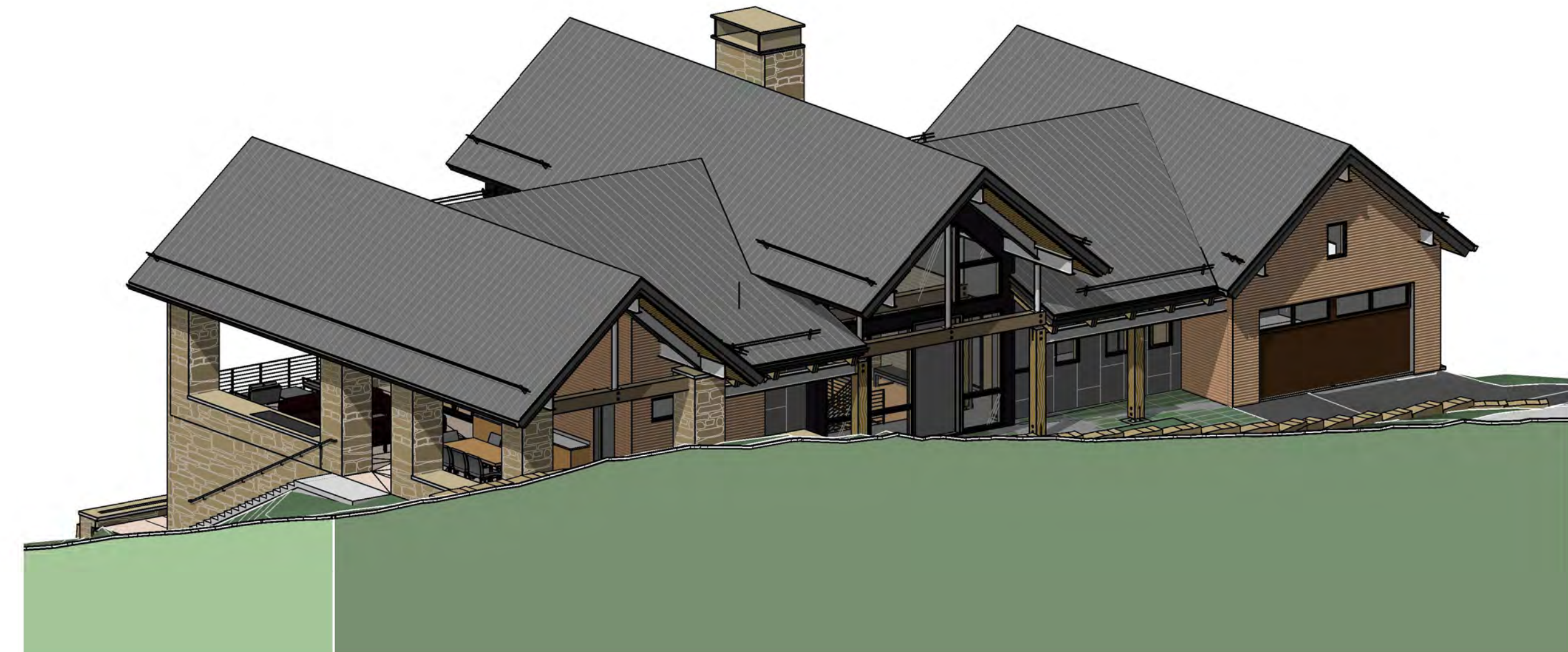
DRAWING TITLE
EXTERIOR ELEVATIONS

SHEET NO.
A3.2

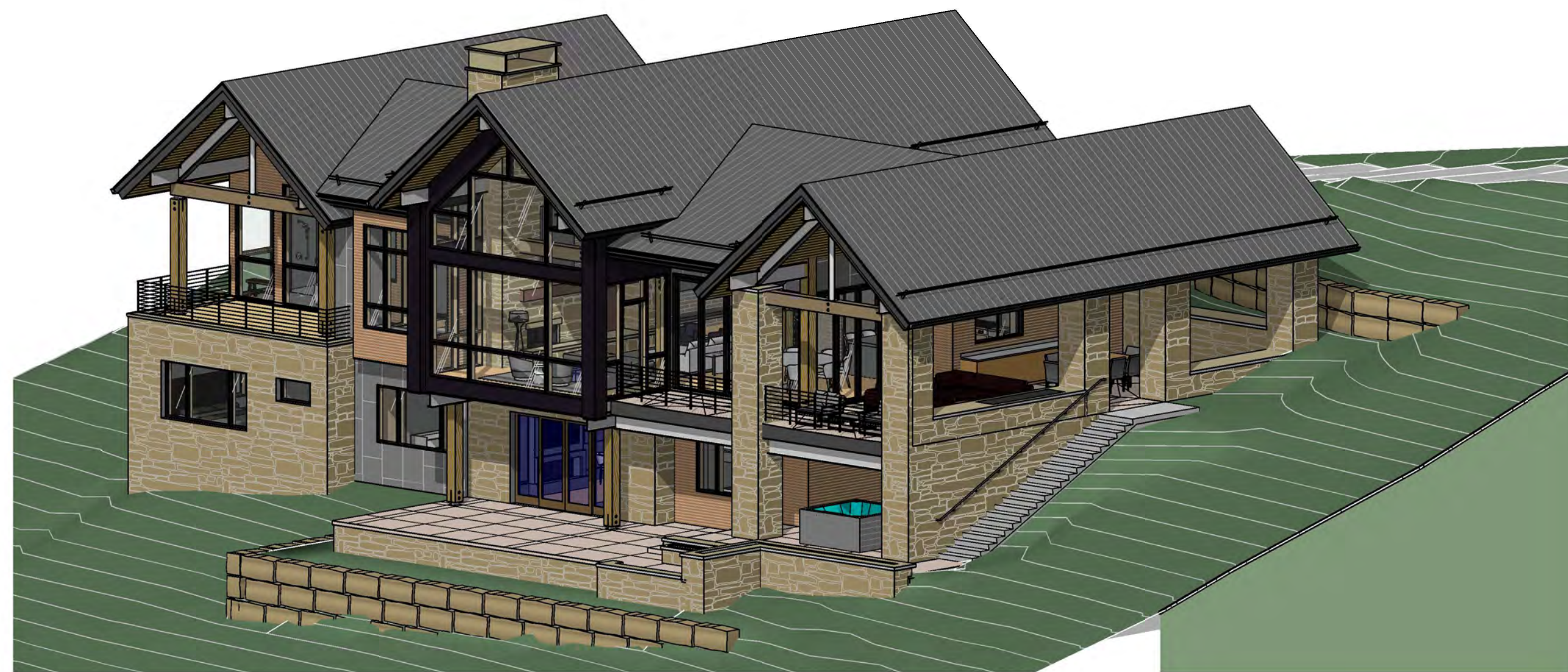
5/17/2022 3:31:44 PM



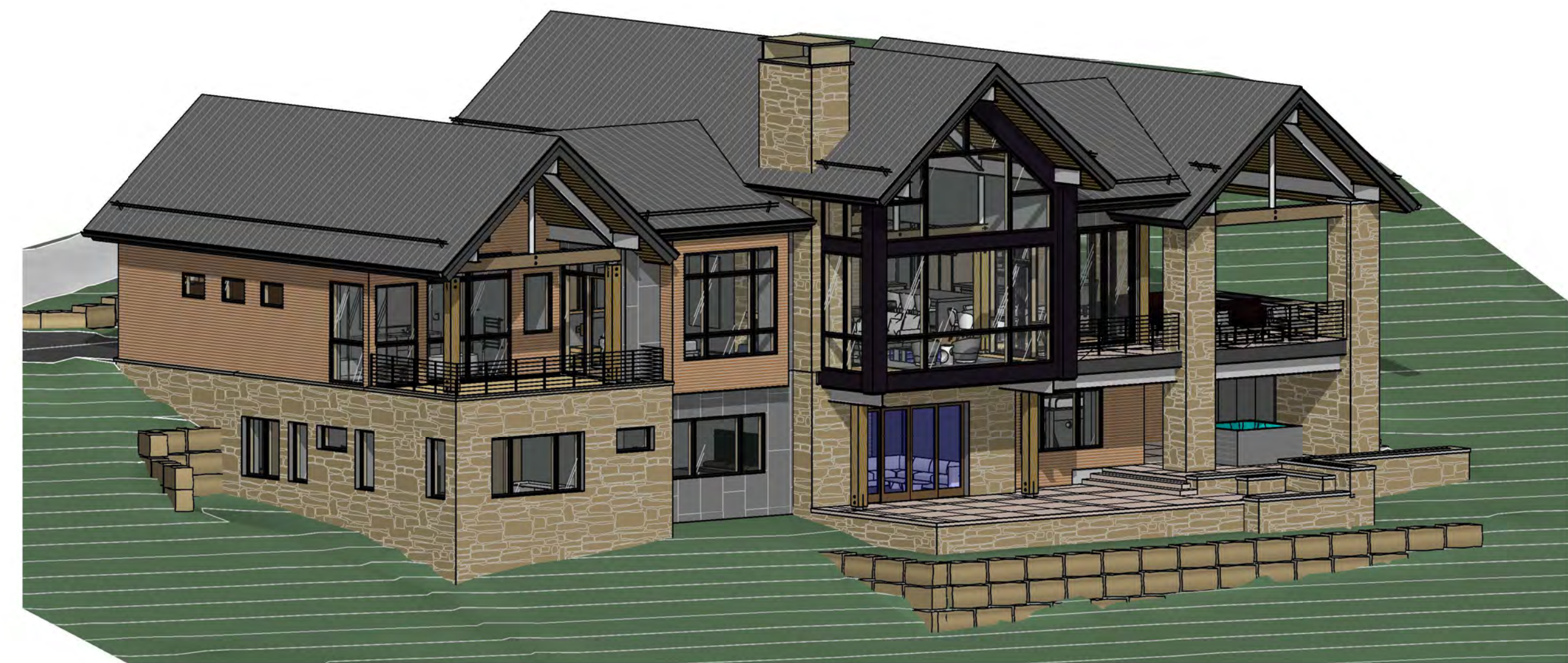
① 3D View 1



② 3D View 2



③ 3D View 3



④ 3D View 4



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2041

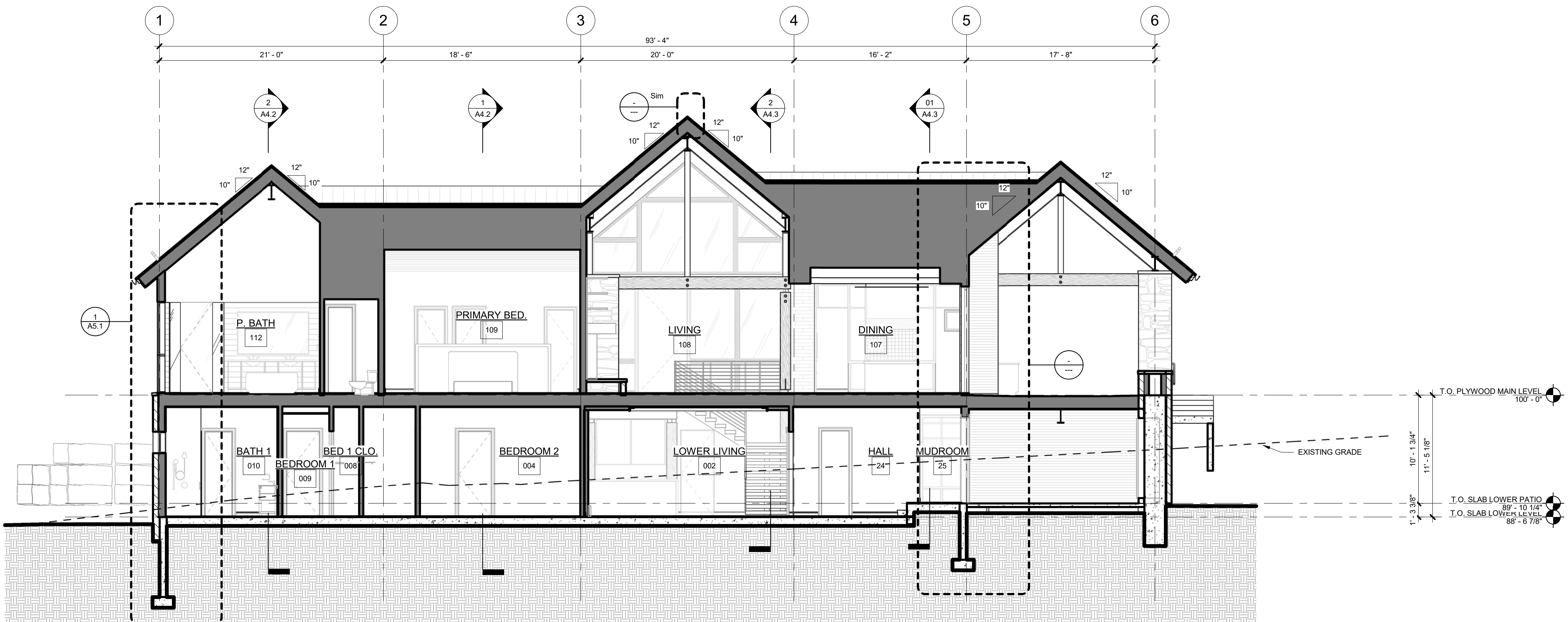
ISSUE NAME	DATE
1 100% SD	12/18/20
2 DRB INITIAL REVIEW	12/18/20
3 CLIENT APPROVAL SET	11/19/21
4 50% DESIGN DEVELOPMENT	12/14/21
5 100% DESIGN DEVELOPMENT	01/07/22
6 DRB FINAL REVIEW	01/29/22
7 PRICING SET	04/19/22

DRAWING TITLE

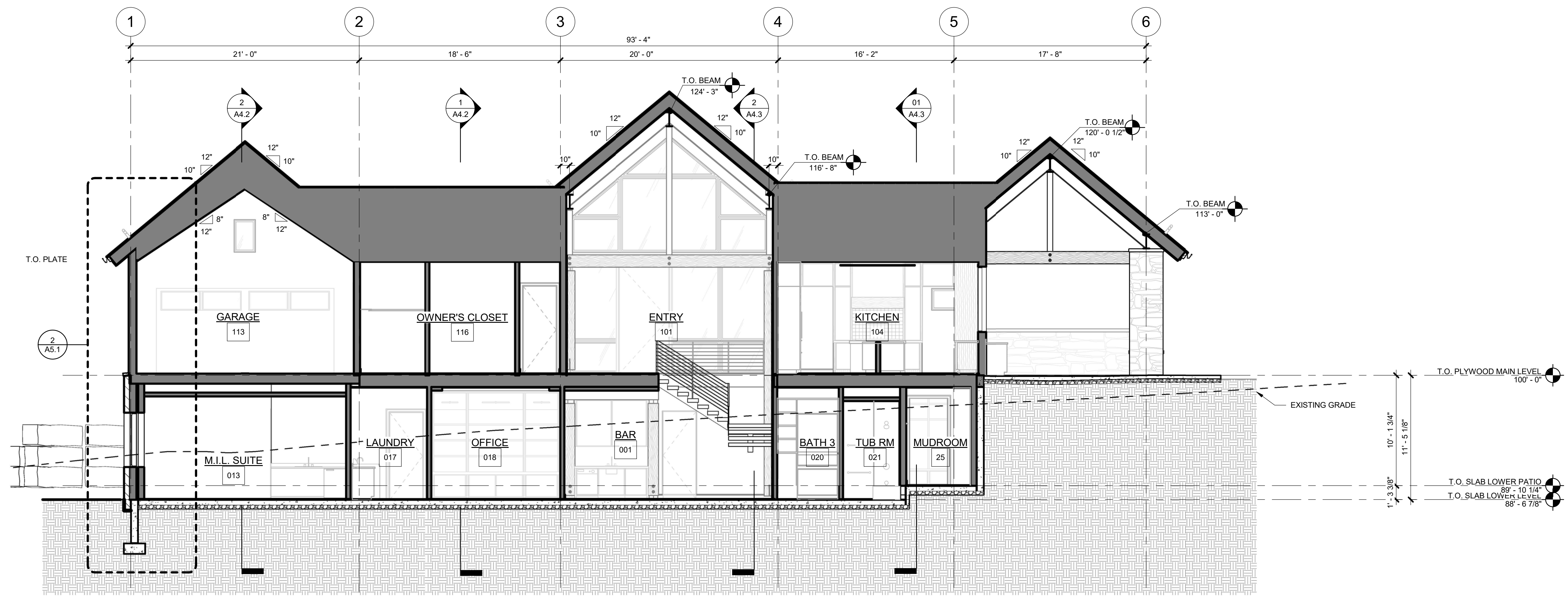
PERSPECTIVES

SHEET NO.

A3.4



1 SECTION LONGITUDINAL 1
3/16" = 1'-0"



2 SECTION LONGITUDINAL 2
3/16" = 1'-0"

HARRIS RESIDENCE
6 TUNNEL LN, UNIT 17
MOUNTAIN VILLAGE, CO 81435
2041

ISSUE NAME	DATE
1 100% SD	12/18/20
2 DRB INITIAL REVIEW	12/18/20
3 15% DESIGN DEVELOPMENT	12/18/21
4 30% DESIGN DEVELOPMENT	01/07/22
5 100% DESIGN DEVELOPMENT	01/26/22
6 DRB FINAL REVIEW	01/26/22
7 PRICING SET	04/15/22

DRAWING TITLE
BUILDING SECTIONS

SHEET NO.
A4.1



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HARRIS RESIDENCE
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MOUNTAIN VILLAGE, CO 81435
2041

ISSUE NAME	DATE
1 100% SD	12/18/20
2 DRB INITIAL REVIEW	12/18/20
3 10% DESIGN DEVELOPMENT	12/18/21
4 100% DESIGN DEVELOPMENT	01/07/22
5 DRB FINAL REVIEW	01/26/22
7 PRICING SET	04/15/22

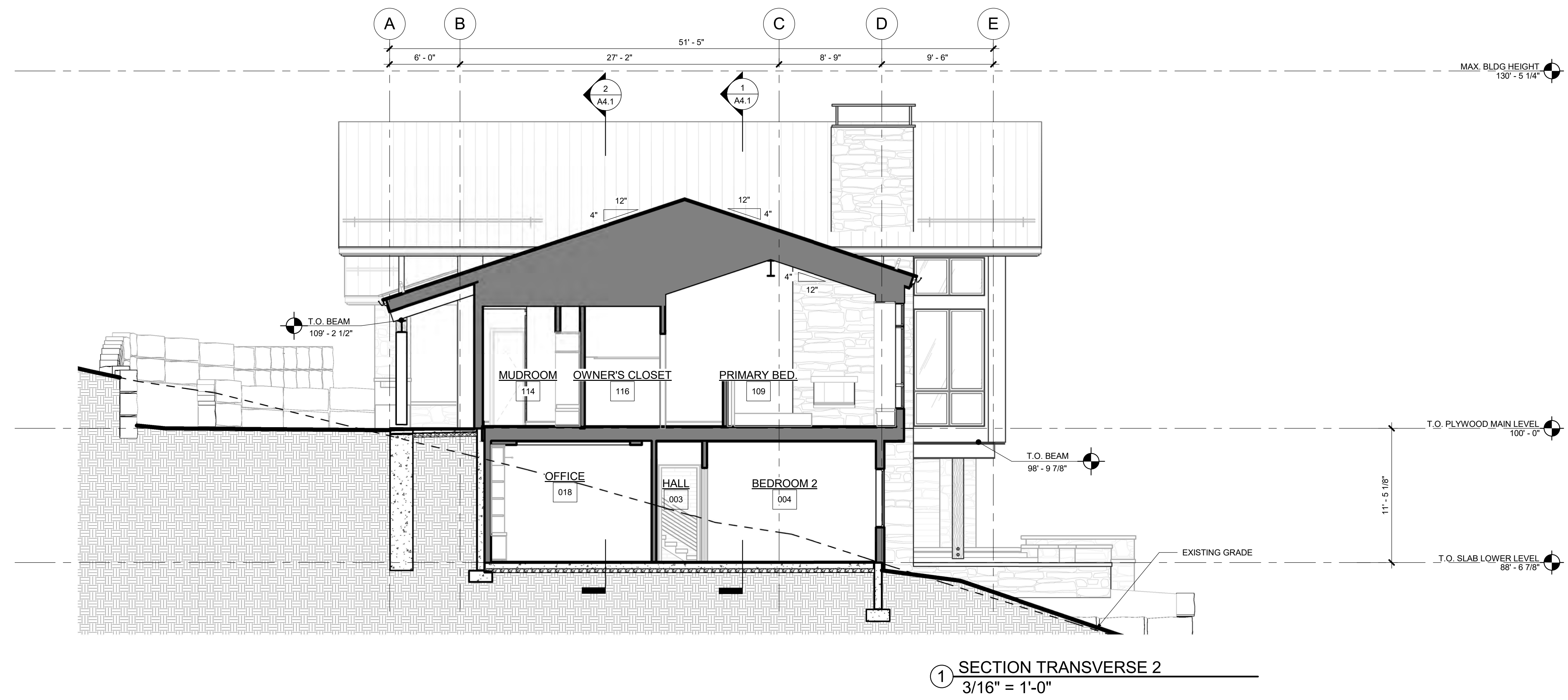
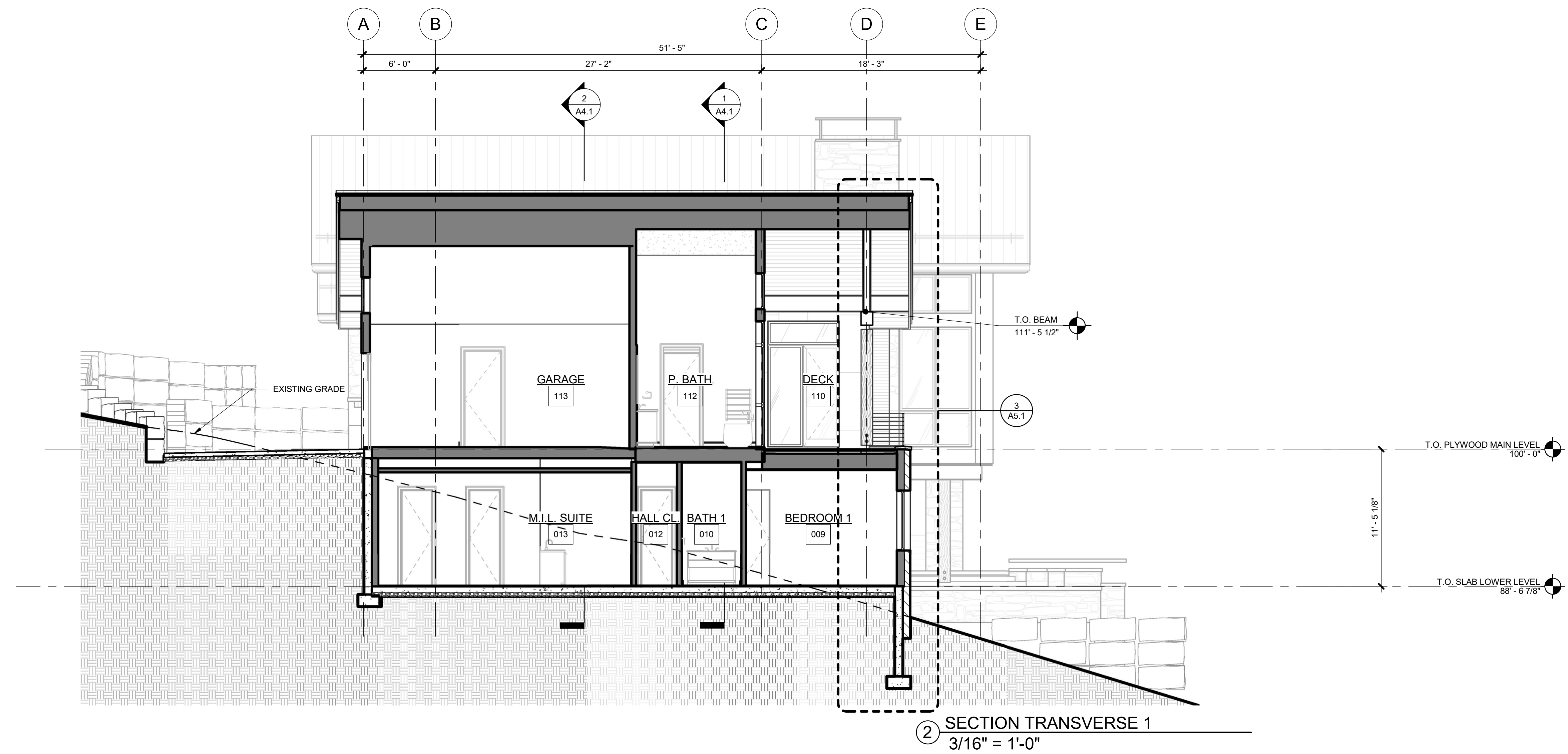
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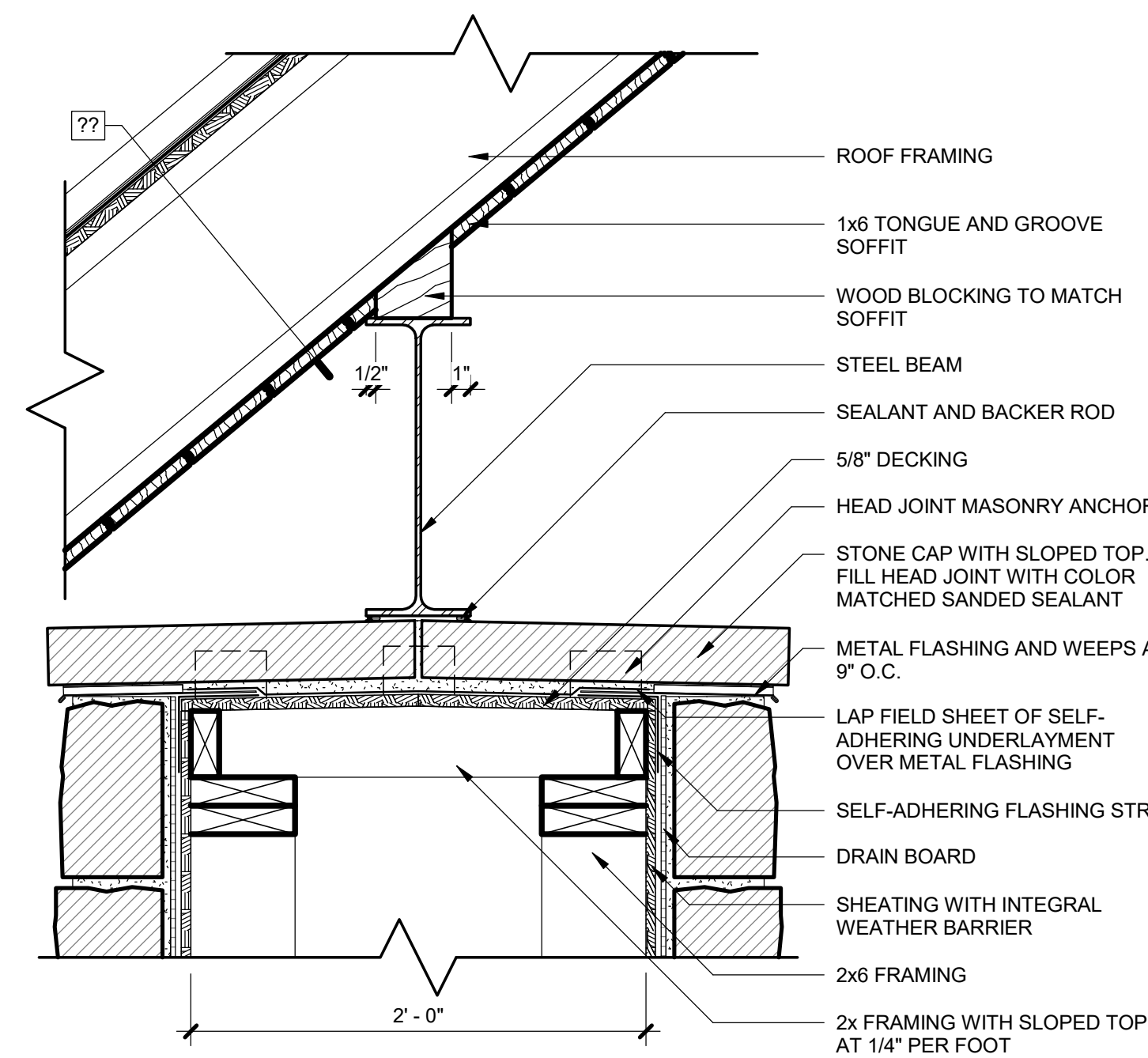
BUILDING SECTIONS

SHEET NO.

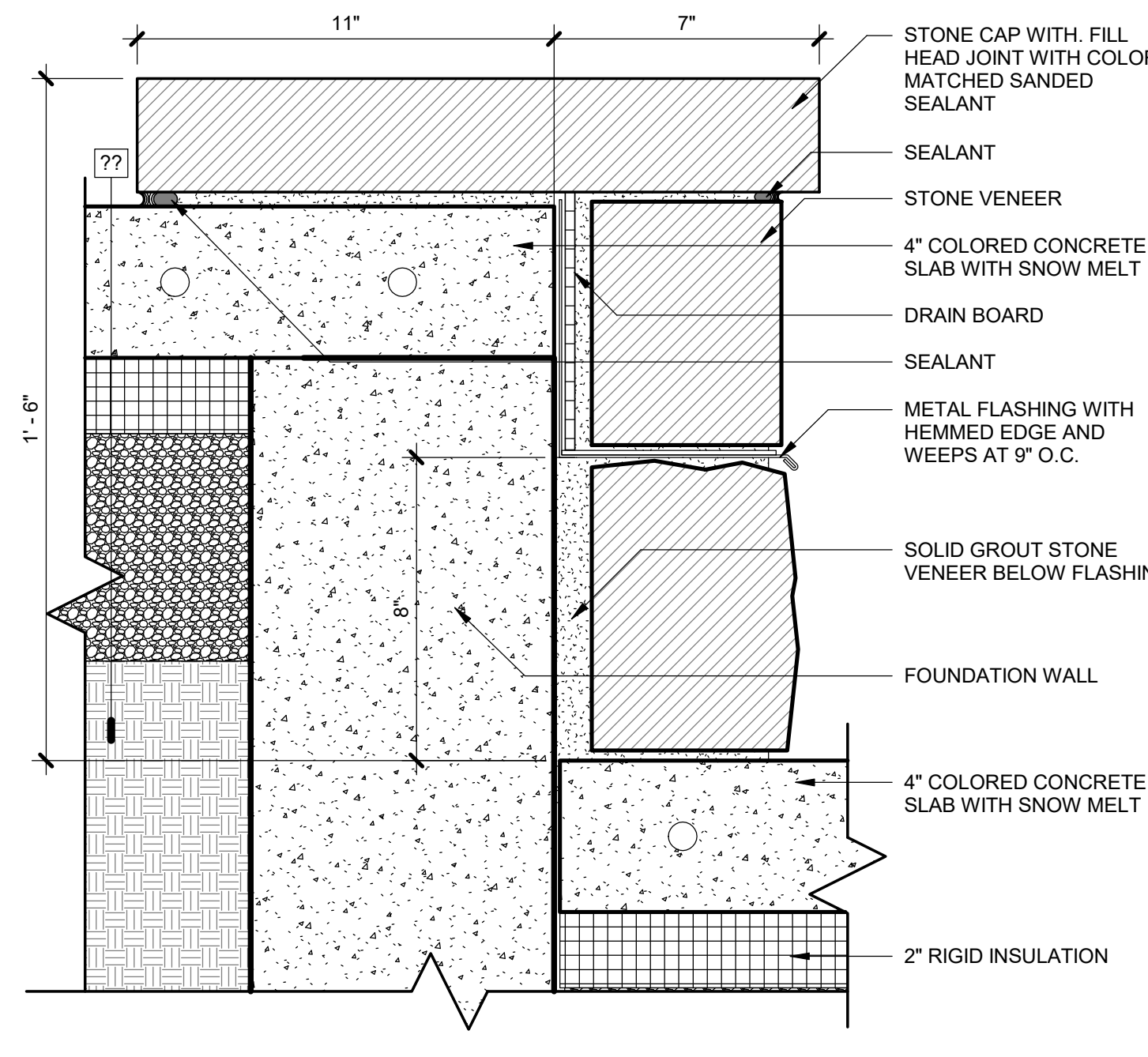
A4.2

5/17/2022 3:33:47 PM

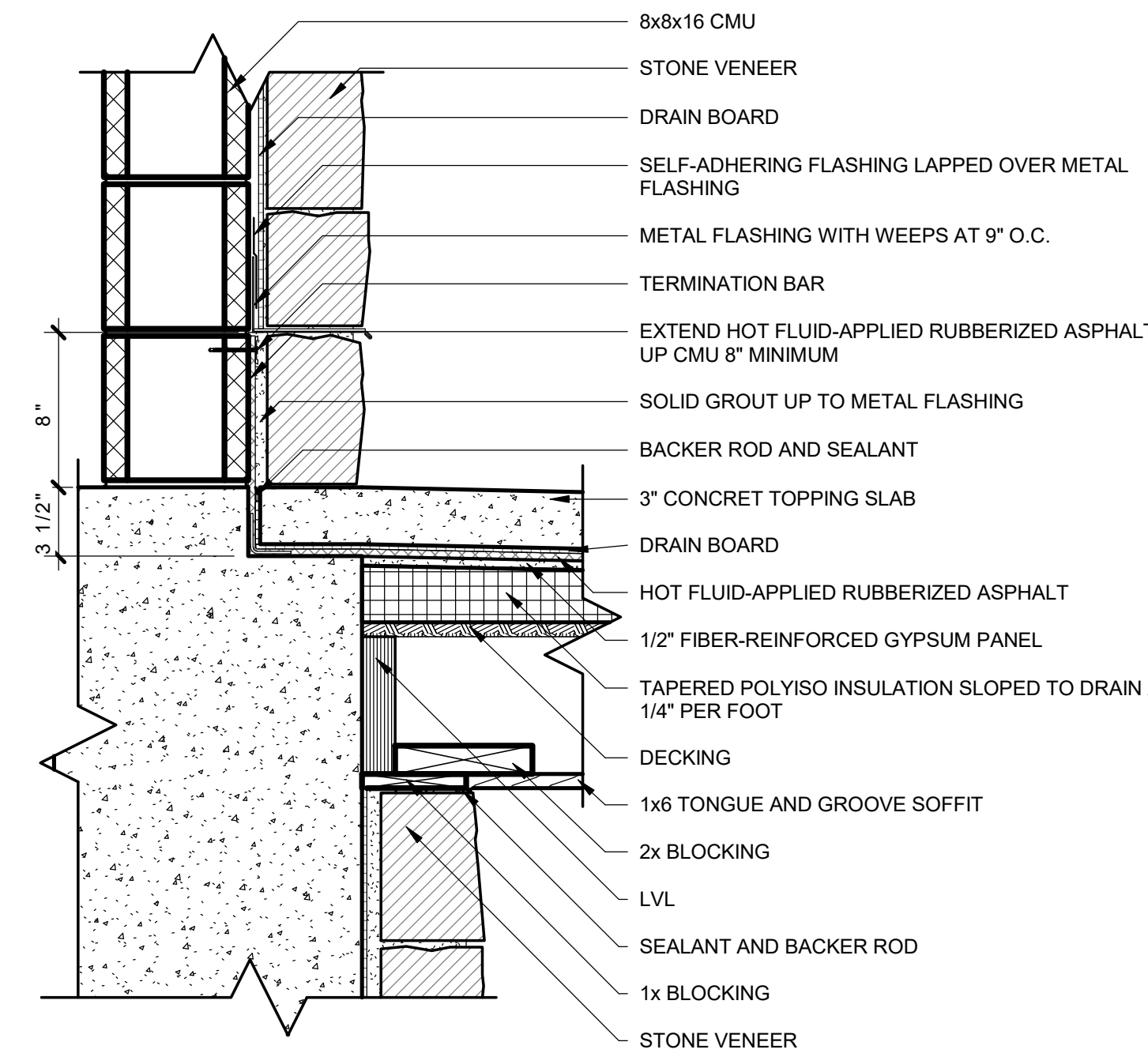




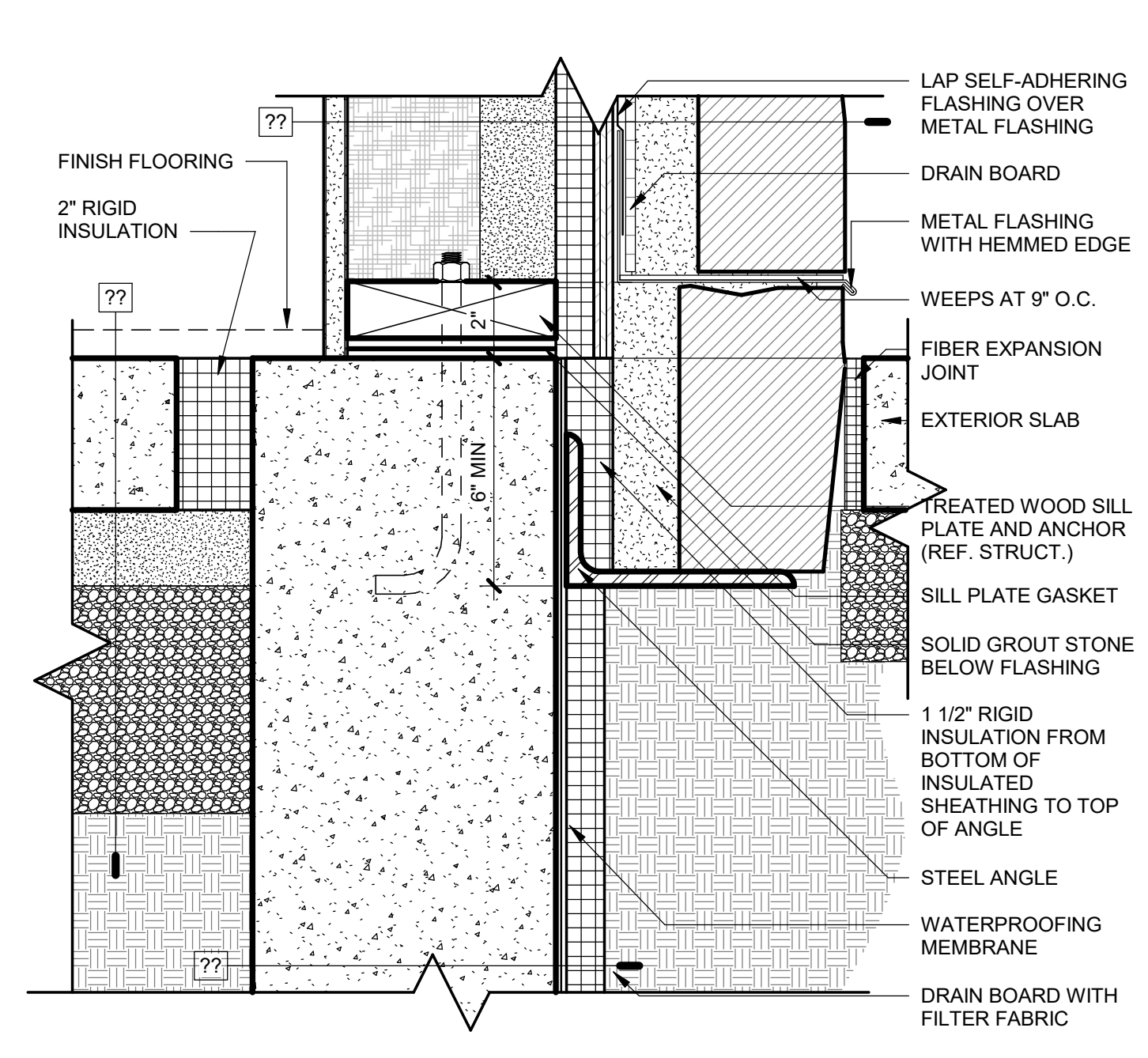
12 STONE COLUMN TO BEAM
1 1/2" = 1'-0"



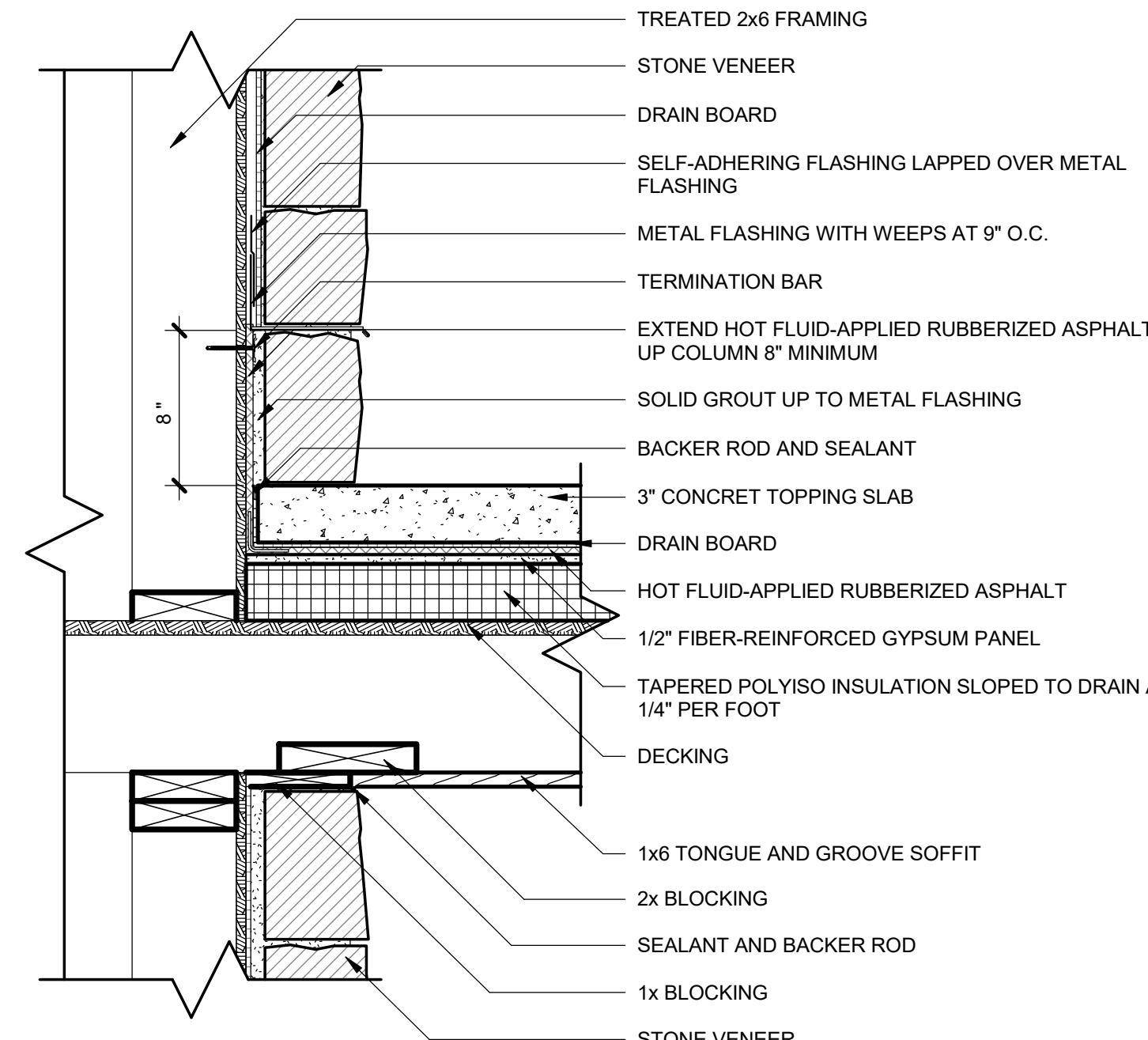
9 STONE VENEER LOWER PATIO BENCH
3" = 1'-0"



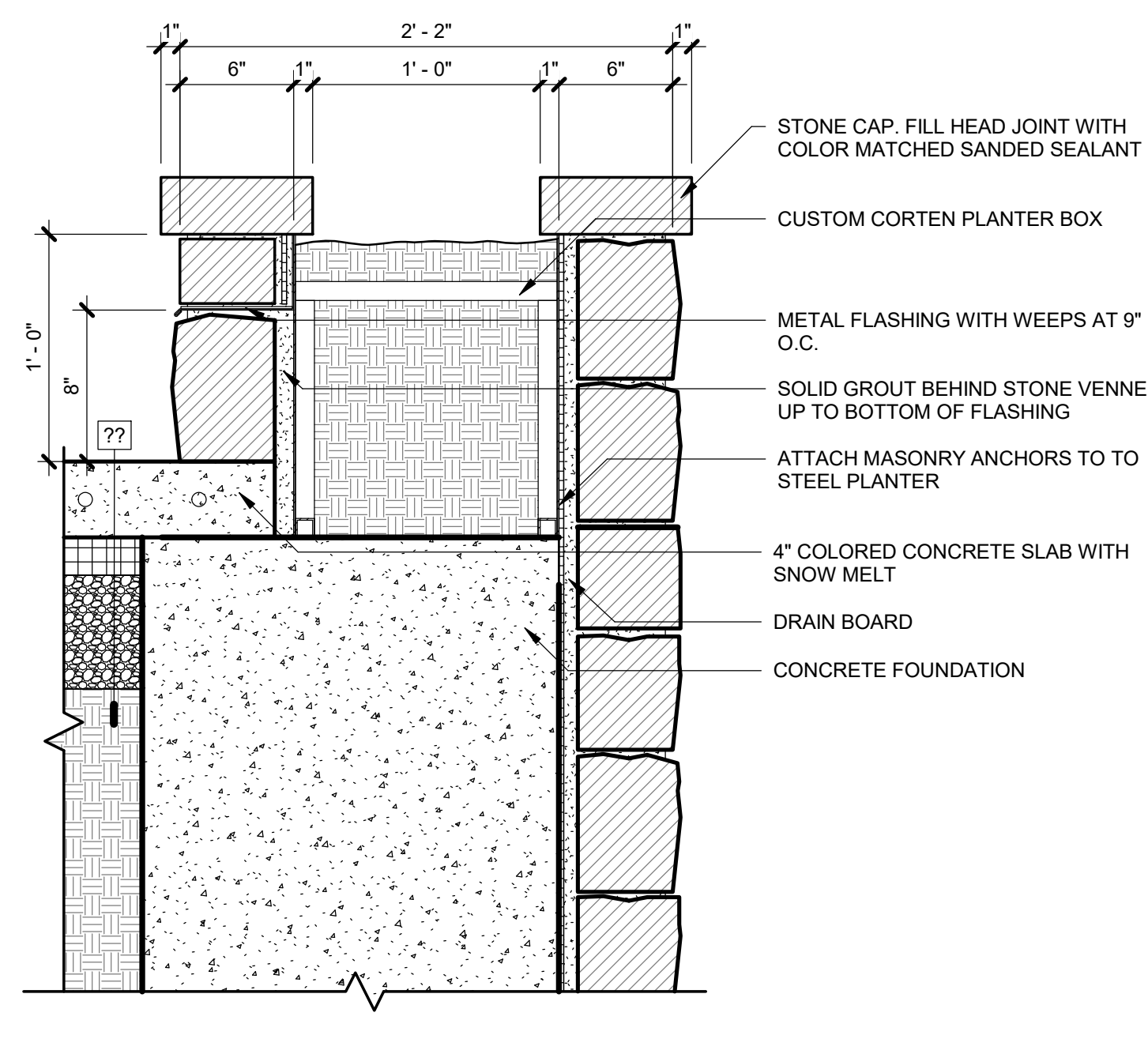
6 STONE VENEER AT HFRA WATERPROOFING
1 1/2" = 1'-0"



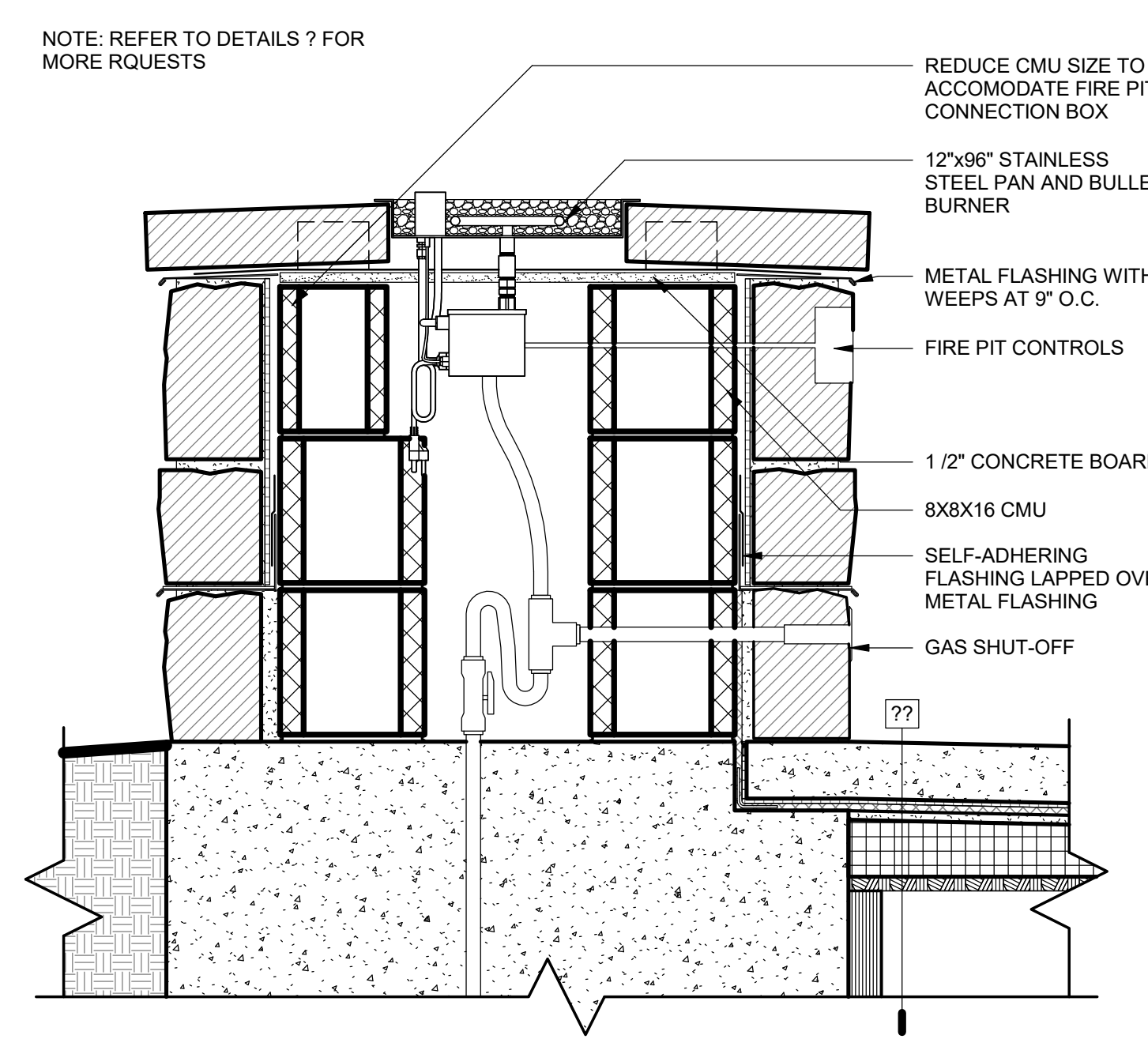
3 STONE VENEER AT EXTERIOR SLAB
3" = 1'-0"



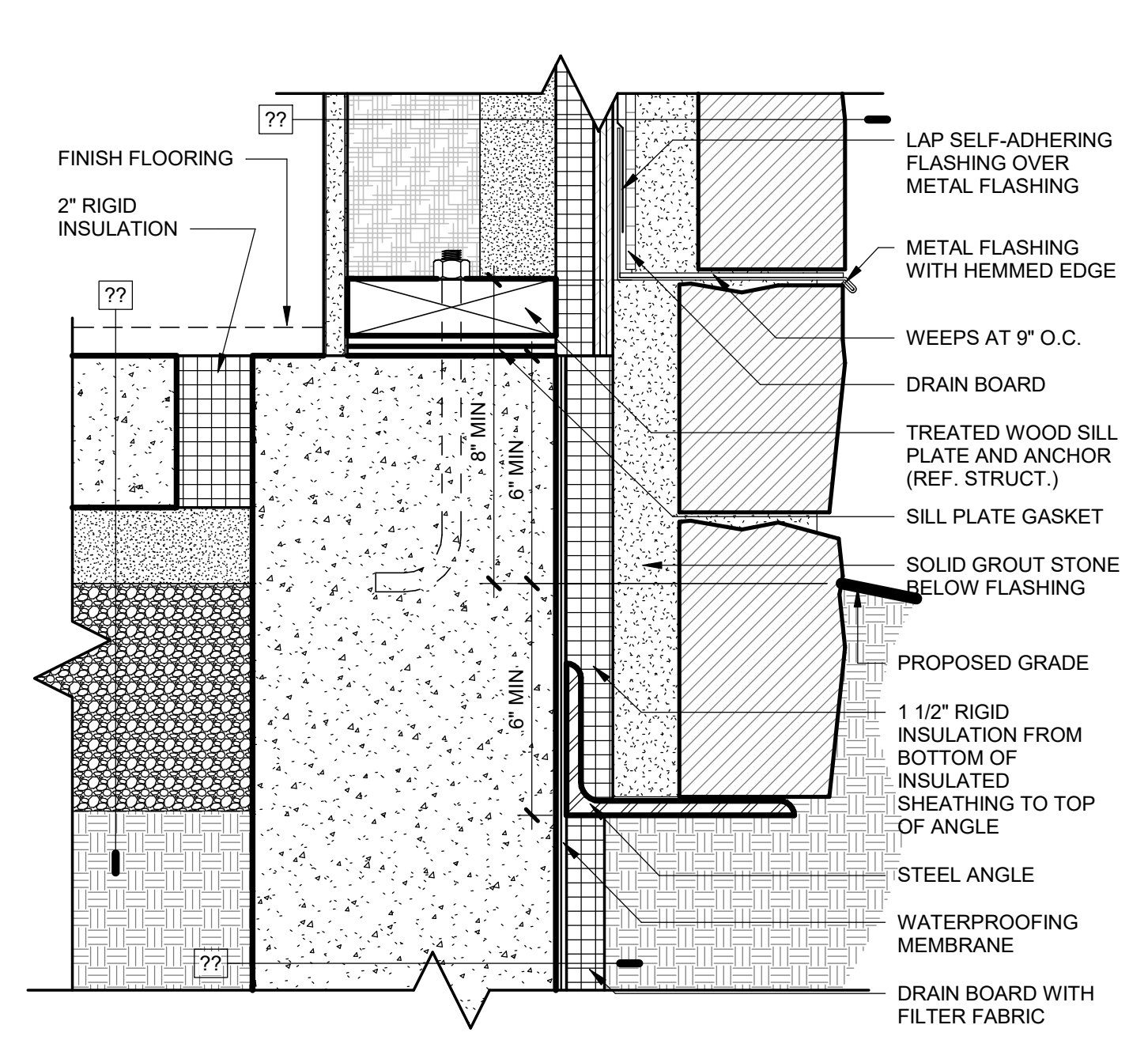
11 STONE COLUMN AT HFRA WATERPROOFING
1 1/2" = 1'-0"



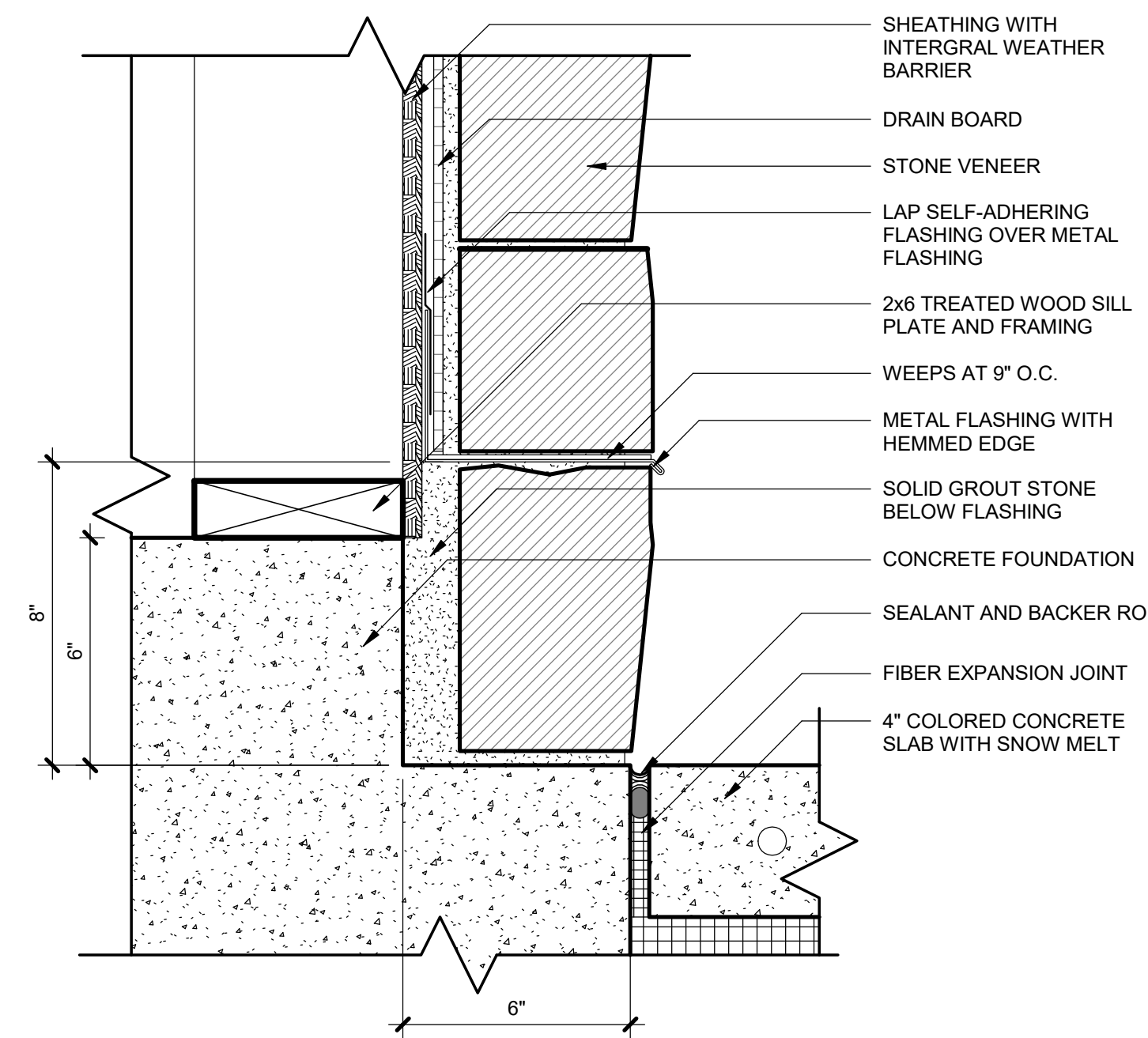
8 STONE VENEER LOWER PATIO PLANTER
1 1/2" = 1'-0"



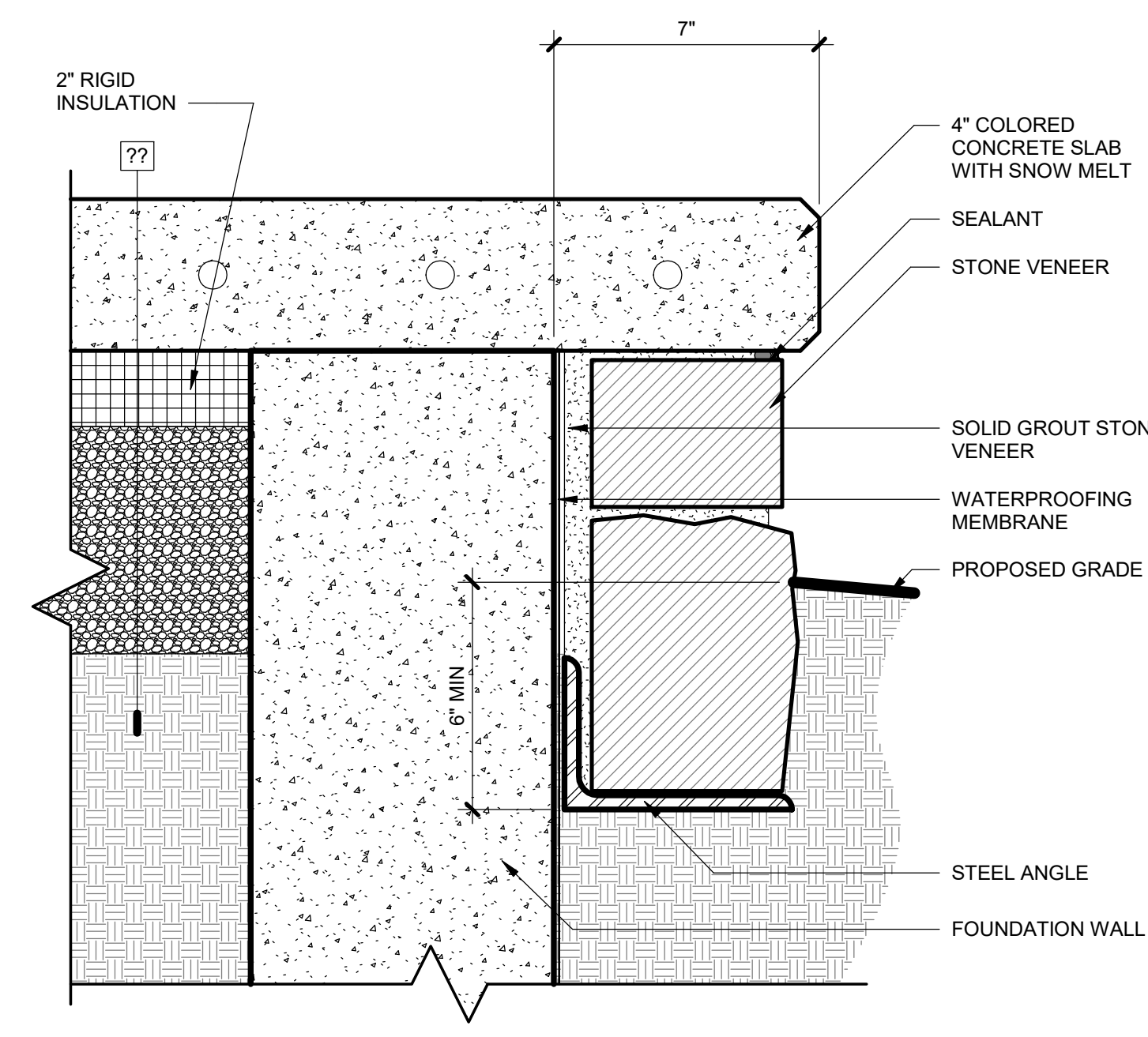
5 STONE VENEER AT PATIO FIRE PIT
1 1/2" = 1'-0"



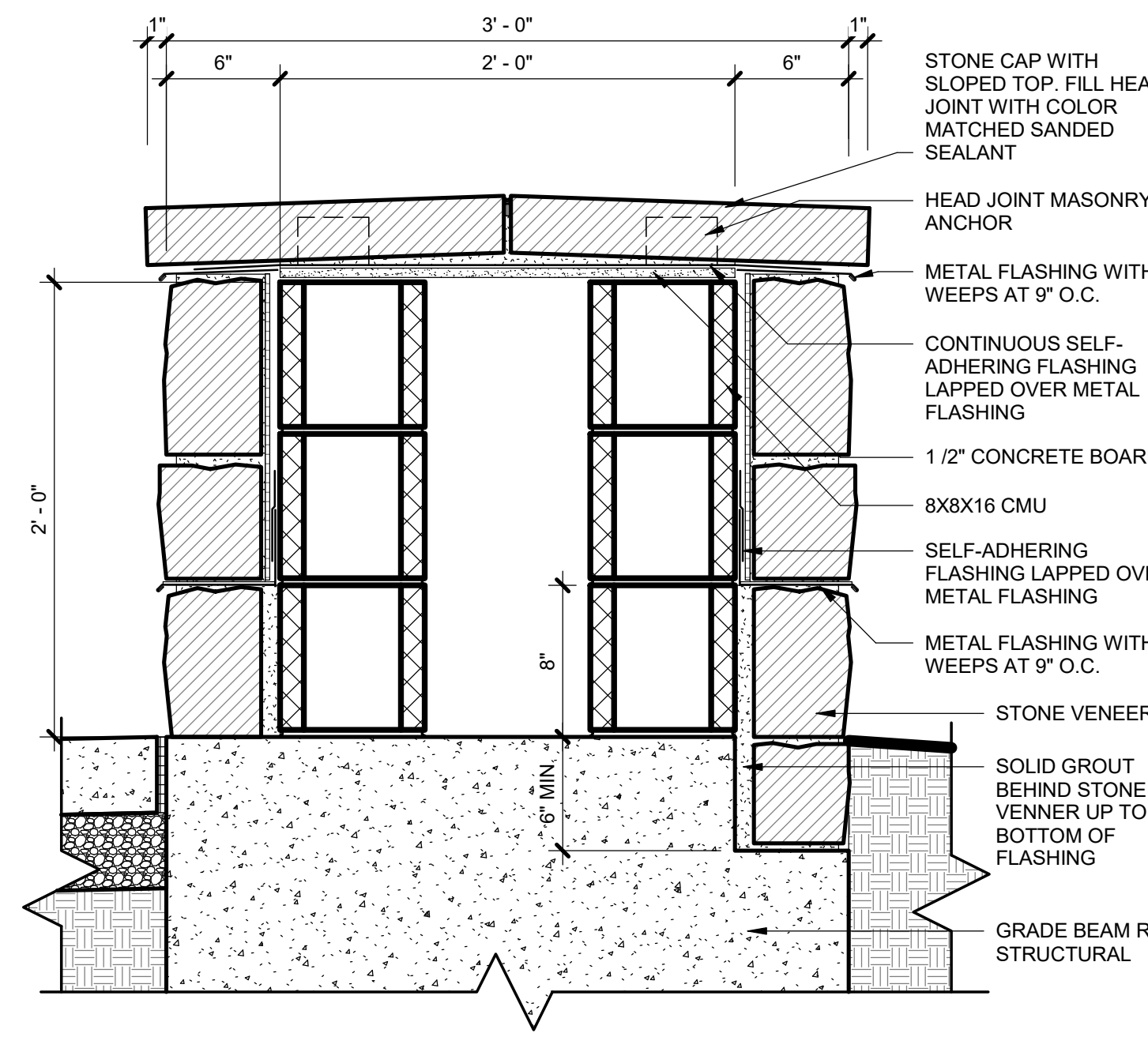
2 STONE VENEER AT FOUNDATION
3" = 1'-0"



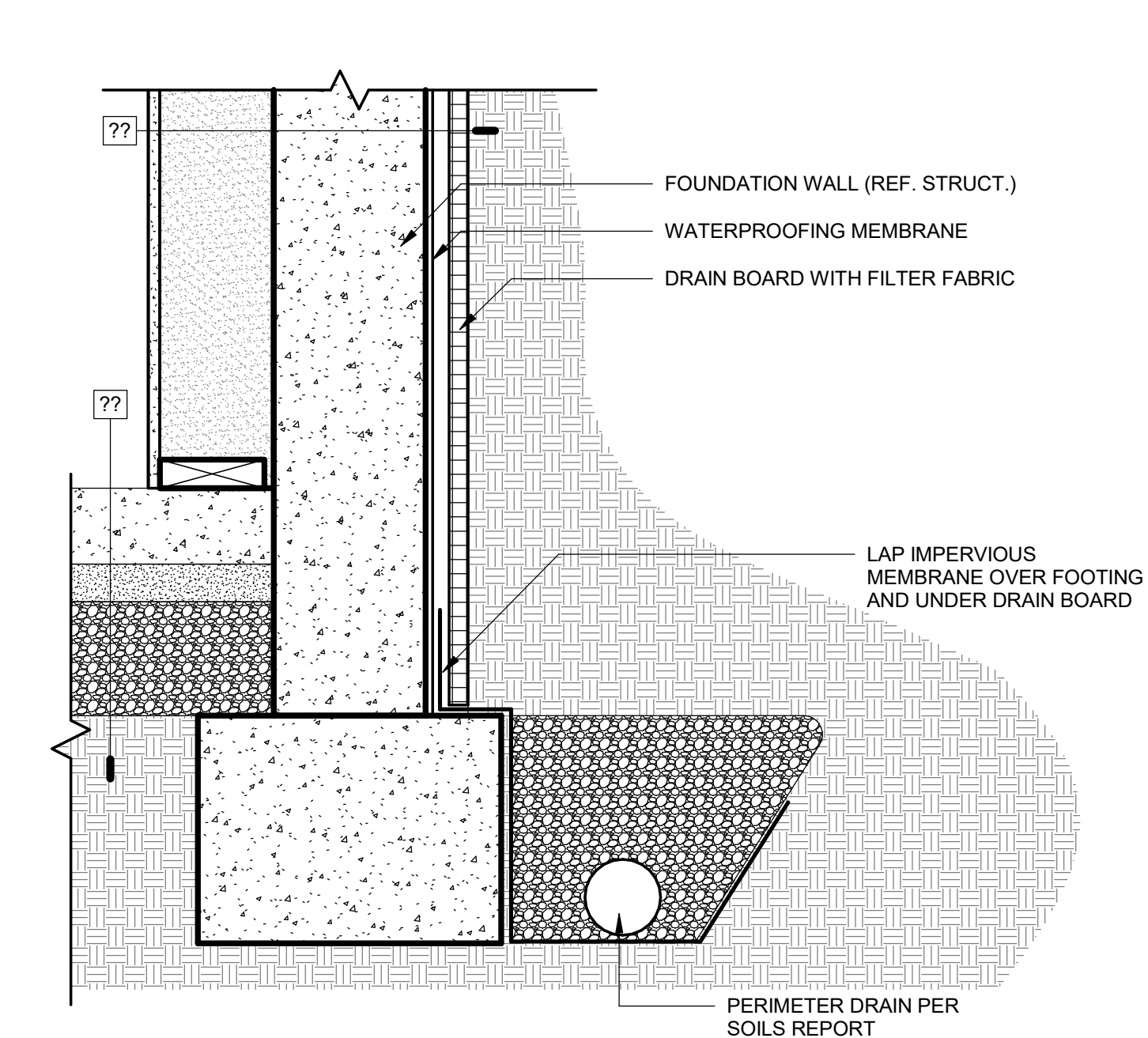
10 STONE VENEER AT COLUMN
3" = 1'-0"



7 STONE VENEER LOWER PATIO
3" = 1'-0"



4 STONE VENEER AT PATIO WALL
1 1/2" = 1'-0"

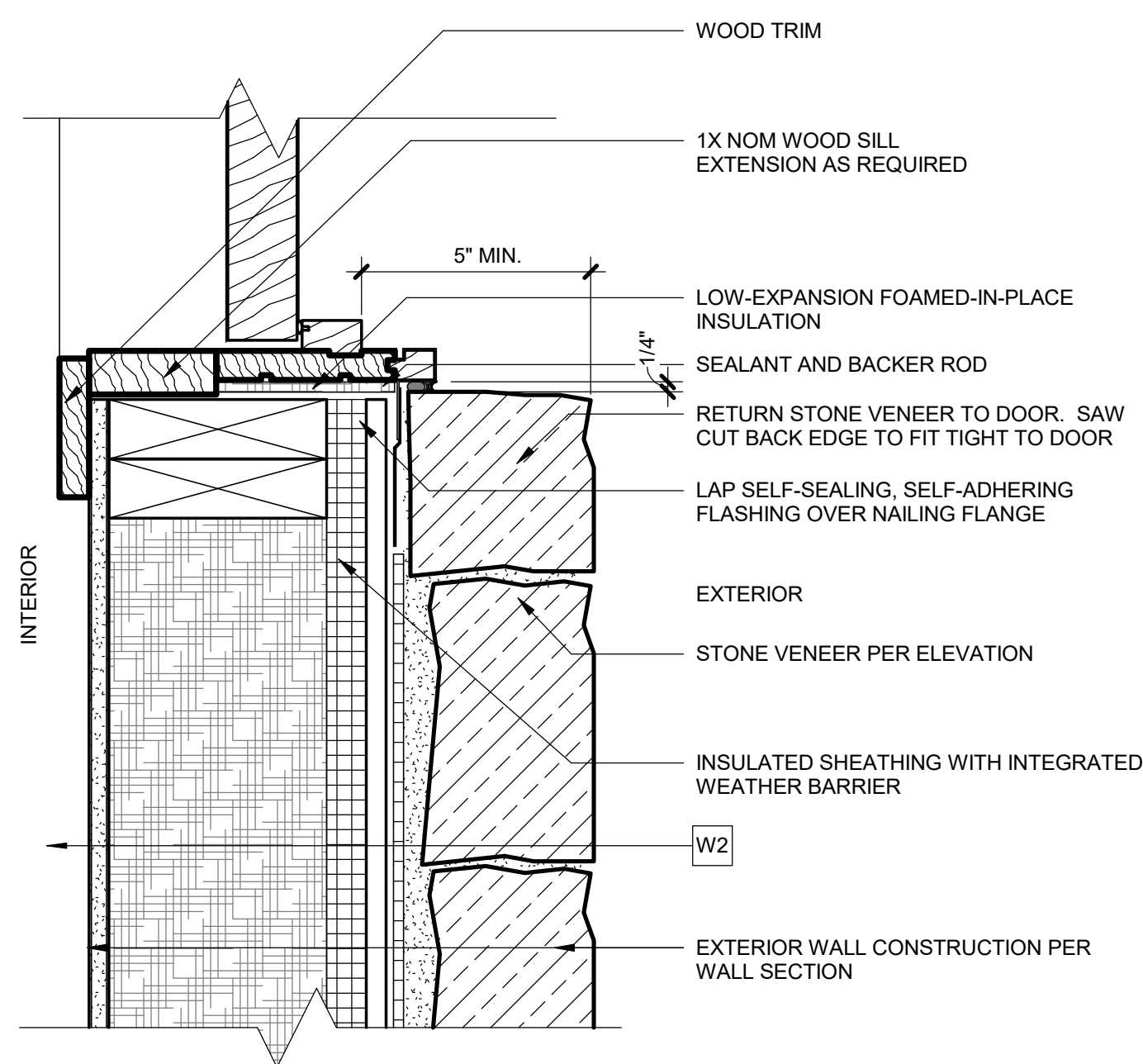


1 FOUNDATION
1 1/2" = 1'-0"

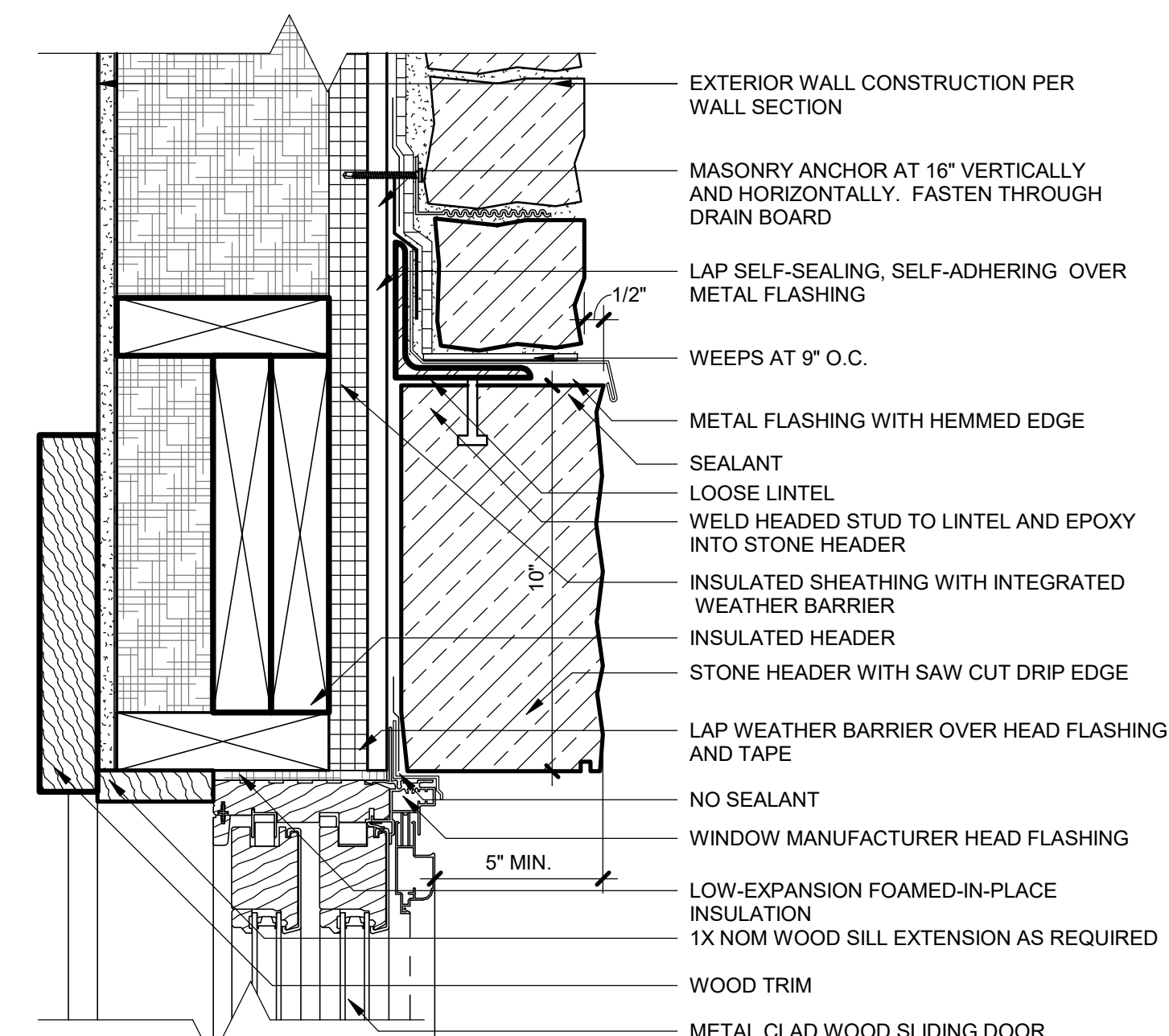
ISSUE NAME	DATE
DRB INITIAL REVIEW	12/18/20
DRB FINAL REVIEW	01/28/22
PRICING SET	04/15/22

DRAWING TITLE
DETAILS

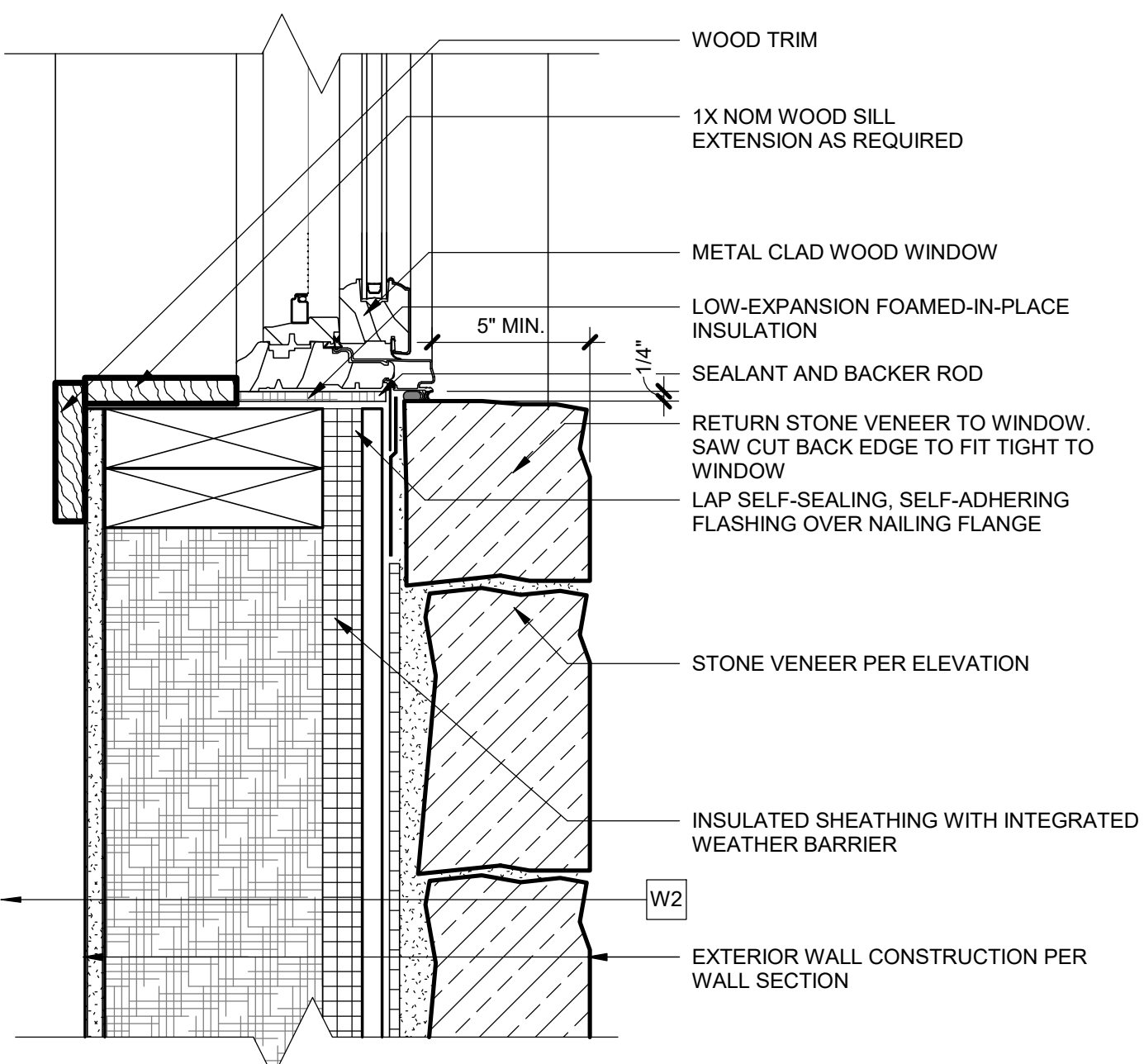
SHEET NO.
A9.1



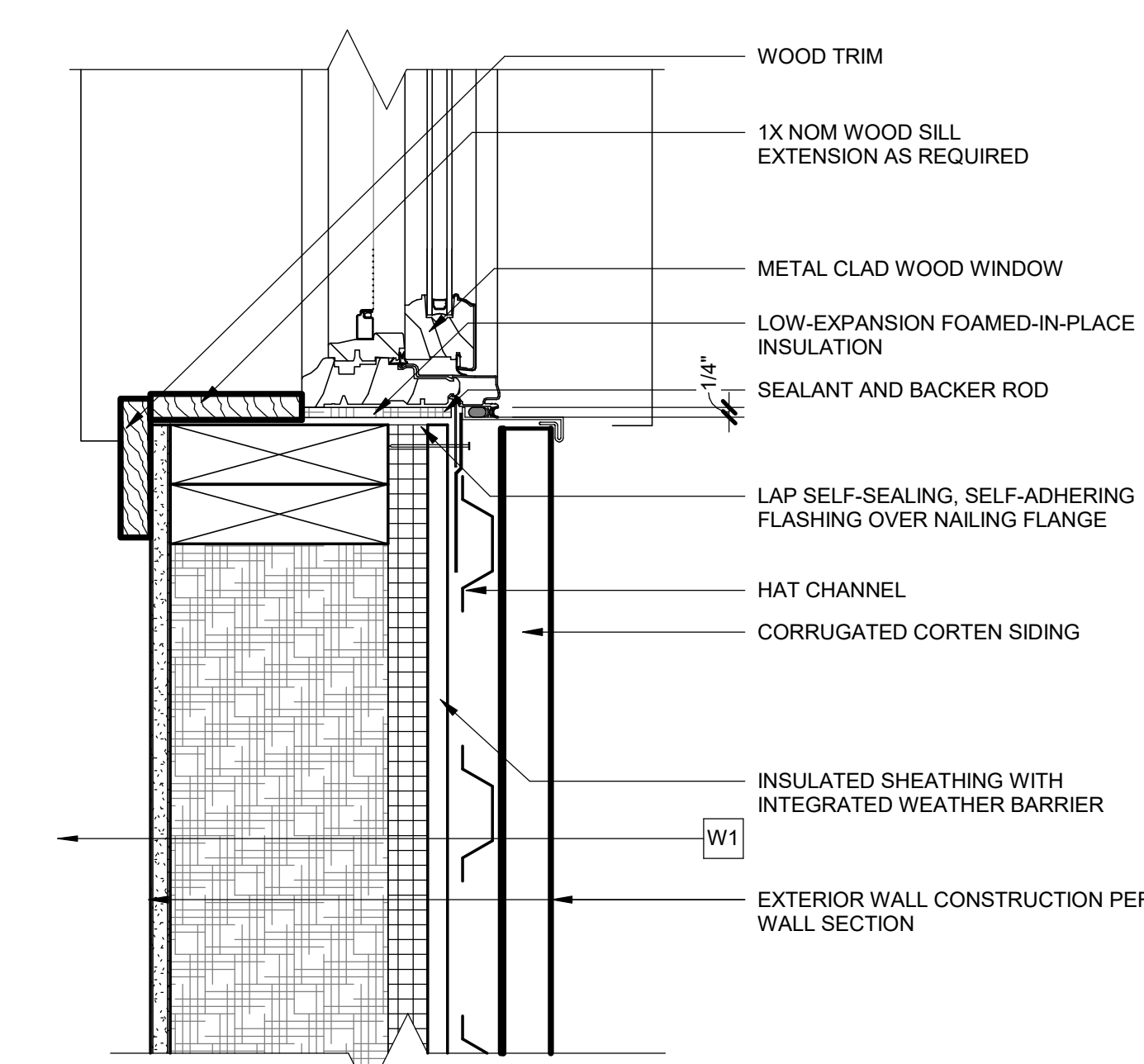
12 EXT. DOOR JAMB STONE VENEER
3" = 1'-0"



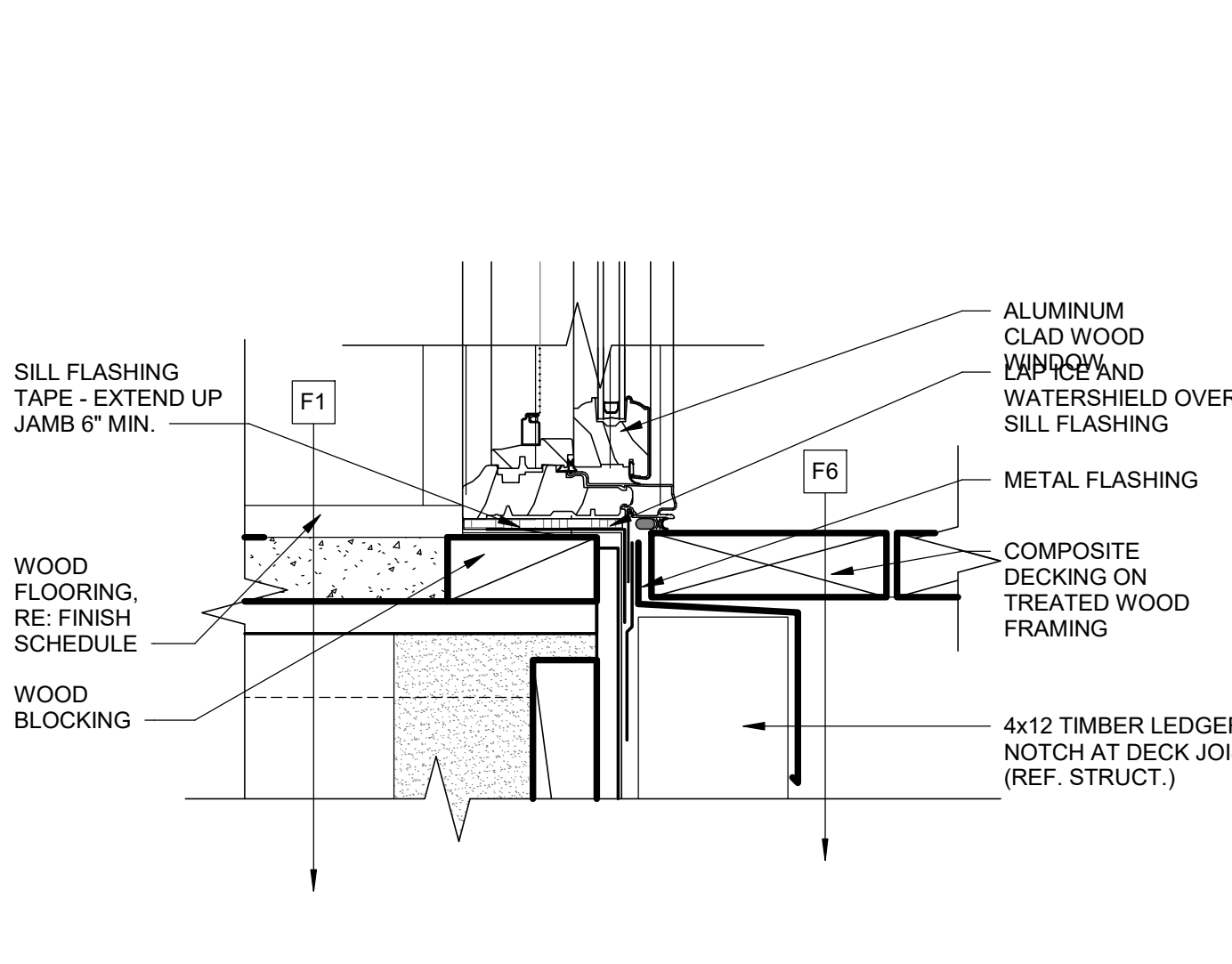
9 SLIDING DOOR JAMB STONE VENEER
3" = 1'-0"



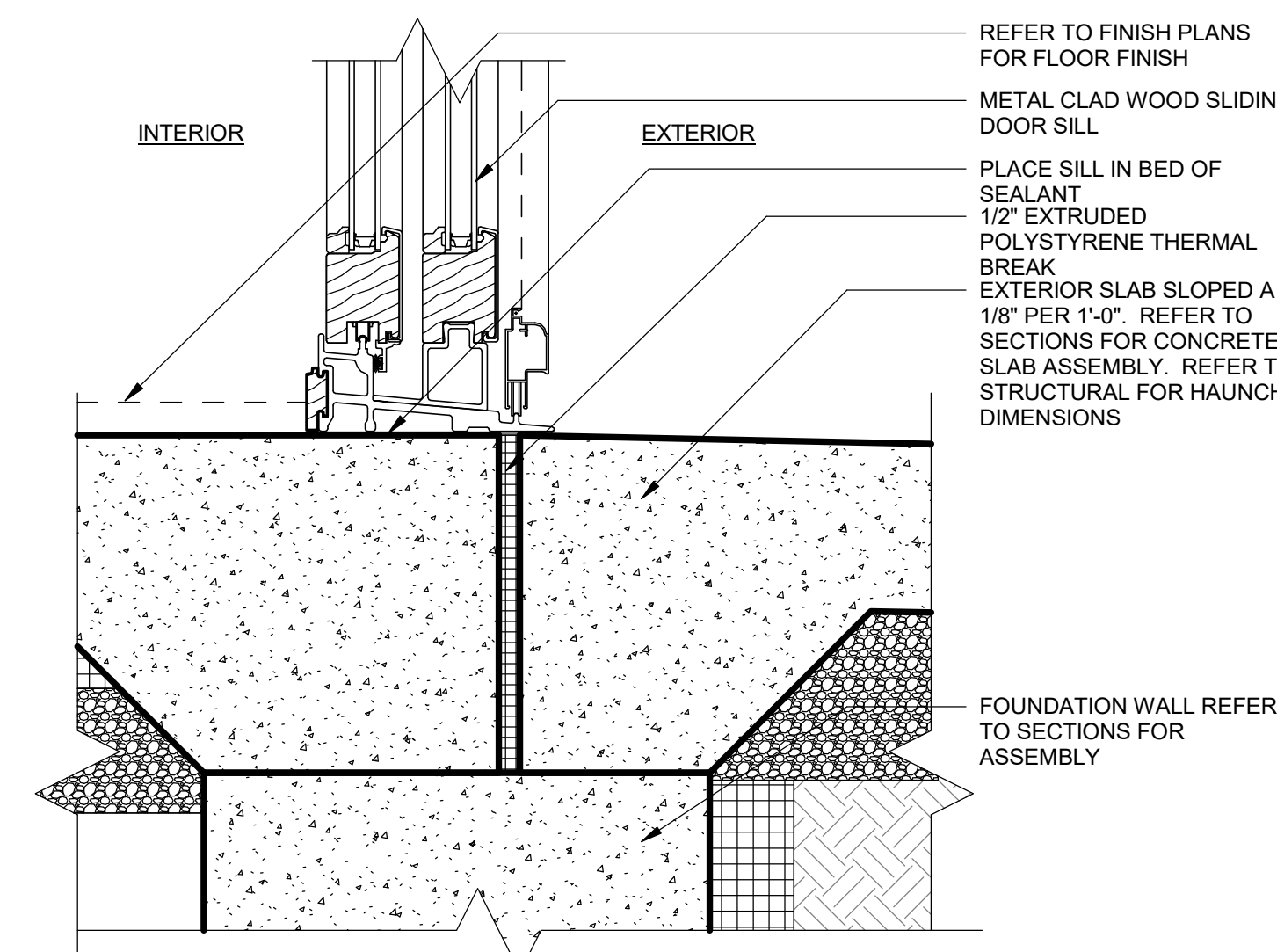
6 WINDOW JAMB STONE VENEER
3" = 1'-0"



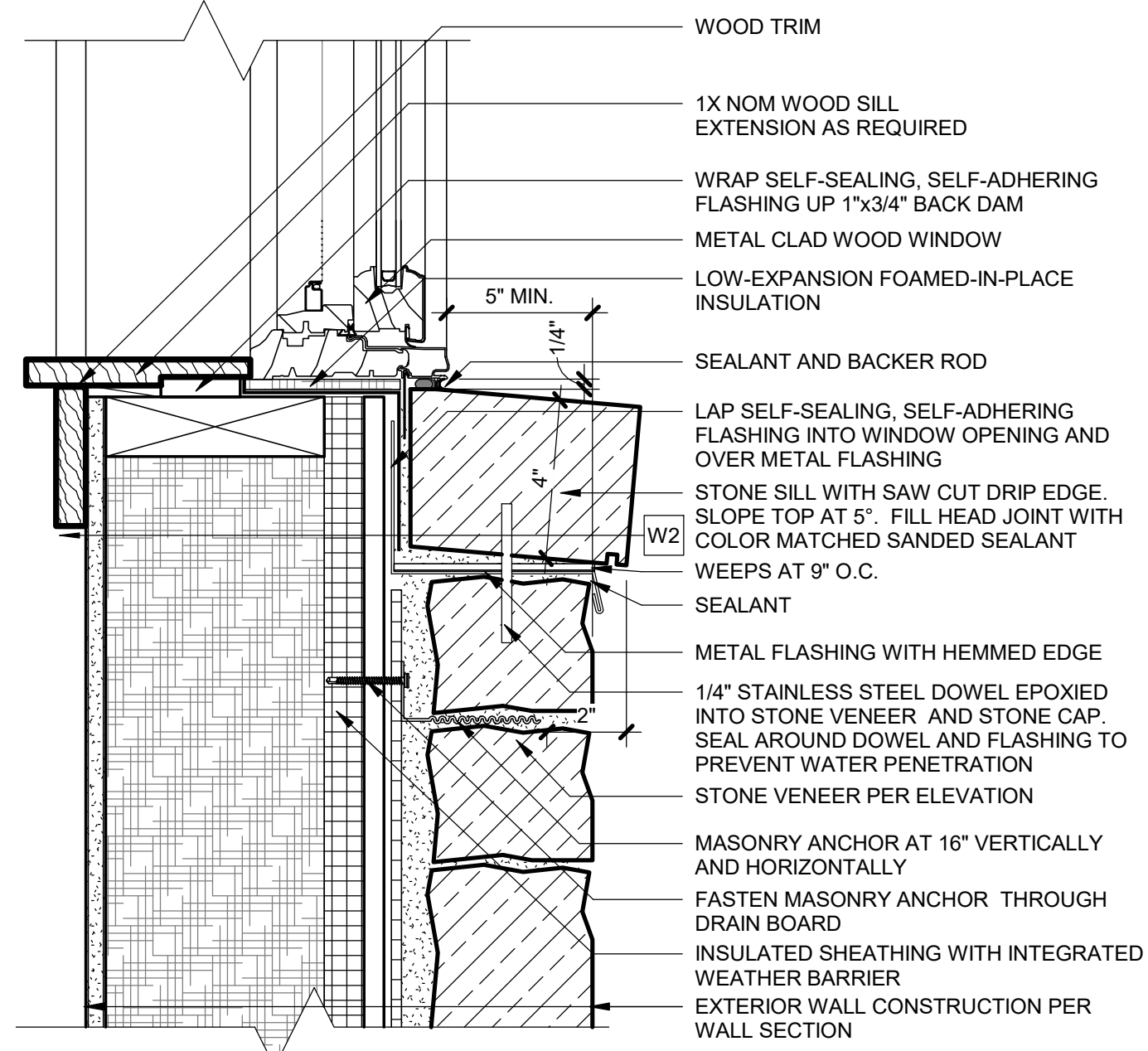
3 WINDOW JAMB CORTEN SIDING
3" = 1'-0"



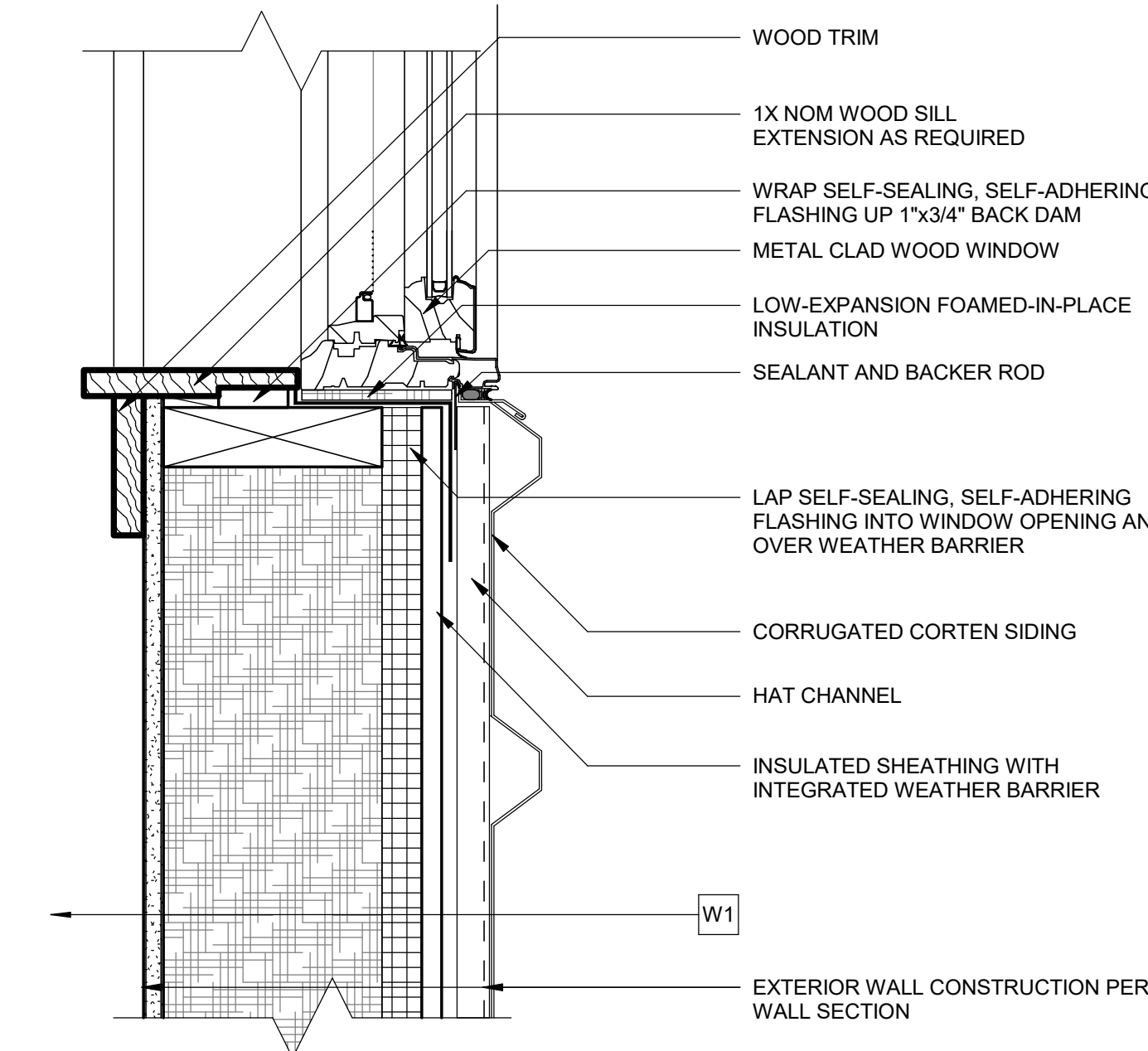
11 WINDOW SILL @ DECK
3" = 1'-0"



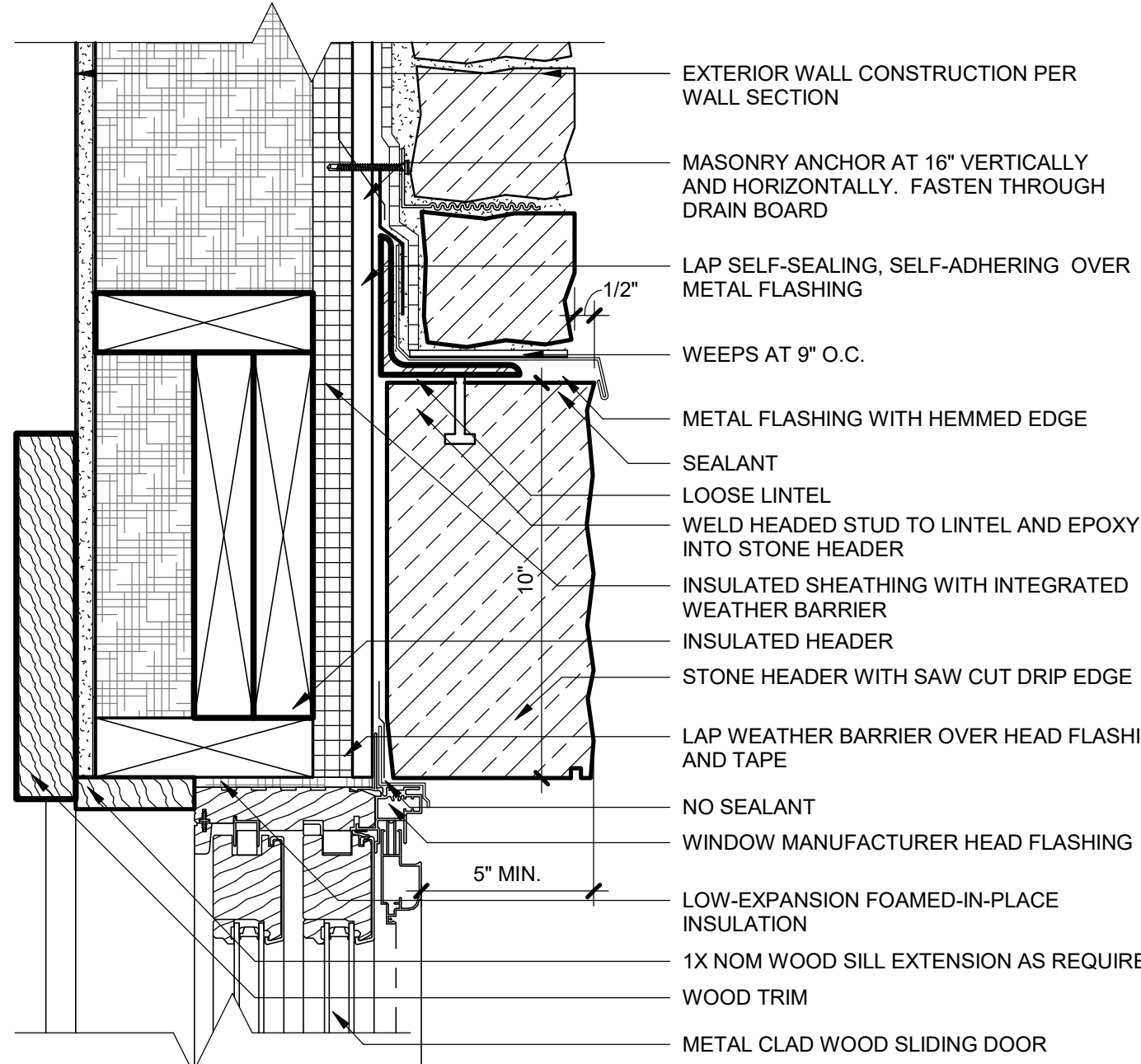
8 SLIDING DOOR SILL STONE VENEER
3" = 1'-0"



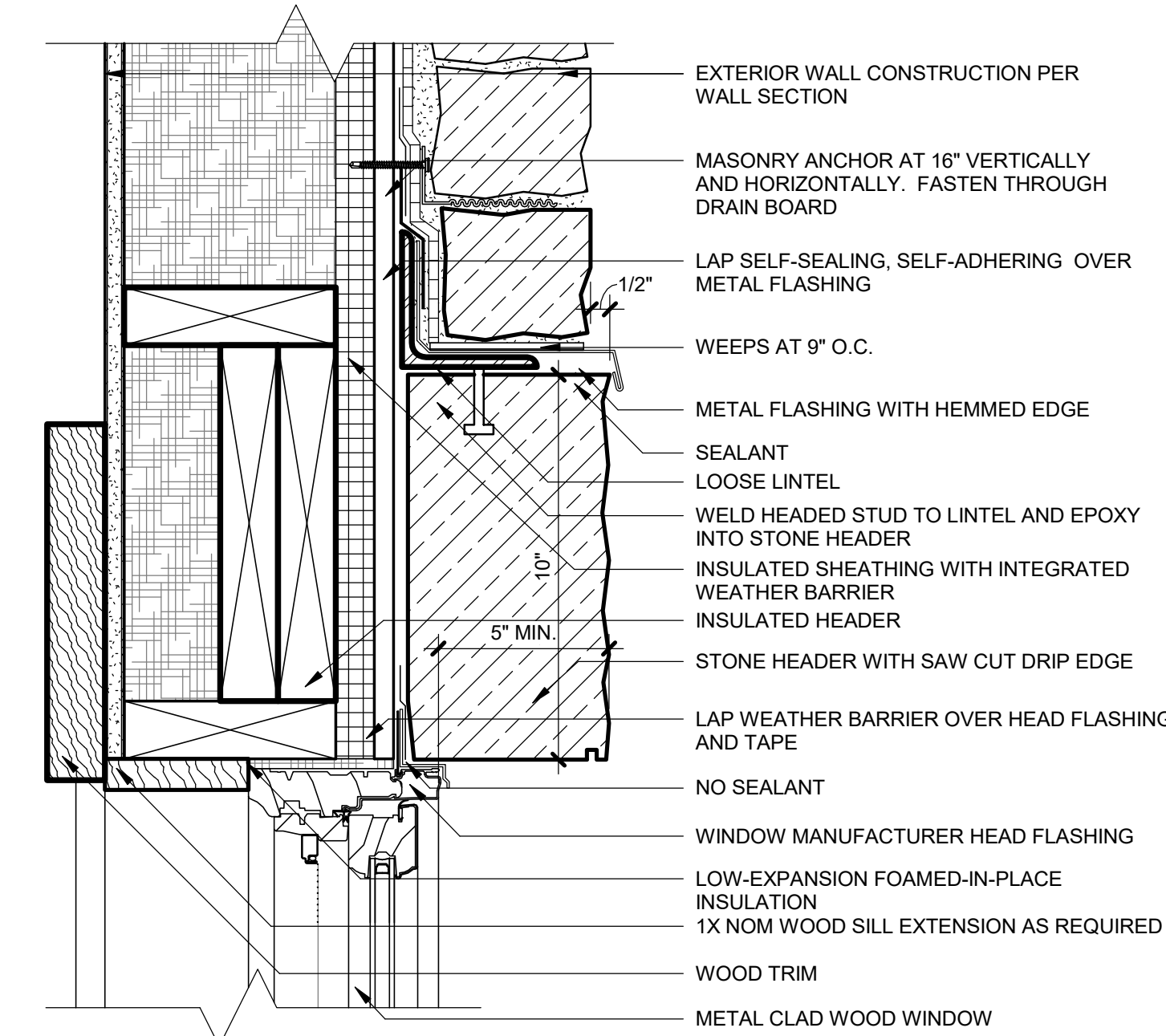
5 WINDOW SILL STONE VENEER
3" = 1'-0"



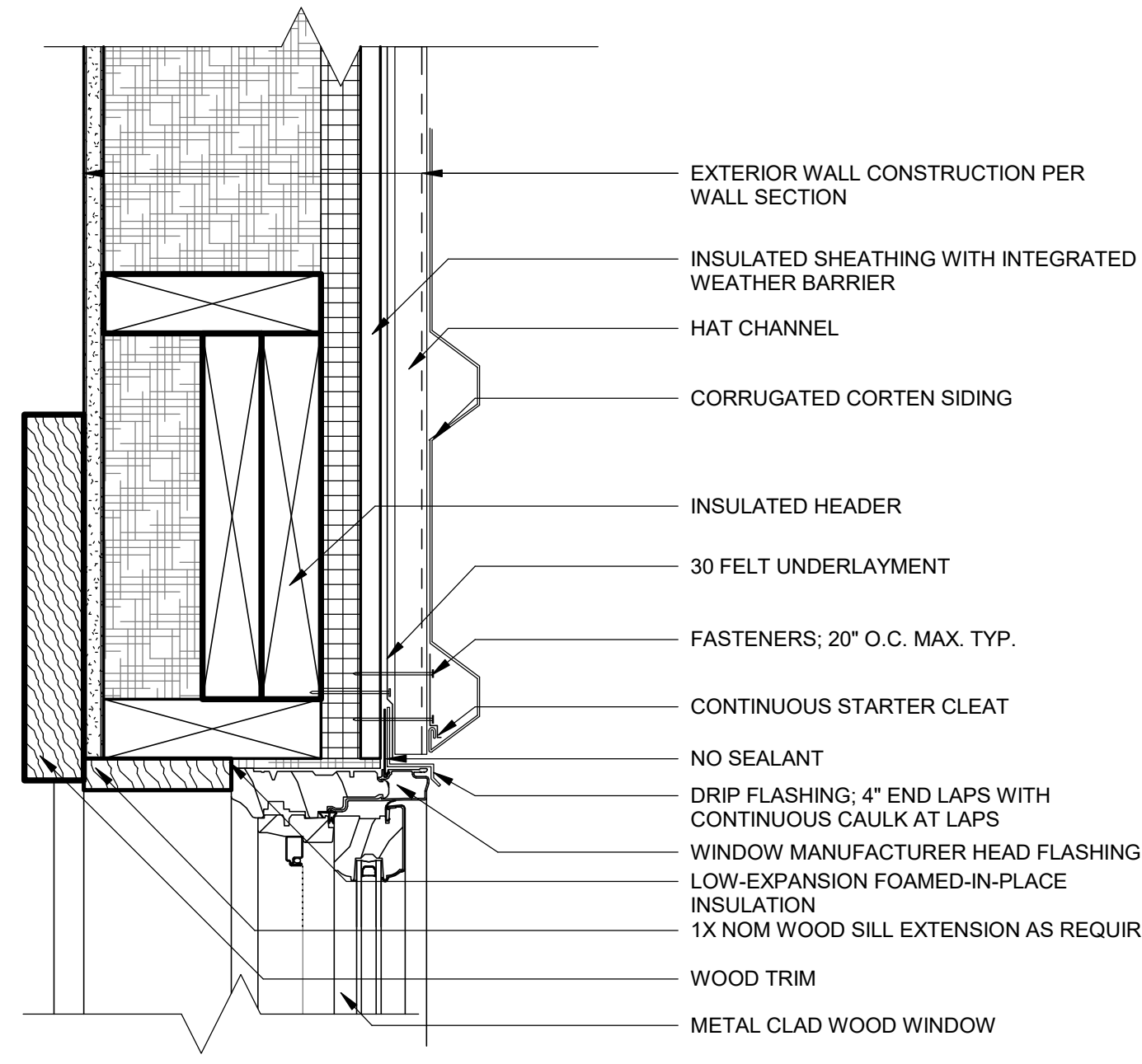
2 WINDOW SILL CORTEN SIDING
3" = 1'-0"



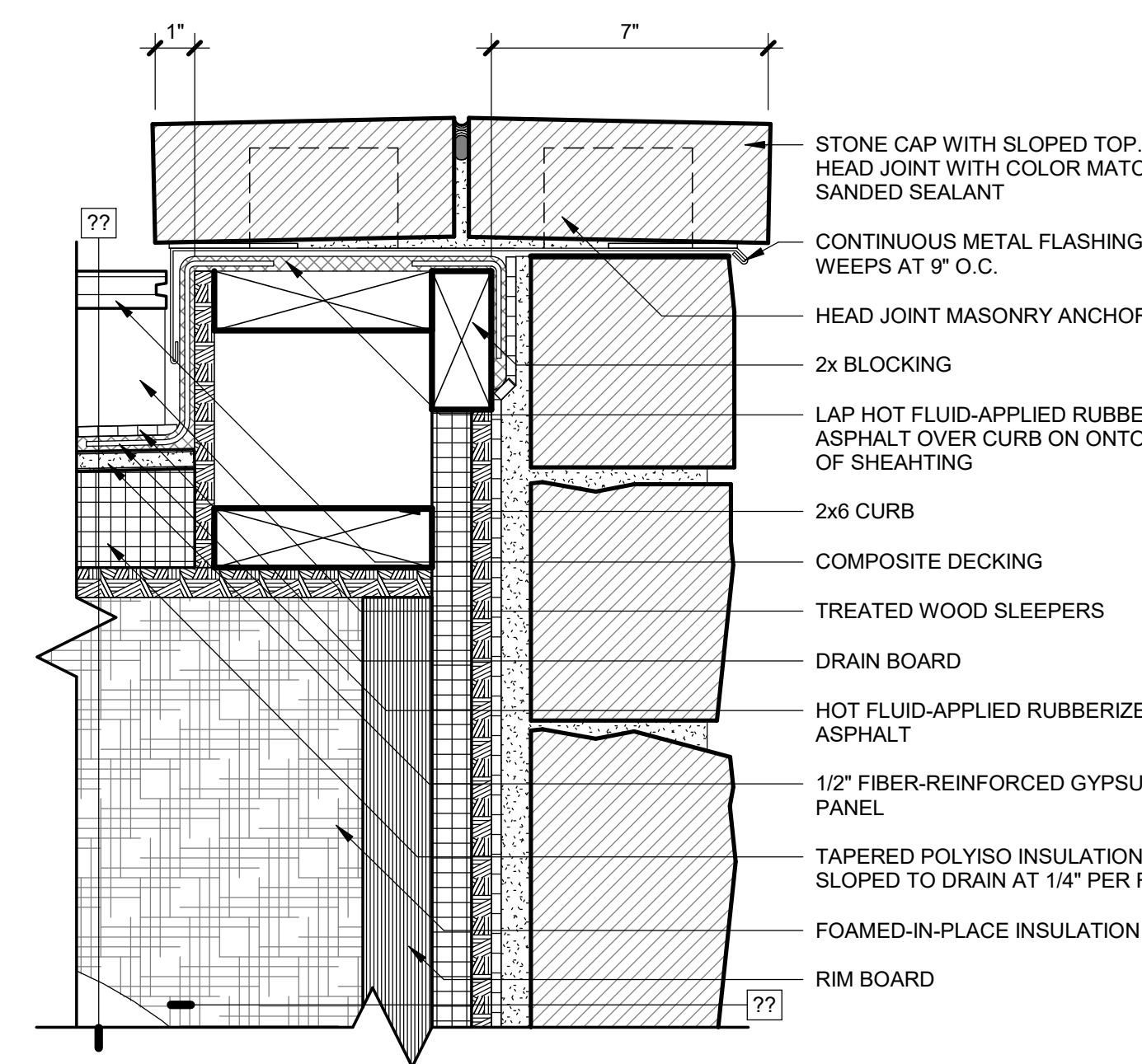
10 SLIDING DOOR HEAD STONE VENEER
3" = 1'-0"



7 WINDOW HEAD STONE VENEER
3" = 1'-0"



4 WINDOW HEAD CORTEN SIDING
3" = 1'-0"



1 STONE CAP AT MASTER DECK
3" = 1'-0"



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HARRIS RESIDENCE
6 TUNNEL LN, UNIT 17
MOUNTAIN VILLAGE, CO 81435
2041

ISSUE NAME	DATE
1 DRB INITIAL REVIEW	12/18/20
2 DRB FINAL REVIEW	01/28/22
3 PRICING SET	04/15/22

DRAWING TITLE

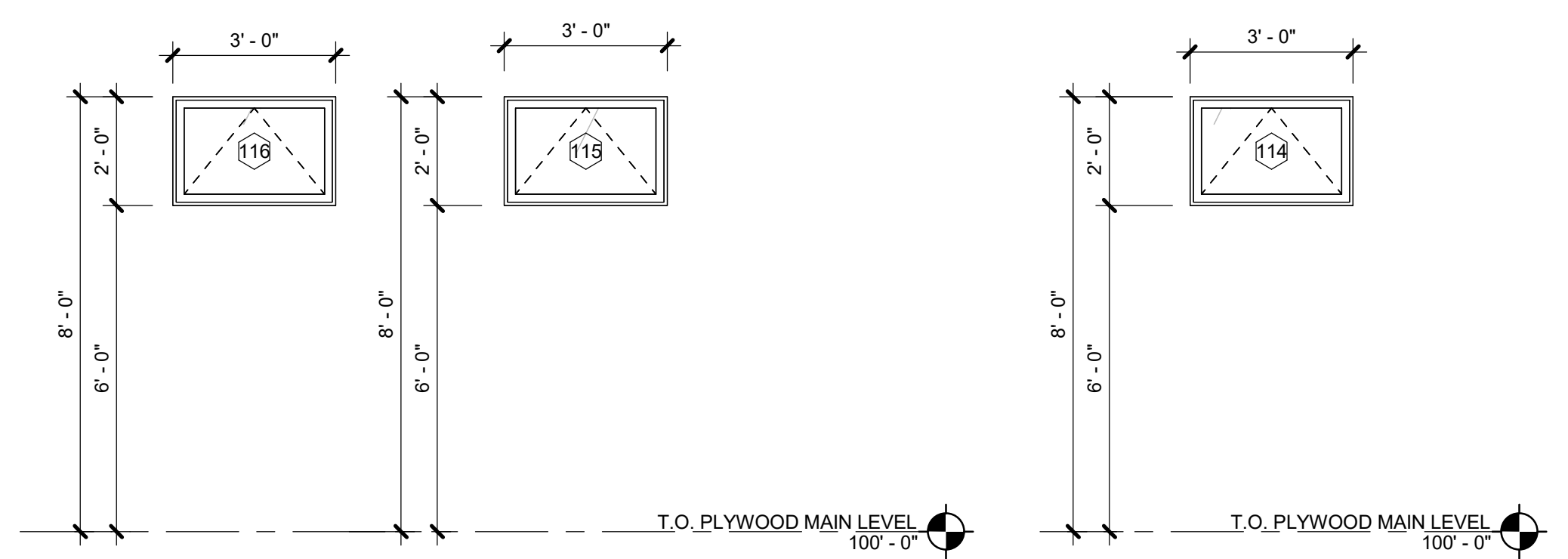
DETAILS

SHEET NO.

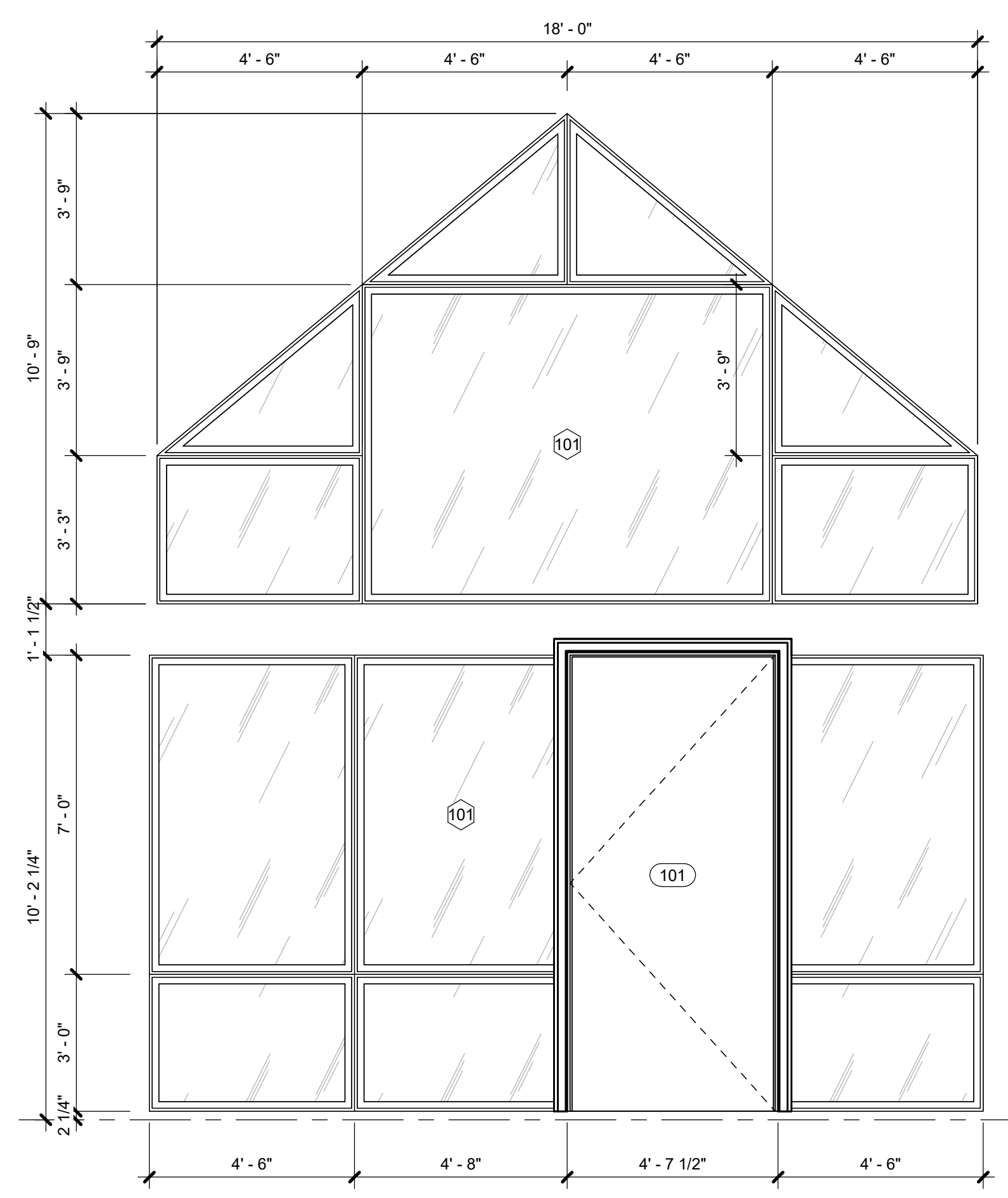
A9.2

5/17/2022 3:34:54 PM

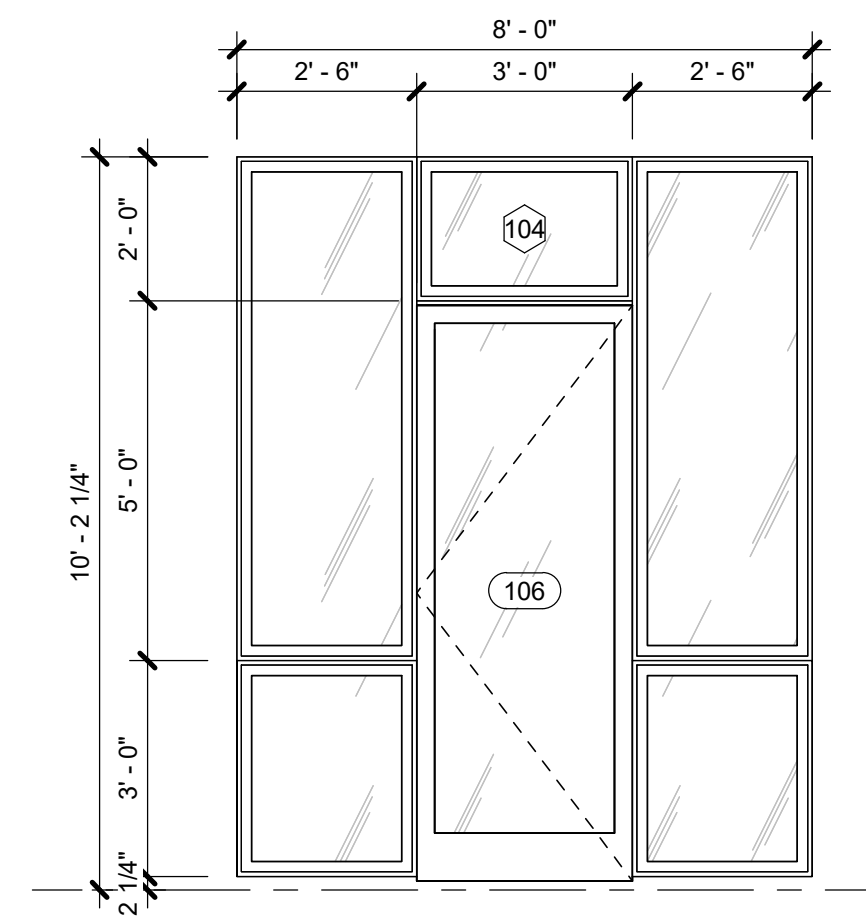
- TYPICAL NOTES:
1. ALL WINDOW AND DOOR DIMENSIONS SHOWN ARE NOMINAL DIMENSIONS. CONTRACTOR TO VERIFY ALL FINAL SIZES AND ROUGH OPENINGS VIA AS-BUILT DIMENSIONS WITH WINDOW AND DOOR MANUFACTURER PRIOR TO ORDERING AND FABRICATION.
 2. CONTRACTOR TO VERIFY WITH WINDOW MANUFACTURER ALL EGRESS UNITS.
 3. CONTRACTOR TO VERIFY WITH WINDOW MANUFACTURER ALL TEMPERED GLAZING LOCATIONS.
 4. CONTRACTOR TO VERIFY WITH WINDOW MANUFACTURER ALL FRAME SIZES PRIOR TO ORDERING AND INSTALLATION.
 5. WINDOWS TO HAVE MAXIMUM U-FACTOR AS PER CODE.
 6. WINDOWS AND DOORS SHALL HAVE AN AIR INFILTRATION RATE AS PER CODE.



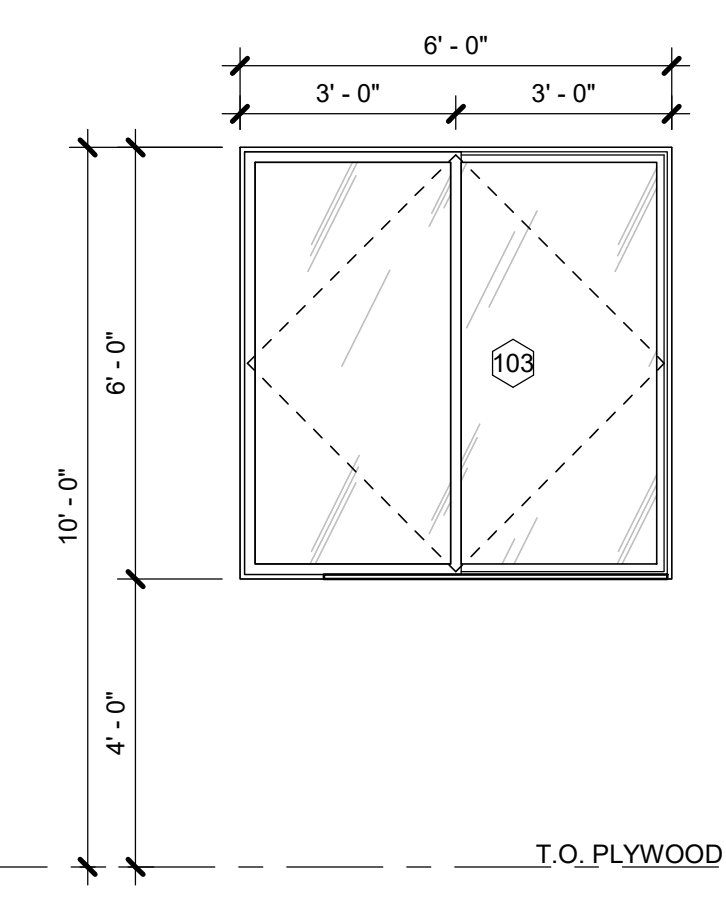
16 WINDOW 116 3/8" = 1'-0"
15 WINDOW 115 3/8" = 1'-0"
14 WINDOW 114 3/8" = 1'-0"



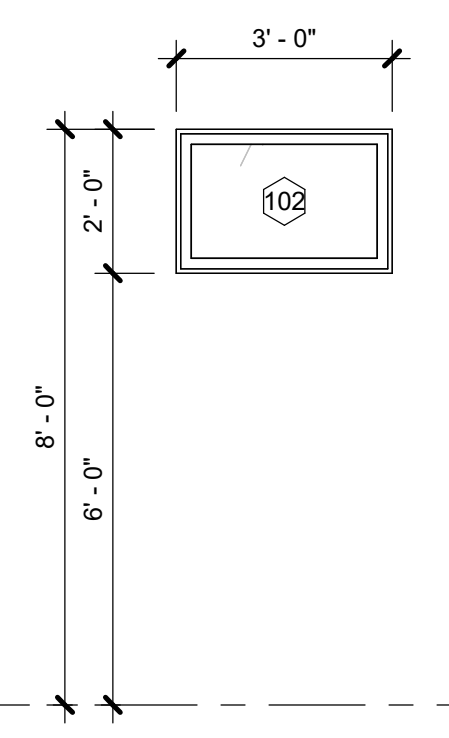
10 WINDOW 101 3/8" = 1'-0"



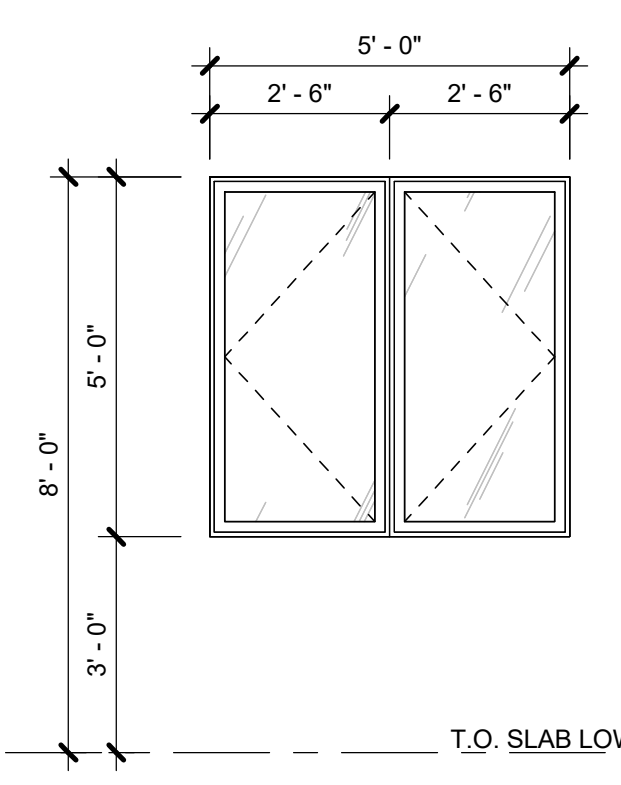
13 WINDOW 104 3/8" = 1'-0"



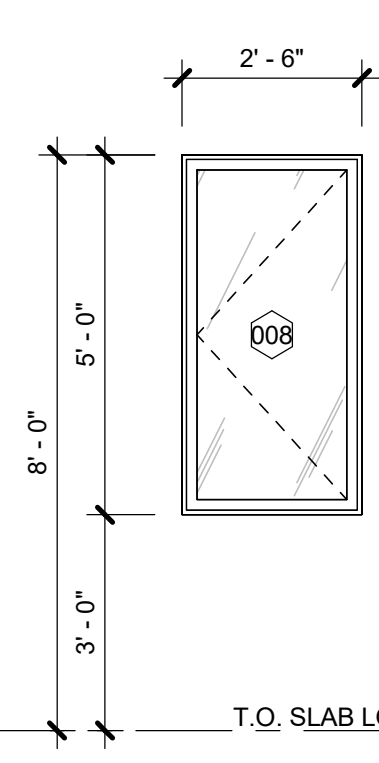
6 WINDOW 103 3/8" = 1'-0"



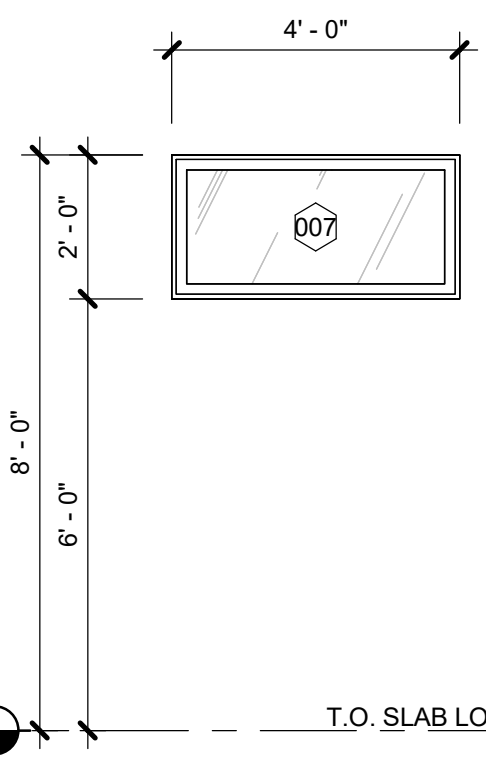
3 WINDOW 102 3/8" = 1'-0"



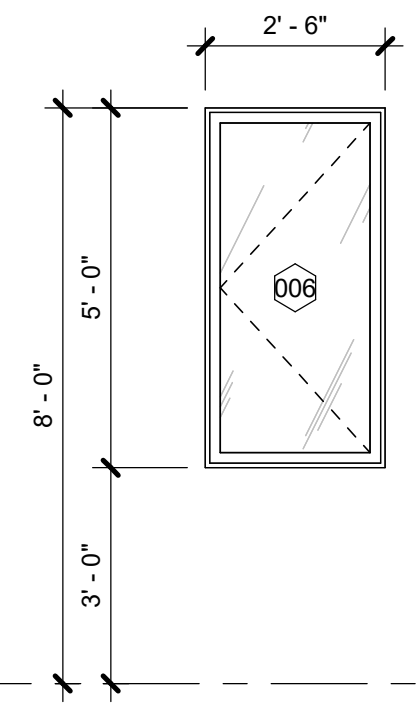
9 WINDOW 009 3/8" = 1'-0"



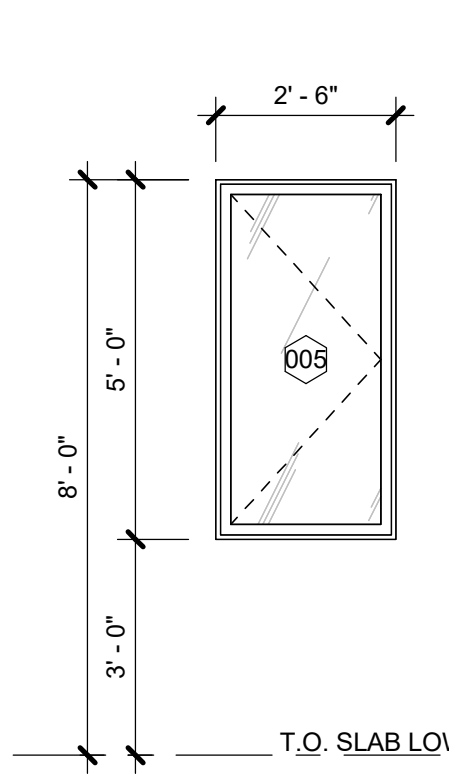
7 WINDOW 008 3/8" = 1'-0"



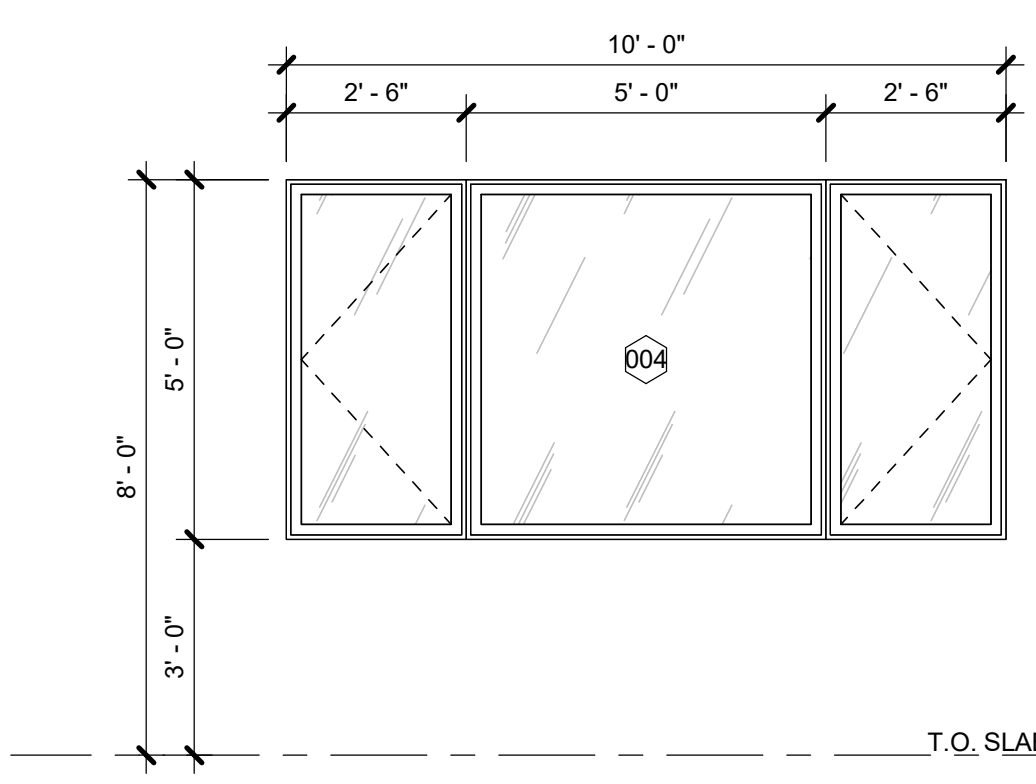
5 WINDOW 007 3/8" = 1'-0"



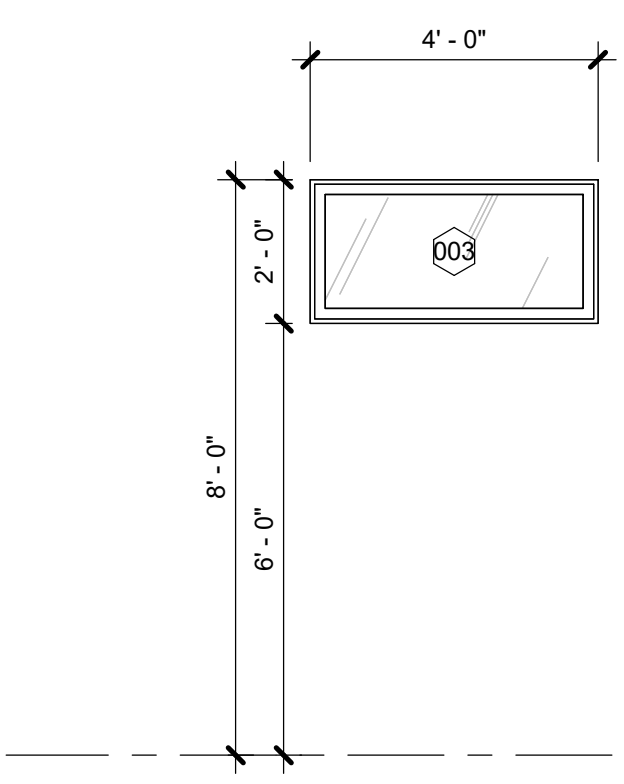
2 WINDOW 006 3/8" = 1'-0"



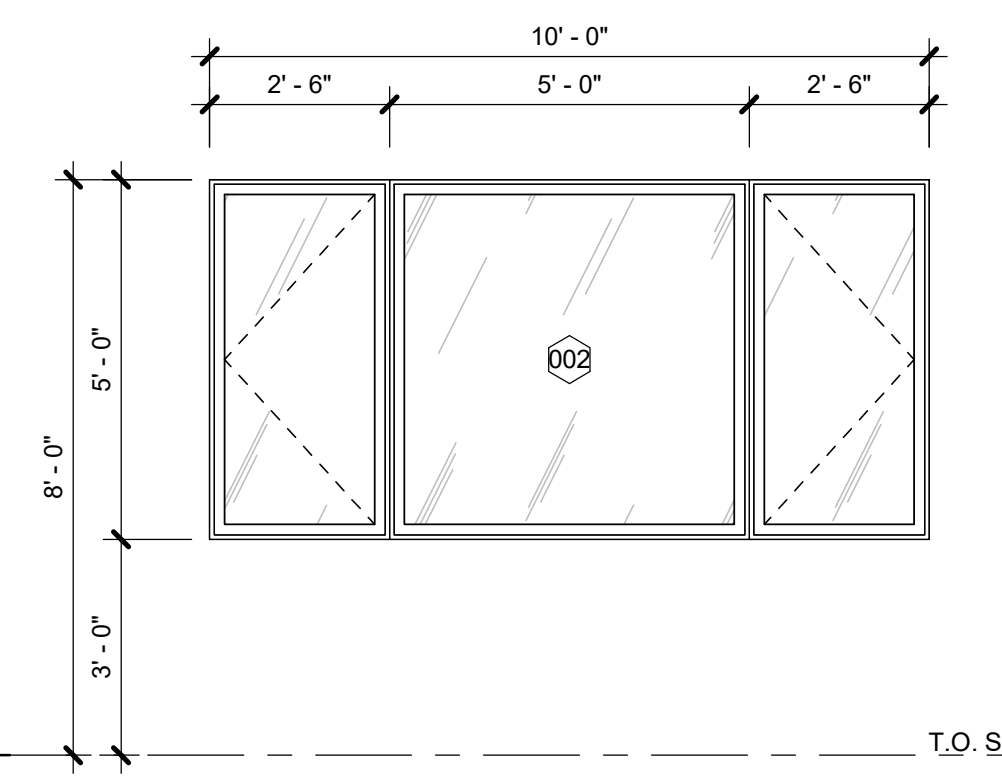
21 WINDOW 005 3/8" = 1'-0"



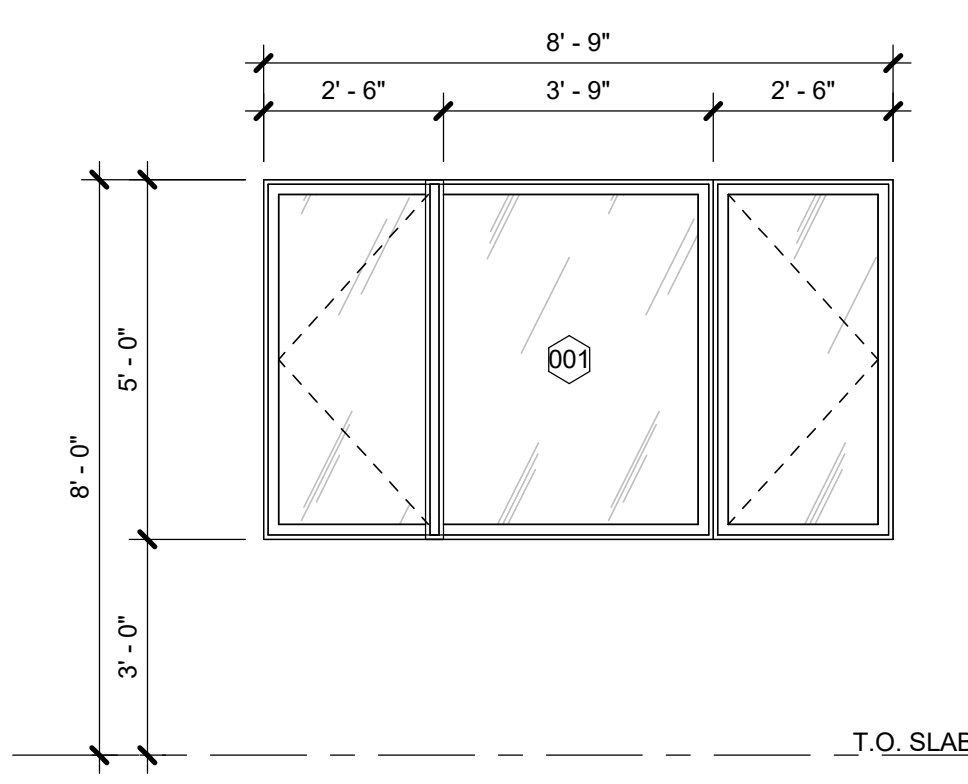
20 WINDOW 004 3/8" = 1'-0"



8 WINDOW 003 3/8" = 1'-0"



4 WINDOW 002 3/8" = 1'-0"



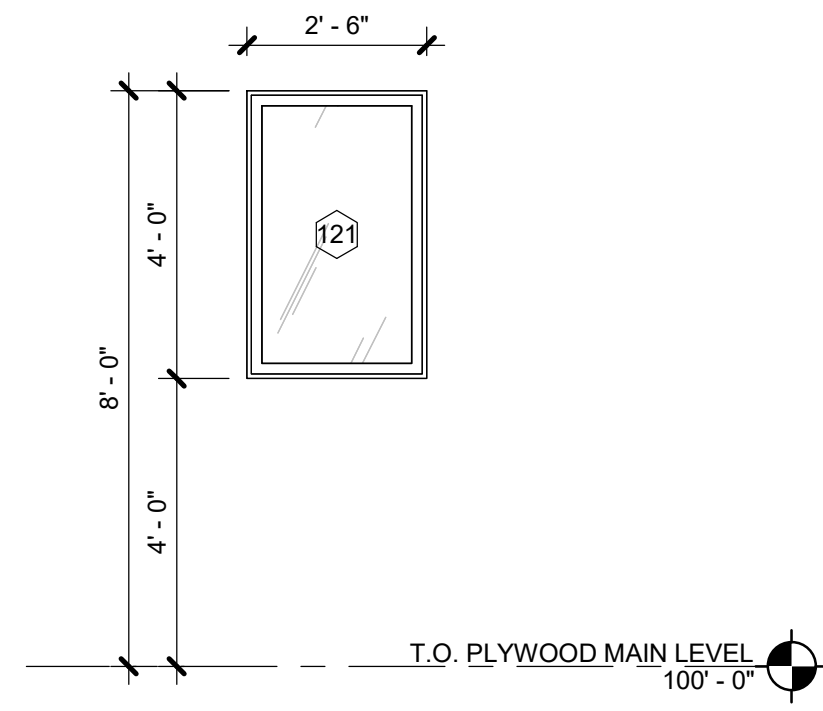
1 WINDOW 001 3/8" = 1'-0"

ISSUE NAME	DATE
2 DRB INITIAL REVIEW	12/18/20
6 DRB FINAL REVIEW	01/28/22
7 PRICING SET	04/15/22

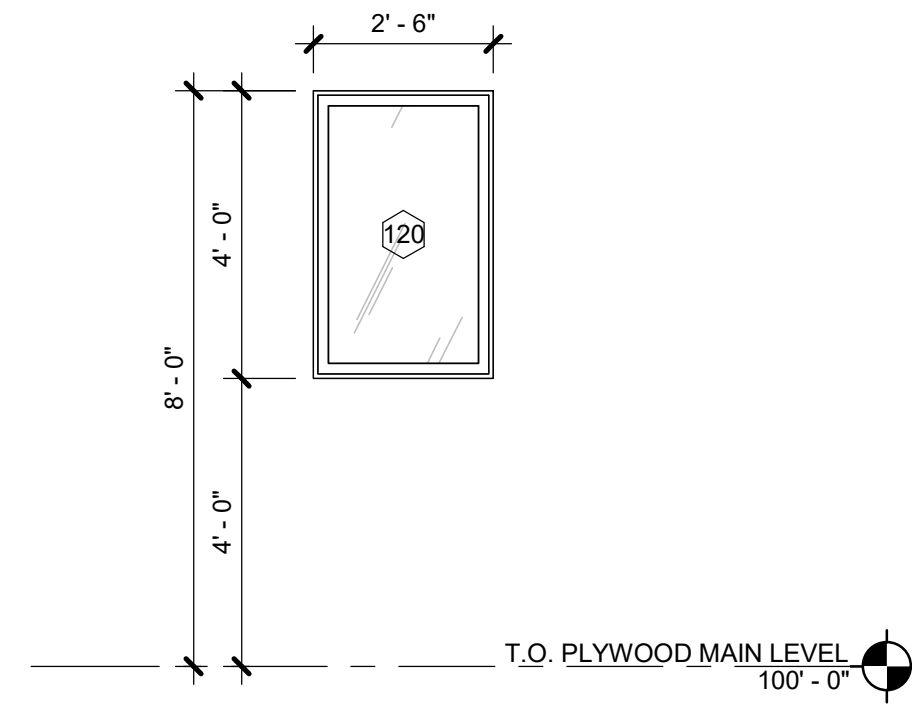
DRAWING TITLE
WINDOW ELEVATIONS

SHEET NO.

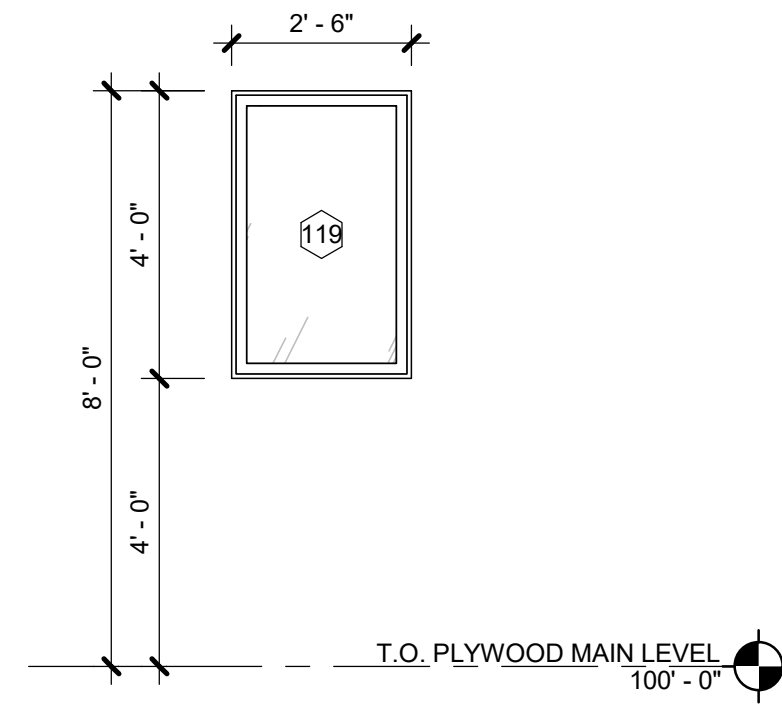
A10.1



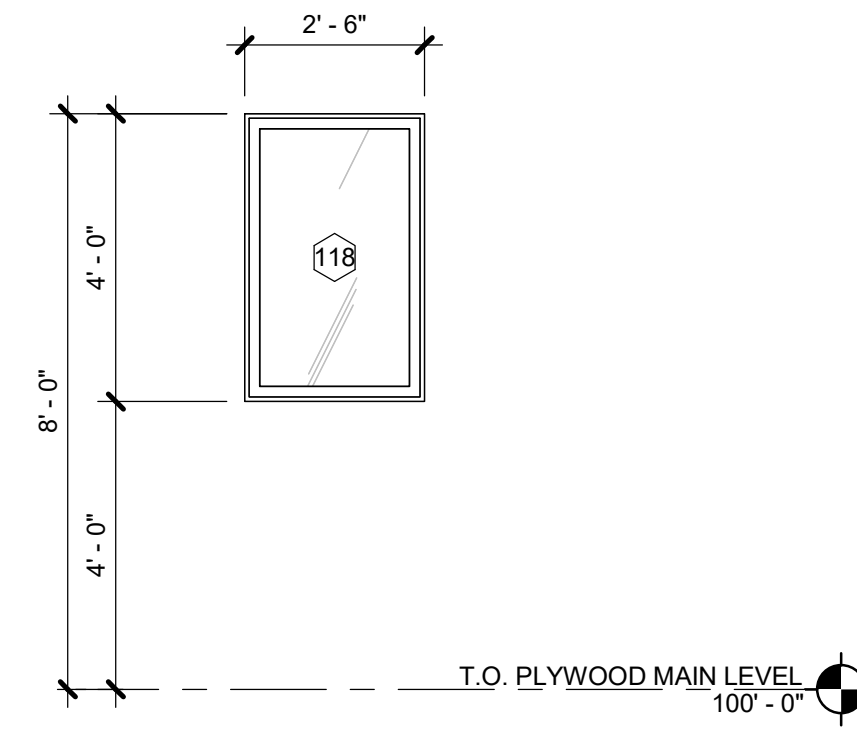
14 WINDOW 121
3/8" = 1'-0"



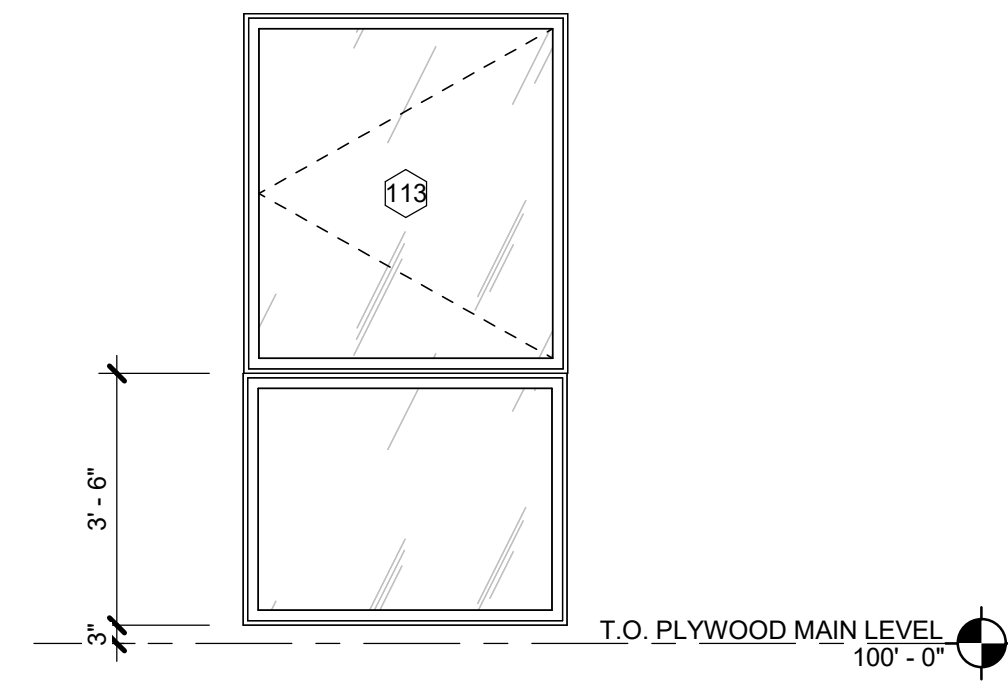
11 WINDOW 120
3/8" = 1'-0"



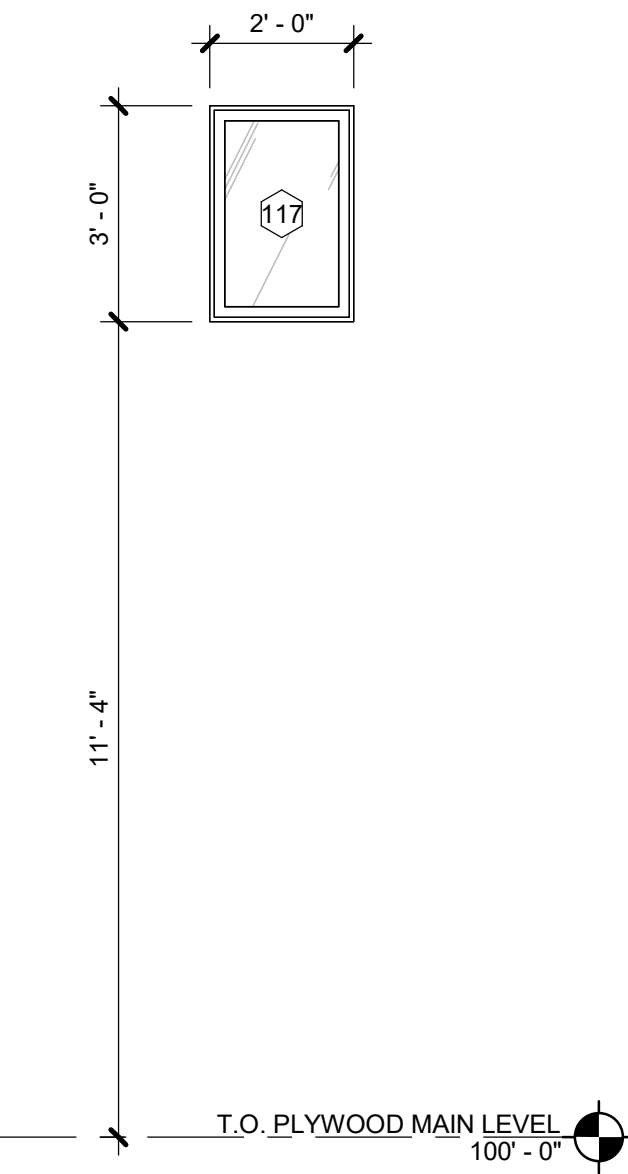
8 WINDOW 119
3/8" = 1'-0"



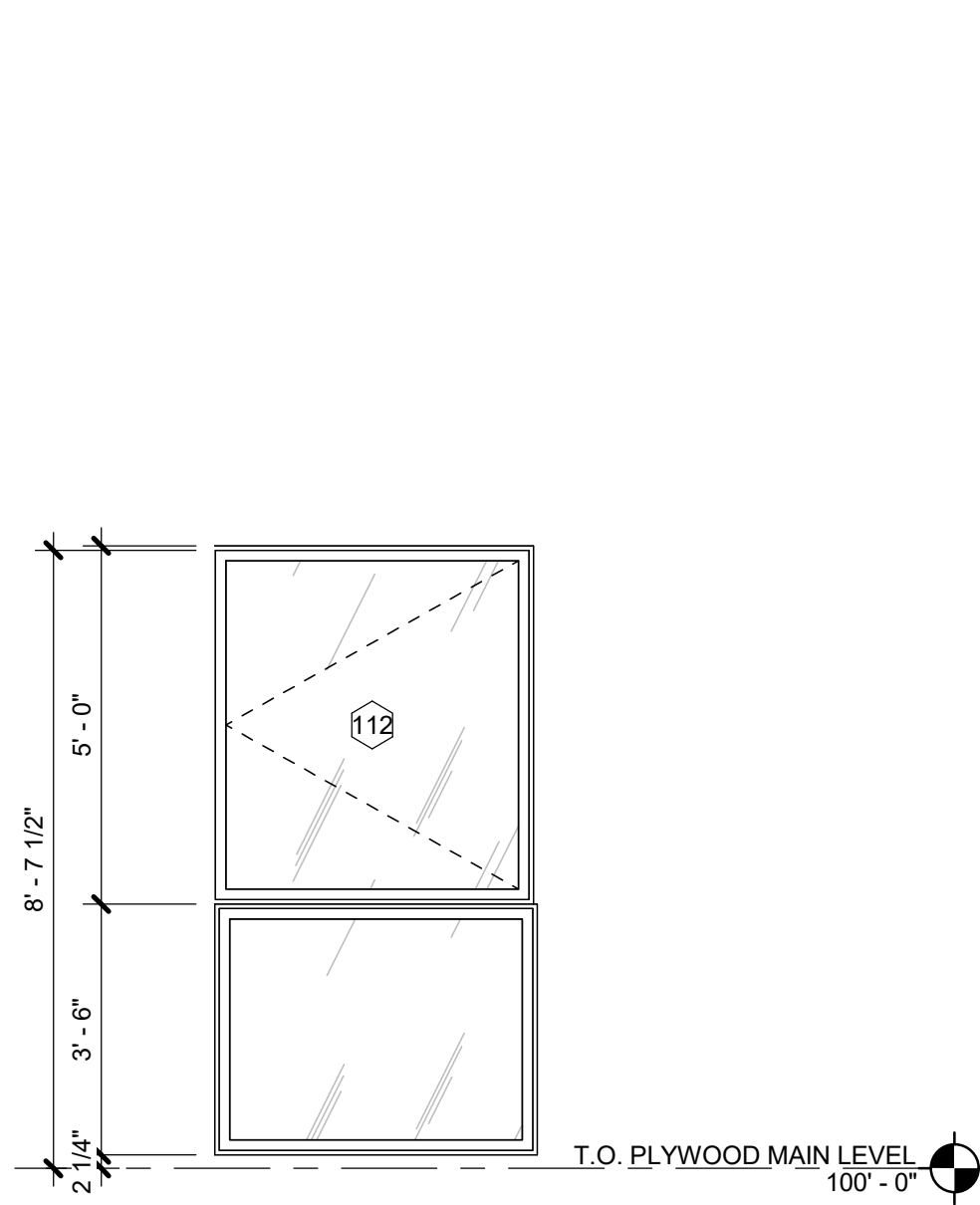
5 WINDOW 118
3/8" = 1'-0"



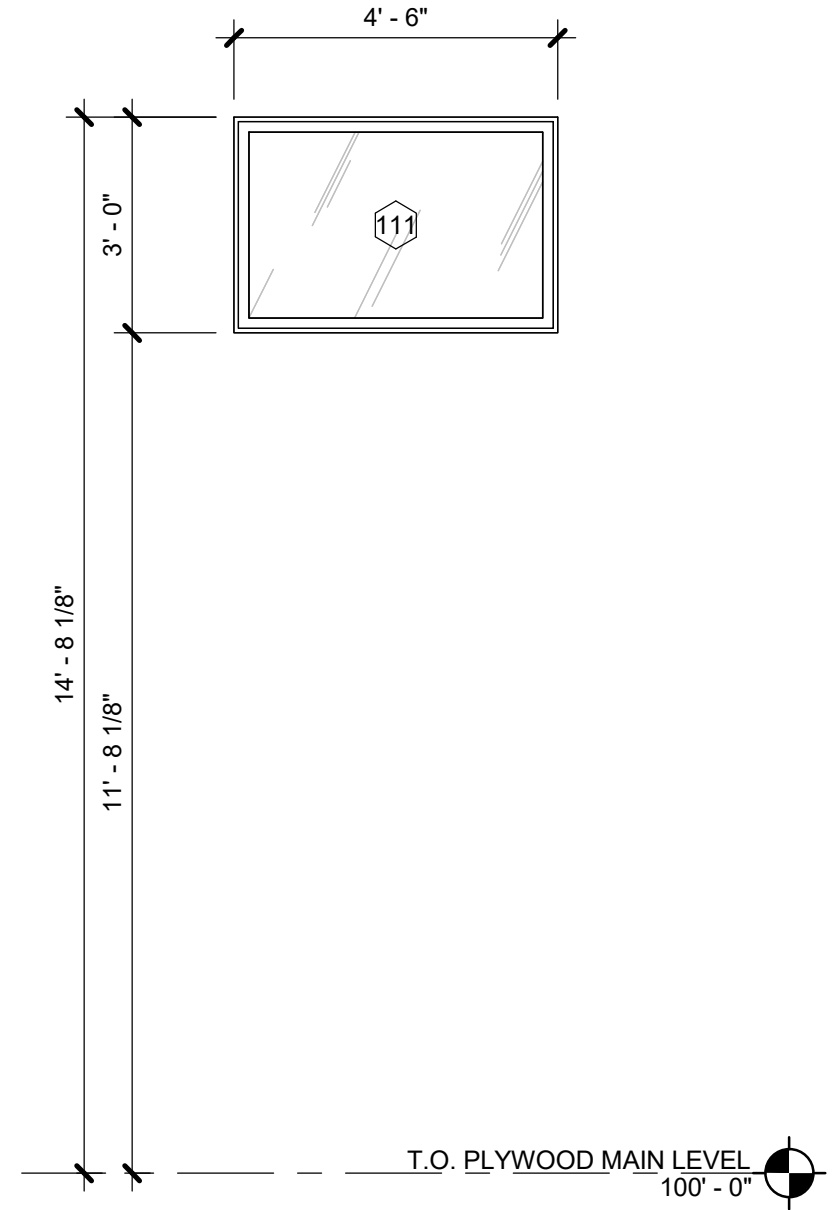
3 WINDOW 113
3/8" = 1'-0"



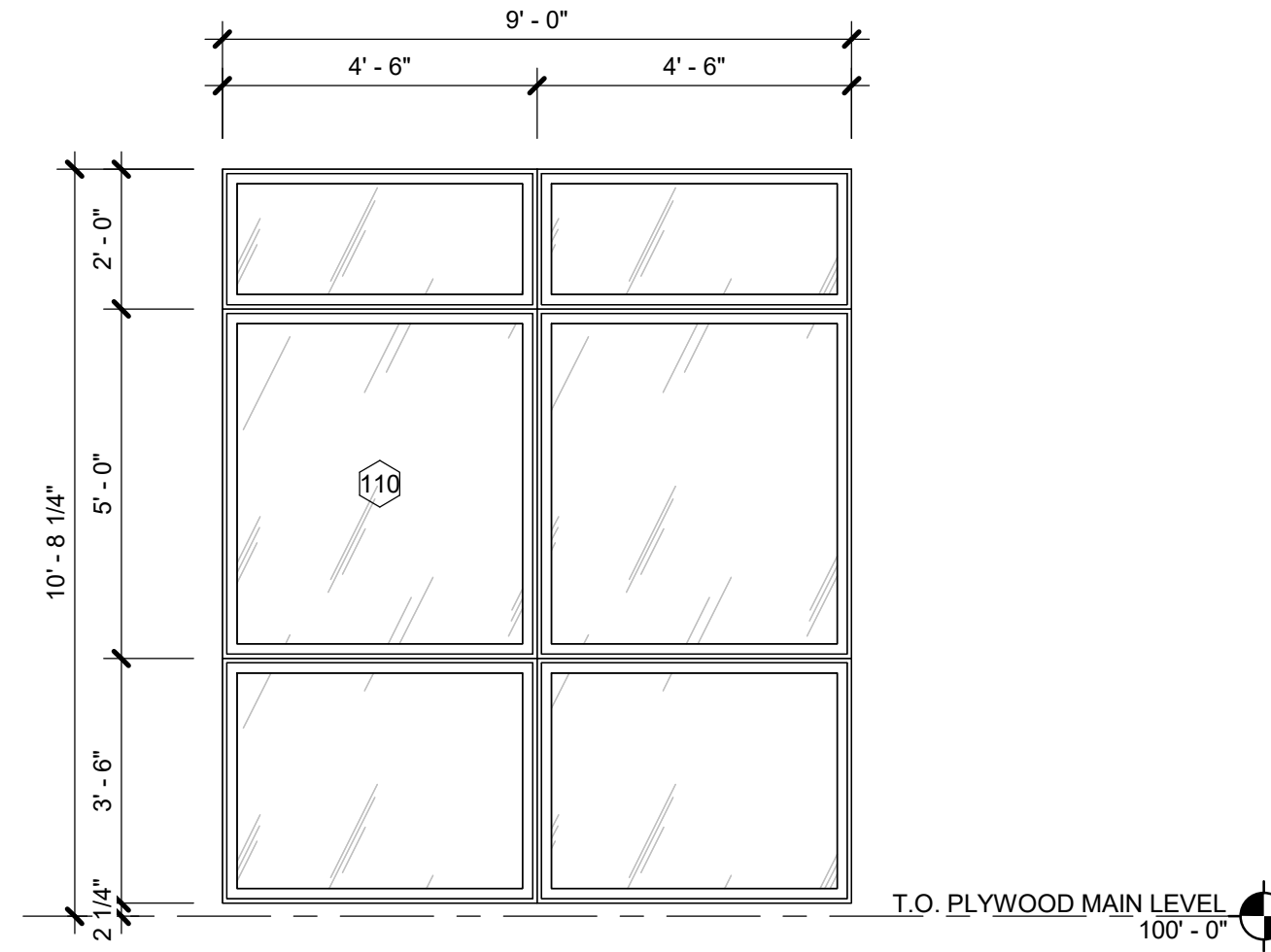
13 WINDOW 117
3/8" = 1'-0"



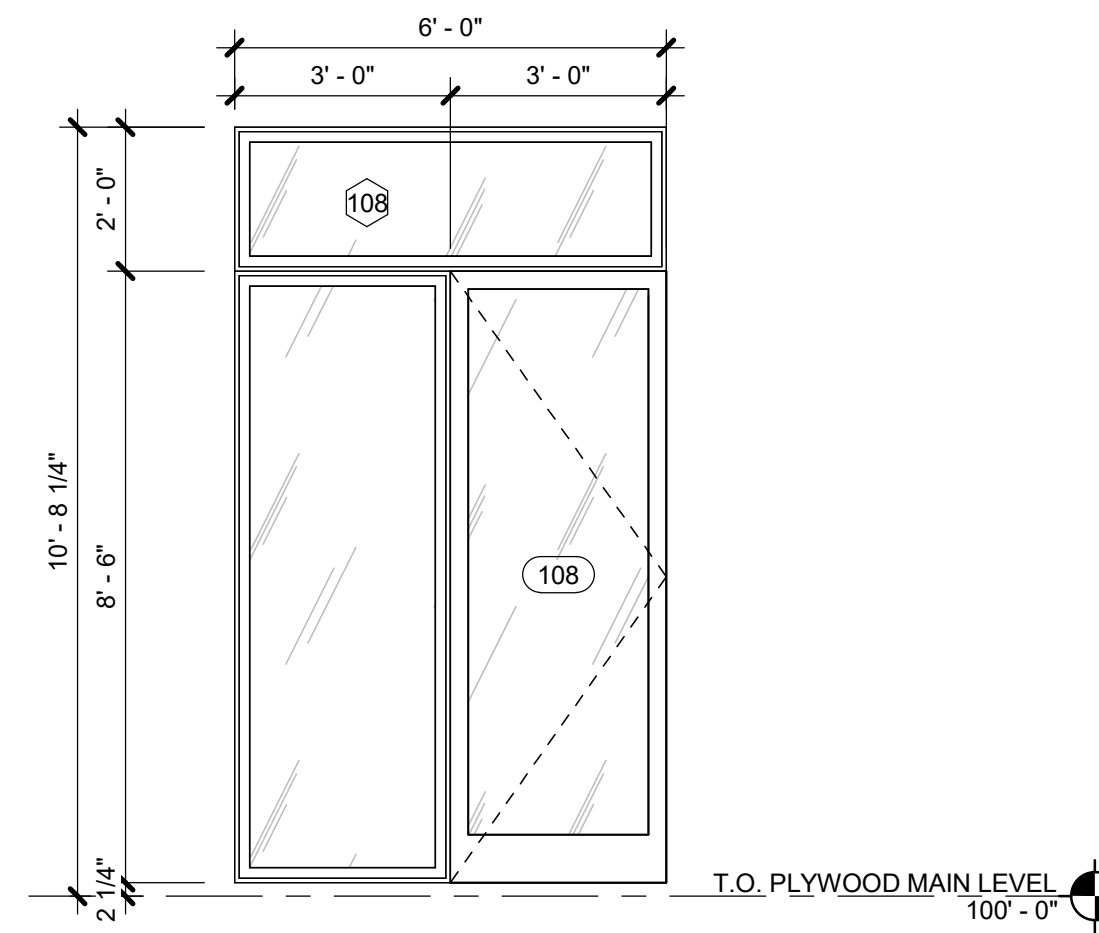
10 WINDOW 112
3/8" = 1'-0"



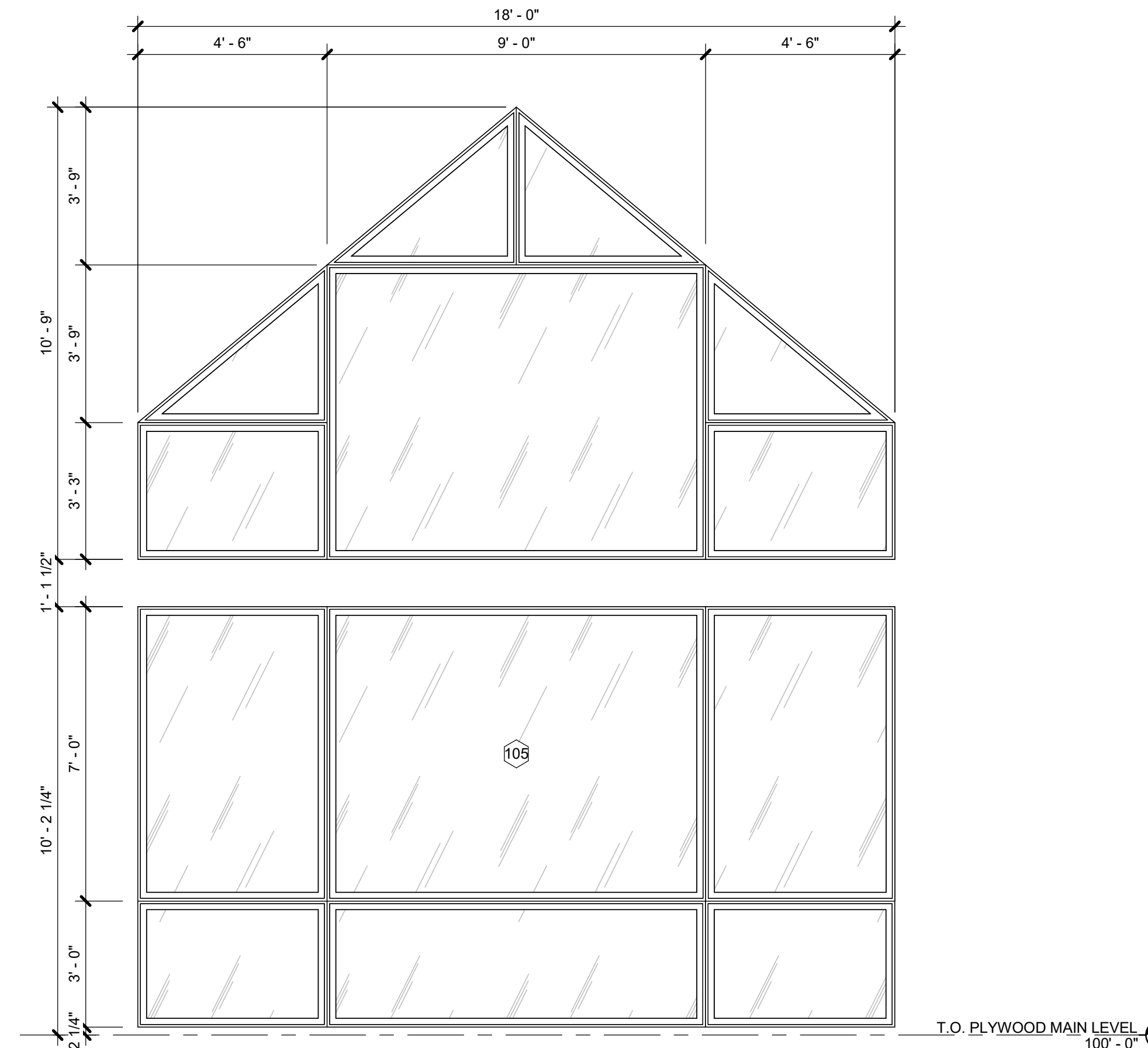
7 WINDOW 111
3/8" = 1'-0"



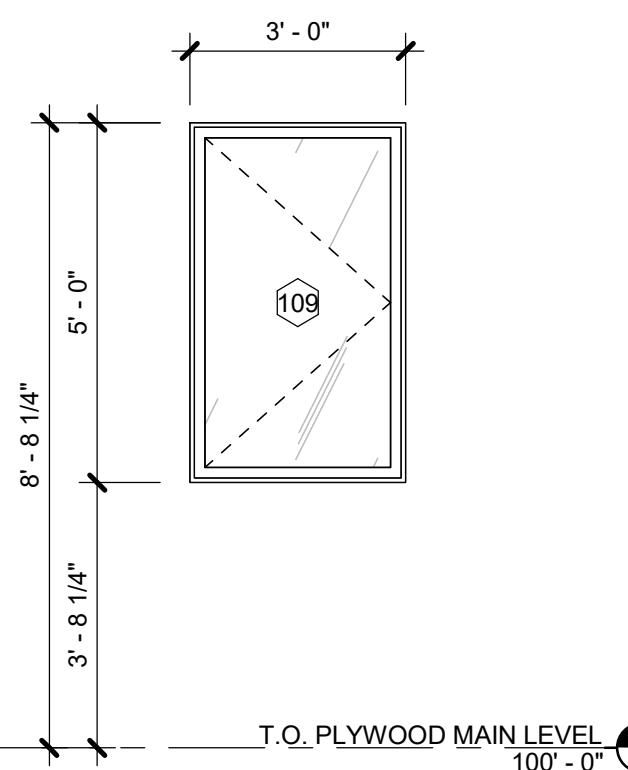
4 WINDOW 110
3/8" = 1'-0"



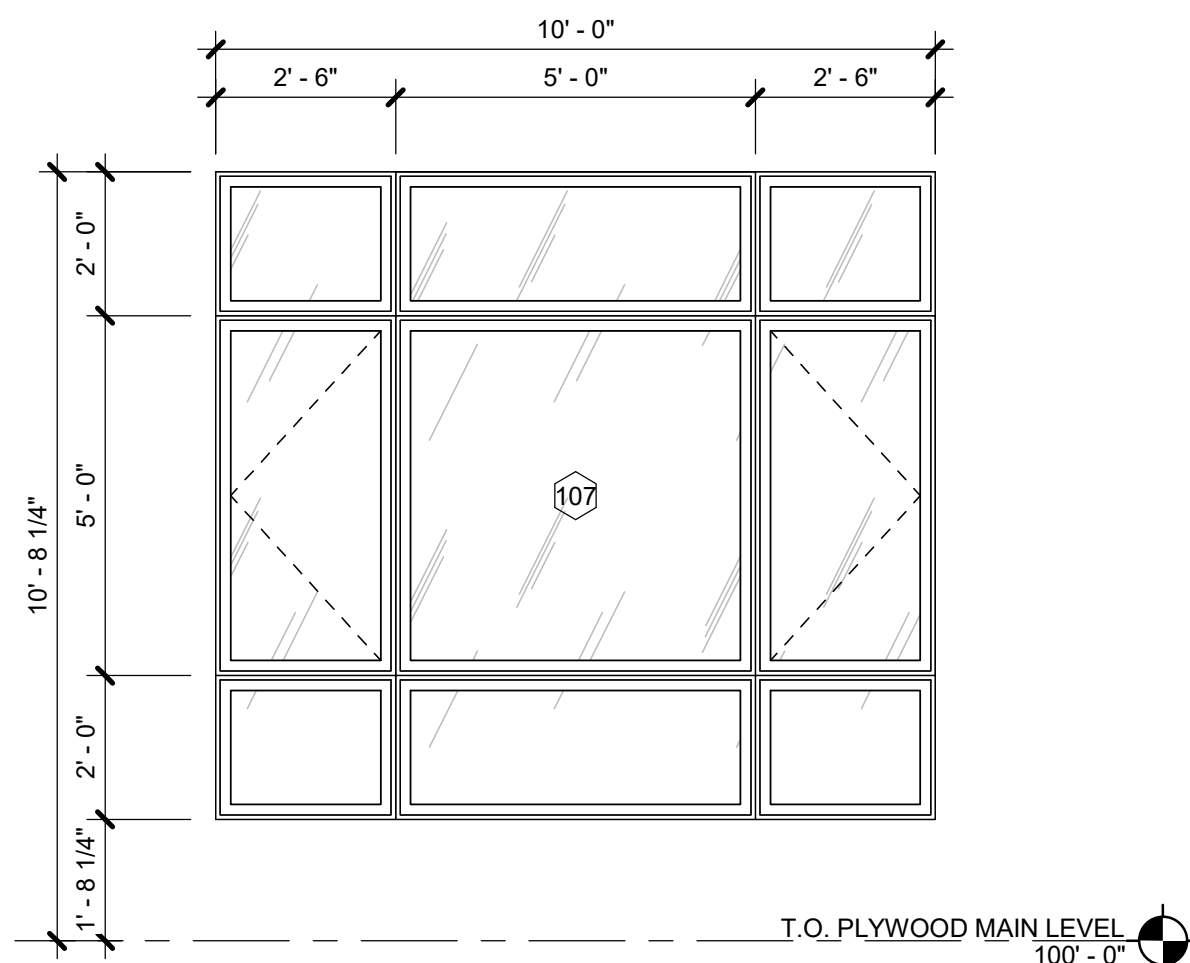
2 WINDOW 108
3/8" = 1'-0"



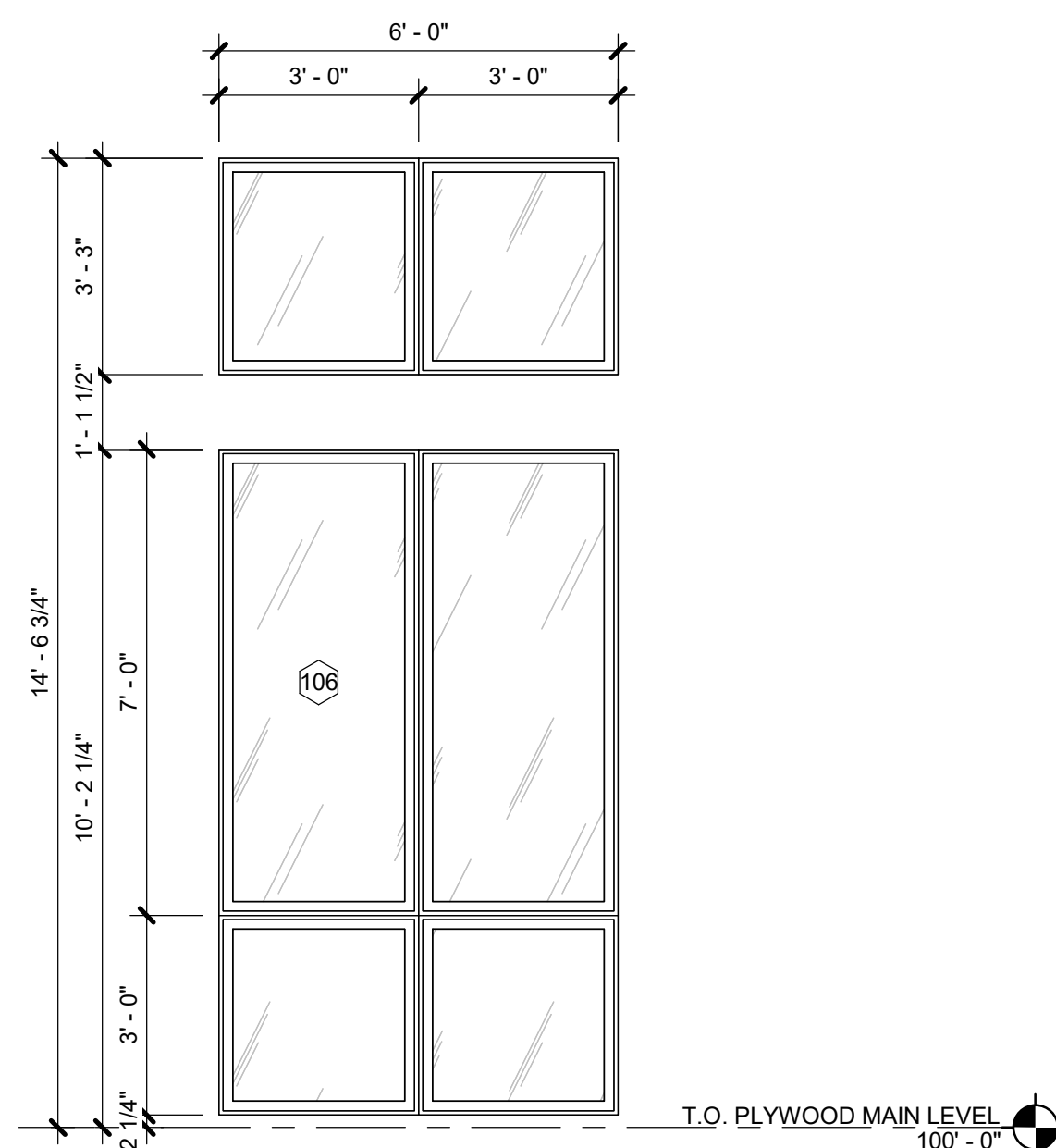
1 WINDOW 105
3/8" = 1'-0"



12 WINDOW 109
3/8" = 1'-0"



9 WINDOW 107
3/8" = 1'-0"



6 WINDOW 106
3/8" = 1'-0"



ARCHITECTURE
PLANNING
LANDSCAPE
INTERIORS

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HARRIS RESIDENCE
6 TUNNEL LN, UNIT 17
MOUNTAIN VILLAGE, CO 81435
2041

ISSUE NAME	DATE
1 DRB INITIAL REVIEW	12/18/20
2 DRB FINAL REVIEW	01/28/22
3 PRICING SET	04/15/22

DRAWING TITLE
WINDOW ELEVATIONS

SHEET NO.

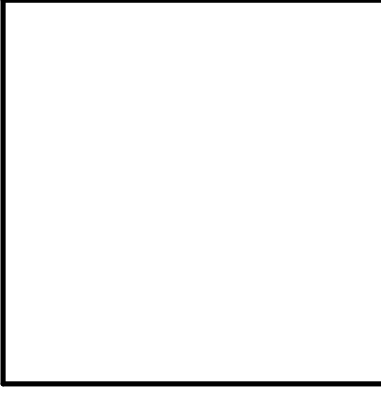
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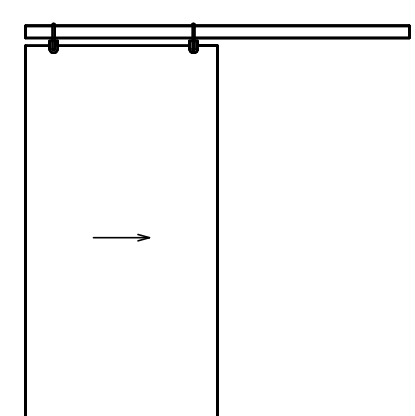
ARCHITECTURE
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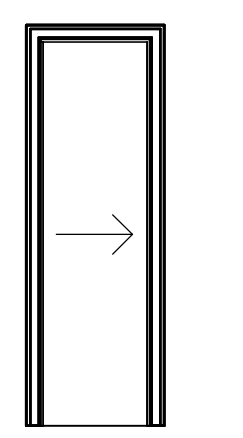


HARRIS RESIDENCE
6 TUNNEL LN, UNIT 17
MOUNTAIN VILLAGE, CO 81435
2041

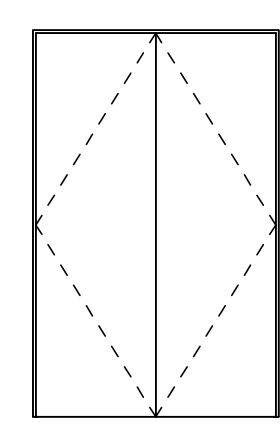
DOOR SCHEDULE							
MARK	NOMINAL WIDTH	NOMINAL HEIGHT	DETAILS			TYPE	REMARKS
			HEAD	JAMB	THRESHOLD		
	2' - 6"	7' - 9 3/4"				4	
001	12' - 0"	8' - 0"				A	
002	3' - 0"	8' - 0"				G	
003	2' - 6"	8' - 0"				H	
004	2' - 2"	8' - 0"				K	POCKET DOOR
005	2' - 6"	8' - 0"				H	
006	5' - 0"	8' - 0"				J	
007	3' - 0"	8' - 0"				G	
008	2' - 6"	8' - 0"				H	
009	2' - 6"	8' - 0"				H	
010	2' - 6"	8' - 0"				H	
011	3' - 0"	8' - 0"				G	
012	2' - 6"	8' - 0"				H	
013	2' - 6"	8' - 0"				H	
014	3' - 0"	8' - 0"				G	
015	3' - 0"	8' - 0"				G	
016	5' - 0"	8' - 0"				L	
017	3' - 0"	8' - 0"				K	
018	2' - 6"	8' - 0"				H	
019	2' - 6"	8' - 0"				H	
020	2' - 6"	8' - 0"				I	
022	2' - 6"	8' - 0"				H	
101	4' - 6"	10' - 0"				C	
102	2' - 6"	8' - 0"				H	
103	3' - 0"	8' - 0"				B	
104	14' - 0"	10' - 0"				D	FOLDING GLASS DOOR
105	15' - 0"	10' - 0"				D	FOLDING GLASS DOOR
106	3' - 0"	8' - 0"				B	
107	3' - 0"	8' - 0"				G	
108	3' - 0"	8' - 6"				B	INTERIOR SINGLE FLUSH NO TRIM
109	2' - 2"	8' - 0"				K	POCKET DOOR
110	4' - 0"	8' - 0"				F	
113	16' - 0"	8' - 0"				E	OVERHEAD GARAGE DOOR
114	3' - 0"	8' - 0"				G	
115	2' - 6"	8' - 0"				H	
116	6' - 0"	8' - 0"				L	SINGLE BARN DOOR
118	2' - 6"	8' - 0"				H	
120	3' - 0"	8' - 0"				G	
122	3' - 0"	8' - 0"				G	
123	2' - 6"	8' - 0"				H	



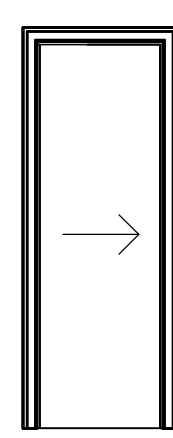
TYPE L - SINGLE BARN DOOR



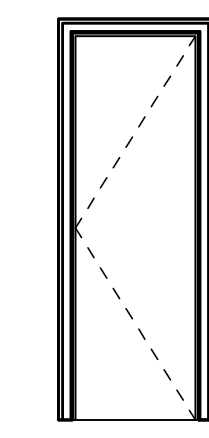
TYPE K - SLIDING POCKET DOOR



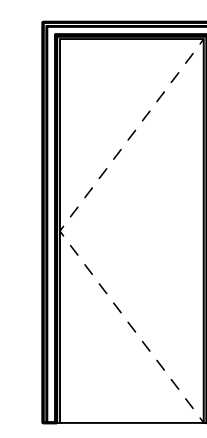
TYPE J - DOUBLE FLUSH INTERIOR DOOR NO TRIM



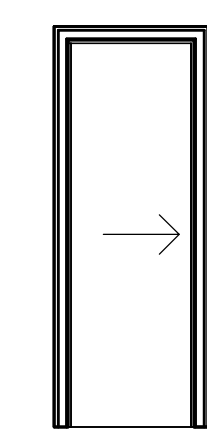
TYPE I



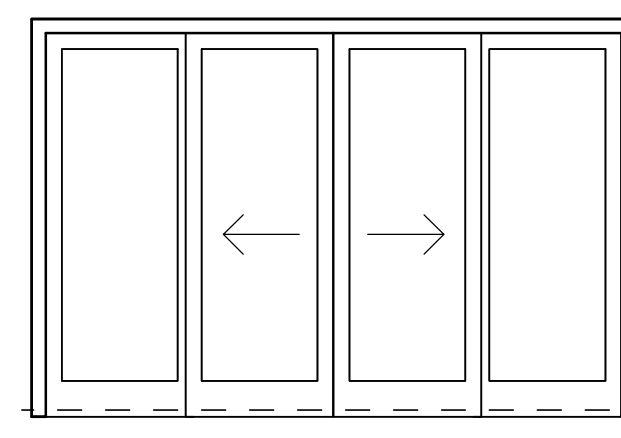
TYPE H



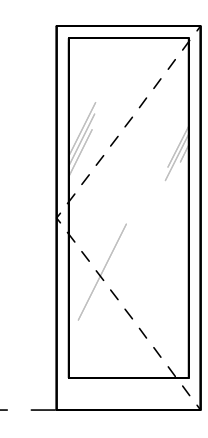
TYPE G -



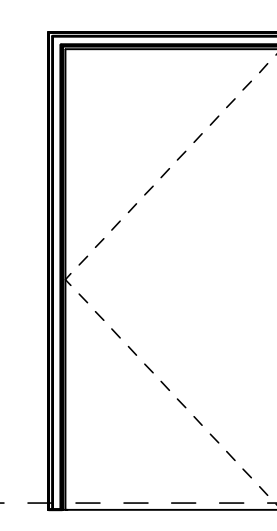
TYPE F - SLIDING DOOR



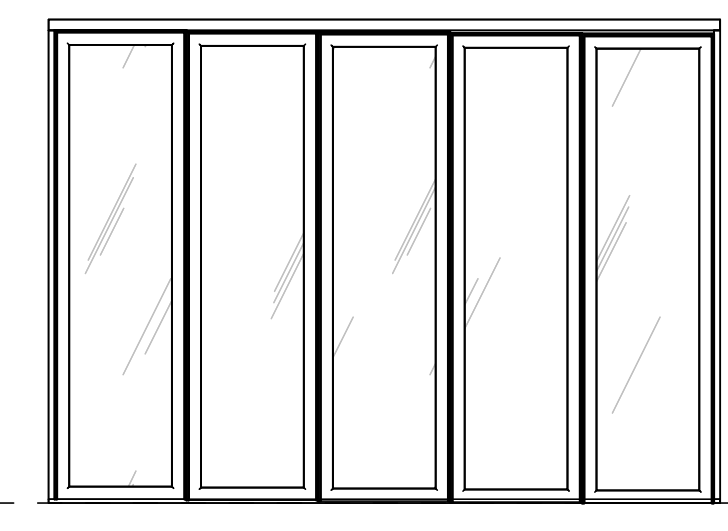
TYPE E - SLIDING DOOR



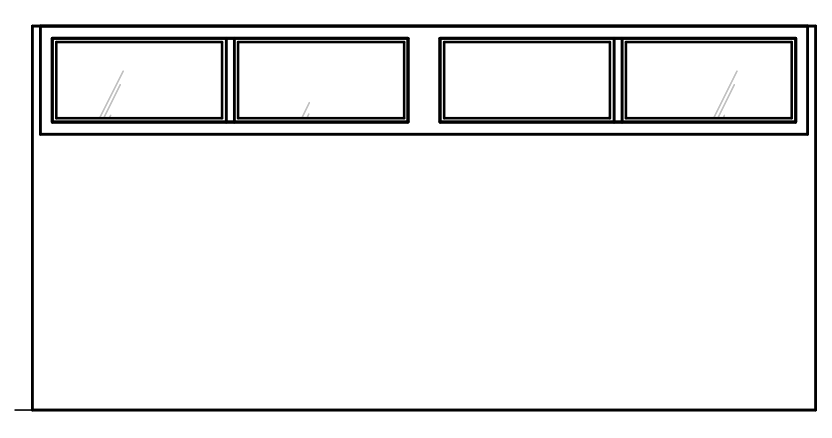
TYPE D - GLASS DOOR



TYPE C - CUSTOM ENTRY DOOR



TYPE B - FOLDING GLASS DOOR



TYPE A - CUSTOM OVERHEAD DOOR

NOTE:
-Provide Tempered glazing as required per the I.R.C.
-Windows to have maximum U-factor of .35
-Windows and sliding glass doors shall have an air infiltration rate of no more than .3 CFM per square foot and swinging doors no more than .5 CFM per square foot.

ISSUE NAME	DATE
DRB INITIAL REVIEW	12/18/20
DRB FINAL REVIEW	01/28/22
PRICING SET	04/15/22

DRAWING TITLE
DOOR SCHEDULE

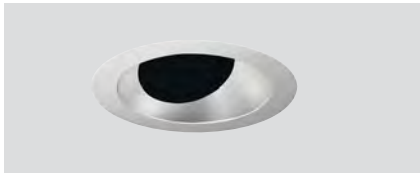
SHEET NO.

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TRIM STYLES



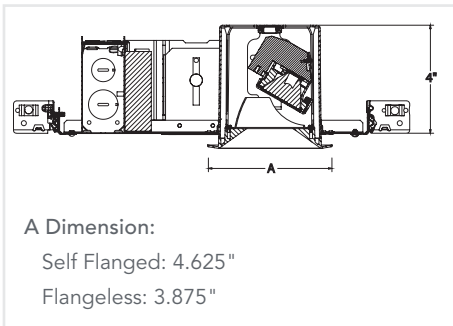
Angle Cut Reflector



Bevel



Pinhole



FEATURES

AFFORDABLE & ELEGANT PRECISION RECESSED

- Complete family of recessed downlight, adjustable, and wall wash luminaires
- Available with reflector, bevel and pinhole trims
- Coordinated apertures with Aculux AX3 family

TOOLLESS AIMING & FIELD INTERCHANGEABLE OPTICS

- 359° horizontal, 35° vertical aiming
- Total Internal Reflection (TIR) Optics in four (4) beam spreads
- Accepts two (2) additional lenses, filters, or other optical accessories

EXCELLENT PERFORMANCE

- Up to 1500 lumens delivered!
- Exceptionally consistent color with < 2SDCM
- Excellent color rendition with 80+ CRI | 90+ CRI Available
- WarmDim® option mimics halogen dimming (3000K - 1800K)



PERFORMANCE

Static White*

LUMEN PACKAGE	WATTS IN	DELIVERED LUMENS	EFFICACY (LPW)
04LM	5	487	97
08LM	8	845	106
12LM	12	1281	107
15LM	16	1588	99

WarmDim®

LUMEN PACKAGE	WATTS IN	DELIVERED LUMENS	EFFICACY (LPW)
08LM	12	820	68

*Performance with NT3AC at 3000K | 80CRI
Actual performance may differ as a result of end-user environment and application.
All values are design or typical values, measured under laboratory conditions at 25°C

FLANGE STYLES



Flanged






Flangeless (Gypsum)



ORDERING INFORMATION

EXAMPLE: INIT3 A 12LM 30K 90CRI 25D EZ1 MVOLT NT3ABV BD WHSF

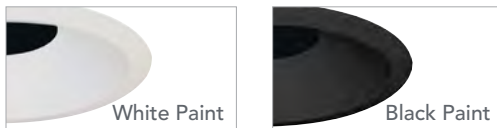
Housing Style	Lumens	CCT	CRI	Beam	Driver	Voltage ⁵	Ratings	Options
INIT3 A New Construction Adjustable	Static White 04LM ¹ 400 lumens	27K 2700K	80CRI	18D 18° beam	FPC Phase cut dim (1% min)	120	(blank) Non-IC Rated	NLIGHT ⁷ nLight Dimming
	08LM 800 lumens	30K 3000K	90CRI ³	25D 25° beam	EZ1 eldoLED 0-10V dim (linear 1% min)	277 MVOLT (120-277)	CP ⁶ Chicago Plenum	E5WCPR ⁸ Emergency 5W battery pack with remote test switch, T20 compliant
INIT3 AR Remodel Adjustable	12LM 1200 lumens	35K 3500K		35D 35° beam	ECOS2 ⁴ Lutron 2-wire (1% min)		ICAT ⁶ IC Rated, Air-tight	
	15LM ² 1500 lumens	40K 4000K		50D 50° beam	ECOD Lutron EcoSystem (1% min)			
	WarmDim® 08LM 800 Lumens	WDIM HALR 3000K - 1800K	90CRI	25D 25° beam 35D 35° beam 50D 50° beam				

Adjustable Trim	Reflector Finish	Flange Style	Trim Lens Environment	Ceiling Installation
Reflector NT3AC  Angle Cut Reflector (0-35°)	W White Paint CD Clear Diffuse CS Clear Specular BS Black Specular WTD Wheat Diffuse	Flanged SF Self Flanged (same finish as reflector) WHSF Self Flanged, White Painted Flange (not available with W finish) Flangeless⁹ FM Flangeless	(blank) Open Damp Location WSOL Solite Wet Location	Flanged (blank) Ceiling 0.5" - 1.5" Flangeless (Gypsum) NT3FMA Ceiling 0.5" - 1.5"
Bevel NT3ABV BD  Bevel Adjustable (0-35°)	Finish & Flange Style Flanged WHSF White, Flanged BLSF Black, Flanged Flangeless⁹ WHFM White, Flangeless BLFM Black, Flangeless		(blank) Open Damp Location WSOL Solite Wet Location	Flanged (blank) Ceiling 0.5" - 1.5" Flangeless (Gypsum) NT3FMA Ceiling 0.5" - 1.5"
Pinhole NT3APIN BD  1 3/4" Pinhole Adj (0-35°)				

REFLECTOR FINISHES

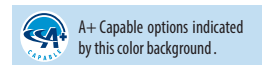


BEVEL & PINHOLE FINISHES



ORDERING NOTES

- 04LM available with FPC driver only.
- 15LM not available with AR or ICAT.
- 90CRI not available on 40K CCT.
- ECOS2 not available with WDIM.
- MVOLT standard on EZ1, ECOD unless NLIGHT specified. Must be 120 for ECOS2, FPC.
- CP & ICAT available on new construction only.
- NLIGHT available on Non-IC with EZ1 only. Must specify 120 or 277 volts.
- E5WCPR not available with remodel, ICAT, or CP.
- For flangeless trims, must specify flangeless installation (NT3FMA).





ACCESSORIES

Beam Control Lenses & Filters		Replacement Optics		Optional Installation Accessories	
Beam Control Lenses		UV Filter & Color Correction		Static White Optics	
DIFF 200	Diffuse Spread Lens	UVF 200	UV Filter Lens	NT3OPT/18D	18° beam
SOLITE 200	Solite Uniformity Lens	DCCF 200 HAL4250	Daylight Blue Correction	NT3OPT/25D	25° beam
PRISM 200	Prismatic Lens			NT3OPT/35D	35° beam
LSPREAD 200	Linear Spread Lens			NT3OPT/50D	50° beam
HCLBL 200	Hexcell Louver				
				WarmDim® Optics	
				NT3WDOPT/25D	25° beam
				NT3WDOPT/35D	35° beam
				NT3WDOPT/50D	50° beam
				Bar Hangers	
				HB26	26" C-Channel Bar Hangers
				HB50	50" C-Channel Bar Hangers
				LB27	27" Linear Bar Hangers
				<i>Note: Fixture supplied with residential style bar hangers (except when specified with battery)</i>	

PRODUCT SPECIFICATIONS

FIELD INTERCHANGEABLE LED LIGHT ENGINE

- <2SDCM Binning
- 2700K | 3000K | 3500K | 4000K CCT
- 80+ CRI available for all CCTs
- 90+ CRI available for 2700K, 3000K, 3500K
- WarmDim® option mimics halogen dimming (3000K - 1800K)
- Future proof and easy to maintain - serviceable from below the ceiling

OPTICAL SYSTEM

- 45° visual cutoff to source and source image
- Field interchangeable TIR optics from 18° FWHM to 50° FWHM provide smooth, striation-free beams
- Accommodates 2 beam control lenses or filters

TOOL-FREE AIMING

- 359° horizontal, 35° vertical aiming
- Numeric indicator marks allow contractor to pre-aim fixtures

HIGH QUALITY TRIMS

- Available with die cast bevels, pinholes, and angle cut reflectors
- Flanged and flangeless for gypsum
- Must specify NT3FMA for gypsum flangeless installation

FIELD REPLACEABLE DRIVER

- Accommodates 120-277V input and multiple control protocols
- Dims without perceived flicker to <1% depending on driver specified
- Field replaceable from below the ceiling
- >0.9 Power Factor

BUY AMERICAN

- This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT.
- Please refer to www.acuitybrands.com/resources/buy-american for additional information.

WARRANTY & RATED LIFE

- LED is rated for >50,000 hours at 70% lumen maintenance
- 5- year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

EMERGENCY BATTERY

- Provides a minimum of 400 lumens (3000K, 80CRI) for minimum duration of 90 minutes.
- Above ceiling access required.
- Supplied with remote test switch
- CEC T20 Compliant

CEILING THICKNESS

- Accommodates 1/2" to 1 1/2" ceiling thickness

INSTALLATION

- New construction or remodel (install from below) are available.
- Residential style bar hanger provided with all new construction housings except when specified with emergency battery.
- Vertically adjustable mounting brackets (butterfly brackets) are provided on non-ICAT new construction housings.

JUNCTION BOX

- New construction housings are rated for (4) No. 12 AWG 90°C through branch circuit conductors (excludes ECOS2 & ECOD drivers)
- New Construction housings include (6) 1/2", (1) 3/4", (4) Non-metallic sheathed cable knock-outs.
- Remodel housings feature (8) 1/2" knockouts suitable for daisy chain wiring.
- Push-in electrical connectors for field connections.

CODES & LABELS

- UL & cUL listed for through branch wiring (excludes ECOS2 & ECOD), damp location. Listed for wet location with WSOL option.
- ICAT meets energy code air leakage requirements per ASTM E283
- ENERGY STAR® certified with NT3AC and NT3ABV trims for static white and NT3AC trims (excluding BS finish) for warmdim.
- Title 24, Part 6: JA-8 Compliant with 90CRI and ICAT. Refer to CEC T24 website for compliant trims
- ICAT housings are rated for direct contact with insulation
- Low Density open-cell Spray Foam Insulation Compatible: 04LM|08LM|12LM (ICAT option) are compatible with foam insulation with an R-Value of 4.3 per inch or less (excludes ECOS2, ECOD, & WDIM)
- Medium Density closed-cell Spray Foam Insulation Compatible: 04LM|08LM (ICAT option) are compatible with foam insulation with an R-Value of 6.8 per inch or less (excludes ECOS2, ECOD, & WDIM)
- Union made

A+ CAPABLE LUMINAIRE

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is part of an A+ Certified solution for nLight® control networks when ordered with drivers marked by a shaded background on ordering information*

To learn more about A+, visit www.acuitybrands.com/aplus.



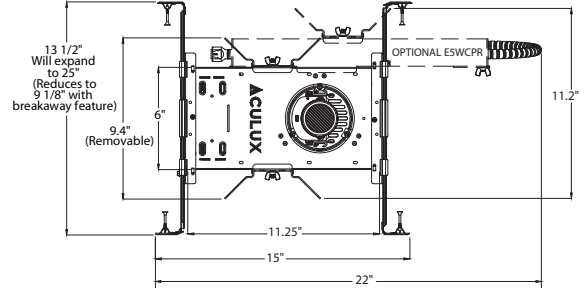
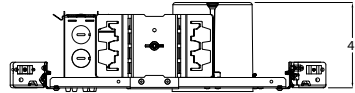
DIMENSIONS

NEW CONSTRUCTION

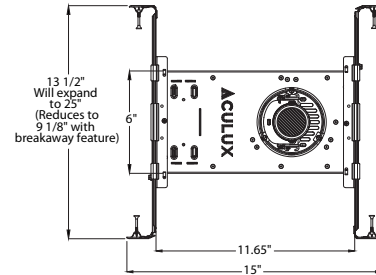
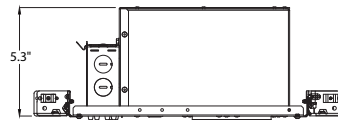
Ceiling Cutout: 4" Dia. (Refer to installation instructions for flangeless ceiling cutout)
Ceiling Thickness Range: 1/2" – 1 1/2" (see ordering matrix)



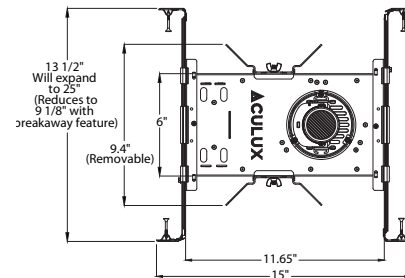
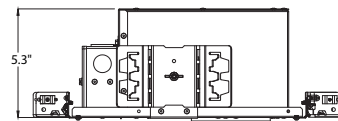
Non-ICAT



ICAT

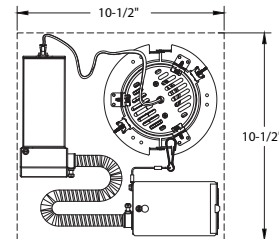
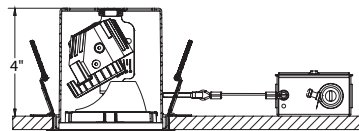


CP



REMODEL (install from below)

Ceiling Cutout: 4.25" Dia. (Refer to installation instructions for flangeless ceiling cutout)
Ceiling Thickness Range: 1/2" – 1 1/2" (see ordering matrix)



ELECTRICAL SPECIFICATIONS

LUMEN PACKAGE	Static White						WarmDim®			
	04LM		08LM		12LM		15LM		08LM	
Voltage	120	277	120	277	120	277	120	277	120	277
Input Watts	4.6	4.8	7.7	7.8	11.9	12.3	16.1	16.4	12.1	13.2
Input Current	0.04	0.02	0.06	0.03	0.1	0.05	0.13	0.06	0.10	0.06
Frequency	50/60HZ		50/60HZ		50/60HZ		50/60HZ		50/60HZ	
Power Factor	.9 MIN.		.9 MIN.		.9 MIN.		.9 MIN.		.9 MIN.	



PHOTOMETRICS

Tested in accordance to IESNA LM79

18 Degree Beam	25 Degree Beam	35 Degree Beam	50 Degree Beam																																																																																								
<p>INIT3 A 12LM 30K 80CRI 18D E21 MVOLT NT3AC CD</p> <p>3000K LEDs, input watts: 11.9, delivered lumens: 1221, LPW: 102.6, test no.: 19-950-01</p> <p>CP Summary</p> <table border="1"> <tr><td>0°</td><td>0</td></tr> <tr><td>5°</td><td>489</td></tr> <tr><td>15°</td><td>773</td></tr> <tr><td>25°</td><td>1,885</td></tr> <tr><td>35°</td><td>5,716</td></tr> <tr><td>45°</td><td>9,939</td></tr> <tr><td>55°</td><td>33</td></tr> <tr><td>65°</td><td>1</td></tr> <tr><td>75°</td><td>0</td></tr> <tr><td>85°</td><td>0</td></tr> <tr><td>90°</td><td>0</td></tr> </table>	0°	0	5°	489	15°	773	25°	1,885	35°	5,716	45°	9,939	55°	33	65°	1	75°	0	85°	0	90°	0	<p>INIT3 A 12LM 30K 80CRI 25D E21 MVOLT NT3AC CD</p> <p>3000K LEDs, input watts: 11.9, delivered lumens: 1251, LPW: 105.16, test no.: 19-950-07</p> <p>CP Summary</p> <table border="1"> <tr><td>0°</td><td>0</td></tr> <tr><td>5°</td><td>472</td></tr> <tr><td>15°</td><td>696</td></tr> <tr><td>25°</td><td>2,293</td></tr> <tr><td>35°</td><td>4,091</td></tr> <tr><td>45°</td><td>8,058</td></tr> <tr><td>55°</td><td>1,884</td></tr> <tr><td>65°</td><td>115</td></tr> <tr><td>75°</td><td>1</td></tr> <tr><td>85°</td><td>0</td></tr> <tr><td>90°</td><td>0</td></tr> </table>	0°	0	5°	472	15°	696	25°	2,293	35°	4,091	45°	8,058	55°	1,884	65°	115	75°	1	85°	0	90°	0	<p>INIT3 A 12LM 30K 80CRI 35D E21 MVOLT NT3AC CD</p> <p>3000K LEDs, input watts: 11.9, delivered lumens: 1281, LPW: 107.6, test no.: 19-950-13</p> <p>CP Summary</p> <table border="1"> <tr><td>0°</td><td>0</td></tr> <tr><td>5°</td><td>612</td></tr> <tr><td>15°</td><td>991</td></tr> <tr><td>25°</td><td>2,107</td></tr> <tr><td>35°</td><td>2,948</td></tr> <tr><td>45°</td><td>2,944</td></tr> <tr><td>55°</td><td>1,745</td></tr> <tr><td>65°</td><td>474</td></tr> <tr><td>75°</td><td>1</td></tr> <tr><td>85°</td><td>0</td></tr> <tr><td>90°</td><td>0</td></tr> </table>	0°	0	5°	612	15°	991	25°	2,107	35°	2,948	45°	2,944	55°	1,745	65°	474	75°	1	85°	0	90°	0	<p>INIT3 A 12LM 30K 80CRI 50D E21 MVOLT NT3AC CD</p> <p>3000K LEDs, input watts: 11.9, delivered lumens: 1046, LPW: 87.9, test no.: 19-950-19</p> <p>CP Summary</p> <table border="1"> <tr><td>0°</td><td>0</td></tr> <tr><td>5°</td><td>852</td></tr> <tr><td>15°</td><td>1,016</td></tr> <tr><td>25°</td><td>1,376</td></tr> <tr><td>35°</td><td>1,543</td></tr> <tr><td>45°</td><td>1,190</td></tr> <tr><td>55°</td><td>163</td></tr> <tr><td>65°</td><td>1</td></tr> <tr><td>75°</td><td>0</td></tr> <tr><td>85°</td><td>0</td></tr> <tr><td>90°</td><td>0</td></tr> </table>	0°	0	5°	852	15°	1,016	25°	1,376	35°	1,543	45°	1,190	55°	163	65°	1	75°	0	85°	0	90°	0
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Measured NT3AC CD 12LM 30K 80 CRI		FOR HORIZONTAL AIMING ANGLES									FOR VERTICAL AIMING ANGLES							
		0°			30°			30°			35°							
Beam Spread	CBCP	MH	FC	L	W	FC	L	W	D	FC	X	L	W	FC	X	L	W	
	7405	6	206	1.8	1.8	134	2.4	2.1	3	103	5.2	3.8	1.8	155	4.3	2.9	1.6	
		8	116	2.4	2.4	75	3.2	2.8	4	58	6.9	5.1	2.4	87	5.7	3.8	2.1	
		10	74	3.0	3.0	48	4.0	3.5	5	37	8.7	6.4	3.0	56	7.1	4.8	2.6	
		12	51	3.6	3.6	33	4.8	4.1	6	26	10.4	7.7	3.6	39	8.6	5.7	3.1	
	4273	4	267	1.9	1.9	173	2.6	2.2	2	134	3.5	4.6	1.9	202	2.9	3.3	1.7	
		6	119	2.8	2.8	77	3.9	3.3	3	59	5.2	6.9	2.8	90	4.3	4.9	2.5	
		8	67	3.8	3.8	43	5.2	4.4	4	33	6.9	9.1	3.8	50	5.7	6.5	3.3	
		10	43	4.7	4.7	28	6.4	5.5	5	21	8.7	11.4	4.7	32	7.1	8.1	4.1	
	3055	4	191	2.6	2.6	124	3.6	3.0	2	95	3.5	7.8	2.6	144	2.9	5.2	2.3	
		6	85	4.0	4.0	55	5.5	4.6	3	42	5.2	11.7	4.0	64	4.3	7.7	3.4	
		8	48	5.3	5.3	31	7.3	6.1	4	24	6.9	15.7	5.3	36	5.7	10.3	4.6	
		10	31	6.6	6.6	20	9.1	7.6	5	15	8.7	19.6	6.6	23	7.1	12.9	5.7	
	1569	4	98	3.2	3.2	64	4.6	3.7	2	49	3.5	12.7	3.2	74	2.9	7.4	2.8	
		6	44	4.8	4.8	28	6.8	5.6	3	22	5.2	19.0	4.8	33	4.3	11.0	4.2	
		8	25	6.5	6.5	16	9.1	7.5	4	12	6.9	25.3	6.5	19	5.7	14.7	5.6	
		10	16	8.1	8.1	10	11.4	9.3	5	8	8.7	31.7	8.1	12	7.1	18.4	7.0	
		12	11	9.7	9.7	7	13.7	11.2	6	5	10.4	38.0	9.7	8	8.6	22.1	8.5	

In vertical aiming applications, aim point (X) is determined by dividing distance from the wall (D) by the tangent of the desired aim angle (A) (0.5774 for 30°, 1.0 for 45°).

CBCP • Centerbeam candlepower FC • Footcandles at beam center (aim point)

LUMEN | CBCP MULTIPLIERS

CCT	80+ CRI	90+ CRI
2700K	0.96	0.83
3000K	1.00	0.86
3500K	1.03	0.89
4000K	1.05	-
WDIM HALR	-	0.97

04LM	08LM	12LM	15LM
0.38	0.66	1.00	1.24

*Refer to website for additional photometry (alternate trims, CCT/CRI, lumen packages)



DIMMER COMPATIBILITY

Phase Dimming (FPC Driver)

Incandescent, Magnetic Low Voltage and Electronic Low Voltage Dimming

- Dimming range of 100% down to as low as 1% a minimum load of one fixture
- Dimming range and maximum rated load vary depending on dimmer type and model. See maximum load calculations below to identify max number of luminaires per dimmer.

Incandescent (INC) and Magnetic Low Voltage (MLV)

Example: Fixture Rating = 13W
Dimmer Rating = 600W
Equivalent Incandescent Load (EIL) = 50%
(600/13W) X 0.5 = 23 Fixtures per Dimmer

Electronic Low Voltage (ELV)

Example: Fixture Rating = 13W
Dimmer Rating = 600W
Equivalent Incandescent Load (EIL) = 75%
(600/13W) X 0.75 = 34 Fixtures per Dimmer

INCANDESCENT, MLV, ELV WALL DIMMERS

Manf.	Product Family	Series	Type	Min Light(%)
Lutron	Glyder	GLV*	MLV	3
Leviton	SureSlide	6633*	INC	2
Lutron	Diva	DVLV	MLV	6
Lutron	Diva	DV*	INC	2
Lutron	Skylark	SLV*	MLV	4
Leviton	IllumaTech	IPL016-10Z*	INC	4
Leviton	SureSlide	6613*	MLV	3
Lutron	Diva	DVCL	INC	2
Insteon	Keypad Dimmer	2334-232*	INC	2
Insteon	Dimmer Switch	2477D*	INC	2
Control4	Forward Phase Dimmer	C4-FPD 120*	INC	2
Lutron	Nova	NTELV*	ELV	6
Lutron	Diva	DVELV	ELV	3
Lutron	Maestro	MAELV*	ELV	6
Leviton	Vizia	VPE06-1LX	ELV	3
Leviton	IllumaTech	IPE04*	ELV	6
Lutron	RadioRA2	RRD-6NA	PHA	2
Control4	Adaptive Phase Dimmer	C4-APD 120*	PHA	2

INTEGRATED CONTROL SYSTEMS

Manf.	Product Family	Series	Type	Min Light(%)
Lutron	LP	LP-RPM-4U*	INC	6
Lutron	LP	LP-RPM-4A	PHA	2
Lutron	GrafikEye QS	QSGRJ-3P*	PHA	2
Lutron	GrafikEye QS	PHPM-PA-120	PHA	2
Lutron	HomeWorks QS	PHPM-PA-120	PHA	2
Lutron	HomeWorks QS	HW-RPM-4A	PHA	2
Acuity	nLight nSP5PCD ELV	nSP5PCD*	ELV	2
Insteon	Micro Module Dimmer	2442-222*	INC	2
Control4	8 Ch Dimmer	C4-DIN-8DIM-E	PHA	2

0-10V Dimming (EZ1 Driver)

WALL DIMMERS

Manf.	Product Family	Series	Type	-EZ1 Min Light(%)
Lutron	Nova T	NTFTV* +	0-10V	1
Lutron	Nova T	NTSTV-DV*	0-10V	1
Lutron	Nova T	NFTV* +	0-10V	1
ACUITY	SensorSwitch	WSX D WH*	0-10V	1

*: recommended dimmers

+: require a separate relay module to turn fixture on/off

INTEGRATED CONTROL SYSTEMS

Manf.	Product Family	Series	Type	-EZ1 Min Light(%)
Lutron	Energi Tripak	RMJ-5T-DV-B*	0-10V	1
Wattstopper	DLM	LMRC-211*	0-10V	1
Crestron	GreenLight	DIN-4DIMFLV4*	0-10V	1
Leviton	IllumaTech	IP710-DLX	0-10V	1
Lutron	GrafikEyeQS	GRX-TVI*	0-10V	1
Lutron	GrafikEyeQS	GRX-TVI*	0-10V	1
Lutron	HomeworksQS	GRX-TVM2*	0-10V	1

TARGETTI

ZEDGE MINI HO

Professional Small Scale High Efficiency LED Steplight

Concept: Recessed high efficiency LED steplight for indoor and outdoor applications. A high output steplight version of the classic Zedge Floor Wall wash fixture for applications with higher illumination requirements.

Housing: Small 2.5" x 2.5" Floor Washer faceplate.

Materials: Die-cast anodized aluminum body fitted with a spring fixing system. Powder coated die-cast anodized aluminum external frame. ^AConsult factory for use in marine grade environments.

Source: LED High Efficiency Board.

Optic: Polycarbonate clear lens.

Mounting: To be completed with installation back box. Fixture secured with stainless steel spring system for semi-flush installation only.

Installation: Pre-cabled with 3' Belden 18ga 2 conductor direct burial cable (no conduit required).

Finish: Textured Standard Finishes – Ferrite Grey / Heritage Brown / Bronze RAL 8019 / White / Black / Sandstone Grey

Power Supply: Remote Class 2, 120V-277VAC power supply required, see remote driver option pages.

Wattage: 4W

Color Temperature: 2700K / 3000K / 3500K / 4000K

CRI: +Ra90

Delivered Lumens: *Values in White Textured Finish*

2700K	3000K	3500K	4000K
171Lm	181Lm	186Lm	187Lm

Lumen Maintenance (L80/B10): 56,000hrs tq +25°C

Calculation for LED fixtures are based on measurements that comply with IES LM-80.

Voltage: 24V DC

IK Rating: IK10

IP Rating: IP66

BUG: B0-U1-G0

Certifications: UL Listed Class 2 wet location E479873

Low voltage landscape lighting. Tested in accordance with LM-79-08

Energy efficient for California installations.

Warranty: 5 year limited warranty

Designed in collaboration with Gensler as Product Design Consultant

^AConsult factory for use in marine grade environments. Not to be in direct contact with salt for extended periods of time or used with corrosive agents.



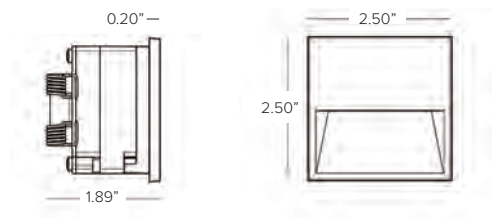
Shown in Sandstone Grey Finish



Suitable for indoor and outdoor applications

PRODUCT CODE	TYPE	DRIVER	FACEPLATE	FINISH	WATTAGE	COLOR TEMP	VOLTAGE	+	INSTALLATION & POWER SUPPLY
ZES – ZEDGE	HO – High Output	RP – Remote Power	FW – Floor Washer	FE – Ferrite Grey	L2 – 4W	27 – 2700K	24 – 24V DC		Required (See page)
				HB – Heritage Brown		30 – 3000K			
				BZ – Bronze RAL8019		35 – 3500K			
				WT – White Textured		40 – 4000K			
				BT – Black Textured					
				SG – Sandstone Grey					

Views



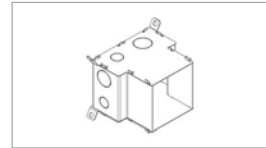
TARGETTI

ZEDGE MINI HO

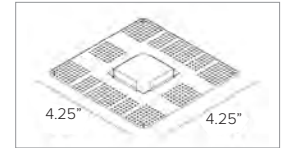
INSTALLATION (REQUIRED) - CHOOSE 1	
1US3166-B	PVC installation back box for semi-fush installations fitted for parallel connection with feed through-wiring, black finish. 1/2" knockout made for low voltage cable (no conduit required, class 2 wiring). Suitable for drywall or stucco applications. Dimensions: 2 3/4"D x 2 1/4"H x 3 1/4"W
1US3166	Stainless steel installation back box for semi-fush installations fitted for parallel connection with feed through-wiring. 3/8" and 1/2" grommet made for low voltage cable (no conduit required, class 2 wiring). Suitable for concrete pour outdoor/harsh environment applications. Dimensions: 2 3/4"D x 2 1/4"H x 3 1/4"W
1USMK01	Mud kit for drywall or stucco. For retrofit or Class 2 installations. Dimensions: 4.25" x 4.25"



1US3166-B

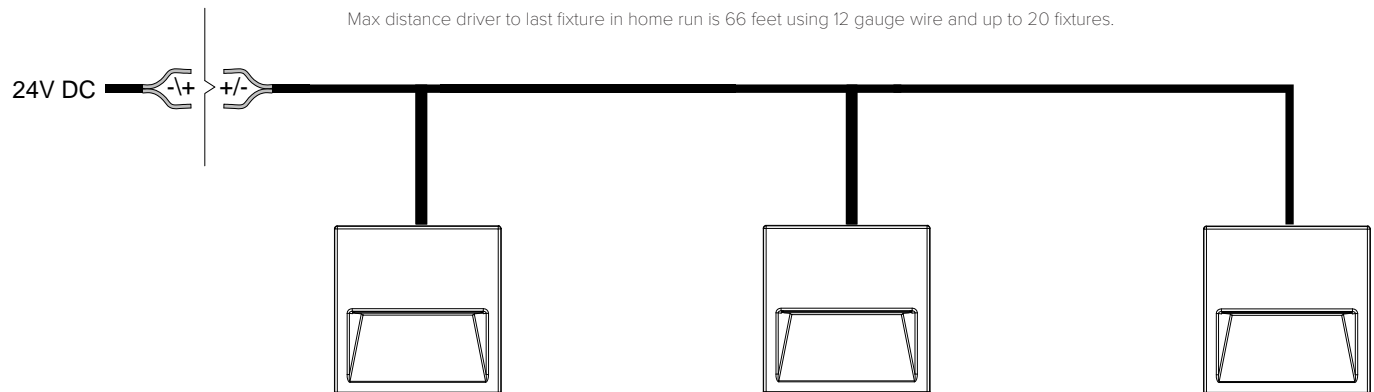


1US3166



1USMK01

Wiring Diagram



Maximum Cable Distances

No. Fixtures	Load	18 AWG	16 AWG	14 AWG	12 AWG
1-4 Fixtures	≤16W	72ft	115ft	180ft	290ft
5-8 Fixtures	≤32W	42ft	67ft	106ft	165ft
9-12 Fixtures	≤48W	28ft	44ft	70ft	112ft
13-16 Fixtures	≤54W	20ft	33ft	52ft	84ft
17-20 Fixtures	≤80W	16ft	26ft	41ft	66ft

*Voltage drop calculations are based on 3% max drop to last fixture in run for load and distances below

Power Supply (REQUIRED)	Type	Wattage	Input/Output Voltage	Dimmable	IP Rating	Output	Dimensions
DMLE301242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	30W	120-277V / 24V	MLV <5% / ELV <20% / 0-10V <10% / TRIAC <5%	NEMA3R ENCLOSURE	UL CLASS 2	4.47" X 6.79" X 1.38"
DMLE601242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	60W	120-277V / 24V	MLV <5% / ELV <20% / 0-10V <10% / TRIAC <5%	NEMA3R ENCLOSURE	UL CLASS 2	4.47" X 6.79" X 1.38"
DMLE961242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	96W	120-277V / 24V	MLV <5% / ELV <20% / 0-10V <10% / TRIAC <5%	NEMA3R ENCLOSURE	UL CLASS 2	5.16" X 7.73" X 1.54"
DMLE1922242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	2X96W	120-277V / 24V	MLV <5% / ELV <20% / 0-10V <10% / TRIAC <5%	NEMA3R ENCLOSURE	UL CLASS 2	5.04" X 10.94" X 1.81"
DMLE2882242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	3X96W	120-277V / 24V	MLV <5% / ELV <20% / 0-10V <10% / TRIAC <5%	NEMA3R ENCLOSURE	UL CLASS 2	5.04" X 10.94" X 1.81"
DEL60PWM	MEANWELL ELECTRONIC STANDALONE PWM DRIVER, UL LISTED ENCLOSURE PROVIDED BY OTHERS.	60W	120-277V / 24V	0-10V <10%	IP67	UR CLASS 2	5.9" X 2.09" X 1.38"
DEL90PWM	MEANWELL ELECTRONIC STANDALONE PWM DRIVER, UL LISTED ENCLOSURE PROVIDED BY OTHERS.	90W	120-277V / 24V	0-10V <10%	IP67	UR CLASS 2	6.73" X 2.48" X 1.48"
DELX601241CPWM	MEANWELL ELECTRONIC PWM DRIVER.	60W	120-277V / 24V	0-10V <10%	IP67 DRIVER IN NEMA3R ENCLOSURE	UL CLASS 2	10" x 10" x 4" ¹
DELX901241CPWM	MEANWELL ELECTRONIC PWM DRIVER.	90W	120-277V / 24V	0-10V <10%	IP67 DRIVER IN NEMA3R ENCLOSURE	UL CLASS 2	10" x 10" x 4" ¹
DELX1802242CPWM	MEANWELL ELECTRONIC PWM DRIVER.	2X90W	120-277V / 24V	0-10V <10%	IP67 DRIVER IN NEMA3R ENCLOSURE	UL CLASS 2	12" x 12" x 4" ¹
DELX2703243CPWM	MEANWELL ELECTRONIC PWM DRIVER.	3X90W	120-277V / 24V	0-10V <10%	IP67 DRIVER IN NEMA3R ENCLOSURE	UL CLASS 2	12" x 12" x 4" ¹
PS060	LUTRON HI-LUME PREMIER 0.1% CONSTANT VOLTAGE DRIVER WITH UL LISTED ENCLOSURE	96W	UNIVERSAL 120-277 VAC	HI-LUME ECOSYSTEM 0.1%	IP20/NOM CERTIFIED	UL CLASS 2	10.5" x 5.5" x 2" ¹

¹ Dimensions include enclosure with mounting bracket.

* Constant voltage drivers 50/60HZ, voltage regulated with short circuit protection. Operating temperature -40 C- 80° C

* Installation of power supply must be compliant to Class 2 installation standards. Refer to NEC and local building code requirements.

* Consult factory for additional driver options (ie: DMX, DALI, wattage, size, shape, Lutron, ELDO, or others).

Max Fixtures Per Driver

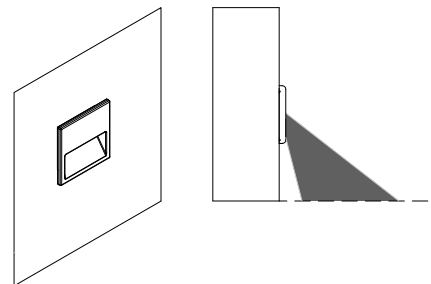
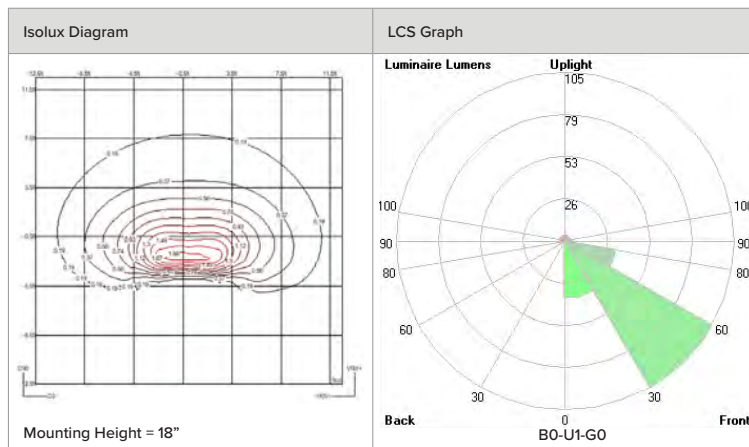
Fixture Wattage	Driver Wattage									
	30W	40W	60W	96W	90W	2X90W	3X90W	192W	288W	
4W	6	8	12	20	18	2X18	2X18	2X20	3X20	

TARGETTI

ZEDGE MINI HO

Photometry

FLOOR WASHER



SW24/4.0

STRIP: Static White



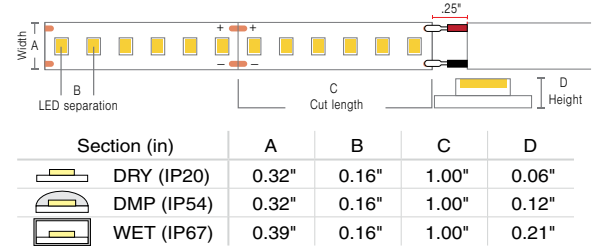
One step one bin static white LED strip with 373 lm/ft @ 3000K. This energy-efficient 24-volt, 4.0-watt/foot strip features 6 diodes per 1" cut point and is available in CCTs of 2000K, 2200K, 2400K, 2700K, 3000K, 3500K, and 4000K. Choose your connection type from bare wire, barrel connectors, or not soldered, and dry, damp, wet, or encapsulated finishes. CCTs 2200K and greater meet or exceed Title 24 and JA8. Pair with an aluminum extrusion to create a custom fixture.

Technical Information [Calculated L70 = 70000 hours]

Tested with SW24/4.0-DRY

CCT	Lumen/ft	Luminous Efficacy	CRI Ra	CRI R9	TM30 Rf	TM30 Rg
2000K	309	81 Lm/W	93	60	89	103
2200K	314	82 Lm/W	96	90	94	101
2400K	306	80 Lm/W	95	97	94	103
2700K	349	91 Lm/W	98	93	94	101
3000K	373	97 Lm/W	98	95	94	101
3500K	389	101 Lm/W	98	96	92	100
4000K	369	96 Lm/W	96	90	90	101

Dimensions



Part Number Builder

V/Watts	Rated	CCT - Lumens/CRI	Connector/ Wire In	Connector/ Wire Out	Wire Color	Wire Type	Illuminated Length (in)
SW24/4.0							
Voltage: 24 VDC Wattage: 4.0 W/ft							1" increments Matches EXT length ordered
	DRY (IP20)	20 - 2000K 309/93 22 - 2200K 314/96 24 - 2400K 306/95 27 - 2700K 349/98 30 - 3000K 373/98 35 - 3500K 389/98 40 - 4000K 369/96	BW BRL CLS CON6 CON24	CLS BW BRL CON6 CON24	WH BK N/A	CL2 CL2P N/A	1"-288" OR MATCH
	DMP (IP54)	24 - 2400K 284/94 27 - 2700K 276/97 30 - 3000K ***/** 35 - 3500K ***/** 40 - 4000K 324/95	BW BRL CON6 CON24	CLS BW BRL CON6 CON24	WH BK N/A	CL2 CL2P N/A	1"-180" OR MATCH
	ENC (IP67)	20 - 2000K 260/94 22 - 2200K ***/** 24 - 2400K 282/96 27 - 2700K 285/95 30 - 3000K 299/96 35 - 3500K 323/96 40 - 4000K 337/96	BW BRL	CLS BW BRL	WH BK N/A	CL2 CL2P N/A	1"-288" OR MATCH
	WET (IP67)	20 - 2000K 260/94 22 - 2200K ***/** 24 - 2400K 282/96 27 - 2700K 285/95 30 - 3000K 299/96 35 - 3500K 323/96 40 - 4000K 337/96	BW BRL	CLS BW BRL	WH BK N/A	CL2 CL2P N/A	1"-288" OR MATCH

- If selecting **BRL**, select **N/A** for wire color and type
- **BW** comes in standard 24"- request custom length (Max 120") by writing it in inches next to "BW" in the order code box (ex. BW48)
- Wire orientation for **MATCH** will be dictated by extrusion Feed In/Feed Out selection
- **Connector/Wire In or Out not** needed to specify product. Standard configuration is BW for Wire In and CLS for Wire out
- If ordering an encapsulated extrusion, **ENC** (Encapsulated in Extrusion) must be chosen for your strip.
- ENC RATED STRIP ARE NOT FIELD CUTTABLE
- **CL2** wire is standard non-plenum wire, **CL2P** wire is plenum rated

- 5 year warranty
- Field modifications must comply with Q-Tran's installation methods otherwise warranty is null & void
- All data has +/- 5% tolerance
- UL Listed
- Suitable for installation in the storage area of a clothes closet when assembled as a fixture at Q-Tran facility (Not applicable for encapsulation)
- Title 24 - JA8-2016 Strips: DRY, DMP, and WET rated, 2200K and above
- Ambient or mounting surface must not be lower than -40°F or higher than 115°F



SW24/4.0

STRIP: Static White

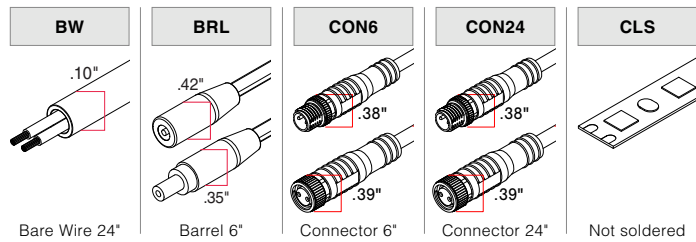


Compatible Extrusions

	SLIM	WIDE	ROND	TORQ	TRE3	LALO	TALO
DRY	✓	✓	✓	✓	✓	✓	✓
DMP	✓	✓	✓	✓	✓	✓	✓
ENC				✓		✓	✓
WET	✓ No Lens	✓		✓	✓	✓	✓

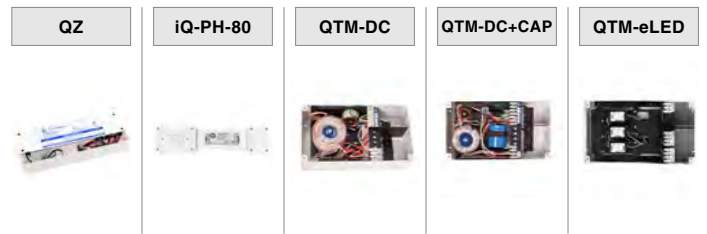
	ARKA	TELA	VEVE	FLUR	EMBD	LATO	MDIN
DRY	✓	✓	✓	✓	✓	✓	✓
DMP	✓	✓	✓	✓	✓	✓	✓
ENC				✓	✓	✓	
WET	✓	✓	✓	✓	✓	✓	

Connector/Wire – In/Out

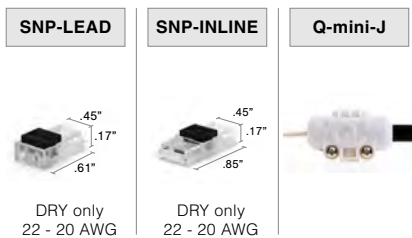


Compatible Power Supplies

See website for additional power supply options



Compatible Accessories



An architectural profile reminiscent of beautifully classic roof lines delivers significant light output in this modern LED wall sconce suitable for both indoor and outdoor applications. The Pitch 12 Wall Sconce features a die-cast metal body housing powerful LED light sources that create visual appeal as light cascades down along a wall.

Outstanding protection against the elements:

- Powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

SPECIFICATIONS

DELIVERED LUMENS	823
WATTS	26.2
VOLTAGE	120V, 277V
DIMMING	ELV
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Downlight
CCT	3000K
CRI	90
COLOR BINNING	3 Step
BUG RATING	B1-U0-G0
DARK SKY	Compliant
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	No
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; >60,000 Hours
WARRANTY*	5 Years

*Visit techlighting.com for specific warranty limitations and details.



PITCH 12 shown in black



PITCH 12 shown in bronze

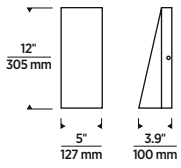


PITCH 12 shown in silver

ORDERING INFORMATION

PRODUCT	LENGTH	FINISH	LAMP
7000WPIT	12 1/2"	B BLACK	-LED930 LED 90 CRI, 3000K, 120V
		Z BRONZE	-LED930-277 LED 90 CRI, 3000K, 277V
		I SILVER	

PITCH 12 WALL SCONCE



Pitch 12

PROJECT INFO

FIXTURE TYPE & QUANTITY

JOB NAME & INFO

NOTES

<hr/> <hr/>	<hr/> <hr/>	<hr/> <hr/>
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9.0 Detailing

Ground Level

General Principles:

Position the ends of the panels a minimum 150 mm above the finished ground level to

- To help prevent rain splashback

- Ensure entry of air into cavity

- Protect opening with a perforated profile to prevent entry of vermin into the cavity.

- End of panel to form a drip to prevent water running back to wall.

No planting should be grown near the air inlet as over time the plants may block the air flow.

Only EQUITONE [pictura] can be used for this arrangement of allowing the panel to run into the ground. Position a 10 mm open continuous joint within 600 mm of the finished ground. Form a drainage trench at the base of the panels to prevent water build-up.

Figure 1: Ground Level

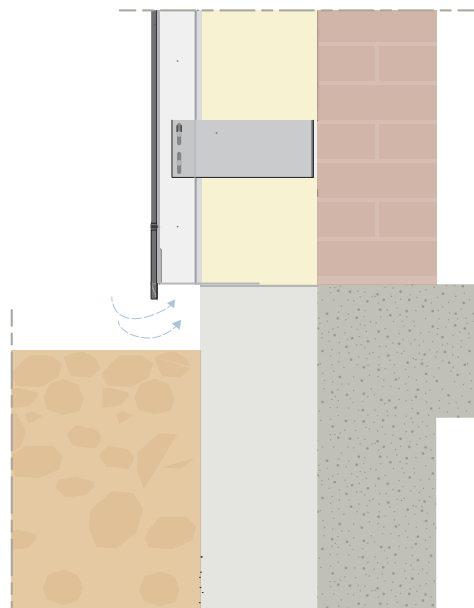
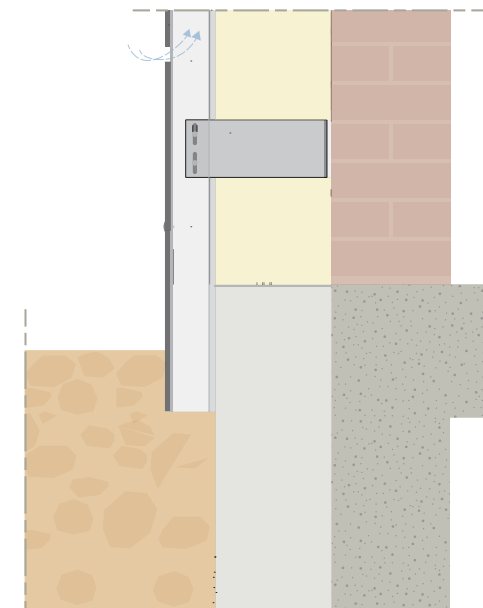


Figure 2: Ground Level





TO: Mountain Village Design Review Board
FROM: John Miller, Principal Planner
FOR: Design Review Board Public Hearing; June 2, 2022
DATE: May 19, 2022
RE: Staff Memo – Final Architecture Review; Lot AR-53R1, TBD Adams Way

APPLICATION OVERVIEW: New Detached Condo Home on Lot AR-53R1

PROJECT GEOGRAPHY

Legal Description: UNIT AR53R1 THE VILLAGE AT ADAMS RANCH ACC TO THE THIRD AMEND TO THE COMMON OWNERSHIP COMMUNITY PLAT FOR THE VILLAGE AT ADAMS RANCH REC 10 27 2005 PL BK 1 PG 3561-3563 RECPT 379099 LOCATED ON LOT C-2BR1 INCLUDES 0.0435 PERCENT INTEREST IN COMMON ELEMENTS

Address: TBD Adams Way
Applicant/Agent: Ken Alexander, Architect's Collaborative
Owner: Westport Holding Texas LP
Zoning: Multi-Family
Existing Use: Vacant
Proposed Use: Single Family detached condo
Lot Size: 6,110 square feet (Unit)
10,387 (Unit and L.C.E.)

Adjacent Land Uses:

- **North:** Multi-Family
- **South:** Multi-Family
- **East:** Multi-Family
- **West:** Multi-Family



Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set
Exhibit B: Staff/Public Comment

Case Summary: Ken Alexander of Architects Collaborative (Applicant) on behalf of Westport Holding Texas LP, the owner of Lot AR-53R1 is requesting Design Review Board (DRB) approval of a Final Architecture Review (FAR) Application for a new single-family detached condominium at TBD Adams Way. The existing conditions plan provided by Foley and Associates indicates that Unit AR-53R1 is 6,110 square feet in size. The Village at Adams Ranch is a single-family condominium community and is zoned Multi-Family. The overall square footage of the home is approximately 4,778 gross square feet, with 4,005 livable square feet, and provides two interior parking spaces within the proposed garage and an additional two exterior spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited.

Please note that Staff comments will be indicated by Italicized Text.

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	40' (gable) Maximum	38'-0"
Maximum Avg. Building Height	35' (gable) Maximum	23.35'
Maximum Lot Coverage	65%	64%
General Easement Setbacks	No encroachment	Grading
Roof Pitch		
Primary		6:12
Secondary		3:12
Exterior Material		
Stone	35% minimum	35%
Glass	40% maximum	18%
Parking	2 Interior / 2 Exterior	2 interior / 2 exterior

Proposed Design Variations:

Fiberglass Windows

Design Review Board Specific Approvals:

Grading in General Easement

Please note, this memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated March 18, 2022, from the May 31, 2022, Public Hearing.

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Staff: The application meets all building height requirements. It should be noted that at the Initial Review, Staff requested revised height diagrams which were provided by the applicant as requested and provided to the DRB as part of this agenda item packet materials.

17.3.14: General Easement Setbacks

Unit AR-53R1 is zoned multi-family and located in a common-interest condominium community and therefore does not have the traditional General Easement (GE) seen in most single-family zoned lots. There is a GE that separates the unit from Adams Way to the north, but otherwise the unit is surrounded by Limited Common Element (LCE).

Staff: At the Initial Review, an adjacent property owner provided public comment requesting an area of the LCE and GE between the homes be graded to prevent any offsite storm water impacts. As part of the revised submittal, the applicant has addressed this concern with a drainage swale to be located in this western LCE and GE to move any water impacts to the north into the town's stormwater system. This will now require DRB specific approval for the GE encroachments.

The address monument is also located within the GE of Lot OS-AR-3 which while allowable will require the owner and/or HOA enter into a revocable GE encroachment agreement as required by the CDC. Additionally, there is a small area of roof overhang within the western LCE which is permissible based on the declarations for the condominium association.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

Staff: The application meets all Town Design Theme requirements.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: Building siting and its relationship to the condominium land unit, the LCE, and the access easement were discussed at initial review and the DRB expressed general comfort in the home's location and siting.

17.5.6: Building Design

The CDC discusses building design and specifies requirements for things like building form, roof form, wall materials, glazing, and other design details for the home.

Staff: The application meets all Building Design requirements with the exception of the black fiberglass windows which were discussed by the DRB at the Initial Review. This detail was not revised, and it will require the DRB to grant a design variation. The DRB has granted this approval in the past and were generally comfortable with the use for this home.

Additionally, staff requested the details for window and door recesses along with more information on the chimney cap materials – all of which was provided as part of this review. The chimney cap is now being shown as a rusted metal detail.

17.5.7: Grading and Drainage Design

Staff: The application meets all Grading and Drainage Design requirements. As noted above, the Grading and Drainage plan was revised to incorporate a drainage swale along the western LCE and GE, directing water to the north as requested by neighboring properties.

17.5.8: Parking Regulations

Staff: The applicant has revised the parking plan to demonstrate the dimensions of each parking space and now is meeting the Parking Requirements.

17.5.9: Landscaping Regulations

Staff: The applicant has provided a revised landscaping plan including specific planting schedules, irrigation locations, and other CDC landscaping requirements.

17.5.11: Utilities

Staff: At Initial Review, staff requested a revised utility plan to demonstrate the location of the water line of the home. This was not included in the revised packet materials. If the DRB is comfortable with proceeding, a condition of approval should be included in any motion that requires this detail to be provided as part of the building permit plan set.

17.5.12: Lighting Regulations

Staff: The applicant did not provide a photometric study as requested at Initial Review. If the DRB is comfortable with proceeding, then a condition of approval should be included to require submittal and approval of a revised lighting plan demonstrating the photometric study along with the specific light source for the address monument, to be approved by a member of staff and the DRB.

17.5.13: Sign Regulations

Staff: The applicant has revised their plans to reduce the height of the monument, now meeting the requirements of the CDC. As mentioned above, the applicant did not indicate the method of illumination on the address monument but did specify that the light was to be down lit.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: Although the site is treed, the wildfire mitigation requirements will require the removal of the majority of the trees on the unit. The applicant has provided a wildfire mitigation plan and has indicated all final tree removal will occur in coordination with the Town Forester.

17.6.6: Roads and Driveway Standards

Staff: The application meets all Road and Driveway Standards requirements.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has revised the plans now specifying the fireplace will be natural gas burning.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The applicant has revised their plans to now include a construction migration meeting these requirements.

Staff Recommendation: Staff recommends the DRB approve the Final Architecture Review for Unit AR-53R1, TBD Adams Way, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architecture Review for a new single-family detached condominium home located at Unit AR-53R1, based on the evidence provided within the Staff Report of record dated May 19, 2022, with the following Design Variations and Specific Approvals:

Design Variations:

Fiberglass Windows

Design Review Board Specific Approvals:

Grading in General Easement

And with the following conditions:

- 1) Prior to the issuance of a building permit, the applicant shall provide an updated utility plan based on the field verification of all utilities and submit a revised utility plan to the public works director identifying these locations for approval.
- 2) Prior to the issuance of a building permit, the applicant shall submit an updated lighting plan to planning staff and a member of the DRB for review and approval, to include a photometric study along with specifications for the address monument lighting.
- 3) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 4) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
- 5) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 6) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 7) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/JM

ARCHITECTS

COLLABORATIVE

DEVELOPMENT NARATIVE

Lot AR-53R1 The Moore Residence is a single family condominium with a limited common area.

The building as proposed is to be accessed off of the common area open space tract up the hill off Adams Way.

The owners have a vision of their previous similar home across the street. With a rustic classic look that matches the surrounding existing homes.

We are not requesting any variations for building design. The most delicate issue is attempting to maintain the existing forest trees in the fire mitigation Zones 1 and 2. We have a preliminary approval to keep a few remain pines inside the 15' fire zone.

2 parking spaces are provided in the garage with 3 more in the drive

The exterior materials are:

1. Corrugated rusted metal roofing and siding.
2. 6" ½ round rusted metal gutters and 4" downspouts with rusted metal flashing.
3. Heavy timber Barn wood trusses and beams are in the gables.
4. The stone is Telluride quarried gold stone random.
5. The windows are Marvin Integrity series with black cladding.
6. The siding is horizontal and vertical rustic barn wood.
7. The railings a 2" x 3" top rail with a secondary horizontal rail and vertical 1" Ballisters all rusted metal.
8. The fascia is a 2" x 12" rough sawn stained cedar.
9. The garage door is sheathed in 2' x 4' flat rusted metal panels.
10. The soffits are a stained 1 x 6 cedar rustic to match the interior ceilings.

To conclude the design is 4005 sf living with a 773 sf garage for a total off 4778 sf.



VICINITY MAP

DRAWING LIST:

A0	Cover Sheet	Date: May 2, 2022
C1	Improvement Survey Plat	Date: August 11, 2021
A1.1	Site Plan/Roof Plan	Date: May 2, 2022
A1.2	Landscape Plan	Date: May 2, 2022
A1.3	Utility/Exterior Lighting Plan	Date: May 2, 2022
A1.4	Construction Staging Plan	Date: May 2, 2022
A2.1	Floor Plans	Date: May 2, 2022
A2.2	Floor Plans	Date: May 2, 2022
A3.1	Elevations	Date: May 2, 2022
A3.2	Elevations	Date: May 2, 2022
A3.1H	Height Calcs	Date: May 2, 2022
A3.2H	Height Calcs	Date: May 2, 2022
A3.1S	Stone Calcs	Date: May 2, 2022
A3.2S	Stone Calcs	Date: May 2, 2022
E1.1	Electrical Plan	Date: April 15, 2022
E1.2	Electrical Plan	Date: April 15, 2022

PLAN CONSULTANTS:

Architects Collaborative
Ken Alexander
PO Box 3954
Telluride, Colorado 81435
970-708-1076
ken@architectstelluride.com

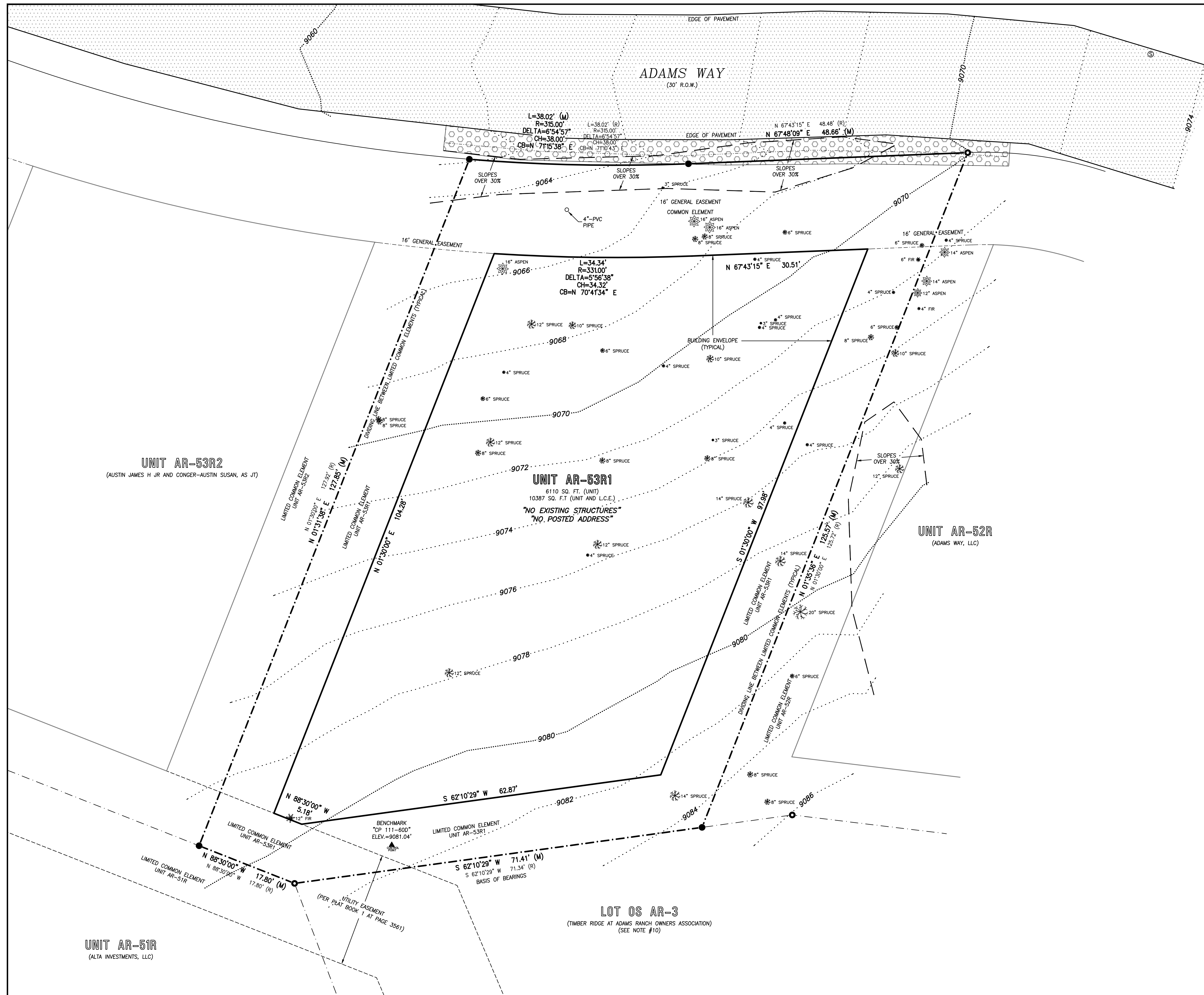
McMillian Engineering
195 S. Lena St.
Ridgeway, Colorado 81432
970-626-5113
mcmillian@ouraynet.com

San Juan Survey
PO Box 3730
102 Society Drive
Telluride, Colorado 81435
970-728-1128
office@sanjuansurveying.net

PROJECT SUMMARY

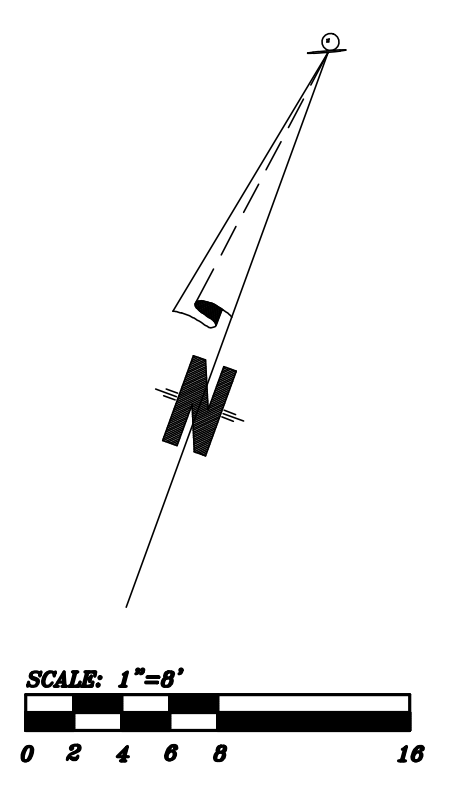
LOT SIZE: 10,772 S.F.
ZONING DESIGNATION: SINGLE FAMILY
CONDOMINIUM/Common AREA
AMAXIMUM BUILDING HEIGHT: 38'
AVERAGE BUILDING HEIGHT: 23.35'
REQUIRED PARKING: 1.5 SPACES REQ'D/ 4 SPACES PROVIDED
BUILDING COVERAGE: 3,386 S.F.
TOTAL COVERAGE PERCENT: 31.4% / 40% ALLOWED



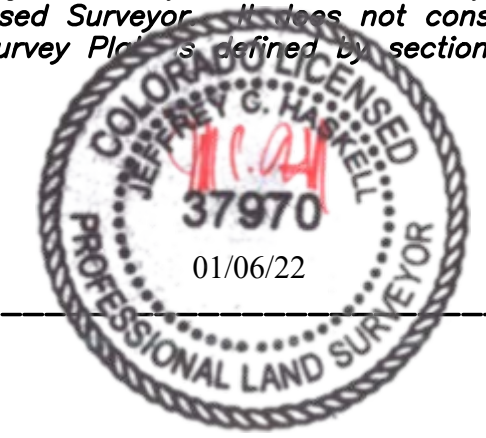


LEGEND

- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37662
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 24954
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37970
- (M) MEASURED DIMENSIONS ACCORDING TO THIS SURVEY
- (R) RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 3561



This Existing Conditions Plan of Unit AR-53R1, Timber Ridge at Mountain Village (formerly the Village at Adams Ranch), Town of Mountain Village, was prepared on August 11, 2021 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970

Date

LEGAL DESCRIPTION:

UNIT AR-53R1, TIMBER RIDGE AT MOUNTAIN VILLAGE (FORMERLY THE VILLAGE AT ADAMS RANCH), A COMMON INTEREST COMMUNITY, ACCORDING TO THE PLAT RECORDED OCTOBER 27, 2005 IN PLAT BOOK 1 AT PAGE 3561, AND AS DEFINED AND DESCRIBED IN THE DECLARATION RECORDED JUNE 1, 1999 UNDER RECEPTION NO. 326890, AND AS AMENDED IN INSTRUMENT RECORDED JUNE 9, 2000 UNDER RECEPTION NO. 334770, AND AS AMENDED IN INSTRUMENT RECORDED SEPTEMBER 13, 2001 UNDER RECEPTION NO. 343817, AND AS AMENDED IN INSTRUMENT RECORDED OCTOBER 27, 2005 UNDER RECEPTION NO. 379100, AND AS AMENDED IN INSTRUMENT RECORDED AUGUST 14, 2013 UNDER RECEPTION NO. 429339, AND AS AMENDED IN INSTRUMENT RECORDED AUGUST 28, 2017 UNDER RECEPTION NO. 449950.

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

1. Easement research and property description from Land Title Guarantee Company, Order Number TLR86010603-4, dated November 19, 2020 at 5:00 P.M.
2. According to FEMA Flood Insurance Rate Map 08113C0286-C, dated September 30, 1988, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
3. BASIS OF BEARINGS: The bearing along the southeastern boundary of Unit AR-53R1, as shown hereon, assumed to have the record bearing of S 62°10'29" W according to Plat Book 1 at page 3561.
4. Benchmark: Control Point "CP 111-60D", as shown hereon, with an elevation of 9081.01 feet.
5. Contour interval is two feet.
6. Only trees 3" in diameter or greater are shown hereon.
7. Slopes 30% or greater are shown hereon.
8. Foley Associates, Inc. is not aware of any underground utilities located on this lot, but utility locates were not performed as part of this survey. Utility locates should be performed by respective providers before any construction.
9. Foley Associates, Inc. is not aware of any wetlands located on this lot, but a wetland delineation was not performed as part of this survey.
10. According to Plat Book 1 at page 3561, Note #6 states: "The entirety of Open space Tract OS AR-3 is encumbered by a perpetual non-exclusive access and utility easement. The use of this easement is limited to providing access and utility service to Lot C-2BR1." Lot C-2BR1 was further divided into Units AR-51R, AR-52R, AR-53R1 and AR-53R2 as shown on the Third Amendment to the Common Ownership Community Plat for the Village at Adams Ranch recorded in Reception No. 379099.
11. The Special Warranty Deed recorded at Reception No. 467573 confirms that according to Survey Note #6 on the Third Amendment to the Common Ownership Community Plat for the Village at Adams Ranch recorded in Reception No. 379099, Lot OS AR-3 was made subject to an Access and Utility Easement granted for the use and benefit of Lot C-2BR1, which lot was divided into Units AR-53R1, AR-53R2, AR-52R, and AR-51R, to install, use, operate, repair and maintain an access drive and utilities.

NOTICE:

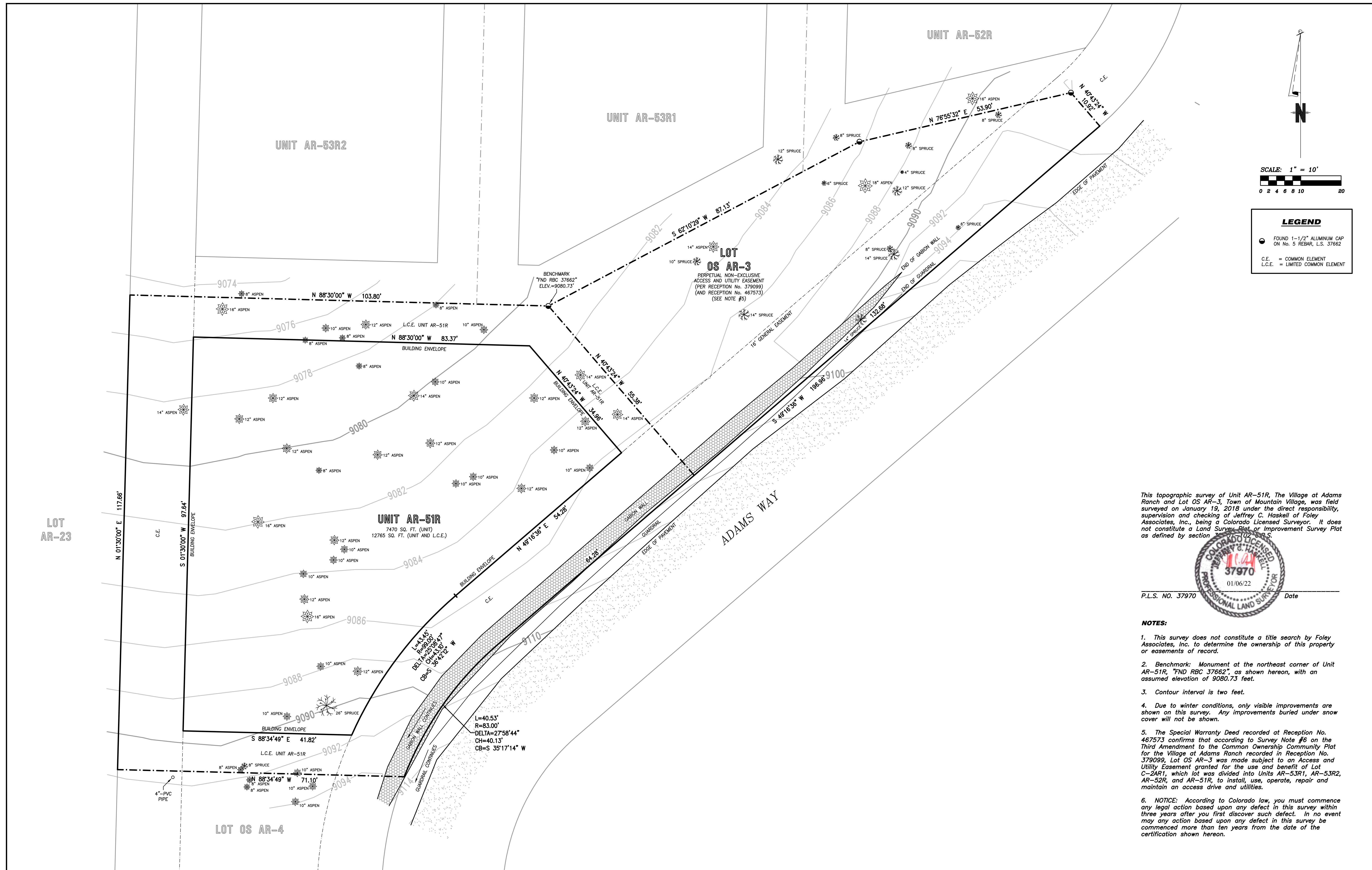
According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

EXISTING CONDITIONS PLAN
 Unit AR-53R1, Timber Ridge at Mountain Village,
 located within the SW 1/4 of Section 33, T.43N., R.9W., N.M.P.M., County of San Miguel, State of Colorado.

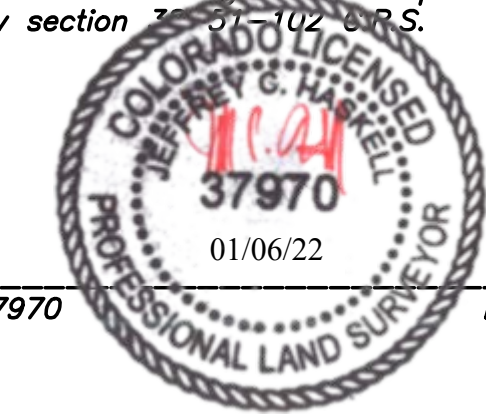
Project Mgr:	JH	Rev.	description	date	by
Technician:	MC				
Checked by:					
Start date:	08/11/2021				



970-728-6153 970-728-6050 fax
 P.O. BOX 1385
 125 W. PACIFIC, SUITE B-1
 TELLURIDE, COLORADO 81435



This topographic survey of Unit AR-51R, The Village at Adams Ranch and Lot OS AR-3, Town of Mountain Village, was field surveyed on January 19, 2018 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-102, C.R.S.

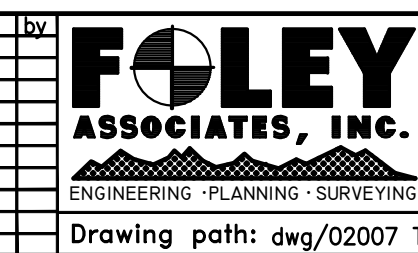


P.L.S. NO. 37970 Date

- NOTES:**
- This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.
 - Benchmark: Monument at the northeast corner of Unit AR-51R, "FND RBC 37662", as shown hereon, with an assumed elevation of 9080.73 feet.
 - Contour interval is two feet.
 - Due to winter conditions, only visible improvements are shown on this survey. Any improvements buried under snow cover will not be shown.
 - The Special Warranty Deed recorded at Reception No. 467573 confirms that according to Survey Note #6 on the Third Amendment to the Common Ownership Community Plat for the Village at Adams Ranch recorded in Reception No. 379099, Lot OS AR-3 was made subject to an Access and Utility Easement granted for the use and benefit of Lot C-2AR1, which lot was divided into Units AR-53R1, AR-53R2, AR-52R, and AR-51R, to install, use, operate, repair and maintain an access drive and utilities.
 - NOTICE:** According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

Topographic Survey
 Unit AR-51R, The Village at Adams Ranch, and Lot OS AR-3, Town of Mountain Village,
 San Miguel County, Colorado.

Project Mgr:	DB	Rev.	description	date	by
Technician:	NW				
Checked by:	KV, NW				
Start date:	01-19-18				



970-728-6153 970-728-6050 fax
 P.O. BOX 1385
 125 W. PACIFIC, SUITE B-1
 TELLURIDE, COLORADO 81435

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REVISIONS:
5-2-22
5-16-22

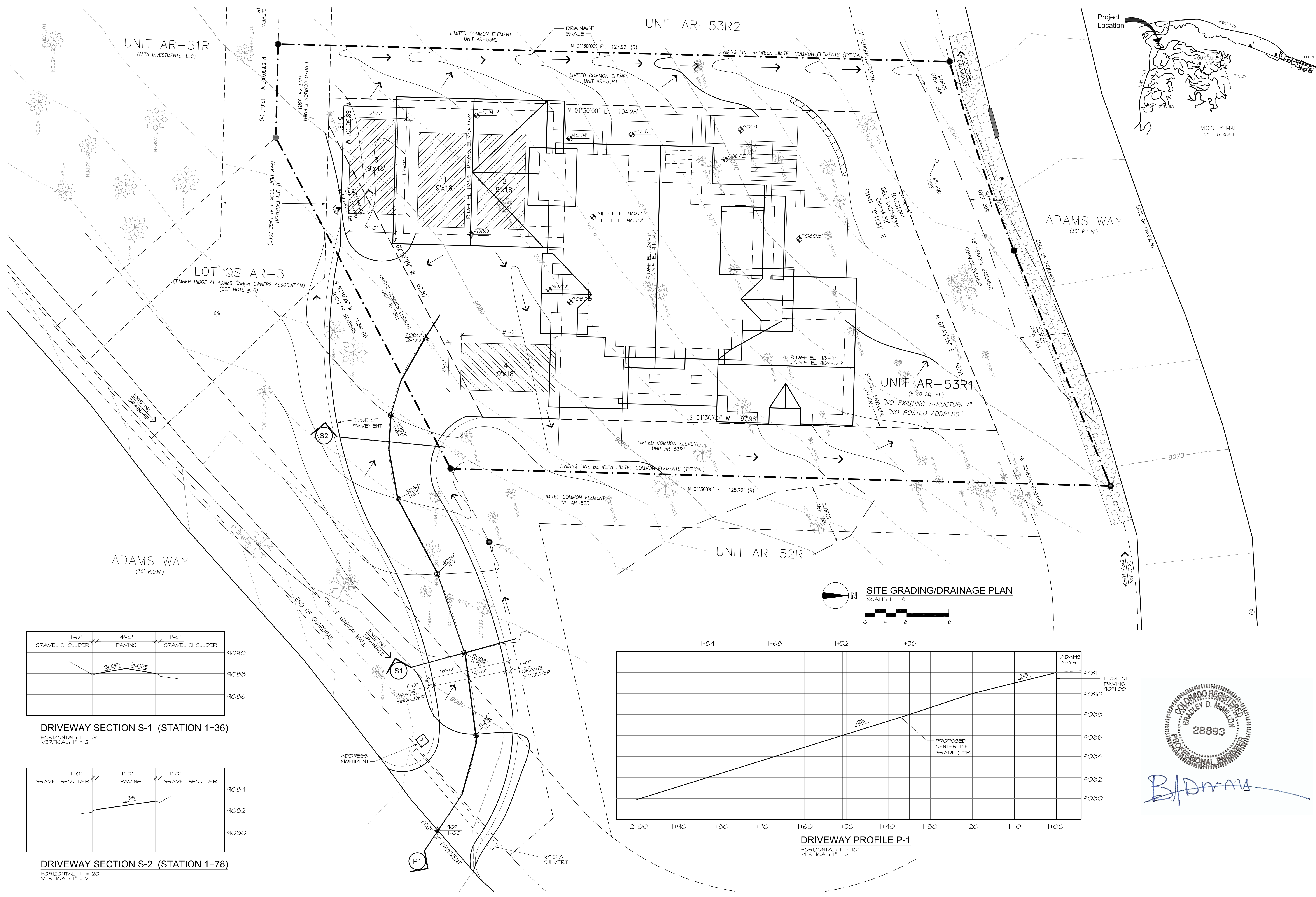
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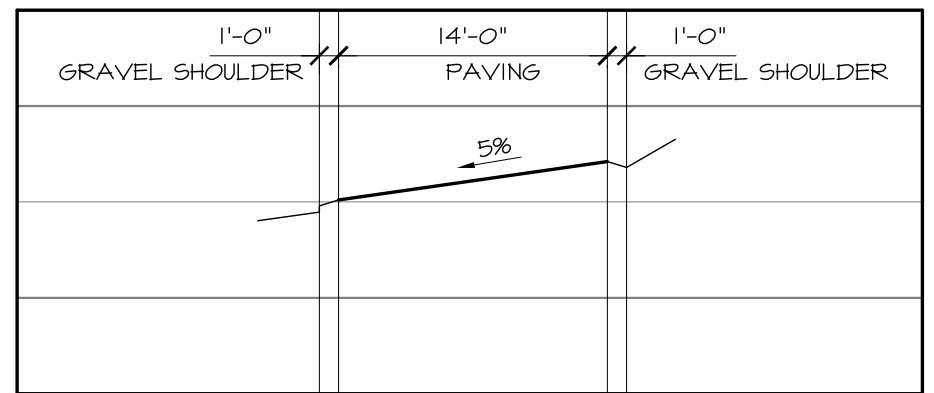
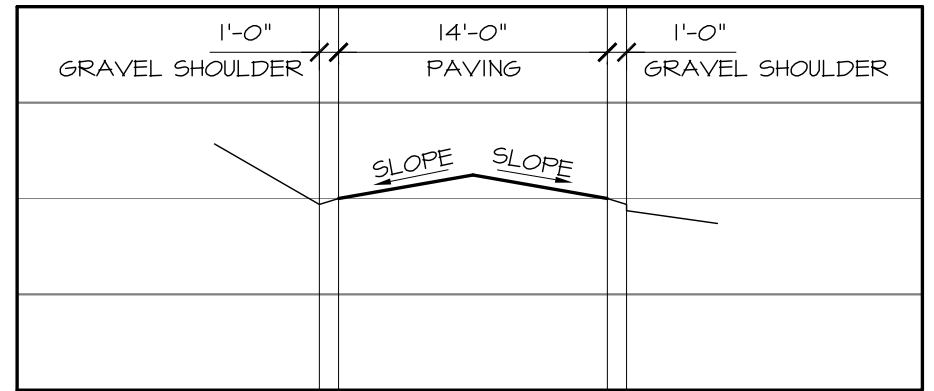
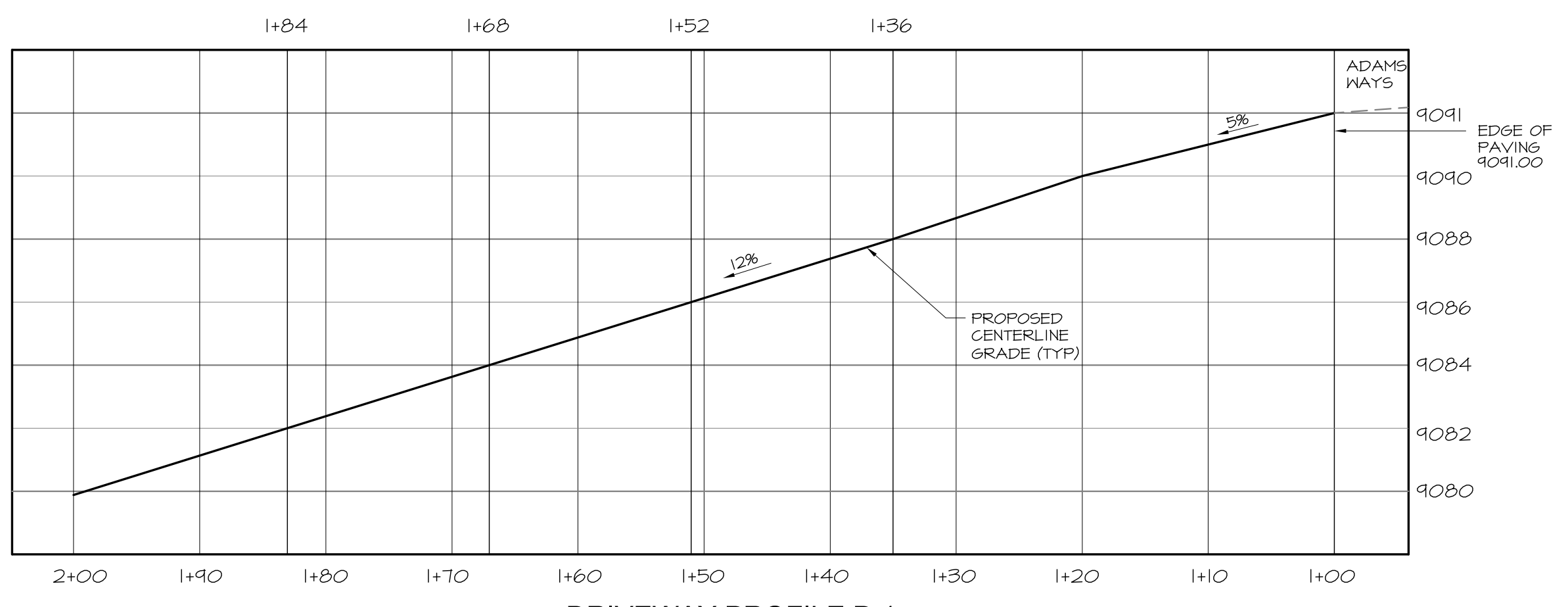
Unit AR-53R1 Timber Ridge at Mountain Village
TBD Adams Way, Mountain Village
San Miguel County, Colorado

DATE:
11.18.21

SHEET
A1.1
Unit AR-53R1



SITE GRADING/DRAINAGE PLAN
SCALE: 1" = 8'



B. D. McMillon

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REVISIONS:
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5-2-22
5-16-22

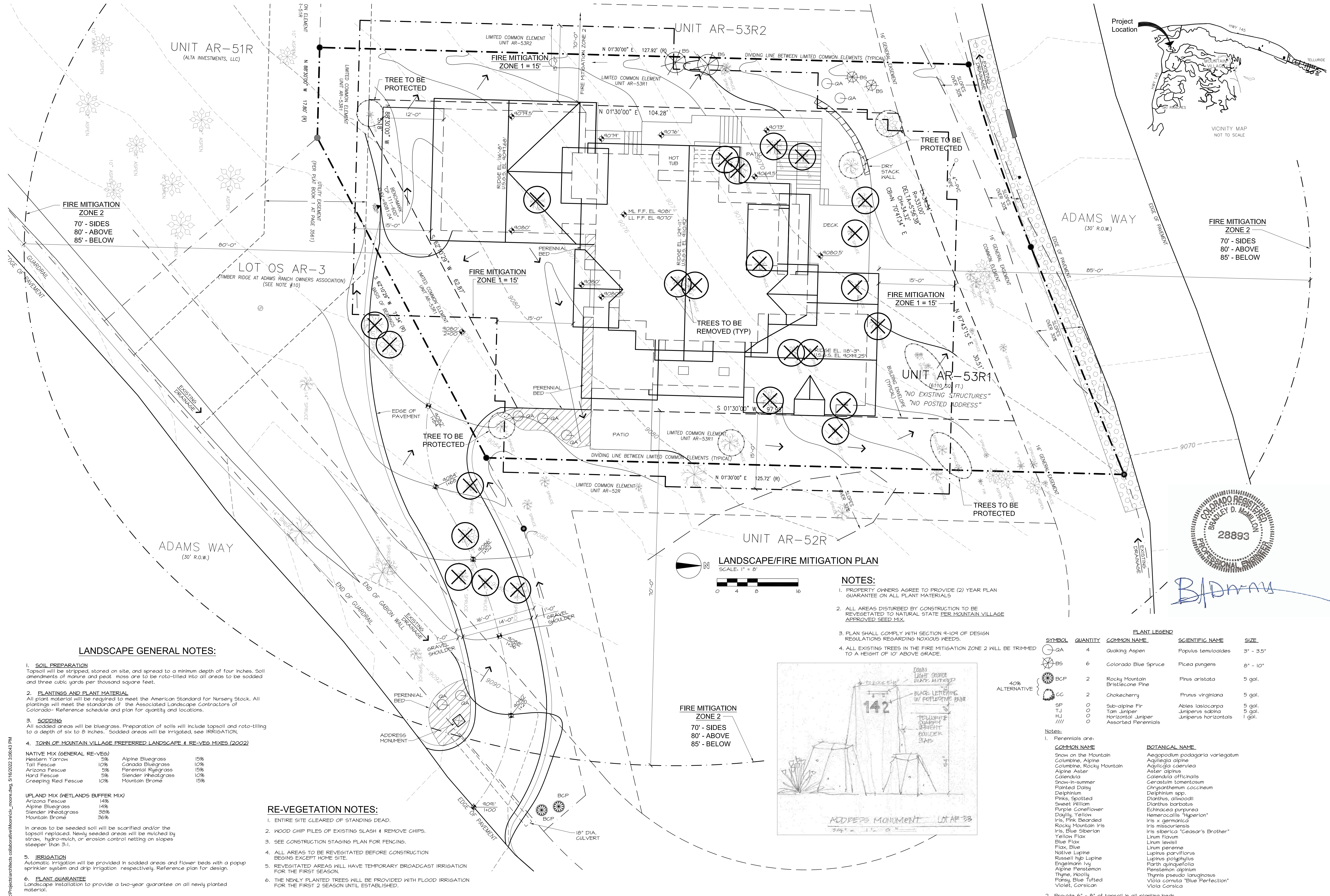
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Unit AR-53R1 Timber Ridge at Mountain Village
TBD Adams Way, Mountain Village
San Miguel County, Colorado

DATE:
11.18.21

SHEET
A1.2
Unit AR-53R1



Bradley D. Hamilton

LANDSCAPE/FIRE MITIGATION PLAN

SCALE: 1" = 8'
0 4 8 16

NOTES:

- PROPERTY OWNERS AGREE TO PROVIDE (2) YEAR PLAN GUARANTEE ON ALL PLANT MATERIALS
- ALL AREAS DISTURBED BY CONSTRUCTION TO BE REVEGETATED TO NATURAL STATE PER MOUNTAIN VILLAGE APPROVED SEED MIX.
- PLAN SHALL COMPLY WITH SECTION 4-104 OF DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.
- ALL EXISTING TREES IN THE FIRE MITIGATION ZONE 2 WILL BE TRIMMED TO A HEIGHT OF 10' ABOVE GRADE.

SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE
GA	4	Quaking Aspen	Populus tremuloides	3" - 3.5"
BS	6	Colorado Blue Spruce	Picea pungens	8" - 10"
BCP	2	Rocky Mountain Bristlecone Pine	Pinus aristata	5 gal.
CC	2	Chokecherry	Prunus virginiana	5 gal.
SP	0	Sub-alpine Fir	Abies lasiocarpa	5 gal.
TJ	0	Tom Juniper	Juniperus sabinia	5 gal.
HJ	0	Horizontal Juniper	Juniperus horizontalis	1 gal.
	0	Assorted Perennials		

Notes:
1. Perennials are:

COMMON NAME	BOTANICAL NAME
Snow on the Mountain	Aegopodium podagraria variegatum
Columbine, Alpine	Aquilegia alpina
Columbine, Rocky Mountain	Aquilegia caerulea
Alpine Aster	Aster alpinus
Calendula	Calendula officinalis
Snow-in-summer	Cerastium tomentosum
Painted Daisy	Chrysanthemum coccineum
Delphinium	Delphinium spp.
Pinks, Spotted	Dianthus alba
Sweet William	Dianthus barbatus
Purple Coneflower	Echinacea purpurea
Dagily Yellow	Hemerocallis "Hyperion"
Iris, Pink Bearded	Iris x germanica
Rocky Mountain Iris	Iris missouriensis
Iris, Blue Siberian	Iris sibirica "Caesar's Brother"
Yellow Flax	Linum flavum
Blue Flax	Linum lewisii
Flax, Blue	Linum perenne
Native Lupine	Lupinus parviflorus
Russell's lup Lupine	Lupinus polyphyllus
Engelmann Ivy	Parth quinquefolia
Alpine Penstemon	Penstemon alpinus
Thyme, Woolly	Thymus pseudo lanuginosus
Pansy, Blue Tinted	Viola cornuta "Blue Perfection"
Violet, Corsican	Viola Corsica

- Provide 6" - 8" of topsoil in all planting beds.
- All trees to be staked and guyed.
- Areas of re-vegetation are to be determined after construction is completed.

LANDSCAPE GENERAL NOTES:

- SOIL PREPARATION**
Topsoil will be stripped, stored on site, and spread to a minimum depth of four inches. Soil amendments of manure and peat moss one to be rototilled into all areas to be sodded and three cubic yards per thousand square feet.
- PLANTINGS AND PLANT MATERIAL**
All plant material will be required to meet the American Standard for Nursery Stock. All plantings will meet the standards of the Associated Landscape Contractors of Colorado - Reference schedule and plan for quantity and locations.
- SODDING**
All sodded areas will be bluegrass. Preparation of soils will include topsoil and rototilling to a depth of six to eight inches. Sodded areas will be irrigated, see IRRIGATION.
- TOWN OF MOUNTAIN VILLAGE PREFERRED LANDSCAPE & RE-VEG MIXES (2002)**

NATIVE MIX (GENERAL RE-VEG)		
Western Yarrow	Alpine Bluegrass	15%
Tall Fescue	Canada Bluegrass	10%
Arizona Fescue	Perennial Ryegrass	15%
Hard Fescue	Slender Wheatgrass	10%
Creeping Red Fescue	Mountain Brome	15%

UPLAND MIX (NETLANDS BUFFER MIX)		
Arizona Fescue	14%	
Alpine Bluegrass	14%	
Slender Wheatgrass	36%	
Mountain Brome	36%	

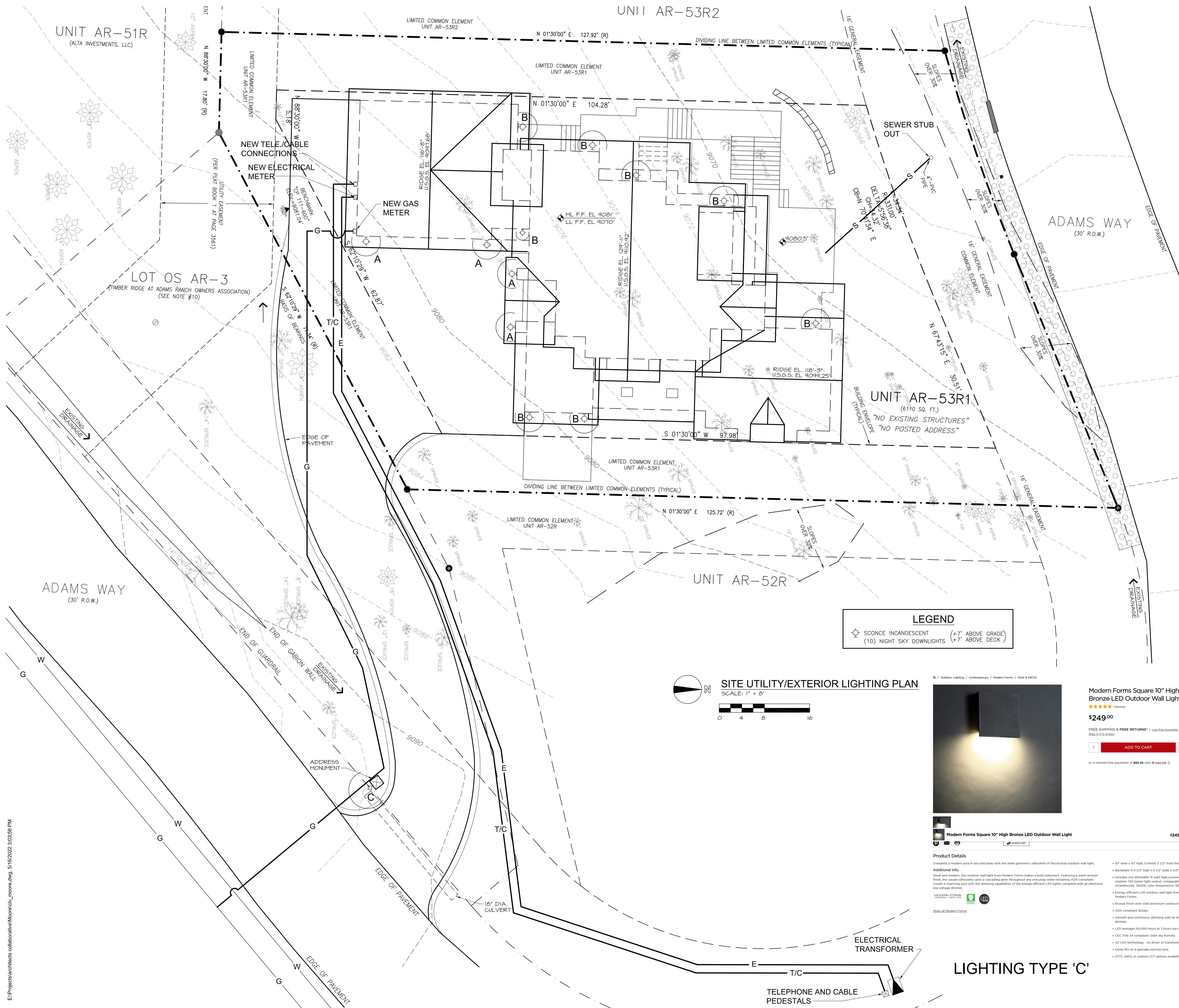
In areas to be seeded soil will be scarified and/or the topsoil replaced. Newly seeded areas will be mulched by straw, hydro-mulch, or erosion control netting on slopes steeper than 3:1.

- IRRIGATION**
Automatic Irrigation will be provided in sodded areas and flower beds with a pop up sprinkler system and drip irrigation respectively. Reference plan for design.
- PLANT GUARANTEE**
Landscape installation to provide a two-year guarantee on all newly planted material.

RE-VEGETATION NOTES:

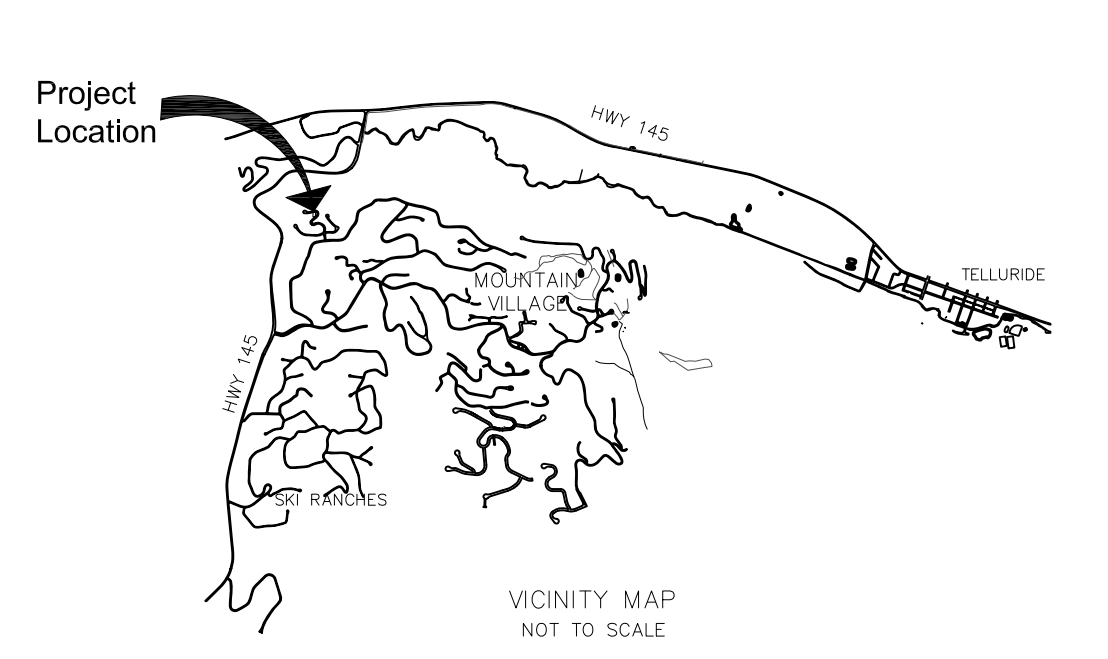
- ENTIRE SITE CLEARED OF STANDING DEAD.
- WOOD CHIP PILES OF EXISTING SLASH & REMOVE CHIPS.
- SEE CONSTRUCTION STAGING PLAN FOR FENCING.
- ALL AREAS TO BE REVEGETATED BEFORE CONSTRUCTION BEGINS EXCEPT HOME SITE.
- REVEGETATED AREAS WILL HAVE TEMPORARY BROADCAST IRRIGATION FOR THE FIRST SEASON.
- THE NEWLY PLANTED TREES WILL BE PROVIDED WITH FLOOD IRRIGATION FOR THE FIRST 2 SEASON UNTIL ESTABLISHED.

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LEGEND
 ○ SCENCE INCANDESCENT (+7' ABOVE GRADE)
 ○ (10) NIGHT SKY DOWNLIGHTS (+7' ABOVE DECK)

SITE UTILITY/EXTERIOR LIGHTING PLAN
 SCALE: 1" = 8'
 0 4 8 16



Danbury 7 1/2" High Black Dark Sky LED Outdoor Wall Light Set of 2
 \$129.99
 Comparable Value \$259.99
 or 4 interest-free payments of \$32.50 with @sezzle (0)
 FREE SHIPPING & FREE RETURNS*
 SHIPS TODAY! (orders by 3 PM Hours)
 ADD TO CART SAVE

Product Details
 A set of two energy efficient LED outdoor wall lights in a Dark Sky friendly presentation.
Additional Info:
 Inspired by modern industrial and barn light designs, this set of 2 outdoor wall lights comes in a durable steel frame, painted black for a classic look. They feature a wide shade that directs light downward, making this a Dark Sky-friendly design. The built-in LED light source within offers long-lasting, energy-saving technology for a modern world.
 Each is 8 3/4" wide x 7 1/2" high. Extends 10 1/2" from the wall. Backplate is 6 3/4" high x 4 3/4" wide. Weighs 1.91 lbs.
 Each has a built-in 10 watt non-dimmable LED 790 lumens, comparable to a 60 watt incandescent. 3000K color temperature. 90 CRI.
 Set of two outdoor wall lights from the Danbury collection by John Timberland®. Dark Sky friendly. Wet location outdoor rated.
 Black finish steel construction. Non-glass design. Wide shade that opens at the bottom.
 LED averages 30,000 hours at 3 hours per day.

LIGHTING TYPE 'A'

Cylinder 3000K LED 7" Wall Light Textured Architectural Bronze

SPECIFICATIONS	
Certifications/Qualifications	
Class 2	Yes
Dark Sky Compliant	Yes
FDA 24 Compliant	Yes
www.lscholar.com/entry/entry	
Dimensions	
Base Backplate	5.00 X 5.00
Extension	6.50"
Weight	1.95 LBS
Height from center of Wall opening	3.00"
(Spec Sheet)	
Height	7.00"
Width	5.00"
Electrical	
Input Voltage	Dual (120/140V)
Light Source	
Delivered Lumens	350
Expected Life Span (Hours)	40000
Lamp Included	Integrated
Light Source	LED
Max or Nominal Watt	11W
# of Bulb LED Modules	1
Mounting/Installation	
Interior/Exterior	Exterior
Location Rating	Wet
Mounting Style	Wall Mount
Performance	
Color Rendering Index	90
Color Temperature Range	3000
Kelvin Temperature	3000K
FIXTURE ATTRIBUTES	
Mounting	
Primary Material	Aluminum
Product/Ordering Information	
SKU	11260A2730
Finish	Textured Architectural Bronze
Style	Contemporary
UPC	783927403059

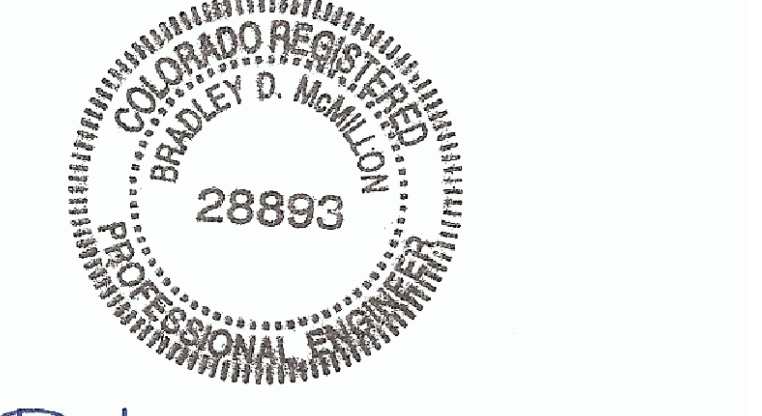


LIGHTING TYPE 'B'

Modern Forms Square 10" High Bronze LED Outdoor Wall Light
 ★★★★★ 1 Review
 \$249.00
 FREE SHIPPING & FREE RETURNS* 1 Lux Dark Bronze
 ADD TO CART SAVE

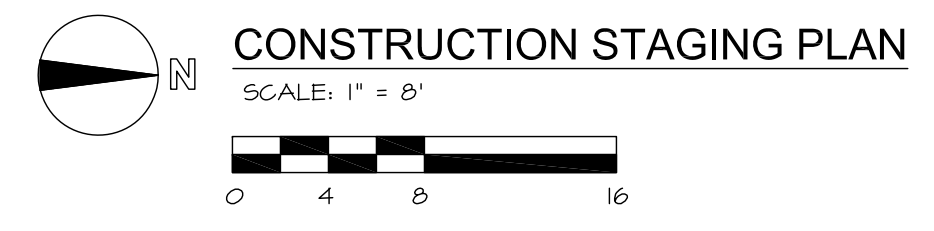
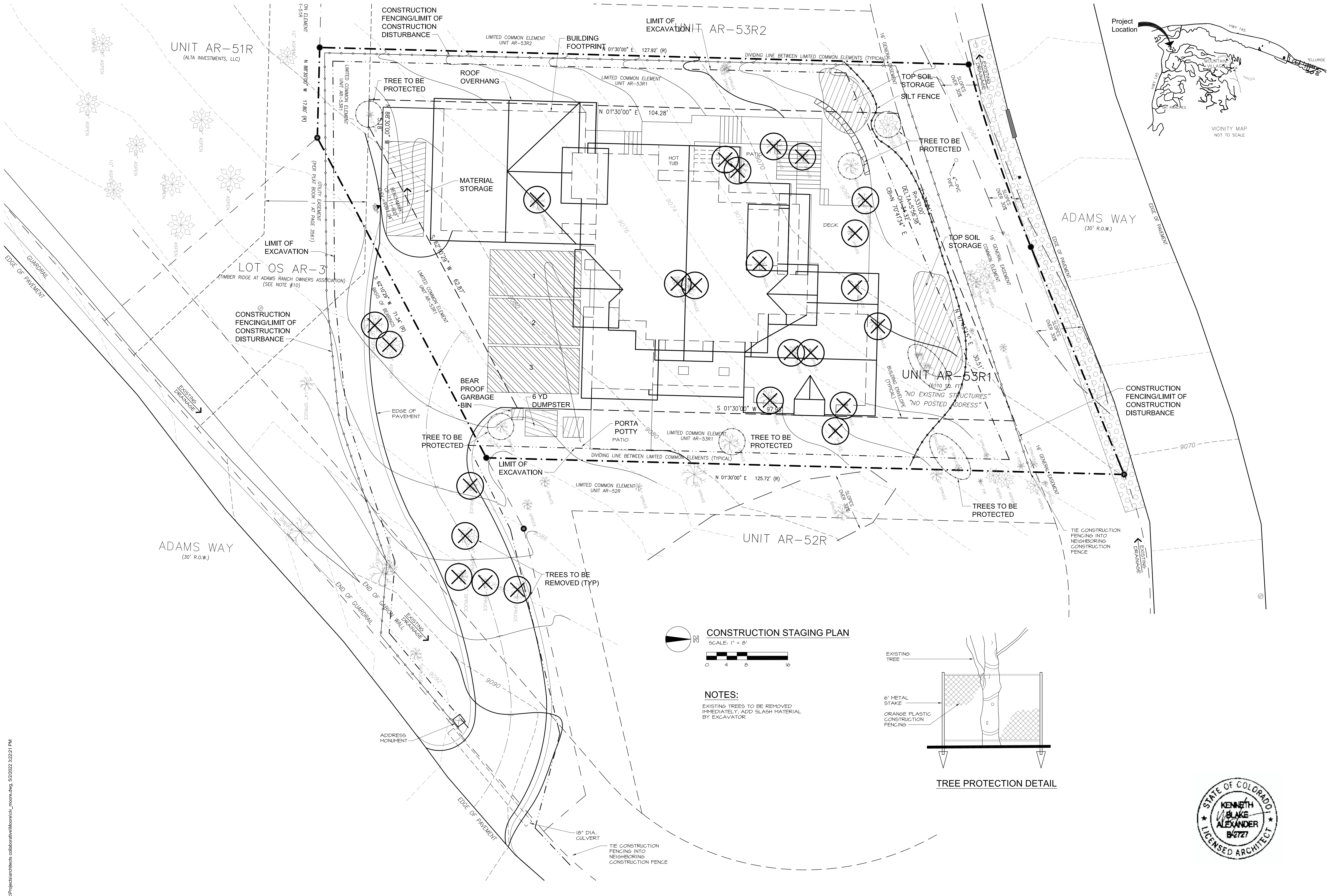
Product Details
 Consider a modern aura in any entryway with the sleek geometric silhouette of this bronze outdoor wall light.
Additional Info:
 Sleek and modern, this outdoor wall light from Modern Forms makes a bold statement. Featuring a warm bronze finish, the square silhouette casts a cascading glow throughout any entryway while ensuring ADA compliance. Create a charming aura with the dimming capabilities of the energy-efficient LED lights, complete with an electronic low-voltage driver.
 10" wide x 10" high. Extends 2 1/2" from the wall.
 Backplate is 9 1/2" high x 9 1/2" wide x 3/4" deep.
 Includes one dimmable 16-watt high-powered color-tunable LED module. 720 lumens light output. Comparable to a 60-watt incandescent. 3000K color temperature. 90 CRI.
 Energy-efficient LED outdoor wall light from the Square collection by Modern Forms.
 Bronze finish over solid aluminum construction.
 ADA compliant design.
 Smooth and continuous dimming with an electronic low-voltage dimmer.
 LED averages 50,000 hours at 3 hours per day.
 CEC Title 24 compliant. Dark sky friendly.
 AC LED technology - no driver or transformer required.
 Easy fit on a standard junction box.
 277V 240V or custom CCT options available by special order.

LIGHTING TYPE 'C'

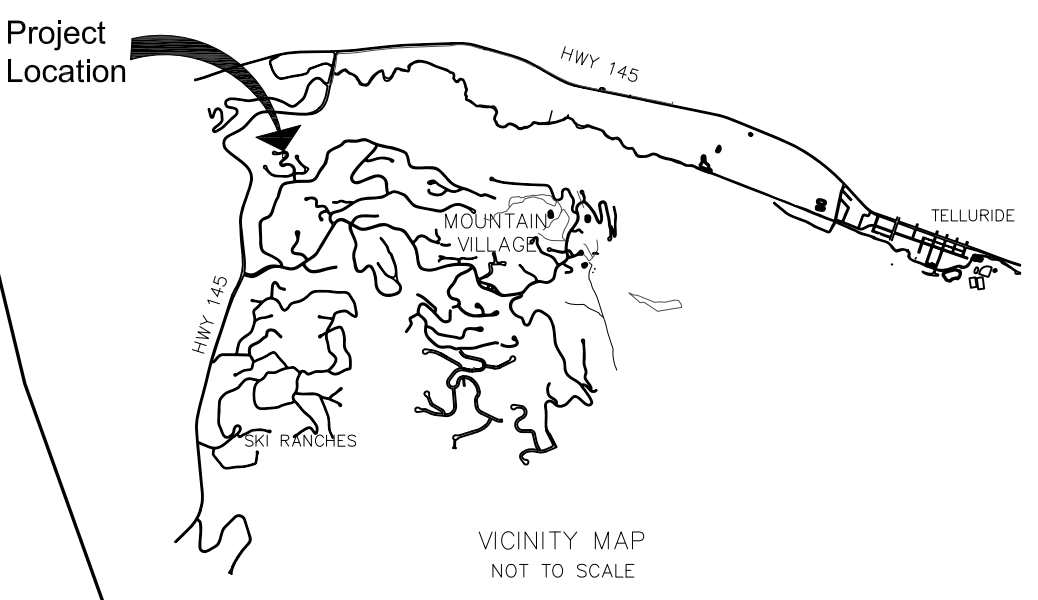
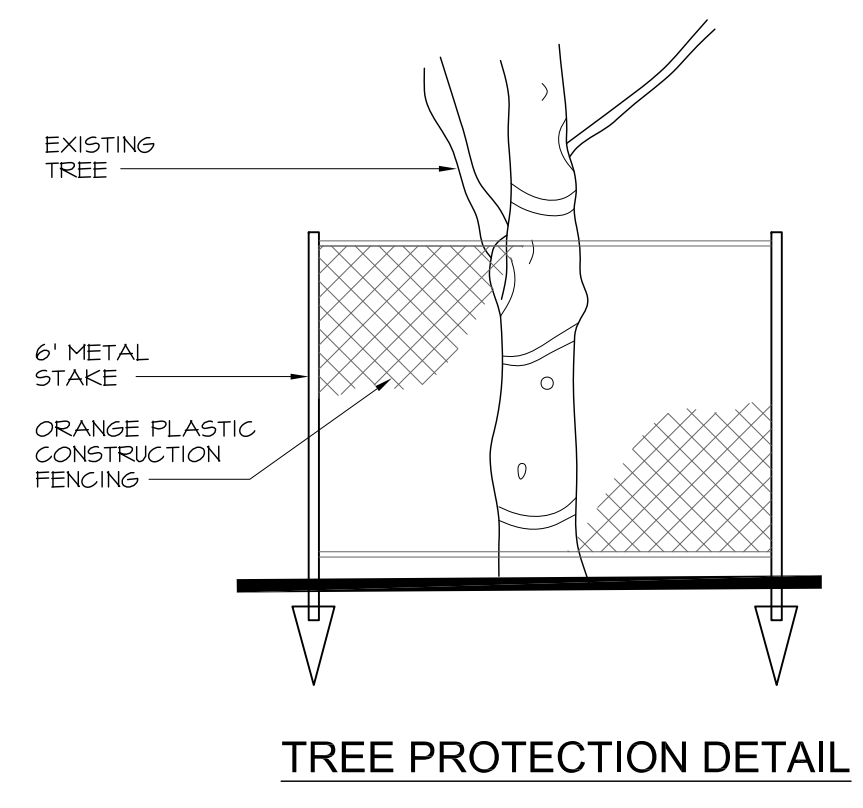


Bradley D. McMillan

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NOTES:
 EXISTING TREES TO BE REMOVED IMMEDIATELY, ADD SLASH MATERIAL BY EXCAVATOR



REVISIONS:
 4-15-22
 5-2-22

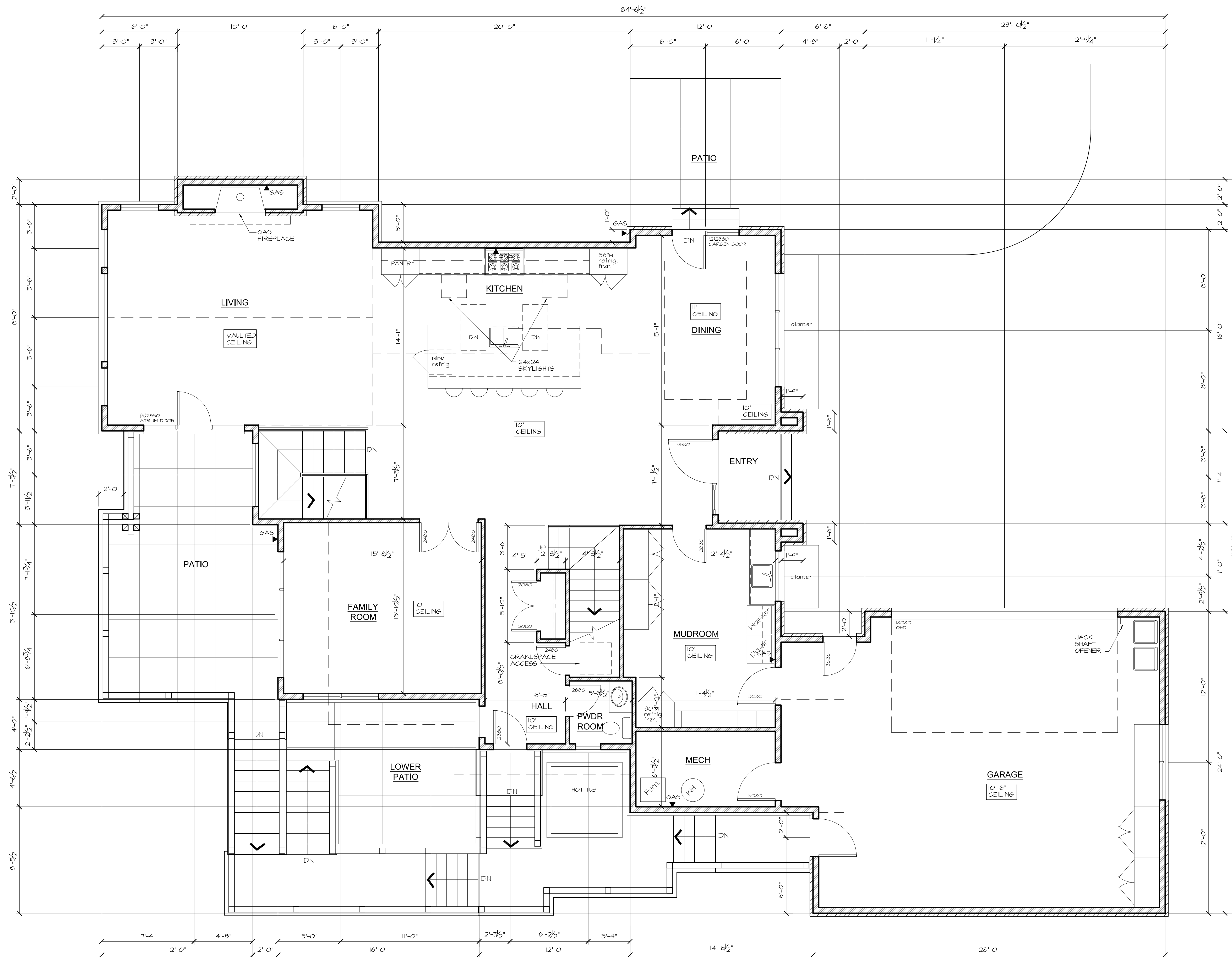
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Unit AR-53R1 Timber Ridge at Mountain Village
 TBD Adams Way, Mountain Village
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DATE:
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SHEET
 A1.4
 Unit AR-53R1



FLOOR PLAN - MAIN LEVEL
SCALE: 1/4" = 1'-0"

SQ. FOOTAGE CALCULATIONS	
LOWER LEVEL	1,202 s.f.
MAIN LEVEL (EXCLUDING GARAGE/MECH)	1,735 s.f.
GARAGE/MECH	713 s.f.
UPPER LEVEL	1,068 s.f.
TOTAL LIVING SPACE	4,005 s.f.
TOTAL BUILDING	4,778 s.f.

ROOM	SIZE	SWING	JAMB
LOWER LEVEL			
1. Bunk room	2'-8" x 8'-0"	RH	3 1/2"
2. Bunk room	(2) 3'-0" x 8'-0" Bypass		3 1/2"
3. Bath #4	2'-6" x 8'-0"	LH	3 1/2"
4. Bath 5	2'-6" x 8'-0"	RH	3 1/2"
5. Bath 5	2'-6" x 8'-0"	RH	3 1/2"
6. Stair	2'-6" x 8'-0"	LH	3 1/2"
7. G. Master bdrm.	2'-8" x 8'-0"	LH	3 1/2"
8. G. Master bath	2'-6" x 8'-0"	LH	3 1/2"
9. G. Master Linen	2'-4" x 8'-0"	RH	3 1/2"
10. G. Master Toilet	2'-6" x 8'-0"	LH	3 1/2"

MAIN LEVEL			
11. Mud Room	2'-8" x 8'-0"	LH	3 1/2"
12. Mud/Garage	3'-0" x 8'-0"	LH	3 1/2"
13. Mechanical	3'-0" x 8'-0"	LH	3 1/2"
14. Hall Closet	(2) 2'-6" x 8'-0"		3 1/2"
15. Powder Room	2'-6" x 8'-0"	LH	3 1/2"
16. Family Room	2'-4" x 8'-0"		3 1/2"

UPPER LEVEL			
17. Master Bedroom	3'-0" x 8'-0"	LH	3 1/2"
18. Walk in closet	2'-6" x 8'-0"	LH	3 1/2"
19. Master bath	2'-6" x 8'-0"	RH	3 1/2"
20. M. Bath Linen	(2) 2'-0" x 8'-0"		3 1/2"
21. Toilet	2'-6" x 8'-0"	LH	3 1/2"
22. Bedroom 3	2'-8" x 8'-0"	RH	3 1/2"
23. Walk in closet	2'-6" x 8'-0"	LH	3 1/2"
24. Bath 3	2'-6" x 8'-0"	LH	3 1/2"

WINDOW SCHEDULE LOT AR-53 MOORE RESIDENCE

ROOM	WINDOW SIZE	QUANTITY	NOTES
LOWER LEVEL			
Media Room	6496A	(1)	Atrium RH/Temp.
Bunk room	(2)3672C	(1)	RH/LH
Bathroom #4	2424A	(1)	Temp
G. Master	3666C	(2)	RH/LH
G. Master	8466F	(1)	Fixed
MAIN LEVEL			
Mud room	(2)2448C	(1)	RH/LH
Garage	(2)3648C	(1)	RH/LH
Garage	3696FD	(1)	RH
Dining	3674C/4874F/3674C	(1)	RH/Fixed/LH mulled
Dining Room	(2)3296	(1)	RH/ Atrium
Powder rm	2424A	(1)	Temp.
Hall	3296FD	(1)	Temp.
Hall	3048C	(1)	LH
Family room	(2)3660C	(1)	LH/RH
Family room	3660C/4860F/3660C	(1)	RH/Fixed/LH
Stair	6096F	(1)	Temp.
Living room	3684C	(2)	RH/LH
Living room	8484F	(1)	
Living room	3630T	(2)	Opposite hand traps
Living room	8472T	(1)	Center trap
Living room	3684C	(2)	RH/LH
Living room	(3)3296A	(1)	Atrium Center door LH
UPPER LEVEL			
Master Bath	(2)3660C	(1)	
Bedroom 3	(2)3048C	(1)	
Bathroom 3	2442C	(1)	LH
Hall	(2)2466C	(1)	
M. Bedroom	3066C	(1)	RH
M. Bedroom	(2)3666C	(1)	
M. Bedroom	3066C	(1)	RH
M. Bedroom	3666C/4866F/3666C	(1)	RH/Fixed/LH
M. Bedroom	3618T/4819T/3618T	(1)	Transom windows mulled
Stairs	6072F	(1)	
Master Tub	(2)3060C	(1)	RH/LH

Windows to be Marvin Integrity series Black Fiberglass inside and out.



REVISIONS:
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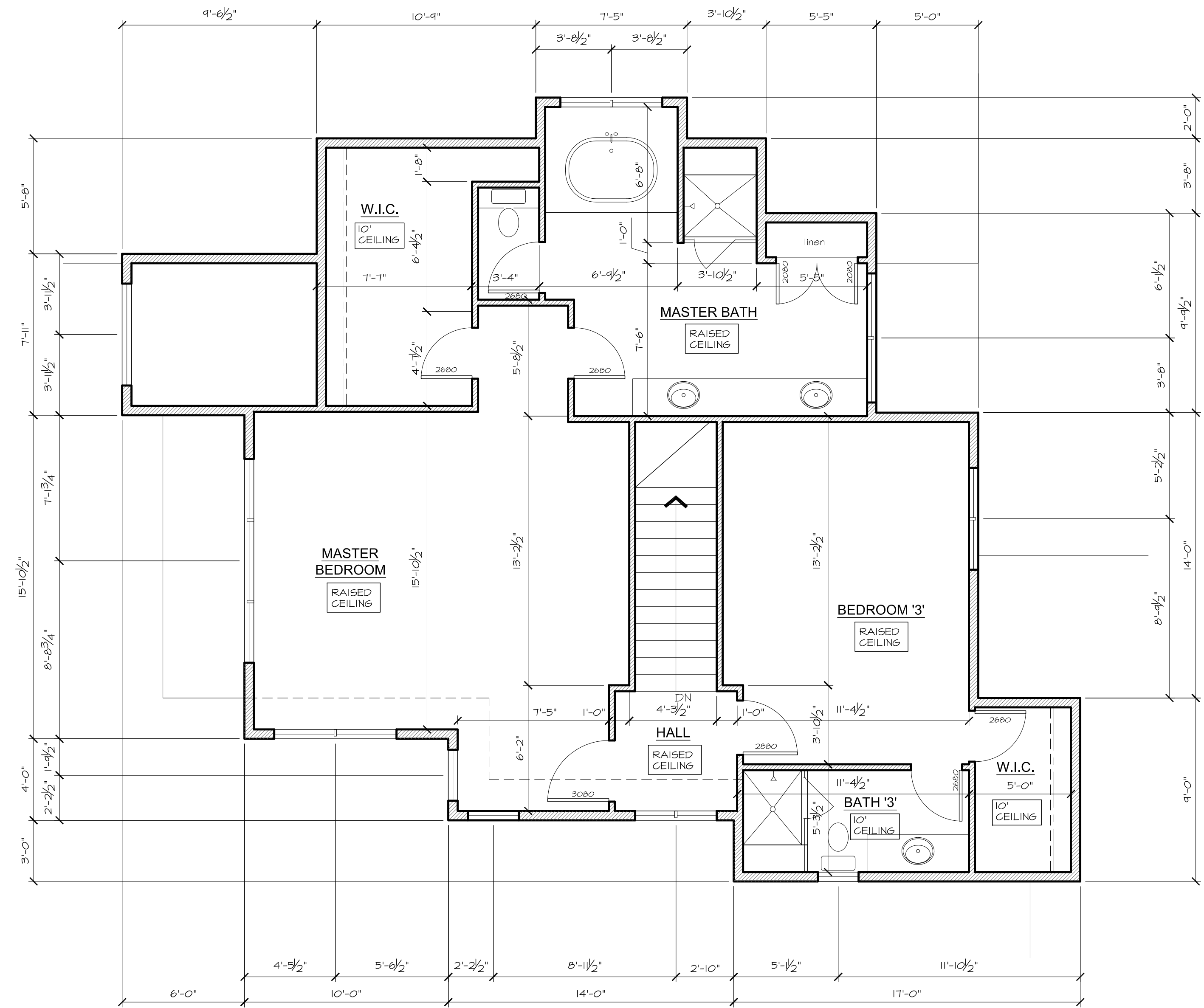
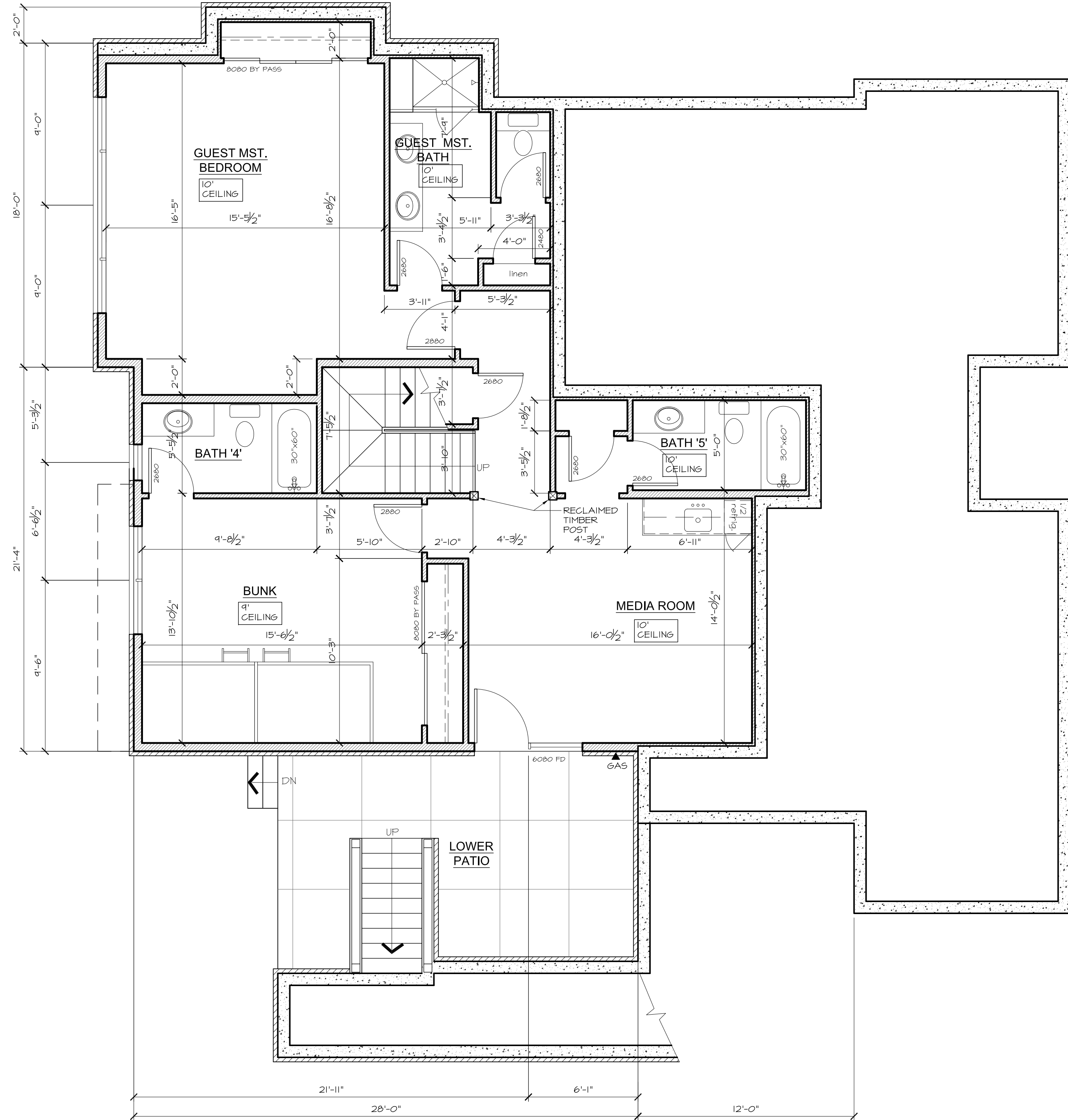
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Unit AR-53R1 Timber Ridge at Mountain Village
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Unit AR-53R1



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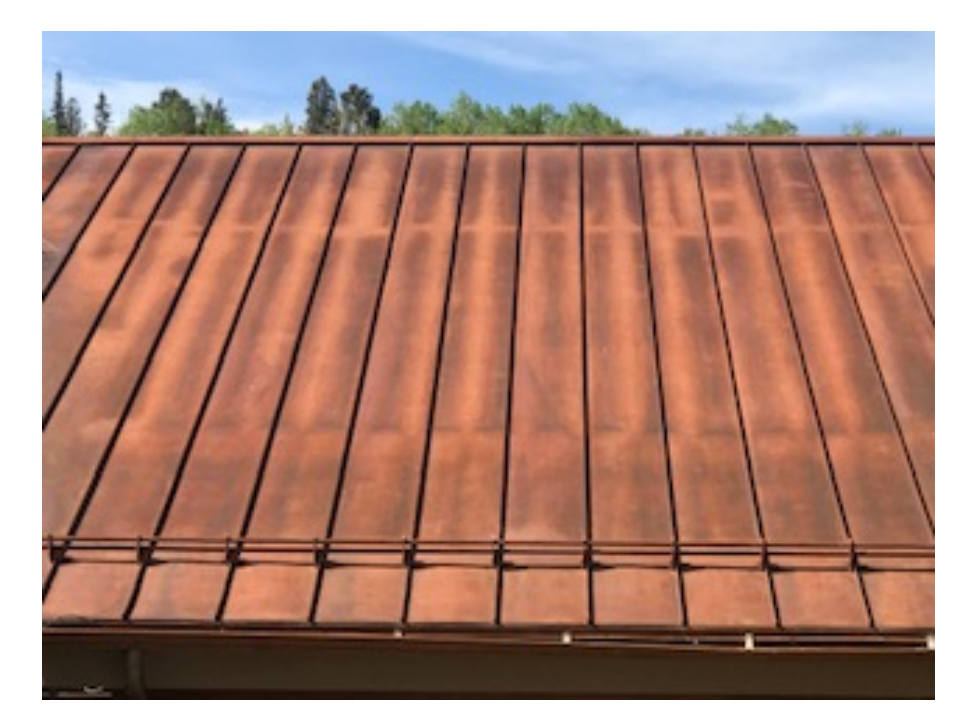
ELEVATION - SOUTH
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RUSTED CORRUGATED SIDING



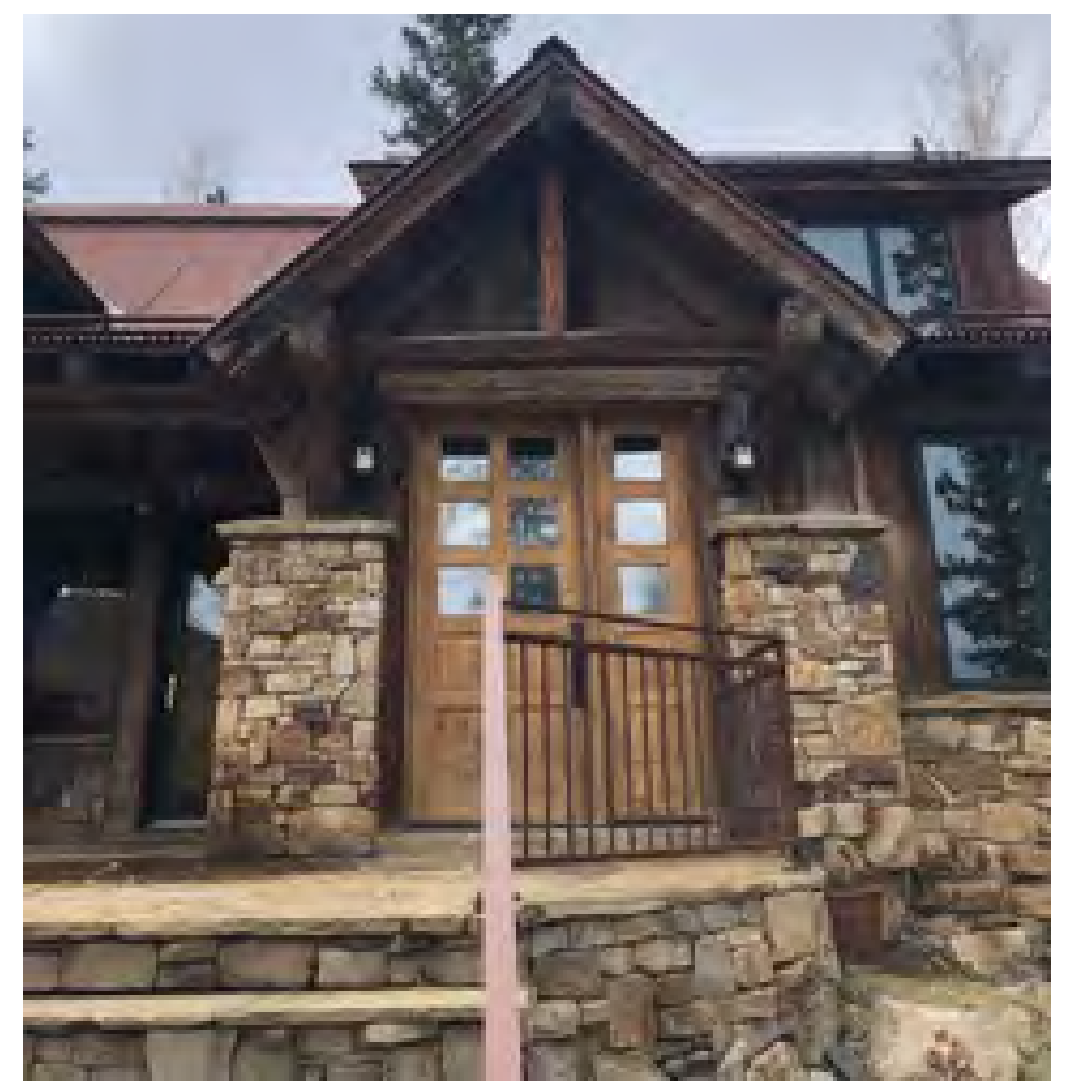
RUSTED 24x48 METAL PANELS



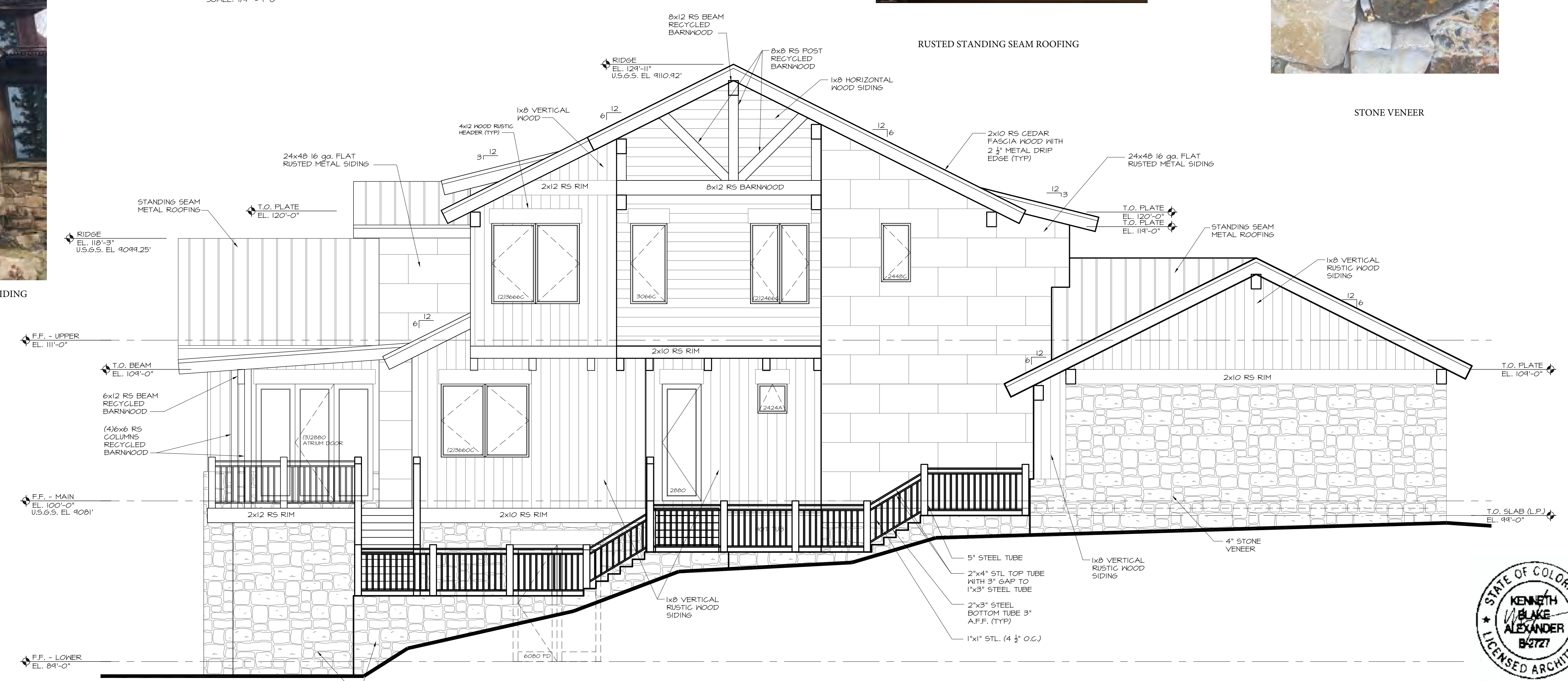
RUSTED STANDING SEAM ROOFING



STONE VENEER



RECYCLED BARNWOOD BEAM, COLUMN AND SIDING



ELEVATION - WEST
SCALE: 1/4" = 1'-0"



REVISIONS:

12-3-21
12-6-21
12-10-21
12-16-21
12-31-21
3-16-22
4-15-22
5-2-22

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Unit AR-53R1 Timber Ridge at Mountain Village
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Unit AR-53R1



WINDOW AND DOOR MATERIALS - MARVIN

HIGH-DENSITY FIBERGLASS



A material with a high concentration of fiberglass and a strong resin, High-Density Fiberglass is a revolutionary material that echoes the look of other modern materials but with better thermal efficiency. In our Marvin Modern product line, High-Density Fiberglass is used on the exterior of the windows and

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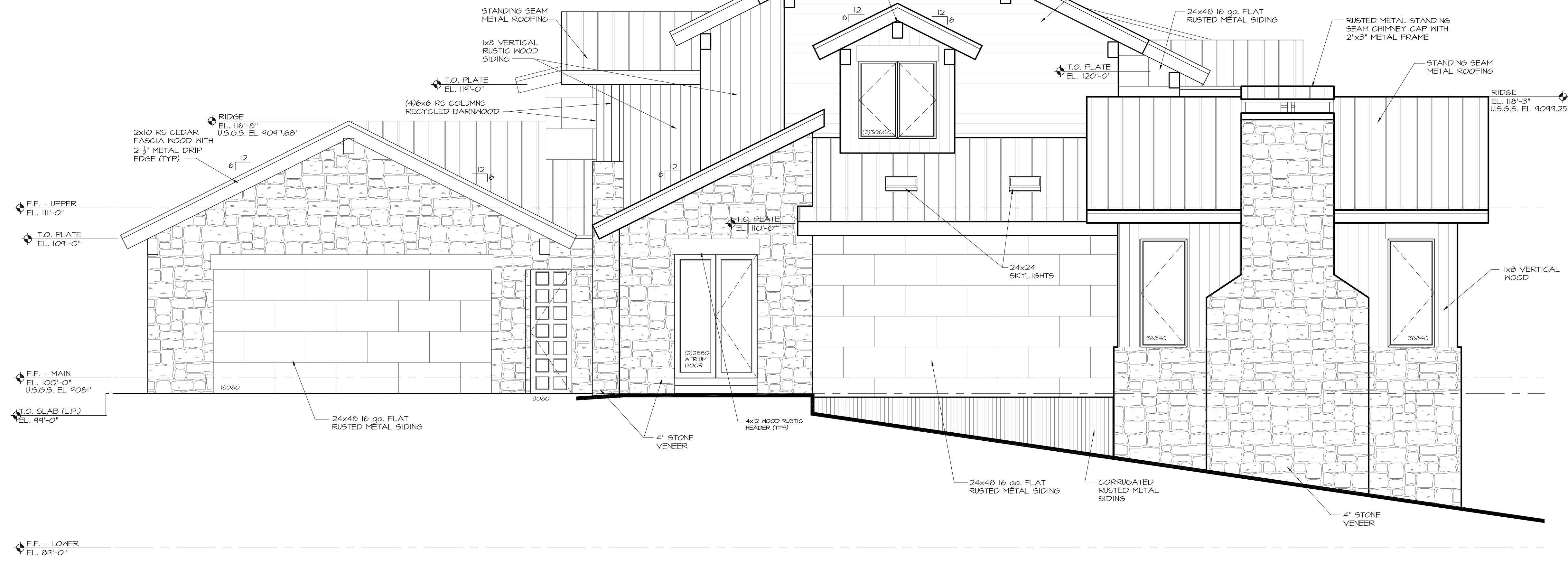
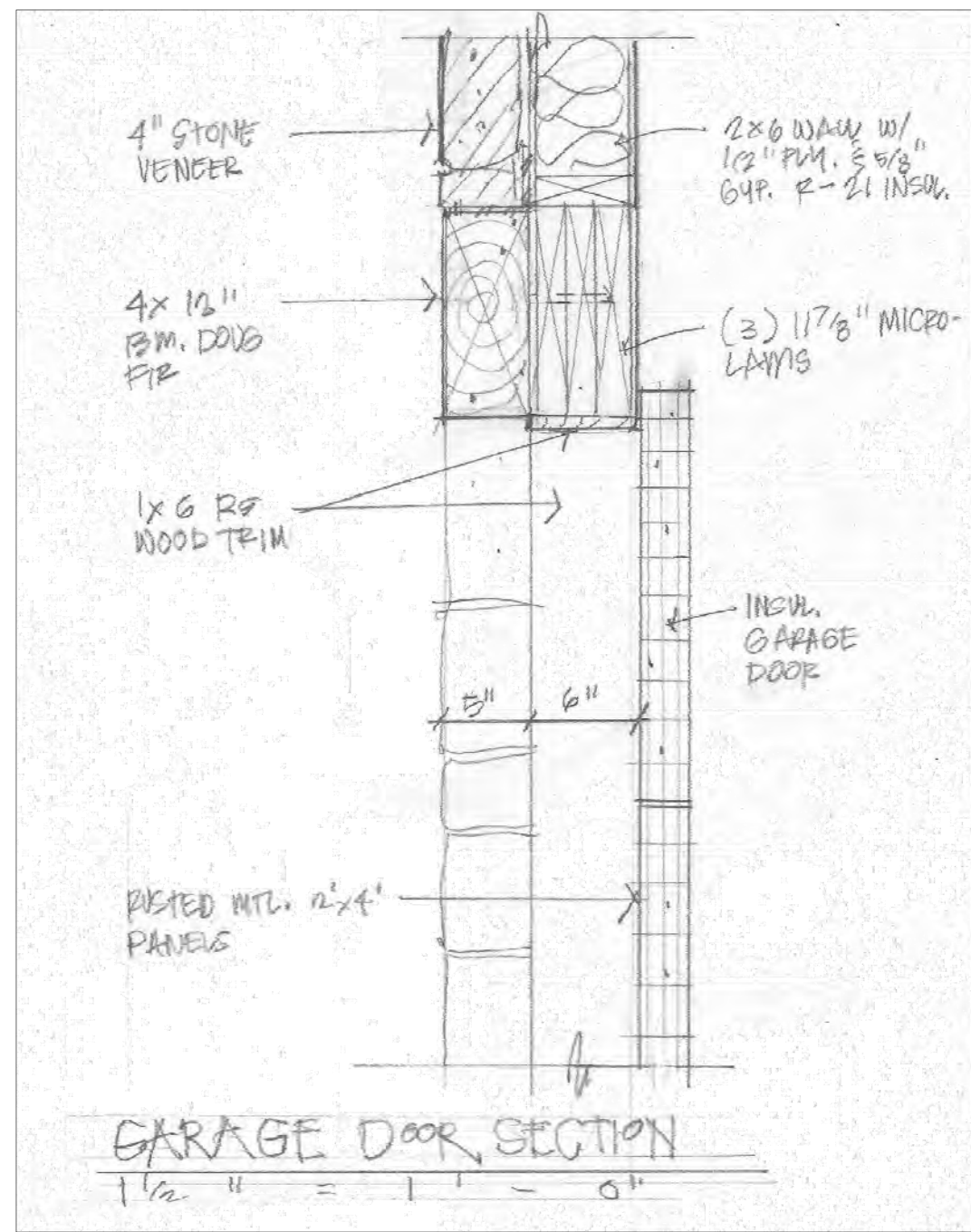
Why Marvin



- at a rate comparable to that of glass to help maintain performance over time
- Maintains shape and thermal performance even in demanding climates
- Enables proprietary frame design that offers strength and performance even at expansive sizes

The Marvin Materials Difference: High-Density Fiberglass

We believe that modern windows and doors should perform better, so we developed a High-Density Fiberglass and patent-pending frame design for our Marvin Modern product line that reimagines how products in this size and style can perform. From exterior to interior, a solid piece of High-Density Fiberglass forms our unique new frame, which requires no additional material to aid in its thermal performance—a departure from our thermally broken competitors. Finished seamlessly to the interior with aluminum, we're able to deliver exceptional thermal performance to enable strength at large sizes while preserving desirably narrow sight lines.



REVISIONS:

12-3-21
12-10-21
12-16-21
3-16-22
5-16-22
6-22-22

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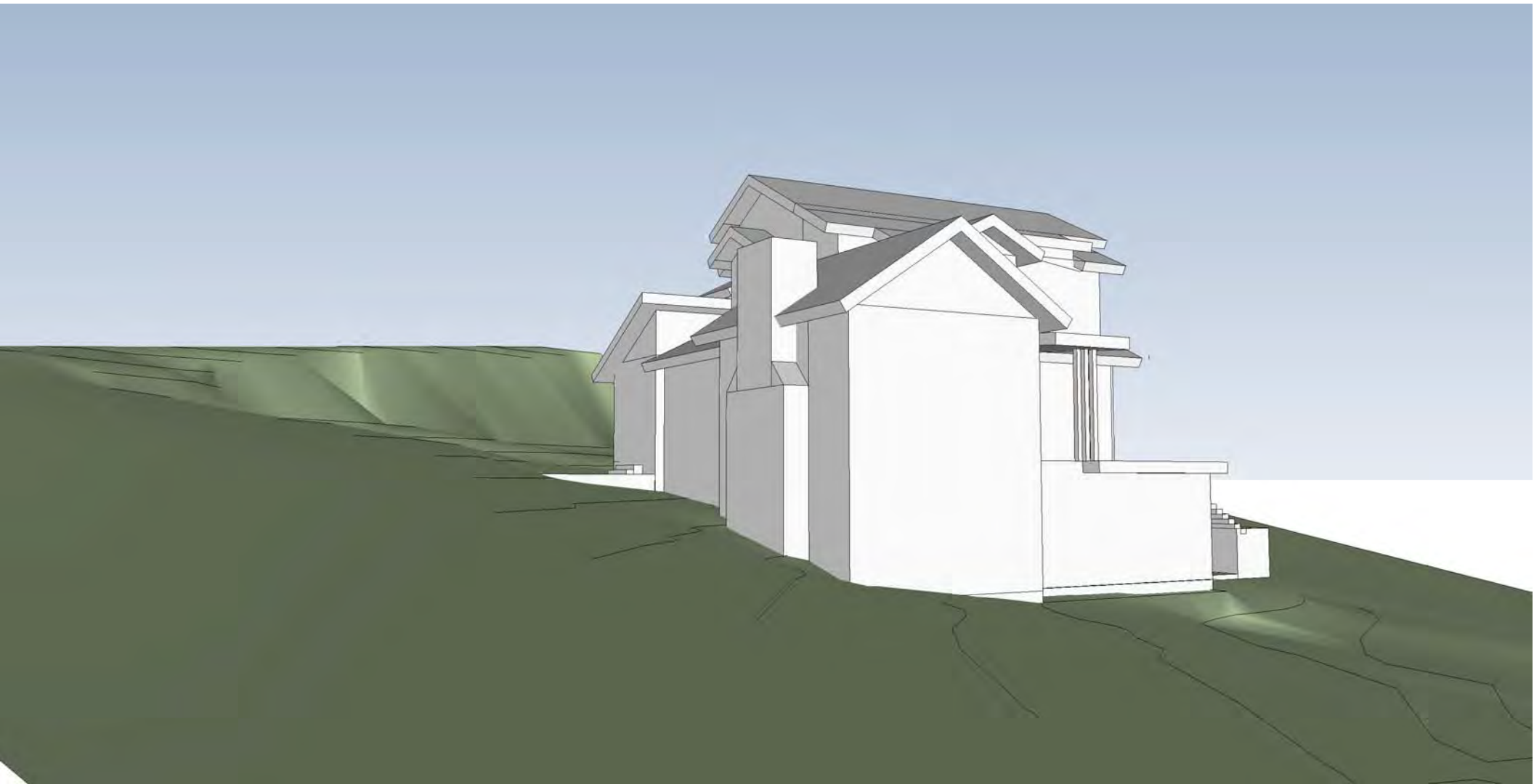
Unit AR-53R1 Timber Ridge at Mountain Village
TBD Adams Way, Mountain Village
San Miguel County, Colorado

DATE:
11.18.21

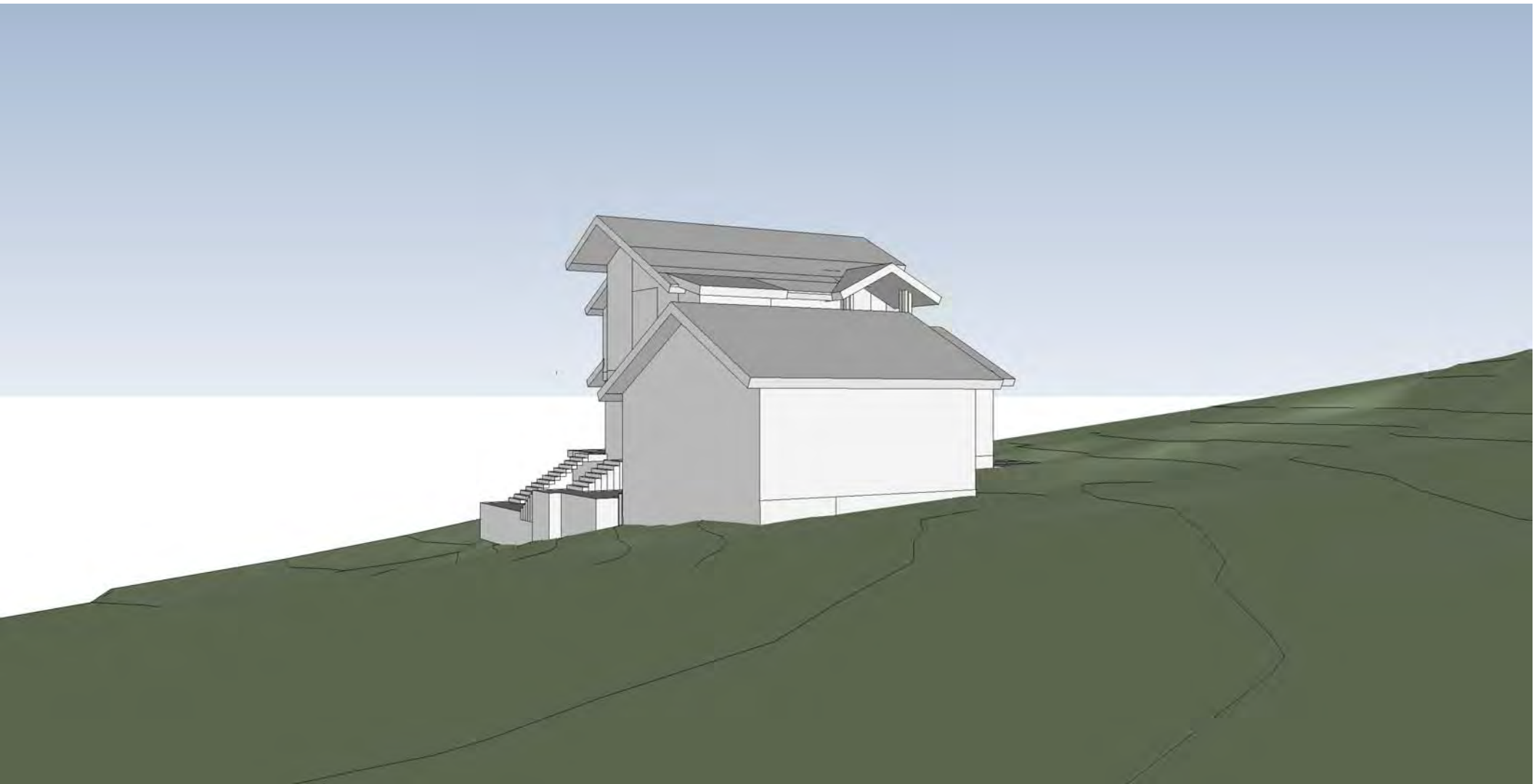
SHEET
A3.2
Unit AR-53R1

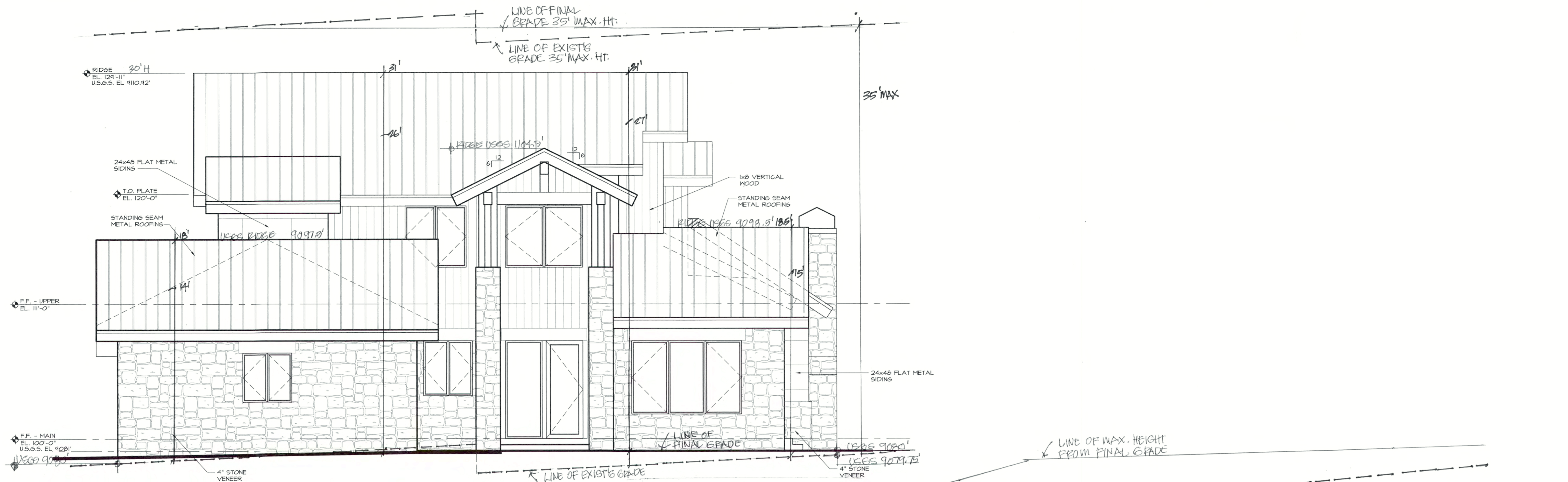
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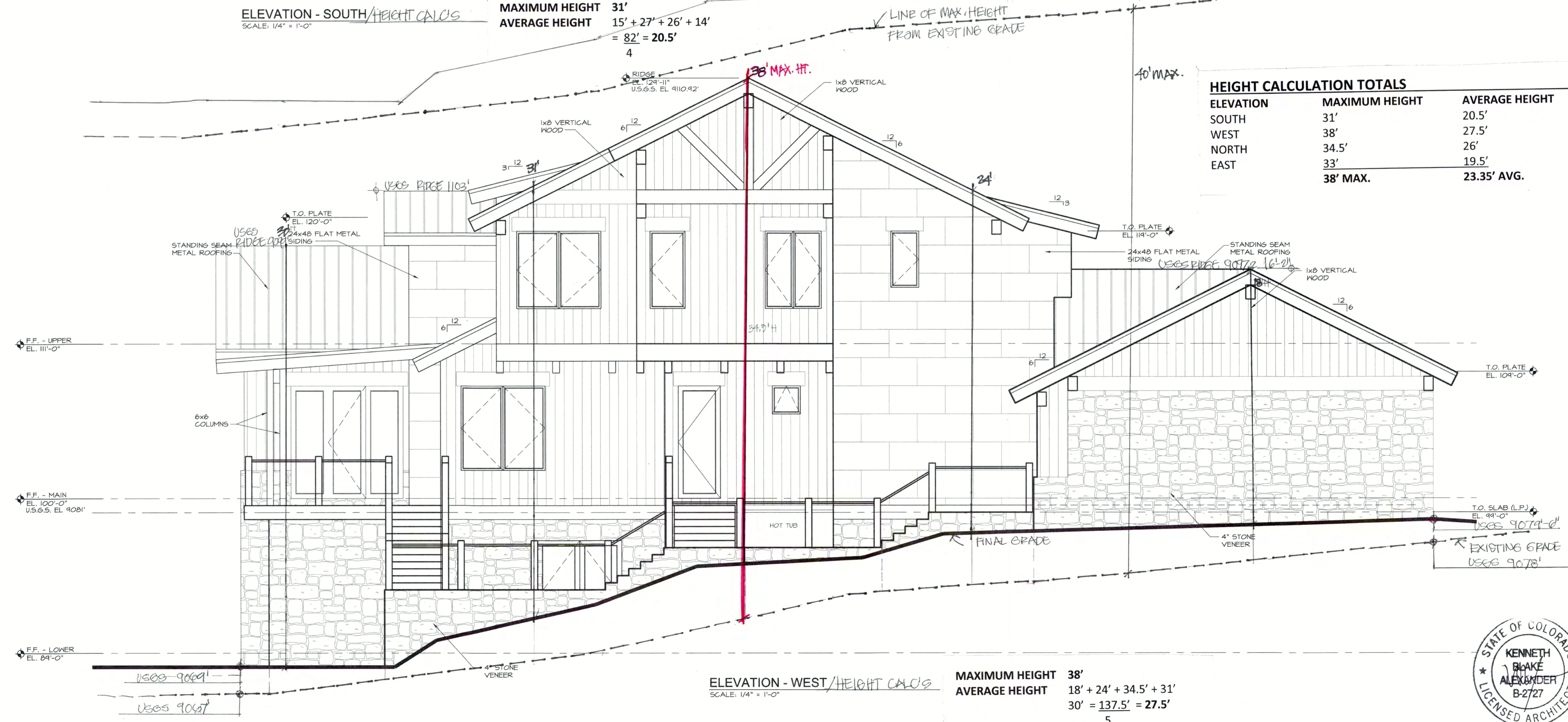


ELEVATION - SOUTH/HEIGHT CALC'S
SCALE: 1/4" = 1'-0"

MAXIMUM HEIGHT 31'
AVERAGE HEIGHT $15' + 27' + 26' + 14' = \frac{82'}{4} = 20.5'$

HEIGHT CALCULATION TOTALS

ELEVATION	MAXIMUM HEIGHT	AVERAGE HEIGHT
SOUTH	31'	20.5'
WEST	38'	27.5'
NORTH	34.5'	26'
EAST	33'	19.5'
	38' MAX.	23.35' AVG.



ELEVATION - WEST/HEIGHT CALC'S
SCALE: 1/4" = 1'-0"

MAXIMUM HEIGHT 38'
AVERAGE HEIGHT $18' + 24' + 34.5' + 31' = \frac{137.5'}{5} = 27.5'$



REVISIONS:
12-9-21
12-9-21
12-10-21

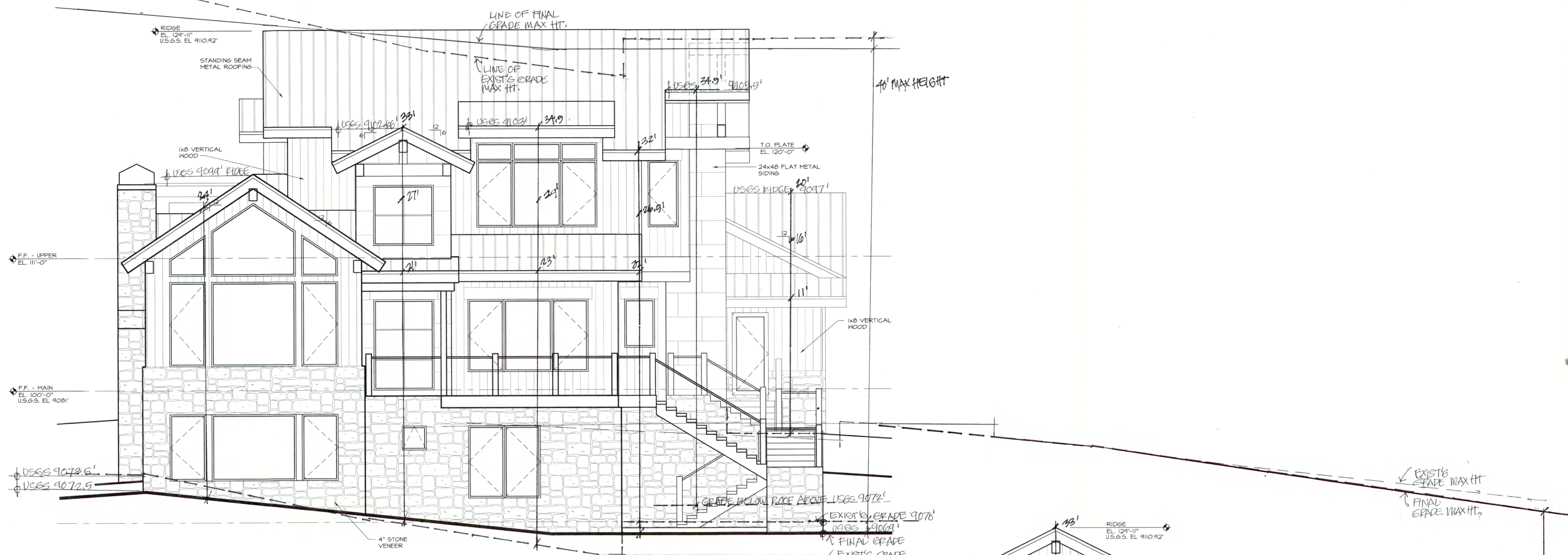
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Unit AR-53R1 Timber Ridge at Mountain Village
TBD Adams Way, Mountain Village
San Miguel County, Colorado

DATE:
11.18.21

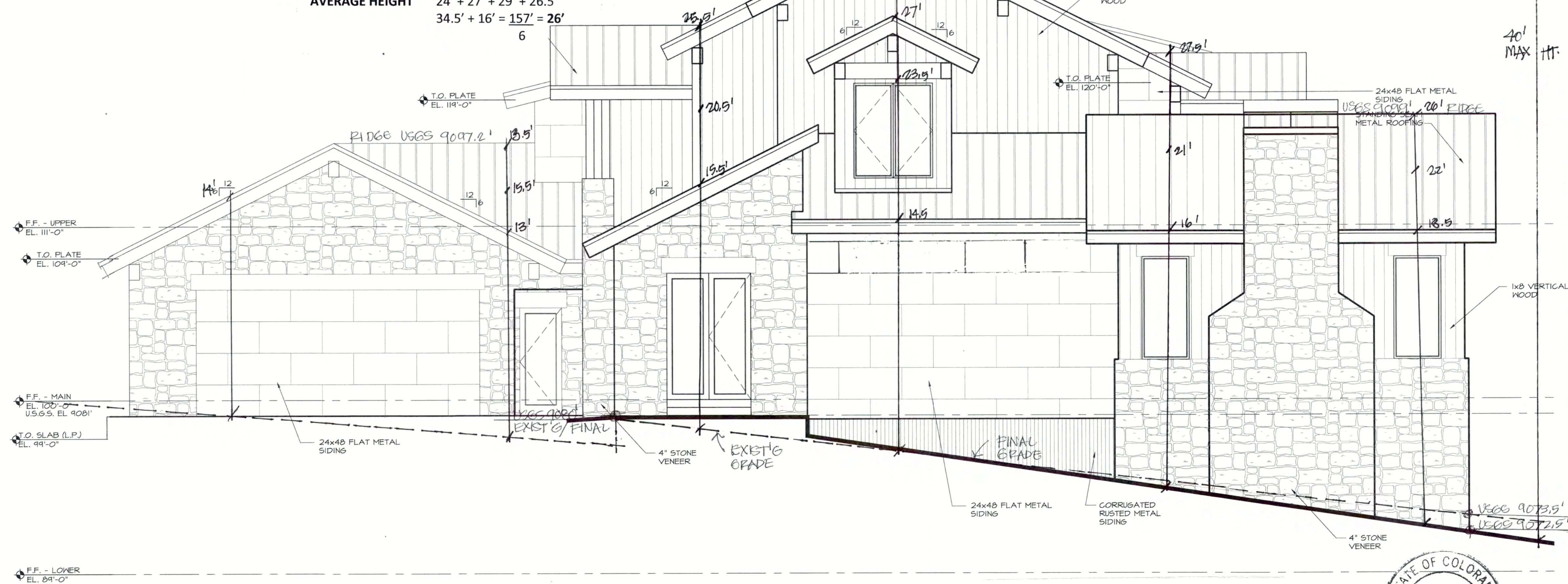
SHEET
A3.2H
Unit AR-53R1



ELEVATION - NORTH HEIGHT CALC'S
SCALE: 1/4" = 1'-0"

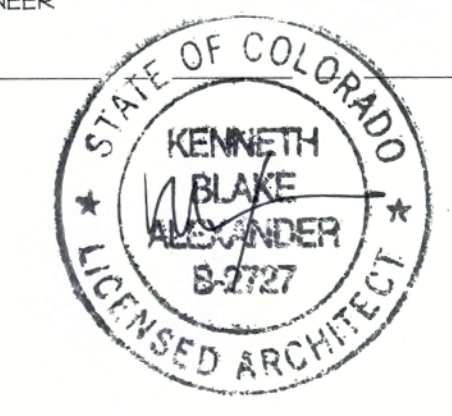
MAXIMUM HEIGHT 34.5'
AVERAGE HEIGHT 24' + 27' + 29' + 26.5'
34.5' + 16' = 157' = 26'
6

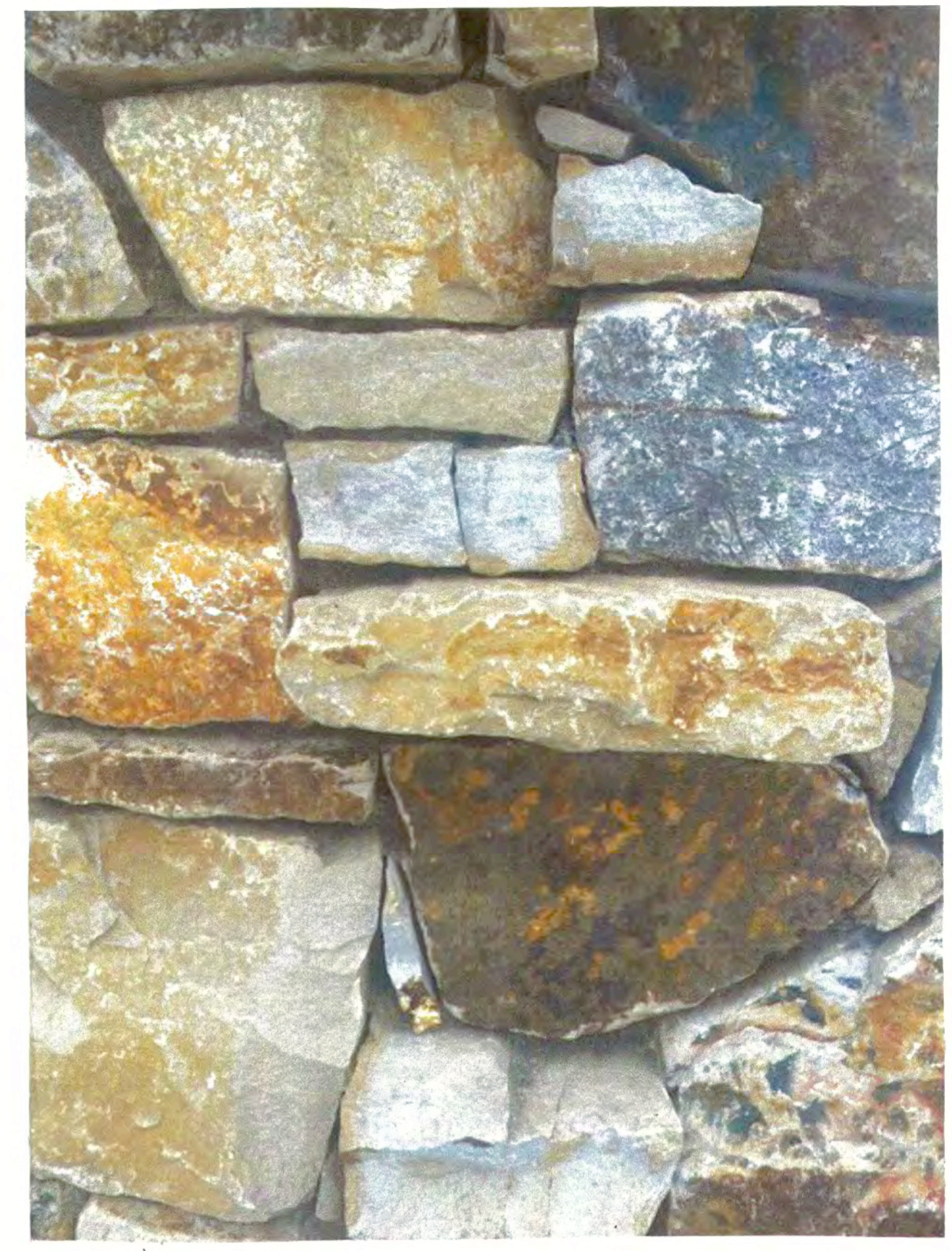
ELEVATION - NORTH 8:12 roof pitch
SCALE: 1/4" = 1'-0"



ELEVATION - EAST HEIGHT CALC'S
SCALE: 1/4" = 1'-0"

MAXIMUM HEIGHT 33'
AVERAGE HEIGHT 14' + 15.5' + 20.5' + 23.5'
21' + 22' = 116.5' = 19.4'
6

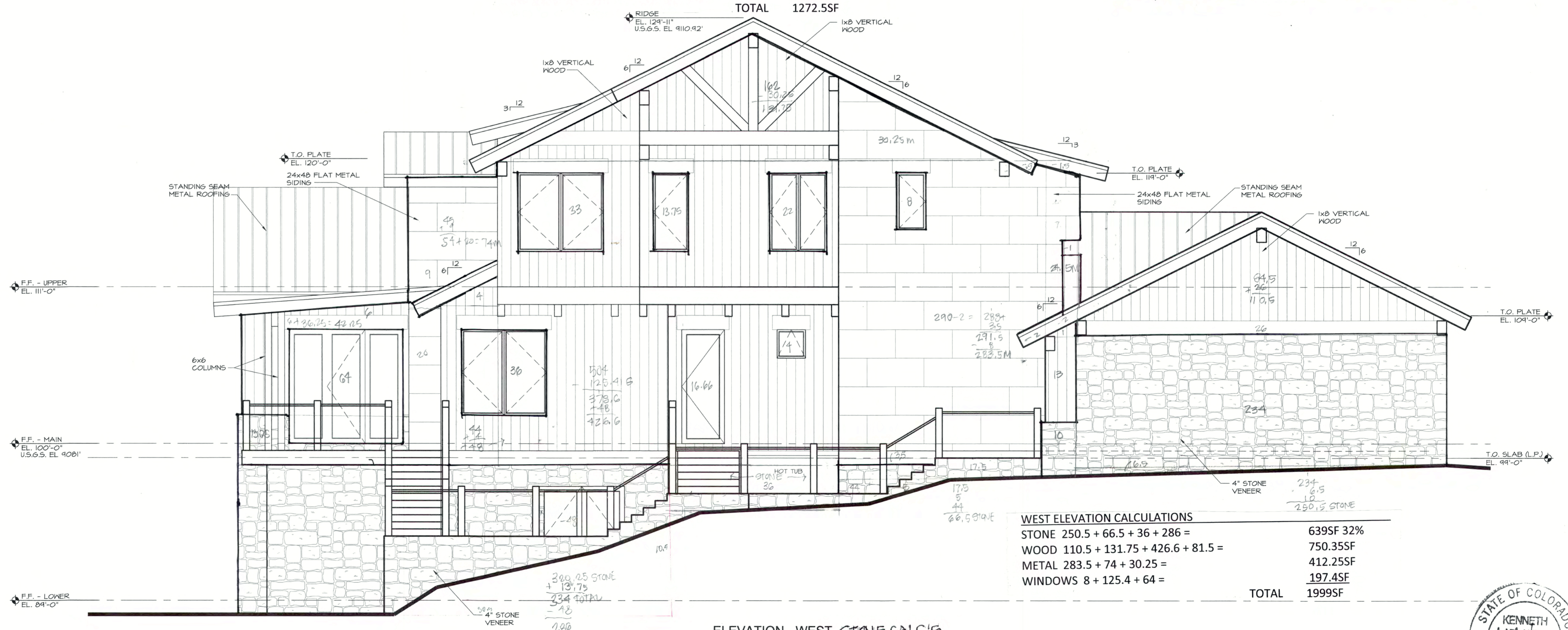




ELEVATION - SOUTH / STONE CALC'S
SCALE: 1/4" = 1'-0"

SOUTH ELEVATION CALCULATIONS

STONE	49 + 91 + 12 + 196 + 60 + 234.5 + 29 =	671.55SF 52.8%
WOOD	38 + 53.5 + 36 + 13.75 + 91 + 107.75 + 13 =	353SF
METAL	35 + 24 =	59SF
WINDOWS	16 + 16 + 25 + 30 + 48 + 54 =	189SF
TOTAL		1272.5SF



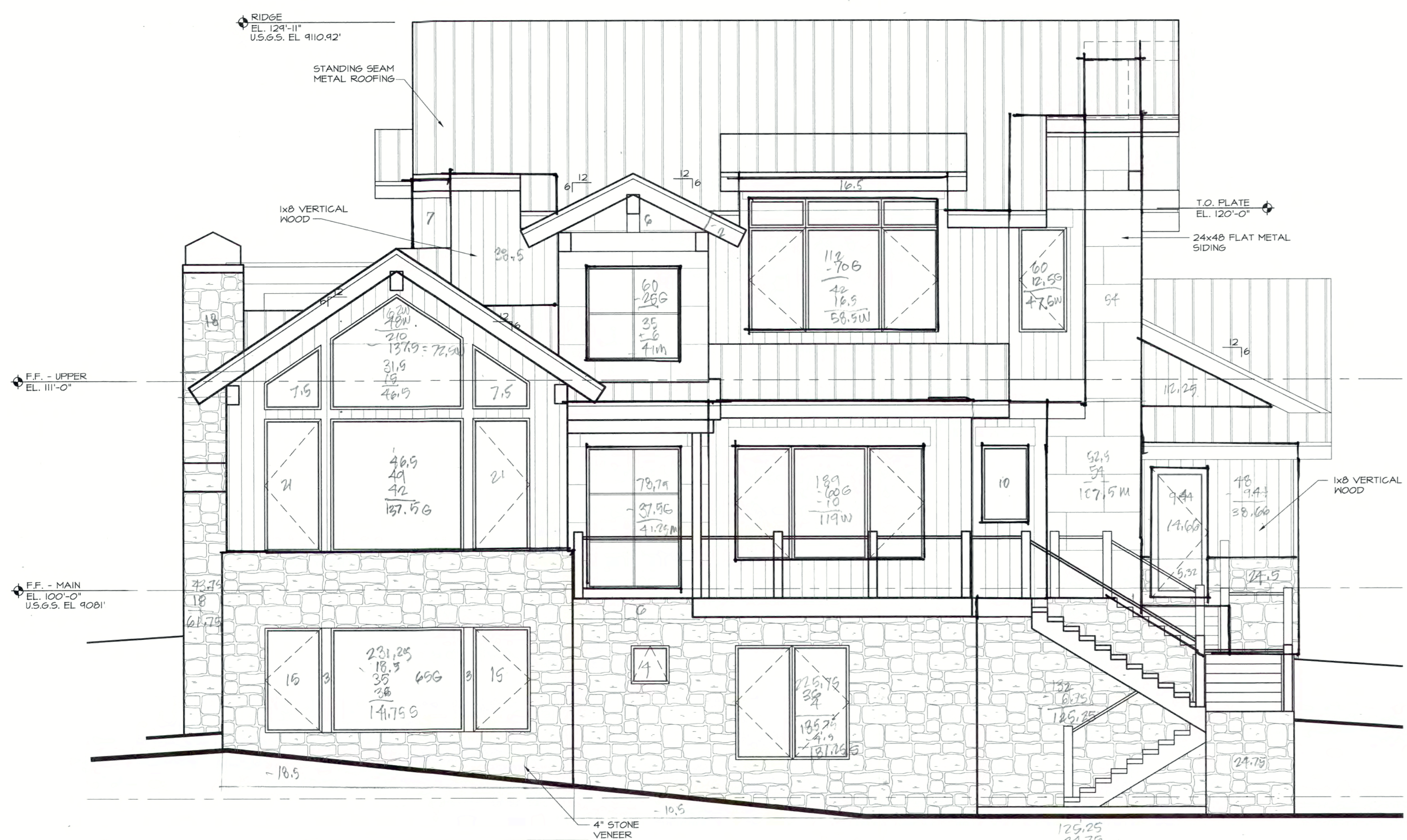
ELEVATION - WEST STONE CALC'S
SCALE: 1/4" = 1'-0"

WEST ELEVATION CALCULATIONS

STONE	250.5 + 66.5 + 36 + 286 =	639SF 32%
WOOD	110.5 + 131.75 + 426.6 + 81.5 =	750.35SF
METAL	283.5 + 74 + 30.25 =	412.25SF
WINDOWS	8 + 125.4 + 64 =	197.4SF
TOTAL		1999SF



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MATERIAL CALCULATIONS TOTAL

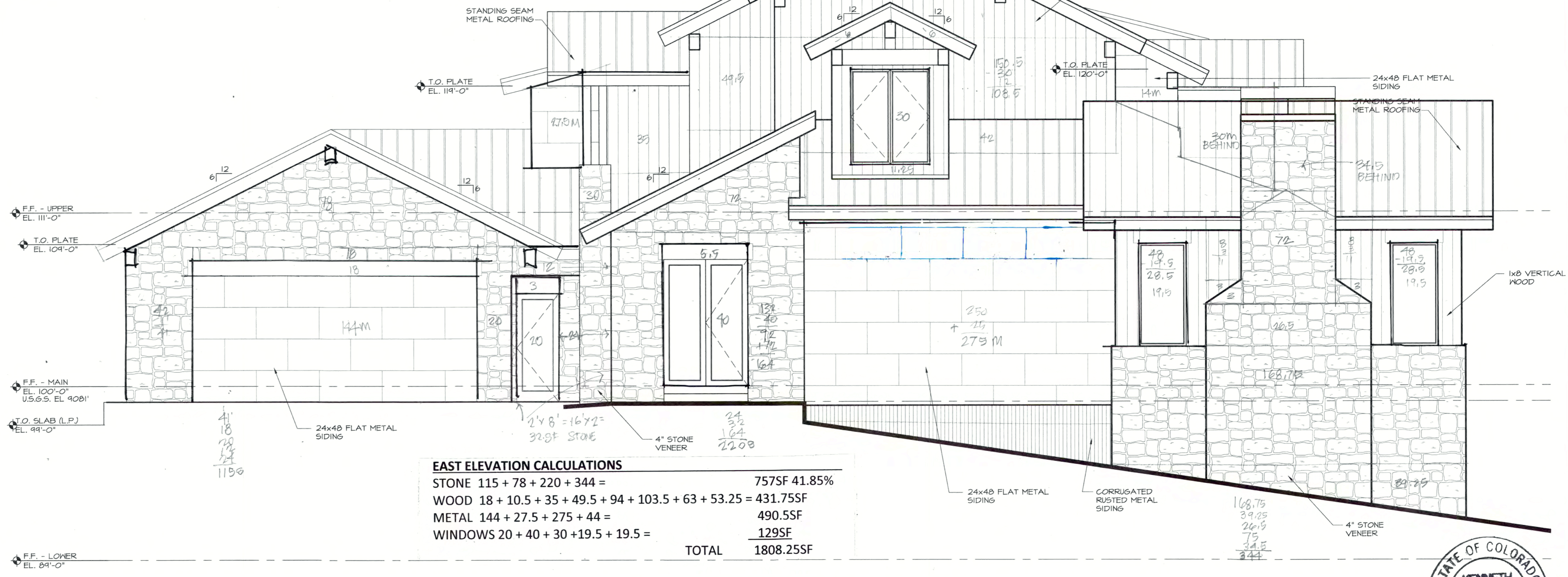
MATERIAL	NORTH	EAST	SOUTH	WEST	TOTAL
STONE	559.25	757	671.5	639	2627 38.89%
WOOD	400	431.75	353	750.35	1935.1
METAL	189.75	490.5	59	412.25	1151.5
WINDOWS	524.25	129	189	197.4	1039.65
TOTAL	163.75	1808.25	1272.5	1999	6753.25SF

NORTH ELEVATION CALCULATIONS

STONE	141.75 + 181.25 + 61.75 + 174.5 =	559.25SF 33.4%
WOOD	72.5 + 45.5 + 58.5 + 47.5 + 119 + 57 =	400SF
METAL	82.25 + 107.5 =	189.75SF
WINDOWS	137.5 + 141.75 + 92.5 + 152.5 =	524.25SF
TOTAL		1673.25SF

ELEVATION - NORTH /STONE CALC'S
SCALE: 1/4" = 1'-0"
174.5

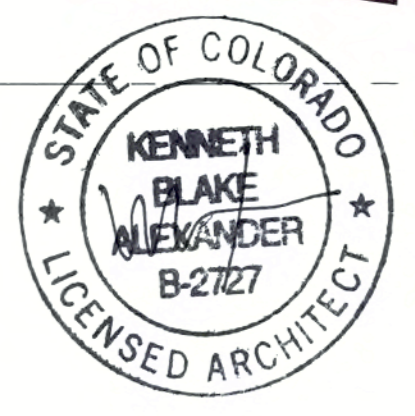
4" STONE VENEER



EAST ELEVATION CALCULATIONS

STONE	115 + 78 + 220 + 344 =	757SF 41.85%
WOOD	18 + 10.5 + 35 + 49.5 + 94 + 103.5 + 63 + 53.25 =	431.75SF
METAL	144 + 27.5 + 275 + 44 =	490.5SF
WINDOWS	20 + 40 + 30 + 19.5 + 19.5 =	129SF
TOTAL		1808.25SF

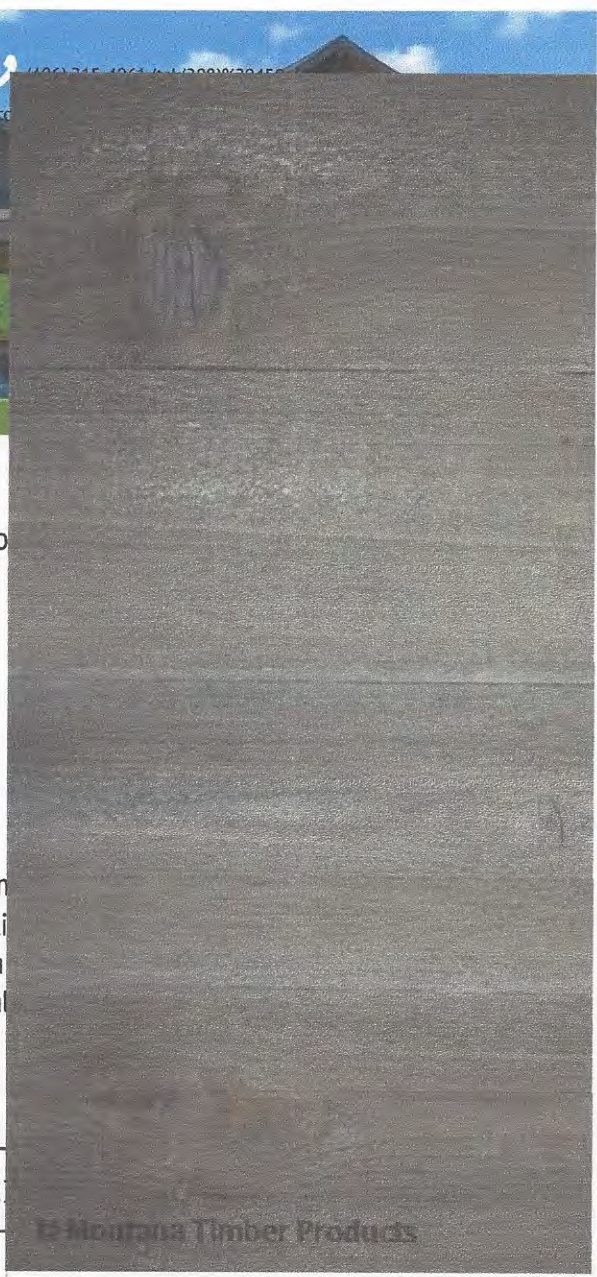
ELEVATION - EAST /STONE CALC'S
SCALE: 1/4" = 1'-0"











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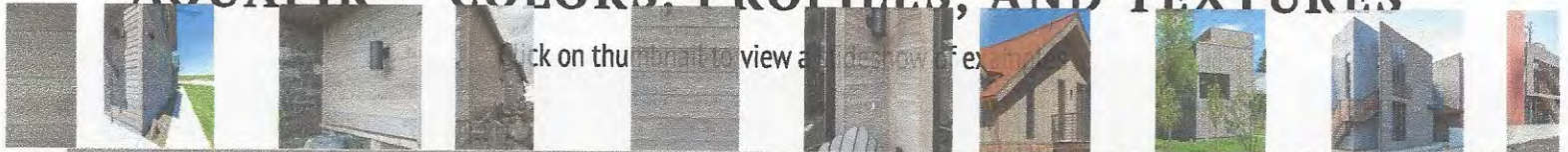
AquaFir™ shale Wire Brush

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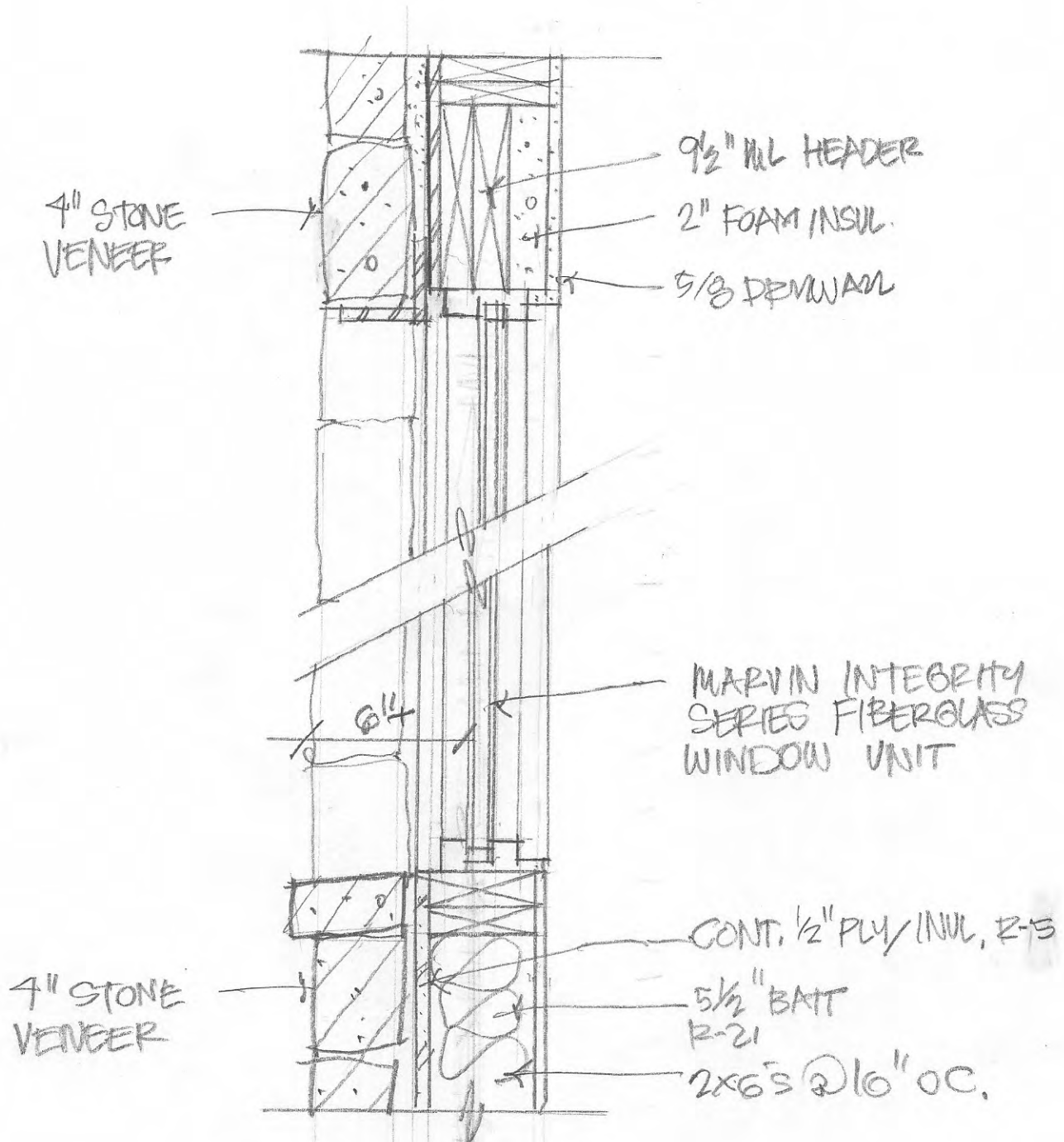
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WINDOW DETAIL

SCALE: 1/2" = 1'-0"

4" STONE
VENEER

2x6 WAW W/
1/2" PM. & 5/8"
GYP. R-21 INSUL.

4x12"
BM. DOUG
FIR

(3) 1 7/8" MICRO-
LAMBS

1x6 RS
WOOD TRIM

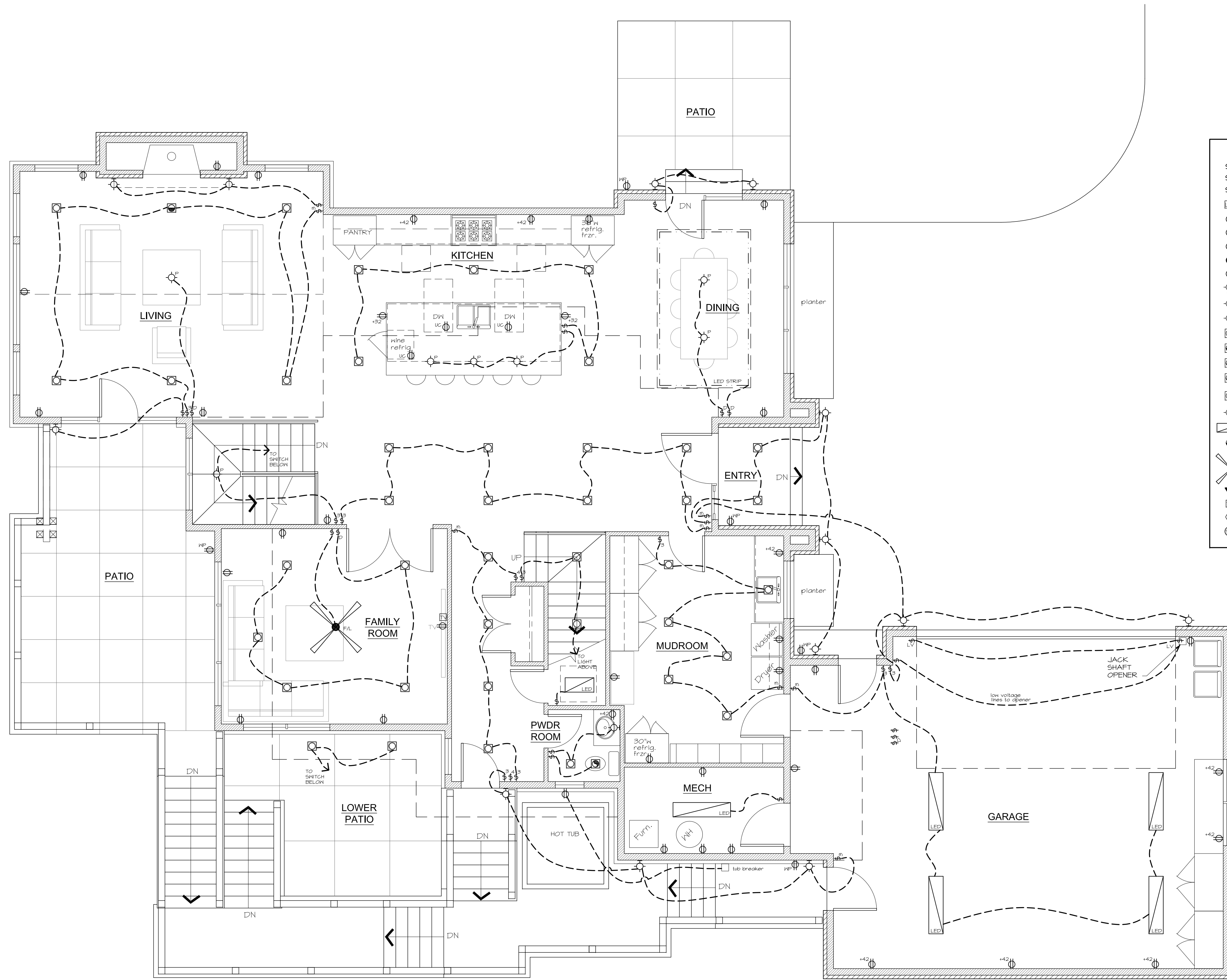
INSUL.
GARAGE
DOOR

5" 6"

PISTED MTL. 2'x4'
PANELS

GARAGE DOOR SECTION



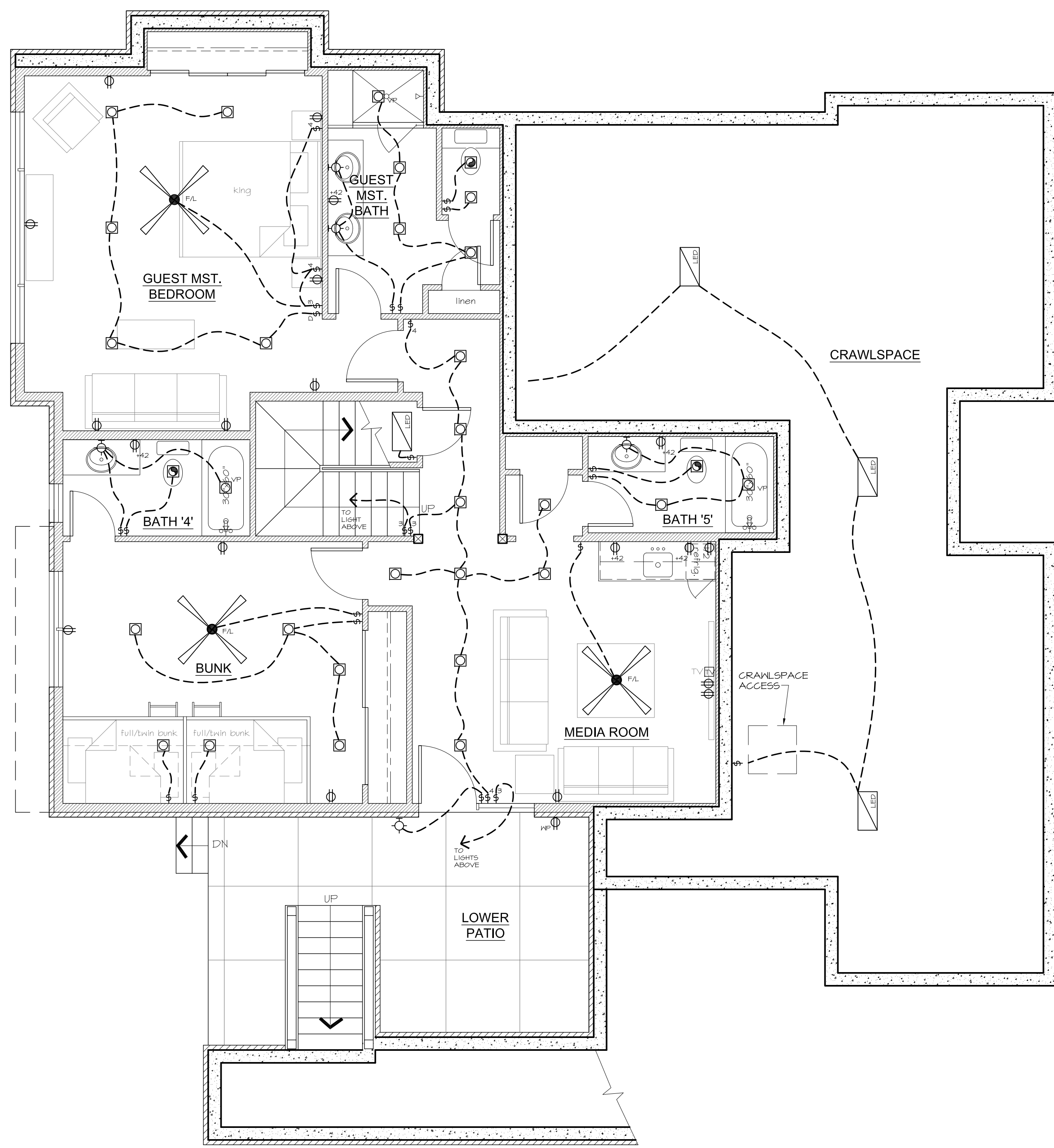


LEGEND	
S	SWITCH
S ₃	3-WAY SWITCH
S ₄	4-WAY SWITCH
ⓧ	LITE TOUCH CONTROL
ⓧ	DUPLEX RECEPTACLE
ⓧ ^{WP}	RECEPTACLE (WATERPROOF)
ⓧ ⁺⁴²	RECEPTACLE (HEIGHT ABOVE FLOOR)
ⓧ ^{SO}	RECEPTACLE (SWITCH OPERATED)
ⓧ ^{FLOOR}	RECEPTACLE (FLOOR)
ⓧ ^W	LIGHT (WALL MOUNTED)
ⓧ ^S	LIGHT (SURFACE MOUNTED)
ⓧ ^P	LIGHT (PENDANT)
ⓧ ^R	LIGHT (RECESSED)
ⓧ ^{RE}	LIGHT (RECESSED-EYEBALL)
ⓧ ^{W/E}	LIGHT W/EXHAUST FAN
ⓧ ^{EF}	EXHAUST FAN
ⓧ ^{WP}	LIGHT (WATER PROOF RECESSED)
ⓧ ^{WP}	LIGHT (WATER PROOF)
ⓧ ^{FL}	LIGHT (FLUORESCENT)
ⓧ ^{UC}	LIGHT (UNDER CABINET)
ⓧ	CEILING FAN
ⓧ	TELEPHONE
ⓧ	CABLE
ⓧ	SMOKE DETECTOR
ⓧ	SPEAKERS

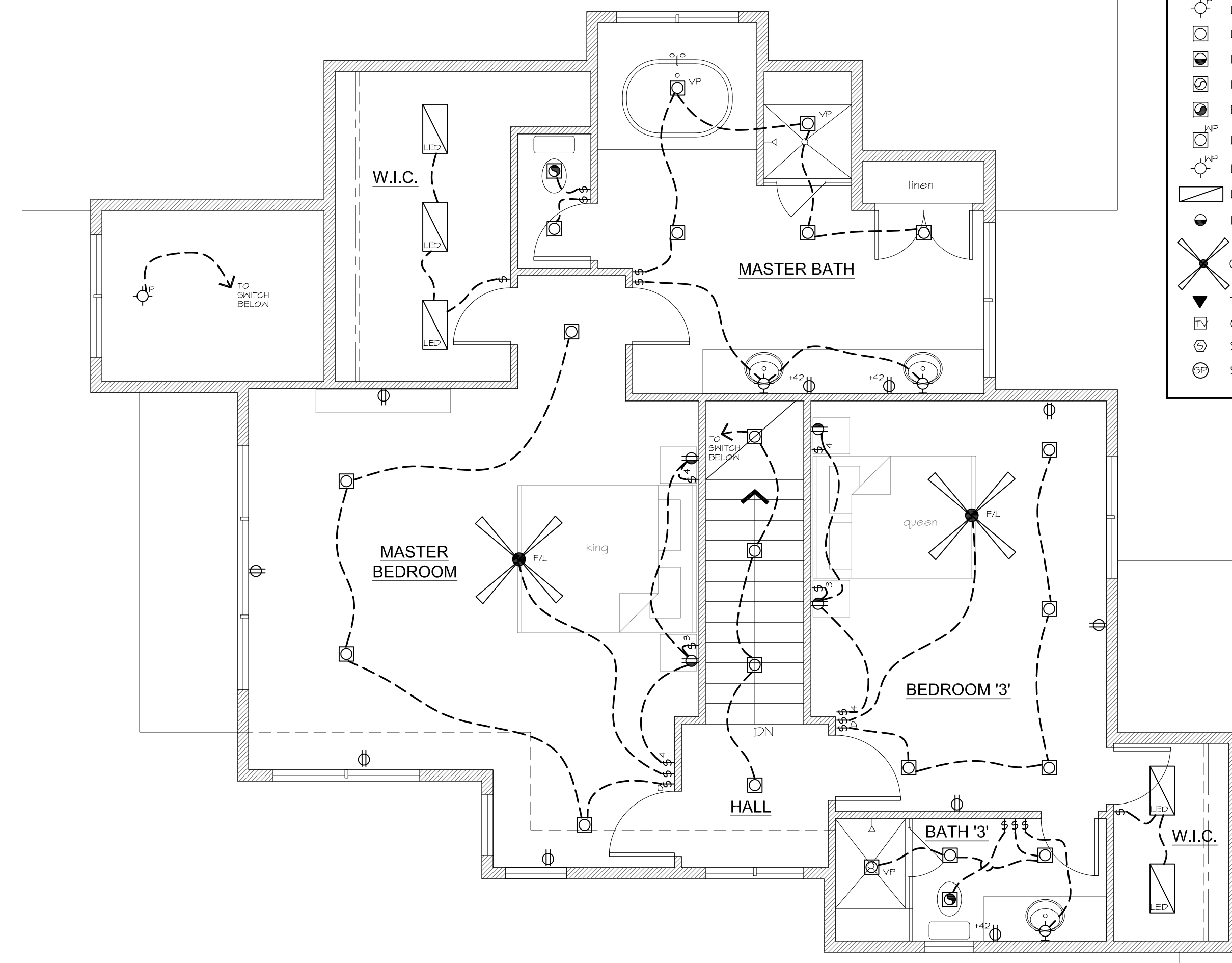
ELECTRICAL PLAN - MAIN LEVEL
SCALE: 1/4" = 1'-0"

SQ. FOOTAGE CALCULATIONS	
LOWER LEVEL	1,202 s.f.
MAIN LEVEL (EXCLUDING GARAGE/MECH)	1,735 s.f.
GARAGE/MECH	773 s.f.
UPPER LEVEL	1,068 s.f.
TOTAL LIVING SPACE	4,005 s.f.
TOTAL BUILDING	4,778 s.f.

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ELECTRICAL PLAN - LOWER LEVEL
SCALE: 1/4" = 1'-0"



ELECTRICAL PLAN - UPPER LEVEL
SCALE: 1/4" = 1'-0"

LEGEND	
S	SWITCH
S ₃	3-WAY SWITCH
S ₄	4-WAY SWITCH
LT	LITE TOUCH CONTROL
⊕	DUPLEX RECEPTACLE
⊕ ^W	RECEPTACLE (WATERPROOF)
⊕ ^H	RECEPTACLE (HEIGHT ABOVE FLOOR)
⊕ ^S	RECEPTACLE (SWITCH OPERATED)
⊕ ^F	RECEPTACLE (FLOOR)
⊕ ^W	LIGHT (WALL MOUNTED)
⊕ ^S	LIGHT (SURFACE MOUNTED)
⊕ ^P	LIGHT (PENDANT)
⊕ ^R	LIGHT (RECESSED)
⊕ ^E	LIGHT (RECESSED-EYEBALL)
⊕ ^W	LIGHT W/EXHAUST FAN
⊕ ^F	EXHAUST FAN
⊕ ^W	LIGHT (WATER PROOF RECESSED)
⊕ ^W	LIGHT (WATER PROOF)
⊕ ^F	LIGHT (FLUORESCENT)
⊕ ^U	LIGHT (UNDER CABINET)
⊕ ^C	CEILING FAN
⊕ ^T	TELEPHONE
⊕ ^C	CABLE
⊕ ^S	SMOKE DETECTOR
⊕ ^S	SPEAKERS

Members of the Design Review Board
Town of Mountain Village

To the Members of the Design Review Board:

We are the owners of the home, located at 125 Adams Way, and have several objections and concerns with the submittal for the single-family home, located on the AR-53R1, adjacent to our property to the east.

Specifically:

1. Lot Coverage

The purpose and intent of establishing design regulations within Mountain Village (Chapter 17.5.1) is to:

- Provide clear, consistent, predictable and efficient design standards;
- Preserve open space and protect the environment;
- Enhance the natural beauty of the town's surroundings;

When the Town of Mountain Village reviewed our property (AR-53R2) the Town of Mountain Village planner, Sam Starr informed us that the lots *“will be treated as a **Single Family Common Interest Community**.”* (Italics added; email to Susan Conger-Austin, dated 10/3/18). Therefore, per the CDC (Section 17.3.13, Table 3-4): *“Maximum Lot Coverage: Single-family common interest community: 40% for each lot in the condominium community.* In addition, Lot Coverage as defined by the CDC (Section 17.8 Definitions) is: *“The calculation of the total horizontal area of any building, carport, porte-cochere, or arcade and shall also include walkways, roof overhangs, eaves, exterior stairs, decks, covered porch, terraces and patios. Such horizontal measurement shall be from the building driplines and from the exterior surface of the total wall assembly, whichever is more restrictive.”*

The lot size of AR-53R1 is not 10,772 sq. ft. as indicated on page 6 of the submission and therefore, the overall building envelope on the site is much larger than the 40% limit. The AR-53R1 site is listed as 6,110 square feet on the survey. That would mean that the maximum allowable lot coverage would be 2,444 square feet (40% of 6110).

The same standards should be applied consistently, which in turn, preserves more open space and enhances the natural beauty of our community – one of the main purposes for the Design Regulations within Mountain Village.

2. Site Drainage/ Grading

Within the CDC, 17.5.5 “Building Siting Design, B. Residential Building Siting: *“Buildings shall be sited based on the consideration of influences such as surrounding development, shade and shadow, views, solar exposure, natural vegetation, and water run-off.”*

Reviewing the Site Drainage/Grading Plan of AR-53R1, there are only arrows pointing westward, indicating that drainage from AR-53R1 will be directed into our property which is approximately

16.5 feet away. (The AR-53R1 home is currently proposed to be built to the western property line.) We are very concerned about mud/rain/snow runoff issues inherent in such a plan. We respectfully request that these modifications to the existing natural drainage patterns be specifically approved by a Town of Mountain Village Civil Engineer and/or any other governing agency having jurisdiction on this issue.

In addition, we have a concern in re: to the driveway entrance off the steep curve on Adams Way. Positioned at this location, we respectfully request that this should be assessed by the Town Engineer and Fire Marshal in regard to the angles and slope of approach and departure at such a location. The driveway is not shown in any of the three- dimensional drawings nor on the elevation drawings so it is difficult to understand how this steep driveway will function. It appears to have a 12% slope over much of its length.

3. Landscape

CDC 17.5.9 LANDSCAPING REGULATIONS

“Purpose and Intent. The Landscaping Regulations are intended to:

- *Provide adequate and appropriate plant materials on a project site to enhance the relationship of the project to its site and context.*
- *Preserve existing significant trees and existing vegetation on a site to the extent practicable;”*

We are concerned due to the extreme tree removal shown on the current drawings due in part to the current larger than allowed building footprint on the site.

4. General

We are concerned that a hot tub currently located on the west side, adjacent to the easement line has no screening. According to CDC Section 17.3.14, “General Easements Setbacks” Section H, it states that hot tubs should be “buffered” from adjacent properties and that the DRB reserves the right to request that this type of activity be set back up to 20 feet from the adjacent property. It also states that noise from such uses shall be buffered from adjacent properties. We ask that the DRB request that the location of the hot tub be both set back 20 feet and that the noise is sufficiently buffered.

Respectfully,



Jim Austin and Susan Conger-Austin AIA
Submitted March 16, 2022

March 15, 2022

Design Review Board
Town of Mountain Village

To the Design Review Board:

My name is Stephen Betz, a long-time member of the Mountain Village community and current President of the Owners' Association for Timber Ridge at Mountain Village. I am writing both as a private citizen and as President of the HOA to voice my concerns with the submission for a single-family home, located on AR-53R1, Adams Way. All of these concerns, I believe, are related to existing regulations and requirements established by this board and Mountain Village.

Specifically:

- **Driveway.**

I do not believe it will be safe to allow the proposed curb-cut into this home from the east at the lower bend of Adams Way. The slope of the road coupled with the slope of the proposed driveway should be assessed by the Fire Department and Town Engineer before being allowed to proceed. I have attached a few photos showing the current conditions at the proposed driveway location. The drawing, A1.1 (Site Grading and Drainage Plan) indicates a majority of the currently proposed driveway's slope to be 12% grade, far beyond the recommended driveway gradients indicated in the Community Development Code section on Road and Driveway Standards, Section 17.6.6. There are no drawings in the submission set including the 3d model showing how the slope of the driveway impacts the site and the road nor how close the proposed driveway is in relation to the adjacent driveway curb cut of AR- 52R. I submit a site plan (with my comments in red) for your information.

A driveway entrance from the north side of the lot would appear to be safer.

- **Site Coverage.**

The submitted plans for this "single family- common interest community" can encompass up to 40% of the building lot. (Refer to Drawing A.0, - "Cover Sheet", under Project Summary of submitted plans). However, the

Building Coverage as shown on the drawings of 3,386 square feet is approximately 55% of the actual lot size. There seems to be an error in calculation with this submittal as the adjacent Common Area has been included in the overall lot size. (Inflating the actual lot size of 6,110 square feet to 10,772 square feet). Common Area around this lot cannot be used to compute the buildable area of any proposed dwelling. The Common Areas are just that—Common Areas for all residents of the HOA, not one person’s personal holdings. Apart from the illegality of such an assumption, were the DRB to allow this, it would result in much greater density of buildings, extreme deforestation, and building scale much beyond what is typical of our community.

- **Window Materials**

The window frames indicated on the submission (Drawing A3.2) are exterior clad fiberglass. In the CDC, Section 17.5.6, Building Design, under Section G, Glazing, #8, it states, “Window frames and trim shall be painted or stained wood, anodized, painted or clad aluminum or patina copper clad.” Fiberglass clad windows are not mentioned.

- **Required Drawings.** I do not believe that all the required documents were submitted to the HOA to allow this application to go forward. In particular, we did not receive the following for our assessment:
 - Site and Grading Plan indicating where the run-off would be channeled especially as it relates to adjacent properties in the HOA
 - Landscape Plan
 - Utility Plan
 - Construction Mitigation Plan

For all these reasons, I as president of the HOA and as a long-time member of the Mountain Village community can no longer support this single-family dwelling as currently submitted.

Sincerely,

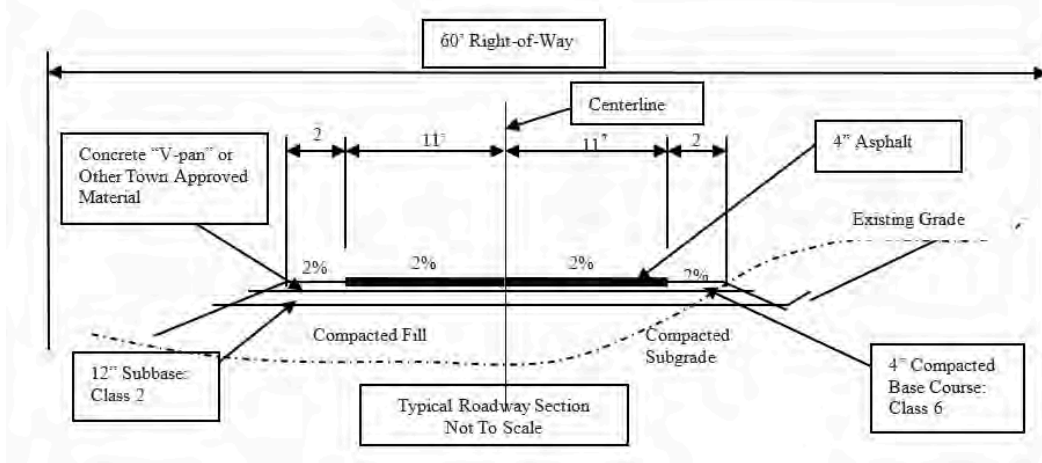
Stephen Betz

17.6.6 Road and Driveway Standards.

A. Roadway Standards.

1. *Minimum Right-of-Way.* The minimum right-of-way width shall be sixty feet (60').
2. *Roadway Width.* The minimum roadway width shall be twenty feet (20'), with two foot (2') "v-pan" curbs.
 - a. Concrete "v-pan" curbs and gutters constructed of Class B concrete (as defined by CDOT standards) other review authority-approved material shall be provided on both sides of the road leading into the required drainage system.
 - i. Curbs and gutters or other shoulder materials shall be constructed of concrete drainage pans or other review authority-approved material that is compacted to withstand a twenty (20) ton load minimum. The shoulders shall pitch no more than two percent (2%) grade from the edge of the twenty foot (20') travel roadway.
3. *Roadway Construction.* Roadways shall be designed and constructed in accordance with the specifications shown in Figure 6-2.
4. *Maximum Grade.* The maximum road grade shall be eight percent (8%) except:
 - a. The maximum roadway grade shall not exceed five percent (5%) for the first twenty feet (20') from the edge of the public roadway or access tract.
 - b. Transitional sections not exceeding 500 feet in length may be allowed a maximum of 10 percent (10%) if approved by the Town in consultation with the Fire Marshal. Transitional sections exceeding eight percent (8%) shall not be within 500 feet of each other.
 - c. Transitional sections may be allowed a maximum grade up to twelve percent (12%) with the approval of the Town in consultation with the Fire Marshal, providing all structures are equipped with a fire sprinkler system meeting the requirements of the Fire Code.
 - d. Curves with a centerline radius of less than 250 feet shall not exceed eight percent (8%) grade.

6-2 Roadway Design Specifications



5. *Turning Radius.* Curves with centerline radii of less than 250 feet shall not exceed eight percent. The minimum inside turning radii of a corner shall not be less than 100 feet (100').
6. *Grading.* The maximum cut and fill slope shall be 3:1 without a soils report prepared by a Colorado professional engineer that shows steeper slopes are warranted. Slopes steeper than 2:1 shall require retaining walls that are designed by a Colorado professional engineer.
 - a. The maximum retaining wall height shall be five (5') feet, with a minimum "step" in between walls of four (4') feet to allow for landscaping to soften the walls.
 - b. Retaining walls shall be setback from roadways at least five (5') feet, where practicable, to allow proper room for drainage, snow plowing and snow storage.
 - c. Roadways shall be crowned at two (2) to three (3) percent maximum grade.
7. *Live Load and Surfacing.* Roadways shall be designed, compacted and maintained to support the imposed loads of fire apparatus, twenty (20) ton minimum, and shall be surfaced so as to provide all-weather driving capabilities.
 - a. Approved roadway surfaces include asphalt, concrete or other materials as approved by the review authority.
 - b. Gravel is prohibited as a surface material for roadways.
8. *Emergency Turnarounds.* Dead-end roads shall be avoided wherever possible.
 - a. Where an emergency turnaround is the only alternative, the roadway shall provide an emergency turnaround as provided for in the Town adopted Fire Code or commentary to such code.
 - b. Adequate rights-of-way for snow storage, utilities and drainage shall be provided at turnarounds.
 - c. Dead-end streets shall not be longer than 600 feet.
9. *Sight Distance Triangles.* For safety and visibility purposes, a sight distance triangle shall be maintained at road and driveway intersections. The distances along the legs of the sight distance triangle shall be measured

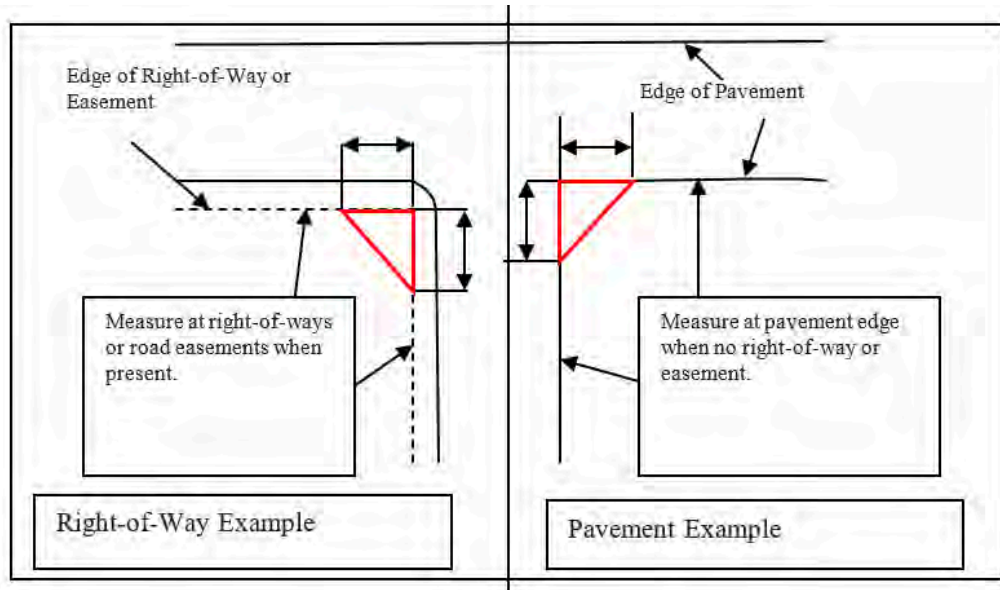
from the corner or intersection point along the right-of-way lines or along edge of driving surface for driveways as shown in Figure 6-3. For each intersection, the length of the legs of the triangle shall be determined by the classification of the roadways at the intersection as outlined in Table 6-2.

- a. To minimize traffic hazards at road intersections and along curves by improving visibility for drivers of converging vehicles, no structures, retaining walls or earth berms, nor landscaping, parking or other obstructions more than three feet (3') in height will be permitted within the sight distance triangle except for single-family residential accessways that may provide an address monument in such area.

Table 6-2. Sight Distance Triangle Length

Type of Access	Length of Sight Distance
Driveways (No road intersection)	10 Feet
Local Access/Low Volume	30 Feet
Collector (San Joaquin, Benchmark, Adams Ranch Roads)	50 Feet
Arterial (Mountain Village Boulevard)	70 Feet

6-3 Sight Distance Triangle



10. *Bridges.* Bridges shall conform to CDOT requirements and specifications. Plans shall be prepared by a qualified Colorado professional engineer.

- a. Bridges shall be stone faced and have railings and other design features in accordance with the Town design theme.

11. *Traffic Control Devices.* Traffic control devices shall be installed and maintained in accordance with the Manual on Uniform Traffic Control Devices.
12. *Guardrails.* Guardrails shall be installed on the outside of curves as required the Public Works Department. Guardrails shall be installed thirty (30) inches from the outside edge of the road curb. The following conditions may necessitate guardrail installation:
 - a. Height of embankment exceeds ten (10') feet within ten (10) feet of the pavement;
 - b. Side slopes exceed 4:1 within ten (10') feet of the pavement;
 - c. Shoulder or pavement widths are substandard; or
 - d. Roadside hazards exist.
13. *Revegetation.* Revegetation within road right-of-way shall be required utilizing grass seed mix specified in the Landscaping Regulations and shall be completed within forty-eight (48) hours after the completion of the project. Cut and fill slopes shall be treated to prevent erosion.
14. *Drainage.* Roadway drainage shall meet the following requirements:
 - a. Retention or detention shall be provided to protect water quality and attenuate flood flows;
 - b. Culverts shall be located at each natural draw or watercourse, as conditions warrant, to prevent excessive accumulation of flow in roadside ditches or along toe of slope; and
 - c. All drainage shall be designed to in accordance with the drainage design standard.
15. *Sidewalks.* When a new roadway is required, the review authority may require the development to provide a sidewalk constructed of Class B concrete six (6') feet wide shall be provided on one side of the road with the location favoring the predominant pedestrian flow.
16. *Provision of Right-of-Way.* When a new roadway is required, the Town shall require a developer to either dedicate rights-of-way for public use for such new roadway, or require an easement that serves the same functions of a right-of-way, including but not limited to utilities, drainage, grading, snow storage and public access.
 - a. Where the minimum right-of-way width does not include all of the required grading and drainage, easements for such road-related improvements shall be provided to ensure use and maintenance over time.
17. *Fire District Review.* All new roadways shall be required to be reviewed by the Telluride Fire Protection District to ensure compliance with the Fire Code.
18. *Engineer Required.* A Colorado professional engineer shall design all new proposed roadways, bridges and associated grading, utilities and drainage.

19. *Construction and Maintenance.* The design and construction paving of roadways shall be the responsibility of the developer. Roadways shall be maintained after construction by the lot owner(s) that obtain access from the roadway, including but not limited to snow plowing, resurfacing, sign maintenance, curbs and any landscaping.

- a. The Town may elect to maintain a roadway that is dedicated to the Town or that is dedicated by an easement, or it may also require the developer to provide a private maintenance function by a legal instrument that runs with the affected lot(s).
- b. Roadways shall be maintained in accordance with the CDC regulations in effect at the time of development approval.

20. *Road Cut Resolution.* Road construction and maintenance activities shall be in accordance with the effective Town road cut resolution.

21. *Variation.* The review authority may grant a variation to the roadway standards provided the review authority finds such exemption will not adversely affect public health, safety and welfare.

B. *Driveway Standards.*

1. *Driveway Allowance.* A driveway may provide access for up to a maximum of three (3) single-family dwellings, or may also be used to provide access to a parking garage or any allowed surface parking lot serving multifamily, mixed-use, commercial or other development containing three or fewer buildings only one (1) lot directly from the main roadway.

- a. All other development shall only use a roadway to serve access per the roadway standards.

2. *Driveway Width.*

a. For driveways that service three (3) or fewer single-family dwellings, the minimum paved drive surface width shall be twelve feet (12') for driveway lengths less than 150 feet. Driveway lengths exceeding 150 feet which service three (3) or fewer single-family dwellings shall have a minimum paved surface of sixteen feet (16'). Shoulders may be required by the Fire Code.

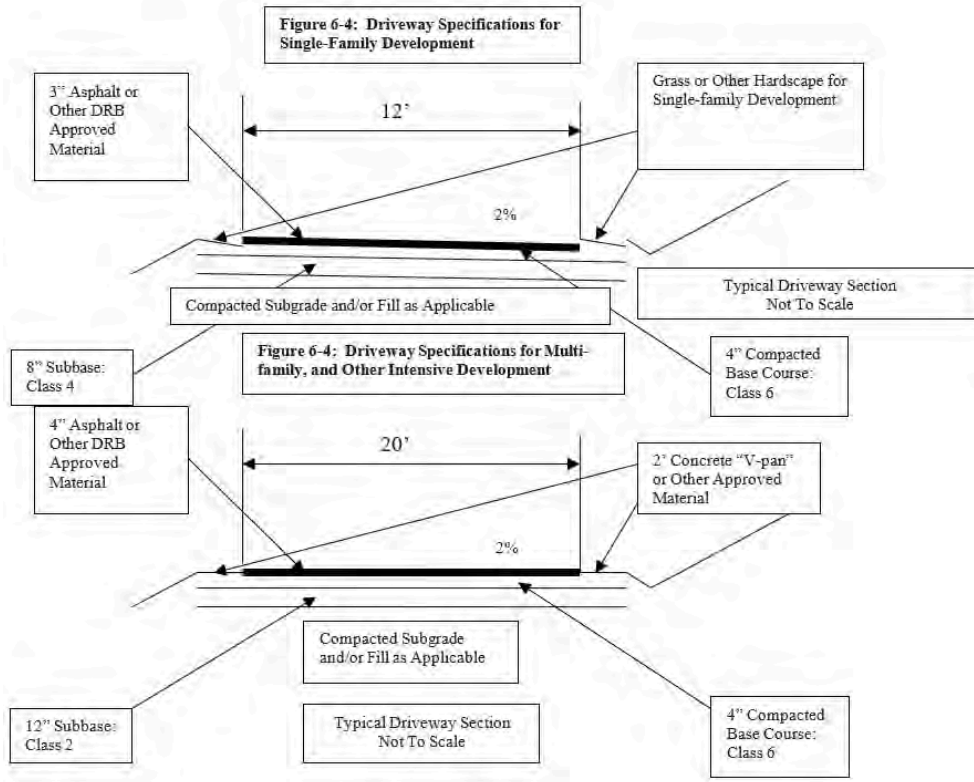
b. For driveways that service multifamily, mixed-use, commercial or other development, the paved drive surface width shall be no less than twenty feet (20') with two foot (2') shoulders on each side.

- i. Shoulders shall be constructed of concrete drainage pans or other review authority approved material that is compacted to withstand a twenty (20) ton load minimum. The shoulders shall pitch two (2%) percent grade from the edge of the edge of the twelve (12') foot driveway.
- ii. Drainage pans are not required where a driveway is a drive aisle in a parking lot with the minimum width of such drive aisle twenty-four (24') feet.

3. *Driveway Construction.* Driveways shall be designed and constructed in accordance with the specifications shown in Figure 6-4.

4. **Maximum Grade.** Driveway grade shall not exceed eight percent (8%) except:
 - a. Garage entrances, parking and required fire apparatus turnaround areas shall not exceed five to six percent (5% – 6%) grades without specific approval from the review authority in consultation with the Telluride Fire Protection District and Public Works Department.
 - i. If driveways grades for such areas are approved greater than five to six (5% – 6%) percent, then the review authority may require that a snowmelt system be incorporated into the driveway design.
 - b. The maximum driveway grades shall not exceed five percent (5%) for the first twenty (20') feet from the edge of the public roadway or access tract.
 - c. Transitional sections not exceeding 500 feet may be allowed a maximum of ten (10%) percent if approved by the Town in consultation with the Fire Marshal. Transitional sections exceeding eight (8%) percent shall not be within 500 feet of each other. Curves with a centerline radius of less than 250 feet shall not exceed eight (8%) percent.
 - d. Transitional sections may be allowed a maximum grade up to twelve (12%) percent providing all residences are equipped with an approved fire sprinkler system meeting the Fire Code.
 - e. Curves with a centerline radius of less than 250 feet shall not exceed eight percent (8%) grade.
5. **Driveway Fire Apparatus Access.** A driveway shall extend to within 150 feet of all portions of the exterior walls of the first story of a building as measured by an approved route around the exterior of the building.
 - a. The Fire Marshal is authorized to increase the dimension of 150 feet (to 225 feet) where:
 - i. Driveways cannot be designed and installed in accordance with this section because of location on property, topography, waterways, nonnegotiable grades or other similar site conditions; and
 - ii. The residence is equipped with an approved fire sprinkler system installed in accordance with section.
 - b. The minimum, unobstructed vertical clearance for a driveway shall be thirteen feet six inches (13' 6").

6-4 Driveway Design Specifications



6. *Turning Radius.* The inside turning radii of a corner shall not be less than thirty-two feet (32').
7. *Grading.* The maximum cut and fill slope shall be 3:1 without a soils report prepared by a Colorado professional engineer that shows steeper slopes are warranted. Slopes steeper than 2:1 shall require retaining walls that are designed by a Colorado professional engineer. Notwithstanding the foregoing, a maximum slope of 1.5:1 may be approved by the review authority based on a soils report prepared by a Colorado professional engineer if the aesthetic of such slope is determined to be appropriate.
 - a. The maximum retaining wall height shall be five feet (5'), with a minimum "step" in between walls of four feet (4') to allow for landscaping to soften the walls.
 - b. Retaining walls shall be setback from driveways at least five (5) feet, where practicable, to allow proper room for drainage, snow plowing and snow storage.
8. *Live Load and Surfacing.* Driveways shall be designed, compacted and maintained to support the imposed loads of fire apparatus, twenty (20) ton minimum, and shall be surfaced so as to provide all-weather driving capabilities.
 - a. Approved driveway surfaces include asphalt, concrete, pavers or cut or tumbled stone block or other materials as approved by the review authority.
 - b. Gravel is prohibited as a surface material for driveways.
9. *Emergency Turnarounds.* The Fire Code may require emergency turnarounds for long driveways.

10. *Emergency Turnouts.* Driveways in excess of 200 feet in length and less than twenty (20') feet in width shall be provided with turnouts if required by the Fire Marshal.

- a. Required driveway turnouts shall be an all-weather driving surface at least ten feet (10') wide and forty feet (40') long and be compacted to withstand a twenty (20) ton load minimum.
- b. Driveway turnouts shall be located as required by the Fire Marshal.

11. *Sight Distance Triangles.* Sight distance triangles at driveway intersections shall be as set forth under the roadway standards above.

12. *Bridges.* Bridges shall conform to CDOT requirements and specifications. Plans shall be prepared by a qualified Colorado professional engineer.

- a. Bridges shall be stone faced and have railings and other design features in accordance with the Town design theme.

13. *Traffic Control Devices.* Traffic control devices shall be installed and maintained in accordance with the Manual on Uniform Traffic Control Devices.

14. *Guardrails.* The review authority may require the installation of guardrails on the outside of curves as required by this section or as otherwise required by the Public Works Department. Guardrails shall be installed thirty (30) inches from the outside edge of the road curb. The following conditions may necessitate guardrail installation:

- a. Height of embankment exceeds ten feet (10') within ten (10) feet of the pavement;
- b. Side slopes exceed 4:1 within ten (10) feet of the pavement;
- c. Shoulder or pavement widths are substandard; or
- d. Roadside hazards exist.

15. *Revegetation.* Revegetation within road right-of-way shall be required utilizing grass seed mix specified in the Landscaping Regulations and shall be completed forty-eight (48) hours after the completion of the project to the extent practicable. Cut and fill slopes shall be treated to prevent erosion.

16. *Drainage.* Driveway drainage shall meet the following requirements:

- a. Culverts shall be located at each natural draw or watercourse, as conditions warrant, to prevent excessive accumulation of flow in roadside ditches or along toe of slope.
- b. Where culverts are required, they shall be at least eighteen inches (18') in diameter to minimize ice and debris build up.
- c. Drainage shall be directed away from wetlands, steep slopes and other environmentally sensitive areas.

17. *Maximum Number of Curb Cuts.* Only one (1) curb cut for a driveway accessing a lot from the main road shall be permitted without specific approval from the review authority in consultation with the Public Works Department.

- a. Single-family lots that are proposed to be created or have been created from duplex lots will be required to utilize a single common driveway from the adjacent access-way.

18. *Public Works Review.* All driveway cuts shall be required to be reviewed and approved by the Public Works Department.

19. *Fire District Review.* All new driveways shall be required to be reviewed by the Fire District to ensure compliance with the Fire Code.

20. *Engineer Required.* A Colorado professional engineer shall design all new proposed driveways, bridges and associated grading and drainage.

21. *Construction and Maintenance.* The design and construction paving of driveways shall be the responsibility of the developer. Driveways shall be maintained after construction by the lot owner(s) that obtain access from the driveway, including but not limited to snow plowing, resurfacing, sign maintenance, curbs and any landscaping.

- a. Driveways shall be maintained by the lot owner(s) in accordance with the CDC regulations in effect at the time of development approval.

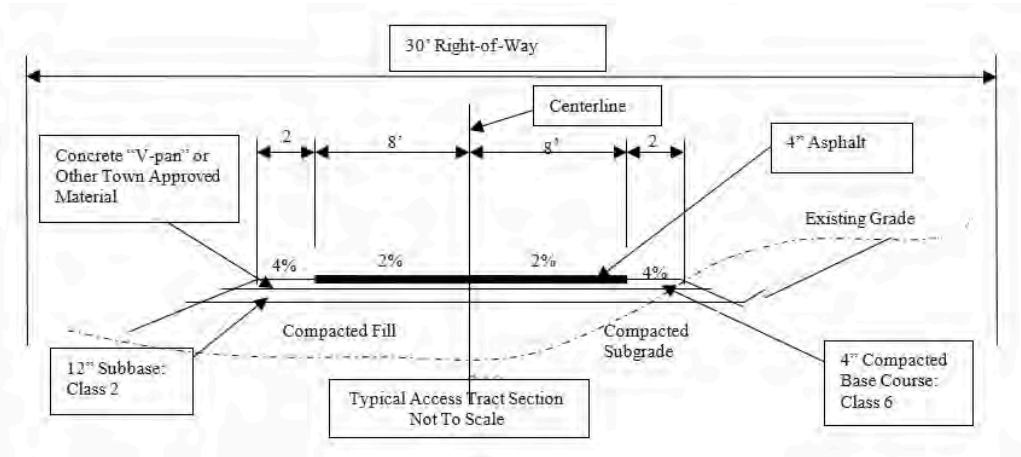
22. *Road Cut Resolution.* Driveway construction and maintenance activities shall be in accordance with the effective Town road cut resolution when work or maintenance is being conducted in a Town right-of-way or access tract.

23. *Variation.* The review authority may grant a variation to the driveway standards provided the review authority finds such exemption will not adversely affect public health, safety and welfare.

C. *Access Tract Standards.*

1. *Roadway Construction.* Roadways or driveways within access tracts shall be designed and constructed in accordance with sections A and B and the specifications shown in Figure 6-5.

6-5 Access Tract Design Specifications



2. *Acceptance of Access Tracts.* Pursuant to the class 5 development application process, the Town Council may accept an access tract that is offered for dedication by the owner(s) of such access tract provided:

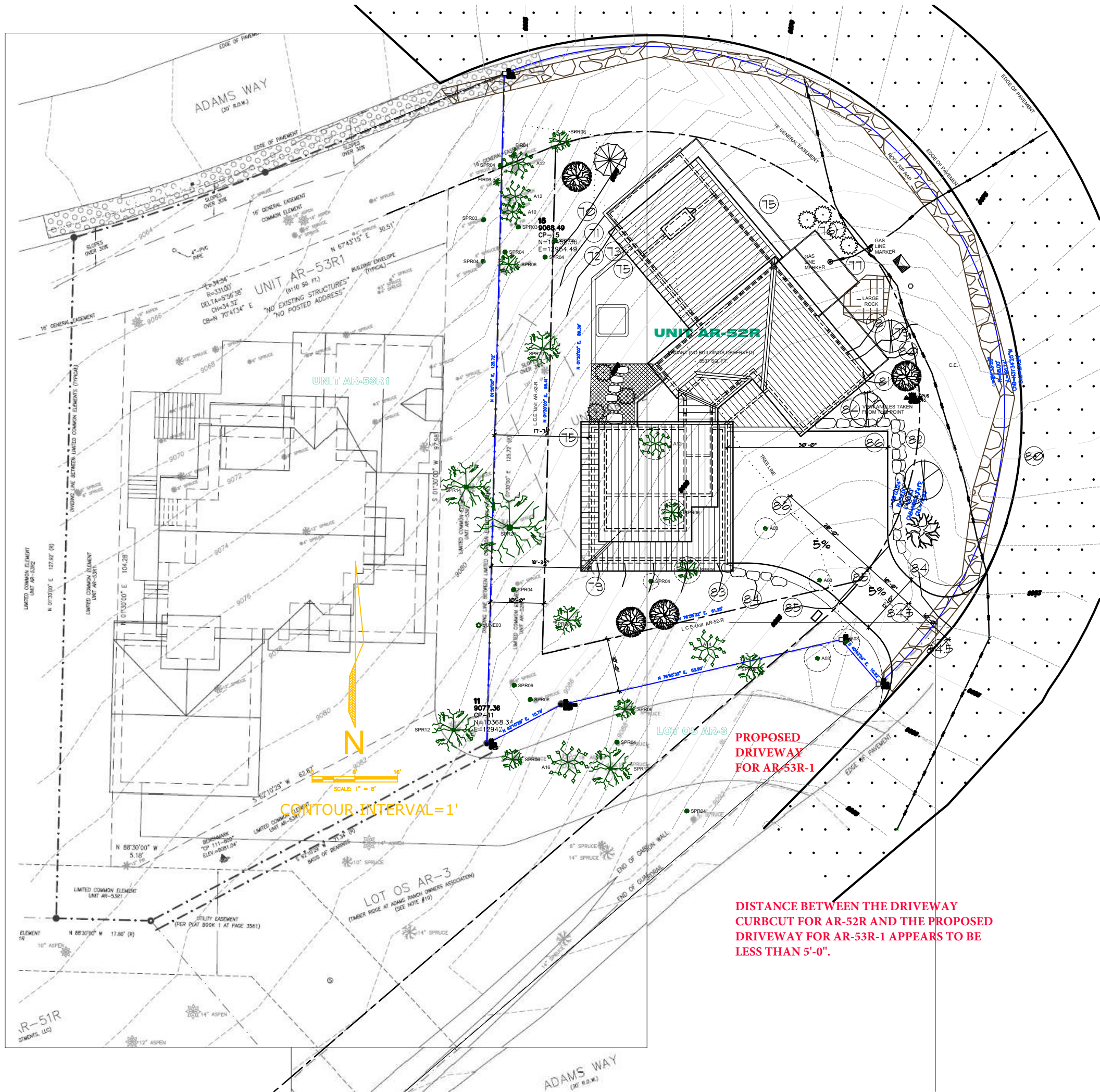
- a. The roadway or driveway has been constructed to meet the specifications in Figure 6-5. This provision may be waived in the sole and absolute discretion of the Review Authority in exceptional circumstances by finding that the following conditions exist:
 - i. The access tract was constructed prior to 2014.
 - ii. Acceptance of the access tract not meeting the specifications would allow the Town to upgrade other Town owned infrastructure which upgrade would not be practical without acceptance of the access tract.
 - iii. There is a public safety issue not directly related to the access tract being below the specifications set forth in Figure 6-5, which can be alleviated by the Town accepting the access tract and making improvement of the access tract and surrounding area (acceptance of an access tract does not require or guarantee the Town will make such improvements)
 - iv. More than ninety percent (90%) of the lots or condominium land unit are owned by parties other than the original or successor developer.
 - v. Acceptance of substandard access tract shall not set a precedent for future acceptance as every access tract is uniquely situated.
- b. The Town determines that it is in the Town's best interest to accept such access tract.
- c. The access tract serves three (3) or more lots or condominium land units.

b. Concrete is limited as an exterior material for structural elements such as exposed lintels or beams, or as board form concrete with review authority specific approval. Other areas of concrete shall be faced with stone, wood, stucco or metal per the exterior material requirements set forth in this section.

F. *Exterior Color.* Exterior material color shall harmonize with the natural landscape within and surrounding the Town. Color shall be natural, warm and subtle. Roofs may be rusted, black or gray standing seam or corrugated metal. Any colors used on details such as trim, fascia and timbers can be stronger and provide contrast to the more subtle tones of large wall or roof areas.

G. *Glazing.* Window design must be responsive to the energy code and site conditions. Each window wall composition will be evaluated on the basis of whether it is an integral part of the structure's complete design. Windows shall be designed to meet the following standards:

1. Window openings and patterns shall be responsive to good solar design principles. The design of exterior walls shall also respond to solar exposures.
 - a. The maximum window area of a building shall be forty percent (40%) of the total building façade area. Window placement and size shall be sensitive to light spill to adjacent properties.
2. Combinations of windows shall be used to establish a human scale to building facades in the Village Center.
3. Windows within grounded base forms shall appear to be punched into walls. Window patterns and reveals need to be carefully studied to create interest and variety.
 - a. All windows in stone or stucco walls shall be recessed so that the exterior face of the glass is set back a minimum of five inches (5") from the outside face of the exterior wall assembly.
 - i. Built-out eyebrows shall not be used to circumvent the intent of the window recess requirement.
 - b. Within the Village Center, the depth of reveals shall vary from the five inches (5") as set forth above with reveals greater than ten inches (10") being more desirable.
4. Window openings and trim shall be consistent in proportion and scale with the associated building. Materials shall vary in detailing and color while still being compatible with overall building design. Transitional details must be provided that clearly describe connection of glazing to walls.
5. For residential windows above the pedestrian (ground) level within the Village Center, uninterrupted, maximum glass area shall not exceed sixteen (16) square feet.
6. Village Center windows at pedestrian (ground) level are also governed by the Commercial, Ground Level and Plaza Area Design Regulations.
7. Windows shall have double or triple glazing or high technology glass as required by the Building Codes.
8. Window frames and trim shall be painted or stained wood, anodized, painted or clad aluminum or patina copper clad.



DISTANCE BETWEEN THE DRIVEWAY CURBCUT FOR AR-52R AND THE PROPOSED DRIVEWAY FOR AR-53R-1 APPEARS TO BE LESS THAN 5'-0".

Uncompahgre Engineering, LLC
P.O. Box 3945
Telluride, CO 81435
dballode@msn.com (970) 729-0683

April 29, 2022

To: John Miller
Town of Mountain Village

RE: Lot AR53R1, Lawson Overlook

Dear John –

I'm writing this letter on behalf of my client, Susan Conger. She and her husband built and own a new house on Lot AR53R2.

Last month, a DRB presentation was made for the adjacent lot, Lot AR53R1. That house showed that the roof and other drainage from the house would be directed across the property line to the Conger house.

On Susan's behalf, I would ask the Town and the DRB to please consider that the AR53R1 house be required to direct their stormwater discharge to the street within their own property. This could be as simple as digging a swale on the AR53R1 property that directs the water to the street and not into Susans' house or over her retaining walls and landscaping.

Thank you –

David Ballode, P.E.
Uncompahgre Engineering, LLC

FORTENBERRY & RICKS, LLC

5/4/22

To: John Miller- Town of Mtn. Village.

Re: Lot AR 53-R1 Drainage plan

Dear John,

As the General Contractor for the neighboring lot AR-53R2, I have reason for concern after reviewing the drainage plan as shown on Architects Collaborative Sheet A1.1. The plan shows all the runoff from the site and roofs running directly across the shared property line and on to my client's property. This, in general, is not recommended and I strongly feel that this drainage plan should slope to the north and away from the adjacent lot. A drainage swale on the applicant's property should address the concern and route the water to the street to the north. As always, your consideration is appreciated.

Ryan Deppen



Partner

Fortenberry & Ricks, LLC.

Review comments by TOMV staff forester, Michael Otto

New Single Family Home at Lot AR-53r1.

A wildfire mitigation plan and landscape plan were not included.



TELLURIDE FIRE PROTECTION DISTRICT

Scott Heidergott, Fire Marshal

Date: 02/28/2022

Address: Lot AR53R1, Adams Way
Mountain Village, CO 81435

TFPD approves the proposal with the following conditions:

- 1) The structure is over 3,600 sq ft and shall require a monitored sprinkler system.
- 2) The width of the driveway shall meet the code of 16-feet total width. 12-feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.
- 3) The address monument shall be a minimum of 4'6" from grade to the bottom of the address numbers. Address numbers shall be 6" in height, reflective coated, or outlined with a reflective coating.
- 4) TFPD recommends the installation of a Knox Box for emergency entry into the structure.



TO: Mountain Village Design Review Board
FROM: John Miller, Principal Planner
FOR: Design Review Board Public Hearing; June 2, 2022
DATE: March 20, 2022
RE: Staff Memo – Final Architecture Review; Lot 89-3A, 99 Lookout Ridge

APPLICATION OVERVIEW: New Single-Family Home, Lot 89-3A

PROJECT GEOGRAPHY

Legal Description: LOT 89 3A TELLURIDE MOUNTAIN VILLAGE ACC TO PLAT BK 1 PG 1066 REC AUG 7, 1990, CONT 0.521 ACRES

Address: 99 Lookout Ridge
Applicant/Agent: CCY Architects, LTD
Owner: Project 99, LLC
Zoning: Single-Family
Existing Use: Vacant Lot
Proposed Use: Single-Family
Lot Size: .52 acres

Adjacent Land Uses:

- **North:** Open Space
- **South:** Single-Family
- **East:** Single-Family
- **West:** Single-Family

ATTACHMENTS

Exhibit A: Architectural Plan Set
Exhibit B: Staff/Public Comment



Figure 1: Vicinity Map

Case Summary: Sean O’Bryant of CCY Architects (Applicant) on behalf of Project 99 LLC, the owner of Lot 89-3A is requesting Design Review Board (DRB) approval of a Final Architecture Review (FAR) Application for a new single-family home at 99 Lookout Ridge. The improvement survey plat indicates that Lot 89-3A is 0.52 acres in size. The overall square footage of the home is approximately 6,505 gross square feet and provides two interior parking spaces within the proposed garage and two exterior spaces. The proposal also includes an ADU located directly above the garage. It should be noted that Lot 89-3A

is defined as a ridgeline lot per CDC Section 17.5.16 and has additional criteria that must be met as part of the review process. This lot was pre-addressed with the address of 99 Lookout Ridge, but due to the location of the driveway will need to be readdressed for emergency services with a new address on Mountain Village Blvd.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by Italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	35' (shed) Maximum	27'-9"
Maximum Avg. Building Height	30' (shed) Maximum	24'-2"
Maximum Lot Coverage	40% Maximum (s.f.)	31.8%
General Easement Setbacks	16 Feet – No Encroachments	Encroachments
Roof Pitch		
Primary		5/8" : 12"
Secondary		n/a
Exterior Material		
Stone	35% minimum	38.1%
Windows/Doors	40% maximum	25.9%
Parking	2 Enclosed	2
	2 Surface	2

Design Review Board Specific Approvals:

1. **Metal Fascia**
2. **General Easement Encroachments**

Please note, this memo addresses only the specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated March 18, 2022, from the May 31, 2022, Public Hearing.

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Staff: The application meets all building height requirements

17.3.14: General Easement Setbacks

Lot 89-3A is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway, Address Monument, Utilities, and Landscaping*

In addition to the above, the proposal also includes setback encroachments that do not fall into the above category of permitted setback development activities but were otherwise discussed in detail at the Initial Review.

- *Stone faced retaining walls / Parking turn around: Due to the topography of the site, the applicants are proposing a series of retaining walls associated with the driveway within the southern and eastern GE. Additionally, a small area of the parking turn around is located within the same GE area.*
- *Northeast Staircase / North Patio: The submittal was revised to remove the north patio area from the GE entirely. The staircase was also revised so that its now shown as an informal stepping-stone access path rather than a formal staircase.*
- *Access Path: there is a 3' wide at grade access path shown on the west side of the home.*

Staff: The DRB will need to grant specific approval for these encroachments. At initial review, there were general comfort with the retaining walls associated with the parking area but expressed concern related to the pathways. The staircase has been modified to be more informal, but the DRB should continue their discussion as it relates to the eastern access path (shown on page L1.0).

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

Staff: The application meets all Town Design Theme requirements.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: At Initial Review, there were discussions related to the home's light and dark contrasting color palette and whether or not this design appeared visually subdued and subordinate to the surrounding landscape. The applicant has revised the color palette and renderings now showing a darker palette that appears to blend much better on the site. The DRB should discuss these changes and if they alleviate the concerns expressed previously.

17.5.6: Building Design

Staff: At Initial Review, the applicant was asked to provide additional information related to the finish materials of the home, along with details for window and door recesses, which were provided to staff as part of this submittal. The application now meets all Town Design Theme requirements.

17.5.7: Grading and Drainage Design

Staff: The application meets all Grading and Drainage Design requirements.

17.5.8: Parking Regulations

Staff: The applicant is meeting the requirements of the CDC for parking. At initial review, staff requested parking dimensions be shown on the plans, which were revised by the applicant as part of this submittal.

17.5.9: Landscaping Regulations

The applicant has revised the landscaping plan to include the requested planting schedule and modified the plantings to meet the diversity requirements of the CDC. Additionally, there have been details provided as requested related to the green roof area between the ADU and the main home.

Staff will also note the following:

- 1. Proposed irrigation has not been addressed but any irrigation located within the GE will require a GE encroachment agreement. The Landscaping Plan on page L1-.1 references irrigation DWG.s that have not been provided.*
- 2. The native seed mix is not meeting the requirements of the CDC.*

If the DRB is comfortable with proceeding, staff requests a condition that the final landscaping plan be reviewed as part of the building permit submittal package.

17.5.11: Utilities

Staff: The applicant shall work with the Public Works Director before final review to verify the specific locations of the connections for the home. The plan set shows the proposed connections and the locations of the proposed utilities based on field research.

17.5.12: Lighting Regulations

Staff: The applicant did not provide a photometric study as requested at Initial Review. Additionally, there are some concerns with the proposed lighting plan as it relates to the number and types of fixtures proposed. There appears to be a large number of the X2 and X3 fixtures as shown on sheet LP1.0, which should be discussed to determine the appropriateness of this quantity of lighting. The applicants are showing a mono-point adjustable fixture which the DRB has been hesitant on approving in the past. Based on the cutsheet, this lamp can be modified to be down lit, but it may be preferable to revise this fixture.

If the DRB is comfortable with proceeding, then a condition of approval should be included to require submittal and approval of a revised lighting plan demonstrating a reduction in overall fixtures and a photometric study to be approved by a member of staff and the DRB.

17.5.13: Sign Regulations

Staff: The applicant has revised details for the address monument of the home based on conversations at initial review. It appears that the monument's design is now meeting the height requirement for numbering with a minimum numbering height of 54" required. The owner will be required to enter into a GE encroachment agreement with the Town for the address monument.

17.5.16: Ridgeline Lots

Staff: The following provisions apply to Lot 89-3A, as it is defined as a Ridgeline Lot:

- 1. All structures shall have varied facades to reduce the apparent mass.*
- 2. To the extent practical, foundations shall be stepped down the hillsides to minimize cut,
 - 1. fill and vegetation removal.*
 - 2. Building and roofing materials and colors shall blend with the hillside.*
 - 3. Colors and textures shall be used that are found naturally in the hillside.*
 - 4. Reflective materials, such as mirrored glass or polished metals, shall not be used.**

5. *To the extent practical, no exterior lights shall be installed on the east side of buildings. Any required exterior lighting shall be shielded, recessed, or reflected so that no lighting is oriented towards the east side of the building.*

Based on the façade revisions discussed above, it now appears that the applicant is meeting the requirements above for ridgeline lots. The applicant should ensure as part of the building permit submittal that no mirrored glass or polished metals are utilized.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: The applicant has provide a fire mitigation plan which meets the requirements of the CDC.

17.6.6: Roads and Driveway Standards

Staff: The application meets all Road and Driveway Standards requirements.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The proposed design designates all fireplaces to be gas burning.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The applicant has provided an updated CMP as part of the final submittal addressing the requirements of the CDC along with the items requested to be discussed at Initial Review.

Staff Recommendation: Staff recommends the DRB approve the Final Architecture Review for Lot 89-3A, 99 Lookout Ridge based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architecture Review for a new single-family home located at Lot 89-3A, based on the evidence provided within the Staff Report of record dated March 20, 2022, with the following Specific Approvals:

Design Review Board Specific Approvals:

- 1) Metal Fascia
- 2) General Easement Encroachments

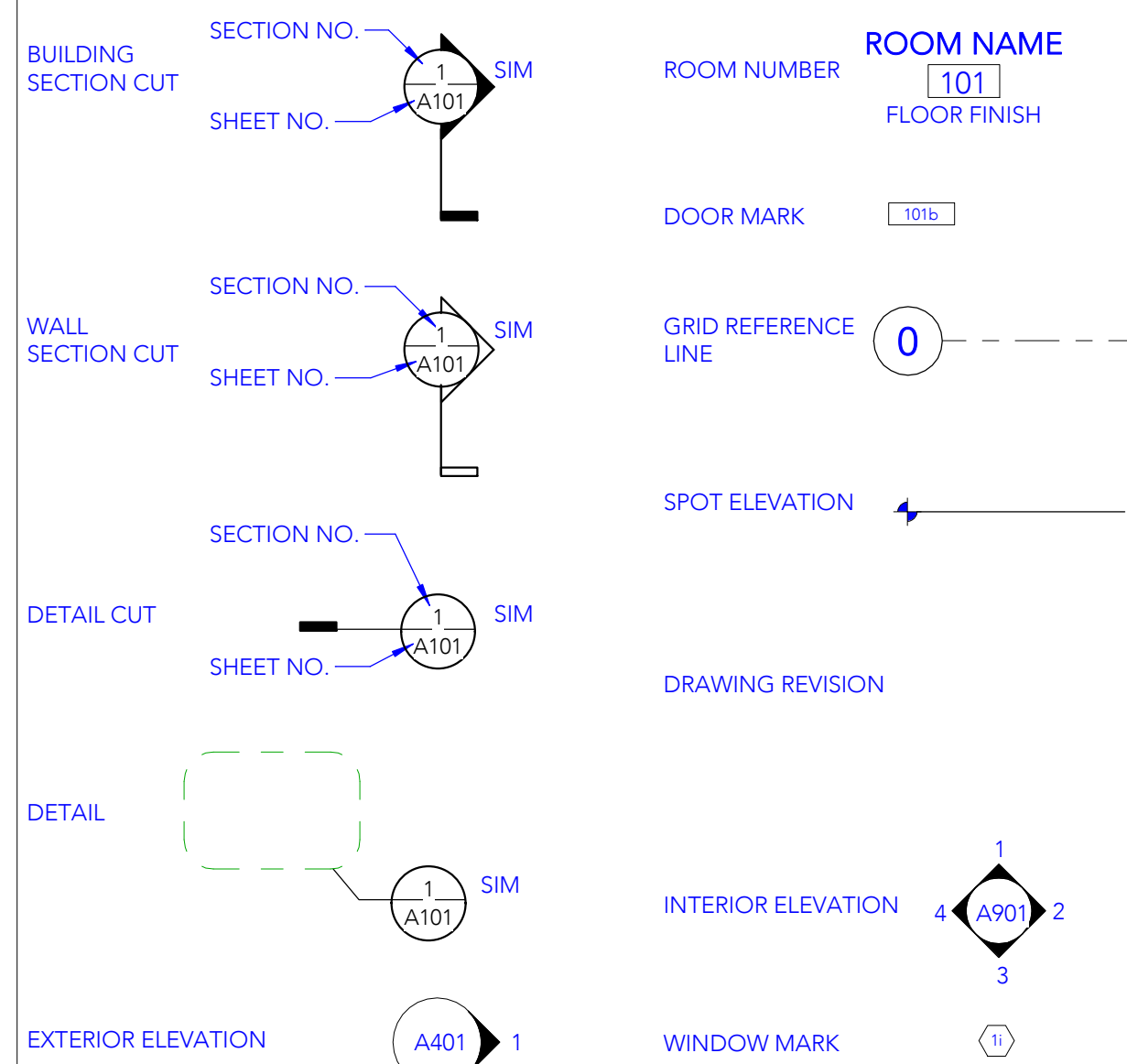
And, with the following conditions:

- 1) Prior to Building Permit, the applicant shall revise the landscaping plan to demonstrate irrigation locations and overall water usage, as well as revise the native seed mix to meet the CDC requirements.
- 2) Prior to Building Permit, the applicant shall revise the lighting plan to reduce the overall number of light fixtures, replace fixture X05, and to include a photometric study – to be reviewed by a member of the DRB and town staff.

- 3) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 4) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 5) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way, general easement, or setback, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (Fire Department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 6) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.
- 7) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 8) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern, and any grouting with the minimum size of four-feet (4') by four-feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials

/JM

SYMBOL LEGEND



LOOKOUT RIDGE RESIDENCE



99 LOOKOUT RIDGE DR, MOUNTAIN VILLAGE, CO 81435

SHEET INDEX

SURVEY	
SURVEY	TOPOGRAPHICAL SURVEY
LANDSCAPE	
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L-1.1	TREE REMOVAL
CIVIL	
C-1.0	NOTES
C-2.0	SITE GRADING WITH DRIVEWAY
C-3.0	UTILITIES
C-4.0	CONSTRUCTION MITIGATION
ARCHITECTURE	
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A-000.1	PROJECT DESIGN NARRATIVE
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A-002	SITE COVERAGE
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A-112	FLOOR PLAN
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A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-203	EXTERIOR ELEVATIONS CALCULATIONS
A-205	EXTERIOR MATERIAL PALETTE
A-320	WALL SECTIONS
A-501	TYP. ROOF ASSEMBLIES
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A-560	DOOR DETAILS
A-600	DOOR SCHEDULE
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A-900	PERSPECTIVE VIEWS
LIGHTING	
LP0.1	NOTES & LEGENDS
LP0.2	FIXTURE SCHEDULE
LP1.0	SITE LIGHTING PLAN
LP1.1	GARAGE LEVEL LIGHTING PLAN
LP1.2	LOWER LEVEL LIGHTING PLAN
LP1.3	MAIN LEVEL LIGHTING PLAN

CCY ARCHITECTS
 LOOKOUT RIDGE RESIDENCE
99 LOOKOUT RIDGE DR, MOUNTAIN VILLAGE, CO 81435

PROJECT CDC INFORMATION

CODE INFORMATION:
 ZONING: SINGLE FAMILY RESIDENTIAL
 BUILDING CODE: IRC 2012
 CBC 2018
 DESCRIPTION: 2 STORY SINGLE FAMILY RES.

LOT COVERAGE:
 GROSS LOT AREA: 0.52 ACERS = 22,683 SF
 MAX. ALLOW. COVERAGE: 42% = 9,073 SF
 PROP. LOT COVERAGE: 7,224 SF = 31.8%

FLOOR AREA:
 SEE SHEET A-001 FOR AREA CALCULATIONS

SETBACKS:
 BUILDING SETBACKS:
 GENERAL EASEMENT:
 N = 16'
 E = 16'
 S = 16'
 W = 16'

BUILDING HEIGHT LIMITS:
 MAX. ALLOW. BLDG. HEIGHT: 35'
 MAX. ALLOW. AVERAGE: 30'
 MAX. PROPOSED BLDG. HEIGHT: 27'-9"
 MAX. PROPOSED AVERAGE: 24'-2"

PARKING REGULATIONS:
 REQ. ENCLOSED SPACES: 2
 REQ. SURFACE SPACES: 2
 PROP. ENCLOSED SPACES: 2
 PROP. SURFACE SPACES: 2

PROJECT DIRECTORY

OWNER PROJECT 99 LLC STREET ADDRESS CITY, STATE ZIP XXX-XXX-XXXX FAX XXX-XXX-XXXX CONTACT: DAVID FORREST/ ROBERT GUTERMUTH	ARCHITECT CCY ARCHITECTS, LTD. 228 MIDLAND AVENUE P.O. BOX 529 BASALT, CO. 81621 970-927-4925 FAX 970-927-8578 CONTACT: SEAN O'BRYANT	BUILDER DELUCA CONSTRUCTION 394 W COLORADO AVENUE TELLURIDE, CO 81435 970-728-5547 CONTACT: PETE DELUCA
LANDSCAPES DHM DESIGN 311 MAIN ST, #102 CARBONDALE, CO. 81623 970-963-6520 CONTACT: JASON JAYNES	STRUCTURAL ENGINEER KL&A 215 N. 12TH STREET, UNITE E CARBONDALE, CO 81623 970-927-5174 CONTACT: DAN DOHERTY EMAIL: DDOHERTY@KLA.A.COM	MECHANICAL ENGINEER BG BUILDING WORKS 222 CHAPEL PL. UNIT AC-201 AVON CO 81620 970-949-6108 CONTACT: BILL LARSON EMAIL: BPLARSON@BGBUILDINGWORKS.COM
SURVEYOR SAN JUAN SURVEYING 102 SOCIETY DRIVE TELLURIDE, CO 81435 970-728-1128 CONTACT: CHRIS KENNEDY	SOILS/ GEOTECH. TRAUTNER GEOTECH LLC 649 TECH CENTER DRIVE DURANGO, CO 81301 970-259-5095 CONTACT: NAME	

DATE: 05.18.2022

ISSUE: DRB SUBMITTAL

PROJECT NUMBER: 21115

DRAWN BY: -- CHECKED BY: --

HISTORY:

#	DATE	DESCRIPTION
1	1.14.2022	DRB
2	3.01.2022	SD
3	5.18.2022	DRB FINAL

REV.# DATE DESCRIPTION

REV.#	DATE	DESCRIPTION
1		

ADDENDUM

SPECIFICATIONS
LIGHTING
ARCHITECTURE
3D ARCHITECTURAL MODEL

ABBREVIATIONS

AAD	ATHIC ACCESS DOOR	GALV	GALVANIZED	REIN	REINFORCE
ADD	ADDITIONAL	GC	GENERAL CONTRACTOR	REIN	REQUIRED
ADJ	ADJACENT	GLB	GLULAM BEAM	RHM	ROUND HEAD SHEET METAL
AF	ABOVE FINISHED FLOOR	GR	GRADE	RM	ROOM
AGG	AGGREGATE	GWB	GYPSUM WALLBOARD	RO	ROUGH OPENING
ALT	ALTERNATIVE	GYP	GYPSUM	RW	ROUGH WINDOW
ACR	AREA OF REFUGE	H.T.	HEAVY TIMBER	S.T.D.	SLOPE TO DRAIN
ARCH	ARCHITECTURAL	HD	HEAD	SKN	SANITARY SECTION
ASCY	ASSEMBLY	HDW	HARDWARE	SEW	SEWER
AR	ARCHITECTURAL	HCR	HORIZONTAL	SHV	SHEET
BD	BOTTOM OF BOARD	HGT	HEIGHT	SHT	SHELVES
B.C.	BUILDING CODE	HVAC	HEATING VENTILATING AND COOLING	SIM	SIMILAR
BEL	BELT	HWC	HIGHWAY	SPEC	SPECIFICATION
BLDG	BUILDING	IBC	INTERNATIONAL BUILDING CODE	SD	SQUARE
BN	BEARING	ICP	INTERGRATED COLOR	STC	SOUND TRANSMISSION CLASS
BRG	BOTH SIDES	ID	INTERIOR DIAMETER	STD	STANDARD
CAB	CABINET	IE	INTERIOR	STRUCT	STRUCTURE
CER	CERAMIC	INT	INTERIOR	SUB	SUBSTITUTE
CJ	CENTERLINE JOINT	INT	INSULATION	SUPPL	SUPPLEMENTAL
CL	CENTERLINE	IRC	INTERNATIONAL RESIDENTIAL CODE	SUSP	SUSPENDED
CLOS	CLOSET	JT	JOINT	T&G	TREAD
CLR	CLEAR	LAM	LAMINATE	T&G	TOP AND BOTTOM TONGUE AND GROOVE
CMU	CONCRETE MASONRY UNIT	LAV	LAVATORY	T.O.	TOP OF
COL	COLUMN	LAV	LAVATORY	TEL	TELEPHONE
CONC	CONCRETE	LAV	LAVATORY	TEMP	TEMPERED
CONT	CONTINUOUS	LAV	LAVATORY	THK	THICK
DET	DETAIL	LAV	LAVATORY	THK	THICK
DI	DIAMETER	LAV	LAVATORY	THK	THICK
DM	DIMENSION	LAV	LAVATORY	THK	THICK
DN	DOWN	LAV	LAVATORY	THK	THICK
DP	DOWNDRAFT	LAV	LAVATORY	THK	THICK
DR	DRAIN	LAV	LAVATORY	THK	THICK
DWS	DOWNSPOUT	LAV	LAVATORY	THK	THICK
DW	DISHWASHER	LAV	LAVATORY	THK	THICK
DWG	DRAWING	LAV	LAVATORY	THK	THICK
EA	EACH	LAV	LAVATORY	THK	THICK
EJ	EXPANSION JOINT	LAV	LAVATORY	THK	THICK
EL	ELEVATION	LAV	LAVATORY	THK	THICK
EQ	EQUAL	LAV	LAVATORY	THK	THICK
EXT	EXISTING	LAV	LAVATORY	THK	THICK
EXT	EXTERIOR	LAV	LAVATORY	THK	THICK
F.F.	FINISH FLOOR	LAV	LAVATORY	THK	THICK
FD	FLOOR DRAIN	LAV	LAVATORY	THK	THICK
FE CABT	FIRE EXTINGUISHER	LAV	LAVATORY	THK	THICK
FIN	FINISH	LAV	LAVATORY	THK	THICK
FL	FLOOR	LAV	LAVATORY	THK	THICK
FOC	FACE OF CONCRETE	LAV	LAVATORY	THK	THICK
FOS	FACE OF STUD	LAV	LAVATORY	THK	THICK
FP	FIREPROOF	LAV	LAVATORY	THK	THICK
FTG	FOOTING	LAV	LAVATORY	THK	THICK
GA	GALVE	LAV	LAVATORY	THK	THICK

GENERAL NOTES

- THE AIA DOCUMENT 201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", LATEST EDITION, ARE HEREBY MADE A PART OF THESE CONTRACT DOCUMENTS. COPIES ARE ON FILE AND ARE AVAILABLE FOR INSPECTION AT THE OFFICES OF THE ARCHITECT.
- THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, THE GENERAL NOTES, THE SPECIFICATION/ DETAIL BOOK, AND THE DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCY BETWEEN THE DIFFERENT PARTS SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ORDINANCES, AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEMEN OF THE APPROPRIATE TRADES.
- THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.
- ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED, OR CALLED OUT BY TRADE NAME, IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT, AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "E" ABOVE.
- THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE/ INTERNATIONAL RESIDENTIAL CODE OR ANY LOCAL CODE OR ORDINANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.
- DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONAL DISCREPANCIES WITH THE ARCHITECT.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.
- ALL DIMENSIONS ON STRUCTURAL DRAWINGS TO BE CHECKED AGAINST ARCHITECTURAL DRAWINGS. NOTIFY ENGINEER AND ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.

VICINITY MAP



NOT FOR CONSTRUCTION



COVER SHEET

SCALE: As indicated

A-000

CURVE TABLE					
CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	43.42	67.50	36°51'26"	N84°33'58"E	42.68
(C1)	43.42	67.50	36°51'22"	N84°34'00"E	42.68

- LEGEND**
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 20632
 - FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 28652
 - FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 36577
 - SET #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 36577
 - ELECTRIC TRANSFORMER
 - ⊕ FIRE HYDRANT
 - ⊕ WATER VALVE
 - ⊕ SPRUCE TREE, # INDICATES CALIPER
 - ⊕ ASPEN TREE, # INDICATES CALIPER
 - ⊕ FIR TREE, # INDICATES CALIPER
 - CABLE PEDESTAL
 - ▲ ELECTRIC BOX
 - ⊕ TELEPHONE PEDESTAL
 - ⊕ SEWER MANHOLE
 - ▨ SLOPES > 30%

- NOTICE:**
- According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.
- NOTES:**
- According to Flood Insurance Rate Map 08113C0286 C dated September 30, 1988, this parcel lies within Flood Zone "X" (Areas determined to be outside the 500-year flood plain).
 - Easement research from Land Title Guarantee Company, Commitment No. TLR86011276, Effective Date 03/02/2021 at 05:00 PM.
 - Vertical datum is based on the found Southeast corner of Lot 8, an Aluminum Cap Rebar, LS 24954, having an elevation of 9589.52 feet NAVD88, as depicted. Elevations were determined by a GPS Static observation, reduced by NGS Opus website.
 - Ownership was researched from the county GIS and is for informational purposes only.
 - Lineal Units U.S. Survey Feet
 - The use of this Improvement Survey Plat by any person or entity other than the person or entity certified to without the express permission of San Juan Surveying is prohibited.

PROPERTY DESCRIPTION:

Lot 89-3A, Telluride Mountain Village, according to the Plat Recorded August 7, 1990 in Plat Book 1 at Page 1066, and the Technical Amendment thereto Recorded August 31, 1990 in Book 469 at Page 878.

County of San Miguel,
State of Colorado

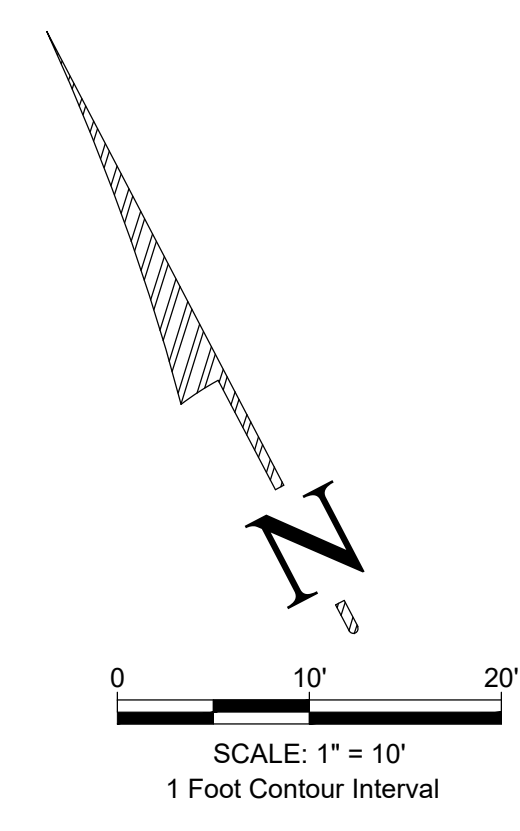
BASIS OF BEARINGS:

The Basis of Bearings for this Improvement Survey Plat was derived from the West line of Lot 89-3A, according to the Plat recorded in Plat Book 1 at page 1066, said bearing being **N 27°36'04" E**, both being found monuments as depicted on this plat.

SURVEYOR'S CERTIFICATE:

I, Christopher R. Kennedy, of San Juan Surveying, being a licensed and Registered Land Surveyor in the State of Colorado, do hereby certify that this Improvement Survey Plat prepared for Land Title Guarantee Company, Deep Creek Mesa 101 LLC, Ramesh Cherukuri, Radha Cherukuri, and Uma Cherukuri, was performed under my direct responsibility, supervision, and checking, and that the information herein is true and accurate to the best of my belief and knowledge. I further certify that the monuments as shown were field set as required by Articles 50 and 51 of Title 38, C.R.S.

Christopher R. Kennedy
 Christopher R. Kennedy, P.L.S. 36577
 01/12/2022



IMPROVEMENT SURVEY PLAT

LOT 89-3A, TELLURIDE MOUNTAIN VILLAGE

<p>SAN JUAN SURVEYING SURVEYING * PLANNING 102 SOCIETY DRIVE TELLURIDE, CO. 81435 (970) 728-1128 (970) 728-9201 fax office@sanjuansurveying.net</p>	DATE:	01/12/2022
	JOB:	97083
	DRAWN BY:	CRK
	CHECKED BY:	KSK
	REVISION DATES:	
SHEET:	1 OF 1	

LEGEND

- PROPERTY LINE
- BUILDING SETBACK
- BUILDING ROOF OVERHANG
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING TREES TO REMAIN

WILDFIRE ZONE 1

PER COMMUNITY DEVELOPMENT CODE:

1. 15ft around the building as measured from the outside edge of building dripline, including decks, planters, or patios attached to the building.
 2. All slash and flammable vegetation as identified by staff shall be removed from Zone 1.
 3. All trees and shrubs located within Zone 1 shall be removed.
- EXEMPTIONS
4. A tree or shrub may remain within Zone 1 provided the defensible space distance is measured commencing from the vegetation drip edge rather than the building plane.
 5. Flammable vegetation shall be allowed in planters attached to building so long as the planter is within 10ft of a building, and vegetation is not planted directly beneath windows or next to foundation vents.

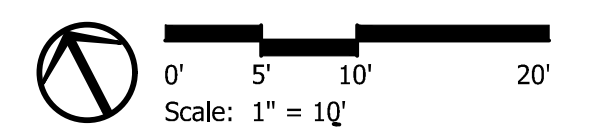
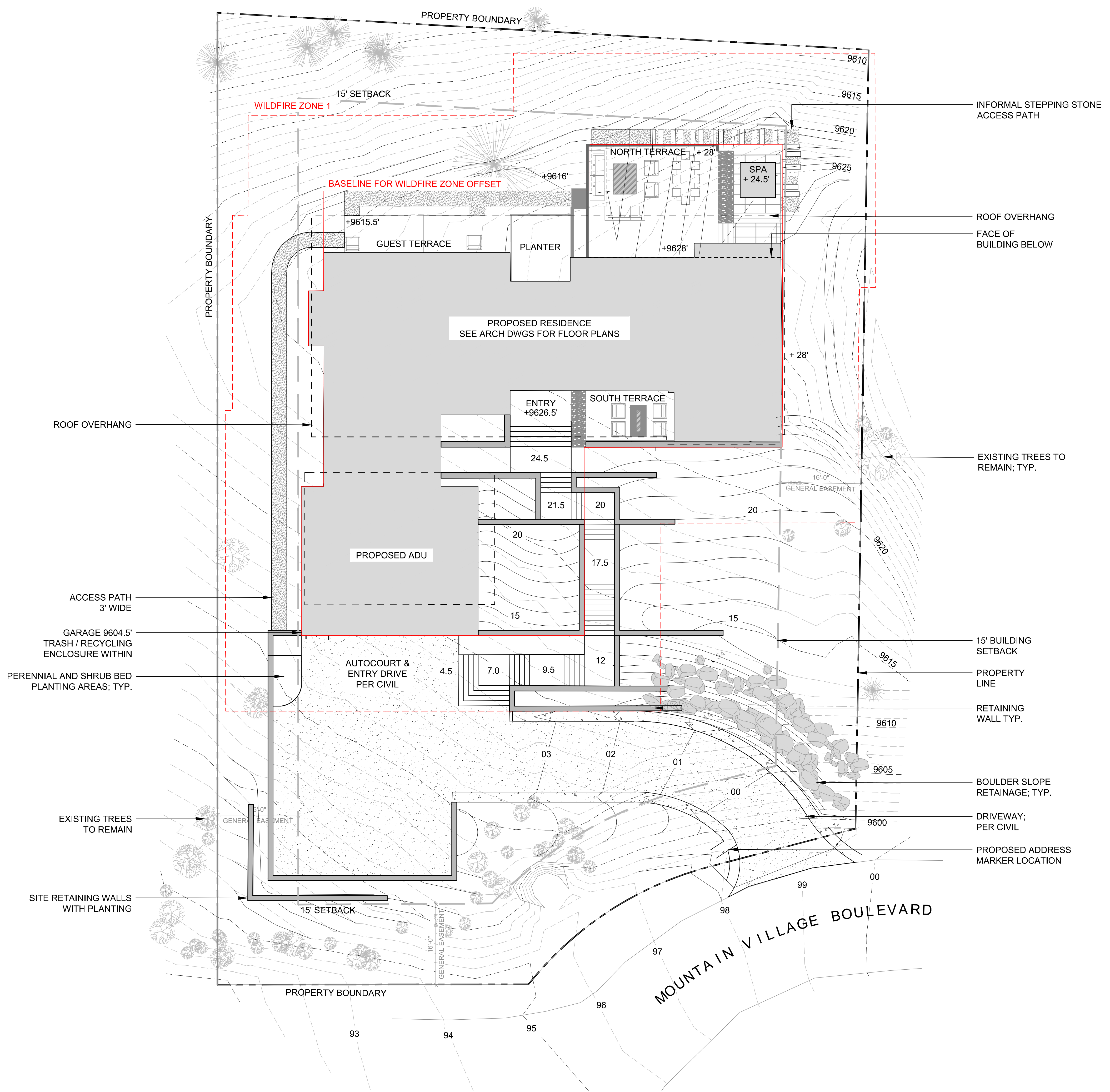
WILDFIRE ZONE 2

PER COMMUNITY DEVELOPMENT CODE:

1. Area between Zone 1 and Lot Line.
 2. Trees with DBH of greater than or equal to 4" shall be spaced with a ten foot crown to crown separation.
 3. All stressed, diseased, dead, or dying trees and shrubs, as identified by staff, shall be removed except for standing dead stress that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.
 4. Shrubs over 5ft tall shall have an average space of 10ft from shrub to shrub.
- EXEMPTIONS
5. Aspens, narrowleaf cottonwoods, willows, and other trees and shrubs listed in CSU Extension P6.305, Firewise Plant Materials may be spaced closer than 10ft crown to crown.
 6. Tree Removal for creation of defensible space. If such tree removal is determined to be impractical by the Town due to steep slopes, wetland, or other environmental constraints, and other mitigation is provided.

NOTES

1. SEE CIVIL DRAWINGS FOR ALL SITE GRADING AND DRAINAGE, AND UTILITIES.
2. REFER TO ARCHITECTURAL FLOOR PLANS FOR ELEVATIONS AND SPECIFIC INFORMATION RELATED TO EGRESS AND EXTERIOR ACCESS.
3. SITE STAIRS TO RECEIVE HANDRAILS WHERE REQUIRED BY RESIDENTIAL BUILDING CODE.
4. FINAL PAVING MATERIAL AND ALL PATIOS & HARDSCAPE AREAS TO BE COORDINATED WITH PROPOSED ARCHITECTURE AND DETERMINED DURING BUILDING PERMIT.



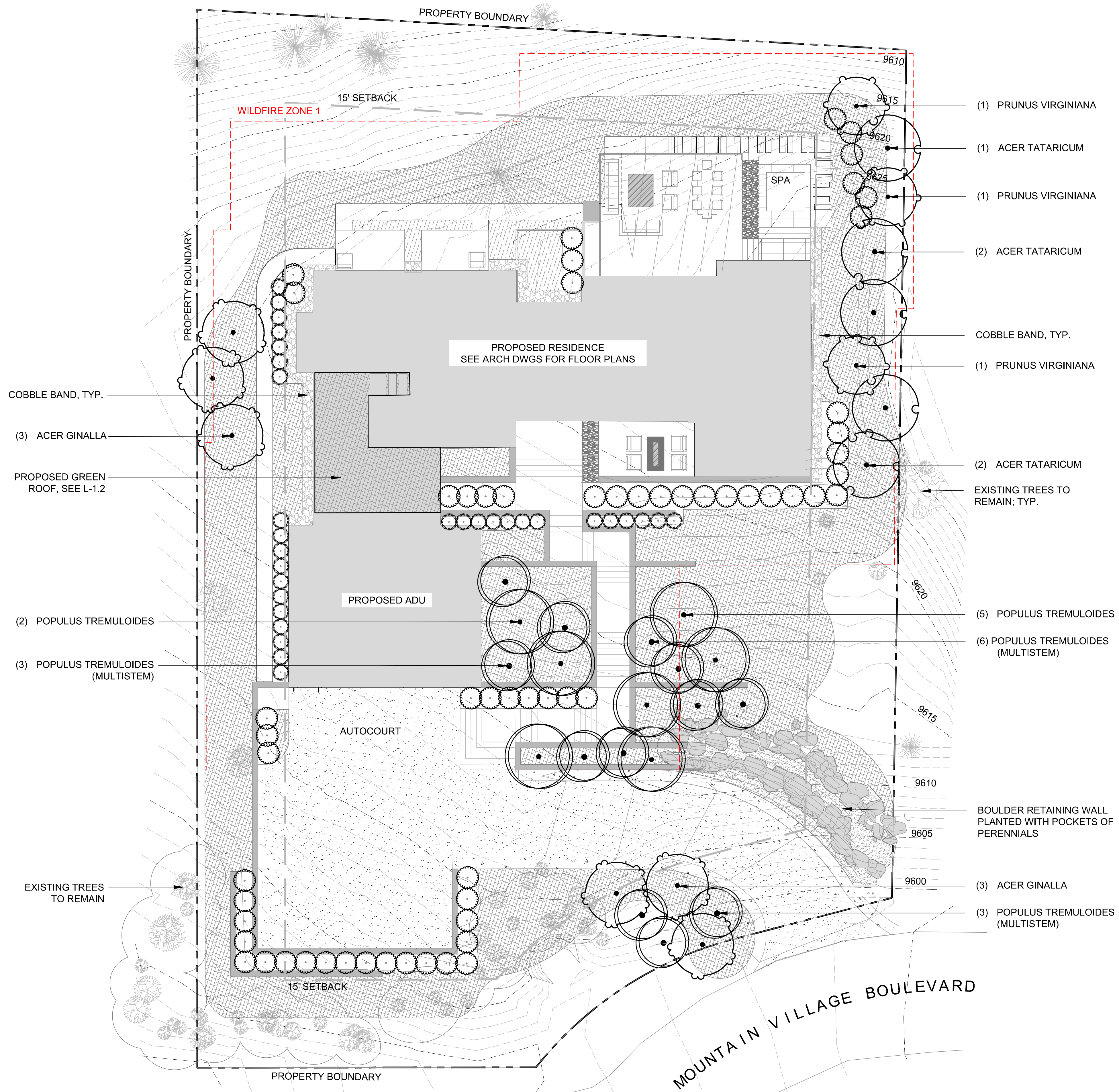
Lot 89- 3A
Mountain Village
Telluride, CO

PROJECT NO. 21358
ISSUE:
2022.05.18
DRB SUBMITTAL

SHEET TITLE:
**LANDSCAPE
SITE PLAN**

SHEET NUMBER:
L-1.0

SHEET OF



LEGEND

--- PROPERTY LINE
 --- BUILDING SETBACK
 --- EXISTING CONTOURS
 --- PROPOSED CONTOURS
 --- EXISTING TREES TO REMAIN

ACER TATARICUM
 Tatarian Maple
 3" B&B

ACER GINALLA
 Amur Maple
 3" B&B

POPULUS TREMULOIDES
 Quaking Aspen
 3" B&B

PRUNUS VIRGINIANA
 Chokecherry
 3" B&B

POPULUS TREMULOIDES MULTISTEM
 Quaking Aspen
 2.5" B&B

5 GAL. SHRUB

5 GAL. GRASS

BOULDER WALL GARDEN

NATIVE WILDFLOWER SEED MIX

BACK PATIO SHADE GARDEN

PRELIMINARY PLANT LIST

GENERAL TREES

SIZE	Botanic Name	Common Name	QUAN
3" b&b	Acer tataricum	Tatarian Maple	5
3" b&b	Acer ginalla	Amur Maple	6
3" b&b	Populus tremuloides	Quaking Aspen	7
2.5" b&b	Populus tremuloides (multi-stem)	Quaking Aspen	12
3" b&b	Prunus virginiana	Chokecherry	5

GENERAL SHRUBS & ORNAMENTAL GRASSES

SIZE	Botanic Name	Common Name
5 Gal	Amelanchier alnifolia	Serviceberry
5 Gal	Physocarpus monogymus	Mountain Ninebark
5 Gal	Rubus deliciosus	Rocky Mountain Thimbleberry
5 Gal	Symphoricarpos oreophilus	Mountain Snowberry
5 Gal	Cornus stolonifera coloradense	Colorado Dogwood
5 Gal	Helictotrichon sempervirens	Blue Cat Grass
5 Gal	Deschampsia cespitosa 'Goldtau'	Gold Dew Tufted Hair Grass

BACK PATIO SHADE GARDEN

PERENNIALS

SIZE	Botanic Name	Common Name
1 Gal	Mahonia repens	Creeping Holly
1 Gal	Aconitum columbianum	Morkshood
1 Gal	Campanula rotundifolia	Harebells
1 Gal	Geranium richardsonii	White Geranium

GROUND COVER

SIZE	Botanic Name	Common Name
4" pot	Linnaea borealis	Twinnflower
4" pot	Thymus praecox 'Minus'	Dwarf Creeping Thyme
4" pot	Ajuga reptans	Carpet Bugle

BOULDER WALL GARDEN

PERENNIALS

SIZE	Botanic Name	Common Name
1 Gal	Sedum integrifolium	King's Crown
1 Gal	Sedum rhodanthum	Queen's Crown
1 Gal	Nepeta x 'Little Trudy'	Little Trudy Catmint
1 Gal	Antennaria parvifolia 'McClintock'	Dwarf Pussytoes

NATIVE WILDFLOWER SEED MIX

WILDFLOWER SEED MIX (AREA 6,300 SF)

Mix %	Botanic Name	Common Name
10%	Poa alpina	Alpine Blue Grass
10%	Bromus marginatus	Mountain Bromegrass
10%	Festuca ovina	Sheep Fescue
10%	Deschampsia caespitosa	Tufted Hair Grass
10%	Agropyron riparian	Streambank Wheatgrass
20%	Elymus trachycaulus	Slender Wheatgrass
10%	Elymus glaucus	Blue Wink Rye
20%	Forbs List (annual & perennial)	

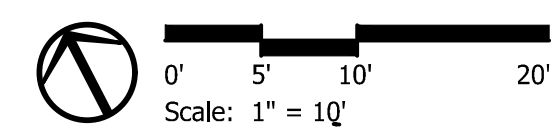
Mix %	Perennial & Annual Forbs List	Common Name
15.00%	Cheiranthus allionii	Siberian Wallflower
13.03%	Lupinus perennis	Lupine
8.30%	Thermopsis montana	Mountain Gold Banner
8.15%	Gallardia aristata	Gallardia
8.40%	Dianthus barbatus	Sweet William Pinks
11.30%	Penstemon strictus	Rocky Mountain Penstemon
11.30%	Linum perenne lewisii	Blue Flax
6.00%	Gypsophilla elegans	Annual Baby's Breath
6.00%	Centaurea cyanus	Cornflower
3.00%	Echinacea purpurea	Purple Coneflower
3.00%	Eschscholzia californica	California Poppy
3.00%	Papaver rhoeas	Com Poppy
3.00%	Chrysanthemum maximum	Shasta Daisy
0.26%	Aquilegia vulgaris	Dwarf Columbine
0.26%	Achillea millefolium	White Yarrow

Seed Mix Rate:
 26.5 lbs PLS per acre temporarily irrigated with overhead spray until established

This ornamental mix has been used with much success in this altitude and exposure. It is designed to provide a steady native grass base while displaying color from germination through the growing season. The mix is designed to provide color through non-aggressive annual vegetation for the first 2 growing seasons while the native perennial forbs reach maturity. At this point, the annual seed base is depleted and these annuals are not successful at large amounts of regeneration. Tender perennials such as California Poppy last for one generation providing a more ornamental look while at the same time not becoming aggressive and eventually not existent while native perennials replace them.

NOTES:

- PLANT LIST IS PROVIDED TO SHOW DESIGN INTENT AND DIVERSITY OF SPECIES. FINAL QUANTITIES AND LOCATIONS TO BE DETERMINED DURING FORTHCOMING DESIGN ITERATIONS.
- ALL DISTURBED AREAS TO BE RE-VEGETATED WITH SPECIFIED SEED MIX.
- ALL PLANTING AND RE-VEGETATED AREAS TO RECEIVE PROPER IRRIGATION. SEE IRRIGATION DWGS FOR DETAILS.
- TOTAL SEED MIX SQUARE FOOTAGE SHOWN INCLUDES GREEN ROOF AREA.
- PROPOSED TREE SPECIES & QUANTITIES FULFILL MINIMUM 40% DIVERSITY PER TOWN OF MOUNTAIN VILLAGE DESIGN GUIDELINES.



Lot 89- 3A
 Mountain Village
 Telluride, CO

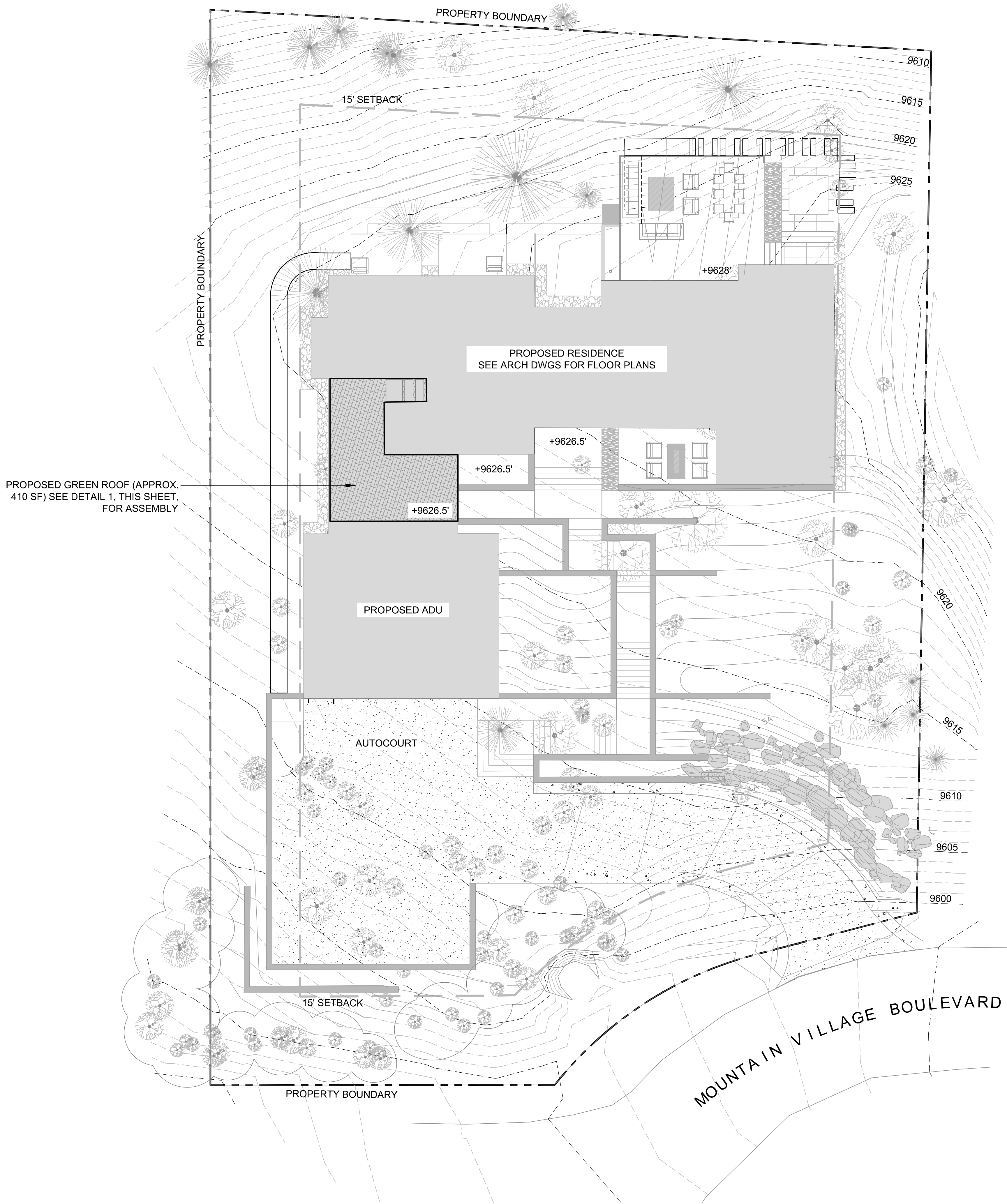
PROJECT NO. 21358
 ISSUE:
 2022.05.18
 DRB SUBMITTAL

SHEET TITLE:
PLANTING PLAN

SHEET NUMBER:

L-1.1

SHEET OF



PROPOSED GREEN ROOF (APPROX. 410 SF) SEE DETAIL 1, THIS SHEET, FOR ASSEMBLY

LEGEND

- PROPERTY LINE
- - - BUILDING SETBACK
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING TREES TO REMAIN
- [Cross-hatched box] NATIVE WILDFLOWER SEED MIX

NATIVE WILDFLOWER SEED MIX

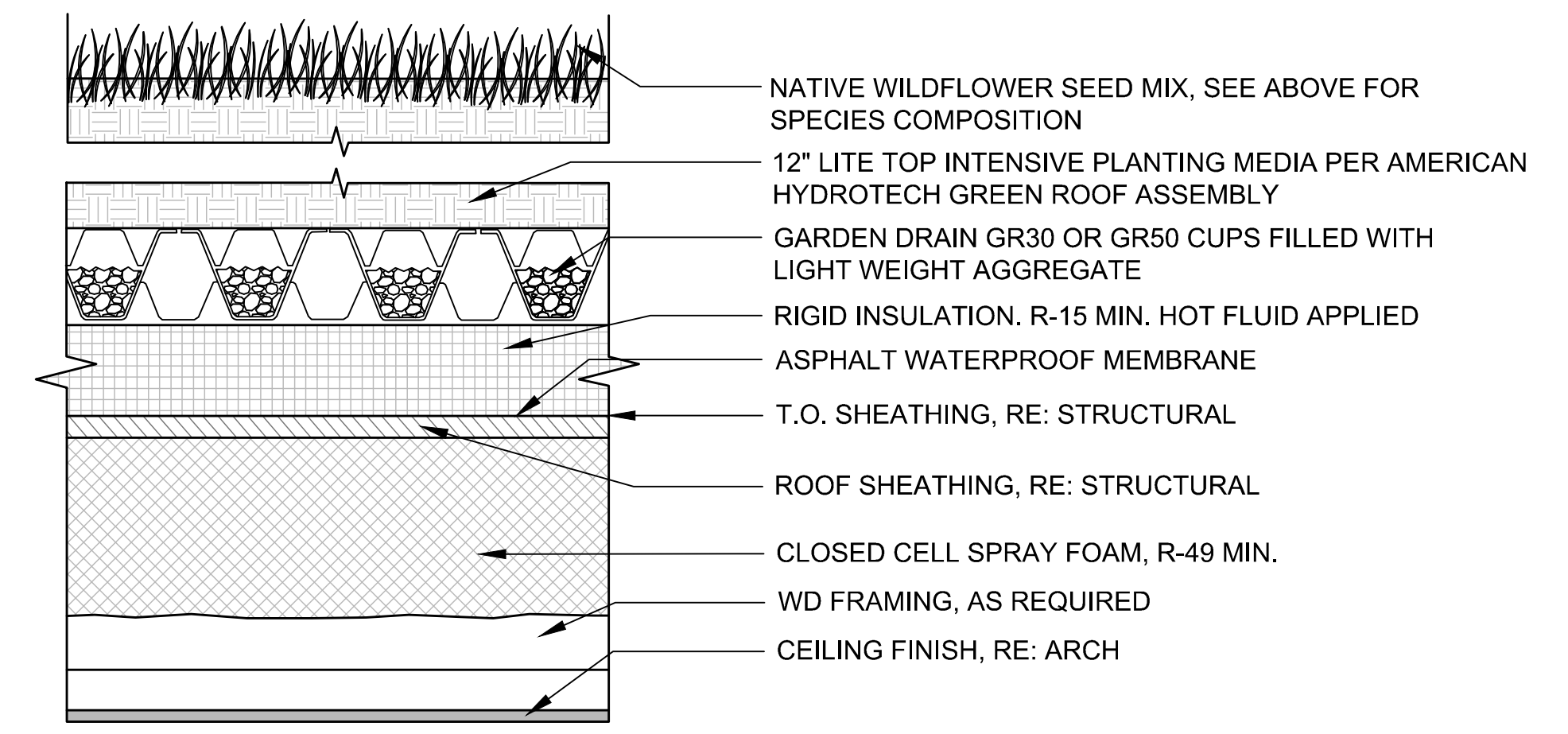
WILDFLOWER SEED MIX (AREA 410 SF)

Mix %	Botanic Name	Common Name
10%	<i>Poa alpina</i>	Alpine Blue Grass
10%	<i>Bromus marginatus</i>	Mountain Bromegrass
10%	<i>Festuca ovina</i>	Sheep Fescue
10%	<i>Deschampsia caespitosa</i>	Tufted Hair Grass
10%	<i>Agropyron riparian</i>	Streambank Wheatgrass
20%	<i>Elymus trachycaulus</i>	Slender Wheatgrass
10%	<i>Elymus glaucus</i>	Blue Wild Rye
20%	Forbs List (annual & perennial)	

Seed Mix Rate:
26.5 lbs PLS per acre temporarily irrigated with overhead spray until established

This ornamental mix has been used with much success in this altitude and exposure. It is designed to provide a steady native grass base while displaying color from germination through the growing season. The mix is designed to provide color through non-aggressive annual vegetation for the first 2 growing seasons while the native perennial forbs reach maturity. At this point, the annual seed base is depleted and these annuals are not successful at large amounts of regeneration. Tender perennials such as California Poppy last for one generation providing a more ornamental look while at the same time not becoming aggressive and eventually not existent while native perennials replace them.

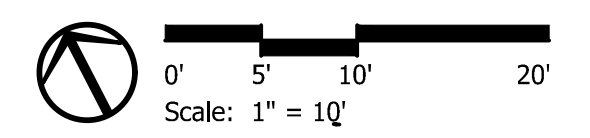
Mix %	Perennial & Annual Forbs List	Common Name
15.00%	<i>Cheiranthus allianii</i>	Siberian Wallflower
13.03%	<i>Lupinus perennis</i>	Lupine
8.30%	<i>Thamopsis montana</i>	Mountain Gold Banner
8.15%	<i>Gaillardia aristata</i>	Gaillardia
8.40%	<i>Dianthus barbatus</i>	Sweet William Pinks
11.30%	<i>Penstemon strictus</i>	Rocky Mountain Penstemon
11.30%	<i>Linum perenne lewisii</i>	Blue Flax
6.00%	<i>Gypsophila elegans</i>	Annual Baby's Breath
6.00%	<i>Centaurea cyanus</i>	Comflower
3.00%	<i>Echinacea purpurea</i>	Purple Coneflower
3.00%	<i>Eschscholzia californica</i>	California Poppy
3.00%	<i>Papaver rhoeas</i>	Corn Poppy
3.00%	<i>Chrysanthemum maximum</i>	Shasta Daisy
0.26%	<i>Aquilegia vulgaris</i>	Dwarf Columbine
0.26%	<i>Achillea millefolium</i>	White Yarrow



1 GREEN ROOF ASSEMBLY

NOTES:

- GREEN ROOF DETAIL IS BASED OFF OF AMERICAN HYDROTECH GARDEN ROOF ASSEMBLY INTENSIVE.
- ALL PLANTING AND RE-VEGETATED AREAS TO RECEIVE PROPER IRRIGATION. SEE IRRIGATION DWGS FOR DETAILS.



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Lot 89- 3A
Mountain Village
Telluride, CO

PROJECT NO. 21358
ISSUE:
2022.05.18
DRB SUBMITTAL

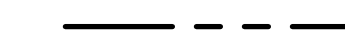





SHEET TITLE:
GREEN ROOF
PLAN & DETAIL

SHEET NUMBER:

L-1.2

SHEET OF

LEGEND

-  PROPERTY LINE
-  BUILDING SETBACK
-  EXISTING TREES TO REMAIN
-  TREES TO BE REMOVED
-  EXISTING CONTOURS
-  PROPOSED CONTOURS

WILDFIRE ZONE 1

PER COMMUNITY DEVELOPMENT CODE:

1. 15ft around the building as measured from the outside edge of building dripline, including decks, planters, or patios attached to the building.
2. All slash and flammable vegetation as identified by staff shall be removed from Zone 1.
3. All trees and shrubs located within Zone 1 shall be removed.

EXEMPTIONS

4. A tree or shrub may remain within Zone 1 provided the defensible space distance is measured commencing from the vegetation drip edge rather than the building plane.
5. Flammable vegetation shall be allowed in planters attached to building so long as the planter is within 10ft of a building, and vegetation is not planted directly beneath windows or next to foundation vents.

WILDFIRE ZONE 2

PER COMMUNITY DEVELOPMENT CODE:

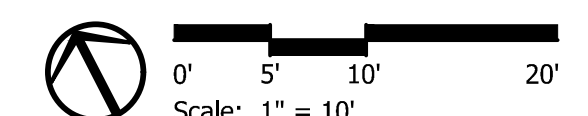
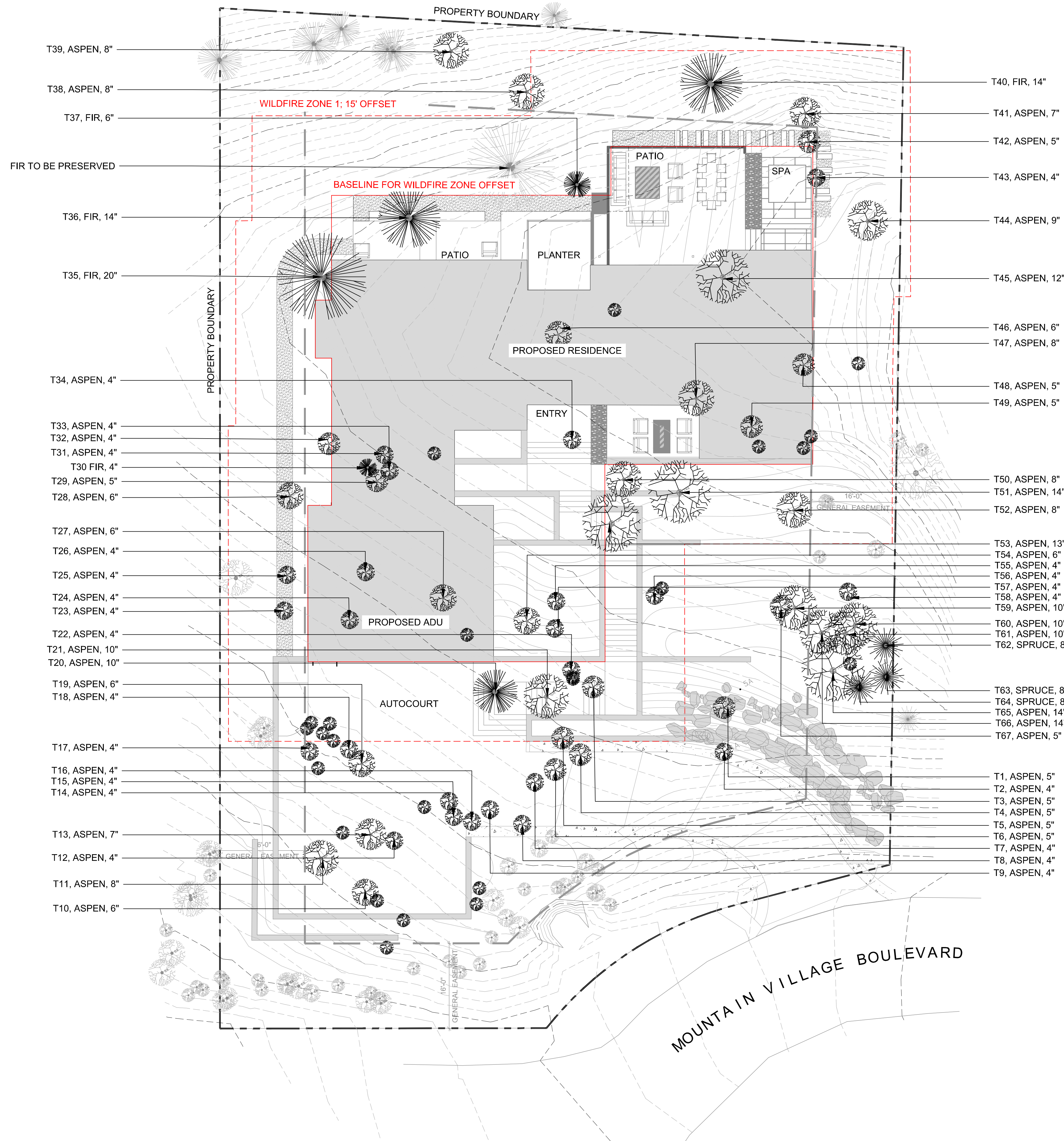
1. Area between Zone 1 and Lot Line.
2. Trees with DBH of greater than or equal to 4" shall be spaced with a ten foot crown to crown separation.
3. All stressed, diseased, dead, or dying trees and shrubs, as identified by staff, shall be removed except for standing dead stress that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.
4. Shrubs over 5ft tall shall have an average space of 10ft from shrub to shrub.

EXEMPTIONS

5. Aspens, narrowleaf cottonwoods, willows, and other trees and shrubs listed in CSU Extension P6.305, Firewise Plant Materials may be spaced closer than 10ft crown to crown.
6. Tree Removal for creation of defensible space. If such tree removal is determined to be impractical by the Town due to steep slopes, wetland, or other environmental constraints, and other mitigation is provided.

NOTES

1. TREES 4" DBH AND ABOVE ARE SHOWN PER SURVEY. TREES UNDER 3" ARE NOT CALLED OUT BUT ARE IDENTIFIED FOR REMOVAL.



GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

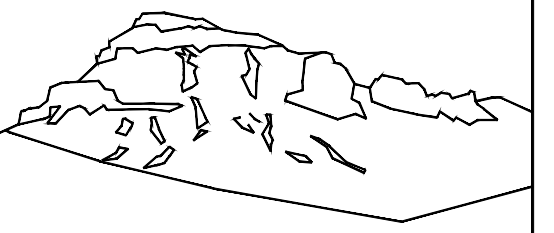
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB	2022-01-14
DRB	2022-05-18

Lookout Ridge
Residence

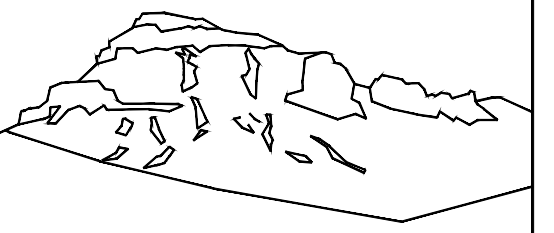
Lot 89A
Mtn Village Blvd
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



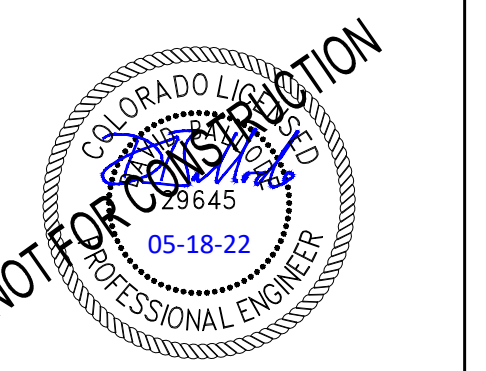
Uncompahgre Engineering, LLC

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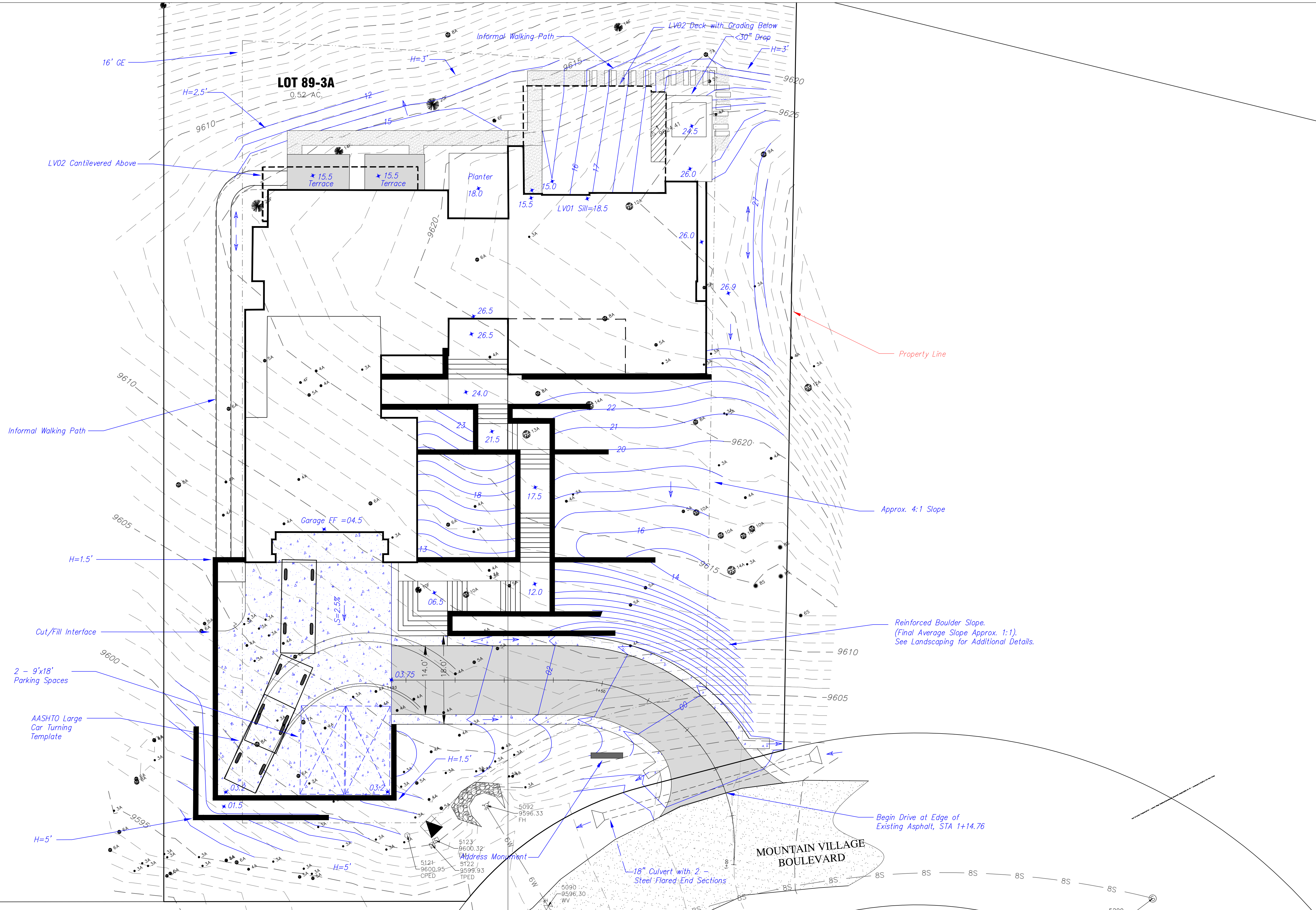
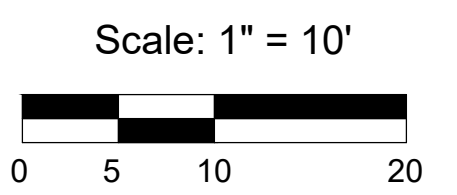
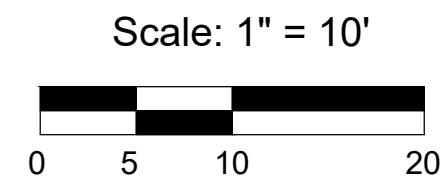
Lookout Ridge Residence
Lot 89A
Mtn Village Blvd
Mtn. Village, CO



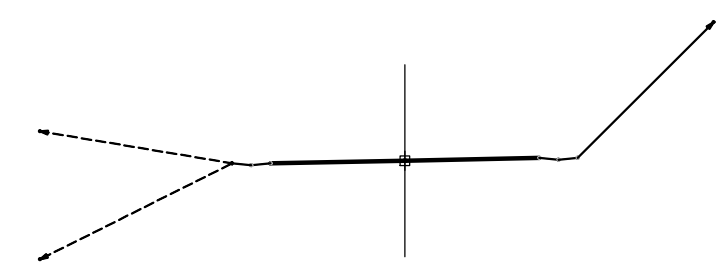
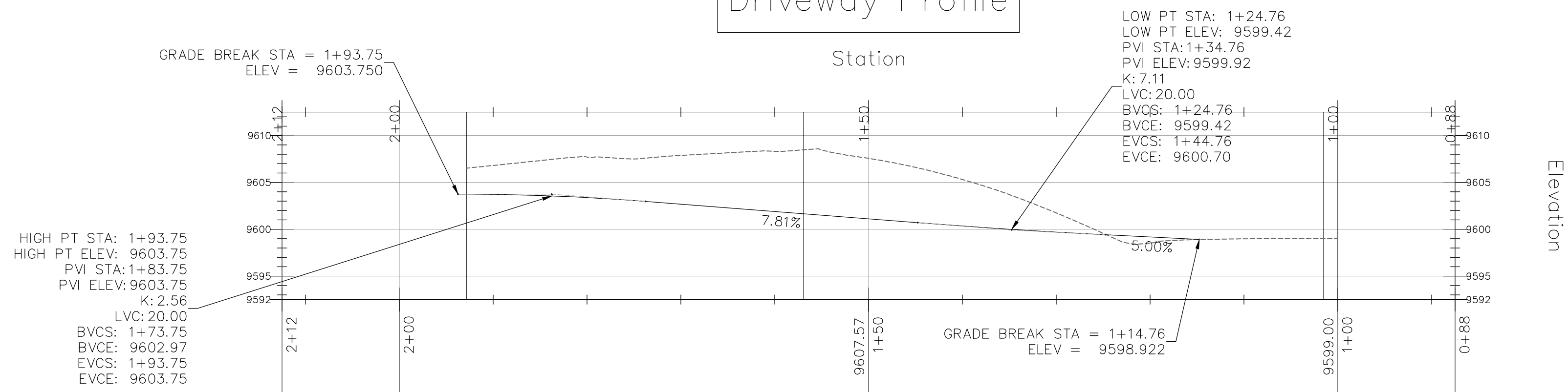
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Site Grading
with
Driveway Profile

C2



Driveway Profile





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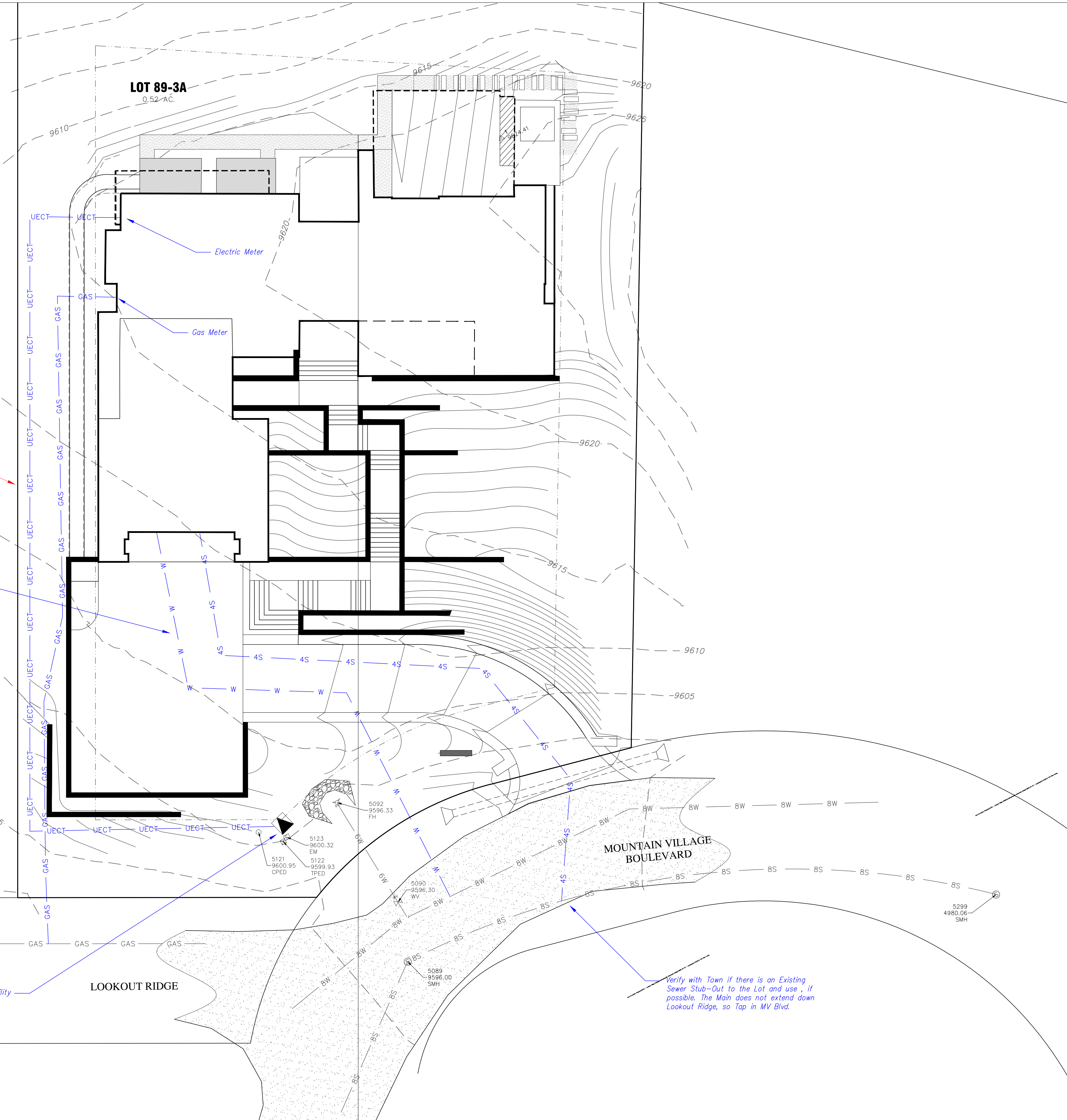
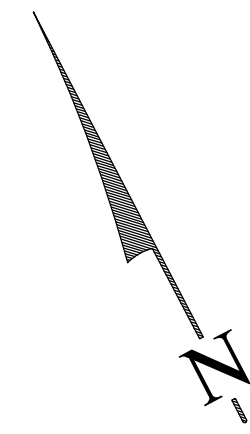
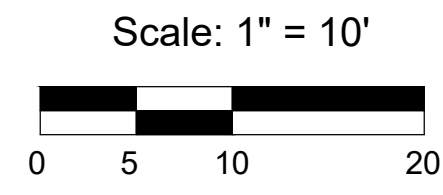
Lookout Ridge Residence
Lot 89A
Mtn Village Blvd
Mtn. Village, CO



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Utilities

C3



Property Line

Verify with Town if there is an Existing Curb Stop. Verify Size with Mechanical. Use the existing if possible. If not, Expose the Existing Service to the Main and turn off the Corp Stop. Re-Tap 18" away and run new Pure Core Serve to House.

Verify Gas Main Location (was not located on Survey). Coordinate Tap, Service, and Meter Location with Black Hills Energy.

Power/Phone/CATV/Fiber from Existing Utility Cluster. Coordinate Power with SMPA.

Verify with Town if there is an Existing Sewer Stub-Out to the Lot and use, if possible. The Main does not extend down Lookout Ridge, so Tap in MV Blvd.



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Lookout Ridge
Residence

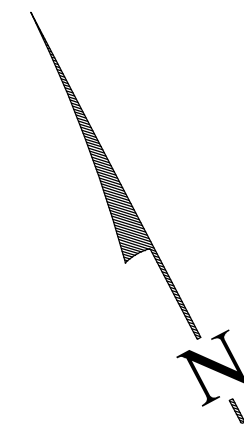
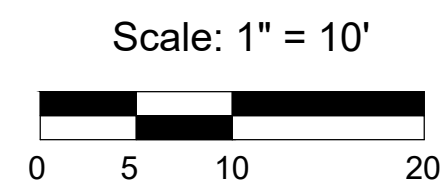
Lot 89A
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AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Construction
Mitigation

C4



Install Silt Fence on the downhill side of disturbance.
Maintain throughout job. No surface water will be
allowed to discharge the site without being directed
through a silt fence or straw wattle.

LOT 89-3A
0.52 AC.

6' Chain Link Fence Panels
with Green Screening

Material Storage and
Laydown Yard

Port-a-John Toilet

Bear Proof Poly-Cart

Construction Dumpster

On-Site Construction Parking

Install Silt Fence on the downhill side of disturbance.
Maintain throughout job. No surface water will be
allowed to discharge the site without being directed
through a silt fence or straw wattle.

Off-Site Construction Parking

No Stationary Crane is being contemplated at this
time.

The Contractor may Modify this Plan, but the New
Plan must be Coordinated and Approved by the Town
of Mountain Village.

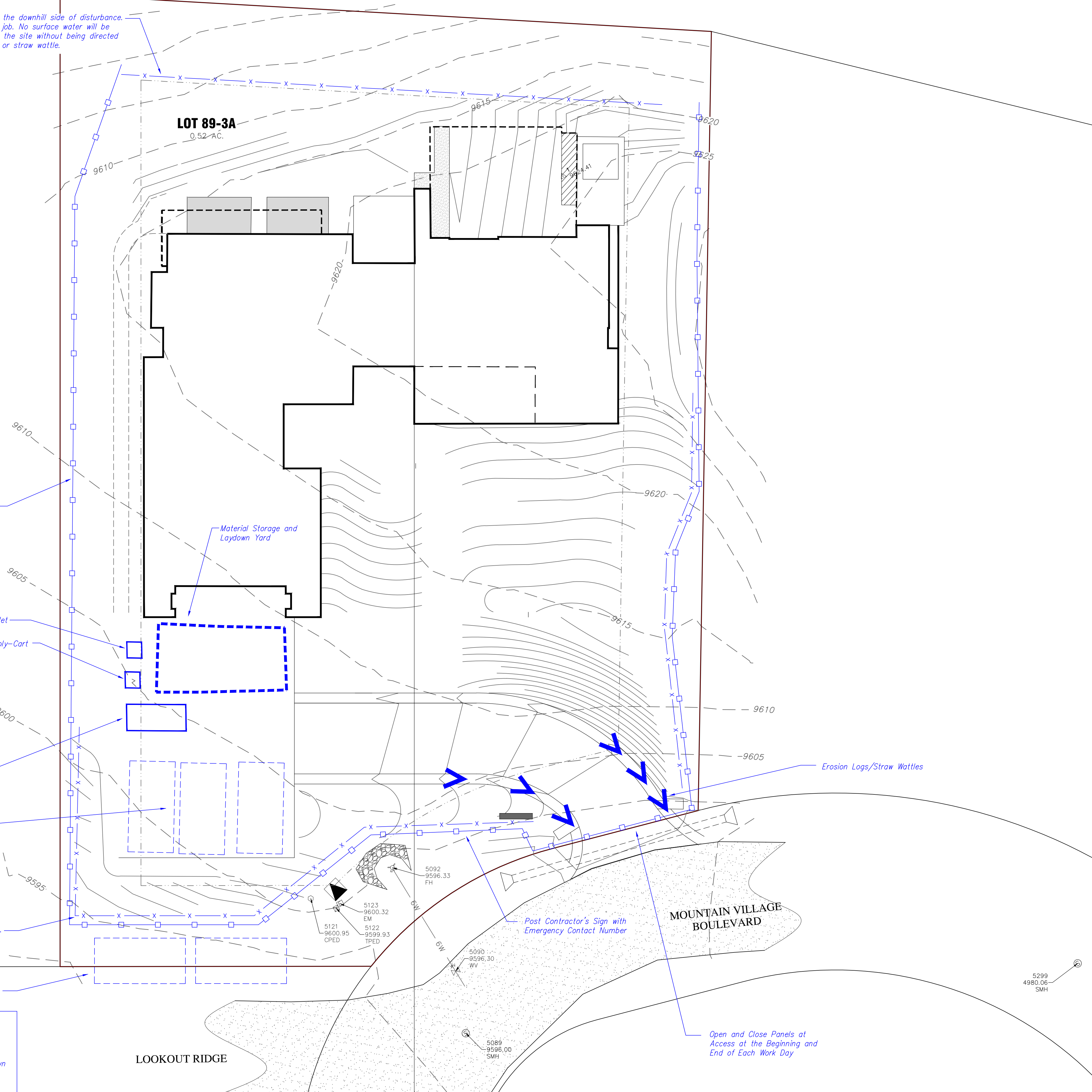
LOOKOUT RIDGE

MOUNTAIN VILLAGE
BOULEVARD

Post Contractor's Sign with
Emergency Contact Number

Erosion Logs/Straw Wattles

Open and Close Panels at
Access at the Beginning and
End of Each Work Day



DESIGN + DEVELOPMENT NARRATIVE

THE SITE - OBSERVATIONS & OPPORTUNITY

THE SITE IS LOCATED AT THE INTERSECTION OF MOUNTAIN VILLAGE BOULEVARD AND LOOKOUT RIDGE DR. LOT 89-3A. IT IS ONE A SERIES OF RIDGELINE LOTS THAT IMPRESSIVELY CAPTURES VIEWS TO OF THE SAN SOPHIA RIDGE TO THE NORTH AS WELL AS VIEWS TO THE SOUTH SPANNING FROM LITTLE CONE AND MOUNT WILSON TO PALMYRA.

LOCATING THE HOME TO CAPTURE THESE VIEWS IS A CLEAR OPPORTUNITY FOR THE PROJECT.. NAVIGATING THE SLOPE OF THE SITE AND SCULPTING THE ARCHITECTURE IN A WAY THAT LIVES HUMBLY ON THE LAND WHILE GAINING THE VIEWS AFFORDED FROM A UNIQUE POSITION QUICKLY BECAME THE DESIGN OBJECTIVE.

THE SITE CLIMBS FROM ELEVATION 9560' ON THE SOUTH-WEST CORNER 40' TO ELEVATION 9560' TO THE NORTH EASTERN END OF THE LOT ALONG A RIDGELINE SLOPING WEST TO EAST.

THE SITE IS WOODED WITH ASPEN TREES AND OCCASIONAL CONIFERS. WHILE BUILDING ON THE SITE WILL INHERENTLY ENTAIL SOME TREE REMOVAL, PRESERVING THE FEEL OF THE ASPEN GROVE THAT THINS AS YOU CLIMB HIGHER TO THE RIDGE OF THE SITE IS AN IMMEDIATE THE PROPOSED DEVELOPMENT INTENDS TO MAINTAIN THIS NATURAL CONDITION AS A BUFFER WHERE THE SITE MEETS LOOKOUT RIDGE DR.

THE ARCHITECTURE - RESPONSIVE TO THE LANDSCAPE

AS MENTIONED, THE HOUSE HAS BEEN DESIGNED TO CAPTURE THE SITE'S AMAZING VIEWS WITH A STRUCTURE THAT RESPECTS AND IS RESPONDING TO THE LAND IT SITS ON.

THE STRUCTURE IS ORGANIZED AS A 2 STORY LIVABLE HOME, WITH A GARAGE LEVEL BELOW TO MINIMIZING THE SITE DISTURBANCE FOR DRIVE ACCESS WITH A SAFELY LOW SLOPED DRIVEWAY. USERS MAY HAVE THE EXPERIENCE OF PARKING THE CAR AT THE AUTO COURT TO EMBARK TOWARDS THE FRONT DOOR, ACCESSED BY A PROCESSION OF EXTERIOR STEPS THAT BRINGS USERS THOUGHT THE SITE AS IT CLIMBS TOWARDS THE RIDGE. THIS PROCESSION IMMULATES THE UNVEILING EXPERIENCE OF GAINING THE SUMMIT AND AFFORDING SPECTACULAR VIEWS. THE MAIN LEVEL OFFERS A UNIQUE DOUBLE SIDED QUALITY WITH VIEWS TO THE NORTH AND SOUTH. ON THE NORTH EAST END OF THE HOME, AN EXTERIOR DECK HOVERS OVER THE LAND AS GRADE SLOPES AWAY.

THE HOUSE IS SIMPLE IN FORM AND GROUNDED. THE PRIMARY MATERIAL ELEMENTS ARE A STONE BASE THAT ANCHORS THE HOUSE TO THE LAND WITH WOOD AND DARKENED METAL FORMS THAT EVOKE THE TONES OF THE WOODED SITE AROUND IT.

THE PRIMARY FORM OF THE BUILDING SLOPES FROM WEST TO EAST DIRECTLY RESPONDING TO THE NATURAL GRADE OF THE TOPOGRAPHY, INTENDING TO MINIMIZE THE SCALE OF THE STRUCTURE AND BALANCE THE USER'S EXPERIENCE BY BOTH BEING CONNECTED TO THE LAND YET HIGH ENOUGH TO GAIN VIEWS. A TESTAMENT TO THIS IS THAT WHILE THE MAX ALLOWABLE ROOF HEIGHT IS 35', THE MAX HEIGHT OF THIS STRUCTURE IS 27' - 9" ... AND THE MAX ALLOWABLE AVERAGE ROOF HEIGHT IS 30', THIS STRUCTURE'S MAX AVERAGE ROOF HEIGHT IS 24' - 2".

GIVEN THE PROMINENCE OF THIS RIDGELINE TO THE TELLURIDE VALLEY, EXTRA SENSITIVITY TO THE STRUCTURES PRESENCE HAS BEEN CAREFULLY CONSIDERED IN THE PROPOSED DESIGN. THE RIDGELINE LOT CRITERIA OUTLINED IN SECTION 17.5.16 OUTLINES KEY AREAS TO YIELD A BUILDING THAT WORKS WITH SITE, RATHER THAN COMPETING WITH IT.

Ridgeline Lot

- All structures shall have varied facades to reduce the apparent mass.
 - The primary roof plane hovers above a varied facade breaking down scale and mass on all elevations.
- To the extent practical, foundations shall be stepped down the hillsides to minimize cut, fill and vegetation removal.
 - The building steps from south to north, as well as from west to east, responding to and minimizing cut / fill, as well as it's resulting mass.
- Building and roofing materials and colors shall blend with the hillside.
 - Materials have been selected with the goal of having the architecture feel of the site by blending with the colors and tones of the immediate surrounding
- Colors and textures shall be used that are found naturally in the hillside.
 - Materials have been selected with the goal of having the architecture feel of the site by blending with the textures, colors and tones of the immediate surrounding
- Reflective materials, such as mirrored glass or polished metals, shall not be used.
 - All proposed metal is to have a matte finish and be non reflective.
- To the extent practical, no exterior lights shall be installed on the east side of buildings. Any required exterior lighting shall be shielded, recessed, or reflected so that no lighting is oriented towards the east side of the building.
 - Please see lighting plan for sensitivity to this criteria.

CDC DESIGN VARIATIONS

PER 17.4.11.E.5

17.5.6.C.1.A - ROOF FORM

IN KEEPING WITH THE INTENT ON MASSING AND ROOF FORM IN THE CODE, OUR GOAL IS TO DESIGN A HOME THAT CAPTURES THE SITE'S AMAZING VIEWS WITH A STRUCTURE THAT RESPECTS AND IS RESPONDING TO THE LAND

THE BUILDING IS MADE UP OF TWO SHED ROOFS AND A FEW SMALLER SUBSERVIENT FLAT ROOFS. THE PRIMARY SHED ROOF SLOPES FROM WEST TO EAST DIRECTLY RESPONDING TO THE NATURAL GRADE OF THE TOPOGRAPHY. THE FLOOR PLATE UNDERNEATH THIS ROOF IS A SPLIT LEVEL THAT IS ALSO STEPPING WITH THE TOPOGRAPHY. THE INTENT HERE IS FOR THE FORM OF THE STRUCTURE TO CONNECT TO THE LAND AND TO BREAK DOWN MASS AND SCALE OF THE HOME. THE SECONDARY SHED ROOF IF THE ADU SOUTH OF THE PRIMARY ROOF / STRUCTURE IS STEPPED DOWN FROM THE PRIMARY ROOF WITH TOPOGRAPHY. UNDERNEATH THE SHED ROOFS THE MASSING IS VARIED, ADDING INTEREST WHILE BREAKING DOWN SCALE TO EACH FACADE REDUCING THE APPARENT MASS.

17.6.6.A.6a - ROAD AND DRIVEWAY STANDARDS

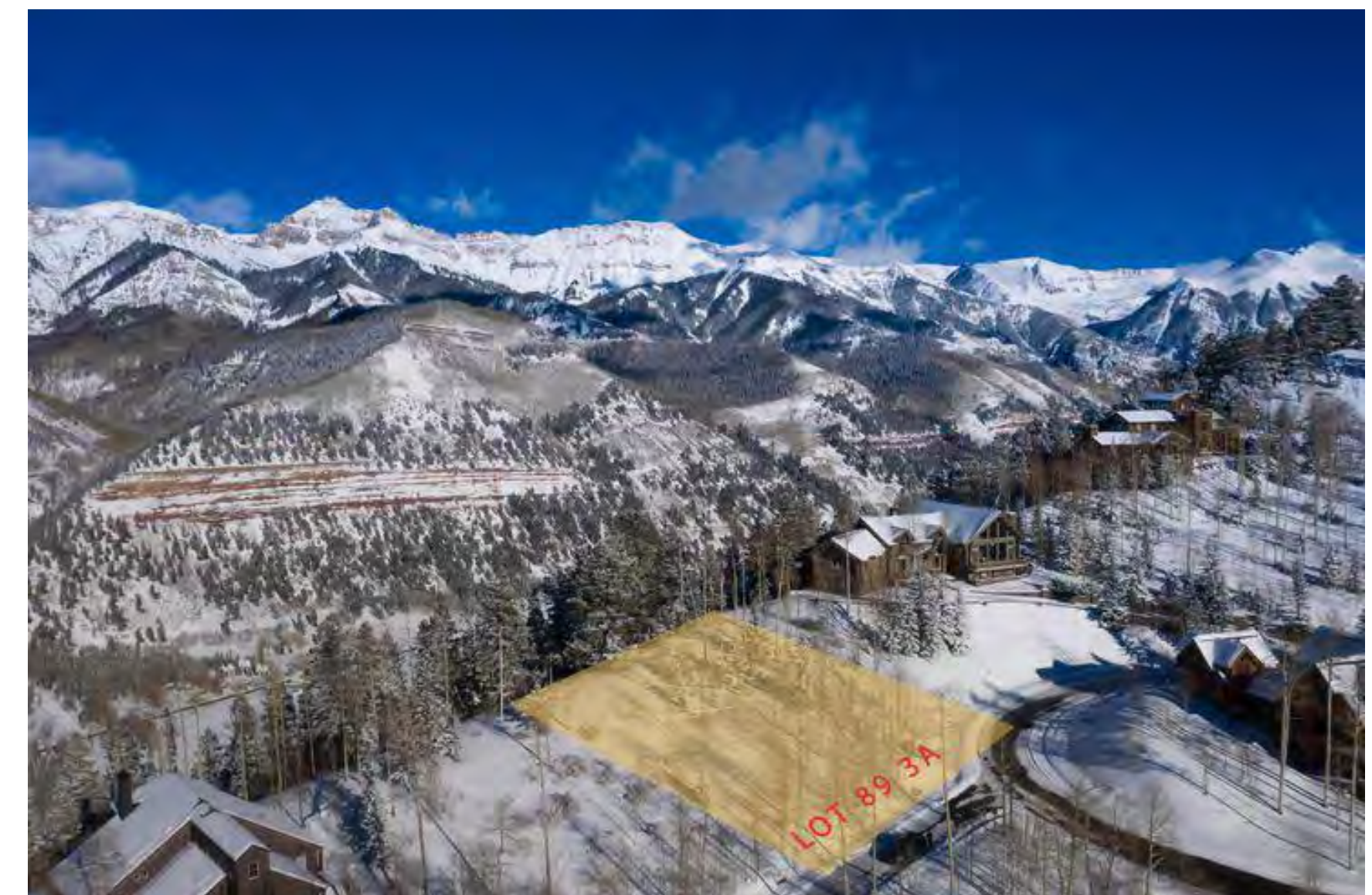
OUR ENTRY ACCESS DRIVE IS SHOWING A RETAINING WALL THAT REACHES 6'. OUR INTENT IS TO WORK WITH THE GRADE WHEREVER POSSIBLE, AND TO MINIMIZE OUR IMPACT WHEN FORCED TO UTILIZE RETAINAGE. THE LANDSCAPE DESIGN SEEKS TO ACHIEVE NECESSARY PROGRAMMATIC FEATURES SUCH AS DRIVE AN PEDESTRIAN ACCESS. A SERIES OF MINIMAL SITE WALLS CASCADE DOWN THE PROPERTY'S SOUTHERN HILLSIDE TO LESSEN THE SLOPES OF THESE PATHS OF TRAFFIC. THE DRIVEWAY CURB CUT IS ON THE SOUTH EAST SIDE OF THE LOT. RETAINAGE HERE IS NECESSARY TO PROVIDE A DRIVEWAY WITH A SAFE SLOPE, IT IS HERE ALONG THE NORTH SIDE OF THE DRIVEWAY WHERE THE ARCHITECTURAL SITE WALL REACHES A HEIGHT OF APPROXIMATELY 6'. AS NATURAL GRADE STEEPENS AT THE EASTERN SIDE OF THE DRIVEWAY, EVEN TALLER RETAINAGE WOULD BE REQUIRED, BUT HERE WE LOOK TO BREAK UP THAT VERTICAL SCALE WITH A STRUCTURE BOULDER WALL LIED BACK RANGING FROM 1:1 TO 2:2 SLOPES. SEE RENDERINGS ON A-900 FOR REFERENCE

17.3.14 - GENERAL EASEMENTS

THE SIDE EASEMENTS ARE MOSTLY LEFT UNDISTURBED, HOWEVER THERE ARE A FEW AREAS THAT WE LOOK TO IMPROVE THE PROJECT WITH MINIMAL ENCROACHMENT WHILE RESPECTING THE PURPOSE OF THESE EASEMENTS.

- THERE IS A 5' ENCROACHMENT OF THE AUTO COURT IN THE SIDE SETBACK TO ALLOW FOR THE DIMENSION REQUIRED FOR THE DRIVE LENGTH NECESSARY TO REACH THE GARAGE ELEVATION AT SAFE SLOPES, FOR THE REQUIRED SURFACE PARKING OF TWO CARS, AND TO ALOT SPACE FOR CARS IN THE GARAGE TO BACK OUT AND TURN AROUND TO SAFELY DRIVE OUT. THERE IS THEN A MINOR SITE WALL OFFSET FROM THE AUTOCOURT TO MINIMIZE GRADE DISTURBANCE WHILE ALSO MINIMIZING THE HEIGHT OF RETAINAGE. ACHIEVING THIS STANDARD OF SAFETY WE FEEL IS AN APPROPRIATE REASON FOR MINOR ENCROACHMENT PER 17.3.14.F.1
RE: A-100 FOR LOCATION, AND A-900 FOR 3D ILLUSTRATION OF THIS CONDITION.
- TO PROVIDE REASONABLE ACCESS FOR USERS TO THE HOME AND THE LAND IN A FEW AREAS WE ARE REQUESTING MINIMAL IMPROVEMENTS - WALKWAYS, SITE WALLS, AND MINIMAL GRADING, PER 17.3.14.E.1

- ENTRY DRIVE / AUTO COURT
- INFORMAL PATHWAY ON WEST (GRAVEL OR MOWED LAWN)
- MINOR INFORMAL PATHWAY ON NORTH EAST (GRAVEL OR MOWED LAWN)... THIS WAS PREVIOUSLY SHOWN AS HARDSCAPE AND STRUCTURED STAIR ENCROACHMENT. WE HAVE REMOVED ALL STRUCTURED SURFACES AND IN LIEU ARE SHOWING A VERY MINIMAL ENCROACHMENT OF AN INFORMAL PATH SIMILAR TO WHAT WAS APPROVED ON THE WEST - GRAVEL OR MOWED LAWN PATH WITH OCCASIONAL STEPPING STONES AS NEEDED. PLEASE SEE A-100 AND A-900, RENDERING 5 FOR ILLUSTRATION.



CCY ARCHITECTS

LOOKOUT RIDGE RESIDENCE
99 LOOKOUT RIDGE DR, MOUNTAIN VILLAGE, CO 81435

DATE:
05.18.2022

ISSUE:
DRB SUBMITTAL

PROJECT NUMBER:
21115

DRAWN BY: Author CHECKED BY: Checker

HISTORY:

#	DATE	DESCRIPTION
1	1.14.2022	DRB
2	3.01.2022	SD
3	5.18.2022	DRB FINAL

REV.#	DATE	DESCRIPTION
1		

NOT FOR
CONSTRUCTION



PROJECT
DESIGN
NARRATIVE

SCALE:

A-000.1

DATE:
05.18.2022

ISSUE:
DRB SUBMITTAL

PROJECT NUMBER:
21115

DRAWN BY: Author CHECKED BY: Checker

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CONSTRUCTION

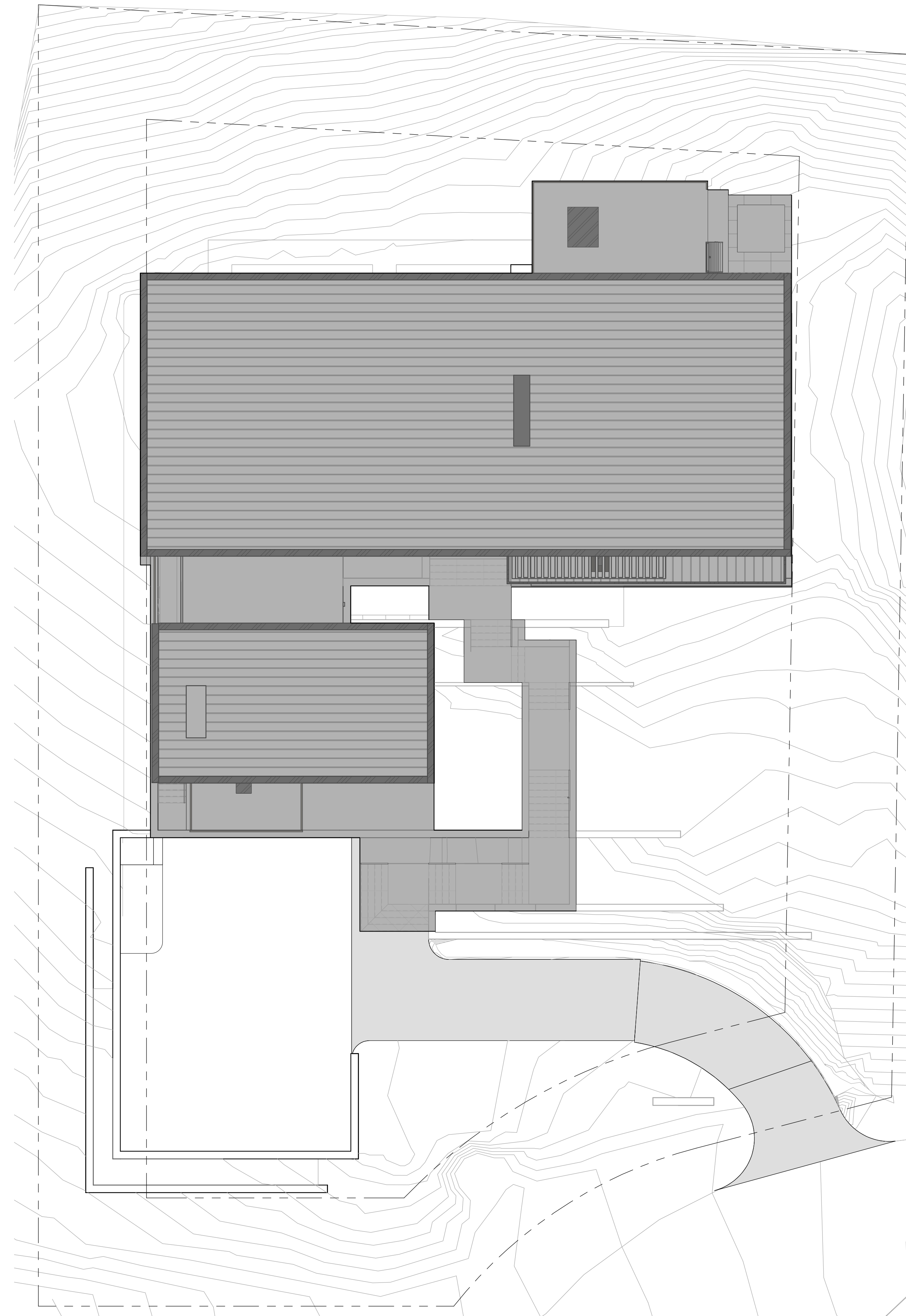


FAR

SCALE: 3/32" = 1'-0"

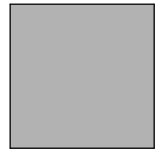
A-001





SITE COVERAGE CALCULATION	
ALLOWABLE COVERAGE	
PER TABLE 17.3.13: SINGLE-FAMILY WITH LOTS, 1 ACRE: 40% MAX. LOT COVERAGE	
22,683 x 40% = 9,073 SF	
PROPOSED COVERAGE	
TOTAL: 7,224 SF	

CDC DEFINITION
LOT COVERAGE: THE CALCULATION OF THE TOTAL HORIZONTAL AREA OF ANY BUILDING, CARPORT, PORTE-COCHERE, OR ARCADE AND SHALL ALSO INCLUDE WALKWAYS, ROOF OVERHANGS, EAVES, EXTERIOR STAIRS, DECKS, COVERED PORCH, TERRACES AND PATIOS. SUCH HORIZONTAL MEASUREMENTS SHALL BE FROM THE BUILDING DRIPLINES AND FROM THE EXTERIOR SURFACE OF THE TOTAL WALL ASSEMBLY, WHICHEVER IS MORE RESTRICTIVE.

SITE COVERAGE LEGEND	
	SITE COVERAGE AREA

CCY ARCHITECTS

LOOKOUT RIDGE RESIDENCE
99 LOOKOUT RIDGE DR, MOUNTAIN VILLAGE, CO 81435

DATE:
05.18.2022

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SITE COVERAGE

SCALE: As indicated

A-002

- FLOOR PLAN NOTES**
1. MAX SPAN BETWEEN ROOF HEIGHT POINTS IS 20'
 2. FOR MAX ROOF HEIGHT ILLUSTRATION, SEE A-201 & A-202

AVERAGE ROOF HEIGHT SCHEDULE					
LOCATION	ROOF ELEVATION	PROPOSED GRADE	EXISTING GRADE	MOST RESTRICTIVE GRAD & ROOF ELEVATION DELTA	COMMENTS
MAIN HOUSE					
A	9645'-7"	9627'-0"	9626'-4"	19'-3"	
B	9645'-7"	9626'-0"	9626'-0"	19'-7"	
C	9645'-7"	9625'-6"	9622'-0"	23'-7"	
D	9644'-9"	9628'-0"	9621'-1"	23'-8"	
E	9643'-9"	9628'-0"	9619'-5"	24'-4"	
F	9642'-8"	9626'-6"	9617'-8"	25'-0"	
G	9641'-8"	9626'-6"	9615'-7"	26'-1"	
H	9640'-8"	9615'-9"	9613'-3"	27'-5"	
I	9640'-8"	9615'-5"	9615'-3"	25'-5"	
J	9640'-8"	9615'-6"	9612'-11"	27'-9"	
K	9641'-8"	9615'-6"	9616'-5"	26'-2"	
L	9642'-8"	9615'-6"	9618'-11"	27'-2"	
M	9643'-9"	9628'-0"	9621'-5"	27'-2"	
N	9644'-9"	9628'-0"	9624'-0"	22'-4"	
TOTAL AVG				24'-6"	
ADU					
AA	9628'-9"	9623'-3"	9616'-6"	12'-7"	
BB	9628'-9"	9615'-6"	9612'-6"	16'-3"	
CC	9629'-8"	9615'-6"	9610'-0"	19'-8"	
DD	9630'-8"	9617'-0"	9607'-6"	23'-2"	
EE	9630'-8"	9617'-0"	9612'-3"	18'-5"	
FF	9629'-8"	9615'-6"	9614'-6"	15'-2"	
TOTAL AVG				17'-5"	

CCY ARCHITECTS

LOOKOUT RIDGE RESIDENCE
99 LOOKOUT RIDGE DR, MOUNTAIN VILLAGE, CO 81435

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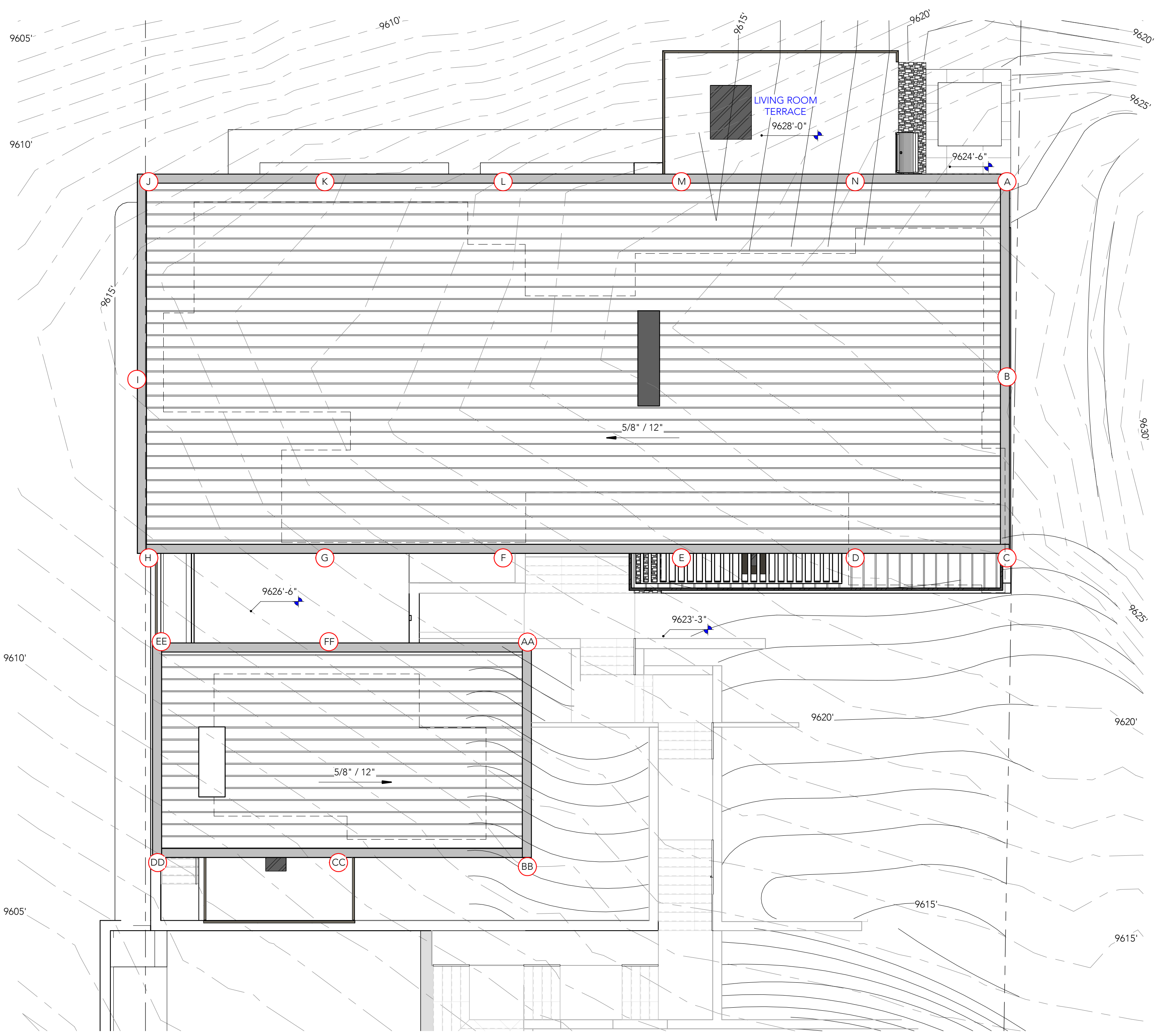
REV.#	DATE	DESCRIPTION
1		

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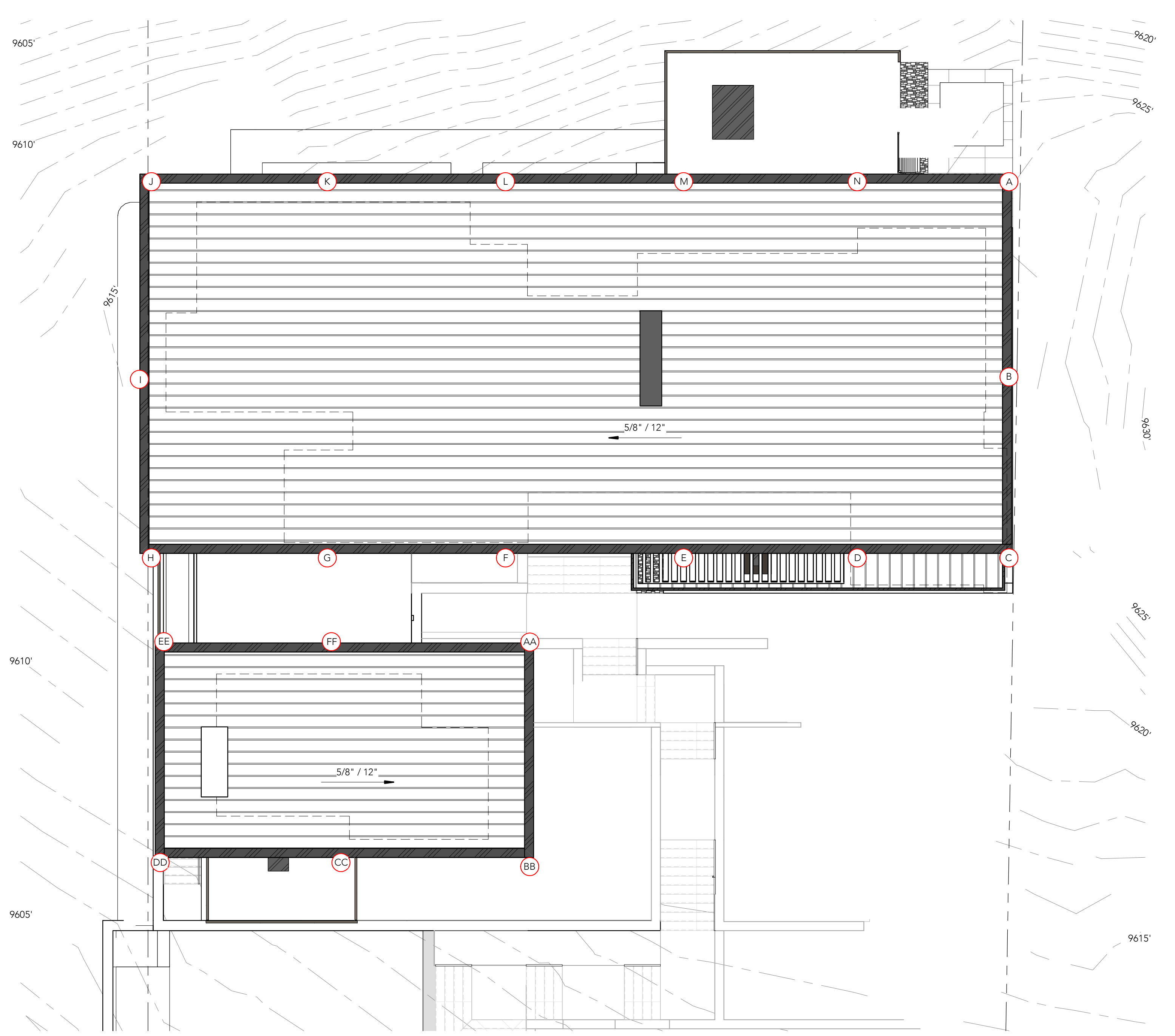
HEIGHT LIMIT DIAGRAM

SCALE: As indicated

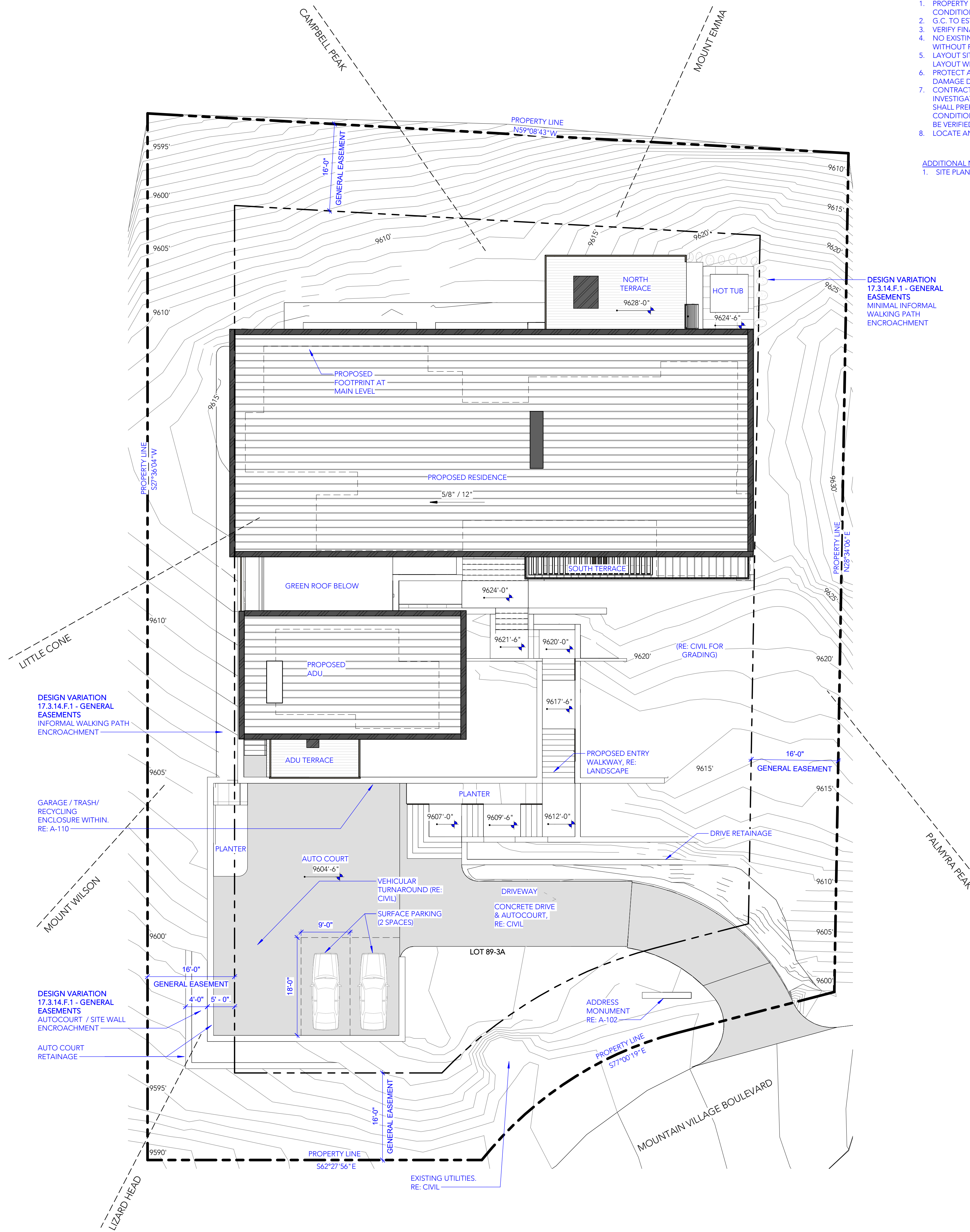
A-003



ROOF PLAN - PROPOSED GRADES
 1/8" = 1'-0" 2



ROOF PLAN - EXISTING GRADES
 1/8" = 1'-0" 1



- SITE PLAN NOTES**
- PROPERTY LINE, EASEMENTS, TOPOGRAPHY, ETC. INDICATED HEREON ARE TAKEN FROM TOPOGRAPHIC CONDITIONS SURVEY AND TREE INVENTORY PREPARED BY CHRIS KENNEDY DATED 7/2021.
 - G.C. TO ESTABLISH PERMANENT CONSTRUCTION BENCH MARK PRIOR TO COMMENCEMENT OF WORK.
 - VERIFY FINAL LAYOUT WITH ARCHITECT PRIOR TO CLEARING AND EXCAVATION.
 - NO EXISTING TREES OR SHRUBS ON SITE MAY BE REMOVED OR TRIMMED FOR CONSTRUCTION PURPOSES WITHOUT PRIOR WRITTEN PERMISSION FROM THE ARCHITECT OR LANDSCAPE ARCHITECT.
 - LAYOUT SITE UTILITY RUNS SO AS TO MINIMIZE DISTURBANCE OF EXISTING TREES AND SHRUBS. VERIFY UTILITY LAYOUT WITH ARCHITECT PRIOR TO CLEARING AND EXCAVATION.
 - PROTECT ALL ON-SITE VEGETATION NOT APPROVED BY THE ARCHITECT FOR REMOVAL OR TRIMMING FROM DAMAGE DURING ALL CONSTRUCTION ACTIVITY.
 - CONTRACTOR SHALL OBTAIN THE SERVICES OF A PROFESSIONAL SOILS ENGINEER WHO SHALL MAKE AN ON SITE INVESTIGATION OF THE EXISTING SOILS CONDITIONS AFTER THE STRUCTURAL EXCAVATION IS COMPLETE AND SHALL PREPARE A LETTER WITH COPIES TO THE ARCHITECT AND STRUCTURAL ENGINEER DESCRIBING SOIL CONDITIONS IN SUFFICIENT DETAIL SUCH THAT THE FOUNDATION DESIGN INDICATED ON THE DOCUMENTS MAY BE VERIFIED AS BEING ADEQUATE OR MAY BE REVISED AS NECESSARY BY THE STRUCTURAL ENGINEER.
 - LOCATE AND INSTALL FOUNDATION DRAINS, DRYWELLS, AND DETAILS OF SOIL AND CIVIL ENGINEERS.

- ADDITIONAL NOTES**
- SITE PLAN TO INCLUDE SITE LIGHTING FOR FINAL DRB SUBMITTAL

DESIGN VARIATION
17.3.14.F.1 - GENERAL
EASEMENTS
MINIMAL INFORMAL
WALKING PATH
ENCROACHMENT

DESIGN VARIATION
17.3.14.F.1 - GENERAL
EASEMENTS
INFORMAL WALKING PATH
ENCROACHMENT

GARAGE / TRASH/
RECYCLING
ENCLOSURE WITHIN.
RE: A-110

DESIGN VARIATION
17.3.14.F.1 - GENERAL
EASEMENTS
AUTOCOURT / SITE WALL
ENCROACHMENT

AUTO COURT
RETAINAGE

DATE:
05.18.2022
ISSUE:
DRB SUBMITTAL
PROJECT NUMBER:
21115
DRAWN BY: -- CHECKED BY: --

HISTORY:

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REV.#	DATE	DESCRIPTION
1		



SITE PLAN
SCALE: As indicated

A-100

DATE:
05.18.2022

ISSUE:
DRB SUBMITTAL

PROJECT NUMBER:
21115

DRAWN BY: Author CHECKED BY: Checker

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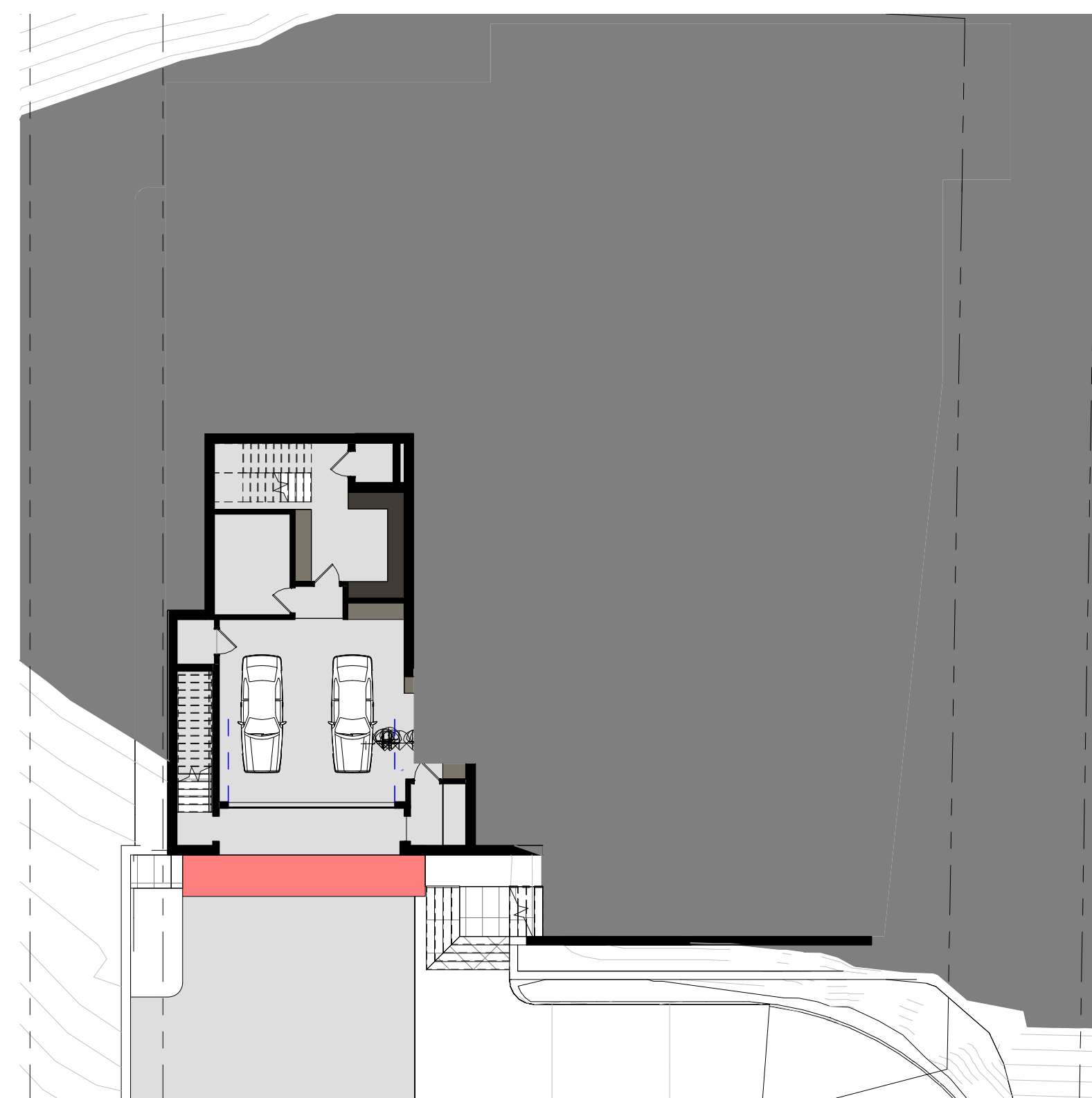
SNOWMELT &
AREA PLANS

SCALE: As indicated

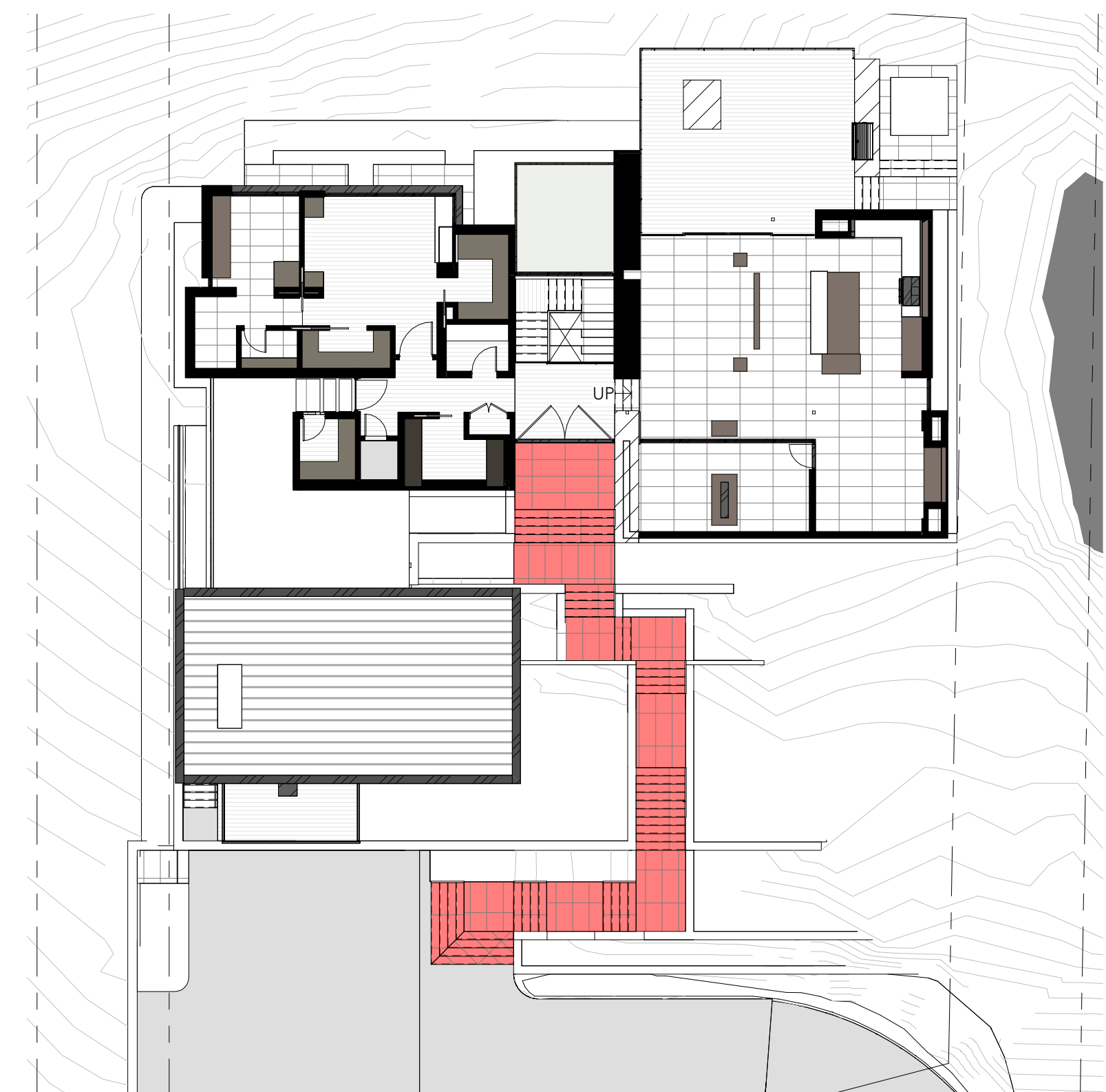
A-101

SNOWMELT AREA	
NAME	AREA
DRIVEWAY/AUTOCOURT	146 SF
ENTRY APPROACH	696 SF
LOWER LEVEL	- SF
MAIN LEVEL	- SF
TOTAL	842 SF

SNOWMELT LEGEND	
	AREAS TO BE SNOWMELTED



GARAGE LEVEL | 1
1/16" = 1'-0"



MAIN LEVEL | 2
1/16" = 1'-0"

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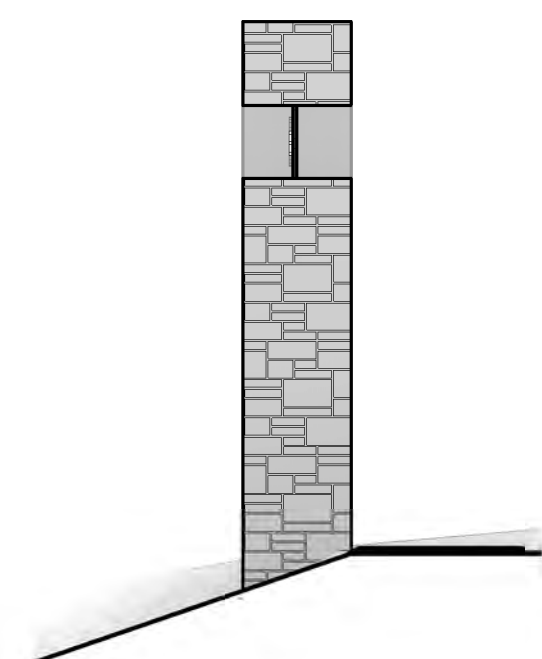
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CONSTRUCTION



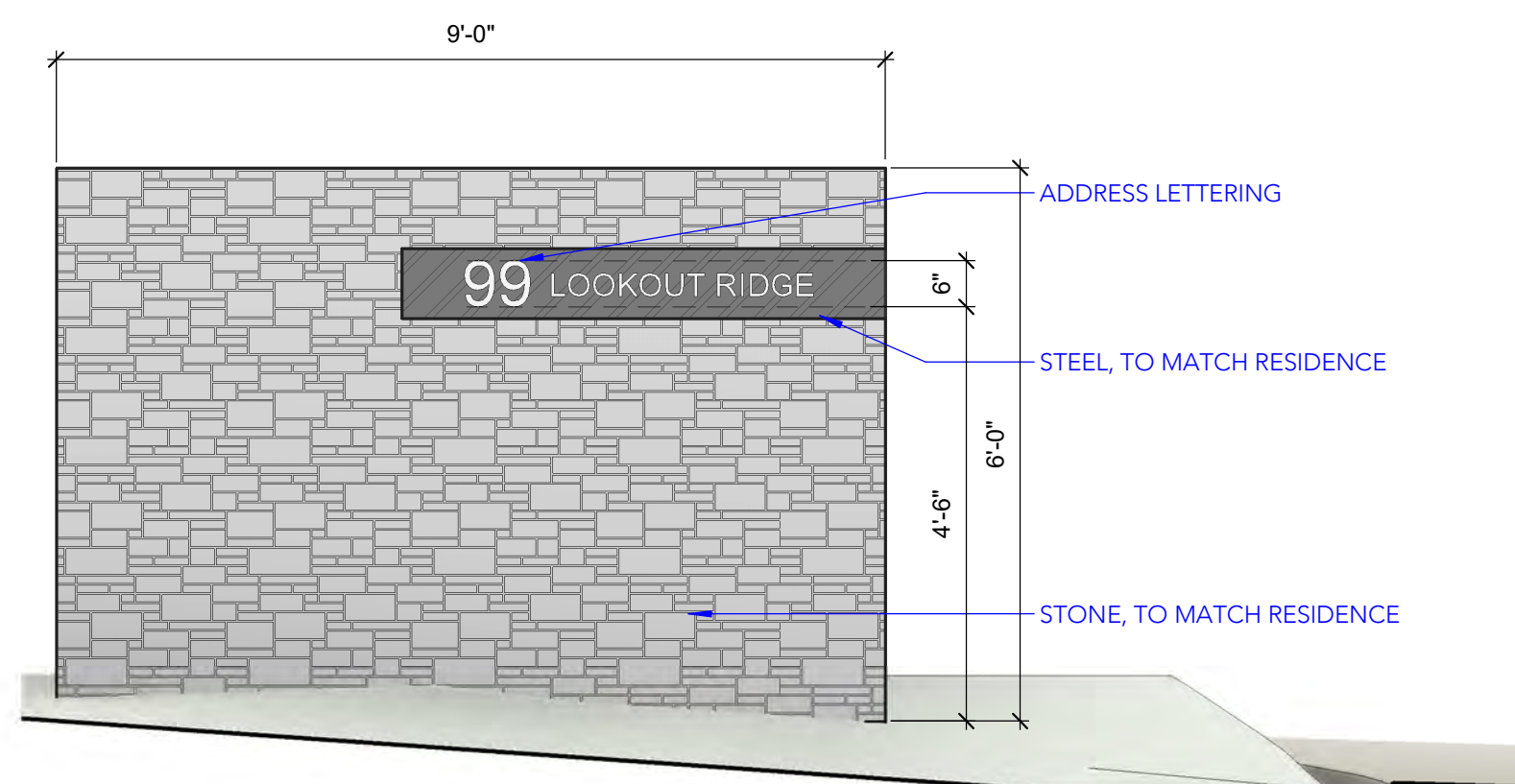
SITE DETAILS

SCALE: As indicated

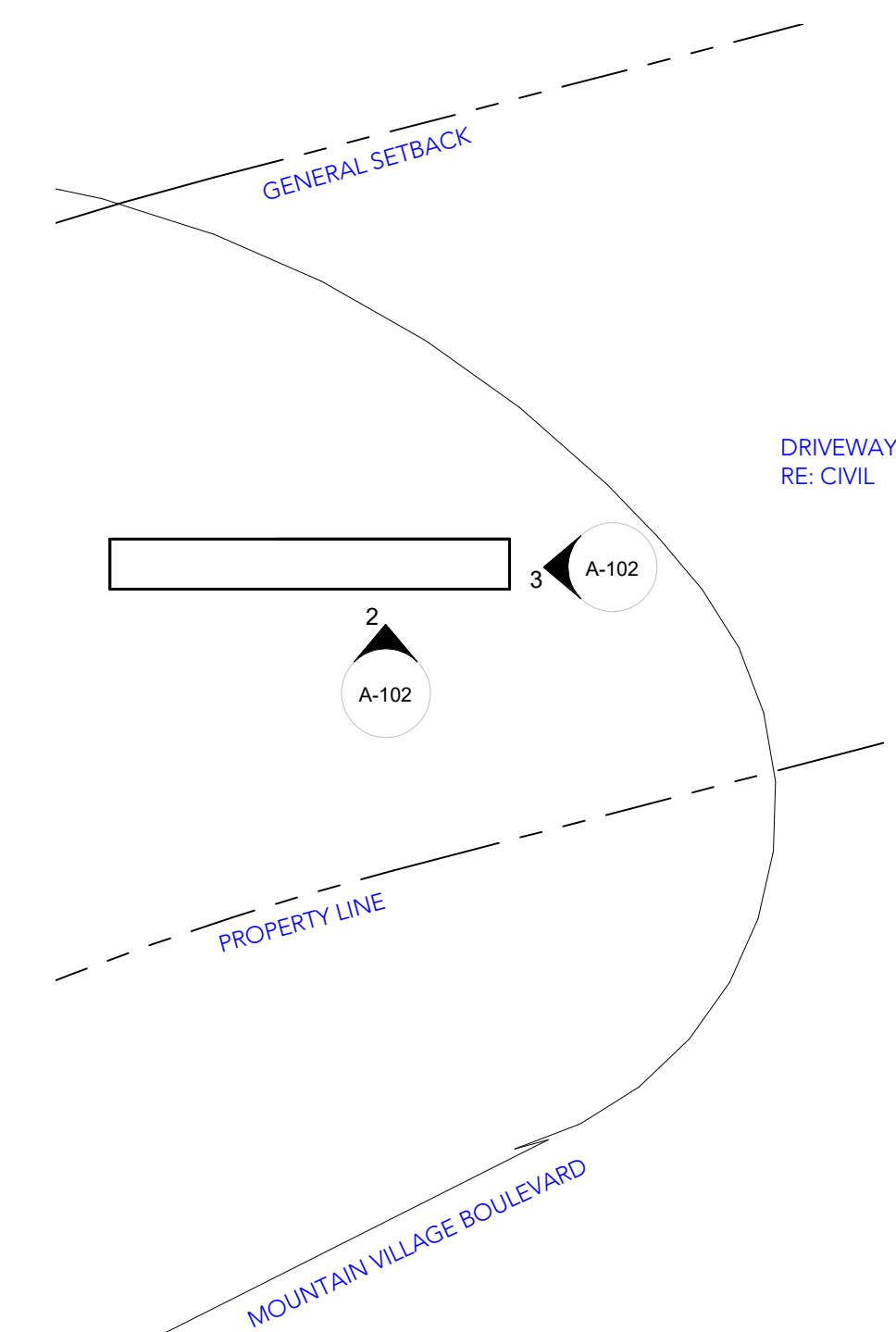
A-102



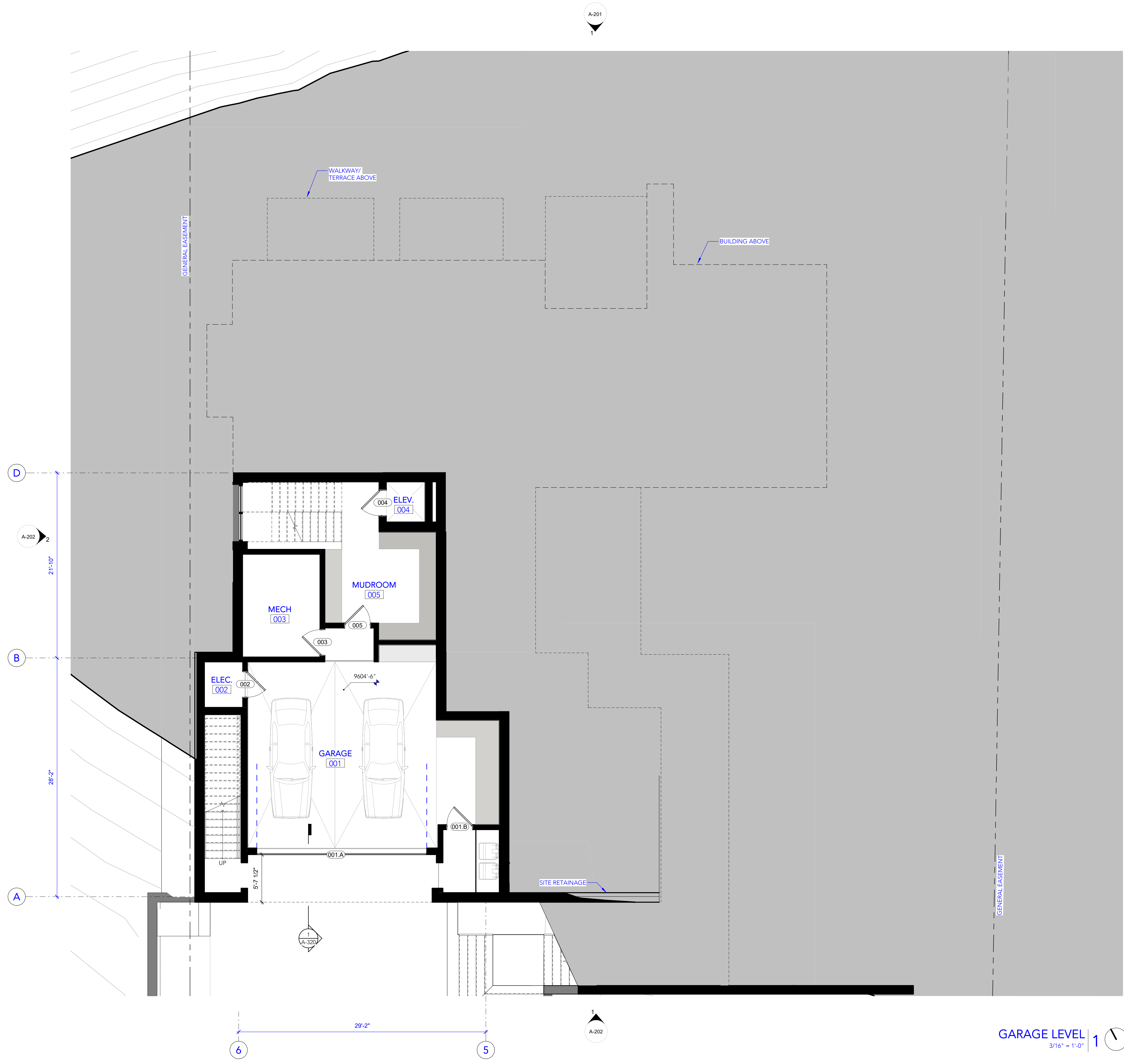
ELEVATION - MONUMENT
SIGN (SIDE) | 3
1/2" = 1'-0"



ELEVATION - MONUMENT
SIGN (FRONT) | 2
1/2" = 1'-0"



ADDRESS MONUMENT
VICINITY PLAN | 1
1/4" = 1'-0"



- FLOOR PLAN NOTES**
- FOR GENERAL NOTES SEE A-000
 - CONTRACTOR TO ESTABLISH PERMANENT BENCHMARK PRIOR TO COMMENCEMENT OF WORK.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS AS REQUIRED BY SPECS.
 - ALL DIMENSIONS ARE GIVEN TO FACE OF STUD AND CONCRETE U.N.O.
 - ALL DIMENSIONS SHALL ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL DISCREPANCIES. DO NOT SCALE DRAWINGS.
 - REFERENCE LANDSCAPE PLANS FOR EXTERIOR PATIO AND DRIVEWAY DESIGN.
 - ALL INTERIOR WALLS TO INCLUDE SOUND INSULATION.
 - CONTRACTOR TO REVIEW PLACEMENT OF ELECTRICAL AND TELEPHONE OUTLETS WITH ARCHITECT PRIOR TO ROUGH-IN.
 - CONTRACTOR TO COORDINATE GAS LINES TO ALL FIREPLACE UNITS.
 - AN APPROVED AUTOMATIC FIRE EXTINGUISHING (SPRINKLER) SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.
 - RADON MITIGATION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.
 - CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED ACCESSORY STRUCTURES WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC APPROVED PRODUCTS

CCY ARCHITECTS
LOOKOUT RIDGE RESIDENCE
 99 LOOKOUT RIDGE DR, MOUNTAIN VILLAGE, CO 81435

DATE: 05.18.2022
ISSUE: DRB SUBMITTAL
PROJECT NUMBER: 21115
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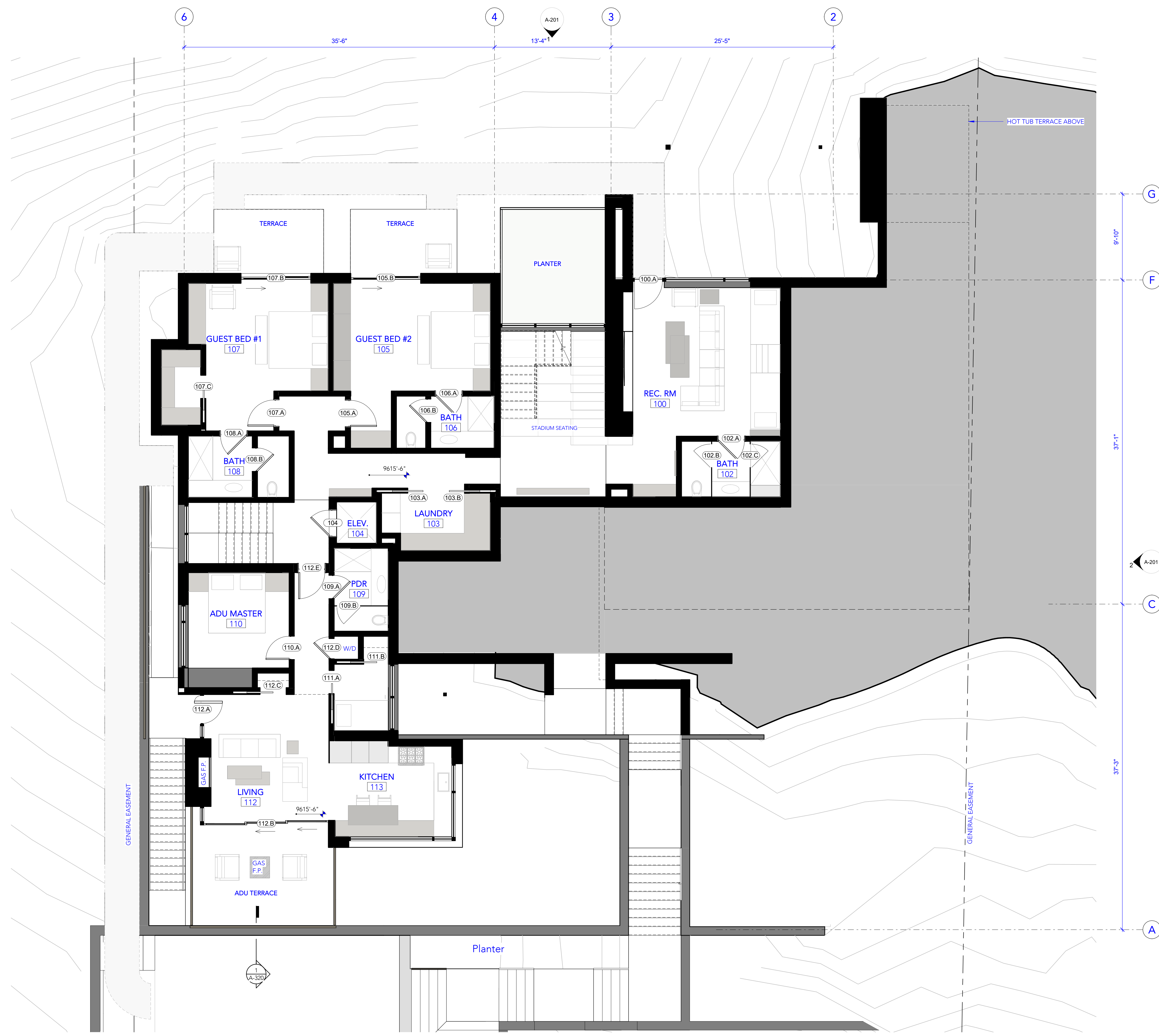
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1		



FLOOR PLAN

SCALE: As indicated

A-110



- FLOOR PLAN NOTES**
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CCY ARCHITECTS
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NOT FOR CONSTRUCTION



FLOOR PLAN

SCALE: As indicated

A-111

FLOOR PLAN NOTES

- FOR GENERAL NOTES SEE A-000
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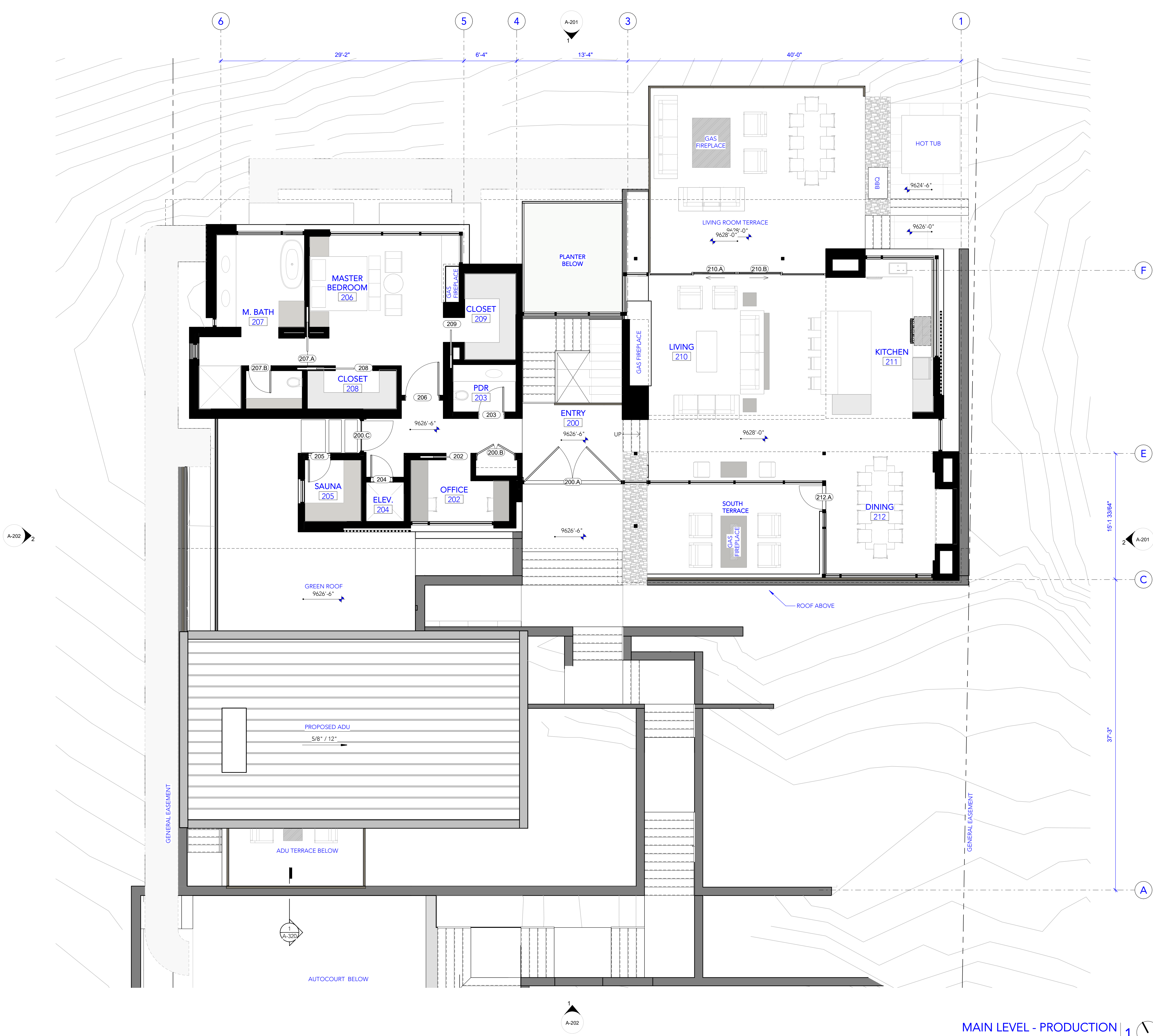


FLOOR PLAN

SCALE: As indicated

A-112

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Basalt, Colorado 81621
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MAIN LEVEL - PRODUCTION 1
3/16" = 1'-0"

- ROOF PLAN NOTES**
1. THE PRIMARY ROOF SLOPES WITH THE SLOPE OF THE TOPOGRAPHY
 2. ROOFS SLOPE AWAY FROM PRIMARY WALKWAYS SHEDDING SNOW AND WATER AWAY FROM PEDESTRIAN AND VEHICULAR TRAFFIC

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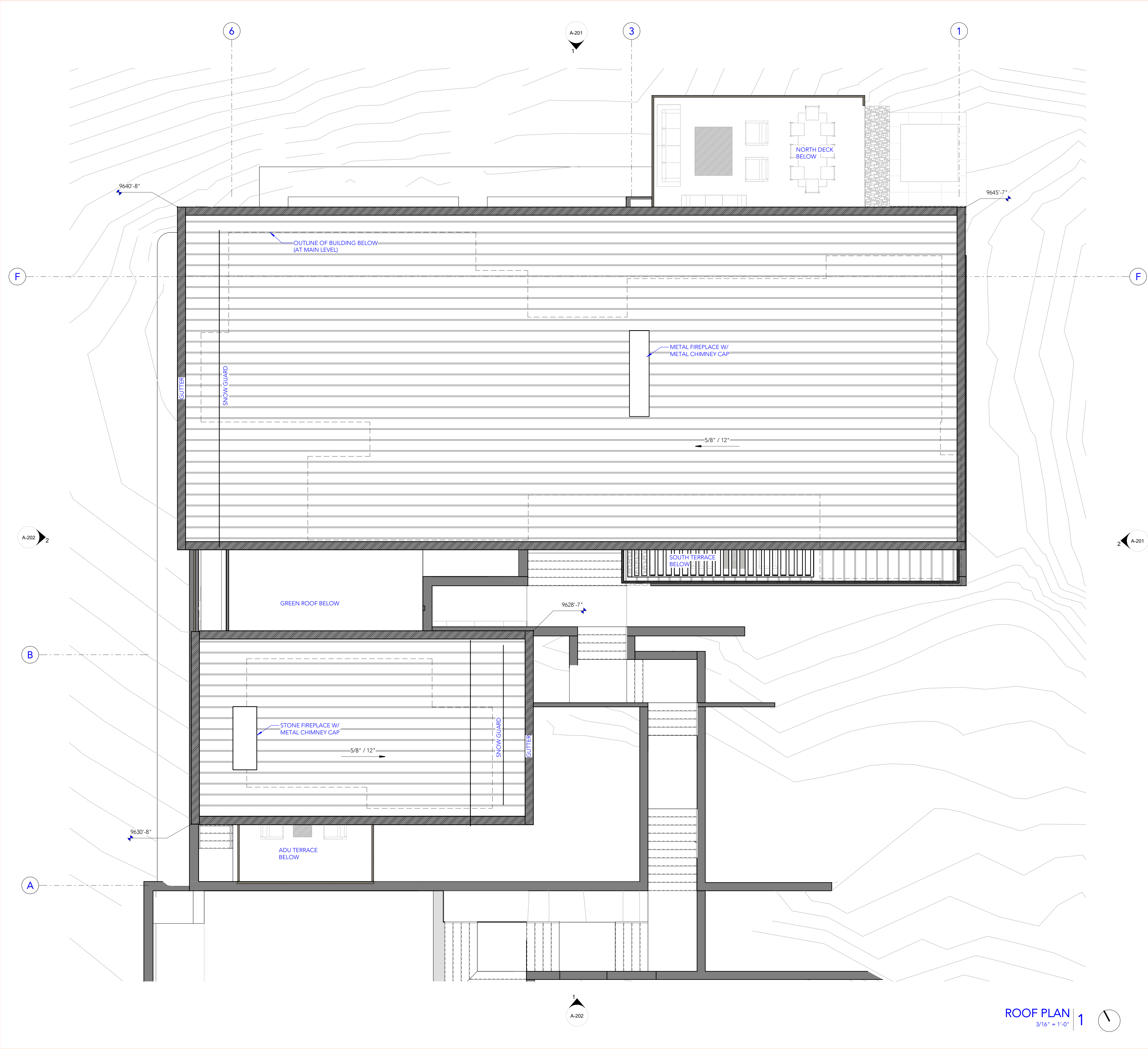
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ROOF PLAN

SCALE: 3/16" = 1'-0"

A-118



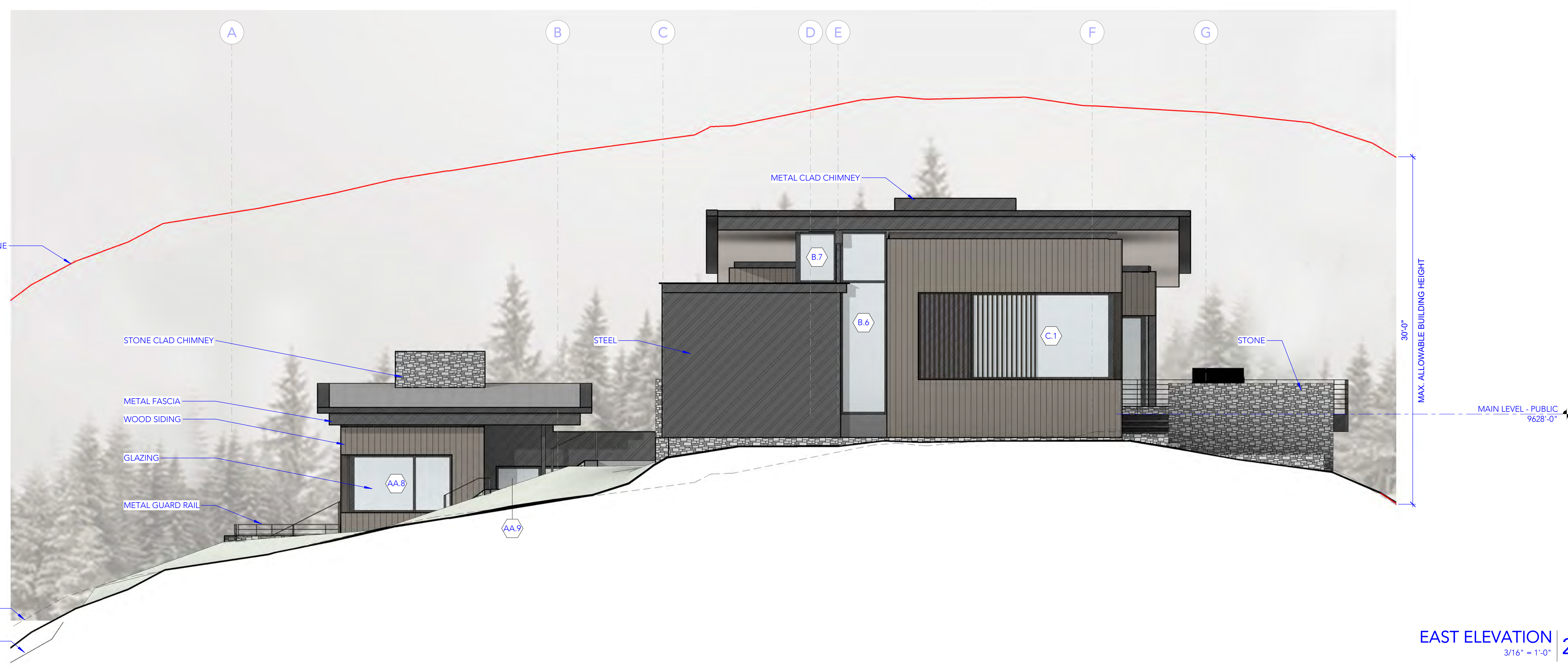
MATERIAL CALCULATIONS

MATERIAL	TOTAL AREA	PERCENTAGE
STONE*	3,001 SF	35.1%
WOOD	1,213 SF	14.1%
METAL	2,050 SF	24.0%
GLAZING**	2,294 SF	26.8%
TOTAL:	8,558 SF	
STONE SITE WALL (NOT INCLUDED IN BUILDING MATERIAL CALCS.)	523 SF	

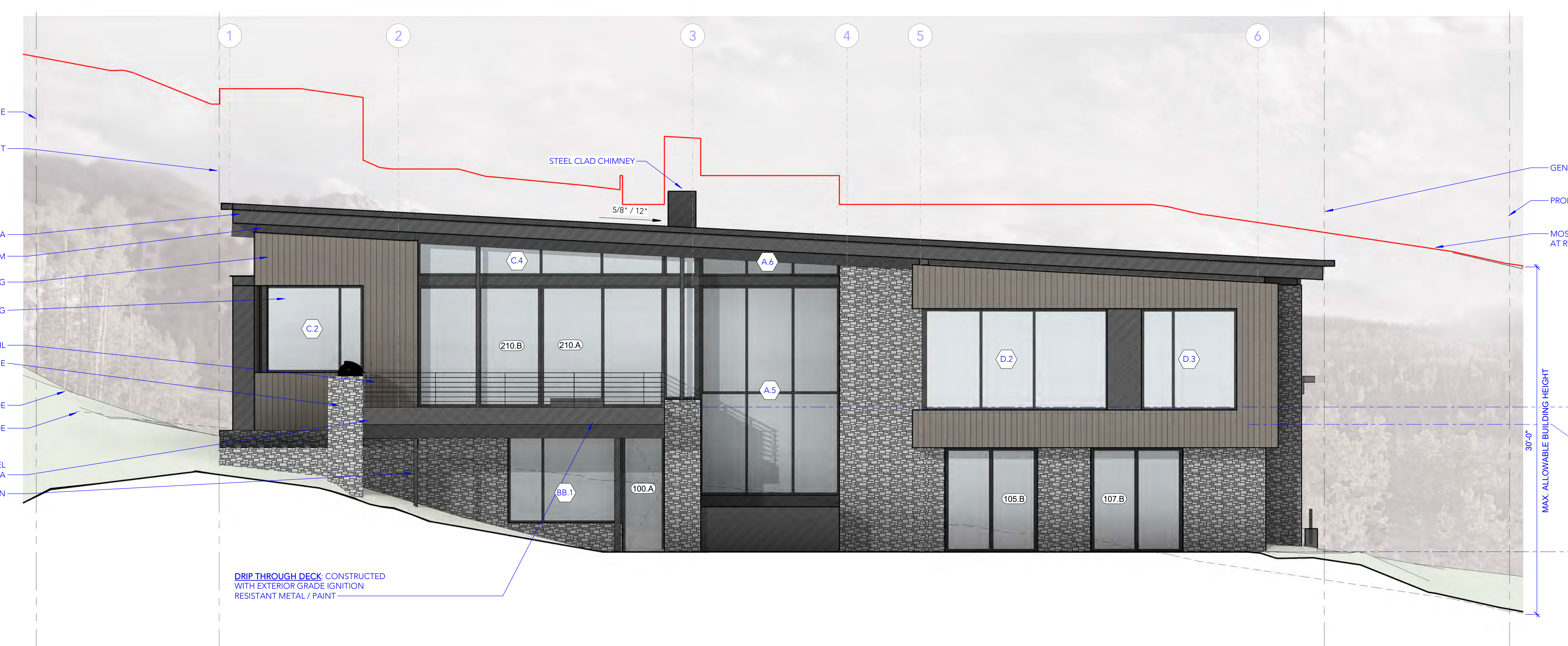
*MIN. 35% STONE REQUIRED PER 17.5.6.E.1A. SEE A-205
 **MAX. 40% GLAZING ALLOWED PER ELEVATION PER 17.5.6.G.1A. SEE A-205

BUILDING HEIGHT CALCULATIONS

MAX FINISH GRADE ELEVATION:	9628' - 0"
LOWEST FINISH GRADE ELEVATION:	9604' - 6"
AVERAGE FINISH GRADE ELEVATION:	9616' - 3"
MIDWAY POINT ELEVATION ON ROOF:	9642' - 4"
AVERAGE BUILDING HEIGHT:	24' - 6"
MAX. ALLOWABLE AVERAGE BUILDING HEIGHT:	30' - 0"
MAX. ALLOWABLE BUILDING HEIGHT: (PER CDC 17.3.12 TABLE 3-3)	35' - 0"
PROPOSED MAX. BUILDING HEIGHT:	27' - 9"



EAST ELEVATION
3/16" = 1'-0" **2**



NORTH ELEVATION
3/16" = 1'-0" **1**

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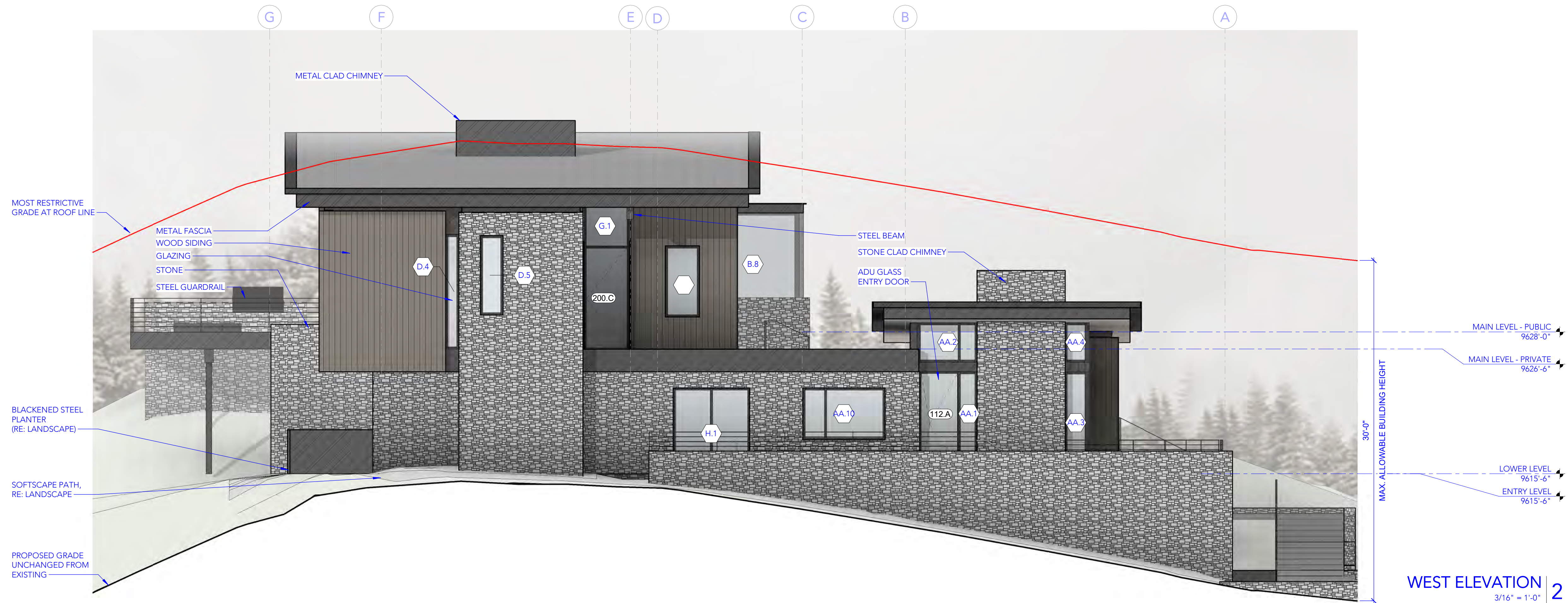
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EXTERIOR ELEVATIONS

SCALE: As indicated

A-201



MATERIAL CALCULATIONS

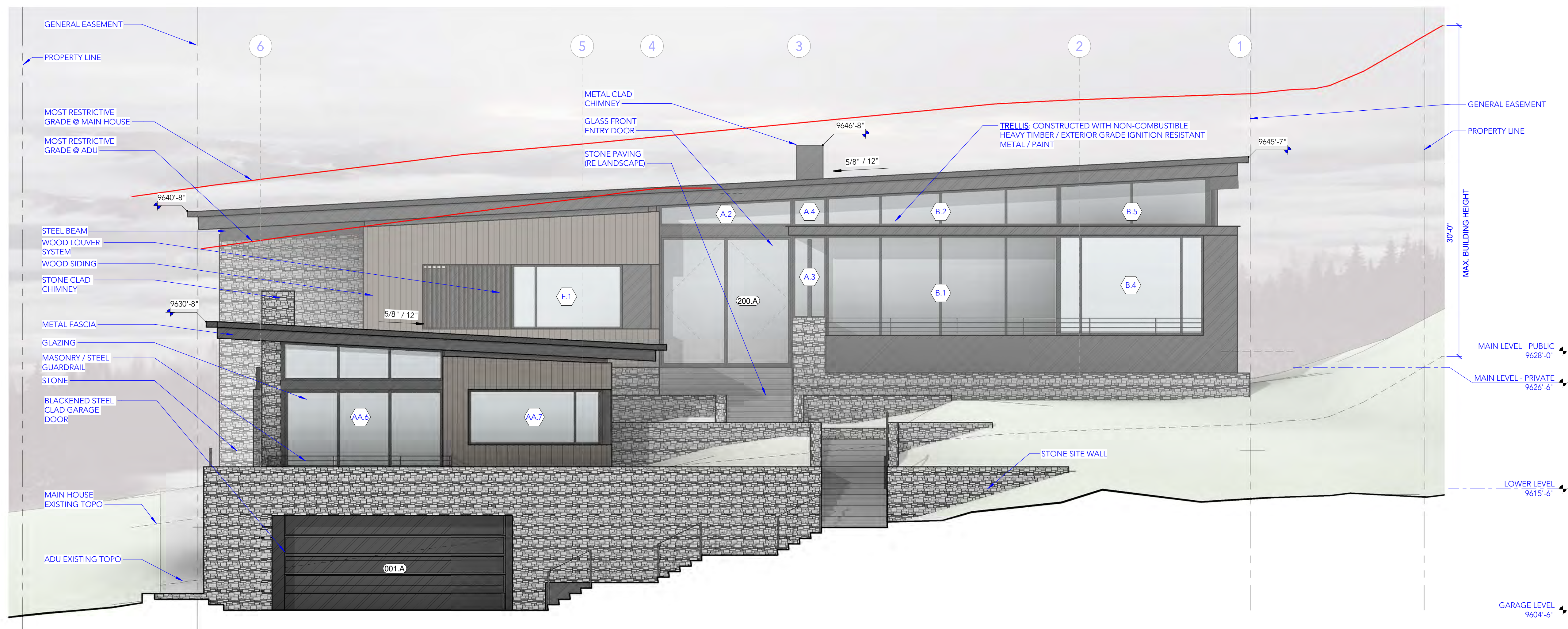
MATERIAL	TOTAL AREA	PERCENTAGE
STONE*	3,001 SF	35.1%
WOOD	1,213 SF	14.1%
METAL	2,050 SF	24.0%
GLAZING**	2,294 SF	26.8%
TOTAL:	8,558 SF	
STONE SITE WALL (NOT INCLUDED IN BUILDING MATERIAL CALCS.)	523 SF	

*MIN. 35% STONE REQUIRED PER 17.5.6.E.1A. SEE A-205
 **MAX. 40% GLAZING ALLOWED PER ELEVATION PER 17.5.6.G.1A. SEE A-205

BUILDING HEIGHT CALCULATIONS

MAX FINISH GRADE ELEVATION:	9628' - 0"
LOWEST FINISH GRADE ELEVATION:	9604' - 6"
AVERAGE FINISH GRADE ELEVATION:	9616' - 3"
MIDWAY POINT ELEVATION ON ROOF:	9642' - 4"
AVERAGE BUILDING HEIGHT:	24' - 6"
MAX. ALLOWABLE AVERAGE BUILDING HEIGHT:	30' - 0"
MAX. ALLOWABLE BUILDING HEIGHT: (PER CDC 17.3.12 TABLE 3-3)	35' - 0"
PROPOSED MAX. BUILDING HEIGHT:	27' - 9"

WEST ELEVATION
3/16" = 1'-0" 2



SOUTH ELEVATION
3/16" = 1'-0" 1

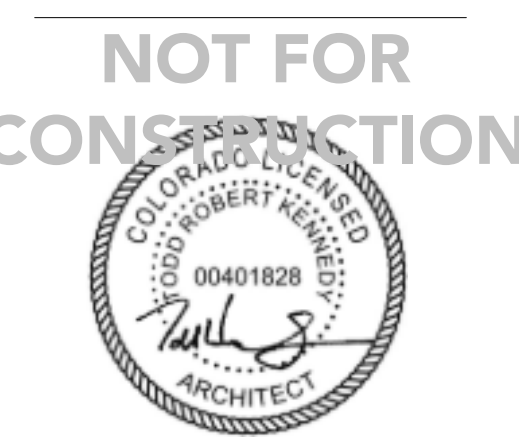
CCY ARCHITECTS
 LOOKOUT RIDGE RESIDENCE
 99 LOOKOUT RIDGE DR, MOUNTAIN VILLAGE, CO 81435

DATE: 05.18.2022
 ISSUE: DRB SUBMITTAL
 PROJECT NUMBER: 21115
 DRAWN BY: -- CHECKED BY: --

HISTORY:

#	DATE	DESCRIPTION
1	1.14.2022	DRB
2	3.01.2022	SD
3	5.18.2022	DRB FINAL

REV.#	DATE	DESCRIPTION
1		

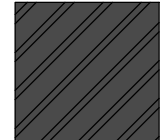

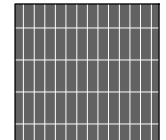

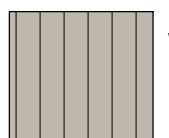


EXTERIOR ELEVATIONS

SCALE: As indicated

A-202

EXTERIOR MATERIALS LEGEND

	METAL		STONE		STONE SITE WALLS
	GLAZING		WOOD		

*WINDOW DETAILING WILL COMPLY WITH 17.5.6.G.3 WITH INSET 5" WHEN LOCATED IN STONE
A COMPLETE WINDOW SCHEDULE WILL BE PROVIDED FOR FINAL REVIEW.

BUILDING HEIGHT CALCULATIONS

MAX FINISH GRADE ELEVATION:	9628' - 0"
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MATERIAL CALCULATIONS

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**MAX. 40% GLAZING ALLOWED PER ELEVATION PER 17.5.6.G.1A. SEE A-205

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3	5.18.2022	DRB FINAL

REV.#	DATE	DESCRIPTION
1		



EXTERIOR ELEVATIONS CALCULATIONS

SCALE: As indicated

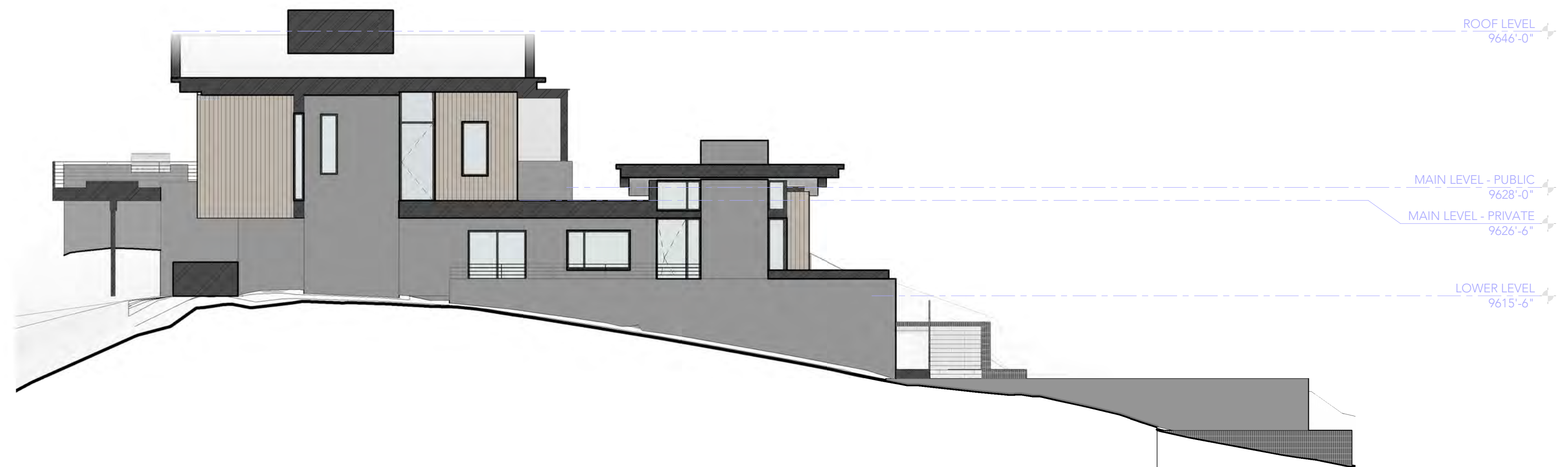
A-203



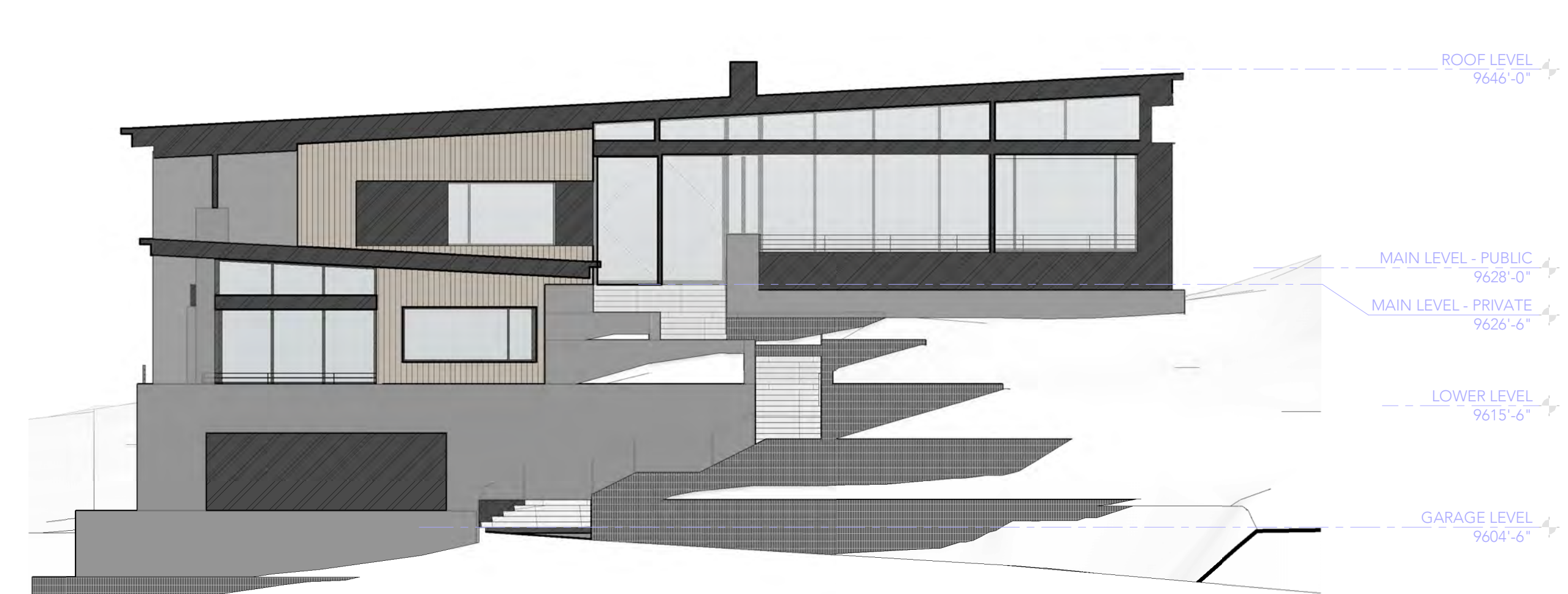
EAST ELEVATION | 1
 3/32" = 1'-0"
 EAST ELEVATION MATERIAL AREAS:
 STONE: 186 SF
 WOOD: 305 SF
 METAL: 450 SF
 GLAZING: 233 SF - 19.8%
 TOTAL: 1,174 SF



NORTH ELEVATION | 2
 3/32" = 1'-0"
 NORTH ELEVATION MATERIAL AREAS:
 STONE: 551 SF
 WOOD: 368 SF
 METAL: 525 SF
 GLAZING: 947 SF - 39.6%
 TOTAL: 2,391 SF



WEST ELEVATION | 3
 3/32" = 1'-0"
 WEST ELEVATION MATERIAL AREAS:
 STONE: 1,281 SF
 WOOD: 280 SF
 METAL: 331 SF
 GLAZING: 277 SF - 12.6%
 TOTAL: 2,169 SF
 STONE SITE WALL 63 SF



SOUTH ELEVATION | 4
 3/32" = 1'-0"
 SOUTH ELEVATION MATERIAL AREAS:
 STONE: 983 SF
 WOOD: 260 SF
 METAL: 744 SF
 GLAZING: 837 SF - 29.6%
 TOTAL: 2,824 SF
 STONE SITE WALL 460 SF

WOOD

WOOD IS USED FOR BOTH EXTERIOR SIDING AS WELL AS THE SOFFIT. THE VERTICAL WOOD SIDING IS EXIST THROUGH THE UPPER LEVELS OF THE STRUCTURE, WHERE THE 'WOOD BOXES' LIVE ON TOP OF THE STONE BASE AND STEP WITH THE SLOPING LANDSCAPE. THIS VERTICAL SIDING WILL BE A WEATHERED GRAY / BROWN TONE PICKING UP ON THE SURROUNDING TREES ON SITE, BLENDING WITH IT'S ENVIRONMENT. IN SOME AREAS, WITH WOOD SIDING WILL RUN IN FRONT OF WINDOWS, TO FILTER LIGHT IN TO THE HOME, AND CREATE A MOMENTARY GRADATION OF OPACITY.



*THE PREVIOUS SOFFIT COLOR WAS SHOWN AS A LIGHT WOOD OAK. THIS HAS BEEN MODIFIED WITH A DARKER STAINED FINISH. SEE RENDERINGS ON SHEET A-900 AND PHYSICAL MATERIAL BOARD FOR REFERENCE.

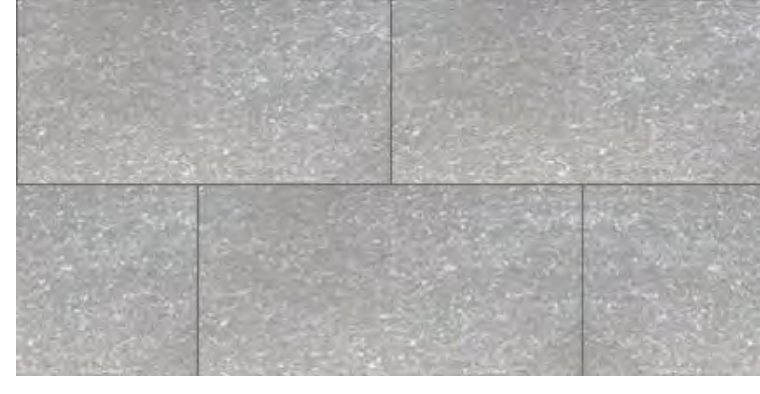
8" VERTICAL WOOD SIDING | 8" WOOD SOFFIT AND DECK

STONE

STONE IS USED TO GROUND THE PROJECT INTO THE LANDSCAPE. THE SITE WALLS, GARAGE, MAIN HOUSE, AND CHIMNEYS ARE CLAD WITH STONE TO APPEAR AS IF THEY ARE GROWING OUT OF THE EARTH. THE DARK GRAY TONE AND THE ROUGH TEXTURE OF THE STONE IS OF THE RUGGED AND ROCKY TERRAIN THAT SURROUNDS MOUNTAIN VILLAGE.



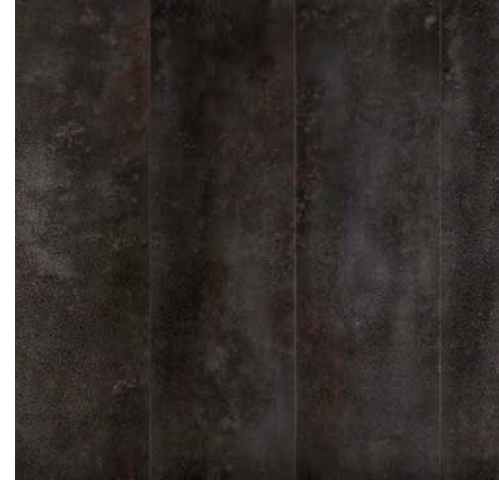
COLORED SANDSTONE LARGE SCALE WITH GREY TONED GROUT, OVER GROUTED



MEDIUM GRAY PAVER STONE TILE FLOORING

METAL

BLACKENED STEEL IS USED AS AN EXTERIOR CLADDING AS TO CREATE A BACKDROP FROM THE PRIMARY STONE AND WOOD ELEMENTS. EXPOSED STRUCTURAL STEEL AND THE FASCIA OF THE PRIMARY ROOF HOVER OVER THE ARTICULATE BUILDING FORMS, PARALLELING THE GENTLE SLOPE OF THE RIDGELINE, MINIMIZING THE HOME'S MASS AND SCALE.



BLACKENED STEEL METAL PANEL SYSTEM



DARK PREFINISHED METAL ROOF WILL BE EITHER A DARK STEEL OR DARK BROWN PATINA FINISH PER 17.5.6.C.3.C.iv

DARK PREFINISHED ALUMINUM SHEET METAL AT WINDOWS MATTE FINISH (NON REFLECTIVE) TO MATCH THE ROOF

GLASS

GIVEN THE IMPRESSIVE POSITION OF THE HOME, GLASS IS UTILIZED TO PROVIDE VIEWS TO THE IMMEDIATE AND DISTANT SCENERY. GLAZING WILL BE EXPANSIVE WHERE IT IS OPPORTUNE TO TAKE ADVANTAGE OF THESE VIEWS, AND WILL LOOK TO BE MORE MINIMAL IN OTHER AREAS OF THE HOME. WINDOW DETAILING WILL COMPLY WITH 17.5.6.G.3 WITH INSET 5" WHEN LOCATED IN STONE. A COMPLETE WINDOW SCHEDULE WILL BE PROVIDED FOR FINAL REVIEW.



PAINTED ALUMINUM CLAD WOOD WINDOW SYSTEM PER 17.5.6.G.8.a

PRECEDENT IMAGES



VERTICAL WOOD SIDING



WOOD SCREENING



WOOD SOFFIT - DARKENED STAIN

PRECEDENT IMAGES



STONE PAVING AT EXTERIOR TERRACES AND WALKWAYS / STEPS



STONE SITE WALLS AND SITE STEPS



STONE BASE - BUTTERED GROUT APPLICATION

PRECEDENT IMAGES



BLACKENED STEEL



STANDING SEAM METAL ROOF

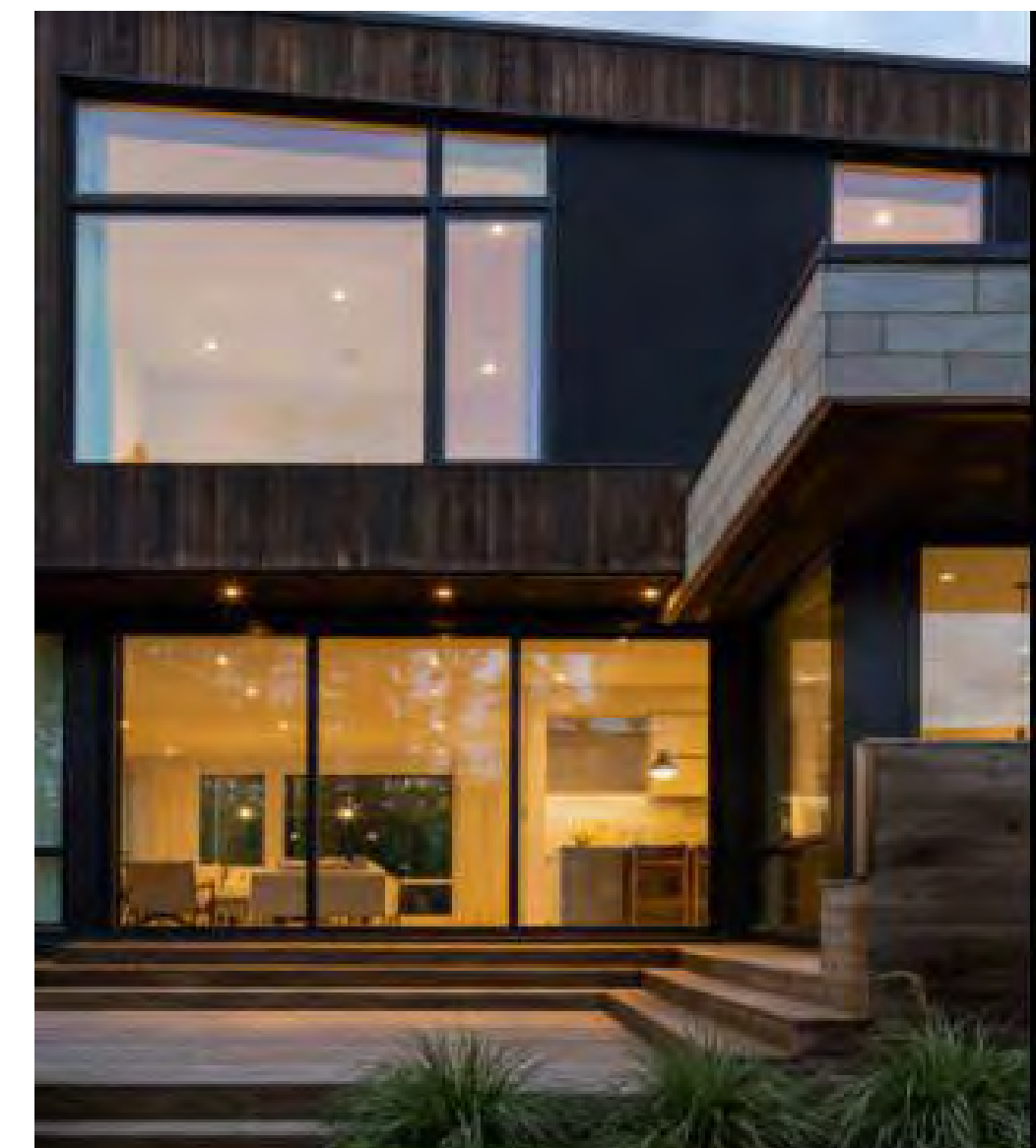


EXPOSED STEEL STRUCTURE



DARK PREFINISHED ALUMINUM SHEET METAL AT WINDOWS & FASCIAS MATTE FINISH (NON REFLECTIVE)

PRECEDENT IMAGES



ALUMINUM WOOD CLAD WINDOW SYSTEM

CCY ARCHITECTS

LOOKOUT RIDGE RESIDENCE

99 LOOKOUT RIDGE DR, MOUNTAIN VILLAGE, CO 81435

DATE: 05.18.2022

ISSUE: DRB SUBMITTAL

PROJECT NUMBER: 21115

DRAWN BY: Author | CHECKED BY: Checker

HISTORY:

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3	5.18.2022	DRB FINAL

REV.#	DATE	DESCRIPTION
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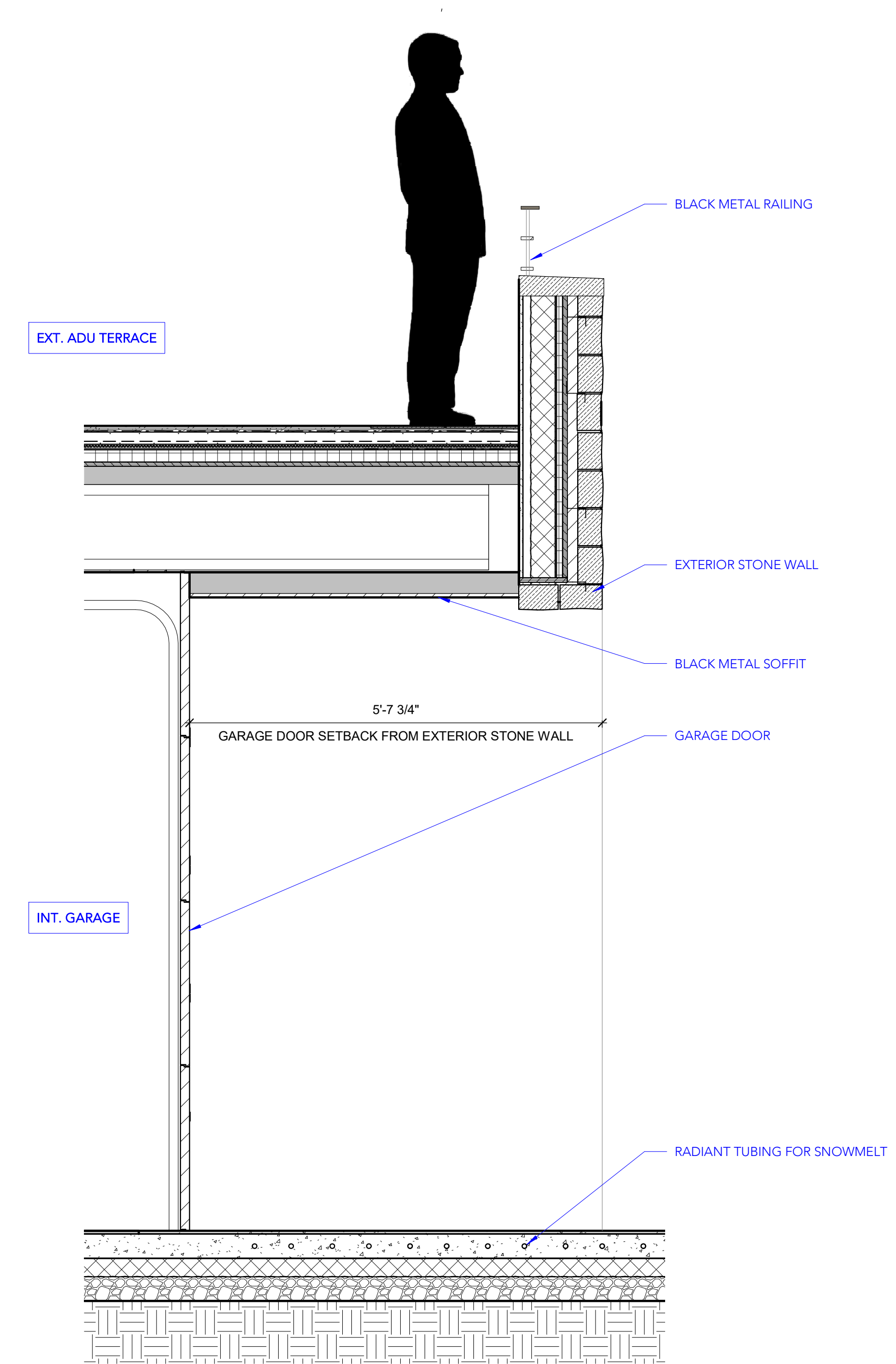
NOT FOR CONSTRUCTION



EXTERIOR MATERIAL PALETTE

SCALE:

A-205



DATE:
05.18.2022

ISSUE:
DRB SUBMITTAL

PROJECT NUMBER:
21115

DRAWN BY: -- CHECKED BY: --

HISTORY:

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2	3.01.2022	SD
3	5.18.2022	DRB FINAL

REV.#	DATE	DESCRIPTION

NOT FOR
CONSTRUCTION



WALL SECTIONS

SCALE: 3/4" = 1'-0"

A-320

DATE:
05.18.2022

ISSUE:
DRB SUBMITTAL

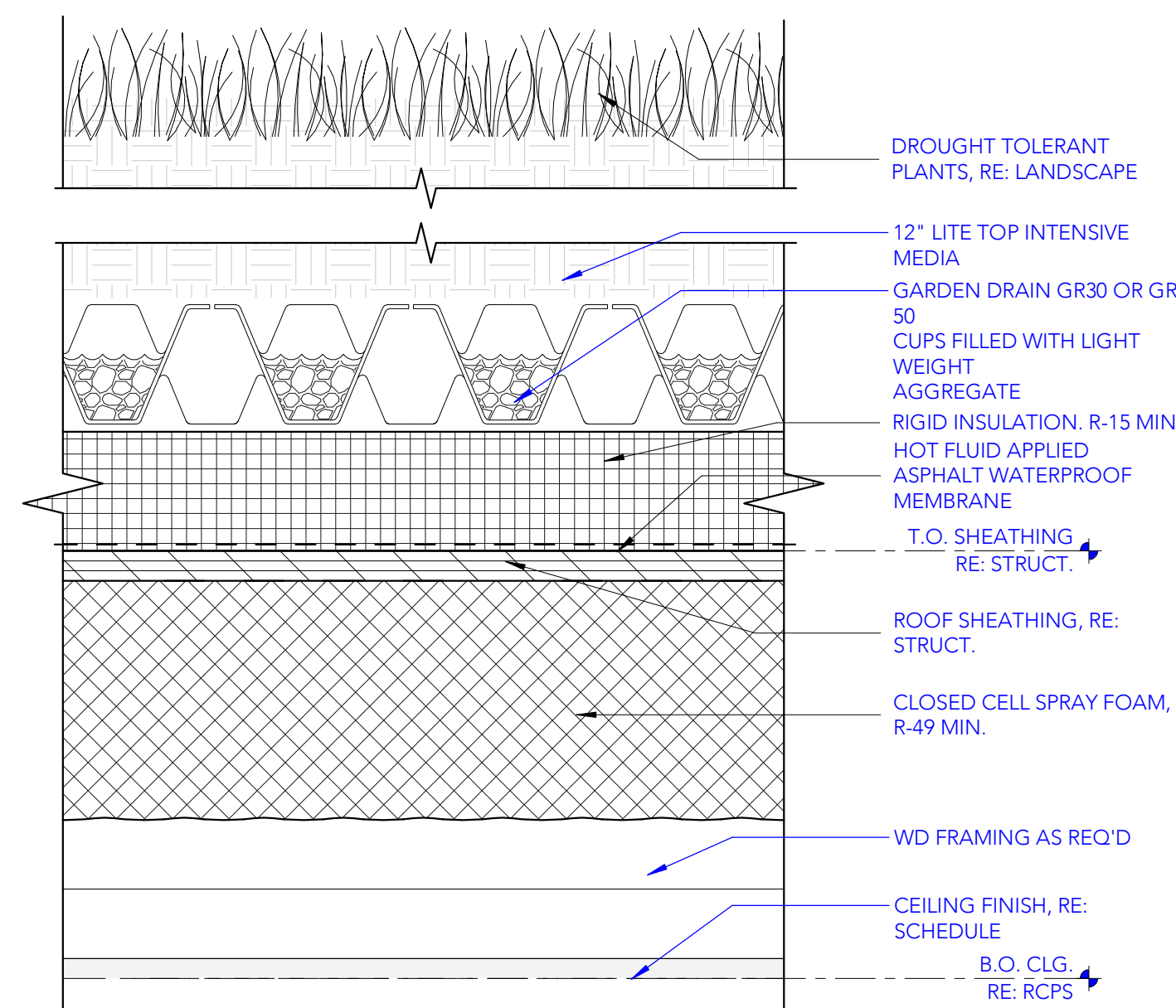
PROJECT NUMBER:
21115

DRAWN BY: -- CHECKED BY: --

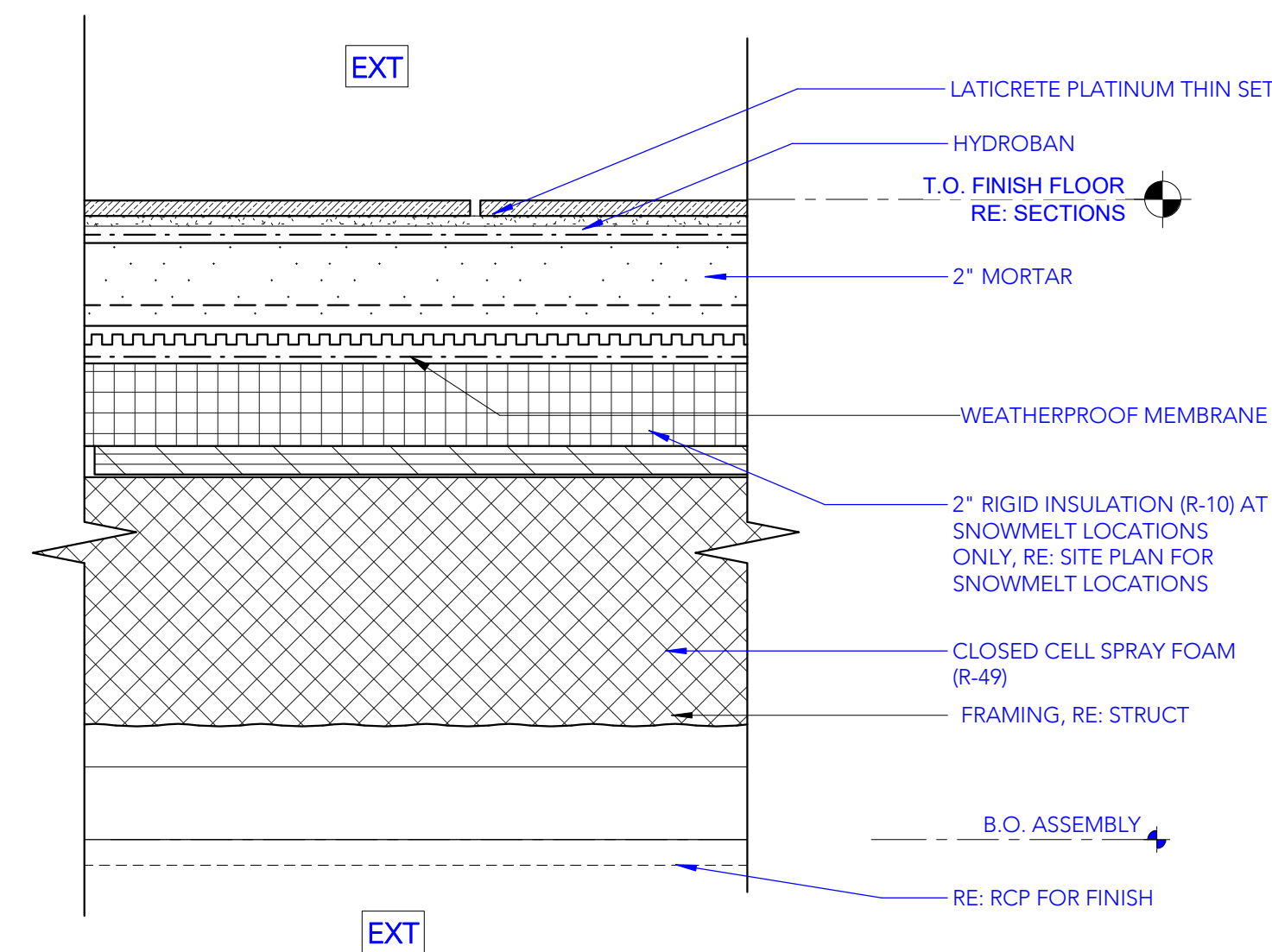
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REV.#	DATE	DESCRIPTION
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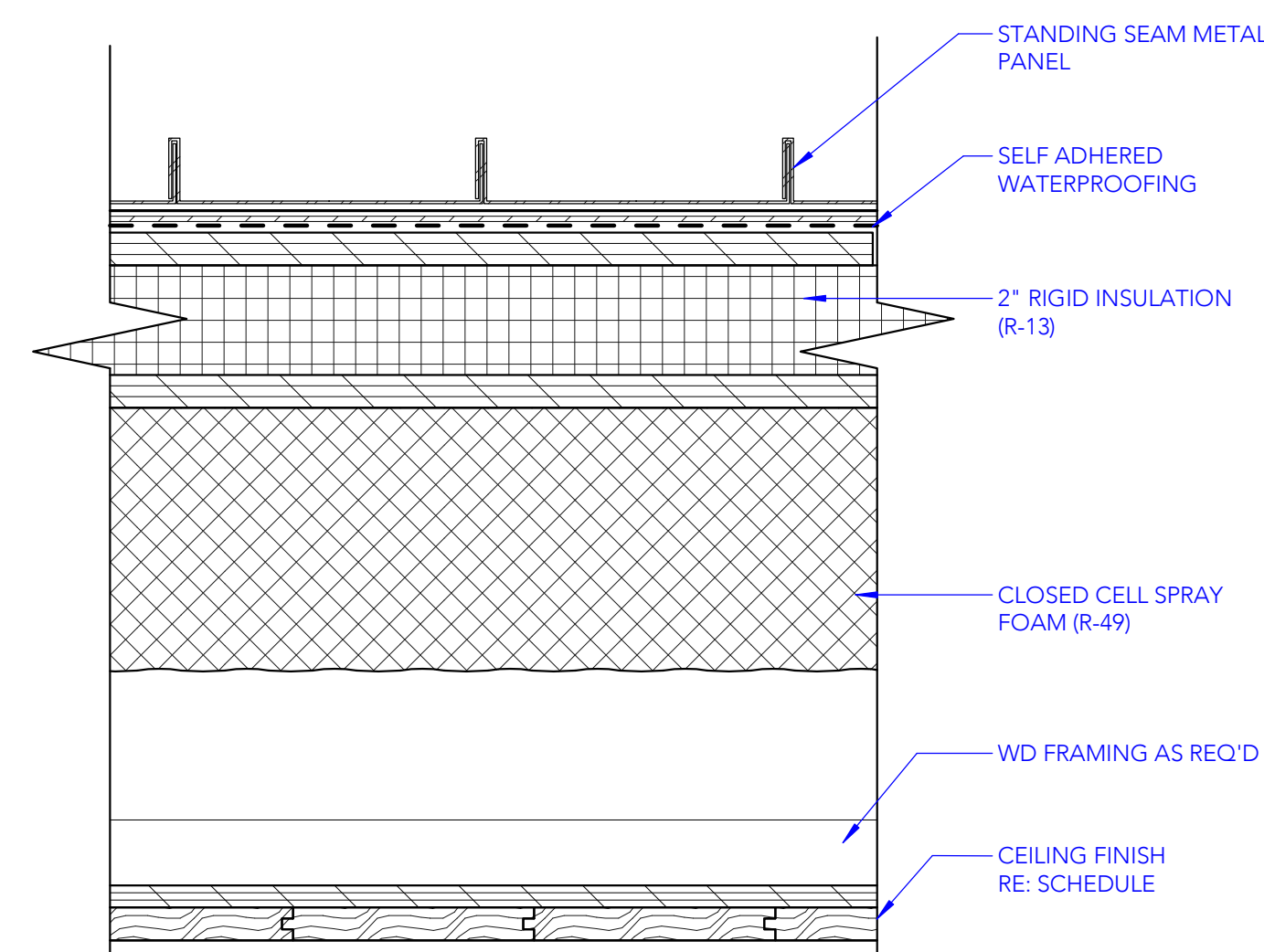


R4 - PLANTED ROOF ASSEMBLY
3" = 1'-0"



NOTE: STEEL BEAMS IN ROOF AND FLOOR ASSEMBLIES TO BE FULLY ENCAPSULATED IN MIN. 2.5" HIGH DENSITY CLOSED CELL SPRAY FOAM INSULATION.

R3 - WATERPROOF DECK @ EXT
3" = 1'-0"



R2 - STANDING SEAM ROOF
3" = 1'-0"

NOTE: DETAIL BASIS OF DESIGN IS AMERICAN HYDROTECH, GARDEN ROOF ASSEMBLY INTENSIVE

NOT FOR CONSTRUCTION



TYP. ROOF ASSEMBLIES

SCALE: 3" = 1'-0"

A-501

DATE:
05.18.2022

ISSUE:
DRB SUBMITTAL

PROJECT NUMBER:
21115

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3	5.18.2022	DRB FINAL

REV.#	DATE	DESCRIPTION
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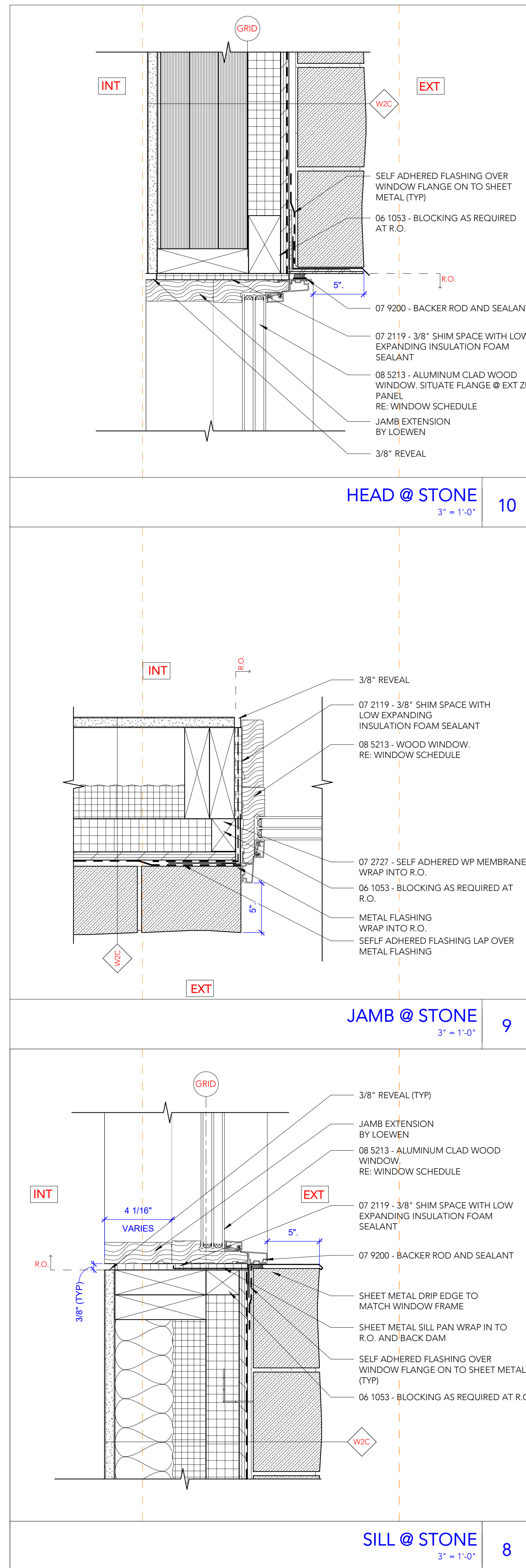
NOT FOR
CONSTRUCTION



WINDOW
DETAILS

SCALE: 3" = 1'-0"

A-550



DATE:
05.18.2022

ISSUE:
DRB SUBMITTAL

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REV.# DATE DESCRIPTION

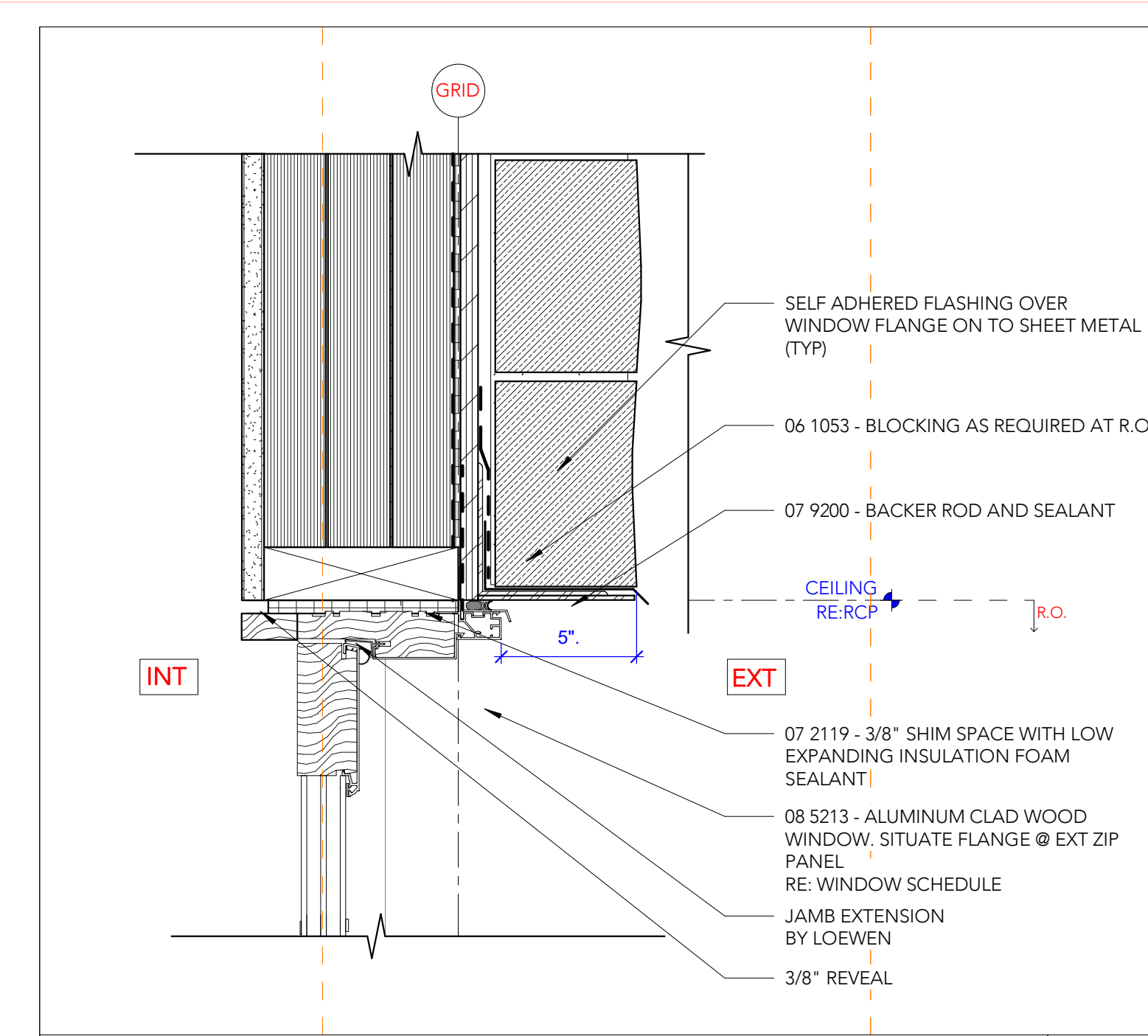
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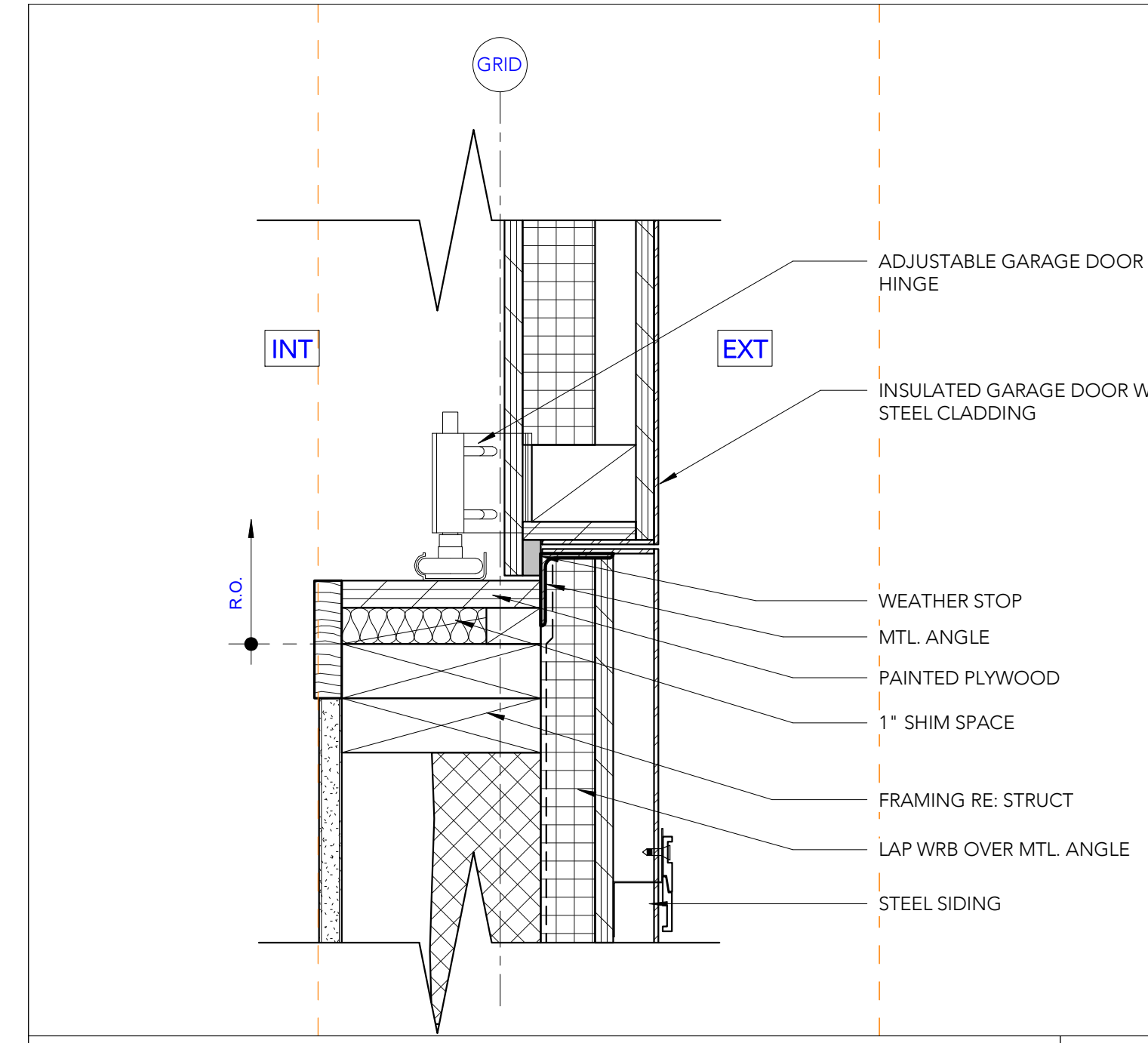
DOOR DETAILS

SCALE: 3" = 1'-0"

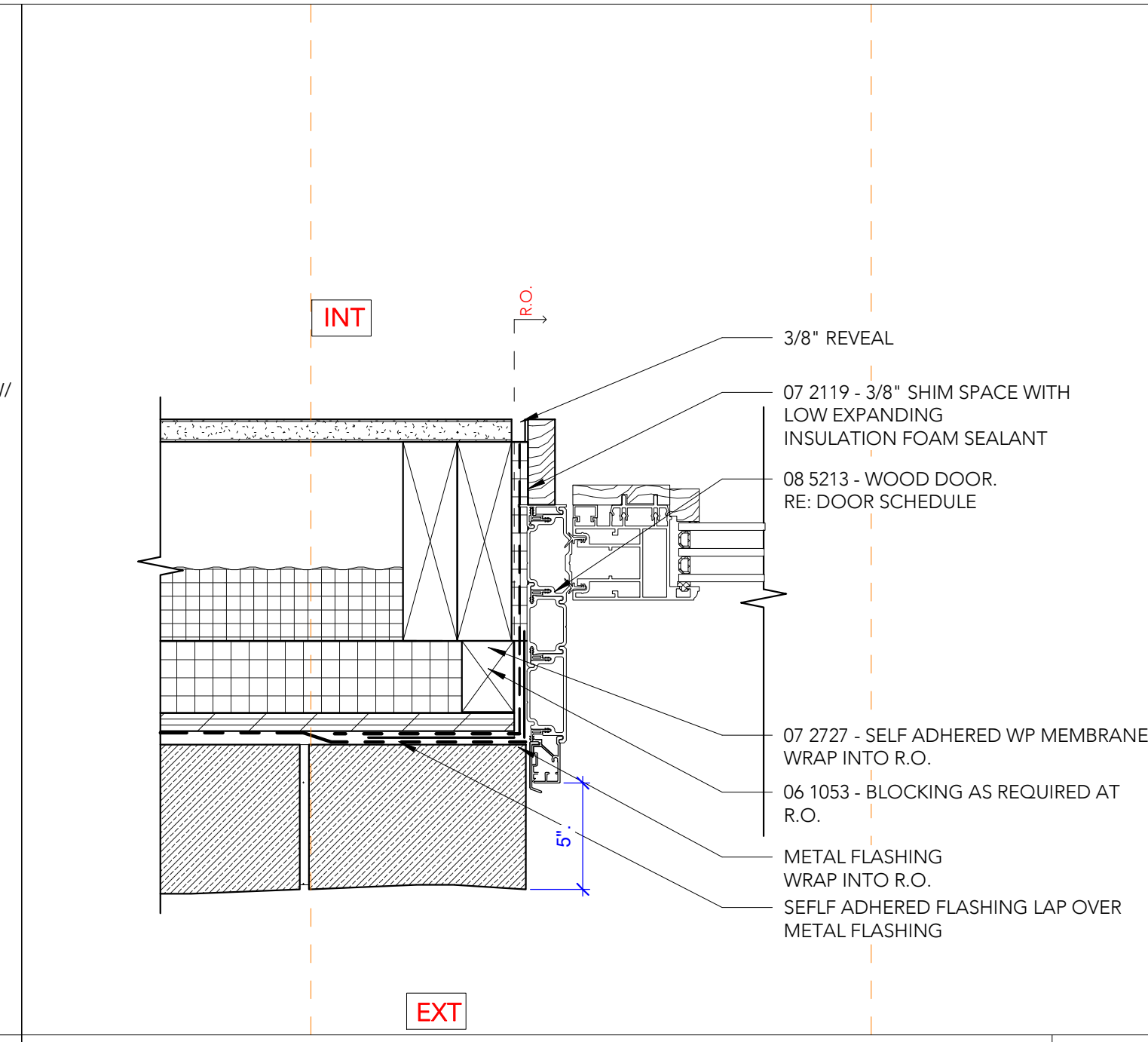
A-560



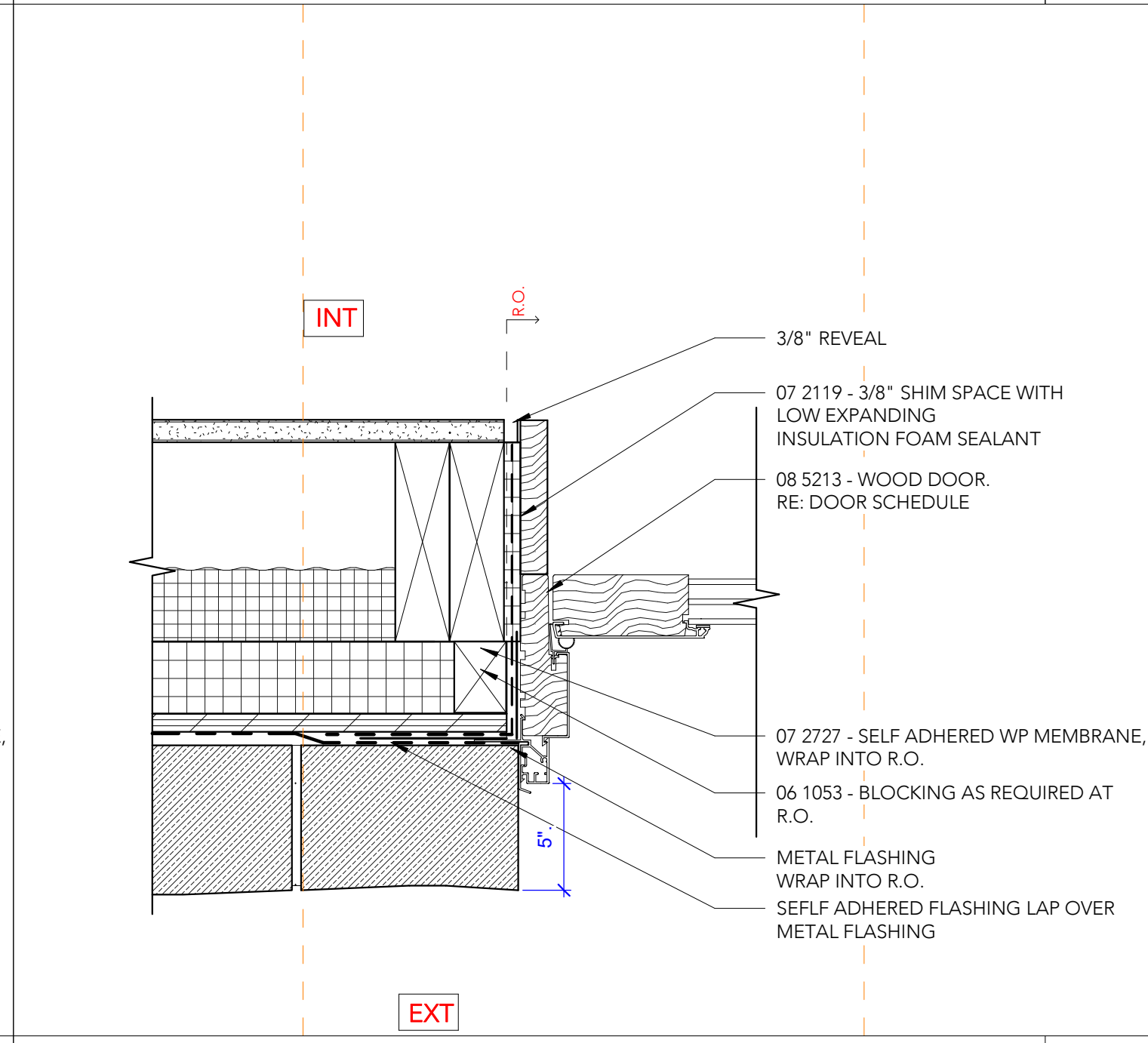
DOOR HEAD @ STONE
3" = 1'-0" 3



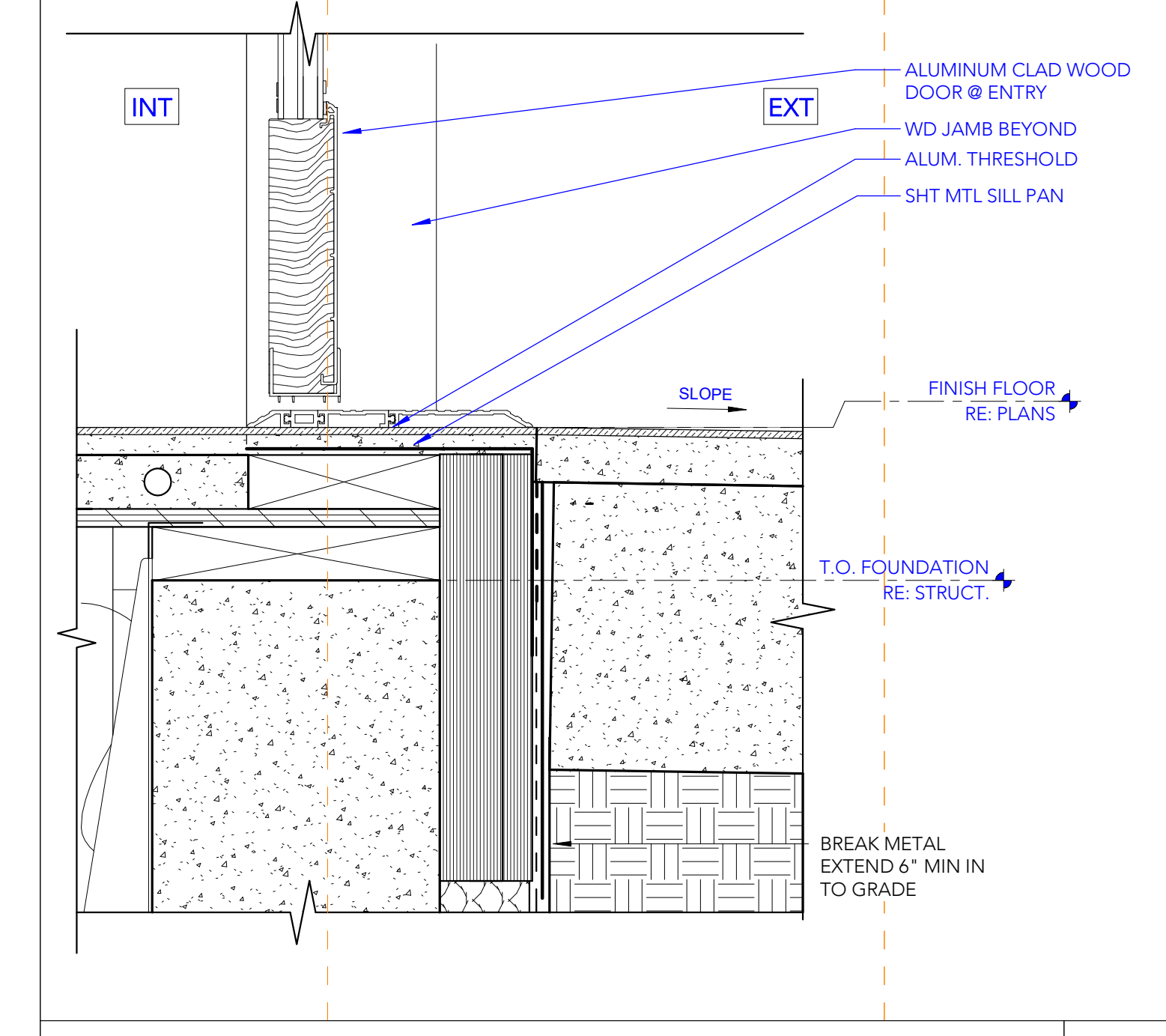
GARAGE DOOR JAMB
3" = 1'-0" 5



LIFT & SLIDE JAMB @ STONE
3" = 1'-0" 4



DOOR JAMB @ STONE
3" = 1'-0" 2



EXT. ENTRY DOOR @ THRESHOLD
3" = 1'-0" 1

DOOR SCHEDULE								
Mark	Size			Fire Rating	Details			Notes
	Height	Width	Thickness		Head	Jamb	Threshold	
001.A	9'-0"	20'-0"	1 1/2"					
001.B	8'-0"	3'-0"	1 3/4"					
002	8'-0"	3'-0"	1 3/4"					
003	8'-0"	3'-0"	1 3/4"					
004	8'-0"	3'-0"	1 3/4"					
005	8'-0"	3'-0"	1 3/4"					
100.A	10'-9 1/2"	3'-2 1/4"						
102.A	8'-0"	3'-0"	1 3/4"					
102.B	8'-0"	2'-8"						
102.C	8'-0"	2'-8"						
103.A	8'-0"	3'-6"	1 3/4"					
103.B	8'-0"	3'-6"	1 3/4"					
104	8'-0"	3'-0"	1 3/4"					
105.A	8'-0"	3'-0"	1 3/4"					
105.B	9'-0"	8'-0"	2"					
106.A	8'-0"	3'-0"	1 3/4"					
106.B	8'-0"	2'-8"	1 3/4"					
107.A	8'-0"	3'-0"	1 3/4"					
107.B	9'-0"	8'-0"	2"					
107.C	7'-0"	2'-8"	1 3/4"					
108.A	8'-0"	3'-0"	1 3/4"					
108.B	8'-0"	2'-8"	1 3/4"					
109.A	8'-0"	2'-8"	1 3/4"					
109.B	8'-0"	2'-8"						
110.A	8'-0"	2'-8"	1 3/4"					
111.A	8'-0"	3'-0"	1 3/4"					
111.B	8'-0"	3'-0"	1 3/4"					
112.A	8'-10 1/4"	3'-2 1/2"	3"					
112.B	9'-0"	14'-3"	2"					
112.C	8'-0"	3'-0"	1 3/4"					
112.D	8'-0"	2'-6"	1 3/4"					
112.E	8'-0"	3'-0"	1 3/4"					
200.A	11'-7"	11'-7 7/8"	1 3/4"					
200.B	8'-0"	4'-6"	1 3/4"					
200.C	8'-10 3/4"	3'-7"						
202	8'-0"	3'-0"	1 3/4"					
203	8'-0"	3'-0"	1 3/4"					
204	8'-0"	2'-8"	1 3/4"					
205	8'-0"	2'-8"	1 3/4"					
206	8'-0"	4'-0"	1 3/4"					
207.A	8'-0"	3'-6"	1 3/4"					
207.B	8'-0"	2'-8"	1 3/4"					
208	8'-0"	4'-6"	1 3/4"					
209	8'-0"	3'-0"	1 3/4"					
210.A	10'-6"	10'-7 5/8"	2"					
210.B	10'-6"	10'-7 5/8"	2"					
212.A	10'-1"	2'-10"						

CCY ARCHITECTS

LOOKOUT RIDGE RESIDENCE
99 LOOKOUT RIDGE DR, MOUNTAIN VILLAGE, CO 81435

DATE:
05.18.2022

ISSUE:
DRB SUBMITTAL

PROJECT NUMBER:
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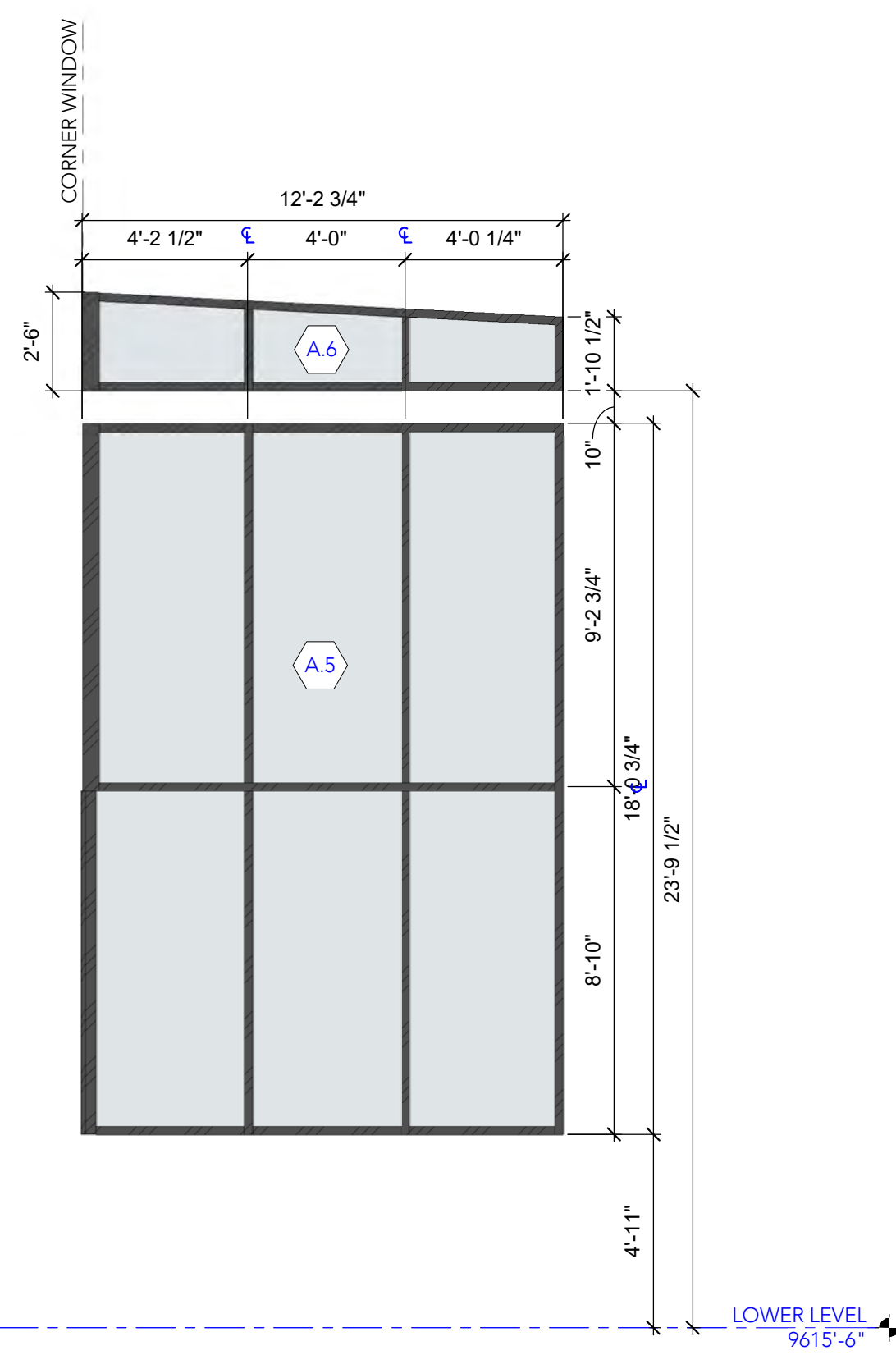
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CONSTRUCTION



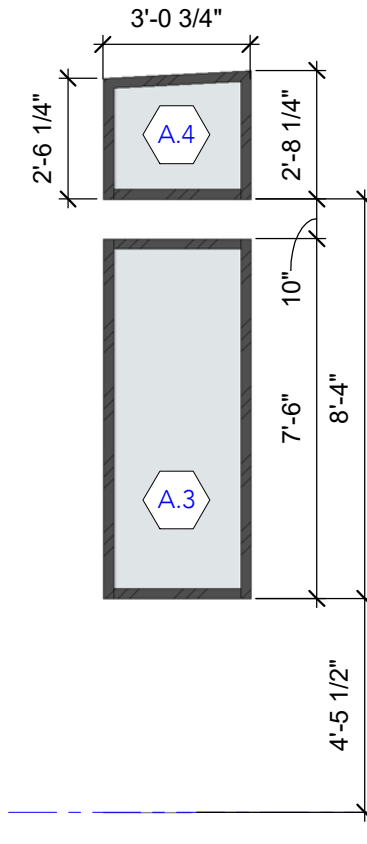
DOOR
SCHEDULE

SCALE:

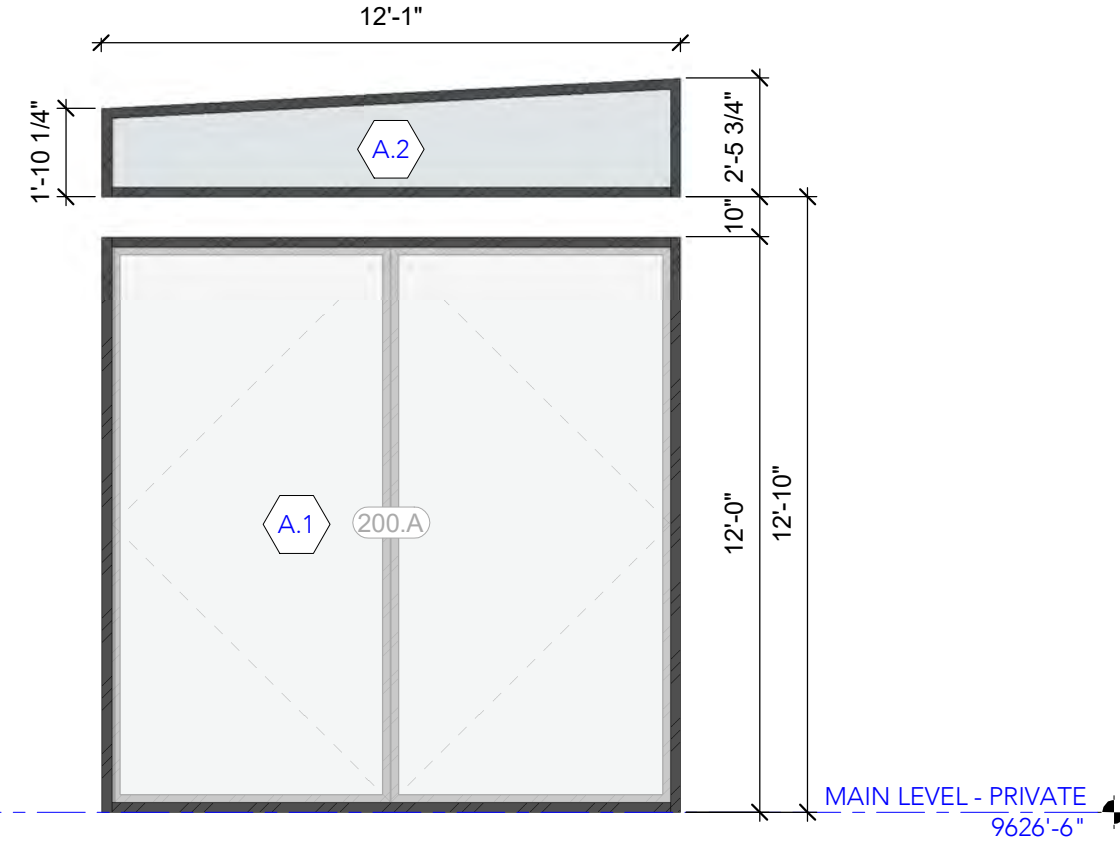
A-600



A.5 & A.6 - ENTRY STAIR



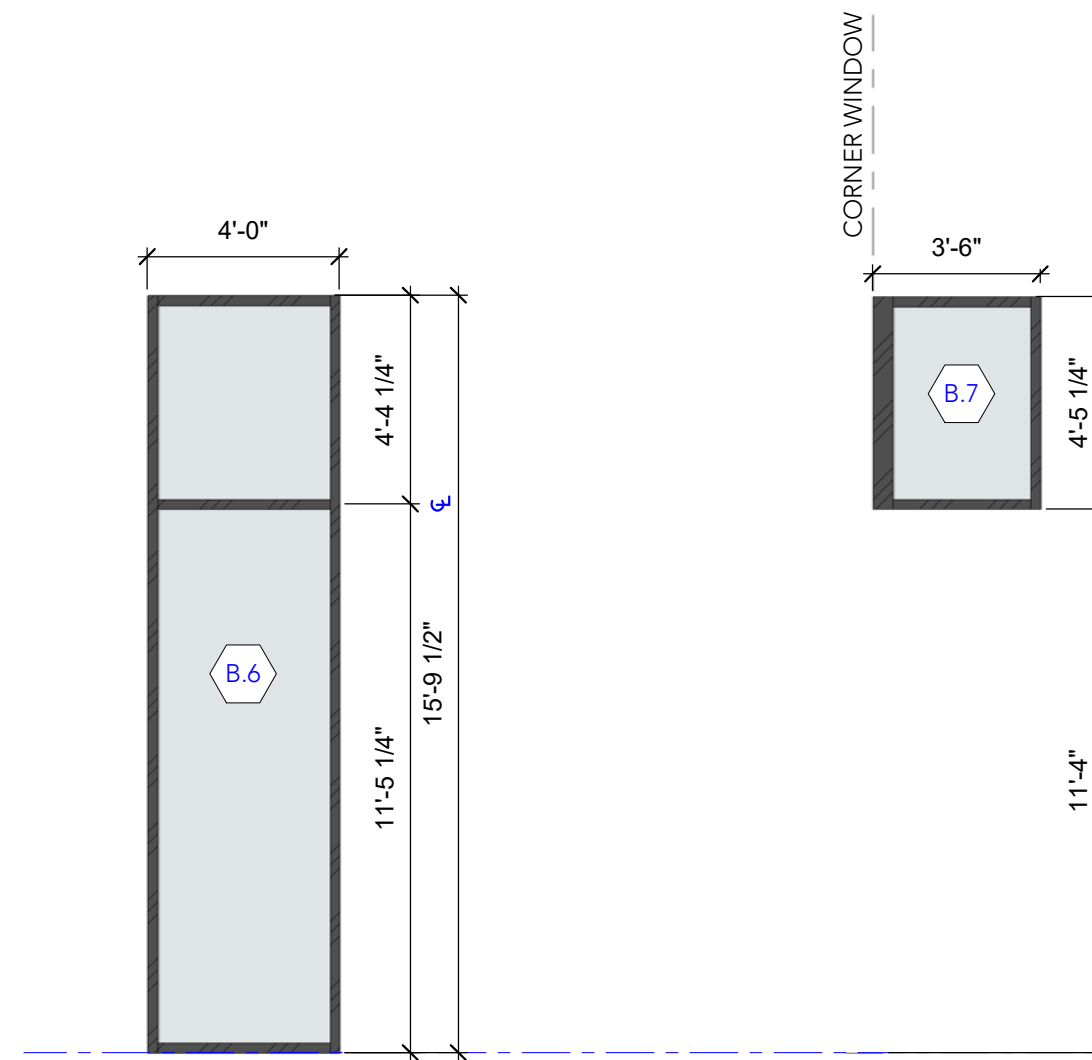
A.3 & A.4 - ENTRY



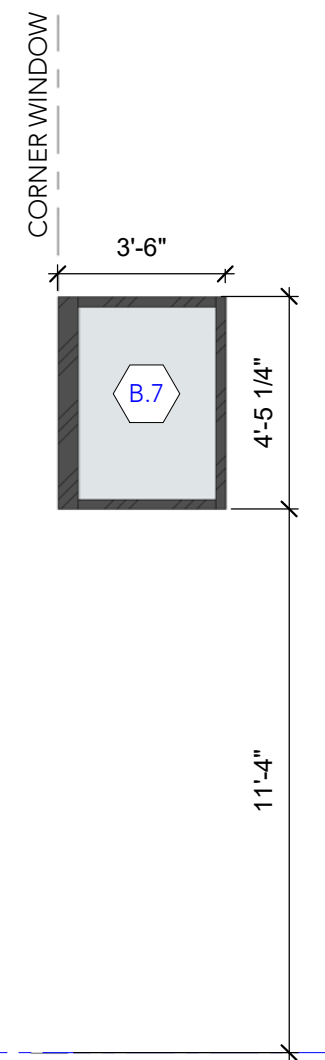
A.1 & A.2 - ENTRY

WINDOW SCHEDULE NOTES
 1. DIMENSIONS INDICATED ARE TO R.O. UNLESS NOTED OTHERWISE.
 2. PROVIDE SAFETY GLAZING AS REQ'D BY CODE, INDICATED W/ 'SG'
 3. RE: A-7.02 FOR DOOR SCHEDULE.
 4. ALL GLASS UNITS TO BE TRIPLE GLAZED. ENERGY REQUIREMENTS FOR 2015 IECC FOR CLIMATE ZONE 7

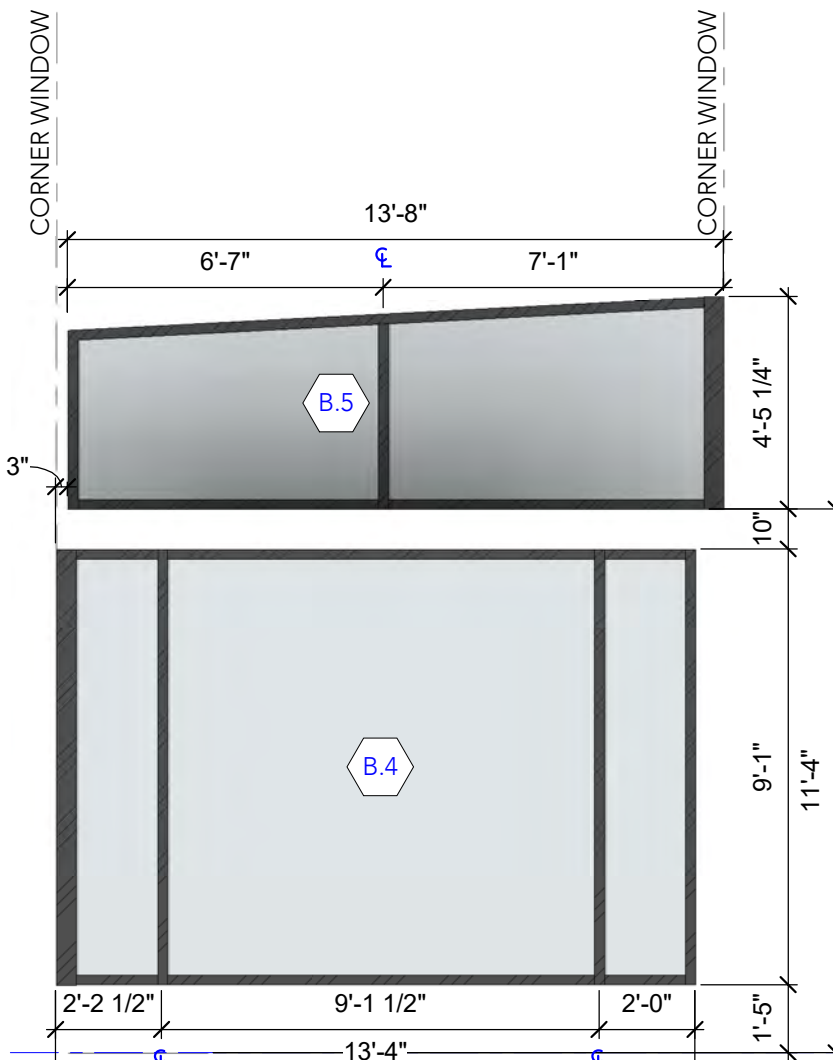
EXTERIOR GLAZING SCHEDULE						
Mark	Type Mark	Width (RO)	Height (RO)	Sill Height	Manufacturer	Comments
A.1		12'-5 1/2"	12'-0"	0"		
A.2		12'-5 1/2"	SEE ELEVATION	12'-10"		
A.3		3'-0 3/4"	7'-6"	15'-5 1/2"		
A.4		3'-0 3/4"	SEE ELEVATION	23'-9 1/2"		
A.5		12'-0 1/4"	18'-0 3/4"	-7'-7"		
A.6		12'-0 1/4"	SEE ELEVATION	11'-3 1/2"		
AA.1		5'-5 1/2"	9'-0"	0"		
AA.2		5'-6 1/2"	5'-0 3/4"	9'-10"		
AA.3		1'-11 1/2"	9'-0"	0"		
AA.4		1'-11 1/2"	5'-0 3/4"	9'-10"		
AA.6		14'-10"	SEE ELEVATION	9'-10"		
AA.7		12'-0"	5'-0"	4'-0"		
AA.8		8'-7 1/2"	5'-0"	4'-0"		
AA.9		7'-7"	2'-6 1/4"	5'-5 3/4"		
AA.10		7'-3"	4'-7"	3'-0"		
B.1		21'-1"	10'-6"	0"		
B.2		21'-1"	SEE ELEVATION	11'-4"		
B.4		13'-6"	9'-1"	1'-5"		
B.5		13'-3"	SEE ELEVATION	-1'-8"		
B.6		4'-4 1/2"	14'-4 1/4"	0"		
B.7		3'-3 1/2"	5'-1 1/2"	11'-4"		
B.8		7'-8 1/2"	9'-1"	1'-5"		
BB.1		9'-10 1/2"	8'-6"	2'-6"		
C.1		12'-0 1/2"	7'-6"	3'-0"		
C.2		8'-7"	7'-6"	3'-0"		
C.4		21'-8"	SEE ELEVATION	11'-4"		
C.5		2'-9 3/4"	9'-9 3/4"	8 1/4"		
C.6		2'-9 3/4"	SEE ELEVATION	11'-4"		
C.7		4'-9"	9'-9 3/4"	8 1/4"		
C.8		4'-9"	12'-0"	11'-4"		
D.1		4'-2 3/4"	8'-9"	1'-3"		
D.2		16'-0 1/2"	8'-9"	1'-3"		
D.3		8'-6"	8'-9"	1'-3"		
D.4		1'-2"	10'-1 1/4"	0"		
D.5		2'-0"	7'-0"	3'-0"		
E.1		3'-0"	6'-3 1/4"	2'-10"		
F.1		10'-4 1/2"	5'-10"	3'-6"		
G.1		4'-0"	14'-2 1/4"	0"		
H.1		7'-3 1/2"	8'-1"	-6"		



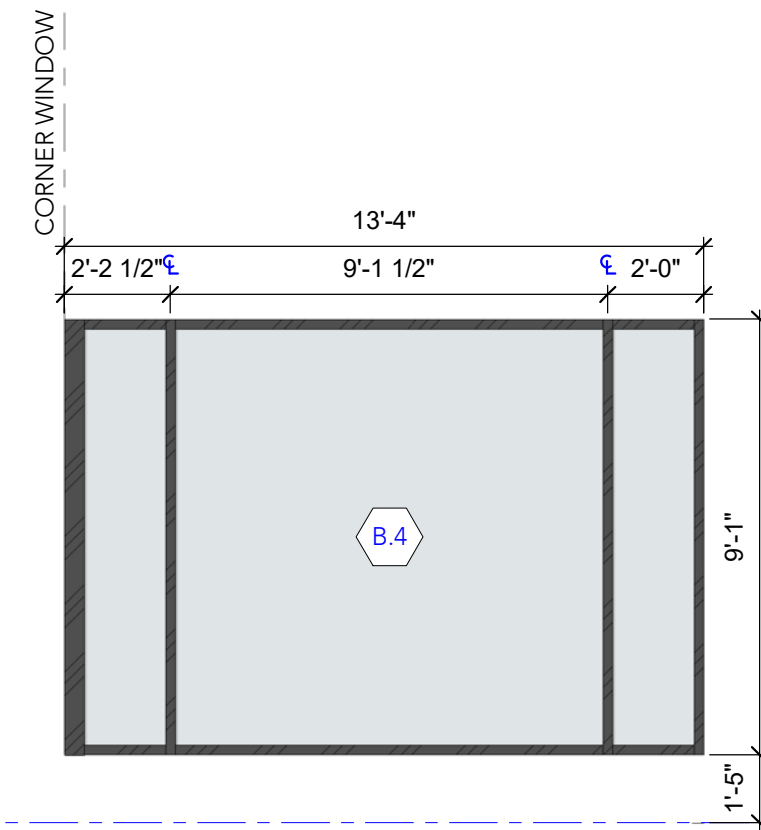
B.6 - DINING



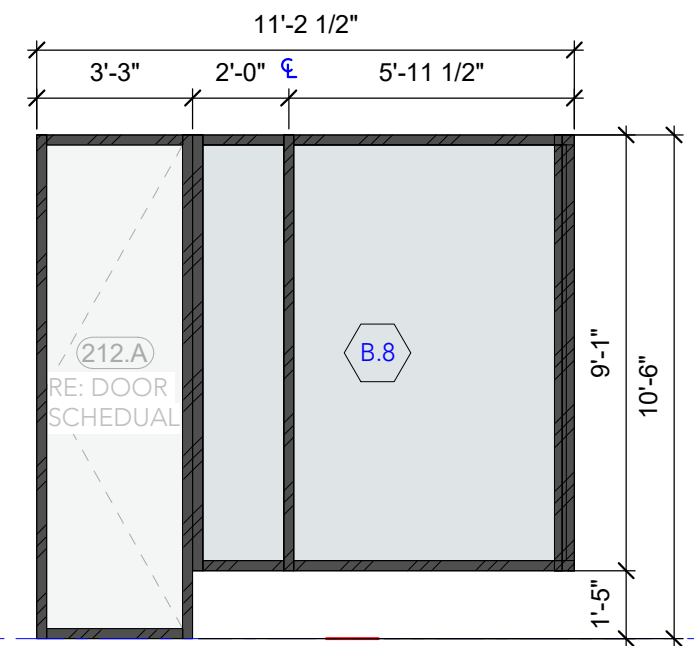
B.7 - DINING



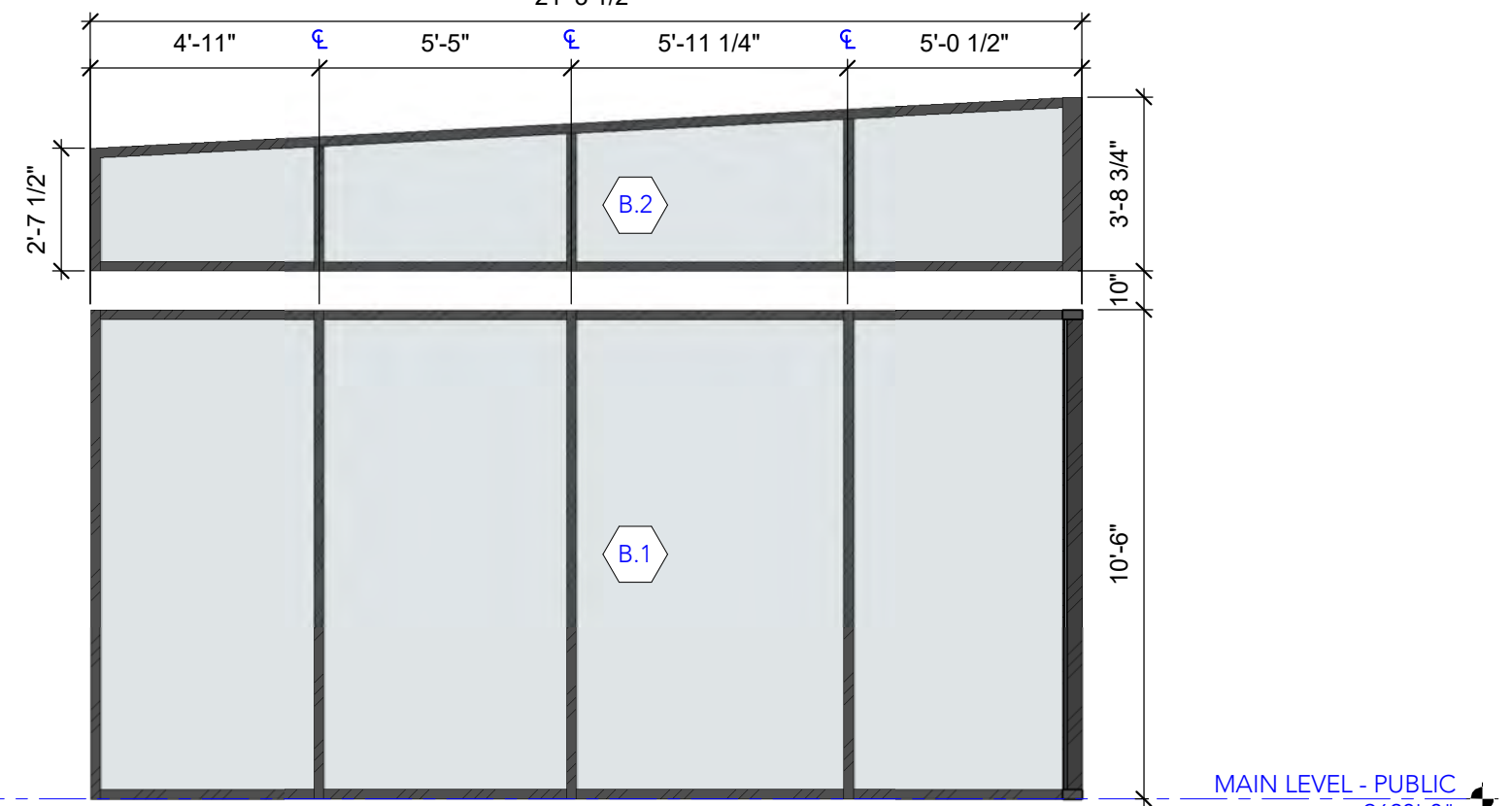
B.4 & B.5 - DINING



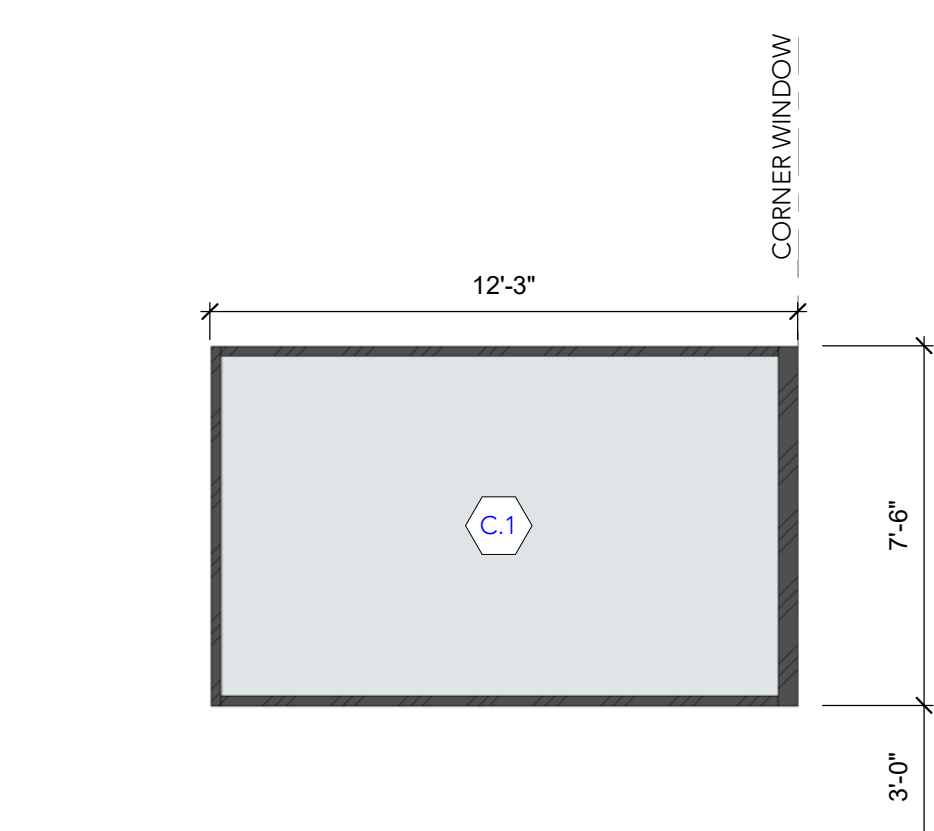
B.3 - DINING



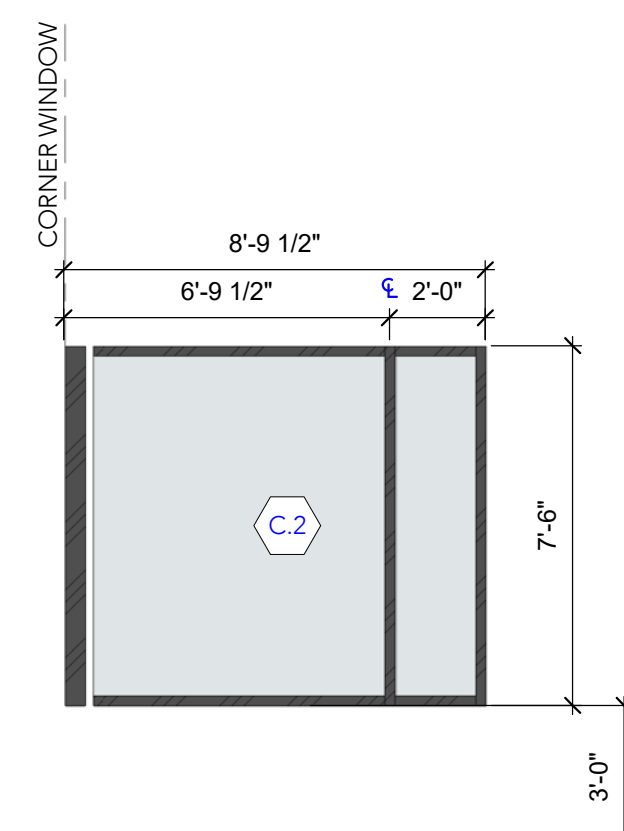
B.8 - DINING



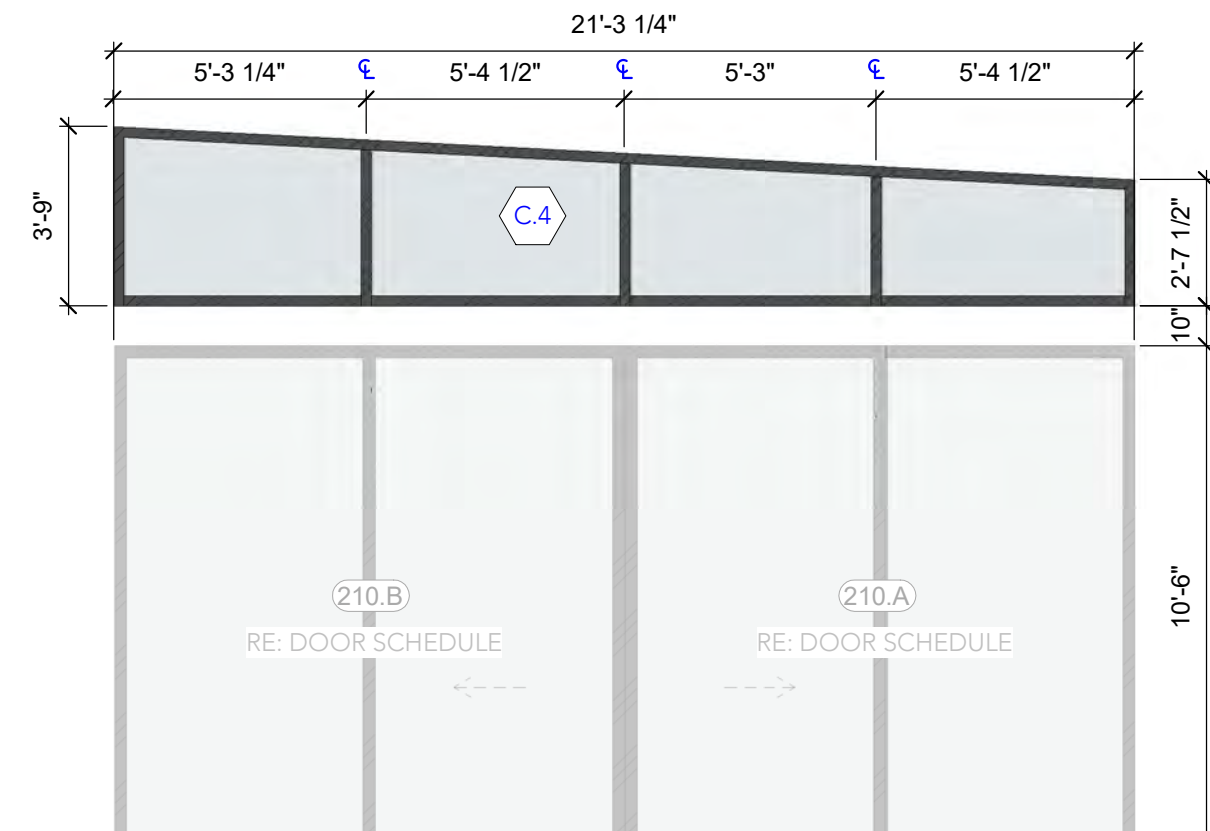
B.1 & B.2 - FAMILY



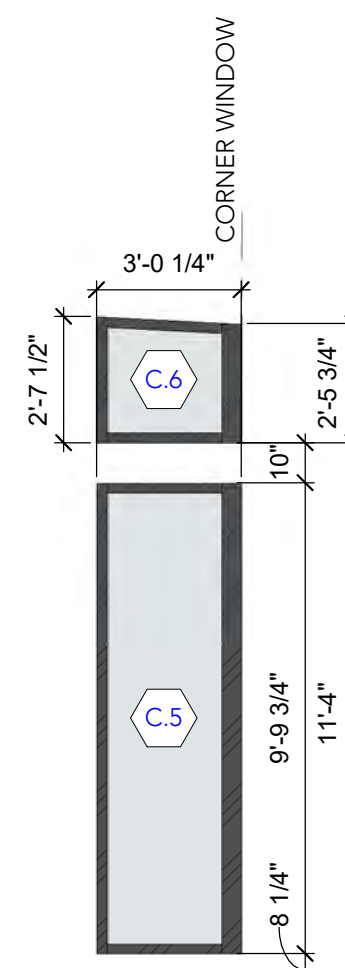
C.1 - KITCHEN



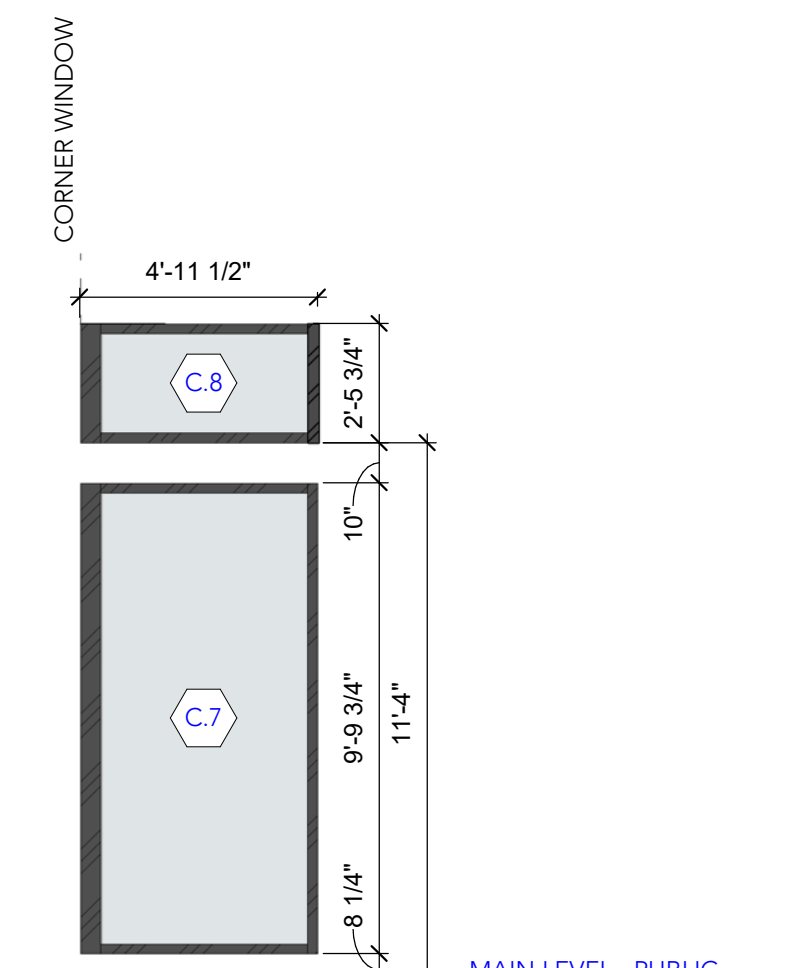
C.2 - KITCHEN



C.3 & C.4 - FAMILY



C.5 & C.6 - FAMILY



C.7 & C.8 - FAMILY

CCY ARCHITECTS
 LOOKOUT RIDGE RESIDENCE
 99 LOOKOUT RIDGE DR, MOUNTAIN VILLAGE, CO 81435

DATE: 05.18.2022
 ISSUE: DRB SUBMITTAL
 PROJECT NUMBER: 21115
 DRAWN BY: -- CHECKED BY: --

HISTORY:

#	DATE	DESCRIPTION
1	1.14.2022	DRB
2	3.01.2022	SD
3	5.18.2022	DRB FINAL

REV.#	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

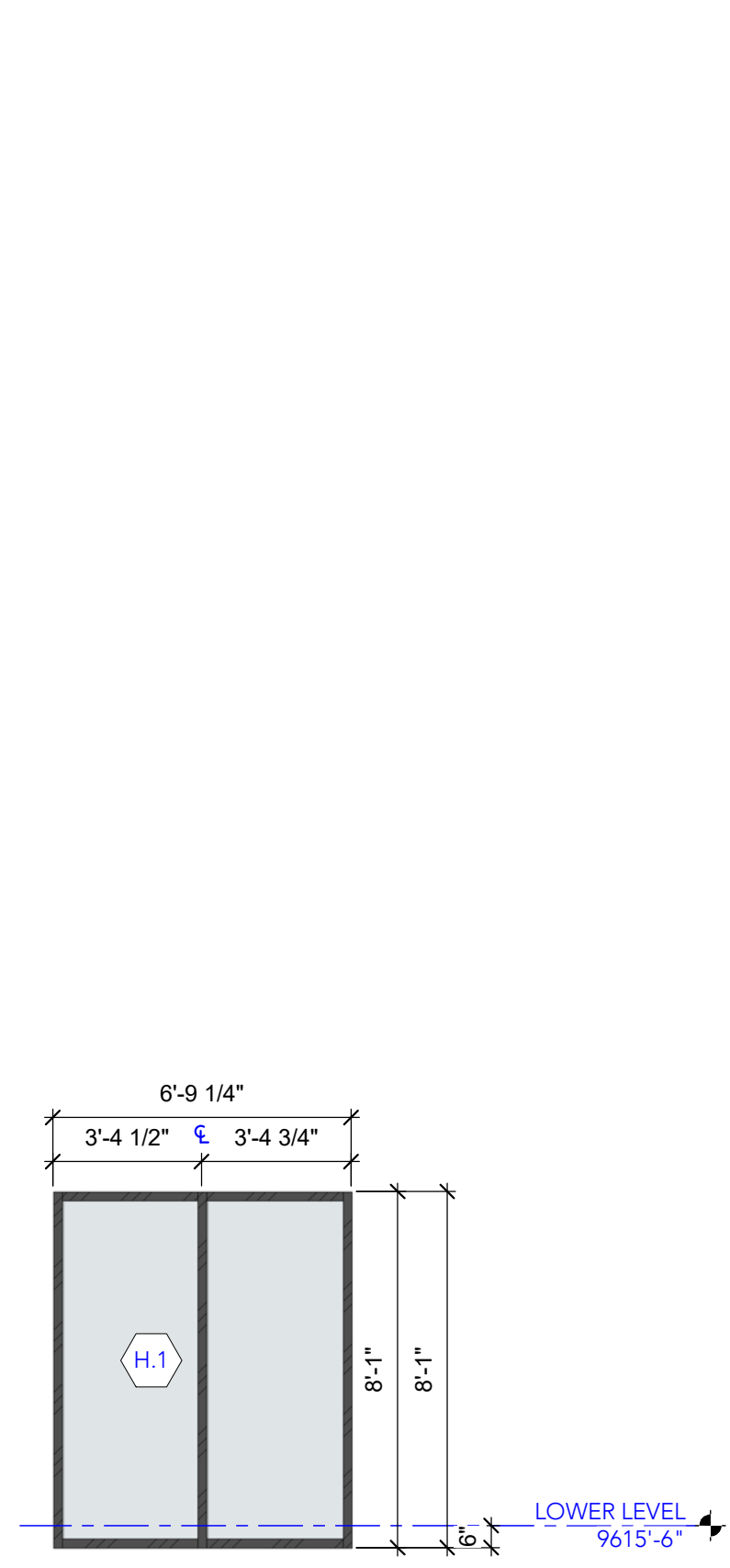
WINDOW SCHEDULE

SCALE: 1/4" = 1'-0"

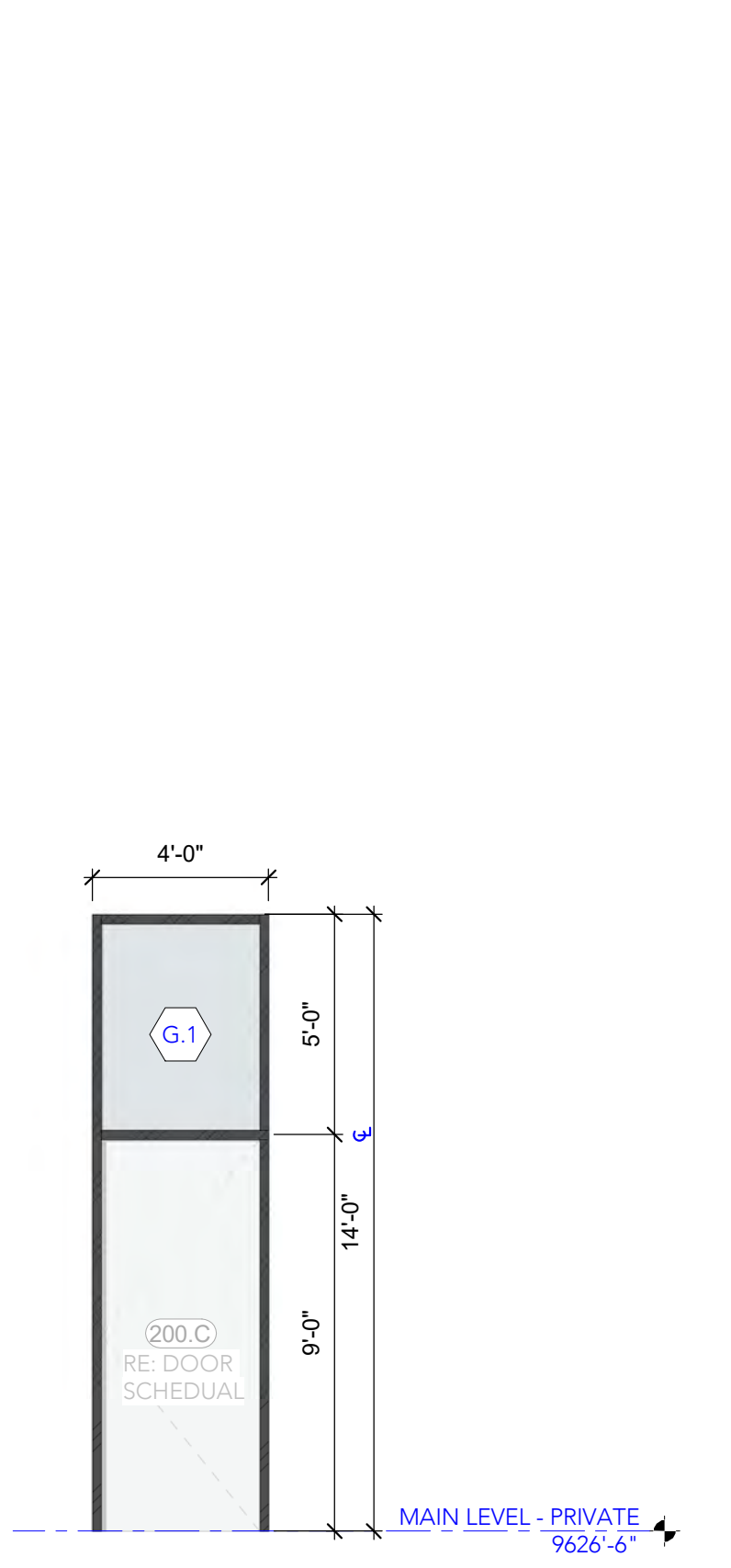
A-601

- WINDOW SCHEDULE NOTES**
- DIMENSIONS INDICATED ARE TO R.O. UNLESS NOTED OTHERWISE.
 - PROVIDE SAFETY GLAZING AS REQ'D BY CODE, INDICATED W/ 'SG'
 - RE: A-7.02 FOR DOOR SCHEDULE.
 - ALL GLASS UNITS TO BE TRIPLE GLAZED, ENERGY REQUIREMENTS OF 2015 IECC FOR CLIMATE ZONE 7

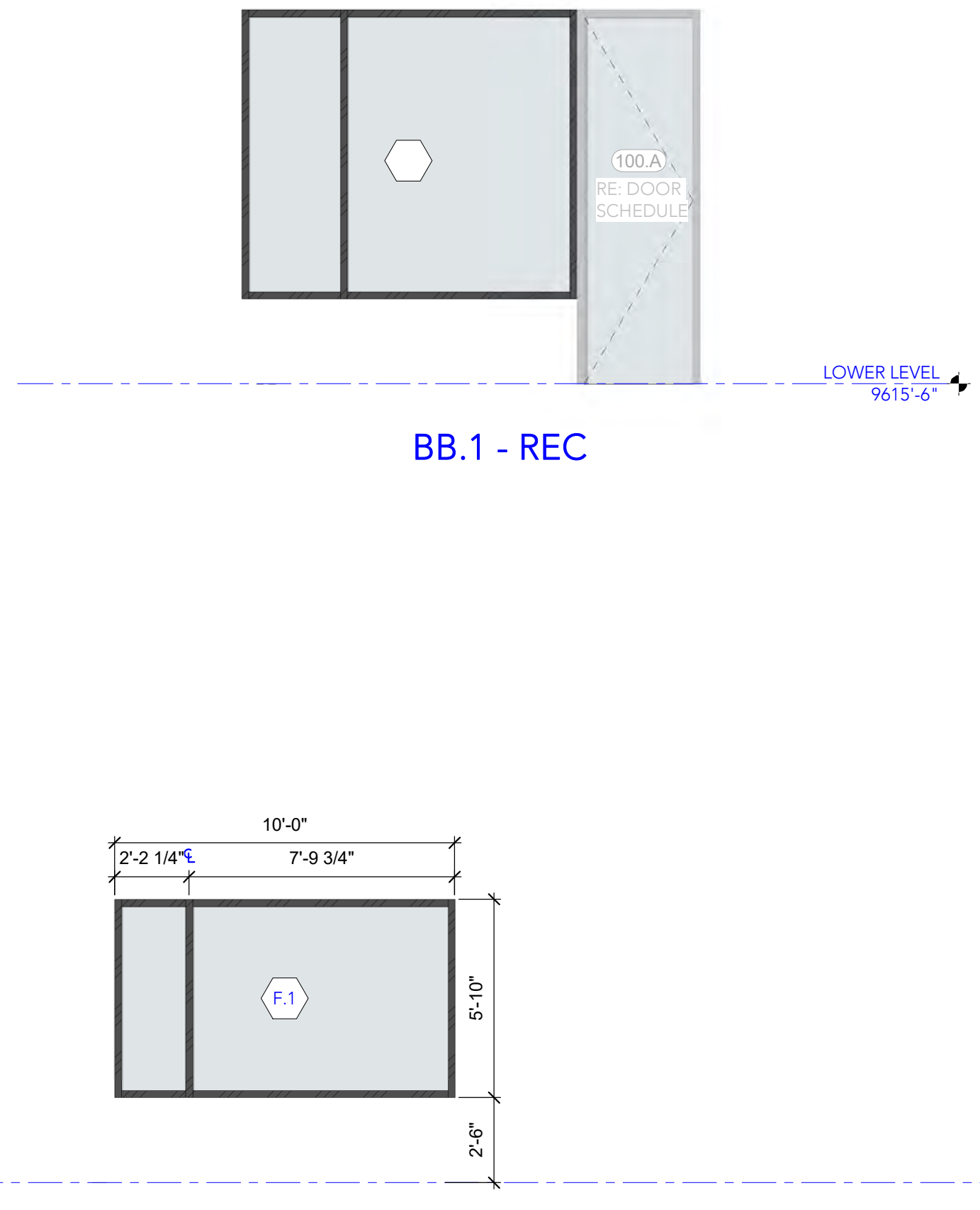
EXTERIOR GLAZING SCHEDULE						
Mark	Type Mark	Width (RO)	Height (RO)	Sill Height	Manufacturer	Comments
A.1		12'-5 1/2"	12'-0"	0"		
A.2		12'-5 1/2"	SEE ELEVATION	12'-10"		
A.3		3'-0 3/4"	7'-6"	15'-5 1/2"		
A.4		3'-0 3/4"	SEE ELEVATION	23'-9 1/2"		
A.5		12'-0 1/4"	18'-0 3/4"	-7'-7"		
A.6		12'-0 1/4"	SEE ELEVATION	11'-3 1/2"		
AA.1		5'-5 1/2"	9'-0"	0"		
AA.2		5'-6 1/2"	5'-0 3/4"	9'-10"		
AA.3		1'-11 1/2"	9'-0"	0"		
AA.4		1'-11 1/2"	5'-0 3/4"	9'-10"		
AA.6		14'-10"	SEE ELEVATION	9'-10"		
AA.7		12'-0"	5'-0"	4'-0"		
AA.8		8'-7 1/2"	5'-0"	4'-0"		
AA.9		7'-7"	2'-6 1/4"	5'-5 3/4"		
AA.10		7'-3"	4'-7"	3'-0"		
B.1		21'-1"	10'-6"	0"		
B.2		21'-1"	SEE ELEVATION	11'-4"		
B.4		13'-6"	9'-1"	1'-5"		
B.5		13'-3"	SEE ELEVATION	-1'-8"		
B.6		4'-4 1/2"	14'-4 1/4"	0"		
B.7		3'-3 1/2"	5'-1 1/2"	11'-4"		
B.8		7'-8 1/2"	9'-1"	1'-5"		
BB.1		9'-10 1/2"	8'-6"	2'-6"		
C.1		12'-0 1/2"	7'-6"	3'-0"		
C.2		8'-7"	7'-6"	3'-0"		
C.4		21'-8"	SEE ELEVATION	11'-4"		
C.5		2'-9 3/4"	9'-9 3/4"	8 1/4"		
C.6		2'-9 3/4"	SEE ELEVATION	11'-4"		
C.7		4'-9"	9'-9 3/4"	8 1/4"		
C.8		4'-9"	12'-0"	11'-4"		
D.1		4'-2 3/4"	8'-9"	1'-3"		
D.2		16'-0 1/2"	8'-9"	1'-3"		
D.3		8'-6"	8'-9"	1'-3"		
D.4		1'-2"	10'-1 1/4"	0"		
D.5		2'-0"	7'-0"	3'-0"		
E.1		3'-0"	6'-3 1/4"	2'-10"		
F.1		10'-4 1/2"	5'-10"	3'-6"		
G.1		4'-0"	14'-2 1/4"	0"		
H.1		7'-3 1/2"	8'-1"	-6"		



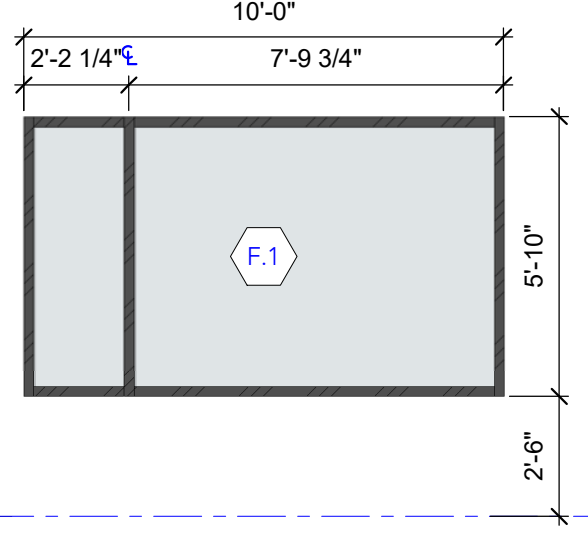
H.1 - BACK STAIR



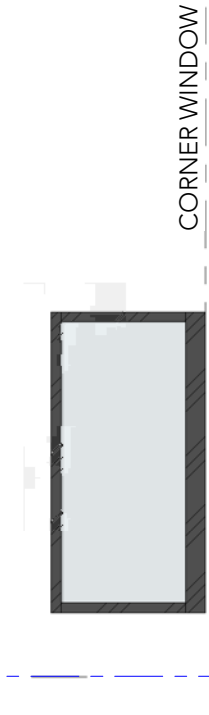
G.1 - HALLWAY



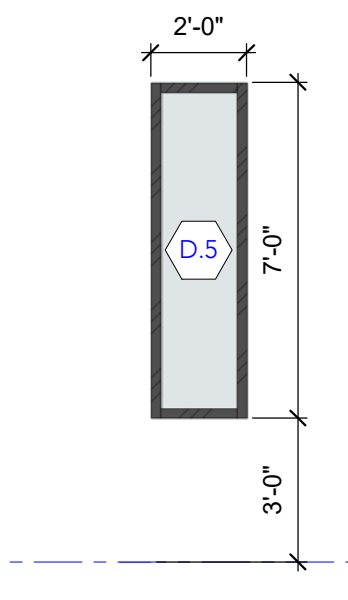
BB.1 - REC



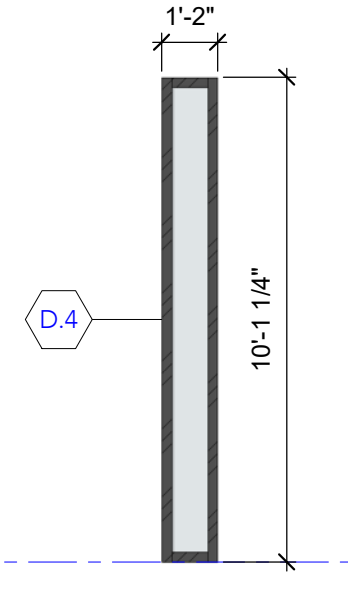
F.1 - OFFICE



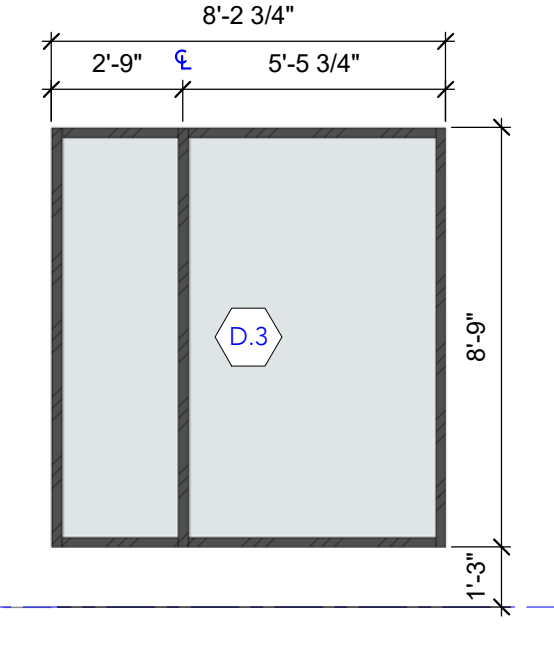
E.1 - SAUNA



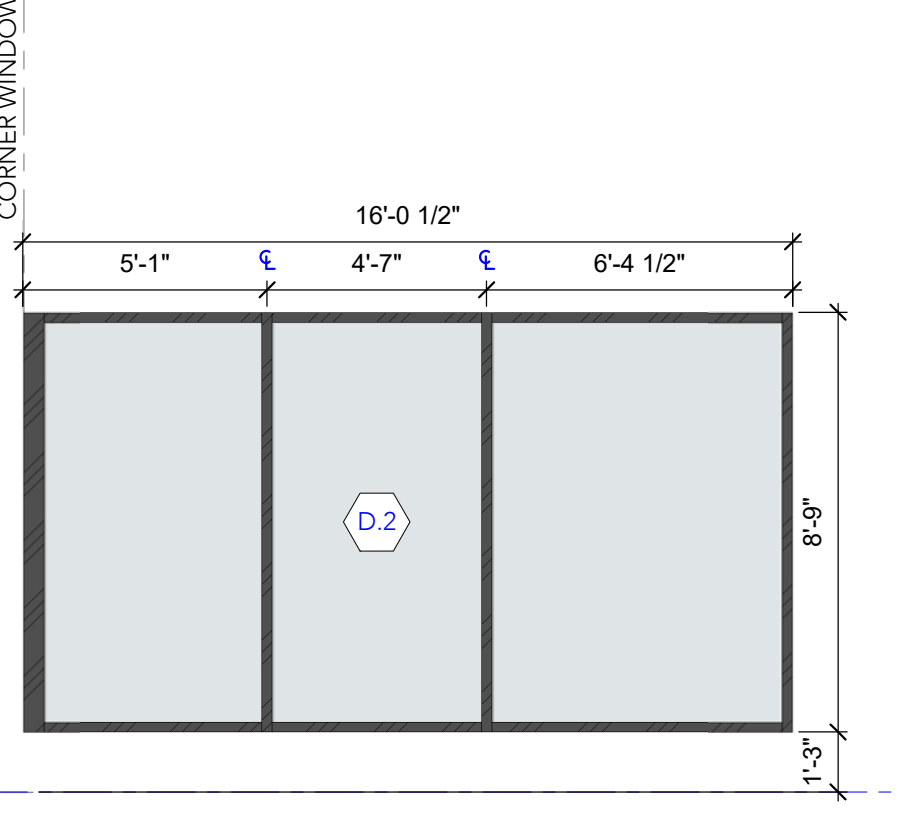
D.5 - MASTER BA



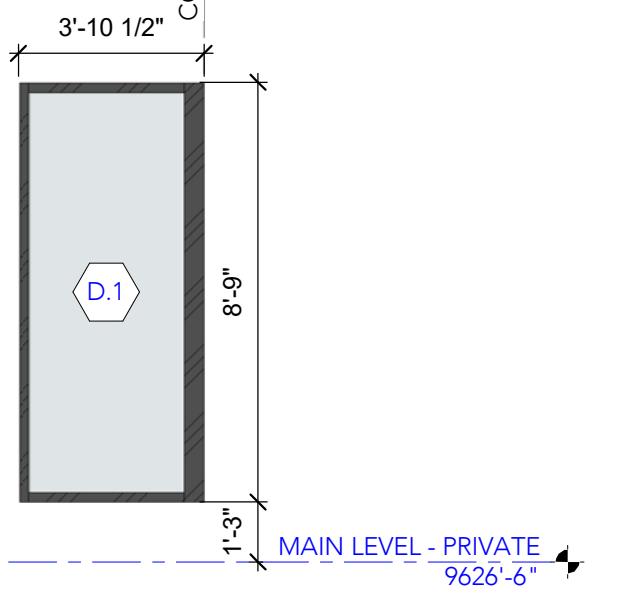
D.4 - MASTER BA



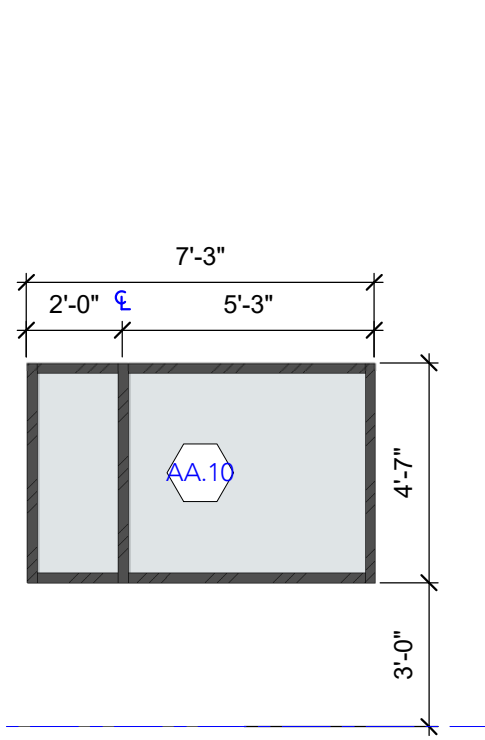
D.3 - MASTER BA



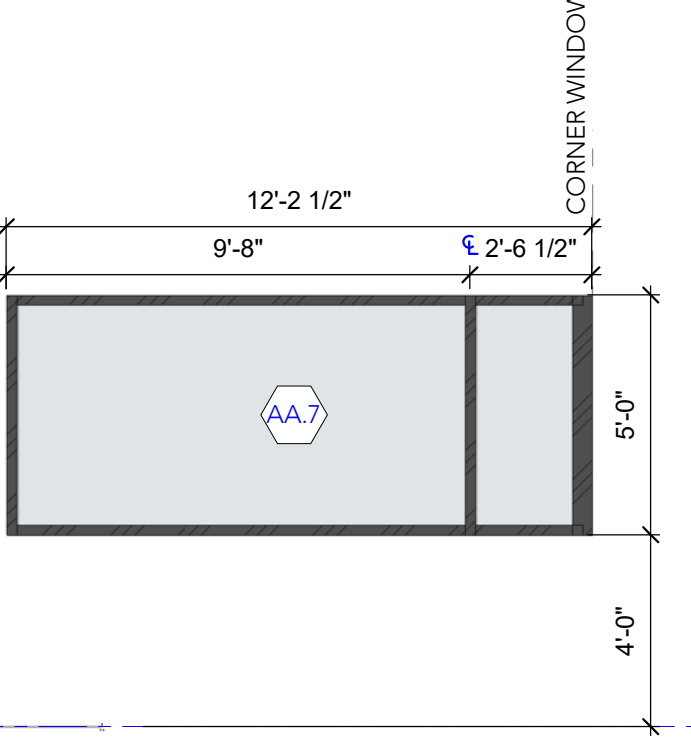
D.2 - MASTER BD



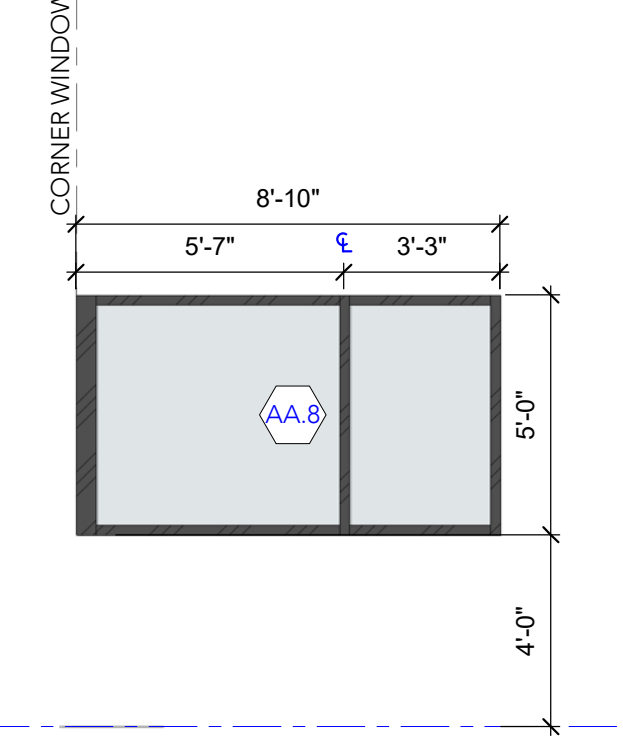
D.1 - MASTER BD



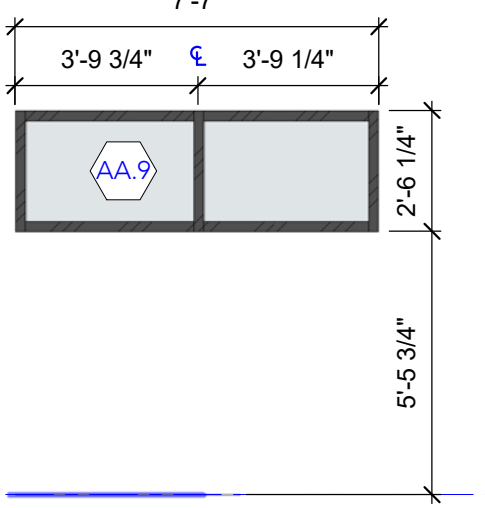
AA.10 - ADU BED



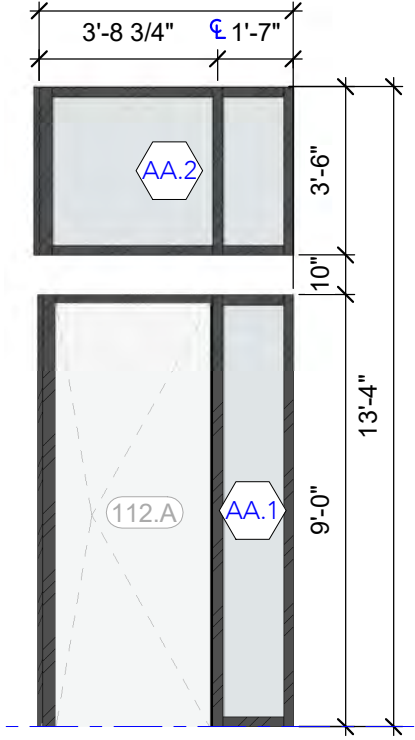
AA.7 - ADU KIT.



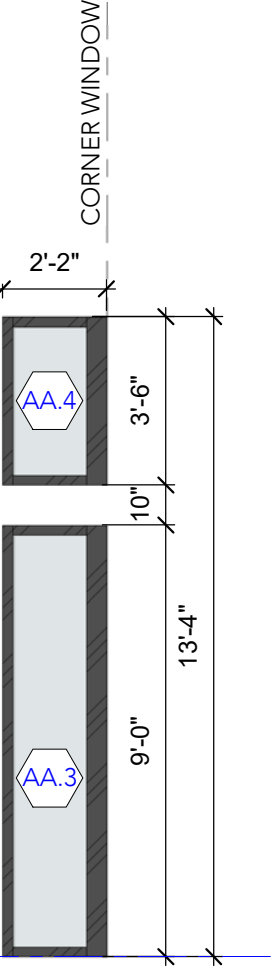
AA.8 - ADU KIT.



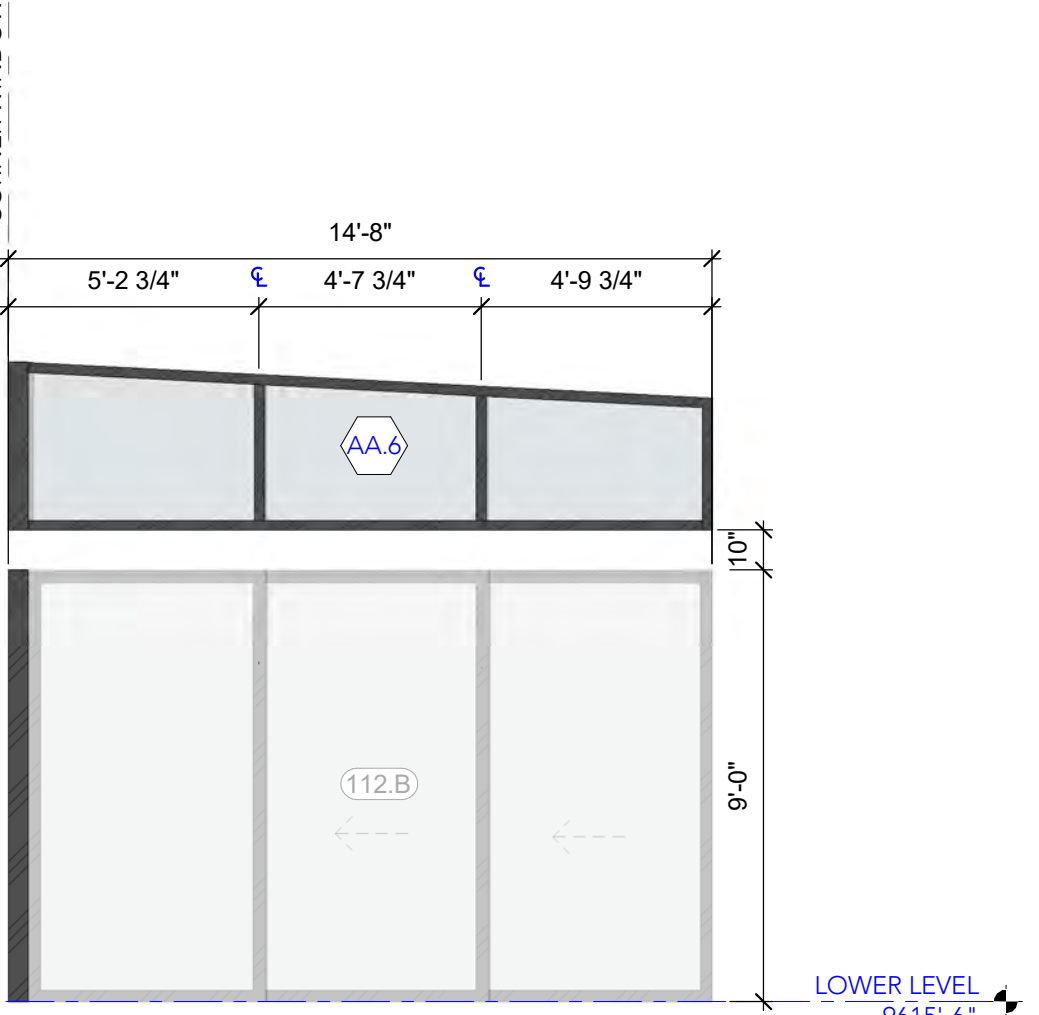
AA.9 - ADU BUNK



AA.1 & AA.2 - ADU ENTRY



AA.3 / AA.4 - ADU FAMILY



AA.5 / AA.6 - ADU FAM.

CCY ARCHITECTS

LOOKOUT RIDGE RESIDENCE
99 LOOKOUT RIDGE DR, MOUNTAIN VILLAGE, CO 81435

DATE: 05.18.2022
ISSUE: DRB SUBMITTAL
PROJECT NUMBER: 21115
DRAWN BY: -- CHECKED BY: --

HISTORY:

#	DATE	DESCRIPTION
1	1.14.2022	DRB
2	3.01.2022	SD
3	5.18.2022	DRB FINAL

REV.#	DATE	DESCRIPTION



WINDOW SCHEDULE

SCALE: 1/4" = 1'-0"

A-602

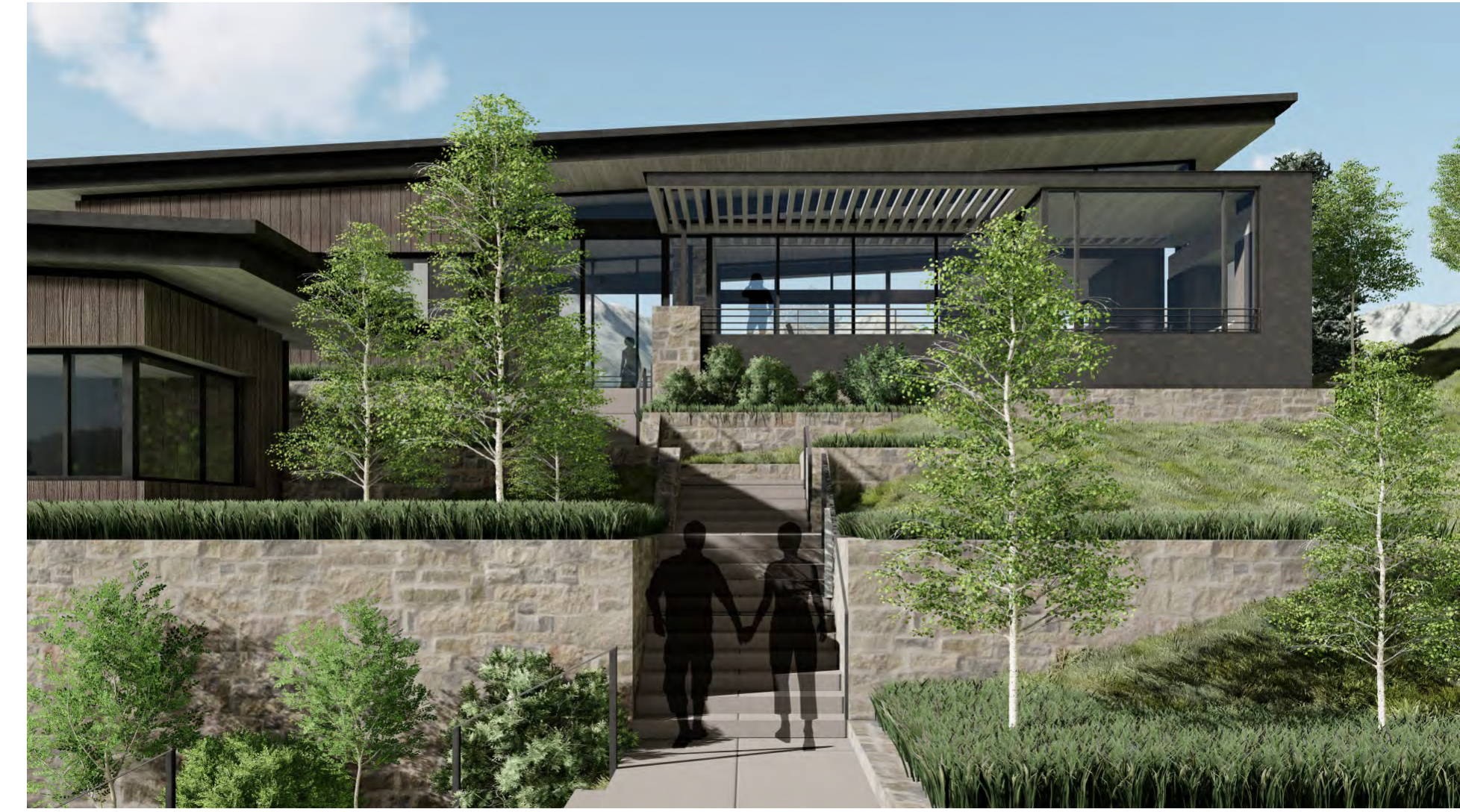


1) FROM THE ENTRY DRIVE AT THE JUNCTION OF MOUNTAIN VILLAGE BOULEVARD AND LOOKOUT RIDGE DRIVE. THE STRUCTURED BOULDER WALL IS MEANT TO BREAK DOWN VERTICAL SCALE OF NECESSARY RETAINAGE FOR A SAFE DRIVEWAY IN CONGRUENCE WITH THE LANGUAGE OF THE HILLSIDE.

GIVEN THE HOMES HIGHER ELEVATION FROM THE STREET AND THE RESULTING PRESENCE OF THE SOFFIT, WE HAVE TAKEN STEPS TO BOTH PULL THE ROOF BACK REDUCE THE AMOUNT OF VISIBLE SOFFIT, AS WELL AS CONSIDERABLY DARKEN THE STAIN OF THE WOOD SOFFIT, REDUCING ITS VISIBLE PRESENCE, AS SHOWN IN ALL OF THESE RENDERINGS. PLEASE ALSO REFERENCE THE PHYSICAL SAMPLE.



2) FROM THE SOUTHWEST CORNER OF THE AUTO COURT. AUTO COURT SIZED TO ACCOMMODATE TWO PARKED VEHICLES AND TURN AROUND SPACE FOR VEHICLES IN THE GARAGE.



3) FROM THE APPROACH OF THE EXTERIOR ENTRY SEQUENCE



4) FROM THE SOUTHWEST CORNER OF THE LOT ON LOOKOUT RIDGE DRIVE. THE PRESERVATION OF EXISTING TREES WILL PROVIDE MORE SCREENING IN THE FOREGROUND HERE, BUT ILLUSTRATION OF PLANTINGS HAVE BEEN MINIMIZED IN ORDER TO SHOW THE ARCHITECTURE. THIS ILLUSTRATES A MINOR ENCROACHMENT OF THE AUTO COURT IN THE SIDE SETBACK TO ALLOW FOR THE DIMENSION REQUIRED FOR THE DRIVE LENGTH NECESSARY TO REACH THE GARAGE ELEVATION AT SAFE SLOPES, FOR THE REQUIRED SURFACE PARKING OF TWO CARS, AND TO ALOT SPACE FOR CARS IN THE GARAGE TO BACK OUT AND TURN AROUND TO SAFELY DRIVE OUT. RE: CIVIL DRAWINGS AND A-100



5) FROM THE NORTHEAST CORNER OF THE LOT. THIS WAS PREVIOUSLY SHOWING A HARDSCAPE AND STRUCTURED STAIR ENCROACHMENT IN THE GENERAL EASEMENT. WE HAVE REMOVED ALL STRUCTURED SURFACES AND IN LIEU ARE SHOWING A VERY MINIMAL ENCROACHMENT JUST EAST OF THE HOT TUB TERRACE OF AN INFORMAL PATH SIMILAR TO WHAT WAS APPROVED ON THE WEST - GRAVEL / MOWED LAWN PATH WITH OCCASIONAL STEPPING STONES AS NEEDED. PLEASE SEE A-100 FOR ADDITIONAL ILLUSTRATION.



6) FROM THE NORTHWEST CORNER OF THE LOT.

DATE:
05.18.2022

ISSUE:
DRB SUBMITTAL

PROJECT NUMBER:
21115

DRAWN BY: -- CHECKED BY: --

HISTORY:

#	DATE	DESCRIPTION
1	1.14.2022	DRB
2	3.01.2022	SD
3	5.18.2022	DRB FINAL

REV.#	DATE	DESCRIPTION
1		

NOT FOR
CONSTRUCTION



PERSPECTIVE
VIEWS

SCALE:

A-900

To:	CCY ARCHITECTS	Phone:	970.927.4925
Attn:	SEAN O'BRYANT	CC:	KEVIN NEUMAN
RE:	LOOKOUT RIDGE	Date:	2022.05.18

SEAN,

Attached please find our DRB FINAL lighting plans and specifications.

Thank you,



Elise Streeb, LEED AP

Contractor to provide submittals prior to order for all fixtures included in this package. All items, including but not limited to:

- finish
- color temperature
- driver type
- beam spread
- mounting hardware
- lamp type
- accessories
- voltage
- dimming type / compatibility
- wattage
- length / size
- collar depth
- housing type

GENERAL NOTES

- All fixture wiring shall be of the heat resistant type, or as required by local code.
- Manufacturers and contractor shall be responsible for proper ventilation and temperature conditions of light fixtures.
- All fixtures with removable covers or cones shall be supplied with safety chains or wiring securely attached to main housings. There shall be a sufficient quantity of safety supports to hold total weight of fixture.
- The contractor shall verify with the architect and/or engineer that all lighting equipment meets all national and local codes as applicable, e.g. thermal protection and UL label.
- Budget pricing has been secured for all products specified and is used in the preparation of preliminary opinions of probable costs. A record of specific unit costs has been shared confidentially with the owner to assist in the analysis of bid submittals.
- Contractor shall submit to the lighting consultant, for written approval, manufacturer's catalogue specification sheets for all light fixtures prior to purchase of the same. Manufacturer must provide shop drawings for all custom fixtures. All accessories, parts, lamps, transformers etc. shall be provided in submittals. All mounting hardware not listed in the spec to be provided by contractor.
- Contractor shall submit for approval of the lighting consultant detailed drawings of all special design fixtures prior to fabrication of it.
- Contractor shall provide a complete list of all lamps that will be furnished on the project.
- Voluntary product substitutions from the contractor will not be considered without prior written approval to submit from the lighting designer. LS reserves the right to bill additional services for reviewing alternate fixture submittals.
- If contractor elects to submit substitutions, all products in a group, with similar function and appearance, such as recessed and adjustable downlights, fluorescent troffers, exit signs, lamps, or etc., must be supplied from the same manufacturer. If a family of fixtures is submitted from more than one manufacturer, contractor will be asked to resubmit package based on single manufacturer.
- If contractor elects to provide substitutions for LED lamps (with approval from lighting consultant), contractor shall provide documentation from lamp manufacturer, power supply (ballast/driver/transformer/etc.) manufacturer, and lighting control manufacturer that all lamp-power supply-lighting control combinations provided on the project have been tested for compatibility and approved by all manufacturers concerned. This documentation must be provided at time of package submittal, or package will be sent back for resubmittal.
- All component parts of architectural lighting installations (i.e., mounting components, grid accessories, track accessories) shall be provided by general contractor.
- Color and finish specification shall be by the architect / interior designer unless otherwise designated in this specification.
- Contractor shall verify ceiling construction for each fixture type and location and shall coordinate trim details.
- By approving and submitting shop drawings, product data, samples and similar submittals, the contractor represents that the contractor has verified materials, field measurements and field construction criteria, and has checked and coordinated the information contained within such submittals against the requirements of the work and contract documents.
- Unless otherwise specified, voltages of all luminaires shall be verified by the electrical engineer.
- Luminaires used any time during construction as work lights must be relamped by the contractor, with the project-specified lamp, just prior to turnover of area to owner. Contractor responsible for protection of luminaire components during construction. If luminaires are damaged due to any of the following, but not limited to, paint, debris, construction vibrations, it is the contractor's sole responsibility to replace damaged components.
- Contractor to ensure that transformer/driver/power supply locations comply with national and local electrical codes. Contractor to review locations of transformers with design team prior to installation to avoid conflict with interiors/architecture.
- Transformers should be loaded by no more than 90% of its rating.
- In IC conditions, all housing requirements to be coordinated by Contractor with reference to R-values and insulation conditions. Manufacturer information provided on cutsheets. If information is not provided, the Contractor is to review building conditions prior to purchasing fixtures. If specification / manufacturer spec does not meet local requirements, alternate specifications can be submitted for review.
- Dimming type (DIM TYPE) outlined for lighting control intent. Contract to refer to exact dimming specifications by manufacturer for wiring and driver details.

TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X01	ACULUX	HOUSING: INIT3 A-12LM-* 120-ICAT TRIM: NT3A* WHSF-*	Initia 3" adjustable downlight, 12w, CCT TBD, beam TBD, phase cut dimming, 120v, IC airtight housing Initia 3" adjustable downlight, trim style TBD, finish TBD, ceiling TBD	120V	12W	PHASE	

Finish, CCT, beam and trim style TBD.

ACULUX®

initia™ INIT3 | 3" APERTURE

Adjustable Accent | 400 – 1500 Lumens

TRIM STYLES



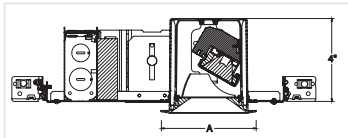
Angle Cut Reflector



Bevel



Pinhole



A Dimension:
Self Flanged: 4.625"
Flangeless: 3.875"

FEATURES

AFFORDABLE & ELEGANT PRECISION RECESSED

- Complete family of recessed downlight, adjustable, and wall wash luminaires
- Available with reflector, bevel and pinhole trims
- Coordinated apertures with Aculux AX3 family

TOOLLESS AIMING & FIELD INTERCHANGEABLE OPTICS

- 359° horizontal, 35° vertical aiming
- Total Internal Reflection (TIR) Optics in four (4) beam spreads
- Accepts two (2) additional lenses, filters, or other optical accessories

EXCELLENT PERFORMANCE

- Up to 1500 lumens delivered!
- Exceptionally consistent color with < 2SDCM
- Excellent color rendition with 80+ CRI | 90+ CRI Available
- WarmDim® option mimics halogen dimming (3000K - 1800K)



PERFORMANCE

Static White*

LUMEN PACKAGE	WATTS IN	DELIVERED LUMENS	EFFICACY (LPW)
04LM	5	487	97
08LM	8	845	106
12LM	12	1281	107
15LM	16	1588	99

WarmDim®

LUMEN PACKAGE	WATTS IN	DELIVERED LUMENS	EFFICACY (LPW)
08LM	12	820	68

*Performance with NT3AC at 3000K | 80CRI
Actual performance may differ as a result of end-user environment and application.
All values are design or typical values, measured under laboratory conditions at 25°C

FLANGE STYLES



Flanged



Flangeless (Gypsum)

TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X01	ACULUX	HOUSING: INIT3 A-12LM-* 120-ICAT TRIM: NT3A* WHSF-*	Initia 3" adjustable downlight, 12w, CCT TBD, beam TBD, phase cut dimming, 120V, IC airtight housing Initia 3" adjustable downlight, trim style TBD, finish TBD, ceiling TBD	120V	12W	PHASE	

Finish, CCT, beam and trim style TBD.






initia™ INIT3 | 3" APERTURE
Adjustable Accent | 400 – 1500 Lumens

ORDERING INFORMATION

EXAMPLE: INIT3 A 12LM 30K 90CRI 25D EZ1 MVOLT NT3ABV BD WHSF

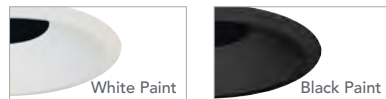
Housing Style	Lumens	CCT	CRI	Beam	Driver	Voltage ⁵	Ratings	Options
INIT3 A New Construction Adjustable	04LM ¹ 400 lumens	27K 2700K	80CRI	18D 18° beam	FPC Phase cut dim (1% min)	120	(blank) Non-IC Rated	NLIGHT ⁷ nLight Dimming
	08LM 800 lumens	30K 3000K	90CRI ³	25D 25° beam	EZ1 eidoLED 0-10V (linear 1% min)	277 MVOLT (120-277)	CP ⁶ Chicago Plenum	ESWPCR ⁸ Emergency SW battery pack with remote test switch, T20 compliant
12LM 1200 lumens	35K 3500K		35D 35° beam					
INIT3 AR Remodel Adjustable	15LM ² 1500 lumens	40K 4000K		50D 50° beam	ECOS2 ⁴ Lutron 2-wire (1% min)		ICAT ⁶ IC Rated, Air-tight	
	WarmDim ⁹ 08LM 800 Lumens	WDIM HALR 3000K - 1800K	90CRI	25D 25° beam 35D 35° beam 50D 50° beam	ECOD Lutron EcoSystem (1% min)			

Adjustable Trim	Reflector Finish	Flange Style	Trim Lens Environment	Ceiling Installation
Reflector NT3AC Angle Cut Reflector (0-35°) 	W White Paint CD Clear Diffuse CS Clear Specular BS Black Specular WTD Wheat Diffuse	Flanged SF Self Flanged (same finish as reflector) WHSF Self Flanged, White Painted Flange (not available with W finish) Flangeless⁹ FM Flangeless	(blank) Open Damp Location WSOL Solite Wet Location	Flanged (blank) Ceiling 0.5" - 1.5" Flangeless (Gypsum) NT3FMA Ceiling 0.5" - 1.5"
Bevel NT3ABV BD Bevel Adjustable (0-35°) 	Finish & Flange Style Flanged WHSF White, Flanged BLSF Black, Flanged Flangeless⁹ WHFM White, Flangeless BLFM Black, Flangeless		(blank) Open Damp Location WSOL Solite Wet Location	Flanged (blank) Ceiling 0.5" - 1.5" Flangeless (Gypsum) NT3FMA Ceiling 0.5" - 1.5"
Pinhole NT3APIN BD 1 3/4" Pinhole Adj (0-35°) 				

REFLECTOR FINISHES

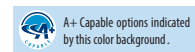


BEVEL & PINHOLE FINISHES



ORDERING NOTES

- 04LM available with FPC driver only.
- 15LM not available with AR or ICAT.
- 90CRI not available on 40K CCT.
- ECOS2 not available with WDIM.
- MVOLT standard on EZ1, ECOD unless NLIGHT specified. Must be 120 for ECOS2, FPC.
- CP & ICAT available on new construction only.
- NLIGHT available on Non-IC with EZ1 only. Must specify 120 or 277 volts.
- ESWPCR not available with remodel, ICAT, or CP.
- For flangeless trims, must specify flangeless installation (NT3FMA).



TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X01	ACULUX	HOUSING: INIT3 A-12LM-*90CRI-*FPC-120-ICAT TRIM: NT3A*-*WHSF-*	Initia 3" adjustable downlight, 12w, CCT TBD, beam TBD, phase cut dimming, 120v, IC airtight housing Initia 3" adjustable downlight, trim style TBD, finish TBD, ceiling TBD	120V	12W	PHASE	

Finish, CCT, beam and trim style TBD.



initia™ INIT3 | 3" APERTURE
Adjustable Accent | 400 – 1500 Lumens

ACCESSORIES

Beam Control Lenses & Filters		Replacement Optics		Optional Installation Accessories
Beam Control Lens		UV Filter & Color Correction		Static White Optics
DIFF 200	Diffuse Spread Lens	UVF 200	UV Filter Lens	NT3OPT/18D 18" beam
SOLITE 200	Solite Uniformity Lens	DCCC 200 HAL4250	Daylight Blue Correction	NT3OPT/25D 25" beam
PRISM 200	Prismatic Lens			NT3OPT/35D 35" beam
LSPREAD 200	Linear Spread Lens			NT3OPT/50D 50" beam
HCLBL 200	Hexcell Louver			WarmDim® Optics
				NT3WDOPT/25D 25" beam
				NT3WDOPT/35D 35" beam
				NT3WDOPT/50D 50" beam
				Bar Hangers
				HB26 26" C-Channel Bar Hangers
				HB50 50" C-Channel Bar Hangers
				LB27 27" Linear Bar Hangers
				<i>Note: Fixture supplied with residential style bar hangers (except when specified with battery)</i>

PRODUCT SPECIFICATIONS

FIELD INTERCHANGEABLE LED LIGHT ENGINE

- <2SDCM Binning
- 2700K | 3000K | 3500K | 4000K CCT
- 80+ CRI available for all CCTs
- 90+ CRI available for 2700K, 3000K, 3500K
- WarmDim® option mimics halogen dimming (3000K - 1800K)
- Future proof and easy to maintain - serviceable from below the ceiling

OPTICAL SYSTEM

- 45° visual cutoff to source and source image
- Field interchangeable TIR optics from 18° FWHM to 50° FWHM provide smooth, striation-free beams
- Accommodates 2 beam control lenses or filters

TOOL-FREE AIMING

- 359° horizontal, 35° vertical aiming
- Numeric indicator marks allow contractor to pre-aim fixtures

HIGH QUALITY TRIMS

- Available with die cast bevels, pinholes, and angle cut reflectors
- Flanged and flangeless for gypsum
- Must specify NT3FMA for gypsum flangeless installation

FIELD REPLACEABLE DRIVER

- Accommodates 120-277V input and multiple control protocols
- Dims without perceived flicker to <1% depending on driver specified
- Field replaceable from below the ceiling
- >0.9 Power Factor

BUY AMERICAN

- This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT.
- Please refer to www.acuitybrands.com/resources/buy-american for additional information.

WARRANTY & RATED LIFE

- LED is rated for >50,000 hours at 70% lumen maintenance
- 5- year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

EMERGENCY BATTERY

- Provides a minimum of 400 lumens (3000K, 80CRI) for minimum duration of 90 minutes.
- Above ceiling access required.
- Supplied with remote test switch
- CEC T20 Compliant

CEILING THICKNESS

- Accommodates ½" to 1 1/2" ceiling thickness

INSTALLATION

- New construction or remodel (install from below) are available.
- Residential style bar hanger provided with all new construction housings except when specified with emergency battery.
- Vertically adjustable mounting brackets (butterfly brackets) are provided on non-ICAT new construction housings.

JUNCTION BOX

- New construction housings are rated for (4) No. 12 AWG 90°C through branch circuit conductors (excludes ECOS2 & ECOD drivers)
- New Construction housings include (6) ½", (1) ¾", (4) Non-metallic sheathed cable knock-outs.
- Remodel housings feature (8) ½" knockouts suitable for daisy chain wiring.
- Push-in electrical connectors for field connections.

CODES & LABELS

- UL & cUL listed for through branch wiring (excludes ECOS2 & ECOD), damp location. Listed for wet location with WSOL option.
- ICAT meets energy code air leakage requirements per ASTM E283
- ENERGY STAR® certified with NT3AC and NT3ABV trims for static white and NT3AC trims (excluding BS finish) for warmdim.
- Title 24, Part 6: JA-8 Compliant with 90CRI and ICAT. Refer to CEC T24 website for compliant trims
- ICAT housings are rated for direct contact with insulation
- Low Density open-cell Spray Foam Insulation Compatible: 04LM|08LM|12LM (ICAT option) are compatible with foam insulation with an R-Value of 4.3 per inch or less (excludes ECOS2, ECOD, & WDIM)
- Medium Density closed-cell Spray Foam Insulation Compatible: 04LM|08LM (ICAT option) are compatible with foam insulation with an R-Value of 6.8 per inch or less (excludes ECOS2, ECOD, & WDIM)
- Union made

A+ CAPABLE LUMINAIRE

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is part of an A+ Certified solution for nLight® control networks when ordered with drivers marked by a shaded background on ordering information*

To learn more about A+, visit www.acuitybrands.com/aplus.

TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X01	ACULUX	HOUSING: INIT3 A-12LM-* -90CRI-* -FPC-120-ICAT TRIM: NT3A* -WHSF-*	Initia 3" adjustable downlight, 12w, CCT TBD, beam TBD, phase cut dimming, 120v, IC airtight housing Initia 3" adjustable downlight, trim style TBD, finish TBD, ceiling TBD	120V	12W	PHASE	

Finish, CCT, beam and trim style TBD.

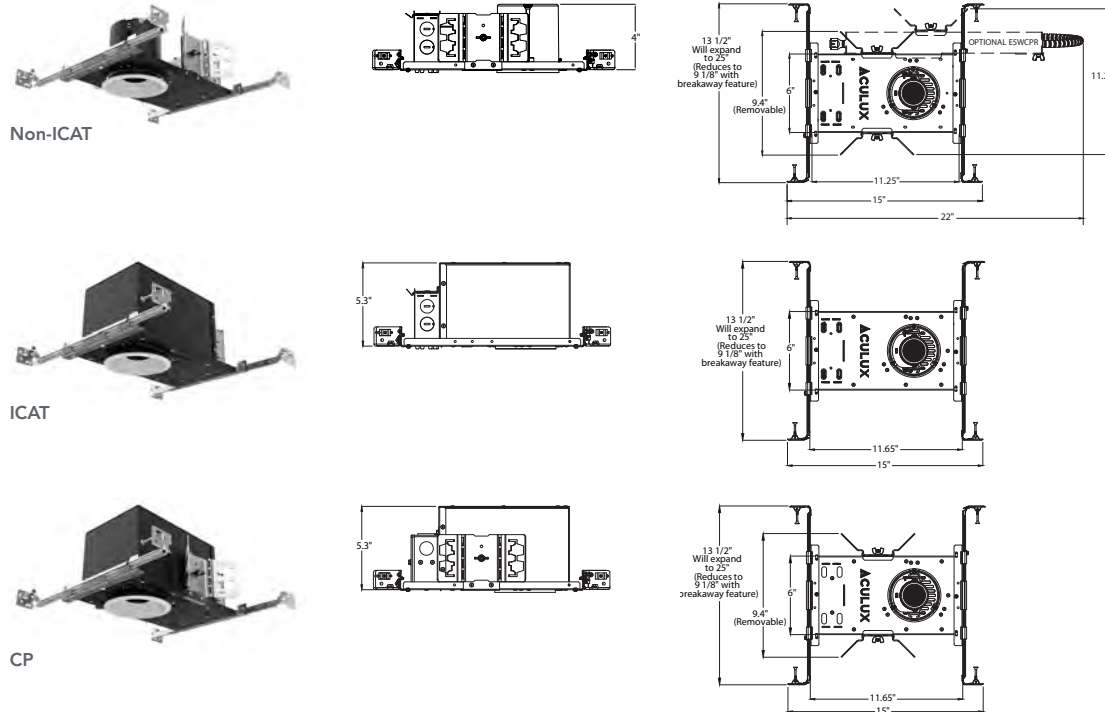


initia™ INIT3 | 3" APERTURE
Adjustable Accent | 400 – 1500 Lumens

DIMENSIONS

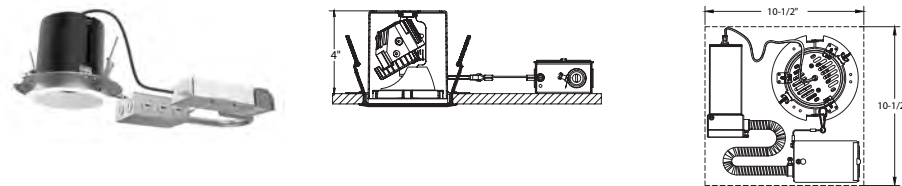
NEW CONSTRUCTION

Ceiling Cutout: 4" Dia. (Refer to installation instructions for flangeless ceiling cutout)
Ceiling Thickness Range: 1/2" – 1 1/2" (see ordering matrix)



REMODEL (install from below)

Ceiling Cutout: 4.25" Dia. (Refer to installation instructions for flangeless ceiling cutout)
Ceiling Thickness Range: 1/2" – 1 1/2" (see ordering matrix)



ELECTRICAL SPECIFICATIONS

LUMEN PACKAGE	Static White				WarmDim® ☀️					
	04LM		08LM		12LM		15LM		08LM	
Voltage	120	277	120	277	120	277	120	277	120	277
Input Watts	4.6	4.8	7.7	7.8	11.9	12.3	16.1	16.4	12.1	13.2
Input Current	0.04	0.02	0.06	0.03	0.1	0.05	0.13	0.06	0.10	0.06
Frequency	50/60HZ		50/60HZ		50/60HZ		50/60HZ		50/60HZ	
Power Factory	.9 MIN.		.9 MIN.		.9 MIN.		.9 MIN.		.9 MIN.	

TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X01	ACULUX	HOUSING: INIT3 A-12LM-* 120-ICAT TRIM: NT3A* WHSF-*	Initia 3" adjustable downlight, 12w, CCT TBD, beam TBD, phase cut dimming, 120v, IC airtight housing Initia 3" adjustable downlight, trim style TBD, finish TBD, ceiling TBD	120V	12W	PHASE	

Finish, CCT, beam and trim style TBD.



initia™ INIT3 | 3" APERTURE
Adjustable Accent | 400 – 1500 Lumens

DIMMER COMPATIBILITY

Phase Dimming (FPC Driver)

Incandescent, Magnetic Low Voltage and Electronic Low Voltage Dimming

- Dimming range of 100% down to as low as 1% a minimum load of one fixture
- Dimming range and maximum rated load vary depending on dimmer type and model. See maximum load calculations below to identify max number of luminaires per dimmer.

Incandescent (INC) and Magnetic Low Voltage (MLV)

Example: Fixture Rating = 13W
Dimmer Rating = 600W
Equivalent Incandescent Load (EIL) = 50%
(600/13W) X 0.5 = 23 Fixtures per Dimmer

Electronic Low Voltage (ELV)

Example: Fixture Rating = 13W
Dimmer Rating = 600W
Equivalent Incandescent Load (EIL) = 75%
(600/13W) X 0.75 = 34 Fixtures per Dimmer

INCANDESCENT, MLV, ELV WALL DIMMERS

Manf.	Product Family	Series	Type	Min Light(%)
Lutron	Glyder	GLV*	MLV	3
Leviton	SureSlide	6633*	INC	2
Lutron	Diva	DVLV	MLV	6
Lutron	Diva	DV*	INC	2
Lutron	Skylark	SLV*	MLV	4
Leviton	IllumaTech	IPL016-10Z*	INC	4
Leviton	SureSlide	6613*	MLV	3
Lutron	Diva	DVCL	INC	2
Insteon	Keypad Dimmer	2334-232*	INC	2
Insteon	Dimmer Switch	2477D*	INC	2
Control4	Forward Phase Dimmer	C4-FPD 120*	INC	2
Lutron	Nova	NTELV*	ELV	6
Lutron	Diva	DVELV	ELV	3
Lutron	Maestro	MAELV*	ELV	6
Leviton	Vizia	VPE06-1LX	ELV	3
Leviton	IllumaTech	IPE04*	ELV	6
Lutron	RadioRA2	RRD-6NA	PHA	2
Control4	Adaptive Phase Dimmer	C4-APD 120*	PHA	2

INTEGRATED CONTROL SYSTEMS

Manf.	Product Family	Series	Type	Min Light(%)
Lutron	LP	LP-RPM-4U*	INC	6
Lutron	LP	LP-RPM-4A	PHA	2
Lutron	GrafikEye QS	QSGRJ-3P*	PHA	2
Lutron	GrafikEye QS	PHPM-PA-120	PHA	2
Lutron	HomeWorks QS	PHPM-PA-120	PHA	2
Lutron	HomeWorks QS	HW-RPM-4A	PHA	2
Acuity	nLight nSP5PCD ELV	nSP5PCD*	ELV	2
Insteon	Micro Module Dimmer	2442-222*	INC	2
Control4	8 Ch Dimmer	C4-DIN-8DIM-E	PHA	2

0-10V Dimming (EZ1 Driver)

WALL DIMMERS

Manf.	Product Family	Series	Type	-EZ1 Min Light(%)
Lutron	Nova T	NTFTV* +	0-10V	1
Lutron	Nova T	NTSTV-DV*	0-10V	1
Lutron	Nova T	NFTV* +	0-10V	1
ACUITY	SensorSwitch	WSX D WH*	0-10V	1

*: recommended dimmers
+: require a separate relay module to turn fixture on/off

INTEGRATED CONTROL SYSTEMS

Manf.	Product Family	Series	Type	-EZ1 Min Light(%)
Lutron	Energi Tripak	RMJ-5T-DV-B*	0-10V	1
Wattstopper	DLM	LMRC-211*	0-10V	1
Crestron	GreenLight	DIN-4DIMFLV4*	0-10V	1
Leviton	IllumaTech	IP710-DLX	0-10V	1
Lutron	GrafikEyeQS	GRX-TVI*	0-10V	1
Lutron	GrafikEyeQS	GRX-TVI*	0-10V	1
Lutron	HomeworksQS	GRX-TVM2*	0-10V	1

TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X02	TARGETTI	ZES-HO-RP-FW-*L2- *-24+IUS3166	Zedge mini high output steplight, 4w, finish TBD, CCT TBD, 24V, power supply TBD	TBD	4W	TBD	

Finish, CCT, power supply TBD.

TARGETTI

ZEDGE MINI HO

Professional Small Scale High Efficiency LED Steplight

Concept: Recessed high efficiency LED steplight for indoor and outdoor applications. A high output steplight version of the classic Zedge Floor Wall wash fixture for applications with higher illumination requirements.

Housing: Small 2.5" x 2.5" Floor Washer faceplate.

Materials: Die-cast anodized aluminum body fitted with a spring fixing system. Powder coated die-cast anodized aluminum external frame. ^AConsult factory for use in marine grade environments.

Source: LED High Efficiency Board.

Optic: Polycarbonate clear lens.

Mounting: To be completed with installation back box. Fixture secured with stainless steel spring system for semi-flush installation only.

Installation: Pre-cabled with 3' Belden 18ga 2 conductor direct burial cable (no conduit required).

Finish: Textured Standard Finishes – Ferrite Grey / Heritage Brown / Bronze RAL 8019 / White / Black / Sandstone Grey

Power Supply: Remote Class 2, 120V-277VAC power supply required, see remote driver option pages.

Wattage: 4W

Color Temperature: 2700K / 3000K / 3500K / 4000K

CR: +Ra90

Delivered Lumens: *Values in White Textured Finish*

2700K	3000K	3500K	4000K
171Lm	181Lm	186Lm	187Lm

Lumen Maintenance (L80/B10): 56,000hrs tq +25°C

Calculation for LED fixtures are based on measurements that comply with IES LM-80.

Voltage: 24V DC

IK Rating: IK10

IP Rating: IP66

BUG: B0-U1-G0

Certifications: UL Listed Class 2 wet location E479873

Low voltage landscape lighting. Tested in accordance with LM-79-08

Energy efficient for California installations.

Warranty: 5 year limited warranty

Designed in collaboration with Gensler as Product Design Consultant

^AConsult factory for use in marine grade environments. Not to be in direct contact with salt for extended periods of time or used with corrosive agents.



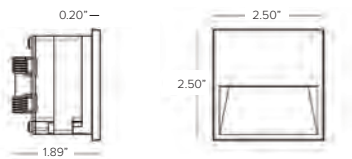
Shown in Sandstone Grey Finish



Suitable for indoor and outdoor applications

PRODUCT CODE	TYPE	DRIVER	FACEPLATE	FINISH	WATTAGE	COLOR TEMP	VOLTAGE	+	INSTALLATION & POWER SUPPLY
ZES – ZEDGE	HO – High Output	RP – Remote Power	FW – Floor Washer	FE – Ferrite Grey	L2 – 4W	27 – 2700K	24 – 24V DC		Required (See page)
				HB – Heritage Brown		30 – 3000K			
				BZ – Bronze RAL8019		35 – 3500K			
				WT – White Textured		40 – 4000K			
				BT – Black Textured					
				SG – Sandstone Grey					

Views



TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X02	TARGETTI	ZES-HO-RP-FW-*--L2- *-24+IUS3166	Zedge mini high output steplight, 4w, finish TBD, CCT TBD, 24V, power supply TBD	TBD	4W	TBD	

Finish, CCT, power supply TBD.

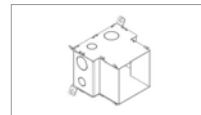
TARGETTI

ZEDGE MINI HO

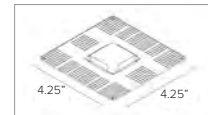
INSTALLATION (REQUIRED) - CHOOSE 1	
1US3166-B	PVC installation back box for semi-fush installations fitted for parallel connection with feed through-wiring, black finish. 1/2" knockout made for low voltage cable (no conduit required, class 2 wiring). Suitable for drywall or stucco applications. Dimensions: 2 3/4"D x 2 1/4"H x 3 1/4"W
1US3166	Stainless steel installation back box for semi-fush installations fitted for parallel connection with feed through-wiring. 3/8" and 1/2" grommet made for low voltage cable (no conduit required, class 2 wiring). Suitable for concrete pour outdoor/harsh environment applications. Dimensions: 2 3/4"D x 2 1/4"H x 3 1/4"W
1USMK01	Mud kit for drywall or stucco. For retrofit or Class 2 installations. Dimensions: 4.25" x 4.25"



1US3166-B

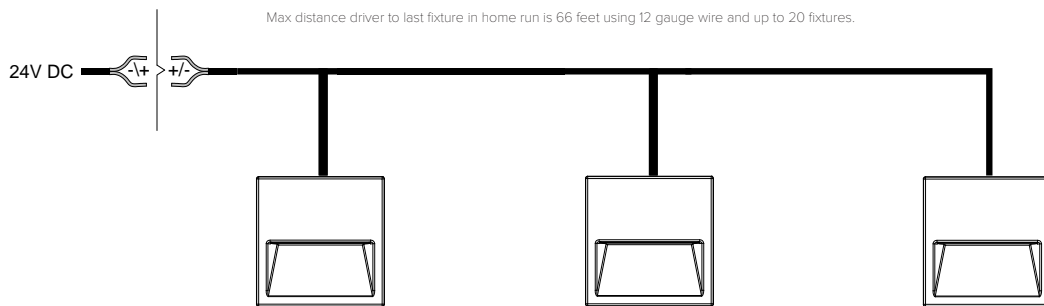


1US3166



1USMK01

Wiring Diagram



Maximum Cable Distances

No. Fixtures	Load	18 AWG	16 AWG	14 AWG	12 AWG
1-4 Fixtures	≤16W	72ft	115ft	180ft	290ft
5-8 Fixtures	≤32W	42ft	67ft	106ft	165ft
9-12 Fixtures	≤48W	28ft	44ft	70ft	112ft
13-16 Fixtures	≤54W	20ft	33ft	52ft	84ft
17-20 Fixtures	≤80W	16ft	26ft	41ft	66ft

*Voltage drop calculations are based on 3% max drop to last fixture in run for load and distances below

TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X02	TARGETTI	ZES-HO-RP-FW-*L2- *-24+IUS3166	Zedge mini high output steplight, 4w, finish TBD, CCT TBD, 24V, power supply TBD	TBD	4W	TBD	

Finish, CCT, power supply TBD.

TARGETTI

ZEDGE MINI HO

Power Supply (REQUIRED)	Type	Wattage	Input/Output Voltage	Dimmable	IP Rating	Output	Dimensions
DMLE301242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	30W	120-277V / 24V	MLV <5% / ELV <20% / 0-10V <10% / TRIAC <5%	NEMA3R ENCLOSURE	UL CLASS 2	4.47" X 6.79" X 1.38"
DMLE601242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	60W	120-277V / 24V	MLV <5% / ELV <20% / 0-10V <10% / TRIAC <5%	NEMA3R ENCLOSURE	UL CLASS 2	4.47" X 6.79" X 1.38"
DMLE961242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	96W	120-277V / 24V	MLV <5% / ELV <20% / 0-10V <10% / TRIAC <5%	NEMA3R ENCLOSURE	UL CLASS 2	5.16" X 7.73" X 1.54"
DMLE1922242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	2X96W	120-277V / 24V	MLV <5% / ELV <20% / 0-10V <10% / TRIAC <5%	NEMA3R ENCLOSURE	UL CLASS 2	5.04" X 10.94" X 1.81"
DMLE2882242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	3X96W	120-277V / 24V	MLV <5% / ELV <20% / 0-10V <10% / TRIAC <5%	NEMA3R ENCLOSURE	UL CLASS 2	5.04" X 10.94" X 1.81"
DEL60PWM	MEANWELL ELECTRONIC STANDALONE PWM DRIVER, UL LISTED ENCLOSURE PROVIDED BY OTHERS.	60W	120-277V / 24V	0-10V <10%	IP67	UR CLASS 2	5.9" X 2.09" X 1.38"
DEL90PWM	MEANWELL ELECTRONIC STANDALONE PWM DRIVER, UL LISTED ENCLOSURE PROVIDED BY OTHERS.	90W	120-277V / 24V	0-10V <10%	IP67	UR CLASS 2	6.73" X 2.48" X 1.48"
DELX601241CPWM	MEANWELL ELECTRONIC PWM DRIVER.	60W	120-277V / 24V	0-10V <10%	IP67 DRIVER IN NEMA3R ENCLOSURE	UL CLASS 2	10" x 10" x 4" ¹
DELX901241CPWM	MEANWELL ELECTRONIC PWM DRIVER.	90W	120-277V / 24V	0-10V <10%	IP67 DRIVER IN NEMA3R ENCLOSURE	UL CLASS 2	10" x 10" x 4" ¹
DELX1802242CPWM	MEANWELL ELECTRONIC PWM DRIVER.	2X90W	120-277V / 24V	0-10V <10%	IP67 DRIVER IN NEMA3R ENCLOSURE	UL CLASS 2	12" x 12" x 4" ¹
DELX2703243CPWM	MEANWELL ELECTRONIC PWM DRIVER.	3X90W	120-277V / 24V	0-10V <10%	IP67 DRIVER IN NEMA3R ENCLOSURE	UL CLASS 2	12" x 12" x 4" ¹
PS060	LUTRON HI-LUME PREMIER 0.1% CONSTANT VOLTAGE DRIVER WITH UL LISTED ENCLOSURE	96W	UNIVERSAL 120-277 VAC	HI-LUME ECOSYSTEM 0.1%	IP20/NOM CERTIFIED	UL CLASS 2	10.5" x 5.5" x 2" ¹

¹ Dimensions include enclosure with mounting bracket.

* Constant voltage drivers 50/60HZ, voltage regulated with short circuit protection. Operating temperature -40 C- 80° C

* Installation of power supply must be compliant to Class 2 installation standards. Refer to NEC and local building code requirements.

* Consult factory for additional driver options (ie: DMX, DALI, wattage, size, shape, Lutron, ELDO, or others).

Max Fixtures Per Driver

Fixture Wattage	Driver Wattage								
	30W	40W	60W	96W	90W	2X90W	3X90W	192W	288W
4W	6	8	12	20	18	2X18	2X18	2X20	3X20

TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X02	TARGETTI	ZES-HO-RP-FW-*-L2- *-24+IUS3166	Zedge mini high output steplight, 4w, finish TBD, CCT TBD, 24V, power supply TBD	TBD	4W	TBD	

Finish, CCT, power supply TBD.

TARGETTI

ZEDGE MINI HO

Photometry

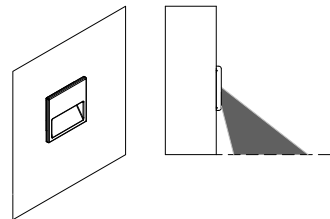
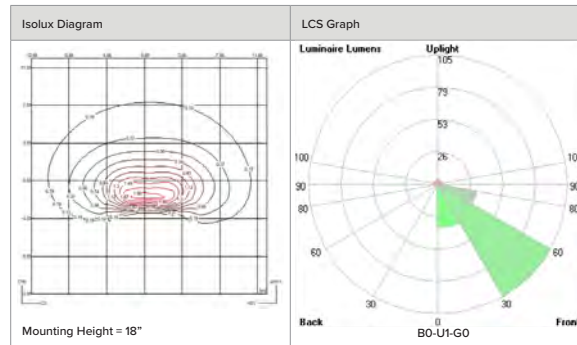
FLOOR WASHER

2700K		H(m)	D1(m)	D2(m)	E _{max} (lx)		
Ra90		27°	63°				
Fixture Power	4W	1	0.64	1.33	182		
Source Flux	523lm	2	1.27	2.67	46		
Fixture Flux	171lm	3	1.91	4.00	20		
Efficacy	44lm/W	4	2.55	5.33	11		
TS1456	I _{max} =427cd/klm	I _{max}	223cd	5	3.19	6.66	7

3000K		H(m)	D1(m)	D2(m)	E _{max} (lx)		
Ra90		27°	63°				
Fixture Power	4W	1	0.64	1.33	193		
Source Flux	555lm	2	1.27	2.67	48		
Fixture Flux	181lm	3	1.91	4.00	21		
Efficacy	46lm/W	4	2.55	5.33	12		
TS1456	I _{max} =427cd/klm	I _{max}	237cd	5	3.19	6.66	8

3500K		H(m)	D1(m)	D2(m)	E _{max} (lx)		
Ra90		27°	63°				
Fixture Power	4W	1	0.64	1.33	199		
Source Flux	570lm	2	1.27	2.67	50		
Fixture Flux	186lm	3	1.91	4.00	22		
Efficacy	48lm/W	4	2.55	5.33	12		
TS1456	I _{max} =427cd/klm	I _{max}	243cd	5	3.19	6.66	8

4000K		H(m)	D1(m)	D2(m)	E _{max} (lx)		
Ra90		27°	63°				
Fixture Power	4W	1	0.64	1.33	200		
Source Flux	573lm	2	1.27	2.67	50		
Fixture Flux	187lm	3	1.91	4.00	22		
Efficacy	48lm/W	4	2.55	5.33	12		
TS1456	I _{max} =427cd/klm	I _{max}	245cd	5	3.19	6.66	8



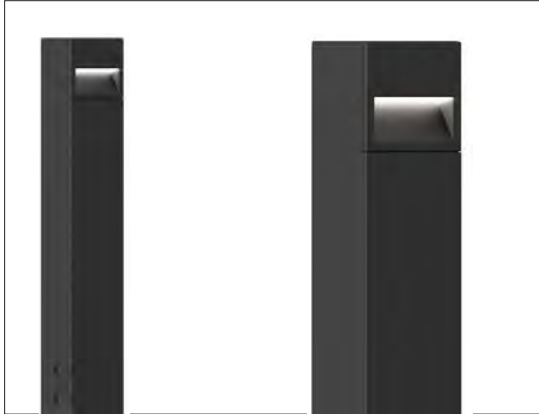
TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X03	TARGETTI	ZES-HO-B-10-FW-L1*	Zedge mini high output bollard, 6w, finish TBD, CCT TBD, mounting TBD	0-10V	6W	0-10V	

Finish, CCT, mounting TBD.

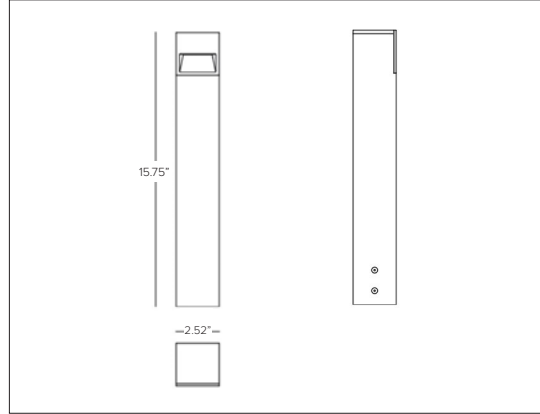
TARGETTI

ZEDGE MINI HO BOLLARD

Small Scale Professional LED Bollard



ZEDGE MINI HO BOLLARD in Ferrite Dark Grey finish.



CONCEPT

Miniature LED bollard with asymmetric emission for outdoor applications.

MECHANICAL CHARACTERISTICS

Housing	15.75" H x 2.52" W x 2.52" D
Materials	Die-cast powder coated aluminum fixture independently sealed LED housing and heat sink with anodized powder coated extruded aluminum post. Aesthetically coordinated with no visible hardware between fixture and post. Clean fit seams between fixture and bollard body.
Finish	Textured Standard Finishes ● Ferrite Dark Grey ● Heritage Brown ● Bronze ● Black ● White ● Sandstone Grey
Power Connection	Pre-cabled with 4' SJ00W 18-5 toolless IP68 quick disconnect cable.
Mounting	316L grade stainless steel base, anchor bolts supplied by others. Bollard body mounts to Concrete Pour or Surface Mount Plate, sold separately.
Weight	3lbs
Protection	IP66
Impact	IK10

CERTIFICATIONS

cULus Wet Location Listed.
 Tested in accordance with LM-79-08.
 Compliant for California installations.
 IEC 62471

WARRANTY

5 year limited warranty
 *Consult factory for use in marine grade environments. Not to be in direct contact with salt or corrosive agents for extended periods of time.

ELECTRICAL CHARACTERISTICS

Power Supply	Integral 0-10V driver.
Wattage	6W
Voltage	Universal Voltage 120-277V AC 50/60Hz

SOURCE

High Efficiency LED Board.

TM30	CCT (Nominal)	CRI	Rf	Rg	SDCM
	2700K	90	90.9	100.1	3
	3000K	90	90.3	100.4	3
	3500K	90	83.6	96.5	3
	4000K	90	89.8	98.7	3

OPTIC

A high reflectance anodized aluminum reflector with polycarbonate clear lens.

Beam	FW 27°x63°	
Delivered Lumens	2700K	171Lm
	3000K	181Lm
	3500K	186Lm
	4000K	187Lm
Efficacy	48Lm/W max. Refer to photometric graphs for specific values.	
BUG	B0-U1-G0	
Lifetime	L80/B10 >72,000hrs at max TA +25°C	
Photobiological Classification	Low risk photobiological safety RG1	

TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X03	TARGETTI	ZES-HO-B-10-FW-* L1-*	Zedge mini high output bollard, 6w, finish TBD, CCT TBD, mounting TBD	0-10V	6W	0-10V	

Finish, CCT, mounting TBD.

TARGETTI

ZEDGE MINI HO BOLLARD

SPECIFICATION INFORMATION

ZES								
1	2	3	4	5	6	7	8	9
Ex: ZESHOB10FWFEL127 / IE3741								REQUIRED

1 - PRODUCT CODE	2 - TYPE	3 - TYPE	4 - DRIVER	5 - FACEPLATE	6 - FINISH	7 - WATTAGE	8 - KELVIN
ZES -- ZEDGE MINI	HO -- High Output	B -- Bollard	10 -- 0-10V Dimming	FW -- Floor Washer	FE -- Ferrite Dark Grey HB -- Heritage Brown BZ -- Bronze WT -- White Textured BT -- Black Textured SG -- Sandstone Grey RAL -- Custom RAL	L1 -- 6W	27 -- 2700K 30 -- 3000K 35 -- 3500K 40 -- 4000K

9 - MOUNTING

[Concrete Pour Installation](#)
See section for details

[Plate for Surface Installation](#)
See section for details

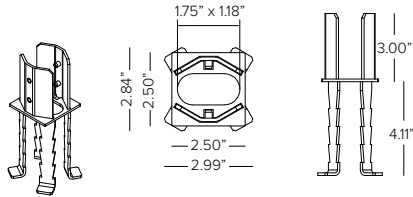
TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X03	TARGETTI	ZES-HO-B-10-FW-* L1-*	Zedge mini high output bollard, 6w, finish TBD, CCT TBD, mounting TBD	0-10V	6W	0-10V	

Finish, CCT, mounting TBD.

TARGETTI

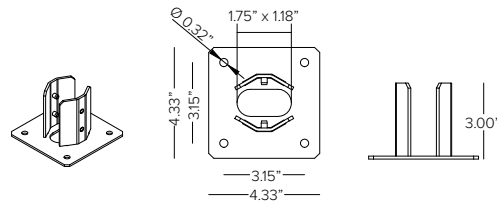
ZEDGE MINI HO BOLLARD

2 – MOUNTING (REQUIRED)



Mounting base for concrete pour installation. AISI 316 stainless steel plate with fixing rods.

Part No. **1E3740**



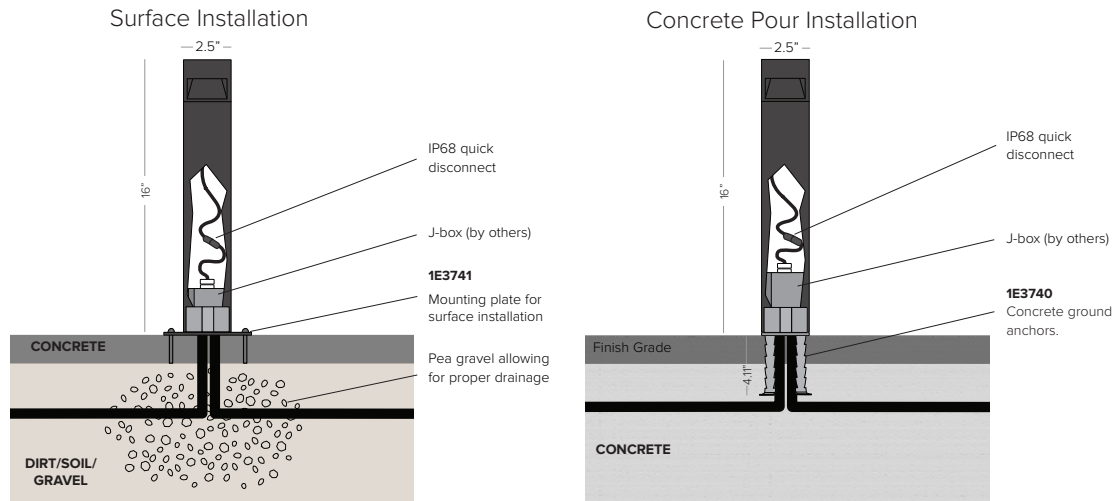
Base plate for surface installation. AISI 316 stainless steel compatible with dowels to be inserted into 4 holes, Ø 0.32" Dia.

Part No. **1E3741 (*)**

- Ferrite Dark Grey (Default)
- Heritage Brown (HB)*
- Bronze (BZ)*
- White (WT)*
- Black (BT)*
- Sandstone Grey (SG)*

*Add suffix to end of number to identify finish (EX. 1E3741HB)

INSTALLATION DIAGRAM



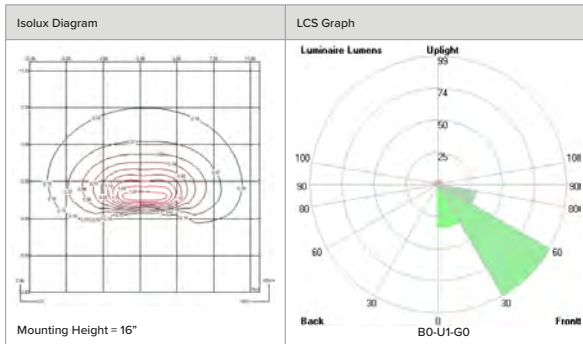
TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X03	TARGETTI	ZES-HO-B-10-FW-L1-*	Zedge mini high output bollard, 6w, finish TBD, CCT TBD, mounting TBD	0-10V	6W	0-10V	

Finish, CCT, mounting TBD.

TARGETTI

ZEDGE MINI HO BOLLARD

PHOTOMETRY



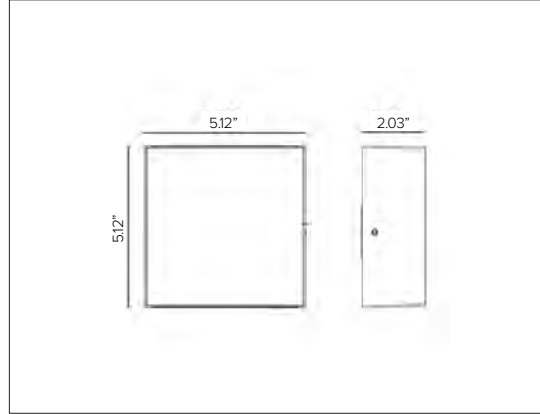
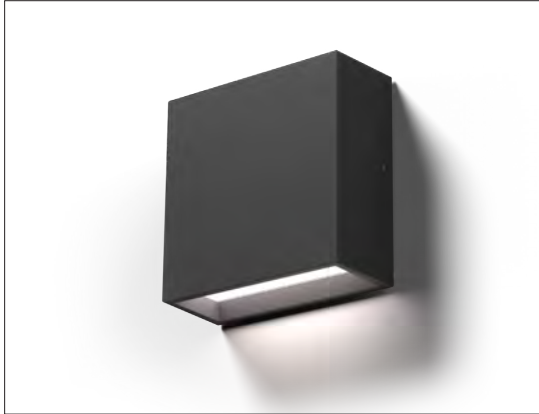
TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X04	TARGETTI	MRS-W-41-*-MD-L1-*	Mr. Smith wall mount. 4/1 smart dimming, finish TBD, monoemission direct, 7W, CCT TBD.	PHASE	7W	PHASE	

Finish, CCT TBD.

TARGETTI

MR. SMITH

Wall Mount Luminaire



CONCEPT

Surface wall mounted LED luminaire.

MECHANICAL CHARACTERISTICS

Housing	5.12"H x 5.12"W x 2.03"D
Materials	Powder coated anodized die-cast aluminum body and optical unit with injection molded opal polycarbonate lens.
Finish	Textured finish. <ul style="list-style-type: none"> ● Ferrite Dark Grey ● Heritage Brown ● Bronze ● Black ● White ● Sandstone Grey
Power Connection	Fixture provided with 7'L line voltage dimming wire.
Functionality	Direct emission features regressed lens for maximum visual comfort. Indirect emission features flush lens with a tapered design for maximum water flow-off.
Mounting	Surface mounted. Fixture is supplied with a universal adapter plate to mount over standard 4"x4" junction box.
BUG	MD: B1-U0-G0 Dark Sky Compliant MU: B0-U4-G0 BI: B1-U4-G0
Weight	1.43lbs
Protection	IP65
Impact	IK08

CERTIFICATIONS

cULus Wet Location Listed.
Tested in accordance with LM-79-08.
Compliant for California installations.
IEC 62471
RoHS3 EU 215/863

WARRANTY

5 year limited warranty

ELECTRICAL CHARACTERISTICS

Power Supply	Integral 4/1 smart driver (Non-Dimmable / 0-10V / Reverse Phase / Forward Phase).
Wattage	Monoemission 7W / Biemission 13W
Voltage	120-277V AC 50/60Hz

SOURCE

High efficiency LED Chip on Board.

TM30	CCT (Nomial)	CRI	Rf	Rg	SDCM
	2700K	84	82	96	2
	3000K	84	83	96	2
	3500K	80	83	95	2
	4000K	84	82	95	2

Ra90 available upon request

OPTIC

MicroPet high reflectance white spotlight.

Beam	Mono Direct	Mono Indirect	Biemission
Delivered Lumens			
	2700K 500Lm	636Lm	1,136Lm
	3000K 522Lm	664Lm	1,186Lm
	4000K 535Lm	681Lm	1,217Lm

For 3500K lumen values use multiplier of 1.02 from 3000K.

Efficacy	97lm/W max. Refer to photometric graphs for specific values.
Lifetime	L92/B10 30,000hrs at max TA +25°C L90/B10 50,000hrs at max TA +25°C
Photobiological Classification	Low risk photobiological safety RG1

TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X04	TARGETTI	MRS-W-41-*-MD-L1-*	Mr. Smith wall mount. 4/1 smart dimming, finish TBD, monoemission direct, 7W, CCT TBD.	PHASE	7W	PHASE	

Finish, CCT TBD.

TARGETTI

MR. SMITH

SPECIFICATION INFORMATION



1 - PRODUCT CODE	2 - TYPE	3 - DRIVER	4 - FINISH	5 - EMISSION	6 - WATTAGE	7 - KELVIN
MRS — MR SMITH	W — Wall Mounted	41 — 4/1 Smart Dimming (Non-Dimming / 0-10V / Reverse Phase / Forward Phase)	FE — Ferrite Dark Grey HB — Heritage Brown BZ — Bronze WT — White BT — Black SG — Sandstone Grey RAL — Custom RAL	MD — Monoemission Direct MU — Monoemission Indirect BI [®] — Biemission	L1 — 7W L2 [®] — 13W	27 — 2700K 30 — 3000K 35 — 3500K 40 — 4000K

8 - OPTIONAL

MG^A — Marine Grade

^A Marine Grade is recommended for use in environments with occasional exposure to salt air, reclaimed water, fertilizers, chemical cleaners, or frequent pressure washing (steam) cleaning. Fixture housing complete with marine grade cathaphoresis suitable for use in marine grade environments. Not to be in direct contact with salt or corrosive agents for extended periods of time.

[®] Biemission only available in 13W

TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X04	TARGETTI	MRS-W-41-*-MD-L1-*	Mr. Smith wall mount. 4/1 smart dimming, finish TBD, monoemission direct, 7W, CCT TBD.	PHASE	7W	PHASE	

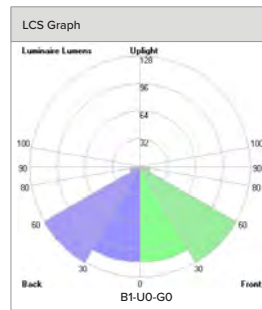
Finish, CCT TBD.

TARGETTI

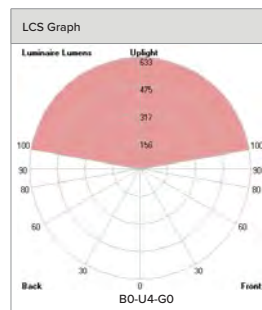
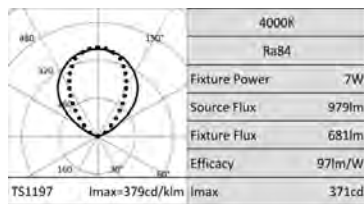
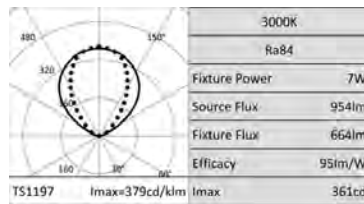
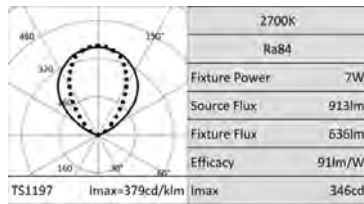
MR. SMITH

PHOTOMETRY

MONOEMISSION DIRECT



MONOEMISSION INDIRECT



TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X05	BEACHSIDE	E16-11W-*-BGS-CM-M1-*	E16 monopoint, 11w, CCT TBD, beam spread TBD, glare shield, single hole canopy, finish TBD.	MLV	11W	MLV	

CCT, beam spread, finish TBD.
Remote transformer required.

E16

The E16 is an unobtrusive, low-voltage, directional fixture. Its compact design brings attention to the lamp's effect, not to the fixture itself. The E16 uses 7, 8, and 11-Watt integrated light engines with spot, narrow flood, and flood optic choices.

Construction All brass components. 0.140" [3.6mm] thick brass housing

Lens Tempered glass, stepped to prevent pooling of water on lens

Voltage 12 Volts AC / DC with integral driver (9-15V input, dimmable below 9V). Remote transformer required.

Lamps LED light engine • Triac dimmable: MLV >1% typ., ELV >5% typ.

7 Watts Cree XPE2 AMBER (1500K) 590-600nm	— 7W-A-SP	12° Beam, 27° Field	2500 cd	182 lm	30 lm/W
	— 7W-A-NFL	29° Beam, 49° Field	588 cd	167 lm	22 lm/W
	— 7W-A-FL	49° Beam, 76° Field	221 cd	159 lm	21 lm/W
8 Watts Cree XPE2 RED-ORANGE (1000K) 625-635nm	— 8W-RO-SP	9° Beam, 20° Field	8433 cd	372 lm	55 lm/W
	— 8W-RO-NFL	30° Beam, 45° Field	1198 cd	354 lm	52 lm/W
	— 8W-RO-FL	55° Beam, 82° Field	353 cd	305 lm	45 lm/W
11 Watts Cree XPG2 Warm White 2700K 3000K	— 11W-827-SP	— 11W-827-NFL	— 11W-827-FL		
	— 11W-830-SP	12° Beam, 29° Field	9754 cd	799 lm	75 lm/W
	— 11W-830-NFL	29° Beam, 50° Field	2659 cd	777 lm	73 lm/W
— 11W-830-FL	48° Beam, 79° Field	942 cd	671 lm	64 lm/W	
11 Watts Cree XPG3 Warm White High CRI 2700K 3000K	— 11W-927-SP	— 11W-927-NFL	— 11W-927-FL		
	— 11W-930-SP	12° Beam, 29° Field	6973 cd	756 lm	79 lm/W
	— 11W-930-NFL	29° Beam, 50° Field	2299 cd	728 lm	75 lm/W
— 11W-930-FL	48° Beam, 79° Field	936 cd	635 lm	66 lm/W	

CRI 81

CRI 92

11W light engines feature adjustable output via a switch under the optic.



- Open / Clear symbol Max output
- ◐ 3/4 Open symbol 75% output
- ◑ 1/2 Open symbol 50% output
- ◒ 1/4 Open symbol 25% output

- Optical Accessories**
- **BGS** Brass glare shield, 45° cutoff
 - **BGSF** Brass glare shield, full cutoff with weep hole
 - **CTO-1/4-2.04** Color Temperature Orange filter 1/4
 - **CTO-1/2-2.04** Color Temperature Orange filter 1/2
 - **CTO-3/4-2.04** Color Temperature Orange filter 3/4
 - **FR** Frosted lens, 1/8" [3mm] thick
 - **HL1** Honeycomb louver, 1/8" [3mm] thick
 - **HL2** Honeycomb louver, 1/4" [6mm] thick
 - **KP** Extended snoot (no weep hole) for DOWNLIGHTING only
 - **PR** Prismatic spread lens, 1/8" [3mm] thick
 - **RT** Rectilinear spread lens, 1/8" [3mm] thick
 - **SL** Solite (Soft Focus) lens, 1/8" [3mm] thick
- Maximum (2) 1/8" thick accessories or (1) HL2 + (1) CTO Filter

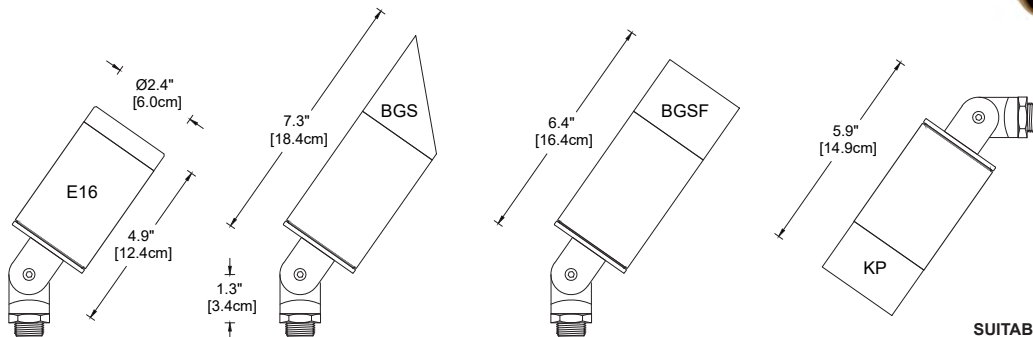
E16



E16 with BGS Accessory



E16 with KP Accessory



SUITABLE FOR INDOOR AND OUTDOOR USE

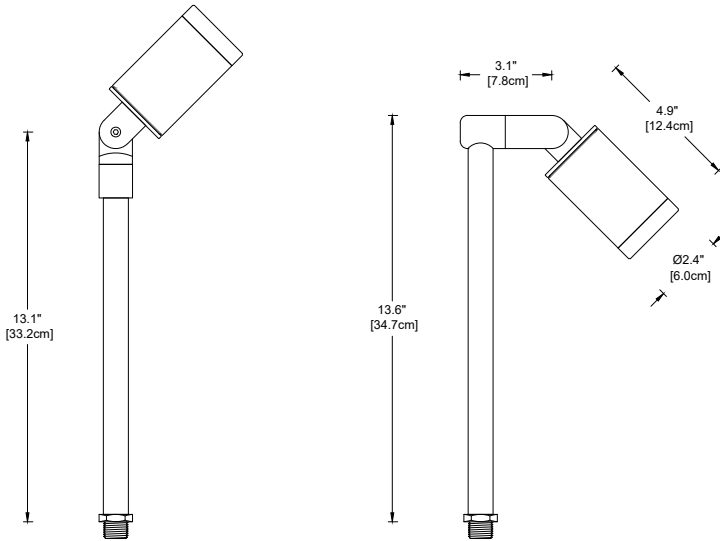
TYPE	MFR.	MODEL	DESCRIPTION	VOLT.	WATT.	DIM TYPE	NOTES
X05	BEACHSIDE	E16-11W-*-BGS-CM-M1-*	E16 monopoint, 11w, CCT TBD, beam spread TBD, glare shield, single hole canopy, finish TBD.	MLV	11W	MLV	

CCT, beam spread, finish TBD.
Remote transformer required.

E16

Mounting Accessories

- 1/2" male threads mount into any standard j-box or:
- ___ **CM-M1** 4.75" (12.1cm) diameter solid brass canopy, single-hole
 - ___ **CM-M2** 4.75" (12.1cm) diameter solid brass canopy, double-hole
 - ___ **GS2** Heavy-duty ground spike
 - ___ **GS2BC** Heavy-duty ground spike with cast brass cap
 - ___ **GS3R** Heavy-duty ground spike with brass cap for telescoping fixture riser
 - ___ **GS4** Standard ground spike with cast brass cap
 - ___ **JB** Cast brass junction box
 - ___ **SA** Sure Aim locking rotation accessory (not available with **STEM-S**)
 - ___ **SQ1** 4.75" (12.1cm) square brass canopy
 - ___ **SQ1-3.5** 3.5" (8.9cm) small square brass canopy. Mounts over 3.0"-3.5" octagonal / round junction box only.
 - ___ **SQ2** 4.75" (12.1cm) square brass canopy, double-hole
 - ___ **STEM-C-__** Brass riser for applications where fixture is directed UPWARD (4"/10cm, 8"/20cm, 12"/30cm, 16"/40cm, 20"/51cm or custom height—specify in inches)
 - ___ **STEM-S-__** Brass riser for applications where fixture is directed DOWNWARD, such as lighting for steps (8"/20cm, 12"/30cm, 16"/40cm, 20"/51cm or custom height—specify in inches).
 - ___ **TDM1** Brass tree/deck mount with stainless steel screws
 - ___ **TDM2-__** Brass tree mount with nylon strap (48, 72, or 96")
 - ___ **TDM2SS-__** Brass tree mount with stainless steel strap (48, 72, or 96")
 - ___ **TDM3** Brass low-profile deck/wall mount (*SA accessory recommended*)
 - ___ **TDM4** Brass low-profile tree mount with notch for wire (*SA accessory recommended*)
 - ___ **TMJB-__** Brass tree-mounted junction box, single fixture mount, stainless steel strap (48, 72, or 96")
 - ___ **TMJB2-__** Brass tree-mounted junction box, double fixture mount, stainless steel strap (48, 72, or 96")
 - ___ **TMJBX** Brass tree-mounted junction box, single fixture mount, stainless steel screws
 - ___ **TMJB2X** Brass tree-mounted junction box, double fixture mount, stainless steel screws



Fixtures shown on 12-inch stems

Finish: Unfinished is standard; no specification required. The fixture will weather to a natural patina. The patina process is natural with brass and copper. Rate of patina and eventual color is dependent upon climate and proximity to the ocean. Thus, Beachside does not guarantee any specific appearance.

Weight: 2.3 lbs. [1.0 kg]
(excludes Mounting Accessories)

IP 66
CSA Listed, file #190030
10 year fixture warranty
5 year LED module warranty

Project _____		By _____		Date _____	
For ordering purposes, please specify (example: E16-11W-930-SP-BGS-CTO-1/2-2.04-HL1-GS2-STEM-C-12)					
E16-	___	___	___	___	___
Fixture	Lamp	Accessory	Accessory	Accessory	Accessory



TELLURIDE FIRE PROTECTION DISTRICT

Scott Heidergott, Fire Marshal

Date: 02/28/2022

Address: Lot 89-3A, 99 Lookout Ridge
Mountain Village, CO 81435

TFPD approves the proposal with the following conditions:

- 1) The structure is over 3,600 sq ft and shall require a monitored sprinkler system.
- 2) The width of the driveway shall meet the code of 16-feet total width. 12-feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.
- 3) The address monument shall be a minimum of 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated, or outlined with a reflective coating.
- 4) TFPD recommends the installation of a Knox Box for emergency entry into the structure.



DEVELOPMENT REFERRAL FORM

Planning & Development Services
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

Referral Agency Comments

Lot 893-A, 99 Lookout

Ridge:

Public Works has no issues with this application. Field verify all utilities.

Just a comment there seems to be a fair amount of GE encroachments with this application.

Finn



AGENDA ITEM 9
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board
FROM: John Miller, Principal Planner
FOR: Design Review Board Public Hearing; June 2, 2022
DATE: May 20, 2022
RE: Staff Memo – Initial Architecture and Site Review; Lot 220B, 113 Palmyra Drive

APPLICATION OVERVIEW: New Single-Family Home, Lot 220B

PROJECT GEOGRAPHY

Legal Description: LOT 220B TELLURIDE MOUNTAIN VILLAGE FILING 6 PHASE 2 ACC TO PLAT REC MAR 24, 1987, AT BK 1 PG 708

Address: 113 Palmyra
Applicant/Agent: Alpine Planning, LLC
Owner: Gondola Holdings, LLC
Zoning: Single-Family
Existing Use: Vacant Lot
Proposed Use: Single-Family
Lot Size: .682 acres
Adjacent Land Uses:

- **North:** Single-Family
- **South:** Single-Family
- **East:** Open Space
- **West:** Single-Family

ATTACHMENTS

Exhibit A: Architectural Plan Set
Exhibit B: Staff/Public Comment



Figure 1: Vicinity Map

Case Summary: Chris Hawkins of Alpine Planning (Applicant) on behalf of Gondola Holdings LLC, the owner of Lot 220B is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home at 113 Palmyra Drive. The improvement survey plat indicates that Lot 220B is 0.682 acres in size and shaped like a flag lot, with the flagpole providing access and the flag being the developable area of the lot. The overall square footage of the home is approximately 8,449

gross square feet and provides three interior parking spaces within the proposed garage and two exterior spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. *Please note that Staff comments will be indicated by Italicized Text.*

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	40' (gable) Maximum	38.66'
Maximum Avg. Building Height	35' (gable) Maximum	20.29'
Maximum Lot Coverage	40% Maximum (s.f.)	20.2%
General Easement Setbacks	16 Feet – No Encroachments	Encroachments
Roof Pitch		
Primary		8:12
Secondary		4:12
Exterior Material		
Stone	35% minimum	35%
Windows/Doors	40% maximum	21%
Parking	2 Enclosed	3
	2 Surface	2

Design Variations

Road and Driveway Standards

Design Review Board Specific Approvals

General Easement Encroachments

Metal Fascia

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates primary gable roof forms with smaller secondary shed roof forms. The maximum building height must be below 40 feet and the average height must be at or below 35 feet for gabled roof forms. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Both heights are in compliance with the max average height shown at 24.46' and the max height shown at 39'-11 1/4". In addition, the applicant has provided a parallel plane analysis confirming that no portion of the home exceeds the allowed maximum height.

Staff: The applicant has provided a height analysis along with a plane projection demonstrating that heights have been met for a gabled roof form home. Staff requests that prior to final review, the parallel plane projection be revised to be included on the elevations on pages A5.03 and A5.04.

17.3.14: General Easement Setbacks

Lot 220B is burdened by a sixteen (16) foot General Easement (GE) which surrounds most of its perimeter, with the remaining area not within the GE designated as a “No Build Zone” (Reception No. 387902). The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: Given the odd flagpole shape of Lot 220B, the driveway must traverse the GE and no build zone of the Lot. As such, there are retaining walls and guard rails associated with the driveway that must also be located within the GE but are otherwise permissible. The CDC Road and Driveway Standards require a stepped retaining wall but given the limited area for the driveway, it may be preferable for the DRB to allow for taller retaining walls to limit impacts of a bigger set of retaining walls at a lower height.*
- *Address Monument: At this time, the location of the address monument is unclear. The applicant as part of the narrative materials has suggested the address monument would be located in the general area of the existing utility pedestal, which will be relocated.*

Note on No Build Zone: Although this is not a setback or a GE typically discussed in this section, staff felt that it was important to discuss the allowances of the no build as it relates to this application. In the recorded No Build Zone document, there are discussions related to what is allowed within this area. Landscaping and other items are allowed in this area as long as they are not taller than 3 feet in height from natural grade. In this case, the retaining walls are stepping down the hillside and should not impact the neighboring property’s views. This is allowable as they do not go higher than the allowable 3 feet above natural grade per the recorded document.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The CDC provides design theme characteristics that attempt to link existing and new architecture throughout the Mountain Village. Although we have a broad spectrum of architectural mountain vernaculars, the link typically is accomplished through the use of strong material palettes of stone, metal, and wood.

The proposed home although somewhat traditional in its form, has otherwise incorporated modern materials into the design in a way that ties together this design with older and newer homes in the village. The home has a primary gable roof with secondary shed projections

The home at Lot 220B is designed in the mountain modern vernacular incorporating a primary gable roof form with secondary modern shed form that help to accent the home. The home is located on a sloped lot, and it appears that the design of the home even with the slope is rather subdued with the majority of the home appearing as either 1 or 2 stories.

Although the home is large in terms of square footage, the design has accomplished a certain minimization of the home's massing through its design and siting on the hillside. It appears based on the applicant's submittal that the material palette for the project blends well with both the surrounding community, as well as the overall modern mountain vernacular.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: Lot 220B is a 0.682-acre lot that contains steep slopes and encumbered no build zone to the benefit of Lot 220A. Based on the provided slope study, a large area of the lot is over 30% slope, generally sloping away from Palmyra Drive to the north. The aerial imagery along with the provided tree survey indicates that the site is heavily vegetated with trees and grasses. Given these issues, the applicant has worked with the site and the design to place the home in a manner that is subdued and subordinate to the surrounding landscape though the stepped down retaining walls and low building heights of the majority of the home.

17.5.6: Building Design

Staff: The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation. In order to accomplish this, the applicant is proposing what appears to be a Telluride gold stone in a rectangular arrangement that surrounds the base of the home. The gold stone appears to contrast nicely with the darker wood siding of the home and charcoal standing seam roof. Although certain elements of the home do not have stone surrounding their base, these areas are typically shown as deck areas with large concrete patios, columns, and staircases providing the grounding elements in this case.

The home's exterior palette as shown in the material sheet of the submission appears to blend well. The garage door is called out as the same wood siding material used on other areas of the home. The applicant has proposed a metal fascia as part of their design which will require DRB specific approval. The chimney cap is shown as a stone cap and the windows and doors of the home are a black clad metal. The applicant has proposed a total of 711 sq ft of snowmelt at this time, which would not require any additional offsetting of external energy use at building permit. Overall, it appears that the applicant is meeting the CDC Building Design requirements Prior to the final review, the following item should be addressed, and additional detail provided:

1. *Additional detail: Window and Door Recess detail for stone recesses.*

17.5.7: Grading and Drainage Design

Staff: The applicant provided a grading and drainage plan for initial review meeting the requirements of the CDC. The plan shows areas of grading and disturbance, as well as finished slope calculations and areas of retainage. Due to the odd shape of the lot, there will be grading and retaining walls required in the GE as part of this design and some regrading to occur within the no build zone in an area of an apparent encroachment from Lot 220A. The plan demonstrates positive drainage away from the home in accordance with CDC requirements.

17.5.8: Parking Regulations

Staff: The CDC requires all single-family homes to provide two enclosed and two surface parking spaces. The applicant has shown a total of 2 enclosed and 2 surface spaces. The applicant is meeting the parking requirement but needs to include parking space dimensions for each of the spaces identified.

17.5.9: Landscaping Regulations

The applicant has not provided a landscaping plan at this time but has noted that the landscaping priority will be to retain as much existing vegetation as possible and in areas that lack vegetation, to add additional landscaping.

17.5.11: Utilities

Staff: All utilities are currently located within proximity to the home. The applicant shall work with the Public Works Director before final review to verify the specific locations of the connections for the home. The plan set shows the proposed connections and the locations of the proposed utilities based on field research.

17.5.12: Lighting Regulations

Staff: The applicant has not provided a lighting plan at this time but is not required to do so until final review.

17.5.13: Sign Regulations

Staff: Although discussed in the narrative at a high level, the applicant has not provided design plans for the address monument at this time and prior to final review, there should be a condition requiring the design and method of illumination.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: This portion of the submittal will be provided in tandem with the landscaping plan at Final Review. The applicant has indicated a desire to maintain as many trees as possible on the site.

17.6.6: Roads and Driveway Standards

Staff: The CDC requires driveways under 150 feet in length have a minimum paved surface of 12-foot width and 2-foot shoulders on each side and as shown the applicant is meeting that requirement with a 12-foot asphalt driving area and a 2-foot gravel shoulder on each side for a total of 16 feet in width. In areas with retaining walls, the width of asphalt is shown at 12-feet and the shoulders are augmented for a total width of 17-feet

The maximum grade of the driveway appears to be approximately 10.48% as it travels from Palmyra Drive down towards the home. This is permissible with the approval of the Fire Marshall and Public Works Director, who have not indicated they take issue with this proposal.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The proposed design incorporates a "Isokern Magnum Fireplace" which according to the manufacturers specs is a modular fireplace intended to burn natural gas.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The applicant has provided a CMP as part of the submittal addressing the majority of the requirements of the CDC. As part of the building permit submittal, this plan should be slightly revised to better understand access staging and driveway construction along with material export planning.

Staff Recommendation: Staff recommends the DRB approve the Initial Architecture and Site Review for Lot 220B, 113 Palmyra Drive based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architecture and Site Review for a new single-family home located at Lot 220B, based on the evidence provided within the Staff Report of record dated May 20, 2022, with the following Design Variations and Specific Approvals:

Design Variations

Road and Driveway Standards

Design Review Board Specific Approvals

General Easement Encroachments

And, with the following conditions:

- 1) Prior to final review, the applicant shall revise the parallel plane diagram per the requirements of the CDC to demonstrate that no portion of the home penetrates the 40-foot plane reflecting the most restrictive adjacent grade.
- 2) Prior to final review, the applicant shall provide window and door recess details for windows and doors located in stone.
- 3) Prior to final review, the applicant shall provide design and location information related to the home's address monument.
- 4) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 5) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 6) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.

- 7) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 8) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 9) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern, and any grouting with the minimum size of four-feet (4') by four-feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 10) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way, general easement, or setback, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (Fire Department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/JM

Lot 220-B Design Review Process Initial Architecture and Site Review



February 1, 2022

Site Context and Design

Gondola Holdings LLC (“Owner”) is the owner of Lot 220B Mountain Village Filing No. 6 (“Site”) that is currently vacant. The Owner intends to build a new single-family home on the Site that is located in the Single-family Zone District.

The Site is ski-in/ski-out lot located west of the Bridges Ski Run that is part of OS9. The Site contains 0.682 acre that is characterized by steep slopes and a mixed forest tree cover with aspens, spruce and fir trees as shown in Figure 1. The developable area of the Site has a low USGS topographic elevation of 9670 and a high elevation of 9714 for overall elevation gain of 44 feet. The southern area of the Site contains grading work for a hot tub privacy berm that is located on Lot 220A as shown on the existing conditions survey. This grading work limits ski access at the highest elevation of the site.

The project’s design intent is based around designing this single-family home to be shared by two families as their vacation home. The floor plan of the house is based around creating equal spaces for each family, both private and shared. The primary and secondary suite are mirrored of each other and surround common spaces such as the kitchen, great room, and game room. The sites topography slopes downward to the north and drops over 20 feet from the south/east corner of the building to the north/west corner. This gives us the perfect opportunity to incorporate a basement floored used as a bunk room at the north/west corner of the project.

Project Geography

Geography and Zoning Requirements		
	Existing/Requirement	Proposed (Approx.)
Lot Size	29,708 sq. ft (0.682 acres)	No Change
Floor Area (Gross)	No floor area limit	8,449 sq. ft.
Zone District	Single-family Zone District	No Change
Maximum Building Height	35’ + 5’ for Gabled Roofs	38.66’
Maximum Average Building Height	35’	20.29’
Lot Coverage	40%	6,007 sq. ft. 20.2%
Setbacks		
	Front - South	16 Feet
	Side - East	16 Feet
	Side - West	16 Feet
	Rear - North	16 Feet
Parking	2 enclosed spaces + 2 unenclosed	3 enclosed + 2 unenclosed

Steep Slope Regulations

As shown in Figure 2, the Site has steep slopes greater than 30% as shown in Figure 2. Section 17.6.1(C)(2)(a) of the Community Development Code (“CDC”) states that:

“Building and development shall be located off slopes that are thirty percent (30%) or greater to the extent practical.

i. In evaluating practicable alternatives, the Town recognizes that it may be necessary to permit disturbance of slopes that are 30% or greater on a lot to allow access to key viewsheds, avoid other environmental issues, buffer development and similar site-specific design considerations.”



Figure 1. The Site

The development of the Site necessitates disturbance of steep slopes that are 30% or greater since such slopes occur in the relatively small development area that is framed by the 16-foot General Easements and a No Build Zone on the southern part of the Site. Our comments on compliance with the Steep Slope Regulations are shown in *italics*.

CDC Section 17.6.1(C)(2)(c) states:

“The review authority shall only allow for disturbance to slopes thirty percent (30%) or greater if it is demonstrated that there is not a practicable alternative to avoiding such activities and if the following criteria are met:”

i. The proposed steep slope disturbance is in general conformance with the Comprehensive Plan. *The proposed home is in general conformance with the Mountain Village Comprehensive Plan because it envisions Lot 220B with single-family land uses, and the new home will not adversely impact the environment.*

ii. The proposed disturbance is minimized to the extent practical. *The impact to the steep slope areas has been minimized to the extent practical with the home designed to fit into the current topography of the site.*

iii. A Colorado professional engineer or geologist has provided: (a) A soils report or, for a subdivision, a geologic report. *A soils report for the Site is being created that will be utilized by Uncompahgre Engineering and structural engineers for the design of the home and associated improvements.*

(b) An engineered civil plan for the lot, including grading and drainage plans. *Uncompahgre Engineering designed the grading and drainage civil plan in coordination with shm Architects.*

iv. And the proposal provides mitigation for the steep slope development in accordance with the engineered plans. *Impacts to steep slope areas are minimized by limiting the areas of grading; sensitive building design; and an erosion control plan and a revegetation plan.*

It is not practicable to avoid all steep slope areas due to the small lot size and building envelope that focuses development into the steep slope areas. Thus, there is no practicable alternative to avoiding disturbance to the steep slopes which is necessary to allow for the reasonable use of the property.

General Easement (GE)

The proposed Site development is seeking the following encroachments into the General Easement (“GE”):

1. Ski-in/Ski-out access grading on the east side of the site.
2. Limited homesite grading to tie into existing grades on the north side of the Site.
3. Driveway, address monuments, relocated utility pedestals/transformer.

Community Development Code (CDC) Section 17.3.14(E)(1) expressly allows the driveway including driveway grading and retaining walls; ski access and address monument and utilities to be placed in the GE:

“E. The following development activities are permitted in the general easement setback or other setbacks subject to the applicable review process and Design Regulations:

1. Review authority approved accessways for direct access, including driveways, walkways, and ski trails and ski lifts for ski area access.
 - a. Accessway impacts to the general easement shall be minimized to the extent practical, such as a perpendicular crossing of the easement setback area.
 - b. Accessways shall not exceed the minimum Town standards for construction, such as the minimum width.”

Landscaping

The primary goal of the landscaping plan is to retain as much of the existing vegetation as possible. Where disturbance is necessary, or as is the case of the General Easement, where the site is bare and devoid of vegetation, landscaping will be proposed with the Final Architectural Review.

Design Regulation Compliance

Mountain Village Design Theme. The proposed design meets the Mountain Village Design Theme. The project has been designed to sensitively fit the Site in order to minimize impacts to steep slopes and trees. The natural features of the site have informed the design of the home. The proposed home design is respectful and responsive to the tradition of alpine design with sturdy building forms, primary gable roof forms, secondary shed roof forms and a heavy grounded base. The massing is simple and form and is designed into the existing topography.

Building Siting Design. The home has been sited to blend into the existing landscape and landforms.

Building Design. The home has been designed with a stone base that provides a grounded building form to withstand high alpine conditions. The overall building form is simple in design. The roof has been designed with a composition of multiple forms that emphasize sloped plans, varied ridge lines and vertical offsets. The proposed standing seam steel roof provides a durable roof material that will withstand the high alpine climate conditions. Exterior materials are provided consistent with the Design Regulations. The exterior colors harmonize with the natural landscape and are natural, warm and subtle. Windows have been designed to be integral part of the structure’s complete design and in accordance with the window regulations.

Grading Design. Grading has been designed to relate to and blend into the surrounding topographic landscape.

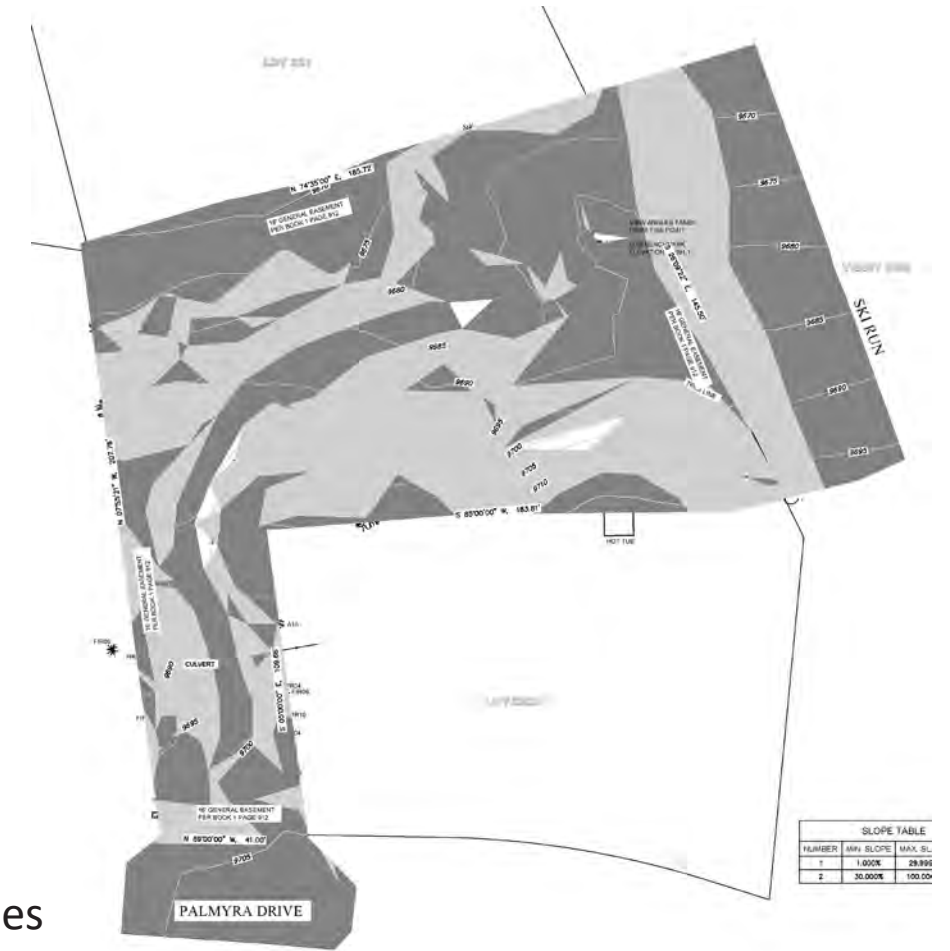
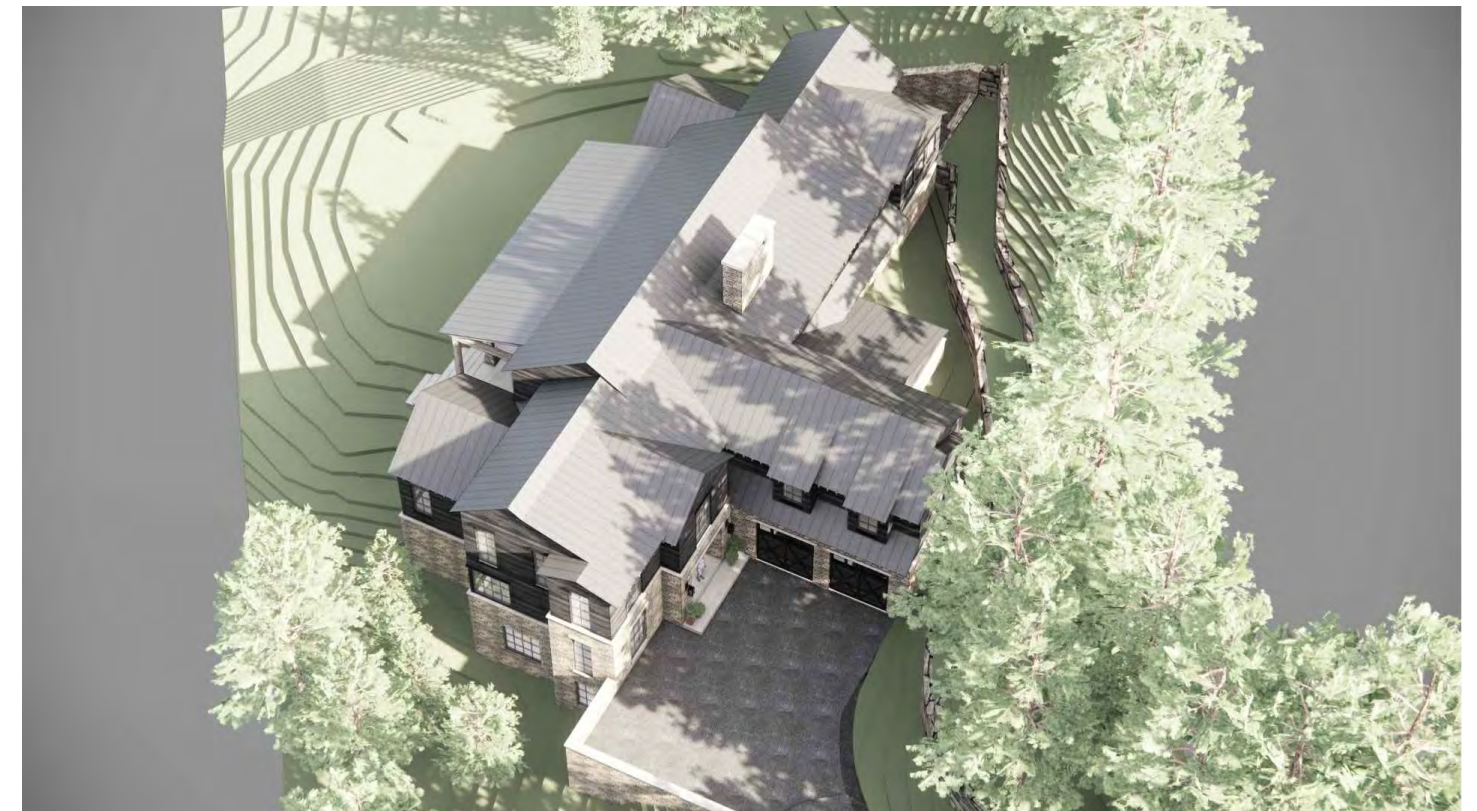


Figure 2. Steep Slopes



Parking Regulations. The proposal provides three (3) interior garage spaces and two (2) exterior surface spaces which exceeds the Parking Regulation requirements by one additional space.

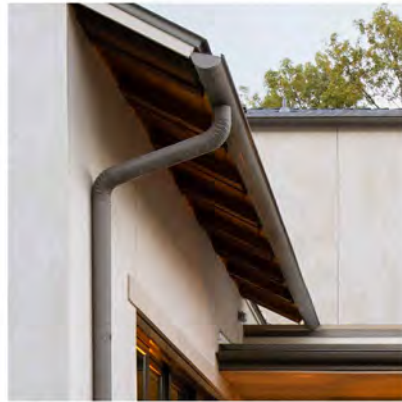
Lighting

The lighting plan will be submitted for during Final Plan Review consistent with the Design Review Process submittal requirements.

Exterior Materials



WINDOWS AND DOORS - BLACK



HALF ROUND STEEL GUTTER AND DOWN SPOUT



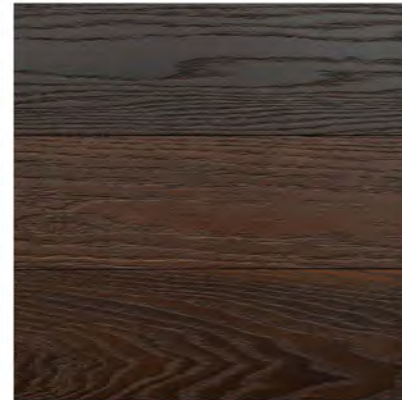
STANDING SEAM METAL ROOF



WOOD COLUMNS



ROUGH STONE



WOOD SIDING





shm ARCHITECTS



Uncompahgre
Engineering, LLC





NOTE: RENDERINGS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

JOHNSON-MASSEY RESIDENCE

MOUNTAIN VILLAGE - TELLURIDE, COLORADO

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shm ARCHITECTS

4514 Travis Street, Suite 302 - Dallas, Texas 75205
214.252.3830 · 214.252.3840 Fax · shmarchitects.com

JOHNSON-MASSEY

RESIDENCE

220B PALMYRA TELLURIDE, COLORADO

Design Review Board Initial Submittal

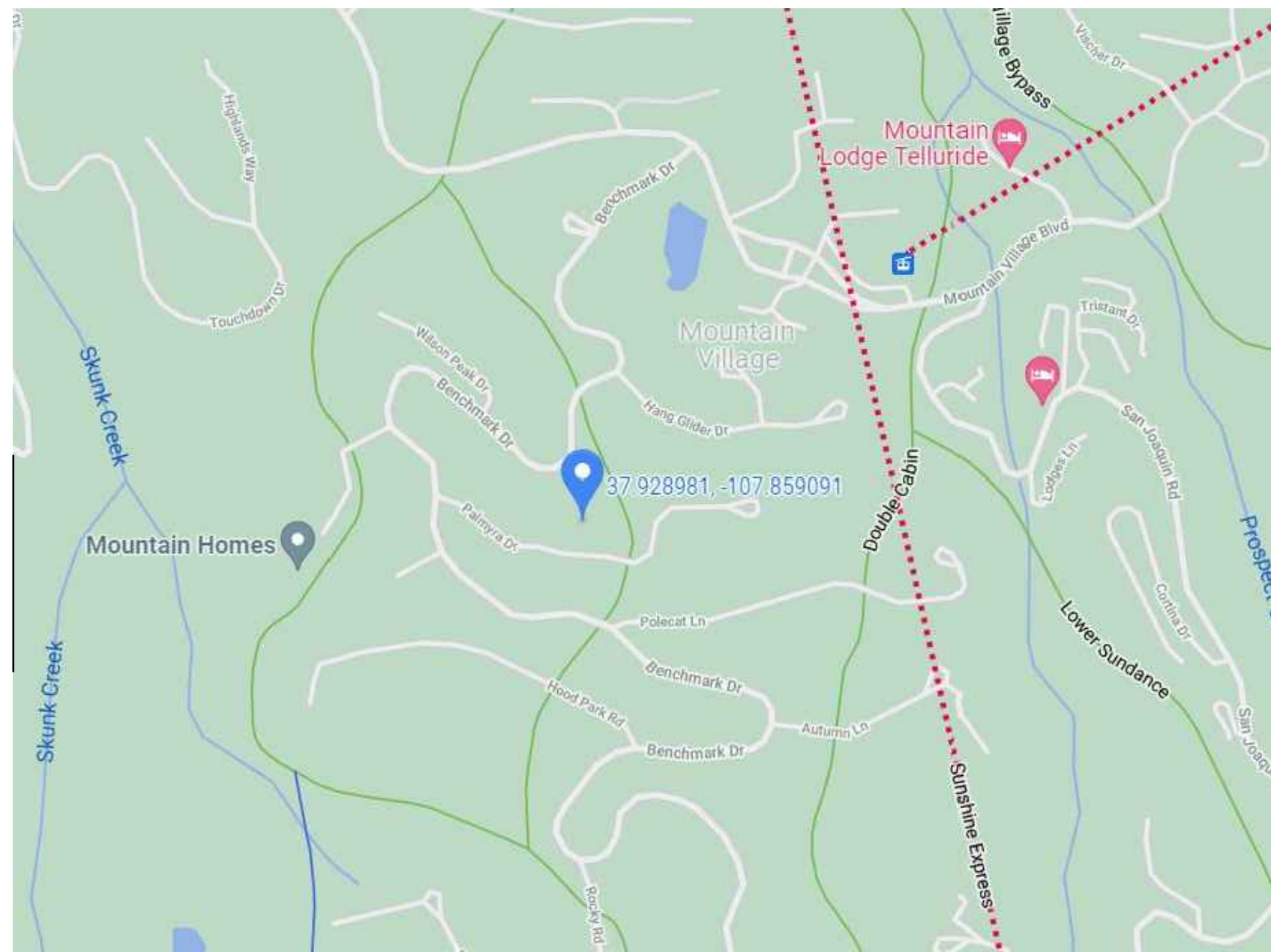
NOT FOR CONSTRUCTION

SHM PROJECT #
21-070

ISSUE DATE
JANUARY 24, 2021

COVER SHEET /
INDEX

A1.00



VICINITY MAP



EXISTING SITE



EXISTING SITE



EXISTING SITE



EXISTING SITE



EXISTING SITE

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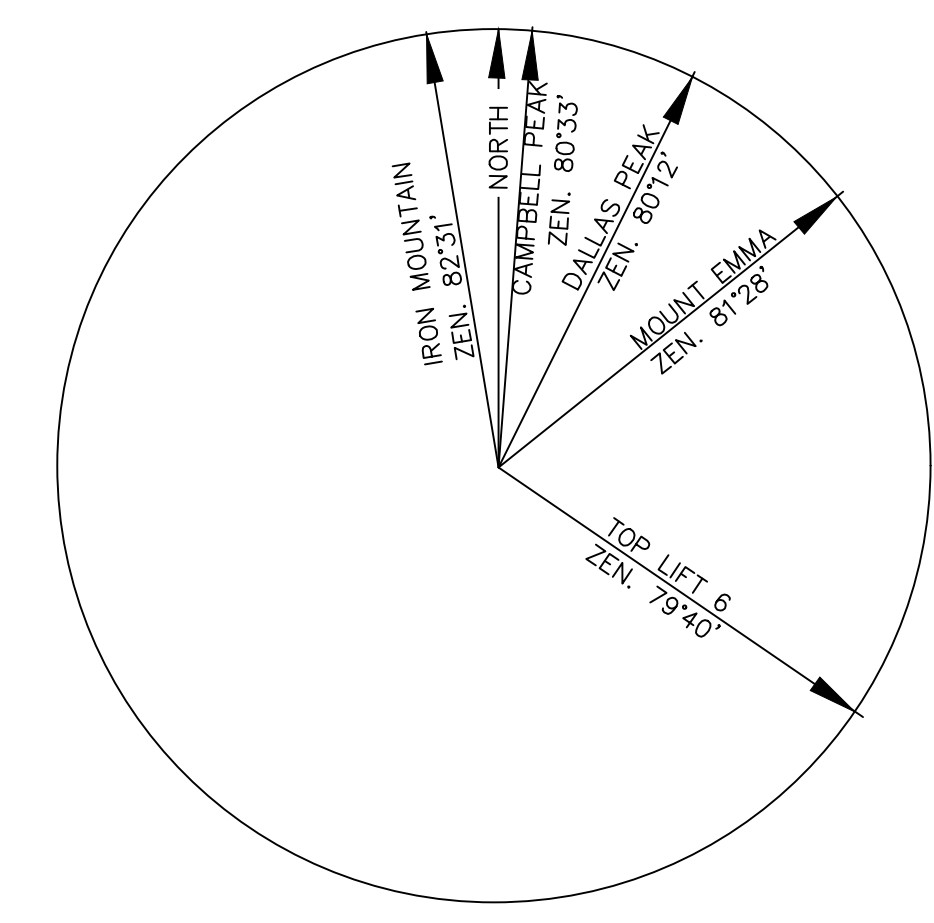
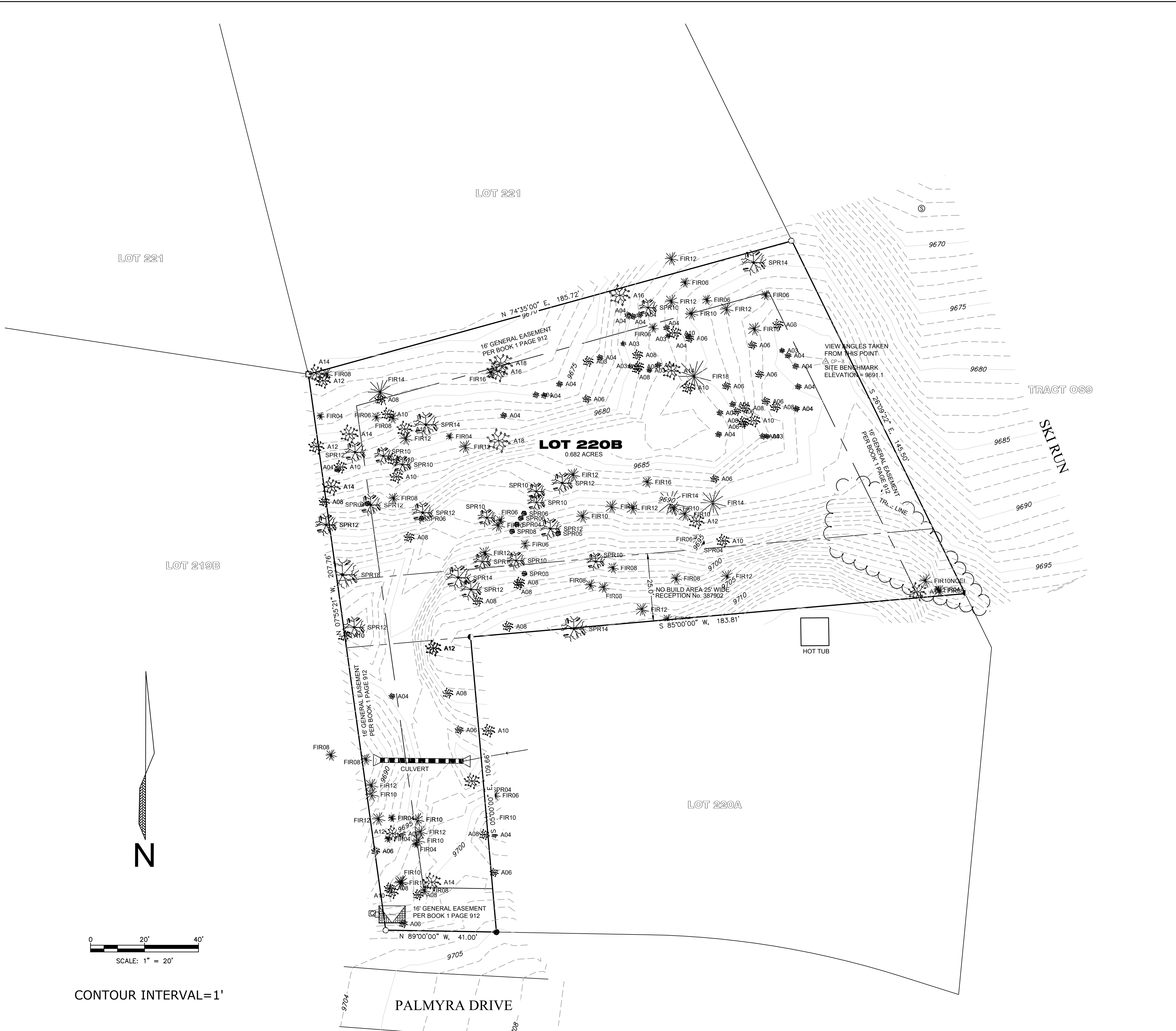
**JOHNSON-MASSEY
RESIDENCE**
220B PALMYRA TELLURIDE, COLORADO
Design Review Board Initial Submittal
NOT FOR CONSTRUCTION

SHM PROJECT #
21-070

ISSUE DATE
JANUARY 24, 2021

SITE PHOTOS

A1.02



VIEW ANGLES
 ANGLES ENUMERATED
 ARE ZENITH ANGLES

PROPERTY DESCRIPTION:
 LOT 220 B, FILING 6, TELLURIDE MOUNTAIN VILLAGE. ACCORDING TO THE
 REPLAT OF LOT 220, RECORDED 7/19/1989, IN PLAT BOOK 1 AT PAGE 912.
 COUNTY OF SAN MIGUEL,
 STATE OF COLORADO.

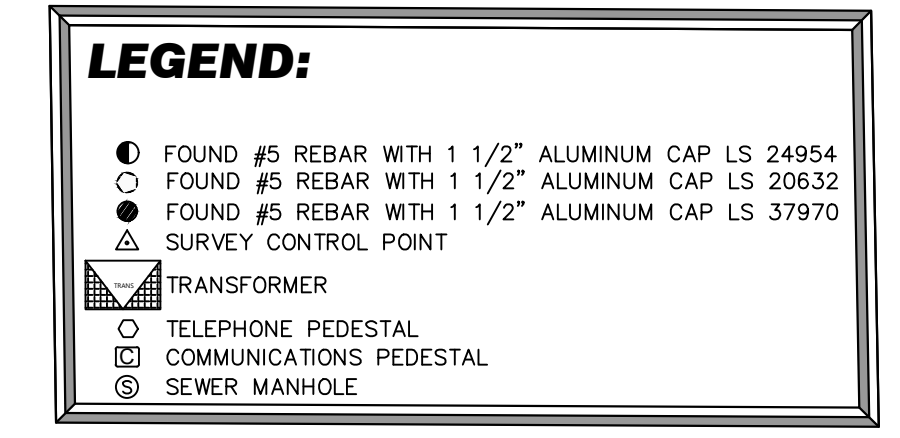
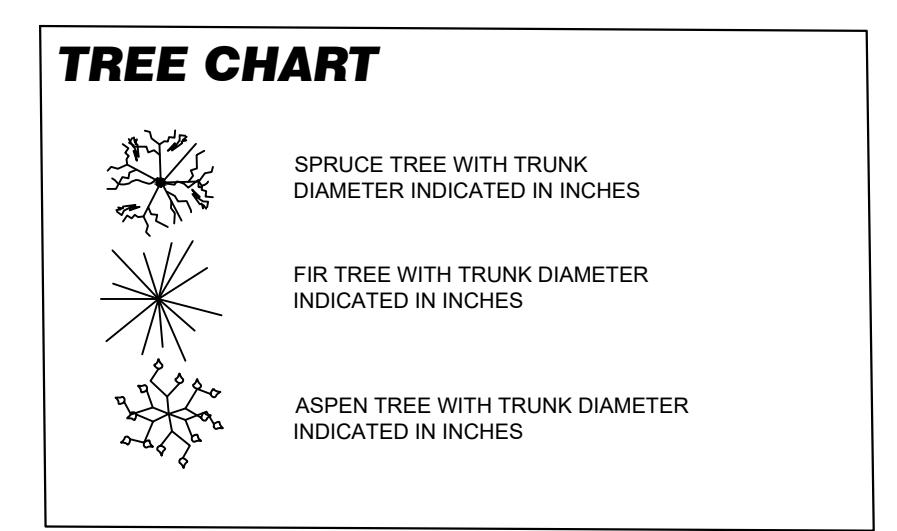
SURVEYOR'S CERTIFICATE:

I, Thomas A. Clark, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Lot 220 B, Telluride Mountain Village was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.

Thomas A. Clark
 PLS. 38014

NOTES:

- Easement research and property description provided by Alpine Title As agent for Westcoast Land Title Insurance Company - TELLURIDE, Policy No.: OX86011513.5576139 effective on May 18, 2021 at 5:00 P.M.
- Field work was performed in November 2021.
- Elevation datum for this survey are based on GPS observation and OPUS solution on benchmark "CP 8" that elevation being 9691.1'.
- This survey is valid only if a printed or electronic copy has a seal and signature of the surveyor noted within the statement above.
- NOTICE: According to Colorado law you must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

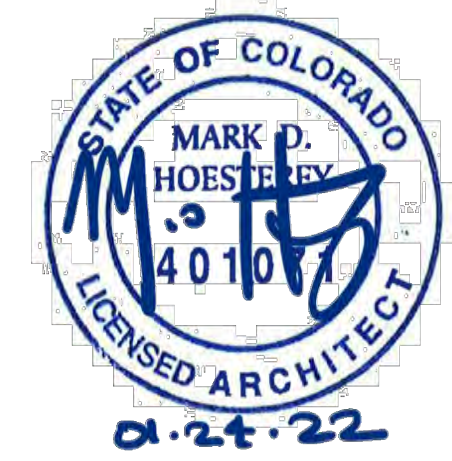


SITE PLAN NOTES

1. REFERENCE LANDSCAPE ARCHITECT FOR SITE DRAINAGE
2. REFERENCE LANDSCAPE ARCHITECT FOR SITE IMPROVEMENTS
3. 70% OF NON-ROOF AREA TO BE VEGETATION, PERMEABLE PAVING, OR IMPERMEABLE PAVING WITH WATER RUNOFF
4. DRIP EMITTERS TO BE INSTALLED AT ALL BEDDING AREAS
5. WATER SHALL NOT BE REDIRECTED TO DRAIN ONTO ADJOINING PRIVATE PROPERTY

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**JOHNSON-MASSEY
RESIDENCE**

220B PALMYRA TELLURIDE, COLORADO

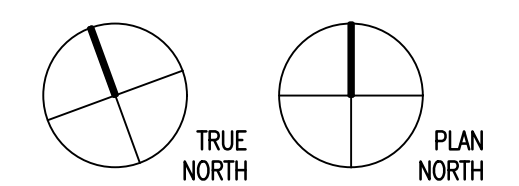
Design Review Board Initial Submittal
NOT FOR CONSTRUCTION

SHM PROJECT #
21-070

ISSUE DATE
JANUARY 24, 2021

SITE PLAN

A1.05



01 SITE PLAN
SCALE: 1/8" = 1'-0"

PROVIDE DRAINAGE DRAINAGE TO CONTROL RUN OFF DURING CONSTRUCTION (119)

EXISTING POOL

PALMYRA DRIVE

SKI RUN

EXISTING SINGLE FAMILY RESIDENCE LOT #20-A

PROPOSED 2 STORY SINGLE FAMILY RESIDENCE F.F. = 100'-0" DATUM (9688.50' ACTUAL)

HOT TUB

REAR 40 FOOT LINE

MIDPOINT OF LOT

PROPOSED 2 STORY SINGLE FAMILY RESIDENCE F.F. = 100'-0" DATUM (9717.77' ACTUAL)

POINT OF ORIGIN

ISLAND POND SHALL BE COVERED AND OUTLET TO BE REPLACED WITH 2" DRAIN SPOTS

16' GENERAL EASEMENT PER

N 74°35'00" E, 185.72'

9670

9675

9680

9685

9690

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GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFFS MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

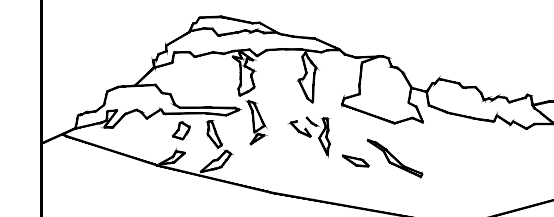
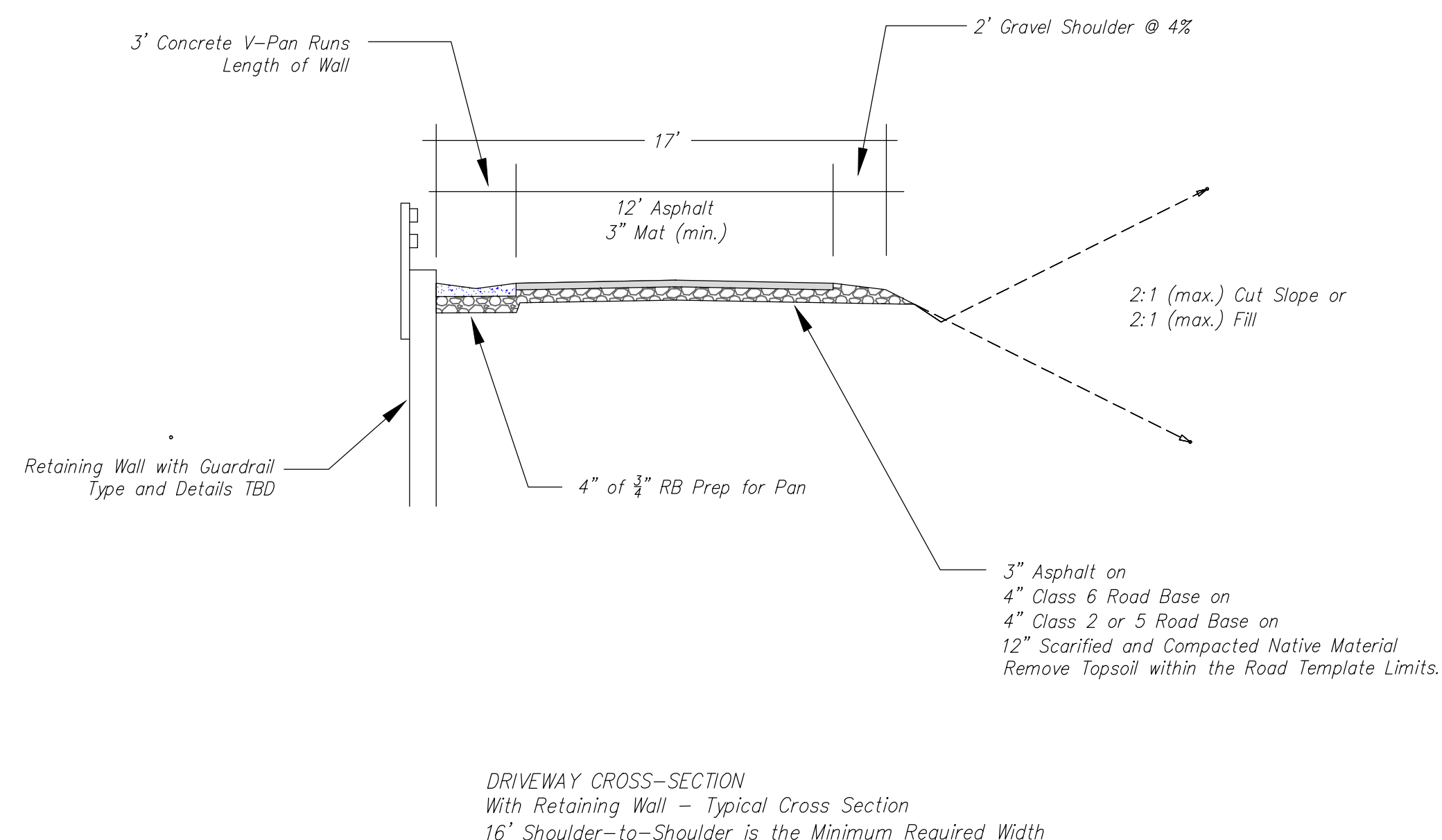
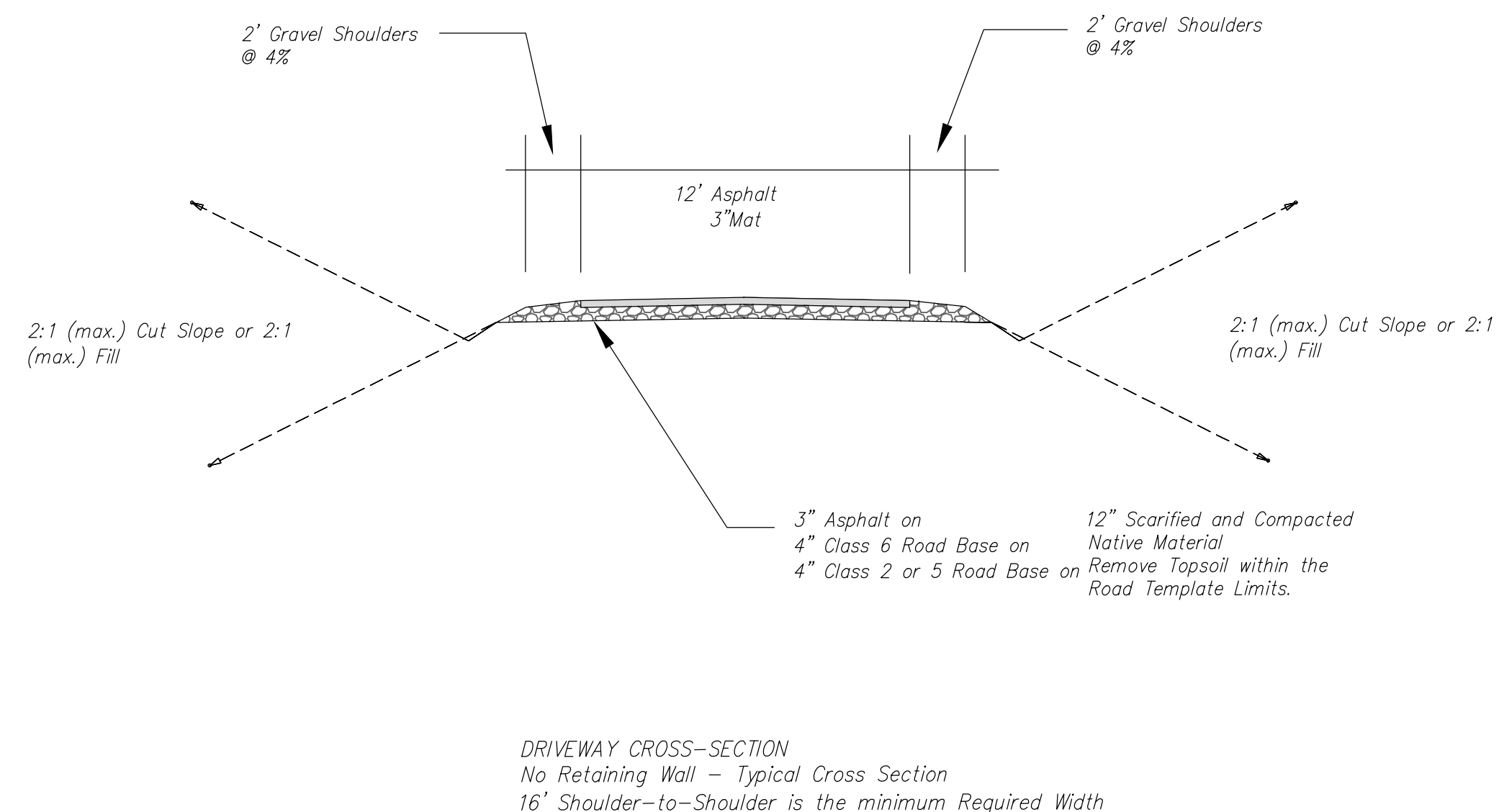
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



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Engineering, LLC

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970-729-0683

SUBMISSIONS:

DRB SUBMITTAL 2022-01-28

Johnson-Massey
Residence

Lot 220B
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

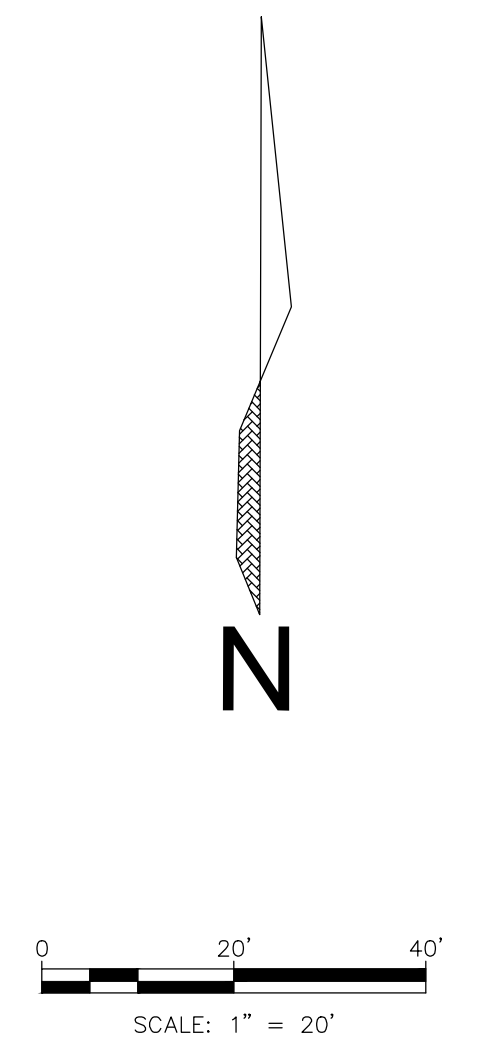
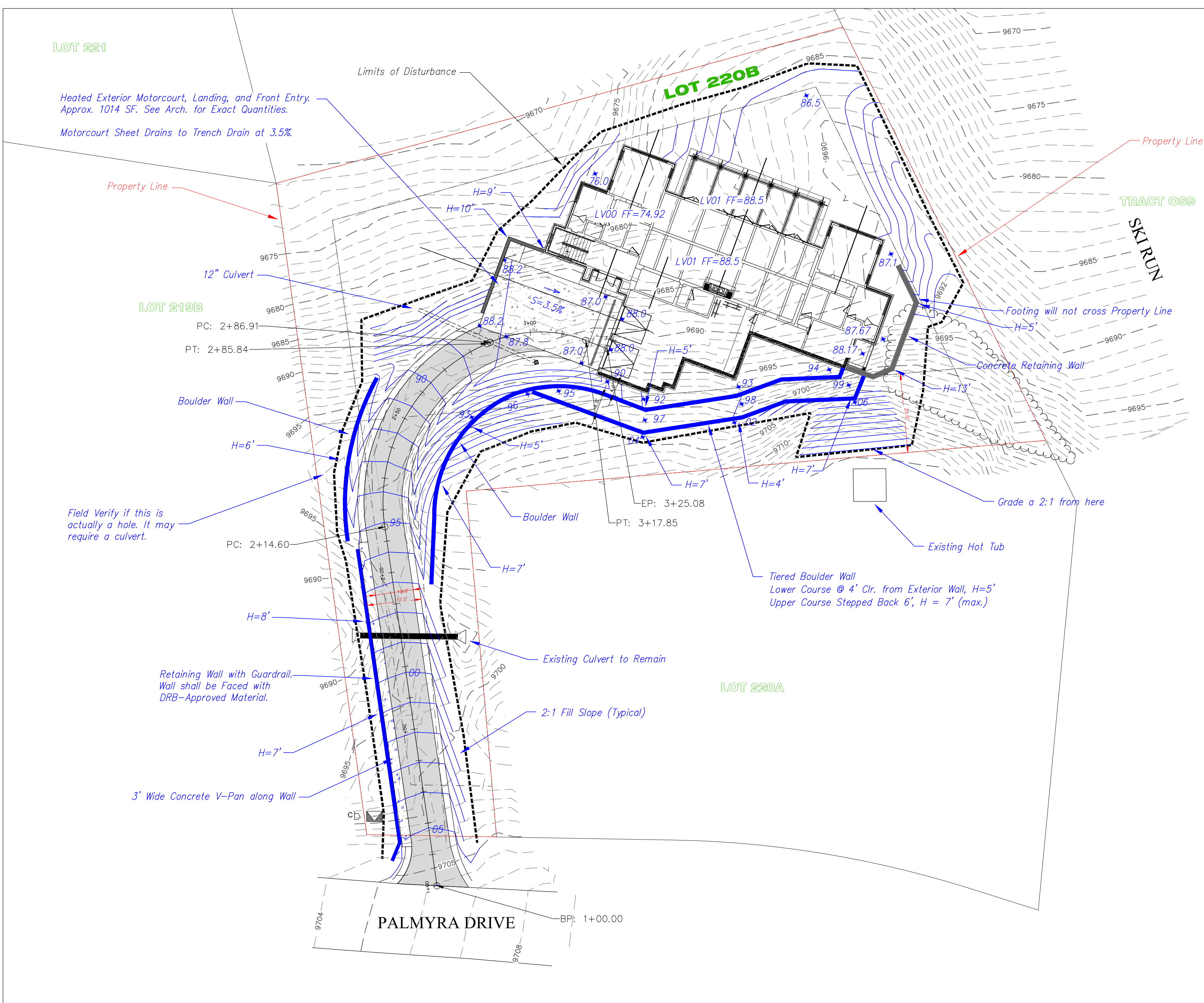
C1

LOT 221

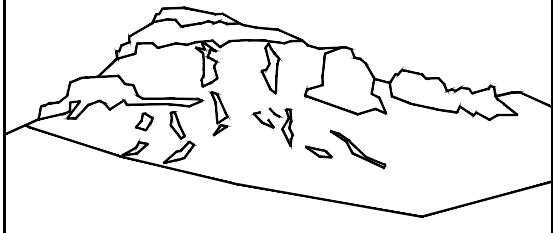
LOT 220B

LOT 219B

LOT 220A



CONTOUR INTERVAL=1'



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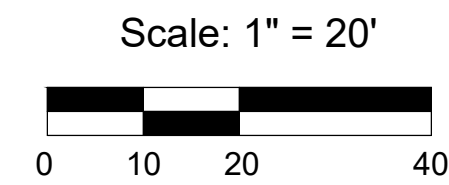
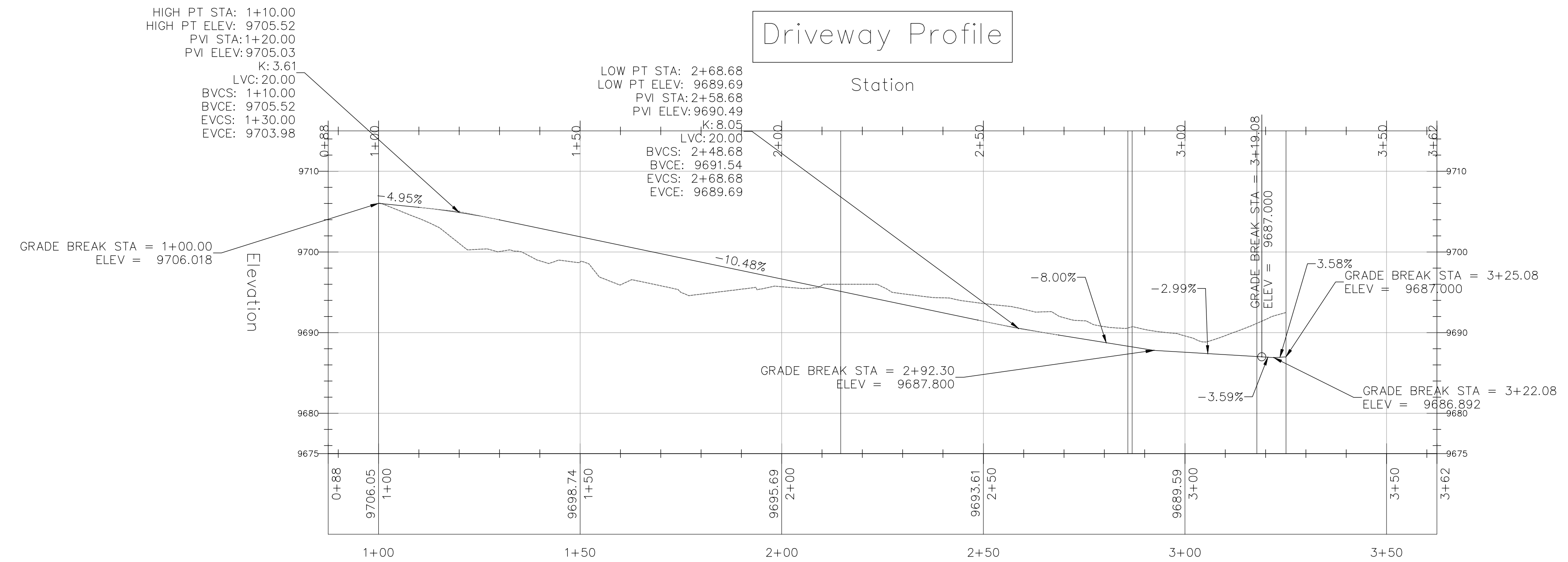
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Grading and Drainage

Without Trees Displayed

C2.1

Driveway Profile



LOT 221

LOT 220B

LOT 219B

TRACT 050

SKI RUN

LOT 220A

PALMYRA DRIVE

Heated Exterior Motorcourt, Landing, and Front Entry.
Approx. 1014 SF. See Arch. for Exact Quantities.
Motorcourt Sheet Drains to Trench Drain at 3.5%

Property Line

Limits of Disturbance

Property Line

Footing will not cross Property Line

Concrete Retaining Wall

Grade a 2:1 from here

Existing Hot Tub

Tiered Boulder Wall
Lower Course @ 4' Cir. from Exterior Wall, H=5'
Upper Course Stepped Back 6', H = 7' (max.)

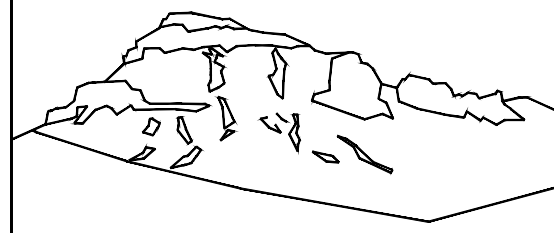
Existing Culvert to Remain

2:1 Fill Slope (Typical)

Retaining Wall with Guardrail.
Wall shall be Faced with
DRB-Approved Material.

3' Wide Concrete V-Pan along Wall

Field Verify if this is
actually a hole. It may
require a culvert.

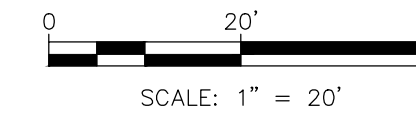


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CONTOUR INTERVAL=1'

Johnson-Massey
Residence

Lot 220B
Mtn. Village, CO

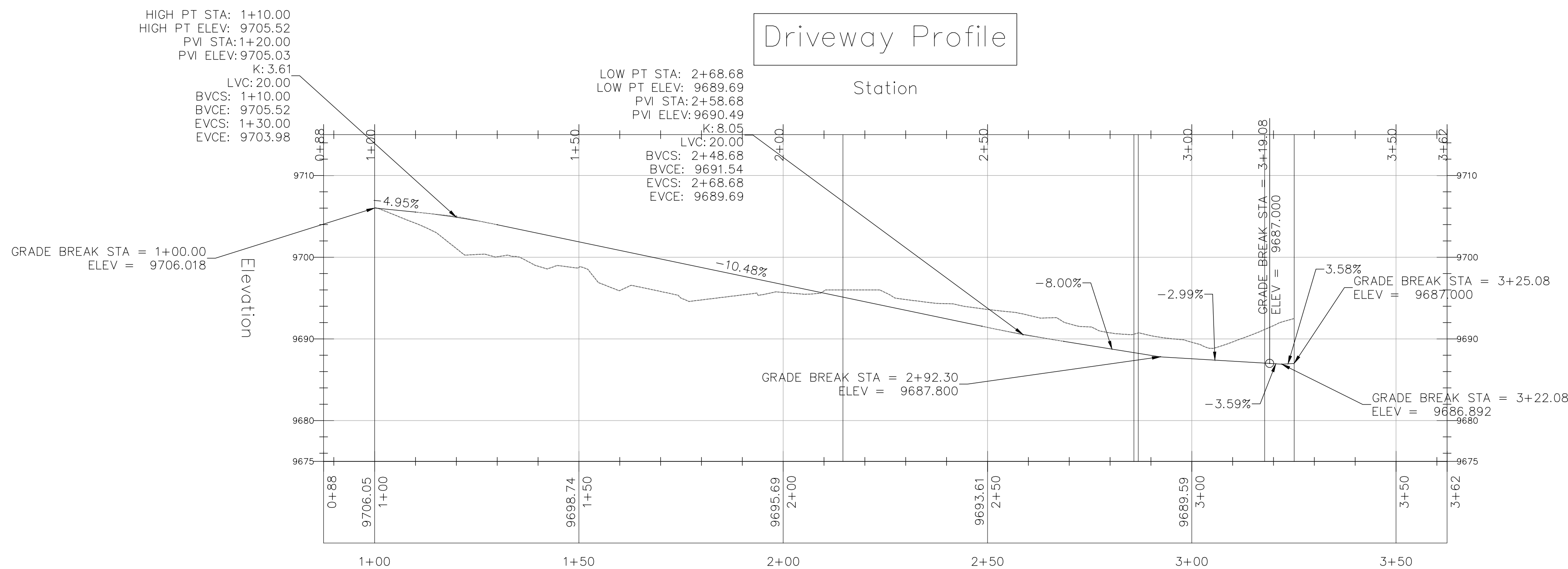


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Grading
and
Drainage

With
Trees
Displayed

C2.2





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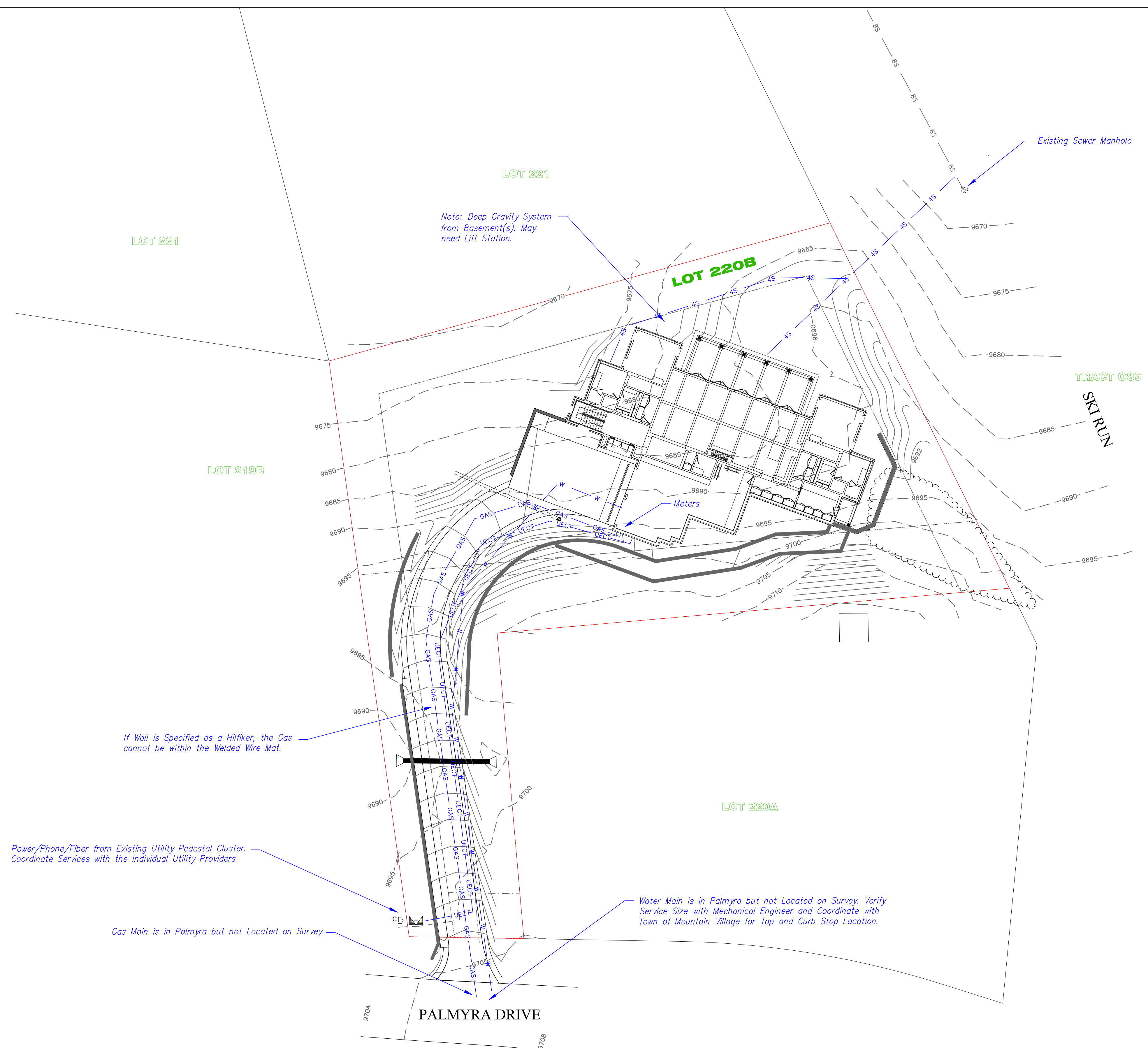
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Utilities

C3



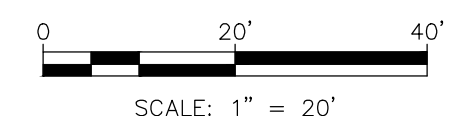
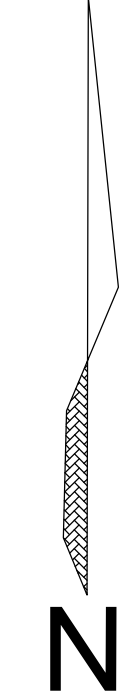
Note: Deep Gravity System
from Basement(s). May
need Lift Station.

If Wall is Specified as a Hilfiker, the Gas
cannot be within the Welded Wire Mat.

Power/Phone/Fiber from Existing Utility Pedestal Cluster.
Coordinate Services with the Individual Utility Providers

Gas Main is in Palmyra but not Located on Survey

Water Main is in Palmyra but not Located on Survey. Verify
Service Size with Mechanical Engineer and Coordinate with
Town of Mountain Village for Tap and Curb Stop Location.



CONTOUR INTERVAL=1'



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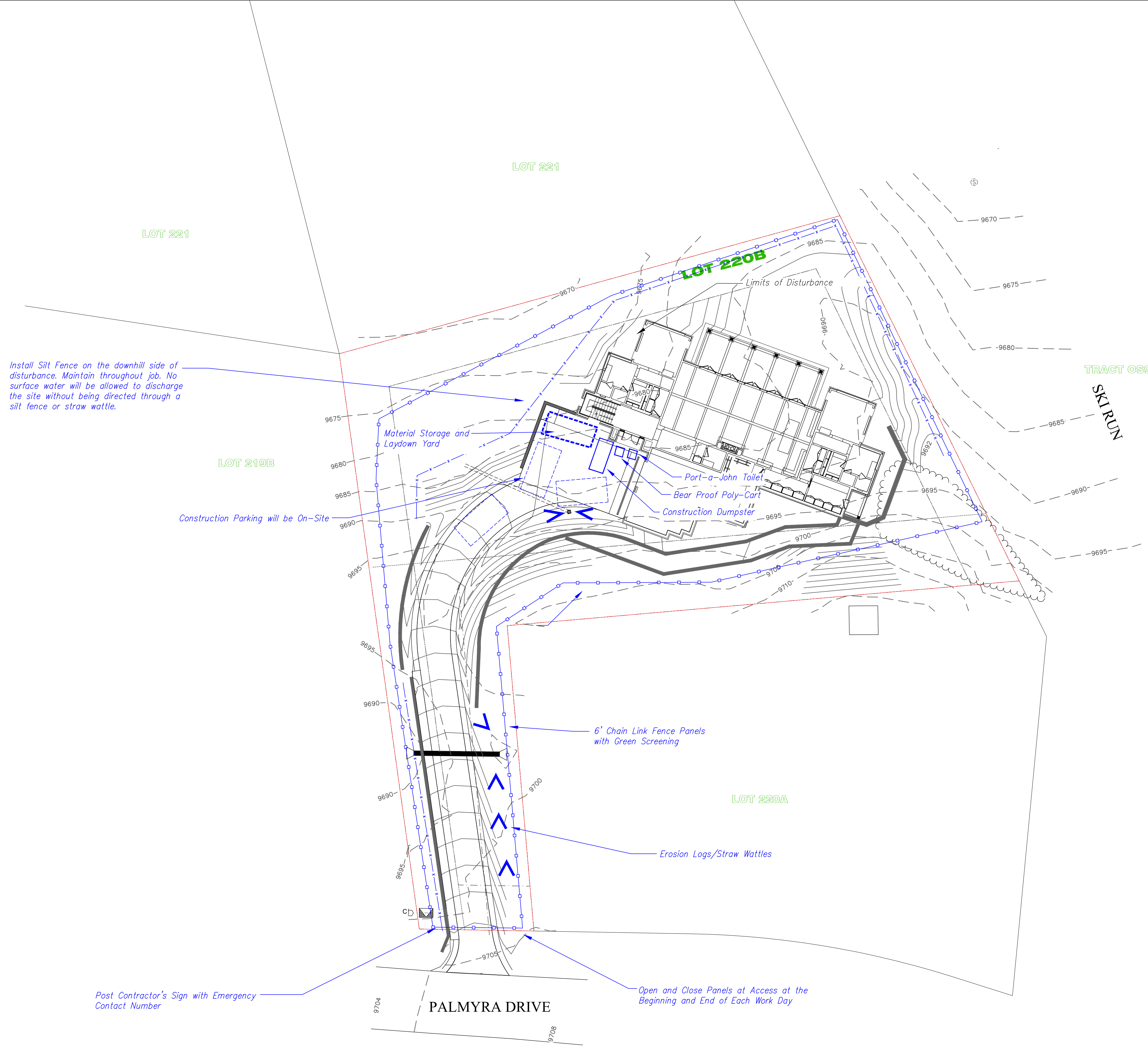
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Construction
Mitigation

C4



Install Silt Fence on the downhill side of disturbance. Maintain throughout job. No surface water will be allowed to discharge the site without being directed through a silt fence or straw wattle.

Construction Parking will be On-Site

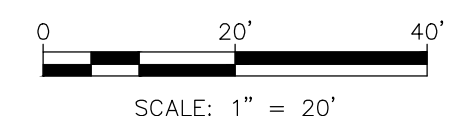
6' Chain Link Fence Panels with Green Screening

Erosion Logs/Straw Wattles

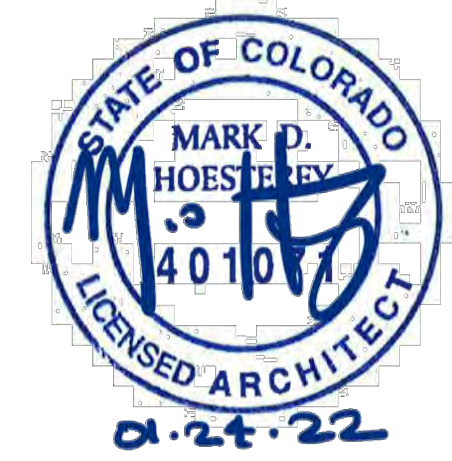
Post Contractor's Sign with Emergency Contact Number

Open and Close Panels at Access at the Beginning and End of Each Work Day

No Stationary Crane in being Proposed at this time.
The Contractor may Modify this Plan, but the New Plan must be Coordinated and Approved by the Town of Mountain Village.



CONTOUR INTERVAL=1'



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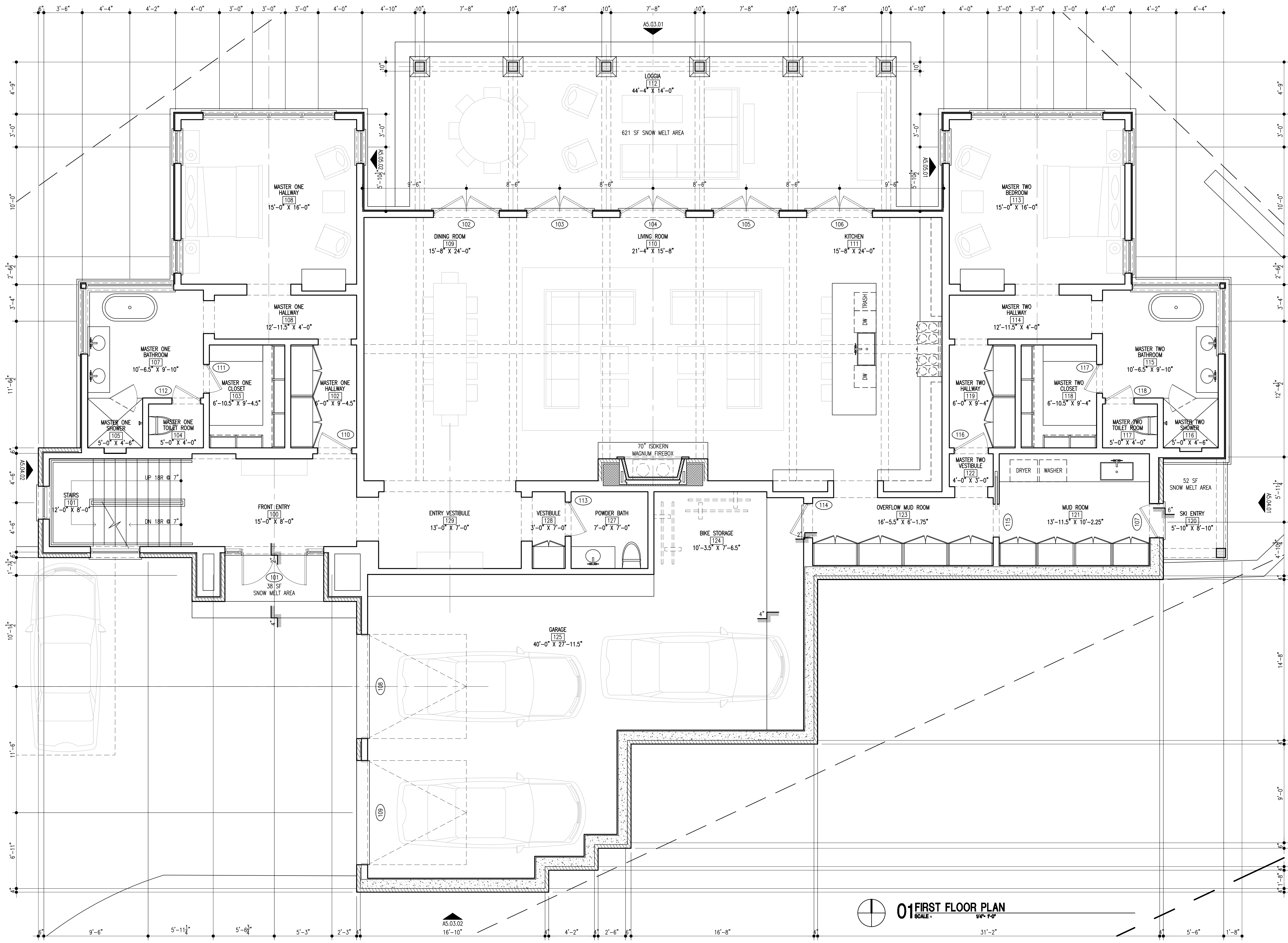
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 RESIDENCE**
 220B PALMYRA TELLURIDE, COLORADO
 Design Review Board Initial Submittal
 NOT FOR CONSTRUCTION

SHM PROJECT #
 21-070

ISSUE DATE
 JANUARY 24, 2021

FIRST FLOOR PLAN

A2.00



01 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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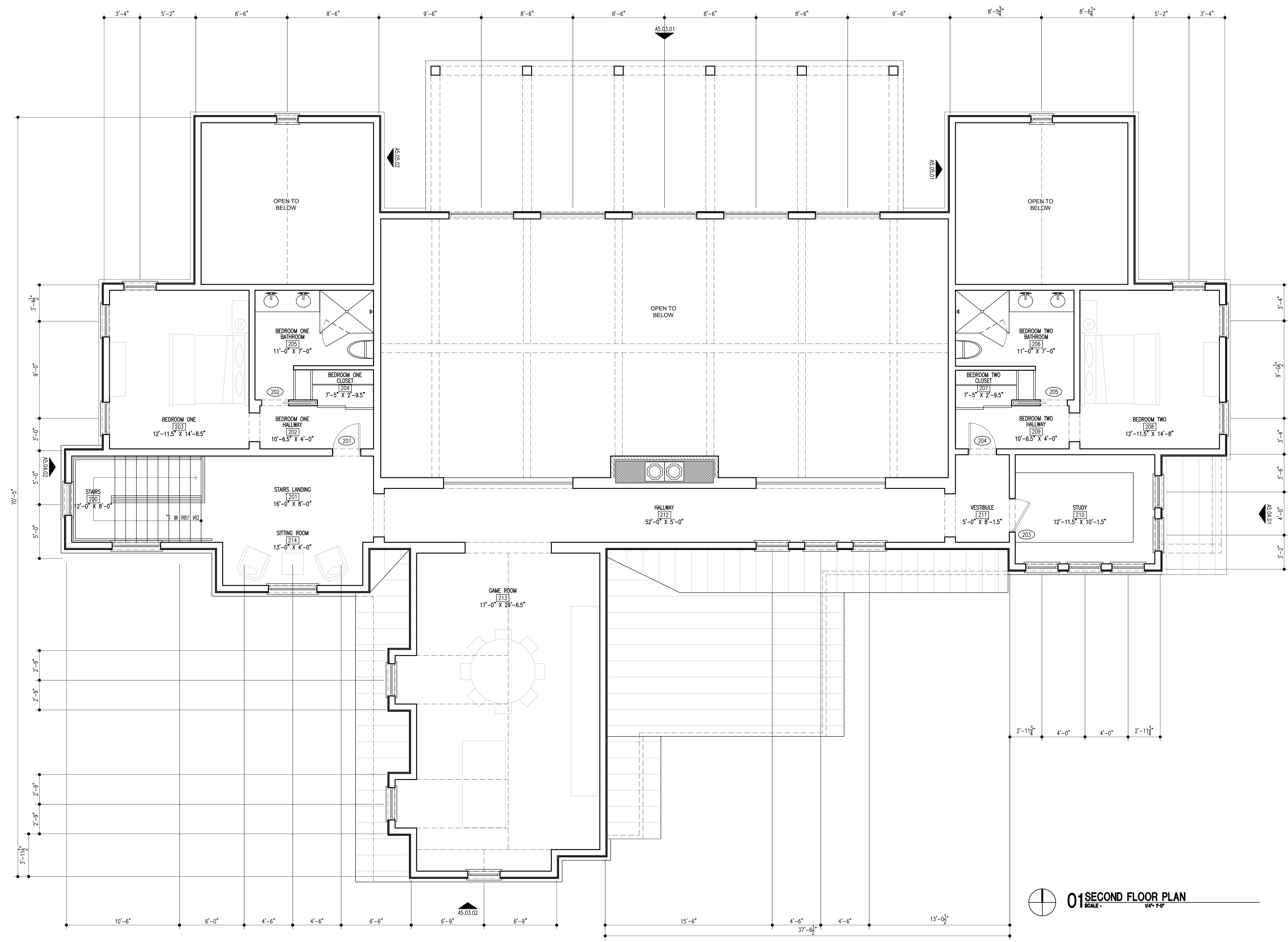
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SECOND FLOOR PLAN

A2.01



01 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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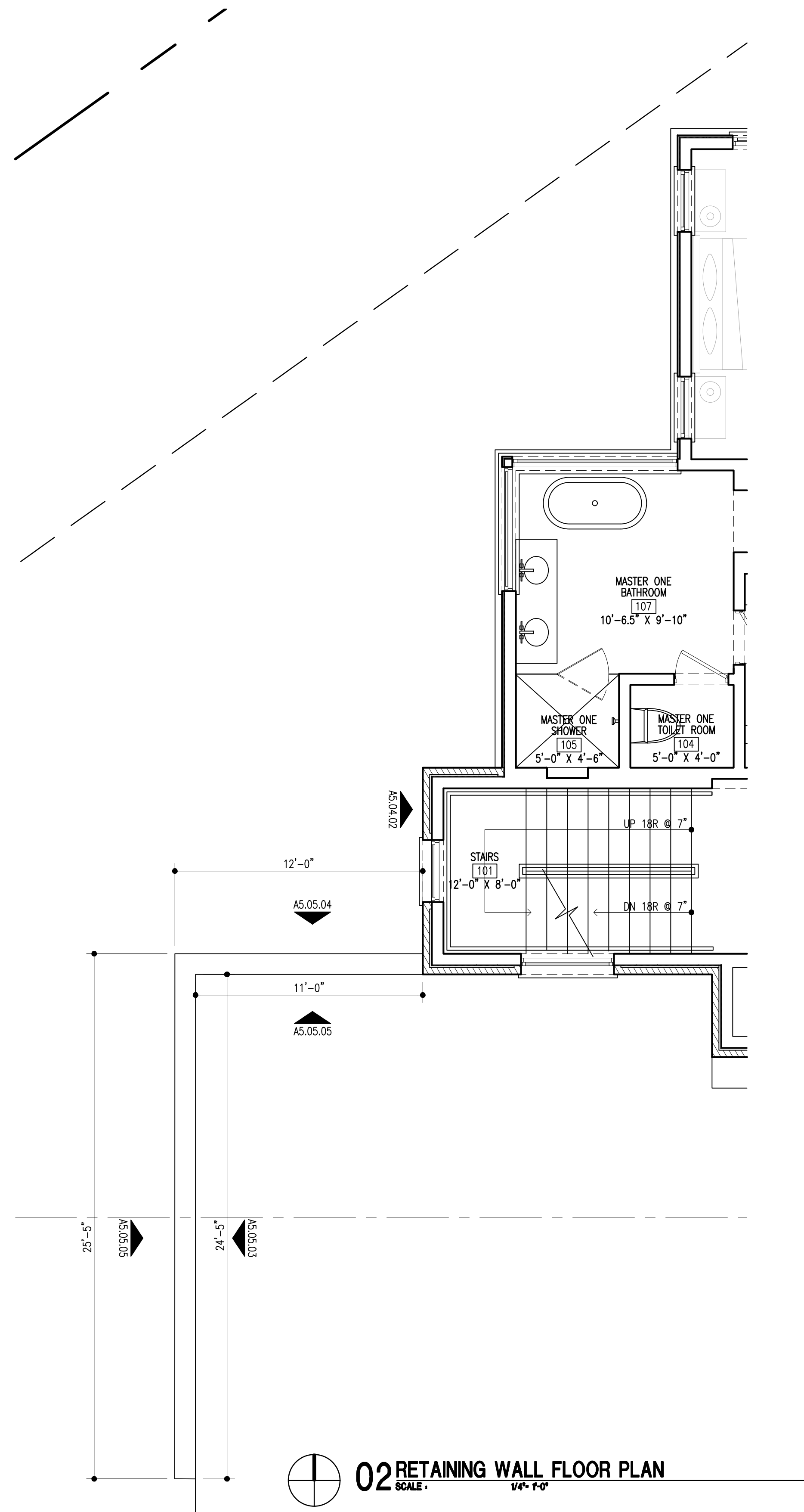
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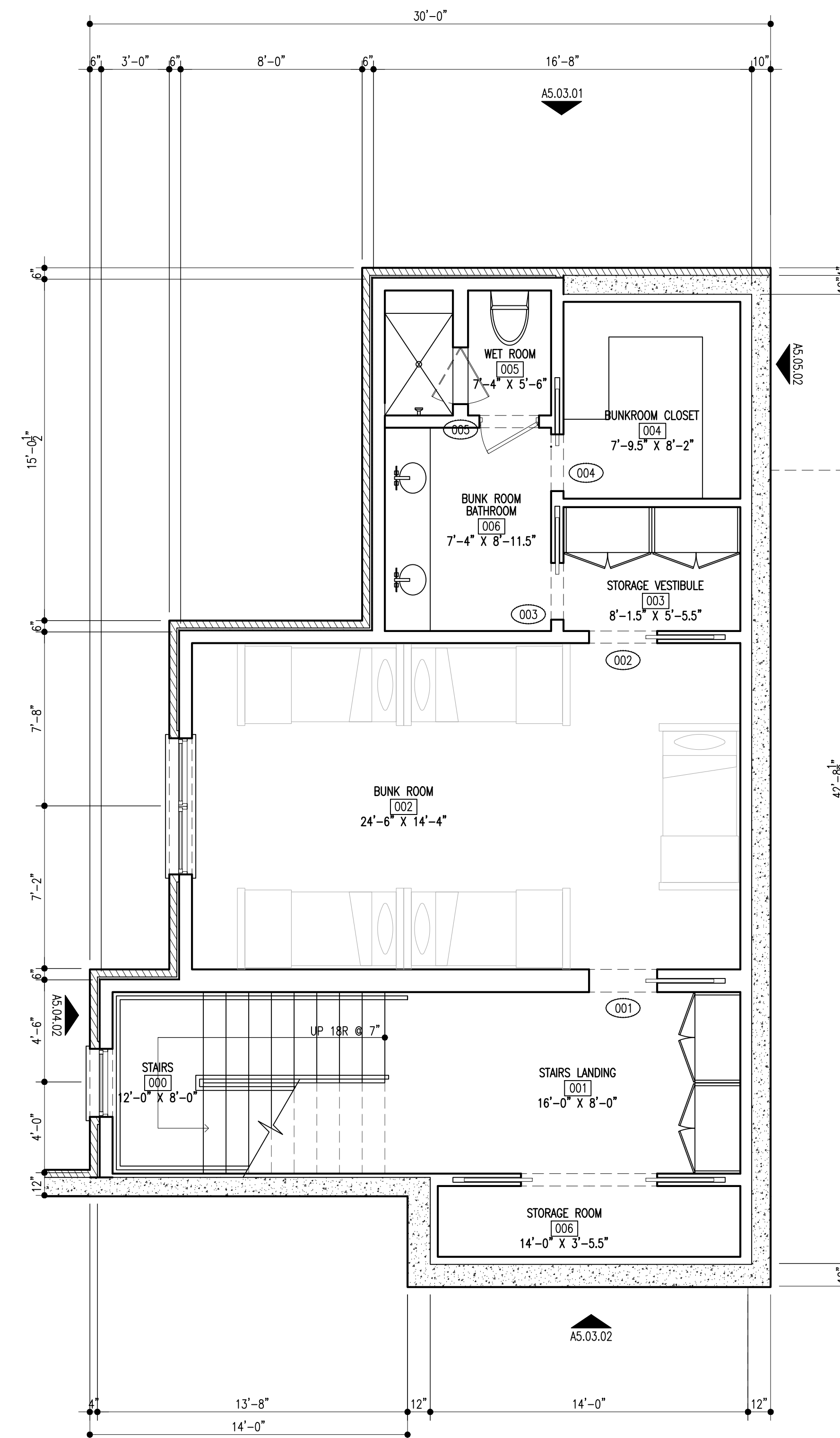
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BASEMENT FLOOR PLAN

A2.02



02 RETAINING WALL FLOOR PLAN
 SCALE: 1/4" = 1'-0"



01 BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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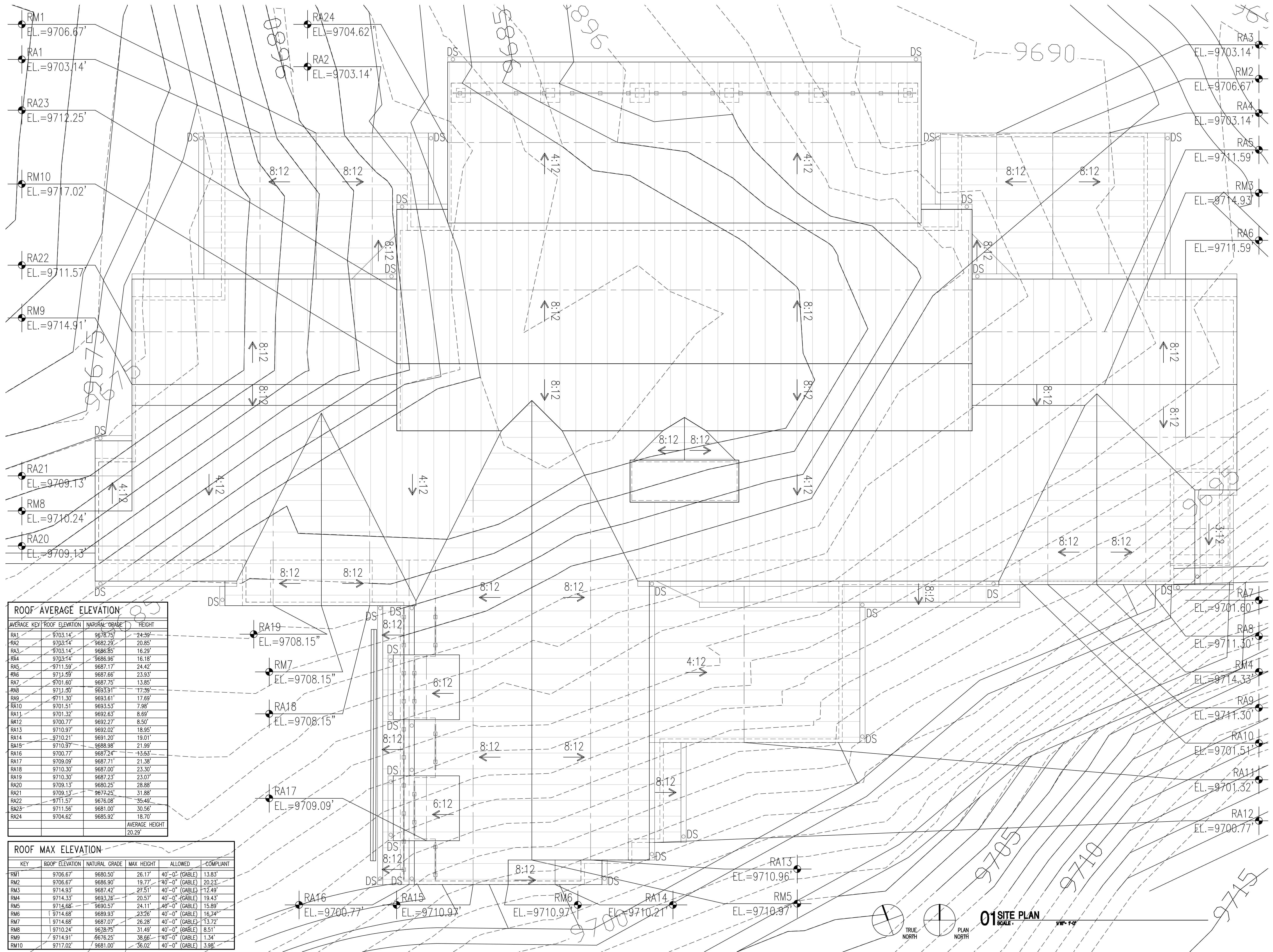
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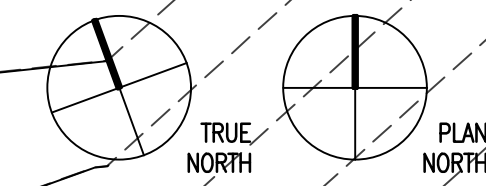
BUILDING HEIGHT
 COMPLIANCE

A3.00



ROOF AVERAGE ELEVATION			
AVERAGE KEY	ROOF ELEVATION	NATURAL GRADE	HEIGHT
RA1	9703.14'	9678.75'	24.39'
RA2	9703.14'	9692.23'	20.85'
RA3	9703.14'	9686.85'	16.29'
RA4	9703.14'	9686.96'	16.18'
RA5	9711.59'	9687.17'	24.42'
RA6	9711.59'	9687.66'	23.93'
RA7	9701.60'	9687.75'	13.85'
RA8	9711.59'	9693.91'	17.68'
RA9	9711.59'	9693.53'	7.98'
RA10	9701.51'	9692.63'	8.69'
RA11	9701.32'	9692.27'	8.50'
RA12	9700.77'	9692.02'	18.95'
RA13	9710.97'	9691.20'	19.81'
RA14	9710.97'	9688.98'	21.99'
RA15	9700.77'	9687.24'	13.53'
RA16	9700.09'	9687.71'	21.38'
RA17	9710.30'	9687.00'	23.30'
RA18	9710.30'	9687.23'	23.07'
RA19	9710.30'	9680.23'	28.88'
RA20	9709.13'	9679.23'	31.88'
RA21	9709.13'	9679.23'	31.88'
RA22	9711.57'	9676.08'	35.49'
RA23	9711.56'	9681.00'	30.56'
RA24	9704.62'	9685.92'	18.70'
			AVERAGE HEIGHT 20.29'

ROOF MAX ELEVATION					
KEY	ROOF ELEVATION	NATURAL GRADE	MAX HEIGHT	ALLOWED	COMPLIANT
RM1	9706.67'	9680.50'	26.17'	40'-0" (GABLE)	13.83'
RM2	9706.67'	9686.90'	19.77'	40'-0" (GABLE)	20.23'
RM3	9714.93'	9687.42'	27.51'	40'-0" (GABLE)	12.49'
RM4	9714.33'	9693.76'	20.57'	40'-0" (GABLE)	19.43'
RM5	9714.68'	9690.57'	24.11'	40'-0" (GABLE)	15.89'
RM6	9714.68'	9689.93'	23.26'	40'-0" (GABLE)	16.24'
RM7	9714.68'	9687.07'	26.28'	40'-0" (GABLE)	13.72'
RM8	9710.24'	9678.75'	31.49'	40'-0" (GABLE)	8.51'
RM9	9714.91'	9676.25'	38.66'	40'-0" (GABLE)	1.34'
RM10	9717.02'	9681.00'	36.02'	40'-0" (GABLE)	3.98'



01 SITE PLAN
 SCALE: 1/8" = 1'-0"



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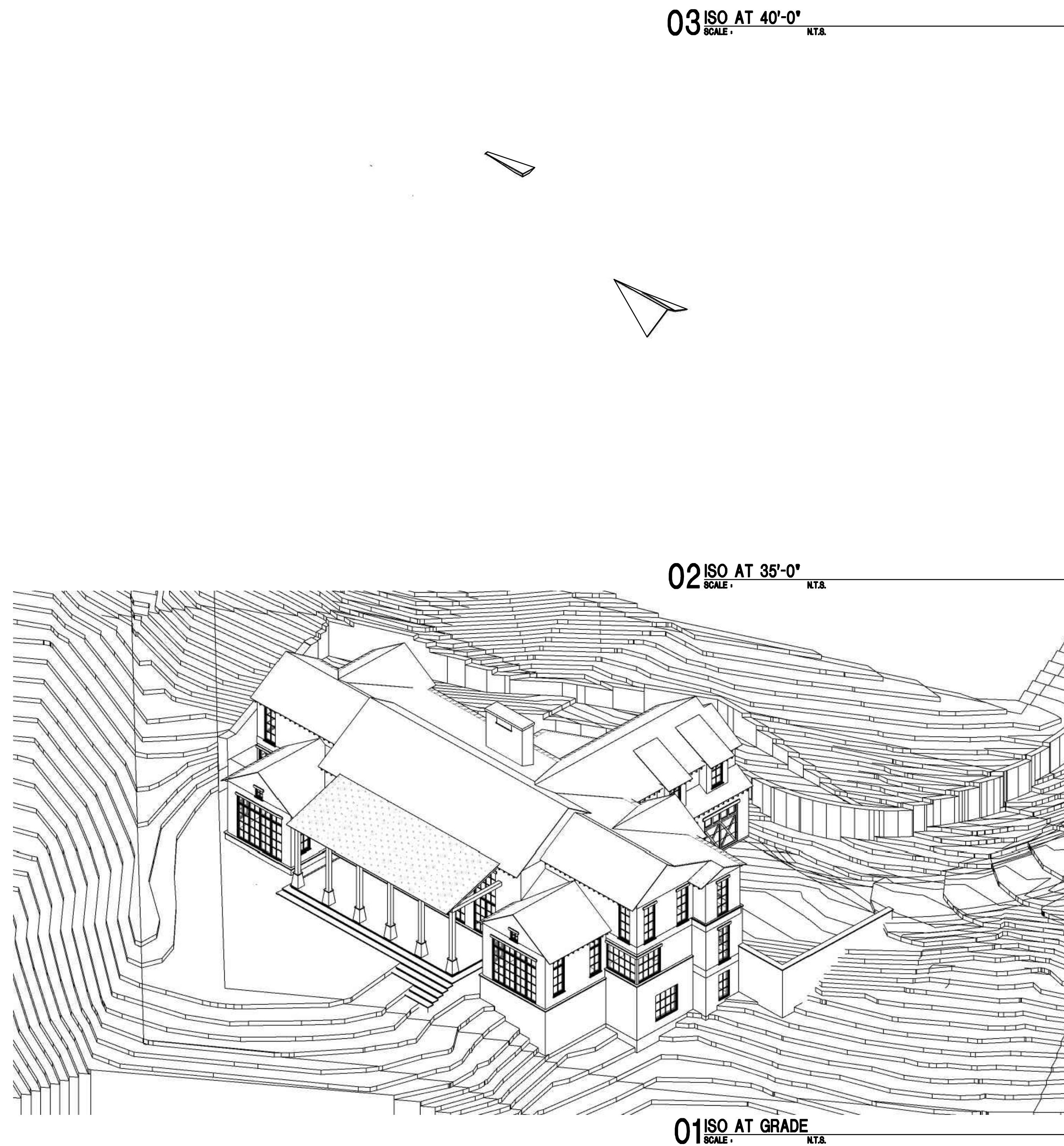
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HEIGHT PLANE

A3.01





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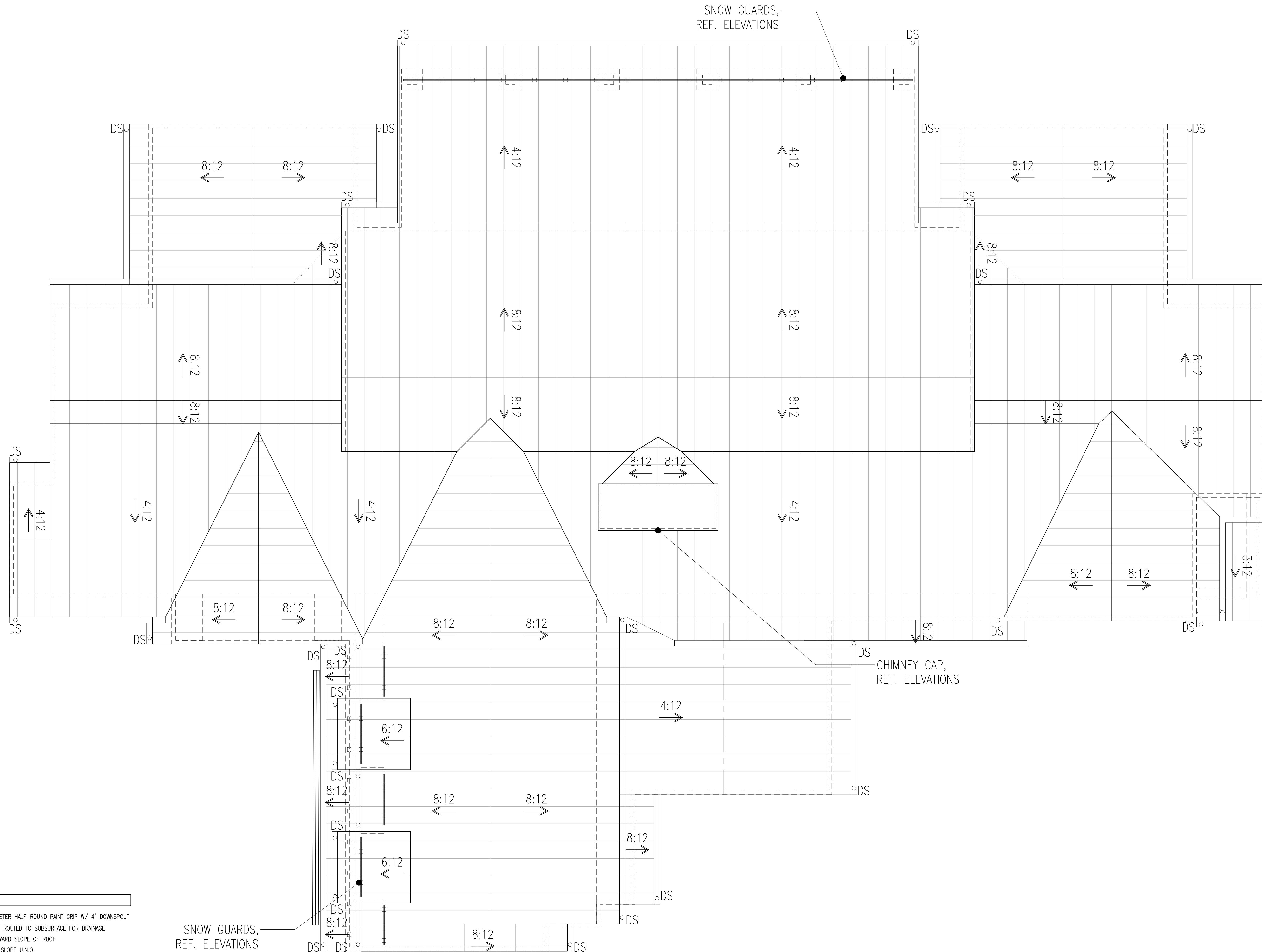
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ROOF PLAN

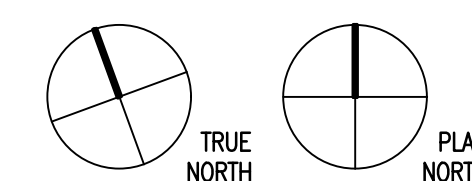
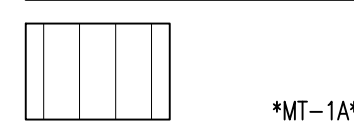
A3.02



ROOF PLAN NOTES

1. GUTTERS TO BE 6" DIAMETER HALF-ROUND PAINT GRIP W/ 4" DOWNSPOUT
2. ALL DOWNSPOUTS TO BE ROUTED TO SUBSURFACE FOR DRAINAGE
3. ARROWS INDICATE DOWNWARD SLOPE OF ROOF
4. ALL ROOFS TO BE 8:12 SLOPE U.N.O.
5. SNOW GUARDS LOCATED ABOVE ALL ENTRY POINTS

ROOF PLAN LEGEND



01 ROOF PLAN
 SCALE: 1/8" = 1'-0"



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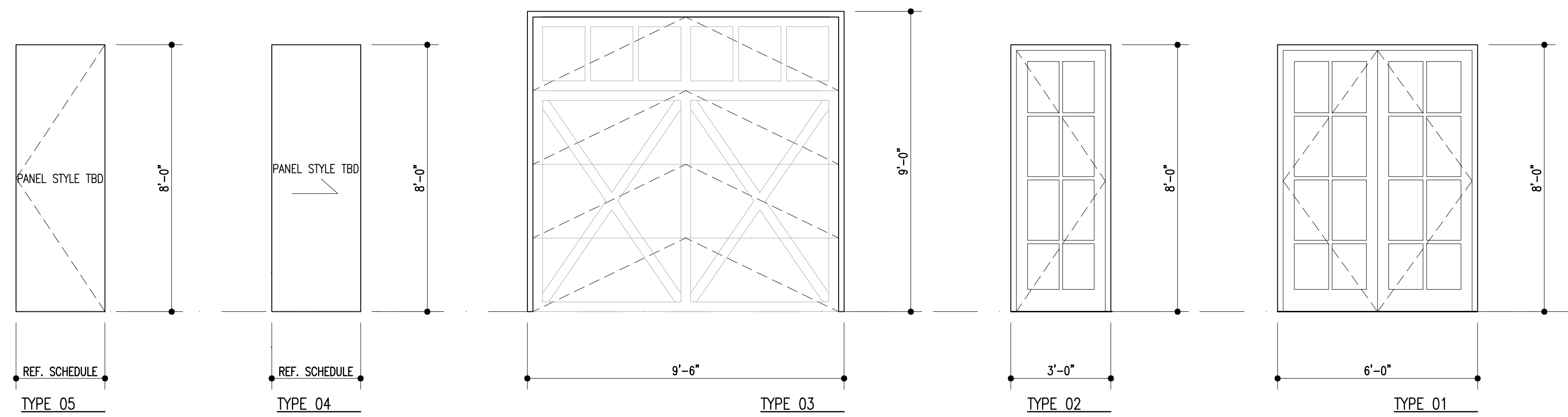
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DOOR TYPES
 & SCHEDULE

A4.00

DOOR		THICKNESS (1 3/4" UNO)	SPECIFICATION			DIVIDED LITE		COLOR		HARDWARE		REMARKS:	NO.	
NO.	TYPE		SIZE (W X H)	MANUFACTURER	MATERIAL	GLASS TYPE	JAMB	PROFILE	SIZE	EXTERIOR	INTERIOR			LOCKSET
101	01		6'-0" x 8'-0"		METAL-CLAD WOOD	INSULATED		STANDARD	7/8	DARK BRONZE	CLEAR		ANT. BRZ.	101
102	01		6'-0" x 8'-0"		METAL-CLAD WOOD	INSULATED		STANDARD	7/8	DARK BRONZE	CLEAR		ANT. BRZ.	102
103	01		6'-0" x 8'-0"		METAL-CLAD WOOD	INSULATED		STANDARD	7/8	DARK BRONZE	CLEAR		ANT. BRZ.	103
104	01		6'-0" x 8'-0"		METAL-CLAD WOOD	INSULATED		STANDARD	7/8	DARK BRONZE	CLEAR		ANT. BRZ.	104
105	01		6'-0" x 8'-0"		METAL-CLAD WOOD	INSULATED		STANDARD	7/8	DARK BRONZE	CLEAR		ANT. BRZ.	105
106	01		6'-0" x 8'-0"		METAL-CLAD WOOD	INSULATED		STANDARD	7/8	DARK BRONZE	CLEAR		ANT. BRZ.	106
107	02		3'-0" x 8'-0"		METAL-CLAD WOOD	INSULATED		STANDARD	7/8	DARK BRONZE	CLEAR		ANT. BRZ.	107
108	03		9'-6" x 9'-0"		METAL-CLAD WOOD	INSULATED		STANDARD	7/8	DARK BRONZE	CLEAR		ANT. BRZ.	108
109	03		9'-6" x 9'-0"		METAL-CLAD WOOD	INSULATED		STANDARD	7/8	DARK BRONZE	CLEAR		ANT. BRZ.	109
110	05		3'-0" x 8'-0"		TRUSTILE	WOOD							T.B.D.	110
111	04		2'-6" x 8'-0"		TRUSTILE	WOOD							T.B.D.	111
112	05		2'-6" x 8'-0"		TRUSTILE	WOOD							T.B.D.	112
113	05		3'-0" x 8'-0"		TRUSTILE	WOOD							T.B.D.	113
114	05		3'-0" x 8'-0"		TRUSTILE	WOOD							T.B.D.	114
115	04		3'-0" x 8'-0"		TRUSTILE	WOOD							T.B.D.	115
116	05		3'-0" x 8'-0"		TRUSTILE	WOOD							T.B.D.	116
117	04		2'-6" x 8'-0"		TRUSTILE	WOOD							T.B.D.	117
118	05		2'-6" x 8'-0"		TRUSTILE	WOOD							T.B.D.	118
201	05		2'-6" x 8'-0"		TRUSTILE	WOOD							T.B.D.	201
202	04		2'-6" x 8'-0"		TRUSTILE	WOOD							T.B.D.	202
203	05		3'-0" x 8'-0"		TRUSTILE	WOOD							T.B.D.	203
204	05		2'-6" x 8'-0"		TRUSTILE	WOOD							T.B.D.	204
205	04		2'-6" x 8'-0"		TRUSTILE	WOOD							T.B.D.	205
001	04		3'-0" x 8'-0"		TRUSTILE	WOOD							T.B.D.	001
002	04		3'-0" x 8'-0"		TRUSTILE	WOOD							T.B.D.	002
003	04		2'-6" x 8'-0"		TRUSTILE	WOOD							T.B.D.	002
004	04		2'-6" x 8'-0"		TRUSTILE	WOOD							T.B.D.	004
005	05		2'-6" x 8'-0"		TRUSTILE	WOOD							T.B.D.	005

- DOOR NOTES:
- 1) MANUFACTURER TO SUBMIT SHOP DRAWINGS TO THE CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION
 - 2) UNITS MARKED WITH "*" INDICATE DIMENSIONS THAT NEED TO BE VERIFIED BY THE MANUFACTURER
 - 3) STEEL DOORS TO HAVE LoE-366 INSULATED GLAZING WITH U VALUE OF .29 AND SHGC OF .25
 - 4) GLAZING TO HAVE U FACTOR .35 MAX / SHGC .25 MAX PER ENERGY CODE
 - 5) ALL DOORS BETWEEN AC SPACES AND NON-AC SPACES TO BE INSULATED AND WEATHER-STRIPPED
 - 6) ALL GARAGE DOORS TO BE INSULATED
 - 7) DOOR AND WINDOW UNITS OF SAME DIMENSION TO ALIGN
 - 8) ALL VERTICAL DIMENSIONS MEASURED FROM FLOOR FINISH
 - 11) INTERIOR FINISH TO BE COORDINATED WITH INTERIOR DESIGNER

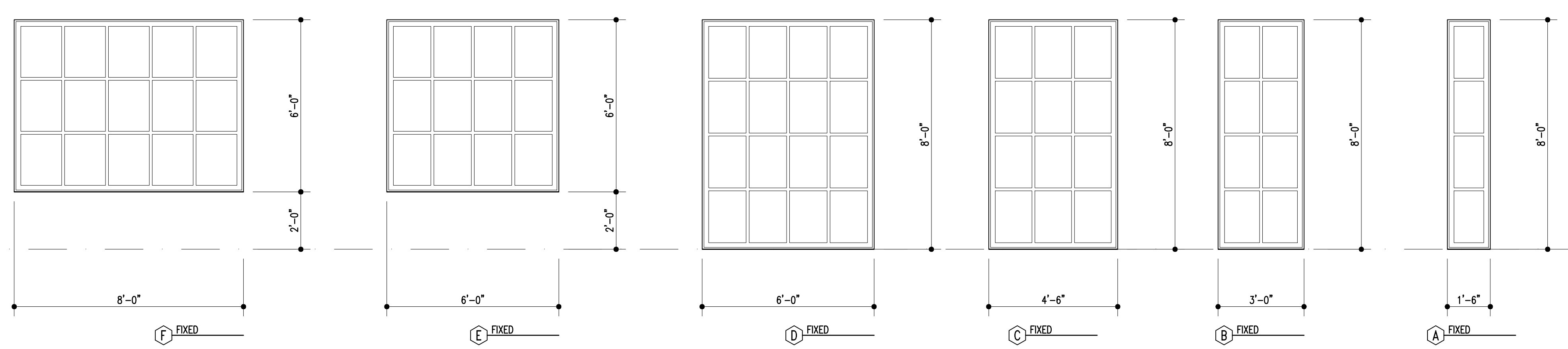
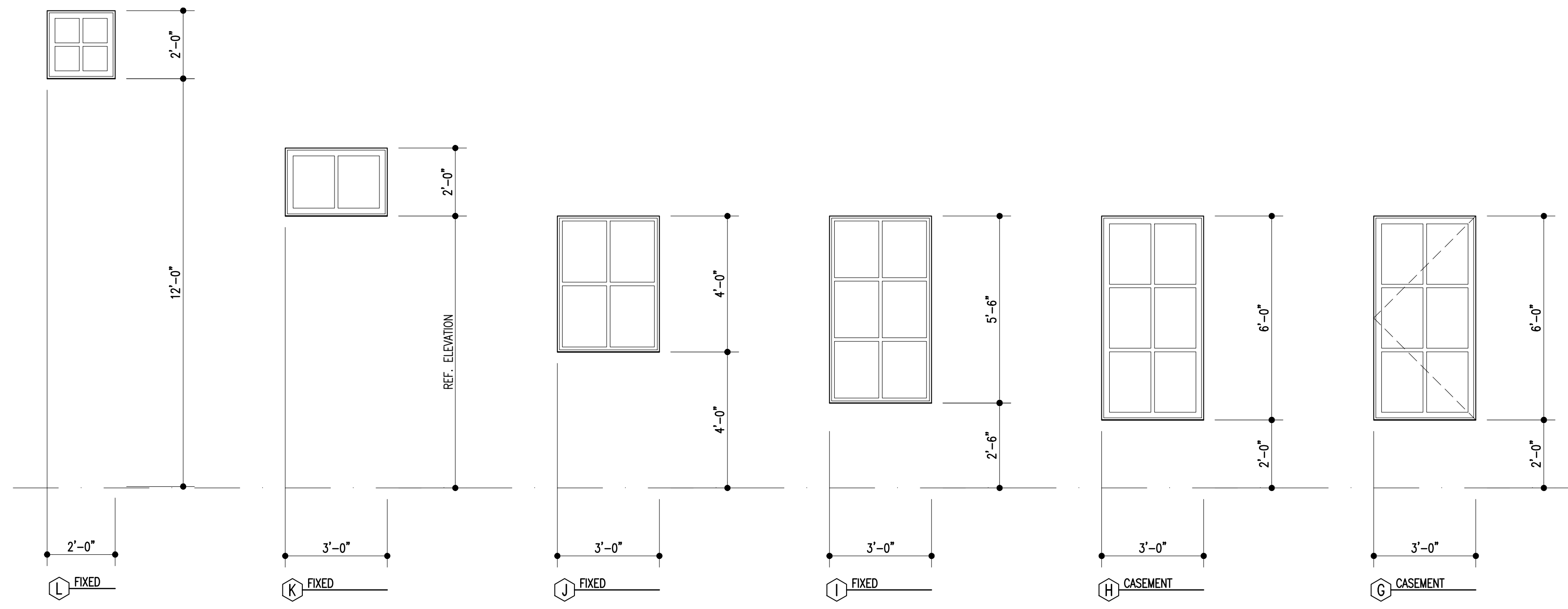




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WINDOW				SPECIFICATION				DIVIDED LITE		COLOR		REMARKS:	MARK
MARK	TYPE	(+EGRESS)	SIZE (W X H)	MANUFACTURER	MATERIAL	GLASS TYPE	SCREEN	JAMB	PROFILE	SIZE	EXTERIOR		
A	DIRECT SET		1'-6" x 8'-0"	KOLBE & KOLBE	METAL-CLAD WOOD	INSULATED		4 1/2	STANDARD	7/8	DARK BRONZE	CLEAR	A
B	DIRECT SET		3'-0" x 8'-0"	KOLBE & KOLBE	METAL-CLAD WOOD	INSULATED		4 1/2	STANDARD	7/8	DARK BRONZE	CLEAR	B
C	DIRECT SET		4'-6" x 8'-0"	KOLBE & KOLBE	METAL-CLAD WOOD	INSULATED		4 1/2	STANDARD	7/8	DARK BRONZE	CLEAR	C
D	DIRECT SET		6'-0" x 8'-0"	KOLBE & KOLBE	METAL-CLAD WOOD	INSULATED		4 1/2	STANDARD	7/8	DARK BRONZE	CLEAR	D
E	DIRECT SET		6'-0" x 6'-0"	KOLBE & KOLBE	METAL-CLAD WOOD	INSULATED		4 1/2	STANDARD	7/8	DARK BRONZE	CLEAR	E
F	DIRECT SET		8'-0" x 6'-0"	KOLBE & KOLBE	METAL-CLAD WOOD	INSULATED		4 1/2	STANDARD	7/8	DARK BRONZE	CLEAR	F
G	DIRECT SET		3'-0" x 6'-0"	KOLBE & KOLBE	METAL-CLAD WOOD	INSULATED		4 1/2	STANDARD	7/8	DARK BRONZE	CLEAR	G
H	DIRECT SET		3'-0" x 5'-6"	KOLBE & KOLBE	METAL-CLAD WOOD	INSULATED		4 1/2	STANDARD	7/8	DARK BRONZE	CLEAR	H
I	DIRECT SET		3'-0" x 4'-0"	KOLBE & KOLBE	METAL-CLAD WOOD	INSULATED		4 1/2	STANDARD	7/8	DARK BRONZE	CLEAR	I
J	DIRECT SET		3'-0" x 2'-0"	KOLBE & KOLBE	METAL-CLAD WOOD	INSULATED		4 1/2	STANDARD	7/8	DARK BRONZE	CLEAR	J
K	DIRECT SET		2'-0" x 2'-0"	KOLBE & KOLBE	METAL-CLAD WOOD	INSULATED		4 1/2	STANDARD	7/8	DARK BRONZE	CLEAR	K

- WINDOW NOTES:
- 1) ALL DIMENSIONS PROVIDED ARE TO OUTSIDE OF FRAME, UNLESS NOTED OTHERWISE (U.N.O.)
 - 2) MANUFACTURER TO SUBMIT SHOP DRAWINGS TO THE CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION
 - 3) UNITS MARKED WITH "*" INDICATE DIMENSIONS THAT NEED TO BE VERIFIED BY THE MANUFACTURER
 - 4) STEEL WINDOWS TO HAVE LoE-366 INSULATED GLAZING WITH U VALUE OF .29 AND SHGC OF .25
 - 5) GLAZING TO HAVE U FACTOR .35 MAX / SHGC .25 MAX PER ENERGY CODE
 - 6) ANY HAZARDOUS GLAZING LOCATIONS PER IRC CODE R308.4 SHALL BE TEMPERED
 - 7) CASEMENT WINDOWS TO BE SIDE HUNG AND SWINGING OUT WITH INSECT SCREENS FOR ALL OPERATING VENTILATORS
 - 8) REFERENCE EXTERIOR ELEVATIONS FOR CASEMENT SWING DIRECTION
 - 9) FIELD VERIFY ALL CORNER UNITS
 - 10) INTERIOR FINISH TO BE COORDINATED WITH INTERIOR DESIGNER



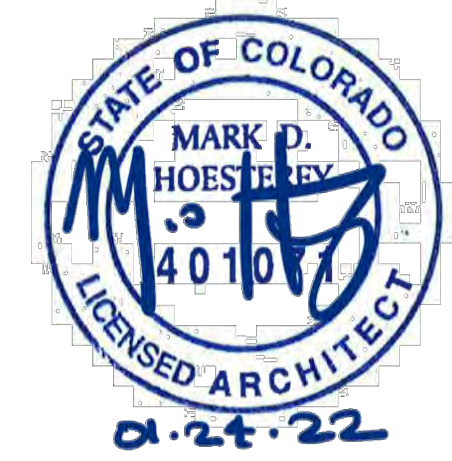
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SHM PROJECT #
 21-070

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WINDOW TYPES
 & SCHEDULE

A4.01



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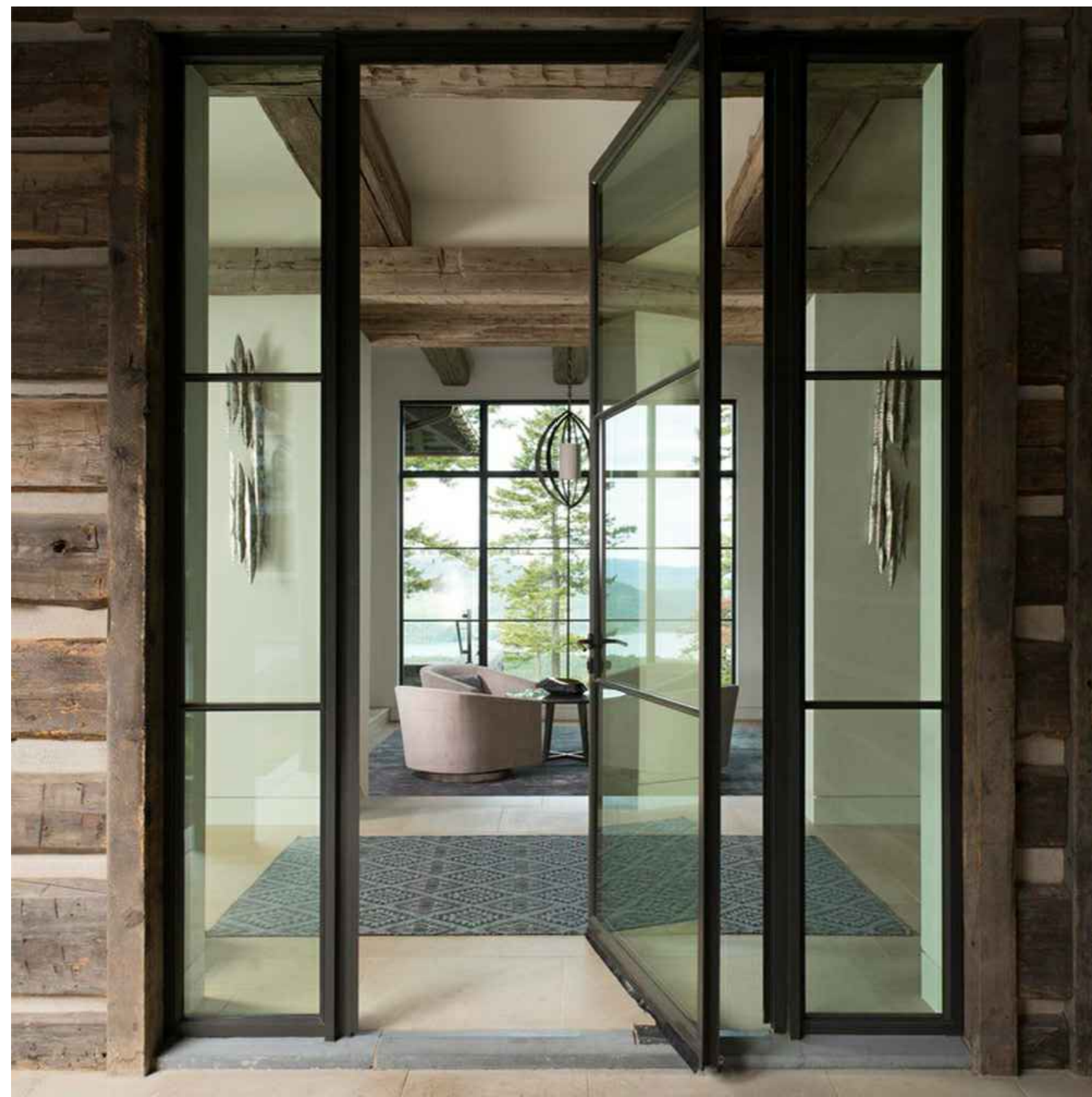
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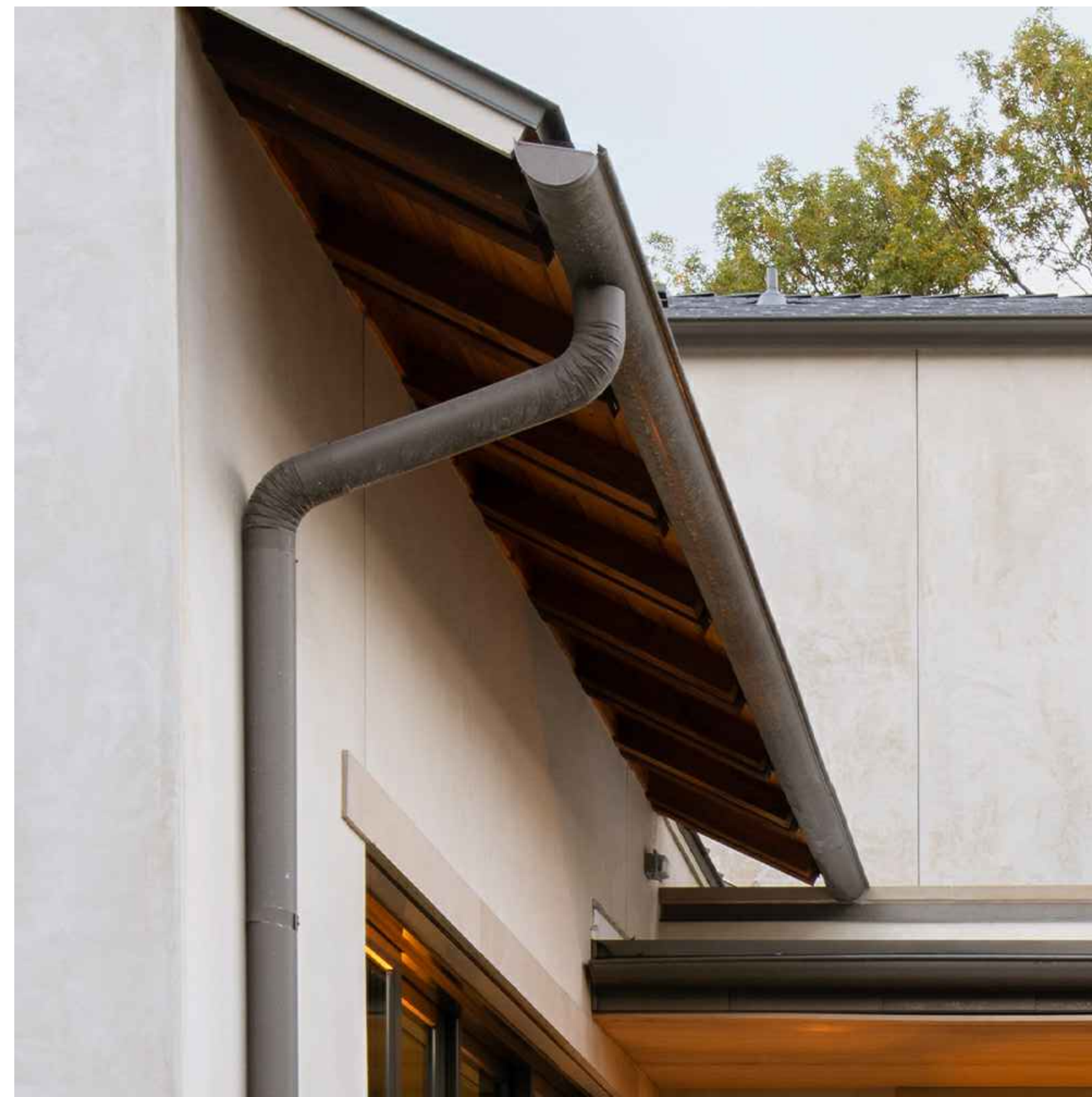
ISSUE DATE
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EXTERIOR MATERIALS

A5.00



WINDOWS AND DOORS - BLACK



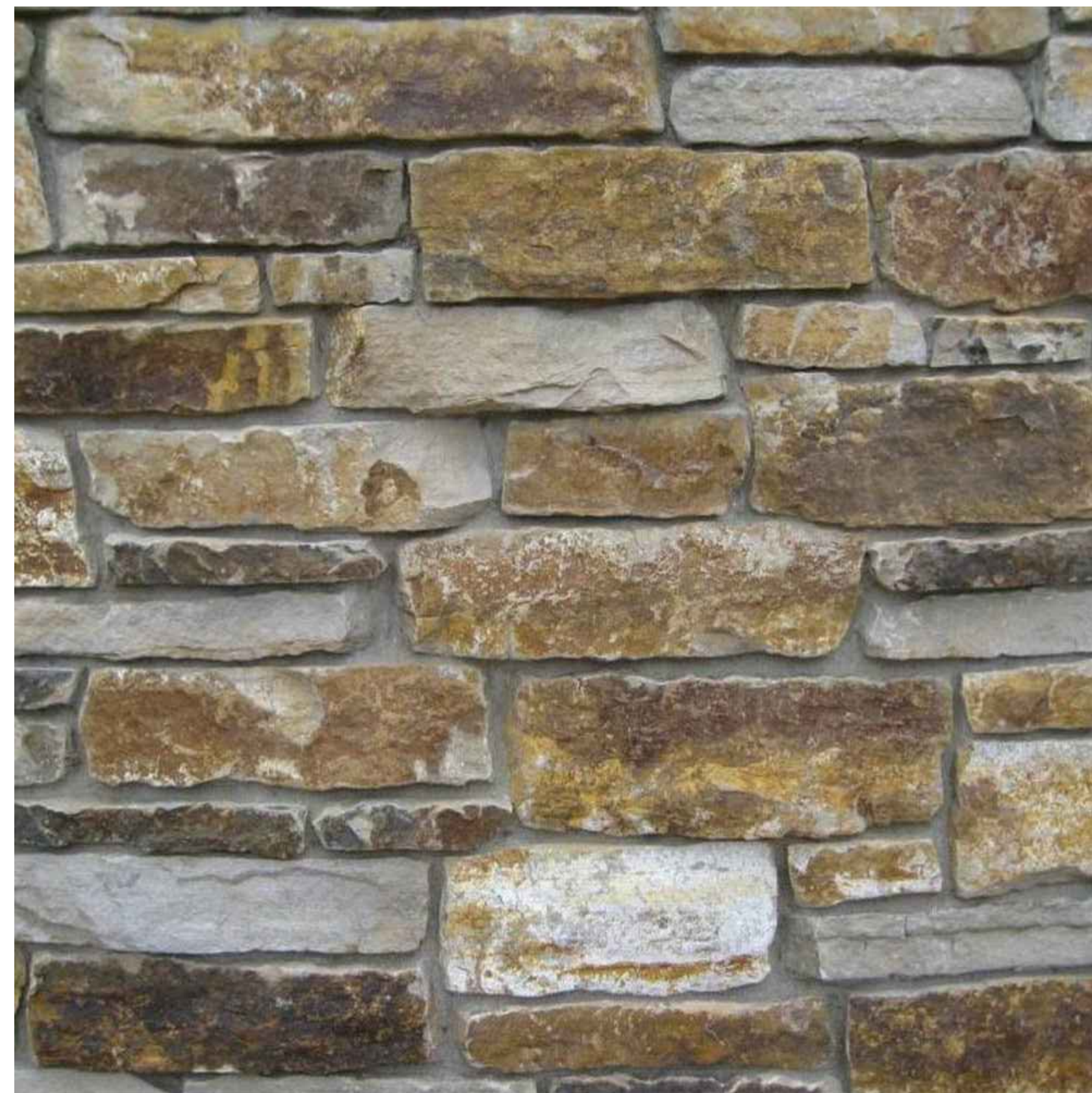
HALF ROUND STEEL GUTTER AND DOWN SPOUT



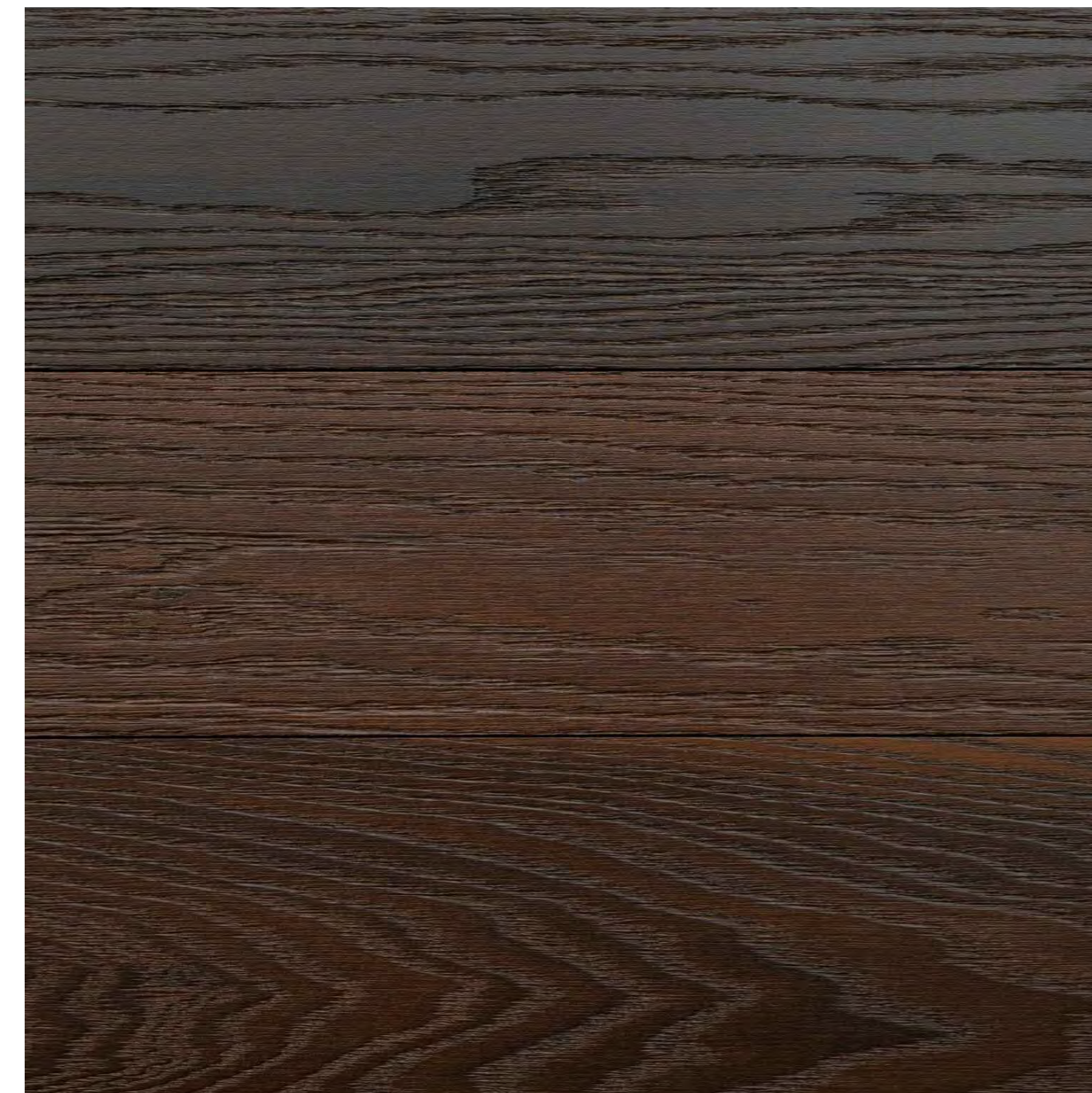
STANDING SEAM METAL ROOF



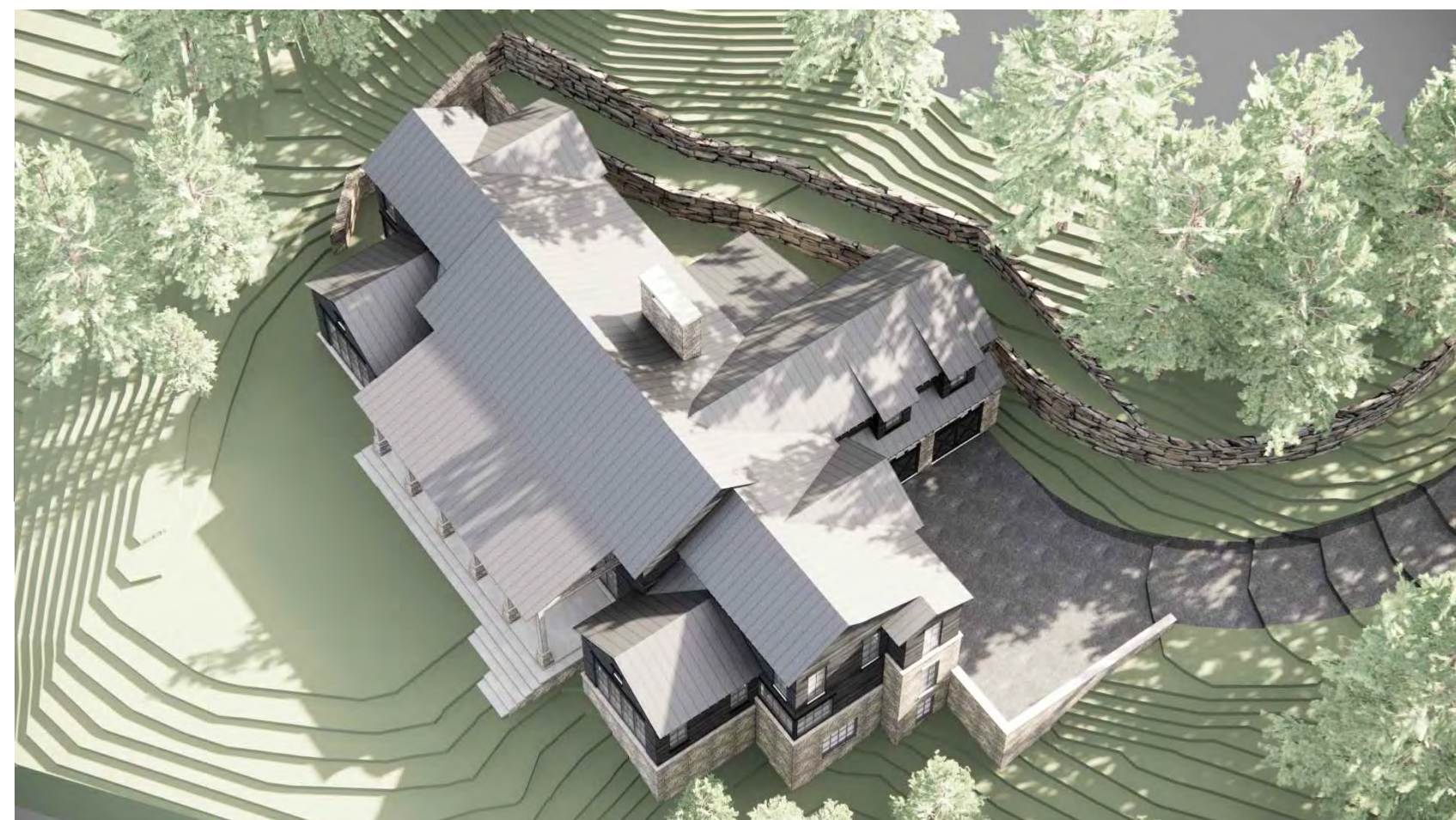
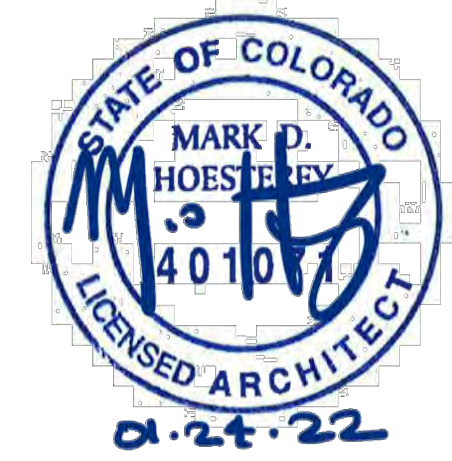
WOOD COLUMNS



ROUGH STONE



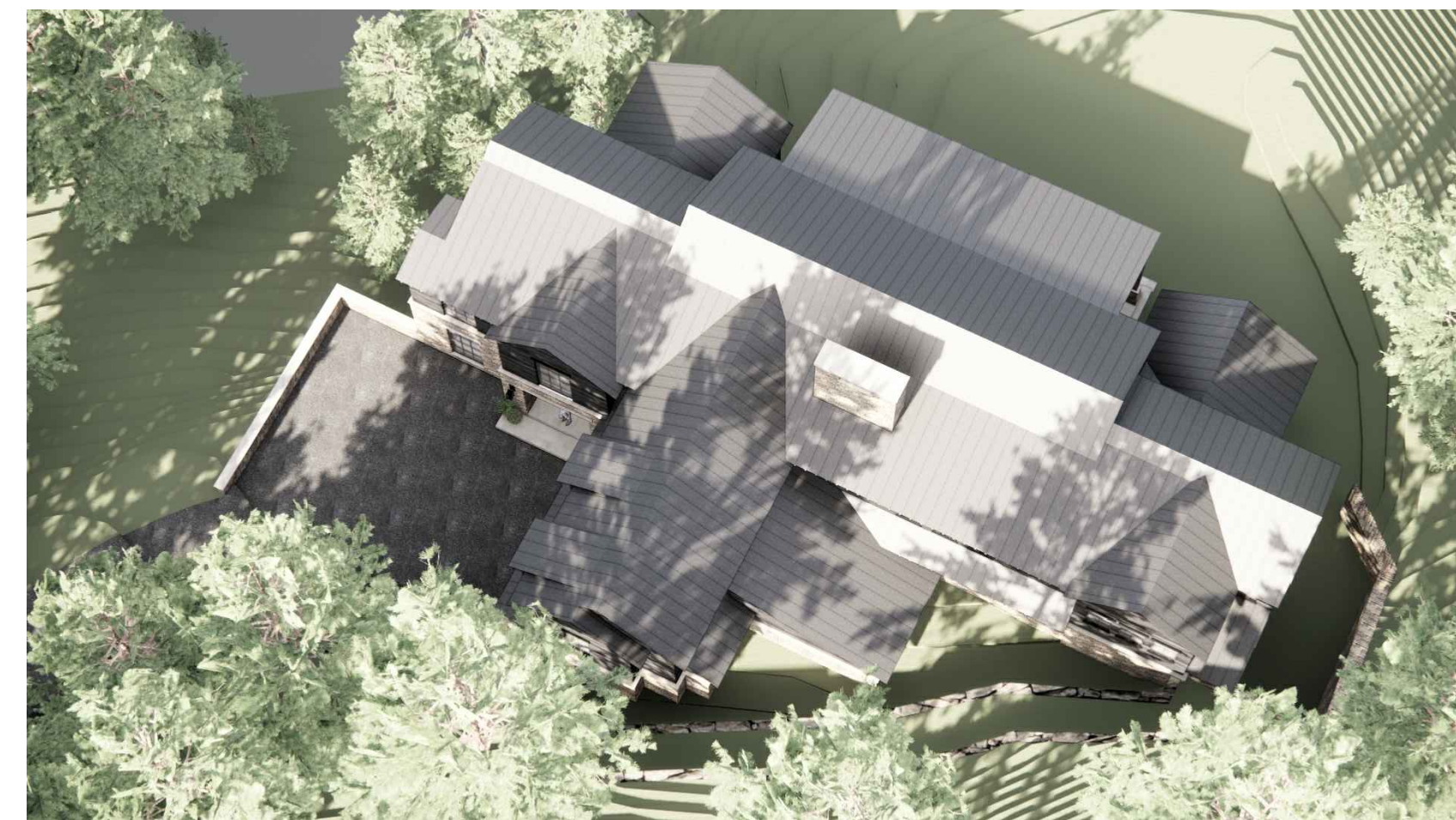
WOOD SIDING



OVERVIEW LOOKING NORTH EAST



OVERVIEW LOOKING NORTH EAST



OVERVIEW LOOKING NORTH



OVERVIEW LOOKING SOUTH WEST



OVERVIEW LOOKING SOUTH



OVERVIEW LOOKING SOUTH EAST

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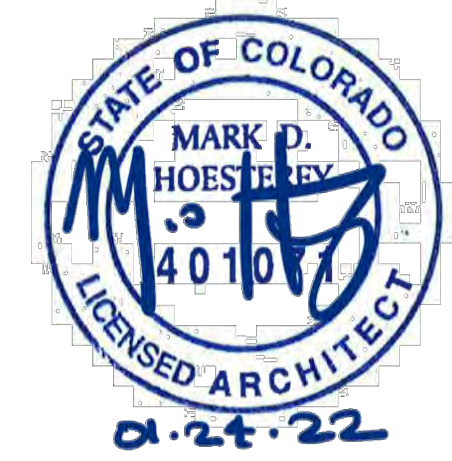
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RENDERINGS

A5.01



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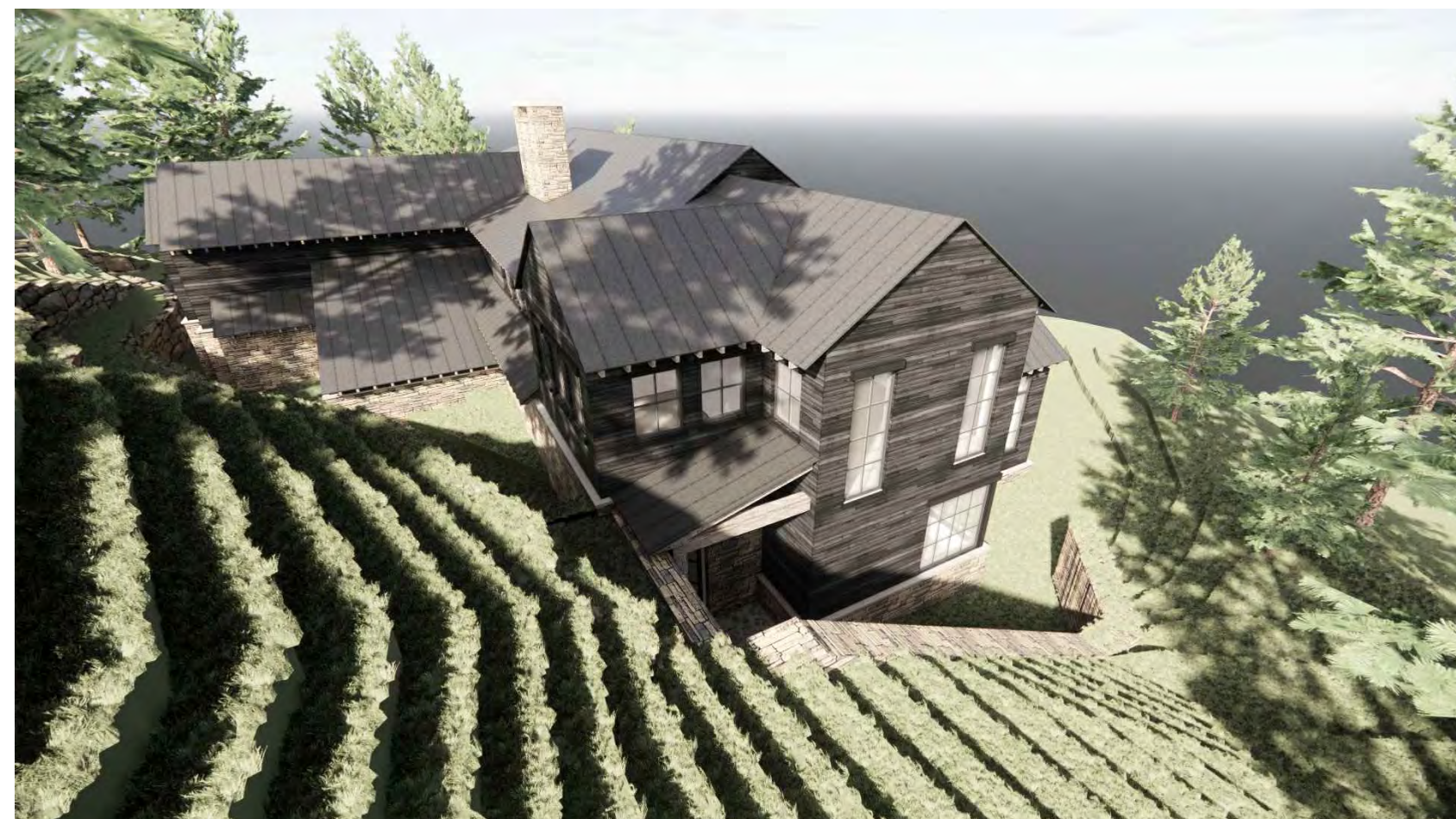
DRIVE IN LOOKING NORTH



ENTRY LOOKING NORTH



ENTRY FROM BOULDER WALL LOOKING NORTH



VIEW FROM RETAINING WALL LOOKING WEST



VIEW FROM BOULDER WALL LOOKING NORTH WEST



BASEMENT VIEW LOOKING EAST



VIEW FROM SKI ENTRY LOOKING SOUTH WEST



VIEW FROM REAR LOGGIA LOOKING SOUTH



VIEW LOOKING SOUTH EAST

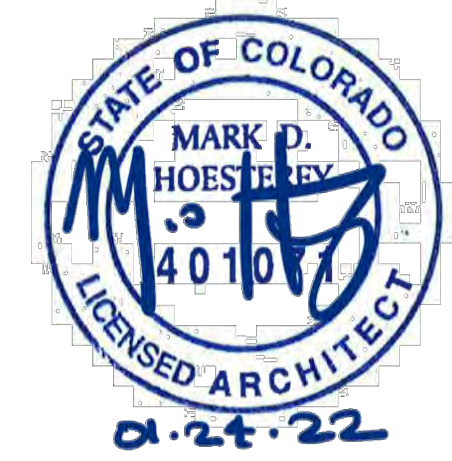
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RENDERINGS

A5.02



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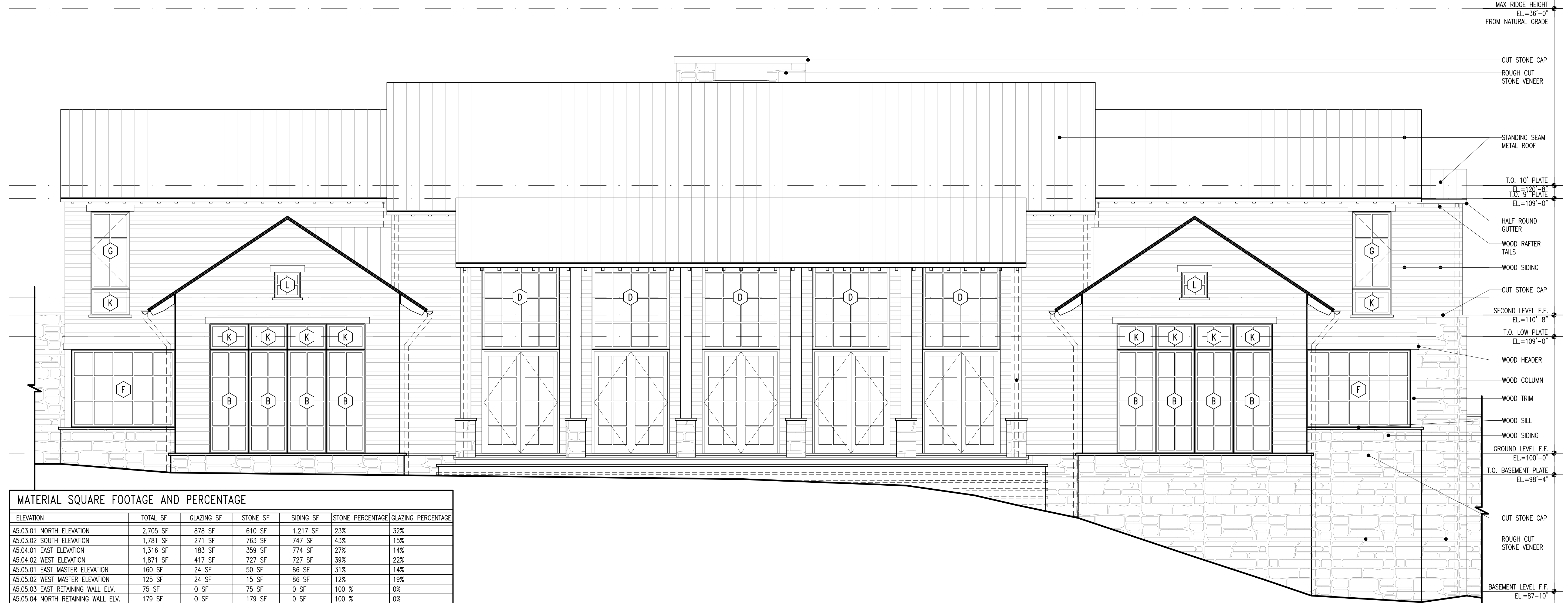
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EXTERIOR ELEVATIONS

A5.03



02 SOUTH ELEVATION
 SCALE: 1/4"=1'-0"



01 NORTH ELEVATION
 SCALE: 1/4"=1'-0"

MATERIAL SQUARE FOOTAGE AND PERCENTAGE						
ELEVATION	TOTAL SF	GLAZING SF	STONE SF	SIDING SF	STONE PERCENTAGE	GLAZING PERCENTAGE
A5.03.01 NORTH ELEVATION	2,705 SF	878 SF	610 SF	1,217 SF	23%	32%
A5.03.02 SOUTH ELEVATION	1,781 SF	271 SF	763 SF	747 SF	43%	15%
A5.04.01 EAST ELEVATION	1,316 SF	183 SF	359 SF	774 SF	27%	14%
A5.04.02 WEST ELEVATION	1,871 SF	417 SF	727 SF	727 SF	39%	22%
A5.05.01 EAST MASTER ELEVATION	160 SF	24 SF	50 SF	86 SF	31%	14%
A5.05.02 WEST MASTER ELEVATION	125 SF	24 SF	15 SF	86 SF	12%	19%
A5.05.03 EAST RETAINING WALL ELV.	75 SF	0 SF	75 SF	0 SF	100 %	0%
A5.05.04 NORTH RETAINING WALL ELV.	179 SF	0 SF	179 SF	0 SF	100 %	0%
A5.05.05 SOUTH RETAINING WALL ELV.	38 SF	0 SF	38 SF	0 SF	100 %	0%
A5.05.06 WEST RETAINING WALL ELV.	169 SF	0 SF	169 SF	0 SF	100 %	0%
TOTAL	8,419 SF	1,797 SF	2,985 SF	3,637 SF	35 %	21%

REFER A5.03 FOR MATERIAL CALCULATIONS AND PERCENTAGES

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EXTERIOR ELEVATIONS

A5.04



02 WEST ELEVATION
 SCALE: 1/4"=1'-0"



01 EAST ELEVATION
 SCALE: 1/4"=1'-0"

REFER A5.03 FOR MATERIAL CALCULATIONS AND PERCENTAGES

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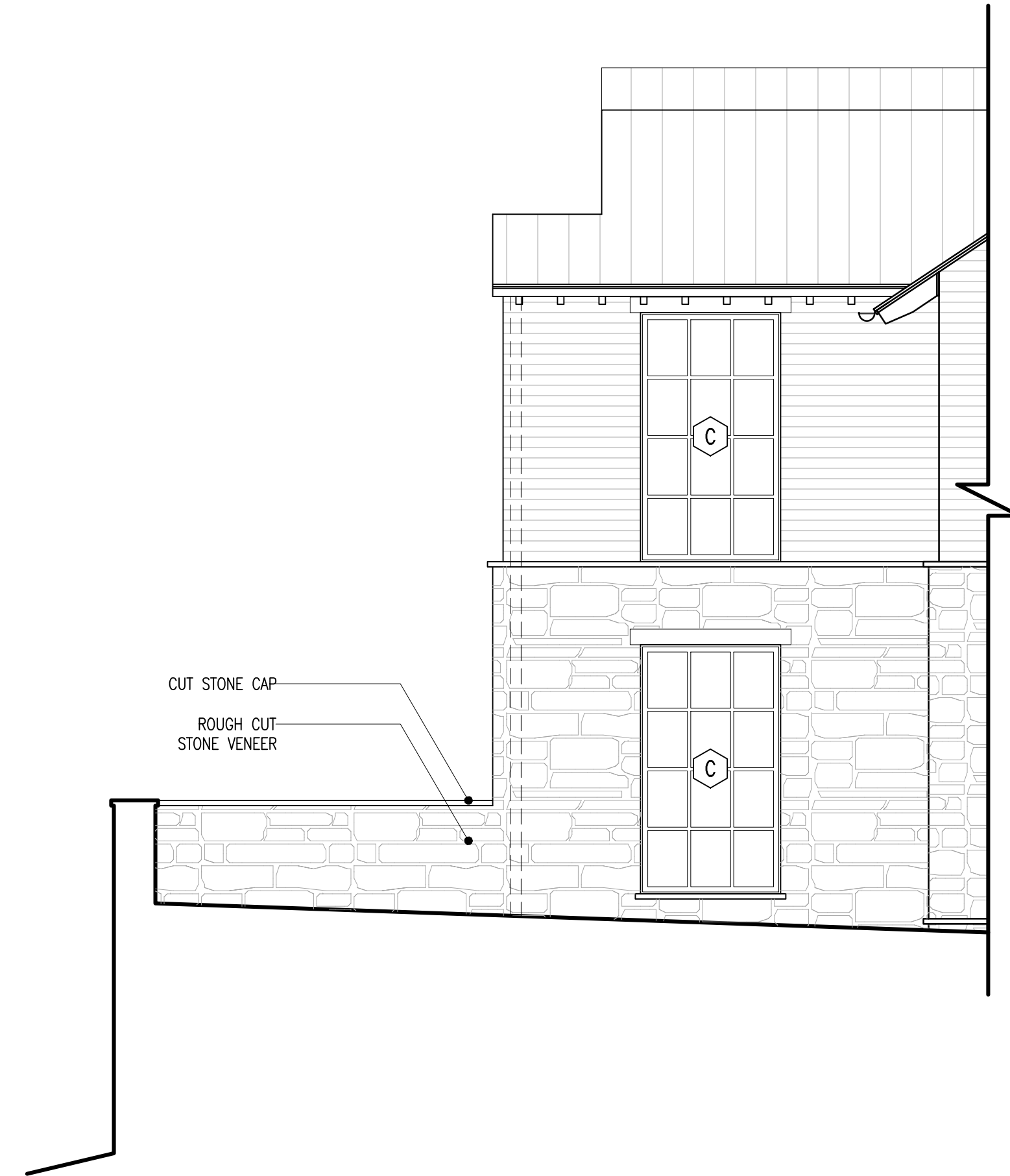
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EXTERIOR ELEVATIONS

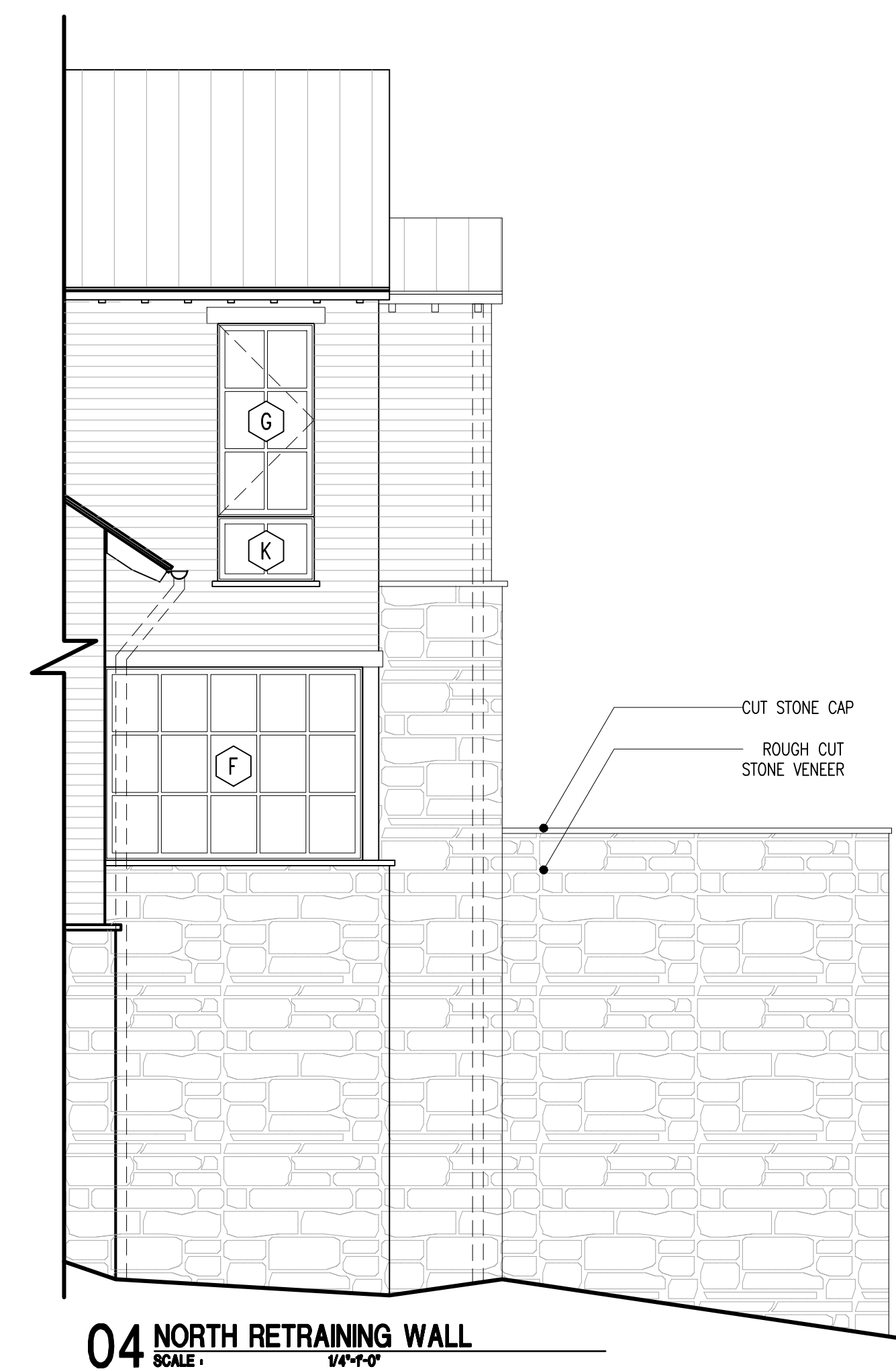
A5.05



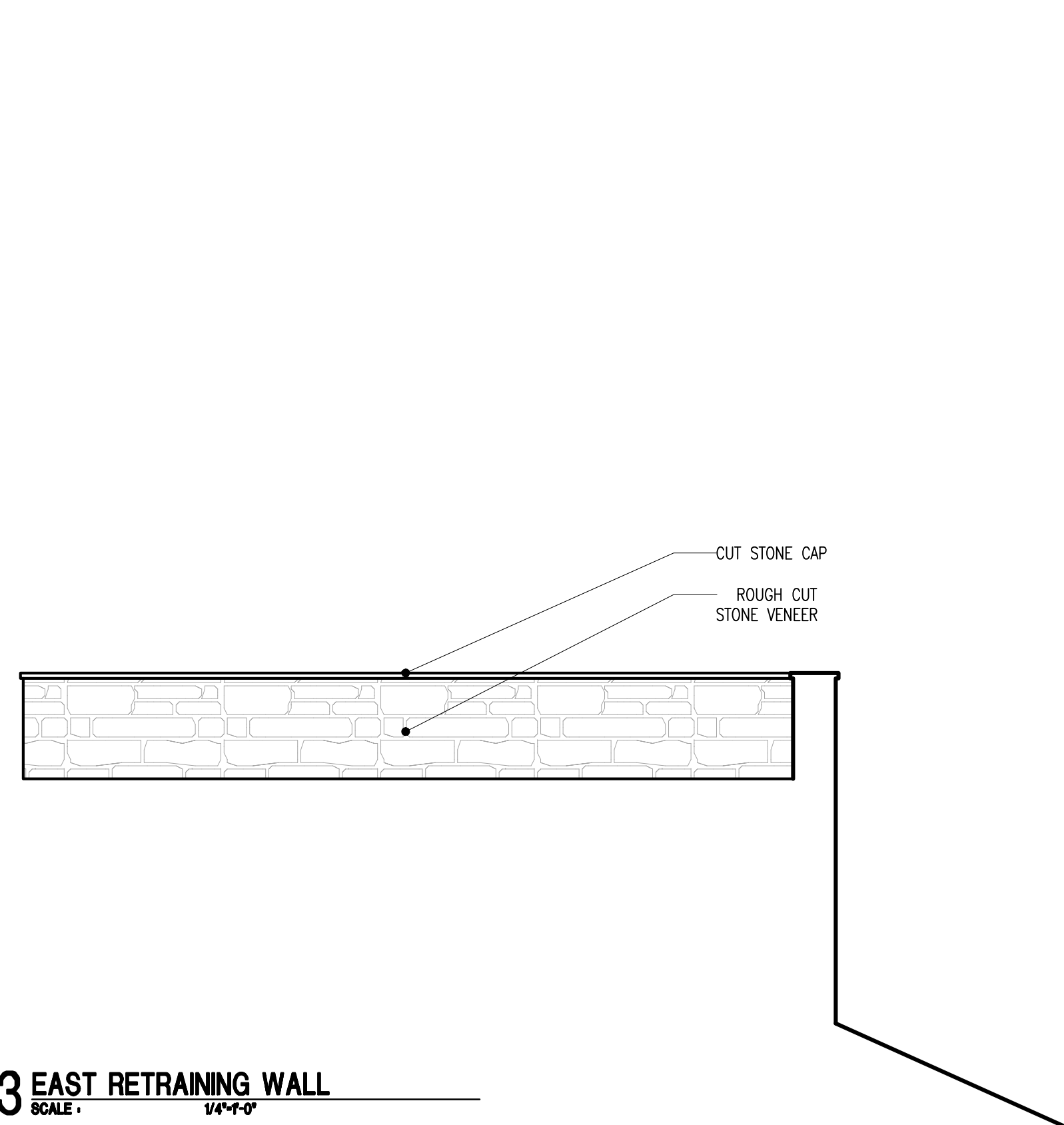
06 WEST RETRAINING WALL
 SCALE: 1/4"=1'-0"



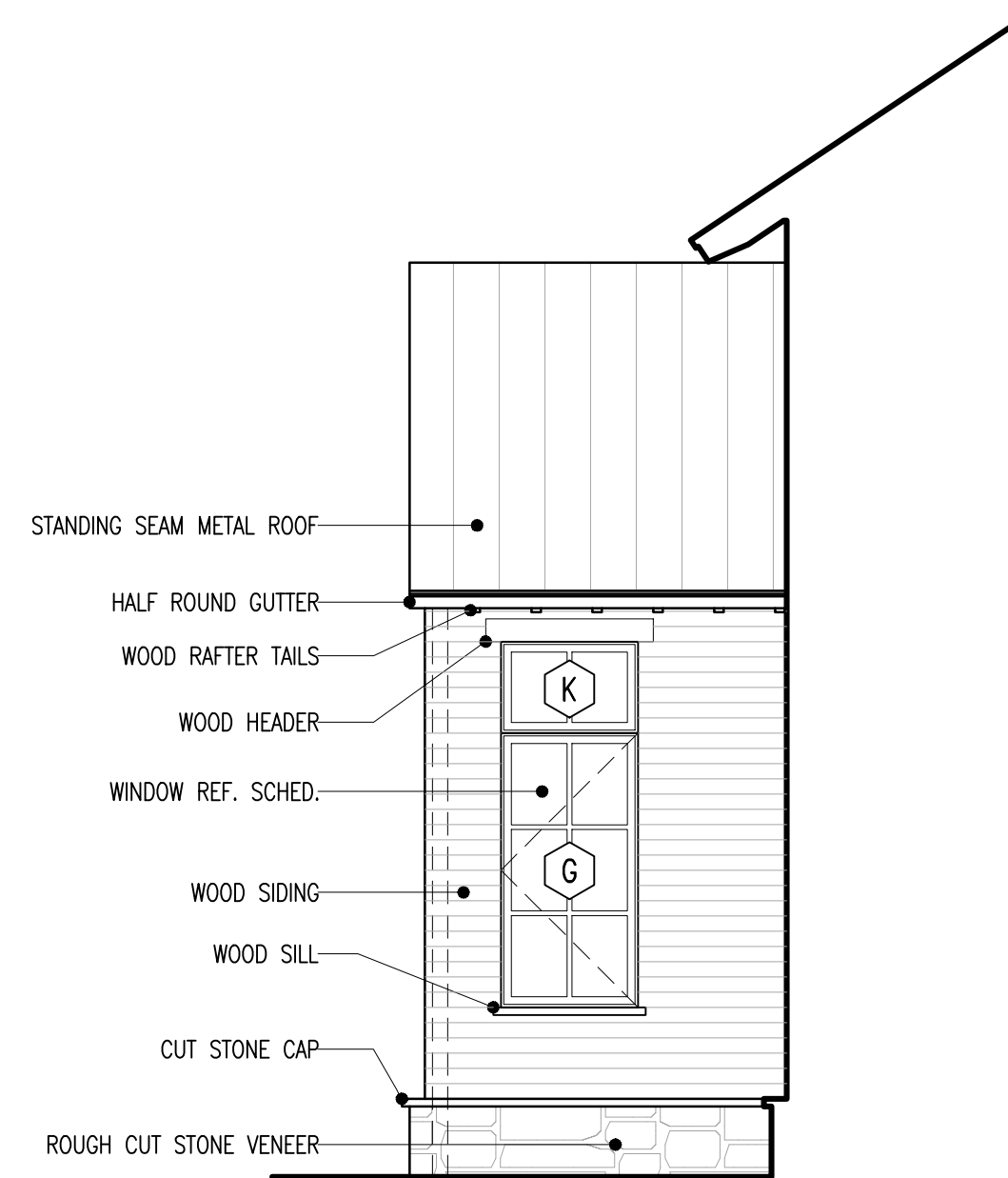
05 SOUTH RETRAINING WALL
 SCALE: 1/4"=1'-0"



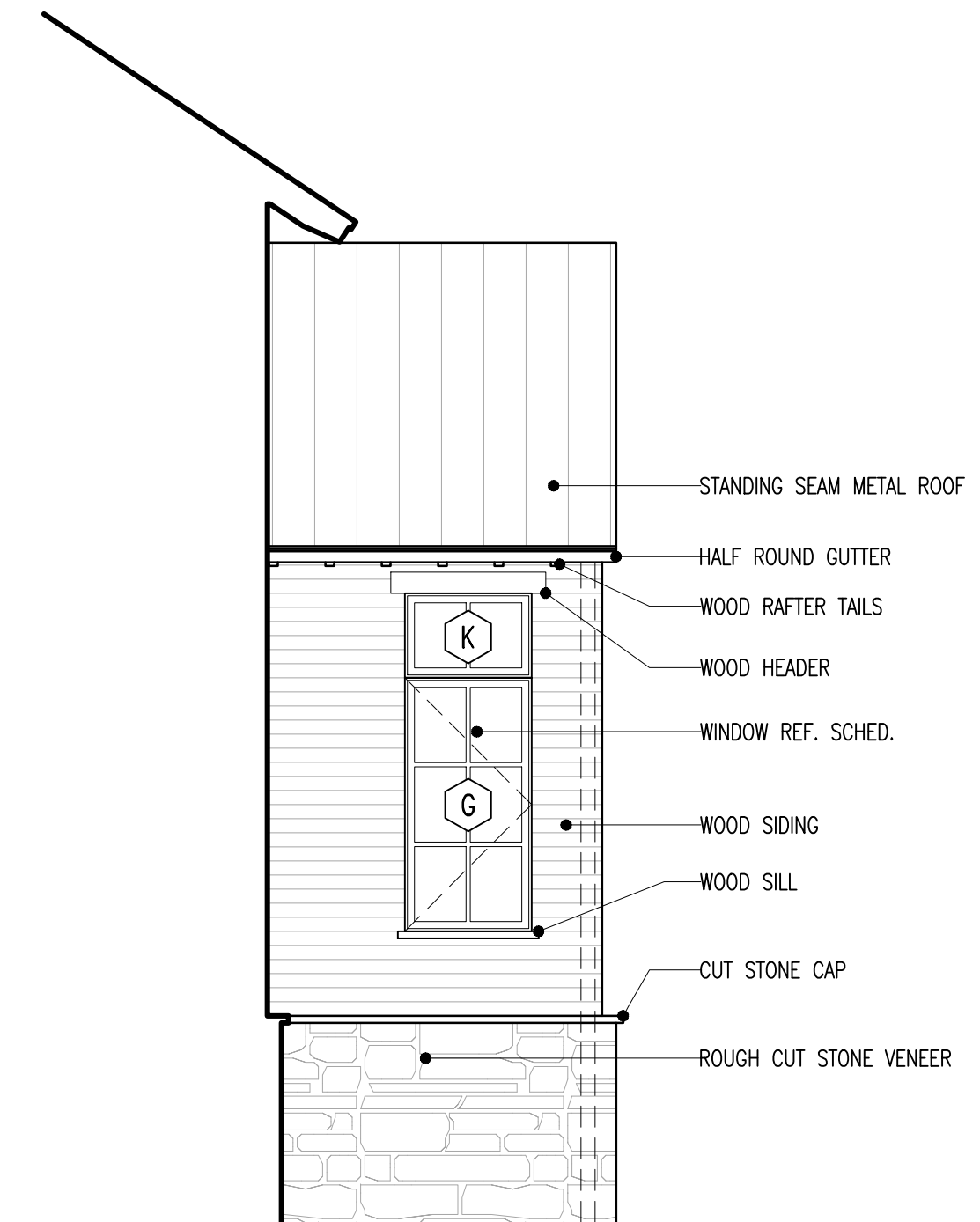
04 NORTH RETRAINING WALL
 SCALE: 1/4"=1'-0"



03 EAST RETRAINING WALL
 SCALE: 1/4"=1'-0"



02 WEST MASTER ELEVATION
 SCALE: 1/4"=1'-0"



01 EAST MASTER ELEVATION
 SCALE: 1/4"=1'-0"

John A. Miller

From: Finn KJome
Sent: Tuesday, May 24, 2022 4:35 PM
To: John A. Miller
Subject: RE: Referral - Design Review Lot 22B 113 Palmyra Dr

John,
This looks like a good project. Public Works has no issues with this application.
Finn

From: John A. Miller <JohnMiller@mtnvillage.org>
Sent: Friday, May 20, 2022 3:02 PM
To: Finn KJome <FKJome@mtnvillage.org>; Steven LeHane <SLeHane@mtnvillage.org>; Jim Loebe <JLoebe@mtnvillage.org>; Chris Broady <CBroady@mtnvillage.org>; brien.gardner@blackhillscorp.com; kirby.bryant@centurylink.com; sheidergott@telluridefire.com; benjamin.wiles@smpa.com
Cc: JD Wise <JWise@mtnvillage.org>
Subject: Referral - Design Review Lot 22B 113 Palmyra Dr

Good Afternoon All –
Please find the following referral for a new single-family home on Palmyra Drive.

https://townofmountainvillage.com/site/assets/files/37643/initial_architecture_and_site_review_lot_220b-113_palmyra_dr.pdf

Please provide comments by responding to this email and don't hesitate to let me know if there are any questions or concerns.

Best,
J

John A Miller III
Planning & Development Services
Town of Mountain Village
455 Mountain Village Blvd, Suite A
Mountain Village, CO 81435
O :: 970.369.8203
C :: 970.417.1789



For information about The Town of Mountain Village's response to COVID-19 (Coronavirus), please visit townofmountainvillage.com/coronavirus/

John A. Miller

From: Scott Heidergott <sheidergott@telluridefire.com>
Sent: Monday, May 23, 2022 12:23 PM
To: John A. Miller
Subject: Re: Referral - Design Review Lot 22B 113 Palmyra Dr

John,

TFPD approves the proposal with the following conditions:

- 1) The structure is over 3,600 sq ft and shall require a monitored sprinkler system.
- 2) The width of the driveway shall meet the code of 16-feet total width. 12-feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.
- 3) The address monument shall be a minimum of 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated, or outlined with a reflective coating.
- 4) TFPD recommends the installation of a Knox Box for emergency entry into the structure.

On Fri, May 20, 2022 at 3:02 PM John A. Miller <JohnMiller@mtnvillage.org> wrote:

Good Afternoon All –

Please find the following referral for a new single-family home on Palmyra Drive.

https://townofmountainvillage.com/site/assets/files/37643/initial_architecture_and_site_review_lot_220b-113_palmyra_dr.pdf

Please provide comments by responding to this email and don't hesitate to let me know if there are any questions or concerns.

Best,

J

John A Miller III

Planning & Development Services

Town of Mountain Village

455 Mountain Village Blvd, Suite A



TO: Mountain Village Design Review Board
FROM: John Miller, Principal Planner
FOR: Design Review Board Public Hearing; June 2, 2022
DATE: May 20, 2022
RE: Staff Memo – Initial Architecture and Site Review; Lot 3R, 158 Vischer Drive

APPLICATION OVERVIEW: New Single-Family Home, Lot 3R

PROJECT GEOGRAPHY

Legal Description: LOT 3 AKA LOT R3 TELLURIDE MOUNTAIN VILLAGE FILING 1

Address: 158 Vischer Drive
Applicant/Agent: Shift Architects LLC
Owner: Moran Mountain Properties
Zoning: Single-Family
Existing Use: Vacant Lot
Proposed Use: Single-Family
Lot Size: .97 acres
Adjacent Land Uses:

- **North:** Open Space
- **South:** Single-Family
- **East:** Single-Family
- **West:** Open Space



Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set
Exhibit B: Staff/Public Comment

Case Summary: Kristine Perpar of Shift Architects (Applicant) on behalf of Moran Mountain Properties, the owner of Lot 3R is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home at 158 Vischer Drive. The improvement survey plat indicates that Lot R3 is 0.97 acres in size. The overall square footage of the home is approximately 8,229 gross square feet and provides two interior parking spaces within the proposed garage and two exterior spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by Italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	40' (gable) Maximum	39'-11 ¼"
Maximum Avg. Building Height	35' (gable) Maximum	26.46'
Maximum Lot Coverage	40% Maximum (s.f.)	17%
General Easement Setbacks	16 Feet – No Encroachments	Encroachments
Roof Pitch		
Primary		7:12
Secondary		2:12 and 1:12
Exterior Material		
Stone	35% minimum	49%
Windows/Doors	40% maximum	25%
Parking	2 Enclosed	2
	2 Surface	2

Design Variations

Road and Driveway Standards

Design Review Board Specific Approvals

General Easement Encroachments

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates primary gable roof forms with smaller secondary shed roof forms. The maximum building height must be below 40 feet and the average height must be at or below 35 feet for gabled roof forms. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Both heights are in compliance with the max average height shown at 24.46' and the max height shown at 39'-11 ¼". In addition, the applicant has provided a parallel plane analysis confirming that no portion of the home exceeds the allowed maximum height.

Staff: The application meets all height requirements.

17.3.14: General Easement Setbacks

Lot 89-3A is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: Due to the odd shape of Lot 3R, the driveway must cross the GE in two separate locations.*
- *Address Monument: The address monument is located at what appears to be the interface of the Right-of-Way and the GE. Staff requests that prior to final review, the address monument be shifted out of the ROW and moved into the GE of Lot 3R.*
- *Utilities: Gas, Water, Cable, Electric, and Phone are already located within Vischer Drive, directly adjacent to the Lot and will require crossing the GE to the home.*

In addition to the above, the proposal also includes setback encroachments that do not fall into the above category of permitted setback development activity:

- *Retaining walls: The applicant is proposing a retaining wall that impacts the GE to the northeast of the home.*
- *Western Staircase: The staircase on the west of the home is just slightly within the western GE.*

Staff: The DRB can waive the general easement setback or other setbacks and allow for prohibited encroachments such as structural or vertical plane encroachments if it's determined that the criteria of the CDC have been met. If DRB finds this application is meeting the criteria below, then a specific approval of these encroachments should be granted.

1. *The applicant has demonstrated that avoiding grading and disturbance in the general easement setback would create a hardship, and there is not a practicable alternative that allows for reasonable use of the lot;*
2. *The disturbance in the general easement setback is due to natural features of the site, such as steep slopes, wetlands and streams;*
3. *No unreasonable negative impacts result to the surrounding properties;*
4. *The general easement setback or other setback will be revegetated and landscaped in a natural state;*
5. *The Public Works Department has approved the permanent above-grade and below-grade improvements;*
6. *The applicant will enter into an encroachment agreement with the Town with the form and substance prescribed by the Town; and*
7. *Encroachments into the general easement setback or other setbacks are mitigated by appropriate landscaping, buffering and other measures directly related to mitigating the encroachment impacts.*

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to

evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The CDC provides design theme characteristics that attempt to link existing and new architecture throughout the Mountain Village. Although we have a broad spectrum of architectural mountain vernaculars, the link typically is accomplished through the use of strong material palettes of stone, metal, and wood.

The home at Lot 3R is designed in the mountain modern vernacular incorporating a primary gable roof form with secondary modern shed form that help to accent the home. The low angled secondary roofs help to step the home down in a subdued manner as the home moves down the hillside. The home is well grounded with close to 50% stone, and the siding elements help to project the otherwise low roof forms of the home upward.

Although the home is large in terms of square footage, the design has accomplished a certain minimization of the home's massing through its design and siting on the hillside. It appears based on the applicant's submittal that the material palette for the project blends well with both the surrounding community, as well as the overall modern mountain vernacular.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: Lot 3R is a 0.97-acre lot that slopes from a high point along Vischer Drive down to the low point at its boundary with Lower Village Bypass ski run. The aerial imagery indicates that the site is heavily vegetated with trees and grasses. A large area of the lot is located on slopes over 30%. In order to overcome these issues, the home has preserved a number of existing trees outside of the disturbance envelope and the retaining walls associated with the driveway actually limit the overall visibility of the home from Vischer Drive. From the provided renderings, the home appears to be visually subdued and subordinate to the surrounding landscape.

17.5.6: Building Design

Staff: The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation. In order to accomplish this, the applicant is proposing a Telluride Greystone that surrounds the base of the home and in some cases projects upwards to the upper floors. The stone wraps large areas of the home contrasts very nicely with the proposed vertical wood siding elements of the façade. The use of wood is limited to the siding, fascia and soffit of the home with the soffit material being a lighter stained finish.

The home's exterior palette as shown in the material sheet of the submission appears to blend well, providing some contrast between the stone, metal, and wood siding. The garage door is called out as being the same steel panels used on other areas of the home. Overall, it appears that the applicant is meeting the CDC Building Design requirements

The legend of page A1.3 references snowmelt, but there does not appear to be any snowmelt called out at this time. Prior to the final review, the following item should be addressed, and additional detail provided:

1. *Additional Materials: Chimney Cap shall be specified as applicable prior to final review.*

17.5.7: Grading and Drainage Design

Staff: The applicant provided a grading and drainage plan for initial review meeting the requirements of the CDC. The plan shows areas of grading and disturbance, as well as finished slope calculations and areas of retainage. Due to the size of the lot and the home, there is grading proposed within the GE as well as a retaining wall associated with the home. The plan does demonstrate the positive drainage away from the home in accordance with CDC requirements.

17.5.8: Parking Regulations

Staff: The CDC requires all single-family homes to provide two enclosed and two surface parking spaces. The applicant has shown a total of 2 enclosed and 2 surface spaces. The applicant is meeting the parking requirement and has shown parking space dimensions of 9'x18' for each space.

17.5.9: Landscaping Regulations

The applicant has provided a preliminary landscaping plan generally meeting the requirements of the CDC, but staff will note the following:

1. *Proposed irrigation is noted but the locations are not shown on the landscaping plan.*
2. *The applicant is not meeting the diversity of species requirements of the CDC and should include additional planting types to increase diversity prior to final review or request a design variation for this requirement.*

17.5.11: Utilities

Staff: All utilities are currently located within proximity to the home. The applicant shall work with the Public Works Director before final review to verify the specific locations of the connections for the home. The plan set shows the proposed connections and the locations of the proposed utilities based on field research.

17.5.12: Lighting Regulations

Staff: The applicant has provided a preliminary lighting plan at this time but is not required to do so until final review. Based on the submittal, it appears that the proposed lighting is subdued and minimalized with 14 total fixtures for the home. It should be noted that the LED strip light for the address monument was not shown and the specific cutsheet for this fixture will need to be provided. The applicant has provided a photometric study as required by the CDC, and is otherwise meeting the Lighting Regulations requirements.

17.5.13: Sign Regulations

Staff: The applicant has provided details for the address monument of the home. It appears that the monument's design is meeting the height requirement for numbering with a minimum numbering height of 54" required. The location of the monument is right on the boundary between the Lot and the Town ROW, and staff would recommend it be shifted slightly to be entirely within the property's GE. The owner will be required to enter into a GE encroachment agreement with the Town for the address monument.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: As part of the landscaping plan, the applicant did include information related to fire mitigation for the Lot. Staff would like to

include a condition of approval for any final design review, that prior to building permitting the applicant will receive approval of tree spacing in zone 2 from the town forester or staff member.

17.6.6: Roads and Driveway Standards

Staff: The CDC requires driveways under 150 feet in length have a minimum paved surface of 12 feet width and 2-foot shoulders on each side and as shown the applicant is meeting that requirement with a 12 foot asphalt driving area and a 2-foot gravel shoulder on one side of the drive and a 3-foot V-pan on the opposite, for a total of 17-feet in width.

The maximum grade of the driveway appears to be approximately 11.79% as it travels from Vischer Drive down towards the home. This is permissible with the approval of the Fire Marshall and Public Works Director, who have not indicated they take issue with this proposal.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The proposed design designates all fireplaces to be gas burning.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The applicant has provided a CMP as part of the submittal addressing the majority of the requirements of the CDC. As part of the building permit submittal, this plan should be slightly revised to better understand access staging and driveway construction along with material export planning.

Staff Recommendation: Staff recommends the DRB approve the Initial Architecture and Site Review for Lot 3R AKA Lot R3, 158 Vischer Drive based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architecture and Site Review for a new single-family home located at Lot 3R, based on the evidence provided within the Staff Report of record dated May 20, 2022, with the following Design Variations and Specific Approvals:

Design Variations

Road and Driveway Standards

Design Review Board Specific Approvals

General Easement Encroachments

And, with the following conditions:

- 1) Prior to final review, the applicant shall revise the location of the address monument to be located outside of the road ROW of Vischer Drive.
- 2) Prior to final review, the applicant shall provide a chimney cap detail.
- 3) Prior to final review, the applicant shall revise the landscaping plan to demonstrate additional plantings to increase diversity to 40% as required by the CDC.

- 4) Prior to final review the applicant shall revise the lighting plan to include the cut sheets for the LED strip light proposed for the address monument.
- 5) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 6) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 7) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.
- 8) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 9) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 10) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern, and any grouting with the minimum size of four-feet (4') by four-feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 11) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way, general easement, or setback, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (Fire Department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/JM

Date: January 23, 2022
By: Kristine Perpar, Architect

Property address:

TBD Vischer Drive; Lot R3
Telluride, CO 81435

Sent to: MV DRB

Re: Development of a Single Family Residence

Dear Mountain Village Design Review Board,

The proposed home for Lot R3; Moran Residence was designed to capture the views from the house, sensitivity to the site and neighbors and the existing topography.

Lot R3 is currently vacant of structures with a majority of it covered in aspen and spruce trees.

The driveway is situated to the east of the proposed structure, we are requesting a variance for a 12 percent grade on the driveway.

Exterior elevations, plans and roof are simple in form. Roofs consist of a 7:12 gabled with 2:12 and 1:12 sheds. Exterior materials; stone, metal and wood accents were selected for their sensitivity to the environment, neighboring properties and for durability.

The proposed landscape plan is simple with revegetation plan and grade level planters.

Sincerely,



Kristine Perpar



GENERAL NOTES:

CONTRACT DOCUMENTS:
 CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, DETAIL BOOK AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTES WITH "N.T.S." DENOTES NOT TO SCALE.

ORGANIZATION:
 THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), CIVIL DRAWINGS (C SHEETS), STRUCTURAL (S SHEETS), MECHANICAL AND PLUMBING (M SHEETS), ELECTRICAL (E SHEETS) AND LIGHTING (LTG SHEETS).

CODE COMPLIANCE:
 ALL WORK, MATERIALS AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

INTENT:
 THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

COORDINATION:
 THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

SUBSTITUTIONS:
 ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED-OUT-BY-TRADE-NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

SHOP DRAWINGS:
 SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "SUBSTITUTIONS" ABOVE.

SAFETY & PROTECTION OF WORK:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.



PROJECT CODE INFORMATION

ZONING: SINGLE-FAMILY RESIDENCE (MV LOT R3)
 BUILDING CODE: IRC 2018 AND ALL APPLICABLE CODES AS REQUIRED BY THE TOWN OF MOUNTAIN VILLAGE
 DESCRIPTION: MULTI-STORY; SINGLE FAMILY DWELLING
 OCCUPANCY CLASSIFICATION: R-3
 AUTOMATIC FIRE SPRINKLER: PER NFPA - SPRINKLED OVER 3,600 SF
 FIRE RESISTIVE RATING: GARAGE - 1 HR MECHANICAL - 1 HR

PROJECT INFORMATION

TYPE OF UNIT:	SINGLE FAMILY RESIDENCE	MAX BUILDING HEIGHT:	
GROSS FLOOR AREA:		GABLE:	40'-0" (35'-0" + 5'-0" GABLE RIDGE, CDC TABLE 3-3 FOOTNOTE 1)
LIVING		ALLOWABLE	39'-11 1/4"
LOWER LEVEL	2,314.25 SF	PROPOSED	
GROUND LEVEL	3,086.22 SF	SHED:	
UPPER LEVEL	1,934.33 SF	ALLOWABLE	35'-0"
TOTAL:	<u>7,334.80 SF</u>	PROPOSED	34'-8 1/4"
GARAGE	894.26 SF	MAX AVERAGE HEIGHT:	
TOTAL:	<u>8,229.06 SF</u>	ALLOWABLE	35'-0" GABLE, 30'-0" SHED
LOT AREA:	97 ACRES (42,253.2 SF)	PROPOSED	26.46'
LOT COVERAGE:		PARKING REQUIRED:	4 SPACES PROVIDED (4 REQUIRED) (2 ENCLOSED IN GARAGE) (2 SURFACE SPACES)
ALLOWABLE	(40% MAX) 16,901.28 SF		
PROPOSED	(17%) 7,081 SF		

SEE SHEET A2.0 FOR MAXIMUM BUILDING HEIGHT / LOT COVERAGE CALCULATIONS

SHEET INDEX

- GENERAL**
- G1.0 COVER SHEET
 - G1.1 ABBREVIATIONS AND LEGENDS
- CIVIL**
- C1 NOTES
 - C2.1 SITE GRADING AND DRAINAGE W/O TREES DISPLAYED
 - C2.2 SITE GRADING AND DRAINAGE W/ TREES DISPLAYED
 - C3 UTILITY PLAN
 - C4 CONSTRUCTION MITIGATION
- SURVEY / MAPPING**
- 0 EXISTING CONDITIONS PLAN
- ARCHITECTURAL**
- A1.1 ARCHITECTURAL SITE PLAN
 - A1.2 BUILDING SITE PLAN
 - A1.3 LANDSCAPE PLAN
 - A1.4 FIRE MITIGATION PLAN
 - A2.0 MAX BUILDING HEIGHT / MAX LOT COVERAGE CALCULATIONS
 - A2.1 MATERIAL CALCULATIONS
 - A3.1 FLOOR PLANS
 - A3.2 FLOOR PLANS
 - A3.3 FLOOR PLANS
 - A3.4 ROOF PLAN
 - A4.1 EXTERIOR ELEVATIONS
 - A4.2 EXTERIOR ELEVATIONS
 - A4.3 EXTERIOR ELEVATIONS
 - A4.4 PRESENTATION ELEVATIONS
 - A8.1 DOOR SCHEDULE
 - A8.2 WINDOW SCHEDULE
- LTG1.1 LIGHTING PLAN
 LTG1.2 LIGHTING PLAN

VICINITY MAP

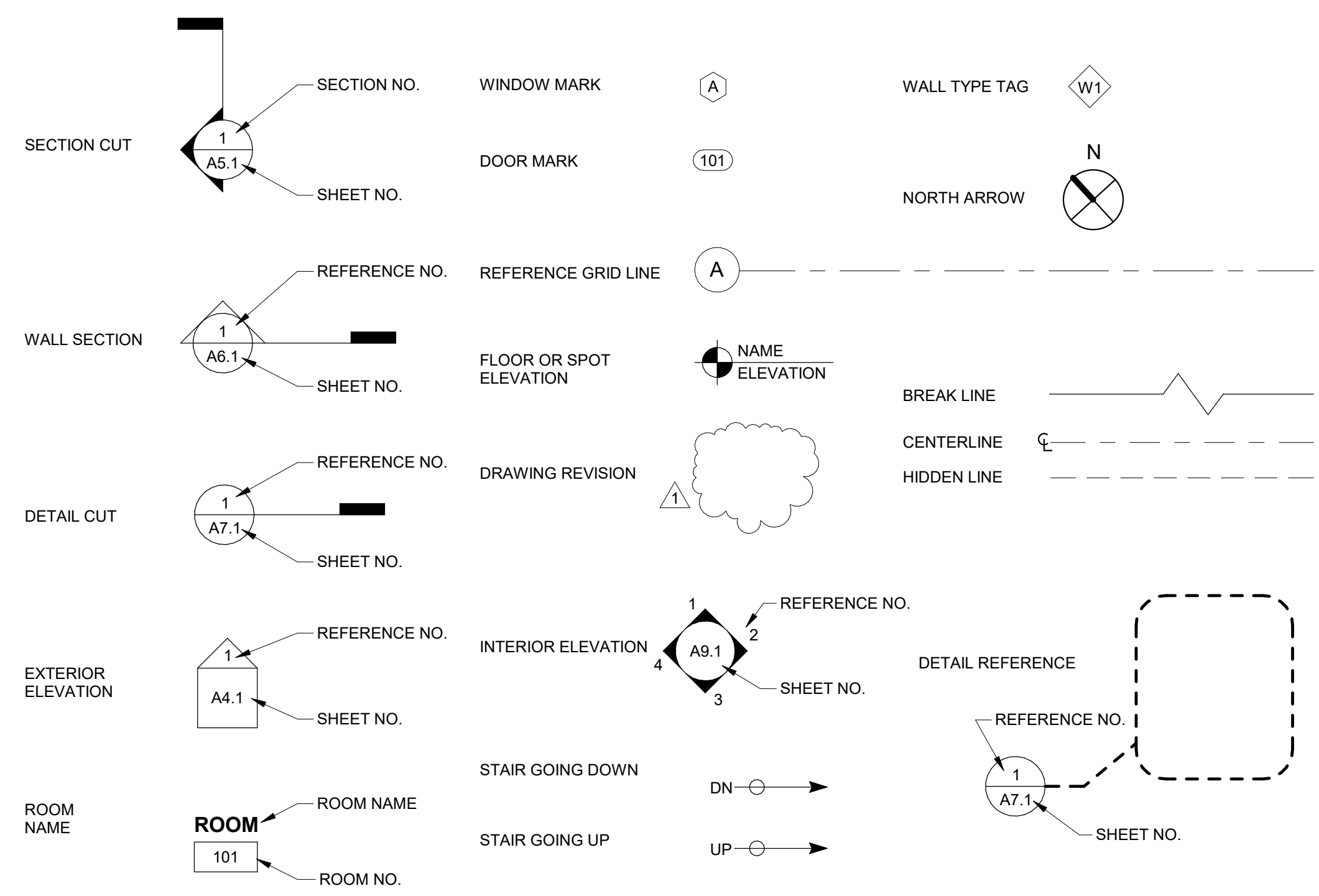
LOT R3, VISCHER DRIVE
 MOUNTAIN VILLAGE



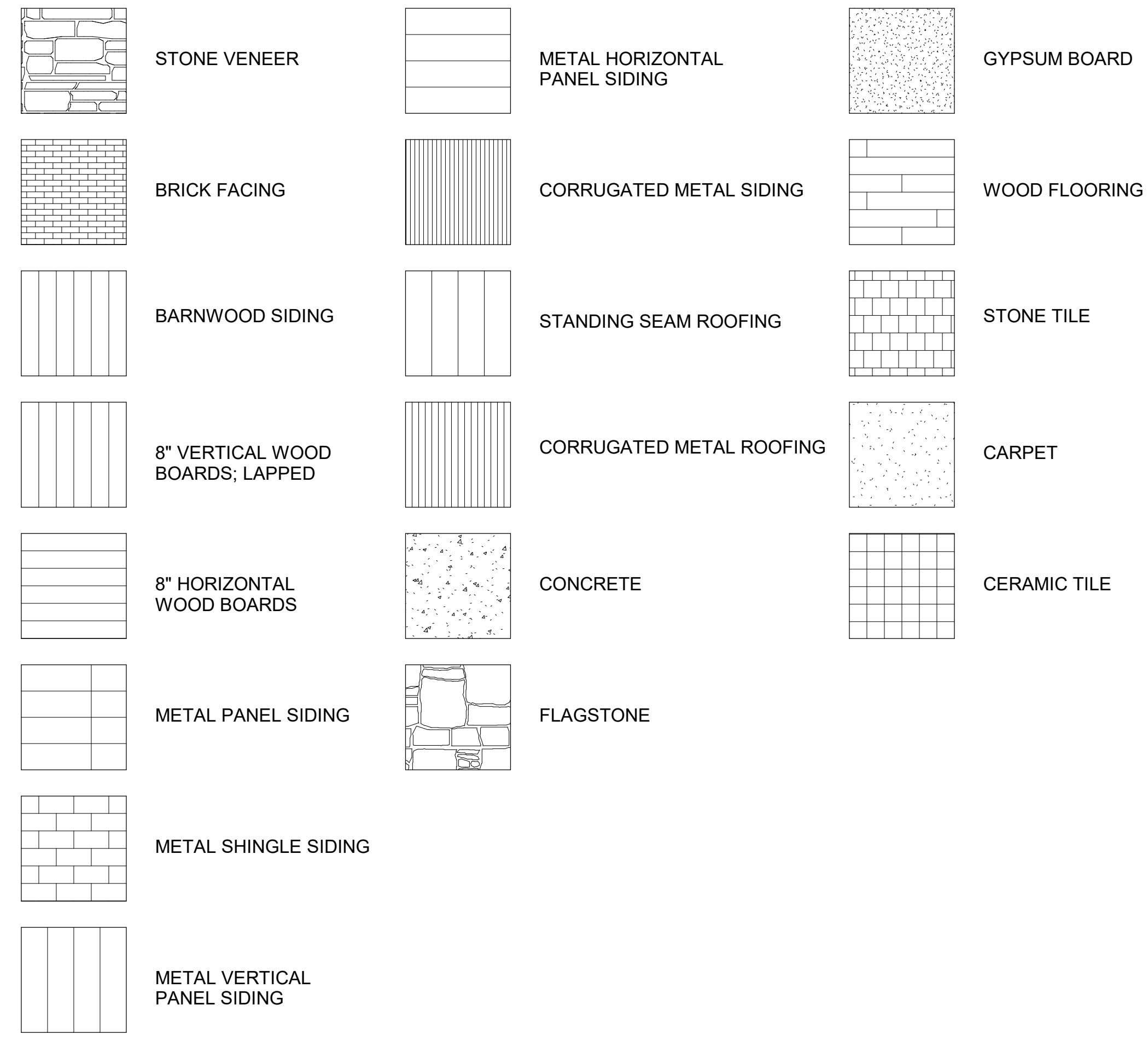
PROJECT TEAM

OWNER:	MORAN MOUNTAIN PROPERTIES LLC A CO LLC 104 CAMELOT LN LIBERTYVILLE, IL 60048-2400	SURVEYOR:	FOLEY ASSOCIATES, INC. 125 W. PACIFIC, SUITE B-1 P.O. BOX 1385 TELLURIDE, CO 81435 P. 970.728.6153 F. 970.728.6050	MECHANICAL:	HUGHES CONSULTING ENGINEERING, PA DIMITRI MERRILL, P.E. TELLURIDE, CO 81435 P. 970.239.1949 F. 785.842.2492 dimitri@hce-pa.com
ARCHITECT:	SHIFT ARCHITECTS KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com	CIVIL:	UNCOMPAGRE ENGINEERING LLC DAVID BALLODE P.E. PO BOX 3945 TELLURIDE, CO 81435 P. 970.729.0683 dbalode@msn.com	LANDSCAPING:	SHIFT ARCHITECTS KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com
GENERAL CONTRACTOR:	T.B.D.	STRUCTURAL:	T.B.D.		

SYMBOL LEGEND



MATERIAL LEGEND



ABBREVIATIONS

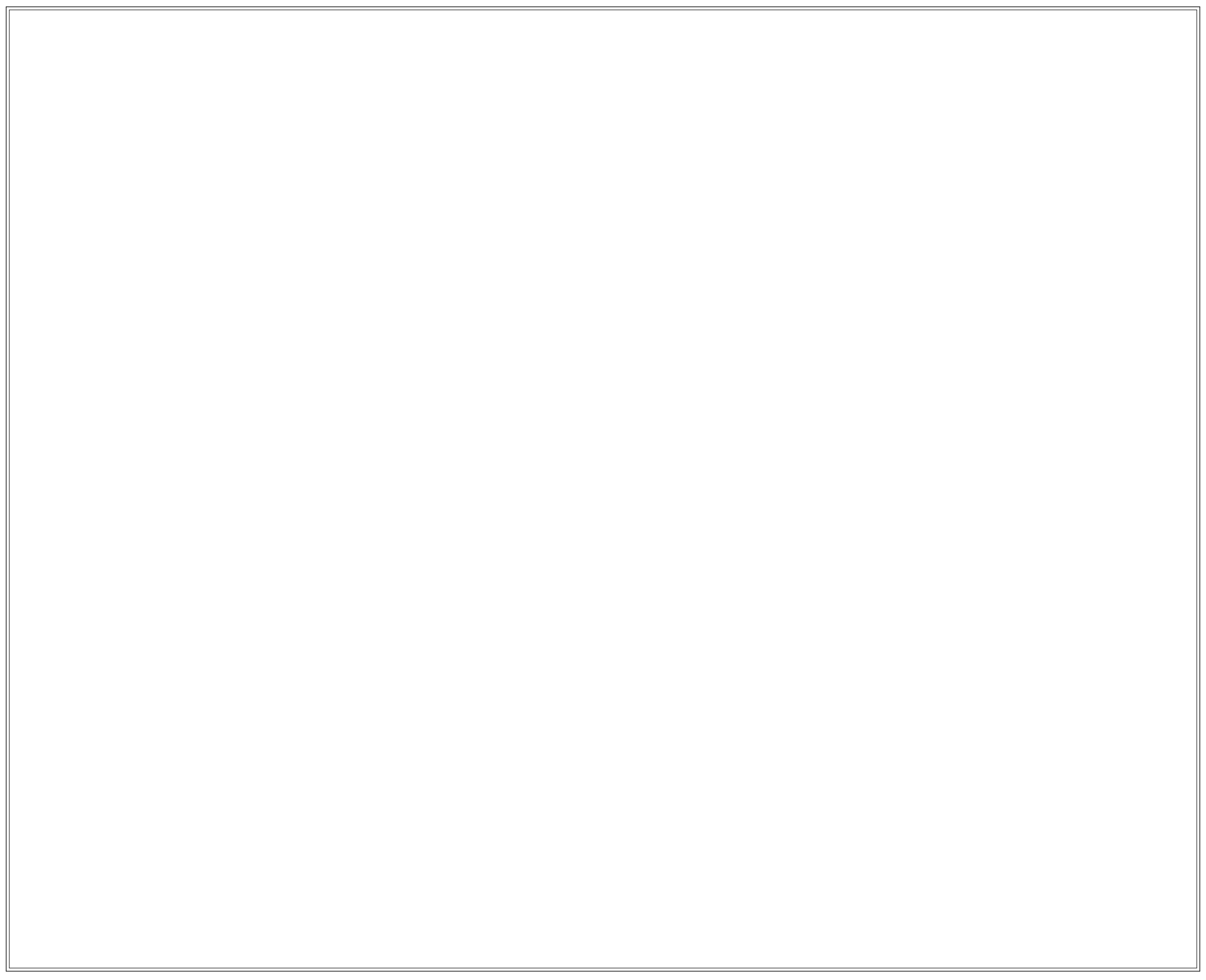
AC	Acres
AFF	Above Finished Floor
AGG	Aggregate
AL	Aluminium
BM	Bench Mark
BSN	Basin
BTH	Bath
CL	Centre Line
CJ	Control Joint
CLST	Closet
CP	Carpet
CT	Ceramic Tile
DIA	Diameter
DP	Downpipe
DW	Dishwasher
EX	Existing
FF	Finished Floor
FHR	Fire Hose Reel
FP	Flue Pipe
GAL	Galvanized
GL	Ground Line
GFI	Ground Fault Circuit Interrupter
GPO	General Power Outlet
IBC	International Building Code
MDF	Medium Density Fibreboard
MR	Metal Roofing
MSB	Main Switch Board
NTS	Not To Scale
PFC	Parallel Flanged Steel Channel
PL	Plastic Laminate
PT	Paint
RC	Reinforced Concrete
REF	Refrigerator
RL	Reduced Level
S	Sanitary Drainage Pipe
SHR	Shower
SK	Sink
SN	Stone
SS	Stainless Steel
ST	S Trap
STF	Steel Trowel Finished Concrete
SW	Stormwater Drainage Line
T&G	Tongue and Grooved
TO	Top Of
TPH	Toilet Paper Holder
TR	Tiled Roofing
TSF	Timber Strip Floor
TYP	Typical
U	Urinal
UOS	Unless Otherwise Specified
V	Valley
VIF	Verify In Field
VP	Vent Pipe
WC	Water Closet (Toilet)
WM	Washing Machine
WPM	Water Proof Membrane

SHIFT ARCHITECTS

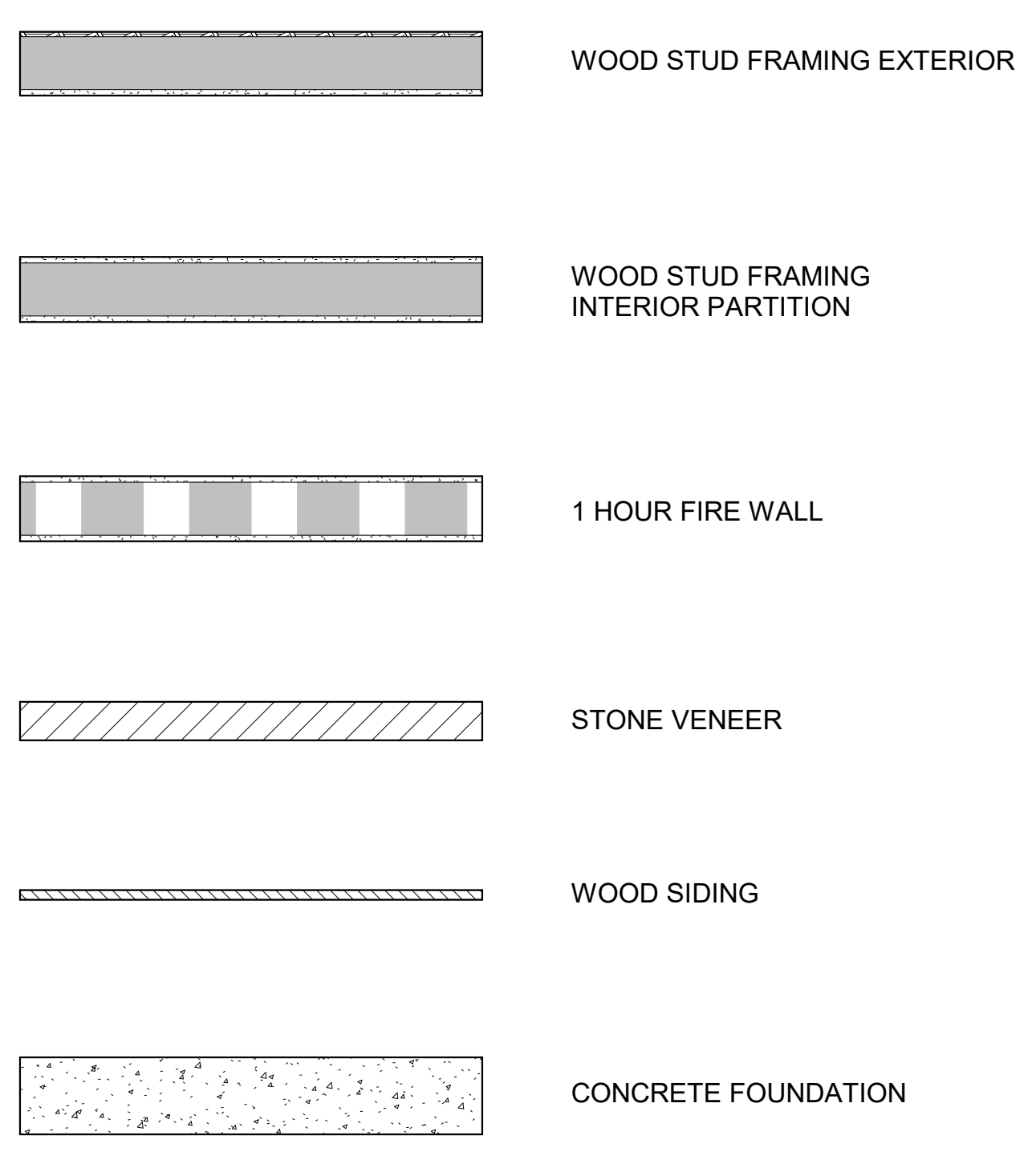
P.O. Box 3206
100 W. Colorado Suite 211
Telluride, Colorado 81435
p 970-728-8145
kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE:
01.28.22 DRB PRELIMINARY
SUBMITTAL

REVISIONS
NO. DATE DESC.

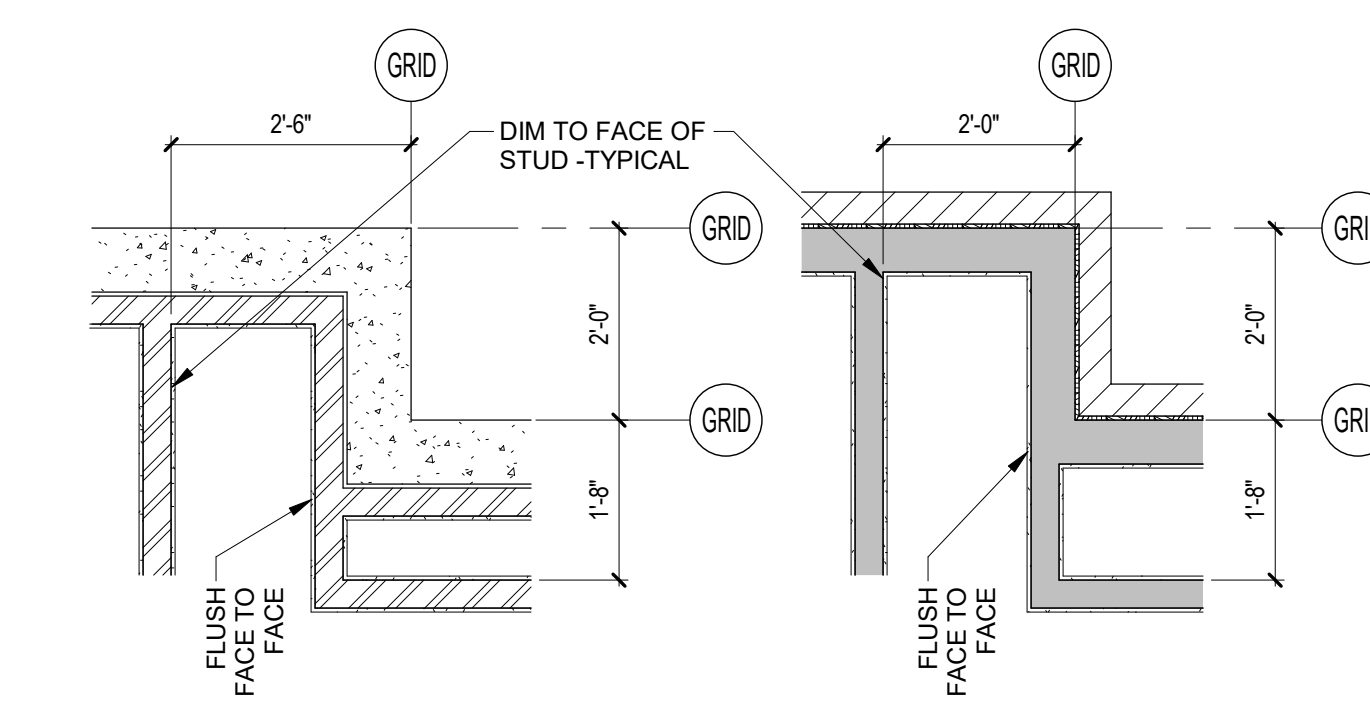


WALL LEGEND

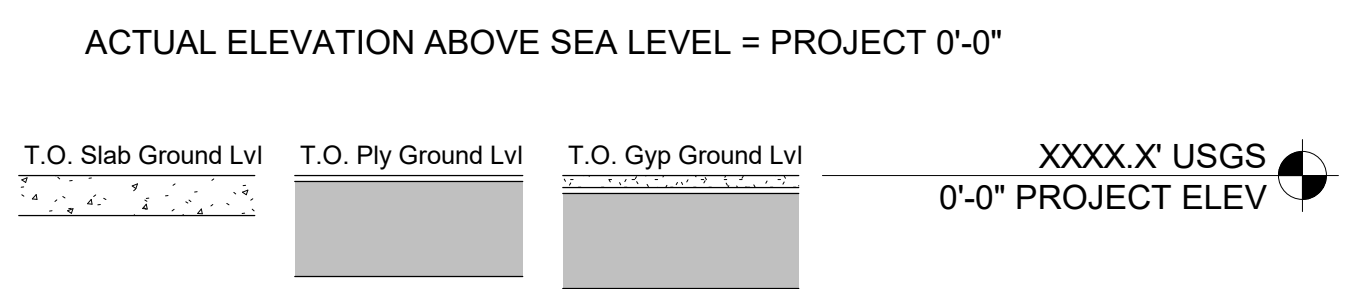


DIMENSIONING LEGEND

- GRIDS ALIGN WITH OUTSIDE FACE OF FOUNDATION WALL AND OUTSIDE FACE OF STUD AT EXTERIOR STRUCTURAL FRAME WALL.
- WALLS AND PARTITIONS SHOWN IN PLAN INCLUDE FINISH MATERIALS.
- DIMENSIONS ARE SHOWN FROM GRID TO GRID, GRID TO FACE OF STUD, AND FACE OF STUD TO FACE OF STUD AT INTERIOR PARTITIONS, TYPICAL.
- INTERIOR PARTITIONS FLUSH FACE TO FACE WITH THEIR EXTERIOR COUNTERPARTS, TYPICAL.



PROJECT DATUM LEGEND



MORAN RESIDENCE

LOT R3, VISCHER DRIVE, MOUNTAIN VILLAGE, CO 81435
LOT 3 AKA LOT R3 TELLURIDE MOUNTAIN VILLAGE FILING 1 CONT. 97 AC

ABBREVIATIONS
AND LEGENDS

SHEET NUMBER

G1.1

NOT FOR CONSTRUCTION

1/28/2022 9:40:39 AM

© shift architects

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

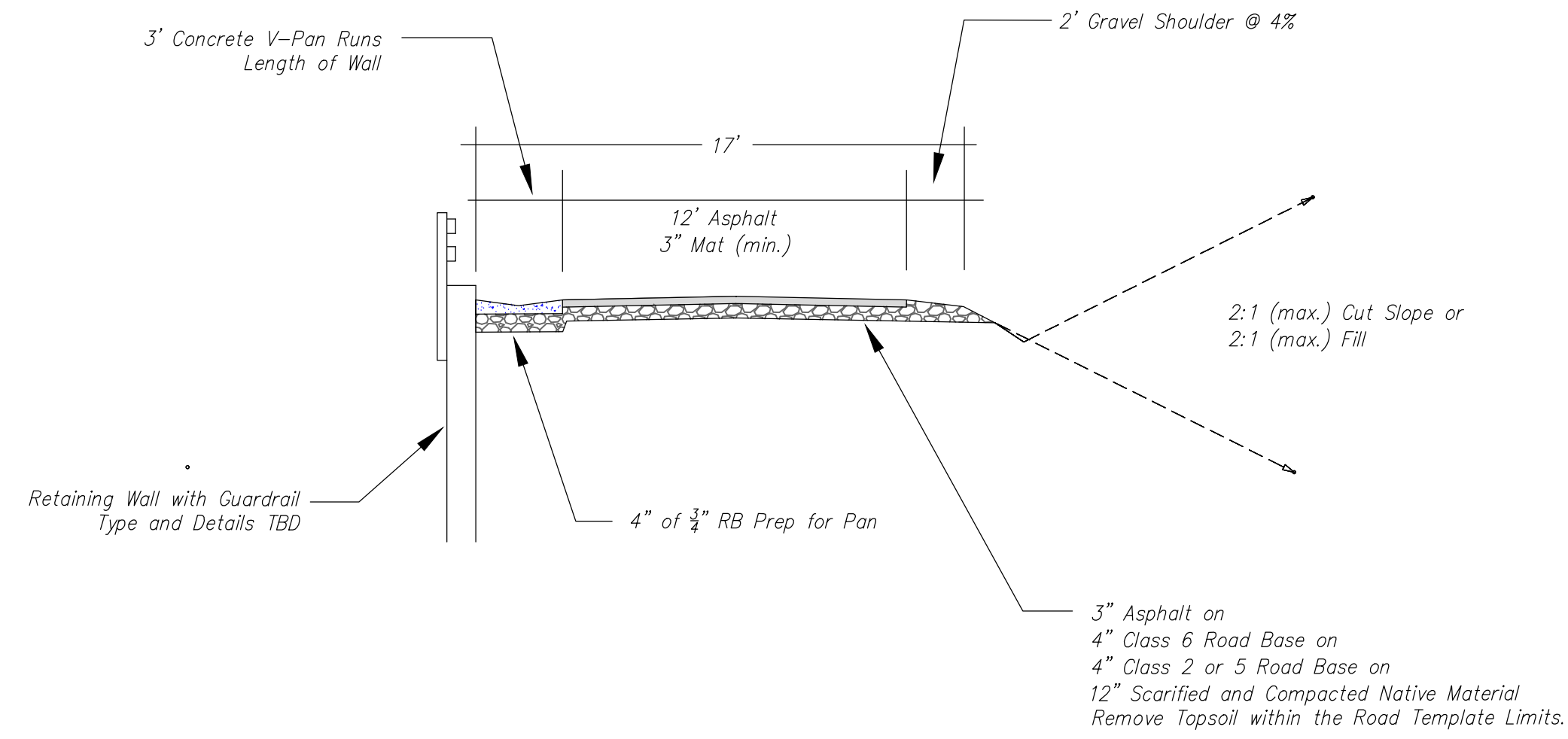
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

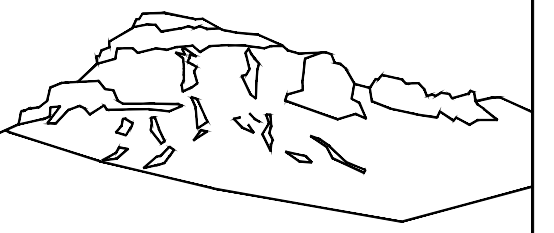
24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



DRIVEWAY CROSS-SECTION
With Retaining Wall - Typical Cross Section
16' Shoulder-to-Shoulder is the Minimum Required Width



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2022-01-28

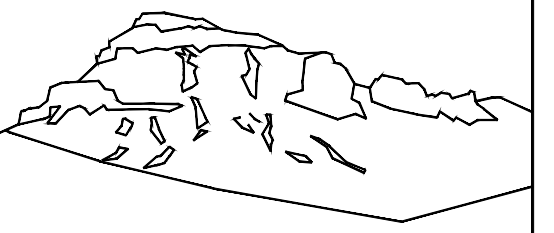
Moran Residence
Lot R3
Vischer Drive
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1

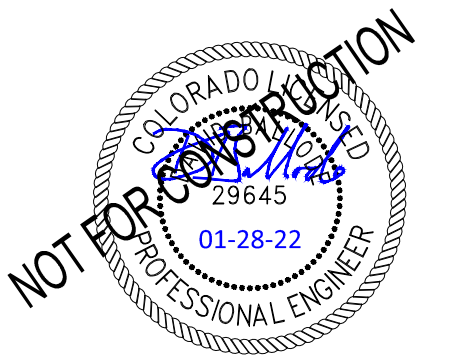


Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
SUBMITTAL 2022-01-28

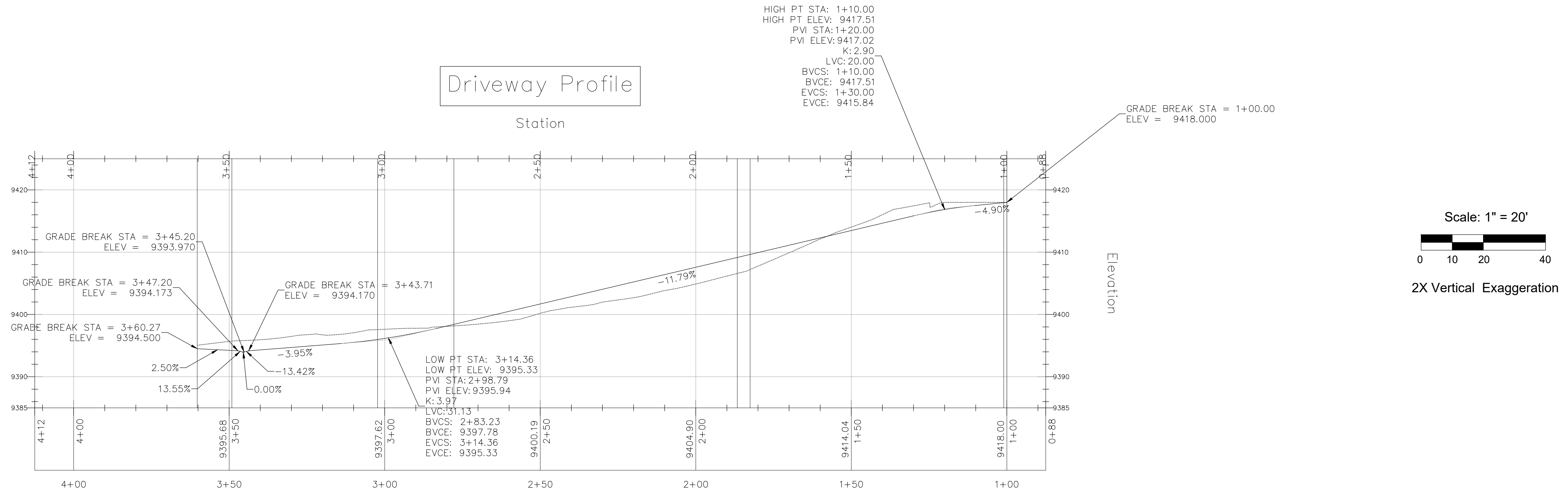
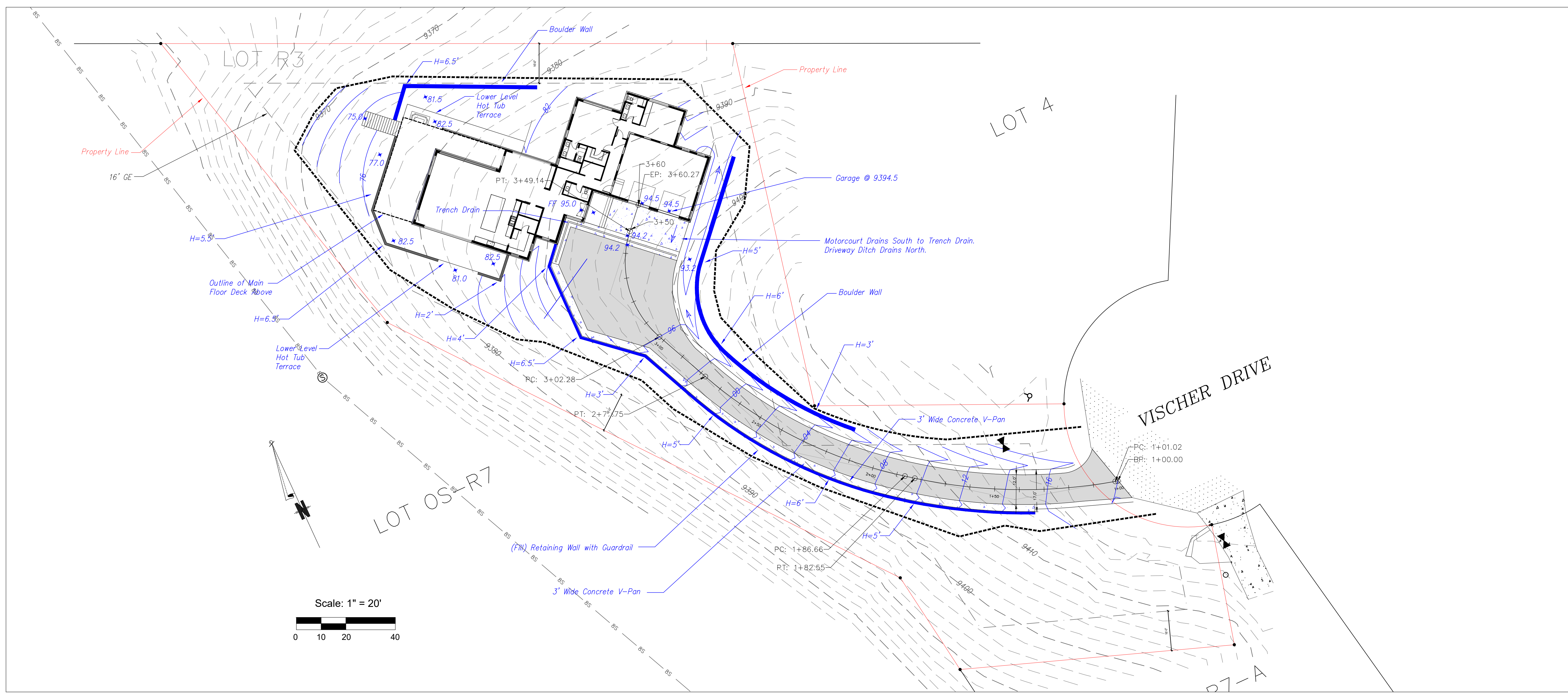
Moran Residence
Lot R3
Vischer Drive
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading
and
Drainage
and
Driveway
Profile
Without Trees
Displayed

C2.1





Uncompahgre Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
SUBMITTAL 2022-01-28

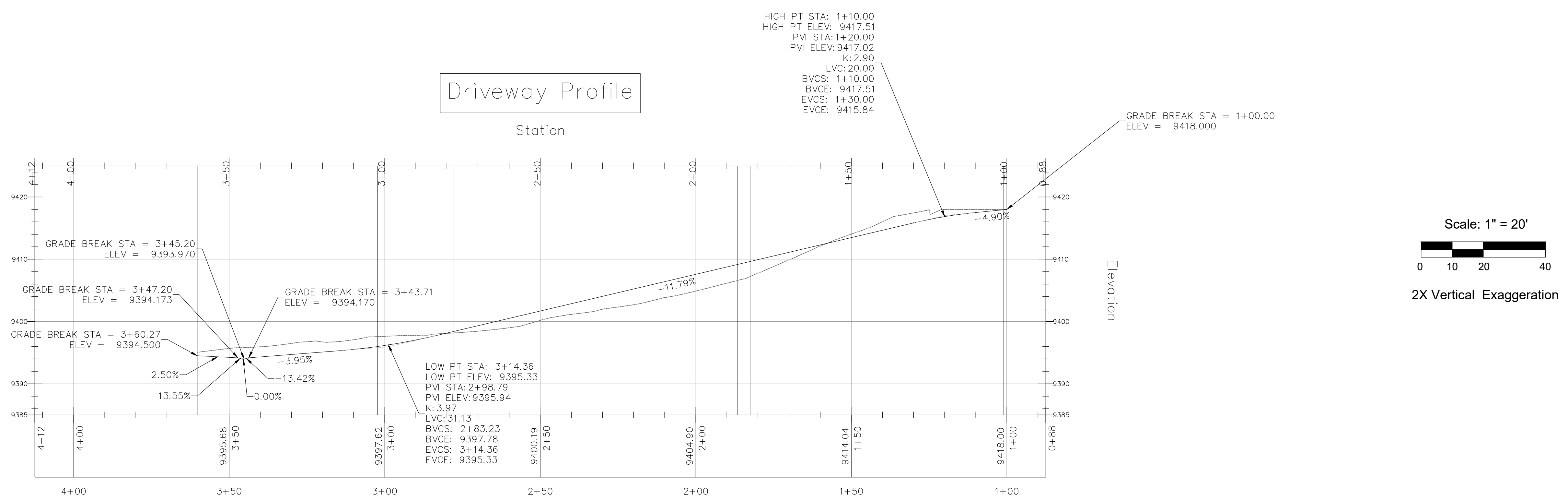
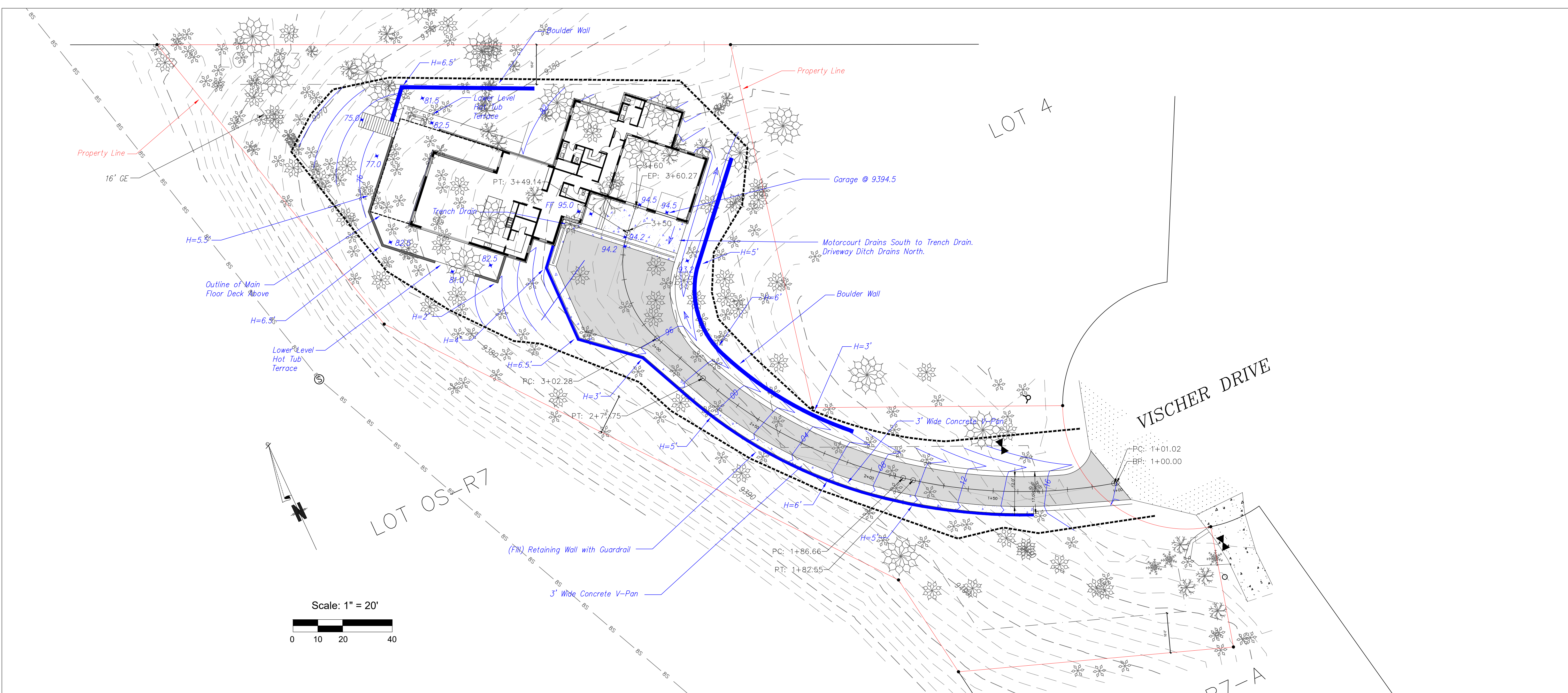
Moran Residence
Lot R3
Vischer Drive
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading and Drainage and Driveway Profile With Trees Displayed

C2.2





Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
SUBMITTAL 2022-01-28

Moran Residence
Lot R3
Vischer Drive
Mtn. Village, CO



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Utilities

C3

TRACT OS-1R-1

LOT R3

LOT 4

LOT OS-R7

LOT R7-A

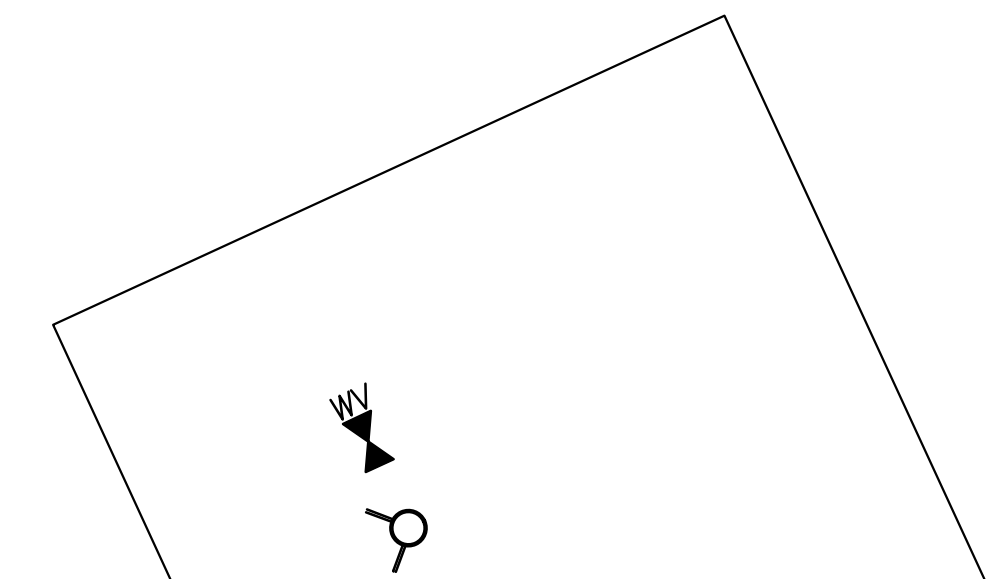
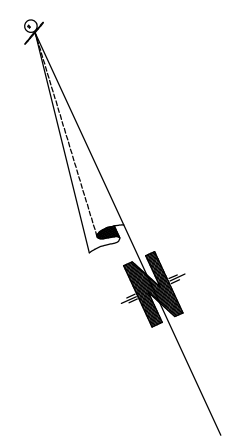
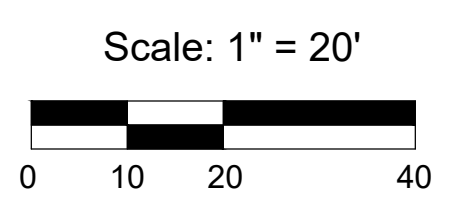
VISCHER DRIVE

ALL UTILITY MAIN LOCATIONS ARE APPROXIMATE.
NONE WERE LOCATED ON THE SURVEY.

4" SDR35 Sanitary Sewer Service. Saddle Tap
to Existing Main in Ski Run. Coordinate with
Town and it will require separate
Permission/Permit with Telski.

Verify with Town if this is an Existing Curb
Stop. Use it, if possible. Otherwise, tap the
Main in this Vicinity. Coordinate the Tap and
Curb Stop location with the Town.

Coordinate Gas Service and Tap with Black Hill Energy
No Transformer or Shallow Utility Pedestals were
shown. Coordinate with SMPA and the Town.



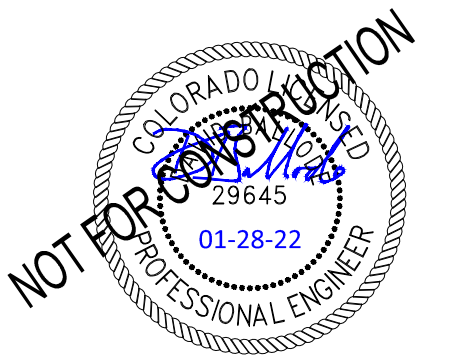


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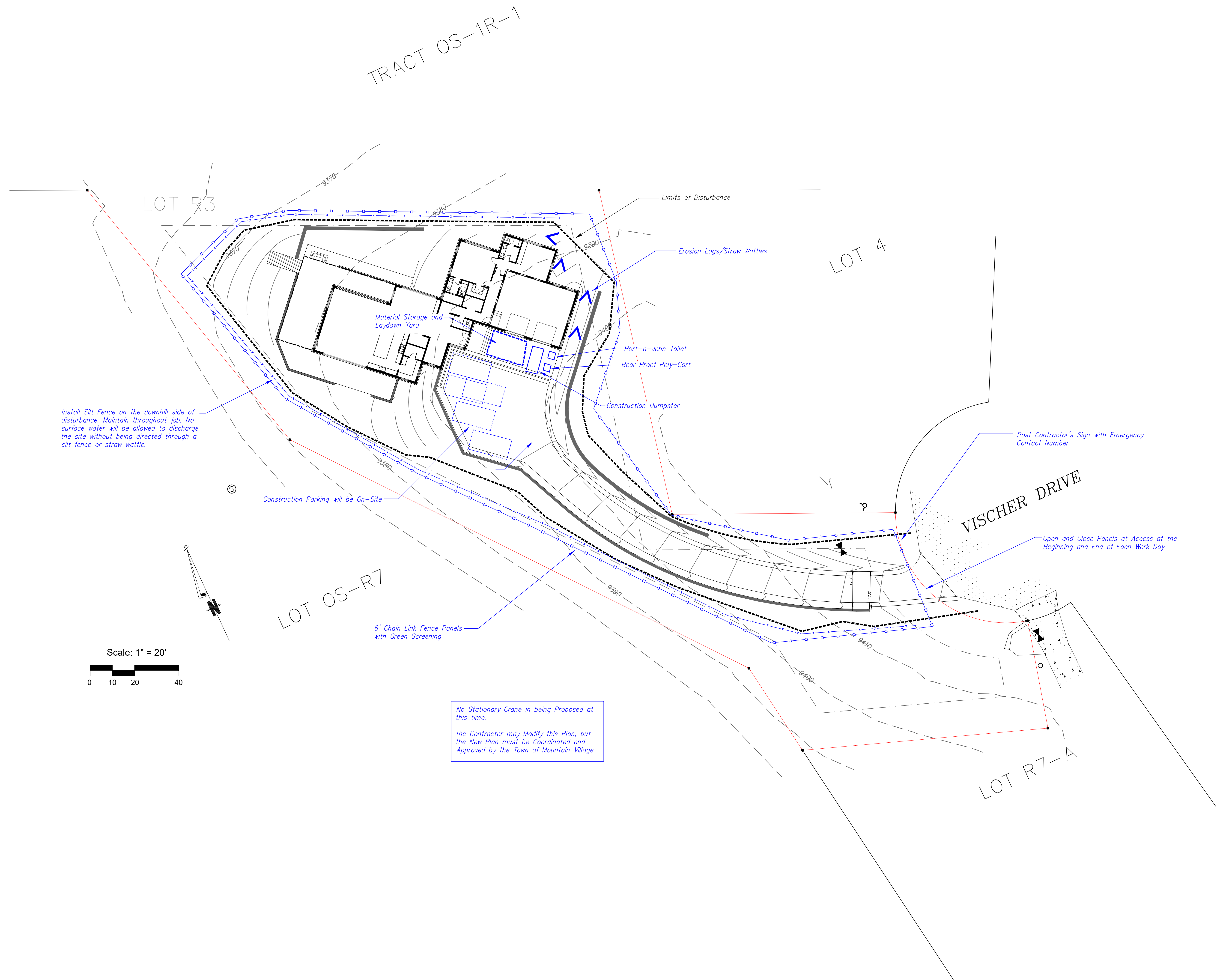
Moran Residence
Lot R3
Vischer Drive
Mtn. Village, CO

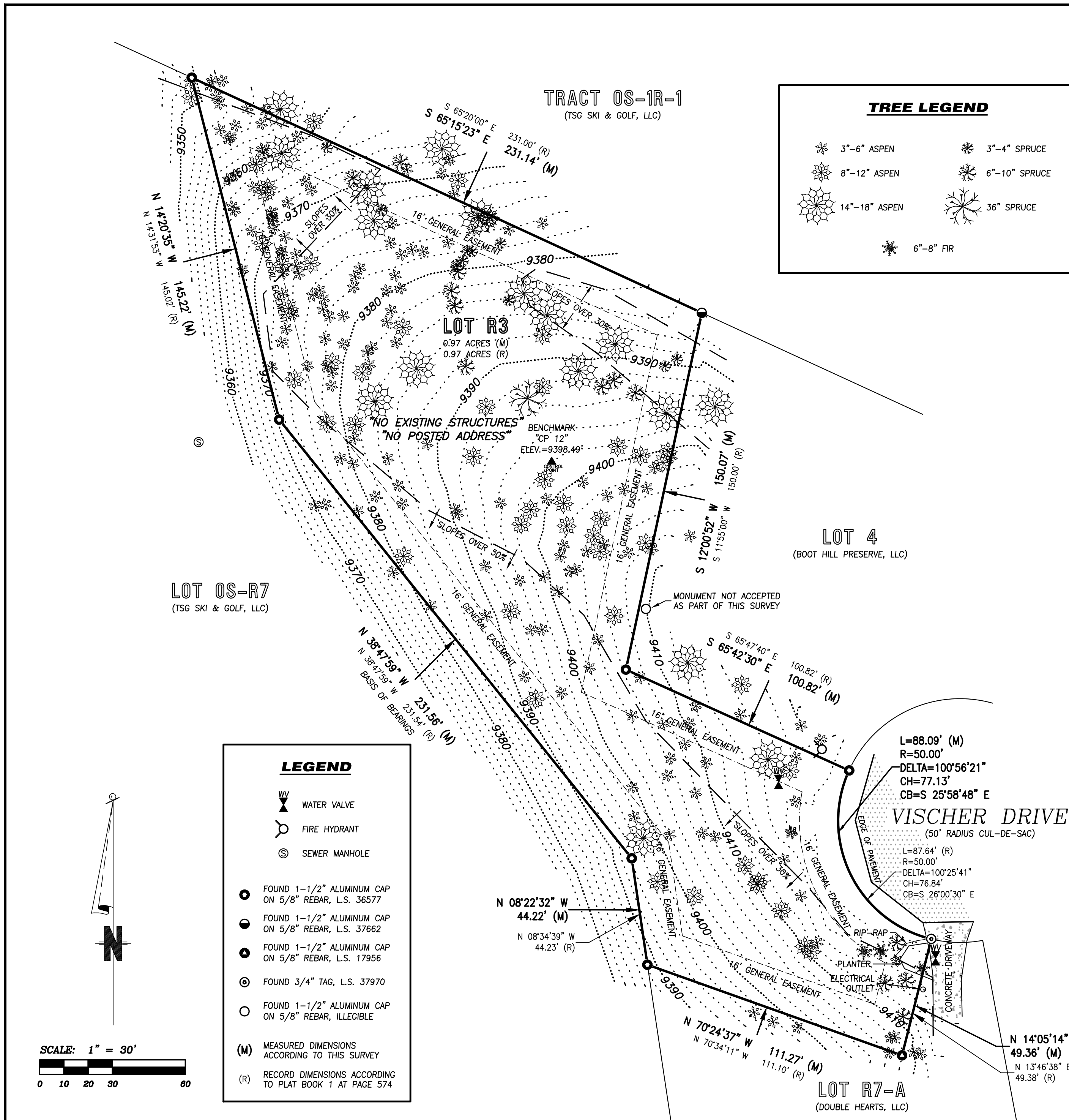


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Construction
Mitigation

C4

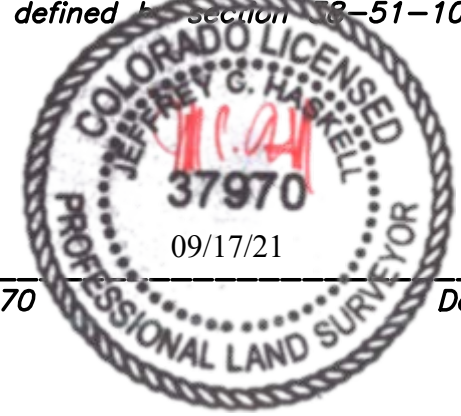




TREE LEGEND

	3"-6" ASPEN		3"-4" SPRUCE
	8"-12" ASPEN		6"-10" SPRUCE
	14"-18" ASPEN		36" SPRUCE
	6"-8" FIR		

This Existing Conditions Plan of Lot R3, Town of Mountain Village, was prepared on September 16, 2021 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined in Section 2-51-102 C.R.S.



P.L.S. NO. 37970 Date

LEGAL DESCRIPTION:

LOT R3, TELLURIDE MOUNTAIN VILLAGE, FILING 1, ACCORDING TO THE PLAT RECORDED JULY 30, 1985 IN PLAT BOOK 1 AT PAGE 574,

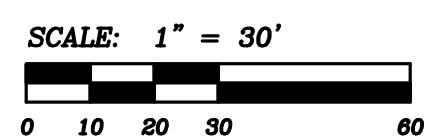
COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

- Easement research and property description from Land Title Guarantee Company, Order Number TLR86012022, dated August 19, 2021 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Map 08113C0287-D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
- BASIS OF BEARINGS:** The bearing between found monuments along the southwestern boundary of Lot R3, as shown hereon, assumed to have the record bearing of N 38°47'59" W according to Plat Book 1 at page 574.
- Benchmark: Control Point "CP 12", as shown hereon, with an elevation of 9398.49 feet.
- Contour interval is two feet.
- Trees 3" or greater are shown hereon.
- Slopes 30% or greater are shown hereon.
- Foley Associates, Inc. is not aware of any underground utilities located on this lot, but utility locates were not performed as part of this survey. Utility locates should be performed by respective providers before any construction.
- Foley Associates, Inc. is not aware of any wetlands located on this lot, but a wetland delineation was not performed as part of this survey.
- NOTICE:** According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

LEGEND

	WATER VALVE
	FIRE HYDRANT
	SEWER MANHOLE
	FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 36577
	FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37662
	FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 17956
	FOUND 3/4" TAG, L.S. 37970
	FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, ILLEGIBLE
(M)	MEASURED DIMENSIONS ACCORDING TO THIS SURVEY
(R)	RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 574



EXISTING CONDITIONS PLAN
 Lot R3, Town of Mountain Village,
 located within the NW 1/4 of Section 3, T.42N., R.9W., N.M.P.M., County of San Miguel, State of Colorado.

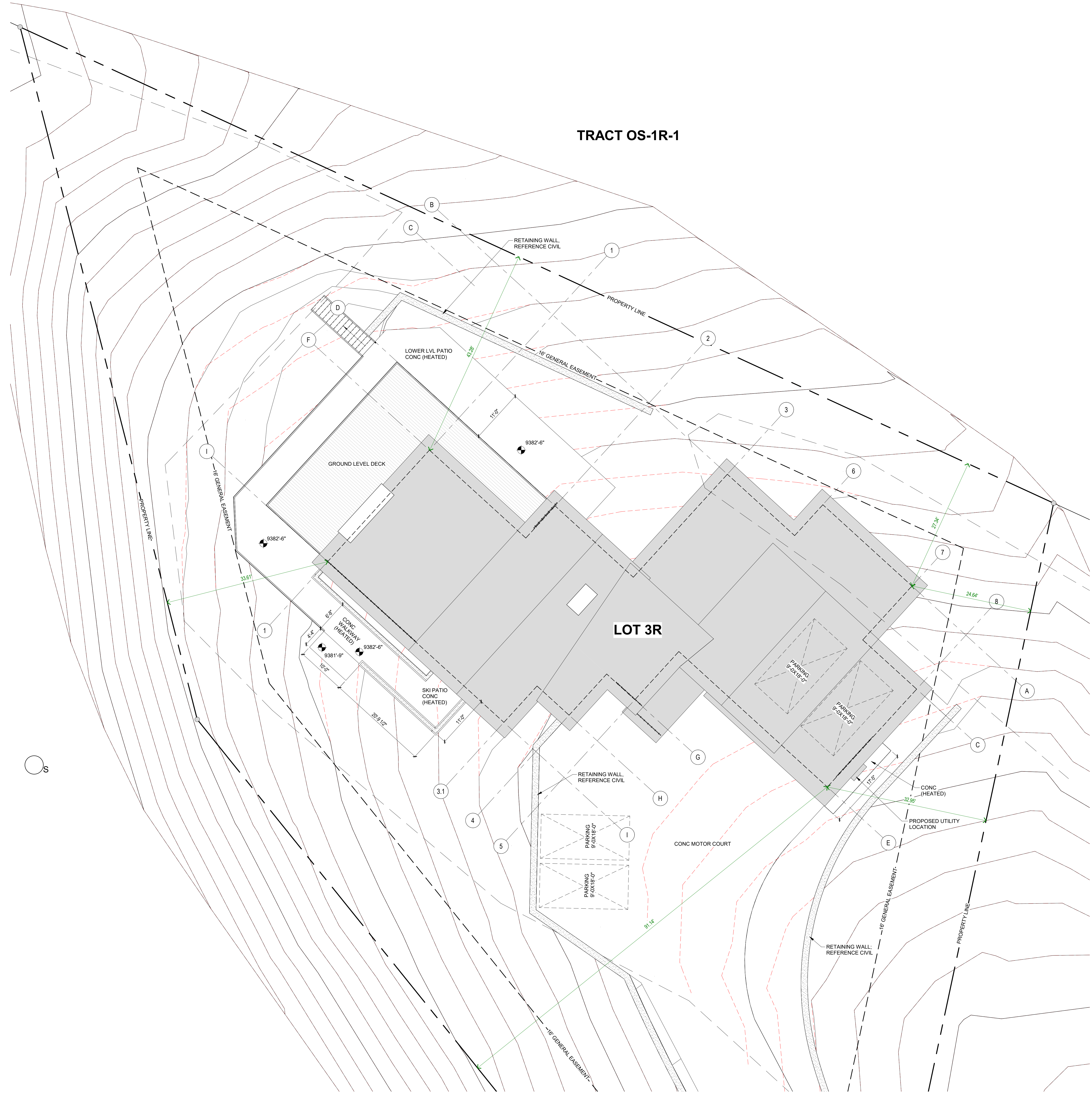
Project Mgr:	JH
Technician:	MC
Checked by:	DS
Start date:	09/15/2021



970-728-6153 970-728-6050 fax
 PO Box 1385
 125 W. Pacific Ave., Suite B-1
 Telluride, Colorado, 81435

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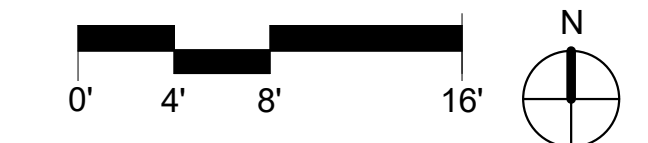
TRACT OS-1R-1



PROPOSED PARKING:
(2) ENCLOSED
(2) SURFACE

FLOOR ELEVATIONS:
T.O. SLAB @ LOWER LEVEL = 9363'-0"
T.O. GYP @ GROUND LEVEL = 9395'-0"
T.O. GYP @ UPPER LEVEL = 9406'-0"
MOTOR COURT @ GARAGE DOOR = 9394'-6"

1 BUILDING SITE PLAN
1/8" = 1'-0"



MORAN RESIDENCE

LOT R3, VISCHER DRIVE, MOUNTAIN VILLAGE, CO 81435
LOT 3.AKA LOT R3 TELLURIDE MOUNTAIN VILLAGE FILING 1 CONT. .97 AC

BUILDING SITE PLAN

SHEET NUMBER

A1.2

NOT FOR CONSTRUCTION

© shift architects

GENERAL NOTES:

1. ALL TREES AND SHRUBS TO BE LOCATED BY PROJECT ARCHITECT / OWNER.
2. ALL TREES AND SHRUBS SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
3. NECESSARY TREES SHALL BE STAKED WITH 4" METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
4. PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
5. SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
6. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS, SHREDDED CEDAR BARK.
7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
8. LANDSCAPING AND TREE REMOVAL SHALL BE IN ACCORDANCE WITH CDC 17.5.9 LANDSCAPING REGULATIONS AND CDC 17.6.1 ENVIRONMENTAL REGULATIONS.

NOXIOUS WEEDS:

1. ALL PLANTED MATERIALS INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED IN THE NOXIOUS WEED CDC TABLE 5-5 OR SUBSEQUENTLY DESIGNATED AS A NOXIOUS WEED BY THE STATE OF COLORADO, OR THE TOWN.

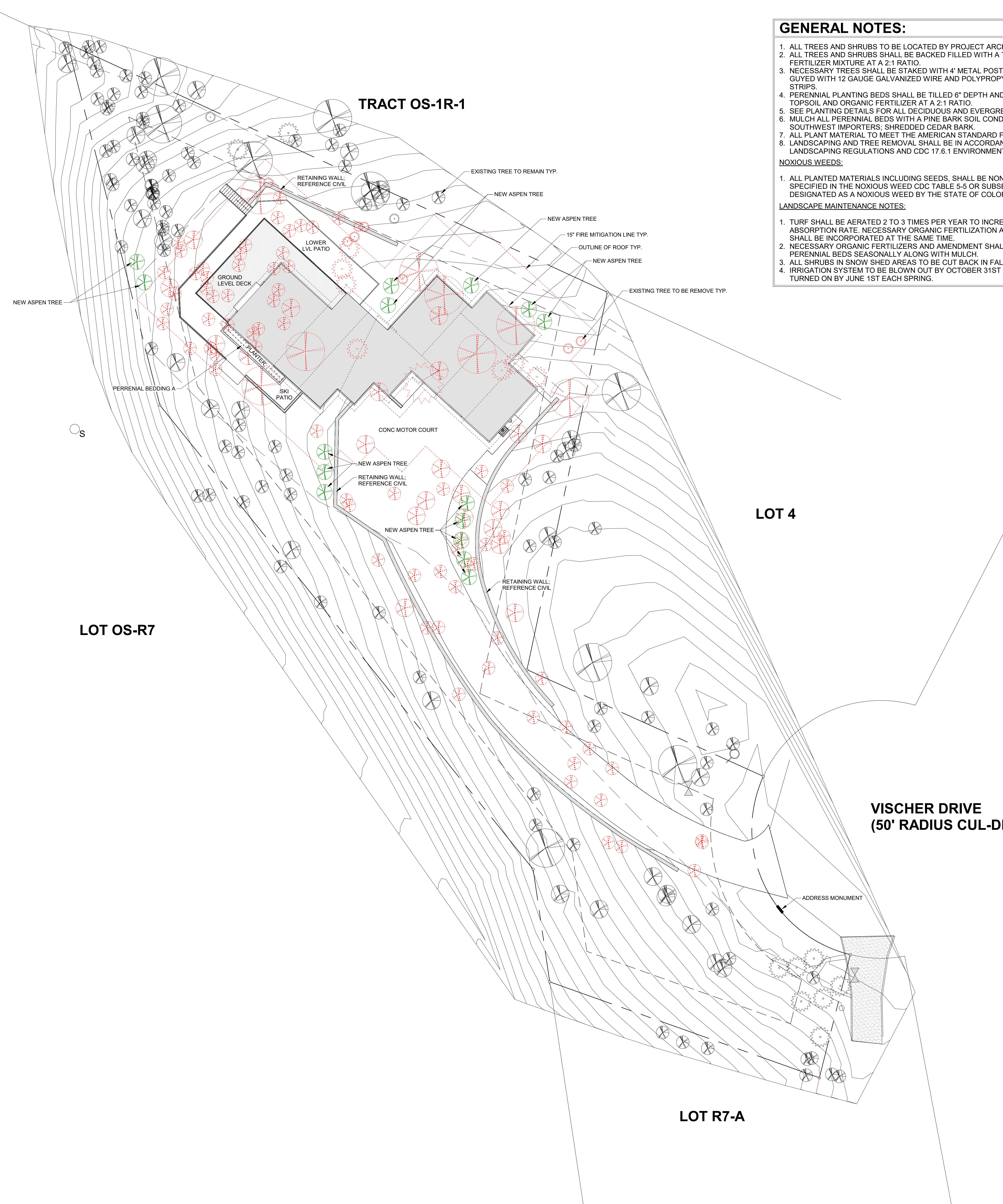
LANDSCAPE MAINTENANCE NOTES:

1. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
2. NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.
3. ALL SHRUBS IN SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.
4. IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

REVEGETATION NOTES:

1. SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REEMITTED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
4. AREAS WHICH HAVE BEEN COMPACTED OR ARE RELATIVELY UNDISTURBED NEED SEEDING. SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
5. BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING, STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDING AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
6. ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
7. ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
8. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREeping RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%



LEGEND

	CONCRETE PAVERS		INDIGENOUS SHRUBS
	WILDFIRE MITIGATION BOUNDARY		EXISTING ASPEN TREE
	LIMIT OF DISTURBANCE		EXISTING ASPEN TREE TO BE REMOVED
	PERIMETER FENCING W/ ATTACHED GREEN SCREENING		NEW ASPEN TREE
	TREE PROTECTION FENCING		EXISTING EVERGREEN TREE
	REVEGETATE W/ NATIVE GRASS		EXISTING EVERGREEN TREE TO BE REMOVED
	DISTURBED AREAS		NEW EVERGREEN TREE
	MULCH LANDSCAPE BEDDING		
	PERENNIAL BEDDING		
	FLAGSTONE		
	STONE PAVER		
	SNOW MELT AREAS		

NOTE:
 ALL EXISTING TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION.

PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY
POPULUS TREMULOIDES	QUAKING ASPEN	3" CAL. DBH	15
PICEA PUNGENS	SPRUCE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	N/A
SHRUBS		5 GAL.	N/A
PERENNIALS - BED A			92 SF
PERENNIALS - BED B			N/A

WATER USAGE CHART

TYPE	MONTHLY USE	TOTAL #	TOTAL MONTHLY USAGE
REVEGETATION	2 GAL / S.F.	X	X (FIRST SEASON)
PERENNIALS	2.5 GAL / S.F.	92	230
ASPENS	10 GAL / EA	15	150
SPRUCE	10 GAL / EA		
NATIVE SHRUBS	2 GAL / EA		
COMPLETE MONTHLY USAGE (FOR ESTABLISHMENT)			X GAL
(POST ESTABLISHMENT)			X GAL

- IRRIGATION NOTES**
1. TAP WITH RAINBIRD PVB-075 BACKFLOW PREVENTER.
 2. RAINBIRD RCM-12 ELECTROMECHANICAL CONTROLLER.
 3. 1.5" WILKINS MODEL 500 PRESSURE REGULATOR.
 4. RAINBIRD 150-PEB 1.5" ELECTRIC REMOTE CONTROL VALVE.
 5. CLASS 200 PVC MAINLINE 1 1/2".
 6. 1" 80NSF POLYLATERAL LINE.
 7. WATER SENSOR BY RAINBIRD.

IRRIGATION SCHEDULE

ZONE	LOCATION	HEAD	GPM
1	ASPEN TREES	DRIP EMITTERS	.
1	EVERGREEN TREES	DRIP EMITTERS	.
2	SHRUBS	DRIP EMITTERS	.
3	PERENNIALS SOUTH	1806 POP UPS	.
4	REVEGETATION AREAS	ROTORS	24





FIRE MITIGATION LEGEND

<p> ZONE 1 - REMOVE ALL SHRUBS, TREES, SLASH AND FLAMMABLE VEGETATION</p> <p> ZONE 2 - 10' CROWN TO CROWN SEPARATION, PRUNE BRANCHES TO A HEIGHT OF 10' FROM GROUND</p> <p> ZONE 3 - REMOVE ALL DISEASED, DEAD OR DYING TREES</p>	<p> EXISTING ASPEN TREE</p> <p> EXISTING ASPEN TREE TO BE REMOVED</p> <p> EXISTING EVERGREEN TREE</p> <p> EXISTING EVERGREEN TREE TO BE REMOVED</p>	<p>1. ALL DEVELOPMENT SHALL COMPLY WITH CDC 17.6.1 ENVIRONMENTAL REGULATIONS. ADDITIONAL TREE CLEARING WILL BE DONE PER FIRE MITIGATION REQUIREMENTS.</p> <p>2. CONSISTANT WITH 2018 IRC SECTION R101.4.1 APPENDAGES AND PROJECTIONS: UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.</p> <p>3. CONTRACTOR TO SET UP A MEETING WITH TOWN FORESTER ON ZONE 2 REQUIREMENTS PRIOR TO C.O.</p>
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SHIFT ARCHITECTS

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kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE:
01.28.22 DRB PRELIMINARY SUBMITTAL

REVISIONS
NO. DATE DESC

LOT OS-R7

LOT 4

LOT R7-A

**VISCHER DRIVE
(50' RADIUS CUL-DE-SAC)**

1 FIRE MITIGATION PLAN
1/16" = 1'-0"



MORAN RESIDENCE

LOT R3, VISCHER DRIVE, MOUNTAIN VILLAGE, CO 81435
LOT 3 AKA LOT R3 TELLURIDE MOUNTAIN VILLAGE FILING 1 CONT. 97 AC

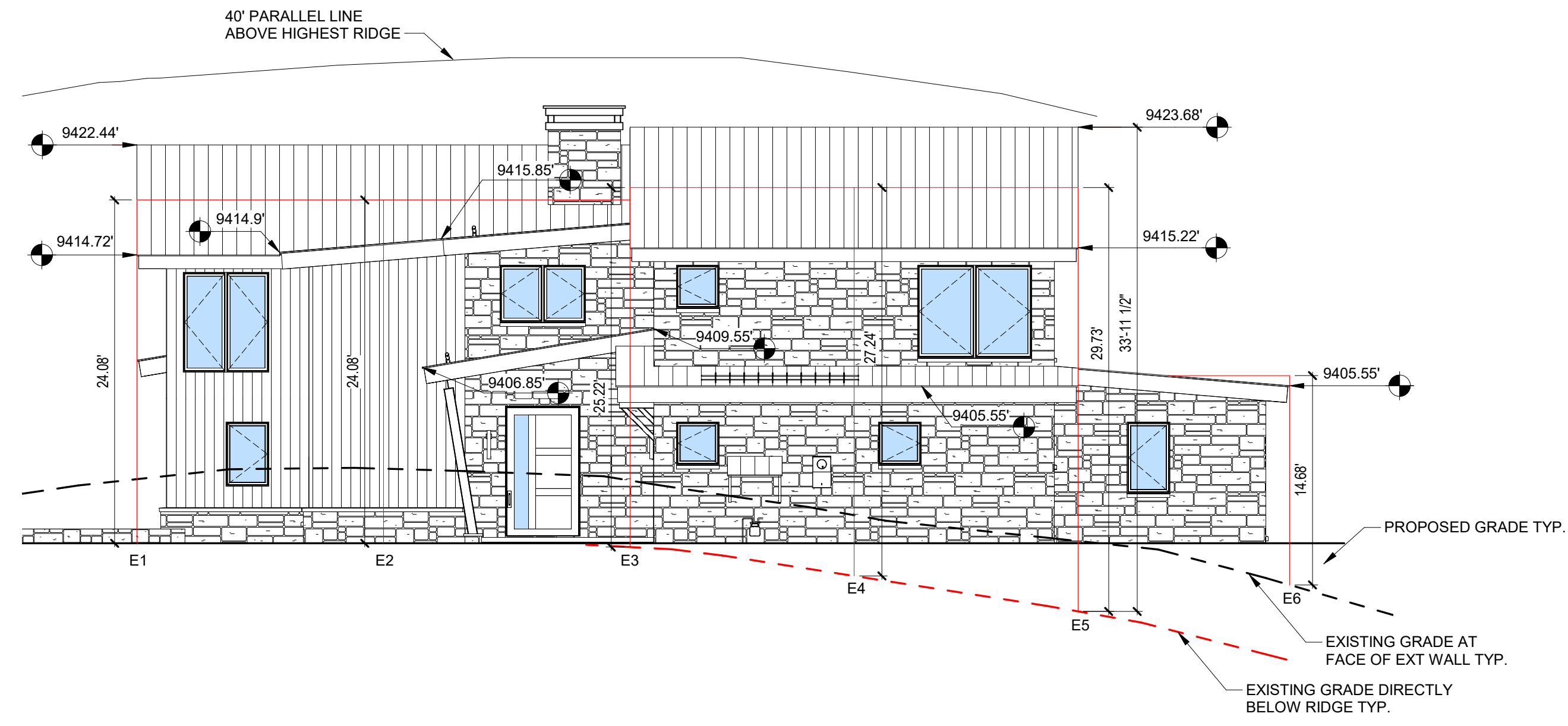
FIRE MITIGATION PLAN

SHEET NUMBER

A1.4

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1 EAST ELEVATION
1/8" = 1'-0"

AVG ROOF HT :

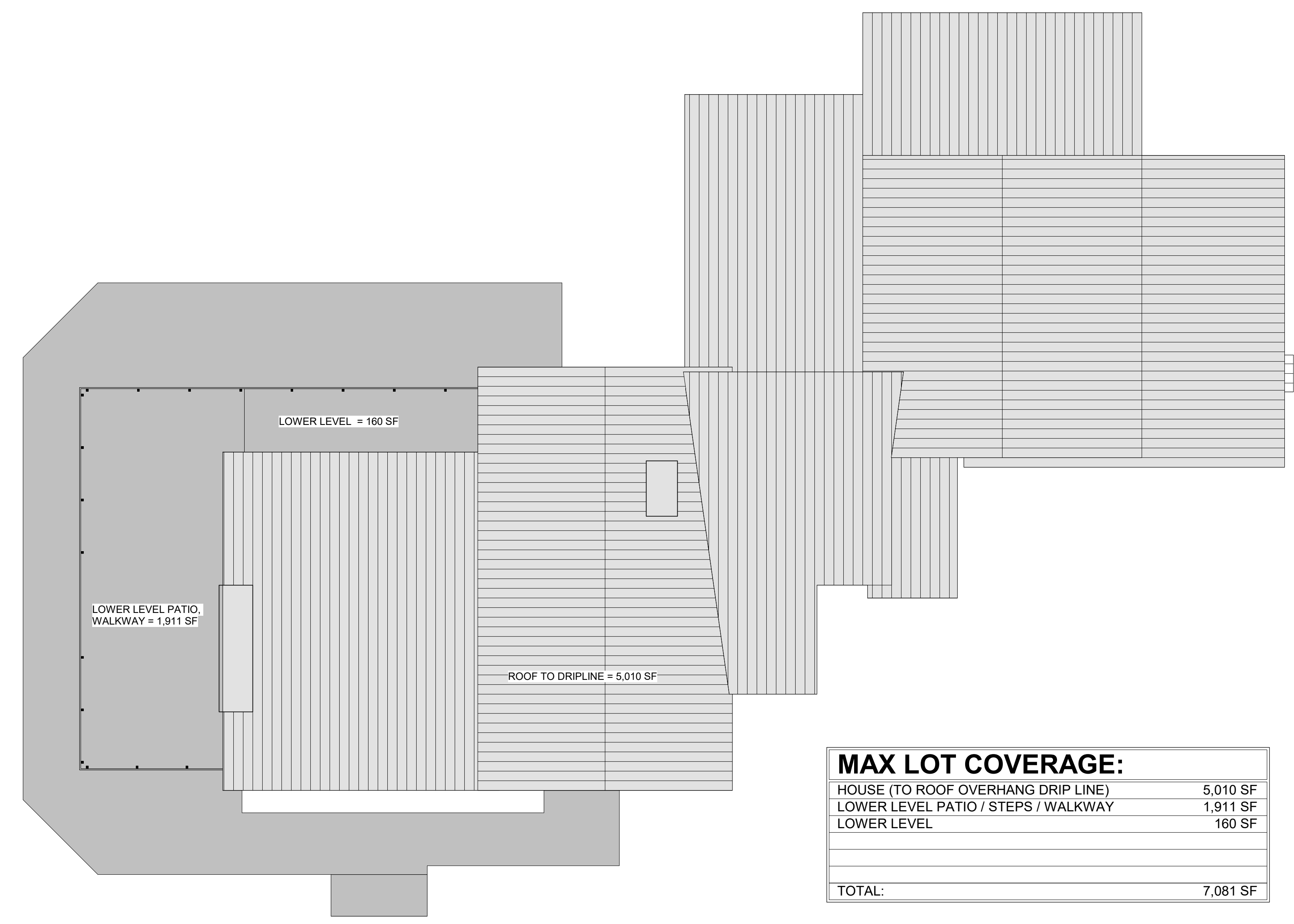
NORTH ELEVATION	
N1	11.39'
N2	17.73'
N3	28.46'
N4	30.73'
N5	33.09'
N6	35.57'
N7	36.08'
SUB-TOTAL:	193.05'

SOUTH ELEVATION	
S1	27.84'
S2	29.13'
S3	35.87'
S4	31.56'
S5	24.34'
S6	25.96'
S7	14.25'
S8	24.95'
S9	12.38'
S10	11.05'
SUB-TOTAL:	240.06'

EAST ELEVATION	
E1	24.08'
E2	24.08'
E3	25.22'
E4	27.24'
E5	29.73'
E6	14.68'
SUB-TOTAL:	145.03'

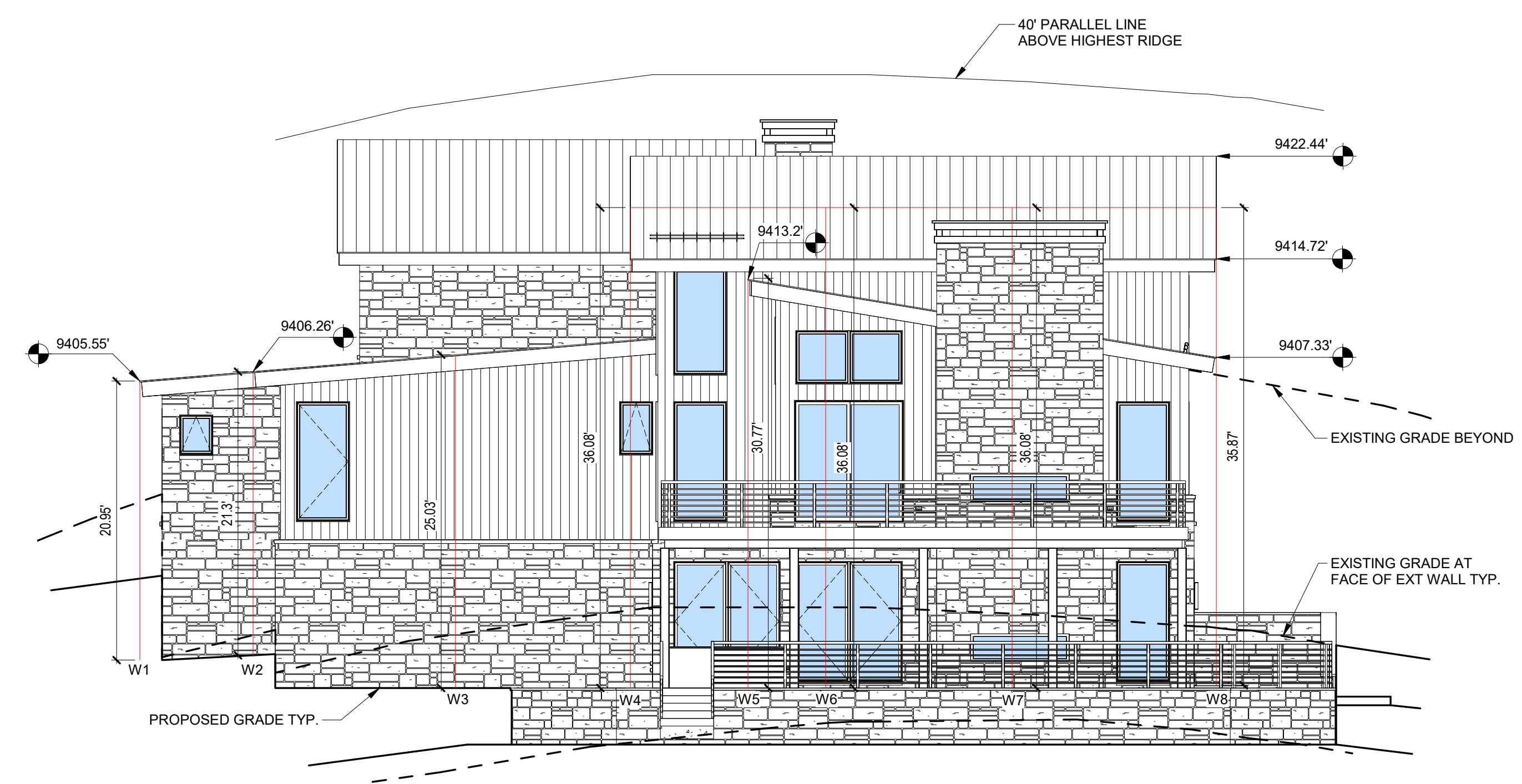
WEST ELEVATION	
W1	20.95'
W2	21.3'
W3	25.03'
W4	36.08'
W5	30.77'
W6	36.08'
W7	36.08'
W8	35.87'
SUB-TOTAL:	242.16'

TOTAL:	820.3'
NUMBER OF LOCATIONS:	31
AVERAGE:	26.46'

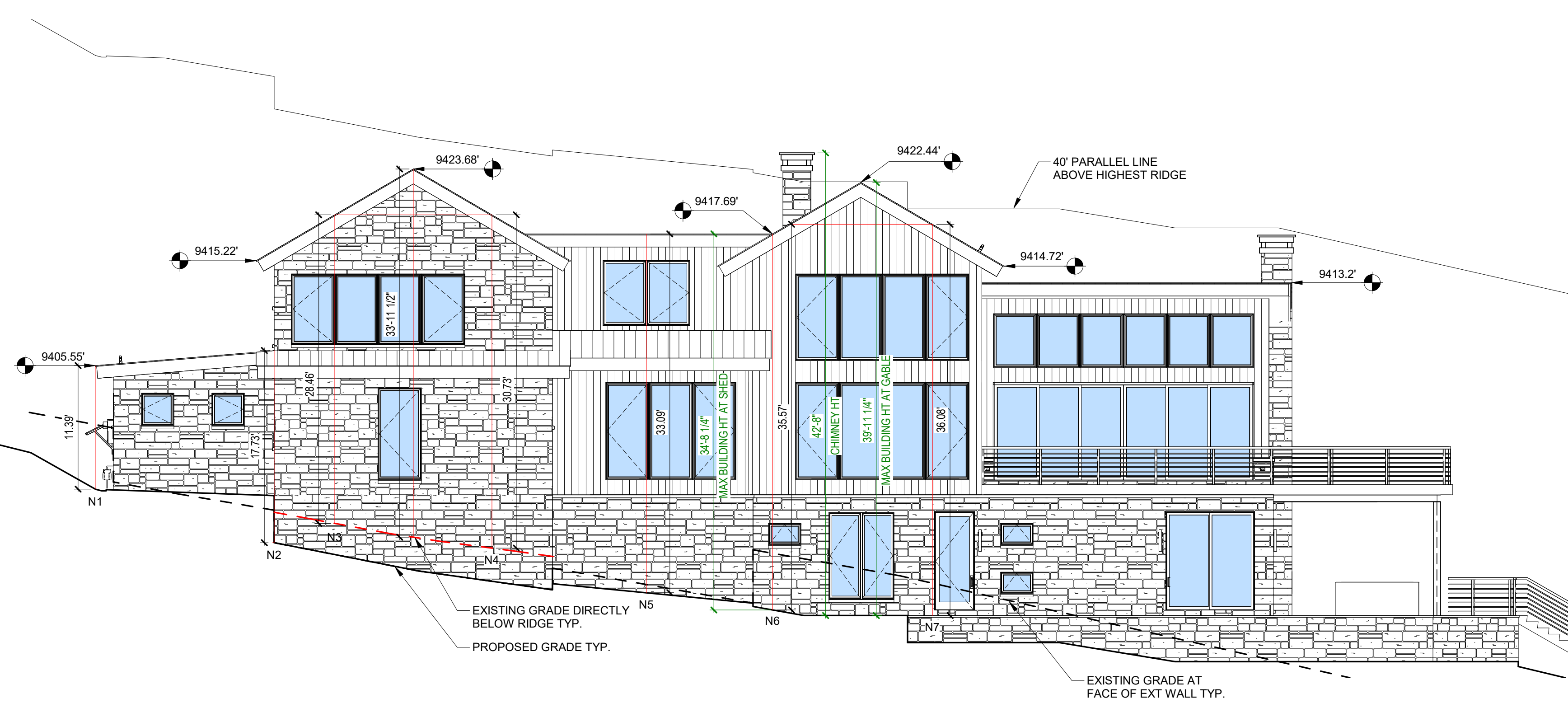


MAX LOT COVERAGE:	
HOUSE (TO ROOF OVERHANG DRIP LINE)	5,010 SF
LOWER LEVEL PATIO / STEPS / WALKWAY	1,911 SF
LOWER LEVEL	160 SF
TOTAL:	7,081 SF

5 MAXIMUM LOT COVERAGE CALCULATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"

MATERIAL CALCULATIONS

NORTH		
STONE	1,393 SF	45%
STONE @ RETAINING WALL		
WOOD SIDING	631 SF	20%
WINDOW/DOOR GLAZING	1,089.5 SF	35%
METAL DOOR	N/A	N/A
SUBTOTAL:	3,113.5 SF	100%
SOUTH		
STONE	1,236 SF	47%
STONE @ RETAINING WALL		
WOOD SIDING	579 SF	23%
WINDOW/DOOR GLAZING	659 SF	25%
METAL DOOR	162 SF	6%
SUBTOTAL:	2,635 SF	100%
EAST		
STONE	829 SF	61%
STONE @ RETAINING WALL		
WOOD SIDING	320 SF	23%
WINDOW/DOOR GLAZING	173.5 SF	13%
METAL DOOR	46 SF	3%
SUBTOTAL:	1,368.5 SF	100%
WEST		
STONE	1,214.5 SF	51%
STONE @ RETAINING WALL		
WOOD SIDING	695 SF	30%
WINDOW/DOOR GLAZING	441.5 SF	19%
METAL DOOR	N/A	N/A
SUBTOTAL:	2,351 SF	100%
TOTALS		
STONE	4,672.5 SF	
STONE @ RETAINING WALL		
WOOD SIDING	2,224 SF	
WINDOW/DOOR GLAZING	2,363.5 SF	
METAL DOOR	208 SF	
TOTAL:	9,468 SF	
PERCENTAGES		
STONE	49%	
STONE @ RETAINING WALL		
WOOD SIDING	24%	
WINDOW/DOOR GLAZING	25%	
METAL DOOR	2%	
TOTAL:	100%	

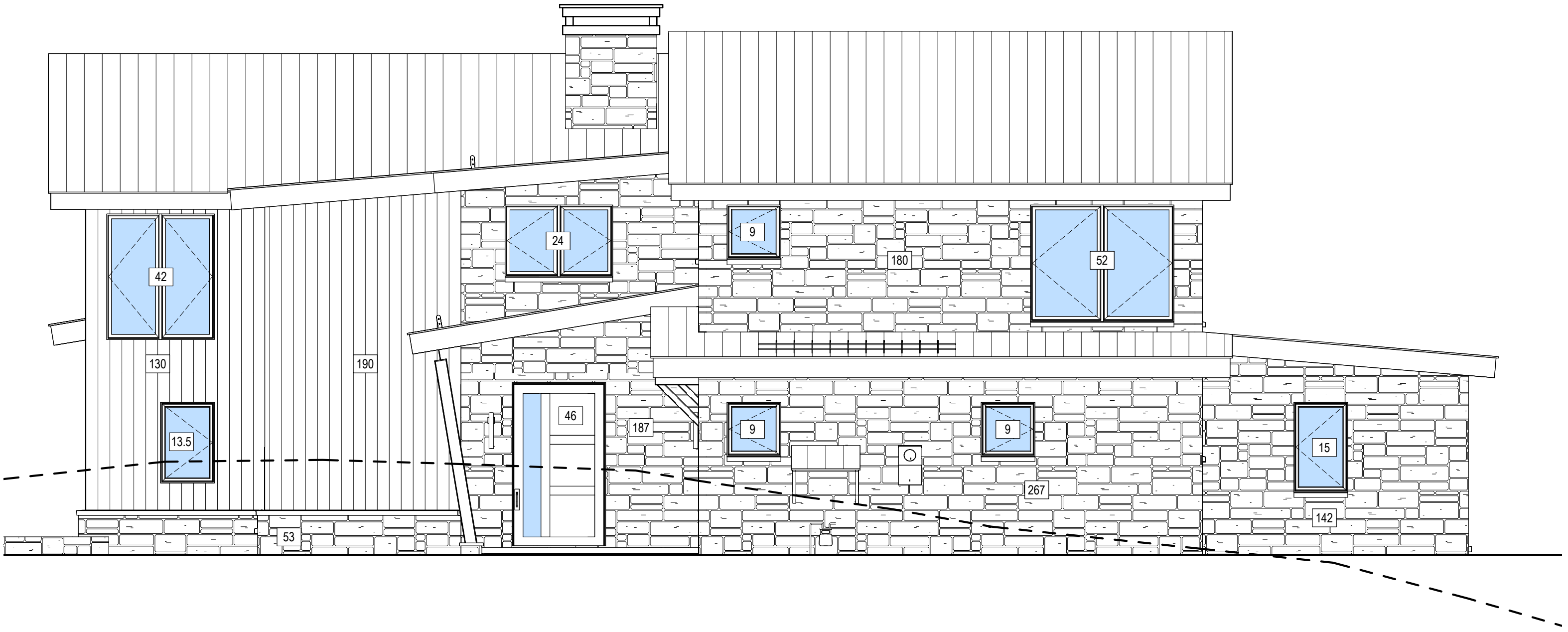
STONE VENEER CALCULATIONS ARE IN ACCORDANCE WITH
TITLE 17 OF THE TOWN OF MOUNTAIN VILLAGE MUNICIPAL
CODE CDC 17.5.6.E.1



1 NORTH ELEVATION
3/16" = 1'-0"



2 SOUTH ELEVATION
3/16" = 1'-0"



3 EAST ELEVATION
3/16" = 1'-0"



4 WEST ELEVATION
3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES:

DIMENSIONS:
ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE, ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.N.O.

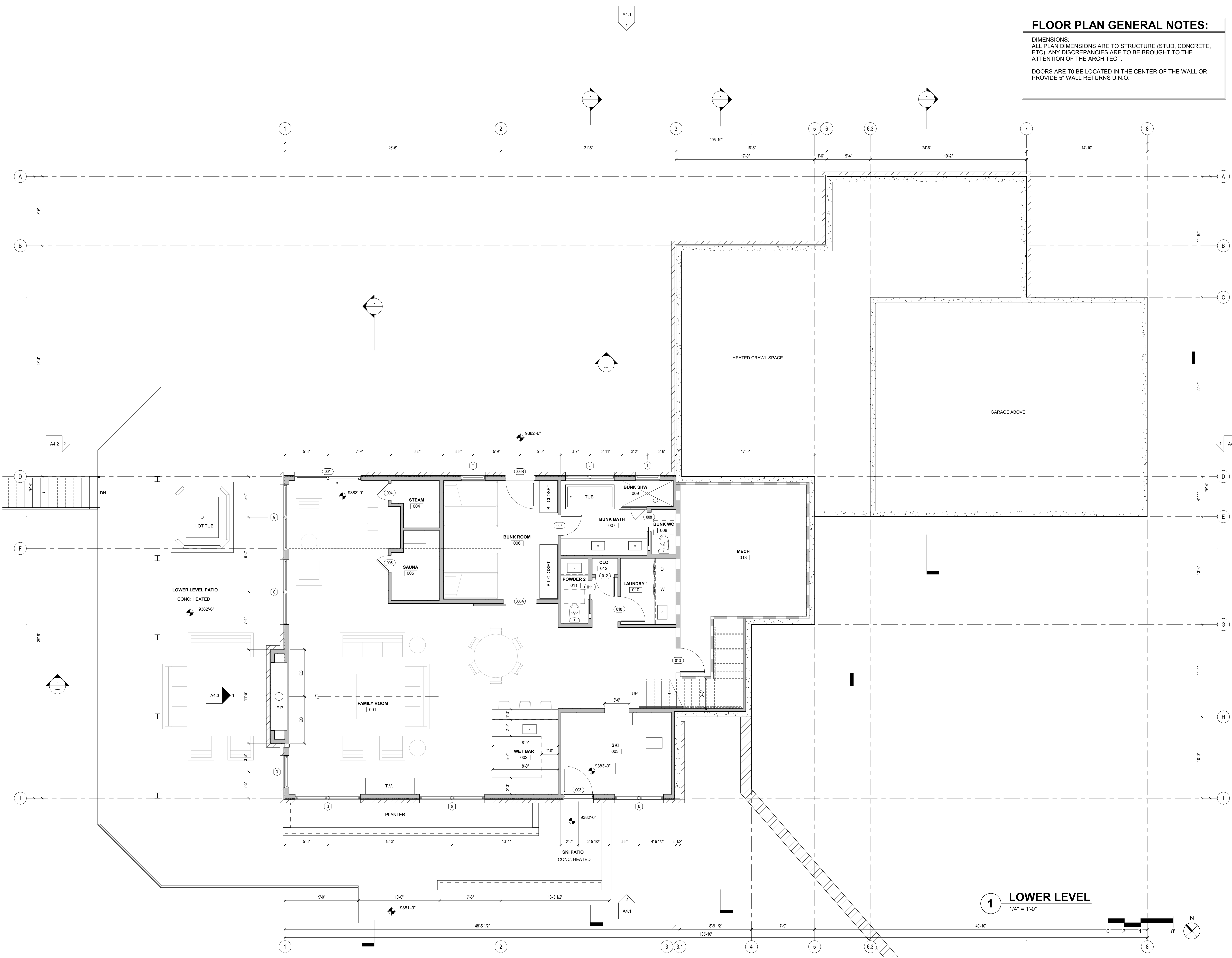
SHIFT ARCHITECTS

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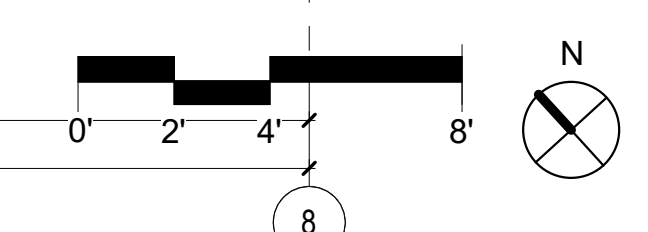
PROJECT ISSUE DATE:
01.26.22 DRB PRELIMINARY
SUBMITTAL

REVISIONS

NO.	DATE	DESC.
1		



1 LOWER LEVEL
1/4" = 1'-0"



MORAN RESIDENCE

LOT R3, VISCHER DRIVE, MOUNTAIN VILLAGE, CO 81435
LOT 3 AKA LOT R3 TELLURIDE MOUNTAIN VILLAGE FILING 1 CONT. 97 AC

FLOOR PLANS

SHEET NUMBER

A3.1

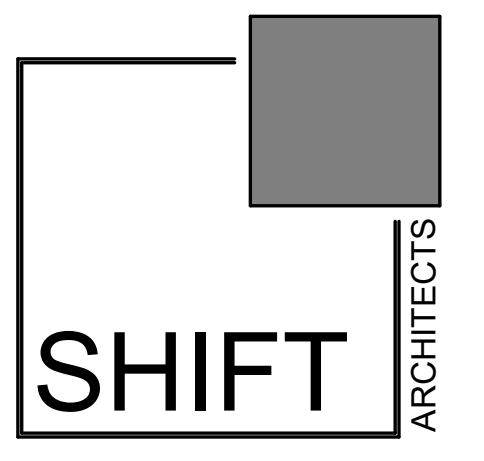
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FLOOR PLAN GENERAL NOTES:

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DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.N.O.



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PROJECT ISSUE DATE:
01.26.22 DRB PRELIMINARY
SUBMITTAL

REVISIONS
NO. DATE DESC



1 GROUND LEVEL
1/4" = 1'-0"



MORAN RESIDENCE

LOT R3, VISCHER DRIVE, MOUNTAIN VILLAGE, CO 81435
LOT 3.AKA LOT R3 TELLURIDE MOUNTAIN VILLAGE FILING 1 CONT. .97 AC

FLOOR PLANS

SHEET NUMBER

A3.2

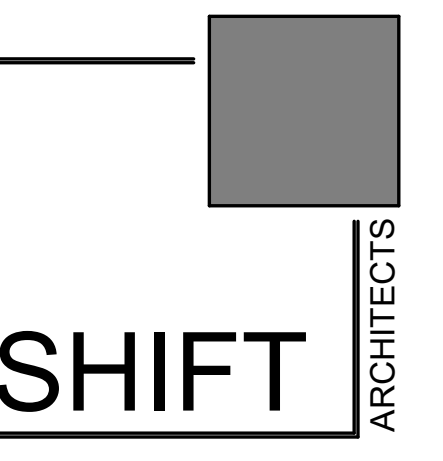
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1/28/2022 9:40:30 AM

FLOOR PLAN GENERAL NOTES:

DIMENSIONS:
ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE, ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

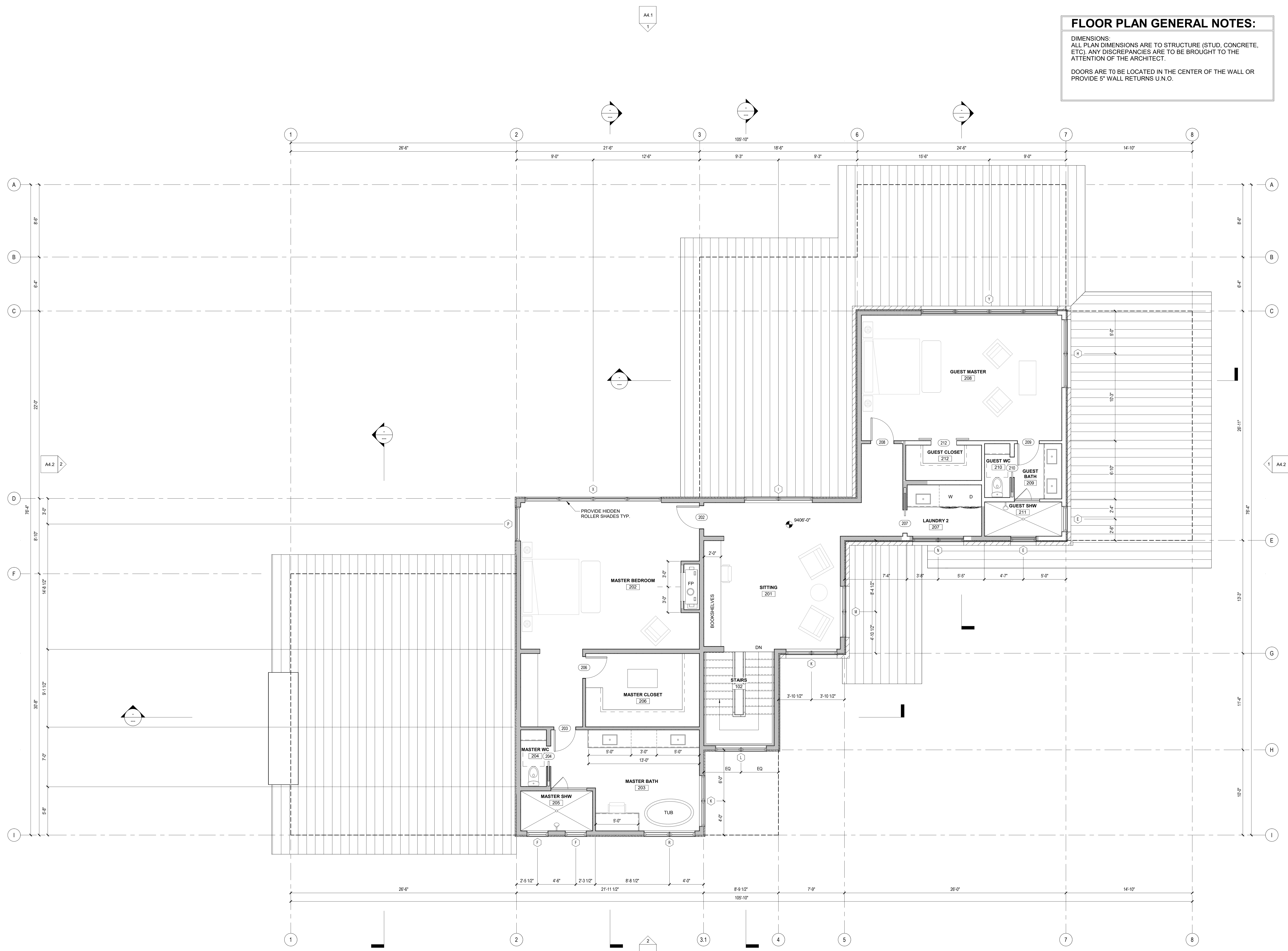
DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.N.O.



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PROJECT ISSUE DATE:
01.26.22 DRB PRELIMINARY
SUBMITTAL

REVISIONS	NO.	DATE	DESC.



MORAN RESIDENCE

LOT R3, VISCHER DRIVE, MOUNTAIN VILLAGE, CO 81435
LOT 3.AKA LOT R3 TELLURIDE MOUNTAIN VILLAGE FILING 1 CONT. 97 AC

FLOOR PLANS

SHEET NUMBER

A3.3

1 UPPER LEVEL
1/4" = 1'-0"

1/28/2022 9:40:30 AM

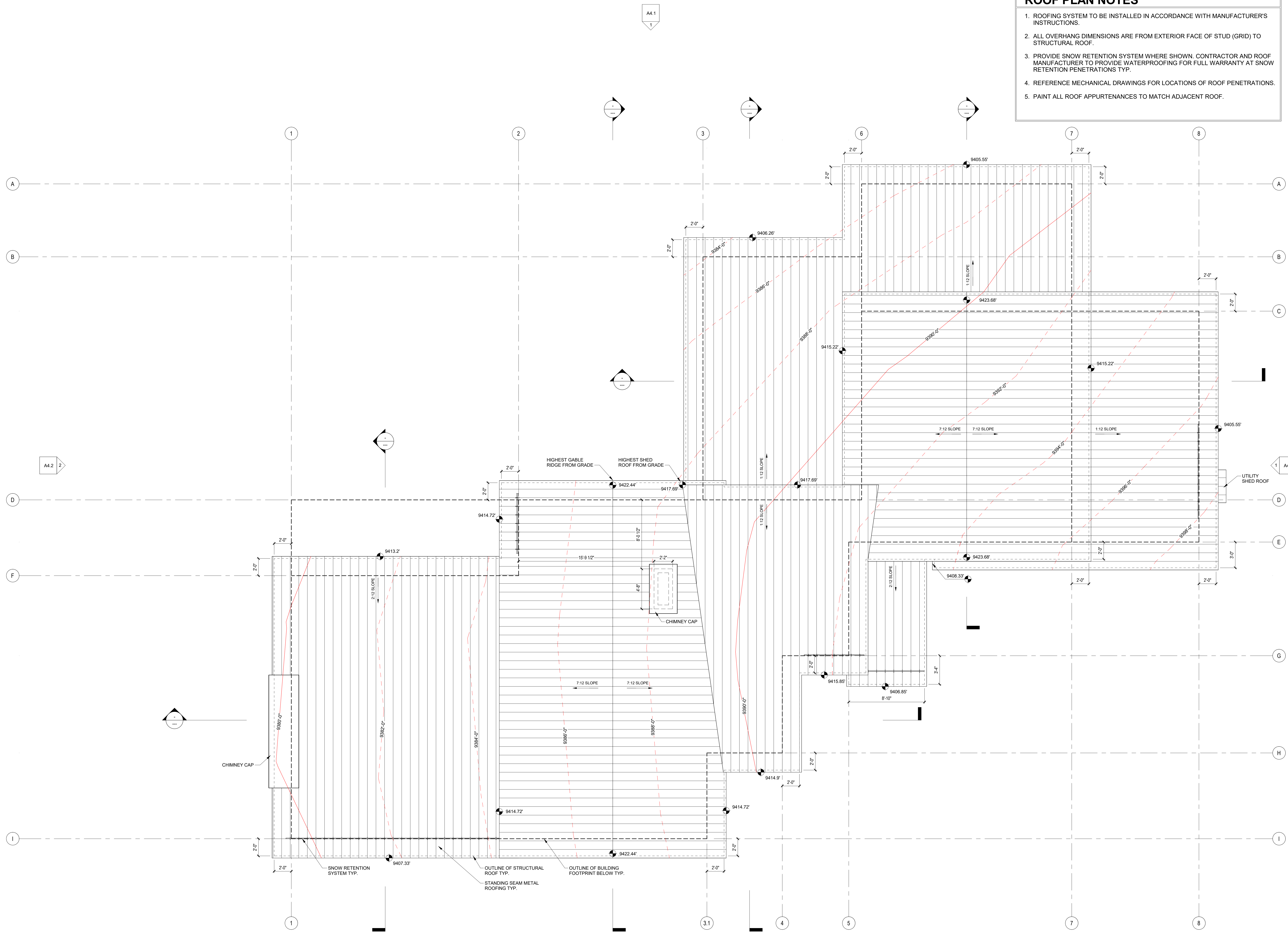
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- ROOF PLAN NOTES**
1. ROOFING SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 2. ALL OVERHANG DIMENSIONS ARE FROM EXTERIOR FACE OF STUD (GRID) TO STRUCTURAL ROOF.
 3. PROVIDE SNOW RETENTION SYSTEM WHERE SHOWN. CONTRACTOR AND ROOF MANUFACTURER TO PROVIDE WATERPROOFING FOR FULL WARRANTY AT SNOW RETENTION PENETRATIONS TYP.
 4. REFERENCE MECHANICAL DRAWINGS FOR LOCATIONS OF ROOF PENETRATIONS.
 5. PAINT ALL ROOF APPURTENANCES TO MATCH ADJACENT ROOF.

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MORAN RESIDENCE

LOT R3, VISCHER DRIVE, MOUNTAIN VILLAGE, CO 81435
 LOT 3 AKA LOT R3 TELLURIDE MOUNTAIN VILLAGE FILING 1 CONT. 97 AC

ROOF PLAN

SHEET NUMBER

A3.4

1 ROOF PLAN
 1/4" = 1'-0"



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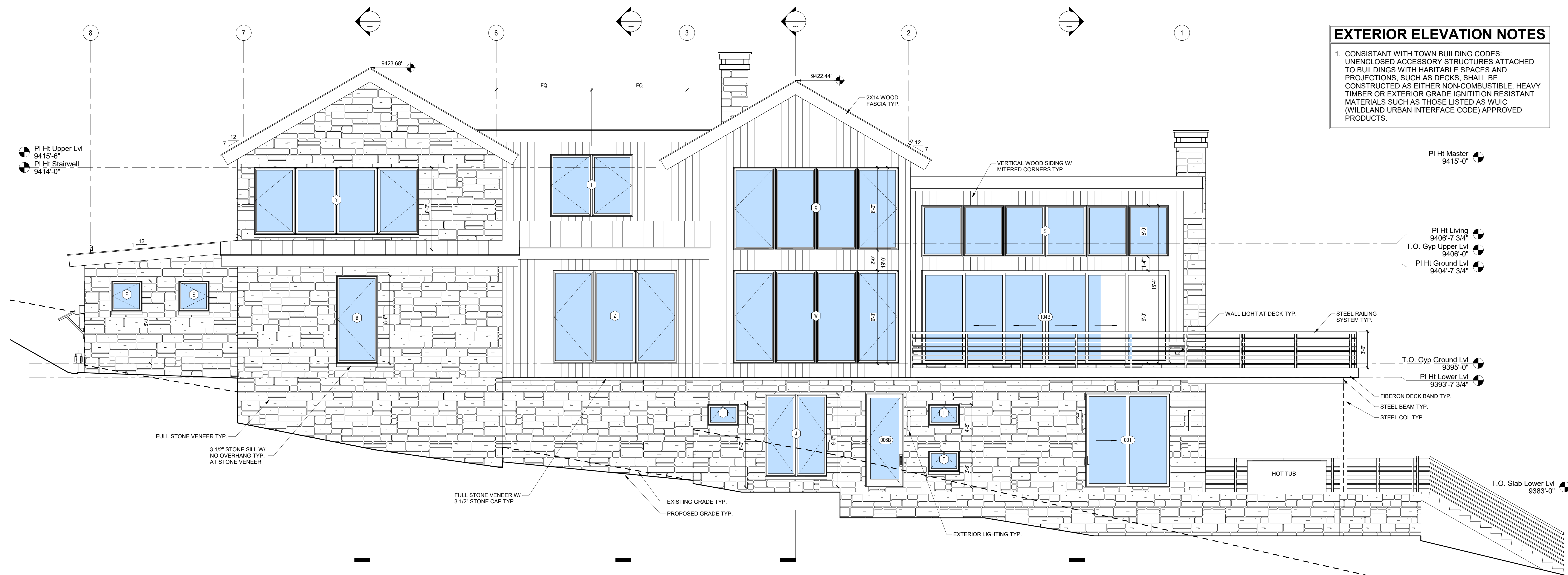
EXTERIOR ELEVATION NOTES

1. CONSISTANT WITH TOWN BUILDING CODES, UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.

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1 NORTH ELEVATION
 1/4" = 1'-0"



2 SOUTH ELEVATION
 1/4" = 1'-0"

MORAN RESIDENCE

LOT R3, VISCHER DRIVE, MOUNTAIN VILLAGE, CO 81435
 LOT 3 AKA LOT R3 TELLURIDE MOUNTAIN VILLAGE FILING 1 CONT. 97 AC

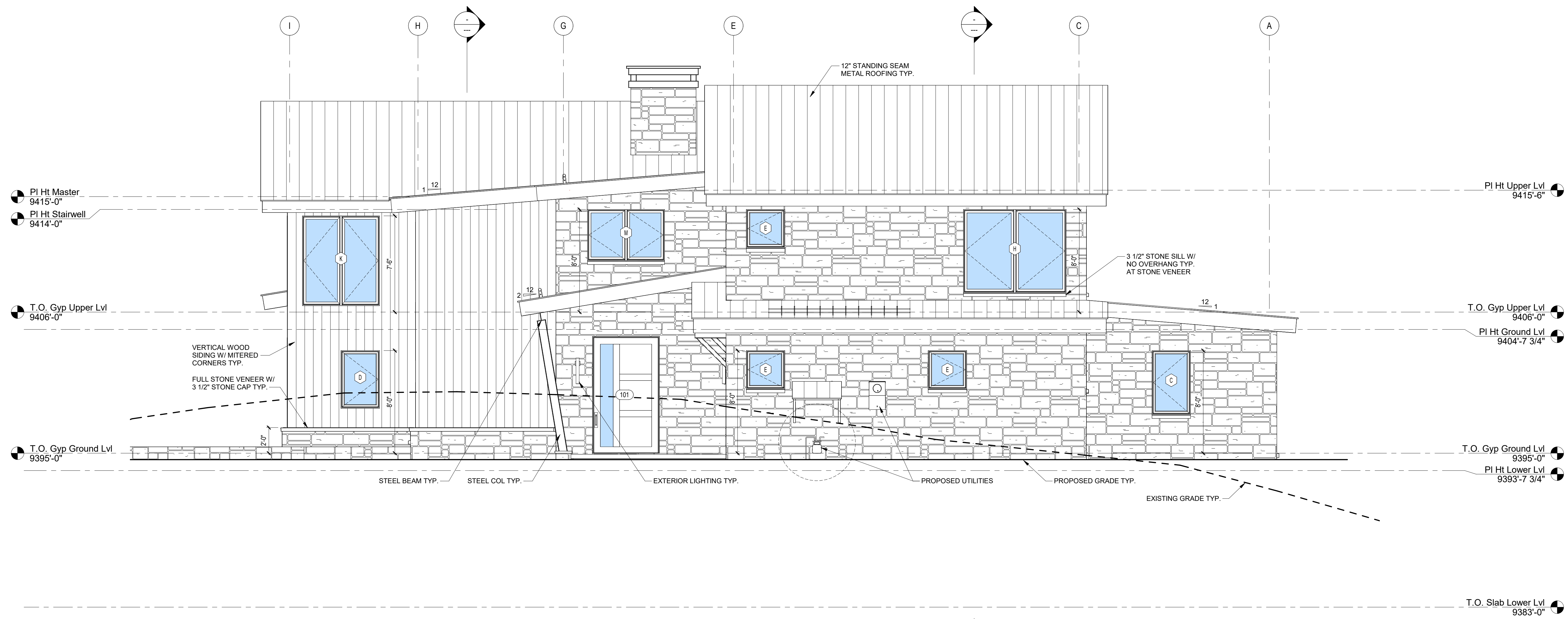
EXTERIOR ELEVATIONS

SHEET NUMBER

A4.1

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1/28/2022 9:46:32 AM



1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



MORAN RESIDENCE

LOT R3, VISCHER DRIVE, MOUNTAIN VILLAGE, CO 81435
LOT 3 AKA LOT R3 TELLURIDE MOUNTAIN VILLAGE FILING 1 CONT. 97 AC

EXTERIOR
ELEVATIONS

SHEET NUMBER

A4.2

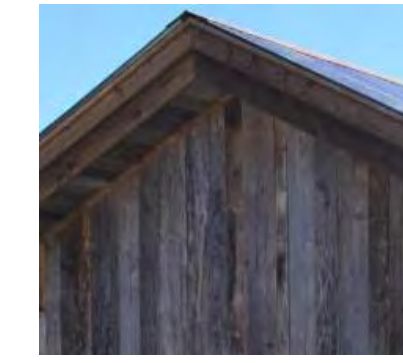
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1/26/2022 9:40:33 AM



TELLURIDE STONE
GOLD COLLECTION
GRAYSTONE
FULL STONE VENEER



VERTICAL WOOD SIDING:
8" MILLCREEK TELLURIDE STONE
RECLAIMED BARNWOOD SIDING W/
MITTERED CORNERS
FINISH: NATURAL, SEALED

STEEL BEAMS / COLUMNS:
FINISH: COLD ROLLED, SEALED

STEEL BRACE:
HTS 4X4 BRACE
FINISH: COLD ROLLED, SEALED

FASCIA:
2X14 RECLAIMED OAK
FINISH: NATURAL, SEALED

SOFFIT:
1X4 PINE
FINISH: NATURAL, SEALED

EXTERIOR RAILING:
STEEL; COLD ROLLED, SEALED



ROOFING:
PAC-CLAD 150 12" STANDING SEAM
METAL ROOFING; CHARCOAL

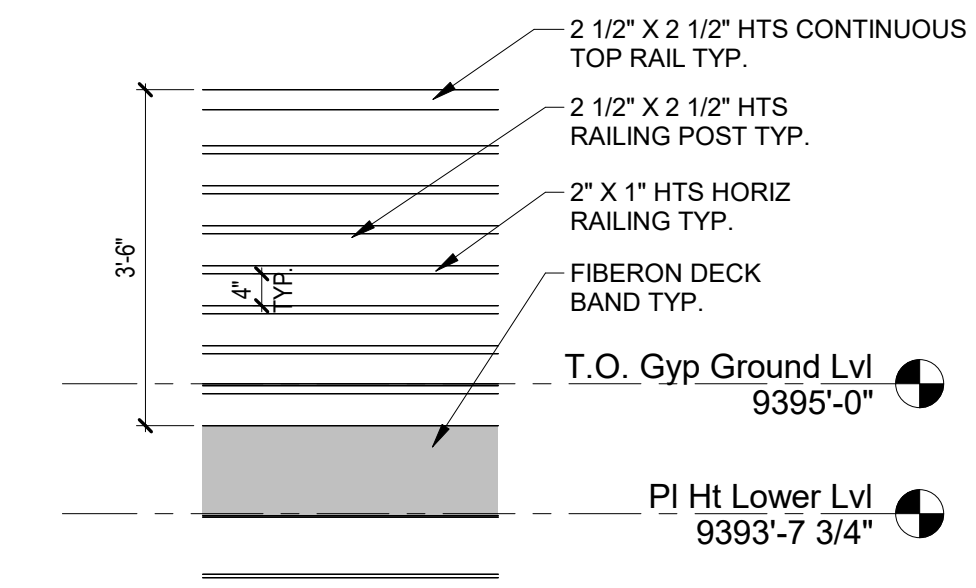


WINDOWS / DOORS:
LOEWEN ALUMN CLAD WOOD; CHARCOAL



EXTERIOR DECKING:
FIBERON PARAMOUNT PVC; SANDSTONE
SQUARE EDGE PROFILE. 1 X 5.5 BOARD
DIMENSIONS, WUI APPROVED (ALL ZONES)

EXTERIOR MATERIALS



2 EXTERIOR RAILING DETAIL
1/2" = 1'-0"



1 OUTDOOR FIREPLACE
1/2" = 1'-0"



1 NORTH ELEVATION
 1/8" = 1'-0"



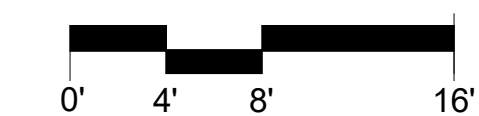
2 SOUTH ELEVATION
 1/8" = 1'-0"

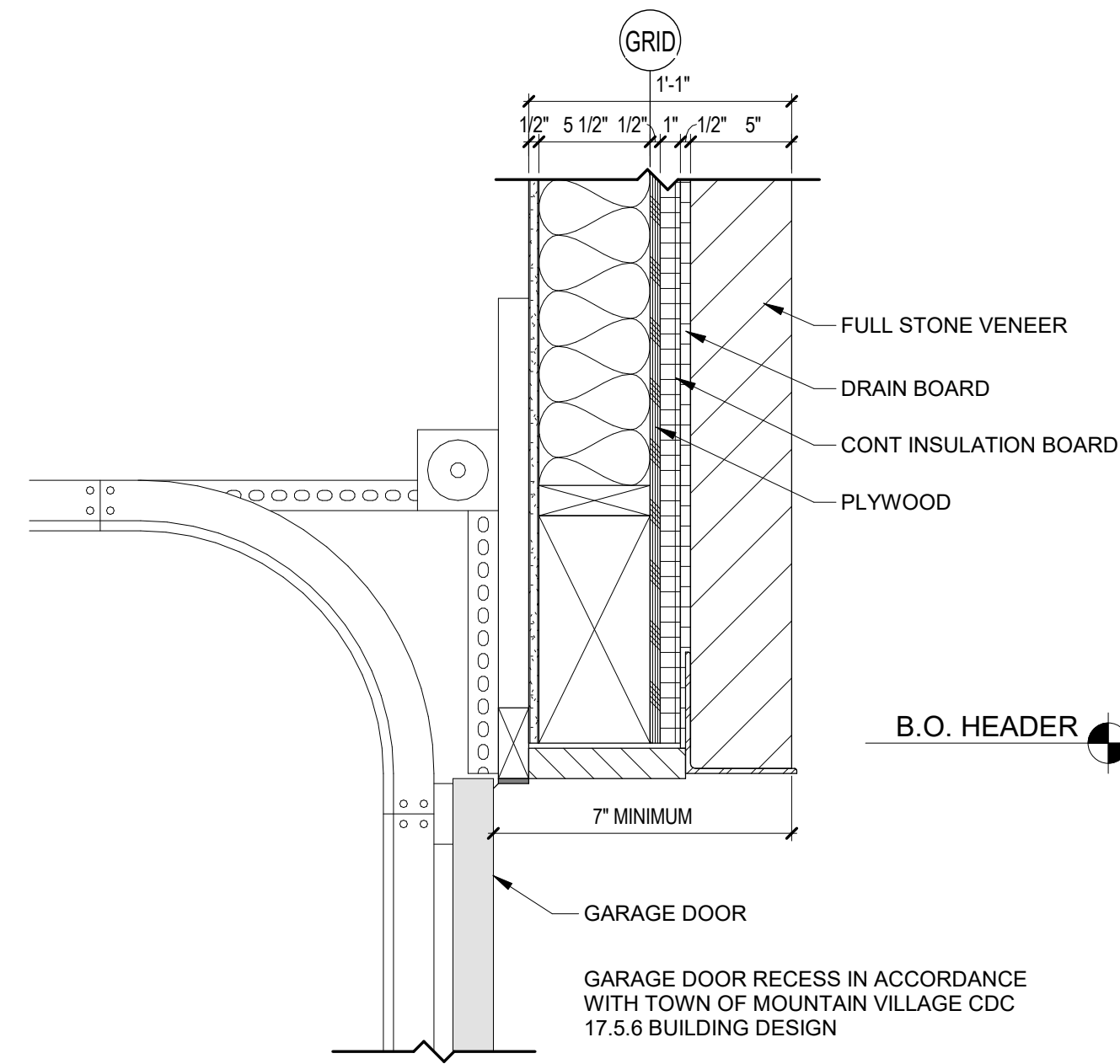


3 EAST ELEVATION
 1/8" = 1'-0"



4 WEST ELEVATION
 1/8" = 1'-0"



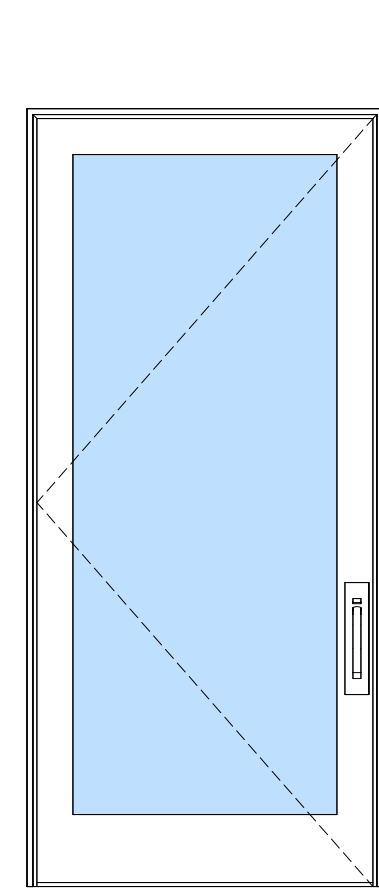


1 GARAGE DOOR RECESS
1 1/2" = 1'-0"

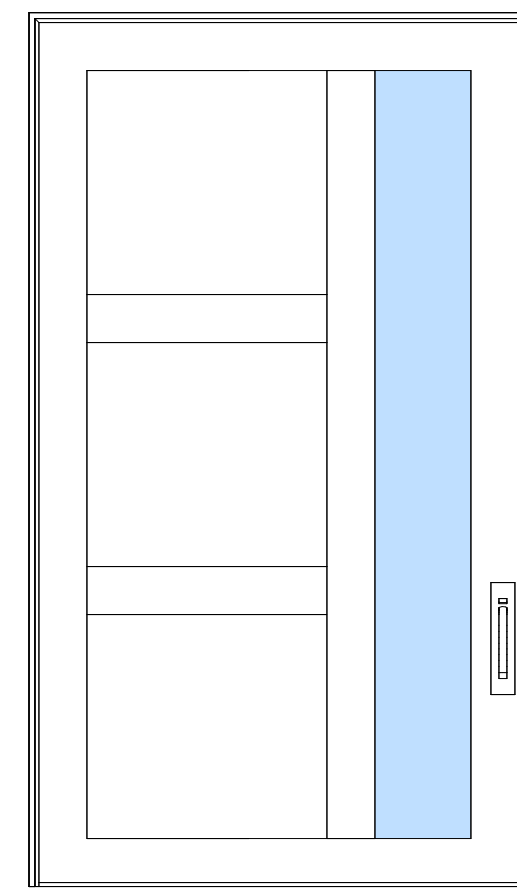
DOOR NOTES:

1. DOOR INSTALLATION: INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. PROVIDE TEMPERED GLASS AS REQUIRED BY CODE.
3. DOOR HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.
4. DOOR & WINDOW MANUFACTURER: LOEWEN ALUMN CLAD WOOD
5. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
6. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
7. PROVIDE SCREENS FOR ALL DOORS.
8. DOORS SHALL BE IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE CHAPTER 17.5 DESIGN REGULATIONS (17.5.6H DOORS AND ENTRY WAYS).

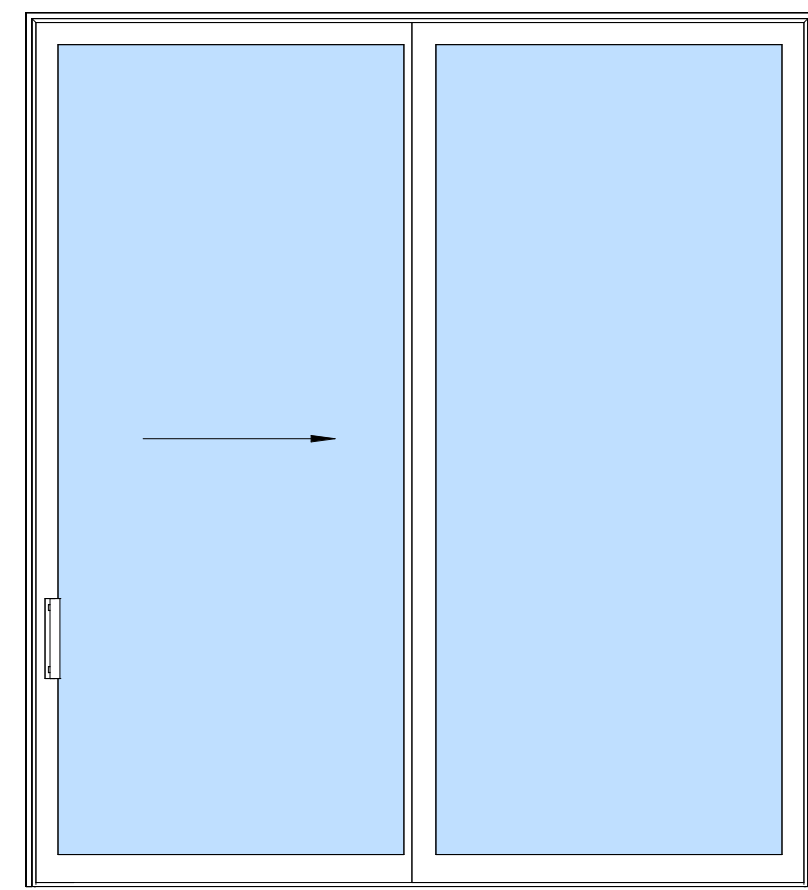
DOOR SCHEDULE								
MARK	ROOM NAME	TYPE MARK	WIDTH	HEIGHT	TYPE	MANUFACTURER	LOCATION	COMMENTS
001	FAMILY ROOM	C	8'-0"	9'-0"	SLIDING PATIO	LOEWEN ALUM CLAD WOOD; CHARCOAL	EXTERIOR	
003	SKI	A	3'-6"	9'-0"	SWING	LOEWEN ALUM CLAD WOOD; CHARCOAL	EXTERIOR	
006B	BUNK ROOM	A	3'-6"	9'-0"	SWING	LOEWEN ALUM CLAD WOOD; CHARCOAL	EXTERIOR	
101	ENTRY	B	5'-0"	9'-0"	PIVOT	CUSTOM PIVOT DOOR: STEEL / GLASS	EXTERIOR	
104A	LIVING	C	8'-0"	9'-0"	SLIDING PATIO	LOEWEN ALUM CLAD WOOD; CHARCOAL	EXTERIOR	
104B	LIVING	D	24'-0"	9'-0"	BI-PARTING LIFTSIDE (6 PANEL)	LOEWEN ALUM CLAD WOOD; CHARCOAL	EXTERIOR	
120B	GARAGE	A	3'-0"	9'-0"	SWING	LOEWEN ALUM CLAD WOOD; CHARCOAL	EXTERIOR	
120C	GARAGE	E	9'-0"	9'-0"	OVERHEAD DOOR	STEEL PANEL	EXTERIOR	
120D	GARAGE	E	9'-0"	9'-0"	OVERHEAD DOOR	STEEL PANEL	EXTERIOR	
004	STEAM	J	2'-0"	7'-0"	SWING (SAUNA/STEAM)		INTERIOR	
005	SAUNA	J	2'-0"	7'-0"	SWING (SAUNA/STEAM)		INTERIOR	
006A	BUNK ROOM	H	4'-0"	8'-0"	BARN DOOR (SINGLE)		INTERIOR	
007	BUNK BATH	F	2'-6"	8'-0"	SWING		INTERIOR	
008	BUNK WC	G	2'-4"	8'-0"	POCKET		INTERIOR	
010	LAUNDRY 1	F	3'-0"	8'-0"	SWING		INTERIOR	
011	POWDER 2	G	2'-4"	8'-0"	POCKET		INTERIOR	
012	FAMILY ROOM	F	2'-4"	8'-0"	SWING		INTERIOR	
013	MECH	F	3'-0"	8'-0"	SWING		INTERIOR	20 MIN FIRE RATED
106	KITCHEN 2	G	2'-8"	8'-0"	POCKET		INTERIOR	
107	PANTRY	F	2'-6"	8'-0"	SWING		INTERIOR	
108	CLOSET	H	2'-6"	8'-0"	BARN DOOR (SINGLE)		INTERIOR	
110	POWDER 1	F	2'-6"	8'-0"	SWING		INTERIOR	
111	CLOSET	F	2'-8"	8'-0"	SWING		INTERIOR	
112A	BEDROOM 1	F	2'-8"	8'-0"	SWING		INTERIOR	
112B	BEDROOM 2	F	2'-8"	8'-0"	SWING		INTERIOR	
113	BATH 1	F	2'-6"	8'-0"	SWING		INTERIOR	
114	WC 1	G	2'-4"	8'-0"	POCKET		INTERIOR	
116	CLOSET 2	F	2'-6"	8'-0"	SWING		INTERIOR	
117	BEDROOM 2	F	2'-8"	8'-0"	SWING		INTERIOR	
118	BATH 2	F	2'-4"	8'-0"	SWING		INTERIOR	
119	BATH 2	G	2'-4"	8'-0"	POCKET		INTERIOR	
120A	HALL	F	3'-0"	8'-0"	SWING		INTERIOR	20 MIN FIRE RATED
202	MASTER BEDROOM	F	2'-8"	8'-0"	SWING		INTERIOR	
203	MASTER BATH	F	2'-6"	8'-0"	SWING		INTERIOR	
204	MASTER BATH	G	2'-4"	8'-0"	POCKET		INTERIOR	
206	MASTER CLOSET	F	2'-6"	8'-0"	SWING		INTERIOR	
207	LAUNDRY 2	G	2'-8"	8'-0"	POCKET		INTERIOR	
208	GUEST MASTER	F	2'-8"	8'-0"	SWING		INTERIOR	
209	GUEST BATH	F	2'-6"	8'-0"	SWING		INTERIOR	
210	GUEST BATH	G	2'-4"	8'-0"	POCKET		INTERIOR	
212	GUEST CLOSET	I	3'-0"	8'-0"	BARN DOOR (DOUBLE)		INTERIOR	



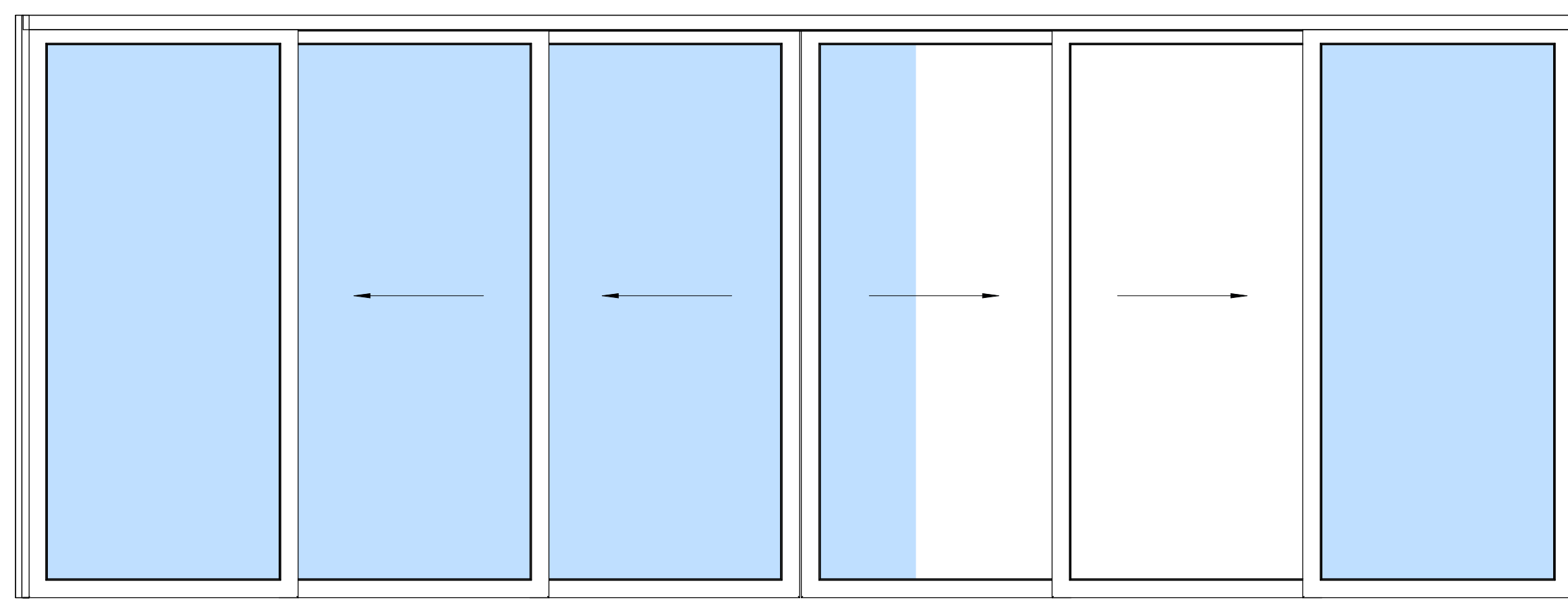
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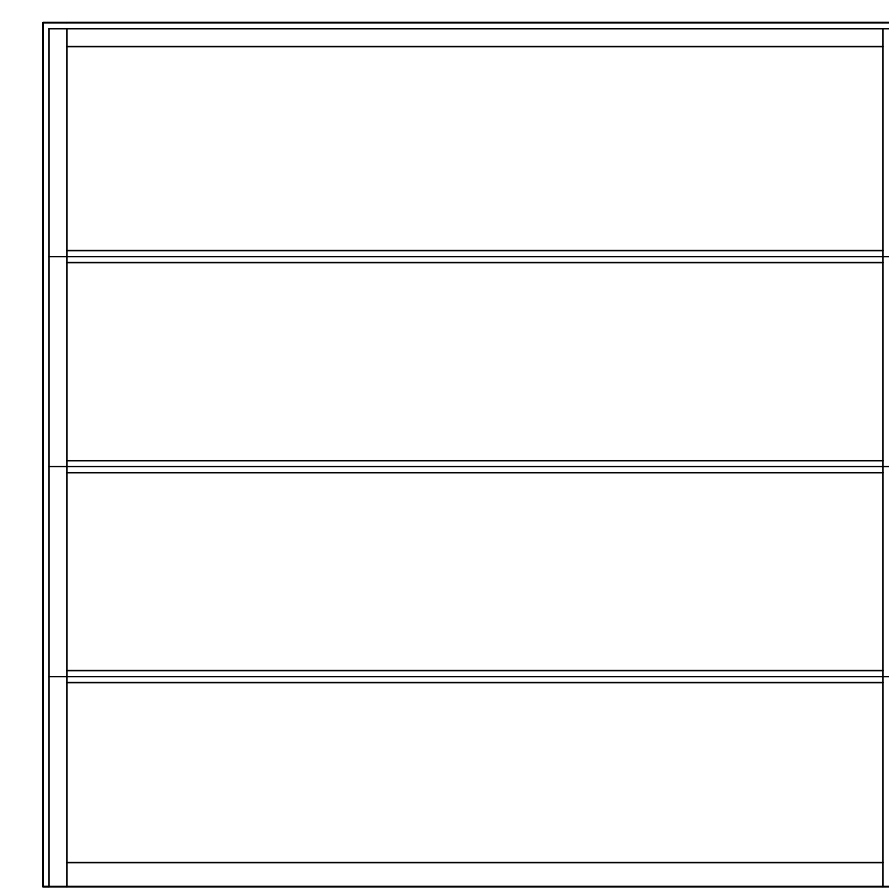
TYPE B



TYPE C

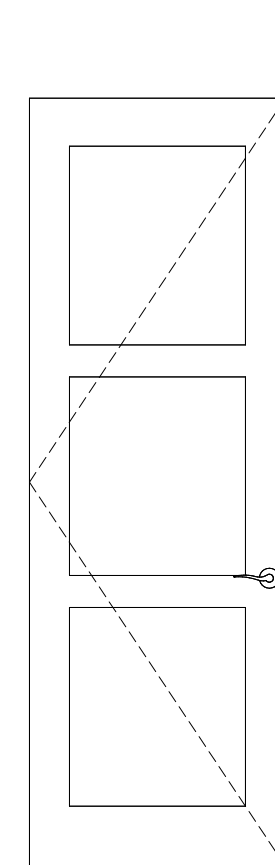


TYPE D

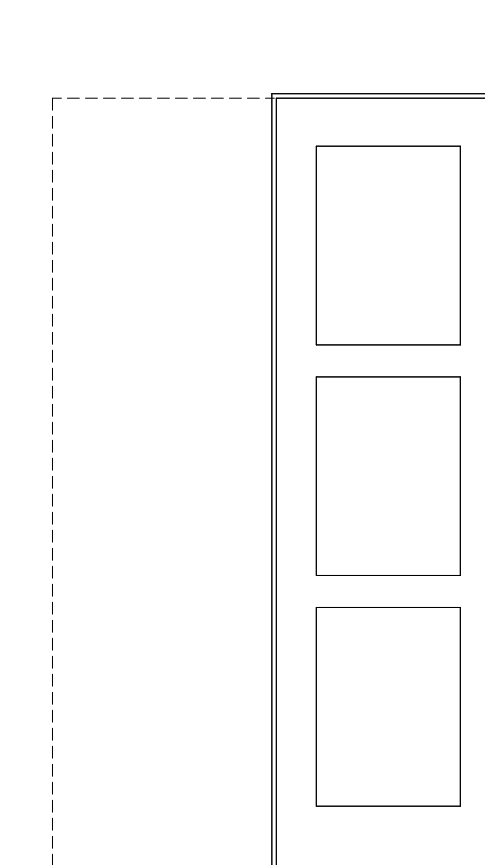


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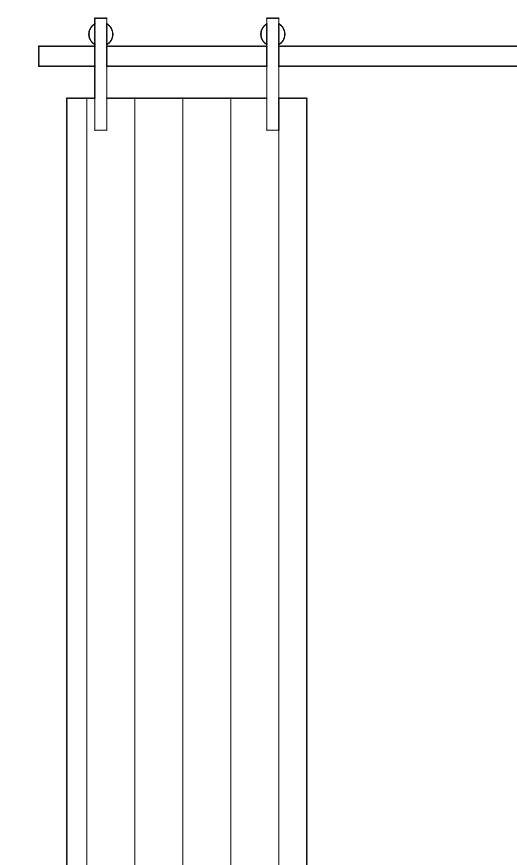
EXTERIOR DOOR TYPES



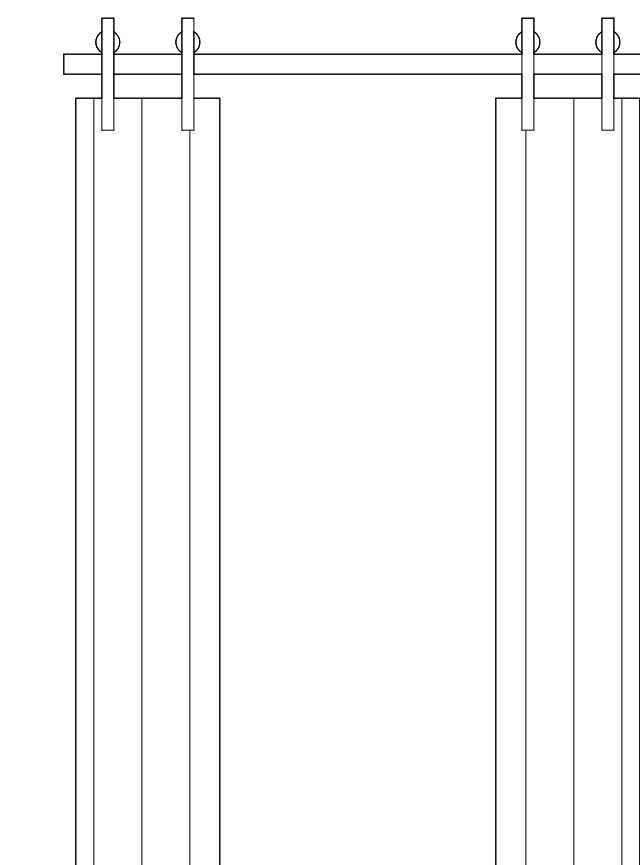
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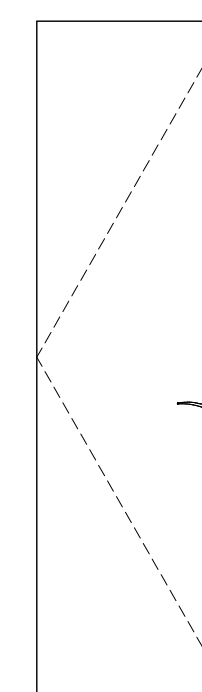
TYPE G



TYPE H



TYPE I



TYPE J

INTERIOR DOOR TYPES

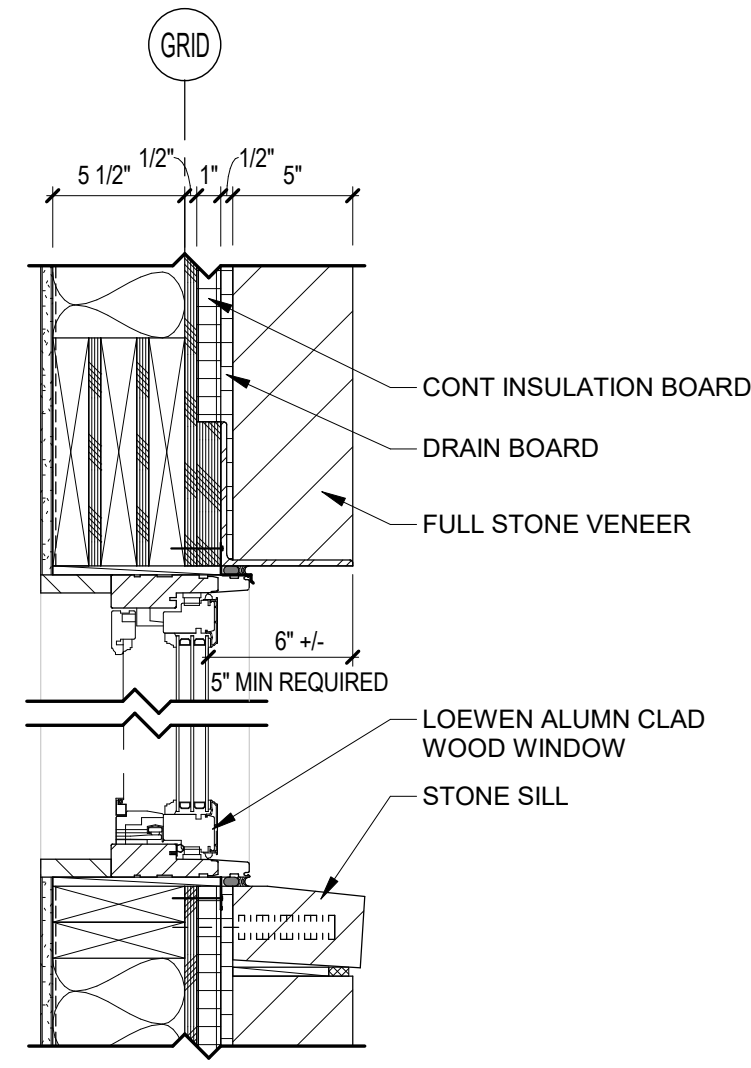
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MORAN RESIDENCE
LOT R3, VISCHER DRIVE, MOUNTAIN VILLAGE, CO 81435
LOT 3.AKA LOT R3 TELLURIDE MOUNTAIN VILLAGE FILING 1 CONT. .97 AC

DOOR SCHEDULE
SHEET NUMBER

1/28/2022 9:40:35 AM
A8.1
NOT FOR CONSTRUCTION

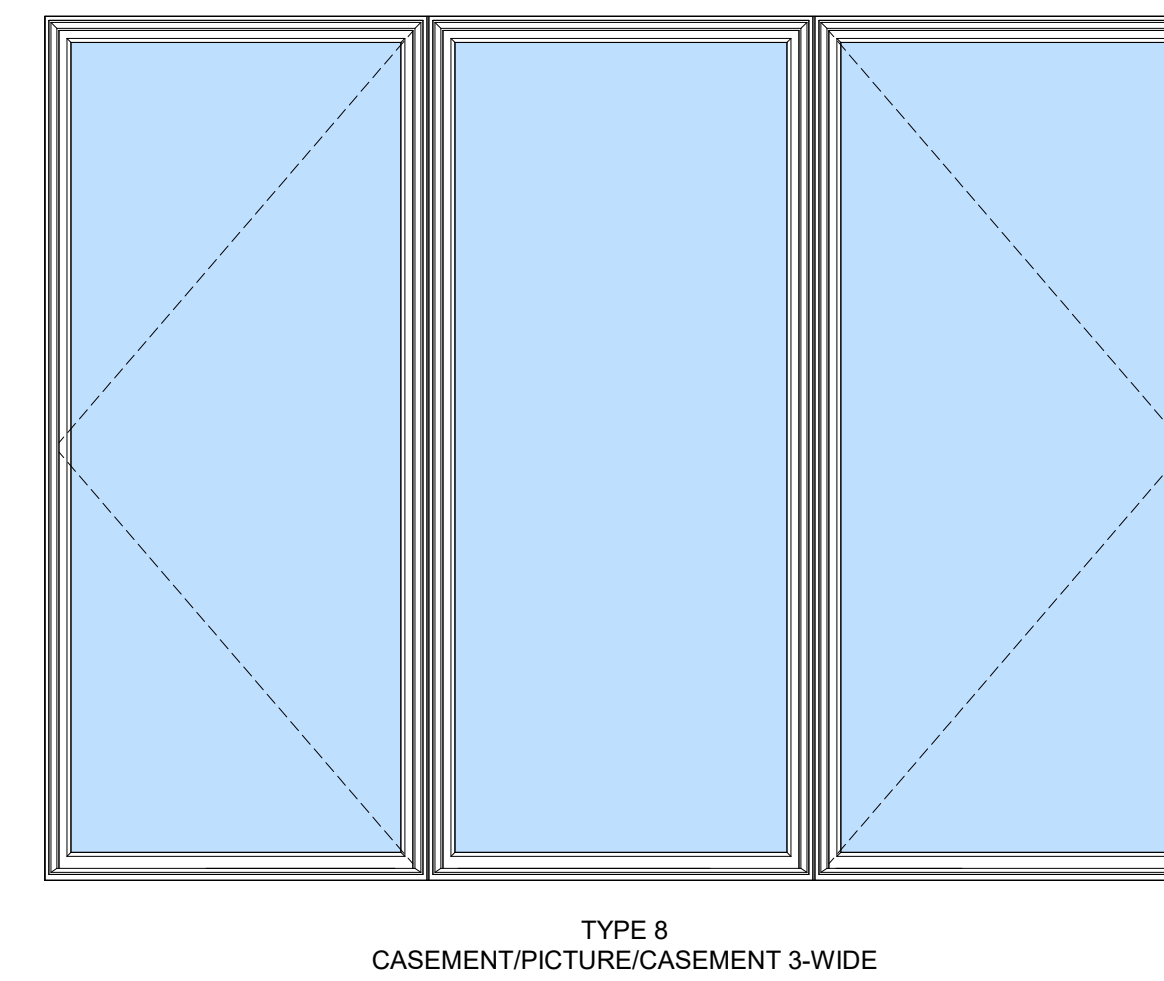
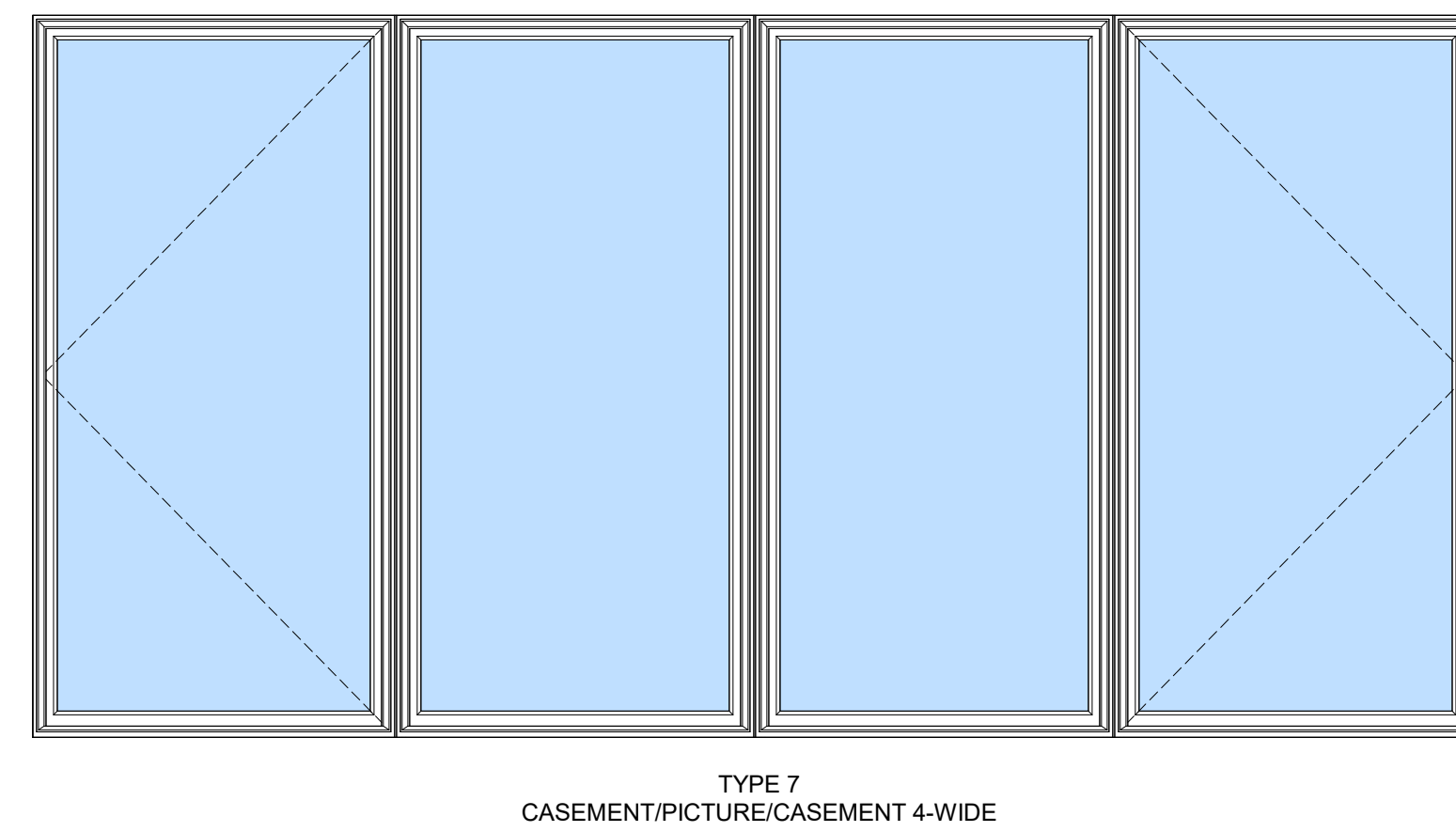
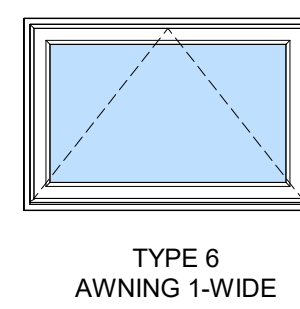
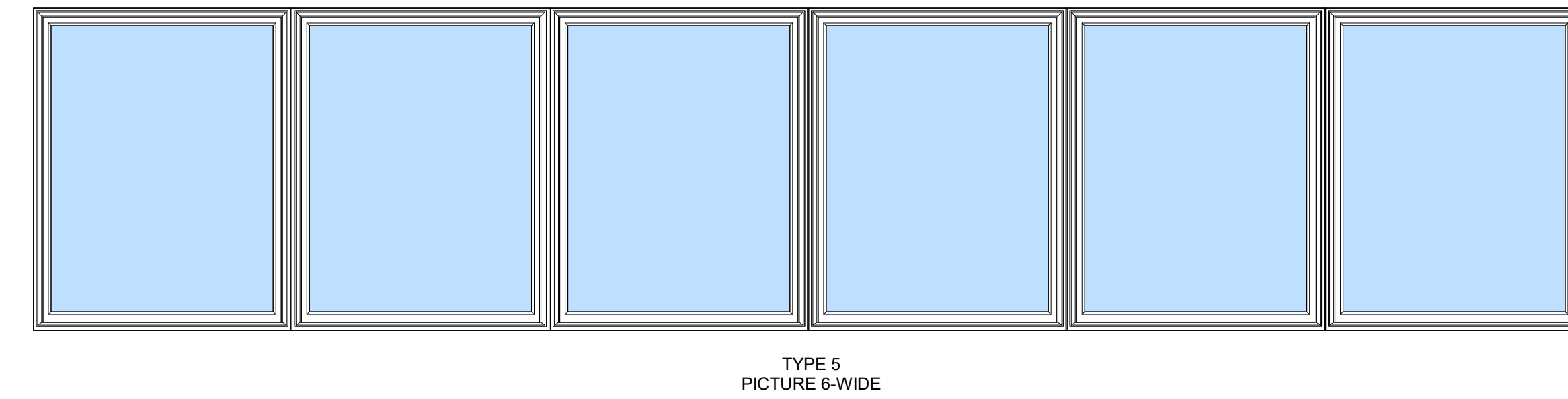
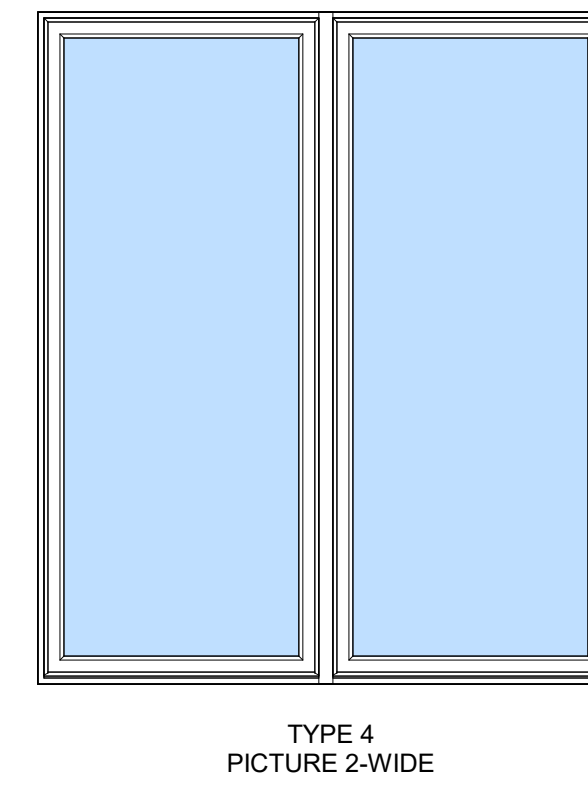
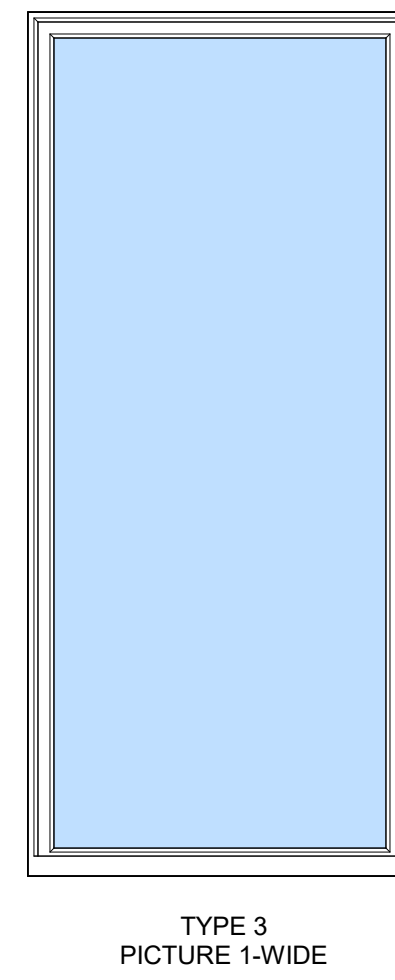
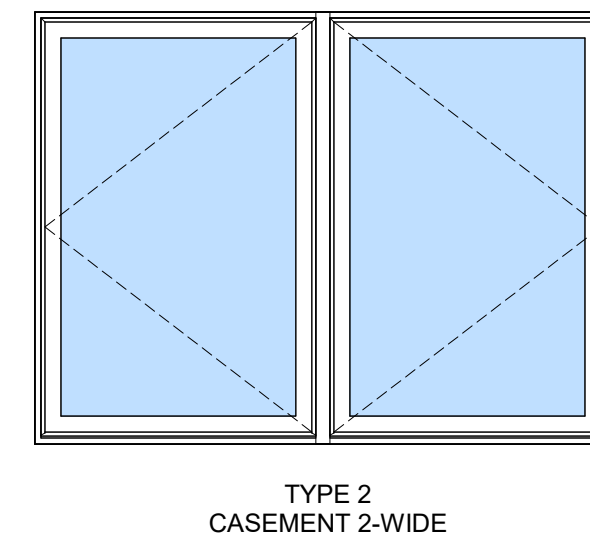
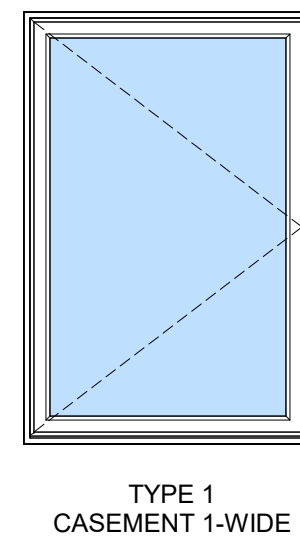


1 WINDOW HEAD/SILL STONE VENEER
 1 1/2" = 1'-0"

WINDOW NOTES:

1. WINDOW INSTALLATION: INSTALL WINDOWS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. PROVIDE TEMPERED GLASS AS REQUIRED BY CODE.
3. SEE ELEVATIONS FOR WINDOW MULLION PATTERN.
4. WINDOW HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.
5. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
6. WINDOW MANUFACTURER TO VERIFY WINDOW SWINGS.
7. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
8. PROVIDE SCREENS FOR ALL OPERABLE WINDOWS.
9. DOORS SHALL BE IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE CHAPTER 17.5 DESIGN REGULATIONS (17.5.6H DOORS AND ENTRY WAYS).

ROOM NUMBER	ROOM NAME	TYPE MARK	UNIT WIDTH	UNIT HEIGHT	TYPE MARK	TYPE	MANUFACTURER	COMMENTS
001	FAMILY ROOM	G	8'-0"	9'-0"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
001	FAMILY ROOM	G	8'-0"	9'-0"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
001	FAMILY ROOM	G	8'-0"	9'-0"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
001	FAMILY ROOM	G	8'-0"	9'-0"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
001	FAMILY ROOM	O	4'-0"	9'-0"		PICTURE (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
003	SKI	N	6'-0"	3'-0"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
006	BUNK ROOM	T	3'-0"	2'-0"	6	AWNING (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
006	BUNK ROOM	T	3'-0"	2'-0"	6	AWNING (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
007	BUNK BATH	J	6'-0"	8'-0"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
009	BUNK SHW	T	3'-0"	2'-0"	6	AWNING (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
101	ENTRY	K	6'-0"	7'-0"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
102	STAIRS	L	6'-0"	4'-6"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
102	STAIRS	L	6'-0"	4'-6"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
102	STAIRS	L	6'-0"	4'-6"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
103	DINING	O	4'-0"	9'-0"	3	PICTURE (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
103	DINING	W	16'-0"	9'-0"	7	CASEMENT / PICTURE / PICTURE / CASEMENT (4 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
104	LIVING	G	8'-0"	9'-0"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
104	LIVING	G	8'-0"	9'-0"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
104	LIVING	O	4'-0"	9'-0"		PICTURE (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
104	LIVING	Q	8'-0"	4'-0"	4	PICTURE (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
104	LIVING	S	24'-0"	5'-0"	5	PICTURE (6 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
105	KITCHEN	L	6'-0"	4'-6"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
106	KITCHEN 2	D	3'-0"	4'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
106	KITCHEN 2	D	3'-0"	4'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
112	BEDROOM 1	A	4'-0"	9'-0"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
112	BEDROOM 1	Z	12'-0"	9'-0"	8	CASEMENT / PICTURE / CASEMENT (3 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
115	SHW 1	U	2'-6"	4'-0"	6	AWNING (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
117	BEDROOM 2	B	4'-0"	8'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
117	BEDROOM 2	C	3'-0"	5'-0"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
119	WC 2	V	2'-6"	3'-0"	6	AWNING (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
120	GARAGE	E	3'-0"	3'-0"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
120	GARAGE	E	3'-0"	3'-0"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
120	GARAGE	E	3'-0"	3'-0"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
120	GARAGE	E	3'-0"	3'-0"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
201	SITTING	I	8'-0"	6'-0"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
201	SITTING	K	6'-0"	7'-0"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
201	SITTING	M	6'-0"	4'-0"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
202	MASTER BEDROOM	P	4'-0"	8'-0"	3	PICTURE (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
202	MASTER BEDROOM	X	16'-0"	8'-0"	7	CASEMENT / PICTURE / PICTURE / CASEMENT (4 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
203	MASTER BATH	K	6'-0"	7'-0"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
203	MASTER BATH	R	6'-0"	7'-0"	4	PICTURE (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
205	MASTER SHW	F	2'-6"	4'-0"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
205	MASTER SHW	F	2'-6"	4'-0"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
207	LAUNDRY 2	N	6'-0"	3'-0"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
208	GUEST MASTER	H	8'-0"	6'-6"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
208	GUEST MASTER	Y	16'-0"	6'-6"	7	CASEMENT / PICTURE / PICTURE / CASEMENT (4 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
211	GUEST SHW	E	3'-0"	3'-0"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	
211	GUEST SHW	E	3'-0"	3'-0"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD WOOD; CHARCOAL	



WINDOW TYPES

EXTERIOR FIXTURE A:

EXTERIOR WALL SCONCE (8 TOTAL)

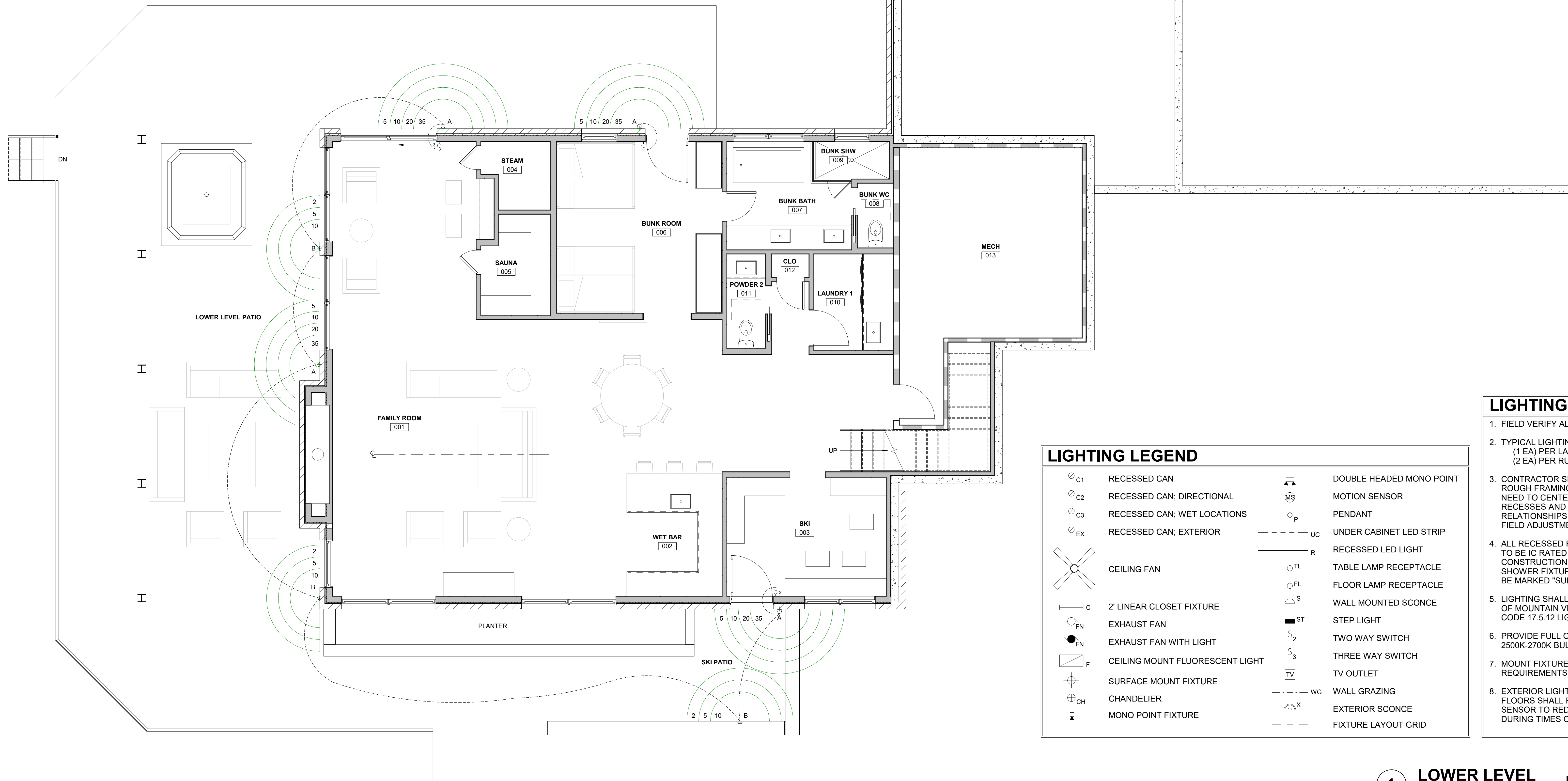
ZUR 24 WALL SCONCE	
BLACK	
MANUFACTURER	TECH LIGHTING
WIDTH	5"
HEIGHT	24"
EXTENSION	5.7"
LUMENS	45
WATTS	20.4
VOLTAGE	UNIVERSAL 120-277V WITH INTEGRAL TRANSIENT 2.5KV SURGE PROTECTION (DRIVER)
DIMMING	0-10, ELV
LIGHT DISTRIBUTION	ADJUSTABLE
MOUNTING OPTIONS	WALL
ADJUSTABILITY	HEAD PIVOTS 240
PERFORMANCE OPTIONS	PHOTOCONTROL/IN-LINE FUSE
CCT	2700K, 3000K
CRI	90+
COLOR BINNING	3 STEP
DARK SKY	COMPLIANT
WET LISTED	IP65
GENERAL LISTING	ETL TITLE 24
START TEMP	-30° C
FIELD SERVICEABLE LED	YES
CONSTRUCTION	ALUMINUM
HARDWARE	STAINLESS STEEL
FINISH	POWDER COAT
LED LIFETIME	L70: >60,000 HOURS



EXTERIOR FIXTURE B:

EXTERIOR LED WALL/STEP LIGHT (7 TOTAL)

LANDSCAPE LIGHTING LED HORIZONTAL STEP LIGHT	
BLACK ON ALUMINUM	
MANUFACTURER	WAC LIGHTING
ITEM	4011-30BK
MATERIAL	CORROSION RESISTANT ALUMINUM ALLOY
GLASS	FROSTED GLASS DIFFUSER
WIDTH	5"
HEIGHT	3"
DEPTH	1.93"
LUMENS	68
BEAM SPREAD	50°
CRI	90
COLOR TEMP	3000K
PRIMARY BULB	1 X 2.0 WATTS 2.0 LED
RATED LIFE	60,000 HOURS
DIMMABLE	10% - 100%
VOLTAGE	12V
LIGHT SOURCE	2 WATT (68 LUMENS) 12 VOLT INTEGRATED LED
CERTIFICATION	UL1838, IP66 WET LOCATIONS



LIGHTING LEGEND			
⊙ C1	RECESSED CAN	↕ MS	DOUBLE HEADED MONO POINT
⊙ C2	RECESSED CAN; DIRECTIONAL	○ P	MOTION SENSOR
⊙ C3	RECESSED CAN; WET LOCATIONS	--- UC	PENDANT
⊙ EX	RECESSED CAN; EXTERIOR	--- R	UNDER CABINET LED STRIP
⊗	CEILING FAN	⊕ TL	RECESSED LED LIGHT
— C	2" LINEAR CLOSET FIXTURE	⊕ FL	TABLE LAMP RECEPTACLE
⊖ FN	EXHAUST FAN	⊖ S	FLOOR LAMP RECEPTACLE
● FN	EXHAUST FAN WITH LIGHT	■ ST	WALL MOUNTED SCONCE
⊕ F	CEILING MOUNT FLUORESCENT LIGHT	⊖ S2	STEP LIGHT
⊕ CH	SURFACE MOUNT FIXTURE	⊖ S3	TWO WAY SWITCH
⊕ CH	CHANDELIER	TV	THREE WAY SWITCH
⊕	MONO POINT FIXTURE	--- WG	TV OUTLET
		⊖ X	WALL GRAZING
		---	EXTERIOR SCONCE
		---	FIXTURE LAYOUT GRID

- LIGHTING NOTES:**
- FIELD VERIFY ALL LIGHTING LOCATIONS.
 - TYPICAL LIGHTING LOCATION AT STAIRS:
(1 EA) PER LANDING
(2 EA) PER RUN
 - CONTRACTOR SHALL TAKE CARE IN PLANNING ROUGH FRAMING LAYOUT AS IT RELATES TO THE NEED TO CENTER FIXTURES IN HALLWAYS, RECESSES AND OTHER AREAS WHERE RELATIONSHIPS DON'T OFFER ANY LATITUDE OR FIELD ADJUSTMENTS.
 - ALL RECESSED FIXTURES AT INSULATED CEILINGS TO BE IC RATED AND CERTIFIED AIR TIGHT CONSTRUCTION. ALL EXTERIOR FIXTURES, SHOWER FIXTURES AND FIXTURES OVER TUBS TO BE MARKED "SUITABLE FOR DAMP LOCATIONS".
 - LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS
 - PROVIDE FULL CUT OFF FIXTURES WITH LED 10W 2500K-2700K BULBS PER CDC REQUIREMENTS.
 - MOUNT FIXTURES AT 7'-0" AFF MAX PER CDC REQUIREMENTS.
 - EXTERIOR LIGHTING ON SECOND AND UPPER FLOORS SHALL REQUIRE EITHER A TIMER OR SENSOR TO REDUCE USAGE AND ENERGY LOSS DURING TIMES OF INACTIVITY.

EXTERIOR FIXTURE A:

EXTERIOR WALL SCONCE (8 TOTAL)

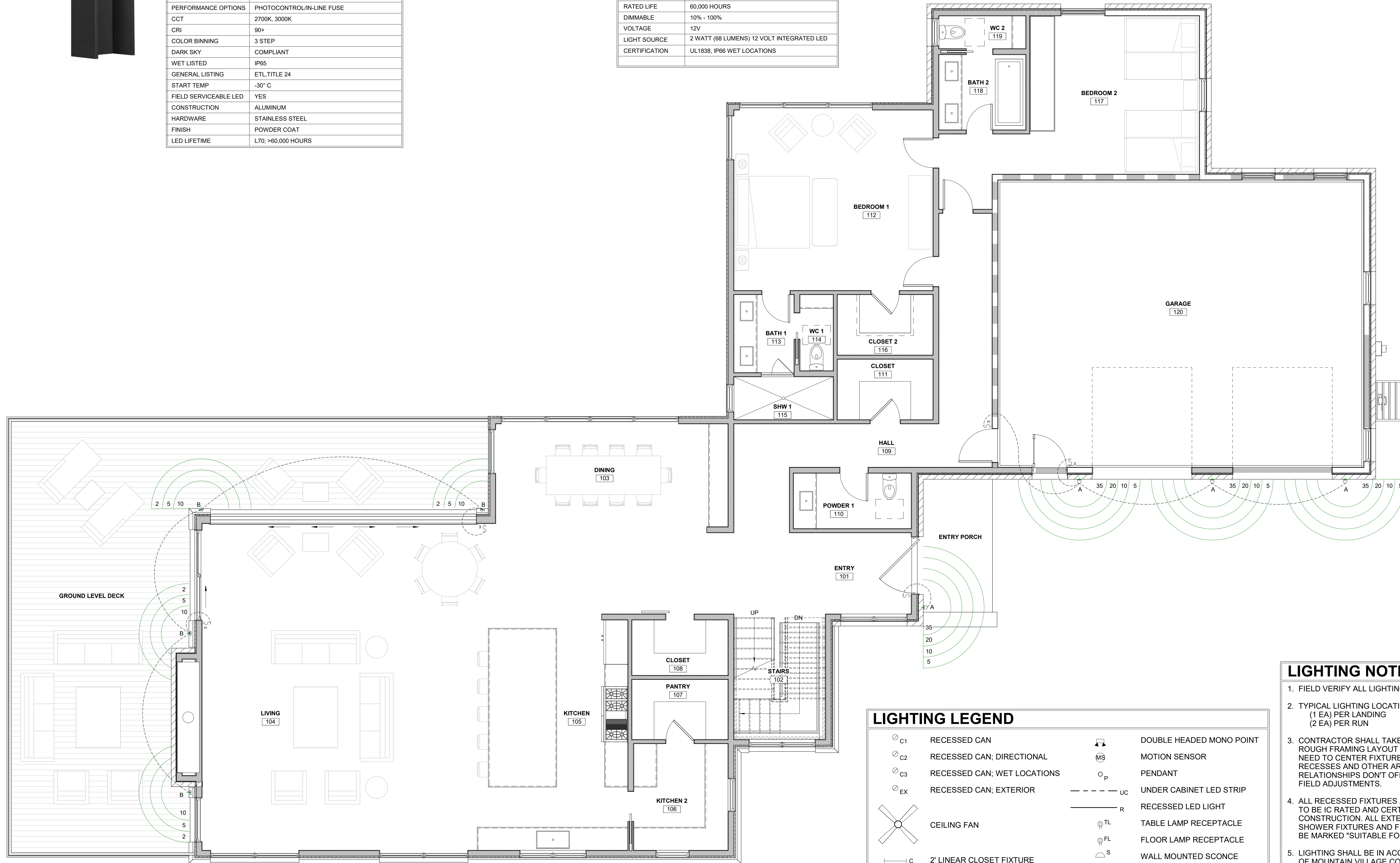
ZUR 24 WALL SCONCE	
BLACK	
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WIDTH	5"
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EXTENSION	5.7"
LUMENS	45
WATTS	20.4
VOLTAGE	UNIVERSAL 120-277V WITH INTEGRAL TRANSIENT 2.5KV SURGE PROTECTION (DRIVER)
DIMMING	0-10, ELV
LIGHT DISTRIBUTION	ADJUSTABLE
MOUNTING OPTIONS	WALL
ADJUSTABILITY	HEAD PIVOTS 240
PERFORMANCE OPTIONS	PHOTOCONTROL/IN-LINE FUSE
CCT	2700K, 3000K
CRI	90+
COLOR BINNING	3 STEP
DARK SKY	COMPLIANT
WET LISTED	IP65
GENERAL LISTING	ETL TITLE 24
START TEMP	-30° C
FIELD SERVICEABLE LED	YES
CONSTRUCTION	ALUMINUM
HARDWARE	STAINLESS STEEL
FINISH	POWDER COAT
LED LIFETIME	L70: >60,000 HOURS



EXTERIOR FIXTURE B:

EXTERIOR LED WALL/STEP LIGHT (7 TOTAL)

LANDSCAPE LIGHTING LED HORIZONTAL STEP LIGHT	
BLACK ON ALUMINUM	
MANUFACTURER	WAC LIGHTING
ITEM	4011-30BK
MATERIAL	CORROSION RESISTANT ALUMINUM ALLOY
GLASS	FROSTED GLASS DIFFUSER
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DEPTH	1.93"
LUMENS	68
BEAM SPREAD	50°
CRI	90
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PRIMARY BULB	1 X 2.0 WATTS 2.0 LED
RATED LIFE	60,000 HOURS
DIMMABLE	10% - 100%
VOLTAGE	12V
LIGHT SOURCE	2 WATT (68 LUMENS) 12 VOLT INTEGRATED LED
CERTIFICATION	UL1838, IP66 WET LOCATIONS



LIGHTING LEGEND

C1	RECESSED CAN	MS	DOUBLE HEADED MONO POINT
C2	RECESSED CAN; DIRECTIONAL	MOTION SENSOR	
C3	RECESSED CAN; WET LOCATIONS	P	PENDANT
EX	RECESSED CAN; EXTERIOR	UC	UNDER CABINET LED STRIP
CEILING FAN		R	RECESSED LED LIGHT
C	2" LINEAR CLOSET FIXTURE	TL	TABLE LAMP RECEPTACLE
FN	EXHAUST FAN	FL	FLOOR LAMP RECEPTACLE
FN	EXHAUST FAN WITH LIGHT	S	WALL MOUNTED SCONCE
F	CEILING MOUNT FLUORESCENT LIGHT	ST	STEP LIGHT
SURFACE MOUNT FIXTURE		2	TWO WAY SWITCH
CH	CHANDELIER	3	THREE WAY SWITCH
MONO POINT FIXTURE		TV	TV OUTLET
		WG	WALL GRAZING
		X	EXTERIOR SCONCE
		GRID	FIXTURE LAYOUT GRID

LIGHTING NOTES:

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- EXTERIOR LIGHTING ON SECOND AND UPPER FLOORS SHALL REQUIRE EITHER A TIMER OR SENSOR TO REDUCE USAGE AND ENERGY LOSS DURING TIMES OF INACTIVITY.

John A. Miller

From: Finn KJome
Sent: Tuesday, May 24, 2022 4:50 PM
To: John A. Miller
Subject: RE: Referral - Design Review Lot 3R TBD Vischer Dr

Hi John,
This project looks like a tough site. Public Works has no issues with this application.
Finn

From: John A. Miller <JohnMiller@mtnvillage.org>
Sent: Friday, May 20, 2022 3:04 PM
To: Finn KJome <FKJome@mtnvillage.org>; Jim Loebe <JLoebe@mtnvillage.org>; Chris Broady <CBroady@mtnvillage.org>; brien.gardner@blackhillscorp.com; kirby.bryant@centurylink.com; sheidergott@telluridefire.com; benjamin.wiles@smpa.com; Jim Soukup <JSoukup@mtnvillage.org>
Cc: JD Wise <JWise@mtnvillage.org>
Subject: Referral - Design Review Lot 3R TBD Vischer Dr

Good Afternoon All –
Please find the following referral for a new single-family home on Vischer Drive.

https://townofmountainvillage.com/site/assets/files/37642/initial_architecture_and_site_review_lot_3_aka_r3-tbd_vischer_dr.pdf

Please provide comments by responding to this email and don't hesitate to let me know if there are any questions or concerns.

Best,
J

John A Miller III
Planning & Development Services
Town of Mountain Village
455 Mountain Village Blvd, Suite A
Mountain Village, CO 81435
O :: 970.369.8203
C :: 970.417.1789



For information about The Town of Mountain Village's response to COVID-19 (Coronavirus), please visit townofmountainvillage.com/coronavirus/

John A. Miller

From: Scott Heidergott <sheidergott@telluridefire.com>
Sent: Monday, May 23, 2022 12:25 PM
To: John A. Miller
Subject: Re: Referral - Design Review Lot 3R TBD Vischer Dr

John,

TFPD approves the proposal with the following conditions:

- 1) The structure is over 3,600 sq ft and shall require a monitored sprinkler system.
- 2) The width of the driveway shall meet the code of 16-feet total width. 12-feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.
- 3) The address monument shall be a minimum of 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated, or outlined with a reflective coating.
- 4) TFPD recommends the installation of a Knox Box for emergency entry into the structure.

On Fri, May 20, 2022 at 3:03 PM John A. Miller <JohnMiller@mtnvillage.org> wrote:

Good Afternoon All –

Please find the following referral for a new single-family home on Vischer Drive.

https://townofmountainvillage.com/site/assets/files/37642/initial_architecture_and_site_review_lot_3_aka_r3-tbd_vischer_dr.pdf

Please provide comments by responding to this email and don't hesitate to let me know if there are any questions or concerns.

Best,

J

John A Miller III

Planning & Development Services

Town of Mountain Village

455 Mountain Village Blvd, Suite A



AGENDA ITEM 11
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board
FROM: John Miller, Principal Planner
FOR: Design Review Board Public Hearing; June 2, 2022
DATE: May 23, 2022
RE: Staff Memo – Initial Architecture and Site Review; Lot 533, 237 Russell Drive

APPLICATION OVERVIEW: New Single-Family Home, Lot 533

PROJECT GEOGRAPHY

Legal Description: LOT 533 TELLURIDE MOUNTAIN VILLAGE FILING 3 A SUB LOC IN A PORTION OF THE SE4SE4 SEC 33 AND A PORTION OF THE SW4SW4 SEC 34 T43NR49W NMPM AND A PORTION OF THE NE4NE4 OF SECTION 4 AND A PORTION OF THE NW4NW4 OF SEC 3 IN T42NR9W NMPM ACC TO PLAT IN BK 1 PG 765 SMC CO

Address: 237 Russell
Applicant/Agent: KA Design Works
Owner: Red Hill Management LLC
Zoning: Single-Family
Existing Use: Vacant Lot
Proposed Use: Single-Family
Lot Size: .59 acres

Adjacent Land Uses:

- **North:** Open Space
- **South:** Single-Family
- **East:** Open Space
- **West:** Single-Family



Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set
Exhibit B: Staff/Public Comment

Case Summary: Brendan Hamlet of KA Design Works (Applicant) on behalf of Red Hill Management LLC, the owner of Lot 533 is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home at 237 Russell Drive. The improvement survey plat indicates that Lot 533 is 0.59 acres and located at the terminus of Russell Drive. The overall square footage of the

home is approximately 9,730 gross square feet and provides two interior parking spaces within the proposed garage and two exterior spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by Italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	35' (shed) Maximum	34.80'
Maximum Avg. Building Height	30' (shed) Maximum	25.96'
Maximum Lot Coverage	40% Maximum (s.f.)	39.9%
General Easement Setbacks	16 Feet – No Encroachments	Retaining wall
Roof Pitch		
Primary		1 ½ : 12
Secondary		n/a
Exterior Material		
Stone	35% minimum	38.66%
Windows/Doors	40% maximum	24.65%
Parking	2 Enclosed	2
	2 Surface	2

Design Variations

Road and Driveway Standards

Design Review Board Specific Approvals

General Easement Encroachments

Green Roof

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates shed roofs with the allowable maximum building height at 35 feet and the average height at or below 30 feet for shed roof forms. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Both heights are in compliance with the max average height shown at 25.96' and the max height shown at 34.80'. In addition, the applicant has provided a parallel plane analysis confirming that no portion of the home exceeds the allowed maximum height.

Staff: The applicant has provided a height analysis along with a plane projection demonstrating that heights have been met for the home. Staff requests that prior to final review, USGS datums be added to the elevations on pages A301-A304.

17.3.14: General Easement Setbacks

Lot 220B is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The driveway will cross the GE closest to Russell Drive. Additionally, there is a retaining wall associated with the driveway that will be located in this easement area as well. It should be noted that a small portion of this retaining wall is used to retain the parking area and this should be discussed by the DRB.*
- *Address Monument: Given the large area of Right of Way (ROW) between the edge of pavement and Lot 533, the applicant is proposing to place the address monument within the ROW. This will require the owner enter into a RROW encroachment agreement for the improvements within Town ROW.*

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The CDC provides design theme characteristics that attempt to link existing and new architecture throughout the Mountain Village. Although we have a broad spectrum of architectural mountain vernaculars, the link typically is accomplished through the use of strong material palettes of stone, metal, and wood.

The proposed home is rather large at nearly 10,000 square feet and is very modern in form, featuring prominent rectilinear shapes and modern shed roof forms. The modern form is further accented through the material palette of light stone, differing colored vertical and horizontal wood siding, and metal accents. The home is located on a sloped lot, but only minor areas of the Lot are over 30% slope per the improvement survey that was provided as part of the application materials.

Although the home is large in terms of square footage, the design has accomplished a certain minimization of the home's massing as seen from Russell Drive. It appears based on the applicant's submittal that the material palette for the project blends well with both the surrounding community, as well as the overall modern mountain vernacular.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: Lot 533 is a 0.59-acre lot that contains some steep slopes and what appears to be an aspen grove based on the aerial imagery. The lot is a long rectangular shape, which overall limits the options for the home's orientation and siting. Although the design of the home is on the larger size of what is seen in Mountain Village, it does seem to appear subdued as seen from Russell Drive given the majority of the massing of the home is opposite of Russell Drive facing the adjacent open space areas. Staff believes that based on the design and massing of the home, the applicant has designed the home in a manner that is subdued and subordinate to the surrounding landscape.

17.5.6: Building Design

Staff: The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation. In order to accomplish this, the applicant is proposing a Dove Grey Dry stack Stone in a random rectangular arrangement surrounding the base of the home and in some areas projecting upwards into upper floors.

The light grey stone appears to contrast nicely with the 4" brown ash siding and the 8" grey barnwood that is used in different areas of the home. In addition to the wood and stone elements, there are a number of metal accents on the home ranging from the metal flat lock siding, to railing and cables for the exterior patio areas. The roof is proposed at a 16" grey standing seam and the window door package is shown as a black clad material.

The home's exterior palette as shown in the material sheet of the submission appears to blend well. The garage door is shown as a mix of wood and windows matching the ash siding. The chimney cap is shown as a metal mesh cap that is to be painted black to match the flashing of the roof. The applicant has proposed a total of 1937 sq ft of snowmelt at this time, which will require additional offsetting of external energy use at building permit.

The application also features green roof elements, with specifications for the roof assembly provided as part of this application. Overall, it appears that the applicant is meeting the CDC Building Design requirements.

17.5.7: Grading and Drainage Design

Staff: The applicant provided a grading and drainage plan for initial review meeting the requirements of the CDC. The plan shows areas of grading and disturbance, as well as finished slope calculations and areas of retainage. Given the relationship between the Road ROW, Lot 533, and the driveway, there is some grading shown in the GE and ROW. This should be discussed by the DRB but otherwise staff has indicated that they do not take issue with the grading in the Road ROW.

17.5.8: Parking Regulations

Staff: The CDC requires all single-family homes to provide two enclosed and two surface parking spaces. The applicant has shown a total of 2 enclosed and 2 surface spaces. The applicant is meeting the parking requirement but needs to include parking space dimensions for each of the spaces identified.

17.5.9: Landscaping Regulations

The applicant has provided a preliminary landscaping plan, but staff will note the following items that should be provided prior to final review:

1. *The evergreen trees located in Zone 1 of the home will not be able to remain and should be revised prior to final review.*
2. *It will be important for the applicant to provide irrigation and water usage details for this project*
3. *The application is not meeting the diversity of species requirements and prior to final shall finalize the planting schedule to include quantities of each species.*

17.5.11: Utilities

Staff: All utilities are currently located within proximity to the home. The applicant shall work with the Public Works Director before final review to verify the specific locations of the connections for the home. The plan set shows the proposed connections and the locations of the proposed utilities based on field research. It should be noted that the sanitary sewer is being shown travelling to the north of the Lot to tie into the existing facilities.

17.5.12: Lighting Regulations

Staff: The applicant has not provided a lighting plan at this time but is not required to do so until final review. It should be noted that in addition to the typical light fixtures, there will be lighting associated with the Hot Tub and Address Monument that will also need to be included in this page.

17.5.13: Sign Regulations

Staff: The applicant has provided an address monument that appears to meet the requirements of the CDC. As part of final review, the applicant shall provide the lighting details for this monument as part of the required lighting plan.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: The applicant has provided a fire mitigation plan that does not appear to meet the requirements for plantings in Zone 1. This should be revised prior to final review to remove all flammable vegetation from Zone 1.

17.6.6: Roads and Driveway Standards

Staff: The CDC requires driveways under 150 feet in length have a minimum paved surface of 12-feet width and 2-foot shoulders on each side. At the time of drafting this memo, staff was unable to locate a dimension for the width of the driveway on the provided plan set, but based on staff measurements, the driveway appears to be 12-feet paved with 5 feet of shoulders for a total of 17-feet in width. The applicant shall verify this measurement prior to final review.

The maximum grade of the driveway appears to be approximately 10.16% as it travels from Russell Drive down towards the home. This is permissible with the approval of the Fire Marshall and Public Works Director, who have not indicated they take issue with this proposal.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The proposed fireplace has been identified in the plans as natural gas burning.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The applicant has not provided a CMP as part of the submittal and shall submit as part of the final review.

Staff Recommendation: Staff recommends the DRB approve the Initial Architecture and Site Review for Lot 533, 237 Russell Drive based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architecture and Site Review for a new single-family home located at Lot 533, based on the evidence provided within the Staff Report of record dated May 23, 2022, with the following Design Variations and Specific Approvals:

Design Variations

Road and Driveway Standards

Design Review Board Specific Approvals

General Easement Encroachments

Green Roof

And, with the following conditions:

- 1) Prior to final review, the applicant shall revise the height diagrams to include USGS Datum points for natural and finished grades along with each roof element per the requirements of the CDC.
- 2) Prior to final review, the applicant shall provide a landscaping plan addressing the items in this memo of record.
- 3) Prior to final review, the applicant shall revise the fire mitigation plan to remove all flammable vegetation from Zone 1.
- 4) Prior to final review, the applicant shall provide details related to road and shoulder widths.
- 5) Prior to final review, the applicant shall provide a construction mitigation plan per the requirements of the CDC.
- 6) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 7) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 8) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.
- 9) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 10) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

- 11) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern, and any grouting with the minimum size of four-feet (4') by four-feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 12) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way, general easement, or setback, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (Fire Department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/JM



RE: Lot 533 (237 Russell Drive) Design Narrative

02/07/2022 Town of Mountain Village Design Review Board Submission

Located in Mountain Village at the end of Russell Drive. The lot has limited views mainly with exposure to the San Sophia Range to the NorthEast. It also has views to ski run directly to the east. The lot is a ski in ski out with skier access on its north-east property boundary.

The project's proposed design is within a mountain contemporary architectural theme. Exterior materials include horizontal shiplap natural dark wood tone siding coupled with a vertical reclaimed gray wood siding and a dove gray stone veneer with chiseled rusticated face in a dry-stack layup, and lastly a medium gray zinc color flat lock panel metal siding. The exterior window frames are of a dark bronze, and a bonderized dark gray color standing seam roofing, and raw patina metal accents and guard railing. The roof fascia is a rough sawn natural wood with a semi-solid stain. Rough sawn wood timber features will receive the same semi-solid stain..

The driveway is connected to the East end of Russell Drive and has a south retaining wall allowing for the drive, autocourt and garage. Garage doors to face the interior of the site rather than facing the public way.

The main entry door is located at the East end of the autocourt and connects the garage to the home by a central foyer with a stair element located in the center of the mass.

The configuration of the house is linear extending from the west to the east as does the lot which begins at the East end of the Russell Drive turn-around. The lot is bordered on the north by a service road. The site slopes north dropping a story towards the service road where the lower level daylight for ski access. A large tree line border just north of the service road screens the majority of the 3 story mass from the Chodola and Meadows area to the north-east of the property. The building also steps down as the plan moves east and the deck areas as they face Lower Galloping Goose, which greatly minimizes the slopeside building mass.

The site and views justify the main level plan with the great room, kitchen, and dining to the far east of the site. This connects to the slope side facing deck and outdoor living which maximizes the use of the limited views from the site. The views are further accentuated with a large folding door system opening to the North deck and windows from these spaces to the east. The master bedroom and additional bedroom are situated to the north west, within the lower level and a suite on the upper level far north west area.

Property and Zoning Information

Legal Description: Lot 533, Telluride Mountain Village, Filing 3, According to the Plat Recorded October 30, 1987 in Plat Book 1 at page 756.

Parcel ID: 456534303533

Address: 237 Russell Drive, Mountain Village, CO (according to the TOMV address map)

Lot Size: 0.59 Acres

Zone District: Single Family

Max Building Height: Required - 35' Max. Proposed - 34.8'

Average Building Height: Required - 30' Max. Proposed - 25.96
Lot Coverage: Required - 40% Max. Proposed - 39.9%
Setbacks: Required 16' TYP.
Front West: 26'-4"
Side South: 16' (at autocourt)
Back East: 16'-9"
Side North: 16'-10"
Roof Pitches: Primary 1.5:12, Secondary 1.5:12
Exterior Materials:
Stone: Required - 35% minimum. Proposed - 38.66%
Windows: Required - 40% maximum. Proposed - 24.65%
Parking: Required - 2 surface, 2 enclosed. Proposed - 2 surface, 2 enclosed

Chapter 17 - Design Regulations

17.5.4.F: Town Design Theme

1. The structure is sited similar to the adjacent property to the South. The garage faces the interior of the site as its positioning with the south retaining wall diminishes the appearance and view of the garage from Russell Drive and adjacent property to the south.
 2. The 2 story mass of the building from the south decreases as the building program moves out to the slope with decks and patio areas unfold into the natural landscape to Lower Galloping Goose east of the site. The limited and set back third floor elements of the structure are tucked to the northwest, visually isolated to the Chondola area with the large stand of trees just north of the service road.
 3. Stone predominantly grounds this structure on the prominent views of the structures from the street and adjacent properties.
 4. The low sloping roof elements with stone retention features fit into the high alpine contemporary architectural language and will be properly tied to site drainage design.
- 5&6. A combination of a warm gray stone, dry stacked, with light brown wood siding, reclaimed vertical siding, and the bonderized flat lock panel, with wood fascia and trim elements provides a natural color palette.

17.5.5. A. Building Siting

1. The structure is sited within the building envelope with the entry court, garage, and entryway tucked into the southern hillside. The northwest portion of the site where the slopes are the steepest becomes a one story element with a deck that connects to the main level great room, thus diminishing the mass. The southern retaining wall blocks the driveway and entry court as well as the garage doors from Russell Drive and neighboring property.

Design Variation: 17.3.13 D: General Easement Setbacks: A design variation is requested to allow for the masonry/ stone clad retaining wall to encroach into the general easement by approximately 14 inches above grade, with the foundations approximately 24 inches below grade. No portion of the entry court itself is within the general easement. This variation allows the garage and its doors to face the south hillside instead of these elements facing up Russell Drive and the front of the lot. The neighboring driveway is 13'-6" from the shared property line which acts as a mutual buffer zone between the two properties. The proposed encroachment is less than the adjacent property's encroachment within the mutual buffer zone.

2. The building siting, foundation plan, and construction plan envisions minimizing the amount of site disturbance as reasonable while allowing for tree and fire mitigation and noted on the landscape plans.

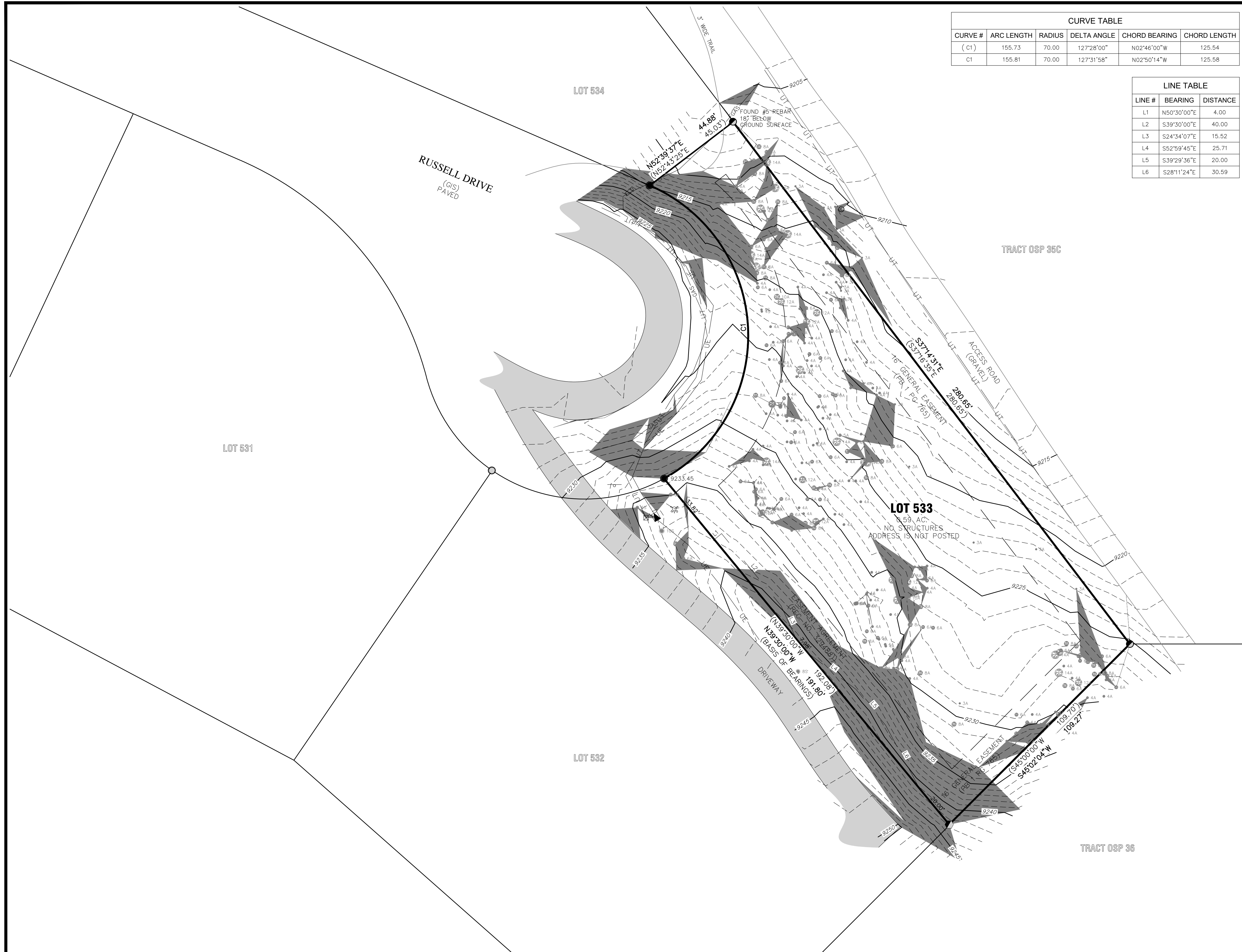
3. The shed roofs have adequate snow retention and increased insulation to protect the area of deck and drive below the eastern portions of the structure. Flat roof areas will have heated drainage paths. Portions of the flat roof areas to have a shallow green roof tray system of <6" deep which will allow for future occupiable deck space if desired.

17.5.6.A Building Form

The form of the building has a substantially grounded base in areas of the predominate views which are at the end of Russell Drive and the ski run. The massing of the overall building is broken up by both vertically stepping back and the stepping back of the floor plan elements on the east and south. The fully stone lower level elements coupled with lighter materials on the upper stories further diminish the perceived mass. Punched windows and doorways within the stone will have the required 5 inch recess per Town requirements. The lighter materials of wood and metal are predominantly above the stone base areas.

17.5.6.B Exterior Wall Form

Walls of varied materials overall are simple in design allowing the larger expanses of windows to express the views from the interior with overhangs assisting in shielding the glass from the adjacent view lines. All four facades contain a heavy stone base.

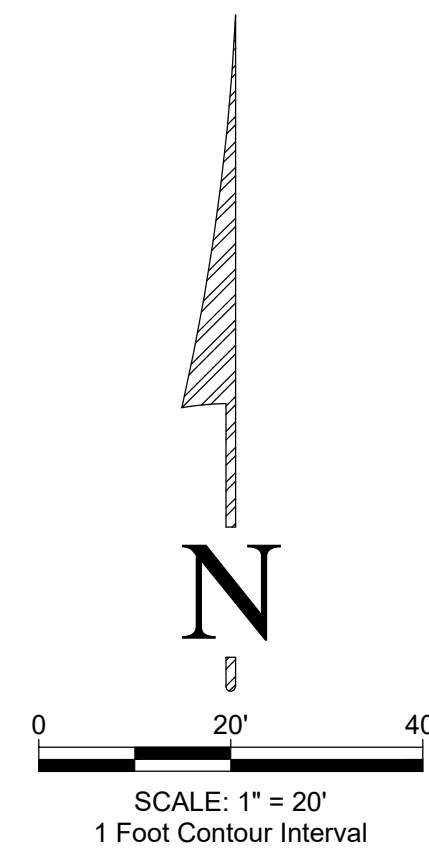


CURVE TABLE					
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C1	155.81	70.00	127°31'58"	N02°50'14"W	125.58

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L4	S52°59'45"E	25.71
L5	S39°29'36"E	20.00
L6	S28°11'24"E	30.59

LEGEND

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- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 37970
- SET 24" LONG #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 36577
- ⊠ TELEPHONE PEDESTAL
- ▲ ELECTRIC TRANSFORMER
- ⊕ FIRE HYDRANT
- #234 RUSSEL DRIVE ADDRESS MONUMENT
- ⊙ GAS MARKER CARSONITE POST
- ⊙ 8A ASPEN TREE, # INDICATES CALIPER
- ⊙ 8S SPRUCE TREE, # INDICATES CALIPER
- SLOPES > 30%



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NOTES:

1. According to Flood Insurance Rate Map 08113C0286 C dated September 30, 1988, this parcel lies within Flood Zone "X" (Areas determined to be outside the 500-year flood plain).
2. Easement research from Westcor Land Title Insurance Company, File No: 3210CEA, Effective Date August 12, 2021 at 08:00 am.
3. Vertical datum is based on the found Northwest corner of Lot 533, an Aluminum Cap Rebar, LS 28652, having an elevation of 9233.45 feet NAVD88, as depicted. Elevations were determined by a GPS Static observation, reduced by NGS Opus website.
4. Underground Utility Locates provided are for Engineering/Design purposes only - NOT for excavation. Prior to excavation please contact www.811colorado.org.
5. Lineal Units U.S. Survey Feet
6. The use of this Improvement Survey Plat by any person or entity other than the person or entity certified to without the express permission of San Juan Surveying is prohibited.

PROPERTY DESCRIPTION:

Lot 533, Telluride Mountain Village, Filing 3, according to the Plat recorded October 30, 1987 in Plat Book 1 at page 765.

County of San Miguel,
State of Colorado

BASIS OF BEARINGS:

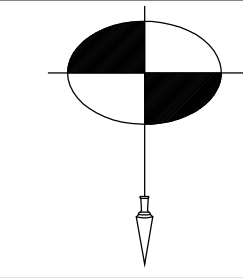
The Basis of Bearings for this Improvement Survey Plat was derived from the southwest line of Lot 533, Telluride Mountain Village, Filing 3, according to the Plat recorded October 30, 1987 in Plat Book 1 at page 765, said bearing being **N 39°30'00" W**, both being found monuments as depicted on this plat.

SURVEYOR'S CERTIFICATE:

I, Christopher R. Kennedy, of San Juan Surveying, being a Licensed and Registered Land Surveyor in the State of Colorado, do hereby certify that this Improvement Survey Plat prepared for Westcor Land Title Insurance Company, and Lot 533, Mountain Village, LLC, a Colorado limited liability company was performed under my direct responsibility, supervision, and checking, and that the information herein is true and accurate to the best of my belief and knowledge. I further certify that the monuments as shown were field set as required by Articles 50 and 51 of Title 38, C.R.S.

Christopher R. Kennedy
 Christopher R. Kennedy, P.L.S. 36577
 01/21/2022

IMPROVEMENT SURVEY PLAT
LOT 533, TELLURIDE MOUNTAIN VILLAGE, FILING 3



SAN JUAN SURVEYING
 SURVEYING * PLANNING
 102 SOCIETY DRIVE TELLURIDE, CO. 81435
 (970) 728 - 1128 (970) 728 - 9201 fax
 office@sanjuansurveying.net

DATE:	01/21/2022
JOB:	95029
DRAWN BY:	CRK
CHECKED BY:	SDH
REVISION DATES:	
SHEET:	1 OF 1

237 RUSSELL DRIVE (LOT 533)

MOUNTAIN VILLAGE, CO

PRELIMINARY DRB REVIEW - 2/7/22

SYMBOL LEGEND

DRAWING NO. (TYP)		MATCH LINE	
SECTION		GRID LINE	
SHEET NO. (TYP)		SPOT ELEVATION	
DETAIL (PLAN)		DRAWING REVISION	
DETAIL		INTERIOR ELEVATION	
EXTERIOR ELEVATION		WINDOW MARK	
ROOM NAME & NUMBER		ASSEMBLY MARK	
DOOR MARK			

PROJECT INFO

237 RUSSELL DRIVE MOUNTAIN VILLAGE CO 81435

JURISDICTION: MOUNTAIN VILLAGE, CO

PARCEL ID: 456534303533

LEGAL DESC: LOT 533, TELLURIDE MOUNTAIN VILLAGE, FILING 3, ACCORDING TO THE PLAT RECORDED OCTOBER 30, 1987 IN PLAT BOOK 1 AT PAGE 765

2018 INTERNATIONAL RESIDENTIAL CODE (IRC)

2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

Zoning: Single-Family

Climate Zone: 6B

Height Limit: 35'-0" MAX (+5'-0" @ CHIMNEY)

30'-0" AVERAGE (SEE SHEET: Z101 HEIGHTS)

PROJECT DIRECTORY

OWNER
Red Hill Management LLC
7550 Wisconsin Ave, 10th Floor
Bethesda, MD 20814
CONTACT: Mike Niccolini (mniccolini@mcmap.com)
202.251.9667
Steven Trowern (strowern@mcmap.com)
202.744.0223

ARCHITECT
KA DESIGNWORKS, INC.
PO Box 12204
Aspen, CO 81612
CONTACT: Kenneth Adler
(970)948-9510
ken@ka-designworks.com

CONTRACTOR
Tougher Construction
10 San Bernardo Dr
Telluride, CO 81435
CONTACT: Ryan Tougher
(970) 729-1247
Ryan@tougherconstruction.com

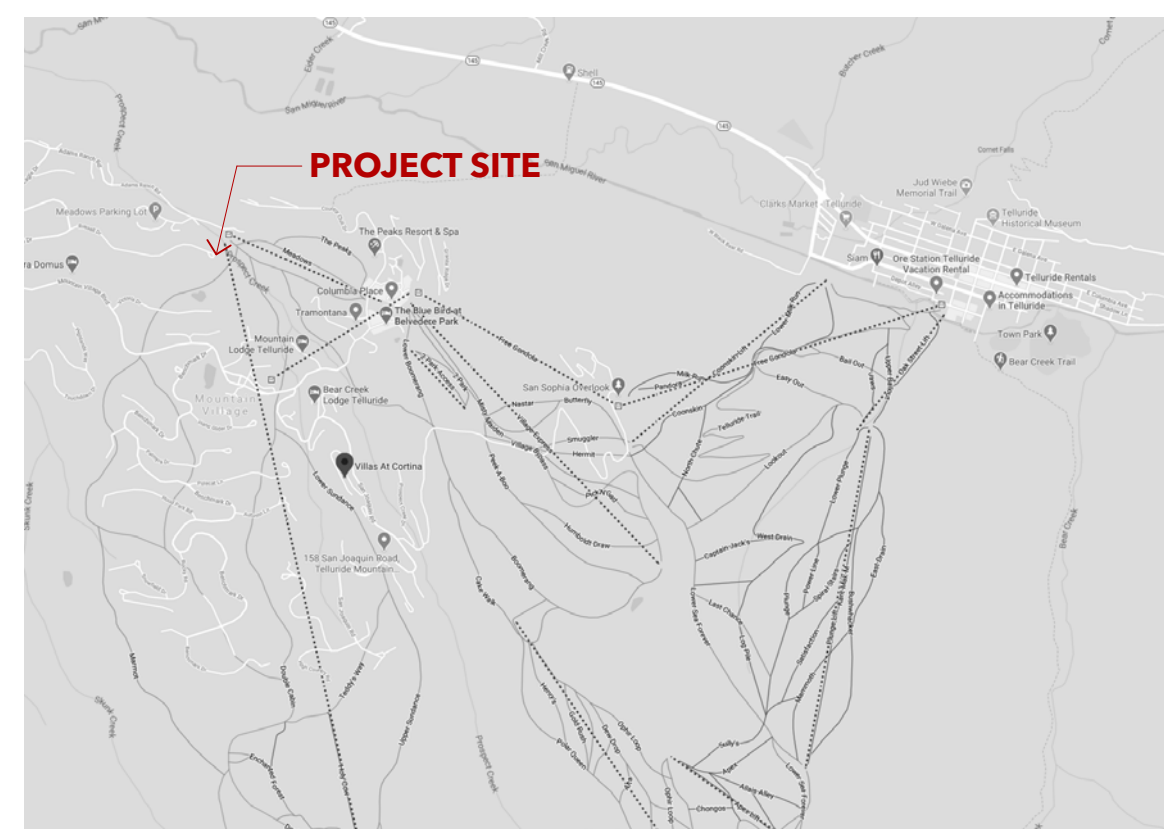
SURVEY
San Juan Surveying
102 Society Drive
Telluride, CO 81435
CONTACT: Christopher R. Kennedy
(970) 728-1128
office@sanjuansurveying.net

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Aceto Landscape Architects
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Portland, ME 04101
CONTACT: Caitlin Aceto
(207) 221-3390
ca@acetola.com

CIVIL ENGINEER
Uncompagnre Engineering LLC
Blue Mesa Building, Ste D, 113 Lost Creek Ln
Mountain Village, CO 81435
CONTACT: David Ballode
(970) 729-0683
dballode@msn.com



VICINITY MAP



ABBREVIATIONS

AAD	Atts Access Door	GALV	Galvanized	RW	Roof Window
ADD	Addendum	GC	General Contractor	RO	Rough Opening
ADJ	Adjacent	GL	Glass	SAW	Saw
AOR	Area Of Refuge	GR	Grade	SECT	Section
AGD	Aggregate	GR	Laminated Wood Beam	SEW	Sewer
AFI	Above Finished Floor	GYP	Gypsum	SHT	Sheet
ALT	Alternate	QWP	Gypsum Wallboard	SHLV	Shelving
ARCH	Architectural	HDW	Hardware	SM	Similar
BM	Beam	HD	Head	SL	Slab
BRG	Bracing	HVAC	Heating, Ventilating, and Air Conditioning	SM	Sheet Metal
BET	Between	HT	Height	STC	Sound Transmission Class
BD	Board	HT	Height	SPEC	Specification
BST	Both Sides	HVV	Highway	SQC	Square
BO	Bottom Of	HOR	Horizontal	STD	Standard
BLDG	Building	ID	Inside Diameter	STL	Steel
CAB	Cabinet	INT	Interior	STRUCT	Structure (s)
CL	Chimney	JT	Joint	Subst	Substrate
CER	Ceramic	LAM	Laminate	SUPPL	Supplier (s)
CLR	Clear	LAV	Lavatory	SUPPL (s)	Supplier (s)
CLOS	Closet	MFG	Manufacturer	TEL	Telephone
CMU	Concrete Masonry Unit	MID	Masonry Opening	TELE	Television
COL	Column	MTL	Material	TEMP	Tempers
CONC	Concrete	MAX	Maximum	IE	Iron
CJ	Construction Joint	MECH	Mechanical Cabinet	THK	Thick
CONT	Contingency	MEN	Minimum	TPH	Toler Paper Holder
DP	Dampening	MISC	Miscellaneous	T&G	Toggle and Groove
DET	Detail	NA	Not Applicable	T&B	Top and Bottom
DN	Diameter	NC	Not in Contract	TO	Top Of
DM	Dimension	NT	Not Applicable	TS	Thread
DW	Dishwasher	NA	Not Applicable	TS	Tile Sheet
DN	Down	OC	On Center	TYP	Typical
DR	Drain	OPP	Opposite	UG	Underground
DS	Downspout	OPH	Opposite Hand	U.N.O.	Unless Noted Otherwise
DRWG	Drawing	OD	Outside Diameter	UPRN	Uniform Building Code
EA	Each	OS	Opening Size	VAR	Variable
EL	Elevation	PERF	Perforated (s)	VER	Vertical
EQ	Equal	PFM	Pre-finished Sheet Metal	VERT	Verify In Field
EXST	Existing	PL	Plate	VEV	Verify
EJ	Expansion Joint	PROD	Product	VAT	Virtual Asbestos Tie
FEC	Fire Extinguisher Cabinet	PROJ	Project	V	Void
FCC	Face Of Concrete	PROP	Property	WC	Water Closet
FOS	Face Of Stud	REF	Reference or Riser	WT	Waterproof
FR	Finish	REFR	Refrigerator	WN	Window
FR	Finish	REIN	Reinforce (s)	W	Wall (cmt. form)
FL	Floor	REQD	Required	WO	Without
FD	Fire Dran	REQD	Required	W	Wood
FTG	Footing	REQD	Required	W	Wood
FDN	Foundation	RM	Room		
GA	Gauge				

GENERAL NOTES

- THE AIA DOCUMENT 201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", 2017, ARE HEREBY MADE A PART OF THESE CONTRACT DOCUMENTS. COPIES ARE ON FILE AND ARE AVAILABLE FOR INSPECTION AT THE OFFICES OF THE ARCHITECT.
- THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, THE GENERAL NOTES, THE SPECIFICATIONS, AND THE DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCY BETWEEN THE DIFFERENT PARTS SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ORDINANCES, AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE APPROPRIATE TRADES. GENERALLY, ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE REGULATED OR SPECIFIED BY ARCHITECT OR GOVERNING BODIES.
- THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR. MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.
- ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR CALLED OUT BY TRADE NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT, AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS TO THE REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH E, ABOVE.
- THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE UNIFORM BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.
- ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS NOTED WITH "N.T.S." DENOTES NOT TO SCALE. DRAWINGS NOT TO BE SCALED. NOTIFY ARCHITECT OF ANY CONFLICTS OR OMISSIONS.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

DRAWING INDEX

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- SURVEY
- A001 3D VIEW 1
- A002 3D VIEW 2
- A003 3D VIEW 3
- A004 3D VIEW 4
- A005 3D VIEW 5
- A100 SITE PLAN
- Z100 FLOOR AREAS
- Z101 HEIGHTS
- Z102 WALL AREAS

ARCHITECTURAL

- A201 LOWER LEVEL PLAN
- A202 MAIN LEVEL PLAN
- A203 UPPER LEVEL PLAN
- A204 ROOF PLAN
- A301 ELEVATION
- A302 ELEVATION
- A303 ELEVATION
- A304 ELEVATION
- A701 WINDOW SCHEDULE

CIVIL

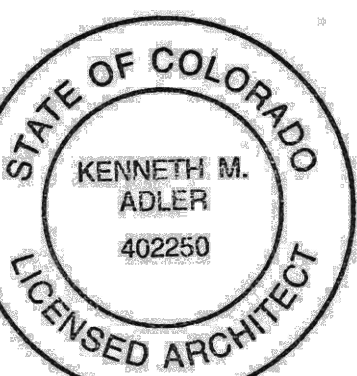
- C1 NOTES
- C2 SITE GRADING WITH DRIVEWAY PROFILE
- C3 UTILITIES

LANDSCAPE

- L1-00 PLANTING PLAN
- L1-01 WILDFIRE AND TREE MITIGATION PLAN
- L1-02 SNOWMELT PLAN

237 RUSSELL DRIVE (LOT 533)
237 RUSSELL DRIVE
MOUNTAIN VILLAGE, CO 81435

NOT FOR CONSTRUCTION



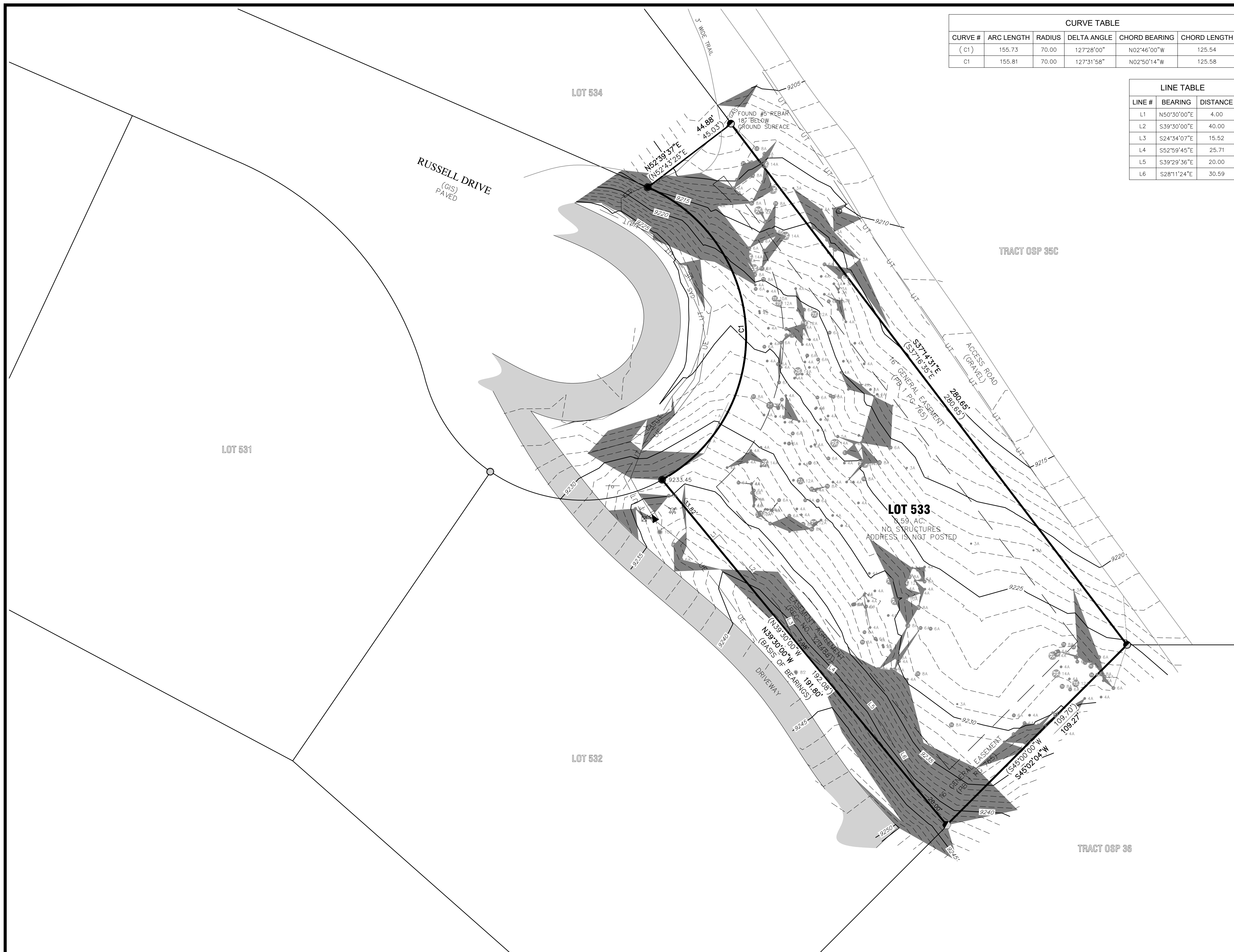
PRINT DATE: 2/7/22
ID ISSUE DATE
01 Preliminary DRB Review 02/07/2022

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SHEET TITLE
COVER SHEET

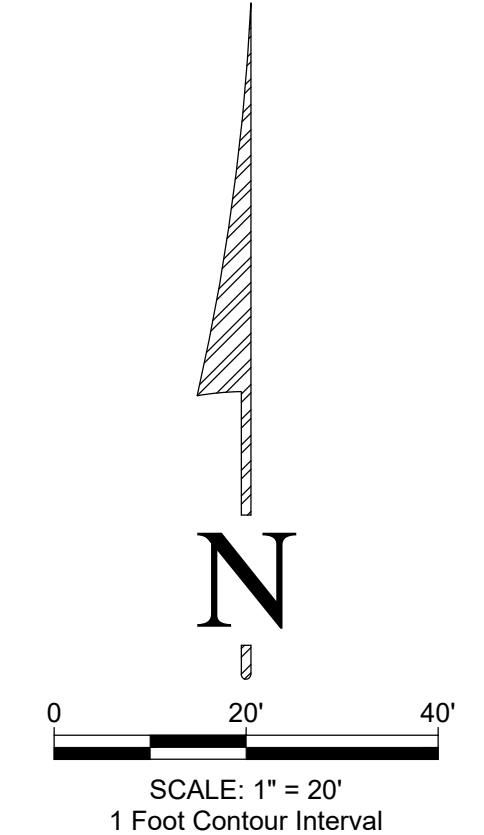
A000



CURVE TABLE					
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- LEGEND**
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 - ⊕ FIRE HYDRANT
 - #234 RUSSELL DRIVE ADDRESS MONUMENT
 - GAS MARKER CARBONITE POST
 - #8A ASPEN TREE, # INDICATES CALIPER
 - #8S SPRUCE TREE, # INDICATES CALIPER
 - ▨ SLOPES > 30%



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PROPERTY DESCRIPTION:
Lot 533, Telluride Mountain Village, Filing 3, according to the Plat recorded October 30, 1987 in Plat Book 1 at page 765.
County of San Miguel,
State of Colorado

BASIS OF BEARINGS:
The Basis of Bearings for this Improvement Survey Plat was derived from the southwest line of Lot 533, Telluride Mountain Village, Filing 3, according to the Plat recorded October 30, 1987 in Plat Book 1 at page 765; said bearing being **N 39°30'00" W**, both being found monuments as depicted on this plat.

SURVEYOR'S CERTIFICATE:
I, Christopher R. Kennedy, of San Juan Surveying, being a Licensed and Registered Land Surveyor in the State of Colorado, do hereby certify that this Improvement Survey Plat prepared for Westcor Land Title Insurance Company, and Lot 533, Mountain Village, LLC, a Colorado limited liability company was performed under my direct responsibility, supervision, and checking, and that the information herein is true and accurate to the best of my belief and knowledge. I further certify that the monuments as shown were field set as required by Articles 50 and 51 of Title 38, C.R.S.

Christopher R. Kennedy
Christopher R. Kennedy, P.L.S. 36577
01/21/2022

IMPROVEMENT SURVEY PLAT
LOT 533, TELLURIDE MOUNTAIN VILLAGE, FILING 3

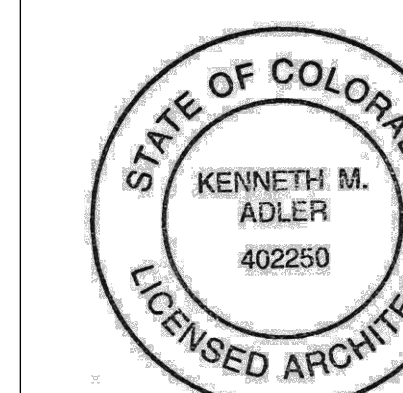
	SAN JUAN SURVEYING		DATE: 01/21/2022
	SURVEYING * PLANNING		JOB: 95029
	102 SOCIETY DRIVE TELLURIDE, CO. 81435		DRAWN BY: CRK
	(970) 728-1128 (970) 728-9201 fax		CHECKED BY: SDH
	office@sanjuansurveying.net		REVISION DATES:
			SHEET: 1 OF 1



237 RUSSELL DRIVE (LOT 533)

237 RUSSELL DRIVE
MOUNTAIN VILLAGE, CO 81435

**NOT FOR
CONSTRUCTION**



ID	ISSUE	DATE
01	Preliminary DRB Review	02/07/2022

PRINT DATE: 2/7/22

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SHEET TITLE

3D VIEW 1

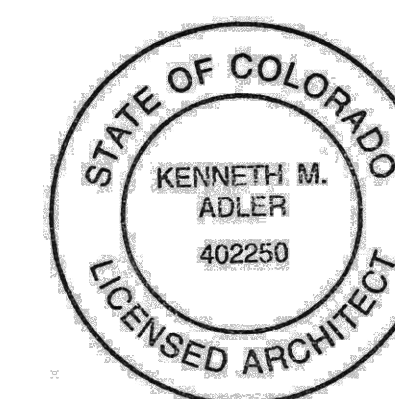
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237 RUSSELL DRIVE (LOT 533)

237 RUSSELL DRIVE
MOUNTAIN VILLAGE, CO 81435

NOT FOR CONSTRUCTION



ID	ISSUE	DATE
01	Preliminary DRB Review	02/07/2022

PRINT DATE: 2/7/22

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SHEET TITLE

3D VIEW 2

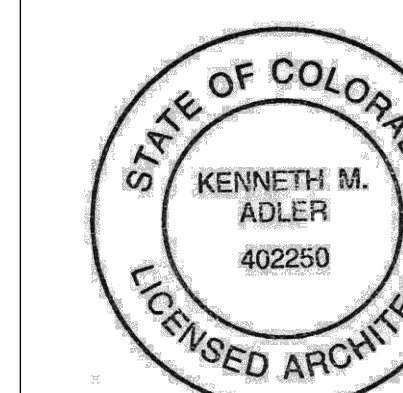
A002



237 RUSSELL DRIVE (LOT 533)

237 RUSSELL DRIVE
MOUNTAIN VILLAGE, CO 81435

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SHEET TITLE
3D VIEW 3

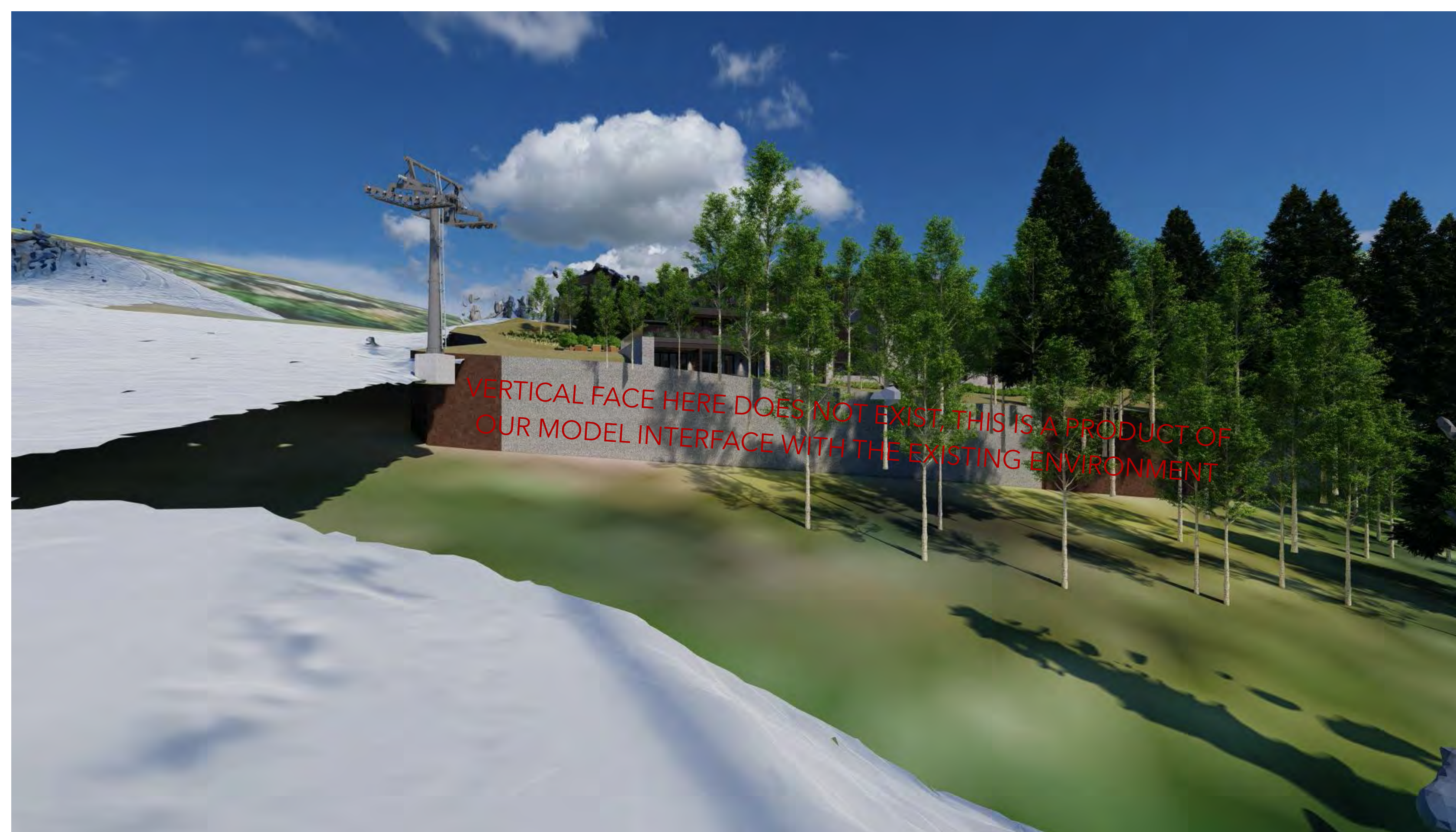
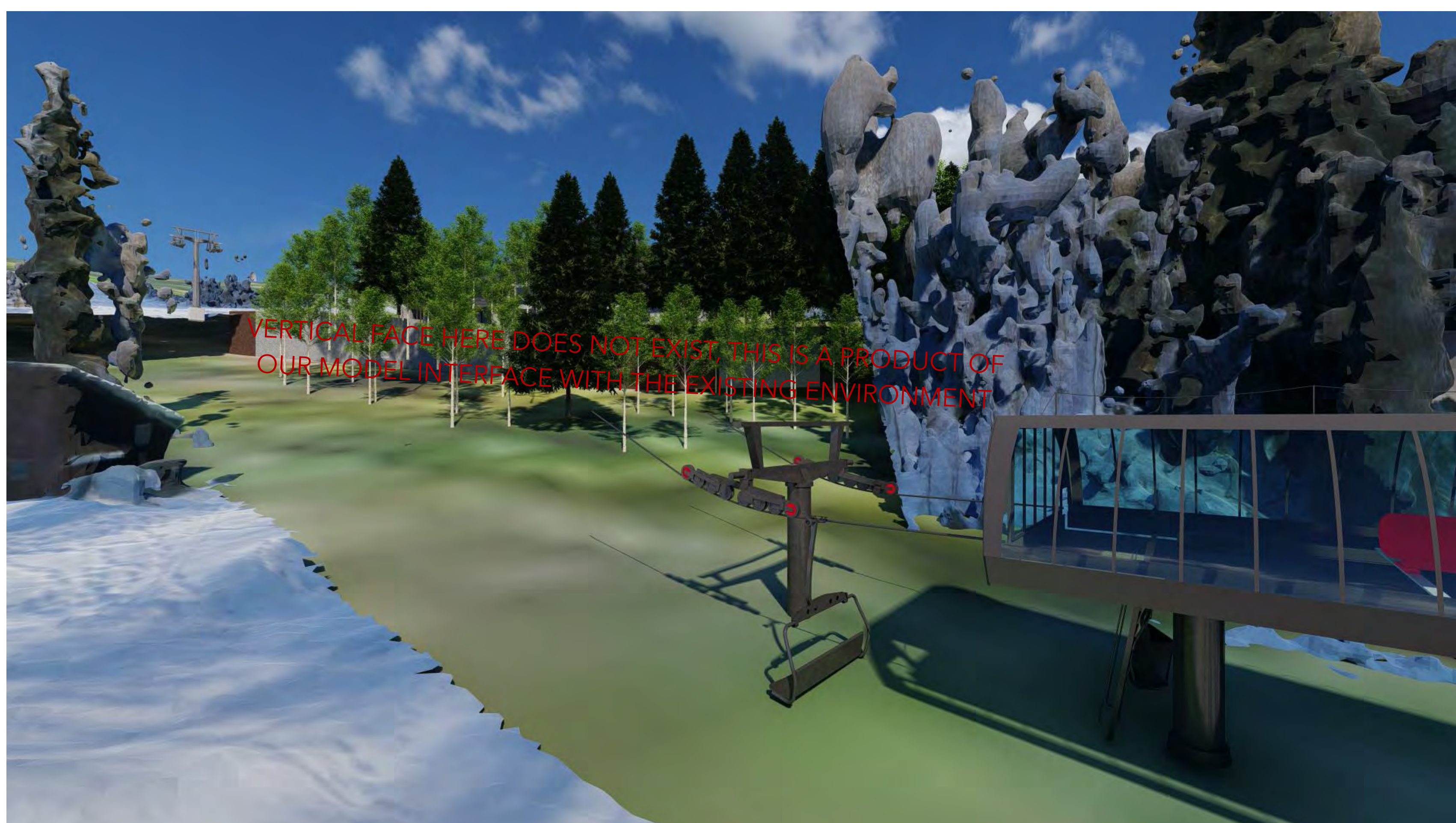
A003



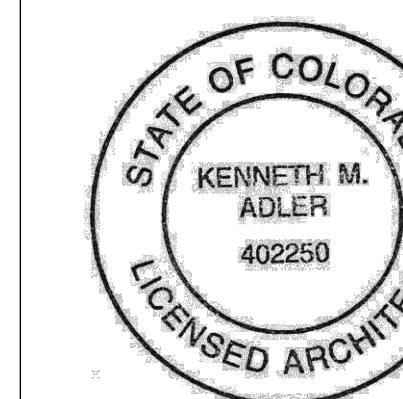


237 RUSSELL DRIVE (LOT 533)

237 RUSSELL DRIVE
MOUNTAIN VILLAGE, CO 81435



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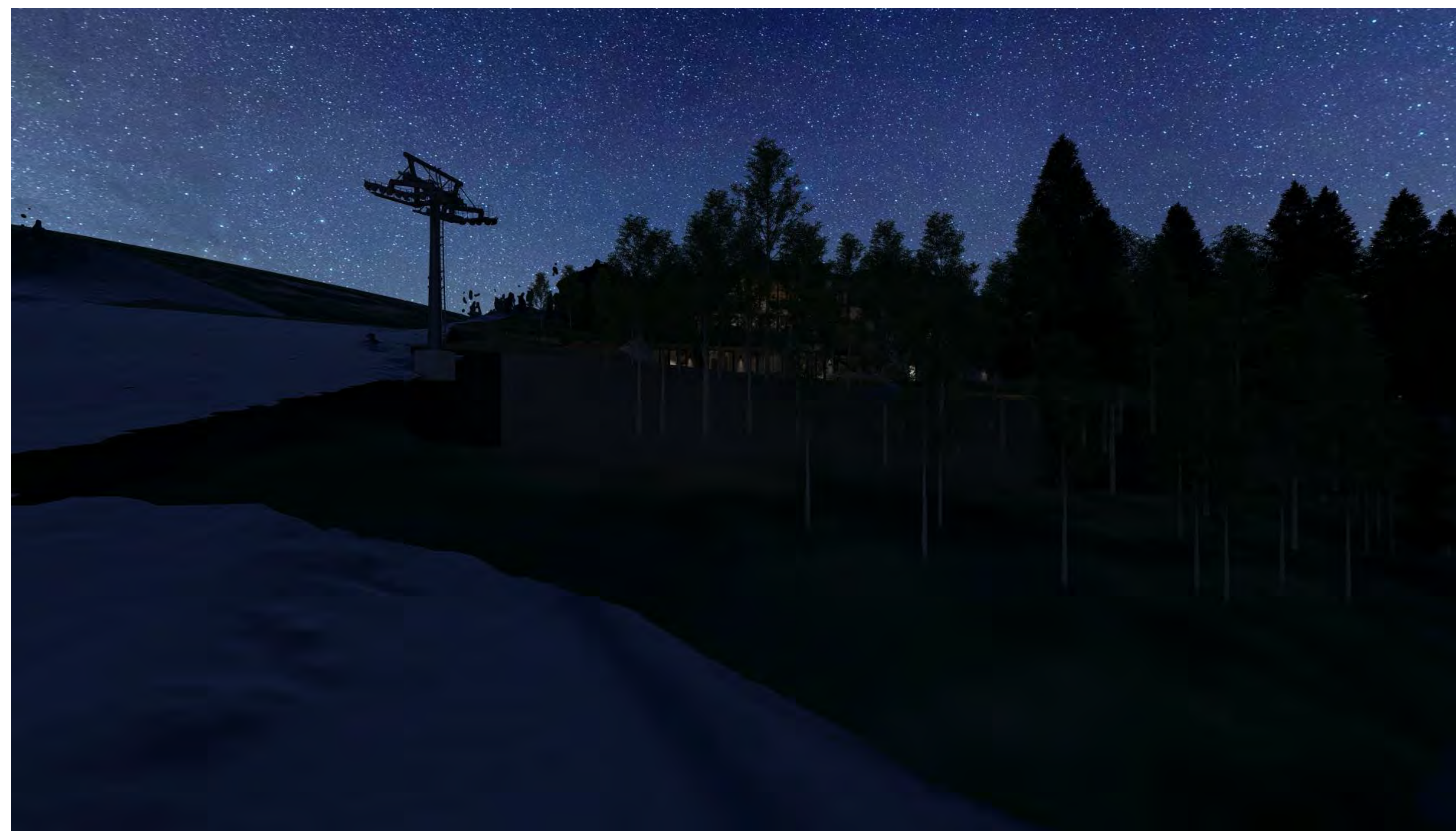
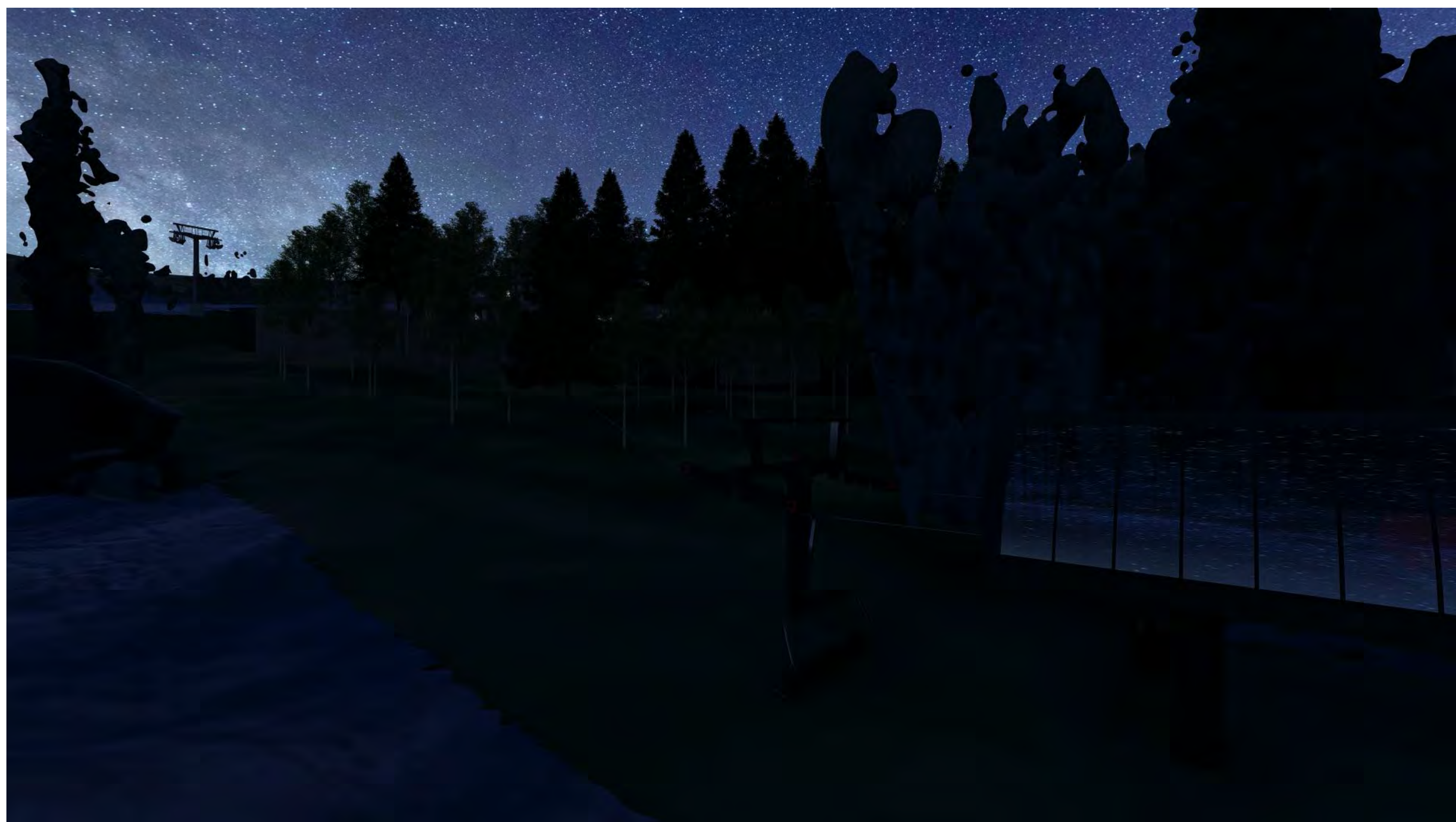
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SHEET TITLE
3D VIEW 4

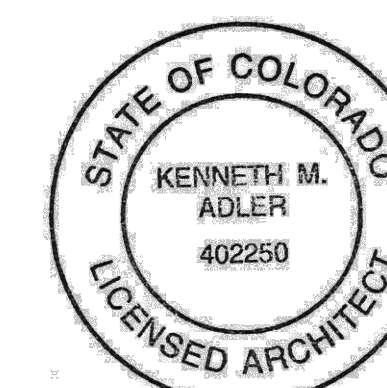
A004



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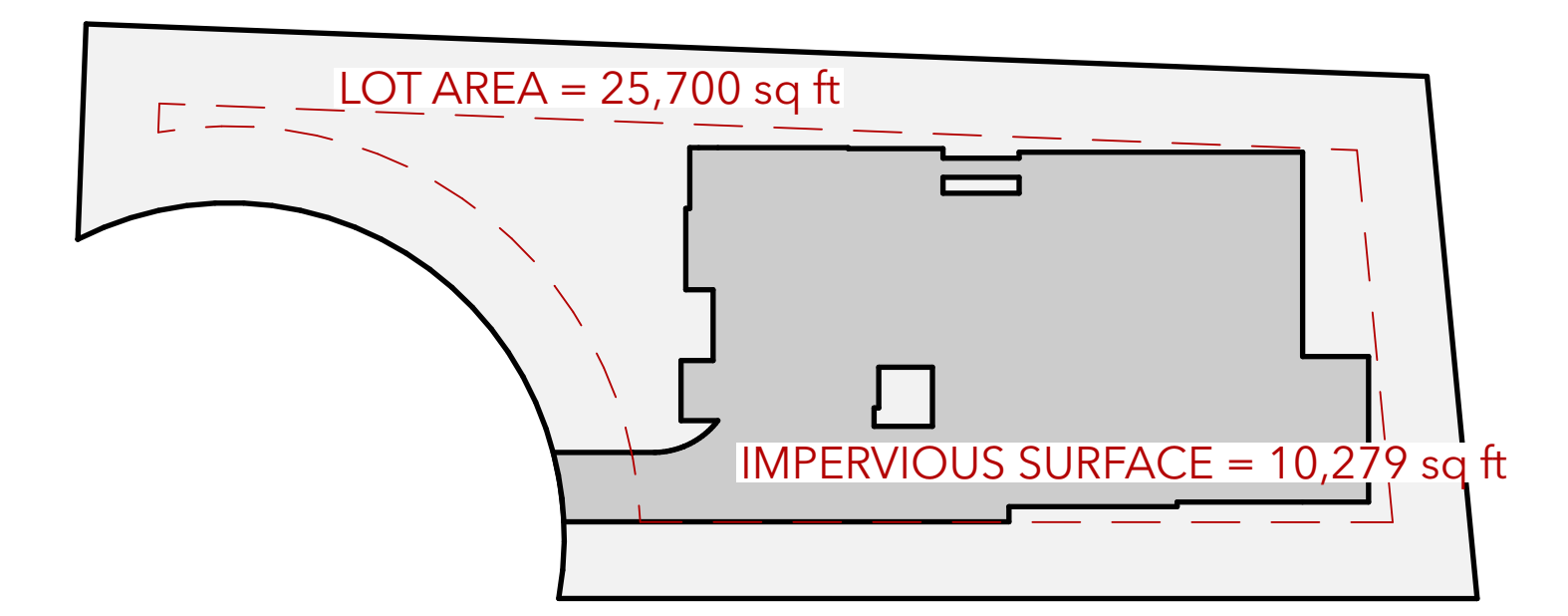
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SHEET TITLE

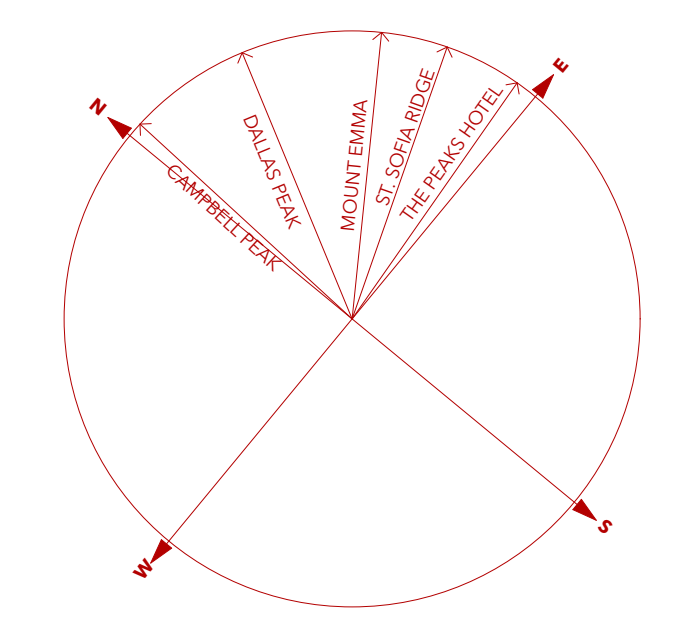
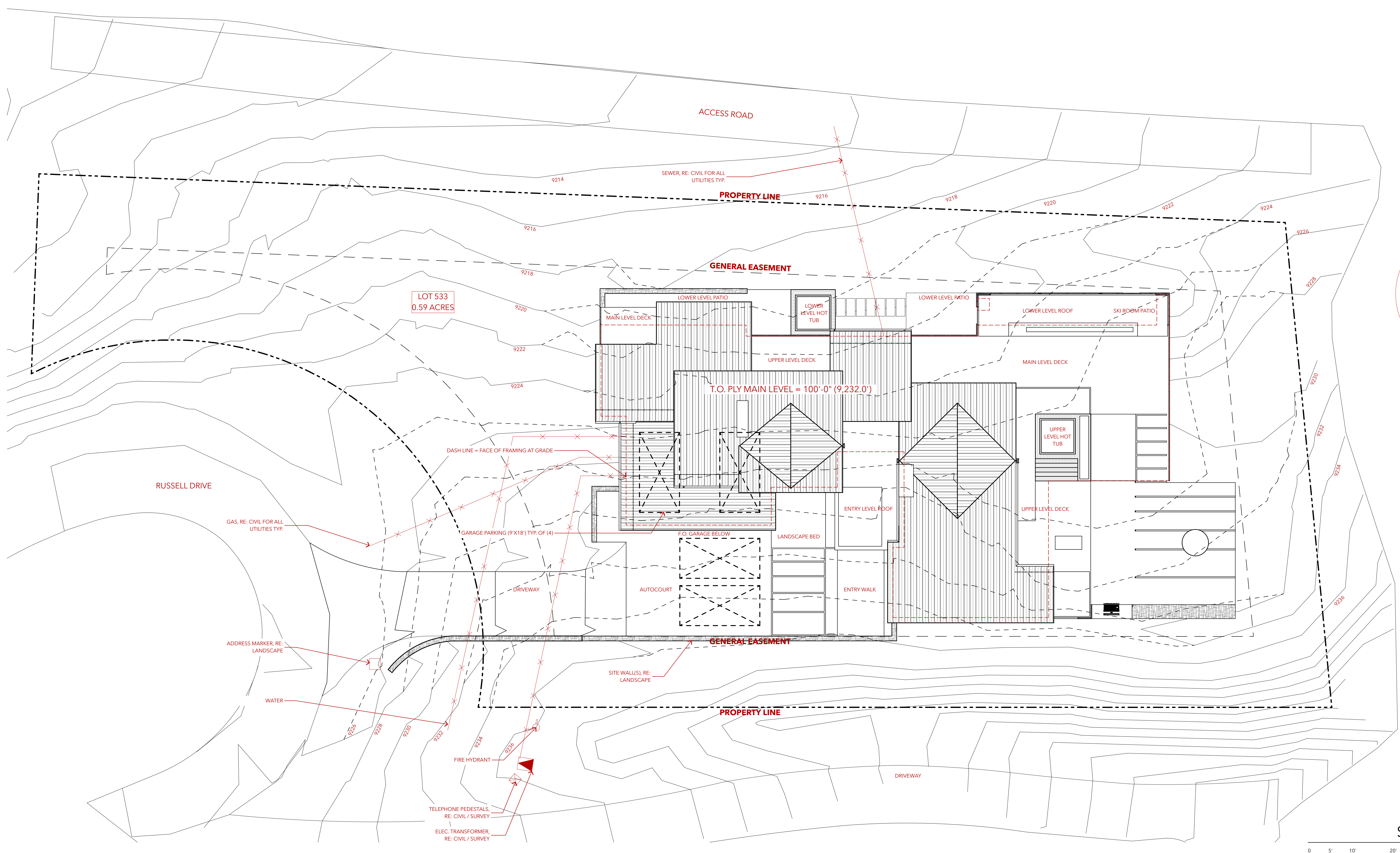
3D VIEW 5

A005



Lot Coverage **2**
SCALE: 1" = 40'

LOT COVERAGE	
MAX ALLOWABLE (SINGLE FAMILY < 1 ACRE)	40%
LOT AREA	25,700 SF
IMPERVIOUS SURFACE	10,279 SF
LOT COVERAGE	39.9%



237 RUSSELL DRIVE (LOT 533)
237 RUSSELL DRIVE
MOUNTAIN VILLAGE, CO 81435

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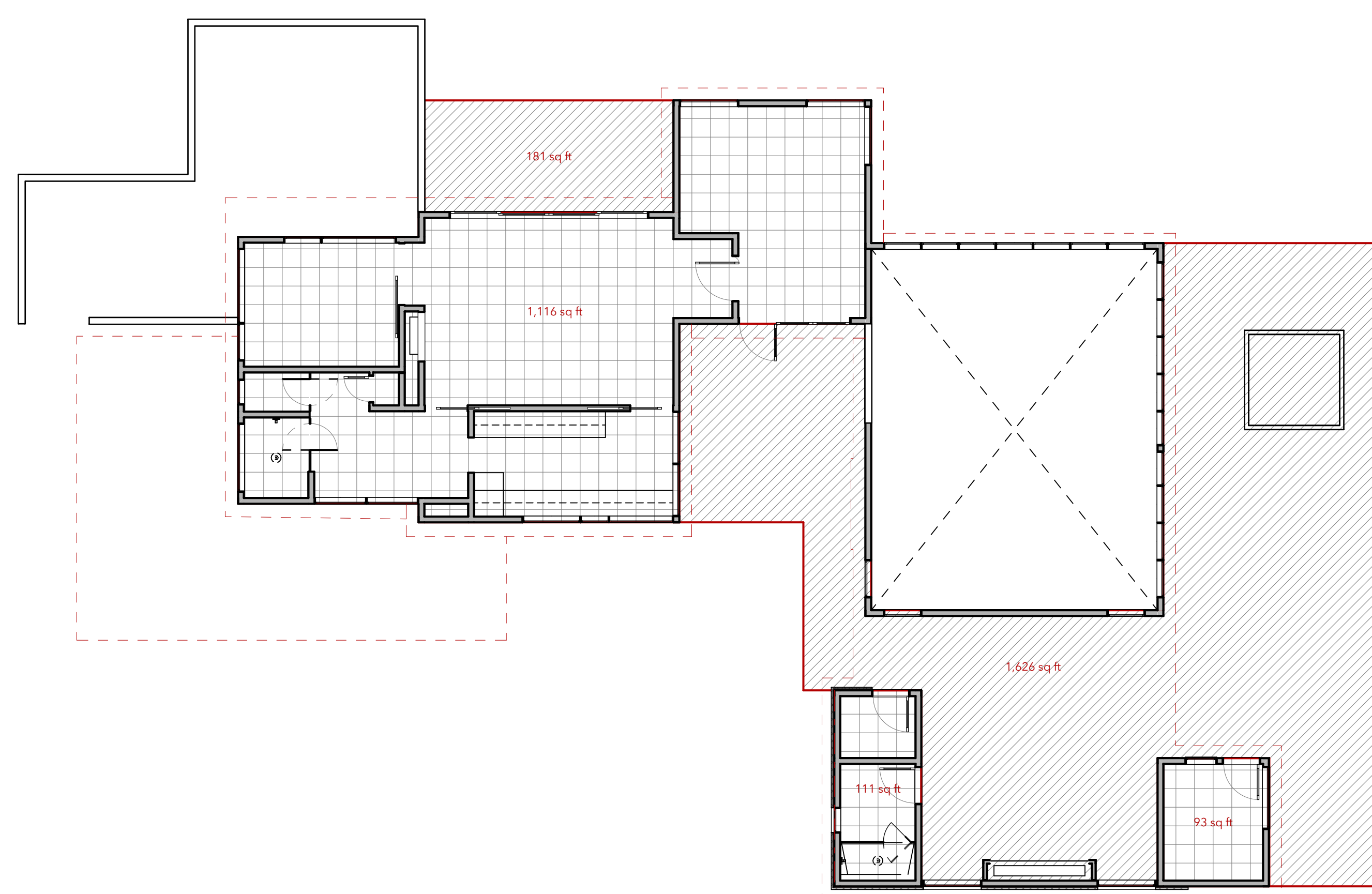
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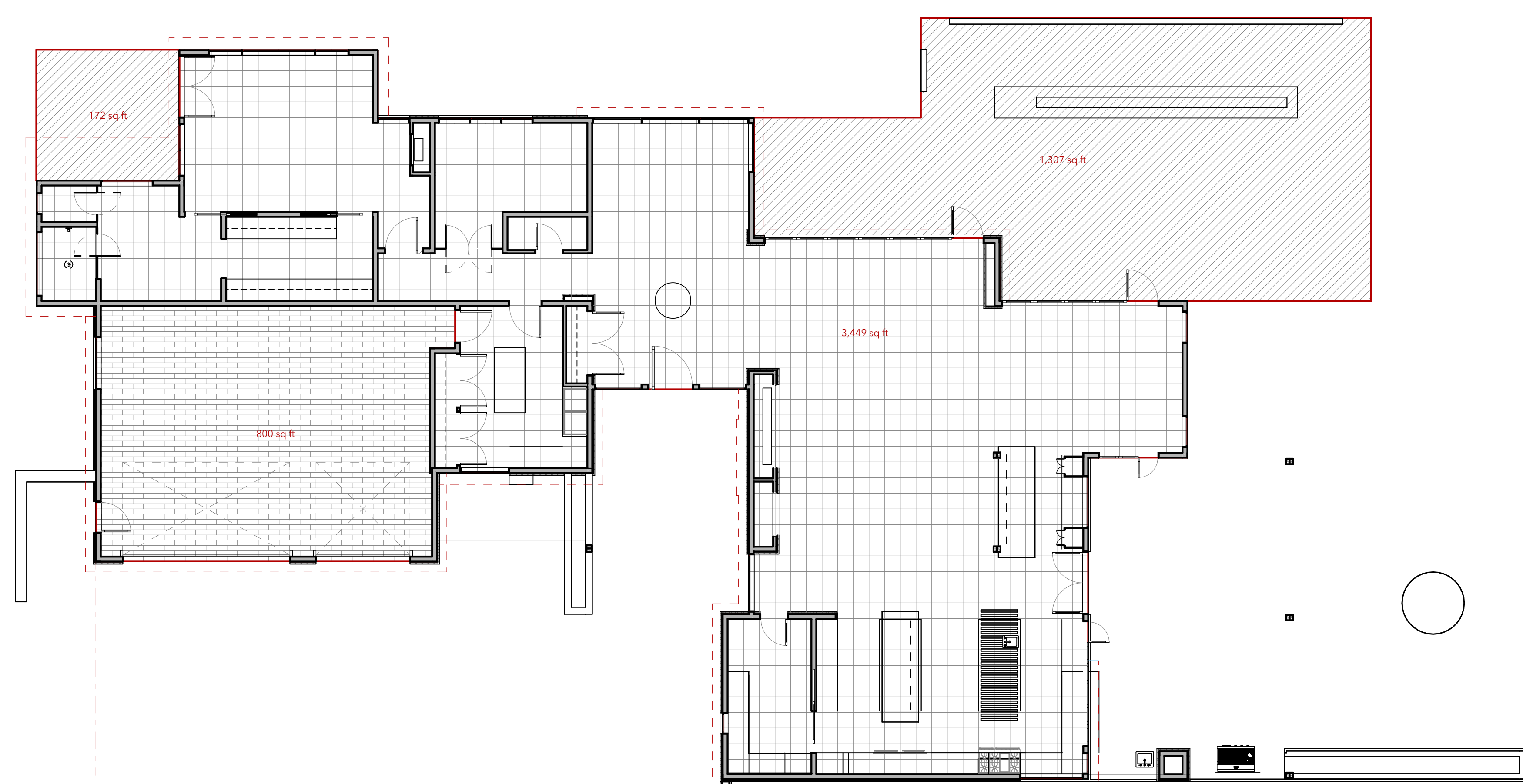
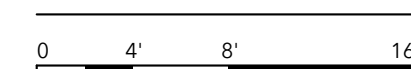
SHEET TITLE
SITE PLAN

A100

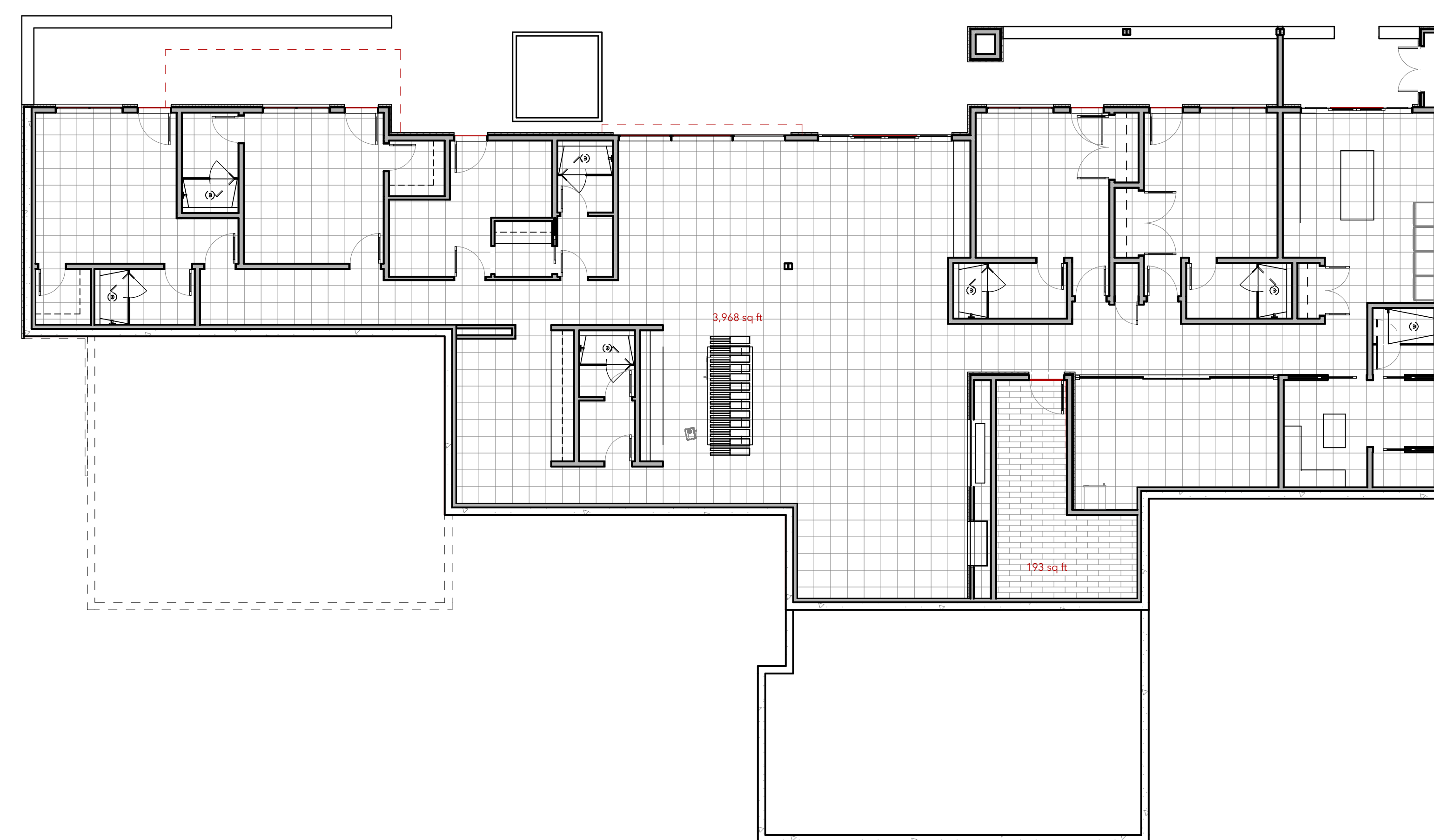
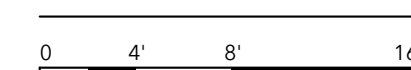
SITE PLAN 1
SCALE: 1" = 10'



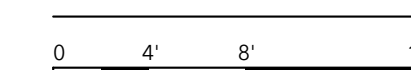
UPPER LEVEL 3
SCALE: 1/8" = 1'-0"



MAIN LEVEL 2
SCALE: 1/8" = 1'-0"



Lower Level 1
SCALE: 1/8" = 1'-0"



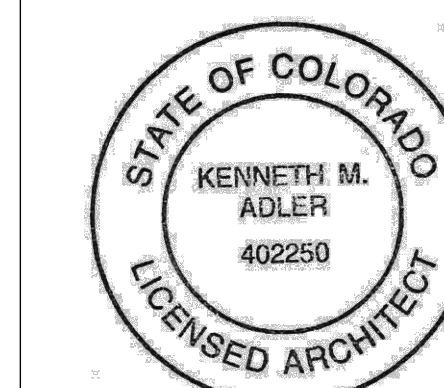
FLOOR AREA KEY

	FLOOR AREA
	GARAGE / MECH
	DECK - EXEMPT

FAR CALCULATIONS:

UPPER LEVEL FLOOR AREA	1,320 SF
MAIN LEVEL FLOOR AREA	3,449 SF
LOWER LEVEL AREA	3,968 SF
GARAGE	800 SF
MECH	193 SF
TOTAL GROSS FLOOR AREA	9,730 SF
DECK (EXEMPT)	3,286 SF

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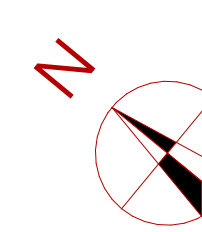
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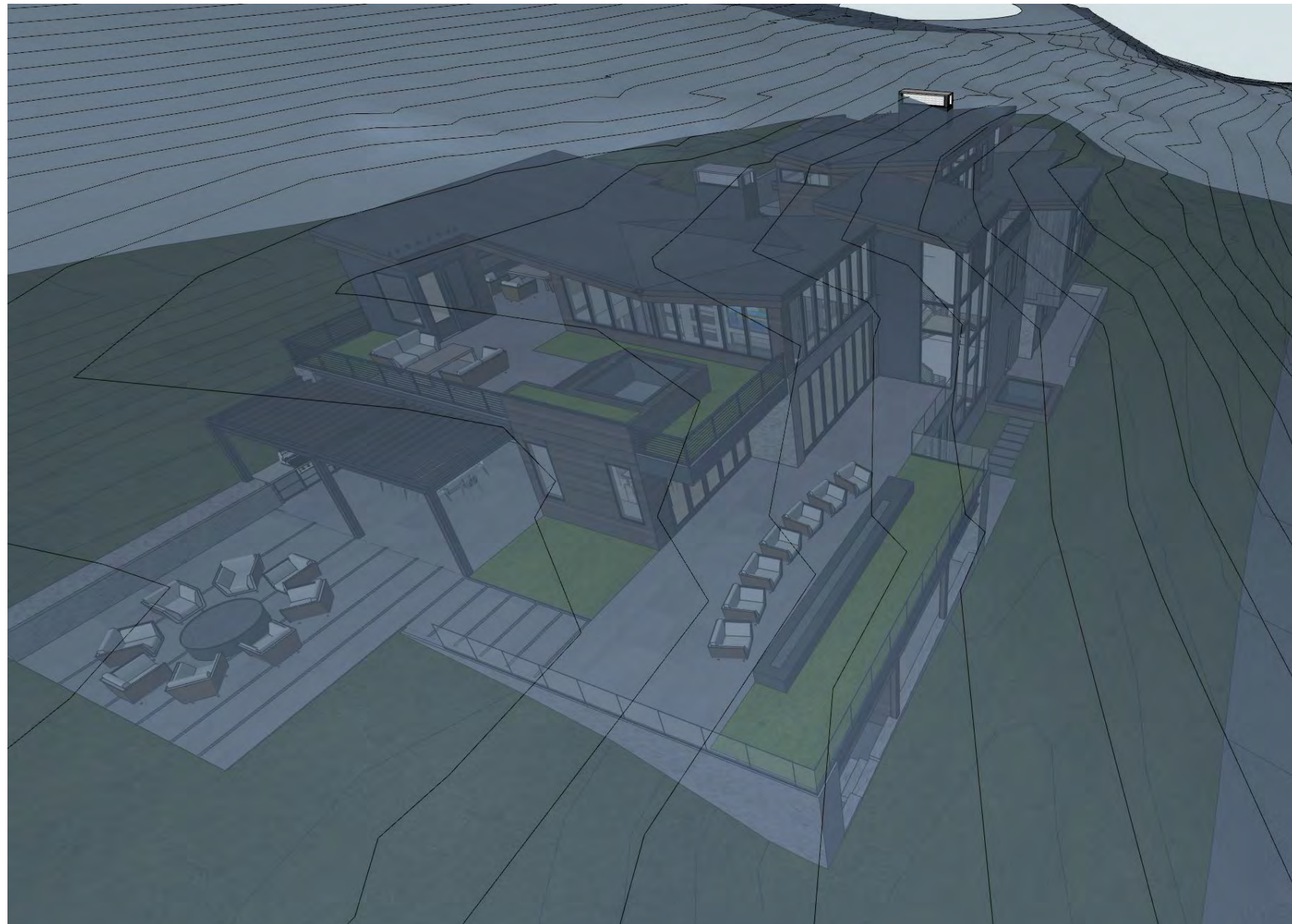
SHEET TITLE
FLOOR AREAS

Z100

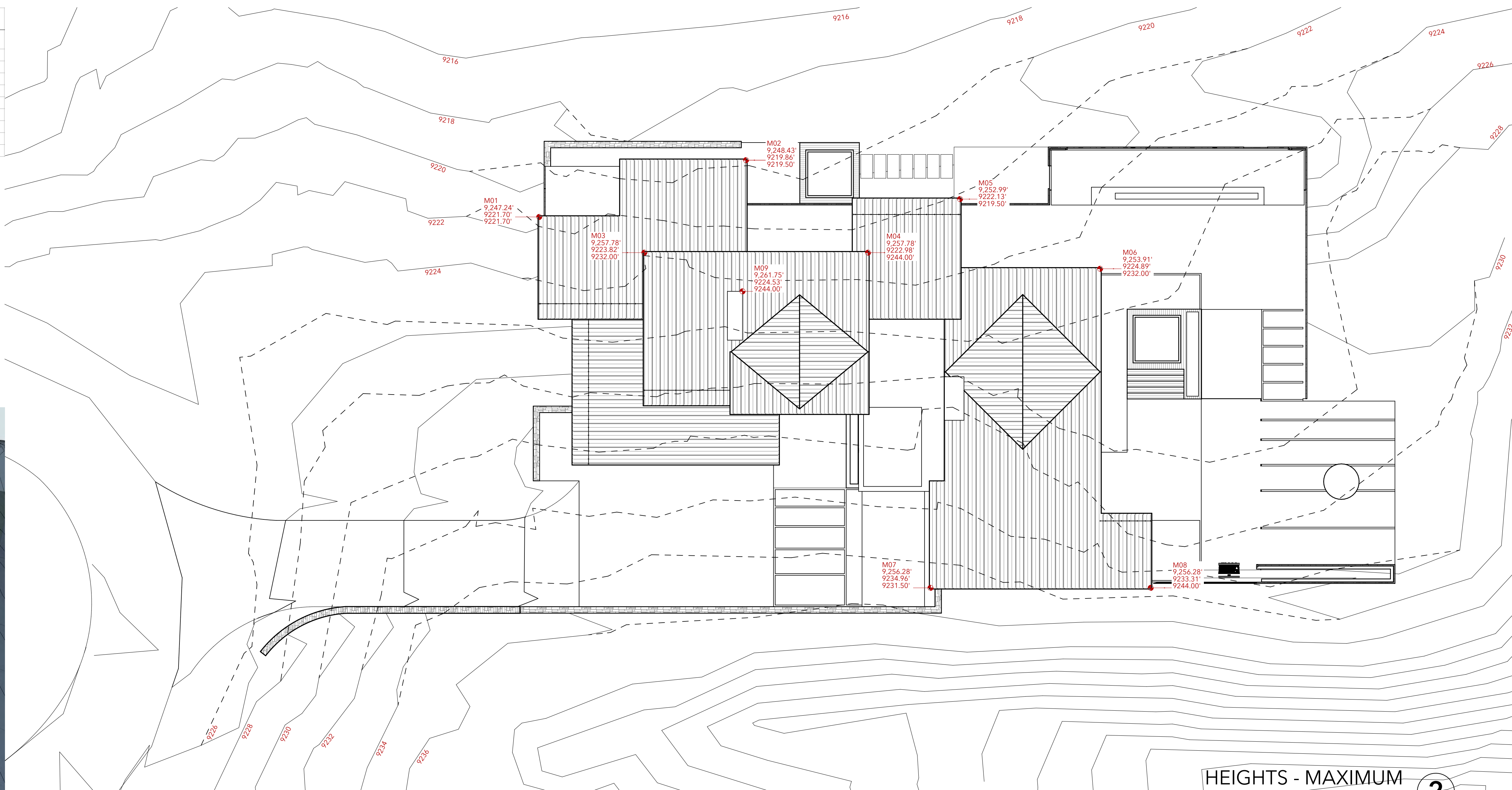


237 Russell MAX Heights					
Roof Point	Roof Point Elevation	Natural Grade Below	Roof Height Above Natural Grade	Proposed Grade Below	Roof Height Above Proposed Grade
M01	9247.24	9221.70	25.54	9221.78	25.54
M02	9248.43	9219.86	28.57	9219.50	28.93
M03	9257.78	9223.82	33.96	9232.00	25.78
M04	9257.78	9222.98	34.80	9244.00	13.78
M05	9252.99	9222.13	30.86	9219.50	33.49
M06	9253.91	9224.89	29.02	9232.00	21.91
M07	9256.28	9234.96	21.32	9231.50	24.78
M08	9256.28	9233.31	22.97	9244.00	12.28
M09	9261.75	9224.53	37.22	9244.00	17.75

5' EXEMPTION FOR CHIMNEY M09



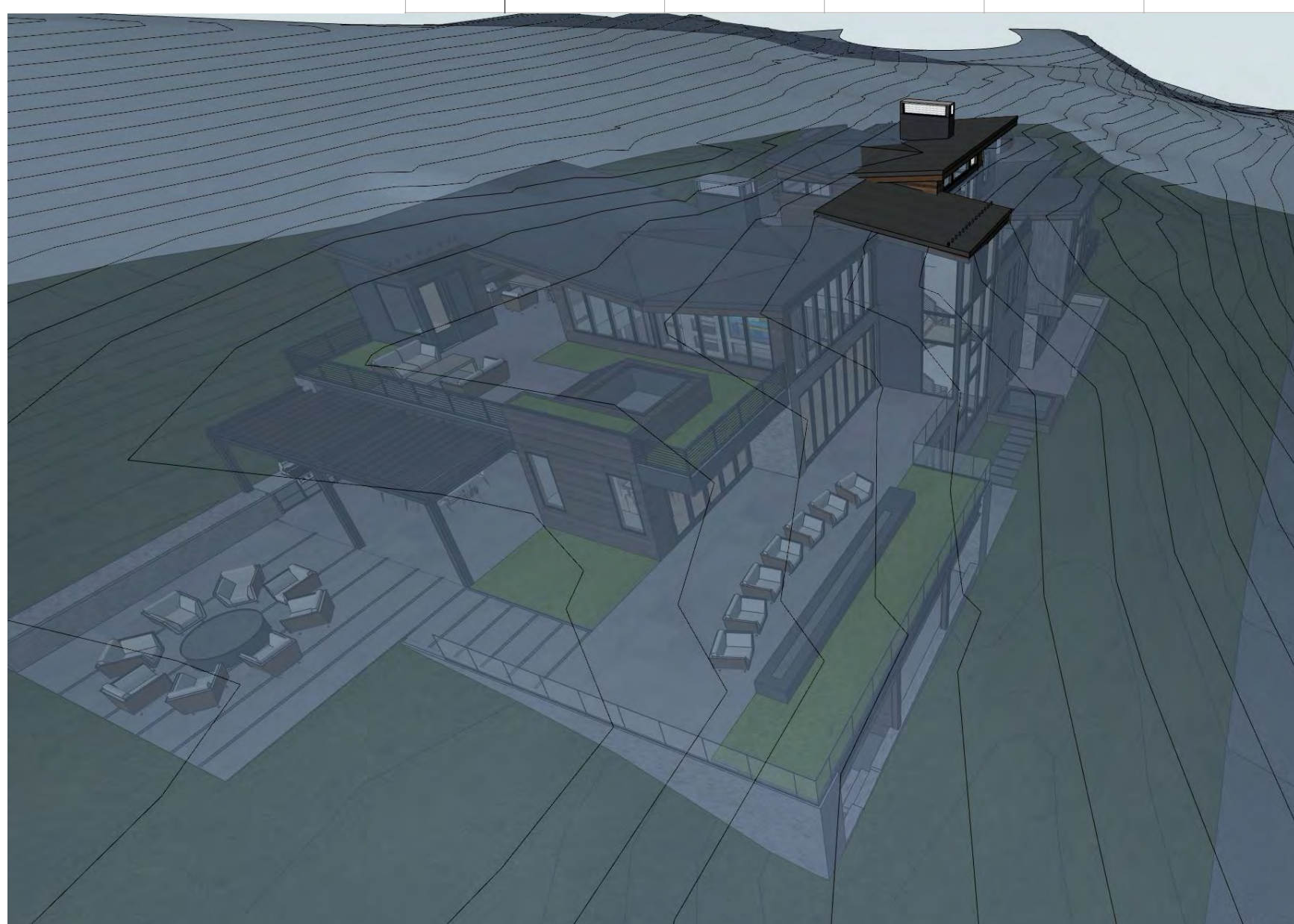
Height 35' Maximum **4**



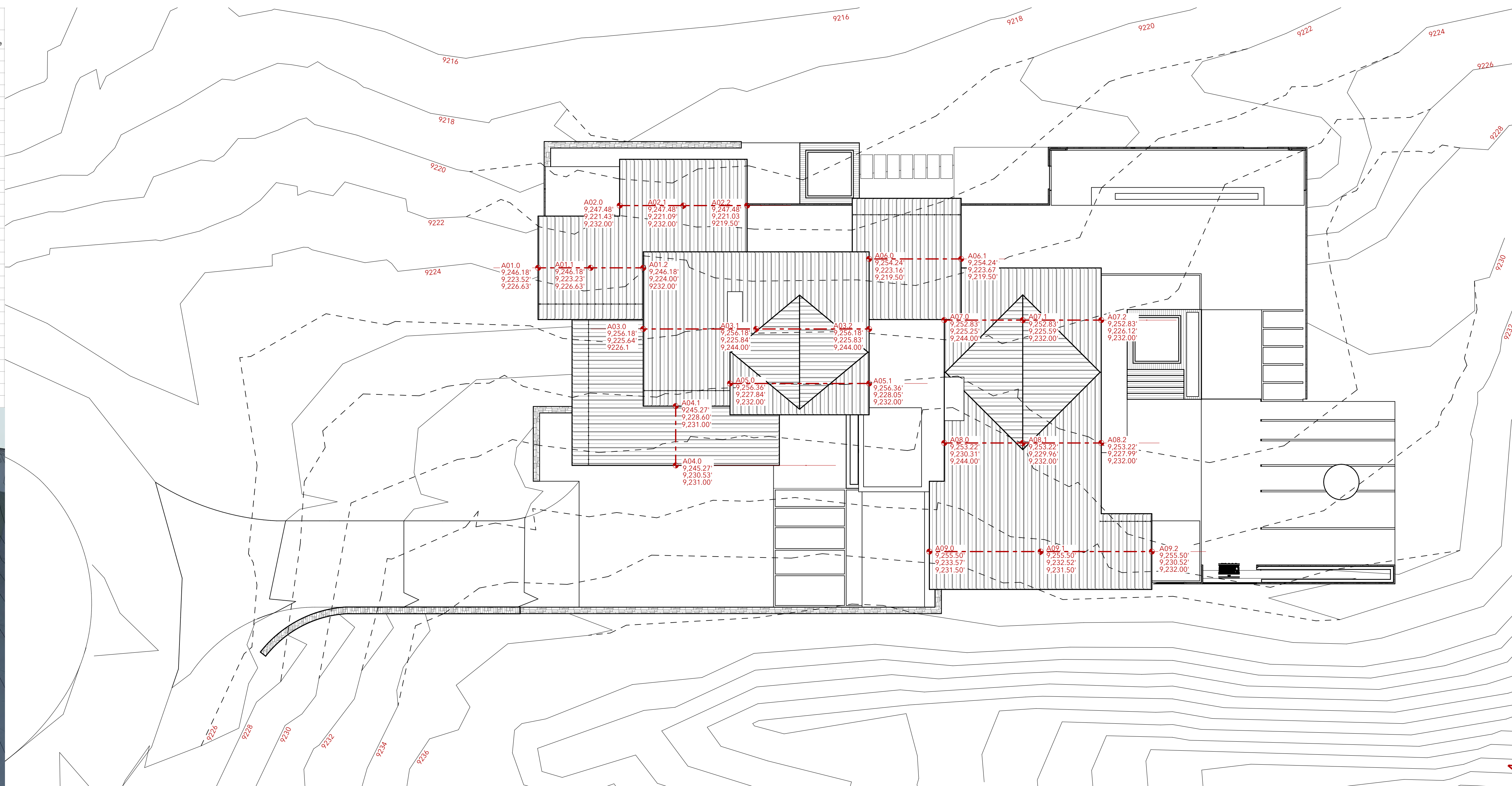
HEIGHTS - MAXIMUM **2**
SCALE: 1" = 10'

237 Russell Average Heights					
Roof Point	Roof Mid Point Elevation	Natural Grade Below	Proposed Grade Below	NG = Natural Grade PG = Proposed Grade	Roof Height Above Most Restrictive Grade
A01.0	9246.18	9223.62	9223.63	NG	22.56
A01.1	9246.18	9223.23	9226.63	NG	22.95
A01.2	9246.18	9224.00	9232.00	NG	22.18
A02.0	9247.48	9221.43	9232.00	NG	26.05
A02.1	9247.48	9221.09	9232.00	NG	26.39
A02.2	9247.48	9221.03	9219.50	PG	27.98
A03.0	9256.18	9225.64	9226.10	NG	30.54
A03.1	9256.18	9225.64	9244.00	NG	30.34
A03.2	9256.18	9225.63	9244.00	NG	30.35
A04.0	9245.27	9230.53	9231.00	NG	14.74
A04.1	9245.27	9228.60	9231.00	NG	16.67
A05.0	9256.36	9227.84	9232.00	NG	28.52
A05.1	9256.36	9228.05	9232.00	NG	28.31
A06.0	9254.24	9223.16	9219.50	PG	34.74
A06.1	9254.24	9223.67	9219.50	PG	34.74
A07.0	9252.83	9225.25	9244.00	NG	27.58
A07.1	9252.83	9225.59	9232.00	NG	27.24
A07.2	9252.83	9226.12	9232.00	NG	26.71
A08.0	9253.22	9230.31	9244.00	NG	22.91
A08.1	9253.22	9229.96	9232.00	NG	23.26
A08.2	9253.22	9227.99	9232.00	NG	25.23
A09.0	9255.50	9233.57	9231.50	PG	24.00
A09.1	9255.50	9232.52	9231.50	PG	24.00
A09.2	9255.50	9230.52	9232.00	NG	24.98

MAX. Average Allowable	30.00
Average Height	25.96
Complys By	4.04



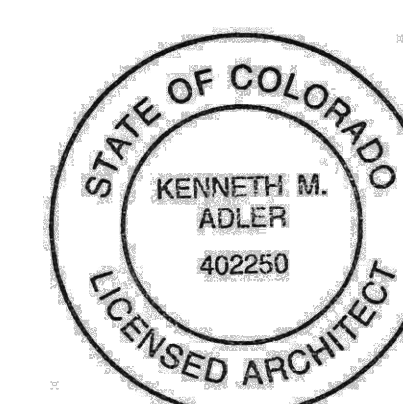
Height 30' Average **3**



HEIGHTS - MAXIMUM AVERAGE **1**
SCALE: 1" = 10'

237 RUSSELL DRIVE (LOT 533)
237 RUSSELL DRIVE
MOUNTAIN VILLAGE, CO 81435

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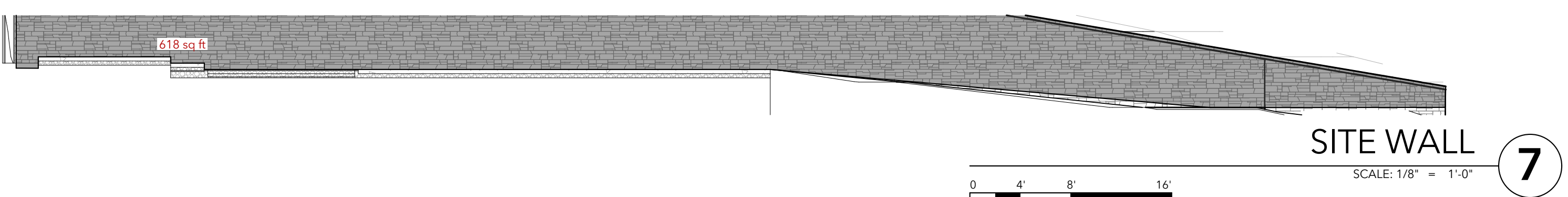
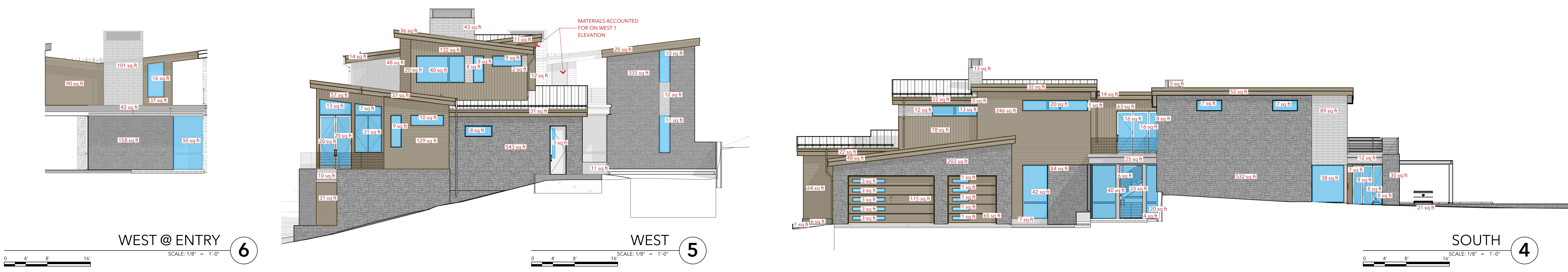
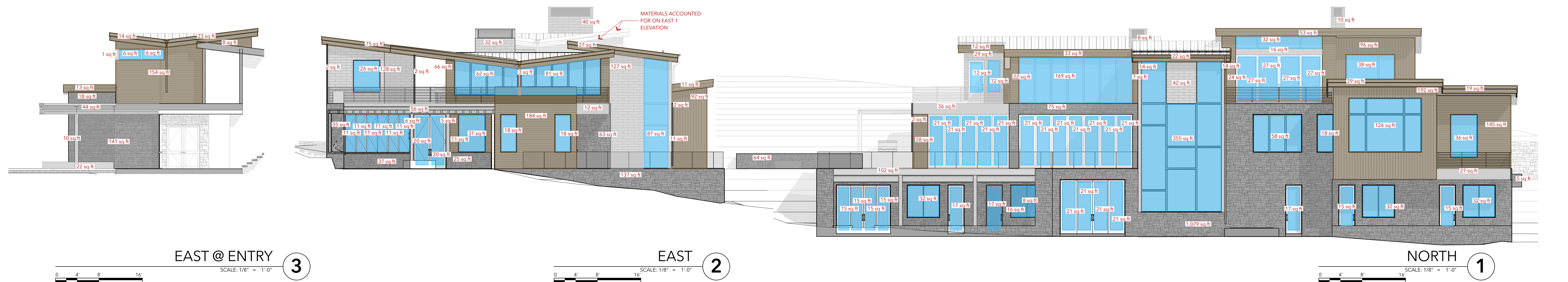
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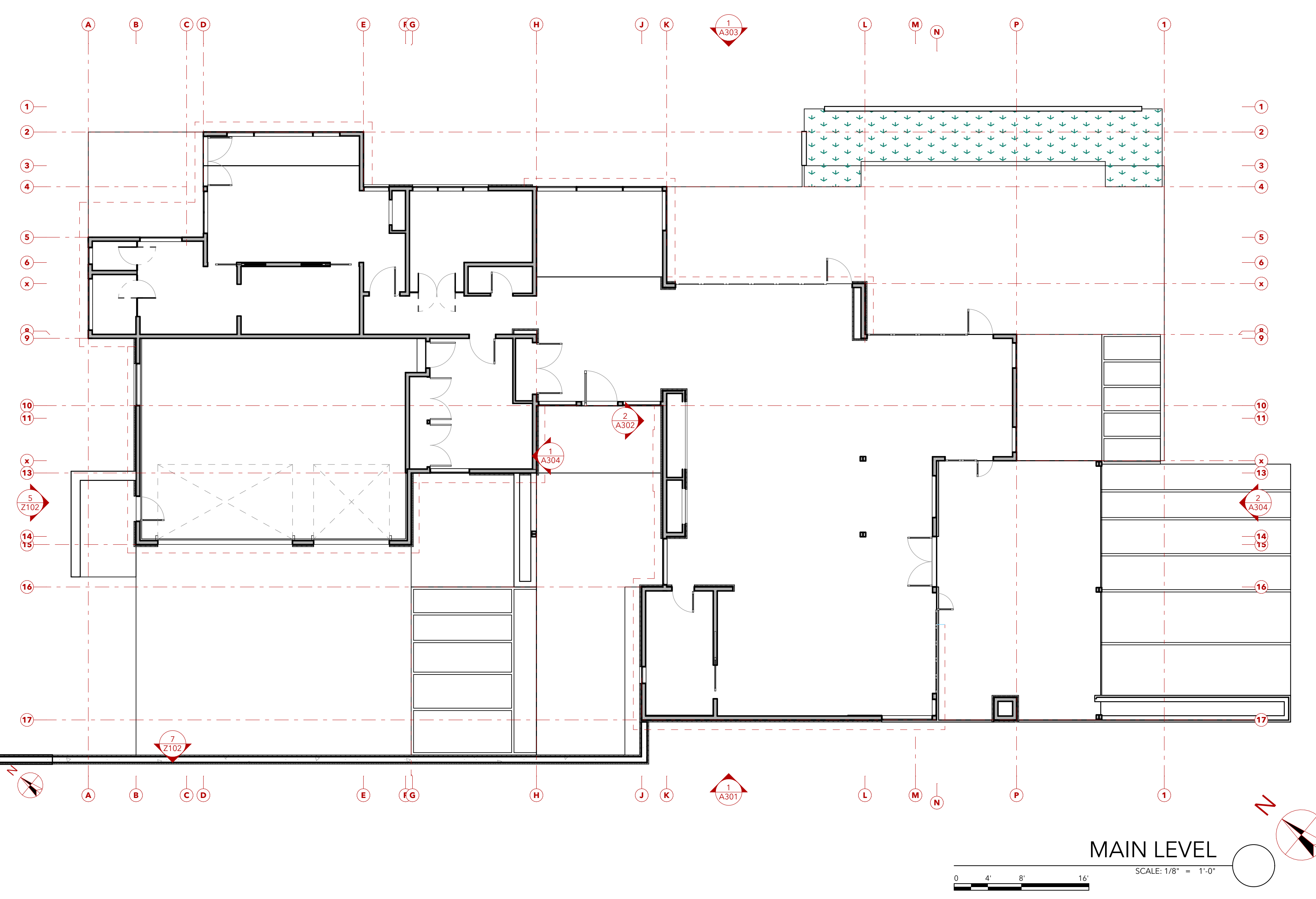
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SHEET TITLE
HEIGHTS

Z101

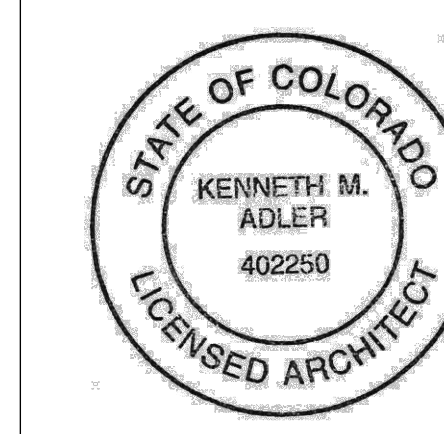


WALL AREA MATERIAL LEGEND	% OF MATERIALS
STONE WALL AREA	38.66%
GLASS WALL AREA	24.65%
WOOD WALL AREA	26.26%
METAL WALL AREA	10.43%



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237 RUSSELL DRIVE
MOUNTAIN VILLAGE, CO 81435

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SHEET TITLE
WALL AREAS

Z102

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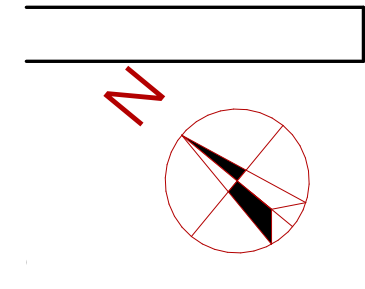
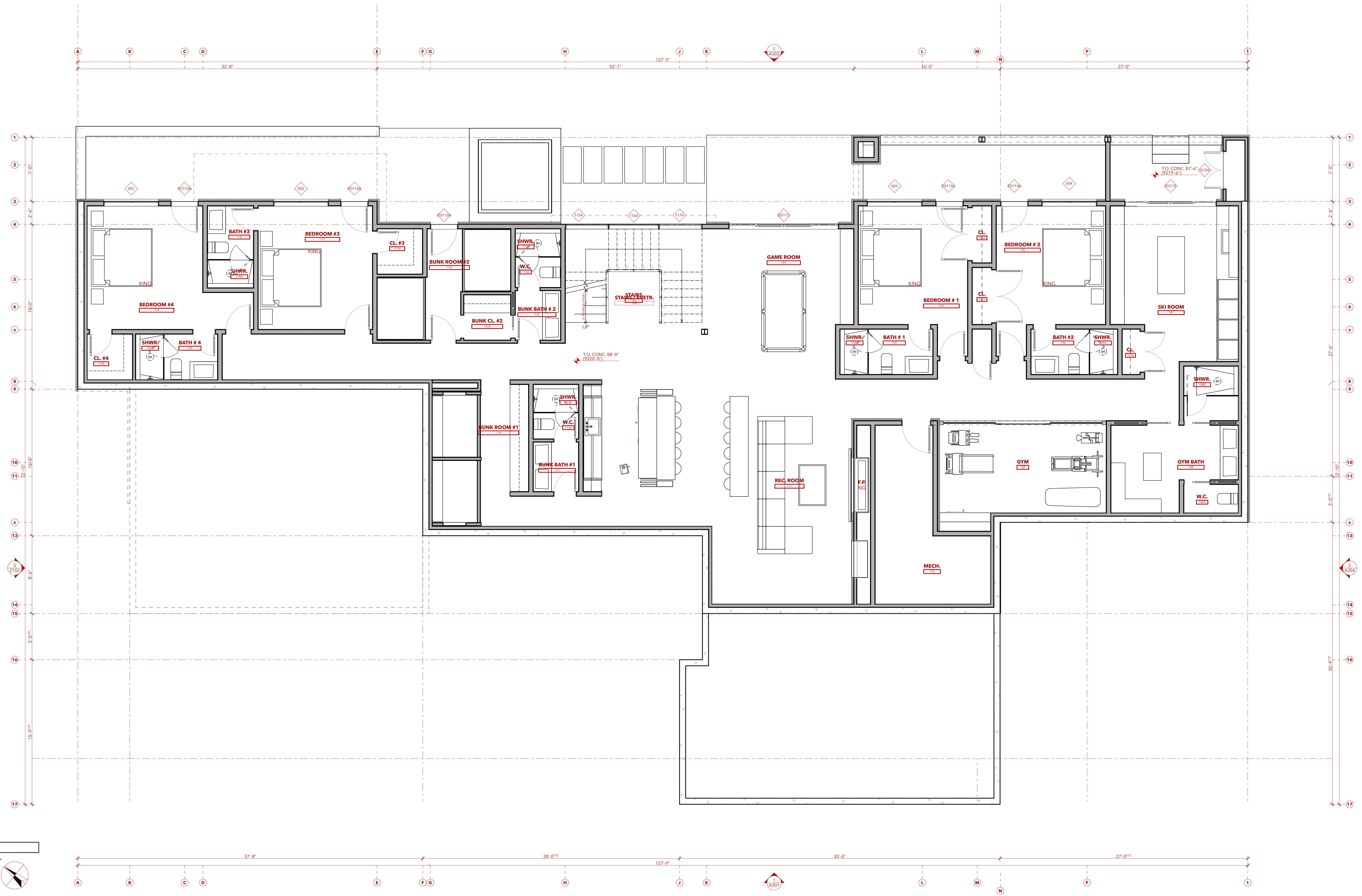
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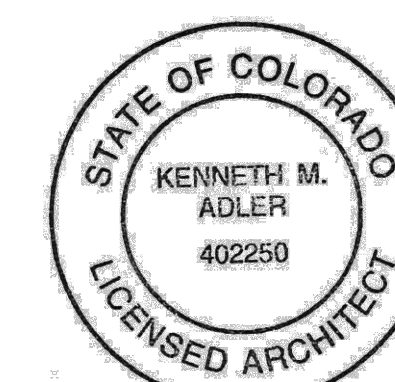
SHEET TITLE
LOWER LEVEL PLAN

A201



LOWER LEVEL
SCALE: 1/4" = 1'-0"

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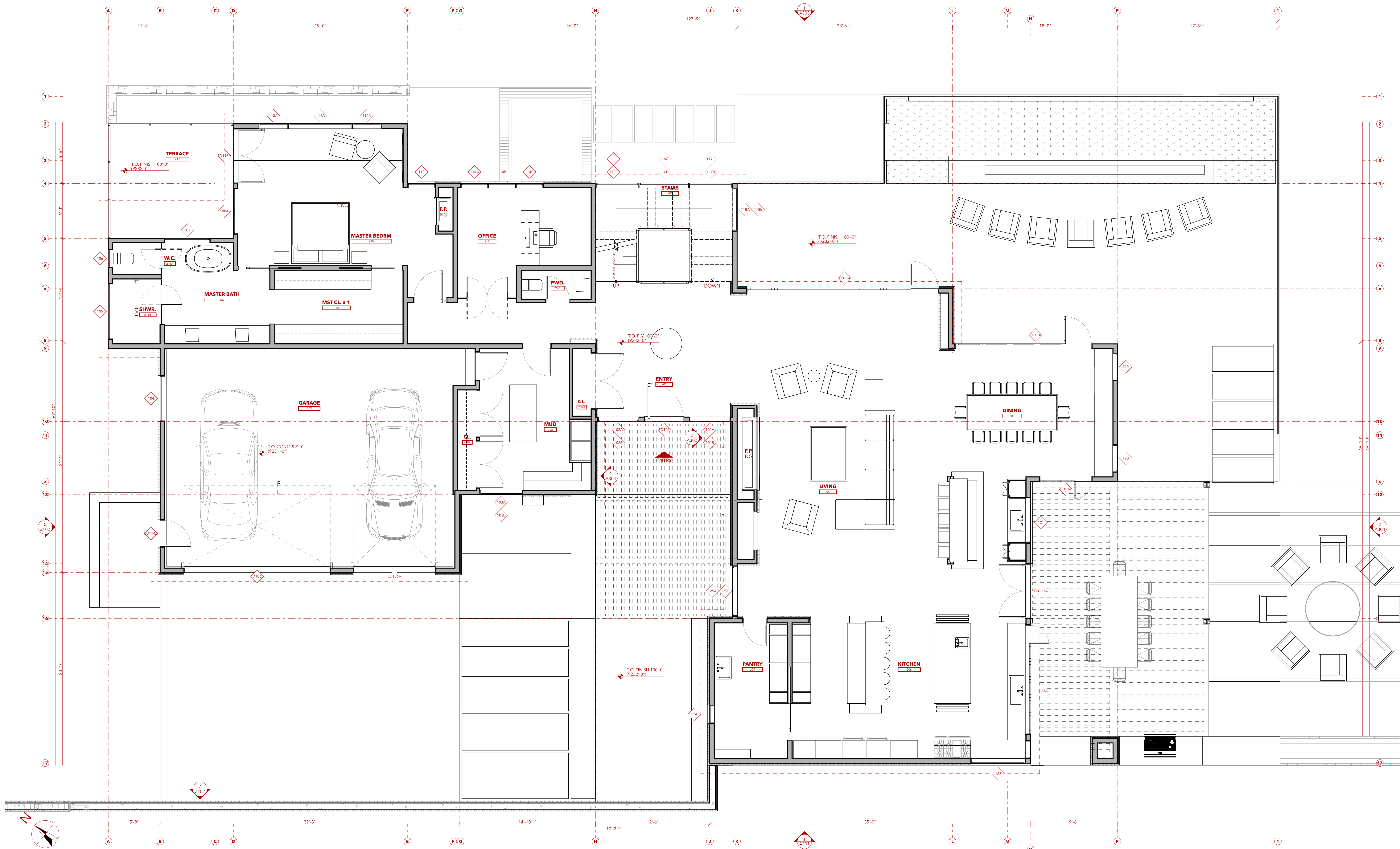
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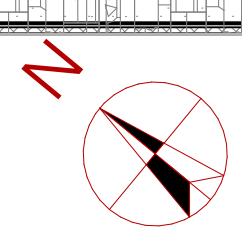
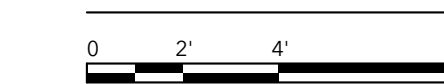
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SHEET TITLE
MAIN LEVEL PLAN

A202



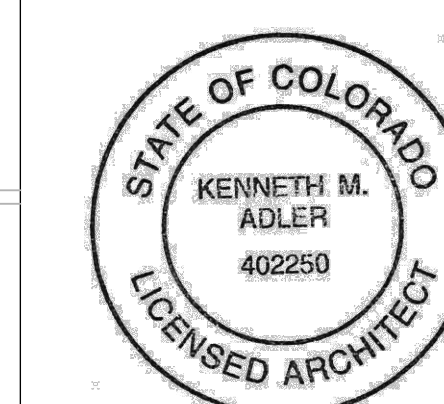
MAIN LEVEL
SCALE: 1/4" = 1'-0"



237 RUSSELL DRIVE (LOT 533)

237 RUSSELL DRIVE
MOUNTAIN VILLAGE, CO 81435

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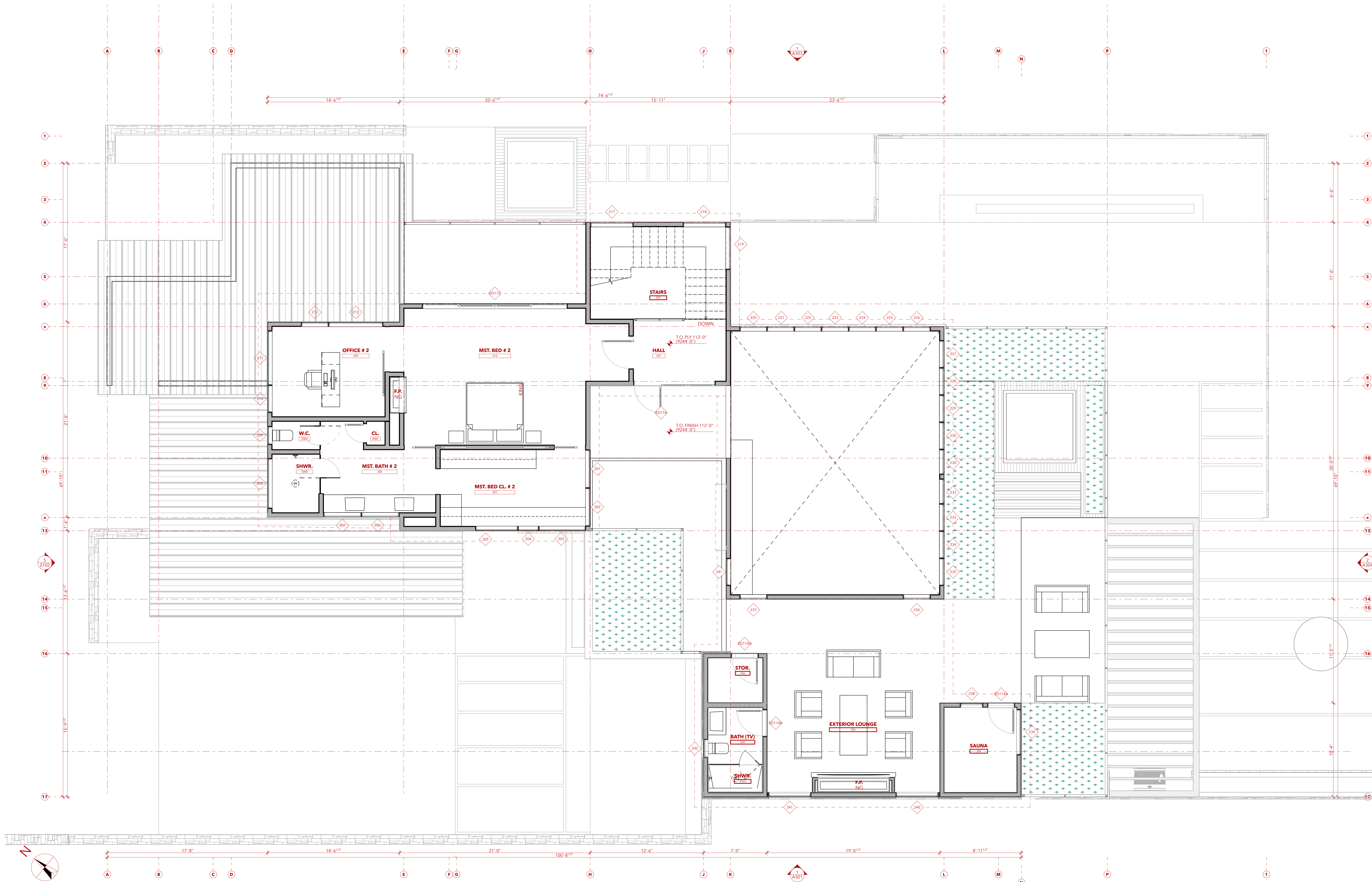
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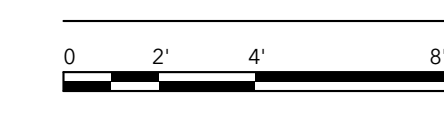
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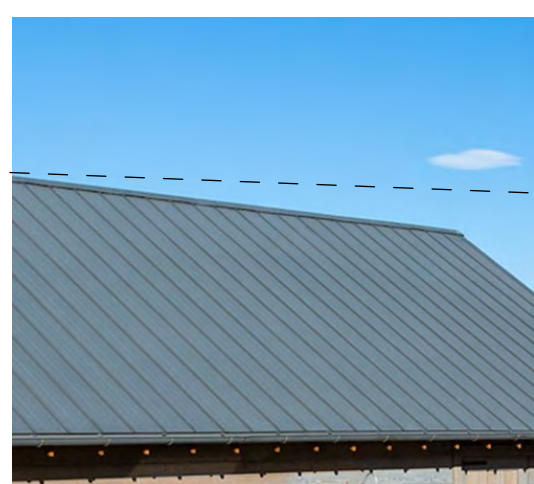
SHEET TITLE
UPPER LEVEL PLAN

A203

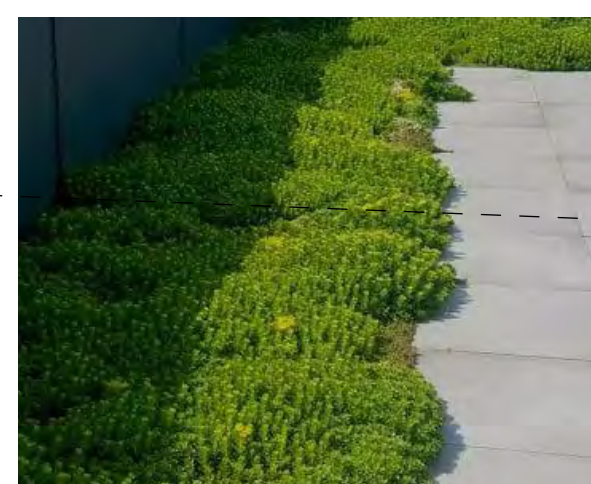


UPPER LEVEL
SCALE: 1/4" = 1'-0"



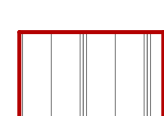
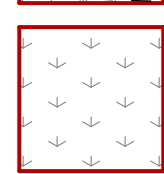


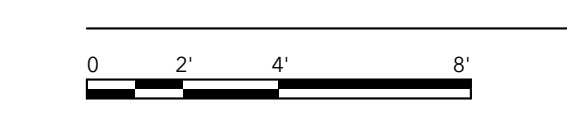
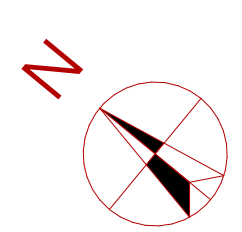
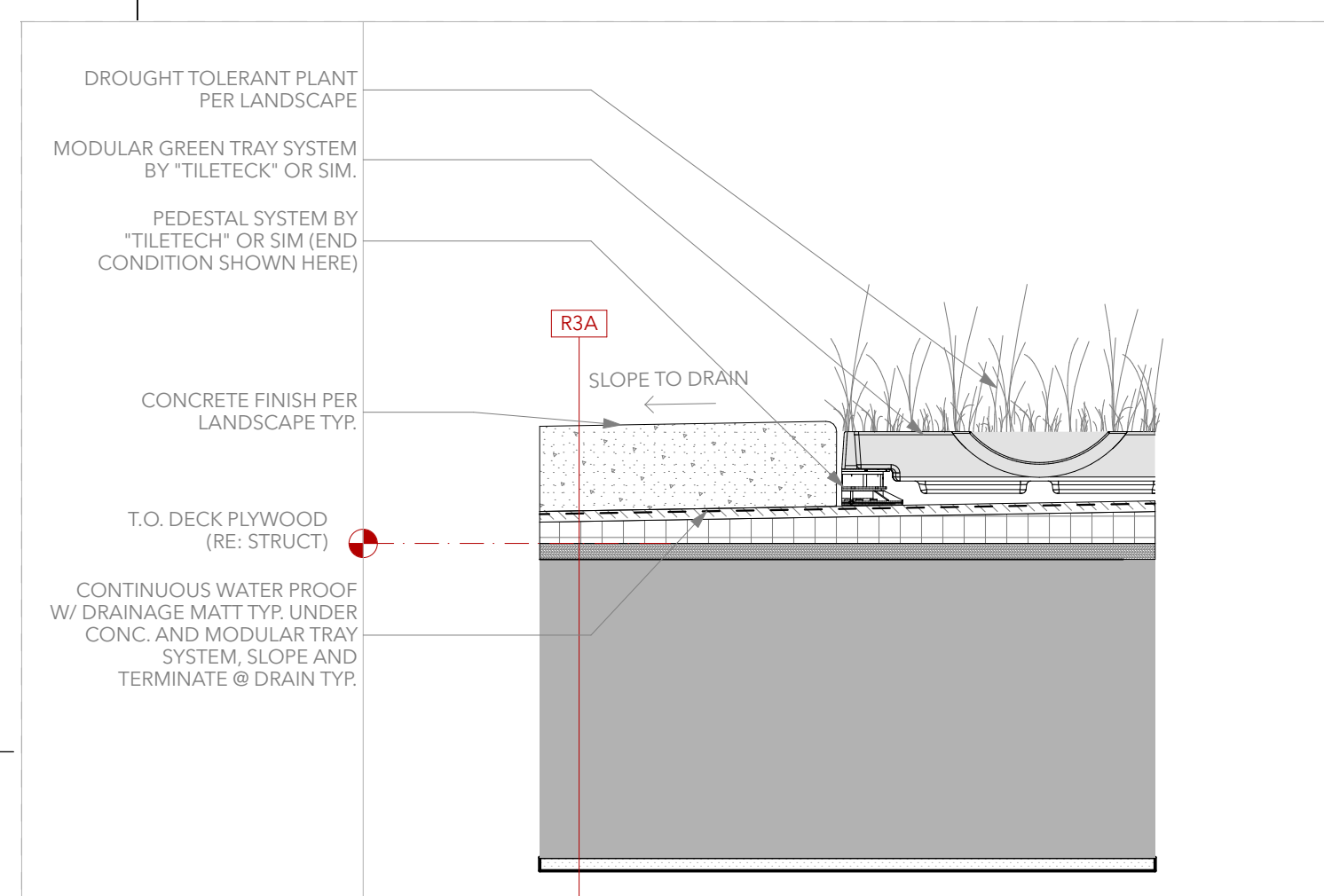
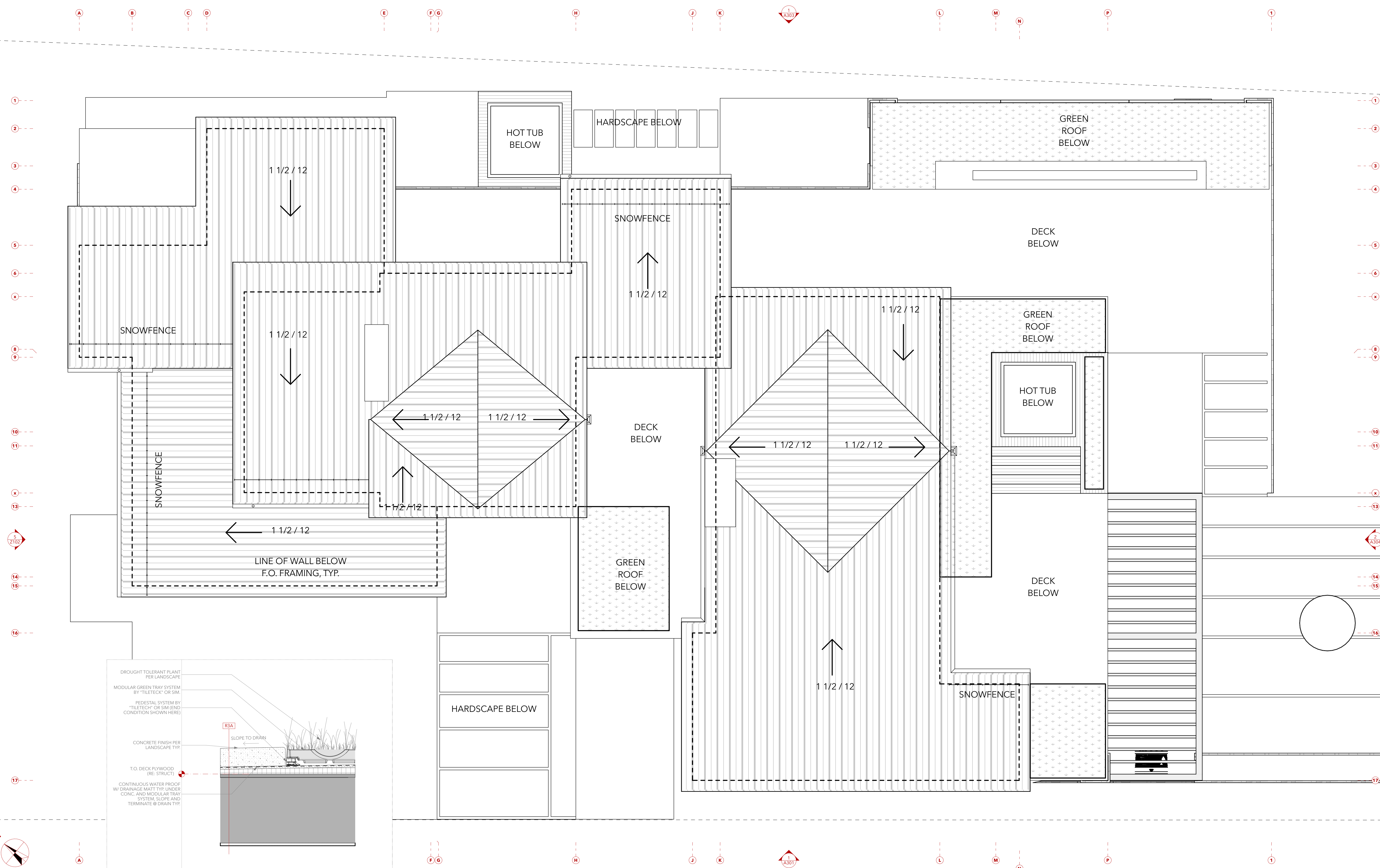
Roofing / (Drip Edge) - Standing Seam 16" O.C.



Green Roof - Tray System

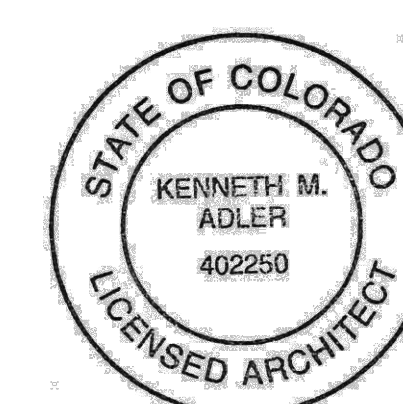
ROOF MATERIAL LEGEND

-  **STANDING SEAM METAL ROOFING**
COLOR - CHARCOAL GRAY
-  **GREEN ROOF**



237 RUSSELL DRIVE (LOT 533)
237 RUSSELL DRIVE
MOUNTAIN VILLAGE, CO 81435

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SHEET TITLE
ROOF PLAN

A204

ROOF PLAN
SCALE: 1/4" = 1'-0"

GREEN ROOF TRANSITION
SCALE: 1/2" = 1'-0"



Roofing / (Drip Edge) - Standing Seam 16" O.C.



Railing - Glass



Railing - Cable



Steel Accents - Raw Patina



Window / Door - Clad



Fascia - Rough Sawn Wood



Wood Siding - Barnwood 8"



Wood Siding - Ash 4"

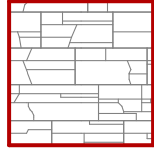
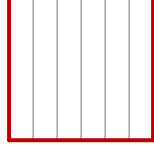
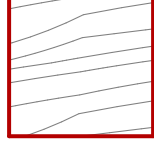
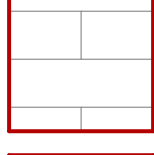

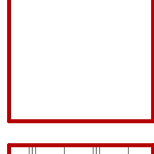
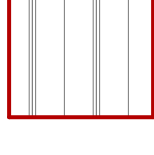


Metal Panel Siding - Flat Lock



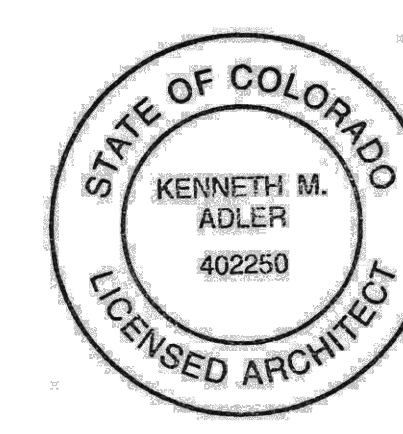
Masonry Veneer - CK Dove Gray Drystack

ELEVATIONS MATERIAL LEGEND

-  **STONE SIDING**
-  **VERTICAL WOOD SIDING 4"**
-  **WOOD TIMBERS & TRIM**
-  **METAL PANEL SIDING - FLAT LOCK**
-  **HORIZONTAL WOOD SIDING 4"**
-  **METAL ACCENT & FACIA**
-  **STANDING SEAM METAL ROOFING**



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ID	ISSUE	DRAWING ISSUANCE INDEX	DATE
01	SCHEMATIC DESIGN		4/2/20, 10:13 AM

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SHEET TITLE
ELEVATION



Roofing / (Drip Edge) - Standing Seam 16" O.C.



Railing - Glass



Railing - Cable



Steel Accents - Raw Patina



Window / Door - Clad



Fascia - Rough Sawn Wood



Wood Siding - Barnwood 8"



Wood Siding - Ash 4"

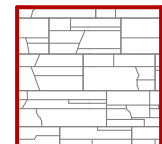


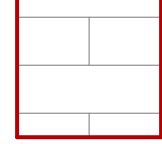

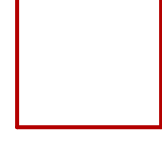
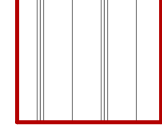


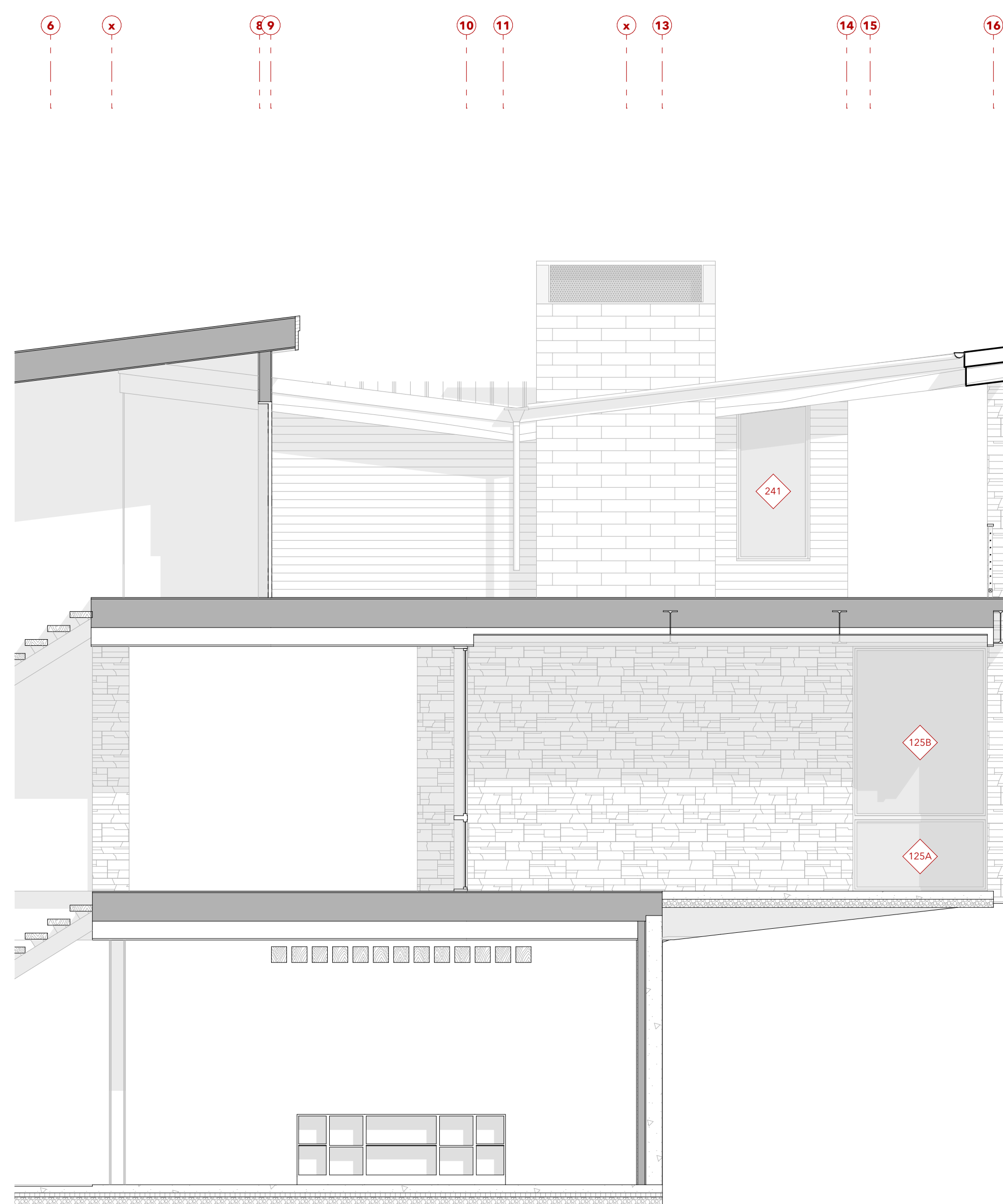
Metal Panel Siding - Flat Lock



Masonry Veneer - CK Dove Gray Drystack

ELEVATIONS MATERIAL LEGEND

-  **STONE SIDING**
-  **VERTICAL WOOD SIDING 4"**
-  **WOOD TIMBERS & TRIM**
-  **METAL PANEL SIDING - FLAT LOCK**
-  **HORIZONTAL WOOD SIDING 4"**
-  **METAL ACCENT & FACIA**
-  **STANDING SEAM METAL ROOFING**



ELEVATION WEST @ ENTRY **2**
SCALE: 1/4" = 1'-0"

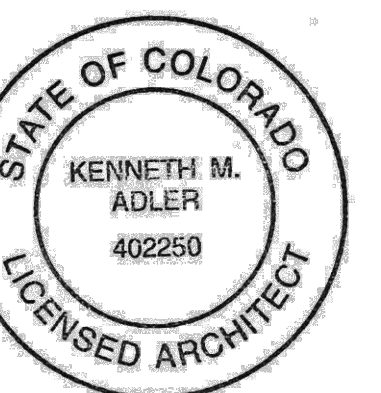


ELEVATION WEST **1**
SCALE: 1/4" = 1'-0"

237 RUSSELL DRIVE (LOT 533)

237 RUSSELL DRIVE
MOUNTAIN VILLAGE, CO 81435

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SHEET TITLE
ELEVATION

A302



Roofing / (Drip Edge) - Standing Seam 16" O.C.



Railing - Glass



Railing - Cable



Steel Accents - Raw Patina



Window / Door - Clad



Fascia - Rough Sawn Wood



Wood Siding - Barnwood 8"



Wood Siding - Ash 4"

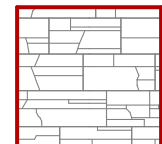

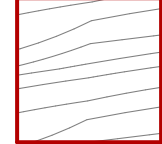
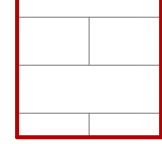

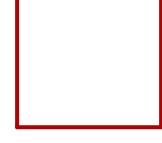
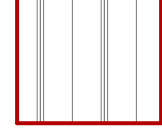


Metal Panel Siding - Flat Lock



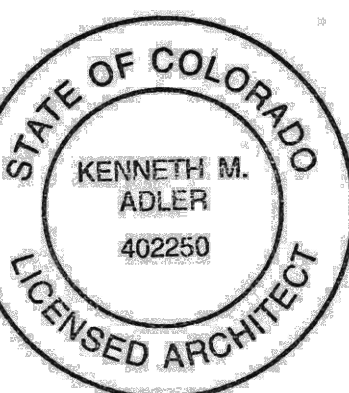
Masonry Veneer - CK Dove Gray Drystack

ELEVATIONS MATERIAL LEGEND

-  **STONE SIDING**
-  **VERTICAL WOOD SIDING 4"**
-  **WOOD TIMBERS & TRIM**
-  **METAL PANEL SIDING - FLAT LOCK**
-  **HORIZONTAL WOOD SIDING 4"**
-  **METAL ACCENT & FACIA**
-  **STANDING SEAM METAL ROOFING**



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SHEET TITLE
ELEVATION

A303



Roofing / (Drip Edge) - Standing Seam 16" O.C.



Railing - Glass



Railing - Cable



Steel Accents - Raw Patina



Window / Door - Clad



Fascia - Rough Sawn Wood



Wood Siding - Barnwood 8"



Wood Siding - Ash 4"

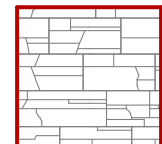

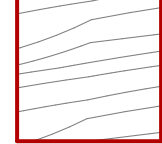
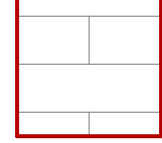

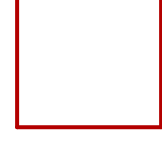
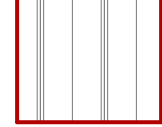


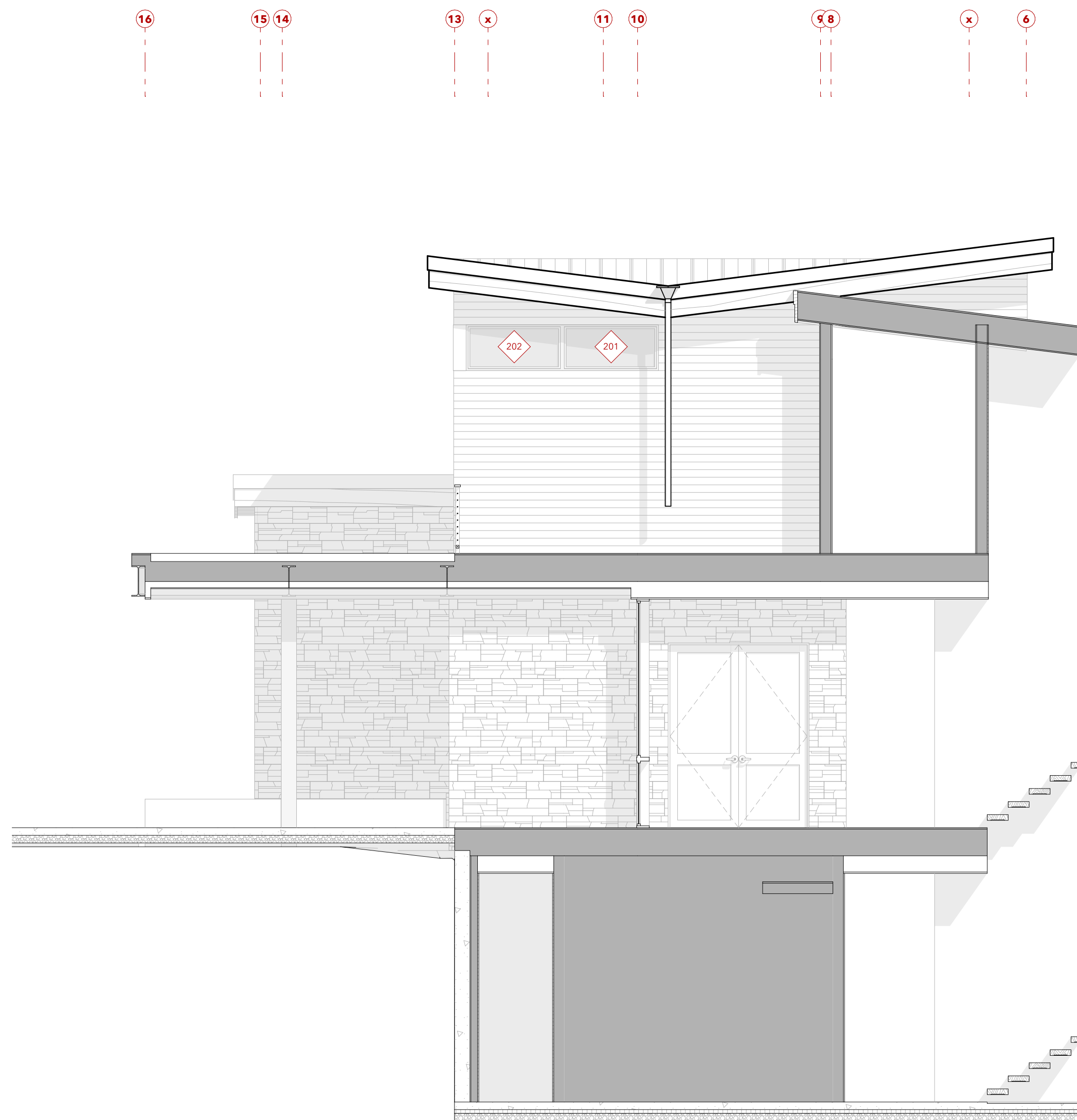
Metal Panel Siding - Flat Lock



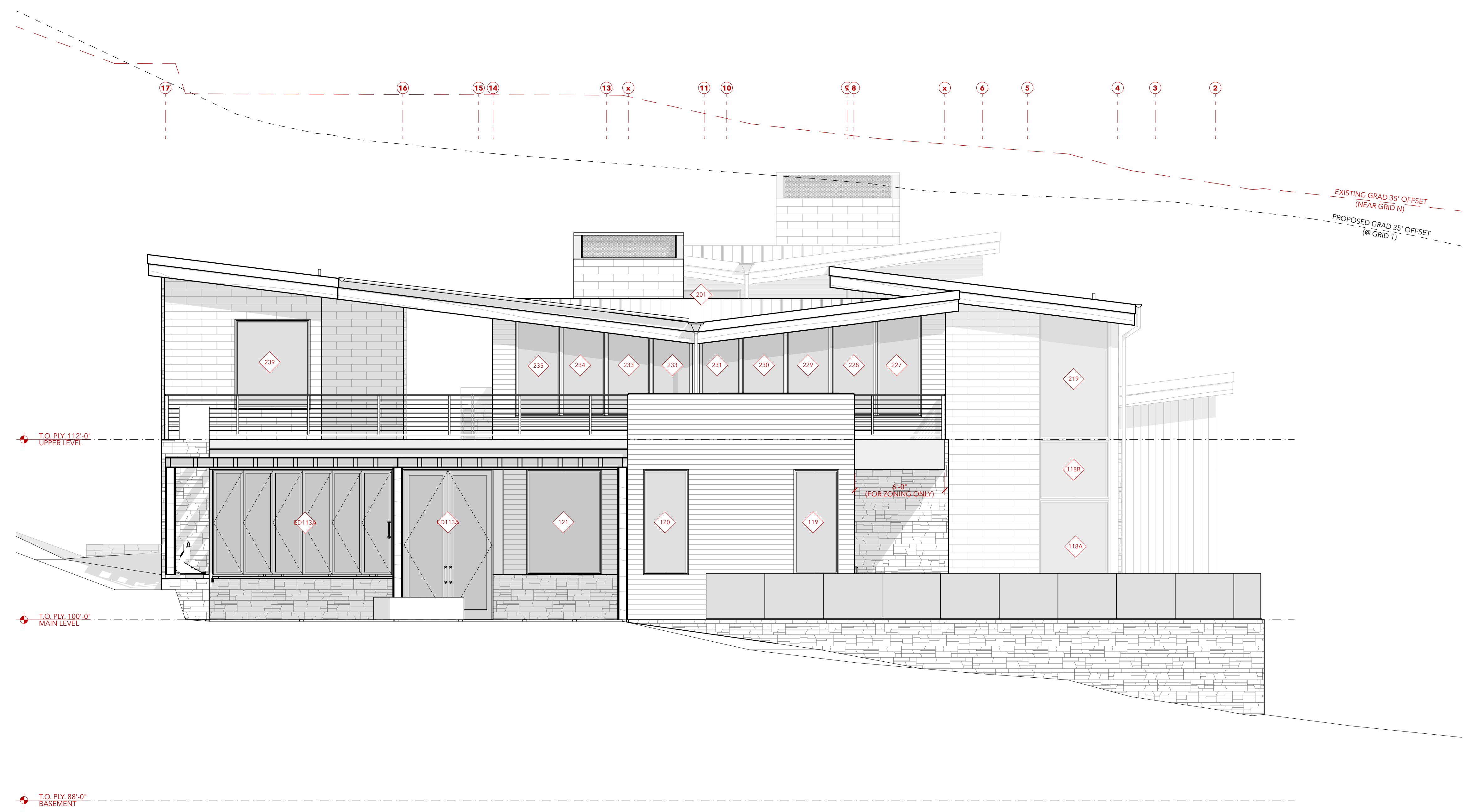
Masonry Veneer - CK Dove Gray Drystack

ELEVATIONS MATERIAL LEGEND

-  **STONE SIDING**
-  **VERTICAL WOOD SIDING 4"**
-  **WOOD TIMBERS & TRIM**
-  **METAL PANEL SIDING - FLAT LOCK**
-  **HORIZONTAL WOOD SIDING 4"**
-  **METAL ACCENT & FACIA**
-  **STANDING SEAM METAL ROOFING**

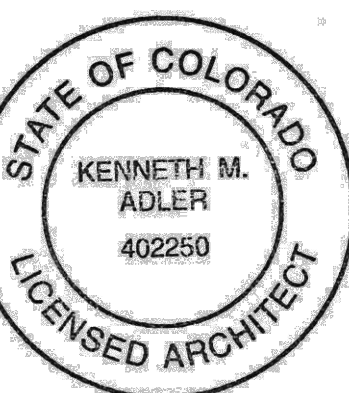


ELEVATION EAST @ ENTRY 1
SCALE: 1/4" = 1'-0"



ELEVATION EAST 2
SCALE: 1/4" = 1'-0"

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SHEET TITLE
ELEVATION

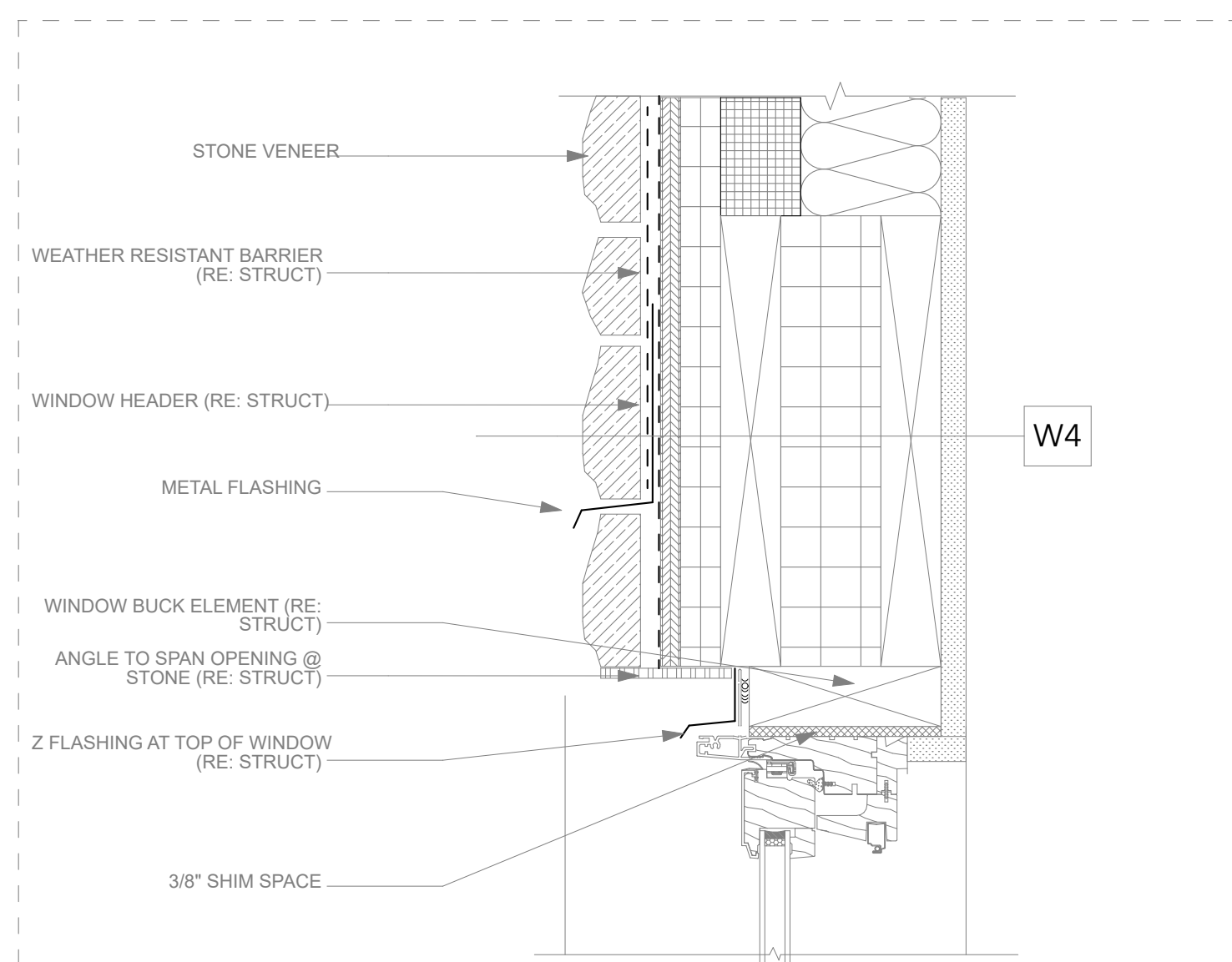
A304

WINDOW SCHEDULE

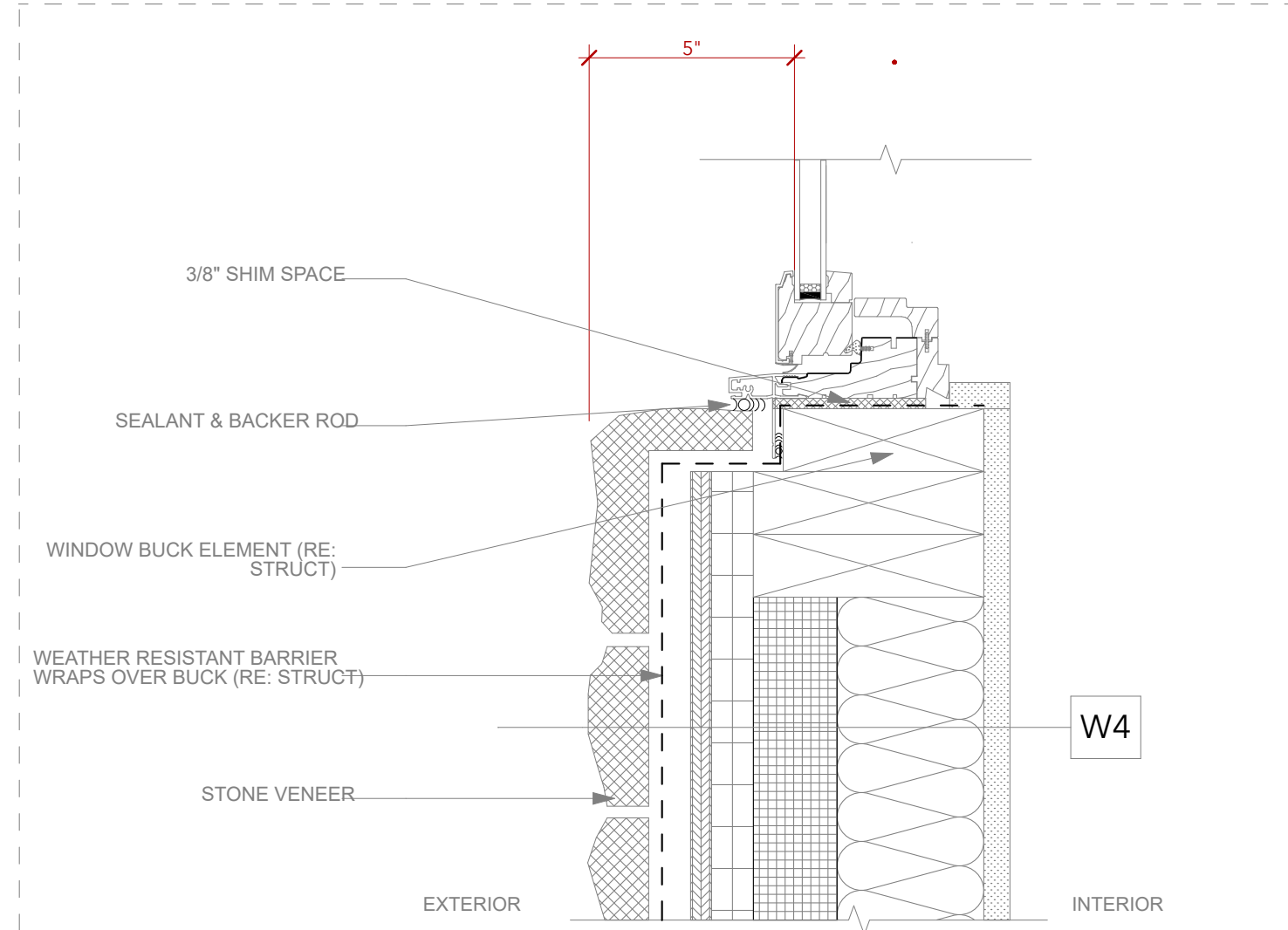
ID	ELEV	W x H	TYPE	NOTES	OPERATION					
001		6'-0" x 6'-0"			Casement	224		3'-0" x 8'-6"		Fixed
002		6'-0" x 6'-0"			Casement	225		3'-0" x 8'-6"		Fixed
003		6'-0" x 6'-0"			Casement	226		3'-0" x 8'-6"		Fixed
004		6'-0" x 6'-0"			Casement	227		3'-0" x 6'-10 ^{1/2"}		Fixed
101A		4'-6" x 3'-0"			Fixed	228		3'-0" x 6'-6"		Fixed
101B		4'-6" x 7'-0"			Fixed	229		3'-0" x 6'-11 ^{1/2"}		Fixed
102A		1'-11 ^{1/2"} x 7'-0"			Fixed	230		3'-0" x 5'-9"		Fixed
102A		3'-2 ^{1/2"} x 3'-0"			Fixed	231		2'-9" x 5'-4 ^{1/2"}		Fixed
102A		3'-2 ^{1/2"} x 3'-0"			Fixed	233		2'-9" x 5'-4 ^{1/2"}		Fixed
102A		4'-6" x 3'-0"			Fixed	233		3'-0" x 5'-9"		Fixed
102A		5'-0" x 2'-2 ^{3/16"}			Fixed	234		3'-0" x 6'-11 ^{1/2"}		Fixed
102A		5'-11 ^{1/2"} x 3'-0"			Fixed	235		3'-0" x 6'-6"		Fixed
102A		7'-0" x 3'-0"			Fixed	236		3'-0" x 6'-7 ^{1/2"}		Fixed
102B		4'-6" x 7'-0"			Fixed	237		3'-0" x 6'-7 ^{1/2"}		Fixed
103A		4'-8" x 3'-0"			Fixed	238		2'-6" x 6'-0"		Fixed
103B		4'-8" x 7'-0"			Fixed	239		5'-0" x 6'-0"		Fixed
104		5'-0" x 2'-0"			Fixed	240		4'-8" x 2'-0"		Fixed
105		6'-11 ^{1/2"} x 2'-0"			Fixed	241		3'-0" x 6'-6"		Fixed
106		2'-0" x 6'-0"			Fixed	241		4'-8" x 2'-0"		Fixed
107		5'-0" x 8'-0"			Fixed	242		2'-0" x 7'-0"		Fixed
108A		5'-0" x 7'-0"			Casement	245		8'-0" x 2'-4 ^{1/2"}		Fixed
110A		3'-2 ^{1/2"} x 7'-0"			Fixed					
111A		7'-0" x 7'-0"			Fixed					
112A		3'-2 ^{1/2"} x 7'-0"			Fixed					
113		3'-0" x 7'-0"			Fixed					
114A		3'-0" x 7'-0"			Fixed					
114B		3'-0" x 7'-0"			Fixed					
114C		3'-0" x 7'-0"			Fixed					
115A		4'-8 ^{1/2"} x 12'-0"			Fixed					
115B		4'-8 ^{1/2"} x 8'-0"			Fixed					
116A		5'-6" x 8'-0"			Fixed					
116B		5'-6" x 4'-0"			Fixed					
116C		5'-6" x 8'-0"			Fixed					
117A		4'-8 ^{1/2"} x 4'-0"			Fixed					
117B		4'-8 ^{1/2"} x 12'-0"			Fixed					
117C		4'-8 ^{1/2"} x 4'-0"			Fixed					
118A		4'-8 ^{1/2"} x 8'-0"			Fixed					
118B		4'-8 ^{1/2"} x 4'-0"			Fixed					
119		3'-0" x 7'-0"			Fixed					
120		3'-0" x 7'-0"			Fixed					
121		5'-0" x 7'-0"			Fixed					
123		6'-0" x 7'-0"			Fixed					
124		2'-0" x 7'-0"			Fixed					
125A		5'-6" x 3'-0"			Fixed					
125B		5'-6" x 7'-0"			Fixed					
201		4'-2 ^{1/2"} x 2'-0"			Fixed					
202		4'-2 ^{1/2"} x 2'-0"			Fixed					
203		5'-2" x 2'-0"			Fixed					
204		2'-3 ^{1/2"} x 2'-0"			Fixed					
205		4'-8" x 2'-0"			Fixed					
206		4'-2" x 2'-0"			Fixed					
207		4'-2" x 2'-0"			Fixed					
208		5'-6" x 2'-0"			Fixed					
209		2'-0" x 5'-0"			Fixed					
210		3'-0" x 5'-0"			Fixed					
211		6'-0" x 5'-0"			Fixed					
212		3'-0" x 5'-0"			Fixed					
213		6'-0" x 5'-0"			Fixed					
214		4'-0" x 2'-4 ^{1/2"}			Fixed					
216		4'-0" x 2'-4 ^{1/2"}			Fixed					
217		4'-8 ^{1/2"} x 7'-11 ^{1"}			Fixed					
218		4'-8 ^{1/2"} x 7'-11 ^{1"}			Fixed					
219		4'-8 ^{1/2"} x 8'-6 ^{5/16"}			Fixed					
220		3'-0" x 8'-6"			Fixed					
221		3'-0" x 8'-6"			Fixed					
222		3'-0" x 8'-6"			Fixed					
223		3'-0" x 8'-6"			Fixed					

DOOR SCHEDULE

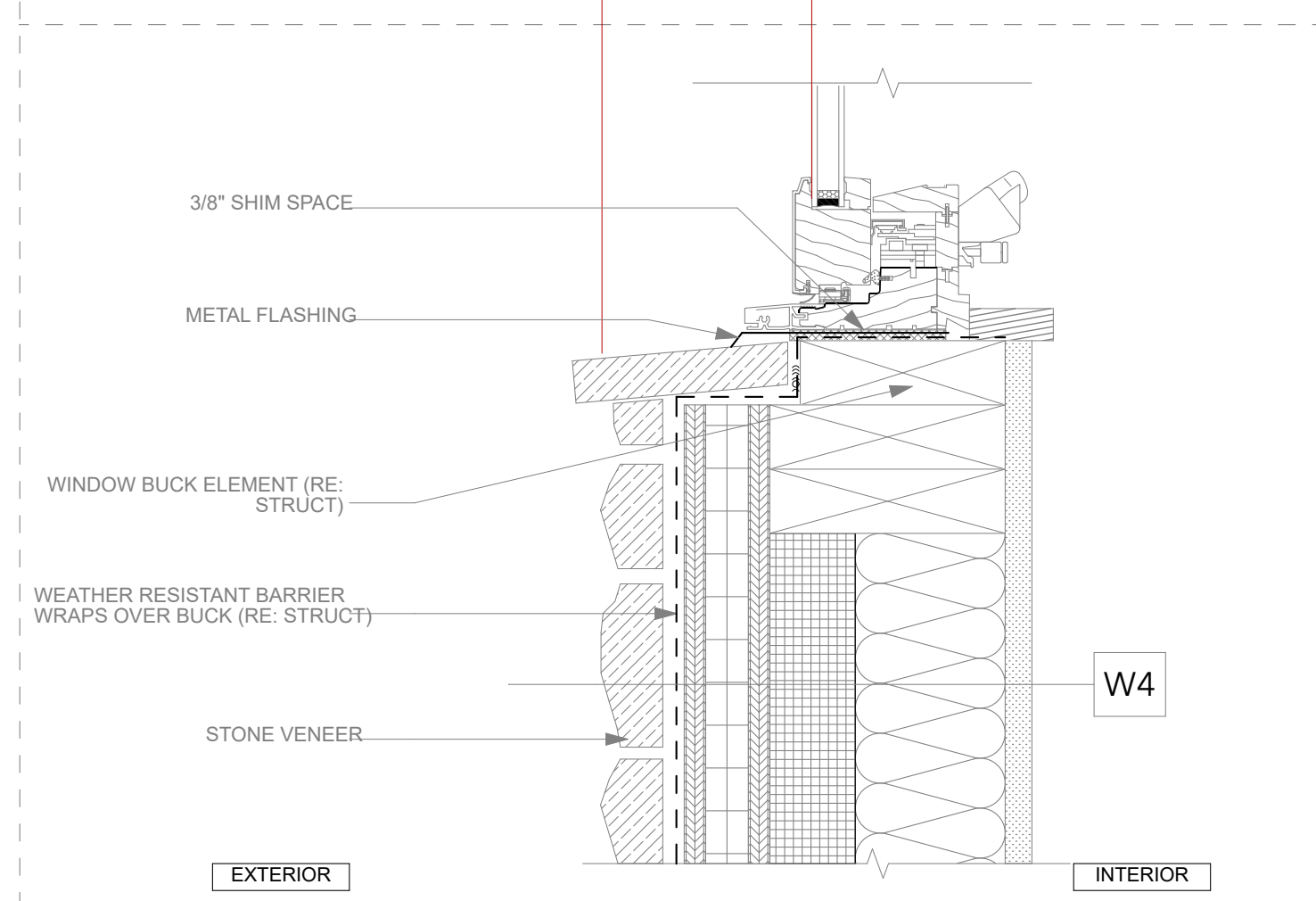
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ED106 A		9'-0" x 9'-0"		
ED106 B		16'-0" x 9'-0"		
ED113 A		12'-0" x 7'-0"		
ED113 A		3'-0" x 9'-0"		
ED113 A		5'-11 ^{1/2"} x 10'-0"		
ED113 A		6'-0" x 10'-0"		
ED114		15'-0" x 10'-0"		
ED114		21'-0" x 10'-0"		
ED114		5'-9 ^{1/4"} x 10'-0"		
ED114		9'-0" x 8'-0"		
ED114 A		3'-0" x 8'-0"		
ED114 A		3'-0" x 8'-0"		
ED114 A		3'-0" x 9'-0"		
ED114 A		3'-0" x 9'-0"		
ED114 A		3'-0" x 9'-0"		
ED115		10'-0" x 9'-0"		
ED115		12'-0" x 10'-0"		
ED115		16'-0" x 9'-0"		
ED115 A		3'-0" x 9'-0"		
ED115 A		3'-0" x 9'-0"		
ID103		2'-4" x 8'-0"		
ID103		2'-4" x 8'-0"		
ID103		2'-4" x 8'-0"		
ID103		2'-4" x 8'-0"		
ID103		2'-4" x 8'-0"		
ID103		2'-4" x 8'-0"		
ID103		3'-6" x 8'-0"		
ID103		3'-6" x 9'-0"		
ID104		3'-0" x 9'-0"		
ID104		4'-0" x 8'-0"		
ID104		5'-0" x 9'-0"		
ID104		5'-0" x 9'-0"		
ID106		2'-0" x 8'-0"		
ID106		2'-10" x 8'-0"		
ID106		2'-10" x 8'-0"		
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ID106		3'-6" x 8'-0"		
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ID106		5'-8" x 8'-0"		
ID107		2'-4" x 8'-0"		
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ID107		2'-4" x 8'-0"		
ID107		2'-6" x 8'-0"		
ID107		2'-6" x 8'-0"		
ID107		3'-0" x 8'-0"		
ID107		6'-0" x 8'-0"		
ID108		2'-0" x 8'-0"		
ID111		2'-6" x 8'-0"		
ID111		3'-5 ^{1/4"} x 8'-0"		
ID111		3'-5 ^{1/4"} x 8'-0"		
ID111		3'-5 ^{1/4"} x 8'-0"		
ID111		4'-0" x 8'-0"		
ID111		4'-11 ^{3/4"} x 8'-0"		
ID205F		2'-2" x 7'-6"		
ID205F		2'-2" x 7'-6"		
ID205F		2'-2" x 7'-6"		
ID205F		2'-2" x 7'-6"		
ID205F		2'-2" x 7'-6"		
ID205F		4'-6" x 7'-6"		
ID205F		6'-0" x 9'-6 ^{5/8"}		



WINDOW HEAD @ STONE VENEER
SCALE: 3" = 1'-0" **9**



WINDOW JAMB @ STONE VENEER
SCALE: 3" = 1'-0" **8**



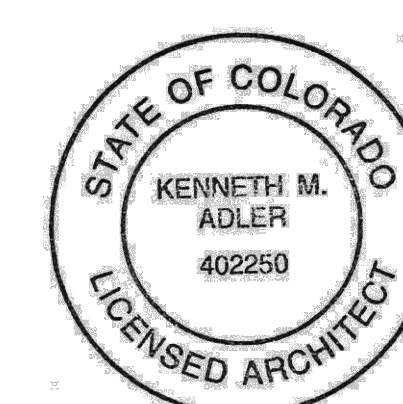
WINDOW SILL @ STONE VENEER
SCALE: 3" = 1'-0" **7**



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237 RUSSELL DRIVE (LOT 533)
237 RUSSELL DRIVE
MOUNTAIN VILLAGE, CO 81435

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SHEET TITLE
WINDOW SCHEDULE

A701

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFFS MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

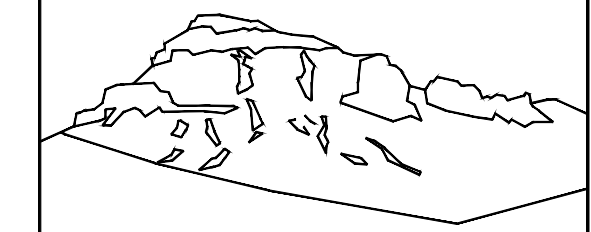
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



**Uncompahgre
Engineering, LLC**

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL 2022-02-04

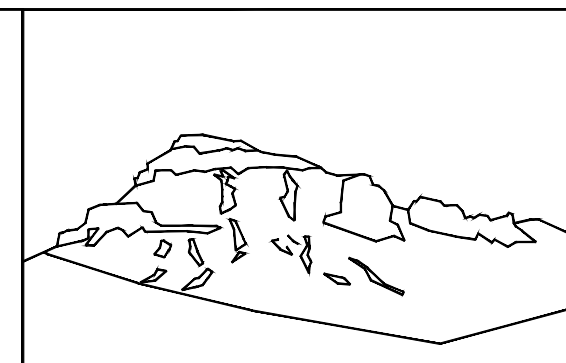
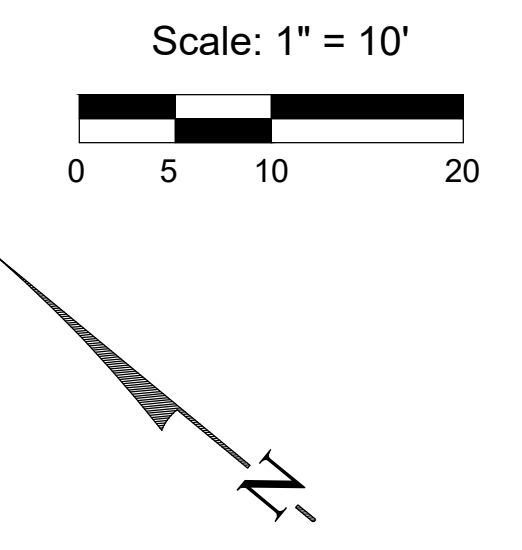
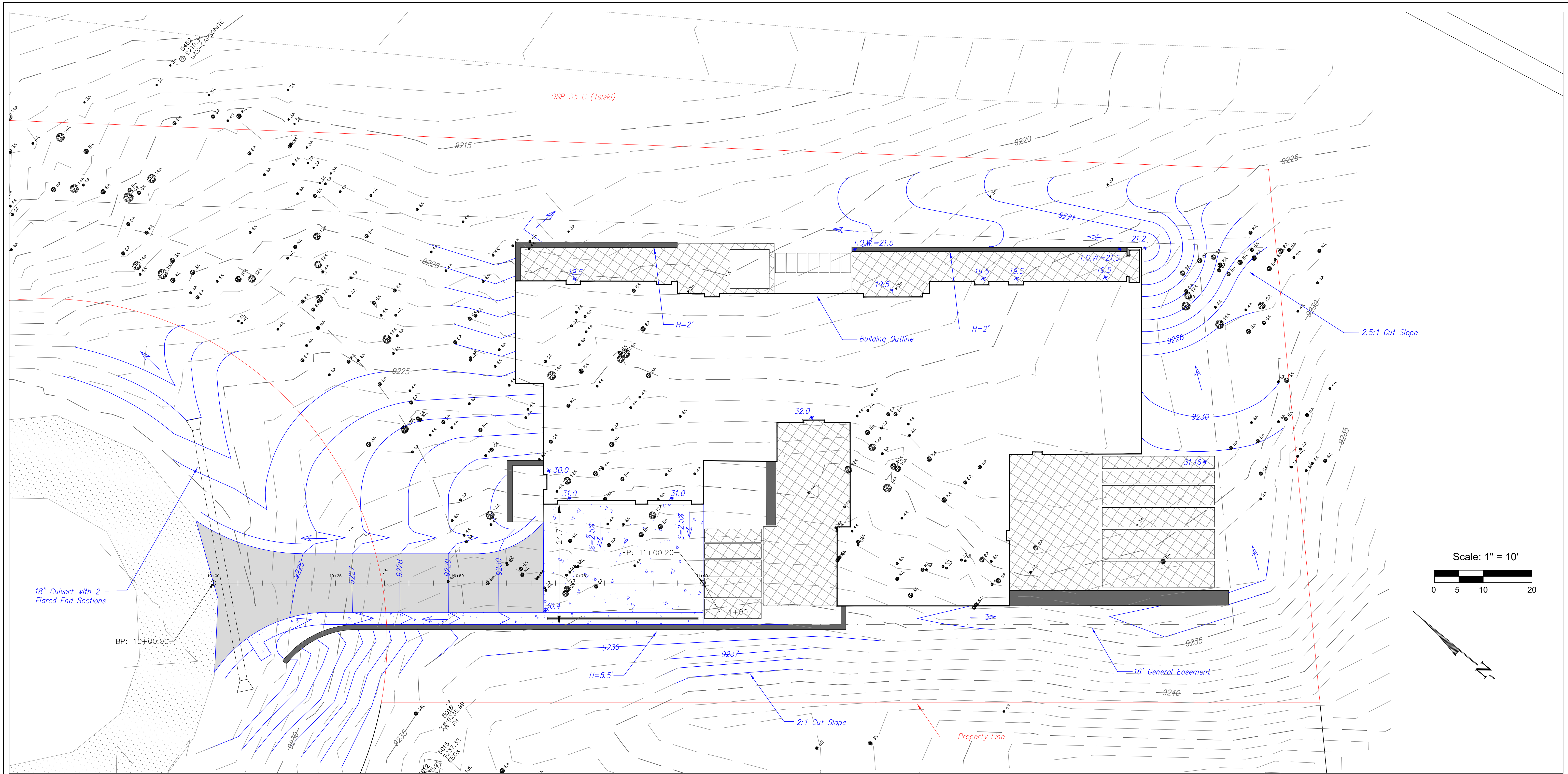
Lot 533
237 Russell Drive
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHANGES AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1

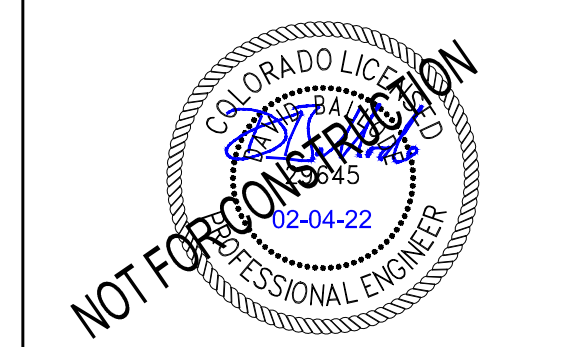


**Uncompahgre
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Lot 533
237 Russell Drive
Mtn. Village, CO

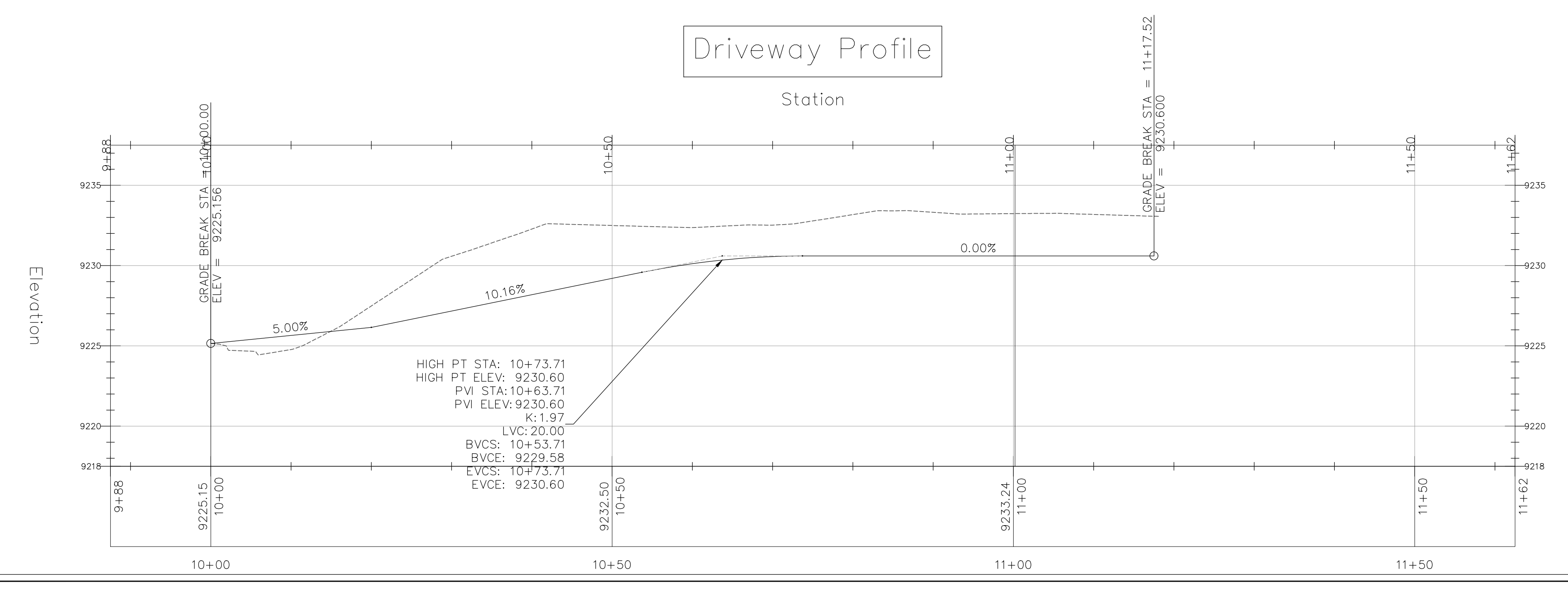
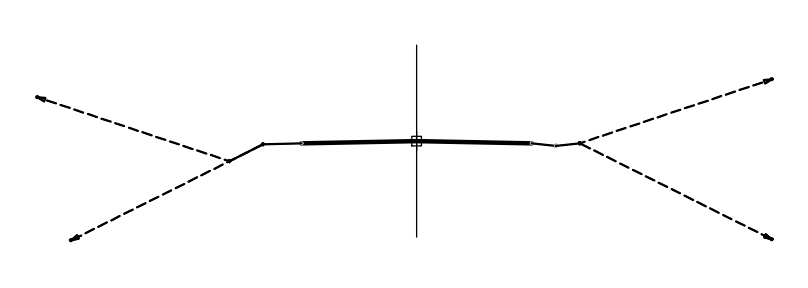


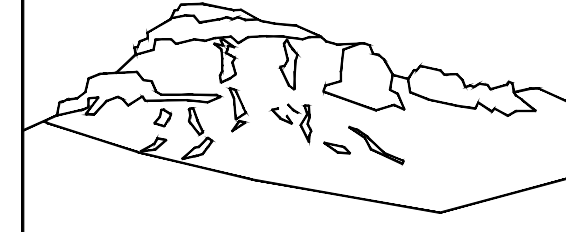
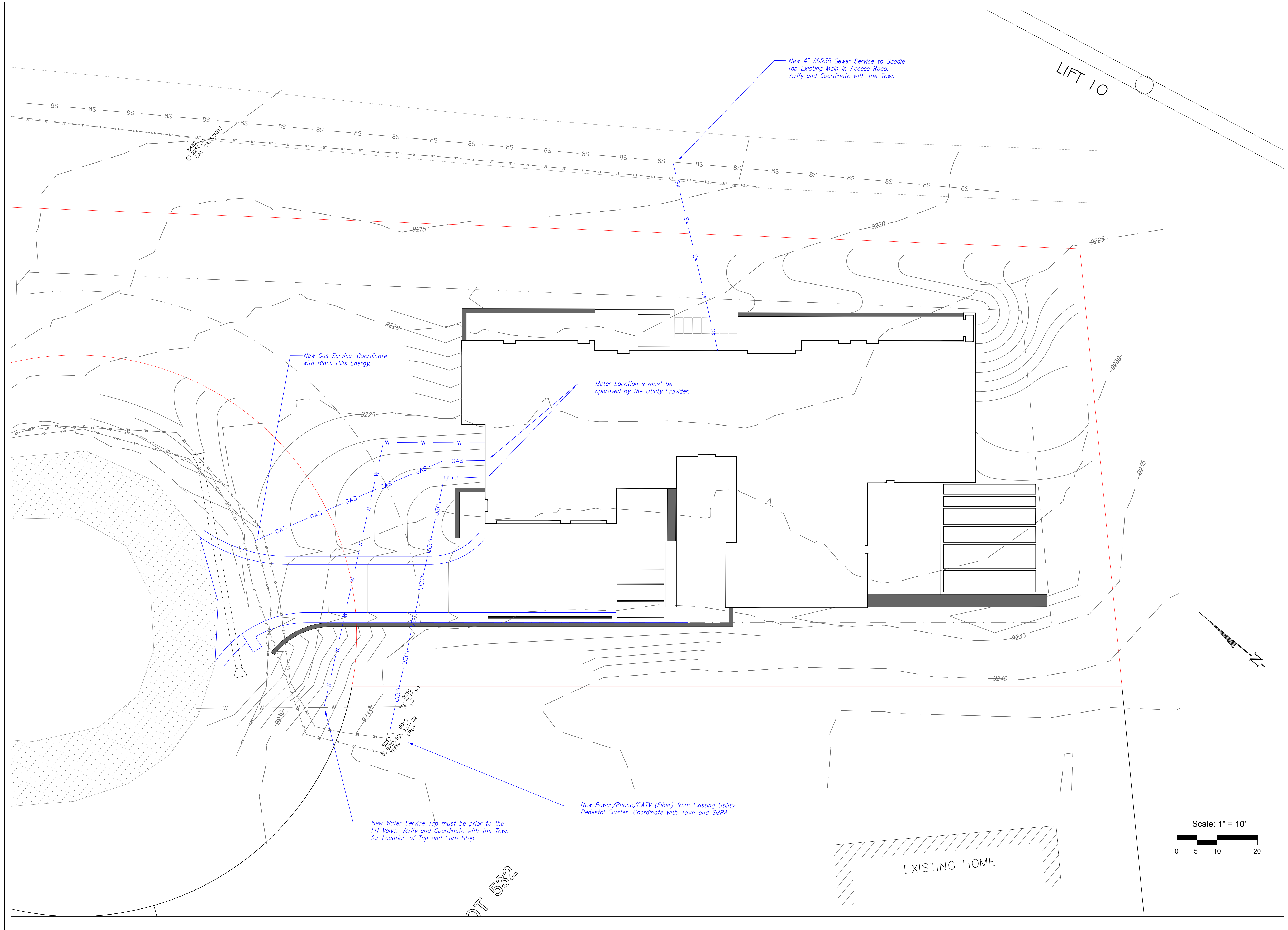
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CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading
with
Driveway
Profile

C2

Driveway Profile



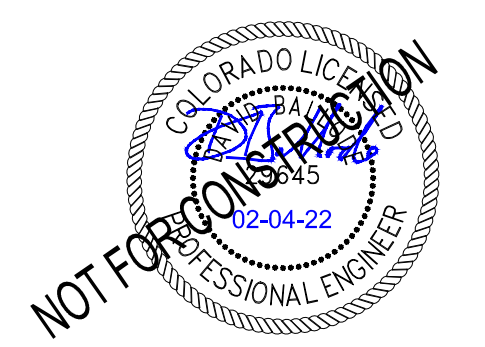


Uncompahgre Engineering, LLC

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Telluride, CO 81435
970-729-0683

SUBMISSIONS:
DRB SUBMITTAL 2022-02-04

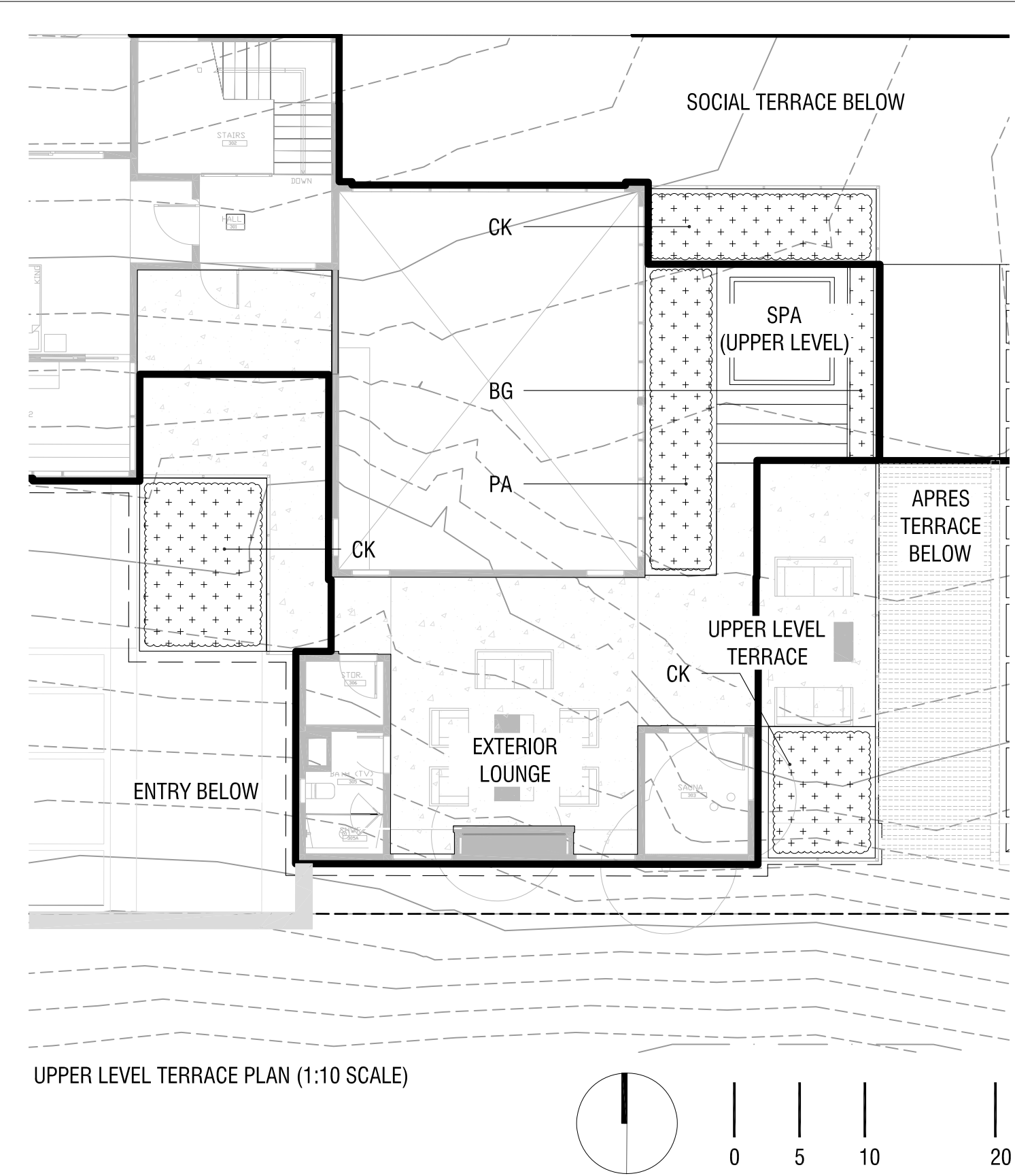
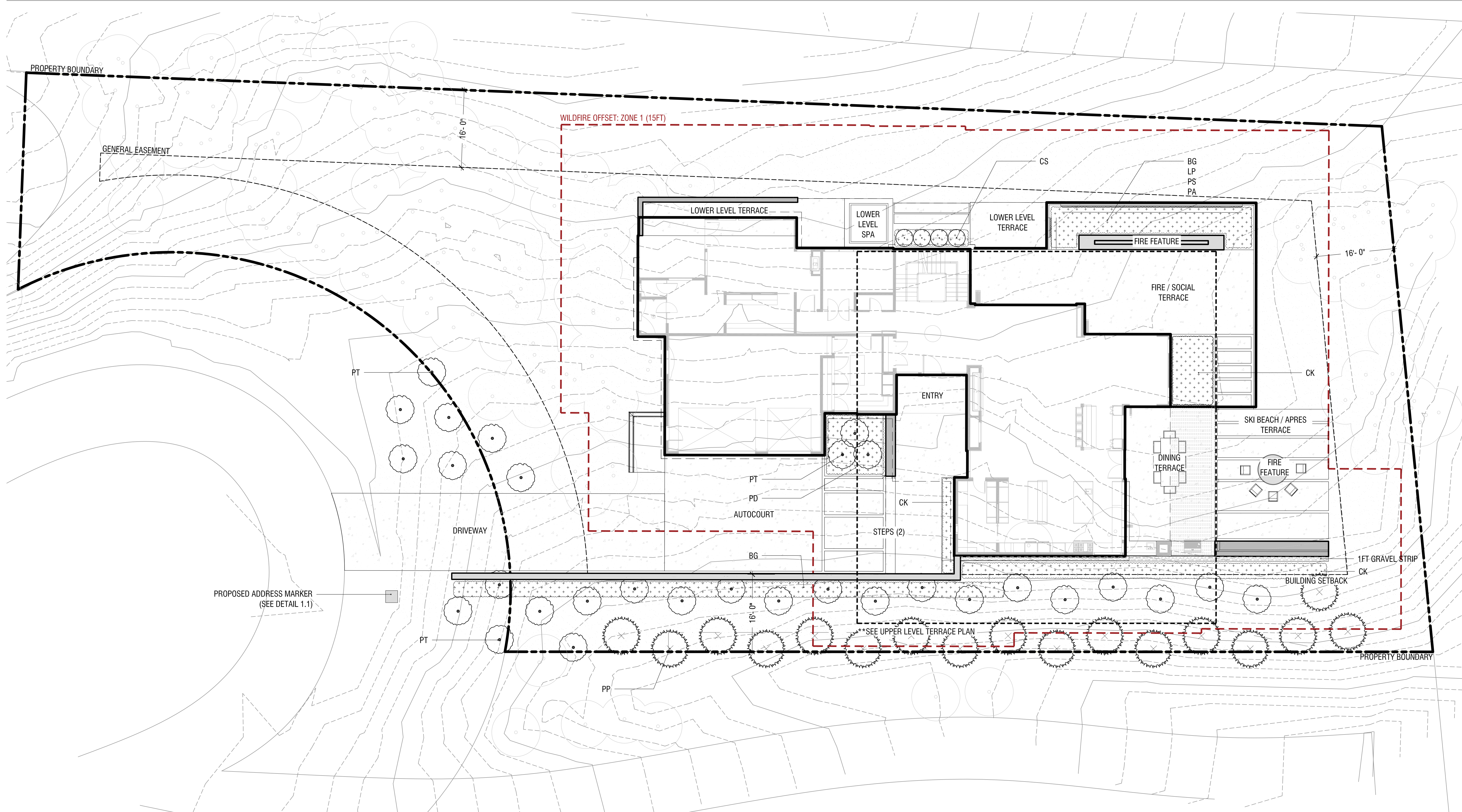
Lot 533
237 Russell Drive
Mtn. Village, CO



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Utilities

C3



SITE PLAN (1:10 SCALE)

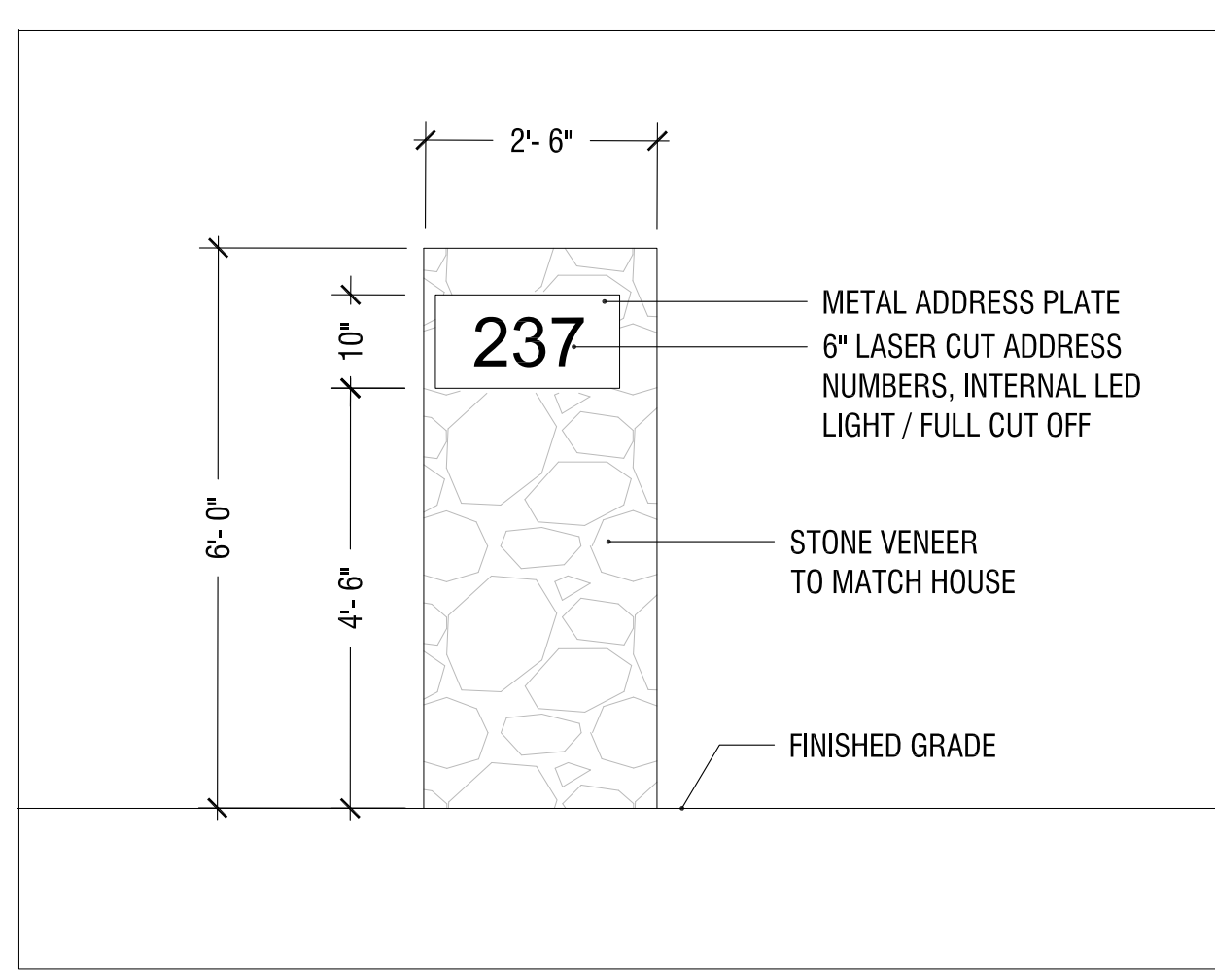
PLANT LIST

TREES - DECIDUOUS						
SYMBOL	ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING
	PT	POPULUS TREMULOIDES	QUAKING ASPEN	TBD	2.5" CAL. MIN.	PER PLAN
TREES - EVERGREEN						
SYMBOL	ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING
	PP	PICEA PUNGENS	COLORADO SPRUCE	TBD	8-10' HT.	PER PLAN
SHRUBS & ORNAMENTAL GRASSES						
SYMBOL	ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING
	CS	CORNUS STOLONIFERA	RED-TWIG DOGWOOD	TBD	#5	PER PLAN
	RT	RHUS TRILOBATA	THREE-LEAF SUMAC	TBD	#5	PER PLAN
	BG	BOUTELOUA GRACILIS	BLUE GRAMMA GRASS	TBD	#5	PER PLAN
	PD	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPS EED	TBD	#3	PER PLAN
	CK	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	TBD	#3	PER PLAN
PERENNIALS & GROUNDCOVERS						
SYMBOL	ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING
	PA	PEROVSKIA ATRIPLOCFOLIA	RUSSIAN SAGE	TBD	#1	PER PLAN
	NF	NEPETA X FAASSENI 'WALKERS LOW'	WALKERS LOW CATMINT	TBD	#1	PER PLAN
	LP	LIATRIS PUNCTATA	DOTTED GAYFEATHER	TBD	#1	PER PLAN
	EP	ECHINACEA PURPUREA	PURPLE CONEFLOWER	TBD	#1	PER PLAN
	AL	ASTER LAEVIS	SMOOTH ASTER	TBD	#1	PER PLAN
	PS	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	TBD	#1	PER PLAN

SEEDING

NATIVE GRASS SEED MIX (GERNERAL REVEGETATION)
TOTAL AREA: TBD

COMMON NAME	PERCENT OF MIX
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREEPING RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%



REVISIONS	DATE
PRELIMINARY REVIEW	02.04.2022

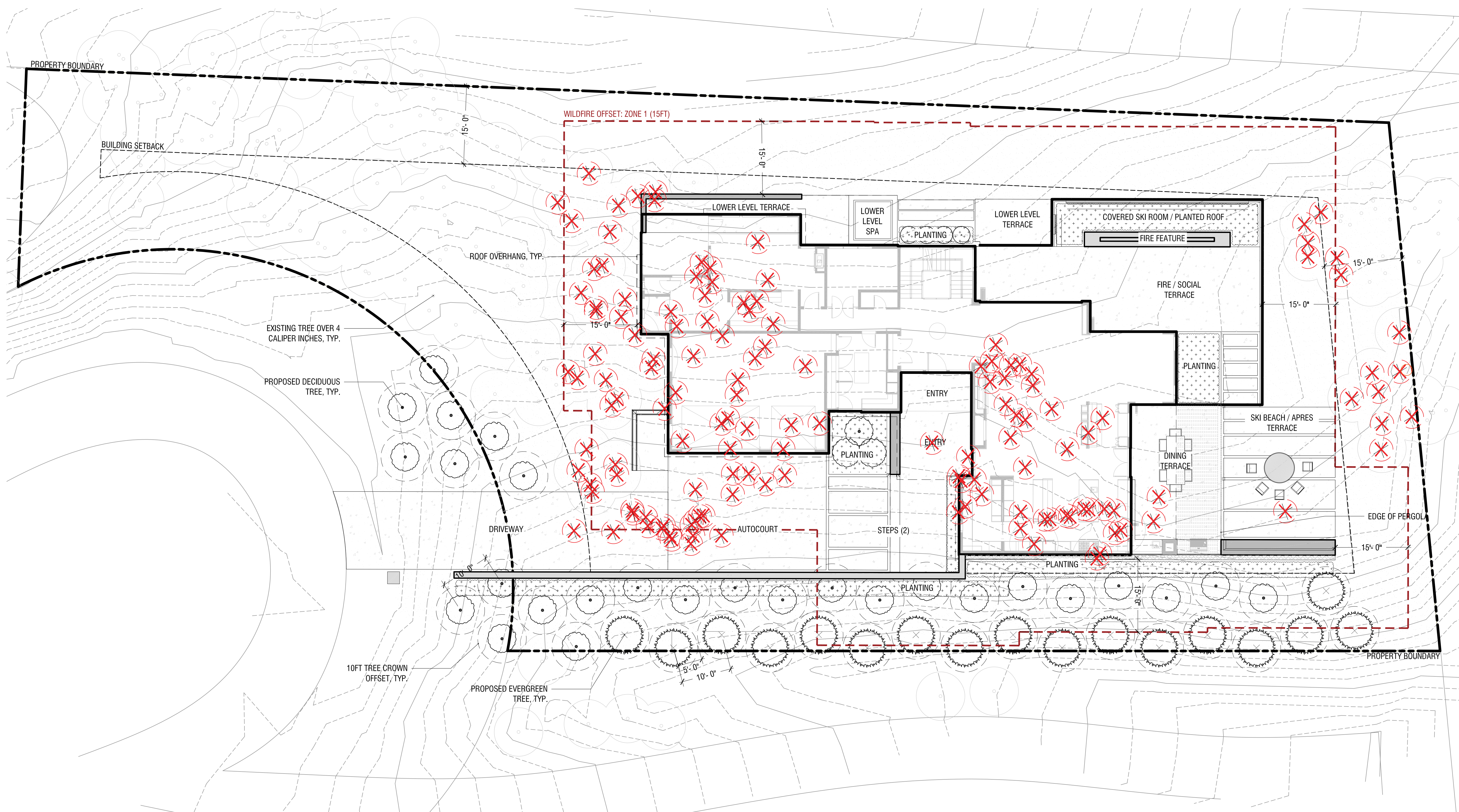
ISSUE DATE

SHEET TITLE

PLANTING PLAN

SHEET INFORMATION

L 1-00
NOT FOR CONSTRUCTION



SITE PLAN (1:10 SCALE)

WILDFIRE MITIGATION LEGEND

SYMBOL	TYPE
	10FT TREE CROWN OFFSET
	PROPOSED DECIDUOUS TREE
	PROPOSED EVERGREEN TREE
	PROPOSED HERBACEOUS PLANTING
	PROPOSED REVEGETATION SEED MIX

TREE MITIGATION LEGEND

SYMBOL	TYPE	QUANTITY	CALIPER INCHES	SPECIES
	TREES TO BE REMOVED	86 TREES	4"	QUAKING ASPEN
		1 TREES	5"	QUAKING ASPEN
		32 TREES	6"	QUAKING ASPEN
		16 TREES	8"	QUAKING ASPEN
		4 TREES	10"	QUAKING ASPEN
		TOTAL CALIPER INCHES: 709"		



PROJECT TITLE

237 RUSSELL DRIVE
237 RUSSELL DRIVE
MOUNTAIN VILLAGE, CO 81435

PREPARED FOR

RED HILL MANAGEMENT LLC

REVISIONS DATE

REVISIONS	DATE
PRELIMINARY REVIEW	02.04.2022

ISSUE DATE

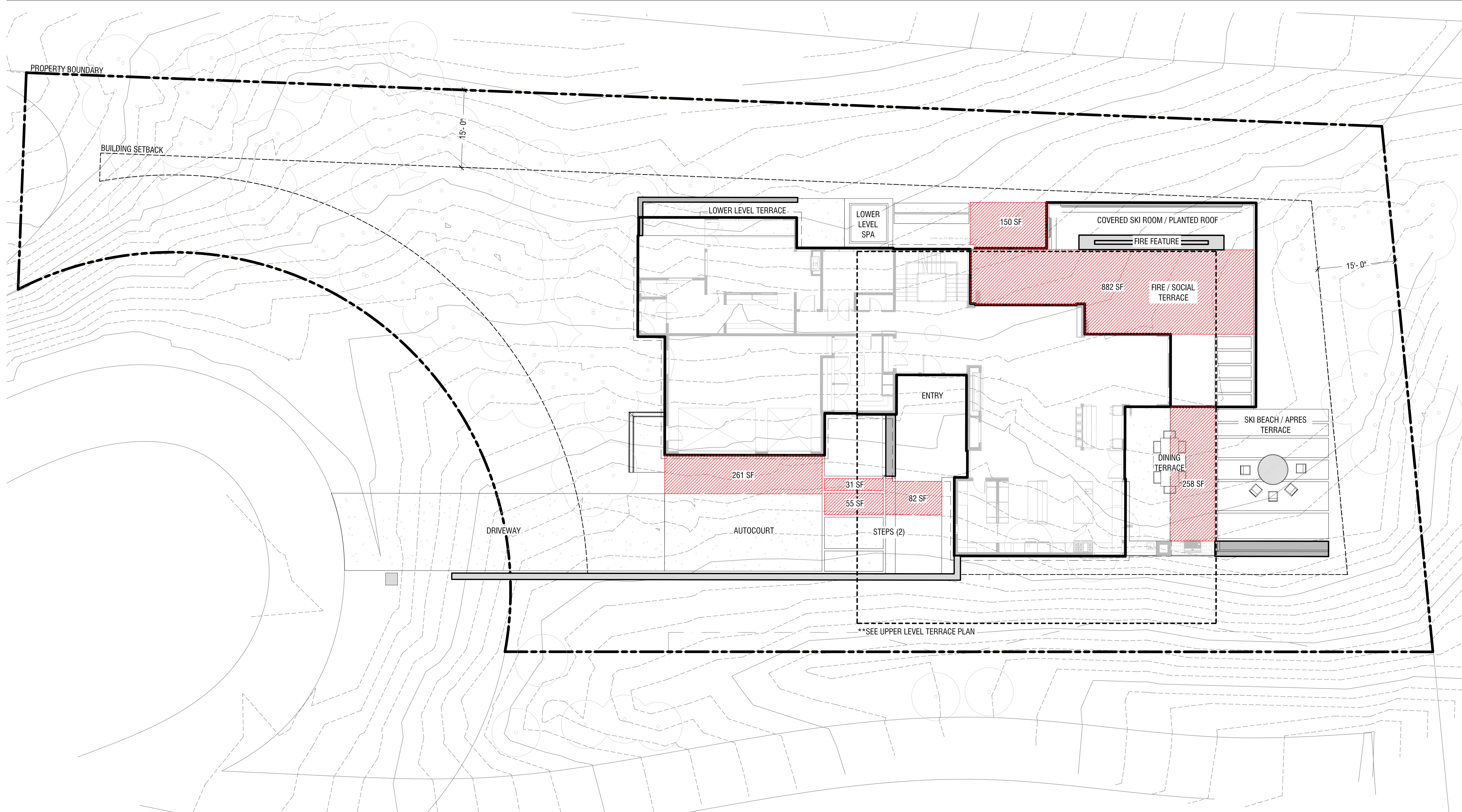
SHEET TITLE

WILDFIRE AND TREE MITIGATION PLAN

SHEET INFORMATION

L 1-01
NOT FOR CONSTRUCTION

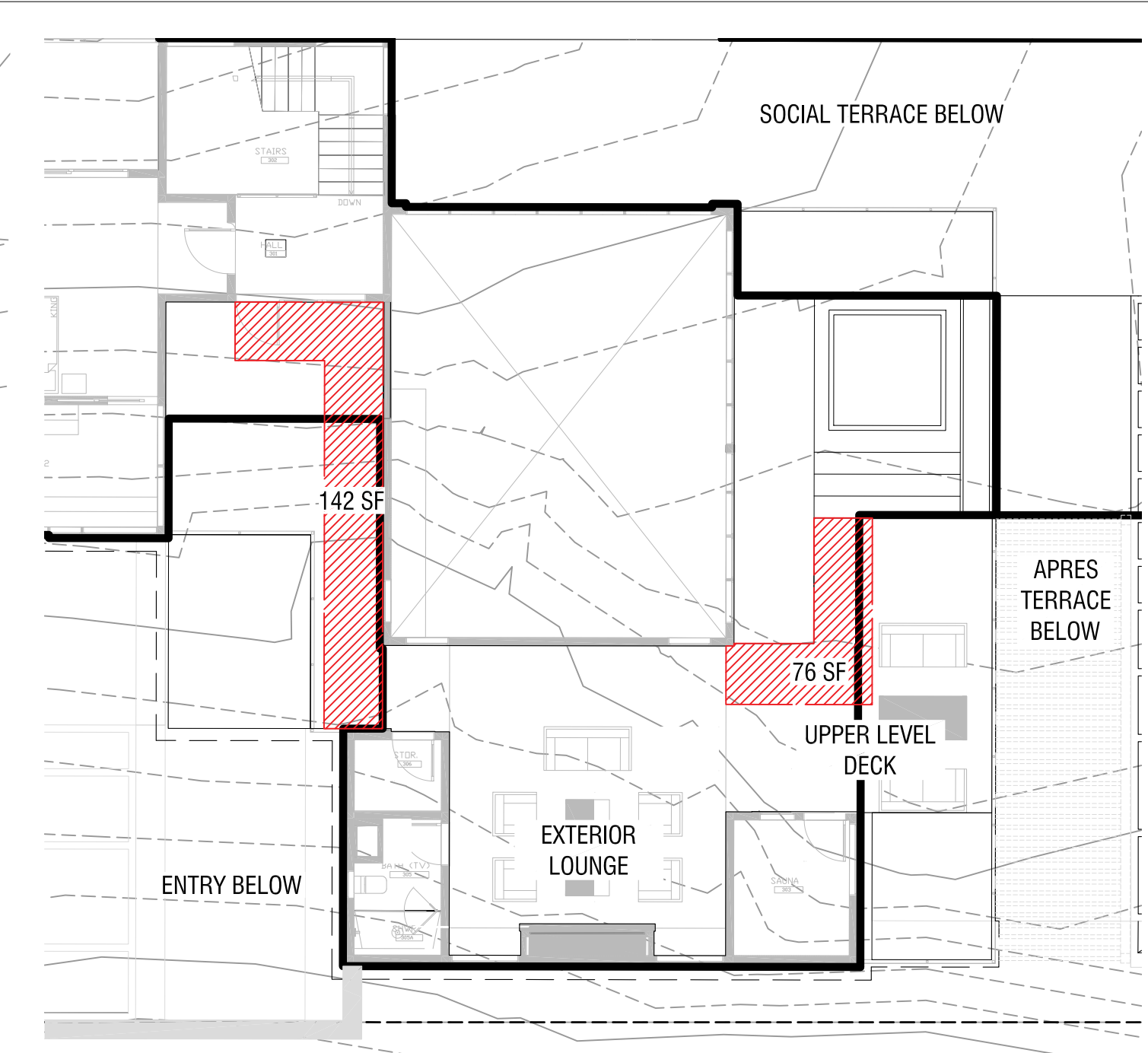
- NOTES:**
- ZONE 1: IS THE AREA THAT CONSISTS OF FIFTEEN FT (15FT) AROUND THE BUILDING AS MEASURED FROM THE OUTSIDE EDGE OF THE BUILDING'S DRIPLINE, INCLUDING DECKS, PLANTERS OR PATIOS ATTACHED TO THE BUILDING
 - ZONE 2: DOMINANT AND CODOMINANT LIVE TREES WITH A DBH OF FOUR INCHES (4") OR GREATER SHALL BE SPACED WITH A TEN FOOT (10') CROWN-TO-CROWN SEPARATION. ALL LADDER FUELS AND SLASH SHALL BE REMOVED FROM THE TEN FOOT (10') CROWN-TO-CROWN SEPARATION AREA.
 - SITE EXTENTS NOT IN ZONE 1 WILL ABIDE BY ALL ZONE 2 FIRE MITIGATION ZONE REGULATIONS.
 - CROWN: THE PORTION OF TREE COMPRISING THE BRANCHES. (DEFINED BY AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA) AMERICAN STANDARD FOR NURSERY STOCK)
 - PROTECT EXISTING TREES WITH PROTECTION FENCING TO THE GREATEST EXTENT POSSIBLE



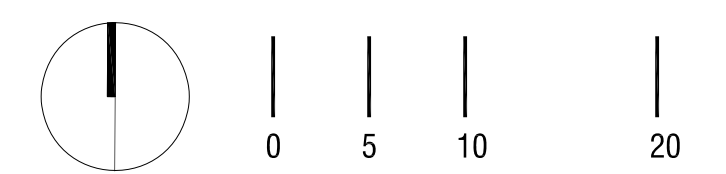
SITE PLAN (1:10 SCALE)

SNOWMELT LEGEND

SYMBOL	TYPE	AREA (SF)
	MAIN LEVEL (ENTRY)	429 SF
	MAIN LEVEL (TERRACES)	1140 SF
	LOWER LEVEL	150 SF
	UPPER LEVEL	218 SF
	TOTAL SNOWMELT AREA (SF):	1937 SF



UPPER LEVEL TERRACE PLAN (1:10 SCALE)



PROJECT TITLE

237 RUSSELL DRIVE
237 RUSSELL DRIVE
MOUNTAIN VILLAGE, CO 81435

PREPARED FOR

RED HILL MANAGEMENT LLC

REVISIONS DATE

REVISIONS	DATE
PRELIMINARY REVIEW	02.04.2022

ISSUE DATE

SHEET TITLE

SNOWMELT PLAN

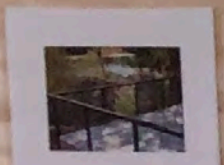
SHEET INFORMATION

L1-02
NOT FOR CONSTRUCTION

237 RUSSEL DRIVE
(LOT 533)



Window/Door: Clad



Railing: Cable



Ballast Roof, Mexican Beach Pebbles



Masonry Veneer: Mont Blanc



Metal Siding: Bonderized



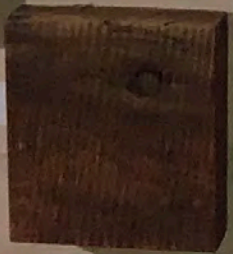
Metal Roofing: Gray Standing Seam



Wood Siding - Barnwood 8"



Steel Beams & Accents



Wood Siding: Ash

Facia: Rough Sawn Wood



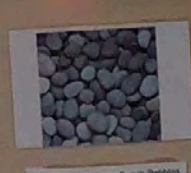
Roofing: Standing Seam 18"



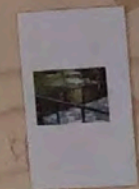
Steel Accents: Raw Plate



Facia: Rough Sawn Wood



Ballast Roof, Mexican Beach Pebbles



Railing: Cable



Masonry Veneer: Mont Blanc



Metal Panel Siding: Flat Lock



Wood Siding: Ash 4"



Window/Door: Clad



237 RUSSELL DRIVE (LOT 533)
EXTERIOR MATERIALS CHARACTER

237 RUSSELL DRIVE
MOUNTAIN VILLAGE, CO, 81435
2/8/22

John A. Miller

From: Finn KJome
Sent: Wednesday, May 25, 2022 11:17 AM
To: John A. Miller
Subject: RE: Referral - Design Review Lot 533 TBD Russell Dr

Hi John,
Public Works has no issues with this application. Make sure they give you the irrigation plan and water calculations.
Finn

From: John A. Miller <JohnMiller@mtnvillage.org>
Sent: Friday, May 20, 2022 3:05 PM
To: Finn KJome <FKJome@mtnvillage.org>; Jim Loebe <JLoebe@mtnvillage.org>; Chris Broady <CBroady@mtnvillage.org>; brien.gardner@blackhillscorp.com; kirby.bryant@centurylink.com; sheidergott@telluridefire.com; benjamin.wiles@smpa.com; Jim Soukup <JSoukup@mtnvillage.org>
Cc: JD Wise <JWise@mtnvillage.org>
Subject: Referral - Design Review Lot 533 TBD Russell Dr

Good Afternoon All –
Please find the following referral for a new single-family home on Russell Drive.

https://townofmountainvillage.com/site/assets/files/37644/initial_architecture_and_site_review_lot_533-tbd_russell_dr.pdf

Please provide comments by responding to this email and don't hesitate to let me know if there are any questions or concerns.

Sorry for the 3 consecutive emails....

Best,
J

John A Miller III
Planning & Development Services
Town of Mountain Village
455 Mountain Village Blvd, Suite A
Mountain Village, CO 81435
O :: 970.369.8203
C :: 970.417.1789



John A. Miller

From: Scott Heidergott <sheidergott@telluridefire.com>
Sent: Monday, May 23, 2022 12:27 PM
To: John A. Miller
Subject: Re: Referral - Design Review Lot 533 TBD Russell Dr

John,

TFPD approves the proposal with the following conditions:

- 1) The structure is over 3,600 sq ft and shall require a monitored sprinkler system.
- 2) The width of the driveway shall meet the code of 16-feet total width. 12-feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.
- 3) The address monument shall be a minimum of 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated, or outlined with a reflective coating.
- 4) TFPD recommends the installation of a Knox Box for emergency entry into the structure.

On Fri, May 20, 2022 at 3:05 PM John A. Miller <JohnMiller@mtnvillage.org> wrote:

Good Afternoon All –

Please find the following referral for a new single-family home on Russell Drive.

https://townofmountainvillage.com/site/assets/files/37644/initial_architecture_and_site_review_lot_533-tbd_russell_dr.pdf

Please provide comments by responding to this email and don't hesitate to let me know if there are any questions or concerns.

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John A Miller III