

**TOWN OF MOUNTAIN VILLAGE  
REGULAR DESIGN REVIEW BOARD MEETING AGENDA  
THURSDAY NOVEMBER 3<sup>RD</sup>, 2022 10:00 AM  
MOUNTAIN VILLAGE TOWN HALL  
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO  
TO BE HELD HYBRID THROUGH ZOOM:**

<https://us06web.zoom.us/j/81550990570?pwd=bndnVFM1d1FrBmxYUTFsbWp4Z0lyZz09>

Zoom participation in public meetings is being offered as a courtesy, however technical difficulties can happen, and the Town bears no responsibility for issues that could prevent individuals from participating remotely. Physical presence in Council chambers is recommended for those wishing to make public comments or participate in public hearings.

	Time	Min.	Presenter	Type	
1.	10:00		Chair		Call to Order
2.	10:00	3	Fallenius	Action	Reading and Approval of Summary of Motions of the October 6 <sup>th</sup> , 2022, Design Review Board Meeting.
3.	10:03	5	Ward	Action	Approval of the 2023 DRB Schedule
4.	10:08	30	Design Workshop/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review (2) for a single family home on Lot SS811, 2 Mountain Village Blvd., pursuant to CDC Section 17.4.11 <b>This item was continued from the October 6, 2022 regular DRB meeting</b>
5.	10:38	5	Ward/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a single family home on Lot AR25, 125 Lawson Pt., pursuant to CDC Section 17.4.11 <b>Staff is requesting that this item be continued to the December 1, 2022 DRB meeting.</b>
6.	10:43	30	Design Workshop/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a single family home on Lot BC-107, 110 Lawson Overlook, pursuant to CDC Section 17.4.11
7.	11:13	5	Ward/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a single family home on Lot AR10, 118 Lawson Point, pursuant to CDC Section 17.4.11 <b>This item is being withdrawn at the request of the applicant</b>
8.	11:18	15	Lunch	Lunch	
9.	11:33	45	Design Workshop/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a single family home on Lot 508, 125 Russell Drive, pursuant to CDC Section 17.4.11
10.	12:18	45	Ward/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a multi-family development consisting of 29 employee condominiums, on Lot 644, TBD Adams Ranch Rd., pursuant to CDC Section 17.4.11
11.	1:03		Chair	Chair	Adjourn

Please note that this Agenda is subject to change. (Times are approximate and subject to change)  
455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435  
Phone: (970) 369-8242 Fax: (970) 728-4342

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting Town Hall at the above numbers or email: [cd@mtnvillage.org](mailto:cd@mtnvillage.org). We would appreciate it if you would contact us at least 48 hours in advance of the scheduled event so arrangements can be made to locate requested auxiliary aid(s).

**DESIGN REVIEW BOARD MINUTES  
TOWN OF MOUNTAIN VILLAGE REGULAR  
DESIGN REVIEW BOARD MEETING  
OCTOBER 6<sup>TH</sup>, 2022**

**Call to Order**

Chair Banks Brown called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:02 AM on October 6<sup>th</sup>, 2022.

**Attendance**

**The following Board members were present and acting:**

Banks Brown (Chair)  
Shane Jordan  
Adam Miller  
Scott Bennett  
Greer Garner  
Jim Austin  
Liz Caton (left at 1:14)  
Ellen Kramer (monitored meeting, did not participate)

**The following Board members were absent:**

David Craige

**Town Staff in attendance:**

Paul Wisor Town Manager  
Amy Ward, Community Development Director  
Kim Schooley, Deputy Town Clerk  
Marleina Fallenius Planning Tech & Housing Coordinator  
Claire Perez Planner I  
Sean DeLand (live streaming)

**Public Attendance:**

David Ballode  
Paul Savage  
Katsia Lord  
Jack Wesson  
Kristina Lamb  
Chris Chaffin  
Jim Mahony

**Public Attendance via Zoom:**

Jessica Garrow  
Samuel Richards  
Callie New  
Will Hentschel  
Narcis Tudor  
Gyles Thornley



Hunter  
Tali Lipton  
Sofia Bolio  
Jonette Bronson  
Narcis Tudor

**Item 2. Reading and Approval of Summary of Motions of September 1<sup>st</sup>, 2022, Design Review Board Meeting.**

On a **MOTION** by **Bennett** and seconded by **Austin** the DRB voted **unanimously** to approve the summary of motions of the September 1<sup>st</sup>, 2022, Design Review Board meeting.

**Item 3. Consideration of a Design Review: Final Architecture Review for a single-family home on Lot 615-2CRR-A, TBD Lawson Overlook, pursuant to CDC Section 17.4.11**

Sam Richards from Design Workshop: Presented as Staff  
Narcis Tudor: Presented as Applicant

Public Comment: Paul Savage

On a **MOTION** by **Garner** and seconded by **Miller** the DRB voted **unanimously** to approve the Final Architectural Review for a new single-family home located at Lot 615-2CRR-A, based on the evidence provided within the Staff Report of record dated October September 29, 2022

2022, with the following design variations and specific approvals:

**Design Variations:**

1. Road and Driveway Standards – driveway grade

**DRB Specific Approval:**

1. GE Encroachments – 2 exterior parking spaces and a stairway
2. Materials - Metal Fascia

**And, with the following conditions:**

- 1) Prior to building permit, the applicant shall revise the lighting plan to either identify that the system will be placed on a capped dimmer system or be revised with alternative fixture specifications for staff review per the directive given to the applicant at this hearing.
- 2) Prior to building permit, the applicant shall obtain necessary parking permits from the Town for any parking on Lawson Overlook that may be required during construction.
- 3) Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 4) Prior to a certificate of occupancy, a GE encroachment agreement shall be executed recognizing approved encroachments into the GE.
- 5) Prior to a certificate of occupancy, a road right of way encroachment agreement shall be executed recognizing approved encroachments into the road right of way.
- 6) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

- 7) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 8) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and
  - e. Any other approved exterior materials
- 9) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

**Item 4. Consideration of a Design Review: Final Architecture Review for a multi-family development consisting of 29 employee condominiums, on Lot 644, TBD Adams Ranch Rd., pursuant to CDC Section 17.4.11**

Amy Ward: Presented as Staff

Public Comment: None

On a **MOTION** by **Garner** and seconded by **Miller** the DRB voted **unanimously** to continue, the Consideration of a Design Review: Final Architecture Review for a multi-family development consisting of 29 employee condominiums, on Lot 644, TBD Adams Ranch Rd., pursuant to CDC Section 17.4.11 to the Regular Design Review Board Meeting on November 3, 2022.

**Item 5. Consideration of a Design Review: Final Architecture Review for a multi-family development consisting of 19 condominiums and 2 employee condominiums, on Parcel Three-R, Belvedere Park Condominiums (also known as Lot 27A) TBD Lost Creek Lane., pursuant to CDC Section 17.4.11**

Amy Ward: Presented as Staff

Chris Chaffin and Will Hentschel : Presented as Applicant

Public Comment: Randy Podalski (email)

On a **MOTION** by **Bennett** and seconded by **Austin** the DRB voted **unanimously** to approve the Final Architectural Review for a new multi-family development on Lot 3R, also known as Lot 27A Belvedere, TBD Lost Creek Lane, based on the evidence provided within the Staff Report of record dated September 27, 2022, with the following findings, design variations and DRB specific approvals:

**Findings:**

- 1.The door and window cladding material approved is specified as metal to match the roof

**Design Variations:**

- 1.Exterior materials- less than 25% stucco, more than 25% wood, less than 25% stone
2. Loading/Unloading Zone Waiver

**DRB Specific Approval:**

1. Exterior Materials – metal hardie-board fascia, board form concrete of 8" horizontal spacing
2. GE Encroachments – Patio surface, retaining walls, decks, green roof, emergency turnaround (sub-grade)
3. Green roof

**And, with the following conditions:**

1. Prior to building permit, the applicant will revise the landscaping plan for review by staff to address concerns raised by the Town Forrester.
2. A reflective surface is required on the address monument in case of power outage.
3. Prior to certificate of occupancy the applicant shall provide the Town with a two (2) year landscaping financial guarantee on all plant materials planted as part of the approved landscape plan. The developer shall enter into an improvements agreement with the Town to ensure performance.
4. Concurrent with Certificate of Occupancy, the condominium map and condominium declarations need to be submitted to the Town for review.
5. Prior to issuance of the certificate of occupancy, the deed restrictions associated with the two employee condominiums need to be executed. The 1997 ordinance/acknowledgment applies.
6. The deed restricted units must receive certificate of occupancies prior to our concurrent with the free market units.
7. The Mountain Village Housing Authority will perform a walk-through inspection of the two deed restricted units prior to issuance of a certificate of occupancy.
8. Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either noncombustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
9. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
10. Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and
  - e. Any other approved exterior materials
11. It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

**Break: 11:00 am – 11:11 am**

**Item 6. Consideration of a Design Review: Initial Architecture and Site Review for a single-family home on Lot SS811, 2 Mountain Village Blvd., pursuant to CDC Section 17.4.11**

Jessica Garrow from Design Workshop: Presented as Staff

Katsia Lord on behalf of Matt Shear Vault Designs: Presented as Applicant

Public Comment: Paul Savage

On a **MOTION** by **Garner** and seconded by **Jordan**, DRB voted **unanimously** to **continue** the Initial Architecture and Site Review for a new single-family home located at Lot SS811, to November 3, 2022.

**Item 7. Lunch: 12:23 – 12:33**

**Item 8. Consideration of a Design Review: Initial Architecture and Site Review for a single-family home on Lot AR25, 125 Lawson Pt., pursuant to CDC Section 17.4.11**

Amy Ward: Presented as Staff

Public Comment: None

On a motion by **Bennett** and seconded by **Austin** DRB voted **unanimously** to **continue** the Initial Architectural and Site Review for a new single-family home located at Lot AR-25, 125 Lawson Point, to November 3<sup>rd</sup>, 2022.

**Item 9. Consideration of a Design Review: Initial Architecture and Site Review for a single-family home on Lot 508, 125 Russell Drive, pursuant to CDC Section 17.4.11**

Amy Ward: Design Workshop: Presented as Staff

Public Comment: None

On a motion by **Austin** and seconded by **Jordan** DRB voted **unanimously** continue the Initial Architectural and Site Review for a new single-family home located at Lot 508, 125 Russell Drive, to November 3<sup>rd</sup>, 2022.

**Item 10. Consideration of a Design Review: Initial Architecture and Site Review for a single-family home on Lot BC-107, 110 Lawson Overlook, pursuant to CDC Section 17.4.11**

Callie New of Design Workshop: Presented as Staff

Jack Wesson: Presented as Applicant

Public Comment: None

On a motion by **Miller** and seconded by **Greer** DRB voted **unanimously** to **approve** the Initial Architecture and Site Review for a new single-family home located at Lot BC107, based on the evidence provided in the staff record of memo dated October 6, 2022, and the findings of this meeting with the following conditions:

- 1) The Construction Mitigation Plan should demonstrate that tree protection fencing will be established outside the dripline of each tree that will be retained [CDC 17.6.1.A.4.(f)].
- 2) The width of the driveway shall meet the code of 16 feet total width. 12 feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.
- 3) The address monument shall be a minimum of 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated, or outlined with a reflective coating.
- 4) The Landscape Plan should demonstrate that planted conifers (evergreen trees) will be from two separate genus or species categories for diversity [CDC 17.5.9.C.6.(c)].

- 5) Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE and the road right of way.
- 6) Prior to final review, the applicant shall provide a door schedule that details materials.
- 7) Prior to final review, the applicant shall identify materials used for the soffit.
- 8) Prior to final review, materials under the soffit must be identified and shall be fire proof or fire resistant.
- 9) Prior to final review, the applicant shall provide an updated driveway plan with dimensions labeled to show compliance with the CDC.
- 10) Prior to final review, the applicant shall provide an updated landscape and fire mitigation plans showing compliance with the Zone 1 Fire Mitigation standards.
- 11) Prior to final review, the applicant shall identify a designated space for material storage and indicate the appropriate silt protection and wattles necessary to handle stormwater runoff on the construction mitigation plan.
- 12) Prior to final review, the construction mitigation plan must show protection fencing outside the dripline of trees remaining on site.
- 13) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and average building height.
- 14) The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.
- 15) A Knox Box for emergency access is recommended.
- 16) Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 17) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 18) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and
  - e. Any other approved exterior materials
- 19) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

#### **ADJOURN**

**MOTION** to adjourn by **Jordan** and seconded by **Garner** and unanimous consent, the Design Review Board voted to adjourn the October 6<sup>th</sup>, 2022, meeting at 1:15 pm.

Prepared and submitted by,

Marleina Fallenius  
Planning Technician & Housing Coordinator

## 2023 DRB Meeting Schedule

DRB Meeting Dates for 2023	
Thursday, January 5, 2023	10am
Thursday, February 2, 2023	10am
Thursday, March 2, 2023	10am
Thursday, March 30, 2023 (Replaces April 6)	10am
Thursday, May 4, 2023	10am
Thursday, June 1, 2023	10am
Thursday, July 6, 2023	10am
Thursday, August 3, 2023	10am
Thursday, September 7, 2023	10am
Thursday, October 5, 2023	10am
Thursday, November 2, 2023	10am
Thursday, December 7, 2023	10am

**Proposed Motion:**

I move to approve the Design Review Board meeting schedule for 2023 as proposed.



**TO:** Mountain Village Design Review Board

**FROM:** Design Workshop on behalf of the Town of Mountain Village

**FOR:** Design Review Board Public Hearing; November 3, 2022

**DATE:** November 3, 2022

**RE:** Staff Memo – Initial Architecture and Site Review (IASR) Lot SS811, 2 Mountain Village Boulevard pursuant to CDC Section 17.4.11 (continued from October 6, 2022 regular DRB meeting)

### APPLICATION OVERVIEW: New Single-Family Home on Lot SS811

#### **PROJECT GEOGRAPHY**

**Legal Description:** LOT SS811  
TELLURIDE MOUNTAIN  
VILLAGE ACC TO PLAT BK 1 PG  
1555 8-23-93

**Address:** 2 Mountain Village  
Boulevard

**Applicant/Agent:** Allison Miller,  
Short Elliott Hendrickson Inc

**Owner:** 2 Mountain Village LLC,  
Matthew Shear

**Zoning:** Single-Family

**Existing Use:** Vacant

**Proposed Use:** Single-Family

**Lot Size:** 5.673 acres

**Adjacent Land Uses:**

- **North:** Open Space
- **South:** Single-Family
- **East:** Single-Family
- **West:** Open Space



*Figure 1: Vicinity Map*

#### **ATTACHMENTS**

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comments

**Case Summary:** Allison Miller of Short Elliot Hendrickson, LLC is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home on Lot SS811, 2 Mountain Village Boulevard.

The DRB reviewed this case at the October 6, 2022 meeting and continued the discussion to this DRB meeting. The DRB requested additional information about a proposed pond, the site's access, and the building design. In response to the DRB meeting, the applicant has provided an updated set of plans and additional information, which is included in Attachment A. These changes include:

1. The arched non-orthogonal windows have been removed from the design and replaced with a more traditional rectangle design.
2. All stucco has been removed from the proposed design and replaced with board and batten siding. A full materials board will be provided at the meeting.
3. The proposed pond has been removed from the landscaping plans.
4. The applicant has provided some information about alternative site access from Arizona Street and the potential impacts to the wetlands from the Arizona Street and Mountain Village Boulevard locations. Additional information will be provided at the DRB meeting.

The proposed design consists of two structures, a main house and a detached accessory dwelling unit referred to as the guest house in the application materials. The main house reads as a single-story structure with a subgrade lower level identified as an unfinished basement. The structure utilizes a combination of multiple gabled roof forms. The guest house is a one and a half story building that also uses multiple gabled roof forms. The lot is located near the entrance to Mountain Village and has a mildly steep topography that slopes downwards approximately 15 feet to the north of the site.

Lot SS811 has an adjacent lot, Lot OSP-18A, which is zoned as dedicated open space and situated between Lot SS811 and Mountain Village Boulevard. Since the wetlands sit on the eastern edge of the property, there would be no way to provide street access for the site without dramatically impacting the wetlands area. The application materials reference a Maintenance and Access Easement Agreement that allows for Lot SS811 to be accessed from Mountain Village Boulevard through Lot OSP-18A with minimal impact on the wetlands on the property. As discussed at the October DRB meeting, this access was provided to the property in 2006, but does not appear to have gone through any formal reviews with the Town. A review of the re-submitted title work confirms this.

The lot is approximately 5.673 acres and is zoned single-family. The main house is approximately 13,013 square feet and provides for six interior parking spaces. The guest house is approximately 2,194 square feet (1,430 sq ft of living space, with the remainder in garage and patio space) and has one interior parking space. The proposed driveway and address monument are located in the General Easement.

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized text.***

*Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)*

<b><u>CDC Provision</u></b>	<b><u>Requirement</u></b>	<b><u>Proposed</u></b>
<b>Maximum Building Height</b>	40' (gabled) Maximum	29'-2" (main house)
<b>Avg. Building Height</b>	35' (gabled) Maximum	18'-7"
<b>Maximum Lot Coverage</b>	20% (49,423 sq ft)	6% (15,167 sq ft)
<b>General Easement Setbacks</b>	No encroachment	No encroachment



<b>Roof Pitch</b>		
Primary		4:12
Secondary		4:12
<b>Exterior Material</b>		
Stone Veneer	35% minimum	56% (main) 44% (guest)
Metal Accent	n/a	5% (main) n/a (guest)
Wood Siding	n/a	4% (main) 5% (guest)
Windows/Door Glazing	40% maximum	23% (main) 23% (guest)
Board and Batten Siding	n/a	13% (main) 28% (guest)
<b>Parking</b>	2 interior/2 exterior	6 interior 1 interior (guest)

*Design Variations:*

- 1) Road and Driveway Standards *\*IF APPROVED AS PROPOSED*

*Design Review Board Specific Approvals:*

- 1) Road right of way encroachment – *insubstantial*
- 2) Exterior Building Materials – *metal fascia*

**Chapter 17.3: ZONING AND LAND USE REGULATIONS**

**17.3.3 Use Schedule**

*Staff: The applicant has identified that an accessory dwelling unit (referred to as the guest house) to be developed on the site along with the main house. According to Table 3-1 Town of Mountain Village Land Use Schedule, this is a permitted use in the Single-Family zone district. The applicant has clarified that there is no unfinished basement under this building, so all requirements related to overall size are being met.*

**17.3.13 Maximum Lot Coverage**

*Staff: The maximum lot coverage for single-family homes with lots over five acres is 20 percent. On this site, the maximum allowable site coverage is 49,423 square feet. With both the main house and the cabin, the site only covers 15,197 square feet, or 6 percent of the site, and is well below the 20 percent threshold.*

**17.3.11 and 17.3.12: Building Height and Building Height Limits**

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates a combination of gabled roof forms. Homes with a primary shed roof form are allowed a maximum building height of 40 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

*Staff: Staff has determined that the primary roof forms for this main home and cabin are both gable and therefore granted a maximum height of 40' and an average height of 35' for both structures. The applicant has calculated a maximum height of 29'-2" and an average height of 18'7" for the main house. The applicant has not identified these height*

calculations for the guest house and as a requirement, this will be a condition of approval and shall be submitted prior to final review.

Figures 2-5 below depict the height calculations for the main house.

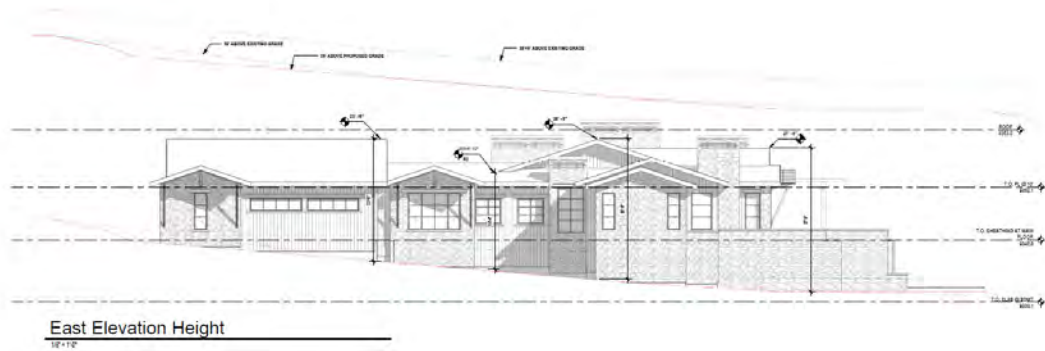


Figure 2: East Elevation – Height (Main House)



Figure 3: North Elevation – Height (Main House)

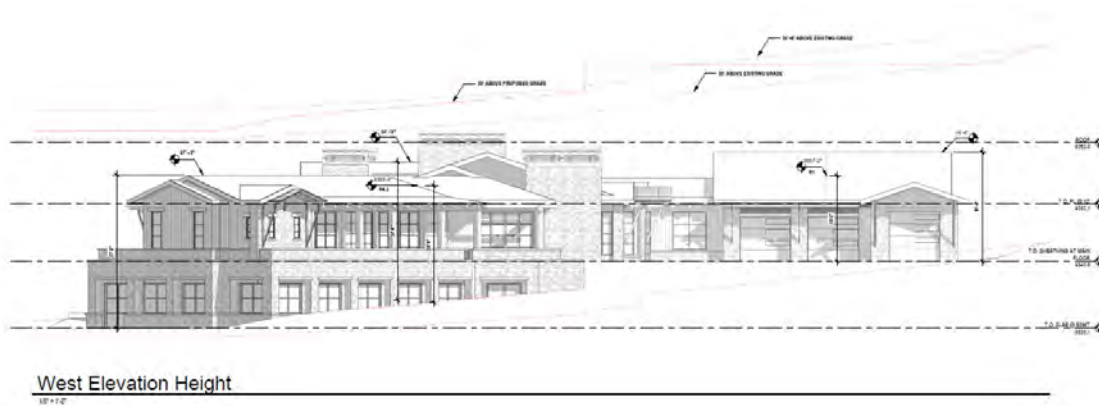
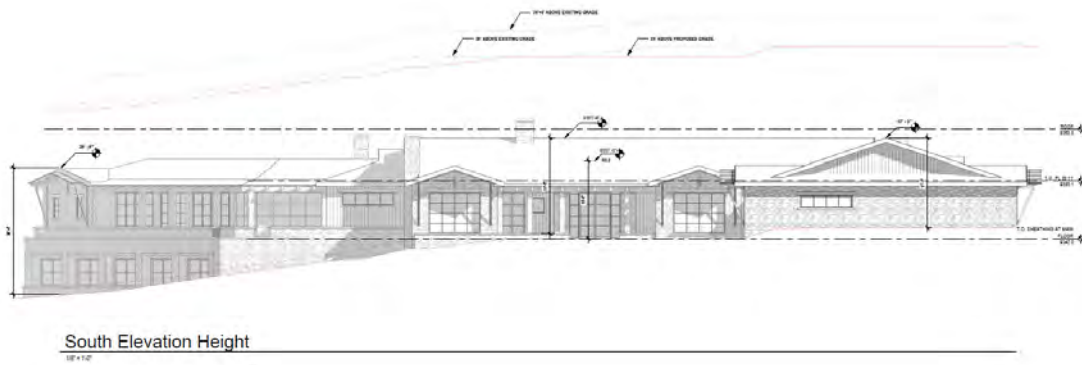


Figure 4: West Elevation – Height (Main House)



*Figure 5: South Elevation – Height (Main House)*

### **17.3.14: General Easement Setbacks**

Lot SS811 has a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

*Staff: The proposal includes two GE encroachments that fall into the above category of permitted GE development activity including the following:*

- *Driveway: The applicant proposes a driveway access from Mountain Village Boulevard which, if approved, would cross the General Easement to the homesite. The alternative driveway shown off of Arizona Boulevard also crosses the GE to the site.*
- *Utilities: The sanitary sewer utility is located in Mountain Village Boulevard and cross the northern GE to the lot. Additionally, other utilities will be accessed from Arizona Street and will cross the eastern GE to the lot.*

*Additionally, the address monument needs to be addressed, depending on the site access location that DRB approves. If the site access is taken from Arizona Street, the address monument would either be in the GE or in the right of way. If access is taken from Mountain Village Boulevard, the address monument is proposed to be located within the right of way of Mountain Village Boulevard. This is approvable by DRB if deemed insignificant by the Board. No comments from Public Works were received related to this aspect of the proposal.*

*Regardless of the encroachment, any development within the General Easement or road right of way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.*

## **Chapter 17.5: DESIGN REGULATIONS**

### **17.5.4: Town Design Theme**

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine

design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

*Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The materials chosen are a combination of stone veneer, board and batten siding, and heavy timber, which should create an exterior capable of withstanding the high alpine environment and reinforce the Town's aesthetic goals.*

#### **17.5.5: Building Siting Design**

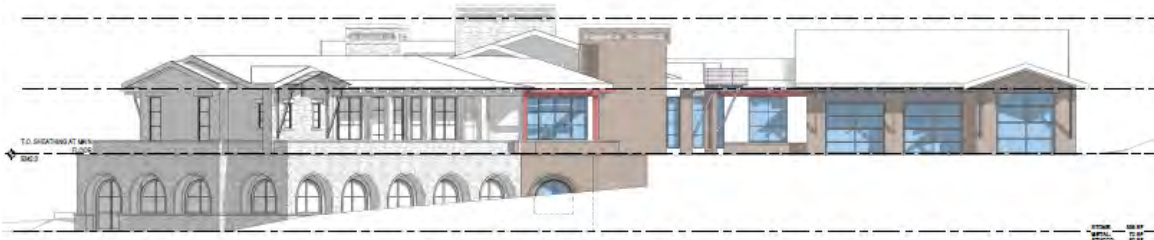
The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

*Staff: The layout of the structures is focused on the views to the north and northeast while avoiding the wetlands on the site. The site slopes down from south to north which the applicant has utilized to place the main level of the house at one story, as to not obstruct the views for the neighbors, and place a second story below grade but following the slope and allowing for a full level to be exposed on the north elevation. The development does propose grading, a sanitary sewer connection and access on the adjacent parcel OS-18A, but otherwise does not propose grading, clearing, direct drainage, direct access, or other direct impact onto the adjoining properties. The proposed access off of Mountain Village Boulevard will disturb a portion of the wetlands, but the design in this location does seek to minimize that disturbance to the greatest extent possible, as required in CDC section 17.5.5.A.2,*

*The applicant has demonstrated that this site adheres to the goals outlined in section 17.5.5 of the CDC, and has indicated approval for the proposed driveway location as required in subsection C. An additional easement for the sanitary sewer connection will be required, and has been listed as a condition of approval.*

#### **17.5.6: Building Design**

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. The CDC requires roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape. Figure 6 illustrates the original design reviewed in October, while Figure 7 shows the updated design DRB is asked to approve at the November meeting.



*Figure 6: Main House Elevation (previous design)*



*Figure 7: Main House Elevation (proposed design)*

*Staff: Staff comments regarding each of the relevant subsections are below.*

*Building Form:*

*The forms of the proposed residential structures generally follow alpine mountain designs that are well grounded to withstand the extreme natural forces of wind, snow, and heavy rain. The proposed use of the stone at the base of the structures reinforces this requirement, as does the more traditional roof forms on the main level.*

*Exterior Wall Form:*

*The changes to the design have replaced the more elaborate arched window and recess pattern with orthogonal elements that are more traditional to Mountain Village. The massing is substantially grounded to the site.*

*Roof Form:*

*The shed roof for both structures is made of brown standing seam metal and has a roof plane with a 4:12 pitch. Both structures depict a roof form that is broken into multiple sections in accordance with the CDC requirements.*

*Chimneys, Vent and Rooftop Equipment Design:*

*The applicant has not identified the fuel source for their proposed fireplace. If the fireplace is wood burning, the installation of a spark arrester and demonstration of necessary wood burning permits is required. The proposed equipment meets the requirements of the CDC.*

*Exterior Walls Materials and Color:*

*The exterior design of both structures incorporates stone, board and batten siding, and heavy timber building materials. The color palette is primarily brown, with a brown metal roof, natural wood details, and blue mountain ledgestone veneer. The applicant has identified that the soffit will be made of cedar and that the fascia will be made of a black aluminum. Since the fascia will be made of metal, a specific DRB approval will be required as outlined in section 17.5.6.C.3.h.ii. of the CDC.*

*Glazing:*



*The window area of the building, including window and door glazing, is 25 percent of the total building façade for the main house and 22 percent for the cabin. Exhibit A Sheet A10 shows the window schedule. Windows for both structures are trimmed with dark bronze anodized aluminum.*

*Doors and Entryways:*

*The applicant has not provided a door schedule for either structure, nor provided detail regarding garage doors. However, based on the elevation, the proposed garage doors have been updated to include less glazing. A detailed door schedule shall be provided prior to final review.*

*Decks and Balconies:*

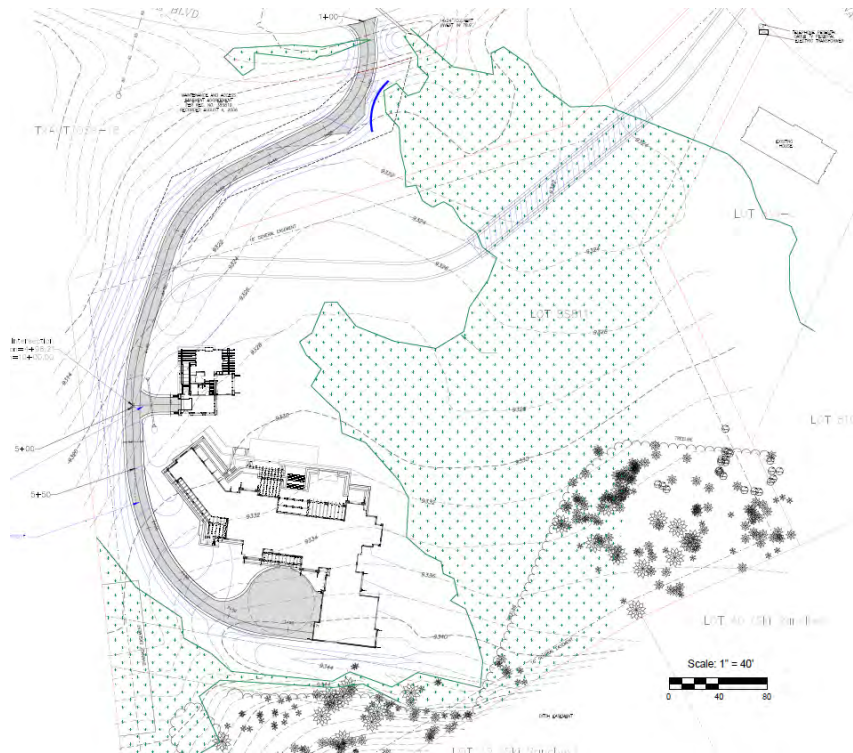
*The proposed deck for the main house and balconies for both structures enhance the overall architecture of the building by creating variety and detail on the exterior elevations as outlined in the CDC.*

*Required Surveys and Inspections:*

*A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.*

**17.5.7: Grading and Drainage Design**

*Staff: There is a small amount of grading necessary to create positive drainage away from both the main house and the guest house. The applicant is proposing a change to grading along the driveway. Outside of the creation of the driveway there is no proposed disturbance in the GE area, as well as in the right of way and along OS-18. A boulder wall of up to four feet in height is included on OS-18 for the driveway and to protect additional disturbance to the wetland. At this time, detailed grading for a potential access from Arizona Street is not depicted. Sheet C2.1 and C2.2 illustrate the grading and drainage plans. This is also depicted in Figure 8.*



**Figure 8: Grading Plan**

**17.5.8: Parking Regulations**

*Staff: The applicant has shown six interior parking spaces for the main house and one interior parking space for the guest house. The applicant does not identify the two exterior parking spaces required by the CDC. The applicant is required to show the required two exterior parking spaces at part of the final review.*

**17.5.9: Landscaping Regulations**

*Staff: The lot has no existing trees, rock outcrops, or significant geologic features in the building area. Vegetation does exist throughout the site outside of the building area. According to Sheet L1 of Exhibit A, the applicant is proposing the planting of several new landscaping features, including boulder outcroppings, flagstone pathways to the home and guesthouse, a deck off the main house, and a number of trees and shrubs. The landscape plan has been updated to show a scale and a north arrow.*

*It would be helpful for staff that the applicant incorporates a planting schedule along with irrigation locations, water usage calculations and backflow details as these are required prior to final review. The final review application will be required to provide species diversity to meet the requirement of Section 17.5.9 of the CDC.*

**17.5.11: Utilities**

*Staff: The updated utility plan is provided on sheet C3 of Exhibit A. The plan shows that the sanitary sewer line will connect to an existing line from Mountain Village Boulevard. This connection will cross OS-18 and will require an easement with the property owner.*

*Electric, gas, phone, fiber, and water connections will be taken from Arizona Street. In order to get these utilities to the site, the applicant will bore under the wetlands.*

*The plan also indicates the placement of a new transformer and shallow utility pedestal cluster on the lot located near the guest house.*

*Telluride Fire Protection District Comments: A fire hydrant shall be installed at the driveway intersection and Mountain Village Boulevard.*

#### **17.5.12: Lighting Regulations**

*The applicant has provided a lighting plan in their updated application on Sheet A0.7. The lighting plan includes two fixture types, but it is difficult for staff to determine which fixtures are used in each location. Updated labeling is needed. The fixtures themselves, are 810 and 120 lumens and 3,000 degrees Kelvin, so appear to meet the requirements of the CDC. An updated conceptual outdoor lighting plan in accordance with the Lighting Regulations of Section 17.5.12 of the CDC will be required to be submitted as part of the application prior to final review.*

#### **17.5.13: Sign Regulations**

*Staff: An address monument is proposed within the road right of way along Mountain Village Boulevard. Insignificant encroachments in the road right of way are approvable by DRB as a specific approval. This is proposed to be steel with 6" steel numbers with reflective paint. The design appears to meet the requirements of the CDC.*

*Any development within the right of way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.*

### **Chapter 17.6: SUPPLEMENTARY REGULATIONS**

#### **17.6.1: Environmental Regulations**

*Staff: The applicant does not show a proposed fire mitigation plan. Sheet L1 shows proposed landscaping throughout the lot and adjacent to the proposed structures. The applicant shall provide a fire mitigation plan that shows how this planting plan is in accordance with the regulations of Section 17.6.1 of the CDC.*

*Telluride Fire Protection District Comments: TFPD approves the proposal with conditions that the structure shall install a monitored NFPA 13D sprinkler and NFPA 72 fire alarm system.*

*Town Forester Comments: The Landscape Plan must adhere to the wildfire mitigation requirements per section 17.6.1A4 of the CDC.*

#### **17.6.1.B Wetland Regulations**

Section 17.6.1.B discusses the protection of wetland areas. Disturbance to wetland areas should be avoided to the extent practicable, and where site conditions preclude the ability to avoid wetland impacts, disturbances should be minimized and mitigated.

*Staff: The home has been sited to avoid wetland areas. The proposed design includes a very small section of fill within a wetland area close to the intersection of Mountain Village Boulevard to accommodate the proposed driveway location. As discussed at the October DRB meeting, this driveway location is limited by the location of the access easement that was created in 2006. If this location is approved by the DRB, the applicant should include a written evaluation of practicable alternatives to avoid the necessity of this fill in the final application. If approved as proposed, the applicant will be required to provide for the equivalent area of replacement wetland and enter into a conservation easement with the Town that requires it to maintain that replacement wetland area over time. Prior to building*



permit, the United States Army Corps of Engineers will be required to review the proposed wetland fill and either recommended approval to the Town or approve the required federal permits.

The applicant has explored the possibility of driveway access from Arizona Street. This would require a bridge with a length of 180 feet and 20 feet wide. The applicant has indicated that this bridge is estimated to add \$600,000 to the cost of construction, and would trigger a review with the EPA as opposed to the Army Corps of Engineers. Based on their analysis, which is included in their letter in Exhibit A, the access off of Mountain Village Boulevard disturbs approximately 100 sq ft of wetlands, while the access and bridging off of Arizona Street will impact approximately 3,600 sq ft of wetlands area, which has been observed as an elk habitat. They have also stated that the site lines from the Mountain Village Boulevard location are better than the Arizona Street location. The applicant will be prepared to speak in more detail about the access points at the hearing, and is requesting access from Mountain Village Boulevard.

The wetland delineation shown on the existing conditions was completed in 2014. According to the CDC this delineation needs to be current within 5 years, so as a condition of approval staff recommends that the applicant be required to re-delineate the wetland prior to building permit. As this project moves into final review it will be important to evaluate the lighting plan as it relates to the wetland regulations as well.

Public Works Comments: Public Works reviewed the access points, and did not have a recommendation or preference for the access point.

#### 17.6.6: Roads and Driveway Standards

Staff: Sheet C1 of Exhibit A depicts the grading plan with information for the driveway grade. The driveway grade is within the maximum allowed grade of 8 percent with a maximum grade of 5.5 percent.

The proposed driveway is 12 feet wide asphalt with 2-foot gravel shoulders on each side, making the total width 16 feet surfaced. These details are outlined in Figure 9 below. DRB should discuss whether the paved surface should be widened or is approvable as proposed. If approved as proposed then a design variation to the road and driveways standards is required.

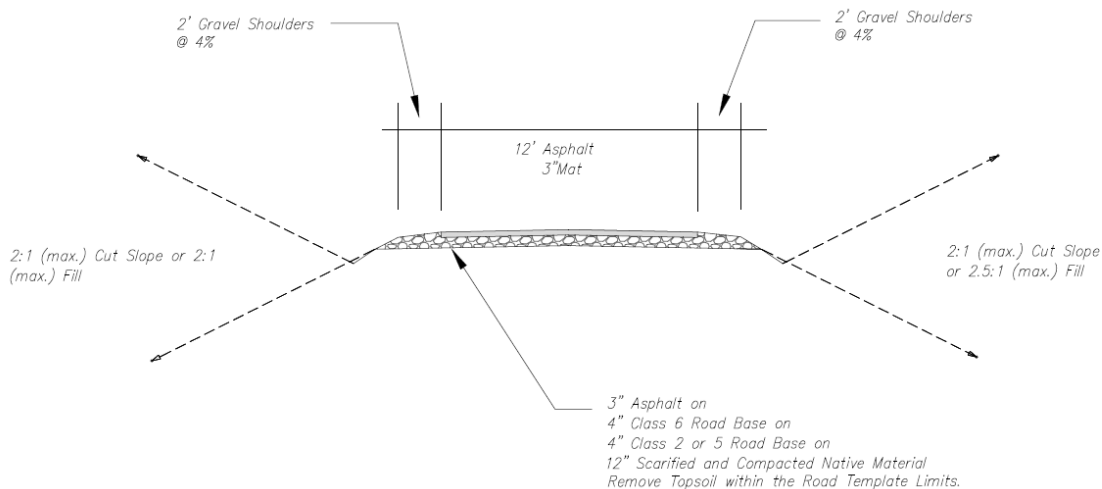


Figure 9: Driveway Cross-Section

The applicant also includes space for Telluride Fire Protection District Standard Hammerhead Turn-Around at the end of the driveway for the auto court in front of the main house, as seen in Figure 10 below.

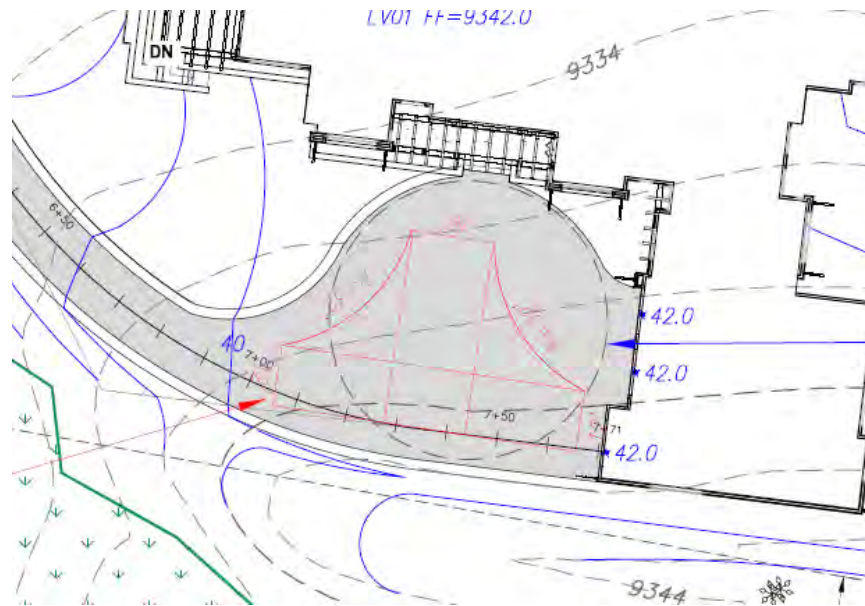


Figure 10: Driveway Plan – TFPD Standard Hammerhead Turn-Around

Telluride Fire Protection District Comments: The width of the driveway shall meet the code of 16 feet total width. 12 feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.

### 17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does include a fireplace but has not called out a fuel source. This should be clarified prior to final review. If the applicant intends to have a wood burning fireplace, the installation of a spark arrester and demonstration of necessary wood burning permits is required.

## Chapter 17.7: BUILDING REGULATIONS

### 17.7.19: Construction Mitigation

Staff: The construction mitigation plan on Sheet C4 of Exhibit A shows the required material storage, dumpster, bear-proof food waste and recycling bins, and a port-a-toilet. The plan indicates the use of proper silt fencing on the downhill side of the site along the western edge of the property and on OS-18. The applicant has indicated the use of 6-foot chain link fence with green screening along the edge of the construction site, except on the eastern edge of the site where the applicant has indicated the fence panels are not necessary as existing Willow trees provide proper screening. The Town Forrester has commented that the chain link fence panels must be adjusted along the southern edge of the construction site to go around the existing trees outside of the construction zone per section 17.6.1.A4 of the CDC. The construction mitigation plan shall be updated to address this adjustment to the chain-link fence prior to final review.

*The parking plan indicates three spots on the site. However, all of these are located in the current driveway, which is an area that won't be available for use until initial stages of construction are complete. The applicant will likely still need to work with the Town for roadside parking permits until the driveway is created. If the access is taken off Mountain Village Boulevard, this aspect of the construction mitigation plan should be updated as part of the final design application to ensure proper traffic flow into the town along this key right of way. It is possible that until the driveway is created that at least some workers will need to be shuttled to the site from elsewhere.*

*The plan indicates that no crane is being proposed for the construction process at this time. If it is determined that one is required, the applicant shall work with Town staff to make sure the crane swing doesn't impede the roadway.*

**Staff Recommendation:** DRB should discuss and give the applicant clear feedback on the preferred access point. If it is determined that access be taken from Mountain Village Boulevard staff recommends approval with conditions. If it is determined that access should be taken from Arizona Street, staff recommends a continuation in order to finalize details of bridge design and grading as well as update landscaping, lighting, and the address monument to reflect the new address. If approved, a subsequent application for the use of OS-18A will be required. This has been incorporated as a condition of approval.

**Staff Note:** *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

**Proposed Motion:**

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

*I move to approve the Initial Architecture and Site Review for a new single-family home located at Lot SS811, based on the evidence provided in the staff record of memo dated November 3, 2022, and the findings of this meeting with the following design variations and specific approvals:*

*Design Variations:*

- 1) *Road and Driveway Standards \*If the driveway is approved at the current 12' with 2' shoulders*

*Design Review Board Specific Approvals:*

- 1) *Road right of way encroachment – insubstantial*
- 2) *Exterior Building Materials – metal fascia*

*With site access from (identify either Mountain Village Boulevard or Arizona Street).*

*And, with the following conditions:*

- 1) *Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE and the road right of way.*
- 2) *Prior to final review, the applicant shall provide the height calculations for the accessory dwelling unit referred to as the guest house in the application materials.*
- 3) *Prior to final review, the applicant shall provide a door and entryways schedule.*
- 4) *Prior to final review, the applicant shall specify the fuel source for all solid fuel burning devices.*

- 5) *Prior to final review, the applicant shall identify the required two exterior parking spaces for the site.*
- 6) *Prior to final review, the applicant shall include an updated outdoor lighting plan in compliance with the CDC.*
- 7) *Prior to final review, the applicant shall provide an updated landscape and fire mitigation plans showing the planting schedule and compliance with Fire Mitigation standards, as well as required species diversity and irrigation information.*
- 8) *Prior to final review, the applicant shall include plans to install a fire hydrant at the intersection of the driveway and Mountain Village Boulevard.*
- 9) *Prior to final review, the applicant shall revise the construction mitigation plan to ensure the chain link fence panels are adjusted along the southern edge of the construction site to go around the existing trees outside of the construction zone and address the location of initial construction parking per section 17.6.1.A4 of the CDC.*
- 10) *Prior to final review, the applicant shall ensure that all drawings are aligned.*
- 11) *The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.*
- 12) *A Knox Box for emergency access is recommended.*
- 13) *Prior to final review the applicant shall provide an alternative analysis to the proposed wetland fill area.*
- 14) *Prior to building permit the applicant shall provide an updated wetland delineation.*
- 15) *Prior to building permit the applicant shall obtain approval and any necessary federal permits for any proposed wetland disturbances.*
- 16) *Prior to building permit the applicant shall seek a Conditional Use approval for all uses of OS-18A, and shall update or create all necessary easements to ensure the property for Lot OS-18A consents to the improvements.*
- 17) *Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
- 18) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*
- 19) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
  - a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
  - b. *Wood that is stained in the approved color(s);*
  - c. *Any approved metal exterior material;*
  - d. *Roofing material(s); and*
  - e. *Any other approved exterior materials*
- 20) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*



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**Date:** October 17, 2022 (Updated October 24, 2022)  
**TO:** Mountain Village Design Review Board (DRB)  
**FROM:** Short Elliott Hendrickson, Inc. (SEH)  
**FOR:** Design Review Board Continuance Hearing; November 3, 2022  
**RE:** SEH Responses to the October 6, 2022, DRB Hearing – Initial Architecture and Site Review (IASR) Lot SS811, 2 Mountain Village Boulevard pursuant to CDC Section 17.4.11.

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**The following items and associated responses are from comments provided by Design Workshop from the October 6<sup>th</sup> DRB meeting.**

**Item:** Pond - Provide additional information on the water source for the pond, as well as design details and compliance with wetland setback requirements.

**Response:** The pond has been removed from project.

**Item:** Coordinate plans, particularly civil and landscape to ensure they are consistent.

**Response:** Coordinated Architecture, Civil, and Landscape plans are attached. A North Arrow, Graphic Scale, and Street Names have been added to the Landscape Plan.

**Item:** Provide information related to utilities under the wetlands, versus bridging for access.

**Response:** This will be ultimately addressed by Chris Hazen, Dave Bulson, the Army Corp of Engineers, and the EPA, however we have concerns about wetland disruption if access is moved to Arizona. A letter to clarify this will be provided, but we do not believe that this should hold up the process to proceed to next steps. Note that the utilities shown from Arizona will be bored under the wetlands as shown for either access scenario. The sanitary sewer is the only utility that needs to cross the Telski property to get to the main.

**Item:** Site Access.

**Response:** Alternate bridge access has been added to the Civil plan. The bridge will be approximately 180 LF with an added project cost in the range of \$600,000. We do not believe that consultation from a traffic engineer is necessary.

Sight lines are better from the proposed driveway location off the Blvd than from the Arizona Street intersection with respect to turning west onto the Blvd. We will have more



Engineers | Architects | Planners | Scientists

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survey data prior to the meeting that will demonstrate this. There is existing precedent for site access off Mountain Village per the golf cart lane. See below.

The proposed location off Arizona Street will negatively impact the owner of the adjacent property. It will not only encroach on their views but also their privacy. The construction would also have a negative impact on their property for the beginning of the project.

The option with access off Mountain Village BLVD only impacts 100 SF of wetland area, while the option off Arizona Street would impact approximately 3,600 SF of wetland area. At this time the bridge foundation system would comprise of 12 sets of micropiles, (assuming 2 sets of 6 every 30 feet of bridge length). These would be permanent structures that would need to be installed in the wetlands, so construction equipment would have to track in the wetlands to accomplish this work. Due to the extent of the disturbance, we have been advised that the review would be moved up the ladder from review at the Army Corps and would have to go to the EPA. At that point, the question of alternate access will come up from the EPA.

Additionally, this path of wetlands area has been observed as an elk migration area. They travel from the golf course along the creek through the wetlands. Placing a bridge through the center of the area would disturb habits of the existing wildlife.

**Item:** Architectural Materials and Windows.

**Response:** The arched windows have been replaced with rectangular. Stucco has been replaced with board and batten siding. The material sheet in the drawings set has been updated. Garage doors revised to eliminate storefront. The design narrative had been updated to remove references to "Mediterranean Design". New renderings provided 10 days prior to the November 3 hearing. A physical material board will be provided at the hearing.

Link to 3D model in Autodesk Viewer: <https://autode.sk/3D2HWz6>

**Item:** Title Work with Hyperlinks – The PDF in the application does not have hyperlinks.

**Response:** A PDF of the Title Work with Hyperlinks is provided.

Sincerely,



Rob Ekstrom, AIA  
Principal

**Distribution:**

Amy Ward, Town of Mountain Village  
Katsia Lord, Vault Design  
Adam Raiffe, Studio Raiffe  
Allison Miller, AIA, SEH  
Nicole Micalizzi, SEH  
David Ballode, Civil Engineer  
Holly Terry, Designscapes  
Jessica Garrow, Design Workshop

**Attachments:**

Updated Design Narrative  
Updated Drawings  
Physical Material Board (provided at meeting)  
Updated Renderings  
Title Commitment with Hyperlinks



# 2 MOUNTAIN VILLAGE BLVD



## SPECULATIVE RESIDENCE 2 MOUNTAIN VILLAGE BLVD. MOUNTAIN VILLAGE, CO 81435 DESIGN REVIEW BOARD

### PROJECT DIRECTORY

**CONTRACTOR:**

CODY ABBOTT  
TOP NOTCH CONSTRUCTION  
8121 PRESERVE DR.  
TELLURIDE, CO 81435  
970-596-1014

**ARCHITECT:**

SHORT ELLIOTT HENDRICKSON INC.  
2000 SOUTH COLORADO BLVD. TOWER ONE,  
SUITE 6000  
DENVER, CO. 80222  
720.540.6800

**SURVEYOR:**

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FOLEY ASSOCIATES, INC.  
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TELLURIDE, CO 81435  
970-728-6153

**STRUCTURAL ENGINEER:**

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DENVER, CO. 80222  
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**CIVIL ENGINEER:**

DAVID BALLODE  
UNCOMPAGRE ENGINEERING  
113 LOST CREEK LN SUITE D  
MOUNTAIN VILLAGE, CO 81435  
970-279-0683

**LANDSCAPE ENGINEER:**

HOLLY TERRY  
DESIGNSCAPES COLORADO  
15440 E FREMONT DR  
CENTENNIAL, CO 80113  
303-721-9003

### LOCATION MAP



### LEGAL DESCRIPTION/LOT INFORMATION

**LOT INFO:**  
LOT SS811 TELLURIDE MOUNTAIN VILLAGE ACC TO PLAT BK 1 PG 1555 8-23-93.  
LOT NAME: LOT SS81  
ZONING: SINGLE FAMILY RESIDENTIAL  
LOT SIZE: 5.673 ACRES

**BUILDING INFO:**

DESCRIPTION	1-STORY W/ WALKOUT BASEMENT & GUEST HOUSE	
<b>BUILDING HEIGHT</b>	ALLOWED	ACTUAL
<b>MAXIMUM</b>	35'	29'-2"
<b>AVERAGE</b>	30'	18'-7"
<b>PARKING SPACES</b>	2 REQUIRED	6 PROVIDED

### DESIGN CRITERIA

Climate Zone: 6B Elevation: 9338.8 Live Roof Snow Load: 80-180 PSF Ground Snow Load: 130 PSF Wind Speed: 90 MPH (3 Sec. Gust) Exp. C/110 MPH Ultimate	Seismic Zone: C Weathering: Severe Frost Depth: 48 Inches Termite: Moderate Decay: None to Slight
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### AREA CALCULATIONS

<b>MAIN HOUSE</b>		<b>GUEST HOUSE</b>		<b>BUILDING COVERAGE:</b>
BASEMENT LEVEL (HEATED):	2,319 SF	UPPER LEVEL (HEATED):	362 SF	MAIN HOUSE 13,013 SF
MAIN LEVEL (HEATED):	7,007 SF	MAIN LEVEL (HEATED):	1,068 SF	GUEST HOUSE 2,194 SF
TOTAL HEATED AREA:	9,326 SF	TOTAL HEATED AREA:	1,430 SF	TOTAL 15,197 SF
				LOT SIZE: 247,115.88
GARAGE/MECH/STOR. (UNHEATED):	2,050 SF	GARAGE/MECH/STOR. (UNHEATED):	434 SF	15,197 SF = 6%
COVERED PATIO:	1,637 SF	COVERED PATIO:	330 SF	
TOTAL GROSS AREA (UNDER ROOF):	13,013 SF	TOTAL GROSS AREA (UNDER ROOF):	2,194 SF	

### DRAWING INDEX

- A0.0 COVER SHEET & PROJECT DATA
- A0.1 ARCHITECTURAL SITE PLAN
- A0.4 HEIGHT LIMIT ANALYSIS
- A0.5 HEIGHT LIMIT ANALYSIS ELEVATIONS
- A0.6 HEIGHT LIMIT ANALYSIS ELEVATIONS
- A.1 FLOOR PLANS
- A.2 ROOF PLAN
- A.3 ELEVATIONS
- A.7 MATERIAL CALCULATIONS
- A.8 MATERIAL CALCULATIONS
- A.9 EXTERIOR MATERIAL DIAGRAM
- A.10 SCHEDULES
- G1 GUEST HOUSE SCHEMATIC
- C1 NOTES
- C2.1 SITE GRADING AND DRAINAGE
- C2.2 GRADING WITH DRIVEWAY PROFILES
- C3 UTILITIES
- C4 CONSTRUCTION MITIGATION
- L1 LANDSCAPE

### APPLICABLE CODES

ALL CONSTRUCTION TO BE COMPLETED PER GOVERNING CODES BELOW:  
2018 INTERNATIONAL RESIDENTIAL CODE (IRC) W/ LOCAL AMENDMENTS  
2018 INTERNATIONAL PLUMBING CODE (IPC) W/ LOCAL AMENDMENTS  
2018 INTERNATIONAL MECHANICAL CODE (IMC) W/ LOCAL AMENDMENTS  
2018 INTERNATIONAL FUEL GAS CODE W/ LOCAL AMENDMENTS  
2018 INTERNATIONAL ENERGY CONSERVATION CODE W/ LOCAL AMENDMENTS  
2020 NATIONAL ELECTRICAL CODE

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**OWNER**  
THE VAULT HOME COLLECTION  
450 S. OLD DIXIE HWY, SITE 8  
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**ARCHITECT**  
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934 MAIN AVENUE, SUITE C  
DURANGO, COLORADO 81301

**CONTACT: ALLISON MILLER**  
PHONE: 970.459.9017

2 MOUNTAIN VILLAGE BLVD  
2 MOUNTAIN VILLAGE BLVD  
SPECULATIVE RESIDENCE  
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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SEH Project Checked By Drawn By Project Number AM NM

Project Status Issue Date DESIGN REVIEW BOARD 10.17.2022

Revision Issue Rev. # Description Date

SITE/COVER

A0.0



GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:  
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE  
NATURAL GAS: BLACK HILLS ENERGY  
POWER: SAN MIGUEL POWER  
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

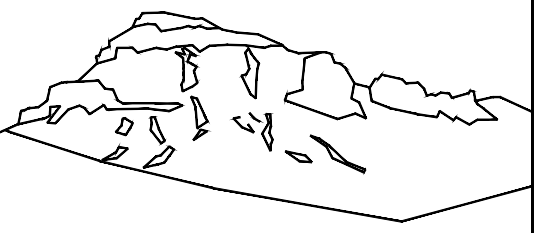
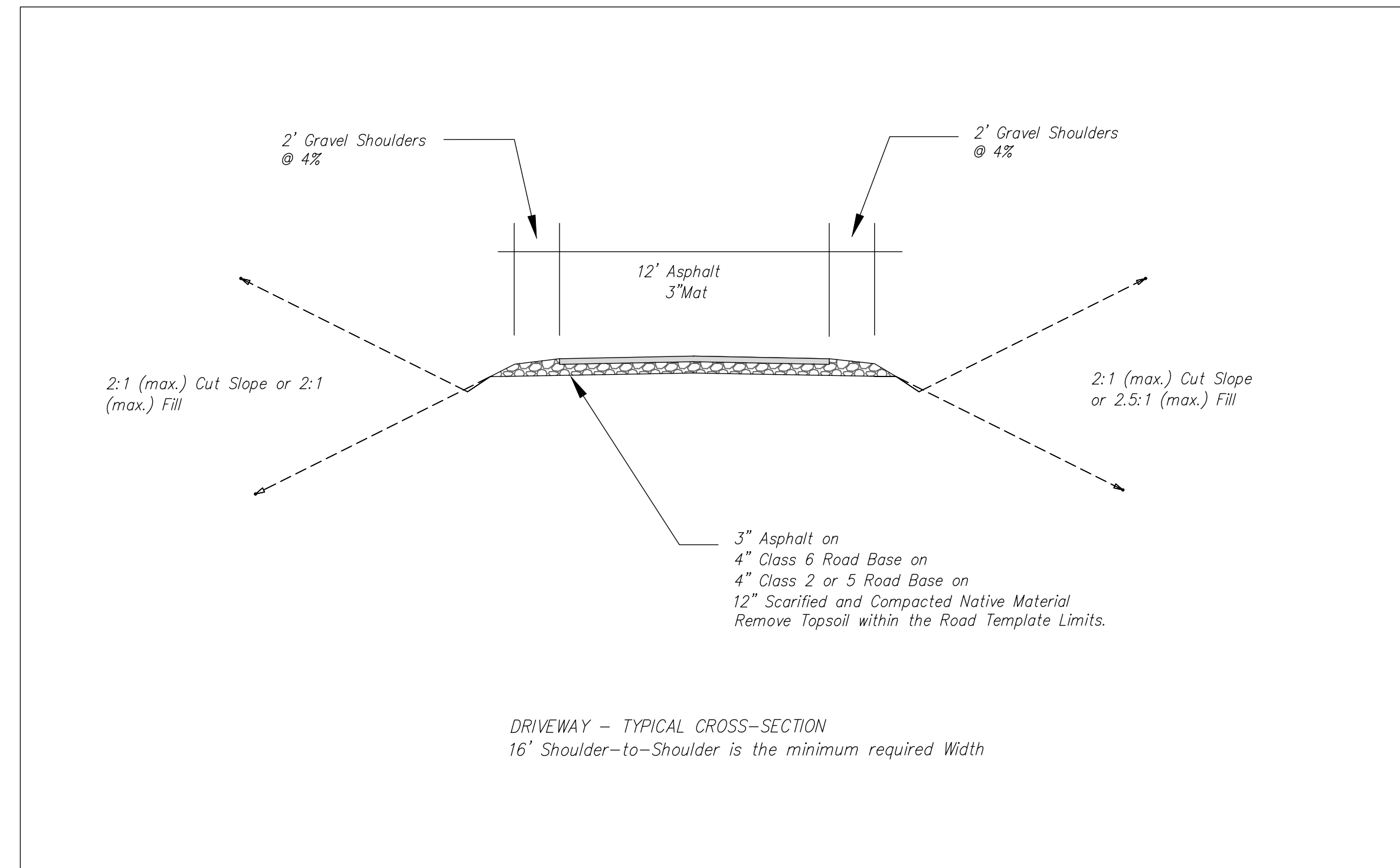
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

SUBMITTAL	2022-02-18
SUBMITTAL	2022-10-14

Lot SS811  
2 MV Blvd  
Mtn. Village, CO

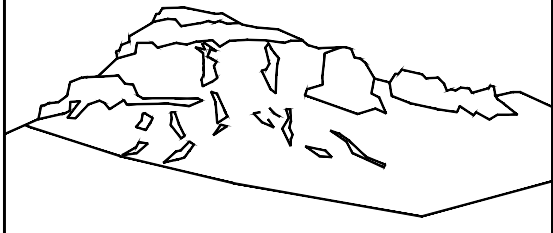
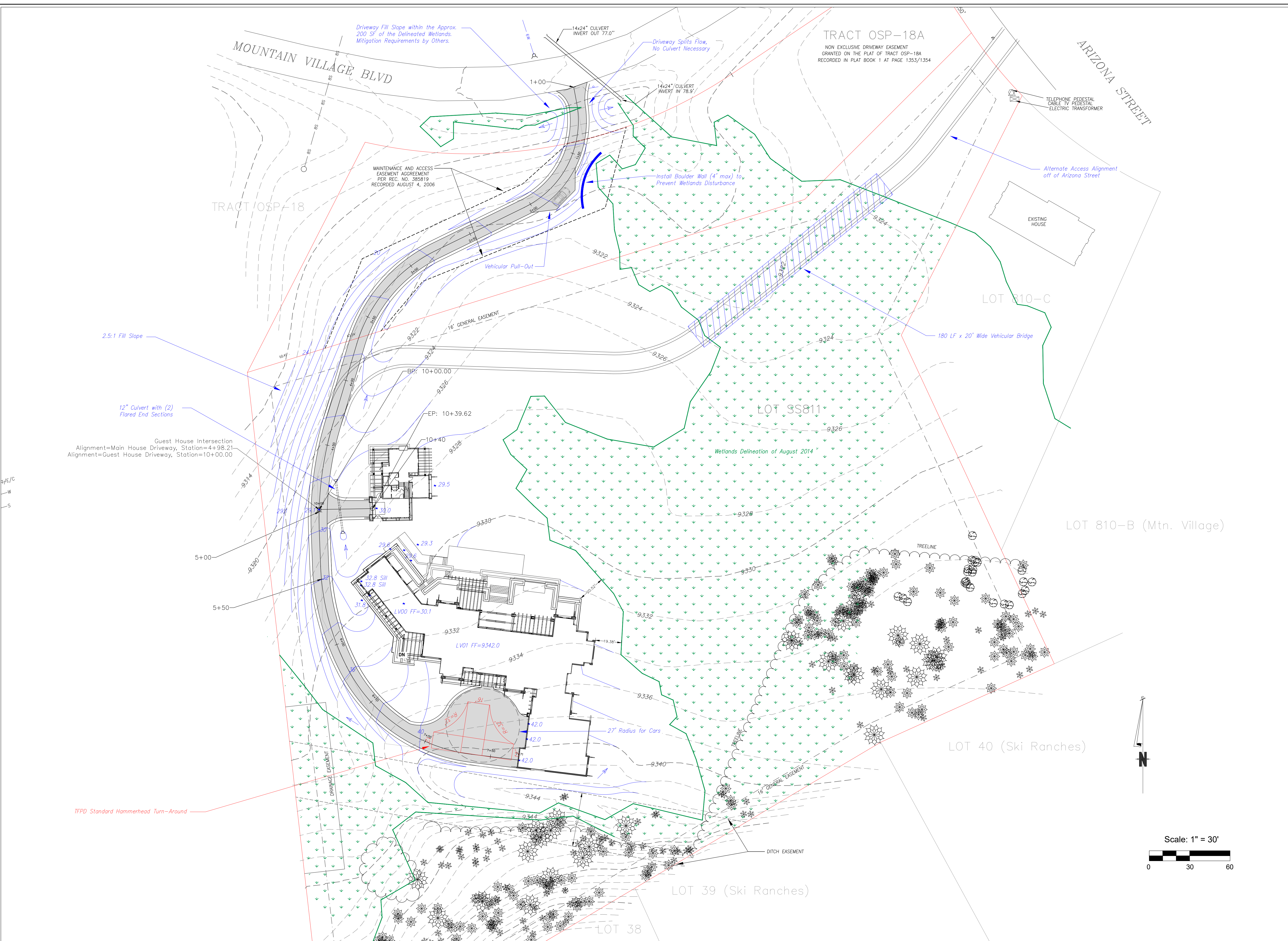


CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1





**Uncompahgre  
Engineering, LLC**

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

**SUBMISSIONS:**

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SUBMITTAL	2022-10-14

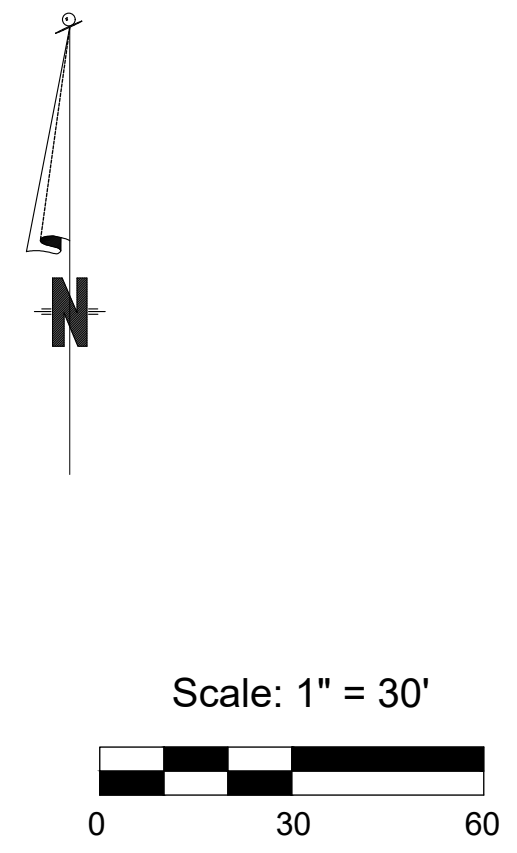
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Mtn. Village, CO



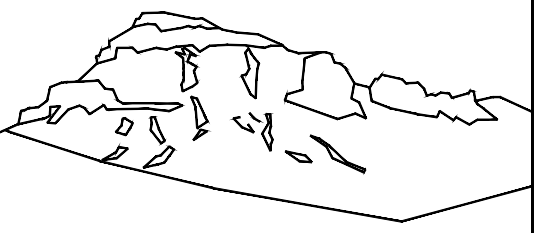
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**Site Grading  
and  
Drainage**

**C2.1**







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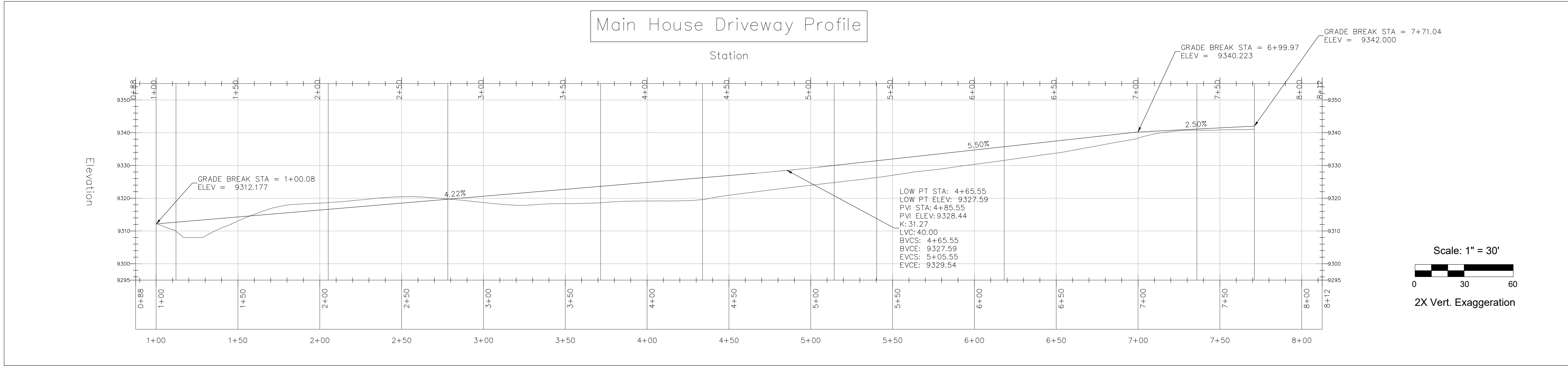
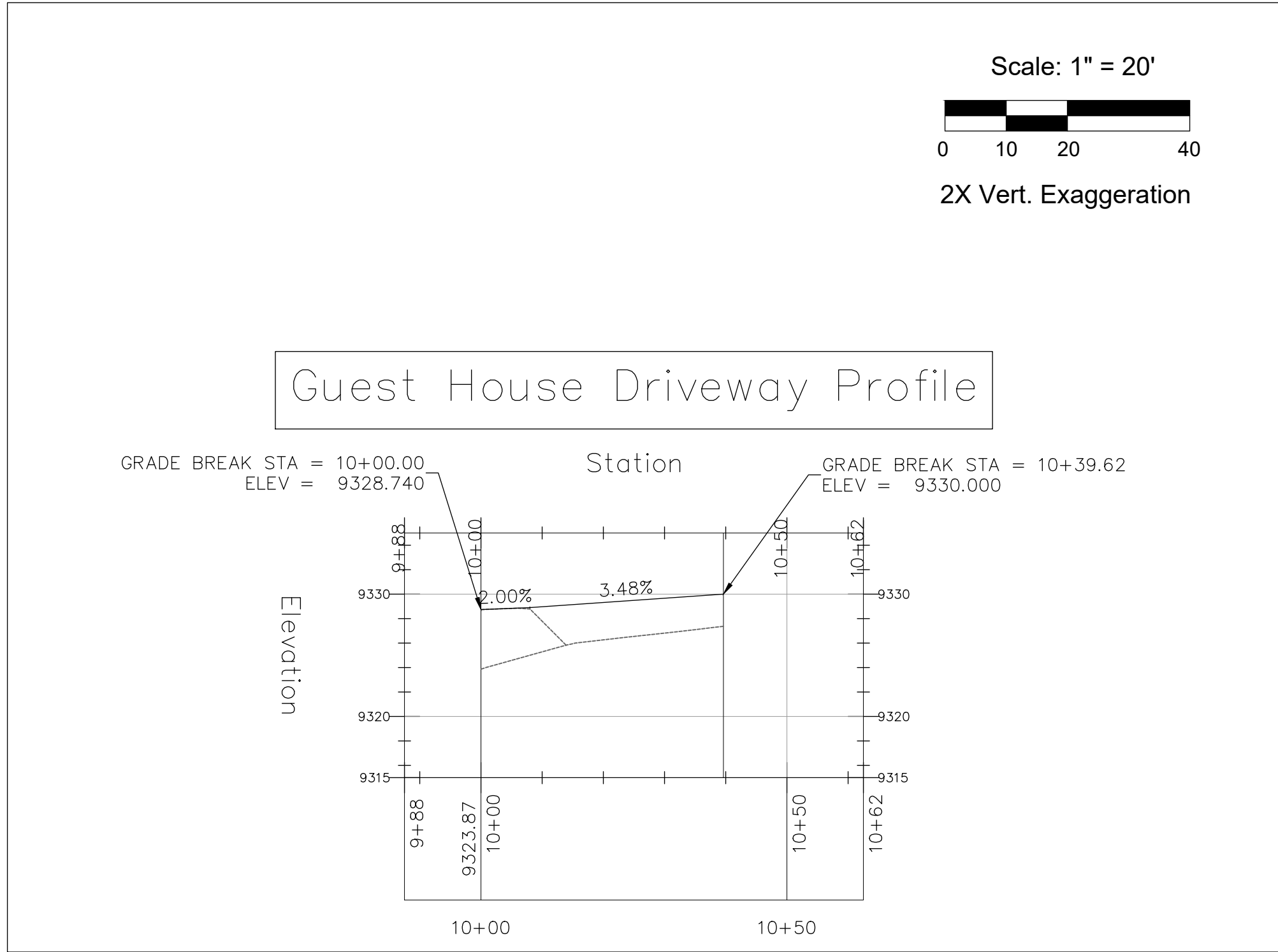
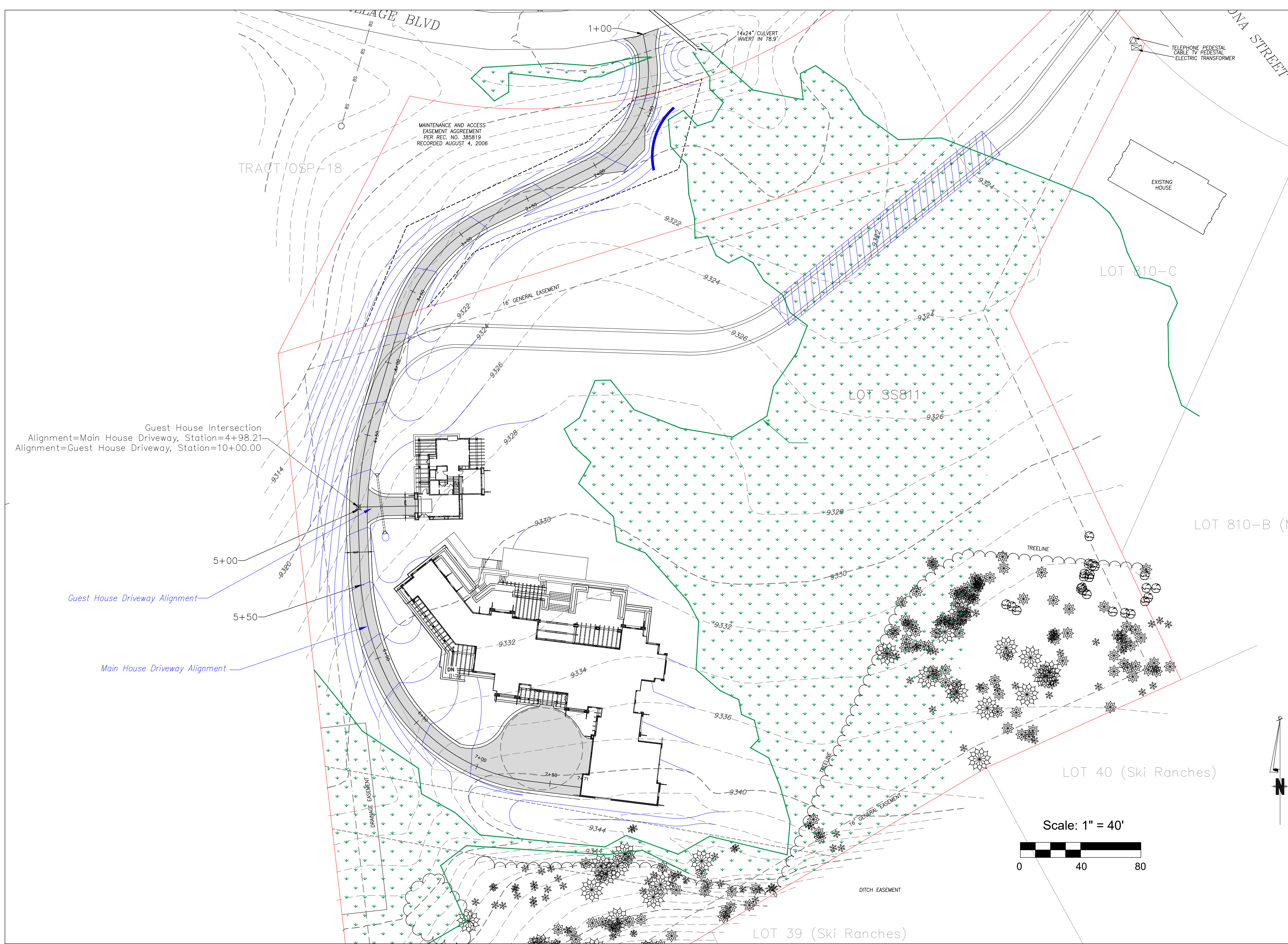
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Mtn. Village, CO



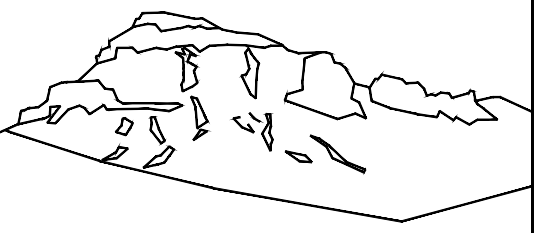
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Grading  
with  
Driveway  
Profiles

C2.2







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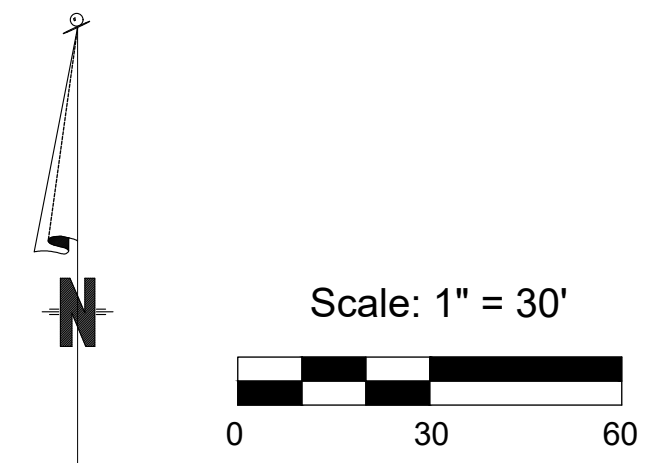
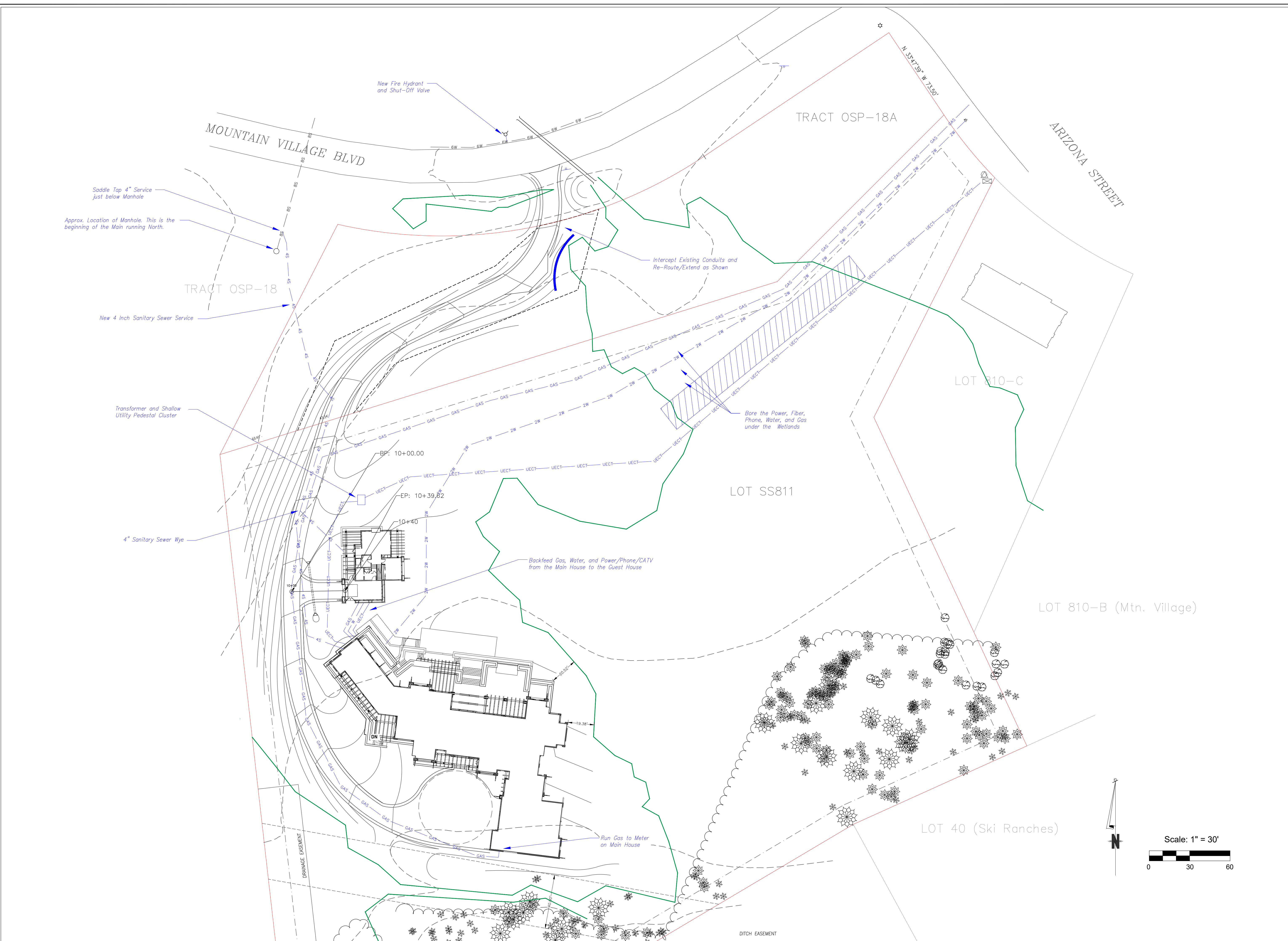
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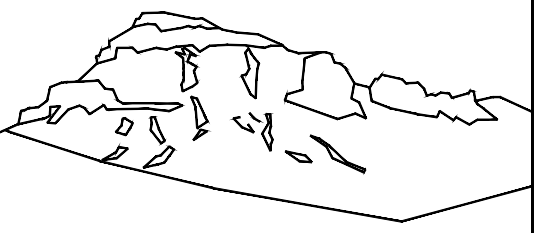
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Utilities

C3







Uncompahgre Engineering, LLC

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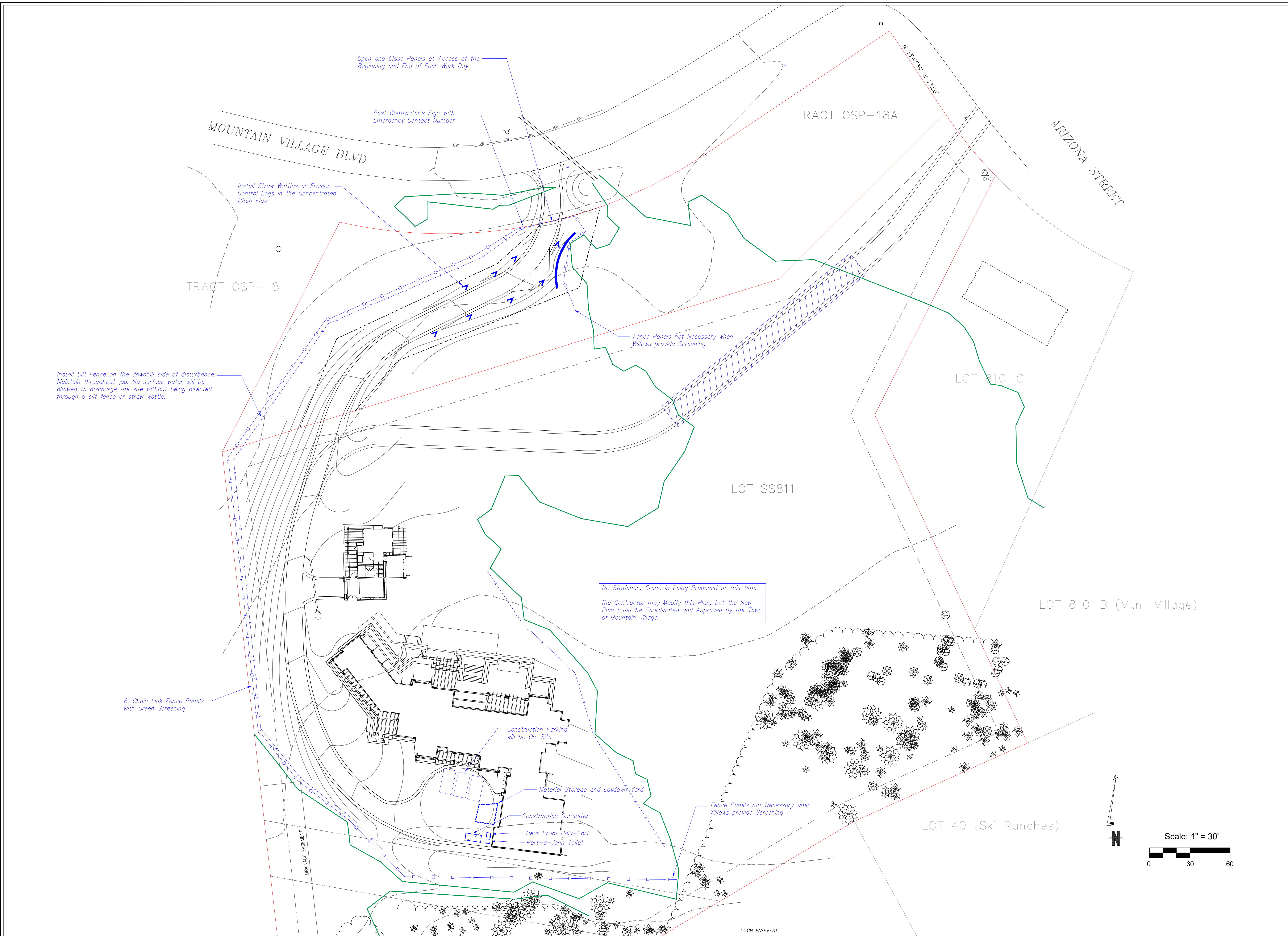
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2 MV Blvd  
Mtn. Village, CO



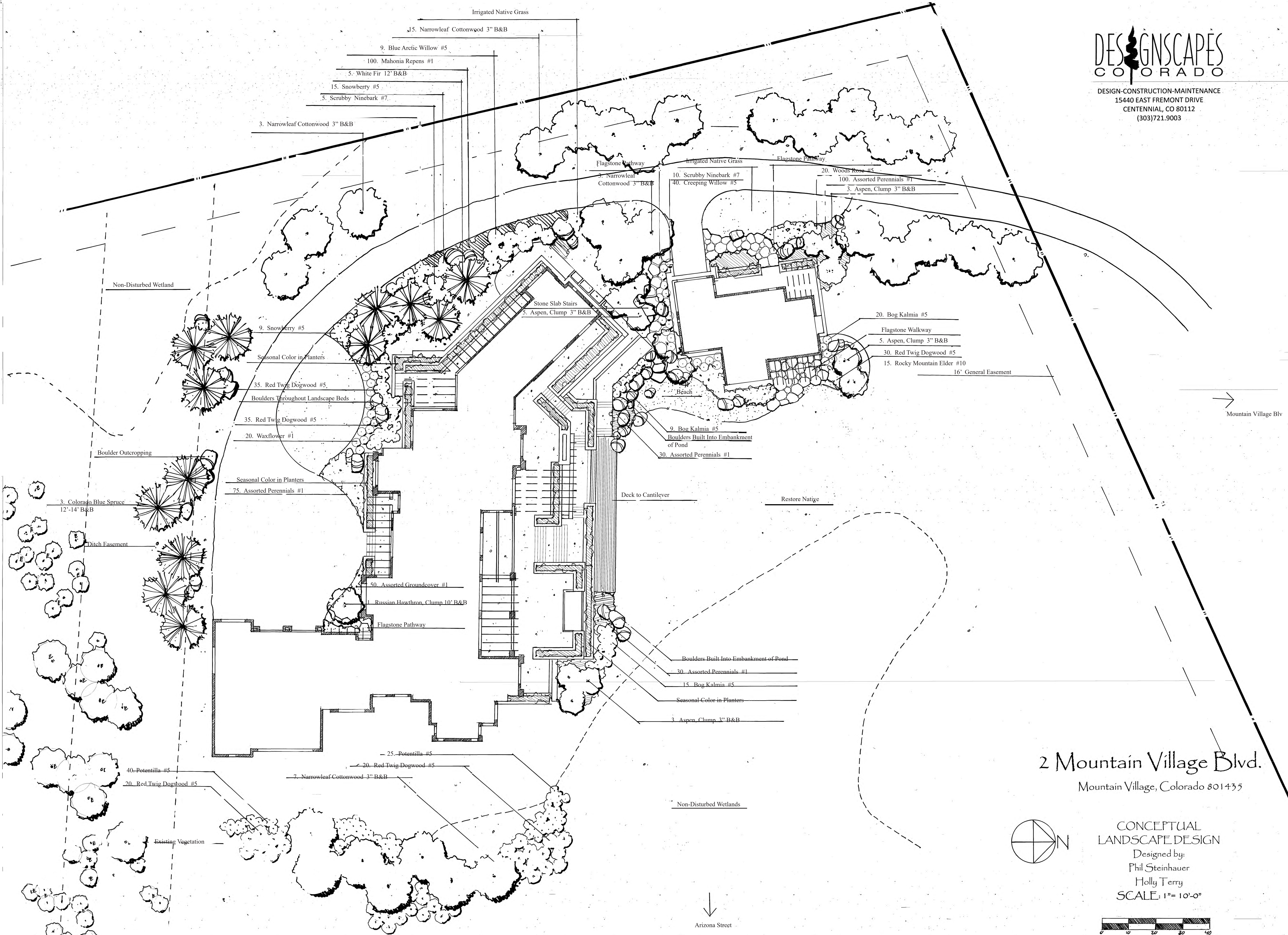
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Construction Mitigation

C4

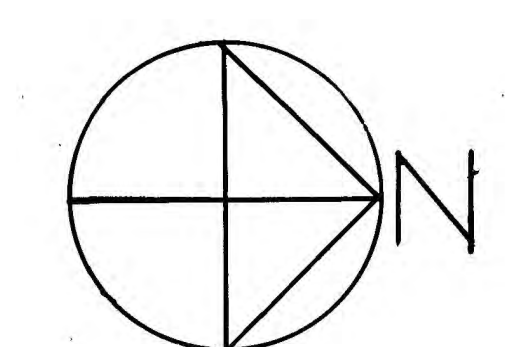




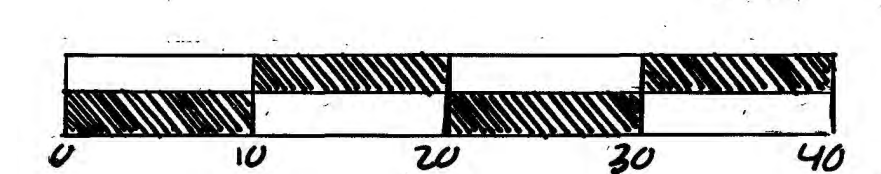


→ Mountain Village Blvd

2 Mountain Village Blvd.  
Mountain Village, Colorado 801435



CONCEPTUAL  
LANDSCAPE DESIGN  
Designed by:  
Phil Steinhauer  
Holly Terry  
SCALE: 1" = 10'-0"



↓ Arizona Street



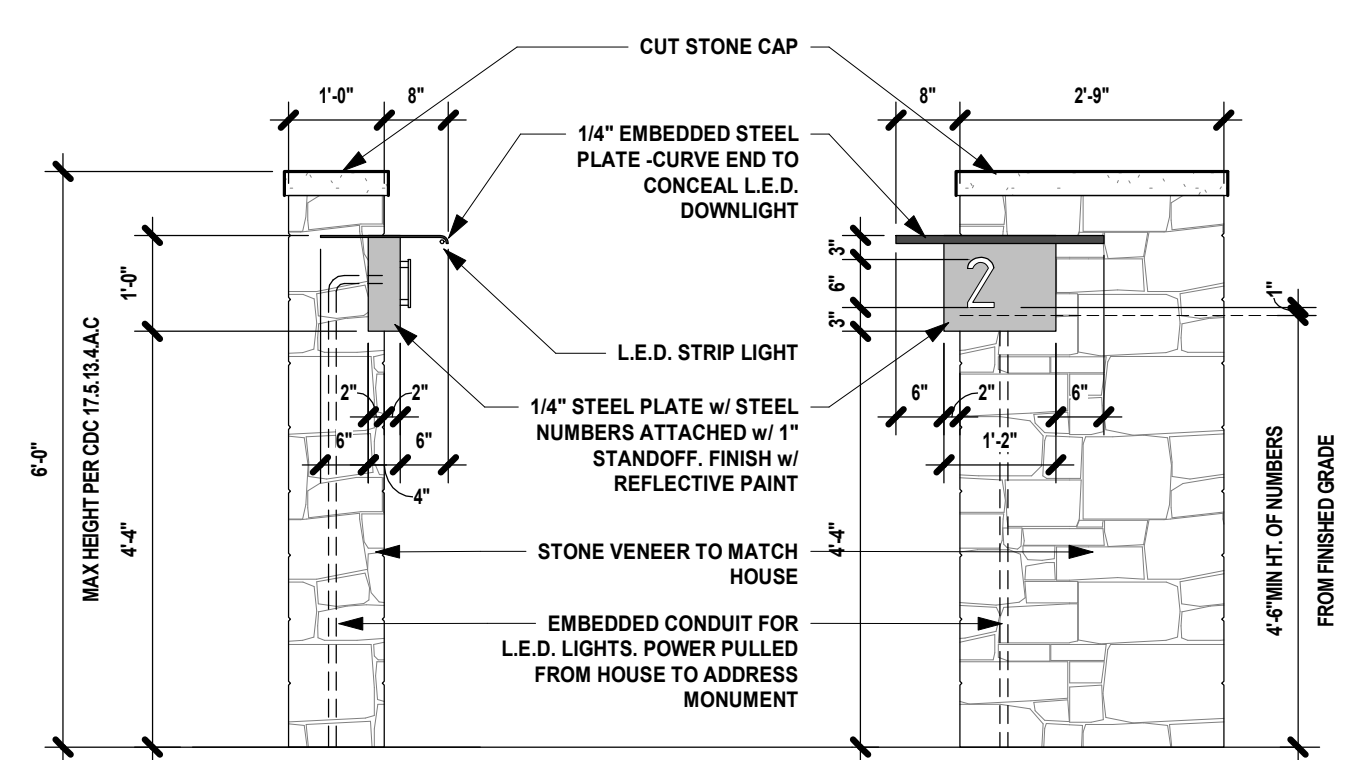


VIEW MOUNTAIN VILLAGE BLVD.



ASPHALT DRIVEWAY SHALL COMPLY WITH MOUNTAIN VILLAGE CDC GUIDELINES SECTION 17.6.6 12'-0" WIDTH WITH 2' SHOULDER AT EACH SIDE

T.O. MAIN HOUSE SHEATHING	=	9342.0
T.O. GARAGE SLAB AT DOOR	=	9342.0
T.O. GUEST HOUSE SHEATHING	=	9339.0
T.O. GUEST GARAGE SLAB	=	9329.5



**ADDRESS MONUMENT**

1/2" = 1'-0"

**SITE PLAN**

1/32" = 1'-0"

**NOT FOR CONSTRUCTION**

**OWNER**  
THE VAULT HOME COLLECTION  
450 S. OLD DIXIE HWY, SITE 8  
JUPITER, FL 33458

**CONTACT**  
305.710.4907

**CONTRACTOR**  
TOP NOTCH CONSTRUCTION  
8121 PRESERVE DR.  
TELLURIDE, CO 81435

**CODY ABBOTT**  
970.596.1014

**ARCHITECT**  
SHORT ELLIOTT HENDRICKSON, INC.  
934 MAIN AVENUE, SUITE C  
DURANGO, COLORADO 81301

**CONTACT: ALLISON MILLER**  
PHONE: 970.459.9017

2 MOUNTAIN VILLAGE BLVD  
**2 MOUNTAIN VILLAGE BLVD  
SPECULATIVE RESIDENCE**  
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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Project Status Issue Date DESIGN REVIEW BOARD 10.17.2022

Rev. #	Description	Date

ARCHITECTURAL SITE PLAN



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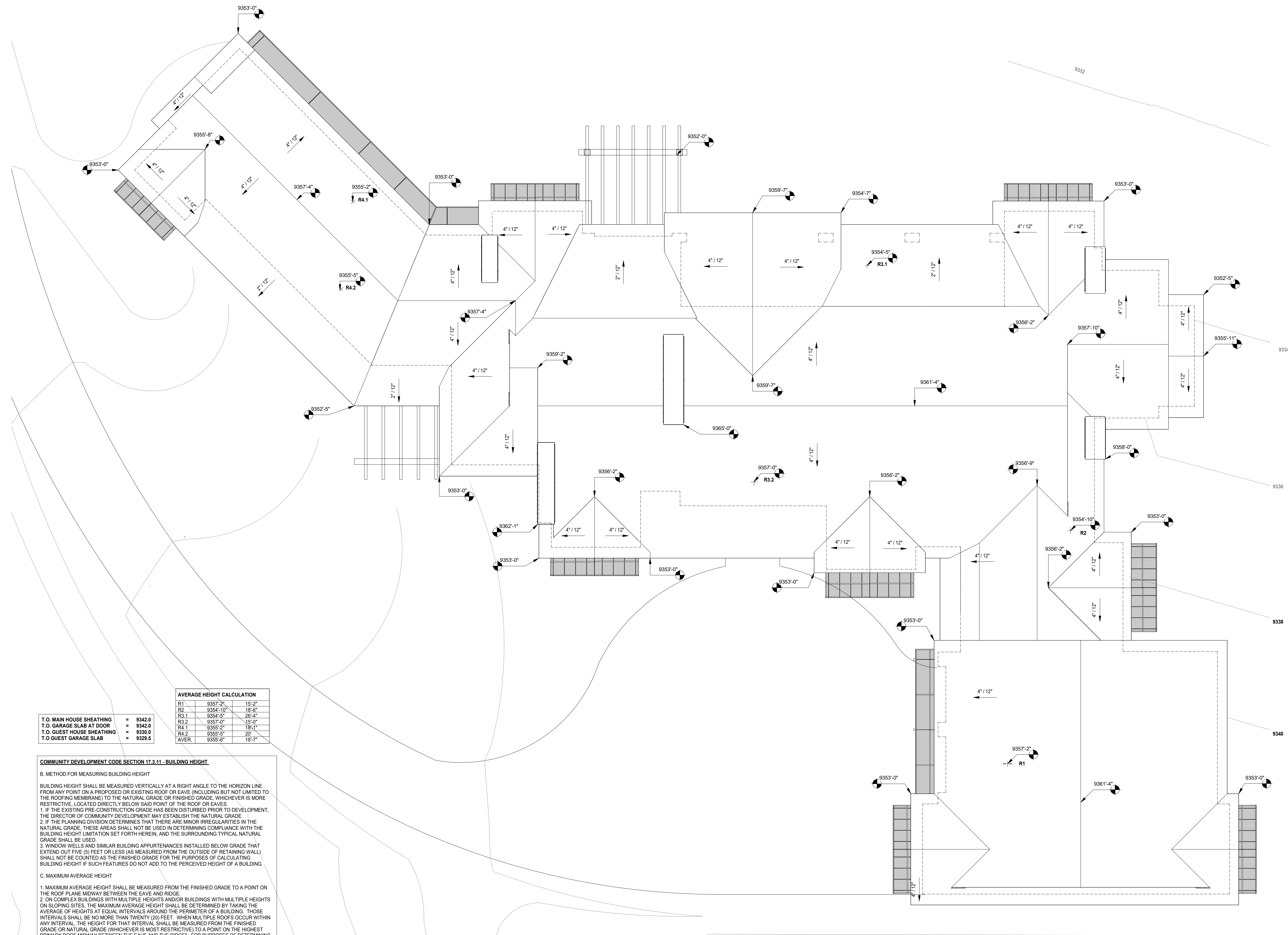
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PHONE: 970.459.9017



T.O. MAIN HOUSE SHEATHING	=	9342.0
T.O. GARAGE SLAB AT DOOR	=	9342.0
T.O. GUEST HOUSE SHEATHING	=	9330.0
T.O. GUEST GARAGE SLAB	=	9329.5

AVERAGE HEIGHT CALCULATION		
R1	9357'-2"	15'-2"
R2	9354'-10"	18'-6"
R3.1	9354'-5"	20'-4"
R3.2	9357'-0"	15'-0"
R4.1	9355'-2"	18'-1"
R4.2	9355'-5"	20'
AVER	9355'-6"	19'-7"

**COMMUNITY DEVELOPMENT CODE SECTION 17.3.1 - BUILDING HEIGHT**

**B. METHOD FOR MEASURING BUILDING HEIGHT**

BUILDING HEIGHT SHALL BE MEASURED VERTICALLY AT A RIGHT ANGLE TO THE HORIZON LINE FROM ANY POINT ON A PROPOSED OR EXISTING ROOF OR EAVE (INCLUDING BUT NOT LIMITED TO THE ROOFING MEMBRANE) TO THE NATURAL GRADE OR FINISHED GRADE, WHICHEVER IS MORE RESTRICTIVE, LOCATED DIRECTLY BELOW SAID POINT OF THE ROOF OR EAVE.

1. IF THE EXISTING PRE-CONSTRUCTION GRADE HAS BEEN DISTURBED PRIOR TO DEVELOPMENT, THE DIRECTOR OF COMMUNITY DEVELOPMENT MAY ESTABLISH THE NATURAL GRADE.

2. IF THE PLANNING DIVISION DETERMINES THAT THERE ARE MINOR IRREGULARITIES IN THE NATURAL GRADE, THESE AREAS SHALL NOT BE USED IN DETERMINING COMPLIANCE WITH THE BUILDING HEIGHT LIMITATION SET FORTH HEREIN, AND THE SURROUNDING TYPICAL NATURAL GRADE SHALL BE USED.

3. WINDOW WELLS AND SIMILAR BUILDING APPURTENANCES INSTALLED BELOW GRADE THAT EXTEND OUT FIVE (5) FEET OR LESS (AS MEASURED FROM THE OUTSIDE OF RETAINING WALL) SHALL NOT BE COUNTED AS THE FINISHED GRADE FOR THE PURPOSES OF CALCULATING BUILDING HEIGHT IF SUCH FEATURES DO NOT ADD TO THE PERCEIVED HEIGHT OF A BUILDING.

**C. MAXIMUM AVERAGE HEIGHT**

1. MAXIMUM AVERAGE HEIGHT SHALL BE MEASURED FROM THE FINISHED GRADE TO A POINT ON THE ROOF PLANE MIDWAY BETWEEN THE EAVE AND RIDGE.

2. ON COMPLEX BUILDINGS WITH MULTIPLE HEIGHTS AND/OR BUILDINGS WITH MULTIPLE HEIGHTS ON SLOPING SITES, THE MAXIMUM AVERAGE HEIGHT SHALL BE DETERMINED BY TAKING THE AVERAGE OF HEIGHTS AT EQUAL INTERVALS AROUND THE PERIMETER OF A BUILDING. THOSE INTERVALS SHALL BE NO MORE THAN TWENTY (20) FEET. WHEN MULTIPLE ROOFS OCCUR WITHIN ANY INTERVAL, THE HEIGHT FOR THAT INTERVAL SHALL BE MEASURED FROM THE FINISHED GRADE OR NATURAL GRADE (WHICHEVER IS MOST RESTRICTIVE) TO A POINT ON THE HIGHEST PRIMARY ROOF MIDWAY BETWEEN THE EAVE AND THE RIDGE\*\*. FOR PURPOSES OF DETERMINING THE MAXIMUM AVERAGE HEIGHT ON COMPLEX BUILDINGS, A ROOF SHALL HAVE A HORIZONTAL PROJECTION OF AT LEAST TEN (10) FEET. THIS DEFINITION DOES NOT INTEND TO ALLOW STRATEGIES TO CIRCUMVENT THE INTENTION OF THE MAXIMUM AVERAGE HEIGHT LIMITATION THROUGH SUCH RELATIONSHIPS AS HIGH-RISE STRUCTURES SURROUNDED BY LOW SECONDARY ROOFS.\*\*

**HEIGHT LIMIT ANALYSIS**

1/8" = 1'-0"



2 MOUNTAIN VILLAGE BLVD  
**2 MOUNTAIN VILLAGE BLVD  
SPECULATIVE RESIDENCE**  
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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Project Number AM NM Issue Date 10.17.2022

Revision Issue Rev. # Description Date

HEIGHT LIMIT ANALYSIS



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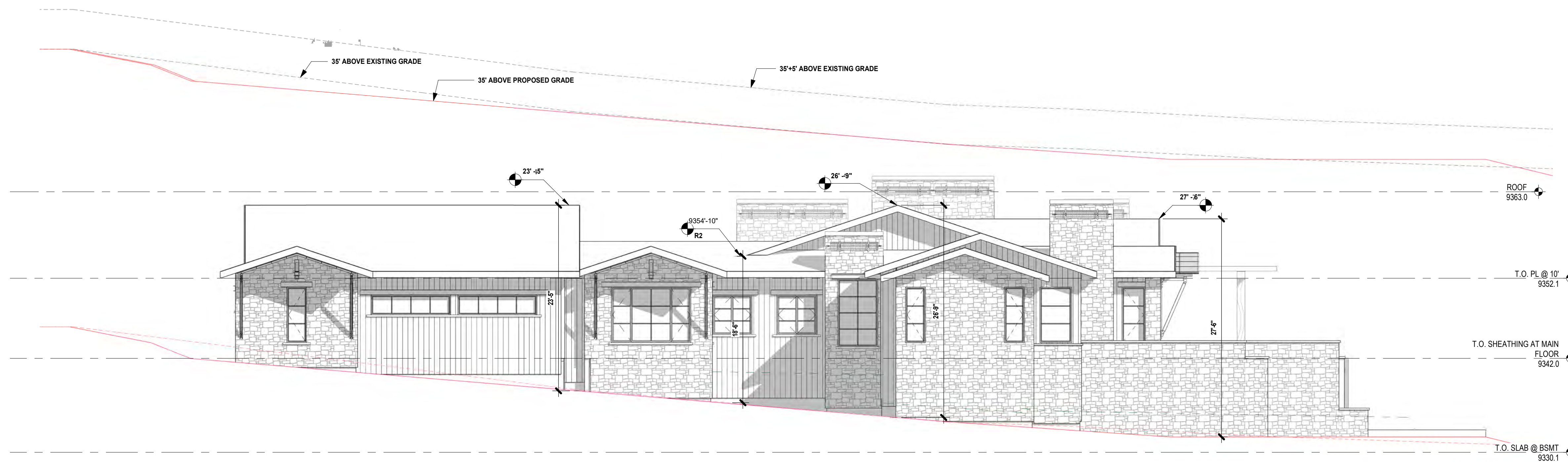
**CONTACT**  
305.710.4907

**CONTRACTOR**  
TOP NOTCH CONSTRUCTION  
8121 PRESERVE DR.  
TELLURIDE, CO 81435

**CODY ABBOTT**  
970.596.1014

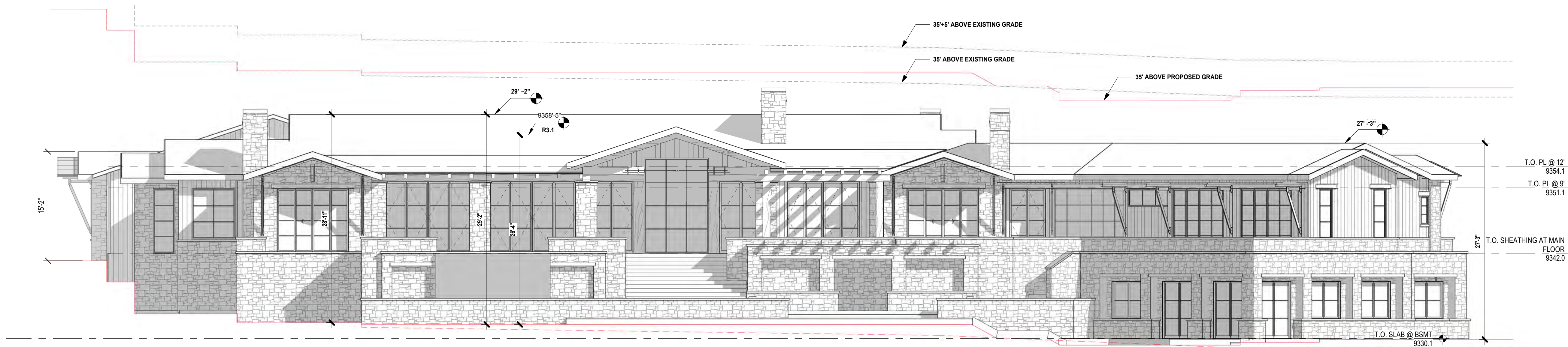
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934 MAIN AVENUE, SUITE C  
DURANGO, COLORADO 81301

**CONTACT: ALLISON MILLER**  
PHONE: 970.459.9017



### East Elevation Height

1/8" = 1'-0"



### North Elevation Height

1/8" = 1'-0"

2 MOUNTAIN VILLAGE BLVD  
**2 MOUNTAIN VILLAGE BLVD  
SPECULATIVE RESIDENCE**  
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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Drawn By	NM
Project Status	Issue Date
DESIGN REVIEW BOARD	10.17.2022

Revision Issue		
Rev. #	Description	Date

HEIGHT LIMIT ANALYSIS  
ELEVATIONS

**A0.5**



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CONSTRUCTION

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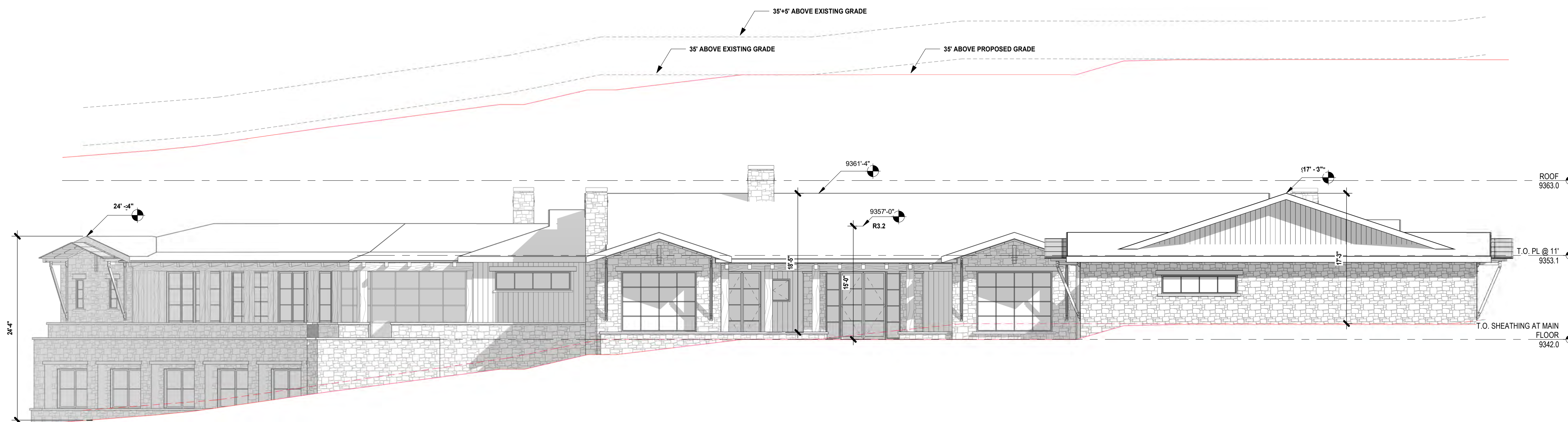
**CONTACT**  
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TELLURIDE, CO 81435

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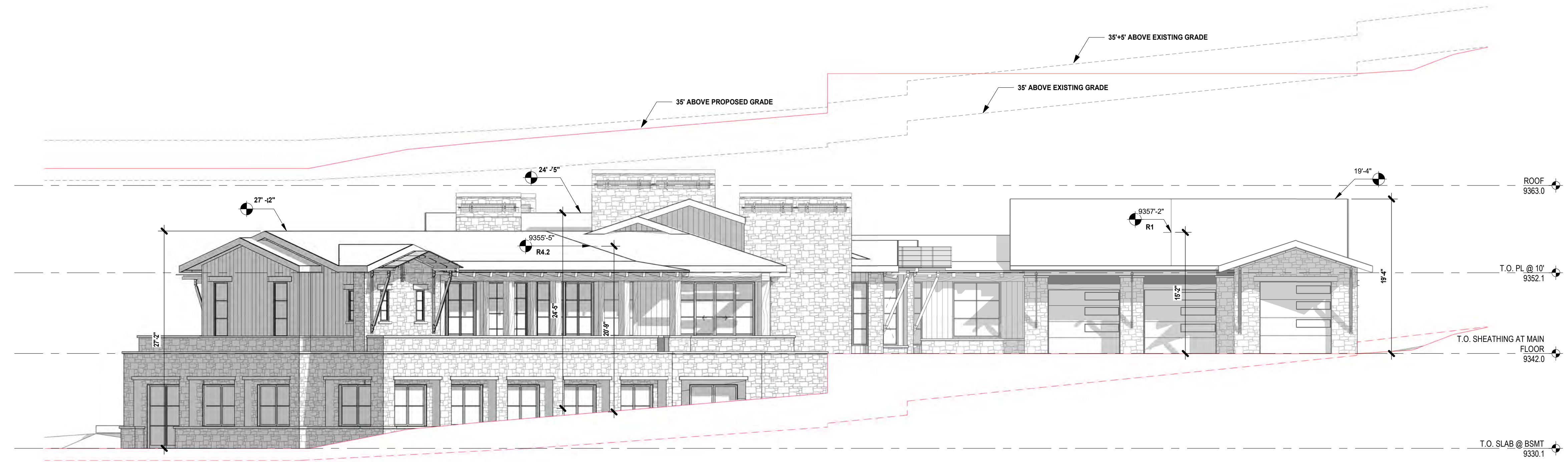
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DURANGO, COLORADO 81301

**CONTACT: ALLISON MILLER**  
PHONE: 970.459.9017



### South Elevation Height

1/8" = 1'-0"



### West Elevation Height

1/8" = 1'-0"

2 MOUNTAIN VILLAGE BLVD  
2 MOUNTAIN VILLAGE BLVD  
SPECULATIVE RESIDENCE  
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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Project Number AM NM  
Issue Date 10.17.2022

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Rev. # Description Date

HEIGHT LIMIT ANALYSIS  
ELEVATIONS

A0.6



NOT FOR  
CONSTRUCTION

OWNER  
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450 S. OLD DIXIE HWY, SITE 8  
JUPITER, FL 33458

CONTACT  
305.710.4907

CONTRACTOR  
TOP NOTCH CONSTRUCTION  
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TELLURIDE, CO 81435

CODY ABBOTT  
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ARCHITECT  
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CONTACT: ALLISON MILLER  
PHONE: 970.459.9017

2 MOUNTAIN VILLAGE BLVD  
2 MOUNTAIN VILLAGE BLVD  
SPECULATIVE RESIDENCE  
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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Rev. # Description Date

LIGHT

A0.7

**EXTERIOR FIXTURE A:**  
**EUROFASE "34898-30" RECESSED LED**

LUMENS: 810  
COLOR TEMP: 3000 K  
LAMP TYPE: LED  
WATTS: 12

**EUROfase** INC.  
TEL 905.695.2055 toll free 1.800.680.5391  
FAX 905.695.2056 toll free 1.800.680.5390  
33 West Beaver Creek Road Richmond Hill, Ontario Canada L4B 1L8

**34898-30, 3.5-INCH SQUARE LED RECESSED, 12W**

**PRODUCT DETAILS**

No. 34898-30-01  
Product Color BLACK  
Length 4.5"  
Width 4.5"  
Height 2.875"

**LIGHT SOURCE DETAILS**

Light Source Type INTEGRATED LED  
Input Voltage 120V  
Bulb Voltage 120V  
Socket Type LED  
Total Wattage 12W  
Total Lumens 810lm  
CRI 90  
Dimmable Yes

**OPTIONS AVAILABLE**

ITEM NO. FINISH SHADE  
34898-30-01 BLACK  
34898-30-02 WHITE

**TECHNICAL DETAILS**

Location Approved  
Title 24  
Beam Angle 40°  
Cut Hole Diameter 3.75"

DAMP  
Yes  
No  
Yes  
No  
Yes  
No

**PROJECT INFORMATION**

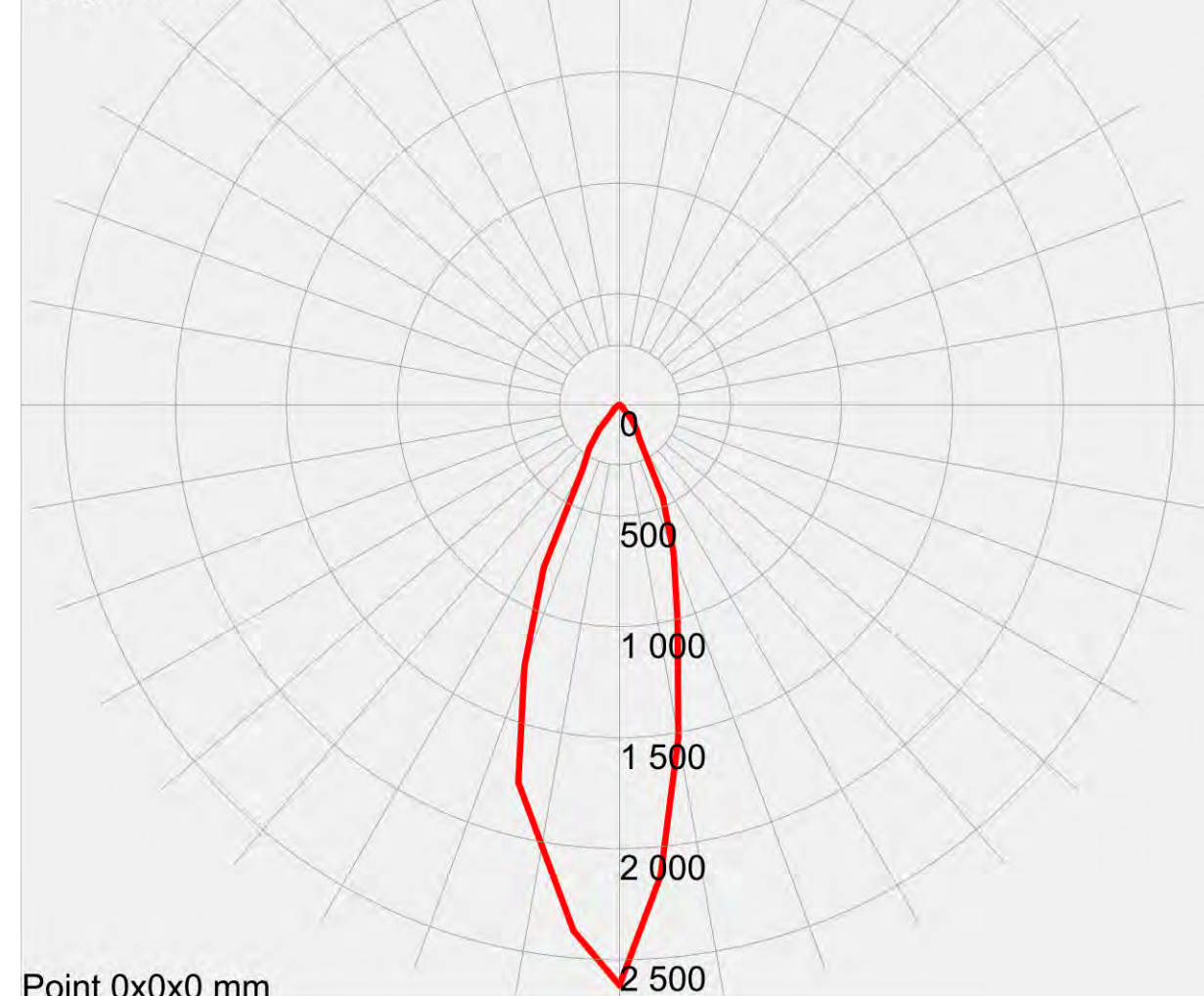
Job Name: \_\_\_\_\_ Date: \_\_\_\_\_ Category: \_\_\_\_\_  
Comments: \_\_\_\_\_

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DESIGN WITH LIGHT  
LIGHT WITH DESIGN

Lamp=810.05 lm  
Max=2 687.5 cd/klm  
Power=11 W  
Multiplier=0.81005  
Degrees=0

Type B



**EXTERIOR FIXTURE B:**  
**DELTA "HELI X" SCREEN LED**

LUMENS: 120  
COLOR TEMP: 3000 K  
LAMP TYPE: LED  
WATTS: 1

**HELI X SCREEN LED WW**  
6 202 04 22



Cutout shape/size: 2" 15/16 x 3" 7/16

Recessed depth: 2" 3/8

Available colors: ALU GREY (6 202 04 22 A)  
DARK GREY (6 202 04 22 N)

LED 1.1W / 3000K x 1 LED 1.1W / CRI=80 / 3000K / 120lm  
EXCL. LED POWER SUPPLY 350mA-DC  
For other CRI or KELVIN, contact factory

LED Technics: Light source: 120 lm / 1 W // 122 lm/W  
Luminaire: 18 lm / 2 W // 9 lm/W

Class 2: Yes

Ada: N.a.

Weight: 0.7 LBS

Protection level: IP54 - suitable for wet locations

Minimum distance: n.a.

Options: CONCRETE BOX 187

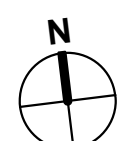
Requirements:  
LED POWER SUPPLY 350mA-DC DIM (Remote)  
For detailed installation instructions, please consult the manual: [S\\_202\\_04\\_02\\_HXWD.pdf](#)

**Specification Sheet**



**EXTERIOR LIGHT PLAN**

1" = 10'-0"





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CONSTRUCTION

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450 S. OLD DIXIE HWY, SITE 8  
JUPITER, FL 33458

CONTACT  
305.710.4907

CONTRACTOR  
TOP NOTCH CONSTRUCTION  
8121 PRESERVE DR.  
TELLURIDE, CO 81435

CODY ABBOTT  
970.596.1014

ARCHITECT  
SHORT ELLIOTT HENDRICKSON, INC.  
934 MAIN AVENUE, SUITE C  
DURANGO, COLORADO 81301

CONTACT: ALLISON MILLER  
PHONE: 970.459.9017

2 MOUNTAIN VILLAGE BLVD  
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

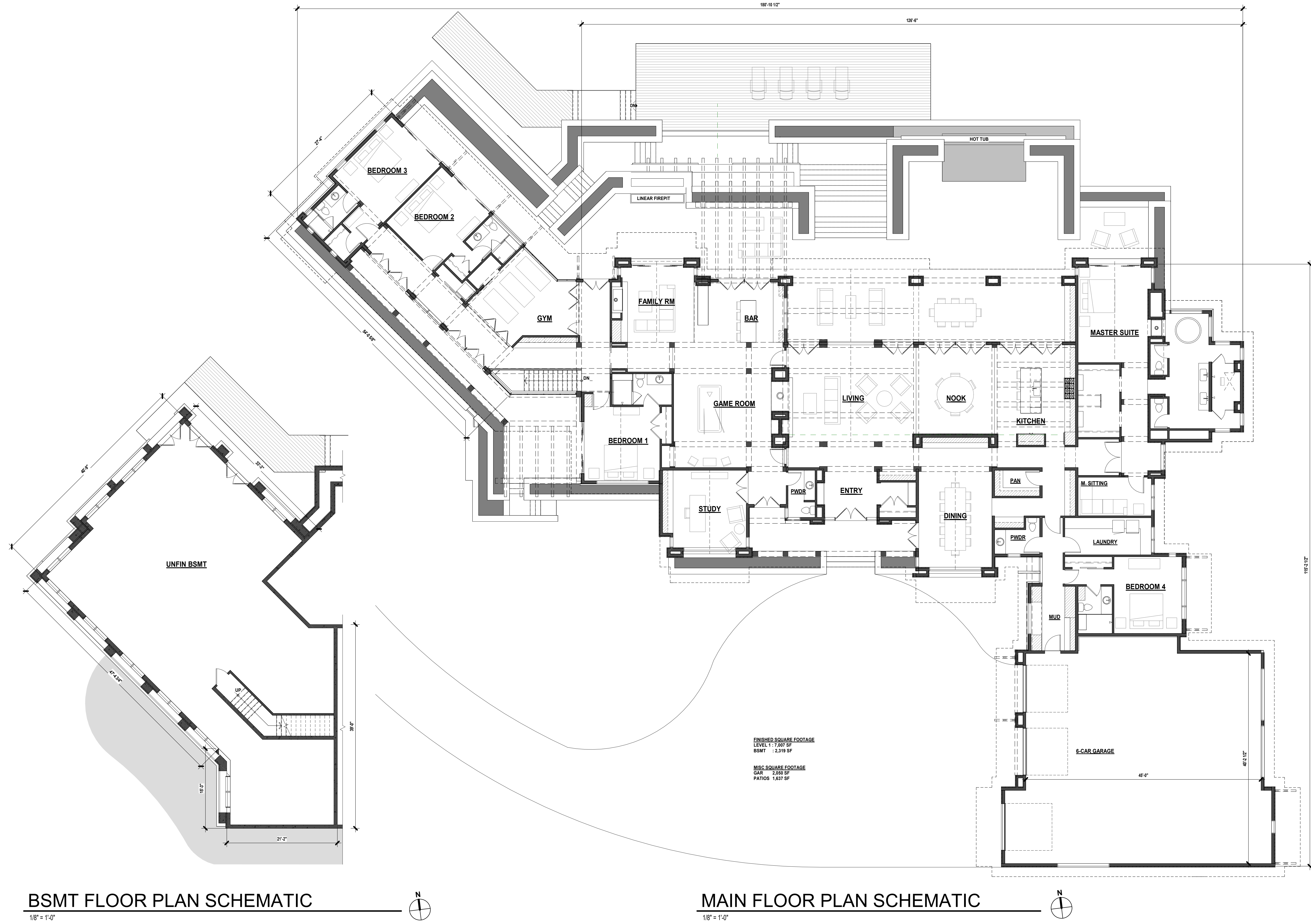
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Rev. # Description Date

FLOOR PLANS

A.1



FINISHED SQUARE FOOTAGE  
LEVEL 1 : 7,007 SF  
BSMT : 2,319 SF

MISC SQUARE FOOTAGE  
GAR : 2,050 SF  
PATIOS : 1,637 SF

BSMT FLOOR PLAN SCHEMATIC

MAIN FLOOR PLAN SCHEMATIC

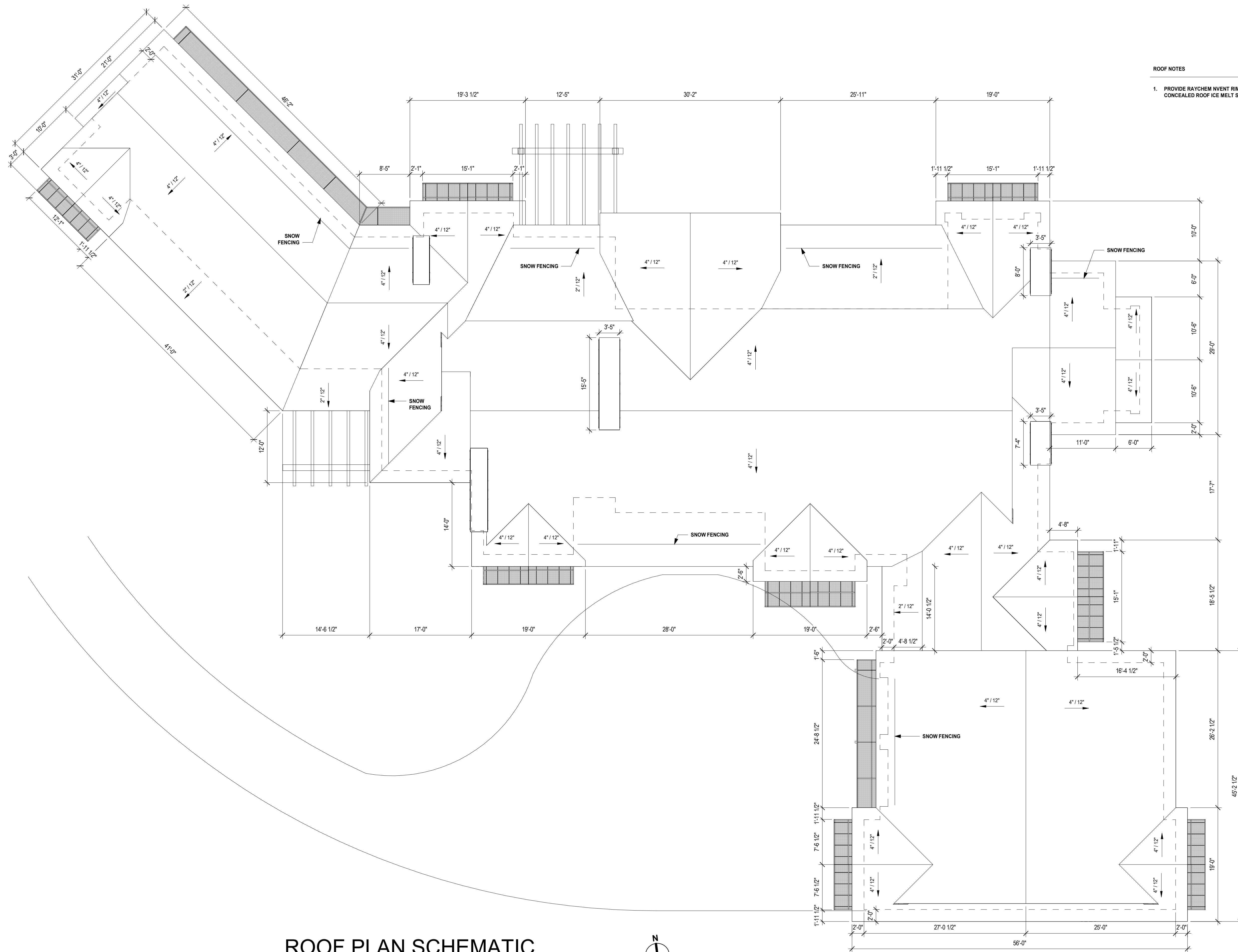
1/8" = 1'-0"

1/8" = 1'-0"

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**ROOF NOTES**

1. PROVIDE RAYCHEM INVENT RIM EAVE SYSTEM CONCEALED ROOF ICE MELT SYSTEM



**ROOF PLAN SCHEMATIC**

1/8" = 1'-0"



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2 MOUNTAIN VILLAGE BLVD  
**2 MOUNTAIN VILLAGE BLVD  
SPECULATIVE RESIDENCE**  
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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ROOF PLAN



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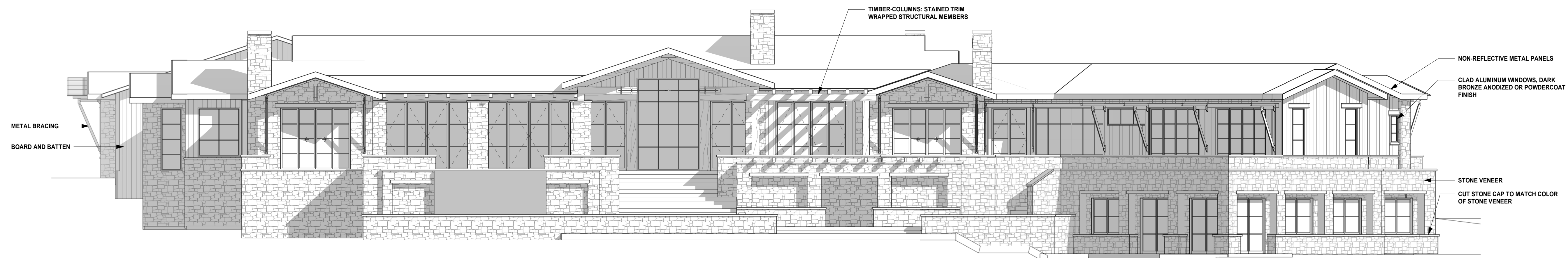
**East Elevation**

1/8" = 1'-0"



**South Elevation**

1/8" = 1'-0"



**North Elevation**

1/8" = 1'-0"



**West Elevation**

1/8" = 1'-0"

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2 MOUNTAIN VILLAGE BLVD  
**2 MOUNTAIN VILLAGE BLVD  
SPECULATIVE RESIDENCE**  
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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ELEVATIONS



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2 MOUNTAIN VILLAGE BLVD  
2 MOUNTAIN VILLAGE BLVD  
SPECULATIVE RESIDENCE  
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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MATERIAL CALCULATIONS



MATERIALS LEGEND	
STONE	[Stone swatch]
METAL	[Metal swatch]
WOOD	[Wood swatch]
GLAZING	[Glazing swatch]
SIDING	[Siding swatch]

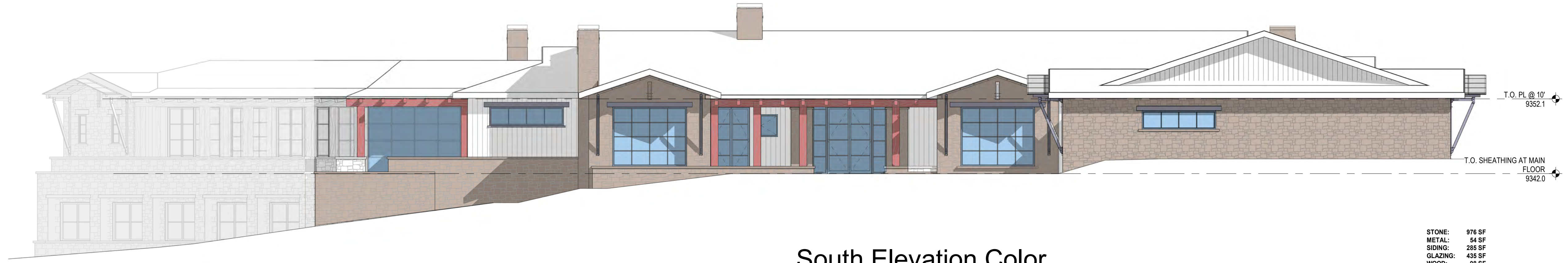
  

MATERIALS AREAS		
MATERIAL	AREA (S.F.)	PERCENTAGE
STONE	5,865	56%
METAL	491	5%
WOOD	371	4%
GLAZING	2,438	23%
SIDING	1,336	13%
<b>TOTAL</b>	<b>10,501</b>	<b>100%</b>

SURFACES ARE HIGHLIGHTED AND AREAS CALCULATED IN THE VIEW WHICH IS PARALLEL TO THAT SURFACE. SURFACES AT AN ANGLE RELATIVE TO A VIEW PLANE ARE NOT HIGHLIGHTED OR CALCULATED IN THAT VIEW.

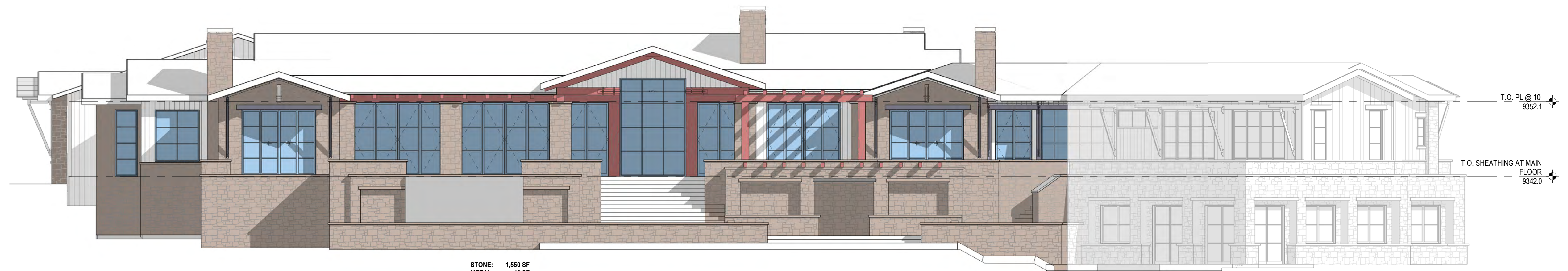
**East Elevation Color**  
1/8" = 1'-0"

STONE:	1,442 SF
METAL:	52 SF
SIDING:	580 SF
GLAZING:	313 SF



**South Elevation Color**  
1/8" = 1'-0"

STONE:	976 SF
METAL:	54 SF
SIDING:	285 SF
GLAZING:	435 SF
WOOD:	88 SF



**North Elevation Color**  
1/8" = 1'-0"

STONE:	1,550 SF
METAL:	42 SF
SIDING:	113 SF
GLAZING:	768 SF
WOOD:	155 SF



**West Elevation Color**  
1/8" = 1'-0"

STONE:	556 SF
METAL:	258 SF
SIDING:	62 SF
GLAZING:	200 SF
WOOD:	38 SF



NOT FOR  
CONSTRUCTION

MATERIALS LEGEND		MATERIALS AREAS	
STONE		MATERIAL	AREA (S.F.)
METAL		PERCENTAGE	
WOOD		STONE	5,865
GLAZING		METAL	491
SIDING		WOOD	371
		GLAZING	2,438
		SIDING	1,336
		TOTAL	10,501

SURFACES ARE HIGHLIGHTED AND AREAS CALCULATED IN THE VIEW WHICH IS PARALLEL TO THAT SURFACE.  
SURFACES AT AN ANGLE RELATIVE TO A VIEW PLANE ARE NOT HIGHLIGHTED OR CALCULATED IN THAT VIEW.

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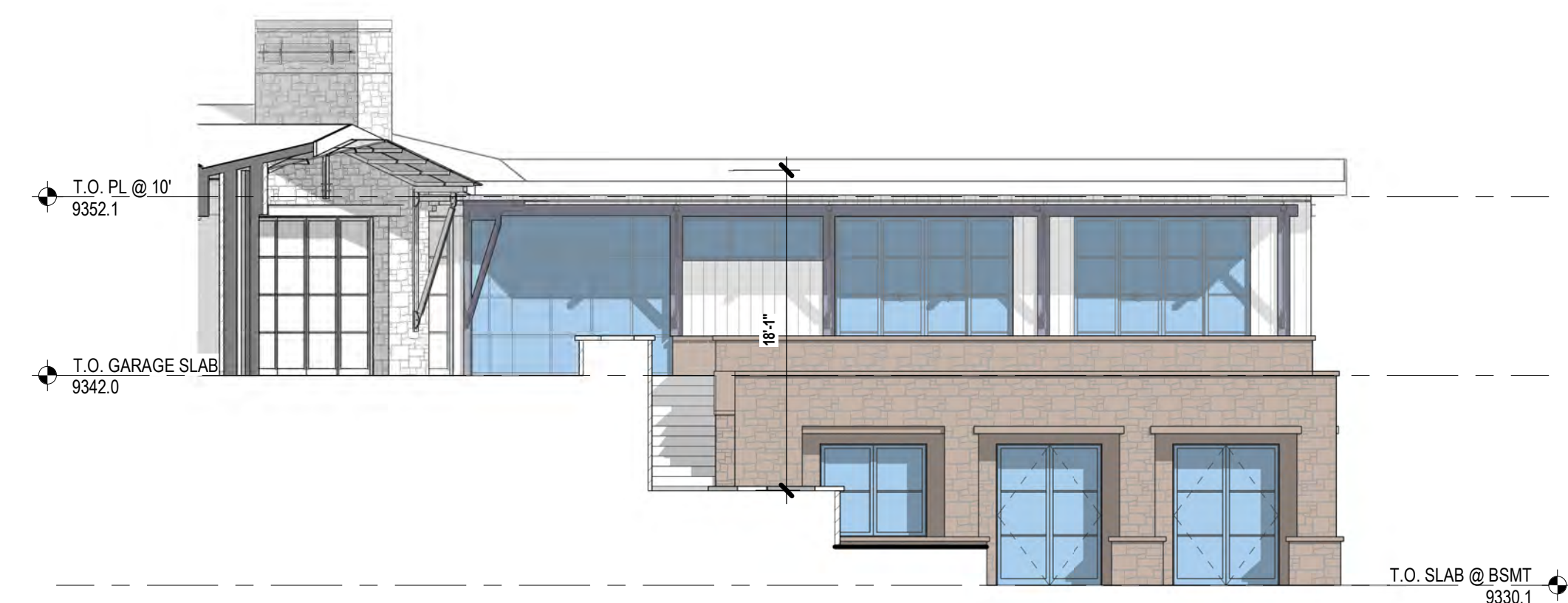
**CONTACT**  
305.710.4907

**CONTRACTOR**  
TOP NOTCH CONSTRUCTION  
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**CODY ABBOTT**  
970-596-1014

**ARCHITECT**  
SHORT ELLIOTT HENDRICKSON, INC.  
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DURANGO, COLORADO 81301

**CONTACT: ALLISON MILLER**  
PHONE: 970.459.9017



**SOUTHWEST ELEV COLOR**

1/8" = 1'-0"

STONE:	315 SF
METAL:	87 SF
SIDING:	92 SF
GLAZING:	370 SF



**NORTHEAST ELEV COLOR**

1/8" = 1'-0"

STONE:	540 SF
METAL:	9 SF
GLAZING:	170 SF
WOOD:	80 SF



**SOUTHEAST ELEV COLOR**

1/8" = 1'-0"

STONE:	486 SF
METAL:	13 SF
SIDING:	203 SF
GLAZING:	182 SF

2 MOUNTAIN VILLAGE BLVD  
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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MATERIAL CALCULATIONS



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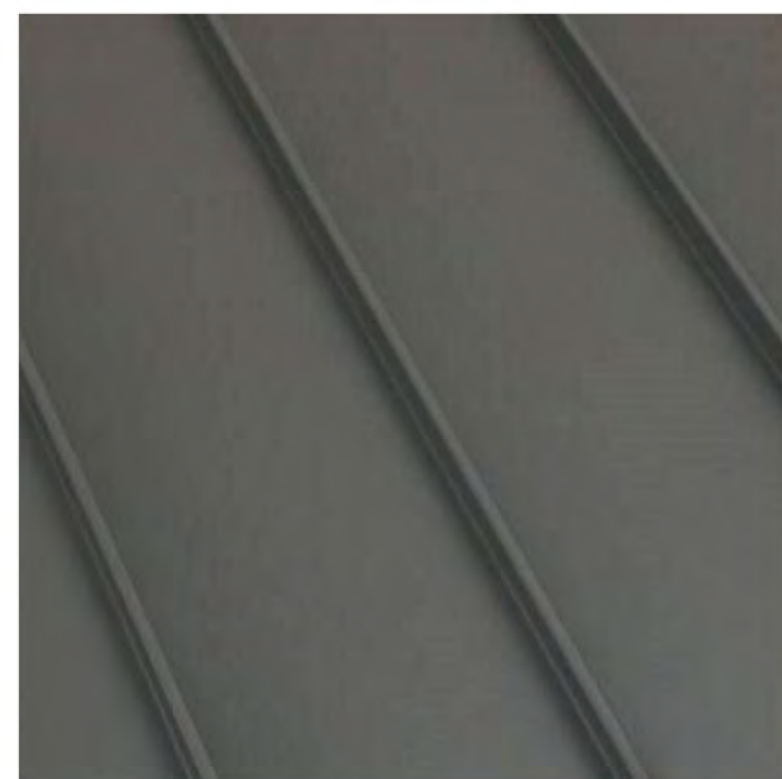
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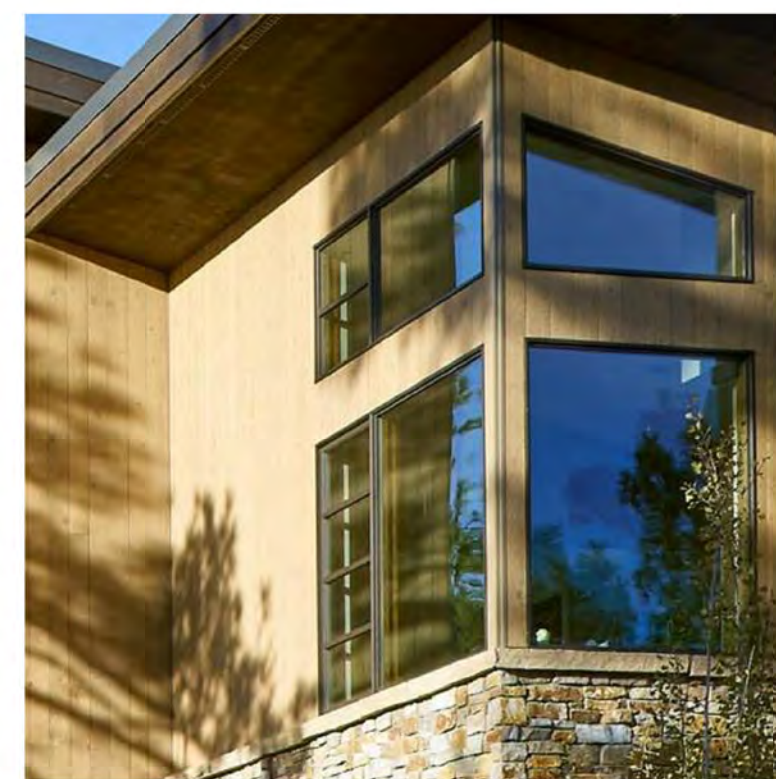
**CONTACT: ALLISON MILLER**  
PHONE: 970.459.9017



ROOFING: STANDING SEAM METAL, BROWN



EXTERIOR SOFFIT: T&G CLEAR CEDAR



WINDOW CLADDING: DARK BRONZE ANODIZED ALUMINUM



TIMBER COLUMNS



STONE VENEER



WINDOW CLADDING: DARK BRONZE ANODIZED ALUMINUM

CHIMNEY CAPS: DARK BRONZE ANODIZED ALUMINUM



FASCIA: ALUMINUM COMPOSITE PANEL



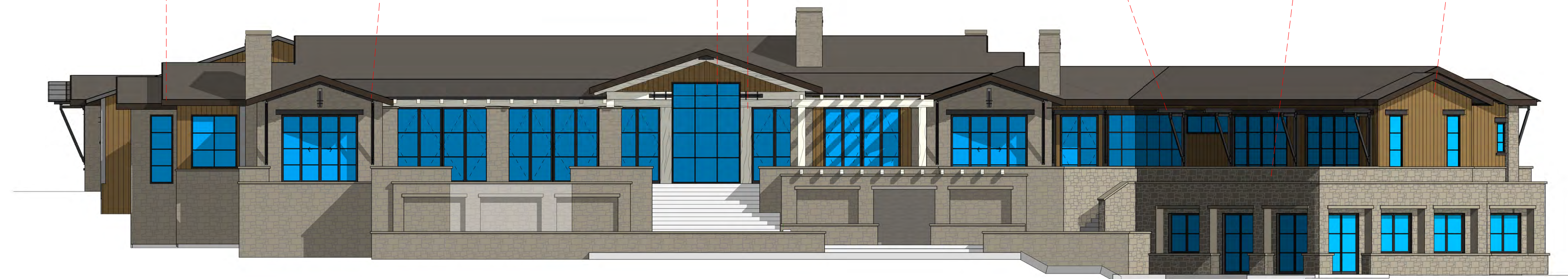
STEEL STRUCTURE: EXPOSED WIDE FLANGE STEEL, DARKING BLUING FINISH OR OIL RUB



STONE VENEER: BLUE MOUNTAIN LEDGESTONE



BOARD AND BATTEN FINISH



# MATERIALS DIAGRAM

1/8" = 1'-0"

2 MOUNTAIN VILLAGE BLVD  
2 MOUNTAIN VILLAGE BLVD  
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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EXTERIOR MATERIAL DIAGRAM



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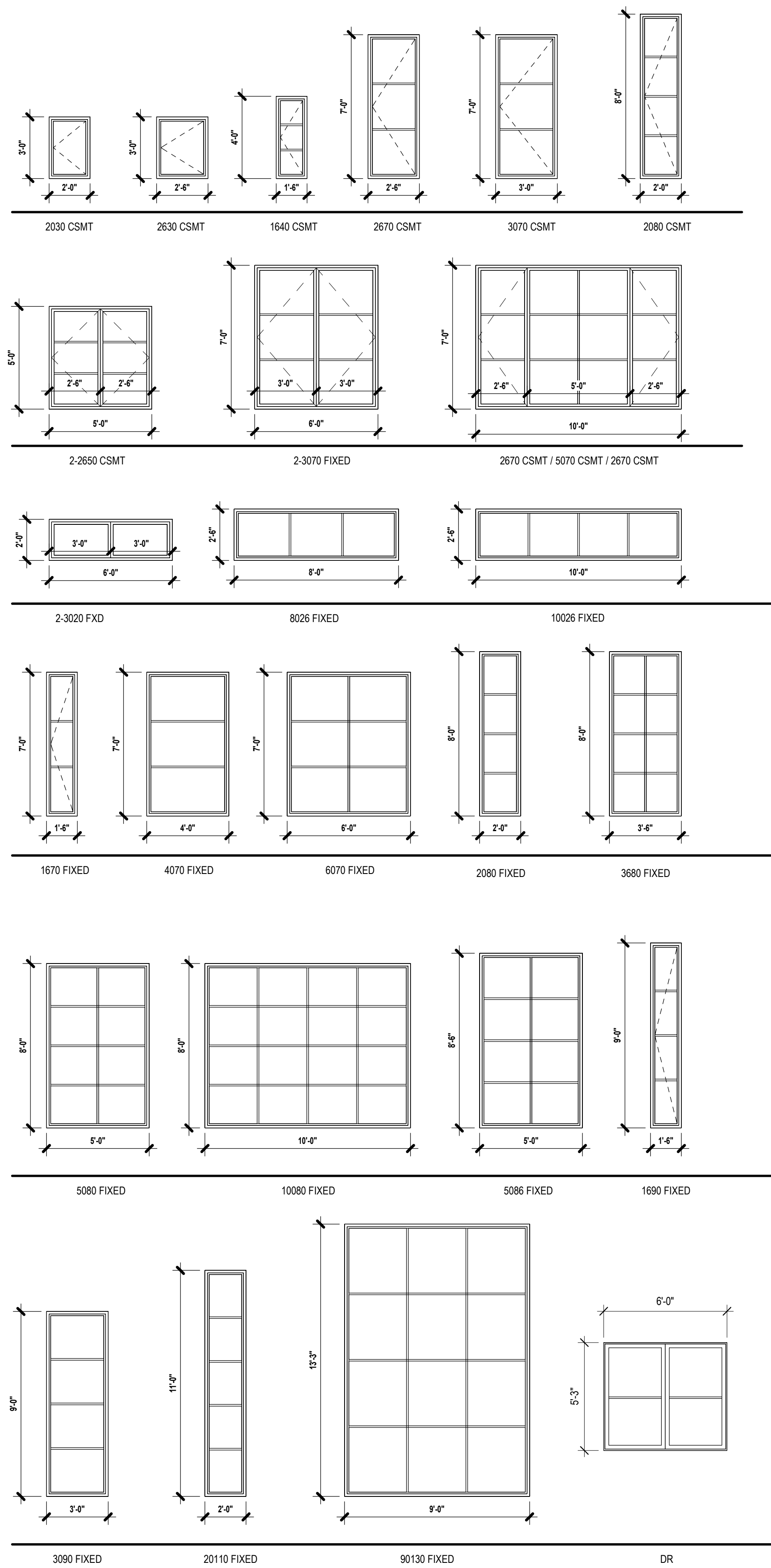
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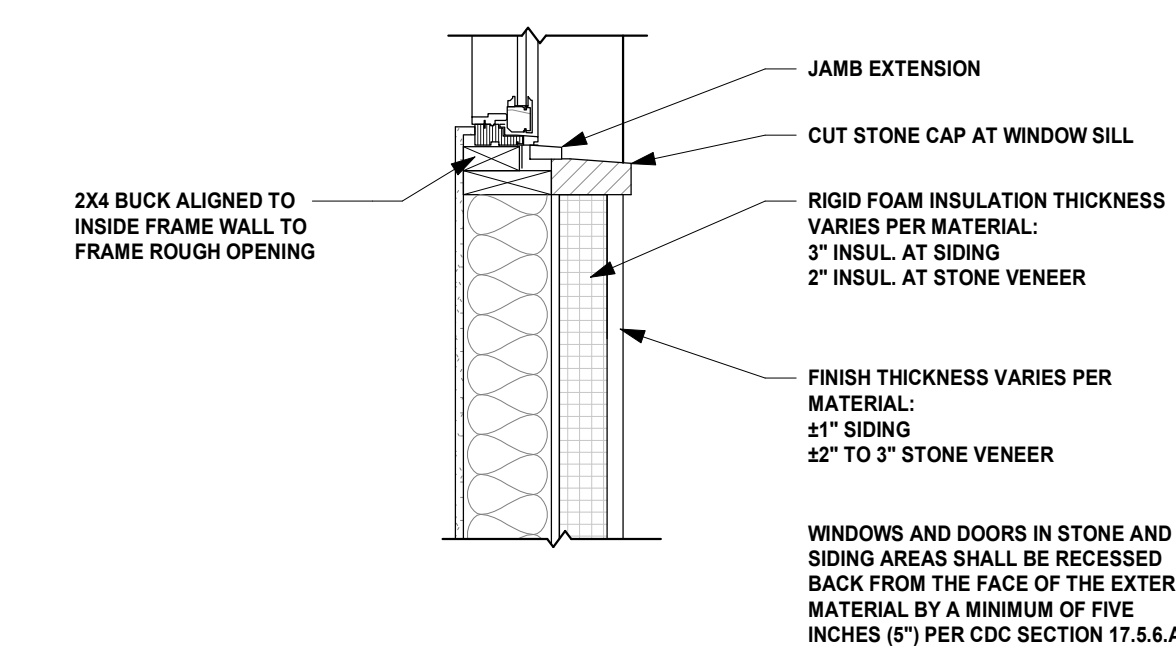


## WINDOW TYPES

1/4" = 1'-0"

WINDOW SCHEDULE			
MARK	WINDOW TYPE	GENERIC SIZE	
		WIDTH	HEIGHT
243	2-2650 CSMT	5'-0"	5'-0"
244	2-2650 CSMT	5'-0"	5'-0"
162	2-3020 FXD	6'-0"	2'-0"
130	2-3070 CSMT	6'-0"	7'-0"
235	1640 CSMT	1'-6"	4'-0"
236	1640 CSMT	1'-6"	4'-0"
267	1640 CSMT	1'-6"	4'-0"
255	1670 FXD	1'-6"	7'-0"
259	1690 FXD	1'-6"	9'-0"
262	1690 FXD	1'-6"	9'-0"
263	1690 FXD	1'-6"	9'-0"
76	2030 CSMT	2'-0"	3'-0"
269	2080 CSMT	2'-0"	8'-0"
264	2080 FXD	2'-0"	8'-0"
288	2080 FXD	2'-0"	8'-0"
75	2630 CSMT	2'-6"	3'-0"
77	2630 CSMT	2'-6"	3'-0"
145	2670 CSMT	2'-6"	7'-0"
146	2670 CSMT	2'-6"	7'-0"
156	2670 CSMT	2'-6"	7'-0"
246	2670 CSMT	2'-6"	7'-0"
67	2670 CSMT / 5070 FXD / 2670 CSMT	10'-0"	7'-0"
261	3070 CSMT	3'-0"	7'-0"
249	3090 FXD	3'-0"	9'-0"
250	3090 FXD	3'-0"	9'-0"
167	3680 FXD	3'-6"	8'-0"
168	3680 FXD	3'-6"	8'-0"
257	4070 FXD	4'-0"	7'-0"
252	5080 FXD	5'-0"	8'-0"
245	5086 FXD	5'-0"	8'-6"
251	6070 FXD	6'-0"	7'-0"
258	6070 FXD	6'-0"	7'-0"
210	8026 FXD	8'-0"	2'-6"
163	10026 FXD	10'-0"	2'-6"
237	10026 FXD	10'-0"	2'-6"
239	10026 FXD	10'-0"	2'-6"
242	10026 FXD	10'-0"	2'-6"
266	10080 FXD	10'-0"	8'-0"
270	10080 FXD	10'-0"	8'-0"
126	20110 FXD	2'-0"	11'-0"
127	20110 FXD	2'-0"	11'-0"
120	90130 FXD	9'-0"	13'-3"
172	DR	8'-0"	9'-0"
173	DR	8'-0"	9'-0"
178	DR	8'-0"	9'-0"
182	DR	8'-0"	9'-0"
183	DR	8'-0"	9'-0"
213	DR	8'-0"	9'-0"
180	DR 8'W 7'-6"H	8'-0"	7'-6"
174	WDW	8'-0"	6'-6"
175	WDW	8'-0"	6'-6"
176	WDW	8'-0"	6'-6"
186	WDW	8'-0"	6'-6"
203	WDW	8'-0"	6'-6"
204	WDW	8'-0"	6'-6"
221	WDW	8'-0"	6'-6"
181	WDW 8'W 5'H	8'-0"	5'-2"
212	WDW 8'W 5'H	8'-0"	5'-2"
231	WDW 8'W 5'H	8'-0"	5'-2"
232	WDW 8'W 5'H	8'-0"	5'-2"
233	WDW 8'W 5'H	8'-0"	5'-2"
TOTAL UNITS: 62			

- GLAZING NOTES:**
- WINDOWS SHALL HAVE DOUBLE OR TRIPLE GLAZING OR HIGH TECHNOLOGY GLASS AS REQUIRED BY THE BUILDING CODES.
  - FRAMES WILL BE ALUMINUM CLAD.



## RECESSED WINDOW DETAIL

1" = 1'-0"

2 MOUNTAIN VILLAGE BLVD  
2 MOUNTAIN VILLAGE BLVD  
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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SCHEDULES



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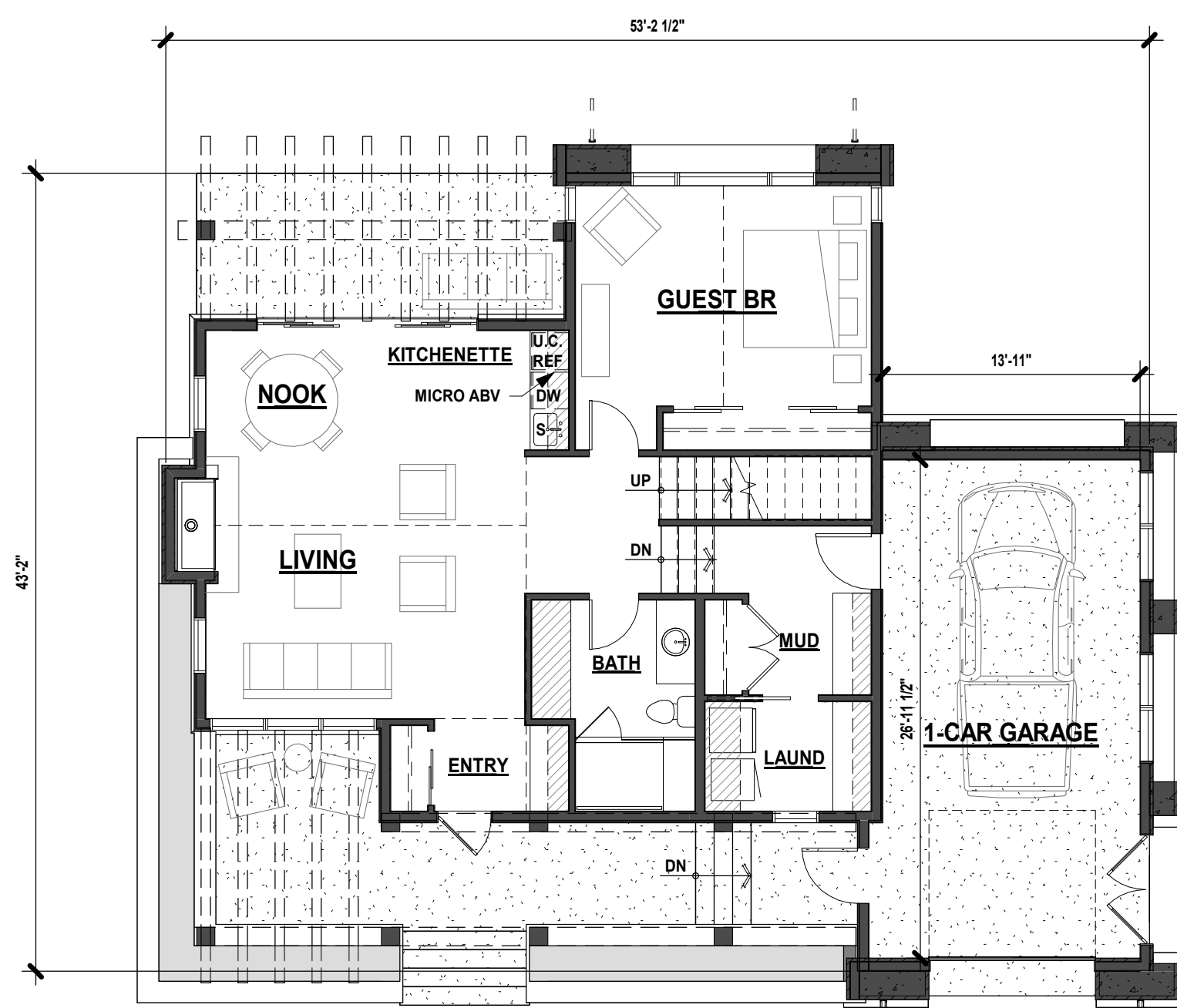
**CONTACT**  
305.710.4907

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PHONE: 970.459.9017



**FINISHED SQUARE FOOTAGE**

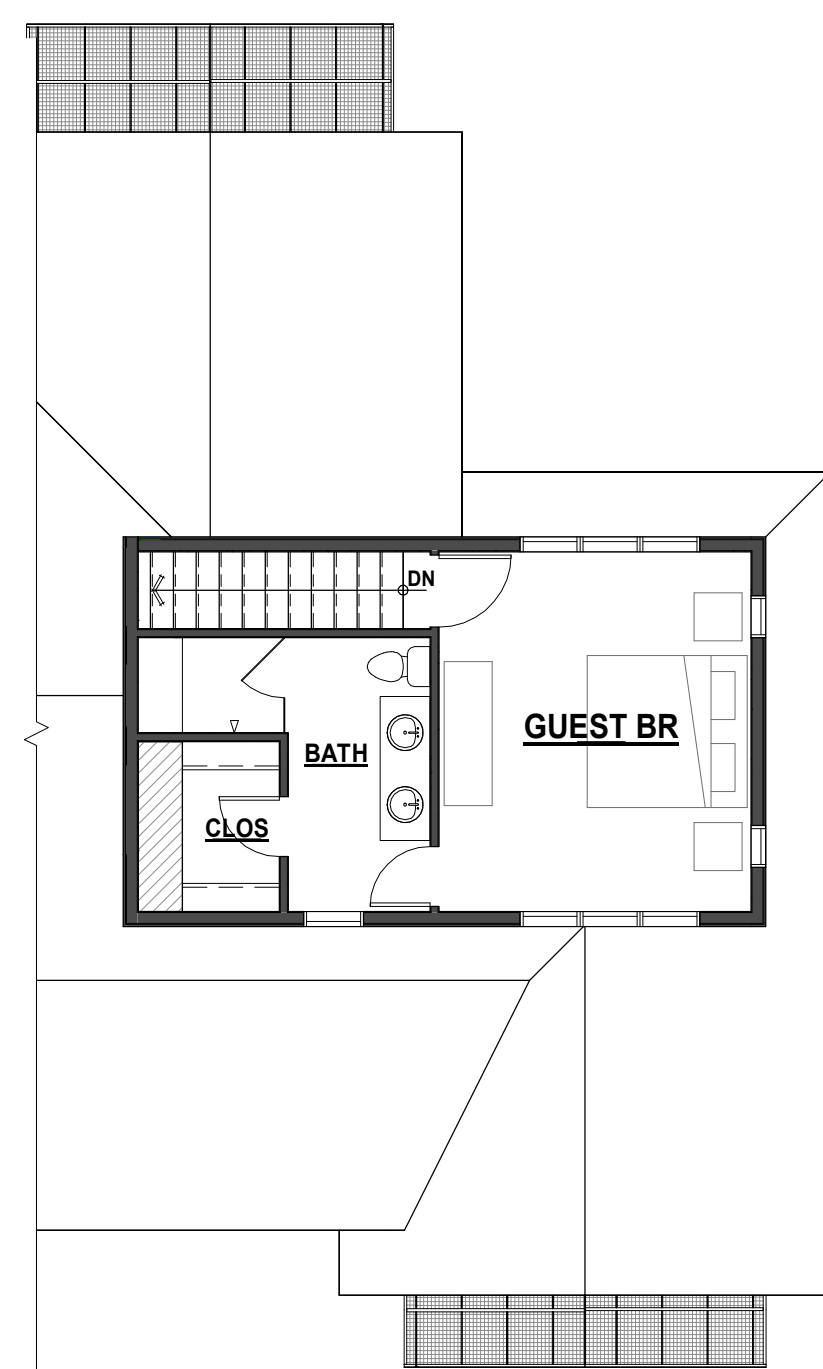
MF SF	1,068 SF
UF SF	362 SF
TOTAL	1,430 SF

**MISC SQUARE FOOTAGE**

GARAGE	434 SF
PATIOS	330 SF

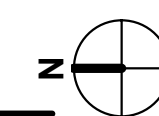
### MAIN FLOOR SCHEMATIC

1/8" = 1'-0"



### UPPER FLOOR SCHEMATIC

1/8" = 1'-0"



### WEST ELEV

1/8" = 1'-0"

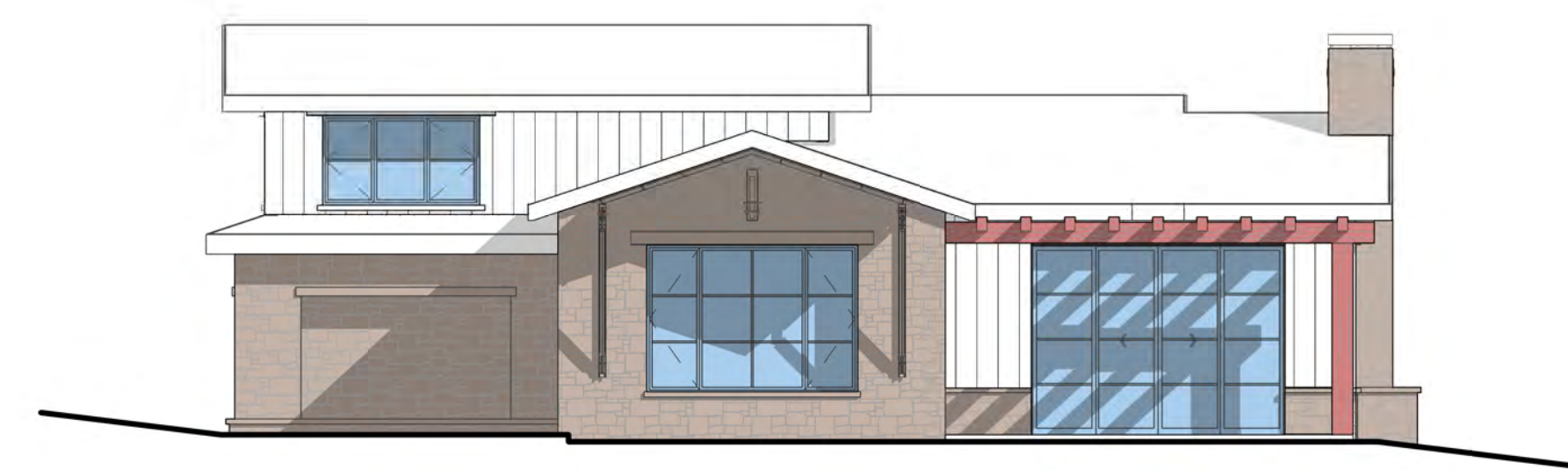
WOOD:	64 SF
STONE:	302 SF
SIDING:	183 SF
GLAZING:	195 SF



### NORTH ELEV

1/8" = 1'-0"

WOOD:	36 SF
STONE:	298 SF
SIDING:	257 SF
GLAZING:	59 SF



### EAST ELEV

1/8" = 1'-0"

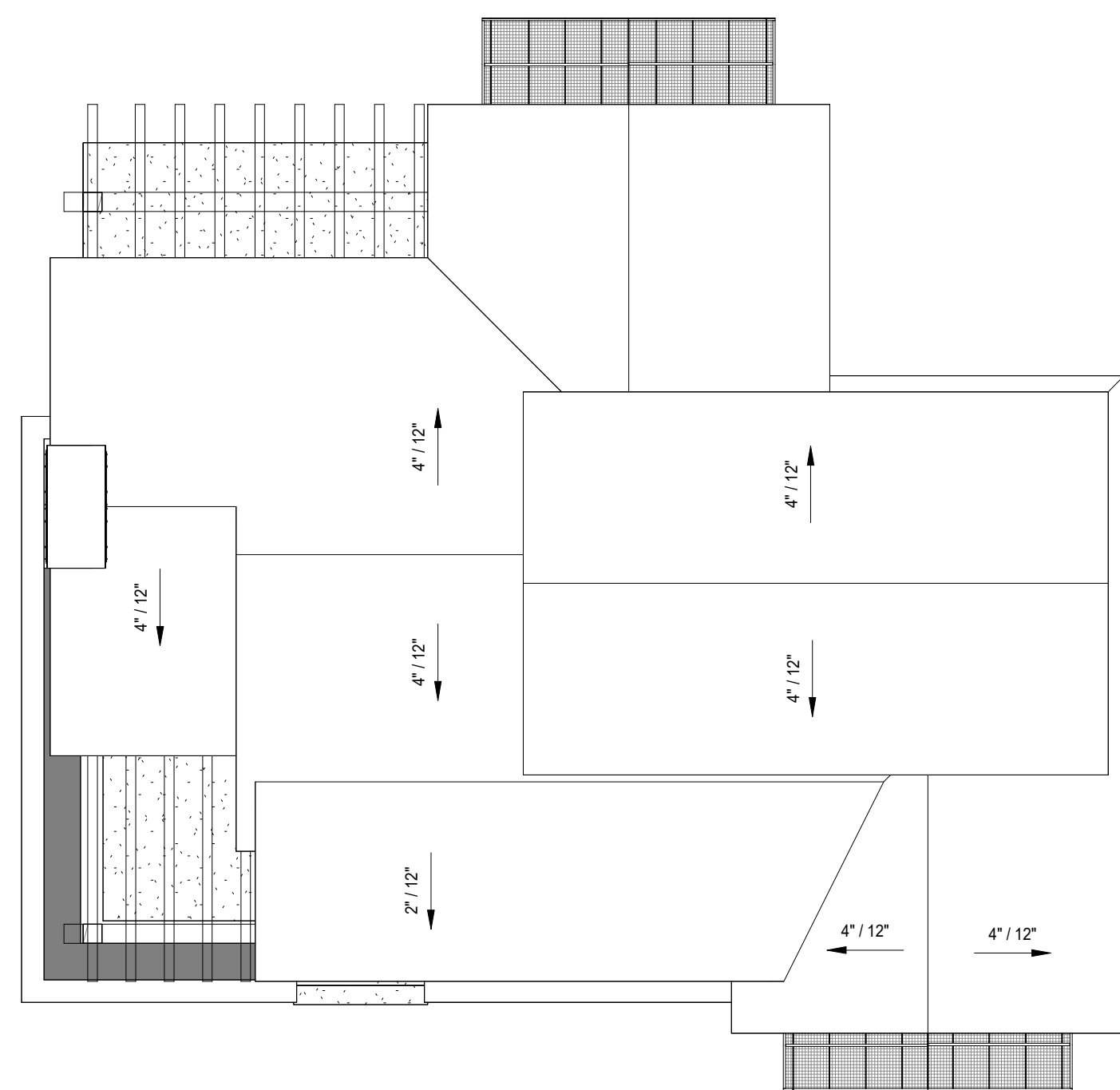
WOOD:	30 SF
STONE:	339 SF
SIDING:	122 SF
GLAZING:	210 SF



### SOUTH ELEV

1/8" = 1'-0"

STONE:	228 SF
SIDING:	195 SF
GLAZING:	140 SF



1. PROVIDE RAYCHEM NVENT RIM EAVE SYSTEM  
CONCEALED ROOF ICE MELT SYSTEM

### ROOF PLAN SCHEMATIC

1/8" = 1'-0"



#### MATERIALS LEGEND



#### MATERIALS AREAS

MATERIAL	AREA (S.F.)	PERCENTAGE
WOOD	130	5%
STONE	1,167	44%
SIDING	737	28%
GLAZING	604	23%
TOTAL	2,638	100%

SURFACES ARE HIGHLIGHTED AND AREAS CALCULATED IN THE VIEW WHICH IS PARALLEL TO THAT SURFACE. SURFACES AT AN ANGLE RELATIVE TO A VIEW PLANE ARE NOT HIGHLIGHTED OR CALCULATED IN THAT VIEW.

**Project Name**

**PROJECT ADDRESS**  
**PROJECT ADDRESS**  
**COUNTY, STATE**

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Submission or distribution of this drawing to meet official or regulatory requirements or for other purposes in connection with the project is not to be construed as publication in derogation of any of the rights of SEH.

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**SEH Project Number** AM  
**Checked By** NM  
**Drawn By** NM

**Project Status** DESIGN REVIEW BOARD  
**Issue Date** 10.17.2022

**Revision Issue**

Rev. #	Description	Date
--------	-------------	------

GUEST HOUSE Schematic



Agenda Item No. 5  
**PLANNING AND DEVELOPMENT SERVICES  
DEPARTMENT**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 369-8250

**TO:** Mountain Village Design Review Board  
**FROM:** Amy Ward, Senior Planner  
**FOR:** Design Review Board Meeting; November 3, 2022  
**DATE:** November 3, 2022  
**RE:** Consideration of a Design Review: Initial Architecture and Site Review for a single family home on Lot AR25, 125 Lawson Pt., pursuant to CDC Section 17.4.11

**BACKGROUND:** Staff is requesting a continuation of the Consideration of a Design Review: Initial Architecture and Site Review for a single family home on Lot AR25, 125 Lawson Pt. This memo is being provided not to open the public hearing but solely for the purpose of the DRB providing a motion to continue to the Regular December 1, 2022 meeting date.

**RECOMMENDED MOTION:** I move to continue, the Consideration of a Design Review: Initial Architecture and Site Review for a single family home on Lot AR25, 125 Lawson Pt. to the Regular Design Review Board Meeting on December 1, 2022.

/AW





**TO:** Mountain Village Design Review Board

**FROM:** Design Workshop on behalf of the Town of Mountain Village

**FOR:** Design Review Board Public Hearing; November 3, 2022

**DATE:** November 3, 2022

**RE:** Staff Memo – Final Architectural Review (FAR) Lot BC107, 100 Lawson Overlook pursuant to CDC Section 17.4.11

### APPLICATION OVERVIEW: New Single-Family Home on Lot BC107

#### PROJECT GEOGRAPHY

**Legal Description:** LOT BC107  
TOWN OF MTN VILLAGE PLAT  
BK 1 PG 1457 DEC 17 1992

**Address:** 110 Lawson Overlook

**Applicant/Agent:** Jack Wesson,  
Jack Wesson Architects, Inc.

**Owner:** Ricky Denesik

**Zoning:** Single-Family

**Existing Use:** Vacant

**Proposed Use:** Single-Family

**Lot Size:** .94 acres

**Adjacent Land Uses:**

- **North:** Passive Open Space
- **South:** Vacant
- **East:** Vacant
- **West:** Vacant

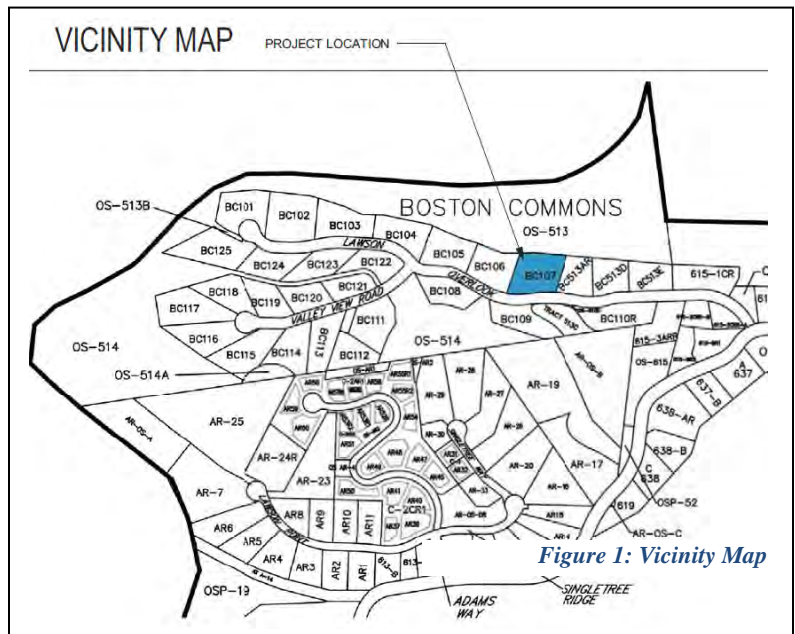


Figure 1: Vicinity Map

#### ATTACHMENTS

Exhibit A: Architectural Plan Set

No new staff or public comments received since Initial Review

**Case Summary:** Jack Wesson of Jack Wesson Architects, Inc. is requesting Design Review Board (DRB) approval of a Final Architectural Review (FAR) Application for a new single-family home on Lot BC107, 110 Lawson Overlook.

The proposed design consists of two structures, a main house and a detached guest house referred to as “cabin” in the application materials. The main house is two and a half



stories and utilizes a combination of multiple shed roof forms. The cabin is two stories and has a single shed roof form. The lot is located on a ridgeline and has mildly steep topography that slopes downwards to the north of the site. The main house and cabin are each built into the topography, with areas buried into the slope on the south, and full height at the north. The lot is approximately .94 acres and is zoned single-family. The overall square footage of the home is approximately 8,644 livable square feet and provides two interior parking spaces within the proposed garage and two exterior parking spaces. The Lot is also designated as a ridgeline lot (CDC 17.5.16) so has some additional design considerations which are discussed further below.

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by Italicized Text.***

*Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)*

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
<b>Maximum Building Height</b>	35' (shed) Maximum	34'-6" (main house) 28'-6.25" (cabin)
<b>Avg. Building Height</b>	30' (shed) Maximum	16'-5.25" (main house) 19'-2" (cabin)
<b>Maximum Lot Coverage</b>	40% (16,347.6 sq ft)	21.1% (8,644 sq ft)
<b>General Easement Setbacks</b>	No encroachment	No Encroachment
<b>Roof Pitch</b>		
Primary		2:12
Secondary		2:12
<b>Exterior Material</b>		
Stone Veneer	35% minimum	36.33% (main) 37.05% (cabin)
Wood Siding	n/a	17.21% (main) 17.63% (cabin)
Windows/Door Glazing	40% maximum	24.20% (main) 24.10% (cabin)
Metal Accent	n/a	22.27% (main) 21.22% (cabin)
<b>Parking</b>	2 interior/2 exterior	2 interior/ 2 exterior (main house) 1 exterior (cabin)

*Please note, this Memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated October 6, 2022.*

## **Chapter 17.3: ZONING AND LAND USE REGULATIONS**

### **17.3.3 Use Schedule**

*Staff: The applicant has identified that an accessory dwelling unit (referred to as the cabin) to be developed on the site along with the main house. According to Table 3-1 Town of*

*Mountain Village Land Use Schedule, this is a permitted use in the Single-Family zone district.*

### **17.3.13 Maximum Lot Coverage**

*Staff: Criteria met.*

### **17.3.11 and 17.3.12: Building Height and Building Height Limits**

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates a combination of shed roof forms. Homes and accessory buildings with a primary shed roof form are allowed a maximum building height of 35 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

*Staff: Staff has determined that the primary roof forms for this main home and cabin are both shed and therefore granted a maximum height of 35' and an average height of 30' for both structures. The applicant has calculated a maximum height of 34'6" for the main house and 28'6.25" for the cabin and an average height of 16'5.25" for the main house and 19'2" for the cabin. The applicant is meeting both requirements, but since the maximum height of the main house is within five (5) feet of the allowable maximum height, per section 17.3.11-C of the CDC a "monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the average building height." This has been included as a condition of approval.*

### **17.3.14: General Easement Setbacks**

Lot BC107 has a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

*Staff: The proposal includes two GE encroachments that fall into the above category of permitted GE development activity. The following were approved by DRB at the October 6, 2022 meeting:*

- *Driveway: The driveway as shown currently takes access from Lawson Overlook and crosses the General Easement to the homesite.*
- *Utilities: Utilities are located in Lawson Overlook and cross the southern GE to the lot.*
- *Address Monument: An address monument is proposed within the General Easement. This is proposed to be steel with 6" tall, backlit stainless-steel numbers.*

*Any development within the General Easement or road right of way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.*

## **Chapter 17.5: DESIGN REGULATIONS**

### **17.5.4: Town Design Theme**

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

*Staff: Criteria met.*

#### **17.5.5: Building Siting Design**

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

*Staff: Criteria met.*

#### **17.5.6: Building Design**

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. The CDC requires roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

*Staff: Staff comments regarding each of the relevant subsections are below.*

*Building Form:*  
*Criteria met.*

*Exterior Wall Form:*  
*Criteria met.*

*Roof Form:*  
*Criteria met.*

*Chimneys, Vent and Rooftop Equipment Design:*  
*Criteria met.*

*Exterior Walls Materials and Color:*  
*The applicant has updated the roof details (Sheet A600) to clarify the soffit will be tongue and groove. Staff finds this criteria met.*

*Glazing:*  
*The applicant has clarified the windows and doors on both the main house and cabin will be trimmed with black metal clad. Staff finds this criteria met.*



Doors and Entryways:

*The applicant has provided a door schedule that specifies that tempered metal clad wood will be used for entry doors. Staff finds this criteria is met.*

Decks and Balconies:

*Criteria met.*

Required Surveys and Inspections:

*Since the proposed main house structure is within five feet or less of the maximum building height, a monumented land survey will need to be prepared by a Colorado public land surveyor to establish the maximum building height and the average building height. A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.*

*Because Lot BC107 is identified as a ridgeline lot, there are some additional design requirements that must be met. Structures must have varied facades to reduce the apparent mass, buildings must step down the hillside, building and roofing materials and colors shall blend with the hillside, colors and textures shall be colors found naturally in the hillside, and highly reflective materials shall not be used. Staff finds that these additional requirements are being met.*

**17.5.7: Grading and Drainage Design**

*Staff: Criteria met.*

**17.5.8: Parking Regulations**

*Staff: Criteria met.*

**17.5.9: Landscaping Regulations**

*Staff: The site is currently heavily vegetated, and any development would require the removal of a significant amount of the existing landscape. To accommodate for this, the applicant has proposed the inclusion of 40 new eight-gallon shrubs, 74 new five-gallon shrubs, 5 new evergreen trees, and 7 new aspen trees. The applicant has clarified that the evergreen trees to be planted represent at least two separate genus and that one of the genus classes should be represented by two separate species. This proposal meets the species diversity requirements of this section.*

**17.5.11: Utilities**

*Staff: An updated utility plan was not provided as part of the final application but has been requested from the applicant. This may be shown at the hearing. However, the utility plan included in the initial application showed that the proposed water and sewer lines will connect to the current lines on Lawson Overlook and follow the driveway up to the structures. The plan indicates that the gas, electric and telephone lines will exist on the eastern side of the property and connect to the existing pedestals on the southeastern edge of the site.*

*Public Works: This lot should have a water tap and a sewer tap. The applicant should field verify all utilities.*

### **17.5.12: Lighting Regulations**

*Staff: Criteria met, including additional criteria pertaining to Lot BC-107 as a designated ridgeline lot.*

### **17.5.13: Sign Regulations**

*Staff: An address monument is proposed within the General Easement. This is proposed to be steel with 6" tall, backlit stainless-steel numbers.*

*Any development within the General Easement will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.*

## **Chapter 17.6: SUPPLEMENTARY REGULATIONS**

### **17.6.1: Environmental Regulations**

*Staff: Sheet A102 of Exhibit A shows the proposed Fire Mitigation Plan. The applicant has identified an "Outer Edge of Developed Area" which includes vegetation adjacent to the proposed development structures. Off of the "Outer Edge of Developed Area" the applicant has included the 15' Zone 1 Fire Mitigation area. The applicant has indicated the edge of dripline to surround the Outer Edge of Developed Area on the Landscape & Irrigation Plan on Sheet A103. Staff finds criteria to be met.*

*In Zone 2, the applicant is proposing aspen and evergreen trees and has indicated that Zone 2 requires a 10' crown-to-crown separation. Per section 17.6.1A-3d of the CDC, all trees within zone 2 must have all branches pruned to a height of 10'. It is the responsibility of the lot owner to maintain these regulations required by the wildfire mitigation plan of section 17.6.1A3. The applicant should work with the Town Forrester to mark any onsite trees in Zone 2 to ensure they are meeting the crown-to-crown separation.*

*Telluride Fire Protection District: TFPD approves the proposal with conditions that the structure shall install a monitored NFPA 13D sprinkler and NFPA 72 fire alarm system.*

### **17.6.6: Roads and Driveway Standards**

*Staff: Sheet C1 of Exhibit A depicts the grading plan with information for the driveway grade. The driveway grade is within the maximum allowed grade of 8 percent with a maximum grade of 3.1 percent. The application has been updated to clarify that the driveway width is 16 feet of compaction with a 12-foot surfaced width (two-foot shoulders on each side). Staff finds this criteria met.*

### **17.6.8: Solid Fuel Burning Device Regulations**

*Staff: Criteria met.*

## **Chapter 17.7: BUILDING REGULATIONS**

### **17.7.19: Construction Mitigation**

*Staff: The construction mitigation plan on Sheet A101 of Exhibit A has been updated to show protective fencing made of plywood shield and stakes to be erected in a triangular shape around existing trees. The plan has been updated to show one exterior area and one interior area to be used for storing materials.*

*The parking plan indicates six spots on the site. However, all of these are located in the current driveway, which is an area that won't be available for use until initial stages of construction are complete. The applicant will likely need to work with the Town for roadside parking permits until the driveway is created. It is possible that until the driveway is created that at least some workers will need to be shuttled to the site from elsewhere.*

*The Construction Mitigation plan has been updated to show silt protection around the perimeter of the construction area. No crane is indicated on the plan.*

**Staff Recommendation:** Staff recommends approval of the initial architectural review with conditions.

**Staff Note:** *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

**Proposed Motion:**

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

*I move to approve the Final Architectural Review for a new single-family home located at Lot BC107, based on the evidence provided in the staff record of memo dated November 3, 2022, and the findings of this meeting with the following conditions:*

- 1) *The applicant shall work with the Town Forrester to mark any onsite trees in Zone 2 to ensure they are meeting the crown-to-crown separation.*
- 2) *The address monument shall be a minimum of 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated, or outlined with a reflective coating.*
- 3) *Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE and the road right of way.*
- 4) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and average building height.*
- 5) *The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.*
- 6) *A Knox Box for emergency access is recommended.*
- 7) *Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
- 8) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*
- 9) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
  - a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
  - b. *Wood that is stained in the approved color(s);*
  - c. *Any approved metal exterior material;*
  - d. *Roofing material(s); and*
  - e. *Any other approved exterior materials*
- 10) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire*

*department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*



BUILDING SUMMARY table with columns for SITE PERMIT NUMBER, BUILDING PERMIT NUMBER, PROJECT ADDRESS, BLOCK, LOT, LOT AREA, ZONING DISTRICT, PROPOSED USE, NUMBER OF STORIES, NUMBER OF SUB-LEVELS, and FIRE SPRINKLER requirements.

CODE SUMMARY table with columns for BUILDING CODE, ENERGY CODE, TYPE OF CONSTRUCTION, OCCUPANCY, BUILDING AREA, and FROST DEPTH.

ABBREVIATIONS & SYMBOLS

ABBREVIATIONS & SYMBOLS section containing symbols and codes for WALL, INTERIOR ELEVATION, ROOM NAME, DOOR NO., ELEVATION WINDOW NO., FRAME WALL, BRICK/STONE VENEER, SPOT ELEVATION, and ROOF SLOPE.

Table with 4 columns: A.B., A.C.T., ADJ., A.F.F., ALT., ALUM., BD., BLDG., BOT., BYND., C.A.T.V., C.J., C.M.U., COL., CONC., CONT., CTR., DET., DIAG., EA., E.J., EQ., EXP. JT., EXT., FIN.FL/F.F., FIN. GR., F.S.P., F.V., GA., GALV., GBX., GL., GB., H.C., H.M., HORIZ., HVAC., I.D., IN., INSUL., JT., LAM., LAV., MAX., MECH., MFG., M.H., MIN., MISC., M.L./ML., M.L.R./MB., N.I.C., NO., N.T.S., O.C., O.P., OPNG., OPP., PERF., P.L., P.LAM., POL., PR., PTD., REQD., RM., R.O., SCHED., SHT., SIM., SPEC., SQ. FT., SQ. IN., STD., STL., TC., T & G., T.O.C., T.O.S., TYP., T., U.B.C., U.N.O., VERT., V.I.F., WD., and their corresponding meanings.

GENERAL NOTES

GENERAL NOTES section containing multiple paragraphs detailing contract documents, materials and assemblies, contractor responsibilities, and specific requirements for the project.

GN16- UNLESS OTHERWISE NOTED, DIMENSIONS ARE ASSUMED TO BE: A. PLUMB B. LEVEL C. SQUARE E. PARALLEL F. TO ESTABLISHED AXES OR BASELINES AS ESTABLISHED BY DIMENSIONAL OR ANGULAR NOTATIONS

SITE PLAN GENERAL NOTES: SPGN01- CONTRACTOR TO CONFIRM ALL UTILITY LOCATIONS WITH EACH UTILITY AGENCY PRIOR TO EXCAVATION. SPGN02- CONTRACTOR TO VERIFY ALL FLOOR ELEVATIONS PRIOR TO EXCAVATION.

DRB notes: -Areas disturbed within the General Easement utilized during construction shall be returned to the pre-disturbed condition before the project's issuance of a certificate of occupancy.

-Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.

-A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height (consistent with CDC Section 17.3.12.C.)

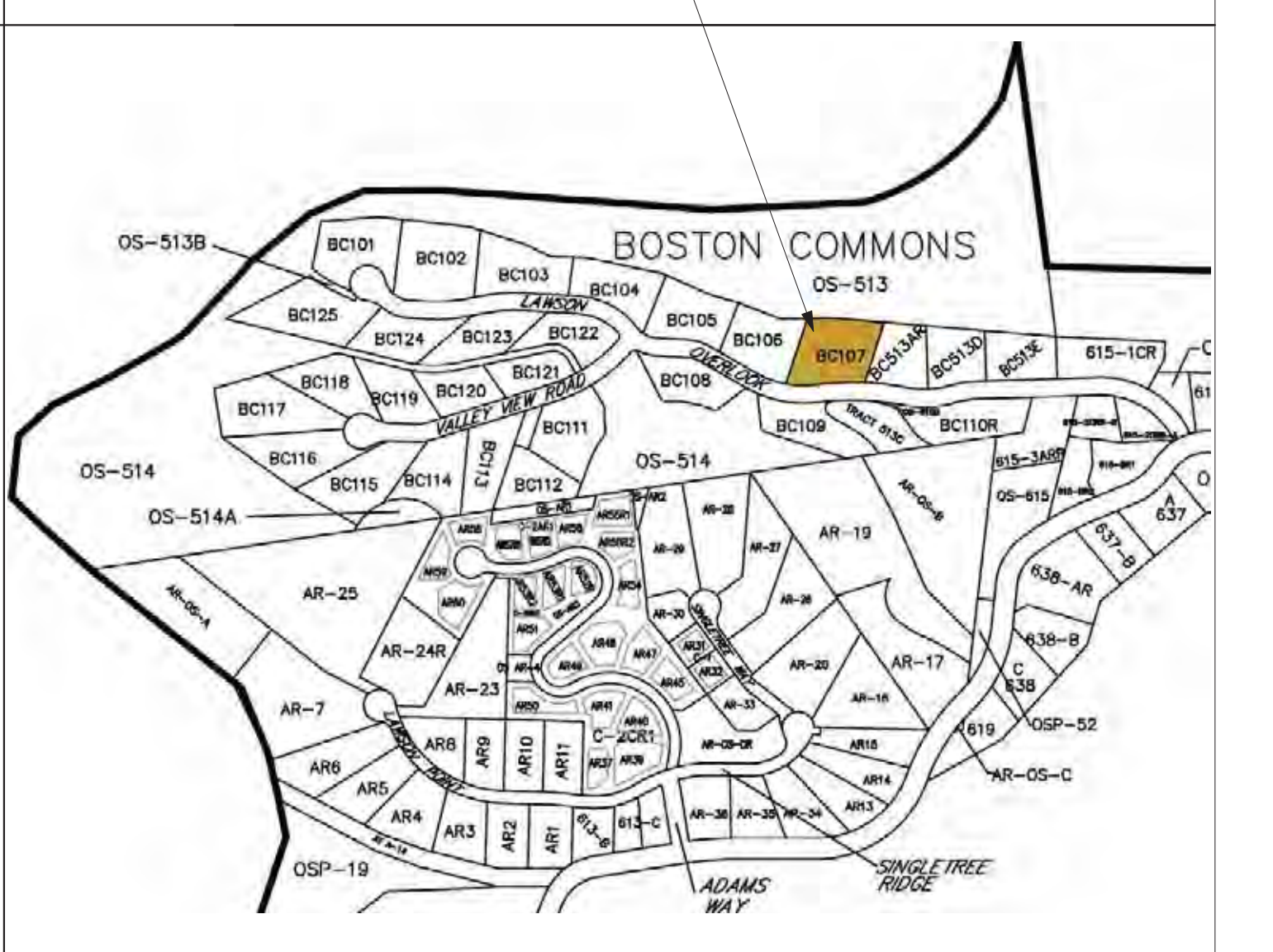
-A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

-Prior to the Building Division conducting the required framing inspection, a four foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

DRAWING INDEX

Table with columns for ARCHITECTURAL (A000-A105, A201-A205, A300-A305, A600-A603, A800-A801, A810) and CIVIL (C1, C2, C3) drawing categories and descriptions.

VICINITY MAP



PROJECT AXONOMETRIC



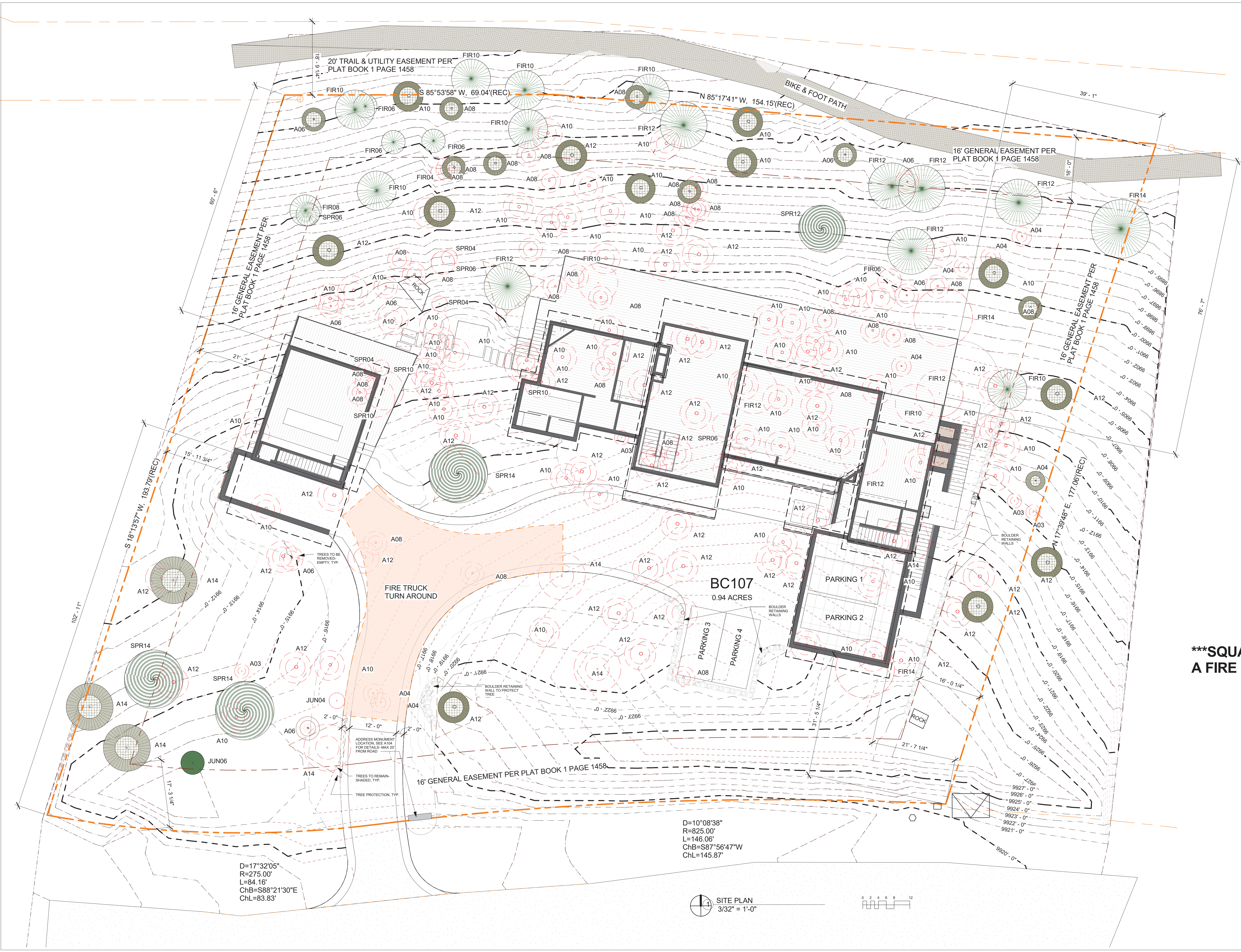
PROJECT DIRECTORY

PROJECT DIRECTORY section listing OWNER/CONTRACTOR (RICKY DENESIK), ARCHITECT (JACK WESSON ARCHITECTS, INC.), and SURVEY INFORMATION (ALL POINTS LAND SURVEY L.L.C.).

NOT FOR CONSTRUCTION

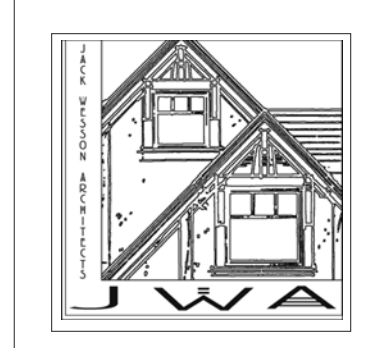
NOT FOR CONSTRUCTION section containing contact information for JACK WESSON ARCHITECTS INC. and a project schedule table.





**\*\*\*SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM\*\*\***

NOT FOR CONSTRUCTION



**JACK WESSON ARCHITECTS INC.**  
 TELLURIDE, COLORADO 81435  
 TEL: 970-728-8755  
 FAX: 970-728-9724  
 jwesson@jwa.com  
 www.jackwessonarchitects.com

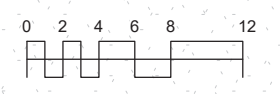
MARK	REV DATE	DESCRIPTION
10-18-22		DRB SET
10-5-22		DRB SET
4-14-22		WINDOW/DOOR SCHEDULES
4-6-22		DRB PRELIM APP
3-30-22		REVISED DRAFT 4
3-23-22		REVISED DRAFT 3
3-1-22		REVISED DRAFT 2
1-13-22		DRB SITE PLANS
11-28-2021		PROGRESS
10-19-2021		PROGRESS
9-23-2021		IMAGING STUDY
7-1-2021		LAYOUT

PROJECT NAME: **BC107 MOUNTAIN VILLAGE**  
 COLORADO 81435  
 SHEET DESCRIPTION: **SITE PLAN**  
 SHEET NUMBER: **A100**

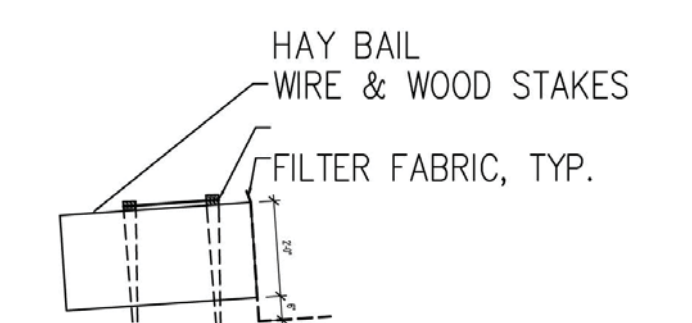
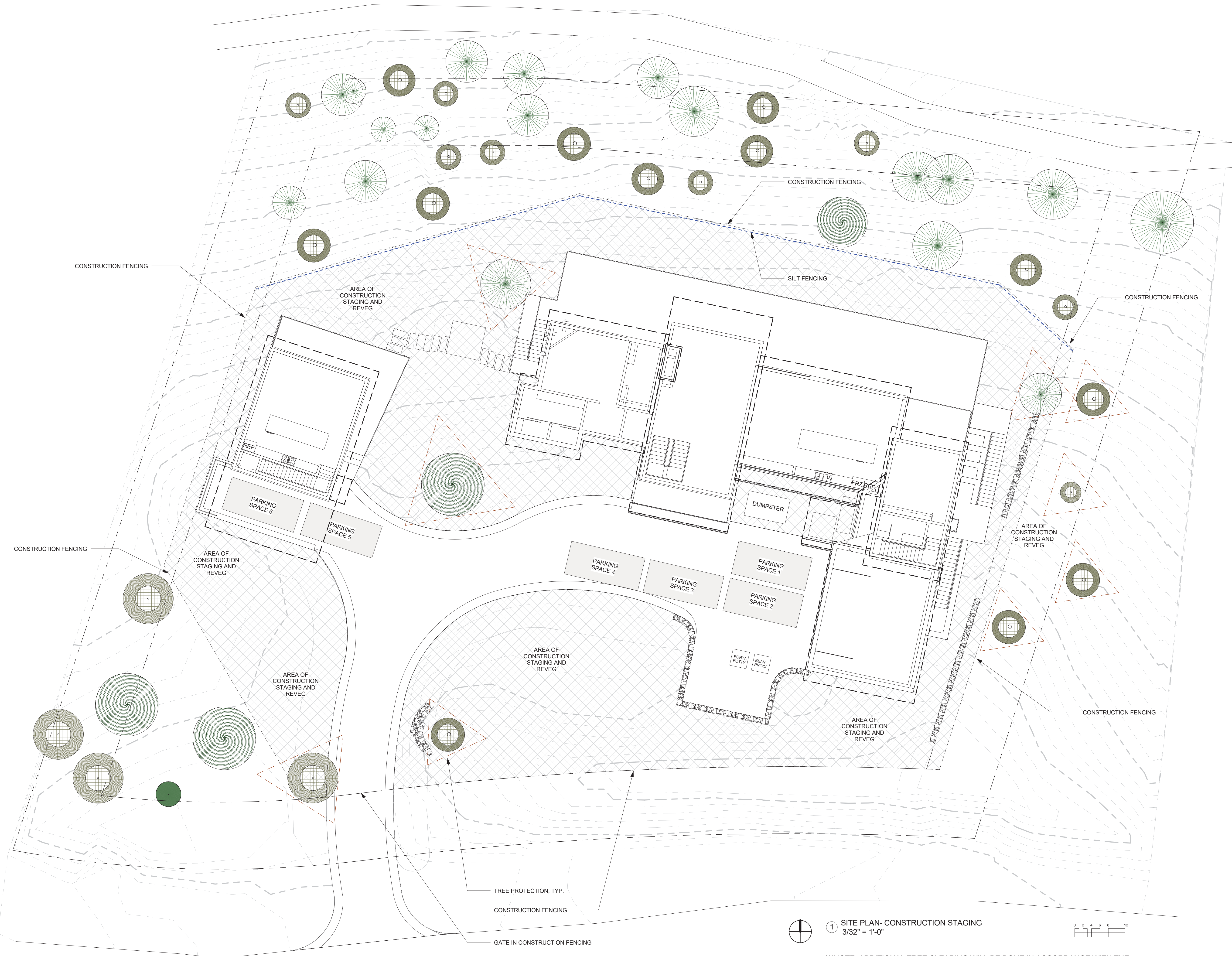
D=17°32'05"  
 R=275.00'  
 L=84.16'  
 ChB=S88°21'30"E  
 ChL=83.83'

D=10°08'38"  
 R=825.00'  
 L=146.06'  
 ChB=S87°56'47"W  
 ChL=145.87'

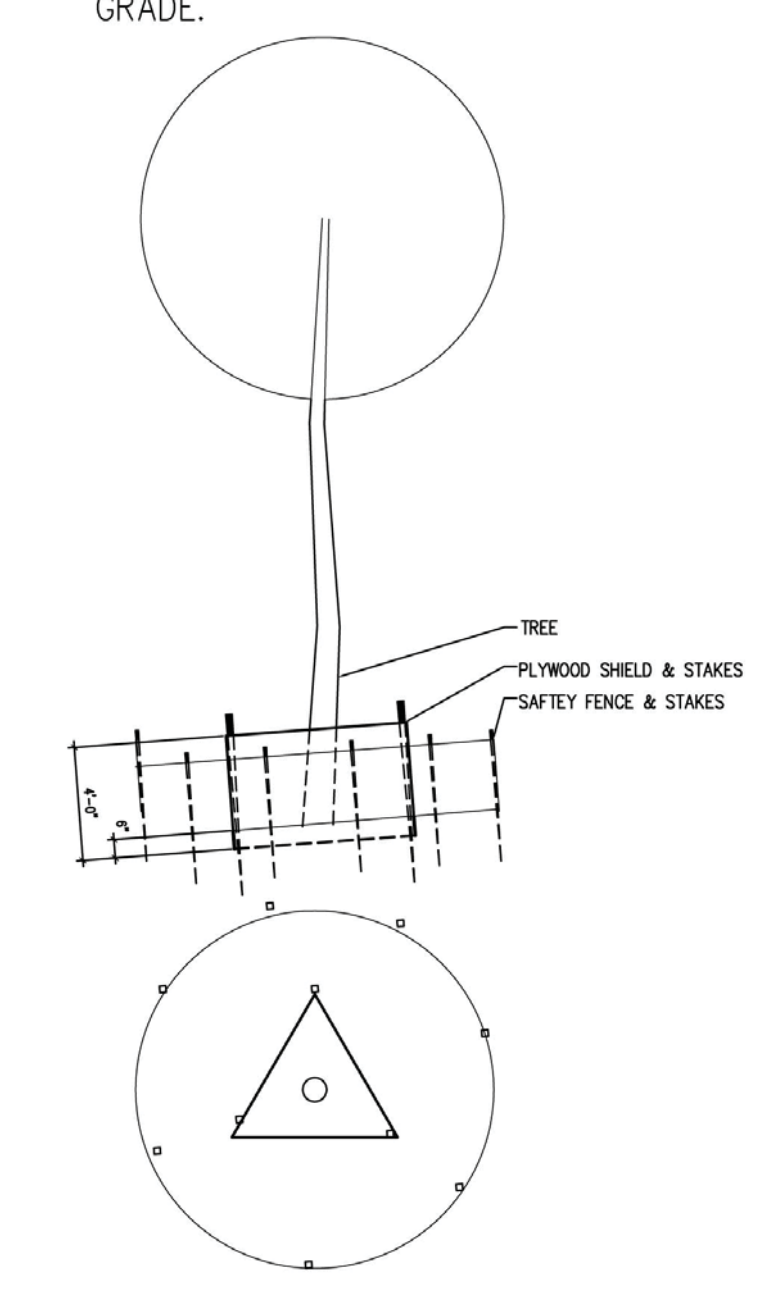
**SITE PLAN**  
 3/32" = 1'-0"



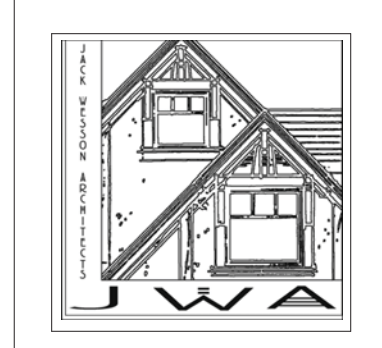




HAY BAILS @ APPROX 26', STAKES MIN. 2' DEPTH IN SOIL, WIRE ATTACHING BAILS TO STAKES, AND TO FABRIC. FABRIC TO BE MIN. 6" BELOW GRADE.



NOT FOR CONSTRUCTION

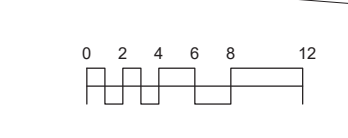


**JACK WESSON**  
ARCHITECTS INC.  
TELLURIDE, COLORADO 81435  
TEL: 970-728-8755  
FAX: 970-728-9724  
jwesson@jwa.com  
www.jackwessonarchitects.com

MARK	REV. DATE	DESCRIPTION
10-18-22	DRB SET	
10-5-22	DRB SET	
4-14-22	WINDOW/DOOR SCHEDULES	
4-6-22	DRB PRELIM APP	
3-30-22	REVISED DRAFT 4	
3-23-22	REVISED DRAFT 3	
3-7-22	REVISED DRAFT 2	
1-13-22	DRB SITE PLANS	
11-28-2021	PROGRESS	
10-19-2021	PROGRESS	
9-23-2021	IMAGING STUDY	
7-1-2021	LAYOUT	

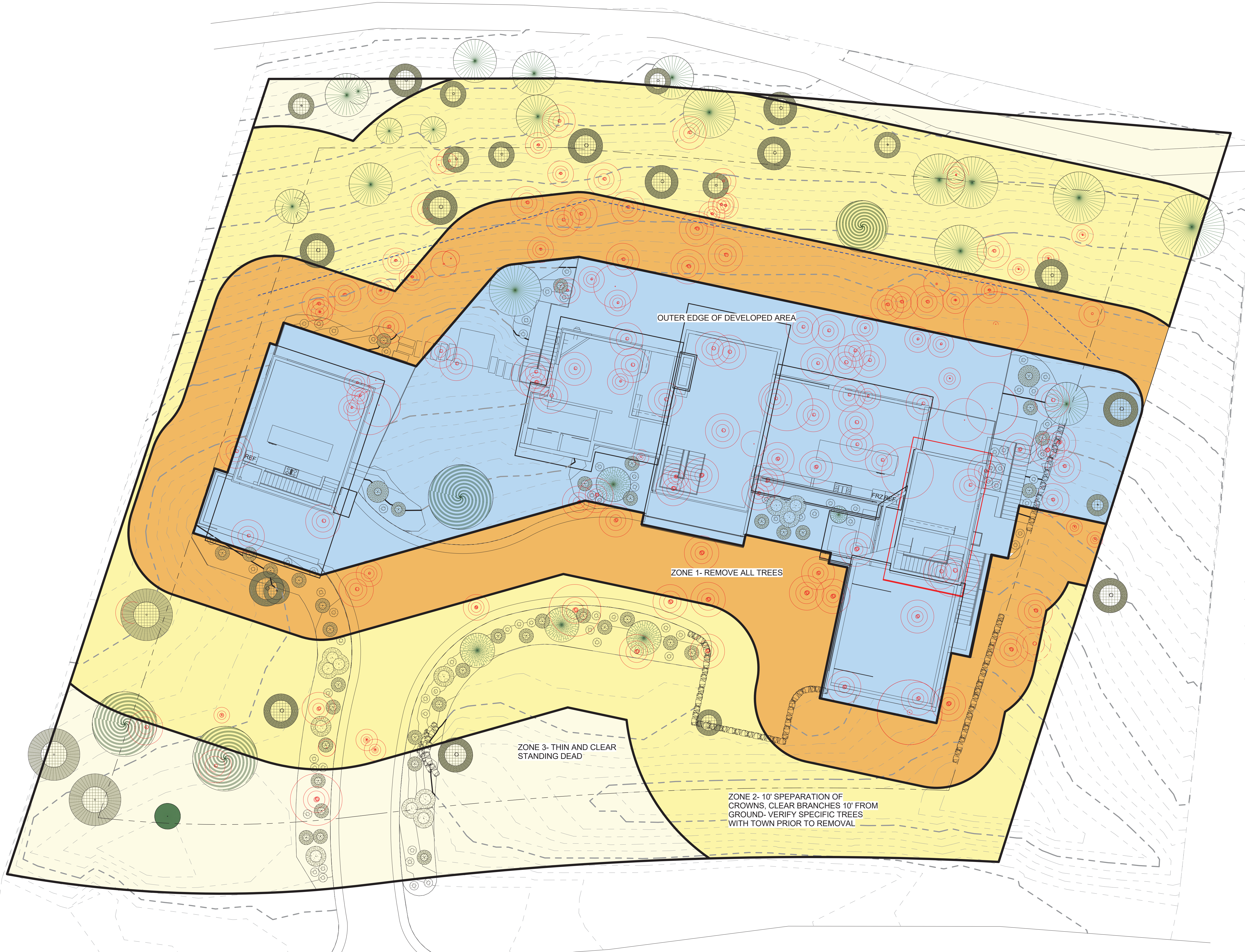
PROJECT NAME: BC107 MOUNTAIN VILLAGE  
SHEET DESCRIPTION: CONSTRUCTION STAGING PLAN  
SHEET NUMBER: A101

1 SITE PLAN- CONSTRUCTION STAGING  
3/32" = 1'-0"



\*\*\*NOTE: ADDITIONAL TREE CLEARING WILL BE DONE IN ACCORDANCE WITH THE MOUNTAIN VILLAGE LAND USE ORDINANCE FIRE MITIGATION REQUIREMENTS\*\*\*





OUTER EDGE OF DEVELOPED AREA

ZONE 1- REMOVE ALL TREES

ZONE 3- THIN AND CLEAR  
STANDING DEAD

ZONE 2- 10' SEPARATION OF  
CROWNS, CLEAR BRANCHES 10'  
FROM GROUND- VERIFY SPECIFIC TREES  
WITH TOWN PRIOR TO REMOVAL

ALL DECKS TO BE BUILT OF  
HEAVY TIMBER CONSTRUCTION  
AND  
FIRE RESISTANT MATERIALS

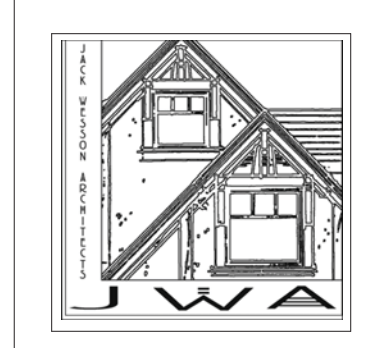
ZONE 1- REMOVE ALL TREES

ZONE 2- 10' SEPARATION OF  
CROWNS, CLEAR BRANCHES  
10' FROM GROUND

ZONE 3- THIN AND CLEAR  
STANDING DEAD

CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED  
ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH  
HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS,  
SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE,  
HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT  
MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND  
URBAN INTERFACE CODE) APPROVED PRODUCTS.

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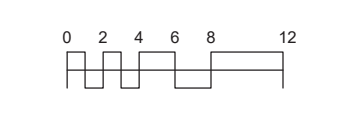
10-18-22	DRB SET	
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4-14-22	WINDOW/DOOR SCHEDULES	
4-6-22	DRB PRELIM APP	
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10-19-2021	PROGRESS	
9-23-2021	IMAGING STUDY	
7-1-2021	LAYOUT	
MARK	REV DATE	DESCRIPTION
PROJECT NAME:		
PROJECT MANAGER:		
DRAWN BY:		
REVIEWED BY:		
DATE:		

PROJECT NAME: BC107  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION:  
**FIRE MITIGATION  
PLAN**

SHEET NUMBER:  
**A102**

1 SITE PLAN- FIRE MITIGATION  
3/32" = 1'-0"







HOSE BIB AND IRRIGATION LINE-  
RAIN BIRD SPRINKLER HEADS  
INSTALLED IN FLOWER BEDS,  
DRIP LINE THROUGH-OUT, TYP.

AREA OF REVEG

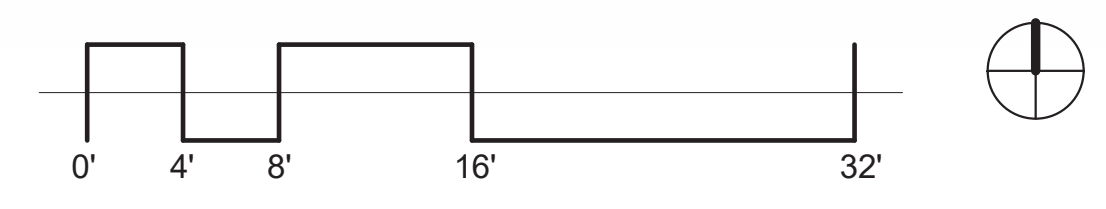
AREA OF REVEG

**WATER USAGE CHART:**

ASPEN	7 @	10 gal. = 70 gal.
SPRUCE	5 @	10 gal. = 50 gal.
POTENTILLA	74 @	2 gal. = 148 gal.
DOGWOOD	40 @	3 gal. = 120 gal.
ORNAMENTAL	2 @	4 gal. = 8 gal.
<b>TOTAL =</b>		<b>396 gal.</b>

\*NOTE: INSTALL RAIN SHUT-OFF DEVICE AS  
REQ'D BY SECTION 9-210  
INSTALL BACKFLOW PREVENTERS

1 SITE PLAN- LANDSCAPE AND IRRIGATION PLAN  
1/8" = 1'-0"



Note: Evergreen trees to be planted need to represent at least 2 separate genus (Picea, Abies, Pinus, Juniperus, Thuja, Pseudotsuga) and one of the genus classes should, ideally, be represented by two separate species (example, Pinus = limber pine & whitebark pine)

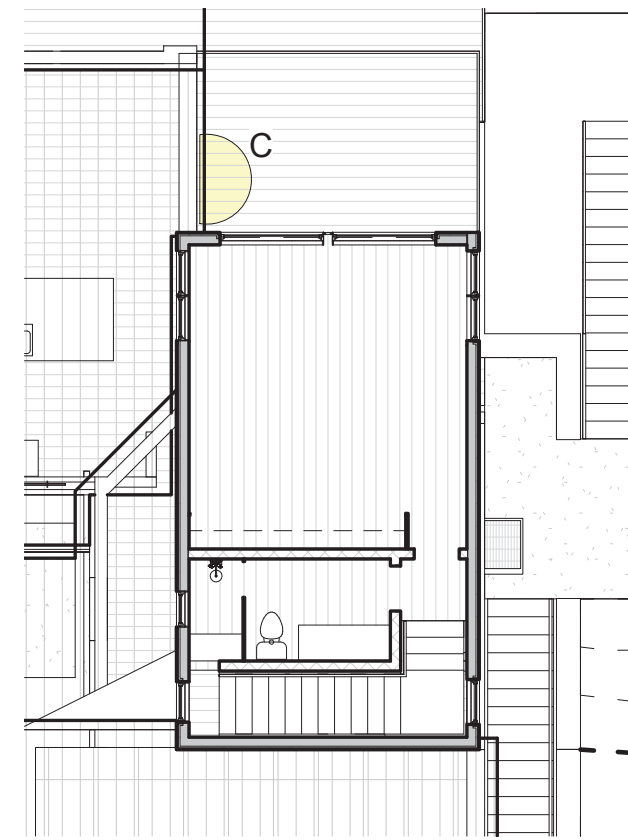
SPRUCE TREE TO REMAIN		(40) 8 GAL. SHRUBS		FLOWER MIX 1: COLUMBINE, SHOOTING STAR, INDIAN PAINTBRUSH, YARROW, BLUEBELL APPROX. 1775 SF.
FIR TREE TO REMAIN		(2) 10 GAL. ORNAMENTAL TREE/SHRUB TBD		FLOWER MIX 2: RUSSIAN SAGE, YELLOW ROSE, DAYLILY, DELPHINIUM, BLEEDING HEART, CINQUEFOIL APPROX 1400 SF.
ASPEN TREE TO REMAIN		(74) 5 GAL. SHRUBS		NOTE: REVEGETATION IS WILL BE NATIVE MIX 5% WESTERN YARROW 10% TALL FESCUE 5% ARIZONA FESCUE 5% HARD FESCUE 10% CREEPING RED FESCUE 15% ALPINE BLUEGRASS 10% CANADA BLUEGRASS 15% PERENNIAL RYEGRASS 10% SLENDER WHEATGRASS 15% MOUNTAIN BROME APPROX. 5000 SF
		(5) NEW EVERGREEN TREES (1-8") (1-10") MINIMUM HEIGHT		
		**At least forty (40) percent of the trees on a landscaping plan shall be trees not typically found in landscaping in the Town, such as lodgepole pine, limber pine, white bark pine, ponderosa pine, bristlecone pine and pinyon pine provided such trees fit within the life zone and a site's micro climate.		
		(7) NEW 3" CAL. ASPEN OR 2 1/2" CA. MULTI-STEM		
		**SEE SITE PLAN FOR TREES TO BE REMOVED**		

- GENERAL NOTES:**
- SOIL PREPARATION SPECIFICATIONS: SOIL IN REVEG. AREA WILL BE AUGMENTED WITH HYDROMULCH.
  - THIS LANDSCAPE PLAN COMPLIES WITH SECTION 9-109 OF THE DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.
  - THE PROPERTY OWNER GUARANTEES ALL PLANT MATERIALS FOR TWO YEAR.
  - ALL TREES AND SHRUBS SHALL BE BACKFILLED WITH A TOPSOIL/ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
  - PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO
  - MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS, SHREDDED CEDAR BARK.
  - ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK. PLANTING DETAILS FOR ROOT SYSTEMS, SOIL PREPARATION, SEEDING, MULCHING, AND FERTILIZATION TECHNIQUES SHALL BE IN ACCORDANCE WITH GUIDELINES SET FORTH BY THE ASSOCIATED LANDSCAPE CONTRACTORS OR COLORADO.
  - TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATES. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
- REVEGETATION AND EROSION CONTROL NOTES:**
- SUBSOIL SURFACES SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
  - TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REVEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTO-TILLED AT A RATE OF 3 CUBIC YARDS PER THOUSAND SQUARE FEET.
  - BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
  - NEWLY SEEDED AREAS SHALL BE PROTECTED FROM WIND AND WATER EROSION THROUGH THE USE OF MULCHES. ACCEPTABLE MULCHES ARE WOOD CHIPS, STRAW, HYDRO-MULCH AND EROSION-CONTROL NETTING.
  - BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAYES MIX SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
  - EROSION-CONTROL NETTING WILL BE REQUIRED ON SLOPES 3:1 OR STEEPER, IF ALLOWED BY VARIANCE TO SECTION 9-103-2, AND IN DRAINAGE SWALES.
  - SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.
  - ROAD AND DRIVEWAY SHALL BE RE-VEGETATED WITHIN THIRTY (30) DAYS OF THE DISTURBANCE TO AVOID UNSIGHTLY SCARS AND WEED INFESTATION ON THE LANDSCAPE. UTILITY CUTS SHALL BE RE-VEGETATED IMMEDIATELY (WITHIN TWO WEEKS) AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION. LANDOWNER SHALL INSURE PROPER WEED CONTROL IN IMPACTED AREAS.
  - EROSION CONTROL ATTENTION TO DISTURBED AREAS SHALL BE IMPLEMENTED TO ENSURE THERE IS NO DETRIMENTAL IMPACT OR RUNOFF TO ANY PONDS, STREAMS OR WETLANDS.
  - IN AREAS THAT ARE TO BE RE-VEGETATED (ESPECIALLY SEEDING LOCATIONS WHICH HAVE RECEIVED HEAVY CONSTRUCTION EQUIPMENT TRAFFIC), SOIL SHALL BE SCARIFIED BEFORE THE APPLICATION OF SEED. SLOPE SURFACES SHALL BE ROUGHENED BY RUNNING TRACKED EQUIPMENT UP AND DOWN THE FACE OF THE SLOPE (RUNNING SUCH EQUIPMENT ACROSS THE FACE OF A SLOPE ENCOURAGES EROSION AND IS NOT RECOMMENDED).
- DRAINAGE WILL MAINTAIN POSITIVE FLOW AWAY FROM THE HOUSE AS REQUIRED BY TOWN'S ADOPTIVE BUILDING CODES
- THE PROJECT SHALL COMPLY WITH THE TOWN'S FIRE MITIGATION STANDARDS
- THE PROJECT SHALL COMPLY WITH THE ADOPTED TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE ENERGY CODE AND GREEN BUILDING STANDARDS.

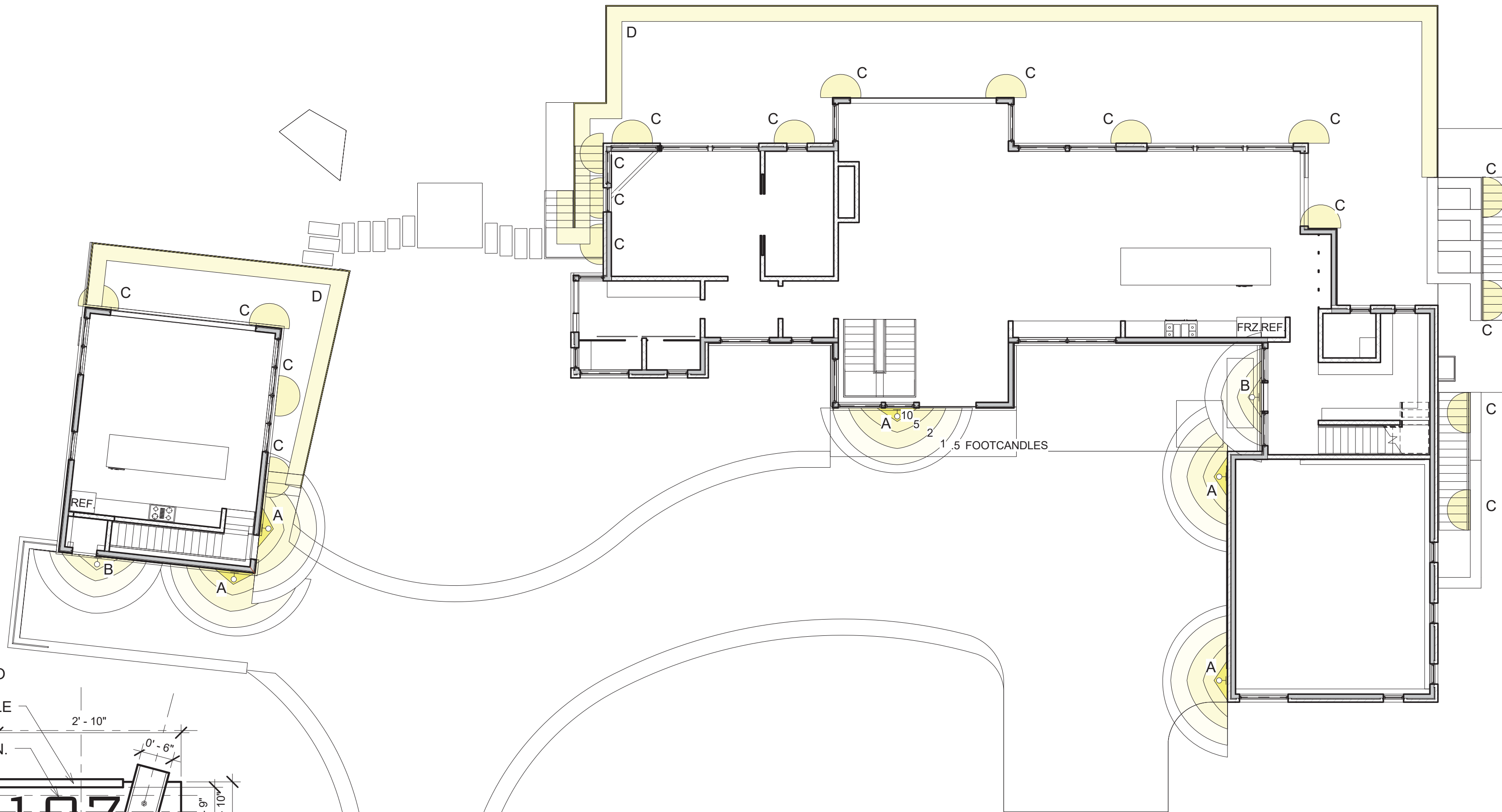
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	PROJECT NAME: BC107 MOUNTAIN VILLAGE COLORADO 81435 SHEET DESCRIPTION: LANDSCAPE & IRRIGATION PLAN SHEET NUMBER: A103																																							
<table border="1"> <thead> <tr> <th>DATE</th> <th>REVISION</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>10-18-22</td> <td>DRB SET</td> <td></td> </tr> <tr> <td>10-18-22</td> <td>DRB SET</td> <td></td> </tr> <tr> <td>4-14-22</td> <td>WINDOW/DOOR SCHEDULES</td> <td></td> </tr> <tr> <td>4-6-22</td> <td>DRB PRELIM APP</td> <td></td> </tr> <tr> <td>3-30-22</td> <td>REVISED DRAFT 4</td> <td></td> </tr> <tr> <td>3-23-22</td> <td>REVISED DRAFT 3</td> <td></td> </tr> <tr> <td>3-7-22</td> <td>REVISED DRAFT 2</td> <td></td> </tr> <tr> <td>1-13-22</td> <td>DRB SITE PLANS</td> <td></td> </tr> <tr> <td>11-29-2021</td> <td>PROGRESS</td> <td></td> </tr> <tr> <td>10-19-2021</td> <td>PROGRESS</td> <td></td> </tr> <tr> <td>9-23-2021</td> <td>MASSING STUDY</td> <td></td> </tr> <tr> <td>7-1-2021</td> <td>LAYOUT</td> <td></td> </tr> </tbody> </table>	DATE	REVISION	DESCRIPTION	10-18-22	DRB SET		10-18-22	DRB SET		4-14-22	WINDOW/DOOR SCHEDULES		4-6-22	DRB PRELIM APP		3-30-22	REVISED DRAFT 4		3-23-22	REVISED DRAFT 3		3-7-22	REVISED DRAFT 2		1-13-22	DRB SITE PLANS		11-29-2021	PROGRESS		10-19-2021	PROGRESS		9-23-2021	MASSING STUDY		7-1-2021	LAYOUT		PROJECT MANAGER: DRAWN BY: REVIEWED BY: 2020 JWA PrairiePrologix
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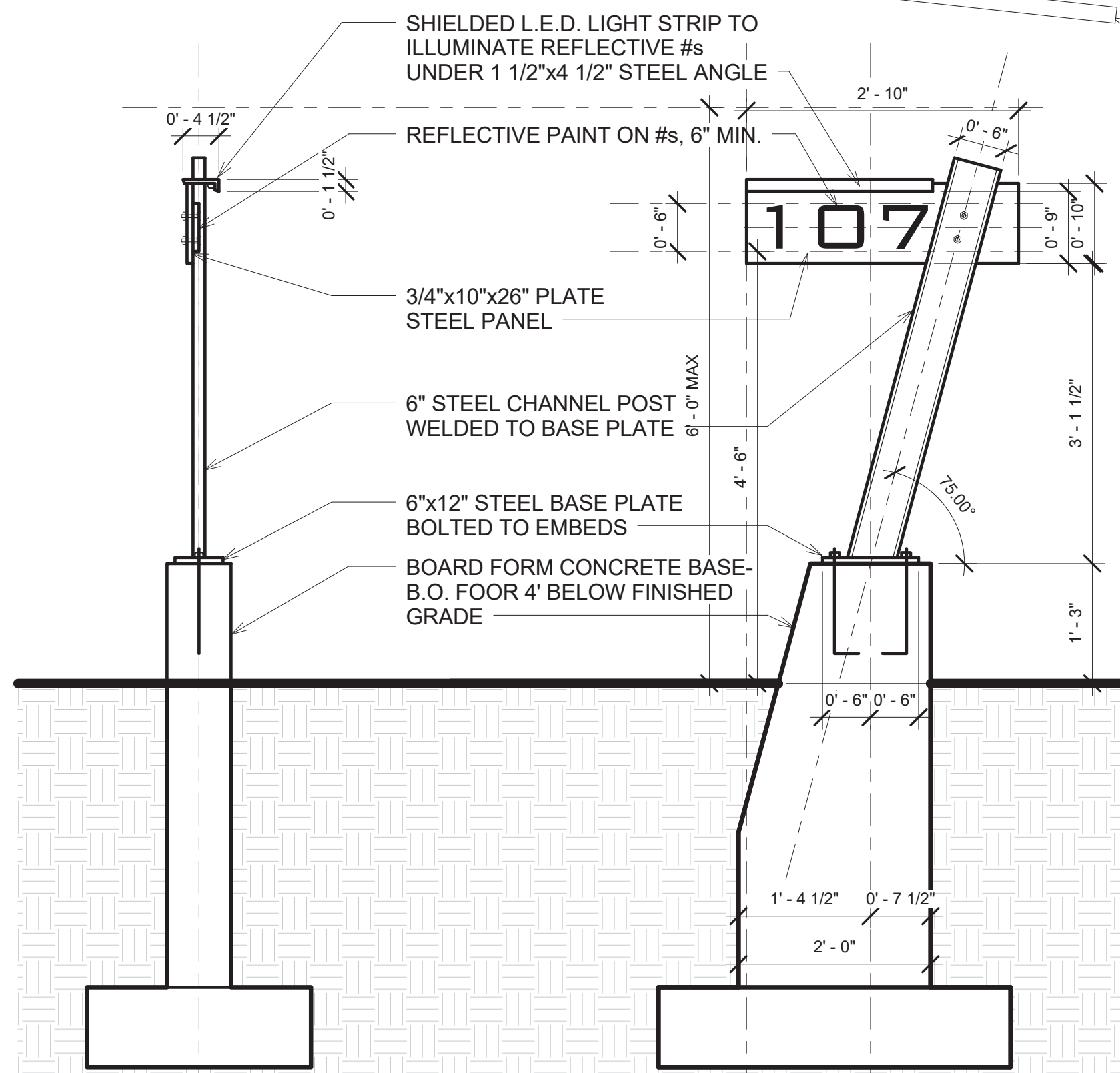




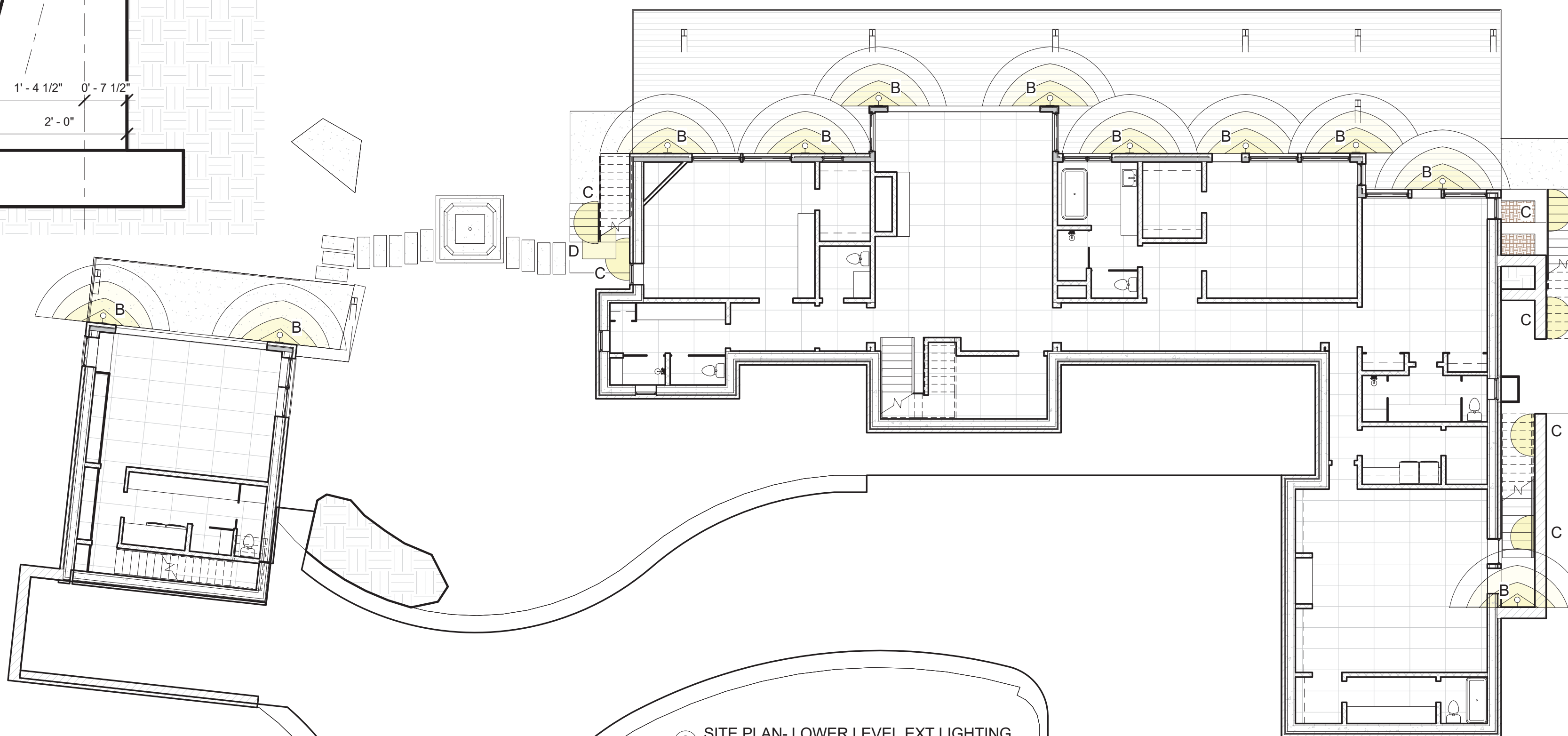
2 SITE PLAN- EXT LIGHTING LEVEL 3  
3/32" = 1'-0"



1 SITE PLAN- MAIN LEVEL EXT LIGHTING  
3/32" = 1'-0"  
BACK LIT ADDRESS MONUMENT PER CODE-SEE SITE PLAN FOR LOCATION

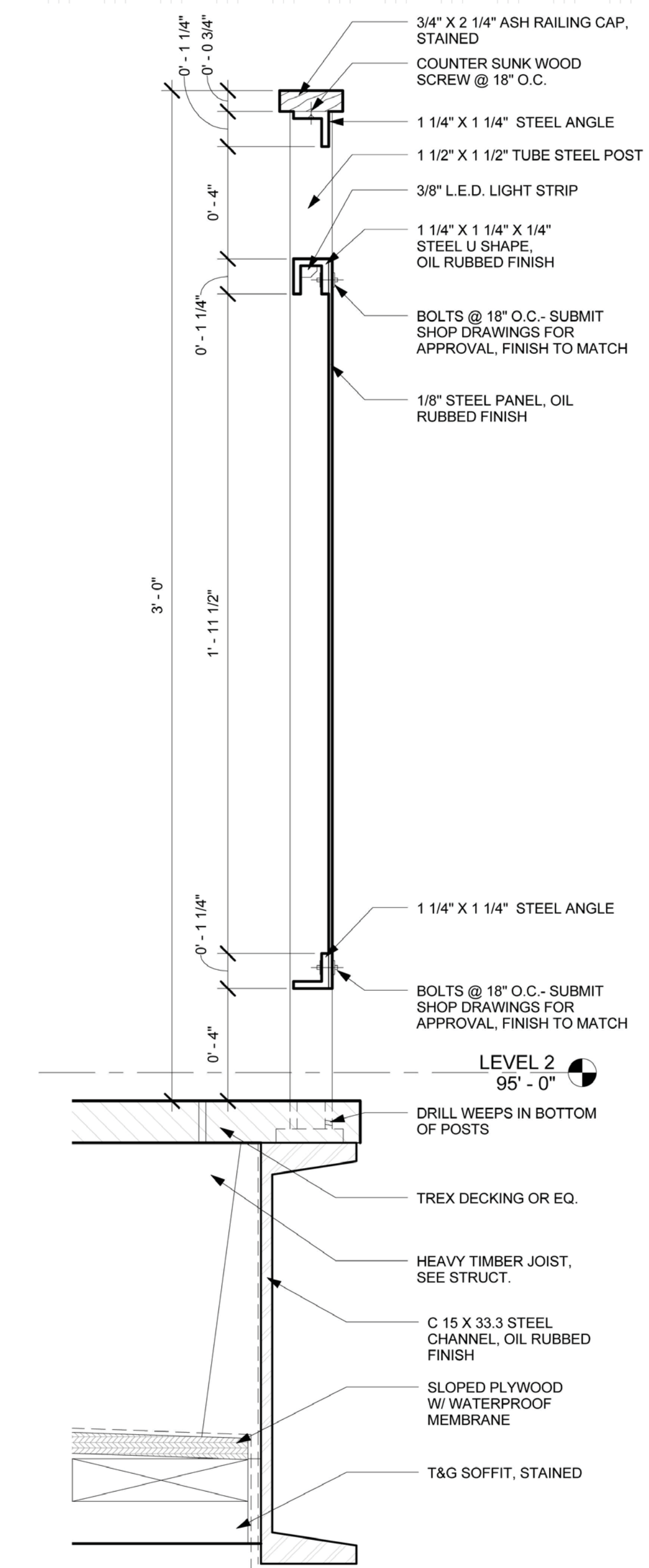


4 ADDRESS MONUMENT  
3/4" = 1'-0"



3 SITE PLAN- LOWER LEVEL EXT LIGHTING  
3/32" = 1'-0"

- A: LARGE EXTERIOR SCNCE
- B: SMALL EXTERIOR SCNCE
- C: EXTERIOR STEP LIGHT
- D: EXTERIOR ROPE LIGHT
- \*\*\*ALL LIGHTING TO BE ON A DIMMER MANAGEMENT SYSTEM\*\*\*
- MAX LUMENS = 850
- SEE A810 FOR LIGHTING CUT SHEETS



2 DETAIL- RAILING @ NORTH DECK  
3" = 1'-0"

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DATE	DESCRIPTION
10-18-22	DRB SET
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11-29-2021	PROGRESS
10-19-2021	PROGRESS
9-23-2021	HAASING STUDY
7-1-2021	LAYOUT

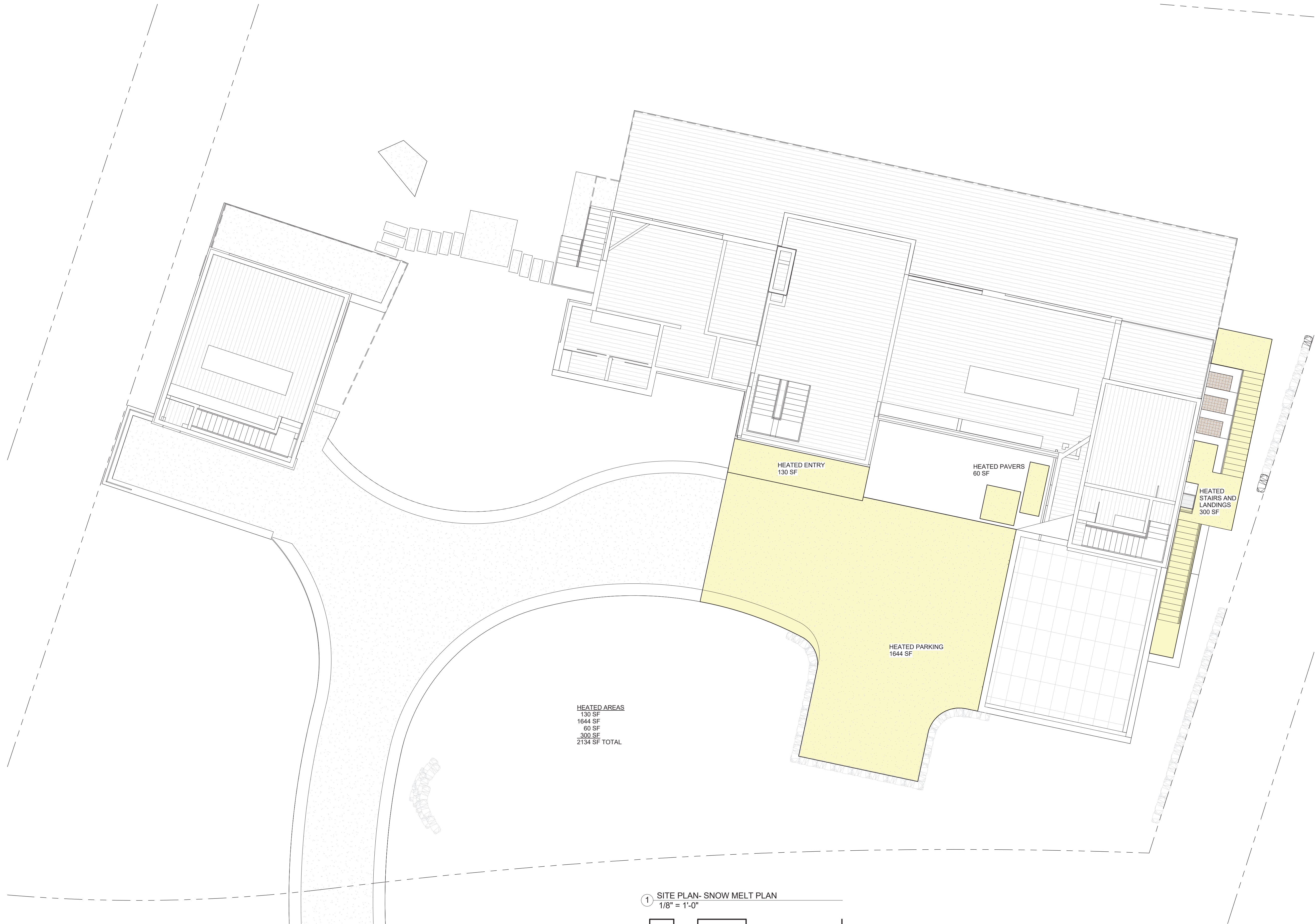
PROJECT NAME  
**BC107**  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION  
**EXTERIOR LIGHTING PLAN**

SHEET NUMBER  
**A104**

PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
DATE:





HEATED AREAS  
 130 SF  
 1644 SF  
 60 SF  
 300 SF  
 2134 SF TOTAL

HEATED ENTRY  
 130 SF

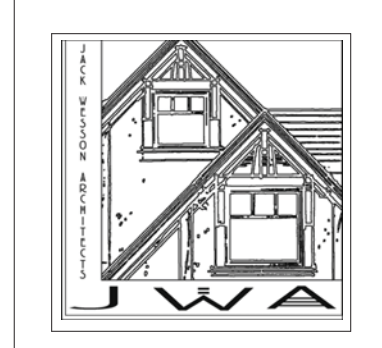
HEATED PAVERS  
 60 SF

HEATED STAIRS AND  
 LANDINGS  
 300 SF

HEATED PARKING  
 1644 SF

1 SITE PLAN- SNOW MELT PLAN  
 1/8" = 1'-0"  
 0' 4' 8' 16' 32'

NOT FOR CONSTRUCTION

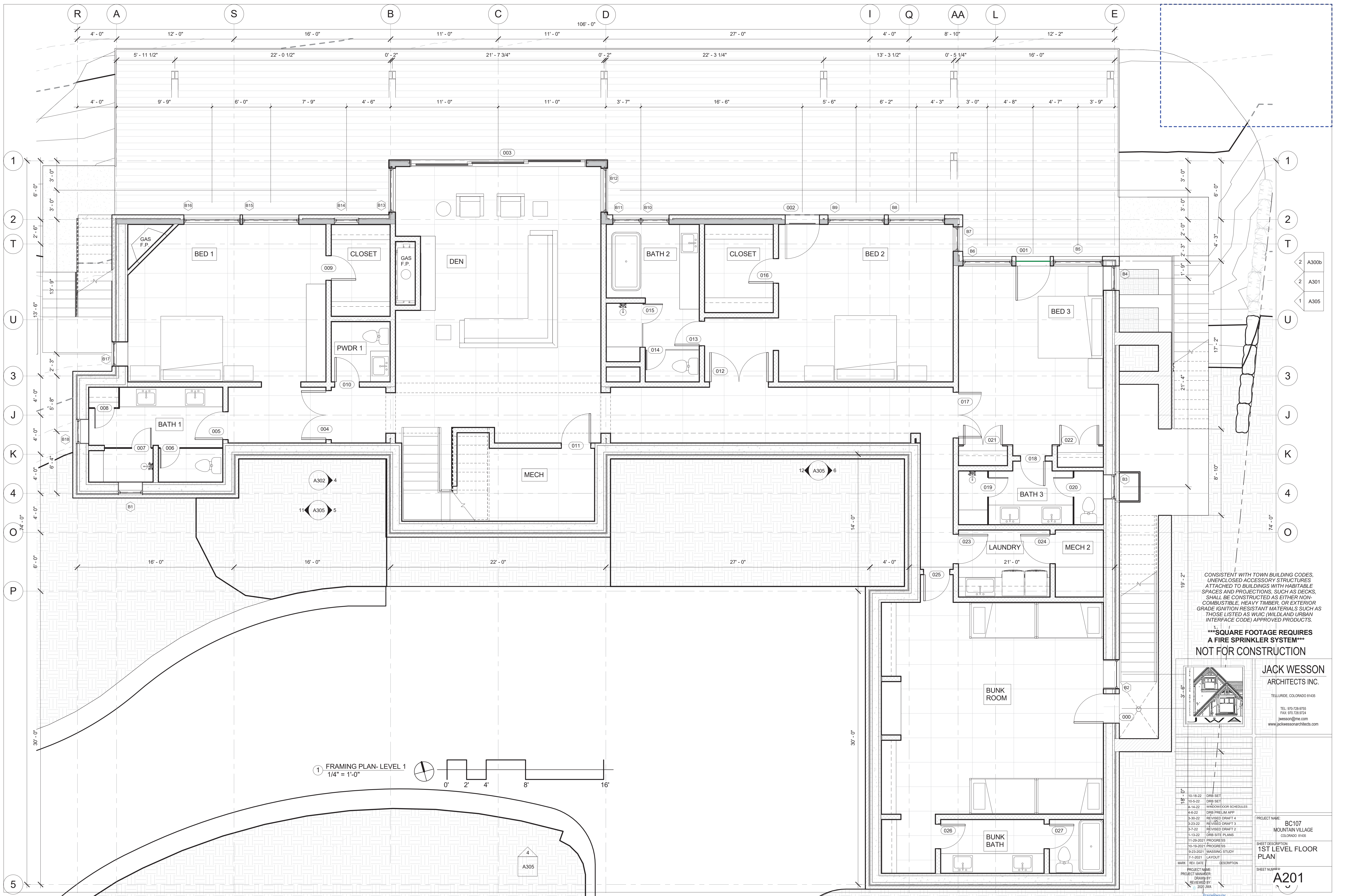


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10-19-2021	PROGRESS	
9-23-2021	TRASSING STUDY	
7-1-2021	LAYOUT	

PROJECT NAME: BC107 MOUNTAIN VILLAGE  
 COLORADO 81435  
 SHEET DESCRIPTION: SNOW MELT PLAN  
 SHEET NUMBER: A105





CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.

**\*\*\*SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM\*\*\*  
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3-30-22	004	REVISED DRAFT 4	
3-23-22	005	REVISED DRAFT 3	
3-1-22	006	REVISED DRAFT 2	
1-13-22	007	DRB SITE PLANS	
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7-1-2021	011	LAYOUT	

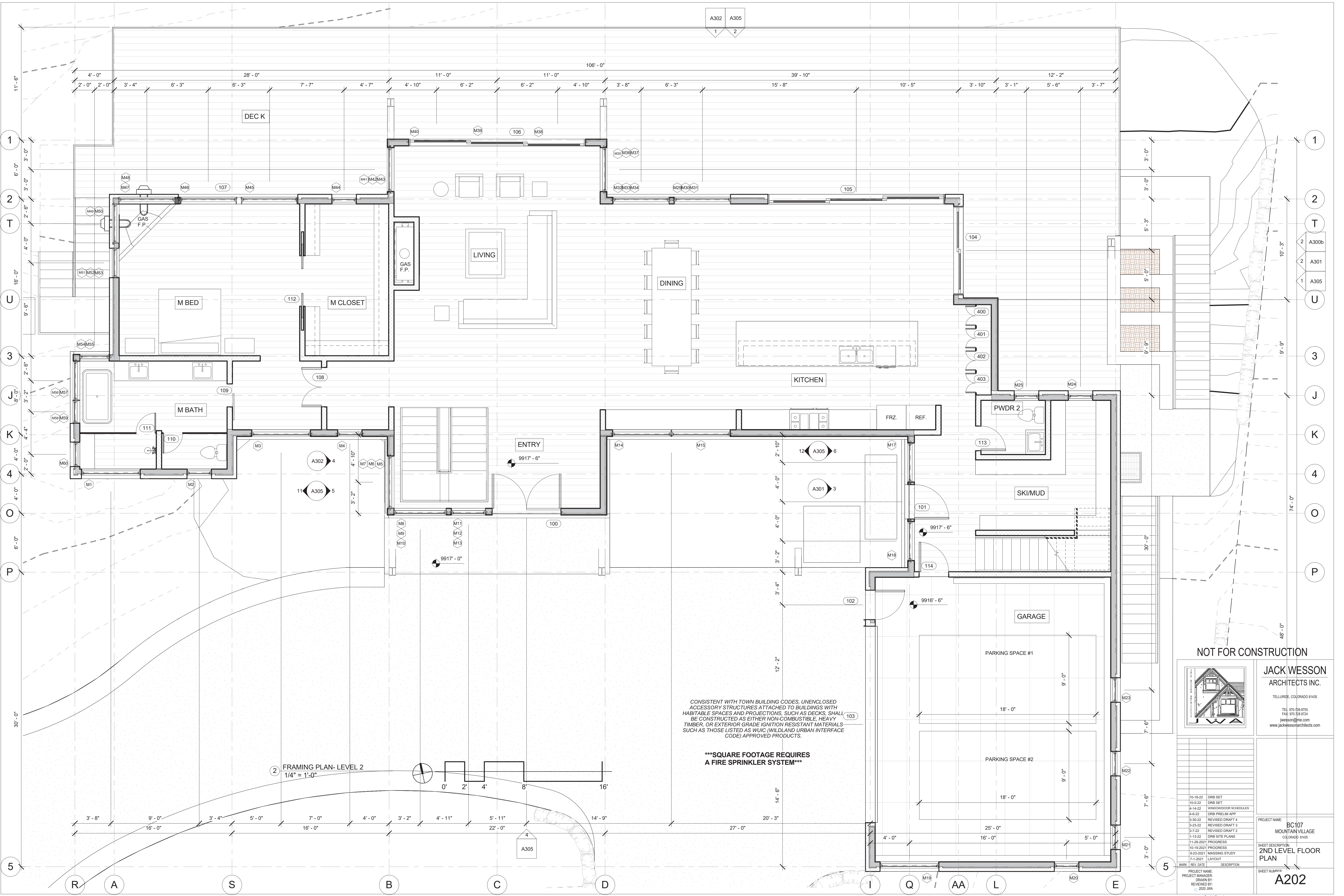
PROJECT NAME: BC107 MOUNTAIN VILLAGE COLORADO 81435

SHEET DESCRIPTION: 1ST LEVEL FLOOR PLAN

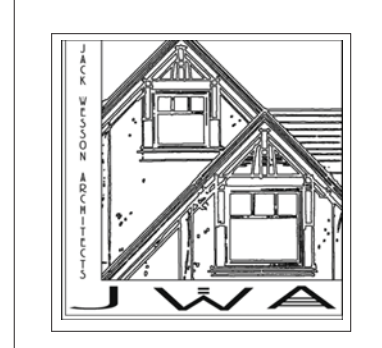
SHEET NUMBER: A201

1 FRAMING PLAN- LEVEL 1  
1/4" = 1'-0"





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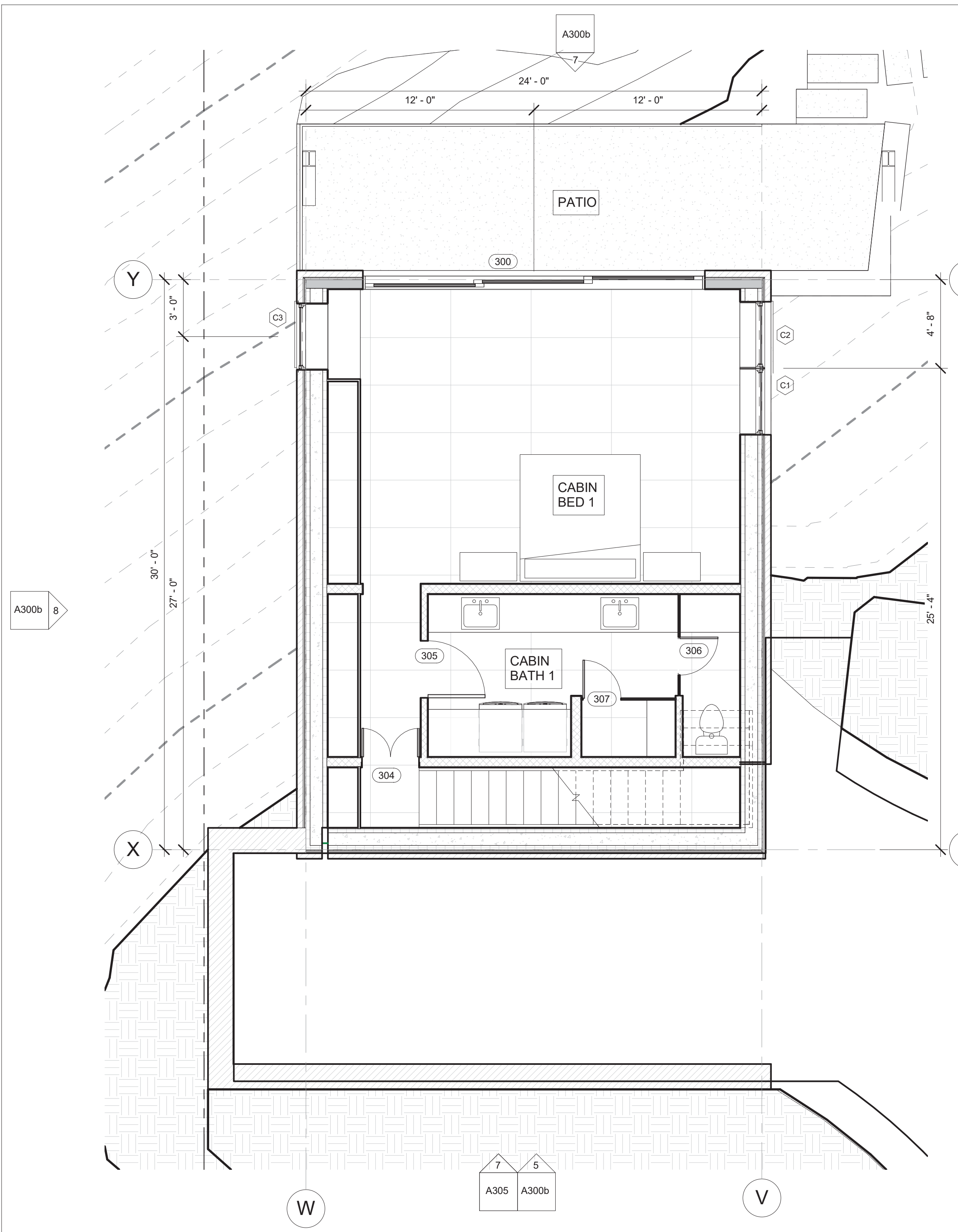
PROJECT NAME: BC107 MOUNTAIN VILLAGE COLO.09400 81435  
SHEET DESCRIPTION: 2ND LEVEL FLOOR PLAN  
SHEET NUMBER: A202

2 FRAMING PLAN- LEVEL 2  
1/4" = 1'-0"

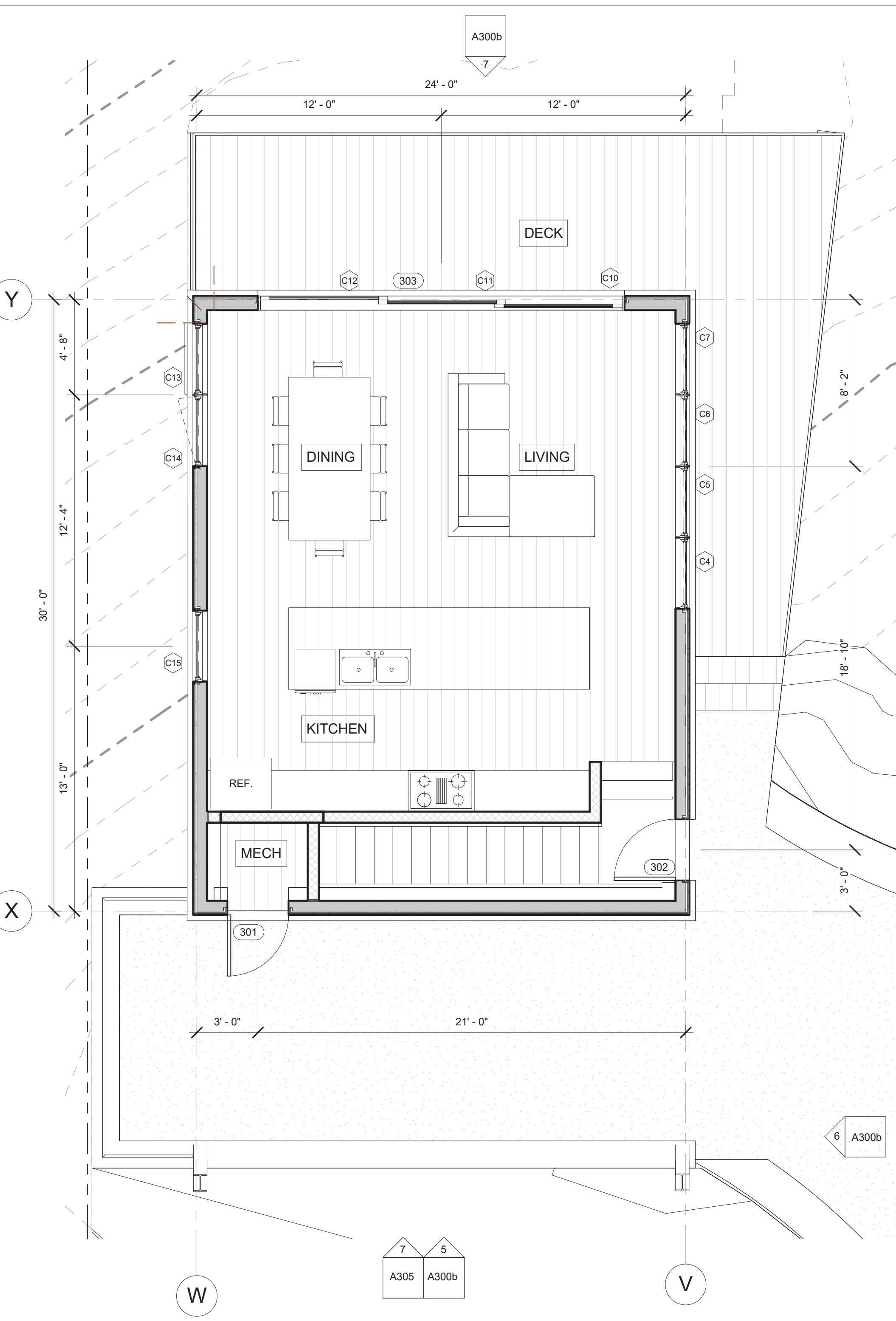
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\*\*\*SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM\*\*\*

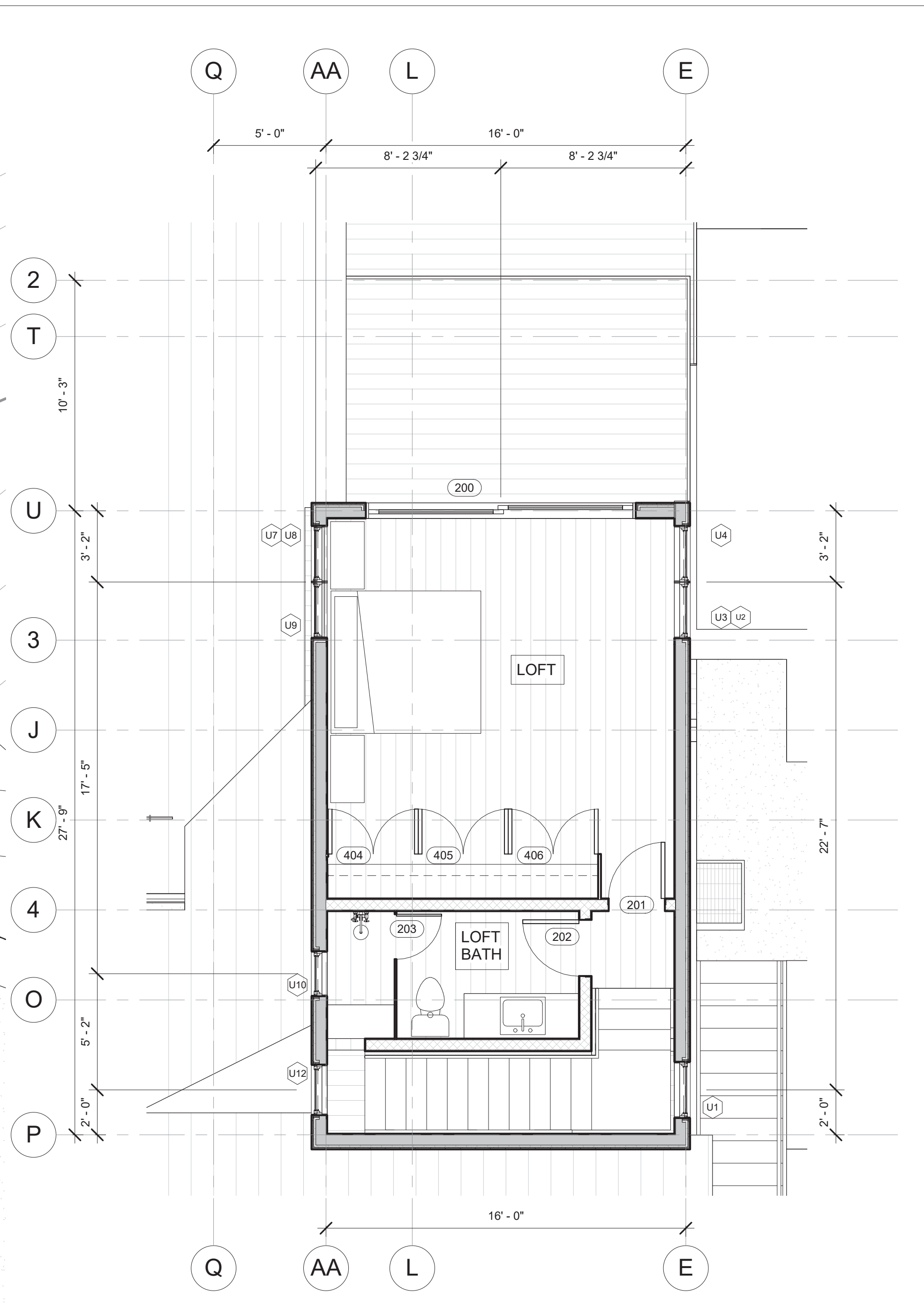




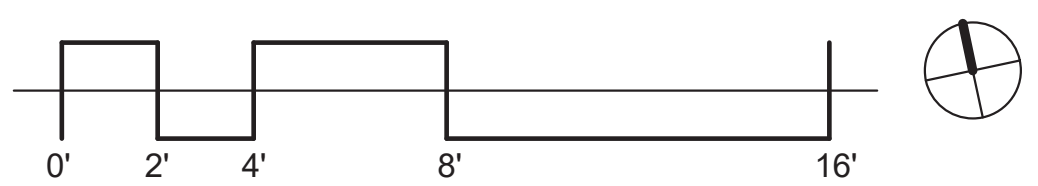
2 CABIN FRAMING PLAN- LEVEL 1  
1/4" = 1'-0"



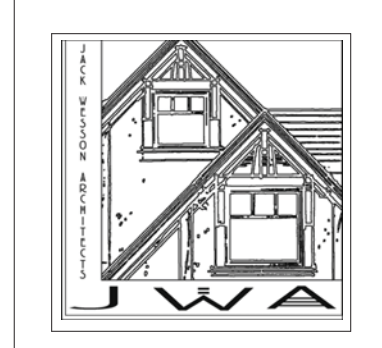
3 CABIN FRAMING PLAN- LEVEL 2  
1/4" = 1'-0"



1 FRAMING PLAN- LEVEL 3  
1/4" = 1'-0"



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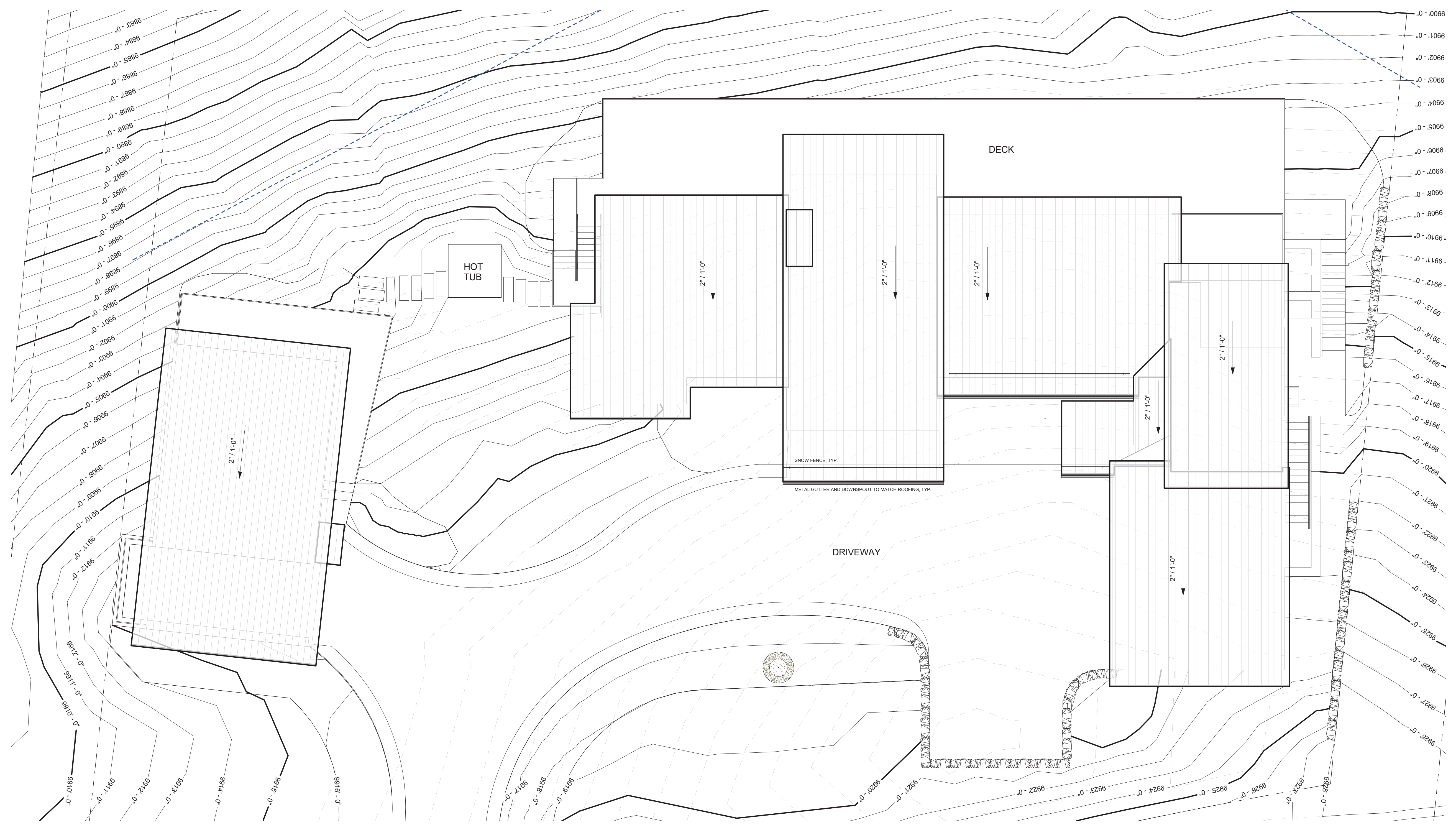
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7-1-2021		LAYOUT

PROJECT NAME: BC107 MOUNTAIN VILLAGE COLORADO 81435  
SHEET DESCRIPTION: 3RD LEVEL & SECONDARY FRAMING PLAN  
SHEET NUMBER: A203

CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.

\*\*\*SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM\*\*\*





1 ROOF FRAMING PLAN  
1/8" = 1'-0"

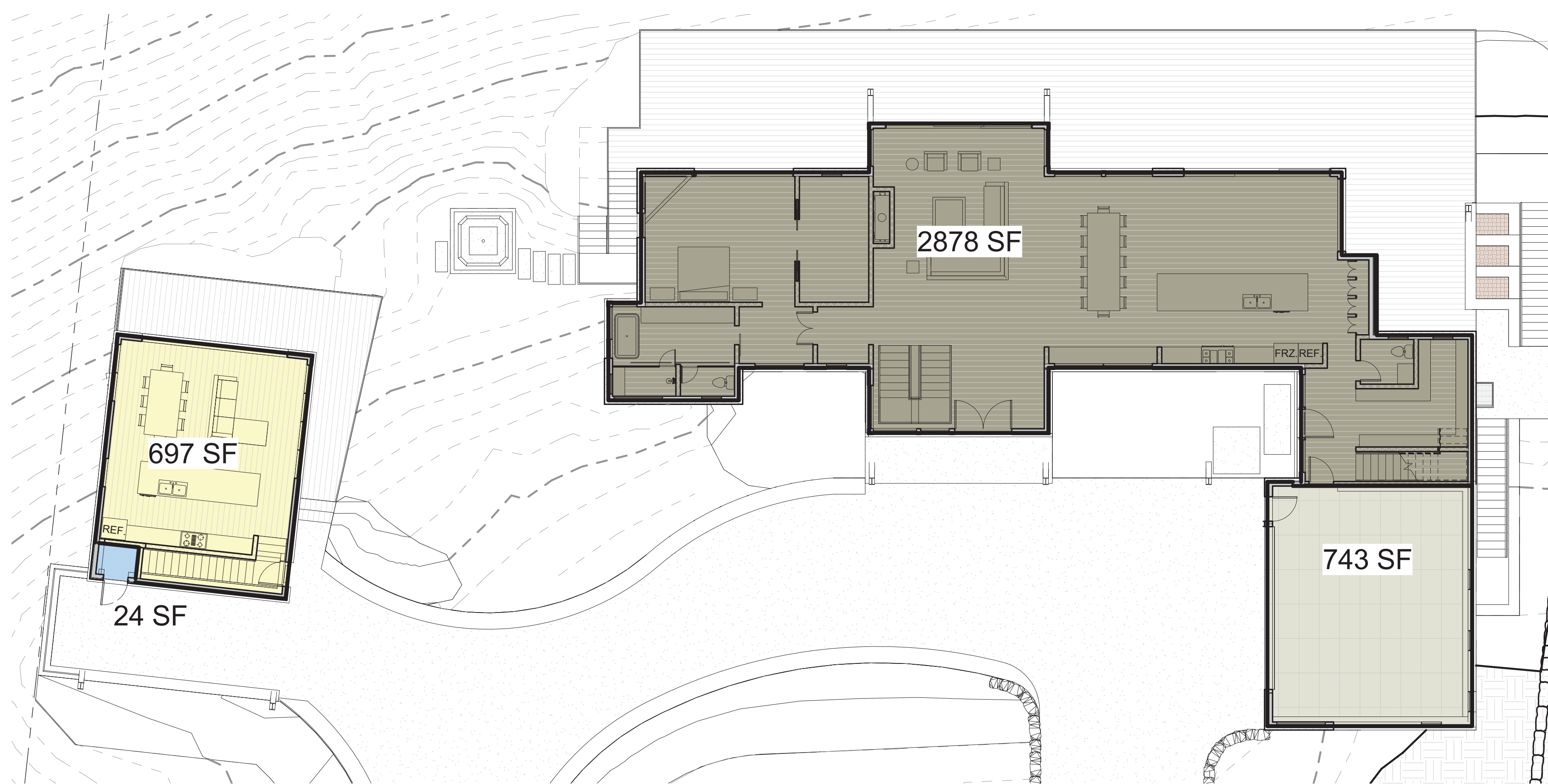
**NOT FOR CONSTRUCTION**

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TEL: 970-728-8755  
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jwesson@jwa.com  
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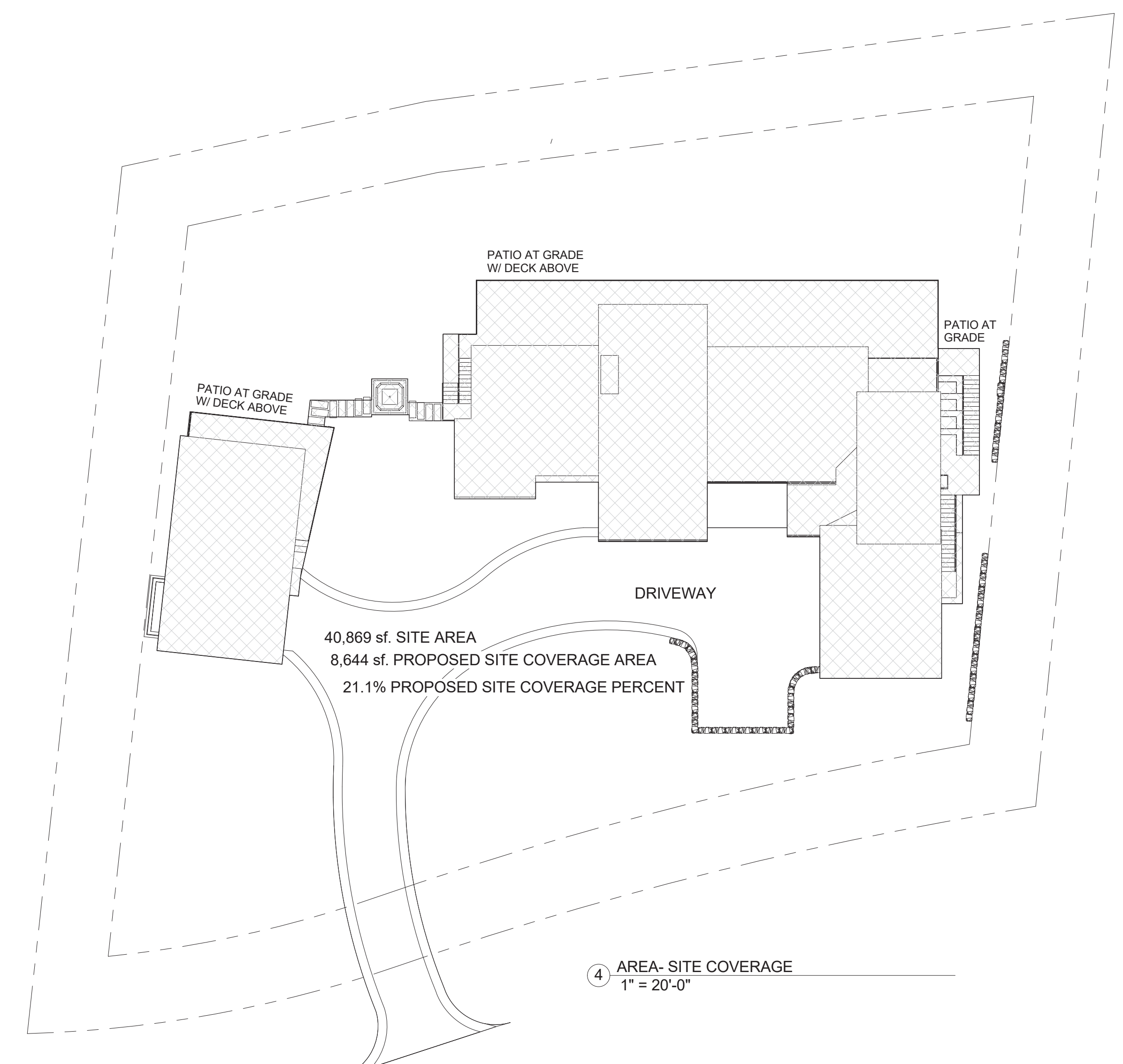
10-18-22	DRB SET	
10-22	DRB SET	
4-14-22	WINDOW/DOOR SCHEDULES	
4-6-22	DRB PRELIM APP	
3-30-22	REVISED DRAFT 4	
3-23-22	REVISED DRAFT 3	
3-7-22	REVISED DRAFT 2	
1-13-22	DRB SITE PLANS	
11-28-2021	PROGRESS	
10-19-2021	PROGRESS	
9-23-2021	MARKING STUDY	
7-1-2021	LAYOUT	

PROJECT NAME	BC107	
PROJECT MANAGER	MOUNTAIN VILLAGE	
DRAWN BY	COLORADO 81435	
REVIEWED BY		

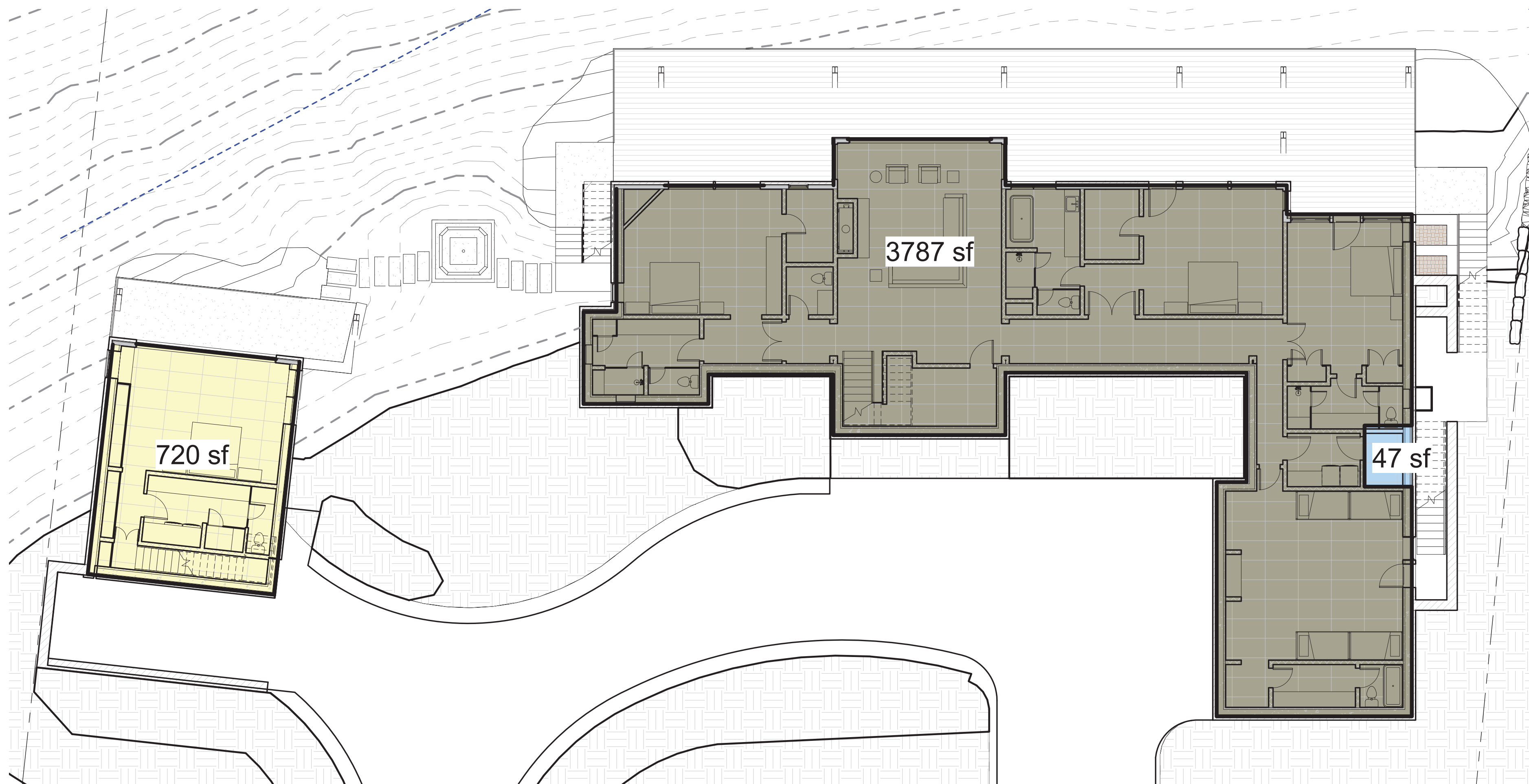




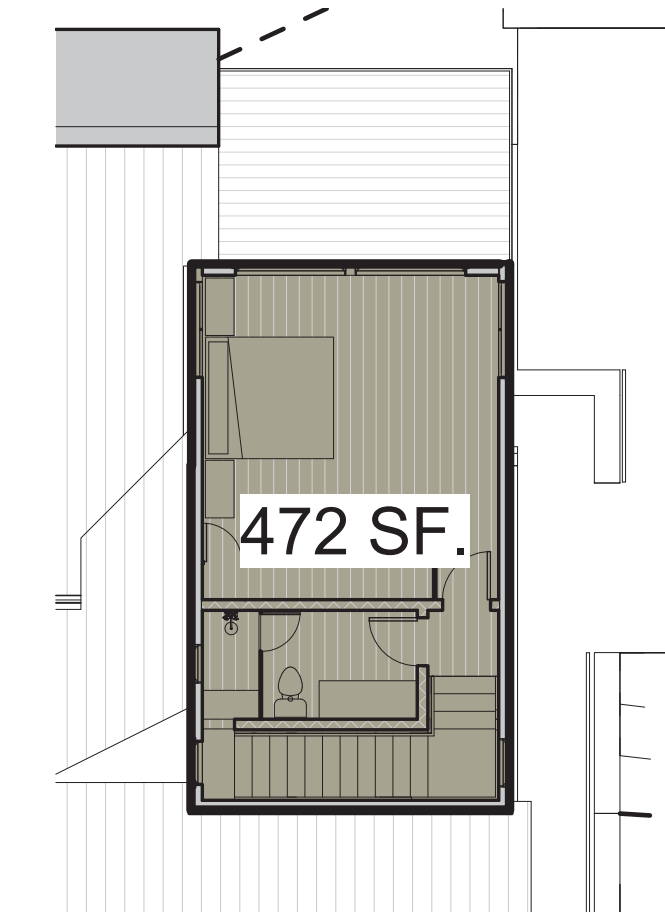
③ AREA PLAN- FRAMING PLAN- LEVEL 2  
1" = 10'-0"



④ AREA- SITE COVERAGE  
1" = 20'-0"



② AREA PLAN- FRAMING PLAN- LEVEL 1  
1" = 10'-0"



① AREA PLAN- FRAMING PLAN- LEVEL 3  
1" = 10'-0"

**AREA ANALYSIS:**

**SITE AREA =** 40,869 sf.  
**ALLOW. SITE COVER. (40%) =** 16,348 sf.  
**PRO. SITE COVER. (21.1%) =** 8,644 sf.

**MAIN HOUSE**

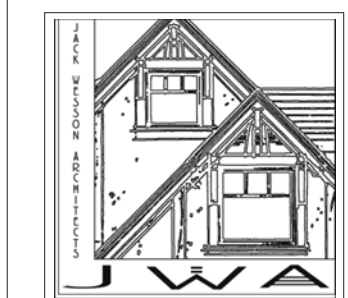
**GROSS AREA (TO FACE OF STRUCTURE):**  
**1ST LVL**  
 LIVING = 3787 sf.  
 MECH = 47 sf.  
**2ND**  
 LIVING = 2878 sf.  
 GARAGE = 743 sf.  
**3RD LVL**  
 LIVING = 472 sf.

**TOTAL LIVING =** 6,665 sf.  
**TOTAL GROSS =** 7,455 sf.

**SECONDARY STRUCTURE**

**1ST LEVEL =** 720 sf.  
**2ND LEVEL =** 695 sf.  
**MECH =** 25 sf.  
**TOTAL LIVING =** 1,415 sf.  
**TOTAL GROSS =** 1,440 sf.

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MARK	REV	DATE	DESCRIPTION
		10-18-22	DRB SET
		10-5-22	DRB SET
		4-14-22	WINDOW/DOOR SCHEDULES
		4-6-22	DRB PRELIM APP
		3-30-22	REVISED DRAFT 4
		3-23-22	REVISED DRAFT 3
		3-7-22	REVISED DRAFT 2
		1-13-22	DRB SITE PLANS
		11-28-2021	PROGRESS
		10-19-2021	PROGRESS
		9-23-2021	MARKING STUDY
		7-1-2021	LAYOUT

PROJECT NAME: BC107  
MOUNTAIN VILLAGE  
COLORADO 81435

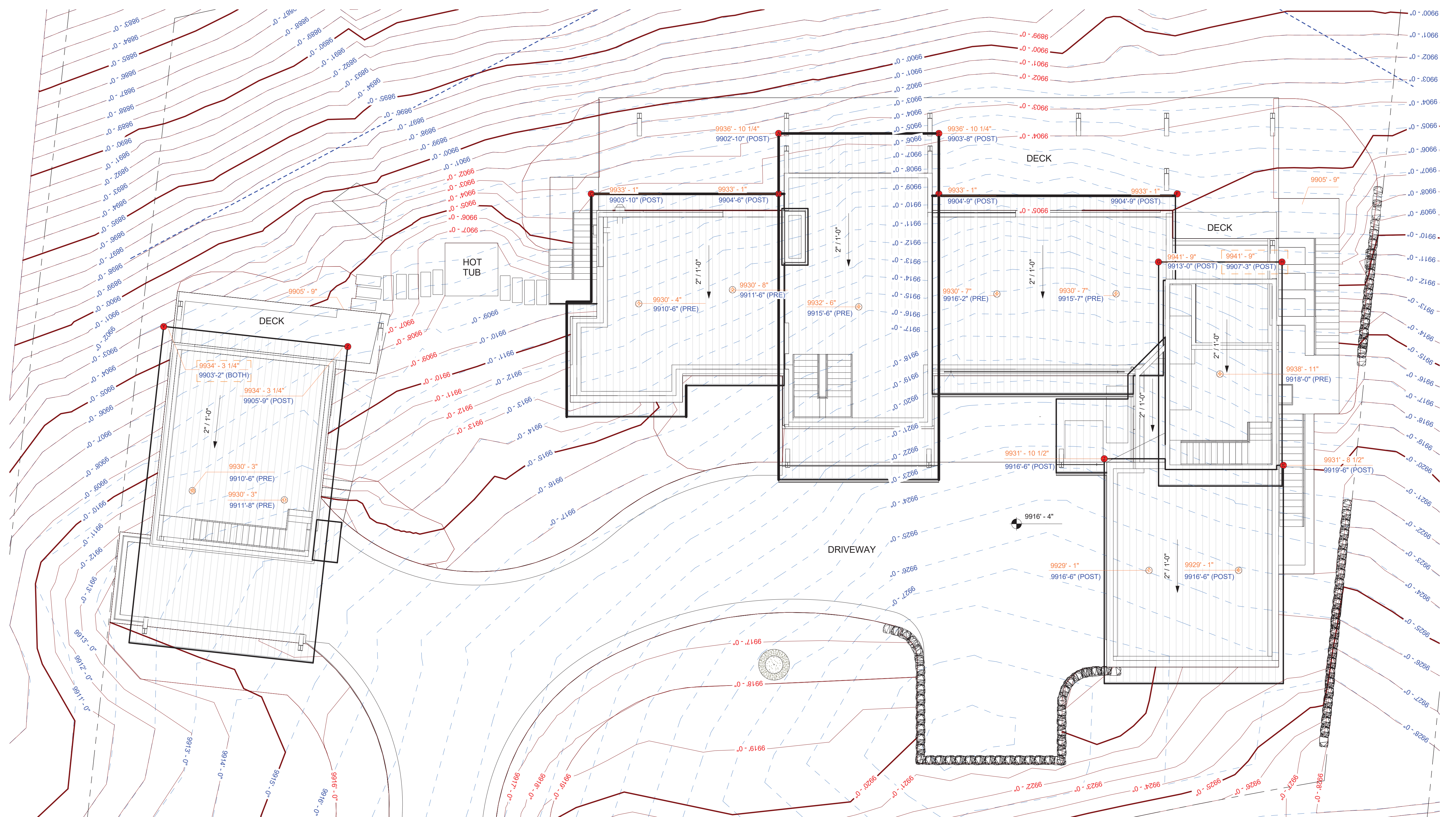
SHEET DESCRIPTION:  
AREA ANALYSIS

SHEET NUMBER:  
A205

**\*\*\*SQUARE FOOTAGE REQUIRES  
A FIRE SPRINKLER SYSTEM\*\*\***

PROJECT NAME:  
PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
DATE:





① HEIGHT CALC ROOF PLAN  
1/8" = 1'-0"

MAIN HOUSE AVERAGE GRADE CALC			MAIN HOUSE HIGH POINT GRADE CALC			
GRADE (MOST RESTRICTIVE)	ROOF MID POINT	HEIGHT	GRADE (MOST RESTRICTIVE)	ROOF HIGH POINT	HEIGHT	
1	9910'-6"	9930'-4"	SOUTH n/a	n/a	n/a	
2	9911'-6"	9930'-8"	WEST 9902'-10"	9936'-10 1/4"	34'-0 1/4"	
3	9915'-6"	9932'-6"	MOST RESTRICTIVE- H	NORTH 9907'-3"	9941'-9"	34'-6"
4	9916'-2"	9930'-7"	MOST RESTRICTIVE- H	EAST 9907'-3"	9941'-9"	34'-6"
5	9915'-7"	9930'-7"				
6	9918'-0"	9938'-11"				
7	9916'-6"	9929'-1"				
8	9916'-6"	9929'-1"				
		<b>131'-6"/8 = 16'-5 1/4"</b>				
CABIN AVERAGE GRADE CALC			CABIN HIGH POINT GRADE CALC			
GRADE (MOST RESTRICTIVE)	ROOF MID POINT	HEIGHT	GRADE (MOST RESTRICTIVE)	ROOF HIGH POINT	HEIGHT	
10	9910'-6"	9930'-3"	SOUTH n/a	n/a	n/a	
11	9911'-8"	9930'-3"	MOST RESTRICTIVE- Y	WEST 9903'-2"	9934'-3 1/4"	31'-1 1/4"
		<b>38'-4"/2 = 19'-2"</b>	MOST RESTRICTIVE- Y	NORTH 9903'-2"	9934'-3 1/4"	31'-1 1/4"
				EAST 9905'-9"	9934'-3 1/4"	28'-6 1/4"

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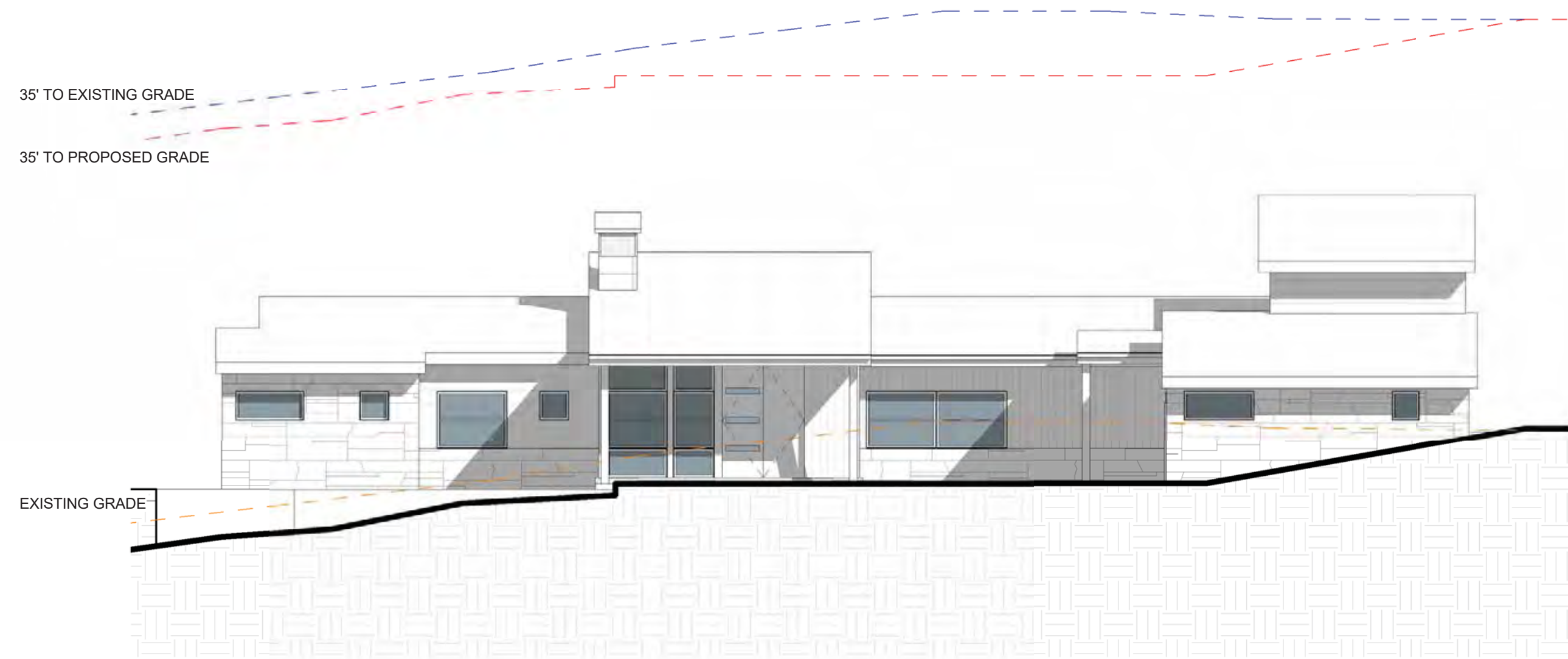
MARK	REV	DATE	DESCRIPTION
10-18-22	DRB	SET	
10-5-22	DRB	SET	
4-14-22	WINDOW	DOOR SCHEDULES	
4-6-22	DRB	PRELIM APP	
3-30-22	REVISED	DRAFT 4	
3-23-22	REVISED	DRAFT 3	
3-1-22	REVISED	DRAFT 2	
1-13-22	DRB	SITE PLANS	
11-29-2021	PROGRESS		
10-19-2021	PROGRESS		
9-23-2021	MARKING	STUDY	
7-1-2021	LAYOUT		

PROJECT NAME:  
BC107  
MOUNTAIN VILLAGE  
COLORADO 81435

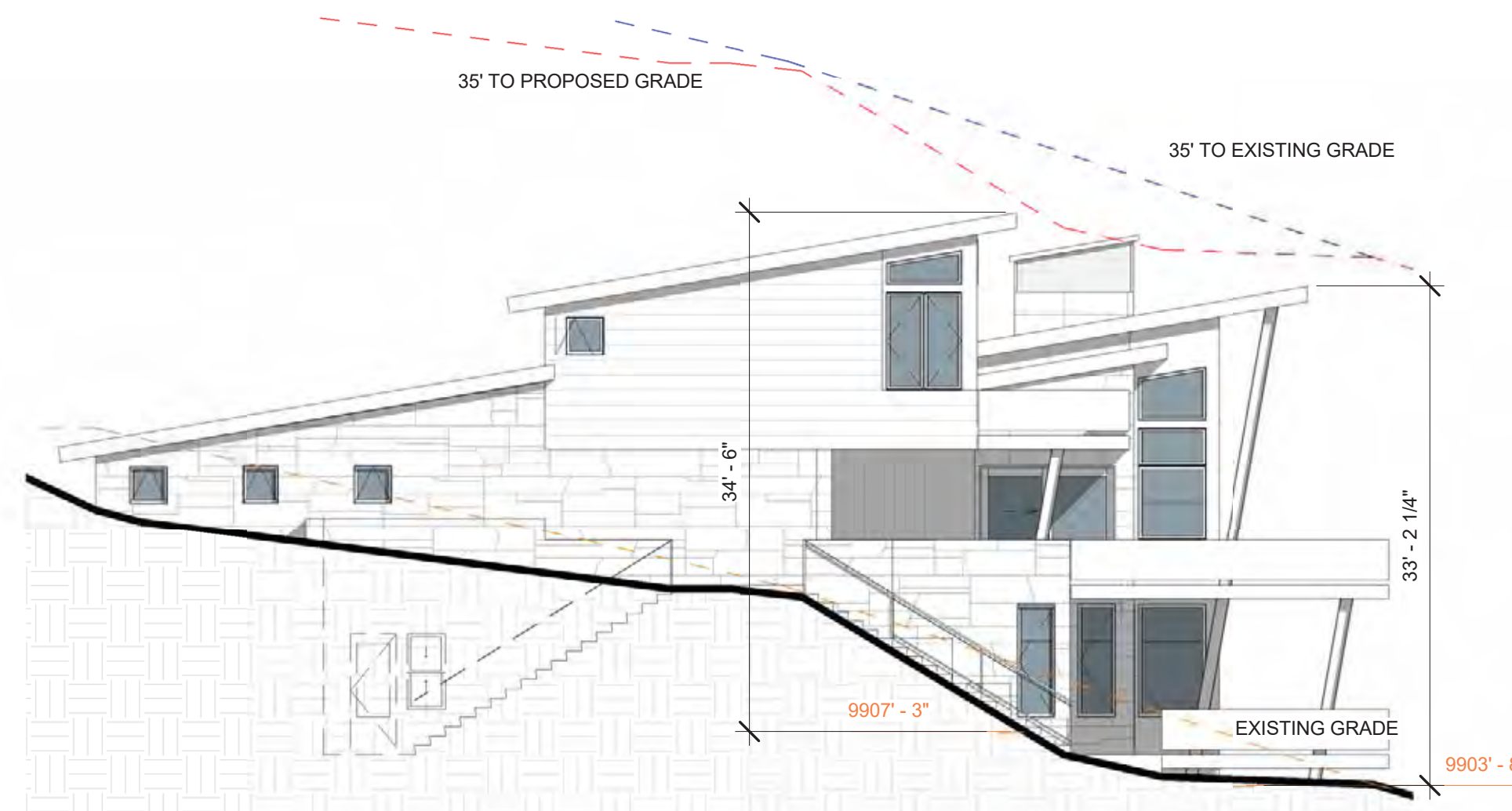
SHEET DESCRIPTION:  
HEIGHT CALCUS

SHEET NUMBER:  
**A300**

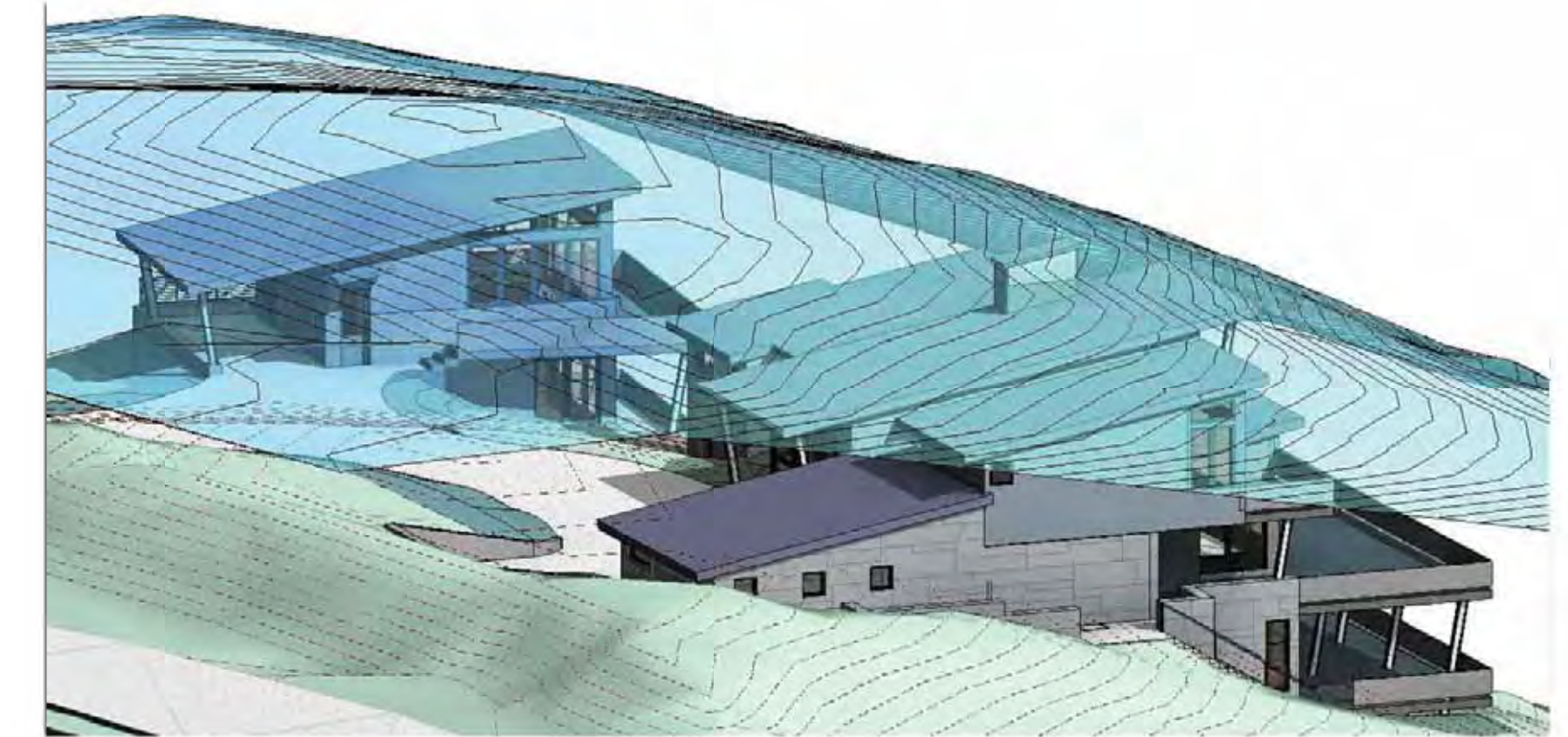




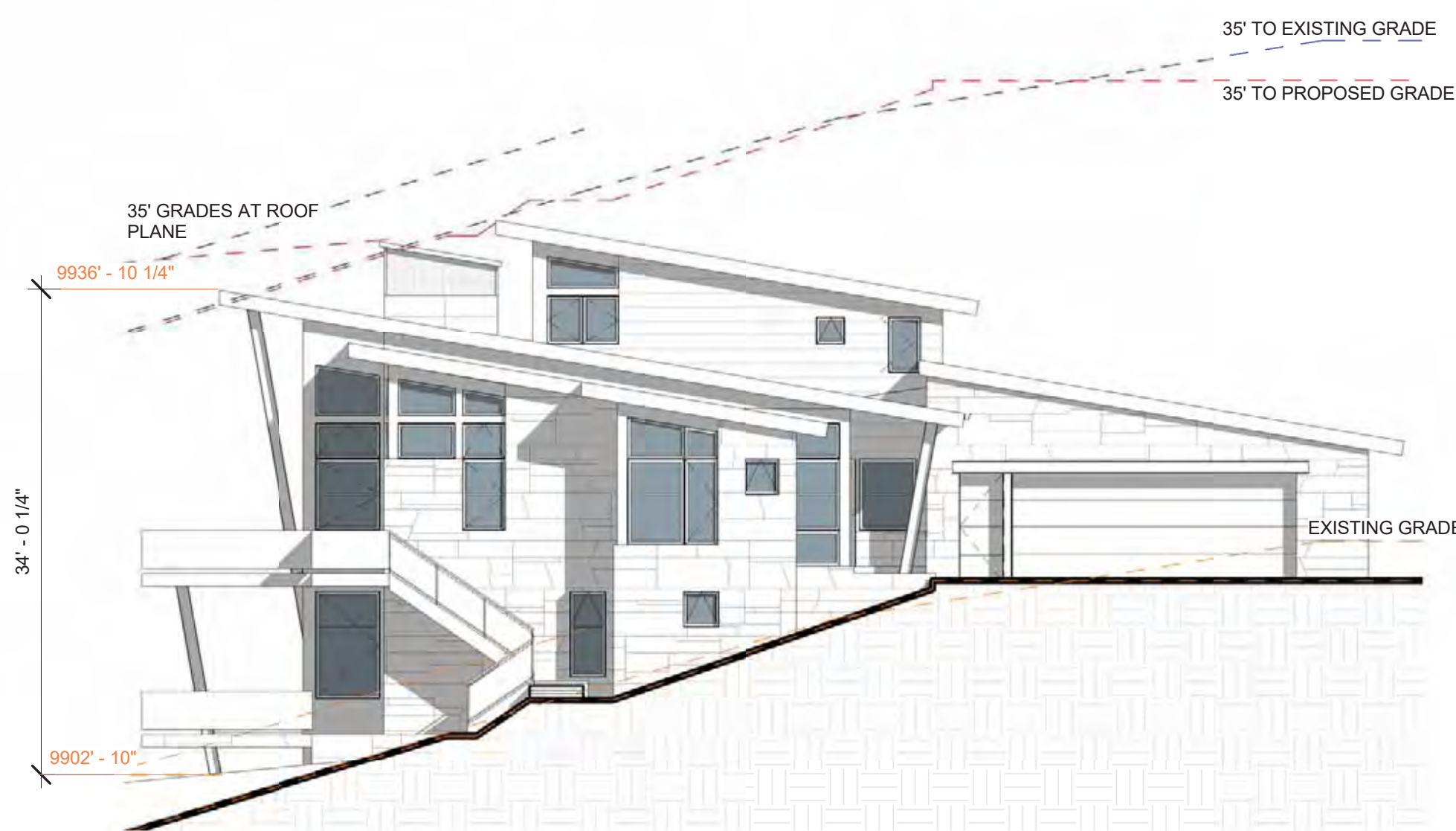
① HEIGHT CALC- SOUTH  
1" = 10'-0"



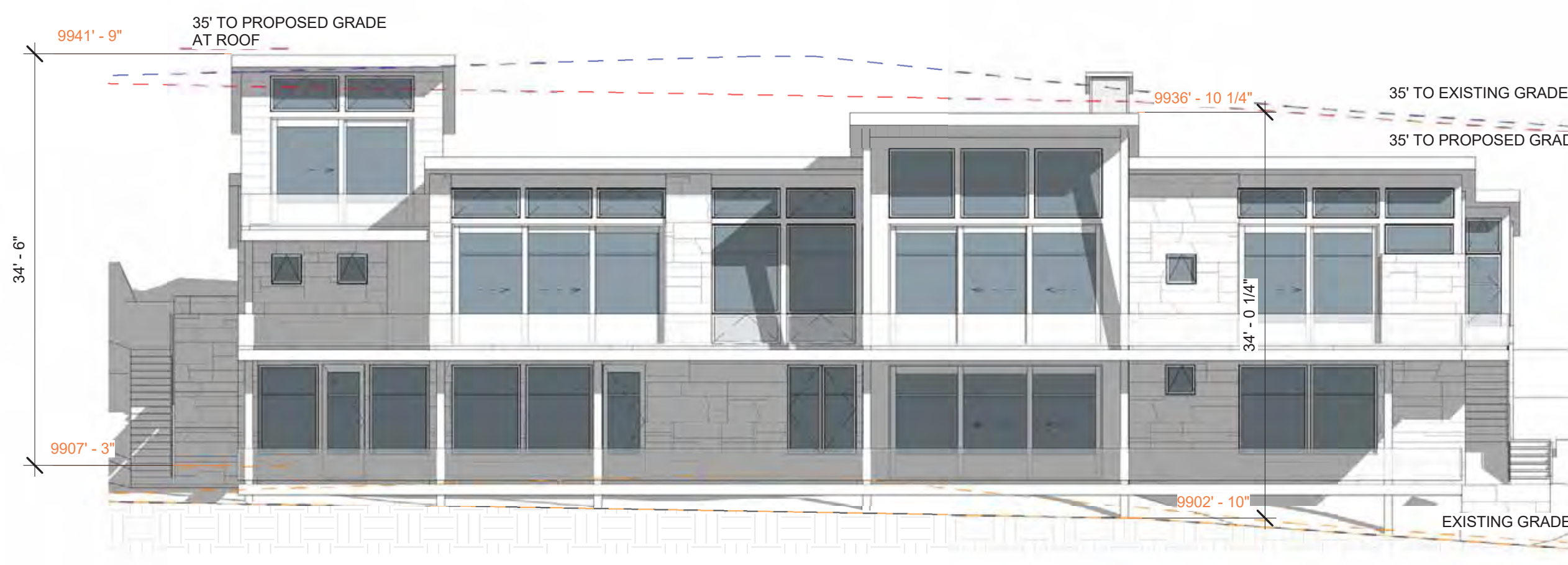
② HEIGHT CALC- EAST  
1" = 10'-0"



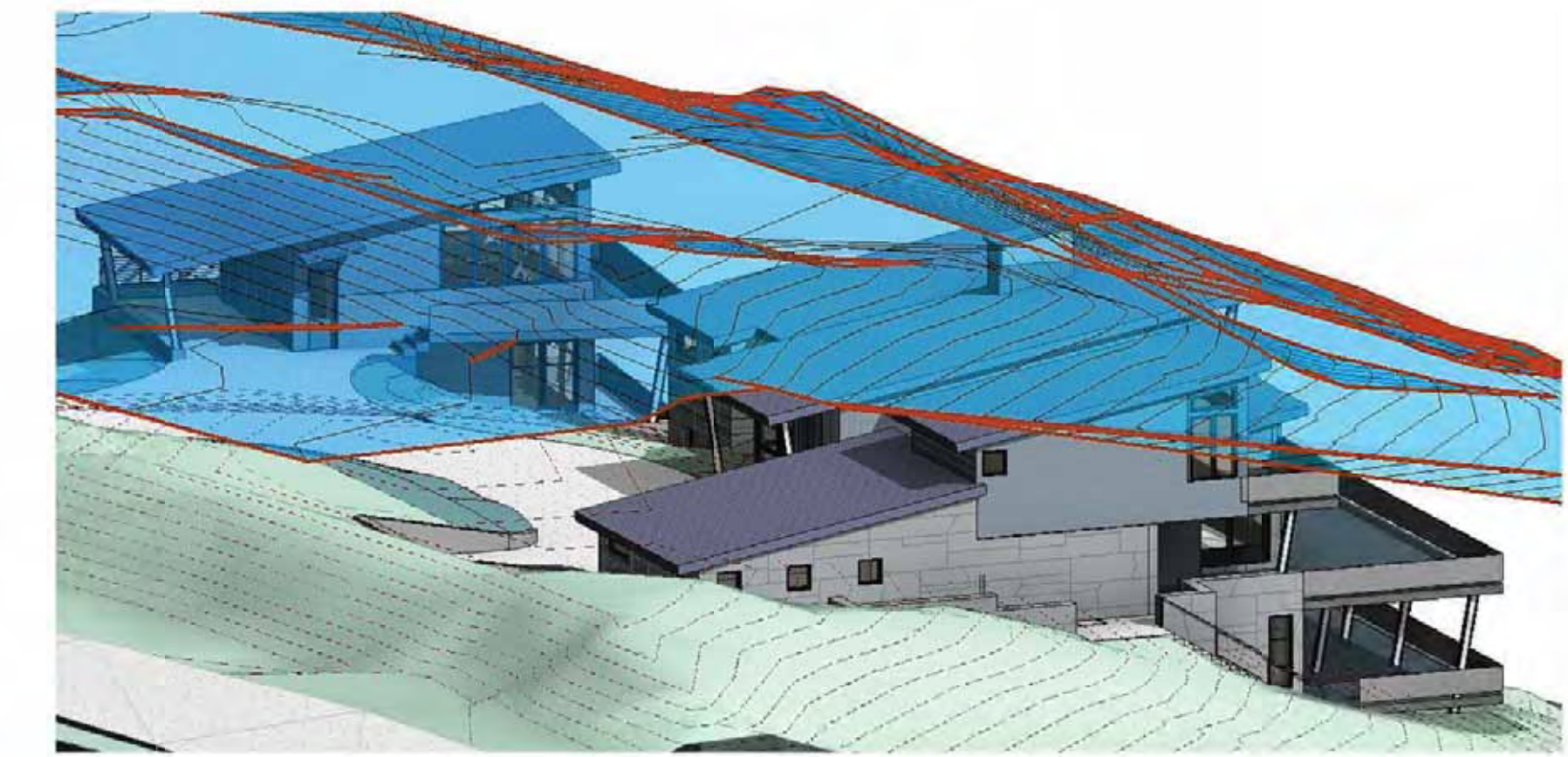
35' PRE CONSTRUCTION GRADE SHELL



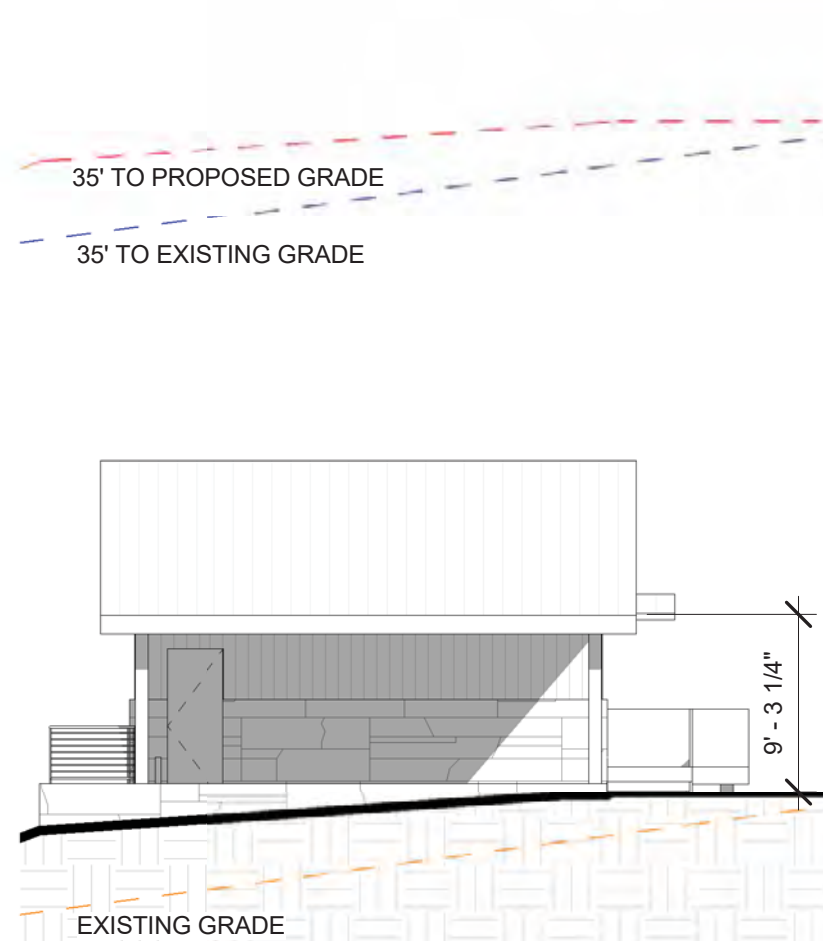
③ HEIGHT CALC- WEST  
1" = 10'-0"



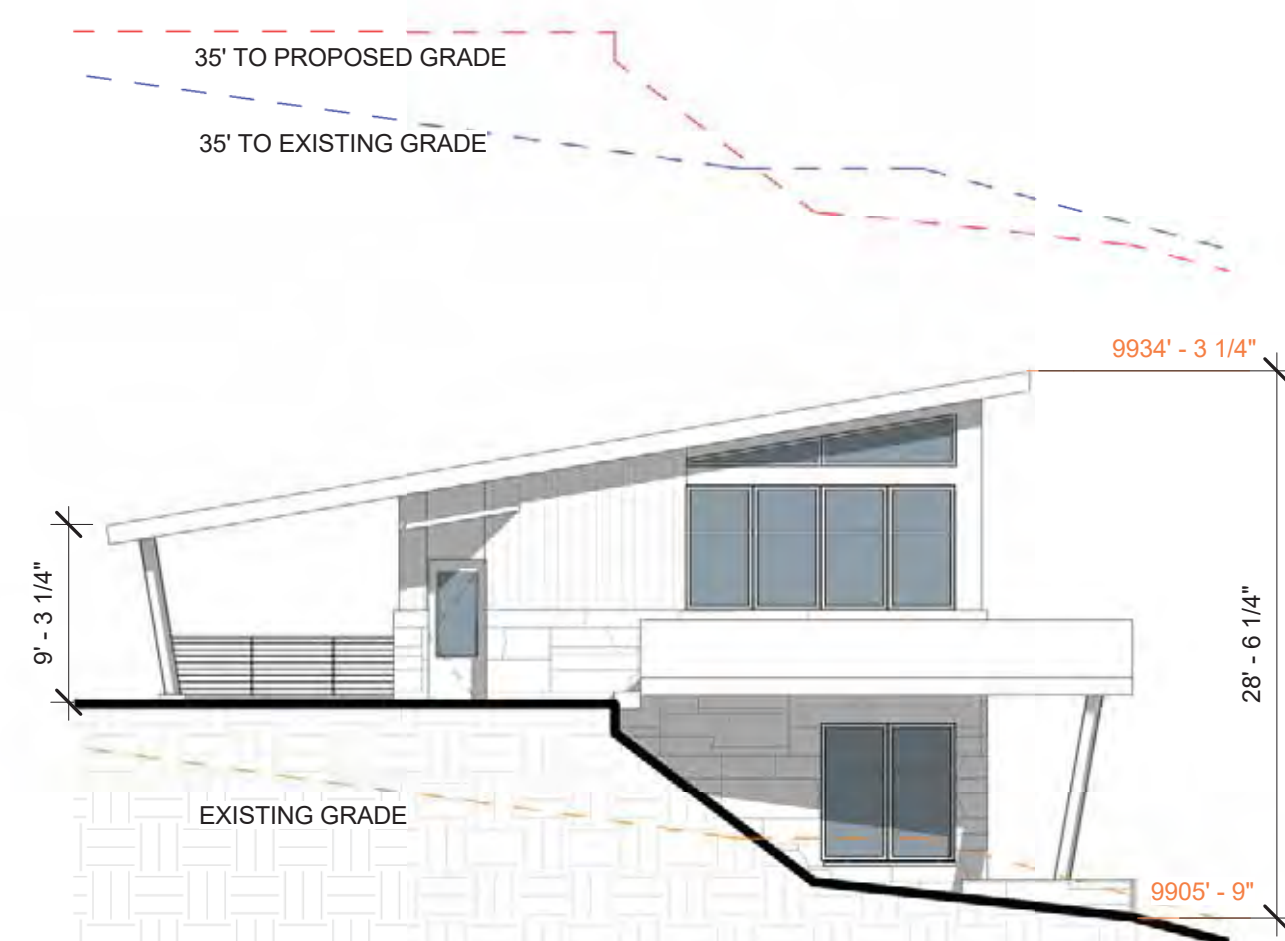
④ HEIGHT CALC- NORTH  
1" = 10'-0"



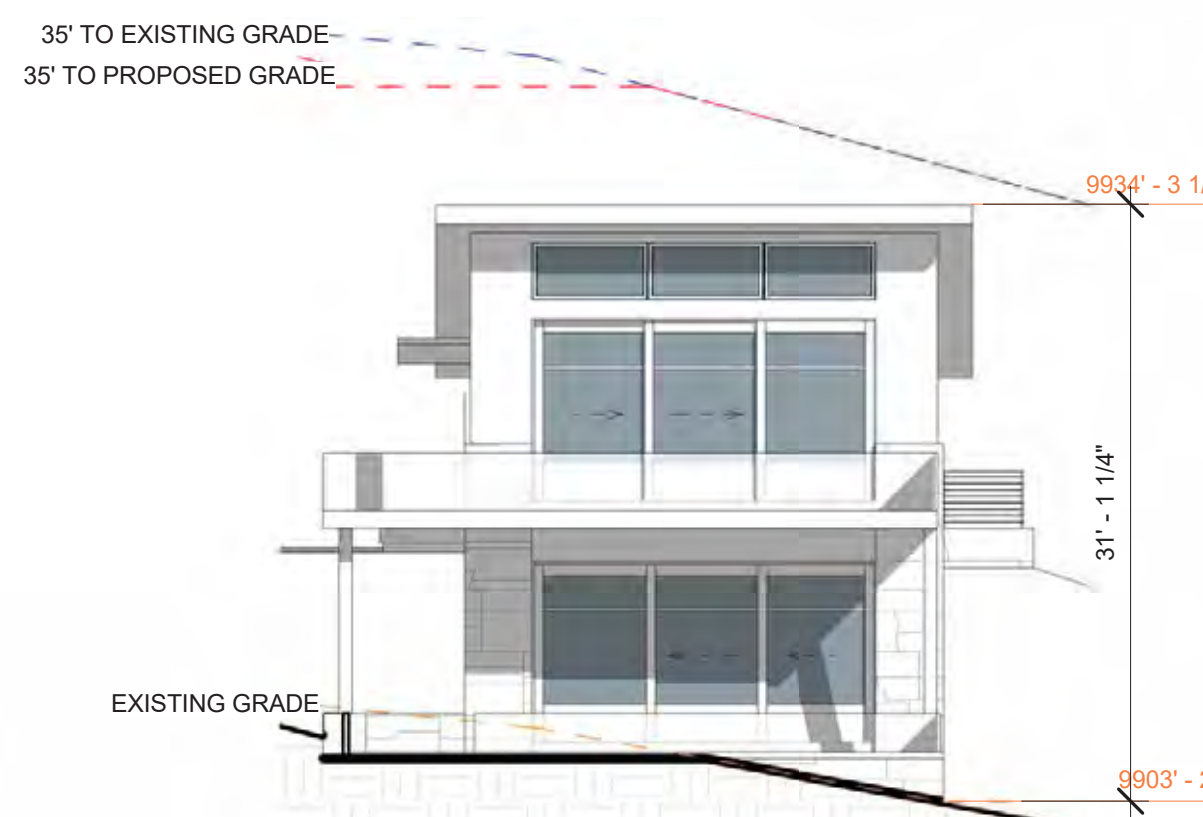
35' POST CONSTRUCTION GRADE SHELL



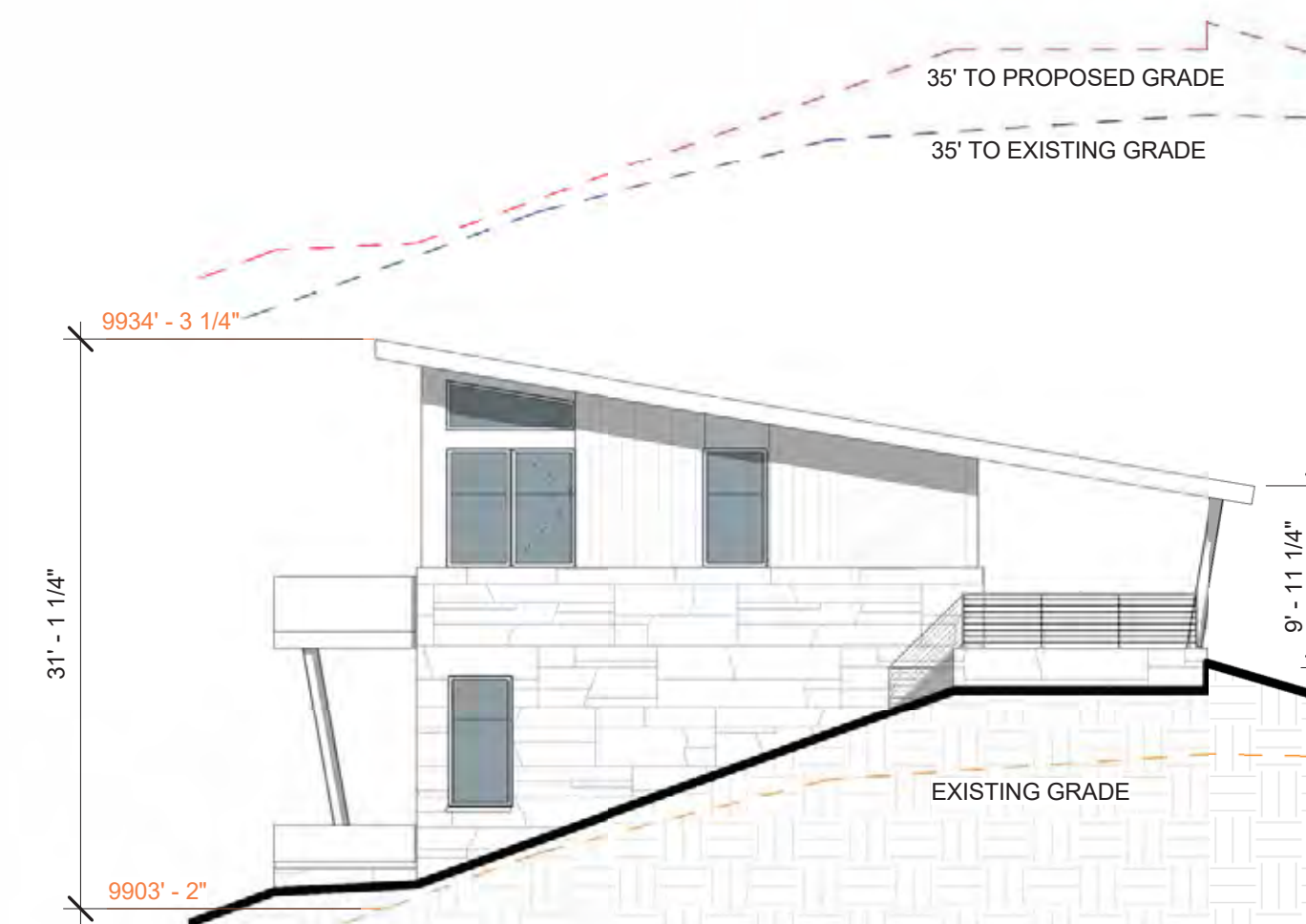
⑤ HEIGHT CALC- CABIN SOUTH ELEV  
1" = 10'-0"



⑥ HEIGHT CALC- CABIN EAST ELEV  
1" = 10'-0"

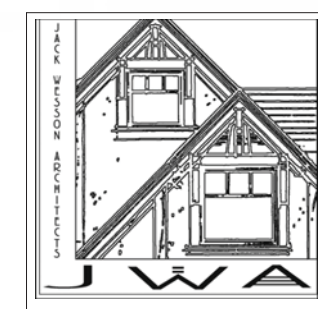


⑦ HEIGHT CALC- CABIN NORTH ELEV  
1" = 10'-0"



⑧ HEIGHT CALC- CABIN WEST ELEV  
1" = 10'-0"

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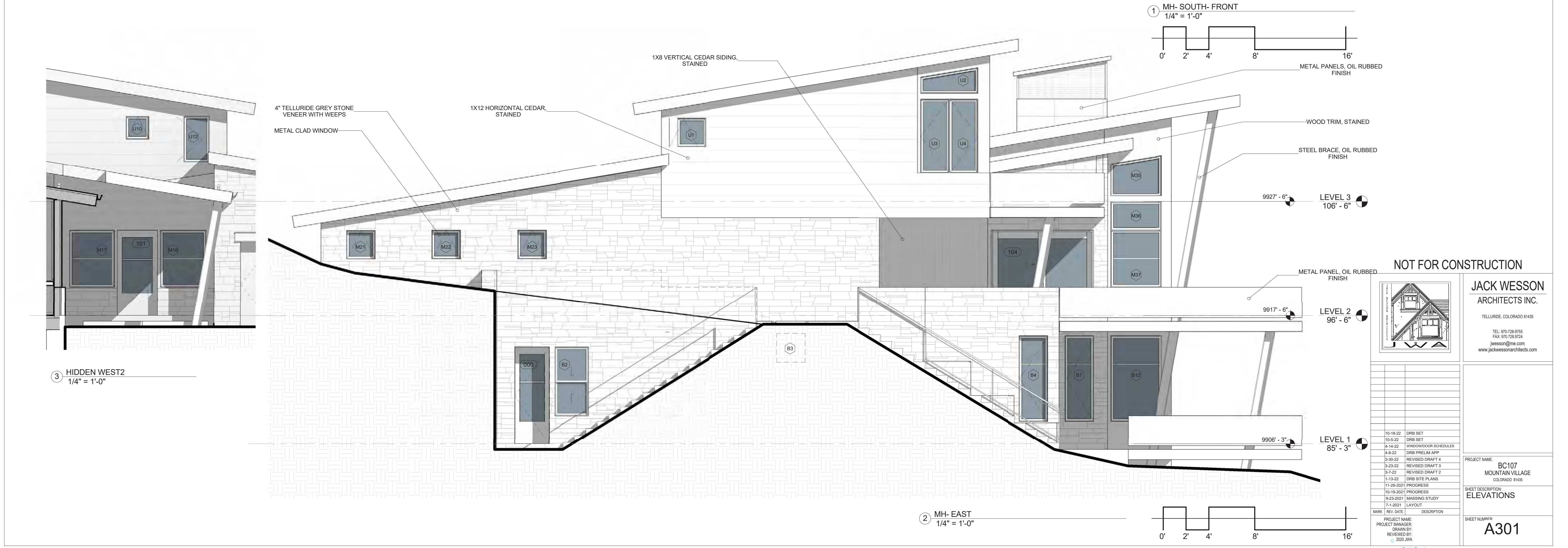
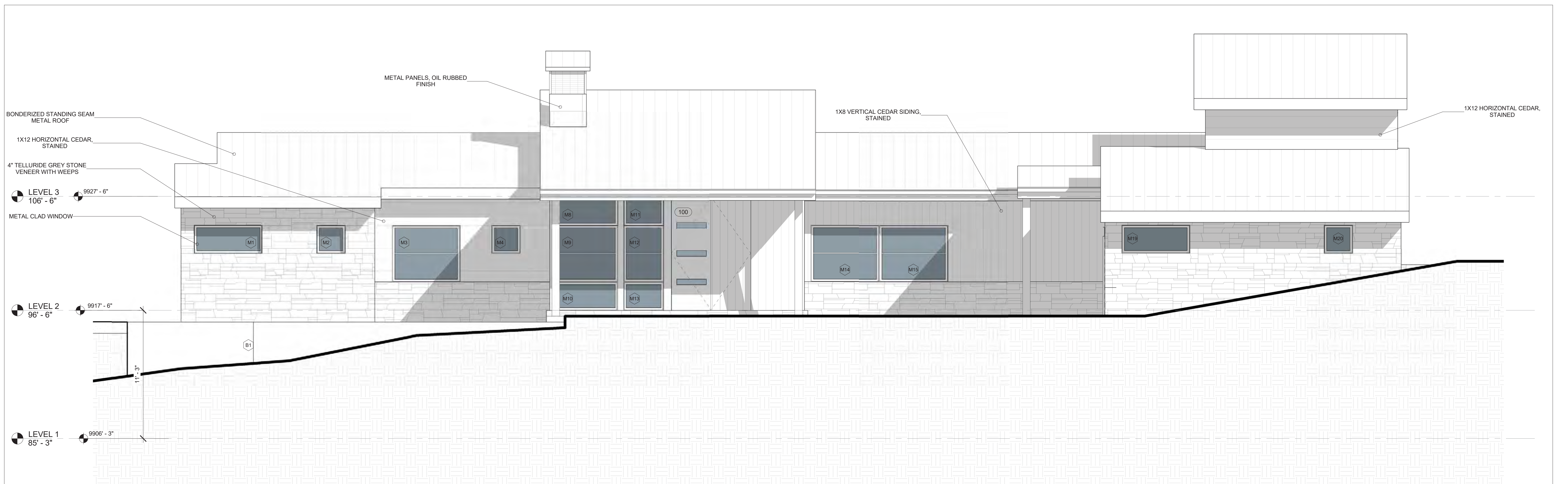
MARK	REV. DATE	DESCRIPTION
10-18-22	DRB SET	
10-5-22	DRB SET	
4-14-22	WINDOW/DOOR SCHEDULES	
4-8-22	DRB PRELIM APP	
3-30-22	REVISED DRAFT 4	
3-23-22	REVISED DRAFT 3	
3-7-22	REVISED DRAFT 2	
1-13-22	DRB SITE PLANS	
11-29-2021	PROGRESS	
10-19-2021	PROGRESS	
9-23-2021	IMAGING STUDY	
7-1-2021	LAYOUT	

PROJECT NAME  
**BC107**  
MOUNTAIN VILLAGE  
COLORADO 81435

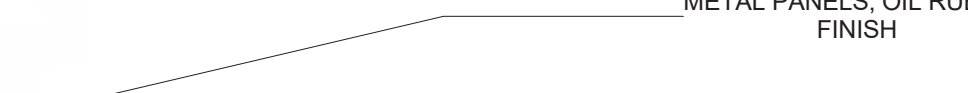
SHEET DESCRIPTION  
**HEIGHT CALCS**

SHEET NUMBER  
**A300b**





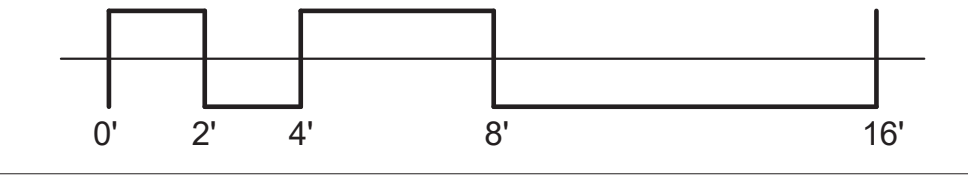
① MH-SOUTH-FRONT  
1/4" = 1'-0"



③ HIDDEN WEST  
1/4" = 1'-0"



② MH-EAST  
1/4" = 1'-0"



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PROJECT NAME: BC107 MOUNTAIN VILLAGE COLORADO 81435  
SHEET DESCRIPTION: ELEVATIONS  
SHEET NUMBER: A301

MARK	REV	DATE	DESCRIPTION
		10-18-22	DRB SET
		10-5-22	DRB SET
		4-14-22	WINDOW/DOOR SCHEDULES
		4-6-22	DRB PRELIM APP
		3-30-22	REVISED DRAFT 4
		3-23-22	REVISED DRAFT 3
		3-17-22	REVISED DRAFT 2
		1-13-22	DRB SITE PLANS
		11-28-2021	PROGRESS
		10-19-2021	PROGRESS
		9-23-2021	IMAGING STUDY
		7-1-2021	LAYOUT

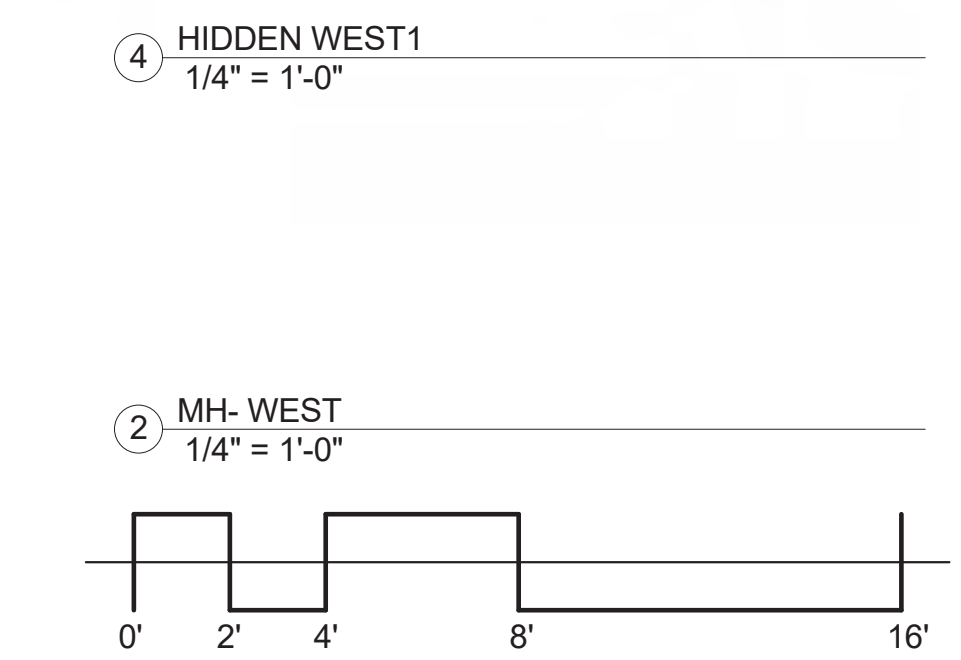




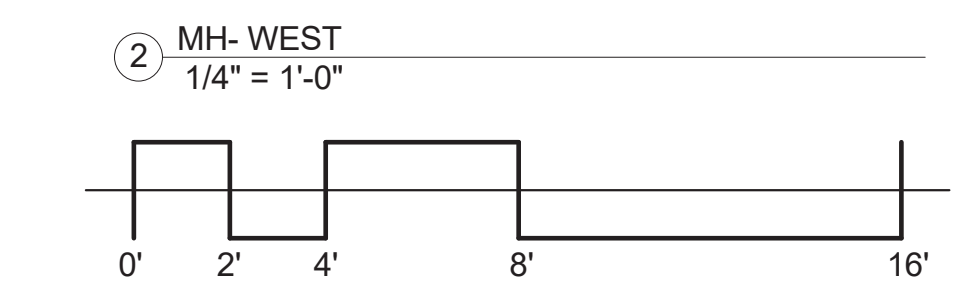
1 MH-NORTH  
1/4" = 1'-0"




4 HIDDEN WEST  
1/4" = 1'-0"



2 MH-WEST  
1/4" = 1'-0"



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MARK	REV	DATE	DESCRIPTION
		10-18-22	DRB SET
		10-5-22	DRB SET
		4-14-22	WINDOW/DOOR SCHEDULES
		4-6-22	DRB PRELIM APP
		3-30-22	REVISED DRAFT 4
		3-23-22	REVISED DRAFT 3
		3-3-22	REVISED DRAFT 2
		1-13-22	DRB SITE PLANS
		11-29-2021	PROGRESS
		10-19-2021	PROGRESS
		9-23-2021	IMAGING STUDY
		7-1-2021	LAYOUT

PROJECT NAME: BC107 MOUNTAIN VILLAGE COLORADO 81435  
SHEET DESCRIPTION: ELEVATIONS  
SHEET NUMBER: A302

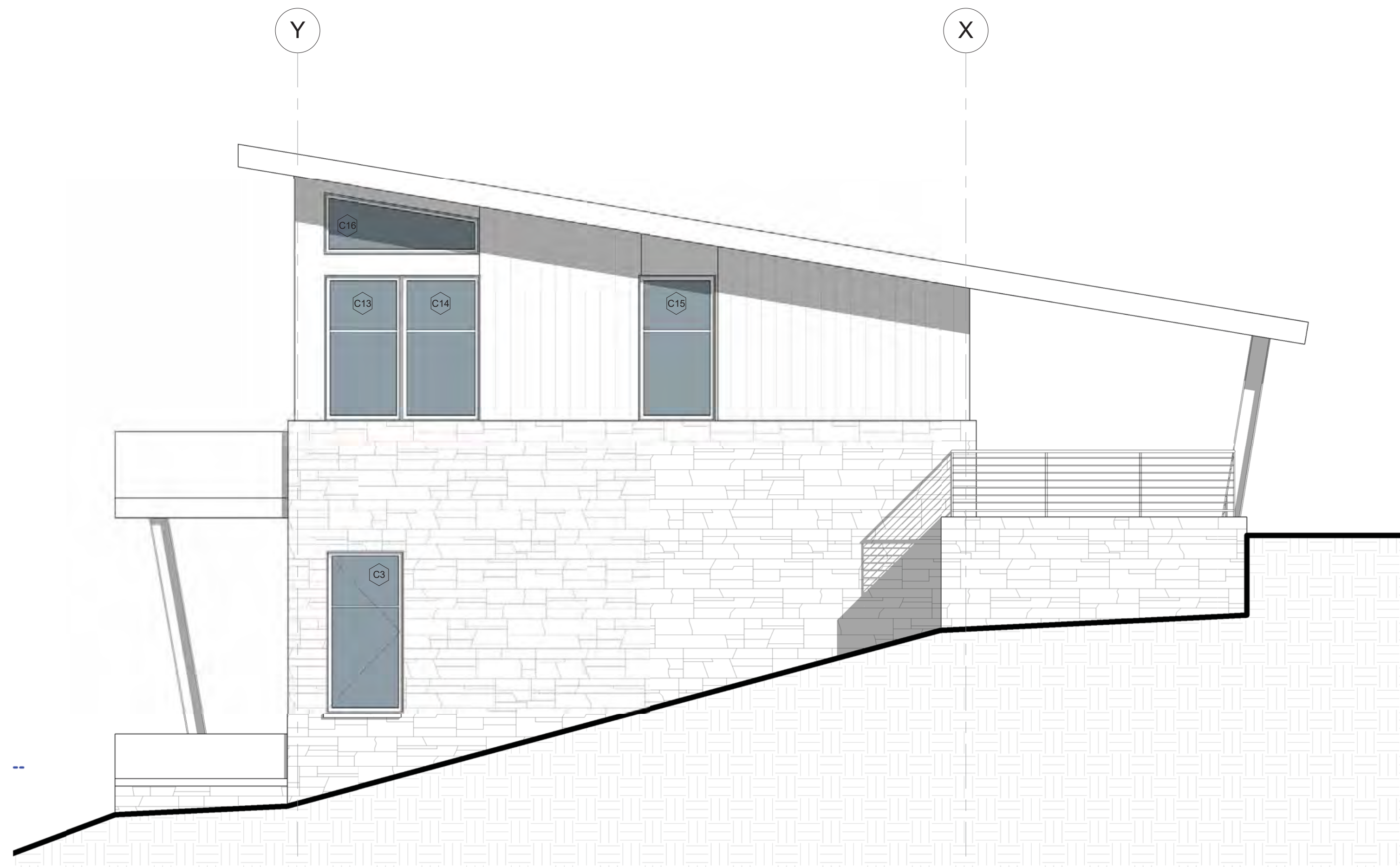
PROJECT MANAGER: [Name]  
DRAWN BY: [Name]  
REVIEWED BY: [Name]  
DATE: 10/18/22

Printed Regular

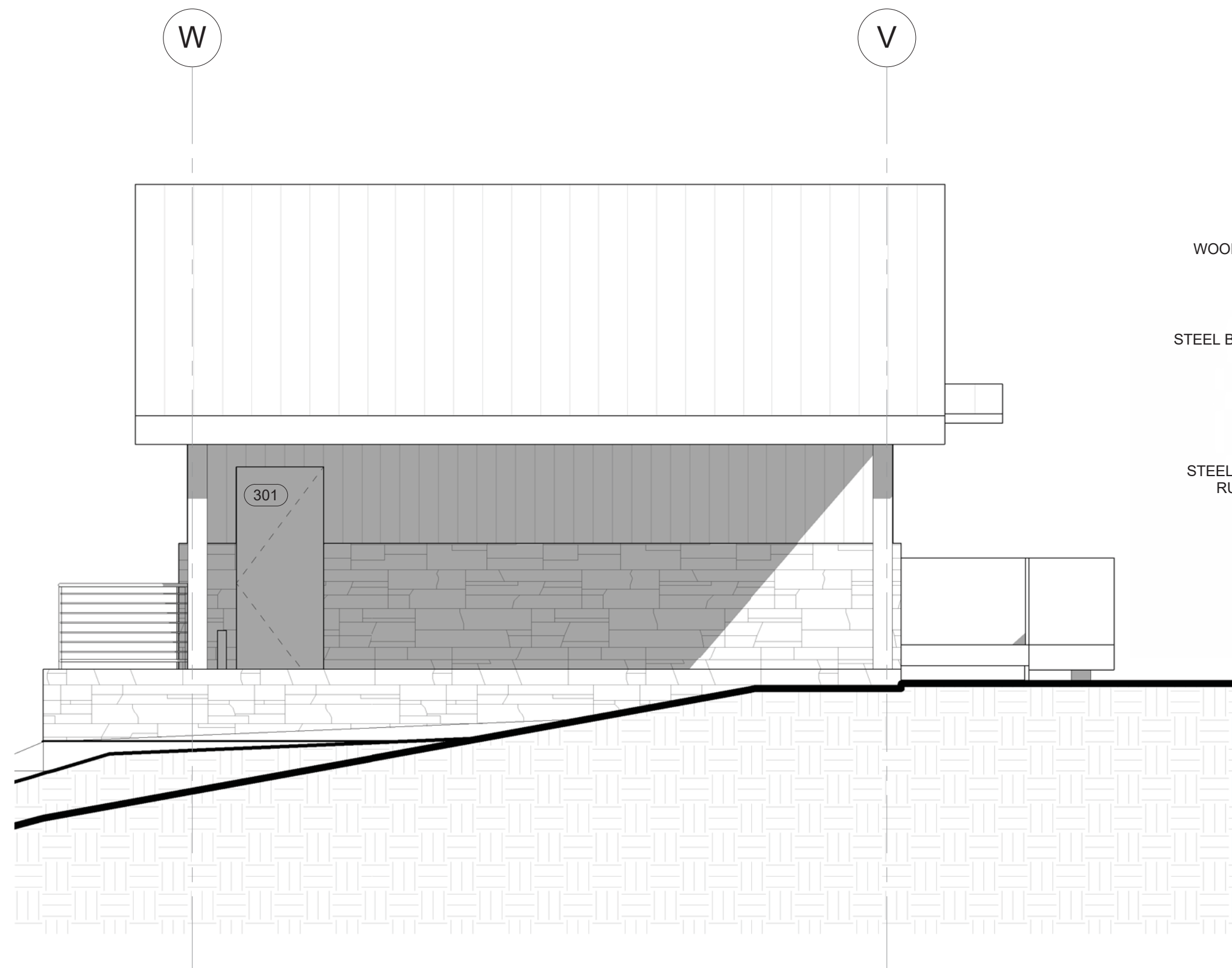




1 CABIN NORTH ELEV  
1/4" = 1'-0"



4 CABIN WEST ELEV  
1/4" = 1'-0"



3 CABIN SOUTH ELEV  
1/4" = 1'-0"



2 CABIN EAST ELEV  
1/4" = 1'-0"

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MARK	REV	DATE	DESCRIPTION
		10-18-22	DRB SET
		10-5-22	DRB SET
		4-14-22	WINDOW/DOOR SCHEDULES
		4-6-22	DRB PRELIM APP
		3-30-22	REVISED DRAFT 4
		3-23-22	REVISED DRAFT 3
		3-7-22	REVISED DRAFT 2
		1-13-22	DRB SITE PLANS
		11-29-2021	PROGRESS
		10-19-2021	PROGRESS
		9-23-2021	IMAGING STUDY
		7-1-2021	LAYOUT

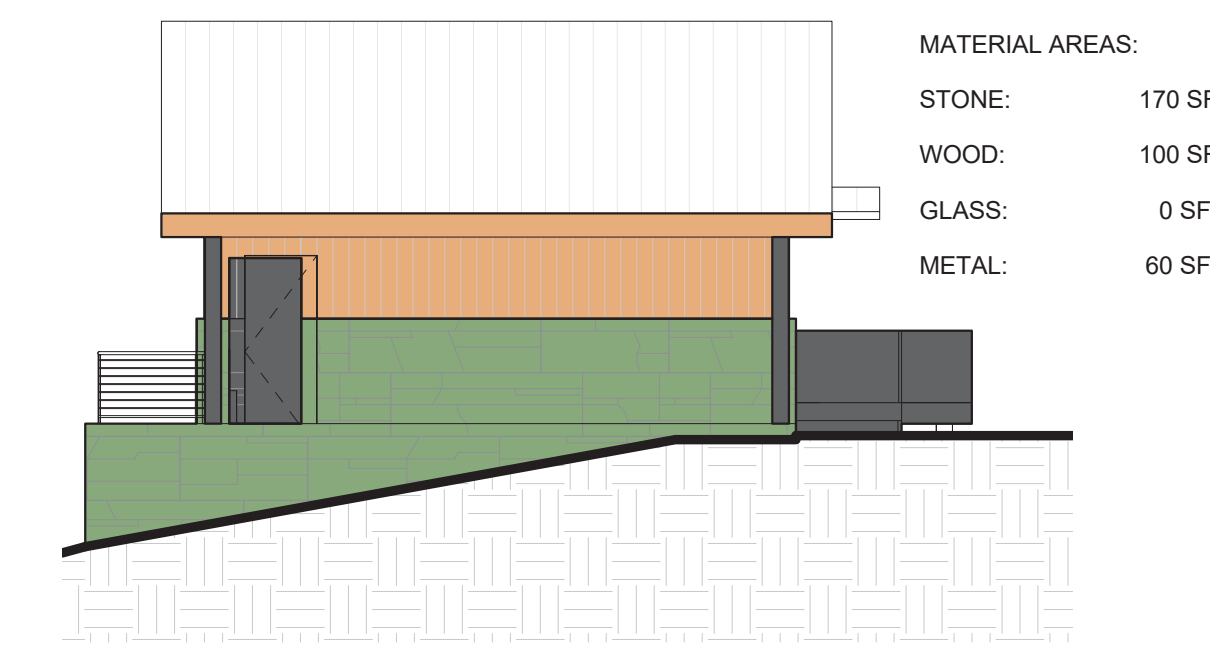
PROJECT NAME: BC107  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION:  
CABIN ELEVATIONS

SHEET NUMBER:  
**A303**

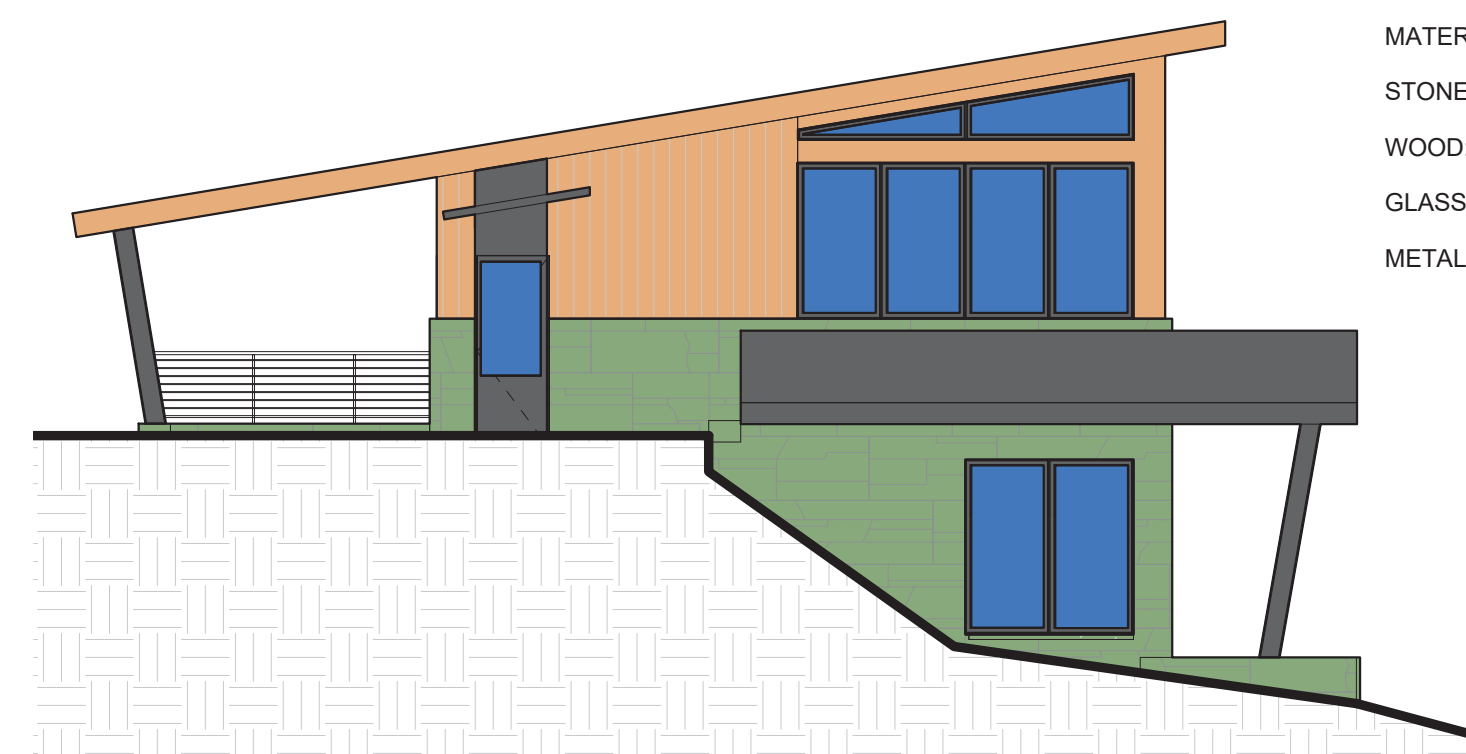
PROJECT NAME:  
PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
DATE:





MATERIAL AREAS:  
 STONE: 170 SF  
 WOOD: 100 SF  
 GLASS: 0 SF  
 METAL: 60 SF

7 AREA- CABIN SOUTH ELEV  
 1/8" = 1'-0"



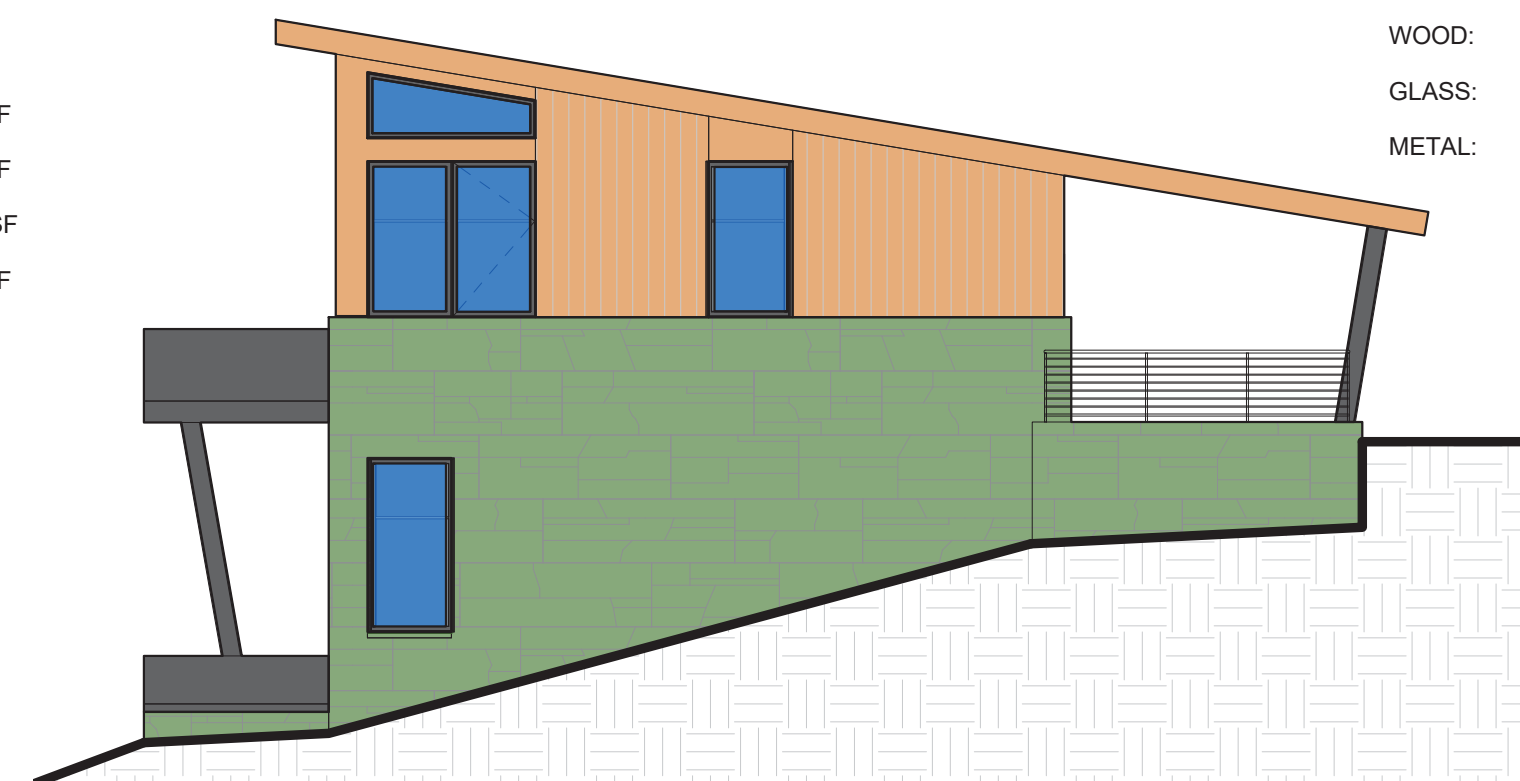
MATERIAL AREAS:  
 STONE: 240 SF  
 WOOD: 170 SF  
 GLASS: 140 SF  
 METAL: 170 SF

8 AREA- CABIN EAST ELEV  
 1/8" = 1'-0"



MATERIAL AREAS:  
 STONE: 170 SF  
 WOOD: 180 SF  
 GLASS: 260 SF  
 METAL: 275 SF

9 AREA- CABIN NORTH ELEV  
 1/8" = 1'-0"



MATERIAL AREAS:  
 STONE: 450 SF  
 WOOD: 220 SF  
 GLASS: 90 SF  
 METAL: 85 SF

10 AREA- CABIN WEST ELEV  
 1/8" = 1'-0"



MATERIAL AREAS:  
 STONE: 36 SF  
 WOOD: 70 SF  
 GLASS: 45 SF  
 METAL: 30 SF

6 AREA- HIDDEN WEST2  
 1/8" = 1'-0"



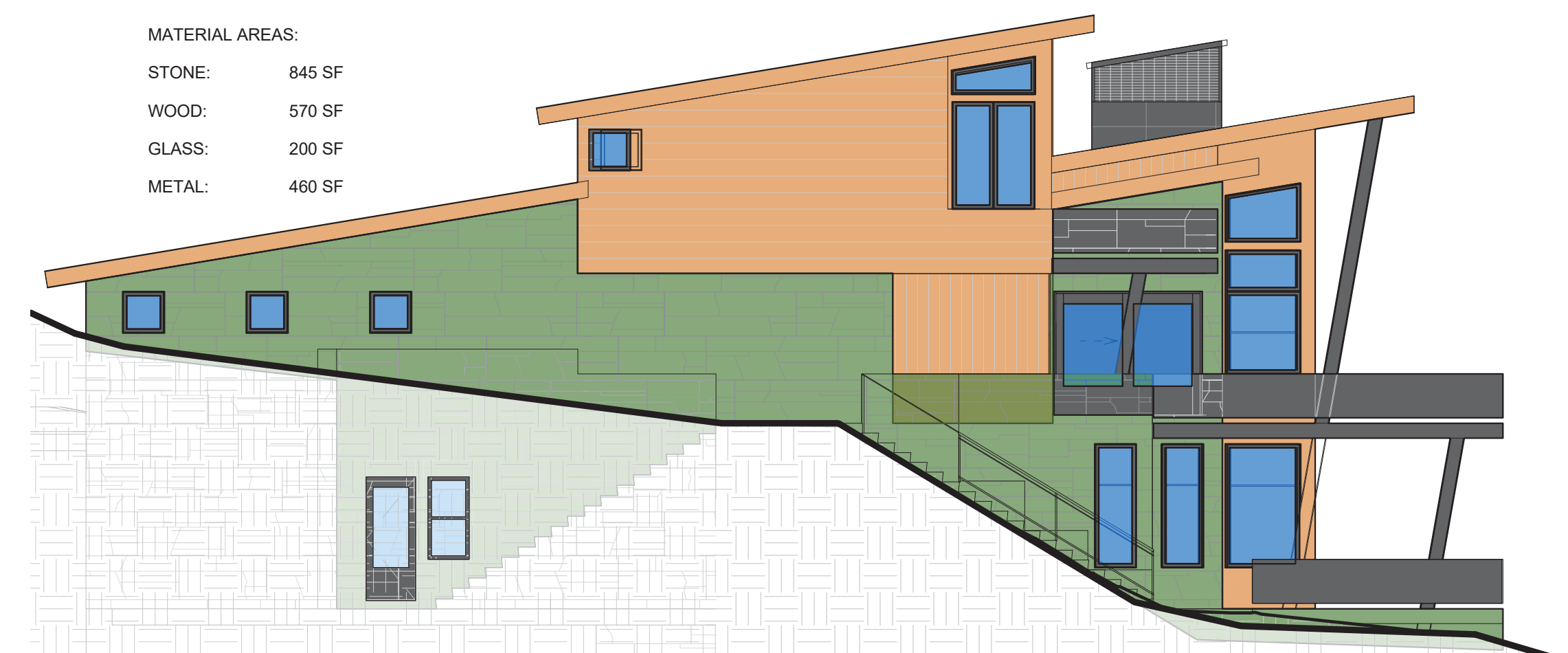
MATERIAL AREAS:  
 STONE: 8 SF  
 WOOD: 32 SF  
 GLASS: 42 SF  
 METAL: 12 SF

5 AREA- HIDDEN WEST1  
 1/8" = 1'-0"



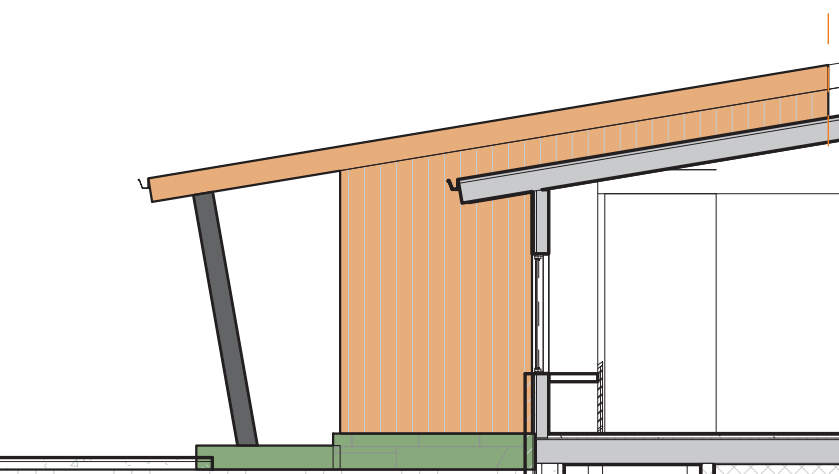
MATERIAL AREAS:  
 STONE: 690 SF  
 WOOD: 640 SF  
 GLASS: 180 SF  
 METAL: 265 SF

3 AREA- WEST  
 1/8" = 1'-0"



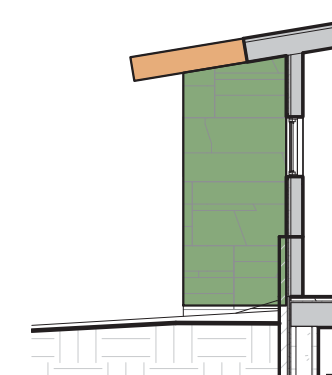
MATERIAL AREAS:  
 STONE: 845 SF  
 WOOD: 570 SF  
 GLASS: 200 SF  
 METAL: 460 SF

1 AREA- EAST  
 1/8" = 1'-0"



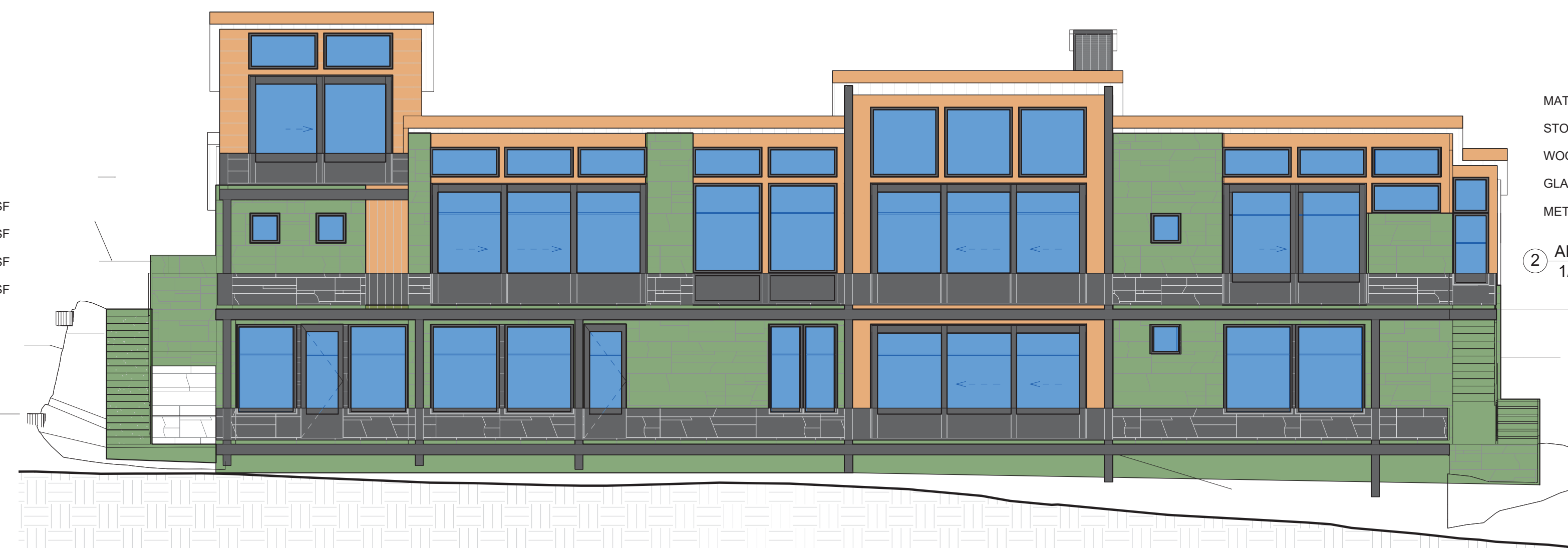
MATERIAL AREAS:  
 STONE: 20 SF  
 WOOD: 130 SF  
 GLASS: 0 SF  
 METAL: 9 SF

12 AREA- HIDDEN EAST 2  
 1/8" = 1'-0"



MATERIAL AREAS:  
 STONE: 45 SF  
 WOOD: 5 SF  
 GLASS: 0 SF  
 METAL: 0 SF

11 AREA- HIDDEN EAST 1  
 1/8" = 1'-0"



MATERIAL AREAS:  
 STONE: 1340 SF  
 WOOD: 530 SF  
 GLASS: 1090 SF  
 METAL: 1360 SF

2 AREA- NORTH  
 1/8" = 1'-0"

Material Calculations- MAIN HOUSE										
Elevation	NORTH	WEST	SOUTH	EAST	H. WEST 1	H. WEST 2	H. EAST 1	H. EAST 2	Total	Percent
Stone	1405	690	640	845	8	36	45	20	3689	36.33%
Wood	530	640	480	570	32	70	5	130	2457	24.20%
Glass	1090	180	190	200	42	45	0	0	1747	17.21%
Metal	1360	265	125	460	12	30	0	9	2261	22.27%
<b>Total</b>	<b>4385</b>	<b>1775</b>	<b>1435</b>	<b>2075</b>	<b>94</b>	<b>181</b>	<b>50</b>	<b>159</b>	<b>10154</b>	

Material Calculations- CABIN						
Elevation	C. NORTH	C. WEST	C. SOUTH	C. EAST	Total	Percent
Stone	170	450	170	240	1030	37.05%
Wood	180	220	100	170	670	24.10%
Glass	260	90	0	140	490	17.63%
Metal	275	85	60	170	590	21.22%
<b>Total</b>	<b>885</b>	<b>845</b>	<b>330</b>	<b>720</b>	<b>2780</b>	



MATERIAL AREAS:  
 STONE: 640 SF  
 WOOD: 480 SF  
 GLASS: 190 SF  
 METAL: 125 SF

4 AREA- SOUTH  
 1/8" = 1'-0"

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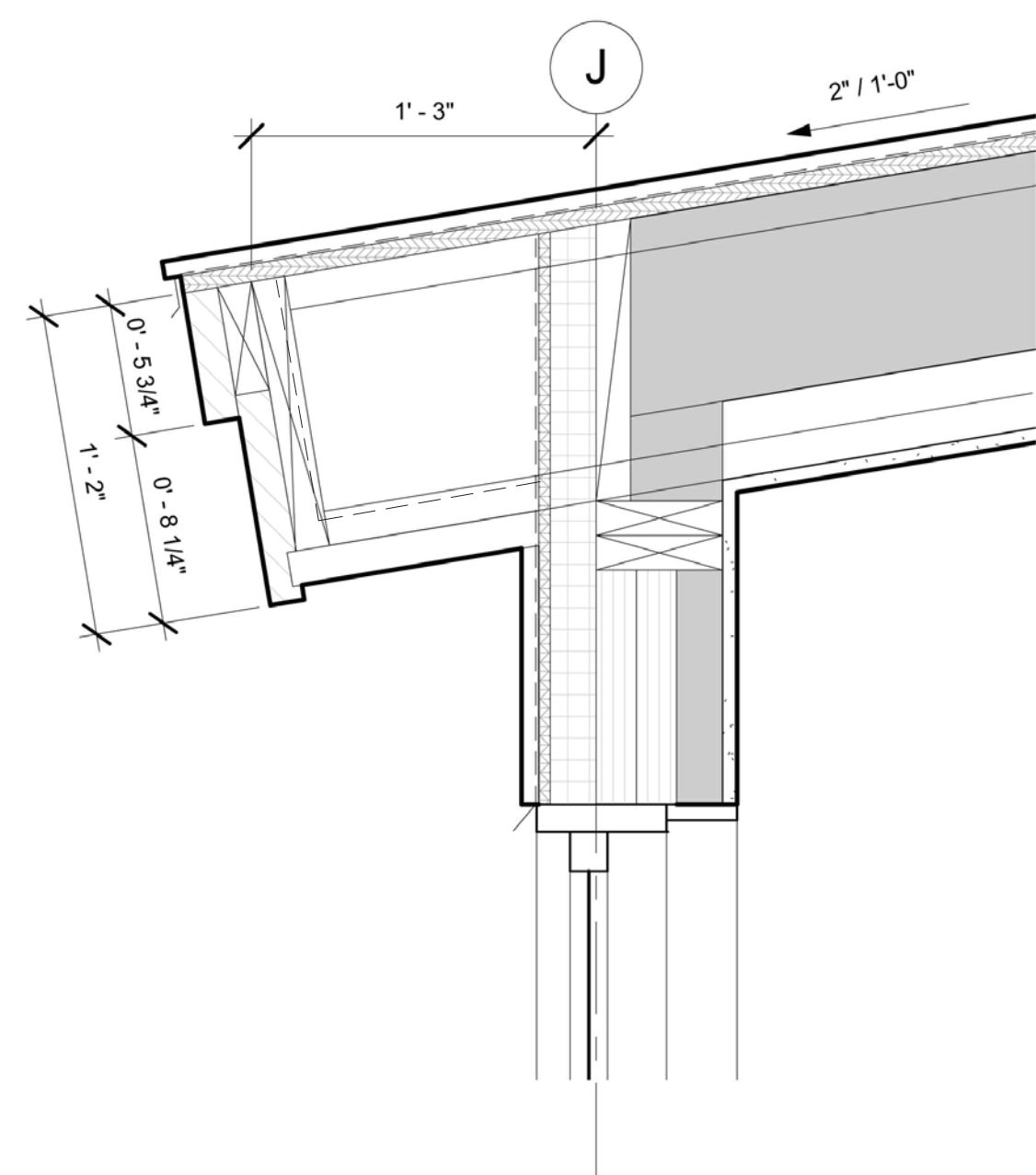
MARK	REV DATE	DESCRIPTION
10-18-22	DRB SET	
10-5-22	DRB SET	
4-14-22	WINDOW/DOOR SCHEDULES	
4-6-22	DRB PRELIM APP	
3-30-22	REVISED DRAFT 4	
3-23-22	REVISED DRAFT 3	
3-7-22	REVISED DRAFT 2	
1-13-22	DRB SITE PLANS	
11-29-2021	PROGRESS	
10-19-2021	PROGRESS	
9-23-2021	TRASSING STUDY	
7-1-2021	LAYOUT	

PROJECT NAME: BC107  
 MOUNTAIN VILLAGE  
 COLORADO 81435

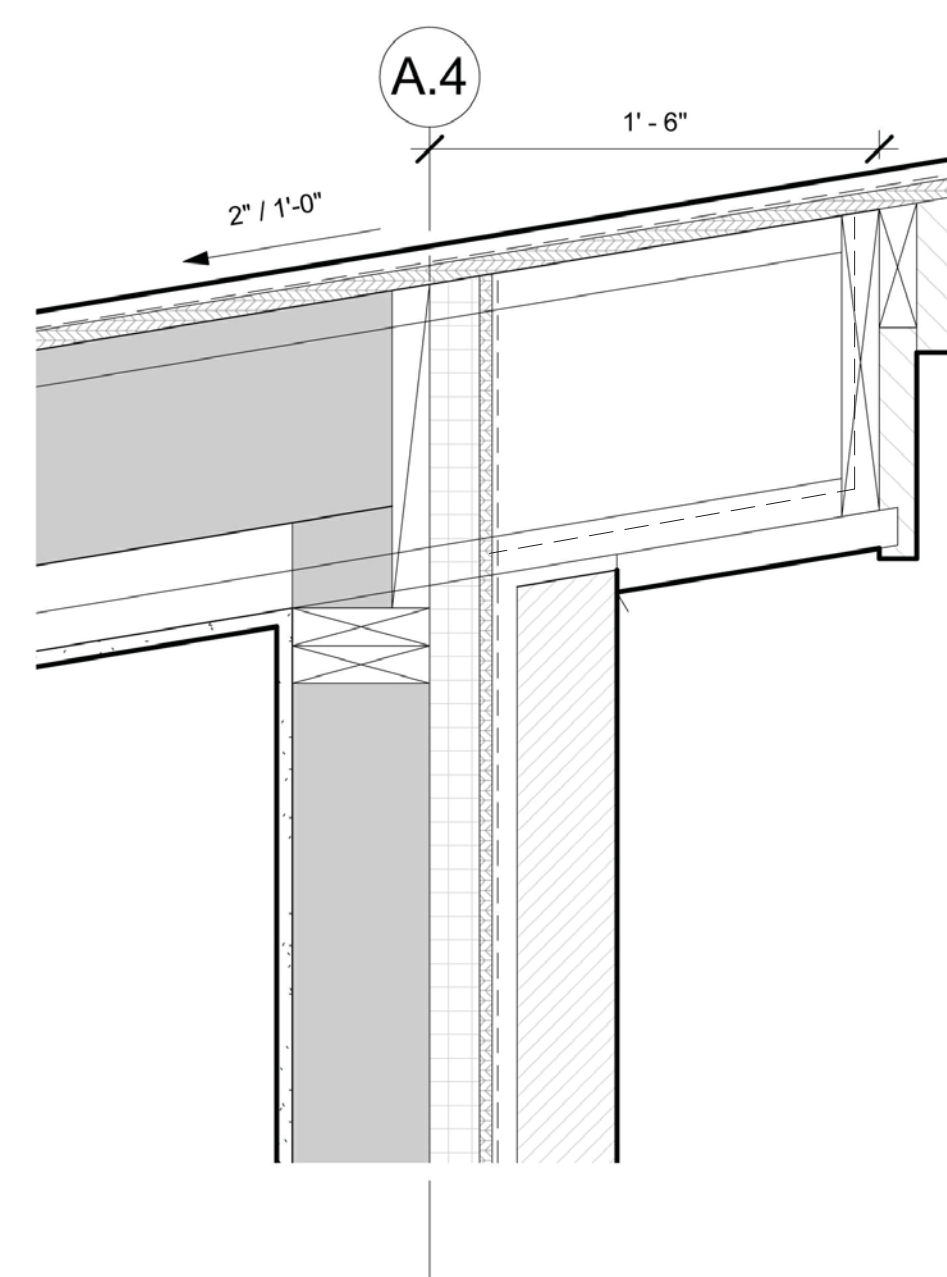
SHEET DESCRIPTION:  
 MATERIAL CALCS

SHEET NUMBER:  
 A305

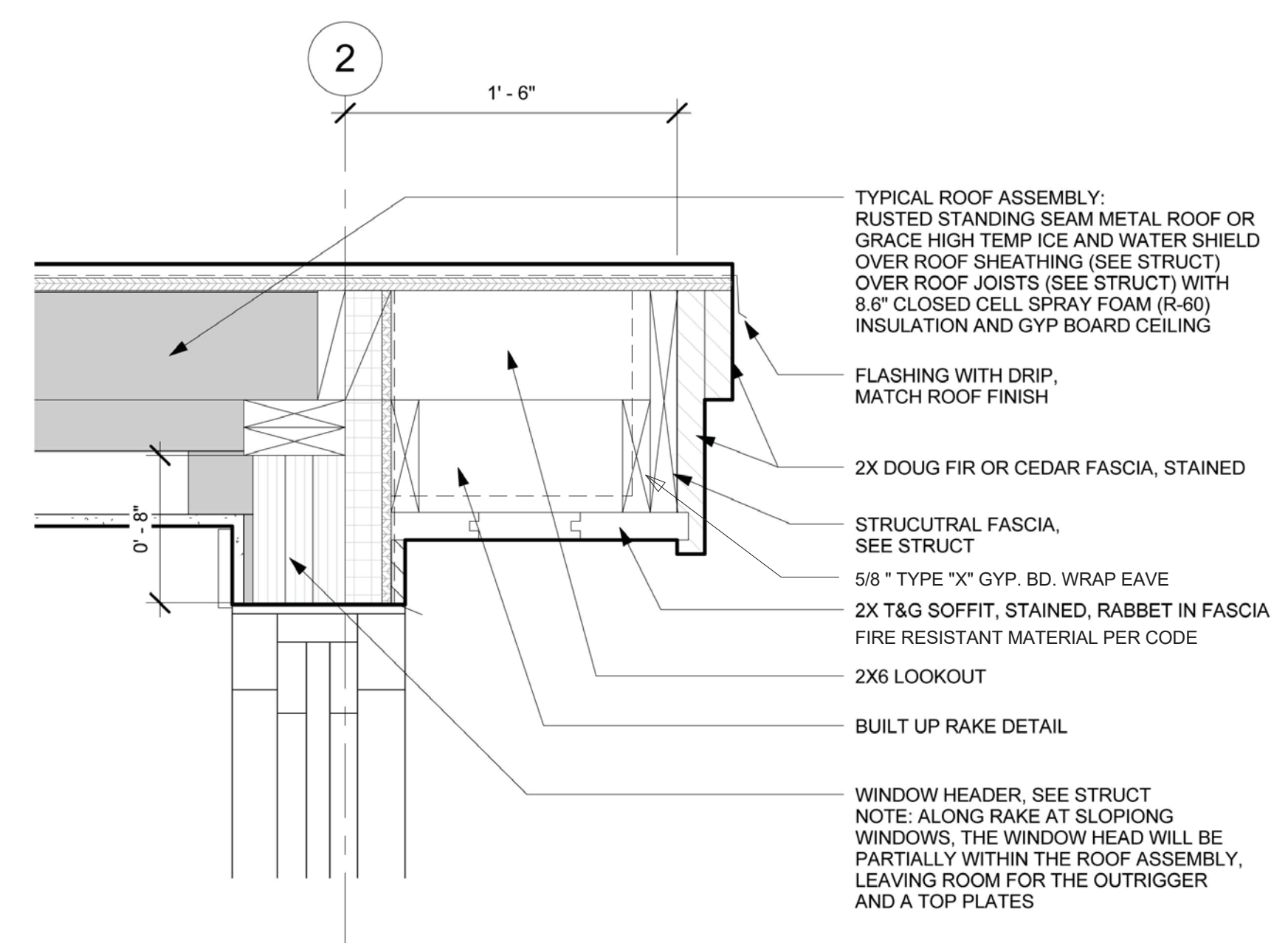




③ DETAIL- ROOF EAVE LOWER  
1 1/2" = 1'-0"



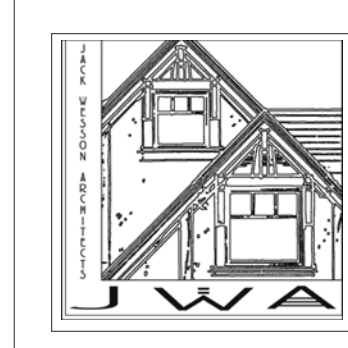
② DETAIL- ROOF EAVE UPPER  
1 1/2" = 1'-0"



① DETAIL- ROOF RAKE  
1 1/2" = 1'-0"

- TYPICAL ROOF ASSEMBLY:  
RUSTED STANDING SEAM METAL ROOF OR  
GRADE HIGH TEMP ICE AND WATER SHIELD  
OVER ROOF SHEATHING (SEE STRUCT)  
OVER ROOF JOISTS (SEE STRUCT) WITH  
8.6" CLOSED CELL SPRAY FOAM (R-60)  
INSULATION AND GYP BOARD CEILING
- FLASHING WITH DRIP,  
MATCH ROOF FINISH
- 2X DOUG FIR OR CEDAR FASCIA, STAINED
- STRUCUTRAL FASCIA,  
SEE STRUCT
- 5/8 " TYPE "X" GYP. BD. WRAP EAVE
- 2X T&G SOFFIT, STAINED, RABBET IN FASCIA  
FIRE RESISTANT MATERIAL PER CODE
- 2X6 LOOKOUT
- BUILT UP RAKE DETAIL
- WINDOW HEADER. SEE STRUCT  
NOTE: ALONG RAKE AT SLOPING  
WINDOWS, THE WINDOW HEAD WILL BE  
PARTIALLY WITHIN THE ROOF ASSEMBLY,  
LEAVING ROOM FOR THE OUTRIGGER  
AND A TOP PLATES

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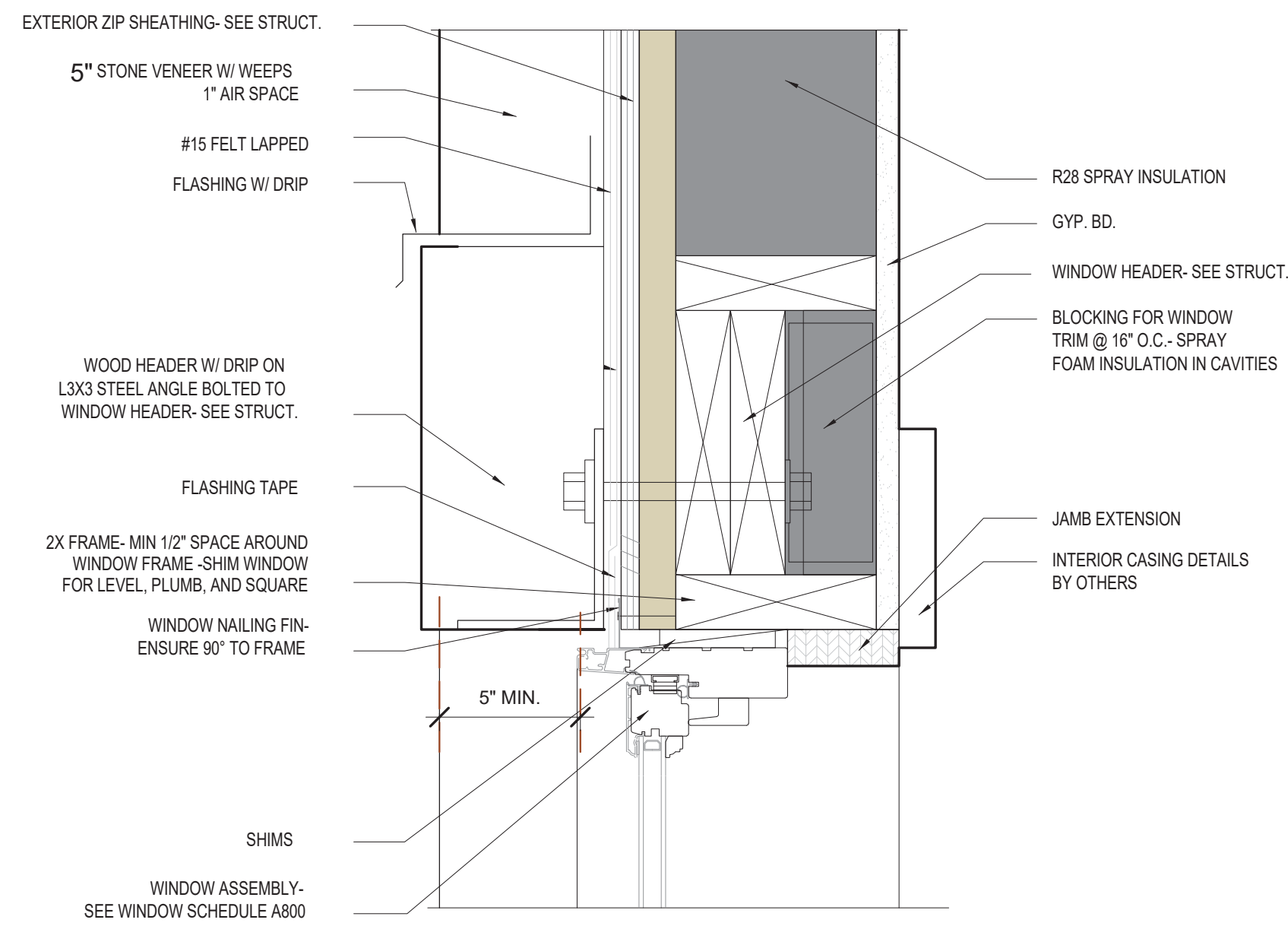


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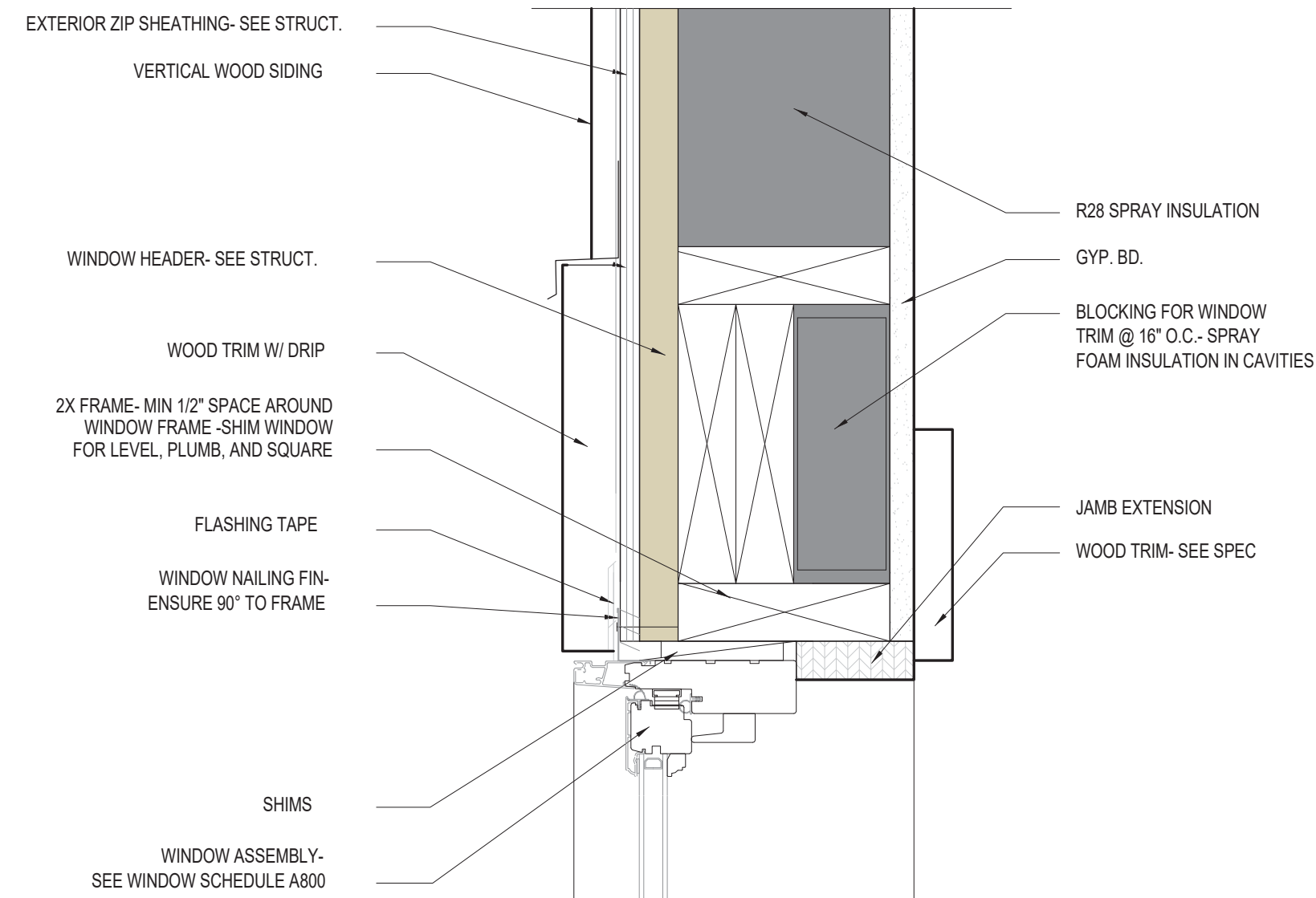
MARK	REV	DATE	DESCRIPTION
10-18-22	DRB SET		
10-5-22	DRB SET		
4-14-22	WINDOW DOOR SCHEDULES		
4-6-22	DRB PRELIM APP		
3-30-22	REVISED DRAFT 4		
3-23-22	REVISED DRAFT 3		
3-7-22	REVISED DRAFT 2		
1-13-22	DRB SITE PLANS		
11-28-2021	PROGRESS		
10-19-2021	PROGRESS		
9-23-2021	IMAGING STUDY		
7-1-2021	LAYOUT		

PROJECT NAME: BC107 MOUNTAIN VILLAGE COLORADO 81435  
SHEET DESCRIPTION: ROOF DETAILS  
SHEET NUMBER: A600

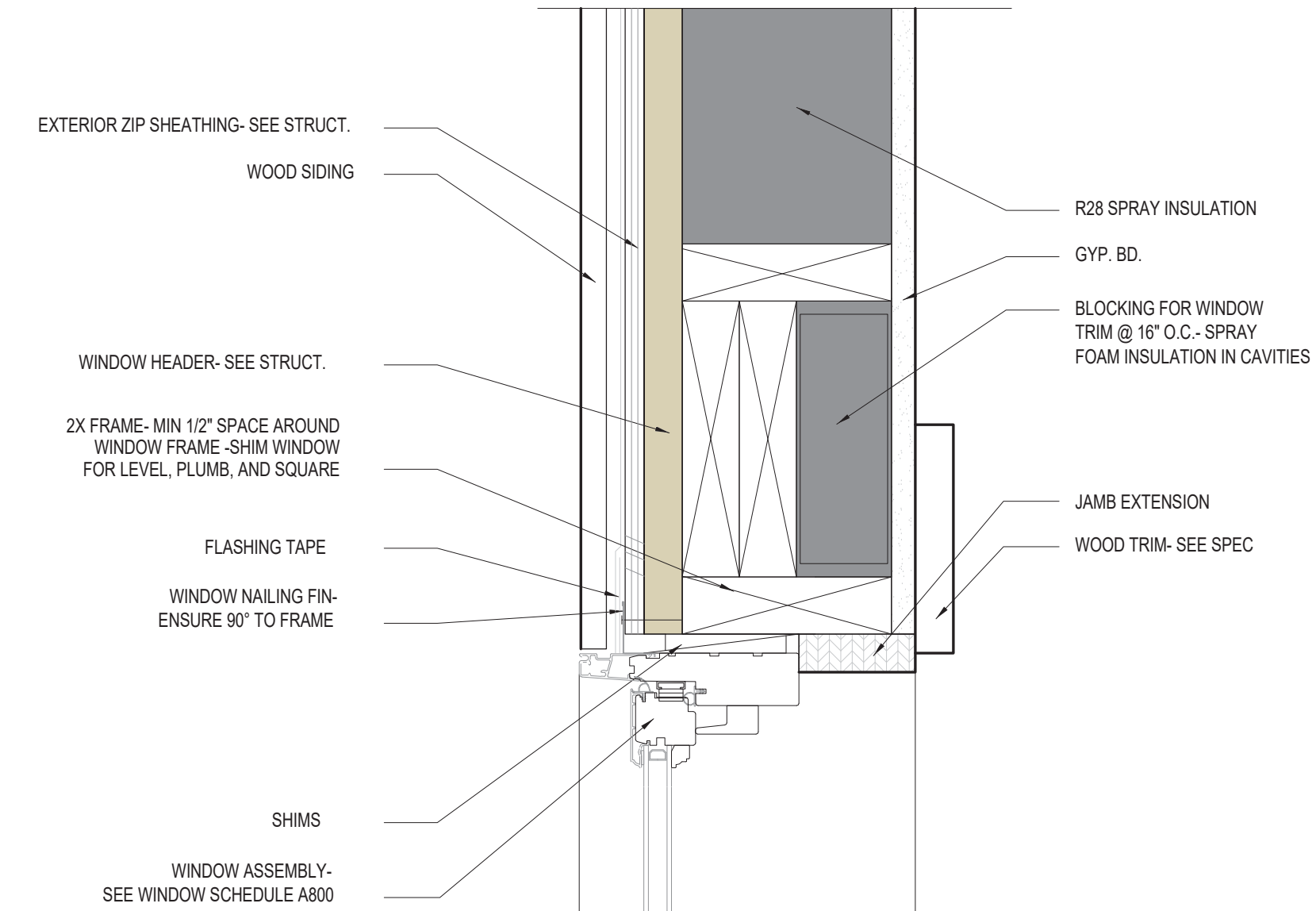




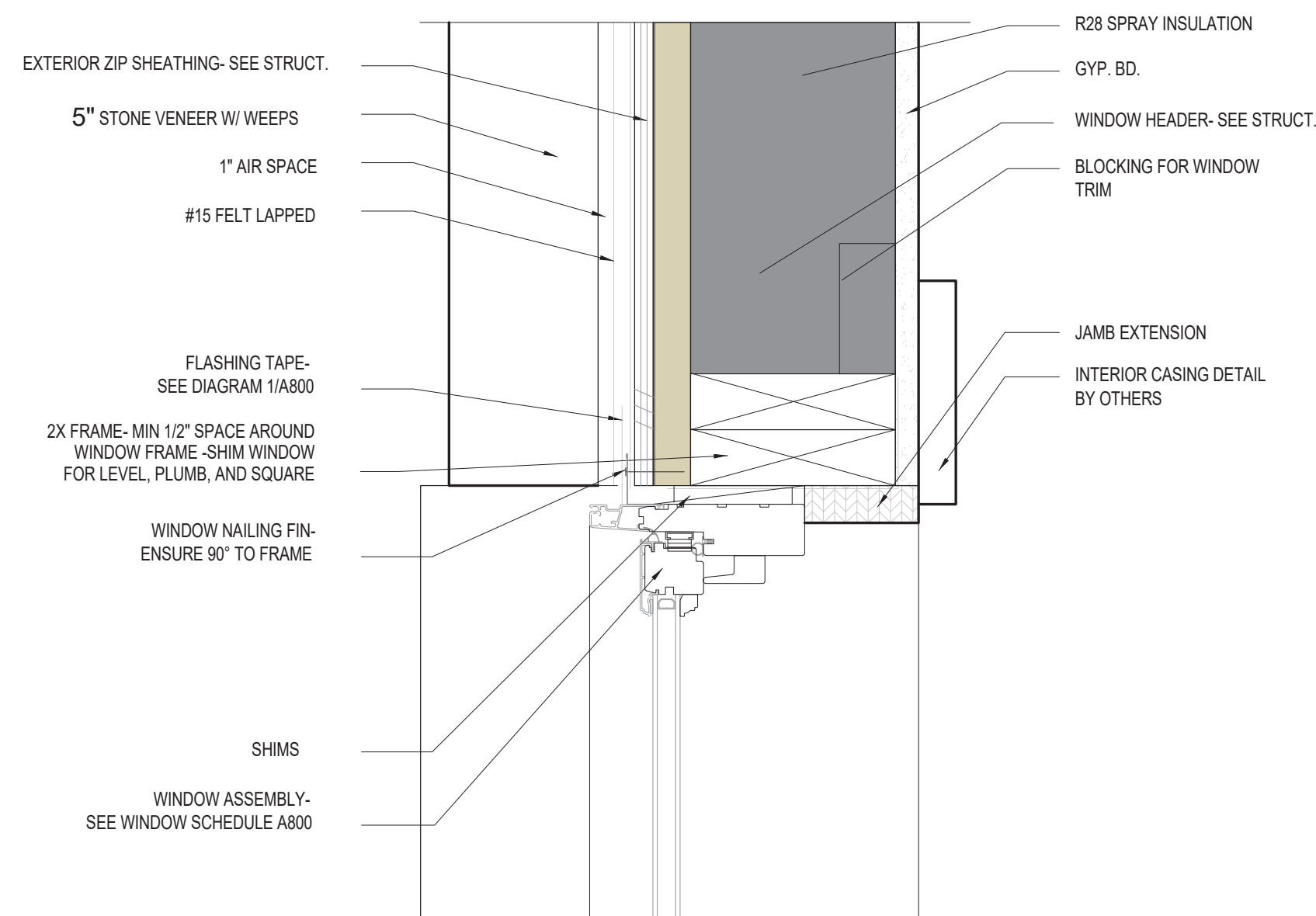
9 WINDOW HEAD  
STONE SIDING SCALE: 3" = 1'-0"



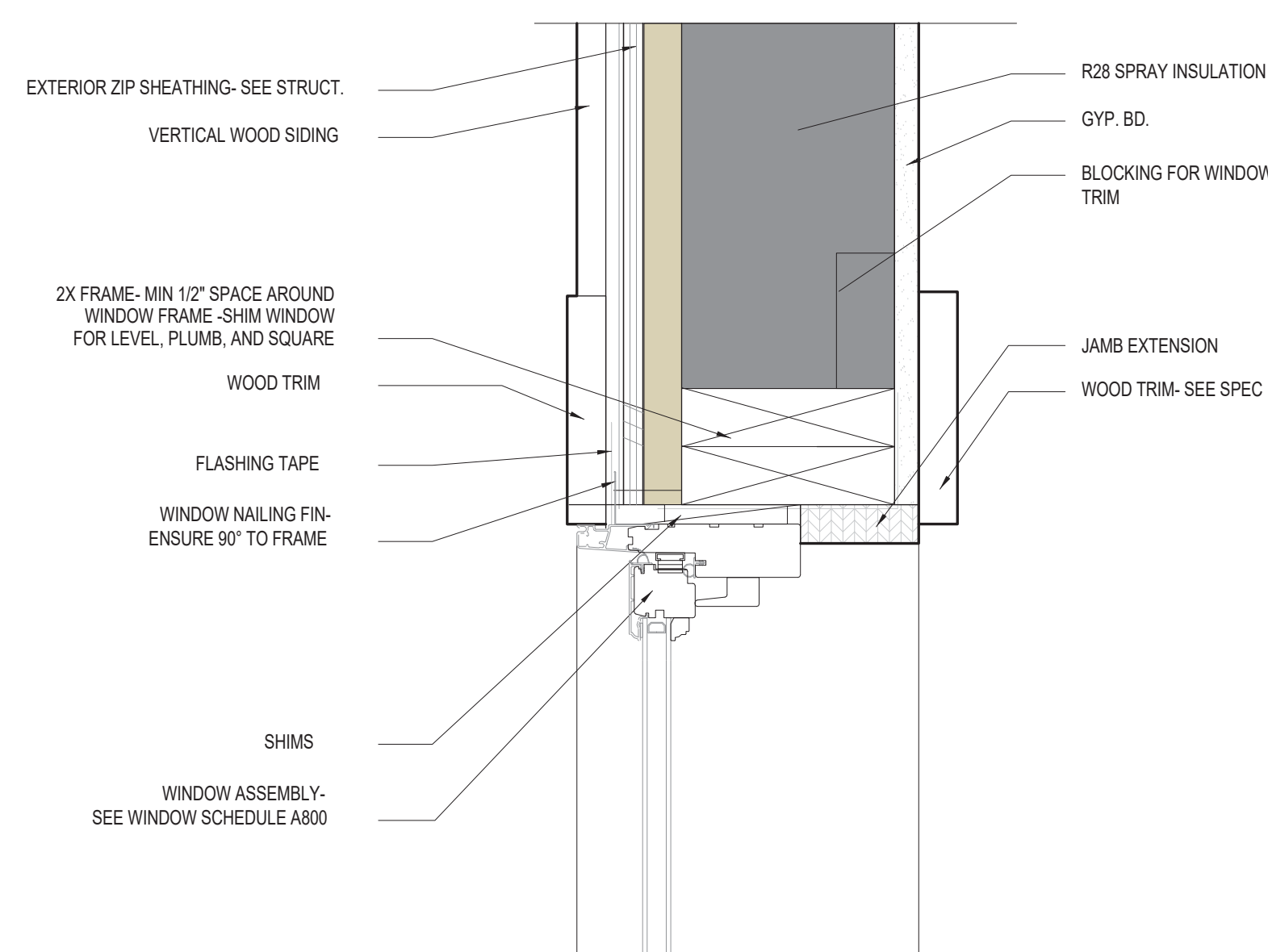
6 WINDOW HEAD  
WOOD SIDING-TIMBER TRIM SCALE: 3" = 1'-0"



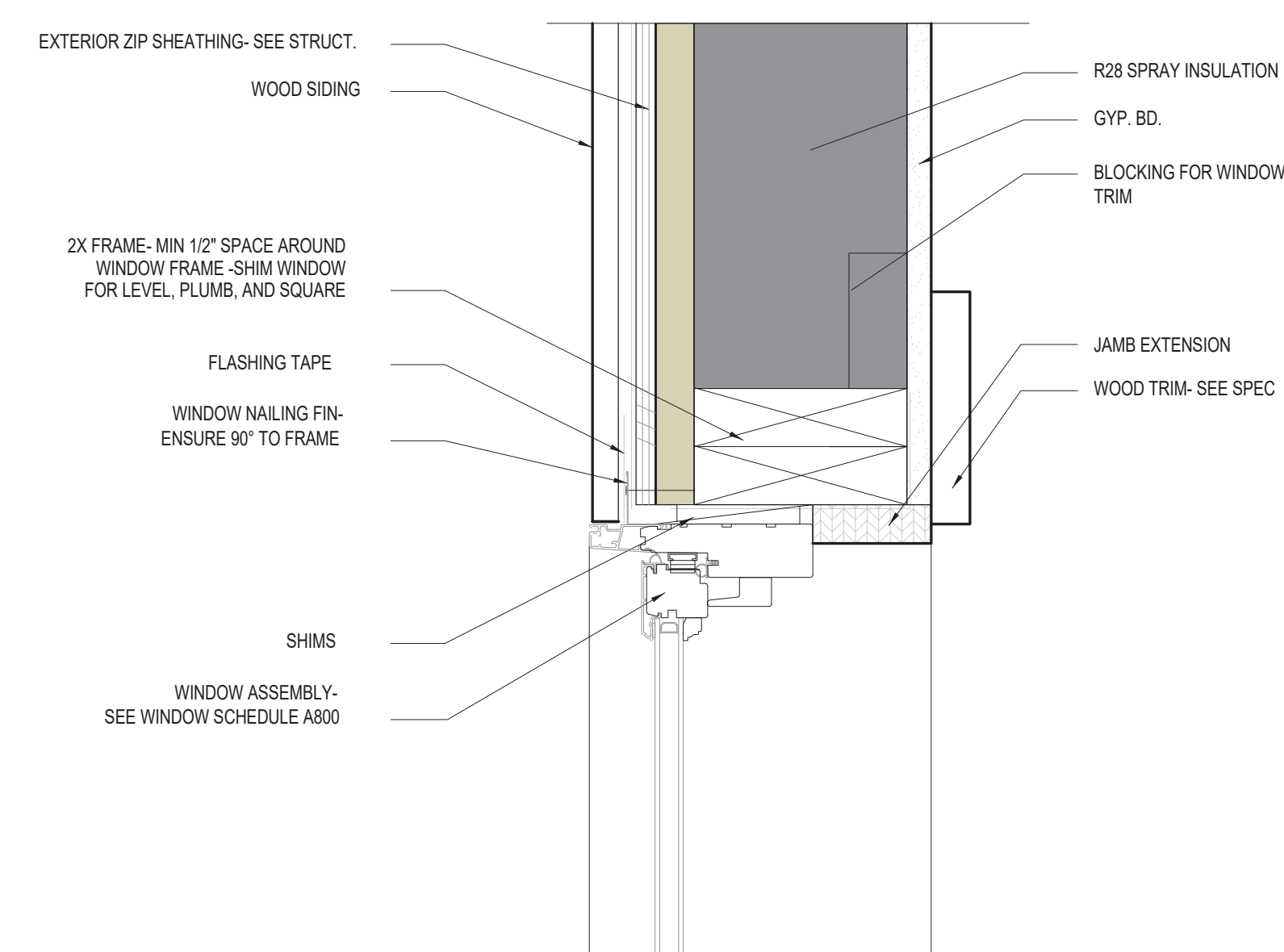
3 WINDOW HEAD  
WOOD SIDING SCALE: 3" = 1'-0"



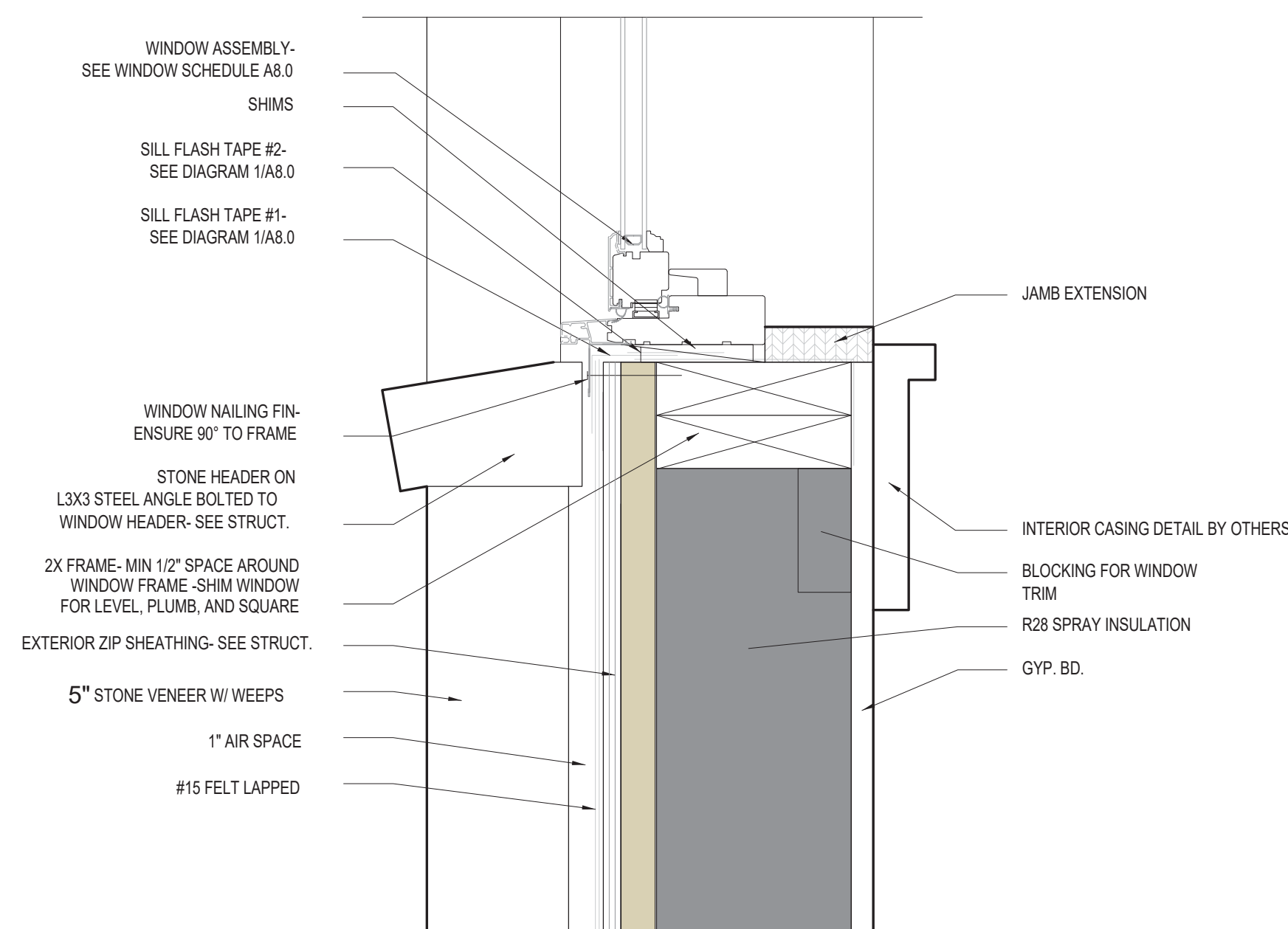
8 WINDOW JAMB  
STONE SIDING SCALE: 3" = 1'-0"



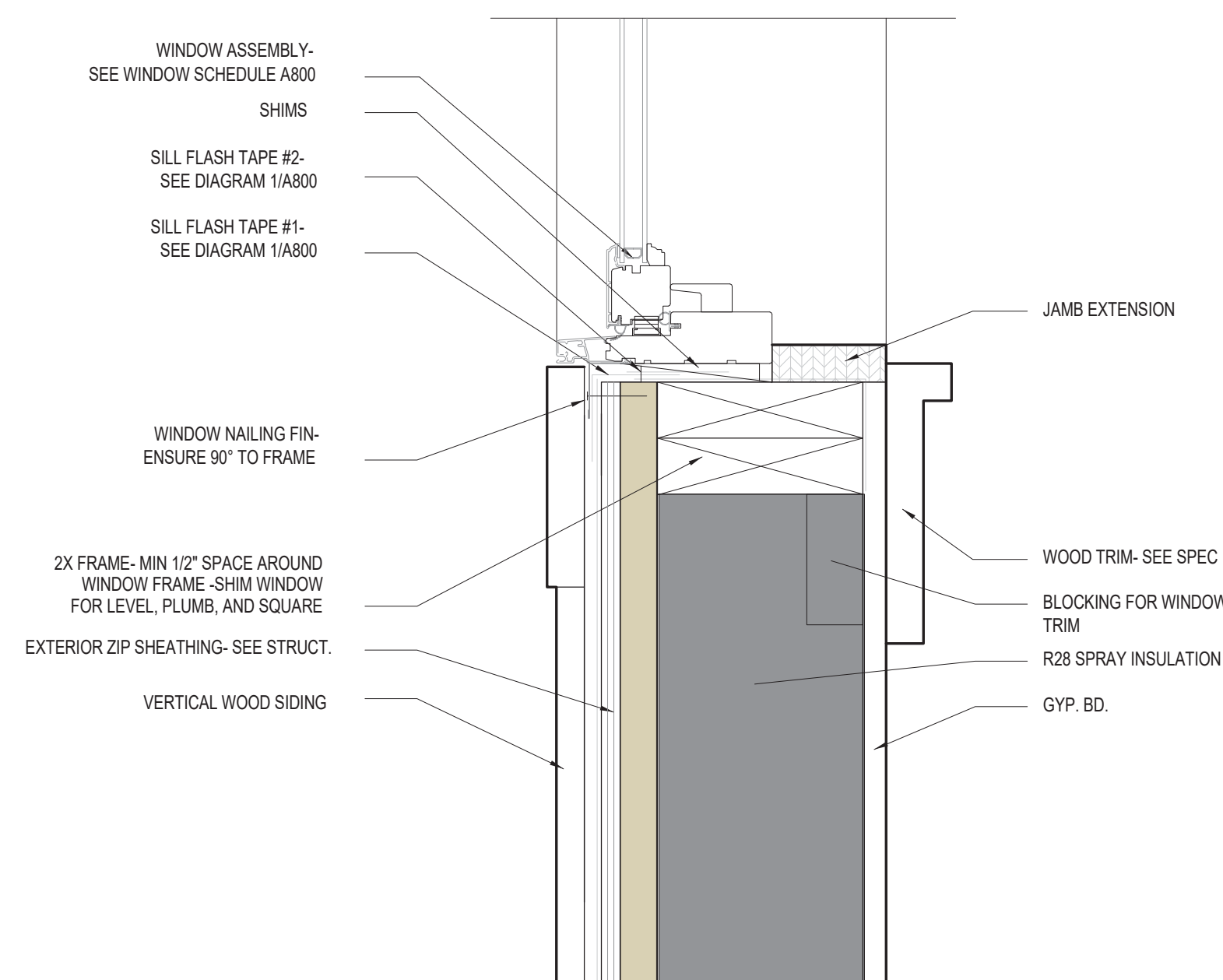
5 WINDOW JAMB  
WOOD SIDING-TIMBER TRIM SCALE: 3" = 1'-0"



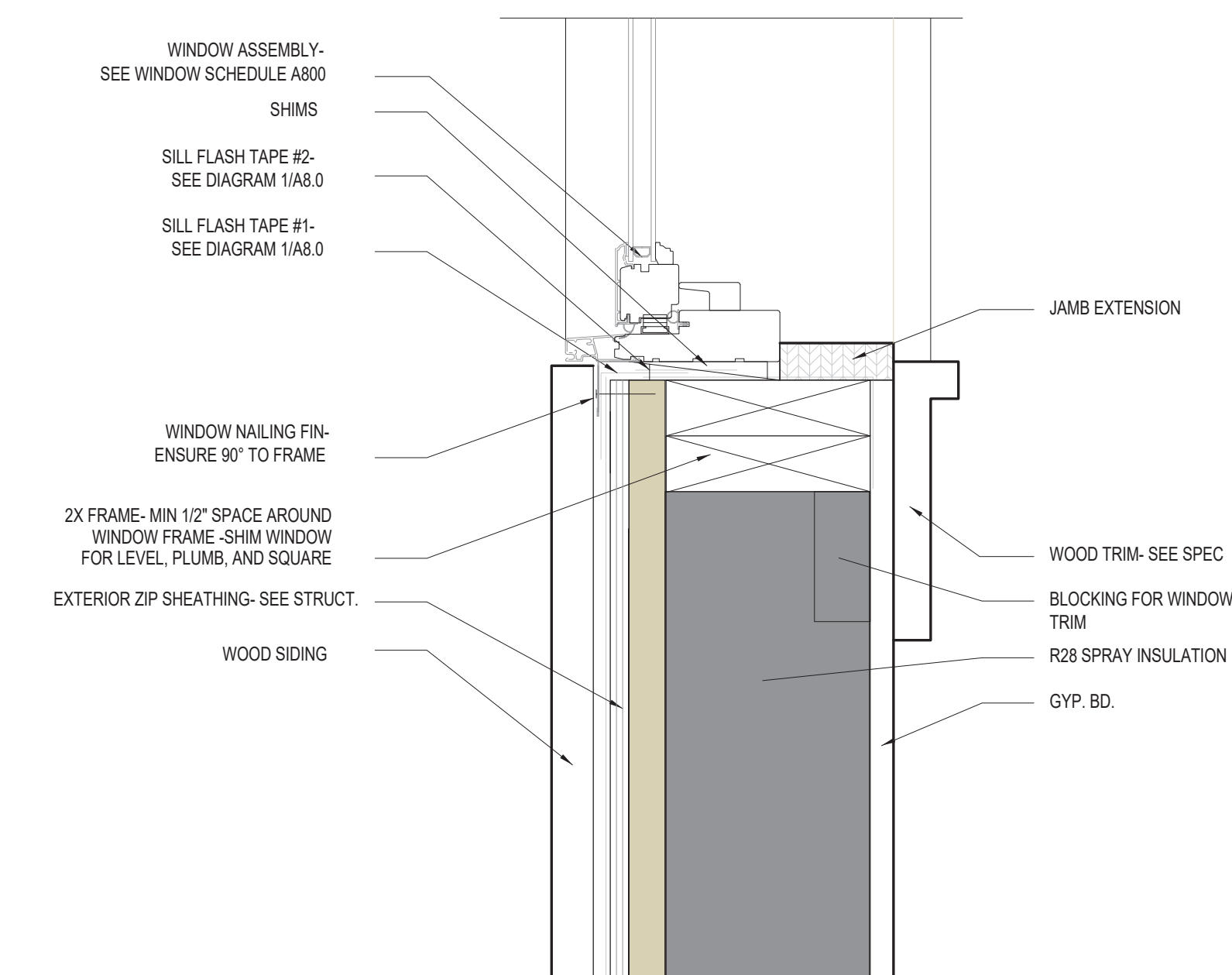
2 WINDOW JAMB  
WOOD SIDING SCALE: 3" = 1'-0"



7 WINDOW SILL  
STONE SIDING SCALE: 3" = 1'-0"

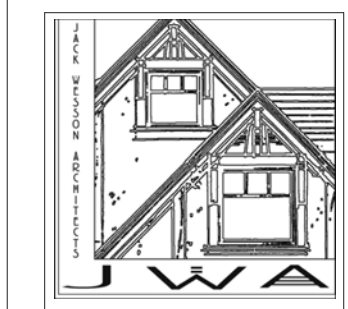


4 WINDOW SILL  
WOOD SIDING-TIMBER TRIM SCALE: 3" = 1'-0"



1 WINDOW SILL  
WOOD SIDING SCALE: 3" = 1'-0"

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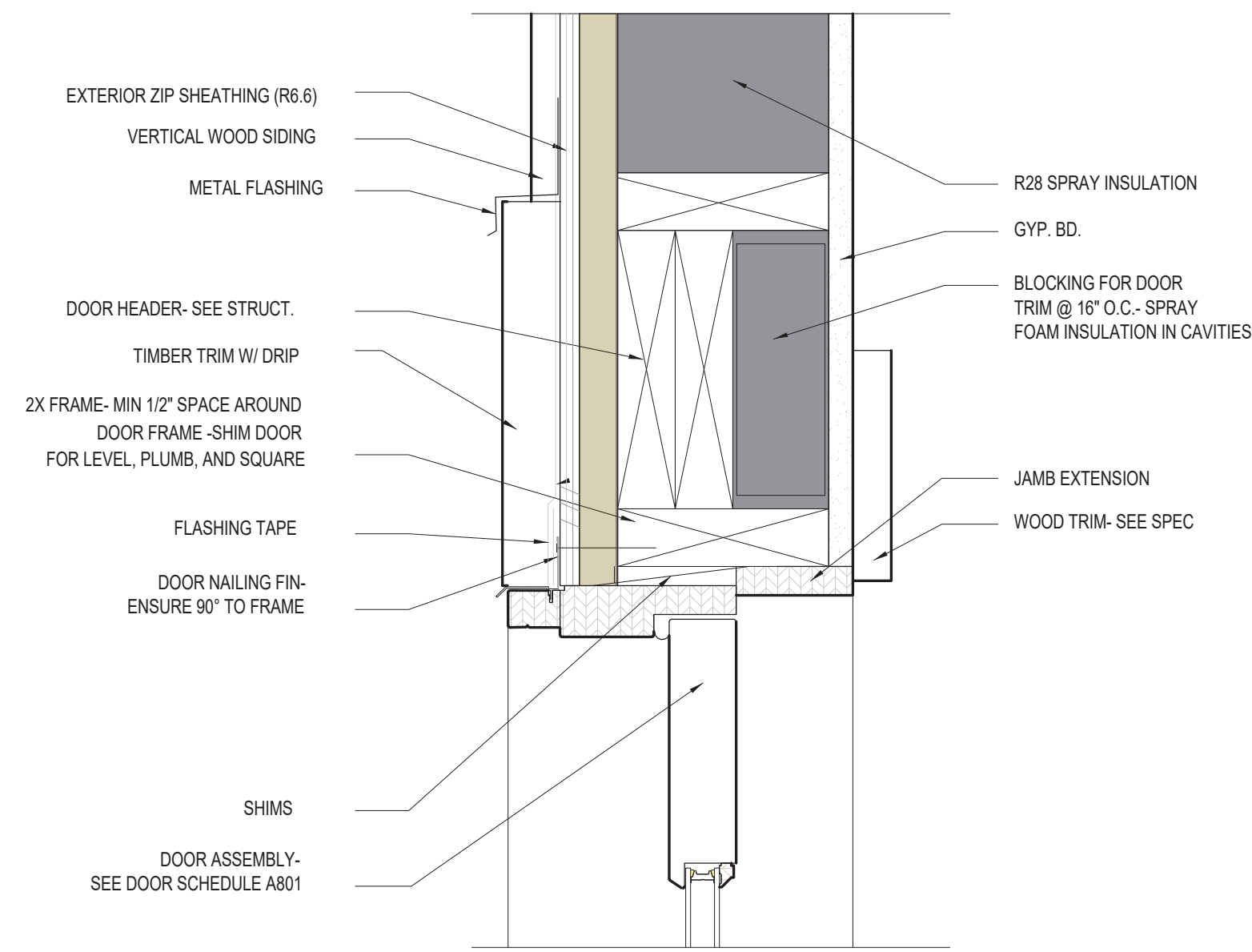
MARK	REV	DATE	DESCRIPTION
10-18-22	DRB SET		
10-5-22	DRB SET		
4-14-22	WINDOW/DOOR SCHEDULES		
4-6-22	DRB PRELIM APP		
3-30-22	REVISED DRAFT 4		
3-23-22	REVISED DRAFT 3		
3-7-22	REVISED DRAFT 2		
1-13-22	DRB SITE PLANS		
11-29-2021	PROGRESS		
10-19-2021	PROGRESS		
9-23-2021	TRASSING STUDY		
7-1-2021	LAYOUT		

PROJECT NAME: BC107  
MOUNTAIN VILLAGE  
COLORADO 81435

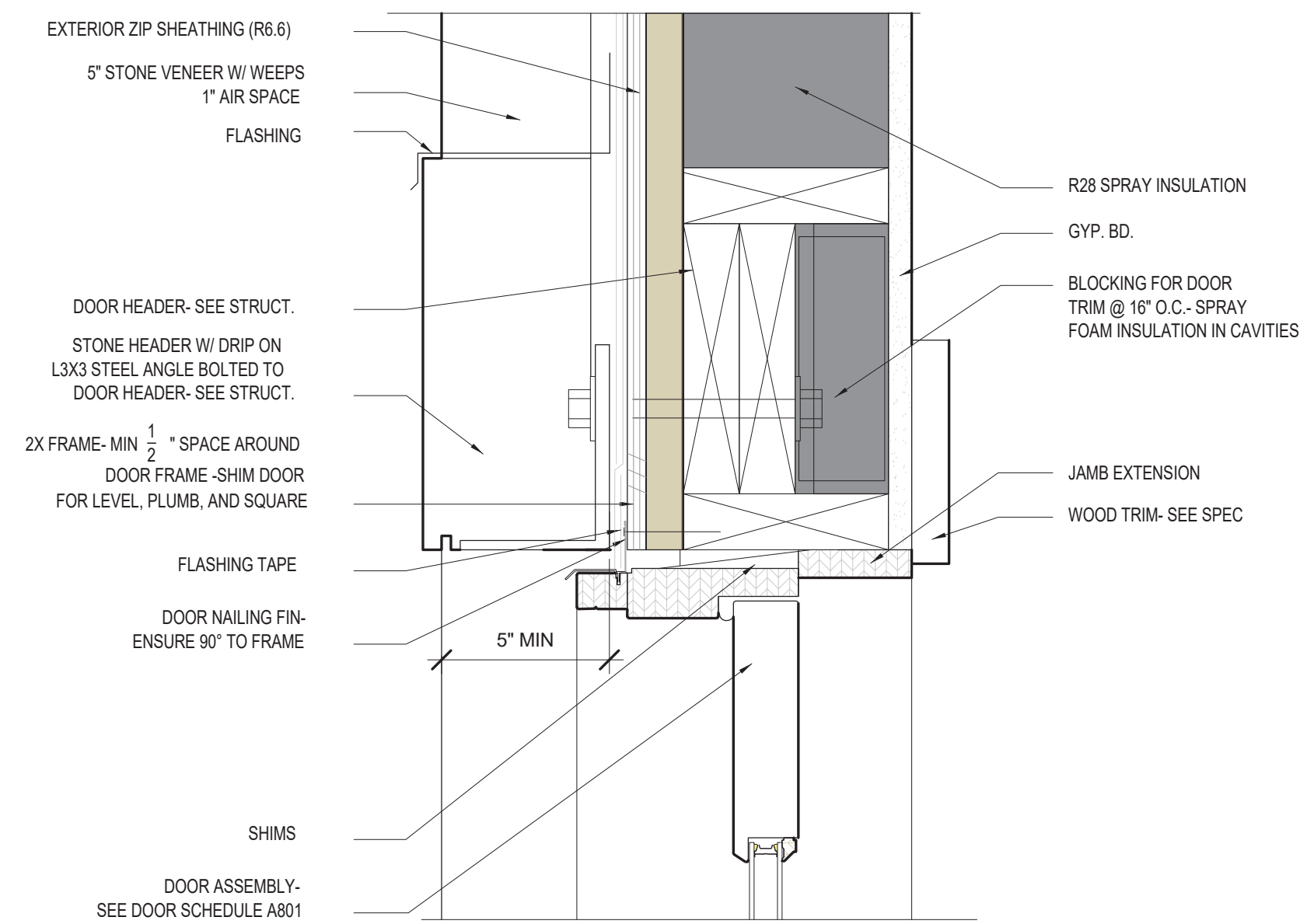
SHEET DESCRIPTION:  
WINDOW DETAILS

SHEET NUMBER:  
A601

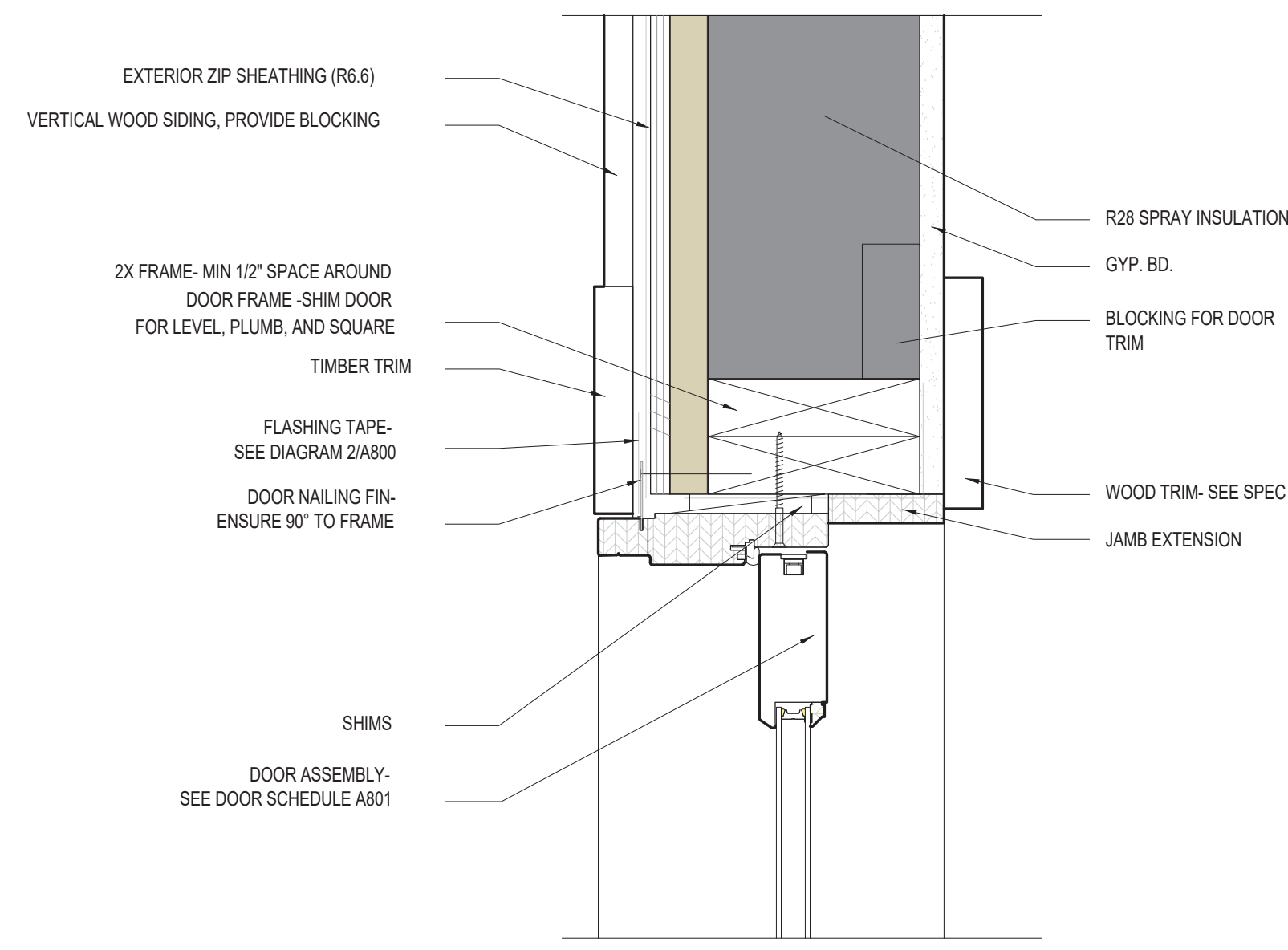




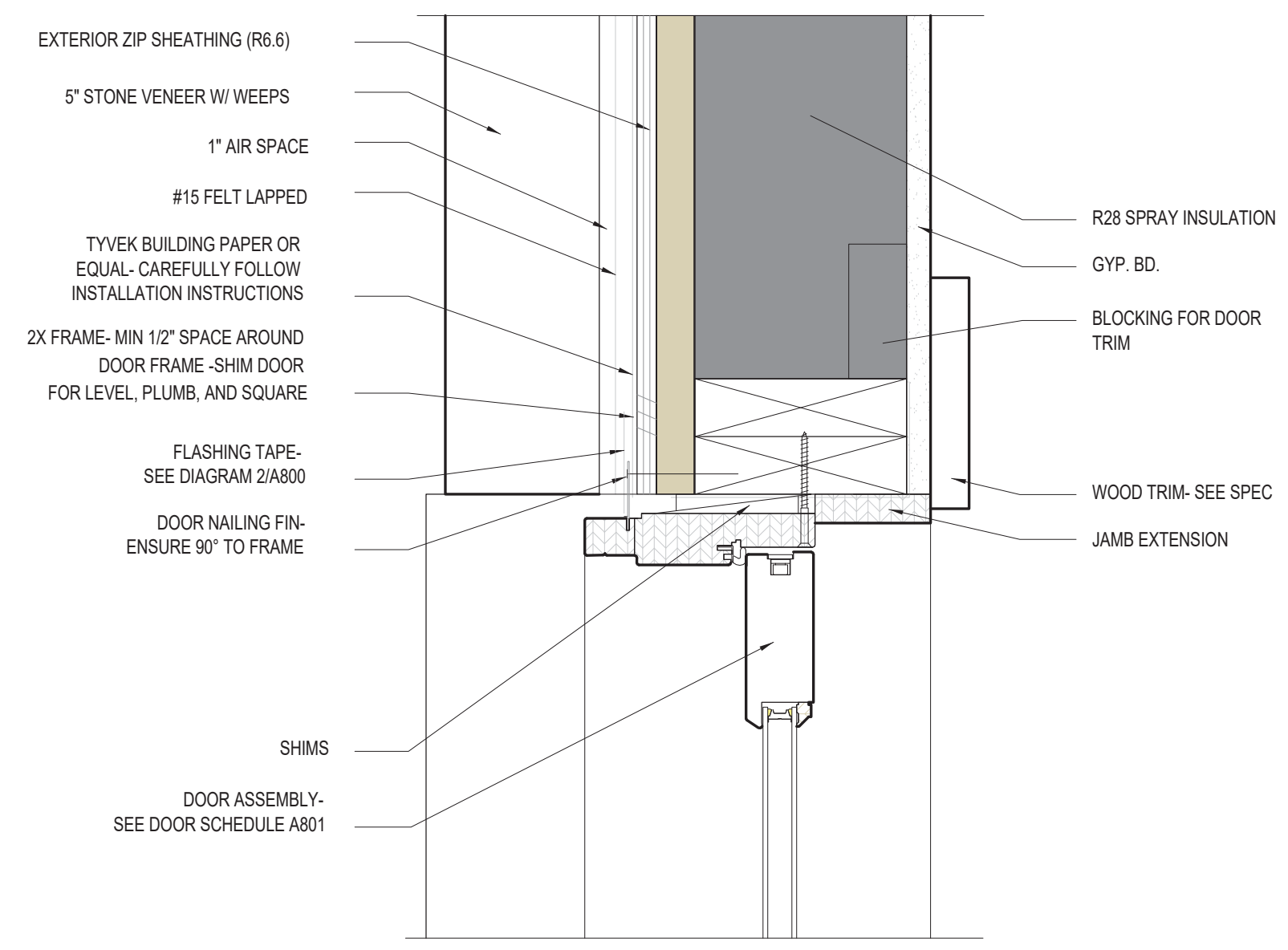
**6** DOOR HEAD  
WOOD SIDING - TIMBER TRIM  
SCALE: 3" = 1'-0"



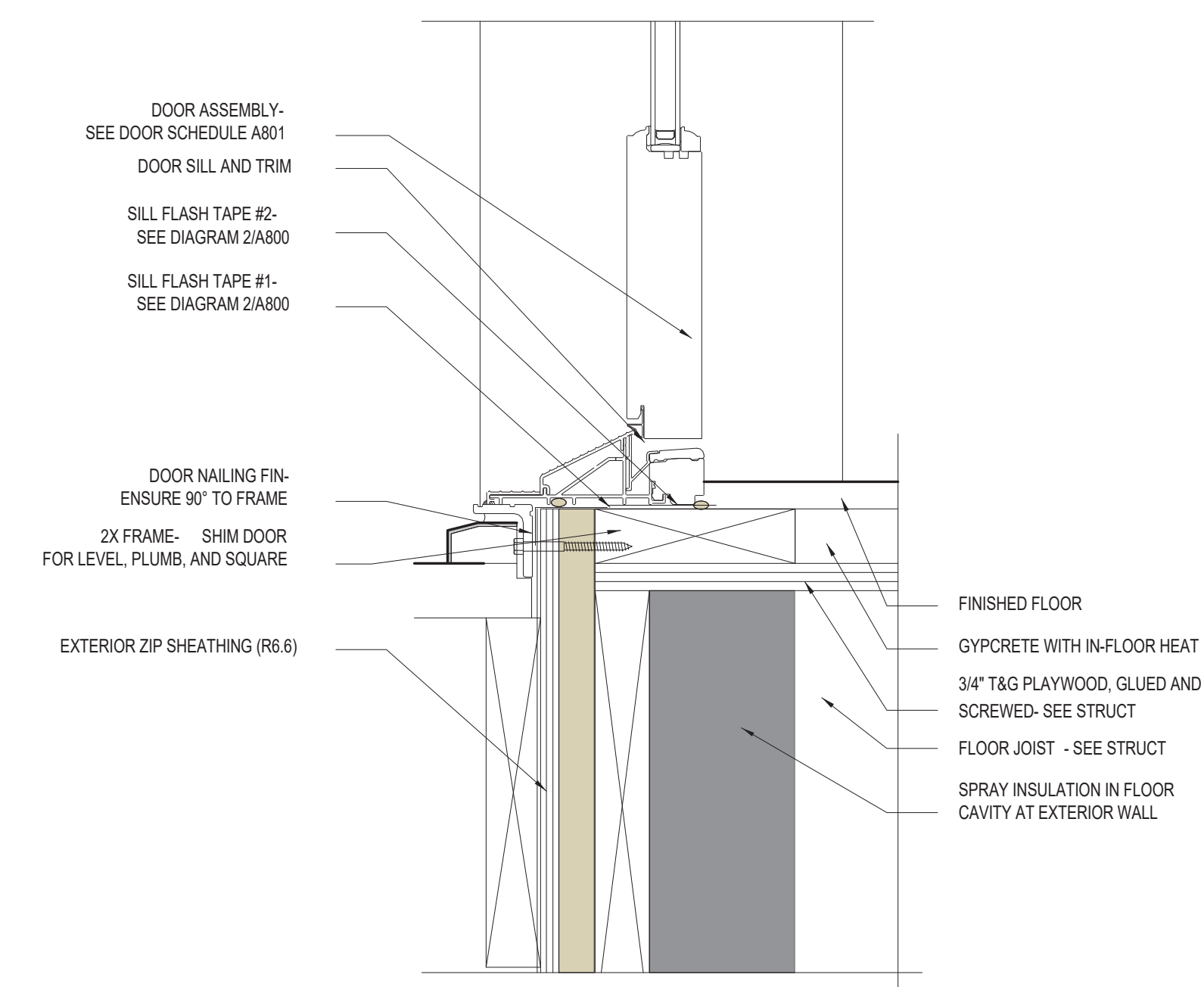
**3** DOOR HEAD  
STONE VENEER  
SCALE: 3" = 1'-0"



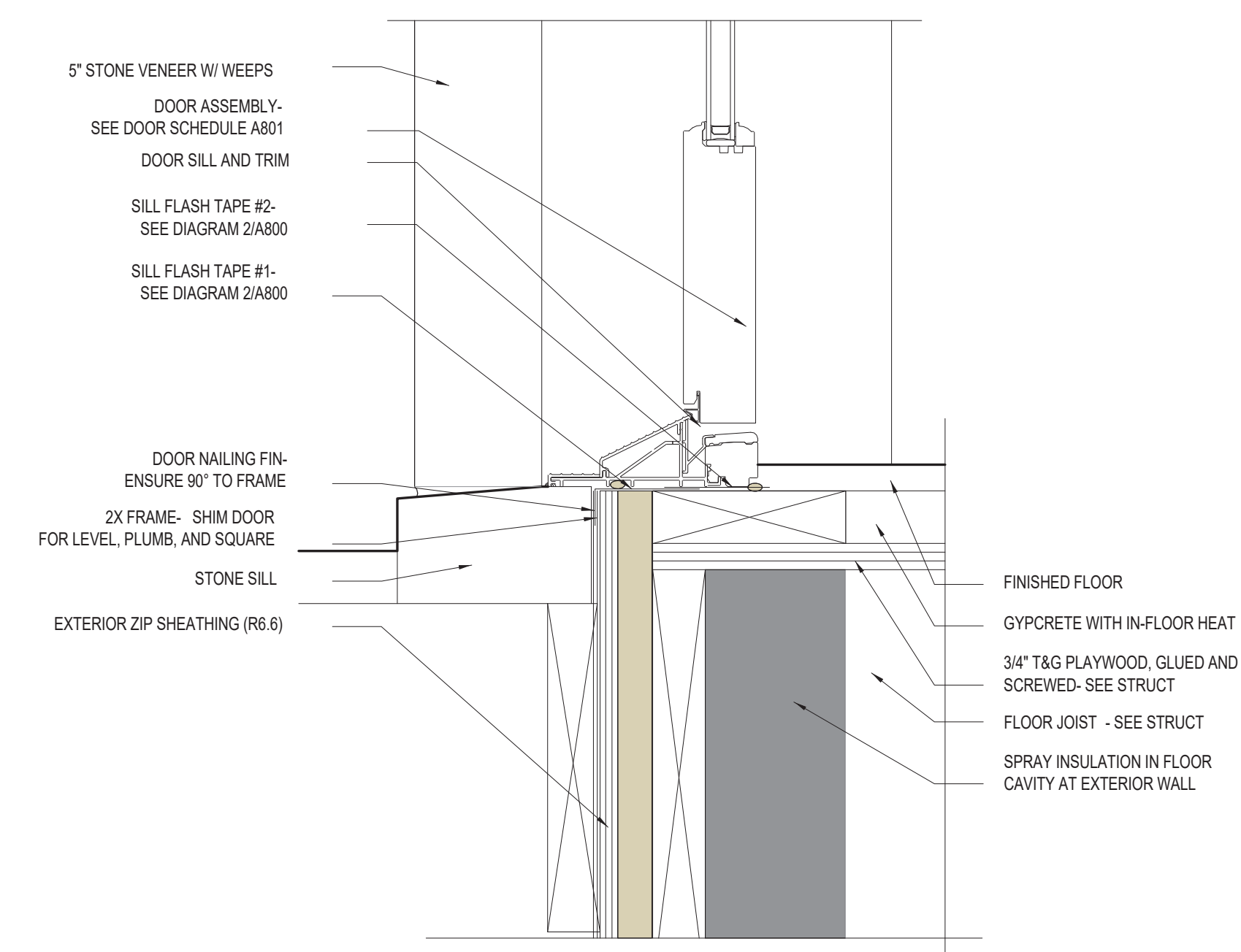
**5** DOOR JAMB  
WOOD SIDING - TIMBER TRIM  
SCALE: 3" = 1'-0"



**2** DOOR JAMB  
STONE VENEER  
SCALE: 3" = 1'-0"

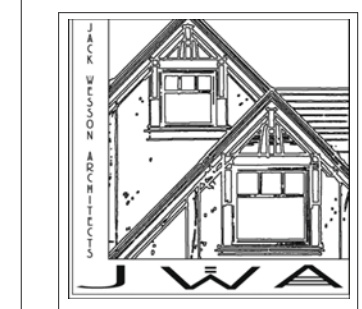


**4** DOOR SILL  
WOOD SIDING - TIMBER TRIM  
SCALE: 3" = 1'-0"



**1** DOOR SILL  
STONE VENEER  
SCALE: 3" = 1'-0"

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MARK	REV	DATE	DESCRIPTION
		10-18-22	DRB SET
		10-5-22	DRB SET
		4-14-22	WINDOW/DOOR SCHEDULES
		4-6-22	DRB PRELIM APP
		3-30-22	REVISED DRAFT 4
		3-23-22	REVISED DRAFT 3
		3-7-22	REVISED DRAFT 2
		1-13-22	DRB SITE PLANS
		11-29-2021	PROGRESS
		10-19-2021	PROGRESS
		9-23-2021	TRAKING STUDY
		7-1-2021	LAYOUT

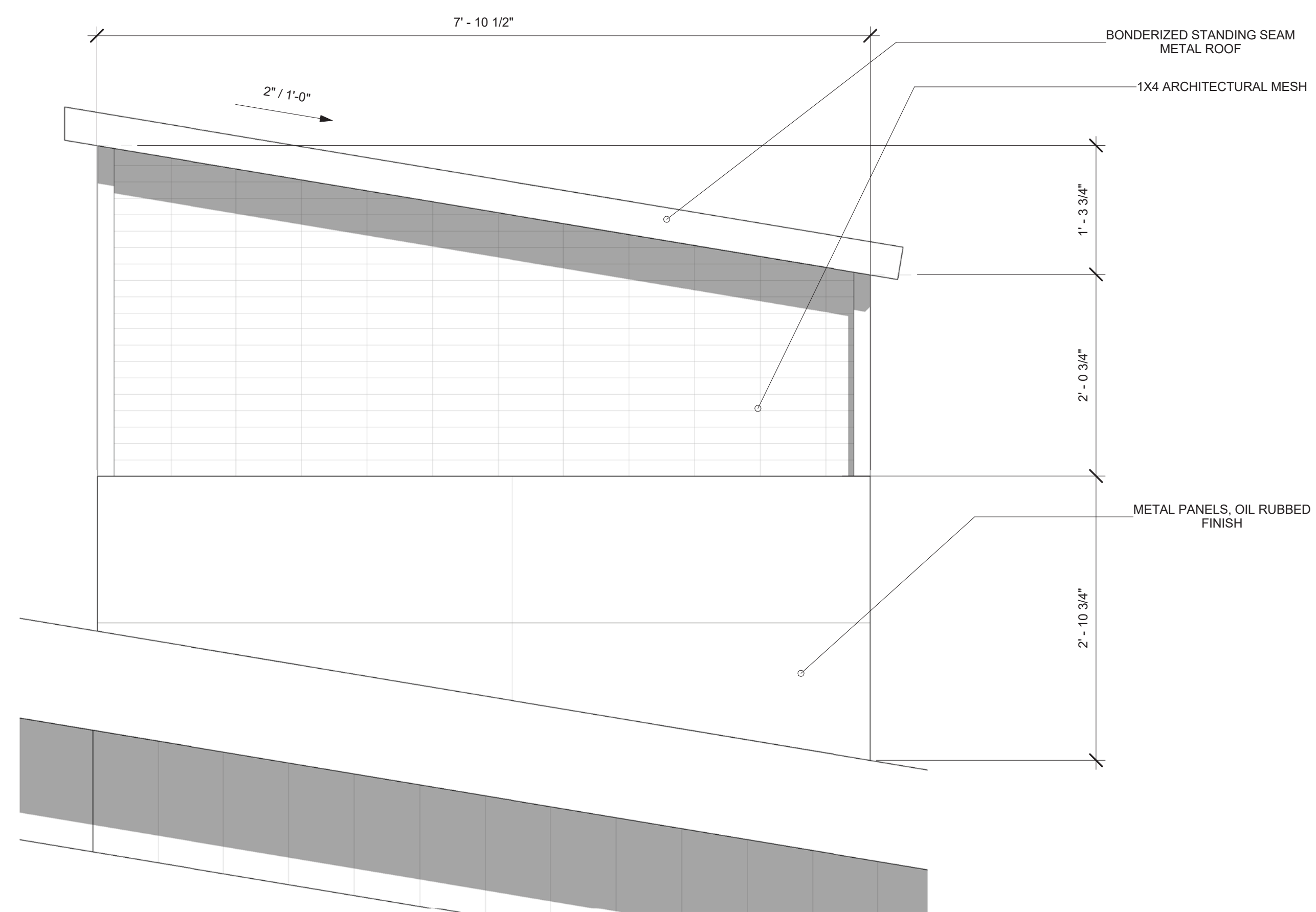
PROJECT NAME:  
**BC107**  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION:  
**DOOR DETAILS**

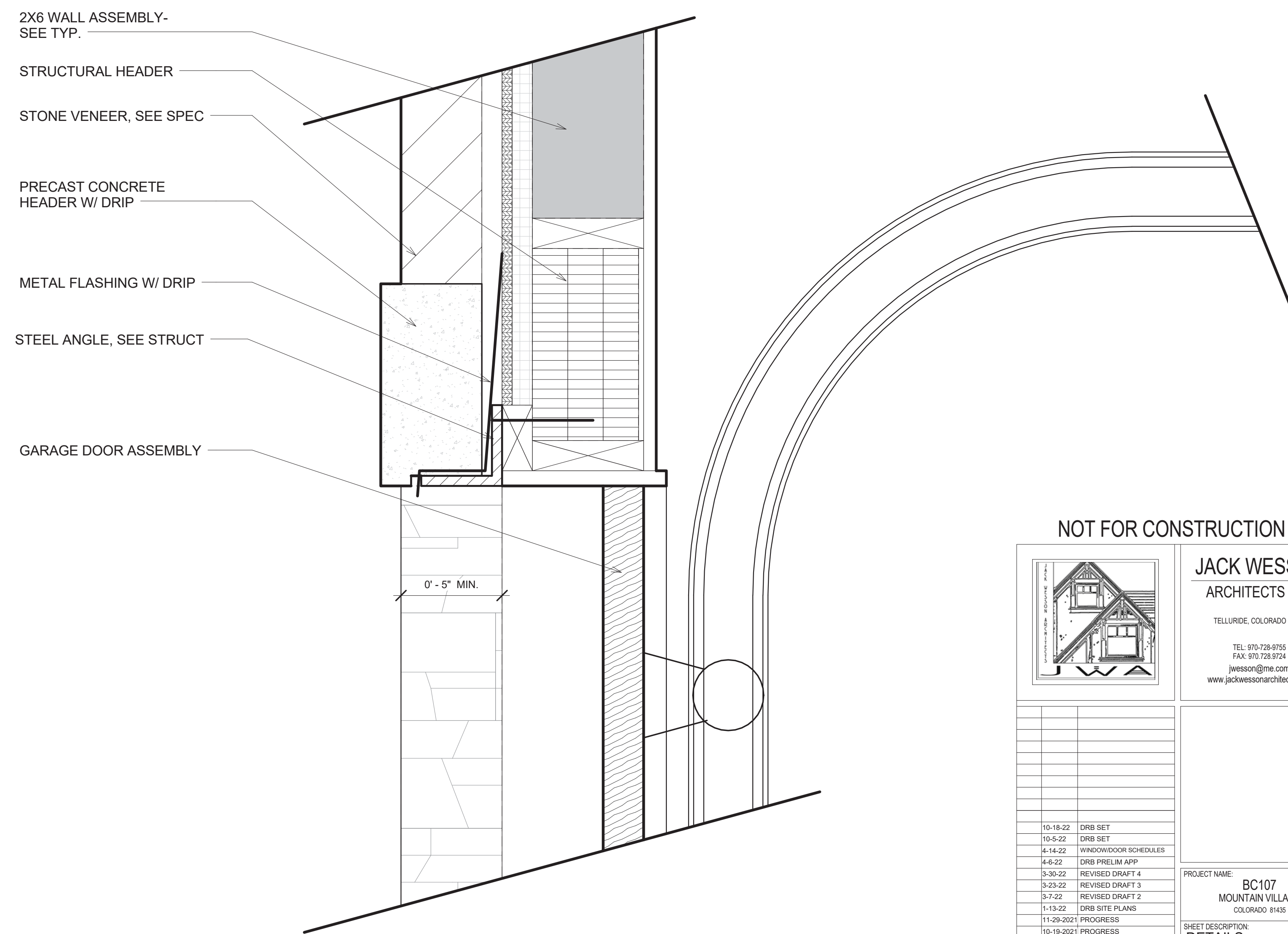
SHEET NUMBER:  
**A602**

PROJECT NAME:  
PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
DATE:





② CHIMNEY CAP DETAIL  
1" = 1'-0"



① GARAGE DOOR DETAIL  
3" = 1'-0"

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MARK	REV DATE	DESCRIPTION
10-18-22	DRB SET	
10-5-22	DRB SET	
4-14-22	WINDOW/DOOR SCHEDULES	
4-6-22	DRB PRELIM APP	
3-30-22	REVISED DRAFT 4	
3-23-22	REVISED DRAFT 3	
3-7-22	REVISED DRAFT 2	
1-13-22	DRB SITE PLANS	
11-29-2021	PROGRESS	
10-19-2021	PROGRESS	
9-23-2021	TRASSING STUDY	
7-1-2021	LAYOUT	

PROJECT NAME: BC107  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION:  
DETAILS

SHEET NUMBER:  
**A603**

PROJECT NAME:  
PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
DATE:



## MAIN HOUSE BASEMENT WINDOWS

WINDOW SCHEDULE						
Type Mark	Width	Height	Sloped	Operation	U-value	Comments
B1	2' - 6"	2' - 6"		AWNING		TEMPERED IN BATH
B2	3' - 0"	6' - 0"		DOUBLE HUNG		TEMPERED- BY DOOR/STAIR
B3	2' - 6"	2' - 6"		AWNING		TEMPERED- IN BATH
B4	2' - 6"	7' - 6"		CASEMENT		
B5	5' - 0"	7' - 6"		FIXED		TEMPERED- BY DOOR
B6	5' - 0"	7' - 6"		FIXED		TEMPERED- BY DOOR
B7	2' - 6"	7' - 6"		CASEMENT		
B8	5' - 9"	7' - 6"		FIXED		
B9	5' - 9"	7' - 6"		FIXED		TEMPERED BY DOOR
B10	2' - 10 1/2"	7' - 6"		CASEMENT		MULLED TO B11, TEMPERED IN BATH
B11	2' - 10 1/2"	7' - 6"		CASEMENT		MULLED, TEMPERED IN BATH
B12	4' - 6"	7' - 6"		FIXED		TEMPERED BY DOOR
B13	4' - 6"	7' - 6"		FIXED		TEMPERED BY DOOR
B14	2' - 6"	2' - 6"		AWNING		TEMPERED IN BATH
B15	5' - 9"	7' - 6"		FIXED		
B16	5' - 9"	7' - 6"		FIXED		
B17	2' - 6"	6' - 0"		CASEMENT		TEMPERED- EGRESS
B18	2' - 6"	2' - 6"		AWNING		TEMPERED IN BATH

## MAIN HOUSE MAIN LEVEL WINDOWS

WINDOW SCHEDULE						
Type Mark	Width	Height	Sloped	Operation	U-value	Comments
M1	6' - 0"	2' - 6"		AWNING		TEMPERED IN BATH
M2	2' - 6"	2' - 6"		AWNING		TEMPERED IN BATH
M3	6' - 0"	5' - 0"		FIXED		
M4	2' - 6"	2' - 6"		AWNING		
M5	5' - 4"	2' - 6"		FIXED		MULLED TO M6, M7, TEMPERED IN STAIR
M6	5' - 4"	5' - 0"		FIXED		MULLED, TEMPERED IN STAIR
M7	5' - 4"	2' - 6"		AWNING		MULLED, TEMPERED IN STAIR
M8	5' - 4"	2' - 6"		FIXED		MULLED TO M9, M10, TEMPERED IN STAIR
M9	5' - 4"	5' - 0"		FIXED		MULLED, TEMPERED IN STAIR
M10	5' - 4"	2' - 6"		AWNING		MULLED, TEMPERED IN STAIR
M11	3' - 6"	2' - 6"		FIXED		MULLED TO M12, M13, TEMPERED IN STAIR/ BY DOOR
M12	3' - 6"	5' - 0"		FIXED		MULLED, TEMPERED IN STAIR/ BY DOOR
M13	3' - 6"	2' - 6"		AWNING		MULLED, TEMPERED IN STAIR/ BY DOOR
M14	6' - 0"	5' - 0"		FIXED		
M15	6' - 0"	5' - 0"		FIXED		
M17	4' - 0"	5' - 0"		CASEMENT		TEMPERED BY DOOR
M18	4' - 0"	5' - 0"		CASEMENT		TEMPERED BY DOOR
M19	6' - 0"	2' - 6"		AWNING		TEMPERED IN GARAGE
M20	2' - 6"	2' - 6"		AWNING		TEMPERED IN GARAGE
M21	2' - 6"	2' - 6"		AWNING		TEMPERED IN GARAGE
M22	2' - 6"	2' - 6"		AWNING		TEMPERED IN GARAGE
M23	2' - 6"	2' - 6"		AWNING		TEMPERED IN GARAGE
M24	2' - 6"	2' - 6"		AWNING		
M25	2' - 6"	2' - 6"		AWNING		TEMPERED- IN BATH
M26	5' - 9"	2' - 6"		AWNING		TEMPERED OVER DOOR
M27	5' - 9"	2' - 6"		AWNING		TEMPERED OVER DOOR
M28	5' - 9"	2' - 6"		AWNING		TEMPERED OVER DOOR
M29	5' - 9"	2' - 6"		AWNING		TEMPERED OVER DOOR
M30	5' - 9"	7' - 6"		FIXED		
M31	5' - 9"	2' - 6"		AWNING		
M32	5' - 9"	2' - 6"		AWNING		
M33	5' - 9"	7' - 6"		FIXED		
M34	5' - 9"	2' - 6"		AWNING		
M35	4' - 6"	3' - 6 3/4"	YES	FIXED		
M36	4' - 6"	2' - 6"		AWNING		MULLED TO M37
M37	4' - 6"	5' - 0"		FIXED		MULLED
M38	5' - 8"	5' - 10"		FIXED		TEMPERED OVER DOOR
M39	5' - 8"	5' - 10"		FIXED		TEMPERED OVER DOOR
M40	5' - 8"	5' - 10"		FIXED		TEMPERED OVER DOOR
M41	4' - 6"	3' - 6 3/4"	YES	FIXED		
M42	4' - 6"	2' - 6"		AWNING		MULLED TO M43
M43	4' - 6"	5' - 0"		FIXED		MULLED
M44	2' - 6"	2' - 6"		AWNING		
M45	5' - 9"	2' - 6"		AWNING		TEMPERED OVER DOOR
M46	5' - 9"	2' - 6"		AWNING		TEMPERED OVER DOOR
M47	5' - 9"	2' - 6"		AWNING		
M48	5' - 9"	2' - 6"		AWNING		TEMPERED BY DOOR
M49	4' - 0"	2' - 7"	YES	FIXED		
M50	4' - 0"	2' - 6"		AWNING		
M51	5' - 0"	1' - 10"	YES	FIXED		
M52	3' - 0"	2' - 6"		AWNING		MULLED TO M53
M53	3' - 0"	5' - 0"		CASEMENT		MULLED
M54	3' - 0"	3' - 0"		AWNING		MULLED TO M55, TEMPERED IN BATH
M55	3' - 0"	6' - 0"		CASEMENT		MULLED, TEMPERED IN BATH
M56	4' - 0"	2' - 11 1/4"	YES	FIXED		MULLED TO M57, M58, M59, TEMPERED IN BATH
M57	4' - 0"	6' - 0"		FIXED		MULLED, TEMPERED IN BATH
M58	2' - 4"	2' - 3 1/4"	YES	FIXED		MULLED, TEMPERED IN BATH
M59	2' - 4"	6' - 0"		CASEMENT		MULLED, TEMPERED IN BATH
M60	2' - 6"	2' - 6"		AWNING		TEMPERED IN BATH

## MAIN HOUSE UPPER LEVEL WINDOWS

WINDOW SCHEDULE						
Type Mark	Width	Height	Sloped	Operation	U-value	Comments
U1	2' - 6"	2' - 6"		AWNING		TEMPERED IN STAIR
U2	5' - 0"	2' - 3"	YES	FIXED		
U3	2' - 6"	6' - 6"		CASEMENT		MULLED TO U4
U4	2' - 6"	6' - 6"		CASEMENT		MULLED
U5	5' - 9"	3' - 0"		AWNING		
U6	5' - 9"	3' - 0"		AWNING		
U7	5' - 0"	2' - 3"	YES	FIXED		
U8	2' - 6"	3' - 6"		CASEMENT		MULLED TO U9
U9	2' - 6"	3' - 6"		CASEMENT		MULLED
U10	2' - 0"	2' - 0"		AWNING		TEMPERED IN BATH
U12	2' - 3"	4' - 0"		CASEMENT		TEMPERED IN STAIR

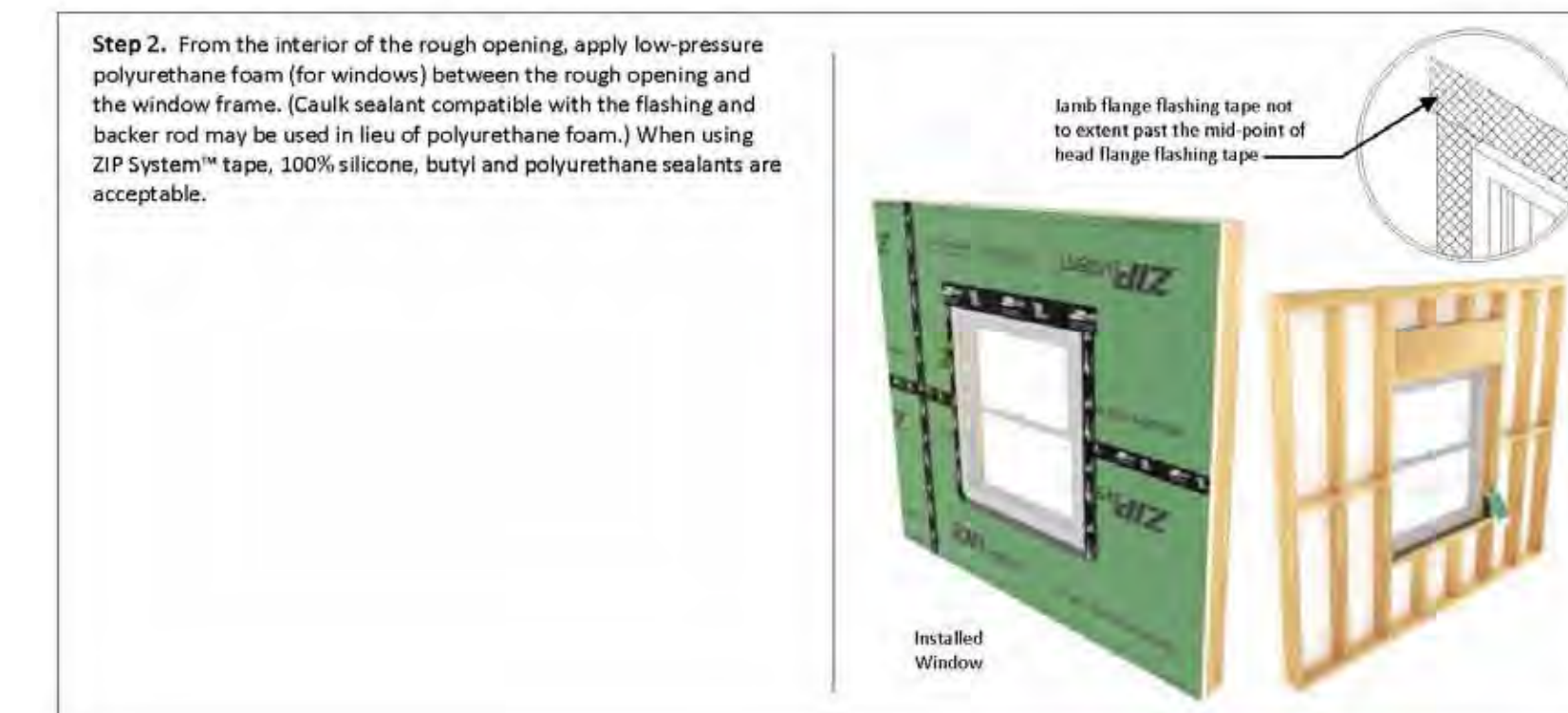
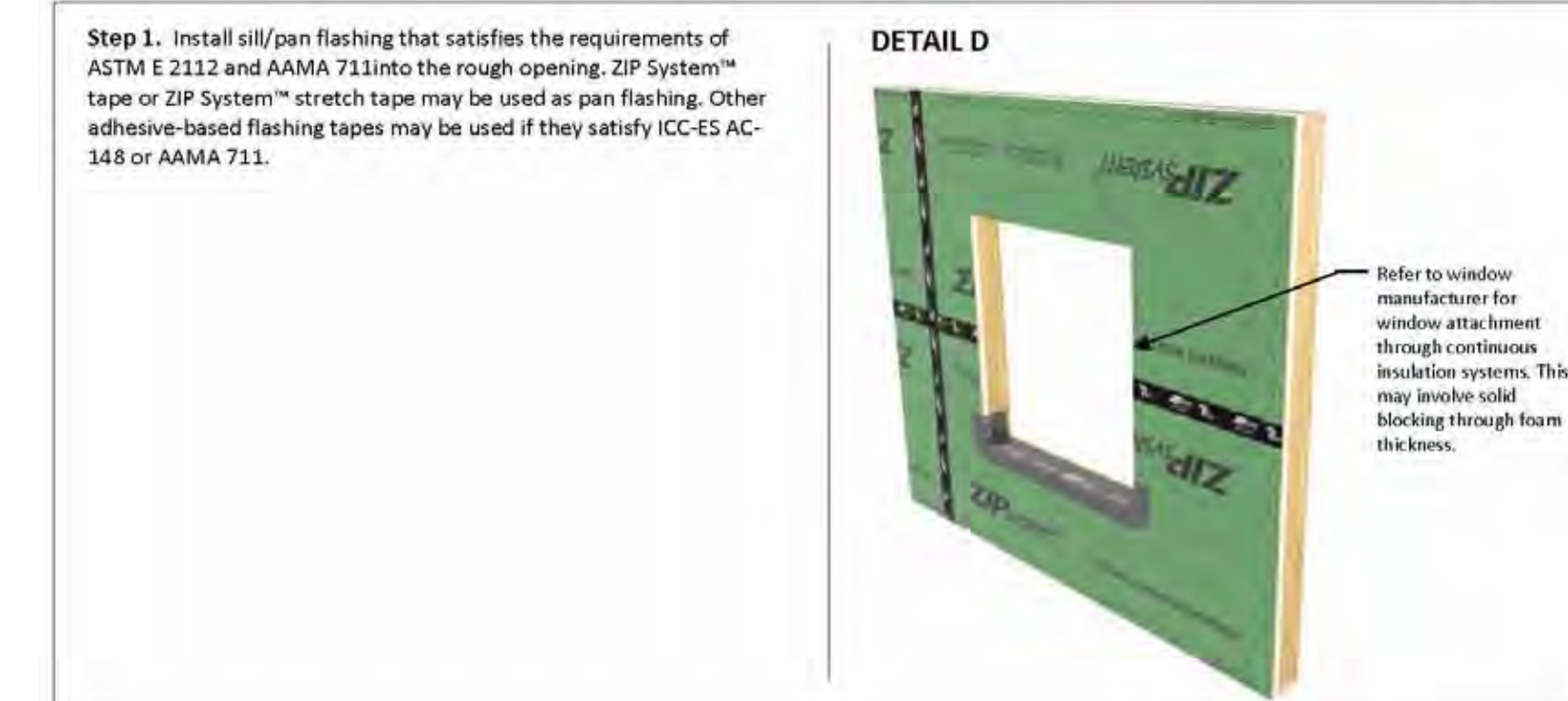
## CABIN WINDOWS

WINDOW SCHEDULE						
Type Mark	Width	Height	Sloped	Operation	U-value	Comments
C1	3' - 6"	7' - 3"		CASEMENT		MULLED W C2
C2	3' - 6"	7' - 3"		CASEMENT		MULLED
C3	3' - 6"	7' - 3"		CASEMENT		
C4	3' - 6"	6' - 6"		CASEMENT		MULLED W C5, C6, C7
C5	3' - 6"	6' - 6"		CASEMENT		MULLED
C6	3' - 6"	6' - 6"		CASEMENT		MULLED
C7	3' - 6"	6' - 6"		CASEMENT		MULLED
C8	7' - 0"	1' - 7"	YES	FIXED		MULLED W C9
C9	7' - 0"	2' - 9"	YES	FIXED		MULLED
C10	6' - 0"	3' - 0"		AWNING		TEMPERED BY DOOR
C11	6' - 0"	3' - 0"		AWNING		TEMPERED BY DOOR
C12	6' - 0"	3' - 0"		AWNING		TEMPERED BY DOOR
C13	3' - 6"	6' - 6"		CASEMENT		MULLED W C14
C14	3' - 6"	6' - 6"		CASEMENT		MULLED
C15	3' - 6"	6' - 6"		CASEMENT		
C16	7' - 0"	2' - 9"	YES	FIXED		

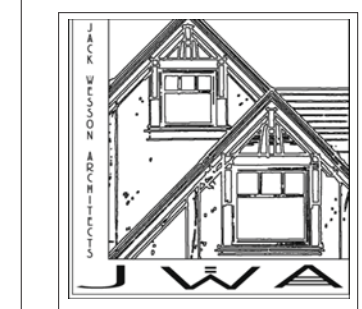
\*\*\*SEE ELEVATIONS FOR ALL MULLION LOCATIONS

### ZIP System® R-Sheathing – Window Installation

DISCLAIMER: Please defer to/consult the installation instructions of your window manufacturer as well as local code requirements. It is the responsibility of the general contractor to coordinate rough opening dimensions with window dimensions and install any necessary extensions or solid blocking as needed.



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www.jackwessonarchitects.com

MARK	REV	DATE	DESCRIPTION
10-18-22	DRB	SET	
10-5-22	DRB	SET	
4-14-22	WINDOW/DOOR	SCHEDULES	
4-6-22	DRB	PRELIM APP	
3-30-22	REVISED	DRAFT 4	
3-23-22	REVISED	DRAFT 3	
3-1-22	REVISED	DRAFT 2	
1-13-22	DRB	SITE PLANS	
11-29-2021	PROGRESS		
10-19-2021	PROGRESS		
9-23-2021	TRASSING	STUDY	
7-1-2021	LAYOUT		

PROJECT NAME: **BC107**  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION:  
**WINDOW SCHEDULE**

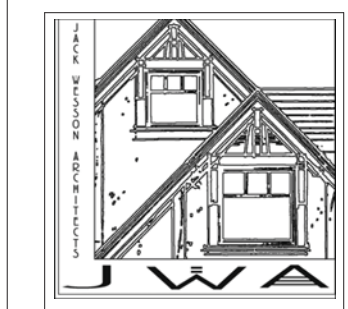
SHEET NUMBER:  
**A800**



DOOR SCHEDULE						
Mark	Width	Height	Type	Room	Lock Set	Comments
000	3' - 0"	8' - 6"	ENTRY DOOR	BUNNK ROOM	DEADBOLT	3/4 LITE, TEMPERED- METAL CLAD WOOD
001	3' - 6"	9' - 6"	ENTRY DOOR	BED 3	DEADBOLT	3/4 LITE, TEMPERED- METAL CLAD WOOD
002	3' - 6"	9' - 6"	ENTRY DOOR	BED 2	DEADBOLT	3/4 LITE, TEMPERED- METAL CLAD WOOD
003	18' - 0"	9' - 6"	3 PANEL MULTISLIDE	DEN	LOCKING HARDWARE	3/4 LITE, TEMPERED- METAL CLAD WOOD
004	5' - 0"	8' - 0"	DOUBLE DOORS	BED 1	PRIVACY	
005	2' - 10"	8' - 0"	INTERIOR	BATH 1	PRIVACY	
006	2' - 0"	8' - 0"	FROSTED GLASS	W/C 1	PUSH BAR	TEMPERED
007	2' - 0"	8' - 0"	FROSTED GLASS	SHOWER 1	PUSH BAR	TEMPERED
008	2' - 0"	8' - 0"	FROSTED GLASS	LINEN 1	PULL BAR	TEMPERED
009	2' - 6"	8' - 0"	INTERIOR	CLOSET 1	PASSAGE	
010	2' - 6"	8' - 0"	INTERIOR	POWDER 1	PRIVACY	
011	3' - 0"	8' - 0"	INTERIOR	MECH 1	PASSAGE	
012	6' - 0"	8' - 0"	DOUBLE DOORS	BED 2	PRIVACY	
013	2' - 6"	8' - 0"	INTERIOR	BATH 2	PRIVACY	
014	2' - 0"	8' - 0"	FROSTED GLASS	W/C 2	PUSH BAR	TEMPERED
015	2' - 0"	8' - 0"	FROSTED GLASS	SHOWER 2	PUSH BAR	TEMPERED
016	2' - 6"	8' - 0"	INTERIOR	CLOSET 2	PASSAGE	
017	4' - 8"	8' - 0"	DOUBLE	BED 3	PRIVACY	
018	2' - 6"	8' - 0"	INTERIOR	BATH 3	PRIVACY	
019	2' - 0"	8' - 0"	FROSTED GLASS	SHOWER 3	PUSH BAR	TEMPERED
020	2' - 0"	8' - 0"	FROSTED GLASS	W/C 3	PUSH BAR	TEMPERED
021	4' - 0"	8' - 0"	DOUBLE	CLOSET 3-1		
022	4' - 0"	8' - 0"	DOUBLE	CLOSET 3-2		
023	3' - 0"	8' - 0"	INTERIOR	LAUNDRY	PASSAGE	
024	3' - 0"	8' - 0"	INTERIOR	MECH 2	PASSAGE	
025	2' - 8"	8' - 0"	INTERIOR	BUNK ROOM	PRIVACY	
026	2' - 6"	8' - 0"	INTERIOR	BUNK BATH	PRIVACY	
027	2' - 6"	8' - 0"	FROSTED GLASS	BUNK W/C	PUSH BAR	TEMPERED
100	7' - 0"	10' - 0"	DOUBLE ENTRY DOOR	ENTRY	DEADBOLT	SEE ELEVATION- TEMPERED GLASS- WOOD
101	3' - 6"	7' - 6"	ENTRY DOOR	MUD ROOM	DEADBOLT	3/4 LITE, TEMPERED- METAL CLAD WOOD
102	3' - 0"	7' - 6"	MAN DOOR	GARAGE	DEADBOLT	MATCH GARAGE DOOR
103	20' - 0"	7' - 6"	GARAGE DOOR	GARAGE	OVERHEAD OPENER	OIL RUBBED METAL PANELS
104	9' - 0"	7' - 6"	2 PANEL MULTISLIDE	KITCHEN	LOCKING HARDWARE	3/4 LITE, TEMPERED- METAL CLAD WOOD
105	18' - 0"	9' - 6"	3 PANEL MULTISLIDE	KITCHEN	LOCKING HARDWARE	3/4 LITE, TEMPERED- METAL CLAD WOOD
106	18' - 0"	9' - 6"	3 PANEL MULTISLIDE	LIVING	LOCKING HARDWARE	3/4 LITE, TEMPERED- METAL CLAD WOOD
107	12' - 0"	10' - 0"	2 PANEL MULTISLIDE	MASTER BED	LOCKING HARDWARE	3/4 LITE, TEMPERED- METAL CLAD WOOD
108	4' - 0"	8' - 0"	DOUBLE DOORS	MASTER BED	PRIVACY	
109	2' - 4"	8' - 0"	INTERIOR	MASTER BATH	PRIVACY	
110	2' - 0"	8' - 0"	FROSTED GLASS	MASTER W/C	PUSH BAR	TEMPERED
111	2' - 0"	8' - 0"	FROSTED GLASS	MASTER SHOWER	PUSH BAR	TEMPERED
112	5' - 0"	8' - 0"	DOUBLE POCKET	MASTER CLOSET	POCKET- PASSAGE	
113	2' - 6"	8' - 0"	INTERIOR	POWDER 2	PRIVACY	
114	3' - 0"	8' - 0"	MAN DOOR	GARAGE	DEADBOLT	
200	12' - 0"	9' - 0"	2 PANEL MULTISLIDE	LOFT	LOCKING HARDWARE	3/4 LITE, TEMPERED- METAL CLAD WOOD
201	2' - 6"	8' - 0"	INTERIOR	LOFT	PRIVACY	
202	2' - 6"	8' - 0"	INTERIOR	LOFT BATH	PRIVACY	
203	2' - 0"	8' - 0"	FROSTED GLASS	LOFT SHOWER	PUSH BAR	TEMPERED
300	18' - 0"	9' - 6"	3 PANEL MULTISLIDE	CABIN BED 1	LOCKING HARDWARE	3/4 LITE, TEMPERED- METAL CLAD WOOD
301	3' - 0"	8' - 0"	MAN DOOR	CABIN MECH	DEADBOLT	
302	3' - 0"	8' - 0"	ENTRY DOOR	CABIN ENTRY	DEADBOLT	3/4 LITE, TEMPERED- METAL CLAD WOOD
303	18' - 0"	9' - 6"	3 PANEL MULTISLIDE	CABIN LIVING	LOCKING HARDWARE	3/4 LITE, TEMPERED- METAL CLAD WOOD
304	3' - 0"	8' - 0"	DOUBLE DOORS	CABIN BED 1	PRIVACY	
305	3' - 0"	8' - 0"	INTERIOR	CABIN BATH 1	PRIVACY	
306	2' - 0"	8' - 0"	FROSTED GLASS	CABIN W/C 1	PUSH BAR	TEMPERED
307	2' - 0"	8' - 0"	FROSTED GLASS	CABIN SHOWER 1	PUSH BAR	TEMPERED
400	2' - 0"	8' - 0"	DOUBLE CABINET	KITCHEN	HANDLE	
401	2' - 0"	8' - 0"	DOUBLE CABINET	KITCHEN	HANDLE	
402	2' - 0"	8' - 0"	DOUBLE CABINET	KITCHEN	HANDLE	
403	2' - 0"	8' - 0"	DOUBLE CABINET	KITCHEN	HANDLE	
404	4' - 0"	8' - 0"	DOUBLE CABINET	LOFT	HANDLE	
405	4' - 0"	8' - 0"	DOUBLE CABINET	LOFT	HANDLE	
406	4' - 0"	8' - 0"	DOUBLE CABINET	LOFT	HANDLE	

\*\*\*SEE ELEVATIONS FOR ALL MULLION LOCATIONS

NOT FOR CONSTRUCTION



**JACK WESSON**  
ARCHITECTS INC.

TELLURIDE, COLORADO 81435  
TEL: 970-728-8755  
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jwesson@jwa.com  
www.jackwessonarchitects.com

10-18-22	DRB SET	
10-5-22	DRB SET	
4-14-22	WINDOW/DOOR SCHEDULES	
4-6-22	DRB PRELIM APP	
3-30-22	REVISED DRAFT 4	
3-23-22	REVISED DRAFT 3	
3-17-22	REVISED DRAFT 2	
1-13-22	DRB SITE PLANS	
11-29-2021	PROGRESS	
10-19-2021	PROGRESS	
9-23-2021	TRASSING STUDY	
7-1-2021	LAYOUT	
MARK	REV DATE	DESCRIPTION
PROJECT NAME	BC107 MOUNTAIN VILLAGE COLORADO 81435	
PROJECT MANAGER	JACK WESSON	
DRAWN BY	JACK WESSON	
REVIEWED BY	JACK WESSON	
DATE	2022.A04	

PROJECT NAME: BC107 MOUNTAIN VILLAGE COLORADO 81435

SHEET DESCRIPTION: DOOR SCHEDULE

SHEET NUMBER: A801



**Hybrid 2 Rope Light**  
By American Lighting



Hybrid 2 Rope Light  
By American Lighting  
Product Options

Color: White,  
Size: 150 foot,  
Color Temperature: 2700

Details  
ETL Listed Wet  
Made In China

Dimensions  
150 foot Option Fixture: Length 1800", Width 0.56",  
Height 18"

**Lighting**

150 foot 2700

Lamp Type	LED Built-in
Total Lumens	180
Total Watts	2.30
Volts	120
Color Temp	2700 (Warm)
Average Lifespan	30000.00
CRI	82
Equivalent Halogen, CFL or LED Bulb Can Be Used	No



Notes:

Prepared by: \_\_\_\_\_  
Prepared for: \_\_\_\_\_  
Project: \_\_\_\_\_  
Room: \_\_\_\_\_  
Placement: \_\_\_\_\_  
Approval: \_\_\_\_\_

**Additional Details**

Product URL:  
<https://www.lumens.com/hybrid-2-rope-light-by-american-lighting-AML577810.html>  
Rating: ETL Listed Wet

ITEM #: AML577810

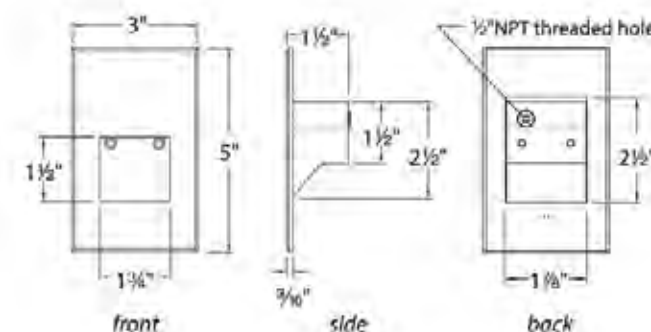


Created April 5th, 2022

**Model: WL-LED201**  
LEDme® Step Light

**WAC LIGHTING**  
Responsible Lighting®

Fixture Type:   
Catalog Number:   
Project:   
Location:



**PRODUCT DESCRIPTION**  
Vertical rectangle LEDme® Step Light with Anti-microbial powder coat paint proven to restrain a wide range of bacteria, coliform, mold, fungus, algae, and yeast... Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters. Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

- FEATURES**
- Direct wiring, no driver needed
  - Title 24 JAB - 2016 Compliant (120V only)
  - Low profile, flush to wall aesthetics with no visible hardware
  - 54,000 hour rated life
  - Balanced lighting, free of shadows with minimum glare
  - Up to 200 fixtures can be connected in parallel
  - Replaceable LED module
  - 5 year WAC Lighting product warranty

**SPECIFICATIONS**  
**Construction:** Die-cast aluminum.  
**Power:** Direct wiring, no remote driver needed.  
**Input:** 120V 50/60Hz (277V special order/3000K, Amber (AM))  
**Light Source:** HV-AC High Power LED, CRI: 90  
Optional color lenses. Total power consumption of 3.5W  
**Mounting:** Fits into 2" x 4" J-Box with minimum inside dimensions of 3"L x 2"W x 2"H Includes bracket for J-Box mount.  
**Dimming:** Dim to 10% with ELV dimmer (120V only).  
Approved dimmers: Lutron Nova-T NTELV-300 & NTELV-600, Lutron Vistri VTELV-600, Lutron Diva DVELV-300P, Lutron Skylark SELV-300P, Lutron Maestro MALLV-600  
**Standards:** IP66, UL & cUL listed for wet locations, Title 24 Compliant (120V only)

**ORDER NUMBER**

Model #	Color	Finish
WL-LED201	27 2700K 30 3000K AM Amber (810nm)	WT White

**WL-LED201** -  -  - **WT**

Example: WL-LED201-30-WT  
For 277V, add "F" before the CCT: WL-LED201F-30-WT

wacighting.com Phone: (800) 526.2588 Fax: (800) 526.2585  
Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050  
Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122  
Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. JAN 2019



**PRODUCT SPECIFICATIONS**



**Stratrum Dark Sky Friendly LED Outdoor Sconce**  
Base Item #302630  
Configured Item #302630-1005  
302630-LED-10-78

**FINISH** Coastal Black - 10 **ACCENT** Coastal Burnished Steel - 78

**LAMPING** LED

**OPTIONS**

FINISH	ACCENT	LAMPING
Coastal Black - 10	Black - 10	LED
Coastal Natural Iron - 20	Natural Iron - 20	
Coastal Gold - 70	Coastal Gold - 70	
Coastal Mahogany - 73	Coastal Mahogany - 73	
Coastal Bronze - 75	Coastal Bronze - 75	
Coastal Dark Smoke - 77	Coastal Dark Smoke - 77	
Coastal Burnished Steel - 78	Coastal Burnished Steel - 78	

**SPECIFICATIONS**

**Stratrum Dark Sky Friendly LED Outdoor Sconce**  
Base Item #: 302630  
Configured Item #: 302630-1005  
302630-LED-10-78

- ADA compliant Contemporary aluminum direct wire LED exterior wall sconce. Choose a finish for the upper LED housing and an accent for the textured plate. Designed and built to Dark Sky standards.
- Handcrafted to order by skilled artisans in Vermont, USA
  - Lifetime Limited Warranty when installed in residential setting
  - Features our robust Coastal Outdoor finish specifically formulated to resist some of the harshest environmental conditions.

**Dimensions**

Height	7.40"
Width	9.50"
Projection	3.70"
Product Weight	4.70 lbs
Vertical Mounting Height	5.00"
Packed Weight	9.00 lbs
Shipping (DIM) Weight	17.00 lbs

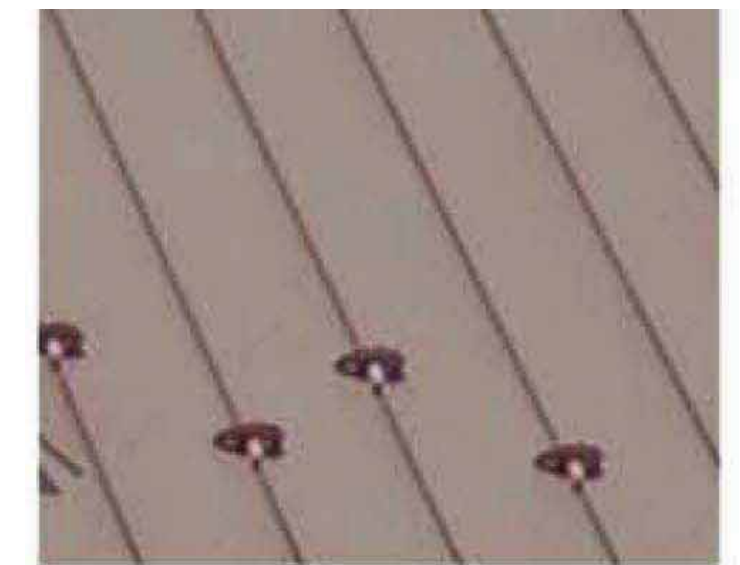
**LED Lamping Dedicated**  
LED: 15 watt  
CCT: 3000K  
CRI: 90  
Input: 120 - 277V 50/60Hz  
Dimming: ELV, 0-10  
Delivered Lumens: 500  
LED Source Lumens: 975  
IES Files Available: N

**Location Rating**  
Outdoor Wet  
UL, CUL listed

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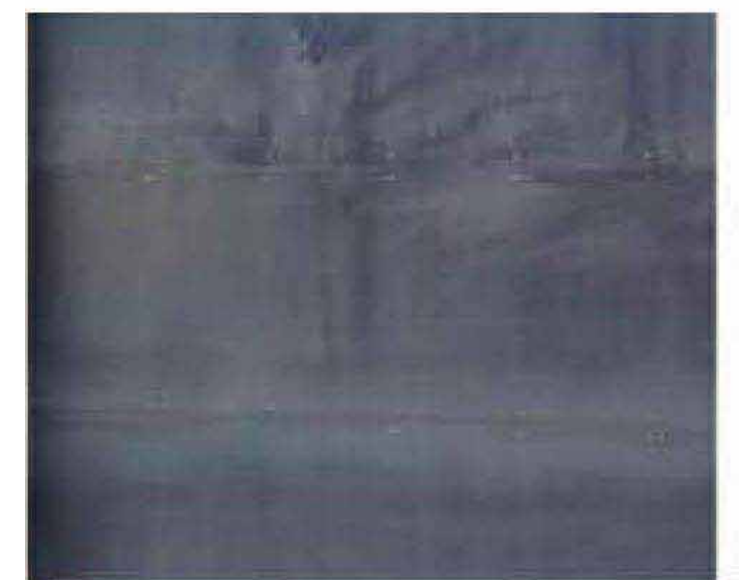
HORIZONTAL WOOD SIDING, STAINED



BONDERIZED STANDING SEAM METAL ROOF



1X8 VERTICAL CEDAR SIDING, STAINED

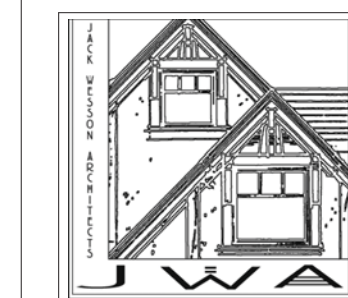


OIL RUBBED METAL PANELS, SEE ELEVATION FOR PATTERN



STONE VENEER

**NOT FOR CONSTRUCTION**



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10-18-22	DRB SET	
10-5-22	DRB SET	
4-14-22	WINDOW/DOOR SCHEDULES	
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9-23-2021	MARKING STUDY	
7-1-2021	LAYOUT	
MARK	REV DATE	DESCRIPTION
PROJECT NAME	BC107	MOUNTAIN VILLAGE
PROJECT MANAGER	COLORADO 81435	
DRAWN BY		
REVIEWED BY		
DATE		

PROJECT NAME: BC107  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION:  
MATERIAL SAMPLES  
AND LIGHTING CUT  
SHEETS

SHEET NUMBER:  
**A810**





**TO:** Mountain Village Design Review Board

**FROM:** Design Workshop on behalf of the Town of Mountain Village

**FOR:** Design Review Board Public Hearing; November 3, 2022

**DATE:** November 3, 2022

**RE:** Staff Memo – Initial Architecture and Site Review (IASR) Lot 508, pursuant to CDC Section 17.4.11

**APPLICATION OVERVIEW: New Single-Family Home on Lot 508**

**PROJECT GEOGRAPHY**

**Legal Description:** LOT 508 TELLURIDE MOUNTAIN VILLAGE, ACCORDING TO FILING 2 SINGLE FAMILY PLAT BOOK 1 AT PAGE 702, COUNTY OF SAN MIGUEL, STATE OF COLORADO

**Address:** 125 RUSSEL DRIVE, MOUNTAIN VILLAGE, CO 81435

**Applicant/Agent:** Jack Wesson, Jack Wesson Architects, Inc.

**Owner:** Isa Re Holdings, LLC

**Zoning:** Single-Family

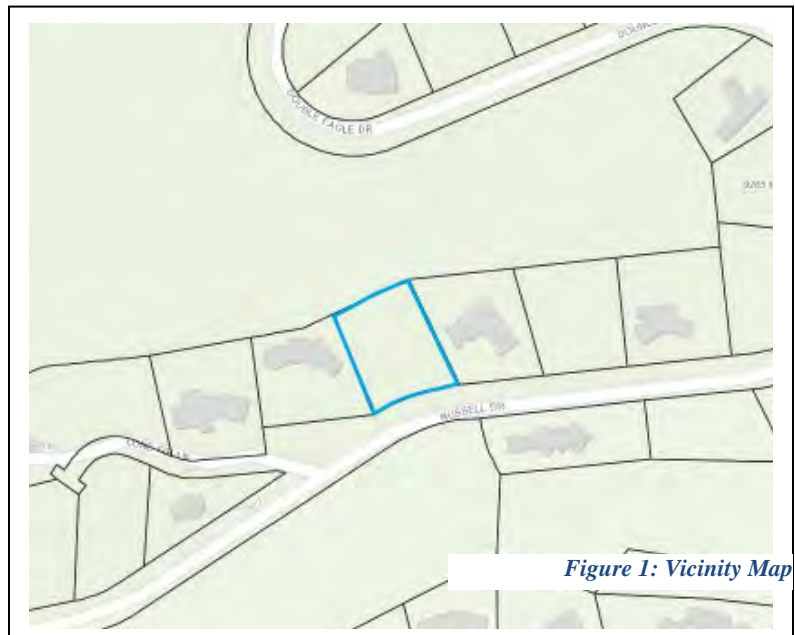
**Existing Use:** Vacant

**Proposed Use:** Single-Family

**Lot Size:** .61

**Adjacent Land Uses:**

- **North:** Vacant
- **East:** Single-Family
- **West:** Single-Family
- **South:** Vacant



*Figure 1: Vicinity Map*

**ATTACHMENTS**

Exhibit A: Architectural Plan Set  
Exhibit B: Staff/Public Comments



**Case Summary:** Jack Wesson of Jack Wesson Architects, Inc. is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home on Lot 508.

The proposed structure is two stories and utilizes a gable roof form. The lot has mildly steep topography that inclines from the northwest to the southeast. The property is proposed to face the southeast corner of the lot. The lot is approximately .61 acres and is zoned single-family. The overall square footage of the home is approximately 3,960 livable square feet and provides two interior parking spaces within the proposed garage and two exterior parking spaces.

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by Italicized Text.***

*Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)*

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
<b>Maximum Building Height</b>	40' (gable) Maximum	32'-7 ¾"
<b>Avg. Building Height</b>	35' (gable) Maximum	21'-3 ½"
<b>Maximum Lot Coverage</b>	40% (27,369 sq ft)	14.5% (3,960 sq ft)
<b>General Easement Setbacks</b>	No encroachment	No encroachment
<b>Roof Pitch</b>		
Primary		8:12
Secondary		8:12
<b>Exterior Material</b>		
Stone Veneer	35% minimum	35.05%
Wood Siding	n/a	41.17%
Windows/Door Glazing	40% maximum	16.53%
Metal Siding	n/a	7.25%
<b>Parking</b>	2 interior/2 exterior	2 interior/ 2 exterior

## **Chapter 17.3: ZONING AND LAND USE REGULATIONS**

### **17.3.11 and 17.3.12: Building Height and Building Height Limits**

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates two gabled roof forms. Homes with a primary gabled roof form are allowed a maximum building height of 40 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

*Staff: Staff has determined that the primary roof form for this home is a gable and therefore granted a maximum height of 40' and an average height of 35'. The applicant has calculated a maximum height of 32' 7 ¾" and an average height of 21'-3 ½". The applicant is meeting both requirements. Figures 2-5 below display the elevations of the structure in relation to the height calculations.*





Figure 2: South Elevation - Height



Figure 3: East Elevation- Height



Figure 4: North Elevation - Height



Figure 5: West Elevation - Height

### 17.3.14: General Easement Setbacks

Lot 508 has a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as driveways, ski access, natural landscaping, utilities, address monuments, and fire mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

*Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:*

- *Driveway: The Driveway and associated retaining wall as shown currently takes access from Russel Drive and crosses the General Easement to the homesite.*
- *Utilities: Utilities are proposed to be located on Russel Drive and will cross the southern GE to the lot. An existing gas line connects to the Telluride Ski & Golf Club's vacant property to the north and crosses the GE. This will also require an agreement.*

*Regardless of the encroachment, any development within the General Easement or road right of way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.*

## Chapter 17.5: DESIGN REGULATIONS

### 17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

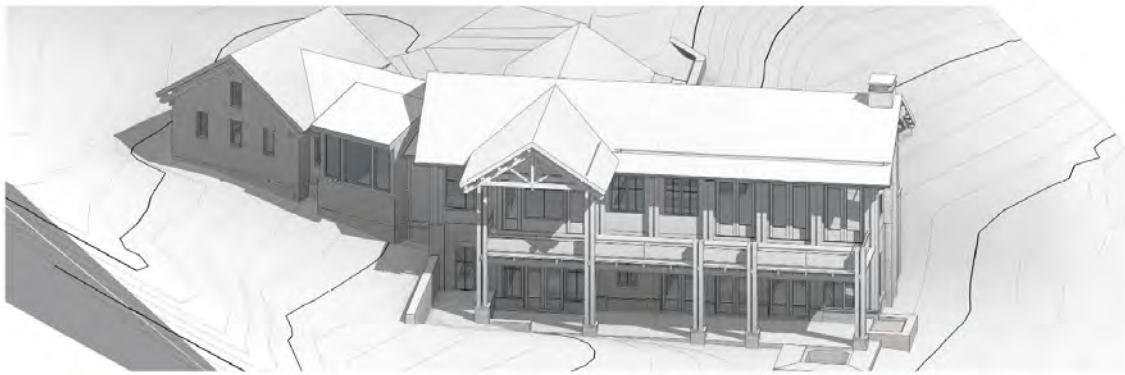


*Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The materials chosen are a combination of stone, wood, and metal, which should create an exterior capable of withstanding the high alpine environment. Overall, it appears that the design is visually appealing and would fit within the existing Mountain Village Design Theme.*

#### **17.5.5: Building Siting Design**

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

*Staff: The site has mild topography changes that increase in slope from the northwest to the southeast. The home is oriented to face the southwest. The development proposes the ground floor to consistently be situated at the at grade elevation of the site, which requires a 2:1 cut slope technique and boulder wall on the northern elevation. The second story of the home and garage is situated at grade on the east. A 2:1 fill slope and boulder wall are proposed on the western side of the proposed home. The development does not propose grading, clearing, direct drainage, direct access, or other direct impact onto the adjoining properties. The applicant's Snow Melt Plan shown in Diagram A105 demonstrates that the driveway, deck, patio and steps are proposed to be heated. No other areas of snow melt are shown on the plans. The applicant has demonstrated that this site adheres to the goals outlined in section 17.5.5 of the CDC.*



*Figure 6: Bird's Eye View of property from south*

#### **17.5.6: Building Design**

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. Roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation is required. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

*Staff: Staff comments regarding each of the relevant subsections are below.*

#### *Building Form:*



The form of the proposed residential structure follows an alpine mountain design that is well grounded to withstand the extreme natural forces of wind, snow, and heavy rain. It is made of materials such as stone, barnwood with douglas fir wood columns, and metal that evoke this form.



Figure 7: South Elevation

Exterior Wall Form:

The proposed development has exterior walls that are simple in design and portray a massing that is substantially grounded to the site. This is reinforced through the use of stone materials as the base.

Roof Form:

The gable roof is made of rusted standing seam metal and the design provides a roof plane that is broken up into two parts. The garage is oriented at an angle, providing variation to the roof form and massing. The proposed structure follows the design elements outlined in the CDC.



Figure 8: East Elevation

Chimneys, Vent and Rooftop Equipment Design:

The applicant has identified a wood burning fireplace. The installation of a spark arrester and demonstration of necessary wood burning permits is required and is a condition for final review. The proposed equipment meets the requirements of the CDC.

Exterior Walls Materials and Color:

The building utilizes Telluride gray stone veneer at the base of the home and at the garage, with vertical barnwood siding and douglas fir wood columns on the second story. Stone walls account for 35.05 percent of exterior materials, which meets the minimum 35 percent stone requirement. The applicant has identified that the fascia will be wood. The applicant has not identified a material for the soffit. If metal is used, the proposal will be subject to specific approvals from the DRB outlined in section 17.5.6.C.3.h.ii.



Glazing:

The maximum window area of the building, including window and door glazing, is 16.53 percent of the total building façade. Cladding on the windows and doors is bronze metal.

Doors and Entryways:

Exhibit A Sheet A601 shows the window schedule. The garage door detail is shown on Sheet A602. The applicant has not provided a door schedule.

Decks and Balconies:

The proposed balconies enhance the overall architecture of the building by creating variety and detail on the exterior elevations as outlined in the CDC.

Required Surveys and Inspections:

A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

**17.5.7: Grading and Drainage Design**

Staff: The applicant is proposing a change to grading and the use of two boulder retaining walls on the lot. The proposed grading shows that the contours are offsetting to the proposed structure rather than mimicking the natural topography of the current landscape. These walls are shown on the Civil Plans (Sheet C2). The wall along the southern elevation measures 3 feet to 3.5 feet, while the wall along the northern section elevation measures between 4 feet and 5.5 feet. Retaining walls that are not directly adjacent to the driveway have no maximum height, but generally should be visually buffered. Figure 9 illustrates the grading and retaining wall design.

Public Works: No comments.

**17.5.8: Parking Regulations**

Staff: The applicant has shown two interior and two exterior parking spaces on their plan, per CDC requirements.

**17.5.9: Landscaping Regulations**

Staff: The applicant proposes retaining existing trees on the periphery of the property. The applicant has indicated that silt and construction fencing will be provided around the periphery of the General Easement. The applicant has identified the required protection fencing installed at the dripline of each tree per CDC requirements.

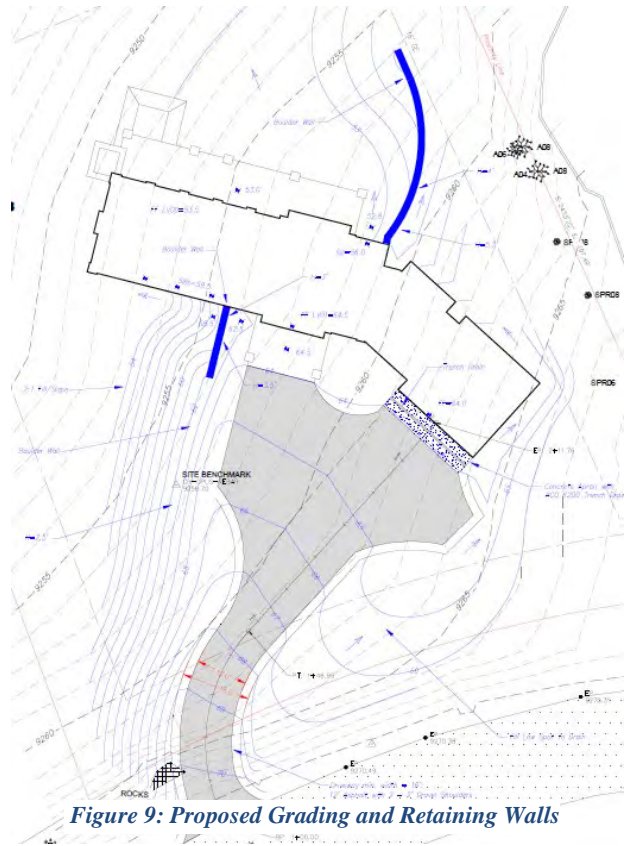


Figure 9: Proposed Grading and Retaining Walls



The applicant is proposing the addition of 7 (seven) evergreen trees, 30 potentilla, 26 aspen, and 22 dogwood shrubs. Forty percent of trees within the project must be of a diversity of species and those not typically found in landscaping in the Town, such as lodgepole pine, limber pine, white bark pine, ponderosa pine, bristlecone pine and pinyon pine. With only 21 percent of the proposed vegetation being evergreen, the applicant is not meeting the landscape diversity requirement of this section. The final review application will be required to provide species diversity to meet the requirement of this section.

*Town Forrester Comments: Every tree to be planted needs to represent at least two separate genus (Picea, Abies, Pinus, Juniperus, Thuja, Pseudotsuga) and one of the genus classes should, ideally, be represented by two separate species (example, Pinus = limber pine and white bark pine). The landscaping plan should also show greater diversity in shrub species.*

#### **17.5.11: Utilities**

*Staff: The applicant has proposed gas lines utilities to be located on Russel Drive and will cross the southern GE to the lot. An existing gas line connects to the Telluride Ski & Golf Club's vacant property to the north and crosses the GE.*

*Public Works Comments: The applicant will need to field verify the utilities.*

#### **17.5.12: Lighting Regulations**

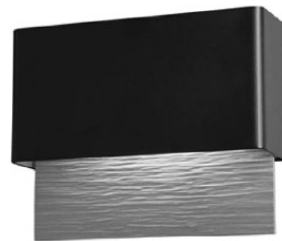
*Staff: Materials samples were provided for outdoor lighting, including rope lights, step lights, and outdoor sconces. The step lights and sconces are LED and all three light sources meet the 850 lumen limit and will be on a dimmer management system.*



*Figure 10: Rope light*



*Figure 11: Step light*



*Figure 12: Outdoor sconce*



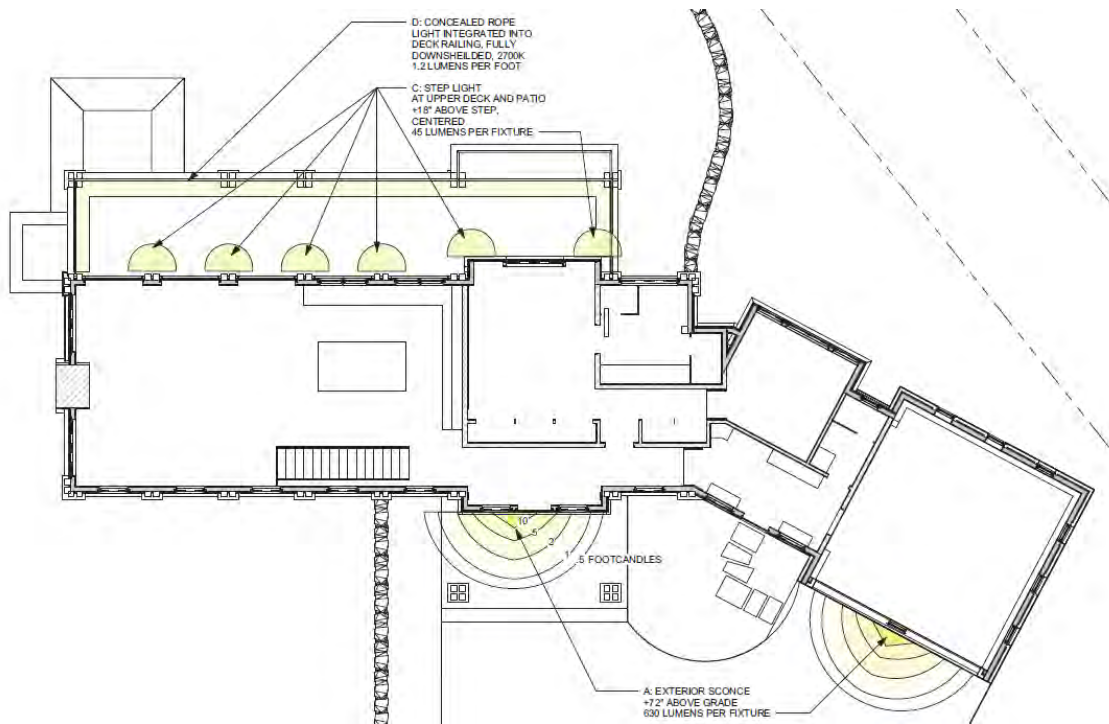


Figure 13: Exterior Lighting Plan – Main Level

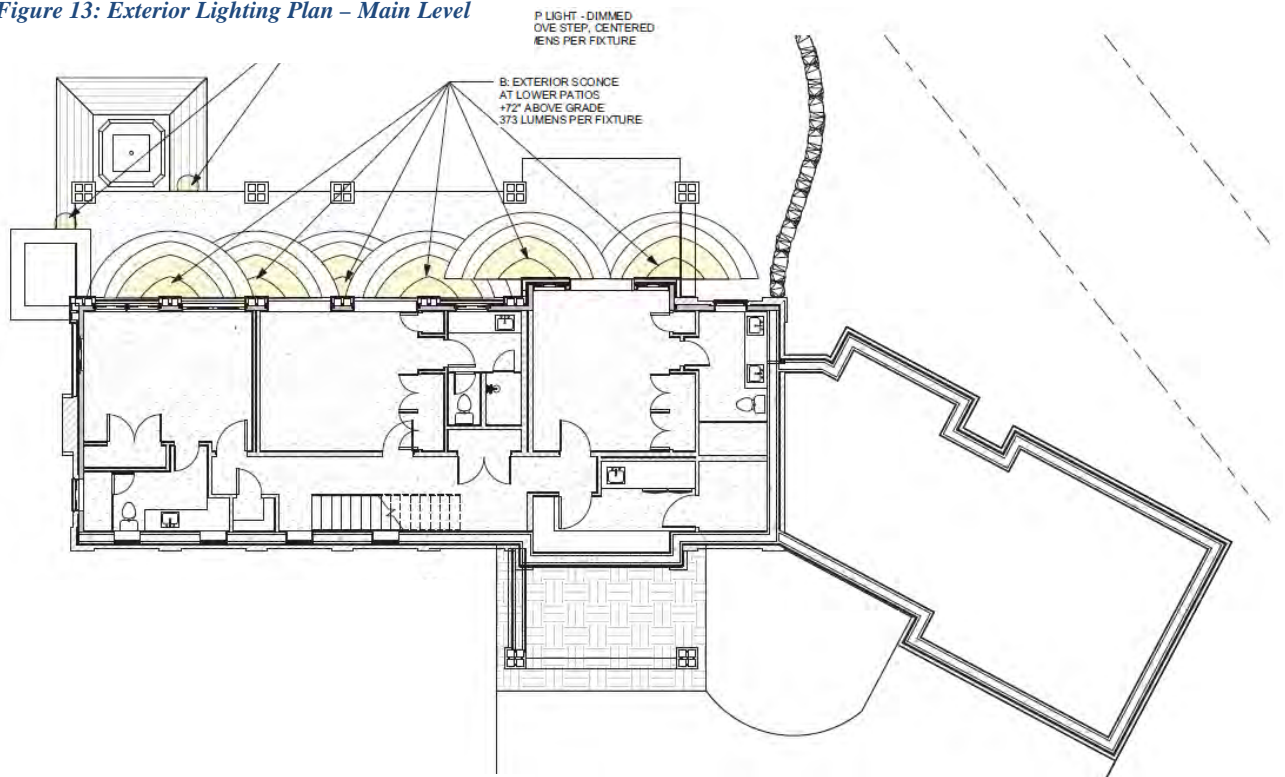


Figure 14: Exterior Lighting Plan – Lower Level

### 17.5.13: Sign Regulations

Staff: An address monument is proposed within the General Easement. This is proposed to be steel with 6" tall reflective paint numbers that are placed on a shielded L.E.D. light strip.



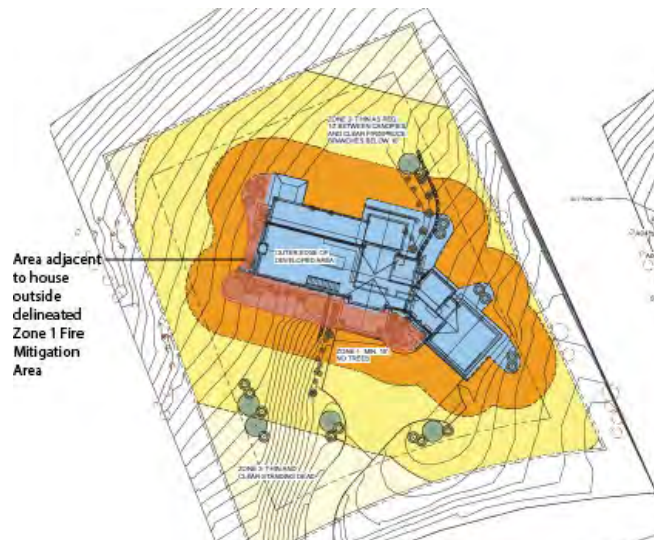
*Fire District Comment: The address monument shall be a minimum of 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated, or outlined with a reflective coating.*

*Any development within the General Easement will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.*

## **Chapter 17.6: SUPPLEMENTARY REGULATIONS**

### **17.6.1: Environmental Regulations**

*Staff: The applicant has included the 15' Zone 1 Fire Mitigation area. Evergreen and aspen trees are proposed to be planted on the outer edge of the dripline of the property, which is within the dripline of the property. The applicant has not indicated the edge of dripline on Sheet A101. The applicant should revise the Fire Mitigation plan to indicate driplines or revise the delineation of Zone 1 to 15 feet around the perimeter of the home.*



*Figure 15: Fire Mitigation Plan*

*In Zone 2, the applicant is proposing aspen and evergreen trees and has indicated that Zone 2 requires a 10' crown-to-crown separation. Per section 17.6.1A-3d of the CDC, all trees within zone 2 must have all branches pruned to a height of 10'. It is the responsibility of the lot owner to maintain these regulations required by the wildfire mitigation plan of section 17.6.1A3.*

*Telluride Fire Protection District: TFPD approves the proposal with conditions that the structure shall install a monitored NFPA 13D sprinkler and NFPA 72 fire alarm system.*

### **17.6.6: Roads and Driveway Standards**

*Staff: The proposed driveway meets the minimum width requirements required per section 17.6.6B-2a of the CDC at a width of 12' - 16' with 2' gravel shoulders. A concrete apron and trench is indicated to be located between the driveway and garage. The driveway grade is within the maximum allowed grade of eight percent.*

*Fire District Comments: The width of the driveway shall meet the code of 16 feet total width. 12 feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.*

### **17.6.8: Solid Fuel Burning Device Regulations**

*Staff: The applicant has indicated that the proposed home includes a solid fuel burning fireplace. A solid fuel burning permit must be provided to the Town per section 17.6.8A of the CDC. The installation of a spark arrester is also required.*

## **Chapter 17.7: BUILDING REGULATIONS**

### **17.7.20: Construction Mitigation**



*Staff: The construction mitigation plan shows the required dumpster, bear-proof food waste and recycling bins, and a port-a-toilet. The plan does not show an area for material storage. The parking plan indicates five spots on the site. However, all of these are located in the current driveway, which is an area that won't be available for use until initial stages of construction are complete. The applicant will likely still need to work with the Town for roadside parking permits until the driveway is created. It is possible that until the driveway is created that at least some workers will need to be shuttled to the site from elsewhere.*

*Appropriate silt protection and wattles are shown to handle stormwater runoff. The applicant has identified the area of construction staging and revegetation. No crane is indicated on the CMP, if it is determined that one is required, the applicant shall work with Town staff to make sure the crane swing doesn't impede the roadway.*

*Public Works: No comments.*

**Staff Recommendation:** Staff recommends approval of the initial architectural review with conditions.

**Staff Note:** *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

**Proposed Motion:**

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

*I move to approve the Initial Architecture and Site Review for a new single-family home located at Lot 508, based on the evidence provided in the staff record of memo dated November 3, 2022, and the findings of this meeting with the following Conditions:*

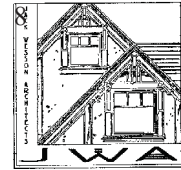
- 1) Prior to building permit, the applicant shall work with Public Works to field verify all utilities.*
- 2) Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE and the road right of way.*
- 3) Prior to final review, the applicant shall provide a door schedule that details materials.*
- 4) Prior to final review, the applicant shall identify materials used for the soffit.*
- 5) Prior to final review, the applicant shall provide an updated landscape and fire mitigation plans showing compliance with the Zone 1 Fire Mitigation standards.*
- 6) Prior to final review, the applicant shall identify a designated space for material storage prior to final review.*
- 7) Prior to final review, the applicant will provide a solid fuel burning permit to the Town.*
- 8) Prior to final review, the applicant shall demonstrate that the northern retaining wall is visually buffered.*
- 9) Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the right of way.*
- 10) The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.*
- 11) A Knox Box for emergency access is recommended.*
- 12) Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be*



*constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*

- 13) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*
- 14) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
  - b. Wood that is stained in the approved color(s);*
  - c. Any approved metal exterior material;*
  - d. Roofing material(s); and*
  - e. Any other approved exterior materials**
- 15) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*





## NARRATIVE

5.10.22

To: Amy Ward, Town of Mountain Village Planner  
Community Development Department  
Design Review Board  
Mountain Village, CO

From: Jack Wesson  
Jack Wesson Architects, Inc.  
109 E. Colorado Ave. #2, Telluride CO  
P.O. Box 2051  
Telluride, CO 81435  
(970) 519.1551  
jwesson@me.com.com

Re: Preliminary Design Review Submission Narrative  
for a Single Family Residence  
Lot 508, Trails Edge, Mountain Village

This single family residence is proposed to be built on lot 508 (lot size 27,369 sf). The interior gross heated area is approximately 3,290 s.f., 56 s.f. of mechanical and 484 s.f. of gross garage area. The design esthetic is a rustic, mining vernacular in material and massing components as required by the Mountain Village Design Review regulations. The exterior materials incorporate stained wood siding and timbers, stone and mill-scale steel finish railings and rusted metal roofing. Roof forms are traditional gable forms at an 8:12 pitch. The project is compliant with the Mountain Village Land Use Ordinance; the massing is within the maximum height limit (21'-3 1/2" ave. and 32'-7 3/4" max.) and the site coverage (3960 sf) is only 14.5%. There is one wood burning fireplace.

### Exterior Material Requirements:

stone veneer	35.05% (exceeds 35%)
fenestration	16.53%
wood	41.17%
metal accent	7.25%

### Land Use Ordinance Compliance:

Lot Area:	approximately 27,369 sf
Site Coverage:	3,960 s.f. or 14.5%
Floor Area Living:	3,290 s.f. plus 56 s.f. mechanical
Floor Area Garage	484 s.f.
Ave. Ht.	21'-3 1/2" (30' max. ave. allowed)
Max. Ht.	32'-7 3/4" (40' max. allowed)

Sincerely,

Jack Wesson



BUILDING SUMMARY	
SITE PERMIT NUMBER:	-
BUILDING PERMIT NUMBER:	-
PROJECT ADDRESS:	TBD- RUSSELL DRIVE
BLOCK:	-
LOT:	LOT 508
LOT AREA:	27,369 SQ. FT.
ZONING DISTRICT:	SINGLE FAMILY
PROPOSED USE:	RESIDENTIAL
NUMBER OF STORIES:	1
NUMBER OF SUB-LEVELS:	1

### ABBREVIATIONS & SYMBOLS

WALL, BUILDING OR MISCELLANEOUS SECTION NO. DRAWING NO.	
INTERIOR ELEVATION NO. SHEET NO.	
ROOM NAME ROOM NO.	
DOOR NO.	
ELEVATION WINDOW NO.	
FRAME WALL	
BRICK/STONE VENEER	
SPOT ELEVATION	
ROOF SLOPE	

A.B.	AS BUILT / ANCHOR BOLT	MAX.	MAXIMUM
A.C.T.	ACOUSTICAL CEILING TILE	MECH.	MECHANICAL
ADJ.	ADJUSTABLE	MFG.	MANUFACTURER
A.F.F.	ABOVE FINISH FLOOR	M.H.	MANHOLE
ALT.	ALTERNATE	MIN.	MINIMUM
ALUM.	ALUMINIUM	MISC.	MISCELLANEOUS
BD.	BOARD	M.L. / ML	MICRO-LAM
BLDG.	BUILDING	M.L.R./MB	MICRO-LAM BEAM.
BOT.	BOTTOM	N.I.C.	NOT IN CONTRACT
BYND.	BEYOND	NO.	NUMBER
C.A.T.V.	CABLE TELEVISION LINE	N.T.S.	NOT TO SCALE
C.J.	CONTROL JOINT	O.C.	ON CENTER
C.M.U.	CONCRETE MASONRY UNIT	O.P.	OUTSIDE DIAMETER
COL.	COLUMN	OPNG.	OPENING
CONC.	CONCRETE	OPP.	OPPOSITE
CONT.	CONTINUOUS	PERF.	PERFORATED
CTR.	CENTER	P.L.	PROPERTY LINE
DET.	DETAIL	P.LAM.	PLASTIC LAMINATE
DIAG.	DIAGONAL ELECTRIC LINE	POL.	POLISHED
EA.	EACH	PR.	PAIR
E.J.	EXPANSION JOINT	PTD.	PAINTED
EQ.	EQUAL	REQD.	REQUIRED
EXP. JT.	EXPANSION JOINT	RM.	ROOM
EXT.	EXTERIOR	R.O.	ROUGH OPENING
FIN.FL/F.F.	FINISHED FLOOR	SCHED.	SCHEDULE
FIN. GR.	FINISH GRADE FLOOR	SHT.	SHEET
F.S.P.	FIRE STAND PIPE	SIM.	SIMILAR
F.V.	FIELD VERIFY	SPEC.	SPECIFICATION
GA.	GAUGE	SQ. FT.	SQUARE FEET
GALV.	GALVANIZED	SQ. IN.	SQUARE INCHES
GBX.	GYPSTUM BOARD TYPEX	STD.	STANDARD
GL.	GLASS	STL.	STEEL
GB.	GYPSTUM WALL BOARD	TC.	TOP OF CURB.
H.C.	HOLLOW CORE	T & G.	TONGUE & GROOVE
H.M.	HOLLOW METAL	T.O.C.	TOP OF CONCRETE
HORIZ.	HORIZONTAL	T.O.S.	TOP OF SLAB
HVAC.	HEATING VENTILATION	TYP.	TYPICAL
I.D.	INSIDE DIAMETER	T.	TELEPHONE LINE
IN.	INCH / INCHES	U.B.C.	UNIFORM BUILDING CODE
INSUL.	INSULATION	U.N.O.	UNLESS NOTED OTHERWISE
JT.	JOINT	VERT.	VERTICAL
LAM.	LAMINATED	V.I.F.	VERIFY IN FIELD
LAV.	LAVATORY	WD.	WOOD

CODE SUMMARY	
BUILDING CODE:	INTERNATIONAL RESIDENTIAL CODE (2012) INTERNATIONAL ELECTRICAL CODE (2012) INTERNATIONAL FIRE CODE (2012) INTERNATIONAL MECHANICAL CODE (2012) INTERNATIONAL PLUMBING CODE (2012)
ENERGY CODE:	NATIONAL ENERGY CODE (2017)
TYPE OF CONSTRUCTION:	TYPE 5-B
OCCUPANCY:	R-3
BUILDING AREA:	3,290 SF LIVING 3,830 TOTAL ***FIRE SPRINKLERS REQUIRED***
	130 LB GROUND SNOW LOAD, 90 MPH EXPOSURE C WIND, FROST DEPTH 48"

### GENERAL NOTES

GN01- CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, AND DRAWINGS WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

GN02- MATERIALS AND ASSEMBLIES:  
ALL WORK SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, O.S.H.A. REQUIREMENTS, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUB-CONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP.

GN03- CONTRACTOR TO REVIEW GEO-TECHNICAL REPORT FOR BUILDING SYSTEM RECOMMENDATIONS. SHOULD UNEXPECTED SITE CONDITIONS ARISE DURING EXCAVATION, THE ARCHITECT AND GEO-TECHNICAL ENGINEER SHALL BE NOTIFIED FOR A SITE EVALUATION OF EXISTING CONDITIONS.

GN04- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH THE FLOORS, CEILING AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS.

GN05- ALL REQUIRED WORK SHALL BE PERFORMED BY THE CONTRACTOR UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE "CONTRACTOR" INCLUDE GENERAL CONTRACTOR AND HIS/HER SUBCONTRACTORS. THEY SHALL BE ONE AND THE SAME.

GN06- THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE BUILDING PERMITS, ALL NECESSARY INSPECTIONS AND THE CERTIFICATE OF OCCUPANCY.

GN07- THE CONTRACTOR SHALL COMPILE AND SUBMIT AS REQUIRED TO MANUFACTURERS AND OWNER ALL MATERIAL, FIXTURE AND APPLIANCE WARRANTIES.

GN08- THE JOBSITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY MANNER, FREE OF TRASH AND CONSTRUCTION DEBRIS. THE CONTRACTOR SHALL PROVIDE FOR RECYCLING AT THE JOB SITE.

GN09- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL MATERIALS BEING DELIVERED TO THE PROJECT AND THE PROTECTION OF NEIGHBORING PROPERTIES.

GN10- THE CONTRACTOR SHALL COORDINATE WITH ALL EQUIPMENT MANUFACTURERS FOR EQUIPMENT ROUGH-IN REQUIREMENTS.

GN11- THE CONTRACTOR SHALL VERIFY REQUIRED LOCATIONS OF ALL NECESSARY ACCESS PANELS IN ALL PARTITIONS, FLOORS, CEILING, AND WALLS AND COORDINATE EXACT LOCATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION. ALL ACCESS PANELS SHALL BE INSTALLED FLUSH TO SURFACE WITH NO TRIM.

GN12- FOR THIS PROJECT, DATUM 100.00' IS SET AT FINISH FLOOR, MAIN LEVEL OF THE UNIT.

GN13- DATUM ELEVATIONS ARE GIVEN TO TOP OF FINISH FLOOR. ALL OTHER FINISH MATERIALS ARE ADDED TO THESE GIVEN ELEVATIONS UNLESS OTHERWISE NOTED.

GN14- DO NOT OBTAIN DIMENSIONS BY SCALING DRAWINGS - USE WRITTEN DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE PROJECT ARCHITECT BEFORE THE COMMENCEMENT OF WORK.

GN15- UNLESS OTHERWISE NOTED, DIMENSIONS ARE TAKEN TO THE FOLLOWING IN ORDER OF PRIORITY:

- GRID LINES
- FLOOR LINES
- WORK POINTS
- STRUCTURAL STEEL
- FACE OF STUD
- FACE OF CONCRETE
- FACE OF FINISH

GN16- UNLESS OTHERWISE NOTED, DIMENSIONS ARE ASSUMED TO BE:

- PLUMB
- LEVEL
- SQUARE
- PARALLEL
- TO ESTABLISHED AXES OR BASELINES AS ESTABLISHED BY DIMENSIONAL OR ANGULAR NOTATIONS

GN17- ALL GLASS MUST CONFORM TO CODE REQUIREMENTS FOR SAFETY GLAZING.

GN18- MATERIALS, WHERE REQUIRED, ARE TO HAVE AN UL LABEL IN AN INCONSPICUOUS BUT VISIBLE LOCATION.

GN19- SIZES, DIMENSIONS, LOCATIONS, AND DETAILS OF PLANTERS, TREE GATES, CONCRETE FINISH, TILE PATTERNS, GRADING, SITE LIGHTING, ETC., ASSOCIATED WITH LANDSCAPE ARE SHOWN ON LANDSCAPE DRAWINGS.

GN20- SIZES, DIMENSIONS, LOCATIONS AND DETAILS OF UTILITY LINES, AGGREGATE BASES, SPOT ELEVATIONS ETC., ASSOCIATED WITH CIVIL ARE SHOWN ON THE CIVIL DRAWINGS.

GN21- SIZES, DIMENSIONS, LOCATIONS AND DETAILS OF STRUCTURAL MEMBERS, BEAMS, SLABS, WALLS, OPENINGS, ETC., ARE SHOWN ON STRUCTURAL DRAWINGS.

GN22- SIZES, DIMENSIONS, LOCATIONS AND DETAIL OF REGISTERS, DUCTS, EQUIPMENT, WALL OPENINGS, LOUVERS, ACCESS HATCHES, EQUIPMENT CURBS, VENTS, ETC., ASSOCIATED WITH HEATING VENTILATING AND AIR CONDITIONING ARE CONTAINED ON THE MECHANICAL DRAWINGS. COORDINATE LOCATION OF REGISTERS WITH ARCHITECTURAL REFLECTED CEILING PLAN.

### PROJECT AXONOMETRIC

SITE PLAN GENERAL NOTES

SPGN01- CONTRACTOR TO CONFIRM ALL UTILITY LOCATIONS WITH EACH UTILITY AGENCY PRIOR TO EXCAVATION.

SPGN02- CONTRACTOR TO VERIFY ALL FLOOR ELEVATIONS PRIOR TO EXCAVATION.

SPGN03- CONTRACTOR TO PROTECT ALL TREES ON PROPERTY & ADJACENT PROPERTIES THAT EXTEND OVER PROPERTY LINE.

SPGN04- THE PROJECT SHALL COMPLY WITH THE TOWNS FIRE MITIGATION STANDARDS

SPGN05- THE PROJECT SHALL COMPLY WITH THE ADOPTED TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE ENERGY CODE AND GREEN BUILDING STANDARDS.

DRB notes:

- Areas disturbed within the General Easement utilized during construction shall be returned to the pre-disturbed condition before the project's issuance of a certificate of occupancy.
- Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- Prior to issuance of a CO, the property owner will enter into a Road Right of Way and General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the road right of way and general easement encroachments approved.
- A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height (consistent with CDC Section 17.3.12.C.)
- A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - Stone: setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4')
  - Wood that is stained in the approved color(s)
  - Any approved metal exterior material
  - Roofing material(s)
  - Any other approved exterior materials

-All areas of glazing to be specified as non-reflective material.

DRAWING INDEX	
<b>ARCHITECTURAL</b>	<b>CIVIL</b>
A000 PROJECT DATA, DRAWING INDEX, PROJECT DIRECTORY SURVEY	C1 NOTES
A100 SITE PLAN	C2 GRADING PLAN AND DRIVEWAY PROFILE
A101 CONSTRUCTION STAGING PLAN & FIRE MITIGATION PLAN	C3 UTILITIES
A103 LANDSCAPE & IRRIGATION PLANS	
A104 EXTERIOR LIGHTING PLAN	
A105 SNOW MELT PLAN	
A201 LOWER LEVEL FRAMING PLAN	
A202 ENTRY LEVEL FRAMING PLAN	
A204 ROOF FRAMING PLAN	
A205 AREA ANALYSIS	
A300 HEIGHT CALCS	
A300b HEIGHT CALCS- 40' SHELL	
A301 ELEVATIONS	
A302 ELEVATIONS	
A305 MATERIAL CALCS	
A601 WINDOW DETAILS	
A900 MATERIAL SAMPLE PHOTOS AND CUT SHEETS	

### PROJECT DIRECTORY

**OWNER/CONTRACTOR**

JACK WESSON ARCHITECTS, INC.  
PO BOX 457  
TELLURIDE, CO 81435  
T 970.728.9755  
jwesson@me.com  
adam.birck@gmail.com

**ARCHITECT**

JACK WESSON ARCHITECTS, INC.  
PO BOX 457  
TELLURIDE, CO 81435  
T 970.728.9755  
jwesson@me.com  
adam.birck@gmail.com

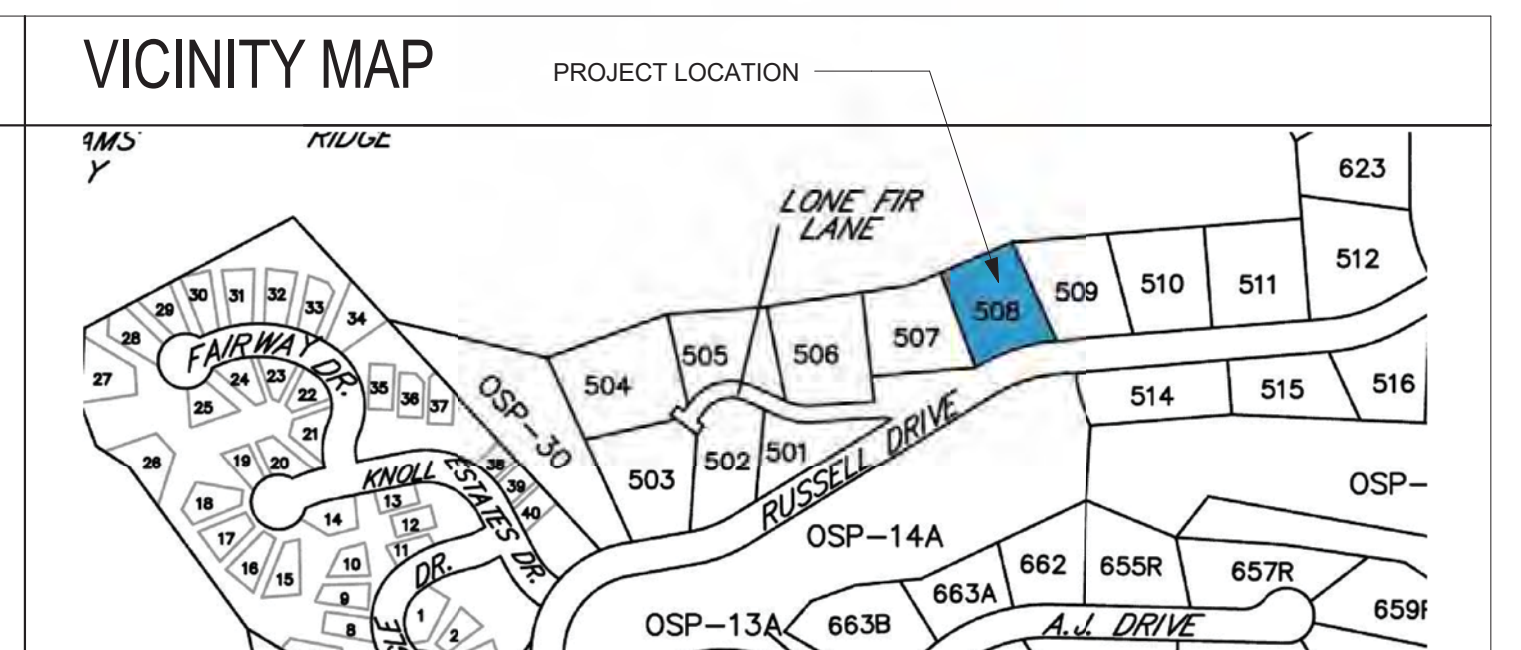
**STRUCTURAL ENGINEER**

**CIVIL ENGINEER**

DAVID BALLODE  
UNCOMPANHGRE ENGINEERING, LLC  
P.O. BOX 3945  
TELLURIDE, CO 81435  
T 970-729-0683  
dbalode@msn.com

**SURVEY INFORMATION**

ALL POINTS LAND SURVEY L.L.C.  
POX POX 754 OPHIR, COLORADO 81435  
(970) 708-9694



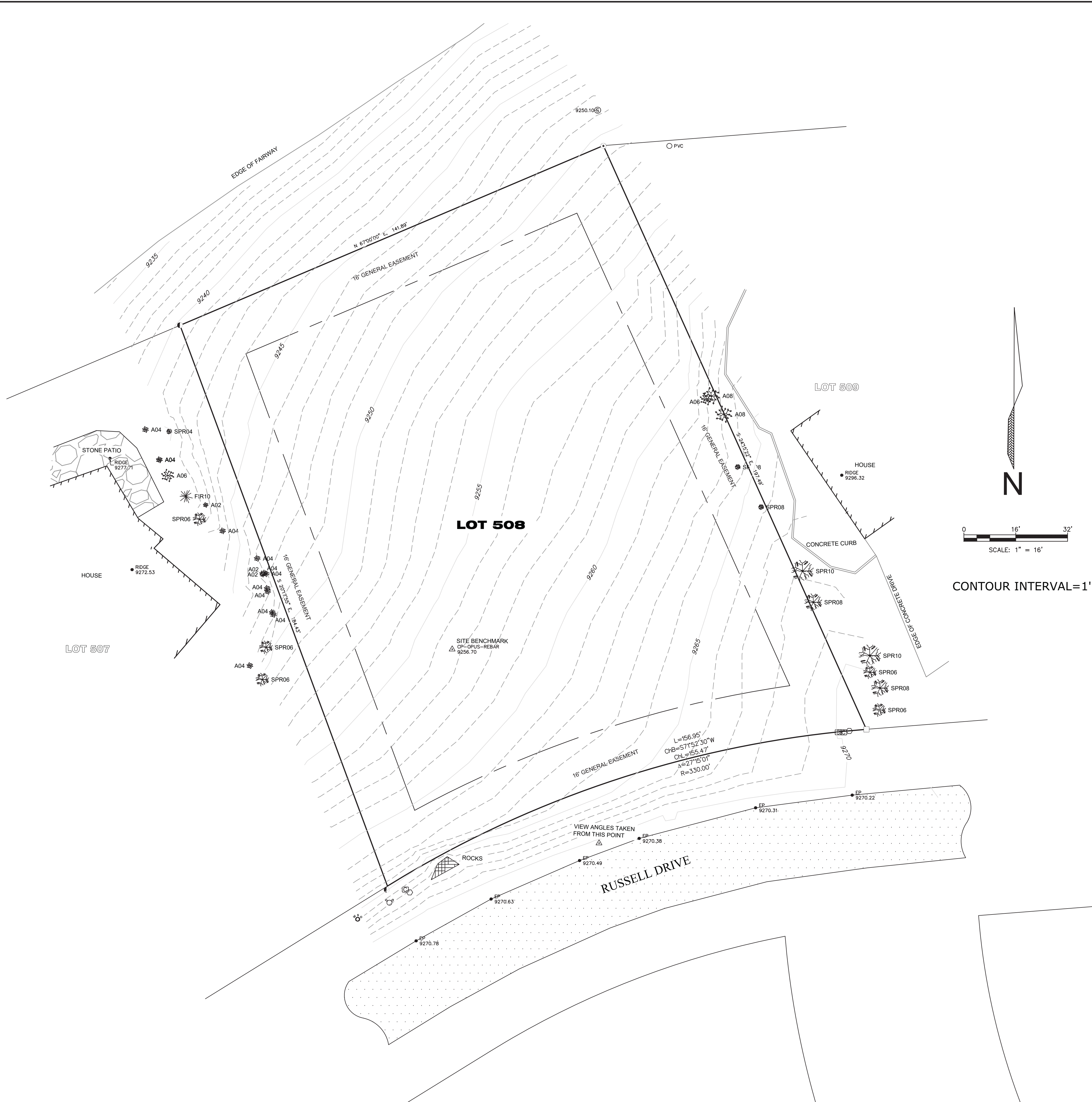
### NOT FOR CONSTRUCTION

		<b>JACK WESSON</b> ARCHITECTS INC. TELLURIDE, COLORADO 81435 TEL: 970-728-9755 FAX: 970-728-9754 jwesson@me.com www.jackwessonarchitects.com	
<p>5-11-2022 DRB SUBMISSION</p> <p>3-4-2022 PRELIM PICKUPS</p> <p>1-10-2022 1st SHEET</p> <p>1-3-2022 REDLINE PICKUPS</p> <p>12-31-2021 REDLINE PICKUPS</p> <p>11-3-2021 MATERIAL AREAS</p> <p>10-25-2021 MARKING</p> <p>7-1-2021 LAYOUT</p>		<p>PROJECT NAME: 508 MV MOUNTAIN VILLAGE COLORADO 81435</p> <p>SHEET DESCRIPTION: COVER SHEET</p> <p>SHEET NUMBER: A000</p>	
<p>MARK REV DATE DESCRIPTION</p>		<p>PROJECT NAME: 508 MV MOUNTAIN VILLAGE COLORADO 81435</p> <p>PROJECT MANAGER: J. WESSON</p> <p>DRAWN BY: J. WESSON</p> <p>REVIEWED BY: J. WESSON</p> <p>DATE: 5-11-2022</p>	







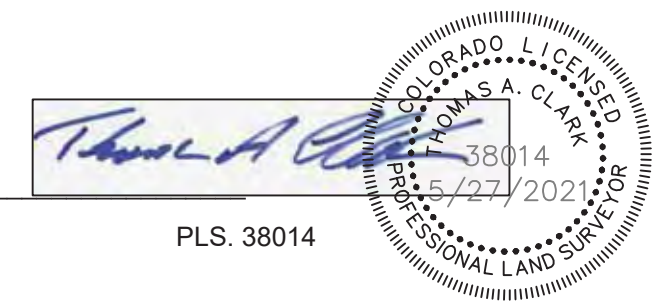


**PROPERTY DESCRIPTION:**

LOT 508, TELLURIDE MOUNTAIN VILLAGE, FILING 2, ACCORDING TO THE PLAT RECORDED MARCH 3, 1987 IN PLAT BOOK 1 AT PAGE 702, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

**SURVEYOR'S CERTIFICATE:**

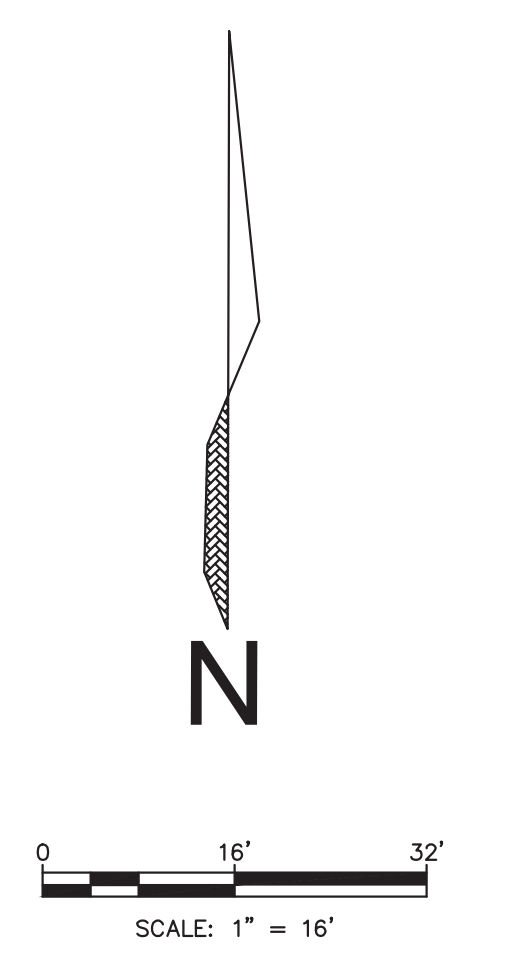
I, Thomas A. Clark, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Lot 508, Telluride Mountain Village was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.



Thomas A. Clark PLS. 38014

**NOTES:**

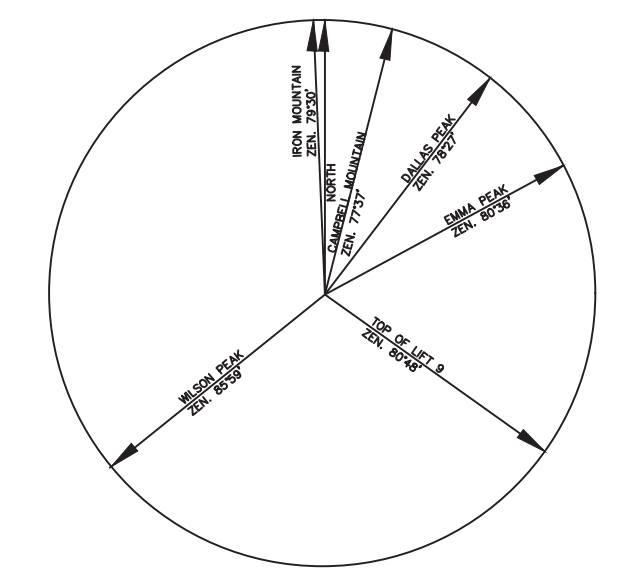
- Easement research and property description provided by LAND TITLE GUARANTEE COMPANY - TELLURIDE, Order Number TLR86009451-2 effective on 10/22/2019 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Map 008113C0300C Panel Number 0287 dated September 30, 1988 this parcel is within Zone X; Areas determined to be outside 500 year plain.
- Field work was performed in May 2021.
- Elevation datum for this survey are based on GPS observation and OPUS solution (NAVD 88) on benchmark "CP OPUS- REBAR" that elevation being 9256.70.
- This survey is valid only if a printed or electronic copy has a seal and signature of the surveyor noted within the statement above.
- This survey is prepared for the exclusive use of the party or parties indicated within the surveyor's statement. Said statement does not extend to any unnamed person or parties without an expressed statement by the surveyor naming said entities.
- NOTICE: According to Colorado law you must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.



CONTOUR INTERVAL=1'

**TREE CHART**

	SPRUCE TREE WITH TRUNK DIAMETER INDICATED IN INCHES
	ASPEN TREE WITH TRUNK DIAMETER INDICATED IN INCHES



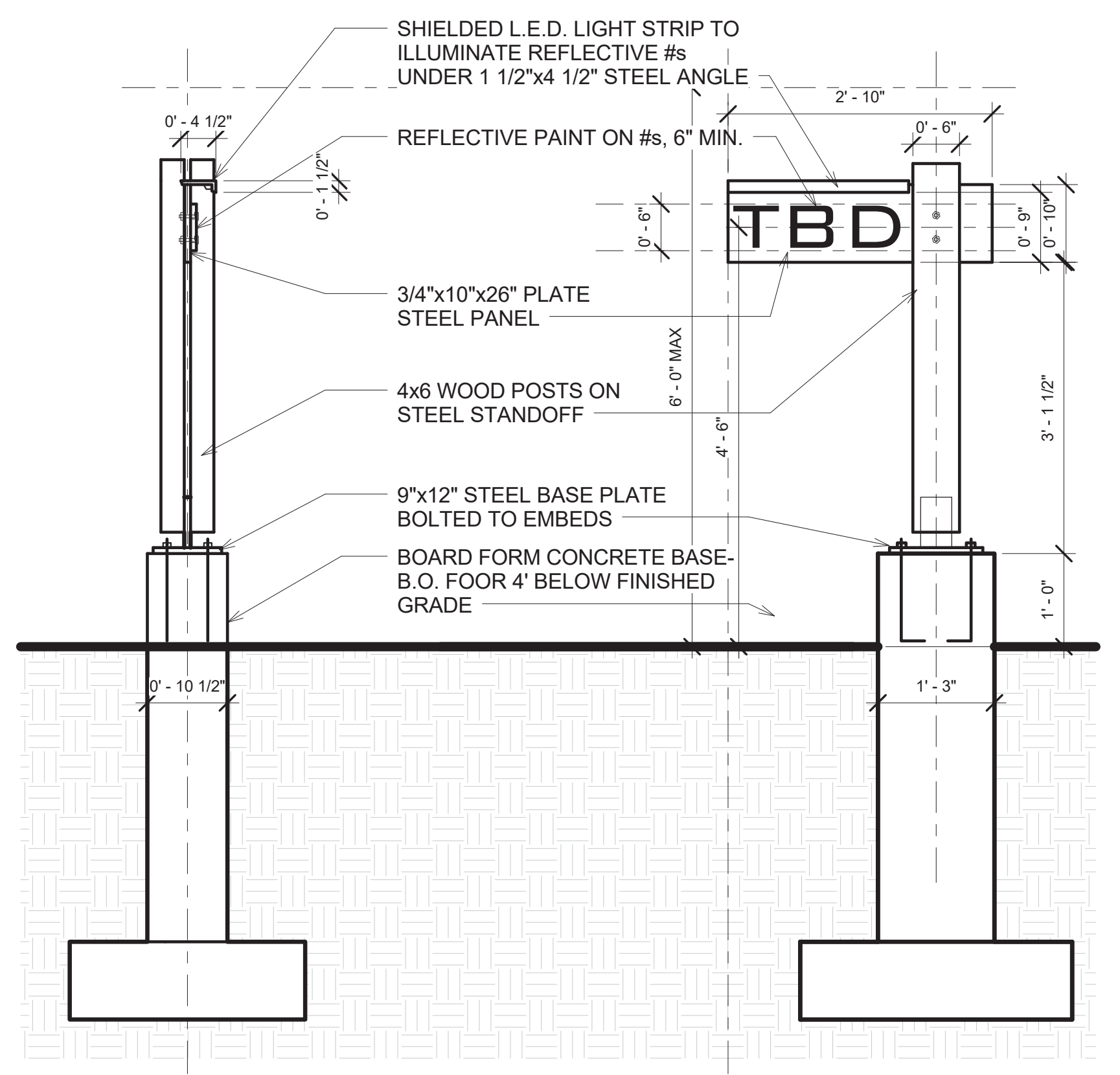
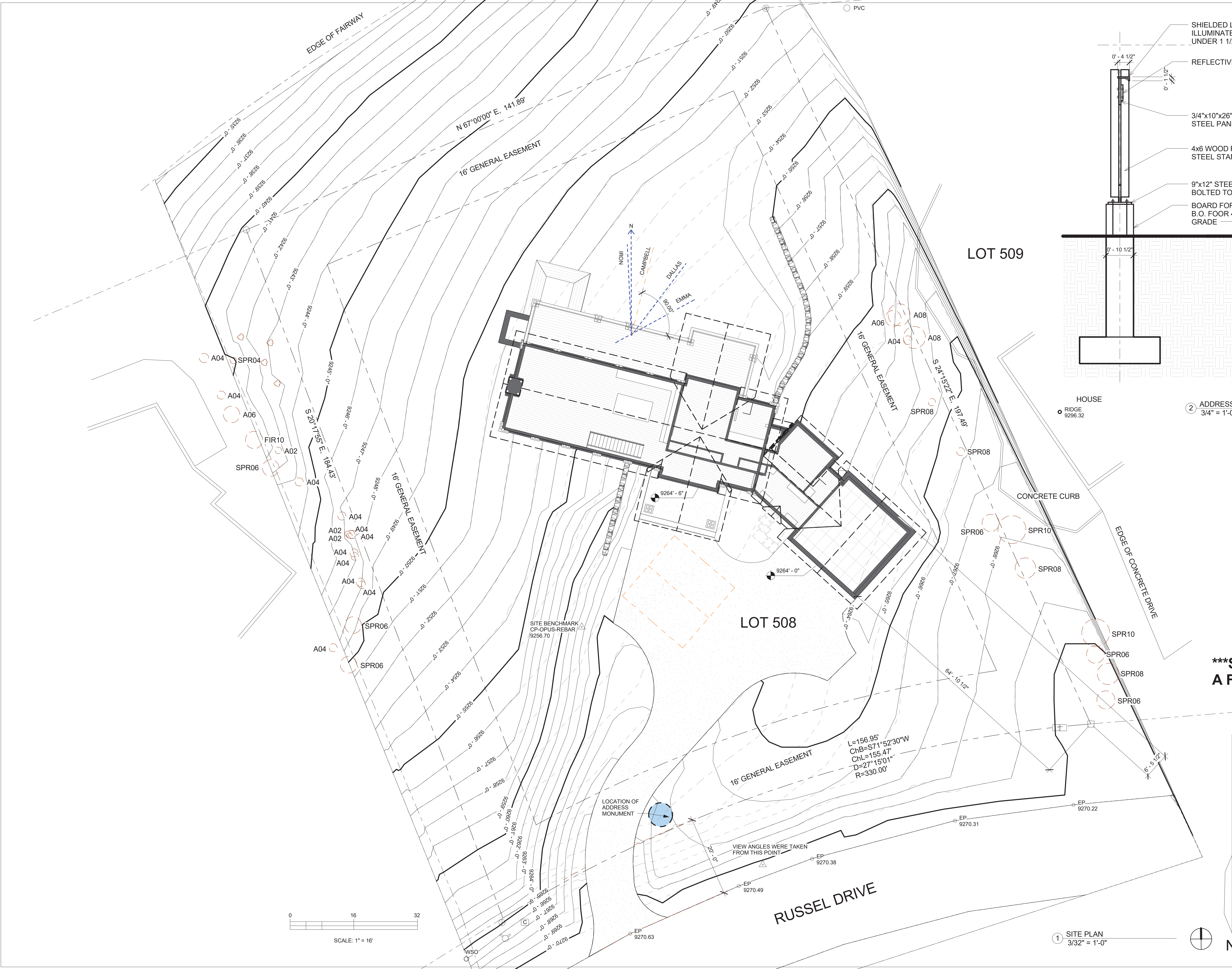
**VIEW ANGLES**  
ANGLES ENUMERATED ARE ZENITH ANGLES

**LEGEND:**

	PAVED DRIVING SURFACE
	FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 17956
	FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP NO LS #
	SURVEY CONTROL POINT
	FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 24954
	TELEPHONE PEDESTAL
	COMMUNICATIONS PEDESTAL
	WATER SHUTOFF VALVE
	FIRE HYDRANT





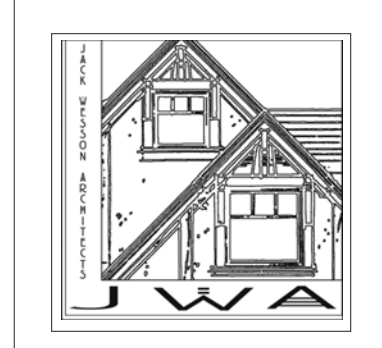


HOUSE  
RIDGE 9296.32

② ADDRESS MONUMENT  
3/4" = 1'-0"

**\*\*\*SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM\*\*\***

NOT FOR CONSTRUCTION



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www.jackwessonarchitects.com

MARK	REV	DATE	DESCRIPTION
		5-11-2022	DRB SUBMISSION
		3-4-2022	REDLINE PICKUPS
		1-10-2022	1st SHEET
		1-3-2022	REDLINE PICKUPS
		12-31-2021	REDLINE PICKUPS
		11-3-2021	MATERIAL AREAS
		10-25-2021	MARKING
		7-1-2021	LAYOUT

PROJECT NAME: 508 MV MOUNTAIN VILLAGE COLORADO 81435  
SHEET DESCRIPTION: SITE PLAN  
SHEET NUMBER: A100

① SITE PLAN  
3/32" = 1'-0"



L=156.95'  
ChB=S71°52'30"W  
ChL=155.47'  
D=27°15'01"  
R=330.00'

LOCATION OF ADDRESS MONUMENT

VIEW ANGLES WERE TAKEN FROM THIS POINT

RUSSEL DRIVE







**WATER USAGE CHART:**

ASPEN	26 @ 10 gal. = 260 gal.
SPRUCE	7 @ 10 gal. = 70 gal.
POTENTILLA	22 @ 2 gal. = 44 gal.
DOGWOOD	30 @ 2 gal. = 60 gal.
<b>TOTAL =</b>	<b>334 gal.</b>

**\*NOTE: INSTALL RAIN SHUT-OFF DEVICE AS REQ'D BY SECTION 9-210**

**INSTALL BACKFLOW PREVENTERS**

**SHOULD THE STATE OF THE GENERAL EASEMENTS BE DISTURBED DURING CONSTRUCTION, THE APPLICANT MUST REVEGETATE THE AREA TO ITS PRIOR CONDITION USING THE NATIVE SEED MIX.**

- GENERAL NOTES:**
1. SOIL PREPARATION SPECIFICATIONS: SOIL IN REVEG. AREA WILL BE AUGMENTED WITH HYDROMULCH.
  2. THIS LANDSCAPE PLAN COMPLIES WITH SECTION 9-109 OF THE DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.
  3. THE PROPERTY OWNER GUARANTEES ALL PLANT MATERIALS FOR TWO YEAR.
  4. ALL TREES AND SHRUBS SHALL BE BACKFILLED WITH A TOPSOIL/ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
  5. PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO
  6. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS, SHREDDED CEDAR BARK.
  7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK. PLANTING DETAILS FOR ROOT SYSTEMS, SOIL PREPARATION, SEEDING, MULCHING, AND FERTILIZATION TECHNIQUES SHALL BE IN ACCORDANCE WITH GUIDELINES SET FORTH BY THE ASSOCIATED LANDSCAPE CONTRACTORS OR COLORADO.
  8. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATES. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.

- REVEGETATION AND EROSION CONTROL NOTES:**
1. SUBSOIL SURFACES SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
  2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE RE-VEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTO-TILLED AT A RATE OF 3 CUBIC YARDS PER THOUSAND SQUARE FEET.
  3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
  4. NEWLY SEEDED AREAS SHALL BE PROTECTED FROM WIND AND WATER EROSION THROUGH THE USE OF MULCHES. ACCEPTABLE MULCHES ARE WOOD CHIPS, STRAW, HYDRO-MULCH AND EROSION-CONTROL NETTING.
  5. BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
  7. EROSION-CONTROL NETTING WILL BE REQUIRED ON SLOPES 3:1 OR STEEPER, IF ALLOWED BY VARIANCE TO SECTION 9-103-2, AND IN DRAINAGE SWALES.
  8. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.
  9. ROAD AND DRIVEWAY SHALL BE RE-VEGETATED WITHIN THIRTY (30) DAYS OF THE DISTURBANCE TO AVOID UNSIGHTLY SCARS AND WEED INFESTATION ON THE LANDSCAPE. UTILITY CUTS SHALL BE RE-VEGETATED IMMEDIATELY (WITHIN TWO WEEKS) AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION. LANDOWNER SHALL INSURE PROPER WEED CONTROL IN IMPACTED AREAS.
  10. EROSION CONTROL ATTENTION TO DISTURBED AREAS SHALL BE IMPLEMENTED TO ENSURE THERE IS NO DETRIMENTAL IMPACT OR RUNOFF TO ANY PONDS, STREAMS OR WETLANDS.
  11. IN AREAS THAT ARE TO BE RE-VEGETATED (ESPECIALLY SEEDING LOCATIONS WHICH HAVE RECEIVED HEAVY CONSTRUCTION EQUIPMENT TRAFFIC), SOIL SHALL BE SCARIFIED BEFORE THE APPLICATION OF SEED. SLOPE SURFACES SHALL BE ROUGHENED BY RUNNING TRACKED EQUIPMENT UP AND DOWN THE FACE OF THE SLOPE (RUNNING SUCH EQUIPMENT ACROSS THE FACE OF A SLOPE ENCOURAGES EROSION AND IS NOT RECOMMENDED).

DRAINAGE WILL MAINTAIN POSITIVE FLOW AWAY FROM THE HOUSE AS REQUIRED BY TOWN'S ADOPTIVE BUILDING CODES

THE PROJECT SHALL COMPLY WITH THE TOWN'S FIRE MITIGATION STANDARDS

THE PROJECT SHALL COMPLY WITH THE ADOPTED TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE ENERGY CODE AND GREEN BUILDING STANDARDS.

**NOT FOR CONSTRUCTION**

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 jwesson@jwb.com  
 www.jackwessonarchitects.com

5-11-2022	DRB SUBMISSION
3-4-2022	REDLINE PICKUPS
1-10-2022	12' SHEET
1-3-2022	REDLINE PICKUPS
12-31-2021	REDLINE PICKUPS
11-3-2021	MATERIAL AREAS
10-25-2021	MASSING
7-1-2021	LAYOUT

PROJECT NAME: 508 MV MOUNTAIN VILLAGE COLORADO 81435

SHEET DESCRIPTION: LANDSCAPE & IRRIGATION PLAN

SHEET NUMBER: A103



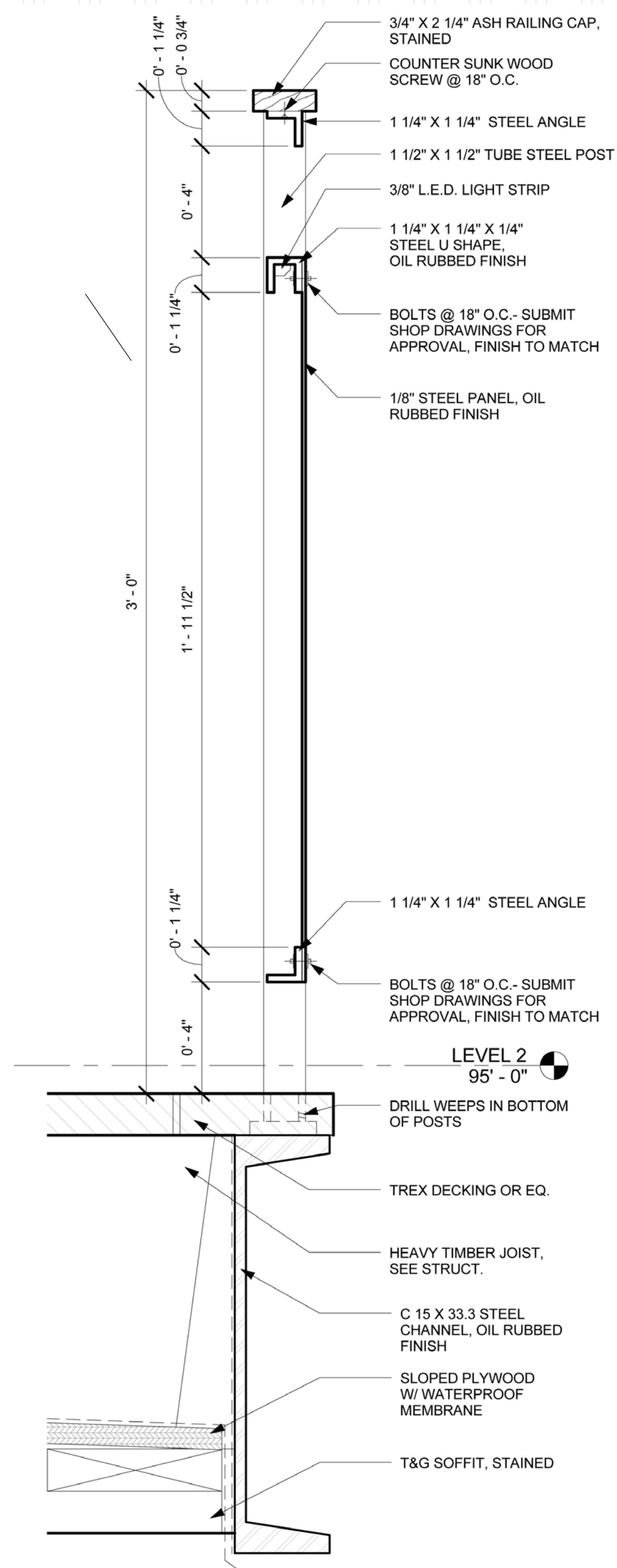
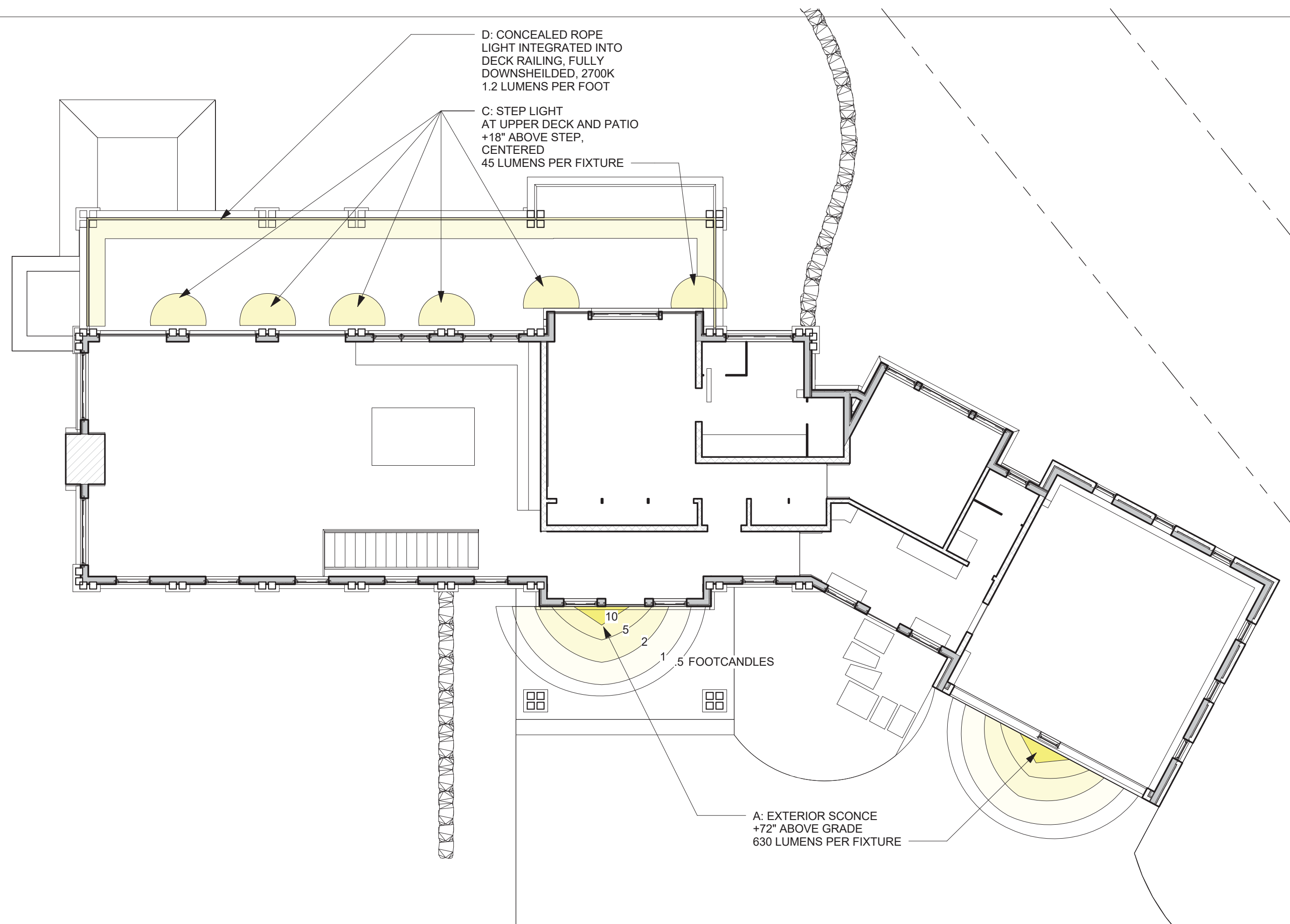
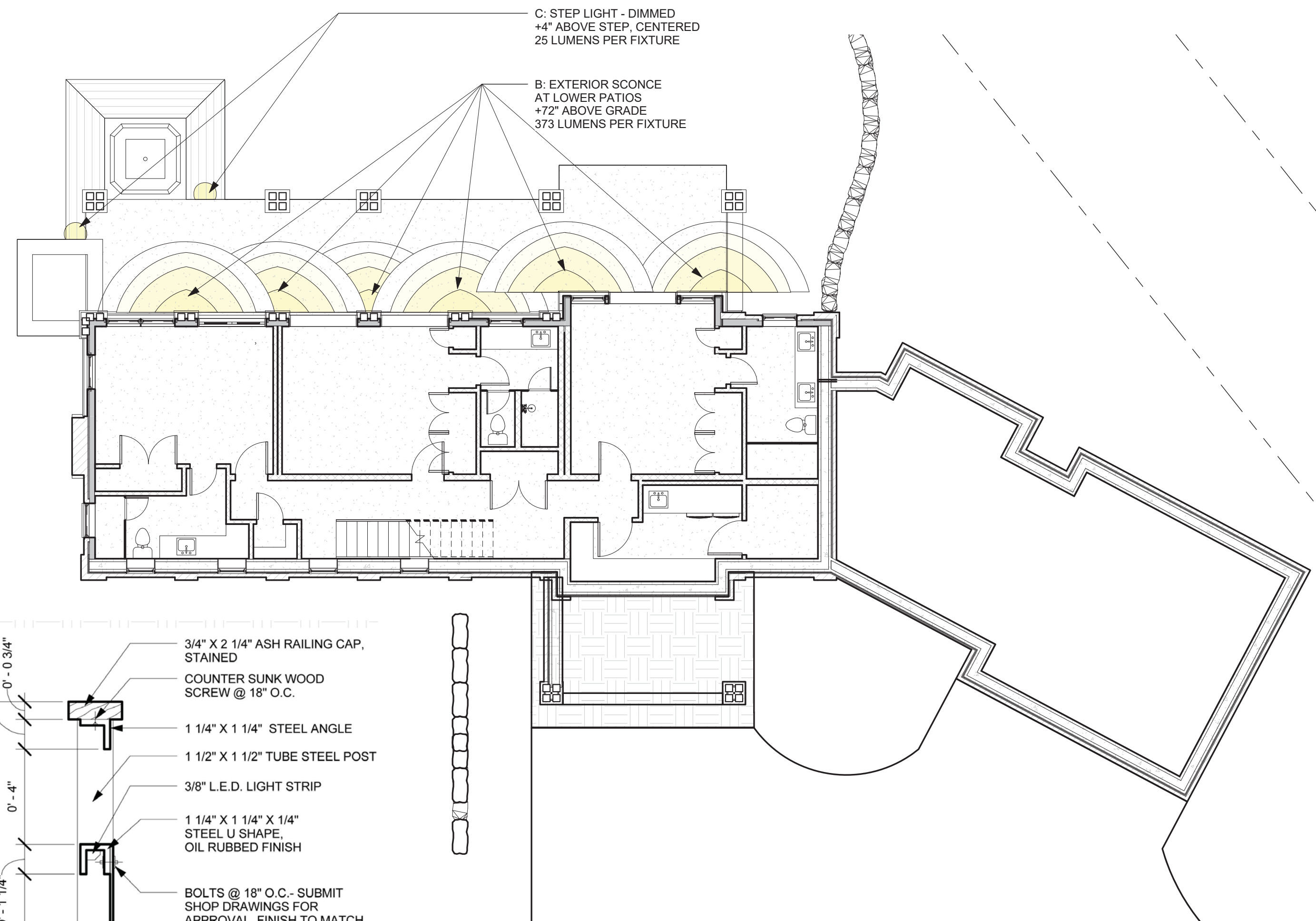
- LANDSCAPE LEGEND**  
1/4" = 1'-0"
- ALL EXISTING TREES TO REMAIN-SEE PLAN FOR SPECIES AND SIZE
  - (22) 5 GAL. DOGWOOD SHRUBS
  - (30) 5 GAL. POTENTILLA
  - (7) NEW EVERGREEN TREES (1-8') (1-10') MINIMUM HEIGHT
  - \*\*\*At least forty (40) percent of the trees on a landscaping plan shall be trees not typically found in landscaping in the Town, such as lodgepole pine, limber pine, white bark pine, ponderosa pine, brisatecone pine and pinyon pine provided such trees fit within the life zone and a site's micro climate.
  - (26) NEW 3" CAL. ASPEN OR 2 1/2" CA. MULTI-STEM

- Z1** LANDSCAPE ZONE 1:  
COLUMBINE, SHOOTING STAR, INDIAN PAINTBRUSH, YARROW, BLUEBELL APPROX. 600 SF.
- Z2** LANDSCAPE ZONE 2:  
RUSSIAN SAGE, YELLOW ROSE, DAYLILY, DELPHINIUM, BLEEDING HEART, CINQUEFOIL APPROX. 1000 SF.
- NOTE: REVEGETATION IS WILL BE NATIVE MIX  
 5% WESTERN YARROW  
 10% TALL FESCUE  
 5% ARIZONA FESCUE  
 5% HARD FESCUE  
 10% CREEPING RED FESCUE  
 15% ALPINE BLUEGRASS  
 10% CANADA BLUEGRASS  
 15% PERENNIAL RYEGRASS  
 10% SLENDER WHEATGRASS  
 15% MOUNTAIN BROME APPROX. 11700 SF

1 SITE PLAN- LANDSCAPE AND IRRIGATION PLAN  
3/32" = 1'-0"







③ SITE PLAN- LOWER LEVEL EXT LIGHTING  
1/8" = 1'-0"

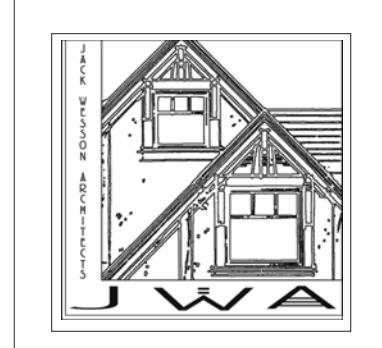
① SITE PLAN- MAIN LEVEL EXT LIGHTING  
1/8" = 1'-0"

\*\*\*ALL LIGHTING TO BE ON A DIMMER MANAGEMENT SYSTEM, 850 LUMENS MAX\*\*\*

- A: LARGE EXTERIOR SCONCE: see cut sheet A810
- B: SMALL EXTERIOR SCONCE: see cut sheet A810
- C: EXTERIOR STEP LIGHT: see cut sheet A810
- D: EXTERIOR ROPE LIGHT: see cut sheet A810

② DETAIL- RAILING @ NORTH DECK  
3" = 1'-0"

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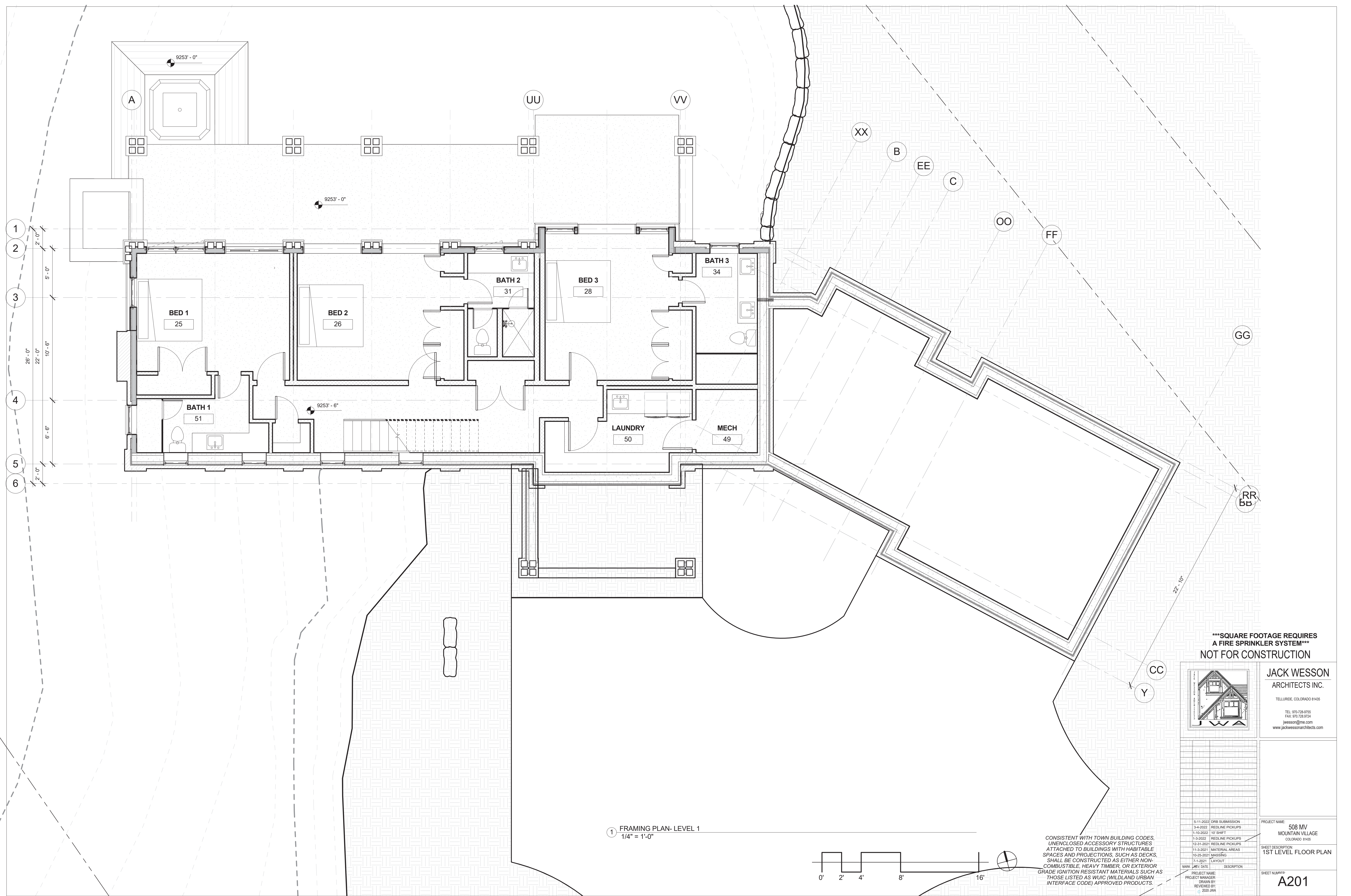
5-11-2022	DRB SUBMISSION
3-4-2022	REDLINE PICKUPS
1-10-2022	1st SHEET
1-3-2022	REDLINE PICKUPS
12-31-2021	REDLINE PICKUPS
11-3-2021	MATERIAL AREAS
10-25-2021	MASSING
7-1-2021	LAYOUT
MARK	REV DATE DESCRIPTION
PROJECT NAME	
PROJECT MANAGER	
DRAWN BY	
REVIEWED BY	
DATE	

PROJECT NAME: 508 MV MOUNTAIN VILLAGE  
COLORADO 81435  
SHEET DESCRIPTION: EXTERIOR LIGHTING PLAN  
SHEET NUMBER: A104





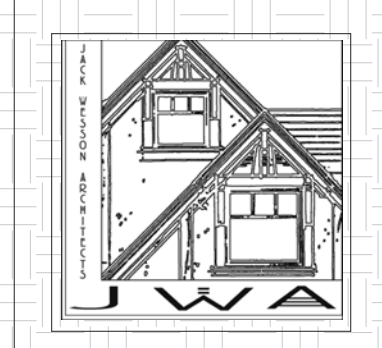




1 FRAMING PLAN-LEVEL 1  
1/4" = 1'-0"

CONSISTENT WITH TOWN BUILDING CODES,  
UNENCLOSED ACCESSORY STRUCTURES  
ATTACHED TO BUILDINGS WITH HABITABLE  
SPACES AND PROJECTIONS, SUCH AS DECKS,  
SHALL BE CONSTRUCTED AS EITHER NON-  
COMBUSTIBLE, HEAVY TIMBER, OR EXTERIOR  
GRADE IGNITION RESISTANT MATERIALS SUCH AS  
THOSE LISTED AS WUC (WILD AND URBAN  
INTERFACE CODE) APPROVED PRODUCTS.

\*\*\*SQUARE FOOTAGE REQUIRES  
A FIRE SPRINKLER SYSTEM\*\*\*  
NOT FOR CONSTRUCTION

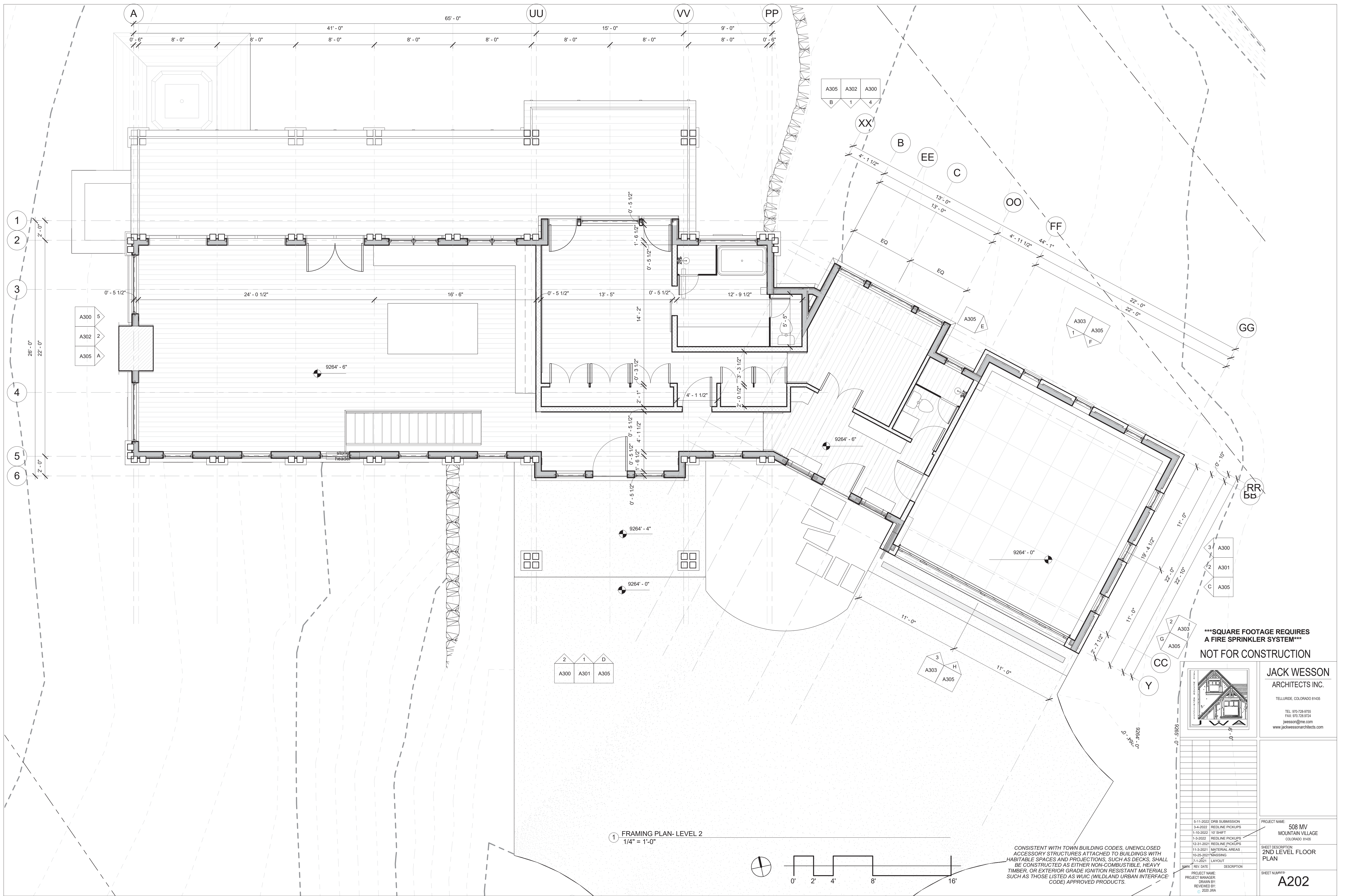


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MARK	REV	DATE	DESCRIPTION
		5-11-2022	DRB SUBMISSION
		3-4-2022	PRELIM PICKUPS
		1-10-2022	REV SHEET
		1-3-2022	REDLINE PICKUPS
		12-31-2021	REDLINE PICKUPS
		11-3-2021	MATERIAL AREAS
		10-25-2021	ISSUING
		7-1-2021	LAYOUT

PROJECT NAME: 508 MV  
MOUNTAIN VILLAGE  
COLORADO 81435  
SHEET DESCRIPTION:  
1ST LEVEL FLOOR PLAN  
SHEET NUMBER:  
A201

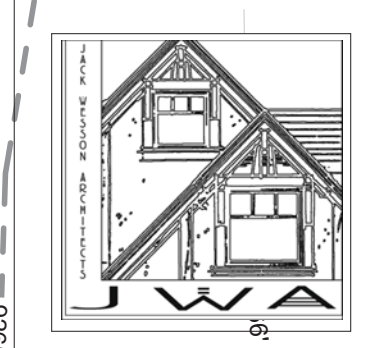




1 FRAMING PLAN- LEVEL 2  
1/4" = 1'-0"

CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUI (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.

\*\*\*SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM\*\*\*  
NOT FOR CONSTRUCTION

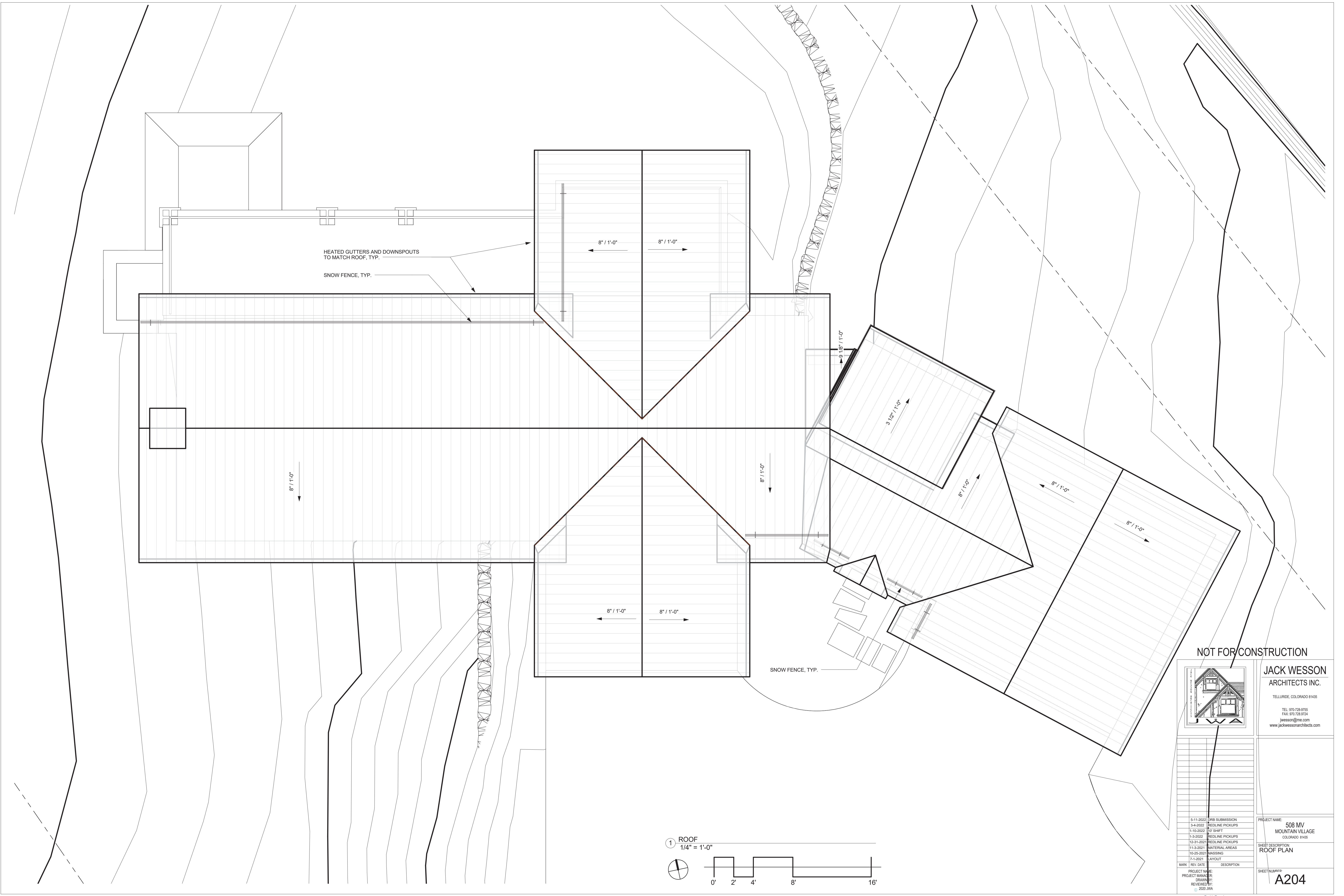


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MARK	REV	DATE	DESCRIPTION
	5-11-2022		DRB SUBMISSION
	3-4-2022		REDLINE PICKUPS
	1-10-2022		1/4" SHIFTS
	1-3-2022		REDLINE PICKUPS
	12-31-2021		REDLINE PICKUPS
	11-3-2021		MATERIAL AREAS
	10-25-2021		MISSING
	7-1-2021		LAYOUT

PROJECT NAME: 508 NW MOUNTAIN VILLAGE  
COLORADO 81435  
SHEET DESCRIPTION: 2ND LEVEL FLOOR PLAN  
SHEET NUMBER: A202



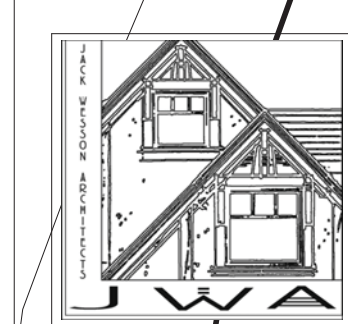


HEATED GUTTERS AND DOWNSPOUTS  
TO MATCH ROOF, TYP.

SNOW FENCE, TYP.

SNOW FENCE, TYP.

NOT FOR CONSTRUCTION



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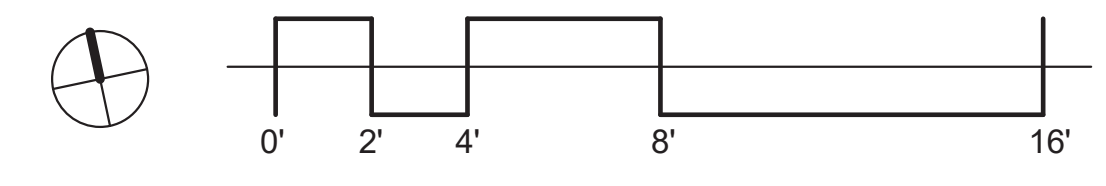
MARK	REV. DATE	DESCRIPTION
5-11-2022	DRB SUBMISSION	
3-4-2022	REDLINE PICKUPS	
1-10-2022	REV SHEET	
1-3-2022	REDLINE PICKUPS	
12-31-2021	REDLINE PICKUPS	
11-3-2021	MATERIAL AREAS	
10-25-2021	REVISIONS	
7-1-2021	LAYOUT	

PROJECT NAME: 508 MV  
MOUNTAIN VILLAGE  
COLORADO 81435

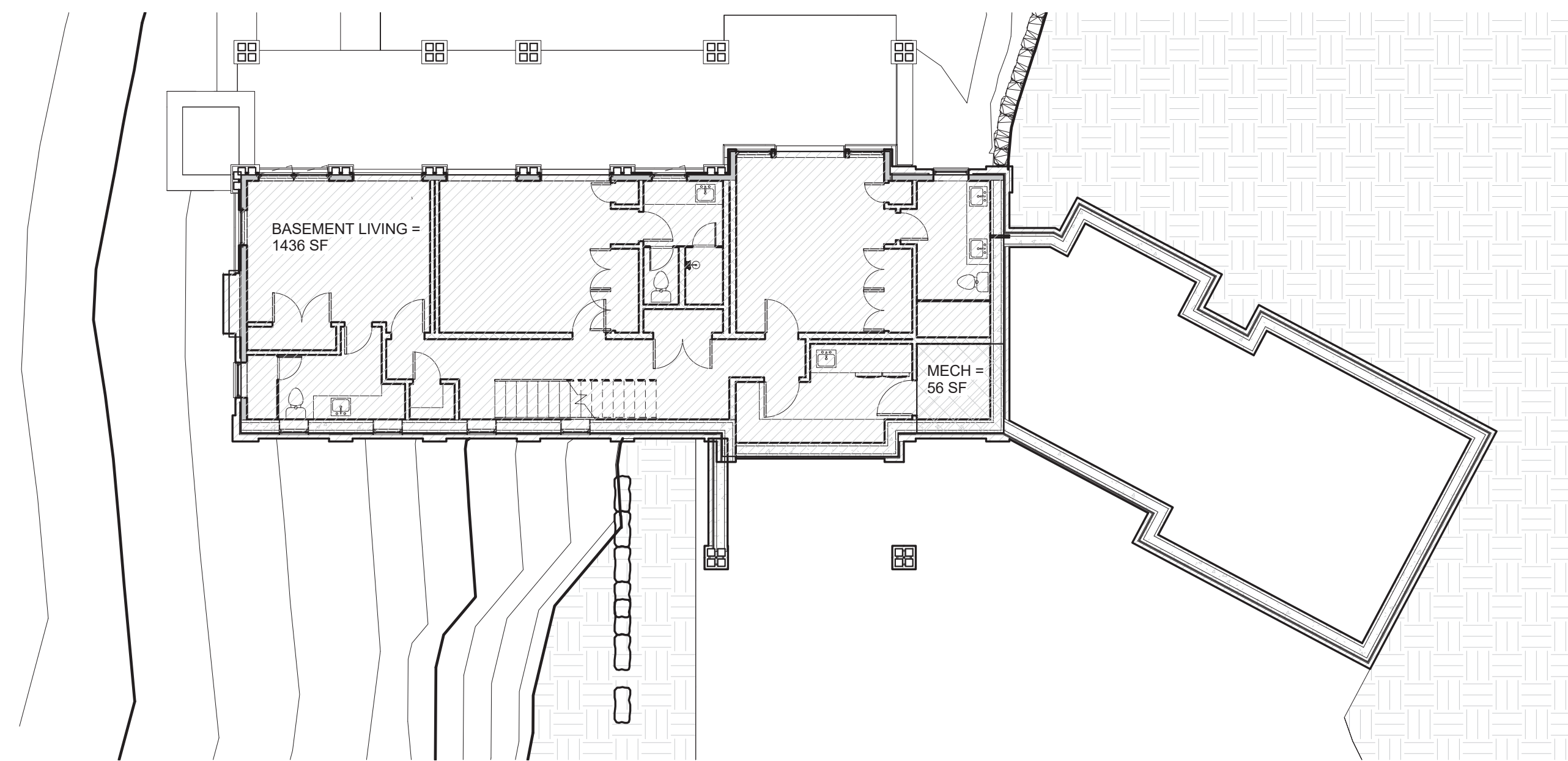
SHEET DESCRIPTION:  
ROOF PLAN

SHEET NUMBER:  
**A204**

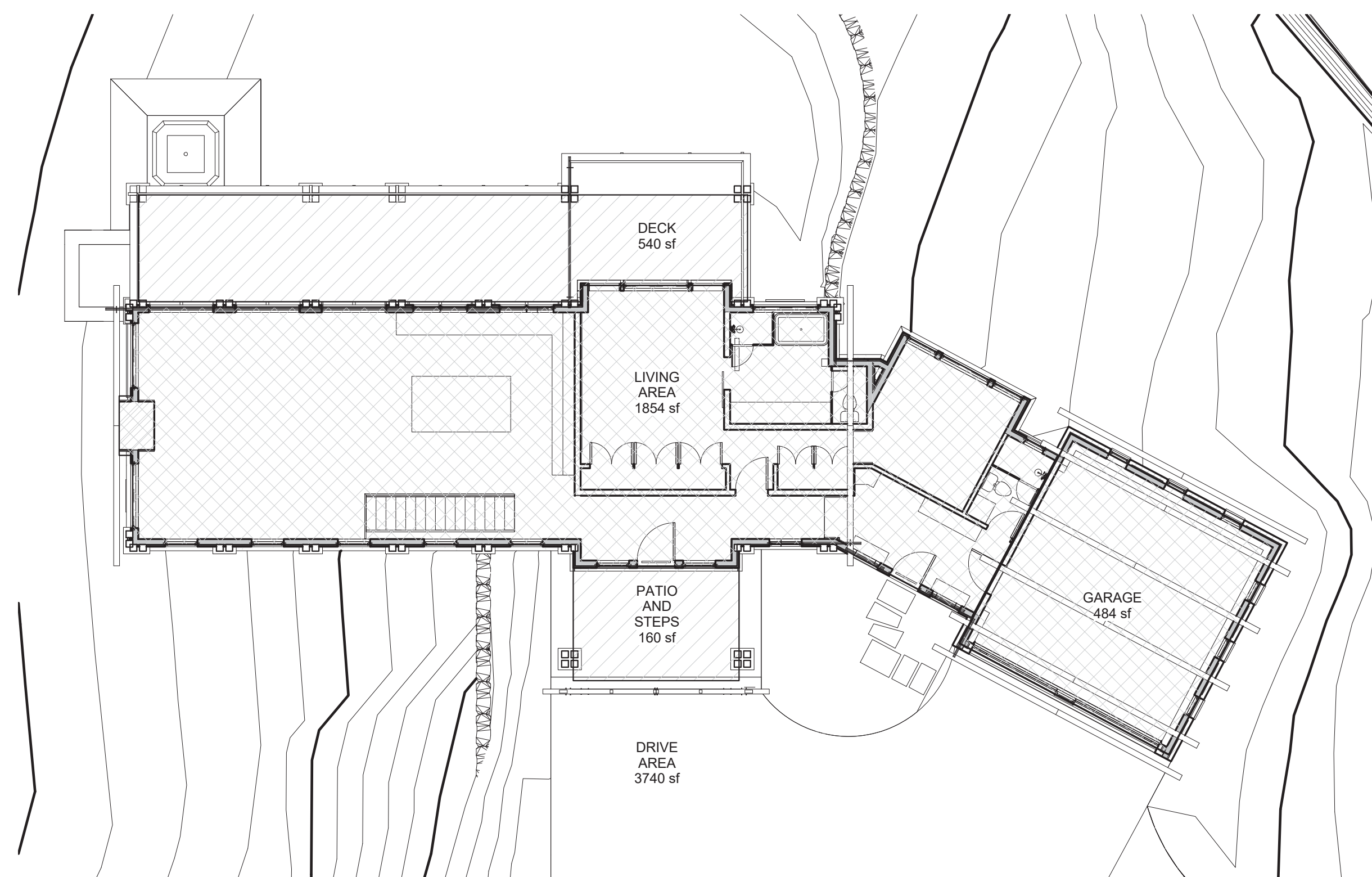
1 ROOF  
1/4" = 1'-0"



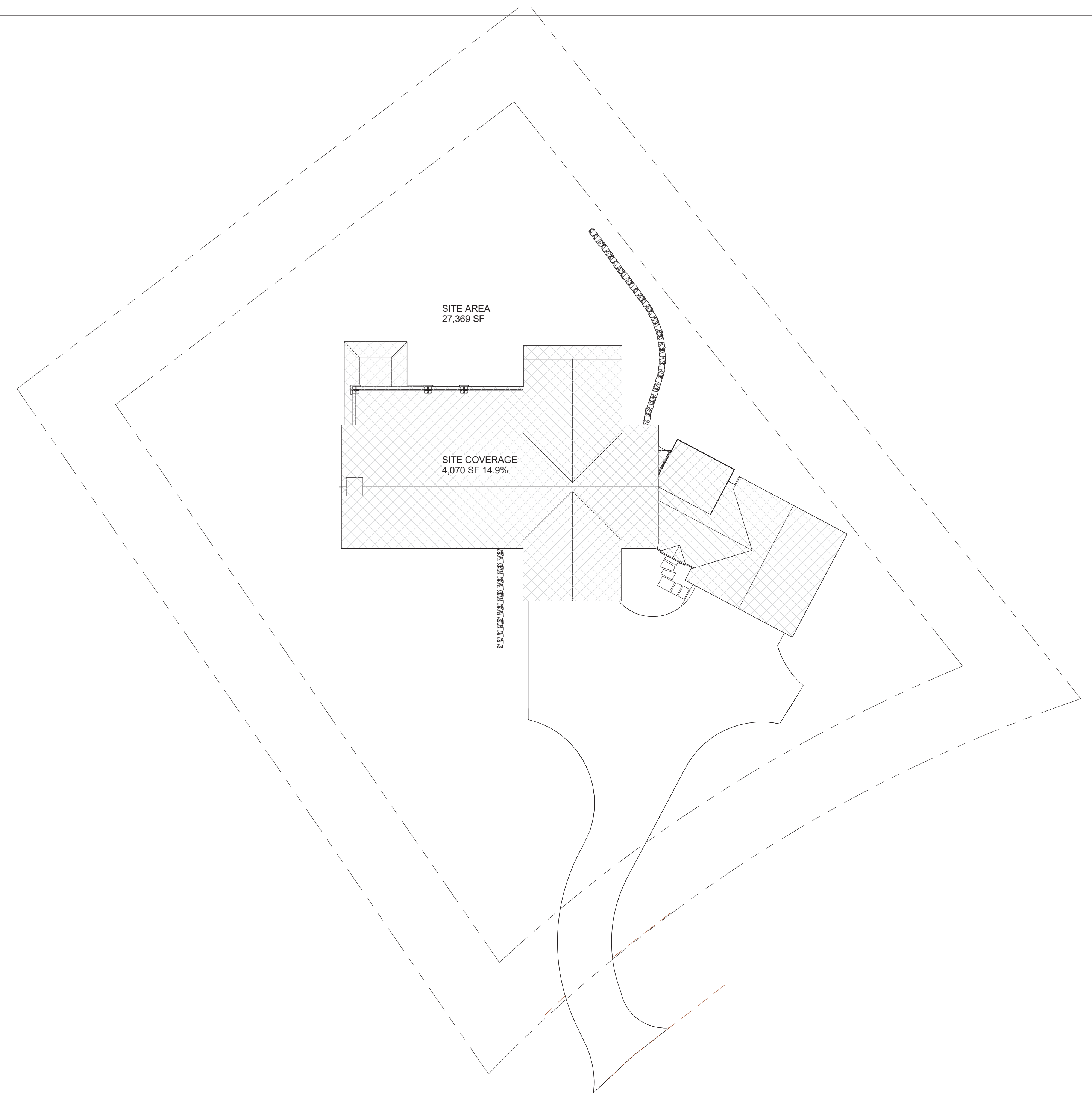




① AREA PLAN- LEVEL 1  
1" = 10'-0"



② AREA PLAN- LEVEL 2  
1" = 10'-0"



③ AREA- SITE COVERAGE  
1/16" = 1'-0"

AREA ANALYSIS:

SITE AREA =	27,369 sf
ALLOW. SITE COVER. (40%) =	10,948 sf
PRO. SITE COVER. (14.9%) =	4,070 sf
<b>GROSS AREA (TO FACE OF STRUCTURE):</b>	
1ST LVL	
LIVING =	1436 sf
MECH =	56 sf
2ND	
LIVING =	1854 sf
GARAGE =	484 sf
<b>TOTAL LIVING =</b>	<b>3,290sf</b>
<b>TOTAL GROSS =</b>	<b>3,830 sf</b>

**\*\*\* SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM \*\*\***

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MARK	REV	DATE	DESCRIPTION

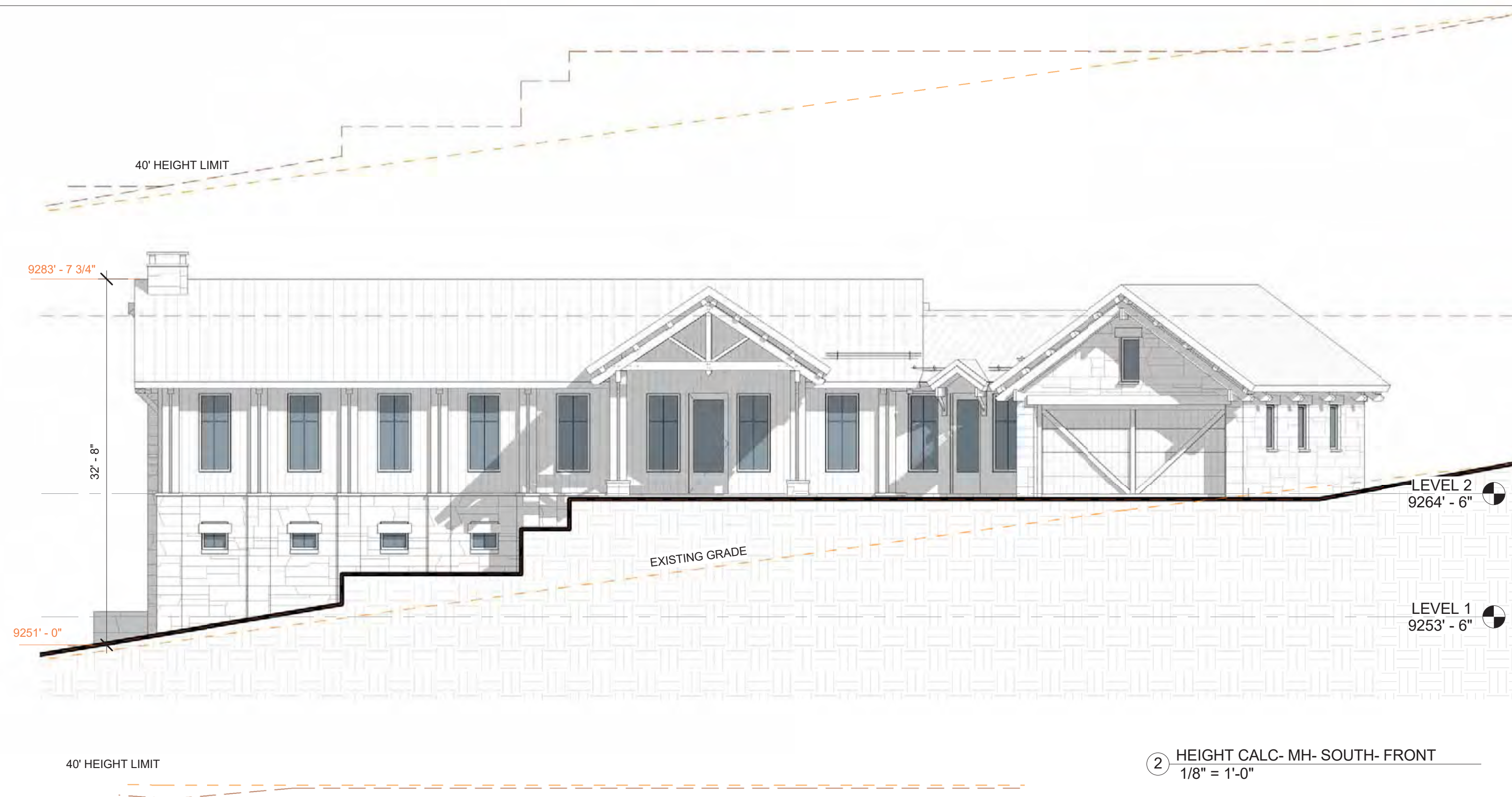
PROJECT NAME: 508 MV MOUNTAIN VILLAGE COLORADO 81435

SHEET DESCRIPTION: AREA ANALYSIS

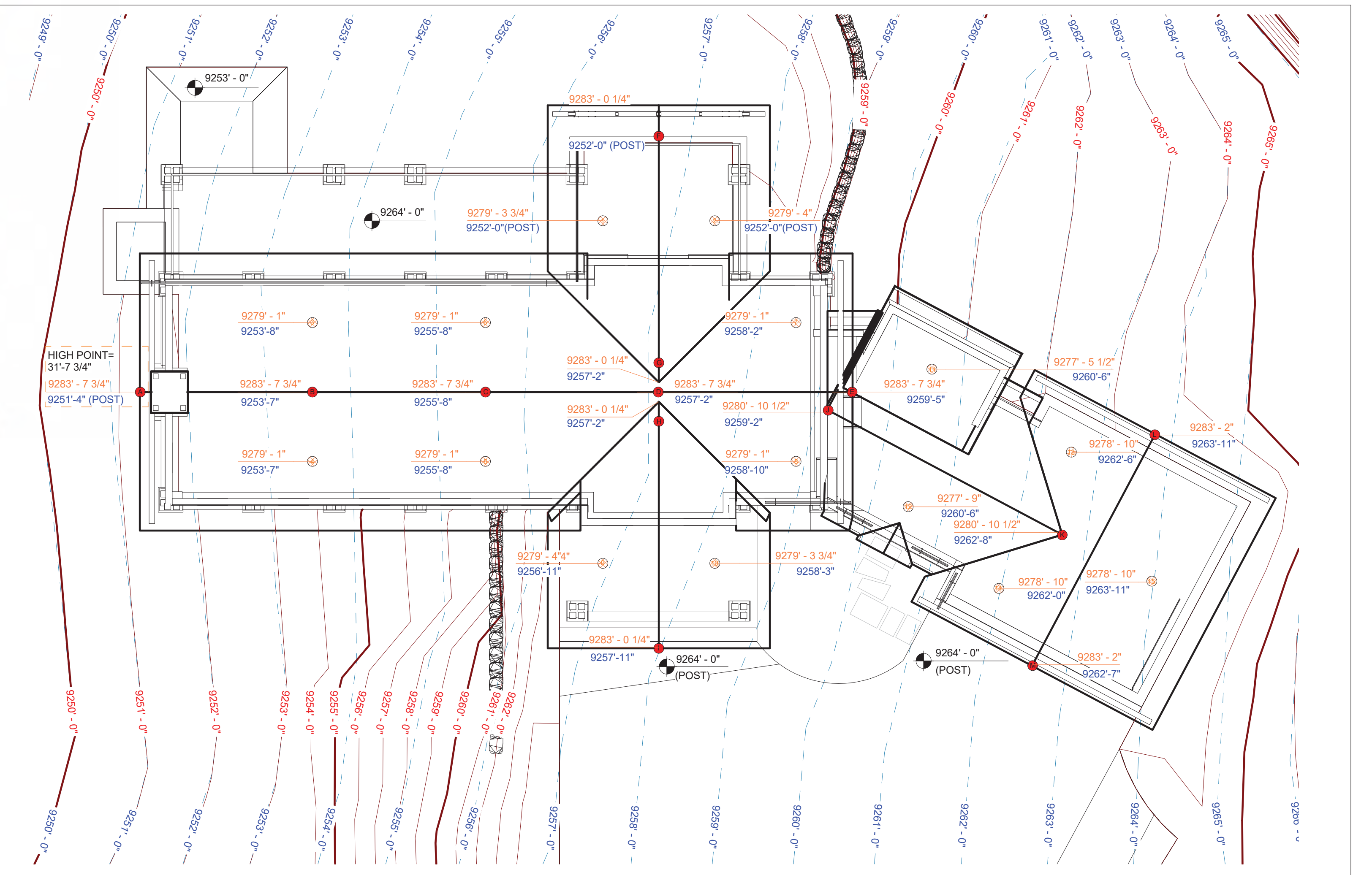
SHEET NUMBER: A205

5-11-2022 DRB SUBMISSION  
3-4-2022 PRELIM PICKUPS  
1-10-2022 1ST SHEET  
1-3-2022 REDLINE PICKUPS  
12-31-2021 REDLINE PICKUPS  
11-3-2021 MATERIAL AREAS  
10-25-2021 MASSING  
7-1-2021 LAYOUT



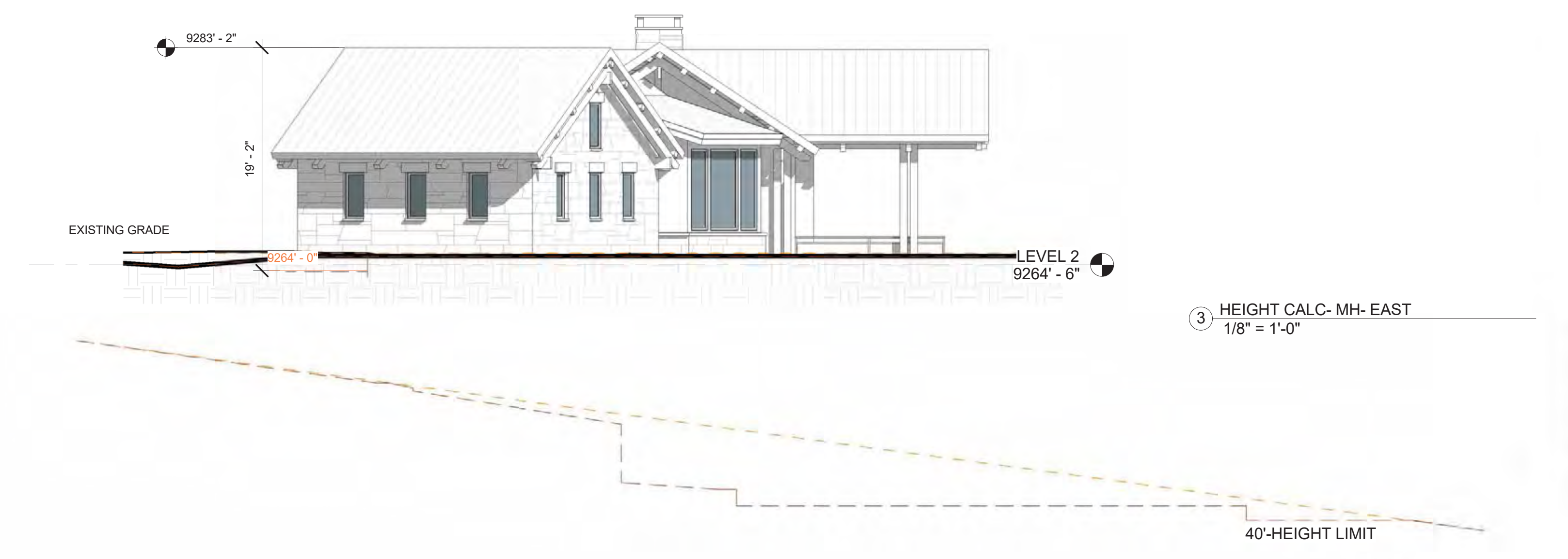


② HEIGHT CALC- MH- SOUTH- FRONT  
1/8" = 1'-0"

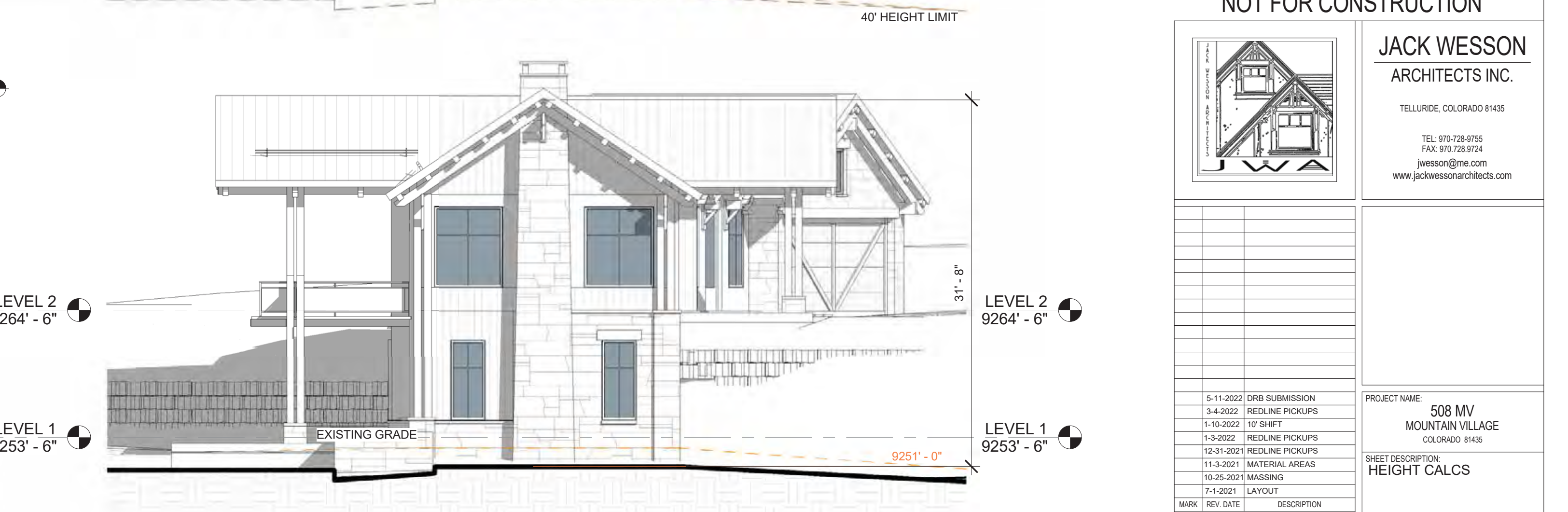


① ROOF HEIGHT CALC  
1/8" = 1'-0"

AVERAGE GRADE CALC			HIGH POINT GRADE CALC		
GRADE (MOST RESTRICTIVE)	ROOF MID POINT	HEIGHT	GRADE (MOST RESTRICTIVE)	ROOF HIGH POINT	HEIGHT
1 9252'-0"	9279'-4"	27'-4"	SOUTH 9251'-0"	9283'-7 3/4"	32'-7 3/4"
2 9252'-0"	9279'-4"	27'-4"			
3 9253'-8"	9279'-1"	25'-5"			
4 9253'-7"	9279'-1"	25'-6"			
5 9255'-8"	9279'-1"	23'-5"			
6 9255'-8"	9279'-1"	23'-5"	WEST 9251'-0"	9283'-7 3/4"	32'-7 3/4"
7 9258'-2"	9279'-1"	20'-11"			
8 9258'-10"	9279'-1"	20'-3"	NORTH 9251'-0"	9283'-7 3/4"	32'-7 3/4"
9 9256'-11"	9279'-4"	22'-5"			
10 9258'-3"	9279'-4"	21'-1"			
11 9260'-6"	9277'-5 1/2"	16'-11 1/2"	EAST 9264'-0"	9283'-2"	19'-2"
12 9260'-6"	9277'-9"	17'-3"			
13 9262'-6"	9278'-10"	16'-4"			
14 9262'-0"	9278'-10"	16'-10"			
15 9263'-11"	9278'-10"	14'-11"			
		319'-4 1/2"/15 = 21'-3 1/2"			



③ HEIGHT CALC- MH- EAST  
1/8" = 1'-0"

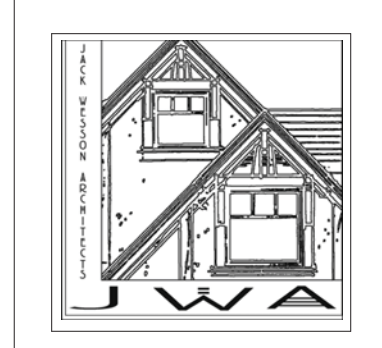


⑤ HEIGHT CALC- MH- WEST  
1/8" = 1'-0"



④ HEIGHT CALC- MH- NORTH  
1/8" = 1'-0"

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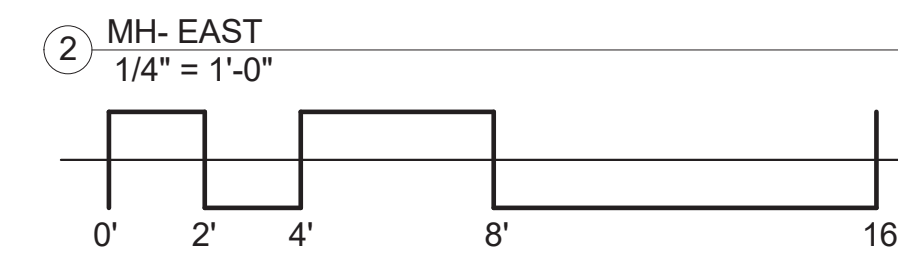
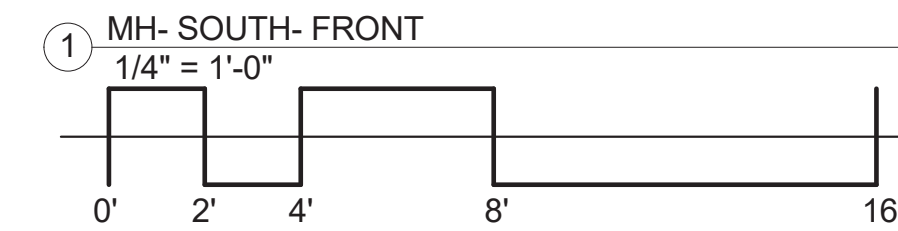
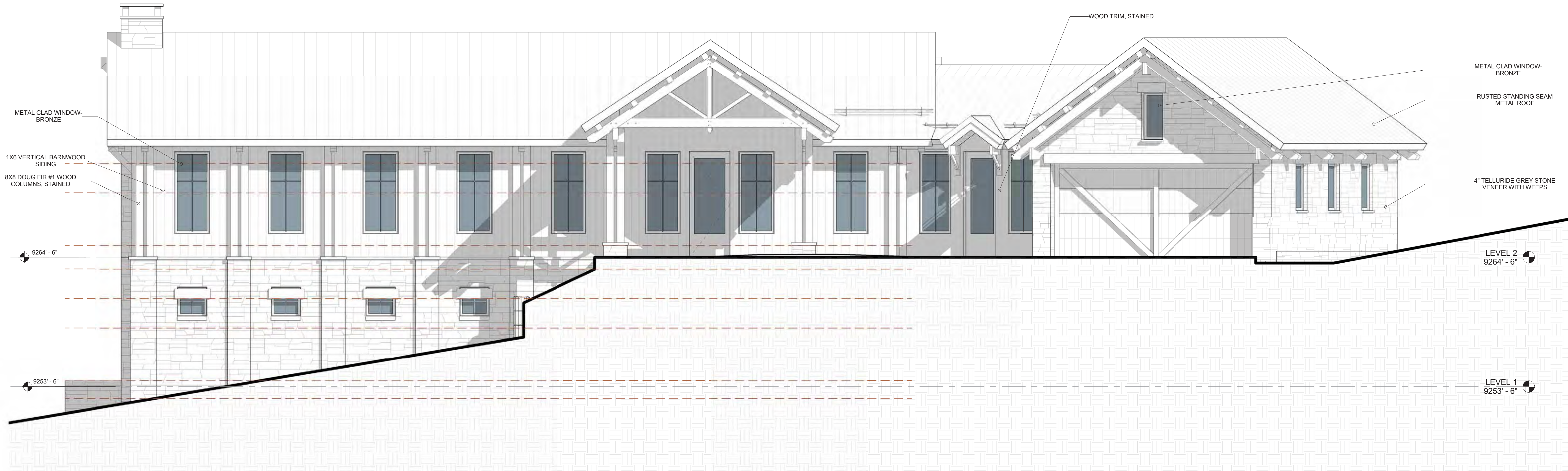
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		3-4-2022	REDLINE PICKUPS
		1-30-2022	1st SHEET
		1-3-2022	REDLINE PICKUPS
		12-31-2021	REDLINE PICKUPS
		11-3-2021	MATERIAL AREAS
		10-25-2021	MARKING
		7-1-2021	LAYOUT

PROJECT NAME: 508 MV MOUNTAIN VILLAGE COLORADO 81435  
SHEET DESCRIPTION: HEIGHT CALCS  
SHEET NUMBER: A300










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PROJECT NAME: 508 MV MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION: ELEVATIONS

SHEET NUMBER: **A301**

MARK	REV. DATE	DESCRIPTION
5-11-2022	DRB SUBMISSION	
3-4-2022	REDLINE PICKUPS	
1-10-2022	1st SHEET	
1-3-2022	REDLINE PICKUPS	
12-31-2021	REDLINE PICKUPS	
11-3-2021	MATERIAL AREAS	
10-25-2021	REVISIONS	
7-1-2021	LAYOUT	



12" HORIZONTAL WOOD SIDING, STAINED OR PAINTED

4" TELLURIDE GREY STONE VENEER WITH WEEPS

METAL CLAD WINDOW-BRONZE

9264' - 6"

9253' - 6"

RUSTED STANDING SEAM METAL ROOF

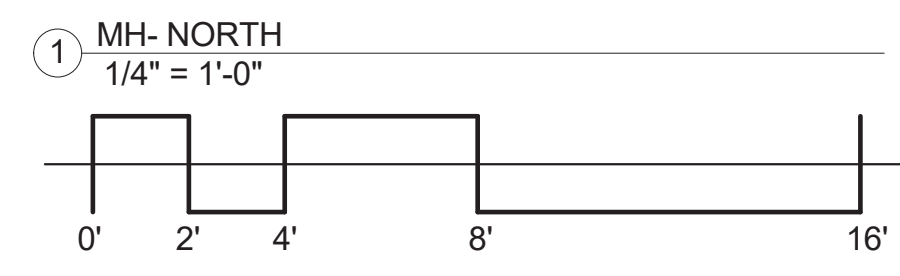
OIL RUBBED STEEL

8X8 DOUG FIR #1 WOOD COLUMNS, STAINED

LEVEL 2  
9264' - 6"

METAL PANELS, OIL RUBBED FINISH

LEVEL 1  
9253' - 6"



RUSTED STANDING SEAM METAL ROOF

METAL CLAD WINDOW-BRONZE

WOOD TRIM, STAINED

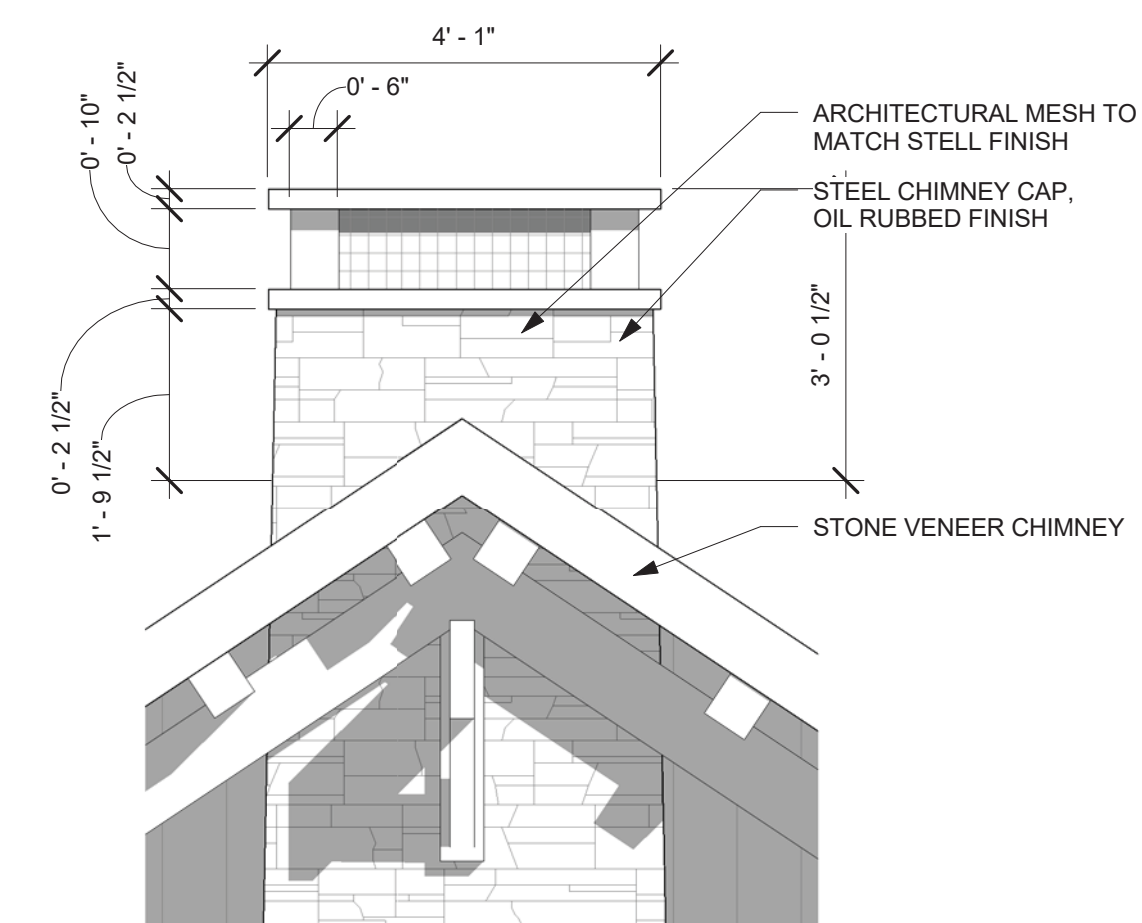
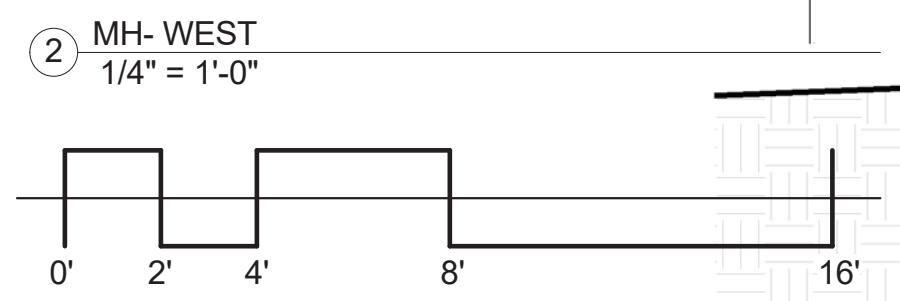
4" TELLURIDE GREY STONE VENEER WITH WEEPS

8X8 DOUG FIR #1 WOOD COLUMNS, STAINED

3  
A302

LEVEL 2  
9264' - 6"

LEVEL 1  
9253' - 6"



③ CHIMNEY CAP  
1/2" = 1'-0"

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5-11-2022	DRB SUBMISSION	
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1-10-2022	1st SHEET	
1-3-2022	REDLINE PICKUPS	
12-31-2021	REDLINE PICKUPS	
11-3-2021	MATERIAL AREAS	
10-25-2021	MARKING	
7-1-2021	LAYOUT	
MARK	REV DATE	DESCRIPTION
PROJECT NAME		
PROJECT MANAGER		
DRAWN BY		
REVIEWED BY		

PROJECT NAME: 508 MV MOUNTAIN VILLAGE COLORADO 81435

SHEET DESCRIPTION: ELEVATIONS

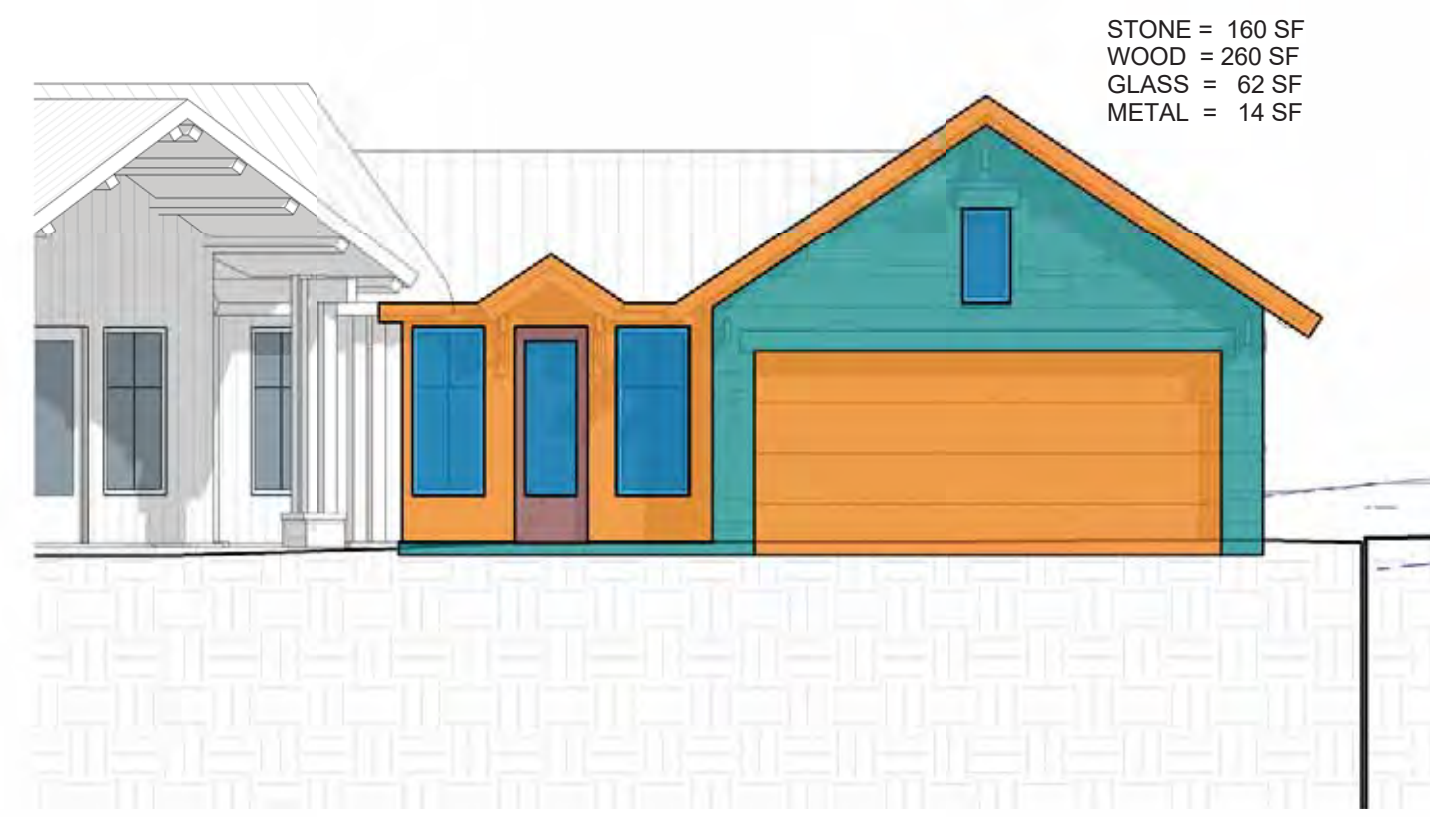
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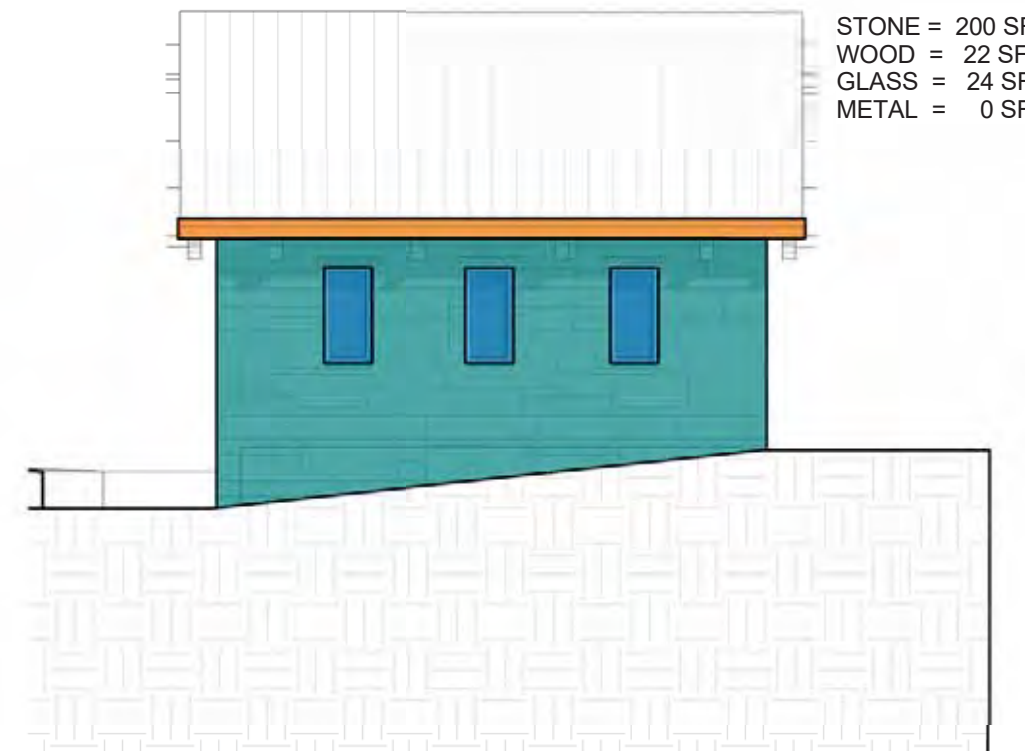




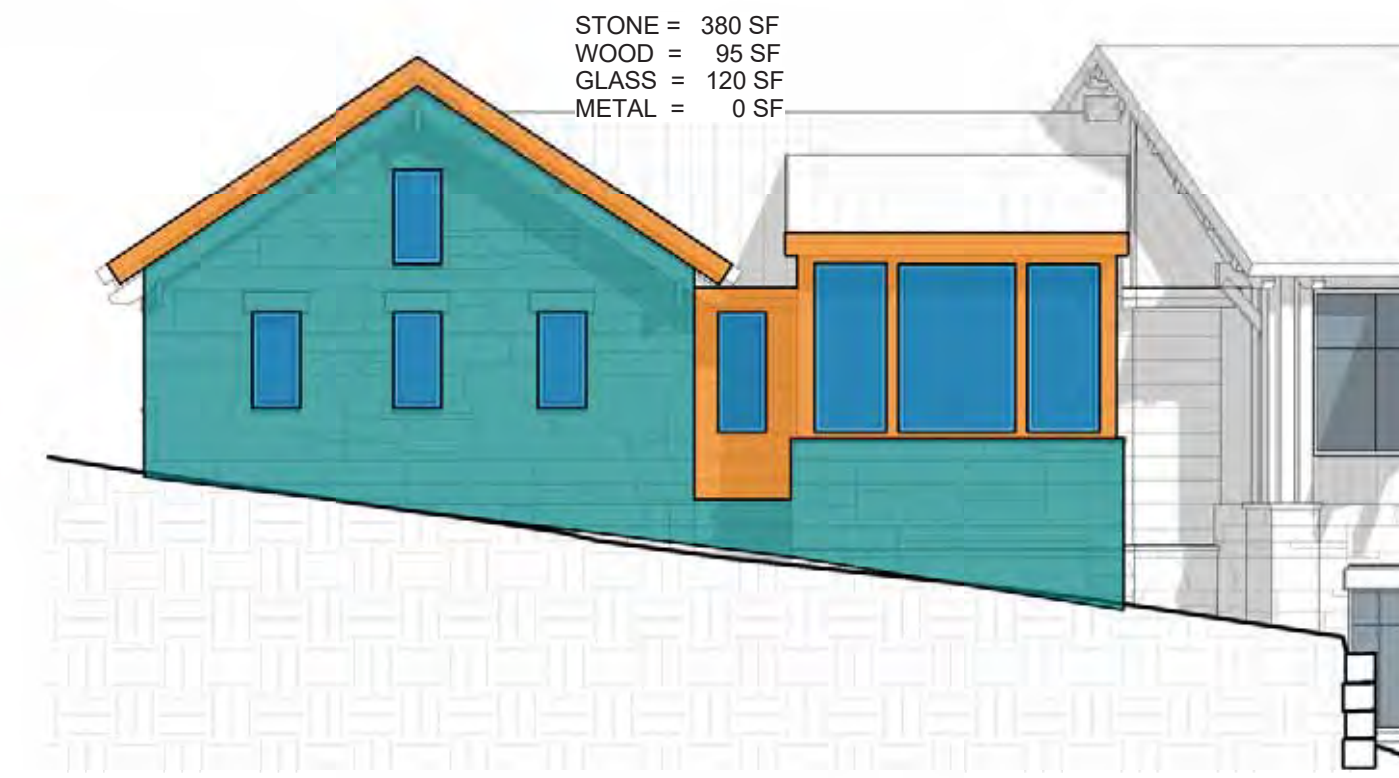
508 MV- Material Calculations										
Elevation	WEST	SOUTH	EAST	NORTH	G- WEST	G- SOUTH	G- EAST	G- NORTH	Total	Percent
Stone	525	432	50	310	65	160	200	380	2122	35.05%
Wood	320	648	170	972	6	260	22	95	2493	41.17%
Fenestration	125	210	0	460	0	62	24	120	1001	16.53%
Accent	30	20	30	345	0	14	0	0	439	7.25%
<b>Total</b>	<b>1000</b>	<b>1310</b>	<b>250</b>	<b>2087</b>	<b>71</b>	<b>496</b>	<b>246</b>	<b>595</b>	<b>6055</b>	



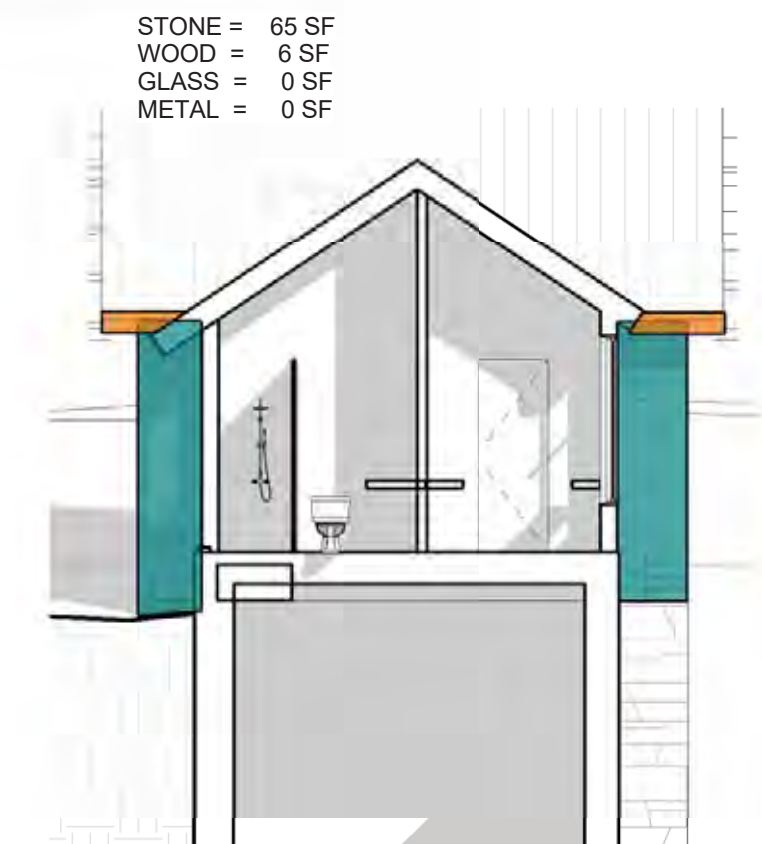
H CALCS MATERIALS- GARAGE- SOUTH  
1/8" = 1'-0"



G CALCS MATERIALS- GARAGE- EAST  
1/8" = 1'-0"



F CALCS MATERIALS- GARAGE- NORTH  
1/8" = 1'-0"



E CALCS MATERIALS- GARAGE- WEST  
1/8" = 1'-0"



D CALCS MATERIALS- MH- SOUTH- FRONT  
1/8" = 1'-0"



C CALCS MATERIALS- MH- EAST  
1/8" = 1'-0"



B CALCS MATERIALS- MH- NORTH  
1/8" = 1'-0"



A CALCS MATERIALS- MH- WEST  
1/8" = 1'-0"

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		7-1-2021	LAYOUT

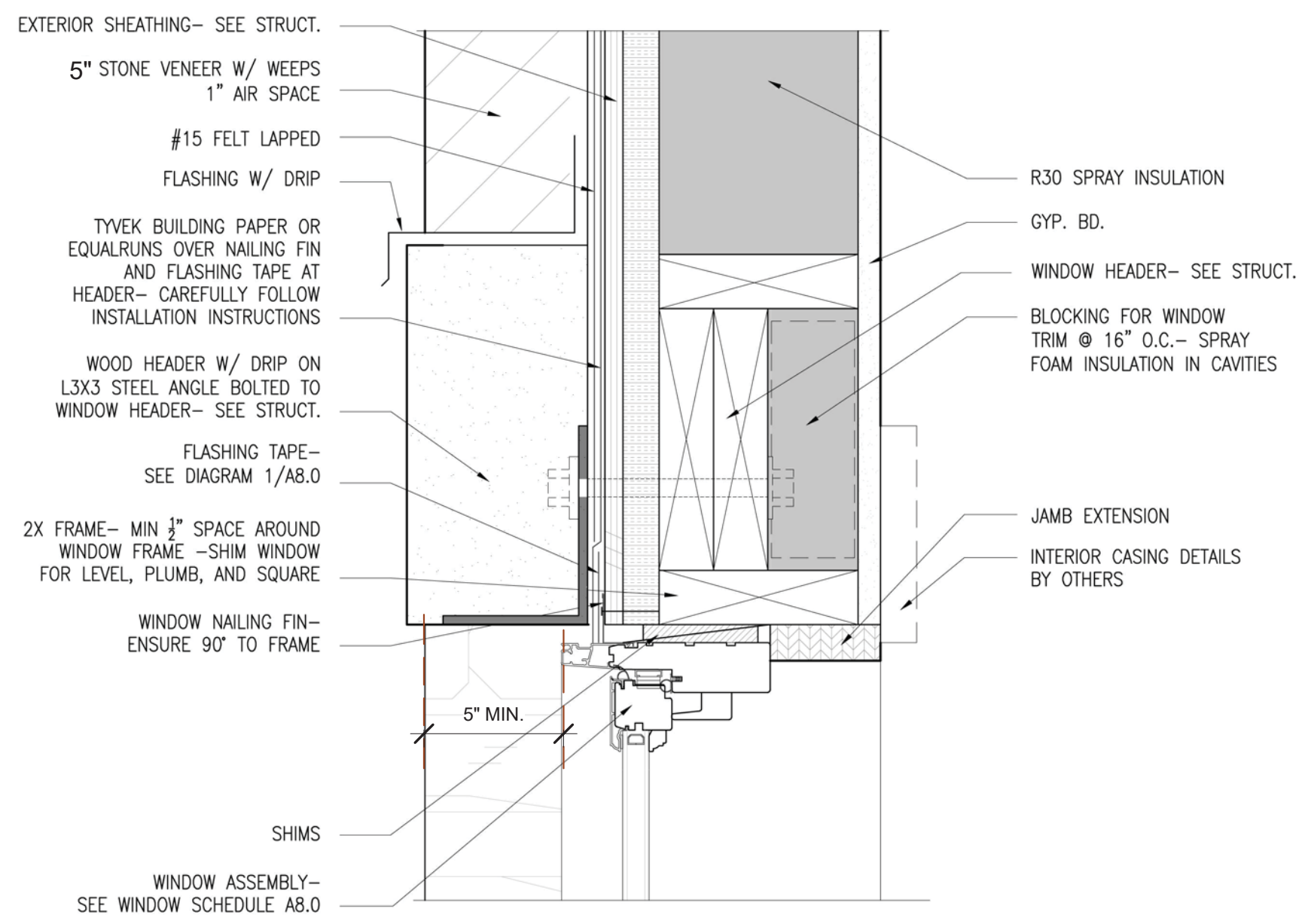
PROJECT NAME  
508 MV  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION  
MATERIAL CALCS

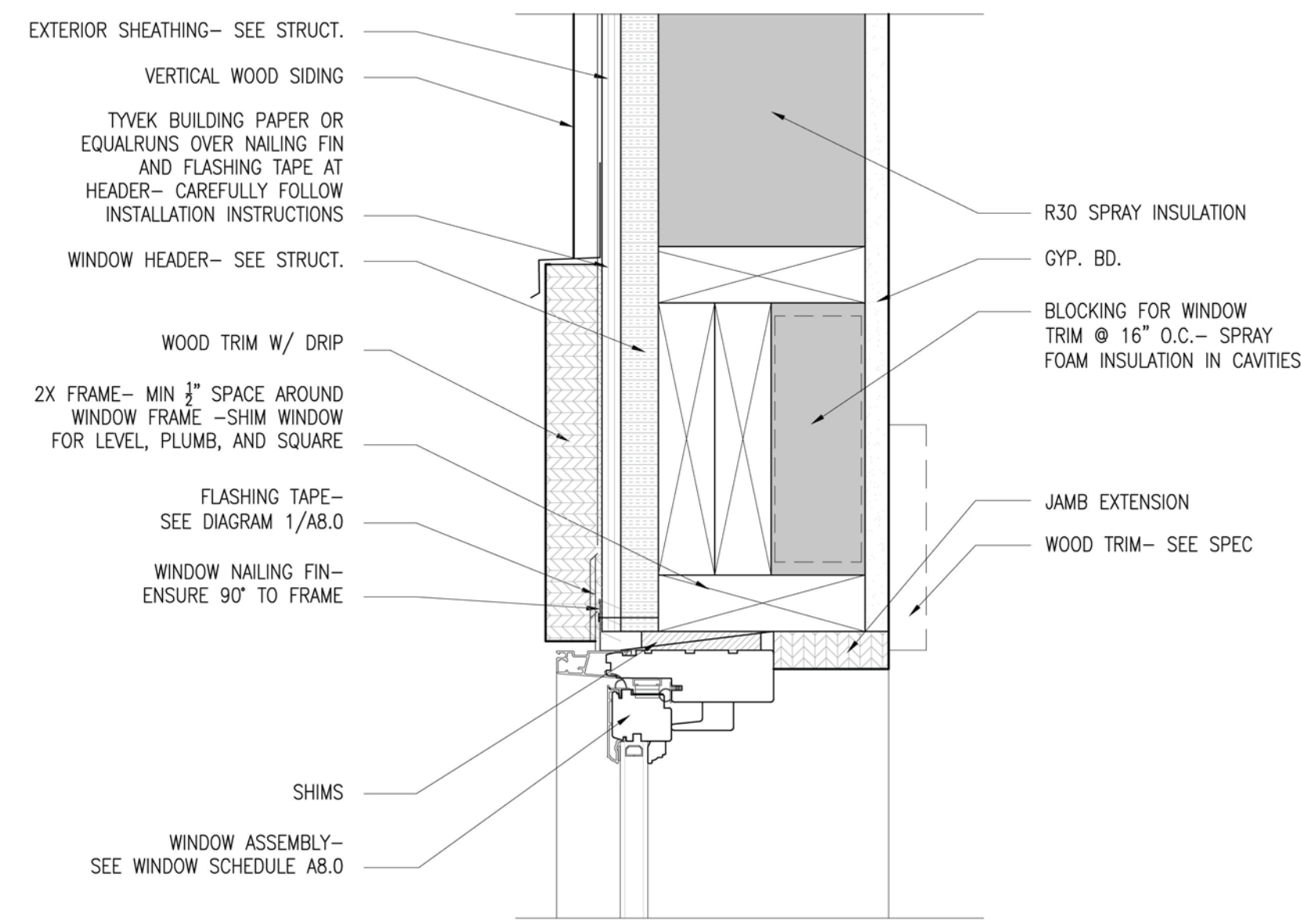
SHEET NUMBER  
A305

PROJECT MANAGER  
DRAWN BY  
REVIEWED BY  
DATE

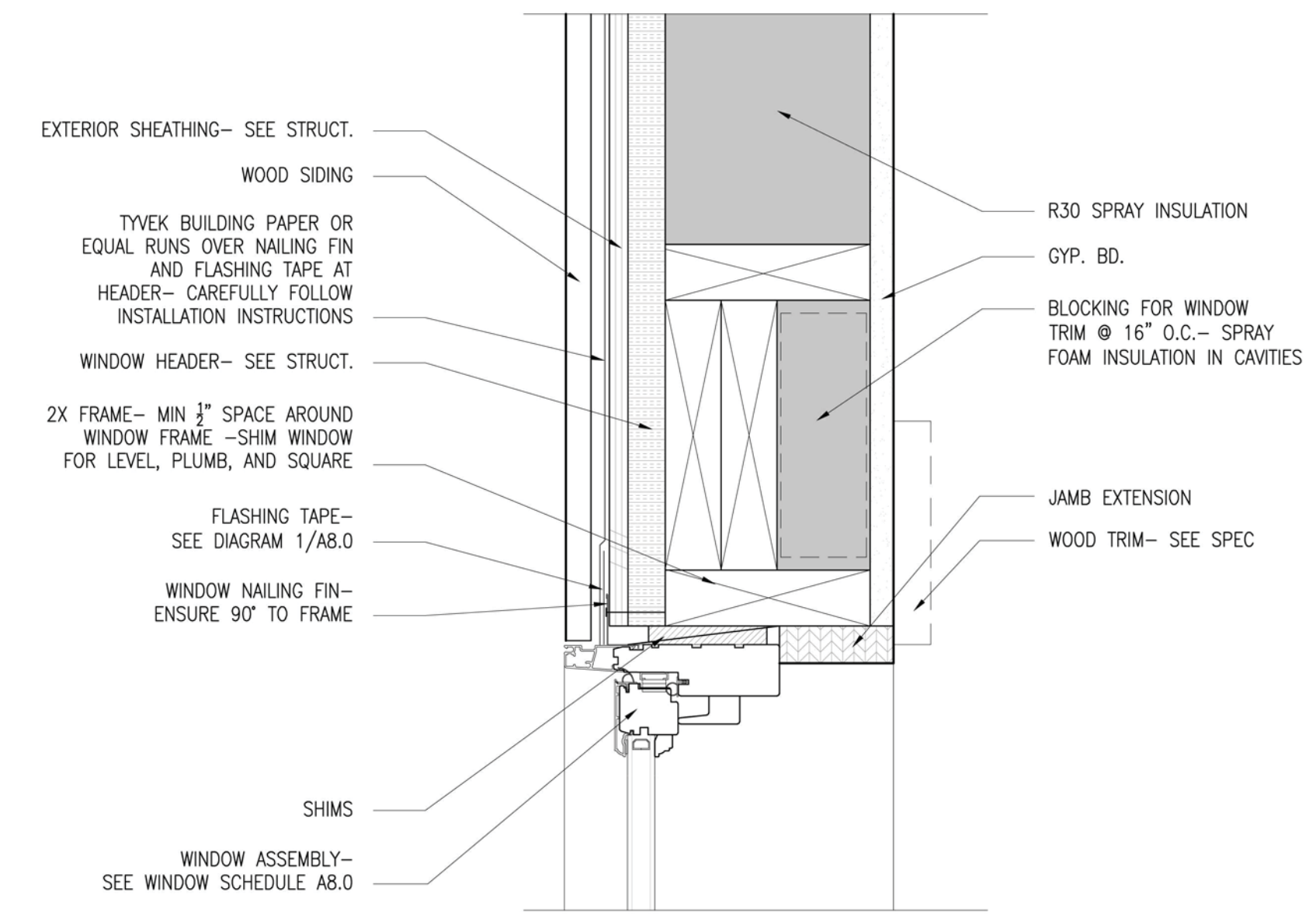




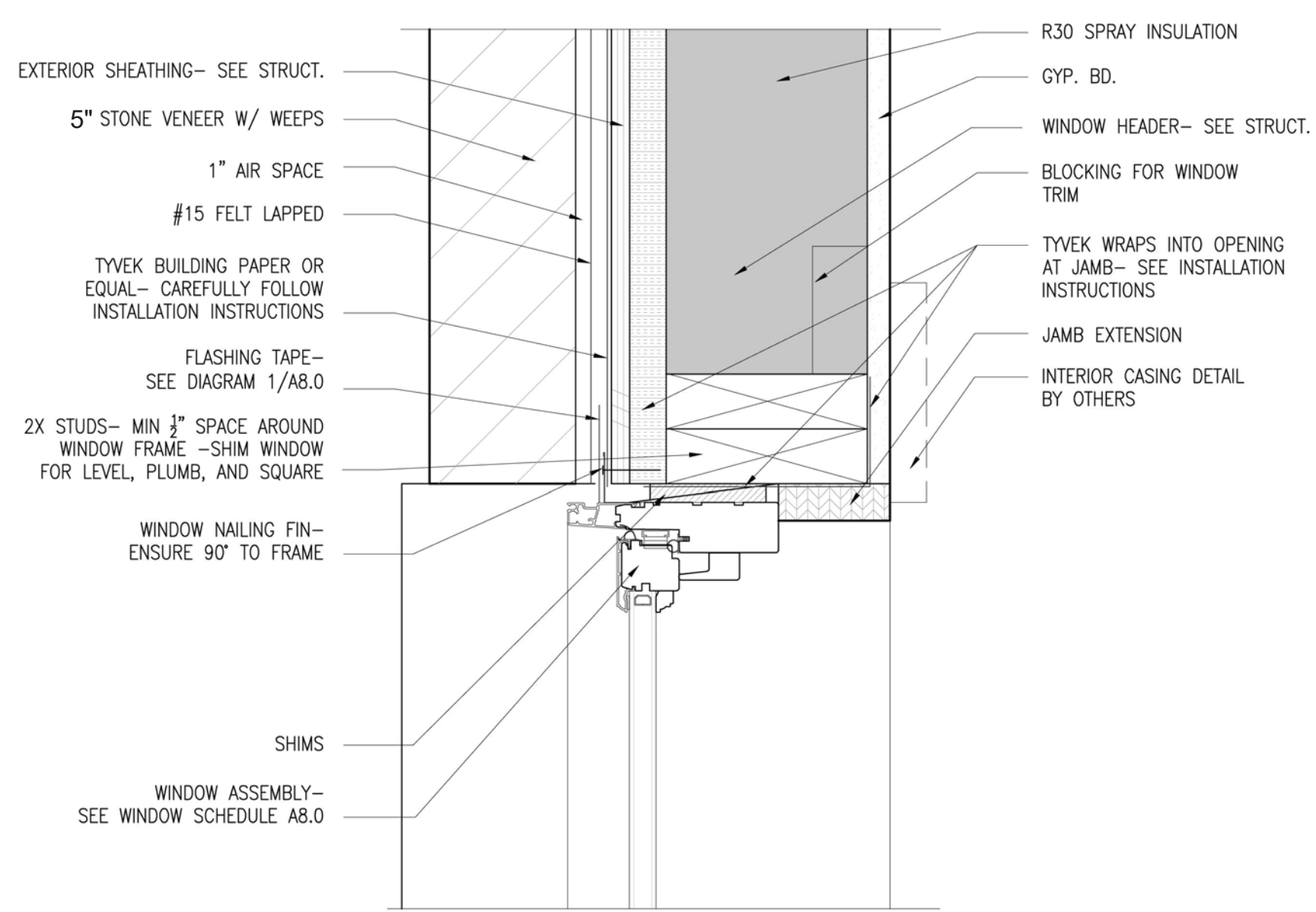
9 WINDOW HEAD  
A601 STONE SIDING SCALE: 3/4" = 1'-0"



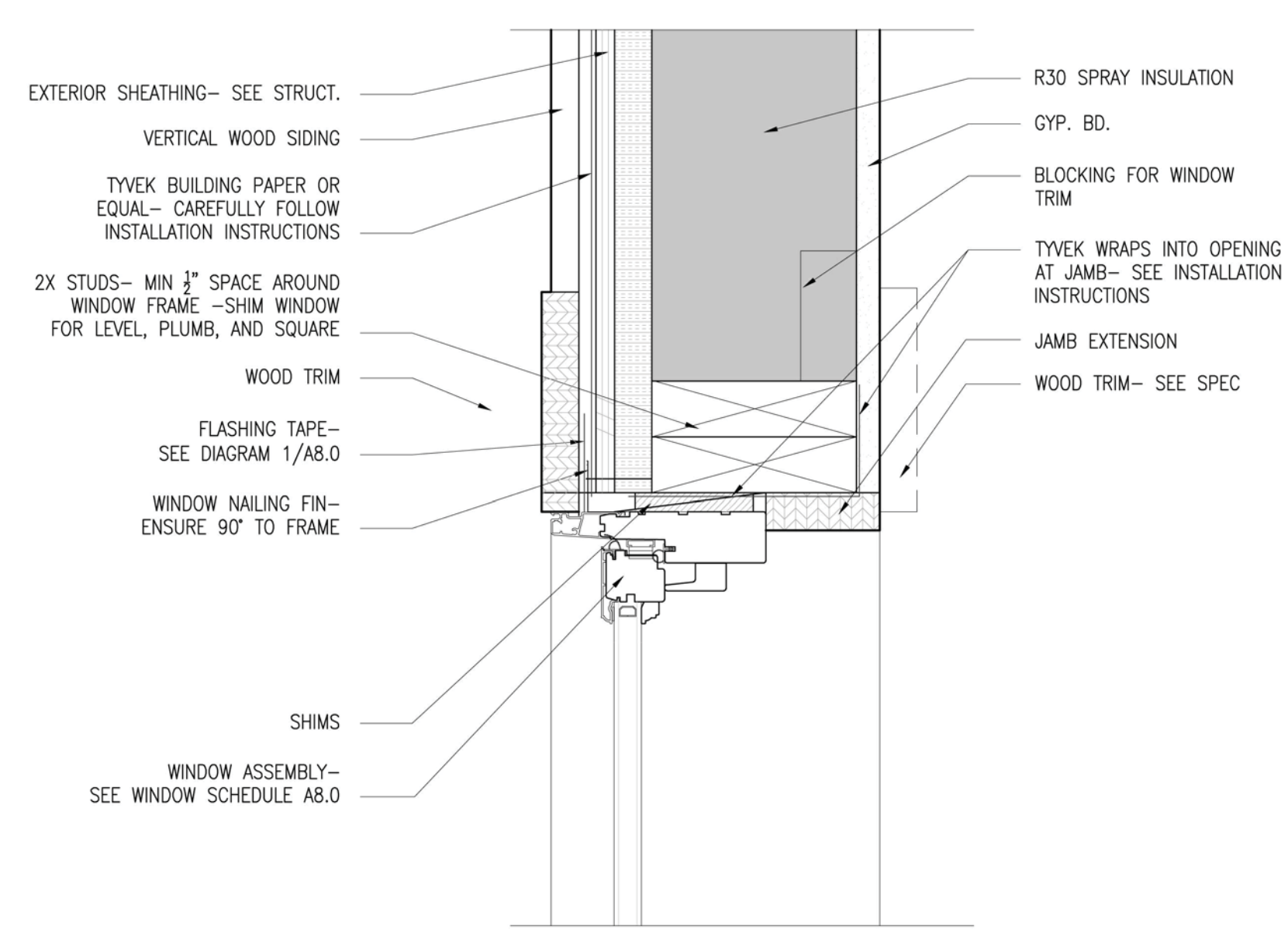
6 WINDOW HEAD  
A603 WOOD SIDING-TIMBER TRIM SCALE: 3/4" = 1'-0"



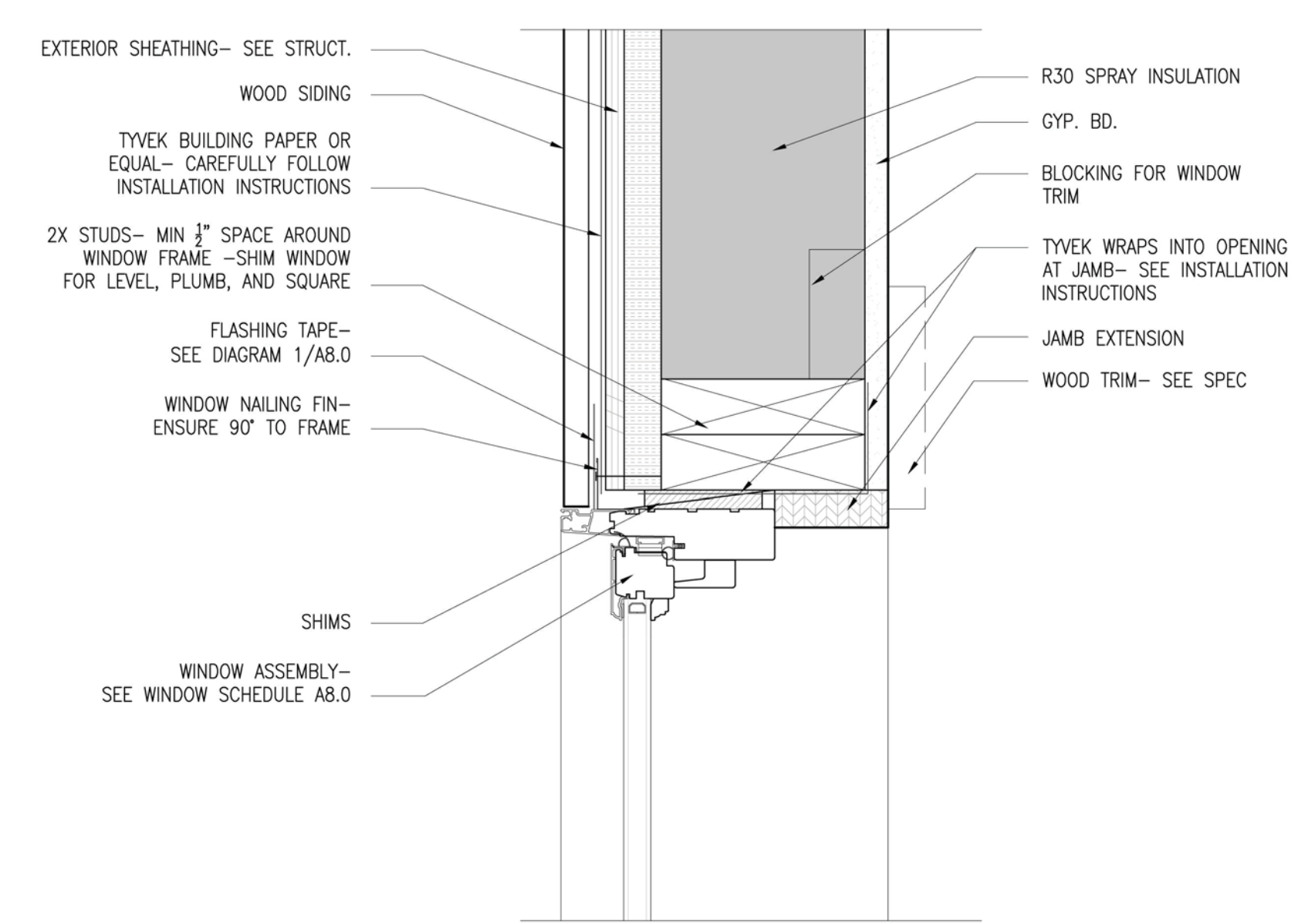
3 WINDOW HEAD  
A601 WOOD SIDING SCALE: 3/4" = 1'-0"



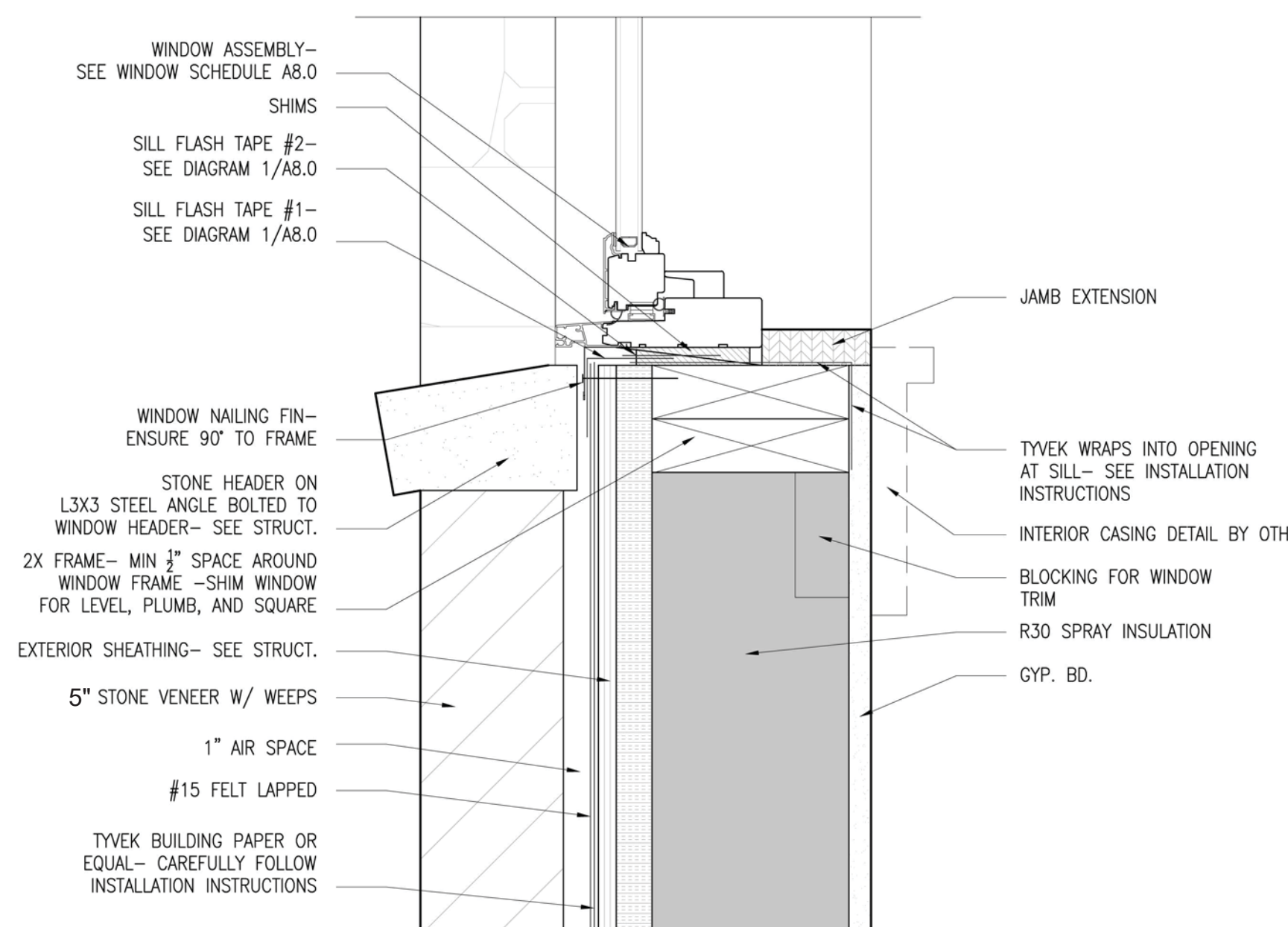
8 WINDOW JAMB  
A601 STONE SIDING SCALE: 3/4" = 1'-0"



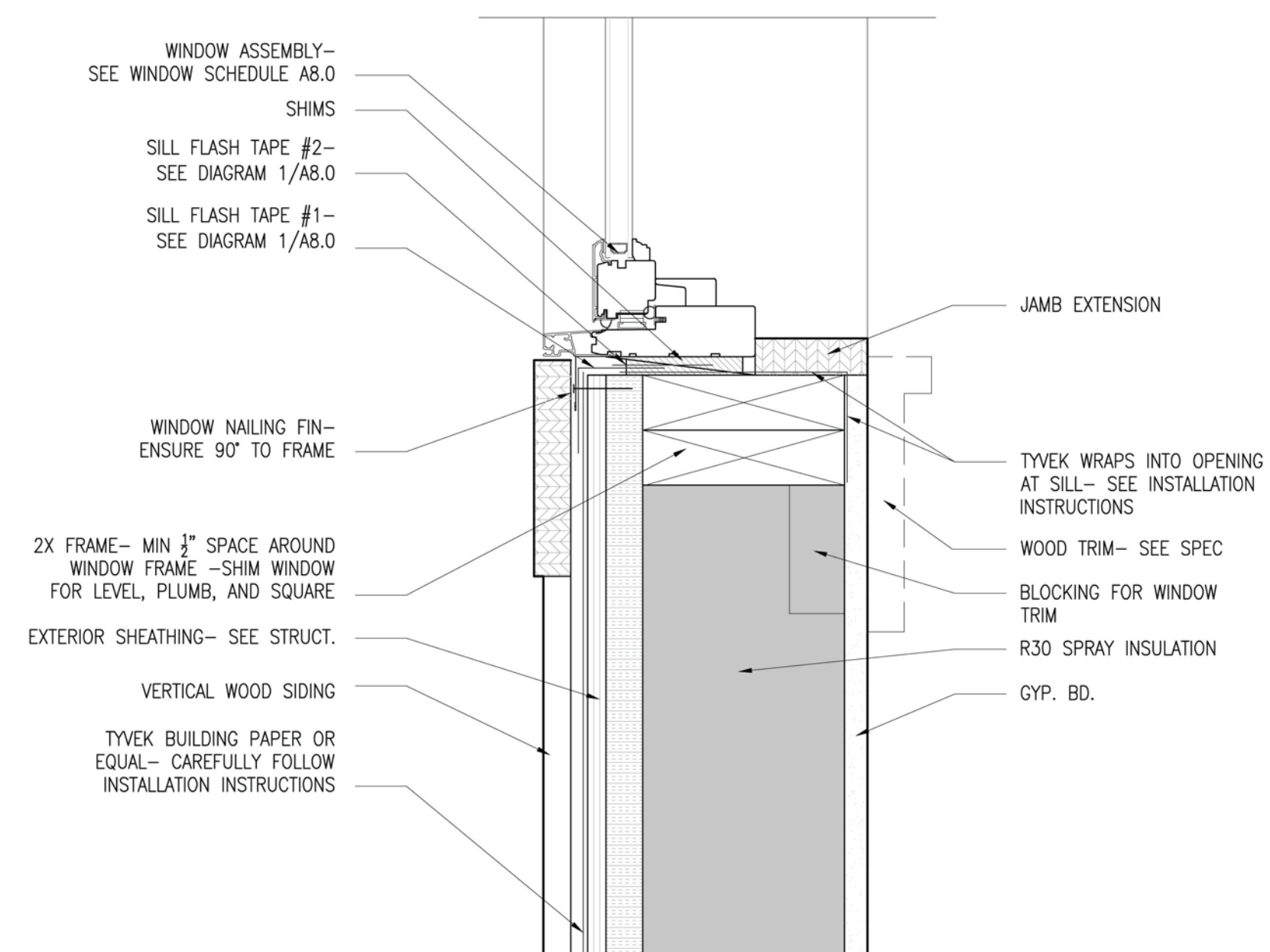
5 WINDOW JAMB  
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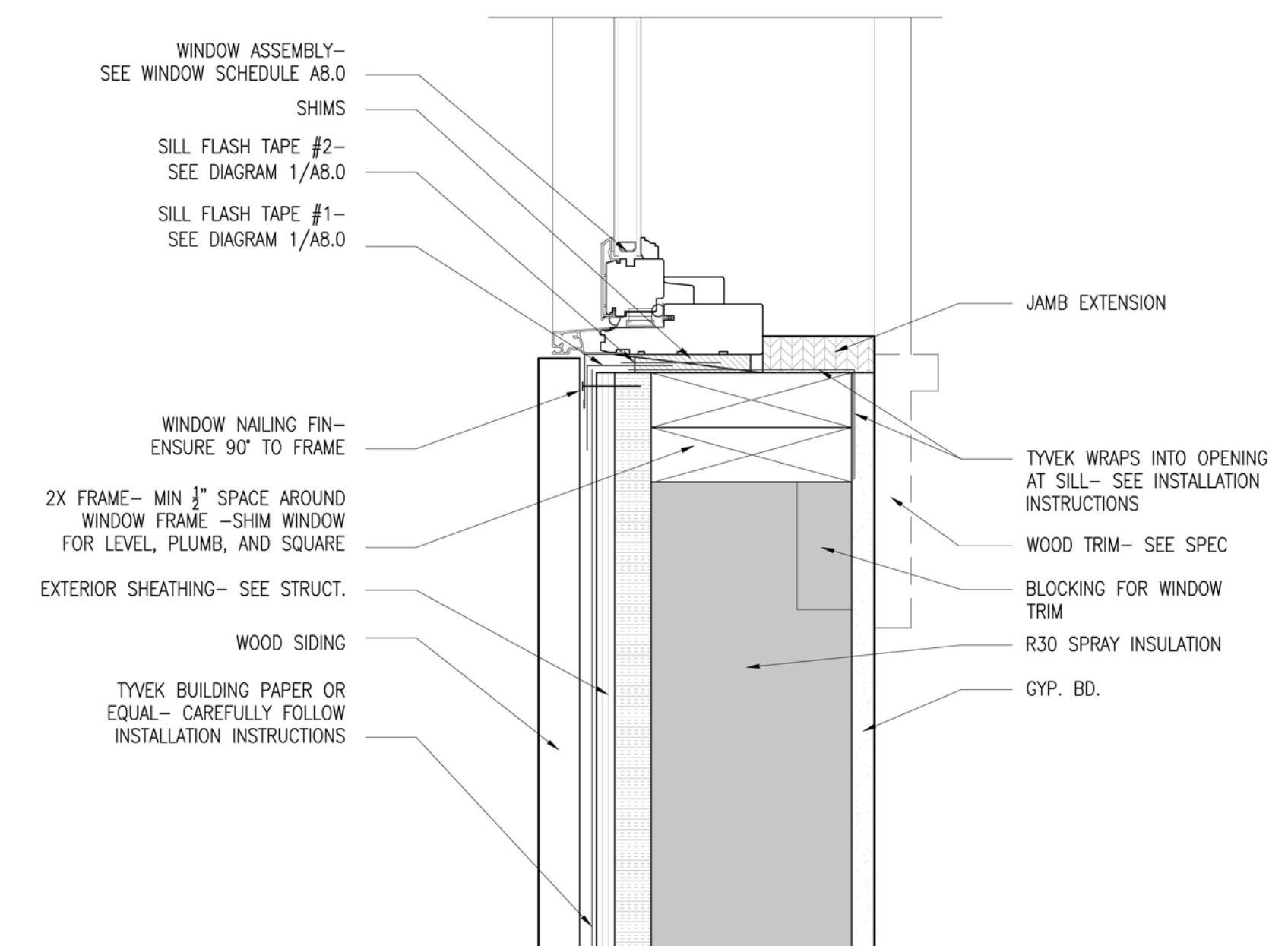
2 WINDOW JAMB  
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7 WINDOW SILL  
A601 STONE SIDING SCALE: 3/4" = 1'-0"

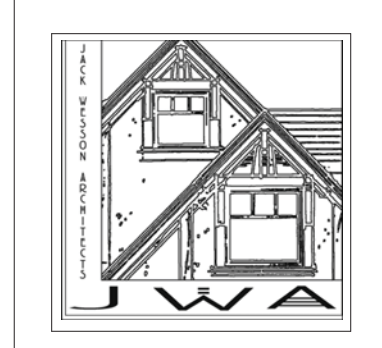


4 WINDOW SILL  
A601 WOOD SIDING-TIMBER TRIM SCALE: 3/4" = 1'-0"



1 WINDOW SILL  
A601 WOOD SIDING SCALE: 3/4" = 1'-0"

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		1-10-2022	1st SHEET
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		11-3-2021	MATERIAL AREAS
		10-25-2021	REVISIONS
		7-1-2021	LAYOUT

PROJECT NAME:	508 MV MOUNTAIN VILLAGE
PROJECT NUMBER:	A601
PROJECT MANAGER:	
DRAWN BY:	
REVIEWED BY:	
DATE:	











GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:  
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE  
NATURAL GAS: BLACK HILLS ENERGY  
POWER: SAN MIGUEL POWER  
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

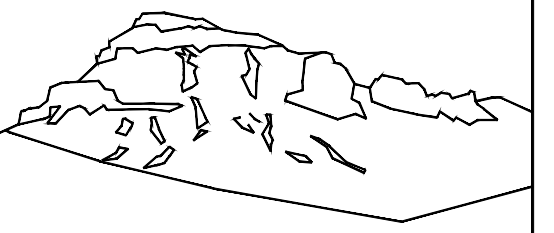
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre  
Engineering, LLC

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Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

SUBMITTAL 2022-05-16

Lot 508  
Russell Drive  
Mtn. Village, CO

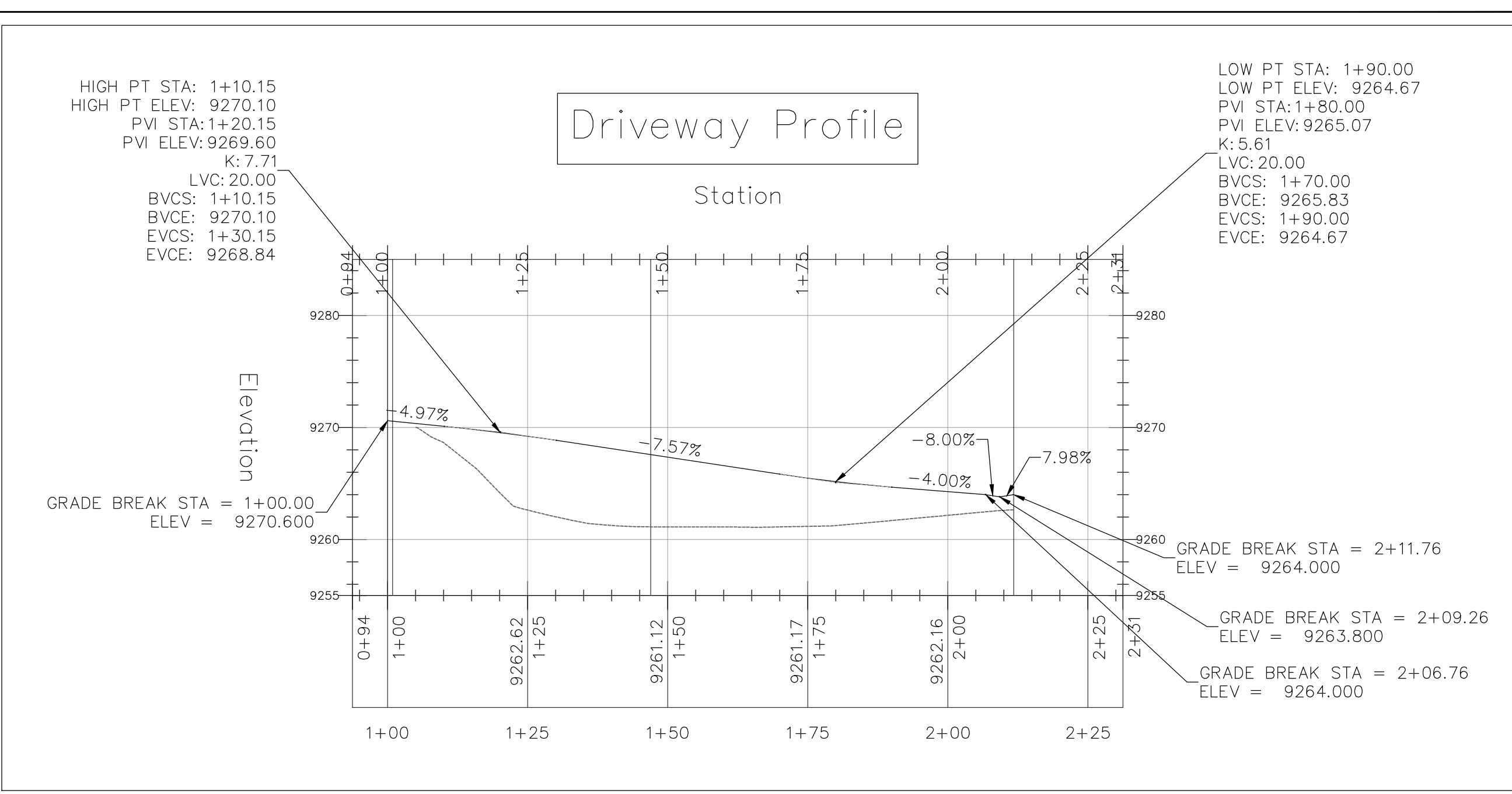
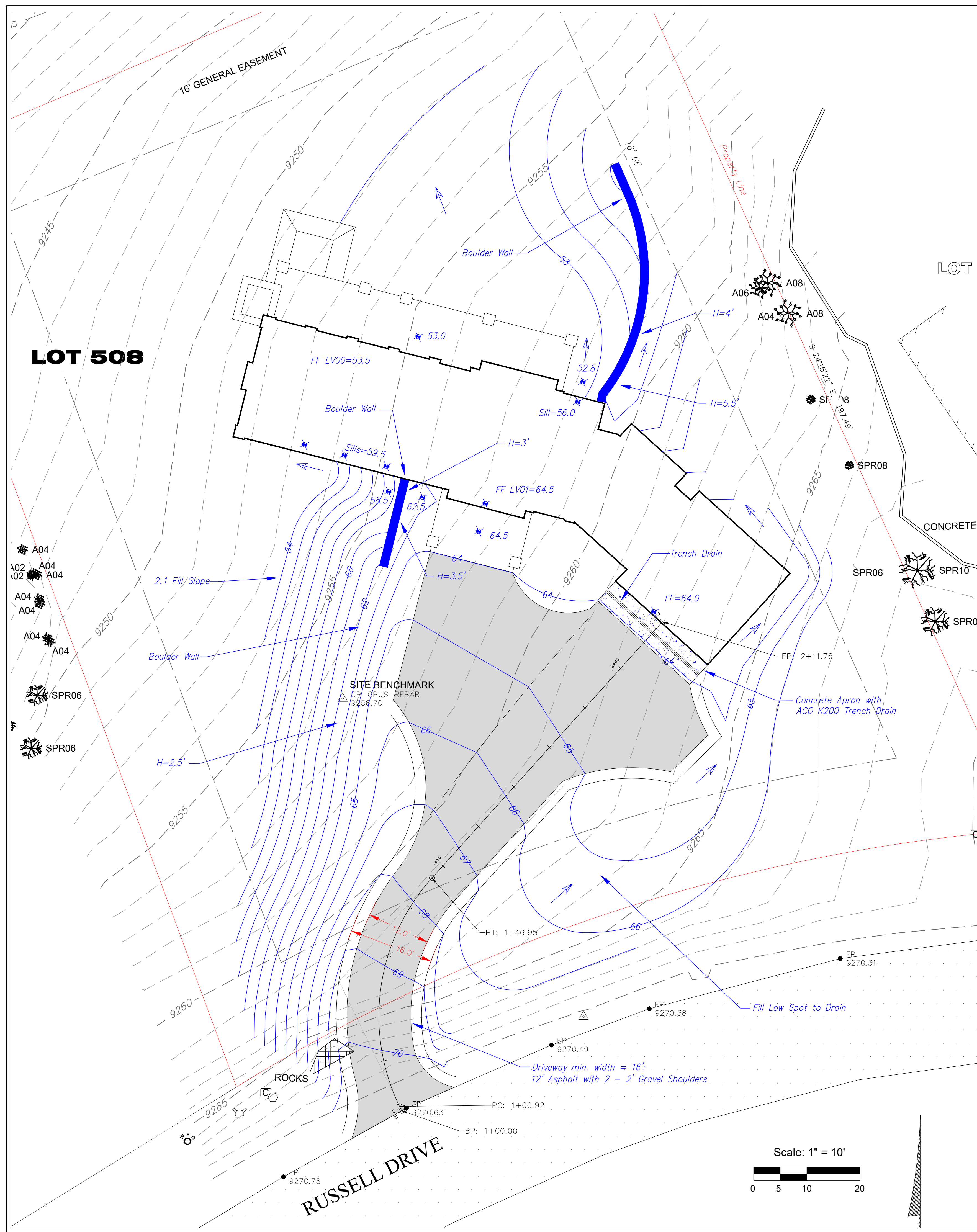


CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1





**Uncompahgre Engineering, LLC**

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

**SUBMISSIONS:**

SUBMITTAL 2022-05-16

Lot 508  
Russell Drive  
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**Grading and Drainage with Driveway Profile**

**C2**





Uncompahgre  
Engineering, LLC

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Telluride, CO 81435  
970-729-0683

SUBMISSIONS:  
SUBMITTAL 2022-05-16

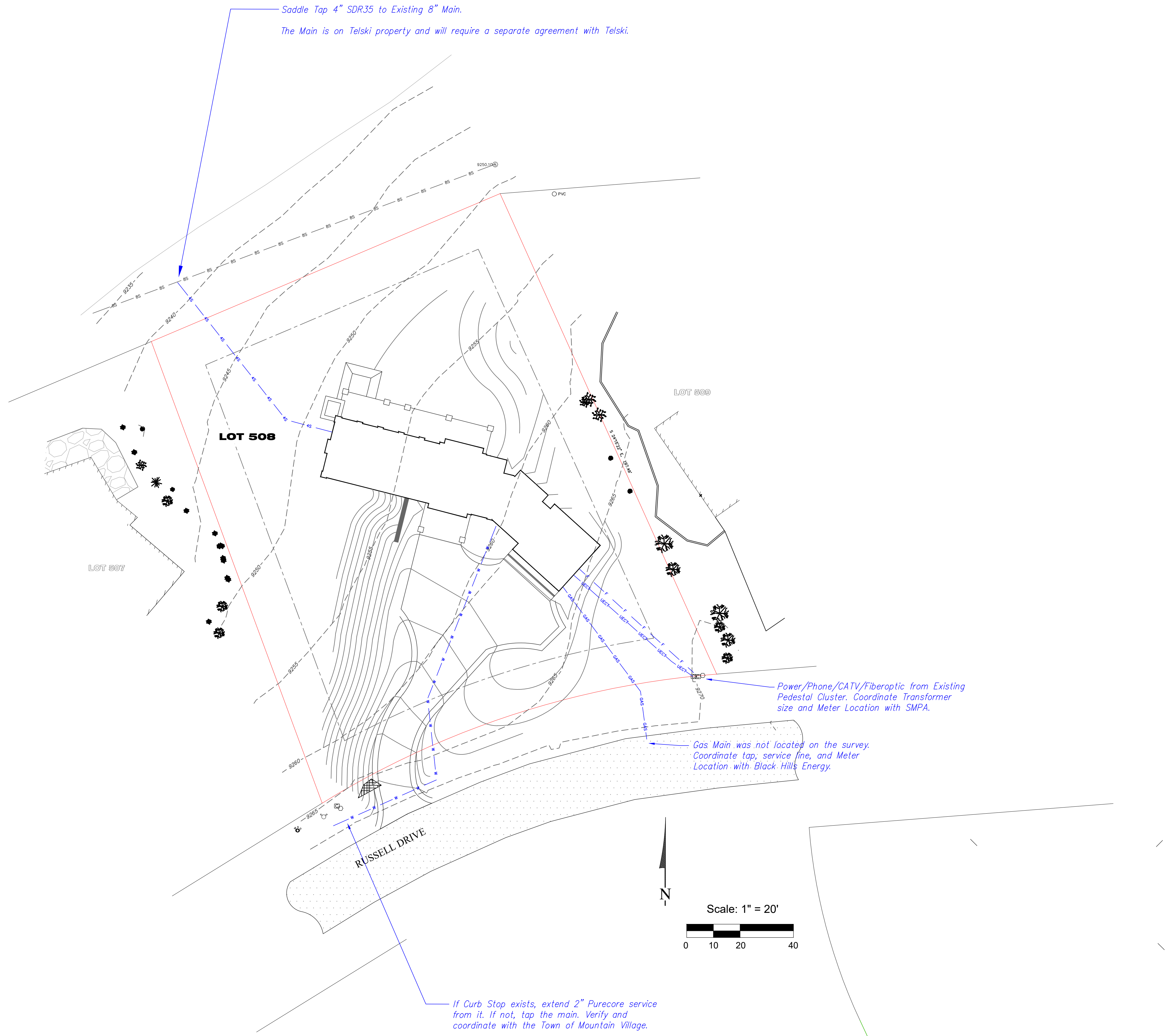
Lot 508  
Russell Drive  
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL  
CHAPTERS AND INTERDISCIPLINARY DRAWINGS  
AND REPORT ANY DISCREPANCIES TO THE  
ARCHITECT PRIOR TO ANY FIELD WORK BEING  
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3







AGENDA ITEM 10  
PLANNING & DEVELOPMENT SERVICE  
PLANNING DIVISION  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**TO:** Mountain Village Design Review Board  
**FROM:** Amy Ward, Community Development Director  
**FOR:** Design Review Board Public Hearing; November 3, 2022  
**DATE:** October 23, 2022  
**RE:** Staff Memo – Final Architecture Review (FAR) for Lot 644, TBD Adams Ranch Rd.

**APPLICATION OVERVIEW: New Multi-Family Development Deed Restricted Condominiums on Lot 644**

**PROJECT GEOGRAPHY**

**Legal Description:** LOT 644, TELLURIDE MOUNTAIN VILLAGE, FILING 22, ACCORDING TO THE PLAT RECORDED SEPTEMBER 22, 1989 IN PLAT BOOK 1 AT PAGE 932, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

**Address:** TBD Adams Ranch Rd.

**Applicant/Agent:** Mike Foster, Triumph Development

**Owner:** TOWN OF MOUNTAIN VILLAGE, A HOME-RULE MUNICIPALITY AND POLITICAL SUBDIVISION OF THE STATE OF COLORADO

**Zoning:** Multi Family

**Existing Use:** Vacant

**Proposed Use:** Multi Family

**Lot Size:** 1.6 acres

**Adjacent Land Uses:**

- **North:** Open Space
- **South:** Multi Family – Parker Ridge
- **East:** Open Space
- **West:** Multi Family - Outlaws



Figure 1: Vicinity Map



## **ATTACHMENTS**

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comm

**Case Summary:** Mike Foster of Triumph Development, on behalf of the Mountain Village and Mountain Village Housing Authority, is requesting Design Review Board (DRB) approval of a Final Architectural Review (FAR) Application for a new multi family development on Lot 644, 327 Adams Ranch Rd. The project consists of 29 employee condominiums contained in four separate buildings. There is an additional open sided structure that contains covered parking and tenant storage areas. The Lot is approximately 1.6 acres and is zoned multi family. There is a multi-family building with (12) one and two bedroom condominium units and (3) townhome style buildings with a total of (17) two and three bedroom condominium units. The project provides a total of (56) parking spaces.

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by Italicized Text.***

Table 1

<b><u>CDC Provision</u></b>	<b><u>Requirement</u></b>	<b><u>Proposed</u></b>
<b>Maximum Building Height</b>	<b>53' (gable) Maximum</b>	<b>44'</b>
Building A		44' 0"
Building B		36' 0"
Building C		44' 0"
Building D		41' 0"
<b>Average Building Height</b>	<b>53' (gable) Maximum</b>	<b>32' 3"</b>
Building A		42' 6"
Building B		32' 0"
Building C		26' 0"
Building D		28' 6"
<b>Maximum Lot Coverage</b>	65% (45,585 s.f.)	25% (17,810 s.f.)
<b>General Easement Encroachments</b>	None	Parking turn-around, partial parking space, hardscaping, landscaping*
<b>Roof Pitch</b>		
Primary		6:12
Secondary		3:12
<b>Exterior Material</b>		
<b>Stone</b>	<b>35% minimum</b>	
Building A	3%	
Building B	9.8%	
Building C	4.9%	
Building D	4.9%	
<b>Windows/Doors</b>	<b>40% maximum</b>	
Building A	22.4%	



Building B	16.1%	
Building C	18.9%	
Building D	18.9%	
<b>Parking</b>	1.5 space per unit = 43.5 spaces	56**

\*Building A is partially in existing northern GE, and there is a concurrent minor subdivision application to reduce a portion of the GE to 8 feet to accommodate the building.

\*\*Plus an additional 8 spaces along the access tract for a total of 64 parking spaces for the project.

**Design Variations:**

1. Exterior materials- less than 35% stone
2. Loading /Unloading Zone waiver

**DRB Specific Approval:**

1. Exterior Materials – fiber cement siding, fascia and soffit, window material (either vinyl or fiberglass per DRB discussions)
2. GE Encroachments – A portion of one parking space, parking turn-around, fire access stairs, grading
- 3.

*Please note, this memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated August 23, 2022*

**Chapter 17.3: ZONING AND LAND USE REGULATIONS**

**17.3.12: Building Height Limits**

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates mostly gable roof forms. Homes with a primary gable roof form are granted a maximum building height of 53 feet when zoned multi-family. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

*Staff: Staff has determined that the primary roof form for this project is a gable and therefore granted a maximum height of 53 feet. The applicant has calculated a max height of 44' and an average height of 32.3' which would meet the requirements for both max and max average height. Each building is also individually meeting the requirements for both maximum and average heights as shown above in Table 1. The plan set demonstrates height compliance with a parallel plane analysis that shows both existing and proposed grade, the applicant has revised the drawings to also show USGS data.*

**17.3.14: General Easement Setbacks**

Lot 644 is burdened by a sixteen (16) foot general easement that surrounds the property. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some



development activity within the GE and setbacks such as Driveways, Ski Access, Utilities, Address Monuments, and Fire Mitigation.

*Staff: The applicant has a concurrent application to alter the GE on the NW corner of the property, to minimize that GE by 10' and avoid encroachment of Building A. This plan also reduces the need for cut/fill and shoring associated with the site design. Town Council approval of a minor subdivision may not be necessary if the Town itself does not actually hold an interest in the GE, which appears to be the case. In that event, all that would be required is an agreement from TSG to quitclaim a portion of the GE or consent to the encroachment. Other approaches may also be possible to resolve this issue. One way or another, resolution of the potential encroachment for Building A is a recommended condition of DRB approval.*

*The proposal includes GE encroachments that fall into the above category of CDC permitted GE encroachments including the following:*

- *Driveway: A portion of the driveway is within the setback area on the E side of the lot.*
- *Utilities: There is fire department standpipe in the NW corner of the lot that appears to be right on the edge of the new proposed GE line and would likely constitute an encroachment. Otherwise, the utilities cross the GE on the east side of the lot.*
- *Jurassic Trail: The Jurassic Trail is an existing trail to be relocated to accommodate this development. Final Jurassic trail locations are to be determined and not related specifically with this design review, however will likely utilize at least some portion of the GE.*

*In addition to the above, the proposal also includes GE encroachments that do not fall into the above category of permitted Setback/GE development and would require DRB specific approval:*

- *A portion of one parking space encroaches into the eastern GE*
- *There is a parking turn-around area on the west side of the parking lot.*
- *There are pathways inclusive of some stairs on the west side of Buildings A and C. These are essential for fire department access to the rear of each building.*
- *Grading is proposed in the GE on all sides of the lot.*

*It should be noted that regardless of the encroachment, the DRB can waive the GE setback or other setbacks and allow for prohibited activities if the DRB makes the following findings pursuant to CDC Section 17.3.14(F):*

1. *The applicant has demonstrated that avoiding grading and disturbance in the general easement setback would create a hardship, and there is not a practicable alternative that allows for reasonable use of the lot;*
2. *The disturbance in the general easement setback is due to natural features of the site, such as steep slopes, wetlands and streams;*
3. *No unreasonable negative impacts result to the surrounding properties;*



4. *The general easement setback or other setback will be revegetated and landscaped in a natural state;*
5. *The Public Works Department has approved the permanent above-grade and below-grade improvements;*
6. *The applicant will enter into an encroachment agreement with the Town with the form and substance prescribed by the Town; and*
7. *Encroachments into the general easement setback or other setbacks are mitigated by appropriate landscaping, buffering and other measures directly related to mitigating the encroachment impacts.*

*Staff recommends a finding that all 7 criteria are met here except for No. 6, which does not apply if the Town itself holds no easement rights in the GE for this lot, which appears to be the case. If TSG consents to the encroachment or agrees to relinquish a portion of the GE near Building A, there would be no encroachment.*

*Any home with foundation walls within 5' of the GE or setback will require a footer survey prior to pouring concrete to ensure there are no additional encroachments into the setback area.*

## **Chapter 17.5: DESIGN REGULATIONS**

### **17.5.4: Town Design Theme**

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

*Staff: At Initial Review, the project was found to be meeting the criteria of the Town design theme. The applicant is requesting a design variation for less than the 35% requirement of exterior stone as well as a specific approval for cementitious siding and composite windows. These were approved at Initial Review.*

### **17.5.5: Building Siting Design**

The CDC requires that any proposed development blend into the existing landforms and vegetation.

*Staff: Criteria Met.*

### **17.5.6: Building Design**

The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation. Roofs shall be a composition of multiple forms that emphasize sloped planes and vertical offsets.

*Staff: The applicant is requesting a waiver to the stone requirements as they are not meeting the 35% required by the CDC. This design variation was approved at Initial*



*Review. Specific approvals for cementitious panels and composite windows were also granted at Initial Review.*

*Recess of windows and doors when set into stone are required at increased depths to help emphasize the heavy grounded foundation. The applicant has revised drawings to include details that demonstrate compliance with this requirement.*

*Additionally, multi-family development requires gutters, downspouts or permitted heat-tape to channel run-off away from pedestrian areas. The applicant shows proposed guttering, and are still working with their engineering team to finalize the drainage path from the gutters into the stormwater management system. This detail will be provided with building permit set. The applicant has revised the roof plans to show snow safety devices wherever necessary.*

*Solar panels are depicted on the roof plans. Panel specifications and mounting systems have been provided.*

#### **17.5.7: Grading and Drainage Design**

*Staff: The entirety of the lot is proposed for some level of re-grade, this is necessary to accommodate the four buildings as well as required parking and access. DRB granted a specific approval for this proposed grading within the GE at Initial Review.*

*A stormwater drainage system is proposed that has an underground detention tank prior to discharging into the existing Town storm drains. On multi-family projects the CDC requires that a drainage study is done that calculates projected run-off and has been provided by the applicant.*

#### **17.5.8: Parking Regulations**

*Staff: The applicant has shown (5) interior, (12) covered, and (39) exterior parking spaces on their plan. The spaces are meeting the dimensional requirements of 9' x 18'. There are an additional (8) spaces shown in parallel format along the access tract. The CDC does not indicate a required space size for parallel parking, but the spaces as shown seem sufficient at 10' x 24'. Overall, the applicant is exceeding the requirement of (44) spaces and provides (64) parking spaces for (65) bedrooms. Between 1-5 spaces are required to be provided for HOA maintenance vehicles. With the excess spaces provided the applicant is meeting this requirement. It should be noted that one parking space is partially encroaching into the GE. A specific approval for this partial space in the GE was granted at Initial Review. As a point of reference, the last two development projects that included deed restricted housing both asked for a reduced parking requirement of one parking space per unit which was granted. The town is meeting and exceeding the parking requirements for this project.*

*Garage back-out space is sufficient to meet CDC requirements.*

*Pedestrian Corridor – the CDC requires a 10' pedestrian corridor be established in front of main building entries along parking areas. This is not included on the site plan. There is a 5' wide sidewalk directly adjacent to the parking area along buildings A, C and D. Building B has garage entrances for each individual unit.*





Staff feels that the provided sidewalks and garage entrances are sufficient connections to the entrance of buildings B, C and D but that Building A has a gap between parking spaces for the required ADA parking and therefore this requirement is being met.

Multi-family development requires a loading/unloading area on the premises. The applicant is asking for a waiver from this requirement.

Snow storage areas have been identified to the west of the parking area as well as to the north and south of the access tract

Details of the overall signage plan for the parking area have been provided.

**17.5.9: Landscaping Regulations**

The landscape plan consists of cottonwood, bristlecone pine, blue spruce and aspen trees for screening and shade and additional shrubs, ornamental grasses and perennials. The plan is not meeting the diversity of species clause of the CDC, however staff recommends that a waiver of this be granted to keep the landscaping for the project as affordable as possible. Overall, the plan does present a finished looking landscape with planters that break up the larger expanse of the parking area, emphasizes entrances to buildings and provides shade and visual interest at the proposed play area. Trees along the access road should also help to screen headlights from adjacent properties.

The landscape plan also shows the playground equipment proposed for the play area just south of Building D. It consists of a shade structure with picnic table, an at grade slide and a climbing structure. The CDC does not have any design guidelines for play equipment, staff generally feels comfortable with the equipment as proposed.

The Town Forrester has also indicated that a tree protection detail should be included. The Town also requires that trees must be guaranteed for two years by the installer, a condition of approval will be that a development agreement is entered into with the Town



*to guarantee the landscape as such. He also raises a concern that trees planted on steep slopes need extra care that ensures adequate irrigation until established. An irrigation plan has not been provided. Another point raised by the Forrester is that “parking lot planters and other planter areas should have a soil specification of local native top soil with 4-6% organic matter to a minimum depth of 30 inches”. Staff would like to see a revised landscape plan that addresses tree protection and irrigation and specifies planter box soil composition prior to building permit.*

#### **17.5.10: Trash, Recycling and General Storage Areas**

*The trash enclosure is 10' x 17', with a 10' 4" ceiling height clearance, this meets the minimum requirements for multi-family units within the CDC. The applicant has revised the drawings to show (3) 3 yard dumpsters for trash and one for Recyclables. One trash and the recycling container are both shown to be ADA accessible. The applicant has provided information from Bruin Waste Management indicating that this plan should be sufficient for a development of this size, requiring two trash and one recycling pick up per week. Staff believes all requirements for trash and recycling are being met.*

#### **17.5.11: Utilities**

*Staff: Utilities are generally shown running down the driveway to connect to existing pedestals. There is an existing fire hydrant on the eastern edge of the property, so a water line is already stubbed up the access tract and to the site. There is an existing electrical transformer to the west of the proposed driveway. Sewer access is shown to connect within the sewer easement area to the east of Lot 645 (Parker Ridge). The applicant did investigate an alternate sewer access, but due to gas line conflicts and the elevation of the existing manhole as proposed, it was determined that the sewer connection as proposed is the best option. Public Works has approved this sewer tie in location.*

#### **17.5.12: Lighting Regulations**

*Staff: The applicant has provided a lighting plan with photometric study. The lighting plan is relatively simple – only having three fixture types. There is one standard streetlight shown at the Adams Ranch Road intersection. Bollard fixtures are shown within planter boxes to illuminate the parking area as well as along the sidewalk adjacent to the access tract. These are both Town of Mountain Village Standard fixtures for public areas.*

*A simple wall mounted sconce that appears to meet the definition of full cut off, as well as falls within allowable levels for luminosity and color is the primary lighting at the building entrances.*

*The address monument specifies the lighting fixture as P1, but staff believes this is an error as the address detail shows a sconce that resembles the wall mounted sconce used on the buildings. The applicant should clarify this at the hearing.*

#### **17.5.13: Sign Regulations**

*Staff: A revised address monument detail was provided. A gooseneck light fixture is shown, staff believes this is intended to be the W1 fixture that is provided with the specifications, but this should be clarified by the applicant. The monument has been revised to bring the bottom of the lettering up to 54" and to raise the overall height of the monument to 8'6".*

*A final address for this property is still being discussed. This will be confirmed with the County and EMS services prior to Certificate of Occupancy to assure that address remains logical in relation to the properties around it as this project moves forward.*



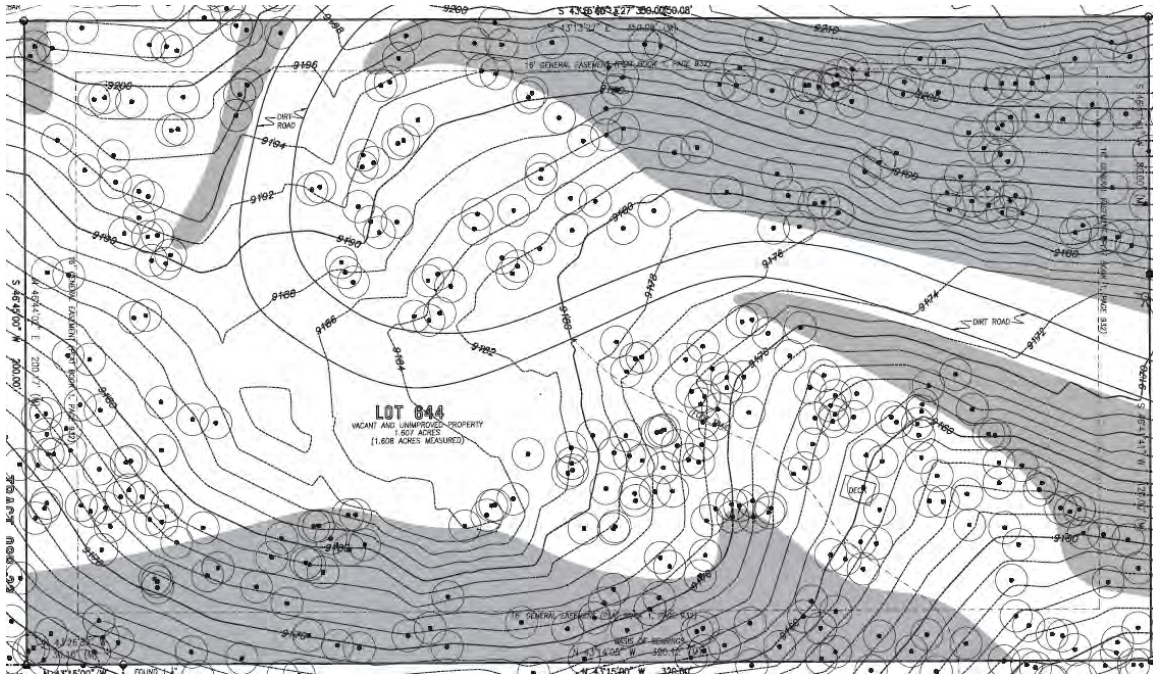
## Chapter 17.6: SUPPLEMENTARY REGULATIONS

### 17.6.1: Environmental Regulations

Staff: The Town Forrester has indicated that all fire mitigation requirements are being met.

No snowmelt is contemplated with this project as it relates to roads, parking areas and sidewalks in an effort to reduce overall costs related to the project.

Steep slopes are present on Lot 644. See below, areas of slope over 30% in grade are indicated with gray shading:



The primary impact to steep slopes is as it relates to Building B. There is also some impact from Building C and D. Overall the siting of the buildings as well as proposed parking area seems somewhat driven by an attempt to avoid the steepest areas of the lot. A practical alternatives analysis to avoiding steep slope disturbance was provided in by the applicant.

### 17.6.6: Roads and Driveway Standards

Staff: The applicant has revised the access to show the required width and more detail regarding shoulder/drainage. They have also included an alternative access plan that incorporates a snowplow turn-around. These drawings are being provided to help DRB understand how the site is accessed, however the final approvals for the access will be finalized as a separate Class 2 approval. DRB should focus their review on the buildings located on Lot 644 at this time.

### 17.6.8: Solid Fuel Burning Device Regulations

Staff: There are no solid fuel burning devices indicated on the plans.

## Chapter 17.7: BUILDING REGULATIONS

### 17.7.19: Construction Mitigation

Staff: Construction mitigation plans have been submitted. They have provided the required construction dumpster, bear proof trash container, toilets, and material laydown areas. The site will be surrounded by construction fence. There is no silt fence or waddles indicated to help control stormwater run-off. These will be especially important on a site



*this steep. They have included a concrete wash out area. Parking is indicated on the site. During some phases of construction it is likely they will need to park offsite and will need to coordinate with the Town for any needed parking permits. A crane will be utilized and doesn't impact any adjacent properties or roadways.*

**Staff Recommendation:** Staff recommends the DRB approve the Final Review for Lot 644, TBD Adams Ranch Rd., based on the findings and CDC requirements listed in the staff memo of record.

**Staff Note:** *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

**Proposed Motion:**

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architectural Review for a new multi family development on Lot 644 consisting of 29 employee condominiums based on the evidence provided within the application and the Staff Report of record dated October 23, 2022, with the following design variations and DRB specific approvals:

**Design Variations:**

1. Exterior materials- less than 35% stone
2. Loading/Unloading Zone waiver

**DRB Specific Approval:**

1. Exterior Materials – fiber cement siding, fascia and soffit and composite window materials
2. GE Encroachments – A portion of one parking space, parking turn-around, fire access stairs, and grading are approved. Additionally, the DRB finds that the criteria in CDC Section 17.3.14(F) are met to waive the GE setback so as to allow Building A to be located no more than 10 feet into the existing GE, except for (F)(6) which does not apply, provided that the rights of TSG or any other third parties in the GE are either waived or adequately addressed as determined by the Town Attorney.

**And, with the following conditions:**

1. Prior to building permit the applicant shall provide a revised landscape plan that shows tree protection details, specifies planting bed soil composition and provides irrigation details for staff review.
2. Prior to Certificate of Occupancy the applicant shall enter into an improvements agreement that guarantees all plantings for (2) years as required by the CDC.
3. Prior to building permit, the applicant shall confirm the lighting specification for the address monument for staff review.
4. Prior to building permit, the applicant will finalize a separate Class 2 Design Review Application Process for the access on Tract F22-2.
5. Prior to final review the applicant shall revise the roof plans to indicate any snow safety devices, shall include specifications for solar panels as well as mounting systems, and shall other revise drawings to indicate how gutters will drain.
6. Prior to building permit, the applicant shall provide additional details regarding the drainage of the gutter systems and how they tie into the stormwater system.



7. Prior to building permit the applicant shall provide a revised construction mitigation plan that address stormwater run-off and indicates necessary silt fencing and/or waddles.
8. Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
9. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
10. Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and
  - e. Any other approved exterior materials
11. It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
12. The approval with respect to Building A is subject to addressing any rights of third parties in the portion of the GE adjacent to Building A to the satisfaction of the Town Attorney.

/aw



## Lot 644 – Mountain Village – Final DRB Submittal Package: 10/19/22

### Design Review Process Application Checklist:

1. *Application Form and fee acknowledgement Form:*
  - a. Done – Submitted at Initial DRB
2. *Fees:*
  - a. Done – Submitted at initial DRB
3. *Proof of Ownership:*
  - a. Done – Submitted at initial DRB
4. *Agency Letter:*
  - a. Done – Submitted at initial DRB
5. *HOA letter:*
  - a. Done – Submitted at initial DRB
6. *Title Report:*
  - a. Done – Submitted at initial DRB
7. *Development Narrative (updated)*
  - a. See Pages 5 and 6 below for updates to Project Summary
8. *Existing Condition Plan*
  - a. See Page 7
9. *Proposed Development Plan*
  - a. Site Plan – Page 8
  - b. Grading Plan – Page 9
  - c. Building Elevations and Floor Plans – Page 10
  - d. Computer Massing Model – Page 11



- e. Landscape Plan – Page 12
- f. Outdoor Lighting Plan – Page 13
- g. Construction Mitigation Plan – Page 14-15
- h. Material Board – Page 16
- 10. *Engineered Infrastructure Plan*
  - a. See Page 17
- 11. *Practicable Alternative Analysis*
  - a. See page 18
- 12. *Design Variations*
  - a. See page 19
- 13. *Public Improvements Cost Spreadsheet*
  - a. See page 20
- 14. *Plan Set Sheet Requirements*
  - a. Noted: Drawing sheets attached are in compliance with these guidelines.
- 15. *Licensed Architect Required*
  - a. Noted: Mike Foster with Triumph Development West is a licensed Architect in the State of Colorado
- 16. *ePlan Submittal*
  - a. *Noted*



**Lot 644 – Mountain Village – Final DRB Conditions of Approval:**

- 1) *Prior to final review, the applicant shall provide window and door recess details*
  - a. See page 21
- 2) *Prior to final review, the applicant shall revise height compliance drawings to show USGS Datum*
  - a. See page 22
- 3) *Prior to final review, the applicant shall revise the address monument design to meet all CDC regulations*
  - a. See Page 23
- 4) *Prior to final review the applicant shall revise the fire mitigation/tree removal plan to include Zone 1, 2, and 3 fire mitigation area boundaries*
  - a. See Page 24
- 5) *Prior to final review, the applicant shall revise the road width standards*
  - a. See Page 25
- 6) *Prior to final review, the applicant shall revise the parking plan to provide a pedestrian corridor from the parking area to Building A, to indicate areas of snow storage and to detail parking area signage*
  - a. See Page 26
- 7) *Prior to final review the applicant shall either revise plans to include a loading/unloading area or request a design variation for a waiver of this requirement*
  - a. See Page 27
- 8) *Prior to final review, the applicant shall provide information regarding projected trash removal needs from the development and if necessary, revise the trash area designs to reflect additional capacity*
  - a. See Page 28
- 9) *Prior to final review the applicant shall revise the roof plans to indicate any snow safety devices, shall include specifications for solar panels as well as mounting systems, and shall other revise drawings to indicate how gutters will drain*
  - a. See Page 29
- 10) *Prior to final review the applicant shall provide stormwater drainage study calculations*
  - a. See Page 30



- 11) *Prior to final review the applicant shall provide more information on any proposed retaining wall heights*
  - a. See Page 31
- 12) *Prior to final review the applicant shall provide a steel slope practicable alternatives analysis*
  - a. See Page 32
- 13) *Prior to final review, the applicant shall indicate fuel source for all Fireplace devices*
  - a. See Page 33
- 14) *Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition*
  - a. See Page 34
- 15) *A monumented land survey of the footers will be provided to pouring concrete to determine there are no additional encroachments into the setbacks.*
  - a. See Page 35
- 16) *Prior to the Building Division conducting the required framing inspection, a 4'x8' materials board will be erected on site consistent with the review authority approval to show:*
  - a. *The Stone, setting pattern and any grouting with the minimum size of 4'x4'*
  - b. *Wood that is stained in the approved color(s)*
  - c. *Any approved metal exterior material*
  - d. *Roofing Materials, and*
  - e. *Any other approved exterior materials*
    - i. See Page 36
- 17) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, TOMV) so that the relocated position is satisfactory.*
  - a. See Page 37



# 7. Lot 644 – Mountain Village – Development Narrative

**\*Blue font indicates changes from initial Development Narrative**

Lot 644 is a 1.6 acre parcel in the Meadows neighborhood of Mountain Village. The property is zoned for Multi-Family Housing with a Zoning Designation for Employee Housing Condominiums. The property has been allocated 41 dwelling units in the Mountain Village CDC.

This development application has originally included a Class 3 Design Review Application as well as request to modify the perimeter General Easement to a 6-foot easement behind the northwest condominium building in the proposed plan.

This development application includes 17 townhomes and 12 condominium units, surface parking, [garages on lower level](#), and the relocation of the Jurassic Trail to the north east portion of the site.

The condominium building at the northwest corner of the site steps up the hillside following natural grade and is a three story structure on both the north and south sides of the building with four story stair tower. The building is a combination of [four](#) one-bedroom condominiums and [eight](#) two-bedroom condominiums. The residents of this building will have dedicated surface parking spaces in front of the building and a storage locker at the rear of the building on the ground floor.

The five-unit uphill townhome building at the northeast corner of the site is three stories and also steps up the hillside following natural grade. These homes include an entry and mudroom with garage parking on the ground floor with two stories of living space and bedrooms above. The units are a combination of two and three bedroom units. Each unit will have at least one parking space in front of its garage.

The two buildings of downhill townhomes each include six units that also work with existing grade. The main living space and kitchens are located on the main level, which walks in off the sidewalk in the front of each building. Each unit includes a bedroom downstairs, garden level. All the middle units also have one level up from the street that includes two bedrooms. The building will appear to be a combination of one and two story units from the parking lot. Each unit will have two dedicated parking spaces including one which will be in a covered carport.

The southeast corner of the site has been reserved for a neighborhood community park. This application also seeks to reserve the remaining 11 units of density for potential future development on this southeast corner.

The neighborhood will be accessed from the Access Tract F22-2 which will be improved with an access road, [vehicle turnaround zone](#), and parallel parking. We are continuing to work with TSG to find a solution that works best for proposed developments regarding the access tract.

This application also seeks relocate the Jurassic Trail to the northeast corner of the property and along the General Easement on the front of Lot 651.

The employee condominium dwelling units, active open space, recreation trails, infrastructure, landscaping, surface parking, garages and PV solar are all permitted as accessory uses under the CDC.

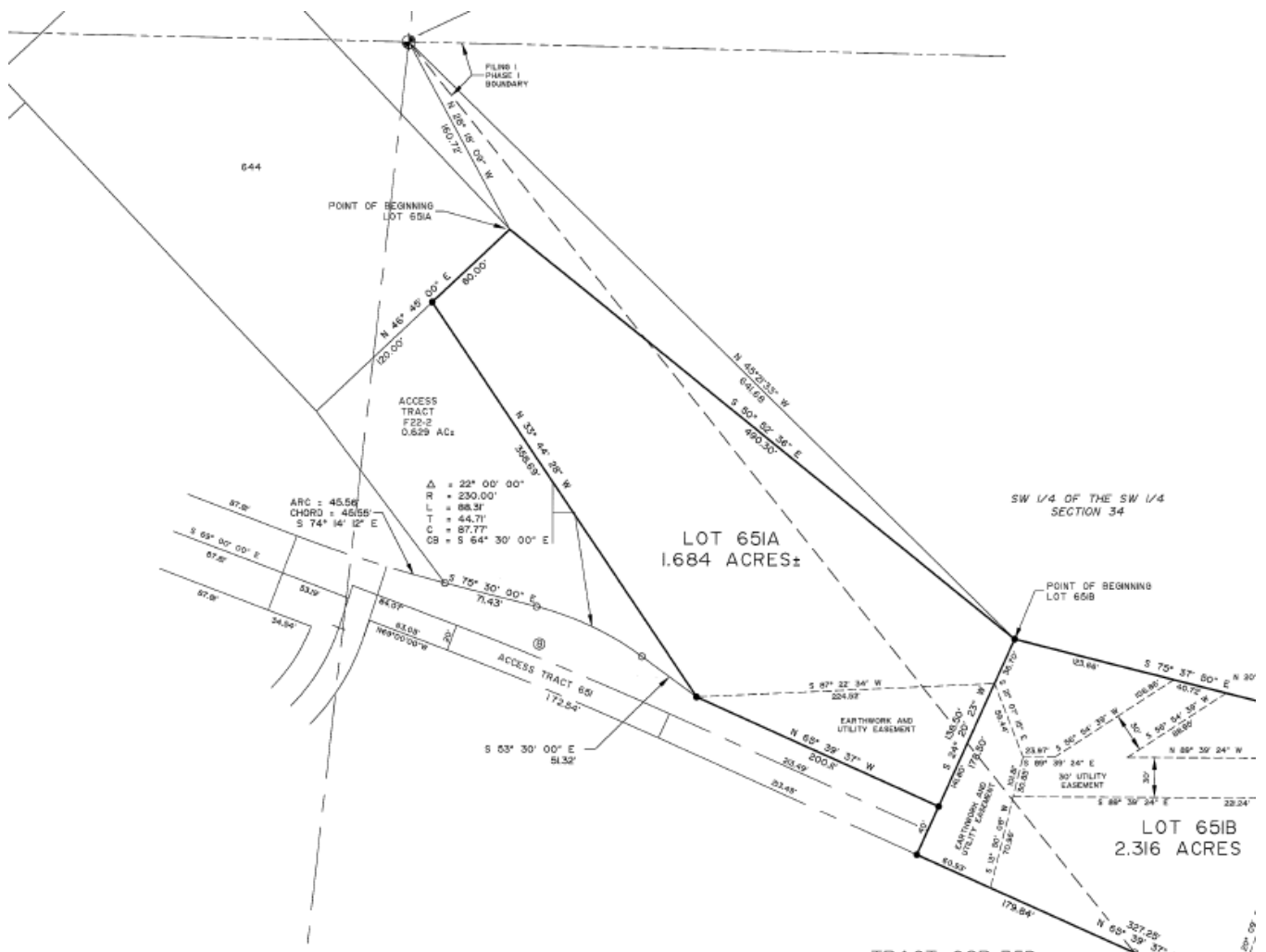


All buildings are under the 48-foot building height and under the 65% maximum lot coverage. All of the buildings honor the 16-foot general easement around the perimeter of the site, with the exception behind the condominium building which is being requested to be vacated down to 6 feet behind the northwest condominium building.

\*The town is providing two access tract scenarios so that the DRB understands where the legal access is provided and because of TSG's recent request to share access shown as a secondary scenario.

TSG is requesting access from F22-2 however, this is considered a secondary access. Legal access is provided to lots 651A and 651B from an access tract called Access Tract 651. In good faith, because the access tract is a separate parcel, and the improvements are for road, drainage and sidewalks only, the access tract approval will be submitted to the town prior to issuance of a building permit, and constitute a class 2 DRB review (chairperson review). This will allow more time for the town and TSG to better determine whether shared access will be considered, and further discuss cost sharing and other matters.

Exhibit A. Plat showing access provided for 644 which is the F22-2 tract, and Access tract 651 for access to 651A and 651B.





## 8. Existing Condition Plan:

See Sheet: A1.5 Tree Removal Plan & A1.3 Alta Survey



# 9. Proposed Development Plan (A. Site Plan)

See Sheet: AA1.0 Site Plan

See Proposed Signage below for parking lot:





# Proposed Development Plan (B. Grading Plan)

- See Sheets: C1-4 for Grading Plan
- See Sheet: Engineering Summary Letter providing stormwater design calcs

## Drainage

Stormwater runoff from the proposed impervious areas within the site will be collected in storm inlets and conveyed through a proposed onsite storm sewer system to an underground detention system. Onsite detention will be designed to reduce the proposed site run-off to pre-developed flows for the 25-year storm event per the Community Development Code and will discharge to an existing inlet in Adams Ranch Road where it will be conveyed to Prospect Creek. Upstream and offsite stormwater flows will be routed around the buildings using concrete channels that will connect to the proposed site storm sewer. Onsite and upstream flows being directed to the inlet will be detained to match existing flows coming from the combined area shown in the following table:

1

GLENWOOD SPRINGS 118 West Sixth St, Suite 200 | Glenwood Springs, CO 81601 | 970.945.1004

Existing Drainage Summary (On and Offsite flows being directed to Inlet)							
Drainage Area	Area	Impervious Cover		C	Tc	Rational Peak Flow (cfs)	
	acres	acres	%		min.	10yr	25 yr
EX 1	7.600	0.000	0	0.20	7.5	4.435	5.826

## Sanitary Sewer Line location study on Sheet C4 – Engineer’s Response

“Tie-in to existing sewer manhole located at Parker Ridge provides less utility conflicts, especially with gas line crossing at Adams Ranch Road. The elevation of the existing manhole is favorable because it is located at the bottom of the hill. During the site visit, the public works director concurred with the proposed sewer tie-in location.



# Proposed Development Plan (C. Building Elevations and Floor Plans)

See Sheets:

Building A	Building B	Building C	Building D
AA2.0	AB2.0	AC2.0	AD2.0
AA2.1	AB2.1	AC2.1	AD2.1
AA2.2	AB2.2	AC2.2	AD2.2
AA2.3	AB2.3	AC2.3	AD2.3
AA3.0	AB3.0	AC3.0	AD3.0
AA3.1	AB3.1	AC3.1	AD3.1
AA4.0	AB4.0	AC4.0	AD4.0
AA4.1	AB4.1	AC4.1	AD4.1
AA4.2	AB4.2	AC4.2	AD4.2
AA4.3	AB4.3	AC4.3	AD4.3
AA4.4	AB4.4	AC4.4	AD4.4
AA4.5	AB4.5	AC4.5	AD4.5
AA4.6	AB4.6	AC4.6	AD4.6



# Proposed Development Plan (D. Computer Massing Model)

Submitted Previously - See Presentation by Mike Foster (No changes between original submittal)



# Proposed Development Plan (E. Landscape Plan)

See Sheets: L0.0/L1.0/L2.0



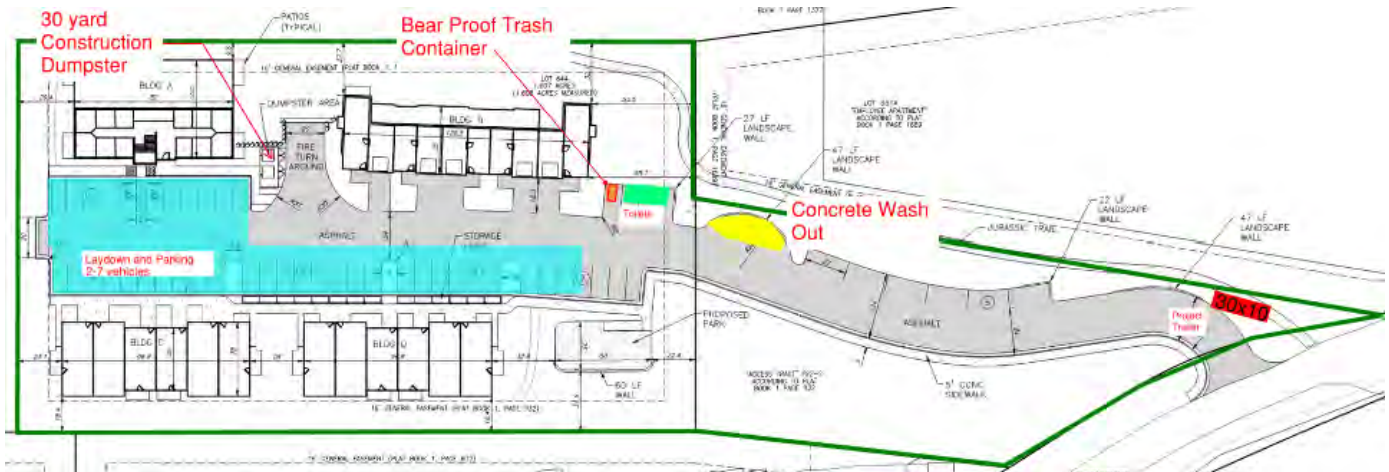
# Proposed Development Plan (F. Outdoor Lighting Plan)

See Sheet: E0.2/E0.3



# Proposed Development Plan (G. Construction Mitigation Plan)

See Sheets: E1-E2



Construction Mitigation Site Plan



Crane Phasing Plan

## Narrative to Construction Mitigation Plan

The attached Construction Mitigation Plan shows the characteristics of the overall project site during construction activities. The green boundary line represents: construction fencing, the limits of disturbance, limits of excavation, and limits of tree removal.



This project is proposed as modular construction. There is a crane staging plan attached to represent the intended phasing and locations of the crane during modular set operations.

It is not intended to keep any existing trees within the property boundary zone. Appropriate fire mitigation precautions will be followed with respect to the appropriate defensible space zones upon landscaping the project and revegetation is established after construction operations are completed.

No wetlands exist on the subject lot and because all trees and vegetation will be removed for construction operations, there shall not be a need to protect any existing vegetation within the boundary lot line. All vegetation and trees outside the property lines will be protected with orange fencing and preserved during construction.

The staging/laydown area and the construction parking area is proposed in blue on the sheet attached herein. There will be a temporary road built for construction deliveries. The temporary road will be located in the proposed driveway access area. This road will be utilized for all removal of trash and waste.

A port-a-toilet, bear proof container, job trailer, and trash dumpster will be staged during construction activities, proposed locations are designated on the sheet attached.



## Proposed Development Plan (H. Material Board)

\*Material Board furnished at initial DRB Submittal. Triumph acknowledges a 4'x4' material board to be furnished/erected prior installation of exterior materials per Condition of Approval Item #16



# Engineered Infrastructure Plan

See Sheets: Engineered Calcs/Summary Update &  
Conceptual Civil Plan C1-C4



# Practicable Alternative Analysis Statement

## Practicable Alternatives Analysis

The unique features of this site, make it impossible to avoid construction on steep slopes. Our Civil Engineer SGM has taken necessary precautions during design for placement of the building structures, driveways, parking lots, and pedestrian walkways to avoid extreme steep slopes as much as possible. In order for us to preserve view corridors and open space, we had to place our proposed townhomes/condos strategically into the up and downhill sides of the lot. In general, we are not concerned about the steep grades as we have done extensive geotechnical investigation of the site. Jon Butler with Trautner Geotechnical, is the Geotech Engineer who is most knowledgeable regarding this site and has been leading our geotechnical efforts. In addition to Trautner's geotechnical report, we have conducted several meetings to review the steep slopes proposed herein and concluded that they are satisfactory.



## Design Variations List

1. Exterior Materials – Less than 35% Stone
2. Easement – 6' general easement on northwest corner of Condo Bldg
3. Loading/Unloading – Not applicable for this development type (12 unit condo building and 17 townhomes)
  - a. Per Conditions of Approval #7



# Public Improvements Cost Spreadsheet

## Public Improvement Cost Spreadsheet with Option #1 (4' Height Landscape Walls)

Access Road	Quantity	UOM	\$/UOM	Total
Boulder Walls - 4' Height Max	655 sf		\$ 55.00	\$ 36,025
Wall Drain	150 lf		\$ 45.00	\$ 6,750
Cut / Fill	1500 cy		\$ 15.00	\$ 22,500
Sidewalk	1335 sf		\$ 8.00	\$ 10,680
Curb and Gutter	325 lf		\$ 32.00	\$ 10,400
12" Roadbase	630 ton		\$ 36.00	\$ 22,680
4" Asphalt	210 ton		\$ 165.00	\$ 34,650
Traffic Control and Barricades	1 ls		\$ 10,000.00	\$ 10,000
Water Line - Tie In to Existing	1 ea		\$ 2,000.00	\$ 2,000
Water Line - 8" HDPE	20 lf		\$ 70.00	\$ 1,400
Water Line - Hydrant	1 ea		\$ 10,000.00	\$ 10,000
Sewer - Tie In to Existing	1 ea		\$ 1,500.00	\$ 1,500
Sewer - 8" PVC	200 lf		\$ 65.00	\$ 13,000
Sewer - Manholes	2 ea		\$ 8,500.00	\$ 17,000
Storm Drain - Tie In to Existing	1 ea		\$ 3,500.00	\$ 3,500
Storm Drain - 18" HDPE	250 lf		\$ 135.00	\$ 33,750
Storm Drain - Manhole	1 ea		\$ 8,500.00	\$ 8,500
Storm Drain - UG Detention & Outlet Structure	1 ls		\$ 75,000.00	\$ 75,000
Storm Drain - Trench Drain	35 lf		\$ 125.00	\$ 4,375
Storm Drain - Road Cut and Replacement	1 ls		\$ 10,000.00	\$ 10,000
Dry Utilities - Trench & Backfill	225 lf		\$ 25.00	\$ 5,625
Dry Utilities - Set Splice Vault	1 ea		\$ 1,500.00	\$ 1,500
			<b>Total Direct Cost</b>	<b>\$ 340,835</b>

## Public Improvement Cost Spreadsheet with Option #2 (+/-10' Height Concrete Retaining Walls)

Site Wall Premium	Quantity	UOM	\$/UOM	Total
Boulder Walls - 4' Height Max	-655 sf		\$ 55.00	\$ (36,025)
Concrete Wall - 10' Height Average Above Grade	150 cy		\$ 1,200.00	\$ 180,000
Subsurface Drainage Behind Wall	220 lf		\$ 45.00	\$ 9,900
Additional Backfill Above Concrete Walls (native materials)	500 cy		\$ 32.00	\$ 16,000

Total Direct Cost #2 \$510,710

\*Finish for 10' retaining wall and estimated cost is TBD



# Condition of Approval Item #1(Window and Door Recess Details)

See Sheets: AA10.0/AB10.0/AC10.0/AD10.0



## Condition of Approval Item #2 (Height Compliance Drawings)

See Sheets: AA4.5 AA4.6 / AB4.5 AB4.6 / AC4.5 AC4.6 / AD 4.5  
AC4.6



# Condition of Approval Item #3 (Address Monument Signage Update)

See Sheet: AA1.1



## Condition of Approval Item #4 (Fire Mitigation/Tree Removal Plan)

See Sheets: Site Plan AA1.0 and L1.0



# Condition of Approval Item #5 (Revise Road Width Standards)

See sheet: C1



# Condition of Approval Item #6 (Parking Plan Showing Snow Storage

See Sheets: AA1.0 and L1.0



## Condition of Approval Item #7 (Unloading/Loading Zones)

Loading/Unloading – Not applicable for this development type (12 unit condo building and 17 townhomes)



# Condition of Approval Item #8 (Trash Removal Needs)

Added to sheet AA1.1

Garret Smith with Triumph spoke to Point of Contact at Bruin Waste on 9/8/2022.  
See contact information below Bruin Rep:

Dustin Weitzel  
Bruin Waste Management  
Residential & Commercial Sales  
[sales@bruinwaste.com](mailto:sales@bruinwaste.com)  
cell: (970) 275-3440  
office: (970) 864-7531

## Frequency of Trash Debris Removal:

\*Based on average trash accumulation of 14cy/week -

- Twice a week on regular trash bins
  - Once a week on recycling



# Condition of Approval Item #9 (Snow Safety Devices and Solar)

See Sheets: AA3.0 and detail #6; Solar cut sheets



## Condition of Approval Item #10 (Stormwater Drainage Study)

- See Sheets E1 & E2
- See SGM Engineering Summary that includes formulas for Drainage  
Calcs



# Condition of Approval Item #11 (Retaining Wall Heights)

See Sheet: C2 for reference



## Condition of Approval Item #12 (Steel Slope Practicable Analysis)

See Practicable Analysis in DRB checklist item 11



## Condition of Approval Item #13 (Fuel Source for Fireplaces)

NOT APPLICABLE – No Fireplaces proposed



## Condition of Approval Item #14 (Unenclosed Accessory Structure Material Type)

Decks shall be constructed of - Heavy Timber



## Condition of Approval Item #15

As-Built Survey shall be provided once foundation is constructed and an ILC shall be submitted to ensure no encroachments into the setbacks



## Condition of Approval Item #16 (Material Board)

GC to construct Material Board on site prior to Building Inspection



## Condition of Approval Item #17 (ROW infrastructure Placement Verification)

Triumph acknowledges to comply with #17





VICINITY MAP



# MOUNTAIN VILLAGE NEIGHBORHOOD

LOT 644.  
MOUNTAIN VILLAGE, CO. 81435

FOR SALE RESIDENTIAL UNITS  
1 MULTIFAMILY BUILDING

- 12 UNITS
- UNIT TYPES:
  - 4 ONE BED / ONE BATH UNITS
  - 2 TWO BED / ONE BATH UNITS
  - 6 TWO BED / TWO BATH UNITS

UPHILL TOWNHOMES: WITH GARAGES

- 2 TWO BED / TWO BATH UNITS
- 3 THREE BED / THREE BATH UNITS
- ALL HAVE 320SF GARAGE

DOWNHILL TOWNHOMES: NO GARAGES

- 4 TWO BED / TWO BATH UNITS
- 8 THREE BED / THREE BATH UNITS
- 12 CARPORTS WITH STORAGE

MOUNTAIN VILLAGE  
SAN MIGUEL COUNTY, COLORADO

TRIUMPH WEST

106 Edwards Village Blvd  
Edwards, CO 81632  
P.O. Box 2444  
www.triumphdev.com

MV NEIGHBORHOOD

LOT 644  
ADAMS RANCH ROAD  
MOUNTAIN VILLAGE, COLORADO

## SHEET INDEX:

### ARCHITECTURAL

- AA0.0 COVER SHEET, LIST OF SHEETS, PROJECT DATA
- AA1.0 SITE PLAN
- AA1.1 SITE ACCESSORIES
- AA1.2 SITE SECTION
- AA1.3 ALTA SURVEY
- AA1.4 REVISED PLAT (ALTERING THE SOUTHERN GE)
- AA1.5 TREE REMOVAL / PRESERVATION PLAN
- AA1.6 CONSTRUCTION LOGISTICS PLAN
- AA2.0 BUILDING A GARDEN LEVEL PLAN
- AA2.1 BUILDING A FIRST LEVEL PLAN
- AA2.2 BUILDING A SECOND LEVEL PLAN
- AA2.3 BUILDING A THIRD LEVEL PLAN
- AA3.0 BUILDING A ROOF PLAN
- AA3.1 BUILDING A ROOF PLAN / HEIGHT CALCS
- AA4.0 BUILDING A ELEVATIONS
- AA4.1 BUILDING A ELEVATIONS
- AA4.2 BUILDING A MATERIAL CALL OUTS
- AA4.3 BUILDING A MATERIAL CALCS
- AA4.4 BUILDING A MATERIAL CALCS
- AA4.5 BUILDING A ELEVATION - HEIGHTS
- AA4.6 BUILDING A ELEVATION - HEIGHTS
- AA6.0 TYPICAL BUILDING DETAILS
- AA10.0 DOOR AND WINDOW SCHEDULE

- AB2.0 BUILDING B GARDEN LEVEL PLAN
- AB2.1 BUILDING B SECOND LEVEL PLAN
- AB2.2 BUILDING B THIRD LEVEL PLAN
- AB3.0 BUILDING B ROOF PLAN
- AB3.1 BUILDING B ROOF PLAN / HEIGHT CALCS
- AB4.0 BUILDING B ELEVATIONS
- AB4.1 BUILDING B ELEVATIONS
- AB4.2 BUILDING B MATERIAL CALL OUTS
- AB4.3 BUILDING B MATERIAL CALCS
- AB4.4 BUILDING B MATERIAL CALCS
- AB4.5 BUILDING B ELEVATION - HEIGHTS
- AB4.6 BUILDING B ELEVATION - HEIGHTS
- AB10.0 DOOR AND WINDOW SCHEDULE

- AC2.0 BUILDING C LOWER LEVEL PLAN
- AC2.1 BUILDING C MAIN LEVEL PLAN
- AC2.2 BUILDING C UPPER LEVEL PLAN
- AC3.0 BUILDING C ROOF PLAN
- AC3.1 BUILDING C ROOF PLAN / HEIGHT CALCS
- AC4.0 BUILDING C ELEVATIONS
- AC4.1 BUILDING C ELEVATIONS
- AC4.2 BUILDING C MATERIAL CALL OUTS
- AC4.3 BUILDING C MATERIAL CALCS
- AC4.4 BUILDING C MATERIAL CALCS
- AC4.5 BUILDING C ELEVATION - HEIGHTS
- AC4.6 BUILDING C ELEVATION - HEIGHTS
- AA10.0 DOOR AND WINDOW SCHEDULE

### ARCHITECTURAL

- AD2.0 BUILDING D LOWER LEVEL PLAN
- AD2.1 BUILDING D MAIN LEVEL PLAN
- AD2.2 BUILDING D UPPER LEVEL PLAN
- AD3.0 BUILDING D ROOF PLAN
- AD3.1 BUILDING D ROOF PLAN / HEIGHT CALCS
- AD4.0 BUILDING D ELEVATIONS
- AD4.1 BUILDING D ELEVATIONS
- AD4.2 BUILDING D MATERIAL CALL OUTS
- AD4.3 BUILDING D MATERIAL CALCS
- AD4.4 BUILDING D MATERIAL CALCS
- AD4.5 BUILDING D ELEVATION - HEIGHTS
- AD4.6 BUILDING D ELEVATION - HEIGHTS
- AA10.0 DOOR AND WINDOW SCHEDULE

### CIVIL

- C 1 CONCEPT SITE PLAN
- C 2 CONCEPT GRADING PLAN
- C 3 CONCEPT DRIVEWAY AND ACCESS PLAN
- C 3 CONCEPT UTILITY PLAN

### EROSION CONTROL:

- E1 EROSION / SEDIMENT CONTROL
- E2 EROSION DETAILS

### LANDSCAPE

- L0.0 EXISTING TREE SURVEY
- L1.0 LANDSCAPE PLAN
- L2.0 LANDSCAPE NOTES AND DETAILS

### ELECTRICAL - SITE LIGHTING

- E.02 SITE LIGHTING PLAN
- E.03 SITE LIGHTING DETAILS

## PROJECT DATA

OWNER: MOUNTAIN VILLAGE

OWNER REPRESENTATIVE: TRIUMPH WEST DEVELOPMENT, LLC  
MICHAEL O'CONNOR (970) 688-5057  
12 VAIL ROAD, SUITE 700  
VAIL, CO 81657

ARCHITECT: TRIUMPH CUSTOM HOMES  
MIKE FOSTER (303) 475-4413  
12 VAIL ROAD, SUITE 700  
VAIL, CO 81657

SOILS: TRAUTNER GEOTECH, LLC  
JONATHAN BUTLER (970) 259-5095  
649 TECH CENTER DRIVE, SUITE A  
DURANGO, CO 81301

CIVIL / CIVIL ENGINEERING: SGM  
118 W SIXTH ST. SUITE 200  
GLENWOOD SPRINGS, CO 81601  
JEVON POSTON 970-384-9058

LANDSCAPE DESIGN: OUTSIDE LA  
SANDI GIBSON (303) 517-9256  
BOULDER / STEAMBOAT SPRINGS, CO

STRUCTURAL ENGINEERING: IMEG - GRAIG CARROLL  
1400 GLENARM PLACE, SUITE 100  
DENVER, CO 80202  
(303) 807-8403

MEP ENGINEERING: EMANUELSON-PODAS, INC.  
7705 BUSH LAKE ROAD  
EDINA, MN 55439  
OFFICE (952) 930-0050  
JOHN NORDSTROM (612) 799-8549

GREEN CONSULTANT:

PROJECT MANUAL: PROSPEC  
MARIA STONE (303) 681-3611  
934 TENDERFOOT DR  
LARKSPUR, CO 80118

CONTRACTOR: SHAW CONSTRUCTION  
760 HORIZON DRIVE, #201  
GRAND JUNCTION, CO 81506  
JAMIE NEYERS 970-248-2610

### NOTES:

#### 1. BUILDING CODES:

ALL WORK SHALL COMPLY WITH THE CURRENT CODES, THE INTERNATIONAL BUILDING CODE 2018, INCLUDING THE INTERNATIONAL ENERGY CODE 2018, THE INTERNATIONAL PLUMBING AND MECHANICAL CODES, THE CURRENT NEC AND ALL LOCAL CODES HAVING JURISDICTION.

#### 2. PROPOSED BUILDING TYPE:

TYPE V-A, NFPA 13R SPRINKLED BUILDING  
OCCUPANT GROUP:  
R-2 - 200 SF / OCCUPANT  
MINIMUM FIRE RESISTIVE REQUIREMENTS:  
STRUCTURAL FRAME 1 HR  
BEARING WALLS 1 HR  
FLOOR CONSTRUCTION 1 HR  
ROOF CONSTRUCTION 1 HR

OCCUPANCY SEPARATION:  
1 HR.

FIRE PROTECTION SYSTEM SUBMITTED SEPARATELY (SECTION 903.3)

SMOKE DETECTION SHALL BE PROVIDED THROUGHOUT.

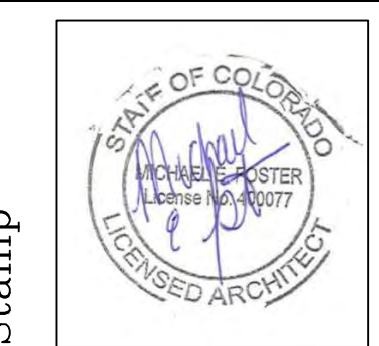
FIRE ALARM SYSTEM (SECTION 907) PROVIDED THROUGHOUT

3. PROPOSED ENERGY COMPLIANCE: CLIMATE ZONE 5A  
WINDOW AND DOORS, U-0.32 OR LESS.  
R-VALUES,  
CEILINGS AND ROOFS, R-49  
WALLS, R-21  
FLOORS, R-19  
SLAB PERIMETER AND DEPTH, R10/24-IN  
STORAGE SPACE, R-10/13

4. AREA CALCULATIONS: SEE FLOOR PLAN SHEETS

Revisions:  
DRB FINAL SUBMISSION

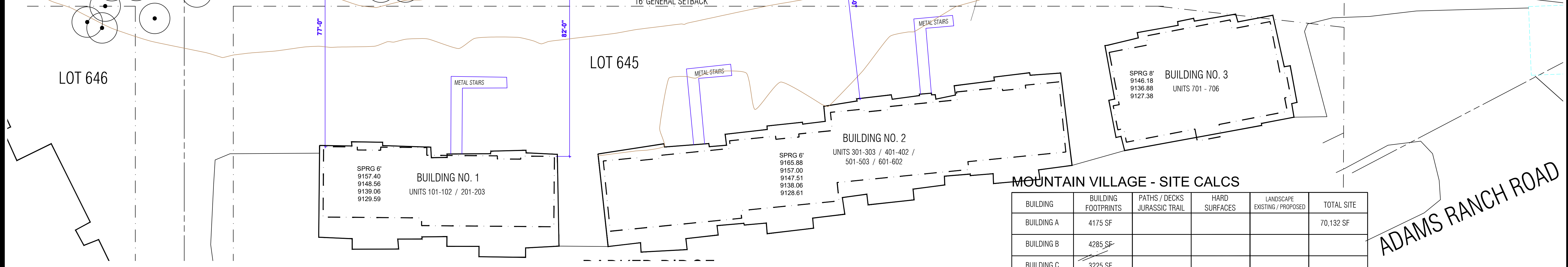
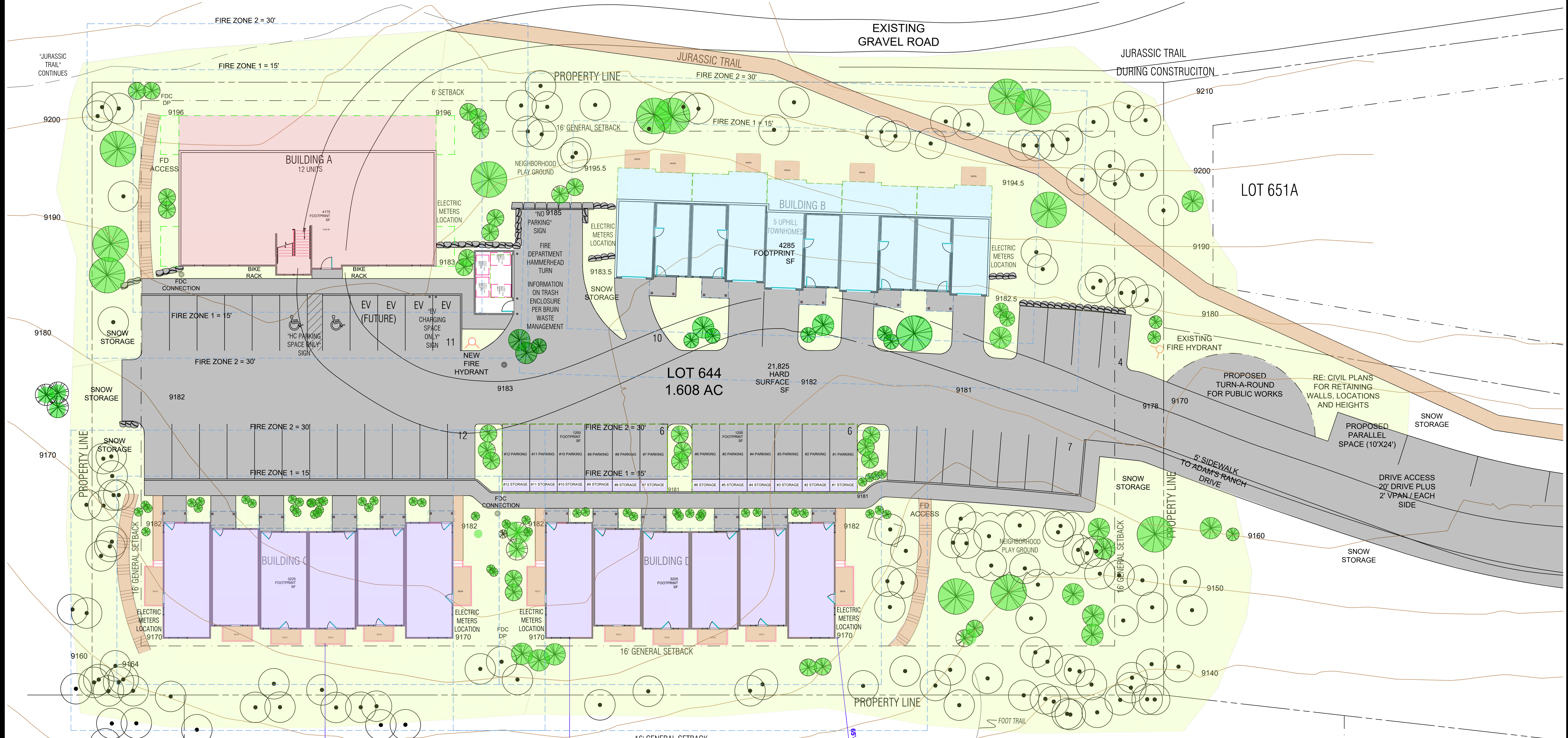
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COVER SHEET



Date: 10/19/2022  
Project No:  
Drawn by: MEF  
Checked by: MEF

Sheet AA0.0



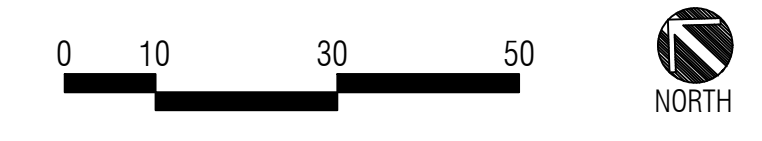


SITE = 70131.6 SF  
**RESIDENCE @ 9200**  
 56 PARKING SPACES

**SITE PLAN STUDY**  
 29 UNITS  
 12 CONDO UNITS  
 4 ONE BED / ONE BATH UNITS  
 2 TWO BED / ONE BATH UNITS  
 6 TWO BED / TWO BATH UNITS

5 FOR SALE TOWNHOMES (WITH GARAGES)  
 12 FOR SALE TOWNHOMES (NO GARAGES)

**1 SITE PLAN**  
 1/16" = 1'-0"



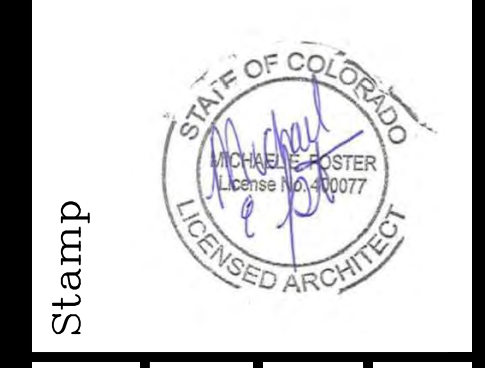
BUILDING	BUILDING FOOTPRINTS	PATHS / DECKS JURASSIC TRAIL	HARD SURFACES	LANDSCAPE EXISTING / PROPOSED	TOTAL SITE
BUILDING A	4175 SF				70,132 SF
BUILDING B	4285 SF				
BUILDING C	3225 SF				
BUILDING D	3225 SF				
GENERAL		2,900 SF	21,825 SF	30,497 SF	
TOTAL	14,910 SF 21.3%	2,900 SF 4.1%	21,825 SF 31.1%	30,497 SF 43.5%	
PARKING	29 UNITS X 1.5 43 REQUIRED	56 SPACES PROVIDED	8 ADDITIONAL SPACES PROPOSED ACCESS TRACT		

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**LOT 644**  
 ADAMS RANCH ROAD  
 MOUNTAIN VILLAGE, COLORADO

Revisions:  
 DRB FINAL SUBMISSION

Sheet title  
 SCHEMATIC SITE PLAN



Date: 10/19/2022  
 Project No:  
 Drawn by: MEF  
 Checked by: MEF

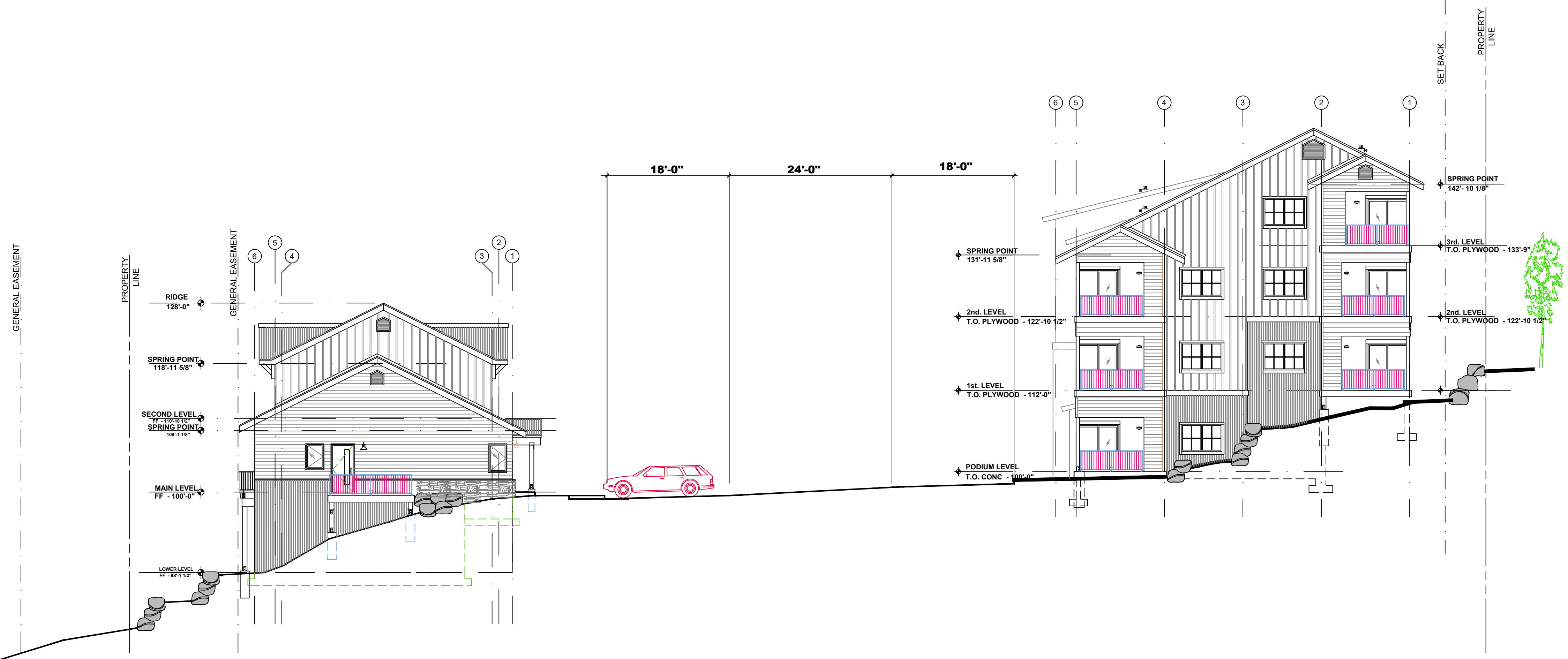
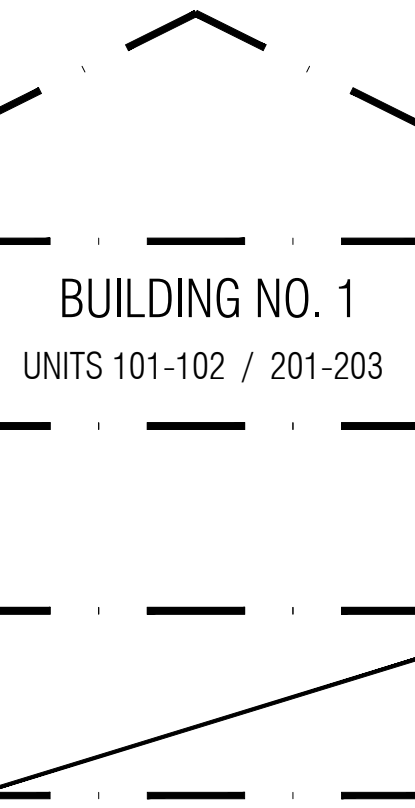
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PARKER RIDGE

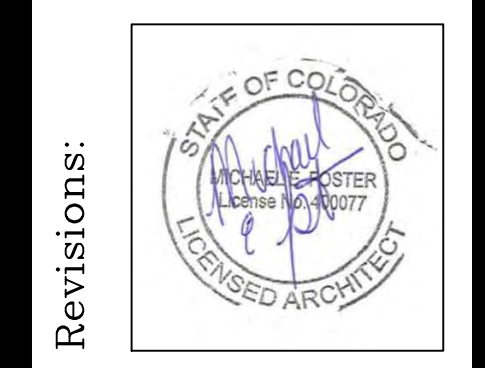


**1 SITE SECTION**  
1" = 10'-0"

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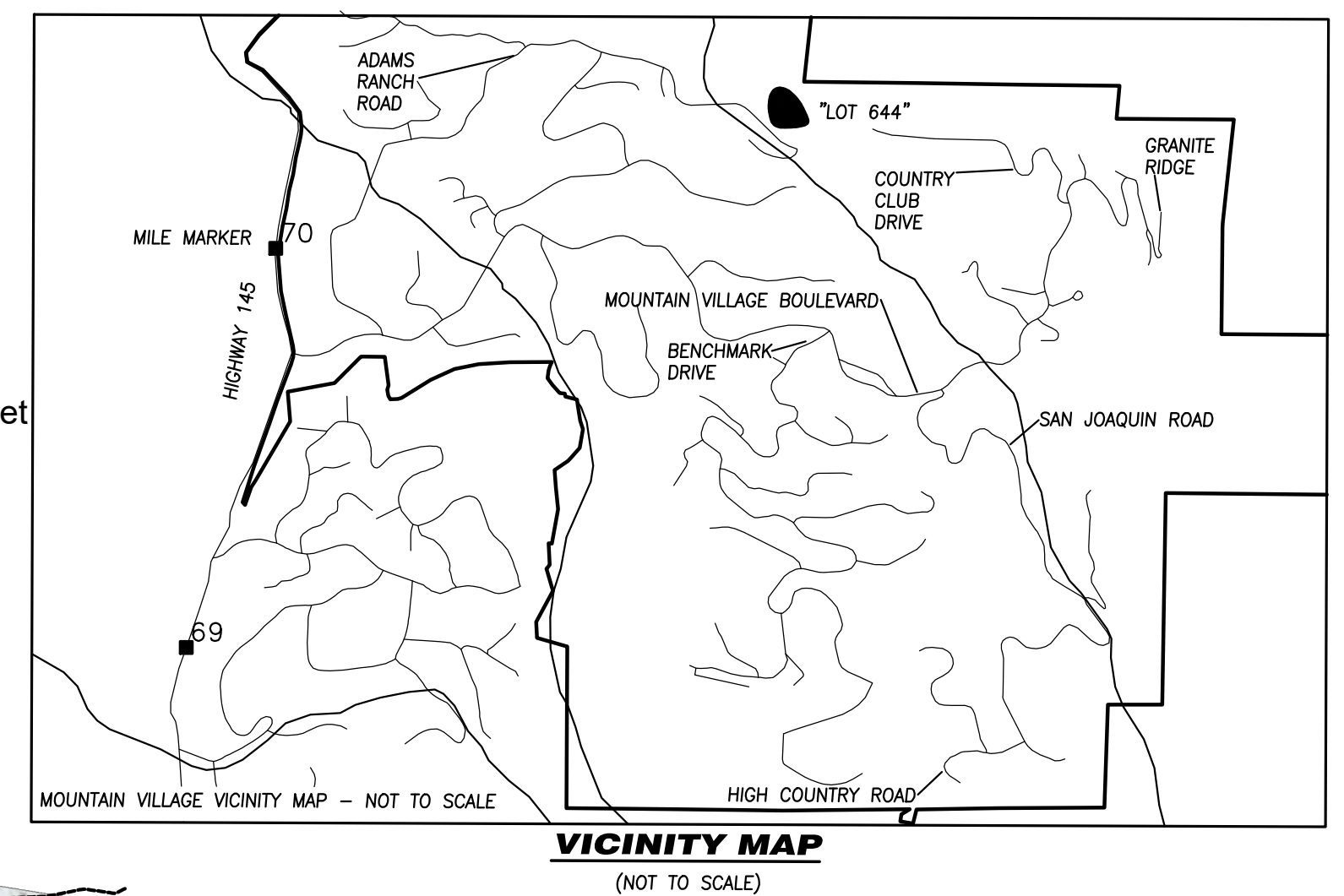
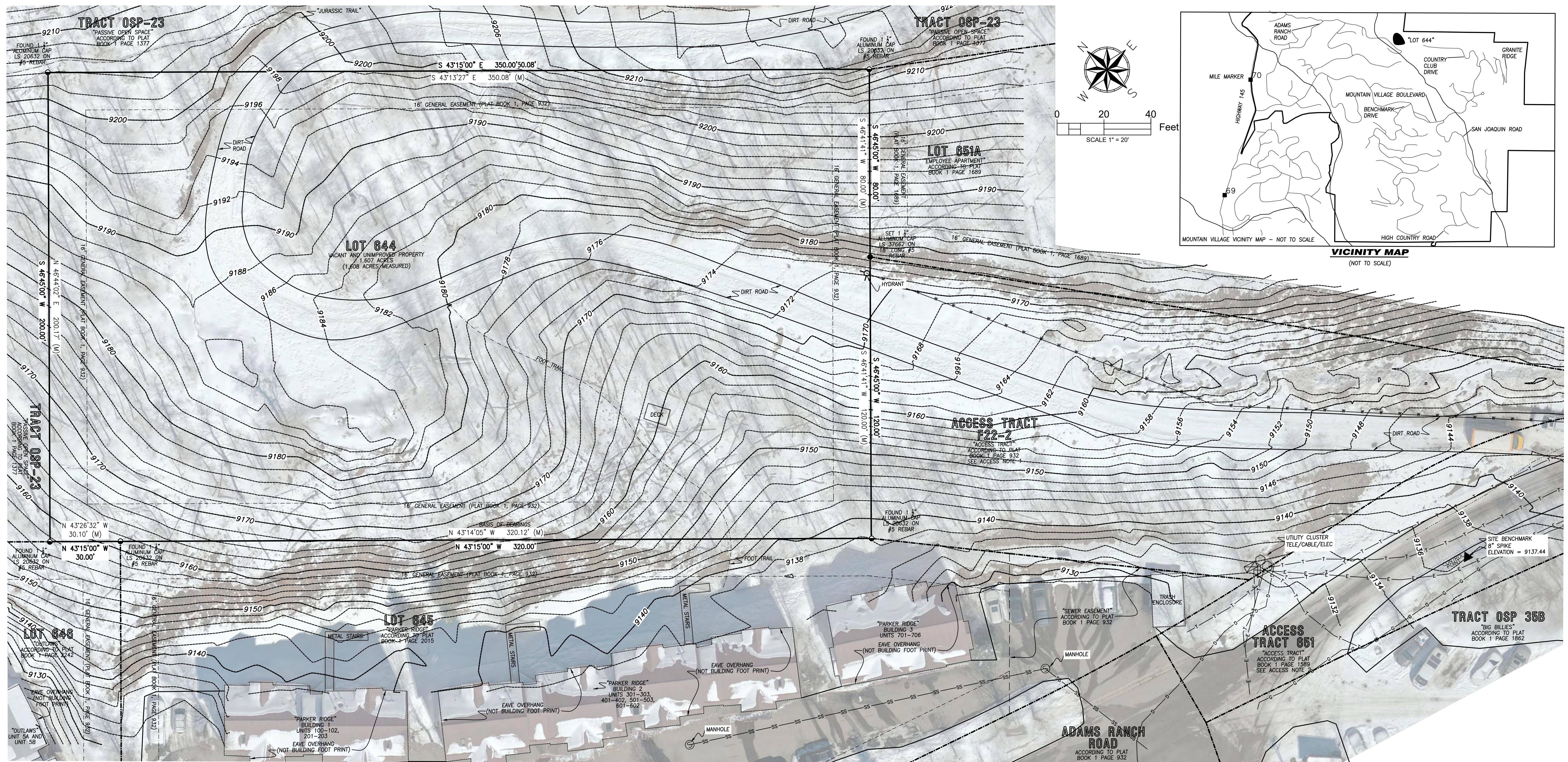
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SCHEMATIC  
SITE SECTION

Stamp

Date: 8/01/2022  
Project No:  
Drawn by: MEF  
Checked by: MEF

Sheet  
**AA1.2**





**SURVEYOR'S CERTIFICATE:**  
 To LAND TITLE GUARANTEE COMPANY and the TOWN OF MOUNTAIN VILLAGE, A HOME-RULE MUNICIPALITY AND POLITICAL SUBDIVISION OF THE STATE OF COLORADO  
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6, 8, 9, 11, 13, 16, 18, 19, and 20 (\$1,000,000) of Table A. The field work was completed on April 9, 2022.  
 Date: \_\_\_\_\_  
 Digitally signed by David Bulson  
 Date: 2022.04.09 10:12:45 -06'00'  
 David R. Bulson  
 LEGAL DESCRIPTION:  
 LOT 644, TELLURIDE MOUNTAIN VILLAGE, FILING 22, ACCORDING TO THE PLAT RECORDED SEPTEMBER 22, 1989 IN PLAT BOOK 1 AT PAGE 932, COUNTY OF SAN MIGUEL, STATE OF COLORADO. ("Original Lot 644 Plat")  
 NOTES:  
 1. Easement research and property description according to Land Title Guarantee Company, Order Number ABS86012474, dated December 20, 2021 at 5:00 P.M.  
 2. The Land does not lie within a Special Flood Hazard Area as defined by the Federal Emergency Management Agency ("FEMA"). According to the Flood Insurance Rate Maps for San Miguel County, Colorado, Community Panel 081130287D, dated 08/30/1992 this property lies in Zone X, areas determined to be outside of the 500 year flood plain.  
 3. BASIS OF BEARINGS: The bearing along the Southern boundary of Lot 644, was measured to be N43°14'05" W using real time kinematic GPS survey. The end points of said western boundary are as monumented and described hereon.

4. Lineal units represented hereon are shown in U.S. Survey Feet or a decimal portion thereof.  
 5. This survey is valid only if a print has original seal and signature of surveyor.  
 6. Any person who knowingly removes, alters, or defaces any public land survey monument and/or boundary monument or accessory, commits a class two (2) misdemeanor pursuant to C.R.S. 18-4-508.  
 7. The word certifies as used hereon means an expression of professional opinion regarding the facts of this survey and does not constitute a warranty or guarantee, expressed or implied.  
 8. This survey is prepared for the exclusive use of the party or parties indicated within the surveyor's statement. Said statement does not extend to any unnamed person or parties without an express statement by the surveyor naming said entities.  
 9. According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.  
 10. There is no evidence of this lot being used as a solid waste dump, sump, or sanitary land fill.  
 11. The "M" designation along the property line dimensions indicate "measured" dimensions according to this ALTA/NSPS Survey. The corresponding dimensions without the "M" designation are the dimensions according to the Original Lot 644 Plat.  
 12. Contour interval is 2' (two) feet. Site Benchmark is an 8" spike driven flush with the ground along the south side of Access Tract 651. Elevation is 9137.44 on head of spike.  
 13. Utilities shown hereon are according to best available records and site specific locates. The surveyor makes no assurance as to the accuracy or completeness of the information. Prior to any construction or site disturbance, the contractor is required to call the Utility Location Center of Colorado ("811") for a site specific Utility locate.  
 14. The Town of Mountain Village Resolution 2008-0221-02, recorded March 6, 2008 at reception number 400294 changed the designated use of Lot 644 from "Employee Apartment" to "Employee Condominium". This document is not referenced on the Title Commitment but it was brought to the attention of the Surveyor during the course of performing this ALTA/NSPS Land Title Survey.

**TITLE COMMITMENT NOTES:**  
 Land Title Guarantee Company, Order Number ABS86012474, dated December 20, 2022 at 5:00 P.M.  
 Schedule B-2 (TITLE EXCEPTION RESPONSE/CLARIFICATION)  
 1. Site inspection and Survey performed by Bulson Surveying conditions shown hereon.  
 2. There are portions of the surveyed property being used for non-motorized recreation although there were no Easements, liens or encumbrances, or claims thereof, not shown by the Public Records brought to the attention of this Surveyor during the course of this Survey.  
 3. Site inspection and Survey performed by Bulson Surveying conditions are as shown hereon.  
 4. Not survey related.  
 5. Not survey related.  
 6. Not survey related.  
 7. There is no evidence of this site being used for mining purposes. There were no ditches or water storage structures observed during the course of this survey.  
 8. The are portions of Lot 644 being used for non-motorized recreation. There have been no off-record lease or tenancy agreements brought to the attention of Bulson Surveying during the course of preparing this ALTA/NSPS Survey.  
 9. The Plats noted within this exception pertain to the Town of Mountain Village as a whole and were not acknowledged or approved by the owner of the Subject Property at the time. It is the opinion of the Surveyor that they do not create any easements relevant to the property. It is beyond the scope of this survey to determine whether there are Conditions, Covenants, Restrictions or Notes contained within these Plats that affect the Property.  
 10. Restrictive Covenants for the Mountain Village noted within this exception are blanket in nature and affect the Lot 644  
 11. The Water and Sewer Tap Fee and Assignment and Assumption Agreements recorded at Book 435 page 603, Book 492, page 991, Book 573, page 237 and reception number 326037 affect Lot 644 and are blanket in nature.  
 12. The facilities, water rights and easement agreement recorded April 27, 1992 in Book 491 at page 359 and as amended in instrument recorded November 13, 1992 in Book 501 at pages 433 and 437 and as Amended in instrument recorded April 26, 1993 in Book 510 at page 8 and as amended in instrument recorded October 24, 1998 in Book 569 at page 668 does not appear to affect the property being surveyed, but the document speaks for itself as to its relevance to the subject property.

13. The Plat of Telluride Mountain Village Filing 22 recorded September 22, 1989 in Plat Book 1 at page 932 "Original Lot 644 Plat" created a 16' general easement around the perimeter of Lot 644 as shown hereon. This Original Lot 644 Plat also imposed a use of "Employee Apartment" for future development of Lot 644. Occupancy of any structure located on Lot 644 is required to be in compliance with the "7-1 County Deed Restriction" noted on Sheet 1 of the Original Lot 644 Plat. The Original Lot 644 Plat provided for 41 Units with a density of 123 people on Lot 644.  
 14. Terms, Conditions, Provisions, Burdens and Obligations as set forth in Employee Housing Land Exchange recorded October 05, 1989 in Book 458 at page 123 are blanket in nature and affect the entirety of Lot 644  
 15. Reservation by the Telluride Company of all of the rights to mineral and oil, gas or other hydrocarbons located on, in or under the real property, without any right of surface entry for exploration, development or extraction. The Telluride Company covenants that it will not mine, extract, explore for or develop any of the minerals, oil, gas or other hydrocarbons located on, in or under the real property, all as contained in instrument recorded October 5, 1989, in Book 458 at page 147. There was no evidence of mining observed during the course of this survey.  
 16. The Terms, Conditions, Reservations and Provisions as contained in Warranty Deed recorded October 5, 1989, in Book 458 at page 147 are blanket in nature and affect the entirety of Lot 644  
 17. The Town of Mountain Village Employee Housing Restriction recorded September 08, 1997 in Book 586 at page 575 and as amended in instrument recorded October 12, 1999 under reception no. 329779 is blanket in nature and affects the entirety of Lot 644. These documents purport to replace the "7-1 County Deed Restriction" with the "Town of Mountain Village Employee Deed Restriction" for any Lots developed as "Employee Apartments" or "Employee Dormitories"  
 18. Terms, Conditions and Provisions of Notice filed by San Miguel Power Association, Inc. recorded March 18, 1999 under reception no. 325020 are blanket in nature and affect the entirety of Lot 644  
 19. The Assignment Agreement recorded March 29, 2005 under Reception no. 373519, Quit Claim recorded March 23, 2011 under Reception no. 417045, and Assignment, Conveyance, and Transfer of Density Units and Assumption of Obligations recorded March 23, 2011 under Reception no. 417047 appear to affect the allowable density and development rights associated with Lot 644. They are blanket in nature and affect the entirety of Lot 644.

**ACCESS NOTES**  
 1. Access Tract F22-2 was created by the plat recorded at plat recorded September 22, 1989 in Plat Book 1 at page 932, County of San Miguel, State of Colorado ("Original Lot 644 Plat"). Use of this Tract is subject to the terms of the note labeled as "ACCESS TRACT" on Sheet 1 of the Original Lot 644 Plat.  
 2. Access Tract 651 was created by the plat recorded November 17, 1993 in Plat Book 1 at page 1589, County of San Miguel, State of Colorado ("1993 Plat"). On the 1993 Plat, Access Tract 651, was created and included portions of property previously platted as Adams Ranch Road according to the plat recorded September 22, 1989 in Plat Book 1 at page 932, County of San Miguel, State of Colorado. The 1993 Plat does not contain any reference as to which lots can use Access Tract 651. The Original Lot 644 Plat designates the area platted as "Adams Ranch Road" as a "Private Drive".

**RECORDER'S CERTIFICATE**  
 Deposited this \_\_\_\_\_ day of \_\_\_\_\_  
 20\_\_\_\_, at \_\_\_\_\_ m., Reception number \_\_\_\_\_  
 San Miguel County Clerk

TOWN OF MOUNTAIN VILLAGE  
 vacant TBD, Adams Ranch Road  
 Mountain Village, CO, 81435

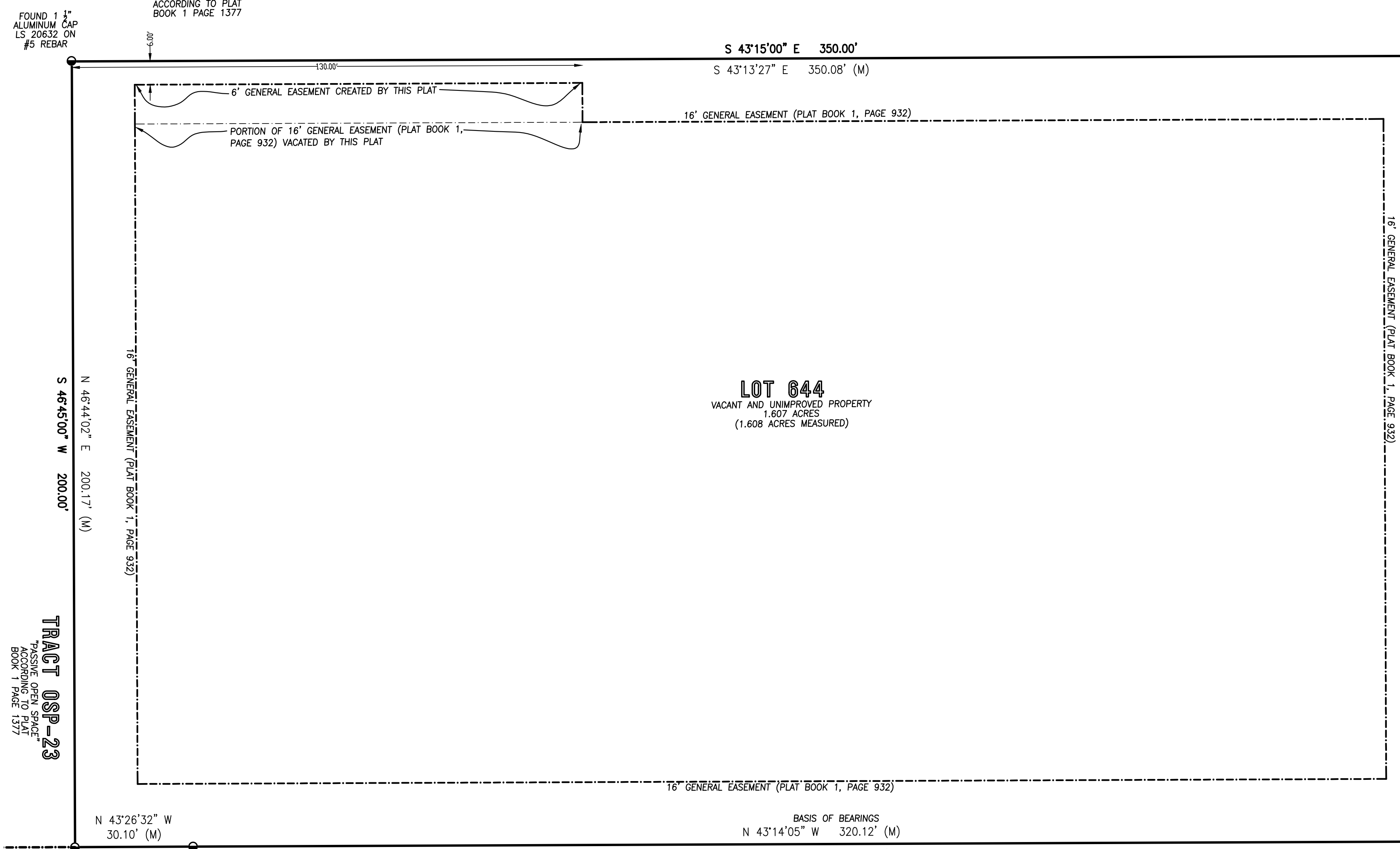
ALTA/NSPS LAND TITLE SURVEY  
 Lot 644, Town of Mountain Village  
 SE 1/4 SE 1/4 and NE 1/4 SE 1/4 Section 33  
 and SW 1/4 SW 1/4 Section 34  
 T. 43 N. R. 9 W. NMPM

April 13, 2022  
 PROJECT NUMBER  
 22026

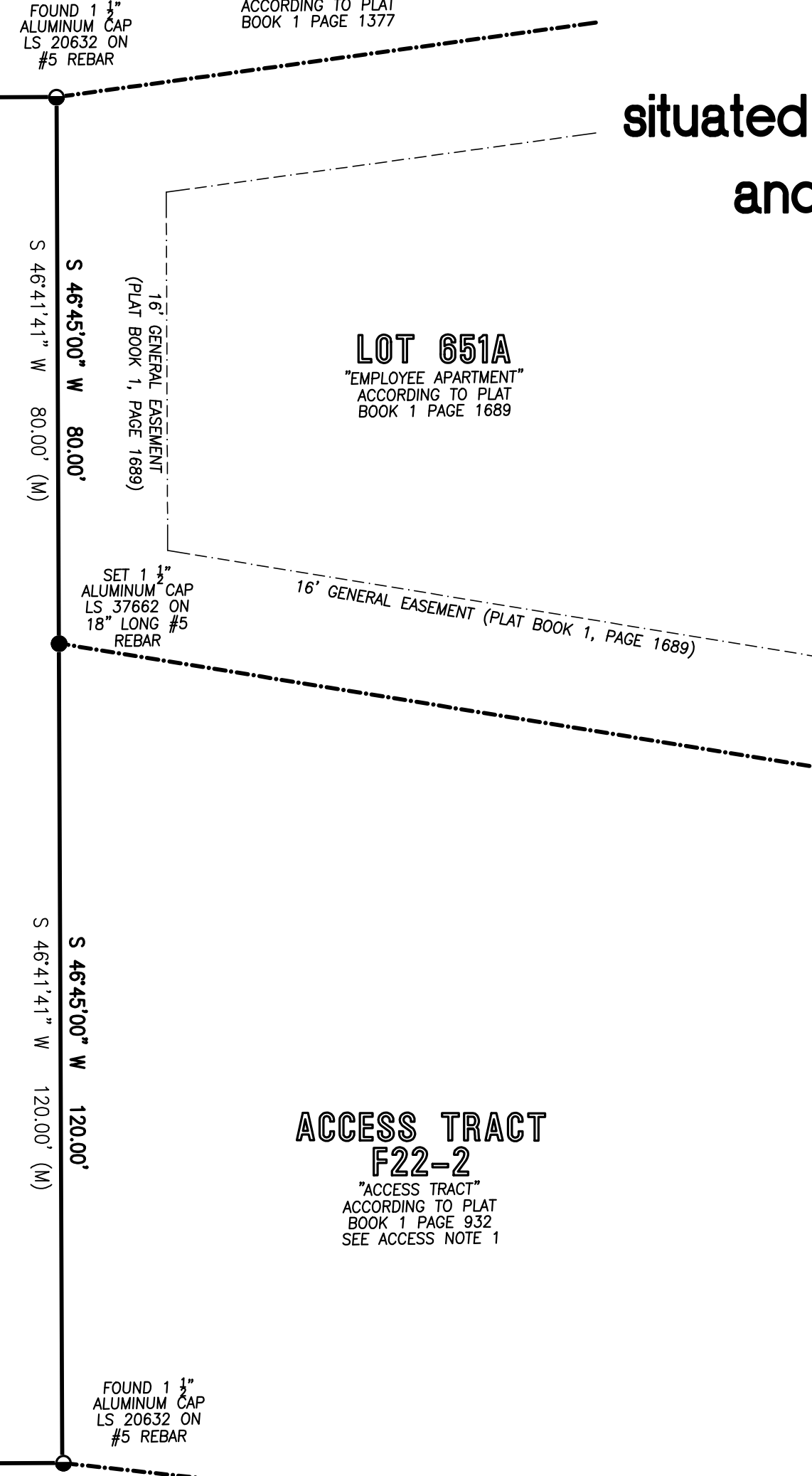
**BULSON SURVEYING**



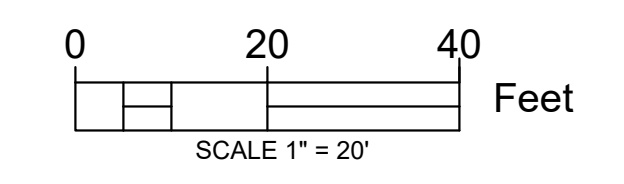
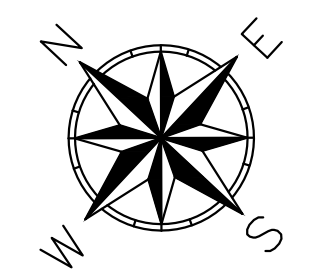
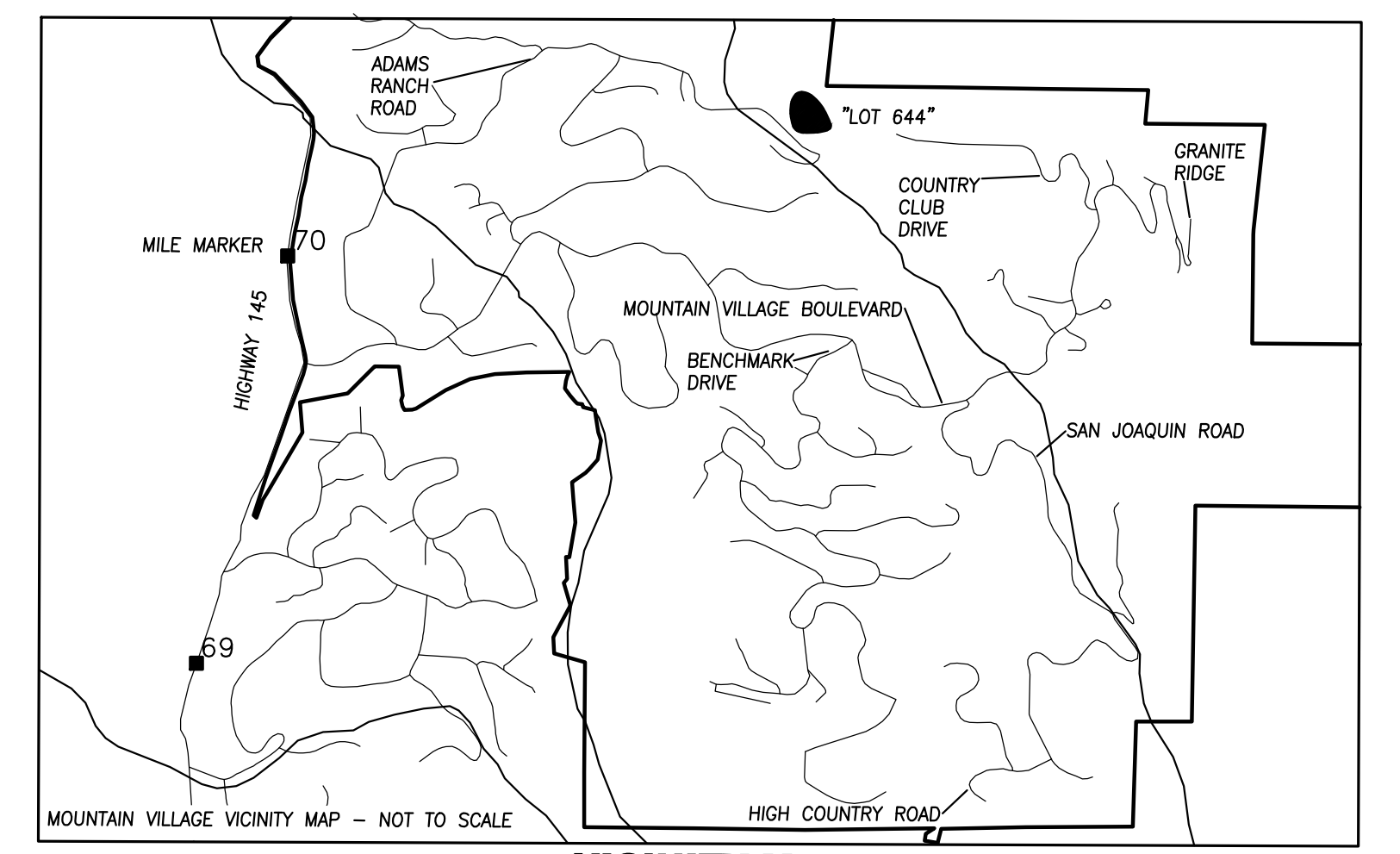
TRACT OSP-23



TRACT OSP-23



Lot 644R, Town of Mountain Village, a Replat of Lot 644, Town of Mountain Village situated within the SE 1/4 SE 1/4 and NE 1/4 SE 1/4 Section 33 and SW 1/4 SW 1/4 Section 34, T. 43 N. R. 9 W. NMPM County of San Miguel, State of Colorado.



OWNER'S CERTIFICATE: KNOW ALL PERSONS BY THESE PRESENTS that TOWN OF MOUNTAIN VILLAGE, A HOME-RULE MUNICIPALITY AND POLITICAL SUBDIVISION OF THE STATE OF COLORADO, being the owners of the following described land:

LOT 644, TELLURIDE MOUNTAIN VILLAGE, PLING 22, ACCORDING TO THE PLAT RECORDED SEPTEMBER 22, 1989 IN PLAT BOOK 1 AT PAGE 932, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Have by these presents caused same to be laid out, platted and subdivided the same into lots, as shown on this plat under the name and style of LOT 644R, TOWN OF MOUNTAIN VILLAGE, and hereby dedicate portions of Lot 644R as a 6' general easements as shown hereon.

OWNER: \_\_\_\_\_ as Mayor, Town of Mountain Village, Colorado

ACKNOWLEDGMENT: State of \_\_\_\_\_ ) as \_\_\_\_\_ ) County of \_\_\_\_\_ )

The foregoing signature was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2022 A.D. by \_\_\_\_\_ as Mayor, Town of Mountain Village, Colorado

My commission expires \_\_\_\_\_ Witness my hand and seal.

Notary Public: \_\_\_\_\_

EASEMENT VACATION: The undersigned being the beneficiaries of record of those portions of land labeled as 'PORTION OF 16' GENERAL EASEMENT (PLAT BOOK 1, PAGE 932) VACATED BY THIS PLAT' as established on the property as shown hereon by the Plat of record filed in the Office of the Clerk and Recorder of San Miguel County do hereby vacate and relinquish that portion of said easement as shown vacated on this Plat.

TSG Ski & Golf, LLC, a Delaware limited liability company

By: \_\_\_\_\_ Vice President

ACKNOWLEDGMENT: State of \_\_\_\_\_ ) as \_\_\_\_\_ ) County of \_\_\_\_\_ )

The foregoing signature was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2022 by \_\_\_\_\_ as Vice President of TSG Ski & Golf, LLC, a general partner of the TSG Ski & Golf, LLC, a Delaware limited liability company.

My commission expires \_\_\_\_\_ Witness my hand and seal.

Notary Public: \_\_\_\_\_

ACKNOWLEDGMENT: State of \_\_\_\_\_ ) as \_\_\_\_\_ ) County of \_\_\_\_\_ )

The foregoing signature was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2022 A.D. by \_\_\_\_\_ as Mayor, Town of Mountain Village, Colorado

My commission expires \_\_\_\_\_ Witness my hand and seal.

Notary Public: \_\_\_\_\_

ACKNOWLEDGMENT: State of \_\_\_\_\_ ) as \_\_\_\_\_ ) County of \_\_\_\_\_ )

The foregoing signature was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2022 A.D. by \_\_\_\_\_ as President of Mountain Village Owner's Association.

My commission expires \_\_\_\_\_ Witness my hand and seal.

Notary Public: \_\_\_\_\_

SURVEYOR'S CERTIFICATE: I, David Bulson of Bulson Surveying, being a Colorado Licensed Surveyor, do hereby certify that this plat and survey of LOT 644R, TOWN OF MOUNTAIN VILLAGE was made by me and under my direct responsibility, supervision and checking, in compliance with the applicable provisions of Title 38, Article 51, C.R.S., and that both are true and accurate to the best of my knowledge and belief.

SUBMITTED FOR APPROVAL P.L.S. No. 37862 Date \_\_\_\_\_

- NOTES: 1. Easement research and property description according to Land Title Guarantee Company, Order Number ABS86012474, dated December 20, 2021 at 5:00 P.M. 2. The Land does not lie within a Special Flood Hazard Area as defined by the Federal Emergency Management Agency (FEMA). According to the Flood Insurance Rate Maps for San Miguel County, Colorado, Community Panel 0811300287D, dated 09/30/1992 this property lies in Zone X, areas determined to be outside of the 500 year flood plain. 3. BASIS OF BEARINGS. The bearing along the Southern boundary of Lot 644, was measured to be N43°14'05"W using real time kinematic GPS survey. The end points of said western boundary are as monumented and described hereon. 4. Lineal units represented hereon are shown in U.S. Survey Feet or a decimal portion thereof. 5. Approval of this plan may create a vested property right pursuant to Article 68 of Title 24, C.R.S., as amended. 6. NOTES OF CLARIFICATION: a. The Configuration of the following lots, tracts, and right-of-way have been modified by this plat: none b. The following lots have been created by this plat: Lot 644R c. The following lots have been deleted by this plat: Lot 644 7. The word certify as used hereon means an expression of professional opinion regarding the facts of this survey and does not constitute a warranty or guarantee, expressed or implied.

- 8. This survey is prepared for the exclusive use of the party or parties indicated within the surveyor's statement. Said statement does not extend to any unnamed person or parties without an express statement by the surveyor naming said entities. 9. According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon. 10. The "M" designation along the property line dimensions indicate "measured" dimensions according to this Replat. The corresponding dimensions without the "M" designation are the dimensions according to the plat of Telluride Mountain Village, Pling 22, recorded September 22, 1989 in Plat Book 1 at page 932, county of San Miguel, State of Colorado.

TOWN OF MOUNTAIN VILLAGE APPROVAL:

I, \_\_\_\_\_ as Mayor of the Town of Mountain Village, Colorado, do hereby certify that this Plat has been approved by the Town by resolution No. \_\_\_\_\_ and has authorized and directed me to execute this document.

Mayor \_\_\_\_\_ Date \_\_\_\_\_

I, Michelle Haynes, as Planning and Development Services Director of the Town of Mountain Village do hereby certify that this plat has been approved by the Town by resolution No. \_\_\_\_\_

Michelle Haynes, \_\_\_\_\_ Date \_\_\_\_\_ Planning and Development Services Director

TITLE INSURANCE COMPANY CERTIFICATE: Land Title Guarantee Company does hereby certify that we have examined the title to all lands herein shown on this plat and that the title to this land is in the names of those persons shown in the Owners Certificate which is on the face hereof and is free of all liens and taxes, except as follows:

Title Insurance Company Representative \_\_\_\_\_

TREASURER'S CERTIFICATE: I, the undersigned, Treasurer of the County of San Miguel, do hereby certify that according to the records of the San Miguel County Treasurer there are no liens against the subdivision or any part thereof for unpaid state, county, municipal or local taxes or special assessments due and payable, in accordance with Land Use Code Section 3-101. Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

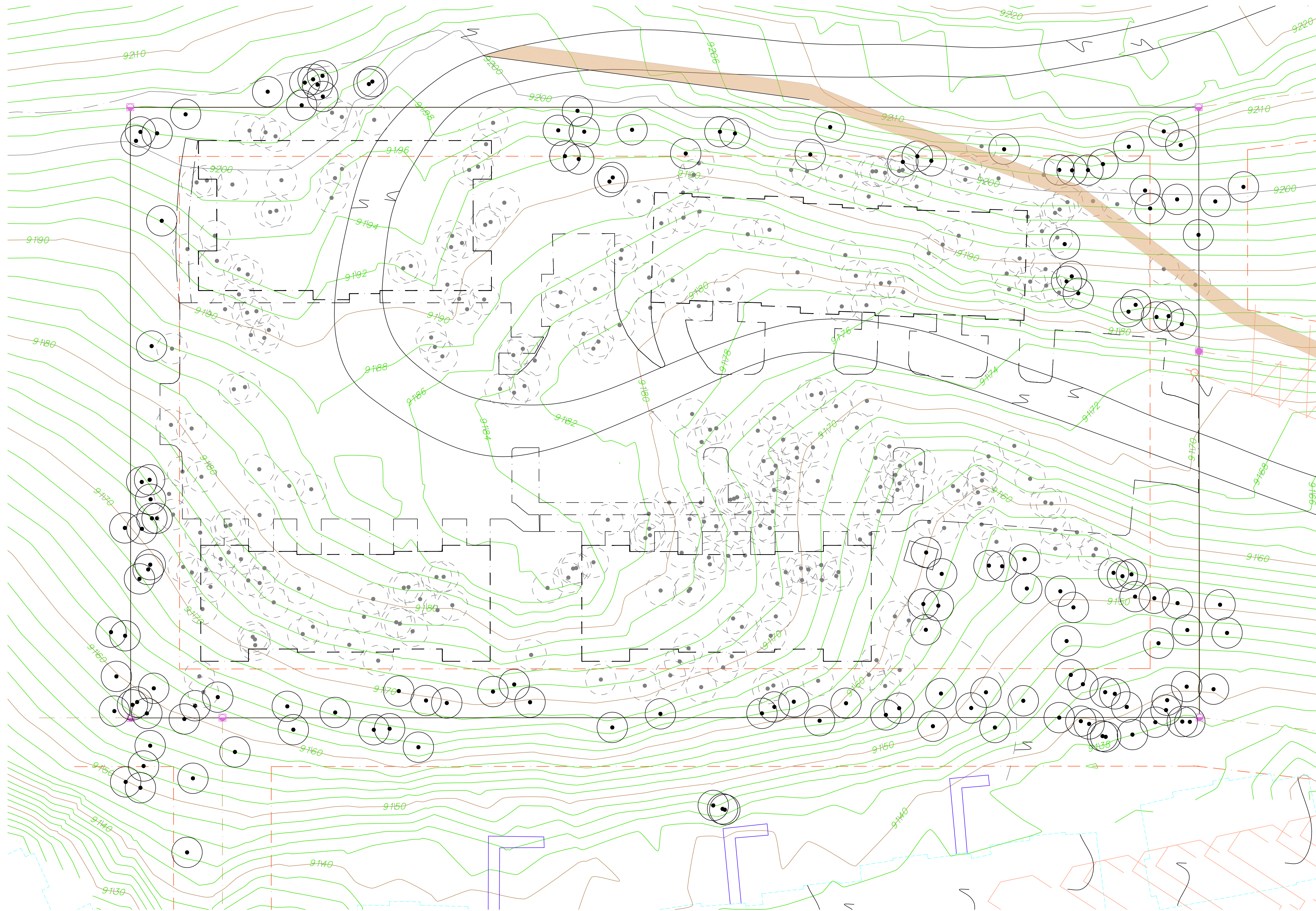
San Miguel County Treasurer \_\_\_\_\_

RECORDER'S CERTIFICATE: This plat was filed for record in the office of the San Miguel County Clerk and Recorder on this \_\_\_\_\_ day of \_\_\_\_\_, 2022, at Reception No. \_\_\_\_\_ Time \_\_\_\_\_

San Miguel County Clerk \_\_\_\_\_

Table with 2 columns and 2 rows. Top-left: TOWN OF MOUNTAIN VILLAGE vacant TBD, Adams Ranch Road Mountain Village, CO, 81435. Top-right: Lot 644R Town of Mountain Village SE 1/4 and NE 1/4 Section 33 and SW 1/4 Section 34 T. 43 N. R. 9 W. NMPM. Bottom-left: May 04, 2022. Bottom-right: PROJECT NUMBER 22025. Logo for BULSON SURVEYING.





--- PROPOSED BUILDING AND PAVING FOOTPRINT

○ EXISTING TREE TO BE PRESERVED

ALL TREES SHALL BE REMOVED UNLESS INDICATED AS PRESERVED

# 1 TREE REMOVAL PLAN

1/16" = 1'-0"



**TRIUMPH WEST**  
 105 Edwards Village Blvd  
 Edwards, CO 81632  
 P.O. Box 2444  
 www.triumphdev.com

**MV NEIGHBORHOOD**  
**LOT 644**  
 ADAMS RANCH ROAD  
 MOUNTAIN VILLAGE, COLORADO



Revisions:  
 Sheet title  
**TREE REMOVAL PROTECTION PLAN**

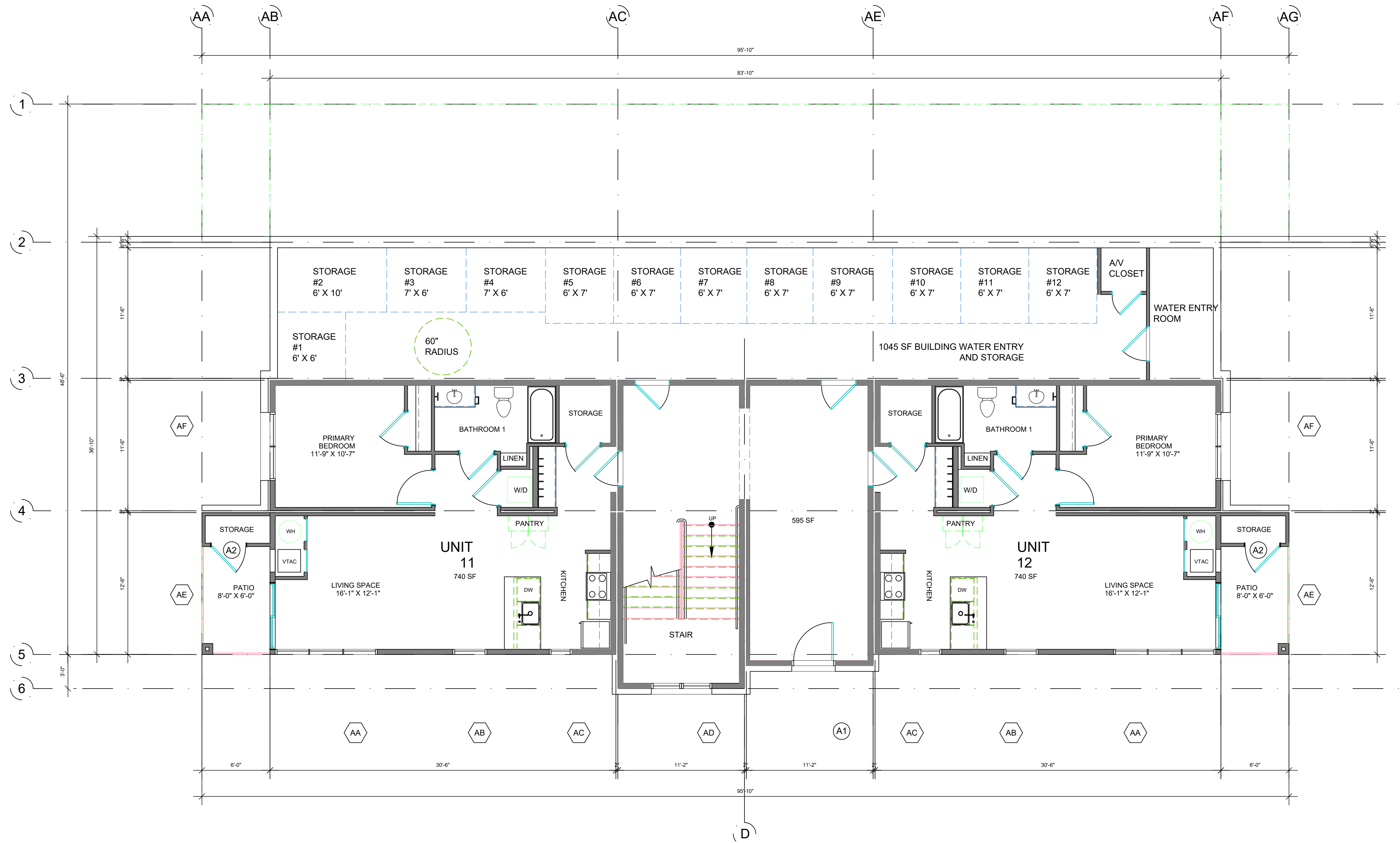
Stamp

Date: 8/01/2022  
 Project No:  
 Drawn by: MEF  
 Checked by: MEF

Sheet  
**A1.5**

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MOUNTAIN VILLAGE - MULTIFAMILY BUILDING A

BUILDING	OWNER STORAGE CIRCULATION GROUND FLOOR	1 BEDROOM UNITS	2 BEDROOM 1 BATH	2 BEDROOM 2 BATH	CIRCULATION	DECK / STORAGE	TOTAL SF
BUILDING A	1640 SF	4 UNITS (740 SF EACH)	2 UNITS (965 SF EACH)	6 UNITS (1015 SF EACH)	3 X 375 SF = 1125 SF	12 X 75 SF	
TOTALS FOR BUILDING A	1640 SF	2,960 SF	1910 SF	6,090 SF	1,320 SF	900 SF	13,925 LIVING SF

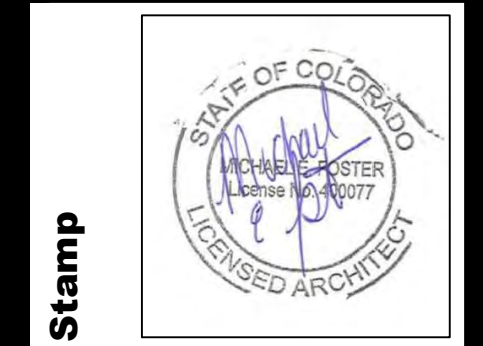
**1** BUILDING A - GROUND FLOOR PLAN  
3/16" = 1'-0"

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Edwards CO 81632  
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**MOUNTAIN VILLAGE NEIGHBORHOOD**  
LOT 644  
MOUNTAIN VILLAGE, COLORADO

Revisions:  
DRB FINAL SUBMISSION

Sheet title  
BUILDING A FLOOR PLANS



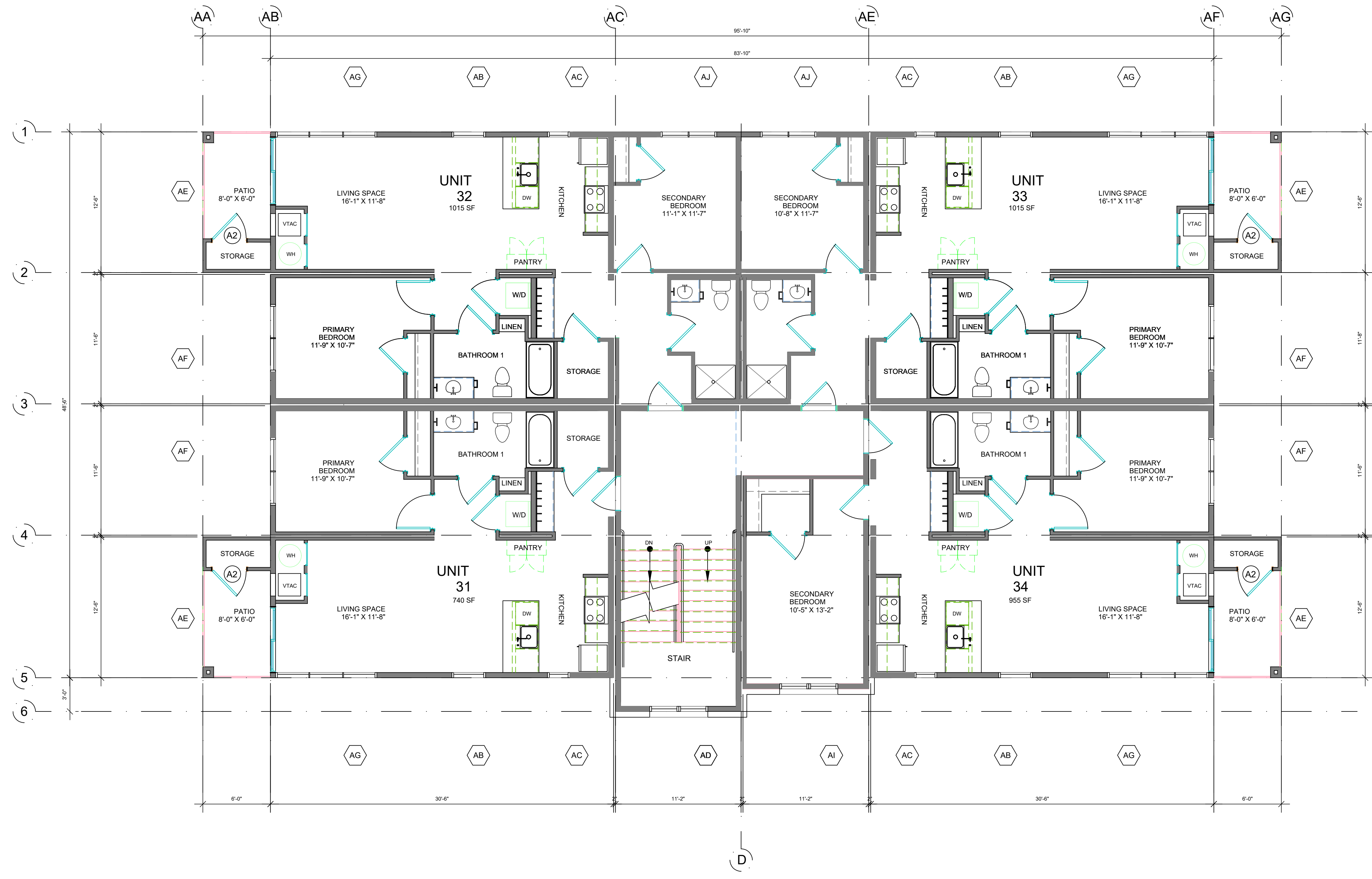
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Project No:  
Drawn by: MEF  
Checked by: MEF

Sheet  
**AA2.0**









MOUNTAIN VILLAGE - MULTIFAMILY BUILDING A

BUILDING	OWNER STORAGE CIRCULATION GROUND FLOOR	1 BEDROOM UNITS	2 BEDROOM 1 BATH	2 BEDROOM 2 BATH	CIRCULATION	DECK / STORAGE	TOTAL SF
BUILDING A	1640 SF	4 UNITS (740 SF EACH)	2 UNITS (955 SF EACH)	6 UNITS (1015 SF EACH)	3 X 375 SF = 1125 SF	12 X 75 SF	13,925 LIVING SF
TOTALS FOR BUILDING A	1640 SF	2,960 SF	1910 SF	6,090 SF	1,320 SF	900 SF	

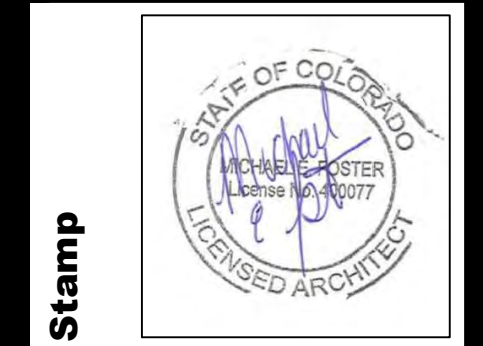
**1** BUILDING A - SECOND FLOOR PLAN  
3/16" = 1'-0"

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**MOUNTAIN VILLAGE**  
**NEIGHBORHOOD**  
**LOT 644**  
**MOUNTAIN VILLAGE, COLORADO**

Revisions:  
**DRB FINAL SUBMISSION**

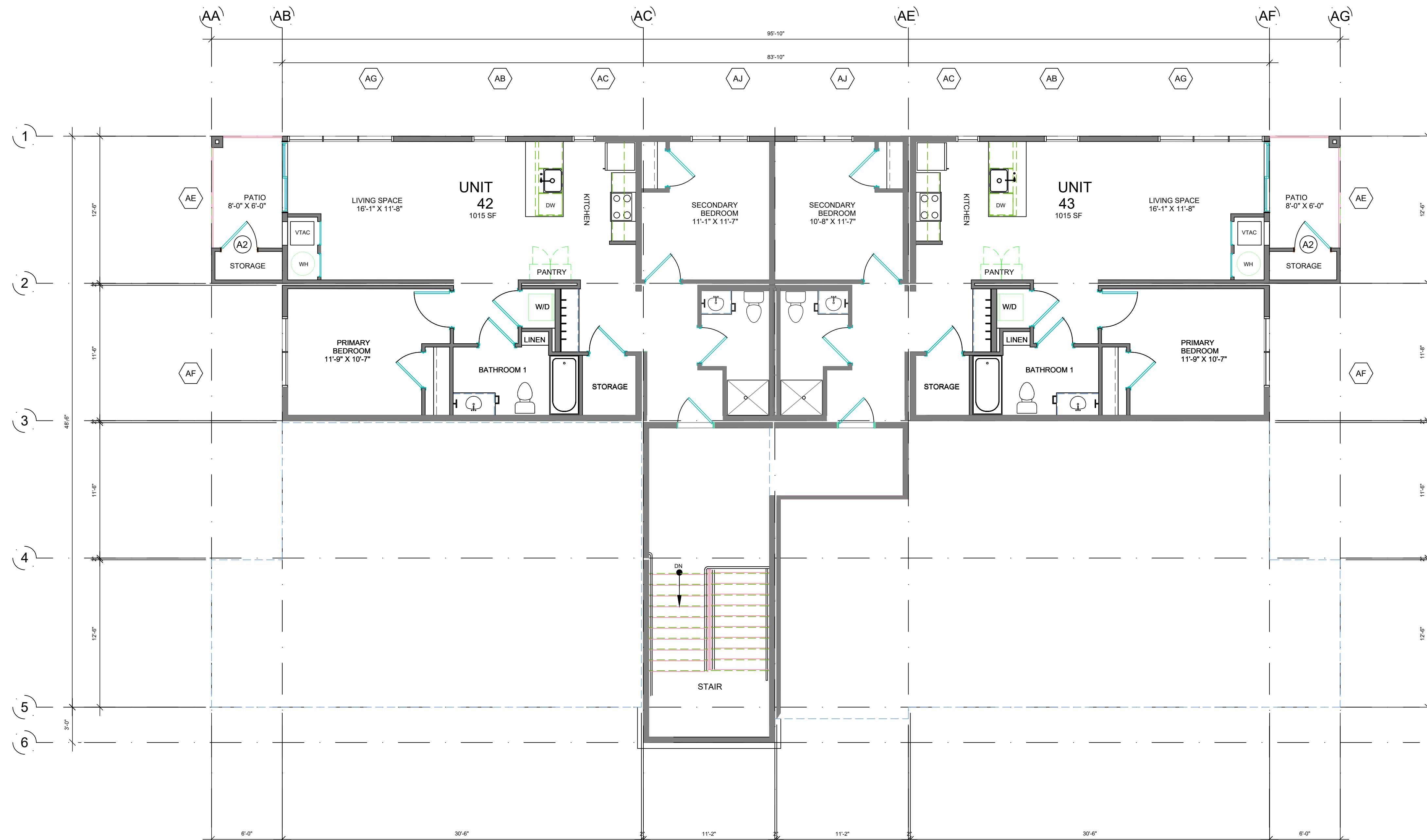
Sheet title  
**BUILDING A FLOOR PLANS**



Date: 10/19/2022  
Project No:  
Drawn by: MEF  
Checked by: MEF

Sheet **AA2.2**





MOUNTAIN VILLAGE - MULTIFAMILY BUILDING A

BUILDING	OWNER STORAGE CIRCULATION GROUND FLOOR	1 BEDROOM UNITS	2 BEDROOM 1 BATH	2 BEDROOM 2 BATH	CIRCULATION	DECK / STORAGE	TOTAL SF
BUILDING A	1640 SF	4 UNITS (740 SF EACH)	2 UNITS (960 SF EACH)	6 UNITS (1015 SF EACH)	3 X 375 SF = 1350SF	12 X 75 SF	
TOTALS FOR BUILDING A	1640 SF	2,960 SF	1910 SF	6,090 SF	1,320 SF	900 SF	13,925 LIVING SF

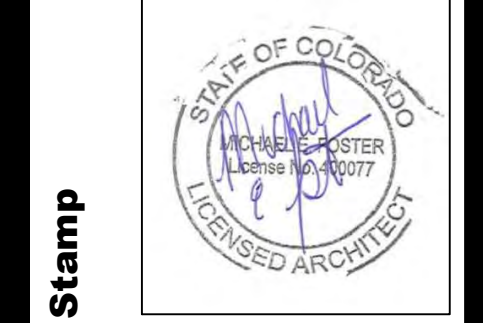
**1** BUILDING A - THIRD FLOOR PLAN  
3/16" = 1'-0"

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**MOUNTAIN VILLAGE NEIGHBORHOOD**  
LOT 644  
MOUNTAIN VILLAGE, COLORADO

Revisions:  
DRB FINAL SUBMISSION

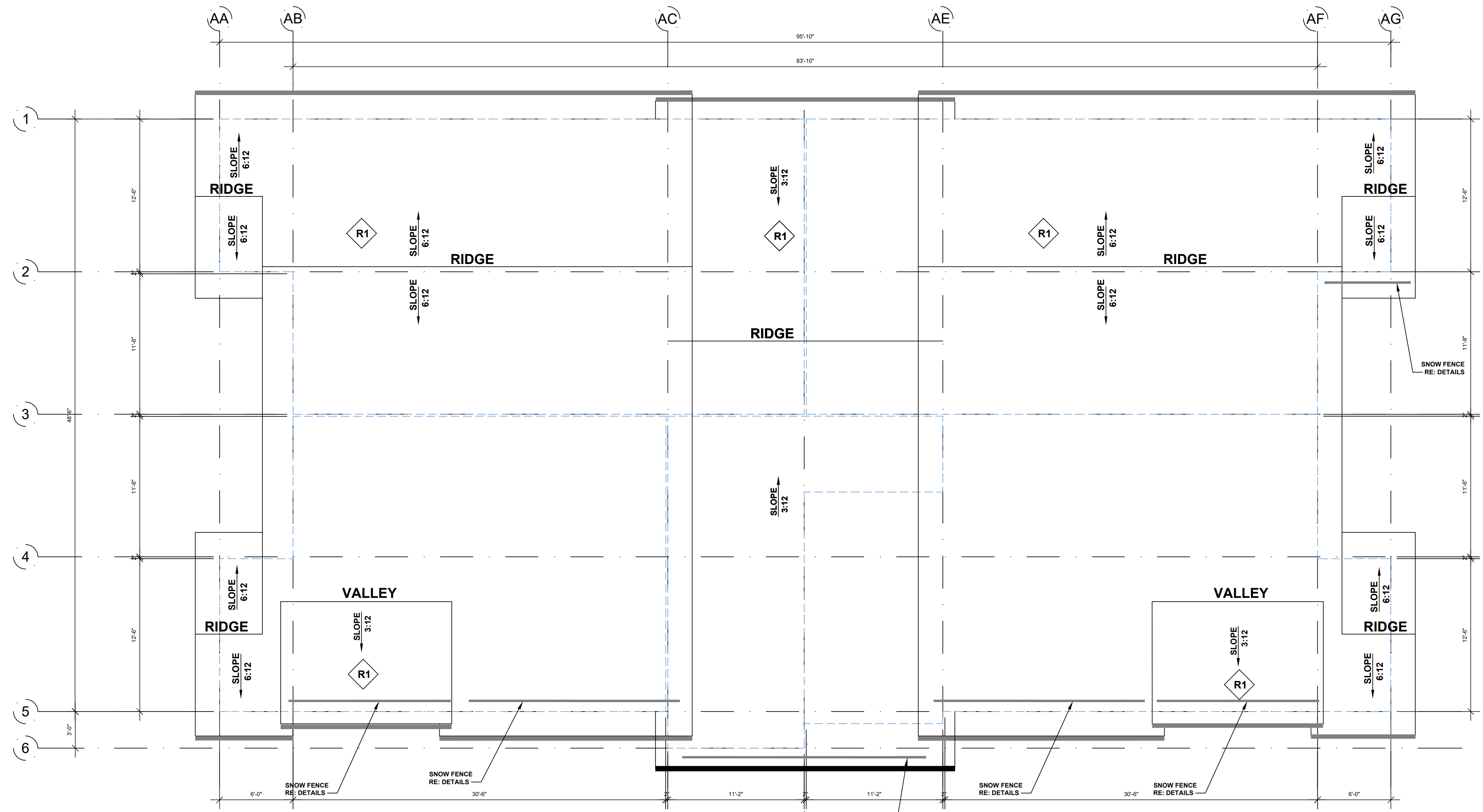
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BUILDING A FLOOR PLANS



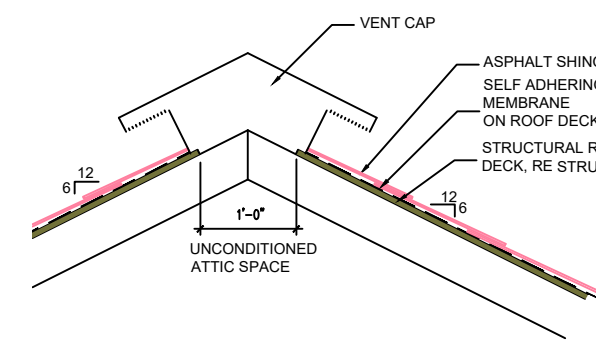
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Project No:  
Drawn by: MEF  
Checked by: MEF

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Sheet **AA2.3**

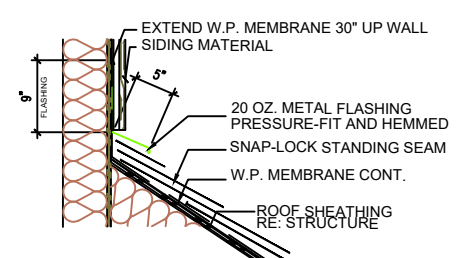




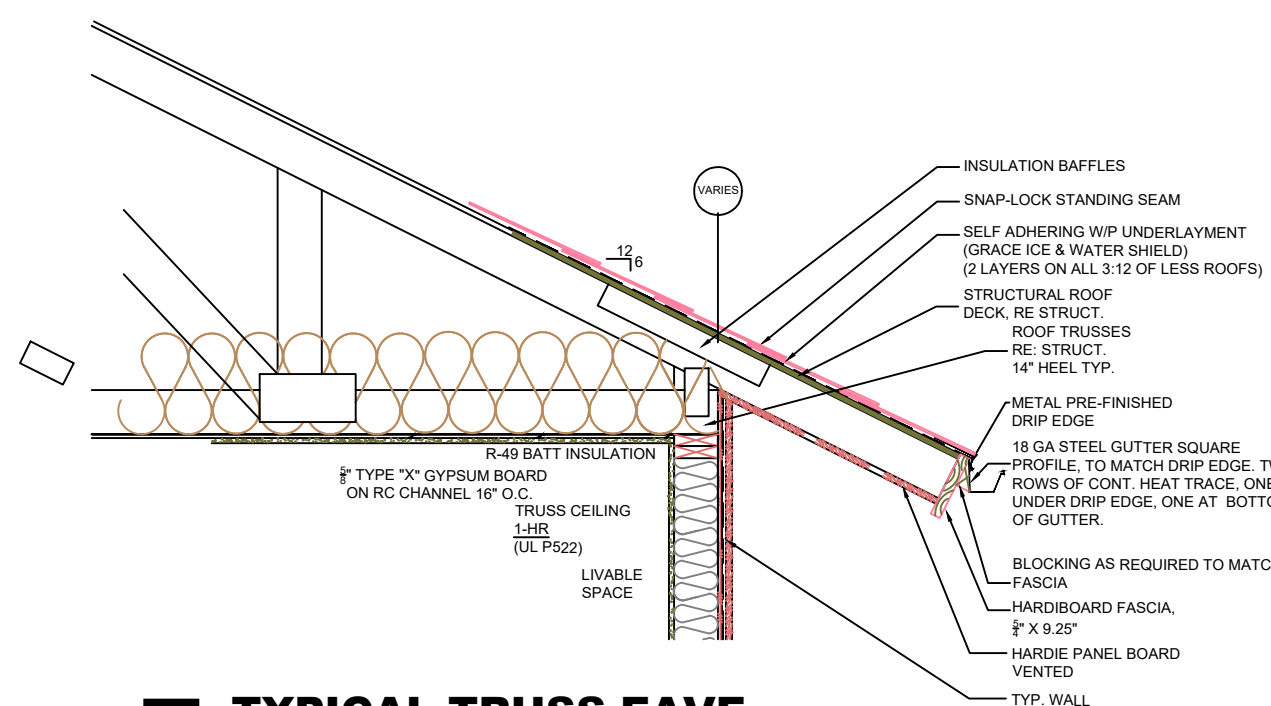
**1 BUILDING A - ROOF PLAN**  
 3/16" = 1'-0"



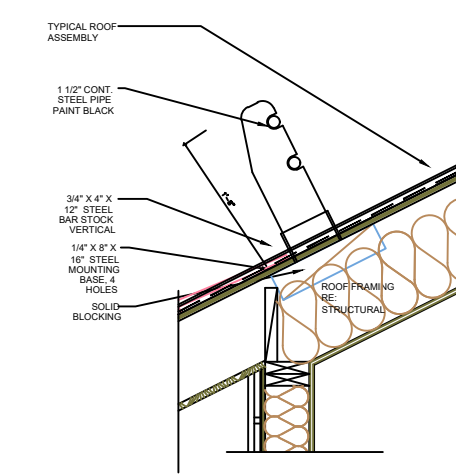
**5 TYPICAL ROOF RIDGE**  
 1/2" = 1'-0"



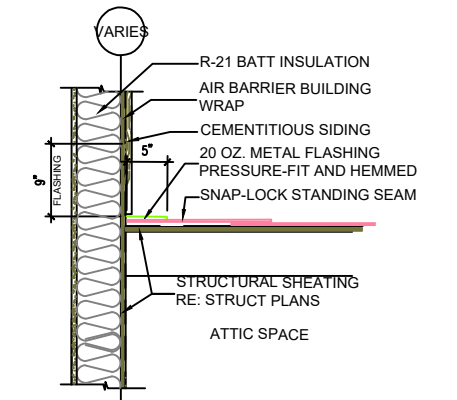
**3 TYPICAL WALL / ROOF**  
 1/2" = 1'-0"



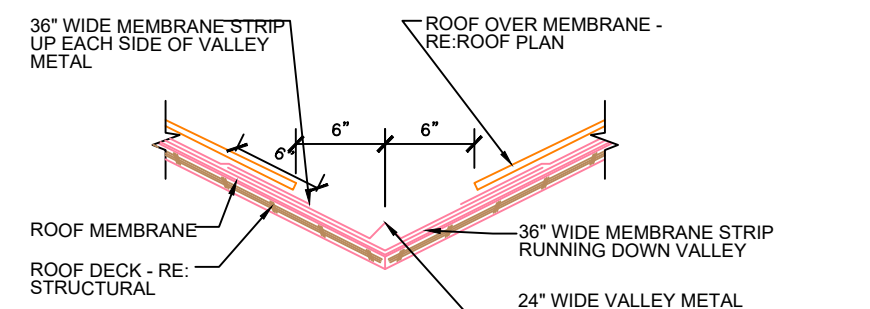
**7 TYPICAL TRUSS EAVE**  
 1/2" = 1'-0"



**6 SNOW FENCE**  
 N.T.S.



**4 TYPICAL WALL / ROOF**  
 1/2" = 1'-0"



**PROCEDURE:**  
 1. PRIME 6'-0" EACH SIDE OF VALLEY AND INSTALL ICE AND WATER SHIELD MEMBRANE SHINGLE STYLE.  
 2. INSTALL 3'-0" WIDE STRIP OF HEAT RESISTANT MEMBRANE CENTERED ON VALLEY - RUNNING DOWN THE VALLEY.  
 3. INSTALL 24" WIDE METAL VALLEY FLASHING W/V CRIMP @ CENTERLINE. SEAL AND LAP JOINTS 12".  
 4. INSTALL 36" WIDE MEMBRANE UP VALLEY EACH SIDE. OVERLAP VALLEY METAL 6" W/MEMBRANE.  
 5. INSTALL SHINGLES. (REFER TO SPECIFICATIONS FOR ROOF MEMBRANE AND SHINGLES).

**2 TYPICAL VALLEY FLASHING**  
 N.T.S.

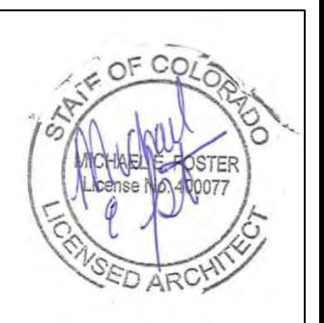
- ROOF GENERAL NOTES:**
- CONTRACTOR SHALL COORDINATE ALL PENETRATIONS FOR EXHAUST, INTAKES, VENTS, ETC. TO ENSURE CODE REQUIRED CLEARANCES ARE MET.
  - RAIN GUTTERS, DOWNSPOUTS, CONDUCTOR HEADS, AND DOWNSPOUT BOOTS SHALL BE INSTALLED PER VENDOR REQUIREMENTS. DOWNSPOUT LOCATIONS SHALL BE SUBMITTED TO AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION. VENDOR SHALL CONFIRM THAT DESIGN SIZES AND LAYOUT ARE ADEQUATE TO PROVIDE A POSITIVE DRAINING SYSTEM FOR THE ENTIRE ROOF AREA.
  - MECHANICAL EQUIPMENT IS SHOWN FOR REFERENCE ONLY. RE-MECH DRAWINGS FOR LOCATIONS, SPECIFICATIONS, CLEARANCE, ETC.
  - ALL REQUIRED CRICKETS MAY NOT BE INDICATED. CONTRACTOR TO PROVIDE CRICKETS AS REQUIRED TO ENSURE PROPER DRAINAGE AROUND ROOF PENETRATIONS AND VERTICAL WALL/SLOPE ROOF INTERSECTIONS.
  - 24 GA METAL GUTTER AND DOWNSPOUT. BRONZE.
  - RE: MECH PLANS FOR ATTIC VENTILATION CALCULATIONS
  - COMPLETE DRAFT STOPPING PER CODE (718.4.2 EXCEPTION 3). INSTALL 1/2 DRYWALL OR INSULATION TO UNDERSIDE OF ROOF DECKING ABOVE. SEE ROOF PLANS FOR LOCATIONS TO ISOLATE 2 UNITS.

**TRIUMPH DEV. WEST**  
 105 Edwards Village Blvd  
 #C201  
 Edwards CO 81632  
 P.O. Box 2444  
 www.triumphdev.com

**MOUNTAIN VILLAGE NEIGHBORHOOD**  
 LOT 644  
 MOUNTAIN VILLAGE, COLORADO

Revisions:  
**DRB FINAL SUBMISSION**

Sheet title  
**BUILDING A ROOF PLAN**



Date: 10/19/2022  
 Project No:  
 Drawn by: MEF  
 Checked by: MEF

Sheet **AA3.0**















**BUILDING A - EXTERIOR FINISH SCHEDULE**

TAG	ITEM	MATERIAL	COLOR
R1	PRIMARY ROOF	SNAP-LOCK STANDING SEAM	BURNISHED SLATE
R2	ROOF CAP	VENTED - METAL ROOF CAP	BRONZE
R3	GUTTER	METAL GUTTER	BRONZE
D1	DRIP EDGE	ALUMINUM (PREFINISHED)	MATCH ADJACENT ROOF
F1	FASCIA @ R1	FIBER CEMENT BOARDS - 5/4 RUSTIC x 9.25"	IRON ORE - SW 7069
F2	FASCIA @ R2	FIBER CEMENT BOARDS - 5/4 RUSTIC x 5.25"	IRON ORE - SW 7069
F3	SOFFIT	FIBER CEMENT SOFFIT PANELS - VENTED SMOOTH	IRON ORE - SW 7069
S1	BOARD AND BATTEN	FIBER CEMENT VERT SIDING 3.5" OVER FIBER CEMENT PLANKS - SMOOTH	FRENCH ROAST - SW6069
S2	HORIZONTAL LAP SIDING	FIBER CEMENT LAP SIDING - 3" X 9 1/2" 6" EXPOSED - @ WINDOW / DOOR INFILL	SAND TRAP - SW 6066
S3	METAL SIDING PANELS	MBCH HORZ. METAL WALL SYSTEM - PBC 1 1/2"	MEDIUM BRONZE
S4	STONE	NATURAL STONE VENEER	GALLECOS #303 NORTHSTAR BLACK
W1	DOORS AND WINDOWS	PREMIUM VINYL	BLACK
T1	DOORS AND WINDOWS TRIM	FIBER CEMENT 3/4" SMOOTH 3.5" RAILS 3/4" SMOOTH 5.5" HEAD AND SILL	MATCH FIELD
T2	SIDING TRIM	FIBER CEMENT - 3/4" SMOOTH 5.5"	MATCH FIELD
T3	BELLY BAND	FIBER CEMENT - 3/4" SMOOTH 11.25"	SW - FRENCH ROAST
T4	INSIDE CORNER TRIM	FIBER CEMENT - 3/4" SMOOTH 3.5"	MATCH FIELD
T5	OUTSIDE CORNER TRIM	FIBER CEMENT - 3/4" SMOOTH 5.5"	MATCH FIELD
T6	FRIEZE TRIM	FIBER CEMENT - 3/4" SMOOTH 5.5"	MATCH FIELD
T7	6X6 TIMBER COLUMN	TREATED CEDAR POST	LIFETIME STAIN
T8	BELLY BAND	FIBER CEMENT - 3/4" SMOOTH 9.25"	SW - FRENCH ROAST
T9	10X10 TIMBER COLUMN	TREATED CEDAR POST	LIFETIME STAIN
MTL1	METAL RAILING	STANDARD DESIGN - FORTRESS	POWDER COAT - BLACK
MTL2	VTAC GRILLE	METAL FRAME AND LOUVERS	MATCH FIELD

1. IN THE CASE OF ANY DISCREPANCIES BETWEEN THIS SCHEDULE AND OTHER CONTRACT DOCUMENTS, THE INFORMATION ON THIS SCHEDULE SHALL TAKE PRECEDENCE.

2. ALL FLASHING, VENTS, FLUES, ROOFTOP MECHANICAL EQUIPMENT, UTILITY BOXES, AND SIMILAR ITEMS SHALL BE PAINTED TO MATCH ADJACENT PORTIONS OF BUILDINGS UNLESS OTHERWISE NOTED.

3. TYPICAL SIDEWALL FLASHING: ICE/WATER SHIELD 2'-6" VERT UP WALL; WRAP INTO OPENINGS, THEN APPLY TYVEK FLASHING TAPE AROUND PENETRATING PIPE. METAL FLASHING EXPOSED 6" UP WALL; TYPICAL AT ALL SIDEWALL CONDITIONS.

4. THESE ELEVATIONS ARE CONCEPTUAL IN NATURE. INDIVIDUAL BUILDING ELEVATIONS MAY VARY BUT WILL BE EVALUATED FOR COMPLIANCE WITH DESIGN STANDARDS CONTAINED WITHIN ESTES PARK CODE AT THE TIME OF SUBMITTING A BUILDING PERMIT



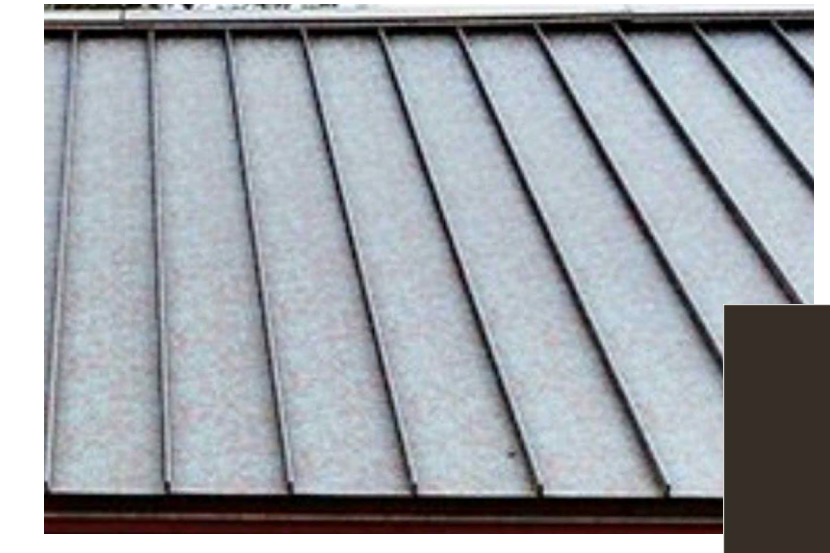
**1 BUILDING A - NORTH ELEVATION**  
3/16" = 1'-0"



**BOARD AND BATTEN**



**CORRUGATED METAL BASE**



**PRIMARY ROOF SNAP-LOCK STANDING SEAM**



**COMPOSITE WINDOWS DOORS, BRONZE COLOR**



**DARK SKY COMPLIANT LIGHTING**



**HORIZONTAL SIDING**



**STONE VENEER**



**FASCIA**



**VTAC LOUVERS COLOR TO MATCH FIELD**



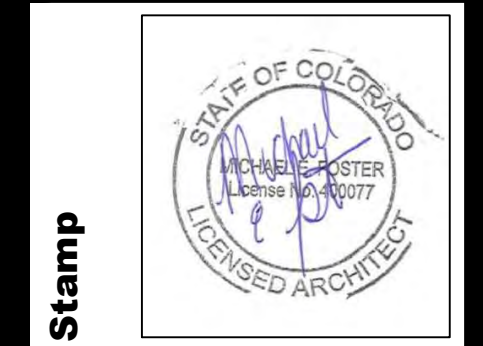
**FORTRESS RAILING**

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**MOUNTAIN VILLAGE NEIGHBORHOOD**  
LOT 644  
**MOUNTAIN VILLAGE, COLORADO**

Revisions:  
**DRB FINAL SUBMISSION**

Sheet title  
**BUILDING A ELEVATIONS**



Date: 10/19/2022  
Project No:  
Drawn by: MEF  
Checked by: MEF

Sheet **AA4.2**



**BUILDING A - EXTERIOR FINISH PERCENTAGE**

WEST ELEVATION		
	SURFACE AREA	PERCENTAGE OF NET
GROSS OF WALL	1,805 SF	NA
NET GLAZING	396 SF	21.9%
NET STONE	0 SF	0%
NET CEMENTITIOUS BOARDS	1177 SF	65.2%
NET METAL PANEL	232 SF	12.9%

1. EXCLUDES ROOF FORMS, FASCIA AND SIMILAR FEATURES.

**BUILDING A - EXTERIOR FINISH PERCENTAGE**

EAST ELEVATION		
	SURFACE AREA	PERCENTAGE OF NET
GROSS OF WALL	1,805 SF	NA
NET GLAZING	396 SF	21.9%
NET STONE	0 SF	0%
NET CEMENTITIOUS BOARDS	1177 SF	65.2%
NET METAL PANEL	232 SF	12.9%

1. EXCLUDES ROOF FORMS, FASCIA AND SIMILAR FEATURES.

**BUILDING A - EXTERIOR FINISH PERCENTAGE**

SOUTH ELEVATION		
	SURFACE AREA	PERCENTAGE OF NET
GROSS OF WALL	3,020 SF	NA
NET GLAZING	673 SF	22.3%
NET STONE	288 SF	9.5%
NET CEMENTITIOUS BOARDS	1,414 SF	46.8%
NET METAL PANEL	645 SF	21.4%

1. EXCLUDES ROOF FORMS, FASCIA AND SIMILAR FEATURES.

**BUILDING A - EXTERIOR FINISH PERCENTAGE**

NORTH ELEVATION		
	SURFACE AREA	PERCENTAGE OF NET
GROSS OF WALL	2,965 SF	NA
NET GLAZING	678 SF	22.9%
NET STONE	0 SF	0%
NET CEMENTITIOUS BOARDS	1,474 SF	49.7%
NET METAL PANEL	813 SF	27.4%

1. EXCLUDES ROOF FORMS, FASCIA AND SIMILAR FEATURES.

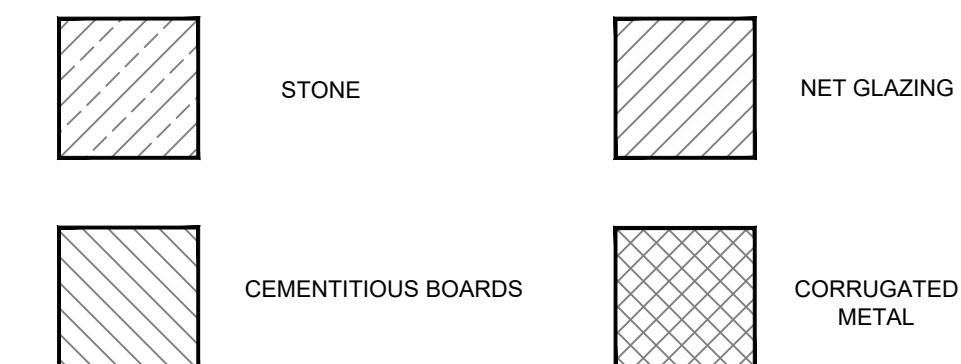
**BUILDING A - EXTERIOR FINISH PERCENTAGE**

TOTAL BUILDING		
	SURFACE AREA	PERCENTAGE OF NET
GROSS OF WALL	9,595 SF	NA
NET GLAZING	2,143 SF	22.4%
NET STONE	288 SF	3.0%
NET CEMENTITIOUS BOARDS	5,242 SF	54.6%
NET METAL PANEL	1,922 SF	20.0%

1. EXCLUDES ROOF FORMS, FASCIA AND SIMILAR FEATURES.



**1 BUILDING A - SOUTH ELEVATION**  
3/16" = 1'-0"



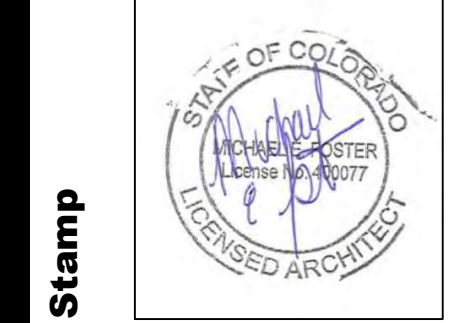
**2 BUILDING A - WEST ELEVATION**  
3/16" = 1'-0"

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**MOUNTAIN VILLAGE, COLORADO**

Revisions:

Sheet title  
**BUILDING A ELEVATIONS MATERIAL CALCULATIONS**



Date: 8/1/2022  
Project No:  
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Sheet **AA4.3**





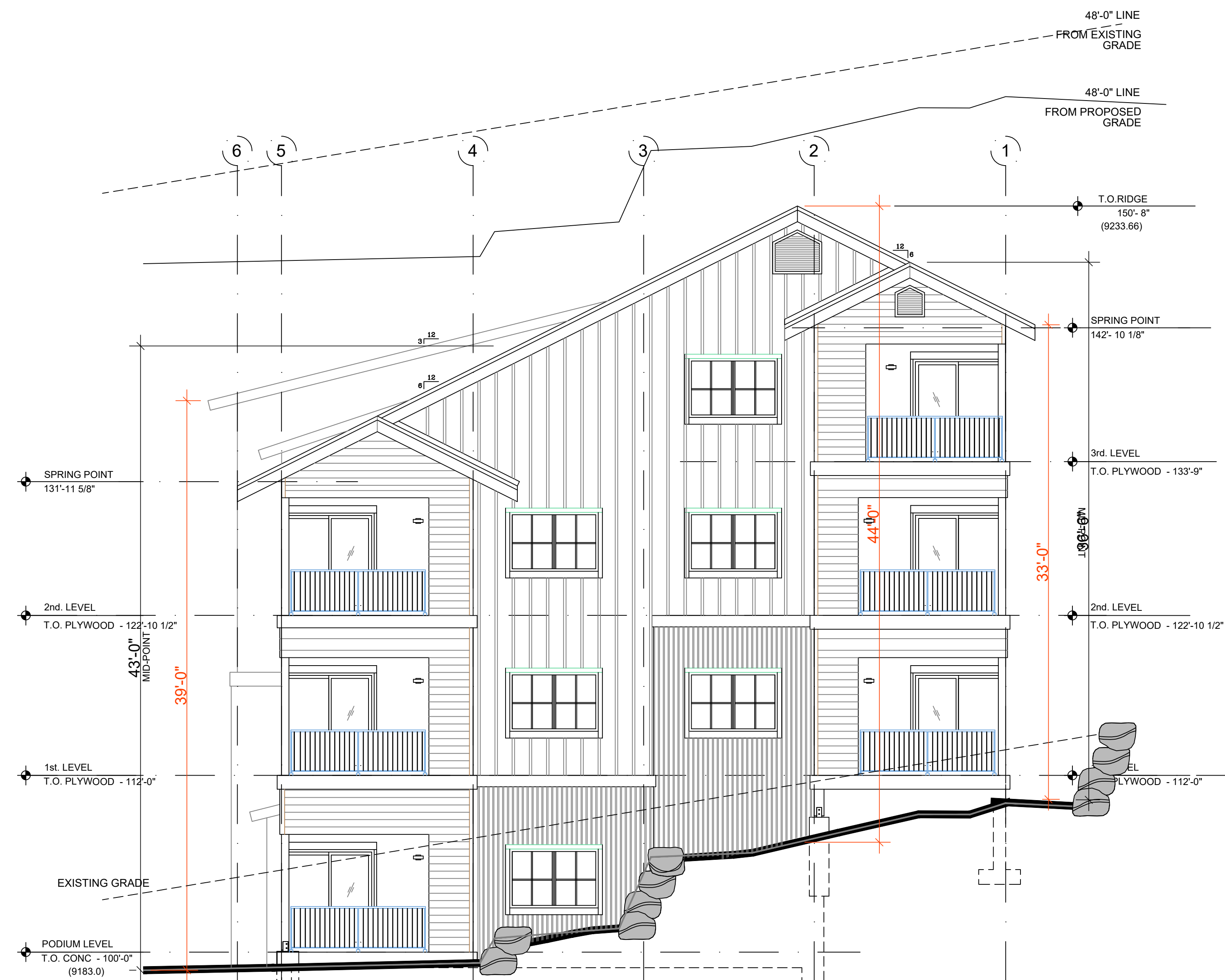








**1 BUILDING A - NORTH ELEVATION**  
3/16" = 1'-0"



**2 BUILDING A - EAST ELEVATION**  
3/16" = 1'-0"

MAXIMUM BUILDING HEIGHT

EG = EXISTING GRADE  
PG = PROPOSED GRADE

STRUCTURE IS BURIED INTO HILLSIDE TO WORK WITH EG. PG ARE RAISED AND SLOPED TO ACCOMMODATE DRAINAGE. PROPOSED GRADE WILL BE THE MOST RESTRICTIVE

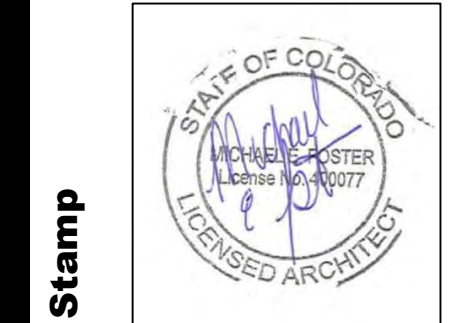
SOUTH ELEVATION MAX HEIGHT = 39'-0"  
EAST ELEVATION MAX HEIGHT = 44'-0"  
NORTH ELEVATION MAX HEIGHT = 34'-0"  
WEST ELEVATION MAX HEIGHT = 44'-0"

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LOT 644  
MOUNTAIN VILLAGE, COLORADO

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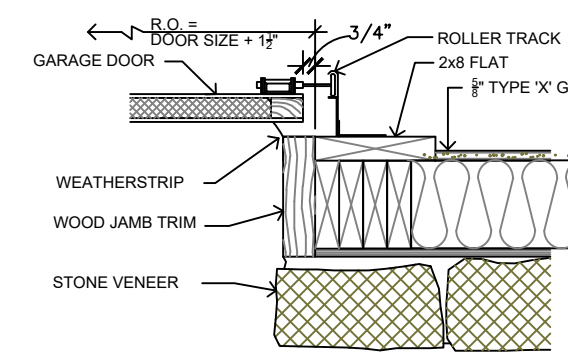
Sheet title  
BUILDING A ELEVATIONS HEIGHT CALCULATIONS



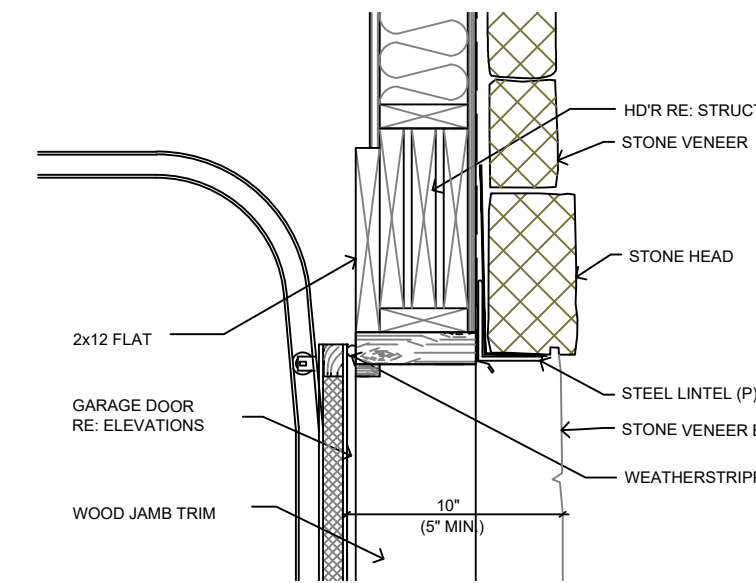
Date: 10/19/2022  
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Sheet **AA4.6**

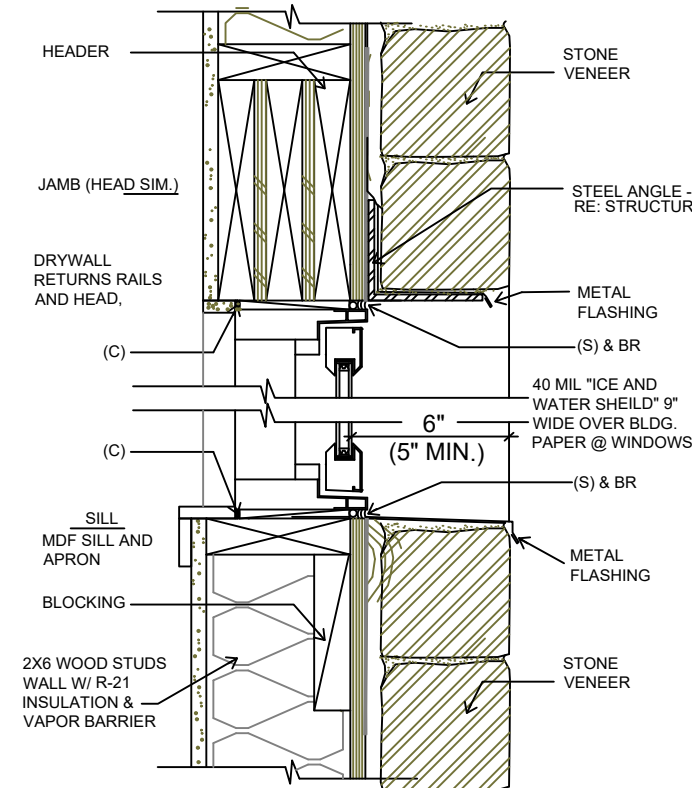




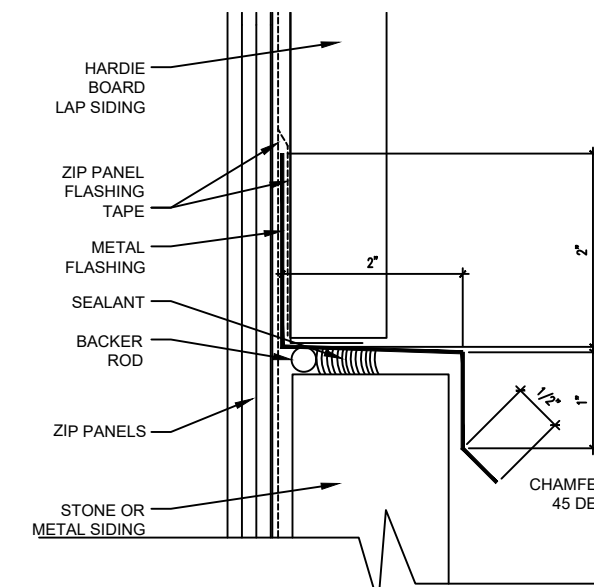
**12 GARAGE DOOR JAMB IN STONE**  
1" = 1'-0"



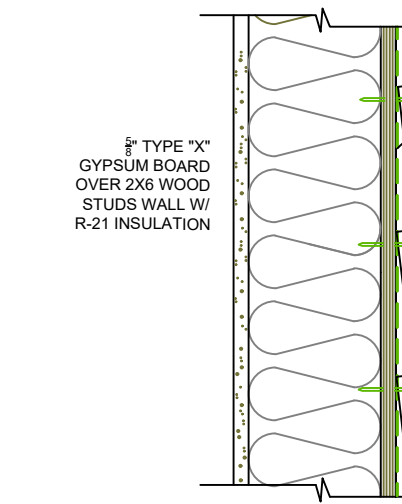
**13 GARAGE DOOR HEAD IN STONE**  
1" = 1'-0"



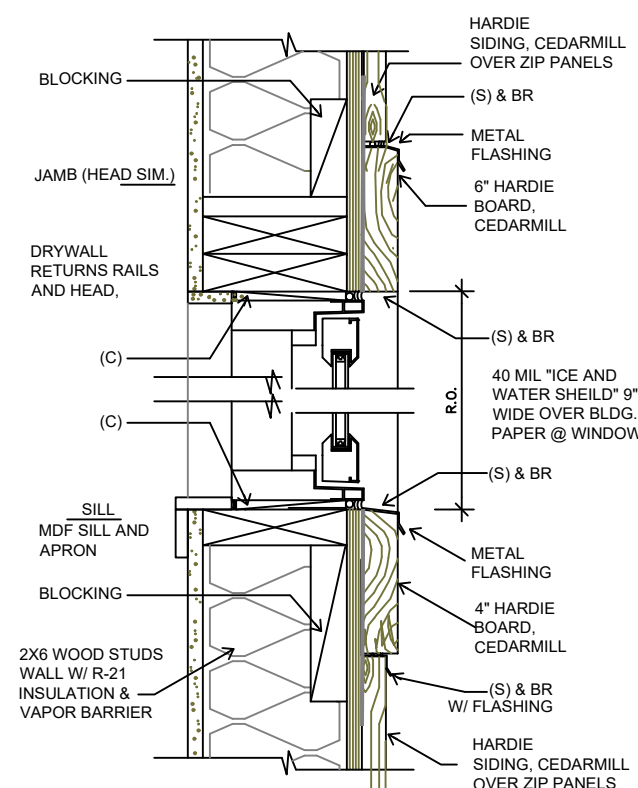
**14 WINDOW IN STONE**  
1" = 1'-0"



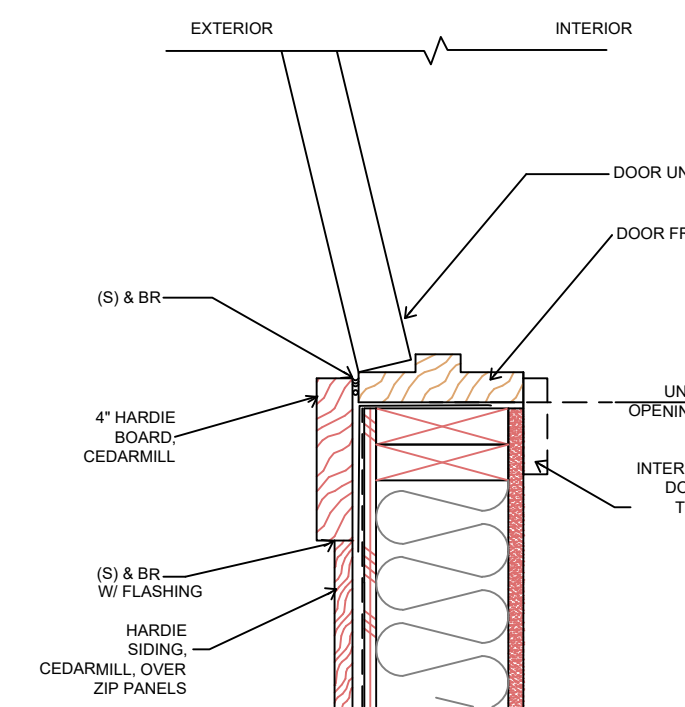
**7 SIDING / STUCCO**  
NTS



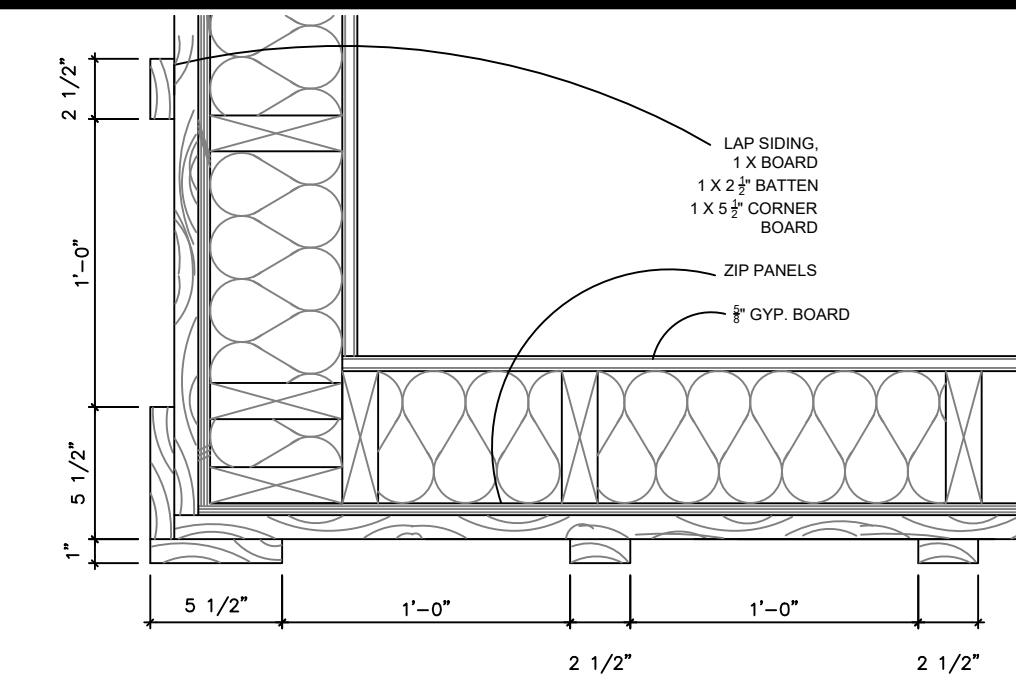
**8 LAP SIDING**  
NTS



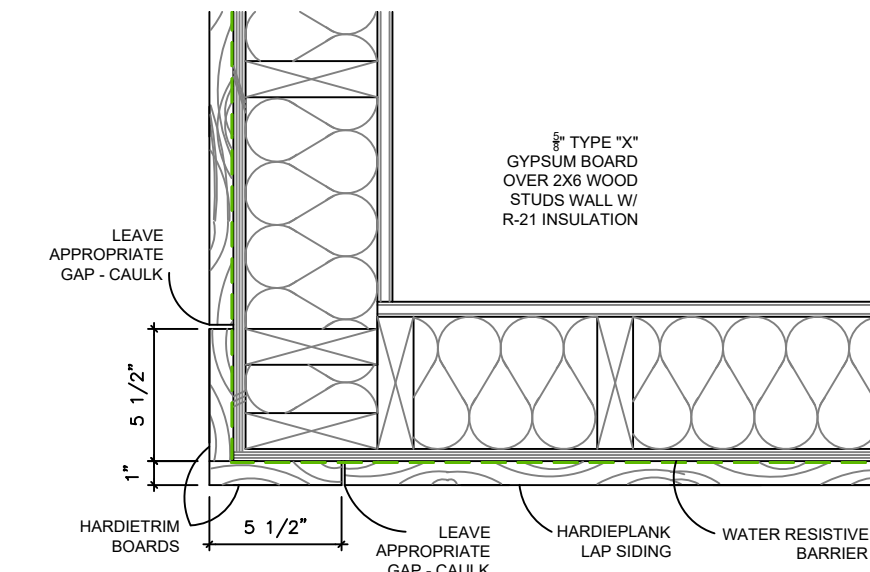
**9 WINDOW / SIDING**  
NTS



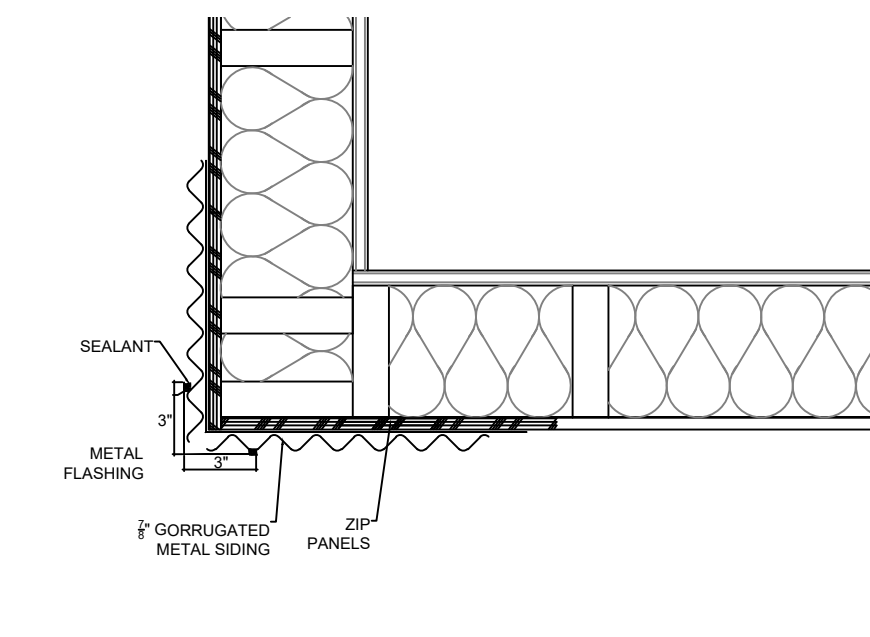
**10 DOOR JAMB**  
NTS



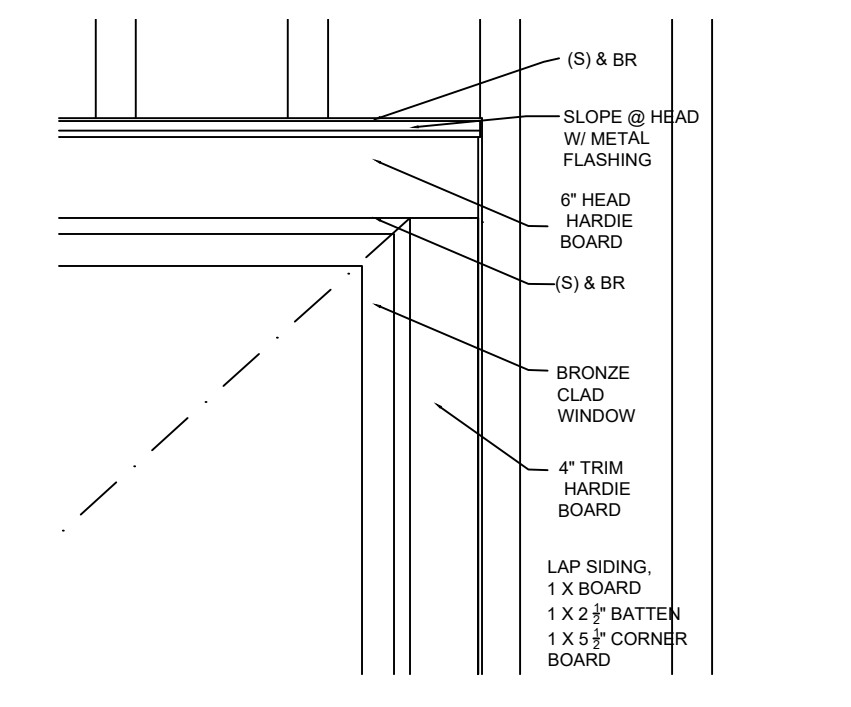
**1 BOARD BATTEN**  
NTS



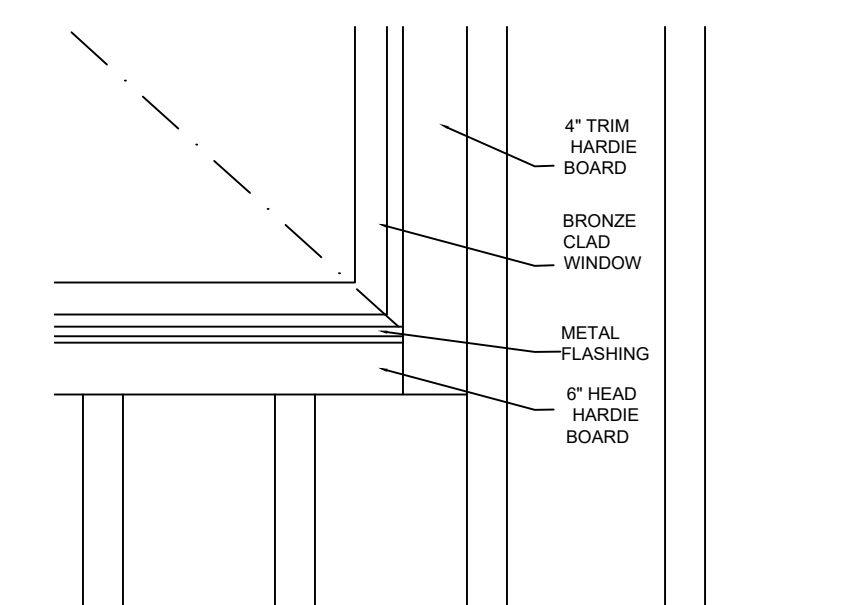
**2 LAP SIDING**  
NTS



**3 METAL SIDING**  
NTS



**4 WINDOW HEAD**  
NTS



**5 WINDOW SILL**  
NTS

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MOUNTAIN VILLAGE, COLORADO

Revisions:  
DRB FINAL SUBMISSION

Sheet title  
TYPICAL BUILDING DETAILS

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Date: 10/19/2022

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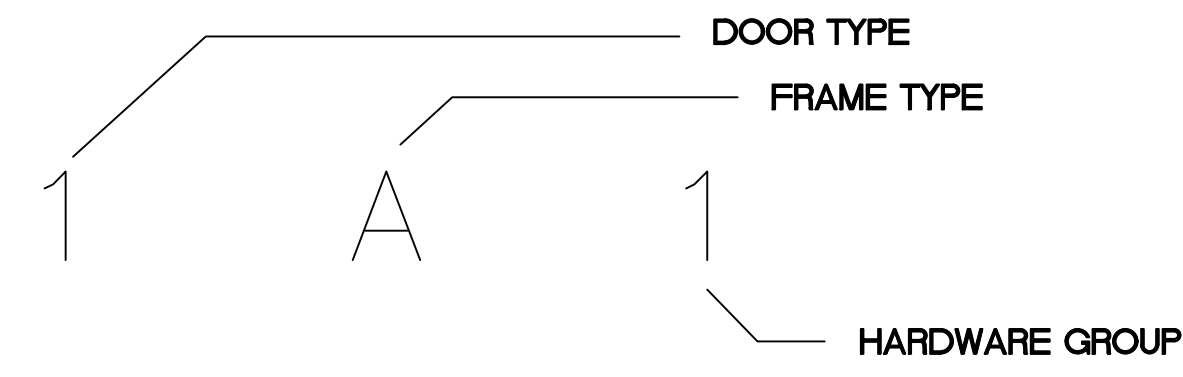
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Sheet  
**AA6.0**

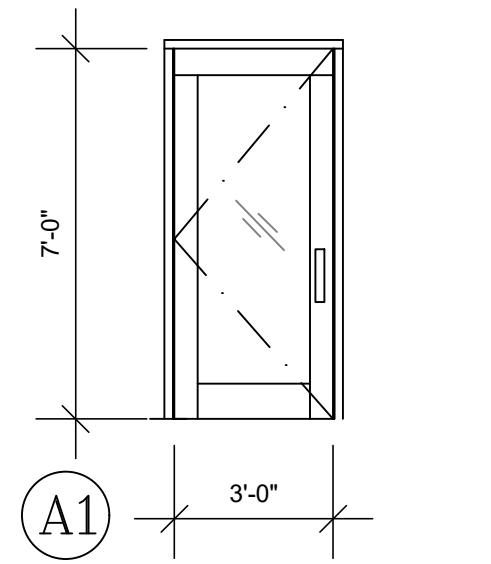


**DOOR SCHEDULE:**

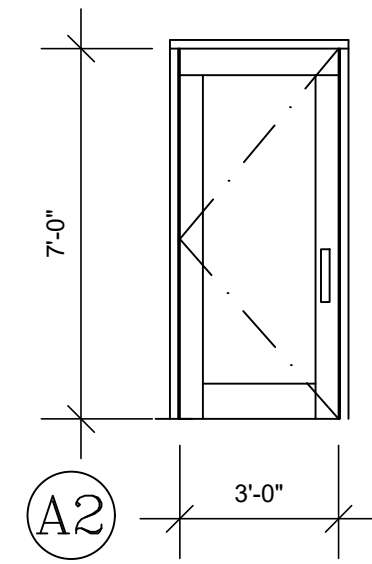


(R) = 20 MINUTE RATED DOOR AND FRAME ASSEMBLY.  
1. DOORS INTO GARAGE  
2. DOORS INTO MECHANICAL ROOMS

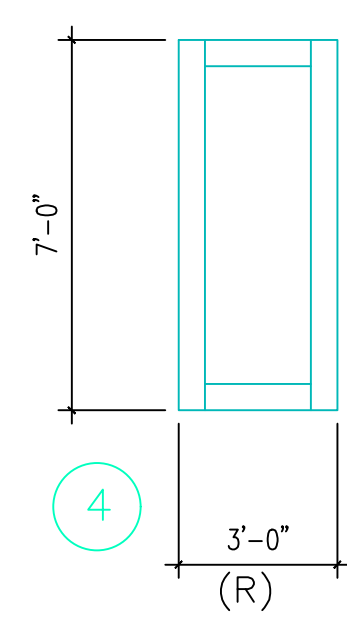
**DOOR TYPES:**



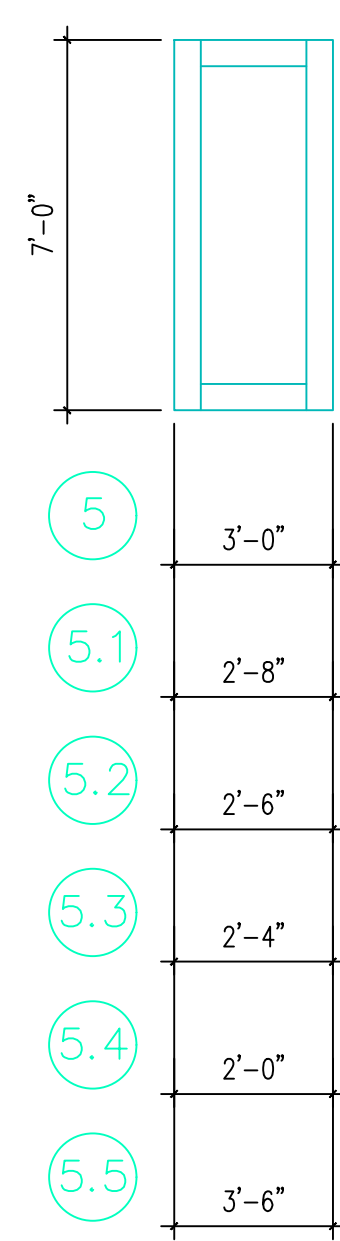
INSULATED METAL W/  
TEMPERED GLAZING  
PAINT TO MATCH WINDOWS



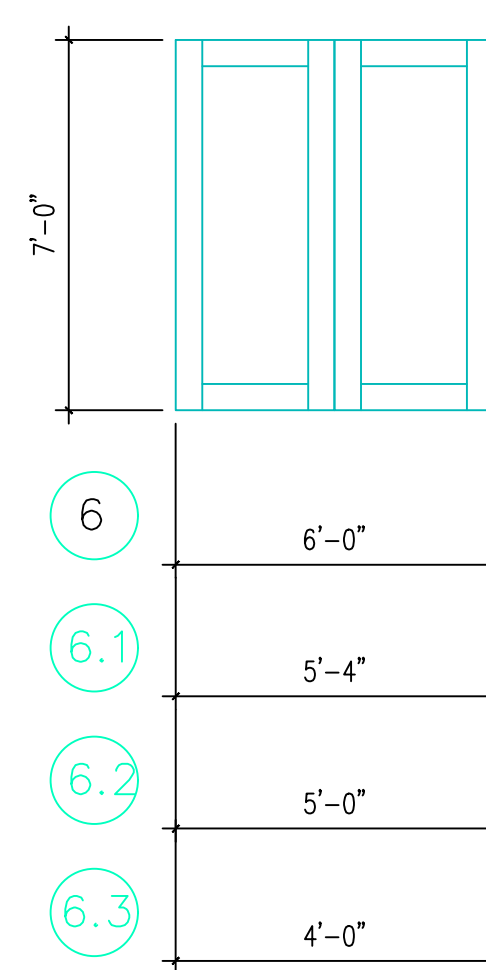
HOLLOW METAL  
PAINT TO MATCH WINDOWS



VERIFY DOOR DESIGNS  
WITH OWNER / DESIGNER  
IN ADVANCE



5	3'-0"
5.1	2'-8"
5.2	2'-6"
5.3	2'-4"
5.4	2'-0"
5.5	3'-6"



6	6'-0"
6.1	5'-4"
6.2	5'-0"
6.3	4'-0"

**FRAME TYPES:**

- A. EXTERIOR WOOD DOOR FRAME
- B. INTERIOR WOOD DOOR FRAME
- C. POCKET DOOR FRAME
- D. GARAGE DOOR FRAME
- E. WOOD CLAD EXTERIOR DOOR FRAME
- F. WOOD WRAPPED JAMB
- G. DRYWALL WRAP - BARN DOOR

**HARDWARE GROUPS:**

- GROUP #1 - ENTRY, KEYED LOCK-SET
- GROUP #2 - PRIVACY
- GROUP #3 - PASSAGE
- GROUP #4 - DUMMY
- GROUP #5 - BI-PASS
- GROUP #6 - GARAGE
- GROUP #7 - FRENCH DOOR (ACTIVE / INACTIVE)
- GROUP #8 - DUMMY, ROLLER CATCH EACH SIDE
- GROUP #9 - PRIVACY, SELF CLOSING HINGES, TIGHT SEAL, RATED
- GROUP #10 - SURFACE MOUNTED EXPOSED HARDWARE

**WINDOW SCHEDULE RESIDENCE "A":**

MARK	SIZE	OPERABLE	NOTE	MARK
AA	9'-0" X 6'-0"	SEE ELEV.	HEAD AT 8'-0" AFF.	AA
AB	3'-0" X 5'-0"	SINGLE HUNG	SEE ELEVATIONS	AB
AC	2'-0" X 3'-6"	SINGLE HUNG	SEE ELEVATIONS	AC
AD	5'-0" X 5'-0"	FIXED	SEE ELEVATIONS - TEMPERED - STAIRS	AD
AE	6'-0" X 7'-0"	SLIDING DOOR	SEE ELEVATIONS - TEMPERED	AE
AF	6'-0" X 4'-0"	SLIDER	SEE ELEVATIONS - EGRESS	AF
AG	9'-0" X 8'-0"	SEE ELEV.	HEAD AT 8'-0" AFF - TEMPERED	AG
AH	5'-0" X 4'-0"	SLIDER	SEE ELEVATIONS - EGRESS	AH
AI	NOT USED			AI
AJ	5'-0" X 5'-0"	SLIDER	SEE ELEVATIONS - EGRESS	AJ

WINDOW "U" VALUE (CASEMENT) = .28  
WINDOW "U" VALUE (PATIO DOORS) = .27

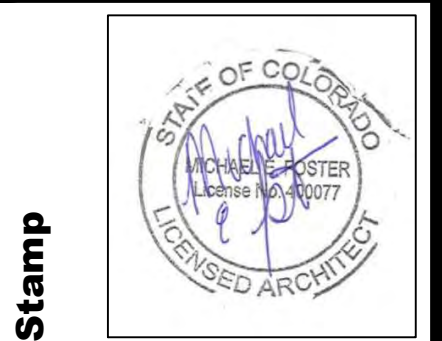
**BUILDING A - DOOR AND WINDOW**

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LOT 644  
MOUNTAIN VILLAGE, COLORADO

Revisions:  
DRB FINAL SUBMISSION

Sheet title  
BUILDING A  
DOOR AND WINDOW  
SCHEDULE



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**AA10.0**





"B" RESIDENCE 1 - LIVING = 1,620 SQ.FT.  
 "B" RESIDENCE 1 - GARAGE = 340 SQ.FT.

"B" RESIDENCE 2 - LIVING = 1,885 SQ.FT.  
 "B" RESIDENCE 2 - GARAGE = 340 SQ.FT.

### MOUNTAIN VILLAGE - TOWNHOMES BUILDING B

BUILDING	2 BEDROOM 2 BATH	3 BEDROOM 3 BATH	GARAGE	TOTAL SF
BUILDING B	2 UNITS (1,620 SF EACH)	3 UNITS (1,885 SF EACH)	5 X 340 SF	
TOTALS FOR BUILDING B	3,240 SF	5,655 SF	1,700 SF	8,895 LIVING SF
MODULAR	17 BOXES	25 PICK AND SETS	GARAGE SITE BUILT	

## 1 BUILDING B - LOWER FLOOR PLAN

3/16" = 1'-0"

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Sheet title  
**BUILDING B FLOOR PLANS**



Date: 10/19/2022  
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Sheet **AB2.0**



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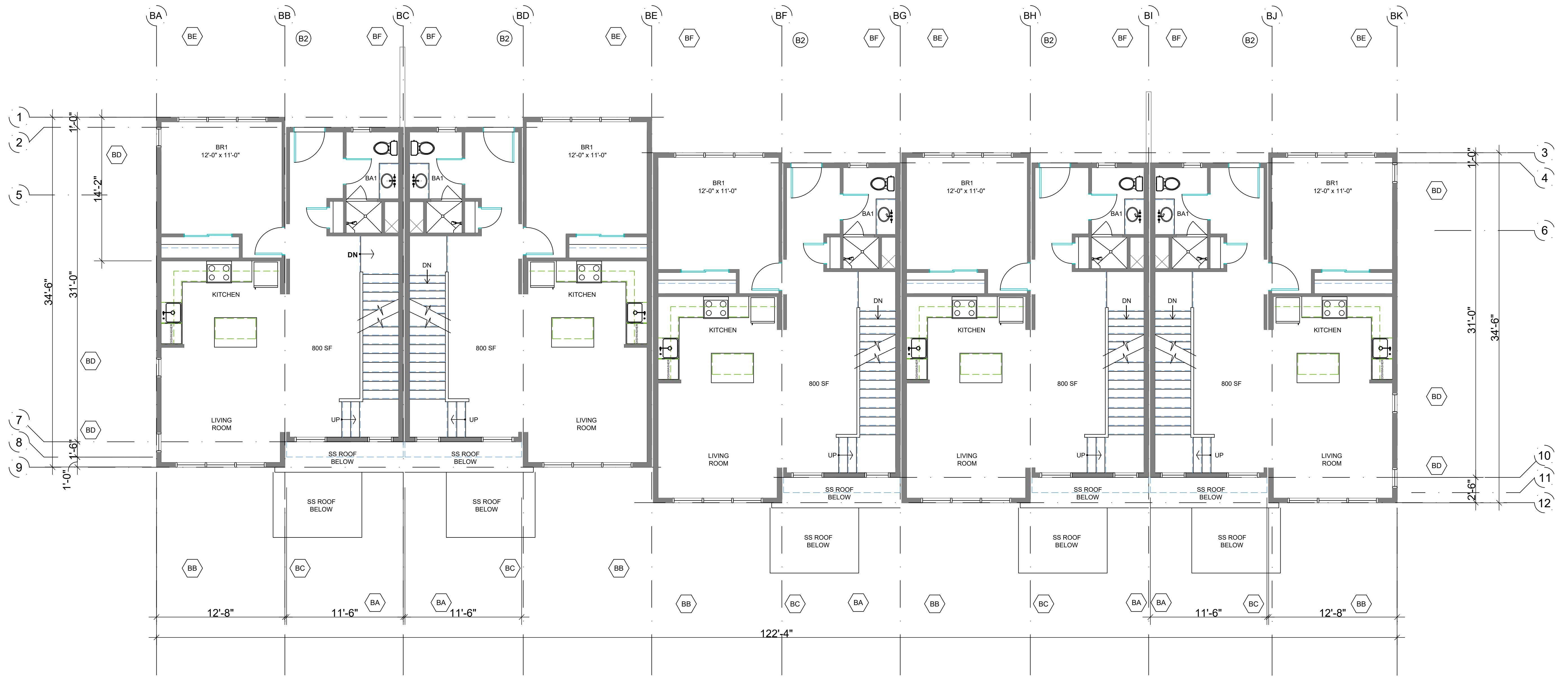
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**1 BUILDING B - MAIN FLOOR PLAN**  
 3/16" = 1'-0"





**1** BUILDING B - SECOND FLOOR PLAN  
3/16" = 1'-0"

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**BUILDING B FLOOR PLANS**



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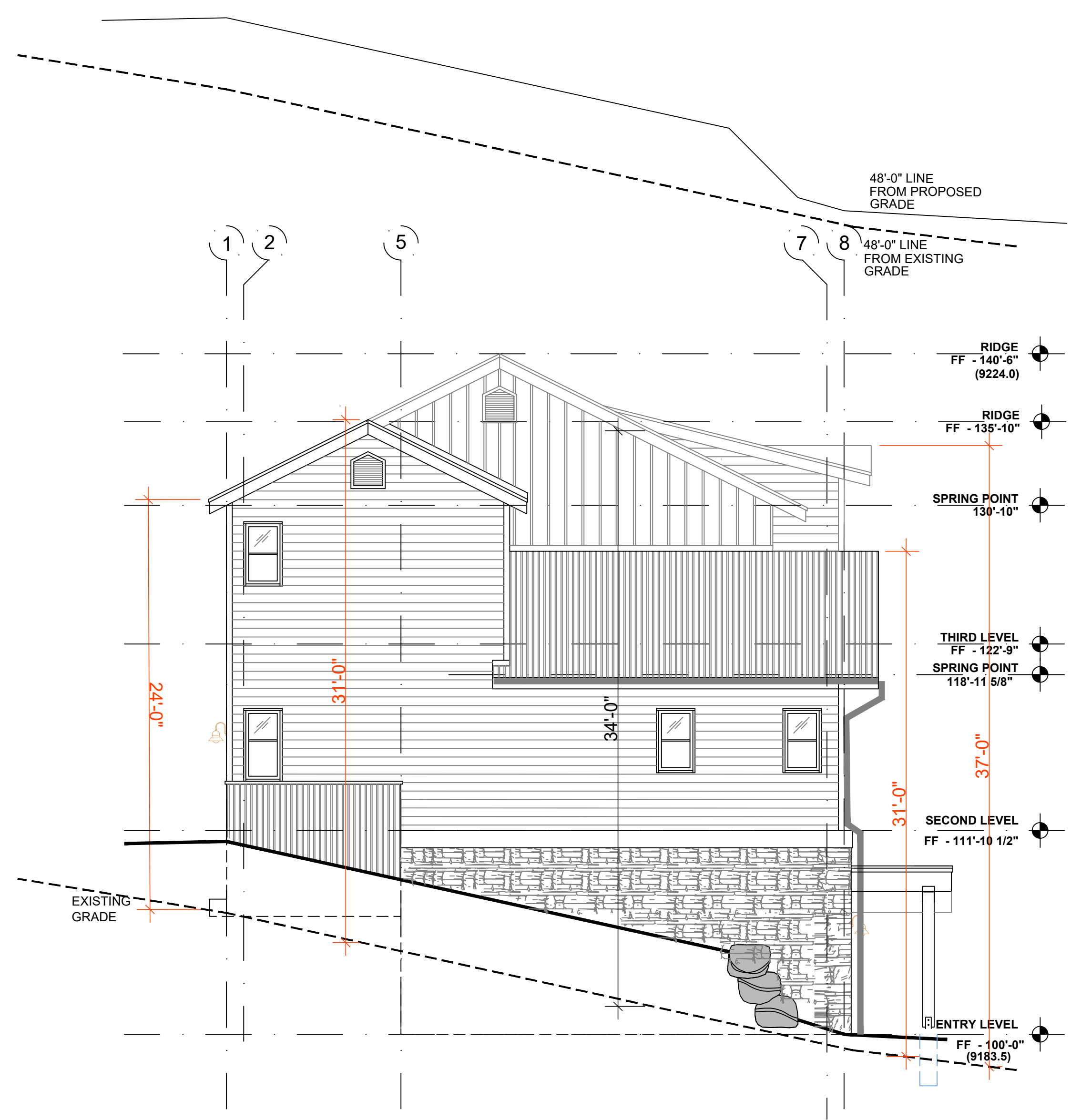








**1 BUILDING B - SOUTH ELEVATION**  
3/16" = 1'-0"



**2 BUILDING B - WEST ELEVATION**  
3/16" = 1'-0"

MAXIMUM BUILDING HEIGHT

EG = EXISTING GRADE  
PG = PROPOSED GRADE

STRUCTURE IS BURIED INTO HILLSIDE TO WORK WITH EG. PG ARE RAISED AND SLOPED TO ACCOMMODATE DRAINAGE. PROPOSED GRADE WILL BE THE MOST RESTRICTIVE

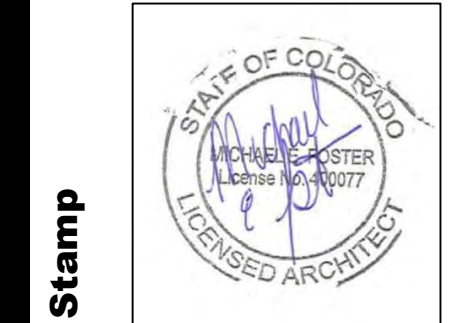
SOUTH ELEVATION MAX HEIGHT = 36'-0"  
EAST ELEVATION MAX HEIGHT = 27'-0"  
NORTH ELEVATION MAX HEIGHT = 21'-0"  
WEST ELEVATION MAX HEIGHT = 31'-0"

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**MOUNTAIN VILLAGE NEIGHBORHOOD**  
LOT 644  
MOUNTAIN VILLAGE, COLORADO

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Sheet title  
BUILDING B ELEVATIONS HEIGHT CALCULATIONS



Date: 10/19/2022  
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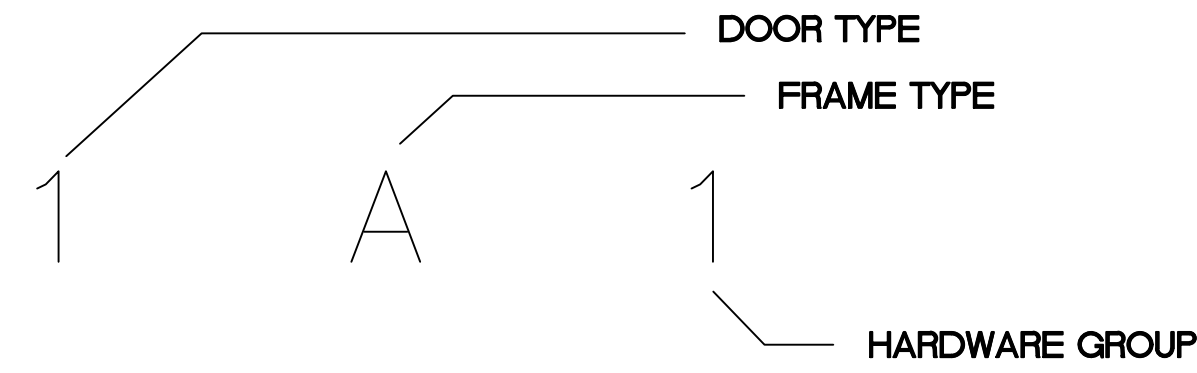
Sheet **AB4.5**



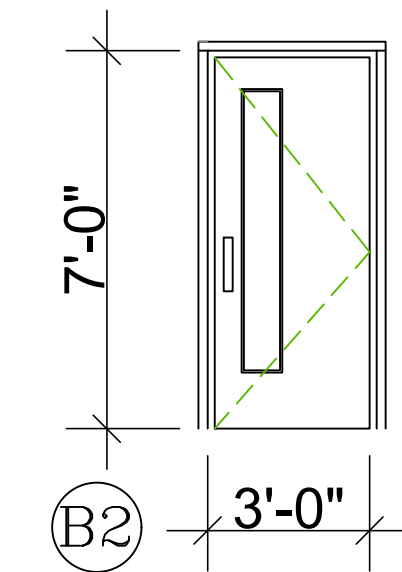
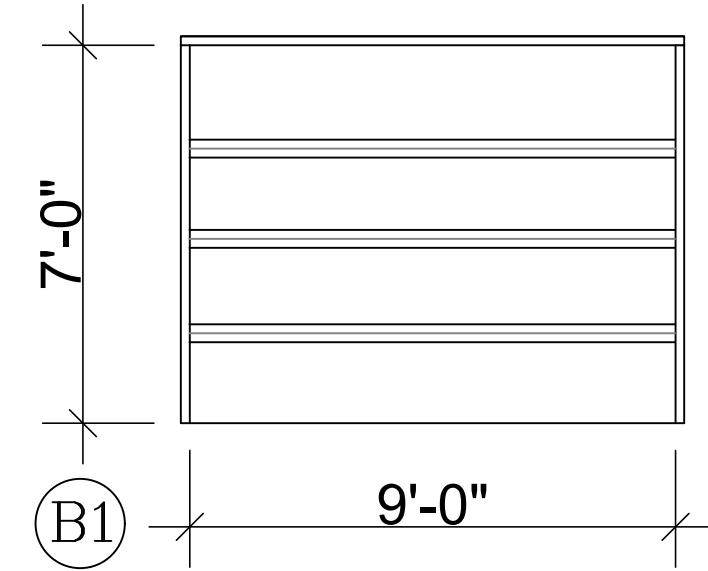




**DOOR SCHEDULE:**



**DOOR TYPES:**

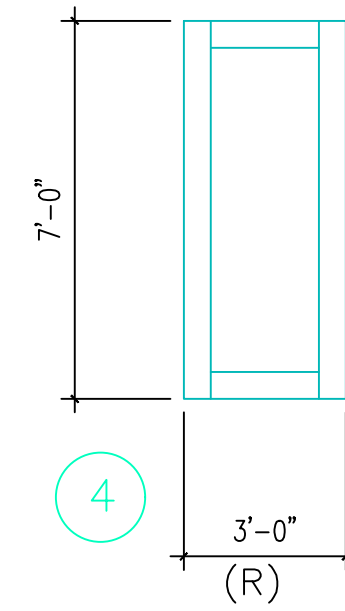


INSULATED METAL W/  
TEMPERED GLAZING  
PAINT TO MATCH WINDOWS

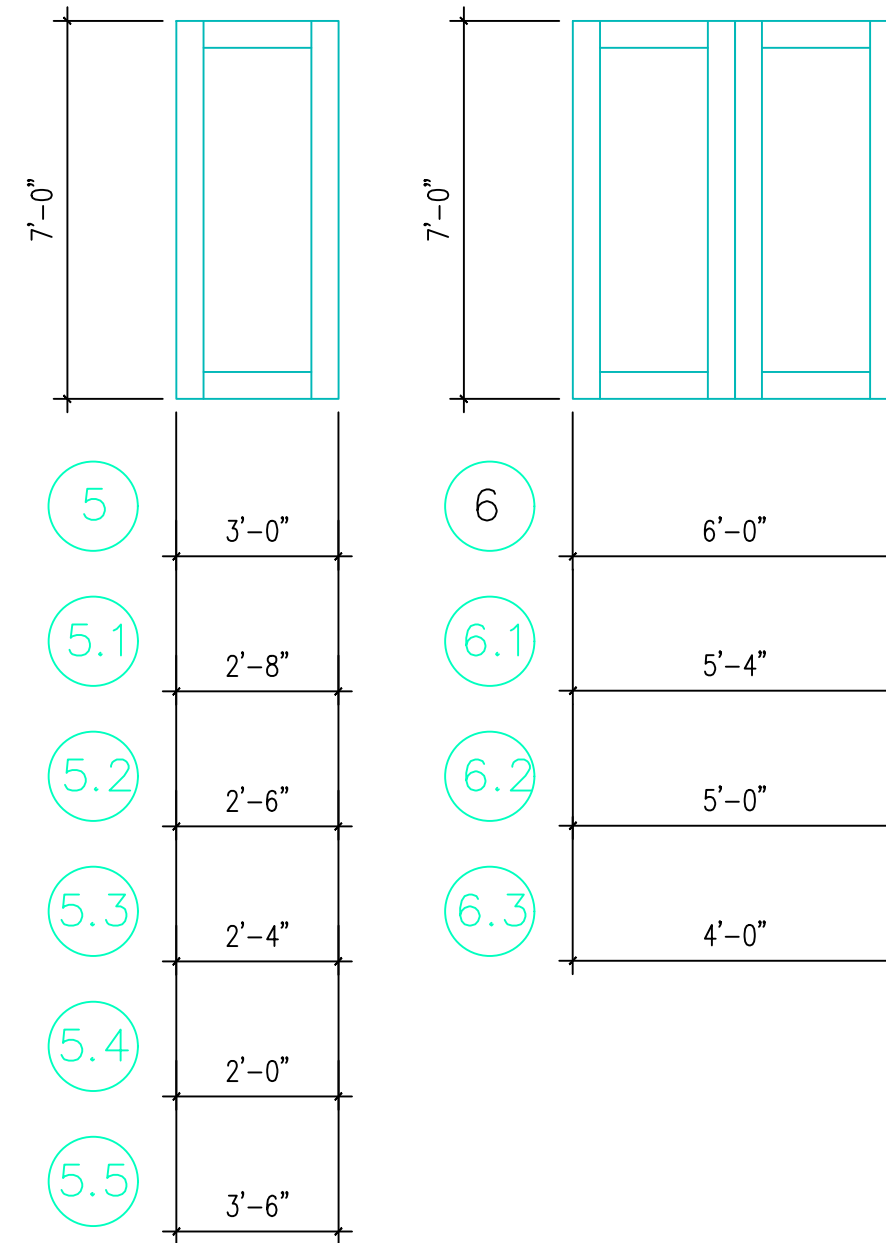
**FRAME TYPES:**

- A. EXTERIOR WOOD DOOR FRAME
- B. INTERIOR WOOD DOOR FRAME
- C. POCKET DOOR FRAME
- D. GARAGE DOOR FRAME
- E. WOOD CLAD EXTERIOR DOOR FRAME
- F. WOOD WRAPPED JAMB
- G. DRYWALL WRAP - BARN DOOR

(R) = 20 MINUTE RATED DOOR AND FRAME ASSEMBLY.  
1. DOORS INTO GARAGE  
2. DOORS INTO MECHANICAL ROOMS



VERIFY DOOR DESIGNS  
WITH OWNER / DESIGNER  
IN ADVANCE



**HARDWARE GROUPS:**

- GROUP #1 - ENTRY. KEYED LOCK-SET
- GROUP #2 - PRIVACY
- GROUP #3 - PASSAGE
- GROUP #4 - DUMMY
- GROUP #5 - BI-PASS
- GROUP #6 - GARAGE
- GROUP #7 - FRENCH DOOR (ACTIVE / INACTIVE)
- GROUP #8 - DUMMY, ROLLER CATCH EACH SIDE
- GROUP #9 - PRIVACY, SELF CLOSING HINGES, TIGHT SEAL, RATED
- GROUP #10 - SURFACE MOUNTED EXPOSED HARDWARE

**WINDOW SCHEDULE RESIDENCE "B":**

MARK	SIZE	OPERABLE	NOTE	MARK
BA	2'-0" X 2'-0"	SEE ELEV.	AT STAIRS - TEMPERED	BA
BB	9'-0" X 6'-0"	SEE ELEV.	HEAD • 8'-0"	BB
BC	3'-0" X 4'-0"	SINGLE HUNG	SEE ELEVATIONS	BC
BD	2'-0" X 4'-0"	SINGLE HUNG	SEE ELEVATIONS	BD
BE	9'-0" X 4'-0"	SLIDER	SEE ELEVATIONS - EGRESS	BE
BF	2'-0" X 2'-0"	AWNING	SEE ELEVATIONS	BF
BG	3'-0" X 2'-0"	AWNING	SEE ELEVATIONS	BG
BH	5'-0" X 5'-0"	SEE ELEV.	EGRESS	BH
BI	6'-0" X 4'-0"	SLIDER	EGRESS	BI
BJ	3'-0" X 3'-6"	SLIDER	SEE ELEVATIONS	BJ

WINDOW "U" VALUE (CASEMENT) = .28  
WINDOW "U" VALUE (PATIO DOORS) = .27

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**MOUNTAIN VILLAGE  
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Revisions:  
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SUBMISSION

Sheet title  
BUILDING B  
DOOR AND  
WINDOW  
SCHEDULE



Date: 10/19/2022  
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Sheet  
**AB10.0**

**1 BUILDING B - DOOR AND WINDOW**

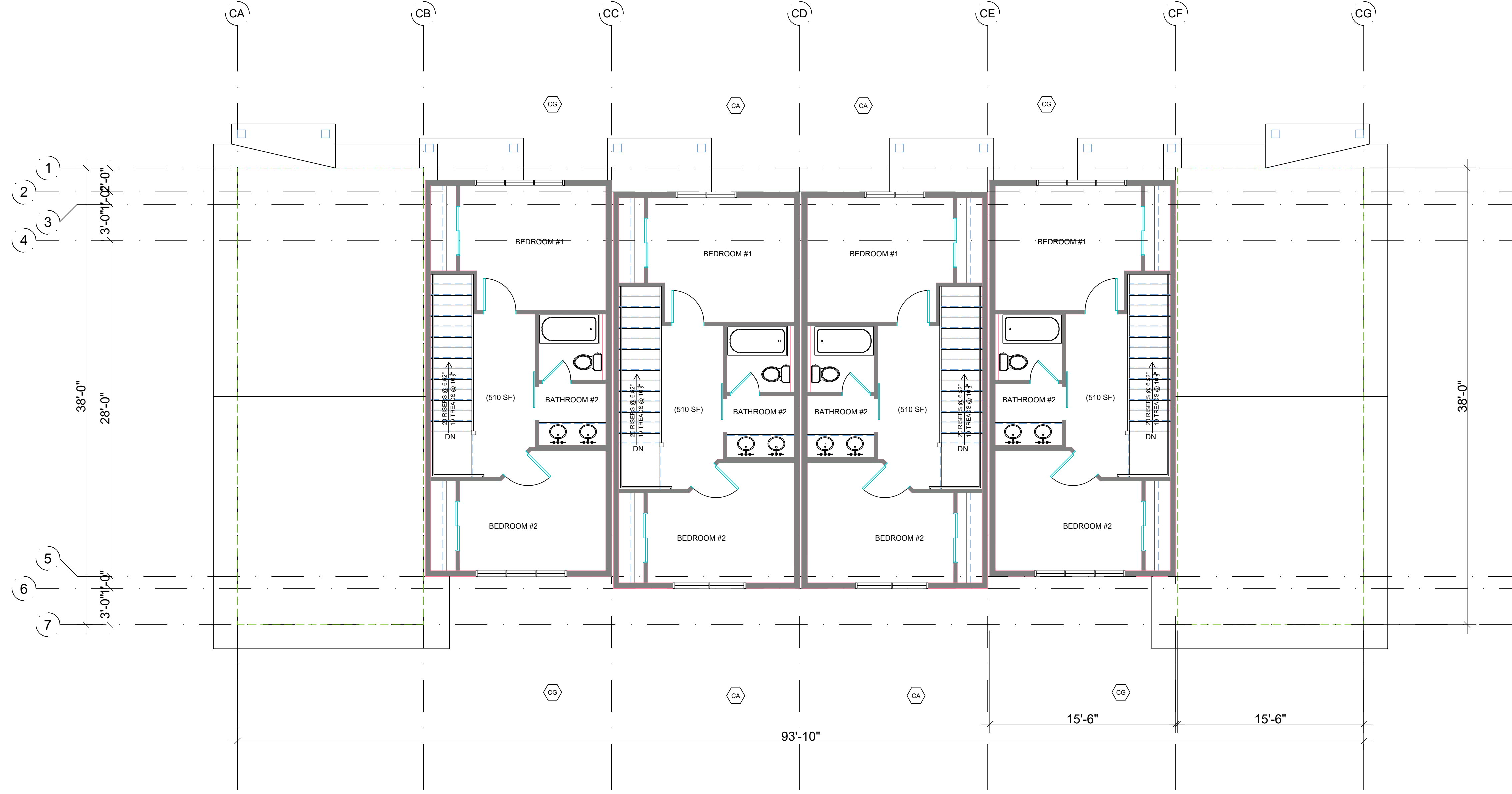












**1** **BUILDING C - SECOND FLOOR PLAN**  
3/16" = 1'-0"

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Sheet **AC2.2**

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Sheet title  
**BUILDING C  
FLOOR PLANS**

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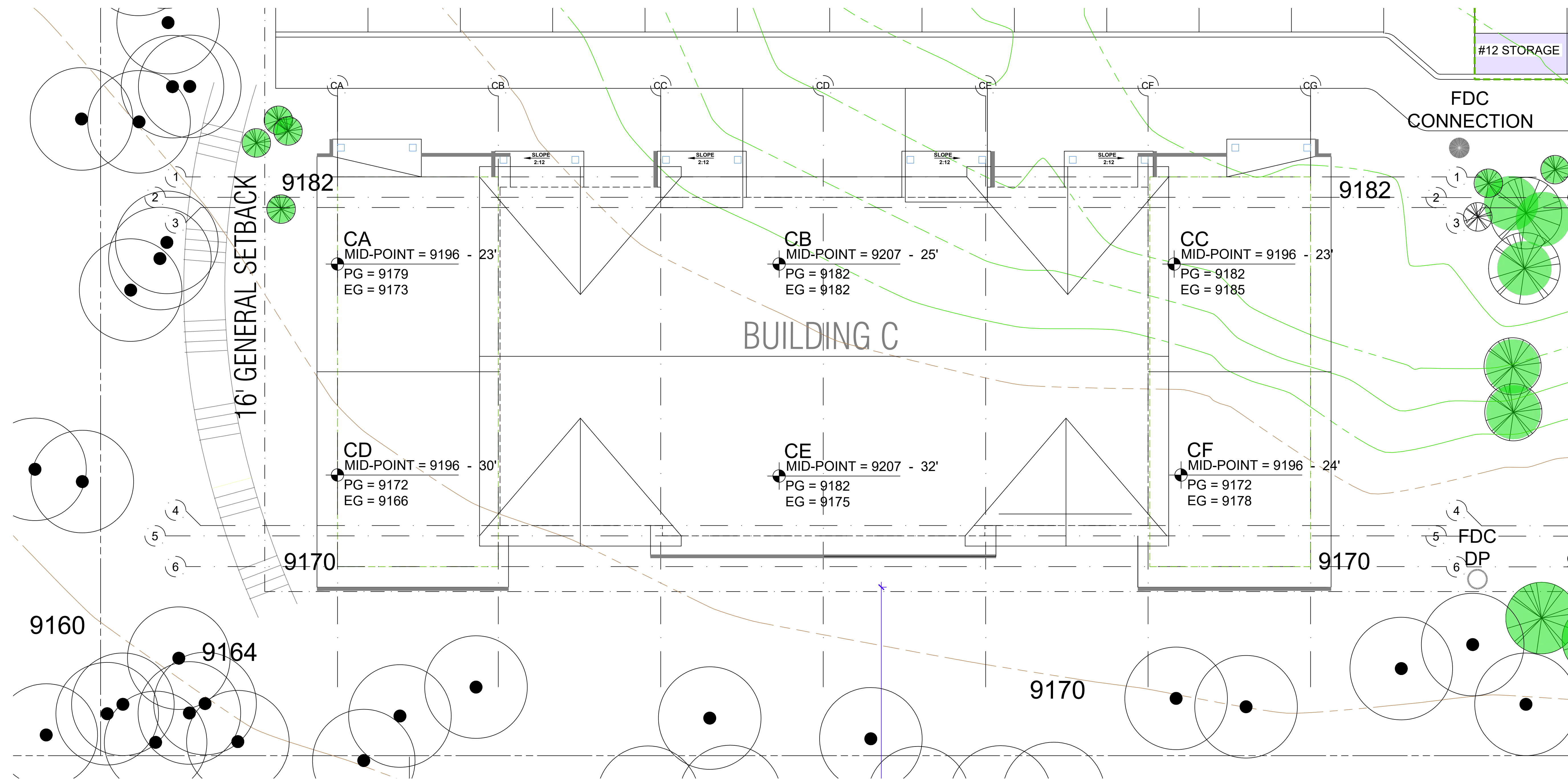
**MOUNTAIN VILLAGE  
NEIGHBORHOOD**  
LOT 644  
**MOUNTAIN VILLAGE, COLORADO**

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**MOUNTAIN VILLAGE - BUILDING C**

POINT	EXISTING GRADES	PROPOSED GRADES	MID- POINT ROOF	MID- POINT ROOF HEIGHT
BUILDING CA	<u>9173</u>	9179	9196	23'-0"
BUILDING CB	<u>9182</u>	9182	9207	25'-0"
BUILDING CC	9185	<u>9182</u>	9196	23'-0"
BUILDING CD	<u>9166</u>	9172	9196	30'-0"
BUILDING CE	<u>9175</u>	9182	9207	32'-0"
BUILDING CF	9178	<u>9172</u>	9196	24'-0"
BUILDING C TOTAL		MOST RESTRICTIVE UNDERLINED		26'-0" AVERAGE @ MID-POINT

**MAXIMUM BUILDING HEIGHT**

EG = EXISTING GRADE  
PG = PROPOSED GRADE

STRUCTURE IS BURIED INTO HILLSIDE TO WORK WITH EG. PG ARE RAISED AND SLOPED TO ACCOMMODATE DRAINAGE. PROPOSED GRADE WILL BE THE MOST RESTRICTIVE

SOUTH ELEVATION MAX HEIGHT = 39'-0"  
EAST ELEVATION MAX HEIGHT = 44'-0"  
NORTH ELEVATION MAX HEIGHT = 34'-0"  
WEST ELEVATION MAX HEIGHT = 44'-0"

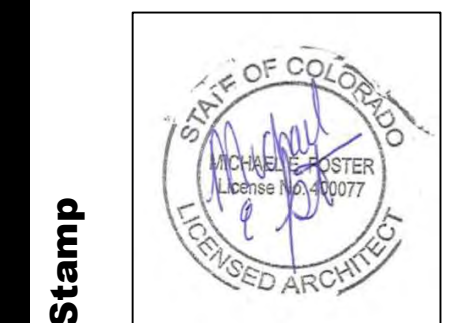
**1 PARTIAL SITE PLAN - HEIGHT CALCS - BLD C**  
1/8" = 1'-0"

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Sheet title  
SITE PLAN HEIGHT CALCULATIONS



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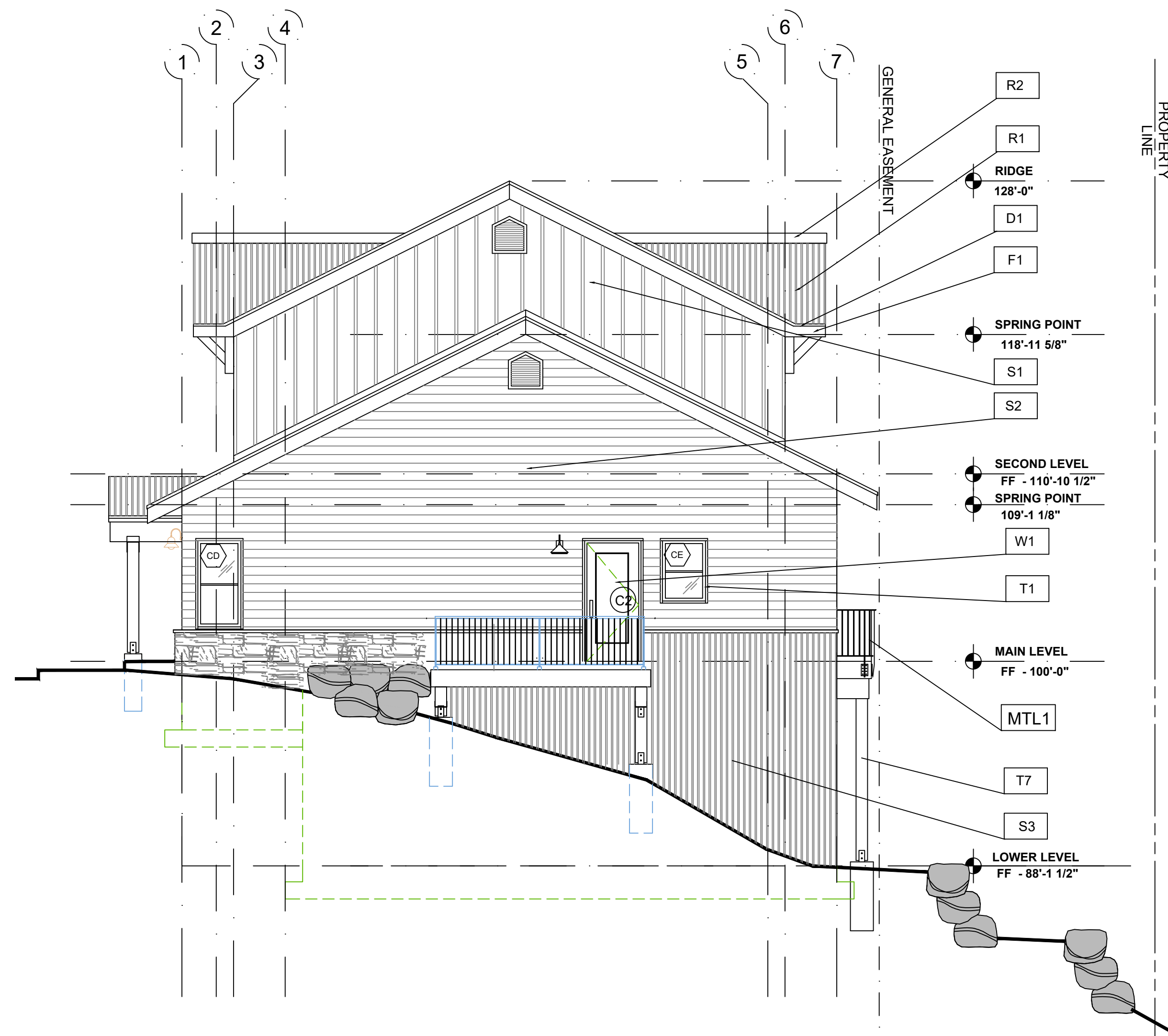
**BUILDING C - EXTERIOR FINISH SCHEDULE**

TAG	ITEM	MATERIAL	COLOR
R1	PRIMARY ROOF	SNAP-LOCK STANDING SEAM	BURNISHED SLATE
R2	ROOF CAP	VENTED - METAL ROOF CAP	BRONZE
R3	GUTTER	METAL GUTTER	BRONZE
D1	DRIP EDGE	ALUMINUM (PREFINISHED)	MATCH ADJACENT ROOF
F1	FASCIA @ R1	FIBER CEMENT BOARDS - 5/4 RUSTIC x 9.25"	IRON ORE - SW 7069
F3	SOFFIT	FIBER CEMENT SOFFIT PANELS - VENTED SMOOTH	IRON ORE - SW 7069
S1	BOARD AND BATTEN	FIBER CEMENT VERT SIDING 3.5" OVER FIBER CEMENT PLANKS - SMOOTH	SEALSKIN - SW 7675
S2	HORIZONTAL LAP SIDING	FIBER CEMENT LAP SIDING - 3/8" X 9 3/8" 6" EXPOSED - @ WINDOW / DOOR INFILL	ARTISAN TAN - SW 7540
S3	METAL SIDING PANELS	MBCI HORZ. METAL WALL SYSTEM - PBC 1 1/2"	MEDIUM BROWN
S4	STONE	NATURAL STONE VENEER	GALLEGOS #303 NORTHSTAR BLACK
W1	DOORS AND WINDOWS	PREMIUM VINYL	
T1	DOORS AND WINDOWS TRIM	FIBER CEMENT - 1/2" SMOOTH 3.5" RAILS 1/2" SMOOTH 5.5" HEAD AND SILL	MATCH FIELD
T2	SIDING TRIM	FIBER CEMENT - 1/2" SMOOTH 5.5"	MATCH FIELD
T3	TRUSS BRACKETS	TREATED CEDAR POST	LIFETIME STAIN
T4	INSIDE CORNER TRIM	FIBER CEMENT - 1/2" SMOOTH 3.5"	MATCH FIELD
T5	OUTSIDE CORNER TRIM	FIBER CEMENT - 1/2" SMOOTH 5.5"	MATCH FIELD
T6	FRIEZE TRIM	FIBER CEMENT - 1/2" SMOOTH 5.5"	MATCH FIELD
T7	6X6 TIMBER COLUMN	TREATED CEDAR POST	LIFETIME STAIN
T8	BELLY BAND	FIBER CEMENT - 1/2" SMOOTH 9.25"	SW - FRENCH ROAST
MTL1	METAL RAILING	STANDARD DESIGN - FORTRESS	POWDER COAT - BLACK

1. IN THE CASE OF ANY DISCREPANCIES BETWEEN THIS SCHEDULE AND OTHER CONTRACT DOCUMENTS, THE INFORMATION ON THIS SCHEDULE SHALL TAKE PRECEDENCE.
2. ALL FLASHING, VENTS, FLUES, ROOFTOP MECHANICAL EQUIPMENT, UTILITY BOXES, AND SIMILAR ITEMS SHALL BE PAINTED TO MATCH ADJACENT PORTIONS OF BUILDINGS UNLESS OTHERWISE NOTED.
3. TYPICAL SIDEWALL FLASHING: ICE&WATER SHIELD 2'-6" VERT UP WALL, WRAP INTO OPENINGS, THEN APPLY TYVEK FLASHING TAPE AROUND PENETRATING PIPE. METAL FLASHING EXPOSED 6" UP WALL. TYPICAL AT ALL SIDEWALL CONDITIONS.
4. THESE ELEVATIONS ARE CONCEPTUAL IN NATURE. INDIVIDUAL BUILDING ELEVATIONS MAY VARY BUT WILL BE EVALUATED FOR COMPLIANCE WITH DESIGN STANDARDS CONTAINED WITHIN ESTES PARK CODE AT THE TIME OF SUBMITTING A BUILDING PERMIT APPLICATION.



**1 BUILDING C - SOUTH ELEVATION**  
3/16" = 1'-0"



**2 BUILDING C - WEST ELEVATION**  
3/16" = 1'-0"

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**MOUNTAIN VILLAGE NEIGHBORHOOD**  
LOT 644  
**MOUNTAIN VILLAGE, COLORADO**

Revisions:  
DRB FINAL SUBMISSION

Sheet title  
BUILDING C ELEVATIONS

Stamp  
STATE OF COLORADO  
MICHAEL J. WEST  
LICENSED ARCHITECT

Date: 10/19/2022  
Project No:  
Drawn by: MEF  
Checked by: MEF

Sheet  
**AC4.0**







**BUILDING C - EXTERIOR FINISH SCHEDULE**

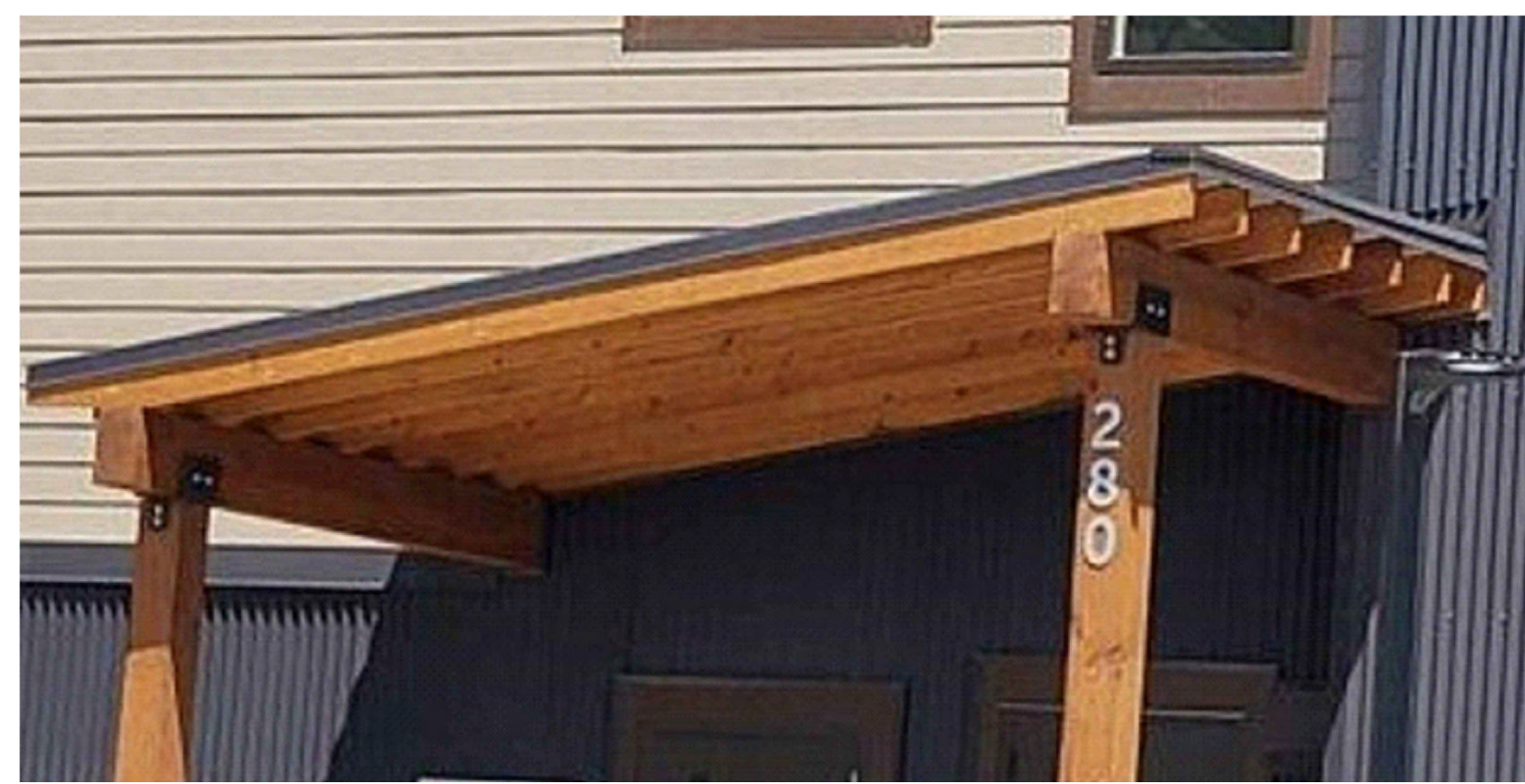
TAG	ITEM	MATERIAL	COLOR
R1	PRIMARY ROOF	SNAP-LOCK STANDING SEAM	BURNISHED SLATE
R2	ROOF CAP	VENTED - METAL ROOF CAP	BRONZE
R3	GUTTER	METAL GUTTER	BRONZE
D1	DRIP EDGE	ALUMINUM (PREFINISHED)	MATCH ADJACENT ROOF
F1	FASCIA @ R1	FIBER CEMENT BOARDS - 5/4 RUSTIC x 9.25"	IRON ORE - SW 7069
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S1	BOARD AND BATTEN	FIBER CEMENT VERT SIDING 3.5" OVER FIBER CEMENT PLANKS - SMOOTH	SEALSKIN - SW 7675
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W1	DOORS AND WINDOWS	PREMIUM VINYL	
T1	DOORS AND WINDOWS TRIM	FIBER CEMENT - 1/2" SMOOTH 3.5" RAILS 1/2" SMOOTH 5.5" HEAD AND SILL	MATCH FIELD
T2	SIDING TRIM	FIBER CEMENT - 1/2" SMOOTH 5.5"	MATCH FIELD
T3	TRUSS BRACKETS	TREATED CEDAR POST	LIFETIME STAIN
T4	INSIDE CORNER TRIM	FIBER CEMENT - 1/2" SMOOTH 3.5"	MATCH FIELD
T5	OUTSIDE CORNER TRIM	FIBER CEMENT - 1/2" SMOOTH 5.5"	MATCH FIELD
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MTL1	METAL RAILING	STANDARD DESIGN - FORTRESS	POWDER COAT - BLACK

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**BUILDING C - NORTH ELEVATION**

3/16" = 1'-0"



**ENTRY SHED IMAGE**



**CORRUGATED METAL BASE**



**PRIMARY ROOF SNAP-LOCK STANDING SEAM**



**COMPOSITE WINDOWS DOORS, BRONZE COLOR**



**DARK SKY COMPLIANT LIGHTING**



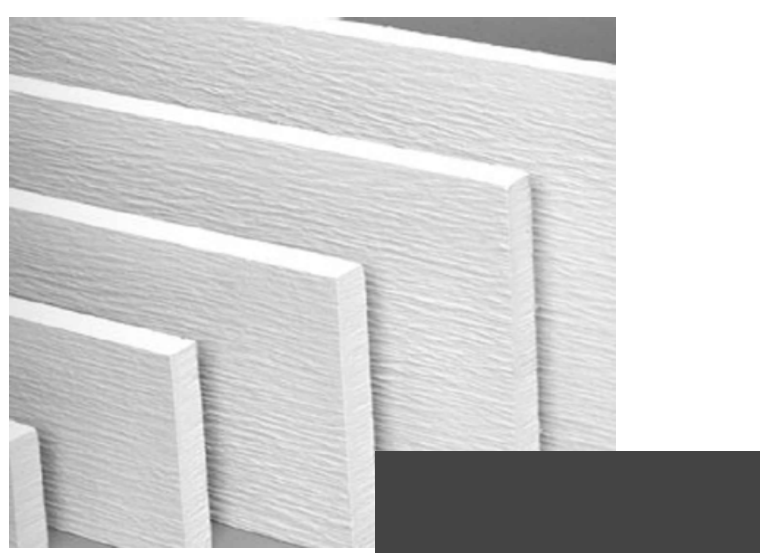
**BOARD AND BATTEN**



**HORIZONTAL SIDING**



**STONE VENEER**



**FASCIA**



**VTAC LOUVERS COLOR TO MATCH FIELD**



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Revisions:  
**DRB FINAL SUBMISSION**

Sheet title  
**BUILDING C ELEVATIONS**



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**BUILDING C - EXTERIOR FINISH PERCENTAGE**

WEST ELEVATION		
	SURFACE AREA	PERCENTAGE OF NET
GROSS OF WALL	931 SF	NA
NET GLAZING	41 SF	4.3%
NET STONE	40 SF	4.4%
NET CEMENTITIOUS BOARDS	675 SF	72.5%
NET METAL PANEL	175 SF	18.8%

1. EXCLUDES ROOF FORMS, FASCIA AND SIMILAR FEATURES.

**BUILDING C - EXTERIOR FINISH PERCENTAGE**

EAST ELEVATION		
	SURFACE AREA	PERCENTAGE OF NET
GROSS OF WALL	931 SF	NA
NET GLAZING	41 SF	4.3%
NET STONE	40 SF	4.4%
NET CEMENTITIOUS BOARDS	675 SF	72.5%
NET METAL PANEL	175 SF	18.8%

1. EXCLUDES ROOF FORMS, FASCIA AND SIMILAR FEATURES.

**BUILDING C - EXTERIOR FINISH PERCENTAGE**

SOUTH ELEVATION		
	SURFACE AREA	PERCENTAGE OF NET
GROSS OF WALL	2,850 SF	NA
NET GLAZING	560 SF	21.1%
NET STONE	0 SF	0%
NET CEMENTITIOUS BOARDS	1,150 SF	43.4%
NET METAL PANEL	940 SF	35.5%

1. EXCLUDES ROOF FORMS, FASCIA AND SIMILAR FEATURES.

**BUILDING C - EXTERIOR FINISH PERCENTAGE**

NORTH ELEVATION		
	SURFACE AREA	PERCENTAGE OF NET
GROSS OF WALL	1,442 SF	NA
NET GLAZING	484 SF	33.6%
NET STONE	208 SF	14.4%
NET CEMENTITIOUS BOARDS	668 SF	46.3%
NET METAL PANEL	62 SF	4.3%

1. EXCLUDES ROOF FORMS, FASCIA AND SIMILAR FEATURES.

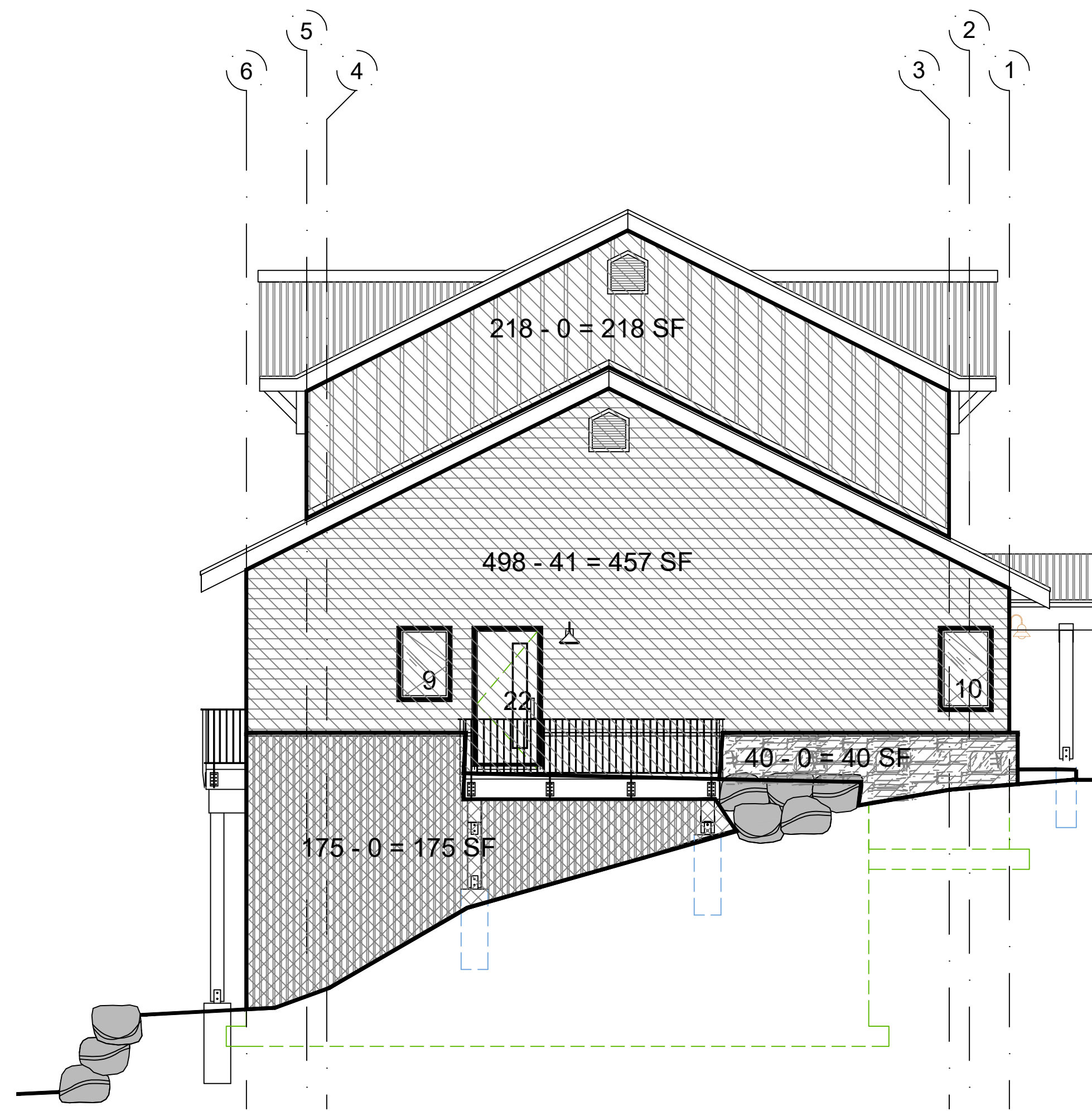
**BUILDING C - EXTERIOR FINISH PERCENTAGE**

TOTAL BUILDING		
	SURFACE AREA	PERCENTAGE OF NET
GROSS OF WALL	5,954 SF	NA
NET GLAZING	1,126 SF	18.9%
NET STONE	288 SF	4.9%
NET CEMENTITIOUS BOARDS	3,168 SF	53.3%
NET METAL PANEL	1,352 SF	22.8%

1. EXCLUDES ROOF FORMS, FASCIA AND SIMILAR FEATURES.



**1 BUILDING C - SOUTH ELEVATION**  
3/16" = 1'-0"



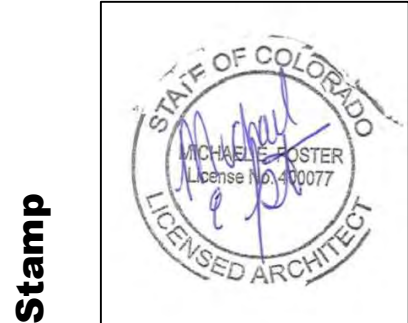
**2 BUILDING C - WEST ELEVATION**  
3/16" = 1'-0"

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Sheet title  
**BUILDING C ELEVATIONS MATERIAL CALCULATIONS**



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Sheet **AC4.3**

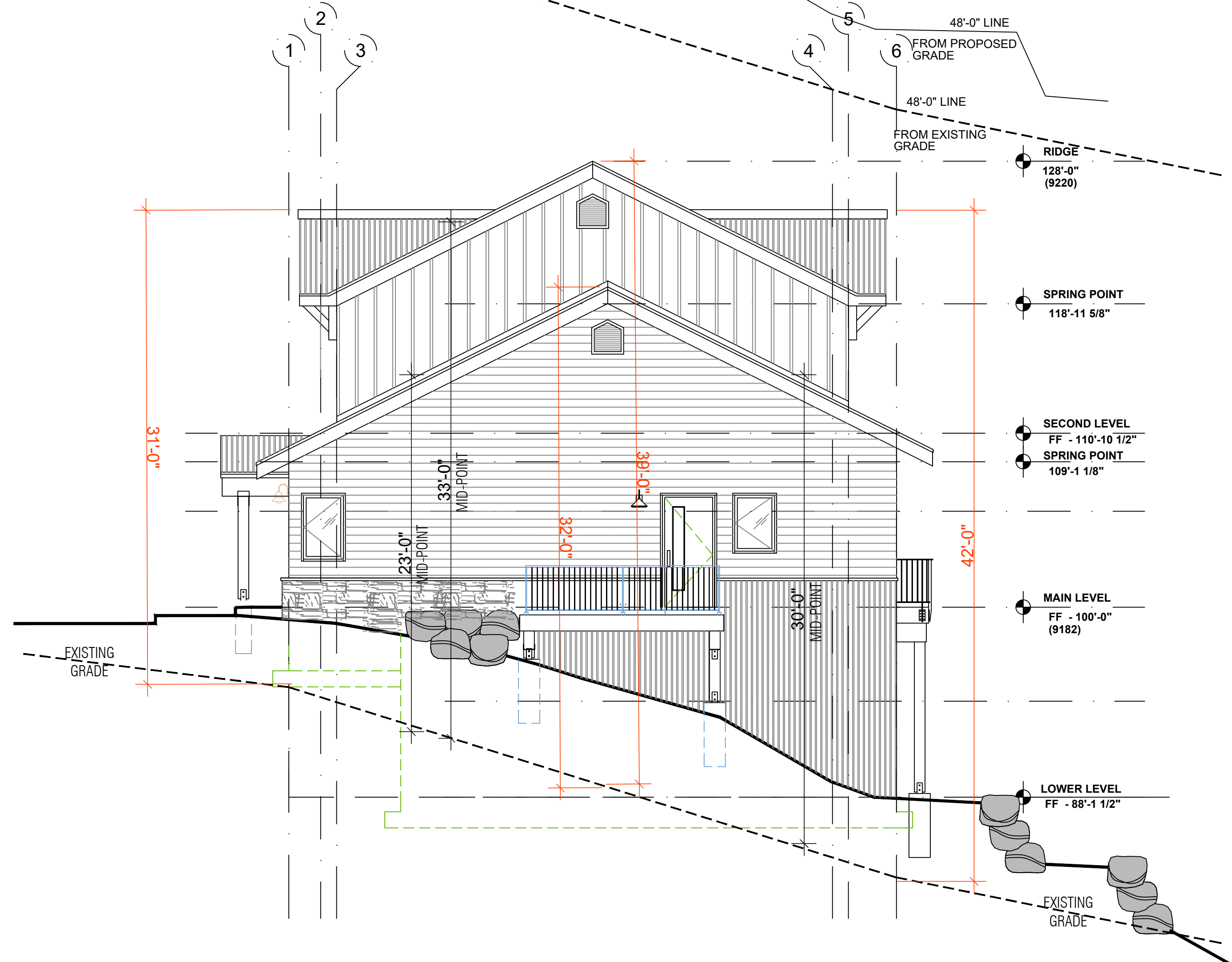








**1 BUILDING C - SOUTH ELEVATION**  
3/16" = 1'-0"



**2 BUILDING C - WEST ELEVATION**  
3/16" = 1'-0"

MAXIMUM BUILDING HEIGHT

EG = EXISTING GRADE  
PG = PROPOSED GRADE

STRUCTURE IS BURIED INTO HILLSIDE TO WORK WITH EG. PG ARE RAISED AND SLOPED TO ACCOMMODATE DRAINAGE. PROPOSED GRADE WILL BE THE MOST RESTRICTIVE

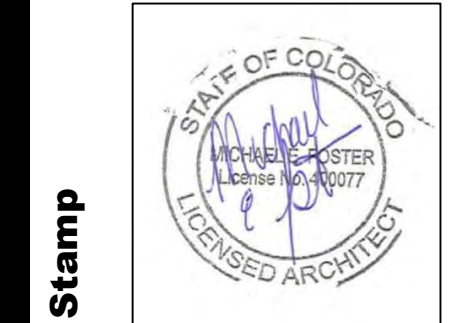
SOUTH ELEVATION MAX HEIGHT = 39'-0"  
EAST ELEVATION MAX HEIGHT = 44'-0"  
NORTH ELEVATION MAX HEIGHT = 34'-0"  
WEST ELEVATION MAX HEIGHT = 44'-0"

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LOT 644  
MOUNTAIN VILLAGE, COLORADO

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Sheet title  
**BUILDING C ELEVATIONS HEIGHT CALCULATIONS**



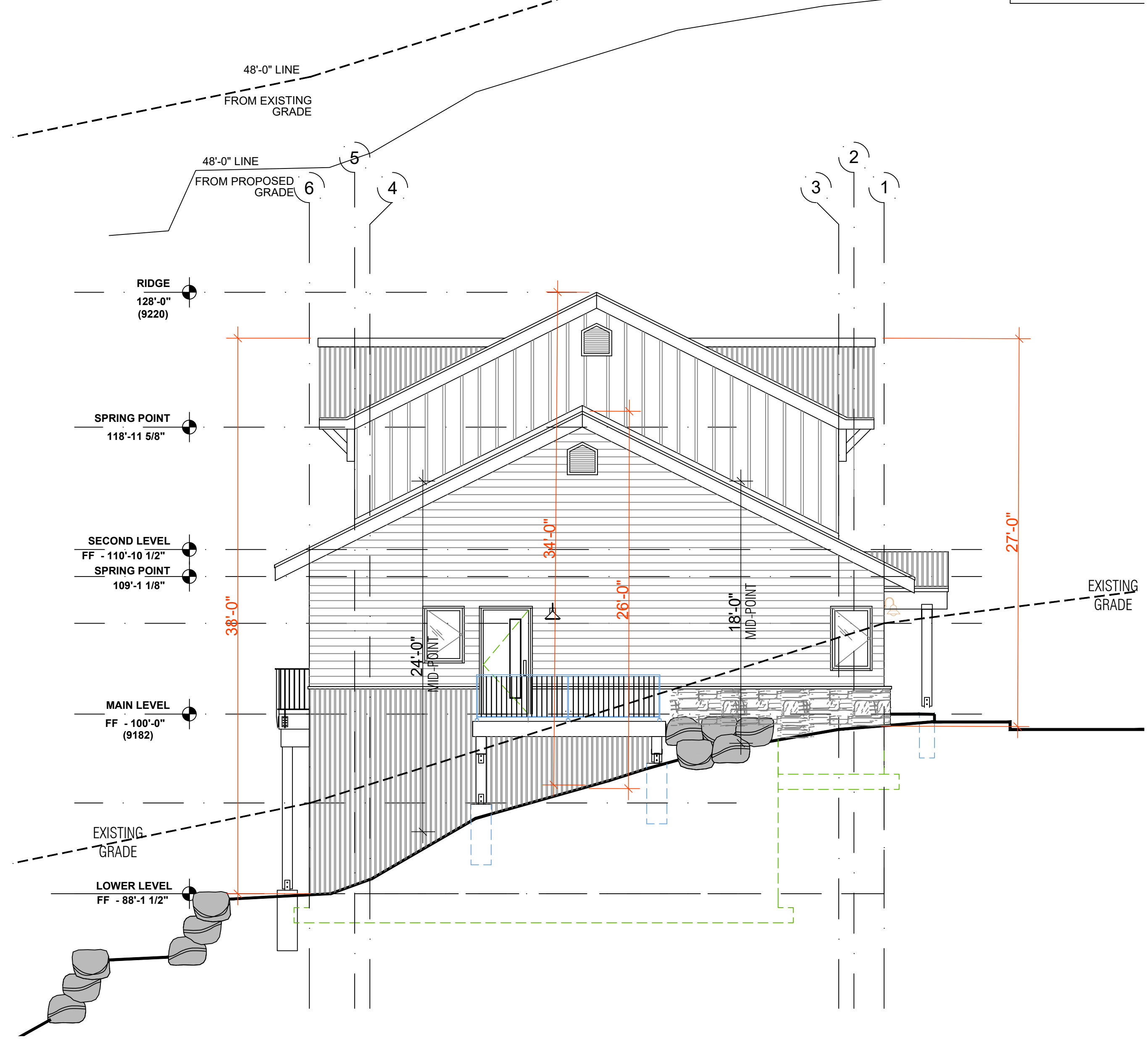
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Sheet **AC4.5**





**1 BUILDING C - NORTH ELEVATION**  
3/16" = 1'-0"



**2 BUILDING C - EAST ELEVATION**  
3/16" = 1'-0"

MAXIMUM BUILDING HEIGHT

EG = EXISTING GRADE  
PG = PROPOSED GRADE

STRUCTURE IS BURIED INTO HILLSIDE TO WORK WITH EG. PG ARE RAISED AND SLOPED TO ACCOMMODATE DRAINAGE. PROPOSED GRADE WILL BE THE MOST RESTRICTIVE

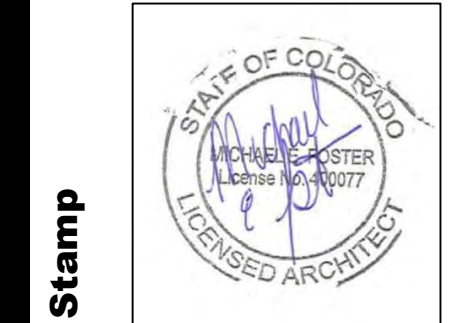
SOUTH ELEVATION MAX HEIGHT = 39'-0"  
EAST ELEVATION MAX HEIGHT = 44'-0"  
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BUILDING C ELEVATIONS HEIGHT CALCULATIONS

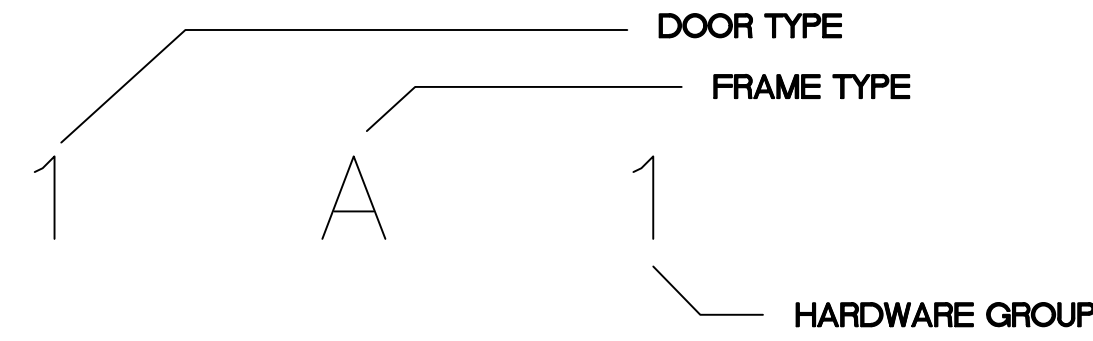


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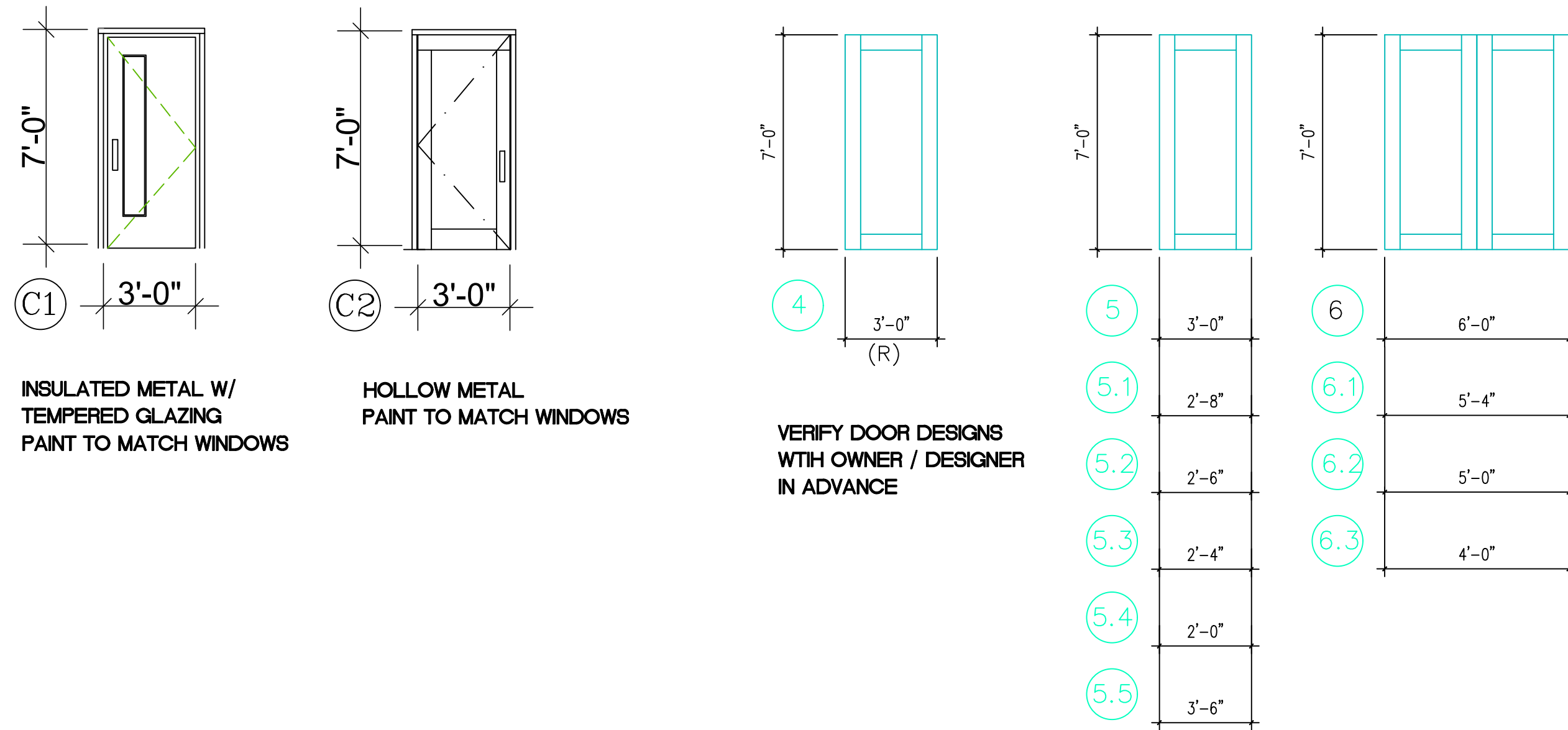


**DOOR SCHEDULE:**



(R) = 20 MINUTE RATED DOOR AND FRAME ASSEMBLY.  
 1. DOORS INTO GARAGE  
 2. DOORS INTO MECHANICAL ROOMS

**DOOR TYPES:**



C1 INSULATED METAL W/ TEMPERED GLAZING PAINT TO MATCH WINDOWS

C2 HOLLOW METAL PAINT TO MATCH WINDOWS

4 VERIFY DOOR DESIGNS WITH OWNER / DESIGNER IN ADVANCE

**FRAME TYPES:**

- A. EXTERIOR WOOD DOOR FRAME
- B. INTERIOR WOOD DOOR FRAME
- C. POCKET DOOR FRAME
- D. GARAGE DOOR FRAME
- E. WOOD CLAD EXTERIOR DOOR FRAME
- F. WOOD WRAPPED JAMB
- G. DRYWALL WRAP - BARN DOOR

**HARDWARE GROUPS:**

- GROUP #1 - ENTRY, KEYED LOCK-SET
- GROUP #2 - PRIVACY
- GROUP #3 - PASSAGE
- GROUP #4 - DUMMY
- GROUP #5 - BI-PASS
- GROUP #6 - GARAGE
- GROUP #7 - FRENCH DOOR (ACTIVE / INACTIVE)
- GROUP #8 - DUMMY, ROLLER CATCH EACH SIDE
- GROUP #9 - PRIVACY, SELF CLOSING HINGES, TIGHT SEAL, RATED
- GROUP #10 - SURFACE MOUNTED EXPOSED HARDWARE

**WINDOW SCHEDULE RESIDENCE "C":**

MARK	SIZE	OPERABLE	NOTE	MARK
CA	5'-0" X 5'-0"	SLIDER	SEE ELEVATIONS	CA
CB	6'-0" X 5'-0"	SLIDER / FIXED	SEE ELEVATIONS	CB
CC	6'-0" X 5'-0"	FIXED / SLIDER	SEE ELEVATIONS	CC
CD	2'-6" X 4'-0"	SINGLE HUNG	SEE ELEVATIONS	CD
CE	2'-6" X 3'-6"	SINGLE HUNG	SEE ELEVATIONS	CE
CF	3'-0" X 4'-0"	CASEMENT	SEE ELEVATIONS - EGRESS	CF
CG	7'-6" X 5'-0"	SLIDER / FIXED	SEE ELEVATIONS - EGRESS	CG
CH	2'-0" X 3'-6"	SINGLE HUNG	SEE ELEVATIONS	CH
CI	5'-0" X 4'-0"	SLIDER	SEE ELEVATIONS - EGRESS	CI

WINDOW "U" VALUE (CASEMENT) = .28  
 WINDOW "U" VALUE (PATIO DOORS) = .27

**1 BUILDING B - DOOR AND WINDOW**

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**MOUNTAIN VILLAGE NEIGHBORHOOD**  
 LOT 644  
 MOUNTAIN VILLAGE, COLORADO

Revisions:  
 DRB FINAL SUBMISSION

Sheet title  
 BUILDING C DOOR AND WINDOW SCHEDULE



Date: 10/19/2022  
 Project No:  
 Drawn by: MEF  
 Checked by: MEF

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 Sheet **AC10.0**









DOWNHILL TOWNHOME  
B  
1485 SF

DOWNHILL TOWNHOME  
A  
1075 SF

**1** BUILDING D - MAIN FLOOR PLAN  
3/16" = 1'-0"

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Sheet title  
BUILDING D FLOOR PLANS



Date: 10/19/2022  
Project No:  
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Sheet  
**AD2.1**

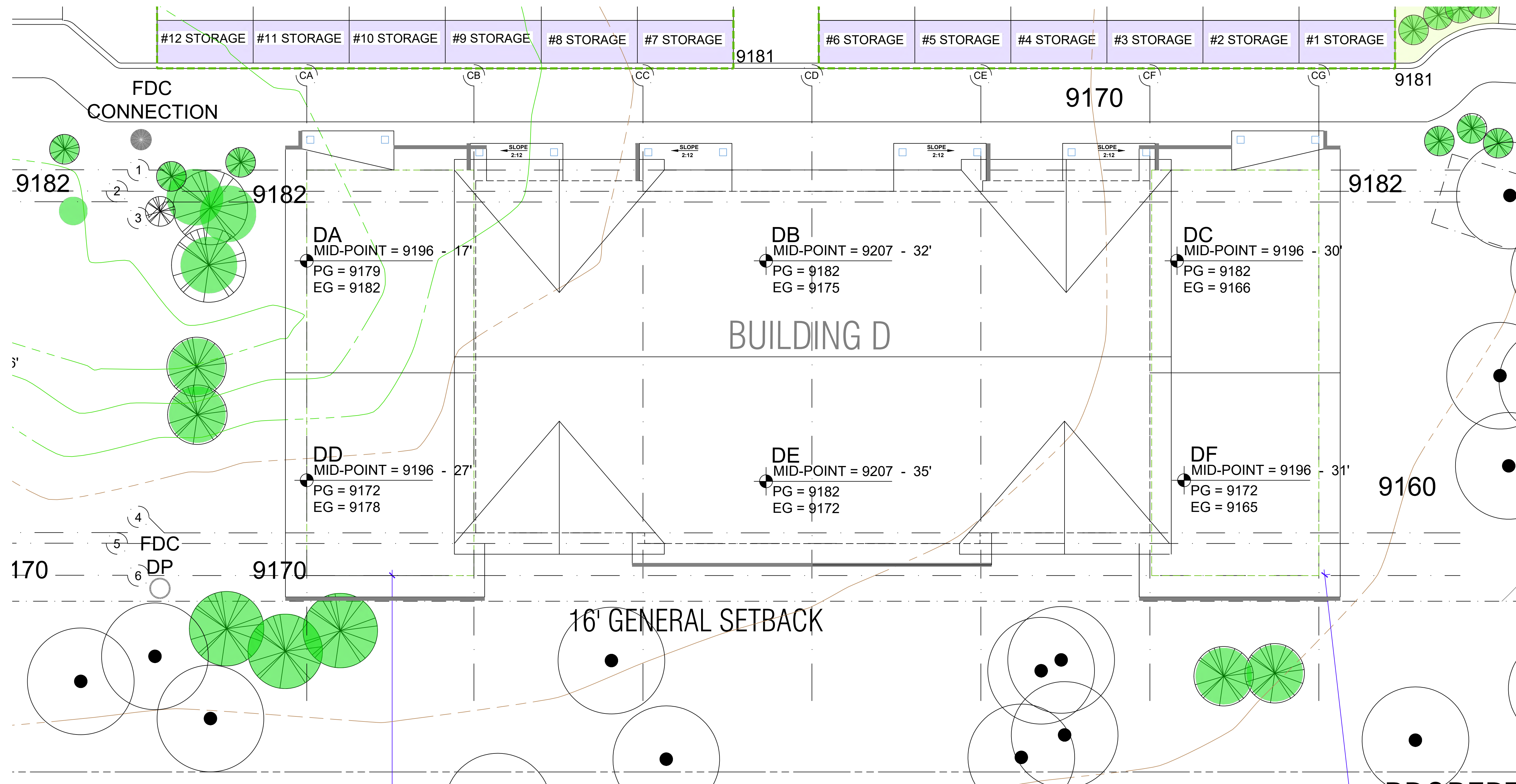












**MOUNTAIN VILLAGE - BUILDING D**

POINT	EXISTING GRADES	PROPOSED GRADES	MID- POINT ROOF	MID- POINT ROOF HEIGHT
BUILDING DA	9182	<u>9179</u>	9196	17'-0"
BUILDING DB	<u>9175</u>	9182	9207	32'-0"
BUILDING DC	<u>9166</u>	9182	9196	30'-0"
BUILDING DD	9178	<u>9172</u>	9196	27'-0"
BUILDING DE	<u>9172</u>	9182	9207	35'-0"
BUILDING DF	<u>9165</u>	9172	9196	31'-0"
BUILDING D TOTAL		MOST RESTRICTIVE UNDERLINED		28'-6" AVERAGE @ MID-POINT

**MAXIMUM BUILDING HEIGHT**

EG = EXISTING GRADE  
PG = PROPOSED GRADE

STRUCTURE IS BURIED INTO HILLSIDE TO WORK WITH EG. PG ARE RAISED AND SLOPED TO ACCOMMODATE DRAINAGE. PROPOSED GRADE WILL BE THE MOST RESTRICTIVE

SOUTH ELEVATION MAX HEIGHT = 41'-0"  
EAST ELEVATION MAX HEIGHT = 33'-0"  
NORTH ELEVATION MAX HEIGHT = 32'-0"  
WEST ELEVATION MAX HEIGHT = 38'-0"

**1 PARTIAL SITE PLAN - HEIGHT CALCS - BLD D**

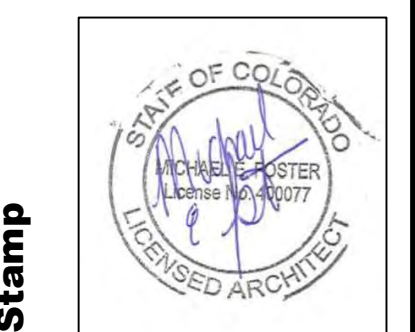
1/8" = 1'-0"

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**MOUNTAIN VILLAGE NEIGHBORHOOD**  
LOT 644  
MOUNTAIN VILLAGE, COLORADO

Revisions:  
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Sheet title  
SITE PLAN HEIGHT CALCULATIONS



Date: 10/19/2022  
Project No:  
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Checked by: MEF

Sheet **AD3.1**



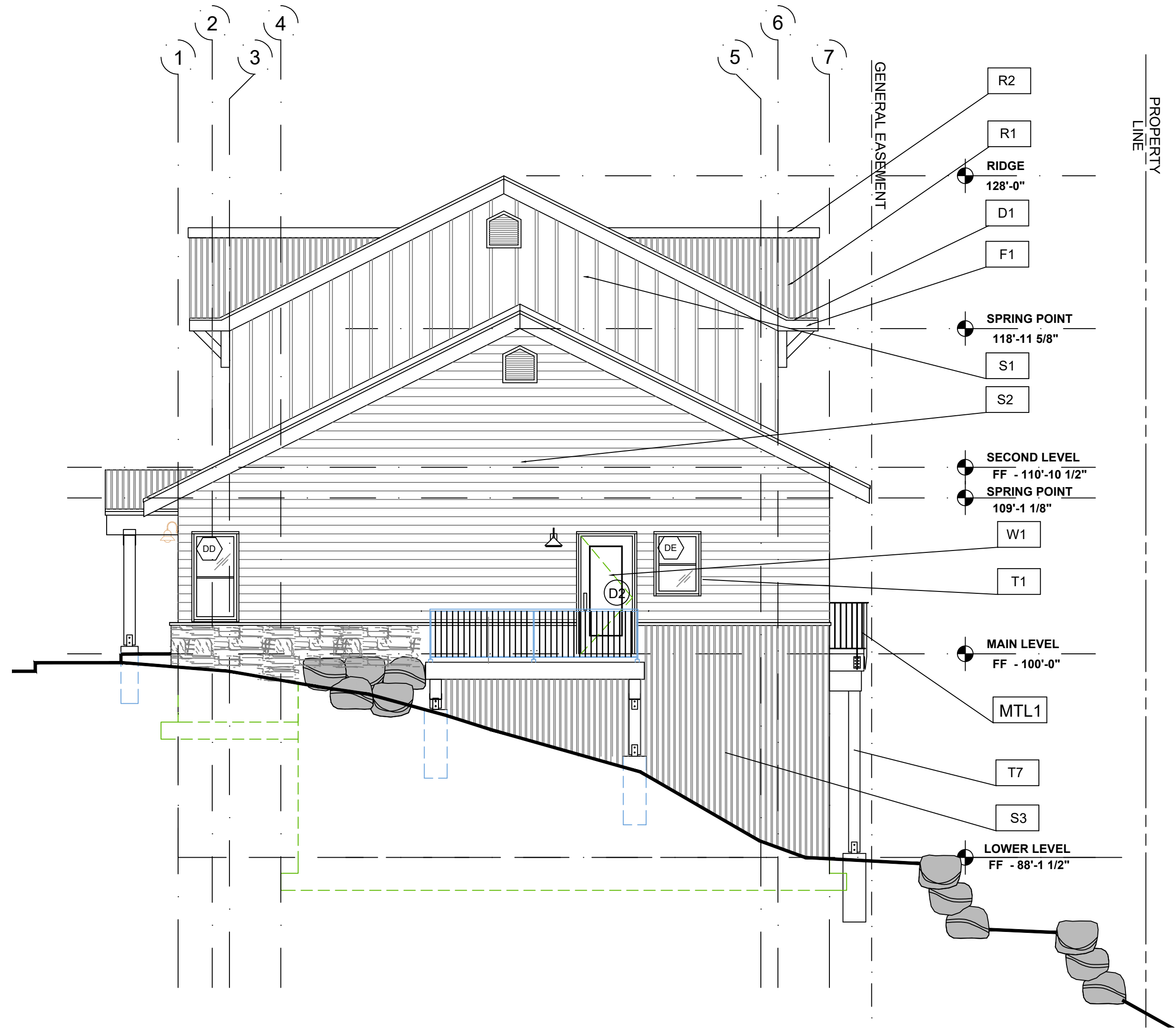
**BUILDING D - EXTERIOR FINISH SCHEDULE**

TAG	ITEM	MATERIAL	COLOR
R1	PRIMARY ROOF	SNAP-LOCK STANDING SEAM	BURNISHED SLATE
R2	ROOF CAP	VENTED - METAL ROOF CAP	BRONZE
R3	GUTTER	METAL GUTTER	BRONZE
D1	DRIP EDGE	ALUMINUM (PREFINISHED)	MATCH ADJACENT ROOF
F1	FASCIA @ R1	FIBER CEMENT BOARDS - 5/4 RUSTIC x 9.25"	IRON ORE - SW 7069
F3	SOFFIT	FIBER CEMENT SOFFIT PANELS - VENTED SMOOTH	IRON ORE - SW 7069
S1	BOARD AND BATTEN	FIBER CEMENT VERT SIDING 3.5" OVER FIBER CEMENT PLANKS - SMOOTH	ARTISAN TAN - SW 7540
S2	HORIZONTAL LAP SIDING	FIBER CEMENT LAP SIDING - 3/8" X 9 3/8" 6" EXPOSED - @ WINDOW / DOOR INFILL	SEALSKIN - SW 7675
S3	METAL SIDING PANELS	MBCI HORZ. METAL WALL SYSTEM - PBC 1 1/2"	DARK BRONZE
S4	STONE	NATURAL STONE VENEER	GALLEGOS #303 NORTHSTAR BLACK
W1	DOORS AND WINDOWS	PREMIUM VINYL	
T1	DOORS AND WINDOWS TRIM	FIBER CEMENT - 1/2" SMOOTH 3.5" RAILS 1/2" SMOOTH 5.5" HEAD AND SILL	MATCH FIELD
T2	SIDING TRIM	FIBER CEMENT - 1/2" SMOOTH 5.5"	MATCH FIELD
T3	TRUSS BRACKETS	TREATED CEDAR POST	LIFETIME STAIN
T4	INSIDE CORNER TRIM	FIBER CEMENT - 1/2" SMOOTH 3.5"	MATCH FIELD
T5	OUTSIDE CORNER TRIM	FIBER CEMENT - 1/2" SMOOTH 5.5"	MATCH FIELD
T6	FRIEZE TRIM	FIBER CEMENT - 1/2" SMOOTH 5.5"	MATCH FIELD
T7	6X6 TIMBER COLUMN	TREATED CEDAR POST	LIFETIME STAIN
T8	BELLY BAND	FIBER CEMENT - 1/2" SMOOTH 9.25"	SW - FRENCH ROAST
MTL1	METAL RAILING	STANDARD DESIGN - FORTRESS	POWDER COAT - BLACK

- IN THE CASE OF ANY DISCREPANCIES BETWEEN THIS SCHEDULE AND OTHER CONTRACT DOCUMENTS, THE INFORMATION ON THIS SCHEDULE SHALL TAKE PRECEDENCE.
- ALL FLASHING, VENTS, FLUES, ROOFTOP MECHANICAL EQUIPMENT, UTILITY BOXES, AND SIMILAR ITEMS SHALL BE PAINTED TO MATCH ADJACENT PORTIONS OF BUILDINGS UNLESS OTHERWISE NOTED.
- TYPICAL SIDEWALL FLASHING: ICE&WATER SHIELD 2'-6" VERT UP WALL, WRAP INTO OPENINGS, THEN APPLY TYVEK FLASHING TAPE AROUND PENETRATING PIPE. METAL FLASHING EXPOSED 6" UP WALL. TYPICAL AT ALL SIDEWALL CONDITIONS.
- THESE ELEVATIONS ARE CONCEPTUAL IN NATURE. INDIVIDUAL BUILDING ELEVATIONS MAY VARY BUT WILL BE EVALUATED FOR COMPLIANCE WITH DESIGN STANDARDS CONTAINED WITHIN ESTES PARK CODE AT THE TIME OF SUBMITTING A BUILDING PERMIT APPLICATION.



**1 BUILDING D - SOUTH ELEVATION**  
3/16" = 1'-0"



**2 BUILDING D - WEST ELEVATION**  
3/16" = 1'-0"

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LOT 644  
**MOUNTAIN VILLAGE, COLORADO**

Revisions:  
**DRB FINAL SUBMISSION**

Sheet title  
**BUILDING D ELEVATIONS**



Date: 10/19/2022  
Project No:  
Drawn by: MEF  
Checked by: MEF

Sheet **AD4.0**







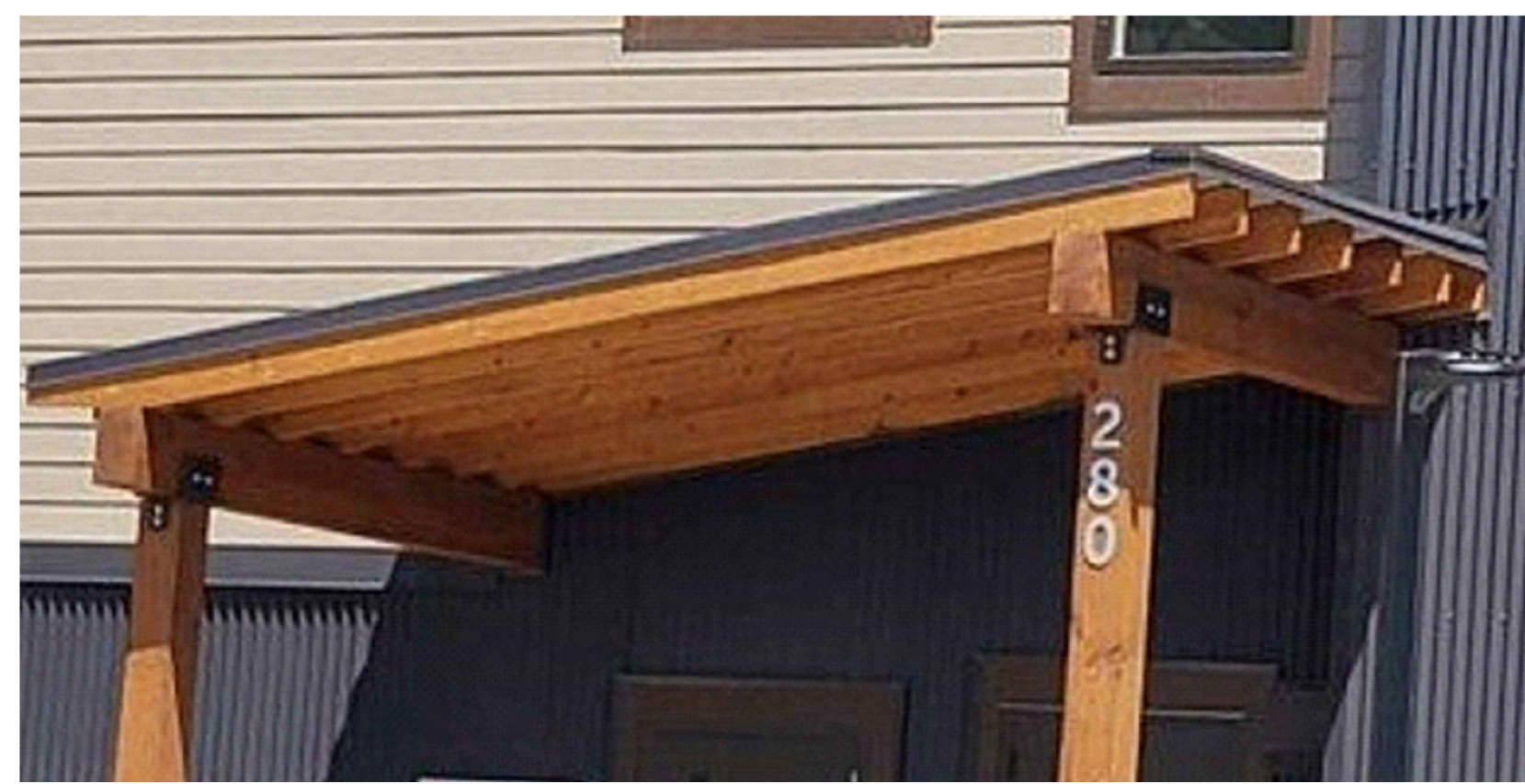
**BUILDING D - EXTERIOR FINISH SCHEDULE**

TAG	ITEM	MATERIAL	COLOR
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S4	STONE	NATURAL STONE VENEER	GALLEGOS #303 NORTHSTAR BLACK
W1	DOORS AND WINDOWS	PREMIUM VINYL	
T1	DOORS AND WINDOWS TRIM	FIBER CEMENT - 1/2" SMOOTH 3.5" RAILS 1/2" SMOOTH 5.5" HEAD AND SILL	MATCH FIELD
T2	SIDING TRIM	FIBER CEMENT - 1/2" SMOOTH 5.5"	MATCH FIELD
T3	TRUSS BRACKETS	TREATED CEDAR POST	LIFETIME STAIN
T4	INSIDE CORNER TRIM	FIBER CEMENT - 1/2" SMOOTH 3.5"	MATCH FIELD
T5	OUTSIDE CORNER TRIM	FIBER CEMENT - 1/2" SMOOTH 5.5"	MATCH FIELD
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**1 BUILDING D - NORTH ELEVATION**  
3/16" = 1'-0"



**ENTRY SHED IMAGE**



**CORRUGATED METAL BASE**



**PRIMARY ROOF SNAP-LOCK STANDING SEAM**



**COMPOSITE WINDOWS DOORS, BRONZE COLOR**



**DARK SKY COMPLIANT LIGHTING**



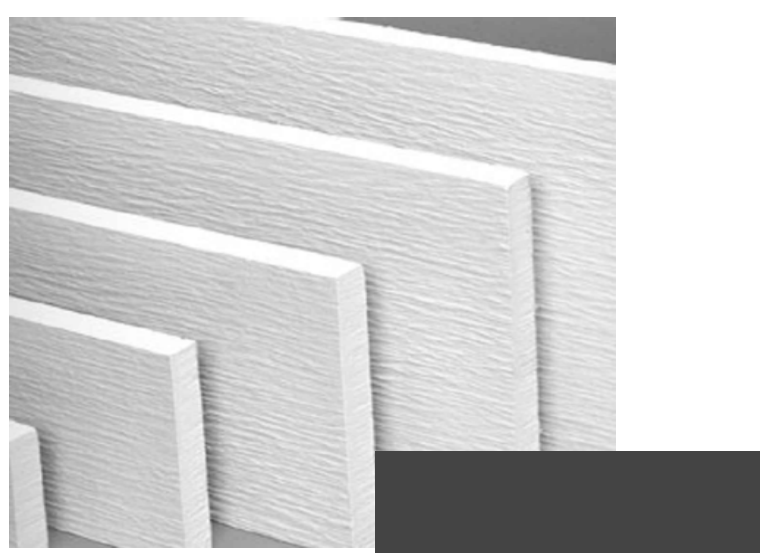
**BOARD AND BATTEN**



**HORIZONTAL SIDING**



**STONE VENEER**



**FASCIA**



**VTAC LOUVERS COLOR TO MATCH FIELD**



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LOT 644  
**MOUNTAIN VILLAGE, COLORADO**

Revisions:  
**DRB FINAL SUBMISSION**

Sheet title  
**BUILDING D ELEVATIONS**



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Drawn by: MEF  
Checked by: MEF

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Sheet **AD4.2**



**BUILDING D - EXTERIOR FINISH PERCENTAGE**

WEST ELEVATION		
	SURFACE AREA	PERCENTAGE OF NET
GROSS OF WALL	931 SF	NA
NET GLAZING	41 SF	4.4%
NET STONE	40 SF	4.4%
NET CEMENTITIOUS BOARDS	675 SF	72.4%
NET METAL PANEL	175 SF	18.8%

1. EXCLUDES ROOF FORMS, FASCIA AND SIMILAR FEATURES.

**BUILDING D - EXTERIOR FINISH PERCENTAGE**

EAST ELEVATION		
	SURFACE AREA	PERCENTAGE OF NET
GROSS OF WALL	946 SF	NA
NET GLAZING	41 SF	4.2%
NET STONE	40 SF	4.2%
NET CEMENTITIOUS BOARDS	675 SF	71.5%
NET METAL PANEL	190 SF	20.1%

1. EXCLUDES ROOF FORMS, FASCIA AND SIMILAR FEATURES.

**BUILDING D - EXTERIOR FINISH PERCENTAGE**

SOUTH ELEVATION		
	SURFACE AREA	PERCENTAGE OF NET
GROSS OF WALL	2,850 SF	NA
NET GLAZING	560 SF	21.1%
NET STONE	0 SF	0%
NET CEMENTITIOUS BOARDS	1,150 SF	43.4%
NET METAL PANEL	940 SF	35.5%

1. EXCLUDES ROOF FORMS, FASCIA AND SIMILAR FEATURES.

**BUILDING D - EXTERIOR FINISH PERCENTAGE**

NORTH ELEVATION		
	SURFACE AREA	PERCENTAGE OF NET
GROSS OF WALL	1,442 SF	NA
NET GLAZING	484 SF	33.6%
NET STONE	208 SF	14.4%
NET CEMENTITIOUS BOARDS	668 SF	46.3%
NET METAL PANEL	62 SF	4.3%

1. EXCLUDES ROOF FORMS, FASCIA AND SIMILAR FEATURES.

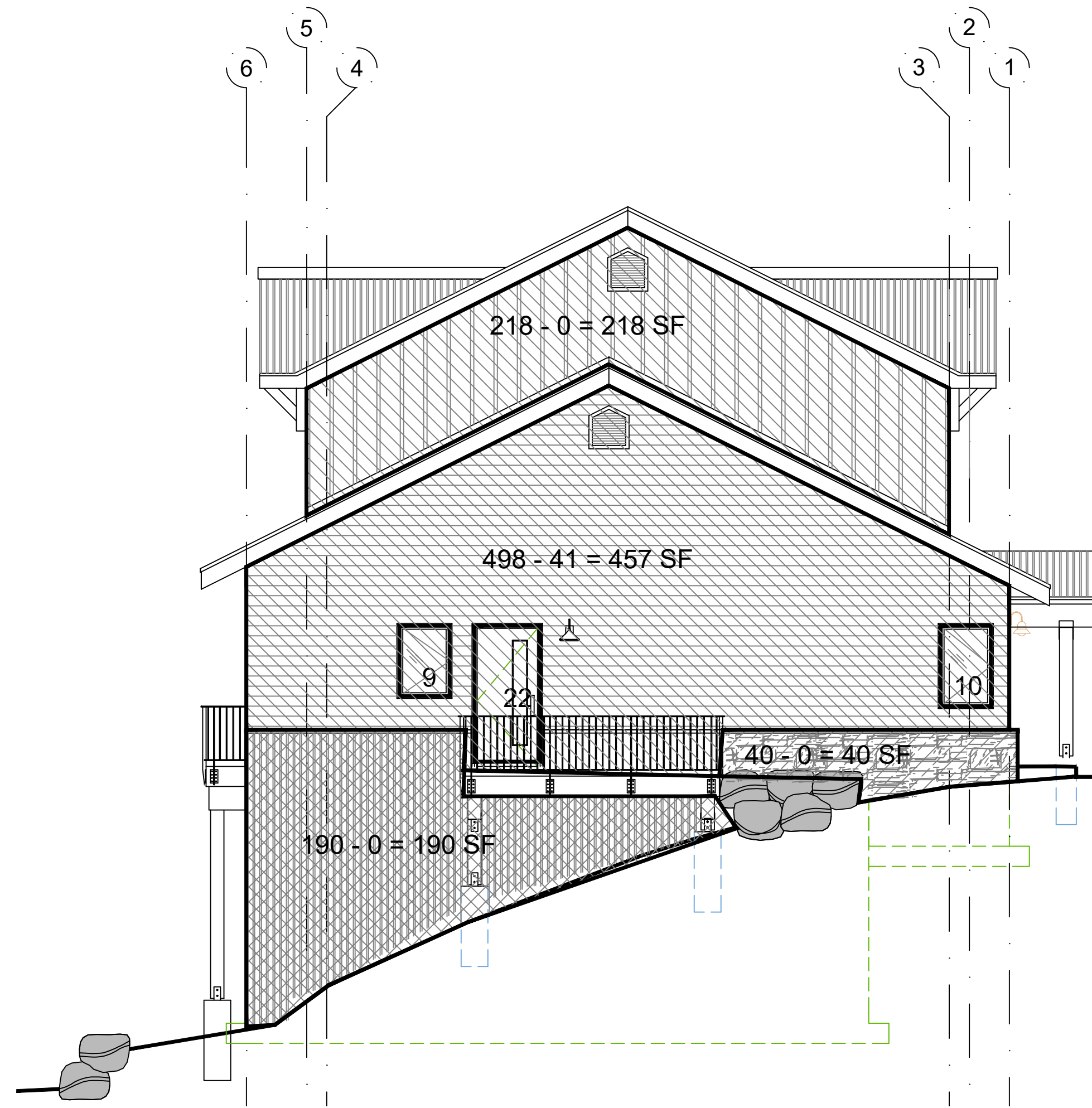
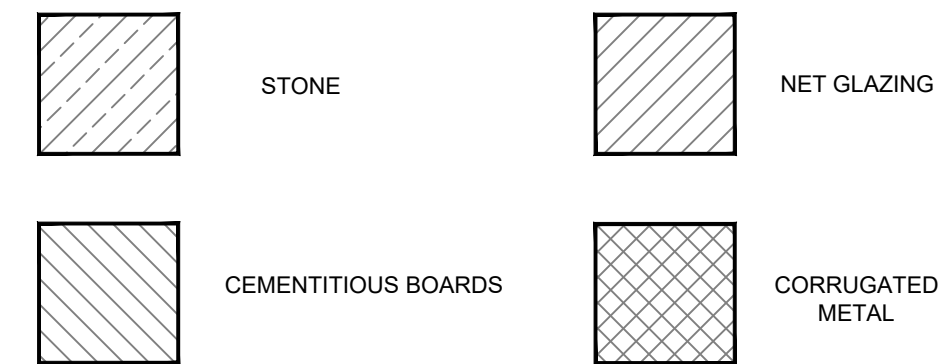
**BUILDING D - EXTERIOR FINISH PERCENTAGE**

TOTAL BUILDING		
	SURFACE AREA	PERCENTAGE OF NET
GROSS OF WALL	5,969 SF	NA
NET GLAZING	1,126 SF	18.9%
NET STONE	484 SF	4.9%
NET CEMENTITIOUS BOARDS	3,168 SF	53.3%
NET METAL PANEL	1,367 SF	22.9%

1. EXCLUDES ROOF FORMS, FASCIA AND SIMILAR FEATURES.



**1 BUILDING D - SOUTH ELEVATION**  
3/16" = 1'-0"



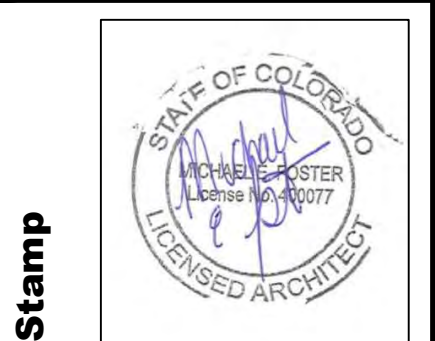
**2 BUILDING D - WEST ELEVATION**  
3/16" = 1'-0"

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Sheet title  
BUILDING D ELEVATIONS MATERIAL CALCULATIONS



Date: 10/19/2022  
Project No:  
Drawn by: MEF  
Checked by: MEF

Sheet **AD4.3**





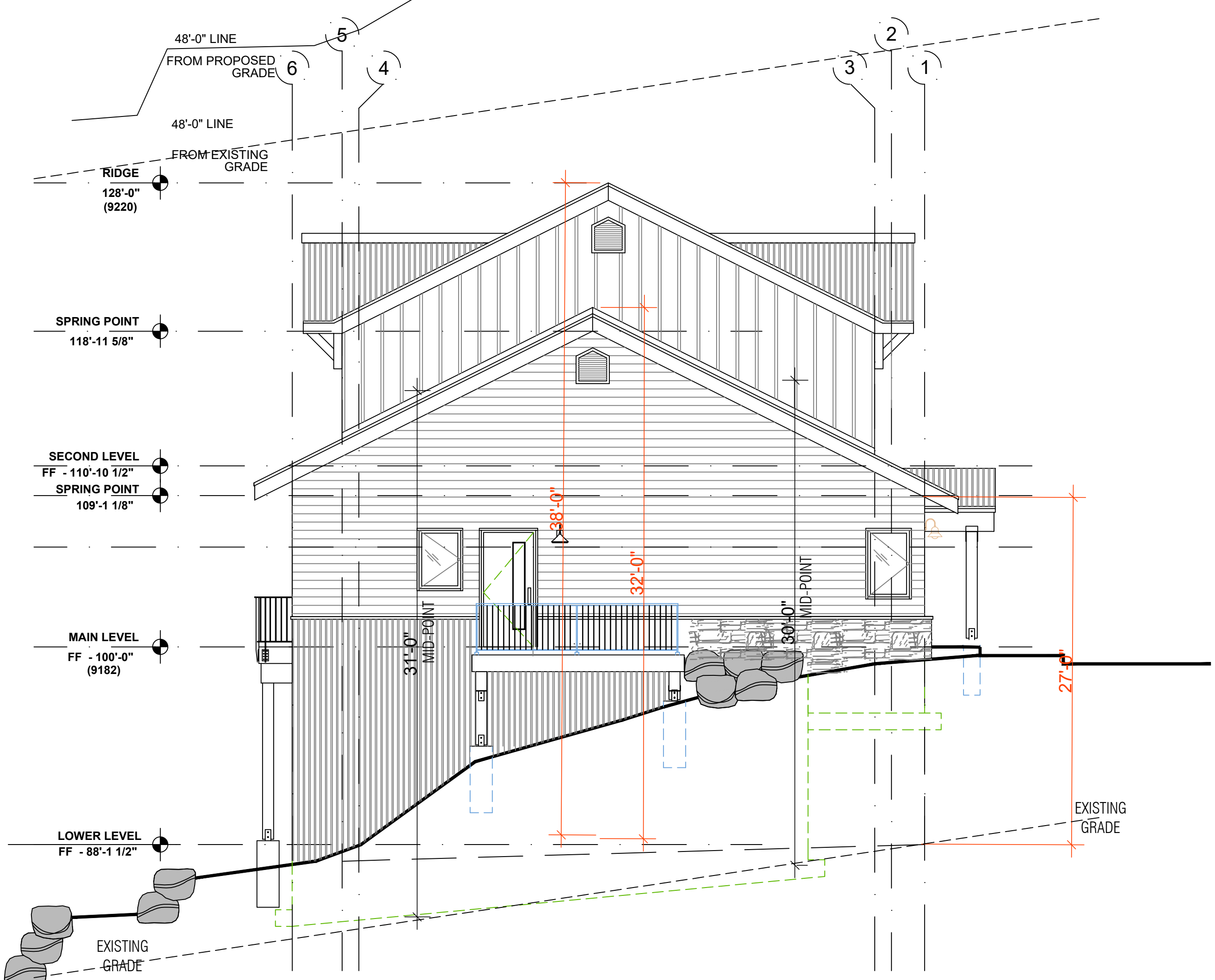








**1 BUILDING D - NORTH ELEVATION**  
3/16" = 1'-0"



**2 BUILDING D - EAST ELEVATION**  
3/16" = 1'-0"

MAXIMUM BUILDING HEIGHT

EG = EXISTING GRADE  
PG = PROPOSED GRADE

STRUCTURE IS BURIED INTO HILLSIDE TO WORK WITH EG. PG ARE RAISED AND SLOPED TO ACCOMMODATE DRAINAGE. PROPOSED GRADE WILL BE THE MOST RESTRICTIVE

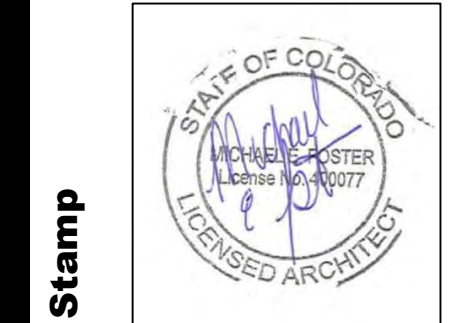
SOUTH ELEVATION MAX HEIGHT = 41'-0"  
EAST ELEVATION MAX HEIGHT = 33'-0"  
NORTH ELEVATION MAX HEIGHT = 32'-0"  
WEST ELEVATION MAX HEIGHT = 38'-0"

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**MOUNTAIN VILLAGE NEIGHBORHOOD**  
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Revisions:  
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Sheet title  
BUILDING D ELEVATIONS HEIGHT CALCULATIONS

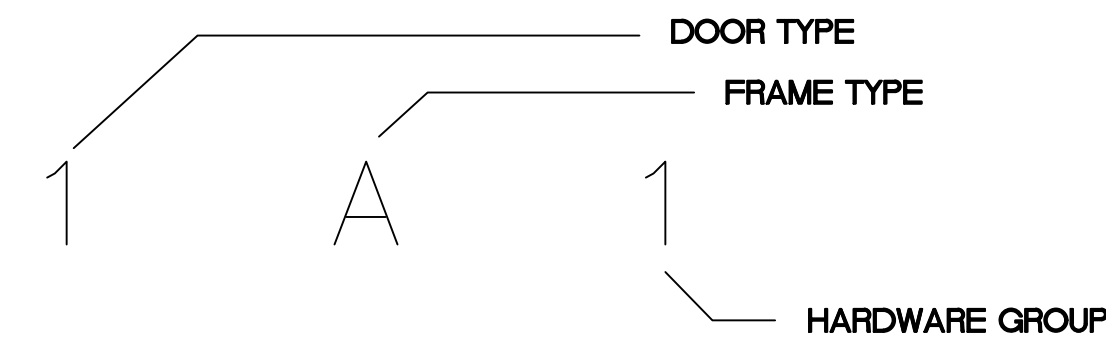


Date: 10/19/2022  
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Sheet **AD4.6**



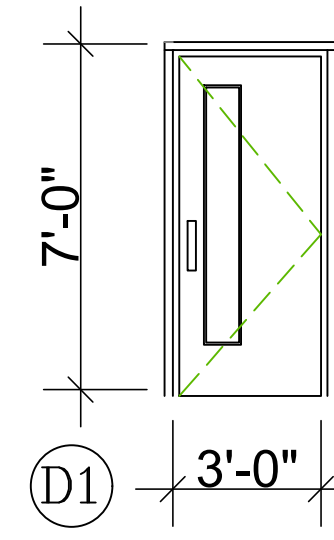
**DOOR SCHEDULE:**



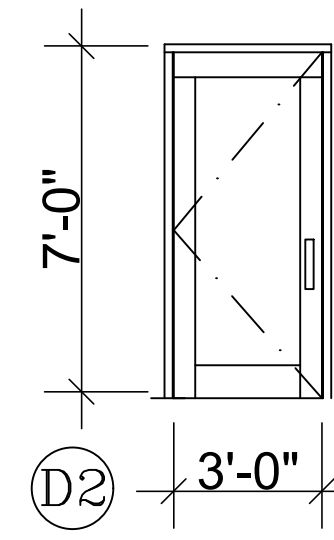
(R) - 20 MINUTE RATED DOOR AND FRAME ASSEMBLY.

- 1. DOORS INTO GARAGE
- 2. DOORS INTO MECHANICAL ROOMS

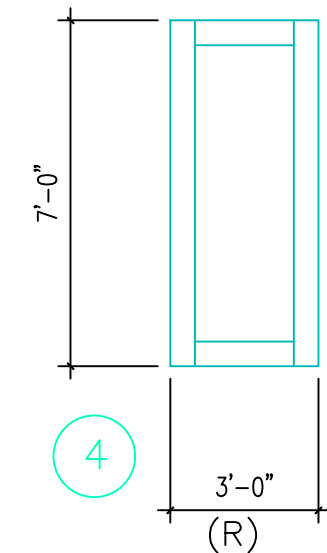
**DOOR TYPES:**



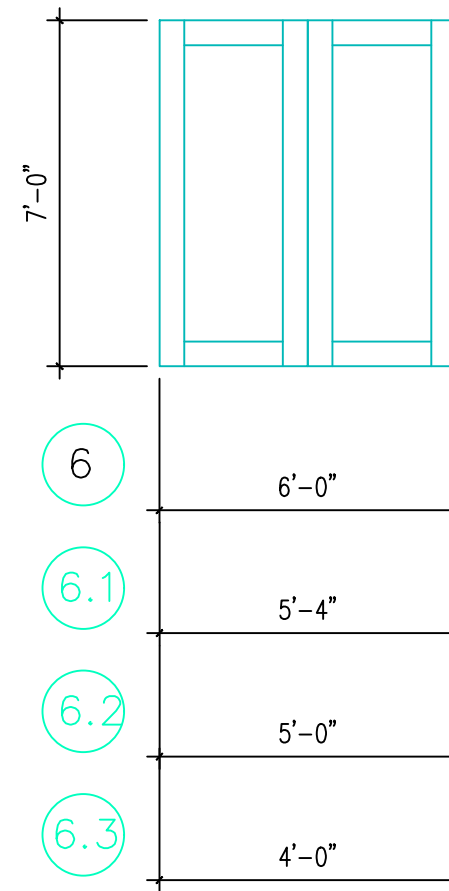
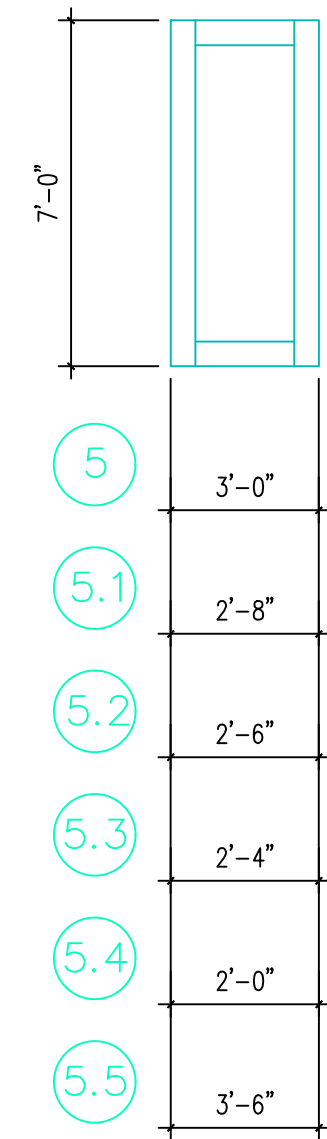
INSULATED METAL W/  
TEMPERED GLAZING  
PAINT TO MATCH WINDOWS



HOLLOW METAL  
PAINT TO MATCH WINDOWS



VERIFY DOOR DESIGNS  
WITH OWNER / DESIGNER  
IN ADVANCE



**FRAME TYPES:**

- A. EXTERIOR WOOD DOOR FRAME
- B. INTERIOR WOOD DOOR FRAME
- C. POCKET DOOR FRAME
- D. GARAGE DOOR FRAME
- E. WOOD CLAD EXTERIOR DOOR FRAME
- F. WOOD WRAPPED JAMB
- G. DRYWALL WRAP - BARN DOOR

**HARDWARE GROUPS:**

- GROUP #1 - ENTRY, KEYED LOCK-SET
- GROUP #2 - PRIVACY
- GROUP #3 - PASSAGE
- GROUP #4 - DUMMY
- GROUP #5 - BI-PASS
- GROUP #6 - GARAGE
- GROUP #7 - FRENCH DOOR (ACTIVE / INACTIVE)
- GROUP #8 - DUMMY, ROLLER CATCH EACH SIDE
- GROUP #9 - PRIVACY, SELF CLOSING HINGES, TIGHT SEAL, RATED
- GROUP #10 - SURFACE MOUNTED EXPOSED HARDWARE

**WINDOW SCHEDULE RESIDENCE "D":**

MARK	SIZE	OPERABLE	NOTE	MARK
DA	5'-0" X 5'-0"	SLIDER	SEE ELEVATIONS	DA
DB	6'-0" X 5'-0"	SLIDER / FIXED	SEE ELEVATIONS	DB
DC	6'-0" X 5'-0"	FIXED / SLIDER	SEE ELEVATIONS	DC
DD	2'-6" X 4'-0"	SINGLE HUNG	SEE ELEVATIONS	DD
DE	2'-6" X 3'-6"	SINGLE HUNG	SEE ELEVATIONS	DE
DF	3'-0" X 4'-0"	CASEMENT	SEE ELEVATIONS - EGRESS	DF
DG	7'-6" X 5'-0"	SLIDER / FIXED	SEE ELEVATIONS - EGRESS	DG
DH	2'-0" X 3'-6"	SINGLE HUNG	SEE ELEVATIONS	DH
DI	5'-0" X 4'-0"	SLIDER	SEE ELEVATIONS - EGRESS	DI

WINDOW "U" VALUE (CASEMENT) = .28  
WINDOW "U" VALUE (PATIO DOORS) = .27

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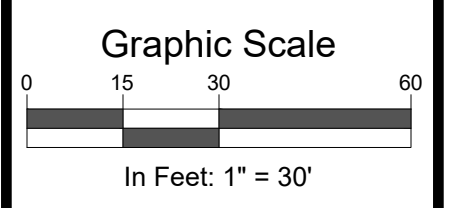
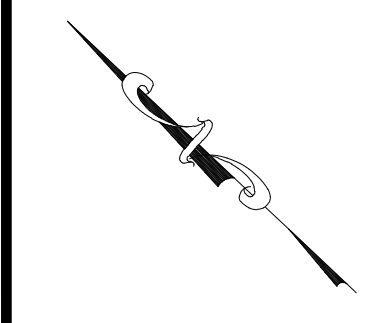
Revisions:  
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Sheet title  
BUILDING D DOOR AND WINDOW SCHEDULE



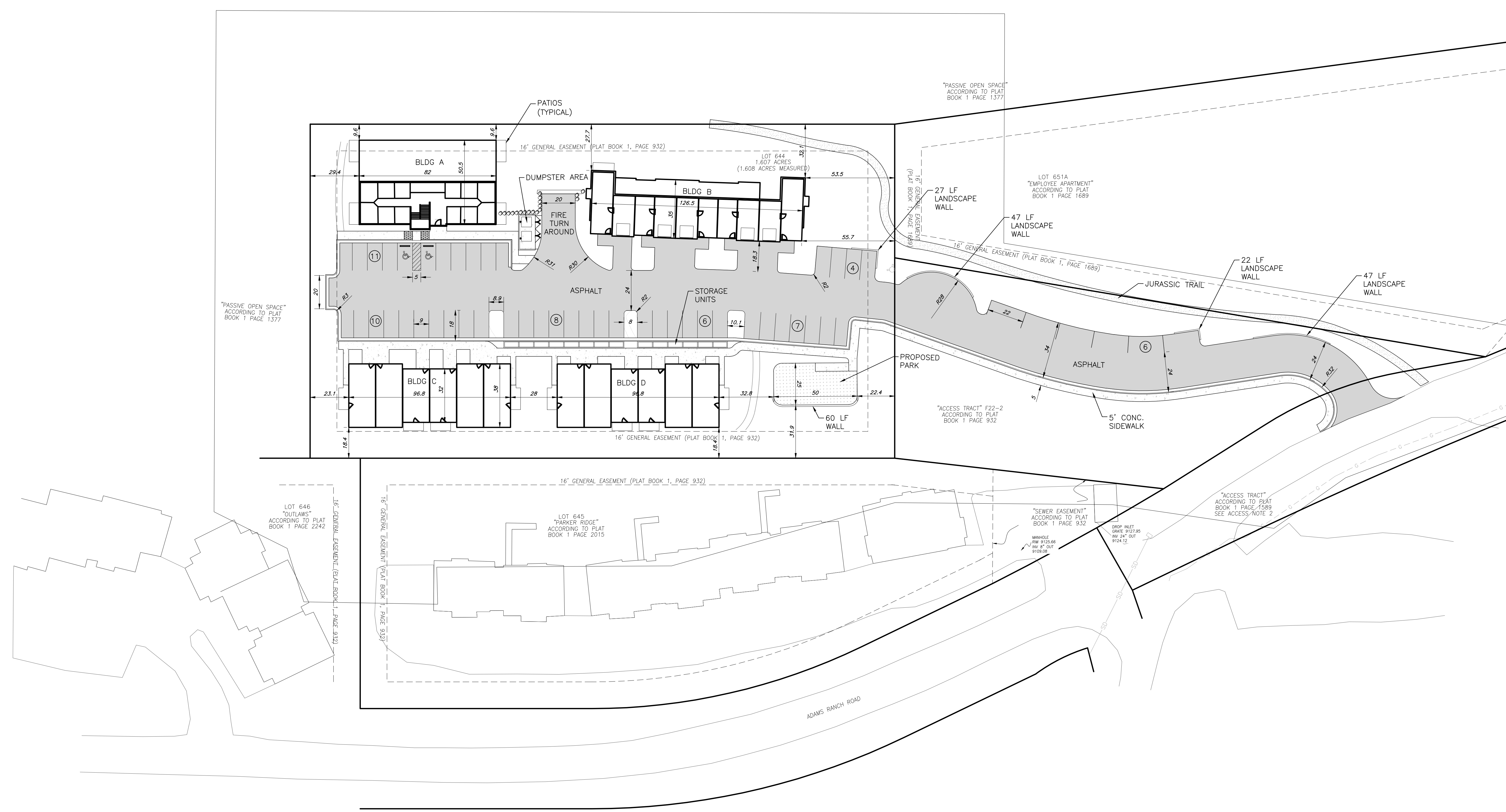
Date: 10/19/2022  
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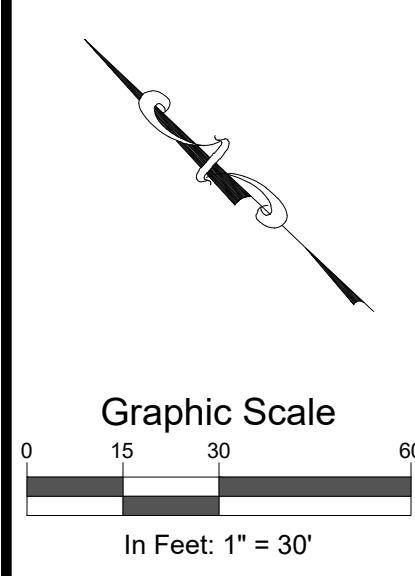
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2			
3			

Job No. 2022-241.001  
 Drawn by: JG  
 Print Date: 7/22/2022  
 QC: XX | PE: JP  
 File: Site Plan  
 Title: Conceptual Site Plan

Dwg No. 1  
 Of: 4

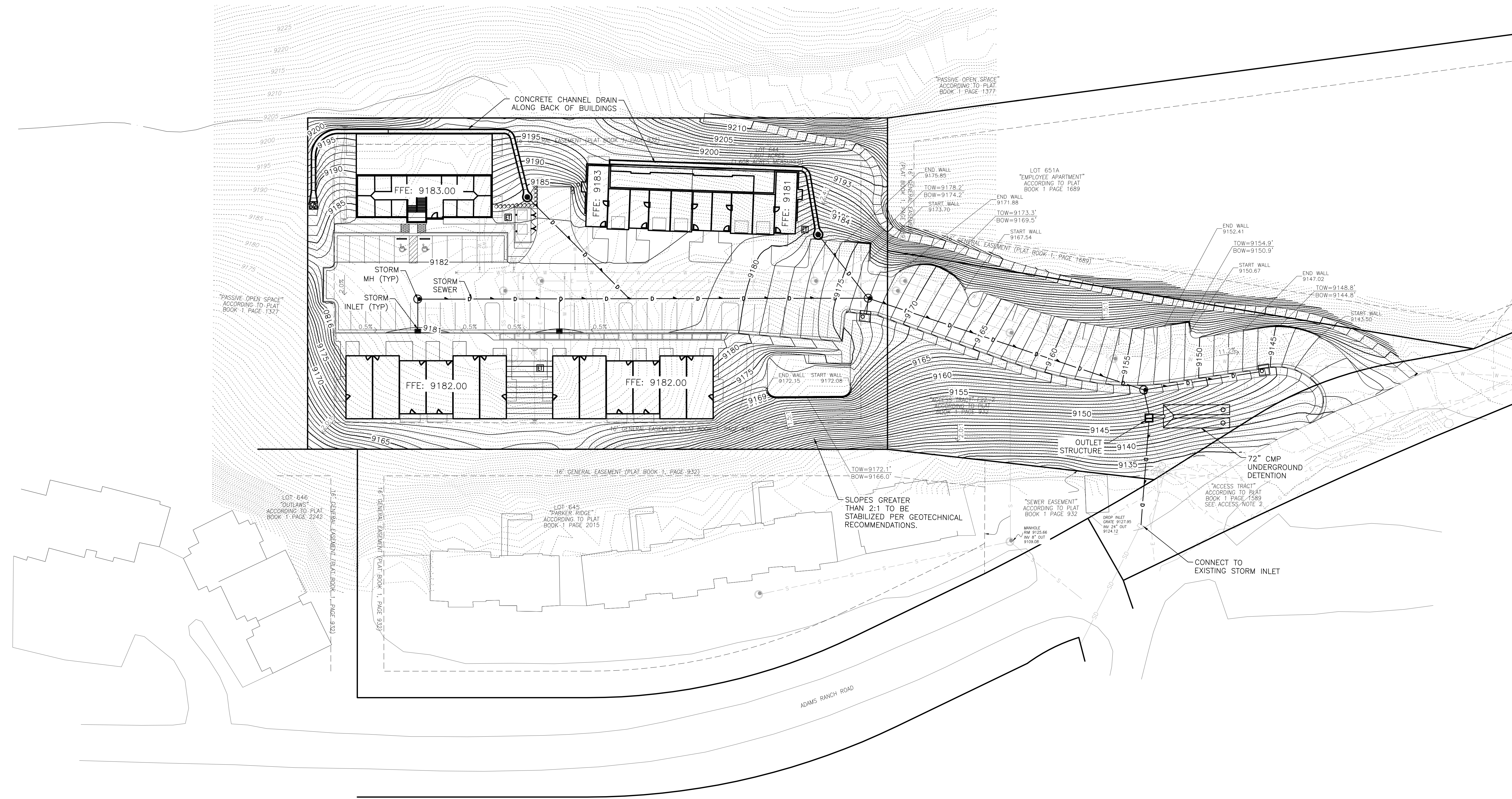
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2			
3			

Job No. 2022-241.001  
 Drawn by: JC  
 Print Date: 9/15/2022  
 QC: XX | PE: JP  
 File: Grading Plan

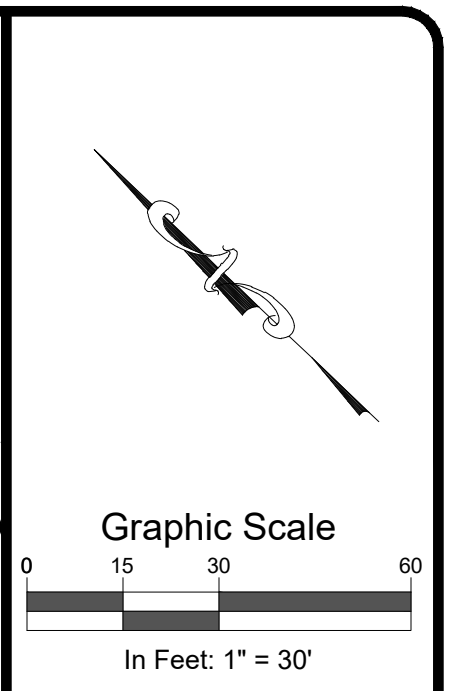
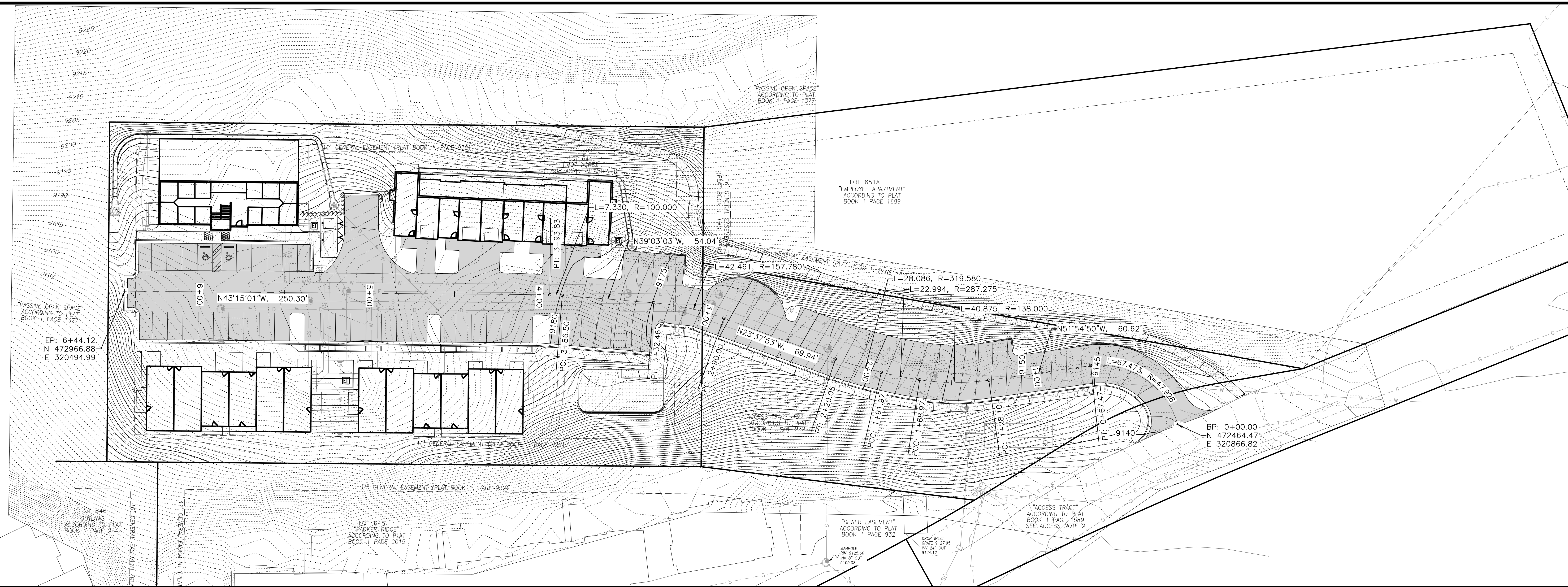
Conceptual Grading Plan

Dwg No. 2  
 Of: 4

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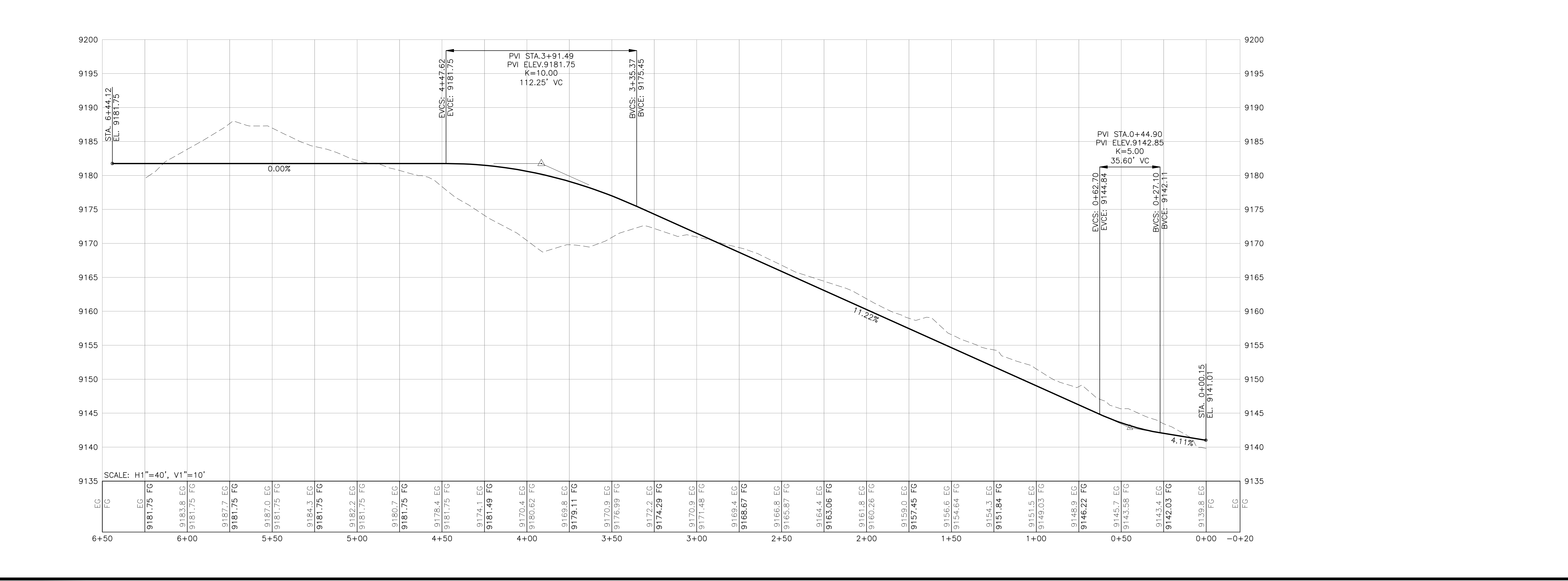
**Lot 644**  
**Mountain Village**

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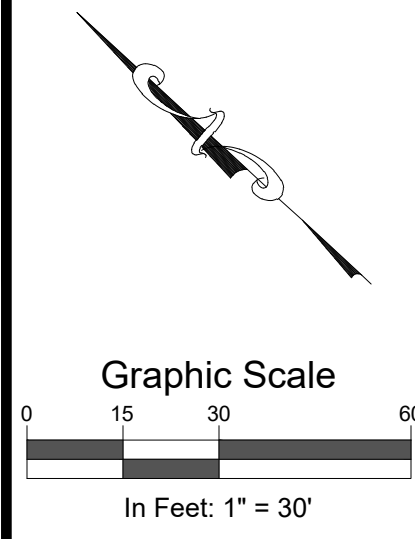
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 Drawn by: J.C.  
 Print Date: 7/22/2022  
 QC: XX | PE: JP  
 File: Driveway Plan and Profile

Title:  
**Driveway Plan and Profile**

Dwg No.  
**3**  
 Of: 4







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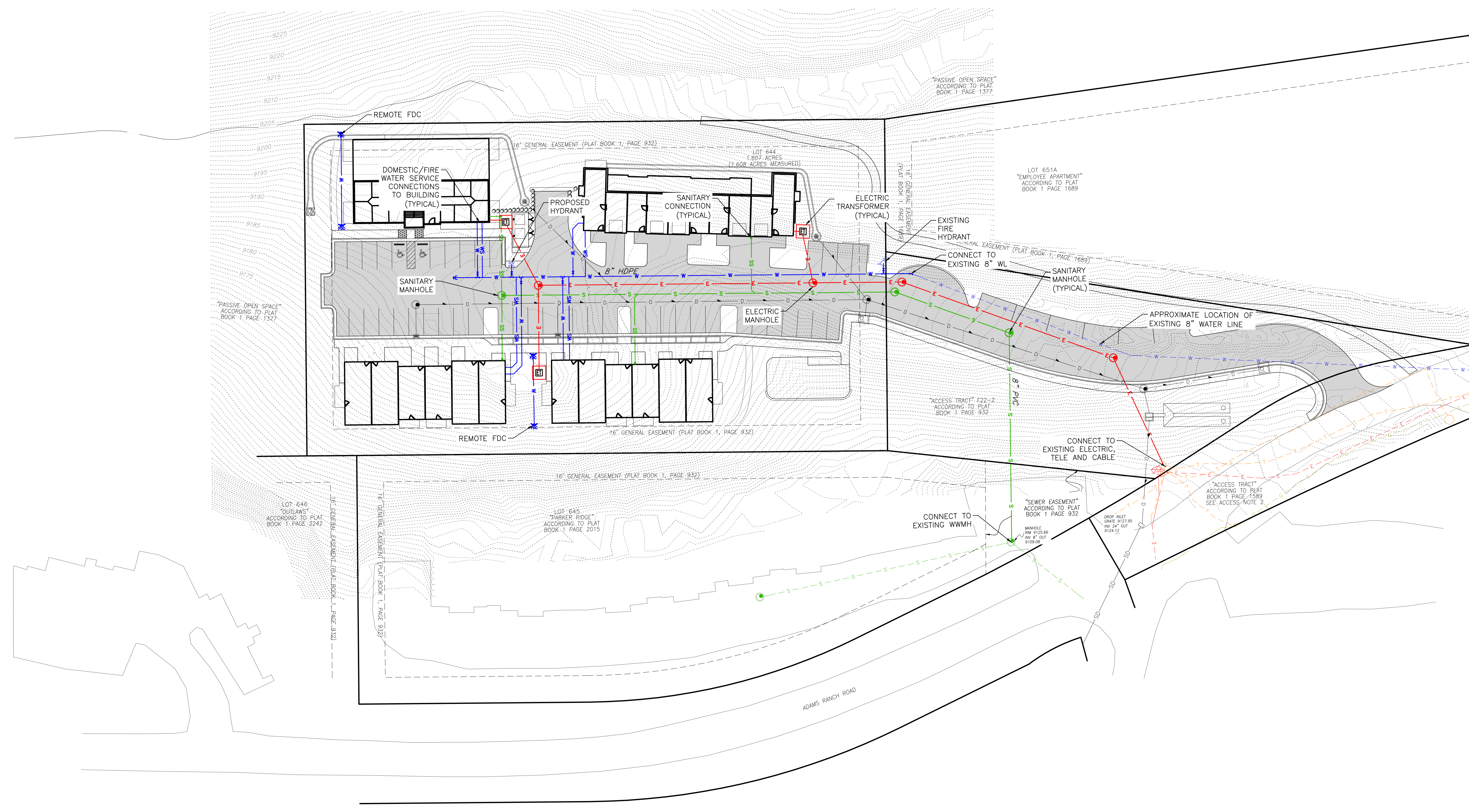
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#	Revision	Date	By
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Job No. 2022-241.001  
 Drawn by: JC  
 Print Date: 7/22/2022  
 QC: XX | PE: JP  
 File: Utility Plan

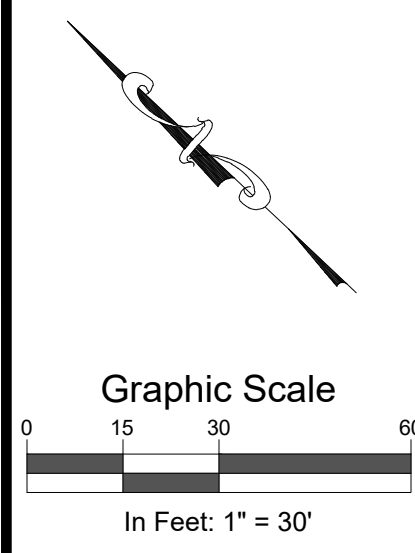
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**Conceptual Utility Plan**

Dwg No.  
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 Of: 4



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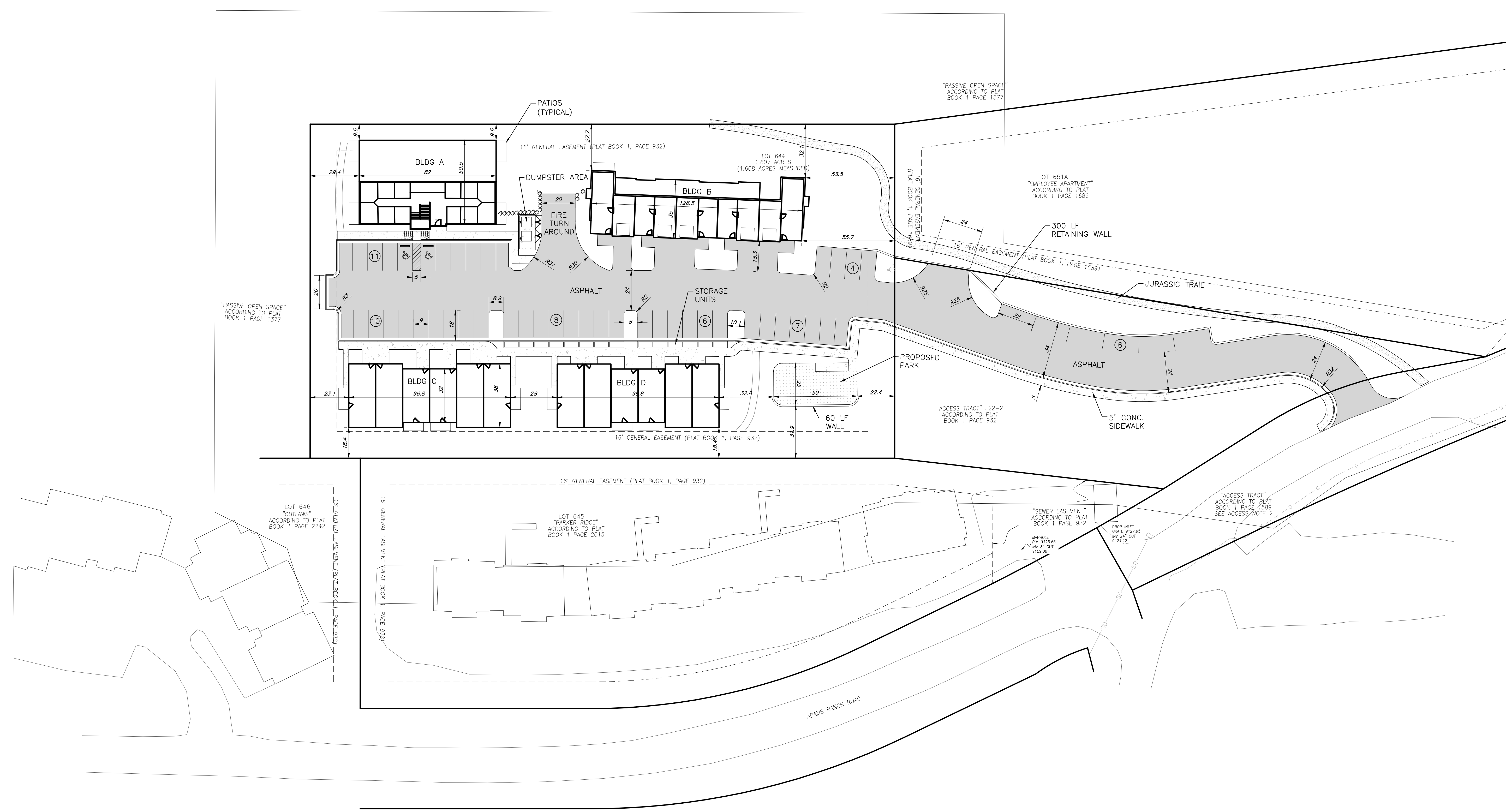
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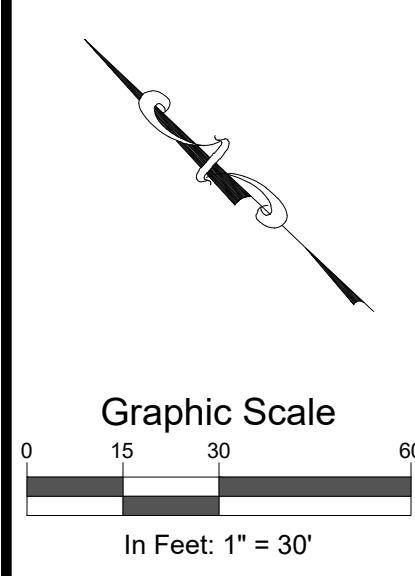
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 File: Site Plan  
 Title: Conceptual Site Plan

Dwg No. 1  
 Of: 4

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**Lot 644**  
**Mountain Village**

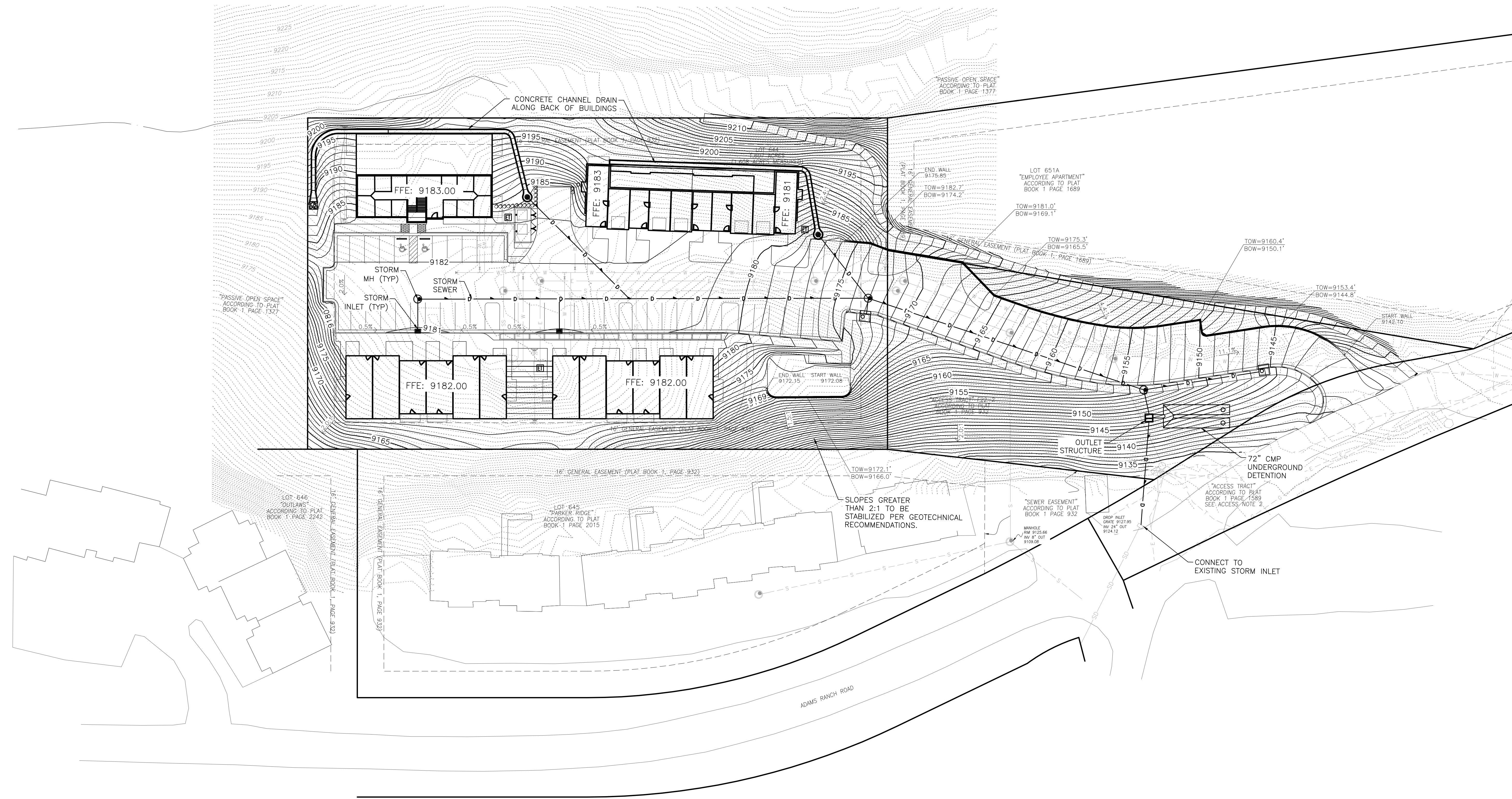
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2			
3			

Job No. 2022-241.001  
 Drawn by: JC  
 Print Date: 9/29/2022  
 QC: XX | PE: JP  
 File: Grading Plan

**Conceptual Grading Plan**

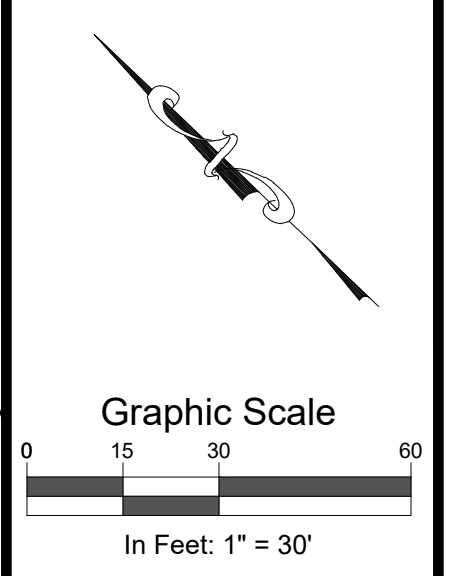
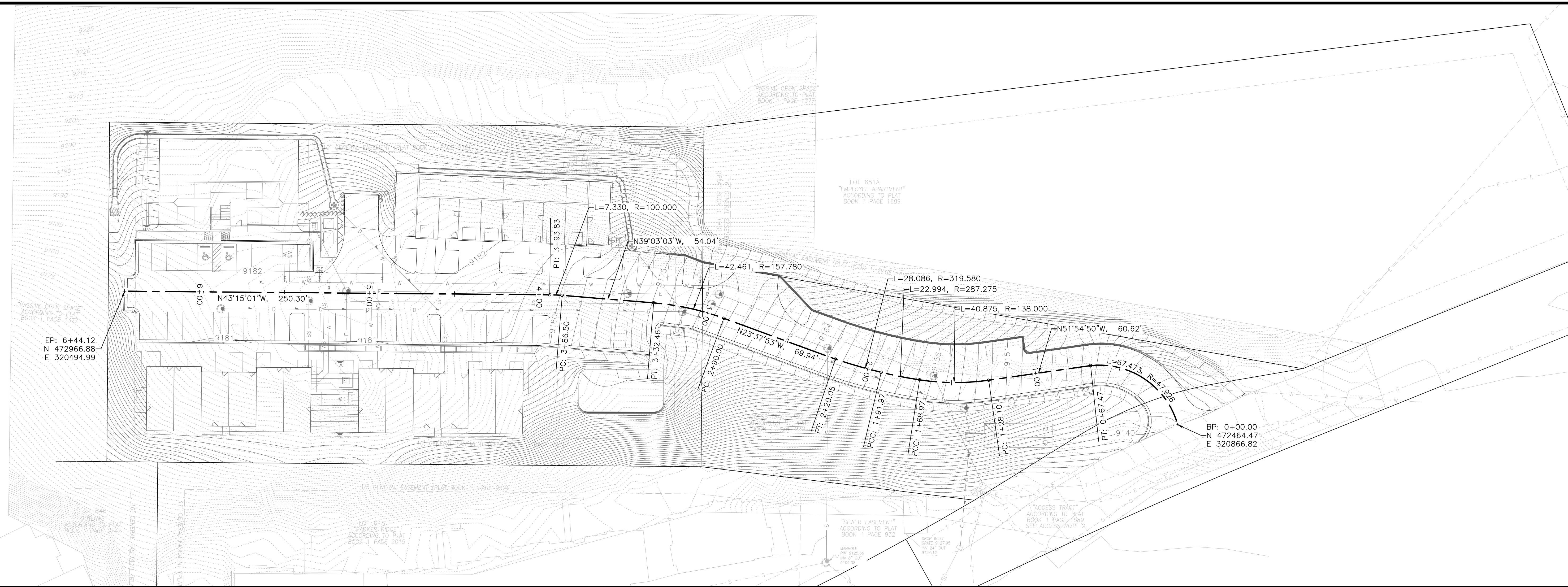
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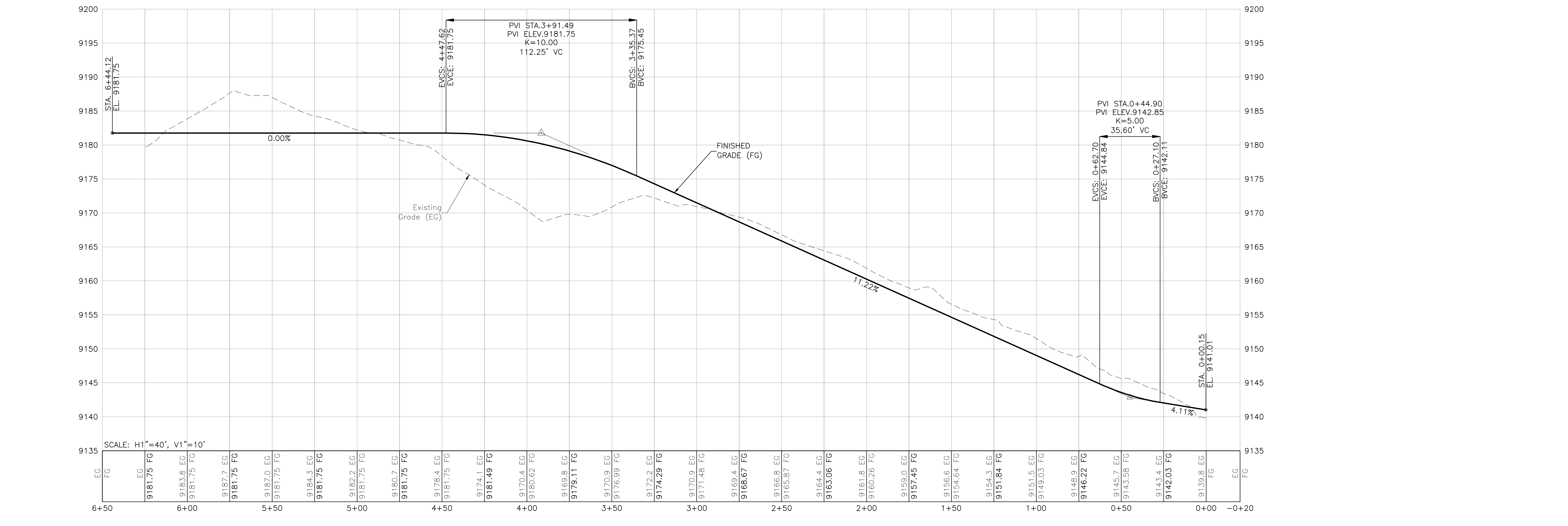


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**SGM**  
118 West Sixth Street, Suite 200  
Glenwood Springs, CO 81601  
970.945.1004  
www.sgm-inc.com

Lot 644  
Mountain Village



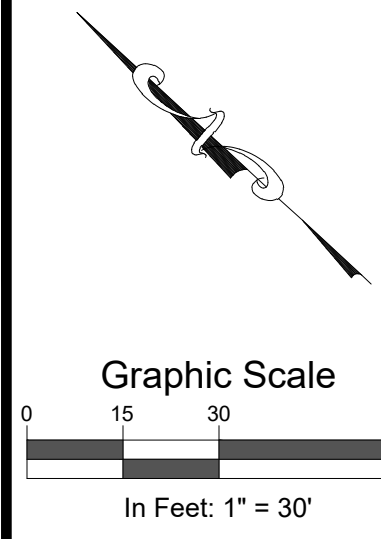
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2			
3			

Job No. 2022-241.001  
Drawn by: JG  
Print Date: 9/29/2022  
QC: XX | PE: JP  
File: Driveway Plan and Profile

Project Milestone: PRELIMINARY, NOT FOR CONSTRUCTION

Driveway Plan and Profile





**SGM**  
 118 West Sixth Street, Suite 200  
 Glenwood Springs, CO 81601  
 970.945.1004  
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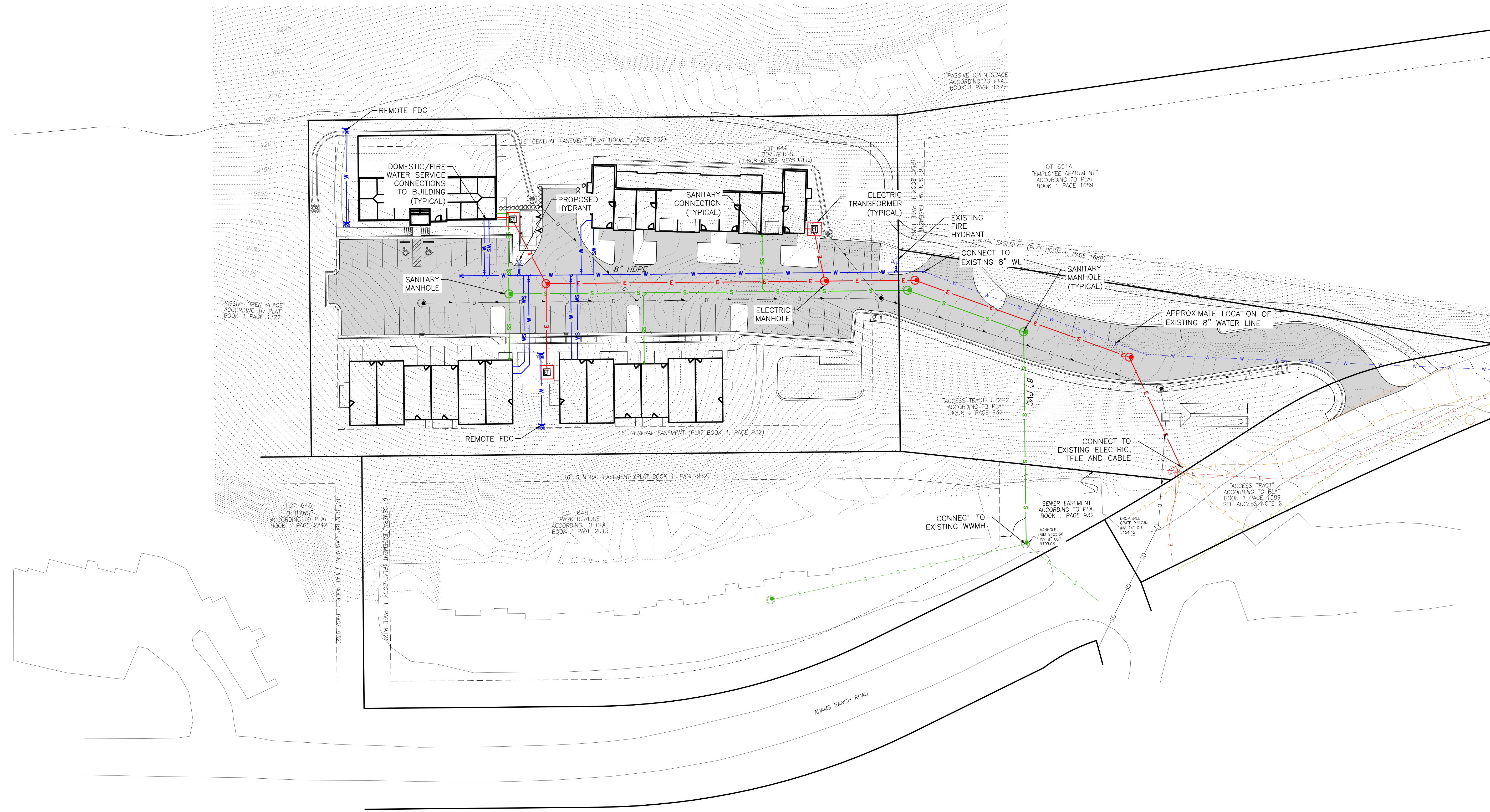
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**Mountain Village**

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Job No. 2022-241.001  
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 QC: XX | PE: JP  
 File: Utility Plan

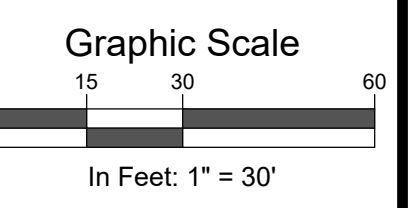
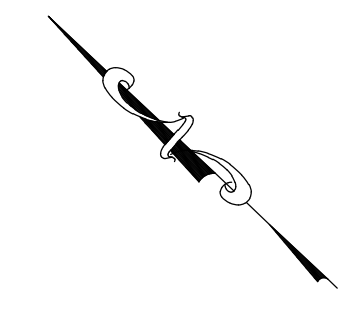
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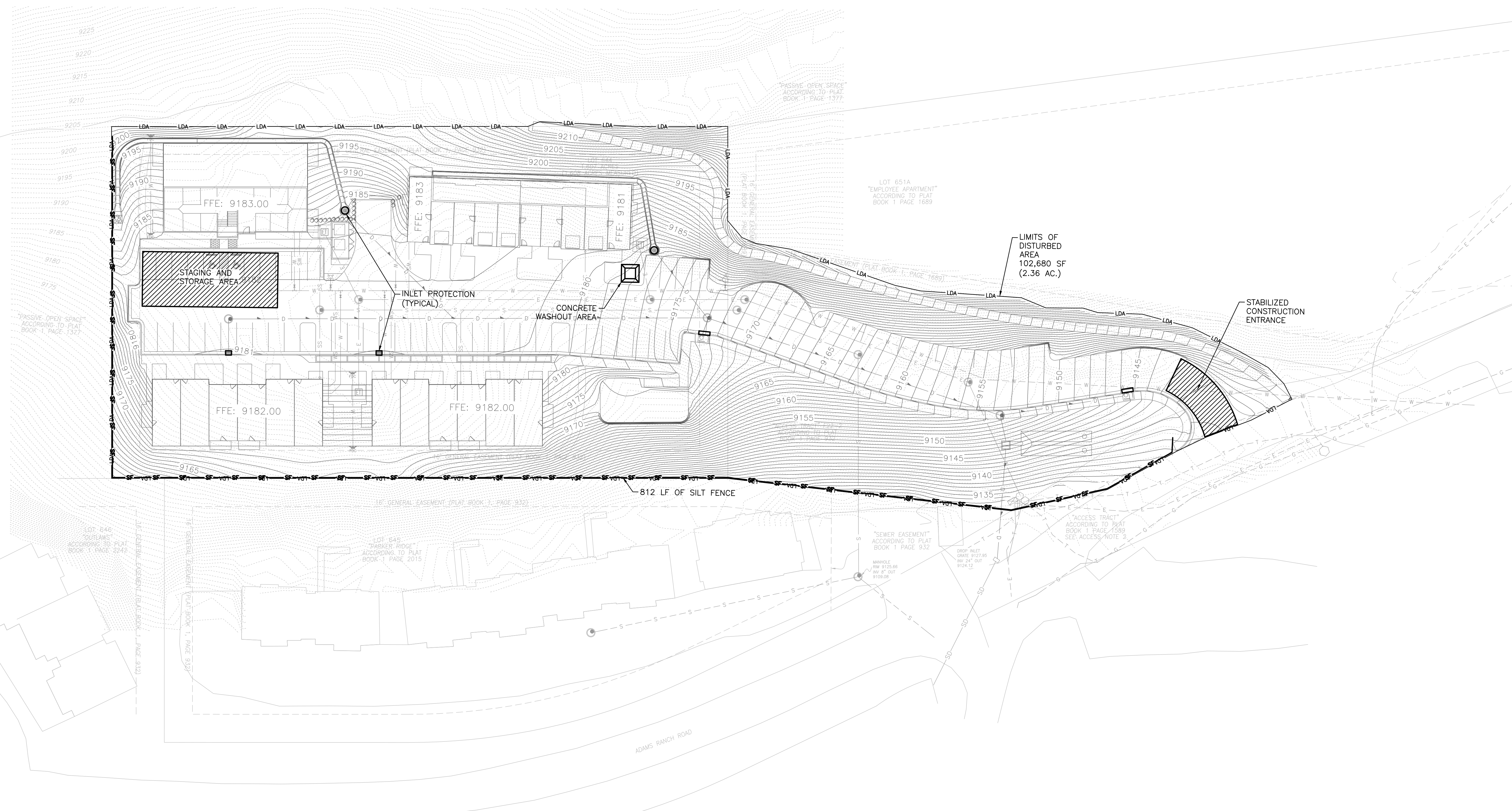
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 Glenwood Springs, CO 81601  
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**Mountain Village**



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3			

Job No. 2022-241.001  
 Drawn by: JC  
 Print Date: 9/15/2022  
 QC: XX | PE: JP  
 File: E&S Plan

Title:  
**Erosion and Sedimentation Control Plan**

Dwg No.  
**1**  
 Of: 2

Project Milestone: PRELIMINARY NOT FOR CONSTRUCTION







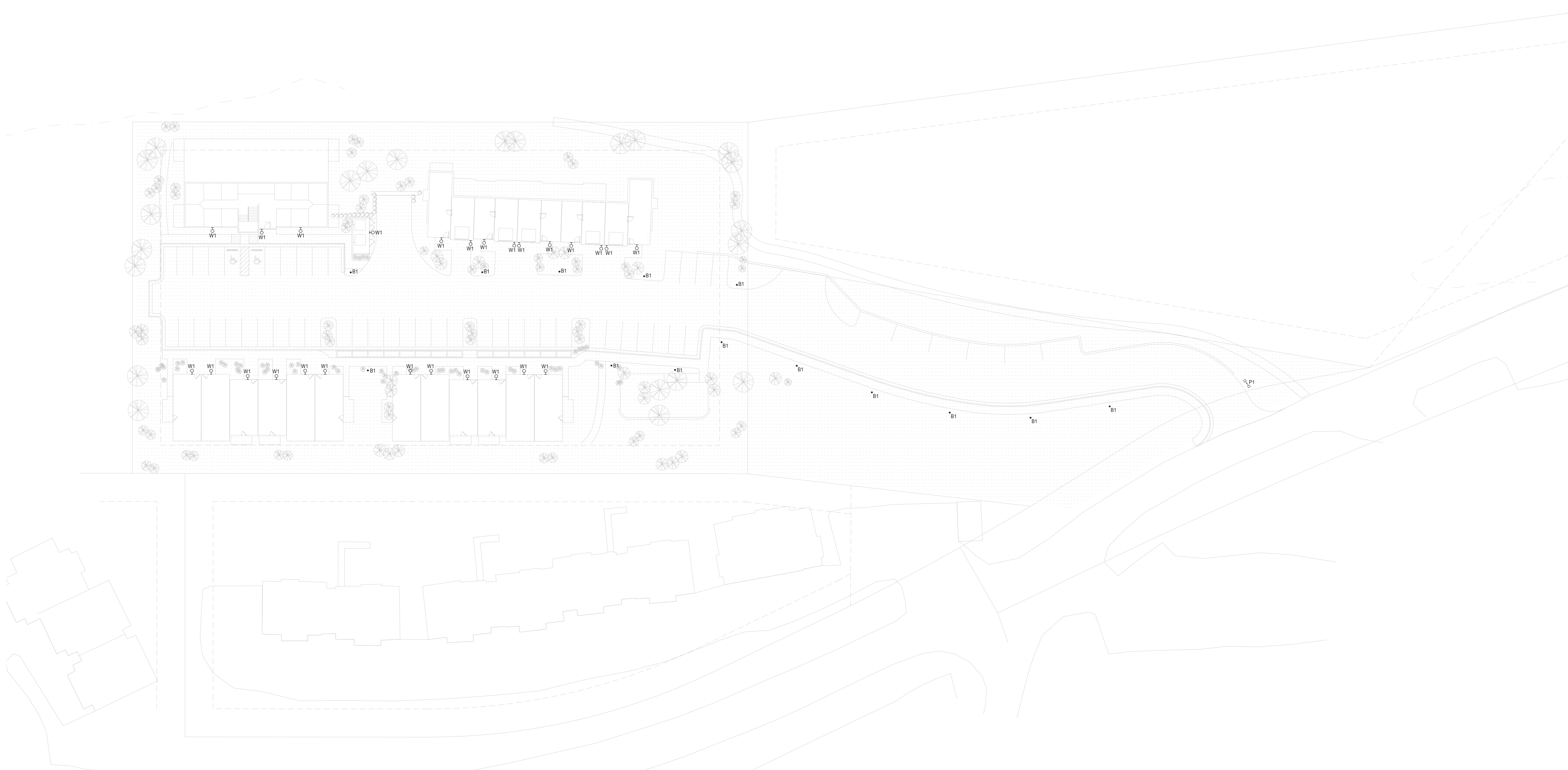
## LIGHT FIXTURE SCHEDULE

- GENERAL NOTES:**
- A. CATALOG NUMBER INDICATES BASIC FIXTURE TYPE REQUIRED FOR THIS PROJECT AND MAY NOT BE COMPLETE. VERIFY WITH MANUFACTURER TO INCLUDE ALL OPTIONS AND ACCESSORIES REQUIRED FOR THIS INSTALLATION.
  - B. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FIXTURE LOCATIONS, MOUNTING, AND REQUIREMENTS WITH ARCHITECTURAL PLANS, SECTIONS, ELEVATIONS, AND REFLECTED CEILING PLANS PRIOR TO ORDERING FIXTURES.
  - C. ALL FINISHES SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO ORDERING FIXTURES. FINISH SELECTION TO BE FROM MANUFACTURER'S STANDARD FINISHES UNLESS NOTED OTHERWISE. FINISHES SHALL BE VERIFIED AT THE TIME OF SHOP DRAWING SUBMITTAL.
  - D. SEE SPECIFICATIONS FOR EXTRA MATERIALS REQUIRED FOR LIGHT FIXTURES.
  - E. SAMPLES OF ALL FIXTURES SHALL BE AVAILABLE AT THE ENGINEER'S REQUEST DURING SHOP DRAWING REVIEW.
  - F. COORDINATE THE COMPATIBILITY OF DIMMING WITH SPECIFIED CONTROLS. DIMMING SHALL BE ACCOMPLISHED WITH NO VISIBLE FLICKER.

- FIXTURE NOTES:**
- 1. COORDINATE POLE HEIGHT AND CONCRETE BASE. REFER TO POLE BASE DETAILS.

TYPE	DESCRIPTION	VOLT	LAMPS	VA /	MANUFACTURER	CATALOG NUMBER	NOTES
			TYPE	FIXT.			
B1	BOLLARD, CAST ALUMINUM ALLOY, STAINLESS STEEL HARDWARE, SOLID RINGS, STRAIGHT HOOD, WET LOCATION, FINISH BY ARCHITECT. LOCATE A MINIMUM OF 2'-0" FROM EDGE OF SIDEWALK/CURB.	UNIV	LED, 505 LUMENS, 3000K, 70 CRI	25	CURRENT	UCB-SRSTR12LED-BWXX	
P1	PEDESTRIAN POLE, TWIN ARM, STEEL FLUTED TAPERED POLE, STRAIGHT HOOD, 36 LED, 280mA, TYPE III DISTRIBUTION, DIFFUSED LENS, INTEGRAL PHOTOSENSOR, WET LOCATION, FINISH BY ARCHITECT. MH = 12'-0" UNLESS NOTED OTHERWISE.	UNIV	LED, 2943 LUMENS, 3000K, 70 CRI	32	CURRENT	(2) UCA25TR36_2603K73DLXP/PCA-CUNV; POLE: WSCO W3202F14	
W1	SCONCE, METAL CONSTRUCTION, TWO-TONE METAL FINISH, BLACK EXTERIOR AND COPPER INTERIOR, ADJUSTABLE CCT, WET LOCATION, MH = 7'-0" UNLESS NOTED OTHERWISE.	120V	LED, 630 LUMENS, 3000K, 90 CRI	12	AFX	GUSW1010LAJENK	

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
SITE	illuminance	Fc	0.31	12.7	0.0



**TRIUMPH WEST**

105 EDWARDS VILLAGE BLVD  
EDWARDS, CO 81632  
P.O. BOX 2444  
WWW.TRIUMPHWEST.COM

**emanuelson-podas**  
consulting engineers

Emanuelson-Podas, Inc.  
7700 Blue Lake Road  
Edwards, CO 81632  
(970) 526-0521 | www.epinc.com

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Name: \_\_\_\_\_ Reg. No.: \_\_\_\_\_

**MV NEIGHBORHOOD**

LOT 644 ADAMS RANCH ROAD,  
MOUNTAIN VILLAGE, COLORADO

SHEET TITLE	
SITE PLAN PHOTOMETRICS	
PROJECT #	DATE
4700.0000	10/14/2022
DRAWN BY	CHECKED BY
SAC	JJA

SHEET #

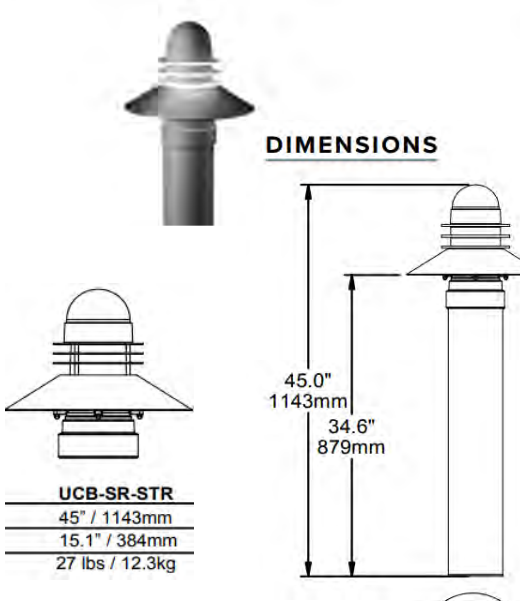
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10/18/2022 9:23:15 AM



DATE: LOCATION: TYPE: B1 PROJECT: CATALOG #:

### Universe® Bollard



**FEATURES**

- Modular system offers two hood options for customization to complement site design
- Gives refractor lens, IES Type 5 distribution
- 3000K, 4000K, 5000K CCT

**INSTALLATION (CONTINUED)**

- Luminaires shall have tool-less service access to the gear compartment. Driver and surge suppressor shall be mounted to a pre-wired tray with quick disconnects that may be removed from the gear compartment
- Luminaires shall have integral surge protection that shall be UL recognized and have a surge current rating of 10,000 Amps using the industry standard 820000e-wave surge rating of 372J
- Drivers shall be UL recognized
- Luminaires not configured with an optional control system shall be provided with 0-10V purple and pink dimming leads

**KEY DATA**

Lumen Range	100-3270
Wattage Range	25-43
Efficiency Range (LPW)	85-78
Weight	27 lb / 12 kg

Current® currentlighting.com/sal

DATE: LOCATION: TYPE: B1 PROJECT: CATALOG #:

### Universe® Collection Medium LED – UCM

**FEATURES**

- DLC Premium and STD Qualified
- Up to 1000' wireless communication
- Motion sensing up to 40' mounting height
- Superior BUG ratings
- Types L, R, III, IV, V and custom distributions
- IP66 housing
- 20kV/1KA surge suppression
- 4500' mm Amps: 3000K, 4000K, and 5000K CCT
- ANSI C136.31-2010 SLA7 Arm 3G Rated
- Custom lumen and CCT packages
- Integral thermal protection
- 0-10V dimmable
- 15 standard powder coat finishes
- Upgrade Kits

**INSTALLATION (CONTINUED)**

- Luminaires shall be listed with ETL for outdoor, wet location use, UL 918, UL 8750 and Canadian CSA 360, C22.2 40.250
- IDA approved, 3000K and warmer CCTs only
- 5 year warranty

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**TRIUMPH WEST**  
105 EDWARDS VILLAGE BLVD  
EDWARDS, CO 81632  
#C201  
P.O. BOX 2444  
WWW.TRIUMPHWEST.COM

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consulting engineers  
Emanuelson-Podas, Inc.  
7700 Bank Lake Road  
Edwards, CO 81632  
(970) 925-0501 | www.ep.com

I hereby certify that this plan, specification, or contract was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
Name: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_  
Reg. No. \_\_\_\_\_

**MV NEIGHBORHOOD**  
LOT 644 ADAMS RANCH ROAD,  
MOUNTAIN VILLAGE, COLORADO

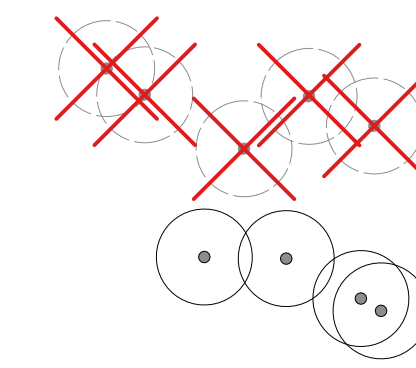
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PROJECT #  
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SAC  
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10/14/2022  
CHECKED BY:  
JJA

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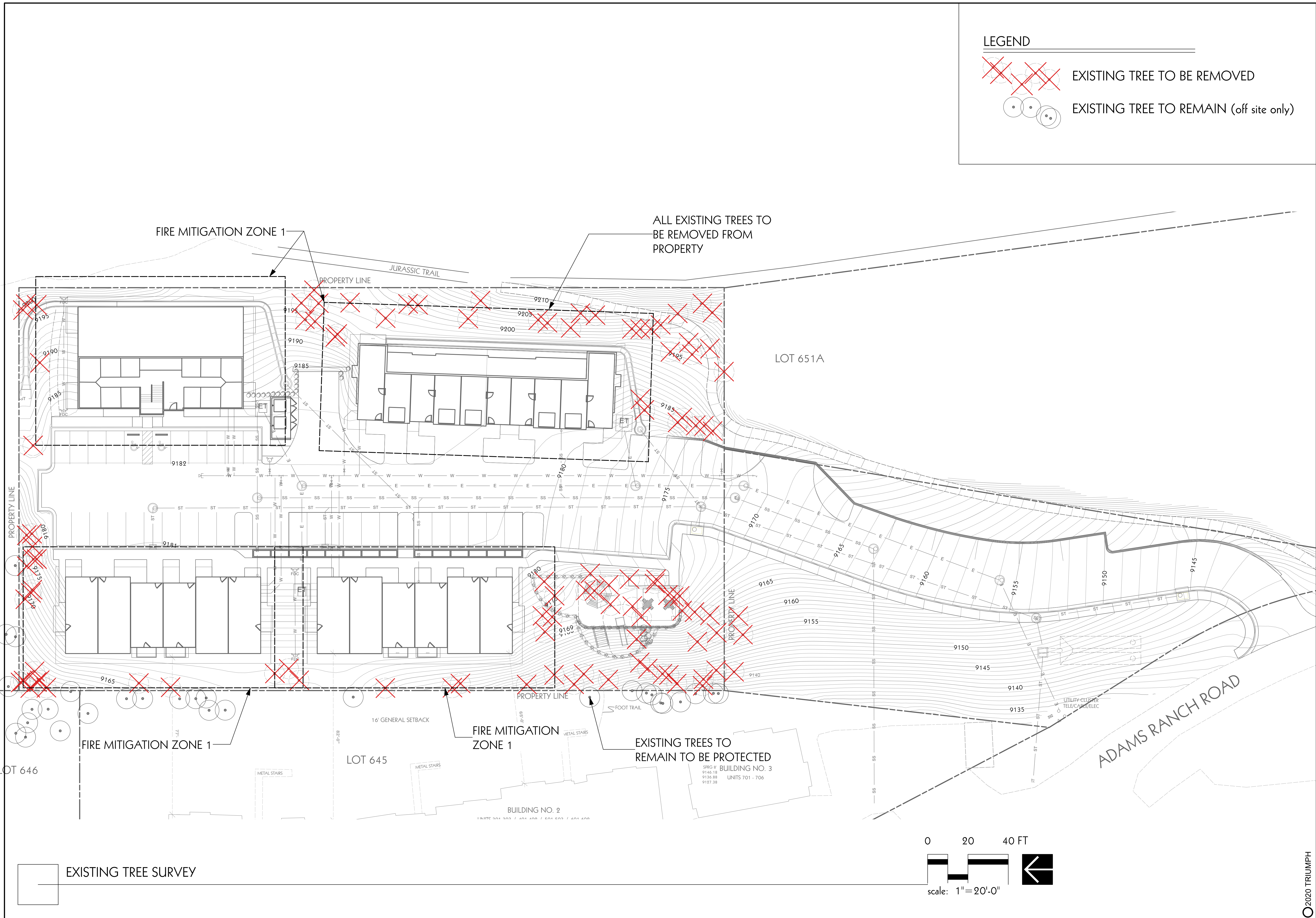


LEGEND



EXISTING TREE TO BE REMOVED

EXISTING TREE TO REMAIN (off site only)



**TRIUMPH WEST**  
 105 EDWARDS VILLAGE BLVD.  
 #C201  
 EDWARDS, CO 81632  
 www.triumphview.com

**MV NEIGHBORHOOD LOT 644**  
 ADAMS RANCH ROAD  
 MOUNTAIN VILLAGE, COLORADO

Revisions:

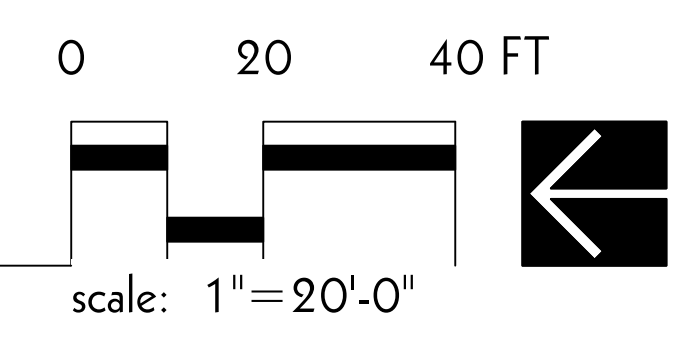
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Date:	10/14/2022
Project No.:	
Drawn by:	OSLA
Checked by:	SG

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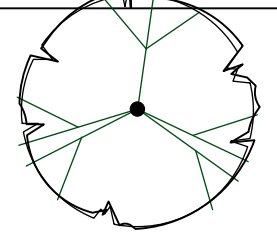
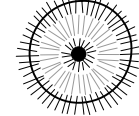
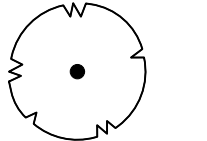
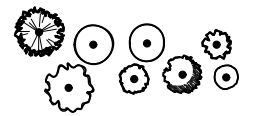



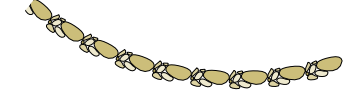
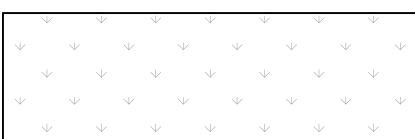
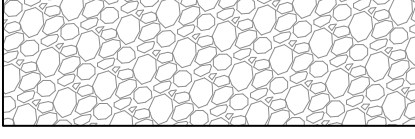
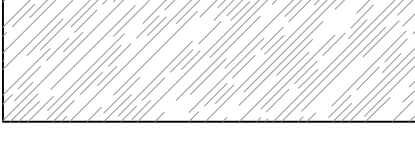
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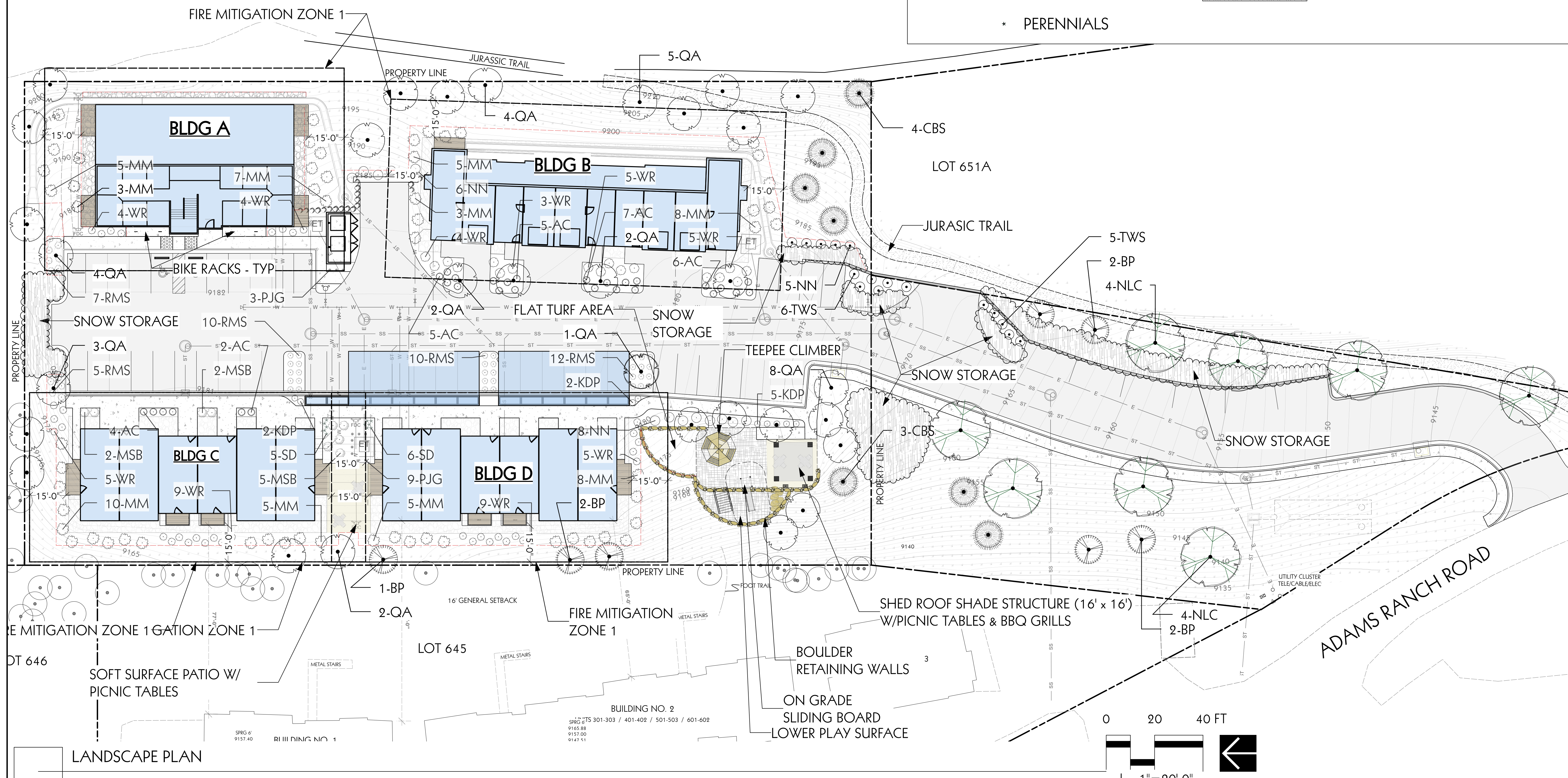


EXISTING TREE SURVEY



**LEGEND**

-  SHADE TREES
-  EVERGREEN TREES
-  ASPEN TREES
-  SHRUBS
-  ORNAMENTAL GRASSES
-  PERENNIALS
-  ROLL TOP PERFORATED STEEL EDGER
-  TERRACE BOULDER WALLS
-  NATIVE SEED MIX
-  1.5" ROCK MULCH
-  PLAYGROUND SURFACE



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 105 EDWARDS VILLAGE BLVD.  
 #C201  
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 www.triumphview.com

**MV NEIGHBORHOOD LOT 644**  
 ADAMS RANCH ROAD  
 MOUNTAIN RANCH ROAD  
 MOUNTAIN VILLAGE, COLORADO

Revisions:

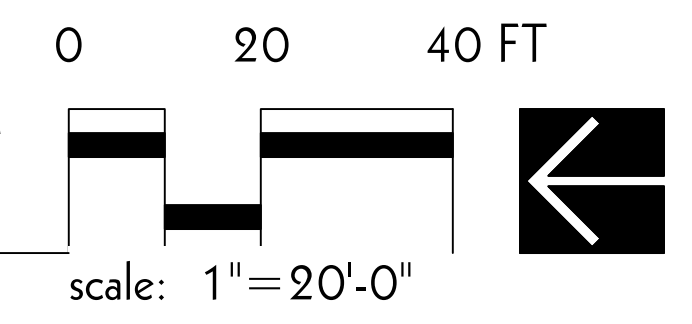
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Stamp

Date:	10/14/2022
Project No.:	OSLA
Drawn by:	OSLA
Checked by:	SG

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Sheet **L 1.0**



LANDSCAPE PLAN

DT 646

SPRG 9 9157.40 RI III DINING NO. 1

BUILDING NO. 2  
 SPRG 6 TS 301-303 / 401-402 / 501-503 / 601-602  
 9165.88  
 9157.00  
 9147.51



**PLANT LIST 10/06/22**

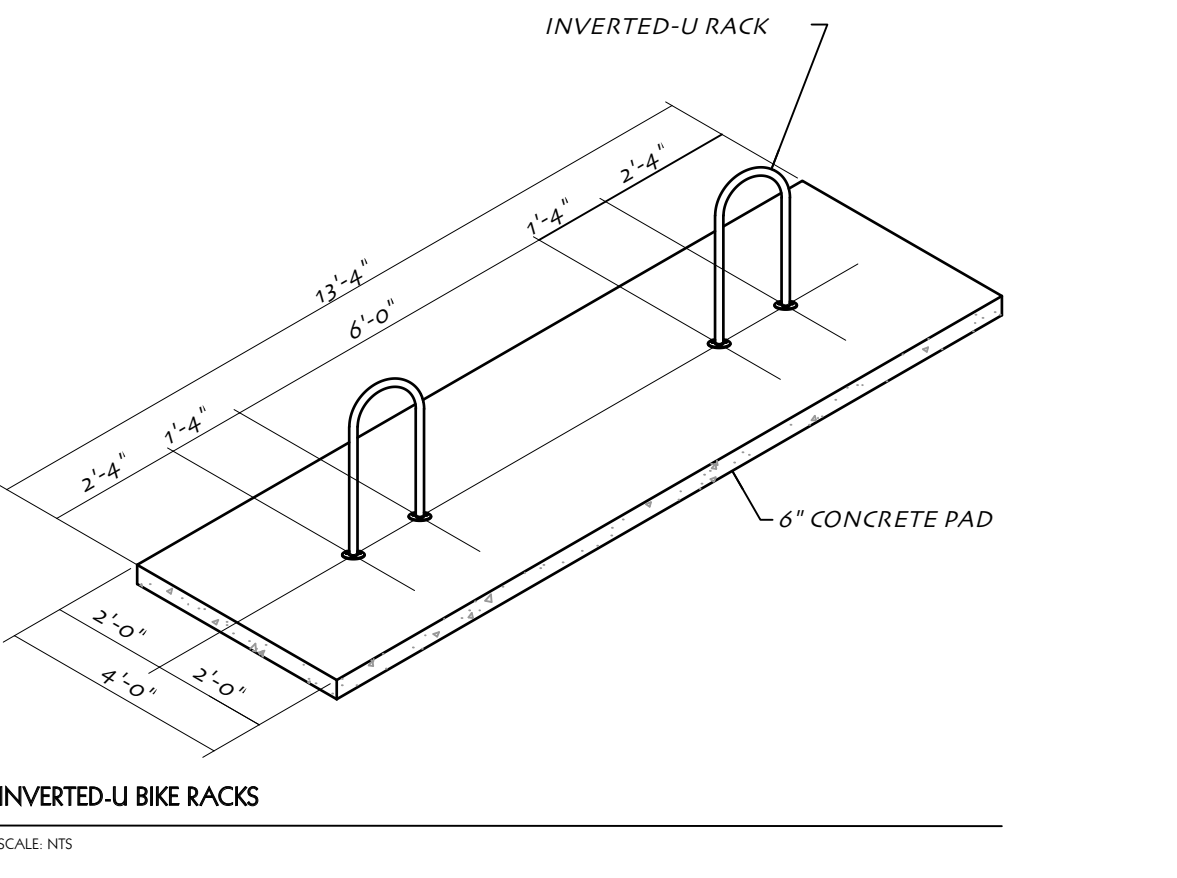
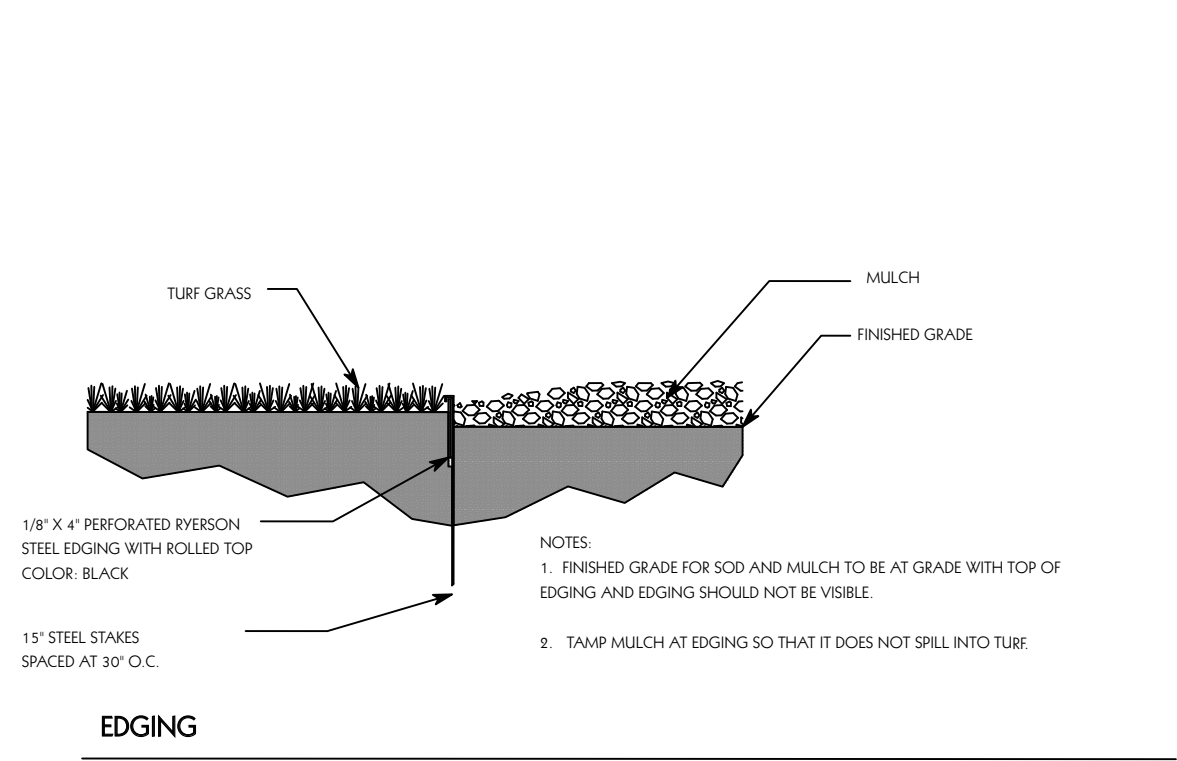
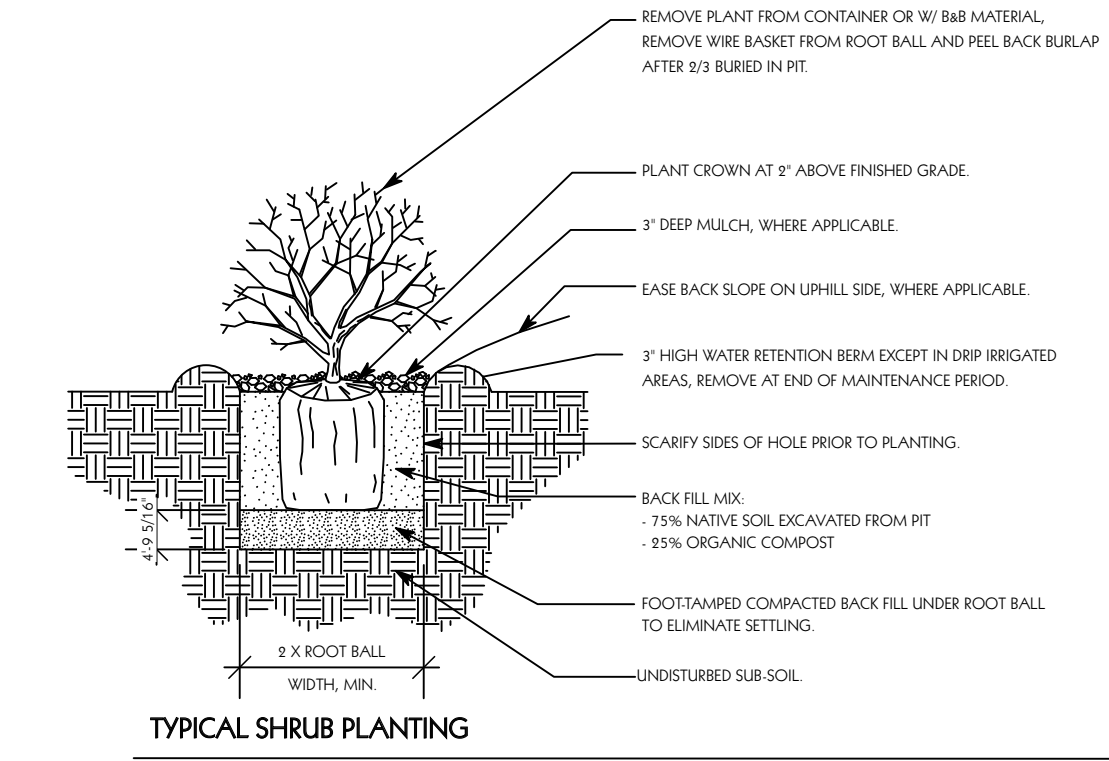
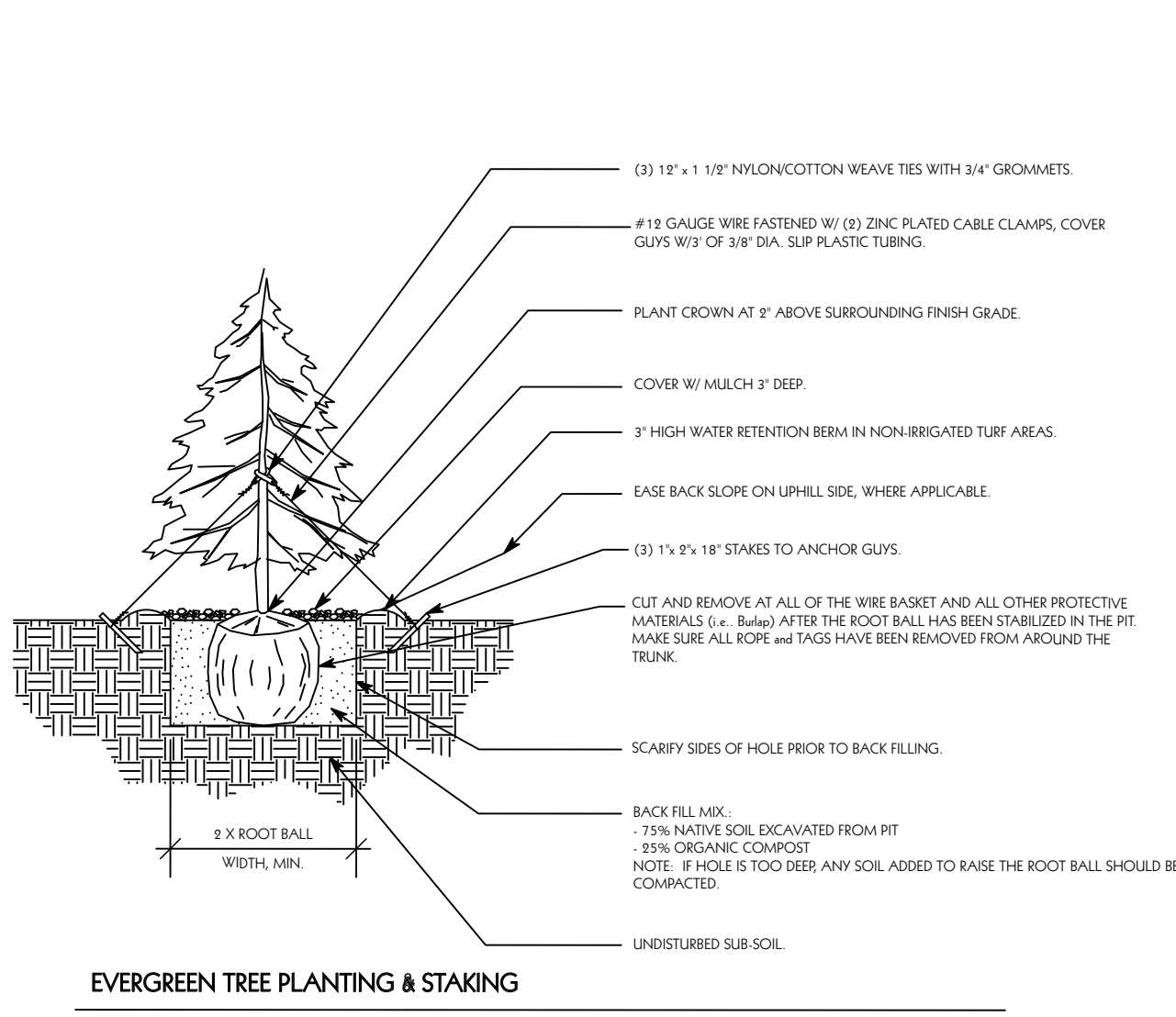
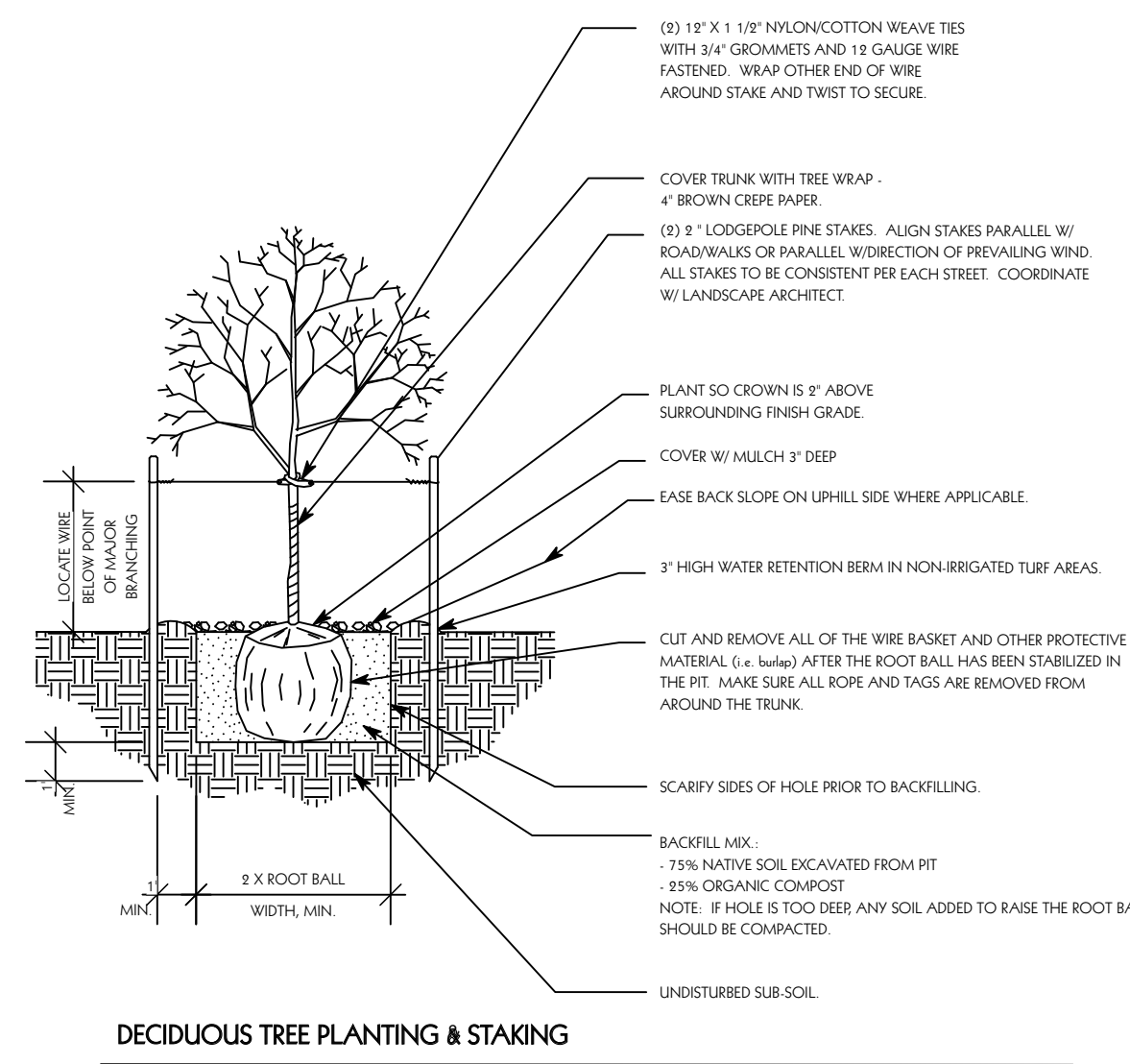
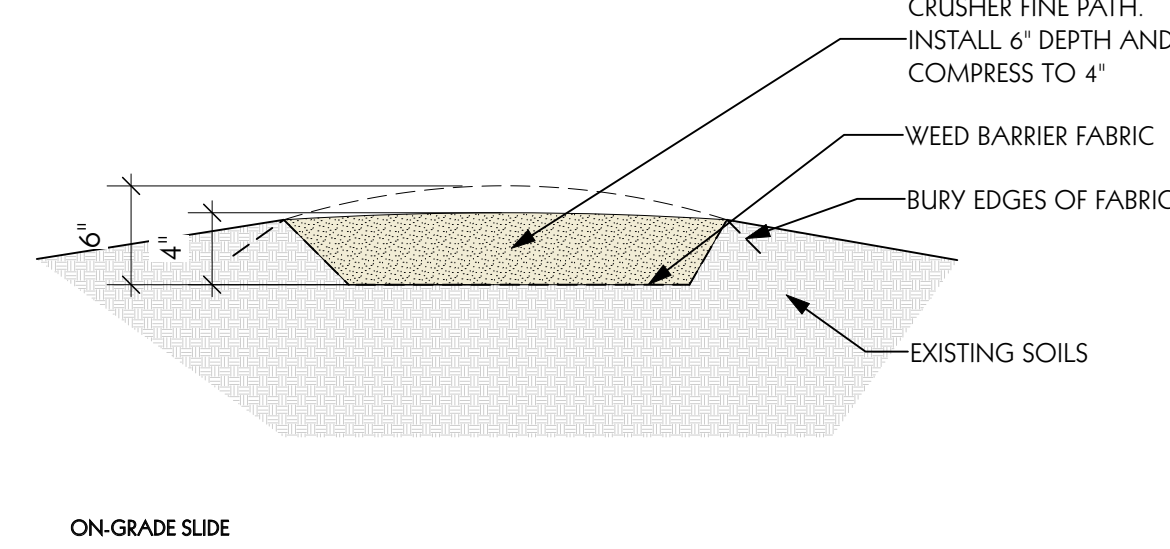
QTY	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	O.C. SPACING
<b>SHADE TREES:</b>					
NLC	8	Populus agustifolia	Narrowleaf Cottonwood	2" clp.	as shown
<b>TOTAL</b>	<b>8</b>				
<b>EVERGREEN TREES:</b>					
BP	7	Pinus aristata	Bristlecone Pine	6' ht.	as shown
CBS	7	Picea pungens 'Baby Blue Eyes'	Baby Blue Eyes Spruce	6' ht.	as shown
<b>TOTAL</b>	<b>14</b>				
<b>ORNAMENTAL TREES:</b>					
QA	31	Populus tremuloides	Quaking Aspen	1.5" clp.	as shown
<b>TOTAL</b>	<b>31</b>				
<b>SHRUBS:</b>					
AC	29	Ribes alpinum	Alpine Currant	5 gal.	4' o.c.
KDP	9	Potentilla fruticosa 'Kathryn Dykes'	Kathryn Dykes Potentilla	5 gal.	5' o.c.
MM	59	Cercocarpus montanus	Common Mountain Mahogany	5 gal.	8' o.c.
MSB	9	Symphoricarpos oreophilus	Mountain Snowberry	5 gal.	4' o.c.
NN	19	Physocarpus monogynus	Native Ninebark	5 gal.	4' o.c.
RMS	44	Rhus glabra cismontana	Rocky Mountain Sumac	5 gal.	4' o.c.
TWS	11	Artemisia tridentata	Tall Western Sagebrush	5 gal.	4' o.c.
WR	53	Rosa woodsii	Wild Rose	5 gal.	3' o.c.
<b>TOTAL</b>	<b>233</b>				
<b>ORNAMENTAL GRASSES &amp; PERENNIALS</b>					
SD	11	Leucanthemum x superbum 'Becky'	Shasta Daisy	1 gal.	36" o.c.
PJG	12	Koeleria macrantha	Prairie Junegrass	1 gal.	36" o.c.
<b>TOTAL</b>	<b>23</b>				

**MULTI-COLOR HIGH ALTITUDE MIX**

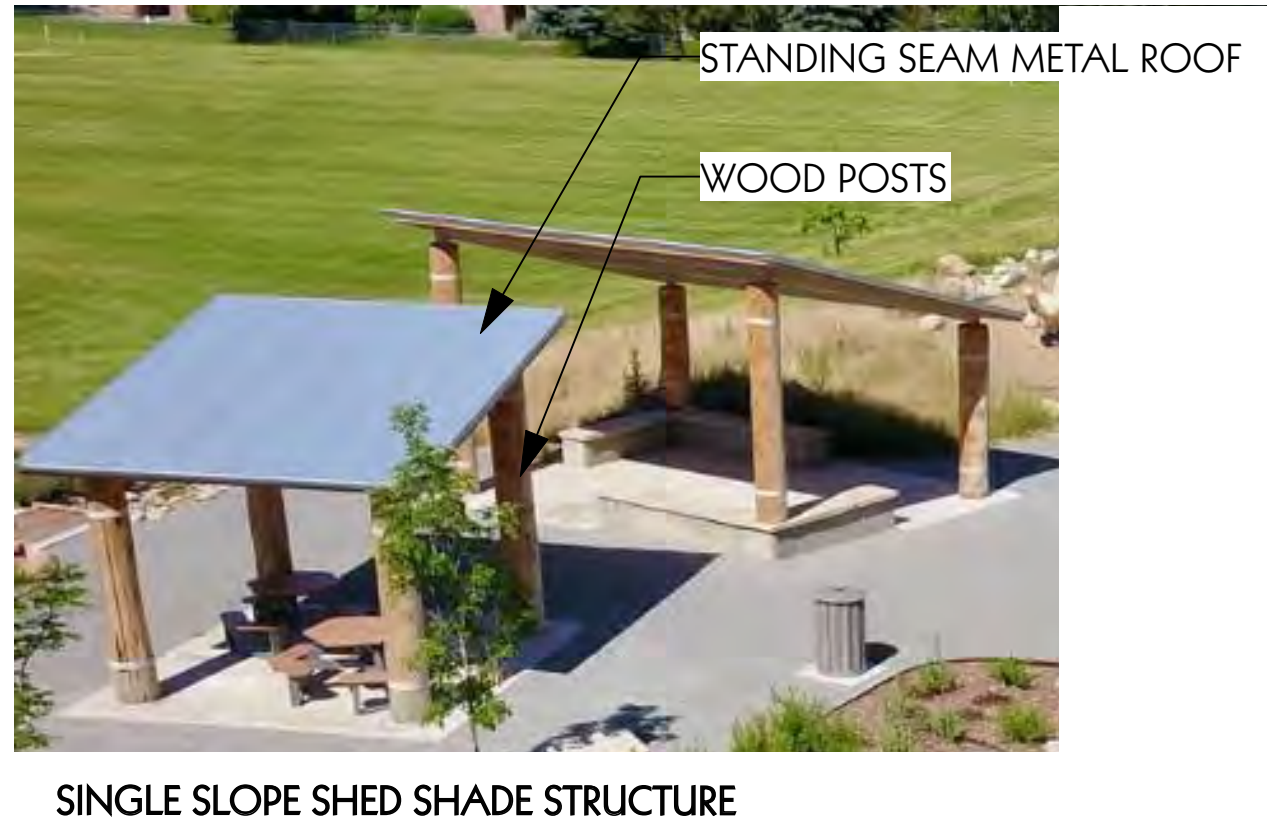
SPECIES	% MIX
Ephraim Crested Wheatgrass	30
Sheep Fescue	20
Perennial Rye	15
Chewings Fescue	15
Canada Bluegrass	10
Rocky Mountain Wildflower Mix	5

**Seeding Rate:**

<b>New Seeding:</b>	
Dryland:	20-25 lbs/ac
Overseed:	10-15 lbs/ac



- PLANT NOTES:**
- All plant material shall meet specifications of the American Association of Nurserymen (AAN) for number one grade. All trees shall be balled and burlapped or equivalent. All plant materials shall have all wire, twine or other containment materials, except for burlap, removed from trunk and root ball of the plant prior to planting. Any tree or shrub planted within sight triangles (access points to drives and roadways) should be limbed between 3.5' and 8' for clear views.
  - Trees shall not be planted closer 10 feet to any sewer or water line. Tree planting shall be coordinated with all dry utilities. Locations of all utilities shall be verified in the field prior to planting. Trees planted within sight triangles will be trimmed so no branches are below 8'.
  - Grades shall be set to allow for proper drainage away from structures. Grades shall maintain smooth profiles and be free of surface debris, bumps, and depressions.
  - Developers shall ensure that the landscape plan is coordinated with the plans done by other consultants so that the proposed grading, storm drainage, or other constructions does not conflict nor preclude installation and maintenance of landscape elements on this plan. INSTALL 20-MIL MEMBRANE PER SOILD REPORT DATED 6/21/21 SECTION 7.5 PARAGRAPH #2.
  - All shrub beds adjacent to turf areas shall be edged with roll top Perforated Steel Ryerson or approved equivalent steel edger.
  - All shrub bed areas shall be mulched with wood bark mulch to a depth of 4". Perennials and groundcover areas shall be mulched with a 3" layer of shredded bark mulch. No weed barrier in shrub beds.
  - Prior to installation of plant materials, areas that have been compacted or disturbed by construction activity shall be thoroughly loosened; organic soil amendments shall be incorporated at the rate of at least three (3) cubic yards per 1000 square feet of landscape area.
  - All landscape (plant materials and grass) will be irrigated with an automatic system according to Town of Glenwood Springs Design Specifications.
  - Contractor shall verify all material quantities prior to installation. Actual number of plant symbols shall have priority over the quantity designated.
  - All planting will comply with the Town of Telluride, Engineering Standards and specifications.
  - Contractor to provide minimum 1 year warranty.



**TRIUMPH WEST**  
105 EDWARDS VILLAGE BLVD.  
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EDWARDS, CO 81632  
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**MV NEIGHBORHOOD**  
LOT 644  
ADAMS RANCH ROAD  
MOUNTAIN RANCH ROAD  
MOUNTAIN VILLAGE, COLORADO

Revisions:

Sheet title: **LANDSCAPE NOTES & DETAILS**

Stamp: 10/14/2022

Date: 10/14/2022  
Project No:  
Drawn by: OSLA  
Checked by: SG

Sheet: **L 2.0**



September 29, 2022

Town of Mountain Village  
455 Mountain Village BLVD Suite A  
Mountain Village CO 81435

**RE: Engineering Summary Letter  
Mountain Village**

SGM Inc. is pleased to submit this Engineering Summary Letter for the proposed Mountain Village Lot 644 multi-family development project.

### Site Description

This project site consists of a 1.61-acre tract known as Lot 644, Mountain Village, Filing 22, Plat 1, PAGES 932 Thru 933 located inside the Town limits of Mountain Village on Parcel 456533422644 in San Miguel County, Colorado and the adjacent “Access Tract” F22-2 according to Plat Book 1 Page 932. The project site is located on the North side of Prospect Creek on Adams Ranch Road.

### Existing Conditions

The site is currently undeveloped with the exception of an existing gravel drive connected to Adams Ranch Road through the adjacent tract on Parcel 456534499025. Site vegetation consists of native grasses and trees with steep slopes across the site exist. Prospect creek runs south of the site.

### Proposed Conditions

Proposed development within the site consists of four (4) multi-family buildings consisting of thirteen (13) condo units and seventeen (17) townhome units. Development includes associated paving, utilities, and drainage improvements. Access will be gained off of Adams Ranch Road through the adjacent Tact F22-2. Proposed impervious cover on the site is approximately 50,208 square feet (1.153 acres). All disturbed areas within the site will be revegetated.

### Drainage

Stormwater runoff from the proposed impervious areas within the site will be collected in storm inlets and conveyed through a proposed onsite storm sewer system to an underground detention system. Onsite detention will be designed to reduce the proposed site run-off to pre-developed flows for the 25-year storm event per the Community Development Code and will discharge to an existing inlet in Adams Ranch Road where it will be conveyed to Prospect Creek. Upstream and offsite stormwater flows will be routed around the buildings using concrete channels that will connect to the proposed site storm sewer. Onsite and upstream flows being directed to the inlet will be detained to match existing flows coming from the combined area shown in the following table:



Existing Drainage Summary (On and Offsite flows being directed to Inlet)								
Drainage Area	Area		Impervious Cover		C	Tc	Rational Peak Flow (cfs)	
	acres	acres	%	min.		10yr	25 yr	
EX 1	7.600	0.000	0	0.20	7.5	4.435	5.826	

### Erosion and Sedimentation Controls

Temporary erosion control and sedimentation controls will be identified on the Erosion and Sedimentation Control plan to be utilized during construction. A vehicle tracking pad or stabilized construction entrance will be used to keep mud and dirt off the adjacent roadway. A concrete washout area will be designated to minimize any concrete wash water from leaving the site before being settled and treated. Silt fence will be installed along the downstream side of the limits of the disturbed areas to remove any sediment coming from the site until revegetation can be established. Inlet protection will be used to keep sediment and debris out of the storm sewer system during construction.

### Utilities

The site will be served by Town of Mountain Village water and sanitary sewer service. Connection to an existing 8" waterline stubbed into the adjacent Access Tract will be utilized to bring service into the site. Each building will have domestic and fire water service connections. External fire suppression will include a new hydrant and FCDs. Sanitary service will be provided by connection to an existing manhole located within a sewer easement on the adjacent tract. San Miguel Power is the electric service provider, and connection is proposed to be made to the existing electric service located in the adjacent access tract F22-2. Electric service is proposed to be underground.

Upon your receipt and review, if you have any questions, concerns, or comments, please don't hesitate to contact me.

Jevon Poston, P.E.  
Senior Engineer



**GENERAL NOTES**

1. LIVE LOADS USED IN DESIGN:
 

A. ROOF	90	PSF
B. TYPICAL UNIT	40	PSF
C. CORRIDOR, STAIRS, PUBLIC AREAS	100	PSF
D. PARTITION	15	PSF
E. RISK CATEGORY	II	
SEISMIC FACTOR IE	1.0	
SNOW FACTOR IS	1.0	
  - F. WIND
 

WIND SPEED, $V_{ult}$	115 MPH (ULTIMATE)	
EXPOSURE	B	
INTERNAL PRESSURE COEFFICIENT (Gcpi)	+/- 0.18	
  - WIND PRESSURE FOR COMPONENTS AND CLADDING:
 

ZONE 1, ROOF (TYPICAL)	-44.2 PSF	
ZONE 2, ROOF (EDGES, RIDGES, HIPs)	-69.4 PSF	
ZONE 3, ROOF (CORNERS)	-94.6 PSF	
ZONE 4, WALL (TYPICAL)	30.2/-30.2 PSF	
ZONE 5, WALL (CORNERS)	30.2/-55.4 PSF	
  - C & C NOTES:
    1. THE PRESSURES LISTED ARE IN ACCORDANCE IBC AND ASCE 7 AND THE DESIGN FORCES USED BY THE SUBCONTRACTOR FOR A SPECIFIC APPLICATION ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR.
    2. WIND PRESSURES ARE ULTIMATE DESIGN LEVEL.
    3. PRESSURES INDICATED ARE BASED ON A 10 SQUARE FEET EFFECTIVE WIND AREA.
    4. REFERENCE ASCE 7 FOR ZONE DEFINITIONS AND EXTENT OF ZONES.
    5. SUBMIT DESIGN CALCULATIONS PREPARED BY COLORADO LICENSED PROFESSIONAL ENGINEER FOR ANY DESIRED MODIFICATION TO THE STATED PRESSURES.
  - H. SNOW
 

55 PSF 38 PSF GROUND SNOW LOAD $P_g$ FLAT ROOF SNOW LOAD $P_f$	
SNOW EXPOSURE FACTOR $C_e$ 1.0	
THERMAL FACTOR $C_t$ 1.0	
  - I. SEISMIC
 

D B 0.181 g 0.055 g 0.201 g 0.087 g SOIL SITE CLASS DESIGN CATEGORY SS S1 SDS S01	
---	--
  - BASIC SEISMIC FORCE RESISTING SYSTEM IS LIGHT FRAMED WOOD WALLS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE
  - SEISMIC RESPONSE COEFFICIENTS,  $R$  0.0309
  - REDUCTION MODIFICATION FACTOR,  $C_d$  6.5
  - ANALYSIS PROCEDURE USED EQUIVALENT LATERAL FORCE
  - DESIGN BASE SHEAR,  $V$
  - J. LIVE LOADS ARE REDUCED PER CODE IF APPLICABLE.
  - K. CODE USED IN DESIGN: INTERNATIONAL BUILDING CODE, 2018 EDITION.
2. DEFERRED SUBMITTAL
  - A. DEFERRED SUBMITTALS PER SECTION 107.3.4.1 SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AND THE DESIGN PROFESSIONALS AND REVIEWED PRIOR TO INSTALLATION.
  - B. DEFERRED SUBMITTALS ARE:
    1. PREFABRICATED ROOF TRUSSES
    2. PREFABRICATED FLOOR TRUSSES
    3. PREFABRICATED STEEL STAIRS
    4. STAIRS, HANDRAILS AND GUARDRAILS
    5. PREFABRICATED STEEL AWNINGS
  - C. ALL DEFERRED SUBMITTALS SHALL BEAR THE STAMP AND SIGNATURE OF THE LICENSED PROFESSIONAL ENGINEER RESPONSIBLE FOR THE PREPARATION OF THESE DOCUMENTS.
3. TESTING, INSPECTIONS AND OBSERVATIONS:
    - A. THE STRUCTURAL ENGINEER DOES NOT PROVIDE INSPECTIONS OF CONSTRUCTION. STRUCTURAL ENGINEER MAY MAKE PERIODIC OBSERVATIONS OF THE CONSTRUCTION. SUCH OBSERVATIONS SHALL NOT REPLACE REQUIRED INSPECTIONS BY THE GOVERNING AUTHORITIES OR SERVE AS "SPECIAL INSPECTIONS" AS MAY BE REQUIRED BY CHAPTER 17 OF THE INTERNATIONAL BUILDING CODE.
    - B. THE FOLLOWING WORK SHALL BE INSPECTED BY THE SPECIAL INSPECTOR UNLESS SPECIFICALLY WAIVED BY THE BUILDING OFFICIAL.
      1. SOIL PREPARATION
        - a. EARTHWORK EXCAVATION, PLACEMENT AND COMPACTION OF FILL AND IN-PLACE DRY DENSITY OF THE COMPACTED FILL FOR CONFORMANCE WITH THE APPROVED REPORT.
      2. CONCRETE CONSTRUCTION
        - a. PERIODIC INSPECTION OF REINFORCING STEEL, INCLUDING PRESTRESSING TENDONS AND PLACEMENT.
        - b. CONTINUOUS INSPECTION OF PLACEMENT OF SHEAR REINFORCEMENT.
        - c. PERIODIC VERIFICATION OF WELDABILITY OF REINFORCING STEEL OTHER THAN ASTM A706.
        - d. CONTINUOUS INSPECTION OF REINFORCING STEEL-RESISTING FLEXURAL AND AXIAL FORCES IN INTERMEDIATE AND END MOMENT FRAMES, AND BOUNDARY ELEMENTS OF SPECIAL REINFORCED CONCRETE SHEAR WALLS AND SHEAR REINFORCEMENT.
        - e. CONTINUOUS INSPECTION OF BOLTS TO BE INSTALLED IN CONCRETE PRIOR TO AND DURING PLACEMENT OF CONCRETE.
        - f. PERIODIC VERIFICATION OF USE OF REQUIRED DESIGN MIX.
        - g. CONTINUOUS INSPECTION AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS AND DETERMINE THE TEMPERATURE OF THE CONCRETE.
        - h. CONTINUOUS INSPECTION OF CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.
        - i. PERIODIC INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.
        - j. CONTINUOUS INSPECTION OF APPLICATION OF PRESTRESS FORCES.
        - k. CONTINUOUS INSPECTION OF GROUTING OF BONDED PRESTRESSING TENDONS IN THE SEISMIC-FORCE-RESISTING SYSTEM.
        - l. PERIODIC INSPECTION OF THE ERECTION OF PRECAST CONCRETE MEMBERS.
        - m. PERIODIC VERIFICATION OF IN-SITU CONCRETE STRENGTH PRIOR TO STRESSING OF TENDONS IN POST TENSIONED CONCRETE AND PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS.
      3. WOOD CONSTRUCTION
        - a. HIGH-LOAD DIAPHRAGMS USING VALUES FROM TABLE 2306.2(2) SHALL BE INSPECTED TO ASCERTAIN WHETHER THE SHEATHING IS OF THE GRADE AND THICKNESS SHOWN ON THE APPROVED BUILDING PLANS AND THAT THE NOMINAL SIZE OF FRAMING MEMBERS AT ADJOINING PANEL EDGES, THE NAIL OR STAPLE DIAMETER AND LENGTH, THE NUMBER OF FASTENER LINES AND THAT THE SPACING BETWEEN FASTENERS IN EACH LINE AND AT EDGE MARGINS AGREES WITH THE APPROVED BUILDING PLANS.
  4. FOUNDATIONS
    - A. MAXIMUM SOIL DESIGN PRESSURE 3000 PSF
    - B. CONTRACTOR TO FOLLOW ALL RECOMMENDATIONS IN SOILS REPORT NO. 25215327 BY TERRACON DATED JANUARY 10, 2022.
    - C. ALL FOOTING BEARING ELEVATIONS ARE ASSUMED. EXACT BEARING ELEVATIONS SHALL BE VERIFIED IN THE FIELD WITH ACTUAL CONDITIONS BY CONTRACTOR WITH APPROVAL OF SOILS ENGINEER AND ALL BOTTOMS OF FOOTINGS SHALL BE A MINIMUM OF 48" BELOW EXTERIOR GRADE.
    - D. ALL FOOTINGS ARE TO BE PLACED ON FIRM, UNDISTURBED, NATURAL SOIL OR PROPERLY COMPACTED BACKFILL APPROVED BY THE SOILS ENGINEER. BACKFILL SHALL BE COMPACTED TO 95% (MINIMUM) MODIFIED PROCTOR DENSITY PER ASTM D1557 UNLESS OTHERWISE RECOMMENDED IN THE SOILS REPORT. IF SOFT SPOTS ARE ENCOUNTERED REMOVE SOIL AND RECOMPACT WITH APPROVED FILL (RE: SOIL REPORT FOR DESCRIPTION OF BEARING SOIL).
    - E. CONTRACTOR SHALL BACKFILL EQUALLY ON EACH SIDE OF FOUNDATION WALLS IN 12 INCH MAXIMUM VERTICAL LIFTS OR AS RECOMMENDED IN THE SOILS REPORT. REFER TO SOILS REPORT FOR BACKFILL MATERIAL.

- F. NO BACKFILLING SHALL BE PLACED AGAINST LOWER LEVEL WALLS UNTIL THE LOWER LEVEL FLOOR AND MAIN LEVEL FLOOR ARE IN PLACE AND PROPERLY ANCHORED. CONCRETE SLABS SHALL BE PROPERLY CURED.
- G. CONTRACTOR TO PROVIDE, AT HIS EXPENSE, FIELD DENSITY TESTS ON COMPACTED FILL UNDER FOOTINGS AND INTERIOR SLABS-ON-GRADE.
- H. NOTIFY SOILS ENGINEER WHEN EXCAVATION IS COMPLETED SO THAT CONDITIONS MAY BE INSPECTED PRIOR TO PLACEMENT OF ANY FILL OR CONCRETE.
- I. FOR SOIL DRAINAGE REQUIREMENTS REFER TO SOILS REPORT AND CIVIL DRAWINGS.
5. POST-TENSIONED SLAB ON GRADE
  - A. THE SLAB ON GRADE SELECTED BY THE OWNER AT THE GROUND FLOOR LEVEL OF THIS BUILDING HAS SOME RISK OF MOVEMENT. THE SLAB OPTION CHOSEN AS PROVIDING SUITABLE PERFORMANCE AT A REASONABLE COST REQUIRES 3 FEET OF OVER-EXCAVATED FILL TO BE PLACED AT NON-POST TENSIONED SLAB ON GRADE LOCATIONS. REFERENCE THE PROJECT SOILS REPORT FOR SPECIFIC REQUIREMENTS AT POST TENSIONED SLAB ON GRADE.
  - B. THE PREPARATION OF THE SUBGRADE FOR THE SLAB ON GRADE SHALL BE IN STRICT ACCORDANCE WITH THE PROJECT SOILS REPORT REFERENCED ABOVE. THE CONTRACTOR SHALL DIRECT QUESTIONS REGARDING THE SUBGRADE PREPARATION REQUIREMENTS TO THE GEOTECHNICAL ENGINEER.
  - C. POST-TENSIONED TENDON LAYOUT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE PTI "POST-TENSIONING MANUAL" AND PTI DC20.9. POST-TENSION SLABS-ON-GRADE SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF PTI DC10.1, PTI DC10.5 AND PTI M10.6.
  - D. TENDONS FOR POST-TENSIONING SHALL BE UNCOATED SEVEN WIRE STRESS RELIEVED STEEL STRAND HAVING AN ULTIMATE STRENGTH OF 270 KSI AND SHALL MEET ASTM STANDARDS A416. OIL TEMPERED WIRES SHALL NOT BE USED.
  - E. COUPLINGS SHALL BE USED ONLY AT LOCATIONS INDICATED AND/OR AS REVIEWED BY THE STRUCTURAL ENGINEER.
  - F. POST-TENSIONING OPERATION SHALL NOT COMMENCE UNTIL CONCRETE CYLINDERS, CURED UNDER JOB-SITE CONDITIONS, HAVE BEEN TESTED AND INDICATED 75% OF 28 DAY DESIGN COMPRESSIVE STRENGTH.
  - G. ALL REINFORCING AND POST-TENSIONING TENDONS SHALL BE FIRMLY SECURED TO PREVENT DISPLACEMENT DURING POURING OF CONCRETE.
  - H. ALL POST-TENSIONING TENDONS SHALL BE NO LESS THAN 4" FROM ANY OPENING.
    - I. ALL POST-TENSIONING TENDONS TO BE BENT AROUND OPENING SHALL EXTEND A MINIMUM OF 2'-0" PAST THE OPENING BEFORE STARTING CURVE.
    - J. HORIZONTAL SLOPE OF POST-TENSIONING TENDONS SHALL BE LIMITED TO 1:6.
    - K. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO VERIFY BY APPLICABLE METHODS, LOCATIONS OF TENDONS PRIOR TO INSTALLATION OF ANY SLAB PENETRATIONS GREATER THAN 3/4" DEEP.
    - L. ALL TENDON PLACEMENT MAY BE OBSERVED PRIOR TO CONCRETE POUR.
    - M. PROVIDE #4 MINIMUM BACKUP BARS AT ALL TENDON ANCHORAGES. BARS SHALL EXTEND MINIMUM 2'-0" EACH SIDE OF ANCHORAGE.
  - N. TENSILE STRESS IN PRESTRESSING TENDONS SHALL NOT EXCEED THE FOLLOWING:
    1. DUE TO TENDON JACKING FORCE 0.94 fpy BUT NOT GREATER THAN 0.85 fpy OR MAXIMUM VALUE RECOMMENDED BY MANUFACTURERS OF PRESTRESSING TENDONS OR ANCHORAGES.
    2. IMMEDIATELY AFTER PRESTRESS TRANSFER 0.82 fpy BUT NOT GREATER THAN 0.74 fpy.
    3. POST-TENSIONING TENDONS, AT ANCHORAGES AND COUPLERS IMMEDIATELY AFTER TENDON ANCHORAGE 0.70 fpy.
  - O. RECORDS OF ALL TENDON JACKING FORCES AND ELONGATION SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER. ELONGATION MEASUREMENT SHALL BE OBSERVED BY A PARTY INDEPENDENT OF THE COMPANY RESPONSIBLE FOR TENDON ELONGATION.
  - P. ALL POCKETS REQUIRED FOR TENDON ANCHORAGES SHALL BE ADEQUATELY REINFORCED SO AS NOT TO DECREASE THE STRENGTH OF THE STRUCTURE. TENDON ENDS AND ANCHORAGES SHALL BE ENCAPSULATED.
  - Q. POST-TENSIONED SLABS-ON-GRADE SHALL NOT HAVE TROWELED JOINTS OR SAWCUT JOINTS.
  - R. REFER TO PLUMBING, ELECTRICAL, MECHANICAL, AND ARCHITECTURAL DRAWINGS FOR ANY PENETRATIONS THROUGH POST-TENSIONED SLAB AND EDGE BEAMS. WRAP ALL PENETRATIONS WITH 1/2" MINIMUM COMPRESSIBLE MATERIAL.
6. CONCRETE
  - A. ALL CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE III PORTLAND CEMENT, STONE AGGREGATE AND SHALL SATISFY THE FOLLOWING REQUIREMENTS:
 

CONCRETE ITEM	FOUNDATION F'C MIX TYPE	4000	MAX W/C RATIO	---	% AIR REQ.	---
WALLS	psi STD					
GRADE BEAMS (*)	4000 psi STD	---	---			
INTERIOR SLABS ON GRADE	4000 psi STD	---	---			
POST-TENSIONING	4000 psi STD	---	---			
EXTERIOR CONCRETE (**)	4500 psi STD	---	---		6%-8%	
  - B. THE MODULUS OF ELASTICITY OF ALL CONCRETE SHALL EXCEED  $Wc1.533 \text{ Dc}^2$  (OR 57,000  $\text{Dc}^2$  NORMAL WEIGHT CONCRETE). GENERAL CONTRACTOR TO PROVIDE THE ENGINEER OF RECORD WITH MODULUS OF ELASTICITY TEST RESULT.
  - C. CALCIUM CHLORIDE SHALL NOT BE USED. FLYASH (CLASS C) SHALL NOT BE USED. POZZOLANS SHALL NOT BE USED WITHOUT PRIOR APPROVAL BY ENGINEER OF RECORD. IF APPROVED, POZZOLANS SHALL BE LIMITED TO (10) % OF CEMENT CONTENT BY WEIGHT IN ELEVATED STRUCTURAL SLABS AND (25) % IN ALL OTHER STRUCTURAL ELEMENTS. IF CONCRETE SUPPLIER PROPOSES USE OF POZZOLANS HE SHALL PROVIDE OWNER WITH LETTER INDICATING COST REDUCTION AT TIME OF BID.
  - D. SLABS, TOPPING, BEAMS AND WALLS SHALL NOT HAVE JOINTS IN A HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT THIRD POINT OF SPAN WITH VERTICAL BULKHEADS AND HORIZONTAL SHEAR KEYS UNLESS OTHERWISE SHOWN. ALL CONSTRUCTION JOINTS SHALL BE AS DETAILED OR AS REVIEWED BY THE ENGINEER.
  - E. ALL CONCRETE WORK AND REINFORCEMENT DETAILING SHALL BE IN ACCORDANCE WITH ACI BUILDING CODE 318 LATEST EDITION, UNLESS NOTED OTHERWISE. USE STANDARD HOOKS FOR DOWELS UNLESS NOTED OTHERWISE. ALL EXPOSED EDGES OF CONCRETE WORK SHALL HAVE 3/4 INCH CHAMFER.
  - F. GENERAL CONTRACTOR TO SUBMIT PROPOSED CONSTRUCTION JOINT LOCATIONS FOR ALL ELEVATED STRUCTURAL SLABS AND WALLS FOR ENGINEER'S REVIEW. GENERAL CONTRACTOR TO SUBMIT PROPOSED SLAB-ON-GRADE SAWCUT LOCATIONS FOR ENGINEER AND ARCHITECT'S REVIEW.
7. REINFORCEMENT
  - A. ALL REINFORCING SHALL BE HIGH-STRENGTH DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60 EXCEPT TIES, STIRRUPS AND PLATE ANCHORS WHICH SHALL BE DEFORMED BARS, ASTM DESIGNATION A615, GRADE 40 OR ASTM A706 GRADE 60.
  - B. REINFORCEMENT CLEAR COVER PROTECTION MILDLY REINFORCED UNLESS NOTED OTHERWISE:
    1. CONCRETE POURED AGAINST EARTH 3"
    2. CONCRETE POURED ON VOID FORM 2"
    3. CONCRETE POURED IN FORMS (EXPOSED TO WEATHER OR EARTH) BARS #5 AND SMALLER 1-1/2"
    4. BARS LARGER THAN #5 2"
    5. SLABS AND WALLS (NOT EXPOSED TO WEATHER) 3/4"
  - C. REINFORCEMENT PLACEMENT AND TOLERANCES SHALL BE IN ACCORDANCE WITH ACI 318, LATEST EDITION.
  - D. NO SPLICES OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR AUTHORIZED BY THE STRUCTURAL ENGINEER. LAP SPLICES, WHERE PERMITTED, SHALL BE A MINIMUM OF 48 BAR DIAMETERS FOR #6 BARS AND SMALLER AND SHALL BE A MINIMUM OF 80 BAR DIAMETERS FOR #7 AND #8 REINFORCEMENT UNLESS NOTED OTHERWISE. MAKE ALL BARS CONTINUOUS AROUND CORNERS.
  - E. PLACE TWO #5 (PER 8" THICKNESS) WITH 2'-0" PROJECTION AROUND ALL OPENINGS IN CONCRETE WALLS, SLABS, AND BEAMS. ALSO PROVIDE TWO #5 X 4'-0" DIAGONALLY AT EACH CORNER.
  - F. CONTINUOUS TOP AND BOTTOM BARS IN WALLS AND BEAMS SHALL BE SPLICED AS FOLLOWS: TOP BARS AT MIDSPAN, BOTTOM BARS OVER SUPPORTS.
  - G. PLACE (3)-#5 VERTICALLY FULL HEIGHT OF CONCRETE WALLS AT HIGH SIDE OF ALL WALL STEPS GREATER THAN 4'-0", IN ADDITIONAL TO WALL REINFORCING SHOWN ON PLANS.

8. POST-INSTALLED ANCHORAGES
  - A. ALL POST-INSTALLED ANCHORS AND BOLTS SHALL MEET ICC-ES COMPLIANCE FOR EACH TYPE OF APPLICATION.
  - B. ALL CONCRETE MUST BE A MINIMUM OF 14 DAYS OLD AND ACHIEVED 100% OF  $f_c$  PRIOR TO INSTALLATION OF ANCHORS.
  - C. GENERAL CONTRACTOR TO SUBMIT ALL POST-INSTALLED PRODUCT DATA FOR REVIEW.
  - D. POST-INSTALLED ANCHORAGES SHALL BE INSTALLED ACCORDING TO THE MANUFACTURERS REQUIREMENTS, INCLUDING THE PREPARATION AND CLEANING OUT OF DRILLED HOLES.
  - E. THE FOLLOWING ARE THE ACCEPTABLE POST-INSTALLED ANCHORAGES AS MANUFACTURED BY HILTI, INC.
    1. ADHESIVE ANCHORS IN CONCRETE SHALL BE HIT HY-200 OR HIT-RE 500 V3
    2. ADHESIVE ANCHORS IN SOLID GROUTED CMU SHALL BE HIT HY-70
    3. ADHESIVE ANCHORS IN HOLLOW CMU SHALL BE HIT HY-70 WITH REQUIRED SCREENS.
    4. MECHANICAL ANCHORS IN CONCRETE SHALL BE KWIK BOLT TZ OR KWIK HUS-EZ
    5. MECHANICAL ANCHORS IN CONCRETE ON METAL DECK SHALL BE KWIK BOLT TZ OR KWIK HUS-EZ
    6. MECHANICAL ANCHORS IN SOLID GROUTED CMU SHALL BE KWIK BOLT 3 OR KWIK HUS-EZ
    7. MECHANICAL ANCHORS IN HOLLOW CMU SHALL BE KWIK CON II-
  - F. ALTERNATES MUST BE REVIEWED BY THE ENGINEER OF RECORD PRIOR TO INSTALLATION. GENERAL CONTRACTOR TO SUBMIT PRODUCT AND TESTING DATA, INCLUDING MANUFACTURER'S INFORMATION AS WELL AS ICC EVALUATION SERVICES REPORT.
9. POST-TENSIONING
  - A. POST-TENSIONED TENDON LAYOUT AND DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE PTI "POST-TENSIONING MANUAL" AND PTI DC20.9.
  - B. TENDONS FOR POST-TENSIONING SHALL BE UNCOATED SEVEN WIRE STRESS RELIEVED STEEL STRAND HAVING AN ULTIMATE STRENGTH OF 270 KSI AND SHALL MEET ASTM STANDARDS A416. OIL TEMPERED WIRES SHALL NOT BE USED.
  - C. COUPLINGS SHALL BE USED ONLY AT LOCATIONS INDICATED AND/OR AS REVIEWED BY THE STRUCTURAL ENGINEER.
  - D. POST-TENSIONING OPERATION SHALL NOT COMMENCE UNTIL CONCRETE CYLINDERS, CURED UNDER JOB-SITE CONDITIONS, HAVE BEEN TESTED AND INDICATED 75% OF 28 DAY DESIGN COMPRESSIVE STRENGTH.
  - E. ALL REINFORCING AND POST-TENSIONING TENDONS SHALL BE FIRMLY SECURED TO PREVENT DISPLACEMENT DURING POURING OF CONCRETE. STAPLE ALL CHAIRS MINIMUM TWO STAPLES EACH.
  - F. POST-TENSIONING TENDON SUPPLIER TO INCREASE FORCES SHOWN AS NECESSARY TO OVERCOME FRICTION FORCES AS PER LATEST POST-TENSIONING DESIGN INSTITUTE RECOMMENDATIONS. ALL FORCES SHOWN ARE FINAL ERECTION.
  - G. ALL POST-TENSIONING TENDONS SHALL BE NO LESS THAN 4" FROM ANY OPENING.
  - H. ALL POST-TENSIONING TENDONS TO BE BENT AROUND OPENING SHALL EXTEND A MINIMUM OF 2'-0" PAST THE OPENING BEFORE STARTING CURVE.
  - I. HORIZONTAL SLOPE OF POST-TENSIONING TENDONS SHALL BE LIMITED TO 1:6.
  - J. UNIFORM TENDONS SHALL BE STRESSED PRIOR TO BANDED TENDONS. STRESS SLAB TENDONS BEFORE STRESSING BEAM TENDONS.
  - K. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO VERIFY BY APPLICABLE METHODS, LOCATIONS OF TENDONS PRIOR TO INSTALLATION OF ANY SLAB PENETRATIONS GREATER THAN 3/4" DEEP.
  - L. ALL JACKING OF TENDONS SHALL BE DONE WITH AN AUTOMATIC POWER SEATING JACK.
  - M. NOTIFY ENGINEER AT LEAST 72 HOURS IN ADVANCE OF CONCRETE POUR SO THAT STEEL AND TENDON PLACEMENT MAY BE OBSERVED PRIOR TO CONCRETE POUR.
  - N. PROVIDE #4 MINIMUM BACKUP BARS AND HAIRPINS AT ALL TENDON ANCHORAGES. BARS SHALL EXTEND MINIMUM 2'-0" EACH SIDE OF ANCHORAGE.
  - O. TENSILE STRESS IN PRESTRESSING TENDONS SHALL NOT EXCEED THE FOLLOWING:
    1. DUE TO TENDON JACKING FORCE 0.94 fpy BUT NOT GREATER THAN 0.85 fpy OR MAXIMUM VALUE RECOMMENDED BY MANUFACTURERS OF PRESTRESSING TENDONS OR ANCHORAGES.
    2. IMMEDIATELY AFTER PRESTRESS TRANSFER 0.82 fpy BUT NOT GREATER THAN 0.74 fpy.
    3. POST-TENSIONING TENDONS, AT ANCHORAGES AND COUPLERS IMMEDIATELY AFTER TENDON ANCHORAGE 0.70 fpy.
  - P. RECORDS OF ALL TENDON JACKING FORCES AND ELONGATION SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO TENDON TAILS BEING CUT. ELONGATION MEASUREMENT SHALL BE OBSERVED BY A PARTY INDEPENDENT OF THE COMPANY RESPONSIBLE FOR TENDON ELONGATION.
  - Q. ALL POCKETS REQUIRED FOR TENDON ANCHORAGES SHALL BE ADEQUATELY REINFORCED SO AS NOT TO DECREASE THE STRENGTH OF THE STRUCTURE. TENDON ENDS AND ANCHORAGES SHALL BE ENCAPSULATED.
  - R. ALL STRUCTURAL STEEL EMBEDS, ANCHOR RODS, AND HOLD DOWN ANCHOR RODS SHALL BE CAST INTO THE CONCRETE SLAB, U.N.O. ALL MECHANICAL, ELECTRICAL, PLUMBING, AND ARCHITECTURAL INSERTS, SLEEVES AND OTHER ITEMS SHALL ALSO BE CAST INTO THE CONCRETE SLAB.
10. WOOD
  - A. ALL FRAMING AND TRUSS LUMBER SHALL BE DRY HEM-FIR, GRADED BY WESTERN WOOD PRODUCTS ASSOCIATION AND CONFORMING TO INTERNATIONAL BUILDING CODE AS FOLLOWS:
    - 2" THICK - 4" TO 6" WIDE (WALL STUD ONLY) NO. 2 Fb = 850 PSI
    - 2" TO 4" THICK - 6" AND WIDER NO. 2 Fb = 850 PSI
    - 5" THICK - 5" AND WIDER NO. 1 Fb = 1050 PSI NOTED ALLOWABLE STRESSES ARE MINIMUMS AND FOR NONREPETITIVE USES PRIOR TO ALLOWABLE STRESS INCREASES.
  - B. ALL LUMBER IN CONTACT WITH CONCRETE, MASONRY, WITHIN 8 INCHES FROM EXPOSED EARTH OR EXPOSED TO EXTERIOR ELEMENTS SHALL BE PRESERVATIVE TREATED LUMBER IN ACCORDANCE WITH AWPA U1 WITH A SERVICE CONDITION AS REQUIRED FOR USE OR NATURALLY DURABLE WOOD PER IB2304.
  - C. WHEN PRESERVATIVE TREATED LUMBER IS REQUIRED BY CODE ALL CONNECTIONS AND NAILING SHALL BE ADEQUATELY GALVANIZED (DOUBLE DIPPED OR BETTER).
  - D. PROVIDE METAL CROSS BRIDGING NOT OVER 8' ON CENTER FOR ALL 2X WOOD JOISTS. SOLID BLOCKING BETWEEN ALL JOISTS AT ALL SUPPORTS AND ENDS OF CANTILEVERS IS REQUIRED.
  - E. FASTEN ALL WOOD MEMBERS WITH COMMON NAILS ACCORDING TO THE IBC SCHEDULE TABLE 2304.10.1 UNLESS NOTED OTHERWISE.
  - F. NOTCHES AND BORED HOLE PENETRATIONS IN WOOD STUD WALLS SHALL CONFORM TO SECTION 2308 OF THE INTERNATIONAL BUILDING CODE.
  - G. LAMINATED BEAMS
    1. ALL LAMINATED MEMBERS SHALL BE FABRICATED OF DOUGLAS FIR LARCH AT LESS THAN 12 PERCENT MOISTURE CONTENT IN ACCORDANCE WITH WCLIB. ALL SIZES SHOWN ARE NET.
    2. LAMINATED MEMBER SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE DESIGN AND FABRICATION OF STRUCTURAL GLUE LAMINATED TIMBER, LATEST EDITION AS PUBLISHED BY AITC.
    3. PROVIDE UNITS CONFORMING TO AITC 117, 24FV8, D.F. FOR CONTINUOUS MEMBERS AND CANTILEVERS AND 24FV4, D.F. FOR SIMPLE SUPPORT MEMBERS. MEMBERS SHALL BE DESIGNED WITH ZERO CAMBER WITH TOP SURFACE CLEARLY STAMPED ON EACH MEMBER.
  - H. PLYWOOD DECK AND/OR ORIENTED STRAND BOARD.
    1. PANEL THICKNESS SHALL BE AS SHOWN ON THE DRAWING. APPLICATION SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION.
    2. EACH PANEL SHALL BE IDENTIFIED WITH THE GRADE-TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND SHALL MEET THE REQUIREMENTS OF U.S. PRODUCTS STANDARD PSI, LATEST EDITION FOR PLYWOOD. ALL PANELS WHICH HAVE ANY EDGE OR SURFACE PERMANENTLY EXPOSED TO THE WEATHER SHALL BE OF THE EXTERIOR TYPE.
    3. FOR FLOORING USE 3/4" T&G STURD-I-FLOOR SHEATHING GLUED AND NAILED WITH 10D NAILS AT 6" ON CENTER ALONG PANEL EDGES AND AT 12" ALONG INTERMEDIATE SUPPORTS.
    4. FOR ROOF USE 5/8" (40/20 SPAN RATING) EXPOSURE I SHEATHING NAILED WITH 10D NAILS AT 4" ON CENTER ALONG PANEL EDGES AND AT 12" ALONG INTERMEDIATE SUPPORTS.
    5. EXTERIOR WALLS SHALL HAVE ONE LAYER OF 1/2" EXPOSURE I PLYWOOD OR OSB SHEATHING NAILED WITH 8d (OR 10d) NAILS AT 6" ON CENTER ALONG PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORTS. ALL PANEL EDGES SHALL BE BLOCKED.
    6. FLOORS AND ROOF SHEATHING SHALL BE INSTALLED WITH THE FACE GRAIN PERPENDICULAR TO SUPPORTS WITH END JOINTS STAGGERED.

7. INSTALL SUITABLE EDGE SUPPORT BY USE OF PLYCLIPS, TONGUE AND GROOVE PANELS OR SOLID WOOD BLOCKING SUPPORTS.
- I. LAMINATED VENEER LUMBER MEMBERS SHALL HAVE THE FOLLOWING STRESS CAPACITIES: FB = 2800 PSI, E = 2,000,000 PSI, FC = 750 PSI, FV = 285 PSI. BUILT UP MEMBERS SHALL BE CONNECTED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. CONTRACTOR SHALL HAVE THE OPTION OF USING 3 1/2" OR 5 1/4" WIDE MEMBERS.
- J. ALL SOLID SAWN, LAMINATED VENEER LUMBER, AND PREFABRICATED WOOD MEMBERHANGERS ARE TO BE INSTALLED USING THE MAXIMUM NUMBER OF FASTENERS AS SPECIFIED BY THE HANGER MANUFACTURER, UNLESS NOTED OTHERWISE.
- K. ALL WOOD HANGERS ARE TO BE THE TYPE NOTED ON THE DRAWINGS AND SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE. ALTERNATES SHALL HAVE EQUAL OR GREATER CAPACITY.
- L. PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED TO FULFILL STRESS REQUIREMENTS AND/OR LOADS NOTED ON DRAWINGS. SHOP DRAWINGS SHALL INCLUDE CALCULATIONS AND BEAR THE STAMP OF A REGISTERED ENGINEER. PROVIDE BRIDGING AND BLOCKING PER MANUFACTURER'S RECOMMENDATIONS UNLESS OTHERWISE NOTED. PROVIDE CONSTRUCTION BRACING AS REQUIRED ERECTION NOTE: CENTER WALL STUDS UNDER CENTER OF TRUSS LOCATIONS.
11. NON-STRUCTURAL ELEMENTS
  - A. ELEMENTS SUCH AS NON-BEARING PARTITIONS, ETC. ATTACHED TO AND/OR SUPPORTED BY THE STRUCTURE SHALL TAKE INTO ACCOUNT DEFLECTIONS AND OTHER STRUCTURAL MOVEMENTS.
  - B. FIRE PROTECTION FOR ALL STRUCTURAL PARTS SHALL BE PROVIDED AND SHALL MEET ALL CODE REQUIREMENTS FOR THE TYPE OF CONSTRUCTION SPECIFIED BY THE ARCHITECTURAL DRAWINGS. STRUCTURAL STEEL MEMBERS SHALL BE CONSIDERED UNRESTRAINED UNLESS NOTED OTHERWISE.
12. GENERAL
  - A. ENGINEER'S ACCEPTANCE MUST BE SECURED FOR ALL STRUCTURAL SUBSTITUTIONS.
  - B. VERIFY ALL OPENINGS THROUGH FLOORS, ROOF AND WALLS WITH MECHANICAL AND ELECTRICAL CONTRACTORS. VERIFICATION OF LOCATIONS, SIZES, LINTELS AND REQUIRED CONNECTIONS ARE CONTRACTOR'S COMPLETE RESPONSIBILITY.
  - C. PRIOR TO INSTALLATION OF MECHANICAL AND ELECTRICAL EQUIPMENT OR OTHER ITEMS TO BE ATTACHED TO THE STRUCTURE, ENGINEER'S APPROVAL OF CONNECTIONS AND SUPPORTS SHALL BE OBTAINED. UNLESS SPECIFICALLY DETAILED ON ARCHITECTURAL AND STRUCTURAL DRAWINGS, RESPECTIVE SUBCONTRACTOR SHALL FURNISH ALL HANGERS, CONNECTIONS, ETC., REQUIRED FOR INSTALLATION OF HIS ITEMS.
  - D. PROVIDE ALL EMBEDDED ITEMS IN STRUCTURE AS NOTED ON ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS. MISCELLANEOUS EMBEDDED ITEMS AND ANCHOR BOLTS SHALL BE FURNISHED BY STEEL SUPPLIER AND INSTALLED BY CONCRETE CONTRACTOR. STEEL SHALL FULFILL ASTM A36.
  - E. PROVIDE ASPHALTIC MASTIC-COATING ON ALL STEEL AND WOOD EXPOSED TO EARTH.
  - F. SUBMIT SHOP AND ERECTION DRAWINGS TO ENGINEER FOR REVIEW OF ALL CONCRETE REINFORCING, STRUCTURAL STEEL, LAMINATED WOOD FRAMING MEMBERS, WOOD JOISTS, LOG FRAMING MEMBERS, STEEL OPEN WEB JOISTS AND METAL DECK. THE MANUFACTURING OR FABRICATION OF ANY ITEMS PRIOR TO WRITTEN REVIEW OF SHOP DRAWINGS WILL BE ENTIRELY AT THE RISK OF THE CONTRACTOR. SHOP DRAWINGS NOT REVIEWED AND STAMPED BY CONTRACTOR PRIOR TO SUBMITTING WILL BE RETURNED AND NOT REVIEWED.
  - G. WATERPROOFING, VAPOR BARRIERS, WATERSTOP, ETC., SHALL BE AS SHOWN ON THE ARCHITECTURAL DRAWINGS AND AS INDICATED IN THE SPECIFICATIONS.
  - H. ALL MASONRY AND STONE VENEERS SHALL BE ATTACHED TO INTERIOR AND EXTERIOR WALLS AS SPECIFIED IN SECTION 1405 OF THE INTERNATIONAL BUILDING CODE.
    - I. ALL DIMENSIONS ON STRUCTURAL DRAWINGS SHALL BE CHECKED AGAINST FIELD CONDITIONS AND ARCHITECTURAL DRAWINGS.
    - J. CONTRACTOR SHALL VERIFY ALL ASSUMED EXISTING CONDITIONS. IF CONDITIONS ARE DIFFERENT THAN ASSUMED, NOTIFY ENGINEER.
  - K. PRE-MANUFACTURED STAIRS, HANDRAILS, AND GUARDRAILS NOTED ON PLAN SHALL HAVE ALL ENGINEERING, DESIGN AND DETAILINGS PROVIDED BY STAIR DESIGNER AND SHALL BE SUBMITTED FOR ARCHITECTS REVIEW BEARING THE SEAL OF A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF COLORADO. STAIRS SHALL BE DESIGNED TO SUPPORT A LIVE LOAD OF 100 PSF. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND CRITERIA.
  - L. ALL HOUSEKEEPING PAD LOCATIONS AND EXTENTS SHALL BE COORDINATED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.

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REF. SCALE IN INCHES PROJECT #22030392



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MOUNTAIN VILLAGE NEIGHBORHOOD

LOT 644

MOUNTAIN VILLAGE, COLORADO

Revisions:

Sheet title

GENERAL NOTES

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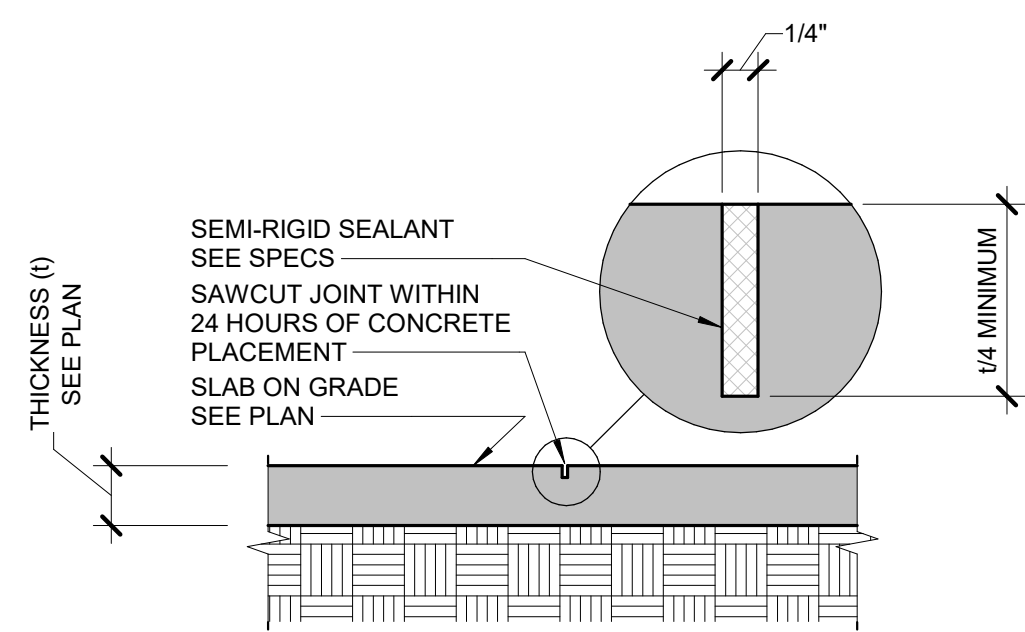
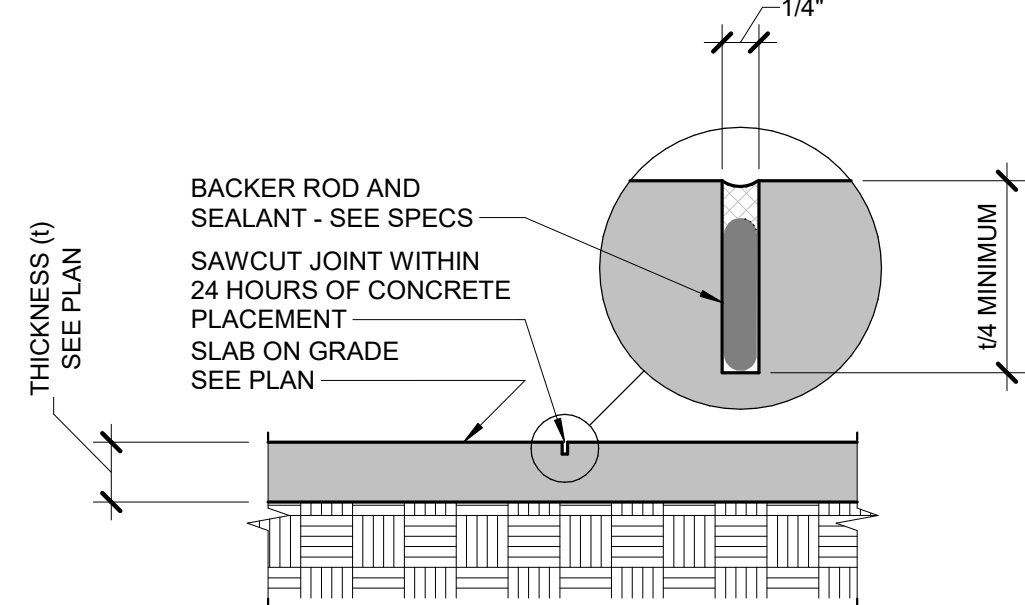
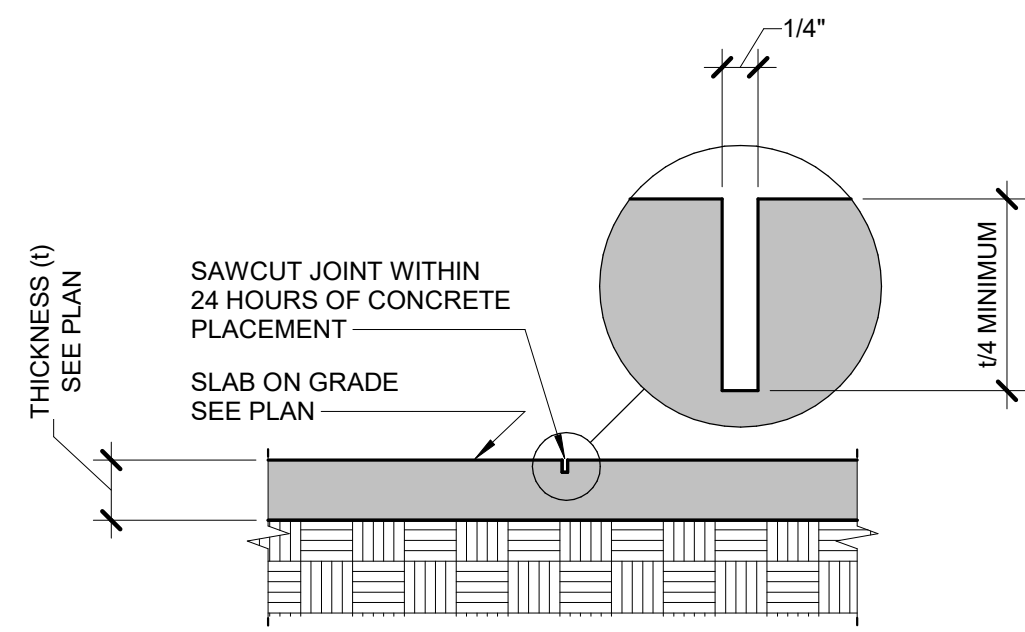
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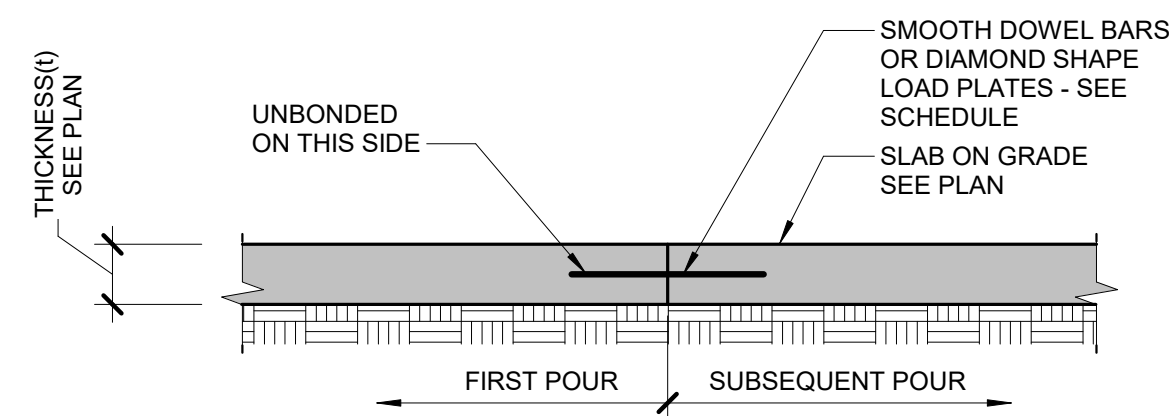
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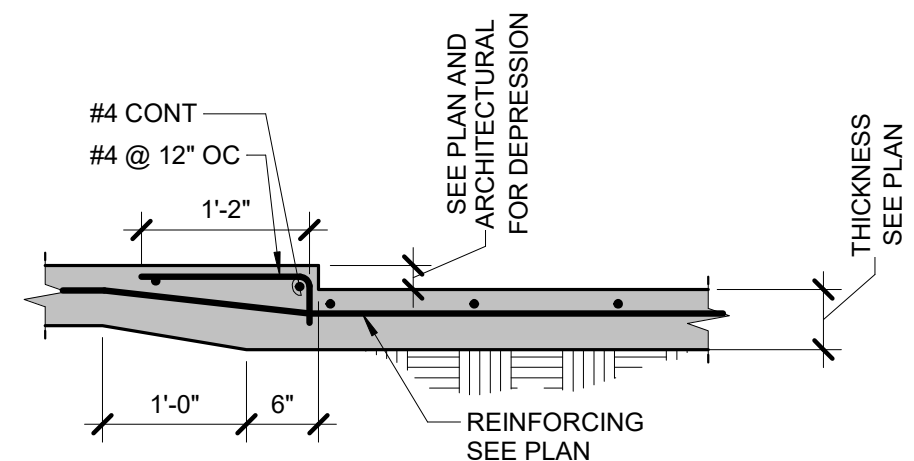


- NOTES:
- SEE CAST-IN-PLACE CONCRETE GENERAL NOTES CONCERNING LOCATION OF JOINTS.
  - CONTRACTOR MUST OBTAIN WRITTEN APPROVAL PRIOR TO POURING CONCRETE FOR ALL CONSTRUCTION AND/OR CONTROL JOINTS.
  - SLAB-ON-GRADE IS A STRUCTURAL DIAPHRAGM AND PART OF LATERAL FORCE RESISTING SYSTEM.



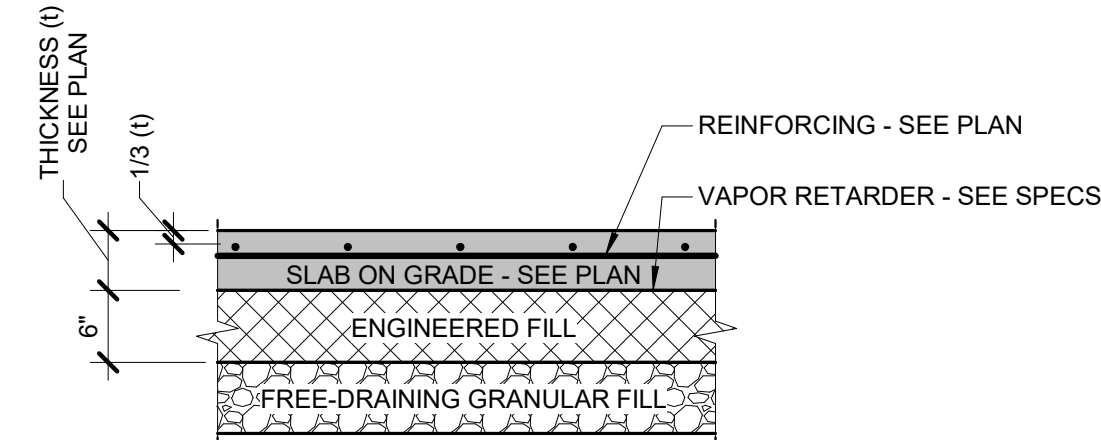
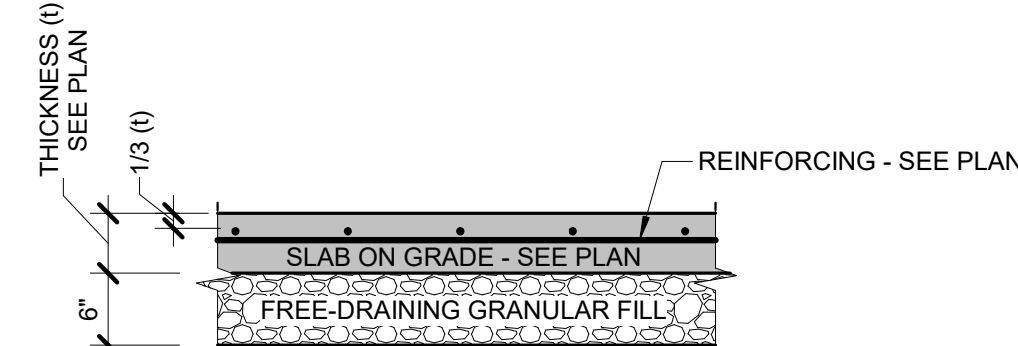
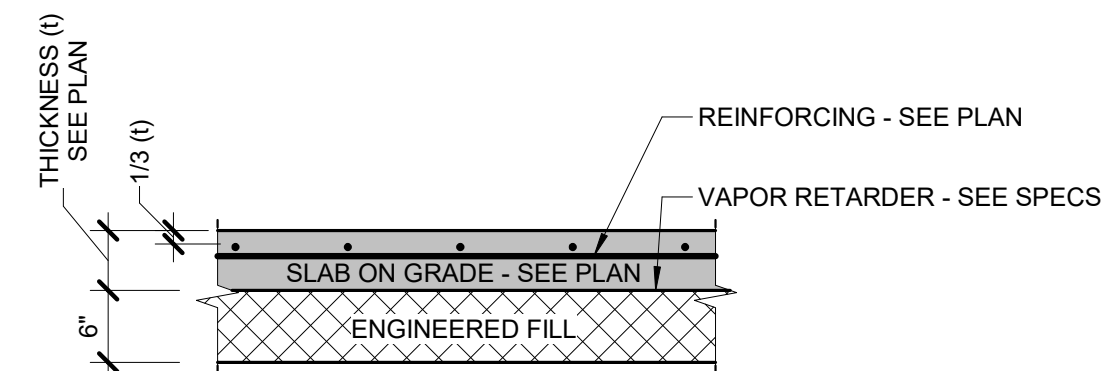
SLAB THICKNESS	SMOOTH DOWEL BAR	DIAMOND SHAPE LOAD PLATES
4"	1/2"Ø x 1'-4" @ 18" OC	1/4"x4 1/2" x 0'-4 1/2" @ 18" OC
5"	3/4"Ø x 1'-4" @ 12" OC	
6"		
> 6"	1"Ø x 1'-4" @ 12" OC	3/8"x4 1/2" x 0'-4 1/2" @ 18" OC

**2 TYPICAL CONSTRUCTION JOINT**  
3/4" = 1'-0"



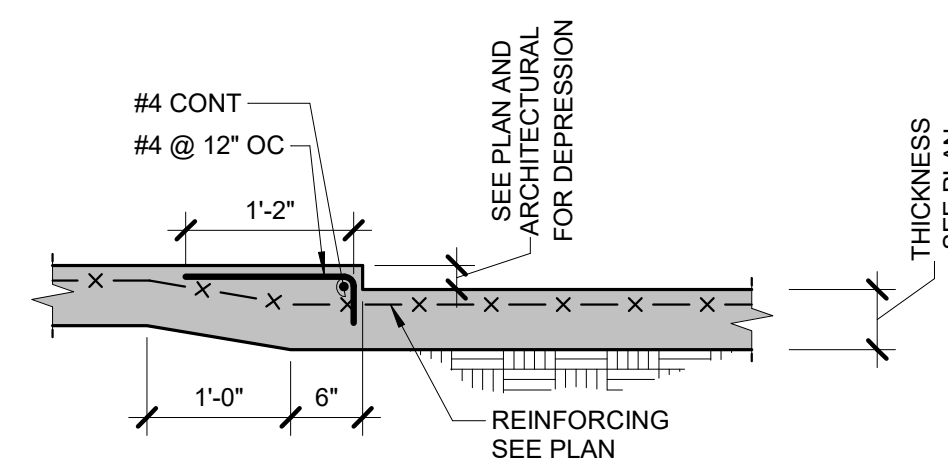
- NOTE:
- CONTRACTOR OPTION TO PROVIDE CONSTRUCTION JOINT AT STEP.

**5 TYPICAL SLAB DEPRESSION**  
3/4" = 1'-0"



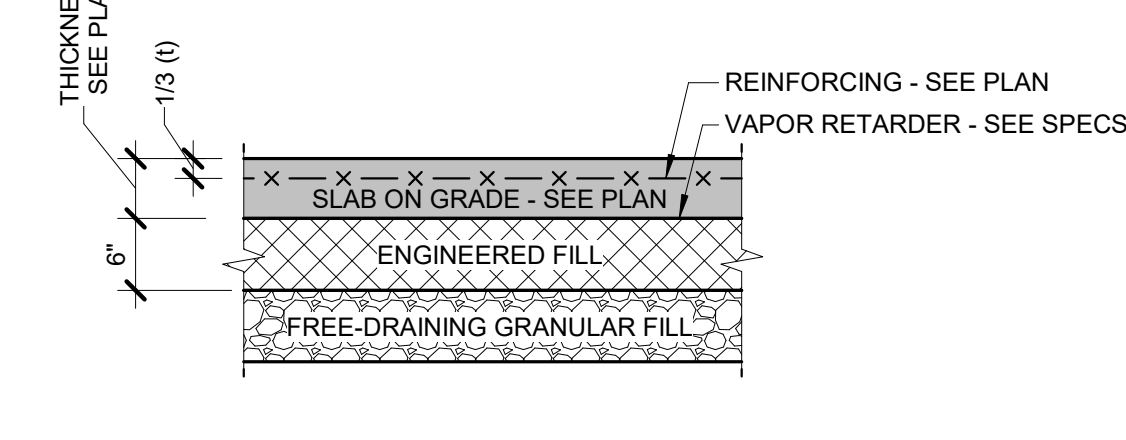
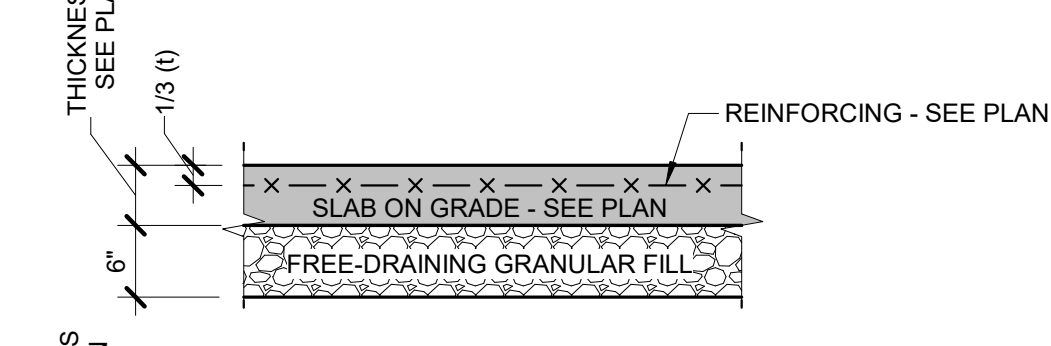
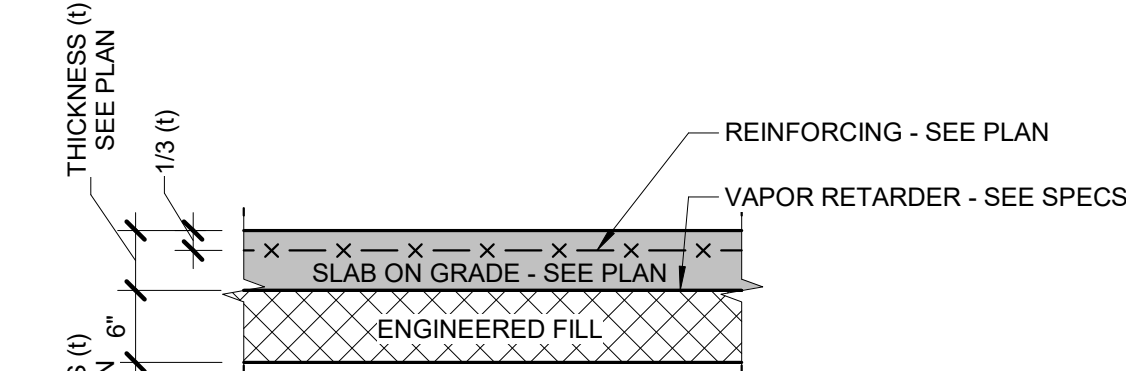
- NOTES:
- REFERENCE SPECIFICATIONS FOR MATERIAL AND COMPACTION REQUIREMENTS.
  - COMPACT ALL FILL MATERIAL TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557.
  - VAPOR RETARDER TO MEET ASTM E1745, CLASS A AND BE NOT LESS THAN 15 MILS THICK.

**3 TYPICAL SLAB SECTION**  
3/4" = 1'-0"



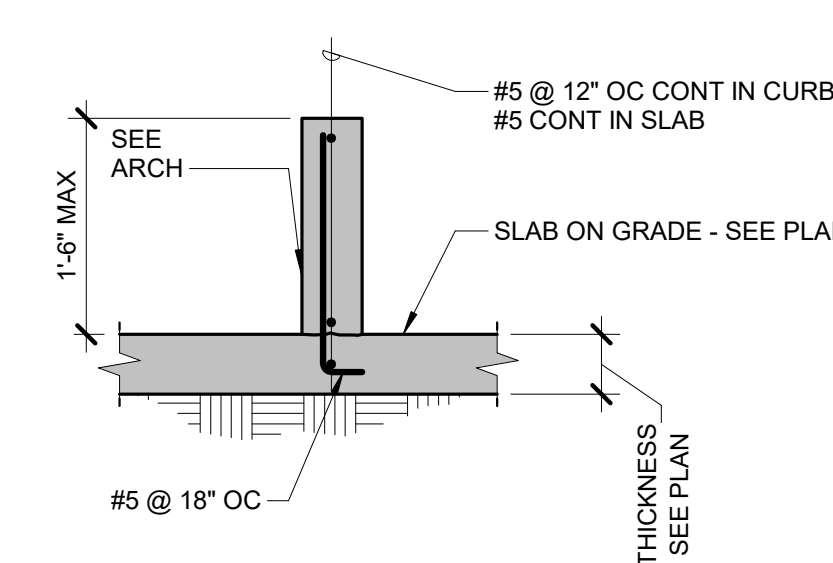
- NOTE:
- CONTRACTOR OPTION TO PROVIDE CONSTRUCTION JOINT AT STEP.

**6 TYPICAL SLAB DEPRESSION**  
3/4" = 1'-0"



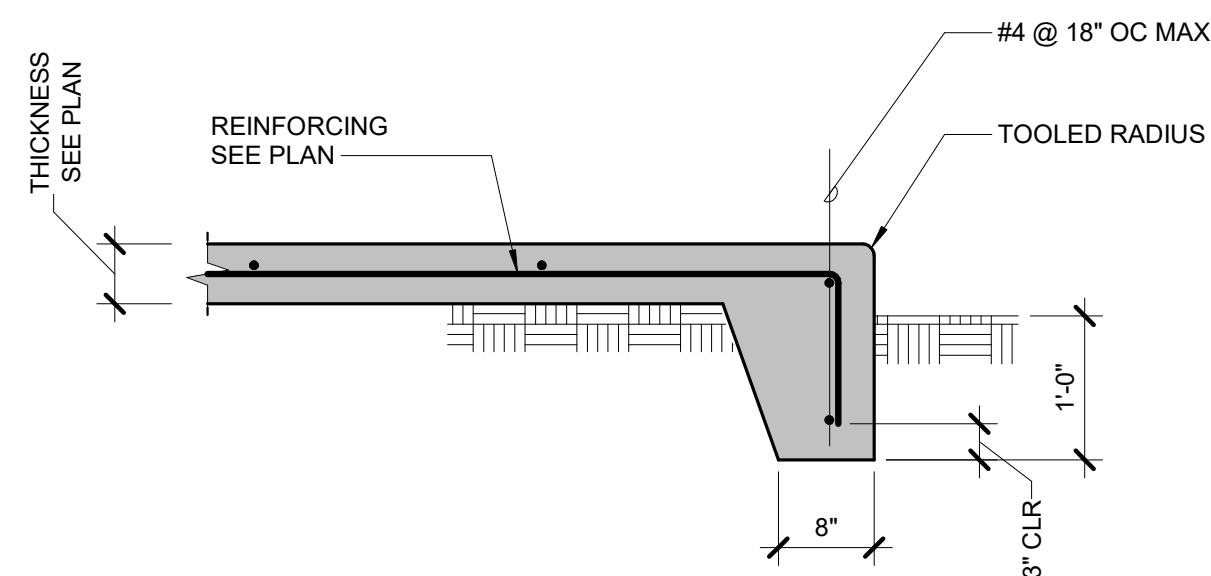
- NOTES:
- REFERENCE SPECIFICATIONS FOR MATERIAL AND COMPACTION REQUIREMENTS.
  - COMPACT ALL FILL MATERIAL TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557.
  - VAPOR RETARDER TO MEET ASTM E1745, CLASS A AND BE NOT LESS THAN 15 MILS THICK.

**4 TYPICAL SLAB SECTION**  
3/4" = 1'-0"

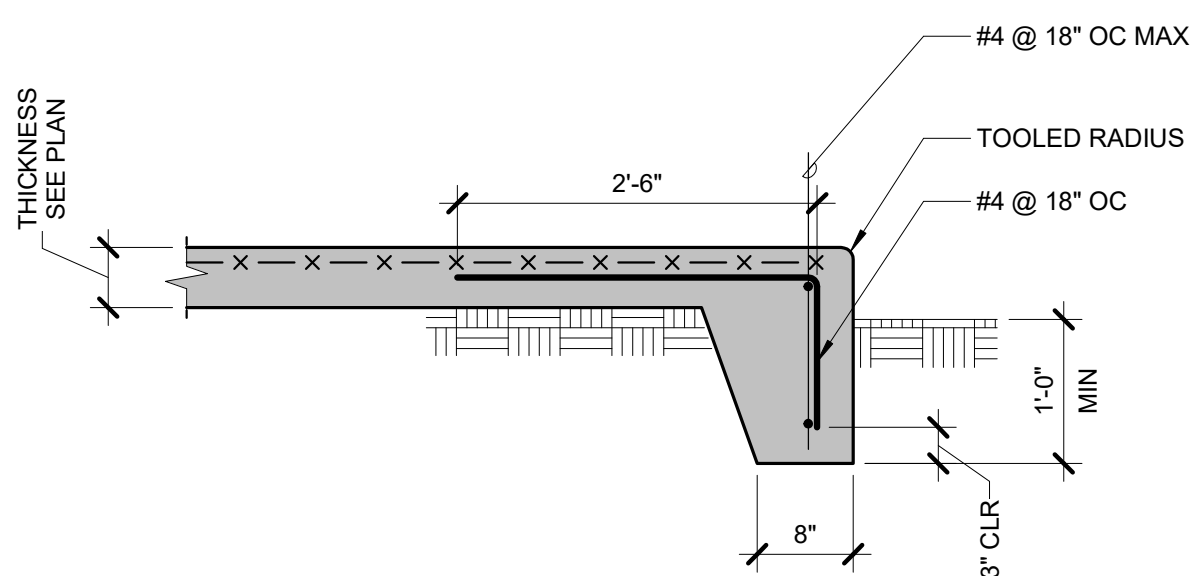


**7 TYPICAL CURB DETAIL**  
3/4" = 1'-0"

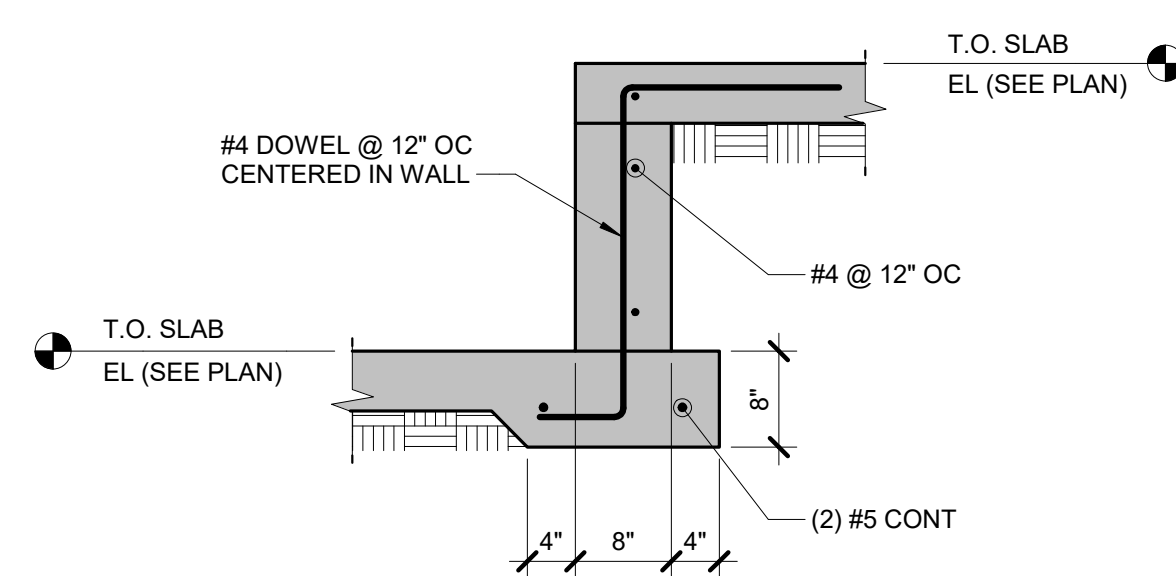
**1 TYPICAL CONTROL JOINT**  
3/4" = 1'-0"



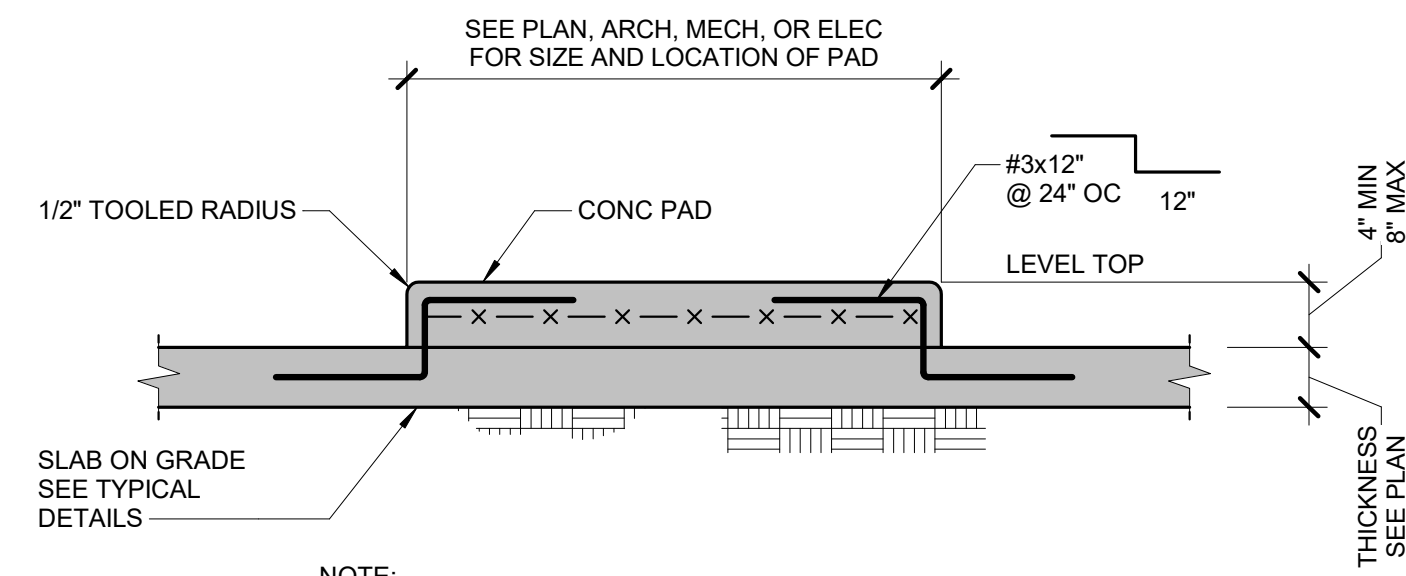
**8 TYPICAL EDGE OF SLAB DETAIL**  
3/4" = 1'-0"



**9 TYPICAL EDGE OF SLAB DETAIL**  
3/4" = 1'-0"

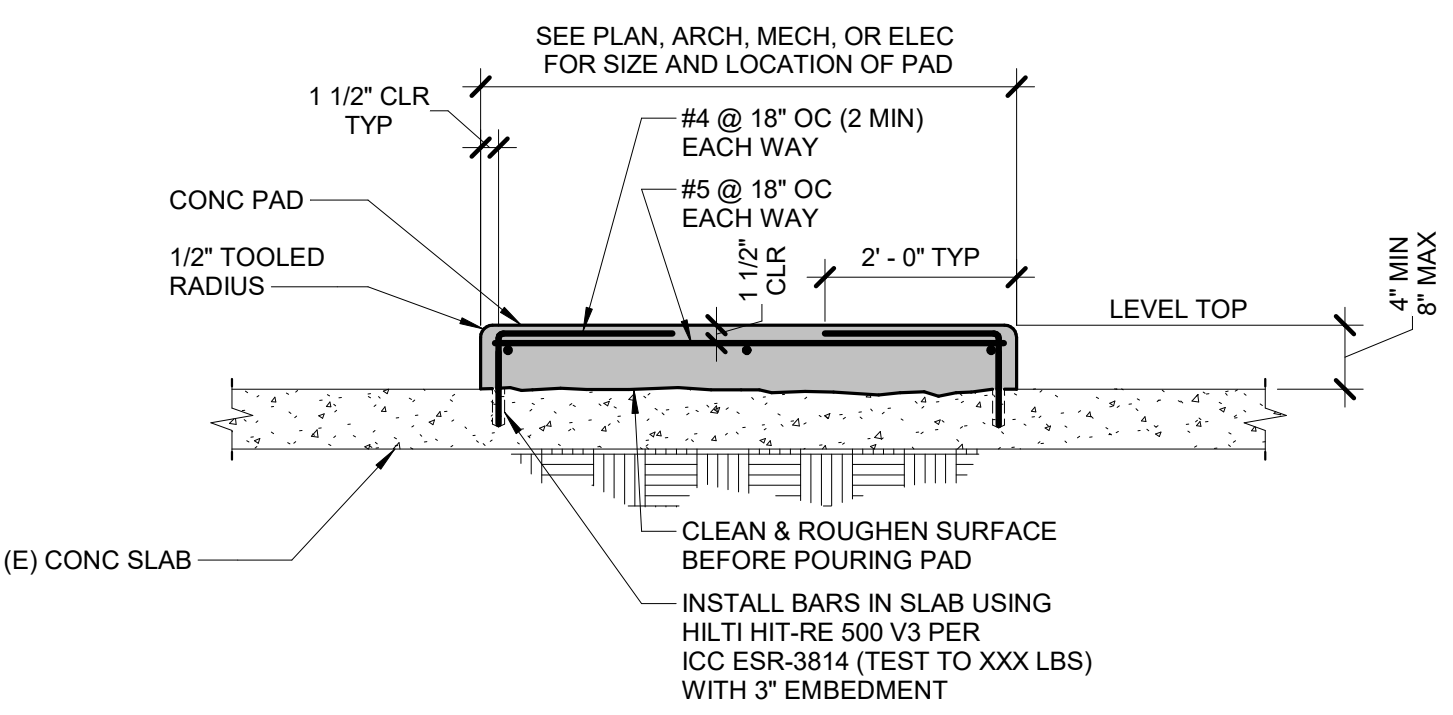


**10 STEP IN SLAB DETAIL**  
3/4" = 1'-0"



- NOTE:
- SEE MECHANICAL AND ELECTRICAL DWGS FOR THE FOLLOWING:
    - LOCATION AND DIMENSIONS OF PADS.
    - LOCATION AND SIZE OF ANCHOR BOLTS.
    - DETAILS OF SUPPORTS, ISOLATORS AND OTHERS.

**11 TYPICAL CONCRETE EQUIPMENT PAD DETAIL**  
3/4" = 1'-0"



**12 CONCRETE EQUIPMENT PAD AT EXISTING DETAIL**  
3/4" = 1'-0"

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REF. SCALE IN INCHES PROJECT #22030392

Revisions:

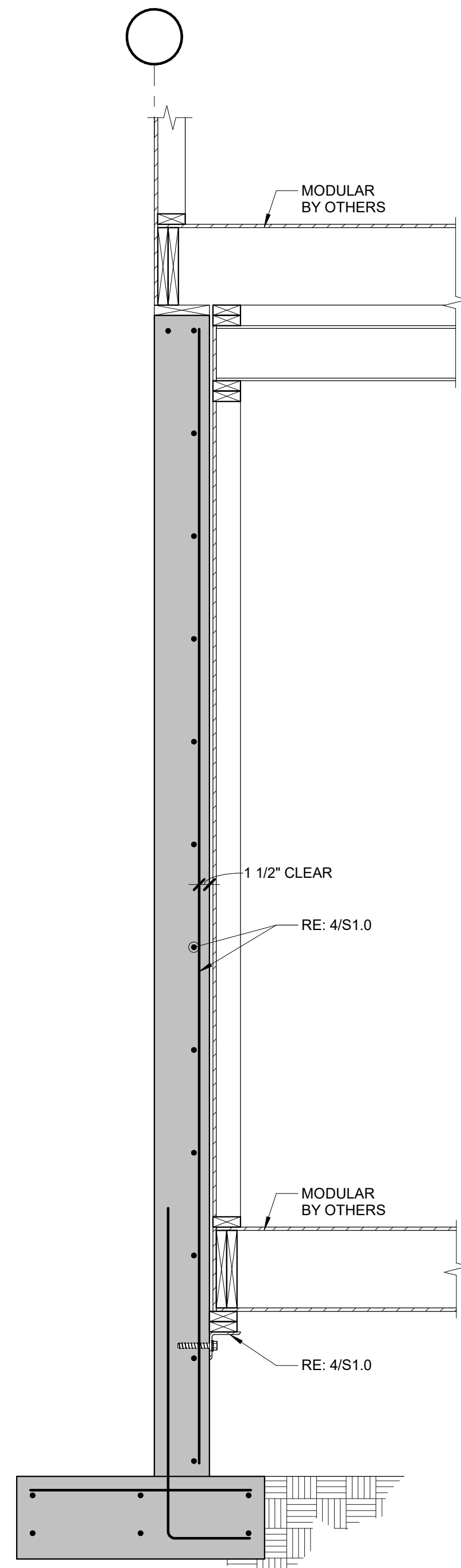
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**TYPICAL SECTIONS**

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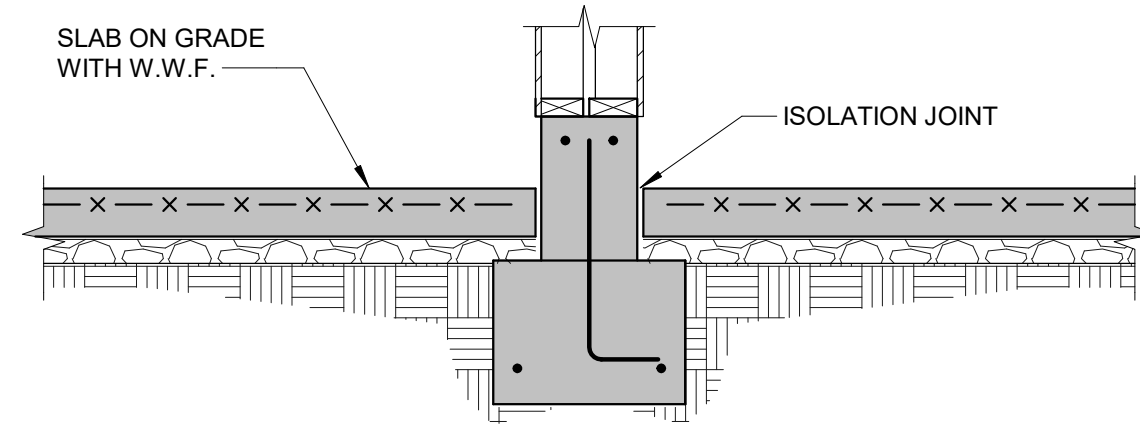
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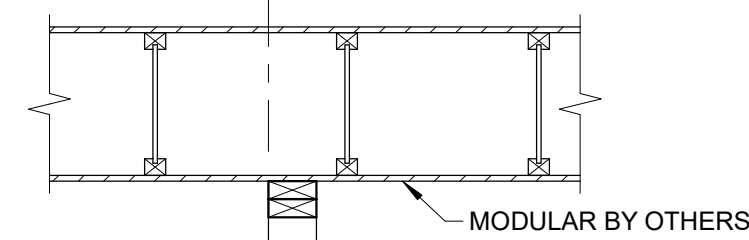




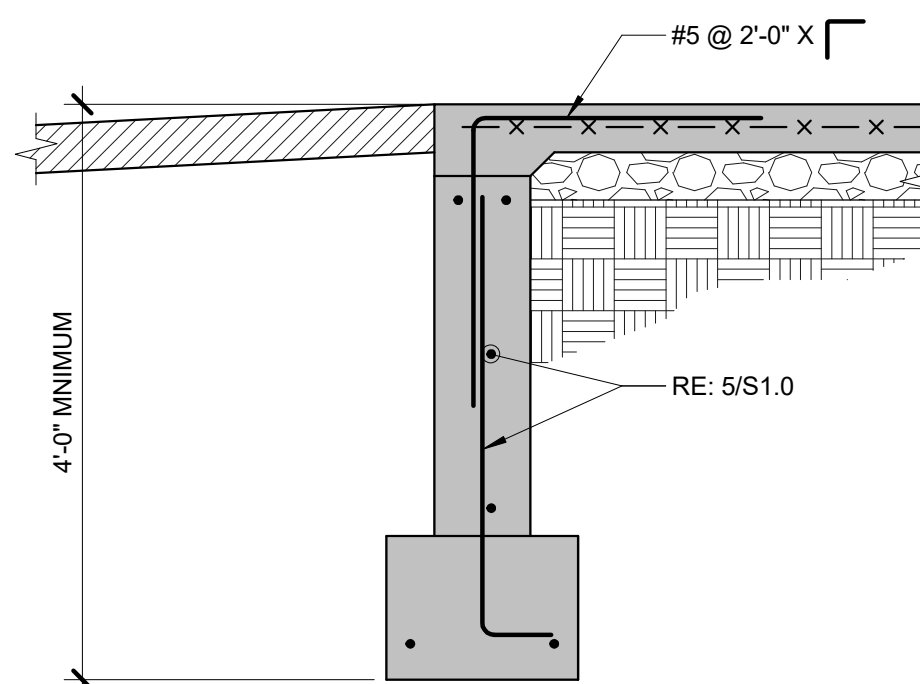
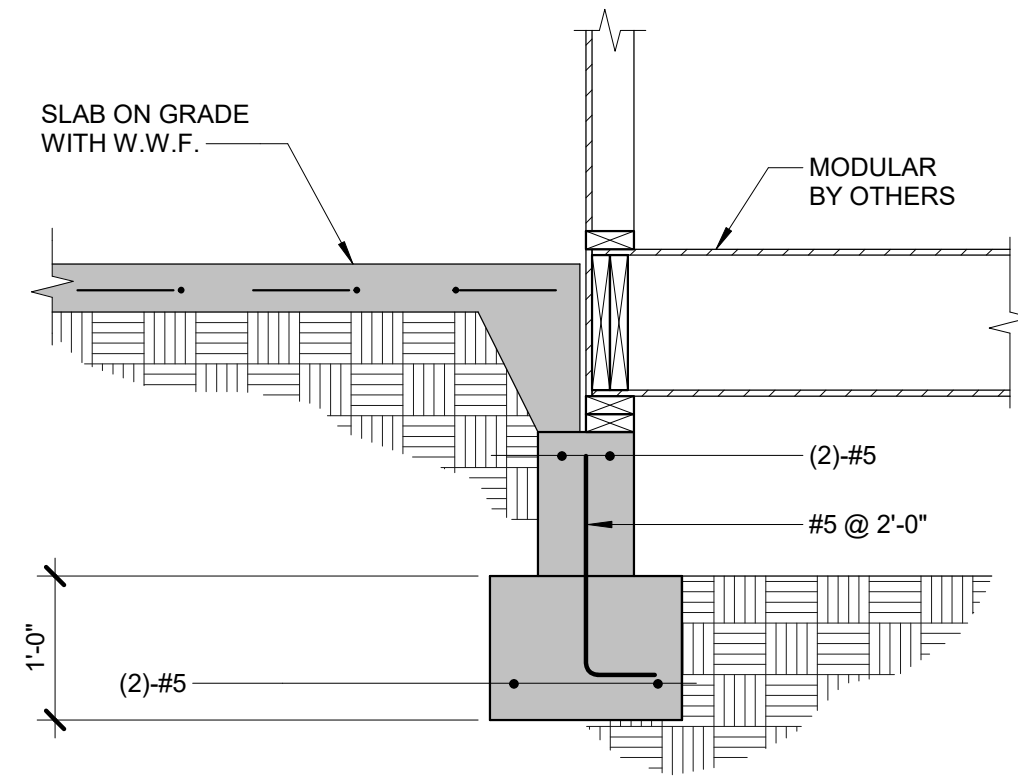
**1 SECTION**  
3/4" = 1'-0"



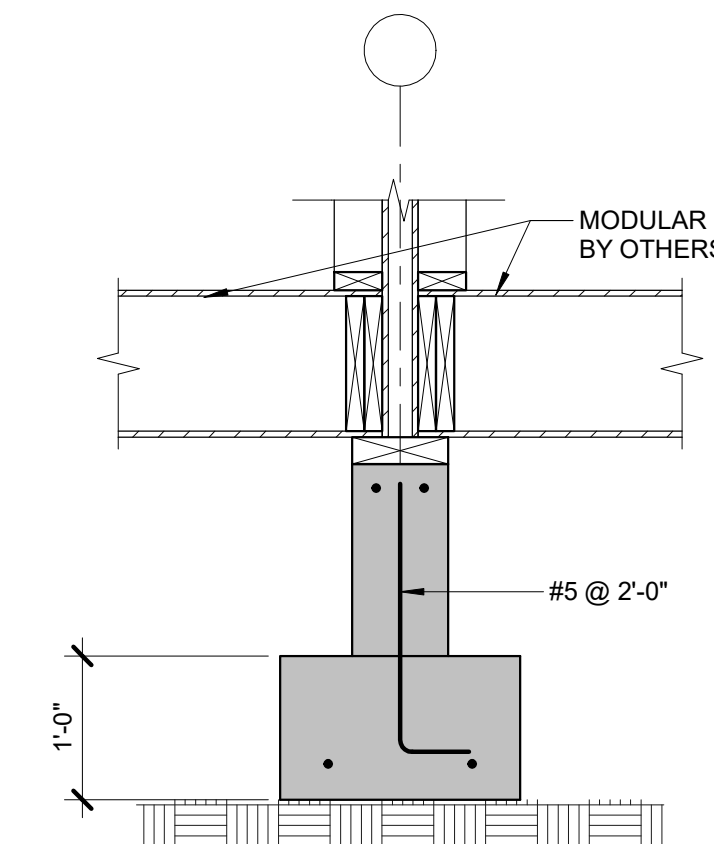
**2 SECTION**  
3/4" = 1'-0"



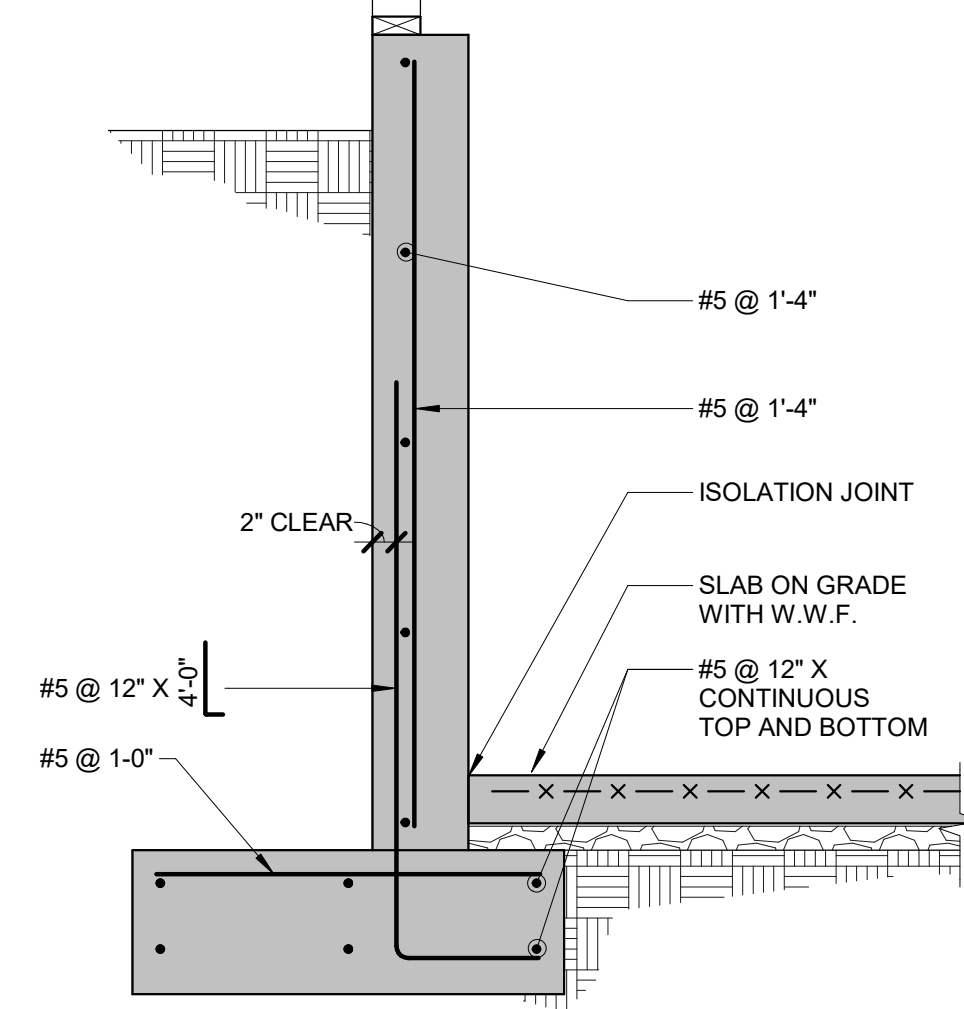
**3 SECTION**  
3/4" = 1'-0"



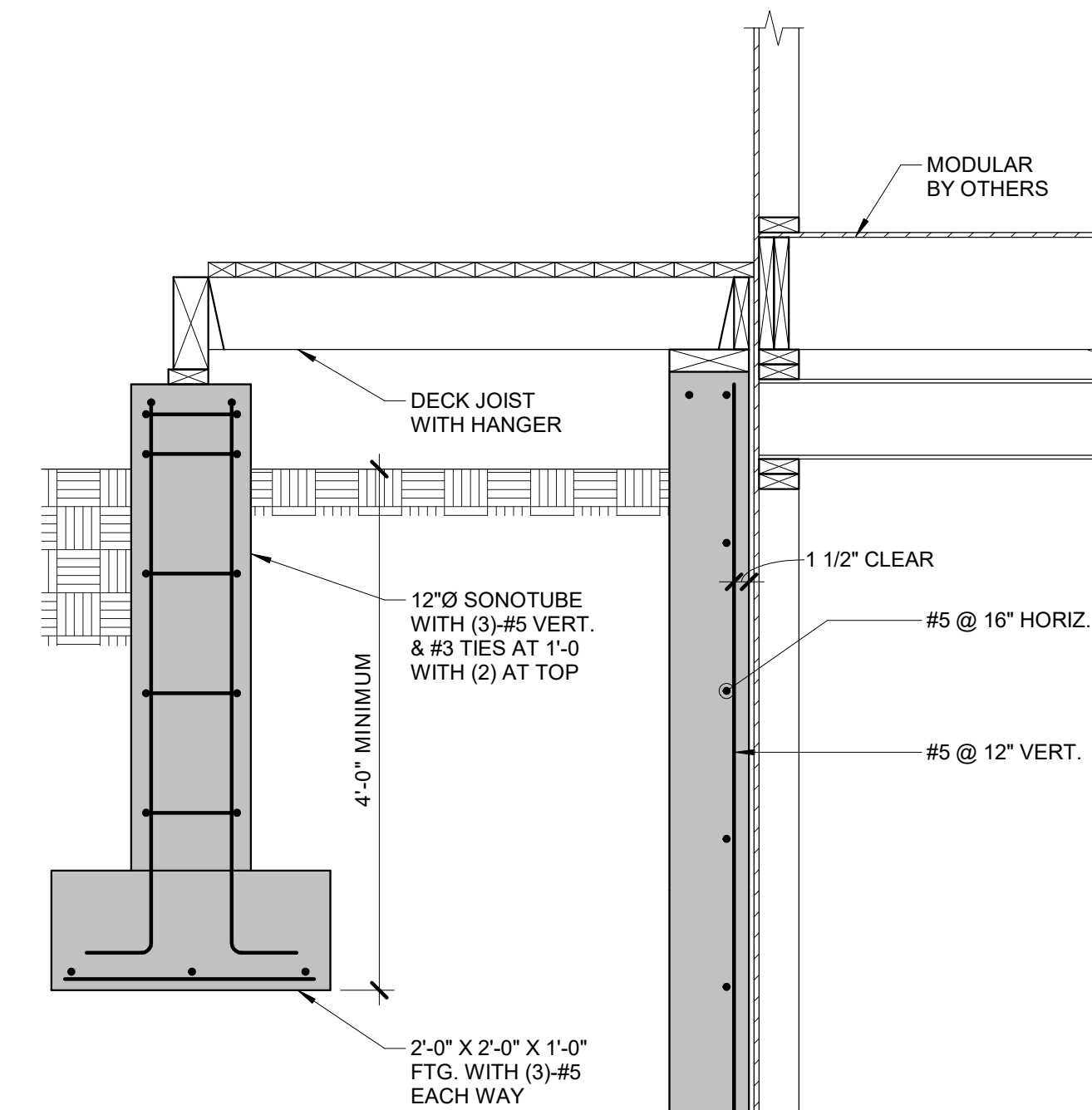
**7 SECTION**  
3/4" = 1'-0"



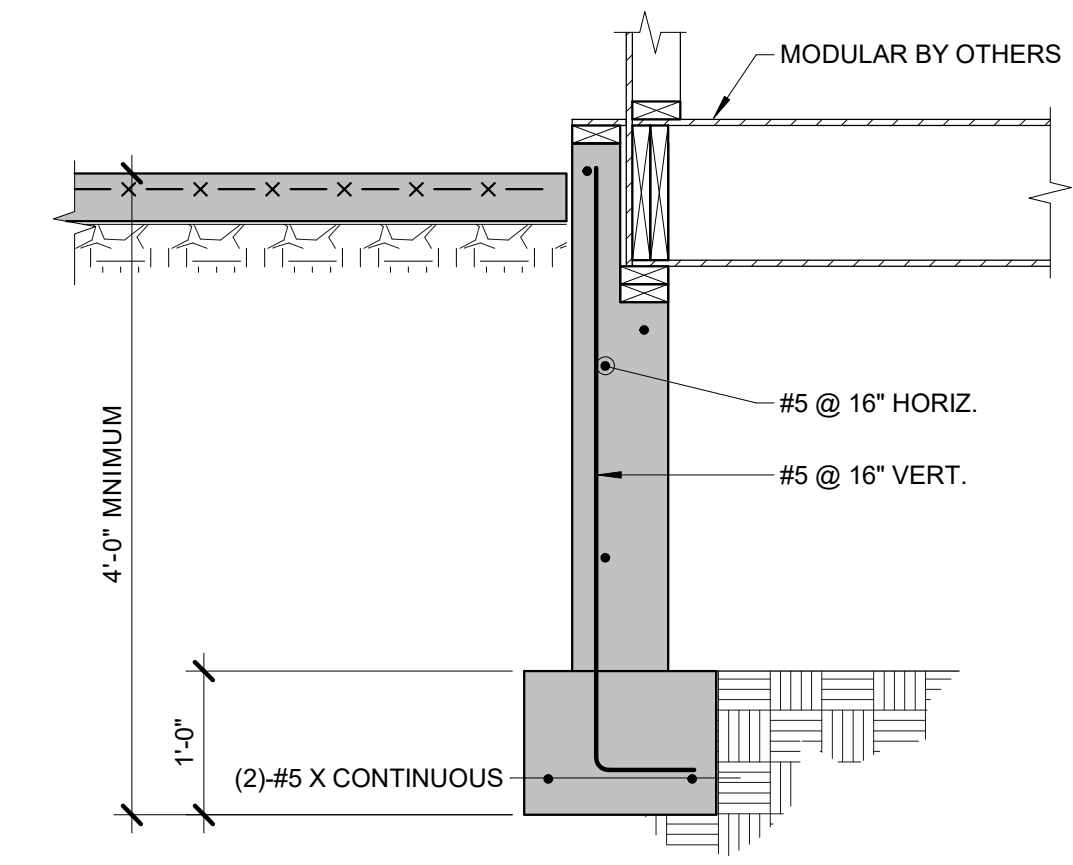
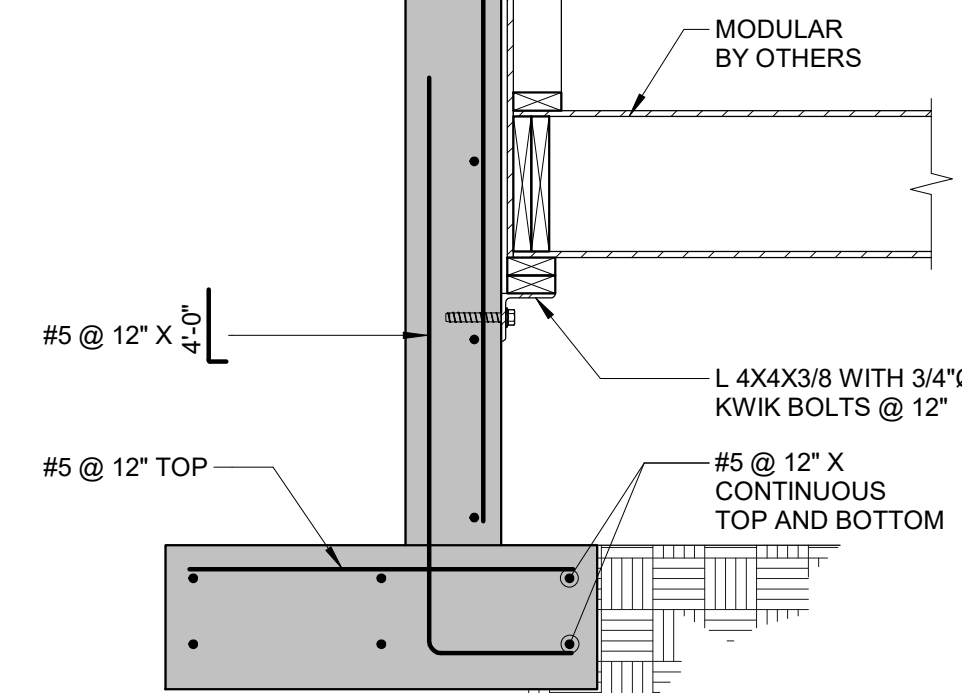
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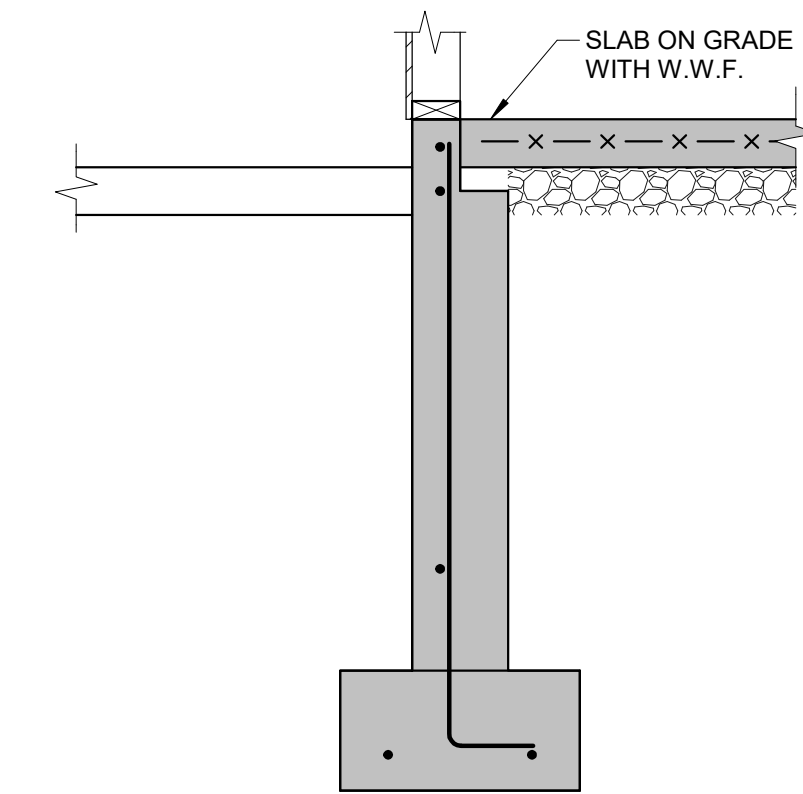
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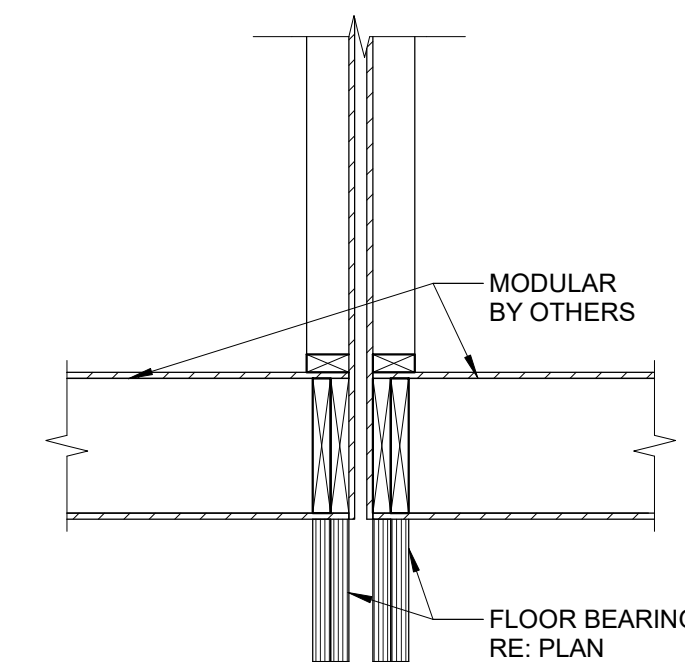
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3/4" = 1'-0"



**5 SECTION**  
3/4" = 1'-0"



**9 SECTION**  
3/4" = 1'-0"



**10 SECTION**  
3/4" = 1'-0"

Revisions:

Sheet title  
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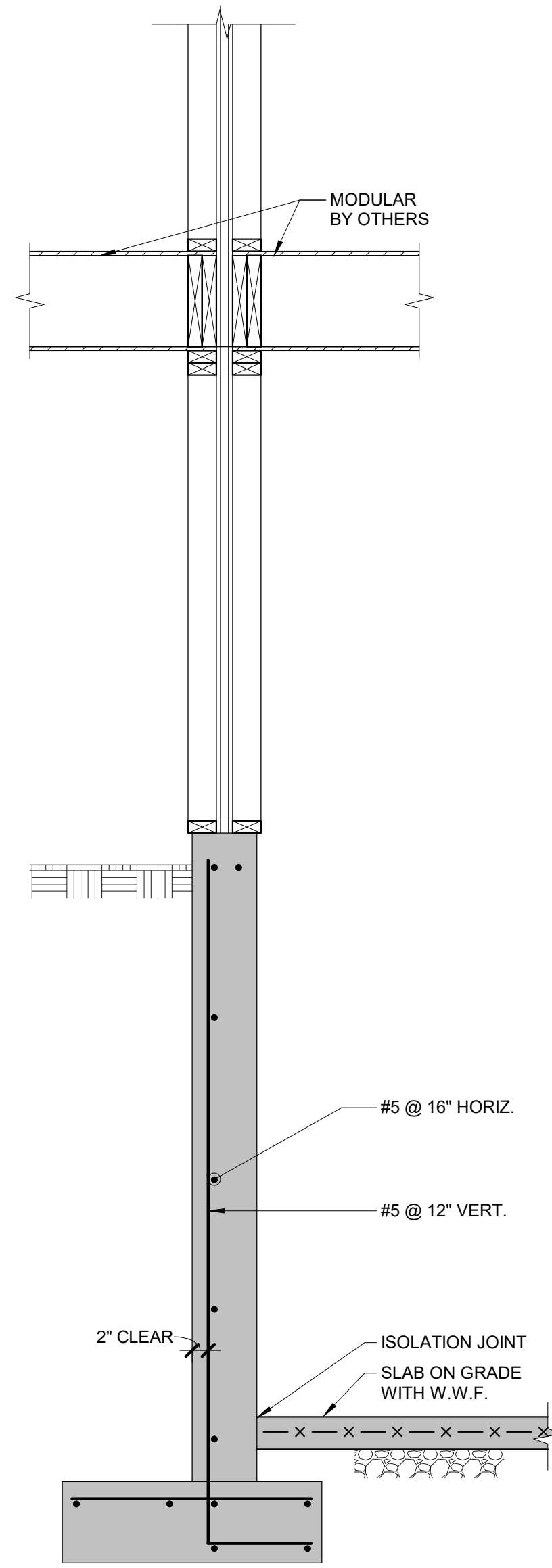
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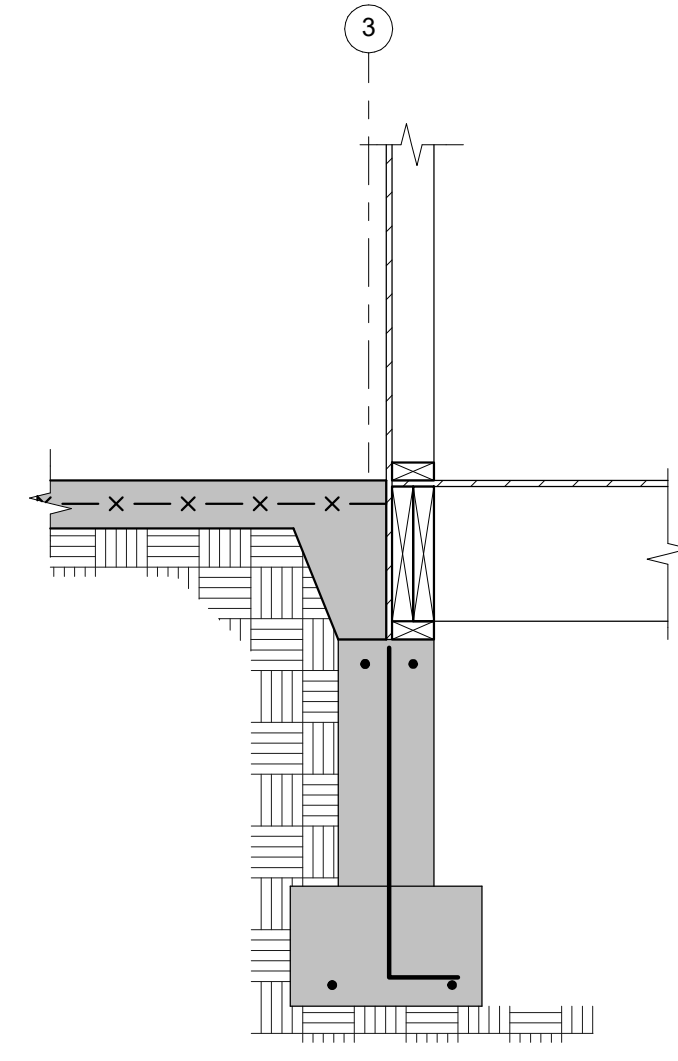
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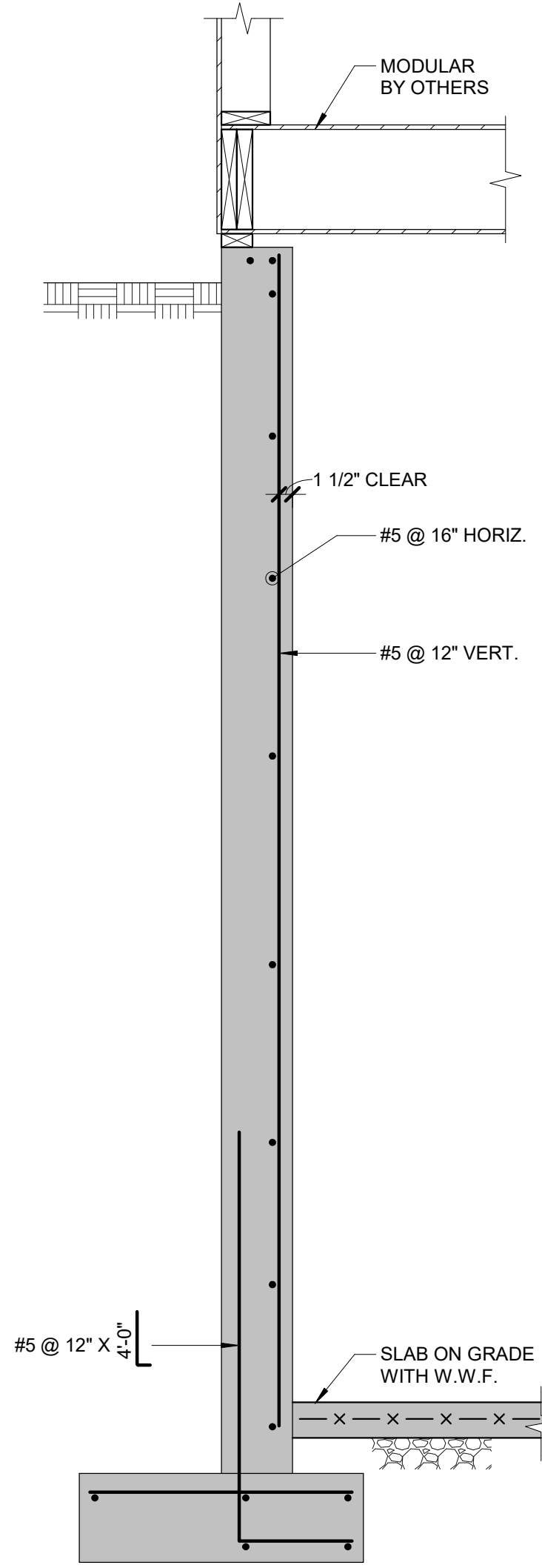




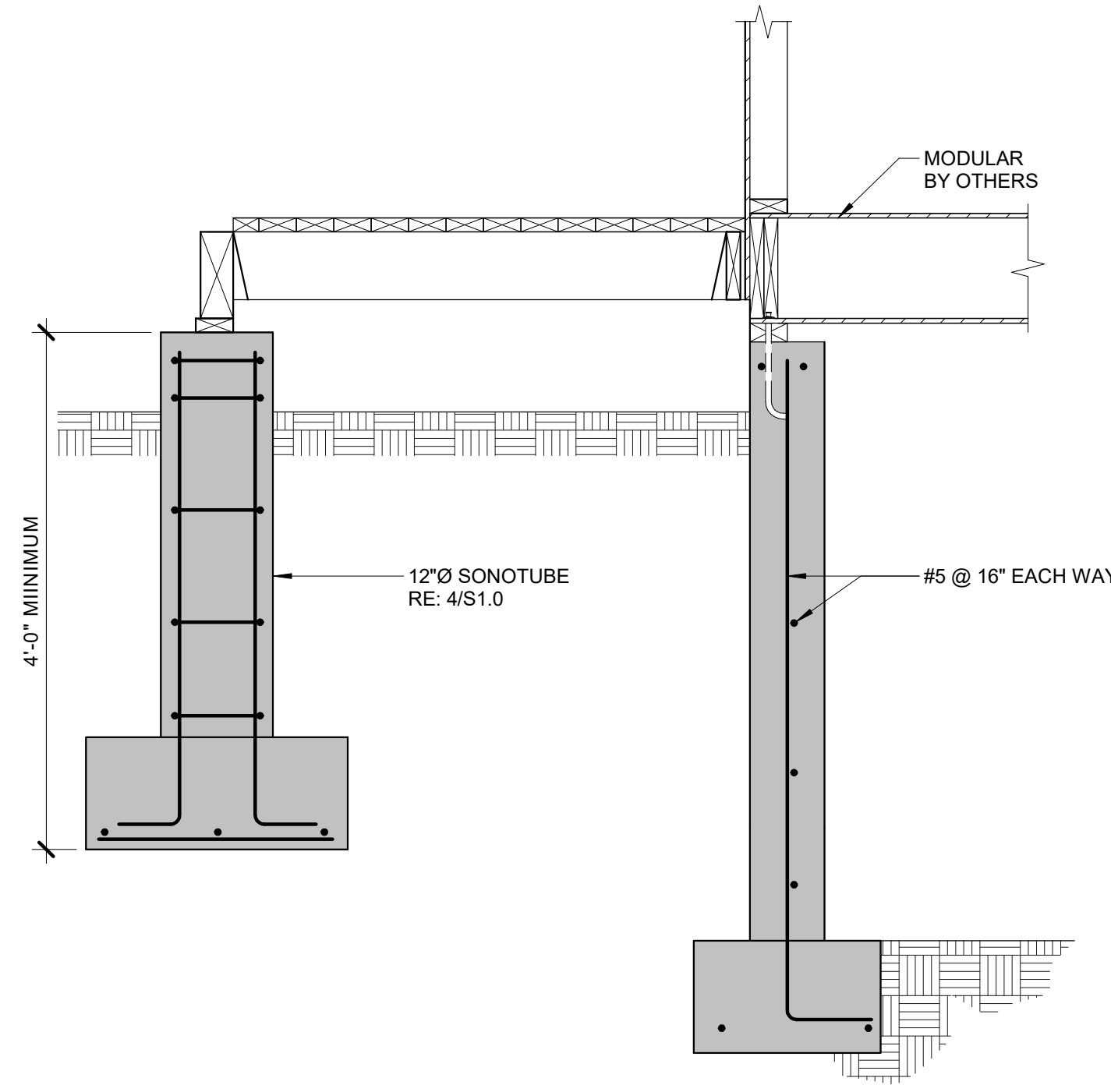
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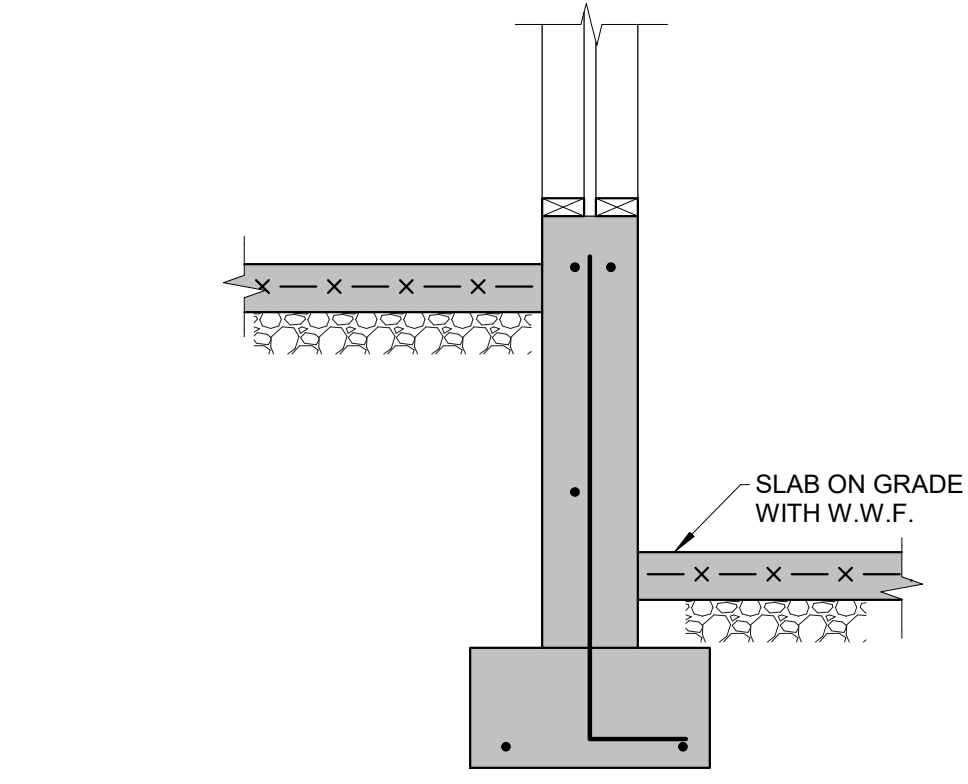
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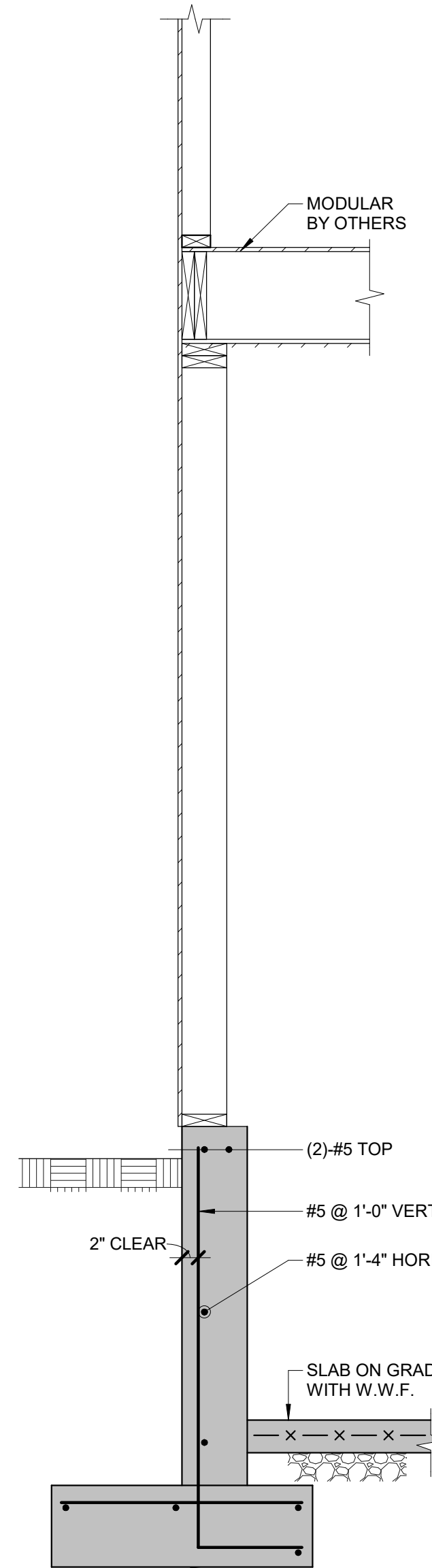
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3/4" = 1'-0"



**4 SECTION**  
3/4" = 1'-0"



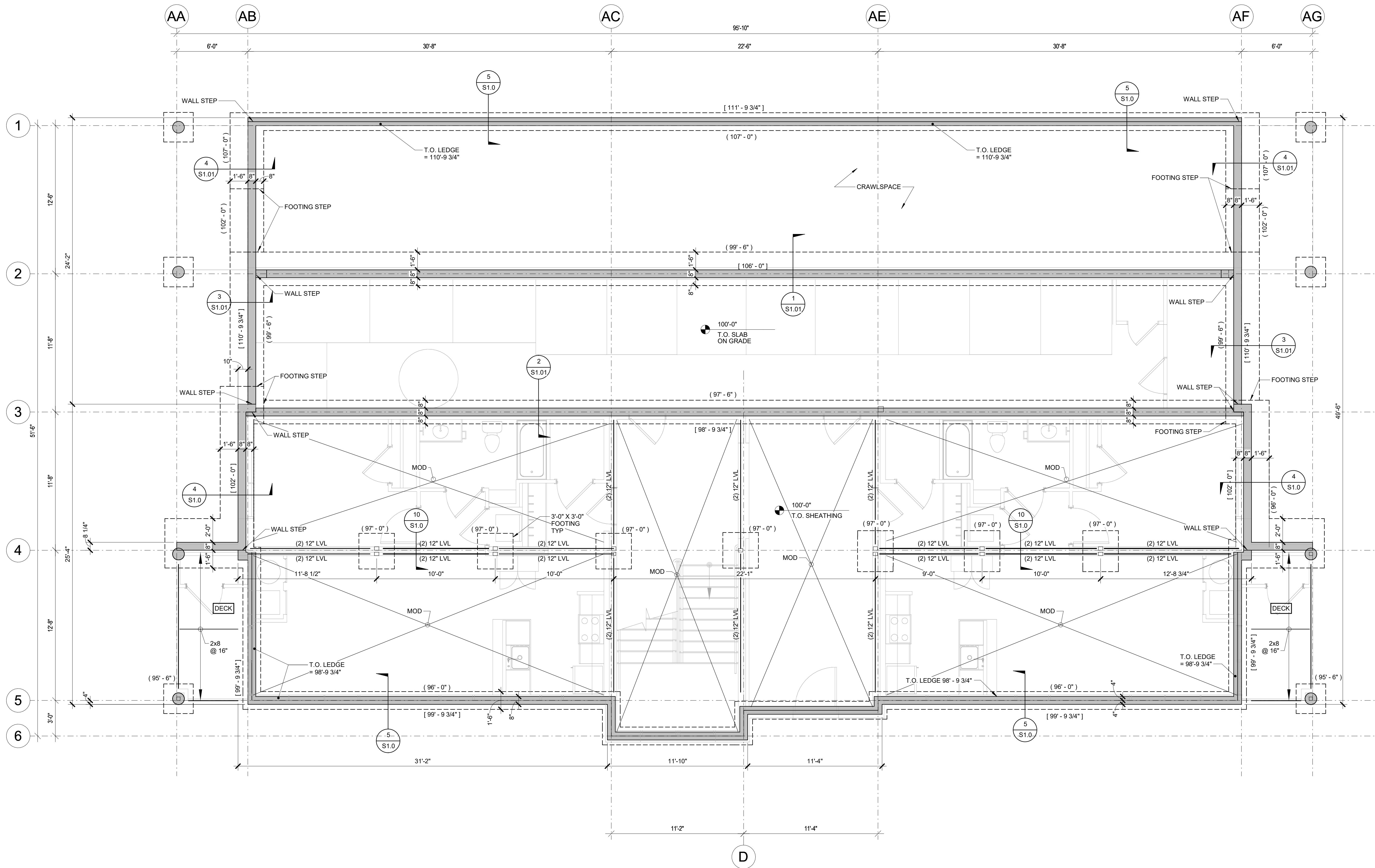
**5 SECTION**  
3/4" = 1'-0"



**6 SECTION**  
3/4" = 1'-0"

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Sheet title <b>SECTION</b>
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**1 BUILDING A - FOUNDATION PLAN**  
1/4" = 1'-0"

**FOUNDATION NOTES**

- DATUM ELEVATION 100'-0" EQUALS LEVEL FLOOR SHEATHING OR TOP OF CONCRETE SLAB ELEVATION. SEE CIVIL FOR USGS DATUM.
- ALL SLAB-ON-GRADES ARE 4" THICK WITH 6x6-W2.1 x W2.1 WWR, UON.
- ALL SLAB-ON-GRADES ARE 5" THICK WITH #4 AT 1'-4" EACH WAY, UON.
- CONTRACTOR TO COORDINATE ALL DIMENSIONS AND DETAILS WITH ARCHITECTURAL DRAWINGS
- GENERAL CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS LISTED IN SOILS REPORT.
- ALL CONCRETE WALLS ARE THICK, U.N.O.
- ALL SITE WALLS NOT SHOWN ON THIS PLAN SHALL BE BUILT PER ARCHITECTURAL LANDSCAPE PLANS, DETAILS, AND ELEVATIONS. SITE WALLS SHALL NOT BE CONNECTED TO THE BUILDING UNLESS NOTED OTHERWISE.

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**BUILDING A  
FOUNDATION  
PLAN**

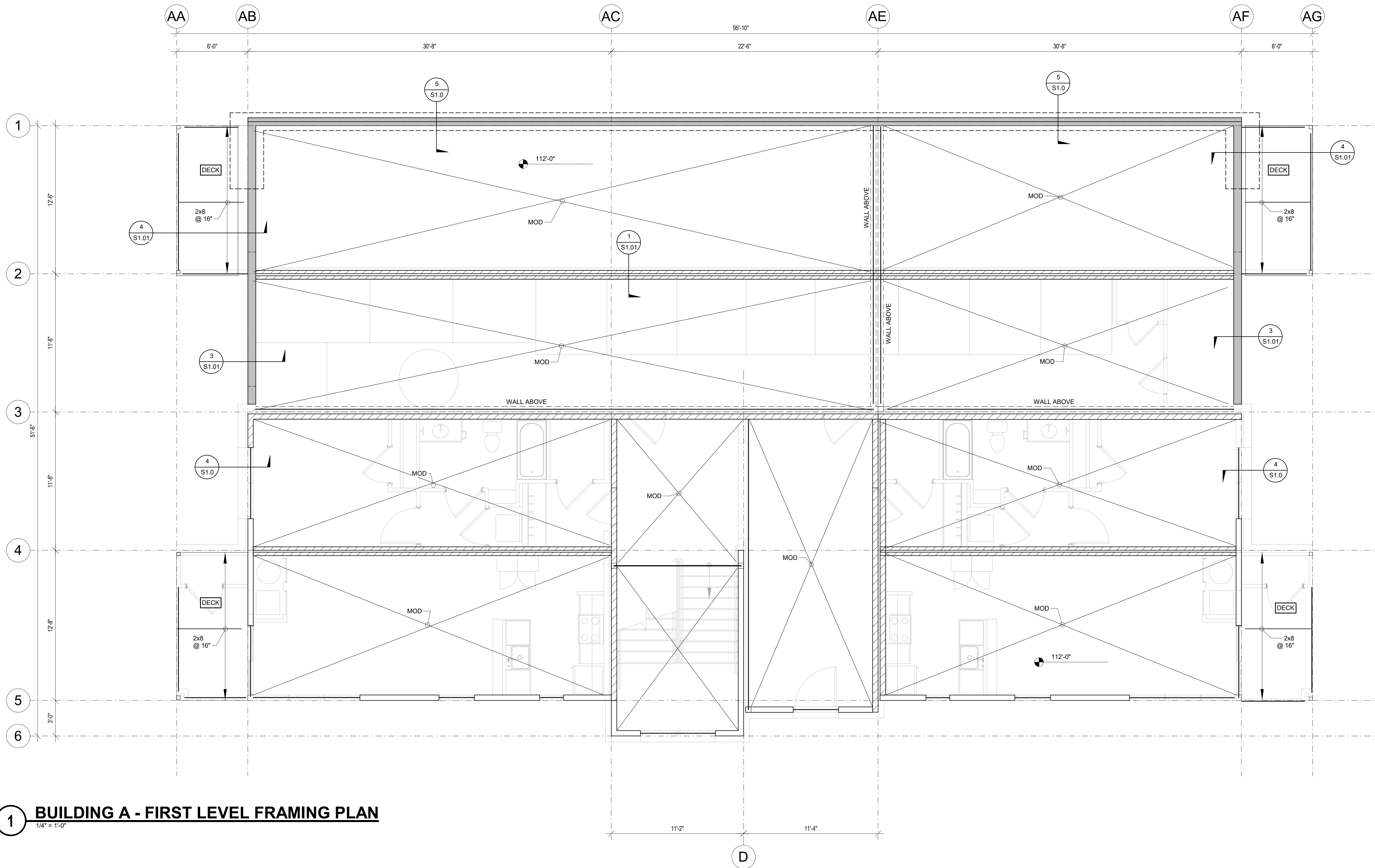
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**SA2.0**

Sheet





**1 BUILDING A - FIRST LEVEL FRAMING PLAN**  
1/4" = 1'-0"

- WOOD FLOOR FRAMING NOTES**
- SEE ARCHITECTURAL DRAWINGS FOR WALL AND OPENING LOCATIONS.
  - SEE ARCHITECTURAL DRAWINGS FOR T.O. TOP PLATE/TRUSS BEARING ELEVATION, UON.
  - FLOOR TRUSS/JOIST BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
  - ALL LOAD BEARING WALLS SHOWN ARE TO BE STACKED DIRECTLY ABOVE LOAD BEARING WALLS AND STEEL/WOOD BEAMS BELOW. NOTIFY THE STRUCTURAL ENGINEER OF ALL CONDITIONS WHERE WALLS DO NOT STACK FOR REVIEW AND RESPONSE.
  - ALL COLUMNS SHALL BE (3)-2X8 AT 2X6 WALLS OR (3)-2X4 AT 2X4 WALLS UON. PROVIDE (1) KING AND (2) TRIMMERS UON. COLUMNS SHALL BE CONTINUOUS FROM FLOOR TO FLOOR OR FLOOR TO ROOF.
  - CONTINUE ALL TRIMMERS/KING STUDS THROUGH THE FLOOR SYSTEM DOWN TO THE FOUNDATION. PROVIDE MINIMUM (2) STUDS, OR MATCH PLIES OF THE GRIDER TRUSS, FULL HEIGHT.
  - HEADERS SHALL BE (3)-2X8 AT 2X6 WALLS OR (2)-2X8 AT 2X4 WALLS UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" OR 3 1/2" WIDTH BY ADDING PLYWOOD OR INSULATION SPACERS AS REQUIRED.
  - ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS STUDS FROM FLOOR TO FLOOR OR FLOOR TO ROOF (INCLUDING RAKE WALLS).
  - STAGGER ALL SHEATHING JOINTS AND SILL PLATE NAILING.

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MOUNTAIN VILLAGE, COLORADO  
LOT 644

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**BUILDING A  
FIRST FLOOR  
FRAMING  
PLAN**

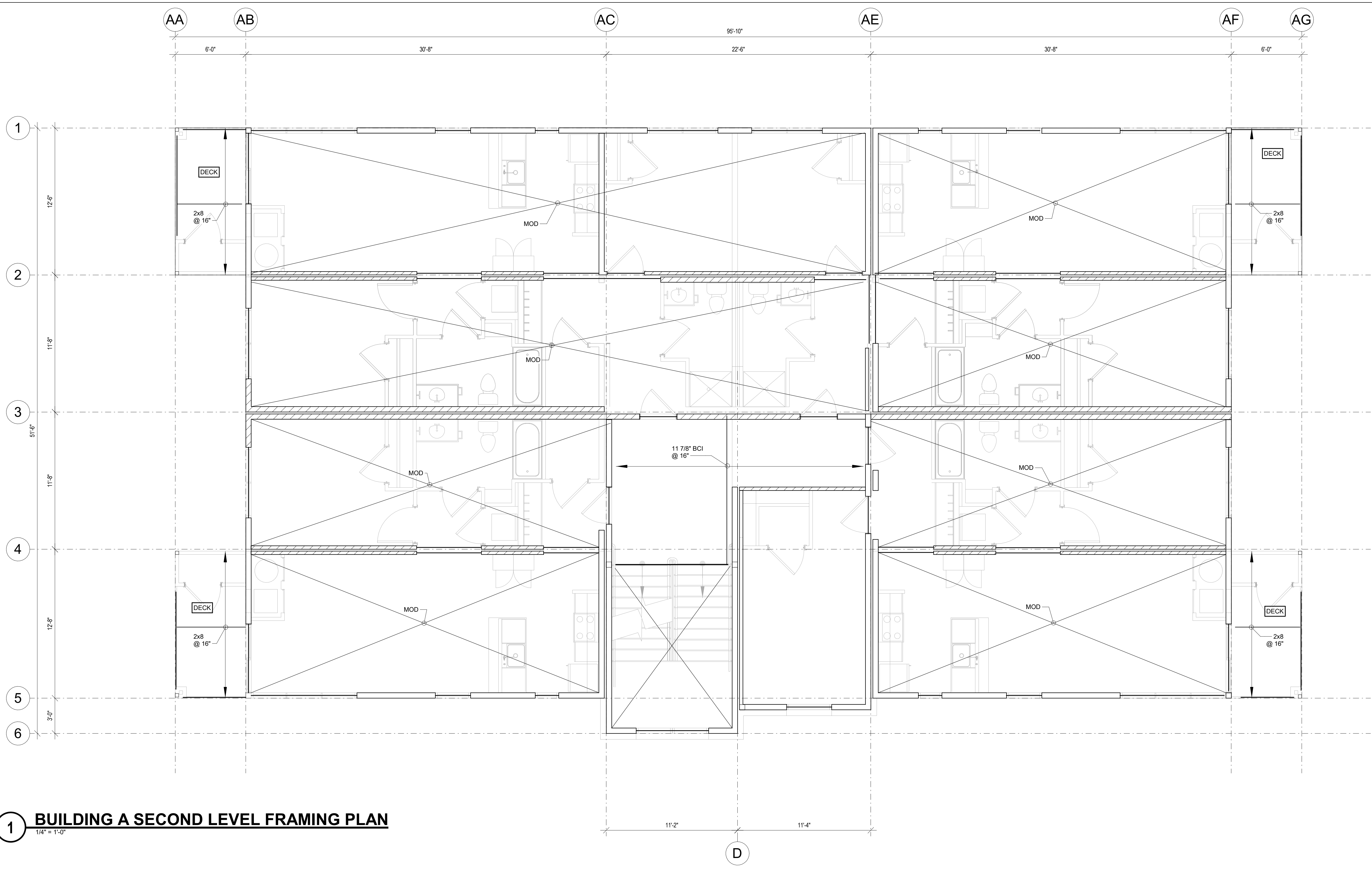
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**1 BUILDING A SECOND LEVEL FRAMING PLAN**  
 1/4" = 1'-0"



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Sheet title  
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 SECOND  
 LEVEL FLOOR  
 FRAMING  
 PLAN**

Stamp

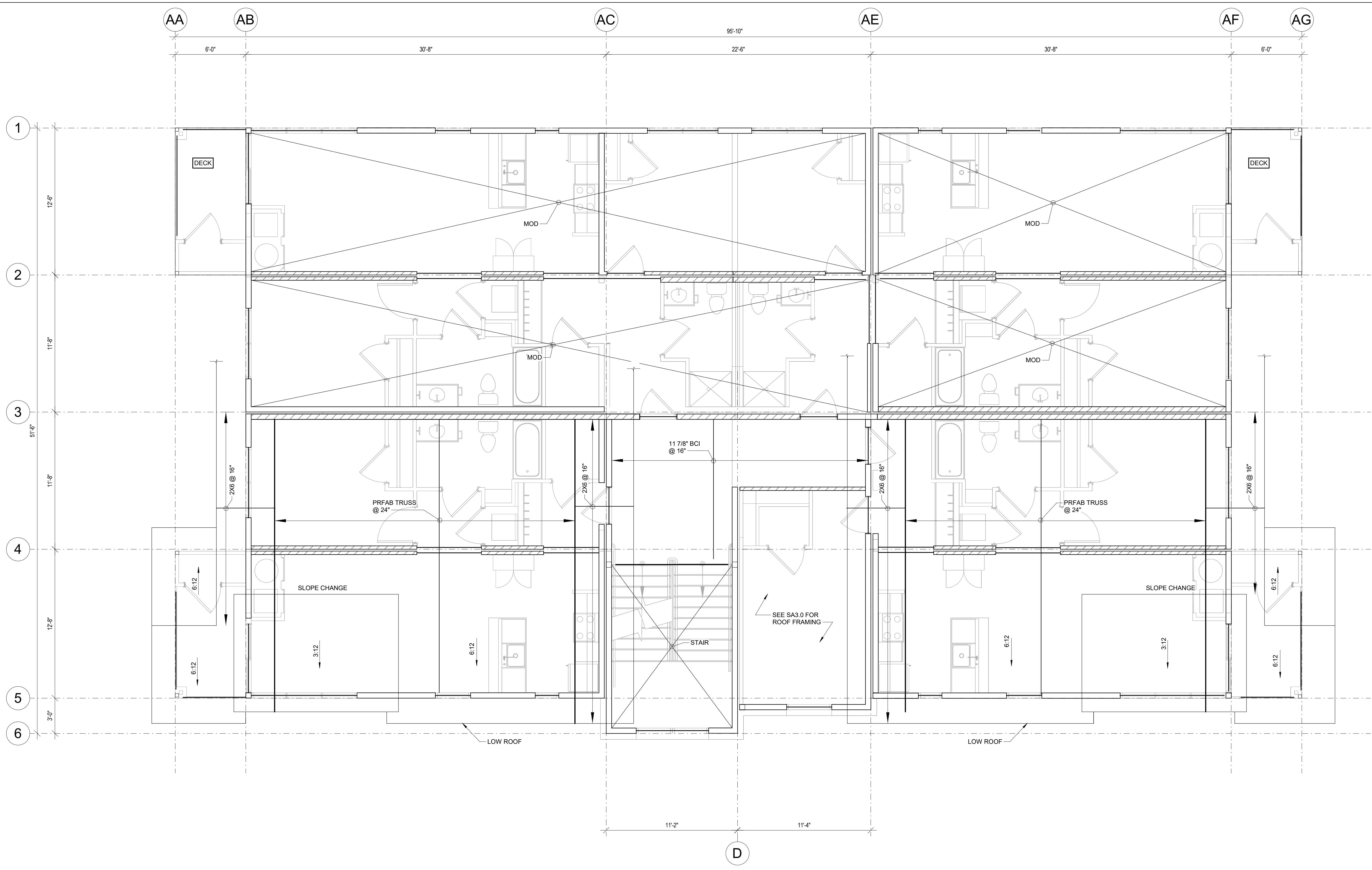
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**1 BUILDING A - THIRD LEVEL/LOW ROOF FRAMING PLAN**  
 1/4" = 1'-0"



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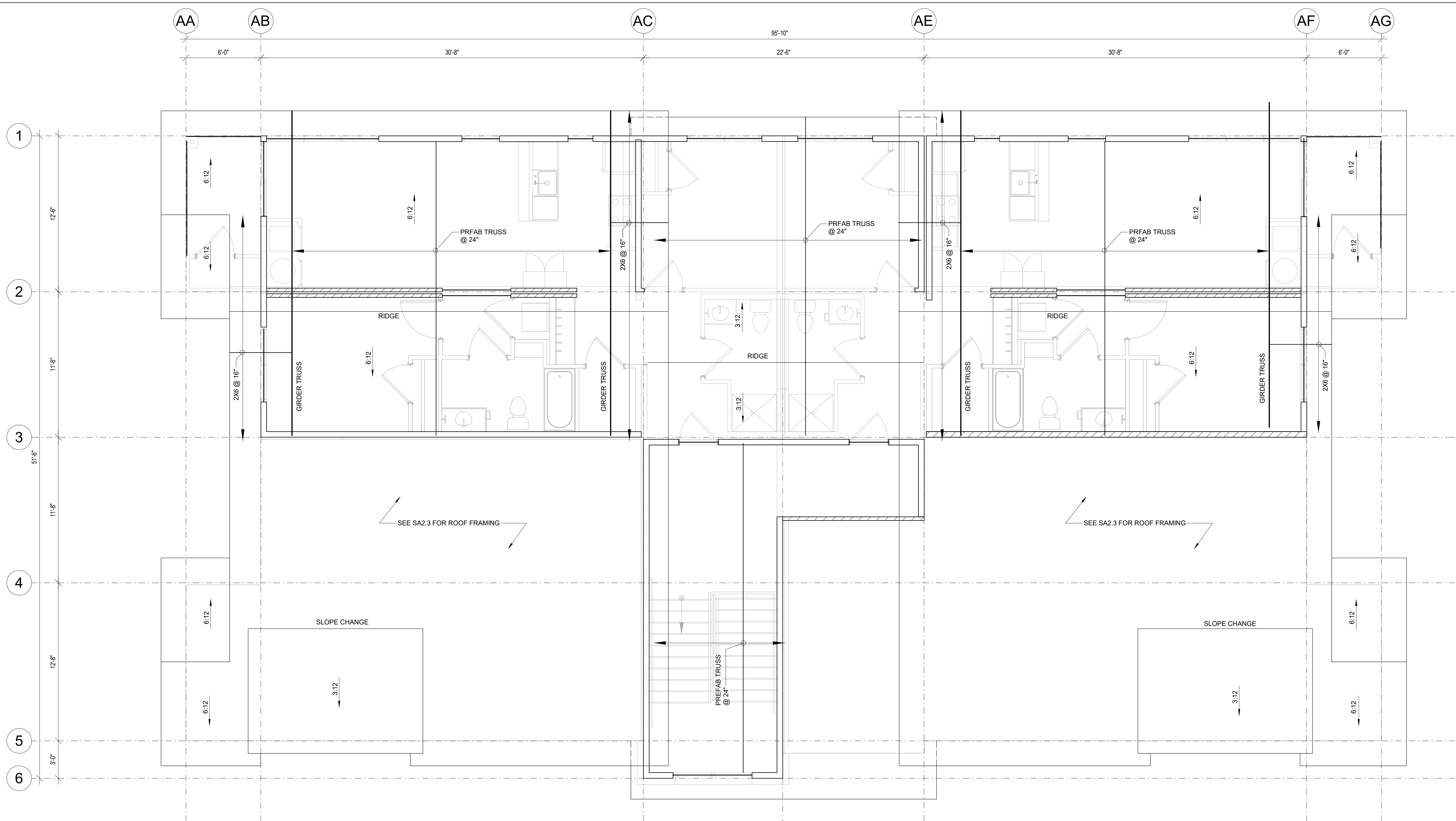
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**BUILDING A  
 THIRD FLOOR  
 PLAN**

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**1 BUILDING A - ROOF FRAMING PLAN**  
1/4" = 1'-0"

**WOOD ROOF FRAMING NOTES**

1. SEE ARCHITECTURAL DRAWINGS FOR WALL AND OPENING LOCATIONS.
2. SEE ARCHITECTURAL DRAWINGS FOR T.O. TOP PLATE/TRUSS BEARING ELEVATION, UON.
3. ROOF TRUSS/JOIST BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
4. GENERAL CONTRACTOR TO VERIFY ALL MECHANICAL EQUIPMENT WEIGHTS, SIZES, AND LOCATIONS PRIOR TO PREPARING SHOP DRAWINGS AND FABRICATING MATERIALS. CONTRACTOR TO COORDINATE ANY CHANGE WITH THE TRUSS SUPPLIER AND STRUCTURAL ENGINEER.
5. ALL LOAD BEARING WALLS SHOWN ARE TO BE STACKED DIRECTLY ABOVE LOAD BEARING WALLS AND STEEL/WOOD BEAMS BELOW. NOTIFY THE STRUCTURAL ENGINEER OF ALL CONDITIONS WHERE WALLS DO NOT STACK FOR REVIEW AND RESPONSE.
6. ALL COLUMNS SHALL BE (3)-2X6 AT 2X6 WALLS OR (3)-2X4 AT 2X4 WALLS UON. PROVIDE (1) KING AND (2) TRIMMERS UON. COLUMNS SHALL BE CONTINUOUS FROM FLOOR TO FLOOR OR FLOOR TO ROOF.
7. CONTINUE ALL TRIMMERS/KING STUDS THROUGH THE FLOOR SYSTEM DOWN TO THE FOUNDATION. PROVIDE MINIMUM (2) STUDS, OR MATCH PLIES OF THE GIRDER TRUSS, FULL HEIGHT. SEE X/X.
8. HEADERS SHALL BE (3)-2X10 AT 2X6 WALLS OR (2)-2X10 AT 2X4 WALLS UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" OR 3 1/2" WIDTH BY ADDING PLYWOOD OR INSULATION SPACERS AS REQUIRED.
9. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS STUDS FROM FLOOR TO FLOOR OR FLOOR TO ROOF (INCLUDING RAKE WALLS).
10. PROVIDE SIMPSON H2.5A ROOF TRUSS/JOIST TIES AT ALL ROOF TRUSS/JOIST BEARING LOCATIONS UON.
11. STAGGER ALL SHEATHING JOINTS AND SILL PLATE NAILING.
12. SEE ARCHITECTURAL DRAWINGS FOR CHIMNEY SIZES AND LOCATIONS NOT NOTED ON STRUCTURAL PLANS.
13. OVERFRAMING SHALL BE 2X6 MINIMUM AND SHALL BE POSTED DOWN TO MAIN FRAMING ON A GRID NOT TO EXCEED 4'-0" X 4'-0" (16FT SQUARE).

**PREFABRICATED ROOF TRUSS NOTES:**

1. PREFABRICATED ROOF TRUSS LOADS:  
LIVE LOADS AT TOP CHORD = 90 PSF\*  
LIVE LOADS AT BOTTOM CHORD = 0 PSF  
DEAD LOADS AT TOP CHORD = 15 PSF\*\*  
DEAD LOADS AT BOTTOM CHORD = 5 PSF\*\*  
WIND LOADS = SEE STRUCTURAL GENERAL NOTES  
(STRESS INCREASES OR LOAD REDUCTIONS ARE NOT PERMITTED.)  
\* PROVIDE ADDITIONAL LIVE LOAD DUE TO SNOW DRIFTING PER GENERAL NOTES AND ASCE 7-10.
- 2.
3. \*\* DEAD LOADS DO NOT ACCOUNT FOR SELF WEIGHT OF FLOOR TRUSS. TRUSS SUPPLIER TO ACCOUNT FOR SELF WEIGHT OF TRUSS IN CALCULATIONS.
4. ROOF TRUSS LIVE LOAD DEFLECTION SHALL NOT EXCEED 1" OR SPAN/480. TOTAL LOAD DEFLECTION SHALL NOT EXCEED SPAN/360. MAXIMUM DIFFERENTIAL DEFLECTION SHALL BE 1/2" MAXIMUM BETWEEN ADJACENT TRUSSES (LIVE LOAD ONLY OR TOTAL LOAD).
5. SHOP DRAWINGS SHALL BE SUPPLIED BY MANUFACTURER AND REVIEWED BY GENERAL CONTRACTOR, ARCHITECT AND STRUCTURAL ENGINEER.
6. THE TRUSS SUPPLIER SHALL BE RESPONSIBLE FOR THE FOLLOWING ITEMS:
  - a. ENGINEERING OF ALL TRUSSES AND CONNECTIONS, AND SHOWING OF ALL ON SHOP DRAWINGS.
  - b. DESIGN AND SUPPLY OF ALL TRUSS BEARING CONNECTORS AND HOLD DOWNS. (NOTE - TRUSS SUPPLIER SHALL NOT EXCEED F0 = 525 PSI TOP PLATE ALLOWABLE BEARING STRESS).
  - c. PLACING OF TRUSSES TO ACCOMMODATE MECHANICAL EQUIPMENT WITHOUT CUTTING TRUSSES.
7. SIMPSON H2.5A CLIP ANGLES SHALL BE INSTALLED AT ALL EXTERIOR WALL TRUSS BEARING LOCATIONS UNLESS NOTED OTHERWISE ON ROOF DETAILS.
8. TRUSS SUPPLIER TO CONFIRM ROOF AND CEILING SLOPES AND CONFIGURATION WITH ARCHITECTURAL DRAWINGS PRIOR TO FABRICATION.
9. CALCULATIONS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW BEFORE SUBMITTING TO THE BUILDING DEPARTMENT. THE TRUSS DESIGN SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO TRUSSES BEING INSTALLED.
10. DETAIL ALL PREFABRICATED TRUSSES TO BE ALIGNED WITH SUPPORTING WALL STUDS BELOW.



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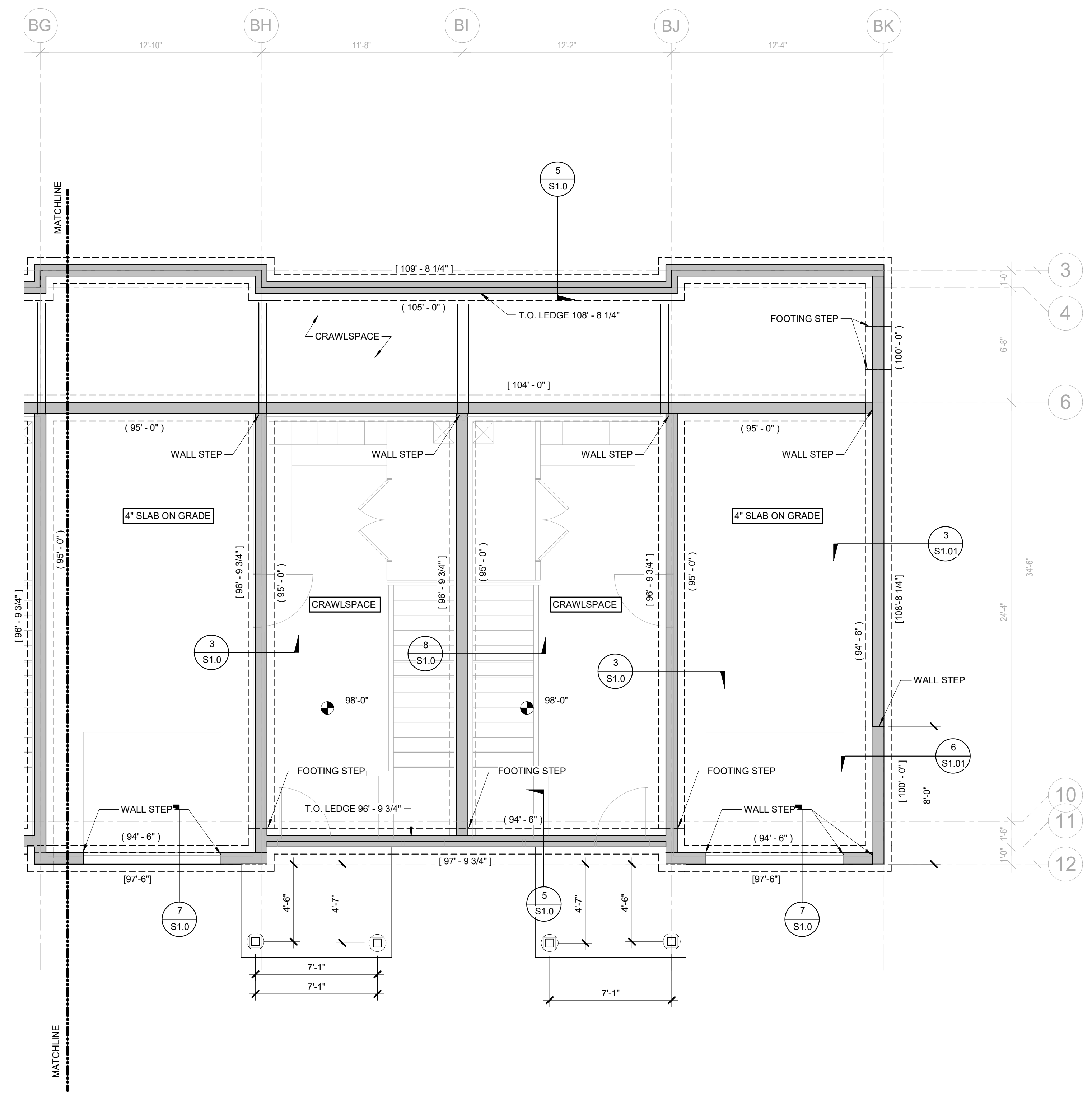
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Sheet title  
**BUILDING A ROOF PLAN**

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**1 BUILDING B - FOUNDATION PLAN AREA 1**  
 1/4" = 1'-0"

**FOUNDATION NOTES**

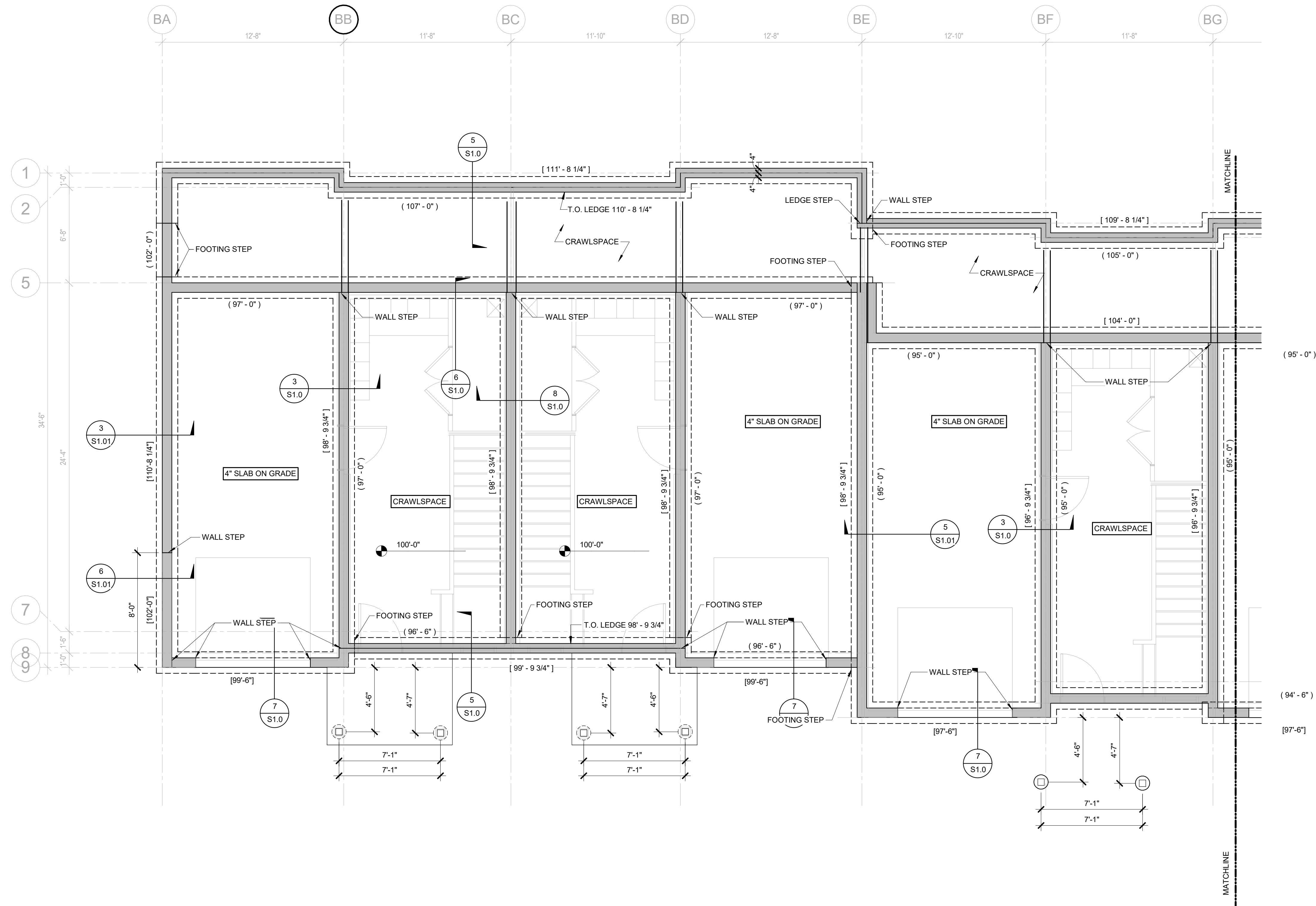
- DATUM ELEVATION 100'-0" EQUALS LEVEL FLOOR SHEATHING OR TOP OF CONCRETE SLAB ELEVATION. SEE CIVIL FOR USGS DATUM.
- ALL SLAB-ON-GRADES ARE 4" THICK WITH 6x6-W2.1 x W2.1 WWR, UON.
- ALL SLAB-ON-GRADES ARE 5" THICK WITH #4 AT 1'-4" EACH WAY, UON.
- CONTRACTOR TO COORDINATE ALL DIMENSIONS AND DETAILS WITH ARCHITECTURAL DRAWINGS.
- GENERAL CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS LISTED IN SOILS REPORT.
- ALL CONCRETE WALLS ARE THICK, U.N.O.
- ALL SITE WALLS NOT SHOWN ON THIS PLAN SHALL BE BUILT PER ARCHITECTURAL LANDSCAPE PLANS, DETAILS, AND ELEVATIONS. SITE WALLS SHALL NOT BE CONNECTED TO THE BUILDING UNLESS NOTED OTHERWISE.

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**1 BUILDING B - FOUNDATION PLAN AREA 2**  
1/4" = 1'-0"

**FOUNDATION NOTES**

- DATUM ELEVATION 100'-0" EQUALS LEVEL \_\_\_\_\_ FLOOR SHEATHING OR TOP OF CONCRETE SLAB ELEVATION. SEE CIVIL FOR USGS DATUM.
- ALL SLAB-ON-GRADES ARE 4" THICK WITH 6x6-W2.1 x W2.1 WWR, UON.
- ALL SLAB-ON-GRADES ARE 5" THICK WITH #4 AT 1'-4" EACH WAY, UON.
- CONTRACTOR TO COORDINATE ALL DIMENSIONS AND DETAILS WITH ARCHITECTURAL DRAWINGS
- GENERAL CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS LISTED IN SOILS REPORT.
- ALL CONCRETE WALLS ARE \_\_\_\_\_ THICK, U.N.O.
- ALL SITE WALLS NOT SHOWN ON THIS PLAN SHALL BE BUILT PER ARCHITECTURAL LANDSCAPE PLANS, DETAILS, AND ELEVATIONS. SITE WALLS SHALL NOT BE CONNECTED TO THE BUILDING UNLESS NOTED OTHERWISE.

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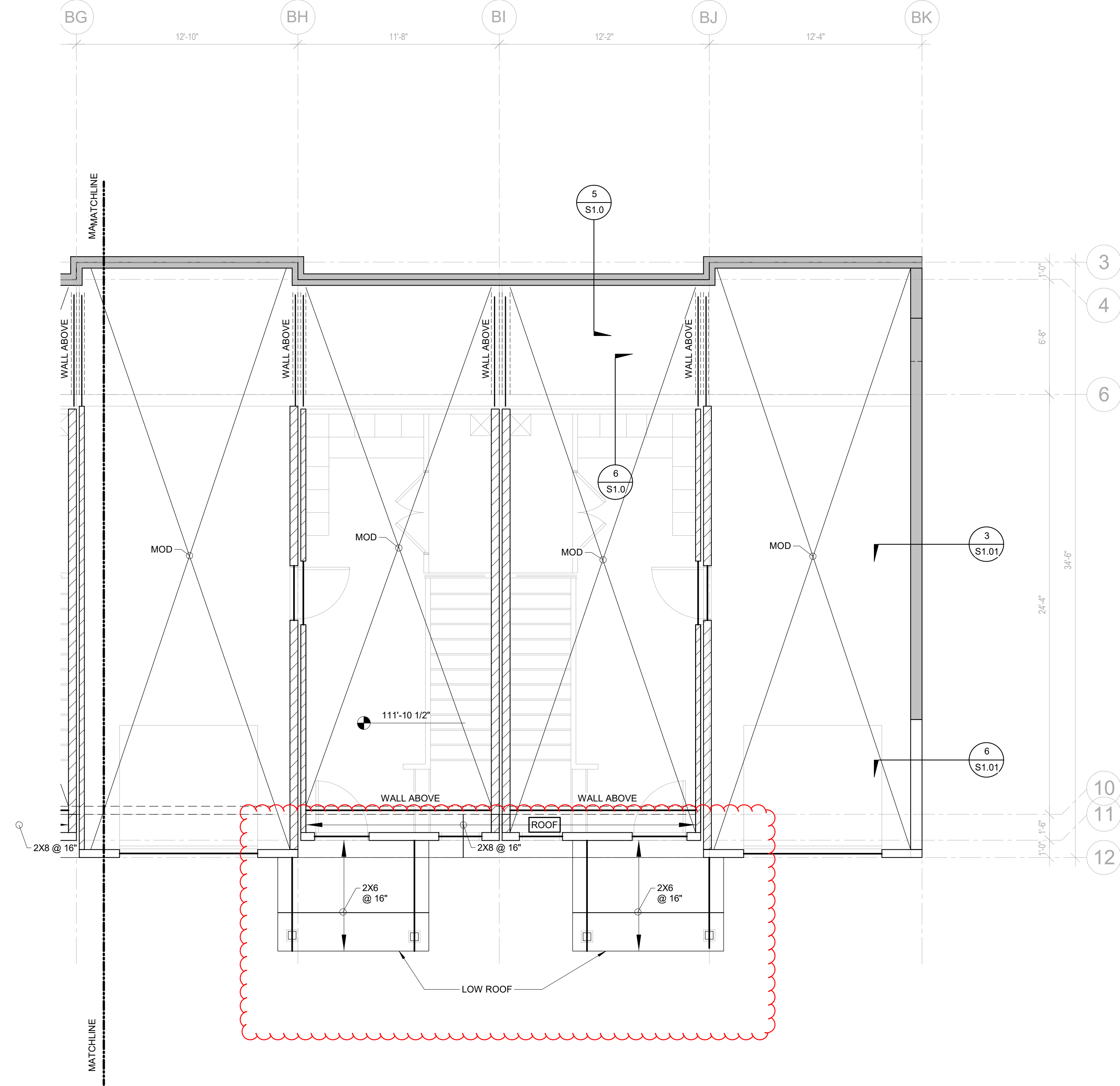
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Sheet **SB2.0(2)**





**1 BUILDING B - SECOND LEVEL FRAMING PLAN - AREA 1**  
 1/4" = 1'-0"

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Sheet **SB2.1(1)**

Sheet title  
**BUILDING B  
 SECOND  
 LEVEL  
 FRAMING  
 PLAN - AREA 1**

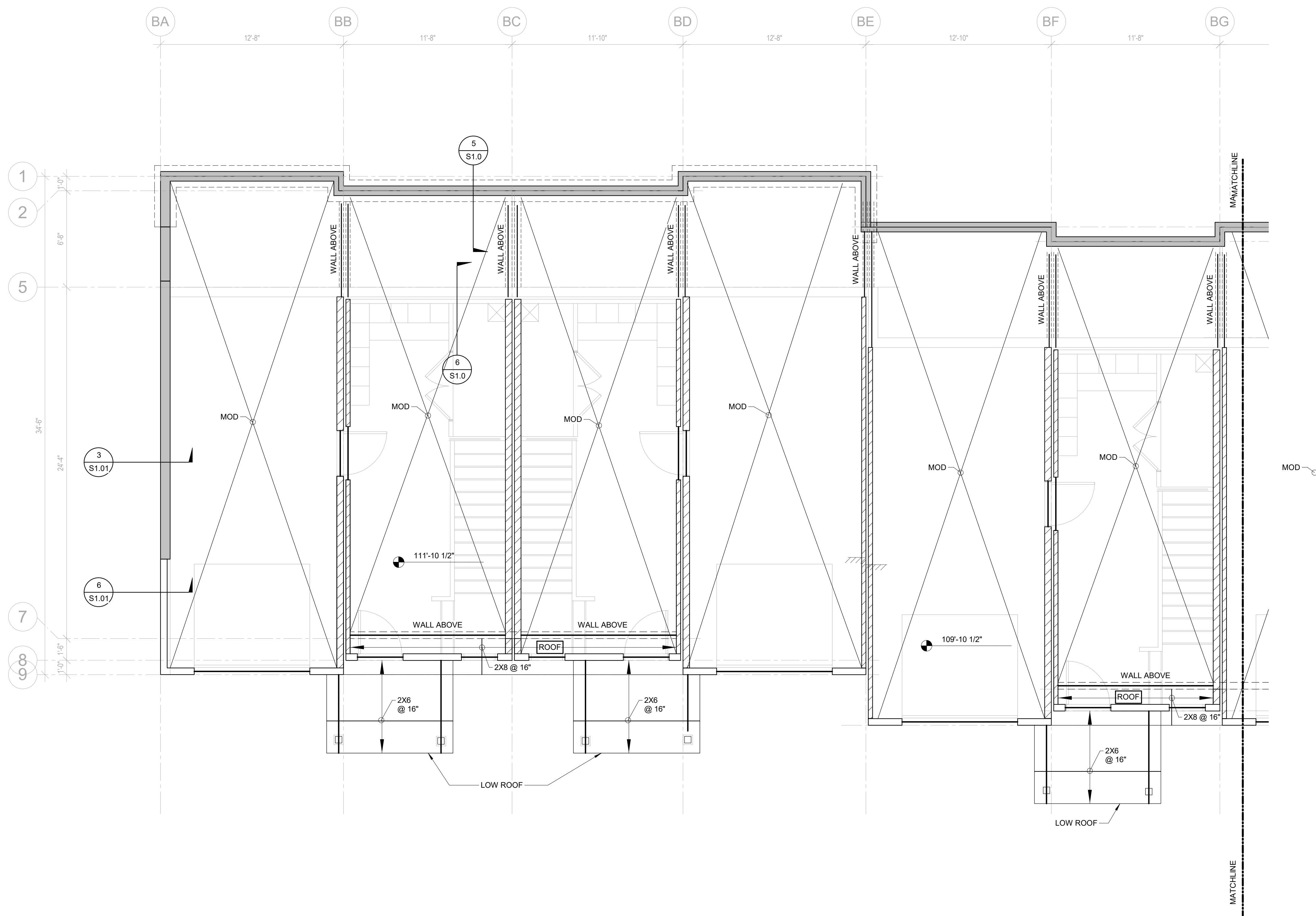
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**1 BUILDING B - SECOND LEVEL FRAMING PLAN - AREA 2**  
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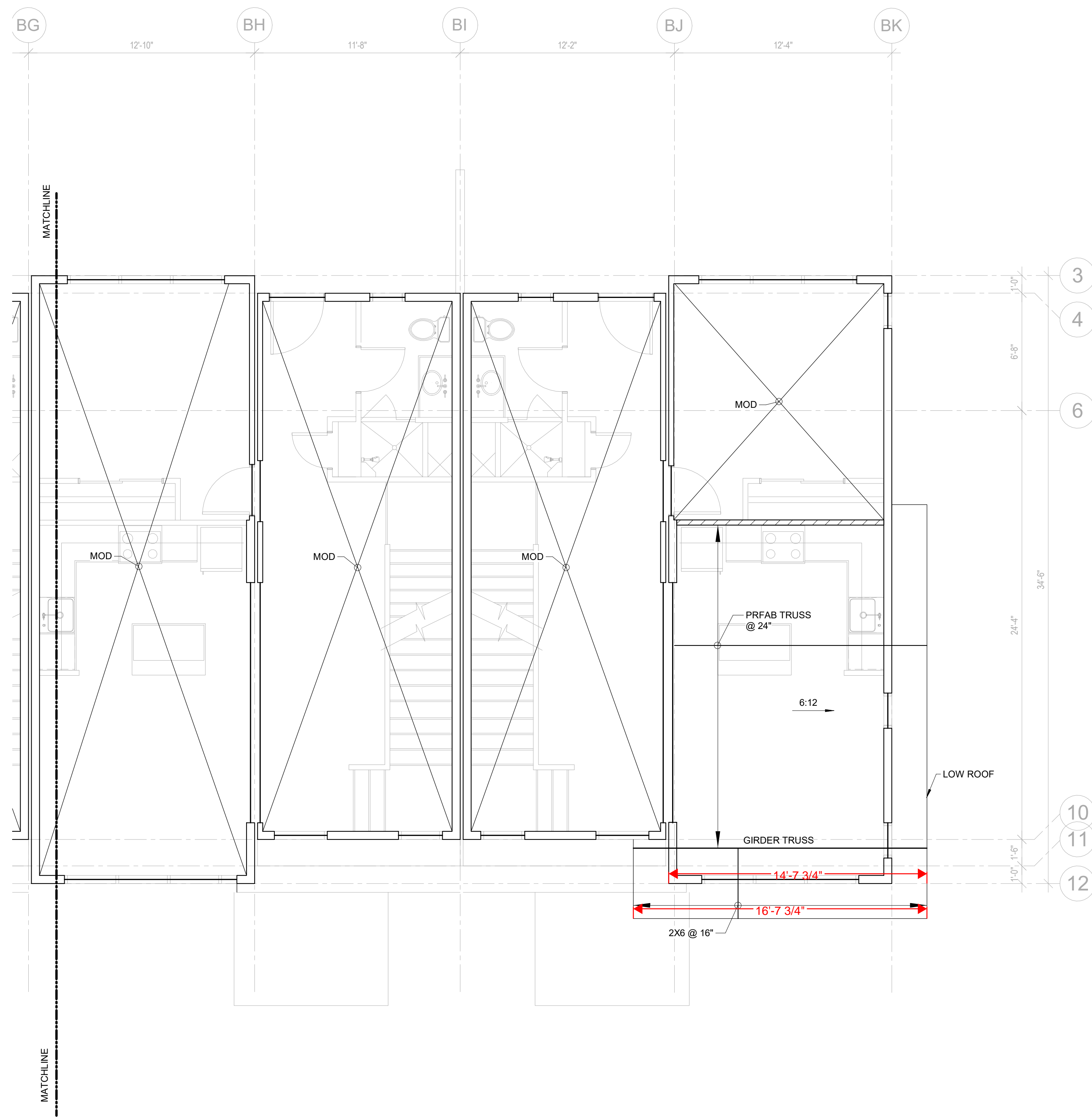
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 LEVEL 2  
 FRAMING  
 PLAN - AREA 2**

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**SB2.1(2)**





**1 BUILDING B - THIRD FLOOR FRAMING PLAN - AREA 1**  
1/4" = 1'-0"

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**SB2.2(1)**

Sheet title  
**BUILDING B  
THIRD LEVEL  
FRAMING  
PLAN AREA 1**

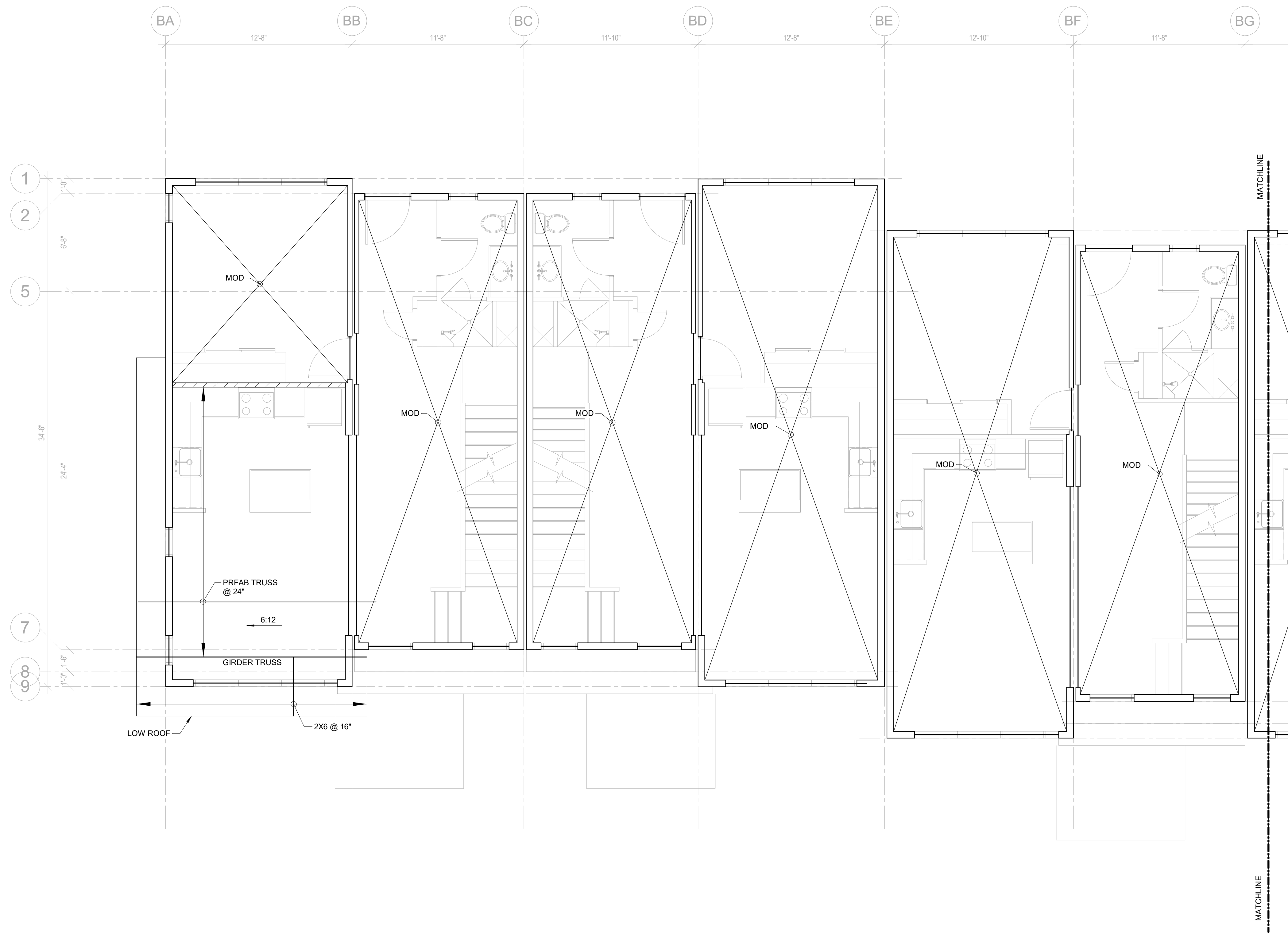
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**1 BUILDING B - THIRD FLOOR FRAMING PLAN - AREA 2**  
 1/4" = 1'-0"

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Sheet title  
**BUILDING B  
 THIRD LEVEL  
 FRAMING  
 PLAN AREA 2**

Revisions:

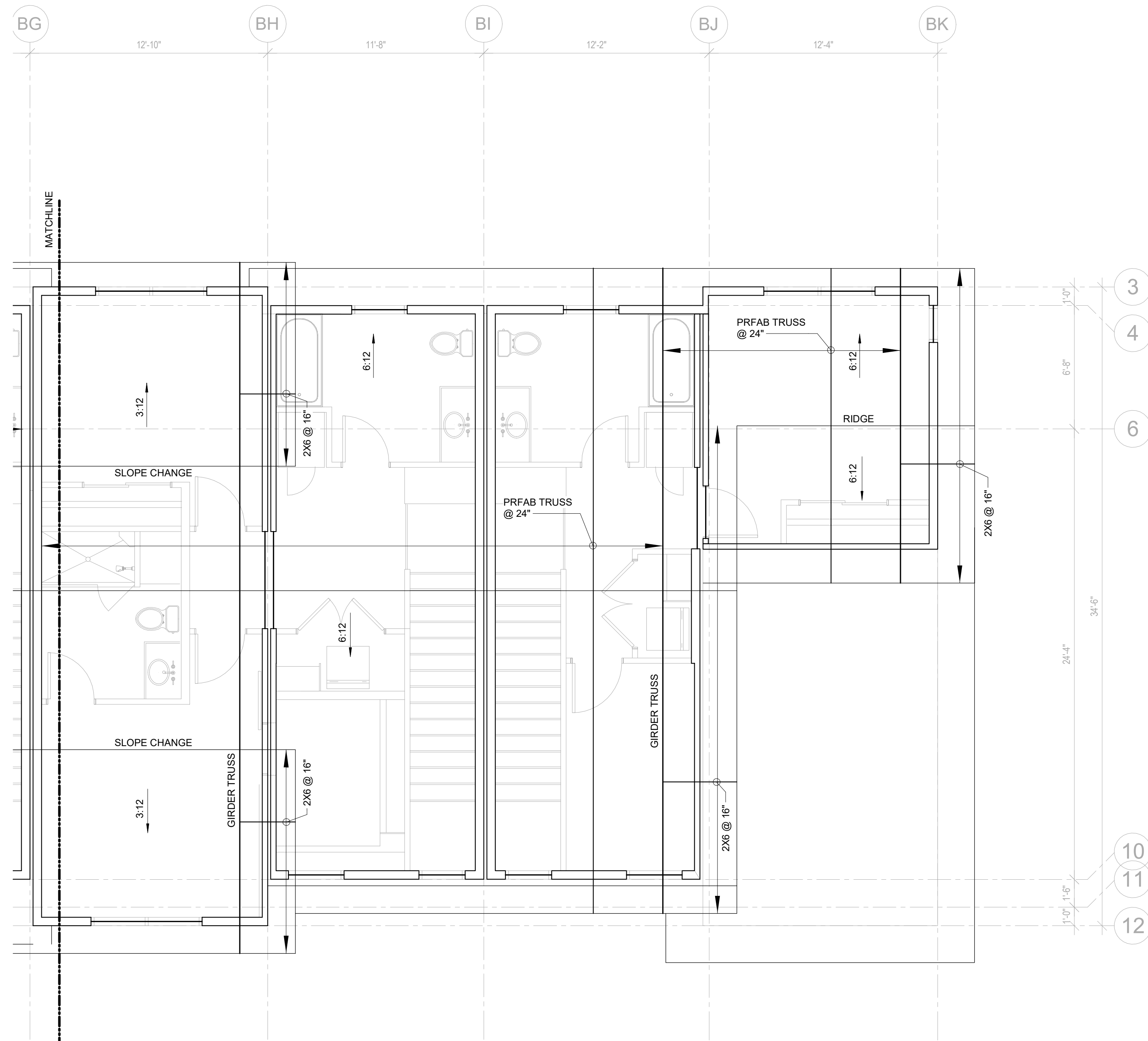
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 NEIGHBORHOOD**  
 LOT 644  
 MOUNTAIN VILLAGE, COLORADO

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Sheet  
**SB2.2(2)**





**1 BUILDING B - ROOF FRAMING PLAN - AREA 1**  
1/4" = 1'-0"

**WOOD ROOF FRAMING NOTES**

- SEE ARCHITECTURAL DRAWINGS FOR WALL AND OPENING LOCATIONS.
- SEE ARCHITECTURAL DRAWINGS FOR T.O. TOP PLATE/TRUSS BEARING ELEVATION, UON.
- ROOF TRUSS/JOIST BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
- GENERAL CONTRACTOR TO VERIFY ALL MECHANICAL EQUIPMENT WEIGHTS, SIZES, AND LOCATIONS PRIOR TO PREPARING SHOP DRAWINGS AND FABRICATING MATERIALS. CONTRACTOR TO COORDINATE ANY CHANGE WITH THE TRUSS SUPPLIER AND STRUCTURAL ENGINEER.
- ALL LOAD BEARING WALLS SHOWN ARE TO BE STACKED DIRECTLY ABOVE LOAD BEARING WALLS AND STEEL/WOOD BEAMS BELOW. NOTIFY THE STRUCTURAL ENGINEER OF ALL CONDITIONS WHERE WALLS DO NOT STACK FOR REVIEW AND RESPONSE.
- ALL COLUMNS SHALL BE (3)-2X6 AT 2X6 WALLS OR (3)-2X4 AT 2X4 WALLS UON. PROVIDE (1) KING AND (2) TRIMMERS UON. COLUMNS SHALL BE CONTINUOUS FROM FLOOR TO FLOOR OR FLOOR TO ROOF.
- CONTINUE ALL TRIMMERS/KING STUDS THROUGH THE FLOOR SYSTEM DOWN TO THE FOUNDATION. PROVIDE MINIMUM (2) STUDS, OR MATCH PLYS OF THE GIRDER TRUSS, FULL HEIGHT. SEE XIX.
- HEADERS SHALL BE (3)-2X10 AT 2X6 WALLS OR (2)-2X10 AT 2X4 WALLS UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" OR 3 1/2" WIDTH BY ADDING PLYWOOD OR INSULATION SPACERS AS REQUIRED.
- ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS STUDS FROM FLOOR TO FLOOR OR FLOOR TO ROOF (INCLUDING RAKE WALLS).
- PROVIDE SIMPSON H2.5A ROOF TRUSS/JOIST TIES AT ALL ROOF TRUSS/JOIST BEARING LOCATIONS UON.
- STAGGER ALL SHEATHING JOINTS AND SILL PLATE NAILING.
- SEE ARCHITECTURAL DRAWINGS FOR CHIMNEY SIZES AND LOCATIONS NOT NOTED ON STRUCTURAL PLANS.
- OVERFRAMING SHALL BE 2X6 MINIMUM AND SHALL BE POSTED DOWN TO MAIN FRAMING ON A GRID NOT TO EXCEED 4'-0" X 4'-0" (16FT SQUARE).

**PREFABRICATED ROOF TRUSS NOTES:**

- PREFABRICATED ROOF TRUSS LOADS:  
LIVE LOADS AT TOP CHORD = 90 PSF\*  
LIVE LOADS AT BOTTOM CHORD = 0 PSF  
DEAD LOADS AT TOP CHORD = 15 PSF\*\*  
DEAD LOADS AT BOTTOM CHORD = 5 PSF\*\*  
WIND LOADS = SEE STRUCTURAL GENERAL NOTES  
(STRESS INCREASES OR LOAD REDUCTIONS ARE NOT PERMITTED.)  
\* PROVIDE ADDITIONAL LIVE LOAD DUE TO SNOW DRIFTING PER GENERAL NOTES AND ASCE 7-10.
- \*\* DEAD LOADS DO NOT ACCOUNT FOR SELF WEIGHT OF FLOOR TRUSS. TRUSS SUPPLIER TO ACCOUNT FOR SELF WEIGHT OF TRUSS IN CALCULATIONS.
- ROOF TRUSS LIVE LOAD DEFLECTION SHALL NOT EXCEED 1" OR SPAN/480. TOTAL LOAD DEFLECTION SHALL NOT EXCEED SPAN/360. MAXIMUM DIFFERENTIAL DEFLECTION SHALL BE 1/2" MAXIMUM BETWEEN ADJACENT TRUSSES (LIVE LOAD ONLY OR TOTAL LOAD).
- SHOP DRAWINGS SHALL BE SUPPLIED BY MANUFACTURER AND REVIEWED BY GENERAL CONTRACTOR, ARCHITECT AND STRUCTURAL ENGINEER.
- THE TRUSS SUPPLIER SHALL BE RESPONSIBLE FOR THE FOLLOWING ITEMS:  
a. ENGINEERING OF ALL TRUSSES AND CONNECTIONS, AND SHOWING OF ALL ON SHOP DRAWINGS.  
b. DESIGN AND SUPPLY OF ALL TRUSS BEARING CONNECTORS AND HOLD DOWNS. (NOTE - TRUSS SUPPLIER SHALL NOT EXCEED F0 = 525 PSI TOP PLATE ALLOWABLE BEARING STRESS).  
c. PLACING OF TRUSSES TO ACCOMMODATE MECHANICAL EQUIPMENT WITHOUT CUTTING TRUSSES.
- SIMPSON H2.5A CLIP ANGLES SHALL BE INSTALLED AT ALL EXTERIOR WALL TRUSS BEARING LOCATIONS UNLESS NOTED OTHERWISE ON ROOF DETAILS.
- TRUSS SUPPLIER TO CONFIRM ROOF AND CEILING SLOPES AND CONFIGURATION WITH ARCHITECTURAL DRAWINGS PRIOR TO FABRICATION.
- CALCULATIONS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW BEFORE SUBMITTING TO THE BUILDING DEPARTMENT. THE TRUSS DESIGN SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO TRUSSES BEING INSTALLED.

10. DETAIL ALL PREFABRICATED TRUSSES TO BE ALIGNED WITH SUPPORTING WALL STUDS BELOW.

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LOT 644

Revisions:

Sheet title  
**BUILDING B - ROOF FRAMING PLAN - AREA 1**

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Sheet **SB3.0(1)**



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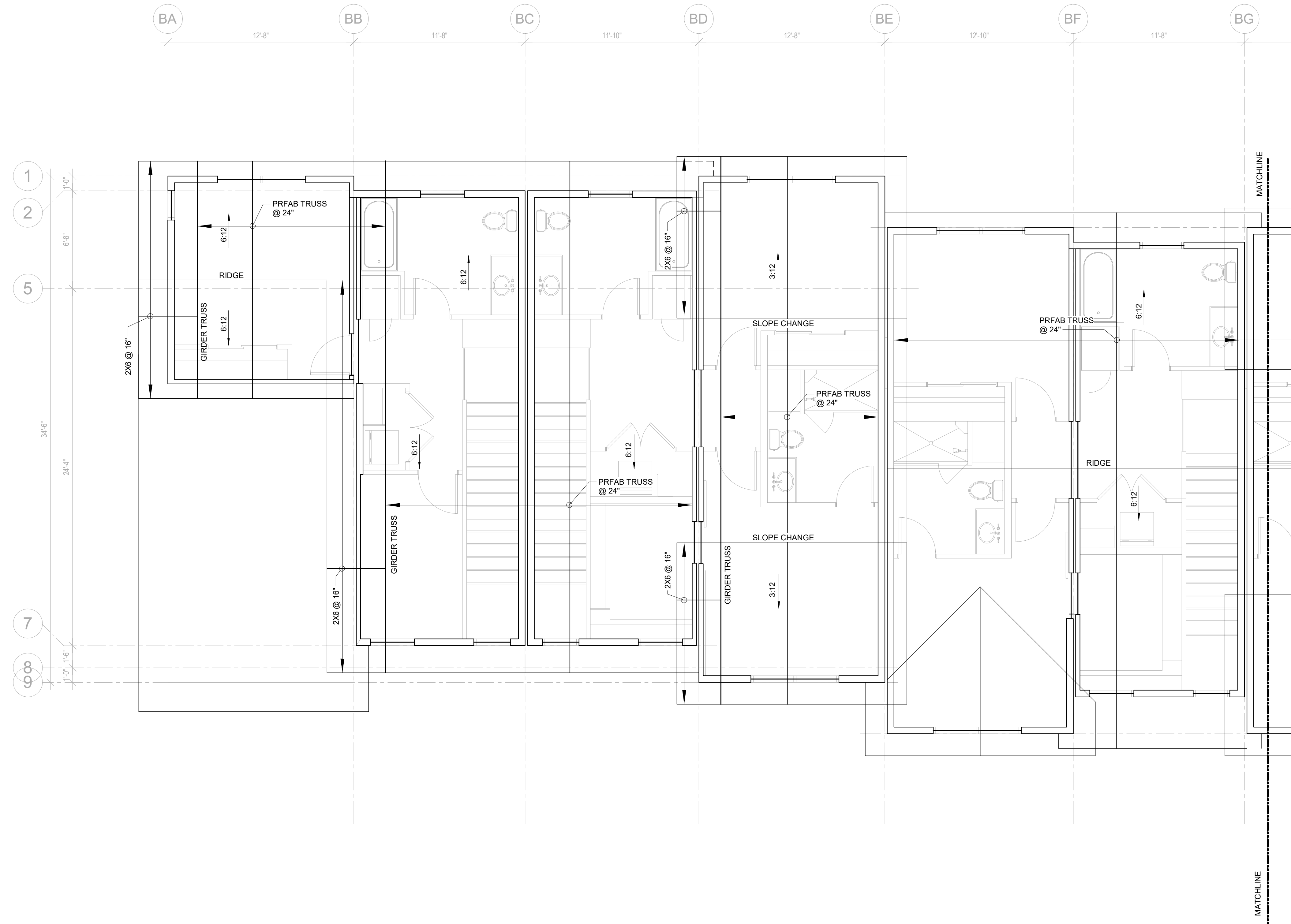
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**SB3.0(2)**

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**1 BUILDING B - ROOF FRAMING PLAN - AREA 2**  
 1/4" = 1'-0"

**WOOD ROOF FRAMING NOTES**

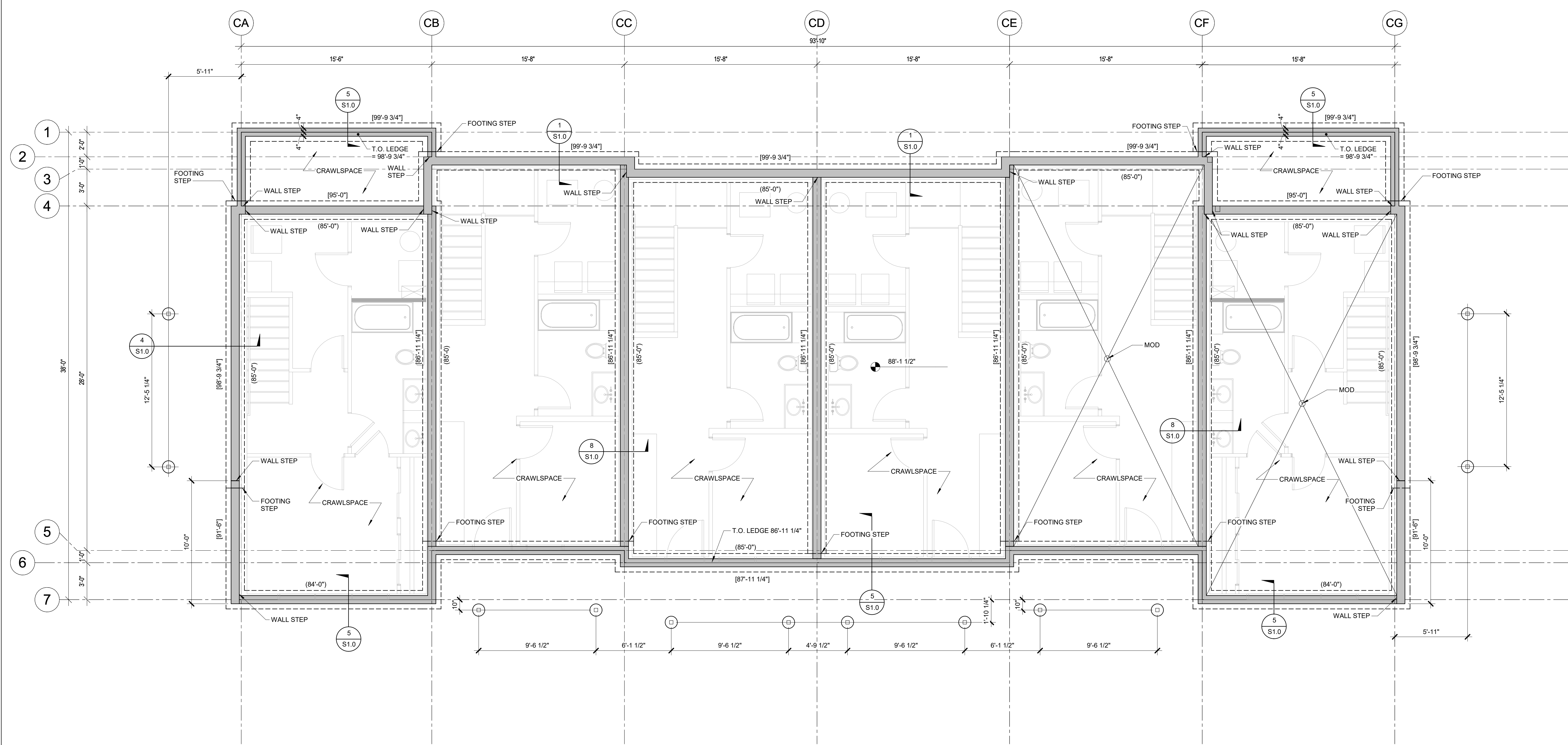
- SEE ARCHITECTURAL DRAWINGS FOR WALL AND OPENING LOCATIONS.
- SEE ARCHITECTURAL DRAWINGS FOR T.O. TOP PLATE/TRUSS BEARING ELEVATION, UON.
- ROOF TRUSS/JOIST BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
- GENERAL CONTRACTOR TO VERIFY ALL MECHANICAL EQUIPMENT WEIGHTS, SIZES, AND LOCATIONS PRIOR TO PREPARING SHOP DRAWINGS AND FABRICATING MATERIALS. CONTRACTOR TO COORDINATE ANY CHANGE WITH THE TRUSS SUPPLIER AND STRUCTURAL ENGINEER.
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- ALL COLUMNS SHALL BE (3)-2X6 AT 2X6 WALLS OR (3)-2X4 AT 2X4 WALLS UON. PROVIDE (1) KING AND (2) TRIMMERS UON. COLUMNS SHALL BE CONTINUOUS FROM FLOOR TO FLOOR OR FLOOR TO ROOF.
- CONTINUE ALL TRIMMERS/KING STUDS THROUGH THE FLOOR SYSTEM DOWN TO THE FOUNDATION. PROVIDE MINIMUM (2) STUDS, OR MATCH PLIES OF THE GIRDER TRUSS, FULL HEIGHT. SEE XX.
- HEADERS SHALL BE (3)-2X10 AT 2X6 WALLS OR (2)-2X10 AT 2X4 WALLS UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" OR 3 1/2" WIDTH BY ADDING PLYWOOD OR INSULATION SPACERS AS REQUIRED.
- ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS STUDS FROM FLOOR TO FLOOR OR FLOOR TO ROOF (INCLUDING RAKE WALLS).
- PROVIDE SIMPSON H2.5A ROOF TRUSS/JOIST TIES AT ALL ROOF TRUSS/JOIST BEARING LOCATIONS UON.
- STAGGER ALL SHEATHING JOINTS AND SILL PLATE NAILING.
- SEE ARCHITECTURAL DRAWINGS FOR CHIMNEY SIZES AND LOCATIONS NOT NOTED ON STRUCTURAL PLANS.
- OVERFRAMING SHALL BE 2X6 MINIMUM AND SHALL BE POSTED DOWN TO MAIN FRAMING ON A GRID NOT TO EXCEED 4'-0" X 4'-0" (16FT SQUARE).

**PREFABRICATED ROOF TRUSS NOTES:**

- PREFABRICATED ROOF TRUSS LOADS:  
 LIVE LOADS AT TOP CHORD = 90 PSF\*  
 LIVE LOADS AT BOTTOM CHORD = 0 PSF  
 DEAD LOADS AT TOP CHORD = 15 PSF\*\*  
 DEAD LOADS AT BOTTOM CHORD = 5 PSF\*\*  
 WIND LOADS = SEE STRUCTURAL GENERAL NOTES  
 (STRESS INCREASES OR LOAD REDUCTIONS ARE NOT PERMITTED.)
- \* PROVIDE ADDITIONAL LIVE LOAD DUE TO SNOW DRIFTING PER GENERAL NOTES AND ASCE 7-10.
- \*\* DEAD LOADS DO NOT ACCOUNT FOR SELF WEIGHT OF FLOOR TRUSS. TRUSS SUPPLIER TO ACCOUNT FOR SELF WEIGHT OF TRUSS IN CALCULATIONS.
- ROOF TRUSS LIVE LOAD DEFLECTION SHALL NOT EXCEED 1" OR SPAN/480. TOTAL LOAD DEFLECTION SHALL NOT EXCEED SPAN/360. MAXIMUM DIFFERENTIAL DEFLECTION SHALL BE 1/2" MAXIMUM BETWEEN ADJACENT TRUSSES (LIVE LOAD ONLY OR TOTAL LOAD).
- SHOP DRAWINGS SHALL BE SUPPLIED BY MANUFACTURER AND REVIEWED BY GENERAL CONTRACTOR, ARCHITECT AND STRUCTURAL ENGINEER.
- THE TRUSS SUPPLIER SHALL BE RESPONSIBLE FOR THE FOLLOWING ITEMS:
  - ENGINEERING OF ALL TRUSSES AND CONNECTIONS, AND SHOWING OF ALL ON SHOP DRAWINGS.
  - DESIGN AND SUPPLY OF ALL TRUSS BEARING CONNECTORS AND HOLD DOWNS. (NOTE - TRUSS SUPPLIER SHALL NOT EXCEED F0 = 525 PSI TOP PLATE ALLOWABLE BEARING STRESS).
  - PLACING OF TRUSSES TO ACCOMMODATE MECHANICAL EQUIPMENT WITHOUT CUTTING TRUSSES.
- SIMPSON H2.5A CLIP ANGLES SHALL BE INSTALLED AT ALL EXTERIOR WALL TRUSS BEARING LOCATIONS UNLESS NOTED OTHERWISE ON ROOF DETAILS.
- TRUSS SUPPLIER TO CONFIRM ROOF AND CEILING SLOPES AND CONFIGURATION WITH ARCHITECTURAL DRAWINGS PRIOR TO FABRICATION.
- CALCULATIONS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW BEFORE SUBMITTING TO THE BUILDING DEPARTMENT. THE TRUSS DESIGN SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO TRUSSES BEING INSTALLED.

10. DETAIL ALL PREFABRICATED TRUSSES TO BE ALIGNED WITH SUPPORTING WALL STUDS BELOW.





**1 BUILDING C - FOUNDATION PLAN**  
 1/4" = 1'-0"

- FOUNDATION NOTES**
- DATUM ELEVATION 100'-0" EQUALS LEVEL \_\_\_\_ FLOOR SHEATHING OR TOP OF CONCRETE SLAB ELEVATION. SEE CIVIL FOR USGS DATUM.
  - ALL SLAB-ON-GRADES ARE 4" THICK WITH 6x6-W2.1 x W2.1 WWR, UON.
  - ALL SLAB-ON-GRADES ARE 5" THICK WITH #4 AT 1'-4" EACH WAY, UON.
  - CONTRACTOR TO COORDINATE ALL DIMENSIONS AND DETAILS WITH ARCHITECTURAL DRAWINGS
  - GENERAL CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS LISTED IN SOILS REPORT.
  - ALL CONCRETE WALLS ARE \_\_\_\_ THICK, U.N.O.
  - ALL SITE WALLS NOT SHOWN ON THIS PLAN SHALL BE BUILT PER ARCHITECTURAL LANDSCAPE PLANS, DETAILS, AND ELEVATIONS. SITE WALLS SHALL NOT BE CONNECTED TO THE BUILDING UNLESS NOTED OTHERWISE.

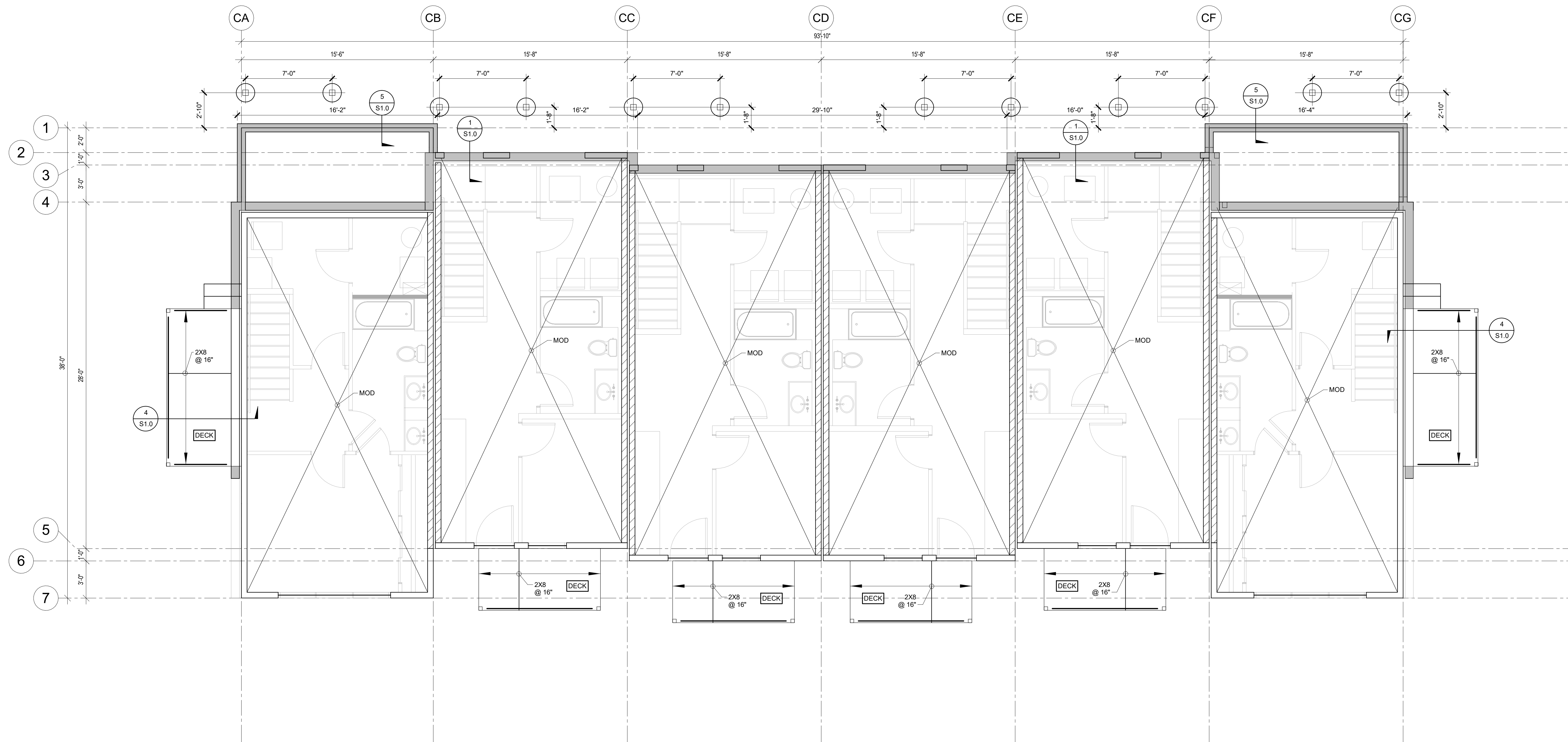
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**1 BUILDING C - MAIN LEVEL FRAMING PLAN**  
1/4" = 1'-0"

**WOOD FLOOR FRAMING NOTES**

1. SEE ARCHITECTURAL DRAWINGS FOR WALL AND OPENING LOCATIONS.
2. SEE ARCHITECTURAL DRAWINGS FOR T.O. TOP PLATE/TRUSS BEARING ELEVATION, UON.
3. FLOOR TRUSS/JOIST BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
4. ALL LOAD BEARING WALLS SHOWN ARE TO BE STACKED DIRECTLY ABOVE LOAD BEARING WALLS AND STEEL WOOD BEAMS BELOW. NOTIFY THE STRUCTURAL ENGINEER OF ALL CONDITIONS WHERE WALLS DO NOT STACK FOR REVIEW AND RESPONSE.
5. ALL COLUMNS SHALL BE (3)-2X6 AT 2X6 WALLS OR (3)-2X4 AT 2X4 WALLS UON. PROVIDE (1) KING AND (2) TRIMMERS UON. COLUMNS SHALL BE CONTINUOUS FROM FLOOR TO FLOOR OR FLOOR TO ROOF.
6. CONTINUE ALL TRIMMERS/KING STUDS THROUGH THE FLOOR SYSTEM DOWN TO THE FOUNDATION. PROVIDE MINIMUM (2) STUDS, OR MATCH PILES OF THE GRIDER TRUSS, FULL HEIGHT.
7. HEADERS SHALL BE (3)-2X8 AT 2X6 WALLS OR (2)-2X8 AT 2X4 WALLS UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" OR 3 1/2" WIDTH BY ADDING PLYWOOD OR INSULATION SPACERS AS REQUIRED.
8. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS STUDS FROM FLOOR TO FLOOR OR FLOOR TO ROOF (INCLUDING RAKE WALLS).
9. STAGGER ALL SHEATHING JOINTS AND SILL PLATE NAILING.

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LOT 644

MOUNTAIN VILLAGE, COLORADO

Revisions:

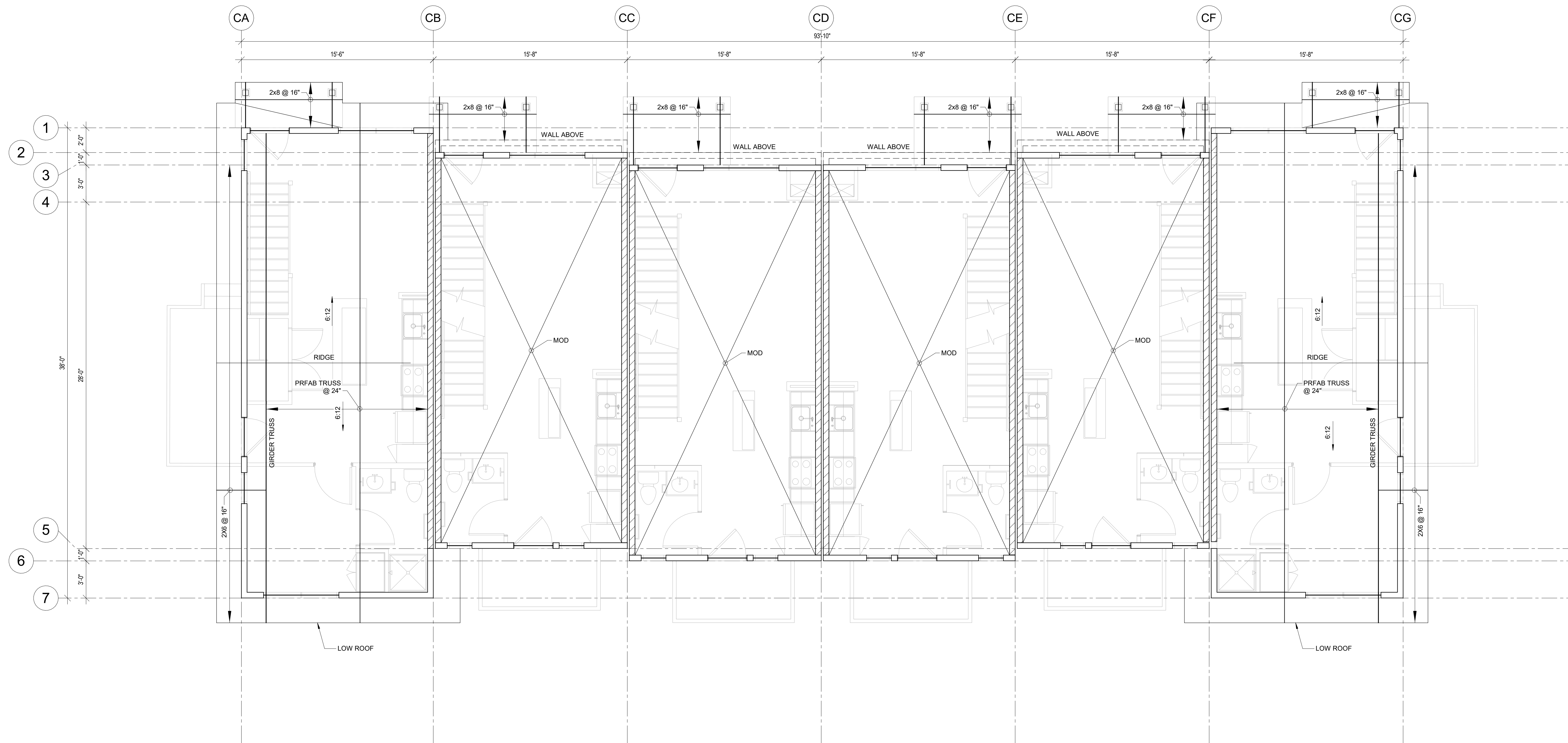
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**BUILDING C -  
MAIN LEVEL  
FRAMING  
PLAN**

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**SC2.1**





**1 BUILDING C - SECOND LEVEL/LOW ROOF FRAMING PLAN**  
 1/4" = 1'-0"



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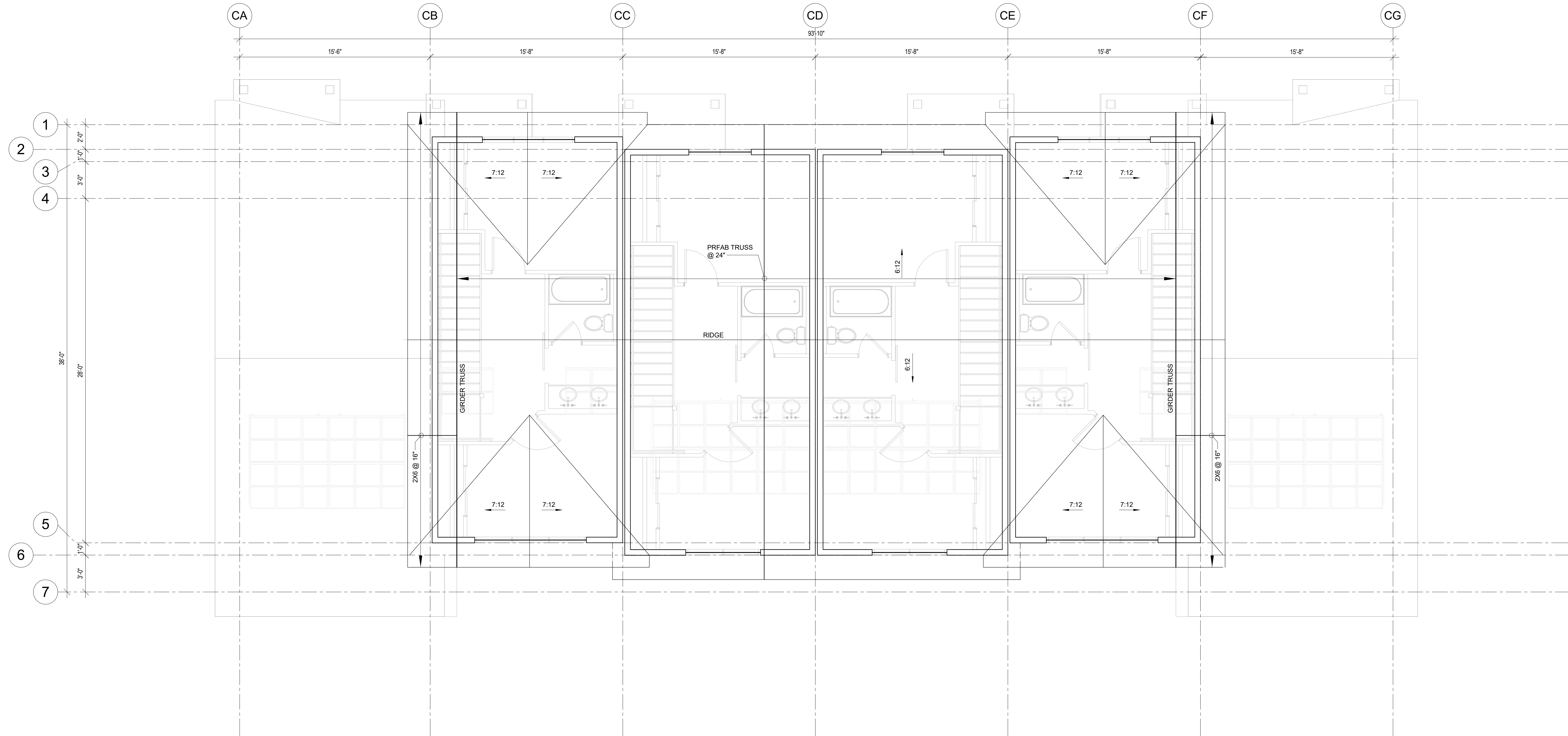
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**BUILDING C - SECOND FRAMING PLAN**

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**1 BUILDING C - ROOF FRAMING PLAN**  
1/4" = 1'-0"

**WOOD ROOF FRAMING NOTES**

- SEE ARCHITECTURAL DRAWINGS FOR WALL AND OPENING LOCATIONS.
- SEE ARCHITECTURAL DRAWINGS FOR T.O. TOP PLATE/TRUSS BEARING ELEVATION, UON.
- ROOF TRUSS/JOIST BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
- GENERAL CONTRACTOR TO VERIFY ALL MECHANICAL EQUIPMENT WEIGHTS, SIZES, AND LOCATIONS PRIOR TO PREPARING SHOP DRAWINGS AND FABRICATING MATERIALS. CONTRACTOR TO COORDINATE ANY CHANGE WITH THE TRUSS SUPPLIER AND STRUCTURAL ENGINEER.
- ALL LOAD BEARING WALLS SHOWN ARE TO BE STACKED DIRECTLY ABOVE LOAD BEARING WALLS AND STEELWOOD BEAMS BELOW. NOTIFY THE STRUCTURAL ENGINEER OF ALL CONDITIONS WHERE WALLS DO NOT STACK FOR REVIEW AND RESPONSE.
- ALL COLUMNS SHALL BE (3)-2X6 AT 2X6 WALLS OR (3)-2X4 AT 2X4 WALLS UON. PROVIDE (1) KING AND (2) TRIMMERS UON. COLUMNS SHALL BE CONTINUOUS FROM FLOOR TO FLOOR OR FLOOR TO ROOF.
- CONTINUE ALL TRIMMERS/KING STUDS THROUGH THE FLOOR SYSTEM DOWN TO THE FOUNDATION. PROVIDE MINIMUM (2) STUDS, OR MATCH PLYS OF THE GRIDER TRUSS, FULL HEIGHT. SEE XIX.
- HEADERS SHALL BE (3)-2X10 AT 2X6 WALLS OR (2)-2X10 AT 2X4 WALLS UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" OR 3 1/2" WIDTH BY ADDING PLYWOOD OR INSULATION SPACERS AS REQUIRED.
- ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS STUDS FROM FLOOR TO FLOOR OR FLOOR TO ROOF (INCLUDING RAKE WALLS).
- PROVIDE SIMPSON H2.5A ROOF TRUSS/JOIST TIES AT ALL ROOF TRUSS/JOIST BEARING LOCATIONS UON.
- STAGGER ALL SHEATHING JOINTS AND SILL PLATE NAILING.
- SEE ARCHITECTURAL DRAWINGS FOR CHIMNEY SIZES AND LOCATIONS NOT NOTED ON STRUCTURAL PLANS.
- OVERFRAMING SHALL BE 2X6 MINIMUM AND SHALL BE POSTED DOWN TO MAIN FRAMING ON A GRID NOT TO EXCEED 4'-0" X 4'-0" (16FT SQUARE).

**PREFABRICATED ROOF TRUSS NOTES:**

- PREFABRICATED ROOF TRUSS LOADS:  
LIVE LOADS AT TOP CHORD = 90 PSF\*  
LIVE LOADS AT BOTTOM CHORD = 0 PSF  
DEAD LOADS AT TOP CHORD = 15 PSF\*\*  
DEAD LOADS AT BOTTOM CHORD = 5 PSF\*\*  
WIND LOADS = SEE STRUCTURAL GENERAL NOTES  
(STRESS INCREASES OR LOAD REDUCTIONS ARE NOT PERMITTED.)  
\* PROVIDE ADDITIONAL LIVE LOAD DUE TO SNOW DRIFTING PER GENERAL NOTES AND ASCE 7-10.
- \*\* DEAD LOADS DO NOT ACCOUNT FOR SELF WEIGHT OF FLOOR TRUSS. TRUSS SUPPLIER TO ACCOUNT FOR SELF WEIGHT OF TRUSS IN CALCULATIONS.
- ROOF TRUSS LIVE LOAD DEFLECTION SHALL NOT EXCEED 1" OR SPAN/480. TOTAL LOAD DEFLECTION SHALL NOT EXCEED SPAN/360. MAXIMUM DIFFERENTIAL DEFLECTION SHALL BE 1/2" MAXIMUM BETWEEN ADJACENT TRUSSES (LIVE LOAD ONLY OR TOTAL LOAD).
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c. PLACING OF TRUSSES TO ACCOMMODATE MECHANICAL EQUIPMENT WITHOUT CUTTING TRUSSES.
- SIMPSON H2.5A CLIP ANGLES SHALL BE INSTALLED AT ALL EXTERIOR WALL TRUSS BEARING LOCATIONS UNLESS NOTED OTHERWISE ON ROOF DETAILS.
- TRUSS SUPPLIER TO CONFIRM ROOF AND CEILING SLOPES AND CONFIGURATION WITH ARCHITECTURAL DRAWINGS PRIOR TO FABRICATION.
- CALCULATIONS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW BEFORE SUBMITTING TO THE BUILDING DEPARTMENT. THE TRUSS DESIGN SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO TRUSSES BEING INSTALLED.
- DETAIL ALL PREFABRICATED TRUSSES TO BE ALIGNED WITH SUPPORTING WALL STUDS BELOW.

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**MOUNTAIN VILLAGE NEIGHBORHOOD**  
LOT 644  
MOUNTAIN VILLAGE, COLORADO

Revisions:

Sheet title  
**BUILDING C - ROOF FRAMING PLAN**

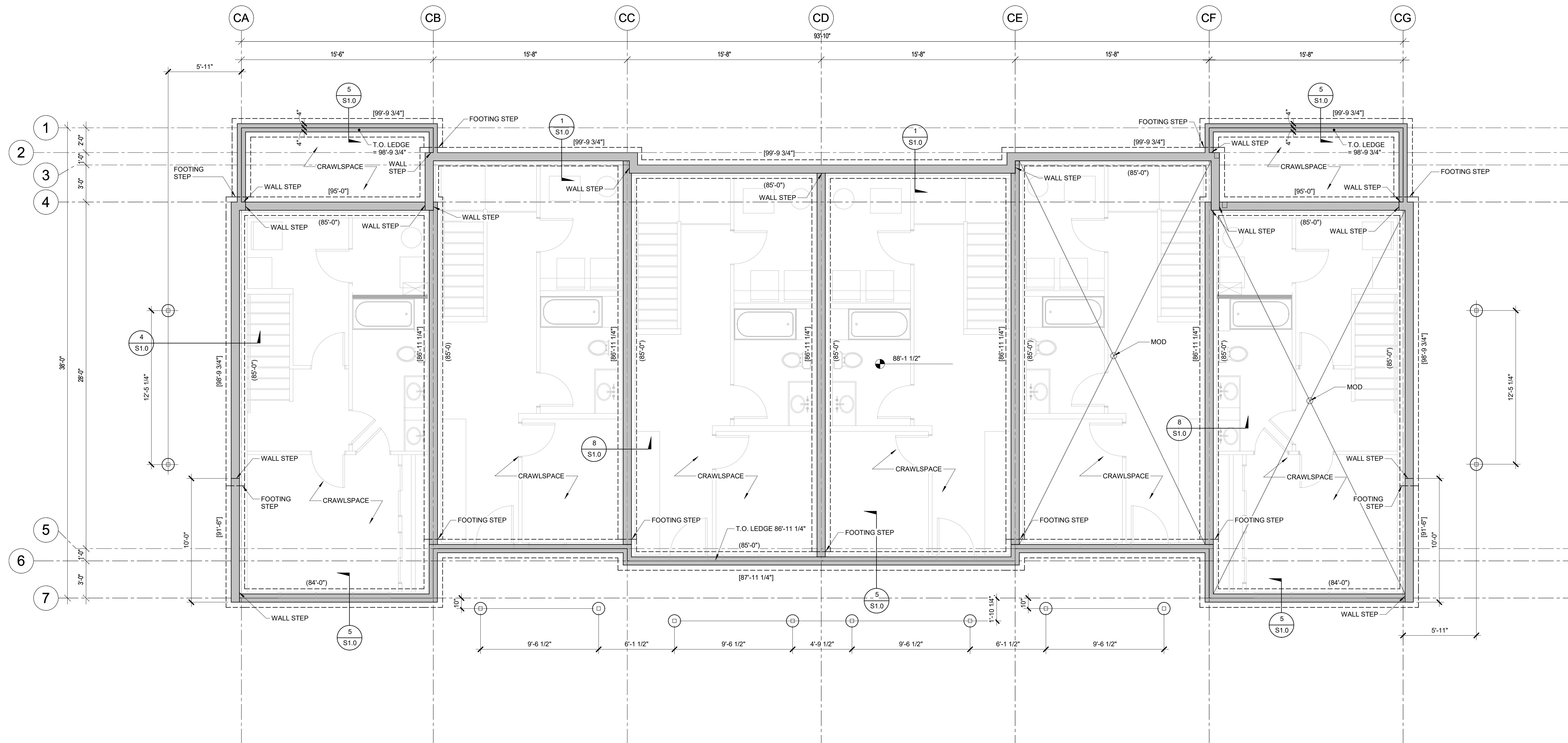
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Project No:  
Drawn by:  
Checked by:

**SC3.0**

Sheet





**1 BUILDING D - FOUNDATION PLAN**  
1/4" = 1'-0"

**FOUNDATION NOTES**

- DATUM ELEVATION 100'-0" EQUALS LEVEL \_\_\_\_ FLOOR SHEATHING OR TOP OF CONCRETE SLAB ELEVATION. SEE CIVIL FOR USGS DATUM.
- ALL SLAB-ON-GRADES ARE 4" THICK WITH 6x6-W2.1 x W2.1 WWR, UON.
- ALL SLAB-ON-GRADES ARE 5" THICK WITH #4 AT 1'-4" EACH WAY, UON.
- CONTRACTOR TO COORDINATE ALL DIMENSIONS AND DETAILS WITH ARCHITECTURAL DRAWINGS
- GENERAL CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS LISTED IN SOILS REPORT.
- ALL CONCRETE WALLS ARE \_\_\_\_ THICK, U.N.O.
- ALL SITE WALLS NOT SHOWN ON THIS PLAN SHALL BE BUILT PER ARCHITECTURAL LANDSCAPE PLANS, DETAILS, AND ELEVATIONS. SITE WALLS SHALL NOT BE CONNECTED TO THE BUILDING UNLESS NOTED OTHERWISE.



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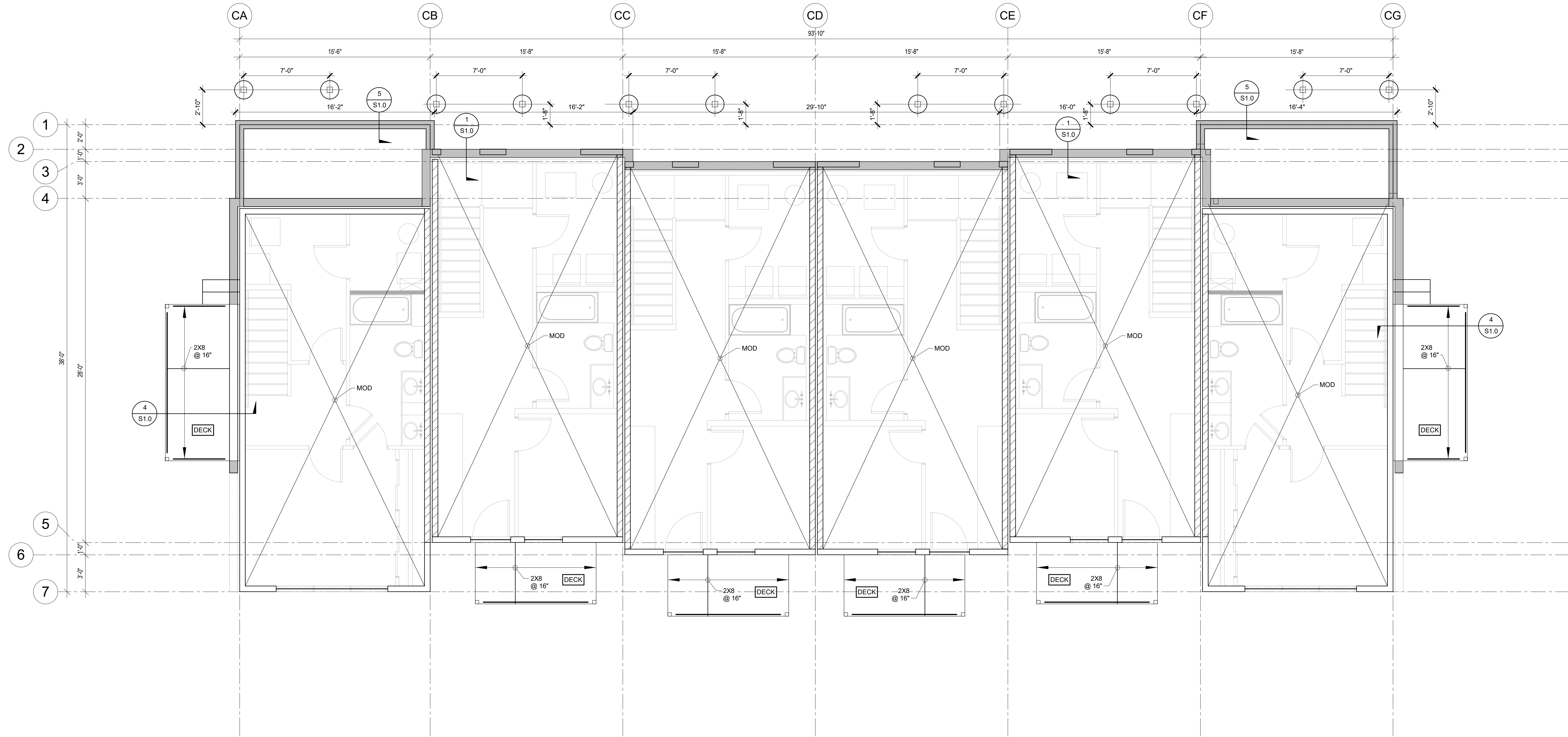
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**SD2.0**





**1 BUILDING D - MAIN LEVEL FRAMING PLAN**  
1/4" = 1'-0"

**WOOD FLOOR FRAMING NOTES**

1. SEE ARCHITECTURAL DRAWINGS FOR WALL AND OPENING LOCATIONS.
2. SEE ARCHITECTURAL DRAWINGS FOR T.O. TOP PLATE/TRUSS BEARING ELEVATION, UON.
3. FLOOR TRUSS/JOIST BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
4. ALL LOAD BEARING WALLS SHOWN ARE TO BE STACKED DIRECTLY ABOVE LOAD BEARING WALLS AND STEEL/WOOD BEAMS BELOW. NOTIFY THE STRUCTURAL ENGINEER OF ALL CONDITIONS WHERE WALLS DO NOT STACK FOR REVIEW AND RESPONSE.
5. ALL COLUMNS SHALL BE (3)-2X6 AT 2X6 WALLS OR (3)-2X4 AT 2X4 WALLS UON. PROVIDE (1) KING AND (2) TRIMMERS UON. COLUMNS SHALL BE CONTINUOUS FROM FLOOR TO FLOOR OR FLOOR TO ROOF.
6. CONTINUE ALL TRIMMERS/KING STUDS THROUGH THE FLOOR SYSTEM DOWN TO THE FOUNDATION. PROVIDE MINIMUM (2) STUDS, OR MATCH PLIES OF THE GRIDER TRUSS, FULL HEIGHT.
7. HEADERS SHALL BE (3)-2X8 AT 2X6 WALLS OR (2)-2X8 AT 2X4 WALLS UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" OR 3 1/2" WIDTH BY ADDING PLYWOOD OR INSULATION SPACERS AS REQUIRED.
8. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS STUDS FROM FLOOR TO FLOOR OR FLOOR TO ROOF (INCLUDING RAKE WALLS).
9. STAGGER ALL SHEATHING JOINTS AND SILL PLATE NAILING.



**TRIUMPH WEST**  
1400 GLENARM PLACE  
SUITE 101  
DENVER, CO 80202  
P: 303.623.4827  
www.triumphdev.com

**MOUNTAIN VILLAGE NEIGHBORHOOD**  
MOUNTAIN VILLAGE, COLORADO  
LOT 644

Revisions:

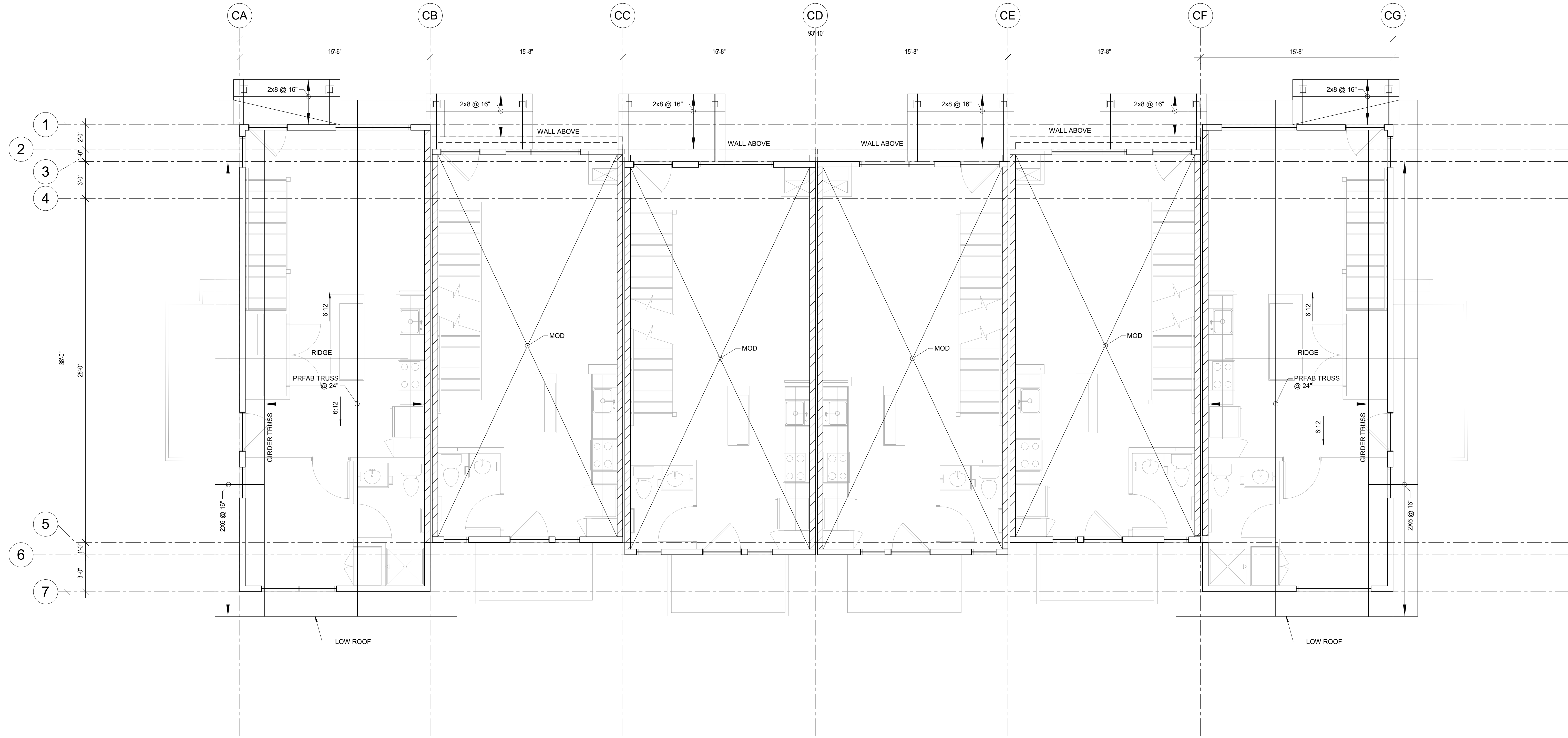
Sheet title  
**BUILDING D - MAIN FLOOR FRAMING PLAN**

Stamp

Date:	Project No:	Drawn by:	Checked by:

**SD2.1**





**1 BUILDING D - SECOND LEVEL/LOW ROOF FRAMING PLAN**  
 1/4" = 1'-0"



**TRIUMPH WEST**  
 105 Edwards Village Blvd. #C201  
 Edwards, CO 81632  
 P.O. Box 2444  
 www.triumphdev.com

**MOUNTAIN VILLAGE NEIGHBORHOOD**  
 LOT 644  
 MOUNTAIN VILLAGE, COLORADO

Revisions:

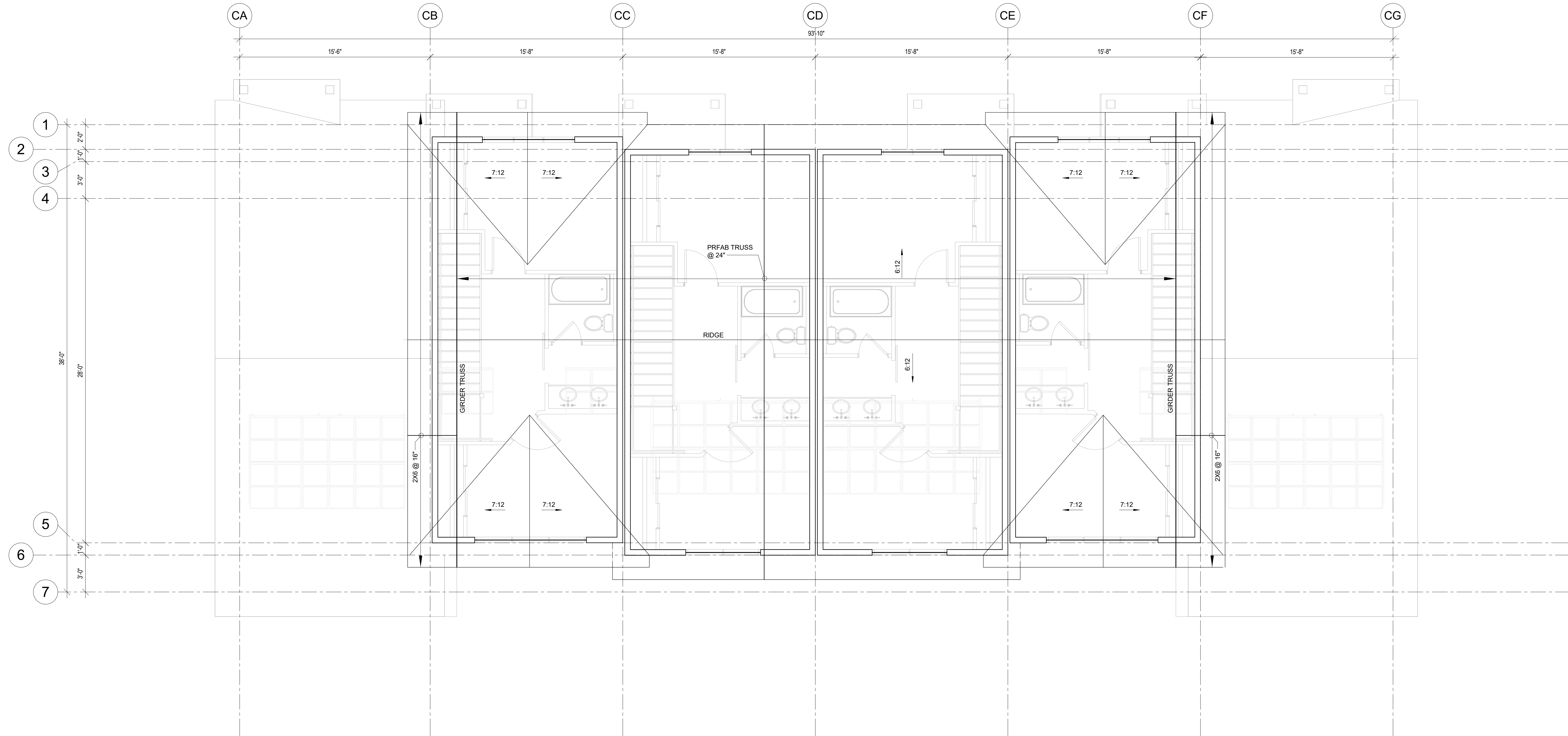
Sheet title  
**BUILDING D - SECOND FLOOR FRAMING PLAN**

Stamp

Date:  
 Project No:  
 Drawn by:  
 Checked by:

**SD2.2**





**1 BUILDING D - ROOF FRAMING PLAN**  
1/4" = 1'-0"

**WOOD ROOF FRAMING NOTES**

1. SEE ARCHITECTURAL DRAWINGS FOR WALL AND OPENING LOCATIONS.
2. SEE ARCHITECTURAL DRAWINGS FOR T.O. TOP PLATE/TRUSS BEARING ELEVATION, UON.
3. ROOF TRUSS/JOIST BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
4. GENERAL CONTRACTOR TO VERIFY ALL MECHANICAL EQUIPMENT WEIGHTS, SIZES, AND LOCATIONS PRIOR TO PREPARING SHOP DRAWINGS AND FABRICATING MATERIALS. CONTRACTOR TO COORDINATE ANY CHANGE WITH THE TRUSS SUPPLIER AND STRUCTURAL ENGINEER.
5. ALL LOAD BEARING WALLS SHOWN ARE TO BE STACKED DIRECTLY ABOVE LOAD BEARING WALLS AND STEEL/WOOD BEAMS BELOW. NOTIFY THE STRUCTURAL ENGINEER OF ALL CONDITIONS WHERE WALLS DO NOT STACK FOR REVIEW AND RESPONSE.
6. ALL COLUMNS SHALL BE (3)-2X6 AT 2X6 WALLS OR (3)-2X4 AT 2X4 WALLS UON. PROVIDE (1) KING AND (2) TRIMMERS UON. COLUMNS SHALL BE CONTINUOUS FROM FLOOR TO FLOOR OR FLOOR TO ROOF.
7. CONTINUE ALL TRIMMERS/KING STUDS THROUGH THE FLOOR SYSTEM DOWN TO THE FOUNDATION. PROVIDE MINIMUM (2) STUDS, OR MATCH PLIES OF THE GIRDER TRUSS, FULL HEIGHT. SEE XX.
8. HEADERS SHALL BE (3)-2X10 AT 2X6 WALLS OR (2)-2X10 AT 2X4 WALLS UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" OR 3 1/2" WIDTH BY ADDING PLYWOOD OR INSULATION SPACERS AS REQUIRED.
9. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS STUDS FROM FLOOR TO FLOOR OR FLOOR TO ROOF (INCLUDING RAKE WALLS).
10. PROVIDE SIMPSON H2.5A ROOF TRUSS/JOIST TIES AT ALL ROOF TRUSS/JOIST BEARING LOCATIONS UON.
11. STAGGER ALL SHEATHING JOINTS AND SILL PLATE NAILING.
12. SEE ARCHITECTURAL DRAWINGS FOR CHIMNEY SIZES AND LOCATIONS NOT NOTED ON STRUCTURAL PLANS.
13. OVERFRAMING SHALL BE 2X6 MINIMUM AND SHALL BE POSTED DOWN TO MAIN FRAMING ON A GRID NOT TO EXCEED 4'-0" X 4'-0" (16FT SQUARE).

**PREFABRICATED ROOF TRUSS NOTES:**

1. PREFABRICATED ROOF TRUSS LOADS:  
LIVE LOADS AT TOP CHORD = 90 PSF\*  
LIVE LOADS AT BOTTOM CHORD = 0 PSF  
DEAD LOADS AT TOP CHORD = 15 PSF\*\*  
DEAD LOADS AT BOTTOM CHORD = 5 PSF\*\*  
WIND LOADS = SEE STRUCTURAL GENERAL NOTES  
(STRESS INCREASES OR LOAD REDUCTIONS ARE NOT PERMITTED.)
2. \* PROVIDE ADDITIONAL LIVE LOAD DUE TO SNOW DRIFTING PER GENERAL NOTES AND ASCE 7-10.
3. \*\* DEAD LOADS DO NOT ACCOUNT FOR SELF WEIGHT OF FLOOR TRUSS. TRUSS SUPPLIER TO ACCOUNT FOR SELF WEIGHT OF TRUSS IN CALCULATIONS.
4. ROOF TRUSS LIVE LOAD DEFLECTION SHALL NOT EXCEED 1" OR SPAN/480. TOTAL LOAD DEFLECTION SHALL NOT EXCEED SPAN/360. MAXIMUM DIFFERENTIAL DEFLECTION SHALL BE 1/2" MAXIMUM BETWEEN ADJACENT TRUSSES (LIVE LOAD ONLY OR TOTAL LOAD).
5. SHOP DRAWINGS SHALL BE SUPPLIED BY MANUFACTURER AND REVIEWED BY GENERAL CONTRACTOR, ARCHITECT AND STRUCTURAL ENGINEER.
6. THE TRUSS SUPPLIER SHALL BE RESPONSIBLE FOR THE FOLLOWING ITEMS:
  - a. ENGINEERING OF ALL TRUSSES AND CONNECTIONS, AND SHOWING OF ALL ON SHOP DRAWINGS.
  - b. DESIGN AND SUPPLY OF ALL TRUSS BEARING CONNECTORS AND HOLD DOWNS. (NOTE - TRUSS SUPPLIER SHALL NOT EXCEED F0 = 525 PSI TOP PLATE ALLOWABLE BEARING STRESS).
  - c. PLACING OF TRUSSES TO ACCOMMODATE MECHANICAL EQUIPMENT WITHOUT CUTTING TRUSSES.
7. SIMPSON H2.5A CLIP ANGLES SHALL BE INSTALLED AT ALL EXTERIOR WALL TRUSS BEARING LOCATIONS UNLESS NOTED OTHERWISE ON ROOF DETAILS.
8. TRUSS SUPPLIER TO CONFIRM ROOF AND CEILING SLOPES AND CONFIGURATION WITH ARCHITECTURAL DRAWINGS PRIOR TO FABRICATION.
9. CALCULATIONS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW BEFORE SUBMITTING TO THE BUILDING DEPARTMENT. THE TRUSS DESIGN SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO TRUSSES BEING INSTALLED.
10. DETAIL ALL PREFABRICATED TRUSSES TO BE ALIGNED WITH SUPPORTING WALL STUDS BELOW.



# S-5!®

## The Right Way!

### S-5-S Clamp

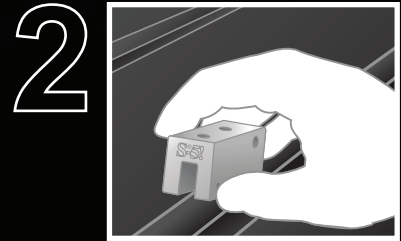
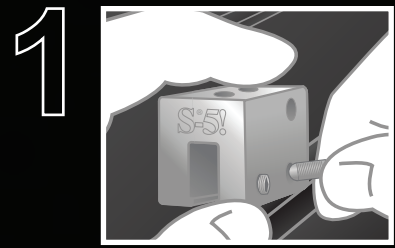
The S-5-S clamp was created especially for popular snap-together profiles—including residential profiles by Taylor Metals and Easy Lock Standing Seam. For horizontal seams under .540 inches (like the Firestone UC4) the S-5-S or S-5-S Mini can be used to avoid the necessity of crimping the seam.

Its simple design and size make it perfect for use with S-5!® snow retention products and other heavy-duty applications. Installation is as simple as setting the patented round-point setscrews into the clamp, placing the clamp on the seam, and tightening them to the specified tension. Then, affix ancillary items using the bolt provided with the product. Go to [www.S-5.com/tools](http://www.S-5.com/tools) for information and tools available for properly attaching and tensioning S-5! clamps.

### S-5-S Mini Clamp

The S-5-S Mini is a bit shorter than the S-5-S and has one setscrew rather than two. The mini is the choice for attaching all kinds of rooftop accessories: signs, walkways, satellite dishes, antennas, rooftop lighting, lightning protection systems, solar arrays, exhaust stack bracing, conduit, condensate lines, mechanical equipment—just about anything!\*

\*S-5! mini clamps are not compatible with, and should not be used with S-5! SnoRail™/SnoFence™ or ColorGard® snow retention systems.



The S-5-S clamp was created especially for popular snap-together profiles.

S-5-S and S-5-S Mini

888-825-3432 | [www.S-5.com](http://www.S-5.com)

The right way to attach almost anything to metal roofs!



# S-5!<sup>®</sup>

The Right Way!

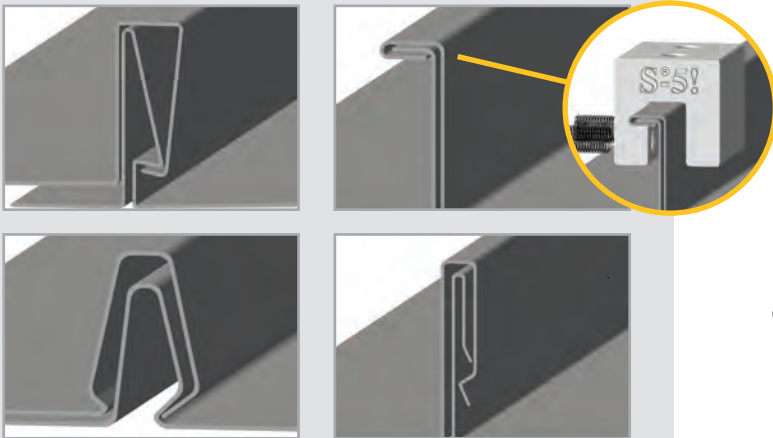
The strength of the S-5-S clamp is in its simple design. The patented setscrews will slightly dimple the metal seam material but not pierce it—leaving roof warranties intact.

The S-5-S and S-5-S Mini clamps are each furnished with the hardware shown to the right. Each box also includes a bit tip for tightening setscrews using an electric screw gun. A structural aluminum attachment clamp, the S-5-S is compatible with most common metal roofing materials excluding copper. All included hardware is stainless steel. Please visit [www.S-5.com](http://www.S-5.com) for more information including CAD details, metallurgical compatibilities and specifications.

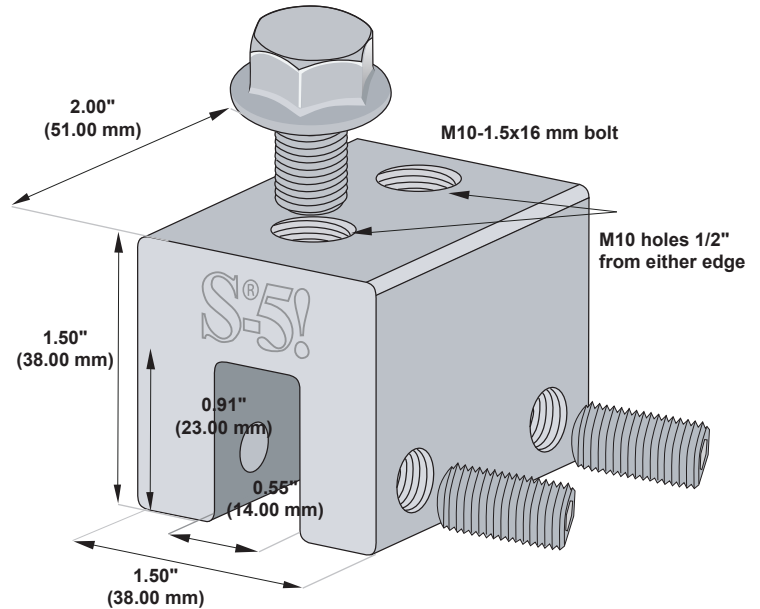
The S-5-S clamp has been tested for load-to-failure results on most major brands and profiles of standing seam roofing. The independent lab test data found at [www.S-5.com](http://www.S-5.com) can be used for load-critical designs and applications. S-5!<sup>®</sup> holding strength is unmatched in the industry. Profiles that are shaped as illustrated below will work with the S-5-S and S-5-S Mini. In order for the S-5-S or S-5-S Mini to fit these types of seams, the finished seam must:

- Be at least 1.00" high.
- Have a height distance less than or equal to 0.25" between the male portion of the panel and female portion of the panel.

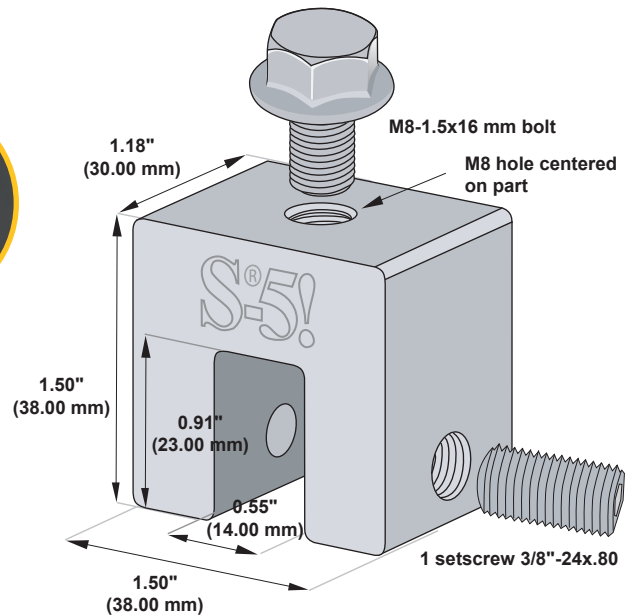
## Example Profiles



## S-5-S Clamp



## S-5-S Mini Clamp



Please note: All measurements are rounded to the second decimal place.

### S-5!<sup>®</sup> Warning! Please use this product responsibly!

Products are protected by multiple U.S. and foreign patents. Visit the website at [www.S-5.com](http://www.S-5.com) for complete information on patents and trademarks. For maximum holding strength, setscrews should be tensioned and re-tensioned as the seam material compresses. Clamp setscrew tension should be verified using a calibrated torque wrench between 160 and 180 inch pounds when used on 22ga steel, and between 130 and 150 inch pounds for all other metals and thinner gauges of steel. Consult the S-5! website at [www.S-5.com](http://www.S-5.com) for published data regarding holding strength.

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Distributed by





350 - 370 Wp

Option 1

## AXIblackpremium XL HC

High performance solar module  
120 halfcell, monocrystalline



German-American-Engineering

The advantages:



25 years Manufacturer's warranty



High module performance through Half-Cut-technology and selected materials



Guaranteed positive power tolerance from 0-5 Wp by individual measurement



100 % visual electroluminescence inspection in production



High stability due to innovative frame design



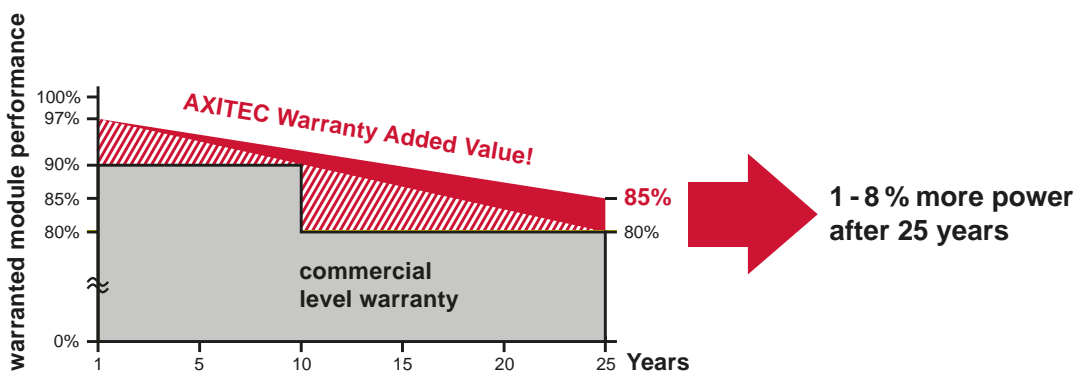
High quality junction box and connector systems



Fig. similar 120MHUSA210631A

### Exclusive linear AXITEC high performance guarantee!

- 15 years manufacturer's guarantee on 90% of the nominal performance
- 25 years manufacturer's guarantee on 85% of the nominal performance





# AXIblackpremium XL HC 350 - 370 Wp

**Electrical data** (at standard conditions (STC) irradiance 1000 watt/m<sup>2</sup>, spectrum AM 1.5 at a cell temperature of 25°C)

Type	Nominal output P <sub>mpp</sub>	Nominal voltage U <sub>mpp</sub>	Nominal current I <sub>mpp</sub>	Short circuit current I <sub>sc</sub>	Open circuit voltage U <sub>oc</sub>	Module conversion efficiency
AC-350MH/120VB	350 Wp	33.60 V	10,42 A	11.15 A	40.10 V	19.21 %
AC-355MH/120VB	355 Wp	33.80 V	10,51 A	11.25 A	40.30 V	19.49 %
AC-360MH/120VB	360 Wp	34.00 V	10.59 A	11.35 A	40.50 V	19.76 %
AC-365MH/120VB	365 Wp	34.20 V	10.68 A	11.43 A	40.70 V	20.04 %
AC-370MH/120VB	370 Wp	34.40 V	10.76 A	11.52 A	40.90 V	20.31 %

## Design

Frontside	0.13 inch (3.2 mm) hardened, low-reflection white glass
Cells	120 monocrystalline high efficiency cells
Backside	Composite film
Frame	1.38 inch (35 mm) black aluminium frame

## Mechanical data

L x W x H	69.09 x 40.87 x 1.38 inch (1755 x 1038 x 35 mm)
Weight	42.99 lbs (19.5 kg) with frame

## Mechanical load

Design load (pressure/suction)	75.3 PSF / 33.3 PSF
Test load (pressure/suction)	113 PSF / 50 PSF

## Power connection

Socket	Protection Class IP68
Wire	47.24 inch, AWG 11
Plug-in system	Plug/socket IP68, Stäubli EVO2

## Limit values

System voltage	1500 VDC (UL) 1500 VDC (IEC)
Module Fire Performance	TYPE 1 (UL 1703) or CLASS C (IEC 61730)
NOCT (nominal operating cell temperature)*	45°C +/-2K
Reverse current feed IR	20.0 A

Permissible operating temperature	-40°C to 85°C / -40F to 185F
-----------------------------------	------------------------------

(No external voltages greater than Vo may be applied to the module)

\* NOCT, irradiance 800 W/m<sup>2</sup>; AM 1.5; wind speed 1 m/s; Temperature 20°C

## Temperature coefficients

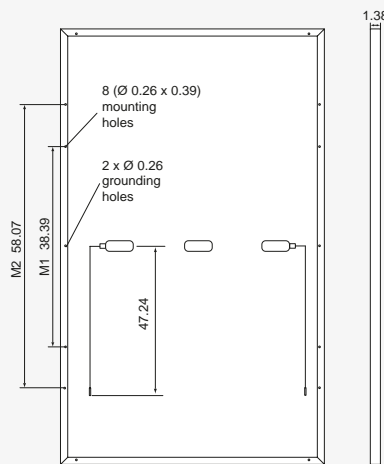
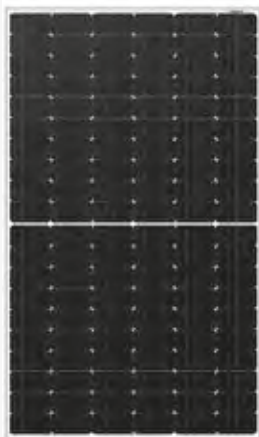
Voltage U <sub>oc</sub>	-0.27 %/K
Current I <sub>sc</sub>	0.048 %/K
Output P <sub>mpp</sub>	-0.35 %/K

## Low-light performance (Example for AC-370MH/120VB)

I-U characteristic curve	Current I <sub>pp</sub>	Voltage U <sub>pp</sub>
200 W/m <sup>2</sup>	2.20 A	33.11 V
400 W/m <sup>2</sup>	4.44 A	33.49 V
600 W/m <sup>2</sup>	6.63 A	33.75 V
800 W/m <sup>2</sup>	8.76 A	34.04 V
1000 W/m <sup>2</sup>	10.76 A	34.40 V

## Packaging

Module pieces per pallet	30
Module pieces per HC-container	780



All dimensions in inch





## Solaria PowerXT®-370R-PD

Achieving 20% efficiency, Solaria PowerXT solar panels are one of the highest power panels in the residential and commercial solar market. Compared to conventional panels, Solaria PowerXT panels have fewer gaps between the solar cells; this leads to higher power and superior aesthetics. Solaria PowerXT Pure Black™ panels are manufactured with black backsheet and frames, enhancing a home or building's architectural beauty.

Developed in California, Solaria's patented cell cutting and panel assembly takes processed solar wafers and turns them into PowerXT solar panels. The process starts by creating a highly reliable PowerXT cell where busbars and ribbon interconnections are eliminated. Solaria then packages the cells into the PowerXT solar panel, reducing inactive space between the cells. This process leads to an exceptionally cost effective and efficient solar panel.

### Higher Efficiency, Higher Power

Solaria PowerXT panels achieve up to 20% efficiency; conventional panels achieve 15% – 17% efficiency. Solaria PowerXT panels are one of the highest power panels available.

### Lower System Costs

Solaria PowerXT panels produce more power per square meter area. This reduces installation costs due to fewer balance of system components.

### Improved Shading Tolerance

Sub-strings are interconnected in parallel, within each of the four panel quadrants, which dramatically lowers the shading losses and boosts energy yield.

### Improved Aesthetics

Compared to conventional panels, Solaria PowerXT panels have a more uniform appearance and superior aesthetics.

### Durability and Reliability

Solder-less cell interconnections are highly reliable and designed to far exceed the industry leading 25 year warranty.



## About Solaria

Established in 2000, The Solaria Corporation has created one of the industry's most respected IP portfolios, with over 65 patents encompassing materials, processes, applications, products, manufacturing automation and equipment. Headquartered in Oakland, CA, Solaria has developed a technology platform that unlocks the potential of solar energy.





### Performance at STC (1000W/m<sup>2</sup>, 25° C, AM 1.5)

Solaria PowerXT-		360R-PD	370R-PD
Max Power (P <sub>max</sub> )	[W]	360	370
Efficiency	[%]	19.9	20.5
Open Circuit Voltage (V <sub>oc</sub> )	[V]	47.7	48.3
Short Circuit Current (I <sub>sc</sub> )	[A]	9.56	9.60
Max Power Voltage (V <sub>mp</sub> )	[V]	39.5	40.2
Max Power Current (I <sub>mp</sub> )	[A]	9.13	9.20
Power Tolerance	[%]	-0/+3	-0/+3

### Performance at NOCT (800W/m<sup>2</sup>, 20°C Amb, Wind 1 m/s, AM 1.5)

Max Power (P <sub>max</sub> )	[W]	265	272
Open Circuit Voltage (V <sub>oc</sub> )	[V]	44.8	45.4
Short Circuit Current (I <sub>sc</sub> )	[A]	7.71	7.74
Max Power Voltage (V <sub>mp</sub> )	[V]	36.3	37.0
Max Power Current (I <sub>mp</sub> )	[A]	7.30	7.35

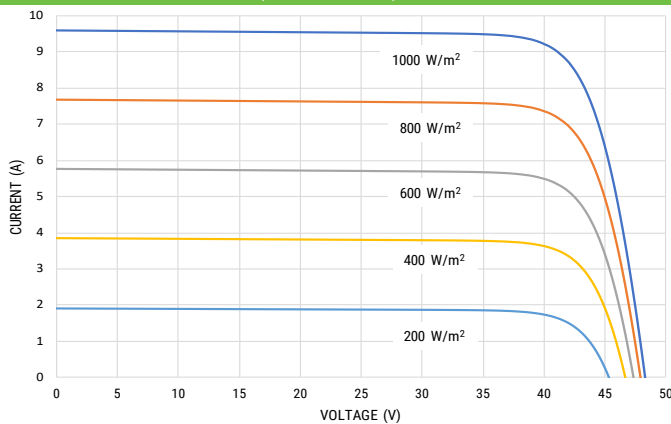
### Temperature Characteristics

NOCT	[°C]	45 +/-2
Temp. Coeff. of P <sub>max</sub>	[% / °C]	-0.39
Temp. Coeff. of V <sub>oc</sub>	[% / °C]	-0.29
Temp. Coeff. of I <sub>sc</sub>	[% / °C]	0.04

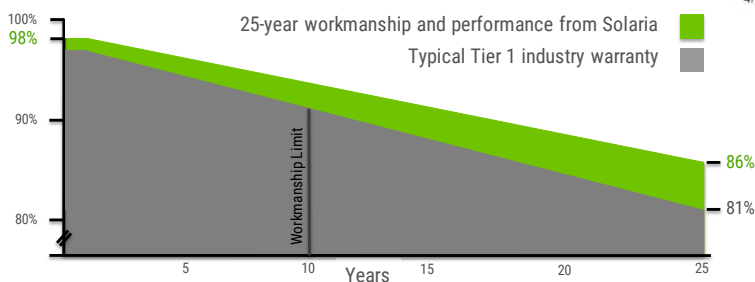
### Design Parameters

Operating temperature	[°C]	-40 to +85
Max System Voltage	[V]	1000
Max Fuse Rating	[A]	15
Bypass Diodes	[#]	4

### IV Curves vs. Irradiance (370W Panel)



### Comprehensive 25-Year Warranty



### Mechanical Characteristics

Cell Type	Monocrystalline Silicon
Dimensions (L x W x H)	1621 mm x 1116 mm x 40 mm
Weight	21 kg / 46 lbs
Glass Type / Thickness	AR Coated, Tempered / 3.2 mm
Frame Type	Black Anodized Aluminum
Cable Type / Length	12 AWG PV Wire (UL) / 1000 mm
Connector Type	MC4
Junction Box	IP67 / 4 diodes
Front Load	5400 Pa / 113 psf*
Rear Load	3600 Pa / 75 psf*

\* Refer to Solaria Installation Manual for details

### Certifications / Warranty

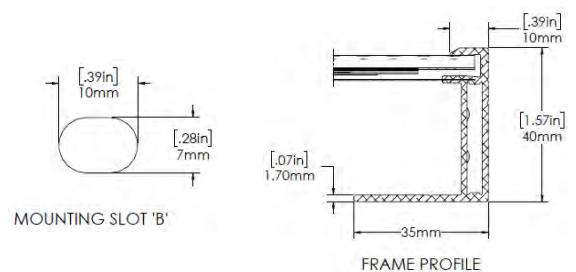
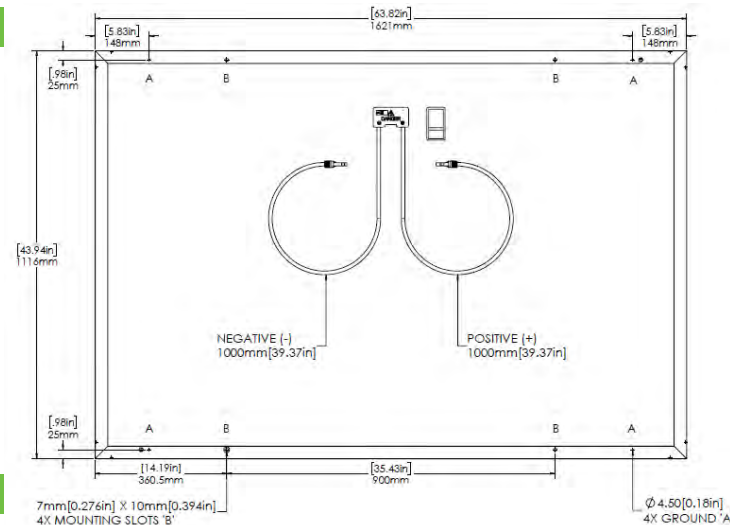
Certifications	UL 1703/IEC 61215/IEC 61730/CEC CAN/CSA-C22.2
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Fire Type (UL 1703)	1
Power & Product Warranty	25 years*

\* Warranty details at [www.solaria.com](http://www.solaria.com)

### Packaging

Stacking Method	Horizontal / Palletized
Pcs / Pallet	25
Pallet Dims	1668 x 1150 x 1230 mm
Pallet Weight	590 kg / 1300 lbs
Pallets / 40-ft Container	28
Pcs / 40-ft Container	700





# S-5!®

## The Right Way!

DualGard™  
two-pipe system:  
Versatility, reliability  
and strength in  
one system.

DualGard™ is a complete, 2-pipe snow retention system created for those who prefer a pipe-style snow retention system with the strength, testing, quality and time-proven integrity you expect from S-5!. DualGard can also be color-finished to match the roof. The system utilizes two anchor points per bracket, and can be engineered for structural adequacy online with our new DualGard Calculator and backed by independent lab testing. DualGard is the most versatile and reliable pipe system on the market. And in the S-5! tradition—also the lowest cost.

The right way to attach almost anything to metal roofs!

DualGard — a complete system including:

- DualPipe™ (1" diameter)
- DualBracket™
- DualClip II™
- DualClip III™
- DualGard Splice
- DualGard Endcaps
- DualCollar™

S-5!® DualGard



800.284.1412 | [www.lmcurbs.com](http://www.lmcurbs.com)



## DualGard™: Effective Snow Retention

When snow accumulations begin to melt, the result can be catastrophic as a heavy blanket of snow avalanches from the roof. DualGard gives you a reliable solution. Incorporating independently A2LA-certified laboratory-tested S-5! Mini clamps and the online calculator, you can be assured that DualGard will hold up to the challenge.

As with S-5! ColorGard®, SnoRail™/SnoFence™ and X-Gard™, the DualGard snow retention system provides superior, documented holding strength when compared to individual cleats, adhered plastic parts and other snow retention systems.

### DualGard Advantages:

- DualGard Brackets work with a range of clamps and offer lateral system stability.
- DualClip easily mounts to the pipes for increased snow and ice retention.
- DualGard is compatible in metallurgy with all common metal roofing (except copper).
- DualGard can be installed any time of the year.

### Snow retention systems are VITAL SAFETY EQUIPMENT.

When designed and installed correctly, they are used to protect property and individuals. That's why all S-5! clamps and snow retention systems are thoroughly tested and certified by an independent third party lab.

**When other brands claim to be "just as good as S-5!", tell them to PROVE IT.**

A2LA Cert No. 0018.04

### S-5!® Warning! Please use this product responsibly!

S-5! products are protected by multiple U.S. and foreign patents. Visit [www.S-5.com](http://www.S-5.com) for complete information. DualGard assemblies should not exceed 100' in length. When a longer run is necessary, divide into multiple assemblies to avoid accumulated thermal expansion. For maximum holding strength, setscrews should be tensioned as the seam material compresses. Clamp setscrew tension should be verified using a calibrated torque wrench between 160 and 180 inch pounds when used on 22ga steel, and between 130 and 150 inch pounds for all other metals and thinner gauges of steel.

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The independent lab test data found at [www.S-5.com](http://www.S-5.com) can be used for load-critical designs and applications.

### TAILOR EACH PROJECT WITH EASE

The DualGard Calculator not only ensures structural adequacy, but generates a materials list, too.

**DualGard Calculator  
available now at [www.S-5.com](http://www.S-5.com)**

### Distributed by:



800.284.1412

[www.lmcurbs.com](http://www.lmcurbs.com)

827 Fisher Road, Longview, TX 75604