

**TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING AGENDA
THURSDAY MARCH 30, 2023 10:00 AM
MOUNTAIN VILLAGE TOWN HALL
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO
TO BE HELD HYBRID THROUGH ZOOM:**

Zoom participation in public meetings is being offered as a courtesy, however technical difficulties can happen, and the Town bears no responsibility for issues that could prevent individuals from participating remotely. Physical presence in Council chambers is recommended for those wishing to make public comments or participate in public hearings.

<https://us06web.zoom.us/j/87636794356?pwd=dURmYVUwRlc4SFYya090dFNQd0g0UT09>

Meeting ID: 876 3679 4356

Passcode: 217458

	Time	Min.	Presenter	Type	
1.	10:00		Chair	Chair	Call to Order
2.	10:00	3	Fallenius/ Ward	Action	Reading and Approval of Summary of Motions of the March 2, 2023, Design Review Board Meeting.
3.	10:03	30	Ward/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture and Site Review for a detached Single-family condominium on Lot 165 Unit 4, 140 Cortina Drive, Pursuant to CDC Section 17.4.11.
4.	10:33	30	Perez/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture and Site Review for the addition of an Accessory Dwelling Unit (ADU) to an existing single family home on Lot 211, 151 Benchmark Drive, Pursuant to CDC Section 17.4.11.
5.	11:03	45	Perez/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a single-family home on Lot 391, 142 AJ Drive, Pursuant to CDC Section 17.4.11. <i>This item was continued from the March 2, 2023 regular DRB meeting</i>
6.	11:48	15		Lunch	Lunch
7.	12:03	30	Ward/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture and Site Review for a single family home on Lot 311, 320 Benchmark Dr., pursuant to CDC Section 17.4.11
8.	12:33	15	Ward/ Applicant	Quasi-Judicial	Review and Recommendation to Town Council of a Height Variance Request to the Coonskin View Corridor on Lot 161A-4, Unit 6 The Ridge, pursuant to CDC Section 17.4.16 & 17.5.16
9.	12:48	45	Ward/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a single family detached condominium on Lot 161A-4 Unit 6 The Ridge IASR, pursuant to CDC Section 17.4.11
10.	1:33		Chair	Adjourn	Adjourn

**DESIGN REVIEW BOARD MINUTES
TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING
MARCH 2, 2023**

Call to Order

Chair **Brown** called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:00 AM on March 2, 2023.

Attendance

The following Board members were present and acting:

Banks Brown
Liz Caton
Shane Jordan
Greer Garner
Ellen Kramer
Adam Miller
Scott Bennett
Jim Austin (Attended Zoom)

The following Board members were absent:

David Craig

Town Staff in attendance:

Amy Ward – Community Development Director
Marleina Fallenius – Planning Tech and Housing Coordinator
Claire Perez – Planner I
Sean Deland

Public Attendance:

Dylan Henderson
Edwin Lindell
Bruce Macintire
Emory Smith

Public Attendance via Zoom:

Kristen Perpar
Jessica Garrow
David Schiltz
Jessica Garrow
Callie New
David Ballode
Jennifer Schidlowski
Miguel Quintero

J.J. Ossola

Item 2. Reading and Approval of Summary of Motions of February 2, 2023, Design Review Board Meeting. Consideration of a Resolution for Denial regarding the Consideration of a Design Review: Specific Approval for a second curb cut on lot 901-R2, 113 Victoria Drive

On a **MOTION** by **Bennett** and seconded by **Caton** the DRB voted **unanimously** to approve the summary of motions of the February 2, 2023, Design Review Board meeting and the consideration of a Resolution for Denial regarding the Consideration of a Design Review: Specific Approval for a second curb cut on lot 901-R2, 113 Victoria Drive.

Item 3. Consideration of a Design Review: Final Architecture for a multi-family Condominium on Lot 165, Unit 17R, 115 Cortina Drive, Pursuant to CDC Section 17.4.11

Jessica Garrow of Design Workshop: Presented as Staff

Griffin Gilbert: Presented as Applicant

Public comment: None

On a **MOTION** by **Garner** and seconded by **Bennett** the DRB voted **unanimously** to approve the Final Architecture and Site Review for a new multi-family development located at Lot 165 Unit 17R, based on the evidence provided in the staff record of memo dated March 2, 2023, and the findings of this meeting with the following design variations:

Design Variations:

- 1) Parking Area Design Standards – Tandem Parking
- 2) Materiality –hardie board fascia
- 3) Landscaping – Diversity of Species

Conditions:

- 1) Prior to building permit, the applicant shall provide an updated landscape and fire mitigation plans showing compliance with the fire mitigation standards and for review by Town Forrester.
- 2) The applicant shall revise the garage door width to accommodate parking both cars side by side as shown in the application materials.
- 3) Prior to building permit the applicant shall provide a design, location, and verbiage for proposed load/unload zone sign for staff review.
- 4) Prior to building permit, the applicant must enter into a new development agreement with the Town to complete any necessary remediation from the original development.
- 5) The Town recognizes that the Cortina HOA has placed several conditions of approval on their application consent.
- 6) The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.
- 7) A Knox Box for emergency access is recommended.
- 8) Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-

combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

9) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials

10) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

11) Prior to the building permit the applicant must notify neighbors of excavation, construction and crane activity.

12) Prior to the building permit the applicant must change the top level exterior sconces to step lights.

Item 4. Review and Recommendation to Town Council regarding a Height Variance request for a detached Single-Family Condominium on Lot 165 Unit 17R, 115 Cortina Drive, pursuant to CDC Section 17.4.11

Jessica Garrow of Design Workshop: Presented as Staff
Kristine Perpar and David Ballode: Presented as Applicant

Public Comment: None

On a **MOTION** by **Caton** and seconded by **Kramer** the DRB voted **unanimously** to recommend approval to Town Council of a maximum height variance of 13.79 feet above the allowable and an average height variance of 4.29 feet above the allowable, per the height restrictions listed in the CDC for portions of a new single-family detached condominium located at Lot 165 Unit 4, 140 Cortina Drive based on the evidence provided in the staff record of memo dated March 2, 2023 and the findings of this meeting.

Item 5. Consideration of a Design Review: Initial Architecture and Site Review for a detached Single-family Condominium on Lot 165 Unit 4, 140 Cortina Drive, pursuant to CDC Section 17.4.11

Jessica Garrow of Design Workshop: Presented as Staff
Kristine Perpar and David Ballode: Presented as Applicant

Public Comment: None

On a **MOTION** by **Caton** and seconded by **Kramer** the DRB voted **unanimously** to approve the Initial Architecture and Site Review for a new multi-family home located at Lot 165 Unit 4, based on the evidence provided in the staff memo of record dated March 2, 2023, and the findings of this meeting.

With the following specific approvals:

Design Review Board Approval:

- 1) Metal Fascia

Design Review Board Variation

- 1) Setback encroachment – hardscape

Conditions:

- 1) Prior to final review the applicant will obtain approval from Town Council for the proposed height variance. If a variance is not approved, an updated Initial Review shall be required.
- 2) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum and average building height.
- 3) Prior to final review, the applicant shall revise the landscape plan to meet the diversity of species requirement and fire mitigation requirements of the CDC.
- 4) Prior to final review, the applicant shall provide an updated landscape and fire mitigation plans showing compliance with the Fire Mitigation standards.
- 5) The applicant shall work with public works and utility providers to finalize the utilities plan as a condition of approval prior to building permit.
- 6) Prior to final review the applicant will provide a construction mitigation plan.
- 7) Prior to final review, the applicant shall work with engineering to provide details on how the driveway attaches to the existing Hilfiker retaining wall.
- 8) The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.
- 9) A Knox Box for emergency access is recommended.
- 10) Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 11) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 12) It is incumbent upon an owner to understand whether above grade utilities and town

infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

13) Prior to the building permit the applicant must present to staff more landscaping in the 30 ft setback.

14) Prior to final review the applicant must revisit the elevations of the stone columns to present a more grounding effect of the structure

Item 6. Lunch

Item 7: Consideration of a Design Review: Final Architecture Review for a single-family home on Lot 909, TBD Victoria Drive, pursuant to CDC Section 17.4.11

Callie New of Design Workshop: Presented as Staff

Dylan Henderson: Presented as Applicant

Public comment: None

On a **MOTION** by **Garner** and seconded by **Caton** DRB voted **unanimously** to approve the Final Architecture Review for a new single-family home located at Lot 909, based on the evidence provided in the staff record of memo dated February 20, 2023, and the findings of this meeting with the following approvals:

Design Review Board Variation:

- 1) GE Encroachment – hardscape

Design Review Board Special Approval:

- 1) GE Encroachment – retaining wall associated with hardscape
- 2) Lighting Regulations – Outdoor Living Spaces

And conditions:

- 1) Prior to building permit, the applicant shall work with staff to review the lighting plan and photometrics study and adjust, if needed, to meet the requirements of the CDC.
- 2) Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE.
- 3) Prior to building permit the applicant shall update the lighting plan, if relevant, to show additional lighting on the building and compliance with the requirements of the CDC.
- 4) Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the right of way.
- 5) Prior to building permit, the applicant shall provide documentation proving an agreement between the adjacent landowner for use of the private drive.
- 6) Prior to building permit, the applicant shall obtain approval from the Town Forrester for the updated landscape and fire mitigation plans.

- 7) Prior to building permit, the applicant shall show the necessary recycling bin on the construction mitigation plan.
- 8) The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.
- 9) A Knox Box for emergency access is recommended.
- 10) Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 11) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 12) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 13) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 14) Prior to final review the lighting plan must be reviewed by staff and one DRB member

Item 8: Consideration of a Design Review: Initial Architecture and Site Review for a single-family home on Lot 391, 142 AJ Drive, Pursuant to CDC Section 17.4.11.

Callie New of Design Workshop: Presented as Staff

Rohan Shah: Presented as Applicant

Public Comment: None

On a **MOTION** by **Kramer** seconded by **Bennett**, the DRB voted **unanimously** to continue the Initial Architecture and Site Review for a new single-family home located at Lot 391, to the March 30, 2023 DRB Meeting.

Item 9. A Review and Recommendation to the Town Council regarding Community Development Code Amendments at CDC Section 17.7.12.7h International Energy Conservation Code and CDC Section 17.5.12.11.a. Lighting Regulations

Amy Ward: Presented as Staff

Public Comment: None

On a **MOTION** by **Jordan** seconded by **Bennett**, the DRB voted **unanimously** to move that the Town Council approve the proposed changes to the Community Development Code as attached hereto as exhibit A with recommended edit to up the value from \$50,000 to \$500,000.

Item 10. Consideration of a Design Review: Initial Architecture and Site Review for the addition of an Accessory Dwelling Unit (ADU) to an existing single family home on Lot 211, 151 Benchmark Drive, Pursuant to CDC Section 17.4.11.

Claire Perez: Presented as Staff

Edwin Lindell: Presented as Applicant

Public Comment: None

On a **MOTION** by **Miller** seconded by **Garner** DRB voted **unanimously** to approve the Initial Architectural and Site Review for a new Accessory Dwelling Unit located at Lot 211, 151 Benchmark Drive, based on the evidence provided within the Staff Report of record dated January 11, 2023, with the following design variation:

Design Review Board Variation:

- 1) Roof form

DRB specific Approvals:

- 1) Board form concrete

And, with the following conditions:

- 1) Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 2) The structure shall require a monitored fire alarm system.
- 3) Prior to final review, the applicant shall provide an updated landscape and Fire Mitigation Plan and Landscape Plan showing compliance with the CDC.
- 4) Prior to final review, the applicant shall provide a lighting plan and full specification sheets for proposed exterior lighting fixtures.
- 5) Prior to final review the applicant shall revise plans to demonstrate all proposed parking spaces and to demonstrate sufficient garage back-out area.
- 6) Prior to final review the applicant shall revise construction mitigation plans per staff comments.

- 7) Prior to final review the applicant shall revise the door and window schedule to include materials and design.
- 8) Prior to final review the applicant shall confirm all exterior materials and make sure the elevations and materials board align with each other.
- 9) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 10) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 11) Prior to building permit the applicant shall move the address monument within 20 ft of the road edge.

Item 11: ADJOUR

MOTION to adjourn by and seconded by and **unanimous** consent, the Design Review Board voted to adjourn the March 2, 2023, meeting at **1:56 pm**.

Prepared and submitted by,

Marleina Fallenius, Planning Technician & Housing Coordinator



TO: Mountain Village Design Review Board
FROM: Design Workshop on behalf of the Town of Mountain Village
FOR: Design Review Board Public Hearing; March 30, 2023
DATE: March 20, 2023
RE: Staff Memo – Final Architecture Review (FAR) Lot 165 Unit 4, 140 Cortina Drive, pursuant to the CDC

PROJECT GEOGRAPHY

APPLICATION OVERVIEW: New Single-Family residence on Lot 165 Unit 4

Legal Description: Unit 4 Cortina Land Condominiums Acc To The Map Of The Cortina Land Condominiums A Colorado Common Interest Community Lot 165 Town Of Mountain Village Rec Nov 30 2004 PI 1 Pg 3400 Thru 3401 And Also Acc To The Declaration Rec Nov 30 2004 At Rec Num 370697
Address: 140 Cortina Drive
Applicant/Agent: Kristine Perpar, Shift Architects LLC
Owner: Chalets at Cortina, LLC **Zoning:** Multi-Family
Existing Use: Vacant
Proposed Use: Single-Family Condominium
Lot Size: .31 acres
Adjacent Land Uses:

- **North:** Multi-Family
- **East:** Multi-Family
- **West:** Multi-Family
- **South:** Multi-Family

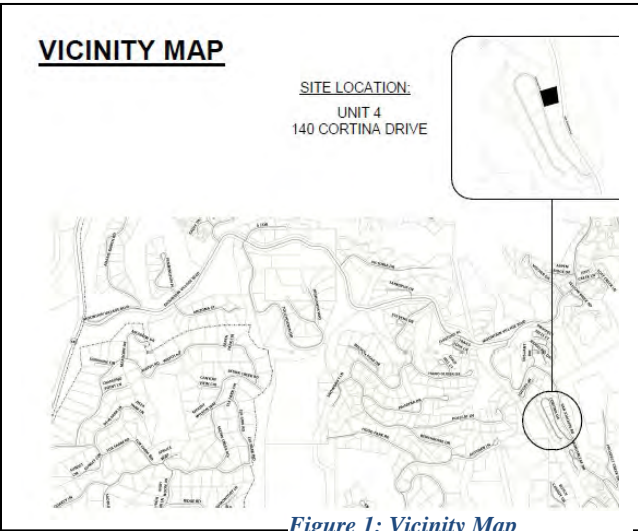


Figure 1: Vicinity Map

ATTACHMENTS

- Exhibit A: Architectural Plan Set
- Exhibit B: Staff/Public Comments
- Exhibit C: Town Council Approval of Height Variance

Case Summary: Kristine Perpar of Shift Architects LLC is requesting Design Review Board (DRB) approval of a Final Architecture Review (FAR) application for a new single-family detached condominium on Lot 165 Unit 4, 140 Cortina Drive.

The proposed structure is a single-family detached condominium located in the multi-family zone district. The proposed development is a four-story building that steps down the site from Cortina Drive, where it reads as a single story, towards San Joaquin Road. The majority of the site has a grade over 70% and the building is built into the natural grade of the site.

The four-story home exceeds the maximum and average height allowances for single family homes. The applicant requested a maximum height and average height variance from the Town Council. The DRB reviewed the initial application and provided a recommendation to Town Council for approval of the height variance. The Town Council unanimously approved the height variance during the March 16 meeting.

The proposed structure is 6,217 sq ft, including a 628 sq ft garage, and utilizes a mixture of wood, stone, and metal siding for the exterior materials. The proposed structure includes four parking spaces, two interior and two exterior.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by Italicized Text.***

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	40' (gabled) Maximum	53.79'
Avg. Building Height	35' Maximum	38.29'
Maximum Lot Coverage	40% (5,356 sq ft)	23% (3,091 sq ft)
General Easement Setbacks	No encroachment	GE Encroachment
Roof Pitch		
Primary		2:12
Secondary		1:12
Exterior Material		
Stone	35% minimum	37%
Windows/Door Glazing	40% maximum	14%
Metal	n/a	22%
Wood	n/a	25%
Parking	2 spaces*	2 interior/ 2 exterior

**Single family detached condominiums have historically followed the single family common interest requirement of the CDC of (2) required spaces*

Design Review Board Approval:

- 1) Metal Fascia
- 2) Metal Soffit

Design Review Board Variation

- 1) Setback encroachment – hardscape for parking

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.3 Use Schedule

Staff: The applicant has identified that this structure is a single-family detached condominium, and the lot is located in the multi-family zone district. According to Table 3-1 Town of Mountain Village Land Use Schedule, a single-family dwelling platted as a condominium dwelling unit is permitted within the multi-family zone district.

17.3.11 and 17.3.12: Building Height and Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates gable roof forms. Single-family, condominium developments are granted a maximum height of 35 feet with an additional 5 feet for gabled roof forms for a total of 40 feet and an average height of 35 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: The primary roof form of the proposed structure is gabled and is therefore granted a maximum height of 40 feet and an average height of 35 feet. The proposed home has a maximum height of 53.79 feet and an average height of 39.29 feet. The DRB recommended approval for a height variance during the March 2 DRB meeting; Town Council unanimously approved the variance on March 16.

17.3.14: General Easement Setbacks

The CDC provides that setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within setbacks such as driveways, ski access, natural landscaping, utilities, address monuments, and fire mitigation. There is no general easement on the site, but the property is burdened by a 16-foot setback on three sides of the lot as well as an increased 30-foot setback located on the downslope portion of the site adjacent to San Joaquin Road to the east.

Staff: There are some encroachments in the setbacks including the following:

- *Driveway: The driveway and associated retaining walls are proposed along Cortina Drive and crosses the setback to the homesite. The driveway includes two structural support walls that encroach upon the setback. The driveway and associated structural walls are essential to provide access to the site in a safe grade given the extreme slope of the site. The retaining wall measures approximately 24 to 35 feet along the eastern elevation. The proposed encroachments have been reviewed and approved by the Cortina HOA.*
- *Utilities: Utilities are proposed to cross the eastern setback off San Joaquin Road and the western setback adjacent to Cortina Drive.*
- *Address Monument: The address monument is located at the intersection of the driveway and Cortina Drive in the setback.*

Staff: The proposal also includes encroachments that are not considered permitted activity:

- *Exterior Parking: One of the exterior parking spaces is located entirely in the lot setback as shown on sheet A1.2 of Exhibit A and highlighted in red in Figure 2.*

During initial review, staff noted that since only two parking spaces are required in the multifamily zoning this space would better serve as a hammerhead turn around for safe passage onto Cortina Drive without the necessity of backing into the street. The applicant did not revise the site plan for final review, and the parking space remains as originally proposed. While not illustrated as a hammerhead, the parking space can function as such when no car is located in the parking space.

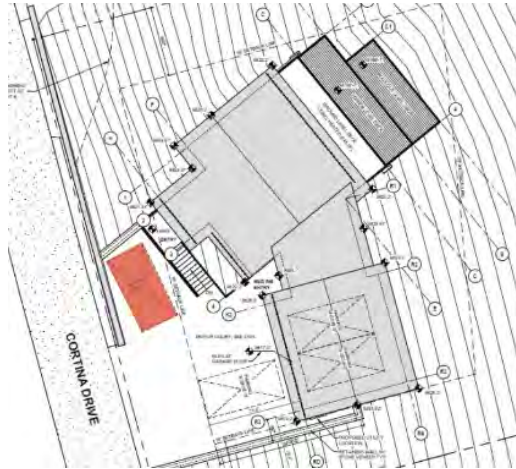


Figure 2: Exterior Parking Setback Encroachment

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The massing steps with the natural topography, in this case a very steep slope. The materials chosen are a combination of stone, wood, and metal which creates an exterior capable of withstanding the high alpine environment. Overall, it appears that the design is visually appealing and would fit within the existing Mountain Village Design Theme. The applicant made some material updates in response to DRB's comments in the initial review.

17.5.6: Building Design

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. Roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation is required. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade

coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

Staff: Staff comments regarding relevant subsections that have been updated are below.

Exterior Wall Form:

The applicant has added stone to the exterior walls to create a more grounding effect to the home. This was a condition created during initial review, per the request of the DRB.

Exterior Walls Materials and Color:

The building materials have been updated slightly. The applicant still proposes using Telluride stone veneer at the base of the home, retaining walls, and along the driveway. A mix of vertical wood siding and horizontal steel siding is incorporated along the exterior of the structure. Stone walls account for approximately 26 percent of exterior materials. The applicant has removed the stone columns that were proposed during initial review. Stone will be used for the retaining walls that are attached to the home and is therefore accounted for in the stone material calculation. Combined, the stone siding and retaining walls account for 37 percent of the material calculation and meets the minimum 35 percent stone requirement. The applicant has indicated that the soffit will be made of flat sheet metal, which is an update from the initial review. This requires specific approval from DRB.

The applicant has previously indicated that the fascia will be made of wood and wrapped with metal flat sheets to match the material of the roof. The DRB approved the use of metal for the fascia during the March 2 meeting.

Town Forrester comment in IASR: Colorado State best management recommendations for home hardening and defensive space include the use of tempered glass, non-flammable materials for decks, and non-flammable materials for the soffit and fascia. The steepness of the slope at this site makes adherence to the CDC critical. It is strongly recommended the home be built using firewise construction methods and building materials (See Forester comments Sheet A2.1 – Image showing grade). Although the CDC does not require this firewise construction at this time, staff encourages the applicant to consider these comments – tempered glass would be a judicious addition to add to home hardening at this site.

Required Surveys and Inspections:

A monumented land survey will need to be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans. The applicant has indicated that the land survey will be completed at final framing.

17.5.9: Landscaping Regulations

Staff: The initial review required an updated landscaping plan to meet the diversity of species requirement and to adhere to the Zone 1 fire mitigation area requirements. Additionally, DRB discussed the potential to include additional landscaping screening on the portion of the site near San Joaquin Road.

The applicant has updated materials to remove all trees from Zone 1 (15 feet boundary around the perimeter of the home). The applicant is proposing planting 17 Bristlecone Pine trees, 7 new Colorado Blue Spruce trees, and retaining several evergreen trees. The proposal meets the diversity of species requirement and adheres to Zone 1 fire mitigation criteria. Additional consideration of fire mitigation is listed below (Section 17.6.1).

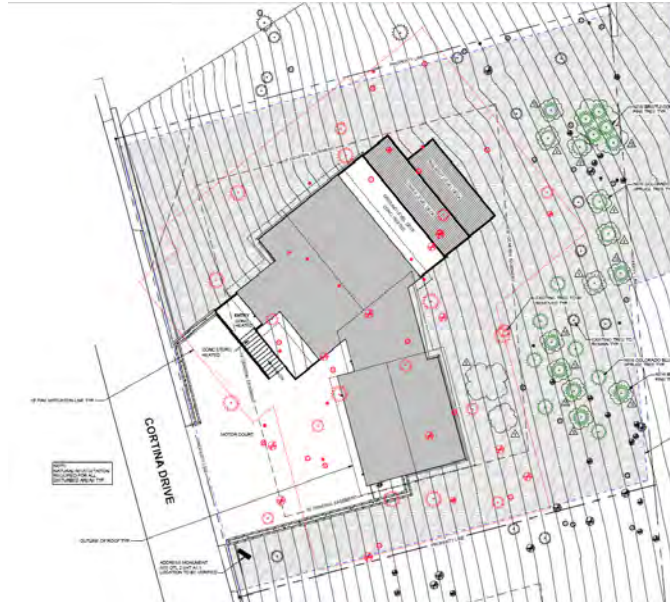


Figure 3: Landscape Plan

17.5.11: Utilities

Staff: Updated civil plans are included on sheet C3. The proposed plan has gas and sewer lines entering the lot from the east connecting to existing lines across San Joaquin Road. The water and electric lines enter the property from the west connecting to lines on Cortina Drive. The gas and electric lines connect to the southern side of the structure, the water from the north side, and the sewer connects from the east under the decks. The applicant has noted that public works indicated that specific lines for each of the utilities to connect to in the public right of way does exist, but they have not all been accounted for in the survey. The applicant shall work with public works and utility providers to finalize the utilities plan as a condition of approval prior to building permit.

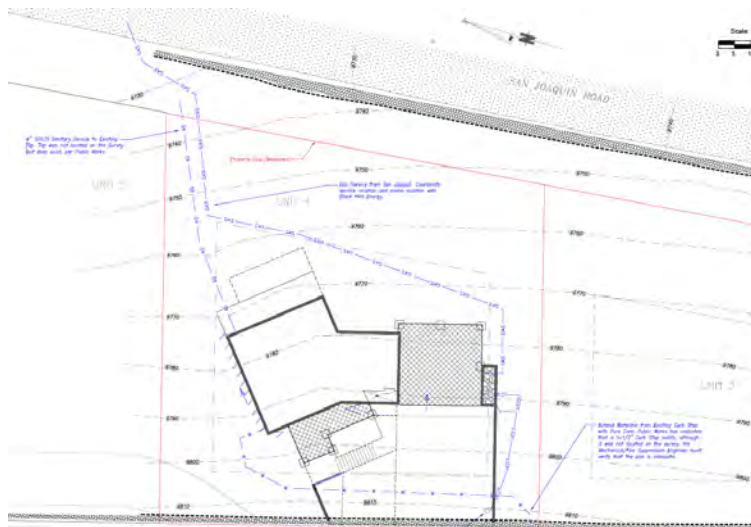


Figure 4: Utilities Plan

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: The applicant has provided a fire mitigation plan on sheets C5 and A1.3. As mentioned, the plan indicates the removal of all existing vegetation within the 15-foot Zone 1 fire mitigation area. The applicant indicates Zone 2 as the area between Zone 1 and the property line due to the size of the lot. The applicant has not indicated the required 10' crown-to-crown separation in Zone 2. Per section 17.6.1A-3d of the CDC, all trees within Zone 2 must have all branches pruned to a height of 10'. It is the responsibility of the lot owner to maintain these regulations required by the wildfire mitigation plan of section 17.6.1A3. Comments provided by the Town Forrester during initial review still apply.

Town Forrester IASR Comment: Due the steepness of the slope the entire lot falls within the Zone 1 or Zone 2 fire mitigation areas, the plan must state that all Zone 2 trees must have a minimum crown separation of 10 feet in between crowns and all shrubs over 10 feet tall must have a minimum crown spacing of 10 feet (see forester comments, Sheets A1.3 & A1.4). See Figure 5 for additional Forrester comments. Prior to building permit the applicant shall meet with the Town forrester on site to assure that all Zone 2 regulations are being met as it relates to both existing trees and newly proposed landscaping.

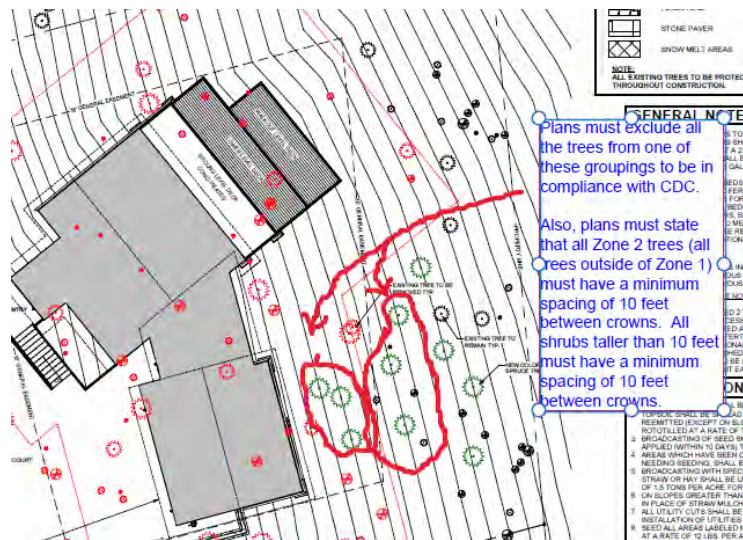


Figure 5: Town Forrester landscaping comments from IASR review



Figure 6: Fire Mitigation Plan

The applicant has noted that a monitored automatic sprinkler system in accordance with NFPA 13D, 2018 IFC, a monitored fire alarm system in accordance with NFPA 72, 2018 IFC, and TFPD amended codes for a group R-3 occupancy, and a Knoxbox for emergency access will be installed.

The applicant shall install a monitored carbon monoxide detection in accordance with 2018 IFC 915.2.1.

17.6.6: Roads and Driveway Standards

Sheet C2.2 shows the driveway profile for the proposed structure. The driveway is made of concrete and extends off of Cortina Drive to connect to the garage and entryway off of the mud room level. The bridge is supported by stone veneer walls that connect to the natural grade of the structure and extended into the setback. The proposed driveway has a maximum grade of 6.79 percent and is within the allowed 8 percent maximum grade requirement.

At initial review the applicant was required to provide details on how the driveway attaches to the existing Hilfiker retaining wall that provides structural support to Cortina Drive. The applicant has included correspondence with Uncompahgre Engineering stating that the driveway structure will remain independent of the existing Hilfiker retaining wall. According to the correspondence, "The Lot 4 motorcourt will be built on a deep foundation (micropiles). Several micropiles will be installed adjacent to the Hilfiker and the motorcourt columns built on top. A section of motorcourt will need to be cantilevered south to abut to the existing Hilfiker since the Hilfiker is battered." The edge of the driveway will be a horizontal piece of tube steel and the walls will be able to move independently with a ½ inch gap between them.

Chapter 17.7: BUILDING REGULATIONS

17.7.20: Construction Mitigation

Staff: A Phase 1 Construction Mitigation Plan has been provided. The plan contains the appropriate identification of material storage, construction dumpster, port-a-John toilet, Bear Proof Poly Car, chain link fencing, erosion logs, straw wattles, and silt fencing.

The applicant has included a letter from the Contractor of record for construction of the home. The letter states that material storage will be obtained off-site. The applicant will also create a crane site that allows materials to be lifted from San Joaquin Road. This is not reflected on the CMP on Sheet C4.

On Sheet C4 the applicant has identified parking spots on-site as well as on San Joaquin Road until the site can accommodate on-site parking. The plan identifies a crane location and crane swing that impedes on Cortina Drive. This potentially conflicts with the written letter from the Contractor, who states that the crane site will be on San Joaquin Road. The applicant should clarify the construction mitigation plan.

The plan does not identify tree protection for trees that will remain on site. An updated Construction Mitigation Plan will be required prior to building permit.

Staff Recommendation: Staff recommends the DRB approve the Final Architectural Review for Lot 165 Unit 4, 140 Cortina Drive, with conditions, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion: I move to approve the Final Architecture Review for a new single-family condominium located at Lot 165 Unit 4, based on the evidence provided in the staff memo of record dated March 20, 2023 and the findings of this meeting, with the following specific approvals, variation, and conditions:

Design Review Board Approval

- 1) Metal Fascia
- 2) Metal Soffit

Design Review Board Variation

- 1) Setback encroachment - hardscape

Conditions

- 1) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum and average building height.*

- 2) *Prior to building permit, the applicant shall provide an updated landscape and fire mitigation plans showing compliance with the Fire Mitigation standards, including a minimum 10 feet crown spacing and removal of trees identified by the Forrester.*
- 3) *The applicant shall work with public works and utility providers to finalize the utilities plan as a condition of approval prior to building permit.*
- 4) *Prior to building permit the applicant will provide a consistent construction mitigation plan.*
- 5) *The applicant shall install a monitored carbon monoxide detection in accordance with 2018 IFC 915.2.1.*
- 6) *Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
- 7) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
 - a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
 - b. *Wood that is stained in the approved color(s);*
 - c. *Any approved metal exterior material;*
 - d. *Roofing material(s); and*
 - e. *Any other approved exterior materials*
- 8) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*

Date: February 10, 2022
By: Kristine Perpar, Architect

Property address:

Cortina Lot
Telluride, CO 81435

Sent to: MV DRB

Re: Updated Drawings for DRB Final

Dear Mountain Village Design Review Board,

We have addressed your concerns from the 3/2/23 DRB Meeting

Condition 1: Town Council Meeting Scheduled for March 16th, 2023
Condition 2: Land Survey will be completed at final framing
Condition 3: Landscape Plan has been Revised Ref. Sheet A1.3
Condition 4: Fire Mitigation has been updated , Ref Sheet C5
Condition 5: Ref Utility Plan on Sheet C3. David Ballode has had all utilities located and has contacted public works.
Condition 6: Reference Sheet C4 for updated Construction mitigation plan along with a letter from the contractor.
Condition 7: Reference attached letter from our civil engineer.
Condition 8; Note added to plans. Ref Cover sheet.
Condition 9: Note added to plans. Ref Cover sheet.
Condition 10: This item will be part of the building permit set.
Condition 11: A 4'x 4' stone sample and all exterior finish will be provided. Once completed town staff will be notified.
Condition 12: Owner has been made aware of condition 12 and has agreed.
Condition 13: More planting in the 30' Setback was provided. Ref Sheet A1.3
Condition 14: Stone columns have been removed and more stone has been added for a more grounding effect. Ref Sheet A4.1 through A4.6

Sincerely,



Kristine Perpar

HOINS CONSTRUCTION INC.

GENERAL CONTRACTING · CONSTRUCTION MANAGEMENT

3/8/2023

"Phase 1 "

To Whom it may concern,

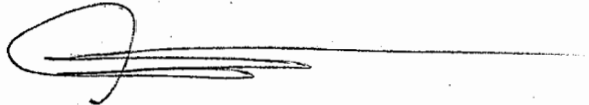
I am the Contractor of record for the construction of a single-family residence on lot # 4 in Cortina, Mountain Village.

I have reviewed the Construction Mitigation Plan for Phase 1 of the project submitted by Uncompagne Engineering dated: 03/07/2023.

I intend to implement the following Plan.

- 1) Due to extreme limits on material staging and project parking, I will secure offsite material storage and reserve parking on San Joaquin Rd.
- 2) Phase one will include creating the garage level area site off Cortina drive for limited material storage and the creation of a crane site. The crane will allow materials to be lifted from San Joaquin Rd. This area will be secured by construction fence that will be locked at the end of each work day. The remaining boundaries will be protected by 6' chain link fence with privacy screening.
- 3) Upon the actual start date for the project, we will use a mobile crane to transport the smaller excavation equipment from San Joaquin Rd. to the garage area and create a pad within the eventual homes footprint to place the tower crane for the remainder of the construction process.

Sincerely,



Bill Hoins

President

Kristine Perpar

From: David Ballode <dballode@msn.com>
Sent: Sunday, March 12, 2023 12:40 PM
To: Kristine Perpar
Subject: RE: Cortina Lot 4 - Motorcourt at Existing Hilfiker

Kris –

The Lot 4 motorcourt structure must remain independent of the existing Hilfiker MSE Wall that holds up Cortina Drive.

The Lot 4 motorcourt will be built on a deep foundation (micropiles). Several micropiles will be installed adjacent to the Hilfiker and the motorcourt columns built on top. A section of motorcourt will need to be cantilevered south to abut to the existing Hilfiker since the Hilfiker is battered. I envision the edge to be a horizontal piece of tube steel. A gap of approximately ½" will be left so that the 2 walls can move independently.

There won't be much movement on the motorcourt due to the deep foundation, but if the MSE wall does move then the tube steel can be adjusted as necessary. The first 1'-2' feet of the motorcourt may be serrated steel grate rather than heated slab on pan deck.

David Ballode, P.E.
Uncompahgre Engineering, LLC

GENERAL NOTES:

CONTRACT DOCUMENTS:

CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, DETAIL BOOK AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTES WITH "N.T.S." DENOTES NOT TO SCALE.

ORGANIZATION:

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), CIVIL DRAWINGS (C SHEETS), STRUCTURAL (S SHEETS), MECHANICAL AND PLUMBING (M SHEETS), ELECTRICAL (E SHEETS) AND LIGHTING (LTG SHEETS).

CODE COMPLIANCE:

ALL WORK, MATERIALS AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

INTENT:

THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

COORDINATION:

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS. VERIFY ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

SUBSTITUTIONS:

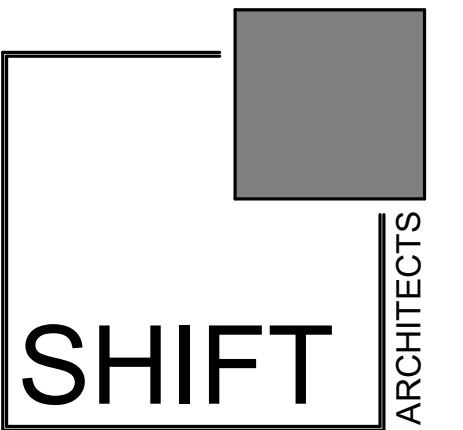
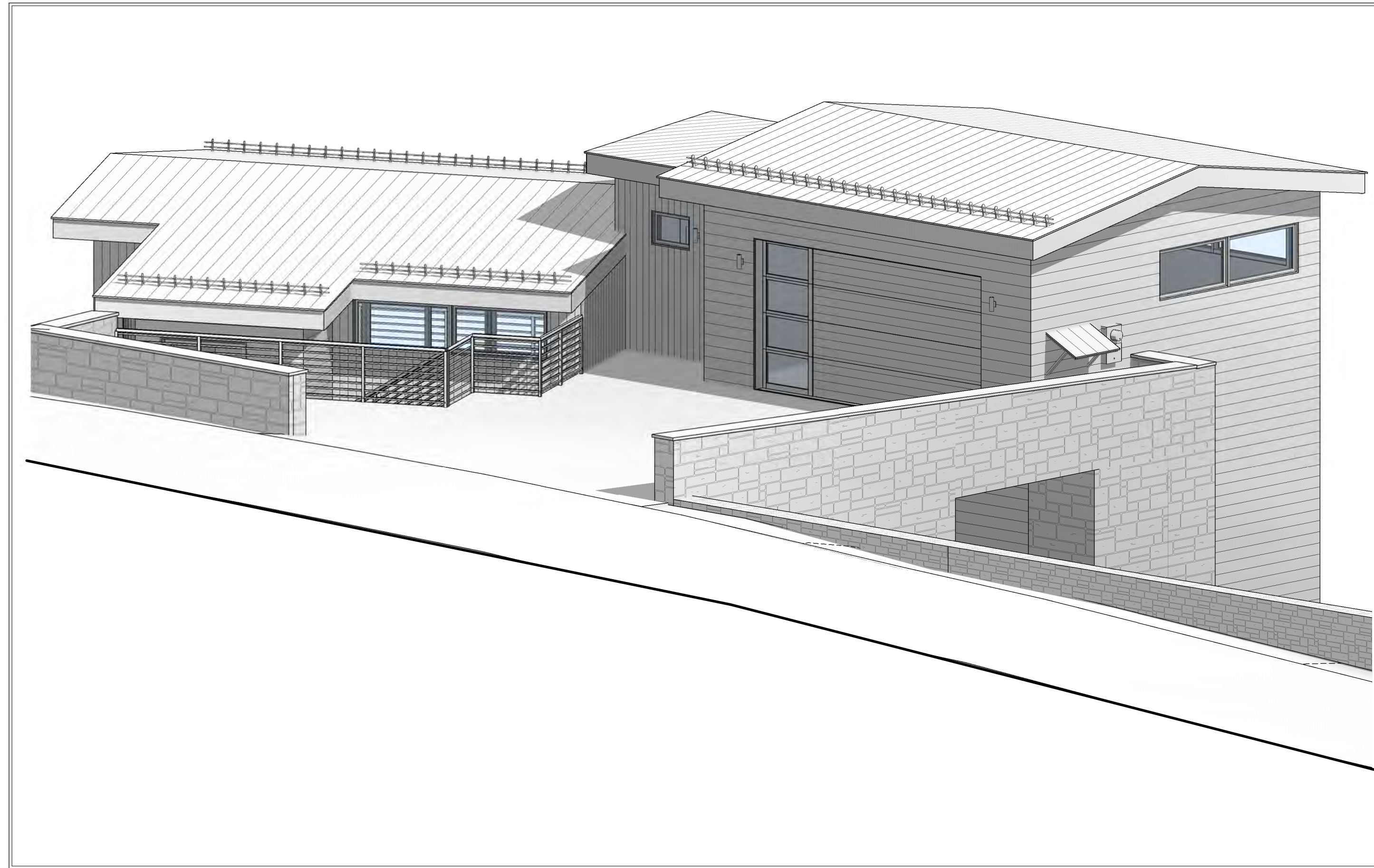
ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED-OUT-BY-TRADE-NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

SHOP DRAWINGS:

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "SUBSTITUTIONS" ABOVE.

SAFETY & PROTECTION OF WORK:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.



P. O. Box 3206
100 W. Colorado Suite 211
Telluride, Colorado 81435
p 970-728-8145
kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE:
03.10.23 DRB FINAL REVIEW

REVISIONS

NO.	DATE	DESC.
1	03.06.23	Revised floor area
2	03.07.23	Revised fire code

PROJECT CODE INFORMATION

ZONING:	MULTI-FAMILY
BUILDING CODE:	IRC 2018 AND ALL APPLICABLE CODES AS REQUIRED BY THE TOWN OF MOUNTAIN VILLAGE
DESCRIPTION:	SINGLE FAMILY RESIENCE
OCCUPANCY CLASSIFICATION:	R-3
AUTOMATIC FIRE SPRINKLER:	MONITORED NFPA 13D SPRINKLER SYSTEM REQUIRED
NATIONAL FIRE ALARM & SIGNALING CODE:	MONITORED NFPA 72 ALARM SYSTEM REQUIRED
EMERGENCY ACCESS:	PROVIDE KNOX BOX FOR EMERAGNCY ACCESS
FIRE RESISTIVE RATING:	GARAGE - 1 HR MECHANICAL - 1 HR

PROJECT INFORMATION

PROPOSED FLOOR AREA:		MAX BUILDING HEIGHT:	
WALKOUT LEVEL	1,981.24 SF	ALLOWABLE	40'-0" (35'-0" + 5'-0" GABLE RIDGE, CDC TABLE 3-3 FOOTNOTE 1)
LOWER LEVEL	1,486.99 SF	PROPOSED	53.79' (GARAGE)
GROUND LEVEL	1,256.65 SF	MAX AVERAGE HEIGHT:	
KITCHEN LEVEL	627.97 SF	ALLOWABLE	35'-0"
MUD ROOM LEVEL	236.65 SF	PROPOSED	38.29'
TOTAL FLOOR AREA:	5,589.50 SF	PARKING REQUIRED:	4 SPACES PROVIDED (4 REQUIRED) (2 ENCLOSED IN GARAGE) (2 SURFACE SPACES)
GARAGE	627.97 SF		
TOTAL:	6,217.47 SF		
LOT AREA:	.3074 ACRES (13,390 SF)		
LOT COVERAGE:			
ALLOWABLE	(40% MAX) 5,356 SF		
PROPOSED	(23%) 3,091 SF		

SEE SHEET A2.1 FOR 40' PARALLEL OFFSET
SEE SHEET A2.2 / A2.3 FOR MAXIMUM BUILDING HEIGHT CALCULATIONS

SHEET INDEX

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- G1.0 COVER SHEET
- G1.1 ABBREVIATIONS AND LEGENDS

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- C1 NOTES
- C2.1 GRADING AND DRAINAGE WITHOUT TREES DISPLAYED
- C2.2 GRADING AND DRAINAGE WITH TREES DISPLAYED
- C3 UTILITY PLAN
- C4 PHASE 1 CONSTRUCTION MITIGATION
- C5 FIRE MITIGATION

SURVEY / MAPPING

- 0 EXISTING CONDITIONS PLAN

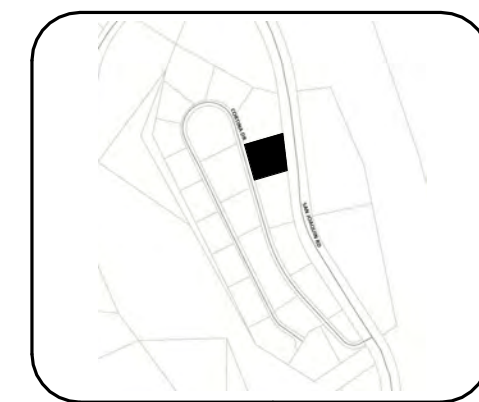
ARCHITECTURAL

- A1.1 ARCHITECTURAL SITE PLAN
- A1.2 BUILDING SITE PLAN
- A1.3 LANDSCAPE PLAN
- A1.4 IRRIGATION PLAN
- A2.1 SITE 40' PARALLEL OFFSET
- A2.2 MAX BUILDING HEIGHT / MAX LOT COVERAGE CALC
- A2.3 MAX BUILDING HEIGHT
- A2.4 MATERIAL CALCULATIONS
- A2.5 MATERIAL CALCULATIONS
- A3.1 FLOOR PLAN
- A3.2 FLOOR PLAN
- A3.3 FLOOR PLAN
- A3.4 FLOOR PLAN
- A3.5 ROOF PLAN
- A4.1 EXTERIOR ELEVATIONS
- A4.2 EXTERIOR ELEVATIONS
- A4.3 EXTERIOR ELEVATIONS
- A4.4 EXTERIOR ELEVATIONS
- A4.5 EXTERIOR ELEVATIONS
- A4.6 EXTERIOR ELEVATIONS
- A4.7 EXTERIOR ELEVATIONS
- A4.8 PRESENTATION ELEVATIONS
- A8.1 DOOR SCHEDULE
- A8.2 WINDOW SCHEDULE

- LTG1.0 EXTERIOR LIGHTING PLAN

VICINITY MAP

SITE LOCATION:
UNIT 4
140 CORTINA DRIVE



PROJECT TEAM

OWNER:

CHALETS AT CORTINA LLC A CO LLC
3521 N 32ND TER
HOLLYWOOD, FL 330212618

ARCHITECT:

SHIFT ARCHITECTS, LLC
KRISTINE PERPAR - ARCHITECT
100 WEST COLORADO STE. 211
TELLURIDE, CO 81435
P. 970.275.0263
kristine@shift-architects.com

GENERAL CONTRACTOR:

HOINS CONSTRUCTION
BILL HOINS
137 SOCIETY DRIVE
TELLURIDE, CO 81435
P. 970.728.9371
hoinsoffice@gmail.com

SURVEYOR:

FOLEY ASSOCIATES, INC.
125 W. PACIFIC, SUITE B-1
P.O. BOX 1385
TELLURIDE, CO 81435
P. 970.728.6153
F. 970.728.6050

CIVIL:

UNCOMPAGRE ENGINEERING LLC
DAVID BALLODE P.E.
PO BOX 3945
TELLURIDE, CO 81435
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dbalode@msn.com

STRUCTURAL:

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JACK GARDNER, P.E.
PO BOX 4045
TELLURIDE, CO 81435
P. 970.728.5440
jgardner.pe@gmail.com

MECHANICAL:

HUGHES CONSULTING ENGINEERING, PA
DIMITRI MERRILL, P.E.
TELLURIDE, CO 81435
P. 970.239.1949
F. 785.842.2492
dimitri@hce-pa.com

LANDSCAPING:

SHIFT ARCHITECTS, LLC
KRISTINE PERPAR - ARCHITECT
100 WEST COLORADO STE. 211
TELLURIDE, CO 81435
P. 970.275.0263
kristine@shift-architects.com

CORTINA LAND CONDOMINIUMS UNIT 4

140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 4, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST
COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004-PL 1, PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION
REC NOV 30 2004 AT REC NUM 370697

COVER SHEET

SHEET NUMBER

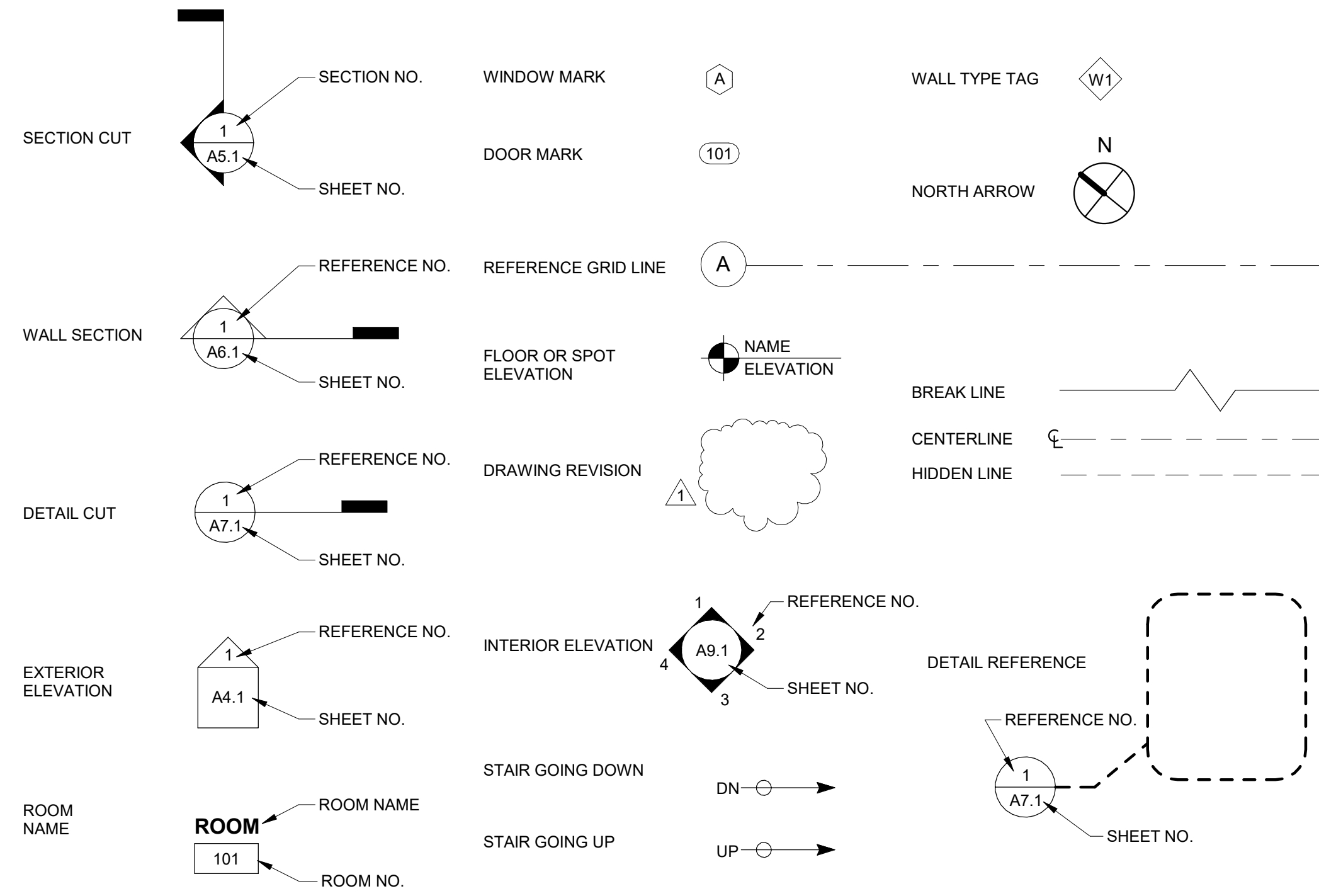
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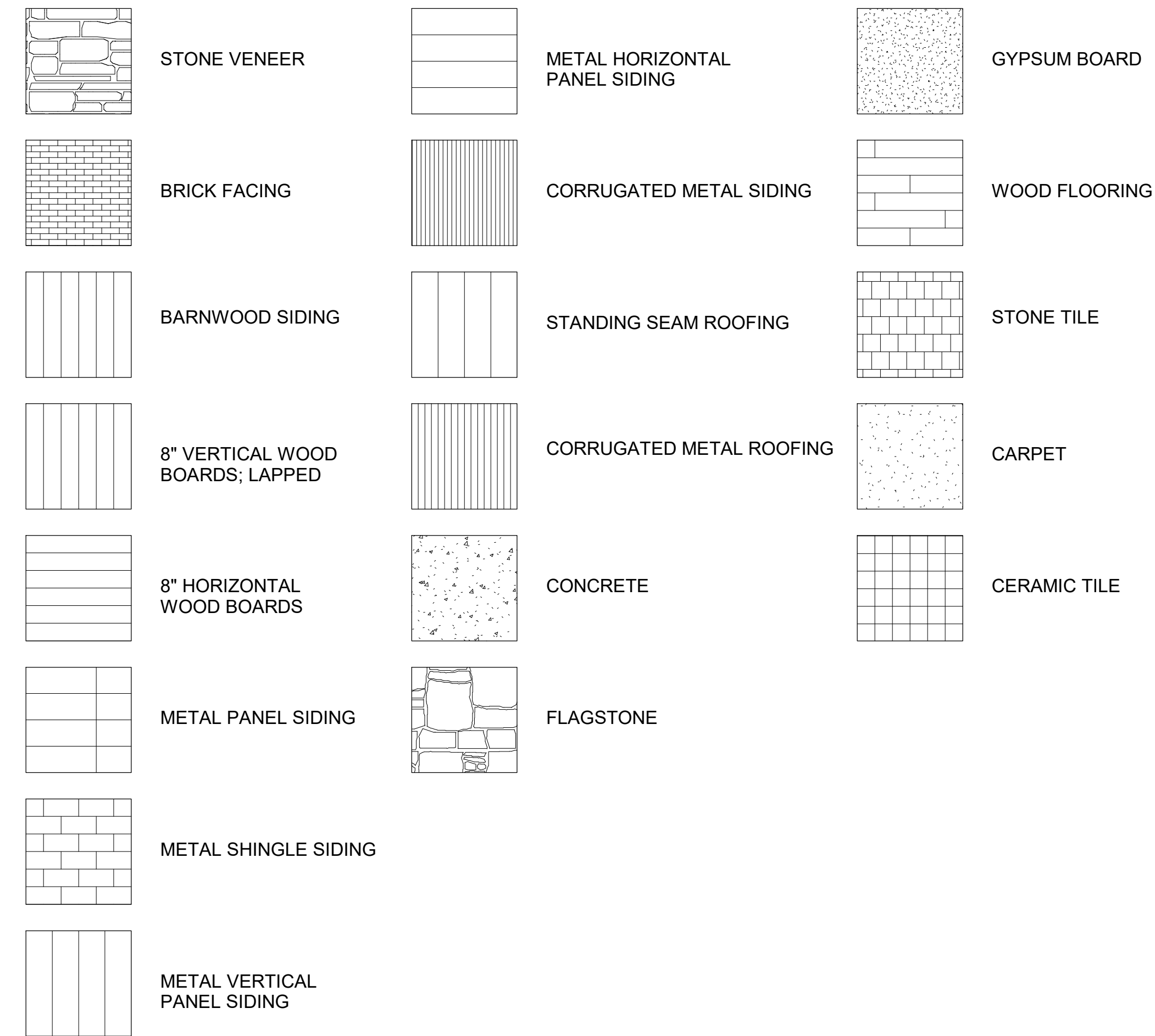
NOT FOR CONSTRUCTION

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SYMBOL LEGEND

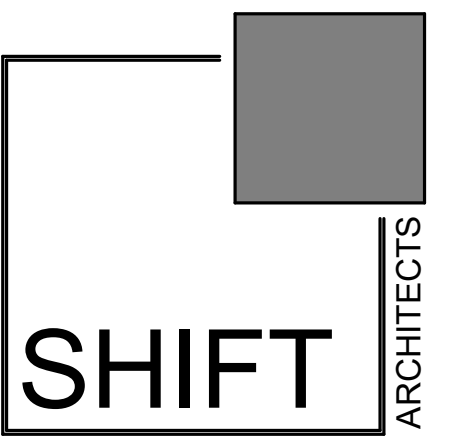


MATERIAL LEGEND



ABBREVIATIONS

AC	Acres
AFF	Above Finished Floor
AGG	Aggregate
AL	Aluminum
BM	Bench Mark
BSN	Basin
BTH	Bath
CL	Centre Line
CJ	Control Join
CLST	Closet
CP	Carpet
CT	Ceramic Tile
DIA	Diameter
DP	Downpipe
DW	Dishwasher
EX	Existing
FF	Finished Floor
FHR	Fire Hose Reel
FP	Flue Pipe
GAL	Galvanized
GL	Ground Line
GFI	Ground Fault Circuit Interrupter
GPO	General Power Outlet
IBC	International Building Code
MDF	Medium Density Fibreboard
MR	Metal Roofing
MSB	Main Switch Board
NTS	Not To Scale
PFC	Parallel Flanged Steel Channel
PL	Plastic Laminate
PT	Paint
RC	Reinforced Concrete
REF	Refrigerator
RL	Reduced Level
S	Sanitary Drainage Pipe
SHR	Shower
SK	Sink
SN	Stone
SS	Stainless Steel
ST	S Trap
STF	Steel Trowel Finished Concrete
SW	Stormwater Drainage Line
T&G	Tongue and Grooved
TO	Top Of
TPH	Toilet Paper Holder
TR	Tiled Roofing
TSF	Timber Strip Floor
TYP	Typical
U	Urinal
UOS	Unless Otherwise Specified
V	Valley
VIF	Verify In Field
VP	Vent Pipe
WC	Water Closet (Toilet)
WM	Washing Machine
WPM	Water Proof Membrane



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PROJECT ISSUE DATE:
 03.10.23 DRB FINAL REVIEW

REVISIONS
 NO. DATE DESC.

CORTINA LAND CONDOMINIUMS UNIT 4

140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
 UNIT 4, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST
 COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION
 REC NOV 30 2004 AT REC NUM 370697

ABBREVIATIONS AND LEGENDS

SHEET NUMBER

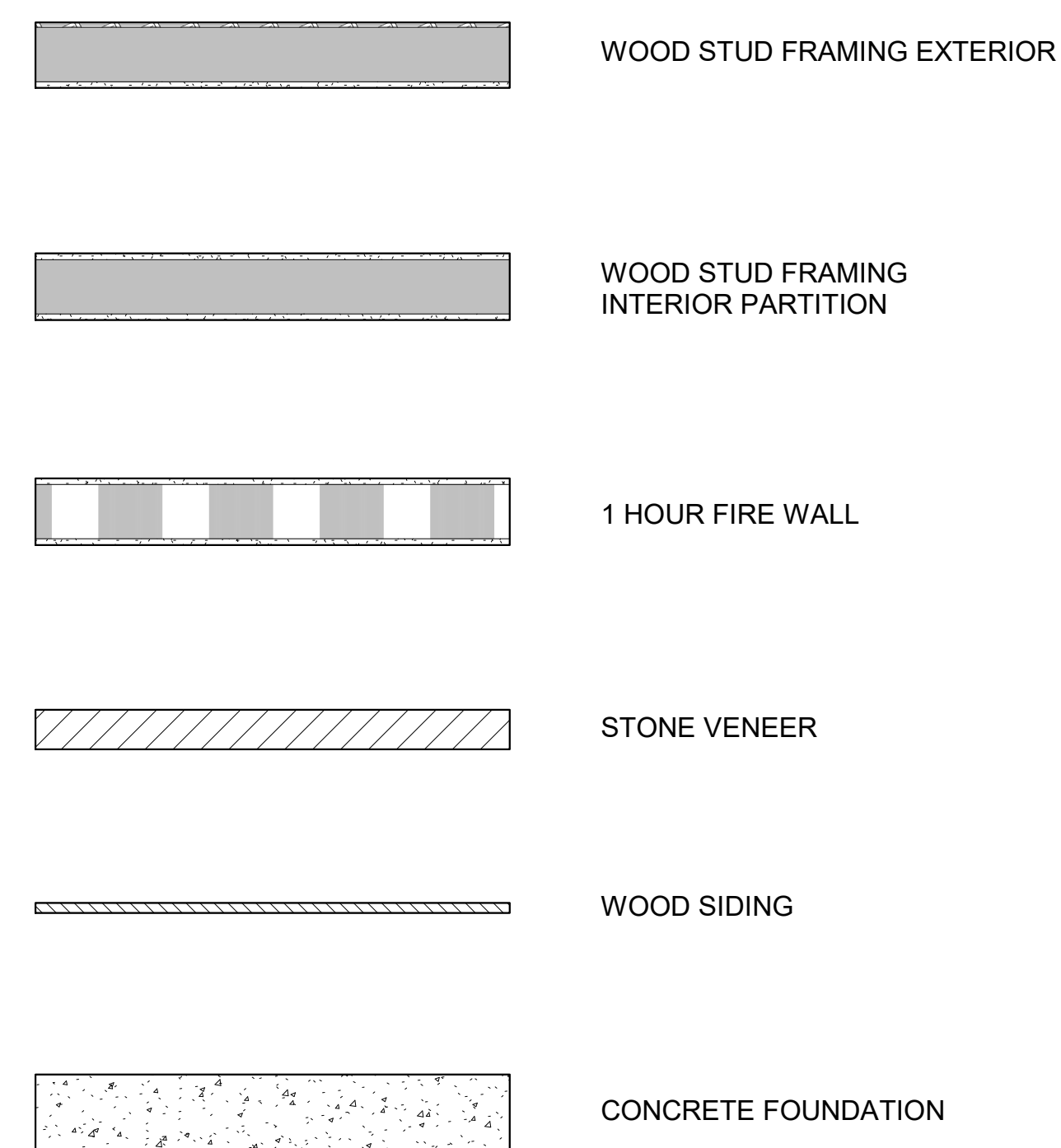
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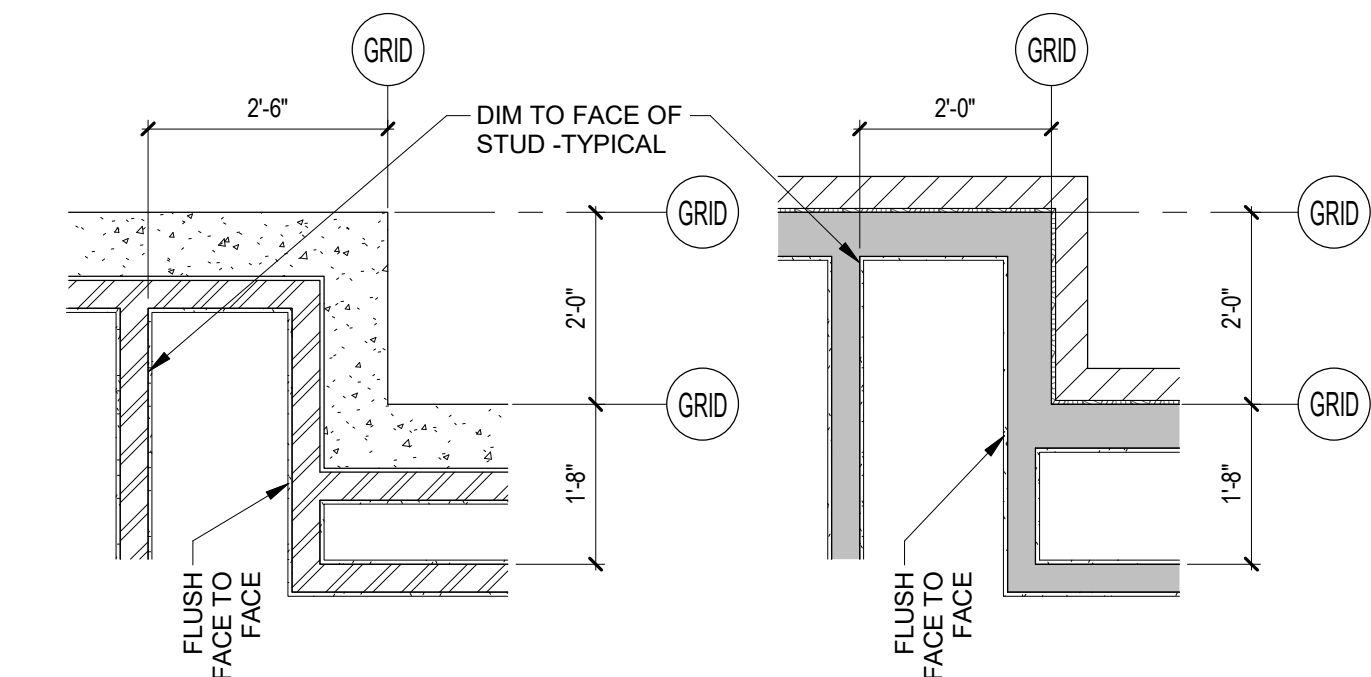
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WALL LEGEND



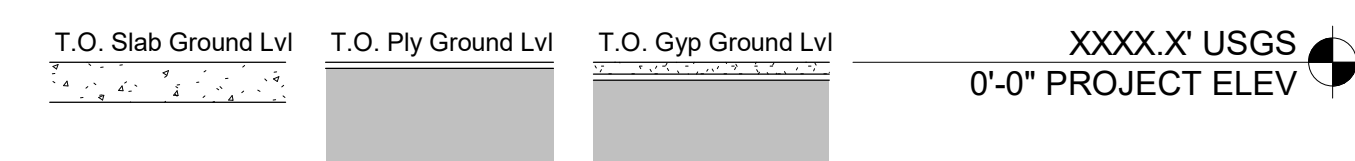
DIMENSIONING LEGEND

- GRIDS ALIGN WITH OUTSIDE FACE OF FOUNDATION WALL AND OUTSIDE FACE OF STUD AT EXTERIOR STRUCTURAL FRAME WALL.
- WALLS AND PARTITIONS SHOWN IN PLAN INCLUDE FINISH MATERIALS.
- DIMENSIONS ARE SHOWN FROM GRID TO GRID, GRID TO FACE OF STUD, AND FACE OF STUD TO FACE OF STUD AT INTERIOR PARTITIONS, TYPICAL.
- INTERIOR PARTITIONS FLUSH FACE TO FACE WITH THEIR EXTERIOR COUNTERPARTS, TYPICAL.



PROJECT DATUM LEGEND

ACTUAL ELEVATION ABOVE SEA LEVEL = PROJECT 0'-0"



GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

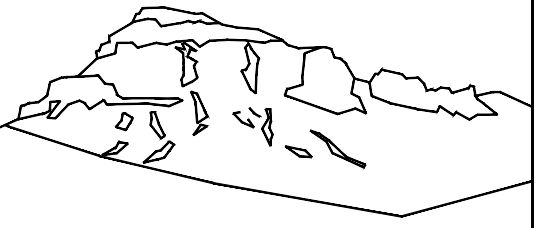
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL	2022-10-05
DRB SUBMITTAL	2023-01-10

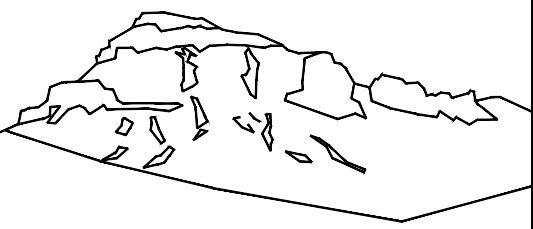
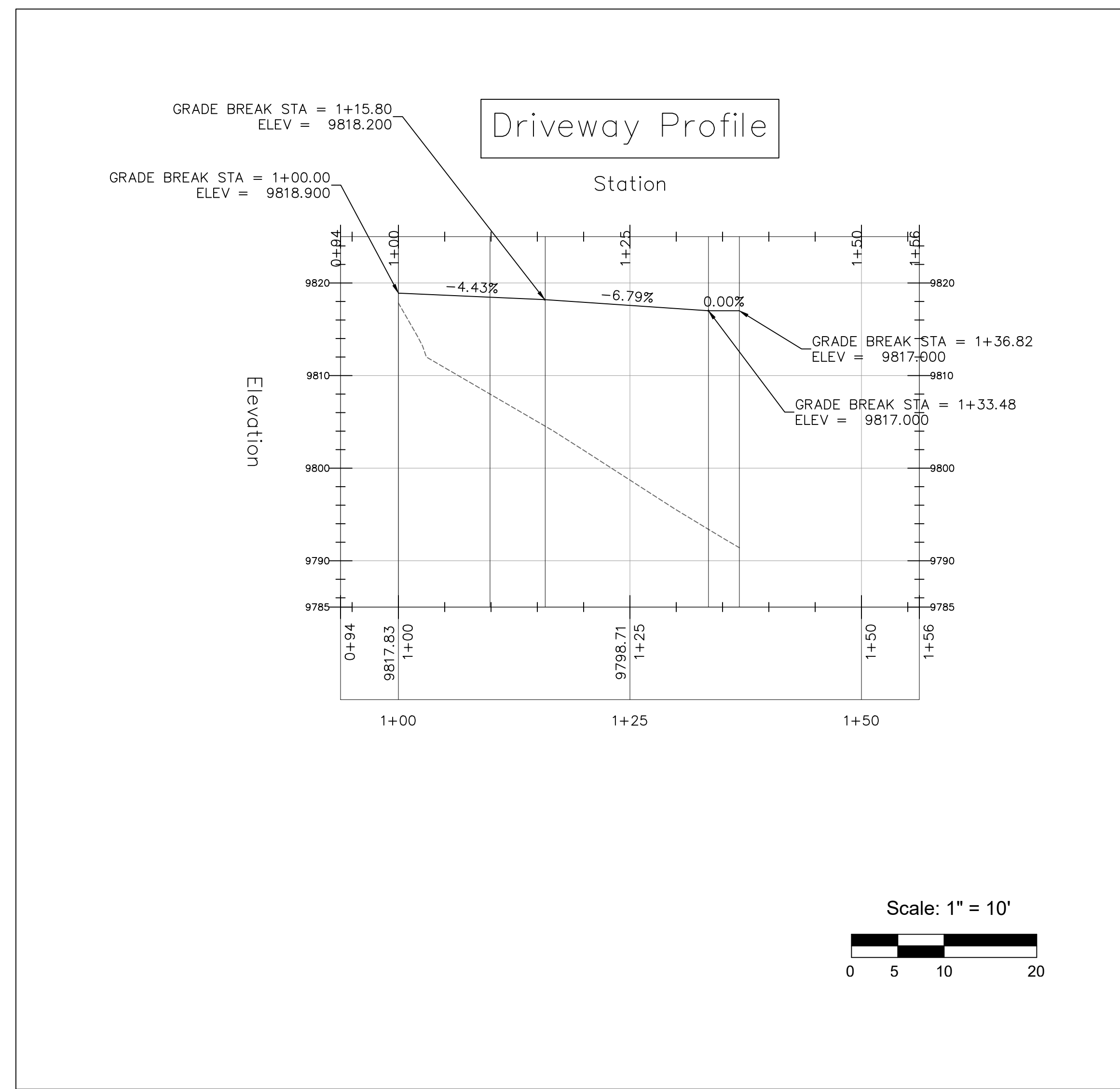
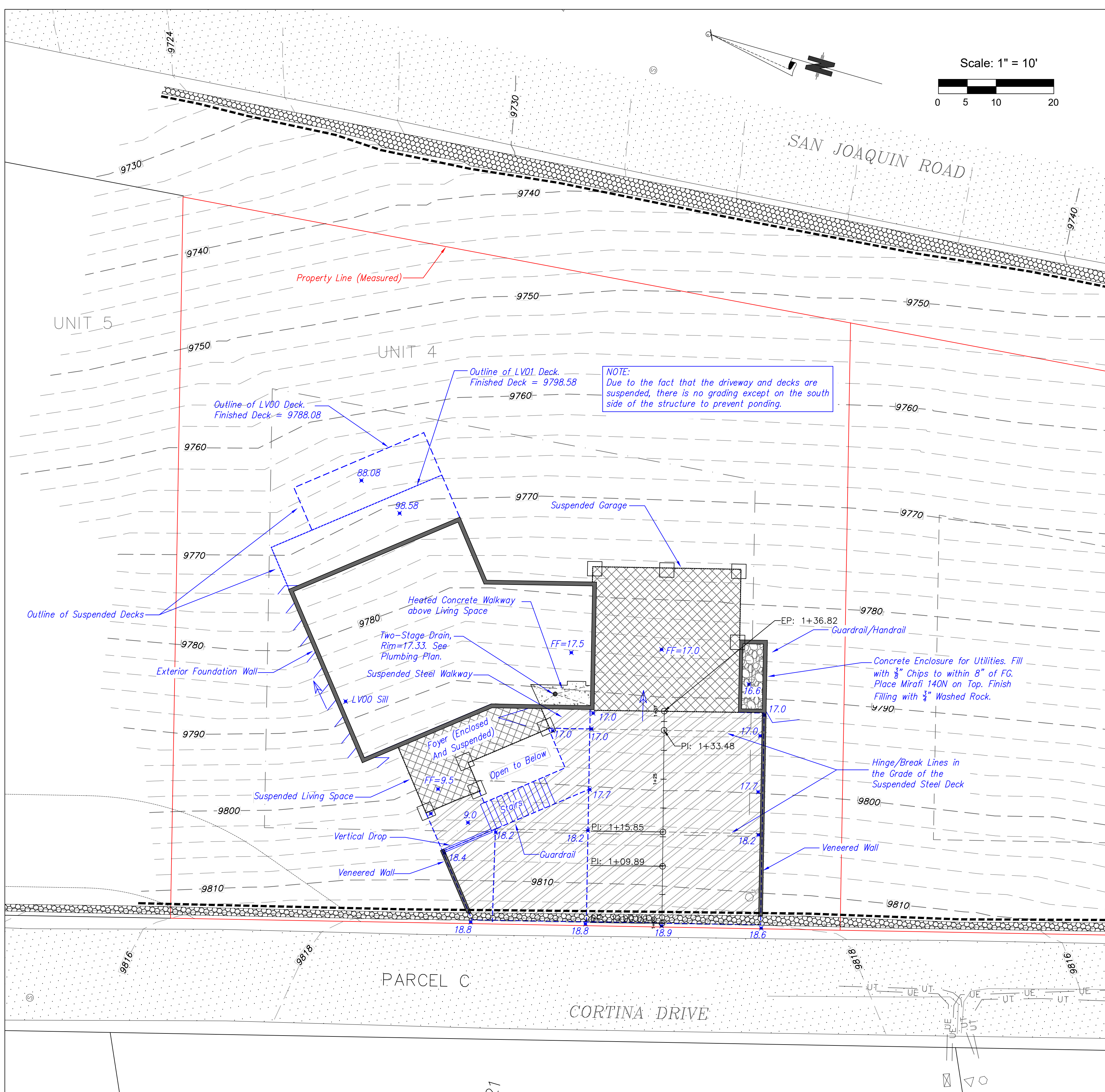
Lot 4, Cortina
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



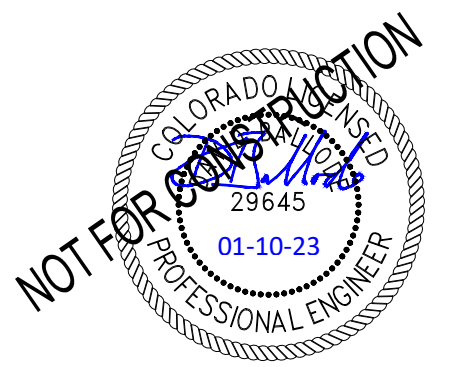
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970-729-0683

SUBMISSIONS:

DRB SUBMITTAL 2022-10-05
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Lot 4, Cortina
Mtn. Village, CO

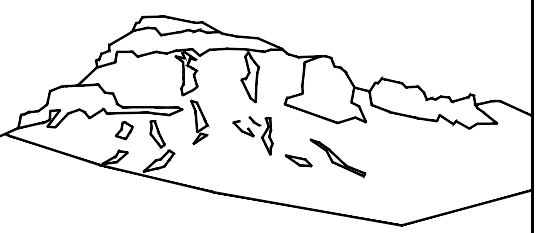
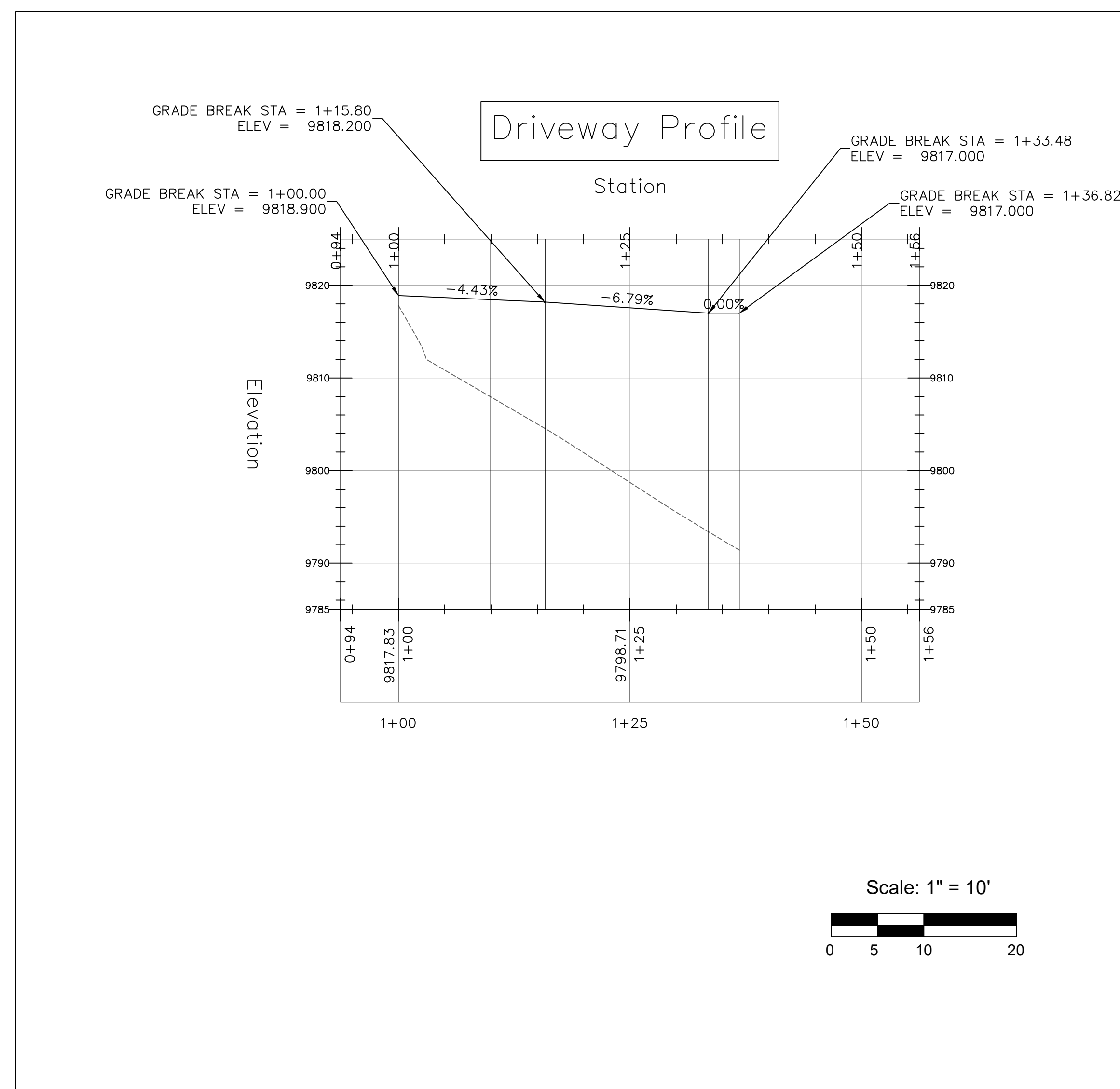
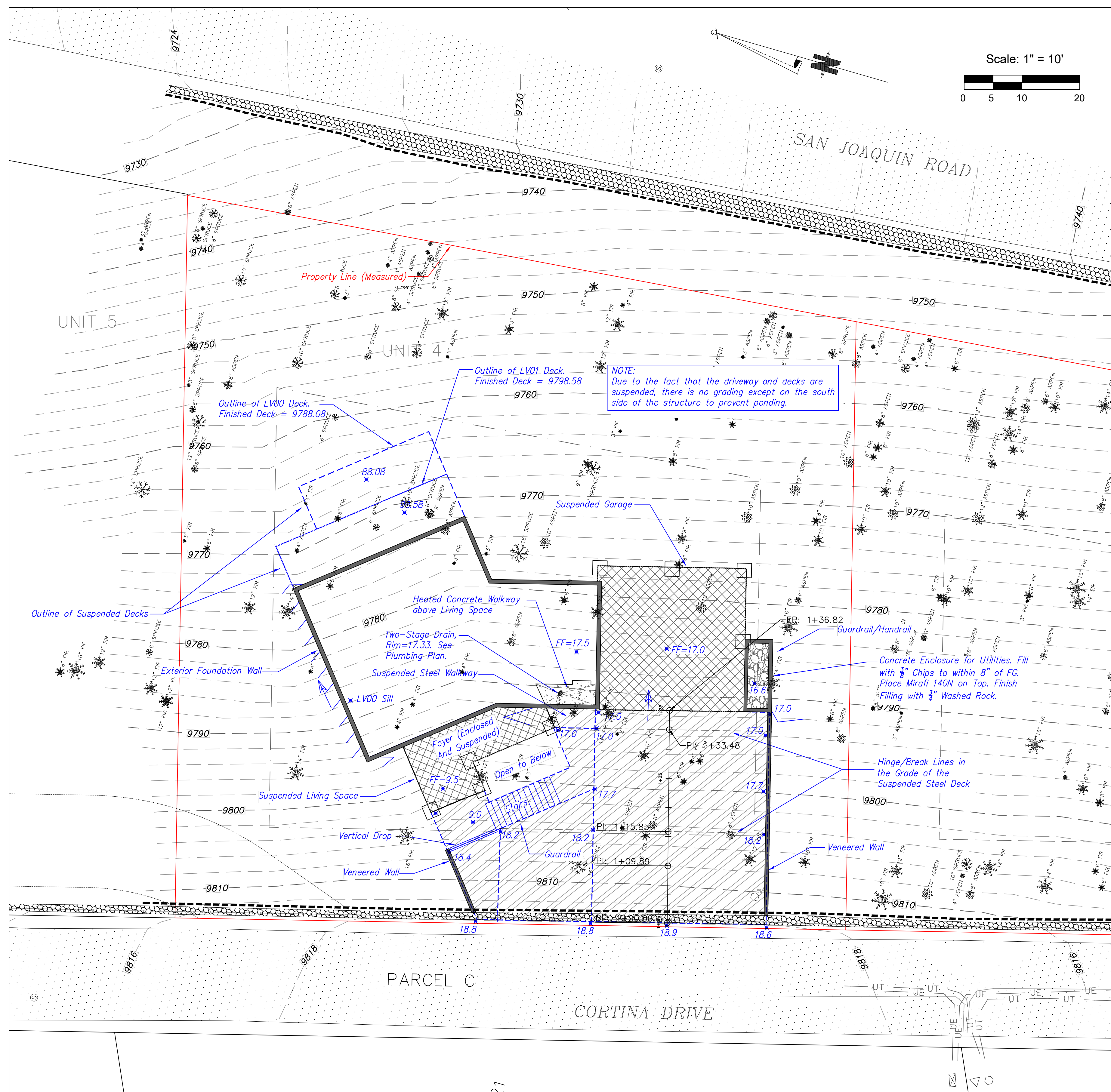


CONTRACTOR TO REVIEW AND COMPARE ALL
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AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading
and
Drainage

without
Trees
Displayed

C2.1



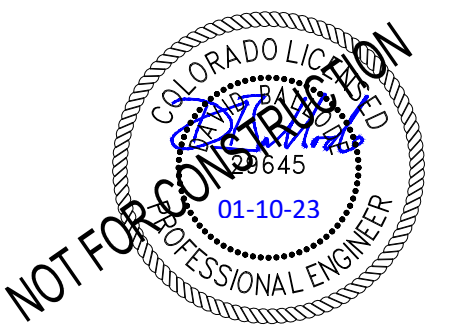
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Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

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DRB SUBMITTAL 2023-01-10

Lot 4, Cortina
Mtn. Village, CO

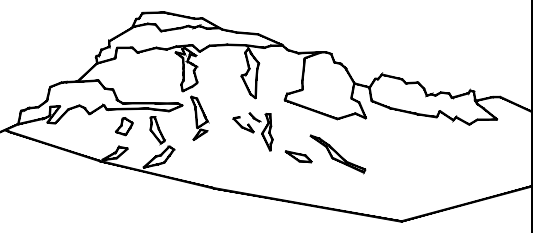
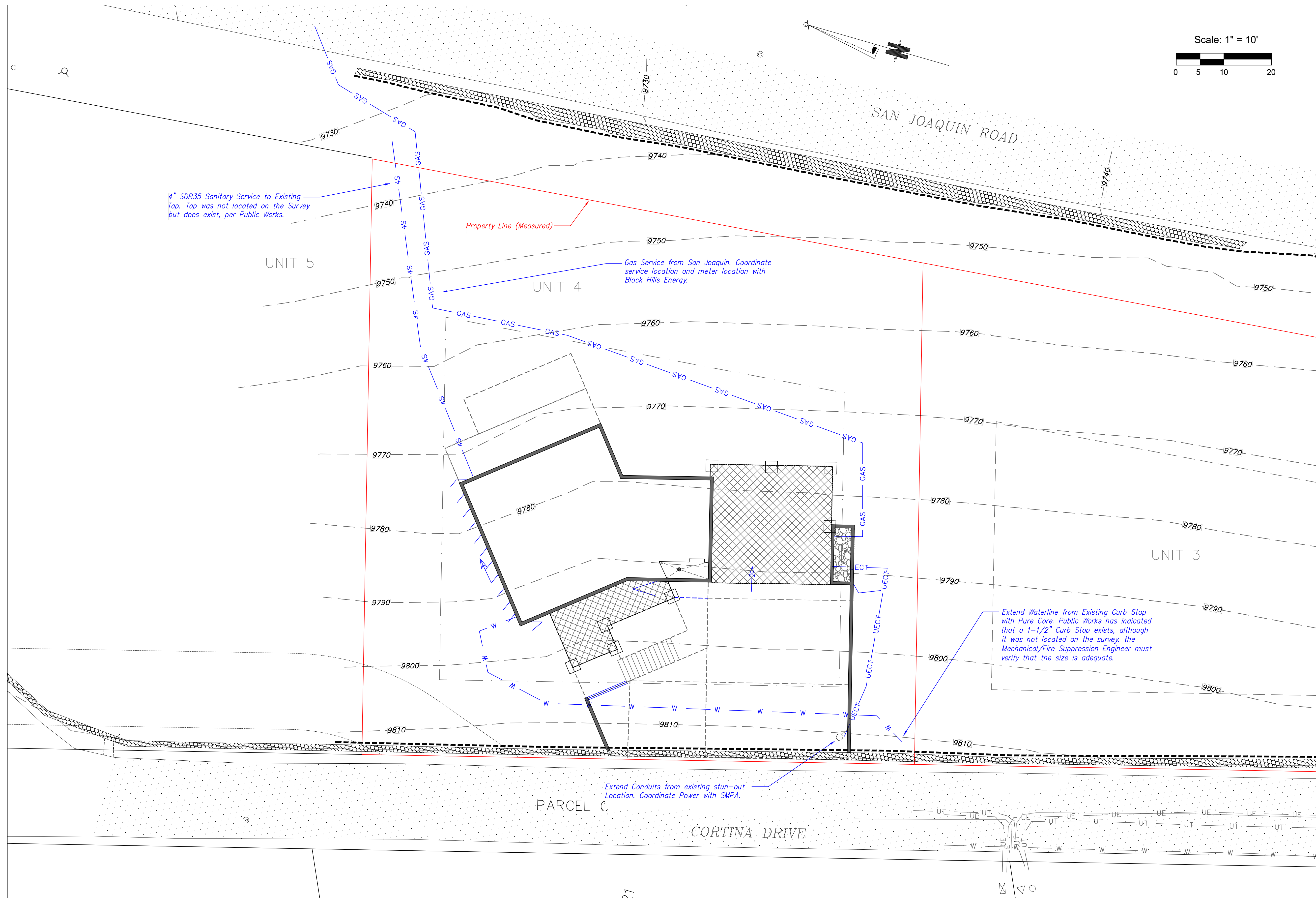


CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading
and
Drainage

with
Trees
Displayed

C2.2



Uncompahgre
Engineering, LLC

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Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL	2022-10-05
DRB SUBMITTAL	2023-01-10

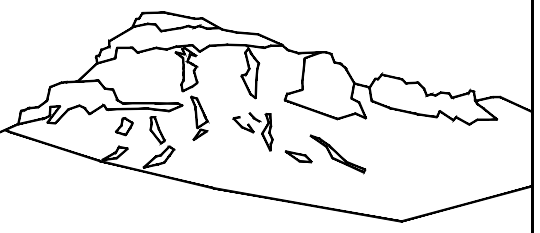
Lot 4, Cortina
Mtn. Village, CO



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Utilities

C3



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Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL	2022-10-05
DRB SUBMITTAL	2023-01-10
DRB SUBMITTAL	2023-03-07

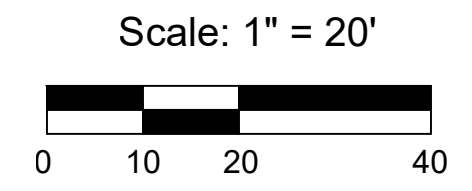
Lot 4, Cortina
Mtn. Village, CO



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Phase 1
Construction
Mitigation

C4



PHASE 1 PLAN:
Remove Trees, Install Foundation, and build
the elevated driveway and garage deck to
Stage the Phase 2 Construction.

Temporary Access for Tree
Removal, Earthwork, and
Foundation Construction

K-Rail Jersey Barriers

Open and Close Panels at Access at the
Beginning and End of Each Work Day
Post Contractor's Sign with
Emergency Contact Number

Install Silt Fence on the downhill side of
disturbance. Maintain throughout job. No
surface water will be allowed to discharge
the site without being directed through a
silt fence or straw wattle.

Erosion Logs/Straw Wattles
below Access and in the San
Joaquin Roadside Drainage

Boulder Wall

6' Chain Link Fence Panels
with Green Screening.

Construction Dumpster

Material Storage

Port-a-John Toilet

Bear Proof Poly-Cart

Construction Parking
will be On-Site
(once the deck is
constructed) or
along a Public
Works-designated
area on San Joaquin

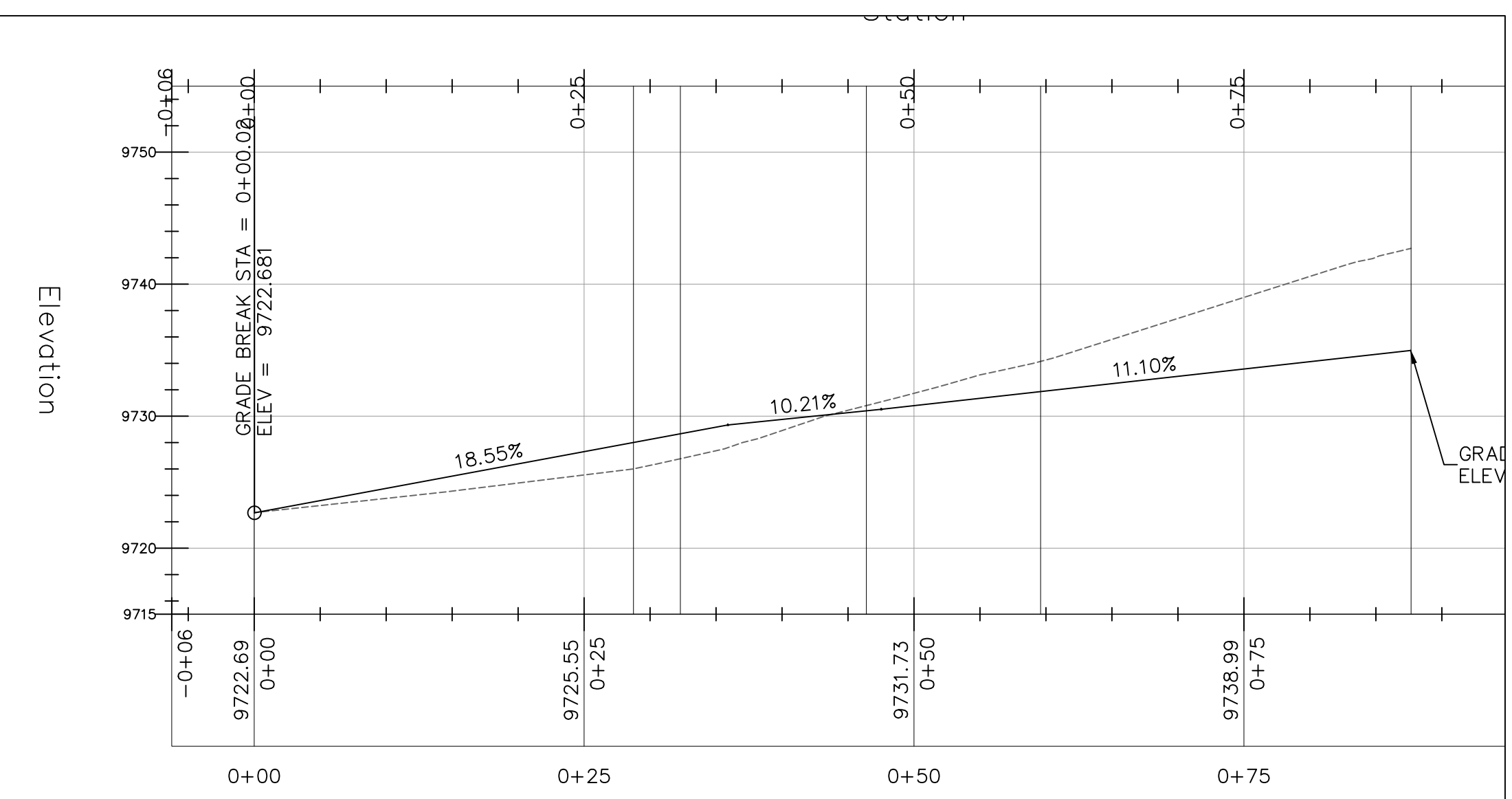
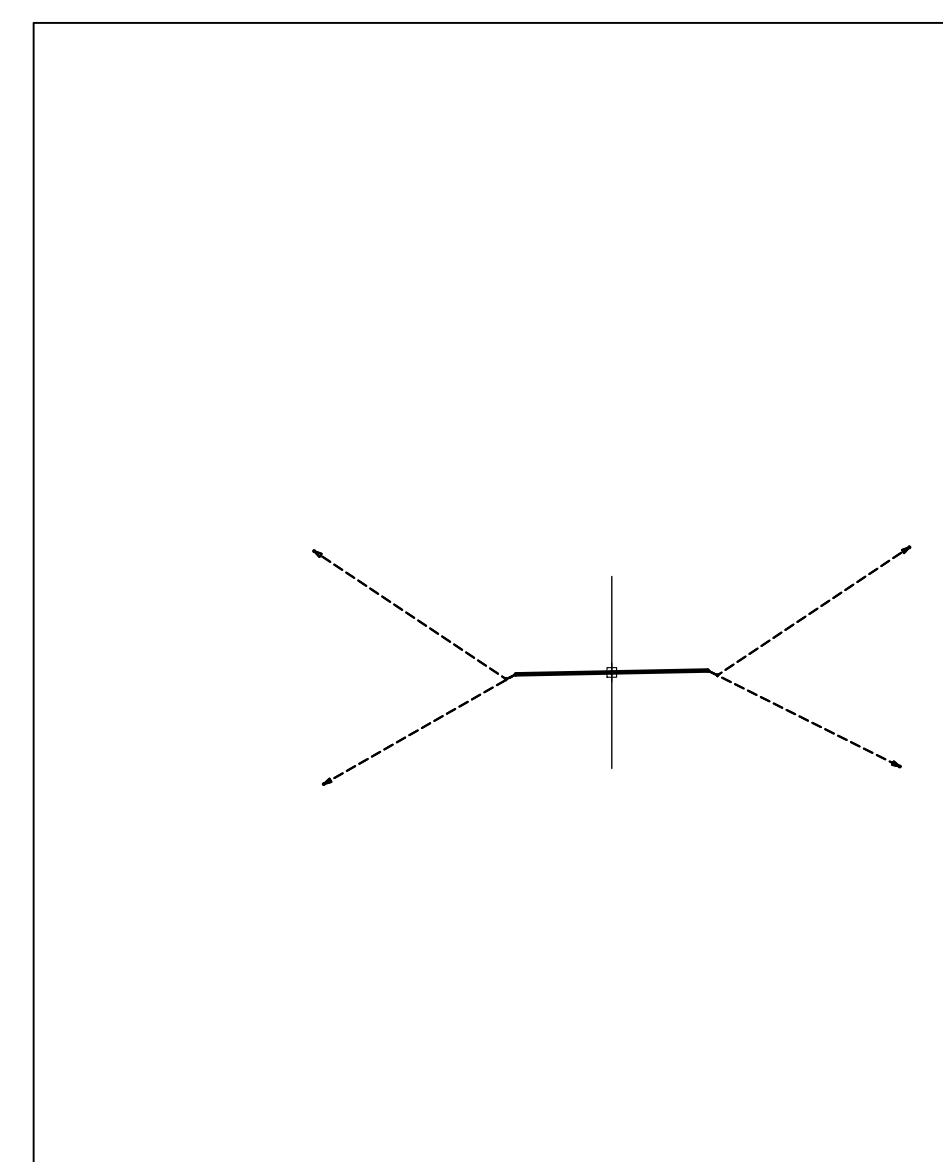
Open and Close Panels at Access at the
Beginning and End of Each Work Day
Post Contractor's Sign with
Emergency Contact Number

Schematic Crane Swing

UNIT 6

UNIT 22

UNIT 18

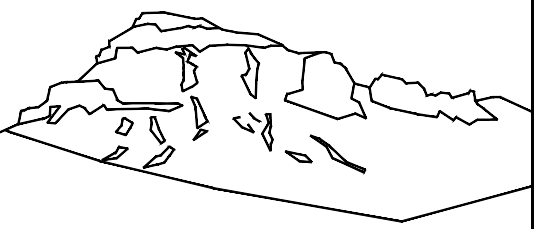


Wildfire Mitigation Notes:

Wildfire Mitigation will be performed according to the Town of Mountain Village requirements, CDC Chapter 17.6. Zones 1, 2, and 3 are identified on the plan.

- D. The following requirements shall be followed in creating the required wildfire mitigation plan:
- i. Zone 1 is the area that consists of fifteen feet (15') around the building as measured from the outside edge of the building's dripline, including decks, planters or patios attached to the building. The following provisions shall apply in Zone 1:
 - 1. (a) All slash and flammable vegetation as identified by staff shall be removed from Zone 1.
 - 2. (b) All trees and shrubs located within Zone 1 shall be removed.
 - 3. (c) The following exceptions apply to Zone 1:
 - 1. (i.) A tree or shrub may remain within Zone 1 provided the defensible space distance is measured commencing from the vegetation's drip edge rather than from the building plane (so the tree is considered part of or an extension of the structure), and provided the distance is not limited by a lot line.
 - 2. (ii.) Flammable vegetation shall be allowed in planters attached to the building so long as the planter is within ten feet (10') of a building, and vegetation is not planted directly beneath windows or next to foundation vents.
 - 4. (d) In the event Zone 1 encroaches upon the general easement, the review authority shall allow the creation of defensible space as required by this section.
 - ii. Zone 2 is the area that extends from the outer edge of Zone 1 for the distance specified in Figure 6-1 (Sec. 17.6.1 of the CDC), Fire Mitigation Zones, based on slope, to the lot line, whichever is less. The following provisions shall apply in Zone 2:
 - (iii.) Dominant and co-dominant live trees with a dbh of four inches (4") or greater shall be spaced with a ten foot (10') crown-to-crown separation. All ladder fuels and slash shall be removed from the ten foot (10') crown-to-crown separation area.
 - 4. (iv.) All stressed, diseased, dead or dying trees and shrubs, as identified by staff, shall be removed except for standing dead trees that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.
 - 5. (v.) Shrubs over five feet (5') tall shall have an average spacing of ten feet (10') from shrub-to-shrub.
 - (A) The following exceptions apply to Zone 2:
 - 2. (i.) Groupings of trees or shrubs may be allowed provided that all of the crowns in such group of trees or the edge of the shrubs are spaced ten feet (10') from crown-to-crown or from edge of shrub to any trees or shrubs outside of such grouping.
 - 3. (ii.) Aspens, narrowleaf cottonwoods, willows and other trees and shrubs listed in CSU Cooperative Extension Publication 6.305, Firewise Plant Materials as amended from time to time, may be spaced closer than the ten foot (10') crown-to-crown separation as approved by staff.
 - 4. (iii.) Closer spacing of any trees may be allowed by staff upon a determination that the required ten foot (10') crown-to-crown spacing would put the remaining trees at undue risk of wind-throw or snow breakage.
 - 5. (iv.) Tree removal for the creation of defensible space, if such tree removal is determined to be impractical by the Town due to steep slopes, wetland or other environmental constraints, and other mitigation is provided.
 - 3. (c) Trees remaining within Zone 2 shall have branches pruned to a height of ten feet (10'), but notwithstanding said height requirement, branches need not be pruned to more than one-third (1/3) of the tree height with the following exceptions:
 - 1. (i.) Aspen trees; and
 - 2. (ii.) Isolated spruce and fir trees.
 - 4. (d) In the event that Zone 1 or 2 extends upon the general easement, the review authority shall allow the removal of trees to implement the wildfire mitigation plan.
 - 5. (e) Chipped wood and small timber may be spread throughout either Zone 2 or Zone 3 provided the wood chips have a maximum depth of two to three inches (2" - 3") and small timber has a diameter of three inches (3") or less and is cut up into lengths that are three feet (3') or less.
- iii. Zone 3 is the area extending beyond Zone 2 to the edge of the lot subject to development. In Zone 3, all diseased, beetle infested, dead or dying trees, as identified by staff, shall be removed except for standing dead trees (aka tree snags) that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.
- (a) For lots greater than five (5) acres in size, the Town shall only require that Zone 3 be implemented for a distance of 500 feet from the outside edge of Zone 2. A lot owner may propose to implement Zone 3 for all of the lot.
- E. Firewood may only be stored on a lot that has a solid fuel burning device permit issued by the Town that meets the following limitations:
- i. Indoor storage can only occur within an enclosed room that is a part of the primary structure on the lot.
 - ii. Outdoor storage shall only occur in the rear yard.
 - iii. Up to ten (10) cubic feet of outdoor firewood storage may be located in Zone 1 or Zone 2.
 - iv. Outdoor firewood storage larger than ten (10) cubic feet shall have a minimum thirty foot (30') distance from the structure.
 - v. Outdoor firewood storage shall be screened from view from surrounding lots
- F. Prior to the issuance of any certificate of occupancy or certificated of completion, staff shall inspect the lot affected by the fire mitigation plan to ensure that such plan has been implemented in accordance with the approved wildfire mitigation plan.
- G. The wildfire mitigation plan shall be maintained by the lot owner as required by this section.

Limits of Disturbance:
In addition to the Fire Mitigation Zones, all trees within the Limits of Disturbance shall be removed.

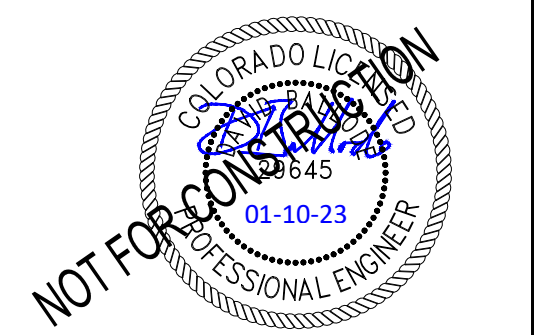


**Uncompahgre
Engineering, LLC**

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970-729-0683

SUBMISSIONS:
DRB SUBMITTAL 2022-10-05
DRB SUBMITTAL 2023-01-10

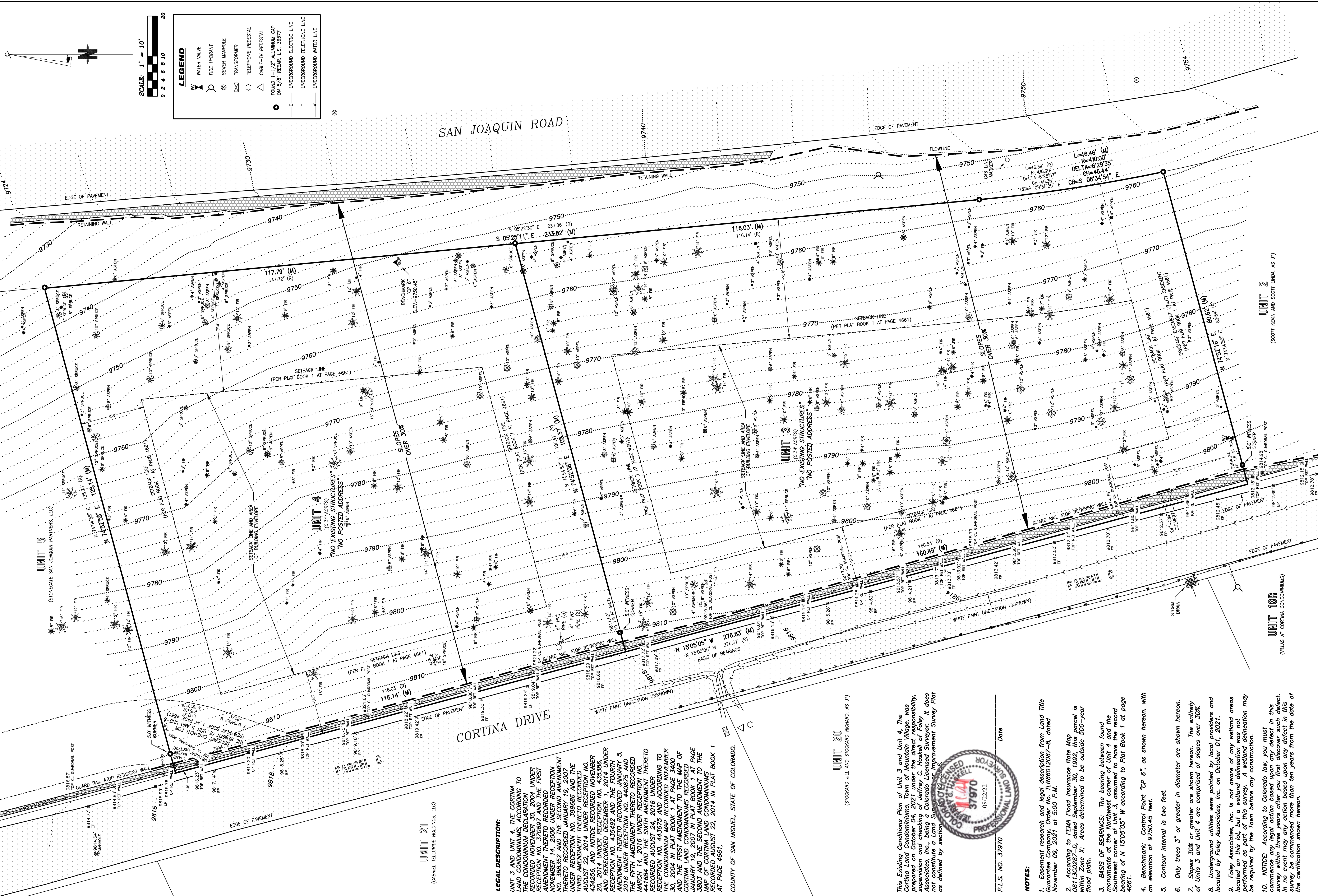
Lot 4, Cortina
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Fire Mitigation

C5



SCALE: 1" = 10'

LEGEND

- WATER VALVE
- FIRE HYDRANT
- SEWER MANHOLE
- TRANSFORMER
- TELEPHONE PEDESTAL
- FOUND 1-1/2" ALUMINUM COP OR 3/8" REBAR, L.S. 30877
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND WATER LINE

UNIT 21
(GABRIEL TELLURIDE HOLDINGS, LLC)

LEGAL DESCRIPTION:
 UNIT 3 AND UNIT 4, THE CORTINA LAND CONDOMINIUMS, ACCORDING TO THE CONDOMINIUM DECLARATION RECORDED NOVEMBER 30, 2004 UNDER RECEPTION NO. 37069 AND THE FIRST AMENDMENT THERETO RECORDED NOVEMBER 14, 2006 UNDER RECEPTION NO. 388352 AND THE SECOND AMENDMENT THERETO RECORDED JANUARY 19, 2007 UNDER RECEPTION NO. 389686 AND THE THIRD AMENDMENT THERETO RECORDED AUGUST 22, 2014 UNDER RECEPTION NO. 434296, AND NOTICE RECORDED NOVEMBER 14, 2006 UNDER RECEPTION NO. 388352 AND RECORDED DECEMBER 20, 2014 UNDER RECEPTION NO. 435492 AND THE FOURTH AMENDMENT THERETO RECORDED JANUARY 5, 2016 UNDER RECEPTION NO. 440875 AND THE FIFTH AMENDMENT THERETO RECORDED MARCH 14, 2016 UNDER RECEPTION NO. 441684 AND THE SIXTH AMENDMENT THERETO RECORDED AUGUST 22, 2016 UNDER RECEPTION NO. 453547, AND THE SEVENTH AMENDMENT THERETO RECORDED NOVEMBER 30, 2004 IN PLAT BOOK 1 AT PAGE 3400 AND THE FIRST AMENDMENT RECORDED JANUARY 19, 2007 IN PLAT BOOK 1 AT PAGE 3803 AND THE SECOND AMENDMENT TO THE MAP OF CORTINA LAND CONDOMINIUMS RECORDED AUGUST 22, 2014 IN PLAT BOOK 1 AT PAGE 4681.

UNIT 20
(STOCKARD HILL AND STOCKARD RICHARD, AS JT)

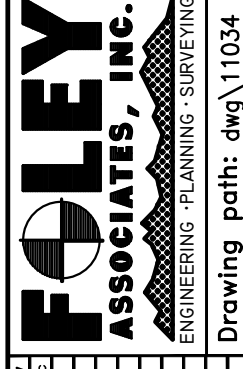
This Existing Conditions Plan of Unit 3 and Unit 4, The Cortina Land Condominiums, Town of Mountain Village, was prepared on October 04, 2021 under the direct responsibility, supervision and checking of Jeffrey C. Hoskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not represent the work of a Professional Land Surveyor as defined by section 10-2-102, C.R.S.



P.L.S. NO. 37970 Date

- NOTES:**
1. Easement research and legal description from Land Title Guarantee Company, Order No. TLR6012087-8, dated November 09, 2021 at 5:00 P.M.
 2. According to FEMA Flood Insurance Rate Map 0813C0287-D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
 3. BASIS OF BEARINGS: The bearing between found monuments however corner to have the true bearing of N 15°05'05" W according to Plat Book 1 at page 4681.
 4. Benchmark: Control Point "CP 6", as shown hereon, with an elevation of 9750.45 feet.
 5. Contour interval is two feet.
 6. Only trees 3" or greater in diameter are shown hereon.
 7. Slopes 30% or greater are shown hereon. The entirety of Units 3 and Unit 4 are comprised of slopes over 30%.
 8. Underground utilities were painted by local providers and located by Foley Associates, Inc. on October 01, 2021.
 9. Foley Associates, Inc. is not aware of any wetland areas located on this plat, at this location. No wetland delineation may be required by the Town before any construction.
 10. NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

Existing Conditions Plan Unit 3 and Unit 4, The Cortina Land Condominiums, San Miguel County, Colorado.



970-728-6153 970-728-6050 fax
 125 W. PACIFIC, SUITE B-1
 TELLURIDE, COLORADO 81435
 Drawing path: ew\11034 Ec Plan 10-21 (Units 3-4).dwg Project #: 11034

CORTINA LAND CONDOMINIUMS UNIT 4

140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
 UNIT 4 CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST
 COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION
 REC NOV 30 2004 AT REC NUM 370697

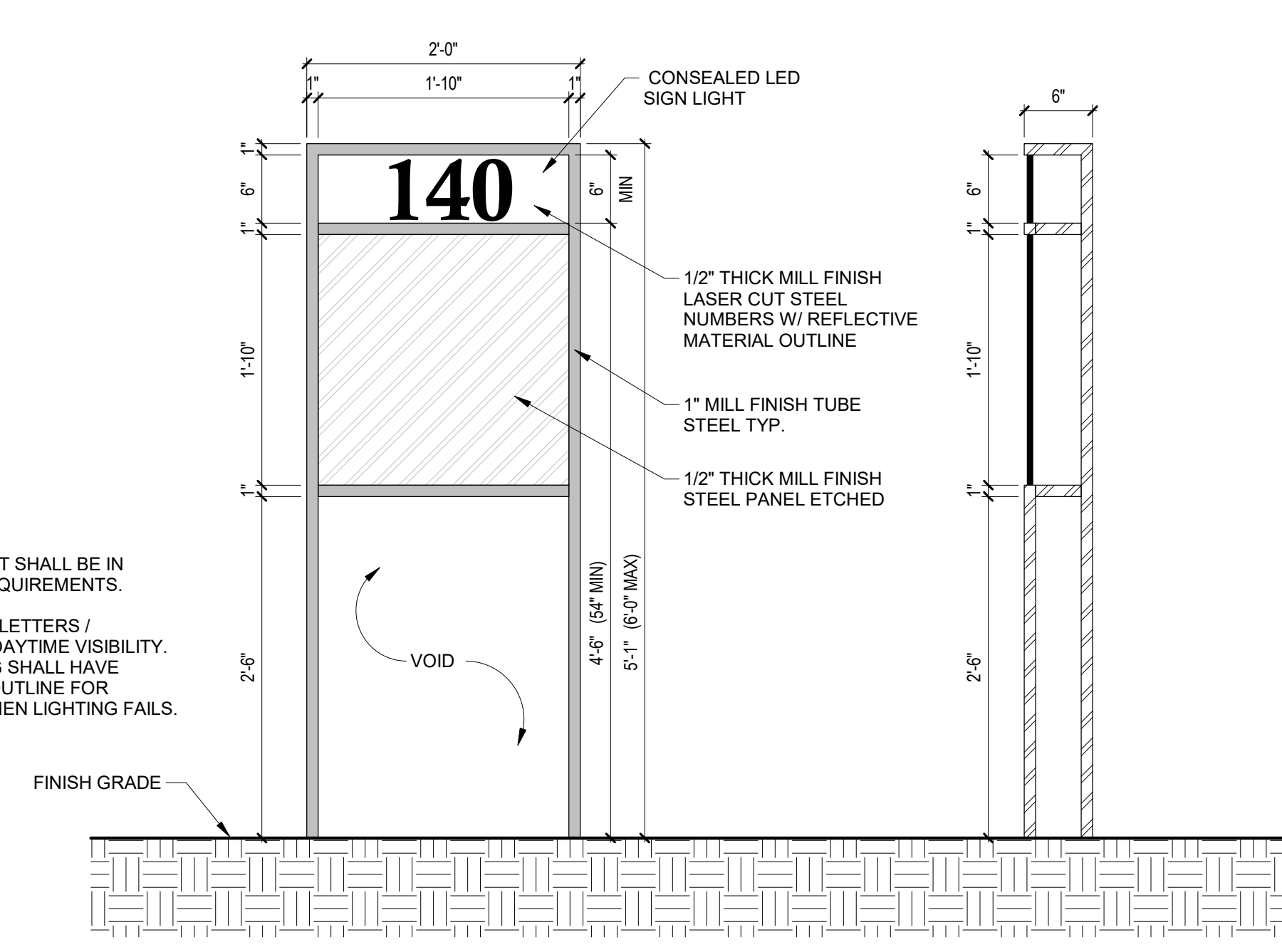
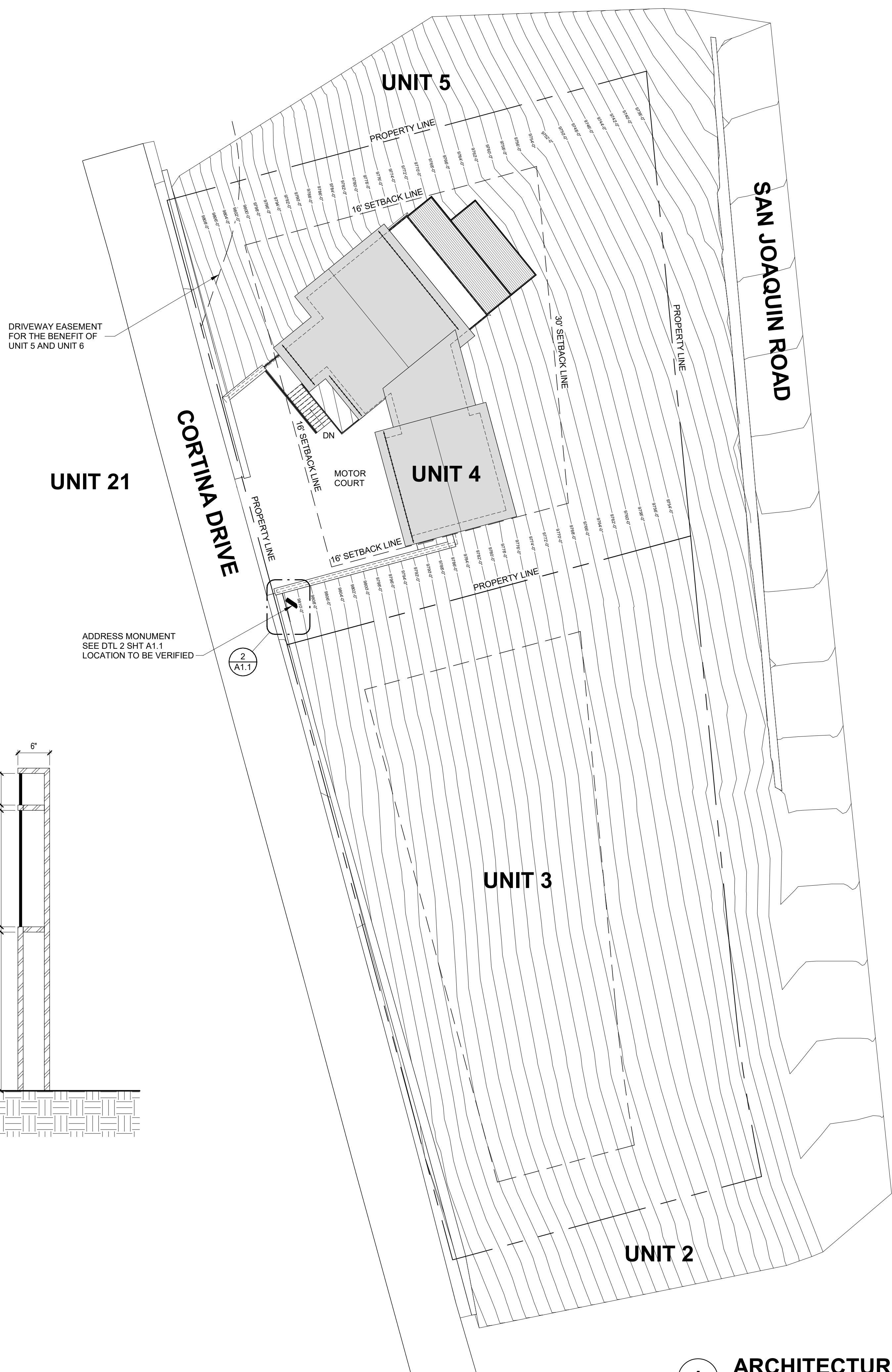
ARCHITECTURAL
 SITE PLAN

SHEET NUMBER

A1.1

©shift architects

NOT FOR CONSTRUCTION



2 ADDRESS MONUMENT
 1" = 1'-0"

- NOTE: ADDRESS MONUMENT SHALL BE IN ACCORDANCE WITH CDC REQUIREMENTS.
1. PROVIDE CONTRASTING LETTERS / NUMBERS TO IMPROVE DAYTIME VISIBILITY.
 2. LETTERING / NUMBERING SHALL HAVE REFLECTIVE MATERIAL OUTLINE FOR NIGHTTIME VISIBILITY WHEN LIGHTING FAILS.

1 ARCHITECTURAL SITE PLAN
 1/16" = 1'-0"



CORTINA LAND CONDOMINIUMS UNIT 4

140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
 UNIT 4, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST
 COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION
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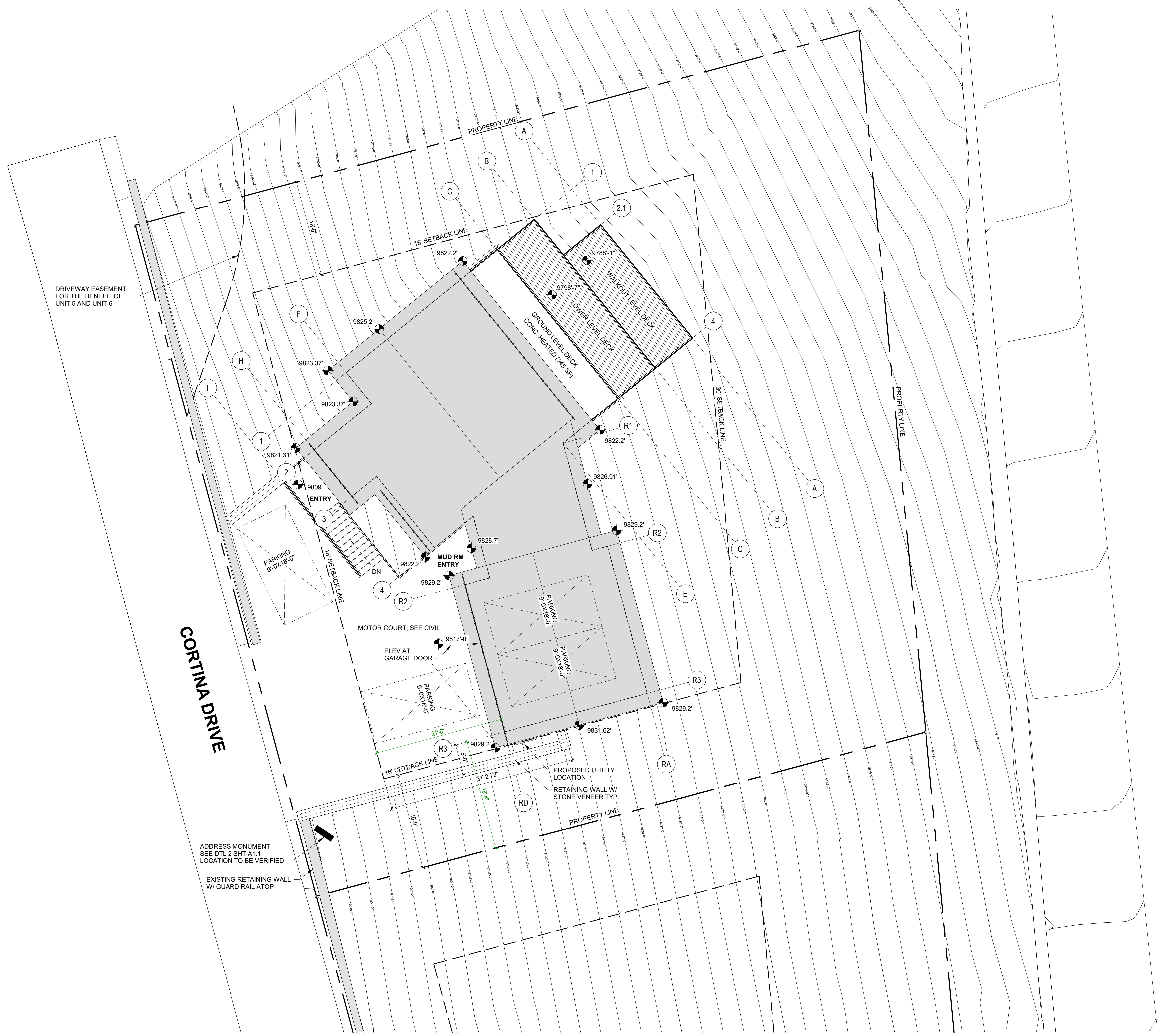
BUILDING SITE PLAN

SHEET NUMBER

A1.2

NOT FOR CONSTRUCTION

©shift architects



DRIVEWAY EASEMENT FOR THE BENEFIT OF UNIT 5 AND UNIT 6

CORTINA DRIVE

ADDRESS MONUMENT SEE DTL 2 SHT A1.1 LOCATION TO BE VERIFIED
 EXISTING RETAINING WALL W/ GUARD RAIL ATOP

MOTOR COURT; SEE CIVIL
 ELEV AT GARAGE DOOR

PROPOSED UTILITY LOCATION
 RETAINING WALL W/ STONE VENEER TYP.

PROPOSED PARKING:
 (2) ENCLOSED
 (2) SURFACE

FLOOR ELEVATIONS:
 T.O. GYP @ WALKOUT LEVEL = 9788'-6"
 T.O. GYP @ LOWER LEVEL = 9799'-0"
 T.O. GYP @ GROUND LEVEL = 9809'-6"
 T.O. GYP @ MUD LEVEL = 9817'-6"
 MOTOR COURT @ GARAGE DOOR = 9817'-0"

SNOW MELT CALCULATION

GROUND LEVEL DECK; CONC	245 SF
ENTRY PORCH; CONC	70 SF
ENTRY STEPS; CONC	57 SF
TOTAL PROPOSED AREA:	372 SF

PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY
POPULUS TREMULOIDES	QUAKING ASPEN	3" CAL. DBH	N/A
PICEA PUNGENS	COLORADO BLUE SPRUCE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	12
PINUS ARISTATA	BRISTLECONE PINE	5 GAL.	12
PERENNIALS - BED A			N/A
PERENNIALS - BED B			N/A

LEGEND

	CONCRETE PAVERS		INDIGENOUS SHRUBS
	WILDFIRE MITIGATION BOUNDARY		EXISTING ASPEN TREE
	LIMIT OF DISTURBANCE		EXISTING ASPEN TREE TO BE REMOVED
	PERIMETER FENCING W/ ATTACHED GREEN SCREENING		NEW ASPEN TREE
	TREE PROTECTION FENCING		EXISTING EVERGREEN TREE
	REVEGETATED AREA W/ IRRIGATION		EXISTING EVERGREEN TREE TO BE REMOVED
	REVEGETATE W/ NATIVE GRASS		NEW EVERGREEN TREE
	DISTURBED AREAS		
	MULCH LANDSCAPE BEDDING		
	PERENNIAL BEDDING: DRIP EMITTERS		
	FLAGSTONE		
	STONE PAVER		
	SNOW MELT AREAS		

NOTE:
ALL EXISTING TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION.

GENERAL NOTES:

- ALL TREES AND SHRUBS TO BE LOCATED BY PROJECT ARCHITECT / OWNER.
- ALL TREES AND SHRUBS SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
- NECESSARY TREES SHALL BE STAKED WITH 4" METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
- PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
- SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
- MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS; SHREDDED CEDAR BARK.
- ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- LANDSCAPING AND TREE REMOVAL SHALL BE IN ACCORDANCE WITH CDC 17.5.9 LANDSCAPING REGULATIONS AND CDC 17.6.1 ENVIRONMENTAL REGULATIONS.

NOXIOUS WEEDS:

- ALL PLANTED MATERIALS INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED IN THE NOXIOUS WEED CDC TABLE 5-5 OR SUBSEQUENTLY DESIGNATED AS A NOXIOUS WEED BY THE STATE OF COLORADO, OR THE TOWN.

LANDSCAPE MAINTENANCE NOTES:

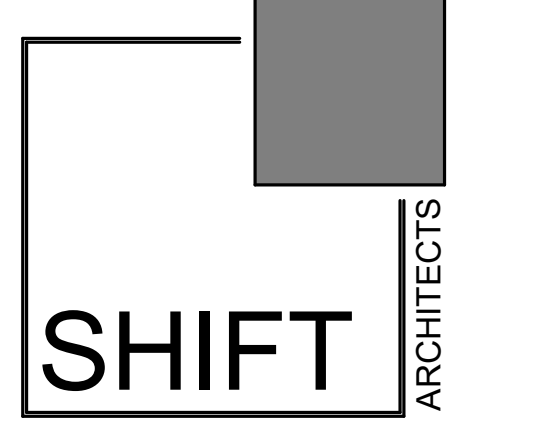
- TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
- NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.
- ALL SHRUBS IN SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.
- IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

REVEGETATION NOTES:

- SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
- TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REEMITTED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
- BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
- AREAS WHICH HAVE BEEN COMPACTED OR ARE RELATIVELY UNDISTURBED NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
- BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING, STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN PLACE OF STRAW MULCH AND PINNED.
- ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
- SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREeping RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%

1 LANDSCAPE PLAN
1/8" = 1'-0"



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03.10.23 DRB FINAL REVIEW

REVISIONS

NO.	DATE	DESC.
8	03.06.23	Remove spruce tree
9	03.06.23	New spruce tree
10	03.06.23	New bristlecone pine tree
11	03.07.23	Revised calculations
13	03.07.23	Snow melt calculation

CORTINA LAND CONDOMINIUMS UNIT 4

140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 4, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

LANDSCAPE PLAN

SHEET NUMBER

A1.3

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NOTE:
NATURAL REVEGETATION
REQUIRED FOR ALL
DISTURBED AREAS TYP.

CORTINA DRIVE

ADDRESS MONUMENT
SEE DTL 2 SHT A1.1
LOCATION TO BE VERIFIED

PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY
POPULUS TREMULOIDES	QUAKING ASPEN	3" CAL. DBH	N/A
PICEA PUNGENS	COLORADO BLUE SPRUCE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	12
PINUS ARISTATA	BRISTLEcone PINE		12
SHRUBS	5 GAL.		N/A
PERENNIALS - BED A			N/A
PERENNIALS - BED B			N/A

LEGEND

CONCRETE PAVERS

WILDFIRE MITIGATION BOUNDARY

LIMIT OF DISTURBANCE

PERIMETER FENCING W/ ATTACHED GREEN SCREENING

TREE PROTECTION FENCING

REVEGETATED AREA W/ IRRIGATION

REVEGETATE W/ NATIVE GRASS

DISTURBED AREAS

MULCH LANDSCAPE BEDDING

PERENNIAL BEDDING: DRIP EMITTERS

FLAGSTONE

STONE PAVER

SNOW MELT AREAS

NOTE:
ALL EXISTING TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION.

INDIGENOUS SHRUBS

EXISTING ASPEN TREE

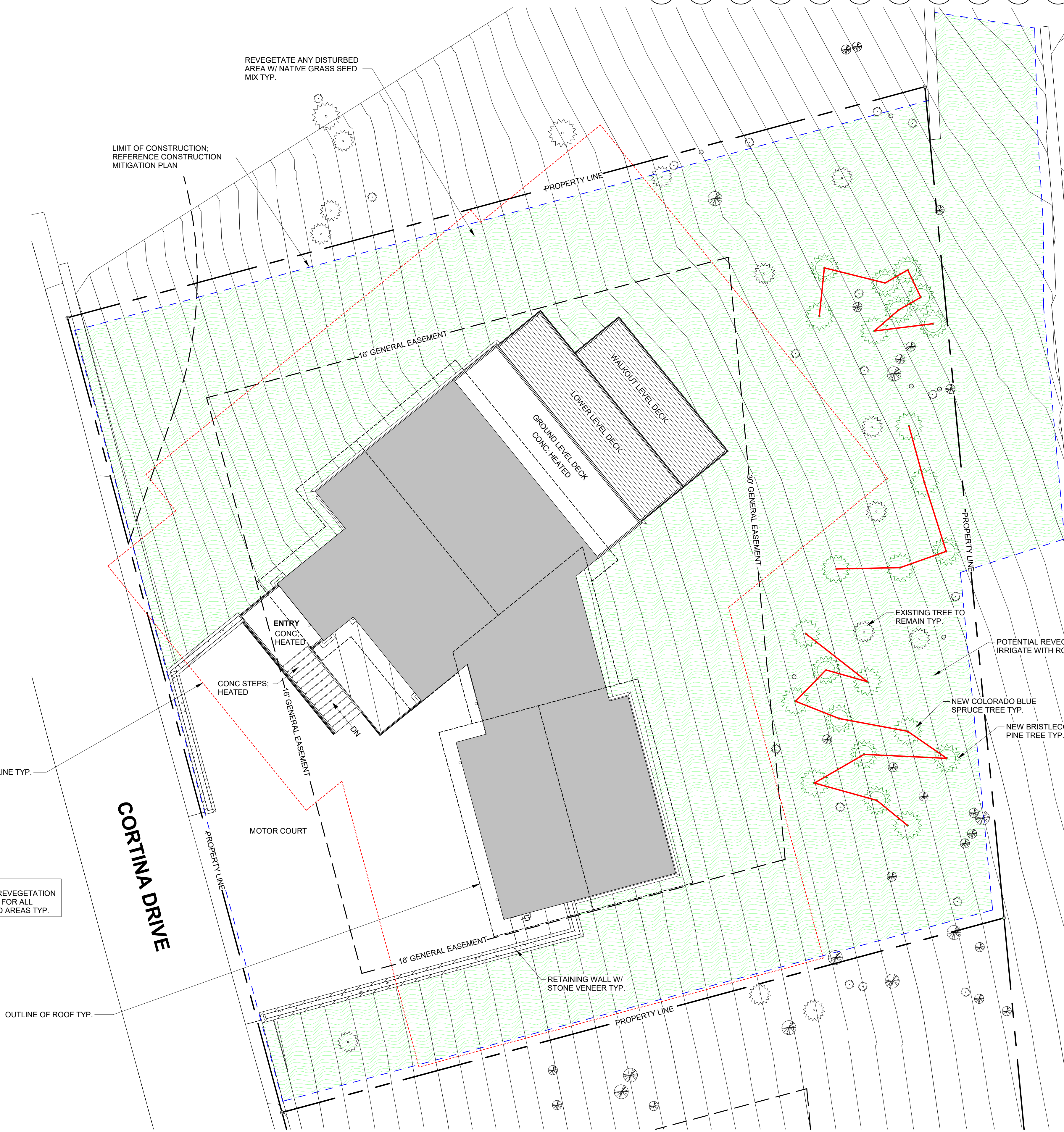
EXISTING ASPEN TREE TO BE REMOVED

NEW ASPEN TREE

EXISTING EVERGREEN TREE

EXISTING EVERGREEN TREE TO BE REMOVED

NEW EVERGREEN TREE



- ### IRRIGATION NOTES
- PROVIDE IRRIGATION SYSTEM IN ACCORDANCE WITH CDC REQUIREMENTS (17.5.9 LANDSCAPING REGULATIONS, TABLE 5-3 IRRIGATION SYSTEM DESIGN) AND THE TOWN OF MOUNTAIN VILLAGE WATER AND SEWER REGULATIONS.
 - IRRIGATION CONTROL EQUIPMENT SHALL INCLUDE AN AUTOMATIC IRRIGATION CONTROLLER HAVING PROGRAM FLEXIBILITY SUCH AS REPEAT CYCLES AND MULTIPLE PROGRAM CAPABILITIES. AUTOMATIC IRRIGATION CONTROLLERS SHALL HAVE BATTERY BACKUP TO RETAIN THE IRRIGATION PROGRAMS.
 - TREES AND SHRUBS SHALL BE DRIP IRRIGATION.
 - PERENNIAL BEDS SHALL BE SPRAY HEADS. USE SOAKER HOSE, LOW VOLUME MIST AND/OR EMITTERS EQUIPPED WITH ADJUSTABLE NOZZLES TO LIMIT OVER/UNDER WATERING WITH A SPECIFIC ZONE.
 - TURF GRASS SHALL BE SPRAY HEADS.
 - ALL AREAS TO BE REVEGETATED WITH NATIVE GRASS SEED MIX MAY BE IRRIGATED UNTIL THE GRASS IS ESTABLISHED, BUT NO MORE THAN ONE (1) FULL GROWING SEASON WITH ANY SUCH EXTRA IRRIGATION INSTALLED ON A SEPARATE ZONE THAT WILL BE PERMANENTLY SHUT OFF AFTER SUCCESSFUL REVEGETATION.

IRRIGATION LEGEND

- ⊕ TAP WITH RAINBIRD PVB-075 BACKFLOW PREVENTER
- Ⓢ RAINBIRD RCM-12 ELECTROMECHANICAL CONTROLLER
- ⌵ 1.5" WILKINS MODEL 500 PRESSURE REGULATOR
- RAINBIRD 150-PEB 1.5" ELECTRIC REMOTE CONTROL VALVE
- CLASS 200 PVC MAINLINE 1 1/2"
- 1:80 NSF POLYLATERAL LINE
- Ⓜ WATER SENSOR BY RAINBIRD

IRRIGATION SCHEDULE

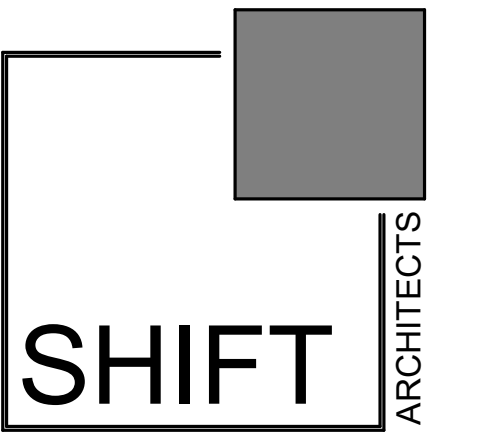
ZONE	LOCATION	HEAD	GPM
1	ASPEN TREES	DRIP EMITTERS	-
1	EVERGREEN TREES (24 EA)	DRIP EMITTERS	-
2	SHRUBS	DRIP EMITTERS	-
3	PERENNIALS	12" POP UP OR DRIP EMITTERS	-
4	REVEGETATION AREAS	ROTORS	30

WATER USAGE CHART

TYPE	MONTHLY USE	TOTAL #	TOTAL MONTHLY USAGE
REVEGETATION	2 GAL / S.F.	11,650	23,300 (FIRST SEASON)
PERENNIALS	2.5 GAL / S.F.	N/A	N/A
ASPENS	10 GAL / EA	N/A	N/A
SPRUCE	10 GAL / EA	12	120
BRISTLEcone PINE	10 GAL / EA	12	120
NATIVE SHRUBS	2 GAL / EA	N/A	N/A
COMPLETE MONTHLY USAGE (FOR ESTABLISHMENT)			23,540 GAL
(POST ESTABLISHMENT)			240 GAL

1 IRRIGATION PLAN

1/8" = 1'-0"



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REVISIONS
 NO. DATE DESC.

CORTINA LAND CONDOMINIUMS UNIT 4

140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
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 COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION
 REC NOV 30 2004 AT REC NUM 370697

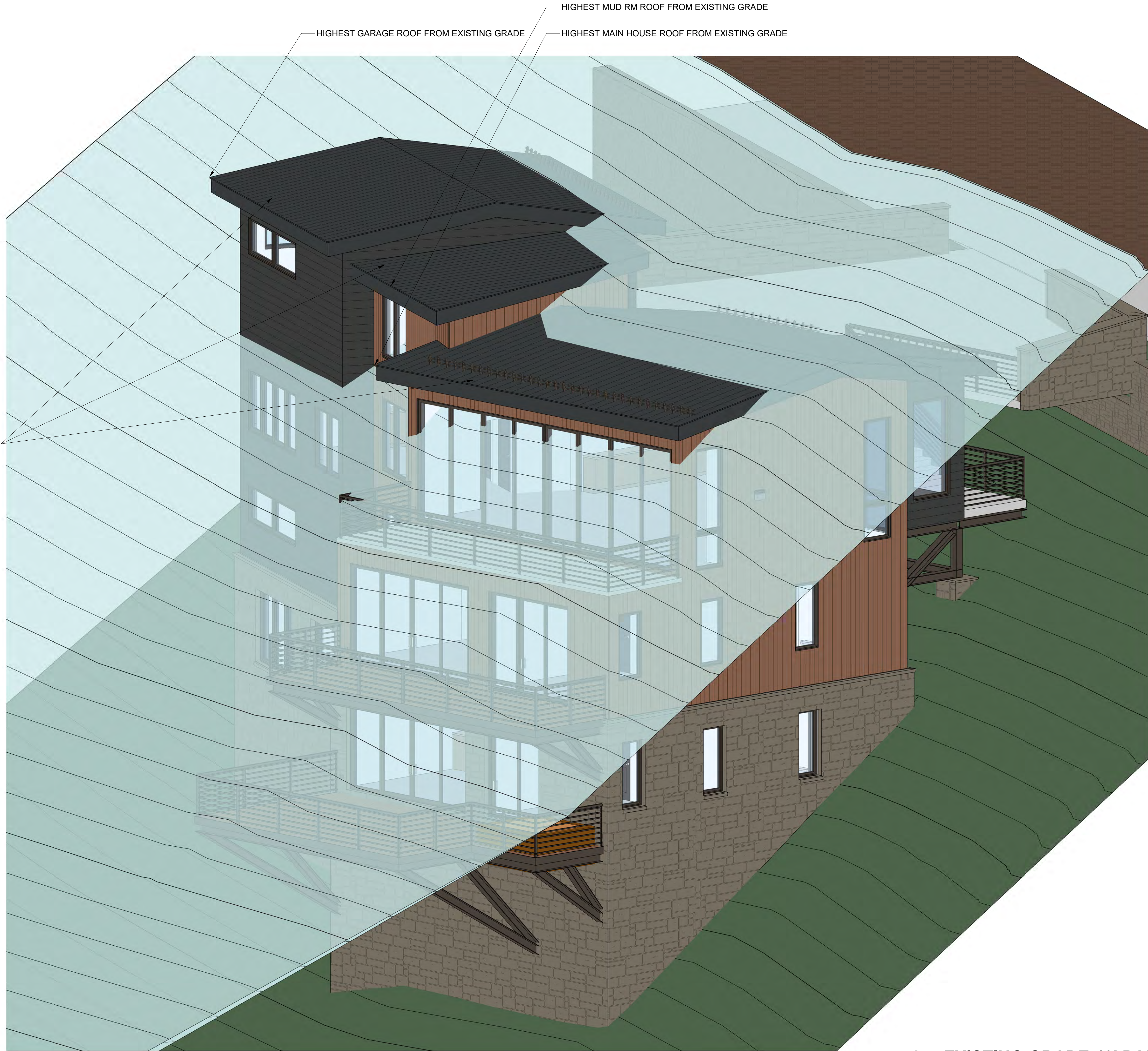
SITE 40' PARALLEL
 OFFSET

SHEET NUMBER

A2.1

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PORTION OF ROOF ABOVE EXISTING
 GRADE 40' PARALLEL OFFSET TYP.

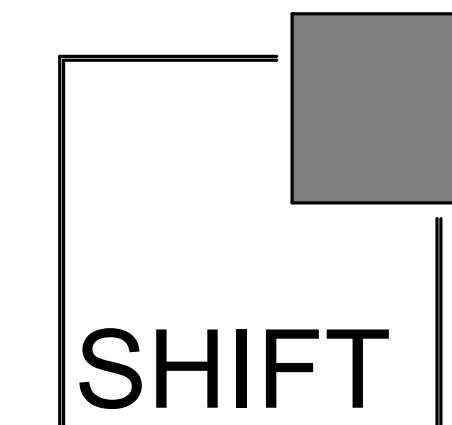
HIGHEST MUD RM ROOF FROM EXISTING GRADE

HIGHEST GARAGE ROOF FROM EXISTING GRADE

HIGHEST MAIN HOUSE ROOF FROM EXISTING GRADE

1 EXISTING GRADE 40' PARALLEL OFFSET

3/10/2023 6:50:49 AM



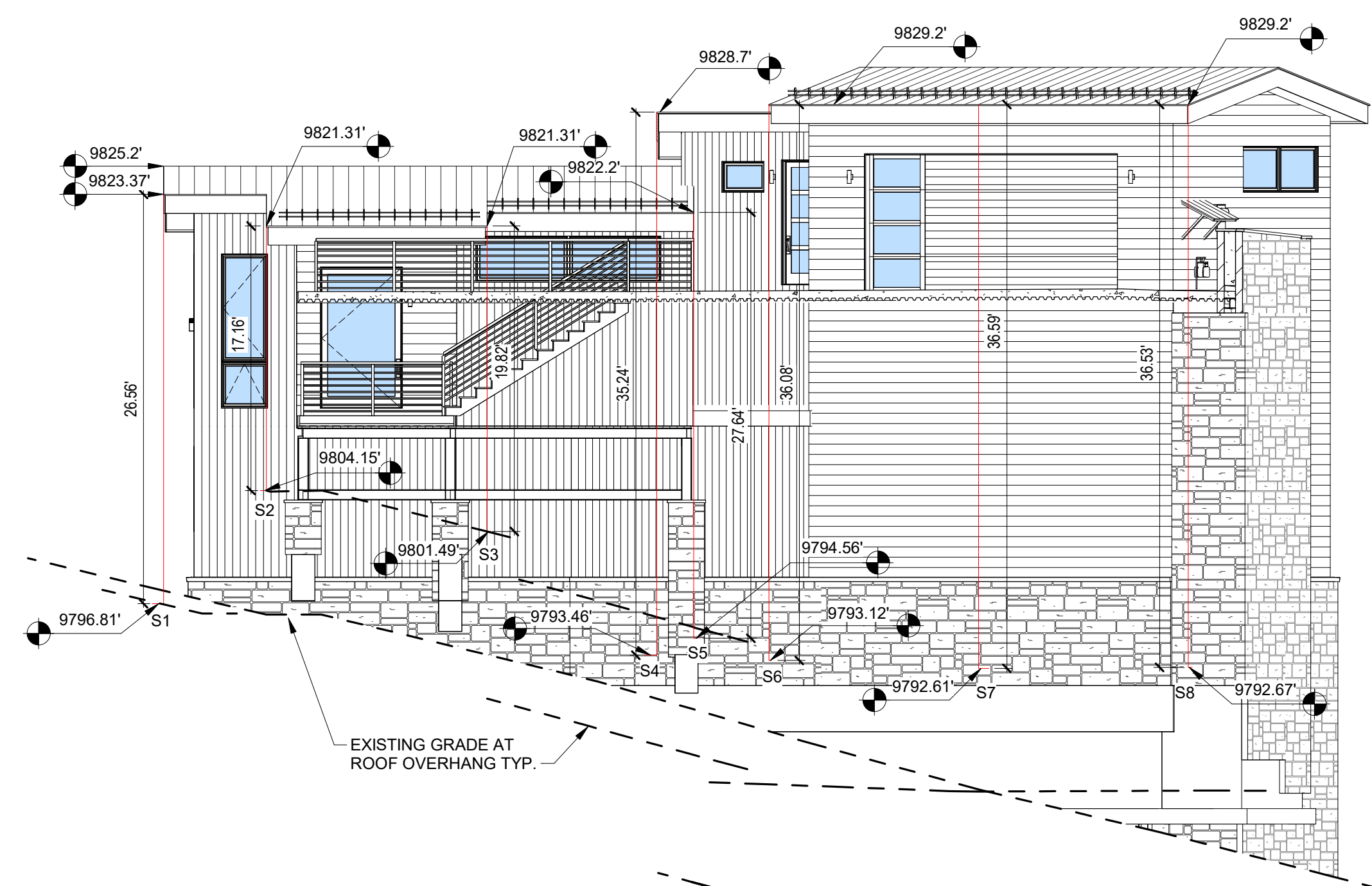
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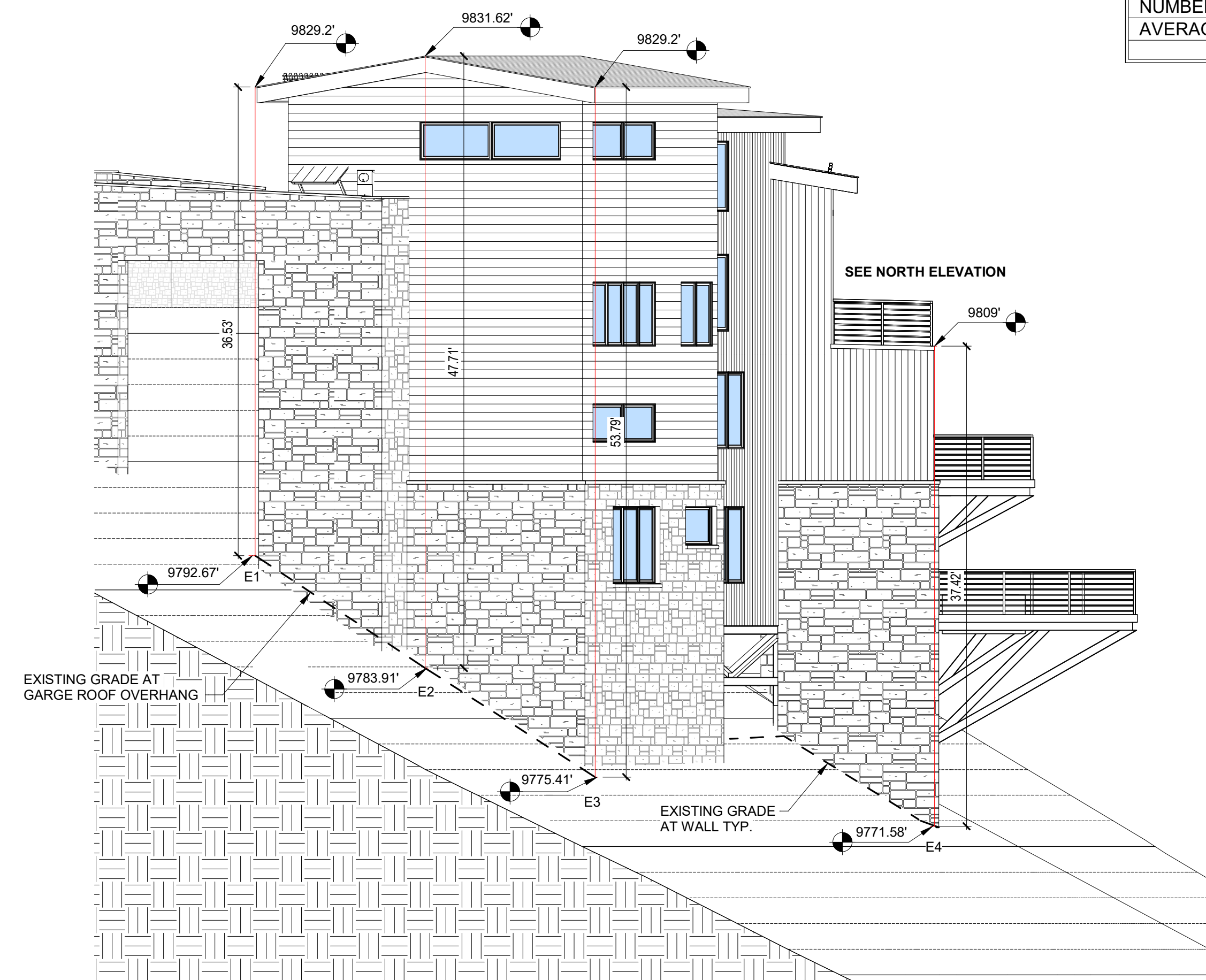
REVISIONS
NO. DATE DESC.

MAX BUILDING HT :	
HIGHEST POINT RELATIVE TO GRADE (GARAGE):	
LOCATION: N1, E3	53.79'
MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9829.2'
MOST RESTRICTIVE GRADE BELOW	9775.41'
2ND HIGHEST POINT RELATIVE TO GRADE (MUD RM):	
LOCATION: N4	49.92'
MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9826.91'
MOST RESTRICTIVE GRADE BELOW	9777.49'
3RD HIGHEST POINT RELATIVE TO GRADE (MAIN HOUSE):	
LOCATION: N5	47.57'
MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9822.2'
MOST RESTRICTIVE GRADE BELOW	9774.63'

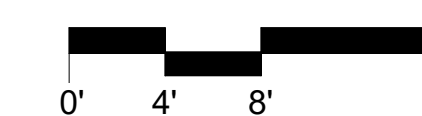
AVG ROOF HT :	
NORTH ELEVATION	
N1	53.79'
N2	53.54'
N3	53.54'
N4	49.92'
N5	47.57'
N6	45.25'
N7	44.85'
SUB-TOTAL:	348.46'
# OF LOCATIONS:	7
AVERAGE:	49.78'
SOUTH ELEVATION	
S1	26.56'
S2	17.16'
S3	19.82'
S4	35.24'
S5	27.64'
S6	36.08'
S7	36.59'
S8	36.53'
SUB-TOTAL:	235.62'
# OF LOCATIONS:	8
AVERAGE:	29.45'
EAST ELEVATION	
E1	36.53'
E2	47.71'
E3	53.79'
E4	37.42'
SUB-TOTAL:	175.45'
# OF LOCATIONS:	4
AVERAGE:	43.86'
WEST ELEVATION	
W1	35.08'
W2	44.85'
W3	36.0'
W4	26.56'
W5	17.16'
SUB-TOTAL:	159.65'
# OF LOCATIONS:	5
AVERAGE:	31.93'
TOTAL:	919.18'
NUMBER OF LOCATIONS:	24
AVERAGE:	38.29'



1 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



CORTINA LAND CONDOMINIUMS UNIT 4

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COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION
REC NOV 30 2004 AT REC NUM 370697

MAX BUILDING
HEIGHT

SHEET NUMBER

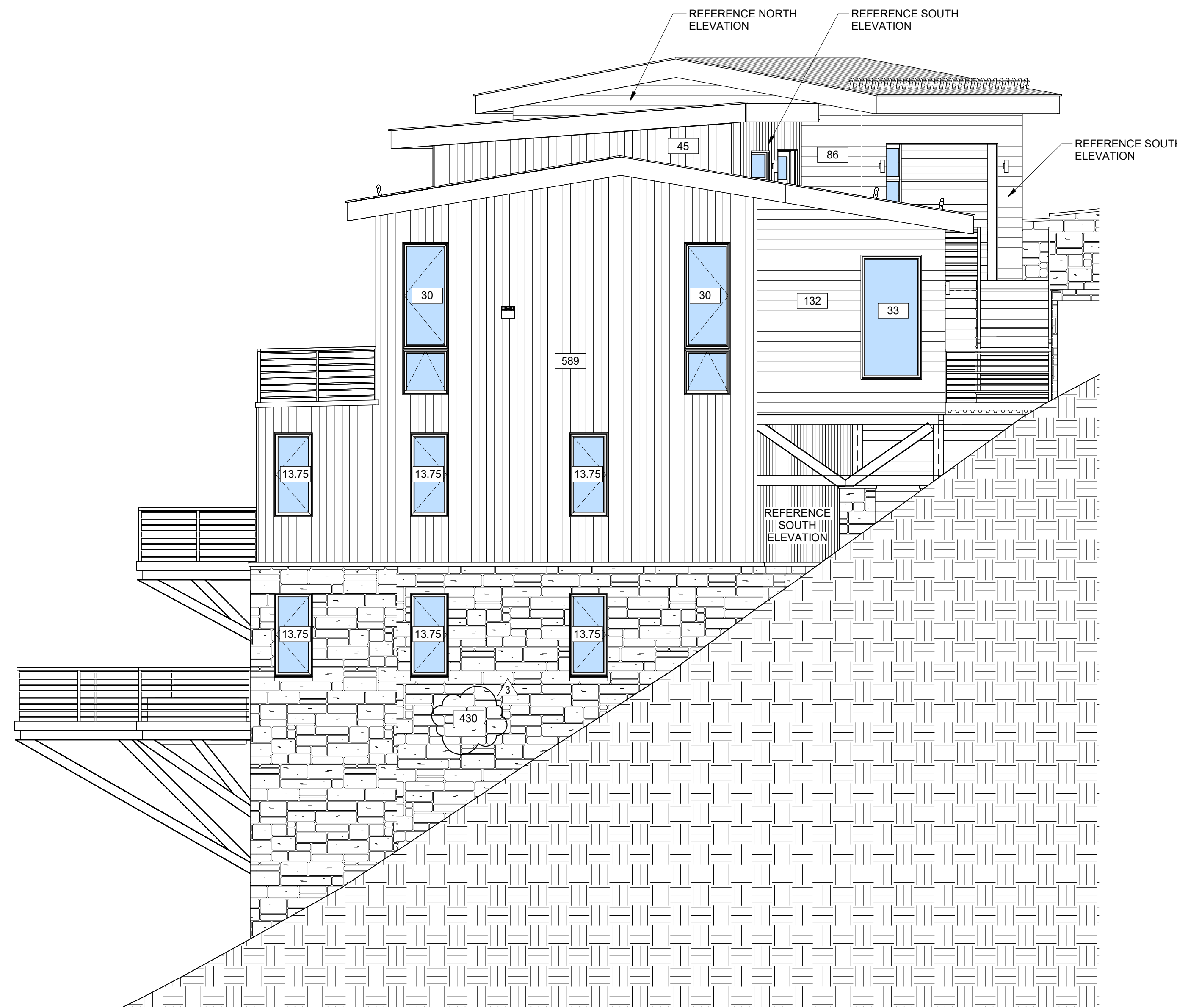
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MATERIAL CALCULATIONS

NORTH			WEST			TOTALS		
STONE	1,276 SF	33%	STONE	430 SF	30%	STONE	2,572 SF	
WOOD SIDING	787 SF	20%	WOOD SIDING	634 SF	43%	STONE AT RETAINING	1,160 SF	
WINDOW/DOOR GLAZING	1,057 SF	27%	WINDOW/DOOR GLAZING	175.5 SF	12%	WOOD SIDING	2,508 SF	
METAL SIDING	725 SF	20%	METAL SIDING	218 SF	15%	WINDOW/DOOR GLAZING	1,409.5 SF	
SUBTOTAL:	3,845 SF	100%	SUBTOTAL:	1,457.5 SF	100%	METAL SIDING	2,237 SF	
						GARAGE DOOR	162 SF	
						TOTAL:	10,048.5 SF	
SOUTH			EAST AT GARAGE			PERCENTAGES		
STONE	305 SF	15%	STONE	268 SF	26%	STONE	26 %	37 %
WOOD SIDING	801 SF	38%	WOOD SIDING	112 SF	11%	STONE AT RETAINING	11 %	
WINDOW/DOOR GLAZING	141 SF	7%	WINDOW/DOOR GLAZING	36 SF	4%	WOOD SIDING	25 %	
METAL SIDING	687 SF	33%	METAL SIDING	607 SF	59%	WINDOW/DOOR GLAZING	14 %	
GARAGE DOOR	162 SF	7%	SUBTOTAL:	1,023 SF	100%	METAL SIDING	22 %	
SUBTOTAL:	2,096 SF	100%				GARAGE DOOR	2 %	
						TOTAL:	100 %	
EAST			RETAINING WALL / COLUMNS			NOTE:		
STONE	293 SF	63%	RETAINING WALL AT EAST ELEV DRIVEWAY	980 SF	84%	STONE ON RETAINING WALLS THAT ARE ATTACHED TO HOUSE ARE INCLUDED IN MATERIAL CALCULATION TYP.		
WOOD SIDING	174 SF	37%	RETAINING WALL AT WEST ELEV DRIVEWAY	180 SF	16%	STONE VENEER CALCULATIONS ARE IN ACCORDANCE WITH TITLE 17 OF THE TOWN OF MOUNTAIN VILLAGE MUNICIPAL CODE CDC 17.5.6.E.1		
WINDOW/DOOR GLAZING	N/A	N/A	SUBTOTAL:	1,160 SF	100%			
METAL SIDING	N/A	N/A						
SUBTOTAL:	467 SF	100%						



1 WEST ELEVATION
3/16" = 1'-0"



2 NORTH ELEVATION
3/16" = 1'-0"

CORTINA LAND CONDOMINIUMS UNIT 4

140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 4, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

MATERIAL CALCULATIONS

SHEET NUMBER

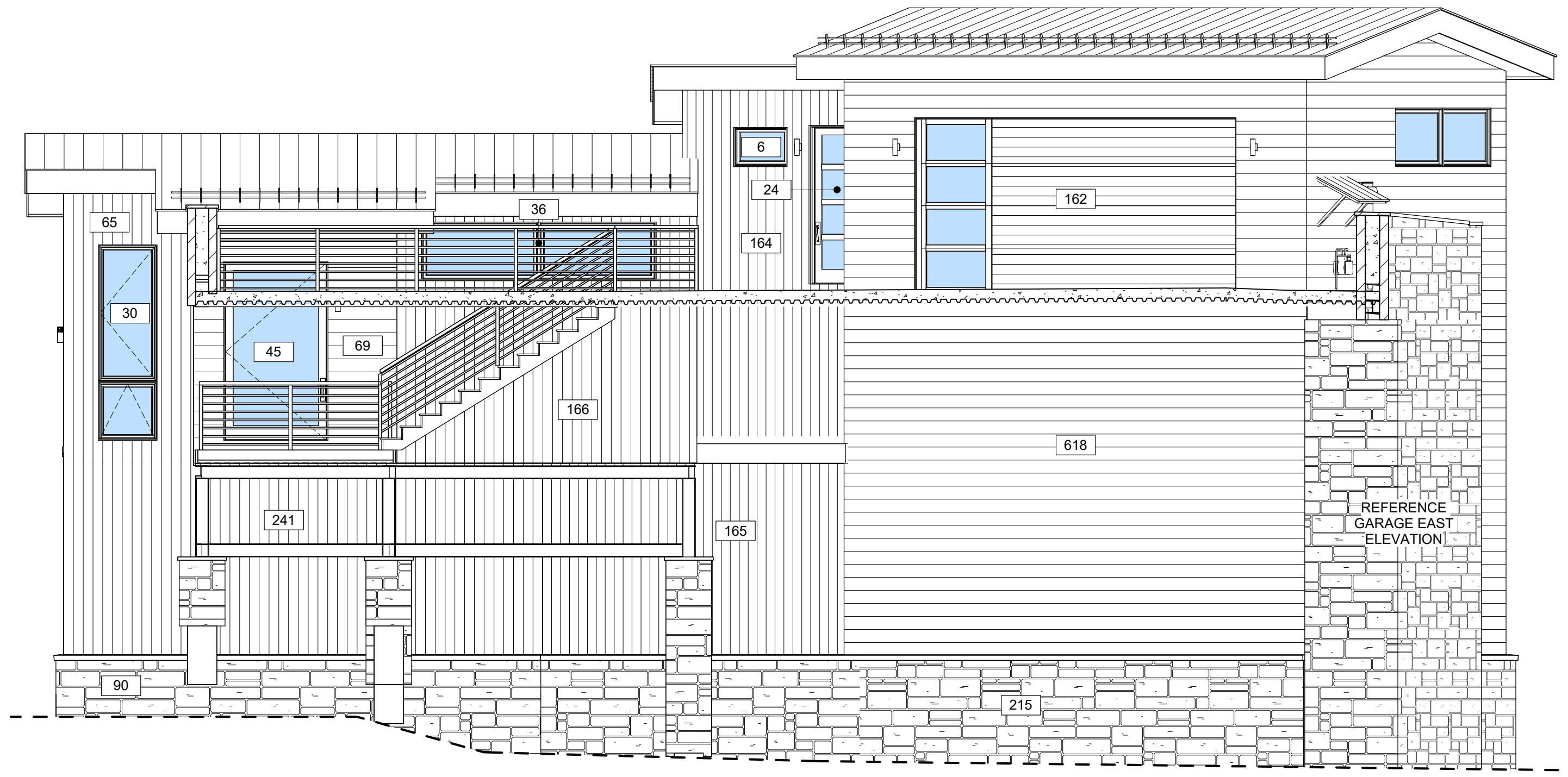
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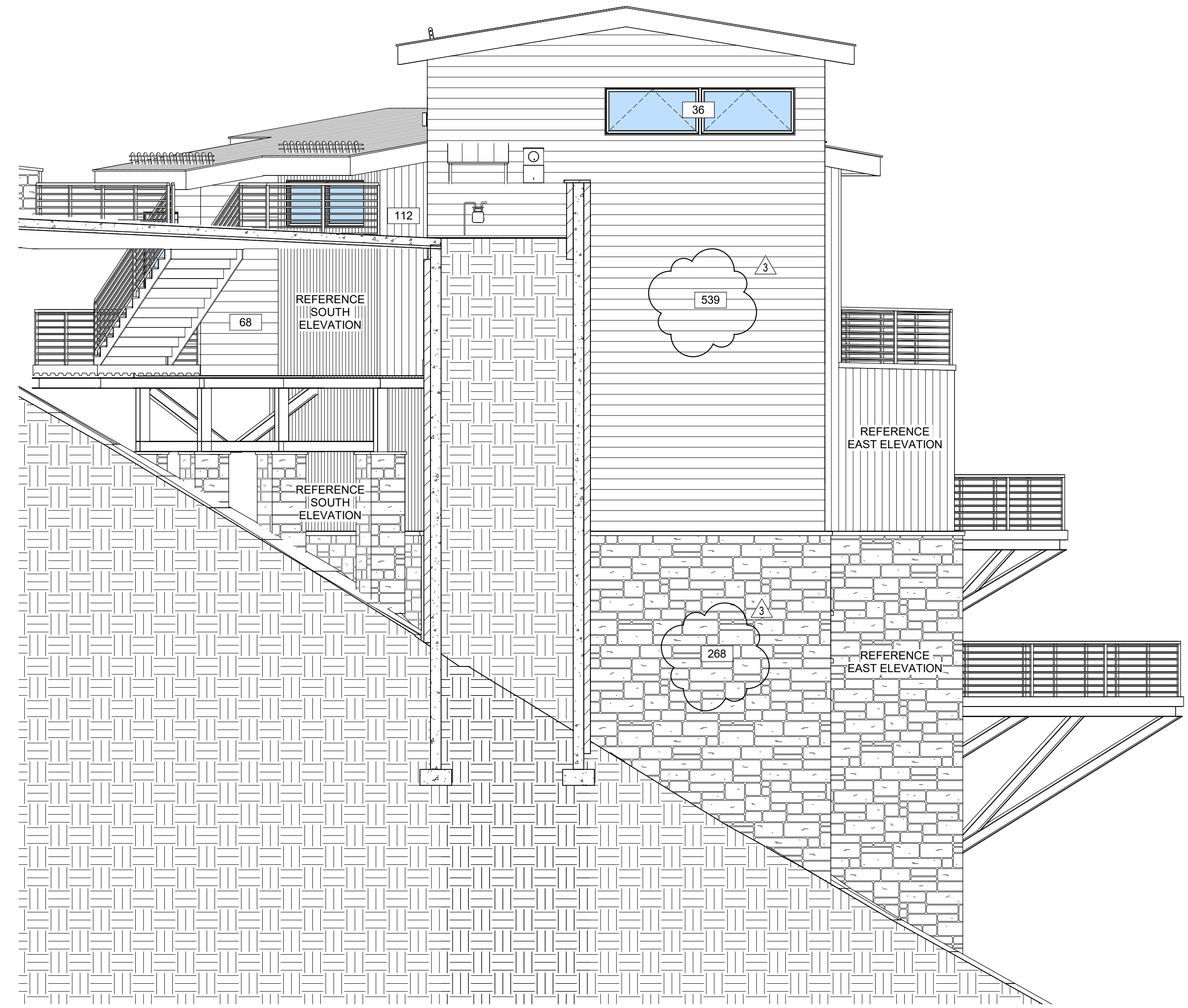
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REVISIONS

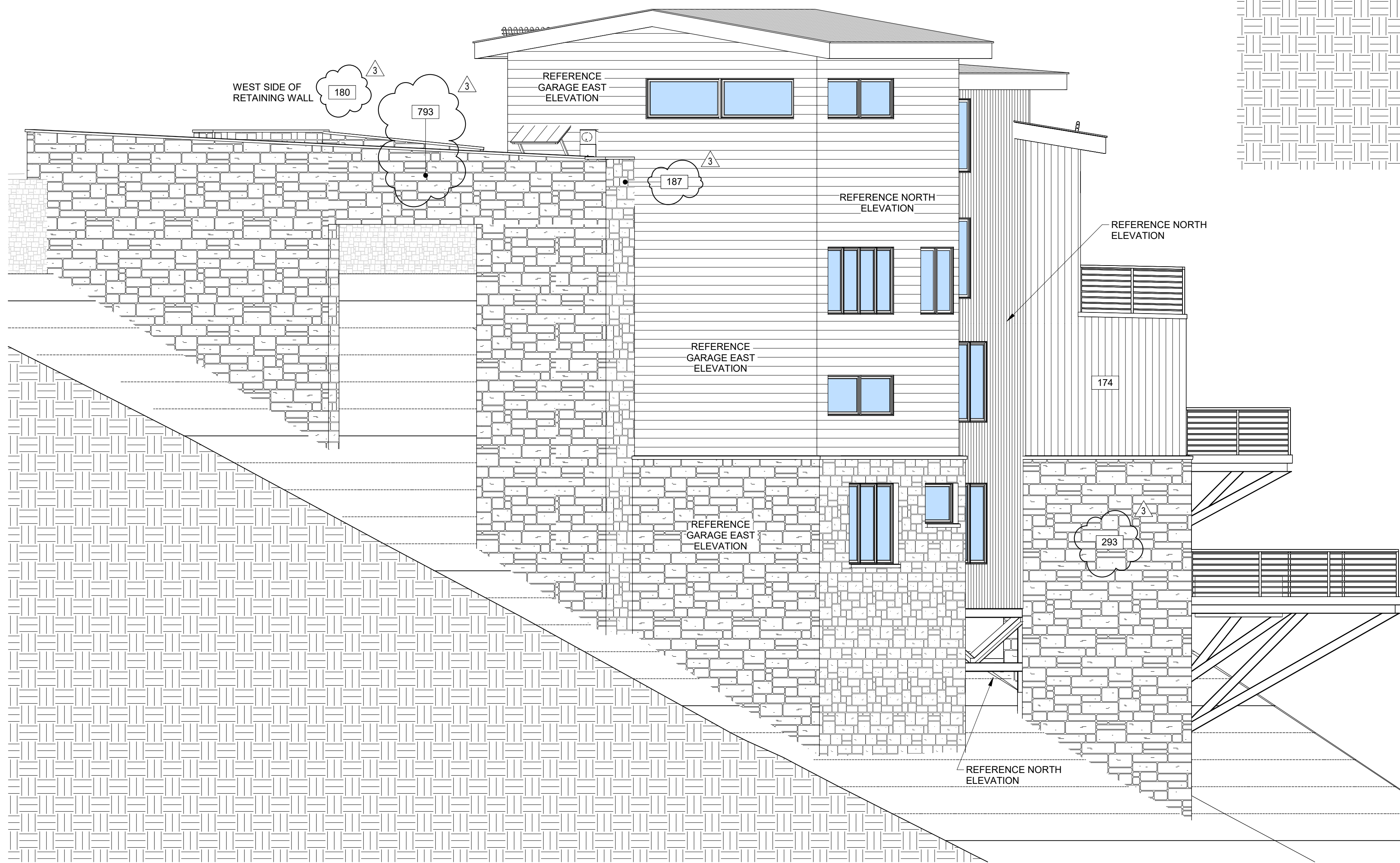
NO.	DATE	DESC.
3	03.06.23	Revised material calcs



3 SOUTH ELEVATION
 3/16" = 1'-0"



2 EAST ELEV AT GARAGE
 3/16" = 1'-0"



1 EAST ELEVATION
 3/16" = 1'-0"

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MATERIAL
 CALCULATIONS

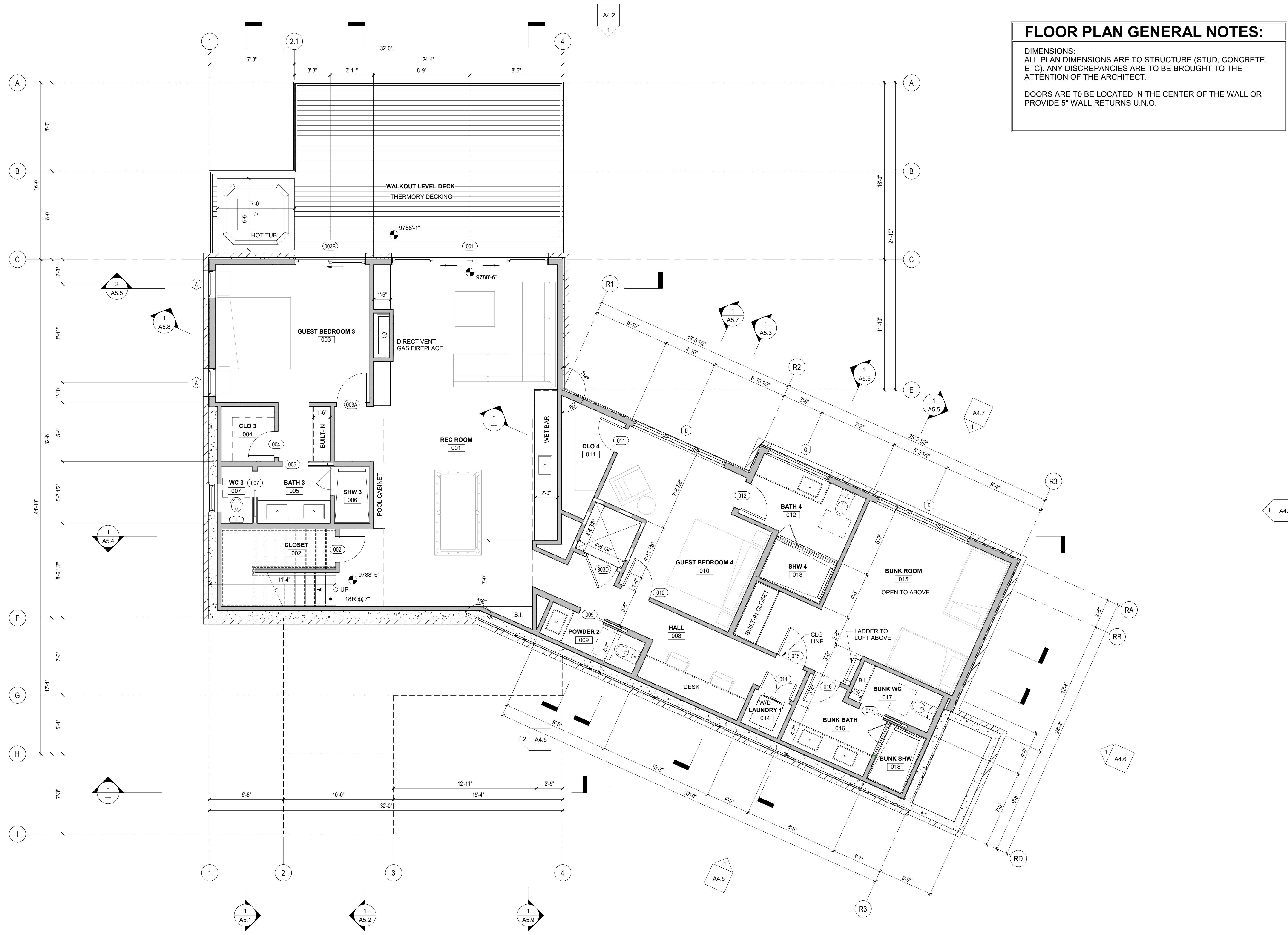
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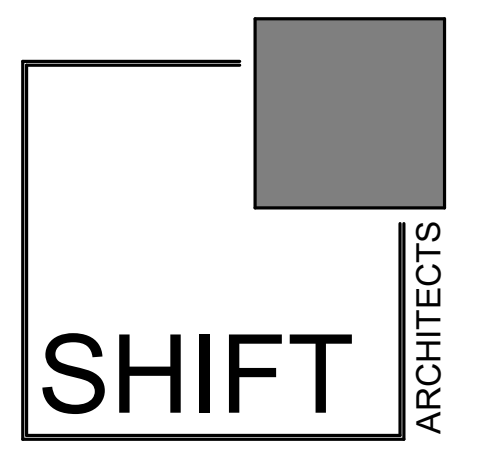
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FLOOR PLAN GENERAL NOTES:

DIMENSIONS:
ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE, ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.N.O.



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REVISIONS
NO. DATE DESC.

CORTINA LAND CONDOMINIUMS UNIT 4

140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
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FLOOR PLAN

SHEET NUMBER

A3.1

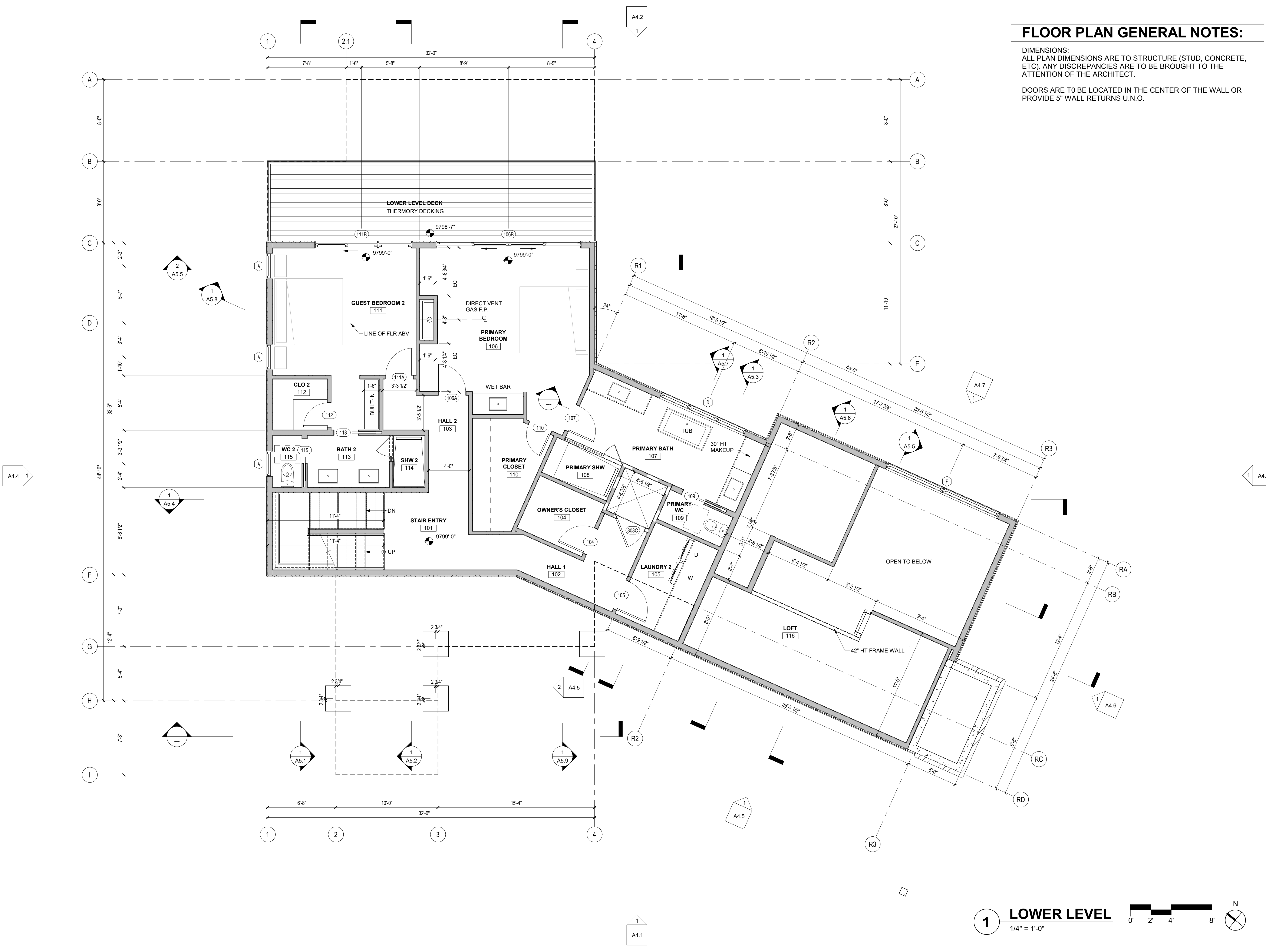
1 WALKOUT LEVEL
1/4" = 1'-0"



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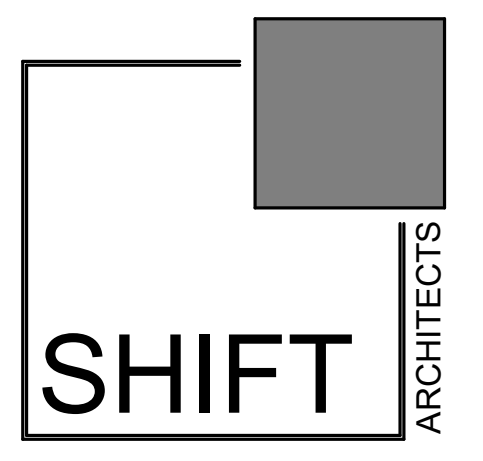
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FLOOR PLAN GENERAL NOTES:

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REVISIONS

NO.	DATE	DESC.

CORTINA LAND CONDOMINIUMS UNIT 4

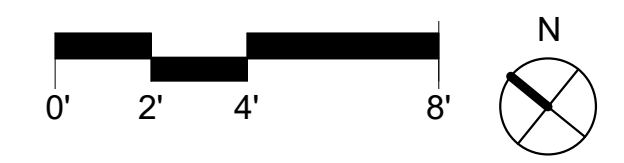
140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
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FLOOR PLAN

SHEET NUMBER

A3.2

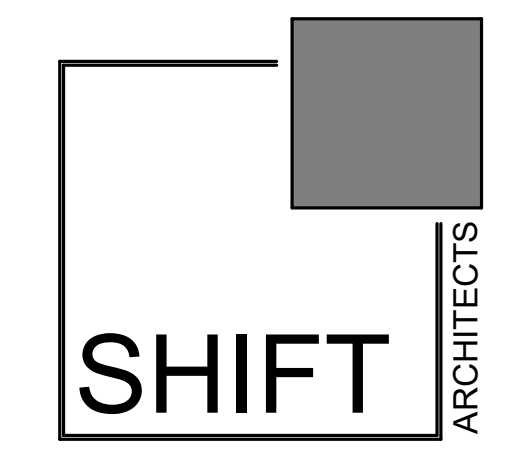
1 LOWER LEVEL
1/4" = 1'-0"



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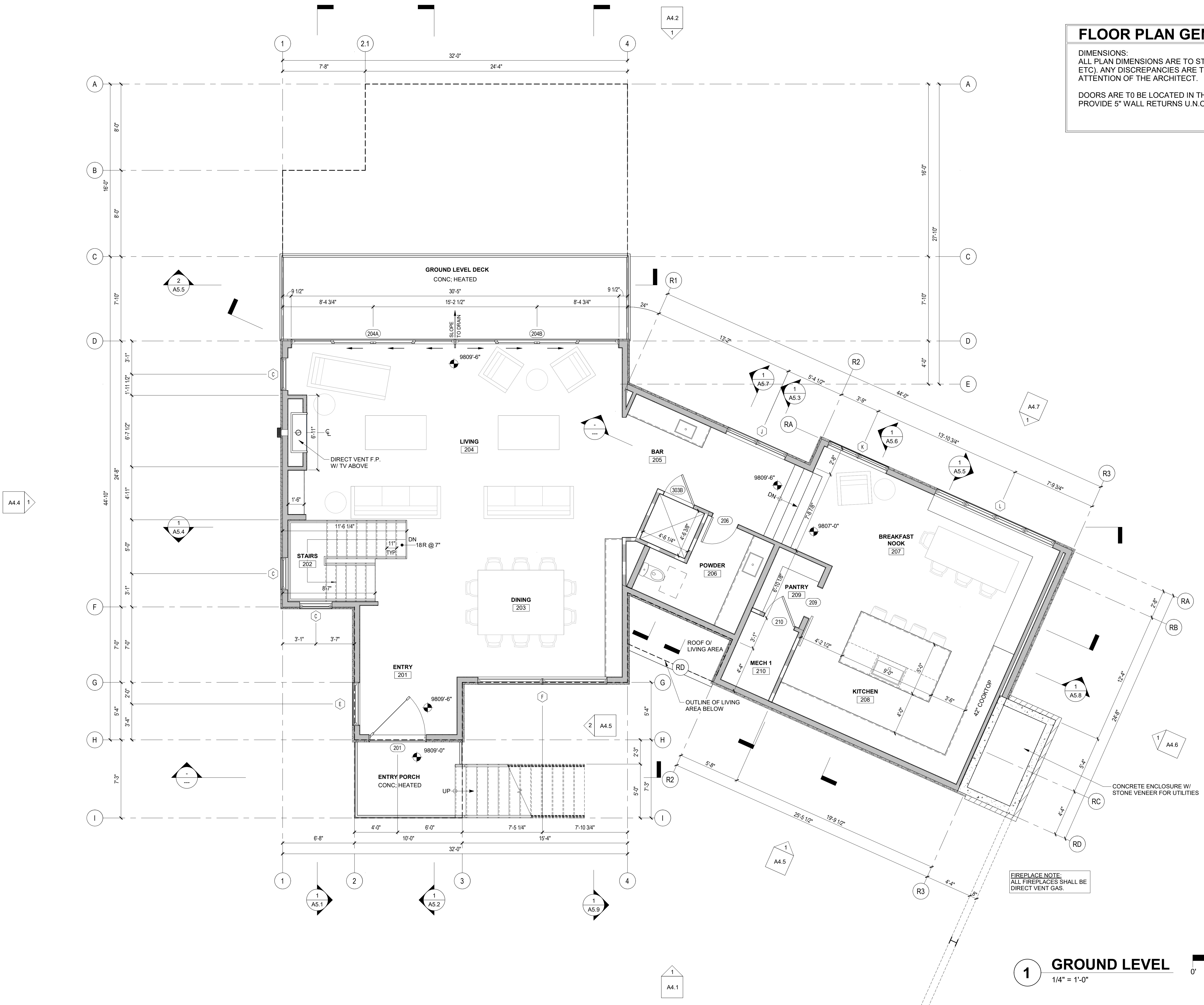


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 DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.N.O.



CORTINA LAND CONDOMINIUMS UNIT 4

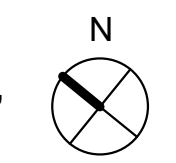
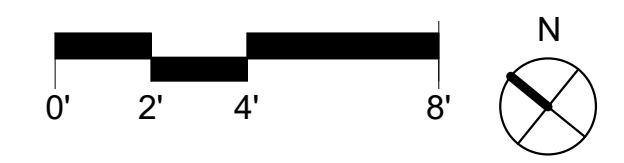
140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
 UNIT 4, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004-PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

FLOOR PLAN

SHEET NUMBER

A3.3

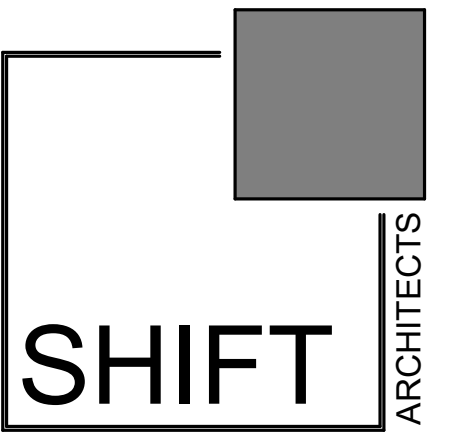
1 GROUND LEVEL
 1/4" = 1'-0"



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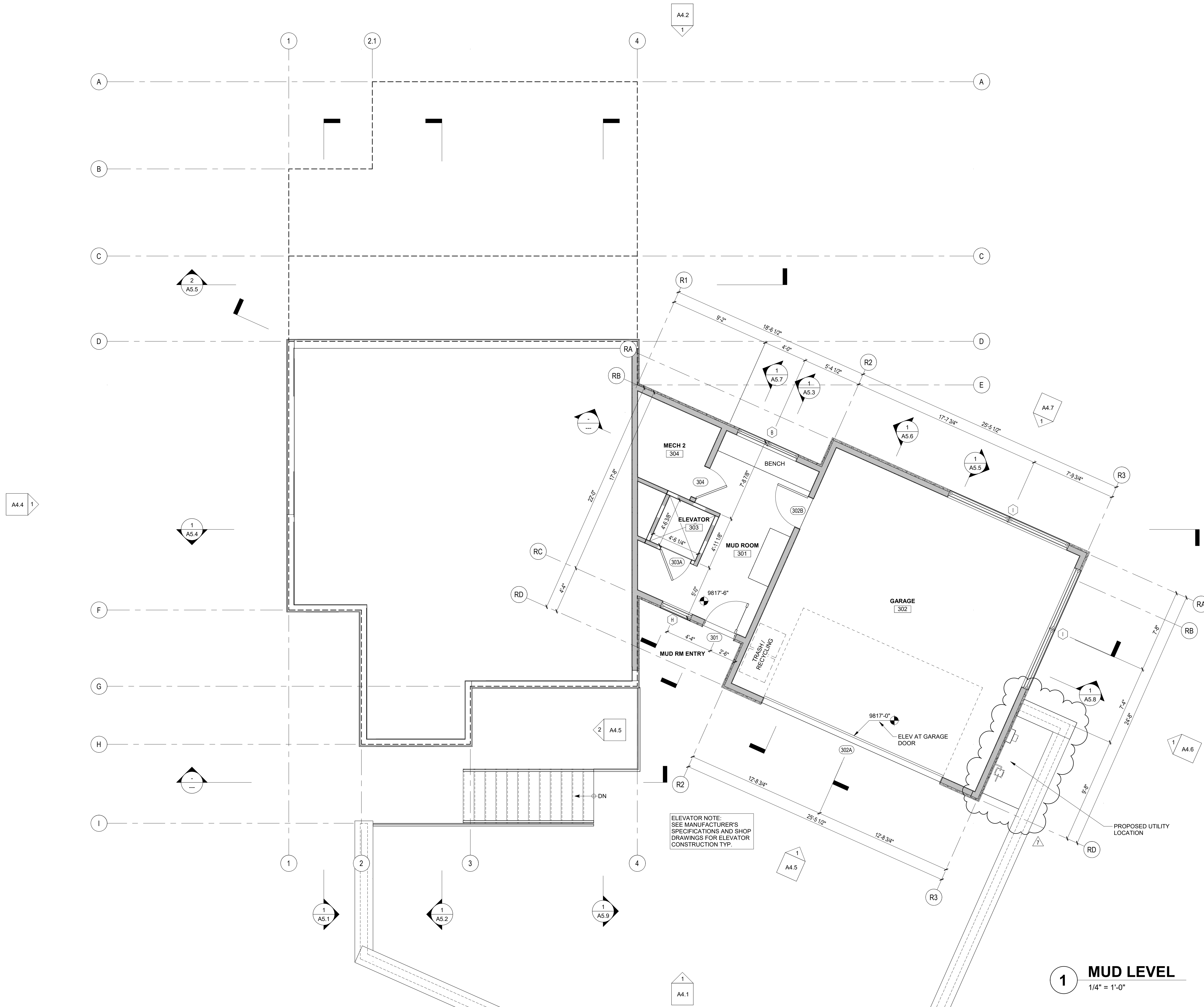
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PROJECT ISSUE DATE:
 03.10.23 DRB FINAL REVIEW

REVISIONS		
NO.	DATE	DESC.
7	03.06.23	New concrete enclosure for utilities



ELEVATOR NOTE:
 SEE MANUFACTURER'S
 SPECIFICATIONS AND SHOP
 DRAWINGS FOR ELEVATOR
 CONSTRUCTION TYP.

CORTINA LAND CONDOMINIUMS UNIT 4

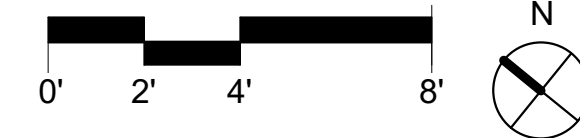
140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
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 REC NOV 30 2004 AT REC NUM 370697

FLOOR PLAN

SHEET NUMBER

A3.4

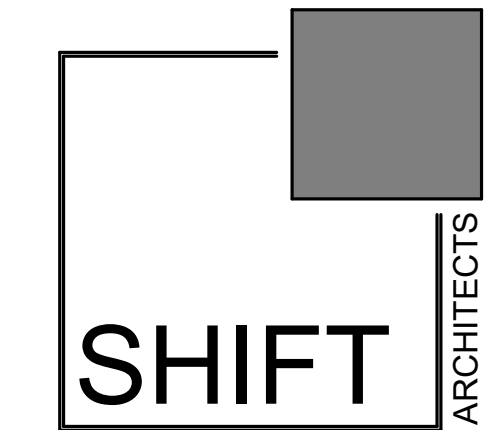
1 MUD LEVEL
 1/4" = 1'-0"



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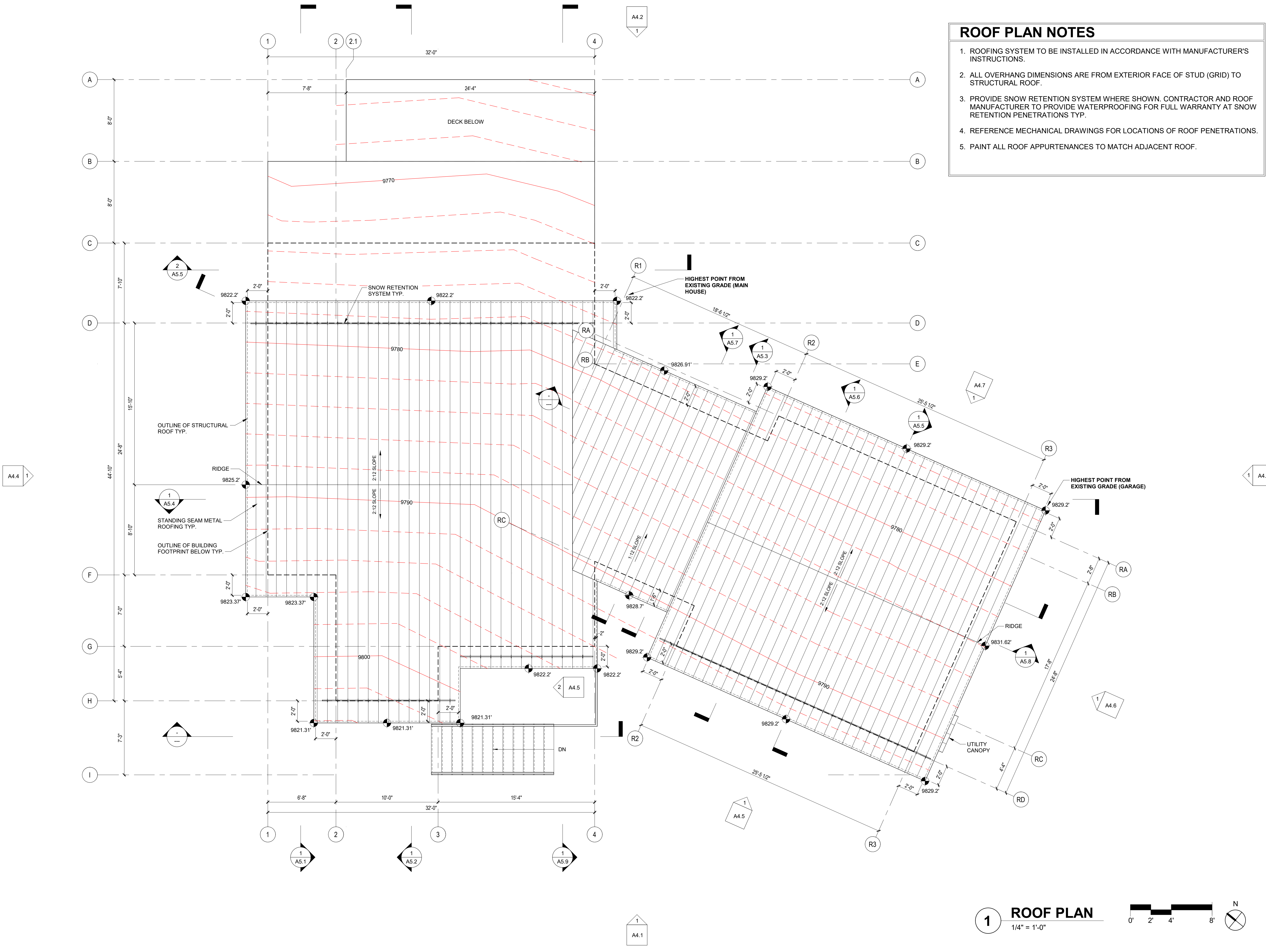


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REVISIONS
NO. DATE DESC.

- ### ROOF PLAN NOTES
1. ROOFING SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 2. ALL OVERHANG DIMENSIONS ARE FROM EXTERIOR FACE OF STUD (GRID) TO STRUCTURAL ROOF.
 3. PROVIDE SNOW RETENTION SYSTEM WHERE SHOWN. CONTRACTOR AND ROOF MANUFACTURER TO PROVIDE WATERPROOFING FOR FULL WARRANTY AT SNOW RETENTION PENETRATIONS TYP.
 4. REFERENCE MECHANICAL DRAWINGS FOR LOCATIONS OF ROOF PENETRATIONS.
 5. PAINT ALL ROOF APPURTENANCES TO MATCH ADJACENT ROOF.



CORTINA LAND CONDOMINIUMS UNIT 4

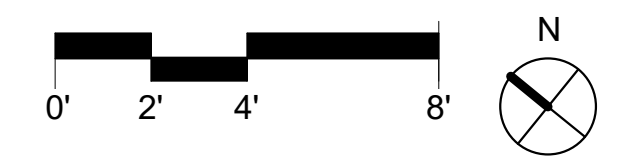
140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
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REC NOV 30 2004 AT REC NUM 370697

ROOF PLAN

SHEET NUMBER

A3.5

1 ROOF PLAN
1/4" = 1'-0"



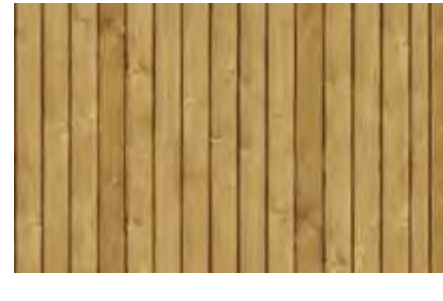
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TELLURIDE STONE
HERITAGE SERIES
PILATUS
FULL STONE VENEER



VERTICAL WOOD SIDING:
6" PINE VERT SIDING
W/ MITERED CORNERS
FINISH: STAINED; TYPICAL



STEEL HORIZ SIDING:
EDCO PRODUCTS
8" TRADITIONAL STEEL LAP SIDING
FINISH: CHARCOAL GRAY

TYPICAL STAIN:
NATURAL

STEEL BEAMS / COLUMNS / BRACING:
FINISH: PAINTED BLACK

DECK BAND:
DOUG FIR WRAPPED W/ METAL: PAINTED BLACK

FASCIA:
DOUG FIR FASCIA WRAPPED W/ METAL FLAT SHEETS
FINISH: MATCH ROOFING

SOFFIT:
METAL FLAT SHEET
FINISH: MATCH ROOF



WOOD DECKING:
THERMORY; BENCHMARK ASH
5/4X6 MAX GROOVED (JEM)
SPECIES: WHITE ASH
COLOR: BROWN (NATURAL)



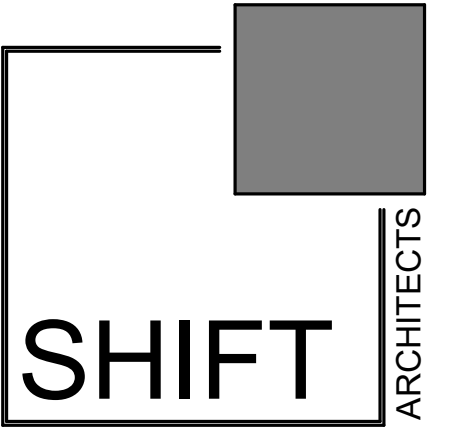
WINDOWS / DOORS:
LOEWEN ALUMN CLAD BLACK; EXTERIOR
WOOD INTERIOR; PAINTED



ROOFING:
PAC-CLAD 150 12" STANDING SEAM
METAL ROOFING; MATTE BLACK

EXTERIOR ELEVATION NOTES

1. CONSISTANT WITH TOWN BUILDING CODES:
UNENCLOSED ACCESSORY STRUCTURES ATTACHED
TO BUILDINGS WITH HABITABLE SPACES AND
PROJECTIONS, SUCH AS DECKS, SHALL BE
CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY
TIMBER OR EXTERIOR GRADE IGNITION RESISTANT
MATERIALS SUCH AS THOSE LISTED AS WUIC
(WILDLAND URBAN INTERFACE CODE) APPROVED
PRODUCTS.



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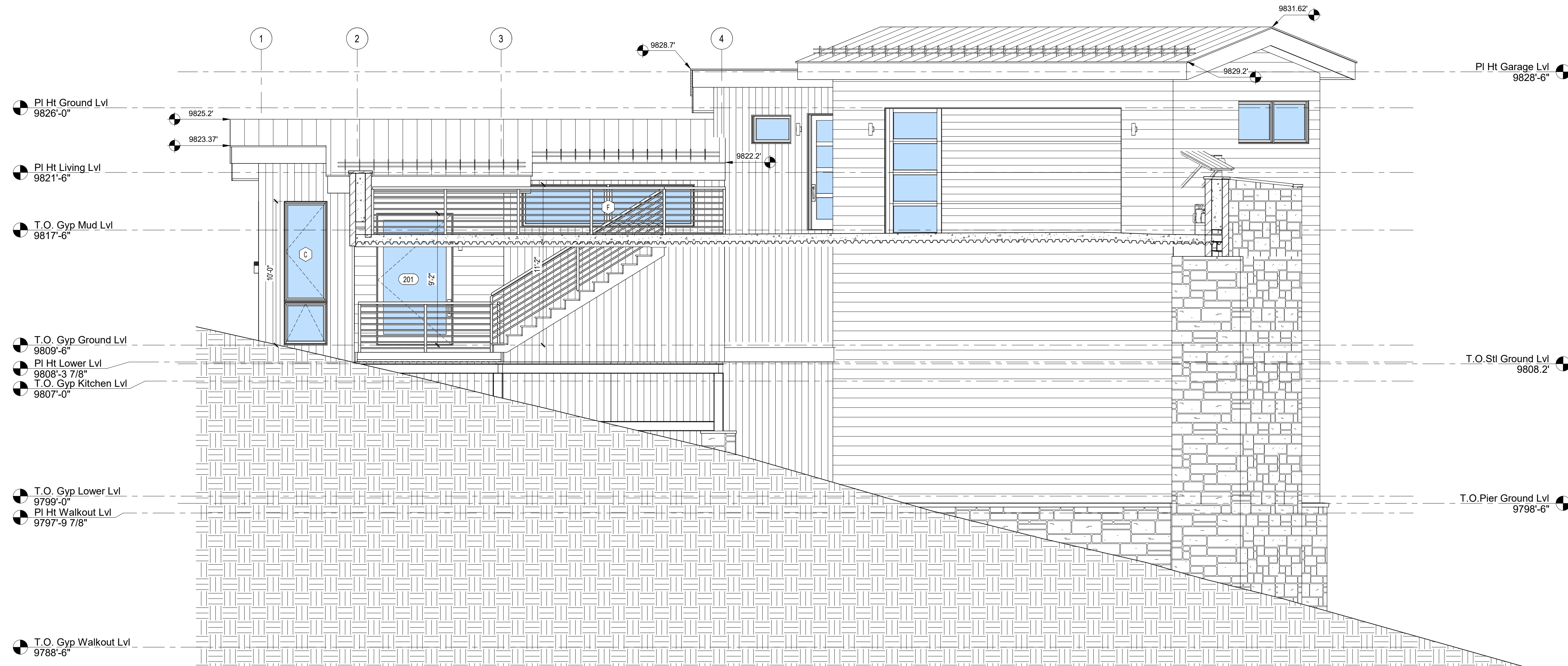
PROJECT ISSUE DATE:
03.10.23 DRB FINAL REVIEW

REVISIONS

NO. DATE DESC.

12 03.06.23 Revised soffit material

EXTERIOR MATERIALS



CORTINA LAND CONDOMINIUMS UNIT 4

140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 4, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST
COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION
REC NOV 30 2004 AT REC NUM 370697

EXTERIOR
ELEVATIONS

SHEET NUMBER

A4.1

1 SOUTH ELEVATION
1/4" = 1'-0"



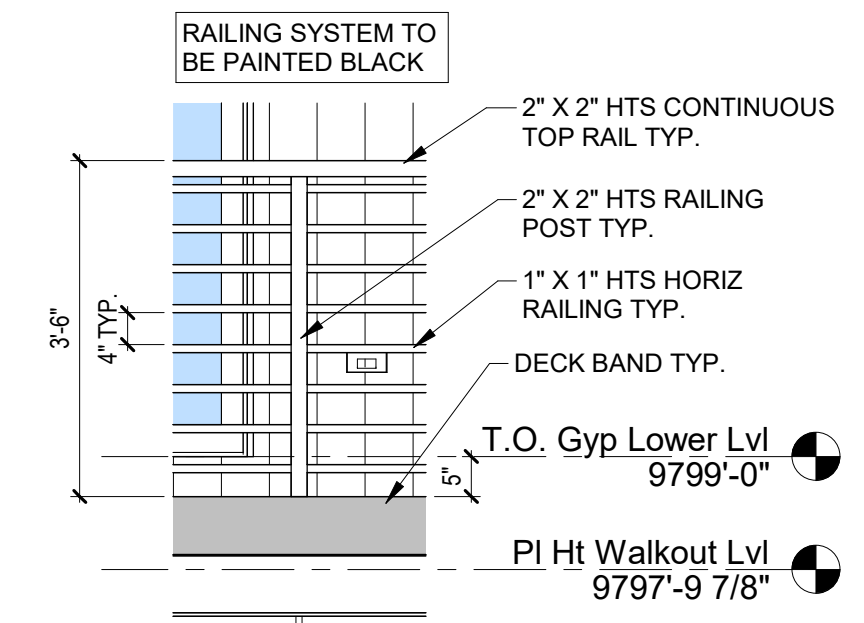
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NOT FOR CONSTRUCTION

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REVISIONS

NO.	DATE	DESC.
14	03.07.23	Revised exterior material design; stone veneer



2 EXTERIOR RAILING DETAIL
1/2" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"



CORTINA LAND CONDOMINIUMS UNIT 4

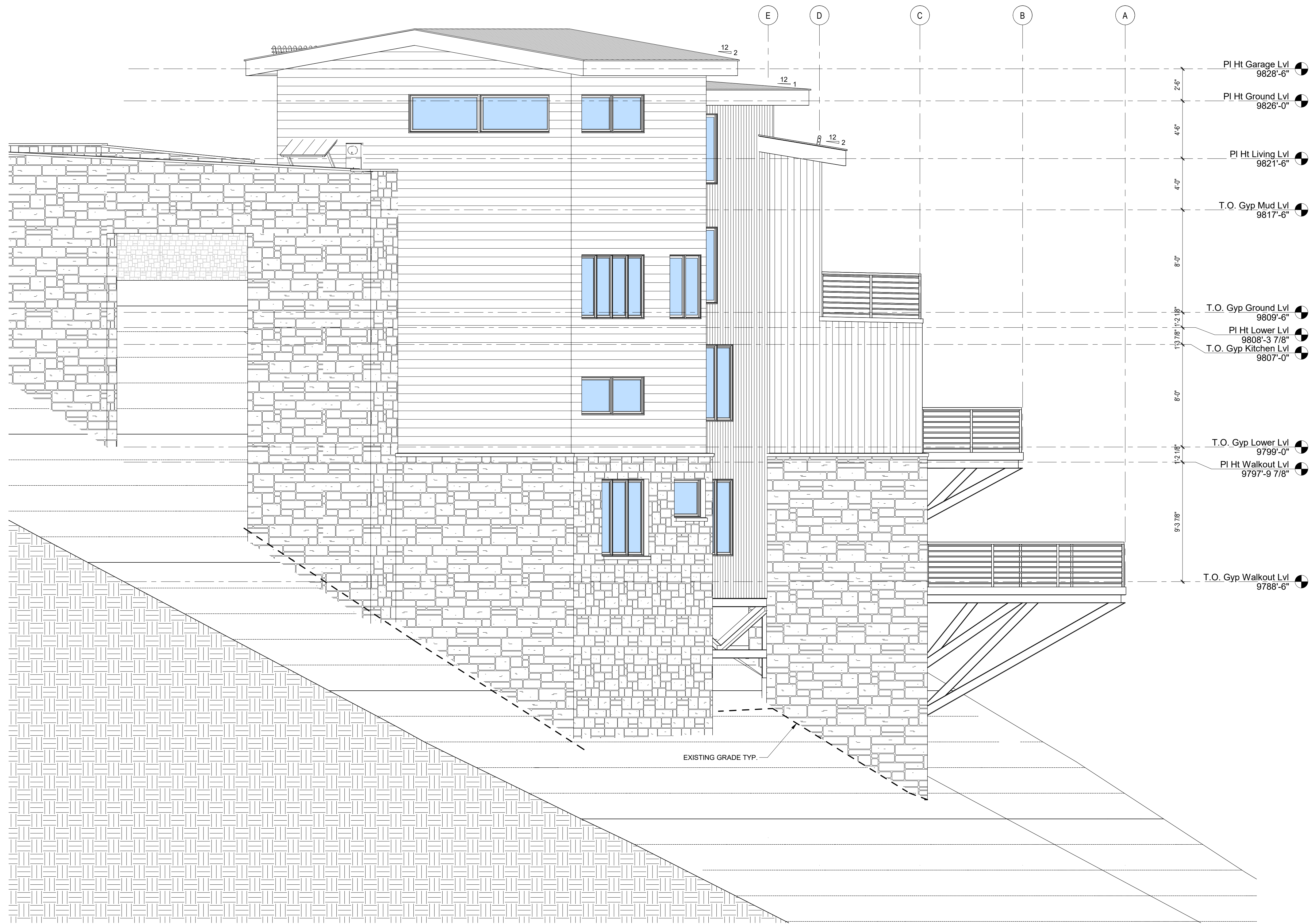
140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
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EXTERIOR ELEVATIONS

SHEET NUMBER

A4.2

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CORTINA LAND CONDOMINIUMS UNIT 4

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EXTERIOR
 ELEVATIONS

SHEET NUMBER

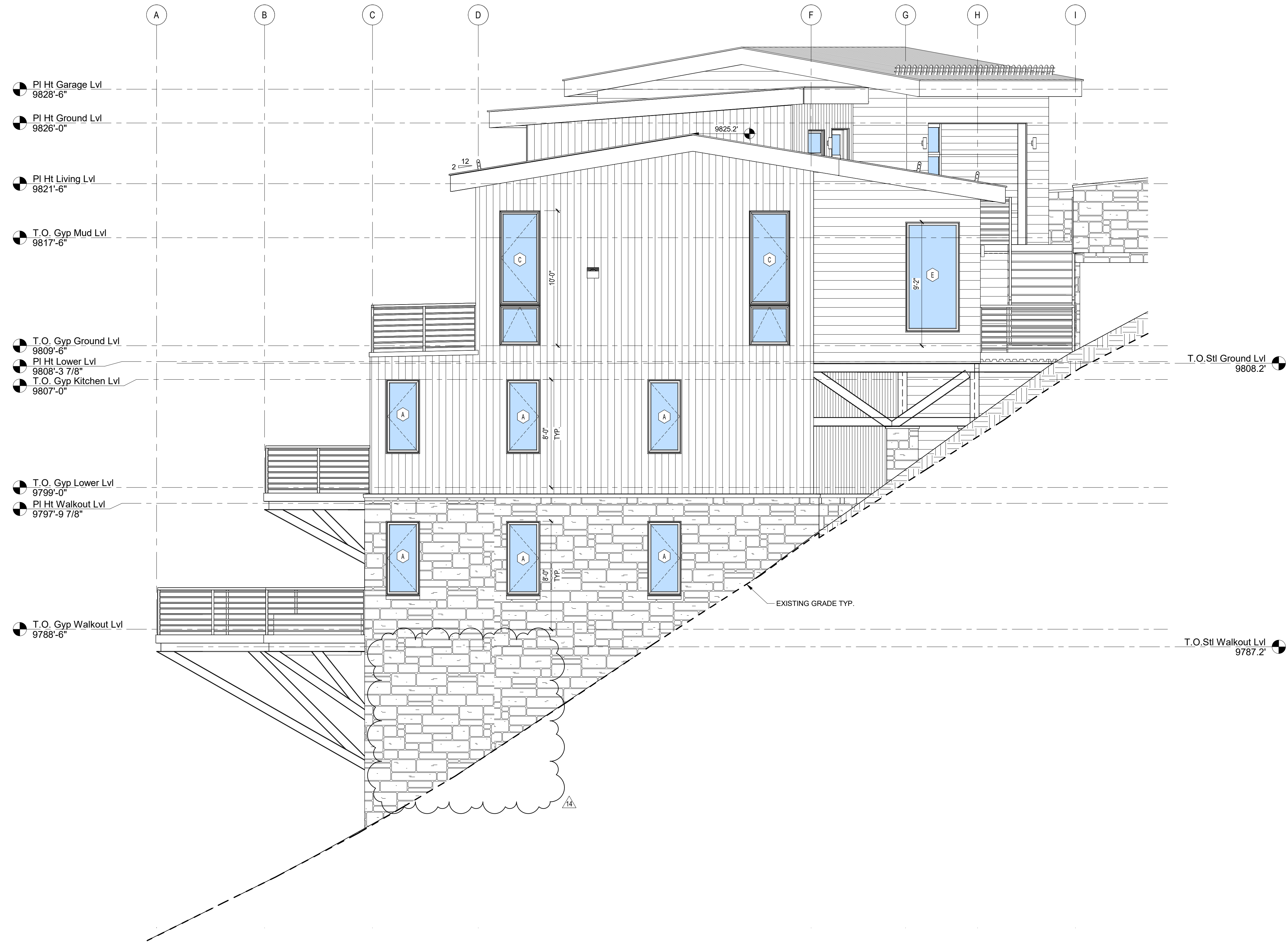
A4.3

1 EAST ELEVATION
 1/4" = 1'-0"



REVISIONS

NO.	DATE	DESC.
14	03.07.23	Revised exterior material design; stone veneer



- PI Ht Garage Lvl
9828'-6"
- PI Ht Ground Lvl
9826'-0"
- PI Ht Living Lvl
9821'-6"
- T.O. Gyp Mud Lvl
9817'-6"
- T.O. Gyp Ground Lvl
9809'-6"
- PI Ht Lower Lvl
9808'-3 7/8"
- T.O. Gyp Kitchen Lvl
9807'-0"
- T.O. Gyp Lower Lvl
9799'-0"
- PI Ht Walkout Lvl
9797'-9 7/8"
- T.O. Gyp Walkout Lvl
9788'-6"

- T.O. Stl Ground Lvl
9808.2'
- T.O. Stl Walkout Lvl
9787.2'

CORTINA LAND CONDOMINIUMS UNIT 4

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EXTERIOR
 ELEVATIONS

SHEET NUMBER

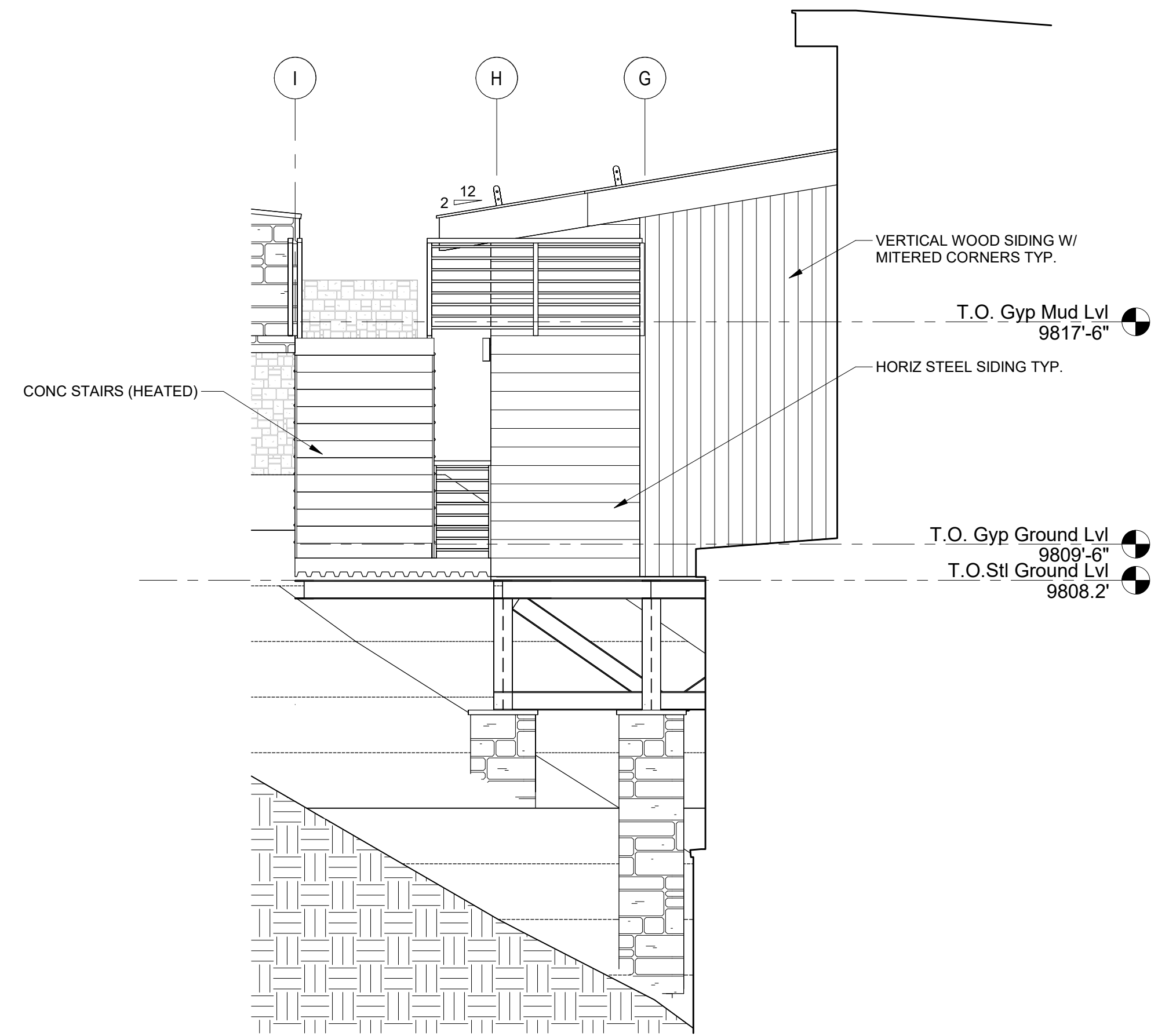
A4.4

1 WEST ELEVATION
 1/4" = 1'-0"

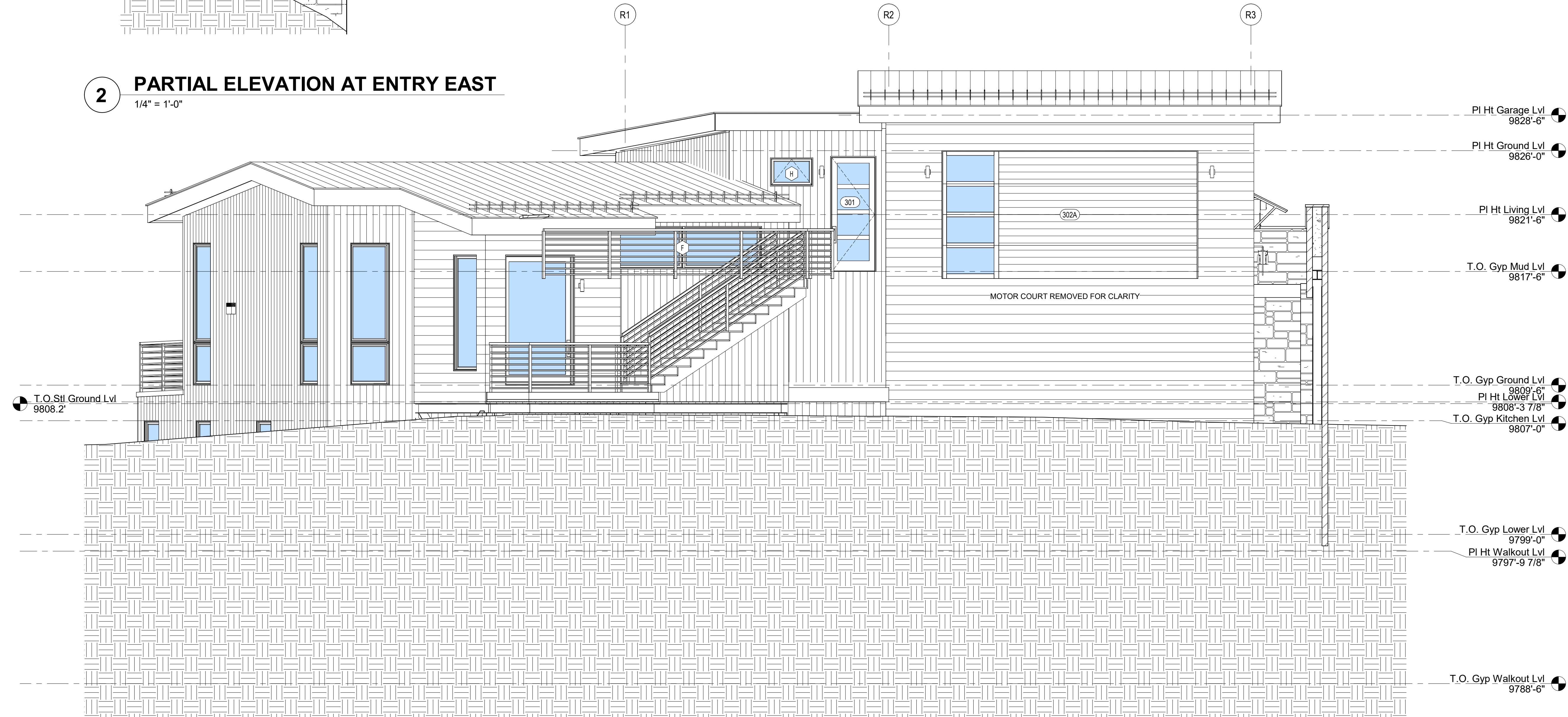


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2 PARTIAL ELEVATION AT ENTRY EAST
1/4" = 1'-0"



1 PARTIAL ELEVATION AT GARAGE SOUTH
1/4" = 1'-0"



CORTINA LAND CONDOMINIUMS UNIT 4

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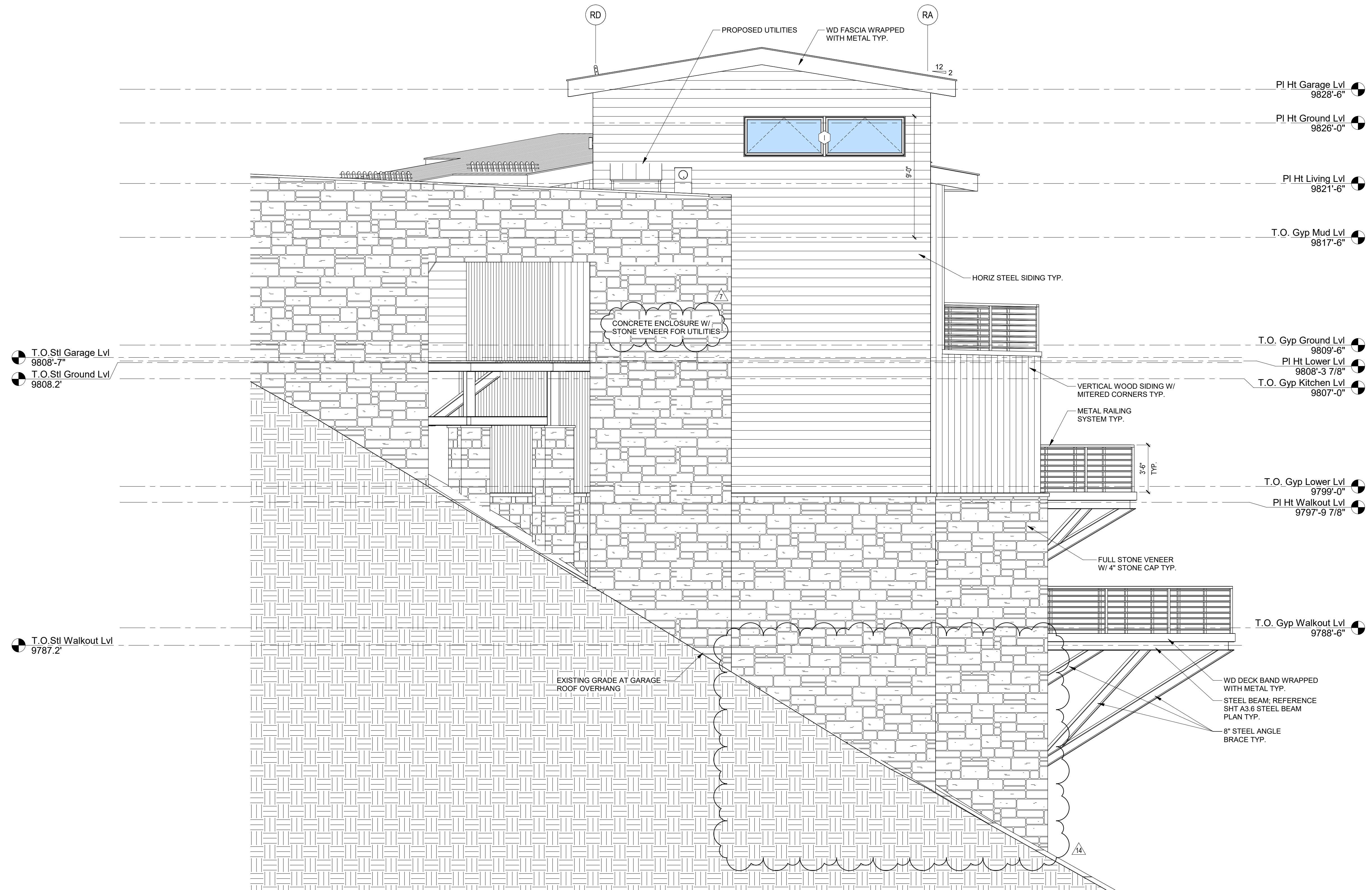
EXTERIOR
ELEVATIONS

SHEET NUMBER

A4.5

REVISIONS

NO.	DATE	DESC.
7	03.06.23	New concrete enclosure for utilities
14	03.07.23	Revised exterior material/design, stone veneer



CORTINA LAND CONDOMINIUMS UNIT 4

140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
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EXTERIOR
ELEVATIONS

SHEET NUMBER

A4.6

1 PARTIAL ELEVATION AT GARAGE EAST
1/4" = 1'-0"



REVISIONS

NO.	DATE	DESC.
4	03.06.23	Revised window size/type
5	03.06.23	New window
6	03.06.23	Remove window
14	03.07.23	Revised exterior material/design; stone veneer
15	03.07.23	Revised material/design; wood siding w/ steel truss



CORTINA LAND CONDOMINIUMS UNIT 4

140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
 UNIT 4, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST
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EXTERIOR
 ELEVATIONS

SHEET NUMBER

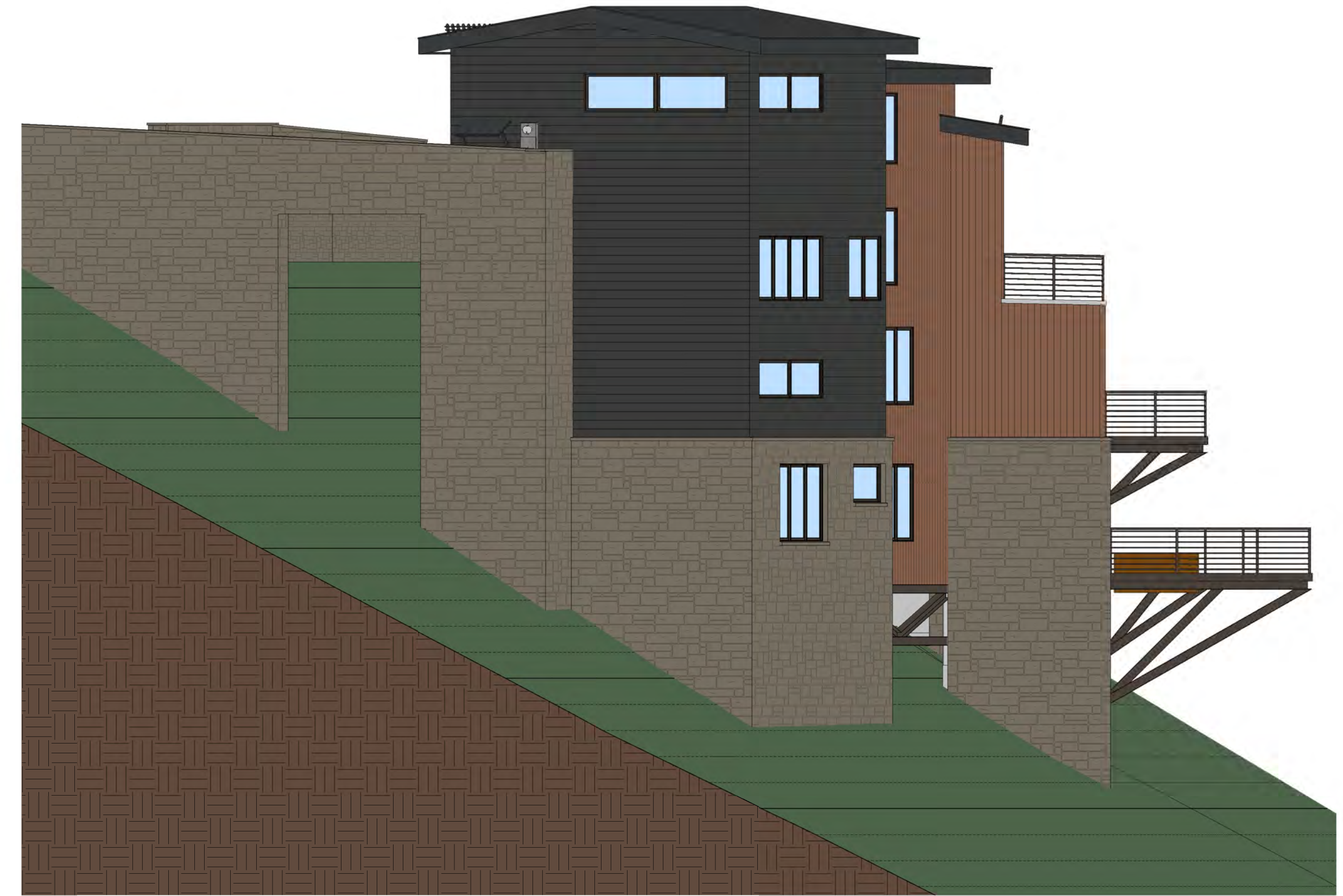
A4.7

1 PARTIAL ELEVATION AT GARAGE NORTH
 1/4" = 1'-0"





1 SOUTH ELEVATION
 1/8" = 1'-0"



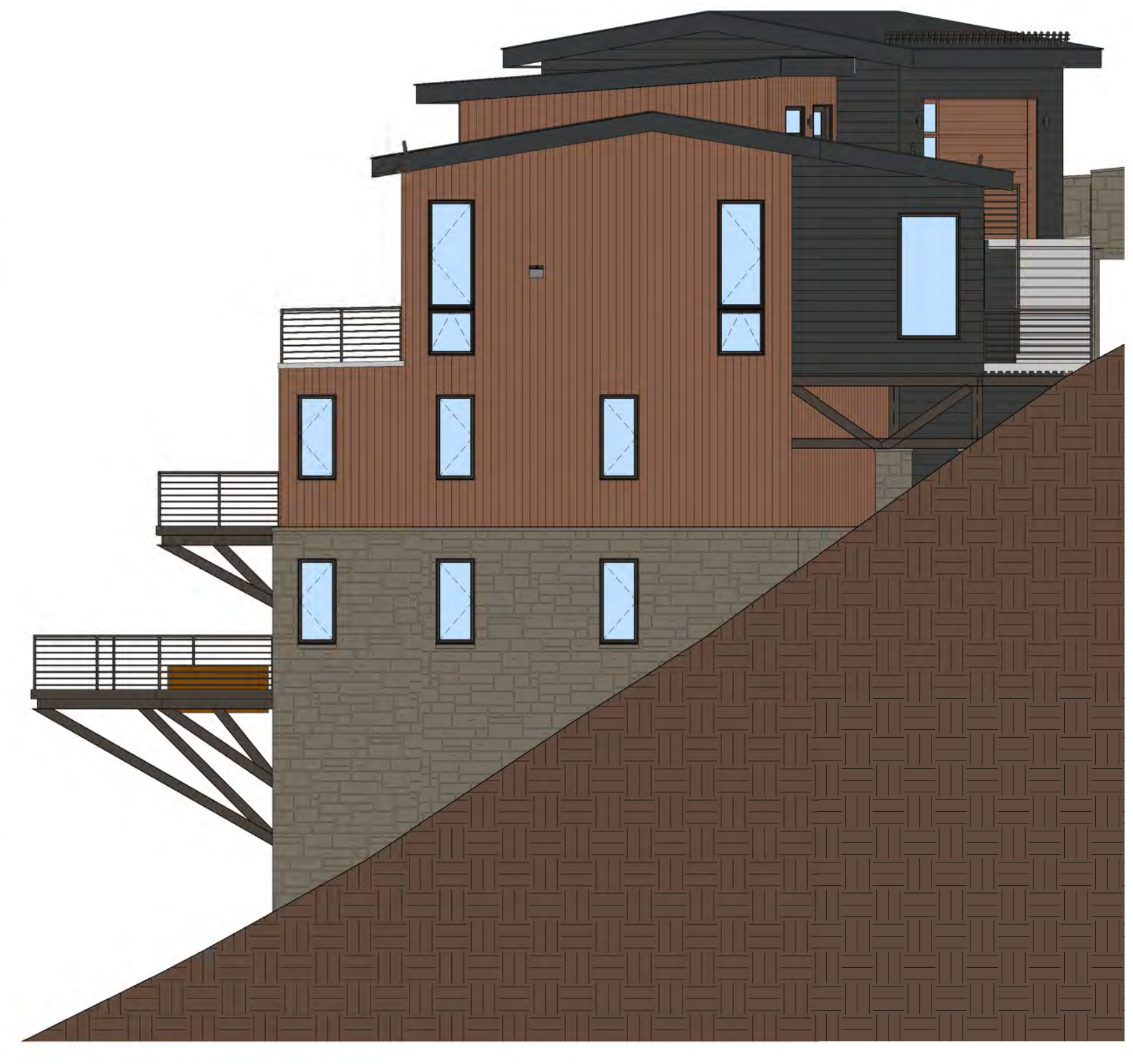
2 EAST ELEVATION
 1/8" = 1'-0"



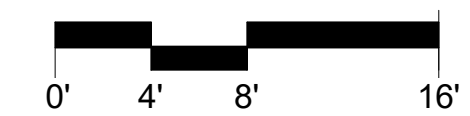
3 GARAGE EAST
 1/8" = 1'-0"



4 NORTH ELEVATION
 1/8" = 1'-0"



5 WEST ELEVATION
 1/8" = 1'-0"



DOOR NOTES:

1. DOOR INSTALLATION: INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. PROVIDE TEMPERED GLASS AS REQUIRED BY CODE.
3. DOOR HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.
4. DOOR MANUFACTURER: LOEWEN ALUMN CLAD EXTERIOR / WOOD INTERIOR, PAINTED.
5. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
6. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
7. PROVIDE SCREENS FOR ALL DOORS.
8. DOORS SHALL BE IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE CHAPTER 17.5 DESIGN REGULATIONS (17.5.6.H DOORS AND ENTRY WAYS).

DOOR SCHEDULE EXTERIOR PANEL

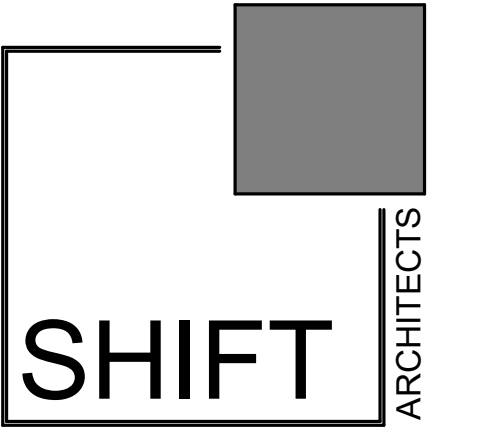
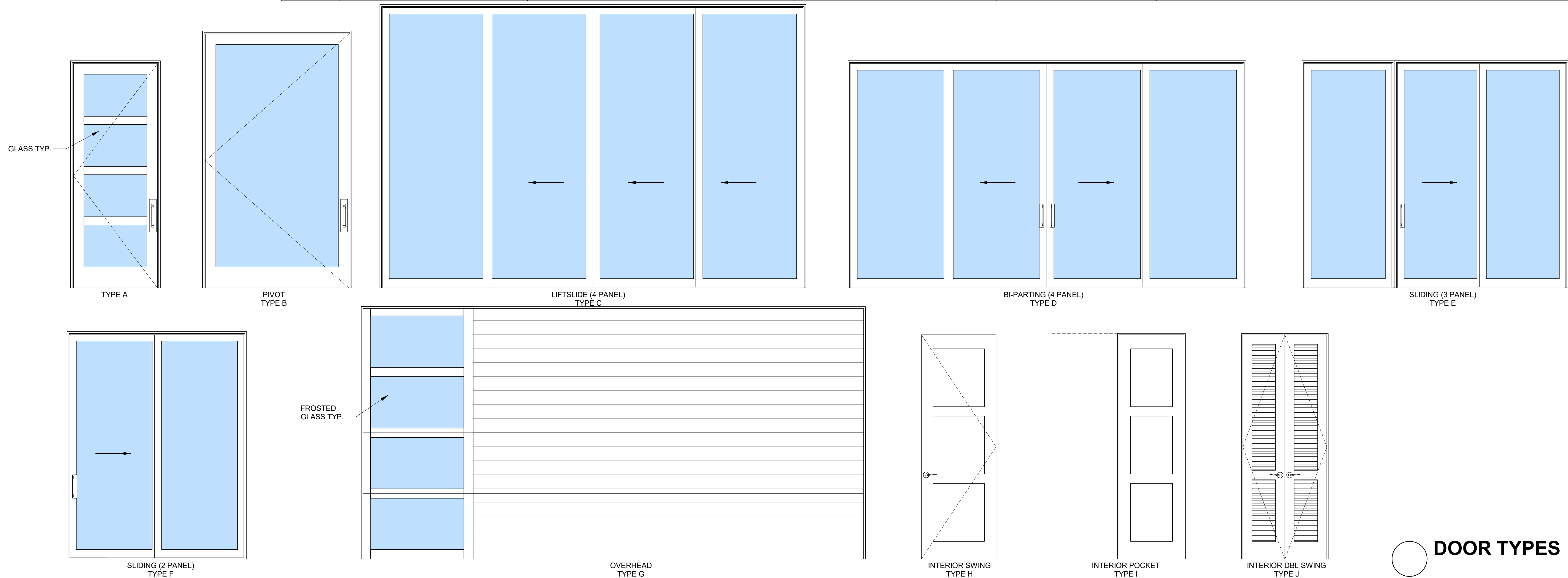
MARK	ROOM NAME	TYPE MARK	PANEL WIDTH	PANEL HEIGHT	TYPE	MANUFACTURER	COMMENTS
201	ENTRY	B	5'-1 1/2"	9'-0 3/4"	PIVOT		
301	MUD ROOM	A	3'-0"	8'-0"	SWING	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	(4) LITE
302A	KITCHEN	G	18'-0"	9'-0"	OVERHEAD DOOR		6" HORIZ PINE (MATCH SIDING AT HOUSE); (3) LITE, FROSTED GLASS

DOOR SCHEDULE EXTERIOR FRAME

MARK	ROOM NAME	TYPE MARK	UNIT WIDTH	UNIT WIDTH	TYPE	MANUFACTURER	COMMENTS
001	REC ROOM	D	14'-2 1/2"	8'-1 1/4"	BI-PARTING (4 PANEL)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
003B	GUEST BEDROOM 3	F	6'-5"	8'-1 1/4"	SLIDING PATIO (2 PANEL)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
106B	PRIMARY BEDROOM	D	14'-2 1/2"	8'-1 1/4"	BI-PARTING (4 PANEL)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
111B	GUEST BEDROOM 2	E	9'-5"	8'-1 1/4"	SLIDING PATIO (3 PANEL)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
204A	LIVING	C	15'-2 1/2"	10'-1 1/4"	LIFTSIDE (4 PANEL)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
204B	LIVING	C	15'-2 1/2"	10'-1 1/4"	LIFTSIDE (4 PANEL)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	

DOOR SCHEDULE - INTERIOR PANEL

MARK	ROOM NAME	TYPE MARK	PANEL WIDTH	PANEL HEIGHT	TYPE	MANUFACTURER	COMMENTS
002	CLOSET	H	2'-4"	8'-0"	SWING		
003A	GUEST BEDROOM 3	H	2'-8"	8'-0"	SWING		
004	CLO 3	H	2'-4"	8'-0"	SWING		
005	BATH 3	I	2'-4"	8'-0"	POCKET		
007	WC 3	I	2'-4"	8'-0"	POCKET		
009	POWDER 2	I	2'-4"	8'-0"	POCKET		
010	GUEST BEDROOM 4	H	2'-8"	8'-0"	SWING		
011	CLO 4	H	2'-4"	8'-0"	SWING		
012	BATH 4	H	2'-6"	8'-0"	SWING		
014	LAUNDRY 1	J	3'-0"	8'-0"	DOUBLE SWING (LOUVERED)		
015	BUNK ROOM	H	2'-8"	8'-0"	SWING		
016	BUNK BATH	H	2'-6"	8'-0"	SWING		
017	BUNK WC	I	2'-4"	8'-0"	POCKET		
104	OWNER'S CLOSET	H	2'-8"	8'-0"	SWING		
105	LAUNDRY 2	H	3'-0"	8'-0"	SWING		
106A	PRIMARY BEDROOM	H	2'-8"	8'-0"	SWING		
107	PRIMARY BATH	H	2'-8"	8'-0"	SWING		
109	PRIMARY WC	I	2'-4"	8'-0"	POCKET		
110	PRIMARY BEDROOM	H	2'-4"	8'-0"	SWING		
111A	GUEST BEDROOM 2	H	2'-8"	8'-0"	SWING		
112	CLO 2	H	2'-4"	8'-0"	SWING		
113	BATH 2	I	2'-4"	8'-0"	POCKET		
115	WC 2	I	2'-4"	8'-0"	POCKET		
206	POWDER	H	2'-6"	6'-8"	SWING		
209	PANTRY	K	3'-0"	7'-0"	BARN DOOR		
210	MECH 1	H	3'-0"	7'-0"	SWING		20 MIN FIRE RATED
302B	GARAGE	H	3'-0"	8'-0"	SWING		20 MIN FIRE RATED
303A	ELEVATOR	H	3'-0"	6'-8"	SWING		ELEVATOR DOOR IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS
303B	ELEVATOR	H	3'-0"	6'-8"	SWING		ELEVATOR DOOR IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS
303C	ELEVATOR	H	3'-0"	6'-8"	SWING		ELEVATOR DOOR IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS
303D	ELEVATOR	H	3'-0"	6'-8"	SWING		ELEVATOR DOOR IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS
304	MECH 2	I	3'-0"	8'-0"	SWING		20 MIN FIRE RATED



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PROJECT ISSUE DATE:
03.10.23 DRB FINAL REVIEW

REVISIONS
NO. DATE DESC.

CORTINA LAND CONDOMINIUMS UNIT 4

140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 4, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST
COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION
REC NOV 30 2004 AT REC NUM 370697

DOOR SCHEDULE

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SHEET NUMBER

A8.1

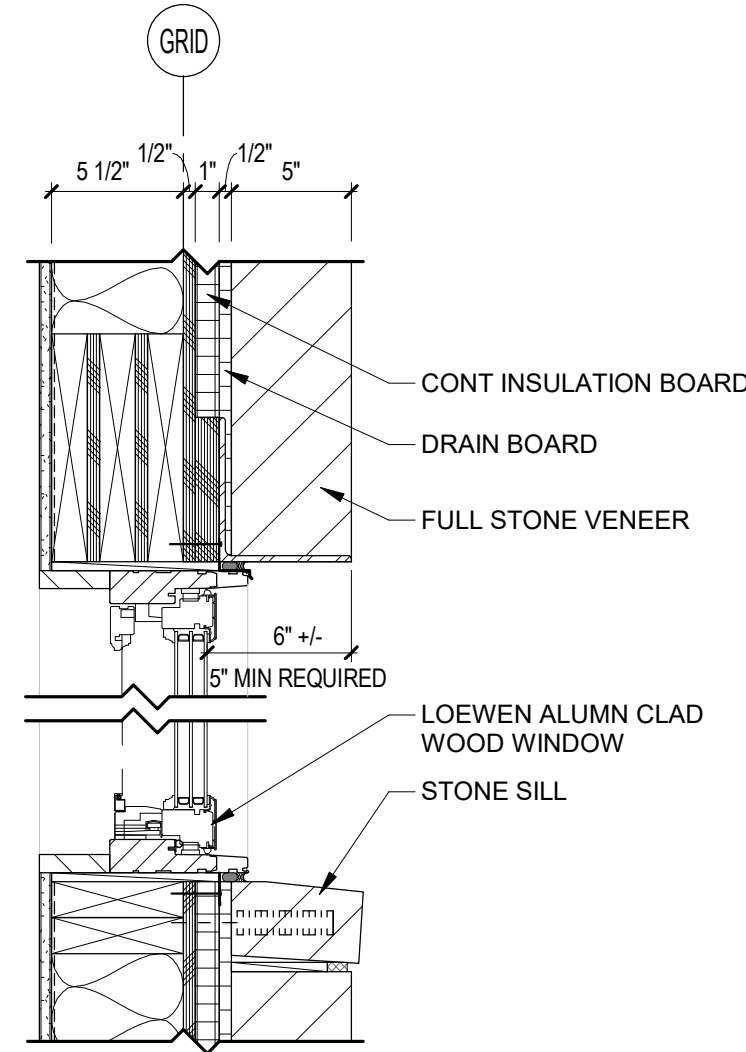
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DOOR TYPES

NOT FOR CONSTRUCTION

WINDOW NOTES:

- WINDOW INSTALLATION: INSTALL WINDOWS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- PROVIDE TEMPERED GLASS AS REQUIRED BY CODE.
- SEE ELEVATIONS FOR WINDOW MULLION PATTERN.
- WINDOW MANUFACTURER: LOEWEN ALUMN CLAD EXTERIOR / WOOD INTERIOR, PAINTED.
- WINDOW HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.
- VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
- WINDOW MANUFACTURER TO VERIFY WINDOW SWINGS.
- WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
- PROVIDE SCREENS FOR ALL OPERABLE WINDOWS.
- WINDOWS SHALL BE IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE CHAPTER 17.5 DESIGN REGULATIONS (17.5.6.G GLAZING).
- PROVIDE SAFEGARD 2R CASEMENT WINDOW OPENING CONTROL DEVICE ON ALL OPERABLE WINDOWS.

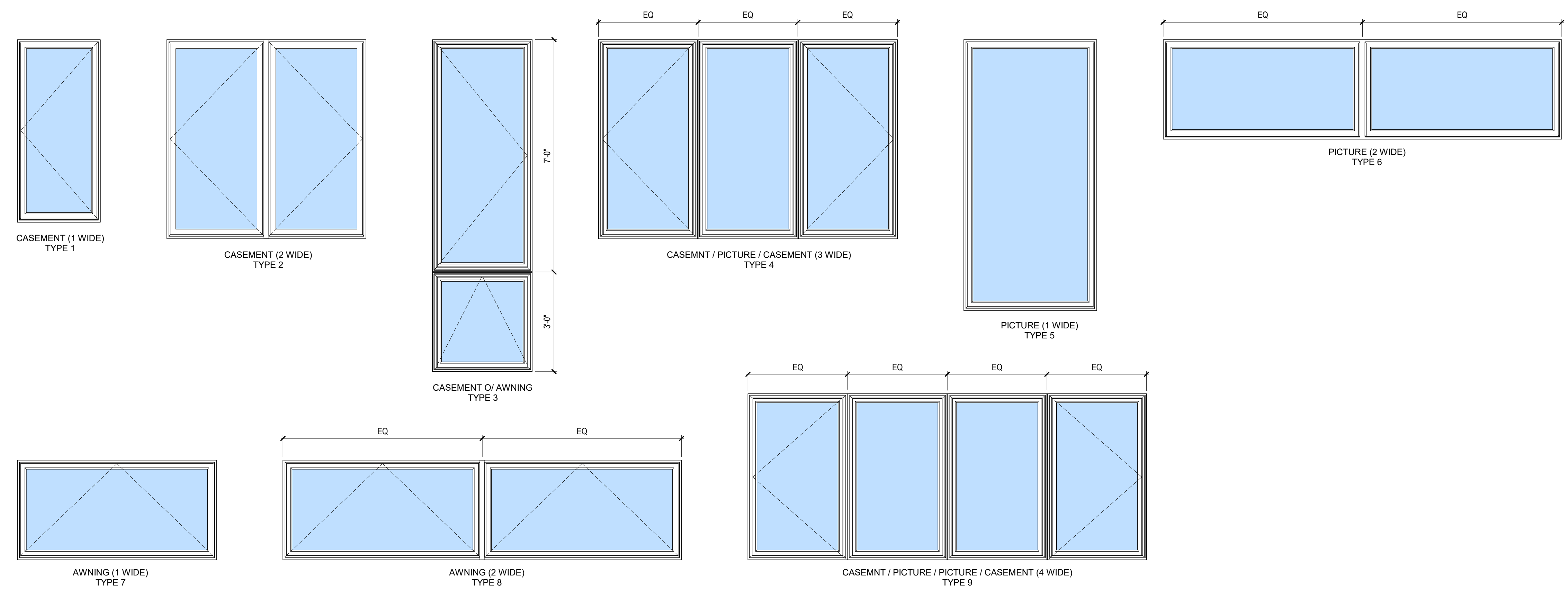


WINDOW SCHEDULE

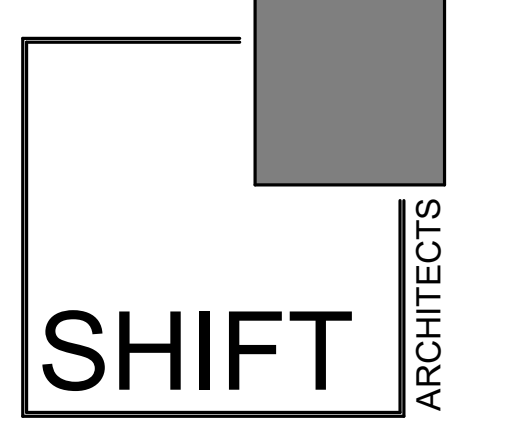
ROOM NUMBER	ROOM NAME	MARK	UNIT WIDTH	UNIT HEIGHT	TYPE MARK	TYPE	MANUFACTURER	COMMENTS
003	GUEST BEDROOM 3	A	2'-6"	5'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
003	GUEST BEDROOM 3	A	2'-6"	5'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
007	WC 3	A	2'-6"	5'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
010	GUEST BEDROOM 4	D	9'-0"	6'-0"	4	CASEMENT / PICTURE / CASEMENT (3 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
012	BATH 4	G	6'-0"	3'-0"	7	AWNING (1 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
015	BUNK ROOM	D	9'-0"	6'-0"	4	CASEMENT / PICTURE / CASEMENT (3 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
015	BUNK ROOM	F	12'-0"	3'-0"	6	PICTURE (2 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
107	PRIMARY BATH	D	9'-0"	6'-0"	4	CASEMENT / PICTURE / CASEMENT (3 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
111	GUEST BEDROOM 2	A	2'-6"	5'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
111	GUEST BEDROOM 2	A	2'-6"	5'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
115	WC 2	A	2'-6"	5'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
201	ENTRY	E	4'-0"	8'-2"	5	PICTURE (1 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
202	STAIRS	C	3'-0"	10'-0"	3	CASEMENT / AWNING (1 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	3'-0"X7'-0" CASEMENT / 3'-0"X3'-0" AWNING
202	STAIRS	C	3'-0"	10'-0"	3	CASEMENT / AWNING (1 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	3'-0"X7'-0" CASEMENT / 3'-0"X3'-0" AWNING
203	DINING	F	12'-0"	3'-0"	6	PICTURE (2 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
204	LIVING	C	3'-0"	10'-0"	3	CASEMENT / AWNING (1 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	3'-0"X7'-0" CASEMENT / 3'-0"X3'-0" AWNING
205	BAR	J	6'-0"	6'-0"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
207	BREAKFAST NOOK	K	6'-0"	5'-0"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
207	BREAKFAST NOOK	L	12'-0"	5'-0"	9	CASEMENT / PICTURE / PICTURE / CASEMENT (4 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
301	MUD ROOM	B	6'-0"	5'-6"	2	CASEMENT (2 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
301	MUD ROOM	H	3'-0"	2'-0"	7	AWNING (1 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
302	GARAGE	I	12'-0"	3'-0"	8	AWNING (2 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	
302	GARAGE	I	12'-0"	3'-0"	8	AWNING (2 WIDE)	LOEWEN ALUM CLAD; BLACK / WOOD INTERIOR; PAINTED BLACK	

1 WINDOW HEAD/SILL STONE VENEER

1 1/2" = 1'-0"



WINDOW TYPES



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PROJECT ISSUE DATE:
03.10.23 DRB FINAL REVIEW

NO.	DATE	DESC.
4	03.06.23	Revised window size/type
5	03.06.23	New window

CORTINA LAND CONDOMINIUMS UNIT 4

140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 4, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST
COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION
REC NOV 30 2004 AT REC NUM 370697

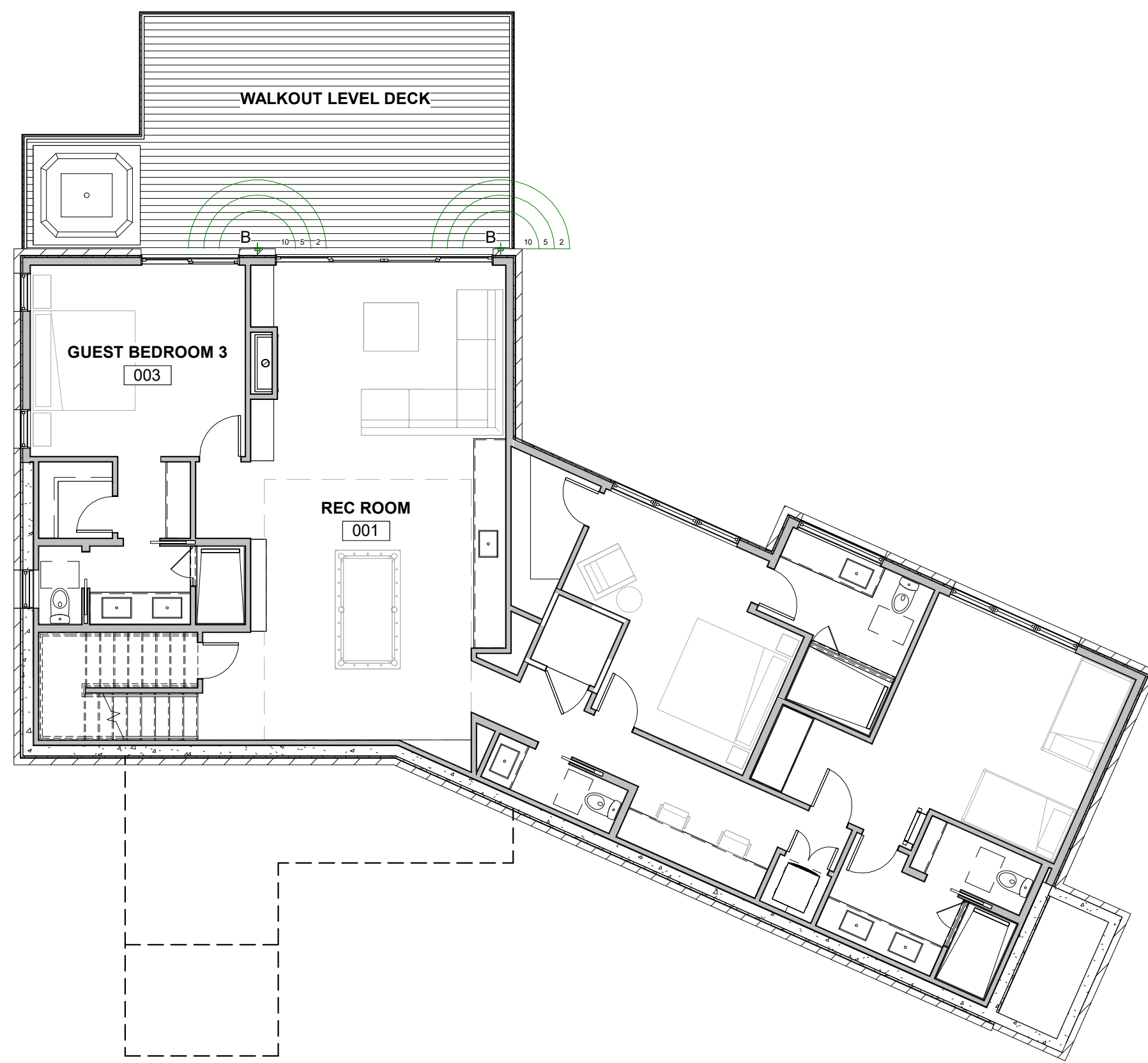
WINDOW SCHEDULE

SHEET NUMBER

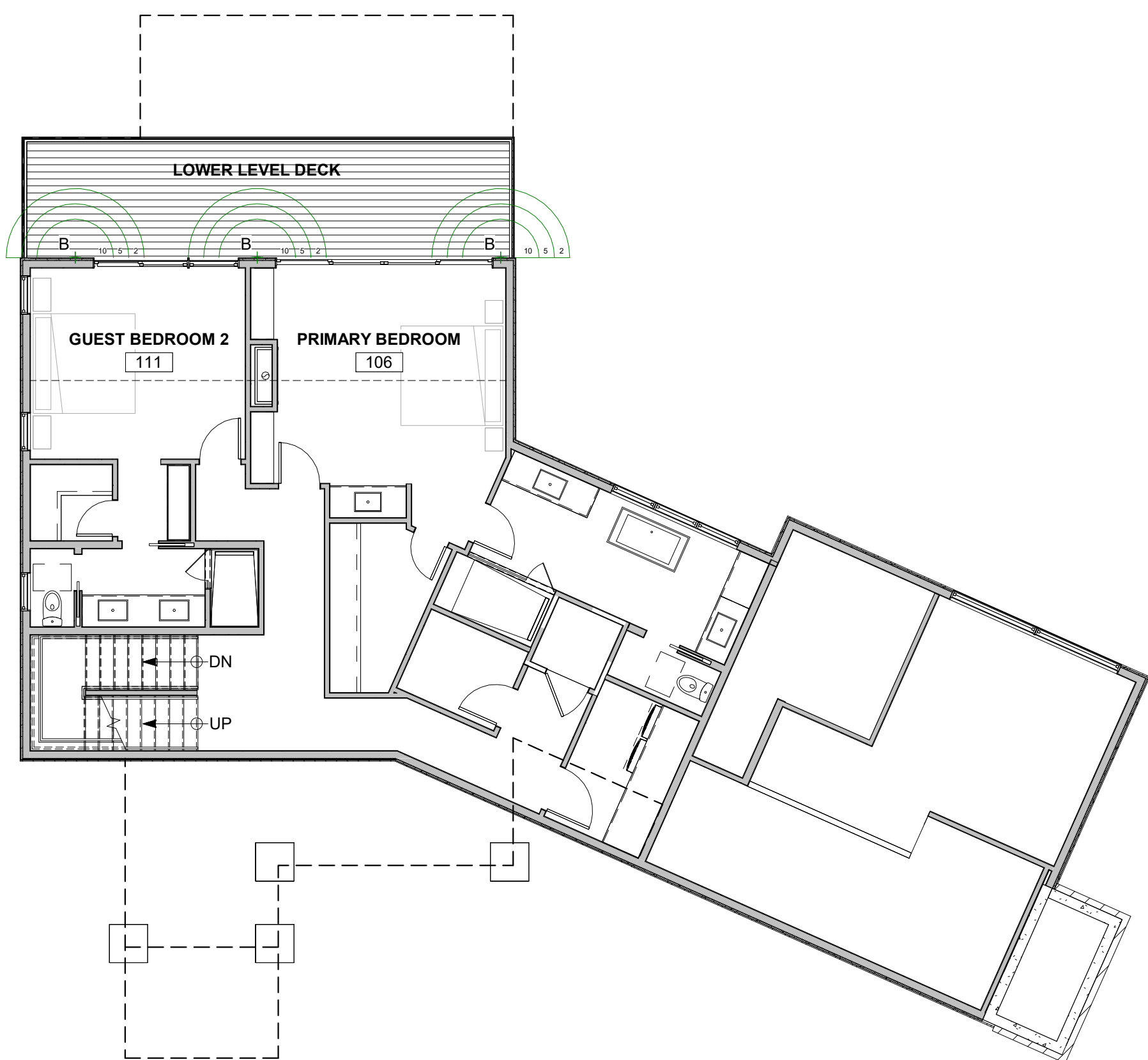
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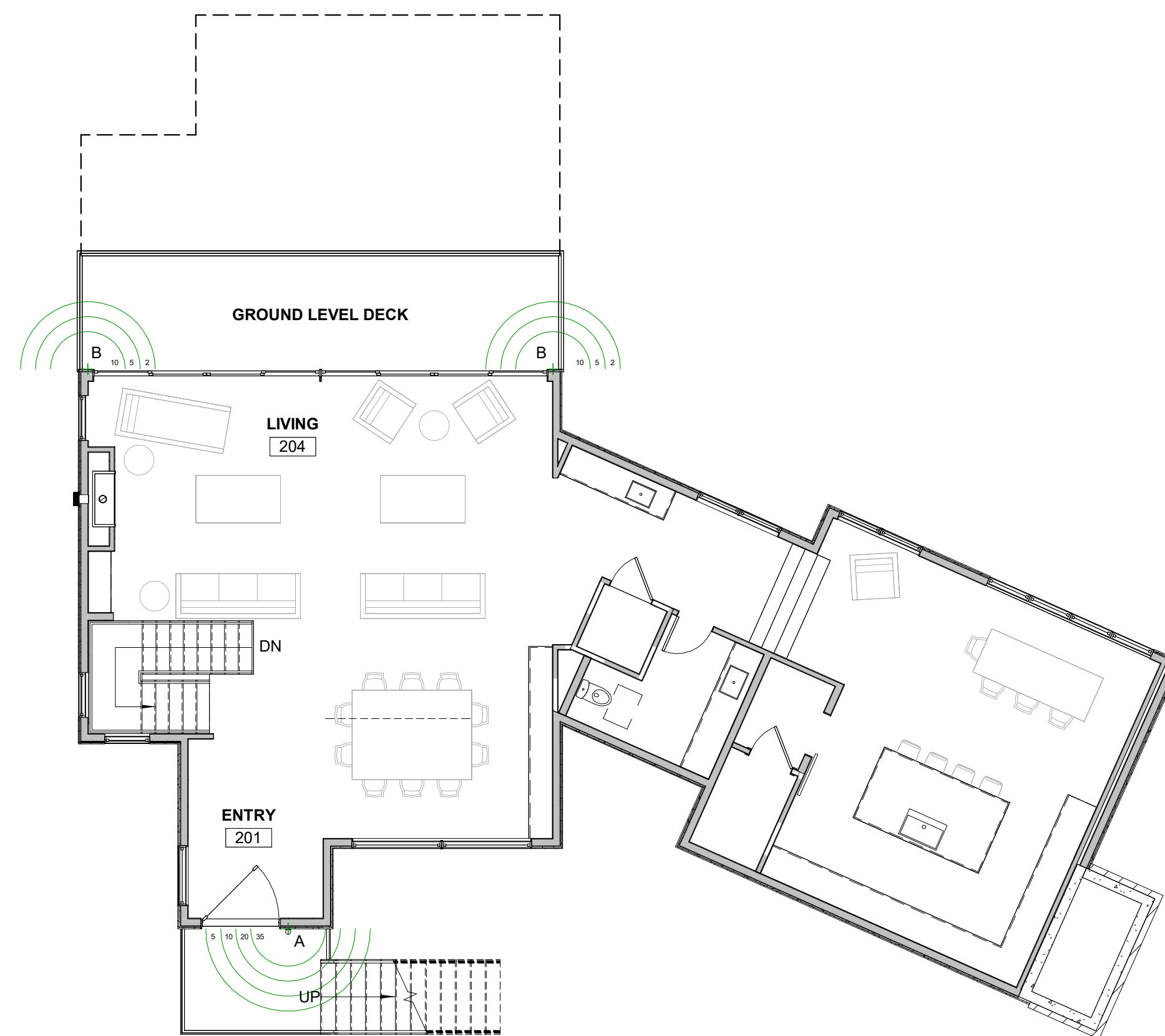
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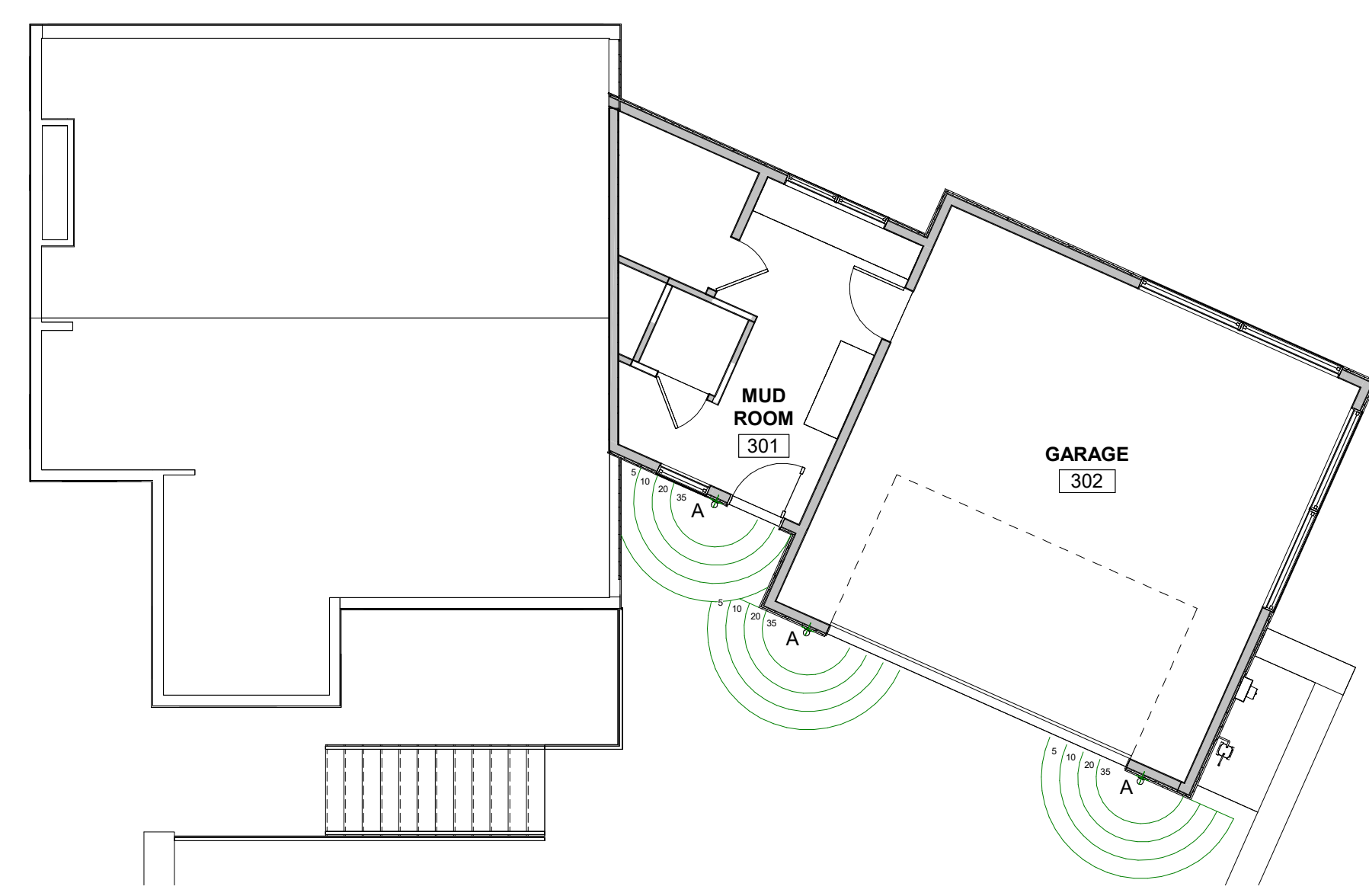
1 WALKOUT LEVEL
1/8" = 1'-0"



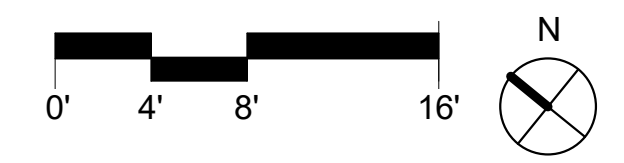
2 LOWER LEVEL
1/8" = 1'-0"



3 GROUND LEVEL
1/8" = 1'-0"



4 MUD LEVEL
1/8" = 1'-0"



EXTERIOR FIXTURE A:



EXTERIOR LED WALL LIGHT (4 TOTAL)

SLANT LED INDOOR & OUTDOOR WALL LIGHT	
FINISH:	BLACK
MANUFACTURER:	dweLED BY WAC LIGHTING
ITEM:	WS-W14911-BK
MATERIAL:	ALUMINUM
GLASS:	ETCHED OPAL GLASS LENS
WIDTH:	5"
HEIGHT:	10 5/8"
DEPTH:	3 1/4"
LUMENS (TOTAL):	440
WATTS (TOTAL):	7.0
CRI:	90
COLOR TEMP:	3000K (SOFT WHITE)
LAMP TYPE:	LED BUILT-IN
RATED LIFE:	50,000 HOURS
DIMMABLE:	ELV DIMMING: 10% - 100%
VOLTAGE:	120V
DARK SKY COMPLIANT:	YES
CERTIFICATION:	ETL LISTED WET LOCATIONS

EXTERIOR FIXTURE B:



EXTERIOR WALL LIGHT (7 TOTAL)

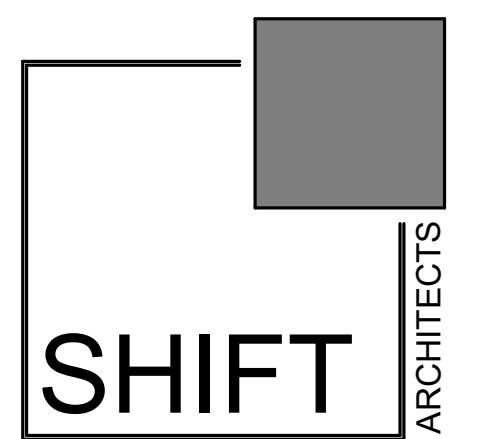
WL-LED 100	
FINISH:	BLACK
MANUFACTURER:	WAC LIGHTING
ITEM:	WL-LED100-C-BK
MATERIAL:	DIE-CAST ALUMINUM
GLASS:	3000K
WIDTH:	5"
HEIGHT:	3"
LUMENS:	68
EFFICACY (lm/W):	8
CRI:	90
RATED LIFE:	50,000 HOURS
WATTAGE:	3.9W
DIMMABLE:	WITH ELECTRONIC LOW VOLTAGE (ELV) DIMMER
CERTIFICATION:	IP66, UL & cUL LISTED FOR WET LOCATIONS
LIGHT SOURCE:	PRIMARY BULB: X 3.90 WATTS INTEGRATED LED MODULE
VOLTAGE:	120V, DIRECT WIRING

LIGHTING LEGEND

○ C1	RECESSED CAN	MS	MOTION SENSOR
○ C2	RECESSED CAN; DIRECTIONAL	○ P	PENDANT
○ C3	RECESSED CAN; WET LOCATIONS	- - - UC	UNDER CABINET LED STRIP
○ C4	RECESSED CAN; LOW PROFILE	- - - R	RECESSED LED LIGHT
○ EX	RECESSED CAN; EXTERIOR	⊕ USB	OUTLET W/ USB
⊗	CEILING FAN	⊕ TL	TABLE LAMP RECEPTACLE
⊗	2' LINEAR CLOSET FIXTURE	⊕ FL	FLOOR LAMP RECEPTACLE
⊗	CEILING FAN W/ LIGHT	⊕ S	WALL MOUNTED SCONCE
⊗ FN	EXHAUST FAN	■ ST	STEP LIGHT
⊗ FN	EXHAUST FAN WITH LIGHT	⊕ 2	TWO WAY SWITCH
⊕ F	CEILING MOUNT FLUORESCENT LIGHT	⊕ 3	THREE WAY SWITCH
⊕	SURFACE MOUNT FIXTURE	⊕ TV	TV OUTLET
⊕ CH	CHANDELIER	- - - WG	WALL GRAZING
⊕	MONO POINT FIXTURE	⊕ X	EXTERIOR SCONCE
⊕	DOUBLE HEADED MONO POINT	- - -	FIXTURE LAYOUT GRID

LIGHTING NOTES:

- FIELD VERIFY ALL LIGHTING LOCATIONS.
- TYPICAL LIGHTING LOCATION AT STAIRS: (1 EA) PER LANDING (3 EA) PER RUN
- CONTRACTOR SHALL TAKE CARE IN PLANNING ROUGH FRAMING LAYOUT AS IT RELATES TO THE NEED TO CENTER FIXTURES IN HALLWAYS, RECESSES AND OTHER AREAS WHERE RELATIONSHIPS DON'T OFFER ANY LATITUDE OR FIELD ADJUSTMENTS.
- ALL RECESSED FIXTURES AT INSULATED CEILINGS TO BE IC RATED AND CERTIFIED AIR TIGHT CONSTRUCTION. ALL EXTERIOR FIXTURES, SHOWER FIXTURES AND FIXTURES OVER TUBS TO BE MARKED "SUITABLE FOR DAMP LOCATIONS".
- LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS
- PROVIDE FULL CUT OFF FIXTURES WITH LED 10W 2500K-2700K BULBS PER CDC REQUIREMENTS.
- MOUNT FIXTURES AT 7'-0" AFF MAX PER CDC REQUIREMENTS.
- EXTERIOR LIGHTING ON SECOND AND UPPER FLOORS SHALL REQUIRE EITHER A TIMER OR SENSOR TO REDUCE USAGE AND ENERGY LOSS DURING TIMES OF INACTIVITY.



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03.10.23 DRB FINAL REVIEW

REVISIONS
NO. DATE DESC.

CORTINA LAND CONDOMINIUMS UNIT 4

140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 4, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST
COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION
REC NOV 30 2004 AT REC NUM 370697

EXTERIOR LIGHTING PLAN

SHEET NUMBER

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BOTANICAL NAME	COMMON NAME	SIZE	QTY
POPULUS TREMULOIDES	QUAKING ASPEN	3" CAL. DBH	N/A
PICEA PUNGENS	COLORADO BLUE SPRUCE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	10
PINUS ARISTATA	BRISTLEcone PINE		N/A
SHRUBS	5 GAL.		N/A
PERENNIALS - BED A			N/A
PERENNIALS - BED B			N/A

LEGEND

	CONCRETE PAVERS		INDIGENOUS SHRUBS
	WILDFIRE MITIGATION BOUNDARY		EXISTING ASPEN TREE
	LIMIT OF DISTURBANCE		EXISTING ASPEN TREE TO BE REMOVED
	PERIMETER FENCING W/ ATTACHED GREEN SCREENING		NEW ASPEN TREE
	TREE PROTECTION FENCING		EXISTING EVERGREEN TREE
	REVEGETATED AREA W/ IRRIGATION		EXISTING EVERGREEN TREE TO BE REMOVED
	REVEGETATE W/ NATIVE GRASS		NEW EVERGREEN TREE
	DISTURBED AREAS		
	MULCH LANDSCAPE BEDDING		
	PERENNIAL BEDDING: DRIP EMITTERS		
	FLAGSTONE		
	STONE PAVER		
	SNOW MELT AREAS		

NOTE:
ALL EXISTING TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION.

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REVISIONS
NO. DATE DESC.

CORTINA LAND CONDOMINIUMS UNIT 4

140 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 4 CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

LANDSCAPE PLAN

SHEET NUMBER

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GENERAL NOTES:

Plans must exclude all the trees from one of these groupings to be in compliance with CDC.

Also, plans must state that all Zone 2 trees (all trees outside of Zone 1) must have a minimum spacing of 10 feet between crowns. All shrubs taller than 10 feet must have a minimum spacing of 10 feet between crowns.

TREES TO BE LOCATED BY PROJECT ARCHITECT / OWNER. TREES SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC MIX AT A 2:1 RATIO. TREES SHALL BE STAKED WITH 4" METAL POSTS. TREES SHALL BE STAKED WITH GALVANIZED WIRE AND POLYPROPYLENE TREE RACE.

PLANT BEDS SHALL BE TILLED 6" DEPTH AND AMENDED WITH 2" TOPSOIL / ORGANIC MIX AT A 2:1 RATIO. FERTILIZER AT A 2:1 RATIO. FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PLANT BEDS FOR ALL DECIDUOUS AND EVERGREEN TREES. PLANT BEDS WITH A PINE BARK SOIL CONDITIONER BY 10% AND SHREDDED CEDAR BARK. TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK. TREE REMOVAL SHALL BE IN ACCORDANCE WITH CDC 17.5.9 AND CDC 17.6.1 ENVIRONMENTAL REGULATIONS.

PLANTS INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS LISTED IN THE WEED CDC TABLE 5-5 OR SUBSEQUENTLY IDENTIFIED AS NOXIOUS WEED BY THE STATE OF COLORADO, OR THE TOWN OF MOUNTAIN VILLAGE. SEE NOTES:

PLANT BEDS TO BE TILLED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER CAPACITY. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT TO BE APPLIED AT THE SAME TIME. FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PLANT BEDS SEASONALLY ALONG WITH MULCH. MULCH AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT. MULCH TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND REPLACED EACH SPRING.

CONSTRUCTION NOTES:

- ALL AREAS TO BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
- TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REEMITTED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
- BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
- AREAS WHICH HAVE BEEN COMPACTED OR ARE RELATIVELY UNDISTURBED NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
- BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDING AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN PLACE.
- ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
- ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
- SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREeping RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%

1 LANDSCAPE PLAN
1/8" = 1'-0"

PLANT SCHEDULE			
BOTANICAL NAME	COMMON NAME	SIZE	QTY
POPULUS TREMULOIDES	QUAKING ASPEN	3" CAL. DBH	N/A
PICEA PUNGENS	COLORADO BLUE SPRUCE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	10
PINUS ARISTATA	BRISTLEcone PINE		N/A
SHRUBS	5 GAL.		N/A
PERENNIALS - BED A			N/A
PERENNIALS - BED B			N/A

LEGEND			
	CONCRETE PAVERS		INDIGENOUS SHRUBS
	WILDFIRE MITIGATION BOUNDARY		EXISTING ASPEN TREE
	LIMIT OF DISTURBANCE		EXISTING ASPEN TREE TO BE REMOVED
	PERIMETER FENCING W/ ATTACHED GREEN SCREENING		NEW ASPEN TREE
	TREE PROTECTION FENCING		EXISTING EVERGREEN TREE
	REVEGETATED AREA W/ IRRIGATION		EXISTING EVERGREEN TREE TO BE REMOVED
	REVEGETATE W/ NATIVE GRASS		NEW EVERGREEN TREE
	DISTURBED AREAS		
	MULCH LANDSCAPE BEDDING		
	PERENNIAL BEDDING: DRIP EMITTERS		
	FLAGSTONE		
	STONE PAVER		
	SNOW MELT AREAS		

NOTE:
ALL EXISTING TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION.



Plans must exclude all the trees from one of these groupings to be in compliance with CDC.

Also, plan must state that all Zone 2 trees (all trees outside of Zone 1) must have a minimum spacing of 10 feet between crowns. All shrubs taller than 10 feet must have a minimum spacing of 10 feet between crowns.

IRRIGATION NOTES	
1. PROVIDE IRRIGATION SYSTEM IN ACCORDANCE WITH CDC REQUIREMENTS (17.5.9 LANDSCAPING REGULATIONS, TABLE 5-3 IRRIGATION SYSTEM DESIGN) AND THE TOWN OF MOUNTAIN VILLAGE WATER AND SEWER REGULATIONS.	EQUIPMENT SHALL INCLUDE AN AUTOMATIC IRRIGATION PROGRAM FLEXIBILITY SUCH AS REPEAT CYCLES AND CAPABILITIES. AUTOMATIC IRRIGATION CONTROLLERS BACKUP TO RETAIN THE IRRIGATION PROGRAMS.
	SHALL BE DRIP IRRIGATION.
	ALL BE SPRAY HEADS. USE SOAKER HOSE, LOW VOLUME SPRAY HEADS EQUIPPED WITH ADJUSTABLE NOZZLES TO LIMIT IRRIGATION WITHIN A SPECIFIC ZONE.
	USE SPRAY HEADS.
	REVEGETATED WITH NATIVE GRASS SEED MIX MAY BE USED IF GRASS IS ESTABLISHED, BUT NO MORE THAN ONE (1) FULL INCH ANY SUCH EXTRA IRRIGATION INSTALLED ON A ZONE WILL BE PERMANENTLY SHUT OFF AFTER SUCCESSFUL ESTABLISHMENT.

IRRIGATION LEGEND	
	RAINBIRD PVB-075 BACKFLOW PREVENTER
	RAINBIRD RCM-12 ELECTROMECHANICAL CONTROLLER
	5" WILKINS MODEL 500 PRESSURE REGULATOR
	RAINBIRD 150-PEB 1.5" ELECTRIC REMOTE CONTROL VALVE
	CLASS 200 PVC MAINLINE 1 1/2"
	30 NSF POLYLATERAL LINE
	WATER SENSOR BY RAINBIRD

IRRIGATION SCHEDULE			
ZONE	LOCATION	HEAD	GPM
1	ASPEN TREES	DRIP EMITTERS	-
1	EVERGREEN TREES	DRIP EMITTERS	-
2	SHRUBS	DRIP EMITTERS	-
3	PERENNIALS SOUTH	1806 POP UPS	-
4	REVEGETATION AREAS	ROTORS	24

WATER USAGE CHART			
TYPE	MONTHLY USE	TOTAL #	TOTAL MONTHLY USAGE
REVEGETATION	2 GAL / S.F.	N/A	N/A (FIRST SEASON)
PERENNIALS	2.5 GAL / S.F.	N/A	N/A
ASPENS	10 GAL / EA	N/A	N/A
SPRUCE	10 GAL / EA	10	100
BRISTLEcone PINE	10 GAL / EA	N/A	N/A
NATIVE SHRUBS	2 GAL / EA	N/A	N/A
COMPLETE MONTHLY USAGE (FOR ESTABLISHMENT)			X GAL
POST ESTABLISHMENT			X GAL

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REVISIONS

NO.	DATE	DESC.

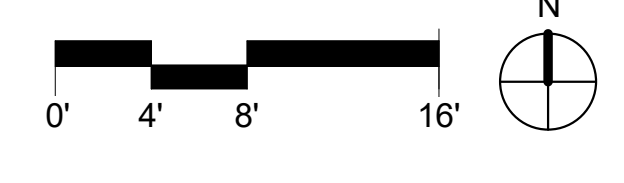
CORTINA LAND CONDOMINIUMS UNIT 4

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UNIT 4 CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

IRRIGATION PLAN

SHEET NUMBER

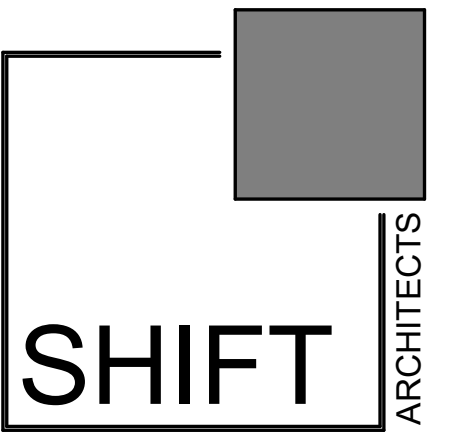
1 IRRIGATION PLAN
1/8" = 1'-0"



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Based on State of Colorado home hardening recommendations (found in the Colorado State Forest Service Firewise Construction: publication, it is strongly recommended that the windows be constructed of double paned tempered glass, the decks be constructed of non flammable material, and the soffit and fascia be constructed of non-flammable materials.

CORTINA LAND CONDOMINIUMS UNIT 4

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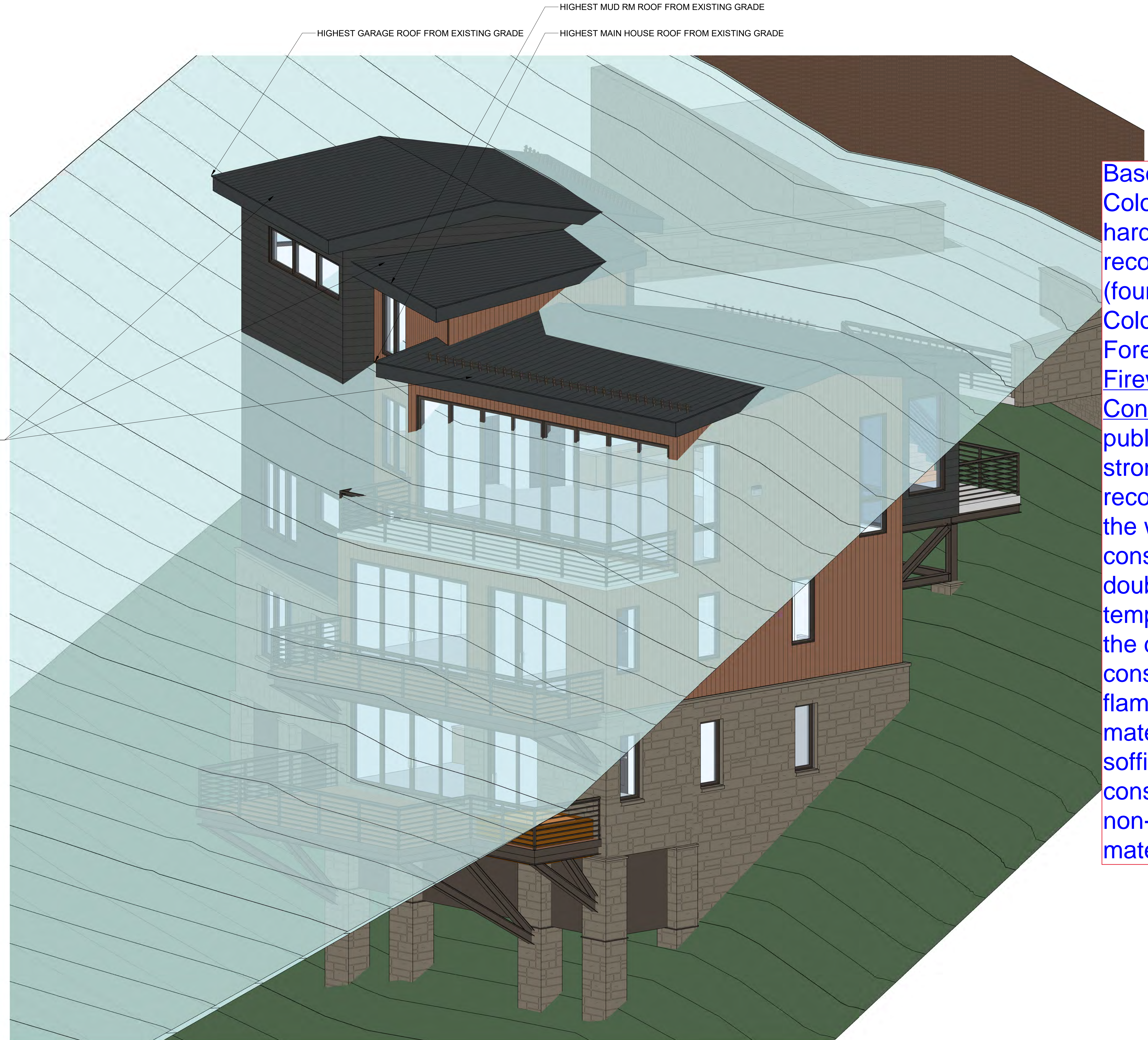
SITE 40' PARALLEL
 OFFSET

SHEET NUMBER

A2.1

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1 EXISTING GRADE 40' PARALLEL OFFSET

1/10/2023 11:39:34 AM



DEVELOPMENT REFERRAL FORM

Planning & Development Services
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

Referral Agency
Comments Lot 165, Unit 4,
140 Cortina Drive:

Hi Claire,

I do not see a construction mitigation plan. This is a tough site the staging plan is critical. I'm not sure we need this for design review, however the applicant will need to provide engineering on how the driveway attaches to the existing Hilfiker retaining wall.

Finn

TFPD approval with the following conditions:

- 1) A monitored automatic sprinkler system in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes shall be installed.
- 2) A monitored fire alarm system in accordance with NFPA 72, 2018 IFC, and TFPD amended codes for a group R-3 occupancy shall be installed.
- 3) Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
- 4) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6 inch numbers/letters with a reflective coating or outlined with a reflective coating.
- 5) TFPD recommends the installation of a Knoxbox for emergency access.

Scott Heidergott



**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

Agenda Item #

TO: Mountain Village Design Review Board
FROM: Claire Perez, Planner I
FOR: March 30, 2023
DATE: March 20, 2023
RE: Staff Memo – Final Architecture Review (FAR) Lot 211, 151 Benchmark Drive.

APPLICATION OVERVIEW: Final Architecture Review (FAR): Lot 211

PROJECT GEOGRAPHY

Legal Description: LOT 211 TELLURIDE MOUNTAIN VILLAGE FILING 6 PHASE 2 ACC TO PLAT REC MAR 24 1987 AT BK 1 PG 708 CONT .777 AC

Address: 151 Benchmark Drive

Applicant/Agent: ETL Architects

Owner: Allan & Emily Brooks

Zoning: Single-Family

Existing Use: Single-Family

Lot Size: .777 Acres

Proposed Use: Single-Family detached ADU.

Adjacent Land Uses:

- **North:** Active Open Space
- **South:** Single-Family
- **East:** Active Open Space
- **West:** Single-Family

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/ Public Comment



Case Summary:

Edwin Lindell of ETL Architects is requesting Design Review Board (DRB) approval of Final Architectural Review (FAR) application for a new accessory dwelling unit (ADU) adjacent to an existing single-family home located on lot 211, 151 Benchmark Drive.

The proposed structure is two stories and utilizes a flat roof form. The majority of the property is steep, with slopes over 30% to the north, south and east sides of the existing home. The lot is approximately 0.777 Acres. The lot is zoned for Single-Family and hosts an existing 4,370 SF single-family residence. The proposed ADU provides 2 parking spots in a below grade garage. The plan set indicates that the existing home also has two interior and two exterior parking spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. **Please note that Staff comments will be indicated by *italicized Text*.**

CDC Provision	Requirement	Proposed
Maximum Building Height	35'	22'-1"
Avg. Building Height	30'	15'-1"
Maximum Lot Coverage	40% (13,538 SF)	22.4% (7,571 SF)
General Easement Setbacks	No Encroachment	No Encroachment
Roof Pitch		
Primary	n/a	flat
Exterior Material		
Stone Veneer	35%	56%
Other	n/a	29%
Windows/ Door Glazing	40% maximum	15%
Parking	Existing home 2interior/2exterior*	2 interior/ 2 exterior
	ADU – TBD per DRB	2 interior

Design Variation

- 1) Flat roof form.

DRB Specific Approval:

- 1) Board Form Concrete retaining wall

Please note, this memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated January 11, 2023.

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.3 Use Schedule

Staff: The applicant has proposed an accessory dwelling unit to be developed on the site along with the main house. This is a permitted use in the Single-Family zone district according to Table 3-1 Town of Mountain Village Land Use Schedule.

17.3.13 Maximum Lot Coverage

Staff: The application meets lot coverage requirements.

17.3.11 and 17.3.12: Building Height and Building Height Limits

Staff: The application meets all height requirements.

17.3.14: General Easement Setbacks

Staff: The proposal does not include any new encroachments.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

Staff: The application meets all Town Design Theme Requirements.

17.5.5: Building Siting Design

Staff: Criteria met.

17.5.6: Building Design

Staff: The application meets all Building Design Requirements. The applicant has revised the material board and elevations so that they align with each other. The applicant specified that all exterior windows and door will be a thermally broken aluminum clad wood with black anodized non-reflective finish. This meets building design requirements.

17.5.7: Grading and Drainage Design

Staff: Criteria met.

17.5.8: Parking Regulations

Staff: The CDC requires all single-family developments to provide two interior and two exterior parking spaces. The DRB also has the ability to require additional parking for an ADU. The cover page indicates that the existing home provides two interior and two exterior spaces. The ADU proposes to add two additional interior space. The applicant has demonstrated the location of the two exterior spaces and sufficient back out area.

17.5.9: Landscape Regulations

Staff: The applicant has provided a revised landscaping plan showing general compliance with the CDC. The applicant shall continue to work with the Town Forester to show compliance with the Fire Mitigation and Forestry Management section of the CDC.

17.5.11 Utilities

Staff: Criteria met.

17.5.12: Lighting Regulations

Staff: The applicant has provided a final lighting plan as required which appears to be meeting the requirements of the CDC.

17.5.13: Sign Regulations

Staff: As noted at the Initial Architecture and Site Review, the Fire Marshal has requested that the existing monument be brought into compliance by relocating within 20' of the road edge.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1 Environmental Regulations

Staff: Fire Mitigation and Forestry Management: As noted in the Landscape regulations, the applicant is generally meeting requirements. The applicant shall work with the Town Forester as

needed to ensure compliance with the Fire Mitigation Regulations, especially as it relates to existing trees on the site.

17.6.6 Roads and Driveway Standards

Staff: Criteria met. Per Staff's comments, the applicant has verified sufficient back out space from the garage with dimensions.

17.6.8 Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed ADU includes a gas fireplace. This is allowable per the CDC.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The applicant has revised the CMP per Staff's comments at Initial. A bear-proof dumpster is shown on auto court, and the Construction trailer was relocated to the auto court. Silt Fencing is shown within the northern portion of the yard.

Staff Recommendation: Staff Recommends the DRB approve the Final Architecture Review for Lot 211, 151 Benchmark Drive, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion:

If DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion:

I move to approve the Final Architectural Review for a new Accessory Dwelling Unit located at Lot 211, 151 Benchmark Drive, based on the evidence provided within the Staff Report of record dated March 20, 2023, with the following design variations and specific approvals:

Design Review Board Variation:

- 1) Roof form*

DRB specific Approvals:

- 1) Board form concrete*

And, with the following conditions:

- 1) Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
- 2) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*
- 3) Prior to issuance of a building permit, the applicant shall obtain approval from the Town Forester or other staff member for any proposed tree removal. Trees shall not be removed until the building permit has been issued.*

- 4) *All areas disturbed by construction must be revegetated to natural state per Mountain Village approved seed mix.*
- 5) *The structure shall require a monitored fire alarm system.*
- 6) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
 - a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
 - b. *Wood that is stained in the approved color(s);*
 - c. *Any approved metal exterior material;*
 - d. *Roofing material(s); and*
 - e. *Any other approved exterior materials*
- 7) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*

ABBREVIATIONS

AAD	ATTIC ACCESS DOOR
ADD	ADDENDUM
ADJ	ADJACENT
AOR	AREA OF REFUGE
AGG	AGGREGATE
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
ARCH	ARCHITECTURAL
ASSY	ASSEMBLY
BM	BEAM
BRG	BEARING
BET	BETWEEN
BD	BOARD
BS	BOTH SIDES
BO	BOTTOM OF
BLDG	BUILDING
CAB	CABINET
CL	CENTERLINE
CER	CERAMIC
CLR	CLEAR
CLOS	CLOSET
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CJ	CONSTRUCTION JOINT
CONT	CONTINUOUS
DP	DAMP-PROOFING
DET	DETAIL
DIA	DIAMETER
DIS	DISHWASHER
DW	DISHWASHER
DN	DOWN
DR	DRAIN
DS	DOWNSPOUT
DRWG	DRAWING
EACH	EACH
EL	ELEVATION
EQ	EQUAL
EXIST	EXISTING
EJ	EXPANSION JOINT
EXT	EXTERIOR
FE CAB	FIRE EXTINGUISHER CABINET
FOC	FACE OF CONCRETE
FOS	FACE OF STUD
FIN	FINISH
FP	FIREPROOF
FL	FLOOR
FD	FLOOR DRAIN
FT	FLOOR TYPE
FTG	FOOTING
FDN	FOUNDATION
FSD	FIRE SMOKE & DRAFT CONTROL
GA	GAUGE
GALV	GALVANIZED
GS	GALVANIZED STEEL
GC	GENERAL CONTRACTOR
GL	GLASS
GR	GRADE
GLB	GLU-LAMINATED WOOD BEAM
GYP	GYPSPUM
GWB	GYPSPUM WALLBOARD
HDW	HARDWARE
HD	HEAD
HR	HEADER
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
HT	HEIGHT
HW	HARDWOOD
HWY	HIGHWAY
HOR	HORIZONTAL
ICP	INTEGRATED COLOR PLASTER
ID	INSIDE DIAMETER
INT	INTERIOR
JT	JOINT
LAM	LAMINATE(D)
LAV	LAVATORY
MFG	MANUFACTURER
MO	MASONRY OPENING
MTL	MATERIAL
MAX	MAXIMUM
MC	MEDICINE CABINET
MECH	MECHANICAL
MIN	MINIMUM
MS	MILD STEEL
MISC	MISCELLANEOUS
NIC	NOT IN CONTRACT
NA	NOT APPLICABLE
NTS	NOT TO SCALE
NO.	NUMBER OF (QUANTITY)
OC	ON CENTER
OPG	OPENING
OPP	OPPOSITE
OPH	OPPOSITE HAND
OD	OUTSIDE DIAMETER
OFD	OVERFLOW DRAIN
PD	PERIMETER DETAIL
PERF	PERFORATED
PFSM	PREFINISHED SHEET METAL
PL	PLATE
PLWD	PLYWOOD
PROD	PRODUCT
PROJ	PROJECT
PROP	PROPERTY
R	RADIUS OR RISER
REF	REFER
REFR	REFRIGERATOR
REINF	REINFORCE(D)
REQD	REQUIRED
RHSM	ROUND HEAD SHEET METAL SCREW
RM	ROOM
RW	ROOF WINDOW
RWD	RAIN WATER DRAIN
RWP	RAIN WATER PIPE
RO	ROUGH OPENING
SAN	SANITARY
SR	SOUND REDUCING
SECT	SECTION
SEW	SEWER
SHS	SQUARE HOLLOW STEEL
SHT	SHEET
SHT	SHELVES
SILV	SIMILAR
SM	SIMILAR
SL	SLIDING
SM	SHEET METAL
STC	SOUND TRANSMISSION CLASS
SPEC	SPECIFICATION
SQ	SQUARE
STD	STANDARD
STL	STEEL
STRUCT	STRUCTURE(AL)
SUB	SUBSTITUTE
SUPPL	SUPPLEMENT(AL)
SUSP	SUSPEND(ED)
SW	SOFTWARE
TEL	TELEPHONE
TV	TELEVISION
TEMP	TEMPERED
IE	THAT IS
THK	THICK
TPH	TOILET PAPER HOLDER
T&G	TONGUE AND GROOVE
T&B	TOP AND BOTTOM
TOP	TOP OF
T.O.T.	TOWN OF TELLURIDE
TOSL	TOP OF SLAB
TREAD	TREAD
TS	TUBE STEEL
TYP	TYPICAL
UC	UNDERCOUNTER
UG	UNDERGROUND
U.N.O.	UNLESS NOTED OTHERWISE
UNFIN	UNFINISHED
UBC	UNIFORM BUILDING CODE
USG	UNITED STATES GAGE
VAR	VARIABLE
VENT	VENTILATE
VIF	VERIFY IN FIELD
VERT	VERTICAL
VAT	VINYL ASBESTOS TILE
V	VOLTAGE
WC	WATER CLOSET
WP	WATERPROOF
WHT	WEIGHT
WLT	WALL TYPE
WIN	WINDOW
WI	WITH
W/O	WITHOUT
WD	WOOD
WNT	WINDOW TYPE

MATERIAL LEGEND

CONCRETE	
CONCRETE MASONRY	
EXISTING STONE	
STONE VENEER	
FRAME WALL	
TILE	
STEEL	
ALUMINUM OR SHEET METAL	
BATT INSULATION	
GYP. WALL BOARD	
PLYWOOD	
SOIL/COMPACTED FILL	
ROCK/NON-COMPACTED FILL	
SAND	
FINISHED WOOD	
ROUGH FRAMING OR ROUGH SAWN TRIM	
WOOD BLOCKING	
GLU-LAM WOOD	
PARTICLE BD. OR WOOD FIBER BD.	
RIGID INSULATION	
CARPET	

SYMBOL LEGEND

BUILDING SECTION CUT	
SECTION NO.	
SHEET NO.	
DETAIL CUT	
DETAIL NO.	
SHEET NO.	
DETAIL CALLOUT	
DETAIL NO.	
SHEET NO.	
EXTERIOR/INTERIOR ELEVATION	
ELEVATION NO.	
SHEET NO.	
ROOM NUMBER	
DOOR MARK	
WINDOW MARK	
REFERENCE GRID LINE	
SPOT ELEVATION	
DRAWING REVISION	

GENERAL NOTES

A. THE AIA DOCUMENT 201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION," LATEST EDITION, ARE HEREBY MADE A PART OF THESE CONTRACT DOCUMENTS. COPIES ARE ON FILE AND ARE AVAILABLE FOR INSPECTION AT THE OFFICES OF THE ARCHITECT.

B. THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, THE GENERAL NOTES, THE SPECIFICATION, AND THE DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCY BETWEEN THE DIFFERENT PARTS SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.

C. ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ORDINANCES, AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE APPROPRIATE TRADES.

D. THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.

E. ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR CALLED OUT BY TRADE NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT, AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

F. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH E, ABOVE.

G. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE I.R.C. OR ANY LOCAL CODE OR ORDINANCE.

H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION. FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.

I. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTED WITH "N.T.S." DENOTES NOT TO SCALE.

J. CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.

K. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

L. CONTRACTOR WILL ASSUME RESPONSIBILITY FOR STONE MASONRY SUBCONTRACTOR'S TAKE-OFFS.

M. SEE SPECIFICATIONS FOR DOOR, WINDOW, AND FINISH SCHEDULES.

N. SEE SPECIFICATIONS FOR EXTERIOR FINISH MATERIALS AND COLORS.

O. ALL DIMENSIONS ON STRUCTURAL DRAWINGS TO BE CHECKED AGAINST ARCHITECTURAL DRAWINGS. NOTIFY ENGINEER AND ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.

LAND USE CODE INFO

LAND USE	SINGLE-FAMILY
ZONE DISTRICT:	N/A
TREATMENT AREA:	NONE
SUBDIVISION:	NONE
EXISTING USE:	SINGLE FAMILY RESIDENCE
PROPOSED USE:	SINGLE FAMILY RESIDENCE & GUEST HOUSE
FLOOD HAZARD AREA:	NOT IN A FLOOD HAZARD AREA
GEOLOGIC HAZARD AREA:	N/A
GROUNDWATER DEPTH ZONE:	TBD
WETLANDS AREA:	N/A
PLATE	.777 ACRES
LOT AREA:	5,460 SF
EXISTING SITE COVERAGE:	2 ENCLOSED - 2 EXT
EXISTING PARKING SPACES:	2 ENCLOSED - 2 EXT

PROPOSED ADDED SITE COVERAGE:	2,111 SF
PROPOSED ADDED ADU PARKING:	2 ENCLOSED

BUILDING CODE INFO

AUTHORITY HAVING JURISDICTION (AHJ):
TOWN OF MOUNTAIN VILLAGE

APPLICABLE BUILDING CODES (AS ADOPTED & AMENDED BY THE TOWN OF MOUNTAIN VILLAGE):
INTERNATIONAL RESIDENTIAL CODE (IRC), 2018
INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2018

LEGAL:
LOT 211 TELLURIDE MOUNTAIN VILLAGE FILING 6 PHASE 2 ACC TO PLAT REC MAR 24 1987 AT BK 1 PG 708 CONT .777 AC
COUNTY OF SAN MIGUEL, STATE OF COLORADO.

151 BENCHMARK DRIVE, TELLURIDE MOUNTAIN VILLAGE, FILING 2, ACCORDING TO THE PLAT RECORD JANUARY 11, 1991 IN PLAT BOOK 1 AT PAGE 1112

CODE: 2018 IRC

CONSTRUCTION TYPE: V-B FOR R-2 OCCUPANCIES

FIRE RESISTIVE RATING REQUIREMENTS FOR BUILDING ELEMENTS PER TABLE 601:

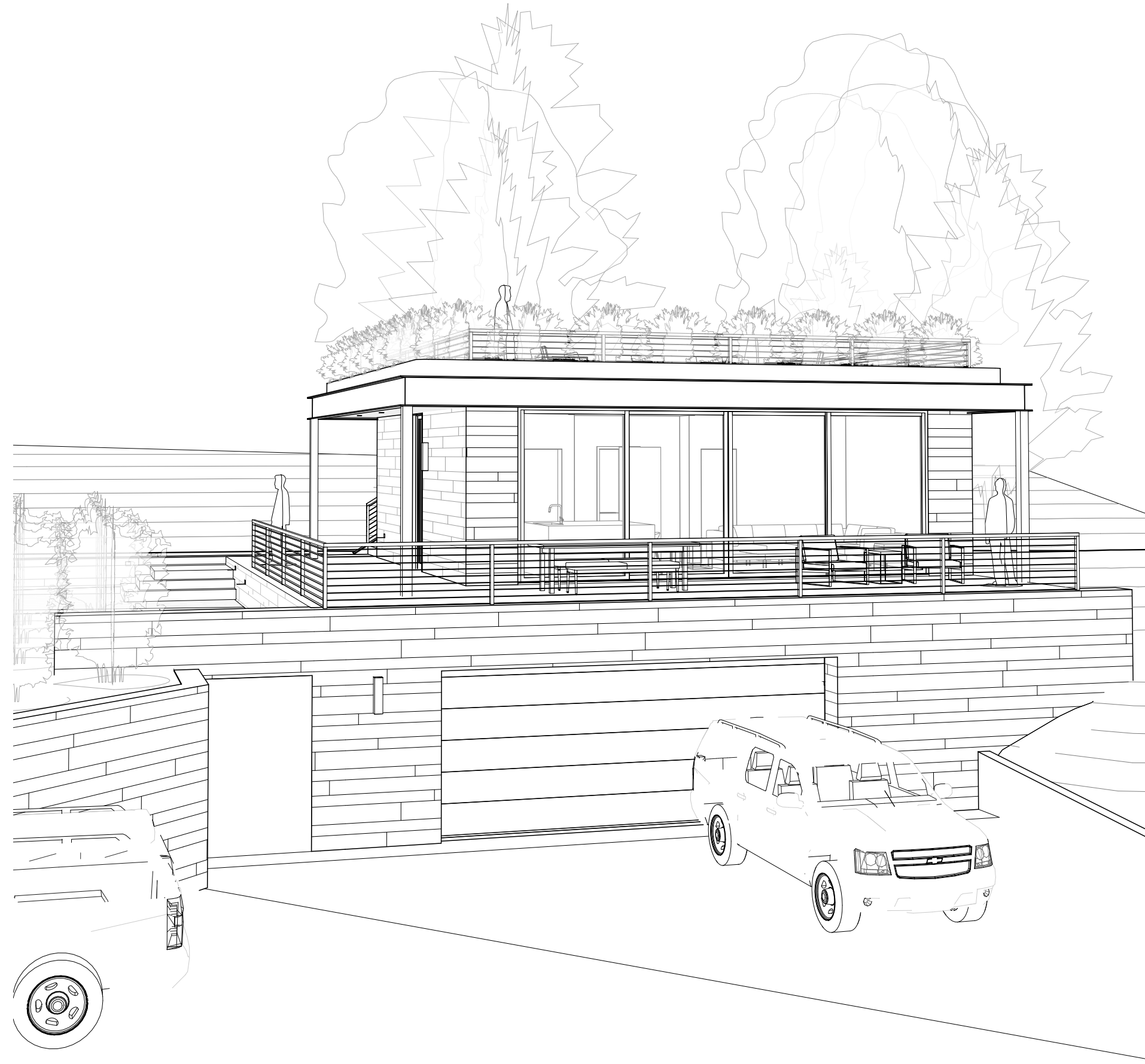
TYPE V-B	
STRUCTURAL FRAME:	0 HOUR
BEARING WALLS (INTERIOR AND EXTERIOR):	0 HOUR
NON BEARING WALLS EXTERIOR:	0 HOUR
NON BEARING WALLS INTERIOR:	NO REQUIREMENT
FLOOR CONSTRUCTION:	0 HOUR
ROOF CONSTRUCTION:	0 HOUR

MONITORED FIRE ALARM SYSTEM PER TFPD STANDARDS

BUILDING PERMIT NOTES

1. ANY DEVELOPMENT WITHIN THE TOWN OF MOUNTAIN VILLAGE MUST BE APPROVED BY THE TOWN OF MOUNTAIN VILLAGE PLANNING DEPT AND/OR DRB
2. ALL PLUMBING FIXTURES TO BE LOW FLOW.

PROJECT VIEW



APPLICATION INFO

SUMMARY OF UNITS:

SINGLE FAMILY UNIT: 1 ACCESSORY DWELLING UNIT

SUMMARY OF SQUARE FOOTAGE:

EXISTING SINGLE FAMILY UNIT: 4,370 GROSS SF
ACCESSORY DWELLING: 850 SF LIVING, 1500 SF DETACHED BELOW-GRADE GARAGE
% OF ACCESSORY TO SINGLE FAMILY: 19.5%

TOTAL: 5,220 SF

WOOD BURNING DEVICE PERMIT: NONE

ARCHITECTURAL REQUIREMENTS:

MAXIMUM HEIGHT LIMIT: REF: ELEVATIONS, LESS THAN 35' - **PROPOSED ADU MAX: 22' - 1"**
MAXIMUM AVERAGE HEIGHT: REF: ROOF PLAN, LESS THAN 30' - **PROPOSED ADU AVERAGE: 15' - 1"**
MAXIMUM SITE COVERAGE: 33,846 SF (LOT AREA) x 40% = 13,538 SF MAX - **PROPOSED: 7,571 SF**
MAXIMUM SQUARE FOOTAGE: 4,370 SF (EXISTING) x 20% = 874 SF MAX FOR ADU - **PROPOSED: 850 SF**

ARCHITECTURE FEATURES: 40' MAXIMUM HEIGHT OFFSET LIMIT

PERCENTAGE OF MATERIALS:
REF: MATERIAL ELEVATIONS
STONE: 56% (35% MINIMUM)
GLAZING: 15% (40% MAX)
OTHER: 29%

ACCESSORY DWELLING UNIT ATTACHMENT: FOR LOTS GREATER THAN 0.75 ACRES - ADU DOES NOT NEED TO ATTACH - LOT AREA = .777 ACRES

SHEET INDEX

A 001	COVER SHEET, INDEX
S S-1	SURVEY
C C-1	CIVIL NOTES
C C-2	GRADING AND DRAINAGE PLAN
C C-3	UTILITY PLAN
A 101	SITE & CSP PLAN
A 102	LANDSCAPE PLAN
A 110	GUEST HOUSE GARAGE LEVEL
A 111	GUEST HOUSE MAIN LEVEL
A 112	GUEST HOUSE ROOF LEVEL
A 210	GUEST HOUSE ELEVATIONS
A 220	GUEST HOUSE ELEVATIONS
A 230	MATERIAL ELEVATIONS
A 601	MATERIALS & SCHEDULES
A 602	EXTERIOR LIGHTING SPECS & DETAILS
A 901	EXISTING PHOTOS
A 902	EXISTING PHOTOS
A 910	3D VIEWS
A 920	RENDER
A 921	RENDER
A 922	RENDER
A 923	RENDER

PROJECT DIRECTORY

OWNER

ALLAN AND EMILY BROOKS
22 CHELTENHAM WAY
DALLAS TX 75201962

ARCHITECT

ETL ARCHITECTS INC
PO BOX 33
1756 GREEN MEADOWS LN
TELLURIDE CO 81430
970.394.4480

EDWIN@ETLARCHITECTS.COM

CIVIL ENGINEER

UNCOMPAGHRE ENGINEERING
PO BOX 3945
TELLURIDE, CO 81435
970.729.0683

DAVID BALLODE, DBALLODE@MSN.COM

SURVEYOR

FOLEY ASSOCIATES, INC.
PO BOX 1385
TELLURIDE, CO 81435
970.728.6153

JEFF HASKELL, PLS, JHASKELL@FOLEYASSOC.COM

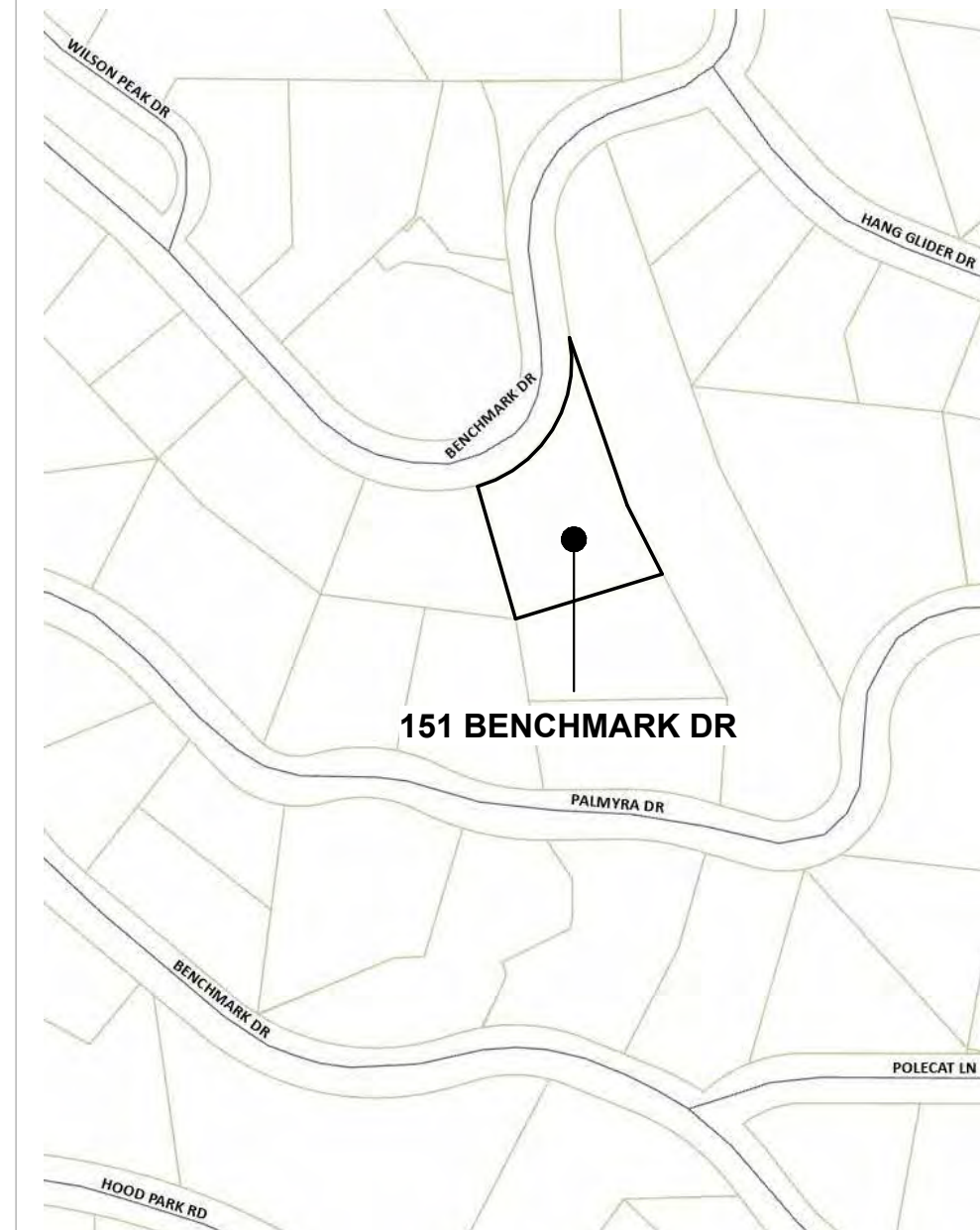
GENERAL CONTRACTOR

TBD

STRUCTURAL ENGINEER

TBD

VICINITY MAP



ETL Architects Inc
PO Box 33
Telluride CO 81430
970.394.4480
edwin@etlarchitects.com

BROOKS GUEST

151 BENCHMARK DRIVE

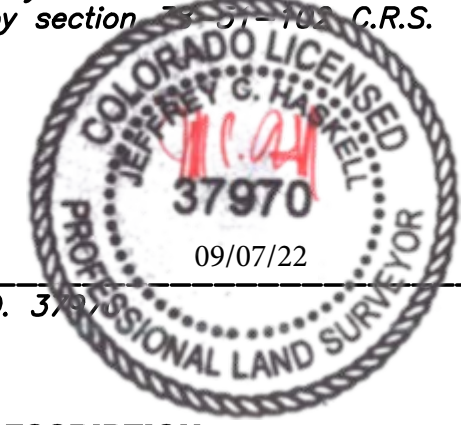
3	DRB FINAL	3.13.2023
2	DRB PRELIM REV	10.12.2022
1	DRB PRELIM	9.7.2022
NO.	REVISION	DATE

DATE:	3.13.23
DRAWN BY:	ETL
FILE:	151 BM
SCALE:	As indicated

COVER SHEET, INDEX

A 001

This Existing Conditions Plan of Lot 211, Town of Mountain Village, was prepared on February 18, 2022 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 17-102 C.R.S.



P.L.S. NO. 37970 Date

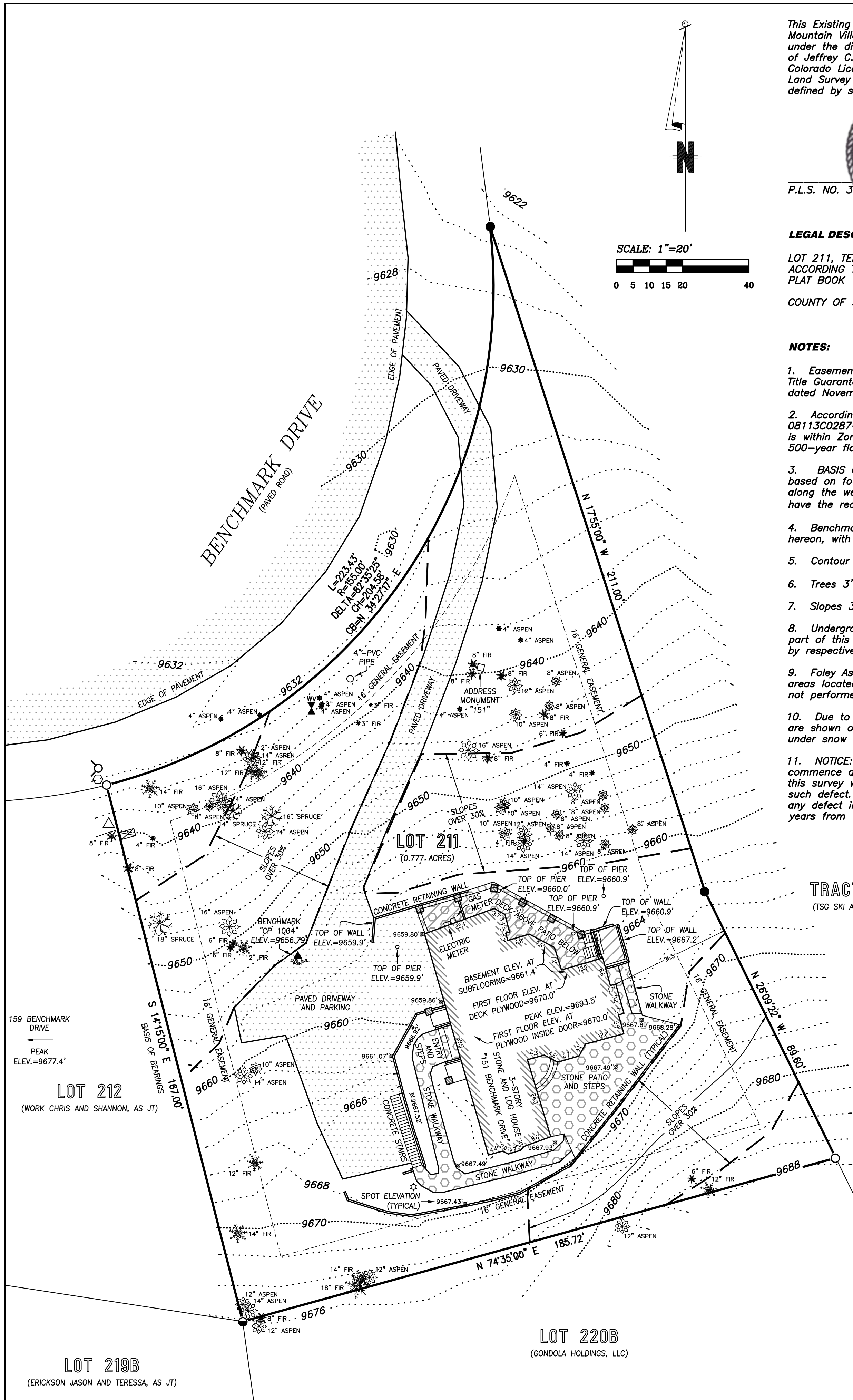
LEGAL DESCRIPTION:

LOT 211, TELLURIDE MOUNTAIN VILLAGE, FILING 6, ACCORDING TO THE PLAT RECORDED MARCH 24, 1987 IN PLAT BOOK 1 AT PAGE 708,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

- Easement research and legal description from Land Title Guarantee Company, Commitment No. TLR86009487, dated November 12, 2019 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Map 08113C0287-D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
- BASIS OF BEARINGS:** Bearings for this survey based on found monuments, as shown hereon, located along the western boundary of Lot 211, assumed to have the record bearing of S 14°15'00" E.
- Benchmark: Control Point "CP 1004", as shown hereon, with an elevation of 9656.79 feet.
- Contour interval is two feet.
- Trees 3" in diameter or greater are shown hereon.
- Slopes 30% or greater are shown hereon.
- Underground utility locates were not performed as part of this survey. Utility locates should be performed by respective providers before any construction.
- Foley Associates, Inc. is not aware of any wetlands areas located on this lot, but a wetland delineation was not performed as part of this survey.
- Due to winter conditions, only visible improvements are shown on this survey. Any improvements buried under snow cover will not be shown.
- NOTICE:** According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

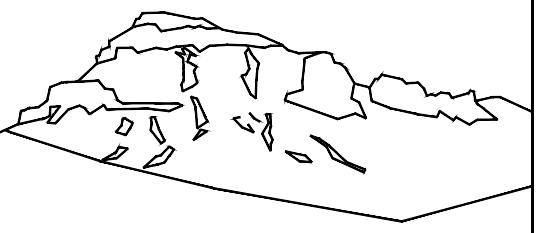


TRACT OS-9
(TSG SKI AND GOLF, LLC)

LEGEND	
WV	WATER VALVE
⊕	FIRE HYDRANT
⊙	TELEPHONE PEDESTAL
⊚	CABLE-TV PEDESTAL
⊠	TRANSFORMER
☆	LAMP POST
○	FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 20632
●	FOUND 5/8" REBAR, NO CAP
●	FOUND 1-1/2" ALUMINUM CAP ON 18"x5/8" REBAR, L.S. 37970
(M)	MEASURED DIMENSIONS ACCORDING TO THIS SURVEY
(R)	RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 708

Rev. 1 - Added Roof Elevations 03/23/2022 mc

<h2 style="margin: 0;">EXISTING CONDITIONS PLAN</h2> <p style="font-size: small; margin: 0;">Lot 211, Town of Mountain Village, located within the SW 1/4 of Section 3 and the SE 1/4 of Section 4, T.42N, R.9W, N.M.P.M., County of San Miguel, State of Colorado.</p>	Project Mgr: JH	<p style="font-size: x-small; margin: 0;">ENGINEERING · PLANNING · SURVEYING</p>	970-728-6153 970-728-6050 fax
	Technician: KK / MC		PO Box 1385
Technician:	Checked by:	Start date: 09/06/2022	125 W. Pacific Ave., Suite B-1 Telluride, Colorado, 81435
Drawing path: dwg\19028 Topo 09-22.dwg			Sheet 1 of 1 Project #: 19028



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Engineering, LLC

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SUBMISSIONS:
SUBMITTAL 2022-09-08

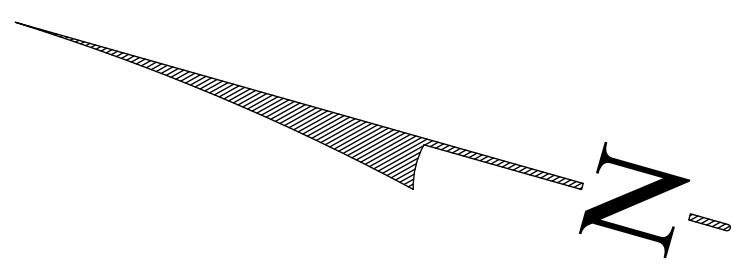
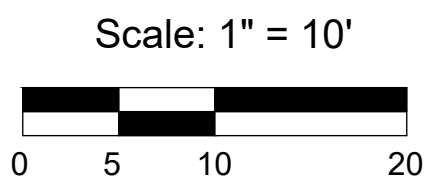
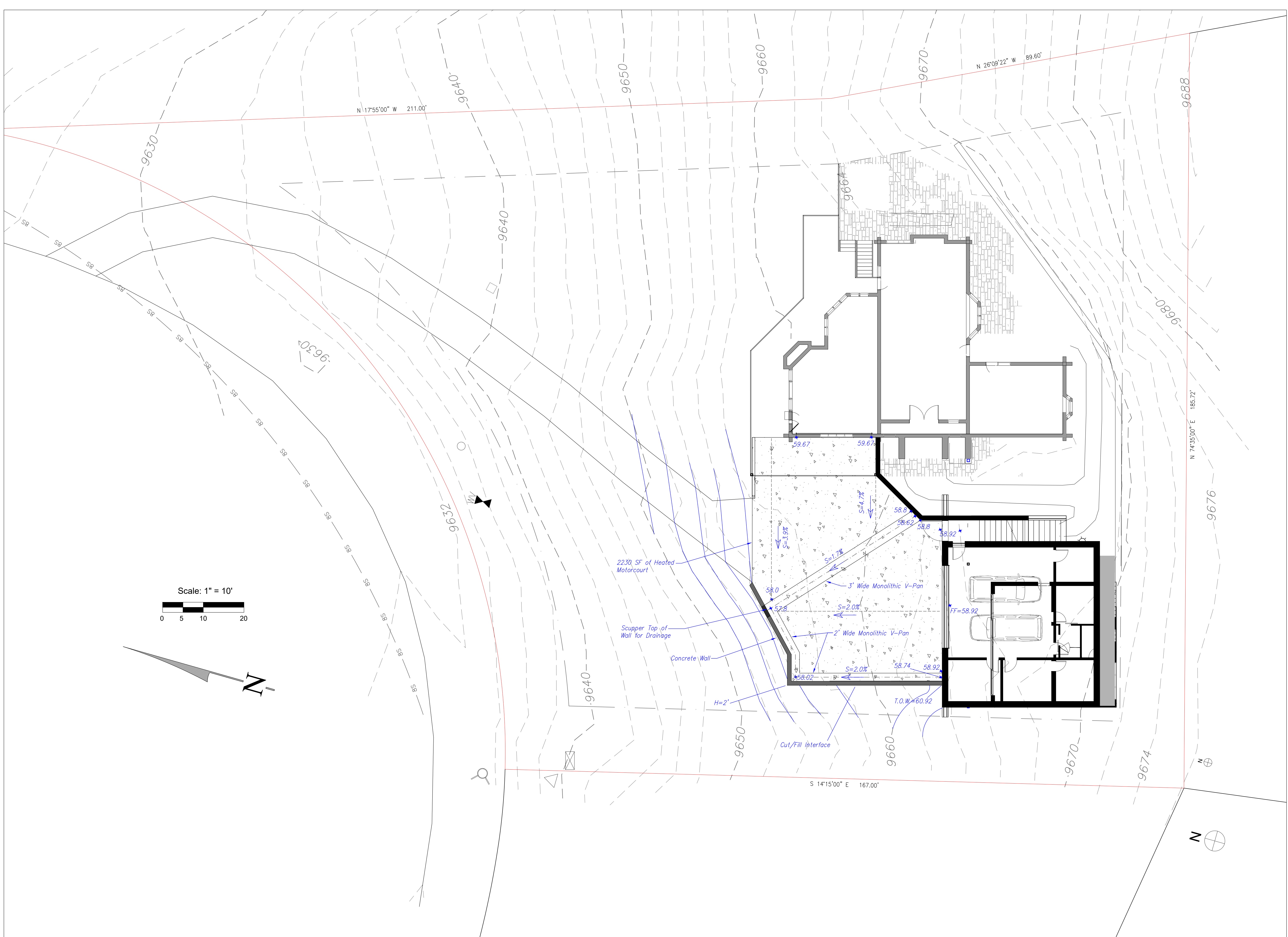
151 Benchmark Dr.
Mtn. Village, CO

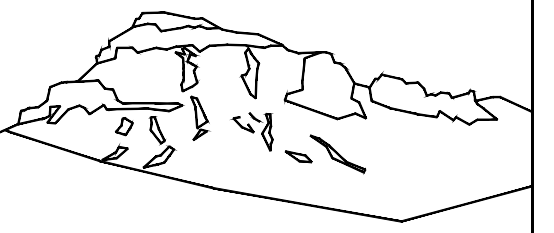


CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading
and
Drainage
Guest House

C2





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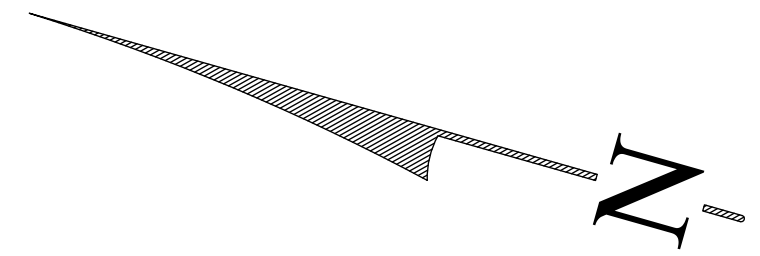
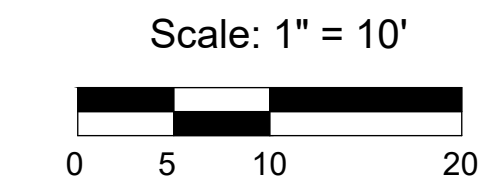
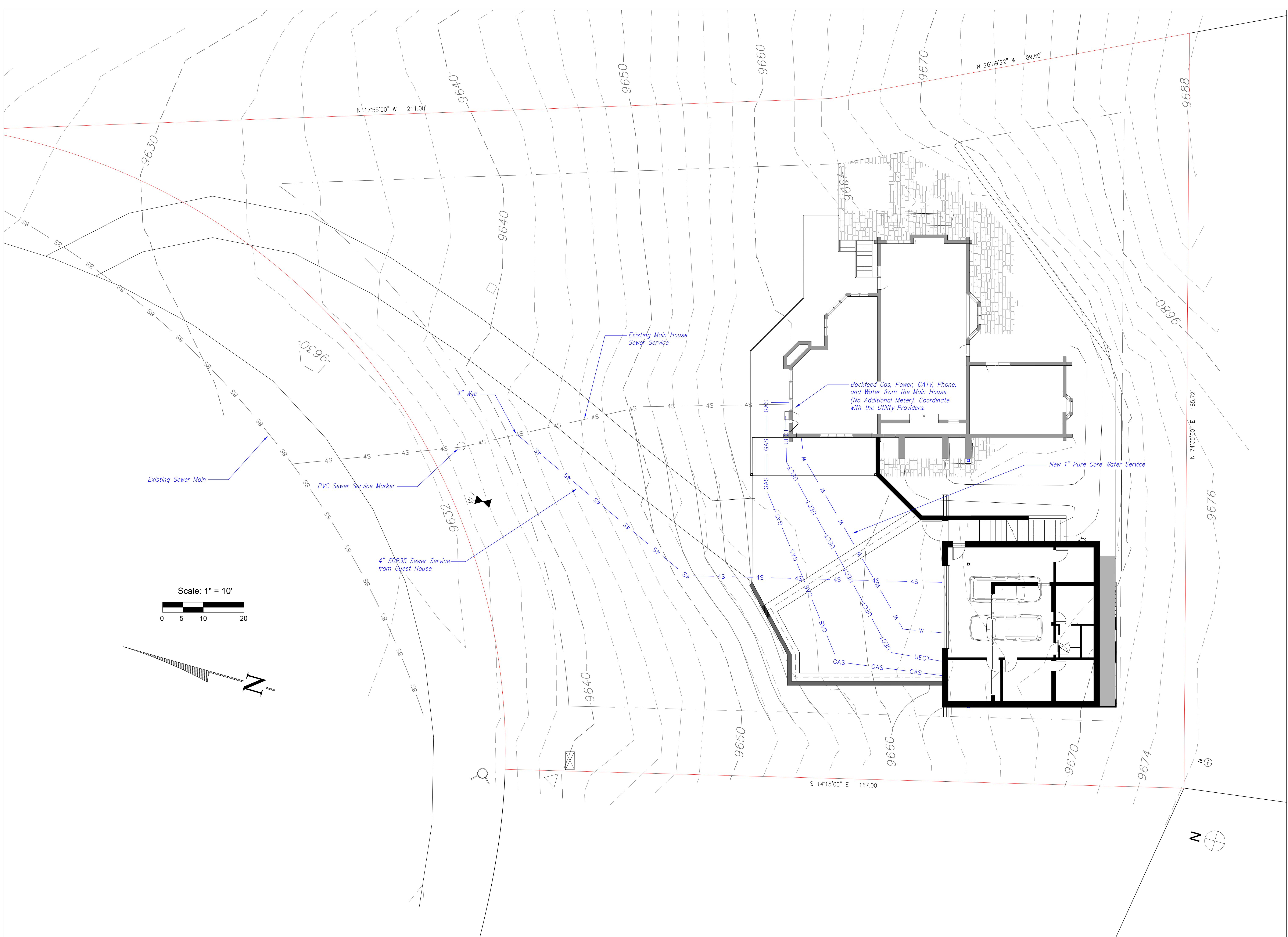
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Utilities

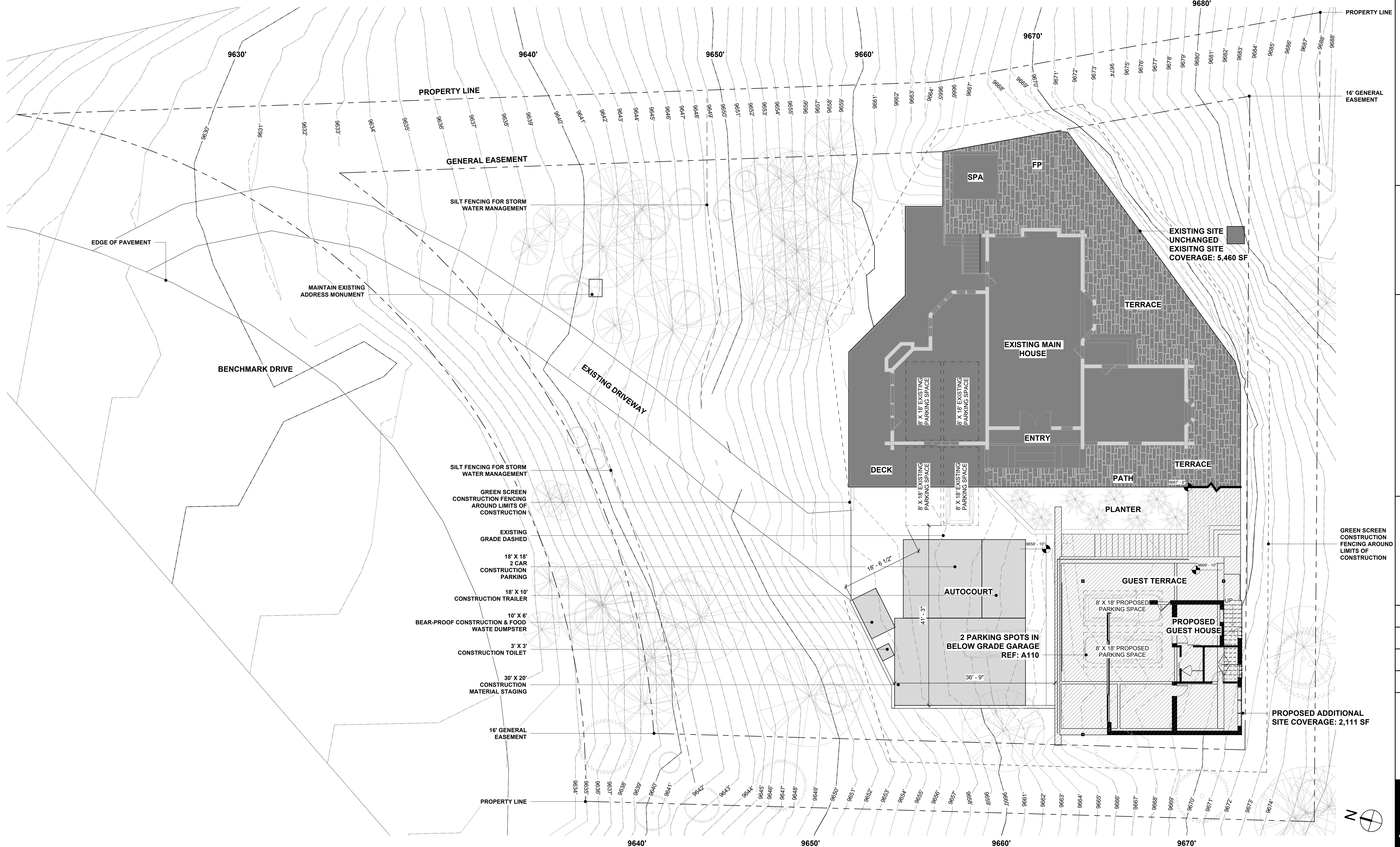
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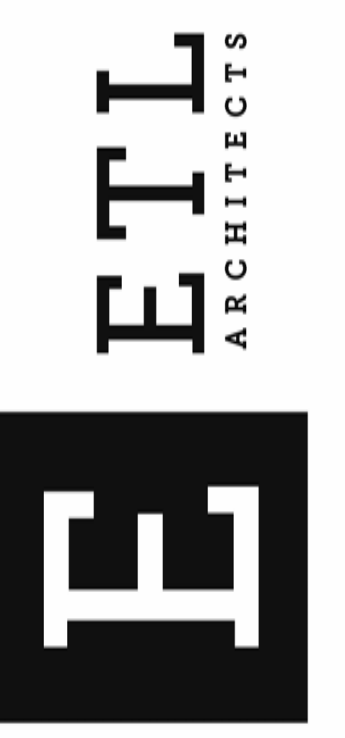
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CONSTRUCTION STAGING PLAN NOTES:

- LIMITS OF CONSTRUCTION ACTIVITY TO BE MINIMIZED TO REDUCE ENVIRONMENTAL IMPACT.
- TREE REMOVAL TO BE COORDINATED BY LANDSCAPE ARCHITECT.
- CONSTRUCTION FENCING AND EROSION MITIGATION TO BE INSTALLED PRIOR TO CONSTRUCTION.
- BUILDING MATERIAL STORAGE AREAS TO BE TIDY AND ORGANIZED AT ALL TIMES.
- TRASH AND WASTE TO BE STORED IN BEAR-PROOF CONTAINER OR ENCLOSURE.



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BROOKS GUEST
 151 BENCHMARK DRIVE

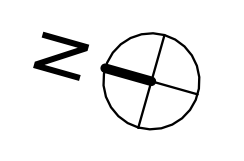
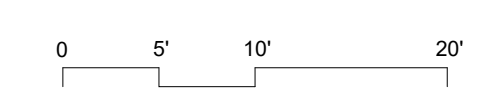
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DATE: 3.13.23
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 FILE: 151 BM
 SCALE: 1" = 10'-0"

SITE & CSP PLAN

A 101



REVEGETATION NOTES

1. Subsoil surfaces shall be tilled to a 4" depth on non fill areas.
2. Topsoil shall be spread at a minimum depth of 4" over all areas to be re-vegetated (except on slopes greater than 3:1) and amendments rototilled at a rate of three cubic yards per thousand square feet.
3. Broadcasting of seed shall be done immediately after topsoil is applied (within 10 days) to minimize erosion and weeds.
4. Areas which have been compacted or relatively undisturbed needing seeding, shall be scarified before broadcasting of seed.
5. Broadcast with specified seed mix and follow with dry mulching. Straw or hay shall be uniformly applied over seeded area at a rate of 1.5 tons per acre for hay or 2 tons per acre for straw, crimp in.
6. On slopes greater than 3:1 erosion control blanket shall be applied in place of straw mulch and pinned.
7. All utility cuts shall be re-vegetated within the same planting season after installation of utilities to prevent weed infestation.
8. Seed mix to be Mountain native grass mix at a rate of 1.5 lbs per acre. See mix below as specified in DRB guideline:

NATIVE GRASS SEED MIX

SPECIES	SEED RATE
Western Yarrow	5%
Tall Fescue	10%
Arizona Fescue	5%
Hard Fescue	5%
Creeping Red Fescue	10%
Alpine Bluegrass	15%
Canada Bluegrass	10%
Perennial Ryegrass	15%
Slender Wheatgrass	10%

LANDSCAPE NOTES

1. All trees and shrubs shall be field located by project Architect.
2. All trees and shrubs shall be backfilled with a topsoil/organic fertilizer mixture at a 2:1 ratio.
3. Necessary trees shall be staked with 4 foot metal posts. Trees shall be guyed with 12 gauge galvanized wire and polypropylene tree straps.
4. All plant material to meet the American Standard for Nursery Stock.
5. All newly planted material to be irrigated by an automated irrigation system.
6. Re-vegetation of native grasses in primary areas surrounding house shall be irrigated until germination and establishment. At least two growing seasons.
7. All planted material shall be irrigated with automated irrigation system.
8. All revegetation areas of native grass seed to be irrigated with automated system for first two growing seasons.

NOXIOUS WEEDS

1. All planted materials including seed, shall be non-noxious species as specified within the San Miguel County's most current Noxious Weed List.

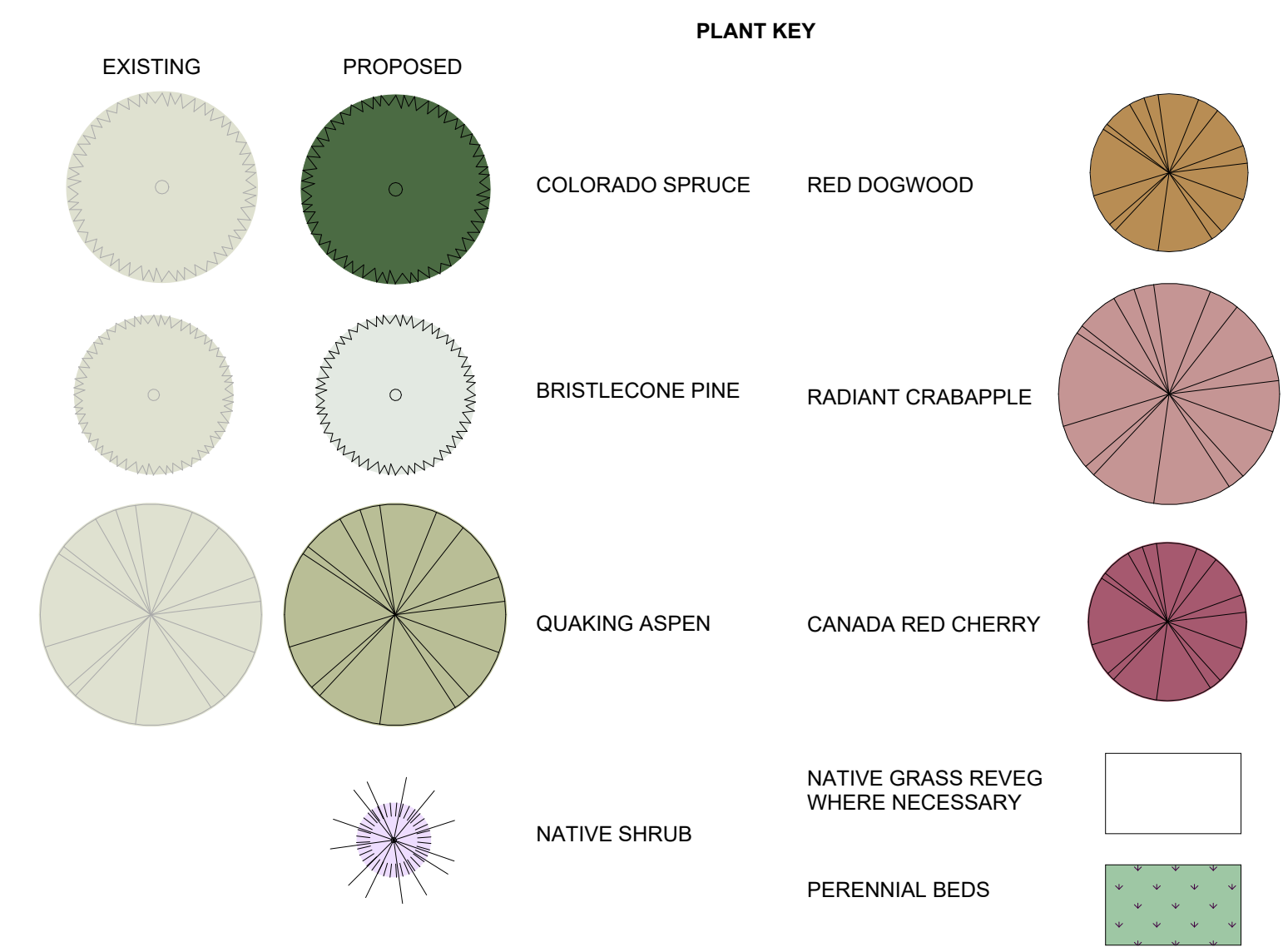
PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY
PERENNIAL BEDS:			
Parthenocissus quinquefolia	Virginia Creeper	25%	
Symphoricarpos	Snowberry	25%	
Calamagrostis acutiflora	Karl Foster Grass	25%	
Nepeta subsessilis	Catmint	25%	
OTHER			
Syringa Vulgaris	Common Lilac Bush	1'	8
Sod	Turf Grass	none	
Native Grass seed	Revegetation	Field Verify	

IRRIGATION SCHEDULE

ZONE	LOCATION	HEAD	GPM
1	Shrub Planter	Drip	8
2	Rooftop Planter	Drip	48

TYPE	MONTHLY USE	TOTAL	MONTHLY USE
Perennials	2.5 gal. / SF	240	480
Sod	-	None	-
Deciduous Shrub	1 gal. / EA	8	8
TOTAL MONTHLY USAGE			488 gal. / month



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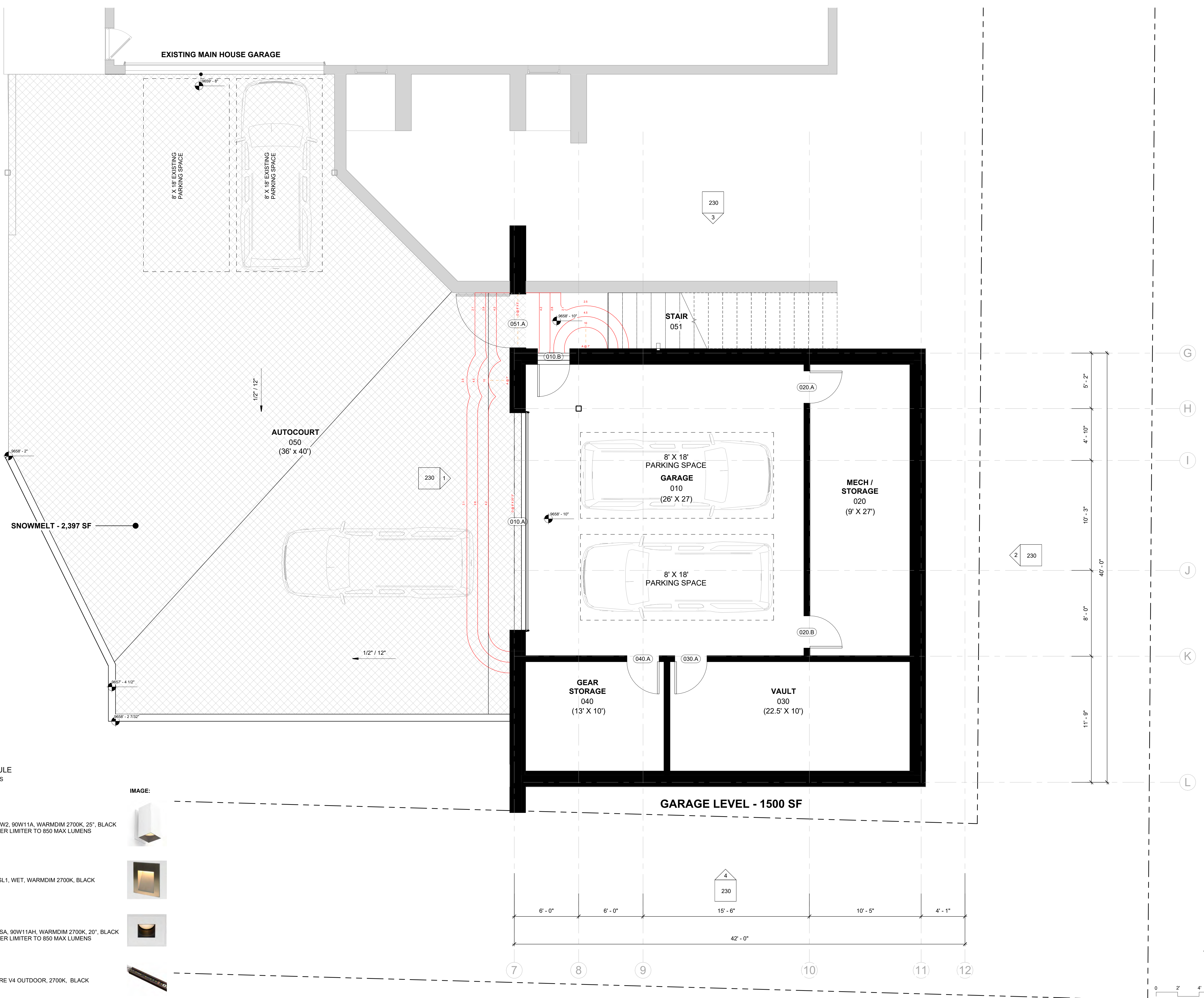
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1" = 10'-0"

LANDSCAPE PLAN



EXISTING MAIN HOUSE GARAGE

8' X 18' EXISTING
PARKING SPACE

8' X 18' EXISTING
PARKING SPACE

AUTCOURT
050
(36' x 40')

SNOWMELT - 2,397 SF

STAIR
051

8' X 18'
PARKING SPACE
GARAGE
010
(26' X 27')

MECH /
STORAGE
020
(9' X 27')

8' X 18'
PARKING SPACE

GEAR
STORAGE
040
(13' X 10')

VAULT
030
(22.5' X 10')

GARAGE LEVEL - 1500 SF

EXTERIOR LIGHTING SCHEDULE

REF: A602 FOR FULL SPECS

TYPE:	LUMENS:	INFO:	IMAGE:
A	850 lm	LUCIFER, SW2, 90W11A, WARM DIM 2700K, 25°, BLACK WITH DIMMER LIMITER TO 850 MAX LUMENS	
B	200 lm	LUCIFER, ISL1, WET, WARM DIM 2700K, BLACK	
C	850 lm	LUCIFER, 2SA, 90W11AH, WARM DIM 2700K, 20°, BLACK WITH DIMMER LIMITER TO 850 MAX LUMENS	
D	133 lm/ft	LEDi, INSPIRE V4 OUTDOOR, 2700K, BLACK	

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SCALE:
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GUEST HOUSE
GARAGE LEVEL

A 110

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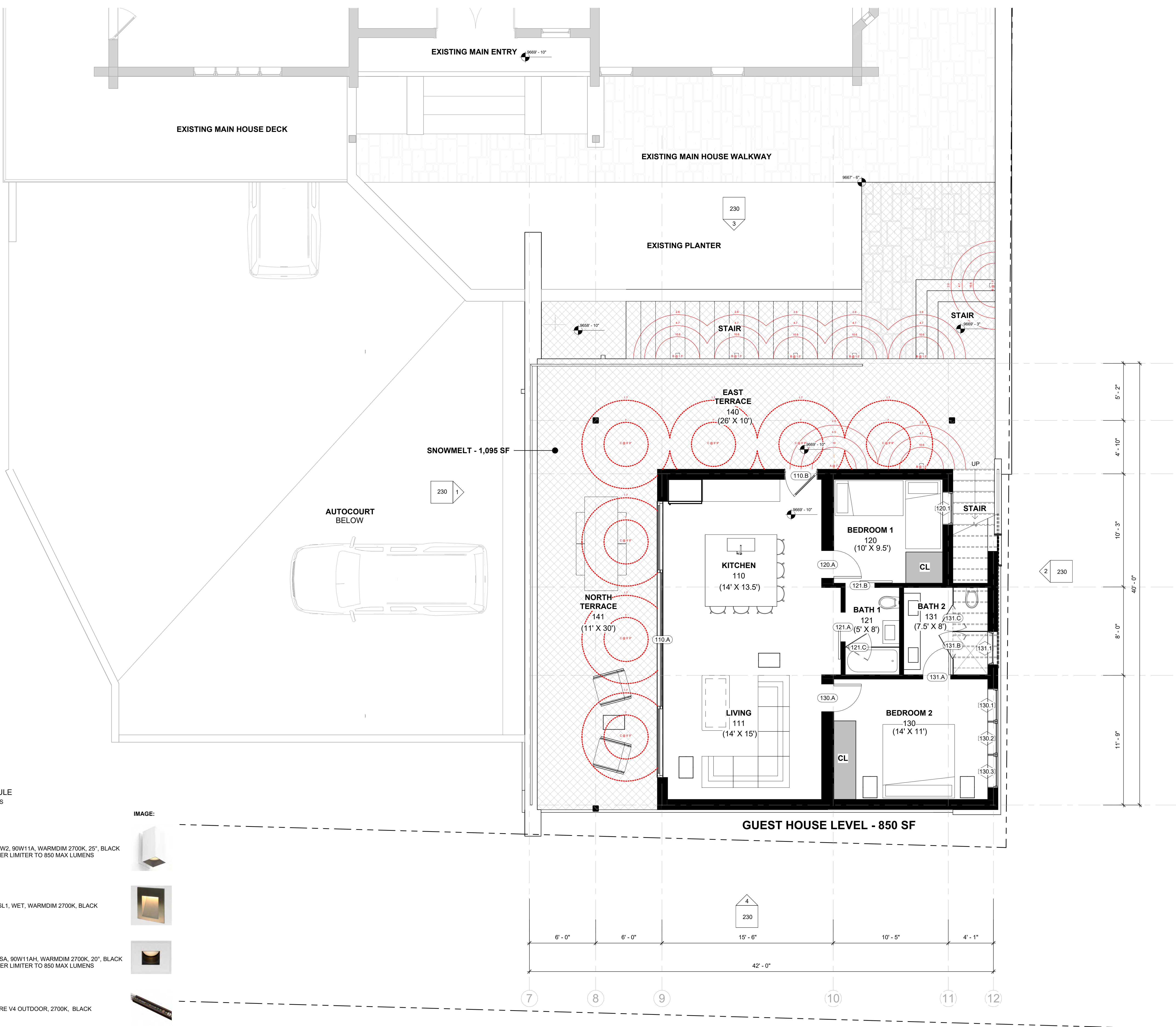
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SCALE:
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GUEST HOUSE MAIN
 LEVEL

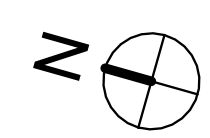
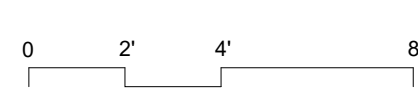
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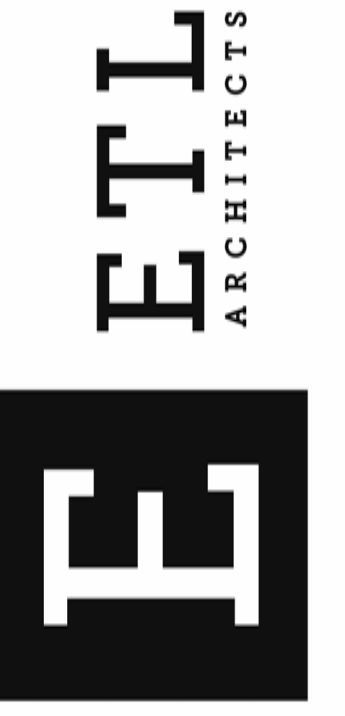
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TYPE:	LUMENS:	INFO:	IMAGE:
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B	200 lm	LUCIFER, ISL1, WET, WARMDIM 2700K, BLACK	
C	850 lm	LUCIFER, 2SA, 90W11AH, WARMDIM 2700K, 20°, BLACK WITH DIMMER LIMITER TO 850 MAX LUMENS	
D	133 lm/ft	LEDi, INSPIRE V4 OUTDOOR, 2700K, BLACK	



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 FILE:
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 SCALE:
As indicated

GUEST HOUSE ROOF
 LEVEL

A 112

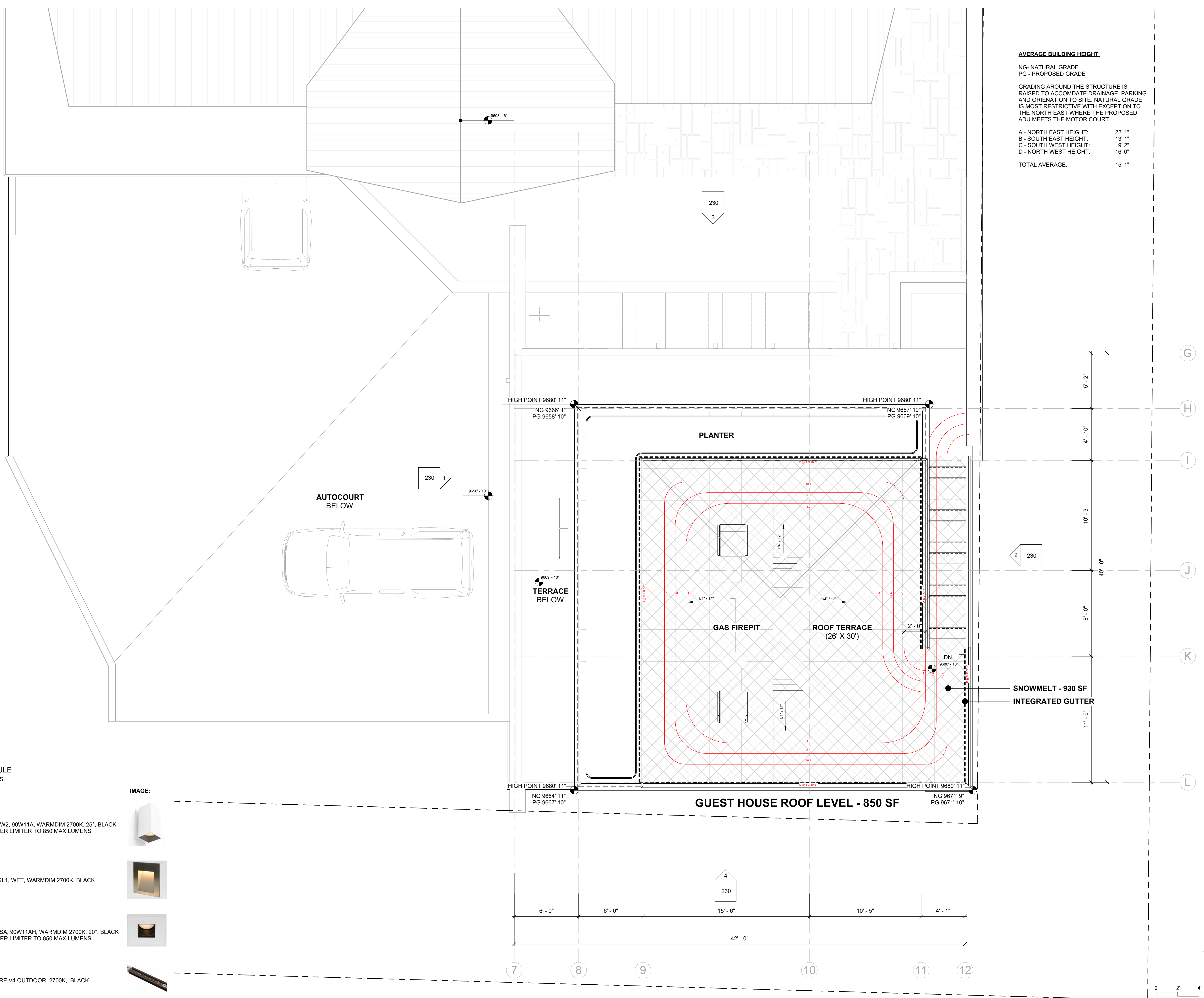
AVERAGE BUILDING HEIGHT

NG - NATURAL GRADE
 PG - PROPOSED GRADE

GRADING AROUND THE STRUCTURE IS
 RAISED TO ACCOMMODATE DRAINAGE, PARKING
 AND ORIENTATION TO SITE. NATURAL GRADE
 IS MOST RESTRICTIVE WITH EXCEPTION TO
 THE NORTH EAST WHERE THE PROPOSED
 ADU MEETS THE MOTOR COURT

A - NORTH EAST HEIGHT: 22' 1"
 B - SOUTH EAST HEIGHT: 13' 1"
 C - SOUTH WEST HEIGHT: 9' 2"
 D - NORTH WEST HEIGHT: 16' 0"

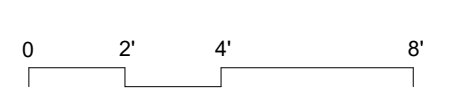
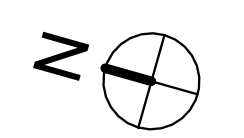
TOTAL AVERAGE: 15' 1"

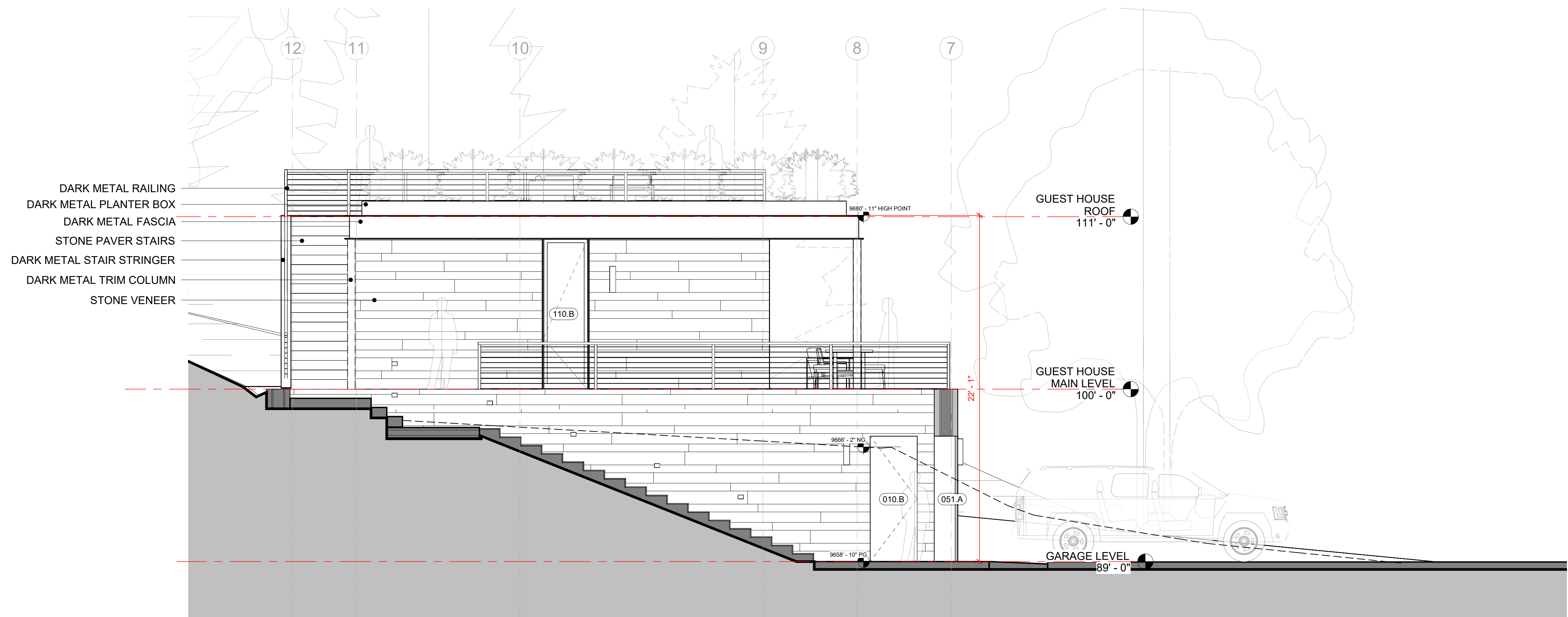


EXTERIOR LIGHTING SCHEDULE

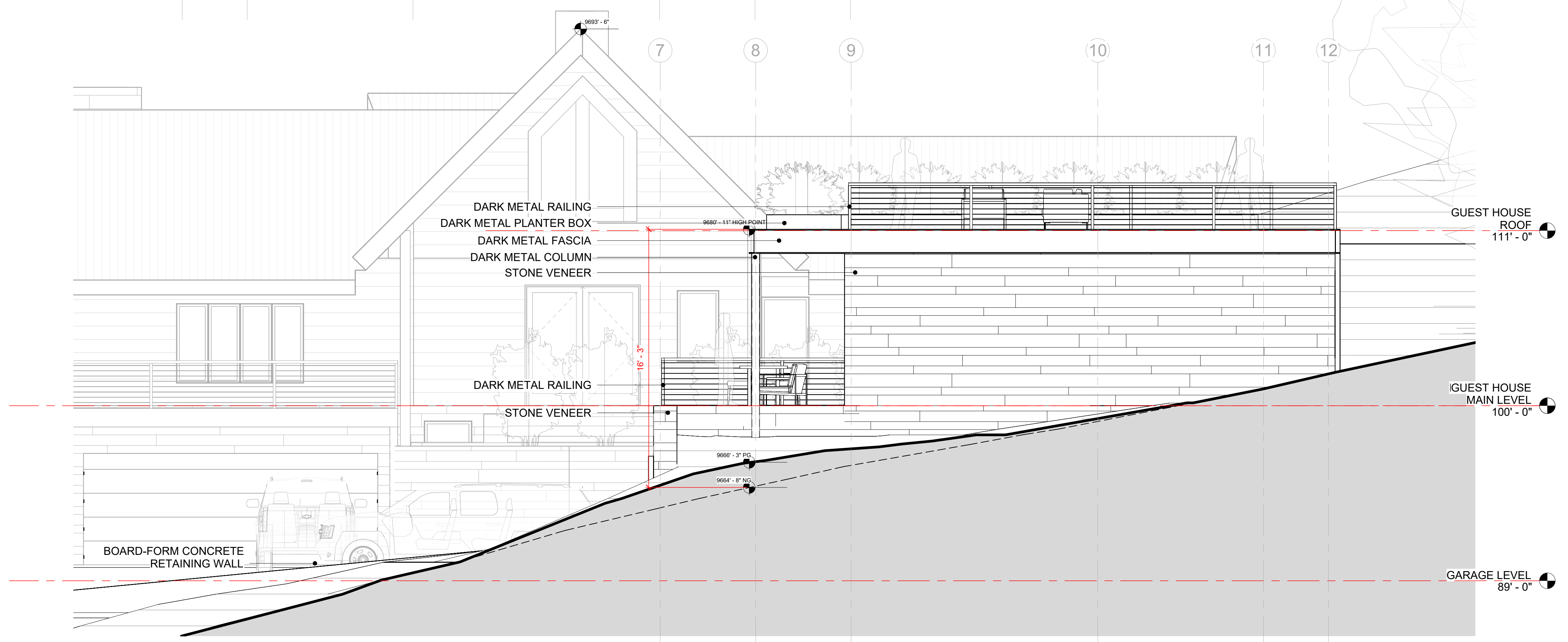
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C	850 lm	LUCIFER, 2SA, 90W11AH, WARM DIM 2700K, 20°, BLACK WITH DIMMER LIMITER TO 850 MAX LUMENS	
D	133 lm/ft	LEDI, INSPIRE V4 OUTDOOR, 2700K, BLACK	





1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

MAXIMUM BUILDING HEIGHT

NG - NATURAL GRADE
PG - PROPOSED GRADE

GRADING AROUND THE STRUCTURE IS RAISED TO ACCOMDATE DRAINAGE, PARKING AND ORIENTATION TO SITE. NATURAL GRADE IS MOST RESTRICTIVE WITH EXCEPTION TO THE NORTH & EAST WHERE THE PROPOSED ADU MEETS THE MOTOR COURT

NORTH ELEVATION	22' - 1"
EAST ELEVATION	22' - 1"
SOUTH ELEVATION	11' - 6"
WEST ELEVATION	16' - 3"

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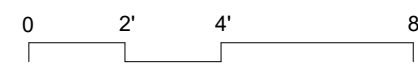
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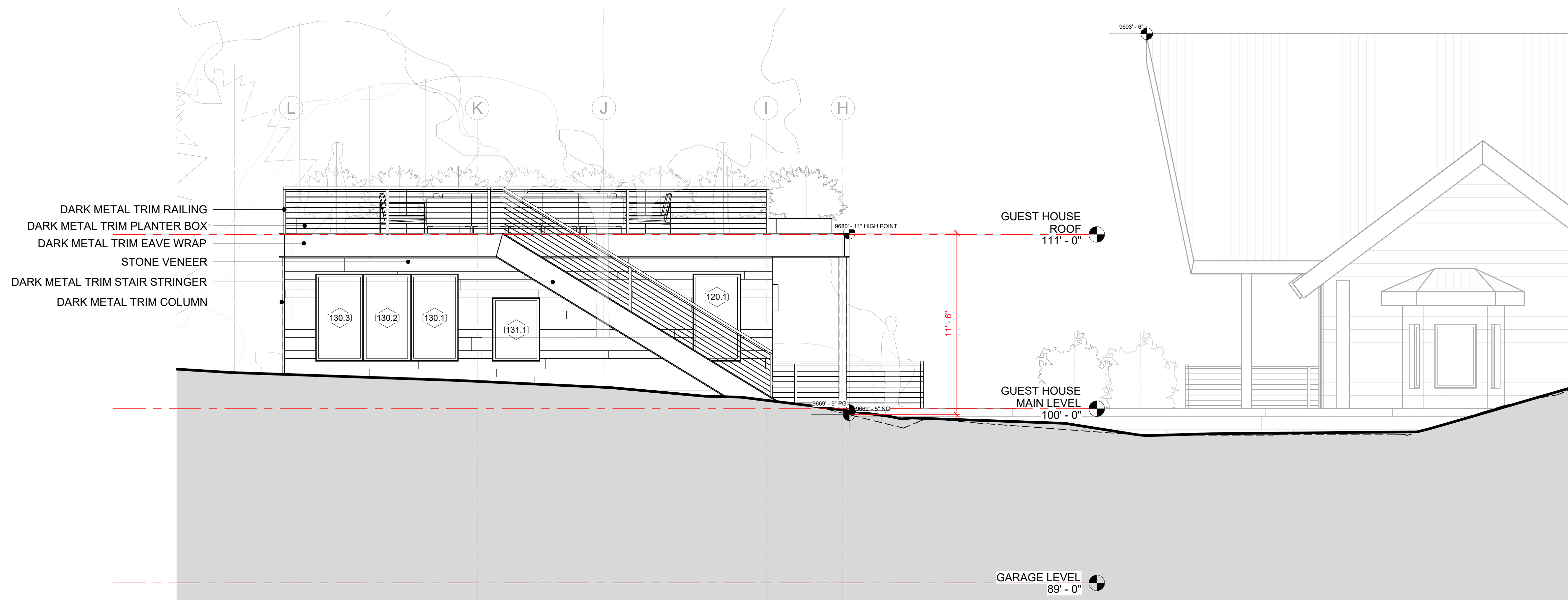
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SCALE:
1/4" = 1'-0"

GUEST HOUSE ELEVATIONS

A 210





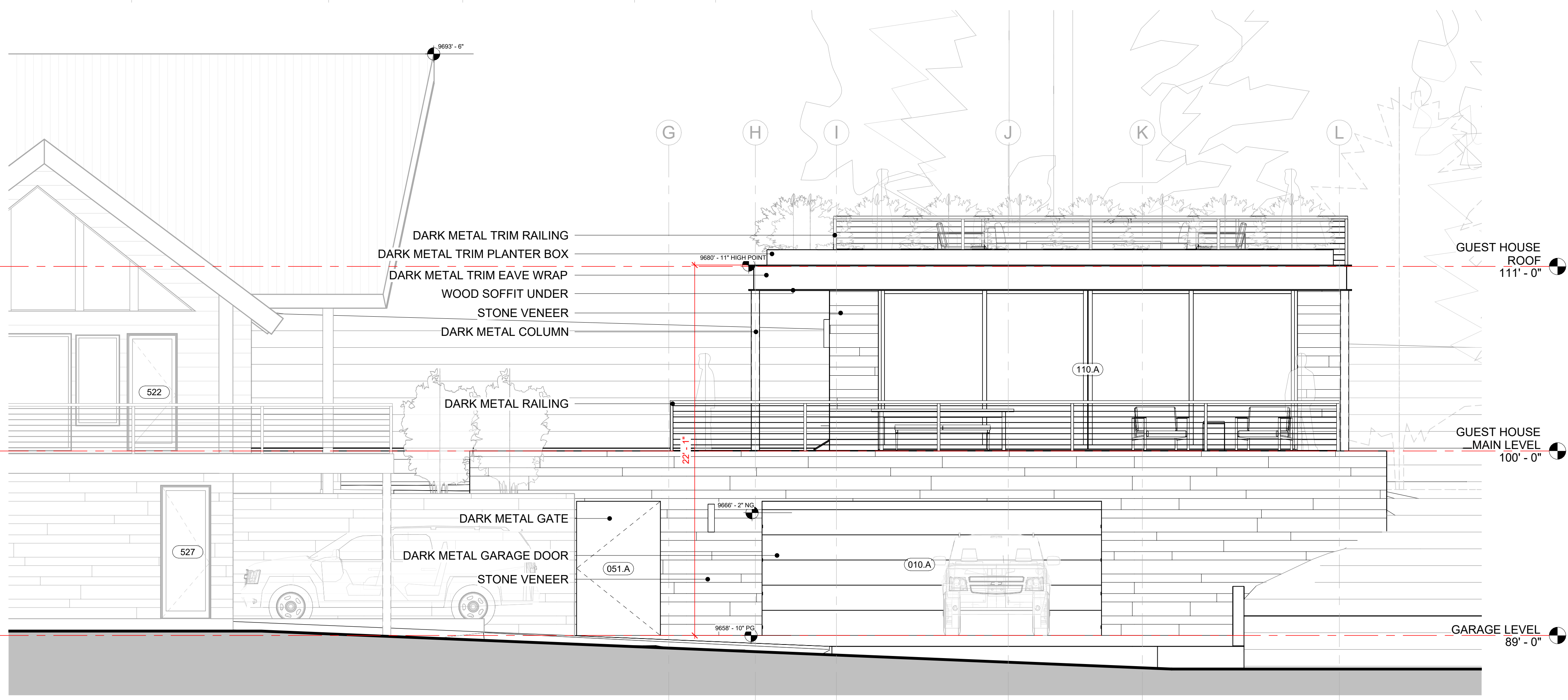
1 SOUTH ELEVATION
1/4" = 1'-0"

MAXIMUM BUILDING HEIGHT

NG - NATURAL GRADE
PG - PROPOSED GRADE

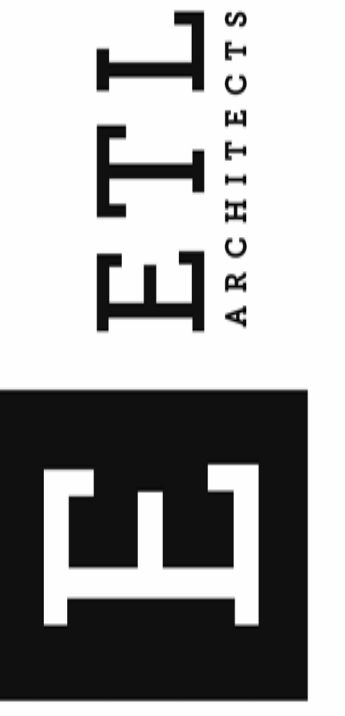
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NORTH ELEVATION 22' - 1"
EAST ELEVATION 22' - 1"
SOUTH ELEVATION 11' - 6"
WEST ELEVATION 16' - 3"



2 NORTH ELEVATION
1/4" = 1'-0"

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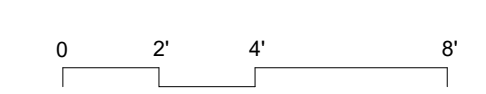
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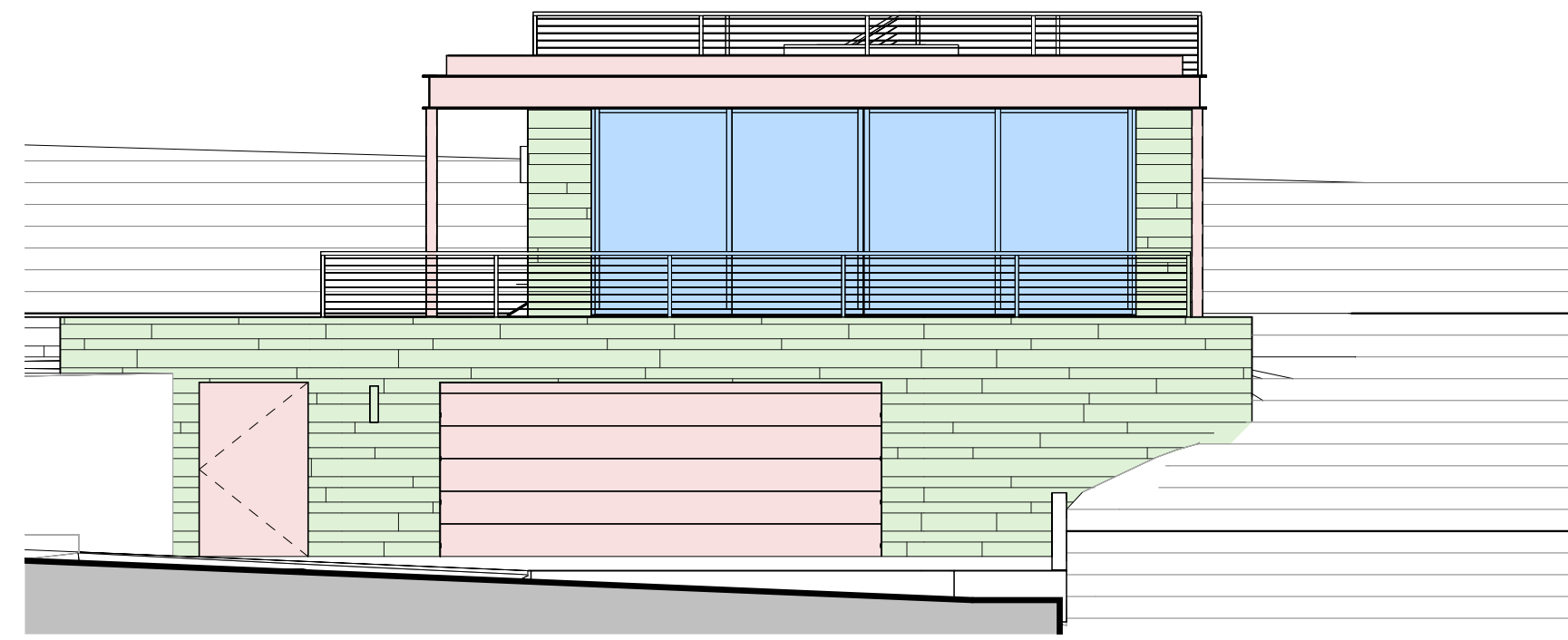


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SCALE:
1/4" = 1'-0"

GUEST HOUSE ELEVATIONS

A 220

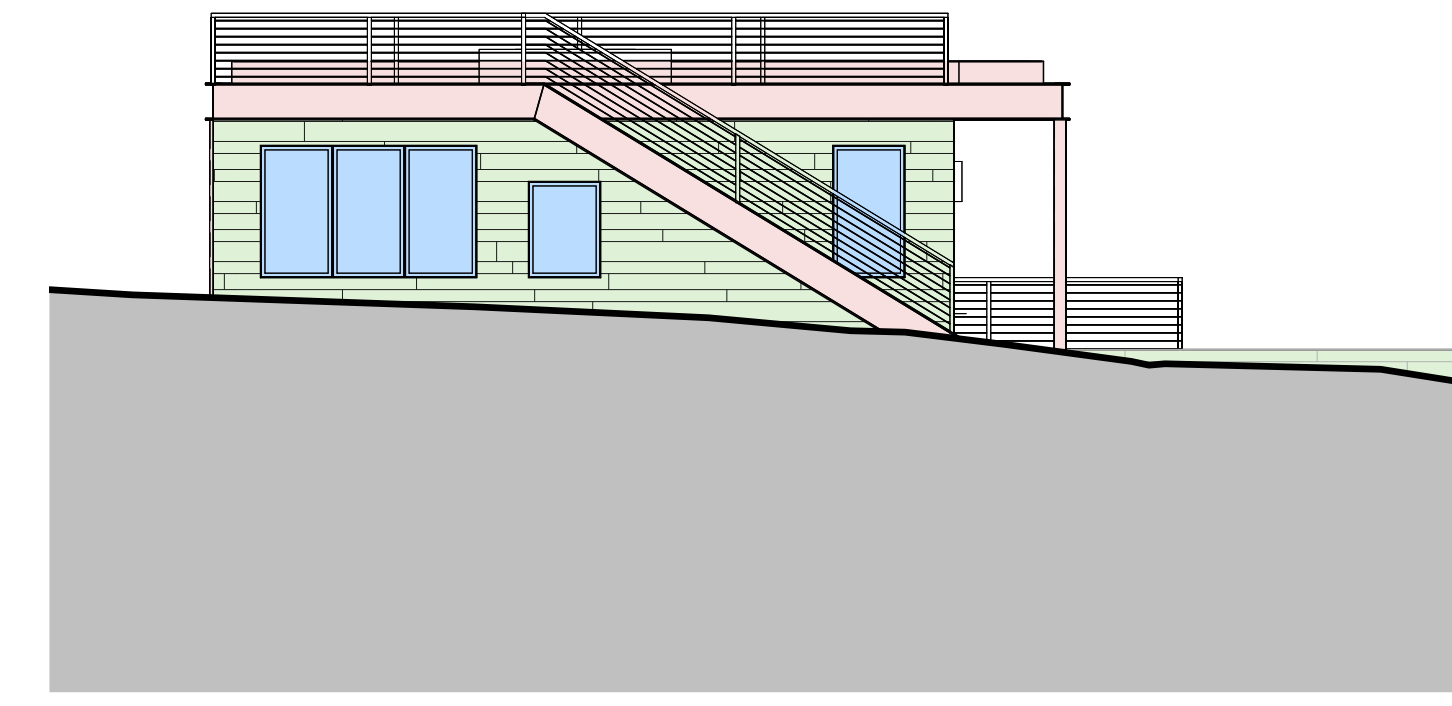




1 NORTH
1/8" = 1'-0"

NORTH MATERIAL TOTALS:

STONE:	361 SF
GLAZING:	240 SF
OTHER:	296 SF
TOTAL:	897 SF



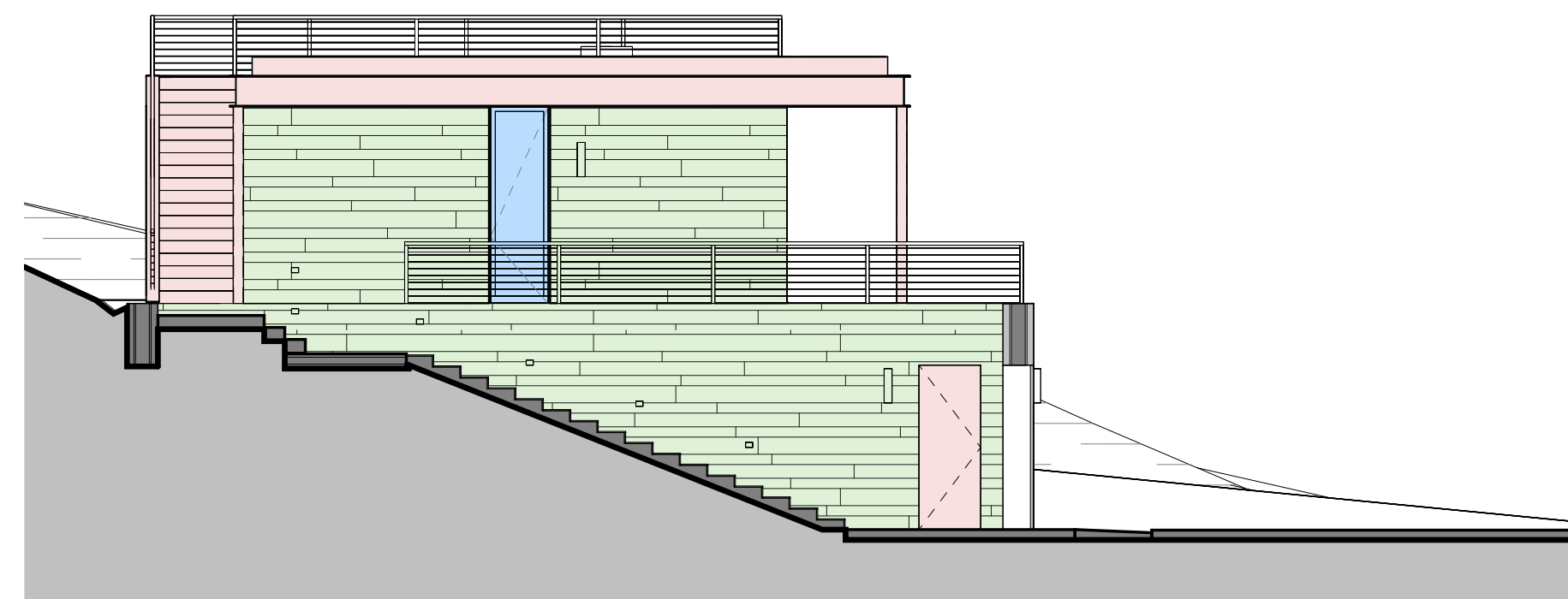
2 SOUTH
1/8" = 1'-0"

SOUTH MATERIAL TOTALS:

STONE:	162 SF
GLAZING:	78 SF
OTHER:	117 SF
TOTAL:	357 SF

MATERIAL TOTALS:

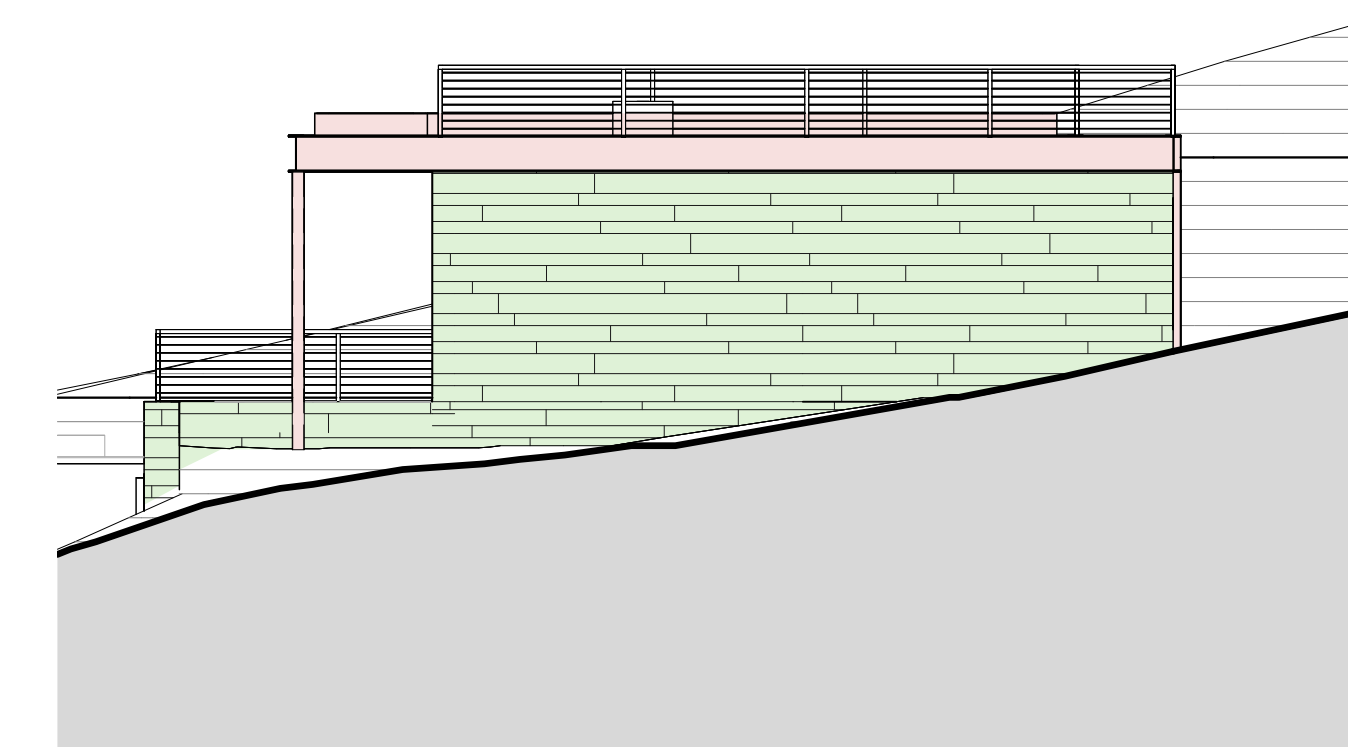
STONE:	1301 SF	56%
GLAZING:	347 SF	15%
OTHER:	663 SF	29%
TOTAL:	2311 SF	100%



3 EAST
1/8" = 1'-0"

EAST MATERIAL TOTALS:

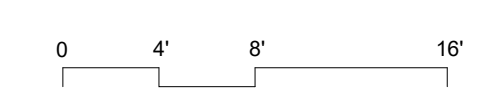
STONE:	442 SF
GLAZING:	29 SF
OTHER:	158 SF
TOTAL:	629 SF



4 WEST
1/8" = 1'-0"

WEST MATERIAL TOTALS:

STONE:	336 SF
GLAZING:	0 SF
OTHER:	92 SF
TOTAL:	428 SF



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SCALE:	1/8" = 1'-0"

MATERIAL
ELEVATIONS

A 230



WOOD SOFFIT



DARK METAL TRIM, RAILING, PLANTER BOXES, EXPOSED STRUCTURE, AND FASCIA (NON-REFLECTIVE)



STONE VENEER TO MATCH EXISTING



DARK METAL GARAGE DOOR & SITE RETAINING



PERENNIAL BEDS



STONE STEPS & TERRACE PAVERS

ALL EXTERIOR BUILDING MATERIALS WILL BE NON-COMBUSTIBLE OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS APPROVED UNDER THE WUIC (WILDLAND URBAN INTERFACE CODE)



ALL EXTERIOR WINDOWS AND DOORS WILL BE A THERMALLY BROKEN ALUMINUM CLAD WOOD - WITH BLACK ANODIZED NON-REFLECTIVE FINISH

DOOR SCHEDULE

MARK	EXTERIOR / INTERIOR	LEVEL	HEIGHT	WIDTH
010.A	Exterior	GARAGE LEVEL	8' - 0"	20' - 3"
051.A	Exterior	GARAGE LEVEL	8' - 0"	5' - 0"
110.A	Exterior	GUEST HOUSE MAIN LEVEL	9' - 9"	25' - 0"
110.B	Exterior	GUEST HOUSE MAIN LEVEL	9' - 9"	3' - 0"
010.B	Interior	GARAGE LEVEL	8' - 0"	3' - 0"
020.A	Interior	GARAGE LEVEL	8' - 0"	3' - 0"
020.B	Interior	GARAGE LEVEL	8' - 0"	3' - 0"
030.A	Interior	GARAGE LEVEL	8' - 0"	3' - 0"
040.A	Interior	GARAGE LEVEL	8' - 0"	3' - 0"
120.A	Interior	GUEST HOUSE MAIN LEVEL	7' - 6"	2' - 6"
121.A	Interior	GUEST HOUSE MAIN LEVEL	7' - 6"	2' - 8"
121.B	Interior	GUEST HOUSE MAIN LEVEL	7' - 0"	2' - 8"
121.C	Interior	GUEST HOUSE MAIN LEVEL	7' - 0"	2' - 4"
130.A	Interior	GUEST HOUSE MAIN LEVEL	7' - 6"	2' - 6"
131.A	Interior	GUEST HOUSE MAIN LEVEL	7' - 6"	2' - 6"
131.B	Interior	GUEST HOUSE MAIN LEVEL	7' - 0"	2' - 5 3/4"
131.C	Interior	GUEST HOUSE MAIN LEVEL	7' - 0"	2' - 4 3/4"

WINDOW SCHEDULE

MARK	LEVEL	WIDTH	HEIGHT	SILL HEIGHT
120.1	GUEST HOUSE MAIN LEVEL 36"	66"	3' - 0"	
130.1	GUEST HOUSE MAIN LEVEL 36"	66"	3' - 0"	
130.2	GUEST HOUSE MAIN LEVEL 36"	66"	3' - 0"	
130.3	GUEST HOUSE MAIN LEVEL 36"	66"	3' - 0"	
131.1	GUEST HOUSE MAIN LEVEL 36"	48"	3' - 0"	

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DRIVE

NO.	REVISION	DATE
3	DRB FINAL	3.13.2023
2	DRB PRELIM REV	10.12.2022
1	DRB PRELIM	9.7.2022



DATE:
3.13.23

DRAWN BY:
ETL

FILE:
151 BM

SCALE:
12" = 1'-0"

MATERIALS &
SCHEDULES

A 601



1 AERIAL SOUTH PHOTO
12" = 1'-0"



2 AERIAL EAST PHOTO
12" = 1'-0"

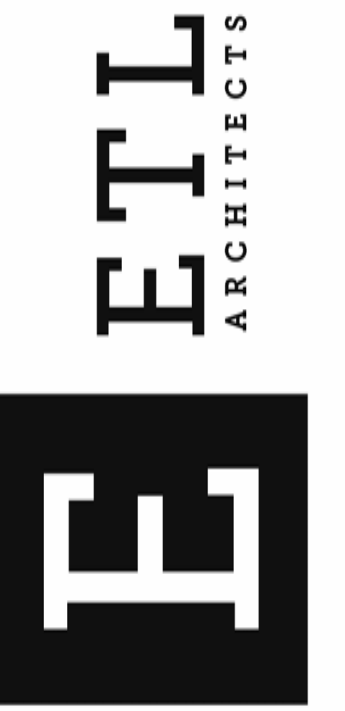


3 AERIAL WEST PHOTO
12" = 1'-0"



4 AERIAL NORTH PHOTO
12" = 1'-0"

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edwin@etlarchitects.com



BROOKS GUEST
151
BENCHMARK
DRIVE

NO.	REVISION	DATE
3	DRB FINAL	3.13.2023
2	DRB PRELIM REV	10.12.2022
1	DRB PRELIM	9.7.2022



DATE:
3.13.23
DRAWN BY:
ETL
FILE:
151 BM
SCALE:
12" = 1'-0"

EXISTING PHOTOS



1 EXISTING SOUTH PHOTO
12" = 1'-0"



2 EXISTING WEST PHOTO
12" = 1'-0"



3 EXISTING NORTH PHOTO
12" = 1'-0"



4 EXISTING EAST PHOTO
12" = 1'-0"

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ETL
ARCHITECTS



BROOKS GUEST

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BENCHMARK
DRIVE

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DATE:
3.13.23

DRAWN BY:
ETL

FILE:
151 BM

SCALE:
12" = 1'-0"

EXISTING PHOTOS

A 902



3 SW VIEW



2 NE VIEW



1 NW VIEW



4 SE VIEW

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BROOKS GUEST

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DATE:
 3.13.23

DRAWN BY:
 ETL

FILE:
 151 BM

SCALE:

3D VIEWS

A 910



View from driveway entrance

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1	DRB PRELIM	9.7.2022



DATE:
 3.13.23

DRAWN BY:
 ETL

FILE:
 151 BM

SCALE:

RENDER

A 920



View from AutoCourt

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BROOKS GUEST

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 DRIVE

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NO.	REVISION	DATE



DATE:
 3.13.23

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FILE:
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SCALE:

RENDER

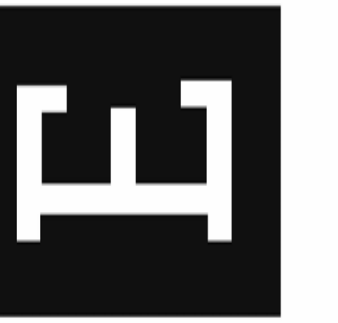
A 921



View of exterior stairs and existing terrace connection

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BROOKS GUEST

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DATE:
 3.13.23

DRAWN BY:
 ETL

FILE:
 151 BM

SCALE:

RENDER

A 922



View of Rooftop Terrace

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DATE:
 3.13.23

DRAWN BY:
 ETL

FILE:
 151 BM

SCALE:

RENDER

A 923



TO: Mountain Village Design Review Board

FROM: Design Workshop on behalf of the Town of Mountain Village

FOR: Design Review Board Public Hearing; March 30, 2023

DATE: March 30, 2023

RE: Staff Memo – Initial Architecture and Site Review (IASR) Lot 391, 142 AJ Drive pursuant to CDC Section 17.4.11 (continued from the March 2, 2023 regular DRB meeting)

APPLICATION OVERVIEW: New Single-Family Home on Lot 391

PROJECT GEOGRAPHY

Legal Description: LOT 391
TOWN OF MOUNTAIN VILLAGE
FILING 38 PLAT BK 1 PG 2146
CONT 0.944 ACRES MOL 10 22
96

Address: 142 AJ Drive

Applicant/Agent: Rohan Shah,
Method Homes

Owner: Elizabeth Alper & Jeff
Williams

Zoning: Single-Family

Existing Use: Vacant

Proposed Use: Single-Family

Lot Size: .94 acres

Adjacent Land Uses:

- **North:** Single-Family
- **South:** Open Space
- **East:** Single-Family
- **West:** Single-Family



Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comments

Case Summary: Rohan Shah of Method Homes is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home on Lot 391, 142 AJ Drive.

The DRB reviewed this case at the March 2, 2023 regular DRB meeting and continued the discussion to the March 30, 2023 regular DRB meeting. Due to the steep nature of the site, the DRB requested additional information to ensure that development as proposed is feasible. This included additional information regarding driveway grade, driveway dimensions, site slope analysis, site grading/ drainage, and erosion control. The DRB also discussed other elements of the application that did not meet the requirements of the CDC, including landscaping diversity of species, fire mitigation, address monument design, retaining wall dimensions, and outdoor lighting. In response to the DRB comments, the applicant has provided an updated set of plans and additional information, which is included in Attachment A. These changes include:

- 1) Inclusion of updated driveway dimensions and grading details.
- 2) An updated lot coverage calculation.
- 3) Revised location and materiality of the walkway path.
- 4) Removal of walkway lighting and outdoor string lights.
- 5) Updated outdoor lighting that meets dark skies requirements for exterior spaces with no grade level access.
- 6) Addition of a site slope analysis.
- 7) Removal of fiberglass windows and change to black aluminum wood cladding.
- 8) Clarification on address monument location and materiality.
- 9) Updated landscape plans to meet diversity of species requirements, irrigation requirements, and native seed notes.
- 10) Updated construction mitigation plans including staging platform descriptions and erosion control plans.

The proposed design consists of two structures, a main house and a detached accessory dwelling unit. The main house is two stories and utilizes a combination of multiple shed roof forms. The ADU is one story and has a single shed roof form. The lot is approximately .94 acres and is zoned single-family.

The proposed development requires Design Review Board specific approvals for a maximum driveway grade of 12 percent, road right-of-way encroachments, GE Encroachments, and the use of metal fascia.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	35' (shed) Maximum	29'0" (main house) 11' 8" (ADU)
Avg. Building Height	30' (shed) Maximum	20' 4" (main house) 9' 1" (ADU)
Maximum Lot Coverage	40% (16,378.56 sq ft)	36.3% (14,861 sq ft)
General Easement Setbacks	No encroachment	GE encroachment
Roof Pitch		
Primary		6:12
Secondary		1:12

Exterior Material		
Stone Veneer	35% minimum	38.21% (main) 42.6% (ADU)
Wood Siding	n/a	12.79% (main) 17.97% (ADU)
Windows/Door Glazing	40% maximum	21.84% (main) 23.12% (ADU)
Metal Accent	n/a	27.16% (main) 16.31% (ADU)
Parking	2 interior/2 exterior	2 interior/ 2 exterior

Design Variation:

- 1) *Road and Driveway Standards – grade*

Design Review Board Specific Approvals:

- 1) *Right-of-way Encroachment – Address Monument and Retaining Walls*
- 2) *Materials - metal fascia*

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.3 Use Schedule

Staff: The applicant has identified that an accessory dwelling unit will be developed on the site along with the main house. According to Table 3-1 Town of Mountain Village Land Use Schedule, this is a permitted use in the Single-Family zone district.

17.3.4 Specific Zone District Requirements

Staff: While an ADU is permitted in this zone district, it is subject to floor area limitations. Section 17.3.4.F.5.c.i states that if the home detached condominium is larger than of four thousand (4,000) square feet, “the accessory dwelling unit is limited to twenty percent (20%) of the floor area of the primary detached condominium dwelling unit or one thousand five hundred (1,500) square feet of floor area, whichever is less.”

The applicant has updated their application materials to indicate that the proposed single-family dwelling is listed at 4,449 square feet (including the garage) allowing the ADU to have a maximum area of 889.8 square feet. The proposed ADU is listed at 861 square feet. Staff finds this criteria met.

17.3.13 Maximum Lot Coverage

Staff: The maximum lot coverage for single-family homes with lots under one acre is 40 percent. On this site, the maximum allowable site coverage is 16,378.56 square feet. The applicant has updated their application materials to identify that the proposed lot coverage of impervious materials is 36.3 percent or 14,861 square feet when including the driveway, which is below the 40 percent threshold. These calculations meet the requirements of the CDC.

17.3.11 and 17.3.12: Building Height and Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates a combination of shed roof forms. Homes with a primary shed roof form are allowed a maximum building height of 35 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured

from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: Staff has determined that the primary roof forms for both the main home and the ADU are shed and therefore granted a maximum height of 35' and an average height of 30' for both structures. The applicant has calculated a maximum height of 29' for the main house and 11'8" for the ADU. The applicant has also updated their calculations of the average height to 20' 4" for the main house and 9'1" for the ADU. The applicant is meeting both requirements.

17.3.14: General Easement Setbacks

Lot 391 has a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC allows some development activity within the GE and setbacks such as ski access, natural landscaping, utilities, address monuments, driveways, walkways, and fire mitigation.

Staff: The applicant has updated their application materials to reflect that the proposed walkway path through their backyard will no longer encroach upon the GE and will stay within the property. The material for this walkway has also been updated to compressed dirt. The new walkway location is seen on Sheet A000 of Exhibit A.

The proposal includes two GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The driveway as shown currently takes access from AJ Drive and crosses the General Easement to the homesite. The driveway has associated retaining walls that encroach into the GE. All retaining walls are limited to 5 feet in height.*
- *Utilities: Utilities are located in AJ Drive and cross the northern GE to the lot.*

Additionally, a portion of the driveway and associated retaining walls, as well as the address monument are located in the right-of-way. This is approvable by DRB if deemed insignificant by the Board.

Any development within the General Easement or road right of way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.

A 30 foot Earthwork Easement is located from the North property line, which the applicant requests the Town to vacate. The applicant has sited a portion of the proposed home within the existing Earthwork Easement. This is illustrated in Figure 2.

Public Works: Public works supports the vacating of the earth work easement.

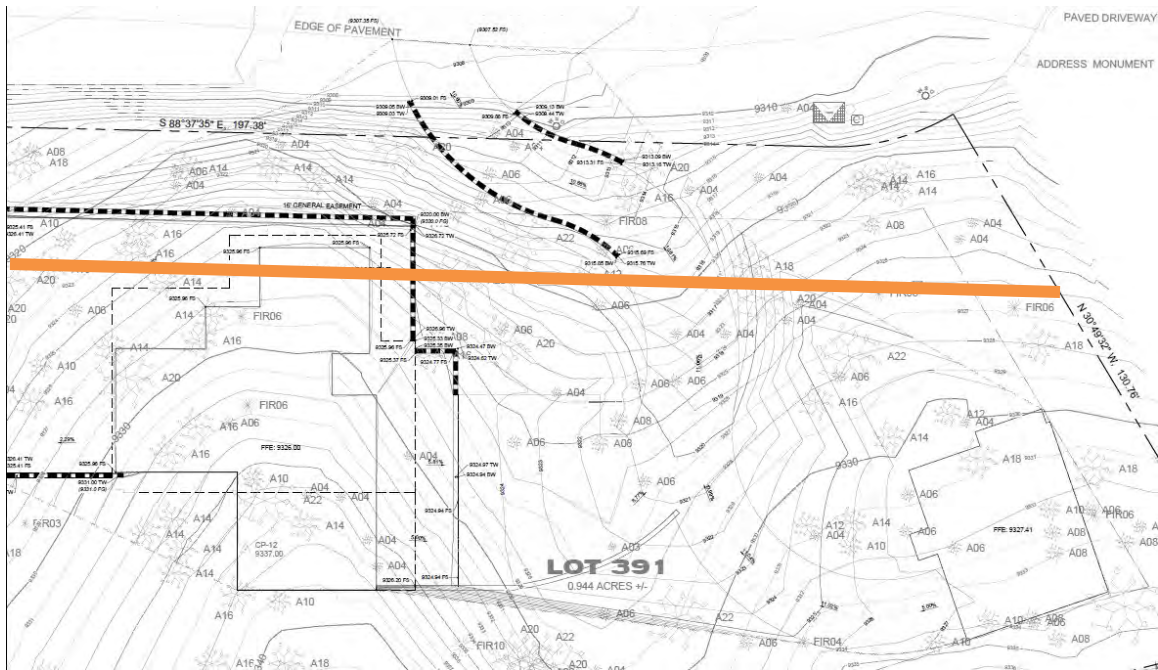


Figure 2: Location of 30-foot Earthwork Easement Proposed to be Vacated

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The Town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The proposed materials are a combination of stone veneer, vertical stained wood, and metal, which should create an exterior capable of withstanding the high alpine environment and reinforce the Town’s aesthetic goals. Overall, it appears that the design is visually appealing and would fit within the existing Mountain Village Design Theme.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

Staff: The applicant has updated their application materials to show the proposed development in relation to areas of the lot that are above 30 percent grade, shown on Sheet C-X. The proposed structures are located on a steep lot that is uphill from the existing access road. The steep nature of the lot led to a configuration that steps down the slope and maximizes the views and solar exposure of the home. The proposed

development utilizes several retaining walls to provide structural support. The applicant has sited the ADU on a flatter portion of the site in the southeast corner.

The proposed development takes access from AJ Drive to the north. the entire northern perimeter of the site is an area that exceeds 30 percent grade. To access the site from the existing drive, the applicant is requesting a design variation for the driveway grade to exceed the 8 percent maximum slope threshold. The applicant has indicated this is necessary to limit disturbance to the lot. This is discussed in more detail in the roads and driveway section (Section 17.6.6).

17.5.6: Building Design

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. The CDC requires roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

Staff: Staff comments regarding each of the relevant subsections are below.

Building Form:

The forms of the proposed residential structures follow alpine mountain designs that are well grounded to withstand the extreme natural forces of wind, snow, and heavy rain.

Exterior Wall Form:

The proposed development has exterior walls that are simple in design and portray a massing that is substantially grounded to the site.

Roof Form:

The shed roof for both structures is made of standing seam metal and has a roof plane with a 6:12 pitch. The main house provides a roof plane that is broken up into multiple parts to create visual interest. The detached ADU only has a single roof plane, however because of the relatively small footprint of the secondary structure, a single plane roof seems appropriate and cohesive with the overall design language.

Chimneys, Vent and Rooftop Equipment Design:

The applicant has indicated that the fireplace in the proposed main structure will be natural gas. The proposed equipment meets the requirements of the CDC.

Exterior Walls Materials and Color:

The exterior materials of both the main house and the ADU are proposed to incorporate vertical stained wood siding, dry stack Telluride gold stone veneer, and metal. The applicant has identified that the soffit will be wood. The applicant has also indicated that the fascia is made of metal and will require DRB specific approval.

Glazing:

The maximum window area of the building, including window and door glazing, is 21.84 percent of the total building façade for the main house and 23.12 percent for the ADU. Sheet A601 shows the window schedule. The application has been updated to indicate that the use of fiberglass on window trimming has been removed and the windows will have black aluminum clad wood window frames. These materials meet the requirements of the CDC.

Doors and Entryways:

The door and window schedule for both structures are shown on Sheet A900. The garage door is flush panel and meets the requirements of the CDC.

Decks and Balconies:

The proposed balconies and decks enhance the overall architecture of the building by creating variety and detail on the exterior elevations as outlined in the CDC.

Required Surveys and Inspections:

A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

17.5.7: Grading and Drainage Design

Staff: The site has an extreme grade change that slopes down towards AJ Drive. The applicant has provided an updated grading and drainage plan on sheet C2.1 and is proposing the use of retaining walls along the main building, two along the driveway entrance, and a large retaining wall along the parking areas of the driveway for both the main house and the ADU in an effort to work within the natural grade of the site.

The updated plan includes the dimensions of retaining walls. The tallest retaining wall is proposed to be five feet in height, which is the maximum allowed height. The applicant also proposes using a 2:1 slope technique to provide positive drainage away from the proposed structures without impacting adjacent properties. All retaining walls meet the required four-foot step between walls to allow for landscape softening. Staff recommends that the applicant revise the retaining walls not associated with the driveway to be screened with landscaping.

17.5.8: Parking Regulations

Staff: The applicant has shown two interior and two exterior parking spaces for the main house on their plan, per CDC requirements. The applicant also shows additional parking areas for the ADU along the proposed driveway. The parking meets the requirements of the CDC.

17.5.9: Landscaping Regulations

Staff: The site is currently heavily vegetated and any development would require the removal of a significant amount of the existing landscape. Forty-nine trees are proposed to be removed. The applicant has provided an updated landscape plant to mitigate for this which meets the diversity of species requirement of the CDC. The updated plan includes 15 Aspen trees, 6 Engelmann spruce, 12 Colorado spruce, and 36 shrubs from five differing species.

The applicant is proposing the use of a two-foot boulder wall along the firepit and a 2.5-foot boulder wall along the lawn area to the western edge of the property. The applicant has updated their plan to show the backyard walkway will stay within the property boundary connecting the sod yard along the main house to the driveway and will be made of natural compressed dirt.

The applicant notes that all disturbed areas will be re-vegetated and has included updated irrigation and seed notes that indicate that a native grass seed mix will be installed on the property. The applicant has noted that an underground, pressurized irrigation system will be provided, and all planting beds are to be irrigated with an automatic drip system. The applicant has indicated that all native seed areas are to be irrigated with rotors. Per Table 5-3 in Section 17.5.9.C.4.g, the review authority may require temporary irrigation and prohibit long-term watering of revegetated areas. This may be added as a condition for final approval.

The applicant has updated their plan according to Town Forrester comments to include a scale bar.

The applicant has not included fire mitigation zones in the landscaping plan. The applicant shall adhere to the requirements in Section 17.6.1 regarding fire mitigation. This is a requirement for final review.

Town Forrester: Some plants may be permitted in Zone 1 if they adhere to the requirements set by the CDC. No plants shall be installed underneath a window or vent. Best practices and standards recommend no plants be installed within 5 feet of the soffit edge and be a Colorado approved Firewise plant.



Figure 3: Updated Landscape Plan

17.5.11: Utilities

Staff: The utility plan is provided on Sheet A005. The plan shows that the proposed water, phone, electric, and sewer lines will cross the northern property line and will connect to existing lines on AJ Drive and then follow the driveway up to the structures. The applicant

is proposing two meter locations – one on the eastern edge of the main house along the driveway and the other on the western elevation for the ADU. The applicant has indicated that the architect and civil engineers are coordinating to field verify utility and meter locations as well as utility provider regulations. Staff understands that two meters are not allowable at one property address per building code, therefore a revised utility plan is required.

Public Works: The applicant shall field verify all existing utility locations.

17.5.12: Lighting Regulations

Staff: The applicant has updated their lighting plan provided on Sheets E102, E103, L101 and L102. The updated plan indicates a reduction of mounted lighting fixtures from 27 fixtures to 13 fixtures, removing all pathway lighting and string lights. Each fixture is proposed to be a recessed step light located along the retaining walls associated with both the driveway and the outdoor patio of the main house. All step lights are dark sky compliant and meet the requirements of the CDC, as shown on the full lighting description on Sheet L102.

The applicant has also revised their application materials to indicate outdoor lighting on upper floors, balconies, and decks. The revised lighting fixture is a downlit sconce that is dark sky compliant and meets the lumen limit requirements of the CDC, as shown on Sheets E102 and E103. Staff believes that the deck on level two has no access to grade, and therefore that fixture would need to be revised to show a step light. The applicant should verify. Otherwise the lighting as proposed appears to be meeting the requirements of the CDC.

17.5.13: Sign Regulations

Staff: The application materials have been updated to include the location and materials of the address monument. An address monument is proposed to be attached to the stone retaining wall located in the right of way, shown on Sheet L100. Insignificant encroachments in the road right of way are approvable by DRB as a specific approval. Any development within the right of way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.

Section 17.5.13E.4a.ii of the CDC permits address identification signs that are incorporated into stone retaining walls and located in the general easement if the address is readily visible from the right-of-way or access tract. The proposed lettering size meets the CDC requirement of 6". The updated application indicates that the lettering is to be no less than 54" from the finished grade, have contrasting colors from the retaining wall, and will have a reflective material outline from stainless steel. The address is proposed to be lit by a downlit wall light. The proposed address monument appears to meet the design requirements of the CDC.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: While an updated landscape plan was provided, Fire Mitigation zones were not indicated on the application materials. The Town Forester provided comments (as described in the Landscaping Section) regarding best practices for vegetation placement regarding fire safety. The applicant shall revise their landscape plan to show adherence to environmental regulations per the CDC as a condition of approval prior to final review.

Telluride Fire Protection District: A monitored automatic sprinkler system in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes shall be installed in both buildings.

A Certification of Rough Installation (CORI) from the Colorado Division of Fire Prevention and Control is required. The AHJ will inspect the on-site connection, installation, and final inspection. A monitored fire alarm system in accordance with NFPA 72, 2018 IFC, and TFPD amended codes for a group R-3 occupancy shall be installed and interconnected between buildings. A monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.

17.6.6: Roads and Driveway Standards

Staff: The applicant revised their application materials to address the grading of the driveway and to indicate updated grade percentages with driveway dimensions, shown on Sheet C2.1. The applicant has indicated that the location of the driveway is meant to prevent any right of way issues on the lot and to minimize the slope of the driveway entrance. The maximum proposed grade is 11.89 percent, which exceeds the allowable 8 percent. The proposed driveway also exceeds the allowable 5 percent grade within 20 feet from the edge of the public roadway, which will require a design variation approval from DRB. The applicant has indicated that they feel a strict application of the CDC regulations for driveway grade would result in a sump condition, given the extreme grade of the site. Therefore, the applicant is requesting a design variation be approved for a grade break at 11 feet from the edge of pavement rather than 20 feet.

Figure 4 below illustrates the proposed driveway and its associated grades. Areas of grade above 11% are indicated in red, areas with a grade between 10-11% are indicated in yellow, and areas with a grade below 10% are indicated in green.

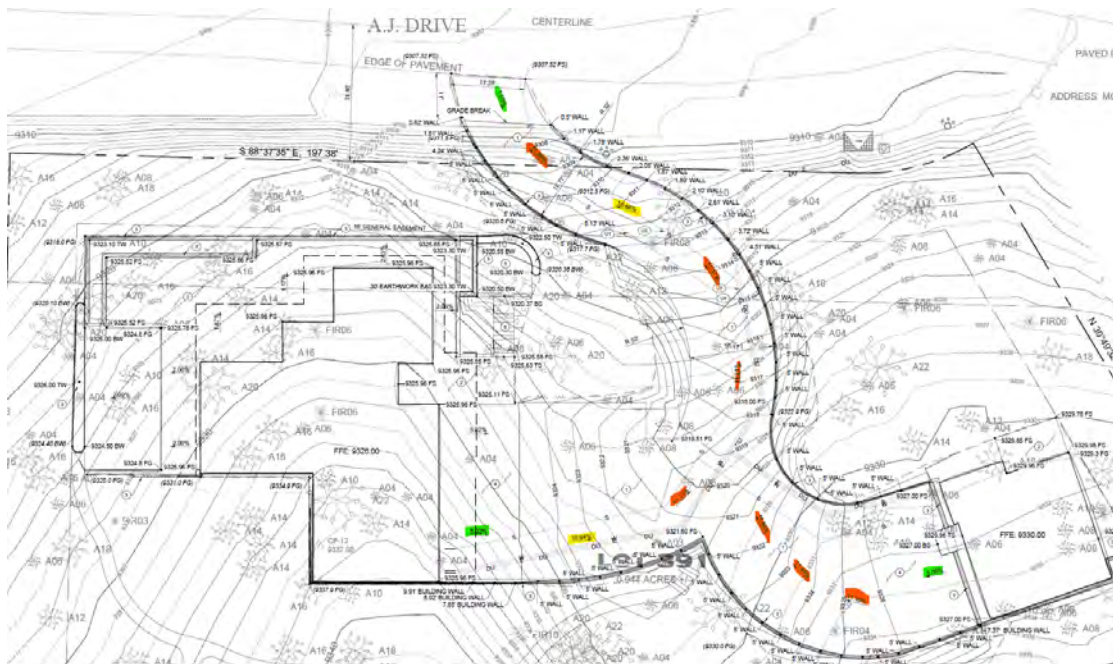


Figure 4: Driveway Plan

The applicant has updated materials to show the driveway width, which varies at the narrowest sections between 17' and 17.28'. This meets the 12' requirement for driveways. The applicant has also indicated that they are trying to avoid a snowmelt system given the scale of the driveway and the perspective that adding snowmelt will conflict with the Town's sustainability goals. The DRB should discuss if the revised driveway plan provides adequate transitions to slow and prevent skidding.

The Telluride Fire Protection District has indicated that the transitional section up to 12 percent is accepted if approved by the DRB, but any structure that requires above 10 percent grade is required to have sprinklers inside of the building.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that all fireplaces in the proposed structures will be natural gas and meet the requirements of the CDC.

Chapter 17.7: BUILDING REGULATIONS

17.7.20: Construction Mitigation

Staff: The applicant provided an updated construction mitigation plan on Sheet A007. The updated plan shows the required dumpster, material storage, bear proof trash and recycling, and a port-a-toilet. The updated plan also indicates a staging plan to mitigate the slope of the site and material storage, which is shown on Sheets C5.1 and C5.2.

The parking plan indicates five spots on the site. However, all of these are located in the current driveway, which is an area that won't be available for use until initial stages of construction are complete. The applicant will likely still need to work with the Town for roadside parking permits until the driveway is created. It is possible that until the driveway is created that at least some workers will need to be shuttled to the site from elsewhere.

The construction mitigation plan has also been updated to show appropriate silt protection through an Erosion Control Plan on Sheets C5.1 and C5.2. The plan also does not show tree protection measures for any trees that will remain on site. The plan should be revised to include these requirements prior to final review.

The plan also includes a 30' x 30' crane pad on the proposed driveway. The crane is proposed to be on site for 1-2 days and the applicant shall work with Town staff to make sure the crane swing doesn't impede the roadway. The applicant has also indicated that a swing radius will be provided prior to Final Review.

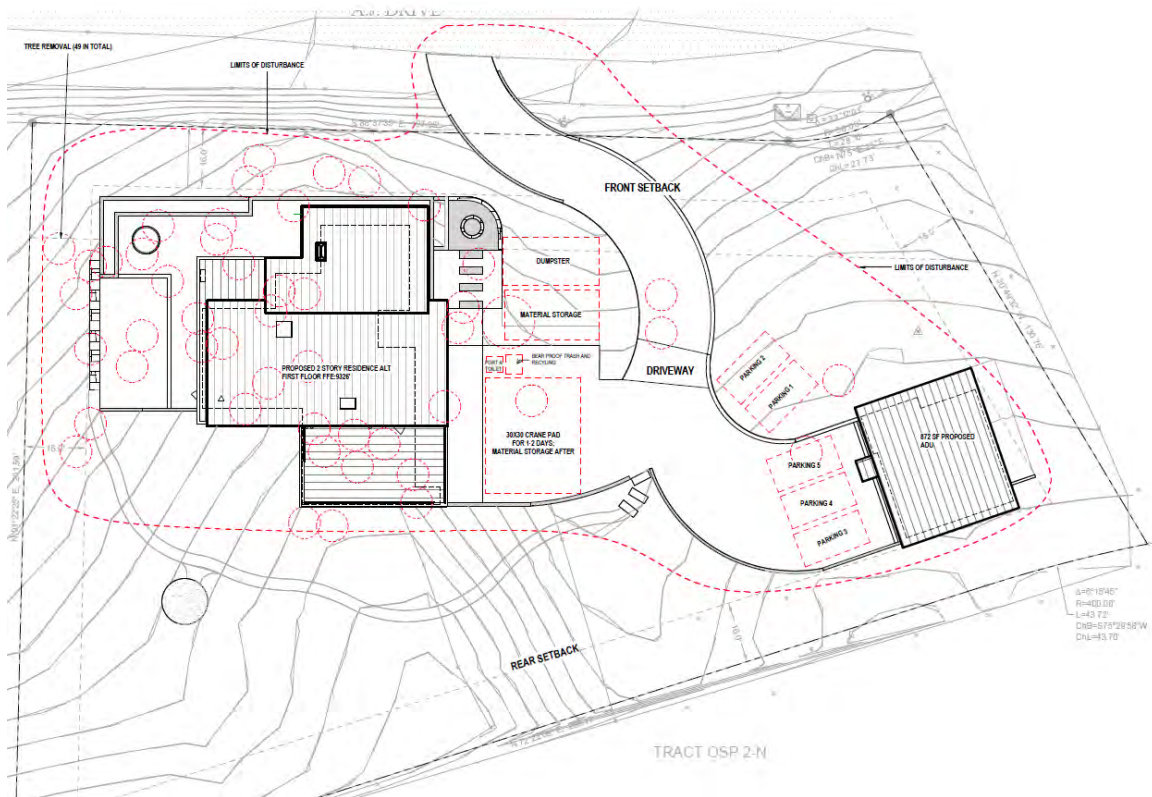


Figure 5: Updated Construction Mitigation Plan

Staff Recommendation: Staff recommends approval of the initial architectural review with conditions.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architecture and Site Review for a new single-family home located at Lot 391, 142 AJ Drive, based on the evidence provided in the staff memo of record dated March 30, 2023, and the findings of this meeting with the following design variation and specific approvals:

Design Variation:

- 1) Road and Driveway Standards – grade

Design Review Board Specific Approvals:

- 1) Right-of-way Encroachment – Address Monument and Retaining Walls
- 2) Materials - metal fascia

And, with the following conditions:

- 1) Prior to building permit, the applicant shall work with the Town to vacate the earthwork easement.

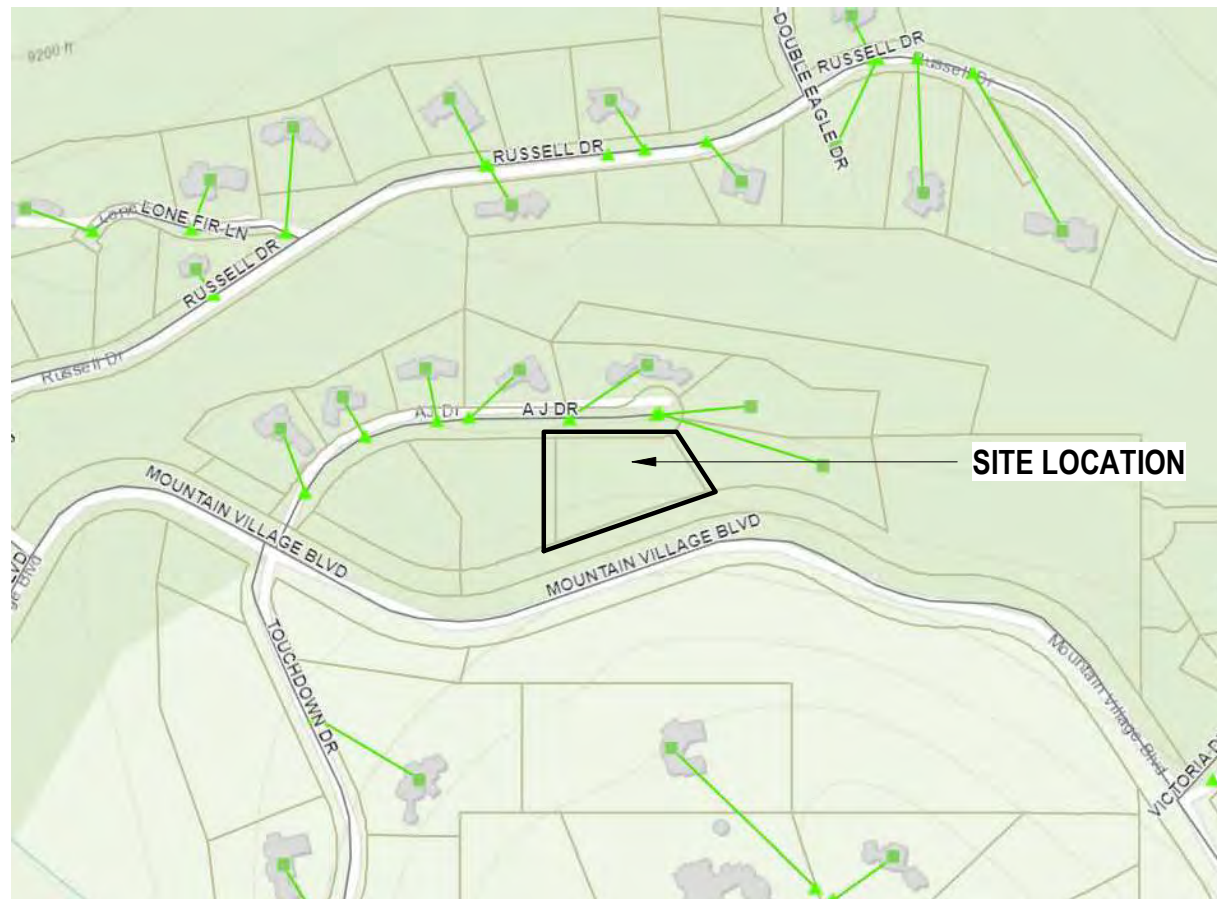
- 2) *Prior to final review, the applicant shall update the landscape plan to adhere to the fire mitigation requirements of Section 17.7.6.*
- 3) *Prior to final review, the applicant shall update the landscape plan so that all retaining walls not associated with the driveway be screened with landscaping.*
- 4) *Prior to final review the applicant will submit a revised utility plan that eliminates the 2nd instance of electrical metering.*
- 5) *Prior to final review the applicant will verify whether the level two deck has any direct access to grade and if necessary revise the lighting plan to eliminate wall sconces on level two and replace with step lights.*
- 6) *Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE.*
- 7) *The applicant shall work with service providers to field verify existing utility locations and ensure that two meter locations are allowed to be located on a site with the same address.*
- 8) *Prior to final review, the applicant shall provide a swing radius for the proposed crane on the construction mitigation plan.*
- 9) *A monitored automatic sprinkler system in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes shall be installed in both buildings.*
- 10) *A Certification of Rough Installation (CORI) from the Colorado Division of Fire Prevention and Control is required. The AHJ will inspect the on-site connection, installation, and final inspection.*
- 11) *A monitored fire alarm system in accordance with NFPA 72, 2018 IFC, and TFPD amended codes for a group R-3 occupancy shall be installed and interconnected between buildings. A monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.*
- 12) *A Knox Box for emergency access is recommended.*
- 13) *Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
- 14) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*
- 15) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
 - a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
 - b. *Wood that is stained in the approved color(s);*
 - c. *Any approved metal exterior material;*
 - d. *Roofing material(s); and*
 - e. *Any other approved exterior materials*
- 16) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*

ALPER WILLIAMS RESIDENCE + ACCESSORY DWELLING UNIT

DRB SET 03/13/2023

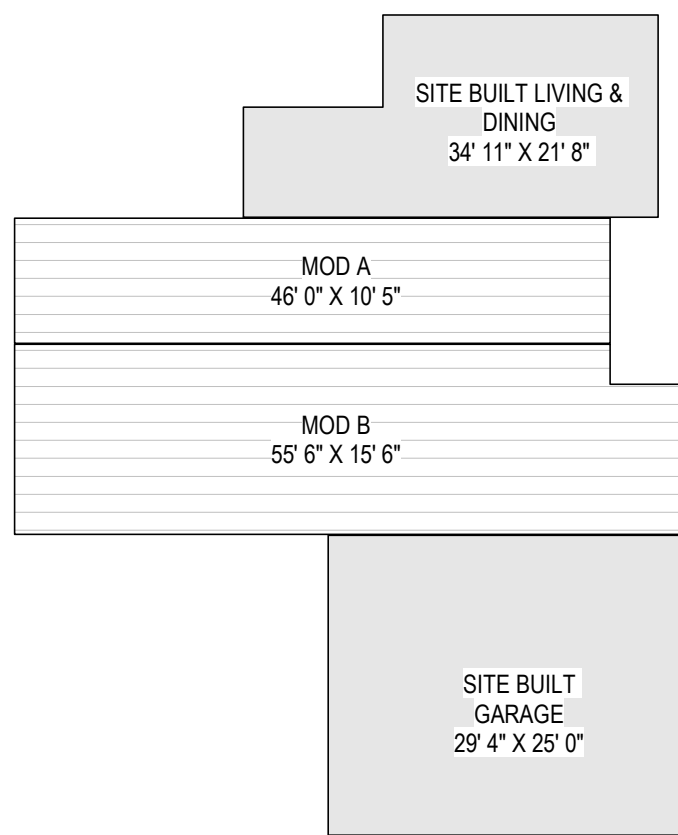


VICINITY MAP

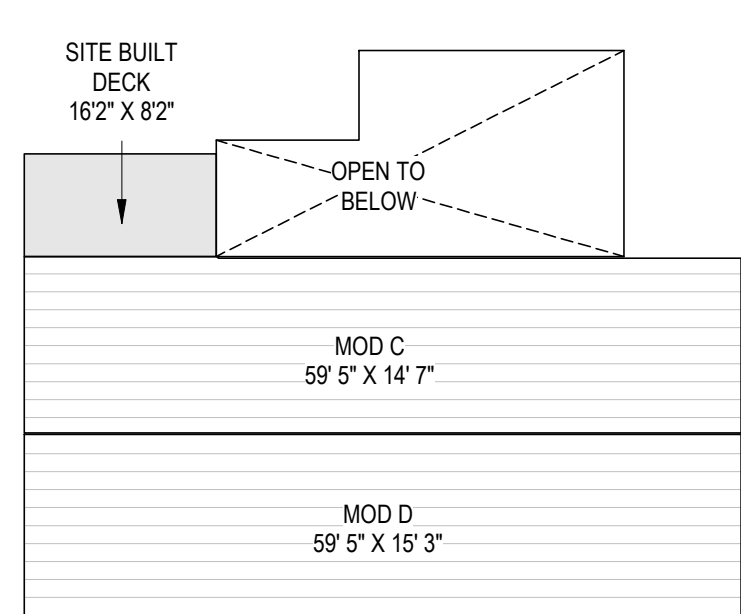


MODULAR KEY

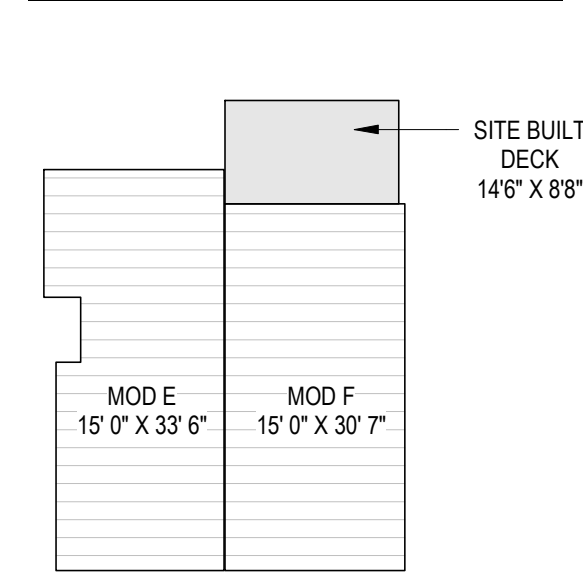
FIRST FLOOR MODULAR KEY PLAN



SECOND FLOOR MODULAR KEY PLAN



ADU MODULAR KEY PLAN



MATERIAL CALCULATIONS

	NORTH	EAST	SOUTH	WEST	TOTAL	%
STONE	975.56	418.49	194.94	479.29	2176.23	38.21%
WOOD	117.96	152.59	253.02	205.12	728.69	12.79%
METAL	428.38	571.96	184.5	362.12	1546.96	27.16%
GLASS	693.69	321.57	85.43	143.54	1244.23	21.84%
TOTAL					5696.11	100%

ADU MATERIAL CALCULATIONS

	NORTH	EAST	SOUTH	WEST	TOTAL	%
STONE	75.4	0	88.5	310.8	474.7	42.6%
WOOD	31	151	0	18.2	200.2	17.97%
METAL	99.9	32.4	16.7	32.7	181.7	16.31%
GLASS	128.1	70.6	20.8	38.2	257.7	23.12%
TOTAL					1114.3	100%

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SHEET NUMBER	SHEET NAME
00. COVER	
A000	COVER SHEET
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C-4.1	CIVIL - EROSION CONTROL PLAN
C-4.2	CIVIL - EROSION CONTROL DETAILS
C-X	CIVIL - SLOPE MAP EXHIBIT
L-001	TREE REMOVAL PLAN
L-100	LANDSCAPE PLAN
L-101	SITE LIGHTING PLAN
L-102	SITE LIGHTING INFORMATION
S-1	SURVEY - EXISTING CONDITIONS TOPOGRAPHIC SURVEY
S-2	SURVEY - EXISTING CONDITIONS SLOPE SURVEY
02. ARCHITECTURAL	
A002	MATERIAL BOARD
A003	RENDERINGS 01
A004	RENDERINGS 02
A005	SITE PLAN AND UTILITY ROUTING
A007	CONSTRUCTION MITIGATION PLAN
A100	FOUNDATION PLAN
A200	FIRST FLOOR PLAN
A201	SECOND FLOOR PLAN
A203	ADU FIRST FLOOR PLAN
A300	ROOF PLAN
A301	ROOF HEIGHT DIAGRAM
A302	3D HEIGHT DIAGRAM
A310	ADU ROOF PLAN & BUILDING HEIGHT DIAGRAM
A401	ELEVATIONS
A402	ELEVATIONS
A403	BUILDING ELEVATION & SECTION ADU
A500	BUILDING SECTIONS
A501	BUILDING SECTIONS
A502	BUILDING SECTIONS
A700	ENLARGED STAIR PLANS
A701	ARCHITECTURAL DETAILS
A702	ARCHITECTURAL DETAILS
A703	ARCHITECTURAL DETAILS
A704	ARCHITECTURAL DETAILS
A803	INTERIOR ELEVATIONS - BATH 2 & LAUNDRY
A900	DOOR/WINDOW SCHEDULE - MAIN HOUSE
A901	DOOR/WINDOW SCHEDULES - ADU
05. ELECTRICAL	
E102	1ST FLOOR EXTERIOR LIGHTING LAYOUT
E103	2ND FLOOR EXTERIOR LIGHTING PLAN

PROJECT TEAM

OWNER:	ELIZABETH ALPER AND JEFF WILLIAMS	ARCHITECT:	METHOD ARCH 95 YESLER WAY, SUITE 300 SEATTLE, WA 98104 CONTACT: ROHAN SHAH (661) 803-8389
SURVEY:	ALL POINTS LAND SURVEY LLC PO BOX 754 OPHIR CO 81435 970-708-9694	MODULAR CONTRACTOR:	METHOD HOMES 95 YESLER WAY, SUITE 300 SEATTLE, WA 98104 CONTACT: JOHN BACON (206) 789 - 5553
STRUCTURAL:	ASHLEY & VANCE ENGINEERING 1653 LUCERNE ST, SUITE D MINDEN, NV 89423 CONTACT: JAMES TEETER, (541) 647-1445	MODULAR PLANT LOCATION:	6819 NORTHGATE WAY FERNDALE, WA 98248
GEOTECHNICAL:	TRAUTNER GEOTECHNICAL 649 TECH CENTER DR, SUITE A DURANGO, CO 81301 JON TRAUTNER, 970-259-5095	GENERAL CONTRACTOR:	TBD
LANDSCAPE:	VERTICAL ARTS ARCHITECTURE 690 MARKETPLACE PLAZA, SUITE 1 STEAMBOAT SPRINGS, CO 80487 MITCH REWOLD, 970 871 0056		

PROJECT

PROJECT ADDRESS:	142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435
PROJECT DESCRIPTION:	CONSTRUCTION OF A NEW TWO-STORY SINGLE FAMILY PREFABRICATED MODULAR RESIDENCE AND DETACHED ACCESSORY DWELLING UNIT CONSTRUCTED OFF SITE AND INSTALLED ON SITE BUILT FOUNDATION
PARCEL NO.:	477904112448
ABBREVIATED LEGAL DESCRIPTION:	LOT 391 TOWN OF MOUNTAIN VILLAGE FILING 38 PLAT BK 1 PG 2146 CONT 0.944 ACRES MOL 10 22 96
TYPE OF CONSTRUCTION:	TYPE V-B
SPRINKLERED:	YES
STATE:	COLORADO

THE PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES:

2018 International Building Code, International Residential Code, International Energy Conservation Code

Electrical Code:
2017 NEC with amendments

Mechanical Codes:
2018 International Mechanical Code, International Fuel Gas Code, International Residential Code Parts V & VI

Plumbing Code:
2017 Idaho State Plumbing Code based on the 2015 Uniform Plumbing Code.

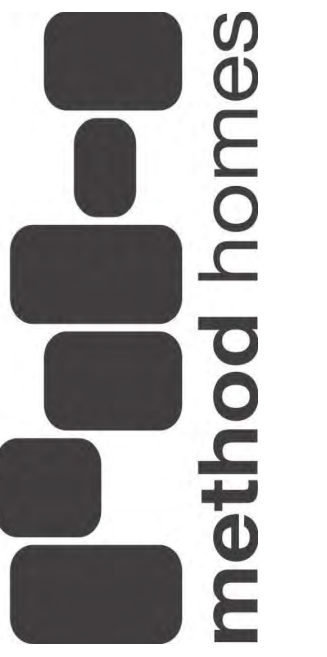
Fire Code (administered by the Idaho State Fire Marshal):
2018 International Fire Code

PROJECT DATA PER MOUNTAIN VILLAGE REQUIREMENTS

LOT SIZE	0.94 ACRES	40946.4 SQ FT
ALLOWABLE MAX LOT CVG	40% = 16378.56 SQ FT (40946.4 * 0.40)	
PROPOSED LOT COVERAGE:	36.3%(14861/40946.4) INCLUDES DRIVEWAY	
EXISTING LOT COVERAGE:	0 (VACANT LOT)	
GROSS LOT COVERAGE:	9096 SF (INCLUDES WALKWAYS AND OUTDOOR LIVING AREAS; EXCLUDES DRIVEWAY)	
TOTAL IMPERVIOUS AREA:	14997 SF (IMPERVIOUS AND PERVIOUS SURFACE)	
LIVEABLE SQUARE FOOTAGE:	3716 SF MAIN HOUSE + 861 SF ADU = 4577 SF (ALL CONDITIONED AREA)	
ALLOWABLE MAX HEIGHT:	35'-0"	
PROPOSED MAX HEIGHT:	29'-0"	
ALLOWABLE MAX AVG HEIGHT:	30'-0"	
PROPOSED AVERAGE HEIGHT:	20'-4"	
SIDE SETBACK	16 FT	
FRONT SETBACK	16 FT	
REAR SETBACK	16 FT	
PARKING:	2 COVERED & 2 UNCOVERED SPACES REQUIRED AND PROVIDED	
BUILDING AREA OF MAIN HOUSE:	(3716+733)= 4449 SF	
BUILDING AREA OF ADU:	(4363 SF X 20%)= 872.6 SF MAX 861 SF PROPOSED	

BUILDING AREA

CONDITIONED SPACE		IMPERVIOUS AREA	
SITE BUILT LIVING AND DINING	608 SF	ADU- DECK	349 SF
MOD-A- CONDITIONED	479 SF	ADU-ROOF	1240 SF
MOD-B- CONDITIONED	860 SF	FIREPIT	267 SF
MOD-C- CONDITIONED	862 SF	GARAGE ROOF	823 SF
MOD-D- CONDITIONED	906 SF	MOD ROOF	1922 SF
ADU-MOD-E- CONDITIONED	418 SF	PERVIOUS DECK	3095 SF
ADU-MOD-F- CONDITIONED	443 SF	PROPOSED DRIVEWAY	5901 SF
TOTAL CONDITIONED SPACE: 7	4577 SF	ROOF @ OUTDOOR DINING	312 SF
		ROOF DECK	132 SF
		SITE BUILT LIVING AND DINING ROOF	955 SF
		TOTAL IMPERVIOUS AREA: 10	14997 SF
UNCONDITIONED SPACE			
SITE BUILT GARAGE	733 SF		
TOTAL UNCONDITIONED SPACE: 1	733 SF		



METHOD HOMES
95 YESLER WAY
SUITE 300
SEATTLE, WA 98104
T. 206.789.5553

ALPER - WILLIAMS RESIDENCE
142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

DRB SUBMITTAL

No.	Description	Date

COVER SHEET

Client: ALPER - WILLIAMS
Date: 02.03.2023

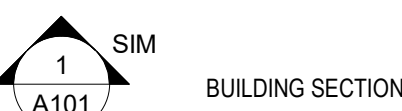
A000

Scale: As indicated

ABBREVIATIONS

ABV	ABOVE	MC	MEDICINE CABINET
ADH	ADHESIVE	MED	MEDIUM
ADJ	ADJUSTABLE	MDF	MEDIUM DENSITY FIBERBD.
AGG	AGGREGATE	MDO	MEDIUM DENSITY OVERLAY
AHJ	AUTHORITY HAVING JURISDICTION	MBR	MEMBER
A/C	AIR CONDITIONING	MBL	MEMBRANE
ALT	ALTERNATE	MTL	METAL
ALU	ALUMINUM	MWK	WORK
ANC	ANCHOR, ANCHORAGE	MIN	MINIMUM
AB	ANCHOR BOLT	MIR	MIRROR
ANOD	ANODIZED	MIS	MISCELLANEOUS
APX	APPROXIMATE	MLD	MOULDING
ARCH	ARCHITECT (URAL)	MLB	MIL LAMINATED BEAM
ASPH	ASPHALT	NOM	NORMAL
AUTO	AUTOMATIC	N	NORTH
AWN	AWNING	NIC	NOT IN CONTRACT
BSMT	BASEMENT	NTS	NOT TO SCALE
BL	BLEND	NO.#	NUMBER
BLV	BEVELED	O	NON-OPERABLE WINDOW SECTION
BLK	BLOCKED	OBS	OBSCURE
BLKG	BLOCKING	OC	ON CENTER
BLW	BELOW	OP	OPQUE
BTW	BETWEEN	OPG	OPENING
BD	BOARD	OSB	ORIENTATED STRAND BOARD
BOT	BOTTOM	OD	OUTSIDE DIAMETER
BLDG	BUILDING	PNT	PAINT (ED)
BUR	BUILT UP ROOFING	PBD	PARTICLE BOARD
B/C	BUTTERS	PR	PARTITION
CAB	CABINET	PVMT	PAVEMENT
CRPT	CARPET	PERF	PERFORATE (D)
CLK	CAULK (ING)	PLAS	PLASTER
CAS	CASEMENT	PLAM	PLASTIC LAMINATE
CB	CATCH BASIN	PLT	PLATE
CEL	CEILING	PLY	PLYWOOD
CT	CERAMIC TITLE	PCC	PRECAST CONCRETE
CIR	CIRCLE	PCF	POUNDS PER CUBIC FOOT
CLR	CLEAR (ANCE)	PLF	POUNDS PER LINEAL FOOT
COL	COLUMN	PSF	POUNDS PER SQUARE FOOT
CONC	CONCRETE	PSI	POUNDS PER SQUARE INCH
CMU	CONCRETE MASONRY UNIT	PFB	PREFABRICATED
CONT	CONTINUOUS OR CONTINUE	PRF	PREFORMED
CJT	CONTROL JOINT	PT	PRESSURE TREATED
CORR	CORRUGATED	PL	PROPERTY LINE
CUT	CUBIC FOOT	PH	TOILET PAPER HANGER
CYD	CYBIC YARD	QTY	QUANTITY
DP	DAMP/PROOFING	QT	QUARRY TILE
DTL	DETAIL	RAD	RADIUS
DIA	DIAMETER	REF	REFERENCE
DM	DIMENSION	REFL	REFLECT (ED) (IVE), (OR)
DISW	DISHWASHER	REFR	REFRIGERATOR
DIV	DIVISION	REG	REGISTER
DR	DOOR	RE	REINFORCED
DH	DOUBLE HUNG	REQD	REQUIRED
DOWN	DOWN AIR	RET	RETURN AIR
DRWR	DRAWER	REV	REVISION (S), REVISED
DT	DRAIN TILE	R	RISER
DWG	DRAWING	RD	ROAD
D	NAIL SIZE	RFG	ROOFING
EW	EAST	ROI	ROOM
E	ELEVATION	RO	ROUGH OPENING
EL	EQUAL	SCH	SCHEDULE
EQ	EQUAL	SN	SCREEN
EQUIP	EQUIPMENT	SECT	SECTION
EXCV	EXCAVATE	SGL	SLIDING GLASS DOOR
EXH	EXHAUST	SHT	SHEETHING
EXIST	EXISTING	SHT	SHEET
EXT	EXTERIOR	SH	SHELF, SHELIVING
FOC	FACE OF CONCRETE	SHL	SHIM
FOT	FACE OF FRAMING	SKM	SKY LIGHT
FOE	FACE OF MASONRY	SKL	SKYLIGHT
FOM	FACE OF WALL	S	SLAB
FBD	FIBERBOARD	SLB	SLIDER (ING)
FGL	FIBERGLASS	SPEC	SPEIFICATION
FIN	FINISH (ED)	SQ	SQUARE
FND	FINISHED FLOOR ELEVATION	ST	STANDARD
FE	FIRE ALARM	STV	STOVE
FE	FIRE EXTINGUISHER	STL	STEEL
FPL	FIRE PLACE	STR	STRUCTURAL
FLSH	FLASHING	SA	SUPPLY AIR
CLR	FLOOR (ING)	SC	SOLID CORE
FLOR	FLUORESCENT	SW	SHEAR WALL
FT	FOOT, FEET	SS	STAINLESS STEEL
FTG	FOOTING	SYS	SYSTEM
FND	FOUNDATION	TEL	TELEPHONE
TRNG	FLOOR (ING)	TEMP	TEMPERATURE
FBO	FURNISHED BY OTHERS	T&G	TONGUE & GROOVE
FUR	FURRED (ING)	T/O	TOP OF
GA	GAGE, GAUGE	TOC	TOP OF CONCRETE
GAL	GALLON	TOW	TOP OF WALL
GALV	GALVANIZED	TB	TOWEL BAR
GL	GLASS, GLAZING	T	THREAD
GI	GALVANIZED IRON	TS	TUBULAR STEEL
GLBK	GLASS BLOCK	TYP	TYPICAL
GLB	GLUE LAMINATED BEAM	UL	UNDERWRITERS LABORATORY
GT	GROUT	UNF	UNFINISHED
GRD	GRADE, GRADING	UNO	UNLESS NOTED OTHERWISE
GWB	GYPSPUM WALL BOARD	VB	VAPOR BAR
HDW	HARDWARE	VAR	VARNISH
HDR	HEADER	VRN	VENEER
HTG	HEATING	VERT	VERTICAL
HVAC	HEATING/VENTILATION-AIR CONDITIONING	VENT	VENTILATION
H	HEIGHT	VIN	VINYL SHEET
HC	HOLLOW CORE	WL	WALL
HOR	HORIZONTAL	WC	WATER CLOSET
H	HOUSE BIB	WH	WATER HEATER
IN	INCH	WP	WATER PROOFING
INCL	INCLUDE (D), (ING)	WR	WATER RESISTANT
ID	INSIDE DIAMETER	WWF	WELDED WIRDED FABRIC
INS	INSULATE (D), (ION)	WWM	WELDED WIRE MESH
INT	INTERIOR	W	WEST
INV	INVERT	WN	WINDOW
JNT	JOINT	W/O	WITHOUT
JST	JOIST	W	WITH
KD	KILN DRIED	WO	WOOD
KIT	KITCHEN	X	OPERABLE WINDOW SECTION
K	KITCHEN		
LAM	LAMINATE (D)		
LAV	LAVATORY		
LH	LEFT HAND		
L	LENGTH		
LO	LENGTH OVER ALL		
LT	LIGHT		
LF	LINEAL FEET		
L	LIVE LOAD		
LVL	LAMINATE VENEER LUMBER		
LVR	LOUVER		
MFR	MANUFACTURER		
MO	MASONRY OPENING		
MAX	MAXIMUM		
MAS	MASONRY		
MECH	MECHANIC (AL)		

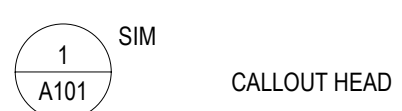
LEGEND



BUILDING SECTION

INTERIOR ELEVATION

DOOR TAG



CALLOUT HEAD

EXTERIOR ELEVATION

WINDOW TAG

GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON THE DRAWINGS AND SPECIFICATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE THE GENERAL NOTES WITH THE WORK OF ALL TRADES, INCLUDING BUT NOT LIMITED TO THE MECHANICAL, ELECTRICAL, PLUMBING, FOOD SERVICE, AND ACOUSTICAL TRADES.
- THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREOF. THE CONTRACTOR SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE OWNER / ARCHITECT OF CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACCURATE PLACEMENT OF THE BUILDING ON THE SITE.
- WHERE DISCREPANCIES EXIST BETWEEN THE DRAWINGS OF VARIOUS DISCIPLINES, ARCHITECTURAL DRAWINGS SHALL GENERALLY BE ASSUMED TO GOVERN. IN SUCH INSTANCES, THE CONTRACTOR SHALL CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- CONDITIONS WHICH ARE NOT DETAILED SHALL BE ASSUMED TO BE SIMILAR IN CHARACTER TO THOSE WHICH ARE. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- CONSTRUCTION OF WORK INDICATED ON DRAWINGS AS (NIC) IS NOT IN CONTRACT. THE CONTRACTOR SHALL COORDINATE ALL TRADES OF HIS WORK, WHETHER DIRECTLY OR INDIRECTLY INVOLVED, WITH (NIC) WORK.
- WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE CODES AND GOVERNING AUTHORITIES AND SHALL BE OF BEST PRACTICE OF EACH TRADE.
- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER DRAWN SPACE. DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR IS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- FINISHED FLOOR ELEVATIONS ARE TO TOP OF SUBFLOOR (WOOD / STEEL) OR TOP OF SLAB (CONCRETE) UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK UP PLATES, AND SUPPORTING BRACKETS REQUIRED FOR THE BEST POSSIBLE INSTALLATION OF ALL TOILET ROOM ACCESSORIES AND PARTITIONS, OWNER-FURNISHED ITEMS, AND ALL WALL-MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL, OR MISCELLANEOUS EQUIPMENT.
- THE FLAME SPREAD RATING FOR ALL MATERIALS SHALL CONFORM TO ALL APPLICABLE CODES.
- REFER TO CERTIFIED MECHANICAL AND ELECTRICAL DRAWINGS AND MANUFACTURERS' SPECIFICATIONS FOR ALL MECHANICAL AND ELECTRICAL EQUIPMENT SUPPORTS, BOLT SET/UP TEMPLATES, SPRING AND VIBRATION ISOLATORS, ETC, NOT SHOWN ON DRAWINGS.
- PROVIDE PROPER ANCHORAGE OF ESSENTIAL EQUIPMENT IN ACCORDANCE WITH APPLICABLE CODES.
- ALL PIPE DUCTS, BUSS DUCTS, AND CONDUITS THAT PENETRATE FLOOR SLABS AND/OR RATED WALLS SHALL BE INSTALLED IN A MANNER WHICH WILL PRESERVE THE FIRE RESISTIVE AND STRUCTURAL INTEGRITY OF THE BUILDING.
- COORDINATE PLACEMENT OF ALL CEILING ELEMENTS WITH MECHANICAL, ELECTRICAL, AND CEILING INSTALLER. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS AND INSTALLATION, THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- PROVIDE ACCESS PANELS FOR MECHANICAL AND ELECTRICAL EQUIPMENT AS REQUIRED BY APPLICABLE CODES. ALL ACCESS PANELS SHALL BE CONCEALED AND LOCATIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO START OF WORK. ELECTRICAL / BOXES, PLUMBING CLEANOUTS, FIRE DAMPERS, AND OTHER SIMILAR ITEMS REQUIRING ACCESS ARE NOT TO BE LOCATED ABOVE GWB OR SIMILAR CEILINGS.
- CONTRACTOR SHALL SUBMIT TO THE ARCHITECT PRIOR TO STARTING THE WORK COMPREHENSIVE LAYOUT DRAWINGS INDICATING DIMENSIONAL LOCATION OF ALL VISIBLE BUILDING ELECTRICAL, AUTOMATION, SECURITY, LIFE SAFETY, CONTROL, ETC. EQUIPMENT.
- CONTRACTOR SHALL COORDINATE AND PROVIDE ALL SLAB AND WALL OPENINGS REQUIRED BY MECHANICAL AND ELECTRICAL CONTRACTORS.
- THE INSULATION CONTRACTOR SHALL PROVIDE CERTIFICATE OF COMPLIANCE TO THE ARCHITECT / OWNER UPON COMPLETION OF WORK.
- CONTRACTOR SHALL VERIFY ALL CONCRETE / MASONRY OPENINGS PRIOR TO FABRICATION OF DOORS AND FRAMES.
- ALL DISSIMILAR METALS SHALL BE ISOLATED FROM ONE ANOTHER TO PREVENT GALVANIC ACTION AND/OR BREAKDOWN.
- ROOF OBSTRUCTION SUCH AS TELEVISION ANTENNAS OR GUY WIRES SHALL NOT BE INSTALLED IN A MANNER OBSTRUCTING FIRE DEPARTMENT ACCESS OR EGRESS.
- PROVIDE COLLISION BARRIERS ADEQUATE TO PROTECT ALL CONTROL METERS, REGULATORS, AND PIPING FOR HAZARDOUS MATERIALS THAT ARE EXPOSED TO VEHICULAR DAMAGE. CONSULT WITH ARCHITECT PRIOR TO INSULATING.
- ALL MASONRY DIMENSIONS ARE NOMINAL.
- CEILING HEIGHT DIMENSIONS ARE FROM DESIGNED FINISH FLOOR TO FINISHED CEILING SURFACES U.O.N.
- WHERE REQUIRED, DOORS OPENING INTO REQUIRED FIRE-RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SELF-CLOSING SMOKE AND DRAFT CONTROL ASSEMBLY HAVING A RATING & S LABEL IN ACCORDANCE WITH WALL ASSEMBLY.
- PROVIDE FIRE DAMPERS OR DOORS WHERE DUCTS PENETRATE FIRE RATED WALLS OR CEILINGS U.O.N.
- ALL ELEVATOR OPENINGS SHALL BE CERTIFIED BY THE ELEVATOR SUBCONTRACTOR PRIOR TO FRAMING. IF MODIFICATIONS ARE REQUIRED, THE CONTRACTOR SHALL BRING SUCH MODIFICATIONS TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL PROVIDE ALL REQUIRED SIGNAGE (MAXIMUM OCCUPANT LOAD, BUILDING ASSEMBLY, ETC) AS REQUIRED BY LOCAL BUILDING CODE AUTHORITY IN ORDER TO RECEIVE PERMANENT PROJECT OCCUPANCY.
- ALL SURFACES EXPOSED TO VIEW SHALL BE PROVIDED WITH A FINISHED CONDITION (PAINTED, SEALED, ETC).
- DEMOLITION / CONSTRUCTION SHALL CONFORM WITH CHAPTERS 33 II-C AND 33 113.C.
- SEE DRAWINGS FOR NOTES REGARDING WALL TYPES AND PARTITIONS.

ARCHITECTURAL NOTES

CODES
ALL WORK SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE (I.R.C.) CURRENT EDITION, AND ANY LOCAL OR STATE AMENDMENTS TO THE CODE. IN ADDITION THE CURRENT VERSIONS OF THE CODES COVERING PLUMBING, MECHANICAL, ELECTRICAL, FIRE AND ENERGY CONSERVATION SHALL BE FOLLOWED. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE BUILDING CODES. WORK SHALL BE DONE TO CURRENT AREA WIDE STANDARDS AND PRACTICES BY EXPERIENCED CRAFTSMEN.

SCOPE
THESE DOCUMENTS ARE OF LIMITED SCOPE AND DO NOT COVER ALL CONSTRUCTION DETAILS. CONDITIONS, FINISHES OR PRACTICES. THE CONTRACTOR IS ASSUMED TO USE GOOD JUDGMENT IN THE EXECUTION OF THESE DOCUMENTS. GROUP/ARCHITECT (THE ARCHITECT) SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THE MISINTERPRETATIONS OF THESE DOCUMENTS. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND NEW DIMENSIONS AND JOB CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCE OR PROCEDURES REQUIRED TO PERFORM THE WORK.

GRADING
GRADE EXTERIOR CONSTRUCTION AREA OF PROPERTY TO REASONABLY TRUE AND EVEN SURFACES. SLOPE GROUND AWAY FROM BUILDING WALLS TO FACILITATE DRAINAGE. GRADE TO UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE GRADES ARE NOTED ON DRAWINGS. ROUND SURFACES AT ABRUPT CHANGES IN LEVEL.

BACKFILL BEHIND RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.

CUT SLOPES FOR PERMANENT EXCAVATIONS SHALL NOT BE STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL AND SLOPES FOR PERMANENT FILLS SHALL NOT BE STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL UNLESS SUBSTANTIATING DATA JUSTIFYING STEEPER SLOPES ARE SUBMITTED.

FOUNDATIONS
ALSO SEE STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

FOUNDATION FOOTINGS SHALL BE PLACED UPON FIRM, UNDISTURBED NATIVE SOIL. NOTIFY ARCHITECT IF UNDISTURBED SOIL DEPTH IS DIFFERENT FORM DRAWINGS. MINIMUM FOOTING DEPTH 18" BELOW ADJACENT FINISH GRADE.

FOUNDATIONS SUPPORTING WOOD SHALL EXTEND AT LEAST 8 INCHES ABOVE THE ADJACENT FINISH GRADE.

FOUNDATIONS FOR ALL BUILDINGS WHERE THE SURFACE OF THE GROUND SLOPES MORE THAN 1 FOOT IN 10 FEET SHALL BE LEVEL, OR SHALL BE STEPPED SO THAT BOTH TOP AND BOTTOM OF SUCH FOUNDATION ARE LEVEL.

INDIVIDUAL CONCRETE PIER FOOTINGS SHALL PROJECT A MINIMUM OF 8 INCHES ABOVE EXPOSED GROUND UNLESS THE COLUMNS OR POSTS IN WHICH THEY SUPPORT ARE OF APPROVED WOOD OF NATURAL RESISTANCE TO DECAY OR TREATED WOOD.

COLUMNS AND POSTS LOCATED ON CONCRETE OR MASONRY FLOORS OR DECKS EXPOSED TO THE WEATHER OR TO WATER SPLASH OR IN BASEMENTS AND WHICH SUPPORT PERMANENT STRUCTURES SHALL BE SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS PROJECTING ABOVE FLOORS UNLESS APPROVED WOOD OF NATURAL RESISTANCE TO DECAY OR TREATED WOOD IS USED. THE PEDESTALS SHALL PROJECT AT LEAST 6 INCHES ABOVE EXPOSED EARTH AND AT LEAST 1 INCH ABOVE SUCH FLOORS.

WOOD
ALSO SEE STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

ALL LUMBER, PLYWOOD, PARTICLEBOARD, STRUCTURAL GLUED-LAMINATED TIMBER, AND JOINED LUMBER, FIBERBOARD SHEATHING (WHEN USED STRUCTURALLY), HARDBOARD SIDING (WHEN USED STRUCTURALLY), PILES AND POLES SHALL CONFORM TO THE APPLICABLE STANDARDS OR GRADING RULES SPECIFIED IN THE I.R.C. AND SHALL BE SO IDENTIFIED BY THE GRADE MARK OR A CERTIFICATE OF INSPECTION ISSUED BY AN APPROVED AGENCY.

ALL LUMBER, TIMBER, PLYWOOD, AND POLES REQUIRED TO BE TREATED WOOD UNDER SHALL BE IDENTIFIED BY THE QUALITY MARK OF AN APPROVED INSPECTION AGENCY WHICH MAINTAINS CONTINUED SUPERVISION, TESTING, AND INSPECTION OVER THE QUALITY OF THE PRODUCT AS SPECIFIED IN I.R.C.

DELIVERY AND STORAGE: KEEP MATERIALS UNDER COVER AND DRY. PROTECT AGAINST EXPOSURE TO WEATHER AND CONTACT WITH DAMP OR WET SURFACES. STACK LUMBER AS WELL AS PLYWOOD AND OTHER PANELS. PROVIDE FOR AIR CIRCULATION WITHIN AND AROUND STACKS AND UNDER TEMPORARY COVERINGS INCLUDING POLYETHYLENE AND SIMILAR MATERIALS.

FRAME NAILING TO BE IN COMPLIANCE WITH TABLE 602.3(1), I.R.C.

WOOD MEMBERS ENTERING MASONRY OR CONCRETE REQUIRES ONE-HALF INCH NET AIR SPACE ON TOP, SIDES, AND END.

FOR CONVENTIONAL CONSTRUCTION, THE ENDS OF EACH JOIST SHALL HAVE NOT LESS THAN 1-1/2 INCHES OF BEARING ON WOOD OR METAL, NOR LESS THAN 3 INCHES ON MASONRY EXCEPT WHERE SUPPORTED ON A 1 X 4 RIBBON STRIP Nailed TO ADJOINING STUD. BEARING PARTITIONS PERPENDICULAR TO JOISTS SHALL NOT BE OFFSET FROM SUPPORTING GIRDERS, WALLS, OR PARTITIONS MORE THAN JOIST DEPTH.

JOISTS UNDER AND PARALLEL TO BEARING PARTITIONS SHALL BE DOUBLED.

SOLID BLOCKING SHALL BE PROVIDED OVER BEARING PARTITIONS, WALLS, AND BEAMS.

FIRE BLOCKING AND DRAFT STOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AND EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN TOP STORY AND A ROOF OR ATTIC SPACE. FIRE BLOCKING SHALL CONSIST OF 2 INCH NOMINAL LUMBER. FIRE BLOCKING SHALL BE REQUIRED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10 FOOT INTERVALS BOTH HORIZONTALLY AND VERTICALLY; AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS; BETWEEN STAIR STRINGERS AT TOP AND BOTTOM AND ALONG RUN BETWEEN STUDS; IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WITH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NON-COMBUSTIBLE MATERIALS.

ALL WOOD EXPOSED TO WEATHER, SUCH AS WOOD USED FOR DECK FRAMING INCI LINDING DECKING, RAILINGS, JOISTS, REAMS, AND POSTS SHAH BE PRESSURE TREATED OR CEDAR PER I.R.C. ROOF

ROOF SHEATHING SHALL BE IN ACCORDANCE WITH I.R.C. PLYWOOD ROOF SHEATHING EXPOSED ON THE UNDERSIDE SHALL BE BONDED WITH EXTERIOR GLUE. APPLICATION OF ROOF COVERING MATERIALS SHALL BE IN ACCORDANCE WITH I.R.C.

THE NET FREE VENTILATING AREA OF ENCLOSED RAFTER OR ATTIC SPACES OR OTHER ENCLOSED BUT UNHEATED SPACES SHALL BE NOT LESS THAN 1/10 OF THE AREA OF EACH SPACE TO BE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/300, PROVIDED THAT 50% OF THE REQUIRED VENTILATING AREA IS LOCATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE BEING PROVIDED BY THE EAVE OR CORNICE VENTS, OR IF A VAPOR RETARDER NOT EXCEEDING A PERM RATING IS INSTALLED ON THE WARM SIDE OF THE INSULATION. THE VENT AREA OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4 INCH IN DIAMETER.

EGRESS
EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE. ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES. WHERE WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

ALL CORRIDORS SHALL BE NOT LESS THAN 36 INCHES WIDE.

STAIRWAYS & RAILS
MAXIMUM RISE 7-3/4 INCHES. MINIMUM RUN 10 INCHES; HEADROOM MINIMUM 6 FEET 8 INCHES; MINIMUM WIDTH 36 INCHES. HANDRAILS TO HAVE ENDS RETURNED AND PLACED MINIMUM 34 INCHES. MAXIMUM 38 INCHES ABOVE TREAD NOSING, UNLESS DESIGNATED FOR THE DISABLED. THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1-1/4 INCHES NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.

A FLOOR OR LANDING IS REQUIRED ON EACH SIDE OF AN EXTERIOR DOOR. AN EXTERIOR DOOR MAY OPEN AT A LANDING THAT IS NOT MORE THAN 7-3/4 INCHES LOWER THAN THE FLOOR LEVEL, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING.

STAIRS AND EXIT BALCONIES SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE AT 8 FEET ON CENTER MAX, OR BE DESIGNED FOR LATERAL FORCES, SUCH ATTACHMENT SHALL NOT BE ACCOMPLISHED BY USE OF TOENAILS OR NAILS SUBJECT TO WITHDRAWAL.

GLAZING
SAFETY GLASS COMPLYING WITH IS REQUIRED IN THE FOLLOWING LOCATIONS:
A. GLAZING IN EGRESS AND INGRESS DOORS EXCEPT JALOUSIES.
B. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS.
C. GLAZING IN STORM DOORS.
D. GLAZING IN UNFRAMED SWINGING DOORS.
E. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS.

GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSED THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE DRAIN INLET.
F. GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
G. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS E AND F ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS: EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR. EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.
H. GLAZING IN RAILINGS REGARDLESS OF HEIGHT ABOVE THE WALKING SURFACE.

EXCEPTION. THE FOLLOWING PRODUCTS AND APPLICATIONS ARE EXEMPT FROM THE REQUIREMENTS FOR HAZARDOUS LOCATIONS AS LISTED IN ITEMS A THROUGH G:

GLAZING IN ITEM F WHEN THERE IS AN INTERVENING WALL OR OTHER PERMANENT BARRIER BETWEEN THE DOOR AND THE GLAZING. GLAZING IN ITEM G WHEN A PROTECTIVE BARR IS INSTALLED ON THE ACCESSIBLE SIDE OF THE GLAZING 34 TO 38 INCHES ABOVE THE FLOOR. THE BARR SHALL BE ABLE TO WITHSTAND A HORIZONTAL LOAD OF 50 P.L.F. WITHOUT CONTACTING THE GLASS AND BE A MINIMUM OF 1-1/2 INCHES IN HEIGHT. OPENINGS THROUGH WHICH A 3-INCH SPIRAL WIRE MESH, ASSASSIN RESISTANT, FACED OR COVERED GLASS IN ITEMS A, B, F AND G WHEN USED FOR DECORATIVE PURPOSES. GLASS BLOCK PANELS COMPLYING WITH I.R.C.

SKYLIGHT GLAZING TO BE CONSTRUCTED OF: LAMINATED GLASS WITH A MINIMUM 0.015-INCH (0.38 mm) POLYVINYL BUTYRAL INTERLAYER FOR GLASS PANE 16 SQUARE FEET (1.5 m²) OR LESS IN AREA LOCATED SUCH THAT THE HIGHEST POINT OF THE GLASS IS NOT MORE THAN 12 FEET (3658 mm) ABOVE A WALKING SURFACE OR OTHER ACCESSIBLE AREA. + FOR HIGHER OR LARGER SIZES, THE MINIMUM INTERLAYER THICKNESS SHALL BE 0.030 INCH (0.76 mm); FULLY TEMPERED GLASS; HEAT-STRENGTHENED GLASS; WIRE GLASS; APPROVED RIGID PLASTICS PER R308.6.2

ALL UNIT SKYLIGHTS INSTALLED IN A ROOF WITH A PITCH FLATTER THAN THREE UNITS VERTICAL IN 12 UNITS HORIZONTAL (75 PERCENT SLOPE) SHALL BE SHALD BE INSTALLED AT LEAST 4 INCHES (102 mm) ABOVE THE PLANE OF THE ROOF UNLESS OTHERWISE SPECIFIED IN THE MANUFACTURERS INSTALLATION INSTRUCTIONS PER R308.6.8.

UNIT SKYLIGHTS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY, AND BEAR A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE GRADE RATING, AND APPROVED INSPECTION REPORT TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF ANAAMANDA 1011.S.2NAPS PER R308.6.9.

FINISH CARPENTRY
FASTENERS AND ANCHORAGES: PROVIDE NAILS, SCREWS AND OTHER ANCHORING DEVICES OF SUFFICIENT MATERIAL AND FINISH SUITABLE FOR INTENDED USE AND REQUIRED TO PROVIDE SECURE ATTACHMENT, CONCEALED WHERE POSSIBLE. HOT-DIP GALVANIZE FASTENERS FOR WORK EXPOSED TO EXTERIOR AND HIGH HUMIDITIES TO COMPLY WITH ASTM A 153.

STANDING AND RUNNING TRIM: INSTALL WITH MINIMUM NUMBER OF JOINTS POSSIBLE. USING FULL-LENGTH PIECES FROM MAXIMUM LENGTH OF LUMBER AVAILABLE. COPE AT RETURNS, MITER AT CORNERS TO PRODUCE TIGHT FITTING JOINTS. USE SCARF JOINTS FOR END-TO-END JOINTS.

INSTALL FINISH CARPENTRY WORK PLUMB, LEVEL, TRUE AND STRAIGHT WITH NO DISTORTIONS. SHIM AS REQUIRED USING CONCEALED SHIMS. SCRIBE AND CUT FINISH CARPENTRY ITEMS TO FIT ADJOINING WORK. ANCHOR FINISH-CARPENTRY WORK SECURELY TO SUPPORTS AND SUBSTRATES USING CONCEALED FASTENERS AND BONDING WHERE POSSIBLE. USE FINE FINISHING NAILS FOR EXPOSED NAILING EXCEPT AS INDICATED. COUNTERSUNK AND FILLED FLUSH WITH FINISHED SURFACE.

ACCESS HATCH AND DOORS
ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES (E.G. ATTICS AND CRAWL SPACES) SHALL BE WEATHER-STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES. ACCESS SHALL BE PROVIDED TO ALL EQUIPMENT THAT PREVENTS DAMAGING OR COMPRESSING THE INSULATION. A WOOD FRAMED OR EQUIVALENT BAFFLE OR RETAINER MUST BE PROVIDED WHEN LOOSE FILL INSULATION IS INSTALLED. WHEN EAVE VENTS ARE INSTALLED, BAFFLING OF THE VENT OPENINGS SHALL BE PROVIDED SO AS TO DEFLECT THE INCOMING AIR ABOVE THE SURFACE OF THE INSULATION; BAFFLES SHALL BE RIGID MATERIAL, RESISTANT TO WIND DRIVEN MOISTURE. SECTION 502.1.4.4.

CLEARANCES
WHERE REQUIRED, INSULATION SHALL BE INSTALLED WITH CLEARANCES ACCORDING TO MANUFACTURERS SPECIFICATIONS. INSULATION SHALL BE INSTALLED SO THAT REQUIRED VENTILATION IS UNOBSTRUCTED. FOR BLOWN-IN LOOSE FILL, INSULATION CLEARANCES SHALL BE MAINTAINED THROUGH INSTALLATION OF A PERMANENT RETAINER.

ALL INSULATION MATERIALS, INCLUDING FACINGS SUCH AS VAPOR BARRIERS OR BUILDING PAPER, INSTALLED WITHIN FLOOR/CEILING ASSEMBLIES, ROOF/CEILING ASSEMBLIES, CRAWL SPACES, OR ATTICS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25, AND A SMOKE DENSITY NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH I.B.C. STANDARD NO.8-1.

EXCEPTIONS: A) FOAM PLASTIC INSULATION SHALL COMPLY WITH SECTION 2606 OF THE INTERNATIONAL BUILDING CODE; AND B) WHEN SUCH INSULATION ARE INSTALLED IN CONCEALED SPACES, THE FLAME SPREAD AND SMOKE-DENSITY LIMITATIONS DO NOT APPLY TO THE FACING. PROVIDED THAT THE FACING IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR, FINISH.

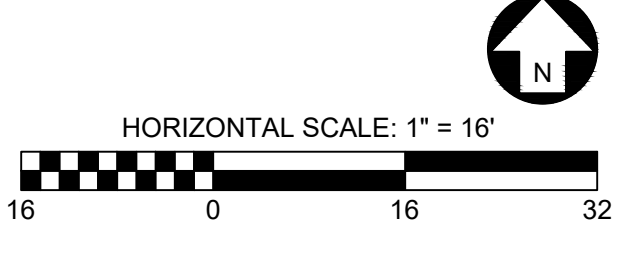
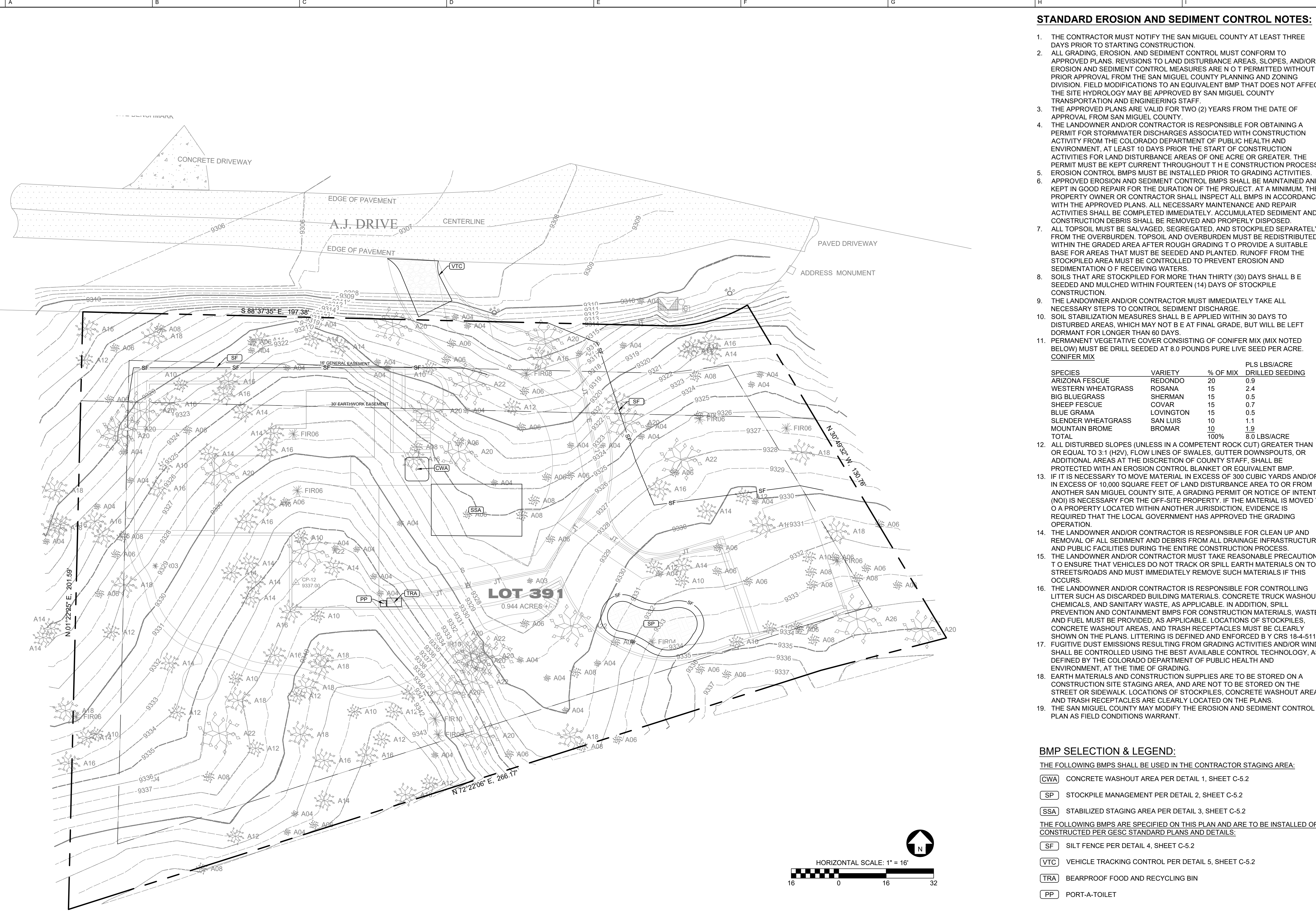
ROOFS/CEILING
MAINTAIN 1" VENTILATION ABOVE BATT & RIGID INSULATION. IF BAFFLES ARE USED THEY SHALL BE RESISTANT TO MOISTURE, BE OF RIGID MATERIAL, AND INSTALLED TO AND EXTEND 6" VERTICALLY ABOVE BATTS OR 12" VERTICALLY ABOVE LOOSE FILL.

WALLS
ALL WALL INSULATION SHALL FILL THE ENTIRE CAVITY. EXTERIOR WALL CAVITIES ISOLATED DURING FRAMING (SUCH AS BEHIND BATHTUBS AND SHOWERS) SHALL BE FULLY INSULATED TO THE LEVELS OF SURROUNDING WALLS. ALL FACED INSULATION SHALL BE FACE STAPLED TO AVOID COMPRESSION. INSULATED HEADERS- RIGID INSULATED HEADERS REQUIRED FOR INTERMEDIATE AND ADVANCED FRAMING. OTHERWISE, FILL CAVITIES WITH REGULAR WALL INSULATION.

FLOORS
ALL FLOOR INSULATION SHALL BE INSTALLED IN A PERMANENT MANNER IN SUBSTANTIAL CONTACT WITH THE SURFACE BEING INSULATED. INSULATION SUPPORTS SHALL BE INSTALLED SO SPACING IS NO MORE THAN 24 INCHES ON CENTER. FOUNDATION VENTS SHALL BE PLACED SO THAT THE TOP OF THE VENT IS BELOW THE LOWER SURFACE OF THE FLOOR INSULATION.

SLABS
PERIMETER INSULATION

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STANDARD EROSION AND SEDIMENT CONTROL NOTES:

- THE CONTRACTOR MUST NOTIFY THE SAN MIGUEL COUNTY AT LEAST THREE DAYS PRIOR TO STARTING CONSTRUCTION.
- ALL GRADING, EROSION, AND SEDIMENT CONTROL MUST CONFORM TO APPROVED PLANS. REVISIONS TO LAND DISTURBANCE AREAS, SLOPES, AND/OR EROSION AND SEDIMENT CONTROL MEASURES ARE NOT PERMITTED WITHOUT PRIOR APPROVAL FROM THE SAN MIGUEL COUNTY PLANNING AND ZONING DIVISION. FIELD MODIFICATIONS TO AN EQUIVALENT BMP THAT DOES NOT AFFECT THE SITE HYDROLOGY MAY BE APPROVED BY SAN MIGUEL COUNTY TRANSPORTATION AND ENGINEERING STAFF.
- THE APPROVED PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF APPROVAL FROM SAN MIGUEL COUNTY.
- THE LANDOWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING A PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, AT LEAST 10 DAYS PRIOR THE START OF CONSTRUCTION ACTIVITIES FOR LAND DISTURBANCE AREAS OF ONE ACRE OR GREATER. THE PERMIT MUST BE KEPT CURRENT THROUGHOUT THE CONSTRUCTION PROCESS.
- EROSION CONTROL BMPS MUST BE INSTALLED PRIOR TO GRADING ACTIVITIES.
- APPROVED EROSION AND SEDIMENT CONTROL BMPS SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THE PROJECT. AT A MINIMUM, THE PROPERTY OWNER OR CONTRACTOR SHALL INSPECT ALL BMPS IN ACCORDANCE WITH THE APPROVED PLANS. ALL NECESSARY MAINTENANCE AND REPAIR ACTIVITIES SHALL BE COMPLETED IMMEDIATELY. ACCUMULATED SEDIMENT AND CONSTRUCTION DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED.
- ALL TOPSOIL MUST BE SALVAGED, SEGREGATED, AND STOCKPILED SEPARATELY FROM THE OVERBURDEN. TOPSOIL AND OVERBURDEN MUST BE REDISTRIBUTED WITHIN THE GRADED AREA AFTER ROUGH GRADING TO PROVIDE A SUITABLE BASE FOR AREAS THAT MUST BE SEEDED AND PLANTED. RUNOFF FROM THE STOCKPILED AREA MUST BE CONTROLLED TO PREVENT EROSION AND SEDIMENTATION OF RECEIVING WATERS.
- SOILS THAT ARE STOCKPILED FOR MORE THAN THIRTY (30) DAYS SHALL BE SEEDED AND MULCHED WITHIN FOURTEEN (14) DAYS OF STOCKPILE CONSTRUCTION.
- THE LANDOWNER AND/OR CONTRACTOR MUST IMMEDIATELY TAKE ALL NECESSARY STEPS TO CONTROL SEDIMENT DISCHARGE.
- SOIL STABILIZATION MEASURES SHALL BE APPLIED WITHIN 30 DAYS TO DISTURBED AREAS, WHICH MAY NOT BE AT FINAL GRADE, BUT WILL BE LEFT DORMANT FOR LONGER THAN 60 DAYS.
- PERMANENT VEGETATIVE COVER CONSISTING OF CONIFER MIX (MIX NOTED BELOW) MUST BE DRILL SEEDED AT 8.0 POUNDS PURE LIVE SEED PER ACRE. CONIFER MIX

SPECIES	VARIETY	% OF MIX	PLS LBS/ACRE	DRILLED SEEDING
ARIZONA FESCUE	REDONDO	20	0.9	
WESTERN WHEATGRASS	ROSANA	15	2.4	
BIG BLUEGRASS	SHERMAN	15	0.5	
SHEEP FESCUE	COVAR	15	0.7	
BLUE GRAMA	LOVINGTON	15	0.5	
SLENDER WHEATGRASS	SAN LUIS	10	1.1	
MOUNTAIN BROME	BROMAR	10	1.9	
TOTAL		100%	8.0 LBS/ACRE	
- ALL DISTURBED SLOPES (UNLESS IN A COMPETENT ROCK CUT) GREATER THAN OR EQUAL TO 3:1 (H:V), FLOW LINES OF SWALES, GUTTER DOWNSPOUTS, OR ADDITIONAL AREAS AT THE DISCRETION OF COUNTY STAFF, SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET OR EQUIVALENT BMP.
- IF IT IS NECESSARY TO MOVE MATERIAL IN EXCESS OF 300 CUBIC YARDS AND/OR IN EXCESS OF 10,000 SQUARE FEET OF LAND DISTURBANCE AREA TO OR FROM ANOTHER SAN MIGUEL COUNTY SITE, A GRADING PERMIT OR NOTICE OF INTENT (NOI) IS NECESSARY FOR THE OFF-SITE PROPERTY. IF THE MATERIAL IS MOVED TO A PROPERTY LOCATED WITHIN ANOTHER JURISDICTION, EVIDENCE IS REQUIRED THAT THE LOCAL GOVERNMENT HAS APPROVED THE GRADING OPERATION.
- THE LANDOWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR CLEAN UP AND REMOVAL OF ALL SEDIMENT AND DEBRIS FROM ALL DRAINAGE INFRASTRUCTURE AND PUBLIC FACILITIES DURING THE ENTIRE CONSTRUCTION PROCESS.
- THE LANDOWNER AND/OR CONTRACTOR MUST TAKE REASONABLE PRECAUTIONS TO ENSURE THAT VEHICLES DO NOT TRACK OR SPILL EARTH MATERIALS ON TO STREETS/ROADS AND MUST IMMEDIATELY REMOVE SUCH MATERIALS IF THIS OCCURS.
- THE LANDOWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR CONTROLLING LITTER SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, AND SANITARY WASTE, AS APPLICABLE. IN ADDITION, SPILL PREVENTION AND CONTAINMENT BMPS FOR CONSTRUCTION MATERIALS, WASTE, AND FUEL MUST BE PROVIDED, AS APPLICABLE. LOCATIONS OF STOCKPILES, CONCRETE WASHOUT AREAS, AND TRASH RECEPTACLES MUST BE CLEARLY SHOWN ON THE PLANS. LITTERING IS DEFINED AND ENFORCED BY CRS 18-4-511.
- FUGITIVE DUST EMISSIONS RESULTING FROM GRADING ACTIVITIES AND/OR WIND SHALL BE CONTROLLED USING THE BEST AVAILABLE CONTROL TECHNOLOGY, AS DEFINED BY THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, AT THE TIME OF GRADING.
- EARTH MATERIALS AND CONSTRUCTION SUPPLIES ARE TO BE STORED ON A CONSTRUCTION SITE STAGING AREA, AND ARE NOT TO BE STORED ON THE STREET OR SIDEWALK. LOCATIONS OF STOCKPILES, CONCRETE WASHOUT AREAS AND TRASH RECEPTACLES ARE CLEARLY LOCATED ON THE PLANS.
- THE SAN MIGUEL COUNTY MAY MODIFY THE EROSION AND SEDIMENT CONTROL PLAN AS FIELD CONDITIONS WARRANT.

BMP SELECTION & LEGEND:

- THE FOLLOWING BMPS SHALL BE USED IN THE CONTRACTOR STAGING AREA:
- CONCRETE WASHOUT AREA PER DETAIL 1, SHEET C-5.2
 - STOCKPILE MANAGEMENT PER DETAIL 2, SHEET C-5.2
 - STABILIZED STAGING AREA PER DETAIL 3, SHEET C-5.2
- THE FOLLOWING BMPS ARE SPECIFIED ON THIS PLAN AND ARE TO BE INSTALLED OR CONSTRUCTED PER GESC STANDARD PLANS AND DETAILS:
- SILT FENCE PER DETAIL 4, SHEET C-5.2
 - VEHICLE TRACKING CONTROL PER DETAIL 5, SHEET C-5.2
 - BEARPROOF FOOD AND RECYCLING BIN
 - PORT-A-TOILET

Plan Prepared By:

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Revisions:

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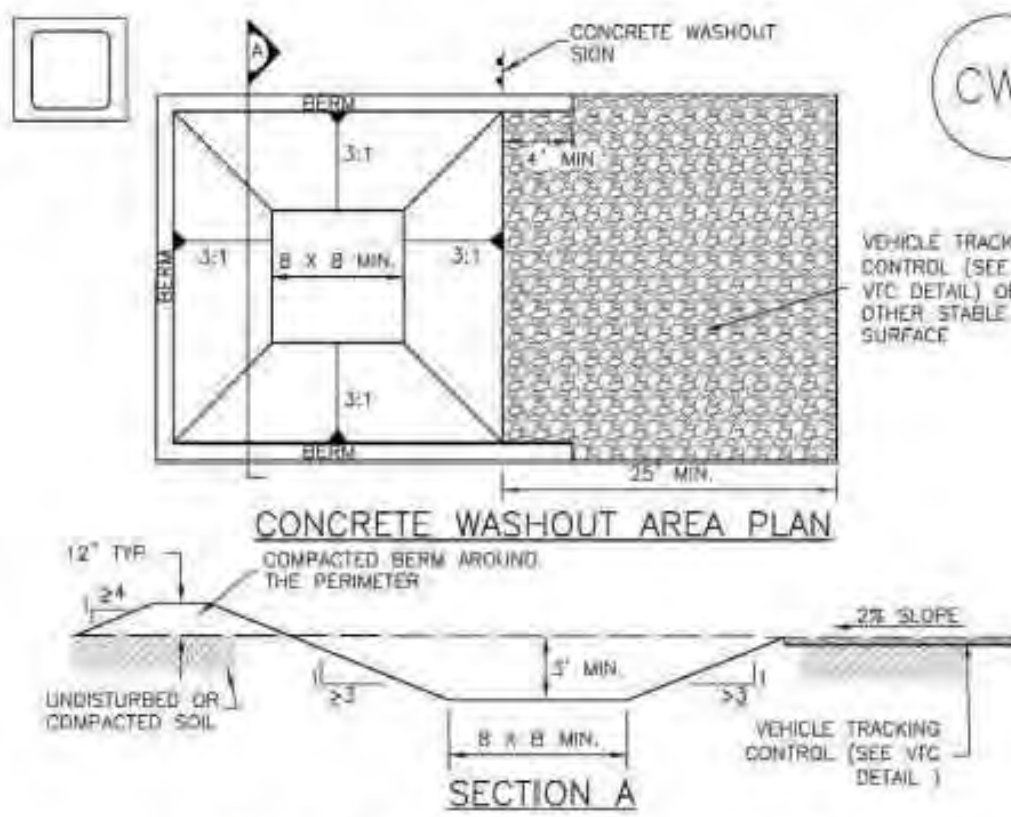
Project Engineer: LJR Ext: 203
 Project Manager: BRJ
 Date: 03.13.2023 Scale: PER PLAN
 AV Job No: 22817 Sheet Size: 24" x 36"

EROSION CONTROL PLAN

C-5.1

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CIVIL • STRUCTURAL



CWA-1. CONCRETE WASHOUT AREA

CWA INSTALLATION NOTES

- SEE PLAN VIEW FOR:
 - CWA INSTALLATION LOCATION
- DO NOT LOCATE AN UNLINED CWA WITHIN 400 FEET OF ANY NATURAL DRAINAGE PATHWAY OR WATER BODY. DO NOT LOCATE WITHIN 1000 FEET OF ANY WELLS OR DRINKING WATER SOURCES. IF THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (10 MIL MINIMUM THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
- THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ONSITE.
- CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 6 FEET BY 8 FEET WITH SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3 FEET DEEP.
- BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE A MINIMUM HEIGHT OF 1 FOOT.
- VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
- USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

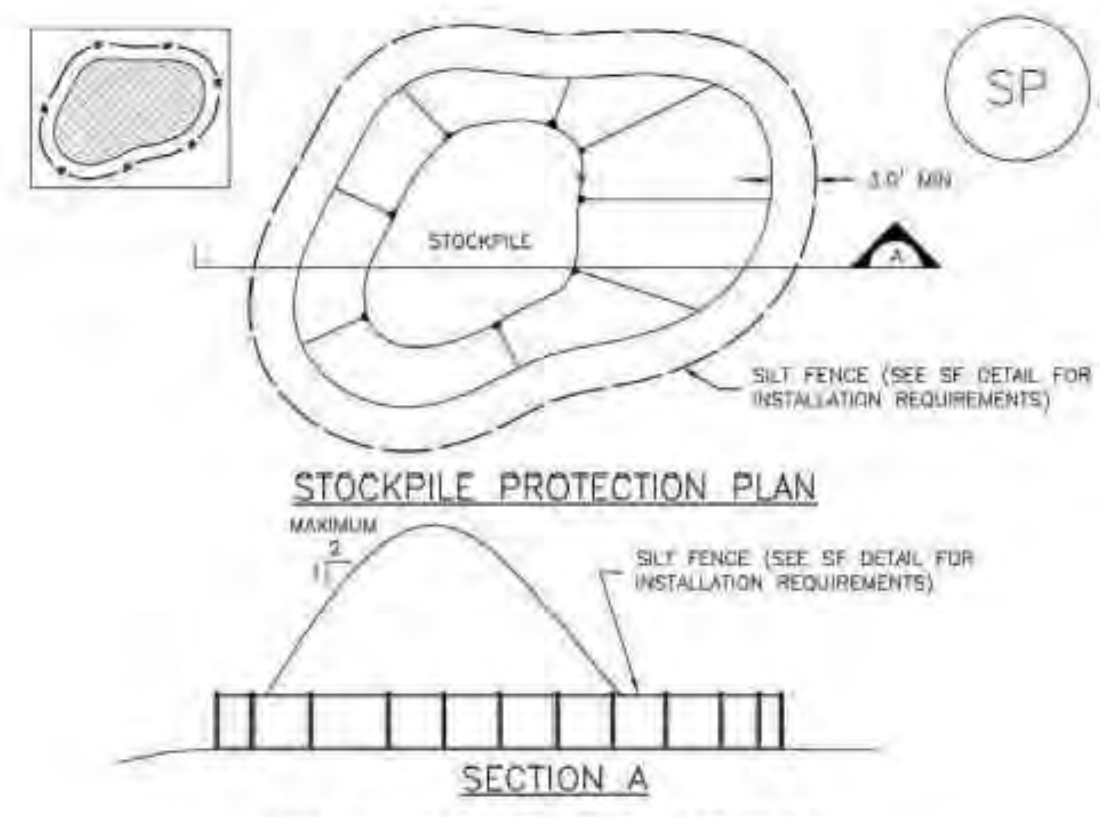
CWA MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS ACCUMULATED IN PIT SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
- CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
- THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY JEFFERSON COUNTY.

Concrete Washout Area



Detail 9



SP-1. STOCKPILE PROTECTION

STOCKPILE PROTECTION INSTALLATION NOTES

- SEE PLAN VIEW FOR:
 - LOCATIONS OF STOCKPILES
 - TYPE OF STOCKPILE PROTECTION
- INSTALL PERIMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS. SILT FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAILS, HOWEVER, OTHER TYPES OF PERIMETER CONTROLS INCLUDING SEDIMENT CONTROL LOGS OR ROCK SOCKS MAY BE SUITABLE IN SOME CIRCUMSTANCES. CONSIDERATIONS FOR DETERMINING THE APPROPRIATE TYPE OF PERIMETER CONTROL FOR A STOCKPILE INCLUDE WHETHER THE STOCKPILE IS LOCATED ON A PERVIOUS OR IMPVIOUS SURFACE, THE RELATIVE HEIGHTS OF THE PERIMETER CONTROL AND STOCKPILE, THE ABILITY OF THE PERIMETER CONTROL TO CONTAIN THE STOCKPILE WITHOUT FAILING IN THE EVENT THAT MATERIAL FROM THE STOCKPILE SHIFTS OR SLUMPS AGAINST THE PERIMETER AND OTHER FACTORS.
- STABILIZE THE STOCKPILE SURFACE WITH SURFACE ROUGHENING, TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS, OR SOIL BINDERS. SOILS STOCKPILED FOR AN EXTENDED PERIOD (GREATER THAN 90 DAYS) SHOULD BE SEED AND MULCHED WITH A TEMPORARY GRASS COVER. DO NOT LOCATE AN UNLINED CWA WITHIN 400 FEET OF ANY NATURAL DRAINAGE PATHWAY OR WATER BODY. DO NOT LOCATE WITHIN 1000 FEET OF ANY WELLS OR DRINKING WATER SOURCES. IF THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (10 MIL MINIMUM THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
- FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADE CONTROLS, INCLUDING PERIMETER CONTROL, ARE IN PLACE THAN STOCKPILE PERIMETER CONTROL, MAY NOT BE REQUIRED IF DEPICTED ON THE APPROVED PLANS.

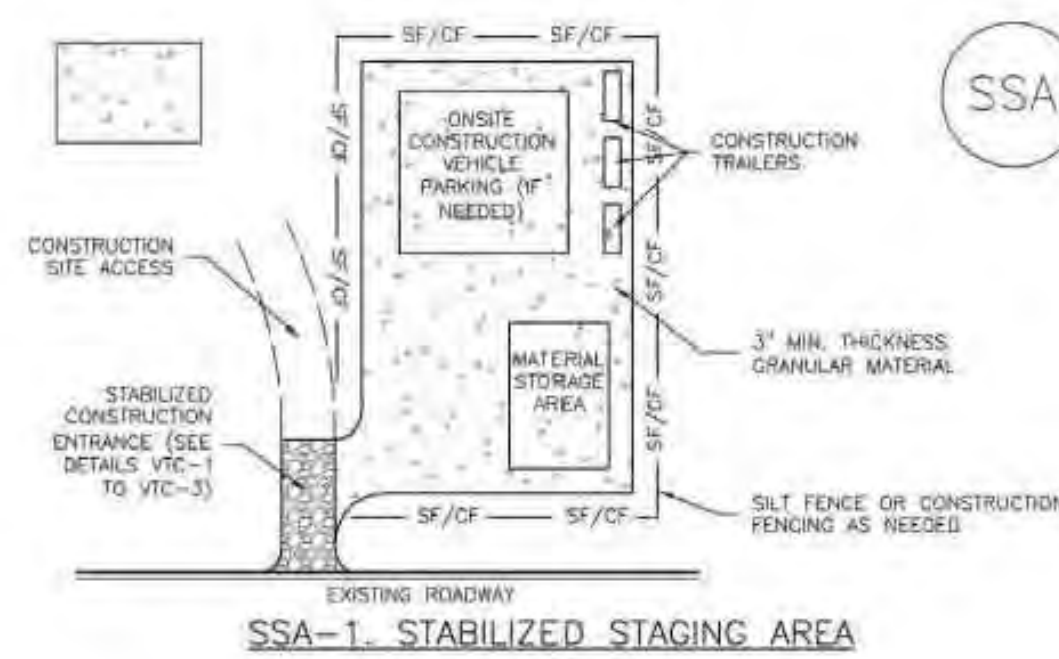
STOCKPILE PROTECTION MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- IF PERIMETER PROTECTION MUST BE MOVED TO ACCESS SOIL STOCKPILE, REPLACE PERIMETER STOCKPILE CONTROLS BY THE END OF THE WORKDAY.
- STOCKPILE PERIMETER CONTROLS CAN BE REMOVED ONCE ALL THE MATERIAL FROM THE STOCKPILE HAS BEEN USED.

Stockpile Management



Detail 10



STABILIZED STAGING AREA INSTALLATION NOTES

- SEE PLAN VIEW FOR:
 - LOCATION OF STAGING AREAS
 - CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM JEFFERSON COUNTY.
- STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
- STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
- THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL UNLESS OTHERWISE SPECIFIED BY JEFFERSON COUNTY.
- ROCK SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL OR DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
- ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

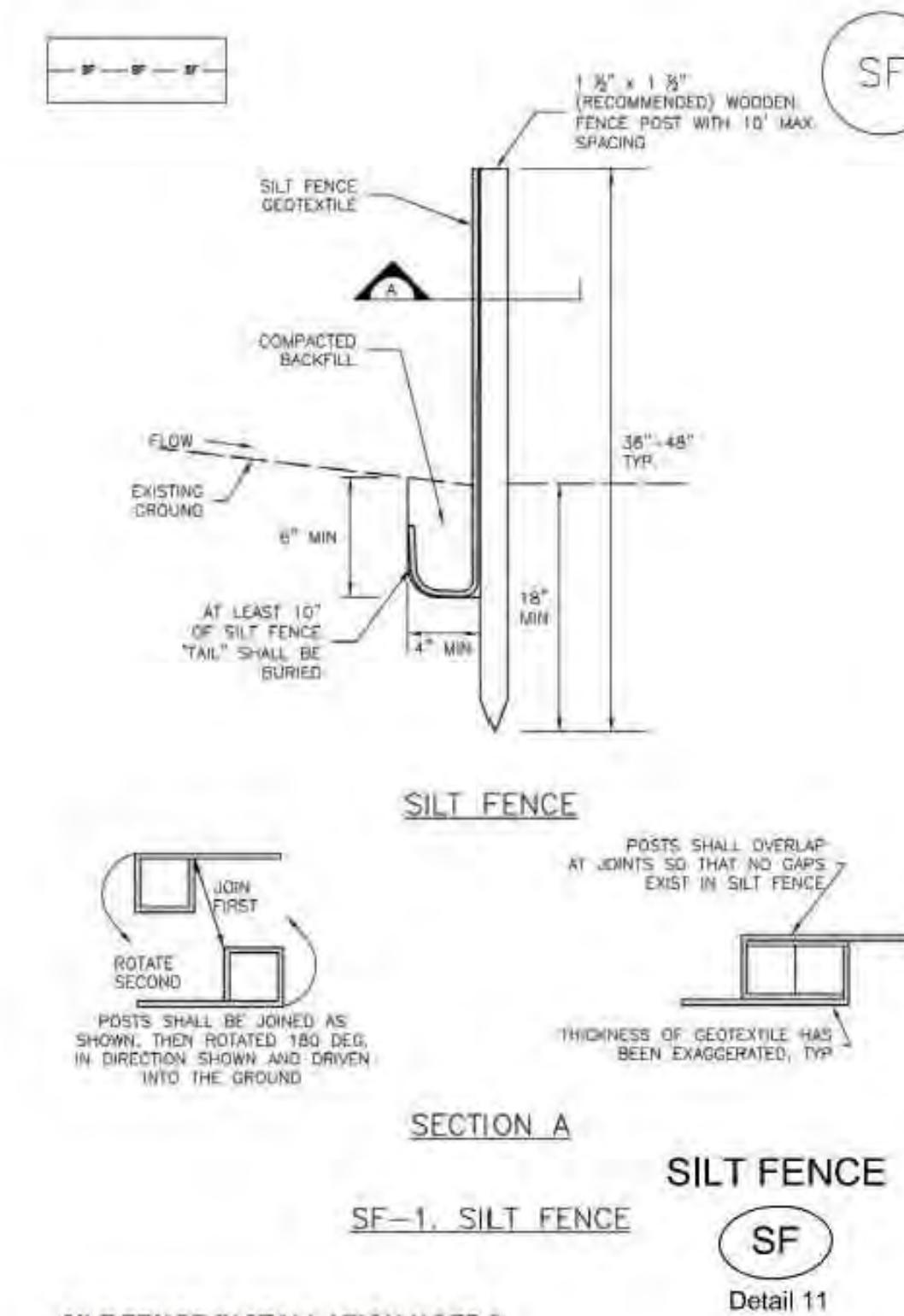
STABILIZED STAGING AREA MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
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- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED IF NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.
- STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.
- THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY JEFFERSON COUNTY, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY JEFFERSON COUNTY.

Stabilized Staging Area



Detail 19

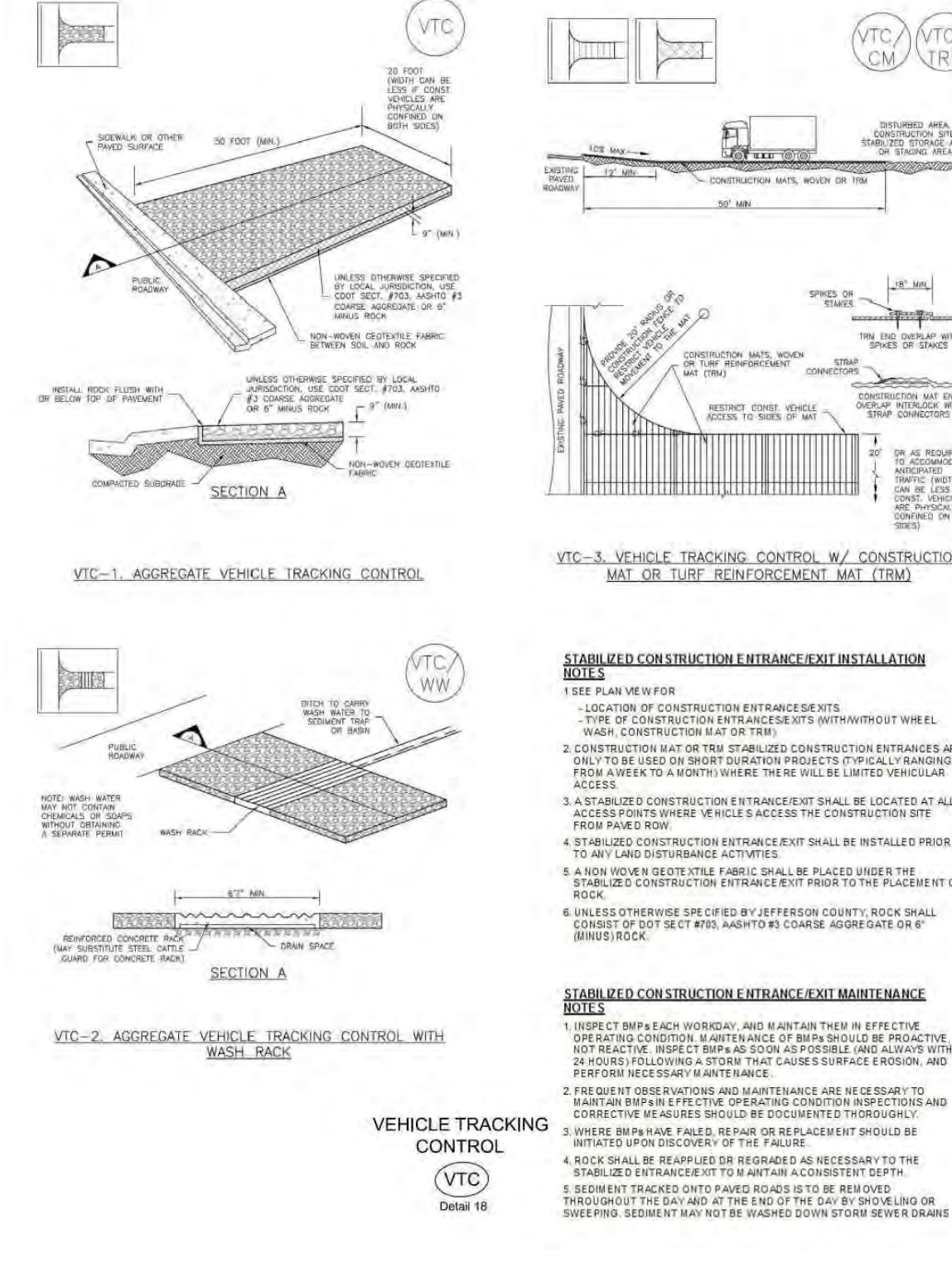


SILT FENCE INSTALLATION NOTES

- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL (2-5 FEET) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
- A UNIFORM 6 INCH BY 4 INCH ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
- COMPACT ANCHOR TRENCH BY HAND WITH A JUMPING JACK OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
- SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
- SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1 INCH HEAVY DUTY STAPLES OR NAILS WITH 1 INCH HEADS. STAPLES AND NAILS SHOULD BE PLACED 3 INCHES ALONG THE FABRIC DOWN THE STAKE.
- AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A 'J' HOOK. THE 'J' HOOK EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10 FEET TO 20 FEET).

SILT FENCE MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 8 INCHES.
- REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
- SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY JEFFERSON COUNTY, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
- WHEN SILT FENCE IS REMOVED, A DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY JEFFERSON COUNTY.



VEHICLE TRACKING CONTROL

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
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- THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY JEFFERSON COUNTY, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY JEFFERSON COUNTY.

Plan Prepared By:

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CIVIL • STRUCTURAL

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Engineer of Record:

ALPER WILLIAMS RESIDENCE
142 AJ DRIVE
MOUNTAIN VILLAGE, CO, 81435

Revisions:		
1		
2		
3		
4		
5		

Project Engineer: LJR Ext: 203
Project Manager: BRJ
Date: 03.13.2023 Scale: PER PLAN
AV Job No: 22817 Sheet Size: 24" x 36"

EROSION CONTROL
DETAILS
C-5.2

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ADDRESS MONUMENT

S 88°37'35" E, 197.38'

N 30°49'32" W, 130.76'

N 01°22'25" E, 201.59'

N 72°22'06" E, 266.17'

16' GENERAL EASEMENT

30' EARTHWORK EASEMENT

LOT 391
0.944 ACRES

SLOPES TABLE			
RANGE ID	MIN SLOPE	MAX SLOPE	DISPLAY
1	0.00%	20.00%	Green
2	20.00%	30.00%	Yellow
3	30.00%	> 30.00%	Red

C-X

EXHIBIT
SLOPE MAP EXHIBIT

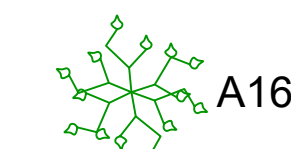

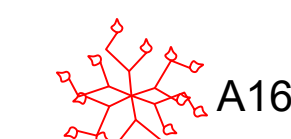
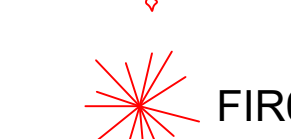
142 AJ DRIVE
MOUNTAIN VILLAGE, CO 81435



210 East Coosa Street
Santa Barbara, CA 93101
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AJ DRIVE

EXISTING TREE LEGEND

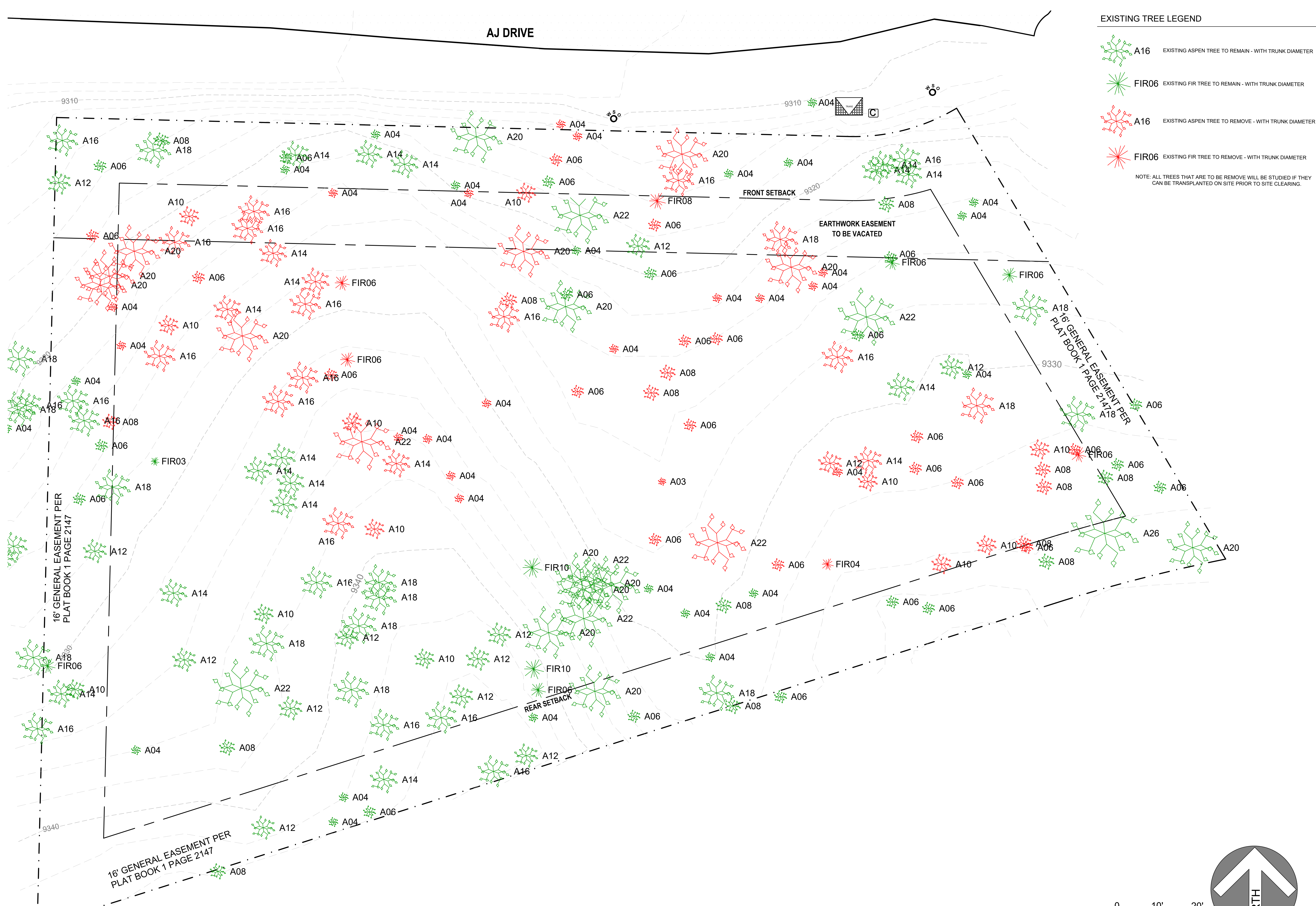
-  A16 EXISTING ASPEN TREE TO REMAIN - WITH TRUNK DIAMETER
-  FIR06 EXISTING FIR TREE TO REMAIN - WITH TRUNK DIAMETER
-  A16 EXISTING ASPEN TREE TO REMOVE - WITH TRUNK DIAMETER
-  FIR06 EXISTING FIR TREE TO REMOVE - WITH TRUNK DIAMETER

NOTE: ALL TREES THAT ARE TO BE REMOVE WILL BE STUDIED IF THEY CAN BE TRANSPLANTED ON SITE PRIOR TO SITE CLEARING.



ARCHITECTURE
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16' GENERAL EASEMENT PER PLAT BOOK 1 PAGE 2147

16' GENERAL EASEMENT PER PLAT BOOK 1 PAGE 2147

16' GENERAL EASEMENT PER PLAT BOOK 1 PAGE 2147

1 Tree Removal Plan
SCALE: 1"=10'-0"

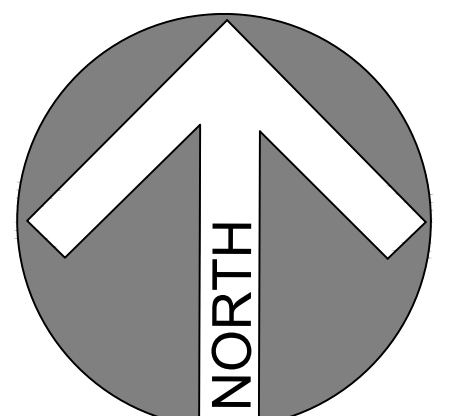
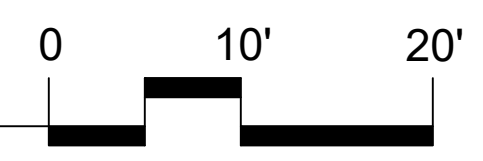
ALPER - WILLIAMS RESIDENCE
142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

ISSUE NAME	DATE
DRB SUBMITTAL	02.03.23
DRB SUBMITTAL	03.13.23

DRAWING TITLE
Tree Removal Plan

SHEET NO.

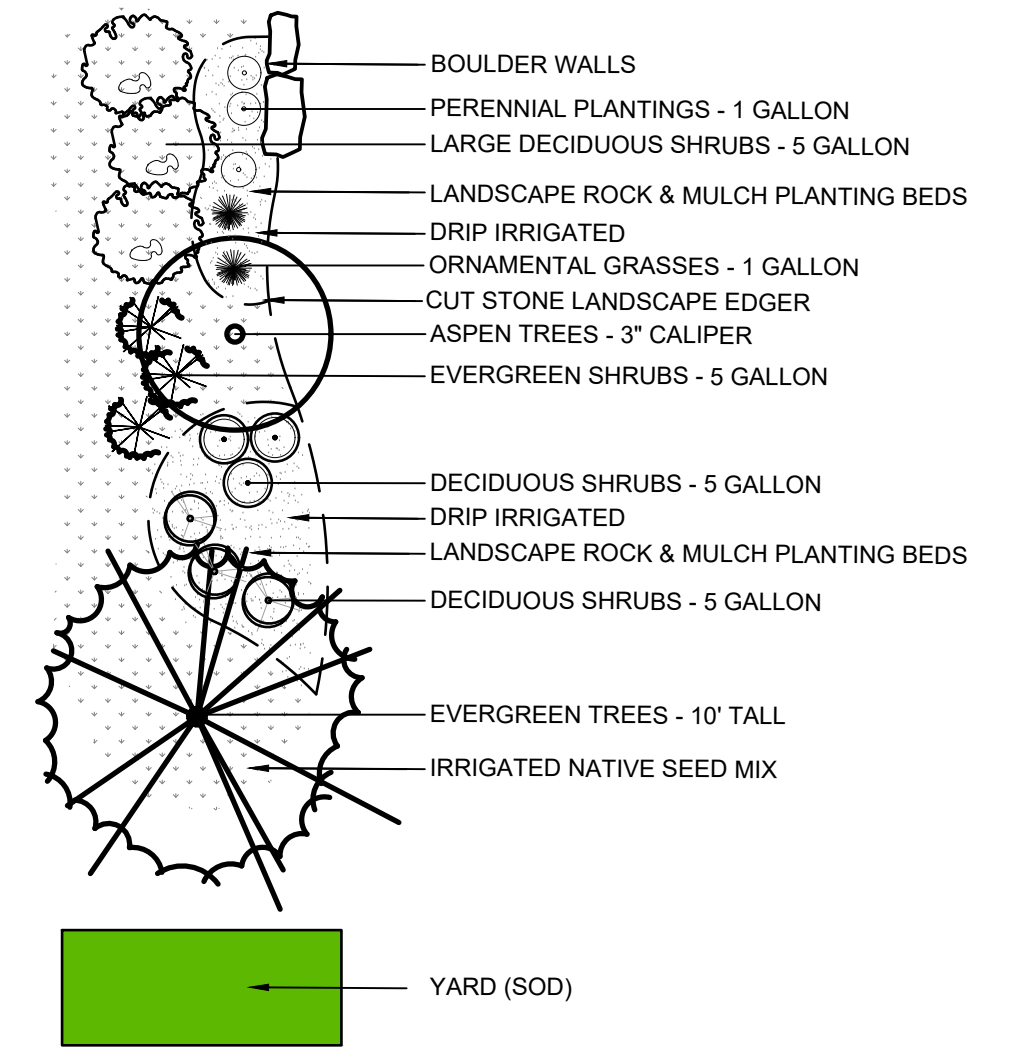
L-001



AJ DRIVE

ADDRESS MONUMENT

LANDSCAPE LEGEND



VERTICAL
ARTS

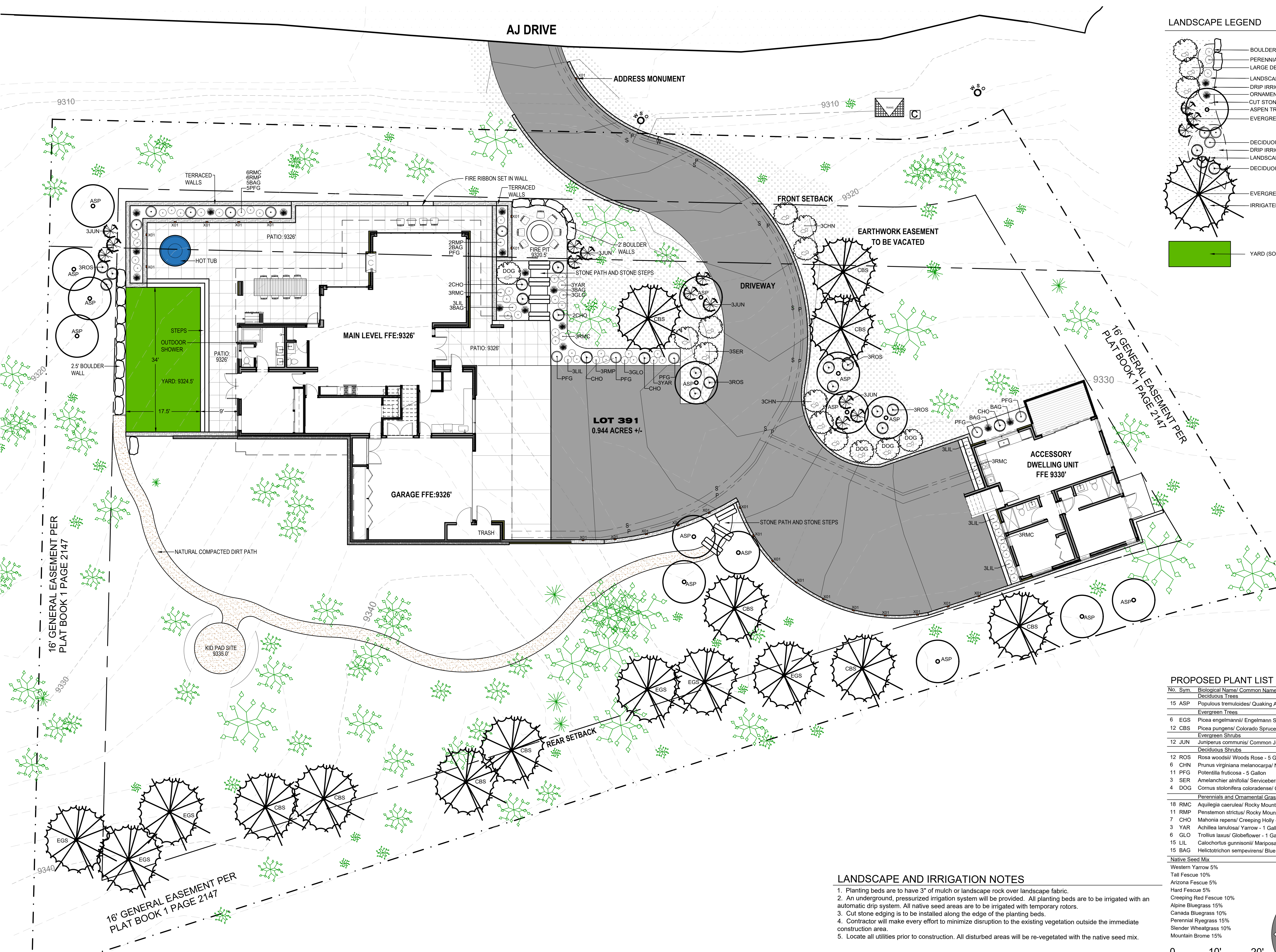
ARCHITECTURE

Design | Planning | Interiors

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PROPOSED PLANT LIST

No.	Sym.	Biological Name/ Common Name	Planting Size
Deciduous Trees			
15	ASP	Populus tremuloides/ Quaking Aspen	3" Caliper
Evergreen Trees			
6	EGS	Picea engelmannii/ Engelmann Spruce	10' Tall
12	CBS	Picea pungens/ Colorado Spruce	10' Tall
Evergreen Shrubs			
12	JUN	Juniperus communis/ Common Juniper	5 Gallon
Deciduous Shrubs			
12	ROS	Rosa woodsii/ Woods Rose	5 Gallon
6	CHN	Prunus virginiana melanocarpa/ Native Chokeberry	5 Gallon
11	PFG	Potentilla fruticosa	5 Gallon
3	SER	Amelanchier alnifolia/ Serviceberry	5 Gallon
4	DOG	Cornus stolonifera coloradensis/ Colorado Dogwood	5 Gallon
Perennials and Ornamental Grasses			
18	RMC	Aquilegia caerulea/ Rocky Mountain Columbine	1 Gallon
11	RMP	Penstemon strictus/ Rocky Mountain Penstemon	1 Gallon
7	CHO	Mahonia repens/ Creeping Holly	1 Gallon
3	YAR	Achillea lanulosa/ Yarrow	1 Gallon
6	GLO	Trollius laxus/ Globeflower	1 Gallon
15	LIL	Calochortus gunnisonii/ Mariposa Lily	1 Gallon
15	BAG	Helictotrichon sempervirens/ Blue Avena Grass	1 Gallon
Native Seed Mix			
Western Yarrow 5%			
Tall Fescue 10%			
Arizona Fescue 5%			
Hard Fescue 5%			
Creeping Red Fescue 10%			
Alpine Bluegrass 15%			
Canada Bluegrass 10%			
Perennial Ryegrass 15%			
Slender Wheatgrass 10%			
Mountain Brome 15%			

ISSUE NAME	DATE
DRB SUBMITTAL	02.03.23
DRB SUBMITTAL	03.13.23

DRAWING TITLE

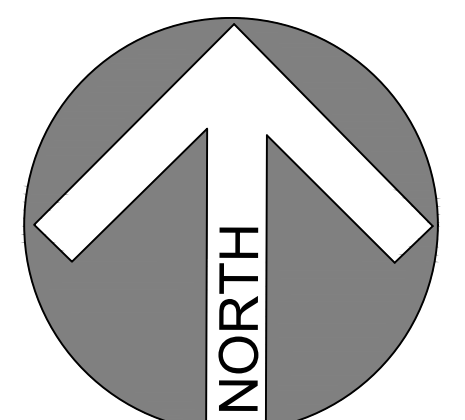
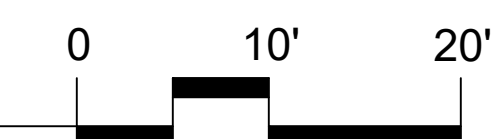
Landscape Plan

SHEET NO.

L-100

LANDSCAPE AND IRRIGATION NOTES

- Planting beds are to have 3" of mulch or landscape rock over landscape fabric.
- An underground, pressurized irrigation system will be provided. All planting beds are to be irrigated with an automatic drip system. All native seed areas are to be irrigated with temporary rotors.
- Cut stone edging is to be installed along the edge of the planting beds.
- Contractor will make every effort to minimize disruption to the existing vegetation outside the immediate construction area.
- Locate all utilities prior to construction. All disturbed areas will be re-vegetated with the native seed mix.



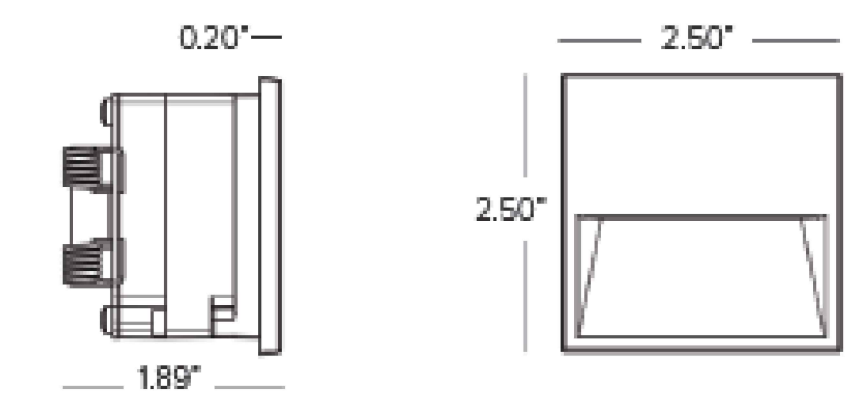
1 Landscape Plan
SCALE: 1"=10'-0"

AJ DRIVE

SITE LIGHTING LEGEND

X01 LED - WALL RECESSED STEPLIGHT (SEE L-102 FOR CUT SHEET INFORMATION)

Views



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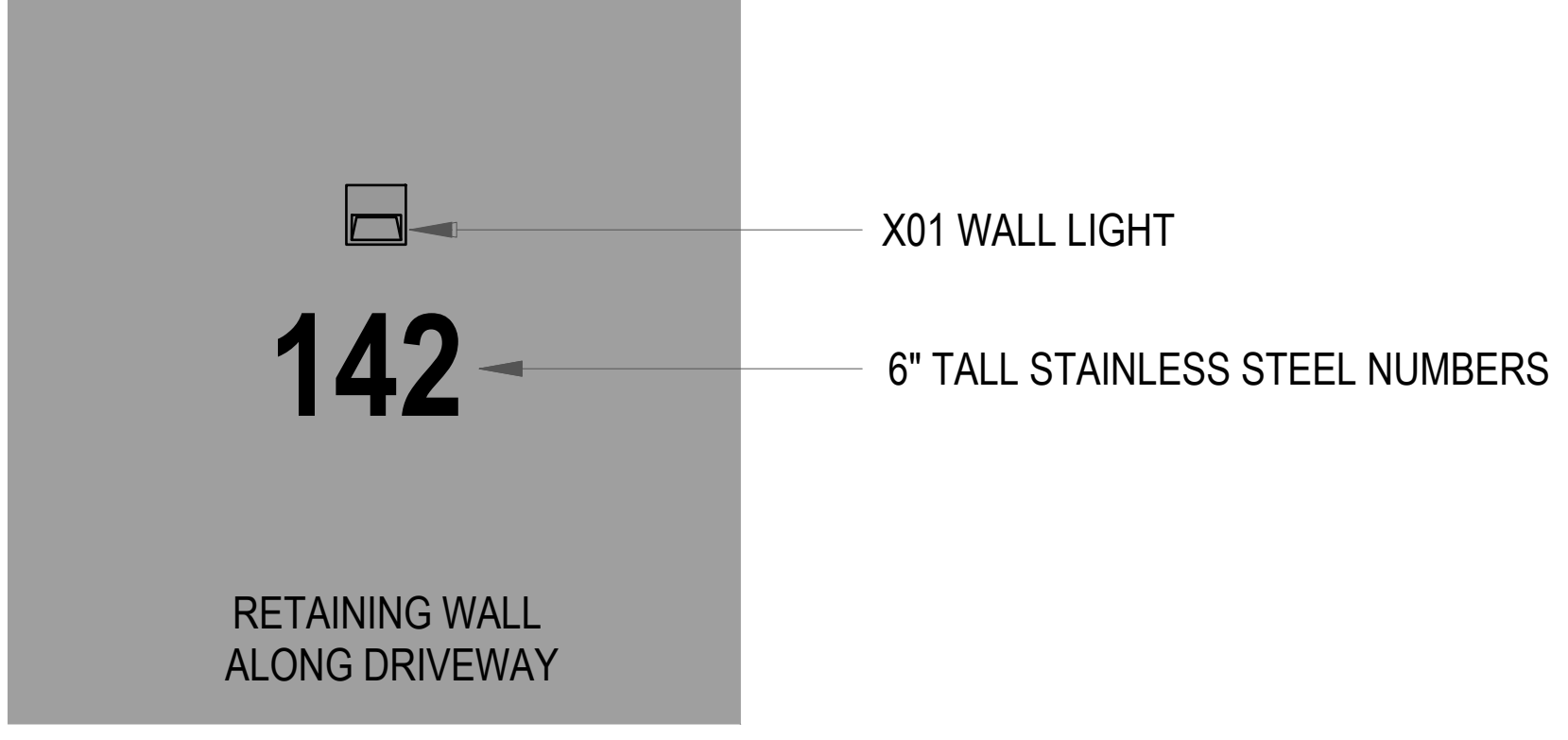
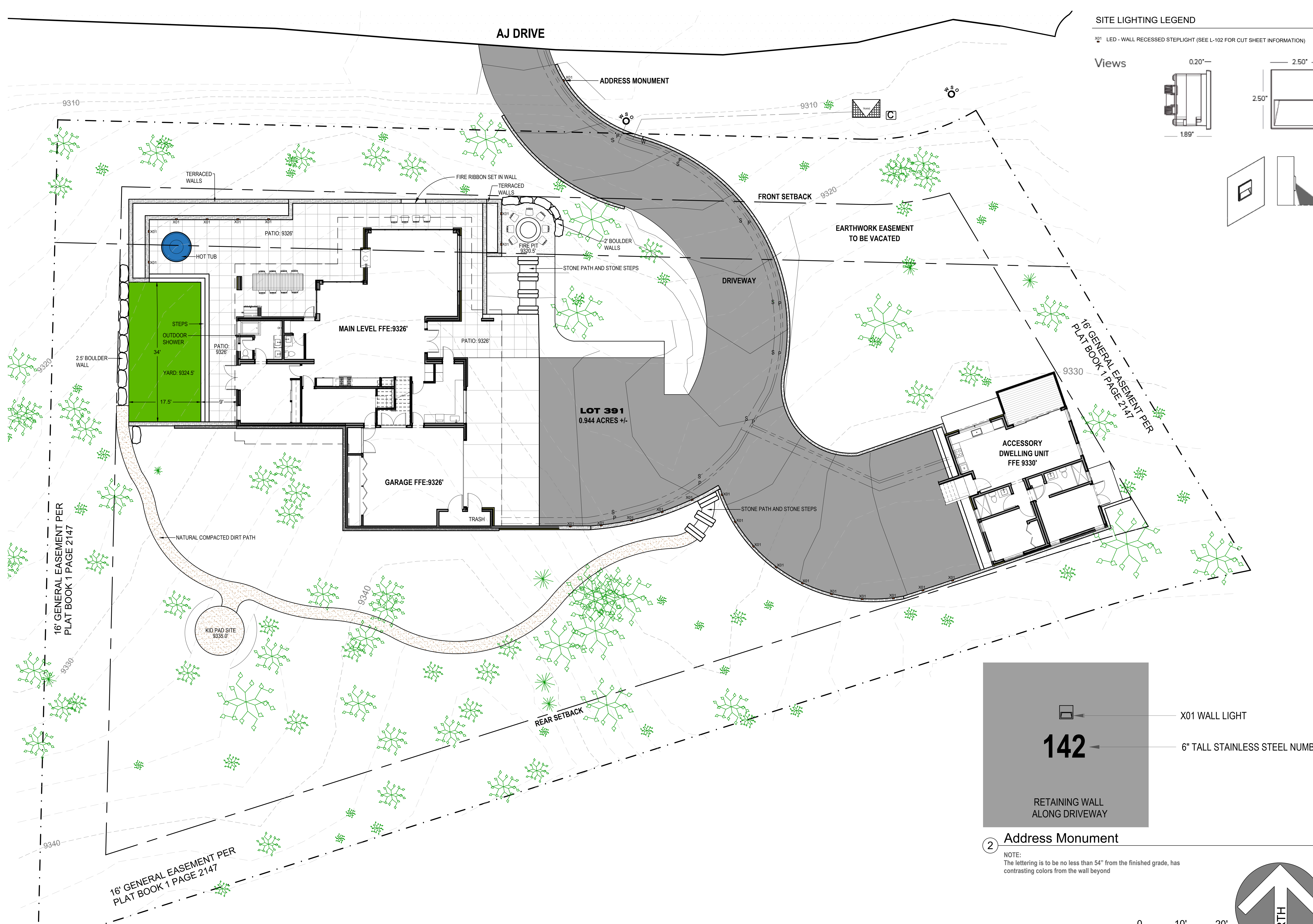
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ISSUE NAME	DATE
DRB SUBMITTAL	02.03.23
DRB SUBMITTAL	03.13.23

DRAWING TITLE
Site Lighting Plan

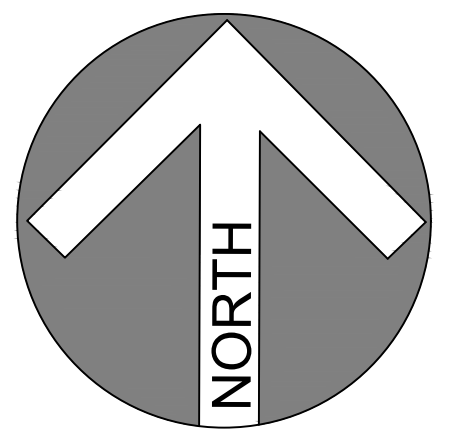
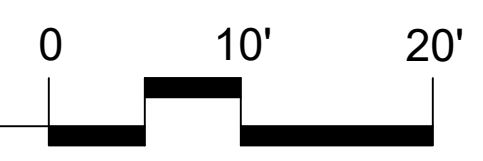
SHEET NO.

L-101



2 Address Monument
NOTE:
The lettering is to be no less than 54" from the finished grade, has contrasting colors from the wall beyond

1 Site Lighting Plan
SCALE: 1"=10'-0"



X01 - WALL RECESSED STEPLIGHT
2700K - COLOR BLACK

ZEDGE MINI HO

Professional Small Scale High Efficiency LED Steplight

Concept: Recessed high efficiency LED steplight for indoor and outdoor applications. A high output steplight version of the classic Zedge Floor Wall wash fixture for applications with higher illumination requirements.

Housing: Small 2.5" x 2.5" Floor Washer faceplate.

Materials: Die-cast anodized aluminum body fitted with a spring fixing system. Powder coated die-cast anodized aluminum external frame. *Consult factory for use in marine grade environments.

Source: LED High Efficiency Board.

Optic: Polycarbonate clear lens.

Mounting: To be completed with installation back box. Fixture secured with stainless steel spring system for semi-flush installation only.

Installation: Pre-cabled with 3' Belden 18ga 2 conductor direct burial cable (no conduit required).

Finish: Textured Standard Finishes -- Ferrite Grey / Heritage Brown / Bronze RAL 8019 / White / Black / Sandstone Grey

Power Supply: Remote Class 2, 120V-277VAC power supply required, see remote driver option pages.

Weightage: 4W

Color Temperature: 2700K / 3000K / 3500K / 4000K

CRI: >R90

Delivered Lumens: Values in White Textured Finish
2700K 3000K 3500K 4000K
17Lm 18Lm 186Lm 187Lm

Lumen Maintenance (L80/B10): 55,000hrs @ +25°C

Calculation for LED fixtures are based on measurements that comply with IES LM-80.

Voltage: 24V DC

IK Rating: IK10

IP Rating: IP66

BUG: BO-UI-GO

Certifications: UL Listed Class 2 wet location E479873

Low voltage landscape lighting. Tested in accordance with LM-79-08

Energy efficient for California installations.

Warranty: 5 year limited warranty

Designed in collaboration with Gensler as Product Design Consultant

*Consult factory for use in marine grade environments. Not to be in direct contact with salt for extended periods of time or used with corrosive agents.



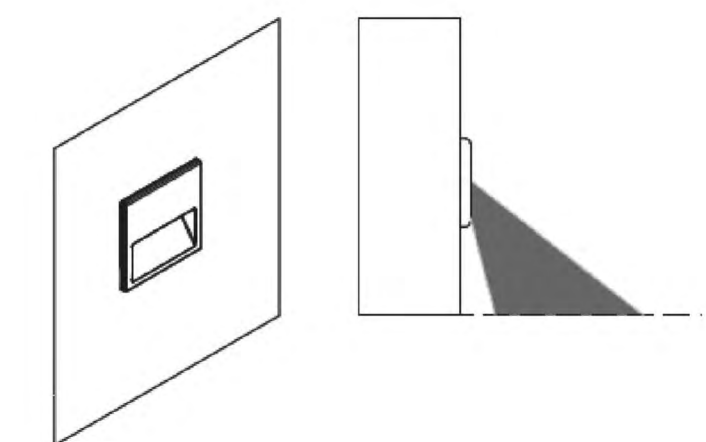
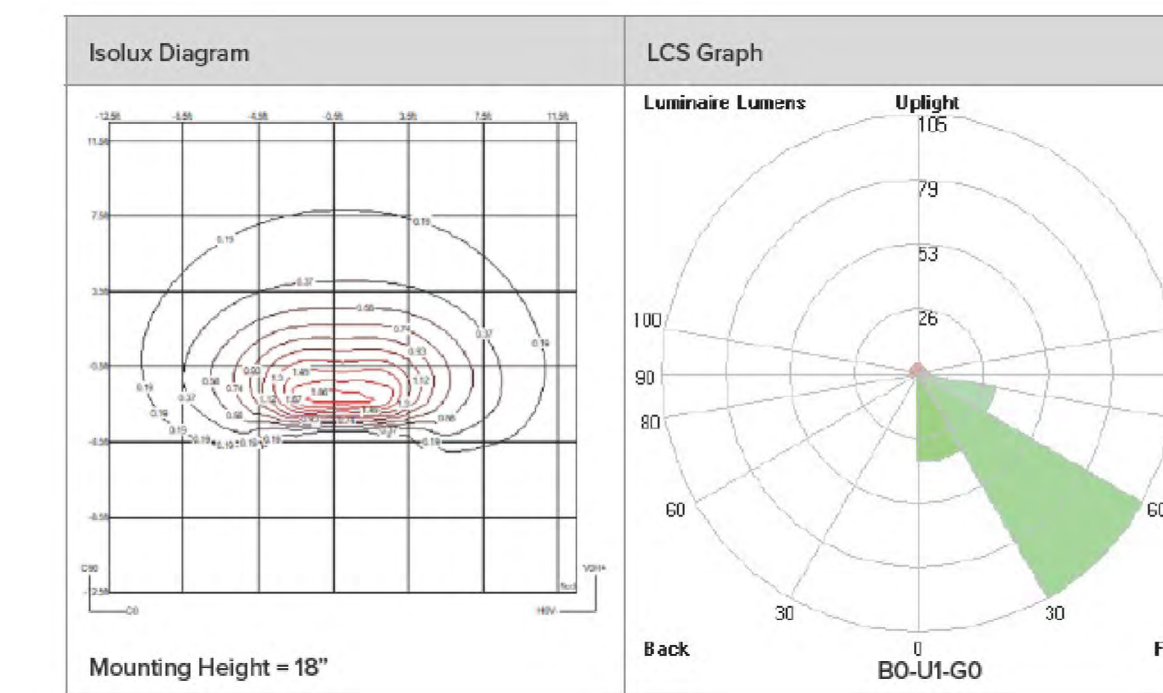
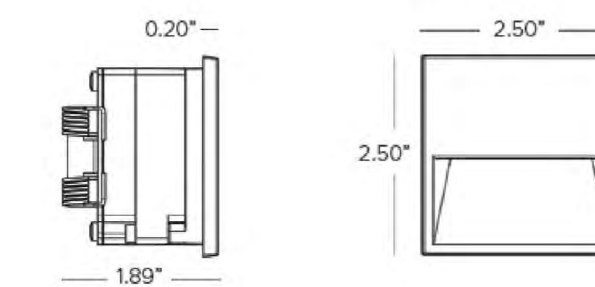
Shown in Sandstone Grey Finish



Suitable for indoor and outdoor applications

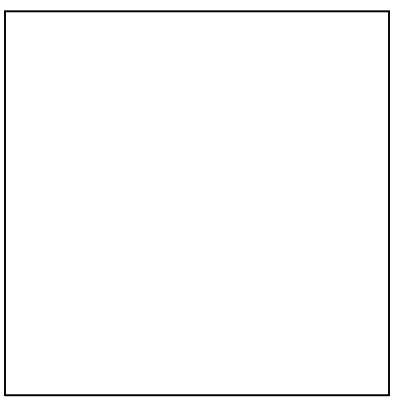
PRODUCT CODE	TYPE	DRIVER	FACEPLATE	FINISH	WATTAGE	COLOR TEMP	VOLTAGE	+	INSTALLATION & POWER SUPPLY
ZES - ZEDGE	HO - High Output	RP - Remote Power	FW - Floor Washer	FE - Ferrite Grey	L2 - 4W	27 - 2700K	24 - 24V DC		Required (See page)
				HB - Heritage Brown		30 - 3000K			
				BZ - Bronze RAL8019		35 - 3500K			
				WT - White Textured		40 - 4000K			
				BT - Black Textured					
				SG - Sandstone Grey					

Views



ARCHITECTURE
Design | Planning | Interiors

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ALPER - WILLIAMS RESIDENCE
142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

ISSUE NAME	DATE
DRB SUBMITTAL	03.13.23

DRAWING TITLE

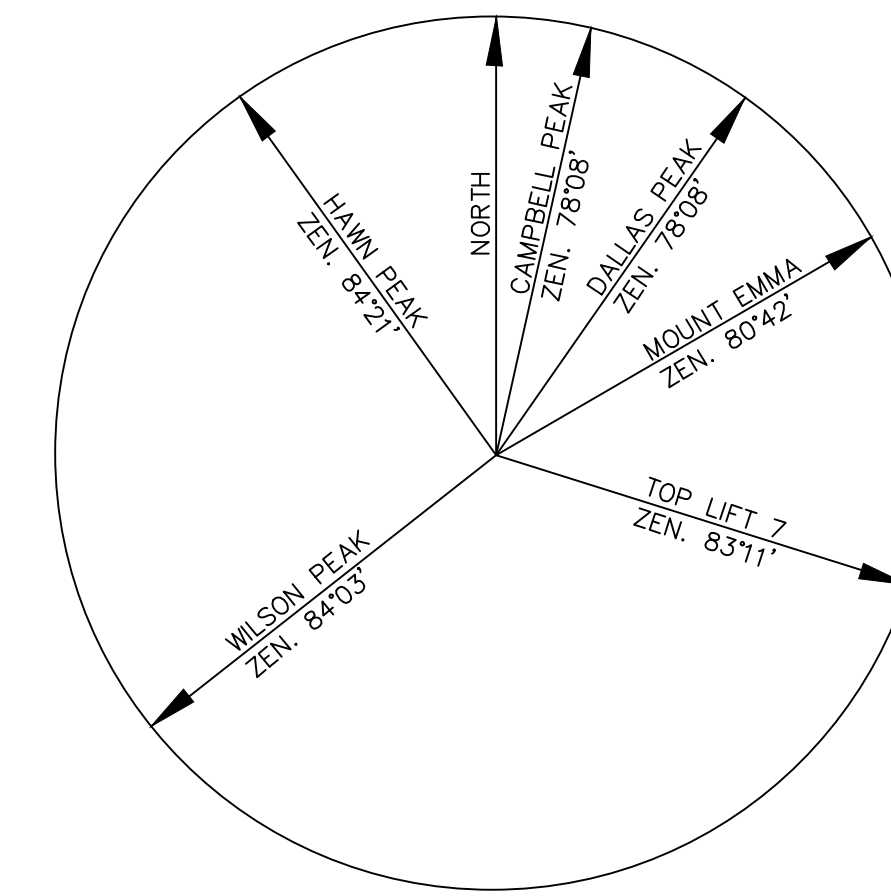
Site Lighting Information

SHEET NO.

L-102

PROPERTY DESCRIPTION:

LOT 391, TELLURIDE MOUNTAIN VILLAGE, FILING 38,
 ACCORDING TO THE PLAT RECORDED OCTOBER 23, 1996
 IN PLAT BOOK 1 AT PAGE 2146,
 COUNTY OF SAN MIGUEL,
 STATE OF COLORADO.

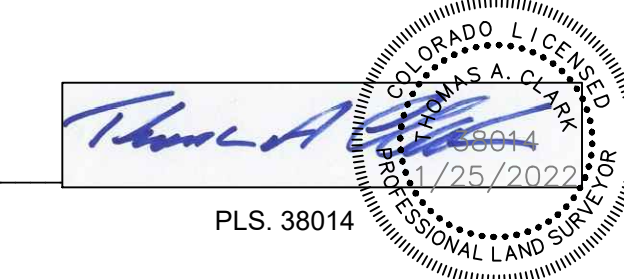


VIEW ANGLES

ANGLES ENUMERATED
 ARE ZENITH ANGLES

SURVEYOR'S CERTIFICATE:

I, Thomas A. Clark, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Lot 391 Mountain Village was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.

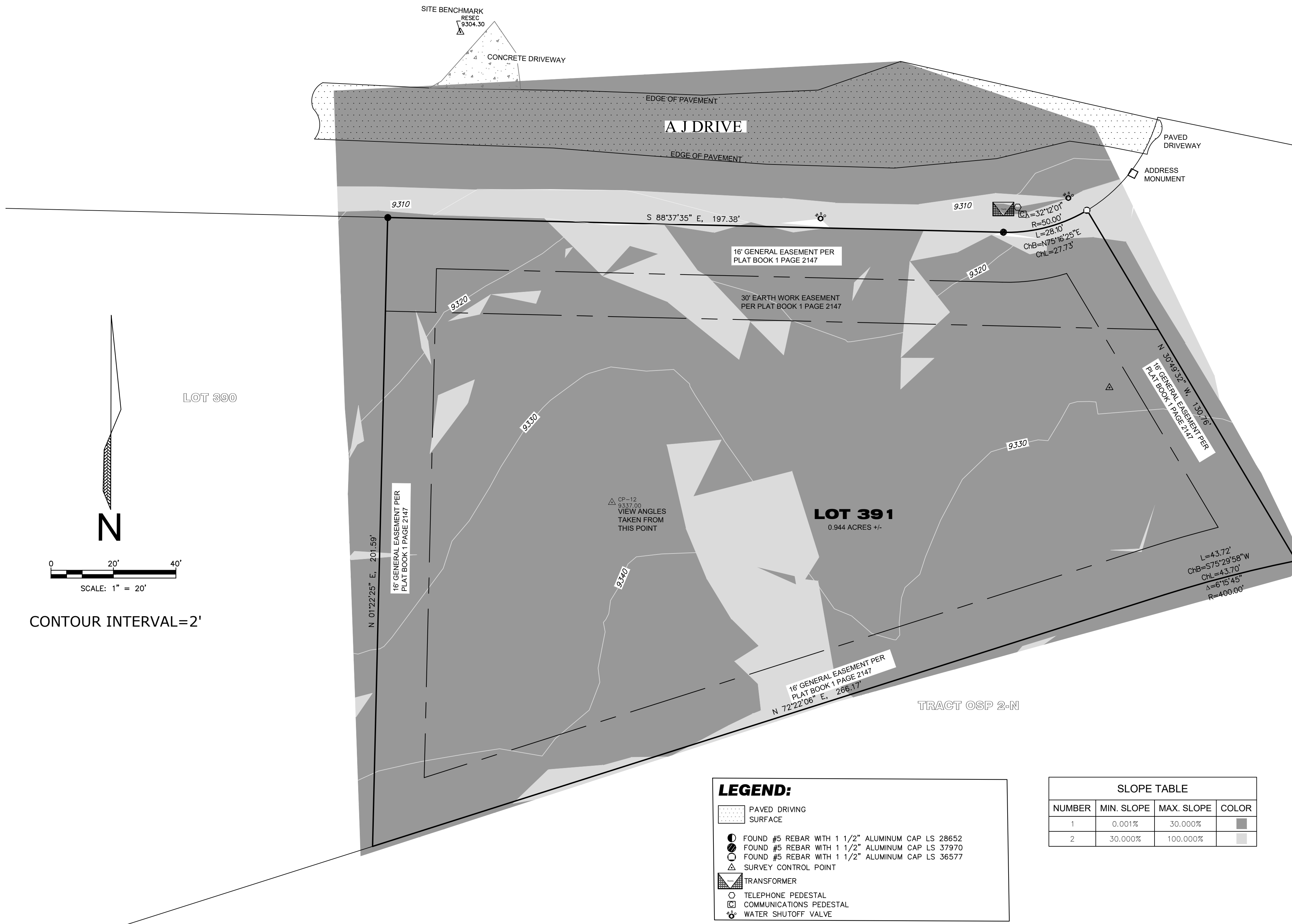


Thomas A. Clark

PLS. 38014

NOTES:

- Easement research and property description provided by LAND TITLE GUARANTEE COMPANY - TELLURIDE, Order Number TLR86012266-5 effective on 11/30/2021 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Map 008113C0300C Panel Number 0287 dated September 30, 1988 this parcel is within Zone X; Areas determined to be outside 500 year plain.
- Field work was performed in January 2022.
- Elevation datum for this survey is based on GPS observation and OPUS solution (NAVD 88) on benchmark "RESEC" that elevation being 9304.30 as shown hereon.
- This survey is valid only if a printed or electronic copy has a seal and signature of the surveyor noted within the statement above.
- NOTICE: According to Colorado law you must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.



LEGEND:

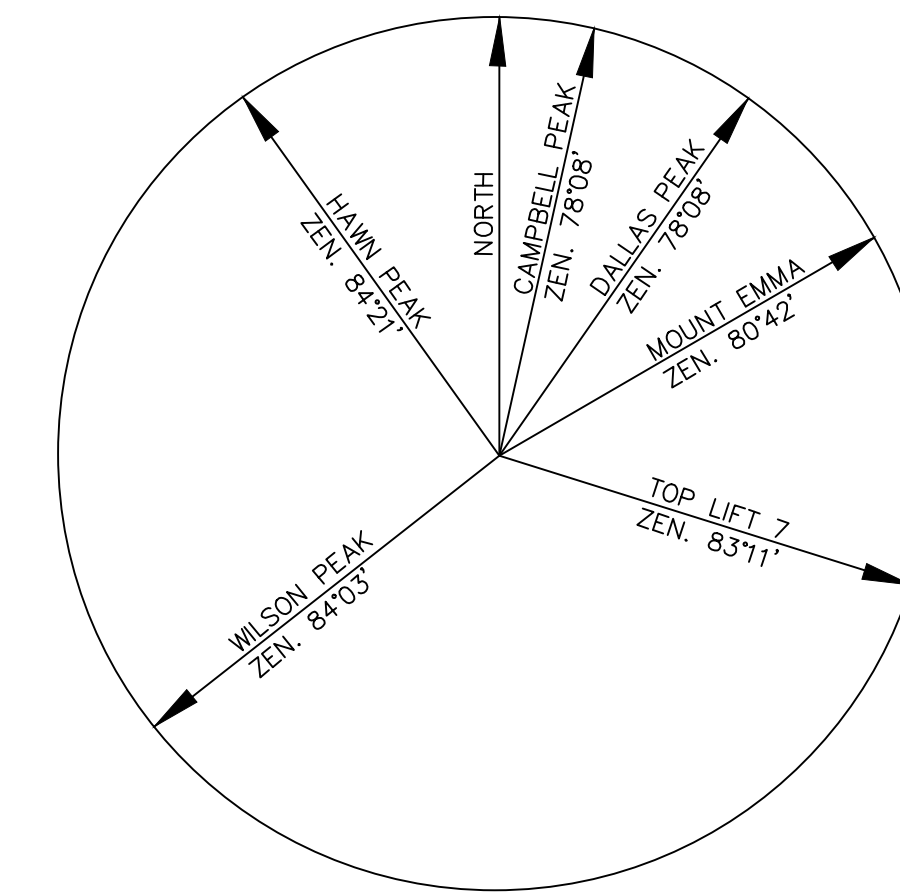
- PAVED DRIVING SURFACE
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 28652
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 37970
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 36577
- SURVEY CONTROL POINT
- TRANSFORMER
- TELEPHONE PEDESTAL
- COMMUNICATIONS PEDESTAL
- WATER SHUTOFF VALVE

SLOPE TABLE

NUMBER	MIN. SLOPE	MAX. SLOPE	COLOR
1	0.001%	30.000%	
2	30.000%	100.000%	

PROPERTY DESCRIPTION:

LOT 391, TELLURIDE MOUNTAIN VILLAGE, FILING 38,
 ACCORDING TO THE PLAT RECORDED OCTOBER 23, 1996
 IN PLAT BOOK 1 AT PAGE 2146,
 COUNTY OF SAN MIGUEL,
 STATE OF COLORADO.



VIEW ANGLES

ANGLES ENUMERATED
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SURVEYOR'S CERTIFICATE:

I, Thomas A. Clark, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Lot 391 Mountain Village was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.

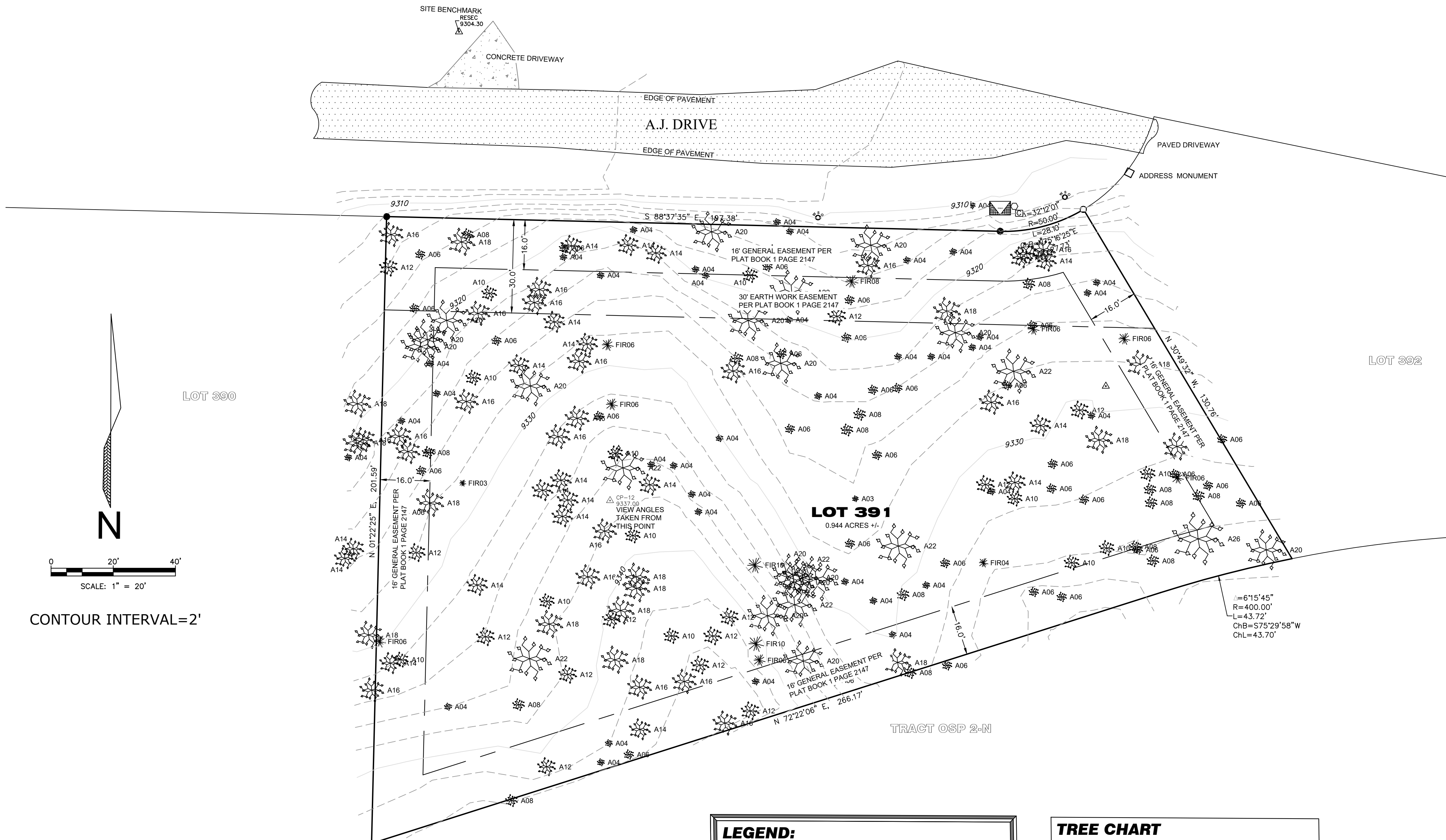


Thomas A. Clark

PLS. 38014

NOTES:

- Easement research and property description provided by LAND TITLE GUARANTEE COMPANY - TELLURIDE, Order Number TLR86012266-5 effective on 11/30/2021 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Map 008113C0286C dated September 30, 1988 this parcel is within Zone X; Areas determined to be outside 500 year plain.
- Field work was performed in January 2022.
- Elevation datum for this survey is based on GPS observation and OPUS solution (NAVD 88) on benchmark "RESEC" that elevation being 9304.30 as shown hereon.
- This survey is valid only if a printed or electronic copy has a seal and signature of the surveyor noted within the statement above.
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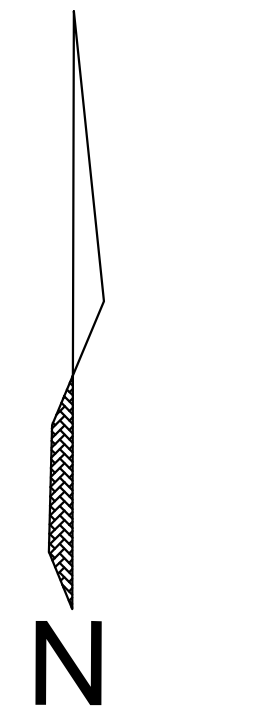


LEGEND:

	PAVED DRIVING SURFACE
	FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 28652
	FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 37970
	FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 36577
	SURVEY CONTROL POINT
	TRANSFORMER
	TELEPHONE PEDESTAL
	COMMUNICATIONS PEDESTAL
	WATER SHUTOFF VALVE

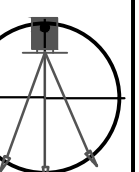
TREE CHART

	SPRUCE TREE WITH TRUNK DIAMETER INDICATED IN INCHES
	FIR TREE WITH TRUNK DIAMETER INDICATED IN INCHES
	ASPEN TREE WITH TRUNK DIAMETER INDICATED IN INCHES



SCALE: 1" = 20'

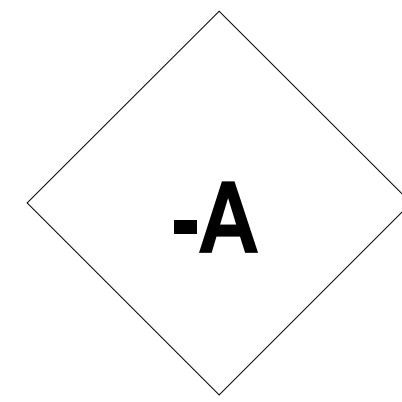
CONTOUR INTERVAL=2'



EXTERIOR

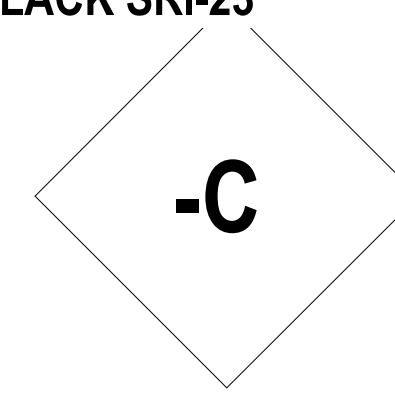


VERTICAL STAINED WOOD SIDING AND SOFFIT

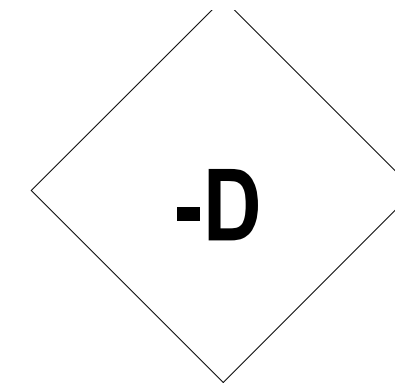


PAINTED BRAKE METAL PANEL & FASCIA:

22 GA PAINTED BRAKE METAL
PAINTED : KYNAR 500 MATTE
BLACK SRI-23



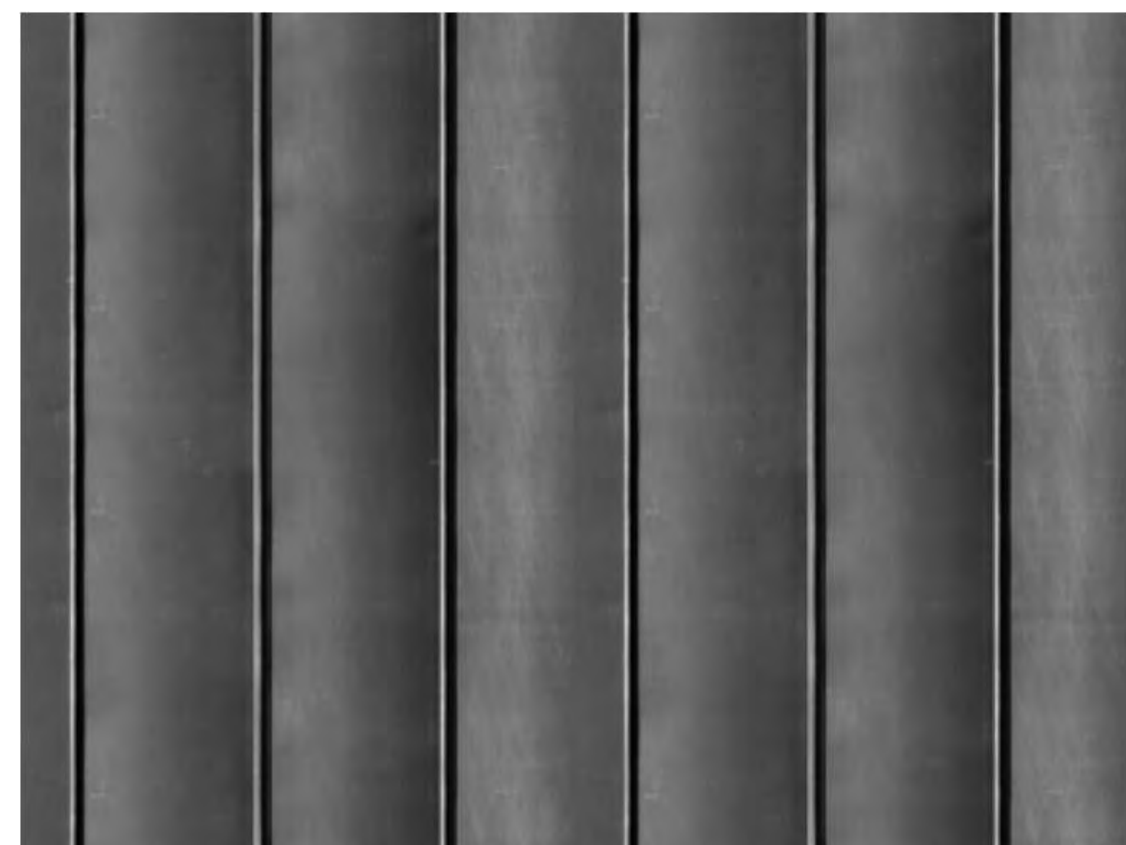
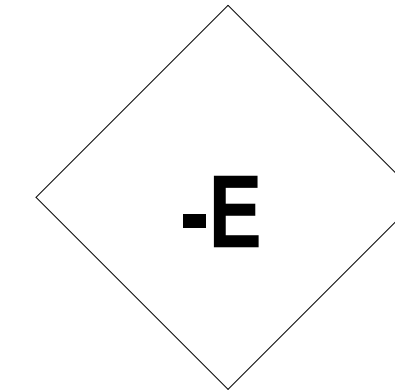
DRY STACK - TELLURIDE GOLD VENEER 3 1/2" THK



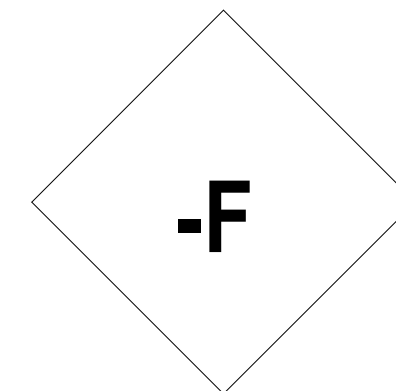
SEE 5/A702 FOR WINDOW
DETAIL AT STONE



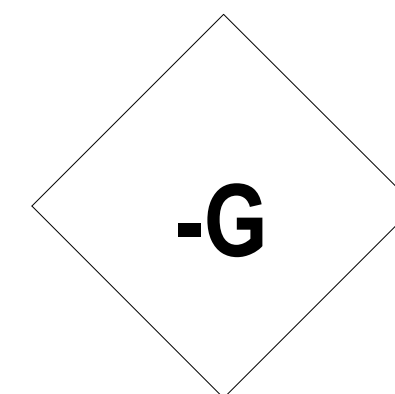
STANDING SEAM METAL - 22 GA MIN WALL PANEL TO MATCH ROOFING



STANDING SEAM METAL - 22 GA MIN ROOFING AND WALL PANEL TO MATCH



BLACK ALUMINUM CLAD WOOD WINDOWS



SEE 5/A702 FOR WINDOW
DETAIL AT STONE

MATERIAL BREAKDOWN

MAIN HOUSE

	NORTH	EAST	SOUTH	WEST	TOTAL	%
STONE	975.56	418.49	194.94	479.29	2176.23	38.21%
WOOD	117.96	152.59	253.02	205.12	728.69	12.79%
METAL	428.38	571.96	184.5	362.12	1546.96	27.16%
GLASS	693.69	321.57	85.43	143.54	1244.23	21.84%
TOTAL					5696.11	100%

ADU MATERIAL CALCULATIONS

	NORTH	EAST	SOUTH	WEST	TOTAL	%
STONE	75.4	0	88.5	310.8	474.7	42.6%
WOOD	31	151	0	18.2	200.2	17.97%
METAL	99.9	32.4	16.7	32.7	181.7	16.31%
GLASS	128.1	70.6	20.8	38.2	257.7	23.12%
TOTAL					1114.3	100%



METHOD HOMES
95 YESLER WAY
SUITE 300
SEATTLE, WA 98104
T. 206.789.5553

ALPER - WILLIAMS RESIDENCE
142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

DRB SUBMITTAL

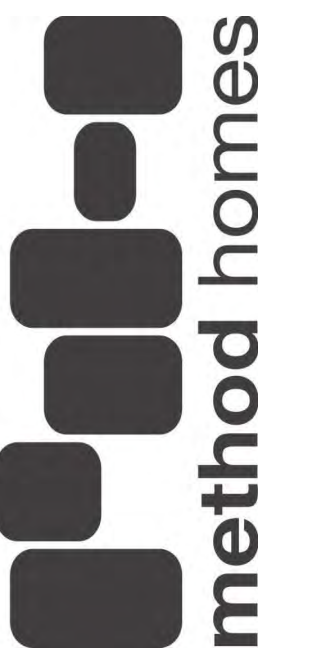
No.	Description	Date

MATERIAL BOARD

Client: ALPER - WILLIAMS
Date: 02.03.2023

A002

Scale: 1/4" = 1'-0"



method homes
 METHOD HOMES
 95 YESLER WAY
 SUITE 300
 SEATTLE, WA 98104
 T. 206.789.5553

ALPER - WILLIAMS RESIDENCE
 142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

DRB SUBMITTAL

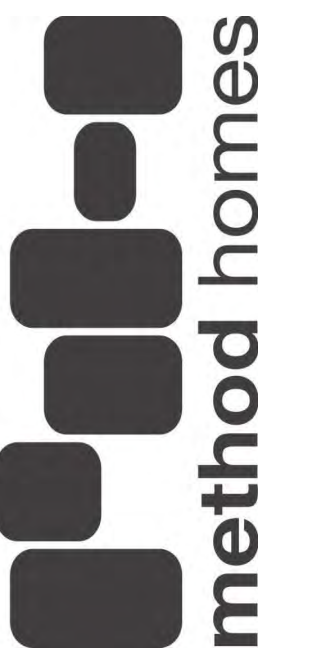
No.	Description	Date

RENDERINGS 01

Client ALPER - WILLIAMS
 Date 02.03.2023

A003

Scale



method homes
 METHOD HOMES
 95 YESLER WAY
 SUITE 300
 SEATTLE, WA 98104
 T. 206.789.5553

ALPER - WILLIAMS RESIDENCE
 142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

DRB SUBMITTAL

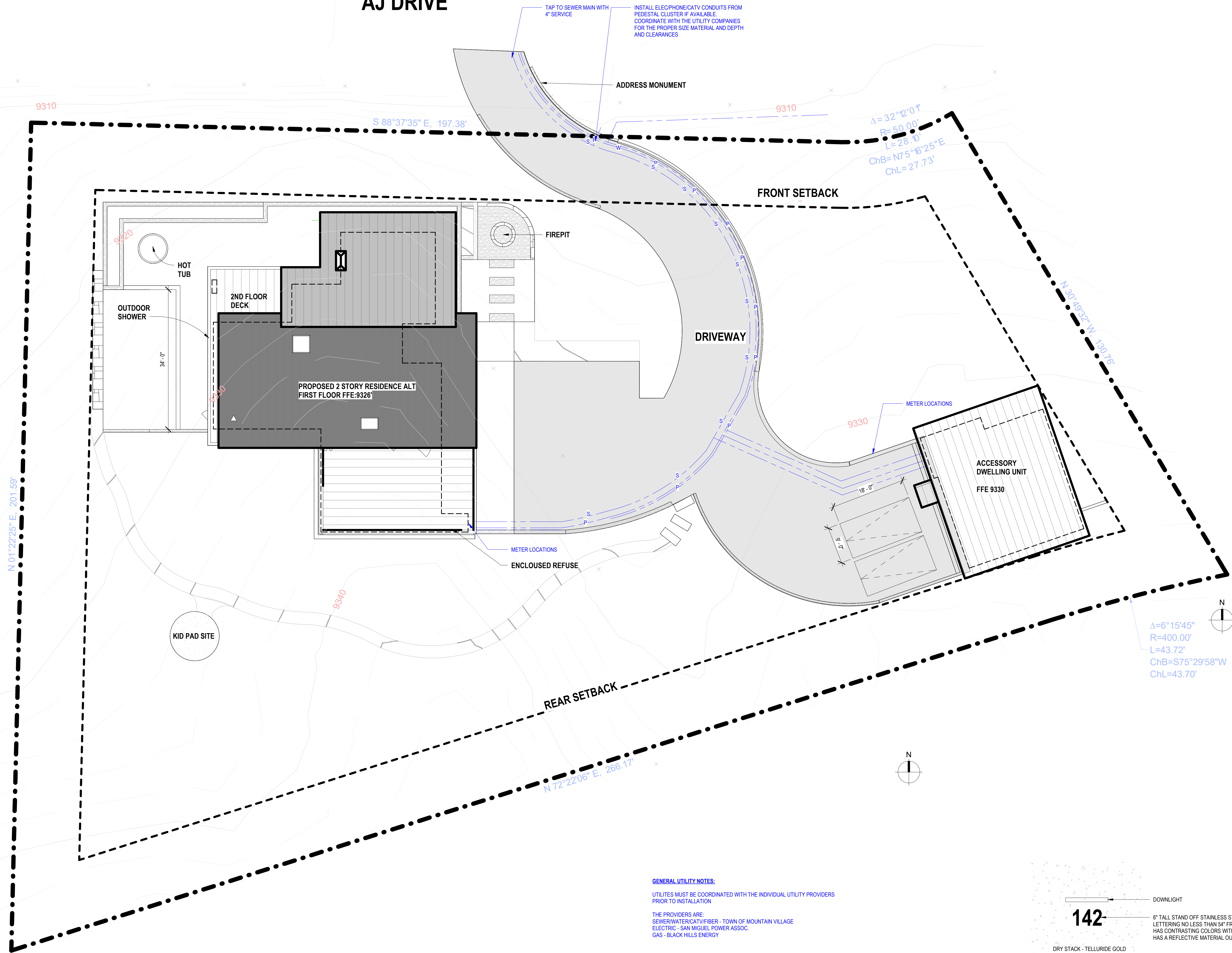
No.	Description	Date

RENDERINGS 02

Client ALPER - WILLIAMS
 Date 02.03.2023

A004

AJ DRIVE



TAP TO SEWER MAIN WITH 4" SERVICE

INSTALL ELECPHONE/CATV CONDUITS FROM PEDESTAL CLUSTER IF AVAILABLE. COORDINATE WITH THE UTILITY COMPANIES FOR THE PROPER SIZE MATERIAL AND DEPTH AND CLEARANCES

ADDRESS MONUMENT

FRONT SETBACK

DRIVEWAY

METER LOCATIONS

ACCESSORY DWELLING UNIT

FFE 9330

METER LOCATIONS

ENCLOSED REFUSE

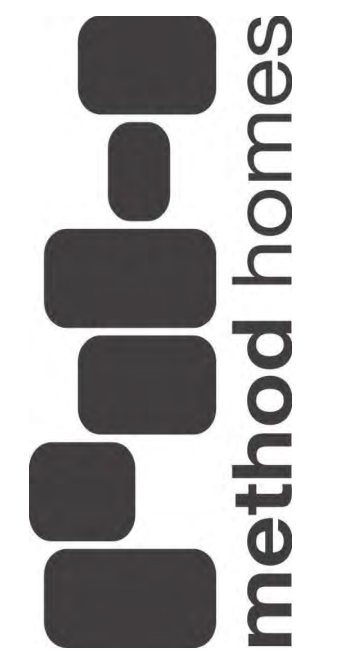
REAR SETBACK

$\Delta = 6^{\circ} 15' 45''$
 $R = 400.00'$
 $L = 43.72'$
 $ChB = S75^{\circ} 29' 58'' W$
 $ChL = 43.70'$

GENERAL UTILITY NOTES:
 UTILITES MUST BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS PRIOR TO INSTALLATION
 THE PROVIDERS ARE:
 SEWER/WATER/CATV/FIBER - TOWN OF MOUNTAIN VILLAGE
 ELECTRIC - SAN MIGUEL POWER ASSOC.
 GAS - BLACK HILLS ENERGY

142
 DRY STACK - TELLURIDE GOLD VENEER RETAINING WALL ALONG DRIVEWAY
 DOWNLIGHT
 6" TALL STAND OFF STAINLESS STEEL NUMBERS. LETTERING NO LESS THAN 54" FROM FINISH GRADE & HAS CONTRASTING COLORS WITH THE RETAINING WALL & HAS A REFLECTIVE MATERIAL OUTLINE

2 ADDRESS MONUMENT



METHOD HOMES
 95 YESLER WAY
 SUITE 300
 SEATTLE, WA 98104
 T. 206.789.5553

ALPER - WILLIAMS RESIDENCE
 142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

DRB SUBMITTAL

No.	Description	Date

SITE PLAN AND UTILITY ROUTING

Client: ALPER - WILLIAMS
 Date: 02.03.2023

A005

Scale: As indicated

1 SITE PLAN
 SCALE: 3/32" = 1'-0"



METHOD HOMES
95 YESLER WAY
SUITE 300
SEATTLE, WA 98104
T. 206.789.5553

ALPER - WILLIAMS RESIDENCE
142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

DRB SUBMITTAL

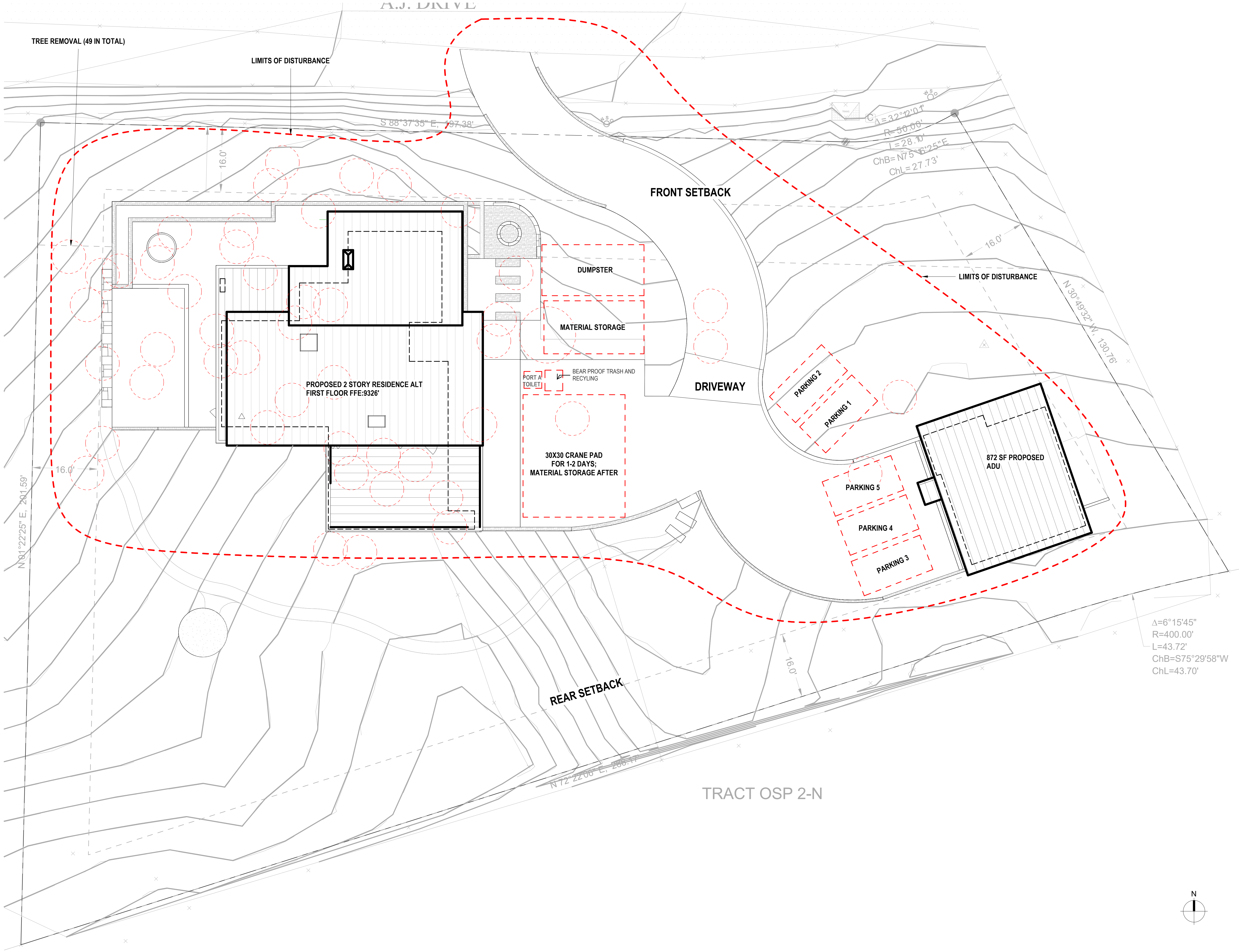
No.	Description	Date

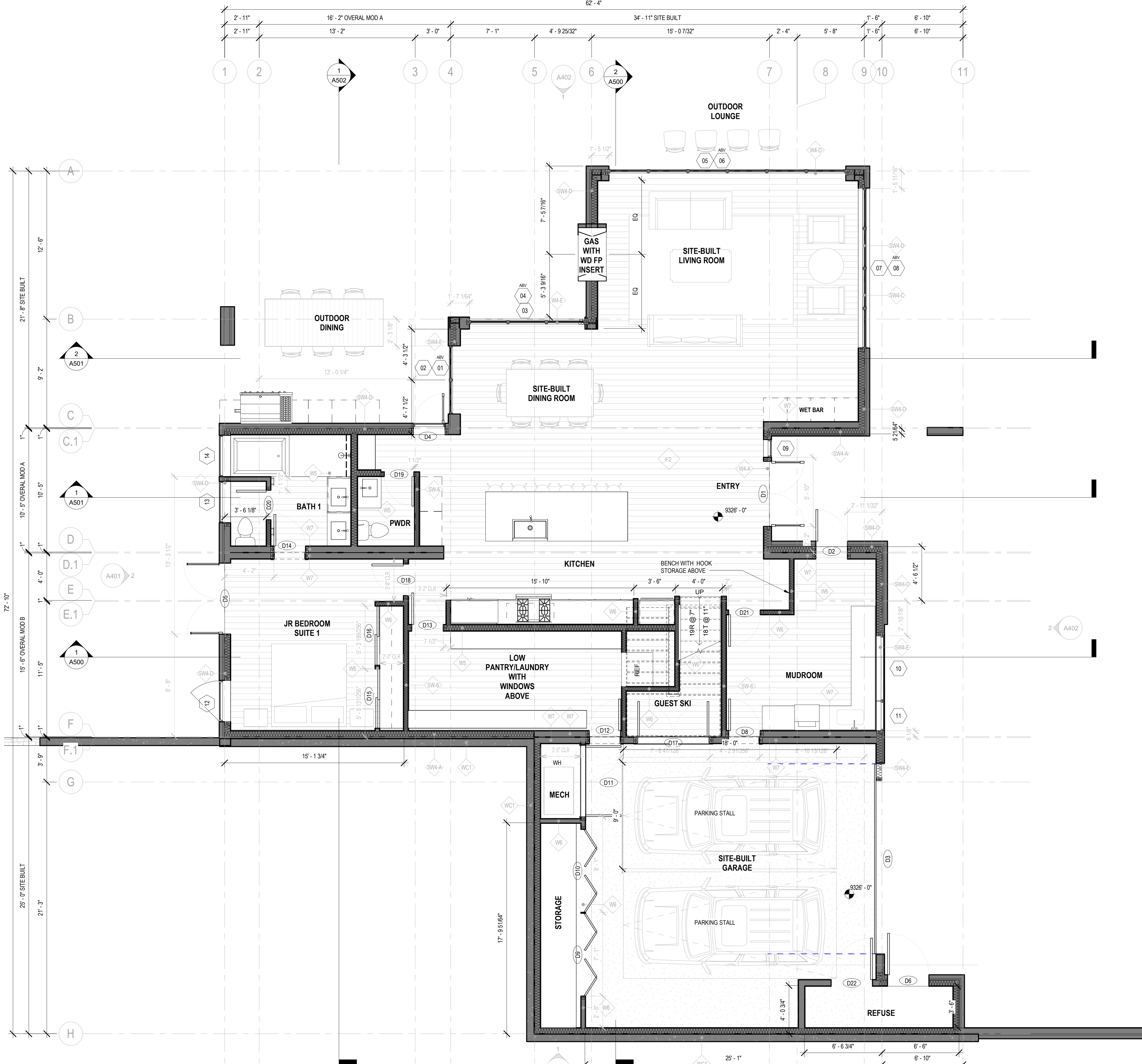
**CONSTRUCTION
MITIGATION PLAN**

Client: ALPER - WILLIAMS
Date: 02.03.2023

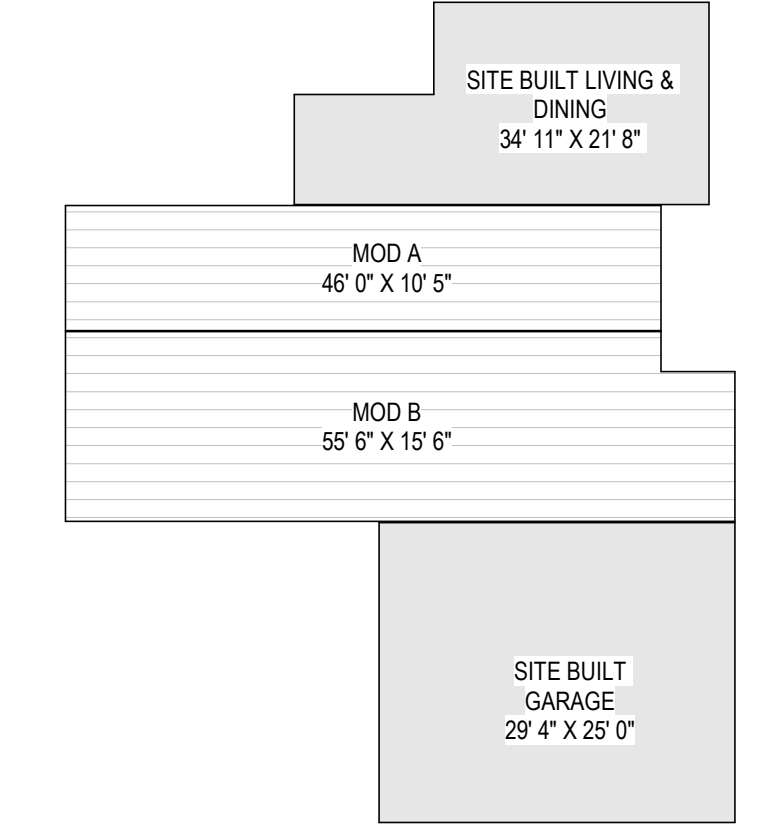
A007

Scale: 3/32" = 1'-0" 3/13/2023 2:03:13 PM





FIRST FLOOR MODULAR KEY PLAN



WALL LEGEND

- EXTERIOR FINISH SUFFIX LEGEND:**
- A Vertical Stained Wood Siding
 - C 22 GA Painted Brake Metal Painted - Kynar 500 Matte Black SRI23
 - D Dry Stack - Telluride Gold
 - E Standing Seam Metal - 22 GA Min Wall Panel to match roofing
- WC1 Concrete Wall - 8"
 - W4 EXTERIOR: Finish per Exterior Finish Legend of 1/4" Keene Easy Furr of Zip R6 Sheathing of 2x6 Wood Stud Framing per Structural w/ R23 Blown in Insulation of 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - W4 INT
 - SW4 EXTERIOR: Finish per Exterior Finish Legend of 1/4" Keene Easy Furr of Zip R6 Sheathing of 15/32" CDX Plywood of 2x6 Wood Stud Framing per Structural w/ R23 Blown in Insulation of 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - SW4 INT: Shearwall
 - W5 INT: Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - W5 INT
 - SW5 INT: Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 15/32" CDX Plywood of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - SW5 INT
 - SW6 INT: Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 15/32" CDX Plywood of 2x4 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - SW6 INT
 - SW6 INT: Shearwall
 - SW6 INT
 - W7 MARRIAGE: 15/32" CDX Plywood of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - W7 INT

FLOOR & ROOF LEGEND

- F1 Concrete, Cast-in-Place gray
- F2 Finish per Finish Schedule of 1-1/8" Warm Board of 11 7/8" framing per struct w/ R-38 Batt Insulation
- R1 Finish per Finish Schedule of 7 1/4" Framing per struct w/ R-38 Batt Insulation 5/8" GWB* (Level 4) of
- R2 Finish per Finish Schedule of 11 7/8" framing per struct w/ R-38 Batt Insulation 5/8" GWB* (Level 4) of
- R3 Mechanically Fastened Metal Roofing of Ice and Water Shield of Framing per Structural w/ 4" Spray Foam (R20) + R30 Batt Insulation (R50) of 5/8" GWB (Level 5) of Vapor Resistive Primer of Finish per Finish Schedule
- R4 Mechanically Fastened Metal Roofing of Ice and Water Shield of 1/2" Sheathing per Structural of Framing per Structural w/ 5/8" GWB (Level 5) of Vapor Resistive Primer of Finish per Finish Schedule

DRB SUBMITTAL

No.	Description	Date

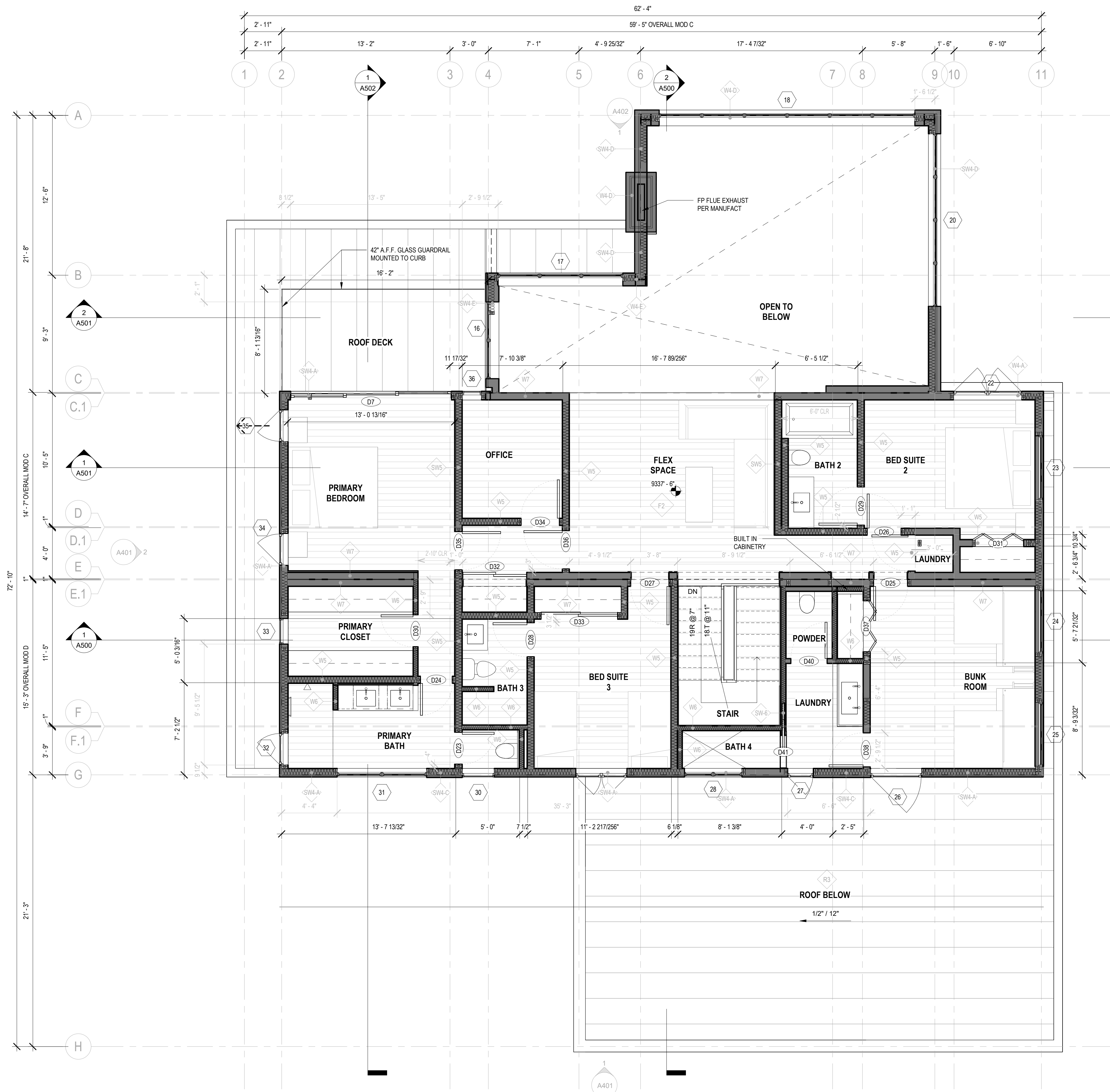
FIRST FLOOR PLAN

Client: ALPER - WILLIAMS
Date: 02.03.2023

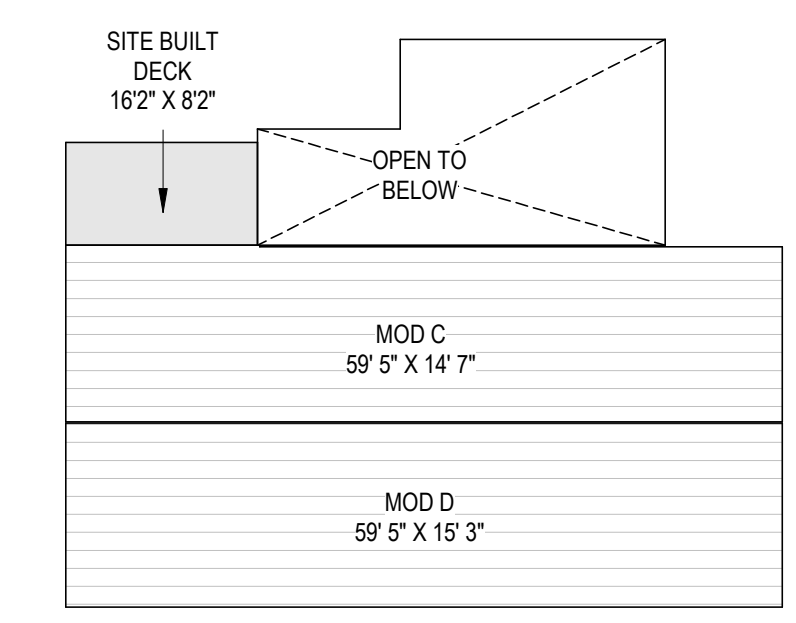
A200

Scale: As indicated

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR MODULAR KEY PLAN

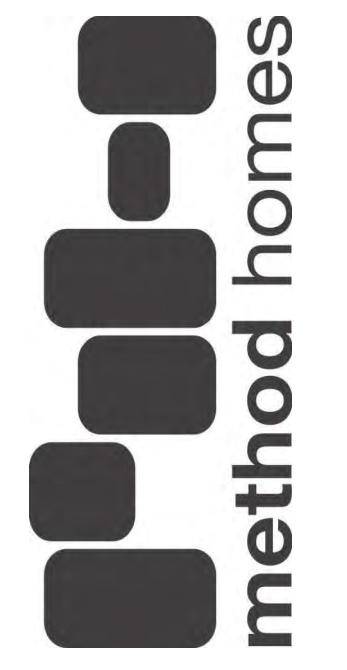


WALL LEGEND

- EXTERIOR FINISH SUFFIX LEGEND:**
- ◊-A Vertical Stained Wood Siding
 - ◊-C 22 GA Painted Brake Metal Painted - Kynar 500 Matte Black SRI23
 - ◊-D Dry Stack - Telluride Gold
 - ◊-E Standing Seam Metal - 22 GA Min Wall Panel to match roofing
- ◊WC1 Concrete Wall - 8"
 - ◊W4- EXTERIOR Finish per Exterior Finish Legend of 1/4" Keene Easy Furr of Zip R6 Sheathing of 2x6 Wood Stud Framing per Structural w/ R23 Blown in Insulation of 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - ◊W4- INT
 - ◊SW4- EXTERIOR Finish per Exterior Finish Legend of 1/4" Keene Easy Furr of Zip R6 Sheathing of 15/32" CDX Plywood of 2x6 Wood Stud Framing per Structural w/ R23 Blown in Insulation of 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - ◊SW4- INT
 - ◊W5- INT Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - ◊W5- INT
 - ◊SW5- INT Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 15/32" CDX Plywood of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - ◊SW5- INT
 - ◊W6- INT Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 2x4 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - ◊W6- INT
 - ◊SW6- INT Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 15/32" CDX Plywood of 2x4 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - ◊SW6- INT
 - ◊W7- MARRIAGE 15/32" CDX Plywood of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - ◊W7- INT

FLOOR & ROOF LEGEND

- ◊F1 Concrete, Cast-in-Place gray
- ◊F2 Finish per Finish Schedule of 1-1/8" Warm Board of 11 7/8" Framing per struct w/ R-38 Batt Insulation
- ◊R1 Finish per Finish Schedule of 7 1/4" framing per struct w/ R-38 Batt Insulation 5/8" GWB* (Level 4) of
- ◊R2 Finish per Finish Schedule of 11 7/8" framing per struct w/ R-38 Batt Insulation 5/8" GWB* (Level 4) of
- ◊R3 Mechanically Fastened Metal Roofing of Ice and Water Shield of 1/2" Sheathing per Structural of Framing per Structural w/ 4" Spray Foam (R20) + R30 Batt Insulation (R50) of 5/8" GWB (Level 5) of Vapor Resistive Primer of Finish per Finish Schedule
- ◊R4 Mechanically Fastened Metal Roofing of Ice and Water Shield of 1/2" Sheathing per Structural of Framing per Structural w/ 5/8" GWB (Level 5) of Vapor Resistive Primer of Finish per Finish Schedule



METHOD HOMES
95 YESLER WAY
SUITE 300
SEATTLE, WA 98104
T. 206.789.5553

ALPER - WILLIAMS RESIDENCE
142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

DRB SUBMITTAL

No.	Description	Date

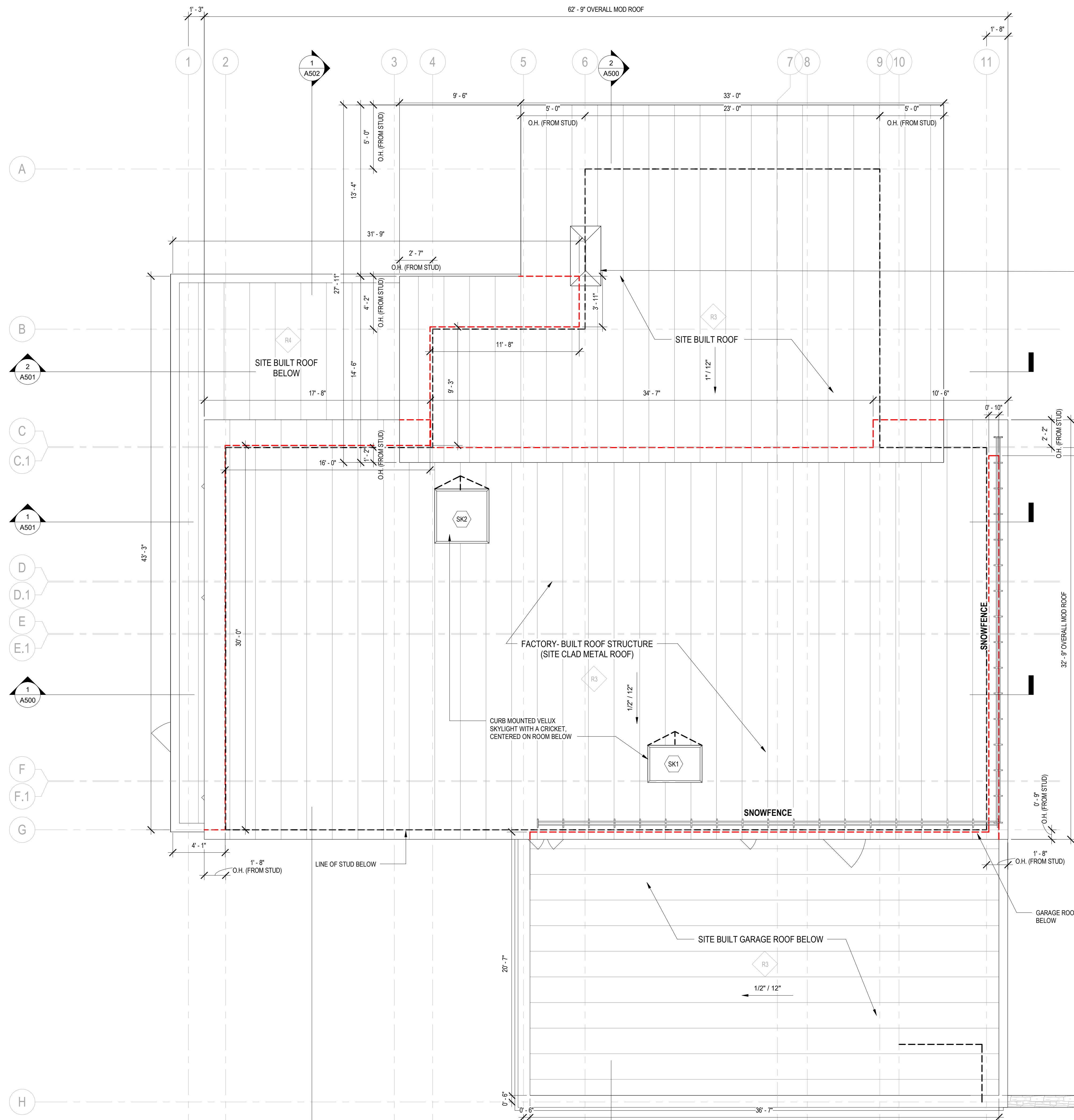
SECOND FLOOR PLAN

Client ALPER - WILLIAMS
Date 02.03.2023

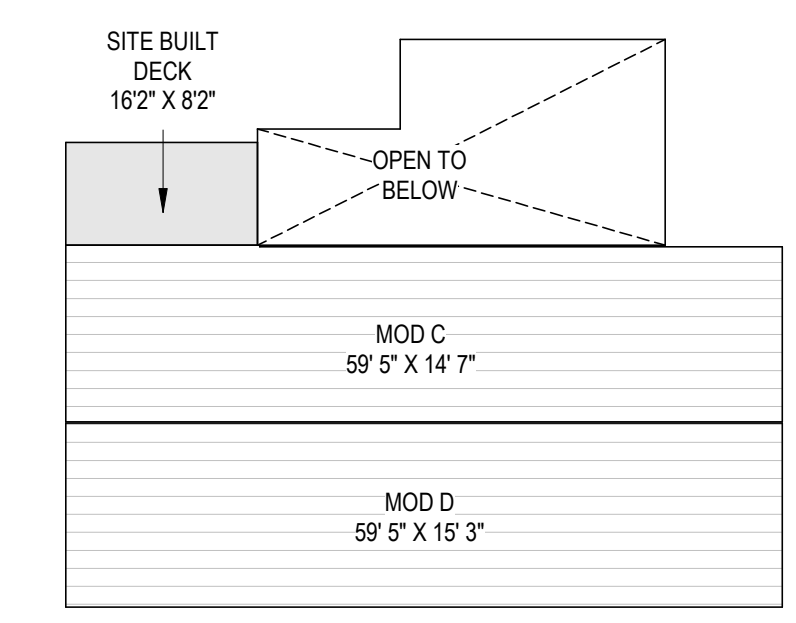
A201

Scale As indicated

1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

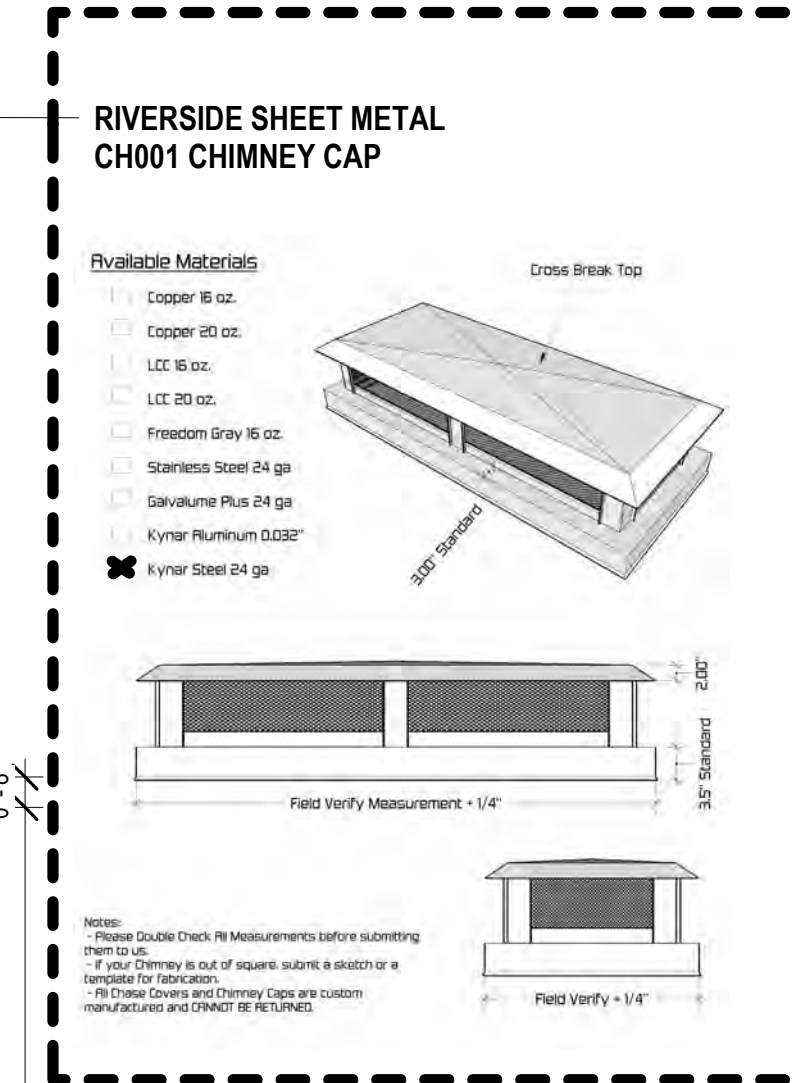


SECOND FLOOR MODULAR KEY PLAN



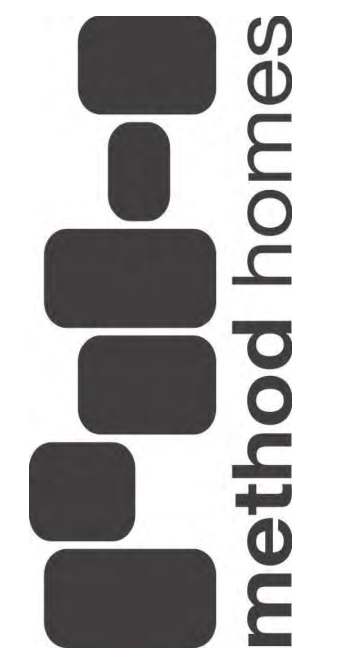
WALL LEGEND

- EXTERIOR FINISH SUFFIX LEGEND:
- A Vertical Stained Wood Siding
 - C 22 GA Painted Brake Metal Painted : Kynar 500 Matte Black SR123
 - D Dry Stack - Telluride Gold
 - E Standing Seam Metal - 22 GA Min Wall Panel to match roofing
 - WC1 Concrete Wall - 8"
 - W4- EXTERIOR INT Finish per Exterior Finish Legend of 1/4" Keene Easy Furr of Zip R6 Sheathing of 2x6 Wood Stud Framing per Structural w/ R23 Blown in Insulation of 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - SW4- EXTERIOR INT Finish per Exterior Finish Legend of 1/4" Keene Easy Furr of Zip R6 Sheathing of 15/32" CDX Plywood of 2x6 Wood Stud Framing per Structural w/ R23 Blown in Insulation of 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - W5- INT INT Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - SW5- INT INT Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 15/32" CDX Plywood of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - W6- INT INT Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 2x4 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - SW6- INT INT Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 15/32" CDX Plywood of 2x4 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - W7- MARRIAGE INT 15/32" CDX Plywood of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule



FLOOR & ROOF LEGEND

- F1 Concrete, Cast-in-Place gray
- F2 Finish per Finish Schedule of 1-1/8" Warm Board of 11 7/8" framing per struct w/ R-38 Batt Insulation
- R1 Finish per Finish Schedule of 7 1/4" framing per struct w/ R-38 Batt Insulation 5/8" GWB* (Level 4) of
- R2 Finish per Finish Schedule of 11 7/8" framing per struct w/ R-38 Batt Insulation 5/8" GWB* (Level 4) of
- R3 Mechanically Fastened Metal Roofing of Ice and Water Shield of 1/2" Sheathing per Structural of Framing per Structural w/ 4" Spray Foam (R20) + R30 Batt Insulation (R50) of 5/8" GWB (Level 5) of Vapor Resistive Primer of Finish per Finish Schedule
- R4 Mechanically Fastened Metal Roofing of Ice and Water Shield of 1/2" Sheathing per Structural of Framing per Structural w/ 5/8" GWB (Level 5) of Vapor Resistive Primer of Finish per Finish Schedule



METHOD HOMES
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ALPER - WILLIAMS RESIDENCE
142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

DRB SUBMITTAL

No.	Description	Date

ROOF PLAN

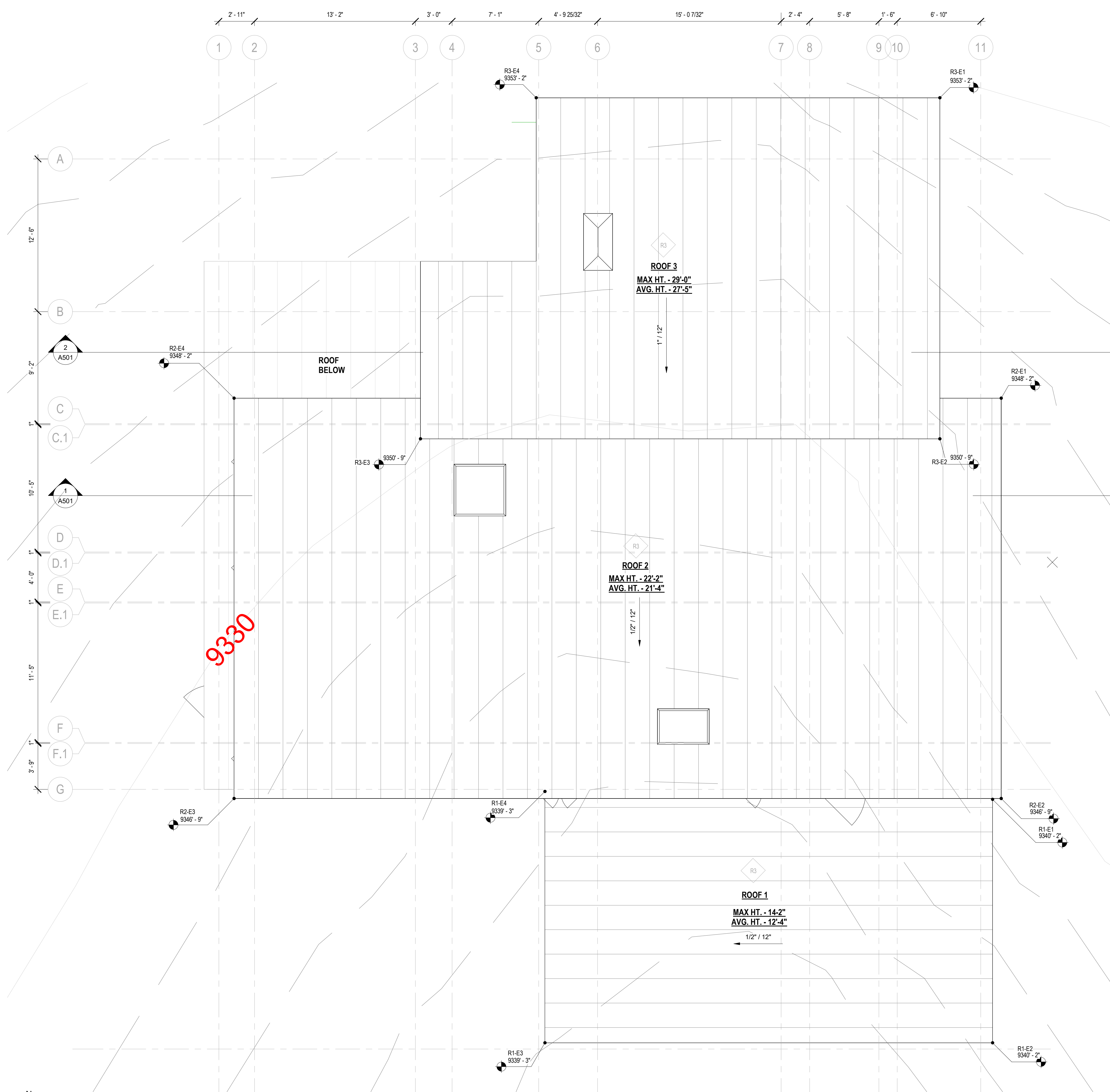
Client ALPER - WILLIAMS
Date 02.03.2023

A300

Scale As indicated

1 ROOF PLAN
SCALE: 1/4" = 1'-0"

ALPER - WILLIAMS RESIDENCE
142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435



BUILDING HEIGHT DIAGRAM

ROOF 1	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9337'-5"	9334'-11"	9330'-9"	9326'-10"	9332'-6"
FINISH GRADE	9326'	9326'	9330'-9"	9326'-10"	9327'-5"
ROOF ELEVATION	9340'-2"	9340'-2"	9339'-3"	9339'-3"	9339'-8"
Δ (TAKEN FROM MORE RESTRICTIVE GRADE)	14' - 2"	14' - 2"	8' 6"	12' 5"	12' 4"

ROOF 2	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9331' 3"	9330' 8"	9326' 3"	9326' 3"	9328' 7"
FINISH GRADE	9326'	9326'	9326' 3"	9326'	9326'-1"
ROOF ELEVATION	9348'-2"	9346'-9"	9346'-9"	9348'-2"	9347'-5"
Δ (TAKEN FROM MORE RESTRICTIVE GRADE)	22'-2"	20'	21' 10"	22'-2"	21'-4"

ROOF 3	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9328' -10"	9328' -2"	9322' -1"	9324' -2"	9325' -10"
FINISH GRADE	9326'	9326'	9326'	9326'	9326'
ROOF ELEVATION	9353'-2"	9350'-9"	9350'-9"	9353'-2"	9351'-9"
Δ (TAKEN FROM MORE RESTRICTIVE GRADE)	27'-2"	24'-9"	28'-8"	29' -0"	27' - 5"

MAXIMUM AVERAGE HEIGHT: 12'-4" + 21'-4" + 27'-5" = 59'-6"/3 = 20'-4"
MAXIMUM HEIGHT: 29'-0"

DRB SUBMITTAL

No.	Description	Date

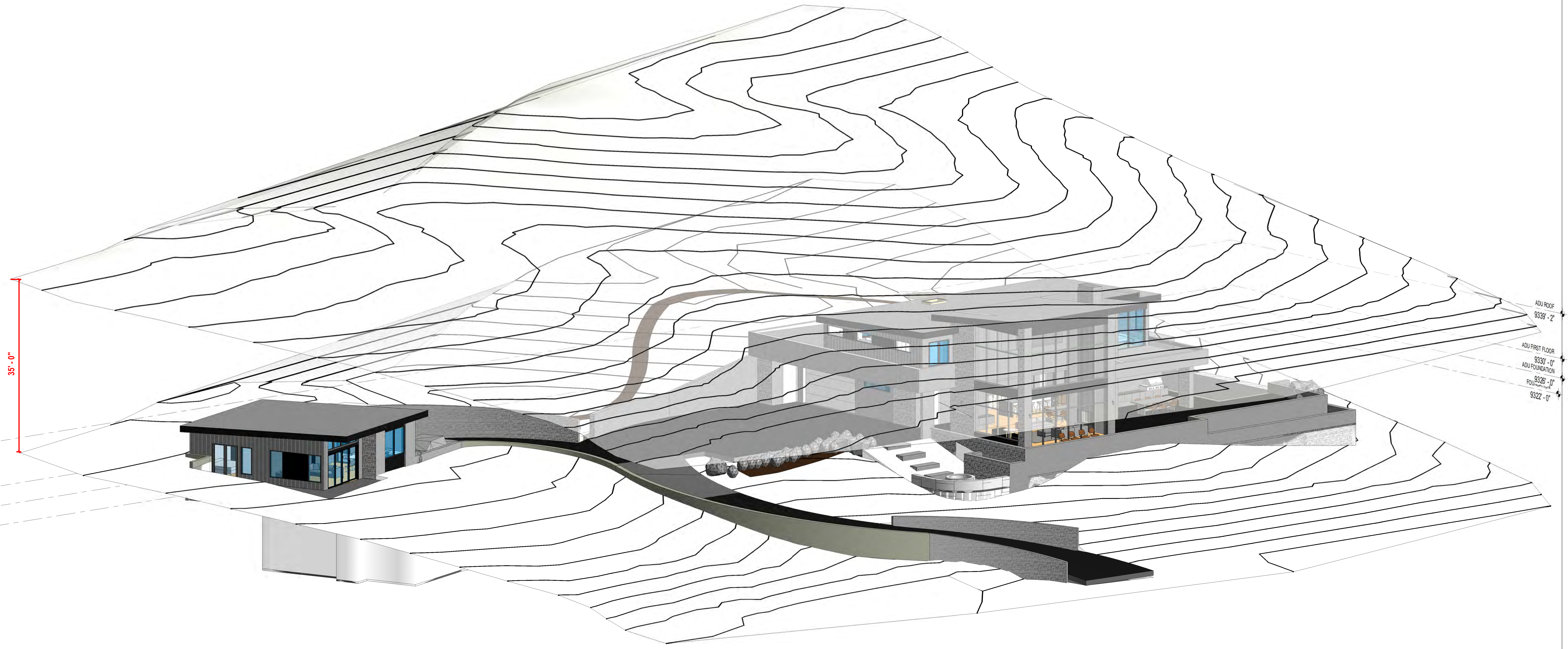
ROOF HEIGHT DIAGRAM

Client: ALPER - WILLIAMS
Date: 02.03.2023

A301

Scale: 1/4" = 1'-0"

ALPER - WILLIAMS RESIDENCE
142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435



1 3D HEIGHT
SCALE:

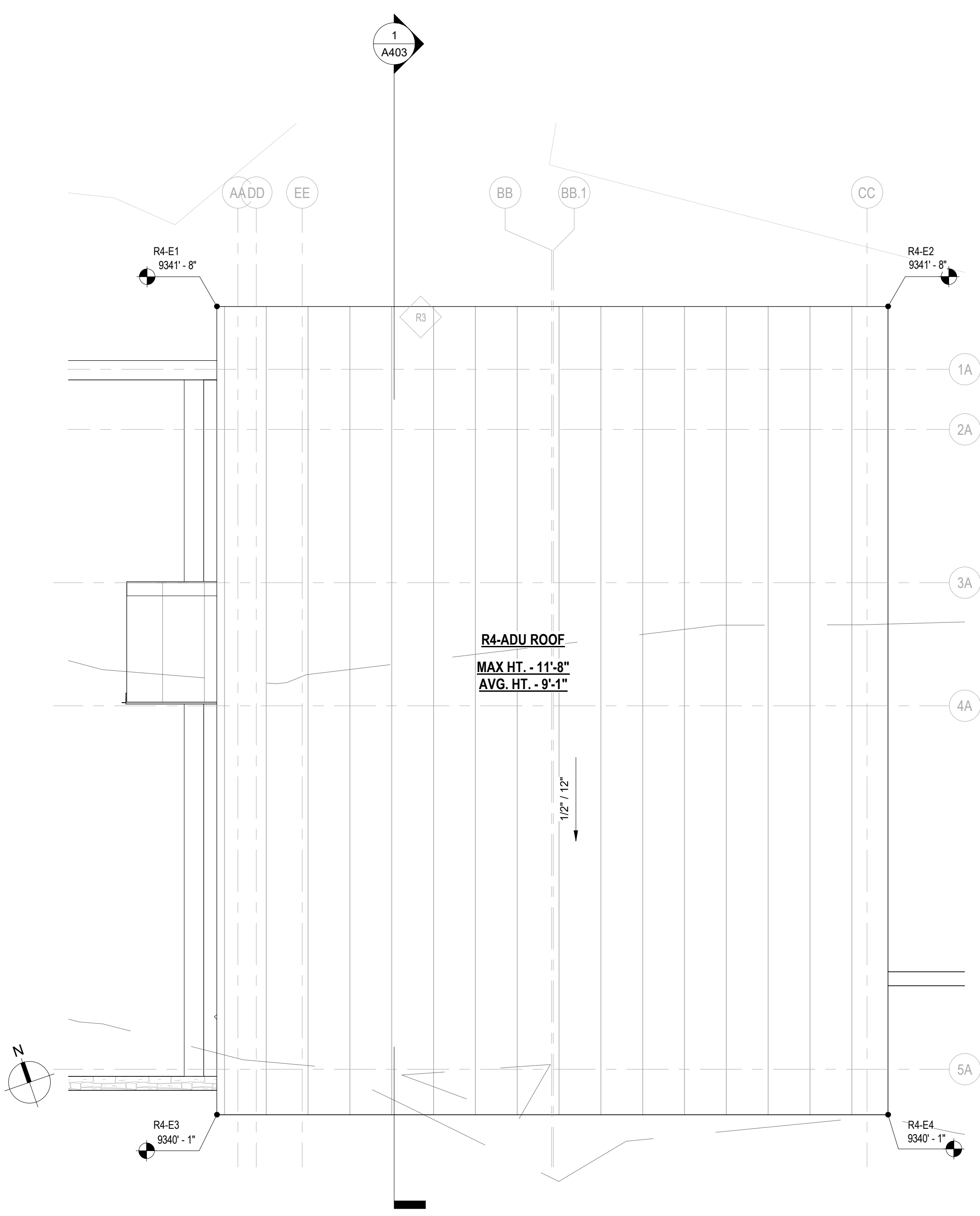
DRB SUBMITTAL

No.	Description	Date

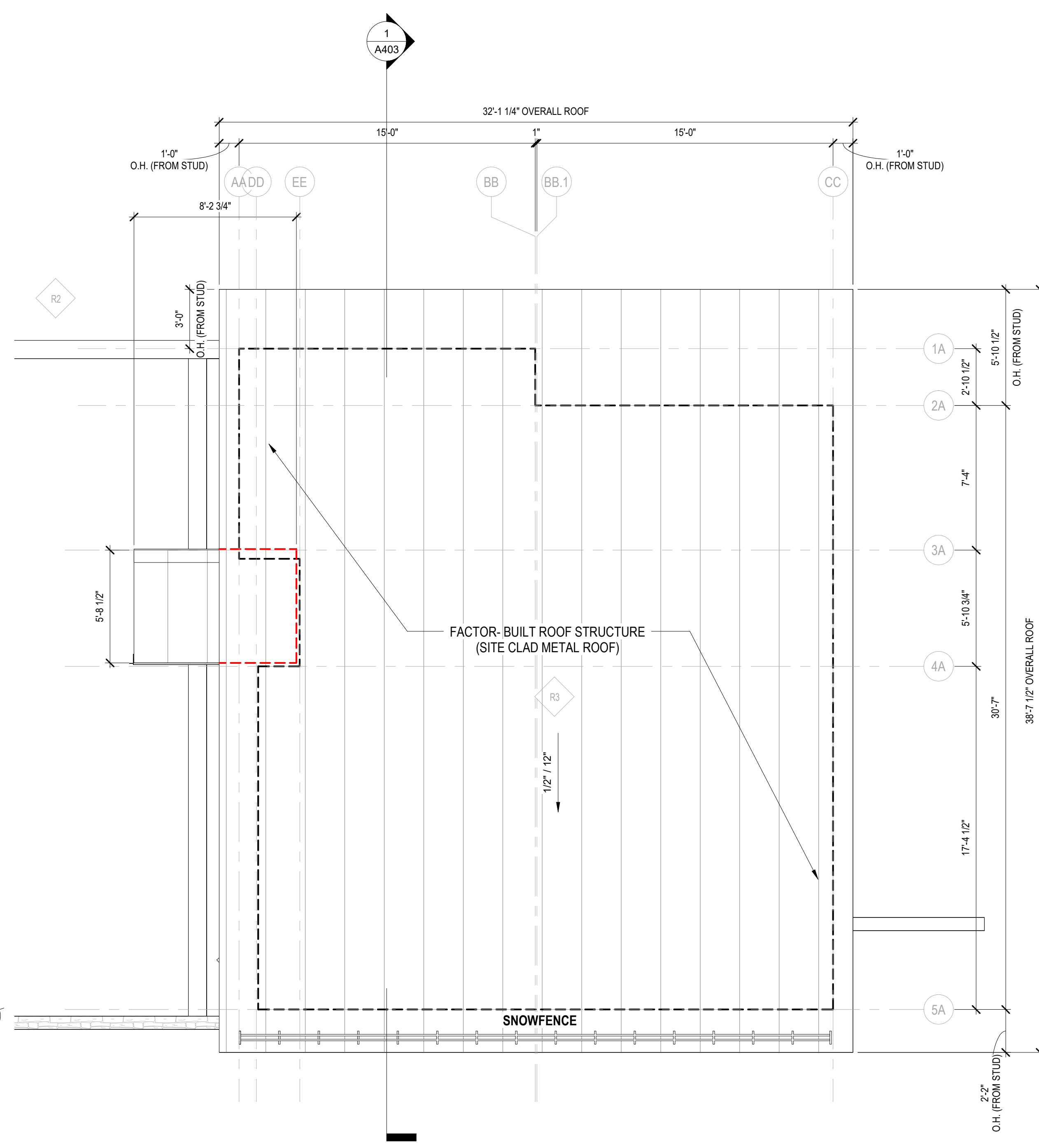
3D HEIGHT DIAGRAM

Client: ALPER - WILLIAMS
Date: 02.03.2023

A302



2 ADU BUILDING HEIGHT DIAGRAM
 SCALE: 1/4" = 1'-0"

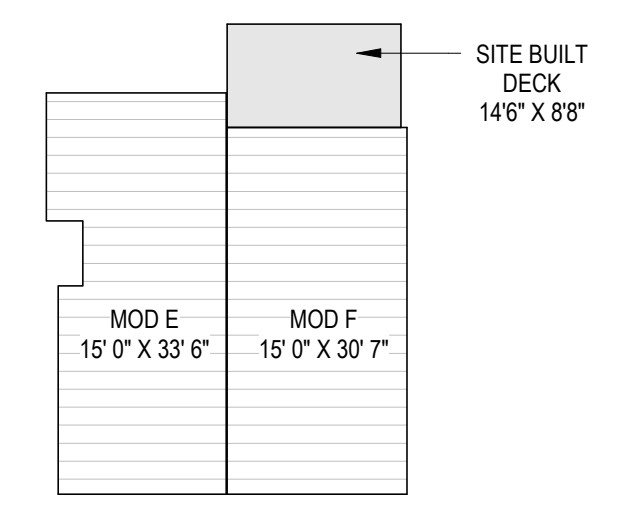


1 ADU ROOF PLAN
 SCALE: 1/4" = 1'-0"

ADU BUILDING HEIGHT DIAGRAM

ADU ROOF	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9330'-6"	9330'-6"	9333'-10"	9333'-10"	9332'-2"
FINISH GRADE	9330'-6"	9330'-0"	9333'-10"	9333'-10"	9332'-1"
ROOF ELEVATION	9341'-8"	9341'-8"	9340'-1"	9340'-1"	9340'-10"
Δ (TAKEN FROM MORE RESTRICTIVE GRADE)	11'-2"	11'-8"	7'-3"	7'-3"	9' - 1"

ADU MODULAR KEY PLAN

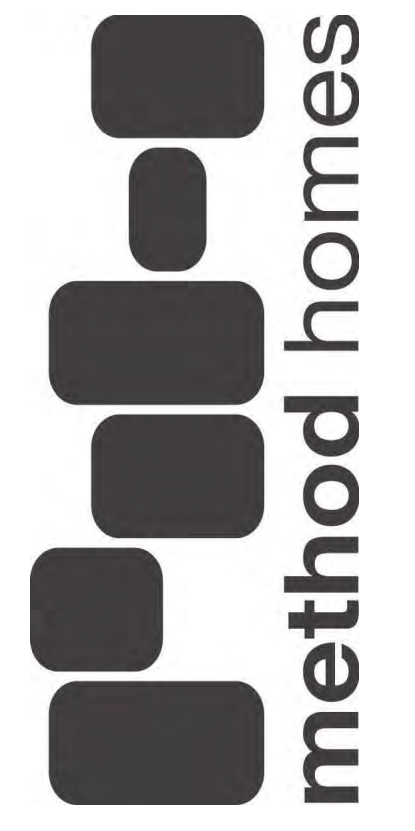


WALL LEGEND

- EXTERIOR FINISH SUFFIX LEGEND:
- ◊ A Vertical Stained Wood Siding
 - ◊ C 22 GA Painted Brake Metal Painted : Kynar 500 Matte Black SR123
 - ◊ D Dry Stack - Telluride Gold
 - ◊ E Standing Seam Metal - 22 GA Min Wall Panel to match roofing
- WC1 Concrete Wall - 8"
- W4 EXTERIOR Finish per Exterior Finish Legend of 1/4" Keene Easy Furr of 2x6 Wood Stud Framing per Structural w/ R23 Blown in Insulation of 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
- SW4 EXTERIOR Shearwall Finish per Exterior Finish Legend of 1/4" Keene Easy Furr of 2x6 CDX Plywood of 2x6 Wood Stud Framing per Structural w/ R23 Blown in Insulation of 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
- W5 INT Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
- SW5 INT Shearwall Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 15/32" CDX Plywood of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
- W6 INT Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 2x4 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
- SW6 INT Shearwall Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 15/32" CDX Plywood of 2x4 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
- W7 MARRIAGE INT 15/32" CDX Plywood of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule

FLOOR & ROOF LEGEND

- F1 Concrete, Cast-in-Place gray
- F2 Finish per Finish Schedule of 1-1/8" Warm Board of 11 7/8" framing per struct w/ R-38 Batt Insulation
- R1 Finish per Finish Schedule of 7 1/4" framing per struct w/ R-38 Batt Insulation 5/8" GWB* (Level 4) of
- R2 Finish per Finish Schedule of 11 7/8" framing per struct w/ R-38 Batt Insulation 5/8" GWB* (Level 4) of
- R3 Mechanically Fastened Metal Roofing of Ice and Water Shield of 1/2" Sheathing per Structural of Framing per Structural w/ 4" Spray Foam (R20) + R30 Batt Insulation (R50) of 5/8" GWB* (Level 5) of Vapor Resistive Primer of Finish per Finish Schedule
- R4 Mechanically Fastened Metal Roofing of Ice and Water Shield of 1/2" Sheathing per Structural of Framing per Structural w/ 5/8" GWB* (Level 5) of Vapor Resistive Primer of Finish per Finish Schedule



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ALPER - WILLIAMS RESIDENCE
 142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

DRB SUBMITTAL

No.	Description	Date

ADU ROOF PLAN & BUILDING HEIGHT DIAGRAM

Client ALPER - WILLIAMS
 Date 02.03.2023
 Drawn by MH

A310

	NORTH	EAST	SOUTH	WEST	TOTAL	%
STONE	975.56	418.49	194.94	479.29	2176.23	38.21%
WOOD	117.96	152.59	253.02	205.12	728.69	12.79%
METAL	428.38	571.96	184.5	362.12	1546.96	27.16%
GLASS	693.69	321.57	85.43	143.54	1244.23	21.84%
					TOTAL	5696.11
						100%

Material Calculations

SCALE: 1/4" = 1'-0"

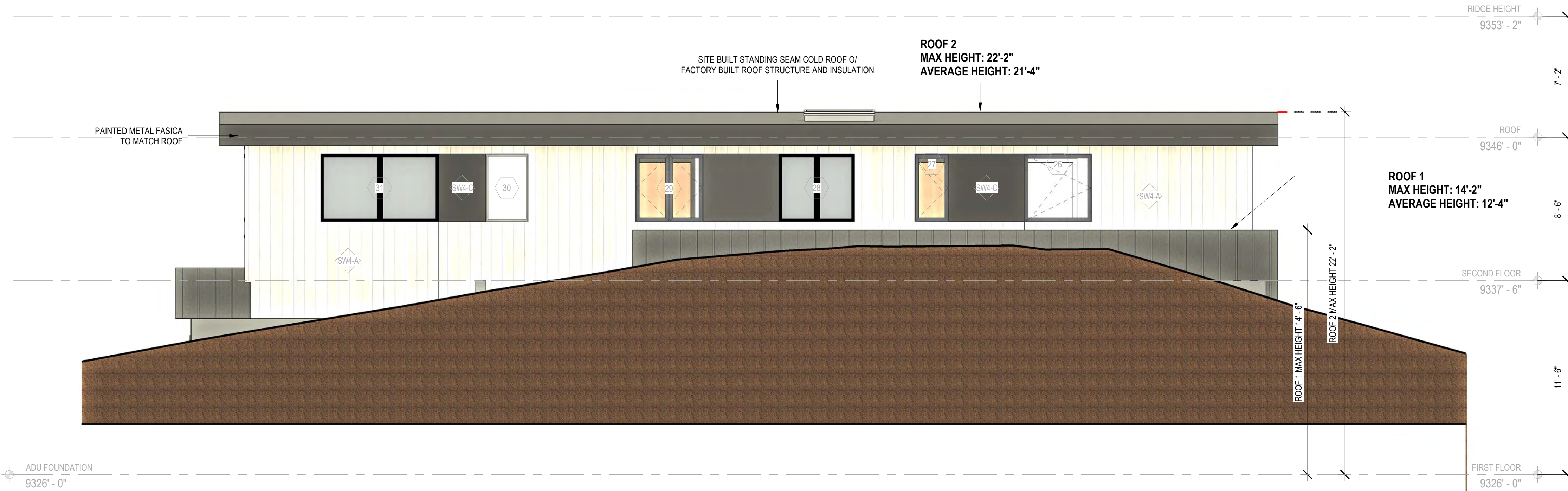
BUILDING HEIGHT DIAGRAM

ROOF 1	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9337'-5"	9334'-11"	9330'-9"	9326'-10"	9332'-6"
FINISH GRADE	9326'	9326'	9330'-9"	9326'-10"	9327'-5"
ROOF ELEVATION	9340'-2"	9340'-2"	9339'-3"	9339'-3"	9339'-8"
Δ (TAKEN FROM MORE RESTRICTIVE GRADE)	14' - 2"	14' - 2"	8' 6"	12' 5"	12' 4"

ROOF 2	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9331' 3"	9330' 8"	9326' 3"	9326' 3"	9328' 7"
FINISH GRADE	9326'	9326'	9326' 3"	9326'	9326'-1"
ROOF ELEVATION	9348'-2"	9346'-9"	9346'-9"	9348'-2"	9347'-5"
Δ (TAKEN FROM MORE RESTRICTIVE GRADE)	22'-2"	20'	21' 10"	22'-2"	21'-4"

ROOF 3	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9328' -10"	9328' -2"	9322' -1"	9324' -2"	9325' -10"
FINISH GRADE	9326'	9326'	9326'	9326'	9326'
ROOF ELEVATION	9353'-2"	9350'-9"	9350'-9"	9353'-2"	9351'-9"
Δ (TAKEN FROM MORE RESTRICTIVE GRADE)	27'-2"	24'-9"	28'-8"	29' -0"	27' - 5"

MAXIMUM AVERAGE HEIGHT: $12'-4" + 21'-4" + 27'-5" = 59'-6" / 3 = 20'-4"$
MAXIMUM HEIGHT: 29'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

WALL LEGEND

- EXTERIOR FINISH SUFFIX LEGEND:
- A Vertical Stained Wood Siding
 - C 22 GA Painted Brake Metal
Painted : Kynar 500 Matte Black SRI23
 - D Dry Stack - Telluride Gold
 - E Standing Seam Metal - 22 GA Min
Wall Panel to match roofing

DRB SUBMITTAL

No.	Description	Date

ELEVATIONS

Client ALPER - WILLIAMS
Date 02.03.2023

A401

Scale 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING HEIGHT DIAGRAM

ROOF 1	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9337'-5"	9334'-11"	9330'-9"	9326'-10"	9332'-6"
FINISH GRADE	9326'	9326'	9330'-9"	9326'-10"	9327'-5"
ROOF ELEVATION	9340'-2"	9340'-2"	9339'-3"	9339'-3"	9339'-8"
Δ (TAKEN FROM MORE RESTRICTIVE GRADE)	14' - 2"	14' - 2"	8' 6"	12' 5"	12' 4"

ROOF 2	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9331' 3"	9330' 8"	9326' 3"	9326' 3"	9328' 7"
FINISH GRADE	9326'	9326'	9326' 3"	9326'	9326'-1"
ROOF ELEVATION	9348'-2"	9346'-9"	9346'-9"	9348'-2"	9347'-5"
Δ (TAKEN FROM MORE RESTRICTIVE GRADE)	22'-2"	20'	21' 10"	22'-2"	21'-4"

ROOF 3	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9328' -10"	9328' -2"	9322' -1"	9324' -2"	9325' -10"
FINISH GRADE	9326'	9326'	9326'	9326'	9326'
ROOF ELEVATION	9353'-2"	9350'-9"	9350'-9"	9353'-2"	9351'-9"
Δ (TAKEN FROM MORE RESTRICTIVE GRADE)	27'-2"	24'-9"	28'-8"	29'-0"	27' - 5"

MAXIMUM AVERAGE HEIGHT: 12'-4" + 21'-4" + 27'-5" = 59'-6" / 3 = 20'-4"
MAXIMUM HEIGHT: 29'-0"

	NORTH	EAST	SOUTH	WEST	TOTAL	%
STONE	975.56	418.49	194.94	479.29	2176.23	38.21%
WOOD	117.96	152.59	253.02	205.12	728.69	12.79%
METAL	428.38	571.96	184.5	362.12	1546.96	27.16%
GLASS	693.69	321.57	85.43	143.54	1244.23	21.84%
				TOTAL	5696.11	100%

Material Calculations

SCALE: 1/4" = 1'-0"

WALL LEGEND

EXTERIOR FINISH SUFFIX LEGEND:

- ◊ A Vertical Stained Wood Siding
- ◊ C 22 GA Painted Brake Metal Painted : Kynar 500 Matte Black SR123
- ◊ D Dry Stack - Telluride Gold
- ◊ E Standing Seam Metal - 22 GA Min Wall Panel to match roofing



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

DRB SUBMITTAL

No.	Description	Date

ELEVATIONS

Client ALPER - WILLIAMS
Date 02.03.2023

A402

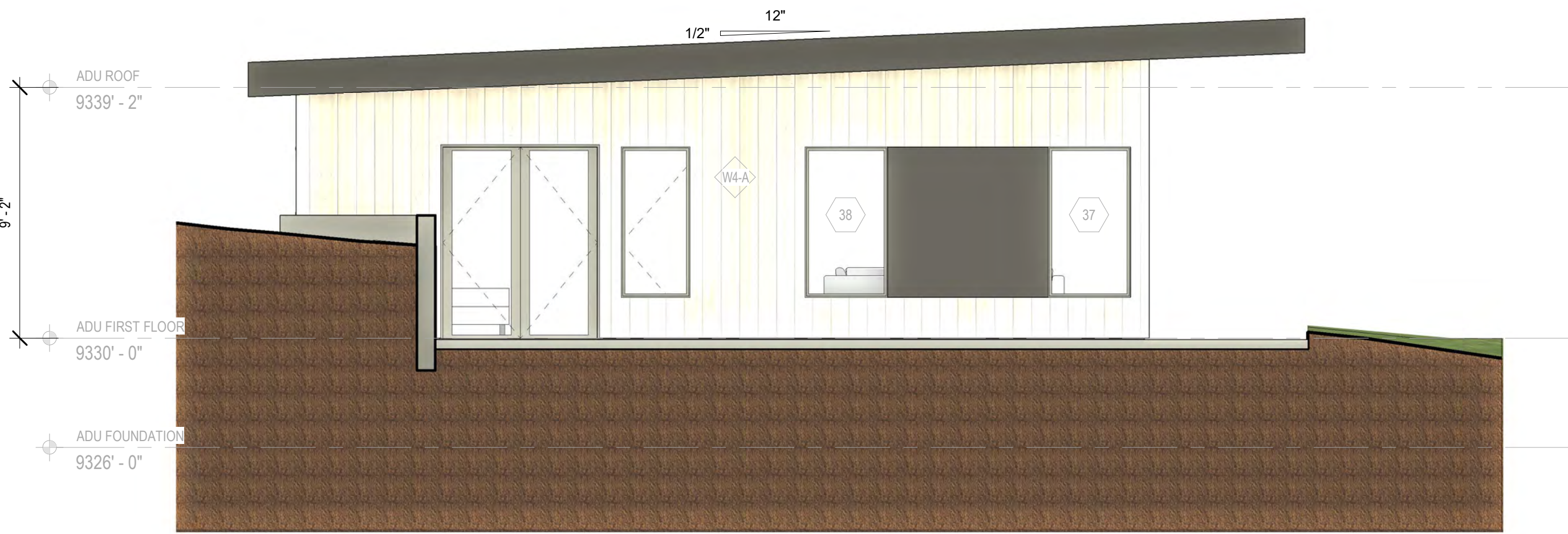
Scale 1/4" = 1'-0"



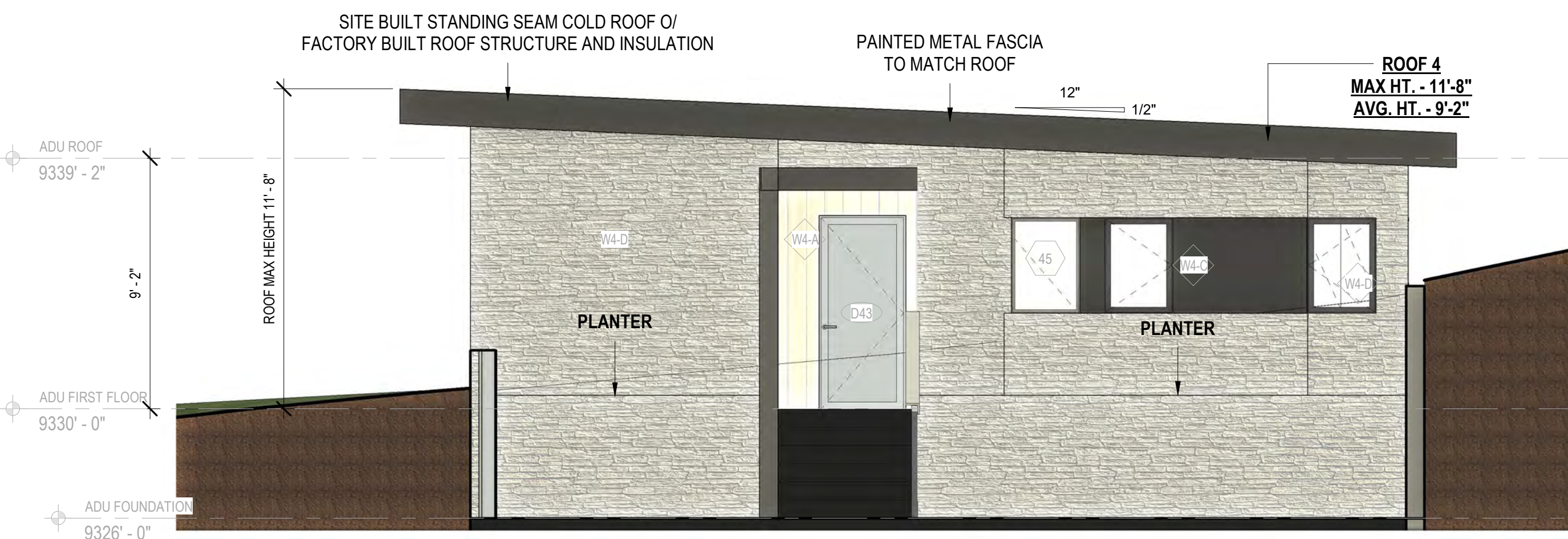
2 NORTH ELEVATION - ADU
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION - ADU
SCALE: 1/4" = 1'-0"



4 EAST ELEVATION - ADU
SCALE: 1/4" = 1'-0"

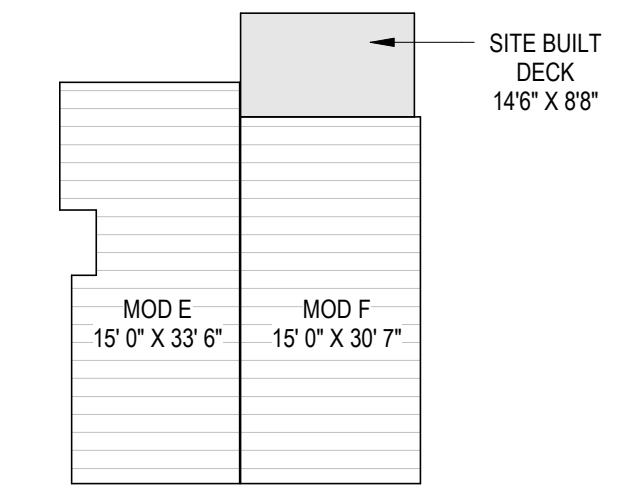


5 WEST ELEVATION - ADU
SCALE: 1/4" = 1'-0"

ADU BUILDING HEIGHT DIAGRAM

ADU ROOF	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9330'-6"	9330'-6"	9333'-10"	9333'-10"	9332'-2"
FINISH GRADE	9330'-6"	9330'-0"	9333'-10"	9333'-10"	9332'-1"
ROOF ELEVATION	9341'-8"	9341'-8"	9340'-1"	9340'-1"	9340'-10"
Δ (TAKEN FROM MORE RESTRICTIVE GRADE)	11'-2"	11'-8"	7'-3"	7'-3"	9'-1"

ADU MODULAR KEY PLAN

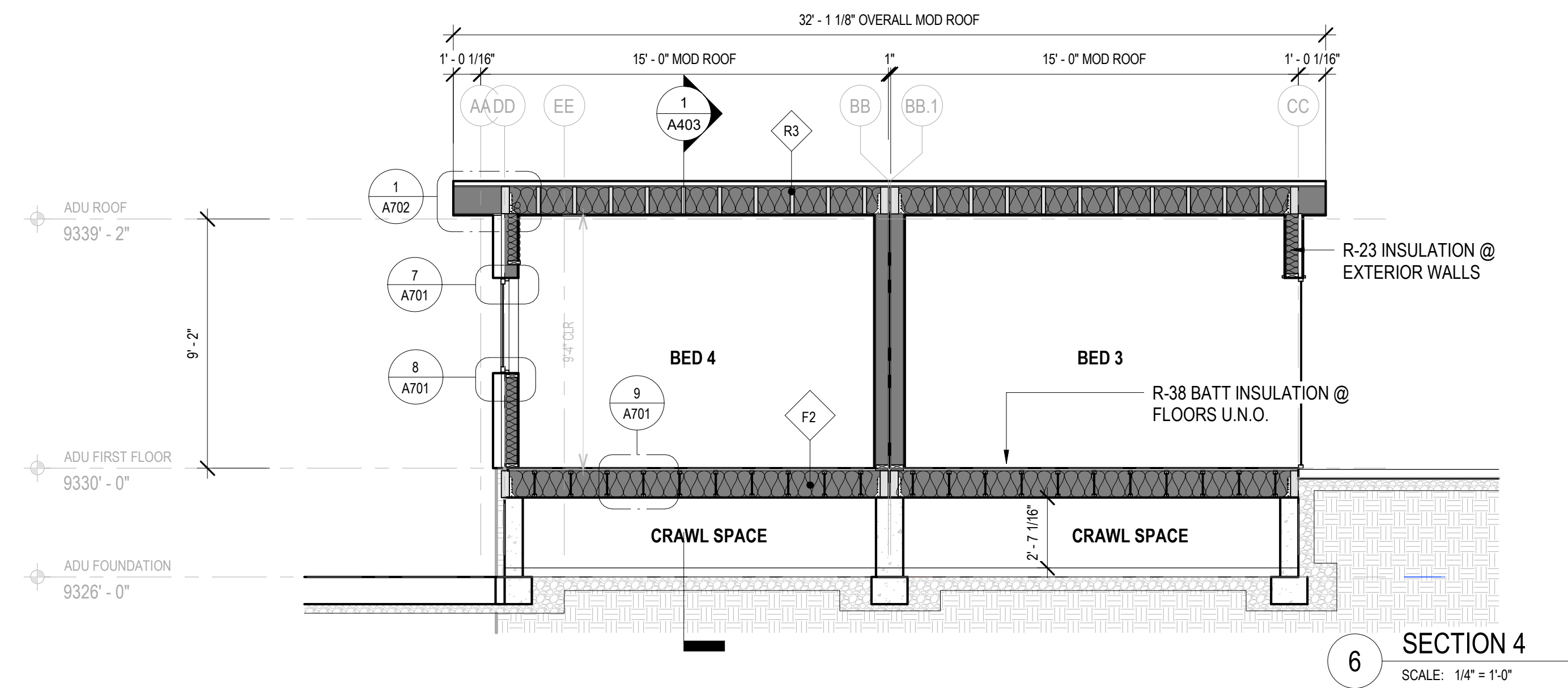


ADU MATERIAL CALCULATIONS

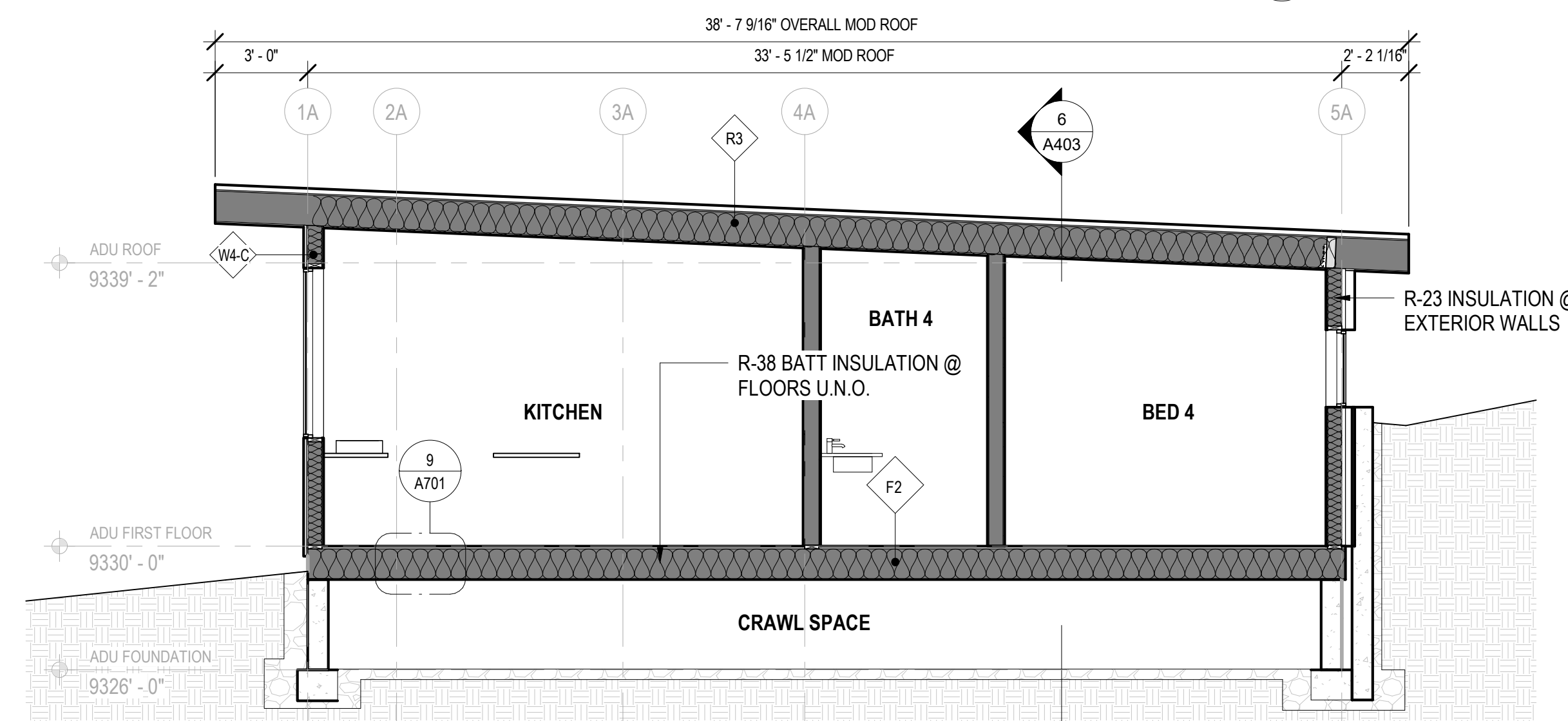
	NORTH	EAST	SOUTH	WEST	TOTAL	%
STONE	75.4	0	88.5	310.8	474.7	42.6%
WOOD	31	151	0	18.2	200.2	17.97%
METAL	99.9	32.4	16.7	32.7	181.7	16.31%
GLASS	128.1	70.6	20.8	38.2	257.7	23.12%
				TOTAL	1114.3	100%

WALL LEGEND

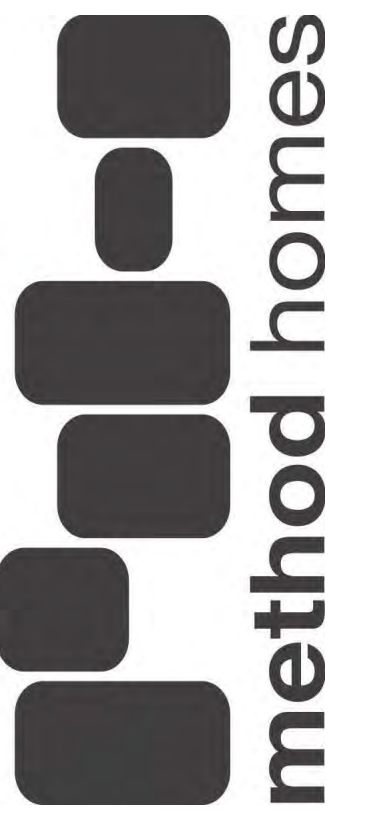
- EXTERIOR FINISH SUFFIX LEGEND:
- \diamond -A Vertical Stained Wood Siding
 - \diamond -C 22 GA Painted Brake Metal
Painted : Kynar 500 Matte Black SR123
 - \diamond -D Dry Stack - Telluride Gold
 - \diamond -E Standing Seam Metal - 22 GA Min
Wall Panel to match roofing



6 SECTION 4
SCALE: 1/4" = 1'-0"



1 SECTION 5
SCALE: 1/4" = 1'-0"



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95 YESLER WAY
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T. 206.789.5553

NOT FOR CONSTRUCTION

ALPER - WILLIAMS RESIDENCE
142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

DRB SUBMITTAL

No.	Description	Date

BUILDING ELEVATION & SECTION ADU

Client ALPER - WILLIAMS
Date 02.03.2023

A403

Scale As indicated

DRB SUBMITTAL

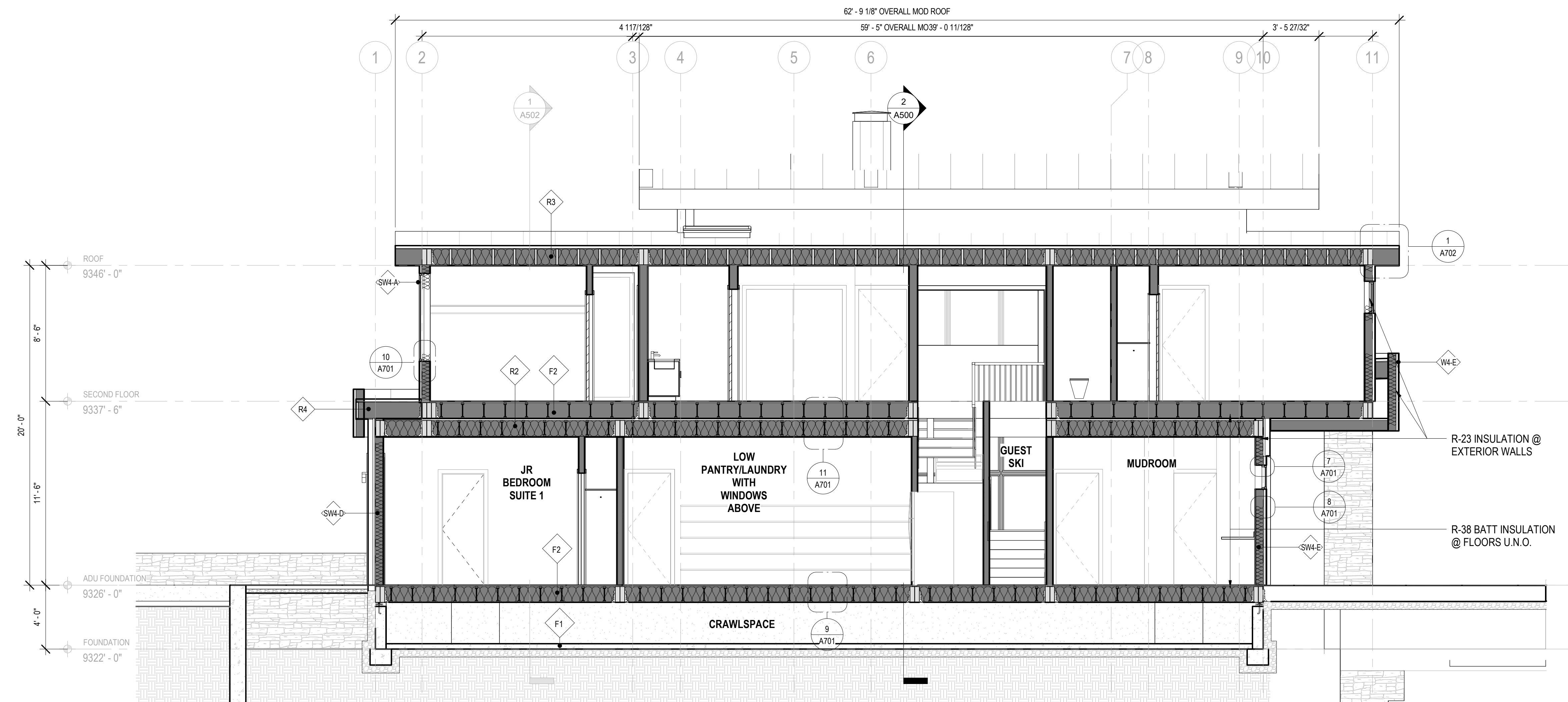
No.	Description	Date

BUILDING SECTIONS

Client ALPER - WILLIAMS
Date 02.03.2023

A500

Scale 1/4" = 1'-0"

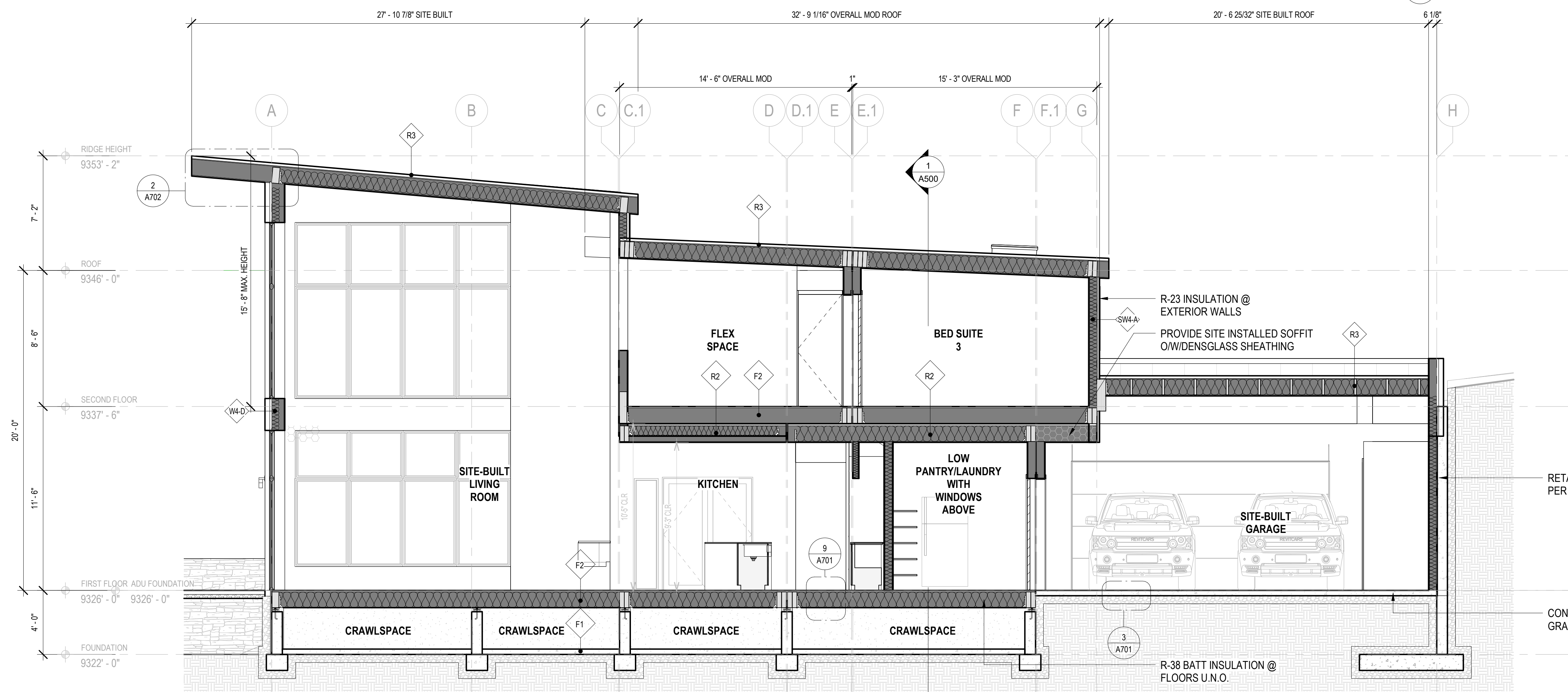


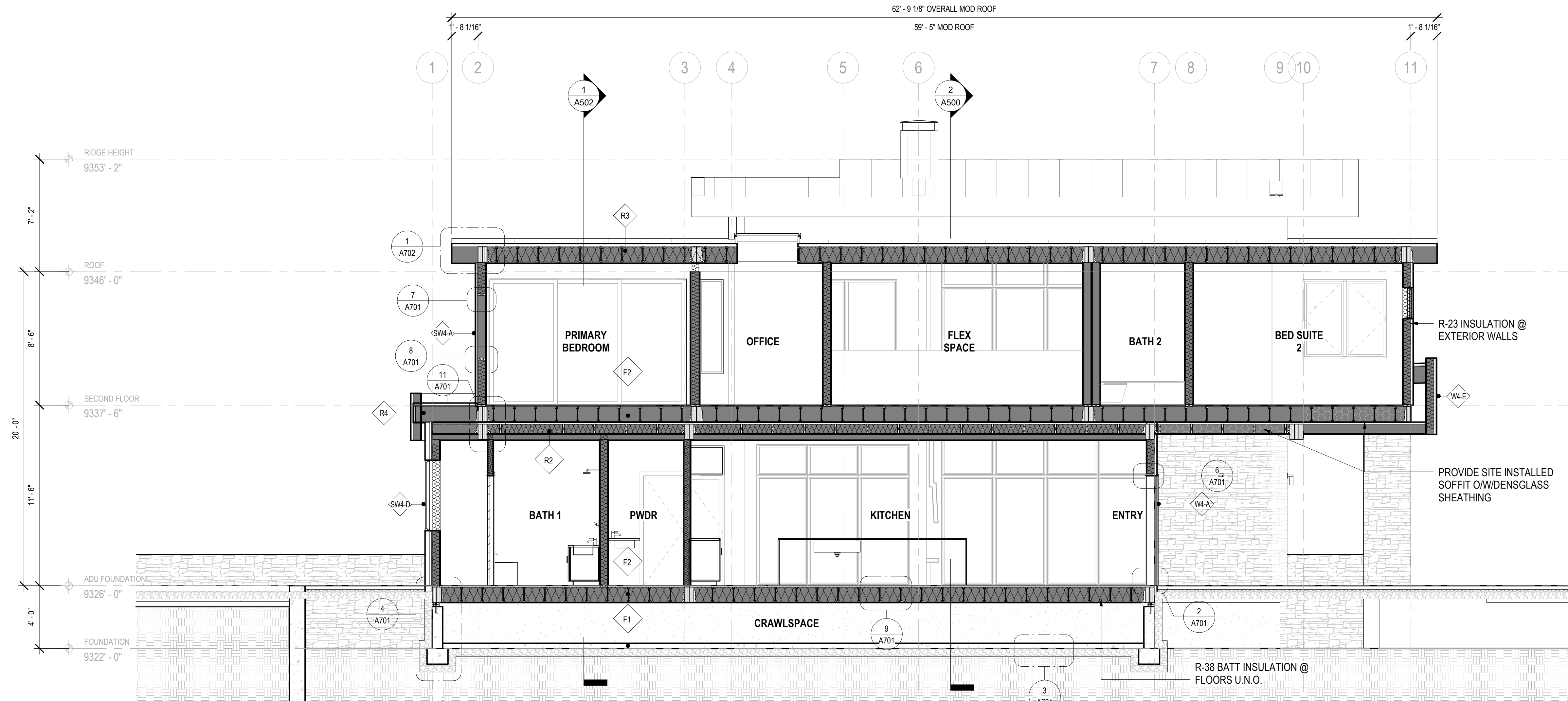
WALL LEGEND

- EXTERIOR FINISH SUFFIX LEGEND:
- A Vertical Stained Wood Siding
 - C 22 GA Painted Brake Metal Painted - Kynar 500 Matte Black SR123
 - D Dry Stack - Telluride Gold
 - E Standing Seam Metal - 22 GA Min Wall Panel to match roofing
- WC1 Concrete Wall - 8"
 - W4- EXTERIOR
INT Finish per Exterior Finish Legend of 1/4" Keene Easy Furr of Zip R6 Sheathing of 2x6 Wood Stud Framing per Structural w/ R23 Blown in Insulation of 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - SW4- EXTERIOR
INT Shearwall Finish per Exterior Finish Legend of 1/4" Keene Easy Furr of Zip R6 Sheathing of 15/32" CDX Plywood of 2x6 Wood Stud Framing per Structural w/ R23 Blown in Insulation of 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - W5- INT
INT Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - SW5- INT
INT Shearwall Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 15/32" CDX Plywood of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - W6- INT
INT Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 2x4 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - SW6- INT
INT Shearwall Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 15/32" CDX Plywood of 2x4 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - W7- MARRIAGE
INT 15/32" CDX Plywood of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule

FLOOR & ROOF LEGEND

- F1 Concrete, Cast-in-Place gray
- F2 Finish per Finish Schedule of 1-1/8" Warm Board of 11 7/8" framing per struct w/ R-38 Batt Insulation
- R1 Finish per Finish Schedule of 7 1/4" framing per struct w/ R-38 Batt Insulation 5/8" GWB* (Level 4) of
- R2 Finish per Finish Schedule of 11 7/8" framing per struct w/ R-38 Batt Insulation 5/8" GWB* (Level 4) of
- R3 Mechanically Fastened Metal Roofing of Ice and Water Shield of 1/2" Sheathing per Structural of Framing per Structural w/ 4" Spray Foam (R20) + R30 Batt Insulation (R50) of 5/8" GWB (Level 5) of Vapor Resistive Primer of Finish per Finish Schedule
- R4 Mechanically Fastened Metal Roofing of Ice and Water Shield of 1/2" Sheathing per Structural of Framing per Structural w/ 5/8" GWB (Level 5) of Vapor Resistive Primer of Finish per Finish Schedule

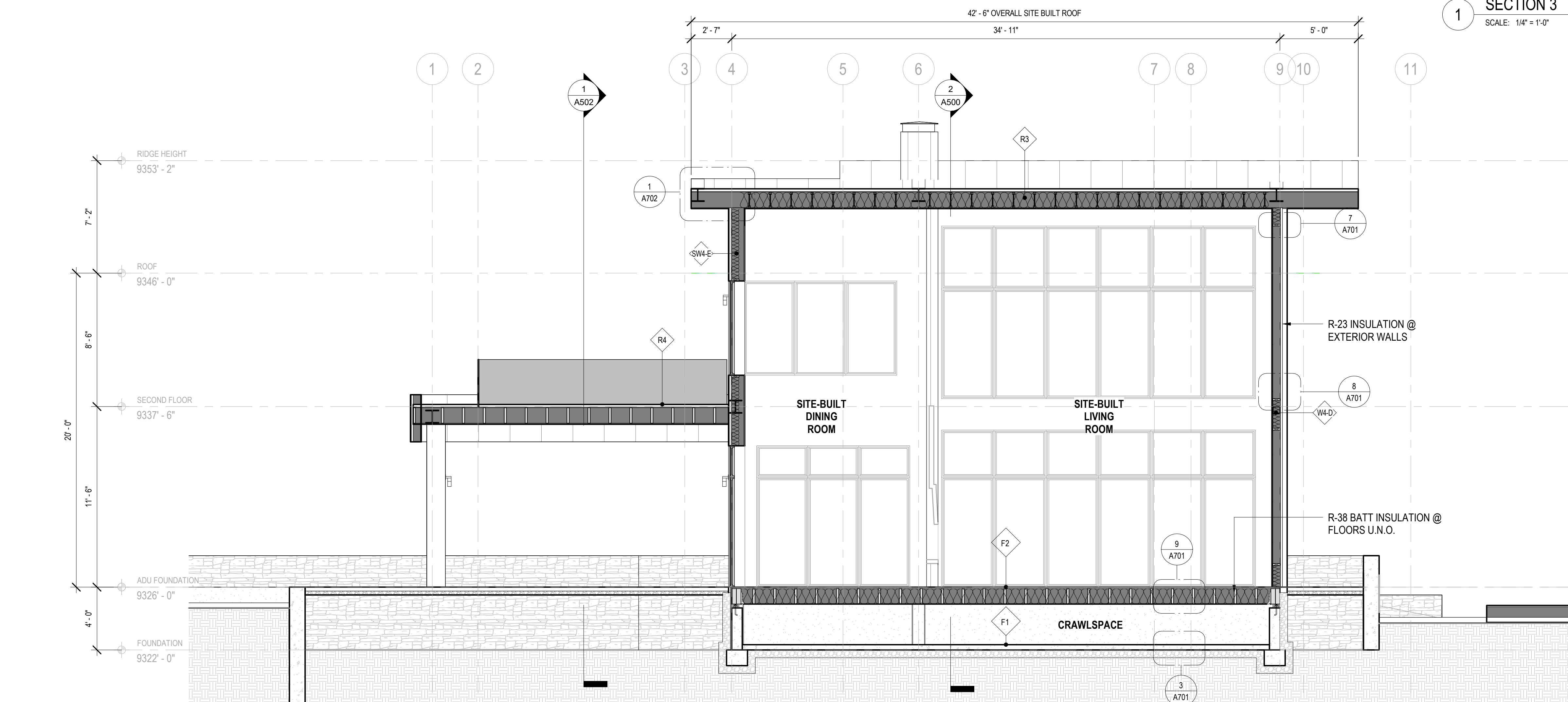




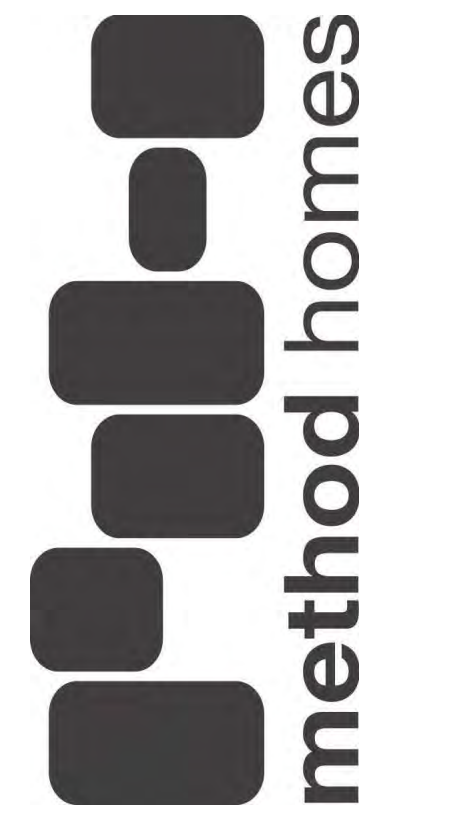
1 SECTION 3
SCALE: 1/4" = 1'-0"

- WALL LEGEND**
EXTERIOR FINISH SUFFIX LEGEND:
- A Vertical Stained Wood Siding
 - C 22 GA Painted Brake Metal Painted : Kynar 500 Matte Black SRI23
 - D Dry Stack - Telluride Gold
 - E Standing Seam Metal - 22 GA Min Wall Panel to match roofing
- WC1 Concrete Wall - 8"
 - W4- EXTERIOR INT Finish per Exterior Finish Legend of 1/4" Keene Easy Furr of Zip R6 Sheathing of 2x6 Wood Stud Framing per Structural w/ R23 Blown in Insulation of 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - SW4- EXTERIOR INT Finish per Exterior Finish Legend of 1/4" Keene Easy Furr of Zip R6 Sheathing of 15/32" CDX Plywood of 2x6 Wood Stud Framing per Structural w/ R23 Blown in Insulation of 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - W5- INT INT Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - SW5- INT INT Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 15/32" CDX Plywood of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - W6- INT INT Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 2x4 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - SW6- INT INT Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB* (Level 4) of 15/32" CDX Plywood of 2x4 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule
 - W7- MARRIAGE INT 15/32" CDX Plywood of 2x6 Wood Stud Framing per Structural w/ 5/8" GWB* (Level 4) of Vapor Resistive Primer of Finish per Finish Schedule

- FLOOR & ROOF LEGEND**
- F1 Concrete, Cast-in-Place gray
 - F2 Finish per Finish Schedule of 1-1/8" Warm Board of 11 7/8" framing per struct w/ R-38 Batt Insulation
 - R1 Finish per Finish Schedule of 7 1/4" framing per struct w/ R-38 Batt Insulation 5/8" GWB* (Level 4) of
 - R2 Finish per Finish Schedule of 11 7/8" framing per struct w/ R-38 Batt Insulation 5/8" GWB* (Level 4) of
 - R3 Mechanically Fastened Metal Roofing of Ice and Water Shield of 1/2" Sheathing per Structural of Framing per Structural w/ 4" Spray Foam (R20) + R30 Batt Insulation (R50) of Vapor Resistive Primer of Finish per Finish Schedule
 - R4 Mechanically Fastened Metal Roofing of Ice and Water Shield of 1/2" Sheathing per Structural of Framing per Structural w/ 5/8" GWB (Level 5) of Vapor Resistive Primer of Finish per Finish Schedule



2 SECTION 4
SCALE: 1/4" = 1'-0"



METHOD HOMES
95 YESLER WAY
SUITE 300
SEATTLE, WA 98104
T. 206.789.5553

NOT FOR CONSTRUCTION

ALPER - WILLIAMS RESIDENCE
142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

DRB SUBMITTAL

No.	Description	Date

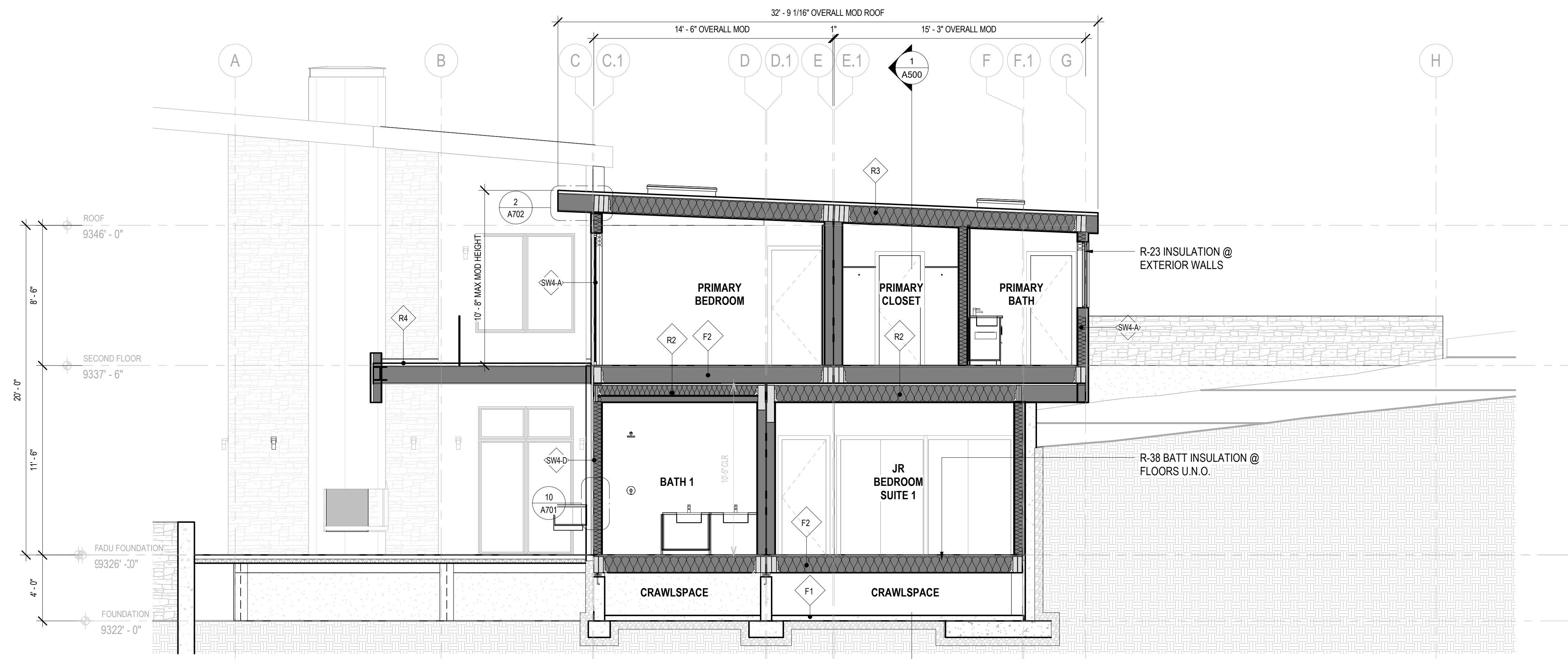
BUILDING SECTIONS

Client ALPER - WILLIAMS
Date 02.03.2023

A501

Scale 1/4" = 1'-0"

C:\Users\Method\OneDrive\Documents\Projects\Alper Williams - 142 AJ Drive - 2 Units - Cabinet\MapStructural\Drawings\0203_A501_Williams_A501.dwg



1 SECTION 3
SCALE: 1/4" = 1'-0"

WALL LEGEND

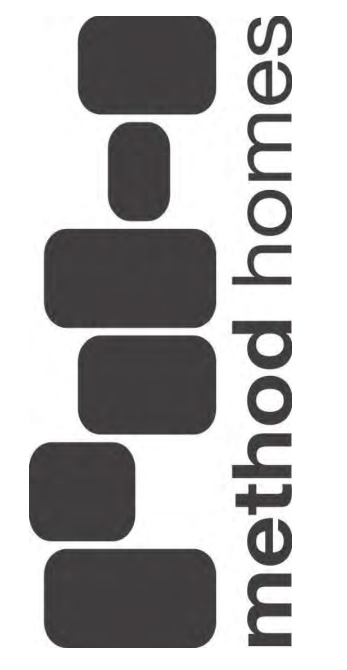
EXTERIOR FINISH SUFFIX LEGEND:

- A Vertical Stained Wood Siding
- C 22 GA Painted Brake Metal
Painted : Kynar 500 Matte Black SR123
- D Dry Stack - Telluride Gold
- E Standing Seam Metal - 22 GA Min
Wall Panel to match roofing

- WC1 Concrete Wall - 8"
- W4- EXTERIOR
INT Finish per Exterior Finish Legend of
1/4" Keene Easy Furr of
Zip R6 Sheathing of
2x6 Wood Stud Framing per Structural w/
R23 Blown in Insulation of
5/8" GWB* (Level 4) of
Vapor Resistive Primer of
Finish per Finish Schedule
- SW4- EXTERIOR
INT Shearwall Finish per Exterior Finish Legend of
1/4" Keene Easy Furr of
Zip R6 Sheathing of
15/32" CDX Plywood of
2x6 Wood Stud Framing per Structural w/
R23 Blown in Insulation of
5/8" GWB* (Level 4) of
Vapor Resistive Primer of
Finish per Finish Schedule
- W5- INT
INT Finish per Finish Schedule of
Vapor Resistive Primer of
5/8" GWB* (Level 4) of
2x6 Wood Stud Framing per Structural w/
5/8" GWB* (Level 4) of
Vapor Resistive Primer of
Finish per Finish Schedule
- SW5- INT
INT Shearwall Finish per Finish Schedule of
Vapor Resistive Primer of
5/8" GWB* (Level 4) of
15/32" CDX Plywood of
2x6 Wood Stud Framing per Structural w/
5/8" GWB* (Level 4) of
Vapor Resistive Primer of
Finish per Finish Schedule
- W6- INT
INT Finish per Finish Schedule of
Vapor Resistive Primer of
5/8" GWB* (Level 4) of
2x4 Wood Stud Framing per Structural w/
5/8" GWB* (Level 4) of
Vapor Resistive Primer of
Finish per Finish Schedule
- SW6- INT
INT Shearwall Finish per Finish Schedule of
Vapor Resistive Primer of
5/8" GWB* (Level 4) of
15/32" CDX Plywood of
2x4 Wood Stud Framing per Structural w/
5/8" GWB* (Level 4) of
Vapor Resistive Primer of
Finish per Finish Schedule
- W7- MARRIAGE
INT 15/32" CDX Plywood of
2x6 Wood Stud Framing per Structural w/
5/8" GWB* (Level 4) of
Vapor Resistive Primer of
Finish per Finish Schedule

FLOOR & ROOF LEGEND

- F1 Concrete, Cast-in-Place gray
- F2 Finish per Finish Schedule of
1-1/8" Warm Board of
11 7/8" framing per struct w/
R-38 Batt Insulation
- R1 Finish per Finish Schedule of
7 1/4" framing per struct w/
R-38 Batt Insulation
5/8" GWB* (Level 4) of
- R2 Finish per Finish Schedule of
11 7/8" framing per struct w/
R-38 Batt Insulation
5/8" GWB* (Level 4) of
- R3 Mechanically Fastened Metal Roofing of
Ice and Water Shield of
1/2" Sheathing per Structural of
Framing per Structural w/
4" Spray Foam (R20) + R30 Batt Insulation (R50) of
5/8" GWB (Level 5) of
Vapor Resistive Primer of
Finish per Finish Schedule
- R4 Mechanically Fastened Metal Roofing of
Ice and Water Shield of
1/2" Sheathing per Structural of
Framing per Structural w/
5/8" GWB (Level 5) of
Vapor Resistive Primer of
Finish per Finish Schedule



METHOD HOMES
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ALPER - WILLIAMS RESIDENCE
142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

DRB SUBMITTAL

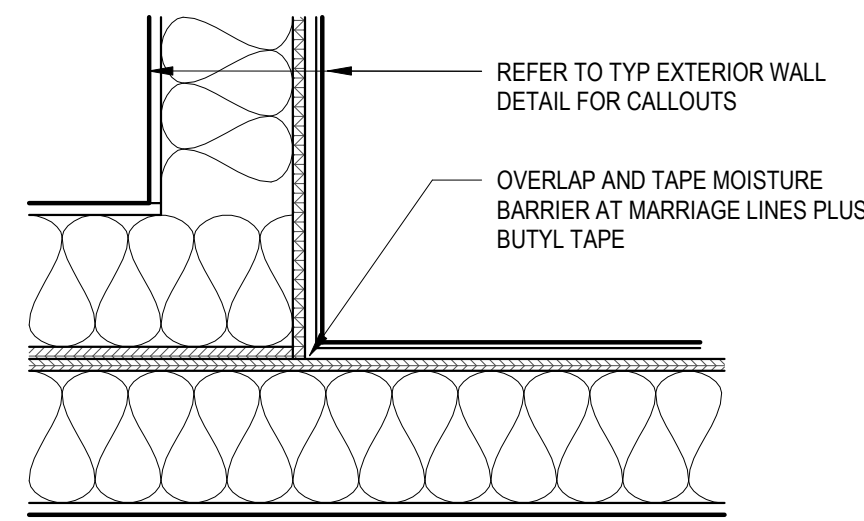
No.	Description	Date

BUILDING SECTIONS

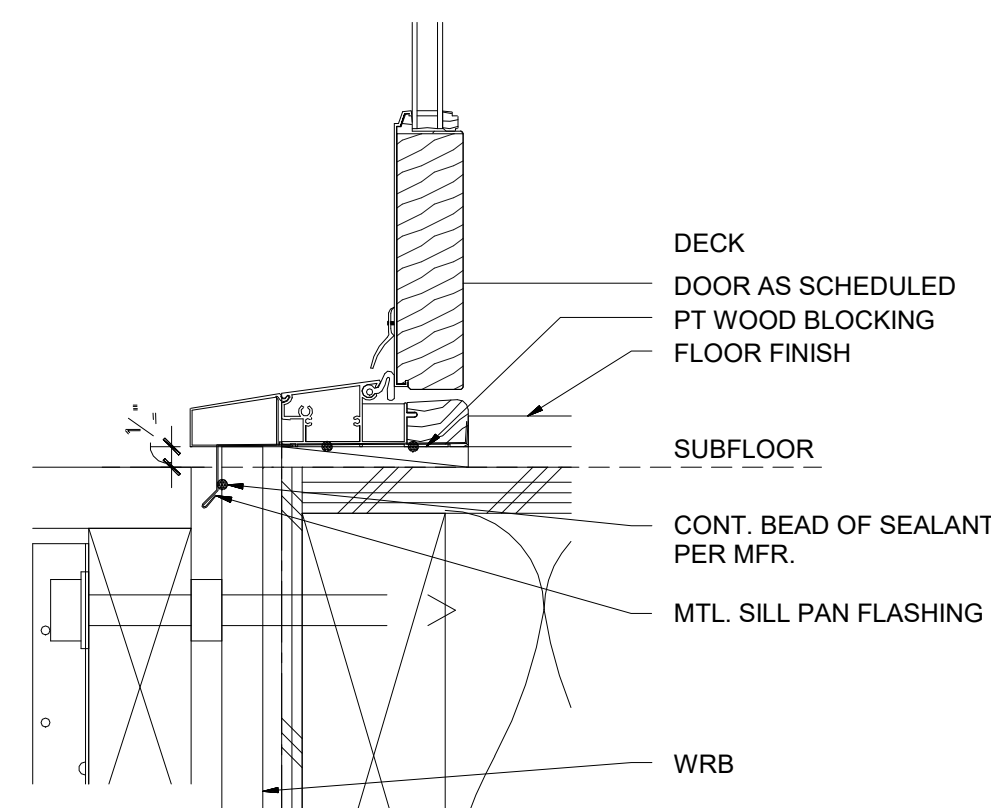
Client ALPER - WILLIAMS
Date 02.03.2023

A502

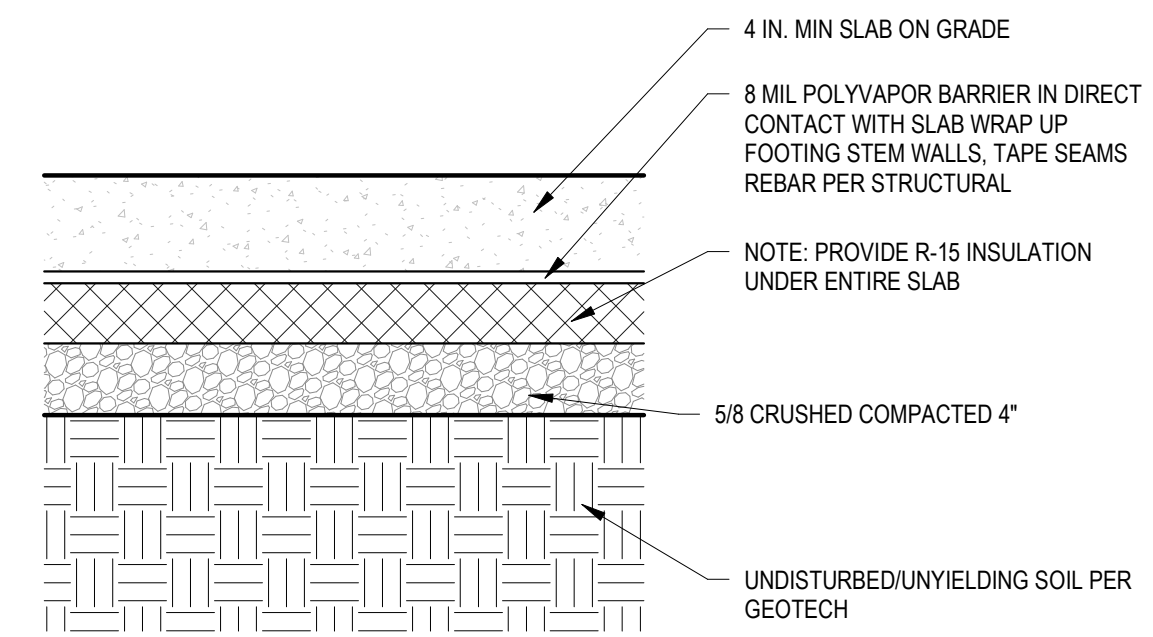
Scale 1/4" = 1'-0"



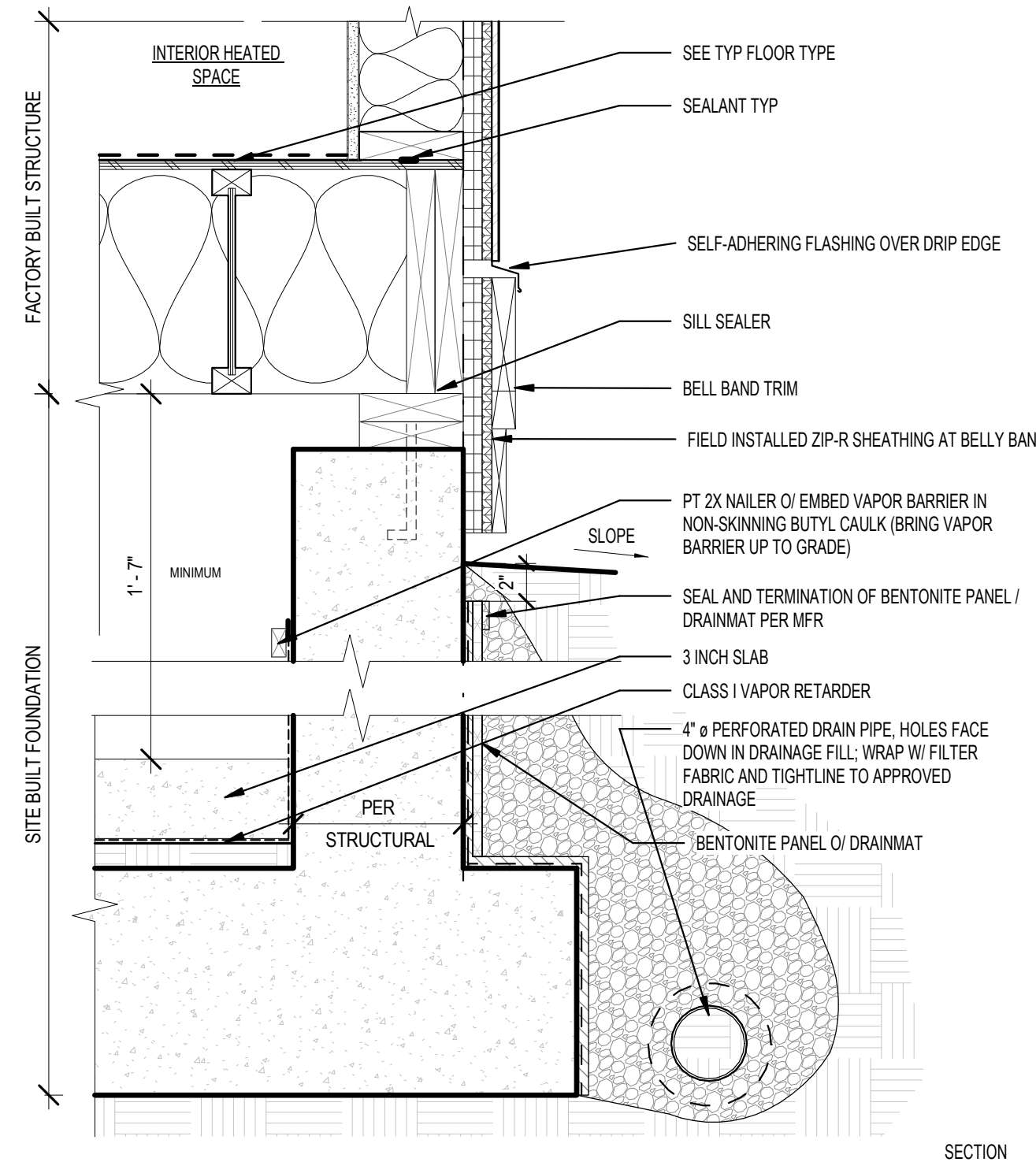
1 Typical Mod to Mod Connection @ Marriage Line
SCALE: 1 1/2" = 1'-0"



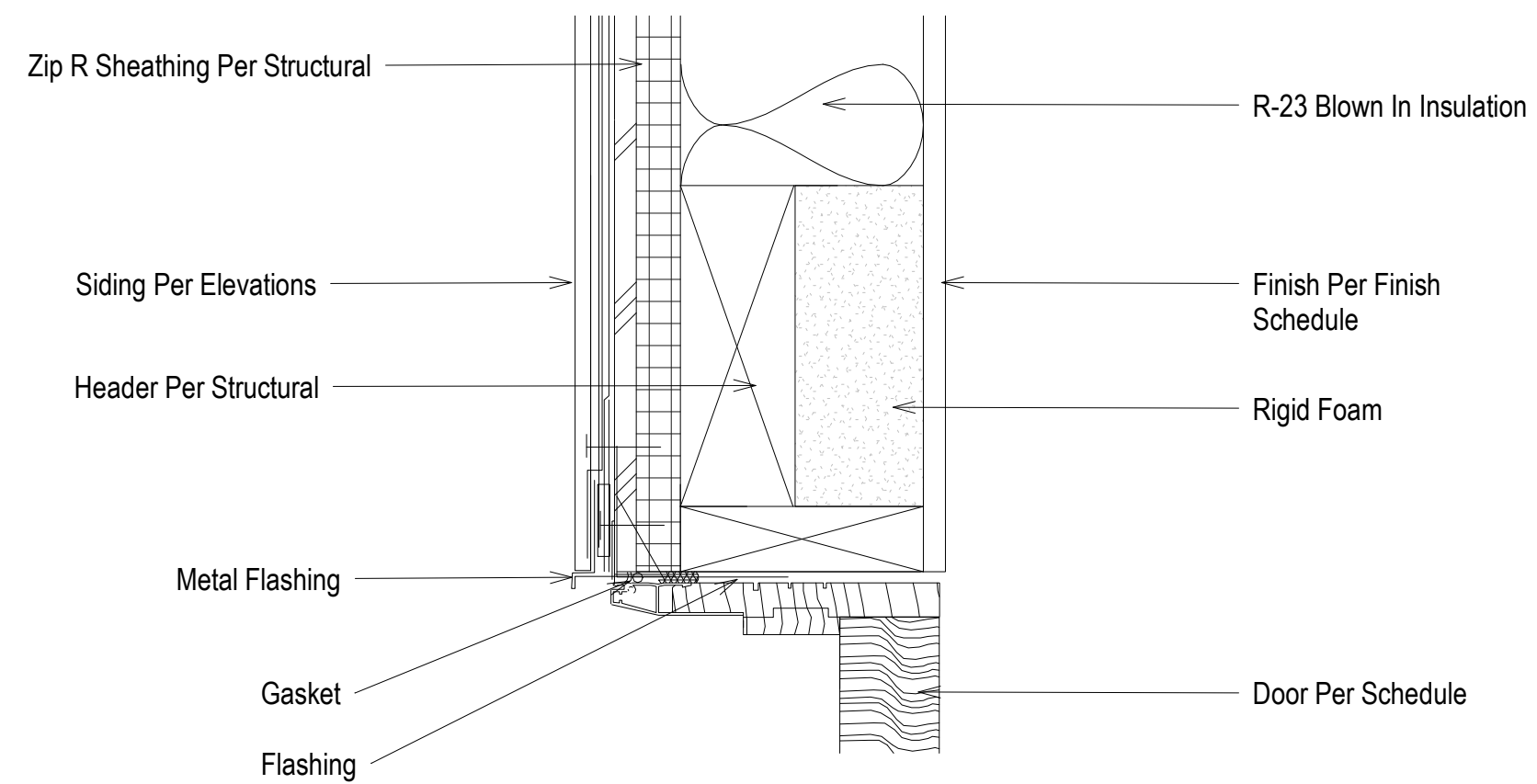
2 Typical Door - Exterior - Sill Detail
SCALE: 3" = 1'-0"



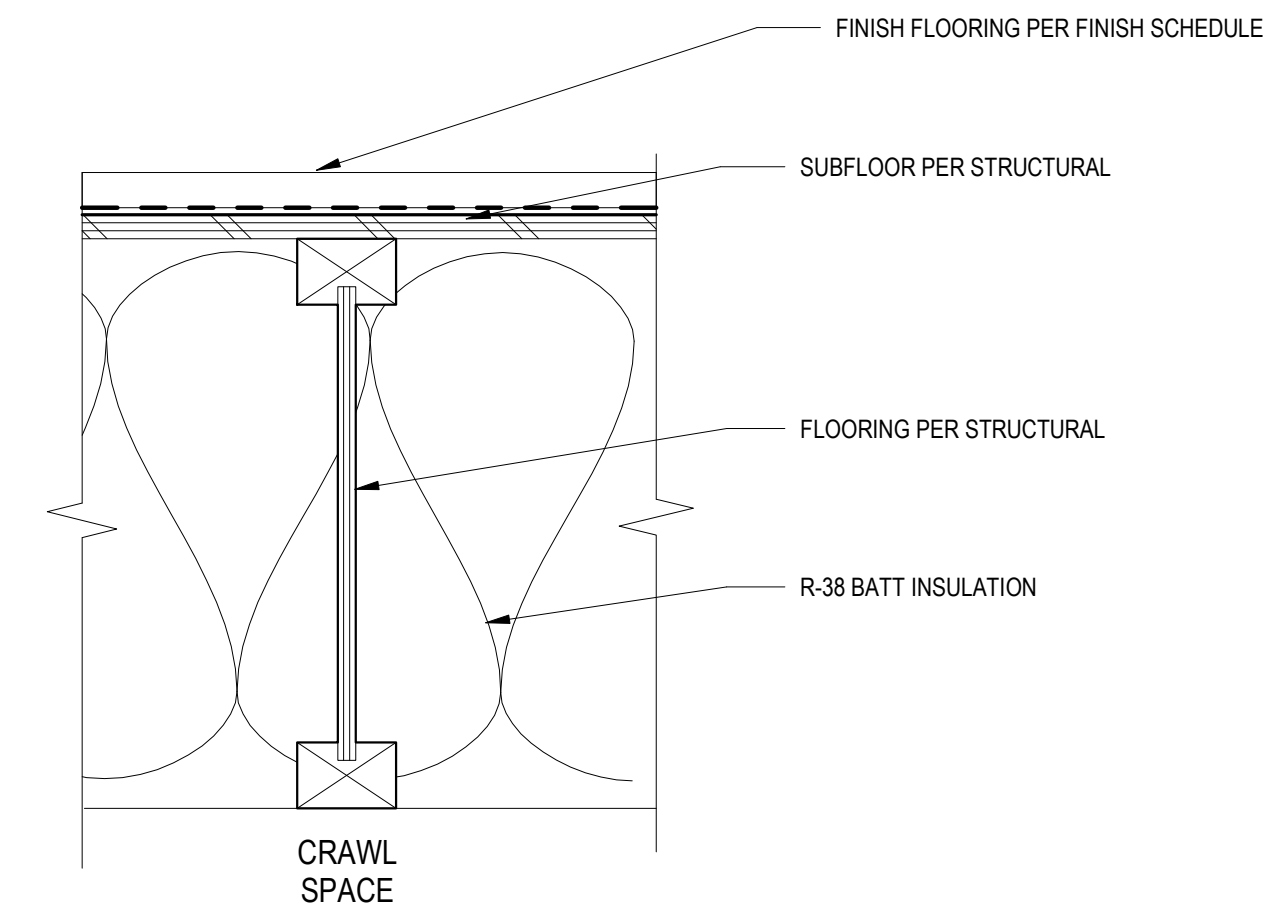
3 Floor - Slab on Grade Detail
SCALE: 1 1/2" = 1'-0"



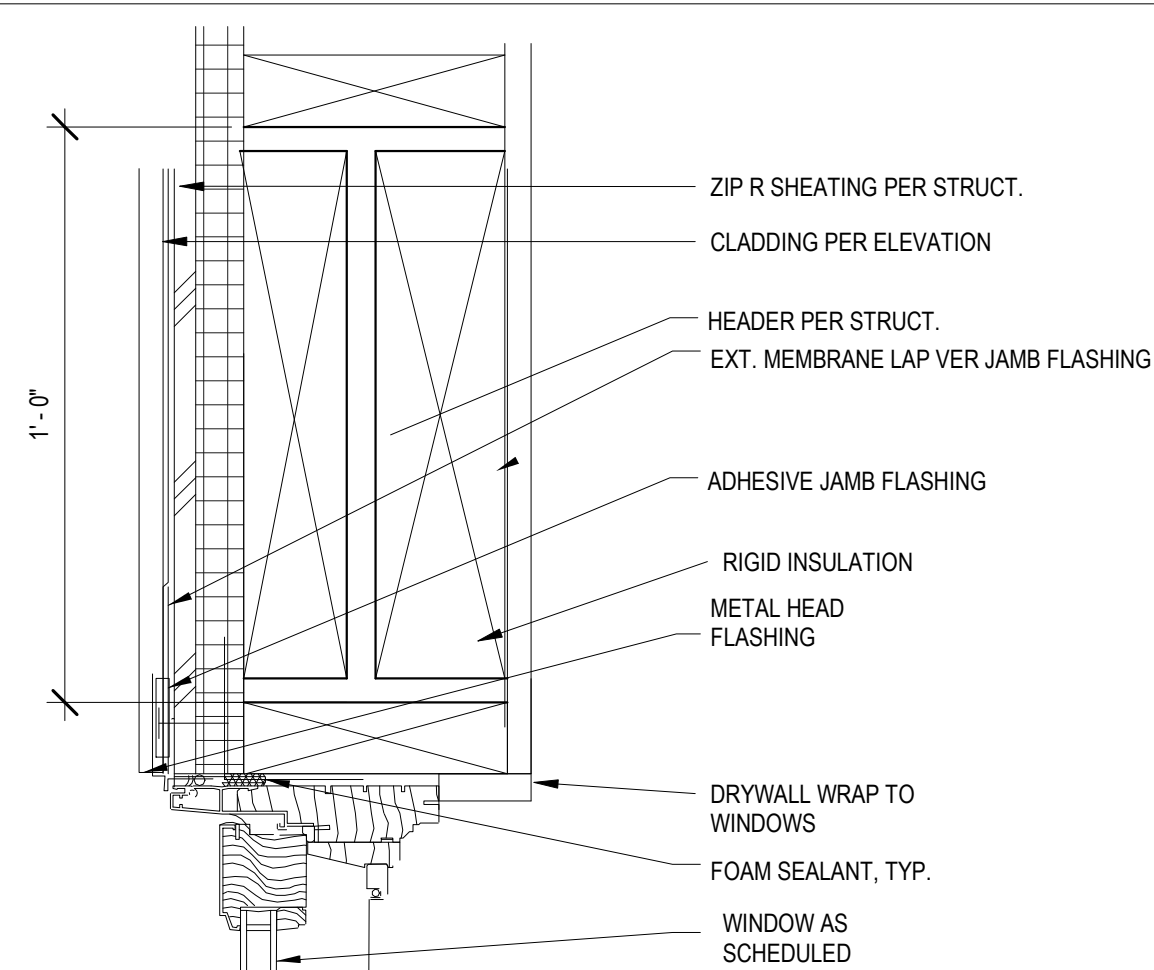
4 Typical Mod to Foundation Detail
SCALE: 1 1/2" = 1'-0"



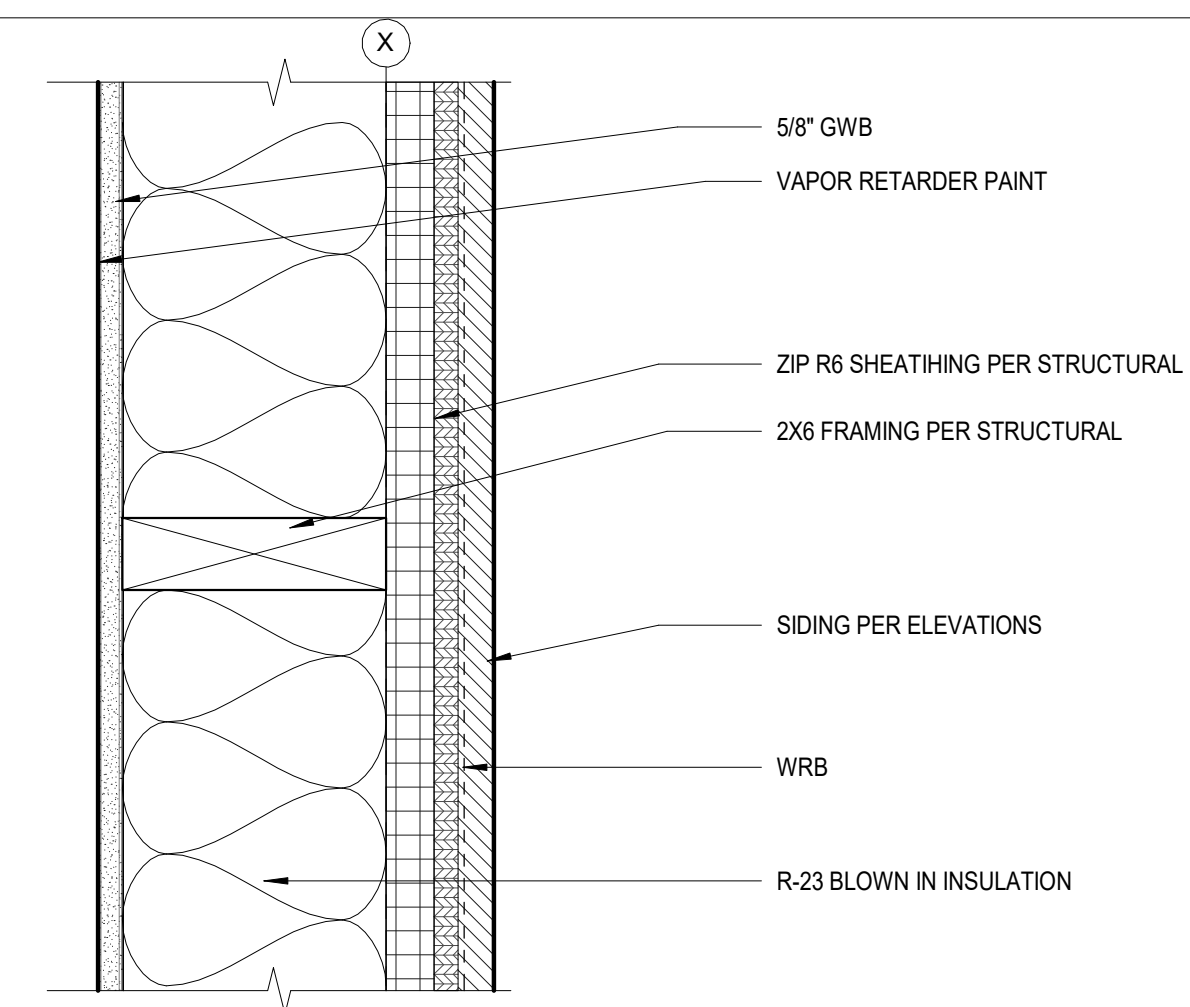
6 Typical Door - Header Detail
SCALE: 3" = 1'-0"



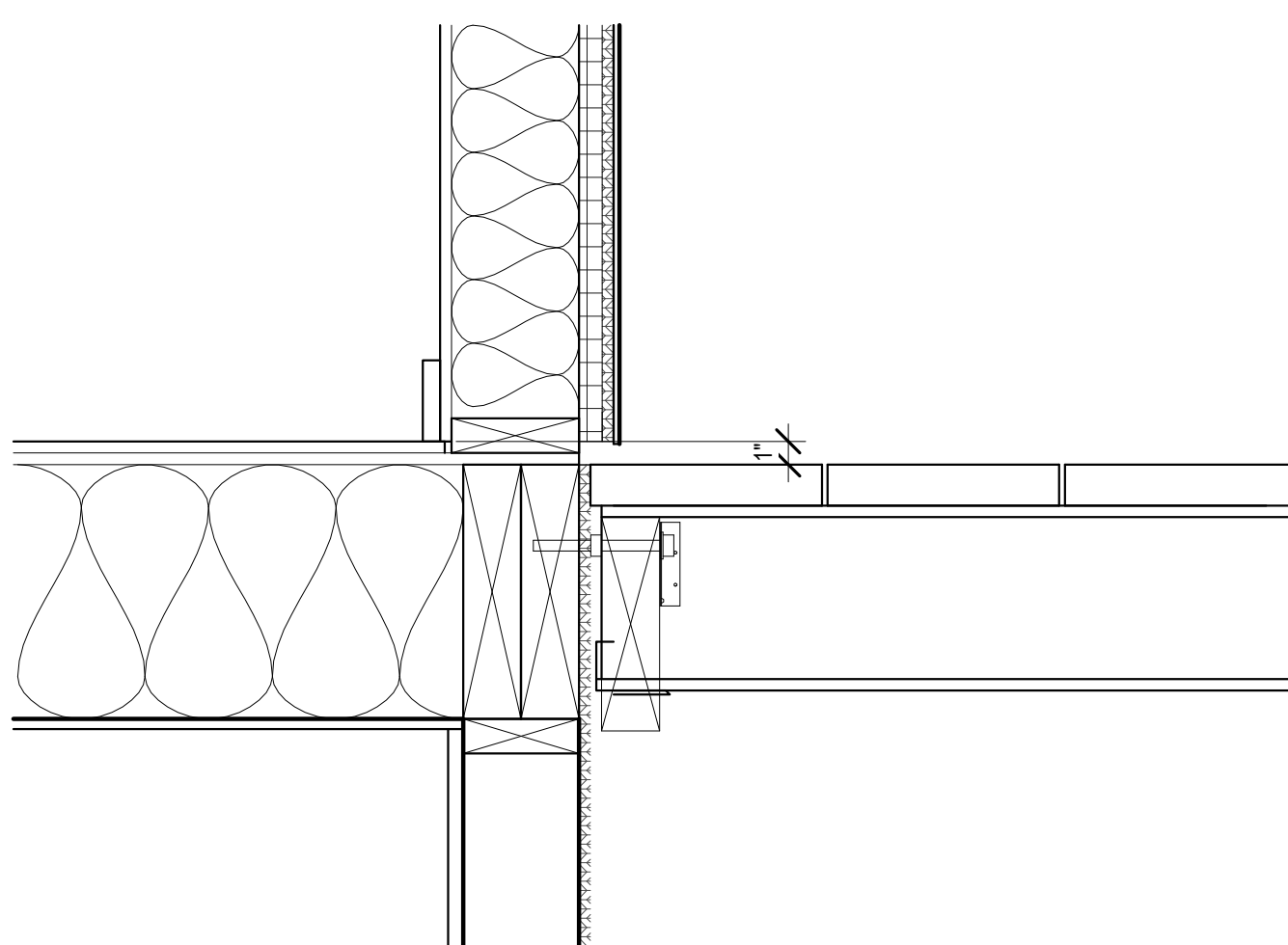
9 Typical Subfloor Detail
SCALE: 3" = 1'-0"



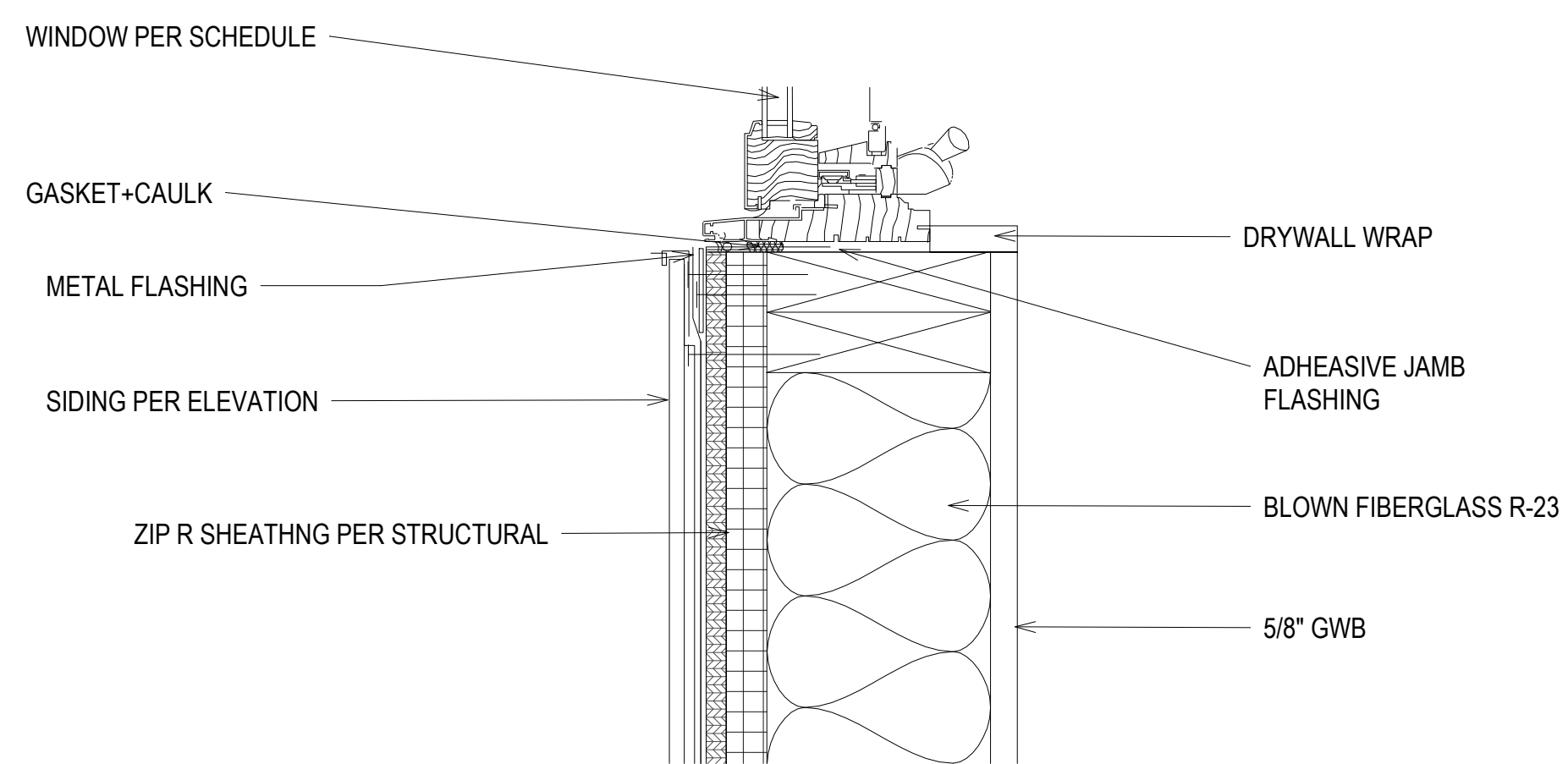
7 Typical Window Head Detail
SCALE: 3" = 1'-0"



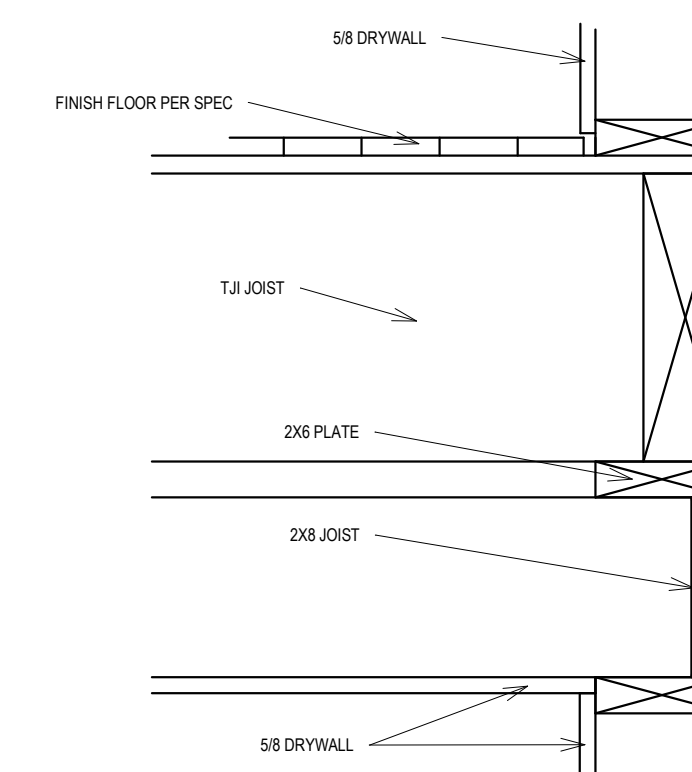
10 Typical Exterior Wall Detail W-4
SCALE: 3" = 1'-0"



5 Typical Mod to Deck Detail
SCALE: 1 1/2" = 1'-0"



8 Typical Window Sill Detail
SCALE: 3" = 1'-0"



11 Typical Modular Connection Stack
SCALE: 1 1/2" = 1'-0"

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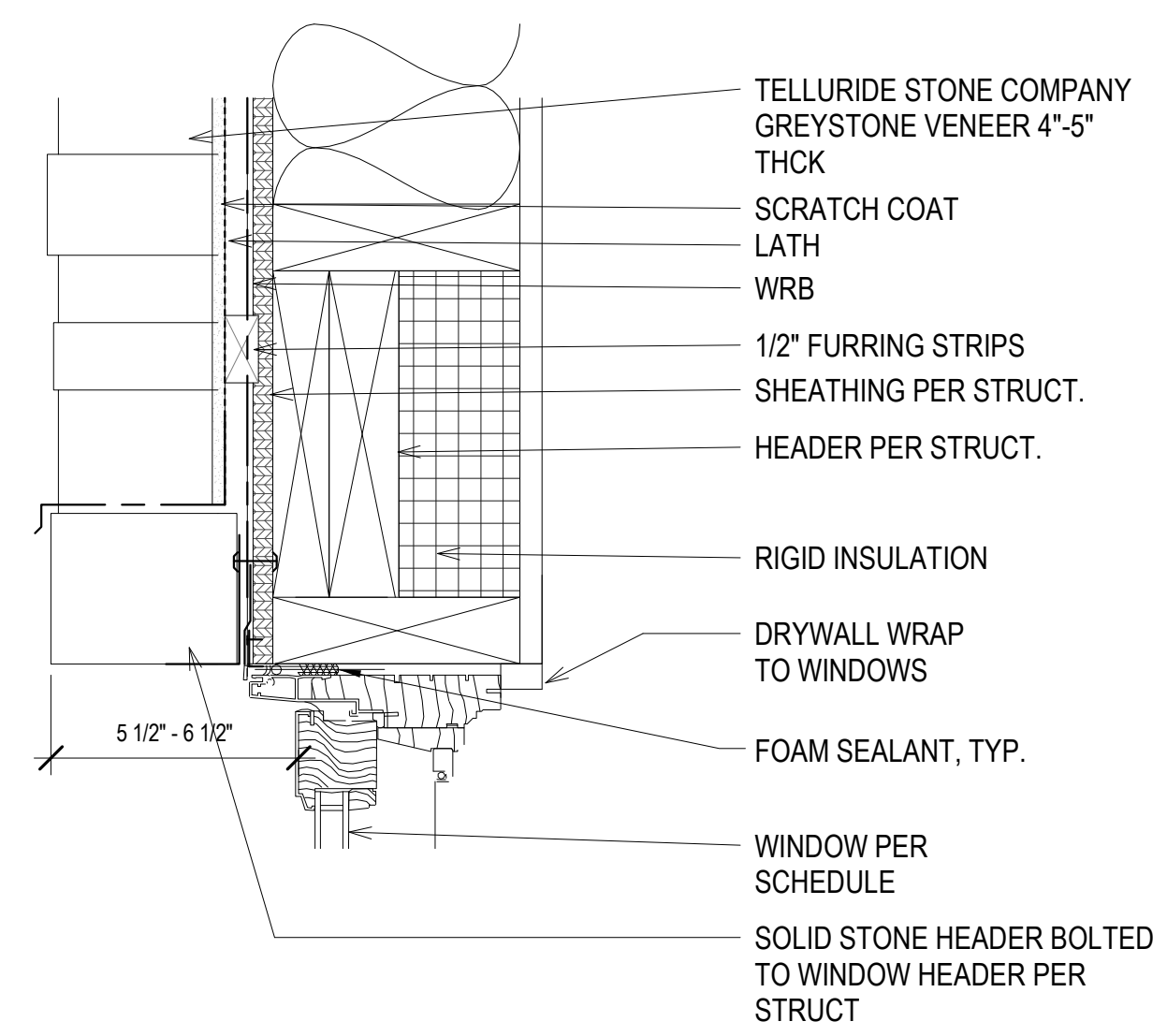
No.	Description	Date

ARCHITECTURAL
DETAILS

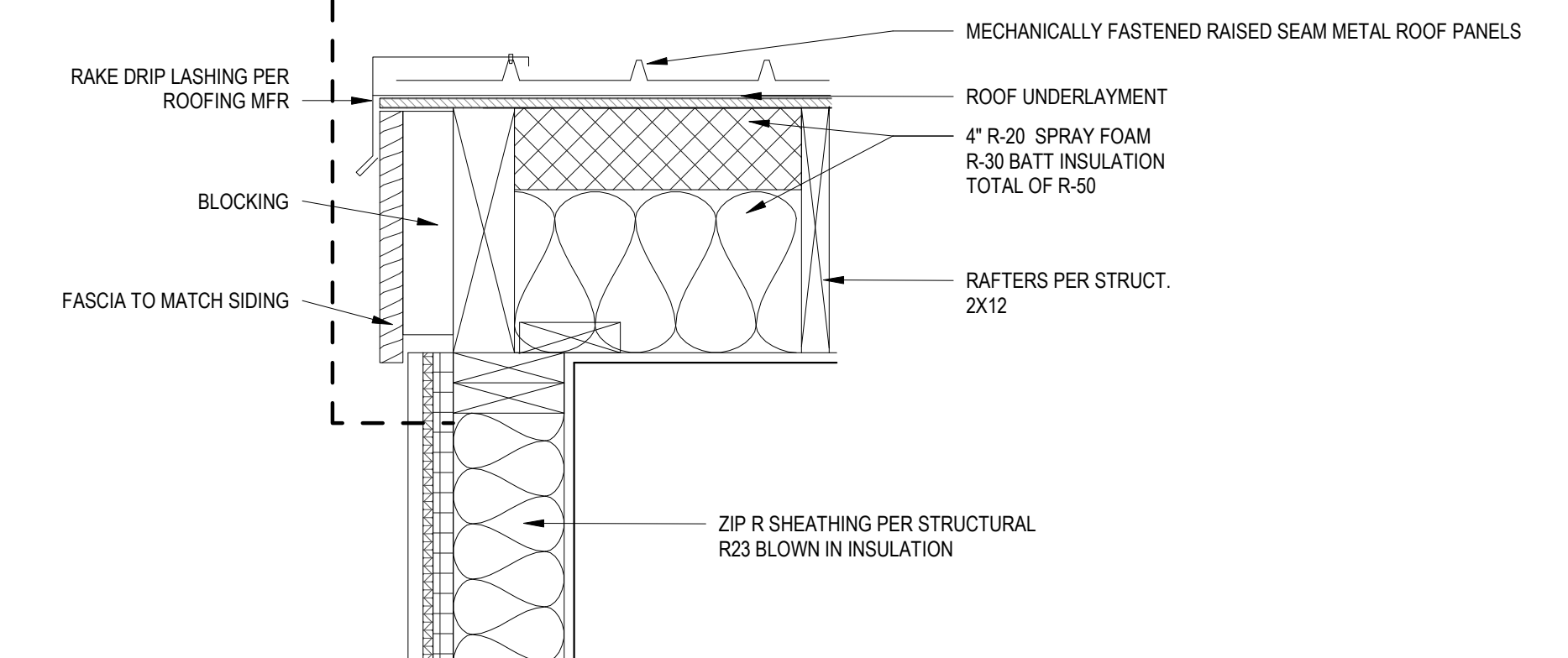
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A701

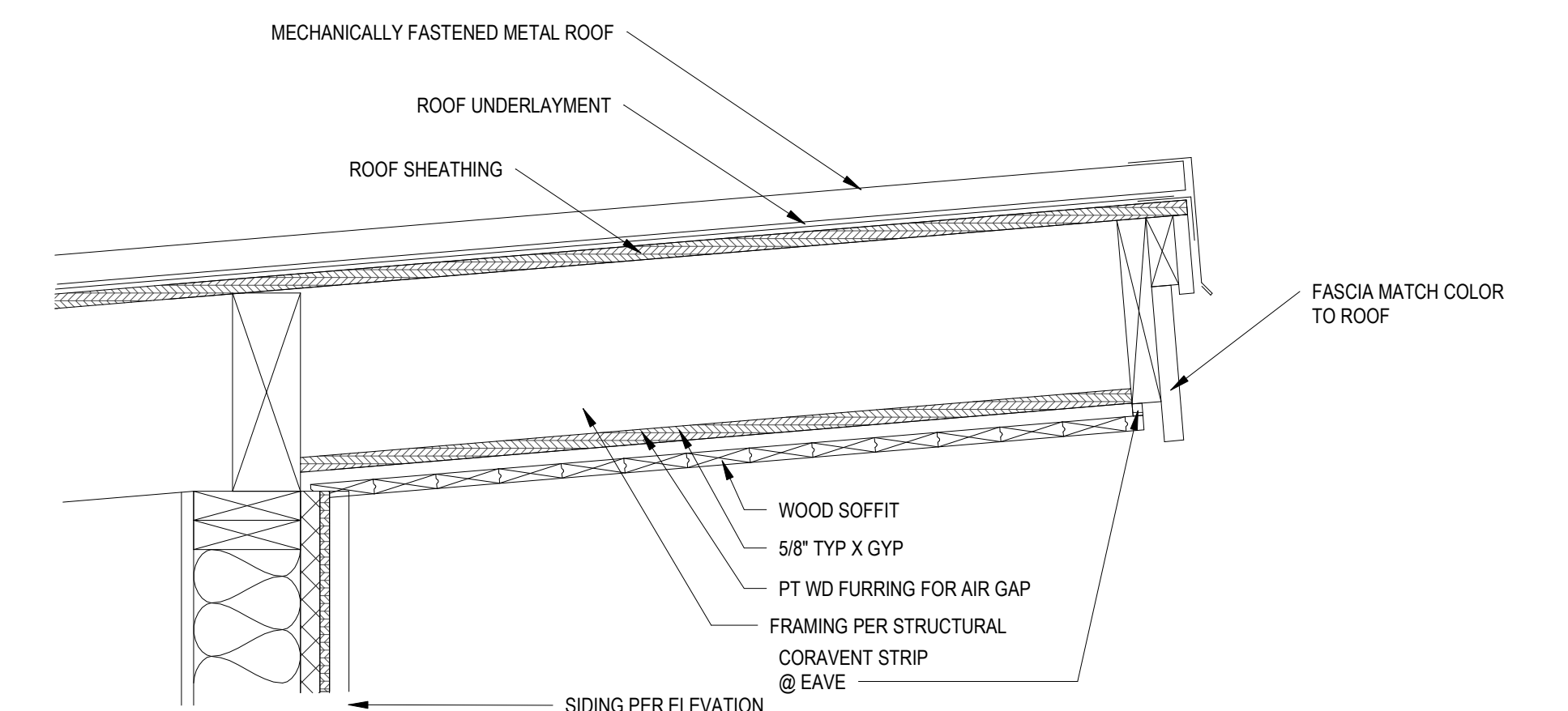
Scale As indicated



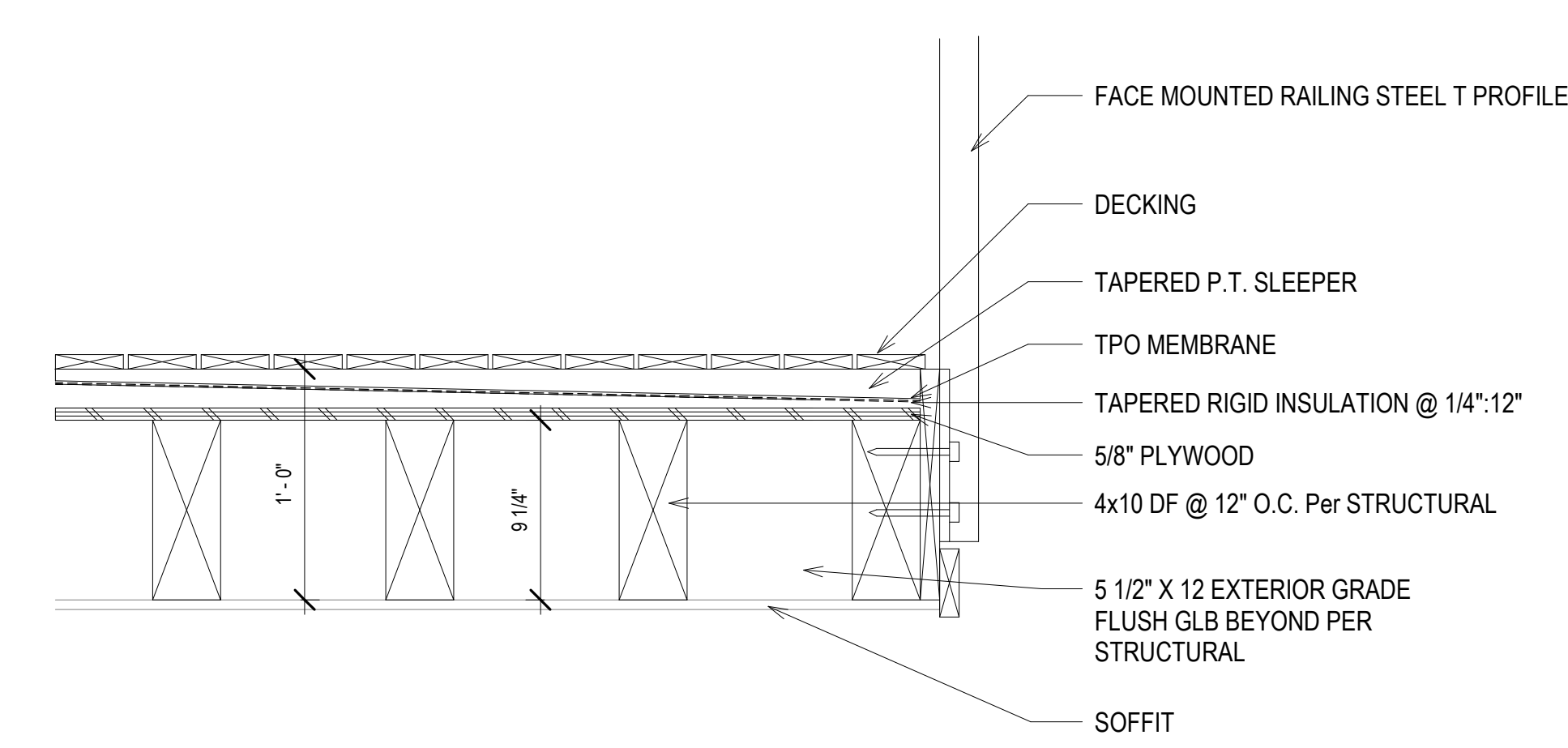
1 Roof Detail
SCALE: 1 1/2" = 1'-0"



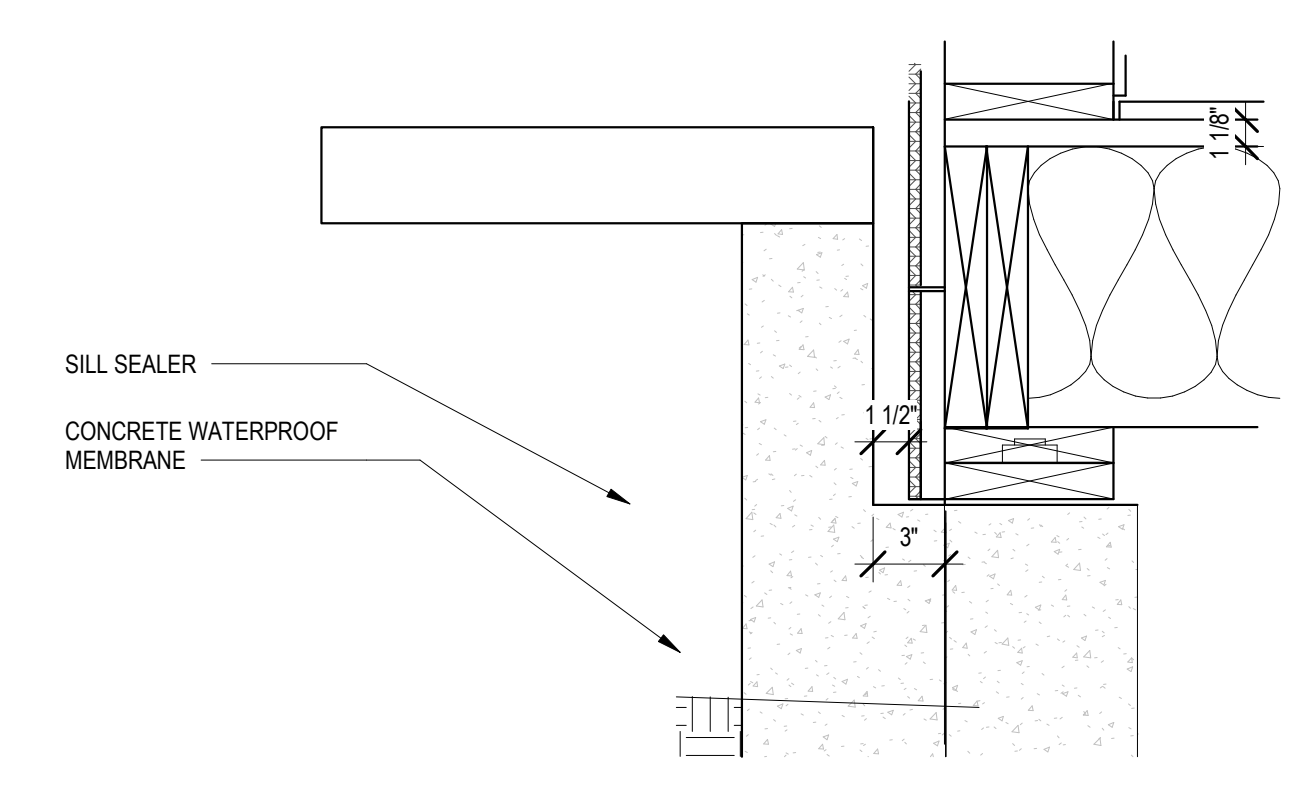
2 Roof Eave Detail
SCALE: 1 1/2" = 1'-0"



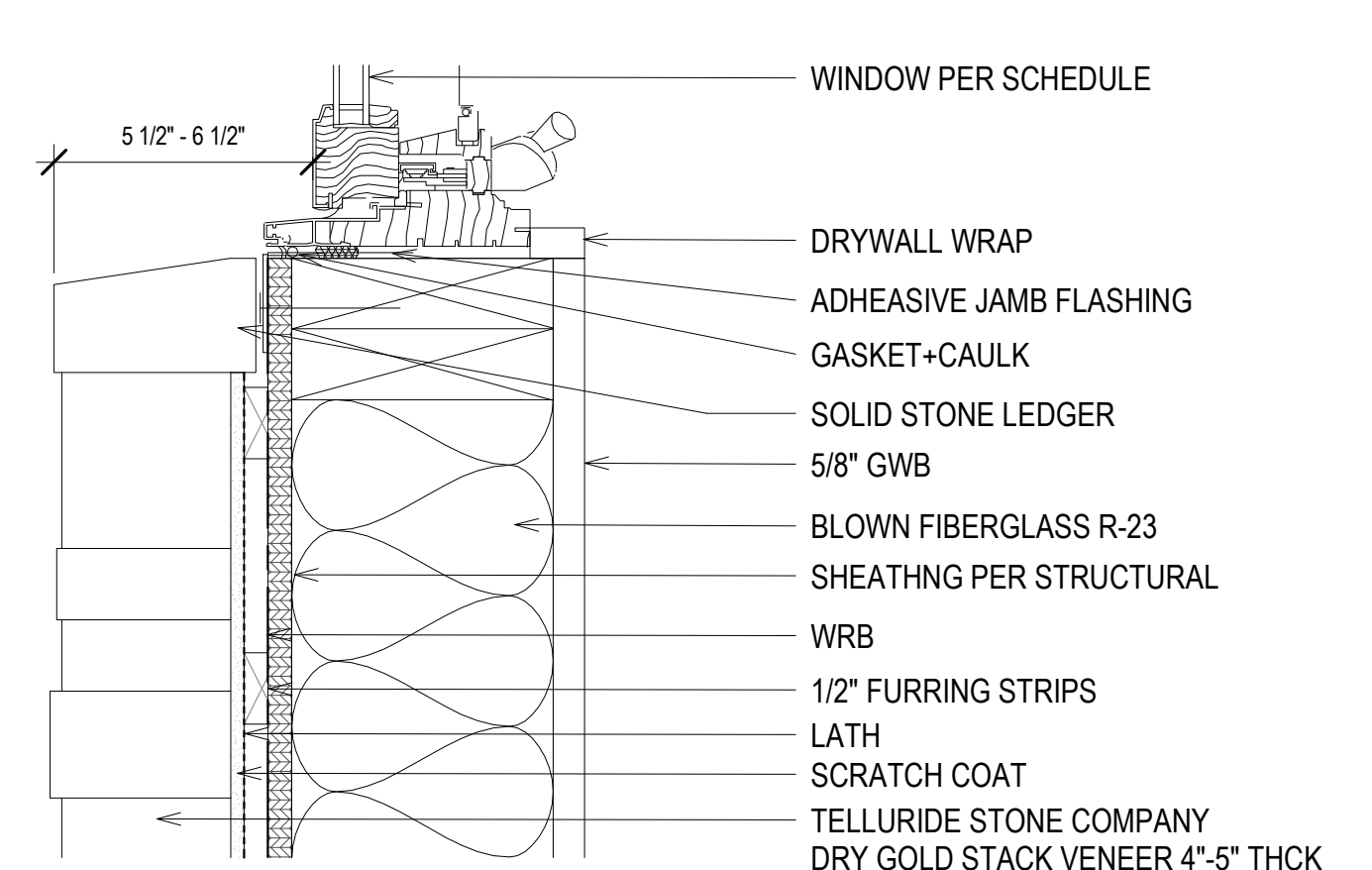
3 Floor - Exterior Deck Detail
SCALE: 1 1/2" = 1'-0"



4 Foundation -Crawspace To Slab
SCALE: 1 1/2" = 1'-0"



5 Typical Stone Wall Window Detail
SCALE: 3" = 1'-0"



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No.	Description	Date

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Client ALPER - WILLIAMS
Date 02.03.2023

A702

Scale As indicated



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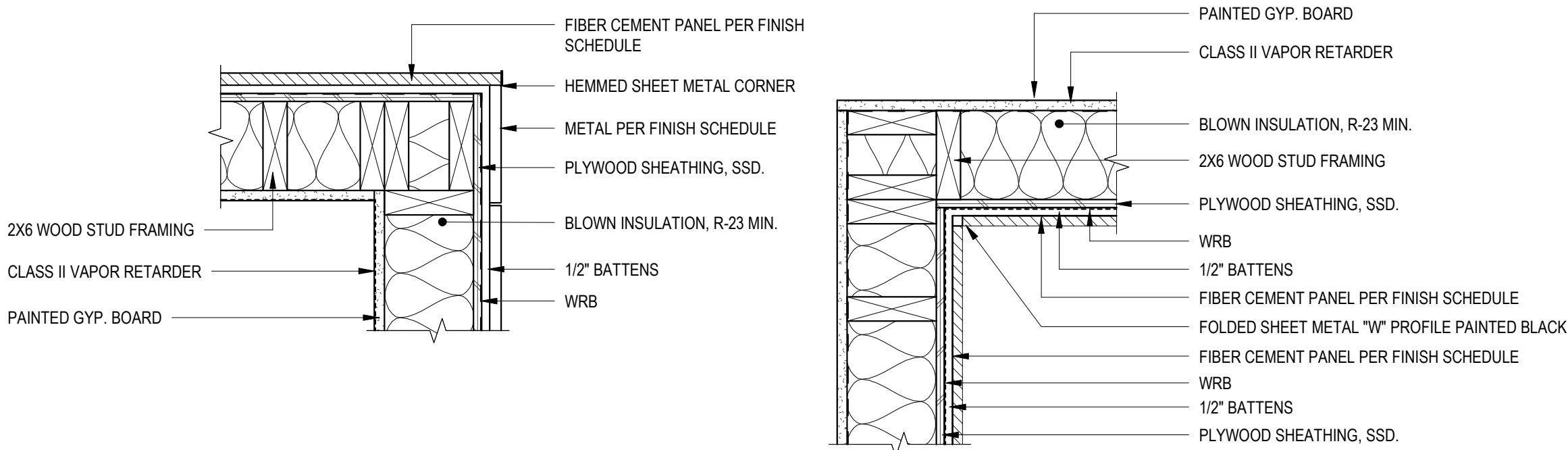
No.	Description	Date

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Client: ALPER - WILLIAMS
Date: 02.03.2023

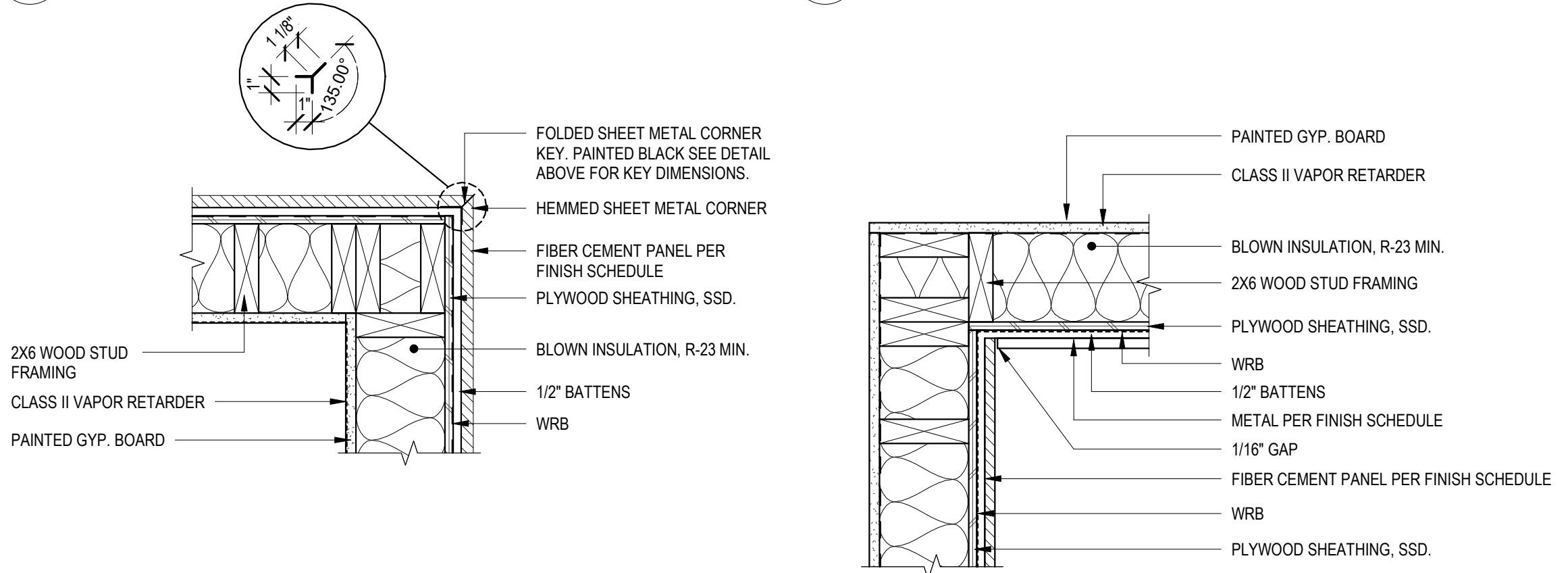
A703

Scale: 1 1/2" = 1'-0"



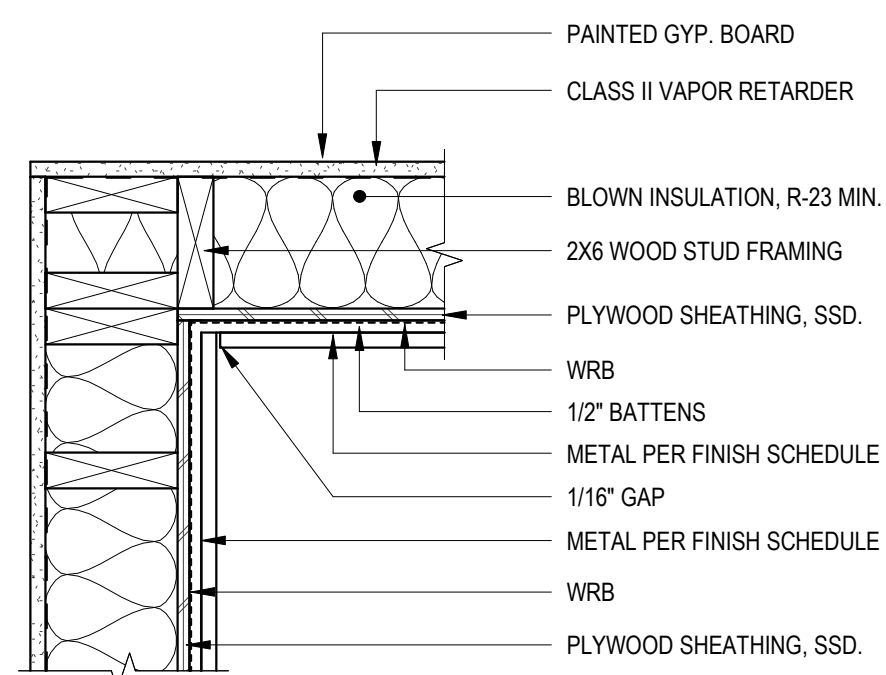
5 FIBER CEMENT METAL EXTERIOR CORNER
SCALE: 1 1/2" = 1'-0"

3 FIBER CEMENT INTERIOR CORNER
SCALE: 1 1/2" = 1'-0"

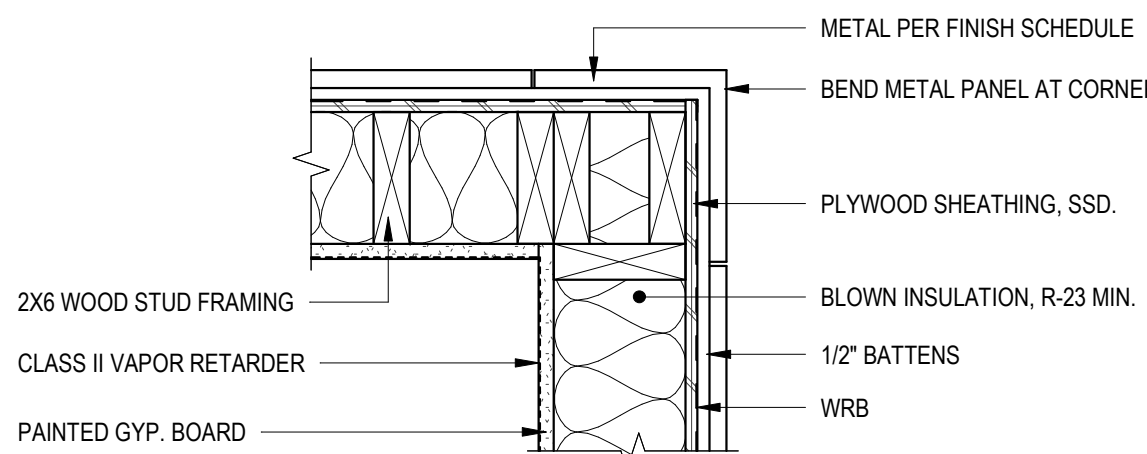


6 FIBER CEMENT EXTERIOR CORNER
SCALE: 1 1/2" = 1'-0"

2 FIBER CEMENT METAL INTERIOR CORNER
SCALE: 1 1/2" = 1'-0"

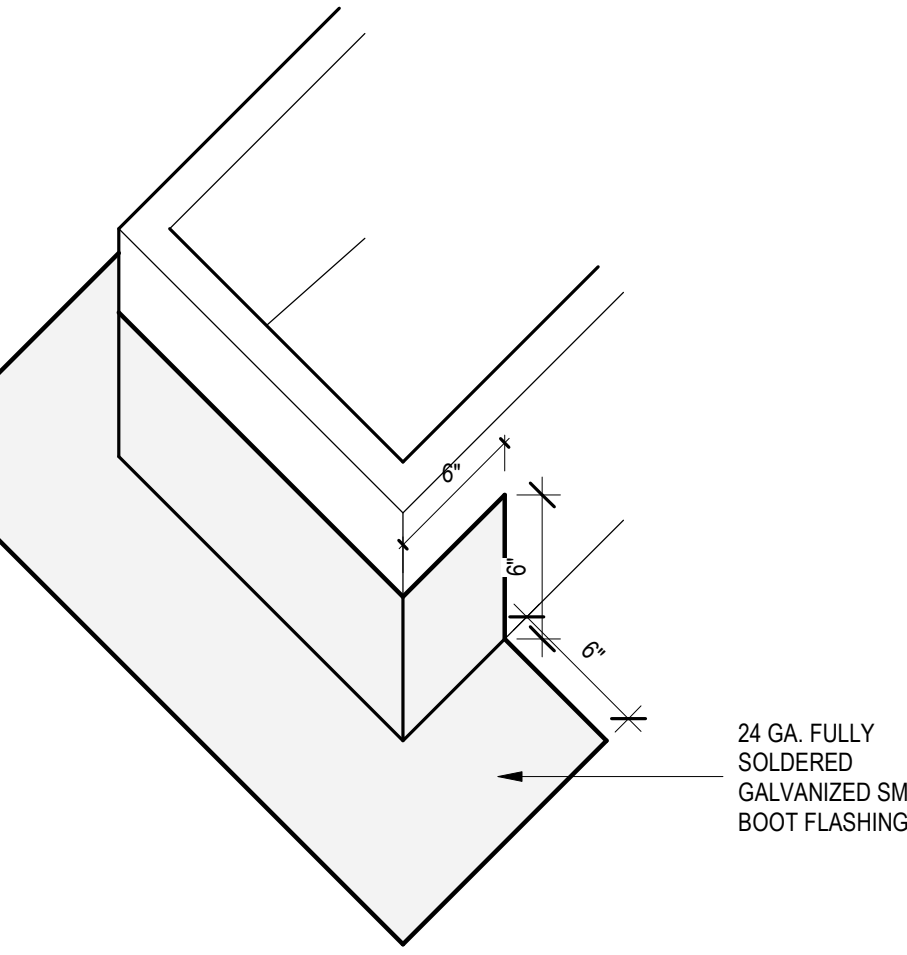
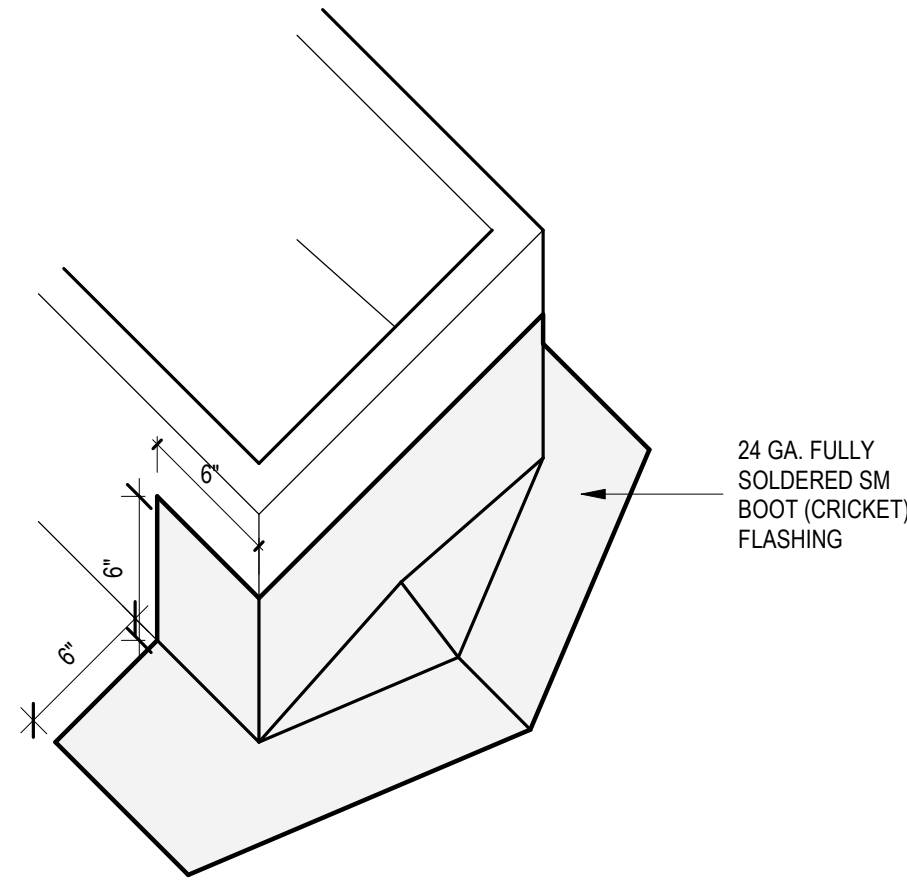
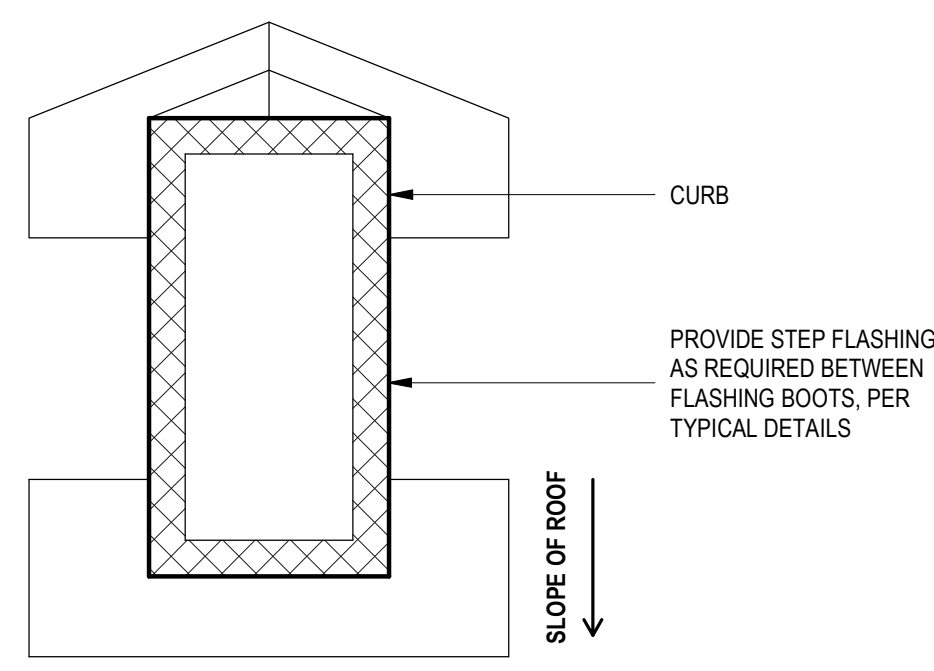


1 FLAT METAL INTERIOR CORNER
SCALE: 1 1/2" = 1'-0"

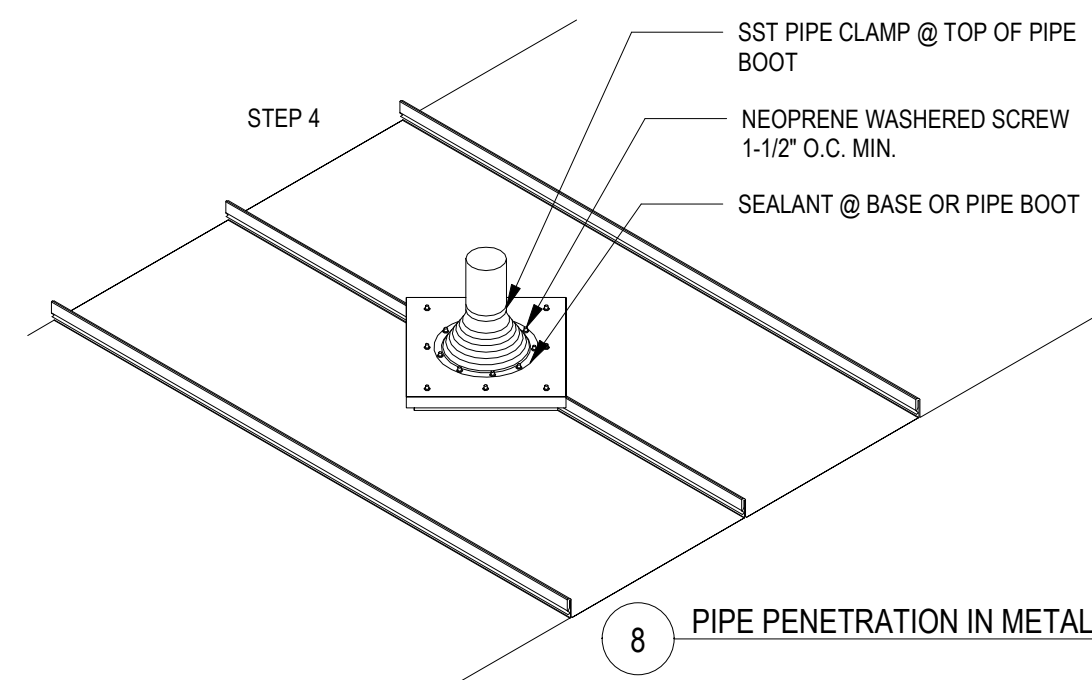
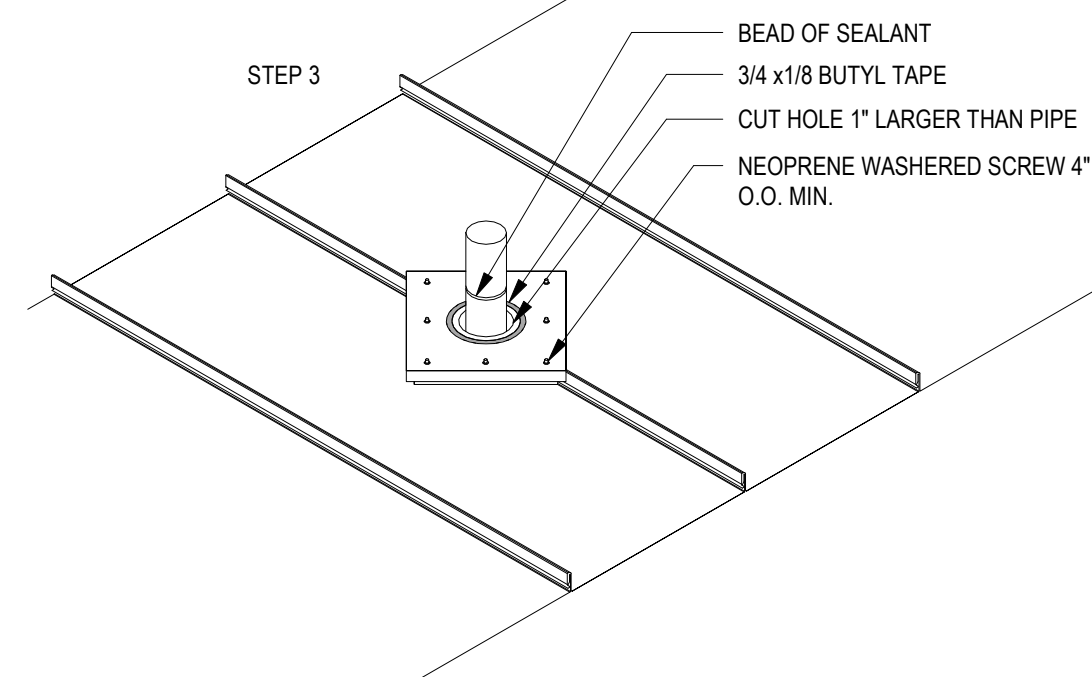
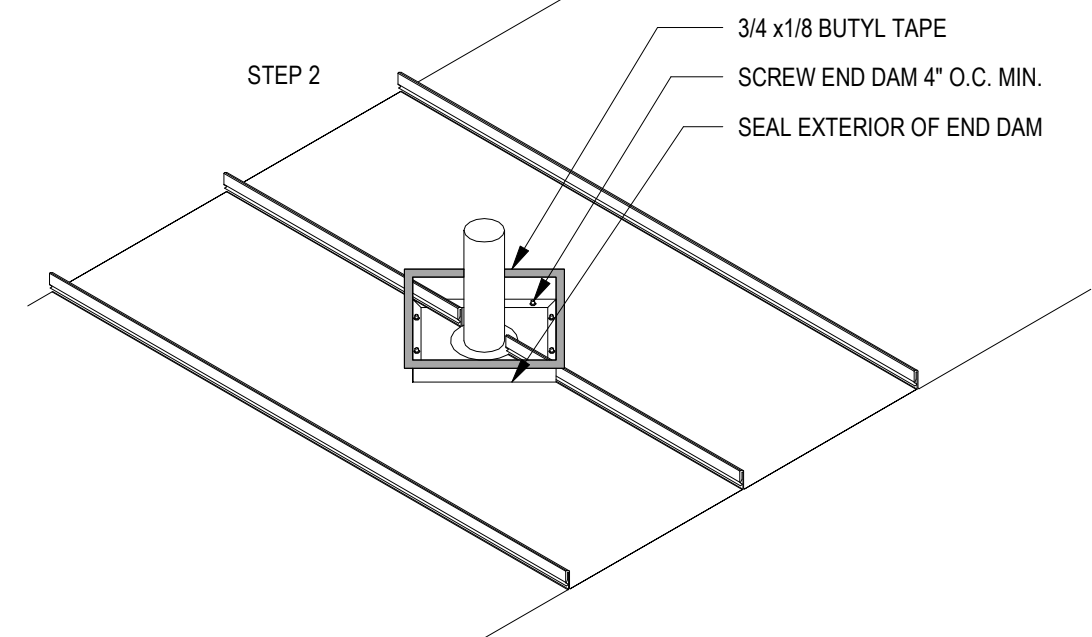
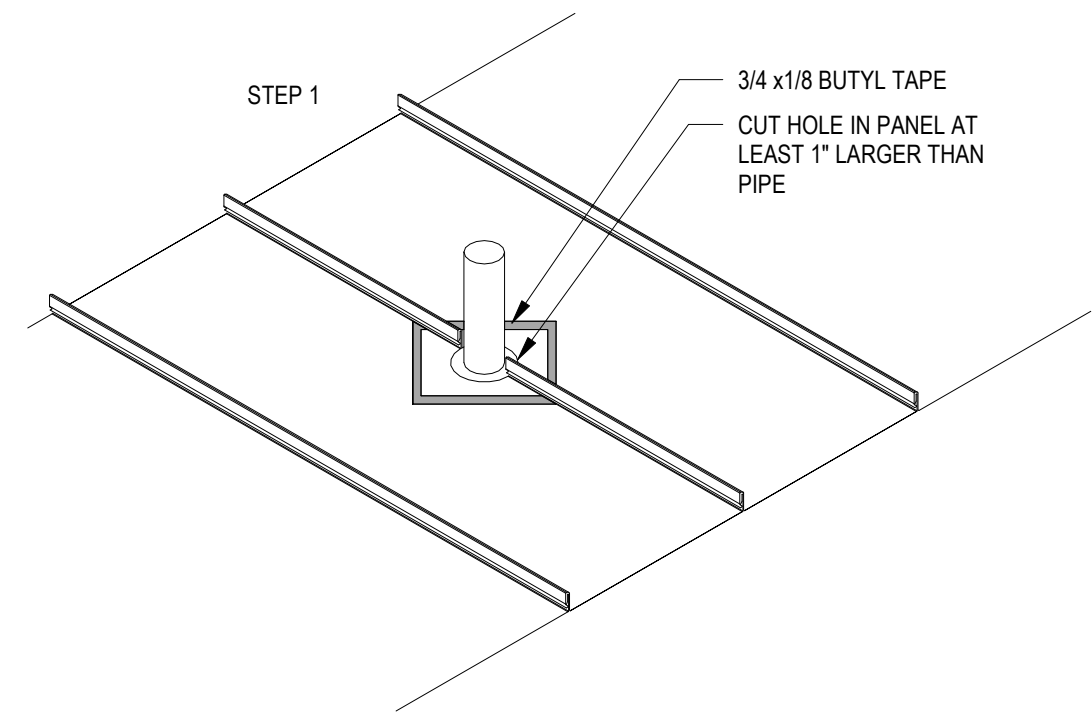


4 FLAT METAL EXTERIOR CORNER
SCALE: 1 1/2" = 1'-0"

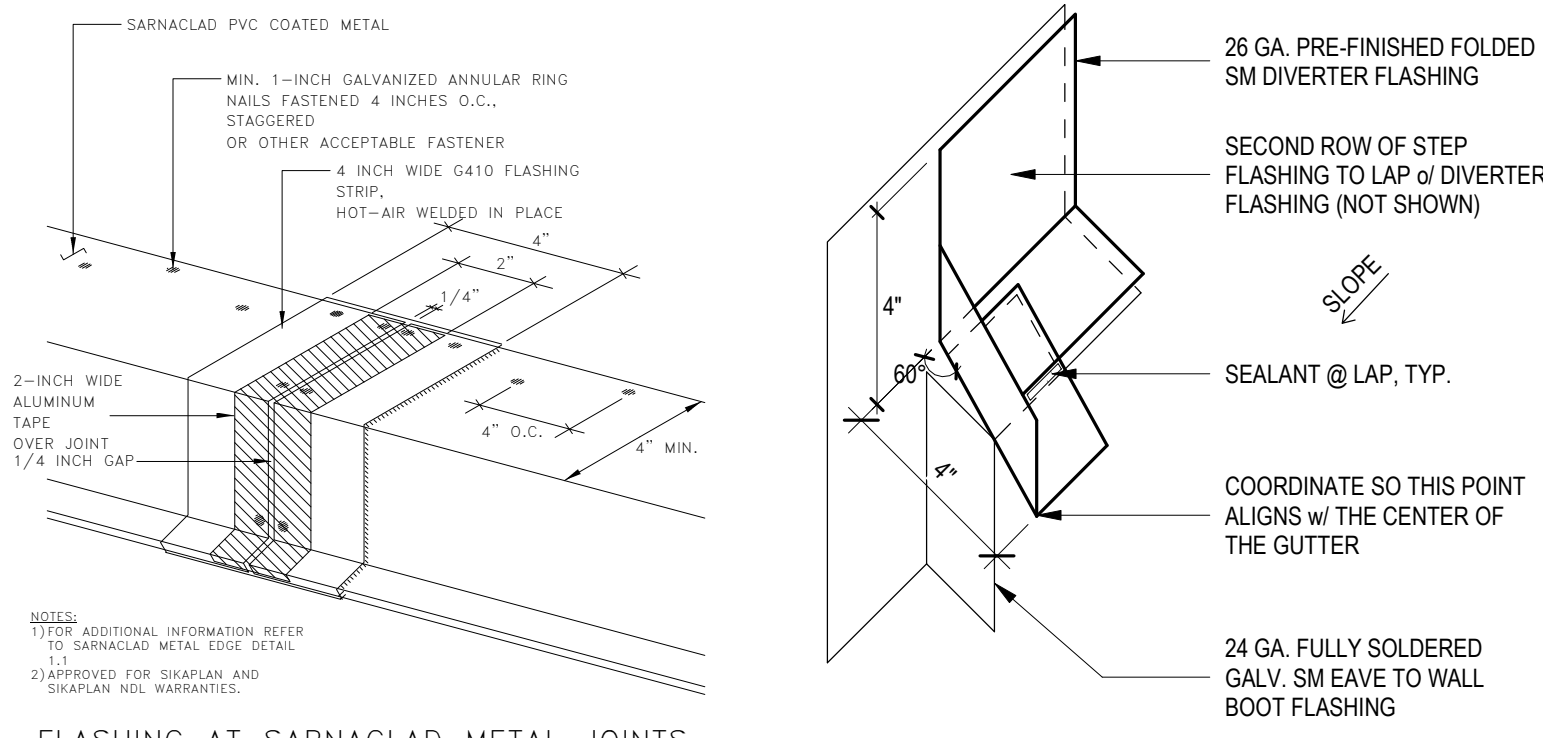
C:\Users\Method Homes\Desktop\Architectural\Drawings\A703\A703.dwg



10 CURB FLASHING WITH CRICKET

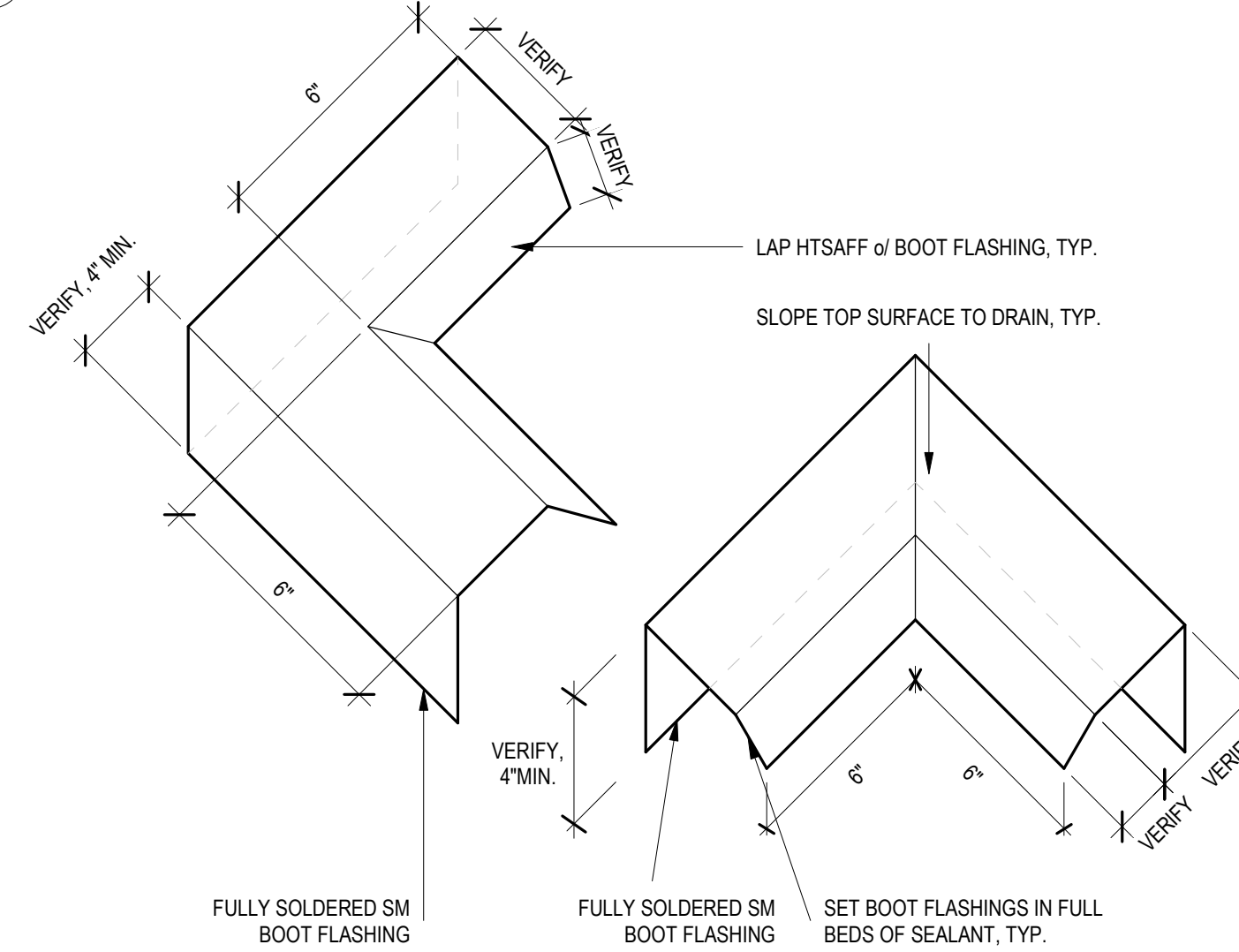


8 PIPE PENETRATION IN METAL ROOF

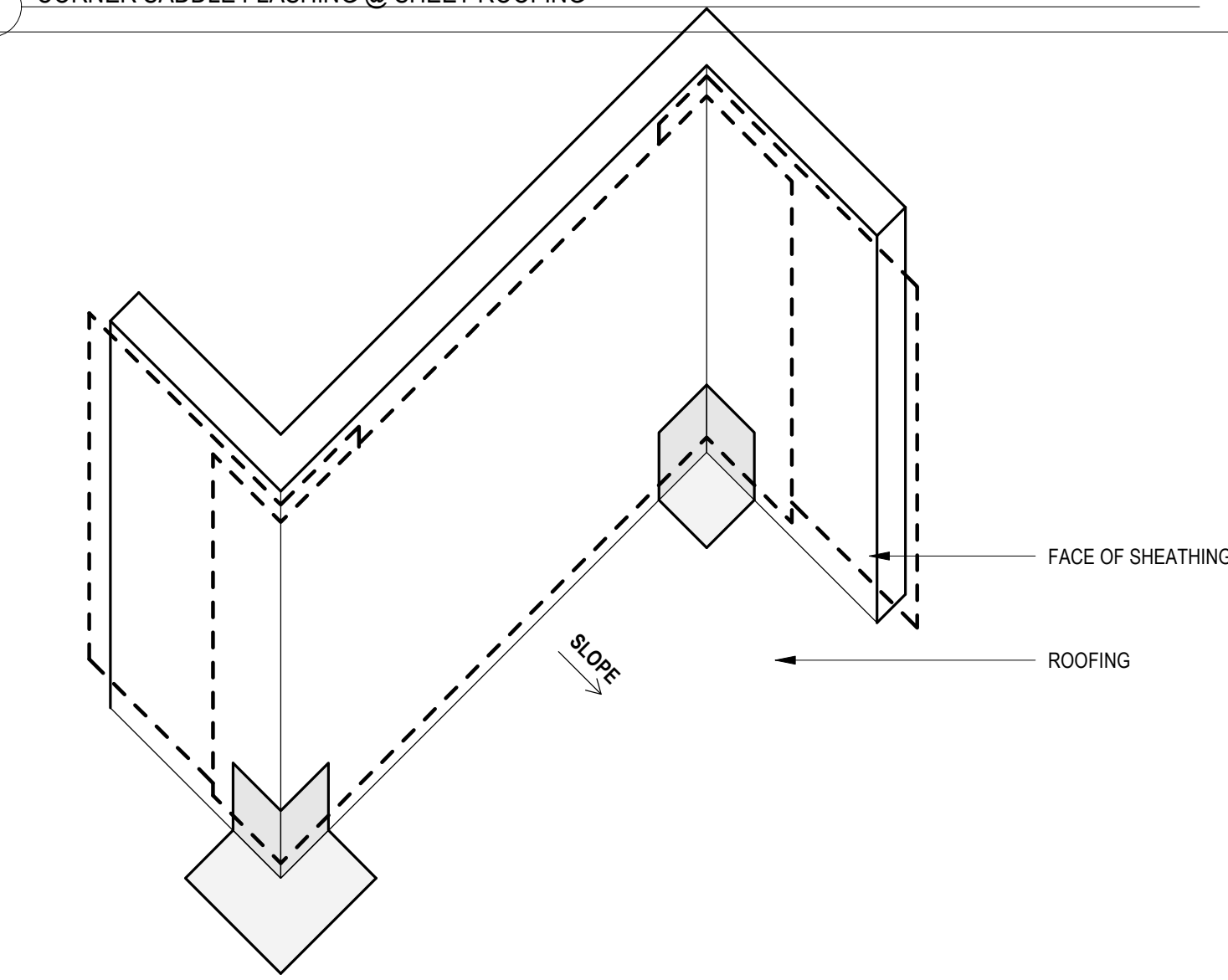


5 DIVERTER FLASHING, TYP.

4 COPING JOINT

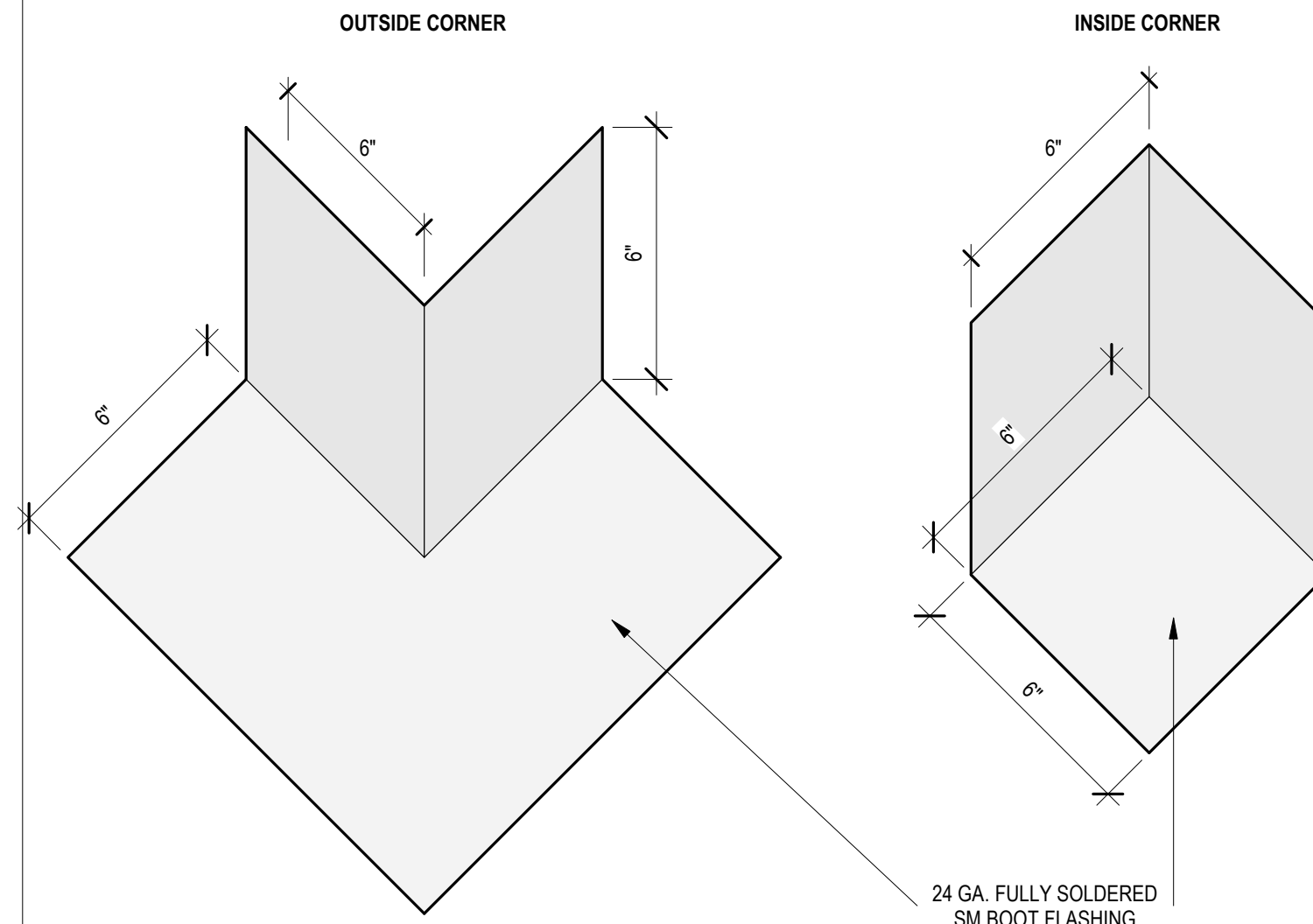


6 CORNER SADDLE FLASHING @ SHEET ROOFING

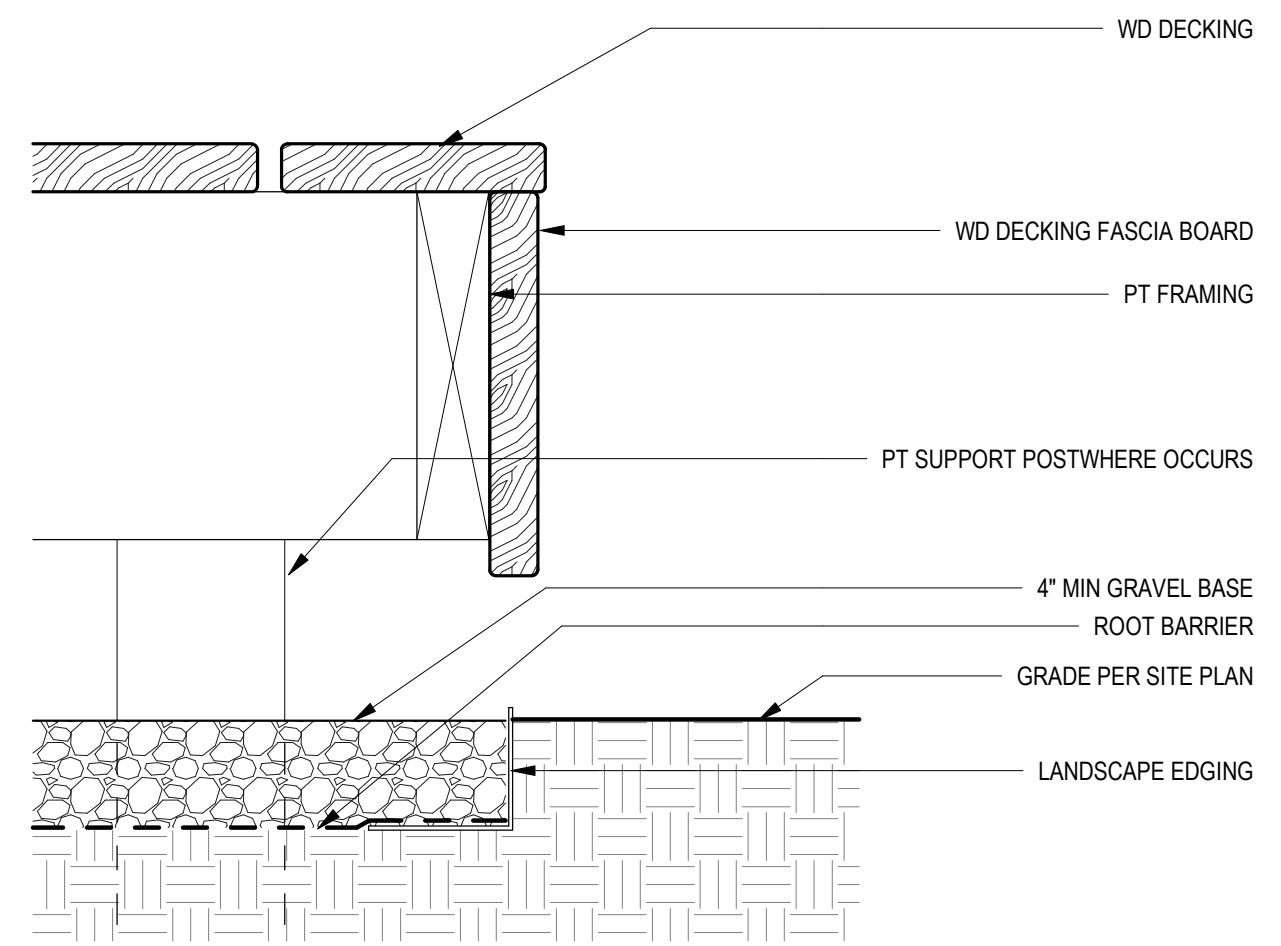


OUTSIDE CORNER

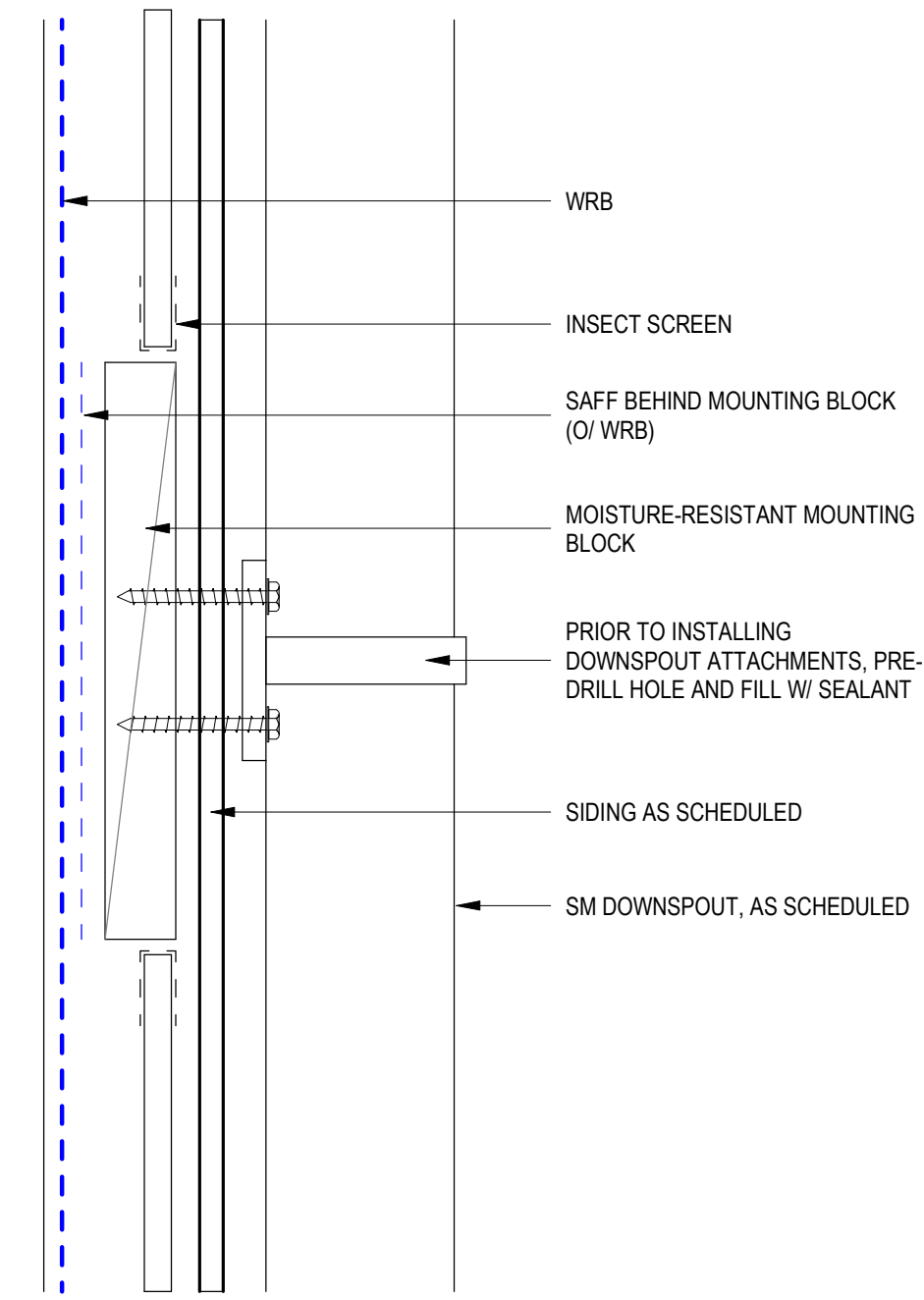
INSIDE CORNER



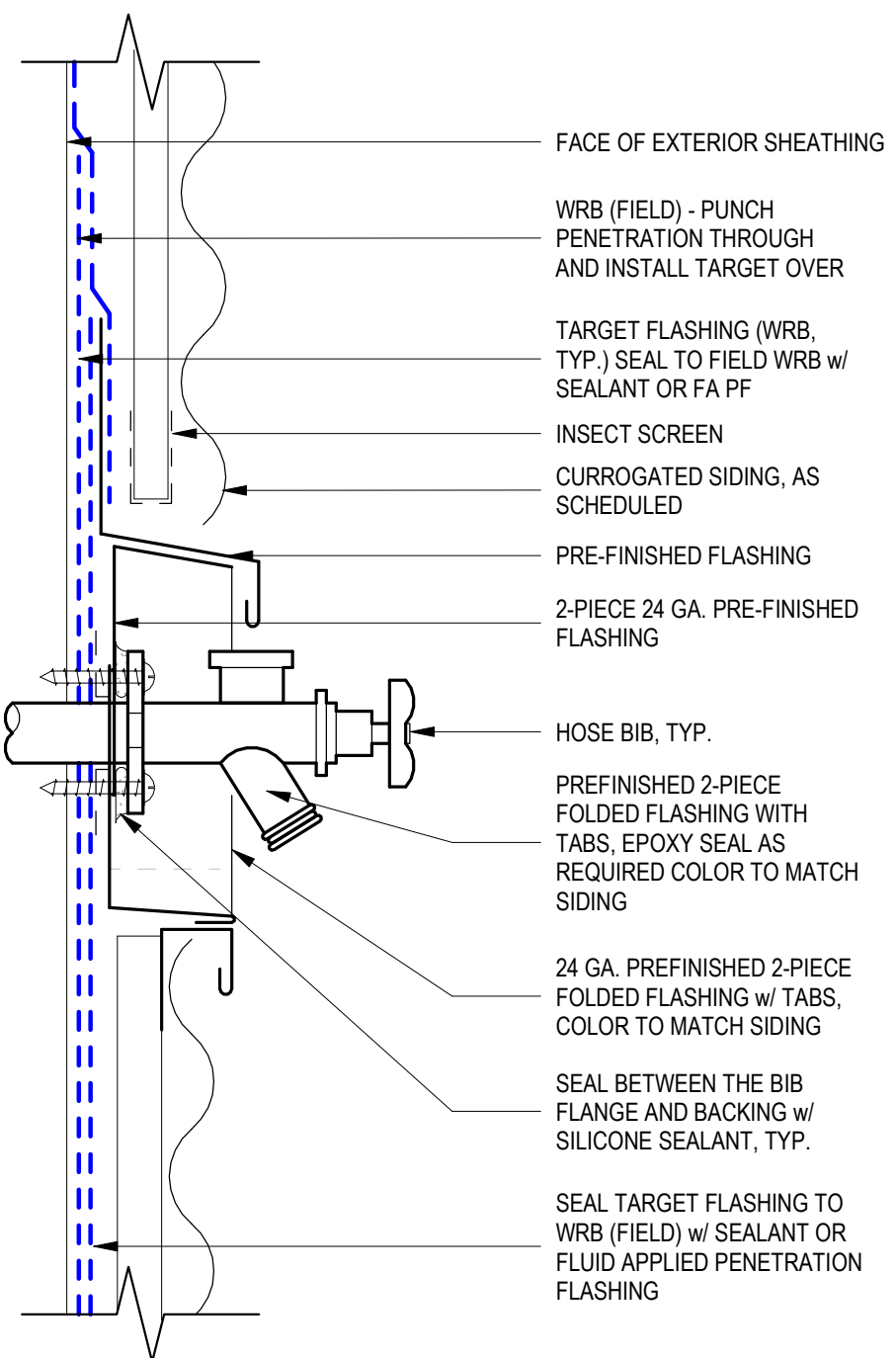
7 INSIDE AND OUTSIDE CORNER AT ROOF TO WALL FLASHING



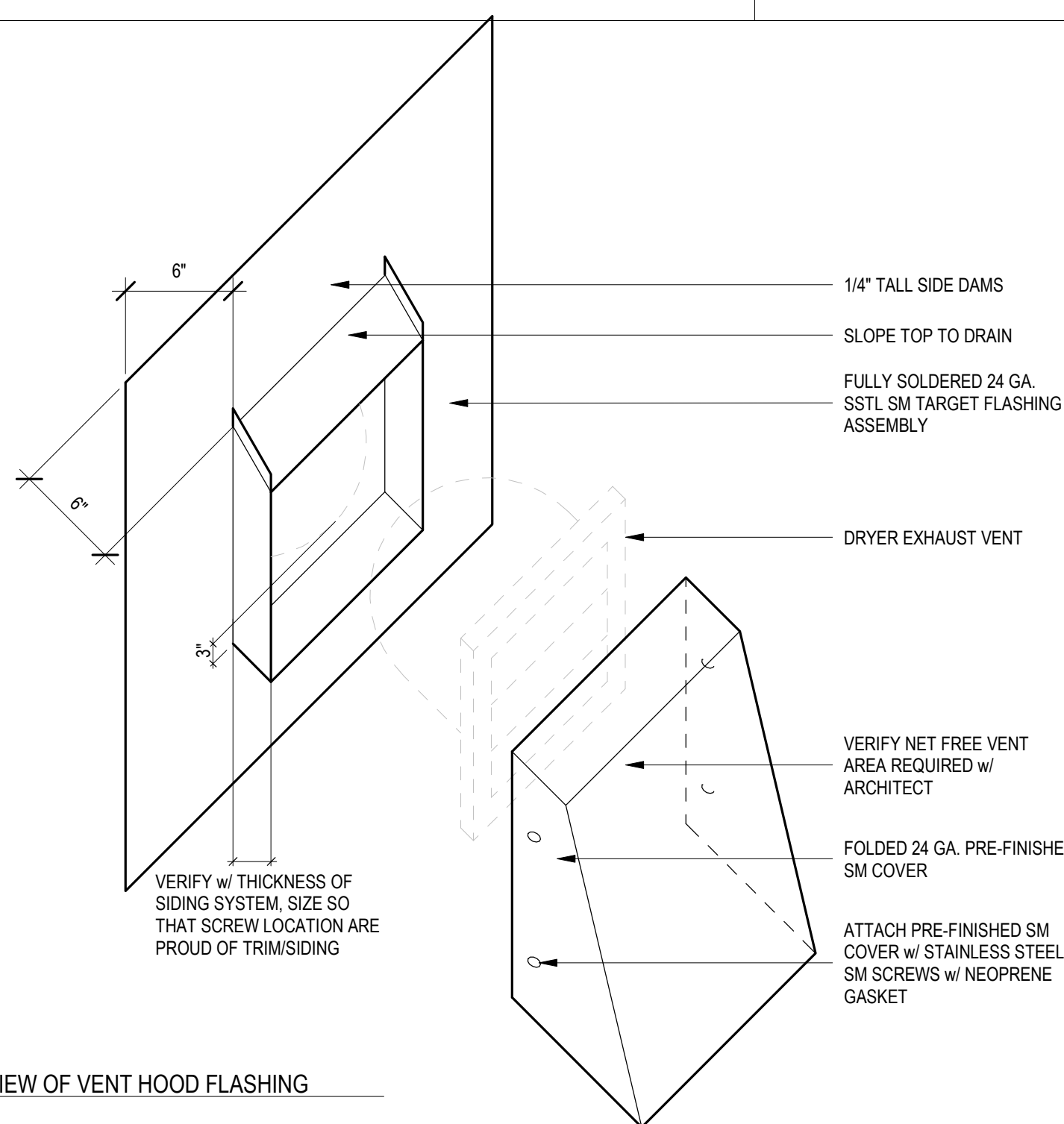
1 DECK EDGE



2 DOWNSPOUT ATTACHMENT, TYP.



3 HOSE BIB, TYP.



9 AXO VIEW OF VENT HOOD FLASHING



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No.	Description	Date

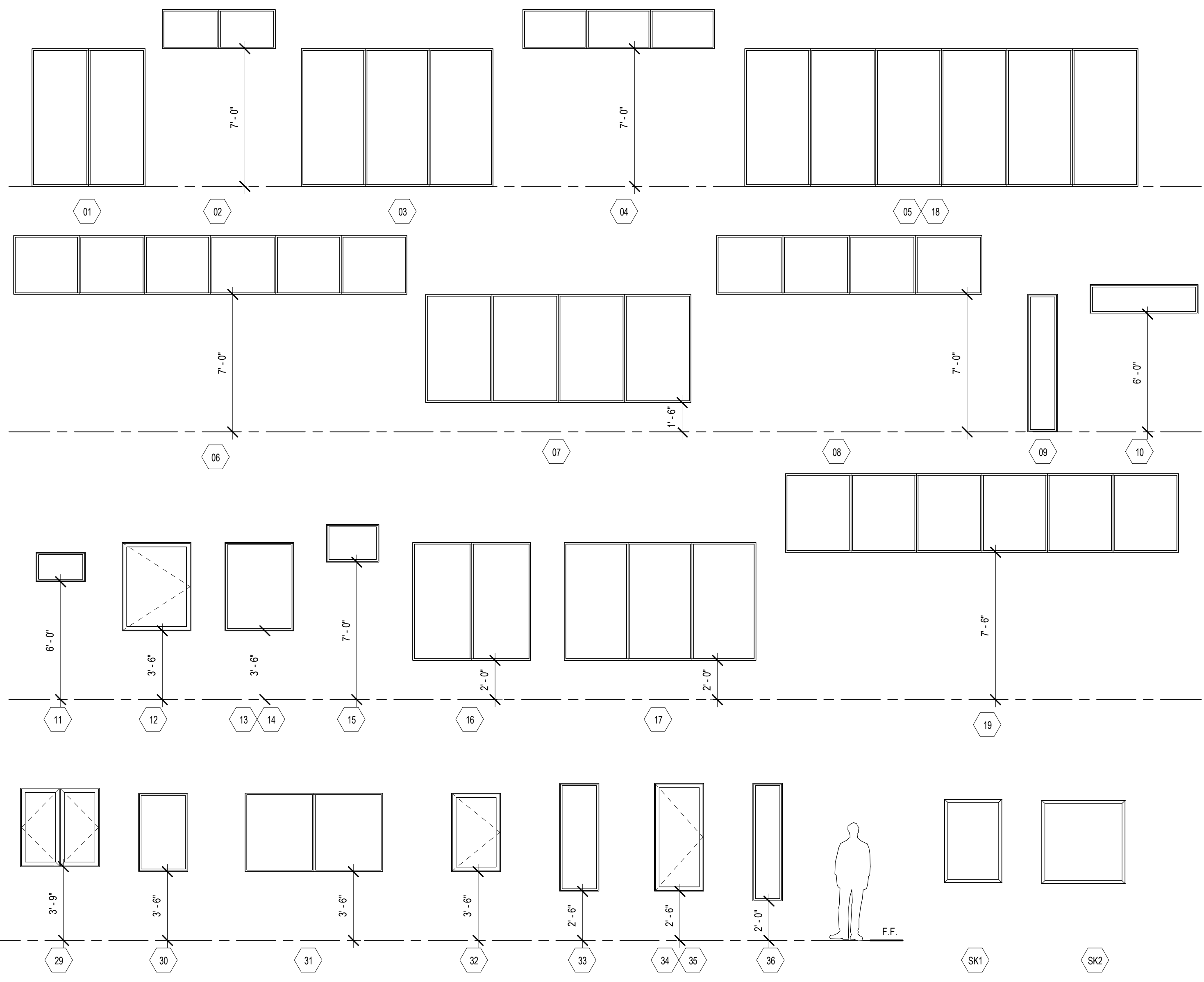
ARCHITECTURAL
DETAILS

Client ALPER - WILLIAMS
Date 02.03.2023

A704

Scale As indicated

WINDOW SCHEDULE													
MARK	LOCATION	WINDOW TYPE	DIMENSION					EGRESS	AREA	U-VALUE	MULLED WITH	SCOPE	COMMENTS
			WIDTH	HEIGHT	HEAD HEIGHT	ROUGH WIDTH	ROUGH HEIGHT						
FIRST FLOOR													
01	DINING ROOM	FIXED	5'-9"	7'-0"	7'-0"	5'-10"	7'-1"		40		02	SITE BUILT	
02	DINING ROOM	FIXED	5'-9"	2'-0"	9'-0"	5'-10"	2'-1"		12		01	SITE BUILT	
03	DINING ROOM	FIXED	9'-9"	7'-0"	7'-0"	9'-10"	7'-1"		68		04	SITE BUILT	
04	DINING ROOM	FIXED	9'-9"	2'-0"	9'-0"	9'-10"	2'-1"		20		03	SITE BUILT	
05	LIVING ROOM	FIXED	20'-0"	7'-0"	7'-0"	20'-1"	7'-1"		140		06	SITE BUILT	
06	LIVING ROOM	FIXED	20'-0"	3'-0"	10'-0"	20'-1"	3'-1"		60		05	SITE BUILT	
07	LIVING ROOM	FIXED	13'-6"	5'-6"	7'-0"	13'-7"	5'-7"		74		08	SITE BUILT	
08	LIVING ROOM	FIXED	13'-6"	3'-0"	10'-0"	13'-7"	10'-1"		41		07	SITE BUILT	
09	ENTRY	FIXED	1'-6"	7'-0"	7'-0"	1'-7"	7'-1"		11		D1	MOD A	
10	MUDROOM	FIXED	5'-6"	1'-6"	7'-6"	5'-7"	1'-7"		8		11	MOD B	
11	MUDROOM	FIXED	2'-6"	1'-6"	7'-6"	2'-7"	1'-7"		4		10	MOD B	
12	JR BEDROOM SUITE 1	CASEMENT	3'-6"	4'-6"	8'-0"	3'-6 1/2"	4'-6 1/2"		16			MOD A	
13	BATH 1	FIXED	3'-6"	4'-6"	8'-0"	3'-7"	4'-7"		16			MOD A	
14	BATH 1	FIXED	3'-6"	4'-6"	8'-0"	3'-7"	4'-7"		16			MOD A	
15	KITCHEN	FIXED	2'-8"	1'-11"	8'-11"	2'-9"	2'-0"		5		D4	MOD A	
SECOND FLOOR													
16	DINING ROOM	FIXED	6'-0"	6'-0"	8'-0"	6'-1"	6'-1"		36			SITE BUILT	
17	DINING ROOM	FIXED	9'-9"	6'-0"	8'-0"	9'-10"	6'-1"		59			SITE BUILT	
18	LIVING ROOM	FIXED	20'-0"	7'-0"	7'-6"	20'-1"	7'-1"		140		19	SITE BUILT	
19	LIVING ROOM	FIXED	20'-0"	4'-0"	11'-6"	20'-1"	4'-1"		80		18	SITE BUILT	
20	LIVING ROOM	FIXED	13'-6"	7'-0"	7'-6"	13'-7"	7'-7"		95		21	SITE BUILT	
21	LIVING ROOM	FIXED	13'-6"	4'-0"	11'-6"	13'-7"	11'-7"		54		20	SITE BUILT	
22	BED SUITE 2	CASEMENT	5'-4"	5'-0"	8'-0"	5'-4 1/2"	5'-0 1/2"	Yes	27			MOD C	
23	BED SUITE 2	FIXED	5'-0"	2'-0"	7'-6"	5'-1"	2'-1"		10			MOD C	
24	BUNK ROOM	FIXED	5'-0"	2'-0"	7'-6"	5'-1"	2'-1"		10			MOD D	
25	BUNK ROOM	FIXED	5'-0"	2'-0"	7'-6"	5'-1"	2'-1"		10			MOD D	
26	BUNK ROOM	CASEMENT	4'-0"	4'-0"	7'-6"	4'-0 1/2"	4'-0 1/2"	Yes	16			MOD D	
27	LAUNDRY	CASEMENT	2'-0"	4'-0"	7'-6"	2'-0 1/2"	4'-0 1/2"		8			MOD D	
28	BATH 4	FIXED	4'-6"	4'-0"	7'-6"	4'-7"	7'-7"		18			MOD D	
29	BED SUITE 3	CASEMENT	4'-0"	4'-0"	7'-6"	4'-0 1/2"	4'-0 1/2"	Yes	16			MOD D	
30	PRIMARY BATH	FIXED	2'-6"	4'-0"	7'-6"	2'-7"	4'-1"		10			MOD D	
31	PRIMARY BATH	FIXED	7'-0"	4'-0"	7'-6"	7'-1"	4'-1"		28			MOD D	
32	PRIMARY BATH	CASEMENT	2'-6"	4'-0"	7'-6"	2'-6 1/2"	4'-0 1/2"		10			MOD D	
33	PRIMARY CLOSET	FIXED	2'-0"	5'-6"	8'-0"	2'-1"	5'-7"		11			MOD D	
34	PRIMARY BEDROOM	CASEMENT	2'-6"	5'-6"	8'-0"	2'-6 1/2"	5'-6 1/2"		14			MOD D	
35	PRIMARY BEDROOM	CASEMENT	2'-6"	5'-6"	8'-0"	2'-6 1/2"	5'-6 1/2"		14			MOD D	
36	OFFICE	FIXED	1'-6"	6'-0"	8'-0"	1'-7"	6'-1"		9			MOD C	
ROOF													
SK1	STAIR	FIXED	2'-11 1/8"	4'-3 1/8"		2'-6 1/2"	3'-10 1/2"		12			MOD C	
SK2	OFFICE	FIXED	4'-3 1/8"	4'-3 1/8"		3'-10 1/2"	3'-10 1/2"		18			MOD D	
TOTAL NUMBER OF WINDOWS: 38			265' - 11 1/4" 165' - 11 1/4"		267' - 10" 186' - 4"		1233						



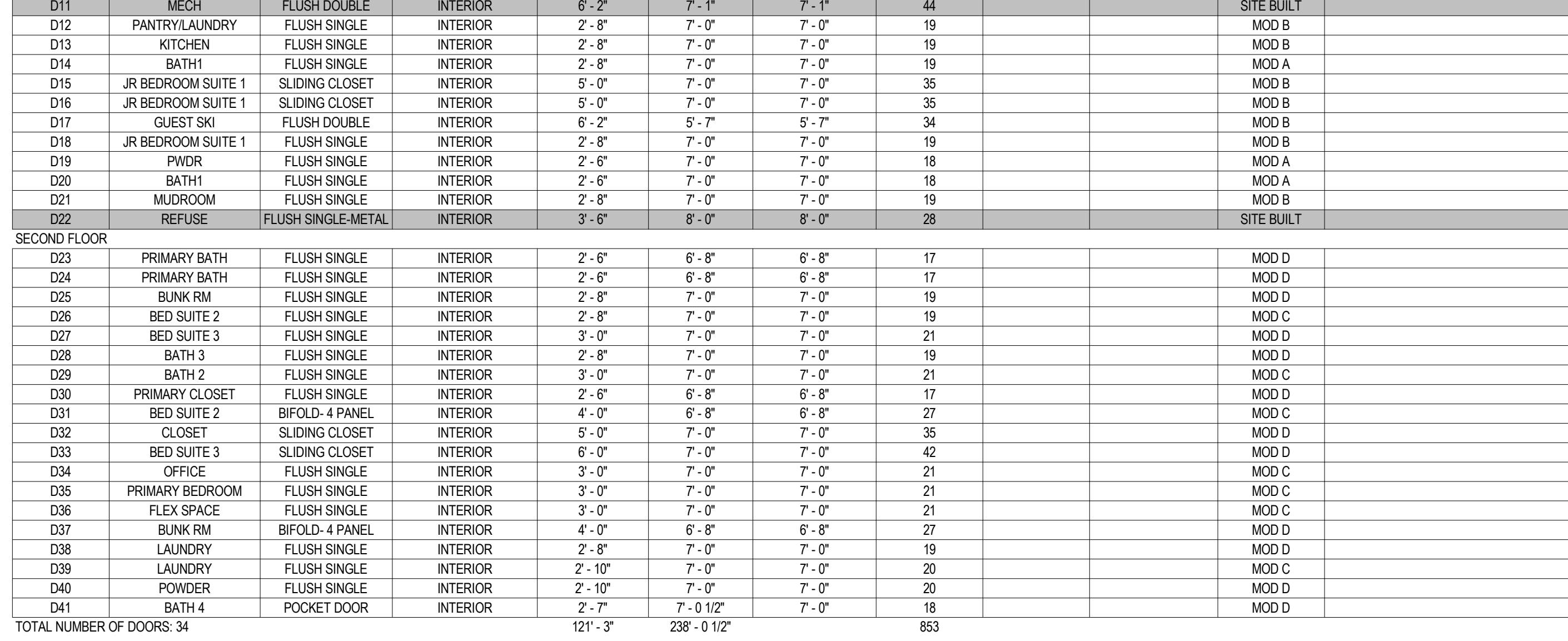
WINDOW NOTES:
 1. PROVIDE 3 WAY DRYWALL WRAP WITH WOOD STILL, SPECIES TBD
 2. TRIM AND MULLIONS TO BE BLACK
 3. PROVIDE SCREENS AT ALL OPERABLE WINDOWS

WINDOW TYPES

SCALE: 1/4" = 1'-0"

EXTERIOR DOOR SCHEDULE												
MARK	LOCATION	DOOR TYPE	DOOR FUNCTION	WIDTH	HEIGHT	HEAD HEIGHT	AREA	EGRESS	MULLED WITH	SCOPE	COMMENTS	
FIRST FLOOR												
D1	ENTRY	DOUBLE GLASS	EXTERIOR	5'-6"	7'-0"	7'-0"	39		09	MOD A	MOD A	
D2	MUDROOM	FLUSH SINGLE	EXTERIOR	2'-8"	7'-0"	7'-0"	19			MOD B	MOD B	
D3	GARAGE	FLUSH PANEL	EXTERIOR	16'-0"	8'-0"	8'-0"	128			SITE BUILT	SITE BUILT	
D4	KITCHEN	FLUSH SINGLE	EXTERIOR	2'-8"	7'-1"	7'-1"	19		15	MOD A	MOD A	
D5	JR BEDROOM SUITE 1	DOUBLE GLASS	EXTERIOR	6'-0"	8'-0"	8'-0"	48	Yes		MOD B		
D6	REFUSE	FLUSH SINGLE-METAL	EXTERIOR	3'-6"	8'-0"	8'-0"	28			SITE BUILT		
SECOND FLOOR												
D7	PRIMARY BED RM	SLIDING-GLASS	EXTERIOR	12'-7"	8'-0 1/2"	8'-0 1/2"	101	Yes		MOD C		
TOTAL NUMBER OF DOORS: 7				48' - 11"		53' - 1 1/2"		381				

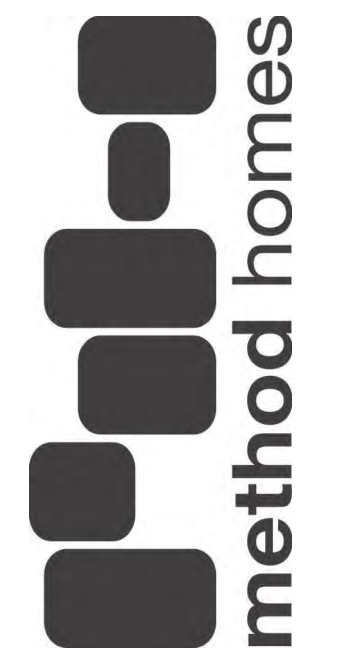
INTERIOR DOOR SCHEDULE												
MARK	LOCATION	DOOR TYPE	DOOR FUNCTION	WIDTH	HEIGHT	HEAD HEIGHT	AREA	EGRESS	MULLED WITH	SCOPE	COMMENTS	
FIRST FLOOR												
D8	MUDROOM	FLUSH SINGLE	INTERIOR	2'-8"	7'-0"	7'-0"	19			MOD B		
D9	STORAGE	BIFOLD-4 PANEL	INTERIOR	7'-0"	8'-0"	8'-0"	56			SITE BUILT		
D10	STORAGE	BIFOLD-4 PANEL	INTERIOR	7'-0"	8'-0"	8'-0"	56			SITE BUILT		
D11	MECH	FLUSH DOUBLE	INTERIOR	6'-2"	7'-1"	7'-1"	44			SITE BUILT		
D12	PANTRY/LAUNDRY	FLUSH SINGLE	INTERIOR	2'-8"	7'-0"	7'-0"	19			MOD B		
D13	KITCHEN	FLUSH SINGLE	INTERIOR	2'-8"	7'-0"	7'-0"	19			MOD B		
D14	BATH 1	FLUSH SINGLE	INTERIOR	2'-8"	7'-0"	7'-0"	19			MOD A		
D15	JR BEDROOM SUITE 1	SLIDING CLOSET	INTERIOR	5'-0"	7'-0"	7'-0"	35			MOD B		
D16	JR BEDROOM SUITE 1	SLIDING CLOSET	INTERIOR	5'-0"	7'-0"	7'-0"	35			MOD B		
D17	GUEST SKI	FLUSH DOUBLE	INTERIOR	6'-2"	5'-7"	5'-7"	34			MOD B		
D18	JR BEDROOM SUITE 1	FLUSH SINGLE	INTERIOR	2'-8"	7'-0"	7'-0"	19			MOD B		
D19	PWDR	FLUSH SINGLE	INTERIOR	2'-6"	7'-0"	7'-0"	18			MOD A		
D20	BATH 1	FLUSH SINGLE	INTERIOR	2'-6"	7'-0"	7'-0"	18			MOD A		
D21	MUDROOM	FLUSH SINGLE	INTERIOR	2'-8"	7'-0"	7'-0"	19			MOD B		
D22	REFUSE	FLUSH SINGLE-METAL	INTERIOR	3'-6"	8'-0"	8'-0"	28			SITE BUILT		
SECOND FLOOR												
D23	PRIMARY BATH	FLUSH SINGLE	INTERIOR	2'-6"	6'-8"	6'-8"	17			MOD D		
D24	PRIMARY BATH	FLUSH SINGLE	INTERIOR	2'-6"	6'-8"	6'-8"	17			MOD D		
D25	BUNK RM	FLUSH SINGLE	INTERIOR	2'-8"	7'-0"	7'-0"	19			MOD D		
D26	BED SUITE 2	FLUSH SINGLE	INTERIOR	2'-8"	7'-0"	7'-0"	19			MOD C		
D27	BED SUITE 3	FLUSH SINGLE	INTERIOR	3'-0"	7'-0"	7'-0"	21			MOD D		
D28	BATH 3	FLUSH SINGLE	INTERIOR	2'-8"	7'-0"	7'-0"	19			MOD D		
D29	BATH 2	FLUSH SINGLE	INTERIOR	3'-0"	7'-0"	7'-0"	21			MOD C		
D30	PRIMARY CLOSET	FLUSH SINGLE	INTERIOR	2'-6"	6'-8"	6'-8"	17			MOD D		
D31	BED SUITE 2	BIFOLD-4 PANEL	INTERIOR	4'-0"	6'-8"	6'-8"	27			MOD C		
D32	CLOSET	SLIDING CLOSET	INTERIOR	5'-0"	7'-0"	7'-0"	35			MOD D		
D33	BED SUITE 3	SLIDING CLOSET	INTERIOR	6'-0"	7'-0"	7'-0"	42			MOD D		
D34	OFFICE	FLUSH SINGLE	INTERIOR	3'-0"	7'-0"	7'-0"	21			MOD C		
D35	PRIMARY BEDROOM	FLUSH SINGLE	INTERIOR	3'-0"	7'-0"	7'-0"	21			MOD C		
D36	FLEX SPACE	FLUSH SINGLE	INTERIOR	3'-0"	7'-0"	7'-0"	21			MOD C		
D37	BUNK RM	BIFOLD-4 PANEL	INTERIOR	4'-0"	6'-8"	6'-8"	27			MOD D		
D38	LAUNDRY	FLUSH SINGLE	INTERIOR	2'-8"	7'-0"	7'-0"	19			MOD D		
D39	LAUNDRY	FLUSH SINGLE	INTERIOR	2'-10"	7'-0"	7'-0"	20			MOD C		
D40	POWDER	FLUSH SINGLE	INTERIOR	2'-10"	7'-0"	7'-0"	20			MOD D		
D41	BATH 4	POCKET DOOR	INTERIOR	2'-7"	7'-0 1/2"	7'-0"	18			MOD D		
TOTAL NUMBER OF DOORS: 34				121' - 3"		238' - 0 1/2"		853				



DOOR NOTES:
 1. ALL INTERIOR DOORS TO BE FLUSH PAINT GRADE DOORS
 2. EXTERIOR DOOR TRIM AND MULLIONS TO BE BLACK
 3. EXTERIOR DOOR TO HAVE 0.28 U-VAULE MIN
 4. PROVIDE SCREENS AT ALL SLIDING DOOR.

DOOR TYPES

SCALE: 1/4" = 1'-0"



METHOD HOMES
 95 YESLER WAY
 SUITE 300
 SEATTLE, WA 98104
 T. 206.789.5553

ALPER - WILLIAMS RESIDENCE
 142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

DRB SUBMITTAL

No.	Description	Date

DOOR/WINDOW SCHEDULE - MAIN HOUSE

Client: ALPER - WILLIAMS
 Date: 02.03.2023

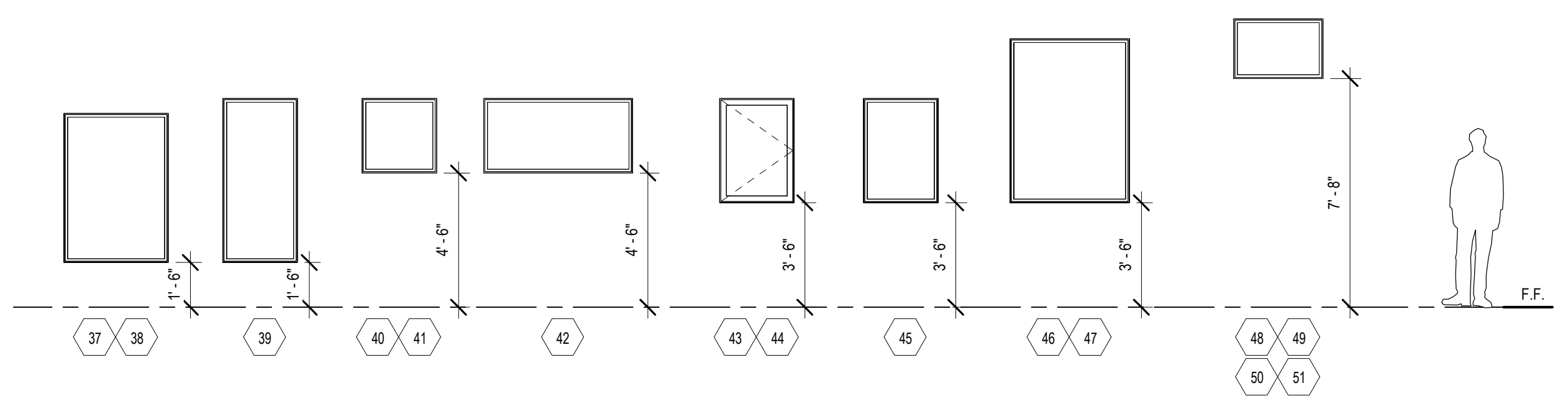
A900

Scale: 1/4" = 1'-0"

WINDOW SCHEDULE_ADU														
MARK	LOCATION	WINDOW TYPE	DIMENSION					EGRESS	AREA	U-VALUE	MULLED WITH	SCOPE	COMMENTS	
			WIDTH	HEIGHT	HEAD HEIGHT	ROUGH WIDTH	ROUGH HEIGHT							
ADU FIRST FLOOR														
37	LIVING ROOM	FIXED	3'-0"	5'-6"	7'-0"	3'-1"	5'-7"		17			MOD F		
38	LIVING ROOM	FIXED	3'-0"	5'-6"	7'-0"	3'-1"	5'-7"		17			MOD F		
39	BATH 3	FIXED	2'-6"	5'-6"	7'-0"	2'-7"	5'-7"		14			MOD F		
40	BED 3	FIXED	2'-6"	2'-6"	7'-0"	2'-7"	2'-7"		6			MOD F		
41	BED 3	FIXED	2'-6"	2'-6"	7'-0"	2'-7"	2'-7"		6			MOD F		
42	BED 4	FIXED	5'-0"	2'-6"	7'-0"	5'-1"	2'-7"		13			MOD E		
43	BED 4	CASEMENT	2'-6"	3'-6"	7'-0"	2'-6 1/2"	3'-6 1/2"	Yes	9			MOD E		
44	BED 4	CASEMENT	2'-6"	3'-6"	7'-0"	2'-6 1/2"	3'-6 1/2"	Yes	9			MOD E		
45	BATH 4	FIXED	2'-6"	3'-6"	7'-0"	2'-7"	3'-7"		9			MOD E		
46	KITCHEN	FIXED	4'-0"	5'-6"	9'-0"	4'-1"	5'-7"		22	47		MOD E		
47	KITCHEN	FIXED	4'-0"	5'-6"	9'-0"	4'-1"	5'-7"		22	46		MOD E		
48	LIVING ROOM	FIXED	3'-0"	2'-0"	9'-8"	3'-1"	2'-1"		6	48/50/51		MOD F		
49	LIVING ROOM	FIXED	3'-0"	2'-0"	9'-8"	3'-1"	2'-1"		6	48/50/51		MOD F		
50	LIVING ROOM	FIXED	3'-0"	2'-0"	9'-8"	3'-1"	2'-1"		6	48/49/51		MOD F		
51	LIVING ROOM	FIXED	3'-0"	2'-0"	9'-8"	3'-1"	2'-1"		6	4/49/50		MOD F		
TOTAL NUMBER OF WINDOWS: 15			46'-0"	53'-6"	9'-8"	47'-2"	54'-8"		166					

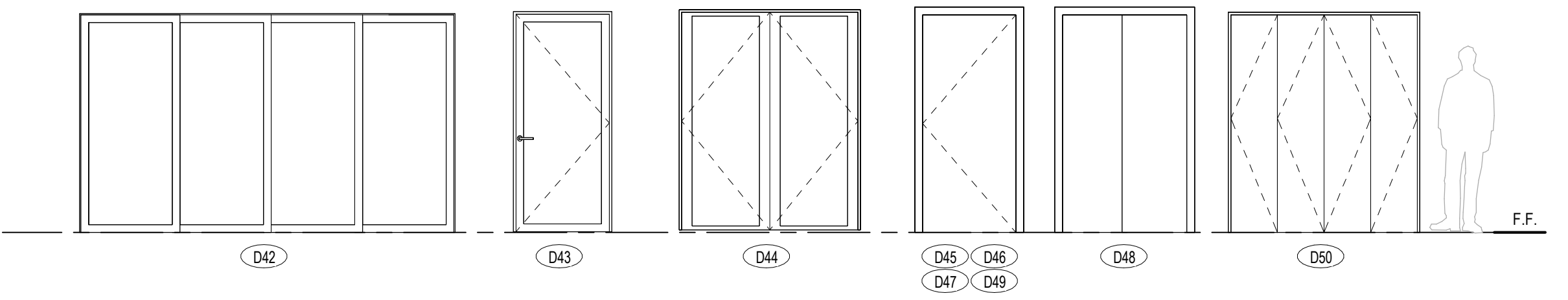
EXTERIOR DOOR SCHEDULE_ADU												
MARK	LOCATION	DOOR TYPE	DOOR FUNCTION	WIDTH	HEIGHT	HEAD HEIGHT	AREA	EGRESS	MULLED WITH	SCOPE	COMMENTS	
ADU FIRST FLOOR												
D42	LIVING RM	SLIDING GLASS- XXXX	EXTERIOR	12'-1"	7'-0 1/2"	7'-0 1/2"	85				MOD F	
D43	KITCHEN	FLUSH SINGLE-GLASS	EXTERIOR	3'-2"	7'-1"	7'-1"	22				MOD E	
D44	BED 3	DOUBLE GLASS	EXTERIOR	5'-8"	7'-0"	7'-0"	40	Yes			MOD F	
TOTAL NUMBER OF DOORS: 3				20'-11"	21'-1 1/2"		147					

INTERIOR DOOR SCHEDULE_ADU												
MARK	LOCATION	DOOR TYPE	DOOR FUNCTION	WIDTH	HEIGHT	HEAD HEIGHT	AREA	EGRESS	MULLED WITH	SCOPE	COMMENTS	
ADU FIRST FLOOR												
D45	BED 3	FLUSH SINGLE	INTERIOR	3'-0"	7'-0"	7'-0"	21				MOD F	
D46	BATH 4	FLUSH SINGLE	INTERIOR	3'-0"	7'-0"	7'-0"	21				MOD F	
D47	BED 4	FLUSH SINGLE	INTERIOR	3'-0"	7'-0"	7'-0"	21				MOD E	
D48	BED 3	SLIDING CLOSET	INTERIOR	4'-0"	7'-0"	7'-0"	28				MOD F	
D49	BATH 3	FLUSH SINGLE	INTERIOR	3'-0"	7'-0"	7'-0"	21				MOD F	
D50	CLOSET	BIFOLD- 4 PANEL	INTERIOR	6'-0"	7'-0"	7'-0"	42				MOD E	
TOTAL NUMBER OF DOORS: 6				22'-0"	42'-0"		154					



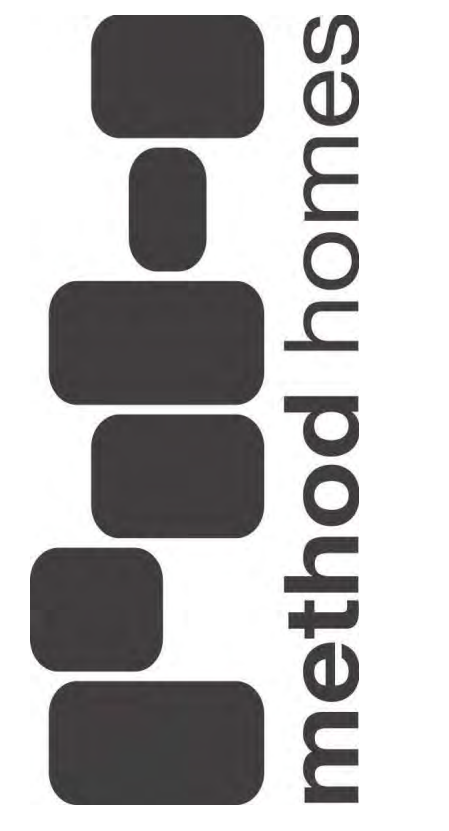
WINDOW TYPES - ADU
SCALE: 1/4" = 1'-0"

- WINDOW NOTES:**
1. PROVIDE 3 WAY DRYWALL WRAP WITH WOOD STILL, SPECIES TBD
 2. TRIM AND MULLIONS TO BE BLACK
 3. PROVIDE SCREENS AT ALL OPERABLE WINDOWS



DOOR TYPES - ADU
SCALE: 1/4" = 1'-0"

- DOOR NOTES:**
1. ALL INTERIOR DOORS TO BE FLUSH PAINT GRADE DOORS AND TO BE 8' TALL
 2. EXTERIOR DOOR TRIM AND MULLIONS TO BE BLACK
 3. EXTERIOR DOOR TO HAVE 0.28 U-VALUE MIN
 4. PROVIDE SCREENS AT ALL SLIDING DOOR.



METHOD HOMES
95 YESLER WAY
SUITE 300
SEATTLE, WA 98104
T. 206.789.5553

NOT FOR CONSTRUCTION

ALPER - WILLIAMS RESIDENCE
142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

DRB SUBMITTAL

No.	Description	Date

DOOR/WINDOW SCHEDULES - ADU

Client: ALPER - WILLIAMS
Date: 02.03.2023

A901



EXTERIOR LIGHTING LEGEND

	LIGHTING TYPE	# OF FIXTURES	COLOR TEMP	SHIELDED	FINISH
E1	DOWNLIT WALL SCONCE	13 (27 IN PREVIOUS SUBMITTAL)	3000K	YES	BLACK

**E1 : WAC lighting:
dweLED Caliber LED -
One Way Outdoor Wall Sconce**



EXTERIOR RATED; WEATHER RESISTANT POWDER COATED FINISH

ONEWAY DOWNLIT

DARK SKY COMPLIANT

LAMP TYPE: LED BUILT IN
TOTAL LUMENS: 560
TOTAL WATTS: 11
COLOR TEMP: 3000 (SOFT WHITE)

One-Way Light

Lamp Type	LED Built-in	Average Lifespan (Hours)	72,000
Total Lumens	560	CRI	90
Total Watts	11.00	Equivalent Halogen, CFL or LED Bulb Can Be Used	No
Volts	120 /277 Volt		
Color Temp	3000 (Soft White)		

Dimensions:
One-Way Light Option Fixture: Width 3", Height 10", Depth 4"
One-Way Light Option Wall Plate: Width 4.5", Height 5.5", Depth 0.5"

DRB SUBMITTAL

No.	Description	Date

1ST FLOOR EXTERIOR LIGHTING LAYOUT

Client: ALPER - WILLIAMS
Date: 02.03.2023

E102

Scale: As indicated

H

1 FIRST FLOOR LIGHTING PLAN
SCALE: 1/4" = 1'-0"

EXTERIOR LIGHTING LEGEND

	LIGHTING TYPE	# OF FIXTURES	COLOR TEMP	SHIELDED	FINISH
E1	DOWNLIT WALL SCONCE	13 (27 IN PREVIOUS SUBMITTAL)	3000K	YES	BLACK

E1 : dweLED Caliber LED Outdoor Wall Sconce

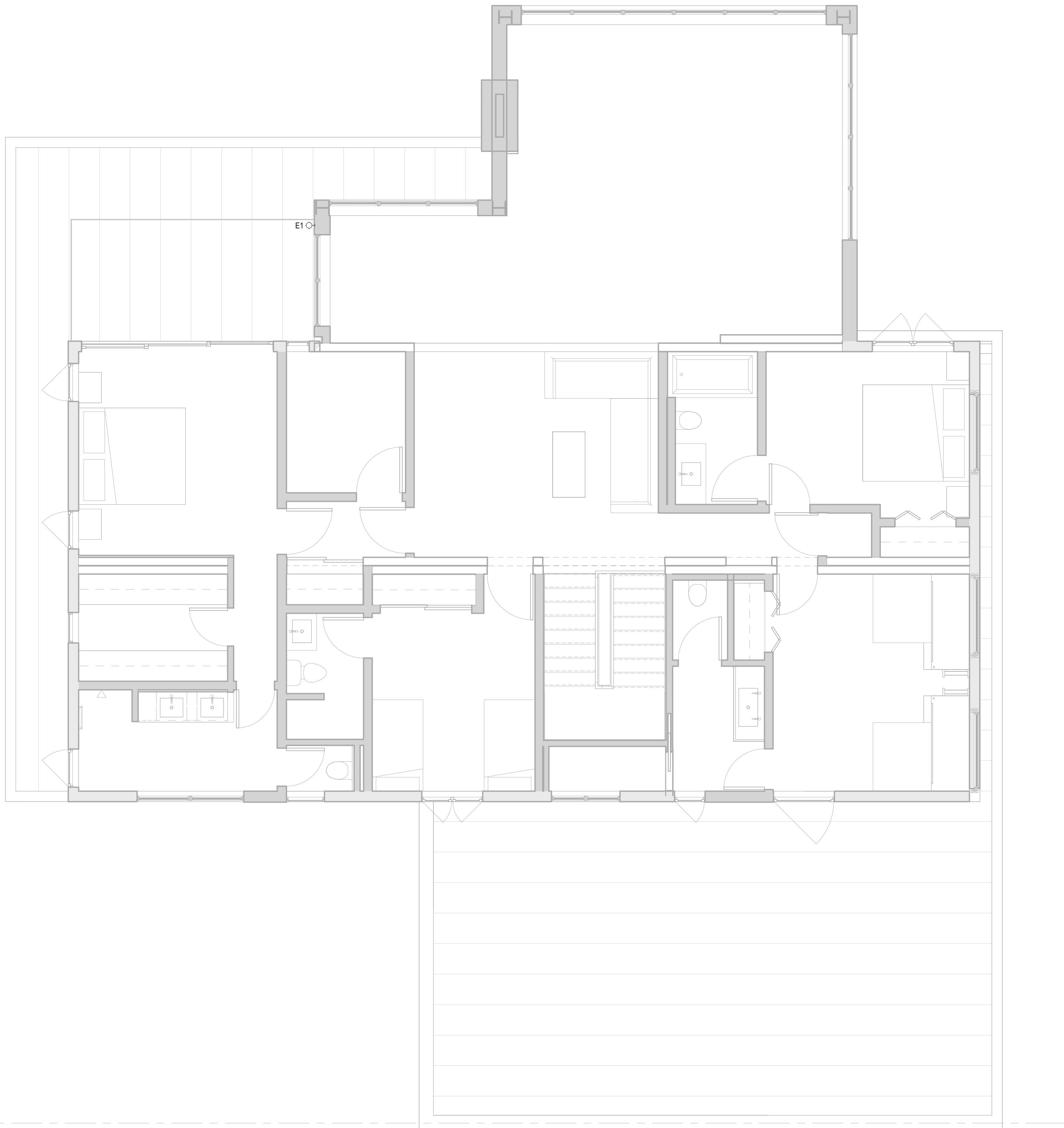


EXTERIOR RATED; WEATHER RESISTANT POWDER COATED FINISH

ONEWAY DOWNLIT

DARK SKY COMPLIANT

LAMP TYPE: LED BUILT IN
TOTAL LUMENS: 560
TOTAL WATTS: 11
COLOR TEMP: 3000 (SOFT WHITE)



H

1 SECOND FLOOR LIGHTING PLAN
SCALE: 1/4" = 1'-0"

DRB SUBMITTAL

No.	Description	Date

2ND FLOOR EXTERIOR LIGHTING PLAN

Client: ALPER - WILLIAMS
Date: 02.03.2023

E103

Scale: As indicated



TO: Mountain Village Design Review Board
FROM: Design Workshop on behalf of the Town of Mountain Village
FOR: Design Review Board Public Hearing; March 30, 2023
DATE: March 20, 2023
RE: Staff Memo – Final Architecture Review (FAR) Lot 311, TBD Benchmark Drive, pursuant to CDC Section 17.4.11

APPLICATION OVERVIEW: New Single-Family Home on Lot 311

PROJECT GEOGRAPHY

Legal Description: LOT 311, TELLURIDE MOUNTAIN VILLAGE, FILING 10, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1988 IN PLAT BOOK 1 AT PAGE 862, COUNTY OF SAN MIGUEL, STATE OF COLORADO

Address: TBD Benchmark Drive

Applicant/Agent: Justin Kilbane, The JK Companies

Owner: The Benchmark 311 LLC

Zoning: Single-Family

Existing Use: Vacant

Proposed Use: Single-Family

Lot Size: .67

Adjacent Land Uses:

- **North:** Passive Open Space
- **East:** Single-Family
- **West:** Single-Family
- **South:** Vacant

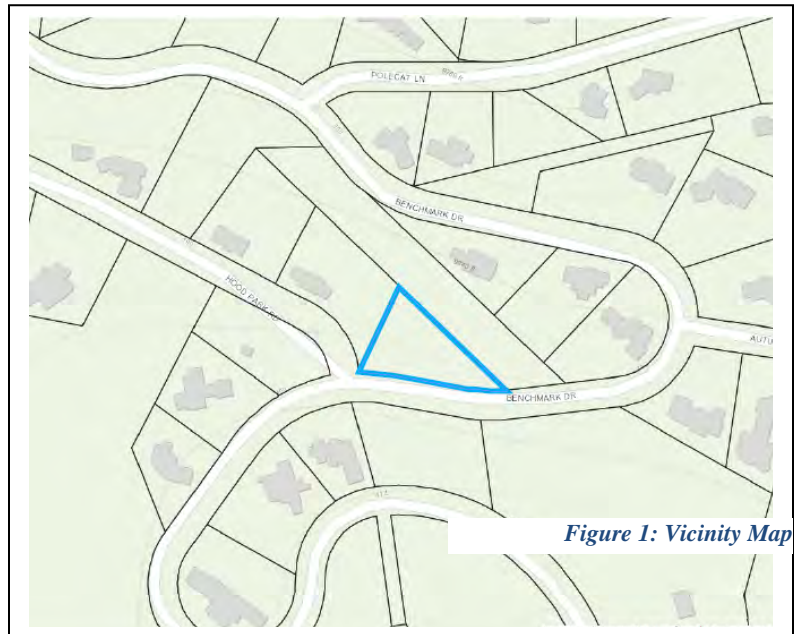


Figure 1: Vicinity Map

ATTACHMENTS

- Exhibit A: Architectural Plan Set
- Exhibit B: Staff/Public Comments

Case Summary: Justin Kilbane of The JK Companies is requesting Design Review Board (DRB) approval of a Final Architecture Review (FAR) application for a new single-family home on Lot 311, TBD Benchmark Drive.

The DRB unanimously approved the initial application at the January 5, 2023 regular DRB meeting, with specific conditions of approval. The sections below outline these conditions and how the applicant has revised their materials.

The proposed structure is two stories and utilizes a shed roof form. The lot has steep topography that declines from Benchmark Drive on the southern side of the lot down to the north. The lot is approximately .67 acres and is zoned single-family. The overall square footage of the home is approximately 7,990 livable square feet and provides four interior parking spaces within the proposed garage and two exterior parking spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized text.***

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	35' (shed) Maximum	35'
Avg. Building Height	30' (shed) Maximum	27.1'
Maximum Lot Coverage	40% (11,550.9 sq ft)	33% (9,714.1 sq ft)
General Easement Setbacks	No encroachment	GE Encroachment
Roof Pitch		
Primary		7:12
Secondary		3:12
Exterior Material*		
Stone	35% minimum	27.5%
Windows/Door Glazing	40% maximum	17.86%
Steel	n/a	15.87%
Wood	n/a	3.05%
Parking	2 interior/2 exterior	4 interior/ 2 exterior

Staff believes the materials calculations might be erroneous, see section 17.5.6 for further discussion.

Design Variation:

- 1) *Exterior materials – under the required 35% stone cladding*

Design Review Board Specific Approvals:

- 1) *Materials – metal fascia*
- 2) *Driveway Standards - grade*

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.11 and 17.3.12: Building Height and Building Height Limits

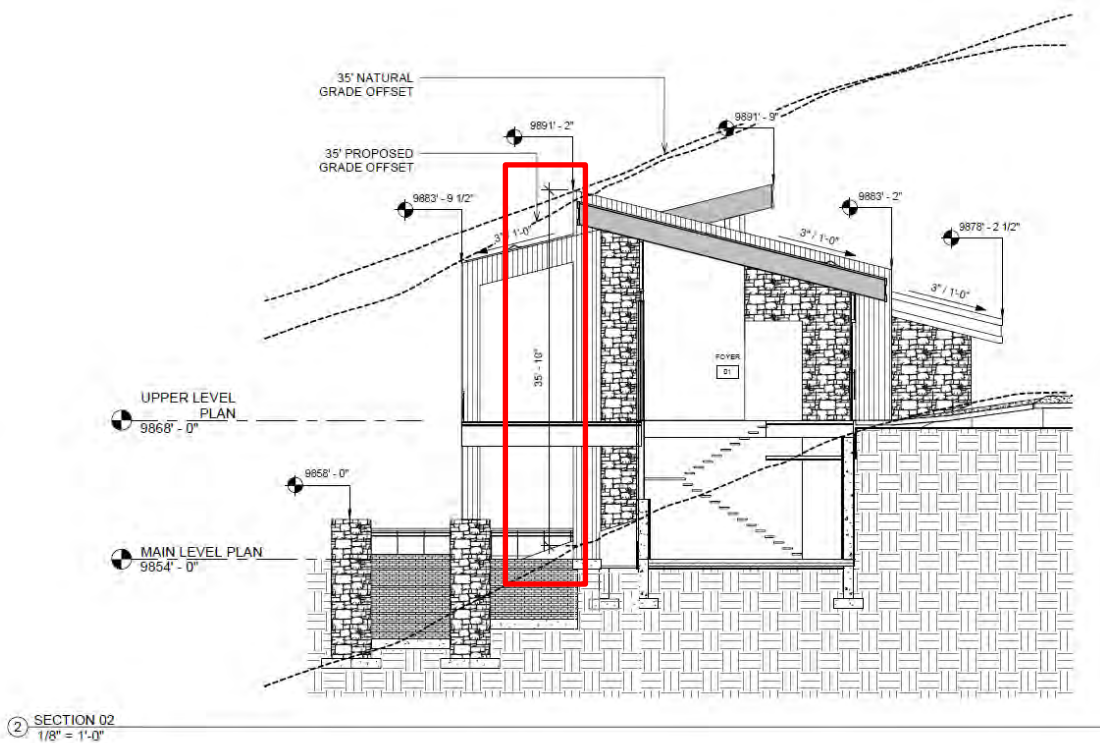
Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates shed roof forms. Homes with a primary shed roof form are allowed a maximum building height of 35 feet. The average height is an average of measurements from a point halfway

between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: Staff has determined prior to initial review that the primary roof form for this home is a shed and therefore granted a maximum height of 35' and an average height of 30'. According to Sheet A1.2 of Exhibit A, the applicant has calculated a maximum height of 35' and an average height of 27.1'.

Staff notes that the applicant has provided elevations showing the required 35-foot offset from both the proposed and natural grades, but due to the steepness of the slope that varies throughout the proposed building footprint it is difficult to discern if the structure exceeds the allowed maximum. As part of the conditions from the initial review, the applicant was asked to provide a 3D planar view of 35' projected from the natural grade and the proposed grade in comparison to the highest point of the structure to allow staff to determine if any portions of the building exceed the maximum height allowance. This exhibit was provided as part of the final review materials, however it is unclear if the projected grade is existing, proposed, or some combination of the two.

Additionally, the applicant has provided height calculations on sheet A5.1 that show a height of 35' 10" for a section:



*The applicant needs to clarify this height as well as the 3D planar view projection to verify that no portion of the building is more than 35' above **existing OR proposed grade**.*

Assuming the applicant is meeting both height requirements within five (5) feet of the allowable maximum height, per section 17.3.11-C of the CDC a "monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the average building height."

17.3.14: General Easement Setbacks

Lot 311 has a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as driveways, ski access, natural landscaping, utilities, address monuments, and fire mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The applicant revised the application materials to remove any encroachment from grading into the western GE.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The massing steps with the natural topography, in this case a very steep slope. The materials chosen are a combination of stone and steel, which should create an exterior capable of withstanding the high alpine environment. Overall, it appears that the design is visually appealing and would fit within the existing Mountain Village Design Theme.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

Staff: The siting of the structure mimics the natural landscape of the site. Though the lot has an extreme slope throughout, the use of horizontal elements blends the residence into the surrounding hillside. The site slopes down from south to north which the applicant has utilized to place the main level of the house at one story, as to not obstruct the views for the neighbors, and place a second story below grade but following the slope and allowing for a full level to be exposed on the north elevation.

The site does contain an Earthwork Easement on the southeast corner of the lot, which contains an area of steep slope. The applicant is proposing changes to the slope in this area to support the driveway. The changes will require coordination with the Town for approval by public works and/or agreement from the Town to vacate the earthworks easement.

The development does not propose grading, clearing, direct drainage, direct access or other direct impact onto the adjoining lots. The applicant has not indicated the use of snowmelt on their plans. A condition of initial review required the applicant to provide a

snow shed and storage plan for roofs, walkways, and drives prior to final review. No such plans were provided. The applicant shall revise their plans to show these areas prior to building permit.

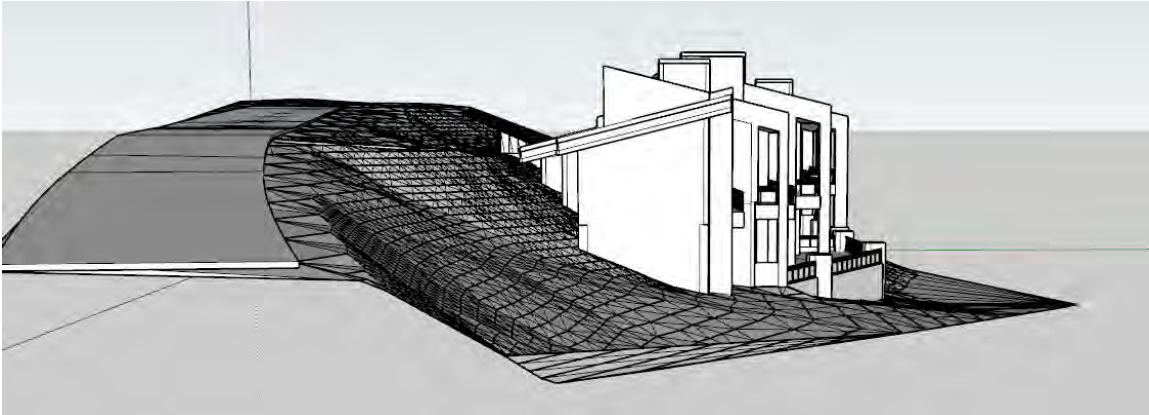


Figure 2: Proposed Structure Slope Relationship

17.5.6: Building Design

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. Roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation is required. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

Staff: Staff comments regarding each of the relevant subsections are below.

Chimneys, Vent and Rooftop Equipment Design:

The applicant has identified that all three proposed fireplaces will have a natural gas fuel source and meet the requirements of the CDC.

Exterior Walls Materials and Color:

The building utilizes Telluride gold drystack stone veneer at the base of the home and at the garage, with fir T&G walnut-stained wood siding. The applicant provided total material calculations on sheet A4.1, but the total calculations do not add up to 100 percent. The applicant also indicates that the stone percentage is below the required 35 percent. Staff feels this calculation is inaccurate and as a condition of approval, is requiring the applicant recalculate the materials percentages. If the minimum or maximum thresholds do not meet the requirements of the CDC, a design variation is required from the DRB.

The DRB approved the use of metal fascia at initial review and was required to provide soffit material details for final review. This information was not provided on the plans. The applicant shall provide this information prior to approval.



Figure 3: Proposed Structure Perspective with Materials

Required Surveys and Inspections:

Since the proposed structure is within five feet or less of the maximum building height, a monumented land survey will need to be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

17.5.7: Grading and Drainage Design

Staff: The applicant has revised their materials to remove all grading in the western GE. As previously discussed, the proposed grading does impede on the Earthwork Easement and creates minor grade changes in the General Easement. Prior to building permit, the applicant shall receive approval from public works for grading in the Earthwork Easement and/or confirmation that the Town will vacate the easement.

17.5.9: Landscaping Regulations

Staff: The applicant provided a landscape plan for final review. The plan proposes the planting of native seed grass as well as the planting of 10 shrubs, 20 Aspens, and 15 Colorado Blue Spruce. The proposed landscaping does not meet the diversity of species requirement of Section 17.5.9 on the CDC. The applicant shall revise the landscape plan to adhere to these requirements prior to building permit.

The applicant is also proposing planting within the Zone 1 Fire Mitigation Zone, which is prohibited per the CDC. The proposed planting location is discussed in more detail in section 17.6.1 of this memo.

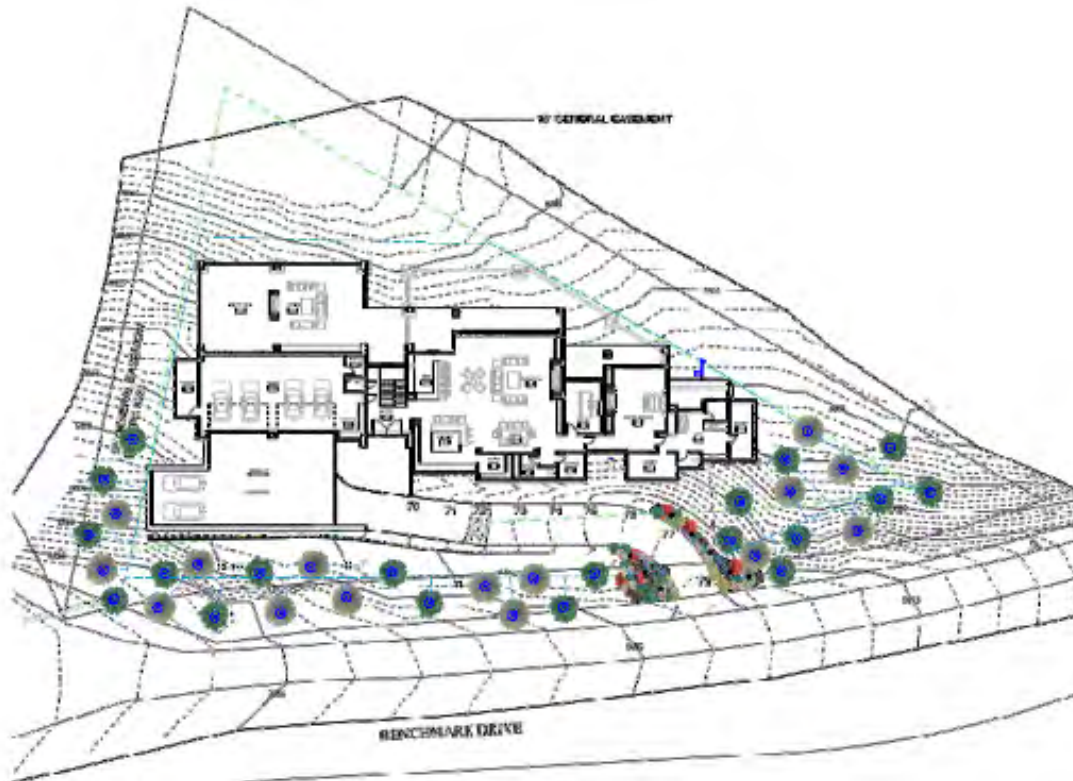


Figure 4: Landscape Plan

17.5.12: Lighting Regulations

Staff: A lighting plan and accompanying photometric studies were included in the application materials. Staff found the lighting plan difficult to discern the location of the fixtures and recommends the applicant revise the plan to provide clear placement locations of each fixture for staff and DRB to review.

The applicant is proposing the use of two exterior lighting fixtures, a pathlight seen in Figure 5 and an Element Entra 3" adjustable LED downlight seen in Figure 6. Staff finds the pathlight in compliance with the CDC. However the location along the driveway seems problematic in that snowplows would easily damage these bollard type fixtures. The Element Entra 3" adjustable LED (though mislabeled in the luminaire schedule as B5) downlight seems to be in compliance however the number of fixtures combined with the location in the soffit would make these fixtures highly visible from below the home lower on Benchmark. The fixture is proposed to be located along the entryway, garage doors, and outdoor balcony spaces. The applicant shall revise their lighting plan to provide an alternate for the bollard fixture along the driveway and shall either revise or significantly reduce the recessed lighting fixture to minimize offsite glare.



Figure 5: Pathlight Fixture



Figure 6: Element Entra 3” adjustable LED downlight

17.5.13: Sign Regulations

Staff: Design details for an address monument were provided in the initial application and are seen on Sheet A-2.2. The address monument is proposed to be steel with 6” tall, downlit stainless-steel numbers. An LED rope light is included under the metal fascia cap. The location of the address monument has not been identified on the application materials, which was added as a condition of approval prior to Final Review. The applicant shall work with staff and the DRB to provide this information prior to building permit.

If the proposed location is within the General Easement, the applicant will need to enter into an Encroachment Agreement with the town as part of a condition of approval

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: The applicant has provided a fire mitigation plan but is not adhering to the requirements of Zone 1 by proposing the inclusion of vegetation along the driveway and the motor court within Zone 1. The applicant is also proposing the planting of vegetation in the earthwork easement, which will require a vacation of the easement from the Town. The applicant indicates Zone 2, hatched in green, but it appears the landscape plan does not adhere to the 10-foot crown-to-crown separation requirement. The applicant shall provide a landscape plan that adheres to these requirements and provide it for review prior to approval.

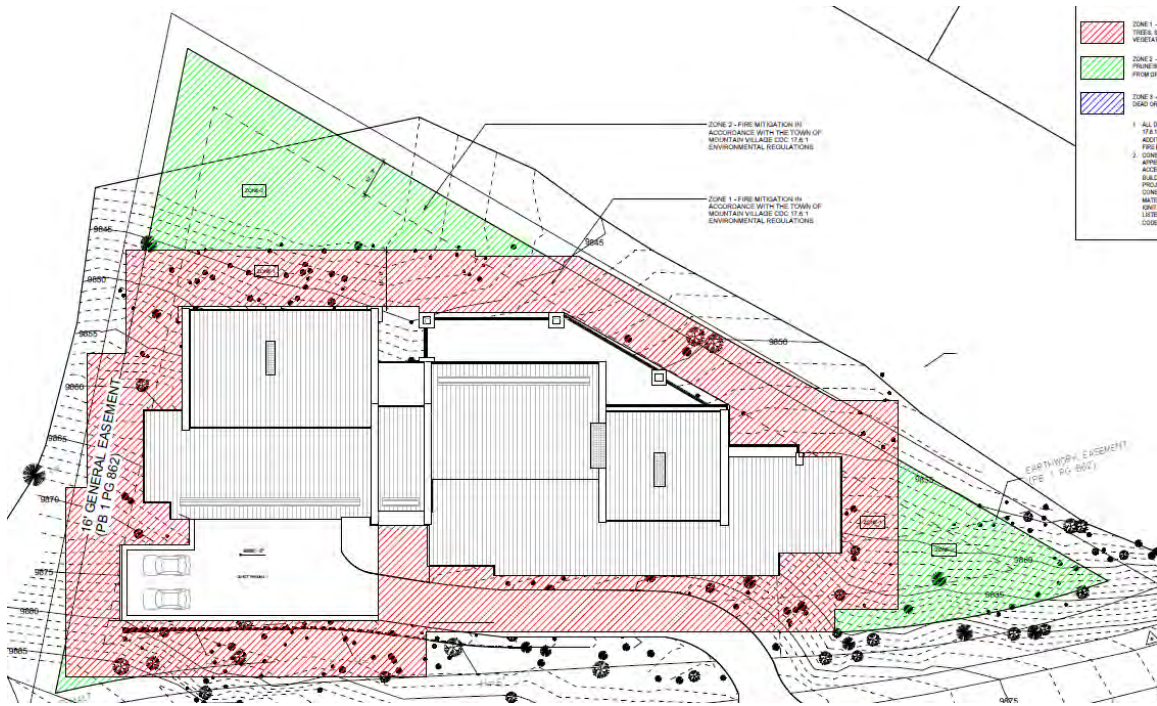


Figure 7: Fire Mitigation Plan

Telluride Fire Protection District: The structure is over 3,600 square feet and shall require a monitored sprinkler system.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has identified that all three proposed fireplaces will have a natural gas fuel source and meet the requirements of the CDC.

Chapter 17.7: BUILDING REGULATIONS

17.7.20: Construction Mitigation

Staff: A construction mitigation plan was provided by the applicant. It indicates a dumpster, and portable toilets. Parking is shown in the driveway, but wouldn't be available until the driveway is built so alternative parking would be necessary for the beginning stages of the project. It is unclear where material storage is planned. Food waste receptacle seems to be missing. No silt fencing, tree protection or construction fencing is indicated. The construction mitigation should be revised to address these issues.

Staff Recommendation: Due to remaining questions around height and materiality as well as remaining concerns that were not addressed from the Initial review, staff recommends a continuance of the final architectural review.

Staff Note: It should be noted that reasons for approval, rejection, or a continuance should be stated in the findings of fact and motion.

Proposed Motion:

I move to continue the Final Architectural Review for a new single-family home located at Lot 311, based on the evidence provided in the staff record of memo dated March 30, 2023, and the findings of this meeting. The applicant shall address the Conditions to receive approval from the DRB.

Conditions:

- 1) *Prior to approval, the applicant shall provide a 3D plan view that depicts 35' from the **natural and existing** grades in relation to the highest portion of the proposed development.*
- 2) *Prior to approval, the applicant shall revise their plans to provide height calculations on the elevations shown on Sheet A4.1 and Sheet 5.1 of Exhibit A.*
- 3) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum and average building height.*
- 4) *Prior to approval, the applicant shall revise the site plan to show a snow shed and storage plan for roofs, walkways, and drives.*
- 5) *Prior to approval, the applicant shall revise the material calculations to provide a total percentage calculation of all exterior wall materials.*
- 6) *Prior to approval, the applicant shall identify the material to be used for the soffit.*
- 7) *Prior to building permit, the applicant shall receive approval from public works for grading in the Earthwork Easement and/or confirmation that the Town will vacate the easement.*
- 8) *Prior to approval, the applicant shall provide a revised lighting plan per the concerns in this memo as well as additional direction provided by DRB at this hearing.*
- 9) *Prior to approval, the applicant shall provide location information for the address monument.*
- 10) *Prior to approval, the applicant shall provide an updated landscape and fire mitigation plans showing compliance with the Fire Mitigation standards.*
- 11) *Prior to approval, the applicant shall provide a construction mitigation plan that is in compliance with the CDC.*
- 12) *Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE and the road right of way.*
- 13) *Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the right of way.*
- 14) *The structure is over 3,600 gross sq ft and shall require a monitored sprinkler system.*
- 15) *The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.*
- 16) *A Knox Box for emergency access is recommended.*
- 17) *Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
- 18) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*
- 19) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
 - a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
 - b. *Wood that is stained in the approved color(s);*
 - c. *Any approved metal exterior material;*
 - d. *Roofing material(s); and*
 - e. *Any other approved exterior materials*

20) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*



PROJECT TEAM:

INTERIOR DESIGNER:
KENDRA KILBANE DESIGN
BOX 2006
CAREFREE AZ, 85377
(480) 231-2427

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TELLURIDE, CO 81435
(970) 729-0683

STRUCTURAL ENGINEER:
PH STRUCTURAL
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dominic@phstructural.com

MECHANICAL ENGINEER:
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LAWRENCE, KS 66044
(970) 239-1949

ELECTRICAL ENGINEER:
BILLY ROWLEY
ROWLEY ENGINEERING
2334 N HUNT DR
MESA, AZ 85203
(480) 313-1220

LIGHTING DESIGNER:
ACOUSTIC DESIGN GROUP
16074 N. 78TH WAY SUITE B104
SCOTTSDALE, AZ 85260
(888) 296-0950

LANDSCAPE ARCHITECT:
CF DESIGN
83308 E. PLAZA AVE.
SCOTTSDALE, AZ 85250
(602) 561-3373

GENERAL CONTRACTOR:

THE JK COMPANIES
ARCHITECTURE | DEVELOPMENT | HOMES + LAND
JUSTIN@JK.STUDIO POST BOX 2006 CAREFREE, AZ 85377 ROC 322127 (480)225-7282

AREA CALCULATIONS:

THE SQUARE FOOTAGE IS MEASURED AND CALCULATED TO THE OUTSIDE FACE OF EXTERIOR ENCLOSING WALLS IN ACCORDANCE TO ANSI Z765-2003. THE CALCULATIONS WERE MADE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE FINISHED HOUSE AS BUILT.

LOT LIVABLE AREA:	
UPPER LEVEL	3588 SF
MAIN LEVEL	3734 SF
TOTAL AREA UNDER ROOF	: 7990 SF
LOT DATA:	
LOT SIZE	29,390.5 SF
ALLOWABLE LOT COVERAGE:	11,550.9 SF
ACTUAL LOT COVERAGE	: 9,714.1 SF

LISTING OF CODES-CITY OF SCOTTSDALE
The following codes are effective January 1, 2017
2018 International Building Code
2018 International Residential Code
2018 International Mechanical Code
2018 International Plumbing Code
2018 International Fuel Gas Code
2018 International Energy Conservation Code
2018 International Fire Code
2018 National Electrical Code
AZ with Disabilities Act -Federal ADA (ADAAG)

SHEET INDEX:

A-0.0	CIVIL COVER SHEET
C-1	GRADING AND DRAINAGE PLAN
C-2	GRADING AND DRAINAGE SECTIONS
C-3	
A-1.0	CUT & FILL
A-1.1	SITE PLAN
A-1.2	OVERALL ROOF PLAN
A-1.3	AREA PLAN
A-2.1	FLOOR PLAN
A-2.1A	FLOOR PLAN
A-2.2	FLOOR DETAILS
A-3.1	DIMENSION PLAN
A-3.1A	DIMENSION PLAN
A-4.1	BUILDING ELEVATIONS
A-5.1	SITE SECTIONS
A-5.2	WALL SECTIONS
A-5.3	SECTION DETAILS
A-5.4	SECTION DETAILS
A-5.5	SECTION DETAILS
A-6.1	ROOF ANALYSIS
A-6.2	ROOF PLAN DETAILS
A-6.3	ROOF PLAN DETAILS
A-7.1	OVERALL CEILING PLAN
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A-8.1	WINDOW SCHEDULES
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A-8.3	WINDOW SCHEDULES
A-8.4	WINDOW DETAILS
A-8.5	WINDOW DETAILS
A-9.1	DOOR SCHEDULES
A-9.2	DOOR DETAILS
A-9.3	DOOR DETAILS
A-9.4	DOOR DETAILS
A-9.5	DOOR DETAILS
F-1.1	FLOOR FINISH PLAN
S-1.0	GENERAL STRUCTURE NOTES
S-2.0	FOUNDATION PLAN
S-3.0	LOWER FRAMING PLAN
S-3.1	UPPER FRAMING PLAN
S-4.0	LOWER LEVEL SHEAR WALL PLAN
S-4.1	UPPER LEVEL SHEAR WALL PLAN
S-5.0	TYPICAL DETAILS
S-5.1	TYPICAL DETAILS
S-6.0	FOUNDATION DETAILS
S-6.1	FOUNDATION DETAILS
S-7.0	FRAMING DETAILS
S-7.1	FRAMING DETAILS
M-1	GENERAL NOTES HVAC
M-2	FIRST FLOOR MAIN HVAC PLAN
M-3	FIRST FLOOR GUEST AND CASITA HVAC PLAN
M-4	GARAGE HVAC PLAN
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M-7	DETAILS
P-1	GAS ISOMETRIC
E-1.1	ONE-LINE DIAGRAM & LOAD CALCULATION
E-1.2	PANEL SCHEDULE
E-2	OUTLET PLAN
EL-1	LIGHTING PLAN
EL-2	LIGHTING PLAN
EL-3	LIGHTING PLAN
L-1	LANDSCAPE SITE PLAN
L-2.1	HARDSCAPE PLAN
L-2.2	HARDSCAPE PLAN
L-3.1	LANDSCAPE & REVEG. PLAN
L-4	POOL LAYOUT & DETAILS
L-5	LANDSCAPE DETAILS
L-6	LOW VOLTAGE LIGHTING PLAN
L-7	LOW VOLTAGE FIXTURE DETAILS
NP-1	NATIVE PLANT INVENTORY PLAN

VICINITY MAP:

SITE DATA:

LEGAL DESCRIPTION:
LOT 311 TELLURIDE MOUNTAIN VILLAGE FILING 10 CONT. 661 ACRES

SITE ADDRESS:

TBD

PARCEL NUMBER:

ZONING:

FLOOR PLAN NOTES:

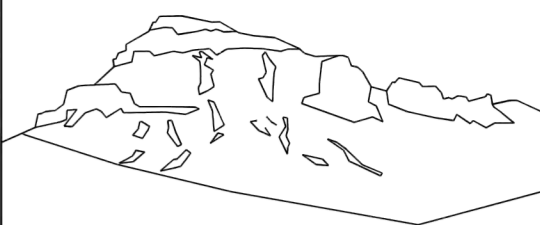
- a) Doors and Windows**
- Provide a 1-3/8" solid wood / solid or honeycomb-core steel / 20-minute fire-rated self-closing doors between residence and garage. (R302.5.1)
 - Provide permanent landing at exterior doors. (R311.3)
 - Doors shall not open directly between a sleeping room and a garage. (R302.5.1)
 - Shower doors shall have safety glazing; hinged shower doors shall open outward. (R308.4.5 & P2708.1)
 - Provide and identify all required safety glazing. (R308)
 - Indicate emergency escape and rescue openings in basements and bedrooms. (R310.1)
 - Show direction of door swing. (R311.3)
 - Show size of each window and type of operation. (R303.1 & 310.2)
 - Site built windows shall comply with section 2404 of the IBC. (R308.5)
 - Glazing maximum U-factor 0.40, Solar Heat Gain Coefficient (SHGC) maximum 0.25 (TN1102.1.2)
 - Opaque doors separating conditioned and unconditioned space-maximum U-factor 0.40. (TN1102.1.2)
 - Skylight - maximum U-factor 0.65, SHGC maximum 0.30. Provide manufacture and ICC-ES number. (TN1102.1.2)
- b) Light and Ventilation**
- Provide required natural light and ventilation for habitable rooms- Light: 8% ventilation: 4%. (R303.1)
 - Provide mechanical exhaust ventilation for bathrooms, water closet rooms, laundry room, and kitchen, ducted direct to outside. Except where functioning as a component of a whole house ventilation system, exhaust fans in bathrooms shall be provided with a delay timer or humidity/condensation control sensor. Exhaust fans shall be switched separately from lighting systems. (R303.3 amended & M1507.2)
 - Provide attic ventilation per (R806.1) unless insulation is applied on the under-side of roof sheathing. (R806.5)
- c) Stairways, handrails, guardrails**
- Show handrail, notes and dimensions. (R311.7.8)
 - Show guardrails where required. (R312.1)
 - Provide a floor or landing at the top and bottom of each stairway. (R311.7.6)
 - Provide code complying stairways. Address tread and riser dimensions per type of stairway. (R311.7)
 - Provide stairway illumination per (R303.7 & R303.8)
 - Stairway maximum 12'-3" vertical rise between floor/landing (R311.7.3)
- d) Fire Places/Gas Appliances**
- Provide manufacture, model number and ICC report or equal for each fireplace. (R1002, R1004 & R1005)
 - Provide a permanently installed approved decorative appliance/gas log set. (R1004.4)
 - Fireplace dampers: Where a listed decorative appliance is installed, the fireplace damper opening shall comply with listed decorative appliance manufacturer's installation instructions. (G2453.1)
 - Decorative shrouds shall not be installed at the termination of chimneys of factory-built fireplaces except where listed and labeled for such use. (R1004.3)
 - Provide outside combustion air for interior fireplaces. (R1006.2)

ENERGY COMPLIANCE:

Compliance with chapter 11 of the 2018 IRC or chapter 4 of the 2018 IECC is required (zone 2). A permanent energy certificate (R.U. & SHGC values) is required at time of final inspection to be posted in the electrical distribution panel.
Building envelope (insulation, R-value, U-factor, SHGC) to comply with section 402, mechanical systems to comply with section 403.
All modifications to the building envelope must comply with the following:
Solar heat gain coefficient = 0.25 maximum
Fenestration u-factor = 0.40 maximum
Fenestration shgc = 0.25 maximum
Insulation at walls = r-19 minimum
Insulation at ceiling = r-38 minimum
Ductwork insulation = r-8 minimum
Minimize air leakage per IECC 402.4

GENERAL NOTES:

- 2018 International Building Code(ord. # 4284, resolution #10597)
2018 International Residential Code(ord. # 4284, resolution #10599)
2018 International Fire Code(ord. # 4283, resolution #10598)
- All products listed by an Evaluation Service Report (ESR) shall be installed per the report and the manufactures written instructions. Product substitutions shall also be listed by an ESR.
 - Provide Fire Sprinkler System per Scottsdale Fire Code (IRC R313 amended)
 - Separate permits required: pools, spas, fences, site walls, retaining walls, and gas storage tanks.
 - Foundation & Footing depth shall be a minimum of 18 inches below grade (or per property soil report), provide a minimum of 3 inch clearance between Rebar and soil. (R403.1 amended)
 - Doors between the garage and residence shall be self-closing minimum 1-3/8" thick solid core or 20 minute fire rated. (R302.5.1)
 - Exterior wall penetrations by pipes, ducts or conduits shall be sealed. (R703.1)
 - Wood sill plates shall be pressure treated or decay resistant. Exterior sill plates shall bear a minimum of 6 inches above finish grade. (R317.1)
 - Gypsum board applied to a ceiling shall be 1/2" when framing members are 16" o.c. or 5/8" when framing members are 24" o.c. or use labeled 1/2" sag-resistant gypsum ceiling board. (Table R702.3.5 (d))
 - Showers and tub-shower combinations shall be provided with individual control valves of the pressure balance or thermostatic mixing valve type. (P2708.4)
 - Shower area walls shall be finished with a smooth, hard non-absorbent surface, such as ceramic tile, to a height of not less than 72 inches above the drain inlet. Cement, fiber-cement or glass mat gypsum backers installed in accordance with manufacturers' recommendations shall be used as backers for wall tile in tub and shower areas and wall panels in shower areas. (R702.4.2)
 - Plumbing fixtures shall comply with the following conservation requirements: Water closets-Tank type 1.28 gal./flush. Shower heads- 2.0 gpm. Sinks- 2.2 gpm. Lavatory-1.5 gpm (Table P2903.2 amended)
 - Storage-tank type water heaters shall be installed with a drain pan and drain line. (P2801.6)
 - A demand-controlled hot water circulation system shall be provided in accordance with amended Sections N1103.5.1.1 and N1103.5.1.2.
 - Provide roof/attic ventilation unless insulation is applied directly to underside of roof sheathing or the dimension is 24 inches or less between the ceiling and bottom of roof sheathing. (R806.1 Amended)
 - The building thermal envelope shall comply with climate zone 2. Energy compliance shall be demonstrated by UA trade-off (REScheck) OR performance (REM/Rate) compliance path OR by the following prescriptive values (Table N1102.1.2):
i. Prescriptive minimum R-values: <Ceiling=R-38> / <Walls=R-13>
ii. Prescriptive maximum Window Fenestration values: <U-Factor=0.40> / <SHGC=0.25>
 - Provide Minimum R-3 insulation on hot water pipes. (N1103.5.3)
 - Supply and return ducts in attics shall be insulated to a minimum R-8. Ducts in other portions of the building shall be insulated to minimum R-6. Ducts and air handlers located completely inside the building thermal envelope are exempt. (N1103.3.3)
 - Registers, diffusers and grilles shall be mechanically fastened to rigid supports or structural members on at least two opposite sides.
 - Exhaust air from bathrooms, kitchens and toilet rooms shall be exhausted directly to the outdoors, not recirculated or discharged indoors. (M1507.2 amended)
 - Exhaust fans in bathrooms with a shower or tub shall be provided with a delay timer or humidity/condensation control sensor. Exhaust fans shall be switched separately from lighting systems. (R303.3)
 - Provide a wall mounted GFCI protected receptacle outlet within 36" of a bathroom or powder room lavatory. (E3901.6)
 - Receptacles serving kitchen countertops installed in bathrooms, garages, unfinished accessory buildings, outdoors and located within 6 feet of sinks shall have GFCI protection for personnel. (E3902)
 - All branch circuits that supply 15- and 20-ampere outlets installed in kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas and similar rooms or areas shall be protected by a combination type arc-fault circuit interrupter (AFCI) installed to provide protection of the branch circuit. (E3902.12)
 - General purpose 15- and 20-ampere receptacles shall be listed tamper-resistant. (E4002.14)
 - Provide Smoke Alarms in new and existing areas of home. (R314)
 - Approved Carbon Monoxide Alarms shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages. (R315)
 - A minimum of 90 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps. (N1104.1 amended)
 - Recessed luminaires installed in the building thermal envelope shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering. (N1102.4.5)
 - Provide illumination with wall switches for stairways when there are 6 or more risers. (R303.7)
 - Receptacle outlets shall be installed so that no point along the floor line in any wall space is more than 6 feet, measured horizontally from an outlet in that space, including any wall space 2 feet or more in width. (E3901.2)
 - Provide a minimum of two 20-amp small appliance branch circuits for the kitchen/dining/breakfast. (E3703.2)
 - Both metal piping systems and grounded metal parts in contact with the circulating water associated with a hydro massage tub shall be bonded together using an insulated, covered, or bare solid copper bonding jumper not smaller than 8 AWG. (E4209)
 - Provide outside combustion air to all indoor fireplaces with air intake located not higher than the firebox. (R1006.1)
 - At least one thermostat shall be provided for each separate heating and cooling system. (N1103.1)
- The following three notes are applicable to New Construction only** (BPI certified professionals are approved for testing air leakage existing buildings, otherwise RESNET professionals are approved for new and existing):
35. The building shall be provided with a whole-house mechanical ventilation system that meets the requirements of Section M1507. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating. (N1103.6)
- The building or dwelling unit shall be tested and verified as having an air leakage rate not exceeding five air changes per hour for detached dwelling units and seven air changes per hour for attached dwelling units. Testing shall be conducted in accordance with ASTM E 779 or ASTM E 1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be conducted by an approved third party (RESNET certified). A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope. (N1102.4.1.2 amended)
- Ducts, air handlers, and filter boxes shall be sealed in accordance with N1103.3.2. Joints and seams shall comply with Section M1601.4.1. Ducts shall be pressure tested to determine leakage by one of the following methods (N1103.3.3):
1. Rough-in test: Total leakage shall be measured with a pressure differential of 0.1 inches w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure if installed at the time of the test. All registers shall be taped or otherwise sealed during the test.
2. Post-construction test: Total leakage shall be measured with a pressure differential of 0.1 inches w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure. Registers shall be taped or otherwise sealed during the test.
Exception: A duct leakage test shall not be required where the ducts and air handlers are located entirely within the building thermal envelope.
A written report of the results shall be signed by the party conducting the test and provided to the code official prior to the Building Final.



Uncompahgre Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
DRB SUBMITTAL 2022-03-21

311 Benchmark Mtn. Village, CO



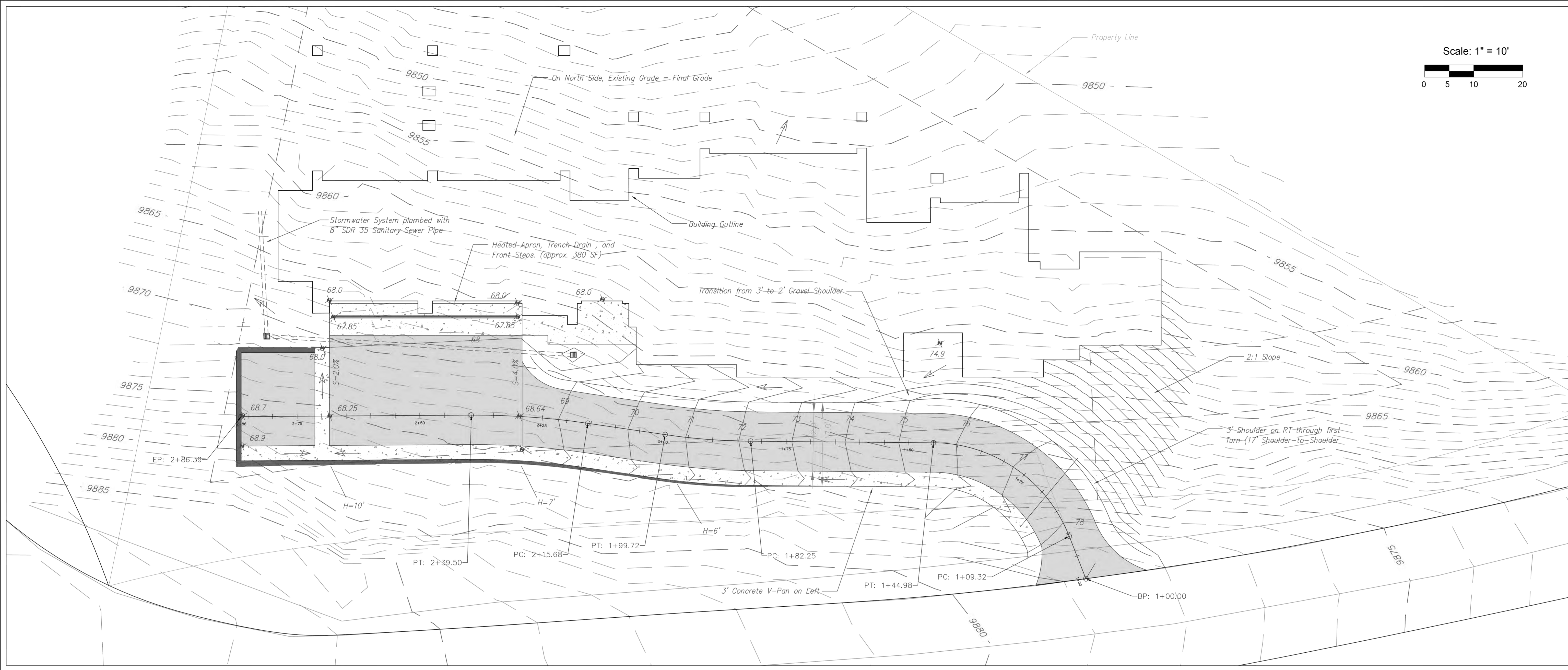
CONTRACTOR TO REVIEW AND COMPARE ALL CHARTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading
with
Driveway Profile

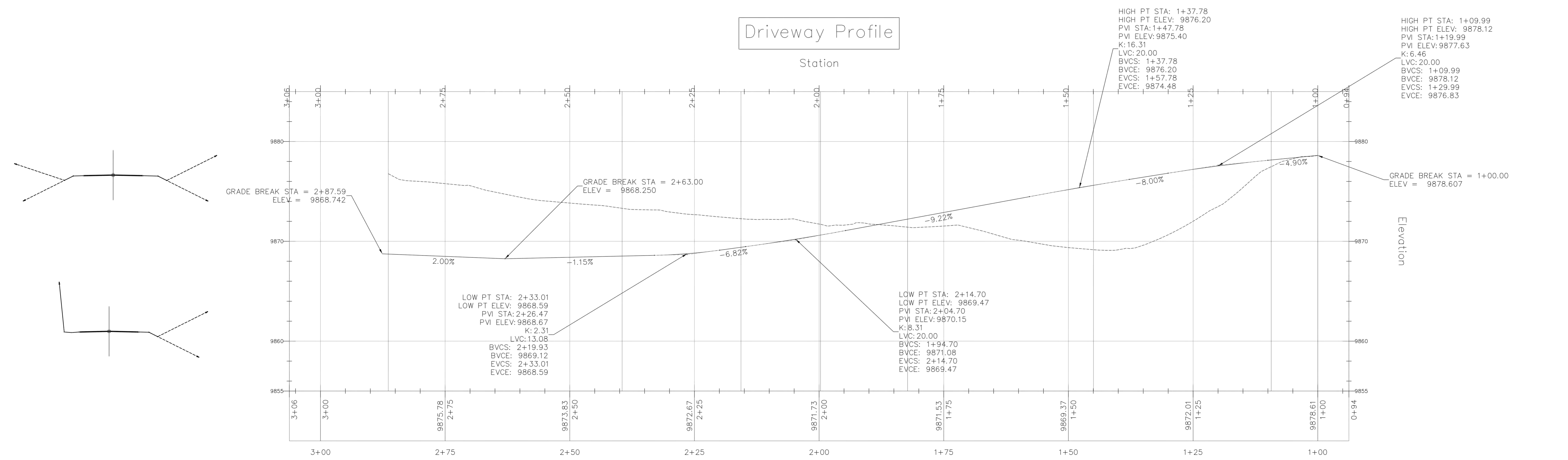
No Trees
Displayed

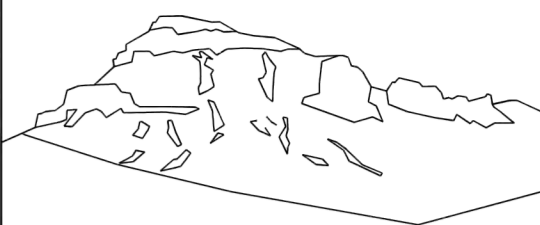
C2.1

Scale: 1" = 10'
0 5 10 20



Driveway Profile





Uncompahgre Engineering, LLC

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Telluride, CO 81435
970-729-0683

SUBMISSIONS:
DRB SUBMITTAL 2022-03-21

311 Benchmark Mtn. Village, CO

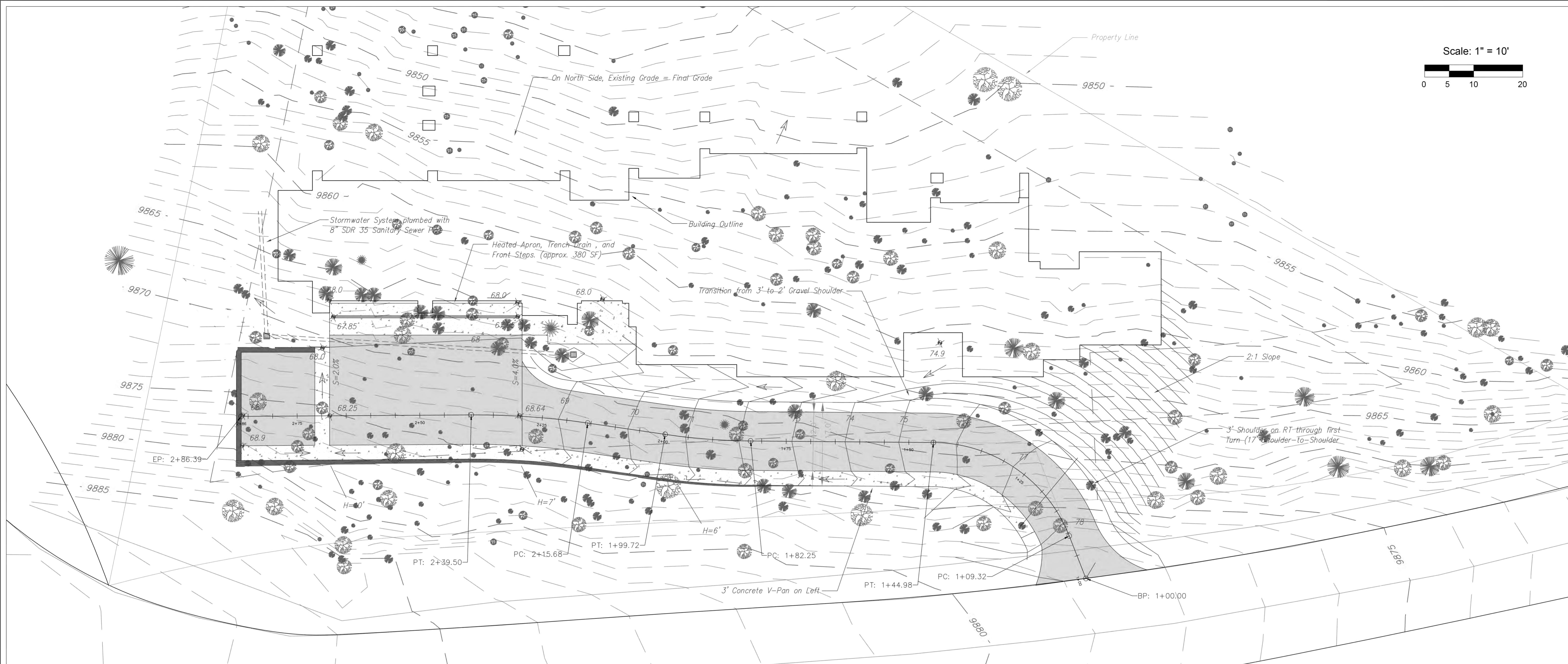


CONTRACTOR TO REVIEW AND COMPARE ALL CHARTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

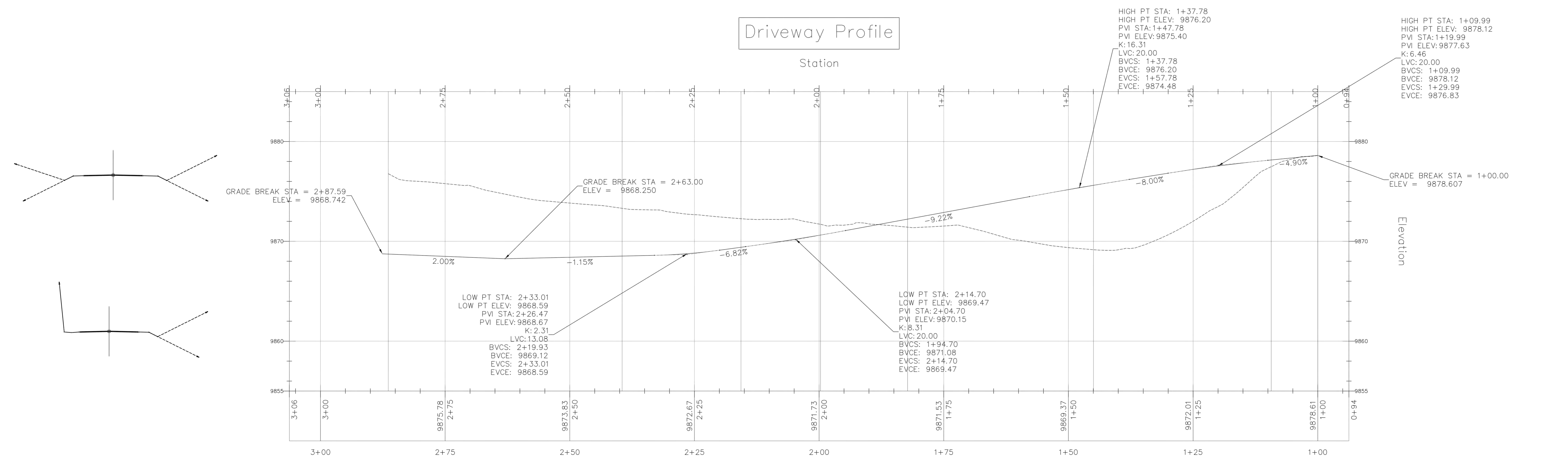
Site Grading
with
Driveway Profile
With Trees
Displayed

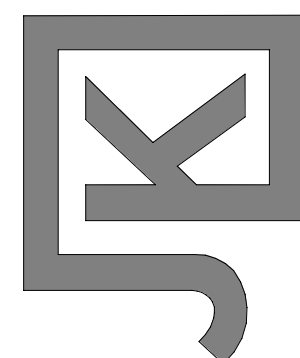
C2.2

Scale: 1" = 10'
0 5 10 20



Driveway Profile





LOT LIVABLE AREA:	
UPPER LEVEL	3588 SF
MAIN LEVEL	3734 SF
TOTAL AREA UNDER ROOF	: 7990 SF

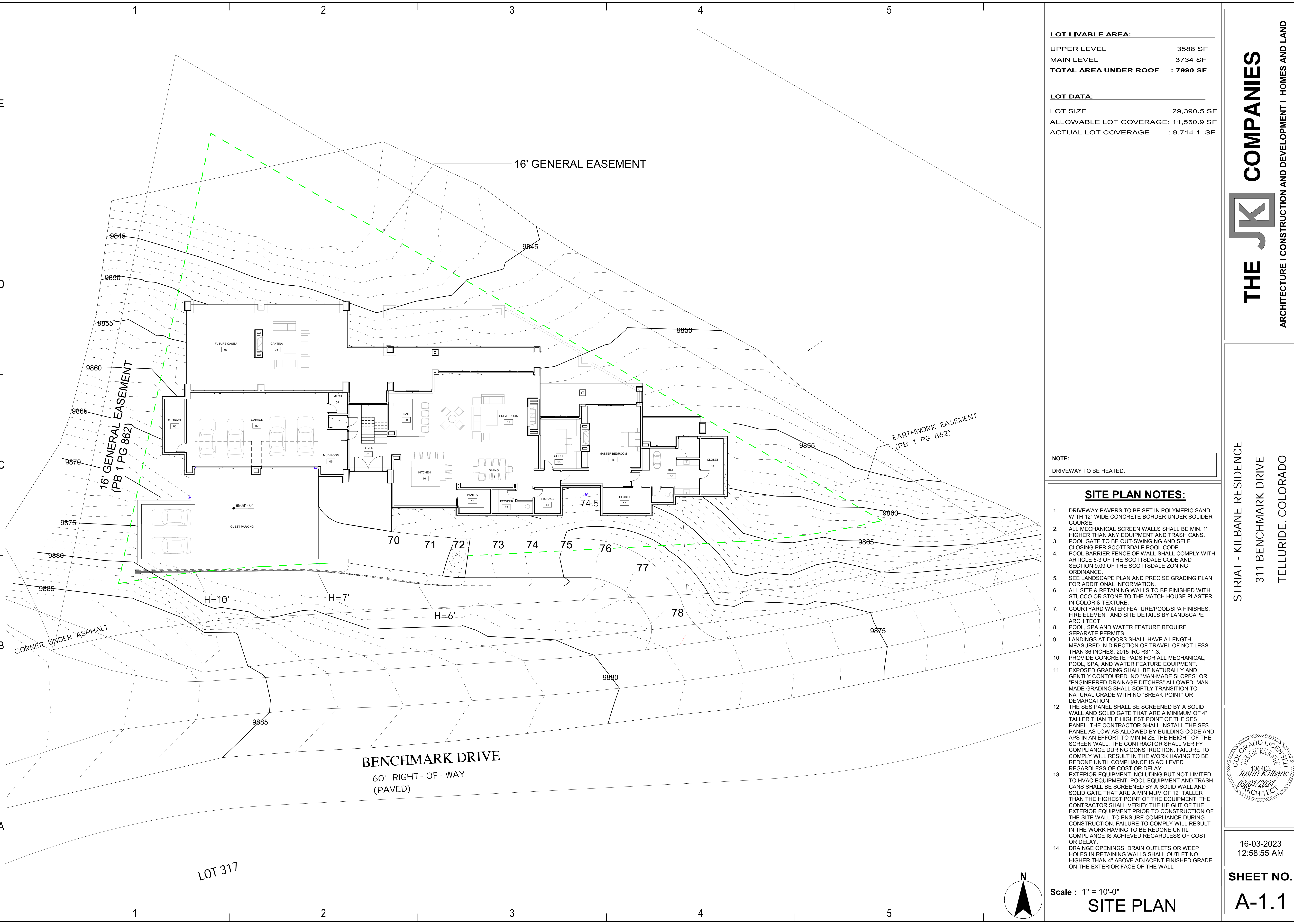
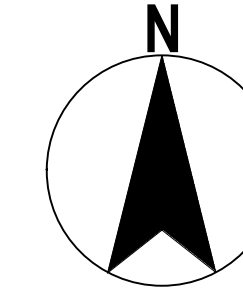
LOT DATA:	
LOT SIZE	29,390.5 SF
ALLOWABLE LOT COVERAGE:	11,550.9 SF
ACTUAL LOT COVERAGE	: 9,714.1 SF

NOTE:
DRIVEWAY TO BE HEATED.

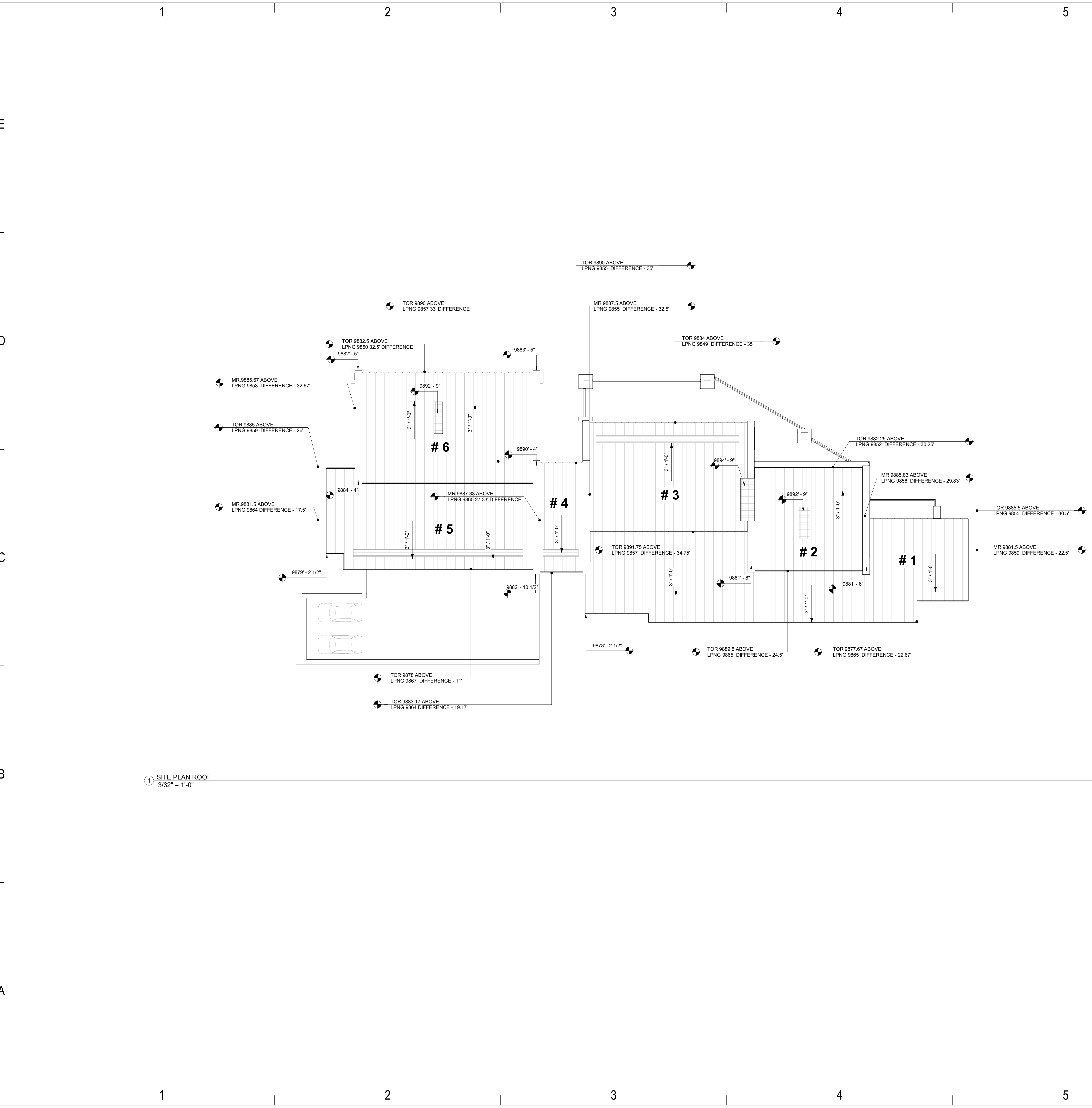
SITE PLAN NOTES:

- DRIVEWAY PAVERS TO BE SET IN POLYMERIC SAND WITH 12" WIDE CONCRETE BORDER UNDER SOLIDER COURSE.
- ALL MECHANICAL SCREEN WALLS SHALL BE MIN. 1' HIGHER THAN ANY EQUIPMENT AND TRASH CANS.
- POOL GATE TO BE OUT-SWINGING AND SELF CLOSING PER SCOTTSDALE POOL CODE.
- POOL BARRIER FENCE OF WALL SHALL COMPLY WITH ARTICLE 5-3 OF THE SCOTTSDALE CODE AND SECTION 9.09 OF THE SCOTTSDALE ZONING ORDINANCE.
- SEE LANDSCAPE PLAN AND PRECISE GRADING PLAN FOR ADDITIONAL INFORMATION.
- ALL SITE & RETAINING WALLS TO BE FINISHED WITH STUCCO OR STONE TO THE MATCH HOUSE PLASTER IN COLOR & TEXTURE.
- COURTYARD WATER FEATURE/POOL/SPA FINISHES, FIRE ELEMENT AND SITE DETAILS BY LANDSCAPE ARCHITECT.
- POOL, SPA AND WATER FEATURE REQUIRE SEPARATE PERMITS.
- LANDINGS AT DOORS SHALL HAVE A LENGTH MEASURED IN DIRECTION OF TRAVEL OF NOT LESS THAN 36 INCHES. 2015 IRC R311.3.
- PROVIDE CONCRETE PADS FOR ALL MECHANICAL, POOL, SPA, AND WATER FEATURE EQUIPMENT.
- EXPOSED GRADING SHALL BE NATURALLY AND GENTLY CONTOURED. NO "MAN-MADE SLOPES" OR "ENGINEERED DRAINAGE DITCHES" ALLOWED. MAN-MADE GRADING SHALL SOFTLY TRANSITION TO NATURAL GRADE WITH NO "BREAK POINT" OR DEMARCATION.
- THE SES PANEL SHALL BE SCREENED BY A SOLID WALL AND SOLID GATE THAT ARE A MINIMUM OF 4" TALLER THAN THE HIGHEST POINT OF THE SES PANEL. THE CONTRACTOR SHALL INSTALL THE SES PANEL AS LOW AS ALLOWED BY BUILDING CODE AND APS IN AN EFFORT TO MINIMIZE THE HEIGHT OF THE SCREEN WALL. THE CONTRACTOR SHALL VERIFY COMPLIANCE DURING CONSTRUCTION. FAILURE TO COMPLY WILL RESULT IN THE WORK HAVING TO BE REDONE UNTIL COMPLIANCE IS ACHIEVED REGARDLESS OF COST OR DELAY.
- EXTERIOR EQUIPMENT INCLUDING BUT NOT LIMITED TO HVAC EQUIPMENT, POOL EQUIPMENT AND TRASH CANS SHALL BE SCREENED BY A SOLID WALL AND SOLID GATE THAT ARE A MINIMUM OF 12" TALLER THAN THE HIGHEST POINT OF THE EQUIPMENT. THE CONTRACTOR SHALL VERIFY THE HEIGHT OF THE EXTERIOR EQUIPMENT PRIOR TO CONSTRUCTION OF THE SITE WALL TO ENSURE COMPLIANCE DURING CONSTRUCTION. FAILURE TO COMPLY WILL RESULT IN THE WORK HAVING TO BE REDONE UNTIL COMPLIANCE IS ACHIEVED REGARDLESS OF COST OR DELAY.
- DRAINAGE OPENINGS, DRAIN OUTLETS OR WEEP HOLES IN RETAINING WALLS SHALL OUTLET NO HIGHER THAN 4" ABOVE ADJACENT FINISHED GRADE ON THE EXTERIOR FACE OF THE WALL.

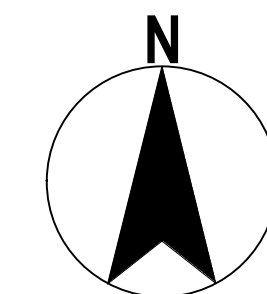
Scale : 1" = 10'-0"
SITE PLAN



LOT 317



① SITE PLAN ROOF
3/32" = 1'-0"



MAX. ROOF HEIGHT CALCULATIONS				
#	ROOF ELEVATION	NATURAL GRADE ELEVATION	FINISHED GRADE ELEVATION	CAL. HEIGHT
1	9885.5	9855	NA	30.5'
2	9889.5	9865	NA	24.5'
3	9891.75	9857	NA	34.75'
4	9890	9855		35'
5	9885	9855		30'
6	9890	9857		33'

MAX. AVERAGE HEIGHT CALCULATIONS				
#	ROOF ELEVATION	NATURAL GRADE ELEVATION	FINISHED GRADE ELEVATION	CAL. HEIGHT
1	9881.5	9859	NA	22.5'
2	9885.83	9856	NA	29.83'
3	9887.5	9855	NA	32.5'
4	9887.33	9860		27.33'
5	9881.5	9864		17.5'
6	9885.67	9853		32.67'
AVERAGE HEIGHT				27.055
ALLOWABLE AVERAGE				30'
COMPLIANT BY				2.945'

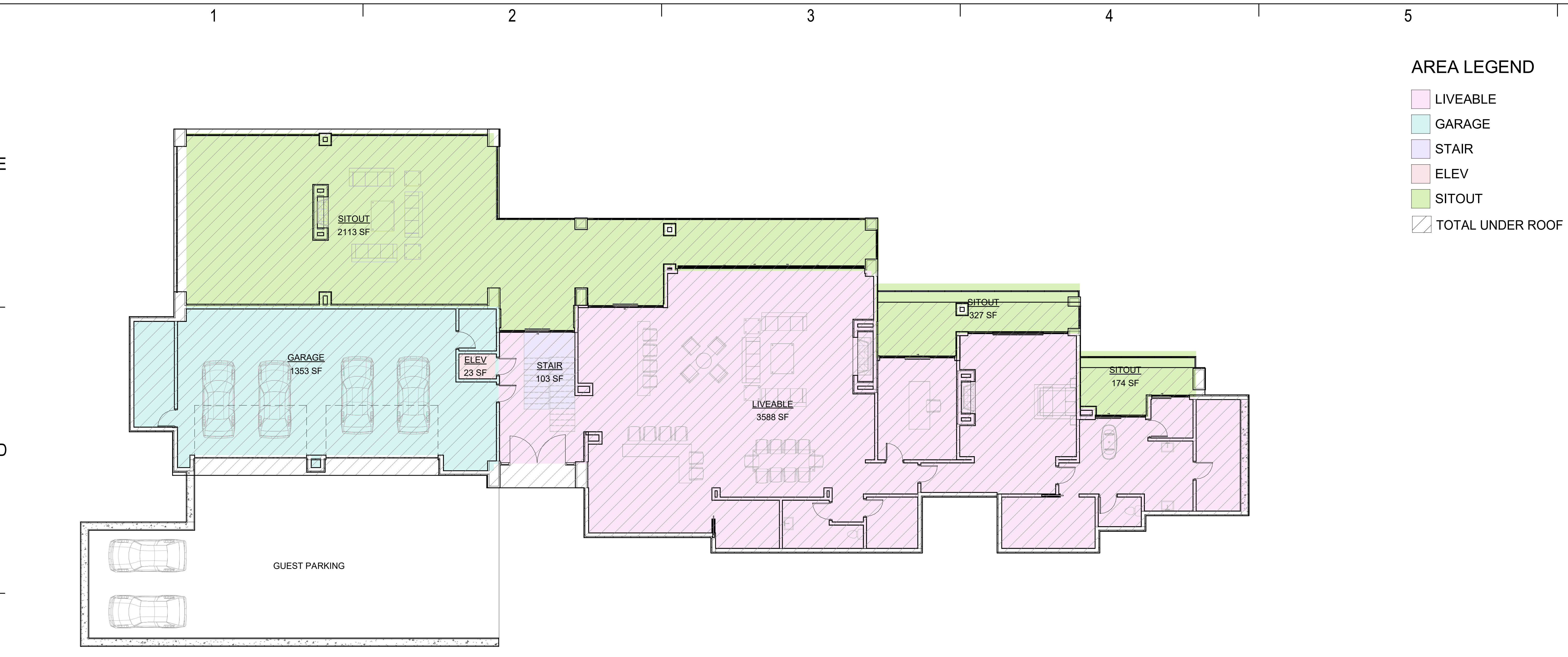
Scale : As indicated
ROOF ANALYSIS

STRAT - KILBANE RESIDENCE
311 BENCHMARK DRIVE
TELLURIDE, COLORADO

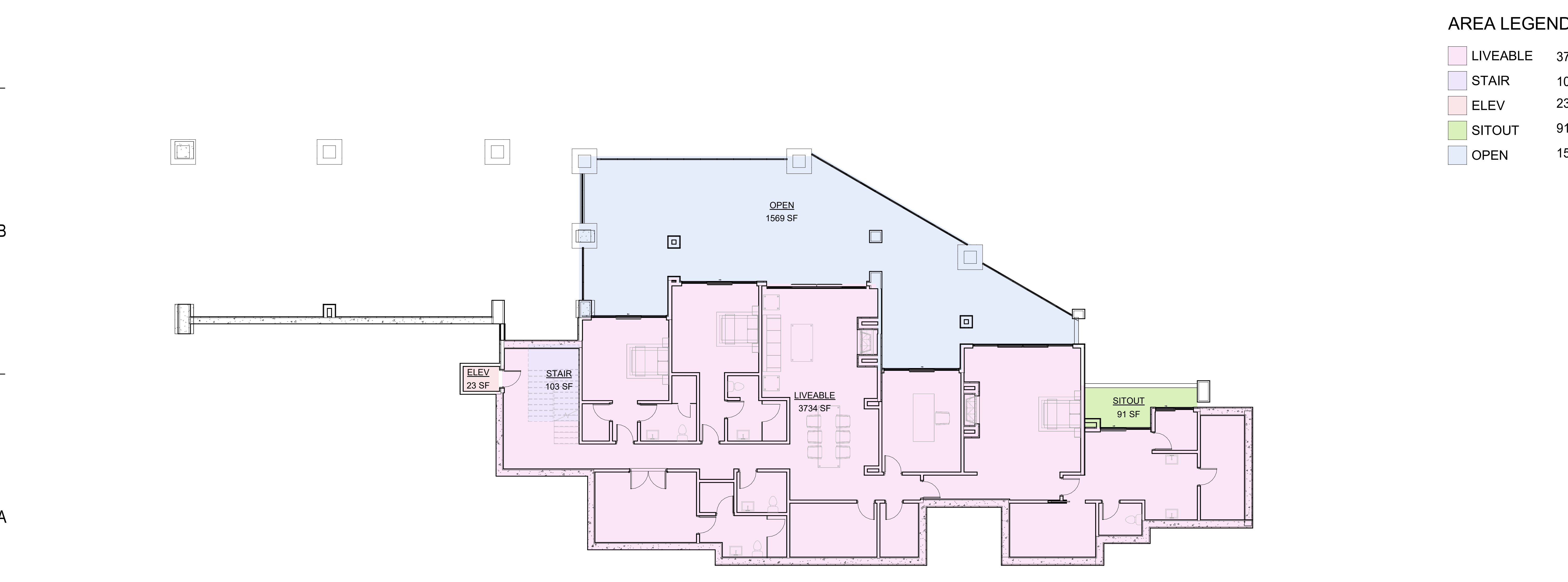


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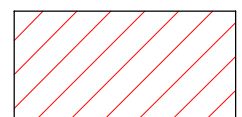
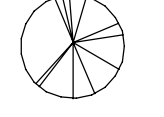
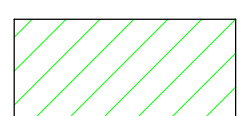

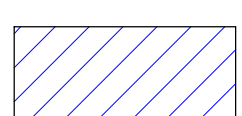
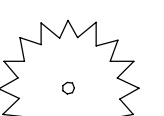

② UPPER LEVEL PLAN
1/8" = 1'-0"



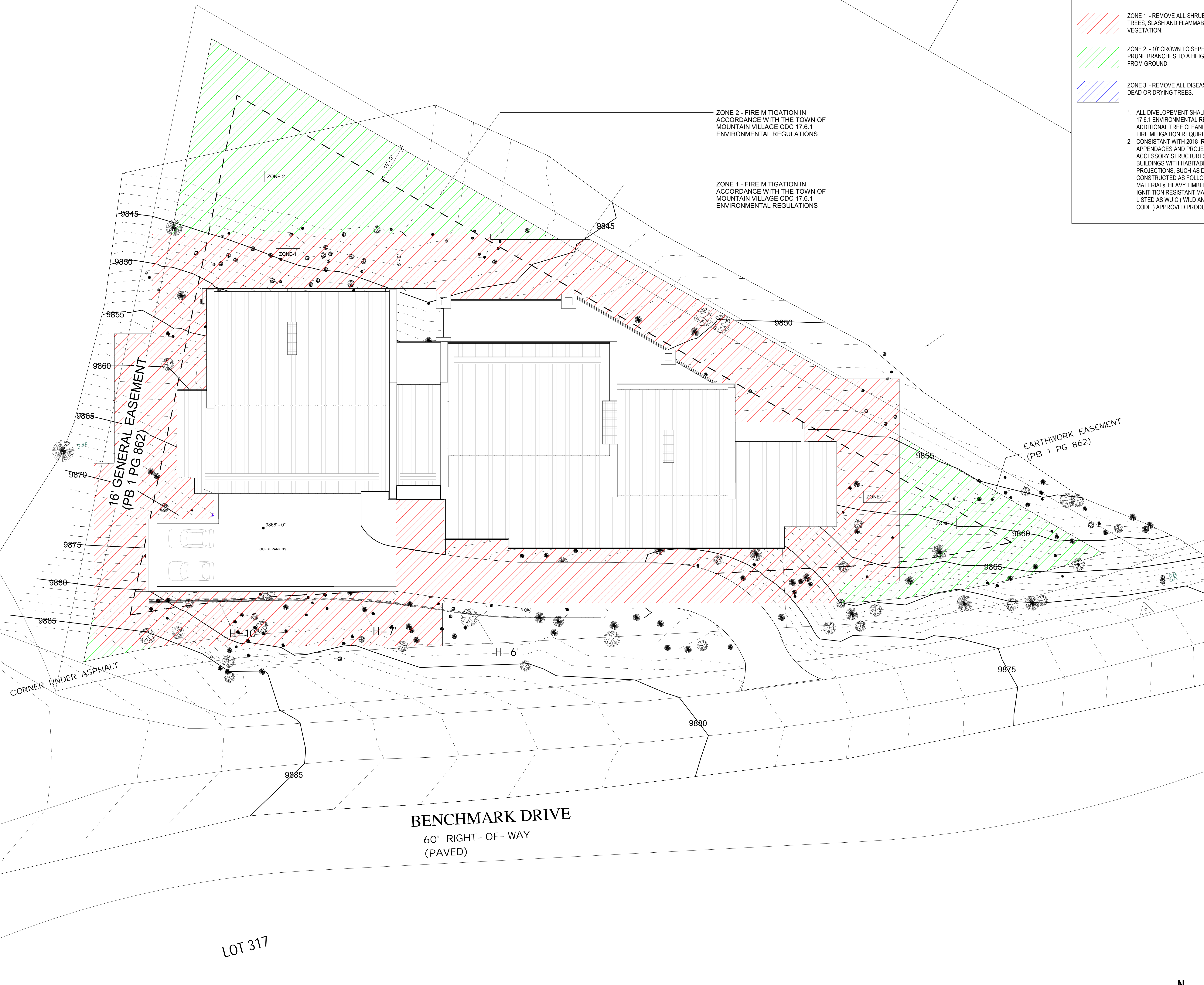
① MAIN LEVEL PLAN
1/8" = 1'-0"



FIRE MITIGATION LEGEND

- | | | | |
|---|--|---|--------------------------|
|  | ZONE 1 - REMOVE ALL SHRUBS, TREES, SLASH AND FLAMMABLE VEGETATION. |  | EXISTING ASPEN TREE |
|  | ZONE 2 - 10' CROWN TO SEPERATION, PRUNE BRANCHES TO A HEIGHT OF 10' FROM GROUND. |  | EXISTING ASPEN TREE |
|  | ZONE 3 - REMOVE ALL DISEASED, DEAD OR DRYING TREES. |  | EXISTING EVER GREEN TREE |
| | |  | EXISTING EVER GREEN TREE |

1. ALL DEVELOPEMENT SHALL COMPLY WITH CDC 17.6.1 ENVIRONMENTAL REGULATIONS. ADDITIONAL TREE CLEANING WILL BE DONE PER FIRE MITIGATION REQUIREMENTS.
2. CONSISTANT WITH 2018 IRC SECTION R101.4.1 APPENDAGES AND PROJECTIONS; UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS FOLLOWS: NON- COMBUSTIBLE MATERIALS; HEAVY TIMBER, EXTERIOR GRADE IGNITION RESISTANT MATERIAL SUCH AS THOSE LISTED AS WUI (WILD AND URBAN INTERFACE CODE) APPROVED PRODUCTS.



ZONE 2 - FIRE MITIGATION IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE CDC 17.6.1 ENVIRONMENTAL REGULATIONS

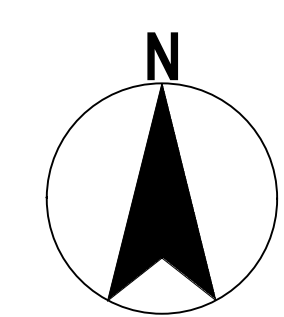
ZONE 1 - FIRE MITIGATION IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE CDC 17.6.1 ENVIRONMENTAL REGULATIONS

EARTHWORK EASEMENT (PB 1 PG 862)

BENCHMARK DRIVE
60' RIGHT- OF - WAY (PAVED)

LOT 317

1 FIRE MITIGATION PLAN
1" = 10'-0"



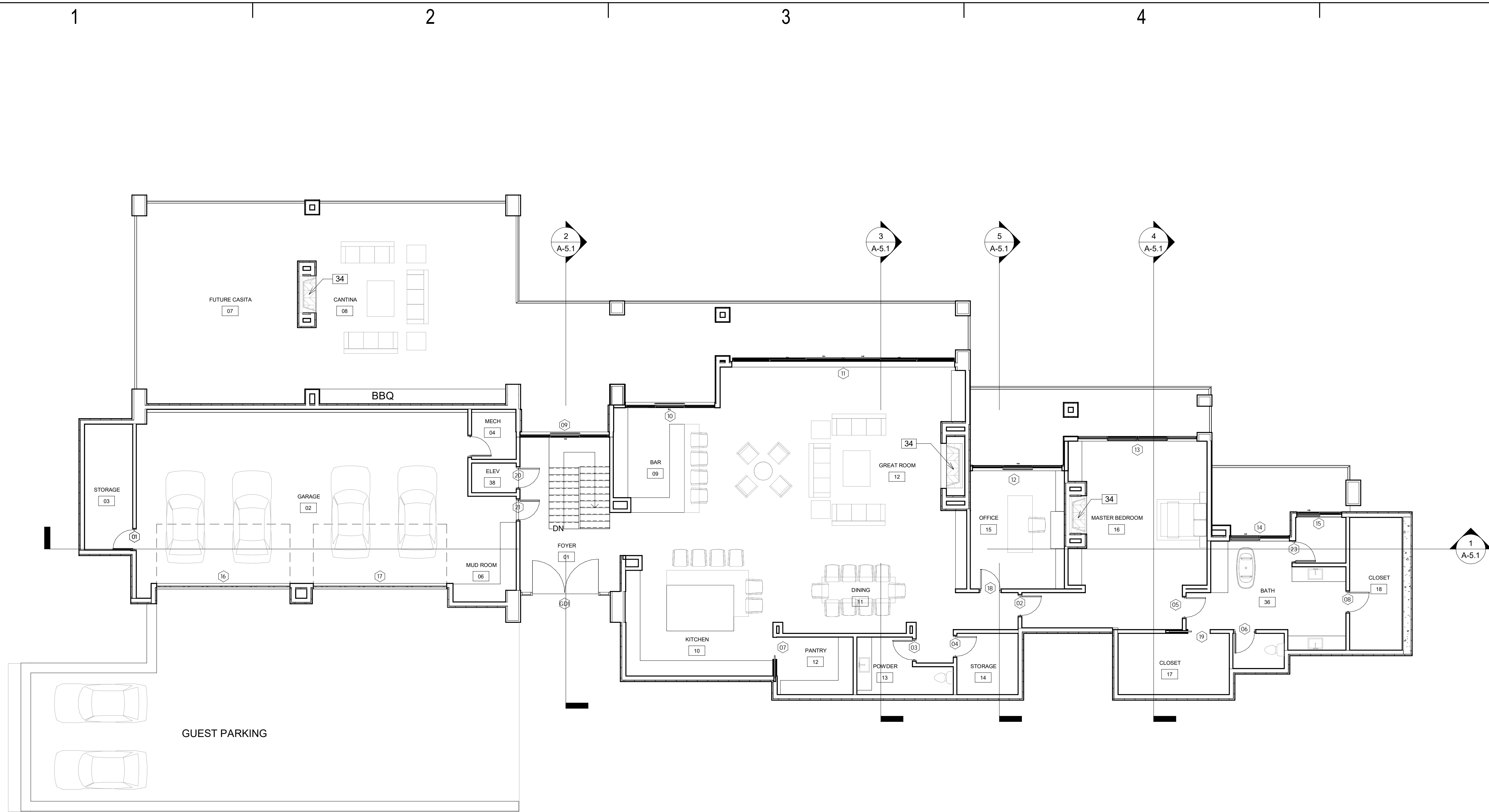
Scale : As indicated
FIRE MITIG. PLAN

STRIAT - KILBANE RESIDENCE
311 BENCHMARK DRIVE
TELLURIDE, COLORADO

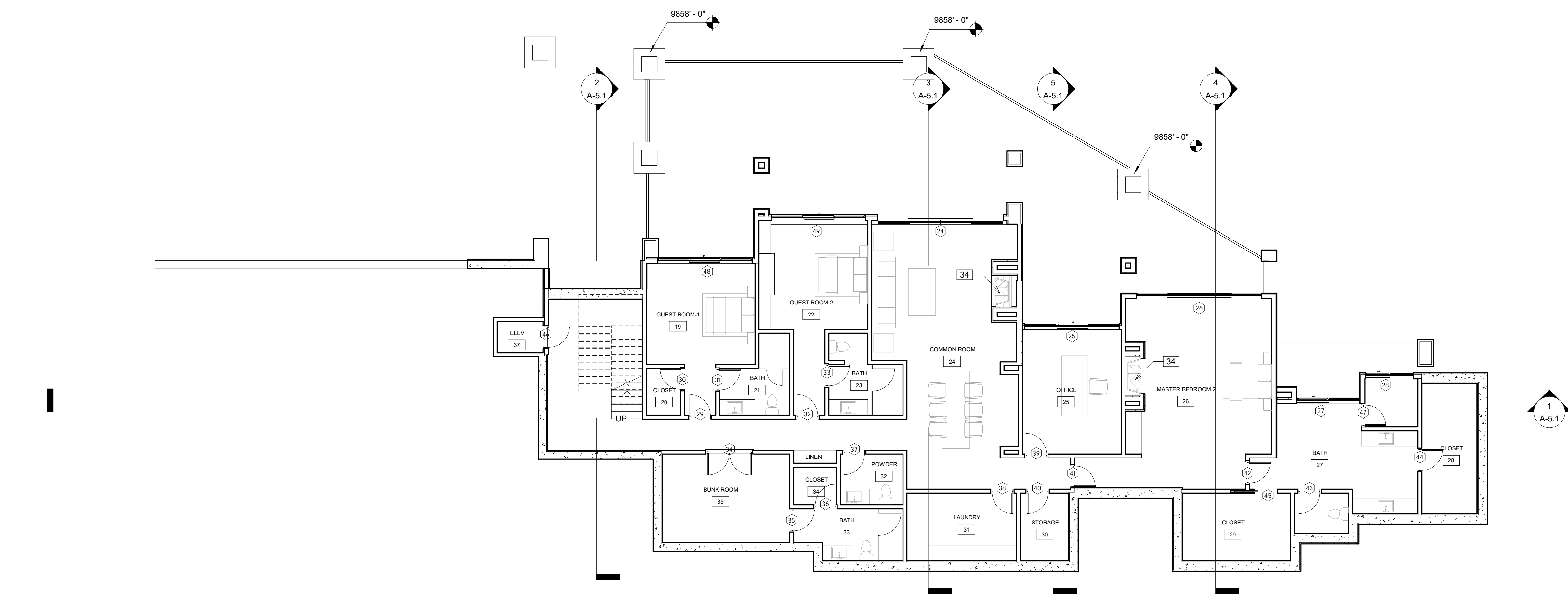


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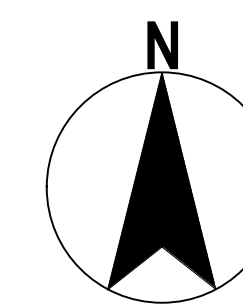
① UPPER LEVEL PLAN
1/8" = 1'-0"



② MAIN LEVEL PLAN
1/8" = 1'-0"

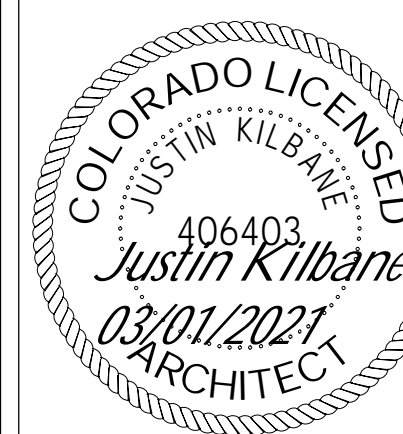
FLOOR PLAN NOTES:

1. CEMENT BOARD INSTALLED PER MANUFACTURERS RECOMMENDATIONS INSTALLED AT ALL SHOWER AND TUB AREAS PER (R702.4.2). WATER RESISTANT GYP. BOARD SHALL NOT BE USED IN TUB, SHOWERS, OR AREAS ON CONTINUOUS HUMIDITY.
2. ISOKERN MANUFACTURED FIREPLACES PER ICC-ESR2316. PROVIDE OUTSIDE COMBUSTION AIR FOR INTERIOR FIREPLACES. (R1006.2) FIREPLACE DAMPERS: WHERE A LISTED DECORATIVE APPLIANCE IS INSTALLED, THE FIREPLACE DAMPER OPENING SHALL COMPLY WITH LISTED DECORATIVE APPLIANCE MANUFACTURER'S INSTALLATION INSTRUCTIONS. (G2453.1) PROVIDE A PERMANENTLY INSTALLED APPROVED DECORATIVE APPLIANCE GAS LOG SET. R1004.4.
3. ALL MECHANICAL UNITS TO BE DIRECT VENT.
4. TANK-LESS DIRECT VENT RINNAI WATER HEATER. MECHANICAL ROOMS TO HAVE 5/8" TYPE X DRYWALL AT WALLS AND CEILING AND 1" NON-COMBUSTIBLE PLATFORMS FOR EQUIPMENT.
5. PROVIDE A 20 MINUTE FIRE RATED 1-3/8" SOLID DOOR ... SELF-CLOSING, SELF-LATCHING, BETWEEN RESIDENCE AND GARAGE. (R302.5.1 AMEND.)
6. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 5/8" TYPE X GYPSUM APPLIED TO THE GARAGE SIDE. ALL INTERIOR AND EXTERIOR GLAZING IN BATHROOMS MUST BE SAFETY GLAZING WHEN THE WHEN THE BOTTOM EDGE IS LESS THAN 60 PER 308.4.5" ABOVE FLOOR LEVEL. (BATHROOMS SHALL BE DEFINED AS A ROOM PROVIDED WITH A TUB OR SHOWER).
7. ALL AIR DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 26 GAUGE MINIMUM. 2015 IRC R302.5.2.
8. WALL CONSTRUCTION. TYPICAL EXTERIOR AND INTERIOR WALL CONSTRUCTION TO BE 2X6 STUDS @ 16" O.C., U.N.O. WALL FRAMING TO BE DONE PER STRUCT. DWGS & SPECS.
9. FIRE BLOCKING SHALL BE INSTALLED AT THE LOCATIONS SPECIFIED IN 2015 IRC R302.11, INCLUDING: CONCEALED SPACES OF STUD WALLS AND PARTITIONS, FLOOR AND CEILING AT 10 FT. MAXIMUM INTERVALS BOTH VERTICALLY AND HORIZONTALLY, INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, CONCEALED SPACE BETWEEN STAIR STRINGERS AT TOP AND BOTTOM RUN, AND AT OPENINGS AROUND VENTS, PIPES, DUCTS, AND CHIMNEYS.
10. PROVIDE NON-REMOVABLE BACKFLOW PREVENTION DEVICE ON ALL EXTERIOR HOSE BIBS. 2015 UPC 603.0 AND 603.1.
11. ALL DOORS WITH DIRECT ACCESS TO THE POOL SHALL COMPLY WITH 2015 IRC 3109.4.1.8.1.
12. ALL FOAM PLASTIC INSULATION SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 75 AND SMOKE DEVELOPED INDEX NOT GREATER THAN 450. 2015 IRC R316.3.
13. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 200 AND SMOKE DEVELOPED INDEX NOT GREATER THAN 450. 2015 IRC R302.9.1, 2.9.4.
14. DRAFT STOPPING SHALL BE INSTALLED IN COMBUSTIBLE CONSTRUCTION SO CONCEALED (ATTIC AND/OR FLOOR CEILING SPACE(S) DO NOT EXCEED 1,000 SQFT. 2015 IRC R302.12.
15. WATER CLOSETS, URINALS, LAVATORIES OR BIDET SHALL NOT BE SET CLOSER THAN 15" FROM ITS CENTER TO ANY SIDE WALL PARTITION VANITY OR OTHER OBSTRUCTION, OR CLOSER THAN 30" CENTER TO CENTER BETWEEN ADJACENT FIXTURES. THERE SHALL BE AT LEAST A 21" CLEARANCE IN FRONT OF THE WATER CLOSET, URINAL, LAVATORY OR BIDET TO ANY WALL, FIXTURE OR DOOR. WATER CLOSET COMPARTMENTS SHALL NOT BE LESS THAN 30" WIDE. R307.1.
16. GYPSUM BOARD APPLIED TO A CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN FRAMING MEMBERS ARE 24" O.C. OR USE LABELED 1/2" SAG-RESISTANT GYPSUM CEILING BOARD. (TABLE R702.3.5)
17. MANUFACTURER'S INSTALLATION INSTRUCTIONS, AS REQUIRED BY THIS CODE, SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION. (R106.1.2) CORNER WINDOW POST SHALL BE BRAKE METAL TO MATCH WINDOW FRAME
21. MECHANICAL EQUIP.-SEE MECHANICAL PLANS
22. SES-SEE ELECTRICAL
23. WATER SERVICE
24. GAS METER LOCATION-SEE PLUMBING PLANS
25. MILLWORK-SEE INTERIORS
26. DBL OVEN
27. REFRIG.
28. FREEZER
29. RANGE/HOOD
30. DISHWASHER
31. WASHER/DRYER
32. BBQ
33. DEPRESS SLAB @ SHOWER-SEE STRUCTURAL
34. NATURAL GAS FIREPLACES.



Scale : 1/8" = 1'-0"

FLOOR PLAN



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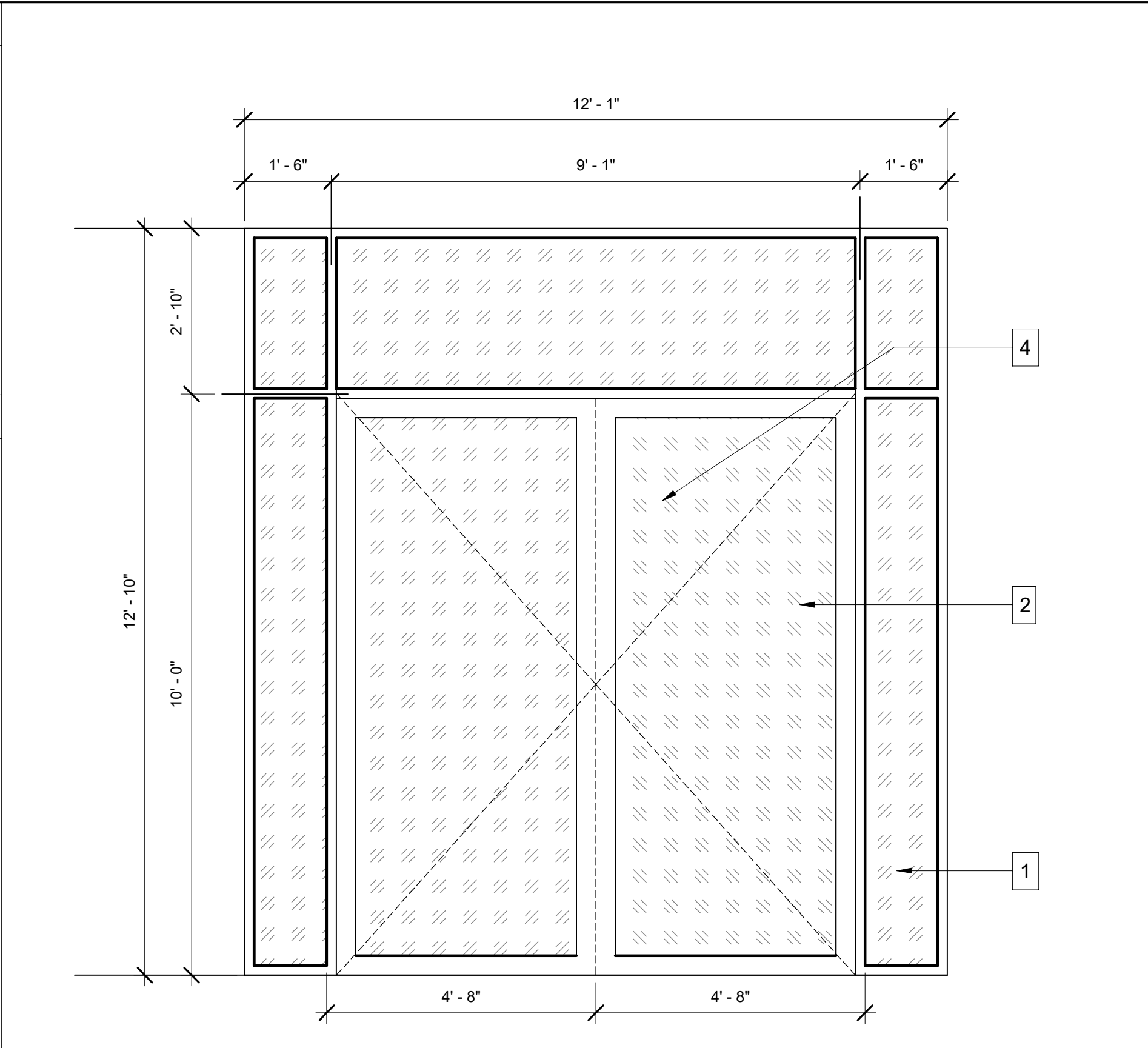
SHEET NO.

A-2.1

GENERAL NOTES

KEY NOTES

- TEMPERED CLEAR FLOAT GLASS.
- EBONIZED OAK FRAME.
- PIVOT HINGE CONCEALED IN HEADER.

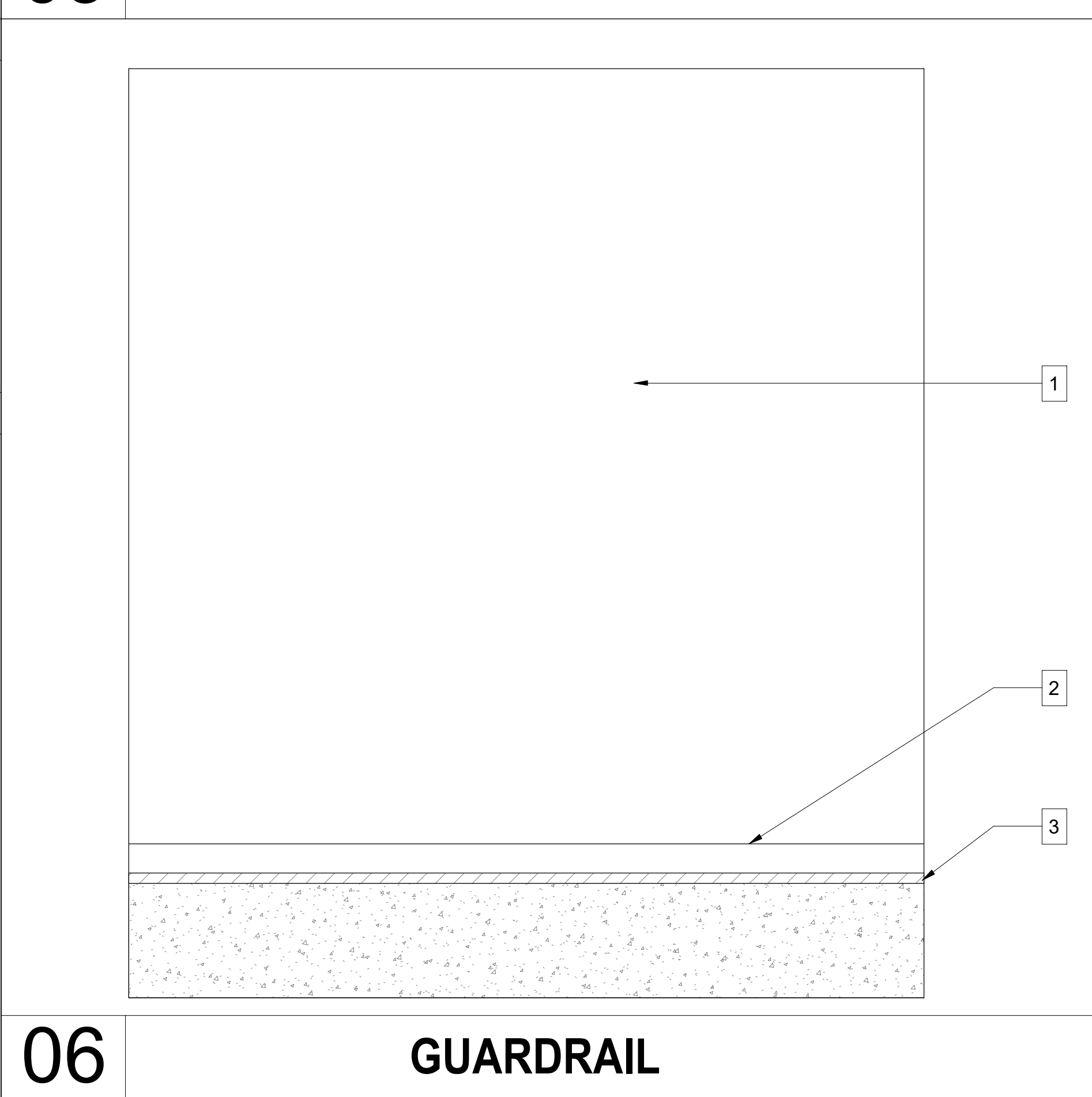


03 FRONT DOOR

GENERAL NOTES

KEY NOTES

- 3/8" TEMPERED GLASS 36" A.F.F. MIN.
- ALUM. SHOE
- TILE AROUND ALL BASE.



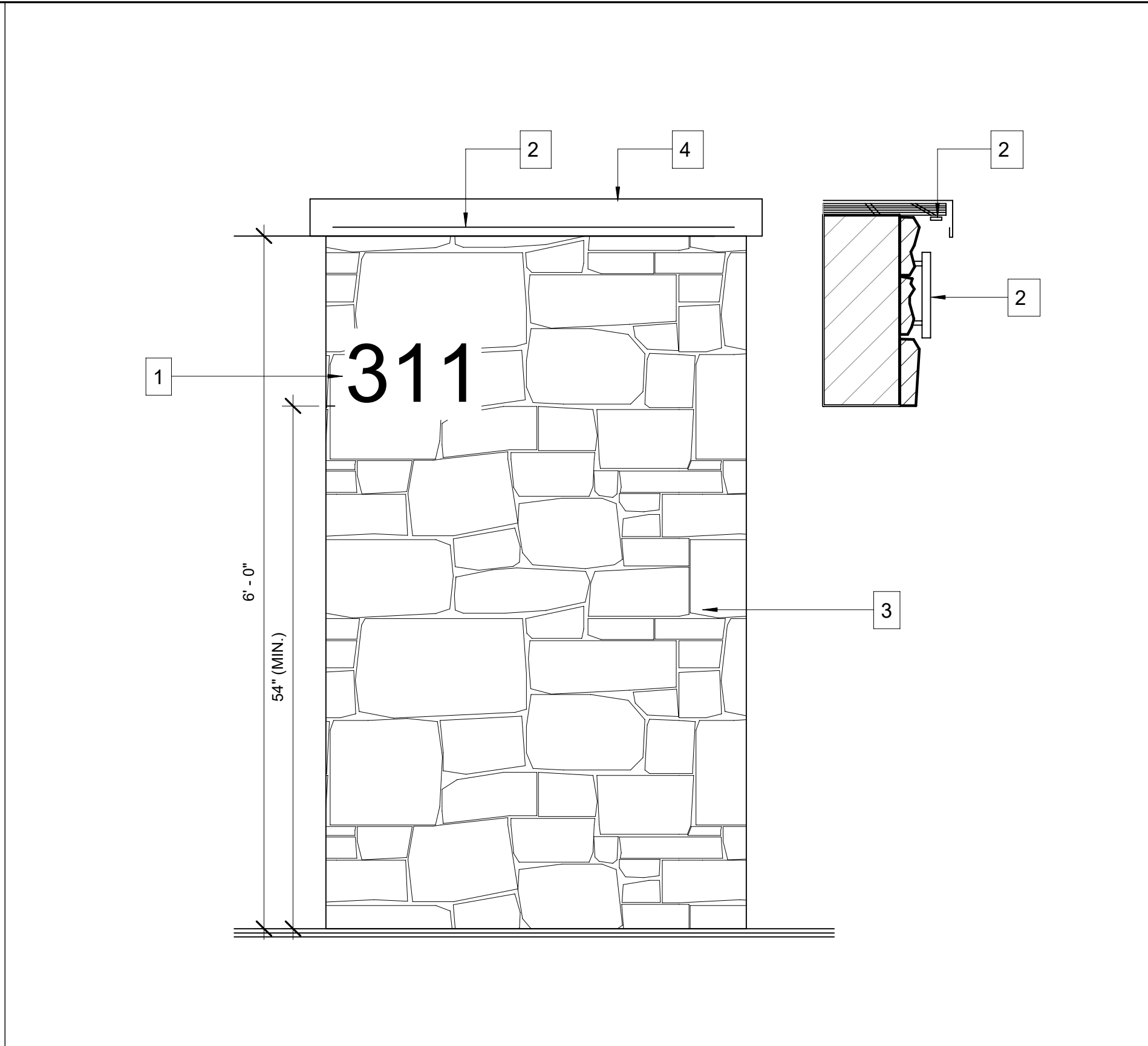
06 GUARDRAIL

GENERAL NOTES

MARKER HEIGHT AND PLACEMENT SHALL BE CHECKED WITH TO AVOID ANY UTILITIES AND VERIFIED WITH ARCHITECT.

KEY NOTES

- 6"H X1" THICK METAL ADDRESS NUMBERS ARE TO BE COATED WITH W/ REFLECTIVE MATERIAL.
- LED TAPE LIGHT.
- STONE VENEER ON CMU WITH CAPE TO MATCH HOUSE.
- 3" METAL CAP TO MATCH HOUSE FASCIA.



02 ADDRESS MARKER

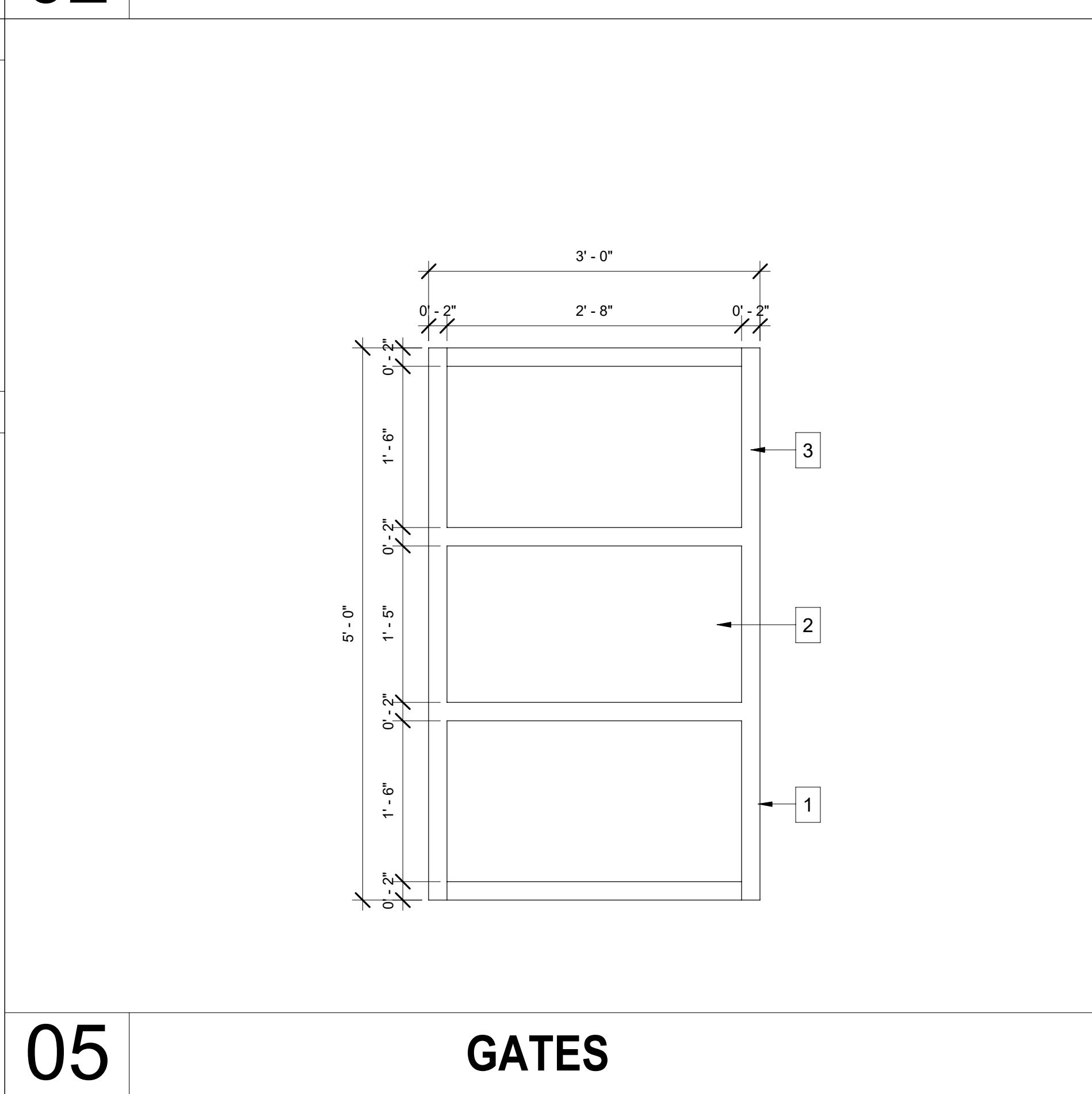
GENERAL NOTES

A. ALL GATES WITH POOL ACCESS SHALL BE OUT-SWINGING WITH HARDWARE ABOVE 54" A.F.F. AND CONFORM TO ALL GOVERNING POOL CODES.

B. GATE SIZES ON PLAN THAT DIFFER FROM DETAILS SHALL GOVERN.

KEY NOTES

- POWDER COATED MATTE BLACK STYLE STEEL FRAME.
- METAL PANEL INTERIOR.
- SELF CLOSING LATCHING HARDWARE.



05 GATES

GENERAL NOTES

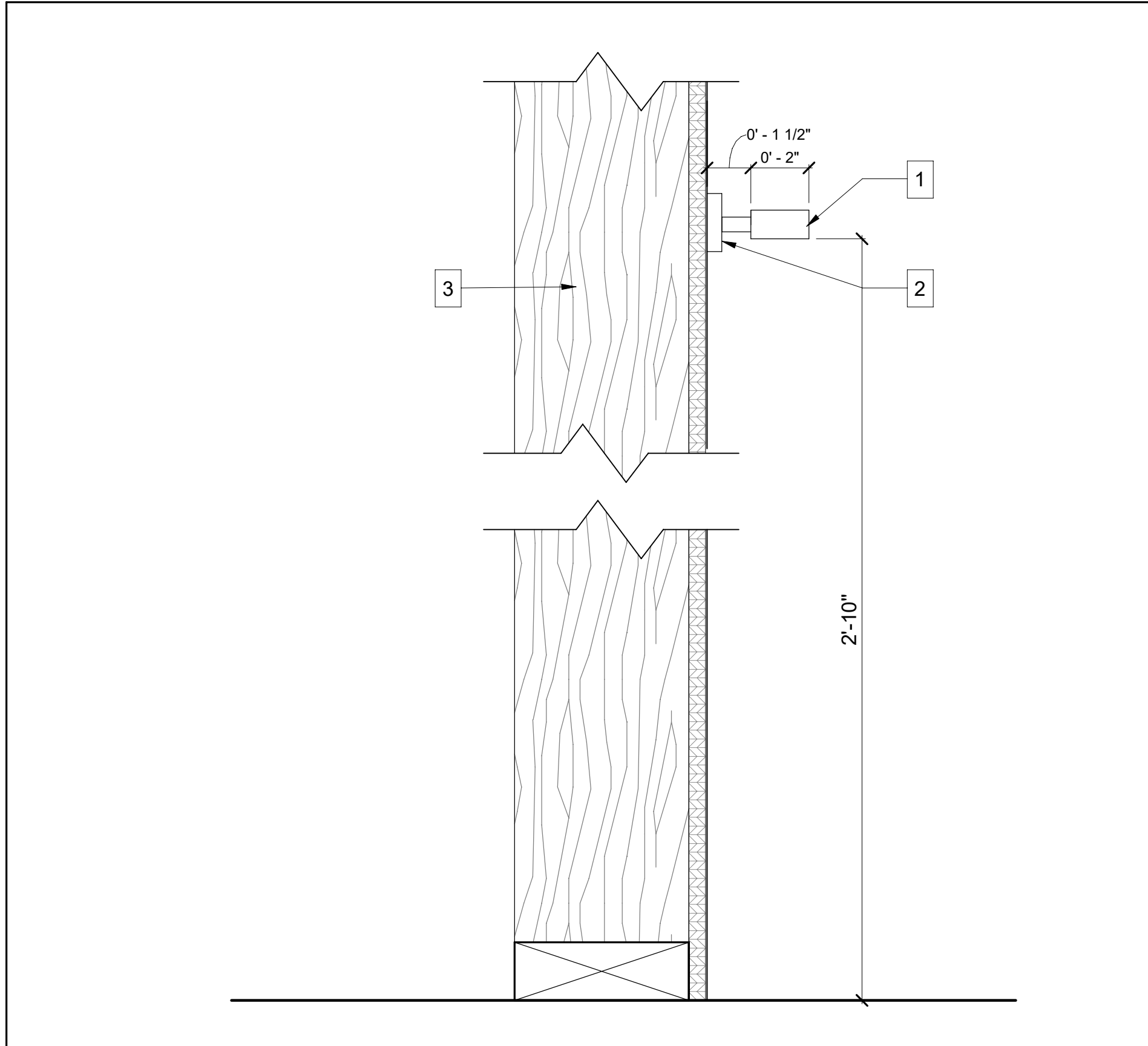
A. TOP OF HANDRAILS AND EXTENSIONS SHALL BE NOT LESS THAN 34 INCHES OR MORE THAN 38 INCHES ABOVE THE NOSING OF TREADS AND LANDINGS. R311.7.8.1

B. THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. R311.7.8.3

D. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY POINT ALONG THE TOP.

KEY NOTES

- PRE-FINISHED PAINTED STEEL GRAB BAR
- 3" SQUARE PRE-FINISHED STEEL PLATE OVER LAG SCREW CONNECTIONS.
- 2X WALL WITH BLOCKING WHERE NEEDED FOR SUPPORT.

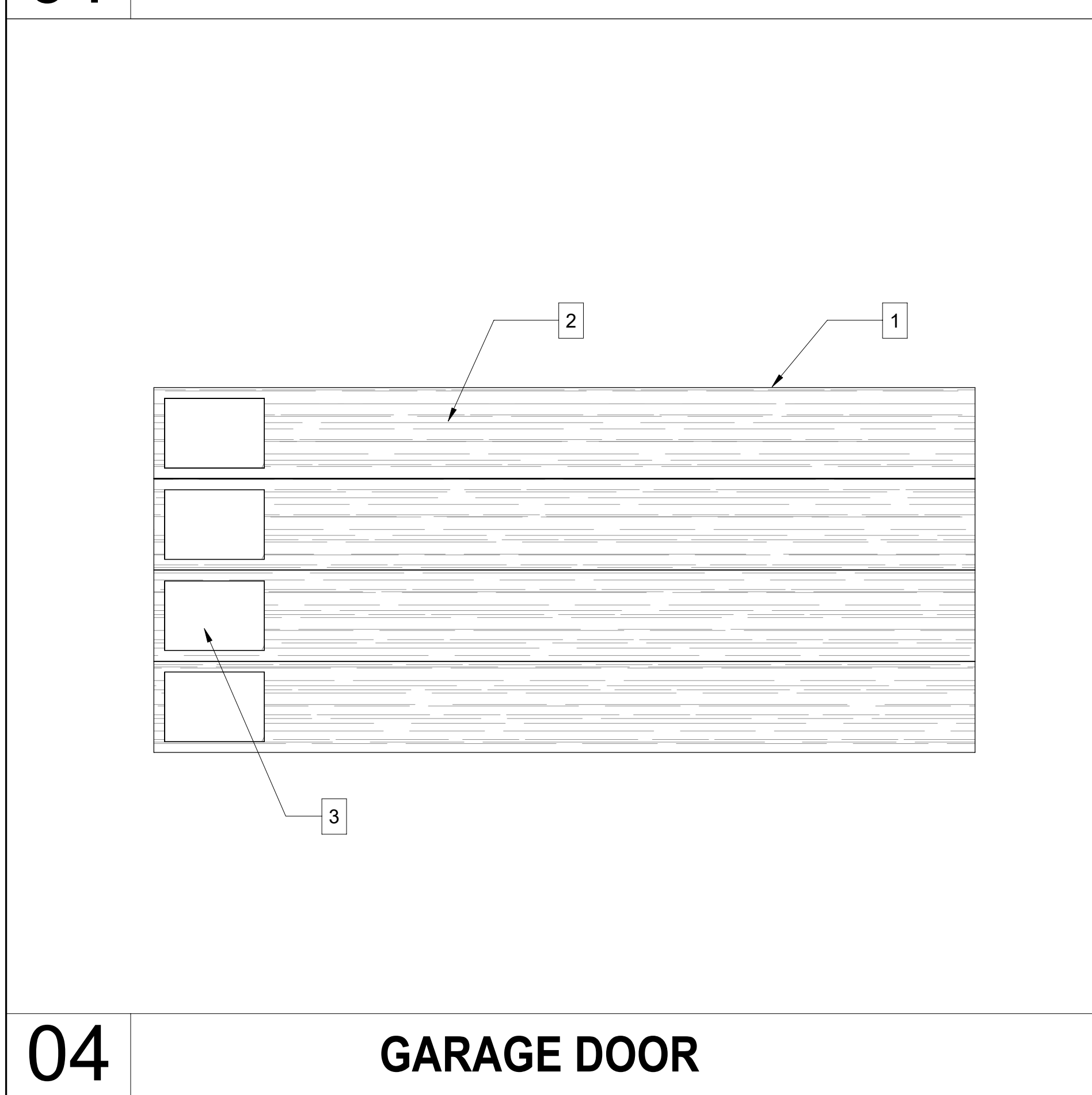


01 HANDRAIL

GENERAL NOTES

KEY NOTES

- INSULATED GARAGE DOOR PANEL.
- BLACK METAL PANELS FINISH FROM MANUFACTURER.
- DARK BRONZE LIMO TINT WINDOWS.

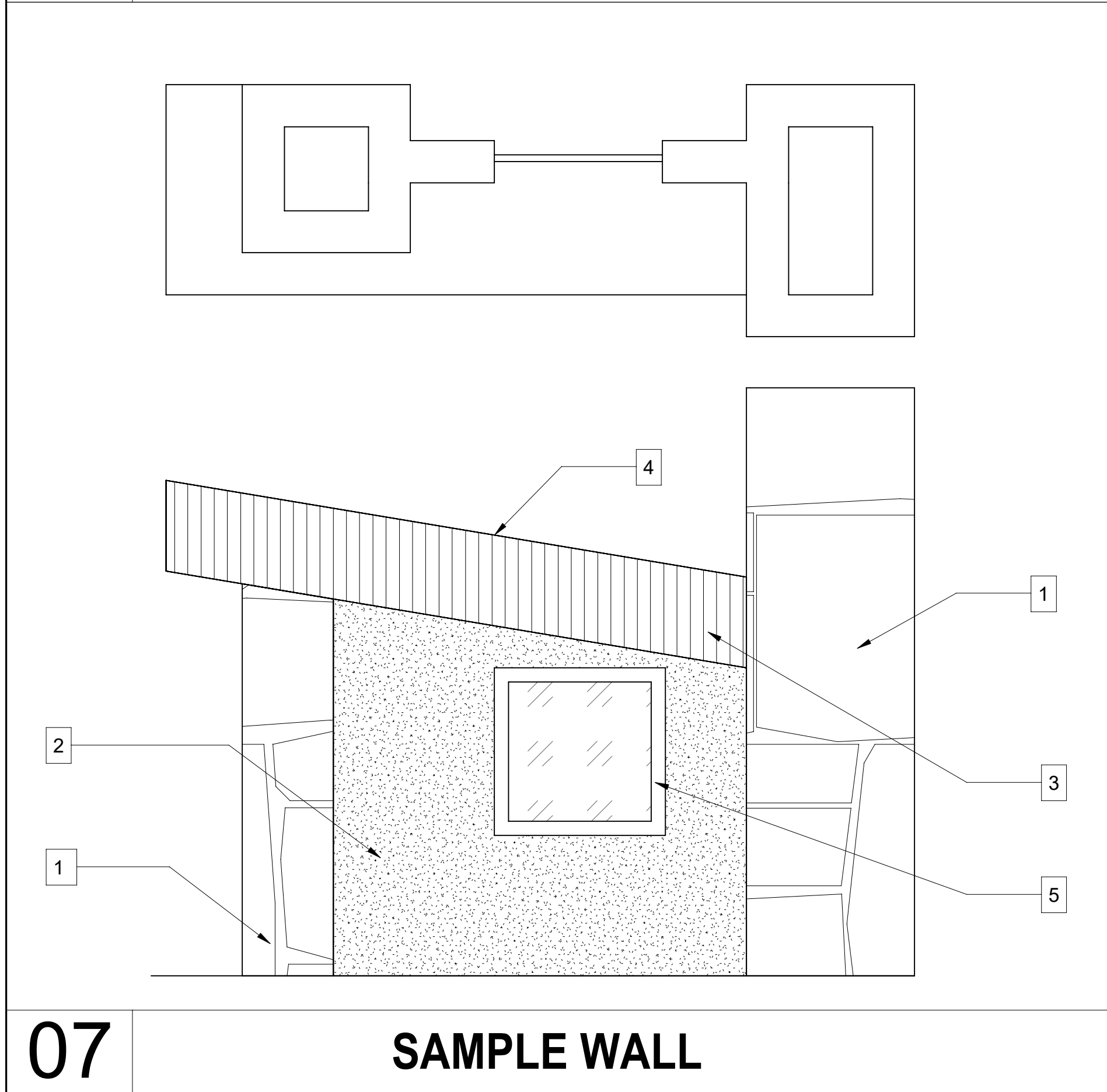


04 GARAGE DOOR

GENERAL NOTES

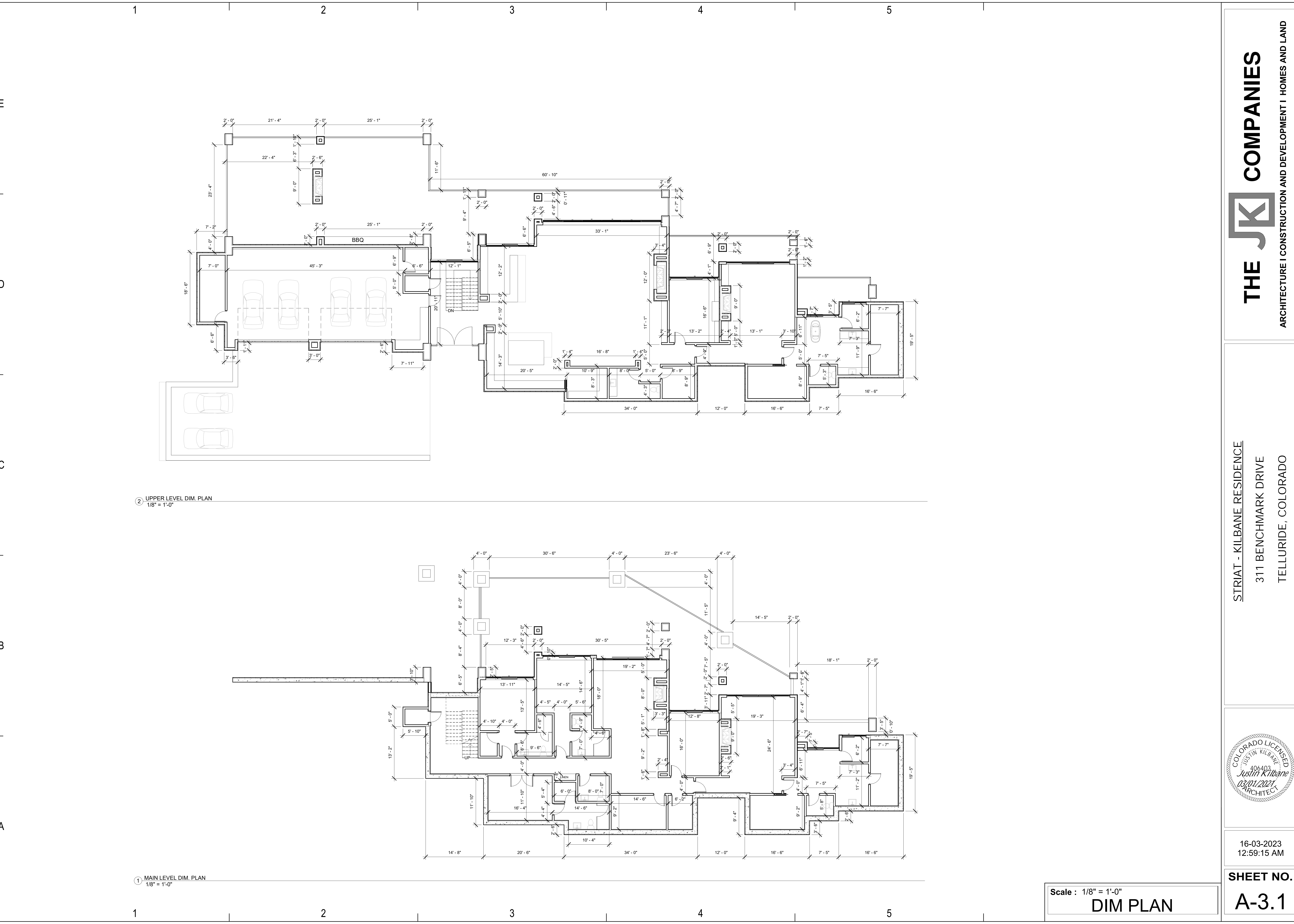
KEY NOTES

- RICO STACK STONE VENEER
- TRESPA METAL WALL PANEL ON FRAME.
- BLACK METAL SIDING.
- ROOF TILE PER PLAN.
- 2-0X2-0 CASCADE WINDOW 4" RECESS.
- STUCCO PER PLAN.



07 SAMPLE WALL

Scale : As indicated
FLOOR DETAILS

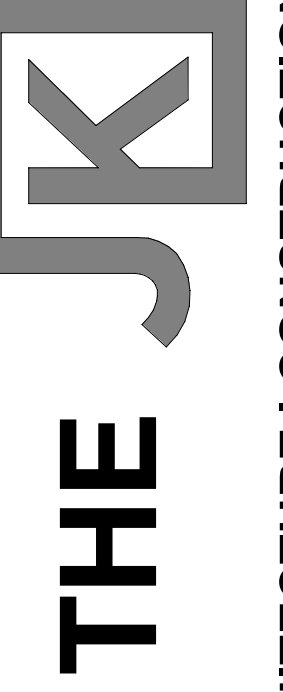


② UPPER LEVEL DIM. PLAN
1/8" = 1'-0"

① MAIN LEVEL DIM. PLAN
1/8" = 1'-0"

Scale : 1/8" = 1'-0"

DIM PLAN



THE JK COMPANIES

ARCHITECTURE | CONSTRUCTION AND DEVELOPMENT | HOMES AND LAND

STRIAT - KILBANE RESIDENCE

311 BENCHMARK DRIVE

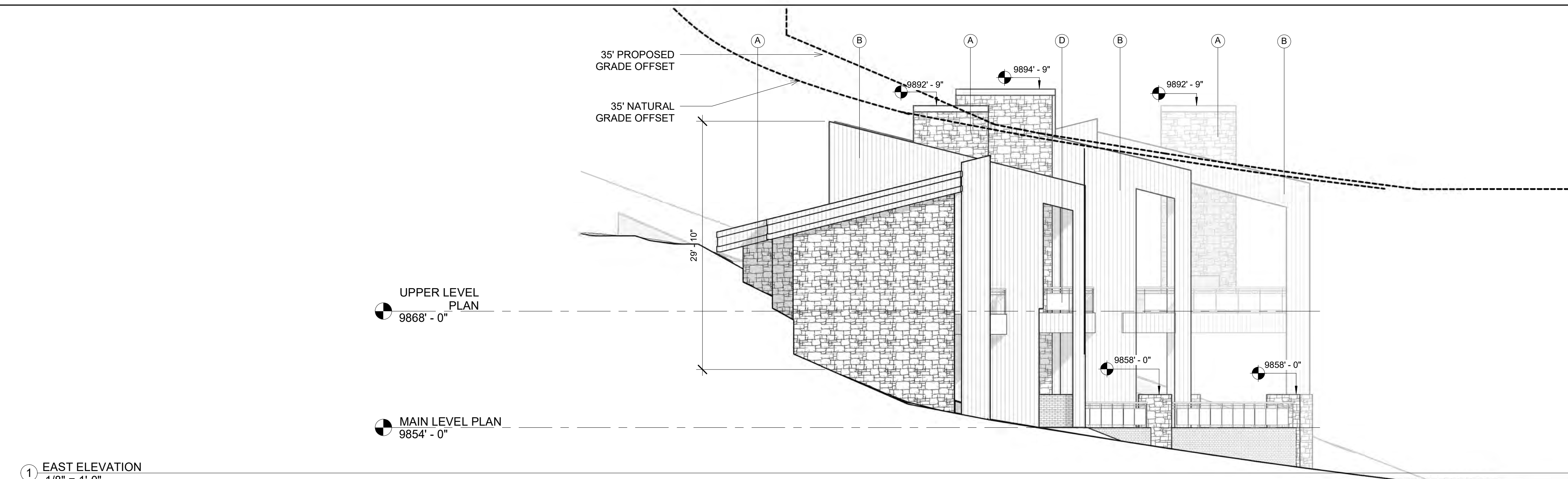
TELLURIDE, COLORADO



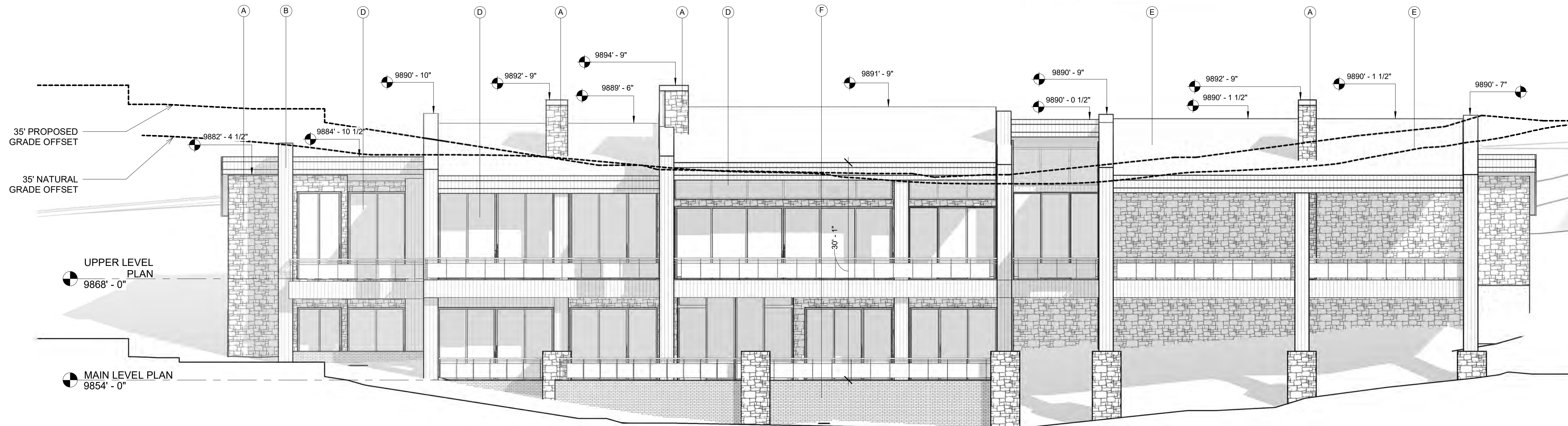
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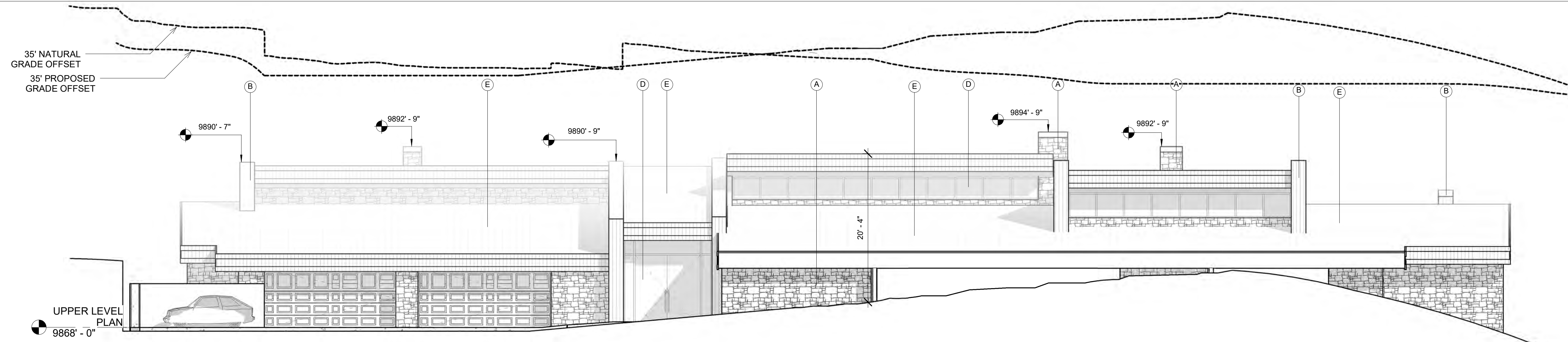
A-3.1



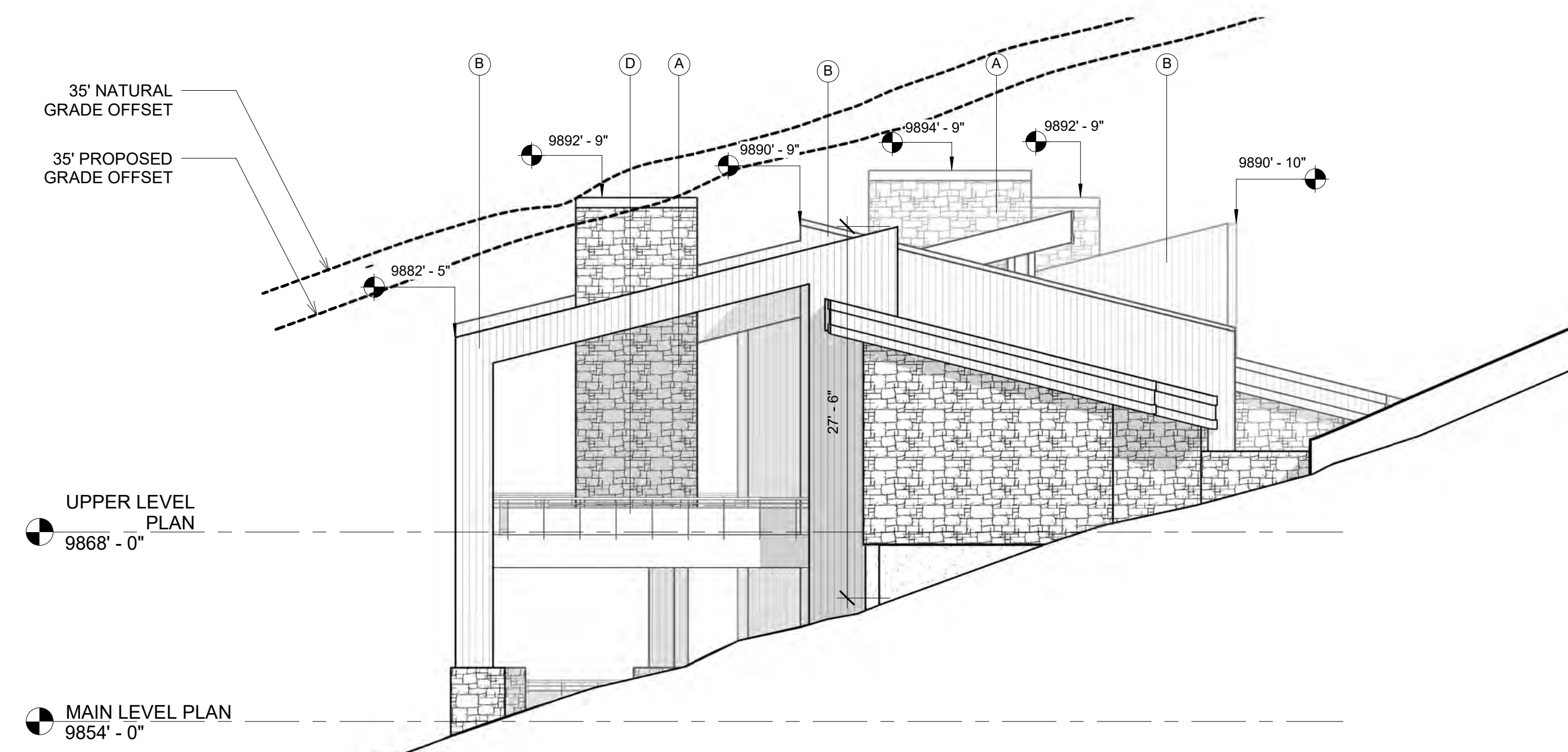
1 EAST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"

ELEVATION NOTES:

- EXTERIOR BRICK VENEER, CONTRACTOR TO INSTALL PER 2015 IRC CHAPTER 7, TABLE R703.4 AND FIGURE R703.7. SEE DETAIL 1/A-5.3.
- METAL ROOF SET OVER 90 POUND CAP SHEET - REFER TO ROOF PLAN FOR SPECIFICATIONS. SEE DETAIL.
- G.I. WEEP SCREED AT PERIMETER OF BUILDING SHALL BE PLACED A MINIMUM OF 4" ABOVE THE EARTH OR 2" MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER SHALL BE NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED, 2015 IRC 317.1 (5). SEE DETAILS THROUGH 3,4A5.3 & 4.
- SES LOCATION BEYOND SCREEN WALL
- WINDOW POST SHALL BE CLAD IN BRASS METAL TO MATCH WINDOW FRAMES. POST SHALL LOOK LIKE INTEGRAL PART OF THE WINDOW ASSEMBLY.
- THE SES PANEL SHALL BE SCREENED BY A SOLID WALL AND SOLID GATE THAT ARE A MINIMUM OF 4" TALLER THAN THE HIGHEST POINT OF THE SES PANEL. THE CONTRACTOR SHALL INSTALL THE SES PANEL AS LOW AS ALLOWED BY BUILDING CODE AND APS IN AN EFFORT TO MINIMIZE THE HEIGHT OF THE SCREEN WALL. THE CONTRACTOR SHALL VERIFY COMPLIANCE DURING CONSTRUCTION. FAILURE TO COMPLY WILL RESULT IN THE WORK HAVING TO BE REDONE UNTIL COMPLIANCE IS ACHIEVED REGARDLESS OF COST OR DELAY.
- EXTERIOR EQUIPMENT INCLUDING BUT NOT LIMITED TO HVAC EQUIPMENT, POOL EQUIPMENT AND TRASH CANS SHALL BE SCREENED BY A SOLID WALL AND SOLID GATE THAT ARE A MINIMUM OF 12" TALLER THAN THE HIGHEST POINT OF THE EQUIPMENT. THE CONTRACTOR SHALL VERIFY THE HEIGHT OF THE EXTERIOR EQUIPMENT PRIOR TO CONSTRUCTION OF THE SITE WALL TO ENSURE COMPLIANCE DURING CONSTRUCTION. FAILURE TO COMPLY WILL RESULT IN THE WORK HAVING TO BE REDONE UNTIL COMPLIANCE IS ACHIEVED REGARDLESS OF COST OR DELAY.

R312.1 Guards.
Guards shall be provided in accordance with Sections R312.1.1 through R312.1.4.
R312.1.1 Where required.
Guards shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.
R312.1.2 Height.
Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) high measured vertically above the adjacent walking surface, adjacent fixed seating or the line connecting the leading edges of the treads.
R312.1.3 Opening limitations.
Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches (102 mm) in diameter.

WALL MATERIAL PERCENTAGE

	Material Name	Area(in Sq. Ft.)	Percentage
EAST ELEVATION (2026.30 Sq. Ft.)			
1.	Glass	00.00	0.00%
2.	Stone	747.23	36.87%
3.	Metal Siding	928.83	45.84%
4.	Masonry	64.64	3.19%
NORTH ELEVATION (6475.67 Sq. Ft.)			
1.	Glass	2020.61	31.20%
2.	Stone	1640.86	25.33%
3.	Metal Siding	508.28	7.85%
4.	Masonry	344.50	5.32%
SOUTH ELEVATION (3403.24 Sq. Ft.)			
1.	Glass	368.191	10.82%
2.	Stone	677.69	19.91%
3.	Metal Siding	84.05	2.46%
4.	Masonry	0.00	0.00%
WEST ELEVATION (1469.53 Sq. Ft.)			
1.	Glass	0.00	0.00%
2.	Stone	612.56	41.68%
3.	Metal Siding	602.58	41.00%
4.	Masonry	0.00	0.00%
TOTAL (13374.74 Sq. Ft.)			
1.	Glass	2388.80	17.86%
2.	Stone	3678.34	27.50%
3.	Metal Siding	2123.74	15.87%
4.	Masonry	409.14	3.05%

MATERIAL LIST

- A. RICO STACK STONE VENEER
- B. MATTE BLACK METAL SIDING
- C. DRYWALL: 5/8" GYP. BOARD SCREWED IN PLACE SMOOTH WALL LEVEL 5 FINISH PAINT OR SPECIALTY WALL PRODUCT BY INT. DESIGNER.
- D. WINDOWS: WESTERN WINDOW COMPANY IN DARK BRONZE ANODIZED FINISH
- E. ROOFING: MATTE ZINC ORRE STANDING SEAM
- F. TRENWYTH MASONRY IN CHARCOAL COLOR

Scale : As indicated
SITE ELEVATIONS



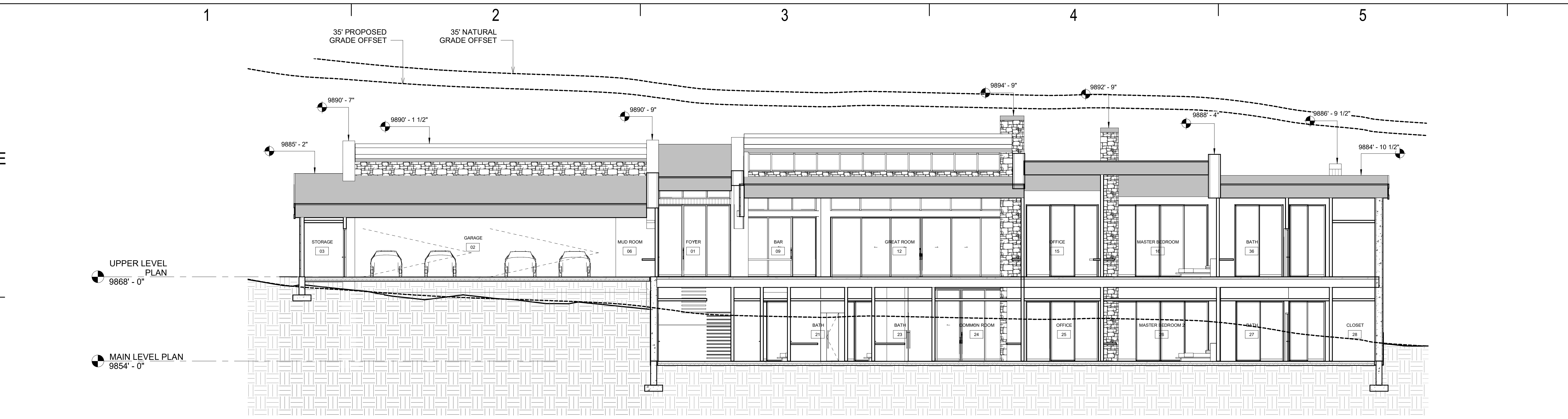
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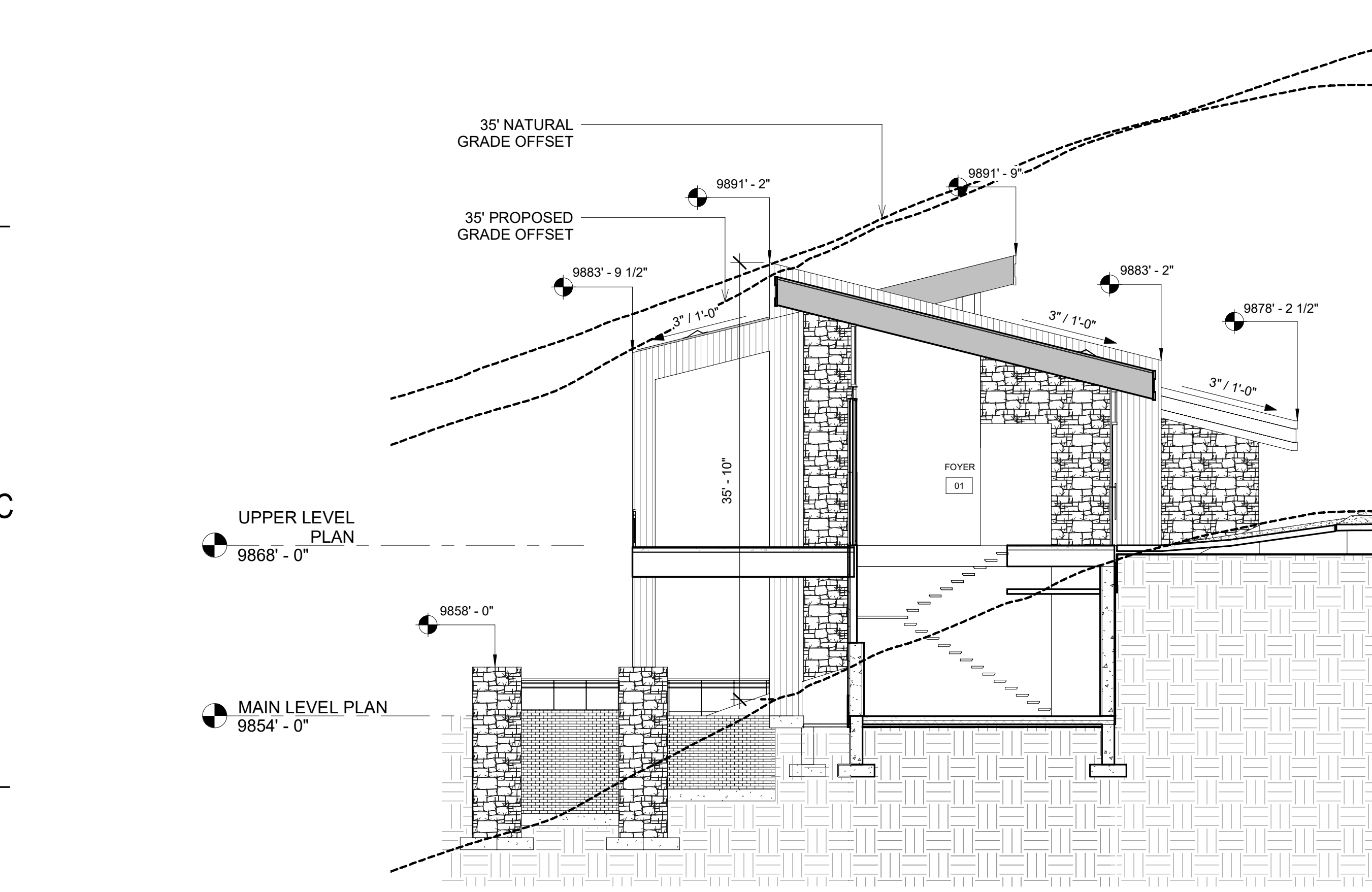
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SECTION NOTES:

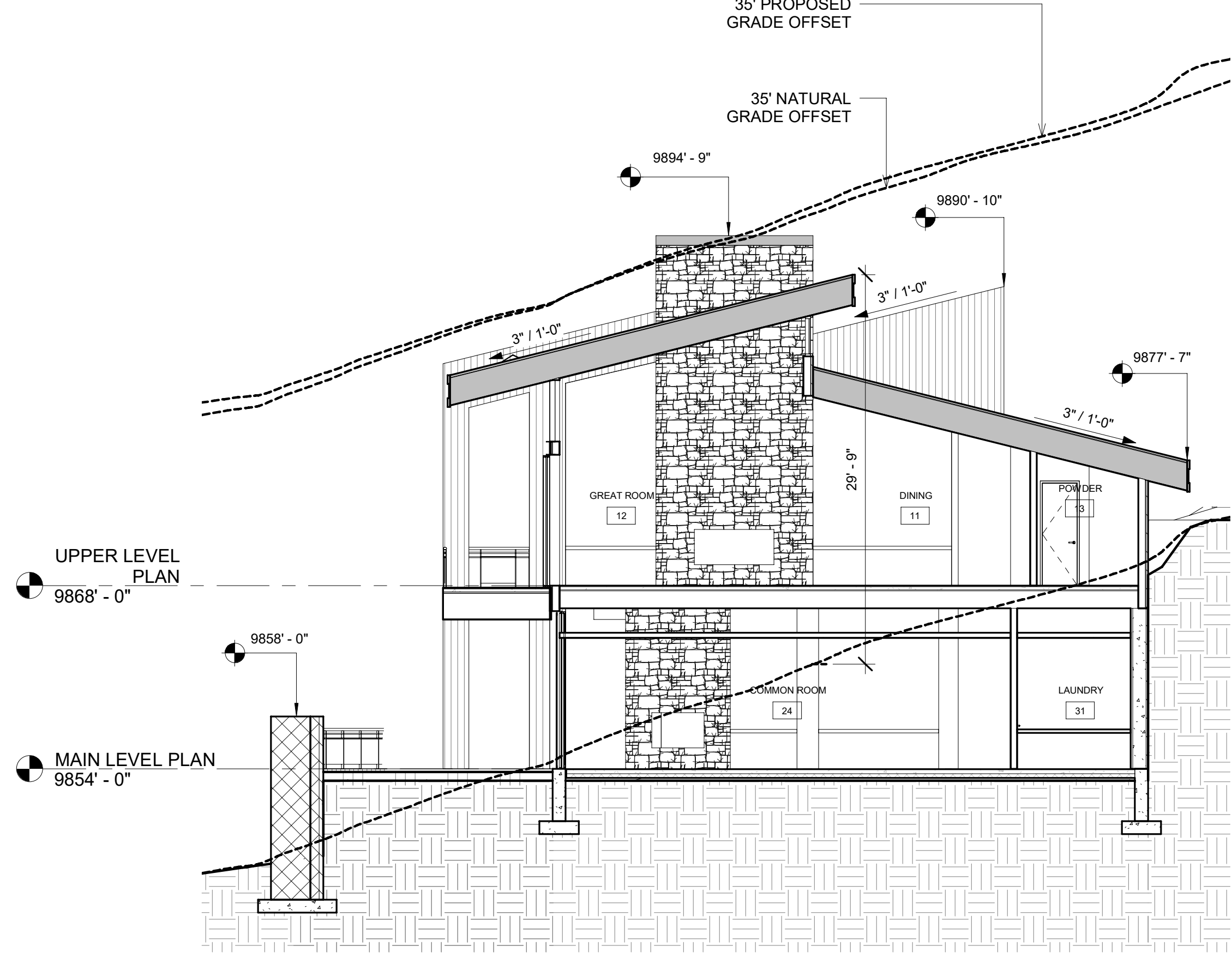
- ALL AIR DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 26 GAUGE MINIMUM. IRC R302.5.2.
- FIRE BLOCKING SHALL BE INSTALLED AT THE LOCATIONS SPECIFIED IN IRC R302.1.1, INCLUDING: CONCEALED SPACES OF STUD WALLS AND PARTITIONS, FLOOR AND CEILING AT 10 FT. MAXIMUM INTERVALS BOTH VERTICALLY AND HORIZONTALLY, INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, CONCEALED SPACE BETWEEN STAIR STRINGERS AT TOP AND BOTTOM RUN, AND AT OPENINGS AROUND VENTS, PIPES, DUCTS, AND CHIMNEYS.
- NO COMBUSTIBLE MATERIALS SHALL BE LESS THAN 12" OF FIREPLACE OPENINGS PER IRC R1001.9 THRU R1001.11.
- TYPICAL EXTERIOR AND INTERIOR WALL CONSTRUCTION TO BE 2X6 STUDS @ 16" O.C. UNLESS DIMENSIONS OR NOTED OTHERWISE. ALL EXTERIOR WALLS TO RECEIVE 1/2" OSB SHEAR WALL FRAMING TO BE DONE PER STRUCTURAL DRAWINGS AND SPECS.
- 5/8" TYPE 'X' GYPSUM BOARD SCREWED IN PLACE. CONTRACTOR TO INSTALL PER IRC R702.3
- WALL AND CEILING/FLOOR INSULATION TO BE 'ISYNEUM' SPRAY FOAM R-21 AND R-38 MINIMUM RESPECTIVELY PER ICC-ESR 1826.
- ROOF TRUSSES. REFER TO TRUSS MANUFACTURER'S CALCULATIONS AND SHOP DRAWINGS FOR DEPTH AND TYPE. TRUSSES TO BE INSTALLED PER STRUCT. ENGINEER'S SPECS / DETAILS AND PER TRUSS MANUFACTURER'S SHOP DRAWINGS AND WRITTEN INSTRUCTIONS.
- EXTERIOR BRICK VENEER. CONTRACTOR TO INSTALL PER IRC CHAPTER 7, TABLE R703.4 AND FIGURE R703.7.
- WESTERN ONE KOTE PRE-BLENDED EXTERIOR PORTLAND CEMENT PLASTER SMOOTH HAND TROWEL FINISH. SERNERLASTIC FINE FINISH. CONTRACTOR TO INSTALL PER IRC R703.6.
- METAL BATTEN ROOF. REFER ROOF PLAN FOR SPECIFICATIONS. HIGH TEMP. UNDERLAYMENT SYSTEM. PROVIDE INSTALLATION COMPLETE WITH ALL ROOF TO WALL FLASHING AND GANT STRIPS. PROVIDE FLASHING AT ALL ROOF CAPS AND ROOF PENETRATIONS.
- RESR-1274 OR APPROVED EQUAL. INSTALL PER MANUFACTURER SPECIFICATIONS. ROOF SHALL HAVE A CLASS 'A' FIRE RATING LABEL.
- SPARK ARRESTOR. SPARK ARRESTOR TO COMPLY WITH ALL REQUIREMENTS UNDER IRC R 1003.9.1 INSTALLED PER MANUFACTURER'S SPECS.
- G.I. WEEP SCREED AT PERIMETER OF BUILDING SHALL BE PLACED A MINIMUM OF 4" ABOVE THE EARTH OR 2" MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER SHALL BE NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED.
- DRAPERY POCKET. SINGLE LUTRON ROLLER SHADE. PROVIDE 6"X8" FRAMED OPENING.
- DRAPERY POCKET. DOUBLE LUTRON ROLLER SHADES W/BLACKOUT. PROVIDE 8"X12" FRAMED OPENING.
- FORCED AIR PLATFORM @ +18" A.F.F. HOLD PLATFORM AWAY FROM INTERIOR WALLS MIN. 2" TO MINIMIZE SOUND ATTENUATION.
- RECESSED OPENING FOR FLAT PANEL TELEVISION. CONTRACTOR TO VERIFY OPENING PER TELEVISION SPECIFICATIONS.
- RAISED HEARTH W/ NON COMBUSTIBLE FINISHED MATERIAL PER INTERIOR SPECIFICATIONS. RAISED HEARTH TO COMPLY WITH IRC SECTIONS R1001.9 & R1001.10
- DWELLING/GARAGE FIRE SEPARATION - 5/8" TYPE 'X' GYP. BOARD @ WALLS AND CEILING. CONTRACTOR TO INSTALL PER IRC 2015 R302.6.
- 5/8" TYPE 'X' GYP. BOARD APPLIED TO THE UNDERSIDE OF AN ENCLOSED ACCESSIBLE STAIRWAY PER IRC R302.7.
- 4" CONCRETE ON 4" A.B.C. ON NATURAL GRADE STRIP A MIN. 12" DOWN AND FILL WITH ENGINEERED NON-EXPANSIVE ENGINEERED COMPACTED SOIL TO MIN. 95% COMPACTION
- FOAM PLASTICS SHALL BE SEPARATED FROM ATTICS AND CRAWL SPACES. (R314.2.3).



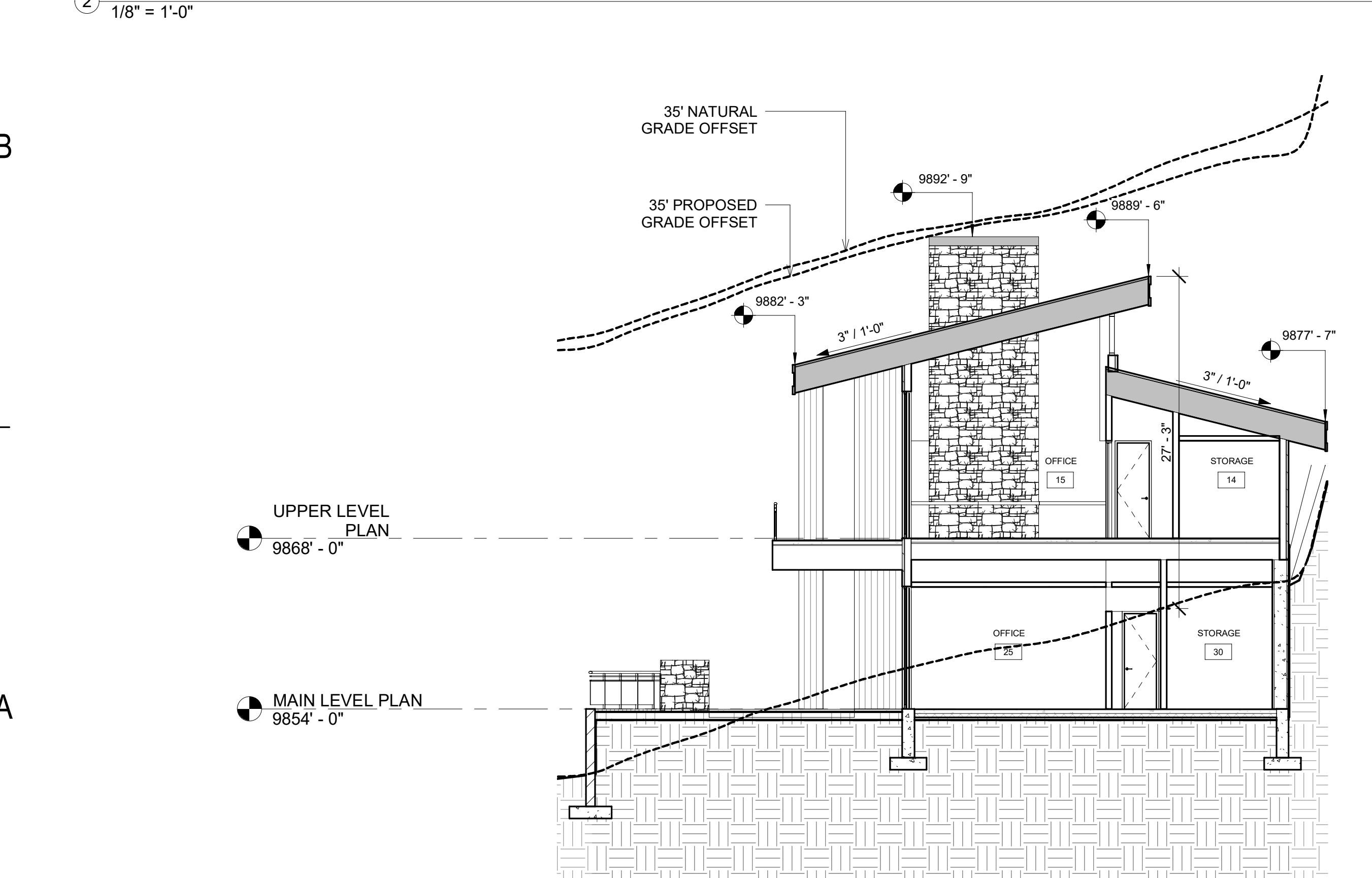
SECTION 01
1/8" = 1'-0"



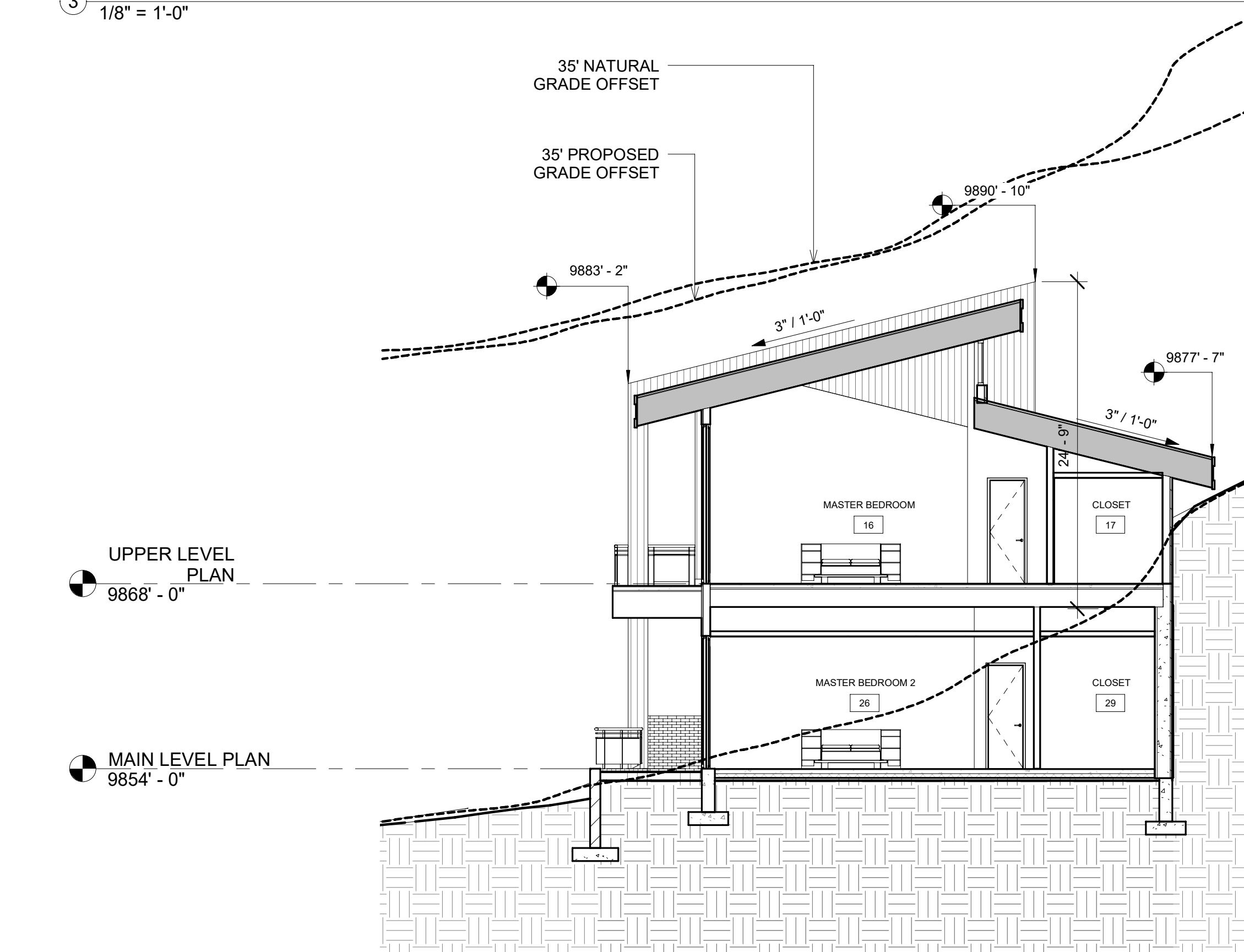
SECTION 02
1/8" = 1'-0"



SECTION 03
1/8" = 1'-0"

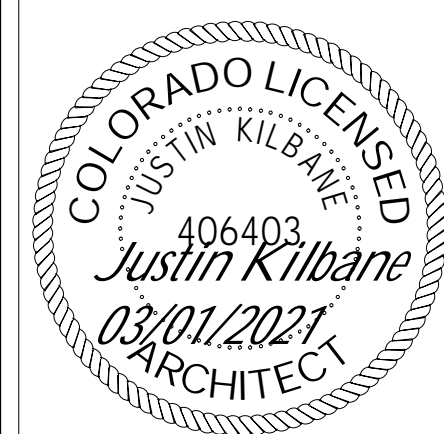


SECTION 04
1/8" = 1'-0"



SECTION 05
1/8" = 1'-0"

Scale: 1/8" = 1'-0"
SECTIONS



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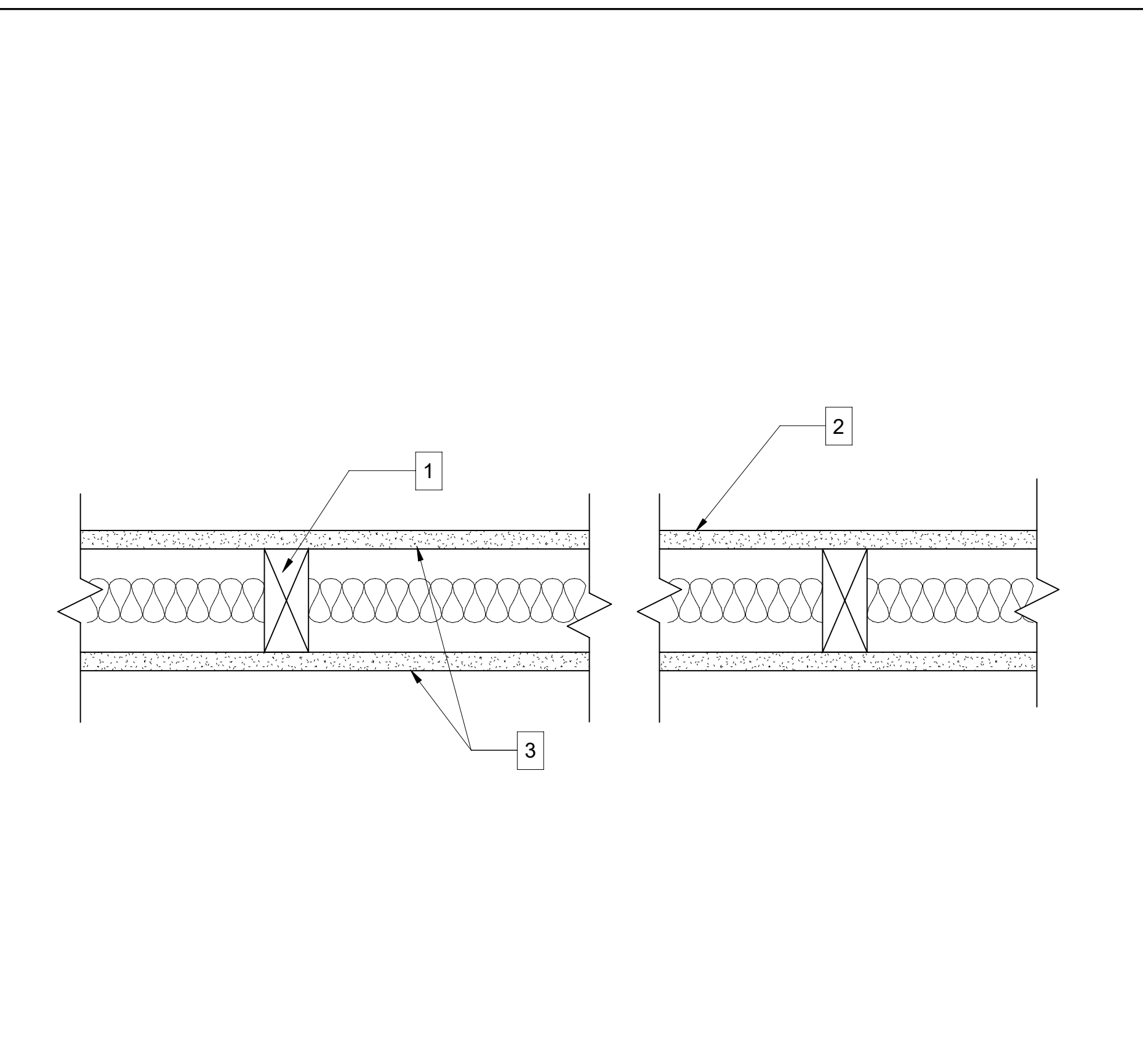


1 SECTION THROUGH GARAGE DOOR
3/4" = 1'-0"

2 SECTION THROUGH GUEST BED ROOM
3/4" = 1'-0"

3 SECTION THROUGH MASTER BED
3/4" = 1'-0"

Scale : 3/4" = 1'-0"
WALL SECTIONS

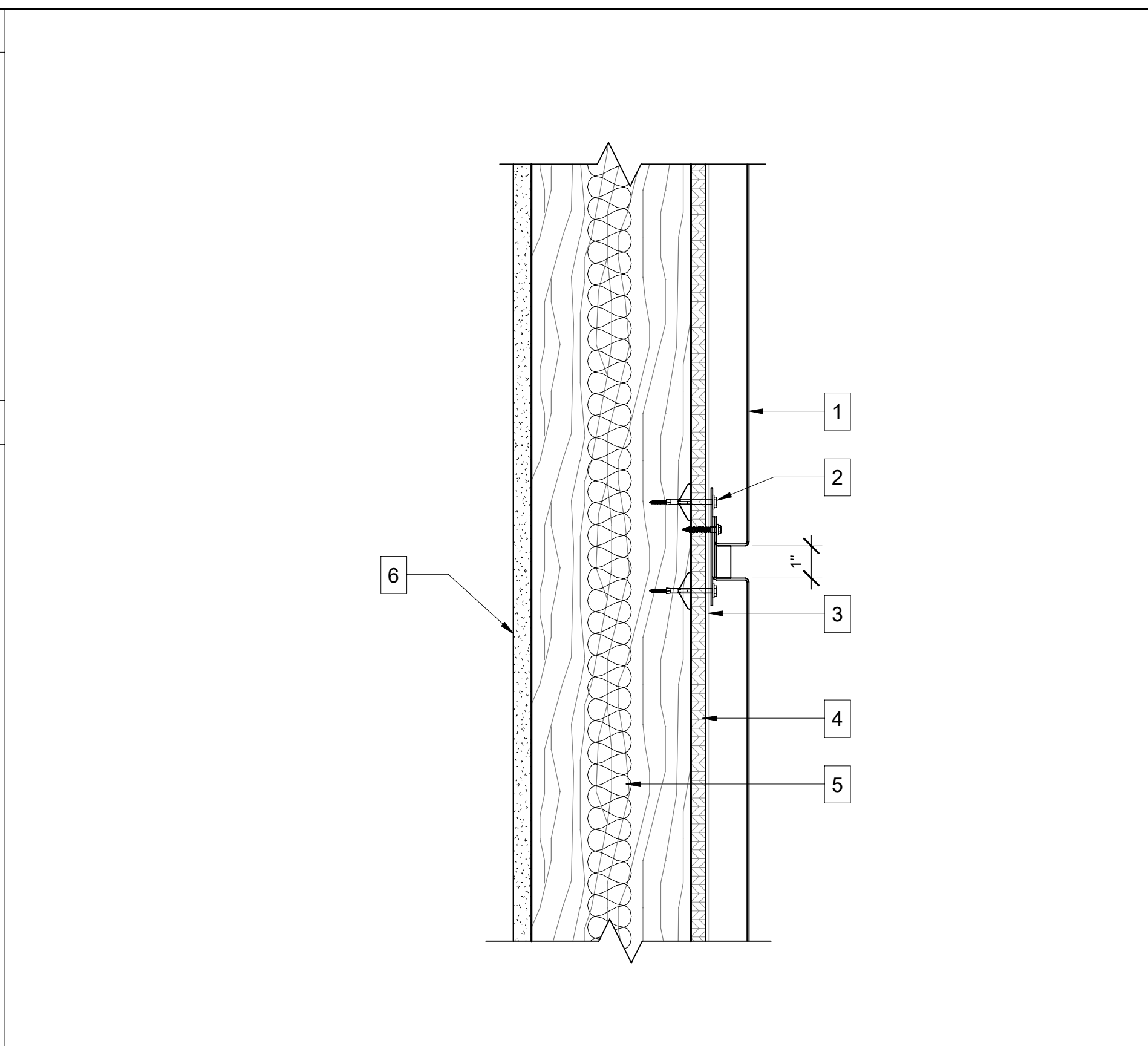


GENERAL NOTES

KEY NOTES

- 2x WALL FRAMING PER PLANS
- 5/8" TYPE 'X' GYP. BD. BOTH SIDES
- (1) LAYER 5/8" TYPE 'X' GYP. BD. APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF 2x WOOD FRAMING W/ 6d COATED NAILS 17/8" LONG, .0915" SHANK, 1/4" HEADS, @ 7" O.C. JOINTS STAGGERED 24" ON OPPOSITE SIDES (LOAD BEARING)

01 1 HOUR RATED FIRE WALL

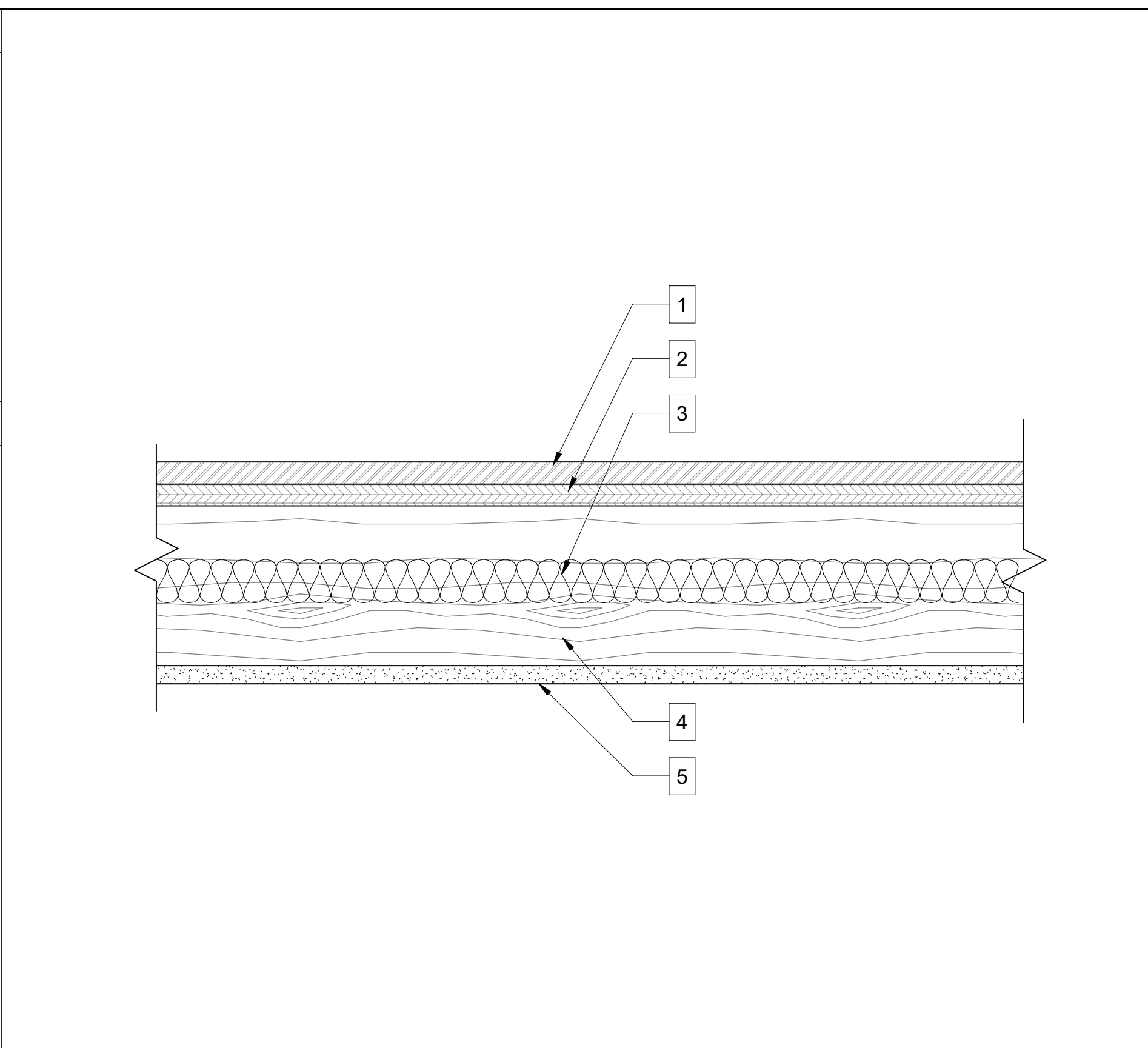


GENERAL NOTES

KEY NOTES

- METAL PANEL
- S.S. FASTENER W/ NEOPRENE WASHER
- TYVEK WEATHER RESISTIVE BARRIER
- FRAMING/SHEATHING PER STRUCTURAL
- R-21 OR BETTER INSULATION
- 5/8" GYP. BD.

02 METAL PANEL WALL ASSEMBLY

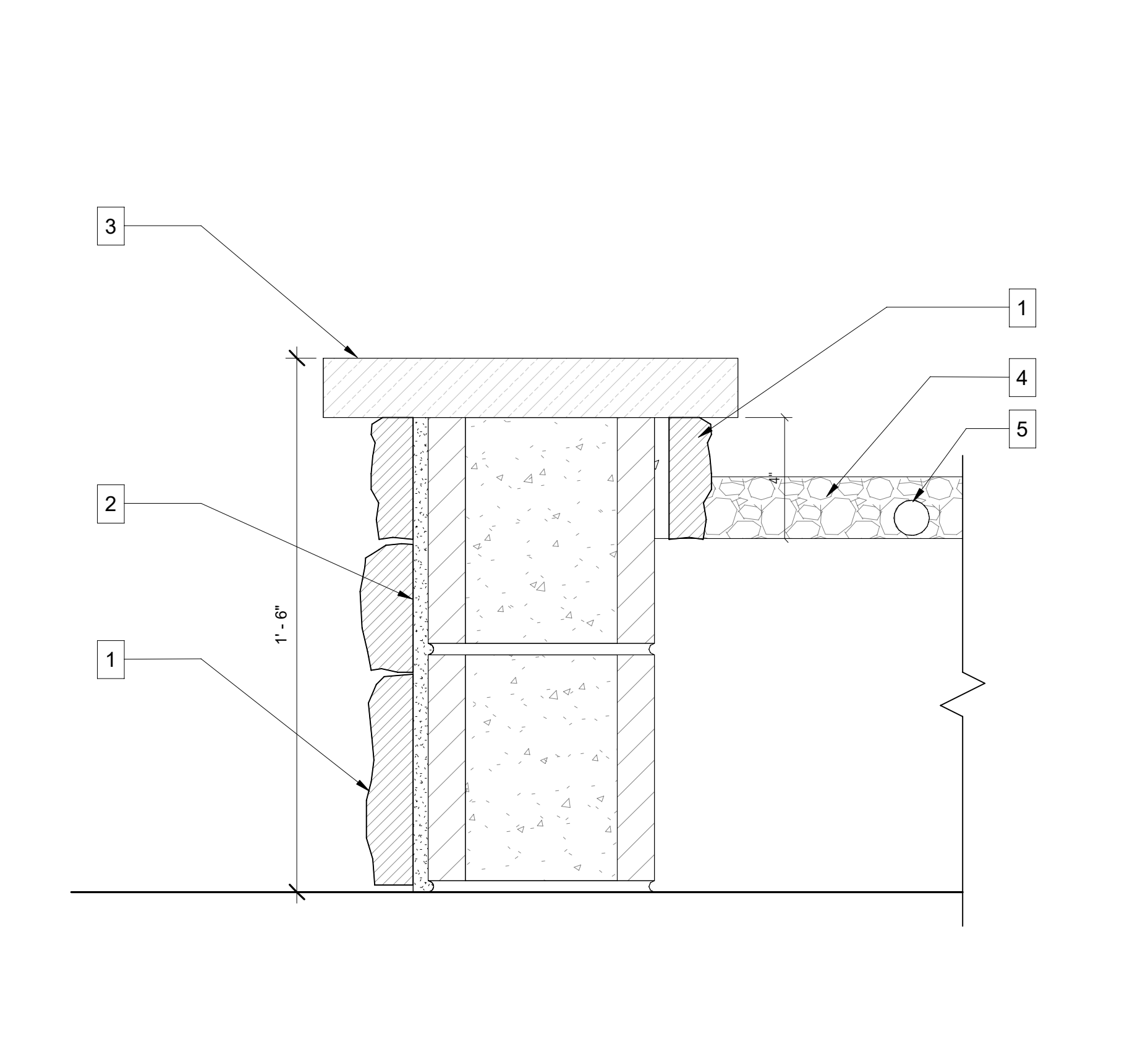


GENERAL NOTES

KEY NOTES

- FLOOR FINISH MATERIAL PER PLANS
- FLOOR FINISH SUBSTRATE PER PLANS
- R-21 OR BETTER INSULATION
- FRAMING PER STRUCTURAL
- 5/8" TYPE 'X' GYP. BD. FIRE SEPARATION

03 GARAGE FIRE SEPARATION

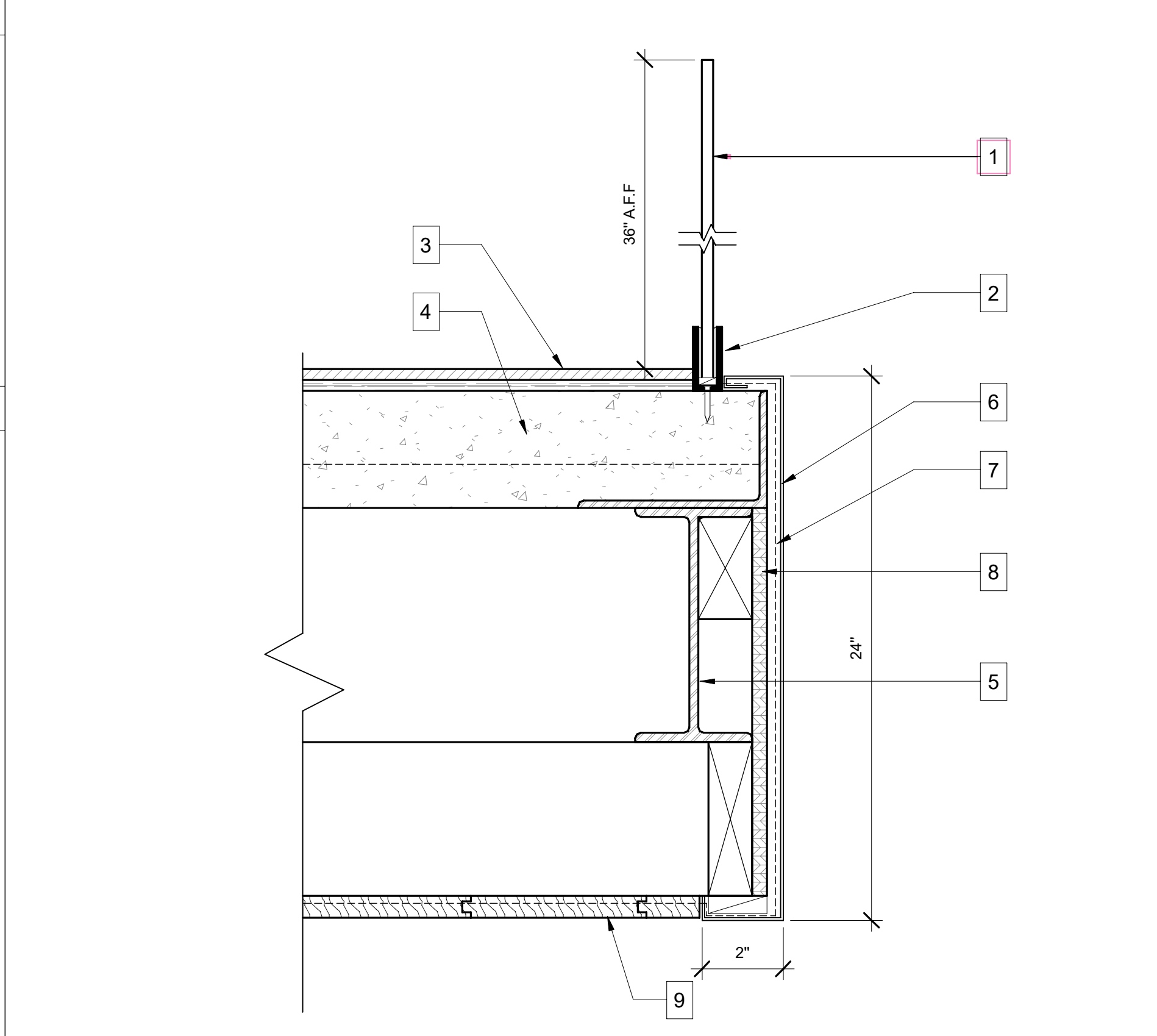


GENERAL NOTES

KEY NOTES

- HOUSE STONE PER PLAN
- CMU WALL
- 2" THICK SLAB CAP
- 2" THICK BRONZE GLASS
- FIRE APPARATUS

04 FIRE FEATURE

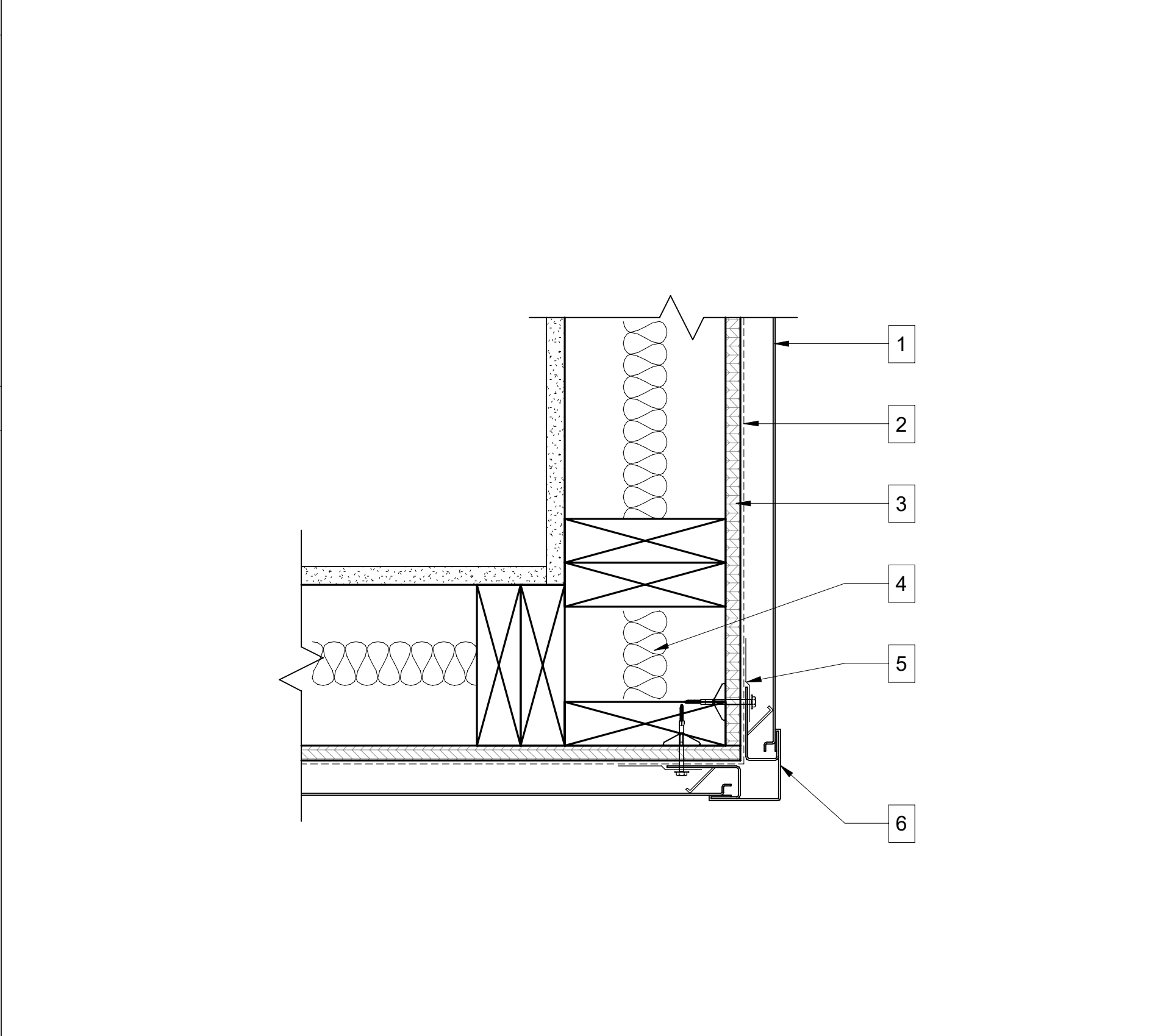


GENERAL NOTES

KEY NOTES

- 3/8" TEMPERED CLEAR GLASS RAILING
- DARK BRONZE ALUM. SHOE
- TILE ON MORTAR BED
- CONC. DECK-SEE STRUCTURAL
- STEEL BEAM-SEE STRUCTURAL
- MATTE BRONZE METAL
- WEATHER RESISTIVE BARRIER
- FRAMING & SHEATHING PER STRUCTURAL
- T&G CEILING PER PLAN
- BLOCKING AS NEED

05 RAILING @ PATIO EDGE

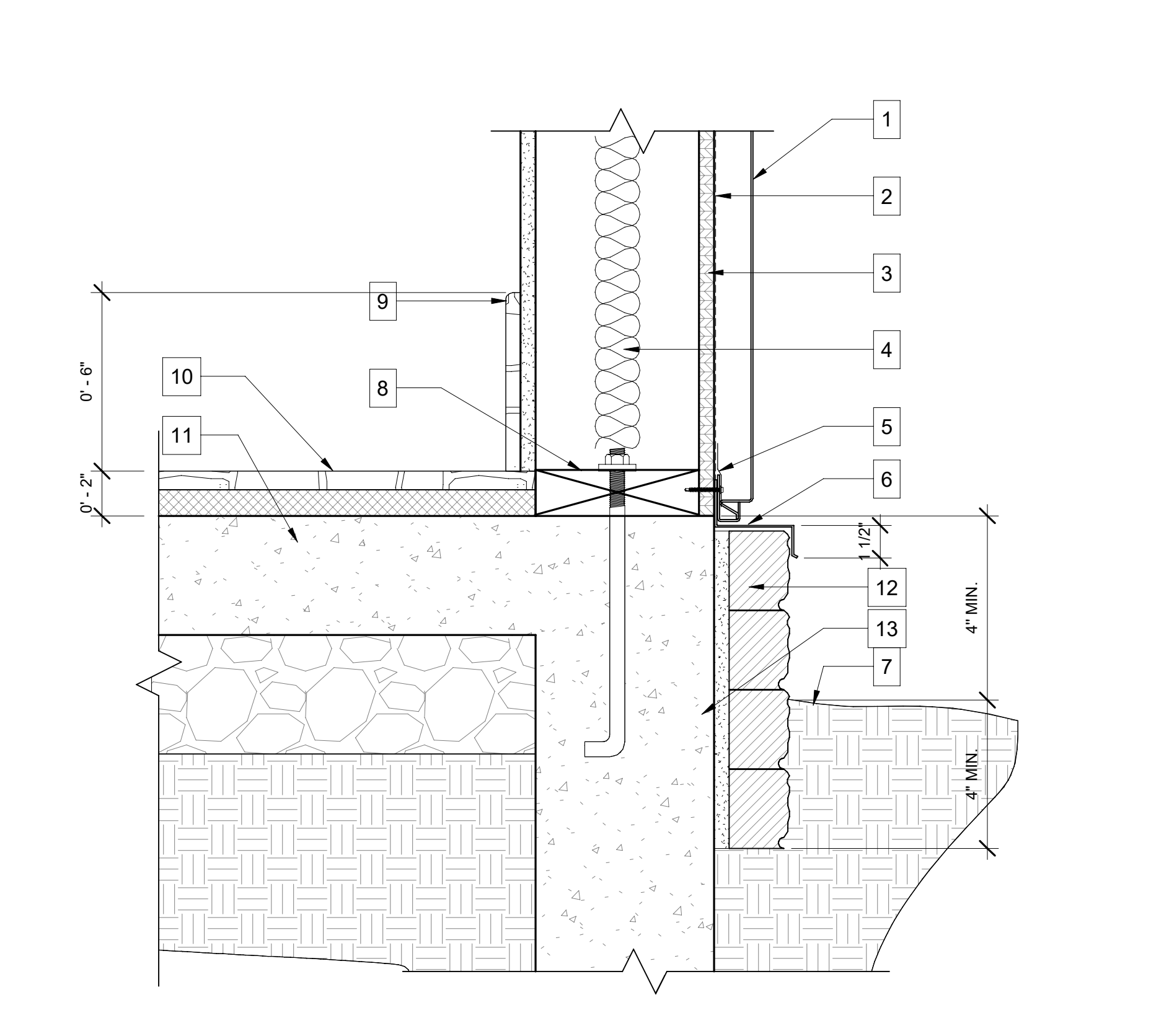


GENERAL NOTES

KEY NOTES

- OCM METAL PANEL ASSEMBLY PER PLANS
- WEATHER RESISTIVE BARRIER
- FRAMING/SHEATHING PER STRUCTURAL
- R-19 OR BETTER INSULATION
- TAPE SEAL
- OCM METAL OUTSIDE CORNER FLASHING

06 METAL PANEL OUTSIDE CORNER

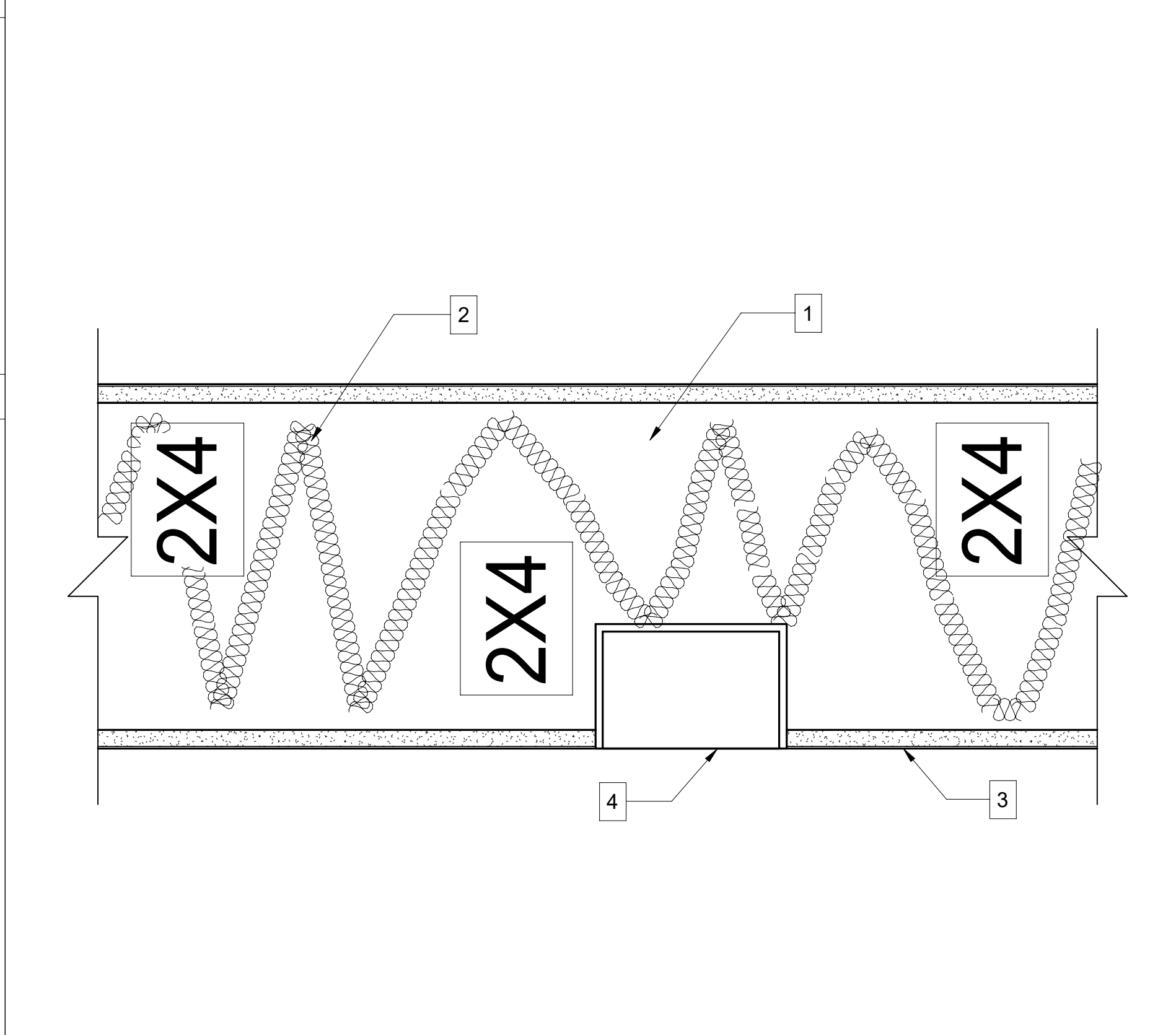


GENERAL NOTES

KEY NOTES

- METAL PANEL ASSEMBLY PER PLANS TO STEP MAX 4" ABOVE FINISHED GRADE AS SITE SLOPES.
- GRACE ULTRA WEATHER RESISTIVE BARRIER
- FRAMING & SHEATHING PER STRUCTURAL
- R-21 OR BETTER INSULATION
- TAPE SEAL
- FLAT METAL FLASHING.
- FINISHED GRADE PER LANDSCAPING. SLOPE AWAY FROM BUILDING 2%
- PRESSURE TREATED SILL PLATE
- WALL BASE BOARD WHERE OCCURS
- FLOORING AS OCCURS
- CONCRETE SLAB PER STRUCTURAL
- STONE VENEER PER PLAN
- CONCRETE STEM AND FOUNDATION PER STRUCTURAL- CMU @ CONTRACTORS OPTION.

07 PANEL AT GRADE



GENERAL NOTES

SOUND WALLS SHALL BE PROVIDED PER THIS DETAIL AT:

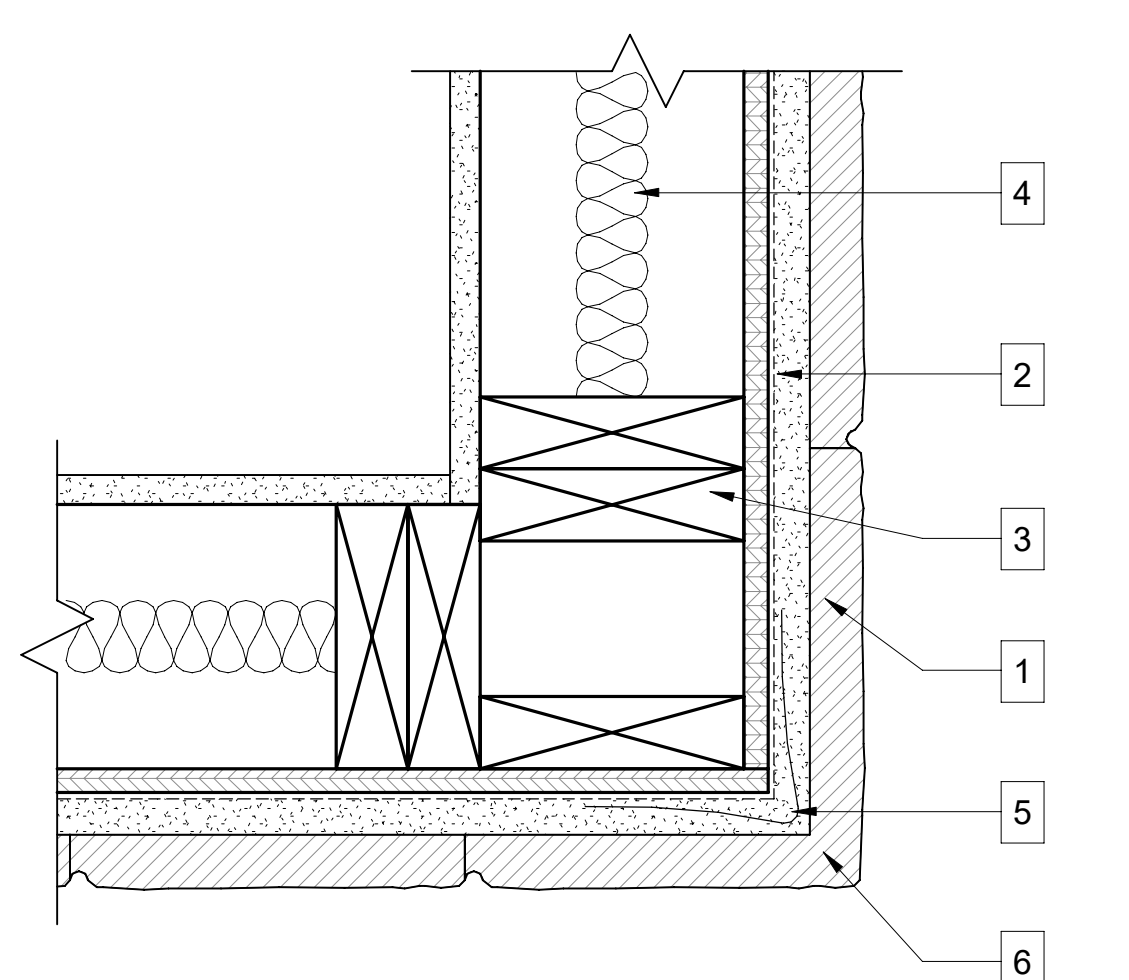
- BATHROOMS.
- MECHANICAL ROOMS.
- LAUNDRY.
- GARAGES.
- PUBLIC AREAS ADJACENT TO BEDROOMS.

KEY NOTES

- 2X6 PLATTED WALL WITH 2X4 STAGGERED STUDS.
- WRAP BATT INSULATION BETWEEN STAGGERED STUDS.
- 1/2" SOUND BOARD.
- FOAM FILL ANY ELEC. OR MECH. PENETRATIONS.

08 SOUND WALL

Scale : 3" = 1'-0"
WALL DETAILS

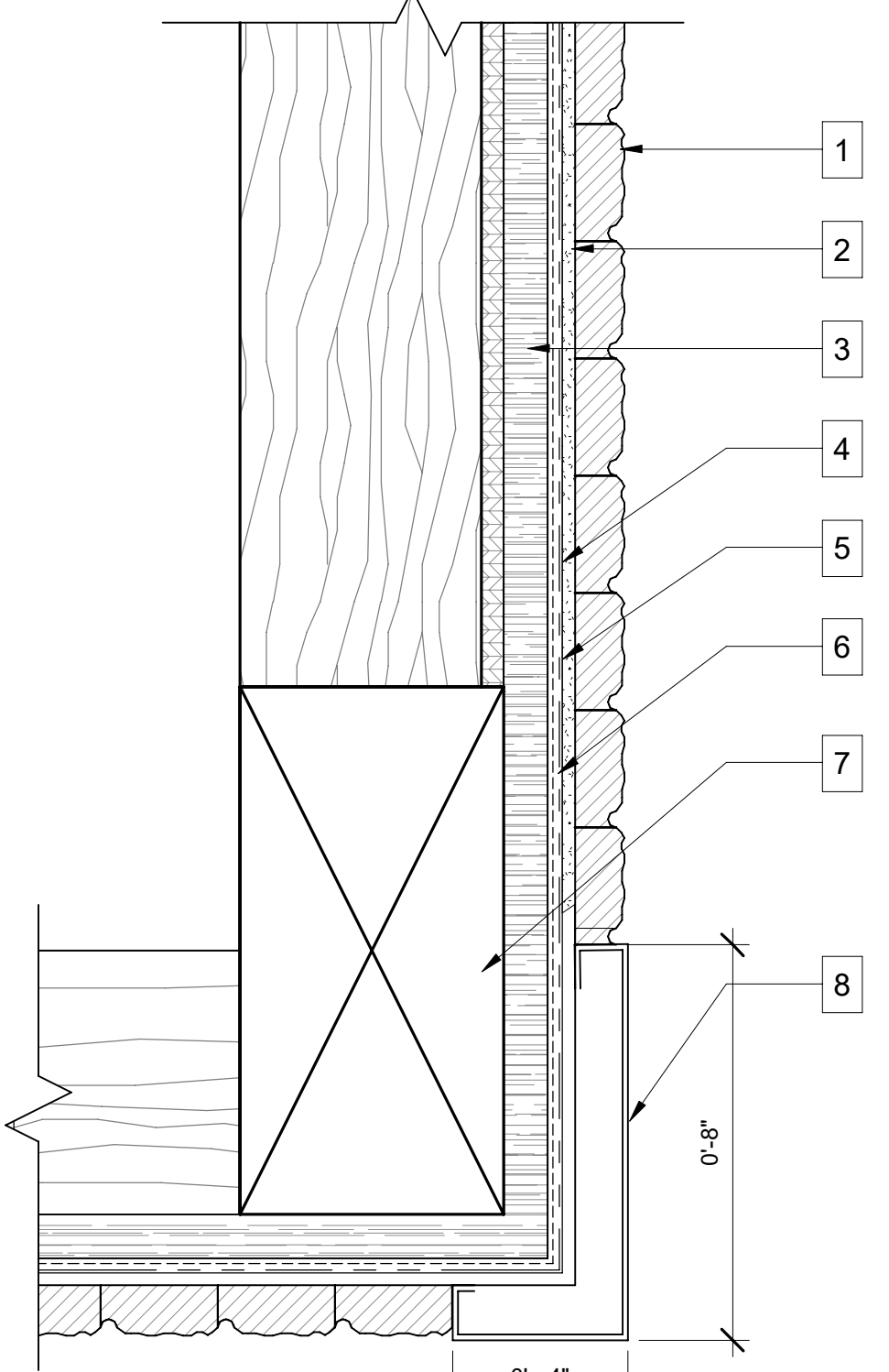


GENERAL NOTES

KEY NOTES

1. STONE WALL ASSEMBLY PER PLANS
2. WEATHER RESISTIVE BARRIER
3. FRAMING & SHEATHING PER PLANS AND STRUCTURAL
4. R-21 OR BETTER INSULATION
5. EXPANDED CORNER BEAD
6. 4" CUT L CORNER TYP.

01 STONE OUTSIDE CORNER

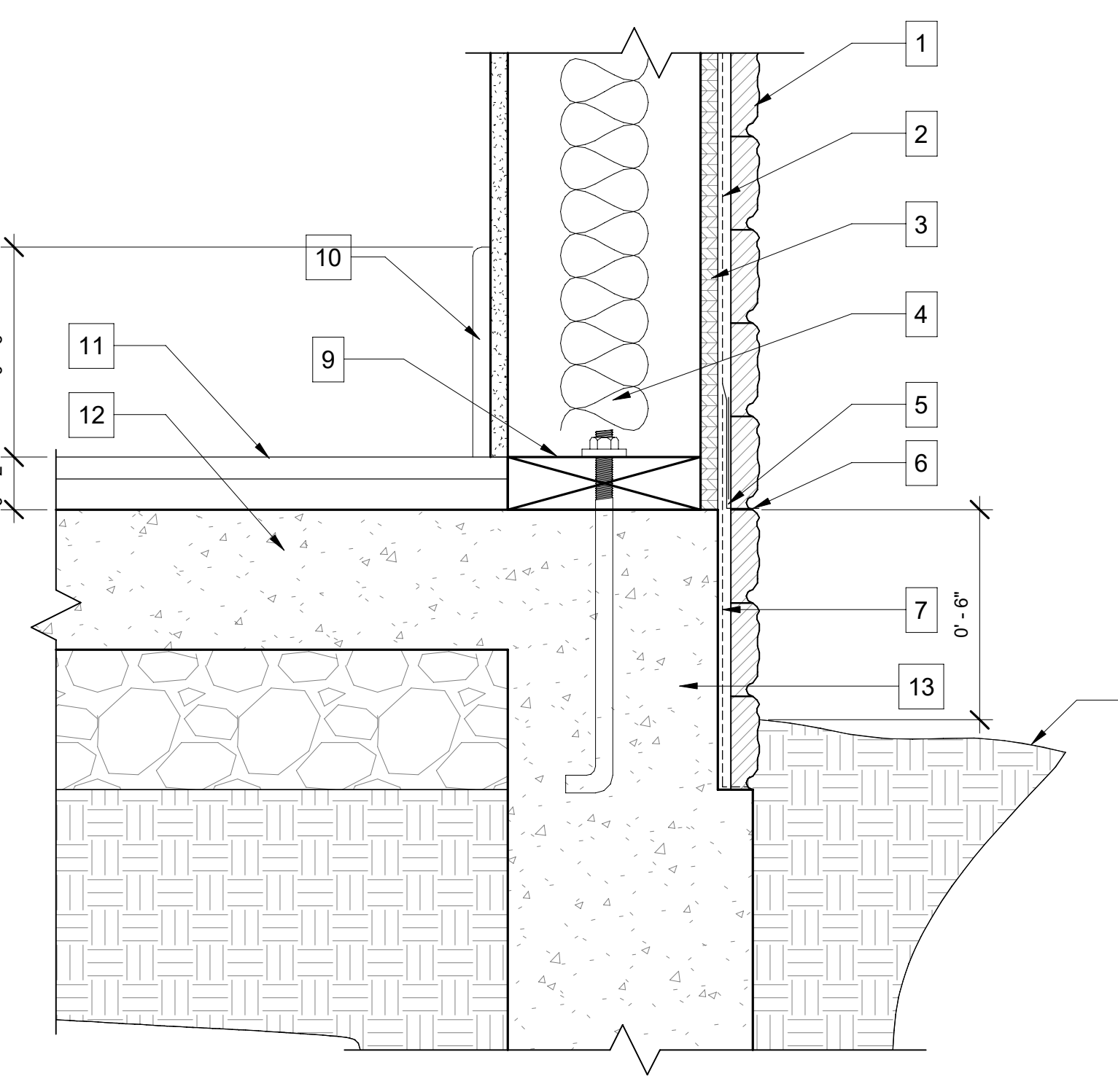


GENERAL NOTES

KEY NOTES

1. STONE VENEER. SEE SPECIFICATIONS
2. MORTAR BED
3. 2X WALL PER PLAN.
4. VERSA BOND SCRATCH COAT W/ HORIZONTAL RAKE
5. SELF-FURRING GALVANIZED METAL LATH
6. GRACE ULTRA BITUTHENE WEATHER RESISTIVE BARRIER
7. FRAMING & SHEATHING PER STRUCTURAL
8. 8" TALL METAL PANEL CORNER LINTEL TO EXTEND 4" PAST OPENING EACH WAY.

02 STONE SILL AT OPENING

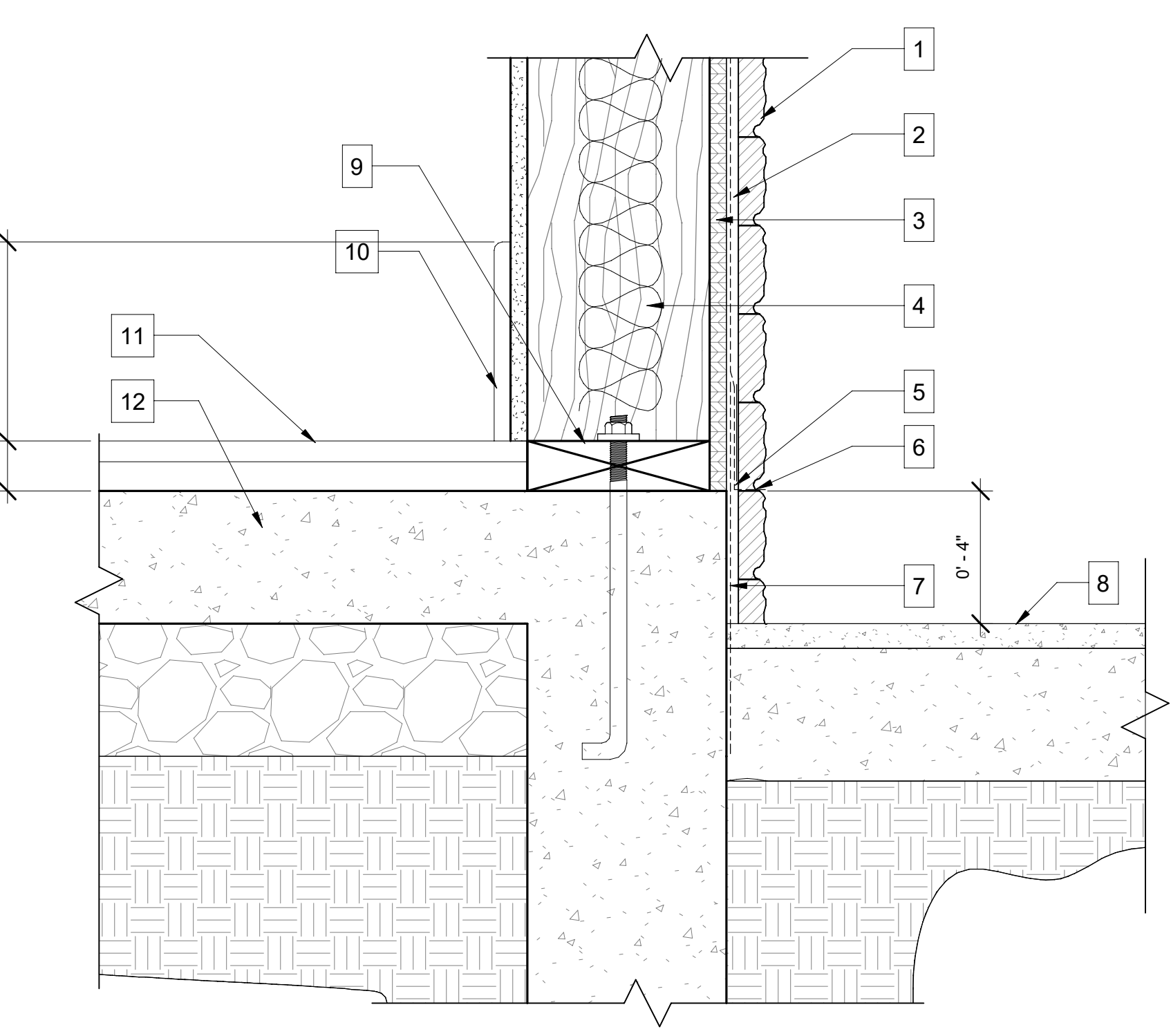


GENERAL NOTES

KEY NOTES

1. STONE WALL ASSEMBLY PER PLANS
2. GRACE ULTRA WEATHER RESISTIVE BARRIER
3. FRAMING & SHEATHING PER STRUCTURAL
4. R-21 OR BETTER INSULATION
5. WEEP SCREED
6. WEEP HOLE
7. SELF-ADHERED FLASHING
8. FINISHED GRADE PER LANDSCAPING. SLOPE AWAY FROM BUILDING 2%
9. PRESSURE TREATED SILL PLATE
10. WALL BASE BOARD WHERE OCCURS
11. FLOORING AS OCCURS
12. CONCRETE SLAB PER STRUCTURAL
13. CONCRETE STEM AND FOOTING PER STRUCTURAL- CMU @ CONTRACTORS OPTION

03 STONE AT GRADE

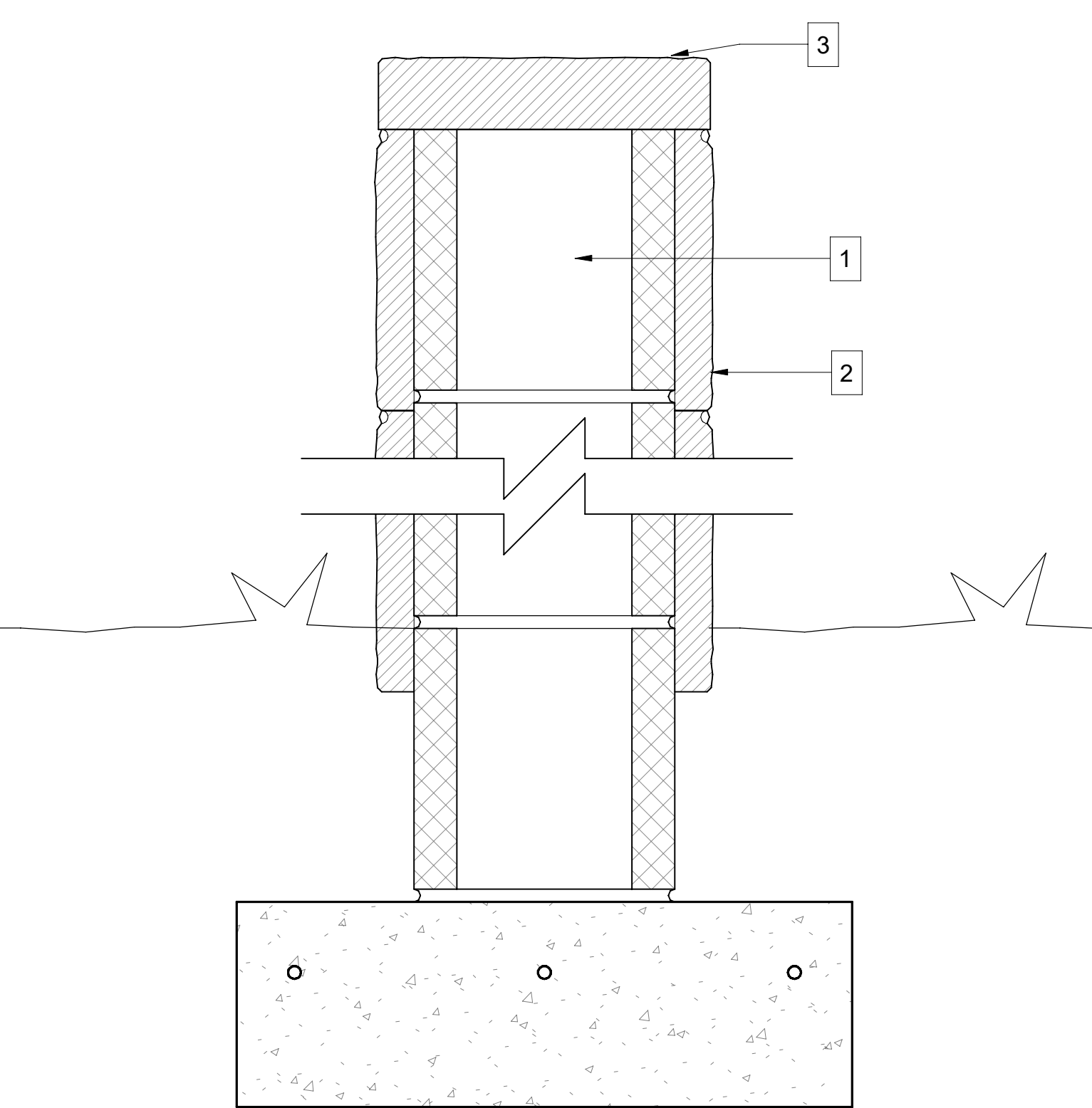


GENERAL NOTES

KEY NOTES

1. STONE WALL ASSEMBLY PER PLANS
2. GRACE ULTRA WEATHER RESISTIVE BARRIER
3. FRAMING & SHEATHING PER STRUCTURAL
4. R-21 OR BETTER INSULATION
5. WEEP SCREED
6. WEEP HOLE
7. SELF-ADHERED FLASHING
8. HARDSCAPE PER PLANS. SLOPE AWAY FROM BUILDING 2%
9. PRESSURE TREATED SILL PLATE
10. WALL BASE BOARD WHERE OCCURS
11. FLOORING AS OCCURS
12. CONCRETE SLAB PER STRUCTURAL
13. CONCRETE STEM @ FOOTING PER STRUCTURAL-CMU @ CONTRACTORS OPTION.

04 STONE AT HARDSCAPE



GENERAL NOTES

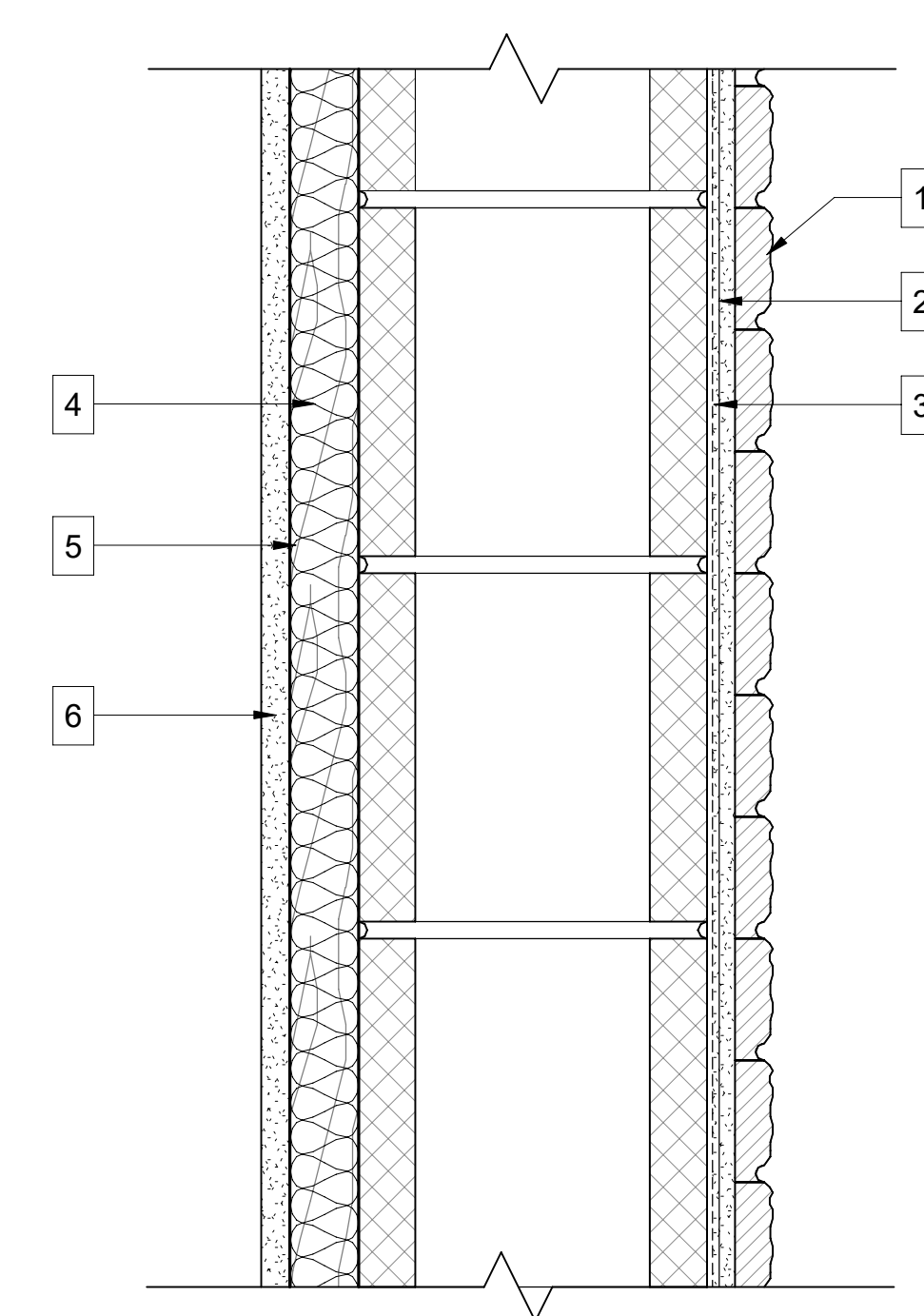
KEY NOTES

1. ALL SITE WALL HEIGHTS SHALL BE VERIFIED BY ARCHITECT.
2. ALL STUCCO SHALL MEET MAG STANDARDS.
3. ALL WALLS WITH EXPOSED MASONRY ENDS SHALL BE 12" BLOCK FOR THICKER APPEARANCE.

KEY NOTES

1. MASONRY SITE WALL PER PLAN.
2. STONE VENEER PER PLAN
3. 2" THICK STONE CAP TO MATCH ALL EXTERIOR STONE.

05 STONE SITE WALL

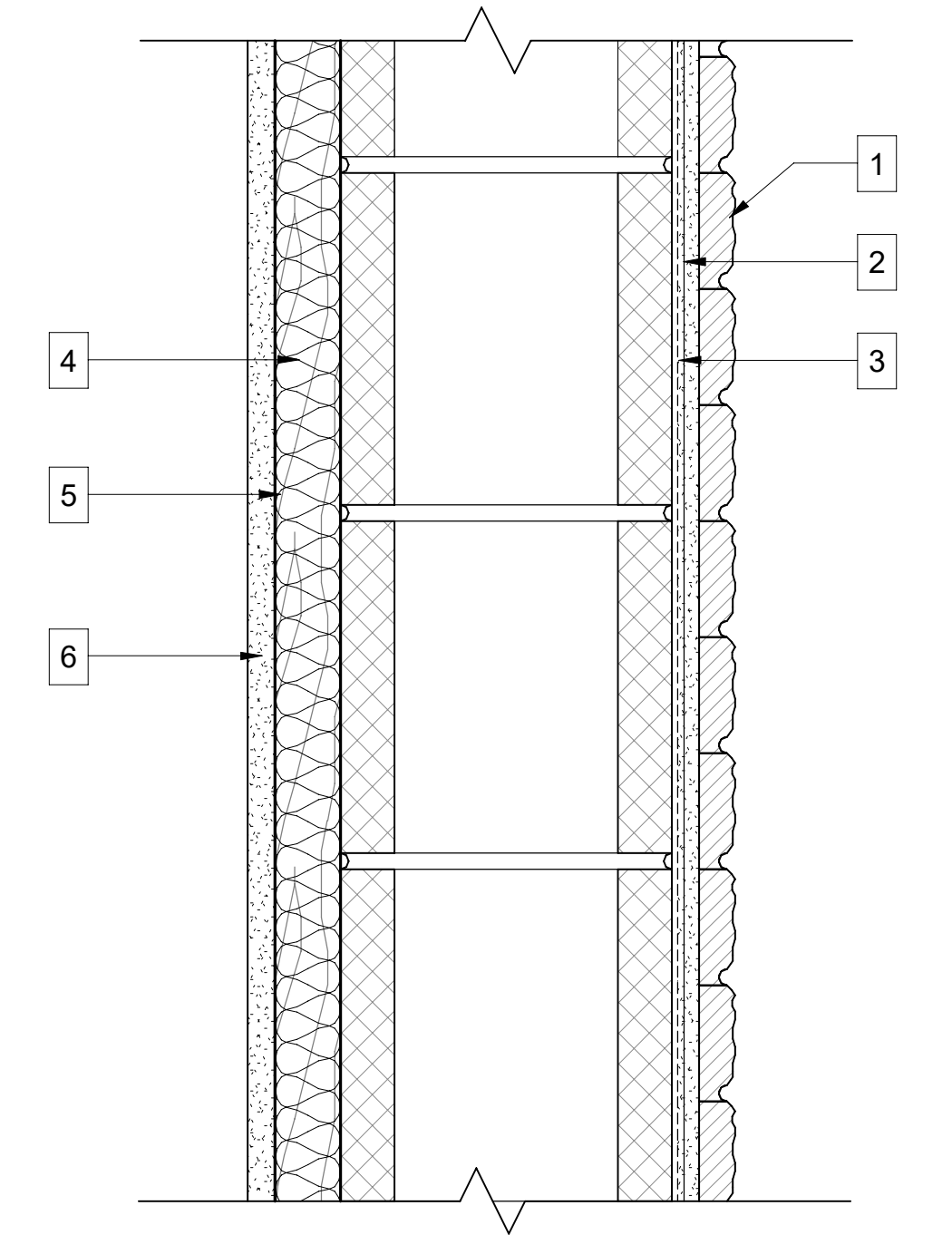


GENERAL NOTES

KEY NOTES

1. STONE VENEER PER PLAN.
2. VERSA BOND SCRATCH COAT.
3. THOROSEAL WATERPROOFING ON MASONRY.
4. SPRAY FOAM INSULATION.
5. 2X4 FURRING NAILED TO BLOCK.
6. 5/8" GYP. BD.

06 MASONRY WALL ASSEMBLY



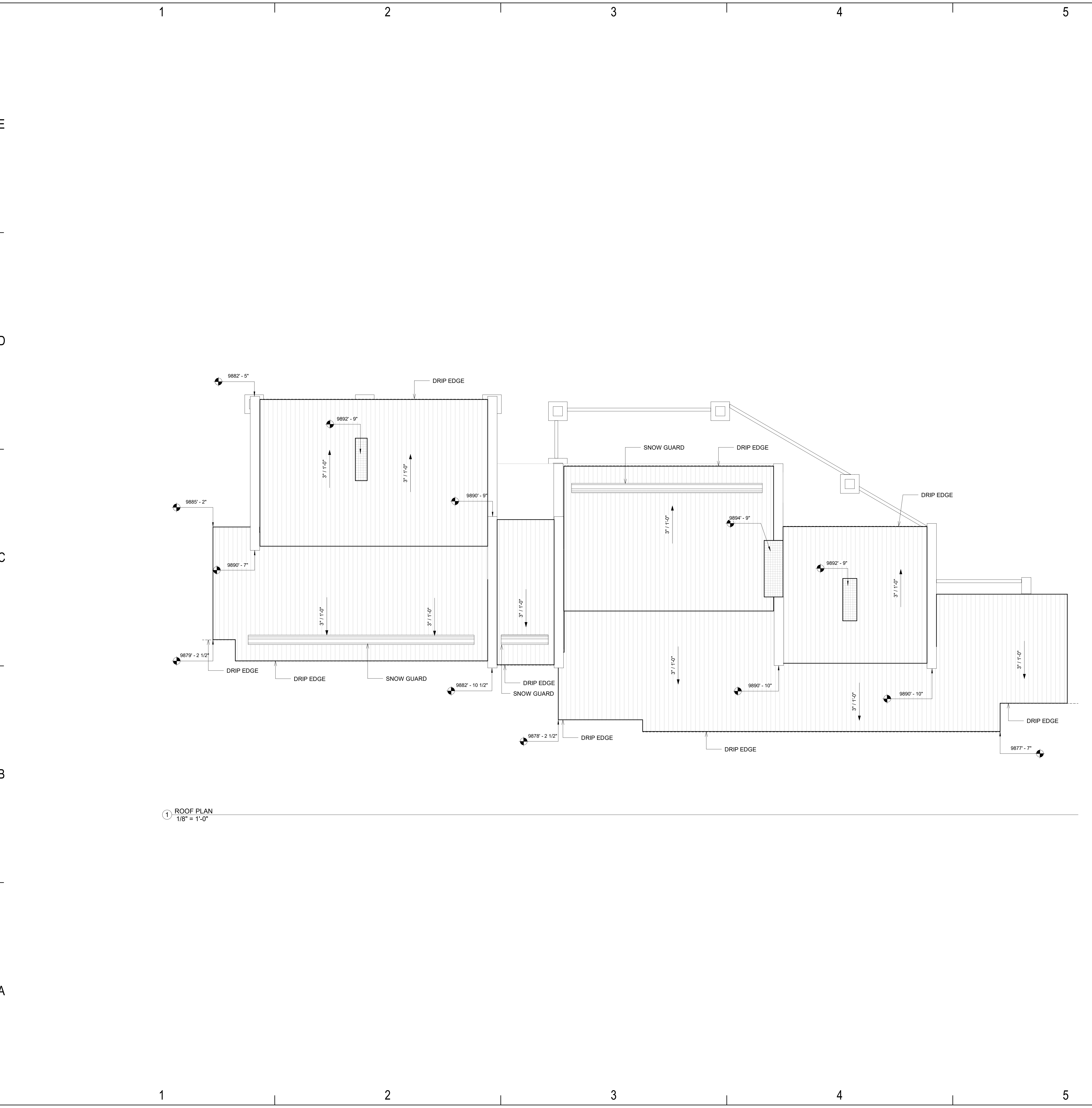
GENERAL NOTES

KEY NOTES

1. STONE VENEER PER PLAN.
2. VERSA BOND SCRATCH COAT.
3. THOROSEAL WATERPROOFING ON MASONRY.
4. SPRAY FOAM INSULATION.
5. 2X4 FURRING NAILED TO BLOCK.
6. 5/8" GYP. BD.

07 STONE WALL ASSEMBLY

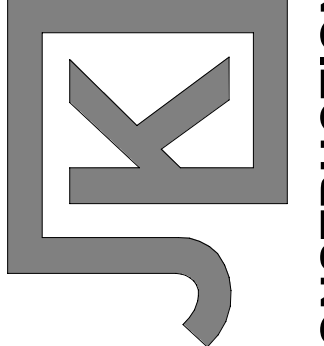
Scale : 3" = 1'-0"
WALL DETAILS



① ROOF PLAN
1/8" = 1'-0"

ROOF PLAN NOTES:

1. METAL BATTEN ROOF INSTALLED PER-CHIMNEY ASSEMBLY W/ APPROVED SPARK ARRESTOR LISTED UL-130. SPARK ARRESTOR TO COMPLY WITH ALL REQUIREMENTS UNDER 2015 IRC R1003.9.1. INSTALL PER MFR SPECS. SEE ARCH. DETAILS FOR CONCEALMENT DESIGN.
2. THE CHIMNEY SHALL TERMINATE A MINIMUM OF 2'-0" ABOVE ANY PART OF THE BUILDING WITHIN A 10'-0" RADIUS.
3. 5/8" CDX PLYWOOD CRICKET WITH MIN. 26 GA SHEET METAL FLASHING WHERE REQUIRED. PROVIDE MINIMUM 1/4" PER FOOT SLOPE ON ALL CRICKETS. MINIMUM SLOPE TO BE 1/4" PER FOOT WITH VALLEY FLASHING AT TRANSITIONS TO MAIN ROOF.
4. A SOLAR-READY ZONE OF NOT LESS THAN 300 SQUARE FEET IS REQUIRED ON THE ROOF EXCLUSIVE OF MANDATORY ACCESS AND SET BACK AREAS AS REQUIRED BY THE INTERNATIONAL FIRE CODE. THE ZONE SHALL BE FREE FROM OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO VENTS, CHIMNEYS, AND ROOF-MOUNTED EQUIPMENT.
5. ALL MECHANICAL ROOF PENETRATIONS SHALL BE LOCATED TO MECHANICAL ROOF WELLS. NO ROOF PENETRATIONS OF ANY TYPE ARE ALLOWED IN A NON-PARAPETTED FLAT ROOF. CONTRACTOR SHALL VERIFY COMPLIANCE DURING CONSTRUCTION.
6. THE TOP AND BOTTOM OF ANY FASCIA MUST REMAIN LEVEL AND HORIZONTAL. THE FASCIA MAY NOT SLOPE, INCLUDING ON ANY EXPOSED SIDES. CONTRACTOR SHALL VERIFY COMPLIANCE DURING CONSTRUCTION.
7. ROOF DRAINS MUST OUTLET NO HIGHER THAN 4" ABOVE FINISHED GRADE.



THE JK COMPANIES

ARCHITECTURE | CONSTRUCTION AND DEVELOPMENT | HOMES AND LAND

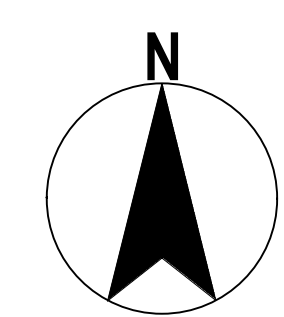
STRIAT - KILBANE RESIDENCE
311 BENCHMARK DRIVE
TELLURIDE, COLORADO



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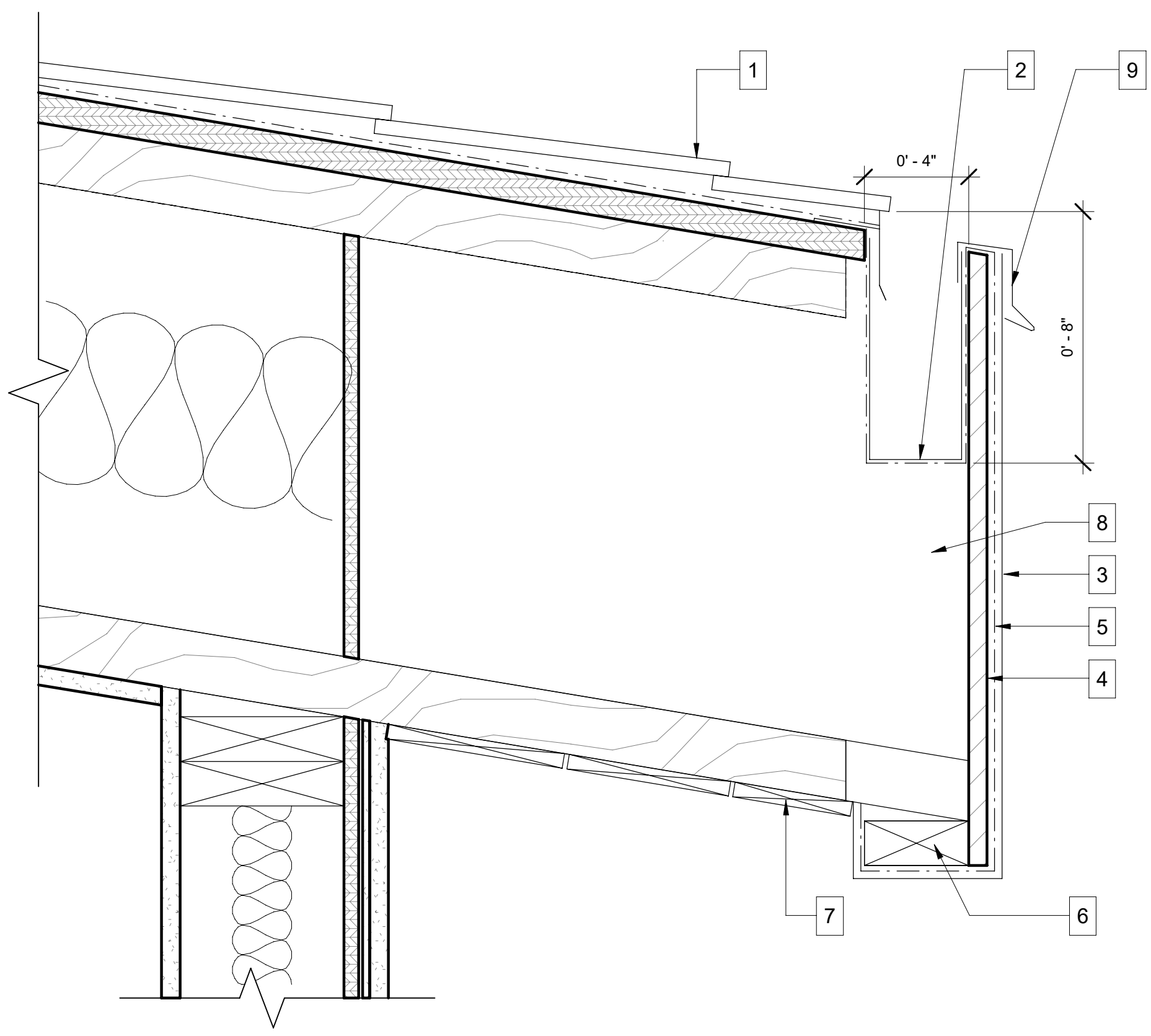
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Scale : 1/8" = 1'-0"

ROOF PLANS

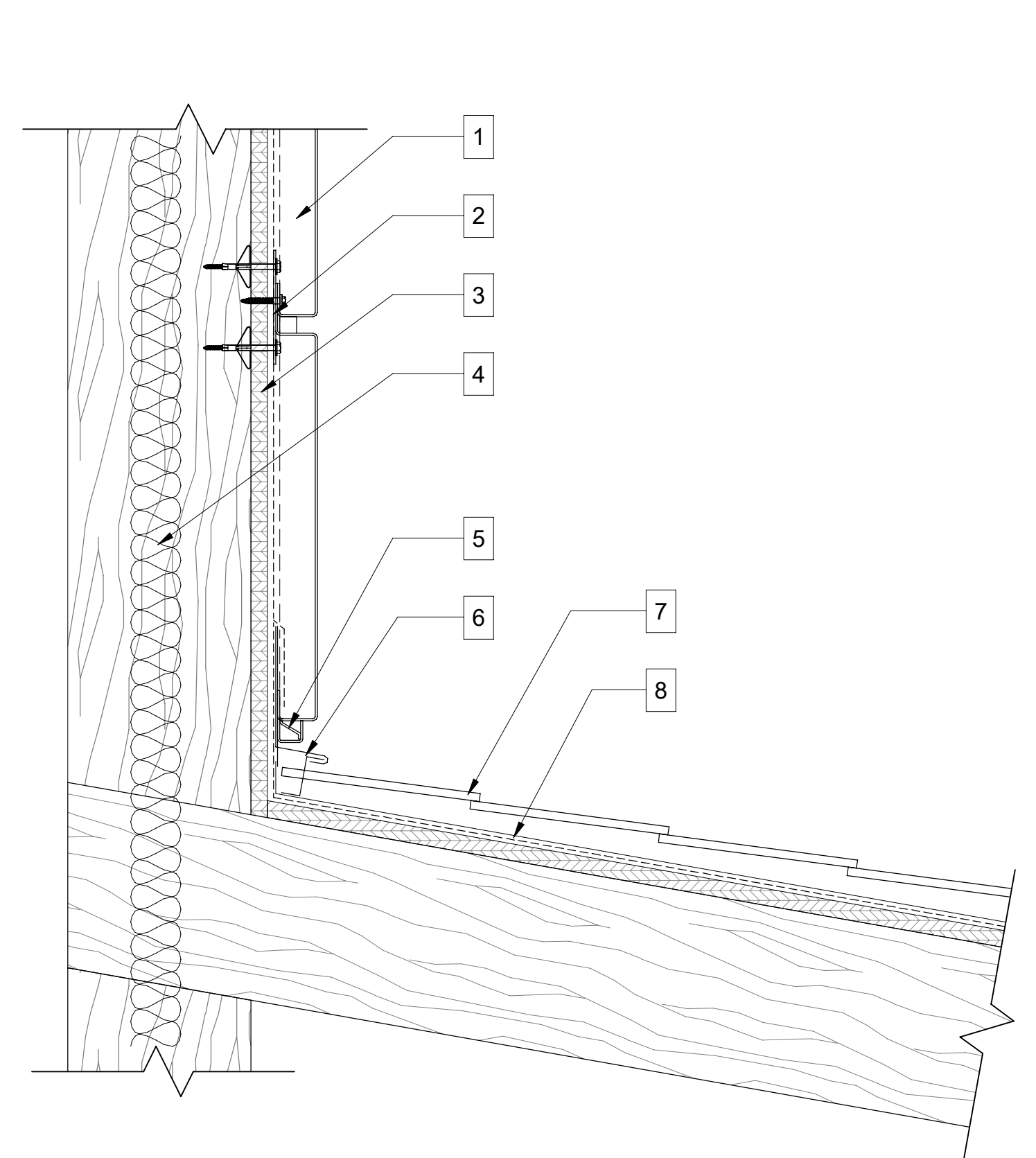


GENERAL NOTES

KEY NOTES

1. STANDING SEAM ROOFING
2. NEW GALV. 20 GA GUTTER
3. 24" T BLACK METAL FASCIA
4. 1/2" PLYWOOD
5. WEATHER BARRIER
6. 1x6 T&G
7. 2x4 BLOCKING UNDER TJI FOR BLACK METAL WRAP
8. TJI WITH NOTCHOUT FOR GUTTER
9. BLACK METAL DRIP EDGE

01 OVERHANG FASCIA

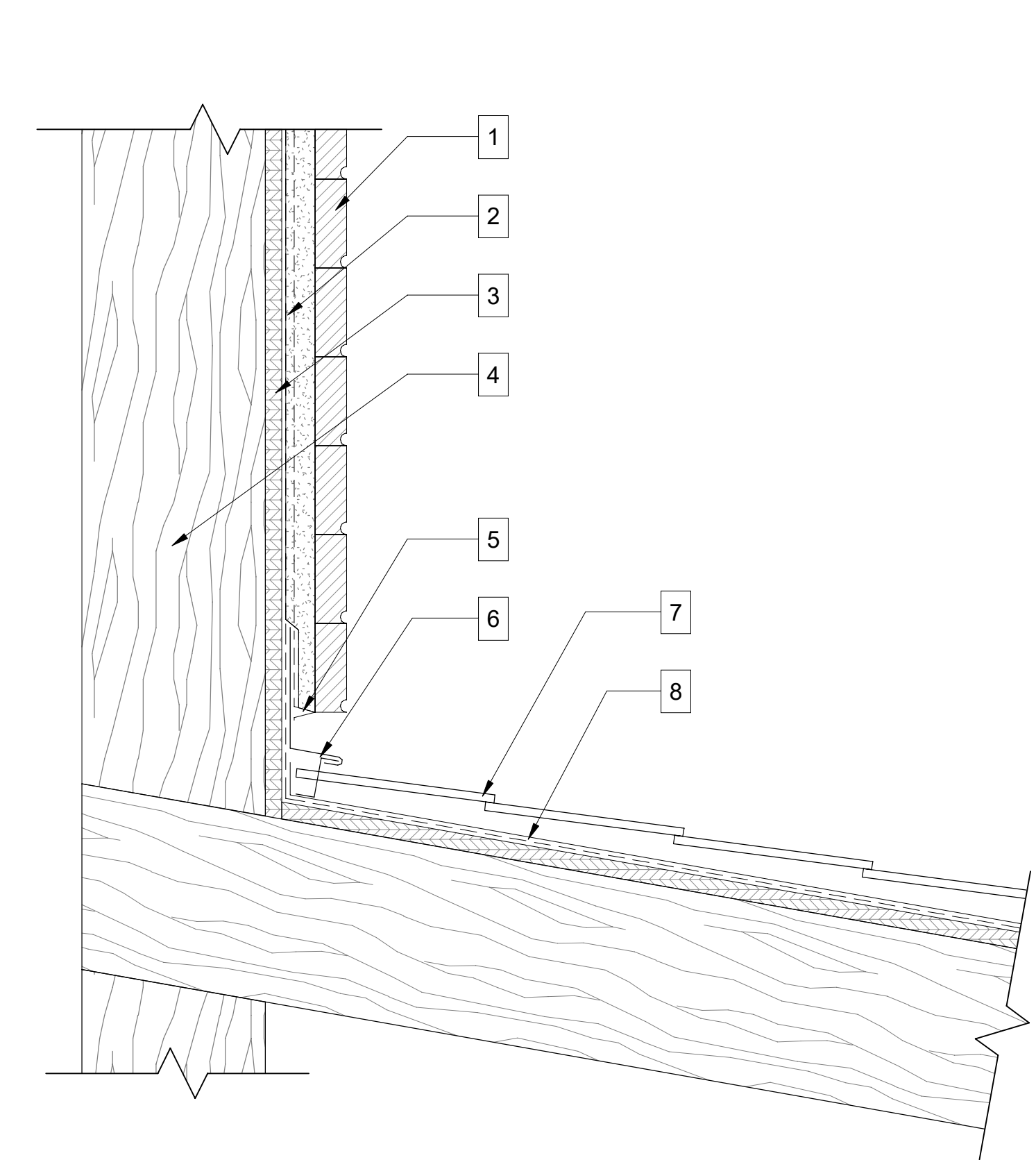


GENERAL NOTES

KEY NOTES

1. METAL WALL ASSEMBLY PER PLAN
2. TYVEK WEATHER RESISTIVE BARRIER
3. FRAMING/SHEATHING PER STRUCTURAL
4. R-38 OR BETTER INSULATION
5. METAL STOP AND DRIP EDGE
6. METAL FLASHING
7. ROOF ASSEMBLY PER PLAN
8. (2) LAYERS OF ROOF UNDERLAYMENT

02 ROOF AT METAL PANEL

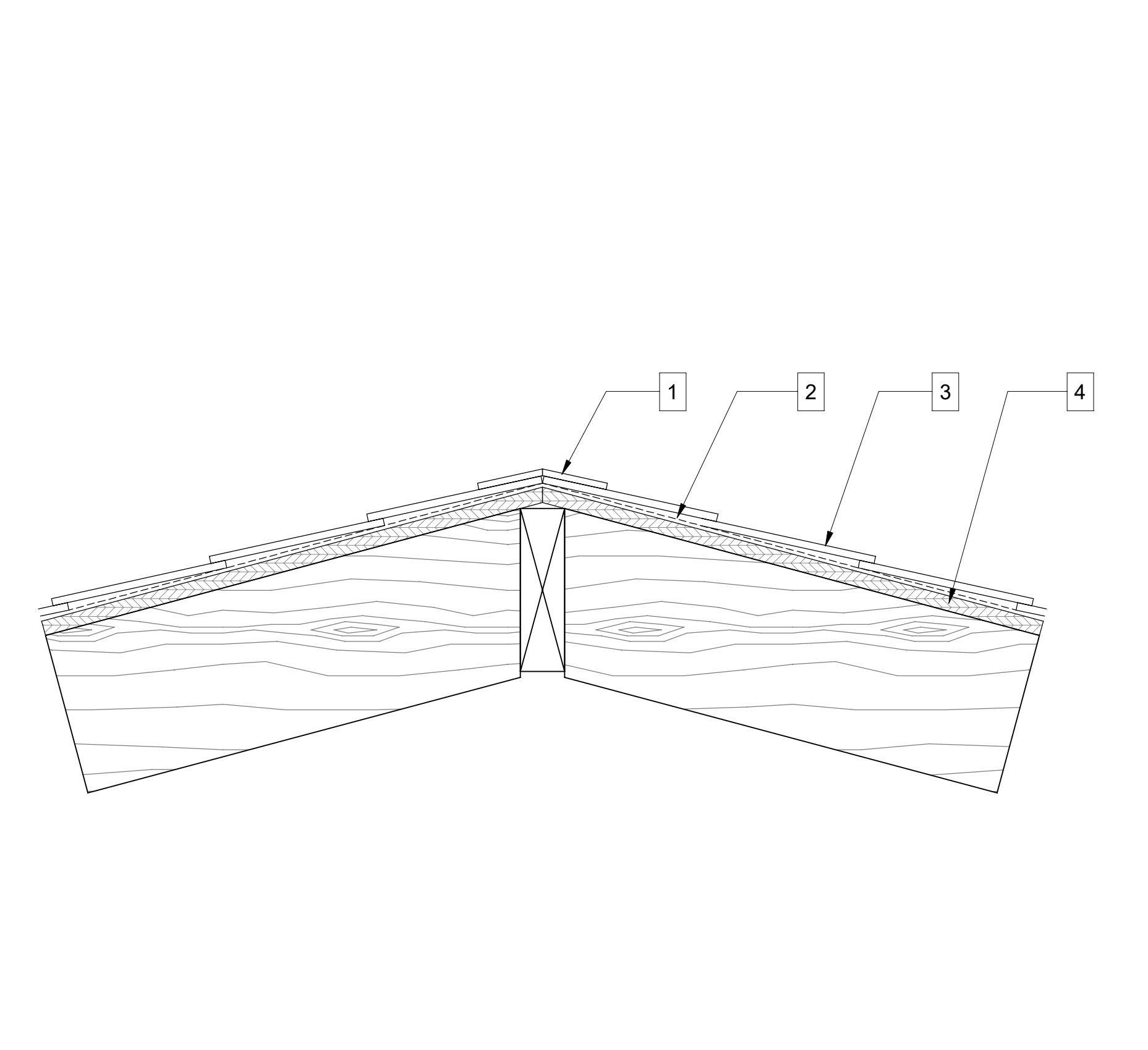


GENERAL NOTES

KEY NOTES

1. STONE VENEER ASSEMBLY PER PLAN
2. GRACE ULTRA WEATHER RESISTIVE BARRIER
3. FRAMING/SHEATHING PER STRUCTURAL
4. R-38 OR BETTER INSULATION
5. WEEP SCREED
6. METAL FLASHING
7. ROOF ASSEMBLY PER PLANS
8. (2) LAYERS OF ROOF UNDERLAYMENT

03 ROOF AT STONE WALL

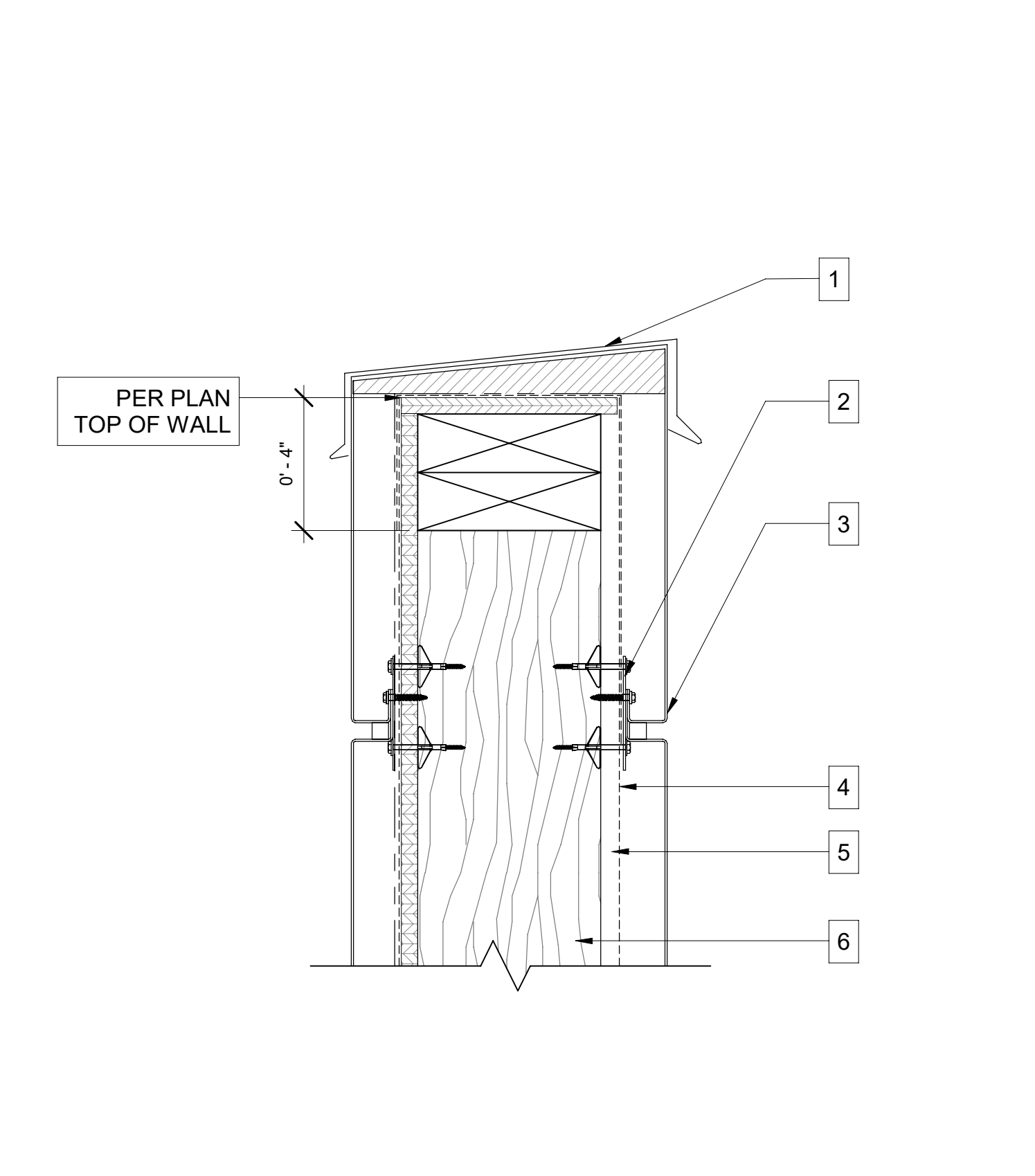


GENERAL NOTES

KEY NOTES

1. RIDGE CAP
2. (2) LAYERS POLYGLASS POLYSTICK WTS UNDERLAYMENT
3. ROOFING PER PLAN NAILED TO DECK
4. FRAMING/SHEATHING PER PLANS.

04 ROOF RIDGE

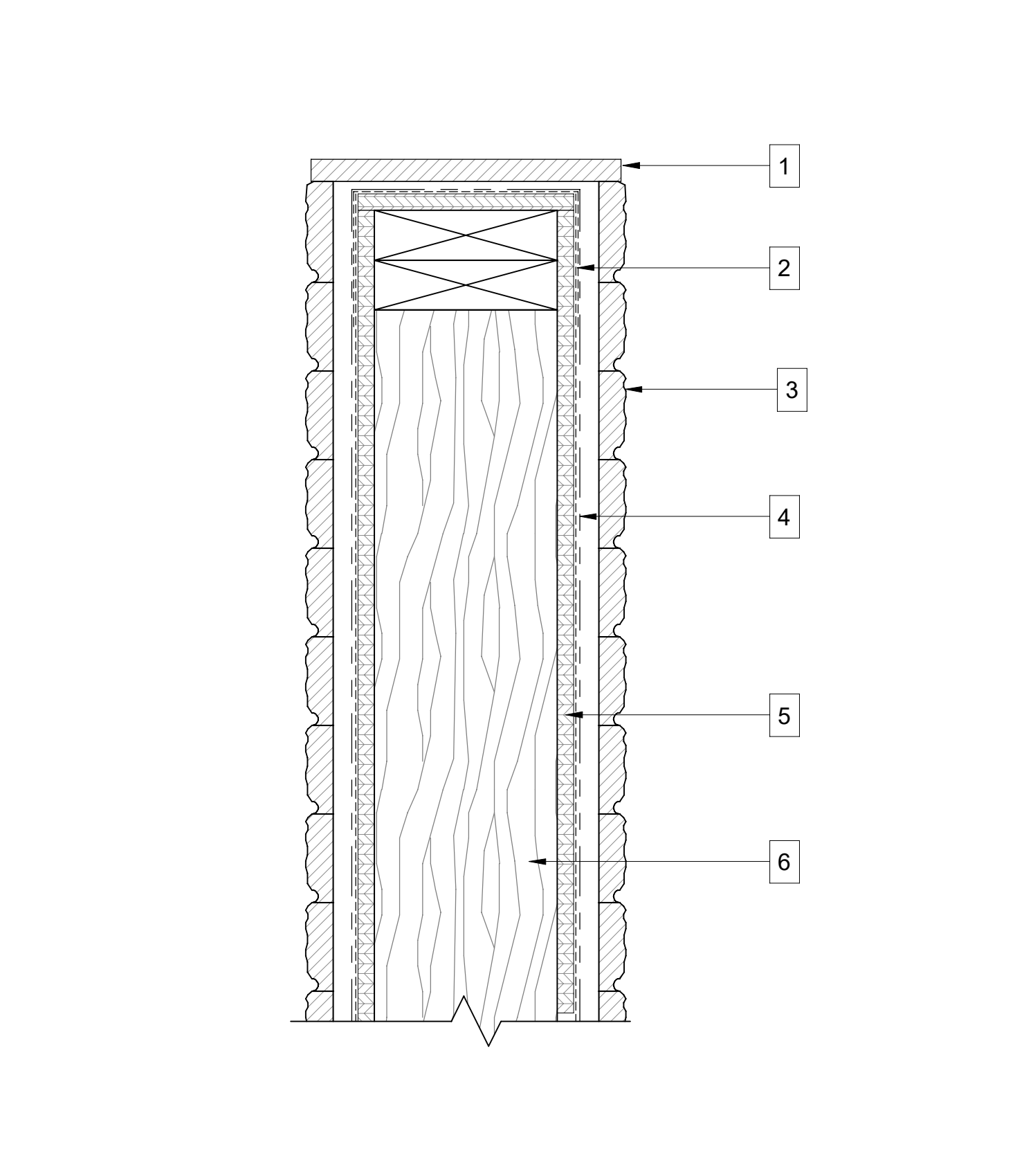


GENERAL NOTES

KEY NOTES

1. METAL CAP
2. GRACE ULTRA TO COVER TOP OF WALL AND OVERLAP BUILDING PAPER
3. METAL WALL PANEL PER PLANS
4. GRACE ULTRA TO TOP OF WALL
5. PLYWOOD SHEATHING PER PLANS
6. FRAMING PER PLANS

05 TOP OF METAL WALL

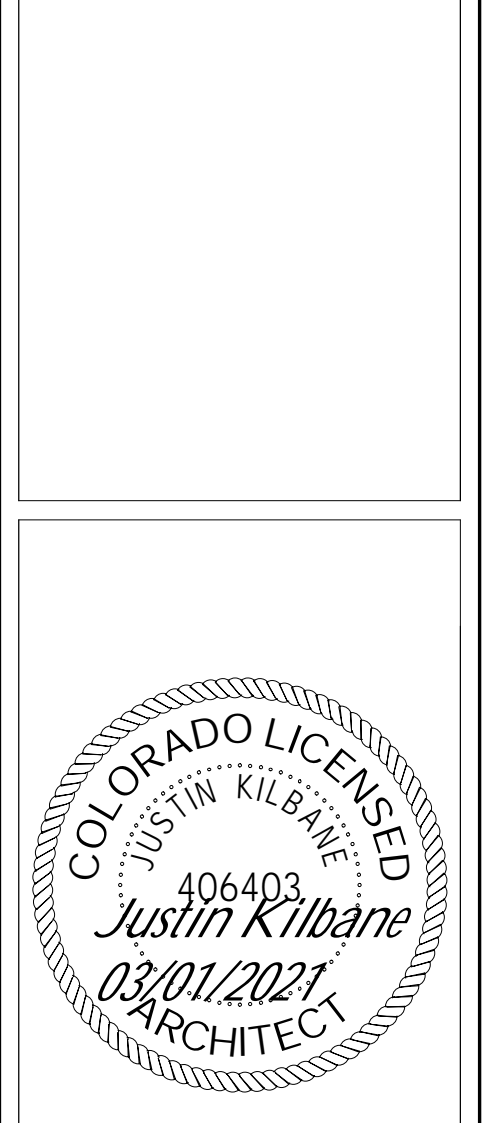


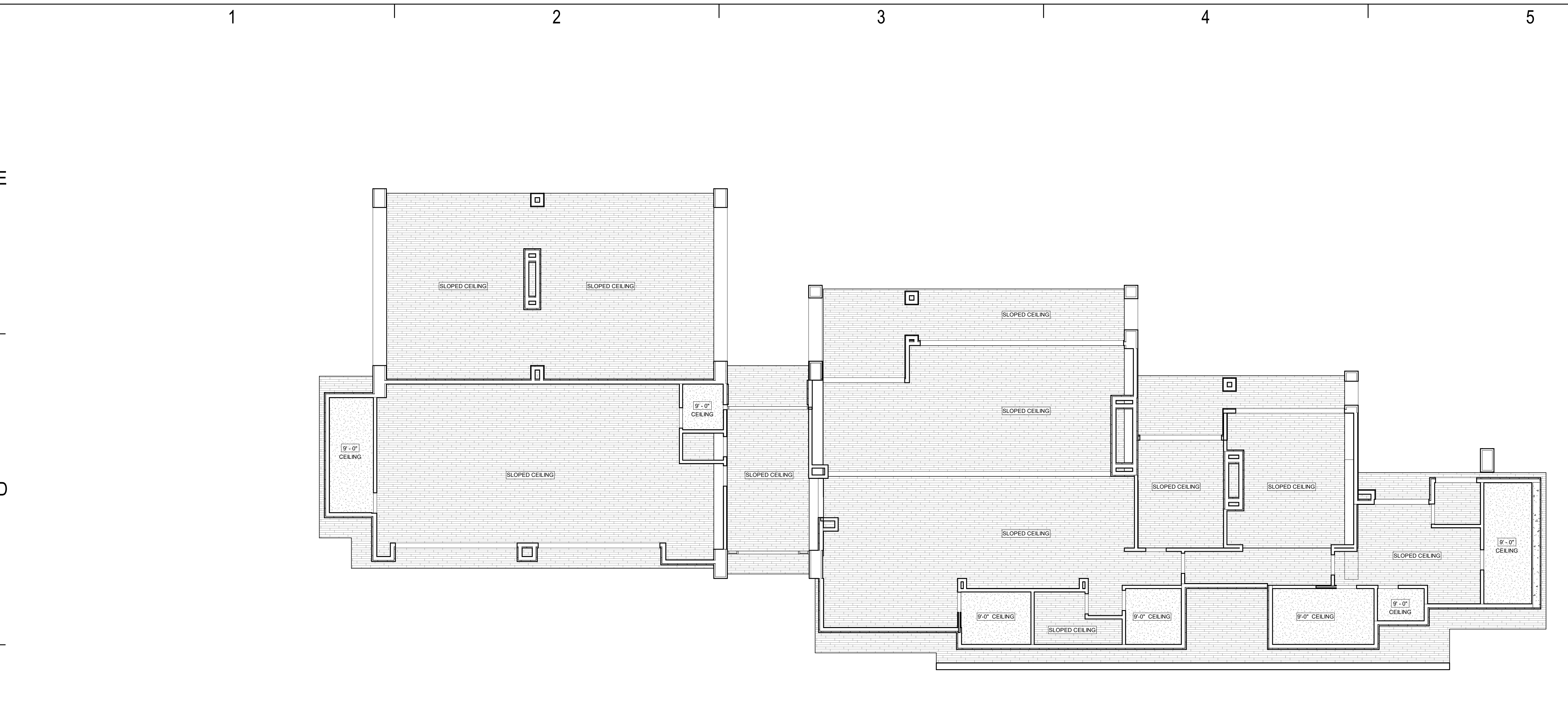
GENERAL NOTES

KEY NOTES

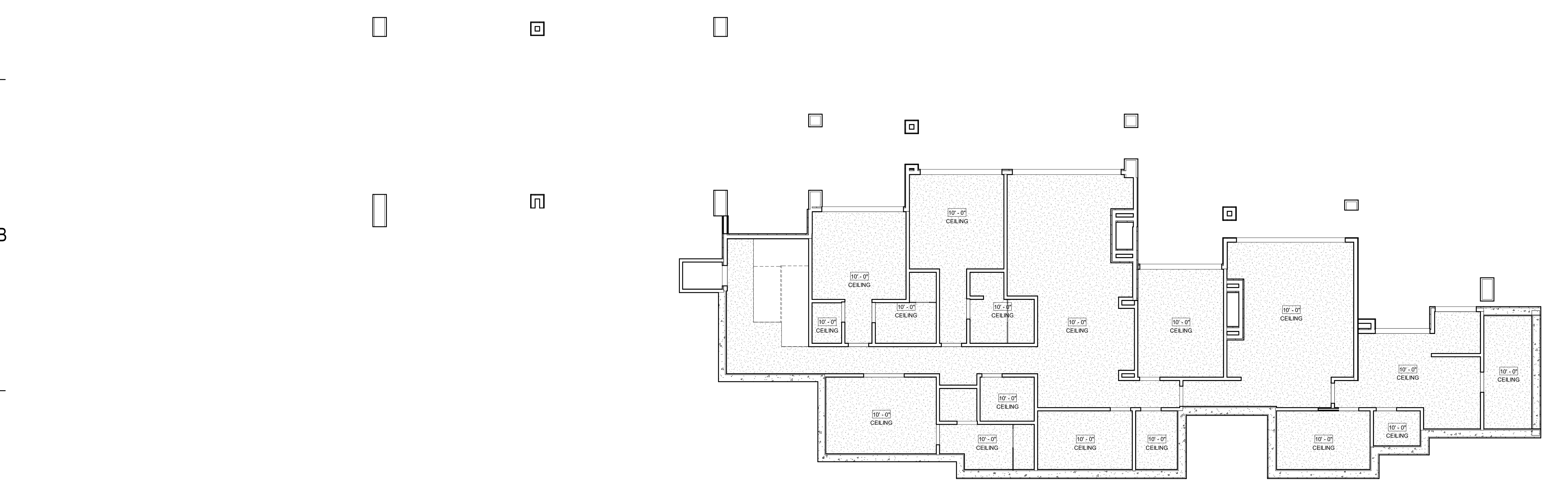
1. 2" THICK STONE CAP
2. GRACE ULTRA TO COVER TOP OF WALL AND OVERLAP BUILDING PAPER ON ALL SIDES 12" MIN.
3. STONE VENEER OVER SCRATCH AND BROWN COAT OVER METAL LATH
4. GRACE ULTRA TO TOP OF WALL
5. PLYWOOD SHEATHING PER PLANS
6. FRAMING PER PLANS

06 TOP OF STONE VENEER WALL



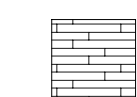



② UPPER LEVEL PLAN
1/8" = 1'-0"

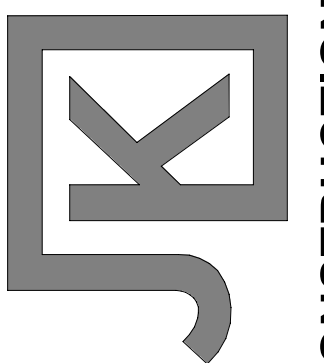


① MAIN LEVEL PLAN
1/8" = 1'-0"

CEILING TYPE

-  C1. WHITE OAK STAINED CEILING
-  C2. DRYWALL AND PAINTED CEILING

THE JK COMPANIES



THE JK COMPANIES

ARCHITECTURE | CONSTRUCTION AND DEVELOPMENT | HOMES AND LAND

STRIAT - KILBANE RESIDENCE
311 BENCHMARK DRIVE
TELLURIDE, COLORADO



16-03-2023
12:59:40 AM

SHEET NO.

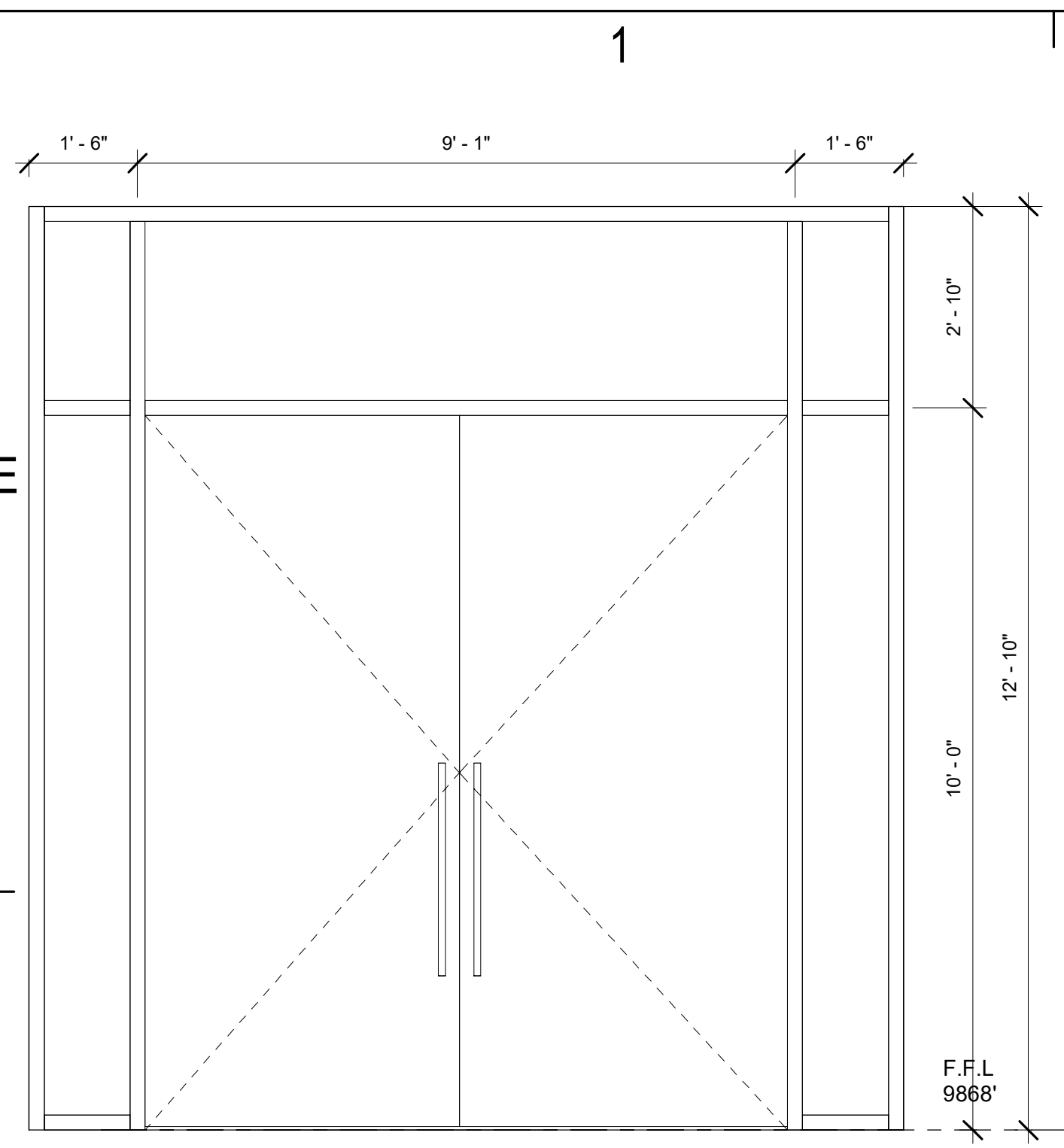
A-7.1

Scale: 1/8" = 1'-0"

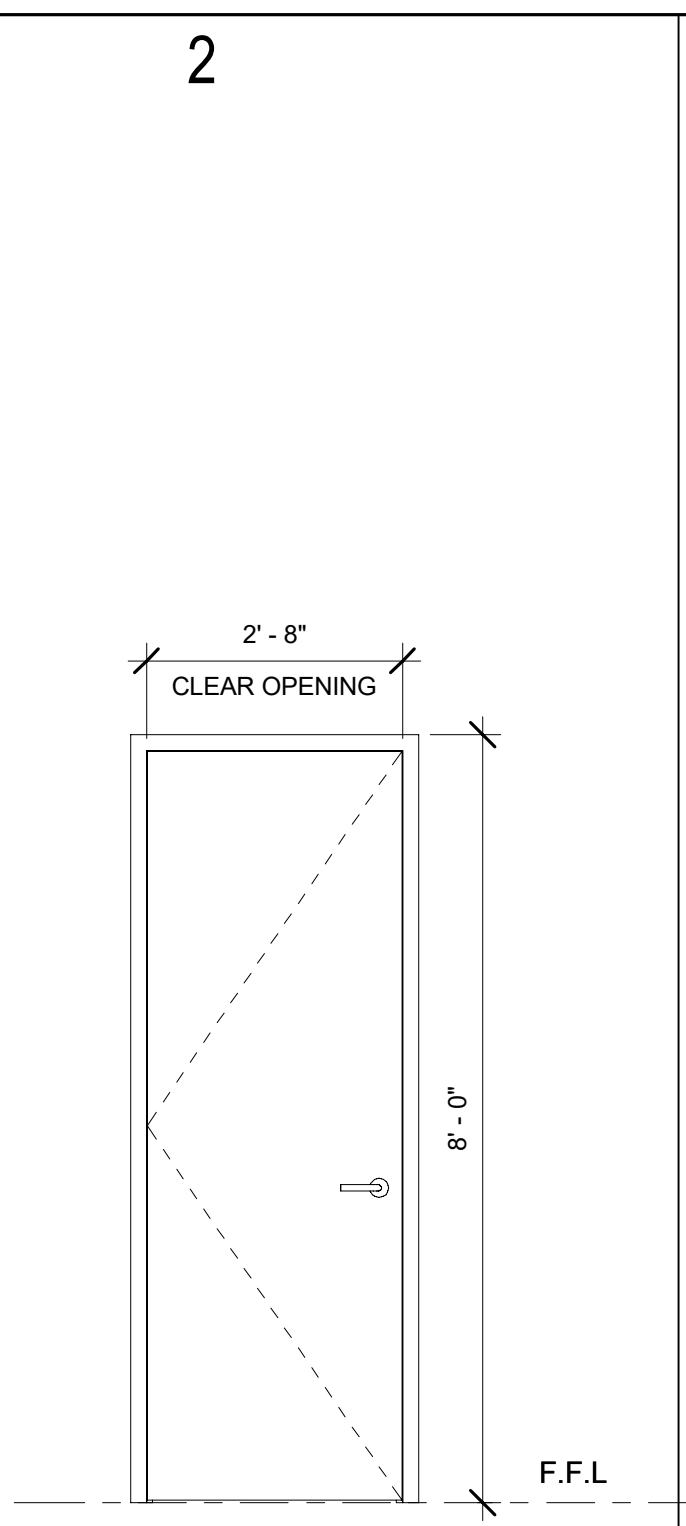
CEILING PLAN

Door Schedule

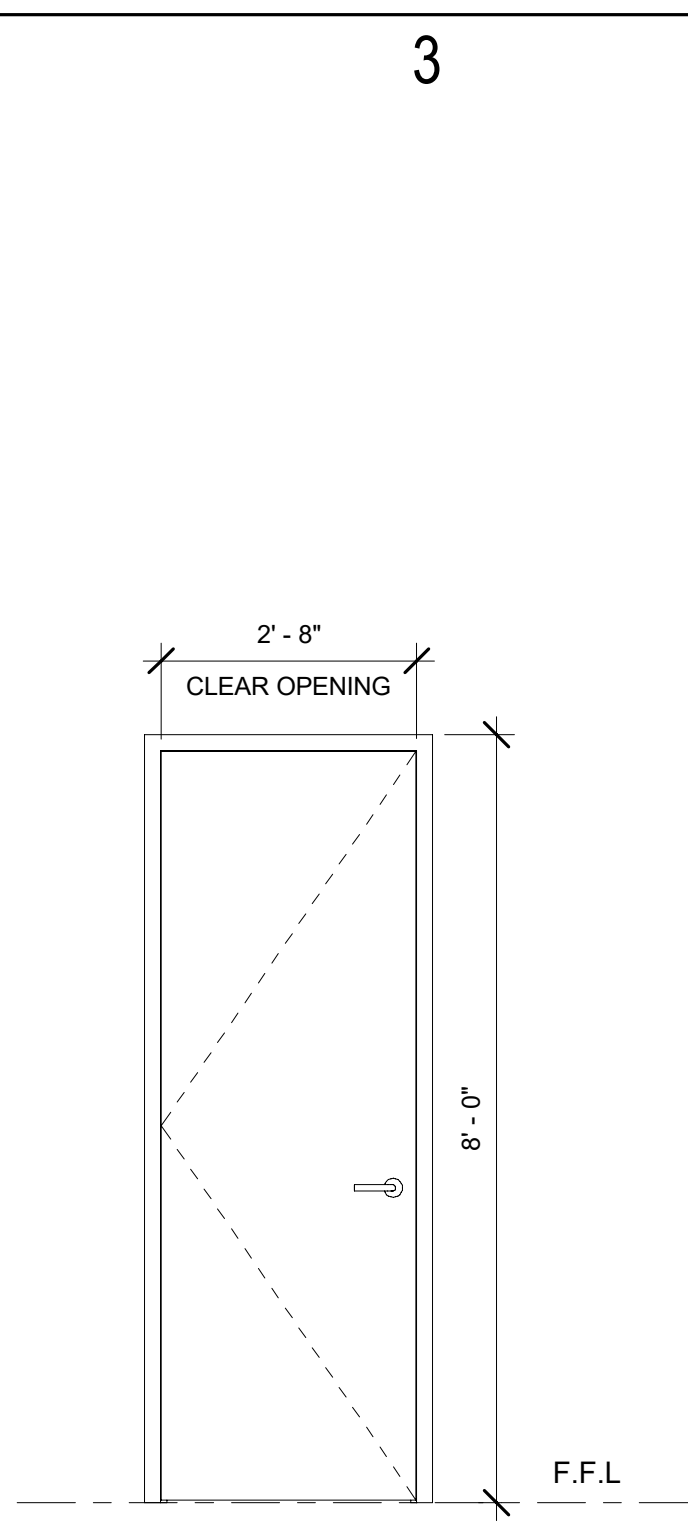
DOOR NO	Level	Type	Width	Height	Sill Height	Head Height
01	UPPER LEVEL PLAN	D02	3'-0"	8'-0"	0'-0"	8'-0"
02	UPPER LEVEL PLAN	D02	3'-0"	8'-0"	0'-0"	8'-0"
03	UPPER LEVEL PLAN	D02	3'-0"	8'-0"	0'-0"	8'-0"
04	UPPER LEVEL PLAN	D02	3'-0"	8'-0"	0'-0"	8'-0"
05	UPPER LEVEL PLAN	D02	3'-0"	8'-0"	0'-0"	8'-0"
06	UPPER LEVEL PLAN	D02	3'-0"	8'-0"	0'-0"	8'-0"
07	UPPER LEVEL PLAN	D06	3'-0"	8'-0"	0'-0"	8'-0"
08	UPPER LEVEL PLAN	D02	3'-0"	8'-0"	0'-0"	8'-0"
09	UPPER LEVEL PLAN	D05	12'-0"	12'-0"	0'-0"	12'-0"
10	UPPER LEVEL PLAN	D06	12'-0"	10'-0"	0'-0"	10'-0"
11	UPPER LEVEL PLAN	D08	30'-0"	10'-0"	0'-0"	10'-0"
12	UPPER LEVEL PLAN	D07	12'-0"	12'-0"	0'-0"	12'-0"
13	UPPER LEVEL PLAN	D09	16'-0"	12'-0"	0'-0"	12'-0"
14	UPPER LEVEL PLAN	D10	8'-0"	12'-0"	0'-0"	12'-0"
15	UPPER LEVEL PLAN	D11	6'-0"	12'-0"	0'-0"	12'-0"
16	UPPER LEVEL PLAN	D04	18'-0"	8'-0"	0'-0"	8'-0"
17	UPPER LEVEL PLAN	D04	18'-0"	8'-0"	0'-0"	8'-0"
18	UPPER LEVEL PLAN	D02	3'-0"	8'-0"	0'-0"	8'-0"
19	UPPER LEVEL PLAN	D06	3'-0"	8'-0"	0'-0"	8'-0"
20	UPPER LEVEL PLAN	D02	3'-0"	8'-0"	0'-0"	8'-0"
21	UPPER LEVEL PLAN	D02	3'-0"	8'-0"	0'-0"	8'-0"
22	UPPER LEVEL PLAN	D02	3'-0"	8'-0"	0'-0"	8'-0"
23	UPPER LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
24	MAIN LEVEL PLAN	D09	16'-0"	12'-0"	0'-0"	12'-0"
25	MAIN LEVEL PLAN	D12	12'-0"	10'-0"	0'-0"	10'-0"
26	MAIN LEVEL PLAN	D13	16'-0"	10'-0"	0'-0"	10'-0"
27	MAIN LEVEL PLAN	D14	8'-0"	10'-0"	0'-0"	10'-0"
28	MAIN LEVEL PLAN	D15	6'-0"	10'-0"	0'-0"	10'-0"
29	MAIN LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
30	MAIN LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
31	MAIN LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
32	MAIN LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
33	MAIN LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
34	MAIN LEVEL PLAN	D03	6'-0"	8'-0"	0'-0"	8'-0"
35	MAIN LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
36	MAIN LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
37	MAIN LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
38	MAIN LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
39	MAIN LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
40	MAIN LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
41	MAIN LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
42	MAIN LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
43	MAIN LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
44	MAIN LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
45	MAIN LEVEL PLAN	D06	3'-0"	8'-0"	0'-0"	8'-0"
46	MAIN LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
47	MAIN LEVEL PLAN	D01	3'-0"	8'-0"	0'-0"	8'-0"
48	MAIN LEVEL PLAN	D12	12'-0"	10'-0"	0'-0"	10'-0"
49	MAIN LEVEL PLAN	D12	12'-0"	10'-0"	0'-0"	10'-0"



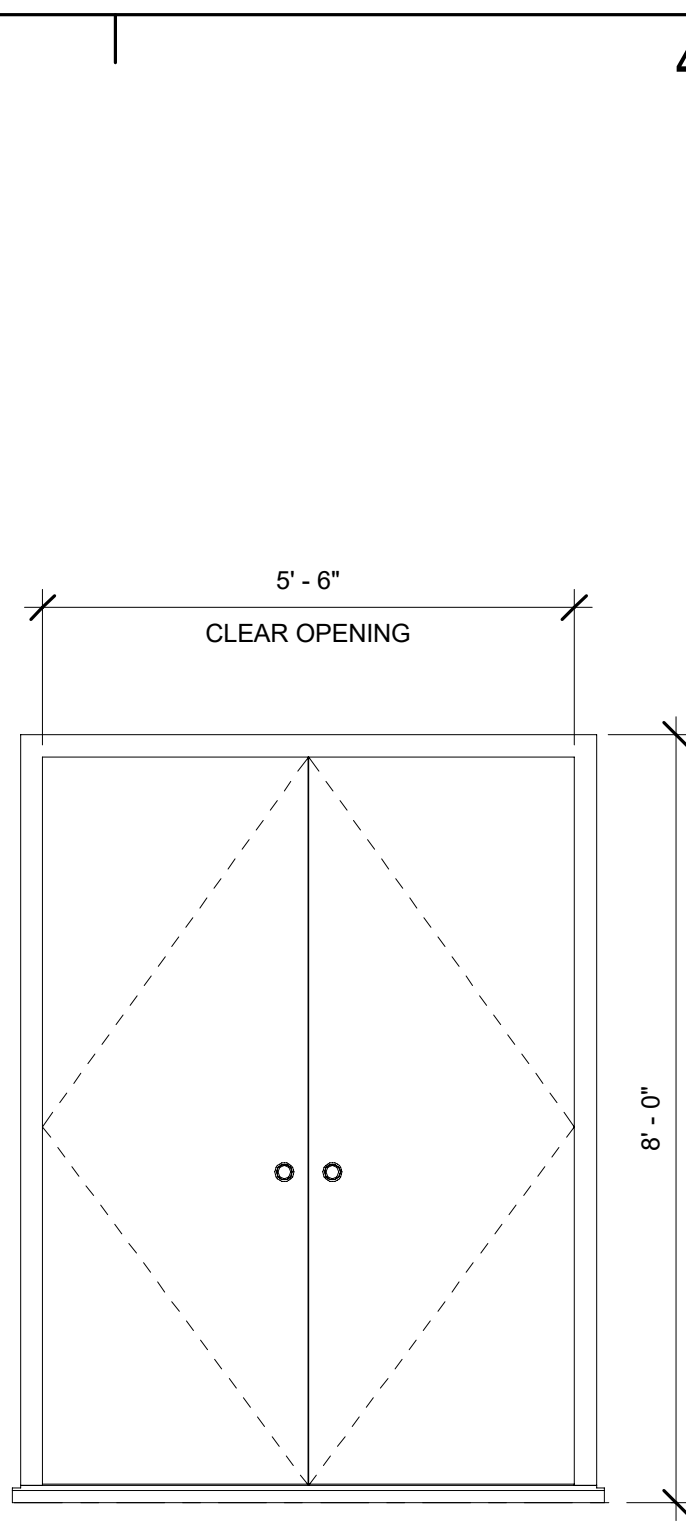
GD1



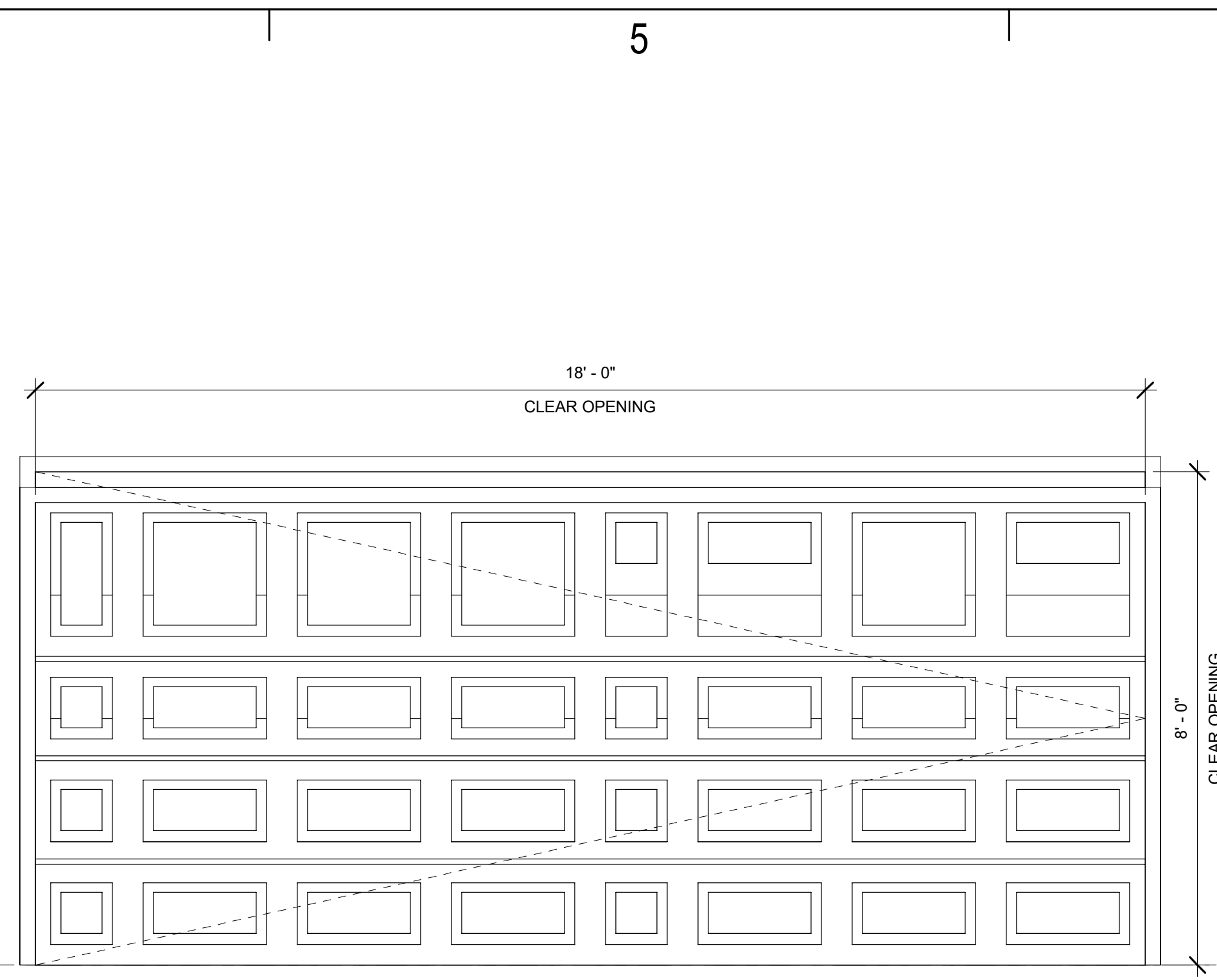
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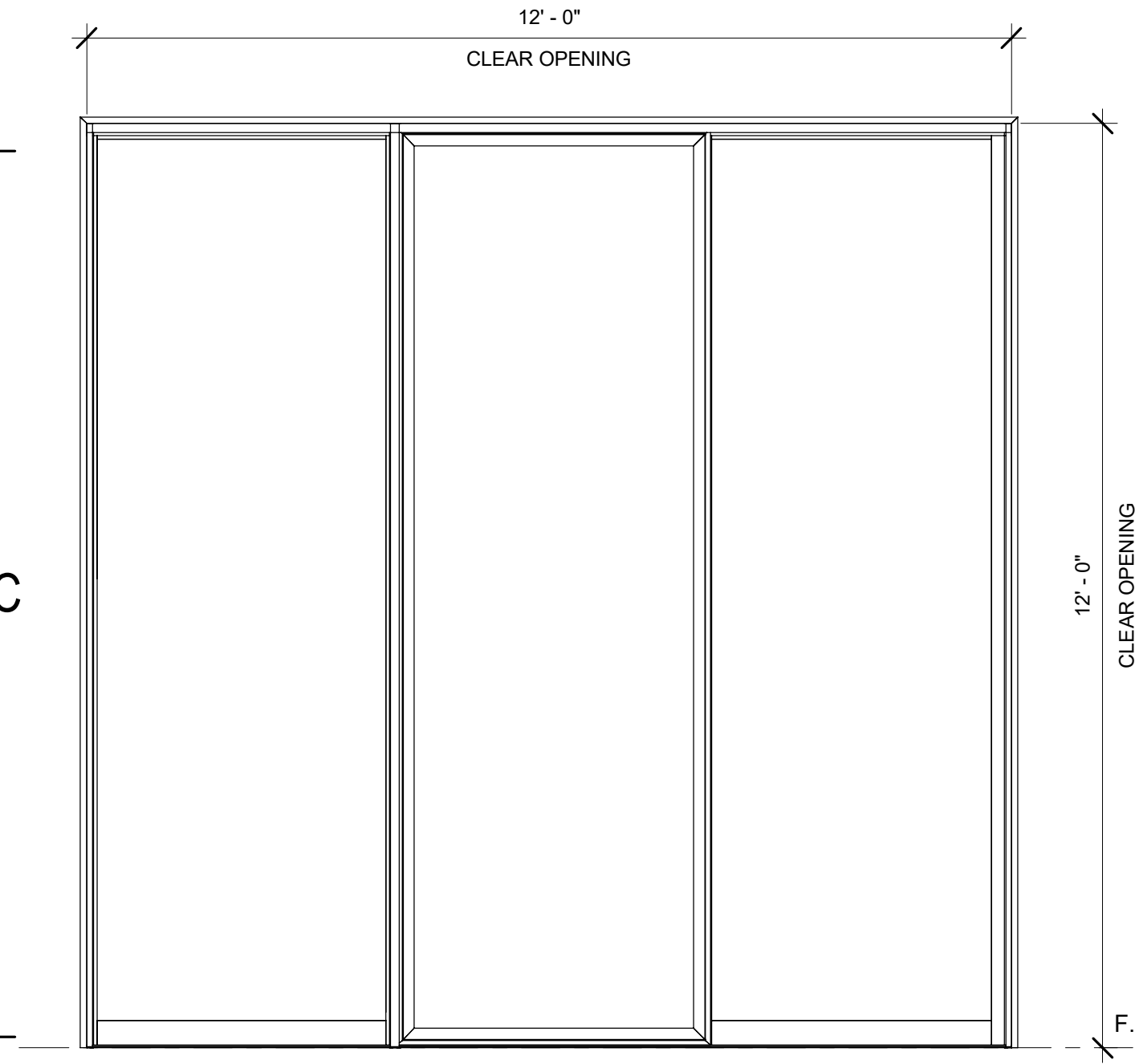
D02



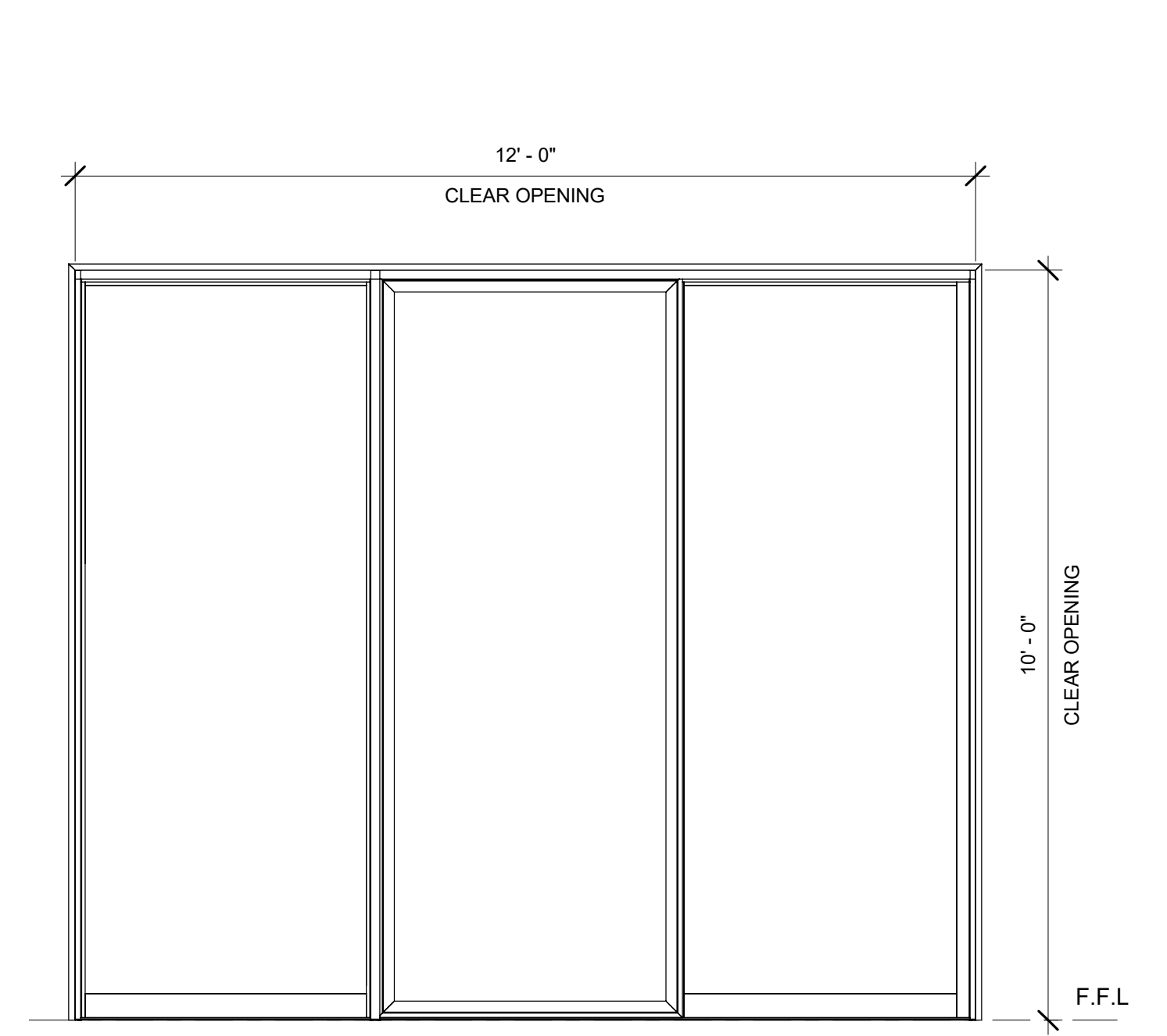
D03



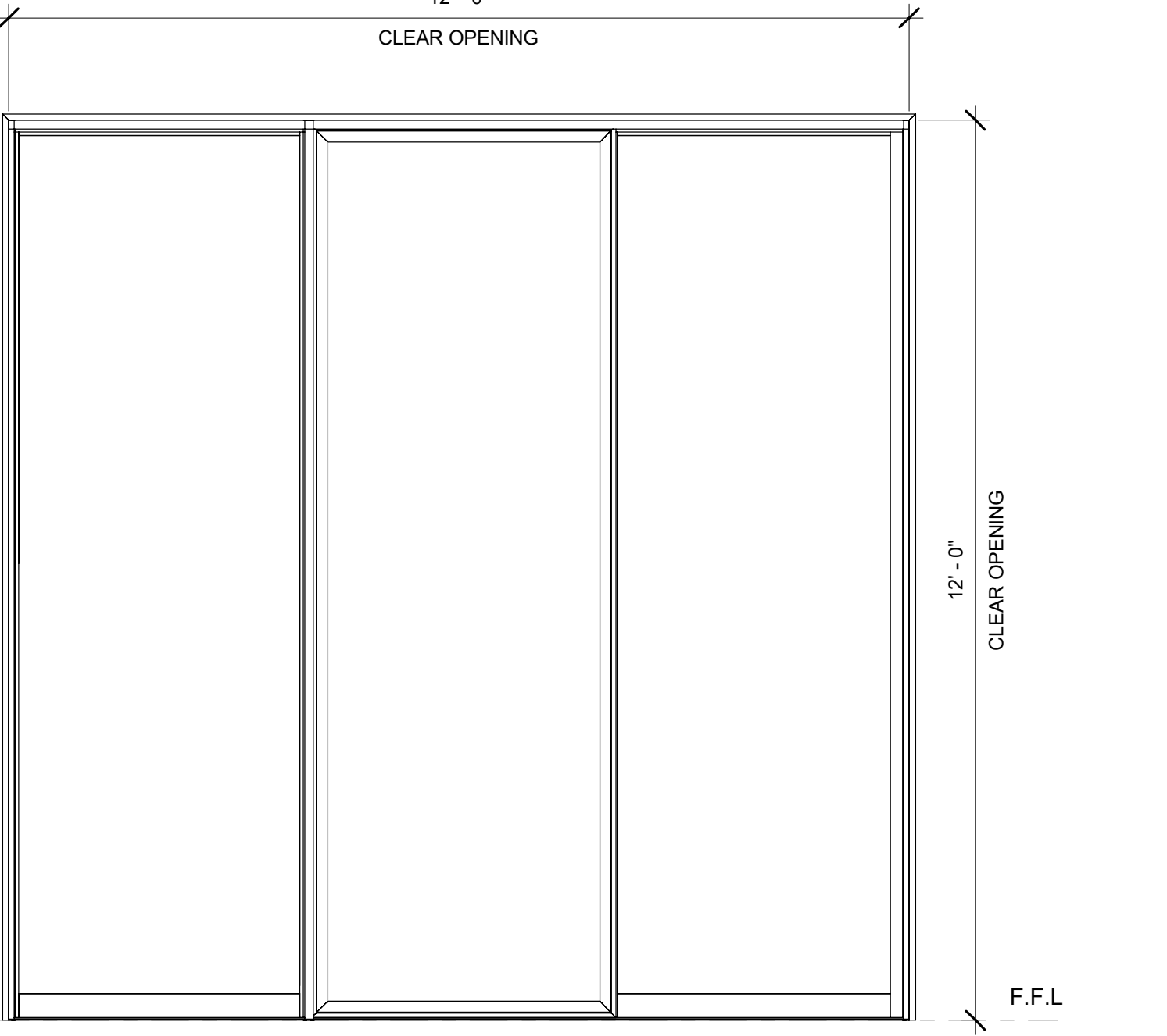
D04



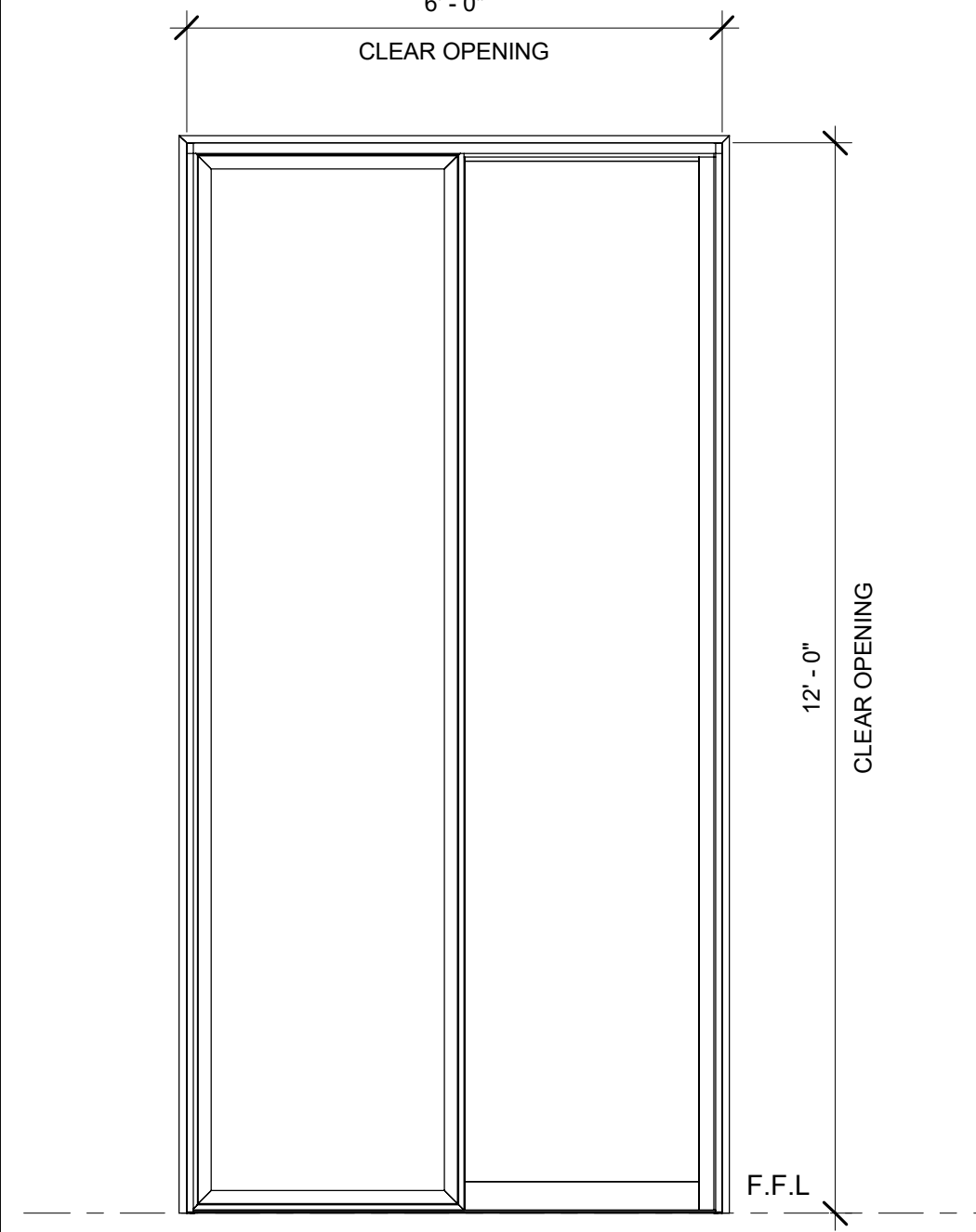
D05



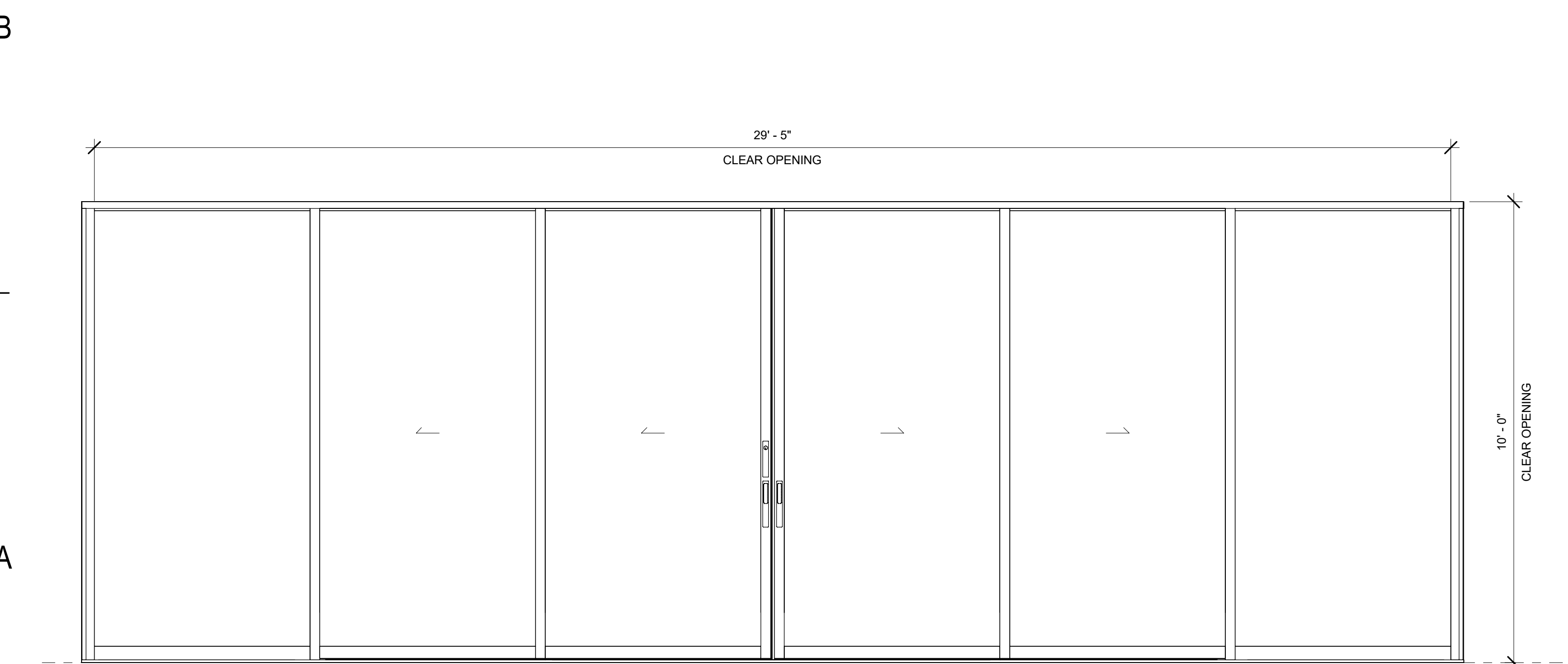
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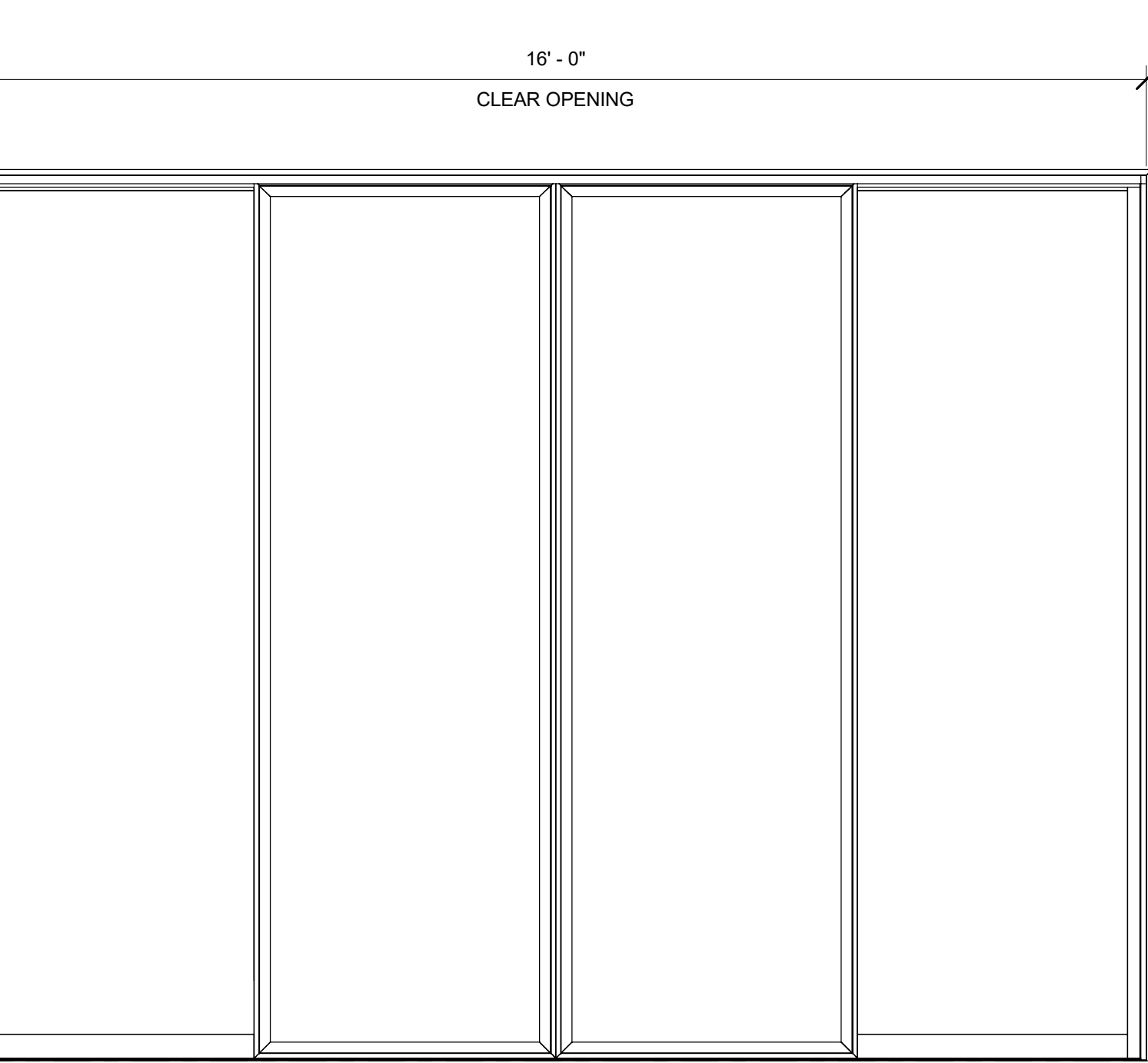
D07



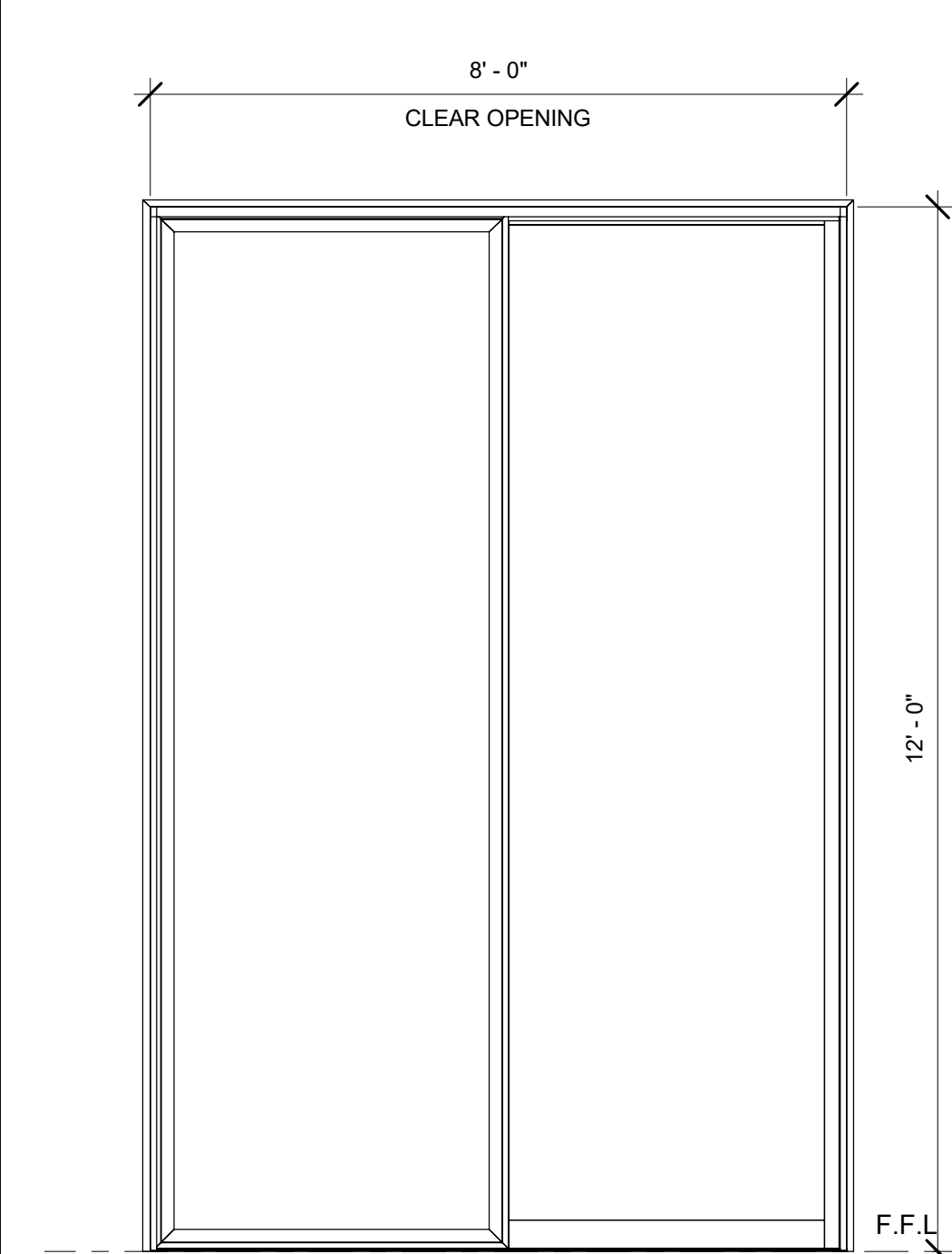
D11



D08

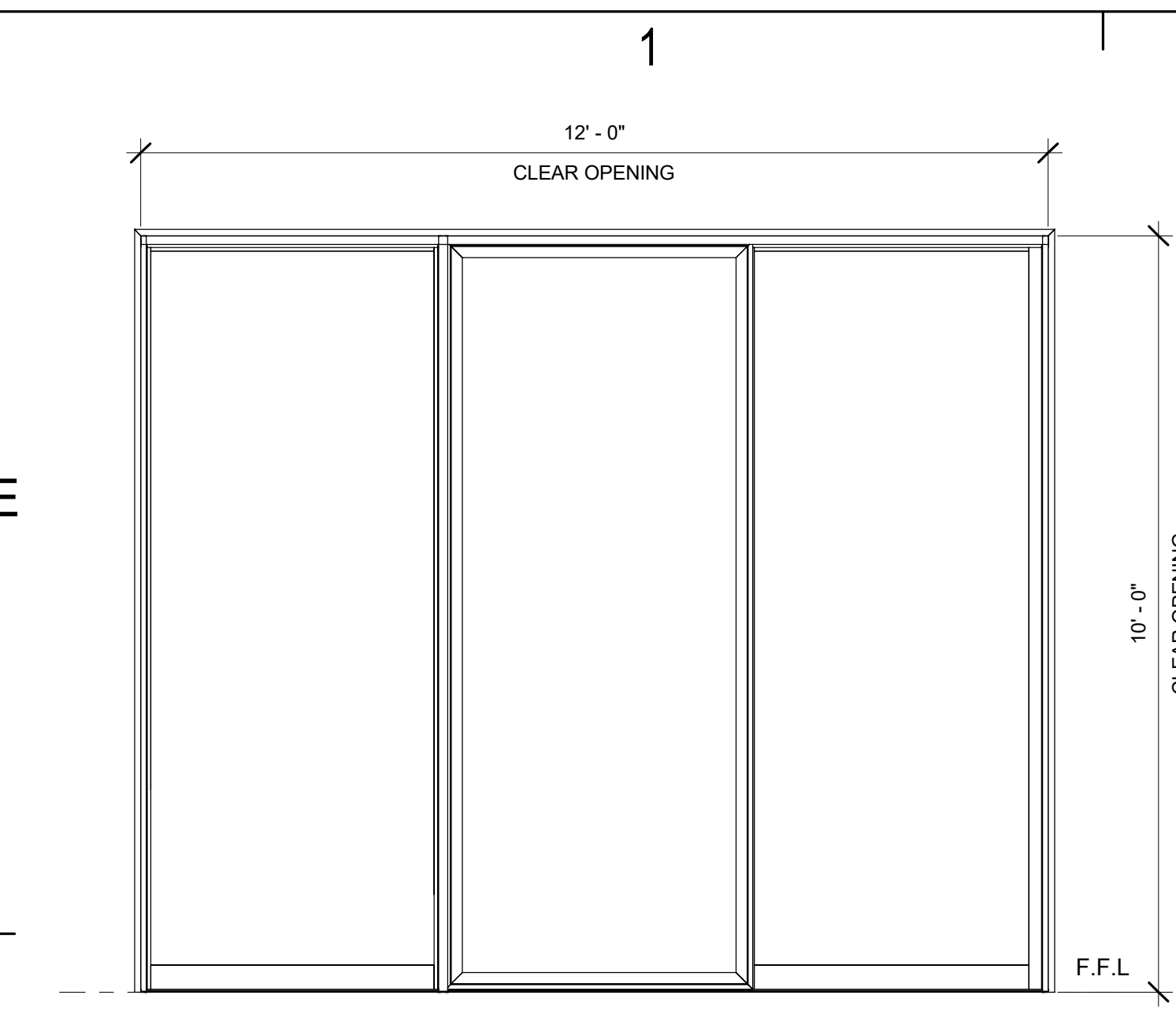


D09

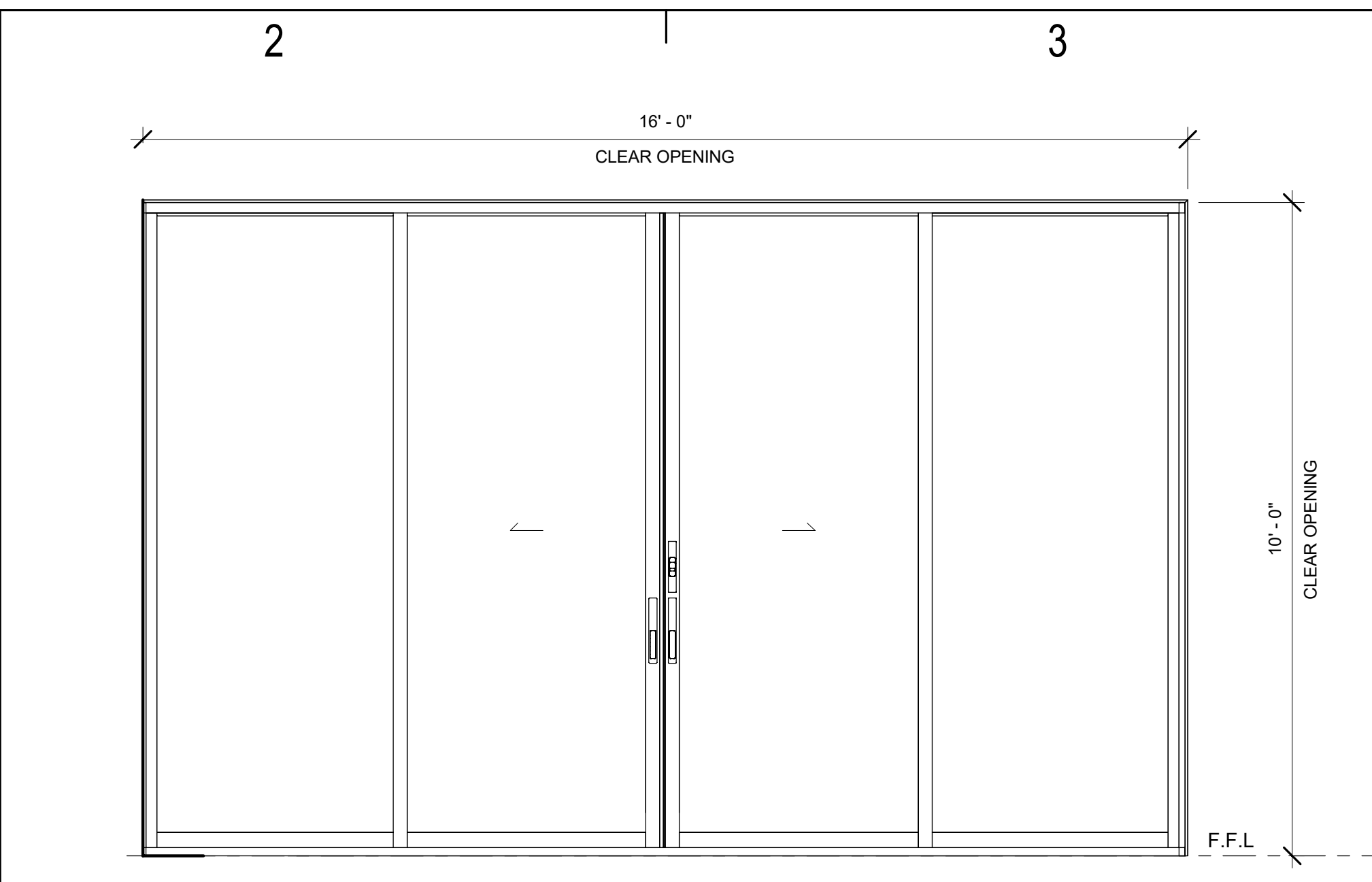


D10

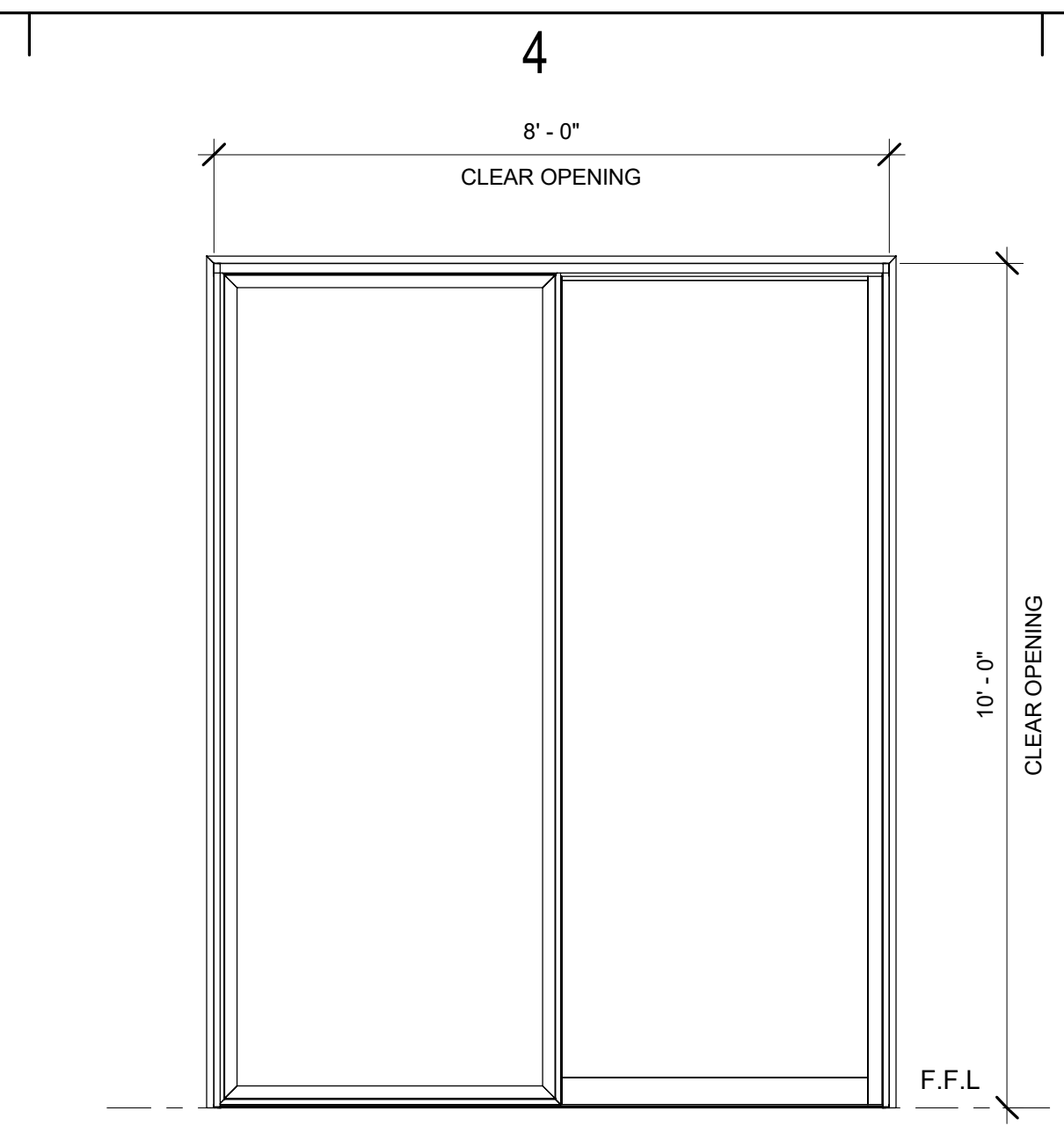
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DOOR SCHEDULE



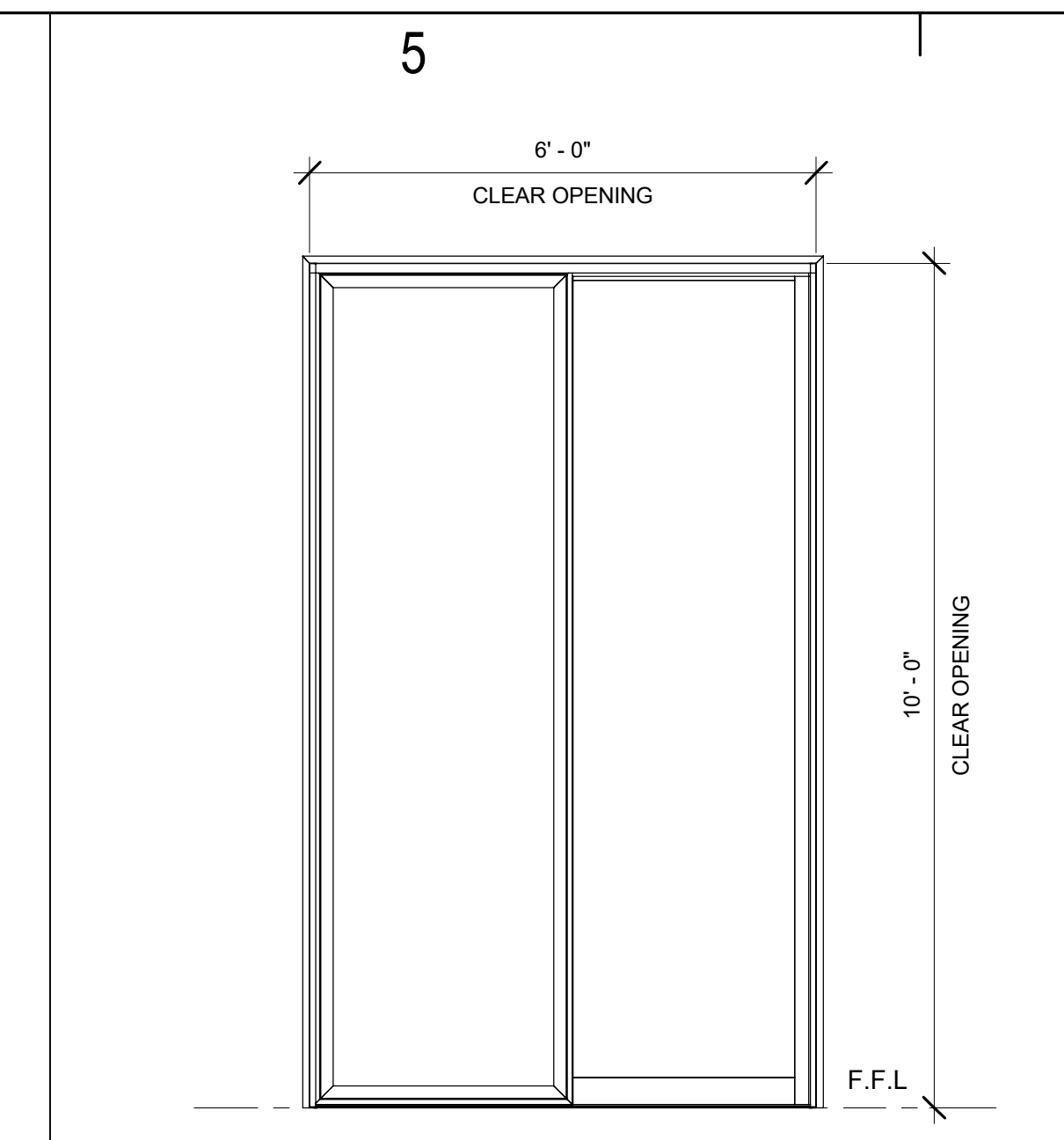
D12 D 12



D13



D14 D 14



D15 D 15

D					
C					
B					
A					

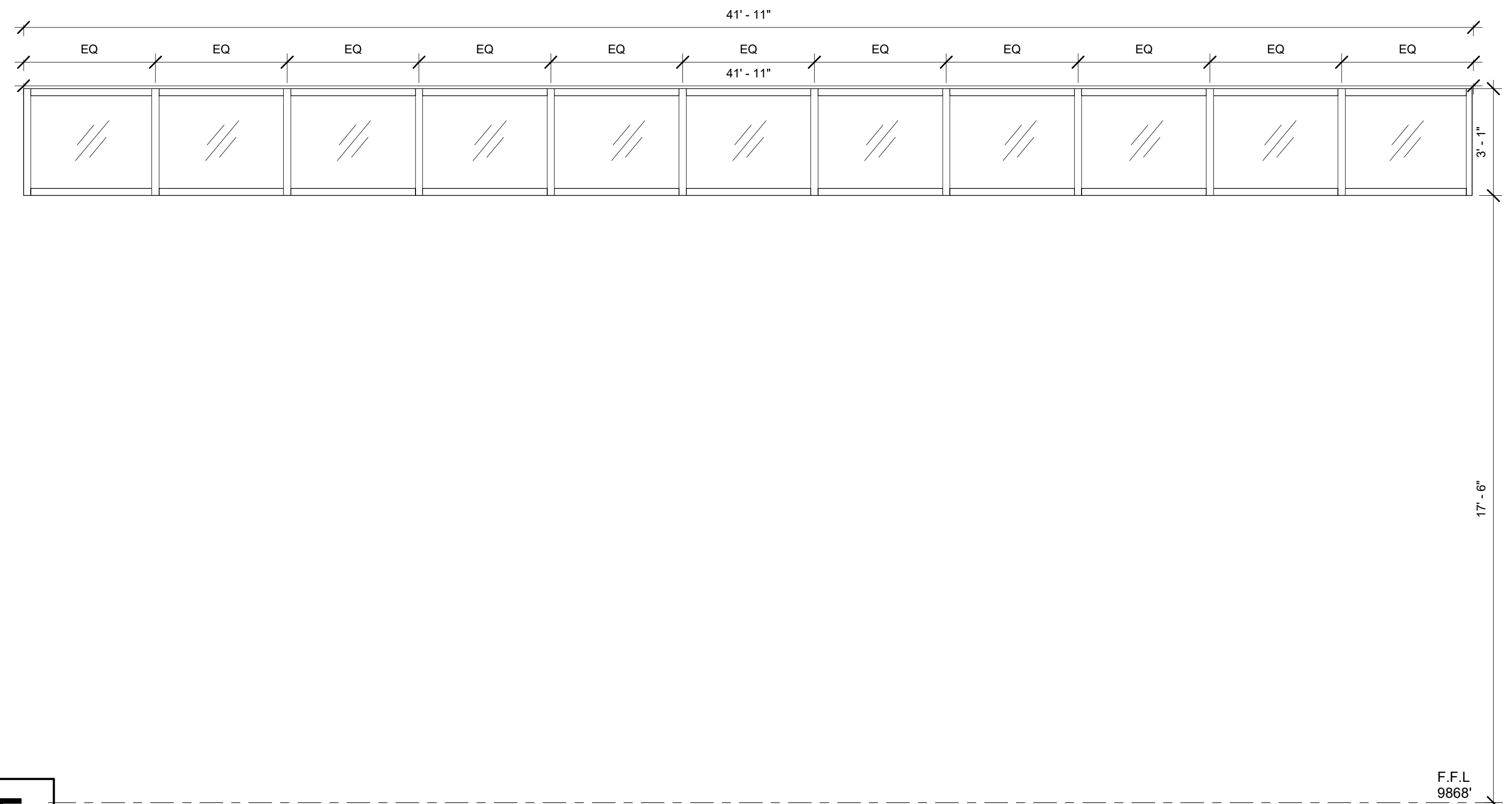
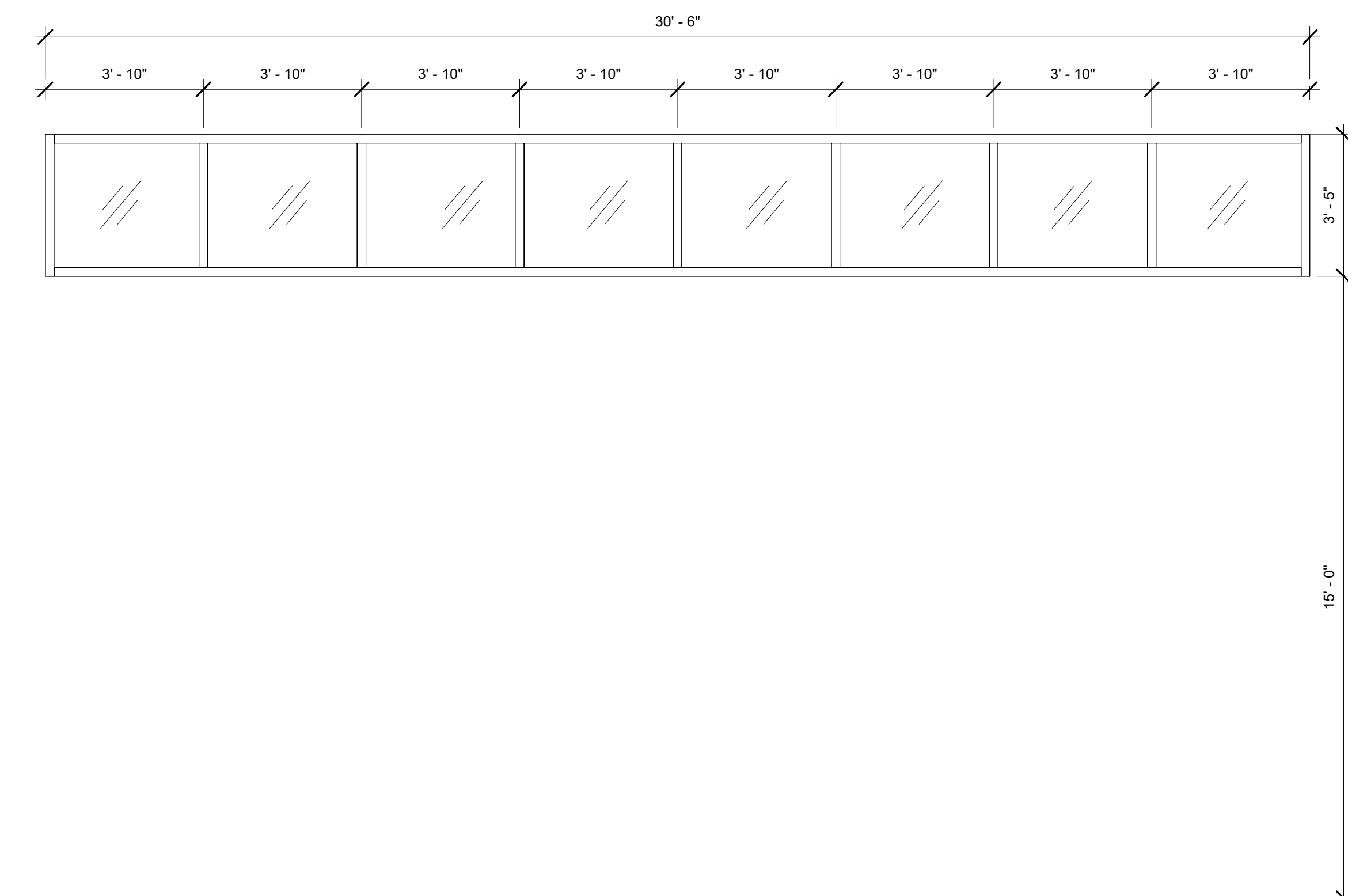
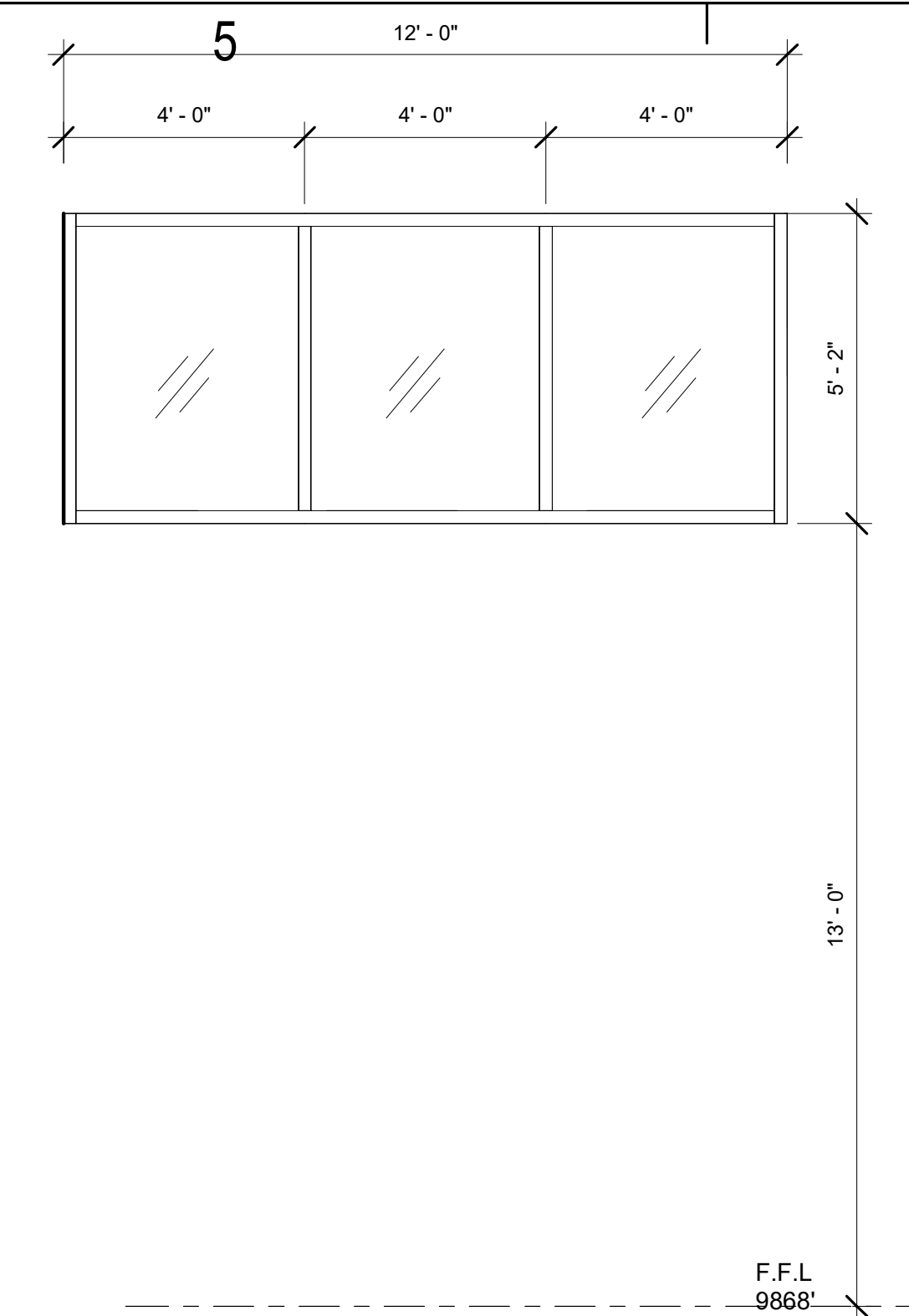
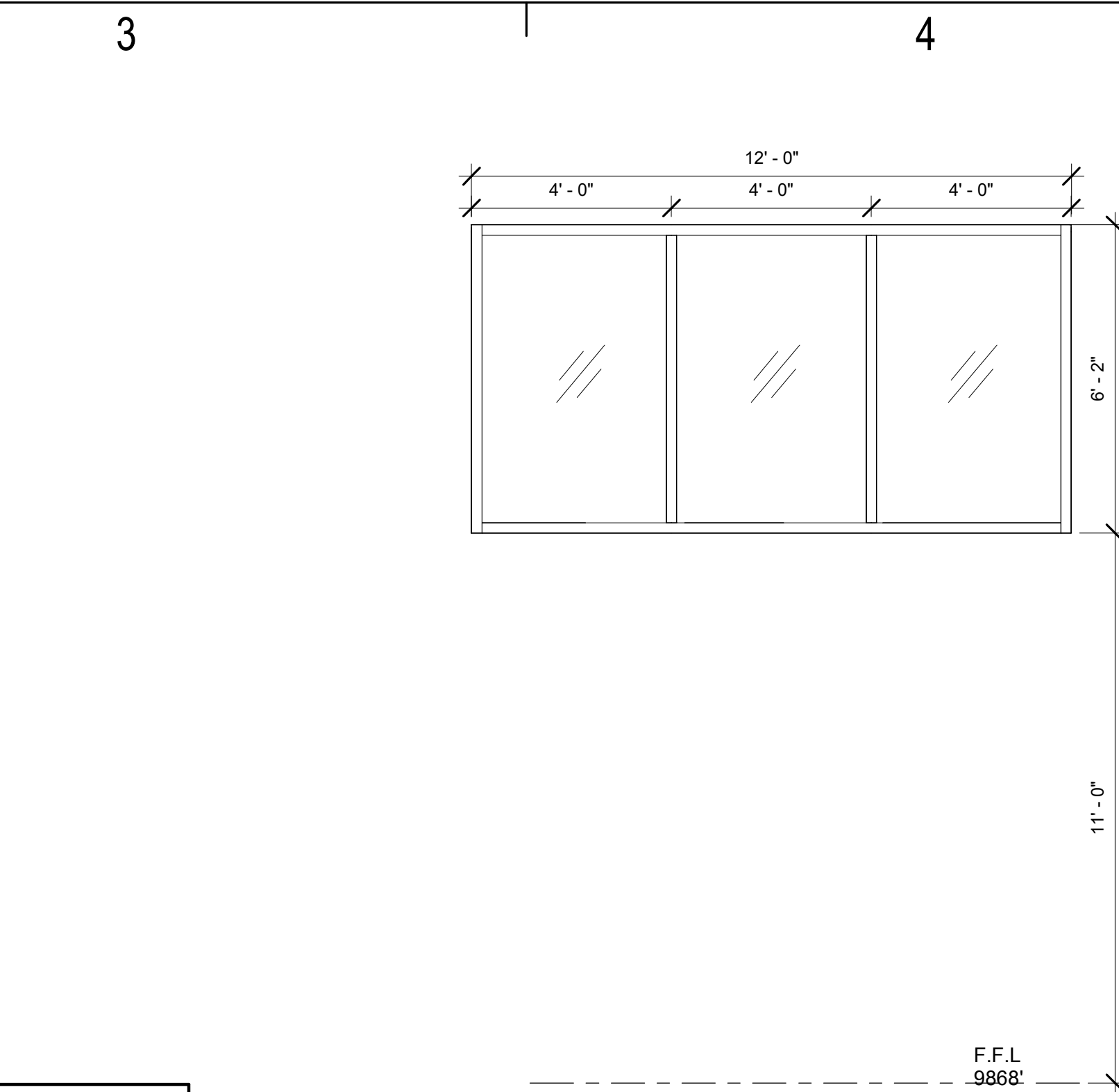
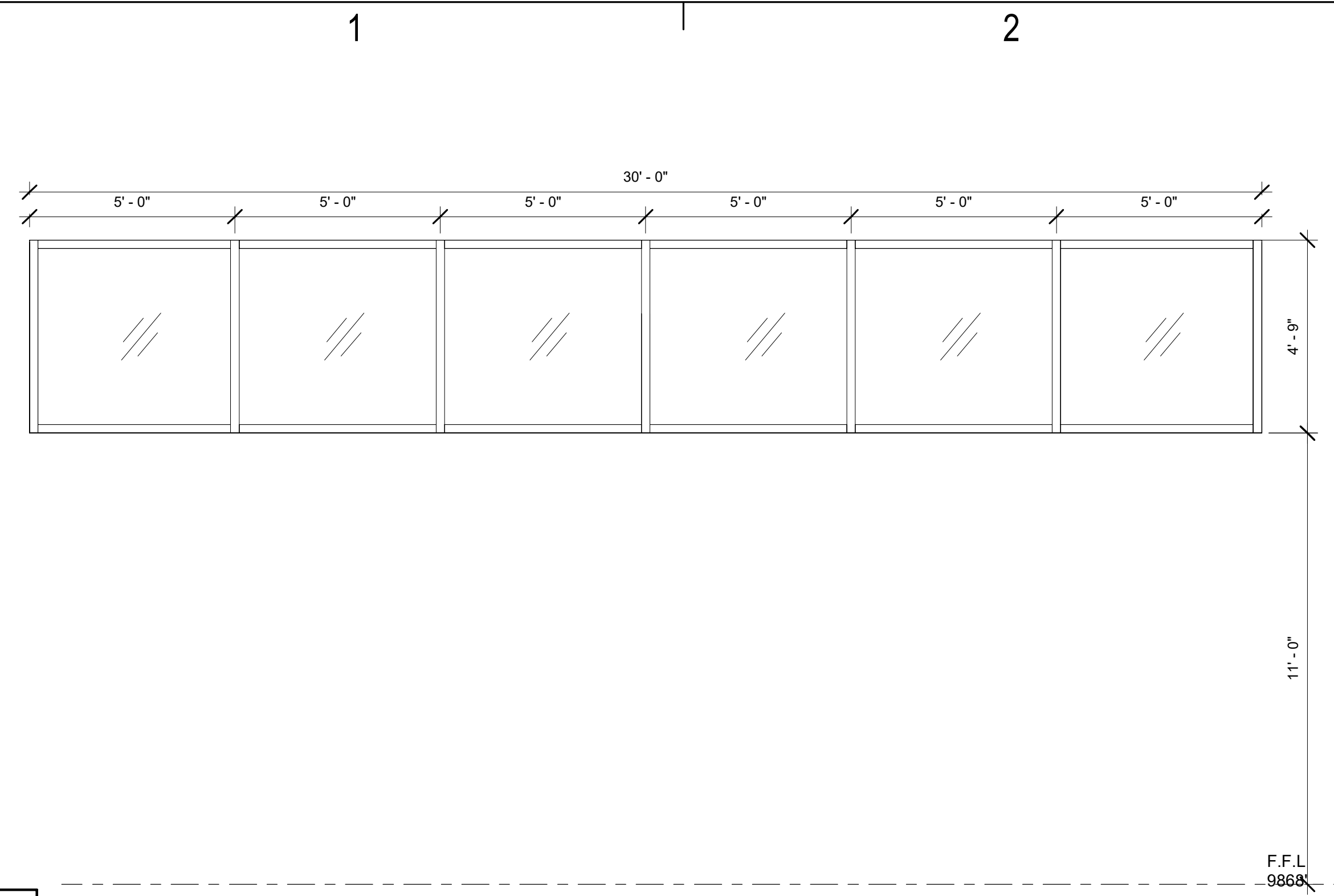
Scale : 1/2" = 1'-0"
DOOR SCHEDULE

STRIAT - KILBANE RESIDENCE
 311 BENCHMARK DRIVE
 TELLURIDE, COLORADO



16-03-2023
 12:59:41 AM

SHEET NO.
A-8.2



WINDOW SCHEDULE			
Mark	Level	Type	Description
01	UPPER LVL	GD1	Refer Door Elevation in A-8.1
02	UPPER LVL	W4	Refer Windows Elevation in A-8.3
03	UPPER LVL	W5	Refer Windows Elevation in A-8.3
04	UPPER LVL	W1	Refer Windows Elevation in A-8.3
05	UPPER LVL	W2	Refer Windows Elevation in A-8.3
06	UPPER LVL	W3	Refer Windows Elevation in A-8.3

W1

W2

W3

W4

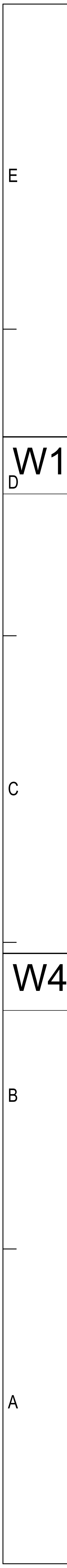
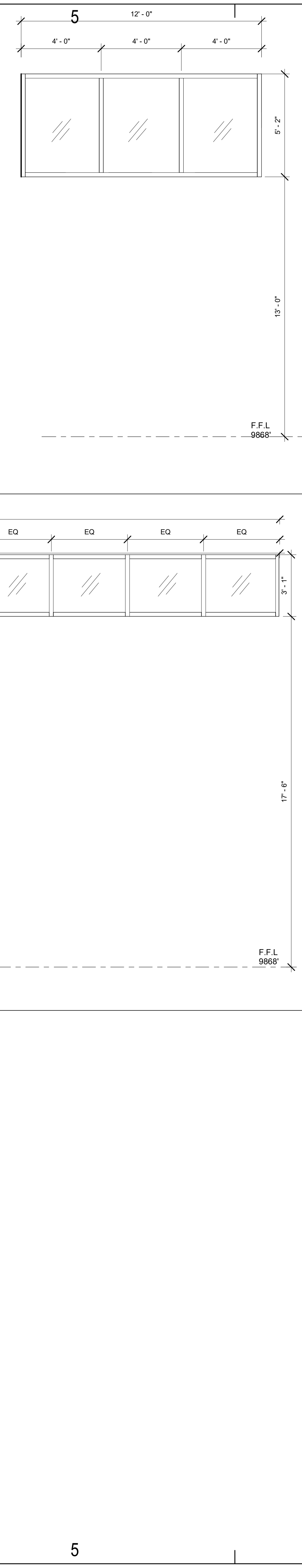
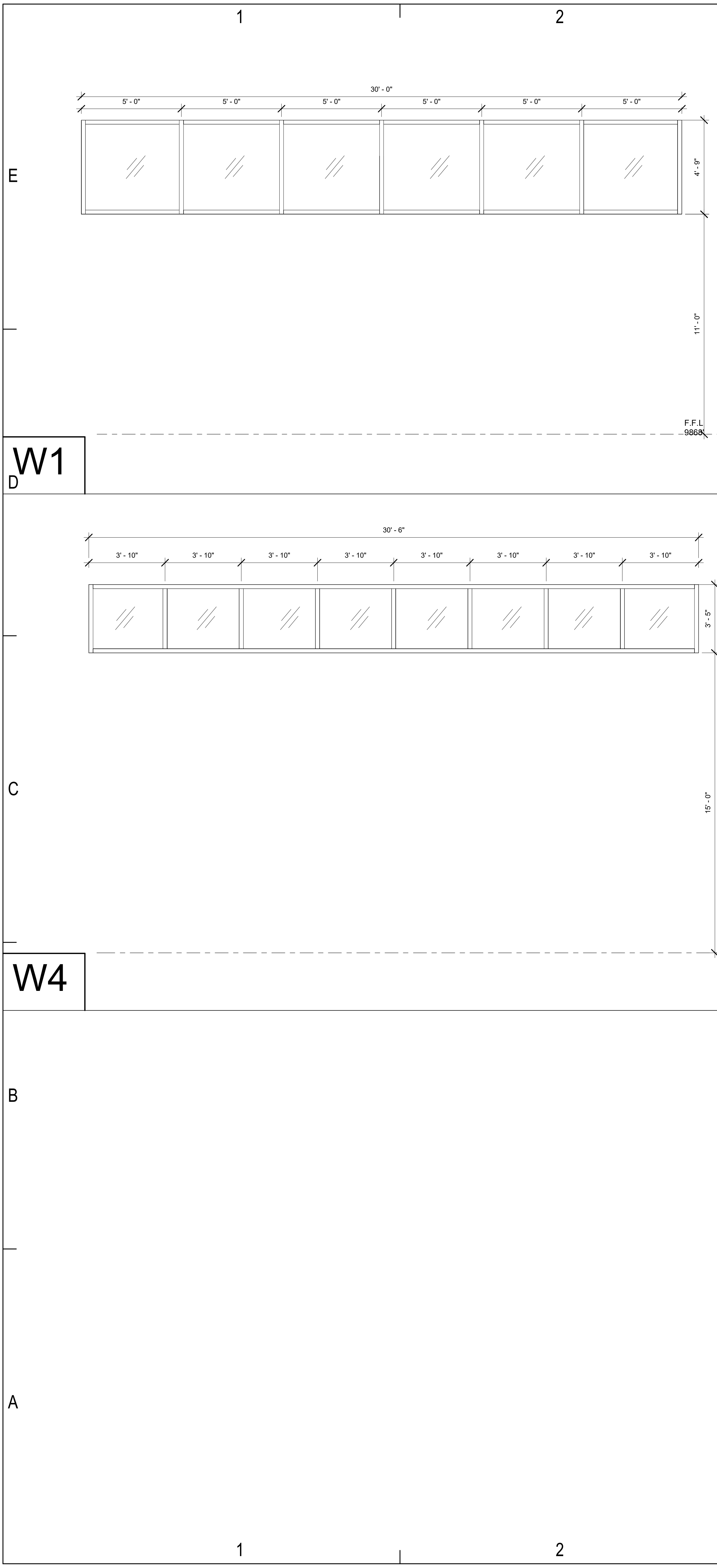
W5

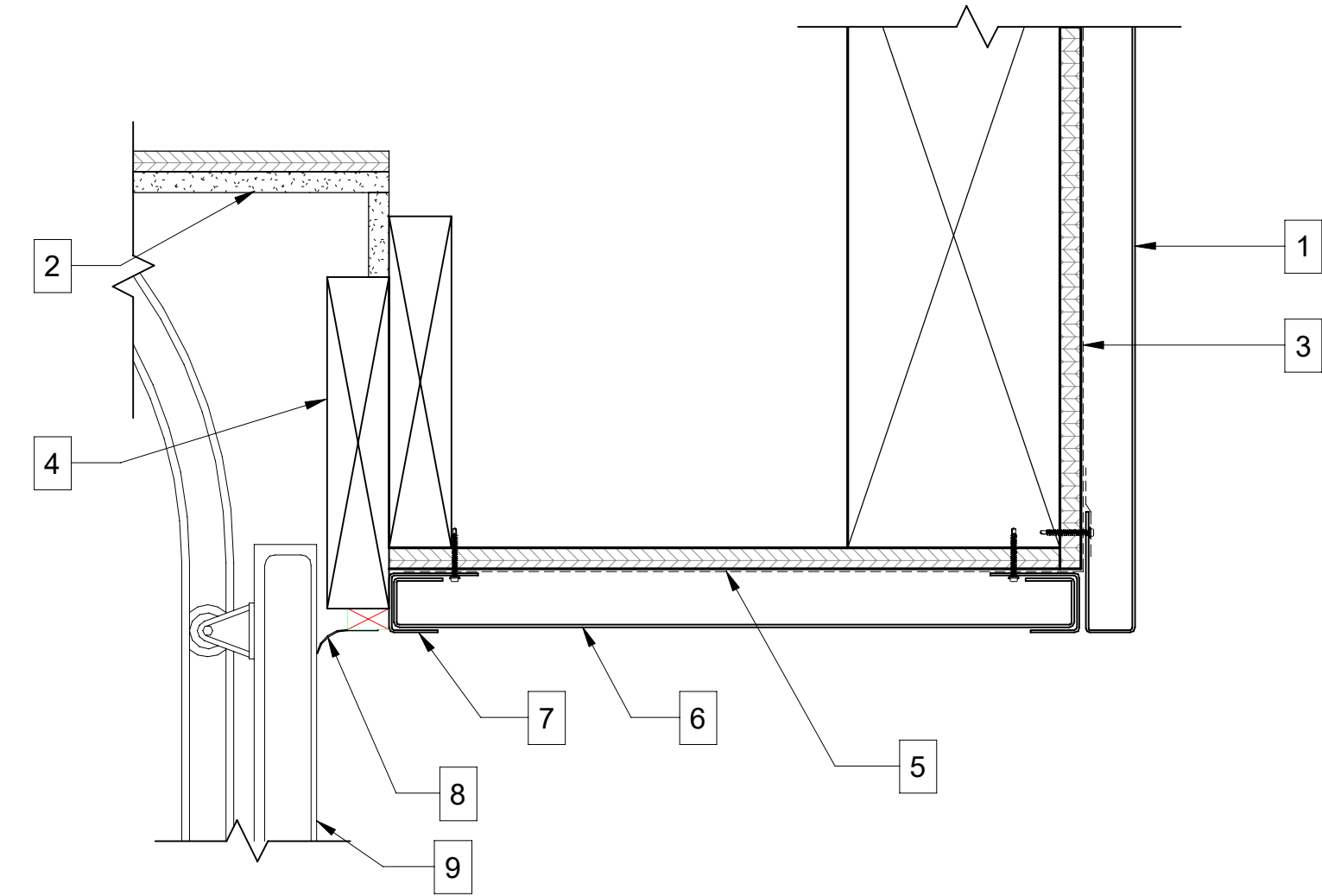


16-03-2023
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SHEET NO.
A-8.3

Scale: 3/8" = 1'-0"
WINDOW SCHED.

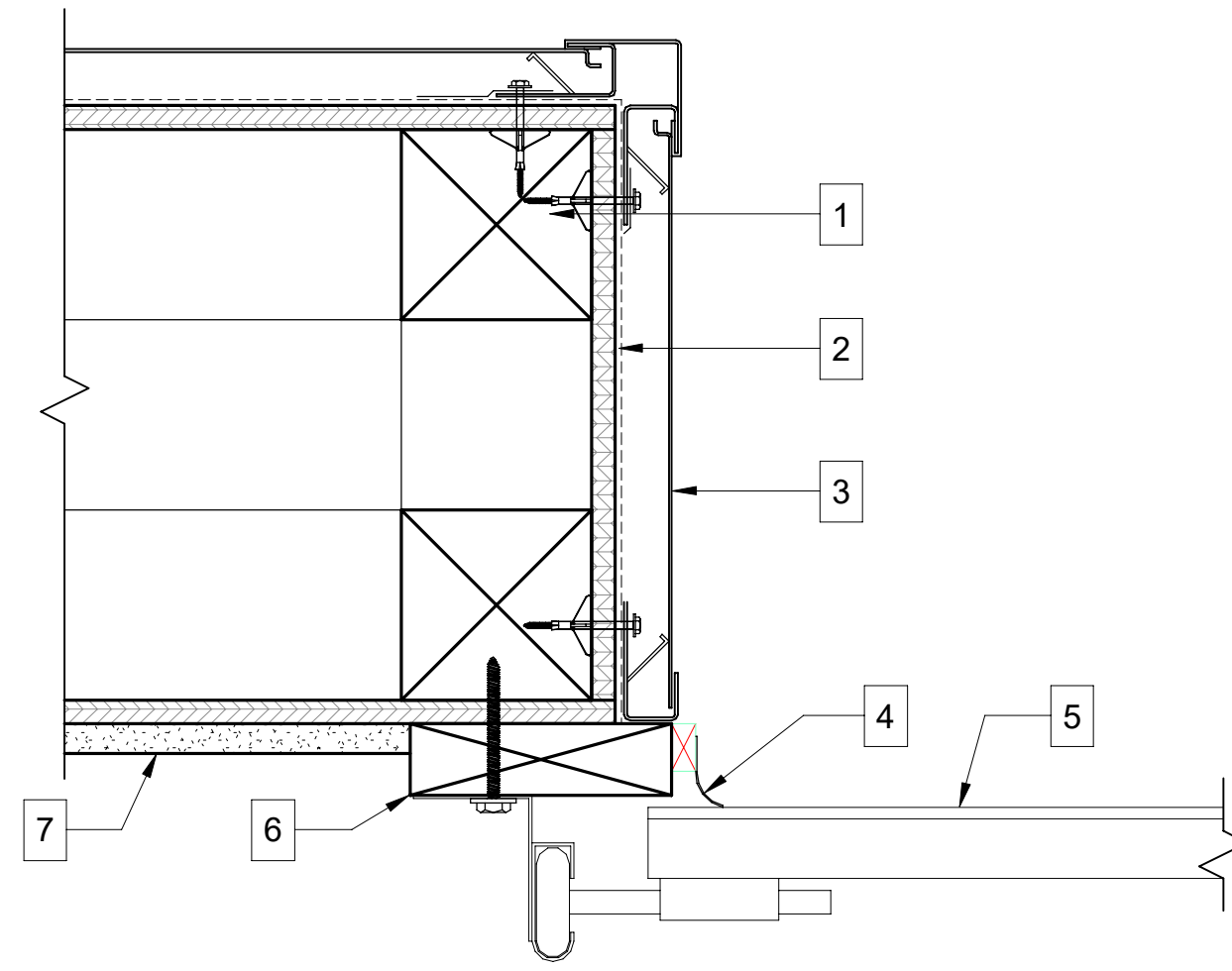




GENERAL NOTES

KEY NOTES

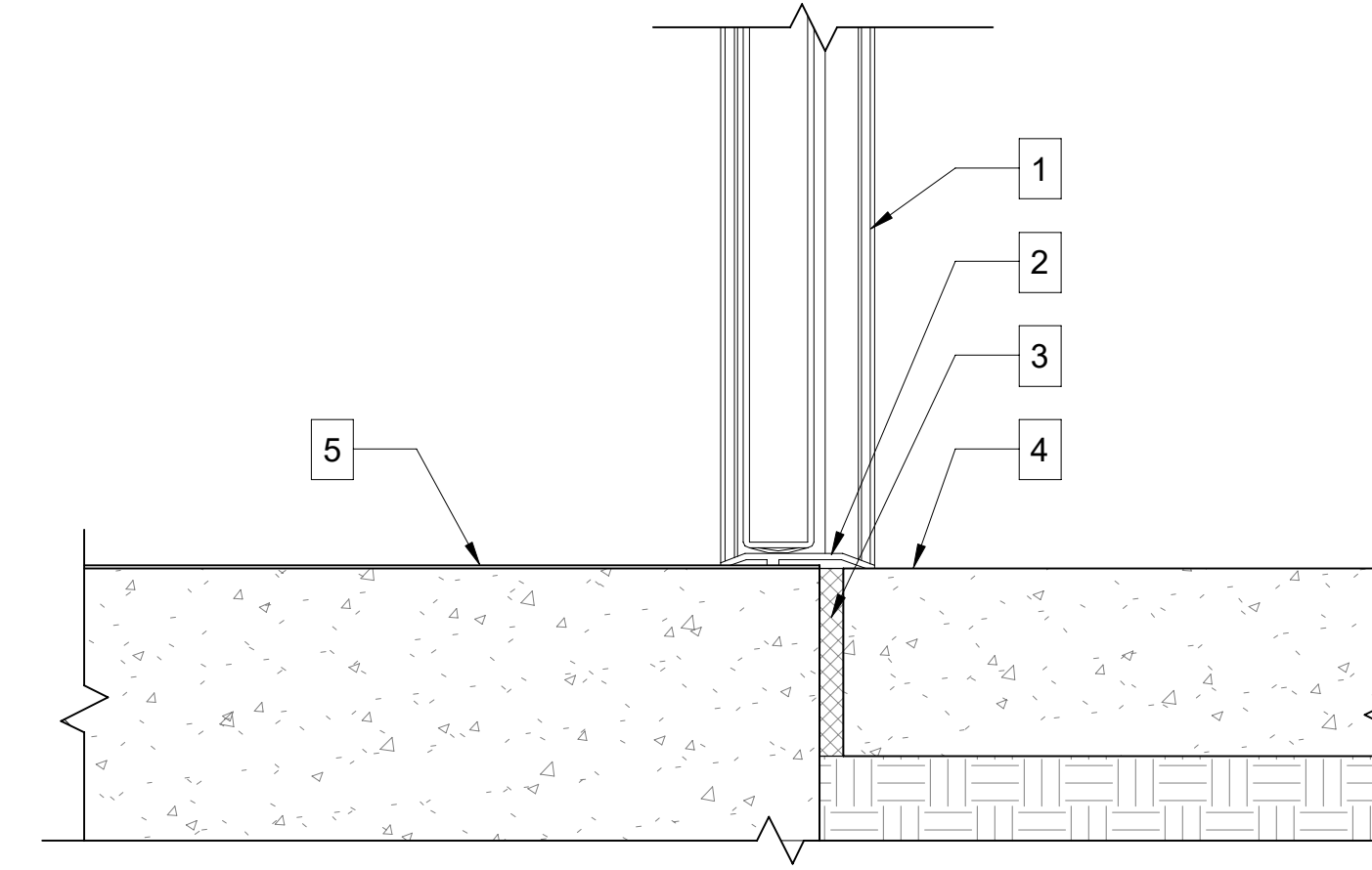
1. METAL WALL PANEL PER PLANS
2. 5/8" TYPE 'X' GYP. BD.
3. FRAMING/SHEATHING PER STRUCTURAL
4. TORSION SPRING MOUNTING BOARD. PAINT TO MATCH INTERIOR FINISH
5. SELF-ADHERED W.P. MEMBRANE LAPPED UNDER W.R.B.
6. SOFFIT PANEL
7. CLOSURE FLASHING
8. CLIMATE SEAL TRIM
9. WOOD CLAD OVERHEAD GARAGE DOOR. SEE PLANS FOR SPECS.



GENERAL NOTES

KEY NOTES

1. FRAMING/SHEATHING PER STRUCTURAL
2. WEATHER RESISTIVE BARRIER
3. METAL WALL PANEL PER PLANS
4. CLIMATE SEAL
5. WOOD CLAD OVERHEAD GARAGE DOOR. SEE PLANS
6. TRACK MOUNTING BOARD. PAINT TO MATCH INTERIOR FINISH
7. 5/8" TYPE 'X' GYP. BD.



GENERAL NOTES

KEY NOTES

1. OCM METAL WRAPPED HOLLOW METAL DOOR AND FRAME
2. 1/2" ALUMINUM THRESHOLD SET IN SEALANT
3. 1/2" COMPRESSION FILLER
4. FINISHED FLOORING PER LANDSCAPE. SLOPE AWAY FROM DOOR AT 2%
5. EPOXY FLOOR COATING

01 GARAGE DR. HDR. AT METAL PANEL 3" = 1'-0"

02 GARAGE DOOR JAMB AT METAL 3" = 1'-0"

03 METAL WRAPPED METAL DOOR SILL 3" = 1'-0"

GENERAL NOTES

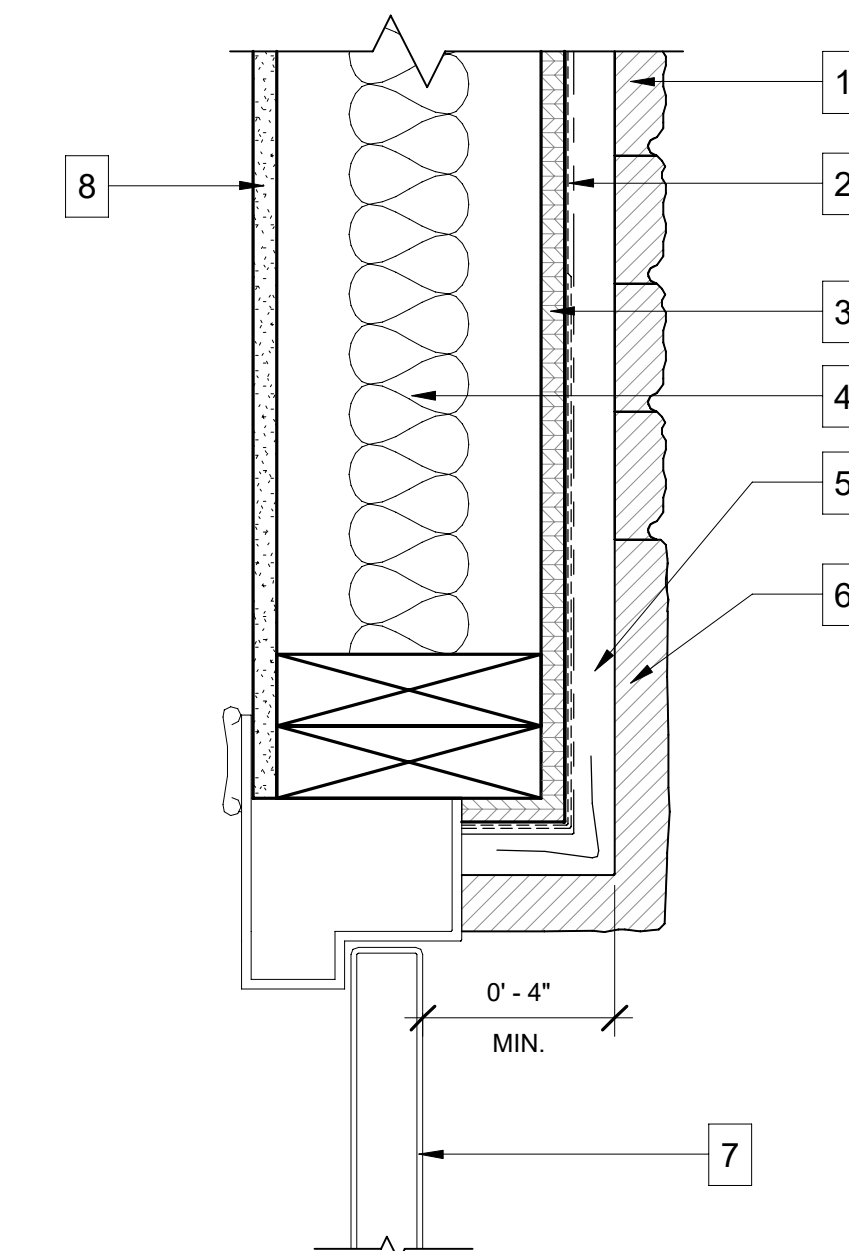
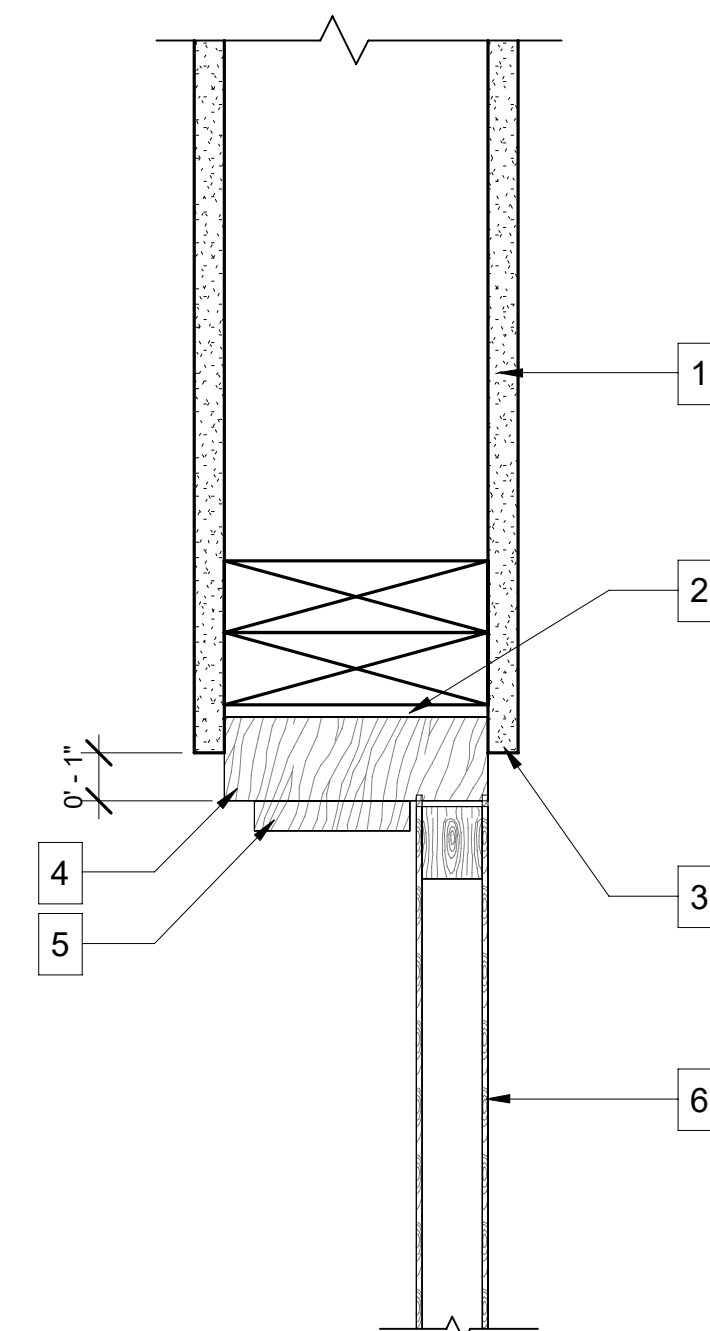
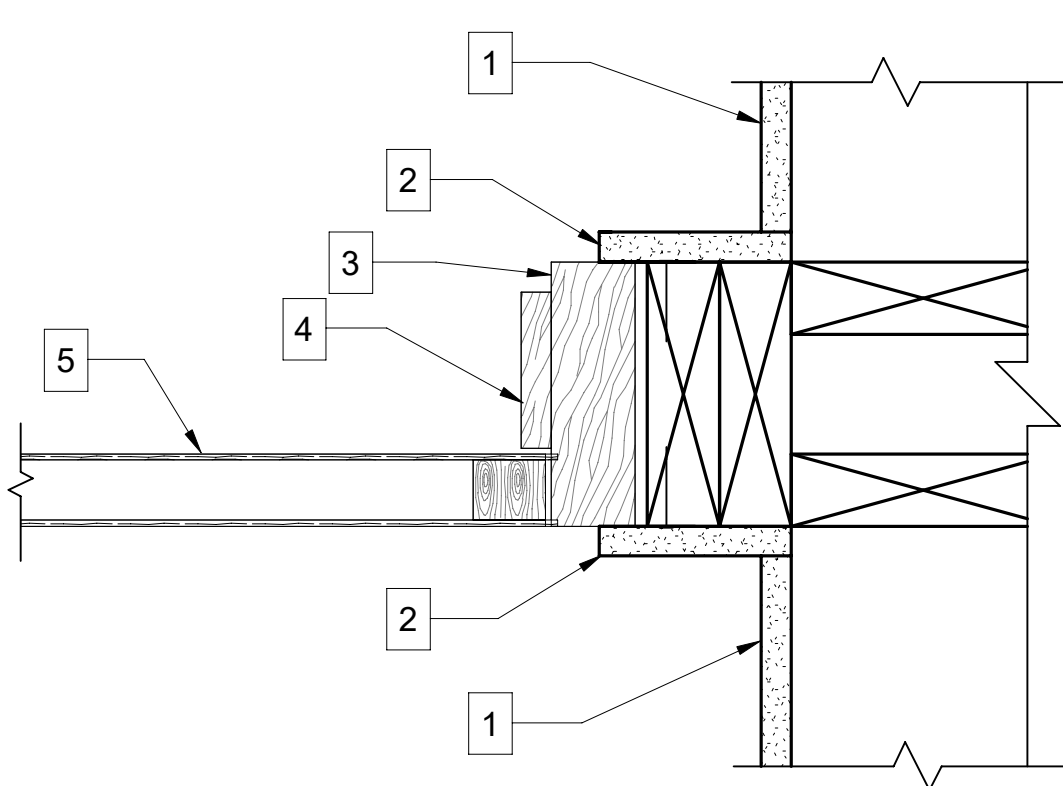
KEY NOTES

1. 5/8" TYPE 'X' GYP. BD.
2. METAL KERF TRIM EA. SIDE SPACKLE AND PAINT TO MATCH
3. 1 1/2" WOOD CASING
4. 1/2" WOOD STOP
5. 1-3/4" FLUSH WOOD DOOR PER PLANS

GENERAL NOTES

KEY NOTES

1. 5/8" TYPE 'X' GYP. BD.
2. SHIM SPACE
3. METAL KERF TRIM EA. SIDE
4. 1 1/2" WOOD JAMBS
5. 1/2" WOOD STOP
6. 1-3/4" FLUSH WOOD DOOR PER PLANS



GENERAL NOTES

KEY NOTES

1. STONE WALL ASSEMBLY PER PLANS
2. WEATHER RESISTIVE BARRIER
3. FRAMING & SHEATHING PER STRUCTURAL
4. R-21 OR BETTER INSULATION
5. CASING BEAD W/ WEEP HOLES
6. HEMMED METAL HEAD FLASHING SET IN SEALANT LAPPED UNDER W.R.B.
7. HOLLOW METAL DOOR AND FRAME PAINT TO MATCH STUCCO.
8. 5/8" TYPE 'X' GYP. BD.

04 INTERIOR DOOR JAMB 3" = 1'-0"

05 INTERIOR WOOD DOOR HEAD/ JAMB 3" = 1'-0"

06 METAL DOOR HEAD/ JAMB AT STONE 3" = 1'-0"

GENERAL NOTES

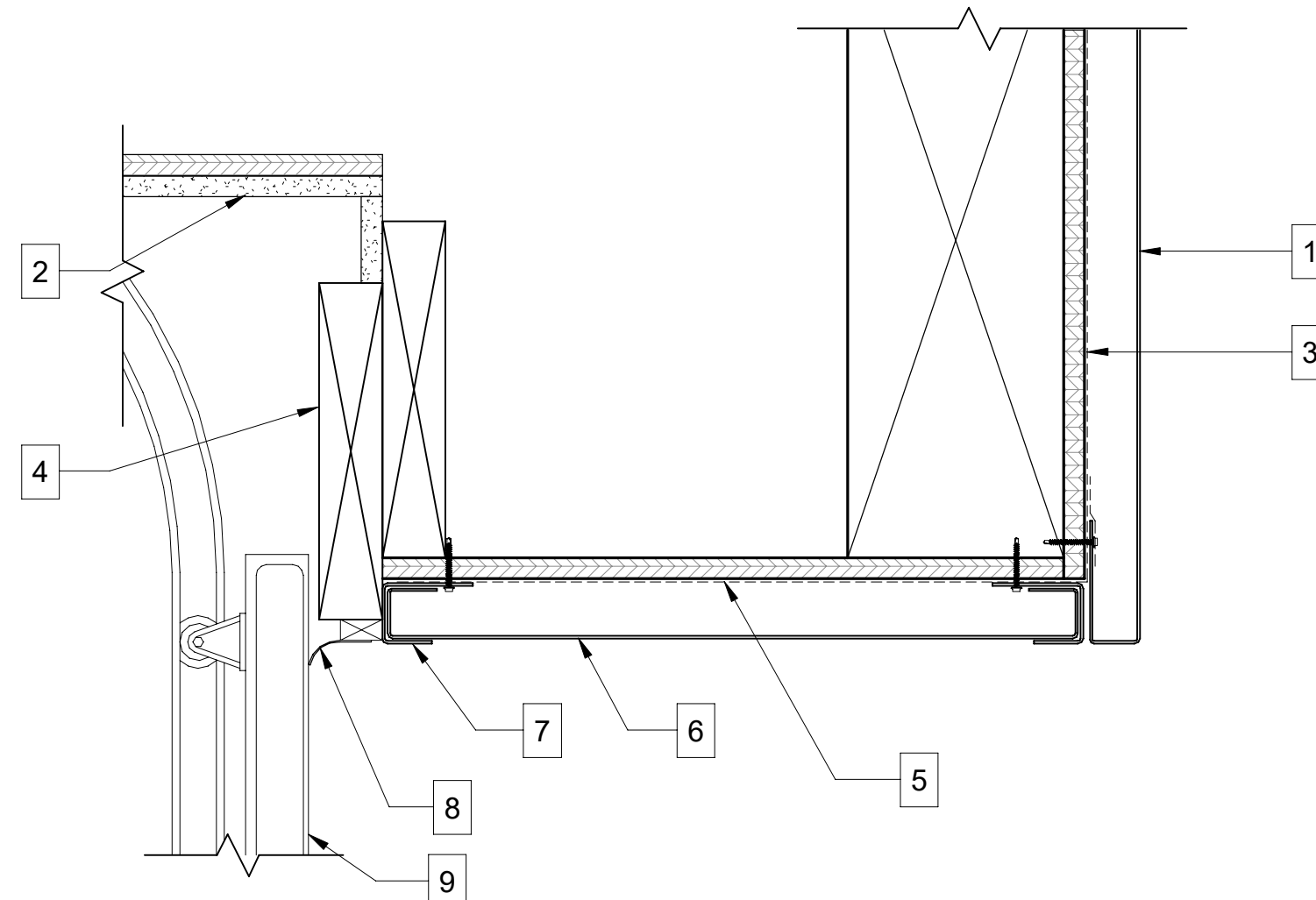
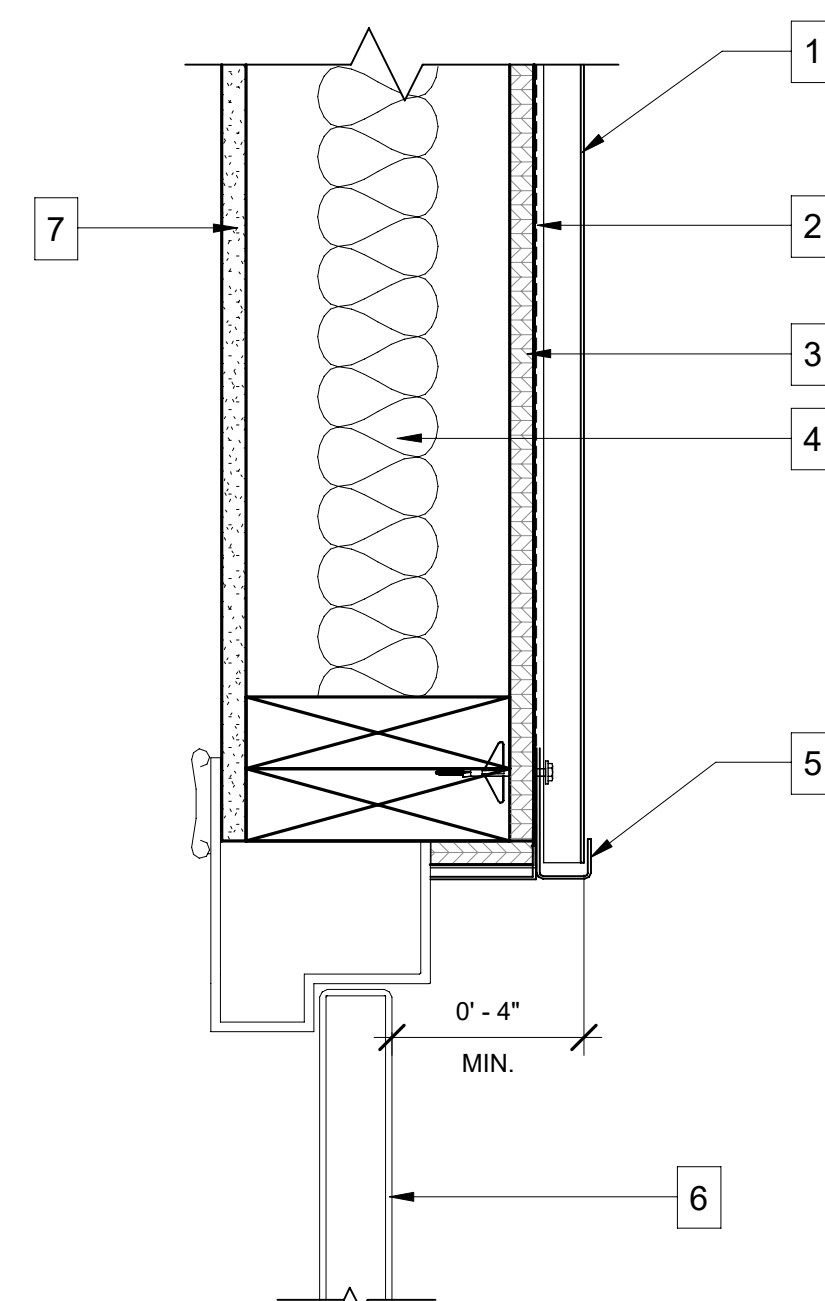
KEY NOTES

1. METAL WALL ASSEMBLY PER PLANS
2. WEATHER RESISTIVE BARRIER
3. FRAMING & SHEATHING PER STRUCTURAL
4. R-21 OR BETTER INSULATION
5. HEMMED METAL HEAD FLASHING SET IN SEALANT LAPPED UNDER W.R.B.
6. HOLLOW METAL DOOR AND FRAME PAINT TO MATCH METAL PANEL.
7. 5/8" TYPE 'X' GYP. BD.

GENERAL NOTES

KEY NOTES

1. METAL WALL PANEL PER PLANS
2. 5/8" TYPE 'X' GYP. BD.
3. FRAMING/SHEATHING PER STRUCTURAL
4. TORSION SPRING MOUNTING BOARD. PAINT TO MATCH INTERIOR FINISH
5. SELF-ADHERED W.P. MEMBRANE LAPPED UNDER W.R.B.
6. SOFFIT PANEL
7. CLOSURE FLASHING
8. CLIMATE SEAL TRIM
9. WOOD CLAD OVERHEAD GARAGE DOOR. SEE PLANS FOR SPECS.

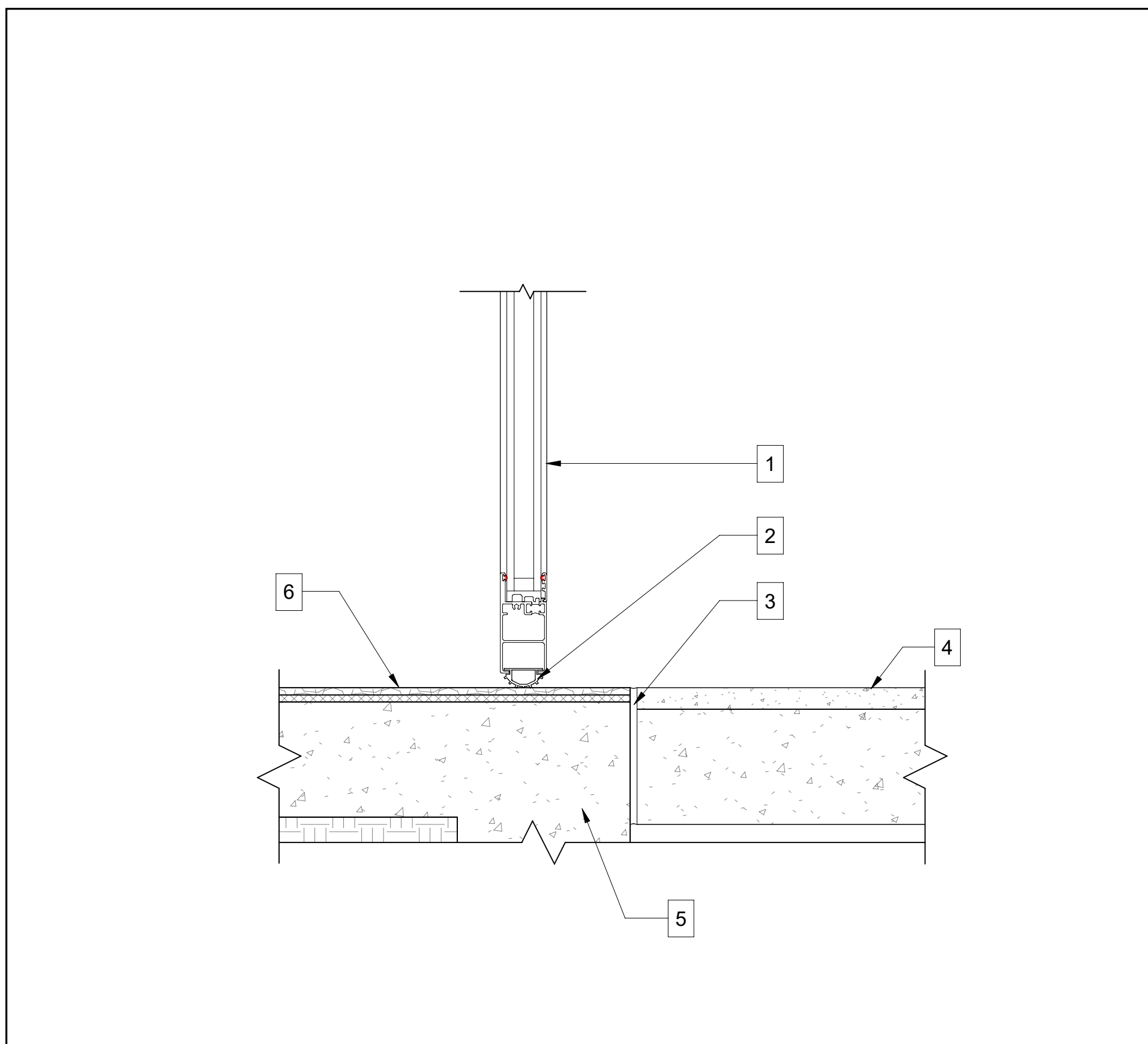


07 METAL DOOR HEAD/ JAMB AT METAL 3" = 1'-0"

08 DOOR HEAD/JAMB AT SOFFIT 3" = 1'-0"

Scale : 3" = 1'-0"

DOOR DETAILS

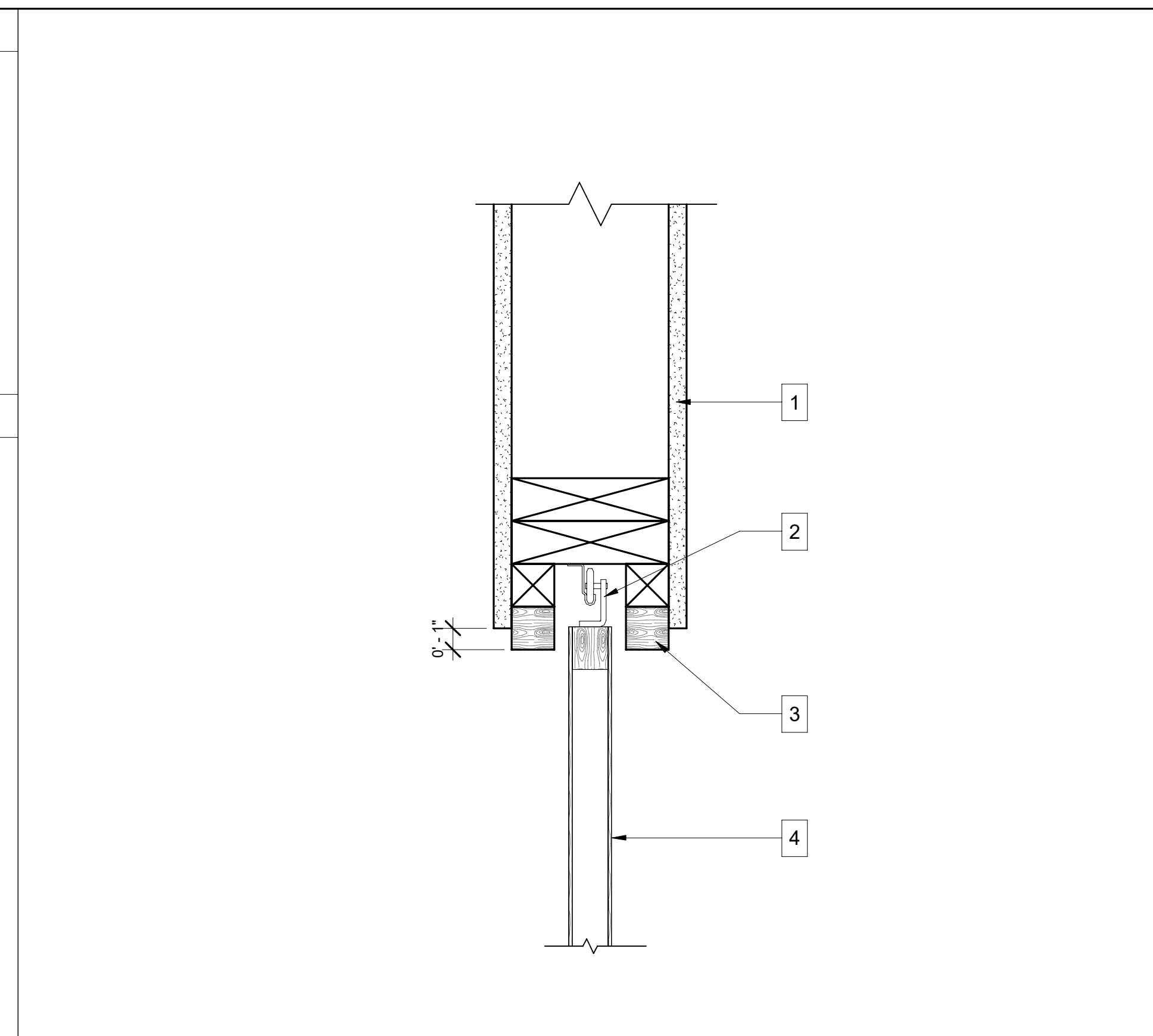


GENERAL NOTES

KEY NOTES

1. PIVOT DOOR PER PLANS
2. WEATHER SEAL
3. COMPRESSIBLE FILLER
4. HARDSCAPE PER PLANS
5. FOUNDATION AND FOOTING PER PLANS
6. STONE TILE AND SETTING BED

01 PIVOT DOOR SILL 3" = 1'-0"

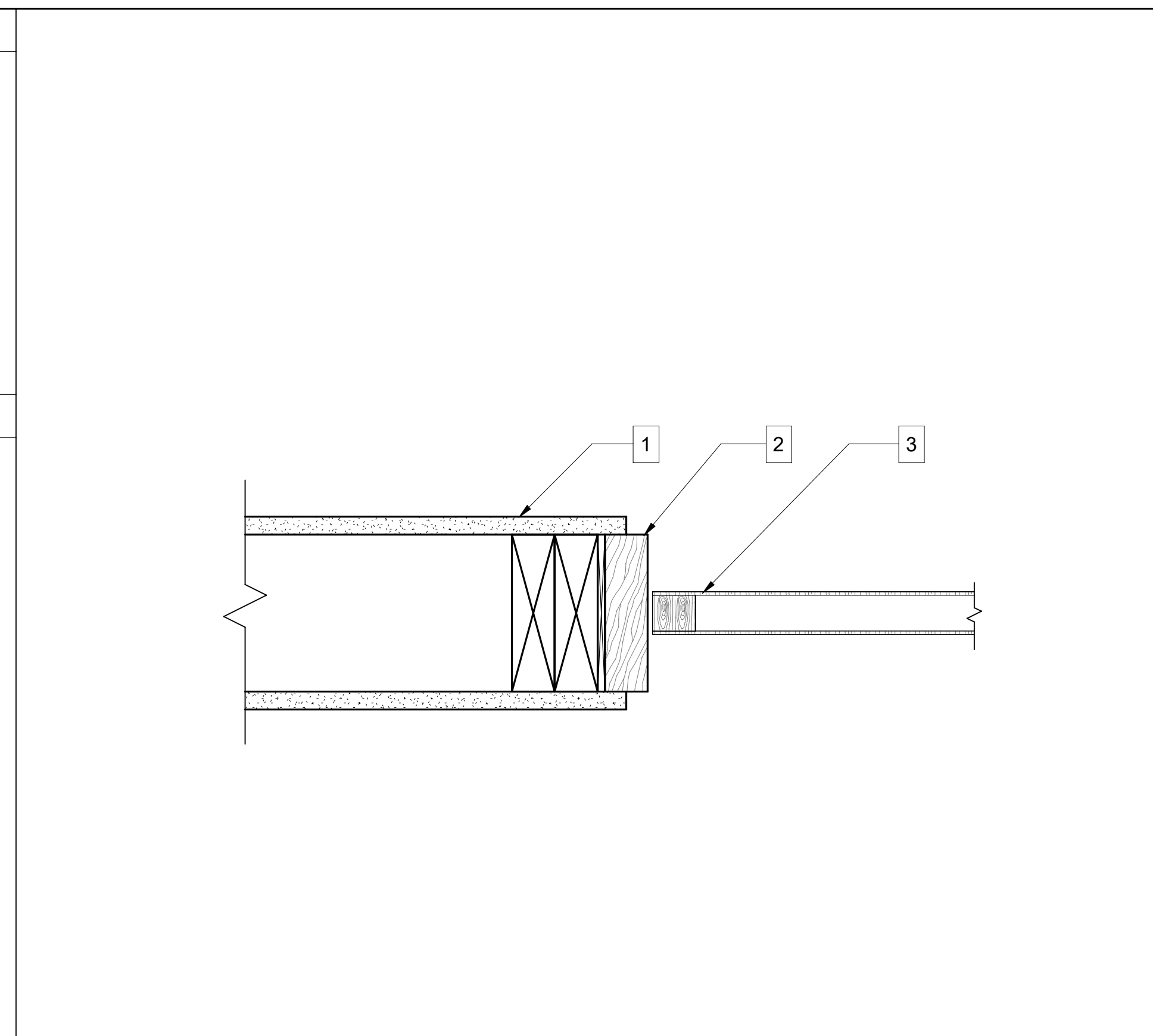


GENERAL NOTES

KEY NOTES

1. 5/8" TYPE 'X' GYP. BD.
2. POCKET DOOR ROLLER HD. WR.
3. 1 1/2" WOOD CASING
4. FLUSH WOOD DOOR

02 POCKET DOOR HEAD 3" = 1'-0"

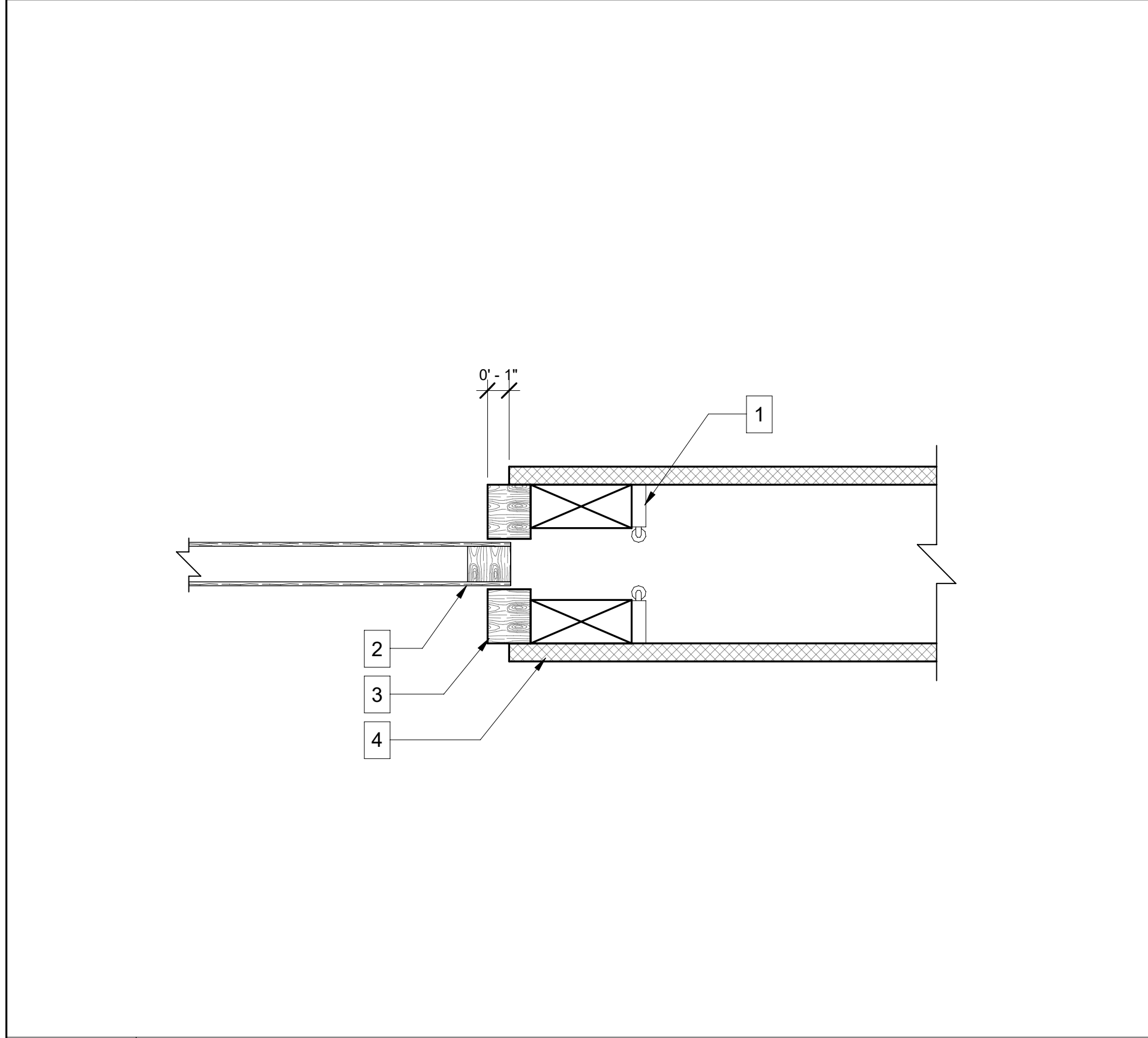


GENERAL NOTES

KEY NOTES

1. 5/8" TYPE 'X' GYP. BD.
2. 1 1/2" WOOD CASING
3. FLUSH WOOD DOOR

03 POCKET DOOR JAMB 3" = 1'-0"

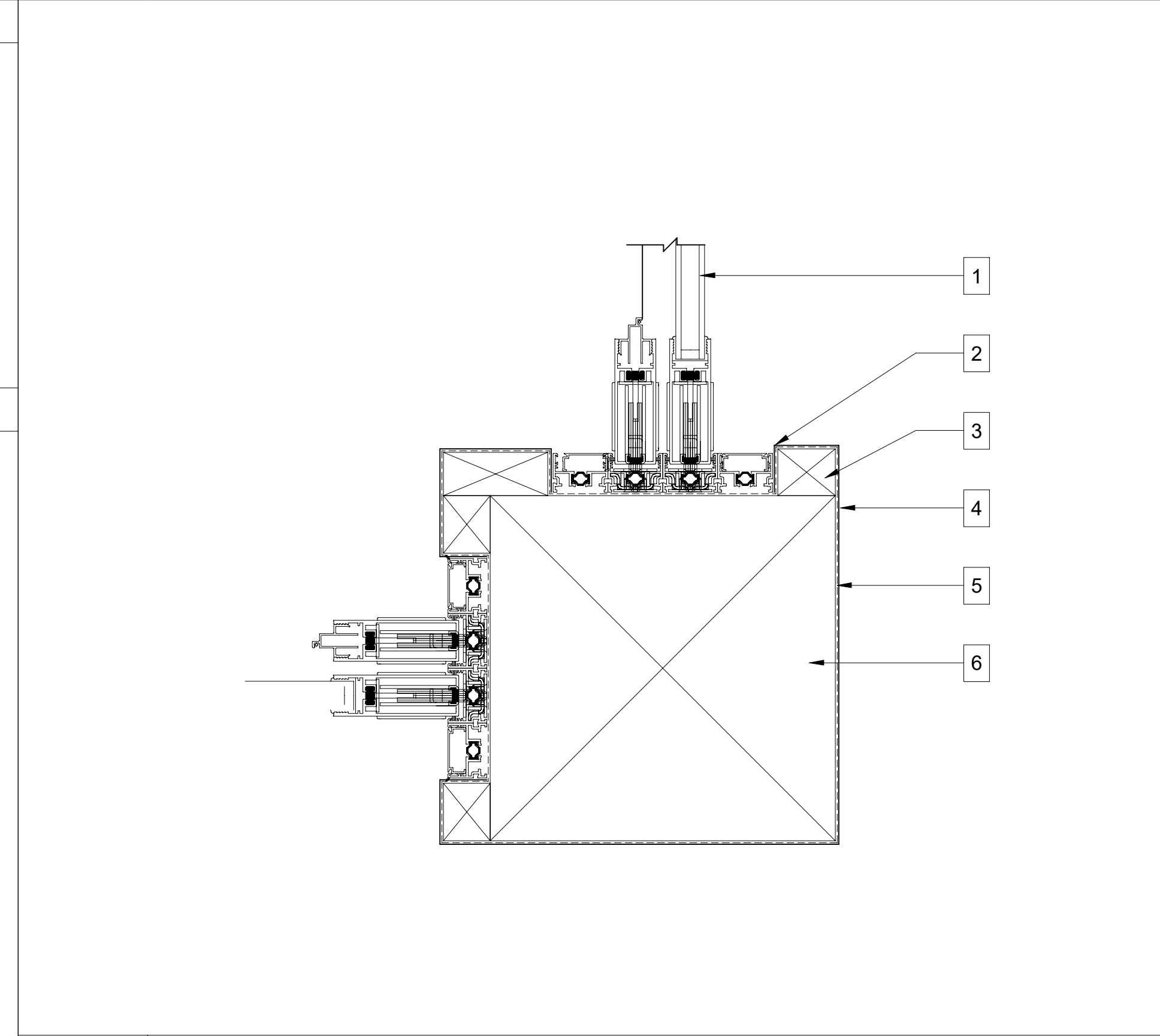


GENERAL NOTES

KEY NOTES

1. 5/8" TYPE 'X' GYP. BD.
2. POCKET DOOR ROLLER HD. WR.
3. 1 1/2" WOOD CASING
4. FLUSH WOOD DOOR

04 POCKET DOOR JAMB 3" = 1'-0"

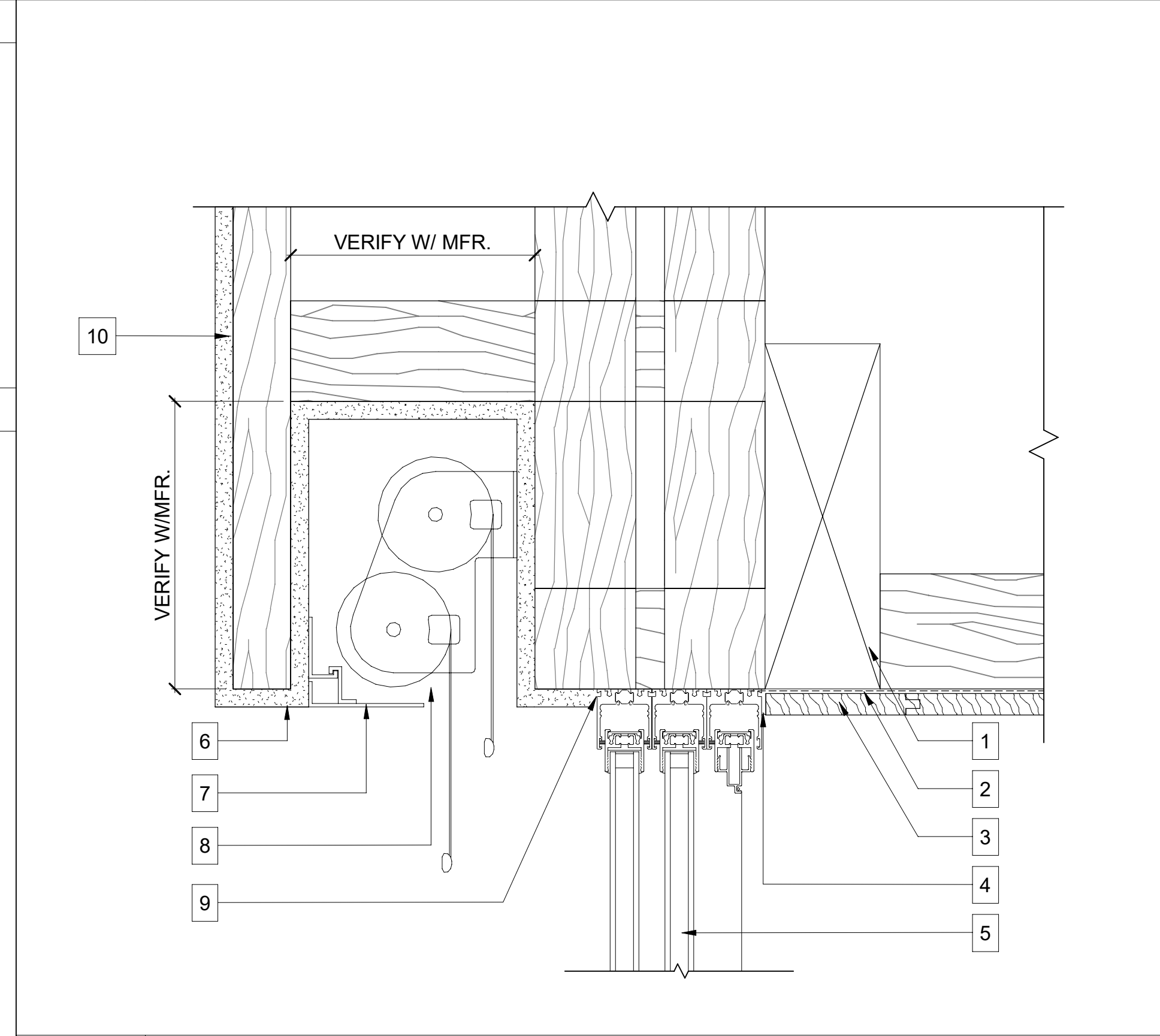


GENERAL NOTES

KEY NOTES

1. SLIDING POCKET DOOR PER PLANS W/ SCREEN
2. CONT. SEALANT W/ BACKER ROD
3. SHIM TO ALIGN FRAME W/ FINISH FACE OF JAMB
4. BREAK METAL TO MATCH DOOR AND WINDOW FINISH
5. WEATHER RESISTIVE BARRIER
6. FRAMING PER STRUCTURAL

05 POCKET SLDG. DR. JAMB AT POST 3" = 1'-0"

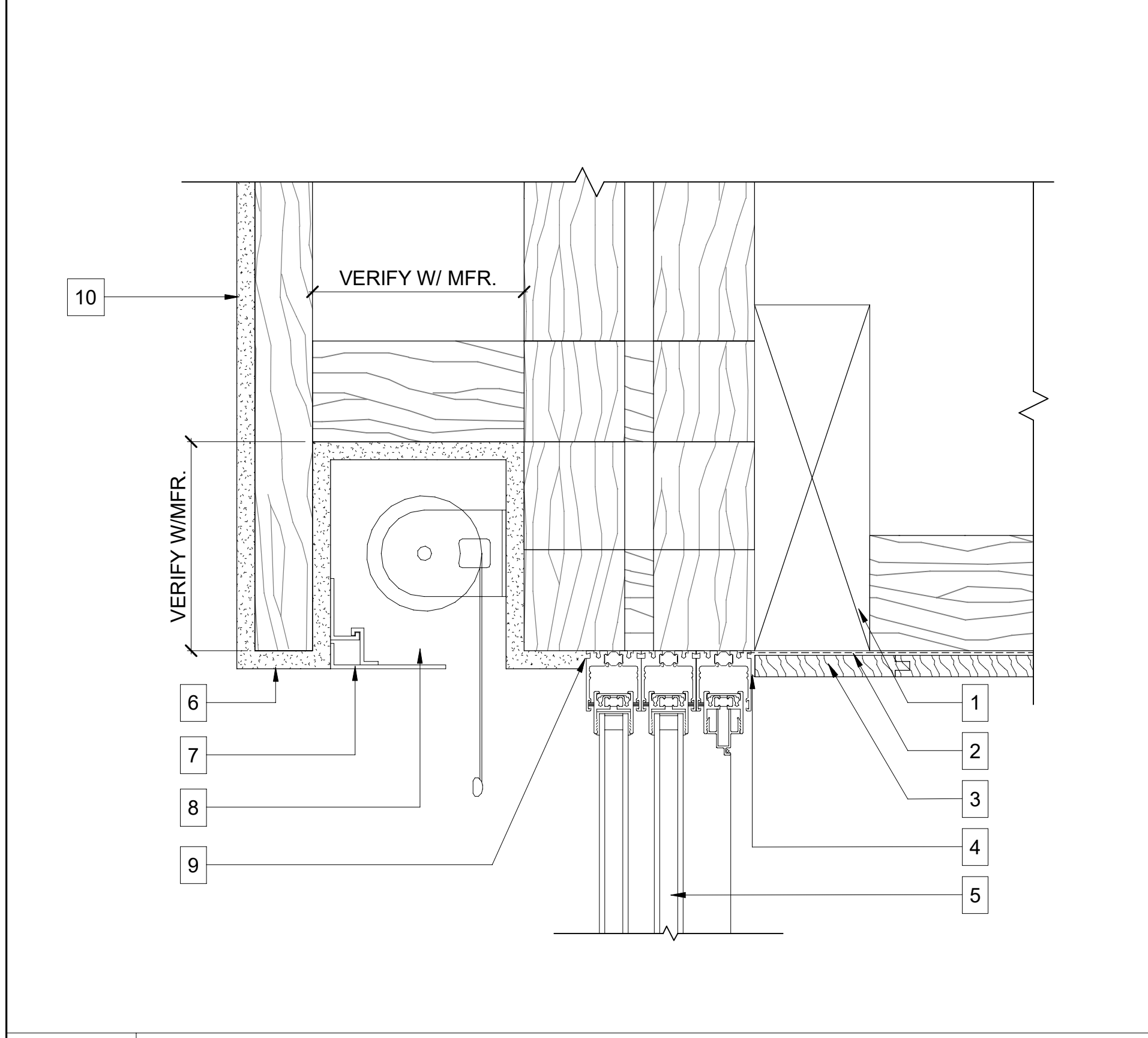


GENERAL NOTES

KEY NOTES

1. FRAMING PER PLANS/ STRUCTURAL
2. WEATHER RESISTIVE BARRIER
3. T & G SOFFIT PER PLANS
4. SHIM & SEALANT
5. SLIDING POCKET DOOR W/SCREEN
6. 5/8" TYPE 'X' GYP. BD.
7. COVER PLATE. PAINT TO MATCH CEILING
8. DOUBLE ROLLER SHADE POCKET CONFIRM REQUIREMENTS WITH SHADE MFR.
9. AIR SEAL
10. 2X LAYER FLAT AND BUILD WALL TO WALL

06 SLIDING DOOR HEAD AT BEDROOM 3" = 1'-0"

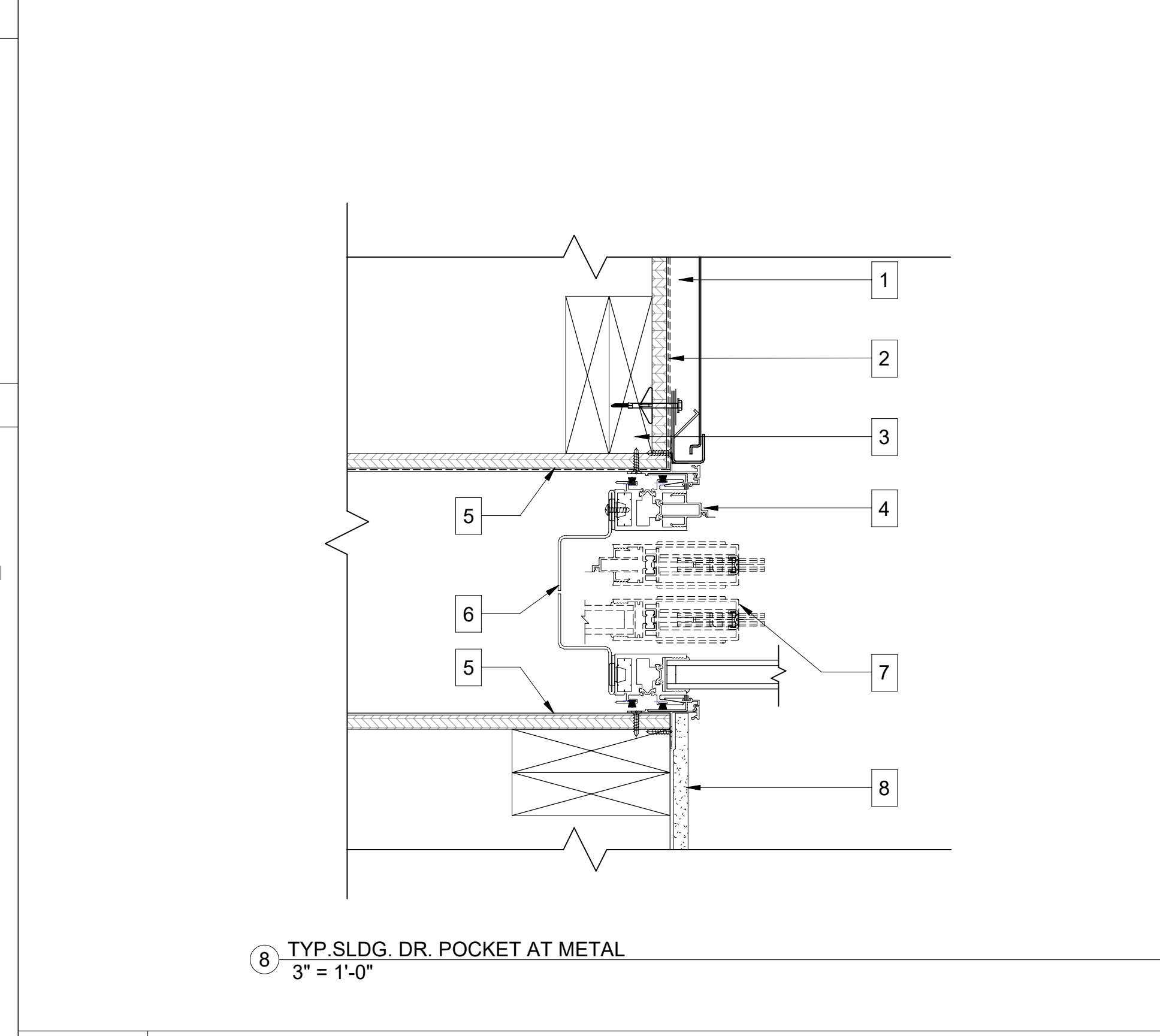


GENERAL NOTES

KEY NOTES

1. FRAMING PER PLANS/ STRUCTURAL
2. WEATHER RESISTIVE BARRIER
3. T & G PER PLANS
4. SHIM & SEALANT
5. SLIDING POCKET DOOR W/SCREEN
6. 5/8" TYPE 'X' GYP. BD.
7. COVER PLATE. PAINT TO MATCH CEILING
8. DOUBLE ROLLER SHADE POCKET CONFIRM REQUIREMENTS WITH SHADE MFR.
9. AIR SEAL
10. 2X LAYER FLAT AND BUILD WALL TO WALL

07 SLDG. DR. HEAD AT PUBLIC SPACE 3" = 1'-0"



GENERAL NOTES

1. WEATHERSTRIP AND WEATHERPROOF POCKET OPENING WHEN DOORS ARE IN CLOSED POSITION

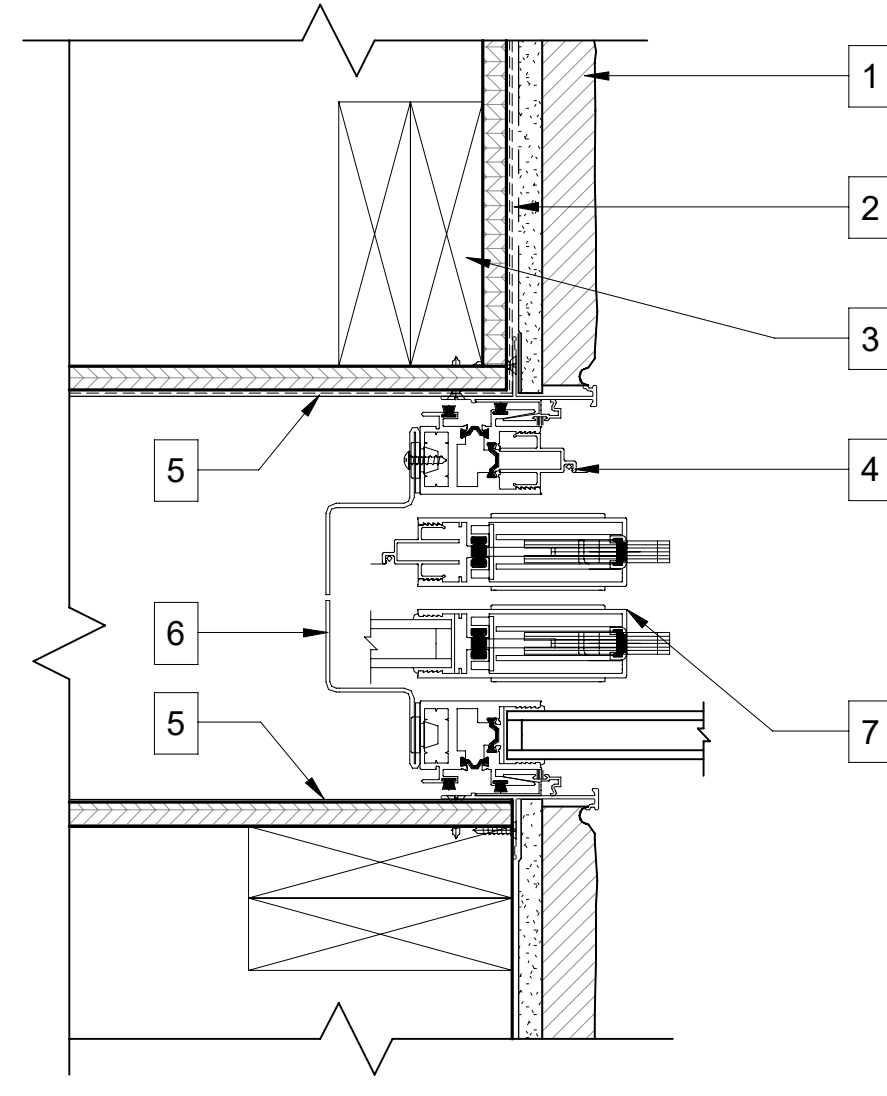
KEY NOTES

1. METAL PANEL PER PLAN.
2. WEATHER RESISTIVE BARRIER
3. FRAMING PER PLANS/STRUCTURAL
4. POCKET DOOR FRAME AND MOUNTING
5. WRAP POCKET INTERIOR W/ BREAK METAL. PAINT TO MATCH DOOR FINISH
6. POCKET CLOSER PANELS
7. PANELS IN OPEN POSITION ALIGN FLUSH
8. 5/8" TYPE 'X' GYP. BD.

08 TYP.SLDG. DR. POCKET AT METAL 3" = 1'-0"

Scale: 3" = 1'-0"
DOOR DETAILS

8 TYP.SLDG. DR. POCKET AT METAL
3" = 1'-0"

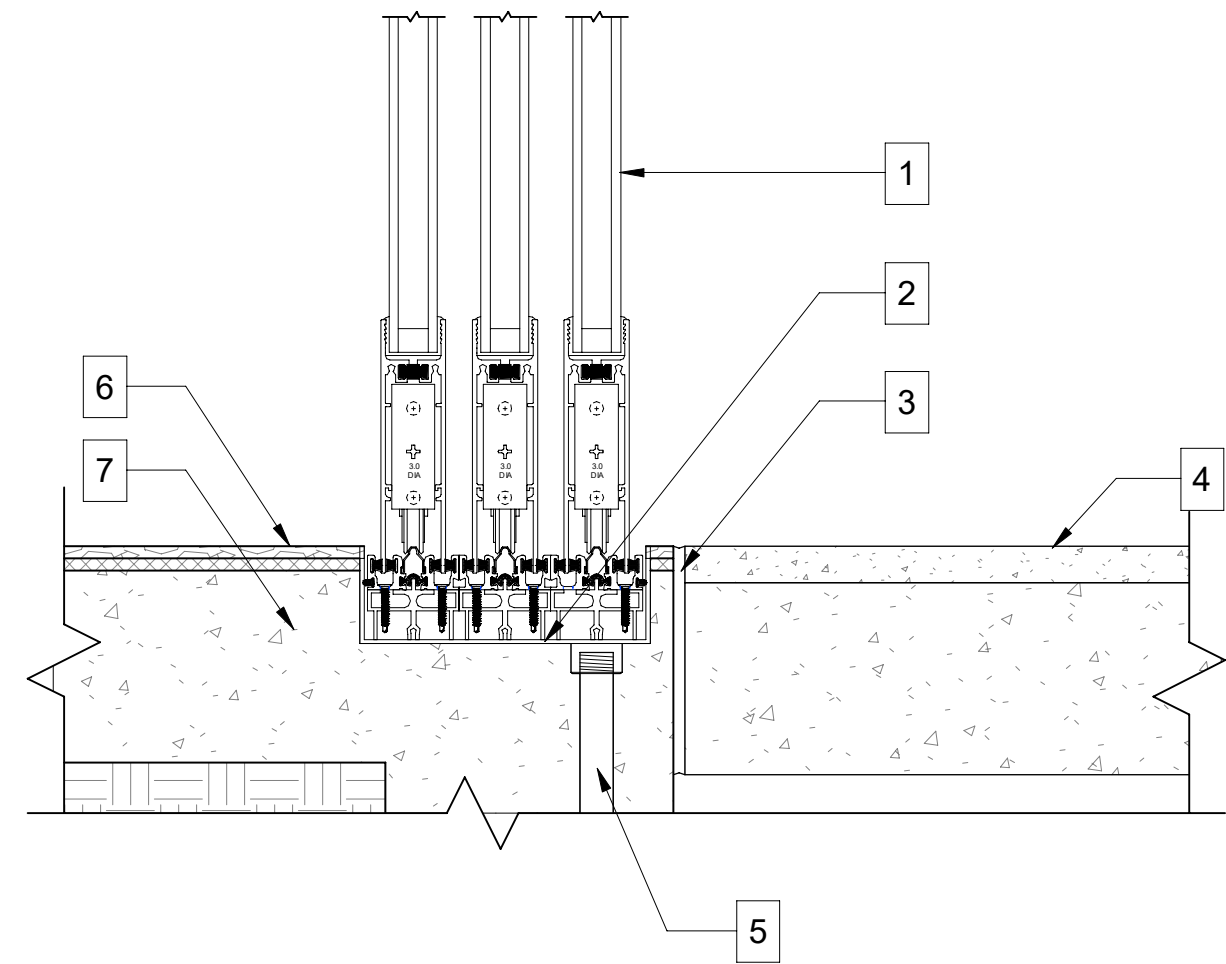


GENERAL NOTES

1. WEATHERSTRIP AND WEATHERPROOF POCKET OPENING WHEN DOORS ARE IN CLOSED POSITION

KEY NOTES

1. STONE PER PLAN.
2. WEATHER RESISTIVE BARRIER
3. FRAMING PER PLANS/STRUCTURAL
4. POCKET DOOR FRAME AND MOUNTING
5. WRAP POCKET INTERIOR W/ BREAK METAL. PAINT TO MATCH DOOR FINISH
6. POCKET CLOSER PANELS
7. PANELS IN OPEN POSITION ALIGN FLUSH



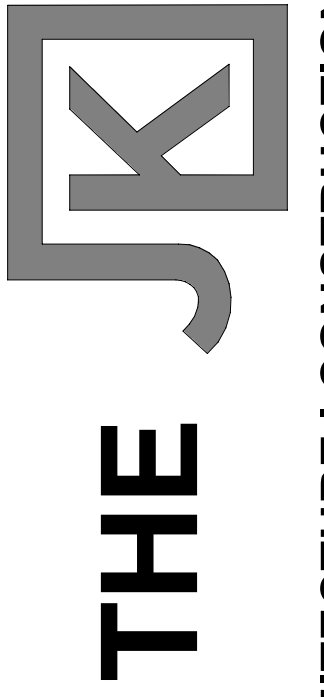
GENERAL NOTES

1. SLIDING DOOR PER PLANS. INSTALL PER MFR INSTRUCTIONS
2. SILL PAN. INSTALL PER MFR INSTRUCTIONS
3. COMPRESSIBLE FILLER
4. HARDCAPE PER PLANS
5. SILL PAN DRAIN. CONSULT MFR INSTRUCTIONS
6. FLOORING AND SUBSTRATE PER PLANS
7. CONCRETE SLAB PER PLANS

KEY NOTES

01 TYPICAL SLIDING DOOR POCKET

02 TYP. POCKET SLIDING DOOR SILL



THE JK COMPANIES

ARCHITECTURE | CONSTRUCTION AND DEVELOPMENT | HOMES AND LAND

STRIAT - KILBANE RESIDENCE

311 BENCHMARK DRIVE

TELLURIDE, COLORADO



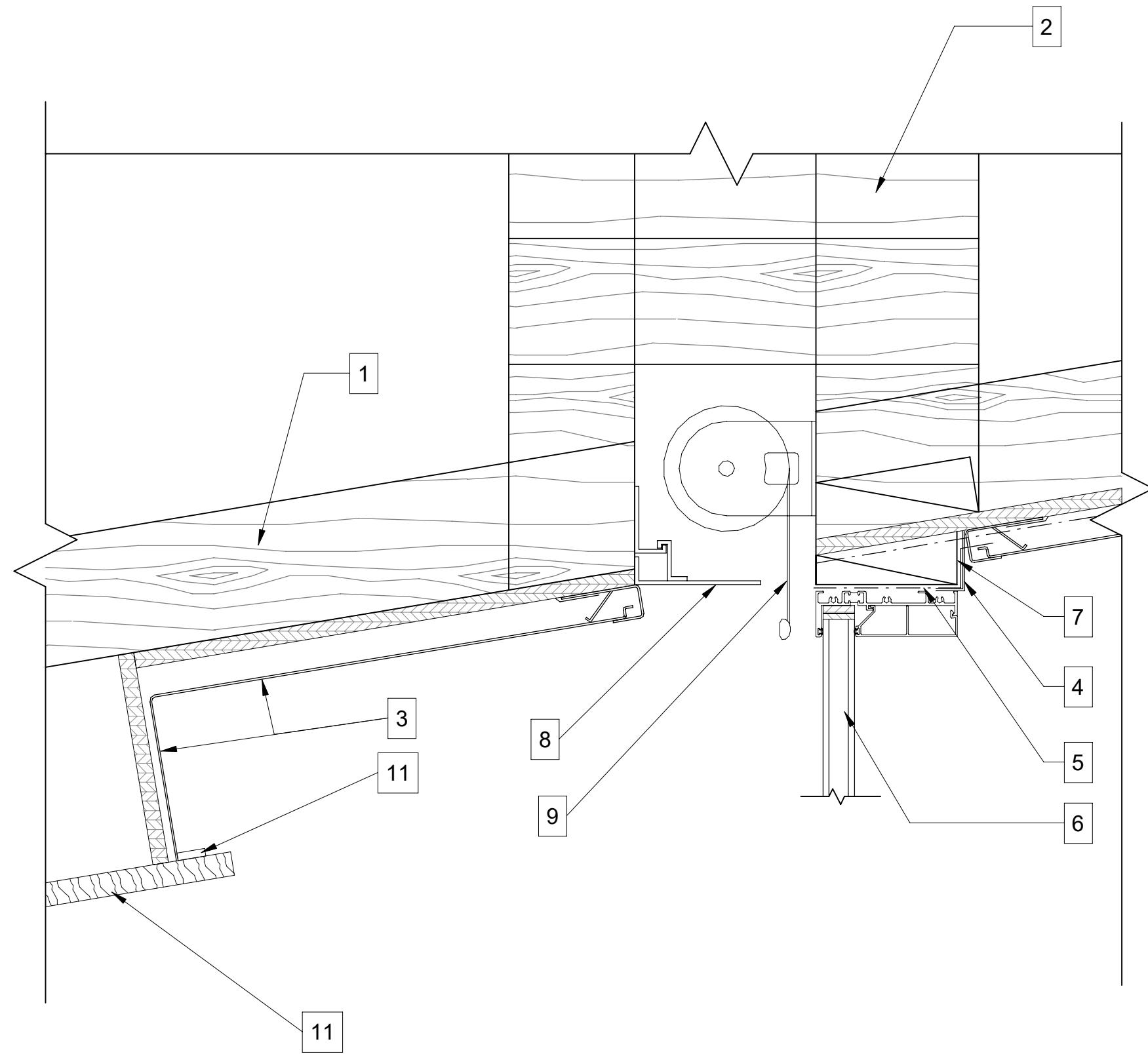
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SHEET NO.

A-9.3

Scale : 3" = 1'-0"

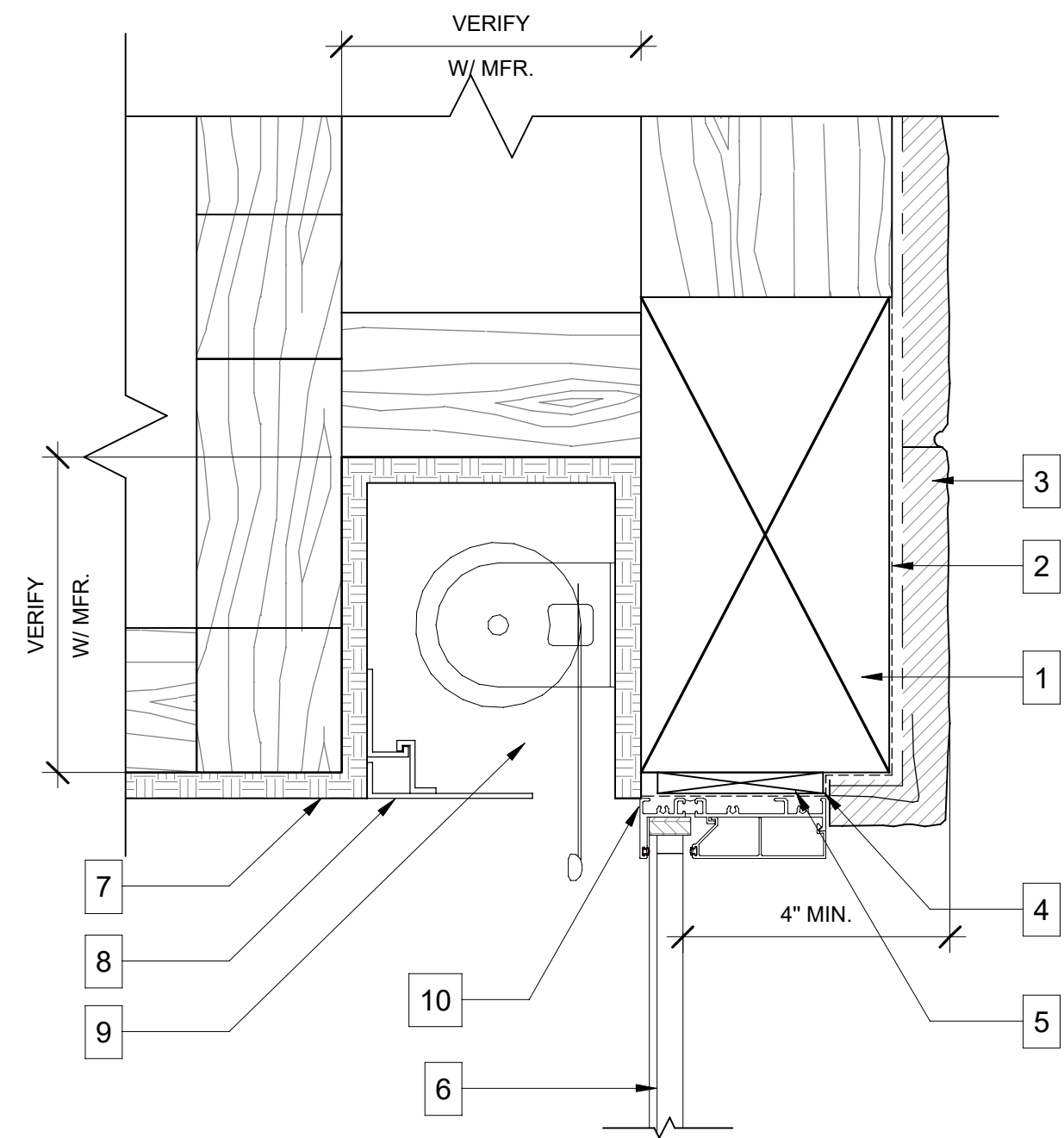
DOOR DETAILS



GENERAL NOTES

KEY NOTES

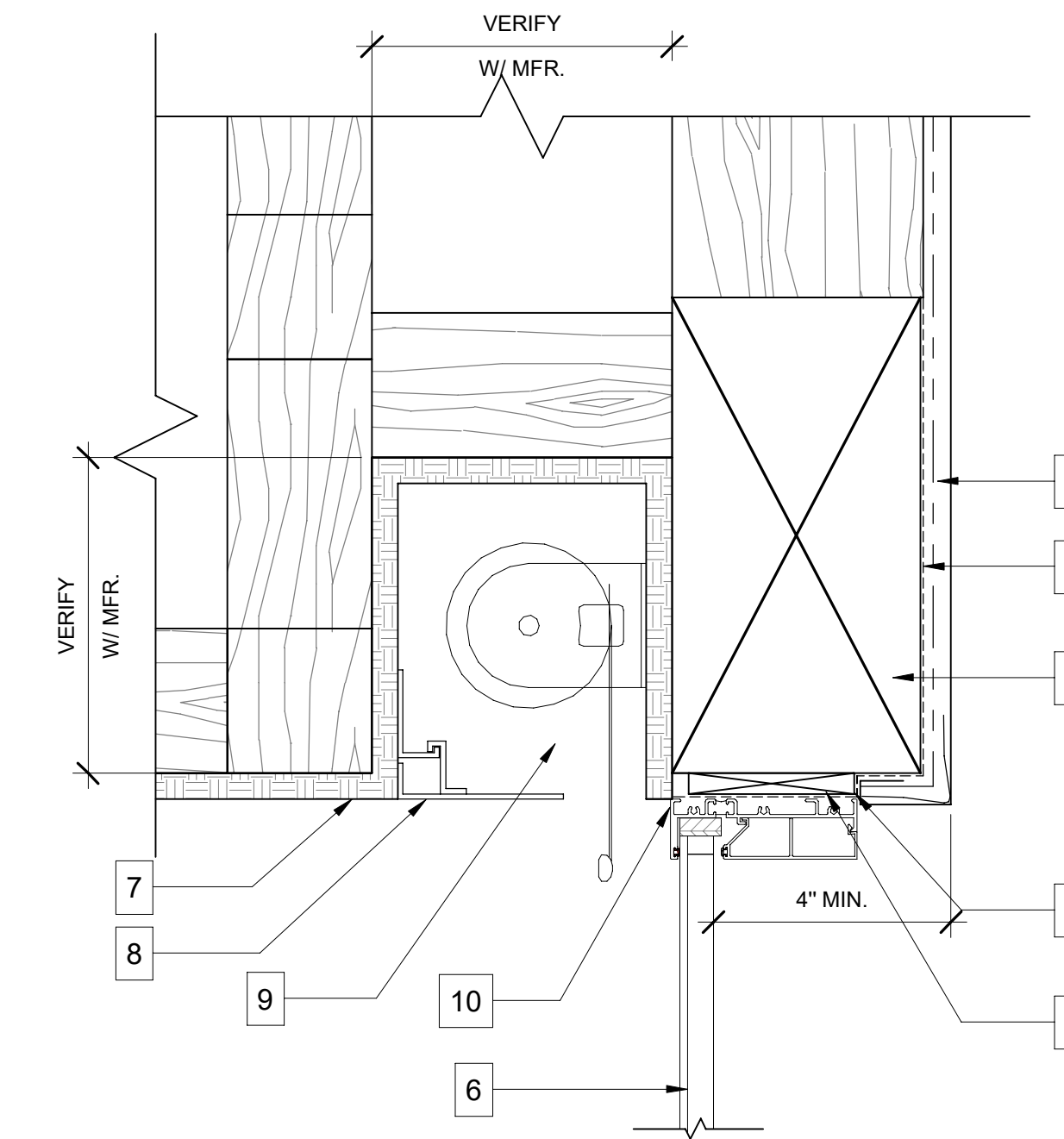
1. ROOF FRAMING PER STRUCTURAL PLAN.
2. BLOCKING AS REQUIRED.
3. METAL PANEL.
4. BRAKE METAL TO MATCH WINDOW FRAME
5. WINDOW FLASHING
6. WINDOW-SEE SCHEDULE
7. SHIM AS REQUIRED
8. COVER PLATE. PAINT TO MATCH CEILING
9. SINGLE ROLLER SHADE POCKET. CONFIRM REQUIREMENTS WITH SHADE MFR
10. T&G WOOD CEILING PER PLAN
11. LED LIGHT-SEE LIGHTING PLAN



GENERAL NOTES

KEY NOTES

1. FRAMING PER PLANS/STRUCTURAL
2. WEATHER RESISTIVE BARRIER
3. STONE LINTEL MIN. 4" T AND 4" WIDER THAN OPENING EACH SIDE.
4. CASING BEAD
5. SHIM TO ALIGN FRAME W/ FINISH FACE OF JAMB
6. FIXED WINDOW
7. 5/8" TYPE 'X' GYP. BD.
8. COVER PLATE. PAINT TO MATCH ADJACENT CEILING
9. SINGLE ROLLER SHADE POCKET. VERIFY REQUIREMENTS WITH MFR
10. AIR SEAL



GENERAL NOTES

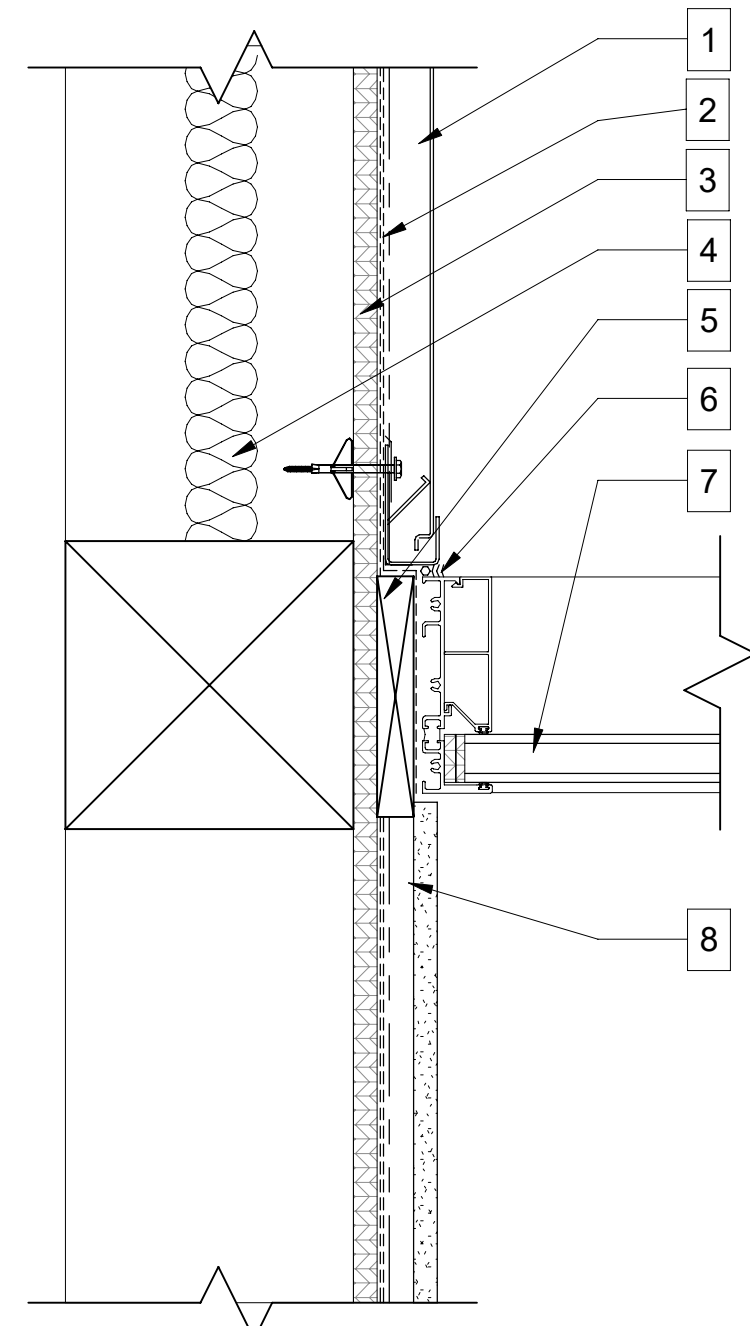
KEY NOTES

1. FRAMING PER PLANS/STRUCTURAL
2. WEATHER RESISTIVE BARRIER
3. STUCCO WALL PER PLANS
4. CASING BEAD
5. SHIM TO ALIGN FRAME W/ FINISH FACE OF JAMB
6. FIXED WINDOW
7. 5/8" TYPE 'X' GYP. BD.
8. COVER PLATE. PAINT TO MATCH ADJACENT CEILING
9. SINGLE ROLLER SHADE POCKET. VERIFY REQUIREMENTS WITH MFR
10. AIR SEAL

01 WINDOW HEAD AT METAL PANEL 3" = 1'-0"

02 WINDOW HEAD AT STONE 3" = 1'-0"

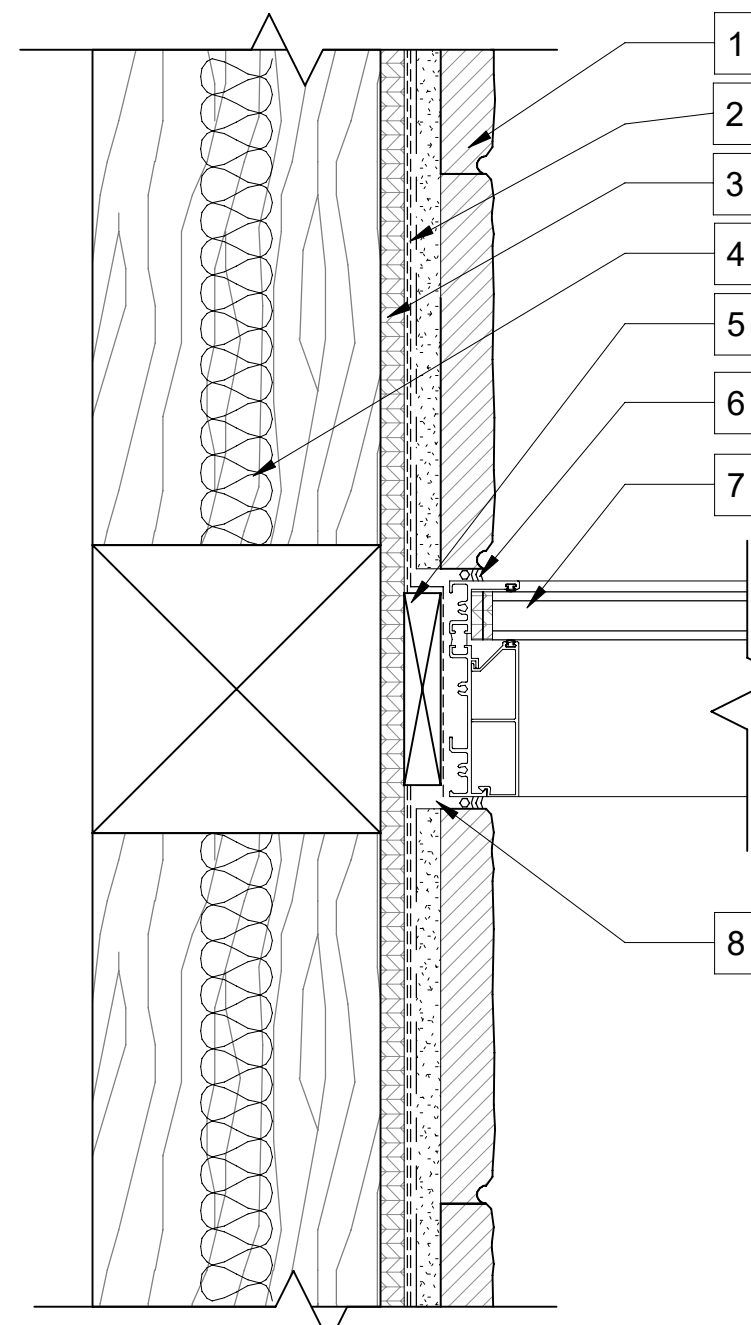
03 WINDOW HEAD AT STUCCO 3" = 1'-0"



GENERAL NOTES

KEY NOTES

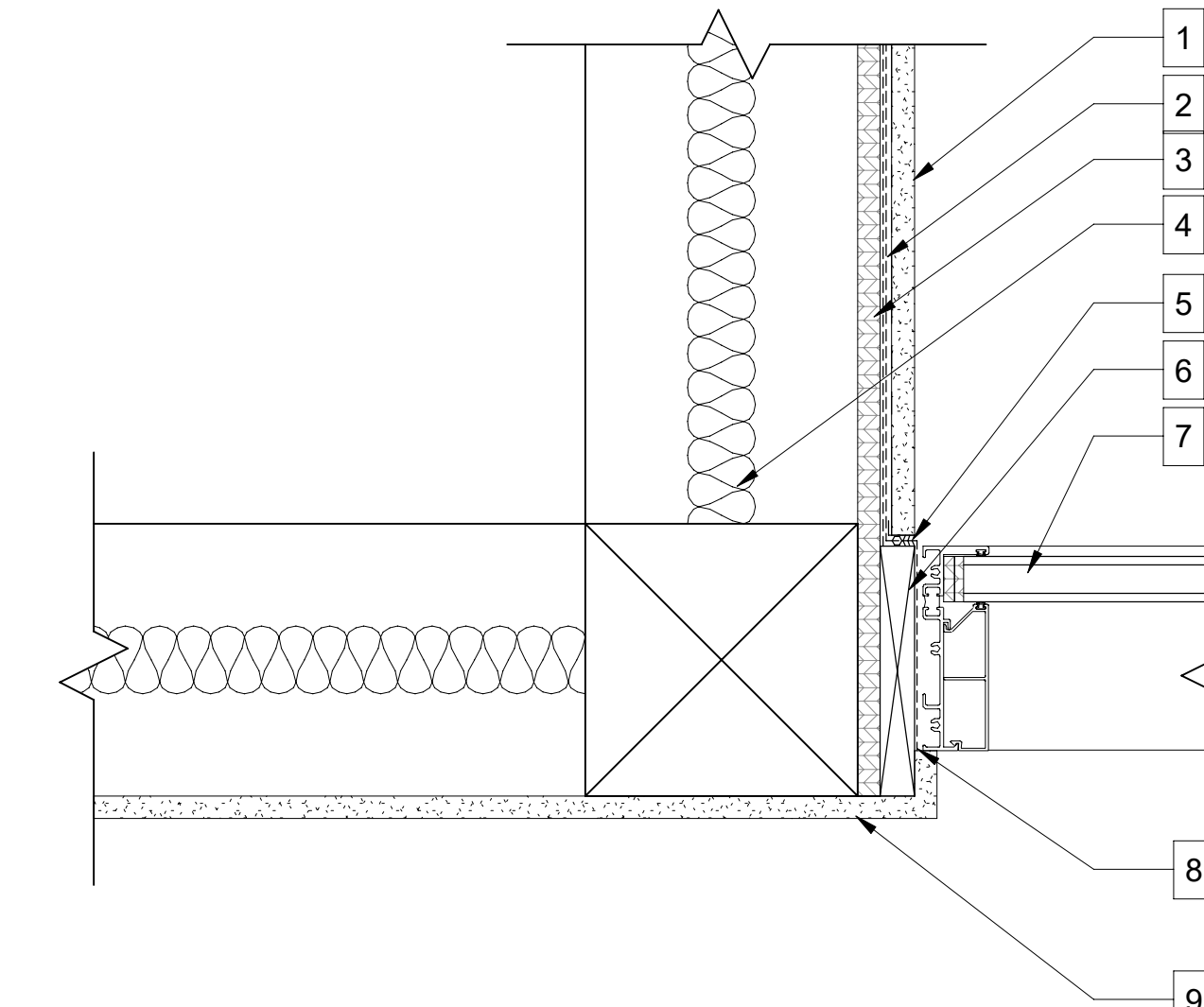
1. OCM WALL PANEL PER PLAN
2. WEATHER RESISTIVE BARRIER
3. FRAMING/SHEATHING PER PLAN
4. R-19 OR BETTER INSULATION
5. SHIM TO ALIGN WINDOW W/ FINISH FACE OF JAMB
6. CONT. SEALANT W/ BACKER ROD
7. WINDOW PER PLAN
8. 5/8" TYPE 'X' GYP. BD.



GENERAL NOTES

KEY NOTES

1. STONE PER PLAN
2. WEATHER RESISTIVE BARRIER
3. FRAMING/SHEATHING PER PLAN
4. R-19 OR BETTER INSULATION
5. SHIM TO ALIGN WINDOW W/ FINISH FACE OF JAMB
6. CONT. SEALANT W/ BACKER ROD
7. WINDOW PER PLAN
8. AIR SEAL



GENERAL NOTES

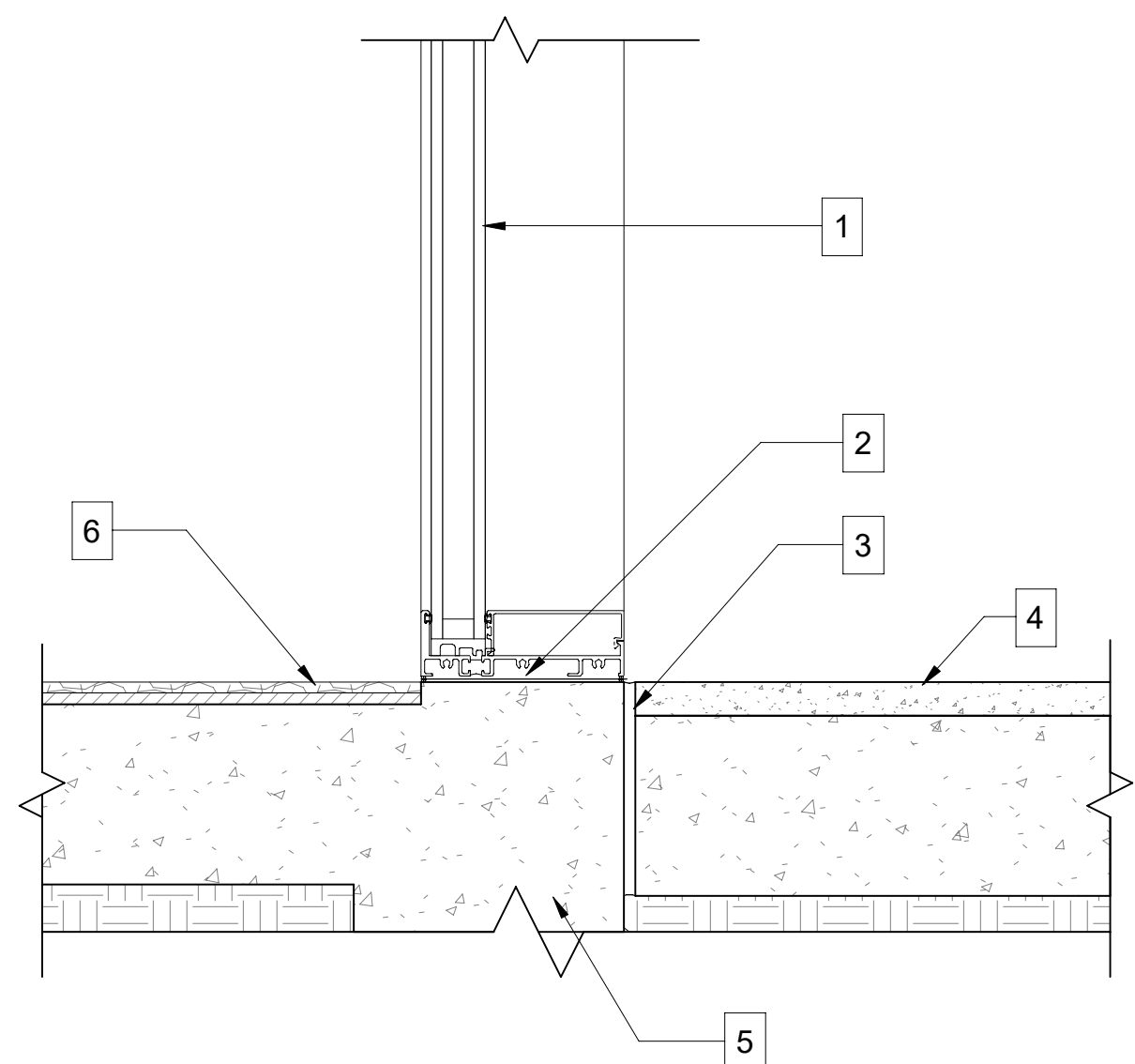
KEY NOTES

1. STUCCO PER PLAN
2. WEATHER RESISTIVE BARRIER
3. FRAMING/SHEATHING PER PLAN
4. R-19 OR BETTER INSULATION
5. CONT. SEALANT W/ BACKER ROD
6. SHIM TO ALIGN WINDOW W/ FINISH FACE OF JAMB
7. WINDOW PER PLAN
8. AIR SEAL
9. 5/8" TYPE 'X' GYP. BD.

04 WINDOW JAMB AT METAL PANEL 3" = 1'-0"

05 WINDOW JAMB AT STONE 3" = 1'-0"

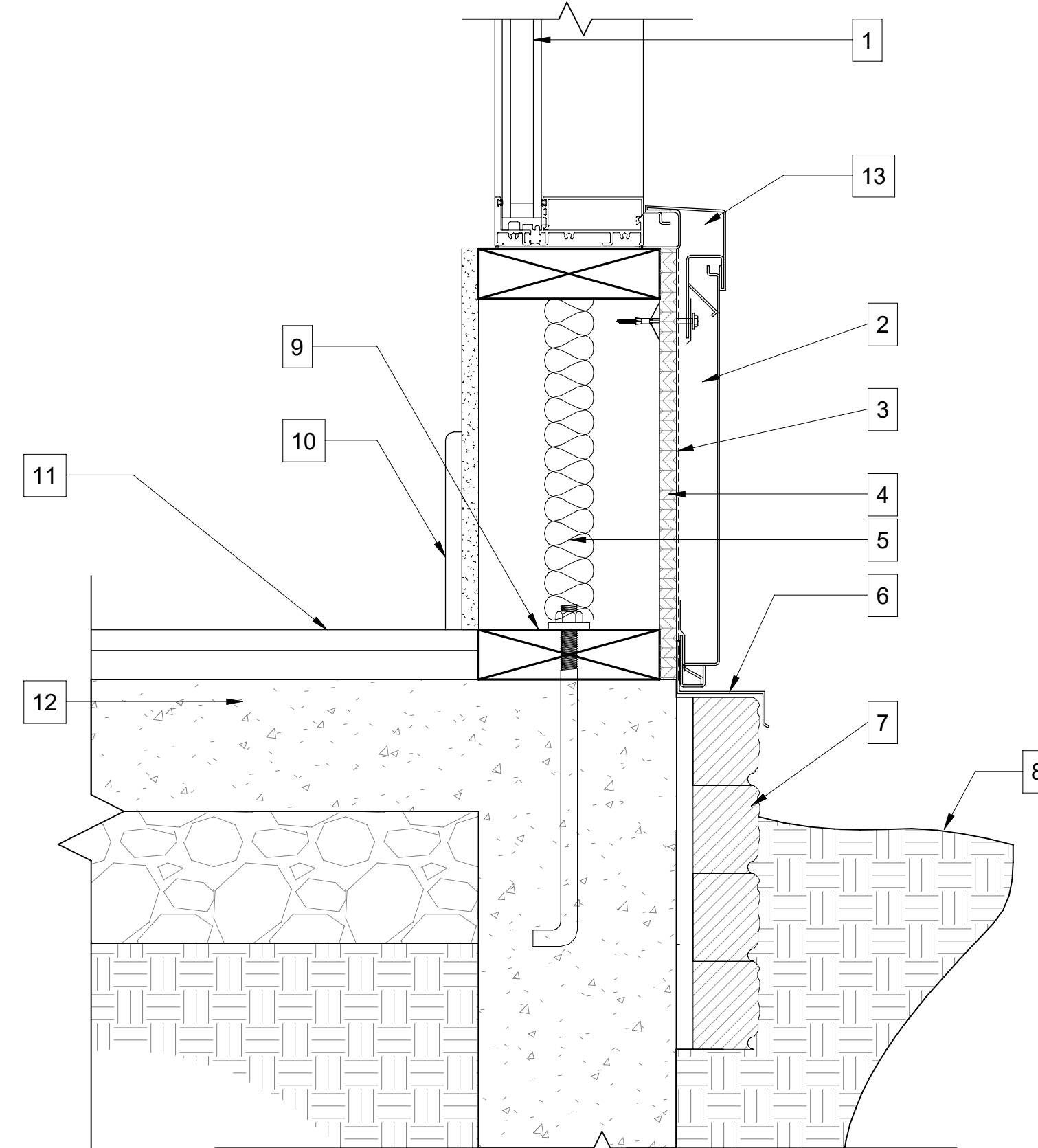
06 WINDOW JAMB AT STUCCO 3" = 1'-0"



GENERAL NOTES

KEY NOTES

1. WINDOW PER PLAN
2. ALUM. SILL PAN AND SILL COVER SET IN SEALANT. FINISH TO MATCH WINDOW
3. COMPRESSIBLE FILLER
4. HARDSCAPE PER PLANS
5. FOUNDATION AND FOOTING PER PLANS
6. STONE TILE AND SETTING BED



GENERAL NOTES

KEY NOTES

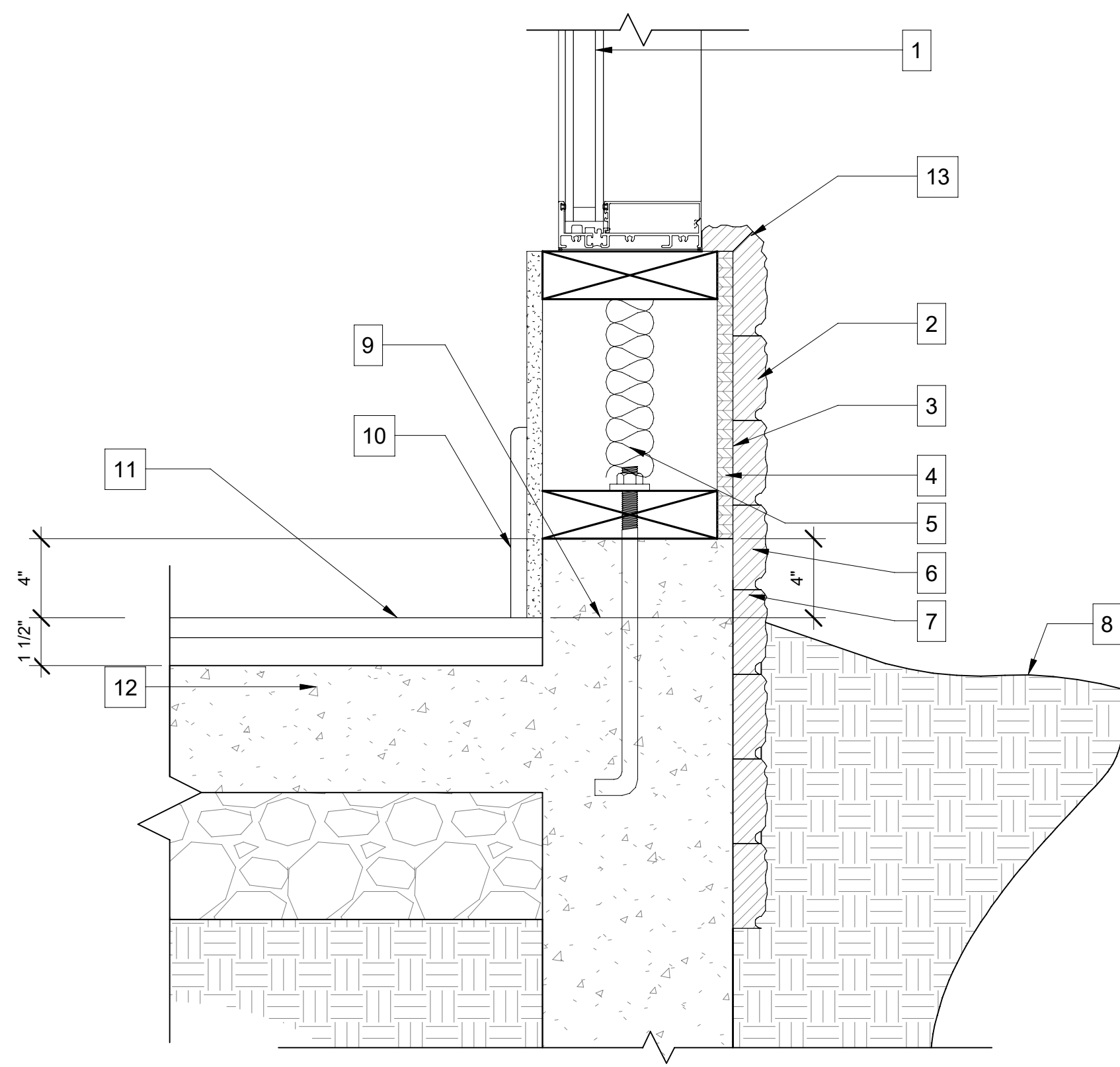
1. WINDOW PER PLAN
2. METAL WALL ASSEMBLY PER PLANS
3. WEATHER RESISTIVE BARRIER
4. FRAMING & SHEATHING PER STRUCTURAL
5. R-21 OR BETTER INSULATION
6. METAL FLASHING
7. STONE VENEER ON MORTAR BED.
8. FINISHED GRADE PER LANDSCAPING. SLOPE AWAY FROM BUILDING 2%
9. PRESSURE TREATED SILL PLATE
10. WALL BASE BOARD WHERE OCCURS
11. FLOORING AS OCCURS
12. CONCRETE SLAB & FOUNDATION PER STRUCTURAL
13. 1/4"-1'-0 SLOPE IN STONE TO EXTERIOR.

07 WINDOW SILL AT HARDSCAPE 3" = 1'-0"

08 WINDOW SILL AT METAL PANEL 3" = 1'-0"

Scale : 3" = 1'-0"

WINDOW DETAIL

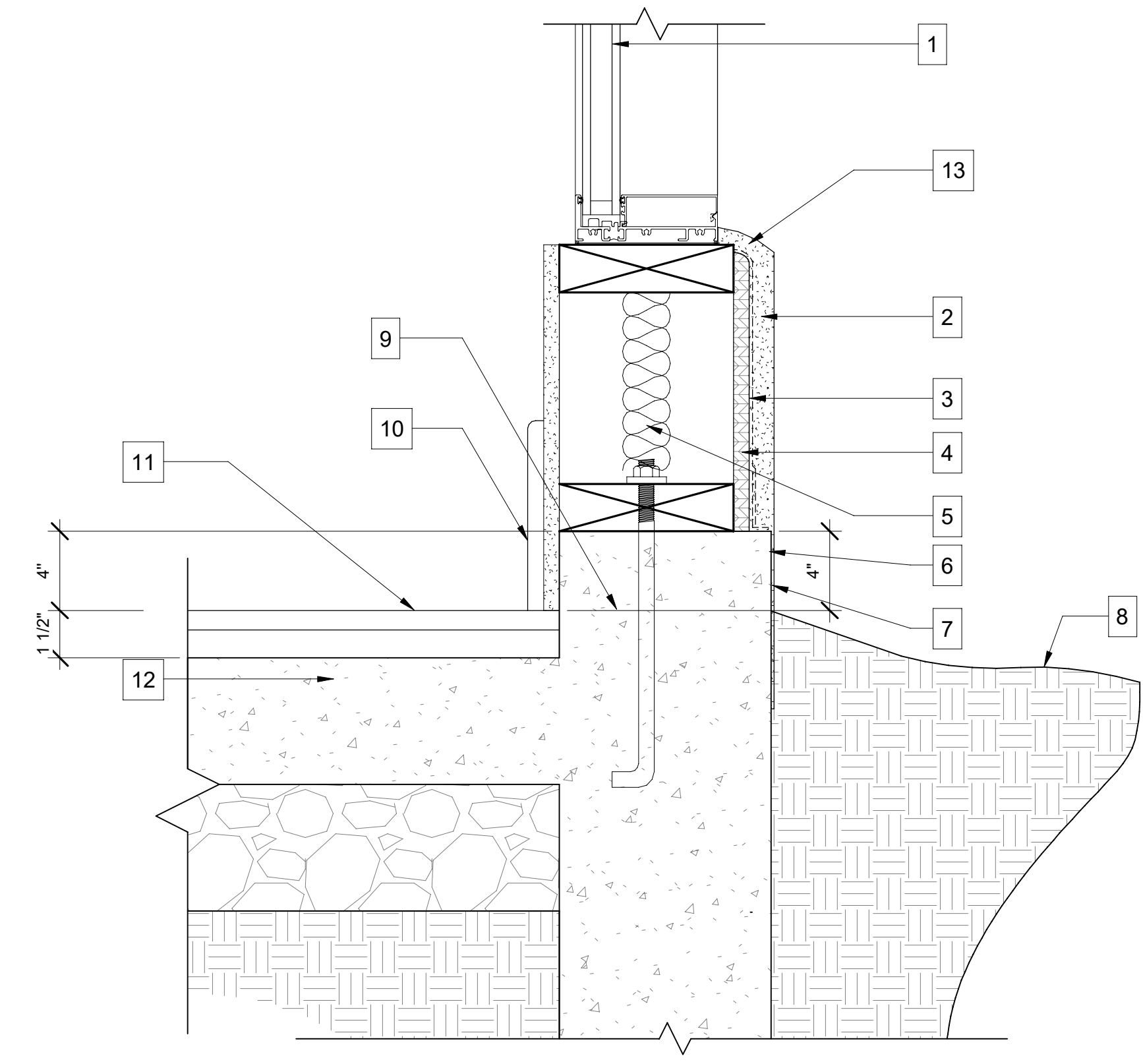


GENERAL NOTES

KEY NOTES

1. WINDOW PER PLAN
2. STONE WALL ASSEMBLY PER PLANS
3. WEATHER RESISTIVE BARRIER FRAMING & SHEATHING PER STRUCTURAL
4. R-21 OR BETTER INSULATION
5. WEEP SCREED
6. STONE TO EXTEND 4" BELOW GRADE
7. FINISHED GRADE PER LANDSCAPING SLOPE AWAY FROM BUILDING 2%
8. PRESSURE TREATED SILL PLATE
9. WALL BASE BOARD WHERE OCCURS
10. FLOORING AS OCCURS
11. CONCRETE SLAB & FOUNDATION PER STRUCTURAL
12. 14"-1'-0" SLOPE IN STONE TO EXTERIOR.

01 WINDOW SILL AT STONE 3" = 1'-0"

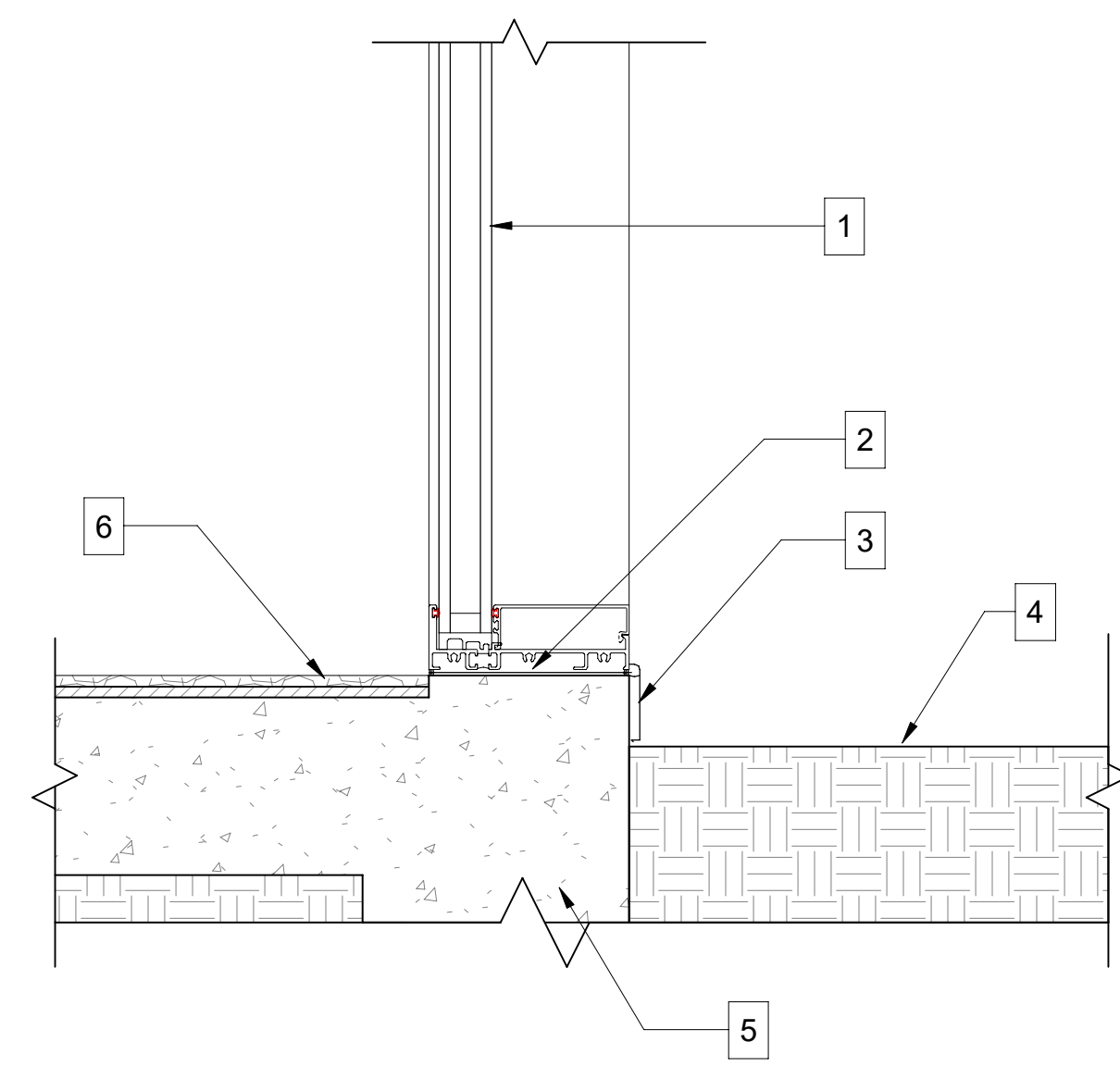


GENERAL NOTES

KEY NOTES

1. WINDOW PER PLAN
2. STUCCO WALL ASSEMBLY PER PLANS
3. WEATHER RESISTIVE BARRIER FRAMING & SHEATHING PER STRUCTURAL
4. R-21 OR BETTER INSULATION
5. WEEP SCREED
6. STUCCO SKIM COAT EXTENDS BELOW GRADE
7. FINISHED GRADE PER LANDSCAPING SLOPE AWAY FROM BUILDING 2%
8. PRESSURE TREATED SILL PLATE
9. WALL BASE BOARD WHERE OCCURS
10. FLOORING AS OCCURS
11. CONCRETE SLAB & FOUNDATION PER STRUCTURAL
12. 14"-1'-0" SLOPE IN STUCCO TO EXTERIOR.

02 WINDOW SILL AT STUCCO 3" = 1'-0"



GENERAL NOTES

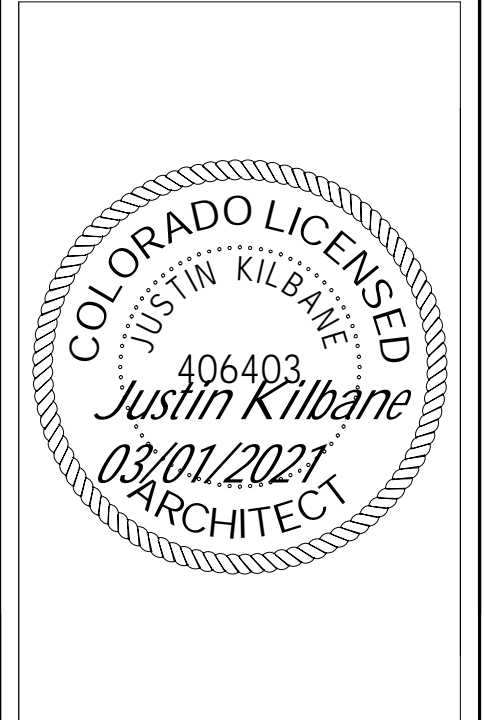
KEY NOTES

1. WINDOW PER PLAN
2. ALUM. SILL PAN AND SILL COVER SET IN SEALANT. FINISH TO MATCH WINDOW
3. STUCCO SKIM COAT TO MATCH ADJACENT. FINISH TO WINDOW FRAME
4. FINISHED GRADE PER PLANS
5. FOUNDATION AND FOOTING PER PLANS
6. STONE TILE AND SETTING BED

03 WINDOW SILL AT TILE/ GRADE 3" = 1'-0"

THE JK COMPANIES
 ARCHITECTURE | CONSTRUCTION AND DEVELOPMENT | HOMES AND LAND

STRAT - KILBANE RESIDENCE
 311 BENCHMARK DRIVE
 TELLURIDE, COLORADO



16-03-2023
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SHEET NO. A-9.5

Scale : 3" = 1'-0"
WINDOW DETAIL



ACOUSTIC
designs group
16074 N. 78TH STREET, SUITE
B104 SCOTTSDALE, AZ 85260
WWW.ADGROUPAZ.COM
T 888.296.0950

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DRAWN BY:
KEVIN FLOWER, LC

DATE: March 10th, 2023

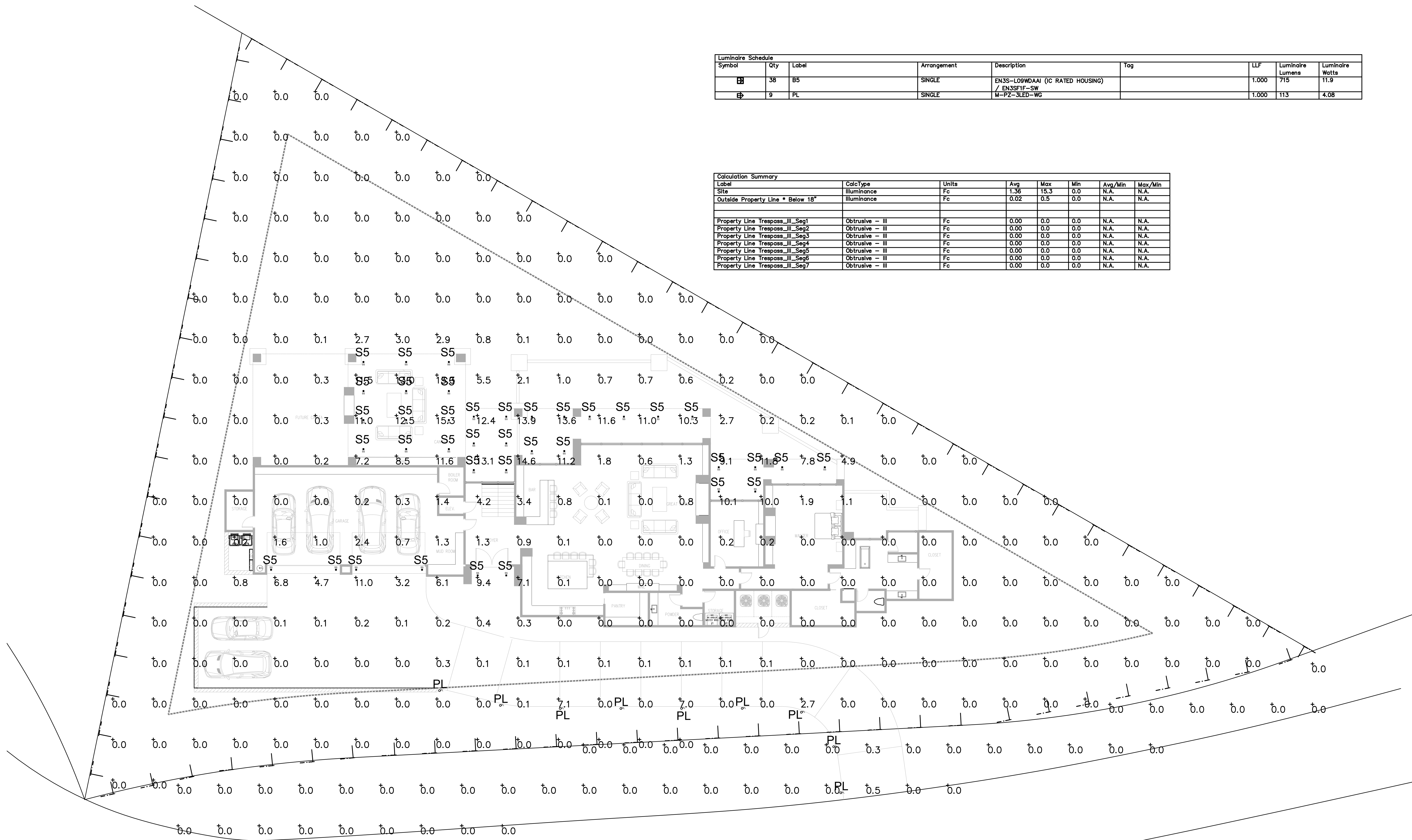
SCALE: AS NOTED

REVISIONS:

- 1
- 2
- 3

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	Tag	
BS	38	BS	SINGLE	EN35-LOGWDAAI (IC RATED HOUSING) / EN35SIF-SW		1,000 715 11.9
PL	9	PL	SINGLE	M-PZ-N-EED-WG		1,000 113 4.68

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Site	Illuminance	Fc	1.36	15.3	0.0	N.A./N.A.
Outside Property Line * Below 18"	Illuminance	Fc	0.02	0.5	0.0	N.A./N.A.
Property Line Trespass_III_Seg1	Obtrusive - III	Fc	0.00	0.0	0.0	N.A./N.A.
Property Line Trespass_III_Seg2	Obtrusive - III	Fc	0.00	0.0	0.0	N.A./N.A.
Property Line Trespass_III_Seg3	Obtrusive - III	Fc	0.00	0.0	0.0	N.A./N.A.
Property Line Trespass_III_Seg4	Obtrusive - III	Fc	0.00	0.0	0.0	N.A./N.A.
Property Line Trespass_III_Seg5	Obtrusive - III	Fc	0.00	0.0	0.0	N.A./N.A.
Property Line Trespass_III_Seg6	Obtrusive - III	Fc	0.00	0.0	0.0	N.A./N.A.
Property Line Trespass_III_Seg7	Obtrusive - III	Fc	0.00	0.0	0.0	N.A./N.A.



1 PHOTOMETRIC PLAN
LIGHTING PLAN

SCALE: 3/32" = 1'-0"

BENCHMARK 311



ACOUSTIC
designs group
16074 N. 78TH STREET, SUITE
B104 SCOTTSDALE, AZ 85260
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DRAWN BY:
KEVIN FLOWER, LC

DATE: March 10th, 2023

SCALE: AS NOTED

REVISIONS:

- 1
- 2
- 3

BENCHMARK 311

SHEET
NUMBER:
PHOTOMETRIC
CUTSHEETS
PL 2

TYPE PL
M-PZ-LED3-FB

FXLuminaire.

LED Path Lights



PROJECT	
CATALOG #	
TYPE	
NOTES	

M-PZ Path Light DESIGNER PL (L)

2.5" (64 mm)

2.2" (56 mm)

Engineered with highly durable die-cast aluminum, the versatile M-PZ path light is a perfect addition to modern lighting designs.

Quick Facts

- Tamper-resistant features
- Die-cast aluminum
- Two-layer marine-grade anodization and powder coat finish
- Cree® integrated LEDs
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15 V

LANDSCAPE LIGHTING

M-PZ Path Light SPECIFICATIONS

Lamp	1LED	3LED	ZDC
Total Lumens*	43	113	60
Input Voltage	10 to 15V	10 to 15V	11 to 15V
Input Power (W)	2.0	4.2	6.0
VA Total	2.4	4.5	7.2
Lumens per Watt (Efficacy)	22	27	10
CRI (Ra)	80+	80+	80+
Max Candela	41	121	43
Dimming	PWM, Phase	PWM, Phase	--
RGBW Available	No	No	Yes
Luxor Compatibility			
Default	Zoning	Zoning	--
ZD Option	Zoning/Dimming	Zoning/Dimming	--
ZDC Option	--	--	Zoning/Dimming /Color
Minimum Rated Life (L90/B10)	55,000 Hrs	55,000 Hrs	55,000 Hrs

*Measured using the 3,900K CCT lens. Multipliers for other CCTs include 0.80 (2,700K), 0.65 (4,500K), and 0.65 (5,200K)

FX Luminaire
FX Luminaire is an industry-leading manufacturer of landscape and architectural lighting products with a focus on the advancement of LED technology and digital lighting control with zoning, dimming, and color adjustment capabilities. We offer a full spectrum of specification-driven lighting fixtures that can be utilized to create elegant, cutting-edge landscape lighting systems for commercial or residential applications. Our products are available exclusively via our extensive professional distributor network.

Materials
Die-cast A380 aluminum body with stainless steel hardware.

Power
Input 10-15 VAC/VDC, 50/60 Hz. Remote transformer required (specify separately).

Lamp
Integrated module with Cree LEDs. Gold-plated connectors and conformal coating for maximum reliability and corrosion resistance. Proprietary outdoor intelligent driver uses firmware-controlled temperature regulator, maximizing LED life. Field upgradeable and replaceable; the LEDs are rated to 50,000 hrs. Maximum drive current: 1 A.

Socket
Socket contains MoistureBlock™ technology, preventing moisture from wicking up into sealed areas of the fixture.

Optic
Polycarbonate color temperature adjustment lenses included with luminaires 2,700K (green/installed), 3,900K (no lens), 4,500K, and 5,200K. Photometry is calculated using LM-79 method for SSI fixtures.

Wiring
35 AWG (1 mm), SPT-90, 220°F (105°C), 300V, 10' (3 m) length.

Housing
Die-cast A380 aluminum body with capacity for 3 LED, 3 LED, or ZDC integrated LEDs.

Lens
UV-stabilized acrylic lens with shock resistance and high tolerance for thermal expansion and stress.

Finish
Two-layer protection of sulfuric acid anodization and polyester TSC powder coat, providing superior outdoor weathering in all conditions. Tested to ASTM standards.

Weight
1.2 lb. (0.5 kg)

Manufacturing
ISO 9001:2015 certified facility

Hardware
Stainless steel machine screws. Ships with 30" (762 mm) length of P1 (25 mm) conduit for mounting.

Ambient Operating Temperature
0°F to 122°F (-18°C to 50°C)

Control
ZD or ZDC utilizes Luxor technology to zone fixtures in up to 250 groups, dim each group in 1% increments between 0 and 100%, or change to one of 30,000 colors with RGBW LEDs. Select the ZD option for zoning/dimming/color. Standard fixture is compatible with Luxor.

Installation Requirements
Designed for installation in the downward lighting direction only.

International Compliance
Compliant per IEC 60598-1 and IEC 60598-2-1 by selecting "e" option in parts builder.

Warranty
10-year limited warranty.

Listing
UL LISTED 3Y8
CE
RoHS
REACH

Learn more. Visit: fxl.com | +1 760.744.5240

M-PZ Path Light ORDERING INFORMATION

Fixture	Luxor Option	Lamp	Compliance	Finish
M-PZ*	[default] Zone	1LED 43 Lumens	[default] North America (UL Listed)	BZ Bronze
	ZD Zone/Dim	3LED 113 Lumens	e Int'l (CE Certified)	SV Silver
	ZDC Zone/Dim/Color	[default ZDC option] 60 Lumens		FB Black
				DG Desert Granite
				W1 Weathered Iron
				SB Sedona Brown
				AL Almond
				WG White Glass
				FW Flat White

EXAMPLE FIXTURE CONFIGURATION:
M-PZ-1LED-5V
*Ships with 30" (762 mm) length of P1 (25 mm) conduit

MOUNTING OPTIONS: Specify Separately

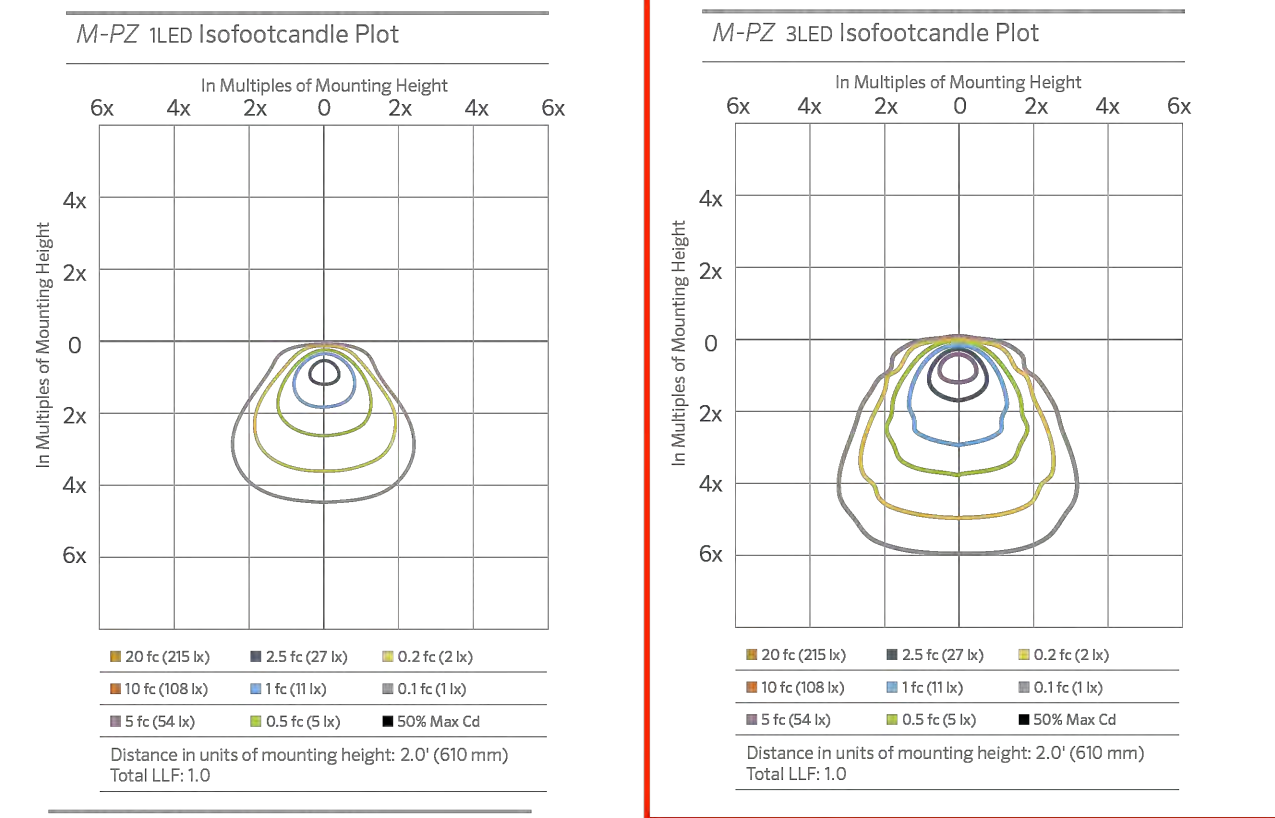
Mounts Catalog No.

M-PZ DECK MOUNT
2.5" x 2.5" x 1.7"
(64 mm x 64 mm x 43 mm)

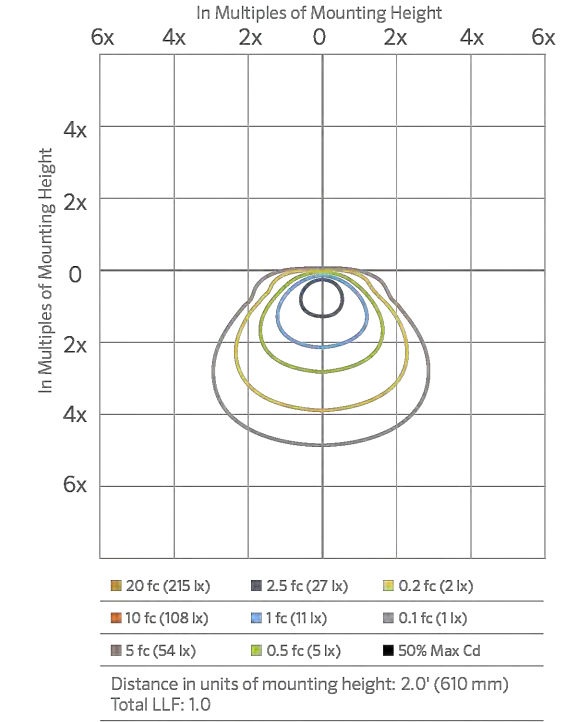
** XX = Powder coat color code

LANDSCAPE LIGHTING

M-PZ Path Light PHOTOMETRICS



M-PZ ZDC Isofootcandle Plot



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Learn more. Visit: fxl.com | +1 760.744.5240

FX-353-SS-DESIGNER-PATH-MPZ-EN 9/19

EN3S-L09WDAAI (IC RATED HOUSING) / EN3SF1F-SW

Type S5

ENTRA 3" LED ADJUSTABLE DOWNLIGHT & WALL WASH

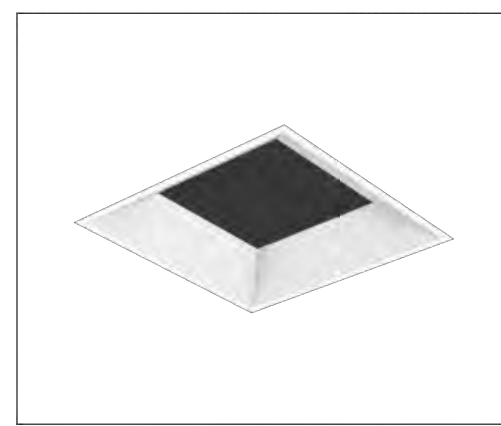


The ELEMENT Entra 3" adjustable LED downlight offers a cost-effective alternative to meet residential and commercial specifications on budget-sensitive projects. Custom engineered for high performance and reliability, ELEMENT Entra is easy to configure with a complete feature set that offers flexibility without an overwhelming list of options. Entra LED modules are available in High or Low Output, with 4 color temperatures and include 20°, 40° and 65° interchangeable optics with hot-aiming (30° tilt; 35° rotation). Flanged or flangeless (includes must plate), round or square, flat or beveled die-cast trims in Silver and a paintable White finish. Remodel installation also available with same performance and trim options.

- Hot-aiming (30° tilt; 35° rotation)
- Flanged or Flangeless Ceiling Appearance
- 20°, 40° and 65° interchangeable optics (all included)
- Accepts 2 optical controls
- Warm Color Dimming 3000K-1800K
- 3-step color binning

SPECIFICATIONS

	HIGH OUTPUT		LOW OUTPUT		WARM DIM	
	HIGH	LOW	HIGH	LOW	HIGH	LOW
DELIVERED LUMENS	1311	860	825	715		
BEAMS	1x	3x	1x	3x		
EFFICACY	73	82	49	59		
CRI	91					
CRP (AT 3000K)	20° 4594 40° 3544 65° 1991					
ICCT OPTIONS	200K, 300K, 3500K, 4000K, Warm Color Dimming (3000K - 1800K)					
COLOR CONSISTENCY	3-step					
VOLTAGE	Universal 120V - 277V					
DIMMING*	TRAC, ELV or 0-10V (all standard, down to 5%)					
POWER SUPPLY	Constant current driver with $\pm 3\%$ power factor and 88% efficiency					
OPTICS	20°, 40°, 65° (all included)					
ADJUSTABILITY	0-30° tilt; 35° rotation					
CEILING APPEARANCE	Flanged or Flangeless (both accommodate 1/2" to 1" ceiling thickness)					
CEILING APERTURE	4" ceiling without					
HOUSING	IC Airings, Chicago Plenum, IC suitable up to R10 spray foam insulation.					
CONSTRUCTION	Housing: Heavy grade die-cast aluminum Trim: Die-cast aluminum					
FINISH	Housing: Black powder coat Trim: Silver, White (optional)					
GENERAL LISTING	ETL listed, Dimmable listed, Shimmer version Not listed, Energy Star					
CALIFORNIA LISTING 24	Registered CEC Appliance Database. Can be used to comply with CEC 2019 Title 24 part 6 (L60, L70, L80, L90).					
LED LIFETIME	L70: 50,000 hours					
WARRANTY**	5 years					



shown in flangeless bevel square

*See techlighting.com for dimmer compatibility.
**See techlighting.com for specific warranty limitations and details.
Always use optical controls and an optional non-mixed beam.
Data is based on ETL (ETL) and CEC (California) listings.

techlighting.com

ENTRA 3" LED ADJUSTABLE DOWNLIGHT & WALL WASH

techlighting.com

GRIDS

HOUSING	LAMP	ON	TEMPERATURE	BEAM	FUNCTION	HOUSING RATING
ENTRA 3" LED	ENTRA 3" LED	ON	2700K	20°	IC AIRINGS	IC RATED
ENTRA 3" LED	ENTRA 3" LED	ON	3000K	40°	IC AIRINGS	IC RATED
ENTRA 3" LED	ENTRA 3" LED	ON	3500K	65°	IC AIRINGS	IC RATED

INCLUDES AN LED DRIVER WITH UNIVERSAL INPUT (20V - 277V), DIMMABLE BY TRAC, ELV OR 0-10V CONTROLS.
INCLUDES DIMS WITH 45° PLATE FOR IC RATED HOUSING INSTALLATION. DO NOT USE PLATE FOR FLANGED INSTALLATIONS.
TRIMS ARE FLANGED AND MUST BE INSTALLED SYMMETRICALLY.
MUST BE USED WITH WALL WASH OPTICS.
*LED MODULE SHIPS WITH 45° OPTIC INSTALLED. INCLUDES 20° AND 65° OPTICS AS WELL.

TRIM

PRODUCT SERIES	CEILING APPEARANCE	STYLE	APERTURE	FINISH	ITEM	DESCRIPTION
ENTRA 3" LED	FLANGELESS	FLANGELESS	4"	SILVER	ENTRA 3" LED	ENTRA 3" LED
ENTRA 3" LED	FLANGELESS	FLANGELESS	4"	WHITE	ENTRA 3" LED	ENTRA 3" LED
ENTRA 3" LED	FLANGELESS	FLANGELESS	4"	SILVER	ENTRA 3" LED	ENTRA 3" LED
ENTRA 3" LED	FLANGELESS	FLANGELESS	4"	WHITE	ENTRA 3" LED	ENTRA 3" LED

*SHOWER SANDELATED (SLS OR SOLUBLE) APERTURE (H AND D) REQUIRED BEVEL TRIM (B). SOLUBLE SLS IS NOT AVAILABLE IN SHOWER TRIM CONSTRUCTION. ADJUSTABLE HOUSING ONLY.

LENSES/LOUVERS*

ITEM	DESCRIPTION
ENTRA 3" LED	ENTRA 3" LED
ENTRA 3" LED	ENTRA 3" LED
ENTRA 3" LED	ENTRA 3" LED
ENTRA 3" LED	ENTRA 3" LED

*LENSES/LOUVERS MOUNTED TO LAMP ASSEMBLY ONLY (MAY VARY)

PROJECT INFO

FIGURE TYPE & QUANTITY	JOB NAME & INFO	NOTES

TECH LIGHTING
VISUAL COMFORT & CO.
7405 Linden Avenue, Skokie, Illinois 60077
T 847.410.4400 F 847.410.4500

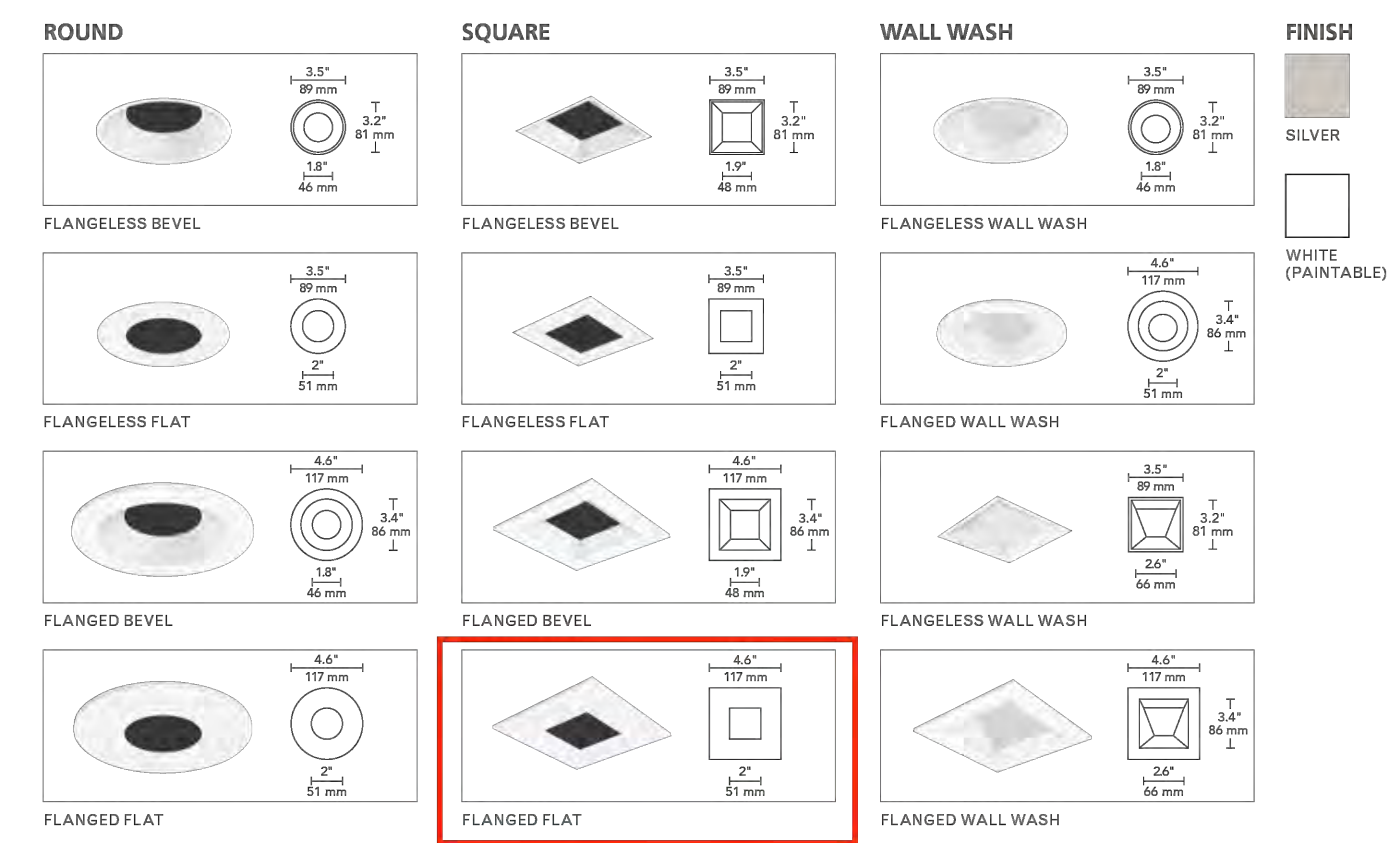
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techlighting.com

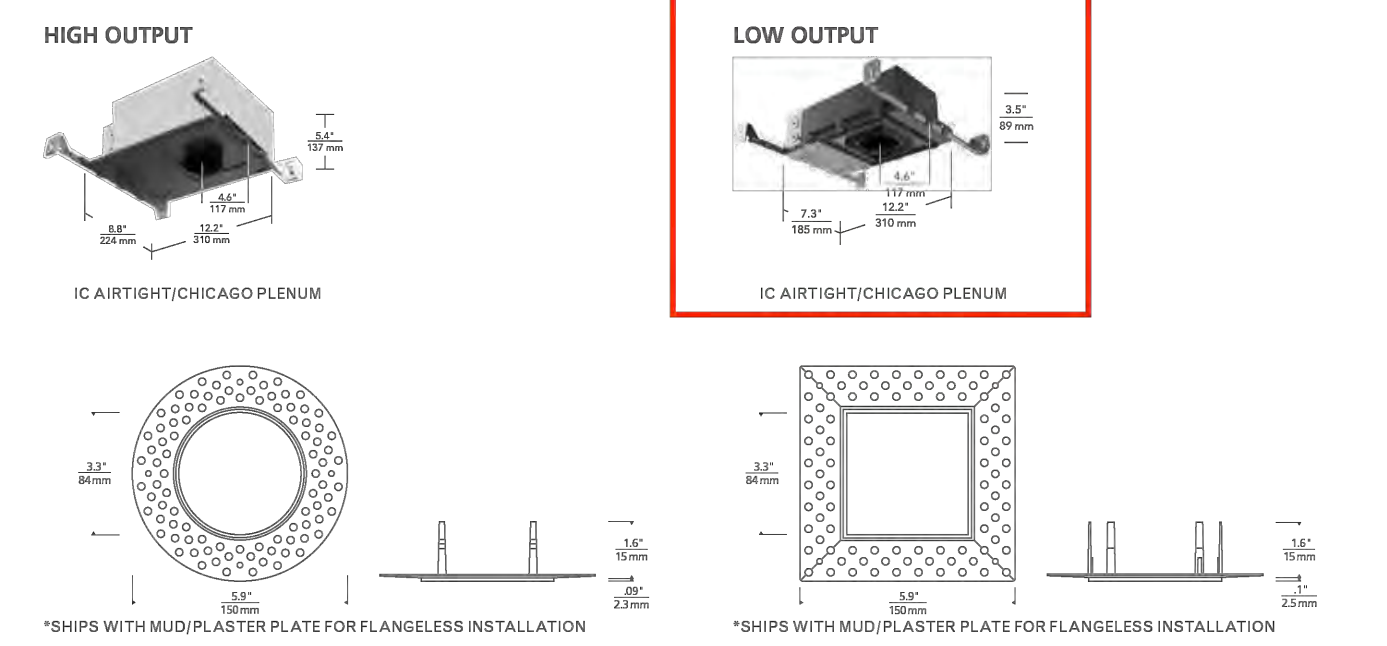
ENTRA 3" LED ADJUSTABLE DOWNLIGHT & WALL WASH

techlighting.com

TRIMS



3" HOUSING



techlighting.com

ENTRA 3" LED ADJUSTABLE DOWNLIGHT & WALL WASH

techlighting.com

PHOTOMETRICS: 3" ENTRA LED

DESCRIPTION	3" LED Module 20° Beam - 9° Tilt, 3000K
MODEL	ENTRA Adjustable 20° Low Output
INPUT POWER (WATTS)	11.3
INPUT POWER FACTOR	0.98
ABSOLUTE LUMINOUS FLUX (LUMENS)	950
LUMEN EFFICACY (LUMENS PER WATT)	80

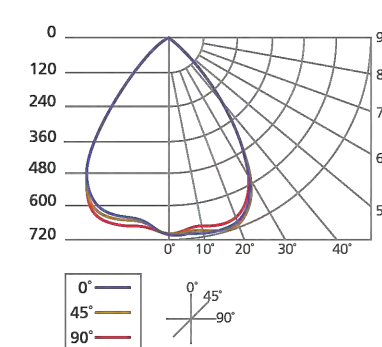
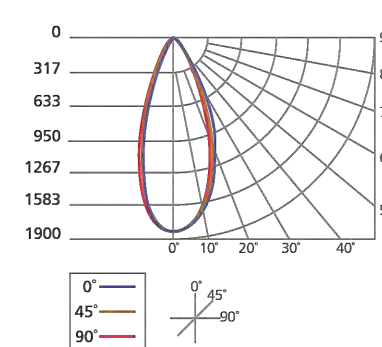
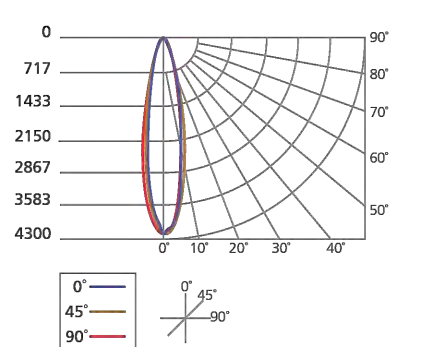
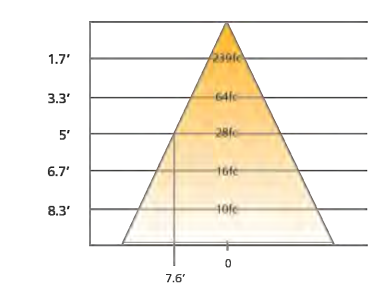
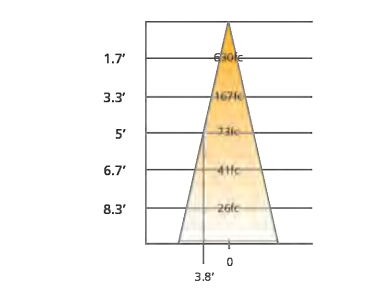
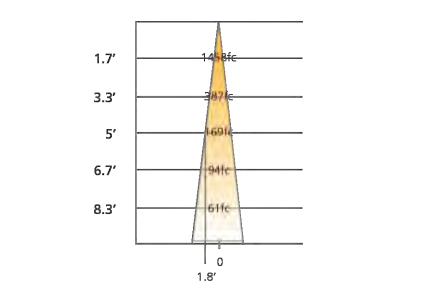
DESCRIPTION	3" LED Module 40° Beam - 0° Tilt, 3000K
MODEL	ENTRA Adjustable 40° Low Output
INPUT POWER (WATTS)	11.3
INPUT POWER FACTOR	0.98
ABSOLUTE LUMINOUS FLUX (LUMENS)	979
LUMEN EFFICACY (LUMENS PER WATT)	81

DESCRIPTION	3" LED Module 65° Beam - 0° Tilt, 3000K
MODEL	ENTRA Adjustable 65° Low Output
INPUT POWER (WATTS)	11.3
INPUT POWER FACTOR	0.98
ABSOLUTE LUMINOUS FLUX (LUMENS)	1022
LUMEN EFFICACY (LUMENS PER WATT)	85

ANGLE	0°	45°	90°
0°	4213	4213	4213
5°	2146	2197	2820
10°	2524	2562	2350
15°	1620	1654	1520
20°	770	786	670
25°	435	459	358
30°	282	311	192
35°	182	196	99
40°	85	71	51
45°	30	24	24
50°	11	20	9
55°	5	9	4
60°	2	3	2
65°	1	1	1
70°	0	0	0
75°	0	0	0
80°	0	0	0
85°	0	0	0
90°	0	0	0

ANGLE	0°	45°	90°
0°	1822	1822	1822
5°	1771	1762	1792
10°	1624	1614	1588
15°	1413	1375	1289
20°	1130	1050	916
25°	795	700	562
30°	486	422	323
35°	287	262	175
40°	120	131	81
45°	49	45	33
50°	21	29	14
55°	9	10	7
60°	3	4	2
65°	0	2	0
70°	0	0	0
75°	0	0	0
80°	0	0	0
85°	0	0	0
90°	0	0	0

ANGLE	0°	45°	90°
0°	691	691	691
5°	701	691	680
10°	703	696	677
15°	708	707	686
20°	698	706	683
25°	658	667	647
30°	568	580	563
35°	467	469	438
40°	275	296	285
45°	145	161	150
50°	69	72	67
55°	28	30	28
60°	3	13	5
65°	0	3	0
70°	0	0	0
75°	0	0	0
80°	0	0	0
85°	0	0	0
90°	0	0	0



VISUAL COMFORT & CO.

TECH LIGHTING

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DRAWN BY:
KEVIN FLOWER, LC

DATE: March 10th, 2023

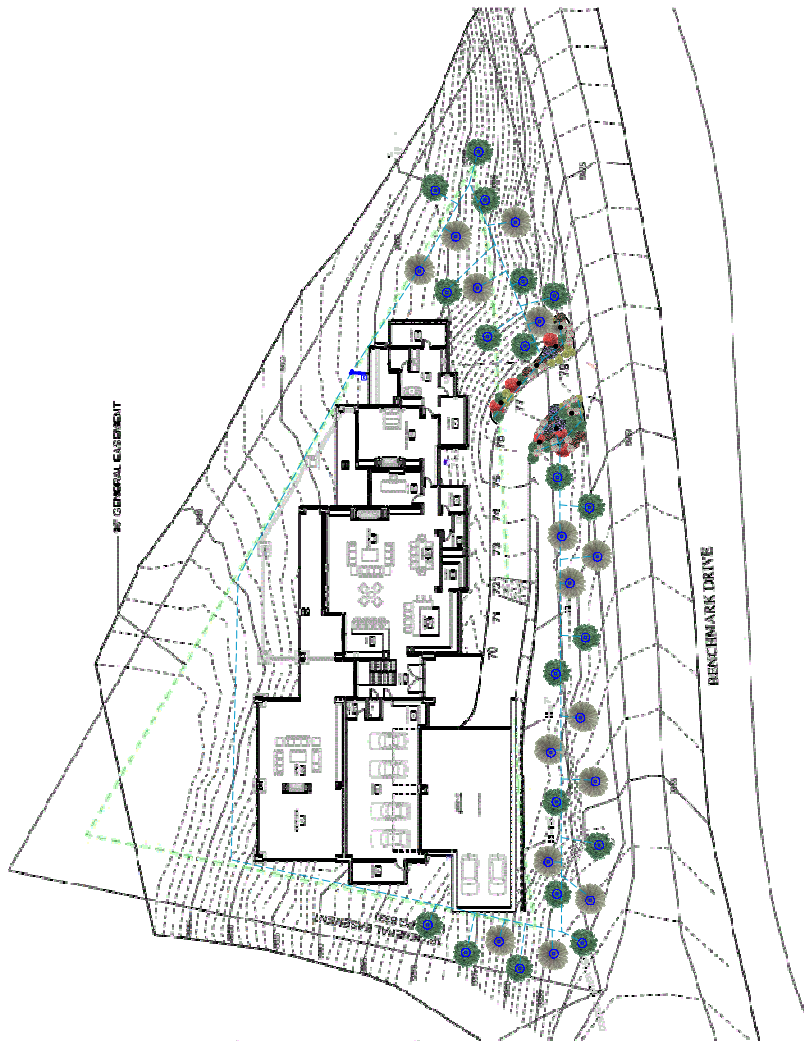
SCALE: AS NOTED

REVISIONS:

- 1
- 2
- 3

BENCHMARK 311

SHEET
NUMBER:
PHOTOMETRIC
CUTSHEETS
PL 3



GENERAL NOTES:
 1. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR TO COMPLETE SCOPE OF WORK AS INDICATED IN DOCUMENTS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, AND SHALL COMPLY WITH PREVAILING ACCESSIBILITY REQUIREMENTS. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY PORTION OF DOCUMENTS WHICH CONFLICT WITH REGULATIONS PRIOR TO CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS, APPROVALS AND INSPECTIONS RELATED TO SCOPE OF WORK.
 4. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING OWNER'S REPRESENTATIVE OF REQUESTED SITE VISITS OR INSPECTIONS SEVEN (7) DAYS IN ADVANCE OF WORK.
 5. DRAWINGS ARE BASED ON SURVEY DATA AND DESIGN DRAWINGS PROVIDED BY OTHERS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING CONDITIONS AND SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTS AND ACTUAL SITE CONDITIONS PRIOR TO CONSTRUCTION.
 6. DO NOT PROCEED WITH ANY PORTION OF WORK AS INDICATED IN DOCUMENTS IF OBSTRUCTIONS, DISCREPANCIES OR UNKNOWN CONDITIONS ARE ENCOUNTERED. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED.
 7. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER DISCIPLINES AND TRADES.
 8. LIMITS OF WORK INDICATED ON DRAWINGS, IF ANY, ARE GENERAL IN NATURE AND ARE INTENDED TO DEFINE THE GENERAL VICINITY IN WHICH THE SCOPE OF WORK EXISTS. ACTUAL LIMITS OF WORK SHALL INCLUDE ALL AREAS NECESSARY TO COMPLETE SCOPE OF DESIGN INTENT.
 9. REFERENCE TO 'OWNER'S REPRESENTATIVE' IS MADE IN THESE DOCUMENTS, AND REFERS TO THE PROJECT OWNER OR DESIGNATED REPRESENTATIVE IN ADDITION TO THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR DESIGN CLARIFICATIONS OR ADDITIONAL INFORMATION RELATED TO SCOPE OF WORK.
 10. UNLESS OTHERWISE NOTED, ALL EXISTING TREES SHALL BE PROTECTED. DO NOT PANK, DRIVE, OPERATE MACHINERY OR STORE MATERIALS WITHIN THE DRIFLINE OF EXISTING TREES.

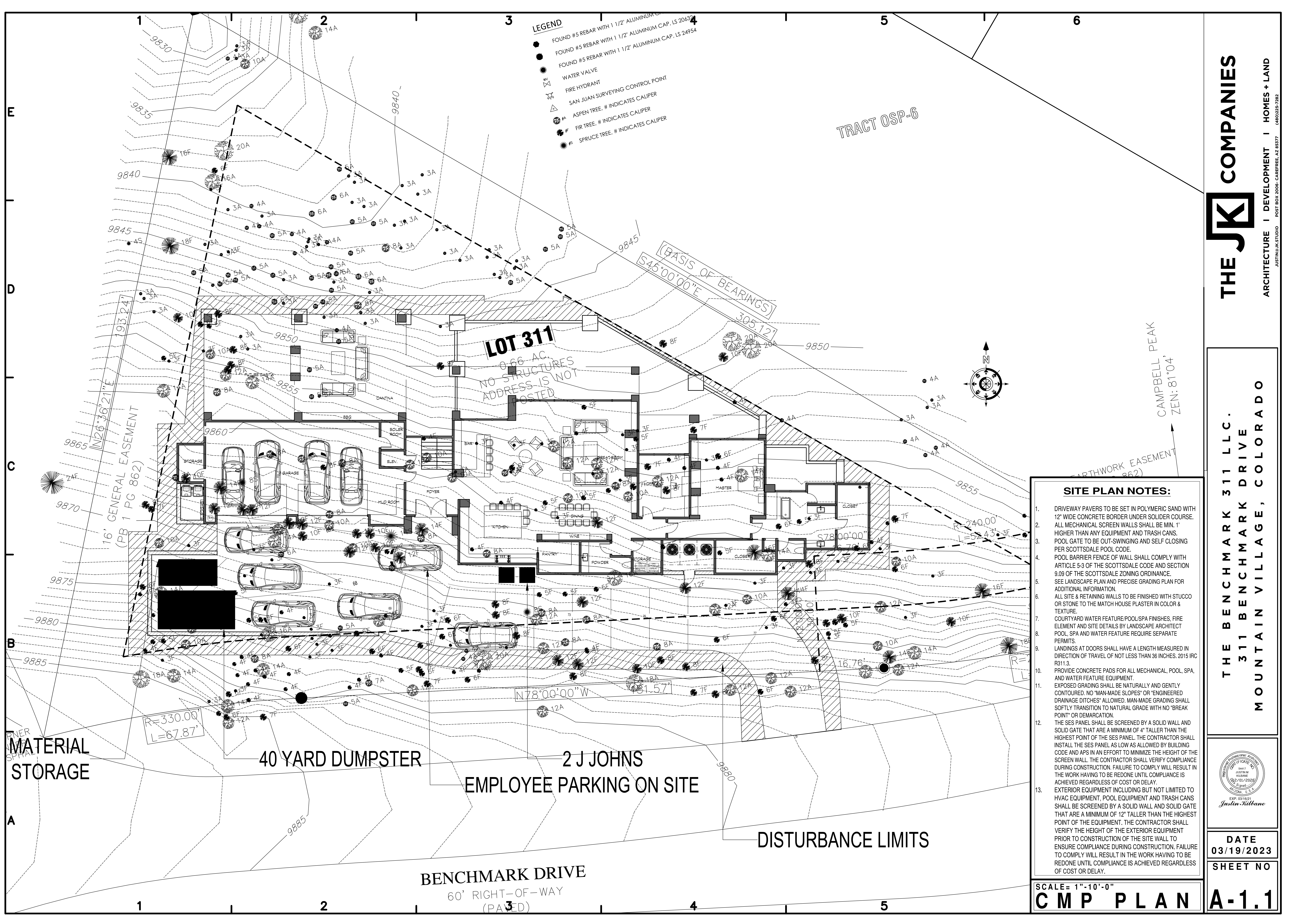
REVEGETATION NOTES
 1. ALL DISTURBED AREAS WILL BE REVEGED
 2. SUBSOIL SURFACE SHALL BE TILLER TO 4" DEPTH ON NON-FILL AREAS
 3. TOPSOIL SHALL BE SPREAD TO A 4" MINIMUM DEPTH OVER ALL AREAS TO BE REVEGETATED EXCEPT ON SLOPES GREATER THAN 3:1
 4. BROADCAST SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED TO MINIMIZE EROSION AND WEEDS
 5. BROADCAST WITH SPORED SEED MIX AND FOLLOWUP WITH DRY MULCH (AGED PROPERLY), HYDRO MULCH, OR STRAW 1 SALES PER 1000 SF
 6. SEED ALL AREAS LABELED 'NATIVE GRASS WITH WILDOFLOWERS AT A RATE OF 15:1 POUNDS PER 1000 SF
 7. SEED ALL AREAS LABELED 'OUSTON WILDOFLOWER MIX AT A RATE OF 15:1 POUNDS PER 1000 SF
 8. SEED ALL AREAS LABELED 'NATIVE GRASS AT A RATE OF 2:3 POUNDS PER 1000 SF
 9. ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET FINED IN PLACE OF HYDRO MULCH WITH ADDED TACKIFIER SHALL BE APPLIED
 10. REVEGETATION SEED MIX TO BE USED
 11. NATIVE GRASS SEED MIX (GENERAL REVEGETATION)
 12. WESTERN YARROU 5%
 13. TALL FESCUE 10%
 14. ARIZONA FESCUE 5%
 15. HARD FESCUE 5%
 16. CREEPING RED FESCUE 10%
 17. ALPINE BLUEGRASS 5%
 18. CANADA BLUEGRASS 5%
 19. PERENNIAL RYEGRASS 5%
 20. SLENDER WHEATGRASS 10%
 21. MOUNTAIN BROOME 5%

LEGEND	
COMMON NAME	QTY
FLOWER, GRASS	
GRASS, KARL FOERSTER	1
FLOWER, PERENNIAL	
BEAR TONGUE	1
CERASTIUM	2
COLUMBINE, RED & WHITE	3
CONEFLOWER, EVER-BLOOMING PURPLE	1
DELPHINIUM, 24" O'GIGANT, VIOLET	1
GALLARDIA, BLANKET FLOWER, DARK BICOLOR	1
HOSTA	3
PHLOX, CREEPING	1
SALVIA, BLUE NIGHT	1
SEDUM, AUTUMN JOY	15
SHRUB, DECIDUOUS	
LILAC, SENSATION	4
SAND CHERRY, PURPLE LEAF	6
TREE, DECIDUOUS	
ASPEN, QUAKING	20
TREE, EVERGREEN	
BLUE COLORADO SPRUCE 'ISLEI FASTIGIATE'	15
IRRIGATION	
SHUT OFF VALVE	0
BACKFLOW	0
WATER METER	0
FERTIGATION TANK	0
VALVE	0
36" BUBBLER	0
IRRIGATION PIPE	0
POPLAR 36"	0
IRRIGATION CONTROLLER	0

FOREST MANAGEMENT PLAN
 1. CUTTING AND/OR REMOVING DEAD AND DECLINING TREES (LEAVING 1 TO 2 WILDLIFE SNAGS PER ACRE) USING A VARIETY OF SILVICULTURAL METHODS;
 2. REMOVING INDIVIDUAL HAZARD TREES TO MINIMIZE RISK OF FALLING TREES TO THE PUBLIC AND TOUR/RESORT INFRASTRUCTURE;
 3. REMOVING HAZARD TREES AS A SANITATION/ALGAE TREATMENT WHERE APPROPRIATE, FOR INSTANCE WITHIN A 50-FOOT BUFFER ZONE FROM THE EDGE OF ROADWAYS, TRAILS AND LIFT CORRIDORS;
 4. CREATION OF DEFENSIBLE SPACE AROUND ALL HOMES AND INFRASTRUCTURE;
 5. PLANTING SEEDLINGS OR TRANSPLANTS TO SPEED UP REGROWTH IN KEY AREAS;
 6. PREVENTING INSECT ATTACKS OF HIGH VALUE TREES, WHICH ARE OFTEN LARGER SPECIMENS AND POTENTIAL OLD GROWTH THAT ARE LOCATED CLOSE TO HOMES OR TOUR/RESORT INFRASTRUCTURE;
 7. BARK BEETLE ATTACKS (AFFECTING SUB-ALPINE FIR, SPRUCE OR DOUGLAS FIR) MAY BE MITIGATED BY APPLYING AN INDUSTRY APPROVED INSECTICIDE OR ANTI-AGGREGATION PHEROMONE PRIOR TO BEETLE EMERGENCE EACH YEAR UNTIL THE THREAT OF INFESTATION IS OVER, SEE APPENDIX C FOR A LIST OF APPROVED INSECTICIDES AND ANTI-AGGREGATION PHEROMONES;
 8. IN THE CASE OF SPRUCE BARK BEETLE INFESTATION, MITIGATION COULD INCLUDE TREATING BEETLE INFESTED TREES BY FELLING AND PEELING, CHIPPING OR REMOVAL OF THE INFECTED TREES;
 9. PURE ASPEN STANDS SHOWING SIGNS OF SUDDEN ASPEN DECLINE WILL HAVE THE OVERSTORY REMOVED OVER SEVERAL YEARS AND 25% OF THE AREA WILL BE SCARIFIED TO STIMULATE ASPEN REGENERATION;
 10. SPRUCE/FIR STANDS WILL HAVE SMALL (<5 ACRES) IRREGULAR PATCH CUTS MADE TO FACILITATE SPRUCE REGENERATION AND AGE CLASS DIVERSITY; AND
 11. SLASH TREATMENTS MAY INCLUDE REMOVING LOGGING-GENERATED SLASH TO REDUCE FUEL LOADS AND TO STIMULATE ASPEN REGENERATION, USE OF AN AIR CURTAIN BURNER TO BURN SLASH ON SITE, LOP AND SCATTER OF SLASH TO DISTRIBUTE CONIFER SEED SOURCE OR CHIPPING AND SCATTERING SLASH USING EITHER A CHIPPER OR HYDRO-AXE.

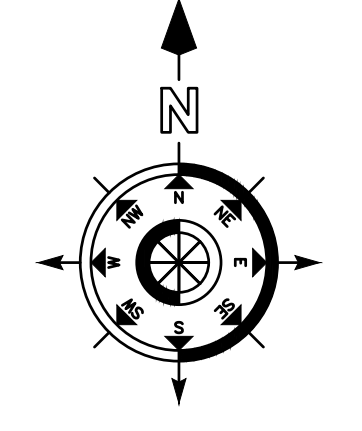
PLANTING NOTES:
 1. ALL NON-DIMENSIONED PLANT SYMBOLS, EDGING AND BED LINES ARE DIAGRAMMATIC AND SHALL BE SCALED FROM DRAWINGS.
 2. STAKE ALL PROPOSED TREE LOCATIONS ON FINISH GRADE WITH DIFFERENT COLOR FLAGS FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO MAKE MINOR ADJUSTMENTS TO TREE LOCATIONS PRIOR TO EXCAVATION.
 3. PAINT OR STRIPS ALL EDGING AND BED LINE LOCATIONS ON FINISH GRADE FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. THE OWNER'S REPRESENTATIVE SHALL RESERVE THE RIGHT TO MAKE MINOR ADJUSTMENTS TO LAYOUT OF PLANTING AREAS PRIOR TO EXCAVATION.
 4. TREES SHALL BE PLANTED NO CLOSER THAN 4' TO PAVEMENT, CURB, EDGING, WALL OR UTILITIES UNLESS NOTED OTHERWISE.
 5. TREES SHALL BE PLANTED NO CLOSER THAN 10' TO ANY STRUCTURE OR OVERHEAD UTILITY.
 6. TREES OVERHANGING PEDESTRIAN AND VEHICULAR PAVEMENTS ARE INTENDED TO HAVE A MINIMUM CLEAR-TRUNK BRANCHING HEIGHT OF 7' AT MATURITY.
 7. TREES OVERHANGING VISIBILITY EASEMENTS OR RIGHTS-OF-WAY ARE INTENDED TO HAVE A MINIMUM CLEAR-TRUNK BRANCHING HEIGHT OF 9' AT MATURITY.
 8. ALL TREES, LAWN AND PLANTING AREAS TO RECEIVE 100% IRRIGATION COVERAGE FROM AUTOMATIC UNDERGROUND IRRIGATION SYSTEM UNLESS NOTED OTHERWISE.
 9. FINISH GRADE SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
 10. ANY QUANTITIES PROVIDED ON PLANS OR SCHEDULES ARE FOR INFORMATION AND CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR QUANTITY TAKE-OFFS AND SHALL PROVIDE FULL COVERAGE OF PLANTING AREAS AS INDICATED IN DRAWINGS.
 11. ALL PLANTS SHALL MEET SIZE AND QUALITY SPECIFICATIONS AS INDICATED IN DOCUMENTS AND SHALL BE OF TOP QUALITY, VIGOROUS, HEALTHY CONDITION THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT PLANTS NOT MEETING SPECIFICATIONS.
 12. ALL NEW PLANTS AND LAWN SHALL BE FERTILIZED ACCORDING TO SOIL ANALYSIS RECOMMENDATIONS, SUPPLIER RECOMMENDATIONS, AS INDICATED IN DOCUMENTS OR AS APPROVED BY OWNER'S REPRESENTATIVE.
 13. COORDINATE PLANTING WITH OTHER SECTIONS OF LANDSCAPE DOCUMENTS AND WITH WORK OF OTHER DISCIPLINES.





LOT 311
 0.66 AC.
 NO STRUCTURES
 ADDRESS IS NOT POSTED

TRACT OSP-6



CAMPBELL PEAK
 ZEN: 81°04'

EARTHWORK EASEMENT
 (PB 1 PC 862)

MATERIAL STORAGE

40 YARD DUMPSTER

2 J JOHNS
 EMPLOYEE PARKING ON SITE

DISTURBANCE LIMITS

BENCHMARK DRIVE
 60' RIGHT-OF-WAY
 (PAVED)

SCALE = 1"=10'-0"
CMP PLAN



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KEVIN FLOWER, LC

DATE: March 10th, 2023

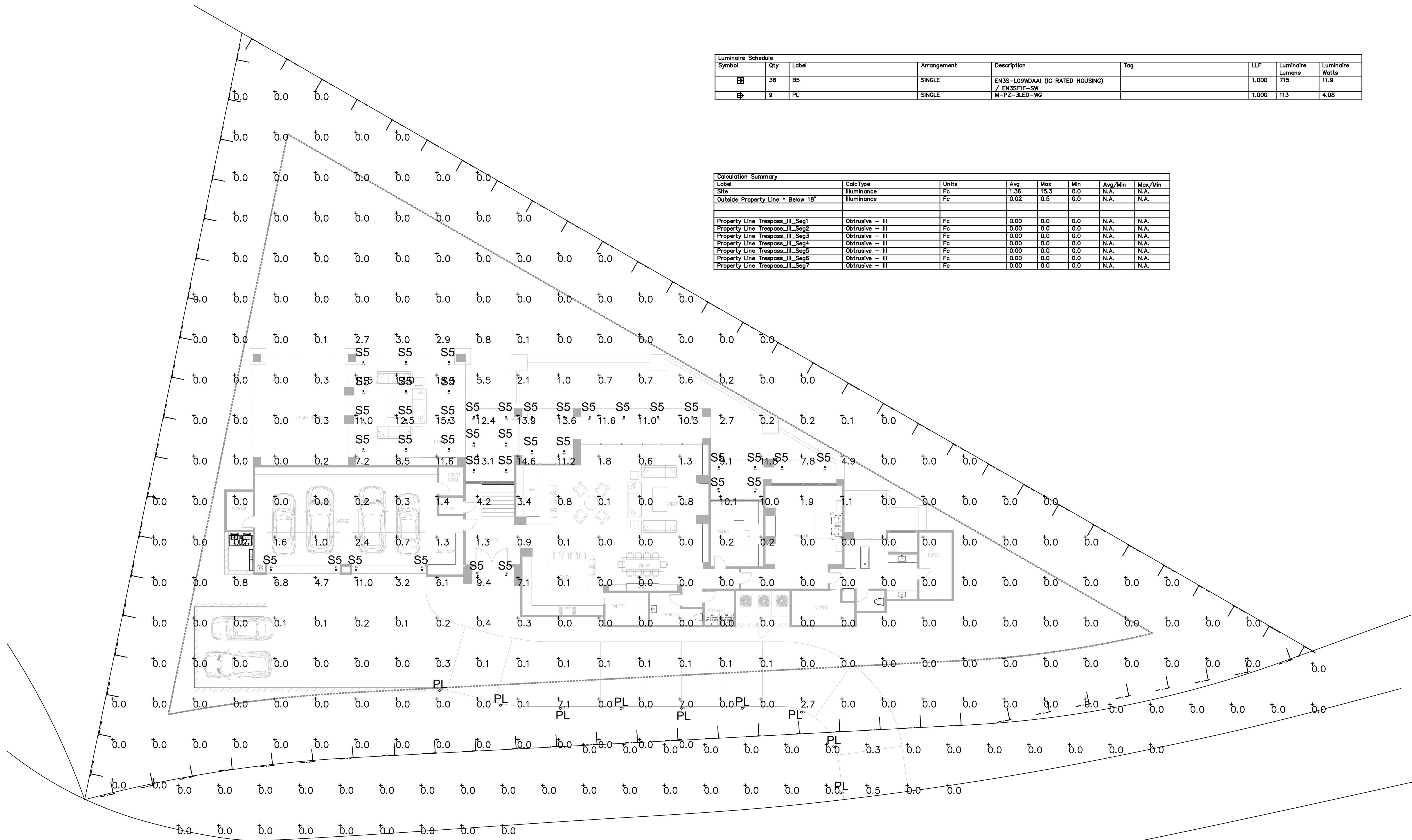
SCALE: AS NOTED

REVISIONS:

- 1
- 2
- 3

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	Tag	
BS	38	BS	SINGLE	EN35-LOGWDAAI (IC RATED HOUSING) / EN35SIF-SW		1,000 715 11.9
PL	9	PL	SINGLE	M-PZ-N-EZ-1W		1,000 113 4.68

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Site	Illuminance	Fc	1.36	15.3	0.0	N.A./N.A.
Outside Property Line * Below 18"	Illuminance	Fc	0.02	0.5	0.0	N.A./N.A.
Property Line Trespass_III_Seg1	Obtrusive - III	Fc	0.00	0.0	0.0	N.A./N.A.
Property Line Trespass_III_Seg2	Obtrusive - III	Fc	0.00	0.0	0.0	N.A./N.A.
Property Line Trespass_III_Seg3	Obtrusive - III	Fc	0.00	0.0	0.0	N.A./N.A.
Property Line Trespass_III_Seg4	Obtrusive - III	Fc	0.00	0.0	0.0	N.A./N.A.
Property Line Trespass_III_Seg5	Obtrusive - III	Fc	0.00	0.0	0.0	N.A./N.A.
Property Line Trespass_III_Seg6	Obtrusive - III	Fc	0.00	0.0	0.0	N.A./N.A.
Property Line Trespass_III_Seg7	Obtrusive - III	Fc	0.00	0.0	0.0	N.A./N.A.



1 PHOTOMETRIC PLAN
LIGHTING PLAN

SCALE: 3/32" = 1'-0"

BENCHMARK 311



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- 2
- 3

BENCHMARK 311

SHEET
NUMBER:
PHOTOMETRIC
CUTSHEETS
PL 2

TYPE PL
M-PZ-LED3-FB

FXLuminaire.

LED Path Lights



PROJECT	
CATALOG #	
TYPE	
NOTES	

M-PZ Path Light DESIGNER PL (L)

2.5" (64 mm)

2.2" (56 mm)

Engineered with highly durable die-cast aluminum, the versatile M-PZ path light is a perfect addition to modern lighting designs.

Quick Facts

- Tamper-resistant features
- Die-cast aluminum
- Two-layer marine-grade anodization and powder coat finish
- Cree® integrated LEDs
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15 V

LANDSCAPE LIGHTING

M-PZ Path Light SPECIFICATIONS

Lamp	1LED	3LED	ZDC
Total Lumens*	43	113	60
Input Voltage	10 to 15V	10 to 15V	11 to 15V
Input Power (W)	2.0	4.2	6.0
VA Total	2.4	4.5	7.2
Lumens per Watt (Efficacy)	22	27	10
CRI (Ra)	80+	80+	80+
Max Candela	41	121	—
Dimming	PWM, Phase	PWM, Phase	—
RGBW Available	No	No	Yes
Luxor Compatibility			
Default	Zoning	Zoning	—
ZD Option	Zoning/Dimming	Zoning/Dimming	—
ZDC Option	—	—	Zoning/Dimming /Color
Minimum Rated Life (L90/B10)	55,000 Hrs	55,000 Hrs	55,000 Hrs

*Measured using the 3,900K CCT lens. Multipliers for other CCTs include 0.80 (2,700K), 0.65 (4,500K), and 0.65 (5,200K)

FX Luminaire
FX Luminaire is an industry-leading manufacturer of landscape and architectural lighting products with a focus on the advancement of LED technology and digital lighting control with zoning, dimming, and color adjustment capabilities. We offer a full spectrum of specification-driven lighting fixtures that can be utilized to create elegant, cutting-edge landscape lighting systems for commercial or residential applications. Our products are available exclusively via our extensive professional distributor network.

Materials
Die-cast A380 aluminum body with stainless steel hardware.

Power
Input 10-15 VAC/VDC, 50/60 Hz. Remote transformer required (specify separately).

Lamp
Integrated module with Cree LEDs. Gold-plated connectors and conformal coating for maximum reliability and corrosion resistance. Proprietary outdoor intelligent driver uses firmware-controlled temperature regulator, maximizing LED life. Field upgradeable and replaceable; the LEDs are rated to 50,000 hrs. Maximum drive current: 1 A.

Socket
Socket contains MoistureBlock™ technology, preventing moisture from wicking up into sealed areas of the fixture.

Optics
Polycarbonate color temperature adjustment lenses included with luminaires 2,700K (green/installed), 3,900K (no lens), 4,500K, and 5,200K. Photometry is calculated using LM-79 method for SSI fixtures.

Wiring
35 AWG (1 mm), SPT-90, 220°F (105°C), 300V, 10' (3 m) length.

Housing
Die-cast A380 aluminum body with capacity for 3 LED, 3 LED, or ZDC integrated LEDs.

Lens
UV-stabilized acrylic lens with shock resistance and high tolerance for thermal expansion and stress.

Finish
Two-layer protection of sulfuric acid anodization and polyester (PE) powder coat, providing superior outdoor weathering in all conditions. Tested to ASTM standards.

Weight
1.2 lb. (0.5 kg)

Manufacturing
ISO 9001:2015 certified facility

Hardware
Stainless steel machine screws. Ships with 30" (762 mm) length of P1 (25 mm) conduit for mounting.

Ambient Operating Temperature
0°F to 122°F (-18°C to 50°C)

Control
ZD or ZDC utilizes Luxor technology to zone fixtures in up to 250 groups, dim each group in 1% increments between 0 and 100%, or change to one of 30,000 colors with RGBW LEDs. Select the ZD option for zoning/dimming/color. Standard fixture is compatible with Luxor.

Installation Requirements
Designed for installation in the downward lighting direction only.

International Compliance
Compliant per IEC 60598-1 and IEC 60598-2-1 by selecting "e" option in parts builder.

Warranty
10-year limited warranty.

Listing
UL LISTED 3Y8
CE
RoHS
REACH

Learn more. Visit: fxl.com | +1 760.744.5240

M-PZ Path Light ORDERING INFORMATION

Fixture	Luxor Option	Lamp	Compliance	Finish
M-PZ*	[default] Zone	1LED 43 Lumens	[default] North America (UL Listed)	BZ Bronze
	ZD Zone/Dim	3LED 113 Lumens	e Int'l (CE Certified)	SV Silver
	ZDC Zone/Dim/Color	[default ZDC option] 60 Lumens		FB Black
				DG Desert Granite
				W1 Weathered Iron
				SB Sedona Brown
				AL Almond
				WG White Glass
				FW Flat White

EXAMPLE FIXTURE CONFIGURATION:
M-PZ-1LED-5V
*Ships with 30" (762 mm) length of P1 (25 mm) conduit

MOUNTING OPTIONS: Specify Separately

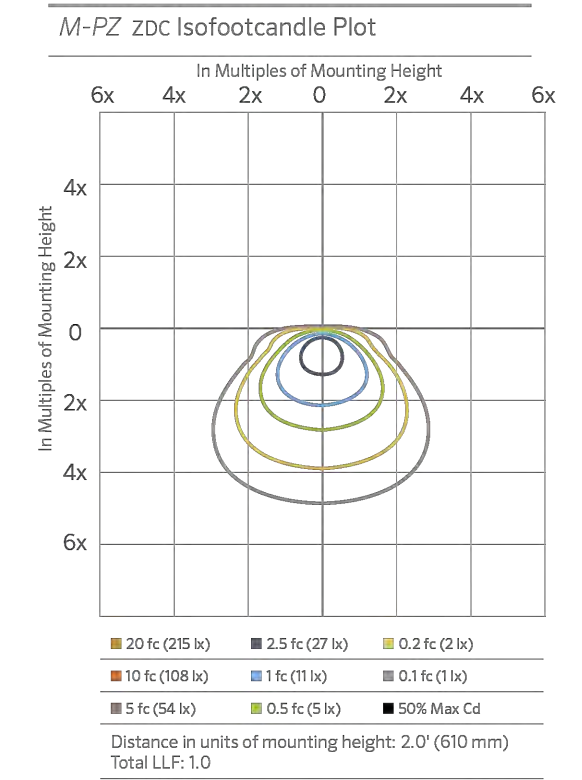
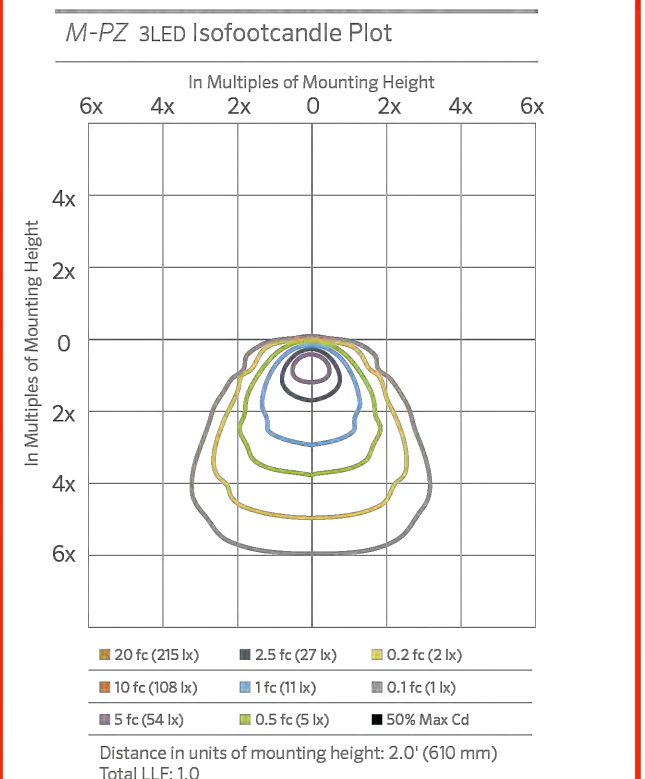
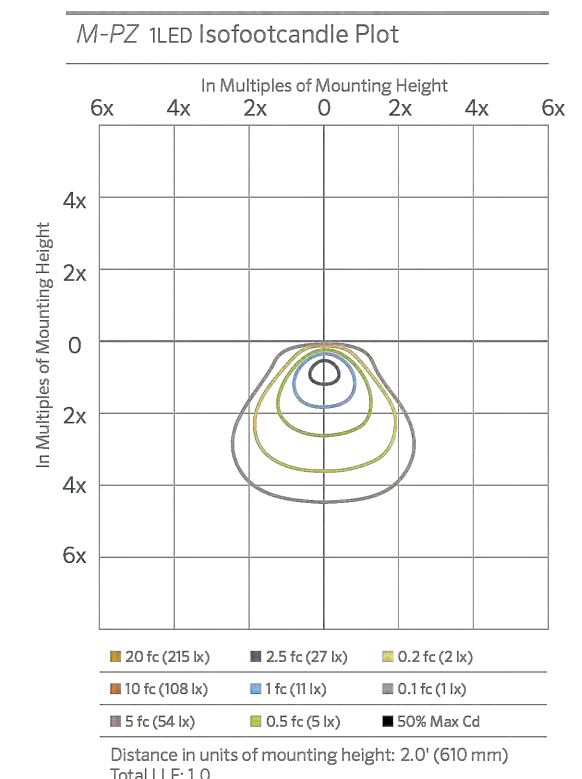
Mounts Catalog No.

M-PZ DECK MOUNT
2.5" x 2.5" x 1.7"
(64 mm x 64 mm x 43 mm)

** XX = Powder coat color code

LANDSCAPE LIGHTING

M-PZ Path Light PHOTOMETRICS



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Learn more. Visit: fxl.com | +1 760.744.5240 FX-353-SS-DESIGNER-PATH-MPZ-EN 9/19

EN3S-L09WDAAI (IC RATED HOUSING) / EN3SF1F-SW

Type S5

ENTRA 3" LED ADJUSTABLE DOWNLIGHT & WALL WASH

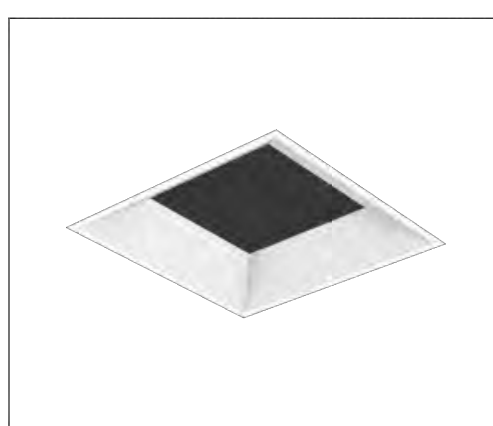


The ELEMENT Entra 3" adjustable LED downlight offers a cost-effective alternative to meet residential and commercial specifications on budget-sensitive projects. Custom engineered for high performance and reliability, ELEMENT Entra is easy to configure with a complete feature set that offers flexibility without an overwhelming list of options. Entra LED modules are available in High or Low Output, with 4 color temperatures and include 20°, 40° and 65° interchangeable optics with hot-aiming (30° tilt; 35° rotation). Flanged or flangeless (includes must plate), round or square, flat or beveled die-cast trims in Silver and a paintable White finish. Remodel installation also available with same performance and trim options.

- Hot-aiming (30° tilt; 35° rotation)
- Flanged or Flangeless Ceiling Appearance
- 20°, 40° and 65° interchangeable optics (all included)
- Accepts 2 optical controls
- Warm Color Dimming 3000K-1800K
- 3-step color binning

SPECIFICATIONS

	HIGH OUTPUT		LOW OUTPUT		WARM DIM	
	HIGH	LOW	HIGH	LOW	HIGH	LOW
DELIVERED LUMENS	1311	860	825	715		
BEAMS	14	12	16	13		
EFFICACY	73	82	49	59		
CRI	91					
CRP (AT 3000K)	20° 4594 40° 3544 65° 1991					
ICCT OPTIONS	200K, 2800K, 3500K, 4000K, Warm Color Dimming (3000K - 1800K)					
COLOR CONSISTENCY	3-step					
VOLTAGE	Universal 120V - 277V					
DIMMING*	TRAC, ELV or 0-10V (all standard, down to 5%)					
POWER SUPPLY	Constant current driver with $\pm 3\%$ power factor and 88% efficiency					
OPTICS	20°, 40°, 65° (all included)					
ADJUSTABILITY	0-30° tilt; 35° rotation					
CEILING APPEARANCE	Flanged or Flangeless (both accommodate 1/2" to 1" ceiling thickness)					
CEILING APERTURE	4" ceiling without					
HOUSING	IC Airings, Chicago Plenum, IC suitable up to R60 spray foam insulation.					
CONSTRUCTION	Housing: Heavy grade die-cast (zinc die-cast steel) Trim: Die-cast aluminum					
FINISH	Housing: Black powder coat Trim: Silver, White (optional)					
GENERAL LISTING	ETL listed, Dimmable listed, Shimmer version Wet listed, Energy Star					
CALIFORNIA LISTING 24	Registered CEC Appliance Database. Can be used to comply with CEC 2019 Title 24 part 4 (and 2016, and 2019).					
LED LIFETIME	L70: 50,000 hours					
WARRANTY**	5 years					



shown in flangeless bevel square

*See techlighting.com for dimmer compatibility.
**See techlighting.com for specific warranty limitations and details.
Always use optical controls and an optional non-mixed beam.
Data is based on ETL LISTING REPORT (ICCT) Data sheet version.

techlighting.com

ENTRA 3" LED ADJUSTABLE DOWNLIGHT & WALL WASH

techlighting.com

GRIDS

HOUSING	LAMP	ON	TEMPERATURE	BEAM	FUNCTION	HOUSING RATING
ENTRA 3" LED	LED	ON	25° COOL 35° NEUTRAL 40° WARM	20°-65° INTERCHANGEABLE	FLANGELESS / FLANGED	IC RATED

INCLUDES AN LED DRIVER WITH UNIVERSAL INPUT (20V - 277V, DIMMABLE BY TRAC, ELV OR 0-10V CONTROLS).
INCLUDES DIMS WITH 45° PLATE FOR IC RATED HOUSING INSTALLATION. DO NOT USE PLATE FOR FLANGED INSTALLATIONS.
TRIMS ARE PROVIDED AND MUST BE PROVIDED SEPARATELY.
MUST BE USED WITH WALL WASH OPTION.
*LED MODULE SHIPS WITH 45° OPTIC INSTALLED. INCLUDES 20° AND 65° OPTICS AS WELL.

TRIM

PRODUCT SERIES	CEILING APPEARANCE	STYLE	APERTURE	FINISH	ITEM #	DESCRIPTION
ENTRA 3" LED	FLANGELESS	FLANGELESS	4"	SILVER	ENTRA3SF1F-SW	ENTRA 3" LED FLANGELESS TRIM
ENTRA 3" LED	FLANGED	FLANGED	4"	SILVER	ENTRA3L09WDAAI	ENTRA 3" LED FLANGED TRIM

*SHOWER SANDELISTED (LMS OR SOLID LENSED APERTURE 1H AND 0 REQUIRED BEVEL TRIM). SOLID LENSED IS NOT AVAILABLE IN SILVER.
**MUST BE USED WITH TRIM. CAN ONLY BE USED WITH WALL WASH LENSED APERTURE (LW).
TRIM CONSTRUCTION: ADJUSTABLE HOUSING ONLY.

LENSES/LOUVERS*

ITEM #	DESCRIPTION
ENTRA3SF1F-SW	ENTRA 3" LED FLANGELESS TRIM
ENTRA3L09WDAAI	ENTRA 3" LED FLANGED TRIM

*MUST BE USED WITH TRIM. CAN ONLY BE USED WITH WALL WASH LENSED APERTURE (LW).
TRIM CONSTRUCTION: ADJUSTABLE HOUSING ONLY.

PROJECT INFO

FIGURE TYPE & QUANTITY	JOB NAME & INFO	NOTES

TECH LIGHTING
VISUAL COMFORT & CO.
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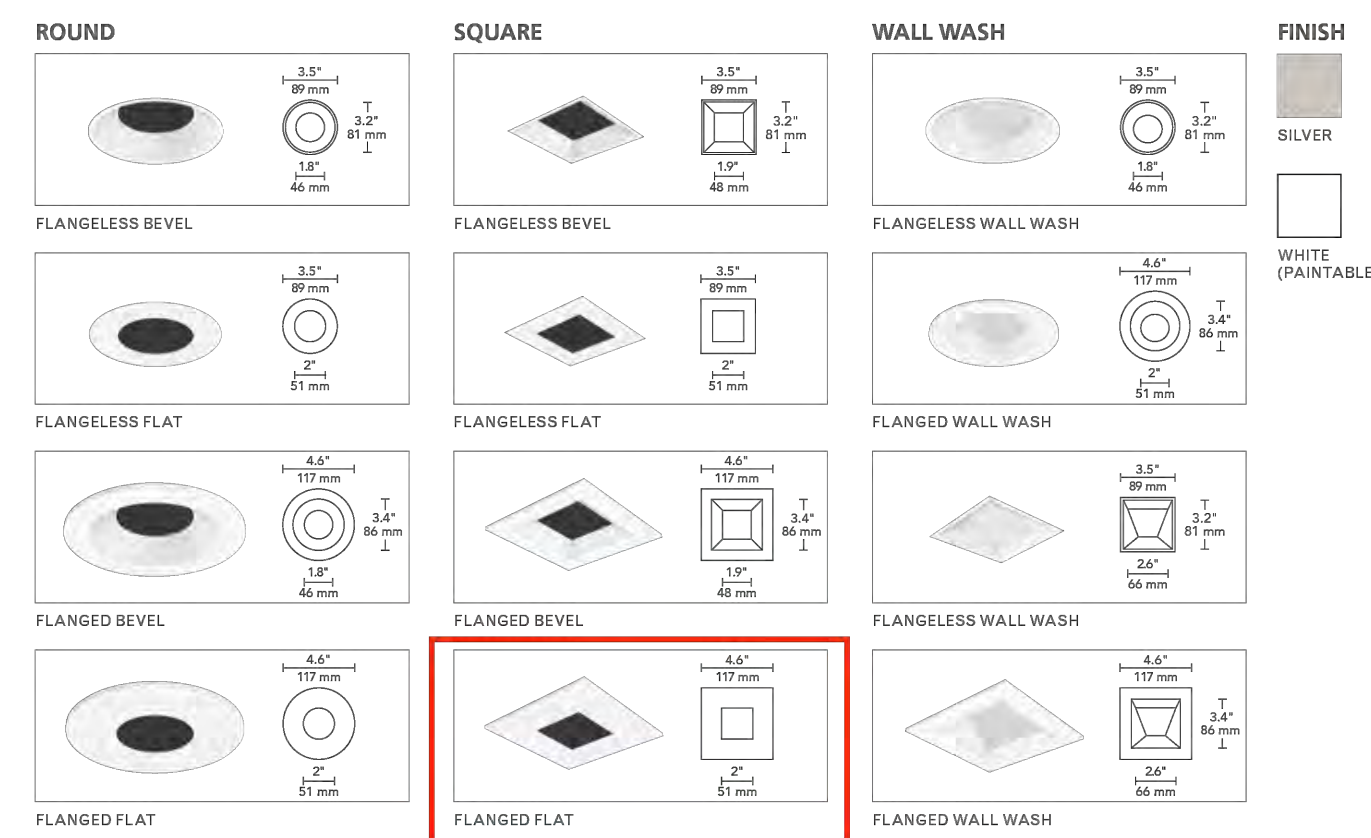
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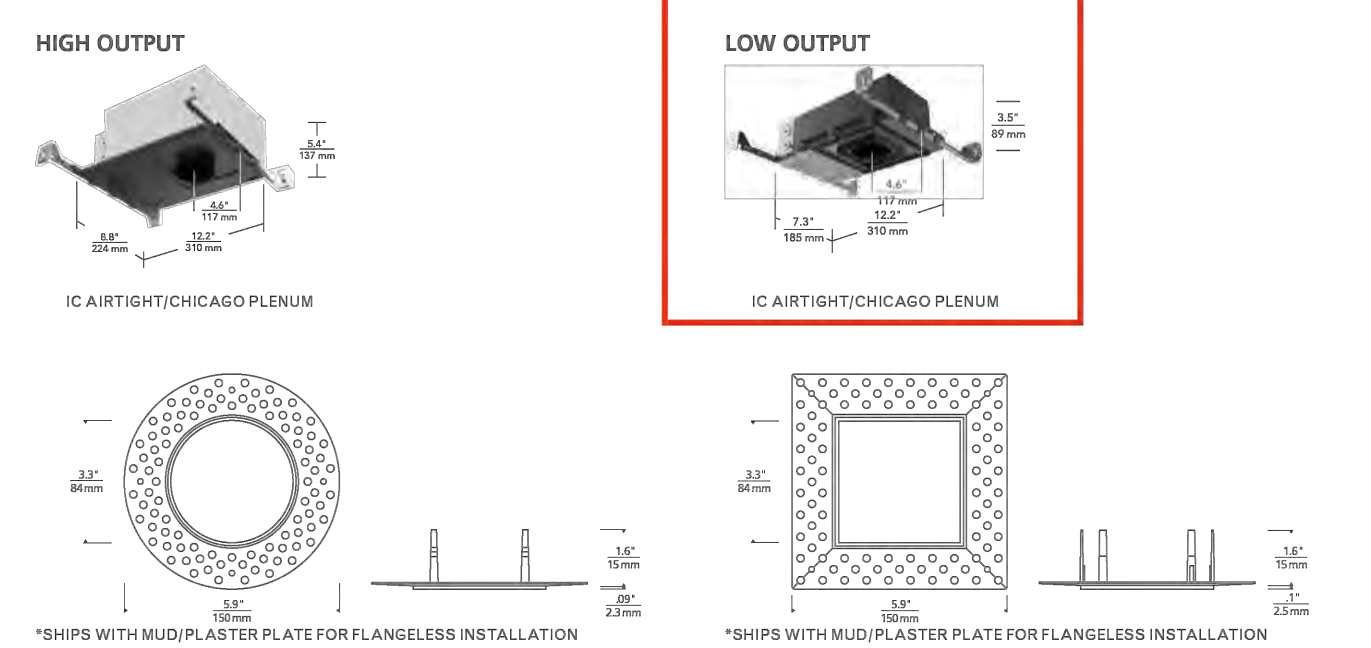
ENTRA 3" LED ADJUSTABLE DOWNLIGHT & WALL WASH

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TRIMS



3" HOUSING



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ENTRA 3" LED ADJUSTABLE DOWNLIGHT & WALL WASH

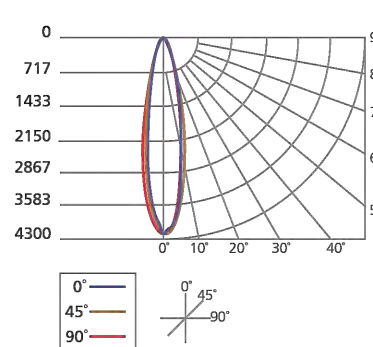
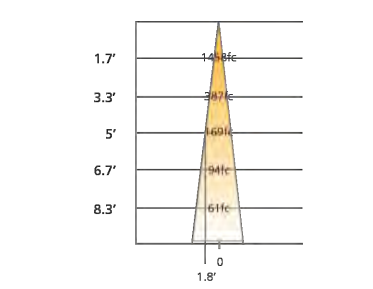
techlighting.com

PHOTOMETRICS: 3" ENTRA LED

DESCRIPTION: 3" LED Module
20° Beam - 45° Tilt, 3500K
MODEL: ENTRA Adjustable 20° Low Output

INPUT POWER (WATTS): 11.3
INPUT POWER FACTOR: 0.98
ABSOLUTE LUMINOUS FLUX (LUMENS): 950
LUMEN EFFICACY (LUMENS PER WATT): 80

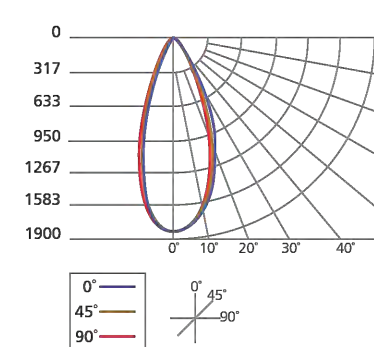
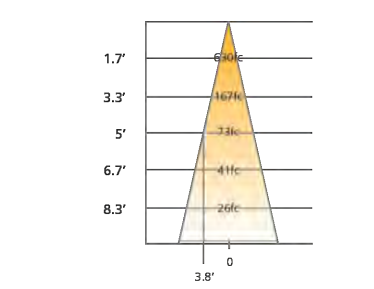
ANGLE	0°	45°	90°
0°	4213	4213	4213
5°	2146	2197	2620
10°	2224	2562	2330
15°	1620	1654	1520
20°	770	766	670
25°	435	439	358
30°	232	231	192
35°	132	136	99
40°	65	71	51
45°	30	38	24
50°	11	20	9
55°	5	9	4
60°	2	3	2
65°	1	1	1
70°	0	1	0
75°	0	0	0
80°	0	0	0
85°	0	0	0
90°	0	0	0



DESCRIPTION: 3" LED Module
40° Beam - 45° Tilt, 3000K
MODEL: ENTRA Adjustable 40° Low Output

INPUT POWER (WATTS): 11.3
INPUT POWER FACTOR: 0.98
ABSOLUTE LUMINOUS FLUX (LUMENS): 979
LUMEN EFFICACY (LUMENS PER WATT): 81

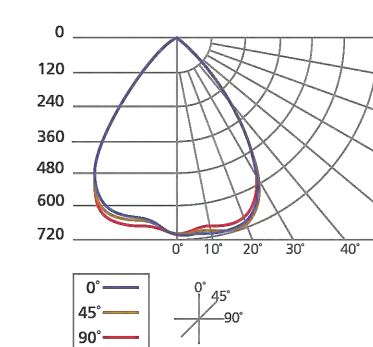
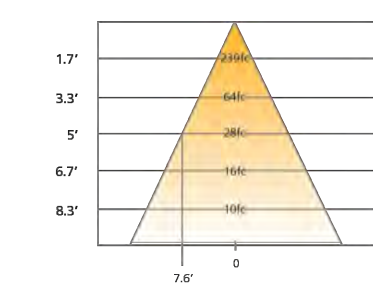
ANGLE	0°	45°	90°
0°	1822	1822	1822
5°	1771	1762	1792
10°	1624	1614	1588
15°	1413	1375	1289
20°	1130	1050	916
25°	795	760	562
30°	486	422	323
35°	287	262	175
40°	120	131	81
45°	49	65	33
50°	21	29	14
55°	9	10	7
60°	3	4	2
65°	0	2	0
70°	0	0	0
75°	0	0	0
80°	0	0	0
85°	0	0	0
90°	0	0	0



DESCRIPTION: 3" LED Module
65° Beam - 45° Tilt, 3000K
MODEL: ENTRA Adjustable 65° Low Output

INPUT POWER (WATTS): 11.3
INPUT POWER FACTOR: 0.98
ABSOLUTE LUMINOUS FLUX (LUMENS): 1022
LUMEN EFFICACY (LUMENS PER WATT): 85

ANGLE	0°	45°	90°
0°	691	691	691
5°	701	691	680
10°	703	696	677
15°	708	707	686
20°	698	706	683
25°	658	667	647
30°	568	580	563
35°	467	469	438
40°	275	296	285
45°	145	161	150
50°	69	72	67
55°	28	30	28
60°	3	13	5
65°	0	3	0
70°	0	0	0
75°	0	0	0
80°	0	0	0
85°	0	0	0
90°	0	0	0



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TECH LIGHTING

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DRAWN BY:
KEVIN FLOWER, LC

DATE: March 10th, 2023

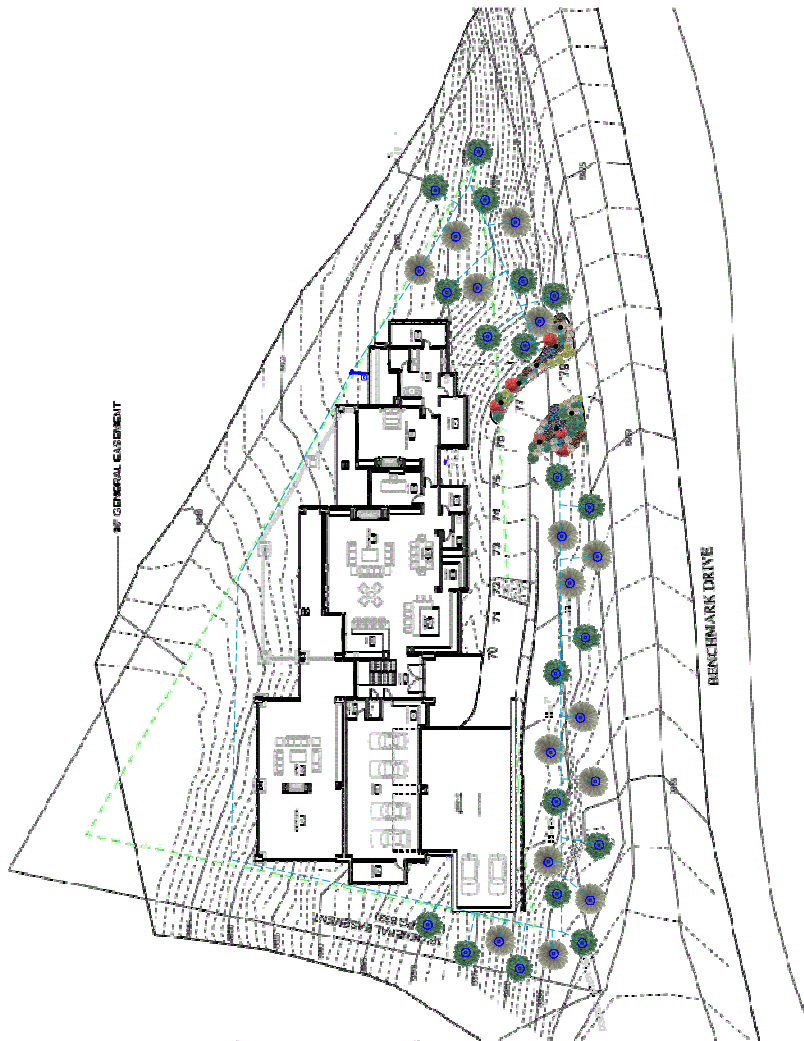
SCALE: AS NOTED

REVISIONS:

- 1
- 2
- 3

BENCHMARK 311

SHEET
NUMBER:
PHOTOMETRIC
CUTSHEETS
PL 3



GENERAL NOTES:
 1. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR TO COMPLETE SCOPE OF WORK AS INDICATED IN DOCUMENTS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, AND SHALL COMPLY WITH PREVALENT ACCESSIBILITY REQUIREMENTS. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY PORTION OF DOCUMENTS WHICH CONFLICT WITH REGULATIONS PRIOR TO CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS, APPROVALS AND INSPECTIONS RELATED TO SCOPE OF WORK.
 4. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING OWNER'S REPRESENTATIVE OF REQUESTED SITE VISITS OR INSPECTIONS SEVEN (7) DAYS IN ADVANCE OF WORK.
 5. DRAWINGS ARE BASED ON SURVEY DATA AND DESIGN DRAWINGS PROVIDED BY OTHERS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING CONDITIONS AND SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTS AND ACTUAL SITE CONDITIONS PRIOR TO CONSTRUCTION.
 6. DO NOT PROCEED WITH ANY PORTION OF WORK AS INDICATED IN DOCUMENTS IF OBSTRUCTIONS, DISCREPANCIES OR UNKNOWN CONDITIONS ARE ENCOUNTERED. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED.
 7. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER DISCIPLINES AND TRADES.
 8. LIMITS OF WORK INDICATED ON DRAWINGS, IF ANY, ARE GENERAL IN NATURE AND ARE INTENDED TO DEFINE THE GENERAL VICINITY IN WHICH THE SCOPE OF WORK EXISTS. ACTUAL LIMITS OF WORK SHALL INCLUDE ALL AREAS NECESSARY TO COMPLETE SCOPE OF DESIGN INTENT.
 9. REFERENCE TO 'OWNER'S REPRESENTATIVE' IS MADE IN THESE DOCUMENTS, AND REFERS TO THE PROJECT OWNER OR DESIGNATED REPRESENTATIVE IN ADDITION TO THE OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR DESIGN CLARIFICATIONS OR ADDITIONAL INFORMATION RELATED TO SCOPE OF WORK.
 10. UNLESS OTHERWISE NOTED, ALL EXISTING TREES SHALL BE PROTECTED. DO NOT PANK, DRIVE, OPERATE MACHINERY OR STORE MATERIALS WITHIN THE DRIFLINE OF EXISTING TREES.

REVEGETATION NOTES
 1. ALL DISTURBED AREAS WILL BE REVEGED
 2. SUBSOIL SURFACE SHALL BE TILLER TO 4" DEPTH ON NON-FILL AREAS
 3. TOPSOIL SHALL BE SPREAD TO A 4" MINIMUM DEPTH OVER ALL AREAS TO BE REVEGETATED EXCEPT ON SLOPES GREATER THAN 3:1
 4. BROADCAST SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED TO MINIMIZE EROSION AND WEEDS
 5. BROADCAST WITH SPREADER SEED MIX AND FOLLOW-UP WITH DRY MULCH (AGED PROPERLY), HYDRO MULCH, OR STRAW 1 SALES PER 1000 SF
 6. SEED ALL AREAS LABELED 'NATIVE GRASS WITH WILDOFLOWERS AT A RATE OF 15:1 POUNDS PER 1000 SF
 7. SEED ALL AREAS LABELED 'OUSTON WILDOFLOWER MIX AT A RATE OF 15:1 POUNDS PER 1000 SF
 8. SEED ALL AREAS LABELED 'NATIVE GRASS' AT A RATE OF 2:3 POUNDS PER 1000 SF
 9. ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET FINED IN PLACE OF HYDRO MULCH WITH ADDED TACKIFIER SHALL BE APPLIED
 10. REVEGETATION SEED MIX TO BE USED
 11. NATIVE GRASS SEED MIX (GENERAL REVEGETATION)
 12. WESTERN YARROU 5%
 13. TALL FESCUE 10%
 14. ARIZONA FESCUE 5%
 15. HARD FESCUE 5%
 16. CREEPING RED FESCUE 10%
 17. ALPINE BLUEGRASS 5%
 18. CANADA BLUEGRASS 5%
 19. PERENNIAL RYEGRASS 5%
 20. SLENDER WHEATGRASS 10%
 21. MOUNTAIN BROOME 5%

LEGEND	
COMMON NAME	QTY
FLOWER, GRASS	
GRASS, KARL FOERSTER	1
FLOWER, PERENNIAL	
BEAR TONGUE	1
CERASTIUM	2
COLUMBINE, RED & WHITE	3
CONEFLOWER, EVER-BLOOMING PURPLE	1
DELPHINIUM, PACIFIC GIANT, VIOLET	1
GALLARDIA, BLANKET FLOWER, DARK BICOLOR	1
HOSTA	3
PHLOX, CREEPING	1
SALVIA, BLUE NIGHT	1
SEDUM, AUTUMN JOY	15
SHRUB, DECIDUOUS	
LILAC, SENSATION	4
SAND CHERRY, PURPLE LEAF	6
TREE, DECIDUOUS	
ASPEN, QUAKING	20
TREE, EVERGREEN	
BLUE COLORADO SPRUCE 'ISLEI FASTIGIATE'	15
IRRIGATION	
SHUT OFF VALVE	0
BACKFLOW	0
WATER METER	0
FERTIGATION TANK	0
VALVE	0
360 BUBBLER	0
IRRIGATION PIPE	0
POPLAR 360	0
IRRIGATION CONTROLLER	0

FOREST MANAGEMENT PLAN
 1. CUTTING AND/OR REMOVING DEAD AND DECLINING TREES (LEAVING 1 TO 2 WILDLIFE SNAGS PER ACRE) USING A VARIETY OF SILVICULTURAL METHODS;
 2. REMOVING INDIVIDUAL HAZARD TREES TO MINIMIZE RISK OF FALLING TREES TO THE PUBLIC AND TOUR/RESORT INFRASTRUCTURE;
 3. REMOVING HAZARD TREES AS A SANITATION/ALGAE TREATMENT WHERE APPROPRIATE, FOR INSTANCE WITHIN A 50-FOOT BUFFER ZONE FROM THE EDGE OF ROADWAYS, TRAILS AND LIFT CORRIDORS;
 4. CREATION OF DEFENSIBLE SPACE AROUND ALL HOMES AND INFRASTRUCTURE;
 5. PLANTING SEEDLINGS OR TRANSPLANTS TO SPEED UP REGROWTH IN KEY AREAS;
 6. PREVENTING INSECT ATTACKS OF HIGH VALUE TREES, WHICH ARE OFTEN LARGER SPECIMENS AND POTENTIAL OLD GROWTH THAT ARE LOCATED CLOSE TO HOMES OR TOUR/RESORT INFRASTRUCTURE;
 7. BARK BEETLE ATTACKS (AFFECTING SUB-ALPINE FIR, SPRUCE OR DOUGLAS FIR) MAY BE MITIGATED BY APPLYING AN INDUSTRY APPROVED INSECTICIDE OR ANTI-AGGREGATION PHEROMONE PRIOR TO BEETLE EMERGENCE EACH YEAR UNTIL THE THREAT OF INFESTATION IS OVER, SEE APPENDIX C FOR A LIST OF APPROVED INSECTICIDES AND ANTI-AGGREGATION PHEROMONES;
 8. IN THE CASE OF SPRUCE BARK BEETLE INFESTATION, MITIGATION COULD INCLUDE TREATING BEETLE INFESTED TREES BY FELLING AND PEELING, CHIPPING OR REMOVAL OF THE INFECTED TREES;
 9. PURE ASPEN STANDS SHOWING SIGNS OF SUDDEN ASPEN DECLINE WILL HAVE THE OVERSTORY REMOVED OVER SEVERAL YEARS AND 25% OF THE AREA WILL BE SCARIFIED TO STIMULATE ASPEN REGENERATION;
 10. SPRUCE/FIR STANDS WILL HAVE SMALL (<5 ACRES) IRREGULAR PATCH CUTS MADE TO FACILITATE SPRUCE REGENERATION AND AGE CLASS DIVERSITY; AND
 11. SLASH TREATMENTS MAY INCLUDE REMOVING LOGGING-GENERATED SLASH TO REDUCE FUEL LOADS AND TO STIMULATE ASPEN REGENERATION, USE OF AN AIR CURTAIN BURNER TO BURN SLASH ON SITE, LOP AND SCATTER OF SLASH TO DISTRIBUTE CONIFER SEED SOURCE OR CHIPPING AND SCATTERING SLASH USING EITHER A CHIPPER OR HYDRO-AXE.

PLANTING NOTES:
 1. ALL NON-DIMENSIONED PLANT SYMBOLS, EDGING AND BED LINES ARE DIAGRAMMATIC AND SHALL BE SCALED FROM DRAWINGS.
 2. STAKE ALL PROPOSED TREE LOCATIONS ON FINISH GRADE WITH DIFFERENT COLOR FLAGS FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO MAKE MINOR ADJUSTMENTS TO TREE LOCATIONS PRIOR TO EXCAVATION.
 3. PAINT OR STRIPS ALL EDGING AND BED LINE LOCATIONS ON FINISH GRADE FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. THE OWNER'S REPRESENTATIVE SHALL RESERVE THE RIGHT TO MAKE MINOR ADJUSTMENTS TO LAYOUT OF PLANTING AREAS PRIOR TO EXCAVATION.
 4. TREES SHALL BE PLANTED NO CLOSER THAN 4' TO PAVEMENT, CURB, EDGING, WALL OR UTILITIES UNLESS NOTED OTHERWISE.
 5. TREES SHALL BE PLANTED NO CLOSER THAN 10' TO ANY STRUCTURE OR OVERHEAD UTILITY.
 6. TREES OVERHANGING PEDESTRIAN AND VEHICULAR PAVEMENTS ARE INTENDED TO HAVE A MINIMUM CLEAR-TRUNK BRANCHING HEIGHT OF 7' AT MATURITY.
 7. TREES OVERHANGING VISIBILITY EASEMENTS OR RIGHTS-OF-WAY ARE INTENDED TO HAVE A MINIMUM CLEAR-TRUNK BRANCHING HEIGHT OF 9' AT MATURITY.
 8. ALL TREES, LAWN AND PLANTING AREAS TO RECEIVE 100% IRRIGATION COVERAGE FROM AUTOMATIC UNDERGROUND IRRIGATION SYSTEM UNLESS NOTED OTHERWISE.
 9. FINISH GRADE SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
 10. ANY QUANTITIES PROVIDED ON PLANS OR SCHEDULES ARE FOR INFORMATION AND CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR QUANTITY TAKE-OFFS AND SHALL PROVIDE FULL COVERAGE OF PLANTING AREAS AS INDICATED IN DRAWINGS.
 11. ALL PLANTS SHALL MEET SIZE AND QUALITY SPECIFICATIONS AS INDICATED IN DOCUMENTS AND SHALL BE OF TOP QUALITY, VIGOROUS, HEALTHY CONDITION THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT PLANTS NOT MEETING SPECIFICATIONS.
 12. ALL NEW PLANTS AND LAWNS SHALL BE FERTILIZED ACCORDING TO SOIL ANALYSIS RECOMMENDATIONS, SUPPLIER RECOMMENDATIONS, AS INDICATED IN DOCUMENTS OR AS APPROVED BY OWNER'S REPRESENTATIVE.
 13. COORDINATE PLANTING WITH OTHER SECTIONS OF LANDSCAPE DOCUMENTS AND WITH WORK OF OTHER DISCIPLINES.

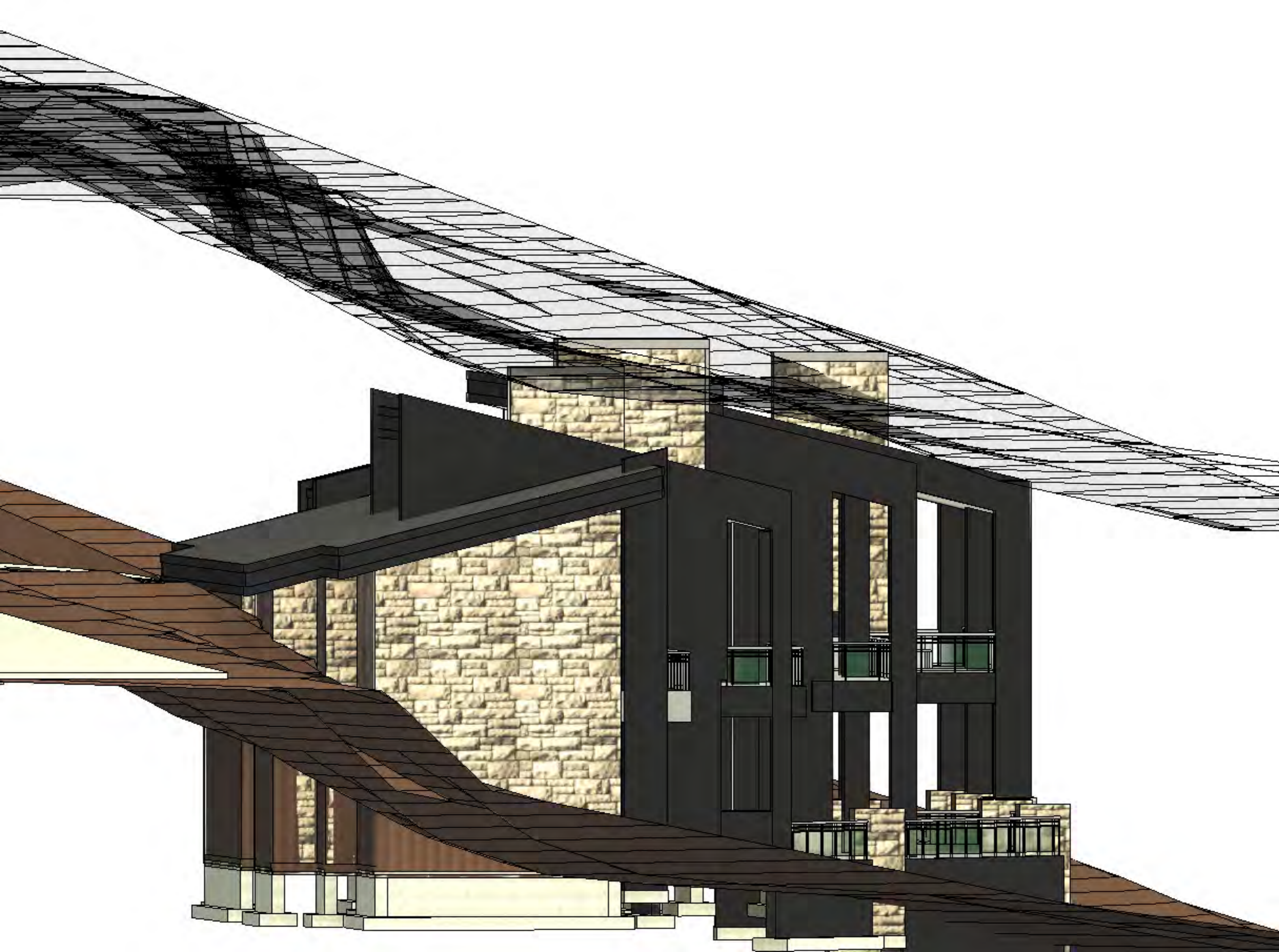


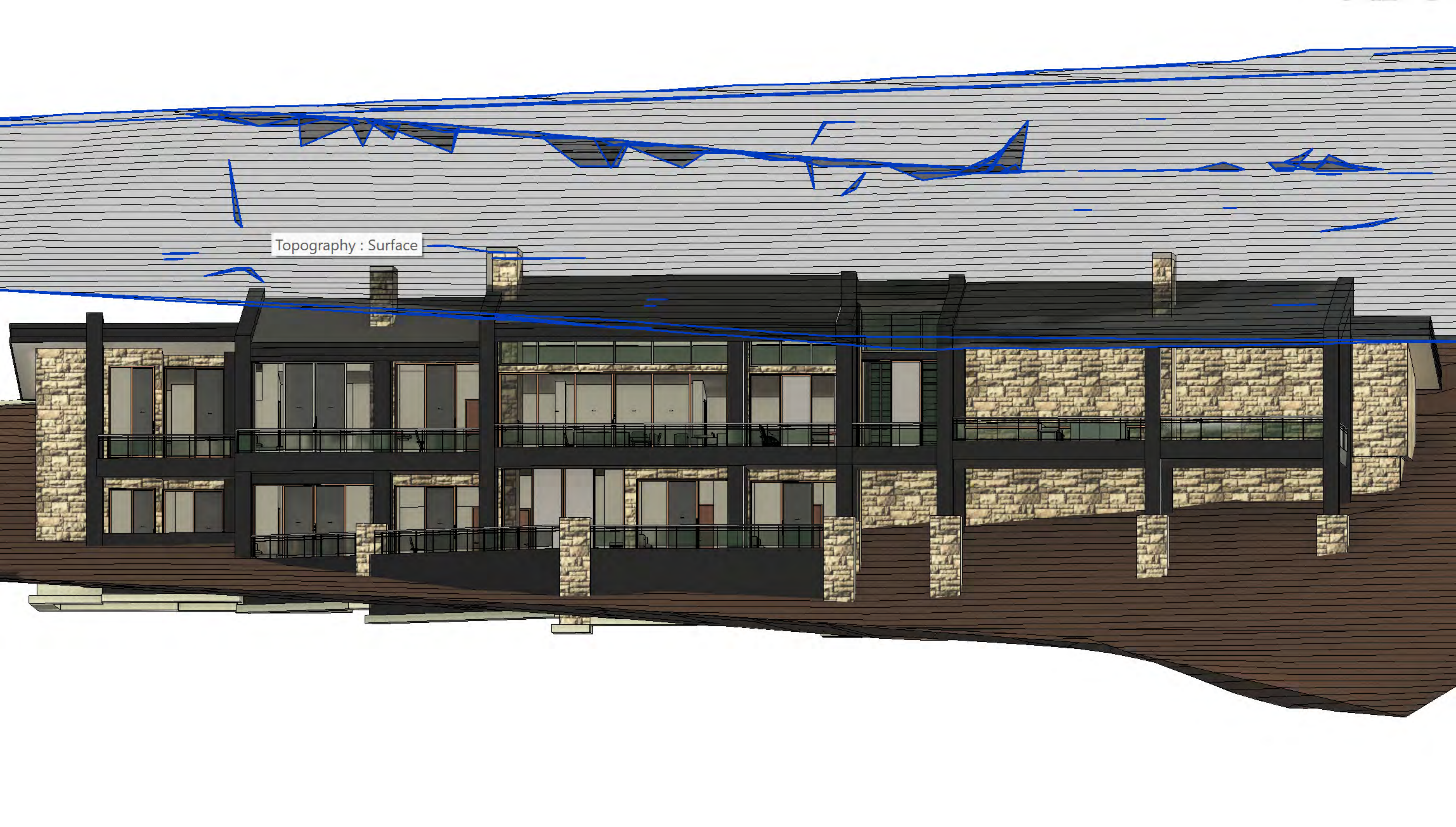
Revision #: 001
 Date: 3/9/2023

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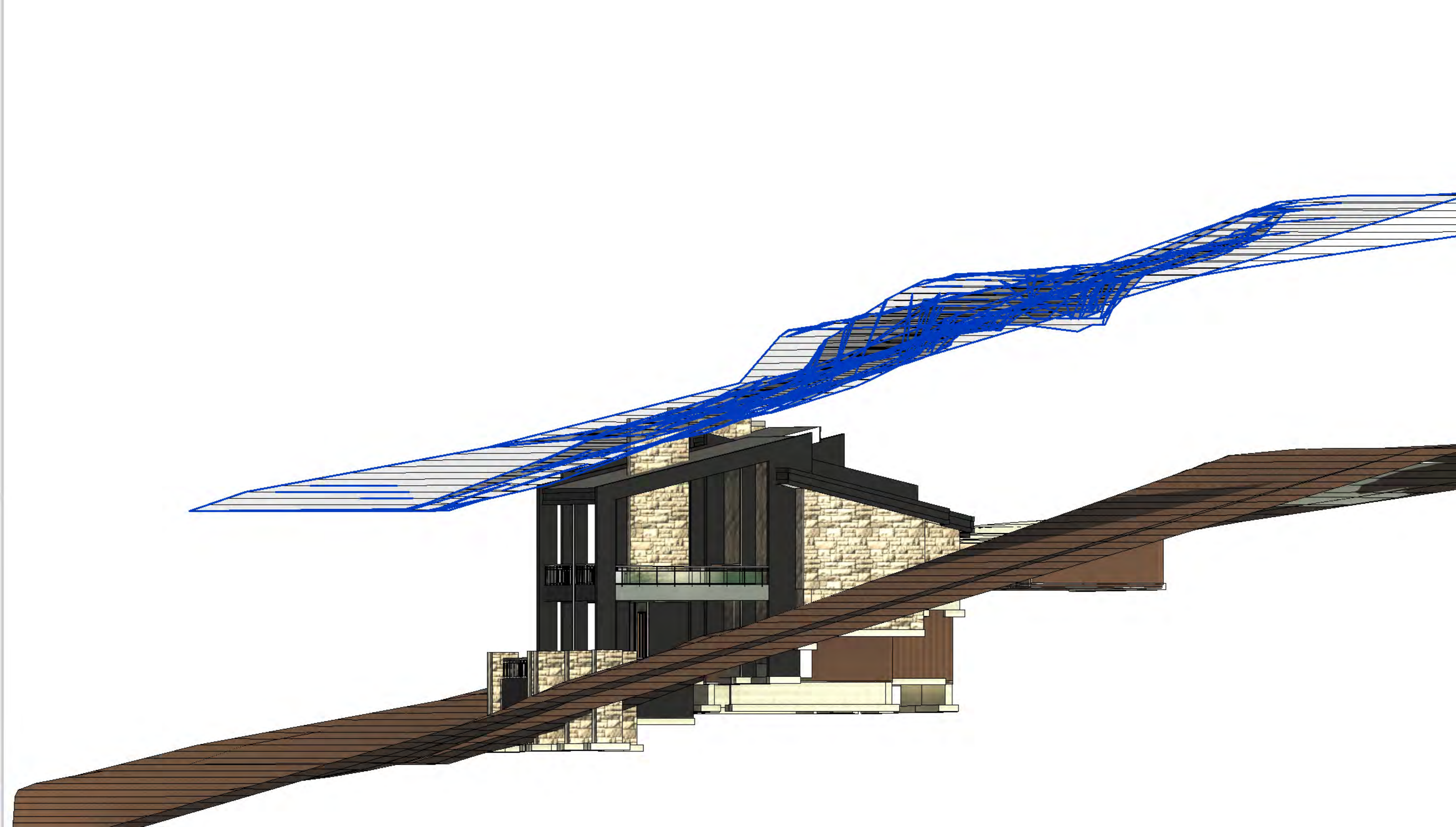
Landscape Plan: 001
 311 Benchmark

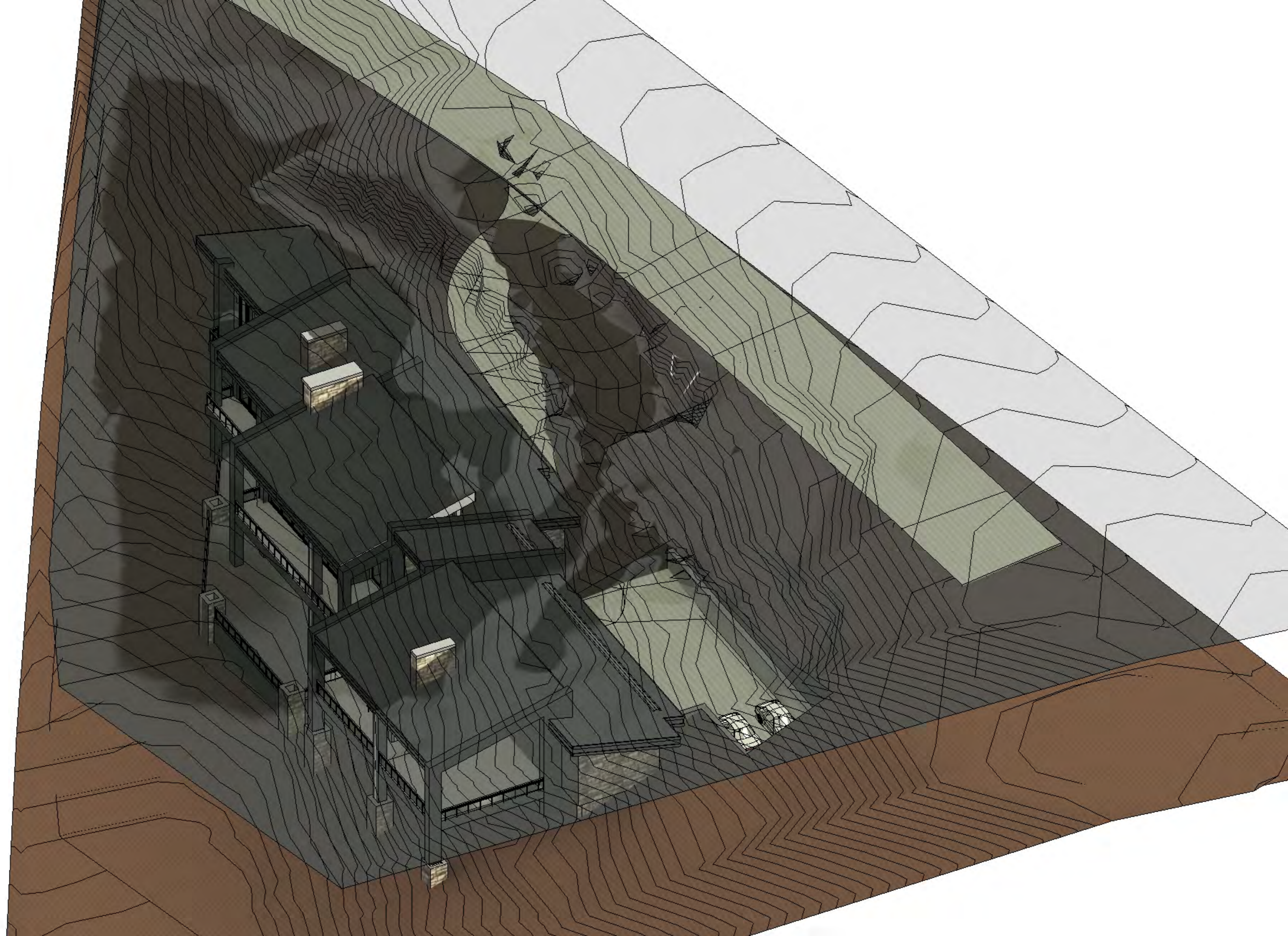
Landscape Design by: Garrett
 landscapes by lance





Topography : Surface







AGENDA ITEMS 8 & 9
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board
FROM: Amy Ward, Community Development Director
FOR: Design Review Board Public Hearing; March 30, 2023
DATE: March 22, 2023
RE: Staff Memo – Review and Recommendation to Town Council of a Height Variance request to the Coonskin View Plane and an Initial Architecture and Site Review (IASR) for Lot 161A-4 Unit 6

APPLICATION OVERVIEW:

PROJECT GEOGRAPHY

Legal Description:

UNIT 6, THE RIDGE AT TELLURIDE, ACCORDING TO THE 8TH SUPPLEMENTED AND AMENDED PLANNED COMMUNITY PLAT OF THE RIDGE AT TELLURIDE RECORDED APRIL 2, 2019 UNDER RECEPTION NO. [458069](#), AND AS DEFINED AND DESCRIBED IN THE DECLARATION RECORDED APRIL 5, 2004 UNDER RECEPTION NO. [365201](#) AND THE 7TH SUPPLEMENT AND AMENDMENT TO DECLARATION RECORDED APRIL 2, 2019 UNDER RECEPTION NO. [458070](#), COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Address: TBD Bridge Lane
Applicant/Agent: Mark Bertelsen, Centre Sky

Owner: Carl Merzi and Patti Merzi
Zoning: Multi-Family
Existing Use: Vacant Lot
Proposed Use: Detached Condominium
Lot Size: 8,145 square feet

Adjacent Land Uses:

- **North:** Multi-Family
- **South:** Multi-Family
- **East:** Multi-Family
- **West:** Multi-Family

ATTACHMENTS

- Exhibit A: Height Variance Application
- Exhibit B: Coonskin View Plane Exhibit
- Exhibit C: Architectural Plan Set
- Exhibit D: Staff Referral Comments – no public comments received



Case Summary: Mark Bertelsen of Centre Sky (Applicant), on the behalf of Carl and Patti Merzi (Owner) is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family detached condominium located at Lot 161A-4, Unit 6, 1 La Sal Lane. The applicant also has two additional concurrent applications. One is for a height variance to the Coonskin View Plane which will also be reviewed by DRB for a recommendation to Town Council. The second is a staff level subdivision to alter the location of the condominium unit building envelope. The Lot is 8,145 square feet and is zoned Multi-Family. The proposal includes a detached condo with an approximate gross square footage of 9435 square feet. Because of the home's location near the top of Coonskin Ridge, additional development regulations must be addressed in addition to the general Design Review Standards – specifically, CDC Section 17.5.16: Ridgeline Lots. The applicant has provided all the required materials for the IASR for the proposed home.

County and Town Settlement Agreement

In 1999 the Town and County entered into a settlement agreement that addressed a number of county issues including and not limited to the operations of the gondola, the Ridgeline Covenant, the final Mountain Village development plan, wetland regulations, and deed-restricted housing. Pursuant to the settlement agreement, the Town of Mountain Village sends development application referrals for comment to San Miguel County and the Town of Telluride when a development is proposed subject to the Ridgeline Covenant. What is within the DRB's purview are the provisions outlined in the CDC and the enhanced design requirements found under the Ridgeline Lots section of the CDC and outlined below. The Town does not enforce the provisions of the Settlement Agreement although we adhere to the courtesy notice provisions as outlined in the settlement agreement and any additional requirement as outlined in the CDC.

Story Pole Requirement

Due to the location of the home the application is required to erect story poles "to reflect the maximum height of the proposed development where such development will extend

closest to the view plane as described in section 4 above; and (b) the installation of a light to illuminate the story pole where off-site light would be visible from the highest window.” These story poles have been erected and will be illuminated as described from dark to 9:30 pm on the evenings of March 27 and 28, 2023. San Miguel County, Town of Telluride, DRB and Town Council have all been notified of the story pole illumination plan. Any observations from this story pole installation can be discussed at the March 30, 2023 regular DRB hearing.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. *Please note that Staff comments will be indicated by Italicized Text.*

Table 1

CDC Provision	Requirement	Proposed
Maximum Building Height	45' (ridge allowance)*	39.83'
Maximum Average Height	30' (ridge allowance)	24.19'
Maximum Lot Coverage	Not applicable to Ridge	
General Easement Setbacks	No GE	
Roof Pitch		
Primary		12:12
Secondary		3:12, 1:12
Exterior Material		
Stone	35% minimum	36.94%
Windows/Doors	40% maximum	23.98%
Parking	1	1

*see Height Variance-Coonskin View Plane Discussion below

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates gabled roof forms with minor secondary shed roof forms. Because of development agreements memorialized in the CDC, the Unit 19 is classified as a ridge lot, and with that, it is granted a different height allowance than other detached condominiums in the Mountain Village. The unit is subject in this case to a 45-foot height limit from the finished grade.

Staff: The Maximum Building Height and Average Building Height analysis has been provided on page A1-0.2 of the submitted plan set and shows a Maximum Height of 39.83' and a Max Average Height of 24.19'. These metrics are meeting the height requirements of the CDC per the Ridge area, however this property is also burdened by the Coonskin View Plane -see Height Variance Discussion below.

17.3.14: General Easement Setbacks

Lot 161A-4, Unit 6 is not burdened by any General Easements or Setbacks. The development documents specify that each unit is permitted to utilize the full amount of square feet allocated.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: Unit 6 has incorporated the traditional design elements referenced in the CDC such as a strong grounded base, traditional gabled roof forms as well as stone, metal, and timber elements. Combined, the submittal blends well with the surrounding community and homes located at the ridge. The materials are discussed below in more detail as it relates to the ridgeline lot requirements of Section 17.5.16

The massing and form of the proposed home at Unit 6 is somewhat traditional as it relates to recent home designs in the Mountain Village. The gabled roof form appears to be augmented nicely through the smaller secondary shed roofs. The home is sized at approximately 9,435 gross square feet, which is slightly larger than other home sizes along the ridge – but the square footage of Unit 6 is larger than the other Units - which are platted at 7500 s.f. . The home appears as a 1.5 story home at the entry and the downhill side presents as three stories.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: As briefly mentioned above, this lot essentially functions as footprint lot and allows for the full development of the allocated 8,145 square feet. With that, the location of the home's building envelope is tied to the subdivision documents and the location of the specific units within Lot 161A-4. The location of Unit 6 is proposed to be amended from that shown in the current plat. The current location of Unit 6 is downhill of an area of de-stabilized slope the applicant refers to as "the crack." If the home were to be built in the current location of Unit 6 it could further de-stabilize the hillside by undercutting it. The applicant proposes to re-locate Unit 6 uphill of "the crack" to prevent further de-stabilization of the hillside. The HOA has approved of the re-location of the Unit and this will be processed as a staff level condominium amendment.

It does appear that the home has attempted some visual subordination by incorporating the design of the home into the hillside. This appears to result in a less proud home as seen from the northeast. The elevation facing west towards the Village is also more modest. The south(west) elevation that faces Wilson is certainly more proud, but a manageable 2.5 stories.

Due to the steep slopes, vegetation, and location – it will be difficult to blend all future development of the homesites into the existing landforms entirely. With that being said, staff believes this project to be accomplishing this standard.

17.5.6: Building Design

Staff: The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation. Although the applicant is meeting the

material requirements for stone and fenestration, the north elevation does have areas of wood that extend to the ground (identified below). Staff believes that it's important to increase stone amounts in this area because the elevation of the site and the associated snow depths could create issues with the longevity of the wood if not protected from snow and water.



The home's exterior palette is a warm neutral mix of mostly stone and timber with some steel panel siding. The roof is rusted metal. Window and door trim is shown as a light taupe color that will not contrast with either the wood or stone cladding.

Roof form is varied, with a combination of traditional gables and secondary shed roofs.

An elevated walkway connects the main north side of the home with a master suite to the south (see below). DRB has discussed in the past whether these elevated forms meet the CDC criteria of representing a heavy grounded form. Staff feels that the overall horizontal presentation of the home combined with a strong stone base meets this criteria and the elevated walkway does not take away from that sense of grounding. DRB should discuss their comfort with this architectural element



This proposal is under the allowable percentage for glass, however much of the fenestration is located on the south side. This is understandable given the views, however the CDC says "Window placement and size shall be sensitive to light spill to adjacent properties." The south facing decks should somewhat screen this light as seen from below, however DRB should discuss whether the window pattern needs to be broken up more to avoid large areas of illumination as seen from off property at night.

The applicant has not indicated areas of snowmelt, but the CDC allows for 1000 square feet of snowmelt without penalty. Staff recommends identifying and including those areas in a final design review application.

17.5.7: Grading and Drainage Design

Staff: The applicant has provided a grading and drainage plan as it relates to access, and grading required for areas surrounding the home. The majority of the grade changes are for the creation of the driveway and some minimal grading to create positive drainage away from the home. There is proposed a drainage swale that runs under the elevated walkway as well. Staff would like to better understand if this swale might have impact to Horseshoe Lane below. Silt fencing is proposed on the downhill side of the home

17.5.8: Parking Regulations

Pursuant to Resolution No. 2003-0610-10 and the Lot 161CR settlement agreement the parking requirement for this property is one parking space to be satisfied either by a parking reservation agreement at Lot 161CR when the parking garage is finally developed or a parking payment in lieu to the Town of Mountain Village. The applicant should demonstrate that this reservation agreement with confirmation of deposit has been executed or otherwise will be required to pay a parking payment in lieu fee. If the reservation agreement has been executed, the applicant must also execute and Addendum to the Reservation Agreement, which deals with potential termination of the Reservation Agreement.

The applicant has also proposed space within the garage of the home for one golf cart to be used in summer months.

17.5.9: Landscaping Regulations

The applicant has not provided a landscaping plan and it is not required until final review.

17.5.11: Utilities

Staff: All utilities are currently located within proximity to the home. The applicant shall work with the Public Works Director before the final review to verify the specific locations of the connections for the home. The plan set shows the proposed connections and the locations of the proposed utilities based on field research.

17.5.12: Lighting Regulations

Staff: The applicant has not provided a lighting plan at this time, it is not required until final review.

17.5.13: Sign Regulations

Staff: The applicant has proposed an address monument to the east of the driveway. The monument is a combination of steel and timber on a stone base. The numerals are a reflective surface and downlit. The monument appears to be meeting CDC regulations.

17.5.16: Ridgeline Lots

The CDC identifies Lot 161A-4 as a part of the Ridge Area and as such provides additional design restrictions. As previously described, the intent of these standards is to memorialize the restrictions in the development agreement. These provisions attempt to require the home to maintain visual subordination to the natural landscape along the ridge.

In order to accomplish this, the code requires the following:

- 1. All improvements are subject to a ridgeline covenant with San Miguel County as recorded at reception number 329093. The Town does not enforce the ridgeline covenant, with enforcement solely administered by San Miguel County.*

Staff: The improvements appear to be aligned with the ridgeline covenant as discussed above within this memo. The Town of Mountain Village does not enforce this covenant but provided this application and all materials to both San Miguel County and the Town of Telluride in order for those agencies to provide comment on the proposed application.

2. *The building height on Lot 161A-1R shall not exceed 35 feet (35') along the ridgeline of such building.*

Staff: Not applicable. Subject unit is within Lot 161A-4.

3. *Building height on other ridge area lots shall not exceed the lesser of:*
 - a. *The height of forty-five feet (45'); or*
 - b. *The maximum height allowed to the view plane limitation set forth in section 4 below.*

Staff: The applicant is requesting a Variance for exceeding the height allowed per the view plane covenant on this lot. See below – Height Variance.

4. *Except for the existing building on Lot 161A-1R and gondola facilities, the development of ridgeline area lots shall be designed to ensure that no lighting or any part of any building or structure extends into the view plane as shown on the Coonskin View Plane drawing recorded at reception number 328113.*

Staff: The story pole requirement will be verified by illuminating the story poles on March 27 and 28, 2023 – staff and board members should view the poles independently to be discussed at the meeting. DRB should discuss whether they feel this is being met after viewing the story pole illumination.

5. *New development in the ridgeline area, excluding the existing building on Lot 161A-4 and gondola facilities, shall require (a) the erection of a story pole to reflect the maximum height of the proposed development where such development will extend closest to the view plane as described in section 4 above; and (b) the installation of a light to illuminate the story pole where off-site light would be visible from the highest window. The applicant for development shall provide written notice of the story pole erection to San Miguel County and the Town of Telluride.*

Staff: The applicant has erected the story poles and will illuminate them on March 27 and 28. Notice of this has been provided to Town of Telluride and San Miguel County.

6. *To the extent practical, no exterior lights shall be installed on the east side of buildings. Any required exterior lighting shall be shielded, recessed, or reflected so that no lighting is oriented towards the east side of the building.*

Staff: The lighting plan has not been submitted and isn't required until final review. As part of a final submittal it will be important to review the lighting on the east side of the home to ensure this standard is being met.

7. *No solid fuel burning device shall be allowed in the building on Lot 161A-1R*

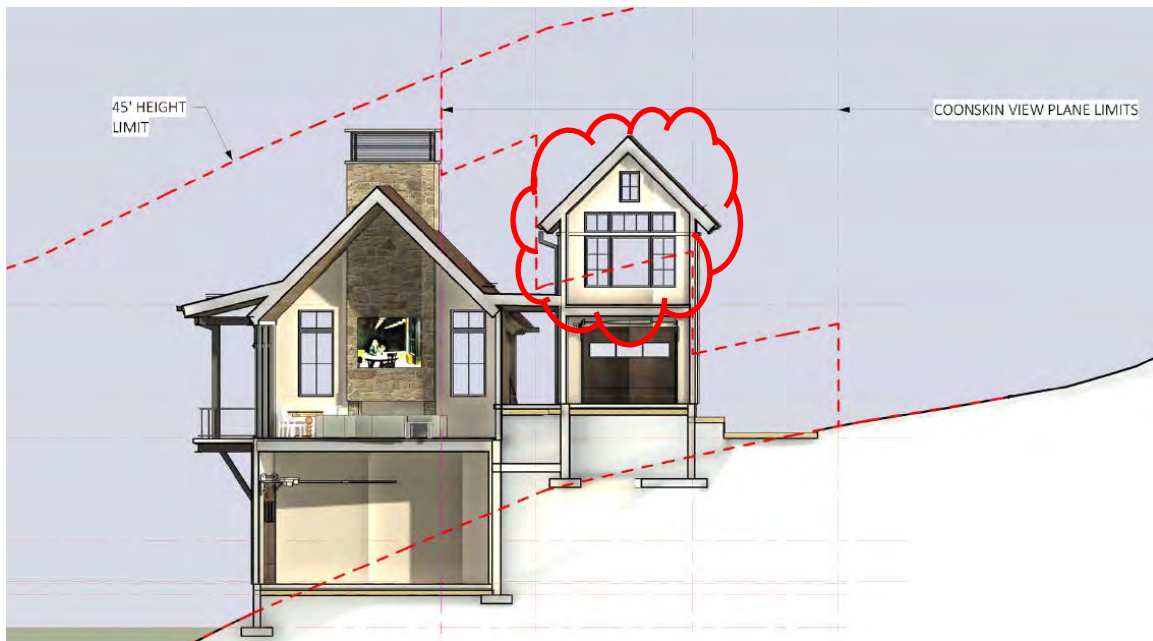
Staff: All fireplaces at the home are required to be natural gas-burning fixtures as noted below.

8. For all new development, or substantial modifications to existing development, a courtesy referral shall be provided to San Miguel County and the Town of Telluride consistent with the Referral and Review Process outlined in the Development Review Procedures. The Town is not bound by any referral comments from either jurisdiction.

Staff: A courtesy referral was provided to both the Town of Telluride and San Miguel County.

Height Variance Request

As indicated above the applicant has a concurrent application for a Variance to the Coonskin View Plane. Some Units within the Ridge are burdened by additional height restrictions pursuant to the settlement agreement and an associated exhibit called the Coonskin View Plane. Due to the new location of Unit 6, portions of Unit 6 are under the view plane corridor and a portion of the home exceeds the allowable. The following shows the portion of the home that exceeds the view plane:



The applicant has provided a view study (see attached) from 5 points spanning from Eider Creek Condominiums east to several sites within Hillside. Each point demonstrates that the highest point on the home, the chimney, which is higher than the area of the home that exceeds the view plane allowance is from 13-23' below what would be visible from those sites.

The applicant portrays that the Coonskin View Plane was created to prevent Ridge development from being viewed from the valley floor, and believes the view plane study to show that this development would not be visible from that side of the ridge.

DRB is tasked with making a recommendation on the height variance request. The criteria for decision and staff response are listed below.

Criteria for Decision

The following criteria shall be met for the review authority to approve a variance:

a. The strict development application of the CDC regulations would result in exceptional and undue hardship upon the property owner in the development of property lot because of special circumstances applicable to the lot such as size, shape, topography or other extraordinary or exceptional physical conditions;
The applicant asserts that the view plane restrictions are intended to prevent development from being visible from Telluride, Hillside and Eider Creek; that the surveyor who created the view plane exhibit admits that view plane limits are approximate; and that they have demonstrated that the development will not be visible from the above listed locations. Having to abide by the view plane given that they have demonstrated they are meeting the intent would be an undue hardship.

b. The variance can be granted without substantial detriment to the public health, safety and welfare;
Staff finds this criteria met

c. The variance can be granted without substantial impairment of the intent of the CDC;
Staff finds this criteria met

d. Granting the variance does not constitute a grant of special privilege in excess of that enjoyed by other property owners in the same zoning district, such as without limitation, allowing for a larger home size or building height than those found in the same zone district;
In December 2021, a height variance was granted to neighboring Unit 12 who presented a similar argument. Other homes on the ridge not burdened by the view plane are allowed a height of up to 45'.

e. Reasonable use of the property is not otherwise available without granting of a variance, and the variance being granted is the minimum necessary to allow for reasonable use;
The portion of the home that exceeds the view plane height could be removed to avoid a variance request, however the applicant's argument is that the development is not visible from the Telluride Valley side therefore meets the intent of the view plane restriction.

f. The lot for which the variance is being granted was not created in violation of Town regulations or Colorado State Statutes in effect at the time the lot was created;
Staff finds this criteria met

g. The variance is not solely based on economic hardship alone; and
Staff finds this criteria met

h. The proposed variance meets all applicable Town regulations and standards unless a variance is sought for such regulations or standards.
Staff finds this criteria met

Staff believes that criteria a, d and e should be discussed. Additionally, any observations from the story pole illumination should also be discussed. If DRB feels that the criteria for a variance is being met then a recommendation for approval of the Variance should be made to council. If DRB feels that the criteria are not being met then the DRB should recommend denial of the Variance.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: Most of the trees within the newly located Unit 6 will need to be removed for the building envelope and the creation of the driveway. Some trees to the north of the home will remain and provide some screening.

Steep Slopes: The building site does contain steep slopes and these areas have been identified as part of the topographic survey. This has been discussed above but due to the nature of the Unit – the steep slopes are impractical to avoid.

17.6.6: Roads and Driveway Standards

Staff: The typical road and driveway standards do not apply to the ridge given its unique location and access. Grades of the driveway and motor court area have been demonstrated and seem typical for Ridge Development. Staff has no concerns.

17.6.8: Solid Fuel Burning Device Regulations

Staff: It appears that the proposed home does include fireplaces but does not indicate on the plans that these are gas burning. Homes on the Ridge are not allowed to burn gas.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The applicant has not yet submitted a construction mitigation plan and it is not required until final review.

Staff Recommendation: There are two items before DRB today 1) Review and recommendation of a height variance and 2) An Initial Architecture and Site Review, therefore there are two actions items and two motions are necessary.

As it relates to the height variance, DRB should discuss both observations from the story pole illumination and the criteria for review. If staff feels that a height variance is appropriate staff suggests the following motion:

I move to recommend to Town Council a height variance to the Coonskin View Plane for Lot 161A-4 Unit 6 TBD Bridge Lane based on the evidence provided within the Staff Memo of record dated March 22, 2023, with the following conditions:

- 1) If a height variance is not approved by Town Council, the associated design approval is not valid as proposed and the applicant would necessarily go through additional design review with revised plans.
- 2) Owners shall indemnify, defend and hold harmless Town, its members, affiliates, officers, directors, partners, employees, and agents from and against all claims, damages, losses and expenses, including but not limited to reasonable attorney's fees, arising out of the approval of the variance granted hereunder.
- 3) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 4) If the design review expires, then the Variance will also expire.

As it relates to the Initial Architecture and Site Review, Staff recommends the DRB consider this request in relation to the CDC provisions listed above and particularly in Section 17.5.16: Ridgeline Lots to determine if the home is substantially complying with these provisions. If it's determined that the home does comply with these provisions, then staff recommends approval of the IASR, but if it's determined that these provisions are not being met then the item should be continued, and the applicant should revise the plans accordingly.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion for Approval:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architectural and Site Review for a new single-family detached condominium located at Lot 161A-4 Unit 6, based on the evidence provided within the Staff Memo of record dated March 22, 2023, with the following conditions:

- 1) Prior to submittal for Final Architectural Review, the applicant will provide additional information as to the proposed drainage swale and any potential impacts to Horseshoe Lane.
- 2) Prior to submittal for a Final Architectural Review, the applicant shall provide proof of a parking reservation agreement or indicate intent to pay the parking payment in lieu fee to the Town. If a reservation agreement has been executed, then the addendum to the reservation agreement needs to be executed prior to building permit.
- 3) Prior to the submittal for a Final Architectural Review, the applicant shall indicate the fuel source for all fireplaces.
- 4) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 5) Prior to the issuance of a building permit, the applicant shall obtain approval for the re-location of Unit 6 per a staff level condominium amendment.
- 6) This design review approval is dependent on approval of a height variance by the Town Council. If a height variance is not approved by Town Council, the design approval is not valid as proposed and the applicant would necessarily go through additional design review with revised plans.
- 7) Owners shall indemnify, defend and hold harmless Town, its members, affiliates, officers, directors, partners, employees, and agents from and against all claims, damages, losses and expenses, including but not limited to reasonable attorney's fees, arising out of the approval of the variance granted hereunder.
- 8) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 9) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.

- 10) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the common open-space.
- 11) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 12) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/aw

Merzi Residence

The Ridge at Telluride, Unit 6

Variance Process



February 15, 2023

Background

Carl and Patti Merzi (“Owners”) are the owners of Unit 6 The Ridge at Telluride (“Current Site”). The Owners desire to build a new single family residence at The Ridge. The Current Site is located in the Multi-family Zone District and is assigned one condo unit of density or three person equivalents, with detached single-family condos an allowed use.

The Current Site was platted in April of 2019 along with several other units at The Ridge under the 8th Supplemented and Amended Planned Community Plat of the Ridge as recorded at Reception Number 458069 and contains 8,140 sq. ft. of lot area. The Current Site is located at the eastern end of what is called “The Crack” as shown on the existing conditions survey. The Crack resulted from slope failure in the area that was repaired in 2006 with geotechnical engineered soil anchor system that is shown on the existing conditions survey. The Owners desire to relocate Unit 6 above The Crack to provide significantly improved views (“Proposed Site”). The Current Site and Proposed Site areas are shown in Figure 1. Both the Current Site and Proposed Site are located within Lot 161A-4 that has several condominium maps subdividing it into the various condo units and private Ridge Open Space (“ROS”).

The Unit 6 relocation to the Proposed Site has been approved by The Ridge at Telluride Homeowners Association (“Association”) since it is located on Association private ROS. Concurrent Staff Subdivision, Design Review Process, and Variance Process applications are submitted to relocate the Unit 6 boundary from the Current Site to the Proposed Site.

The size of the proposed Unit 6 does not exceed the current Unit 6 area of 8,140 sq. ft. and there is no loss of private open space with the proposed Unit 6 relocation. The Current Site is proposed to revert to private open space located on Tract ROS-9C when the Proposed Site is relocated within ROS-9C. Most of the private open space at The Ridge is located in the Multi-family Zone District so no rezoning is required for the proposed Unit 6 relocation.

The Ridge CDC Regulations

Mountain Village Community Development Code (“CDC”) Section 17.5.16(B) establishes the following regulations applicable to The Ridge Area that includes the Current Site, Proposed Site and ROS-9C:

The following requirements apply to the ridge area as defined in section A.1 above, with our comments on compliance shown in blue text:

1. All improvements are subject to a ridgeline covenant with San Miguel County as recorded at reception number 329093. The Town does not enforce the ridgeline covenant, with enforcement solely administered by San Miguel County. **The key requirements of the ridgeline covenant are incorporated into the CDC with Section 5 of the covenant establishing the following requirements:**

“View Plane Limitations for Development on Lots 161A, 161A-1, 161B, and 161D. Development on Lots 161A, 161A-1, 161B and 161 D (or, subsequent to the Replat, Lots 161A-1 R, 161A-2, 161A-3, 161A-4, 1610-1 and 1610-2), excluding the Ridge Club Building, shall be located such that, under no circumstances, shall any lighting or any part of any structure extend into the view plane (the “View Plane”) shown on the Coonskin View Plane drawing prepared by Jacobsen Associates and dated July 21, 1999, as recorded in the office of the San Miguel County, Colorado, Clerk and Recorder in Plat Book 1 at Page 2601 [Reception Number 328113 also known as the “Coonskin View Plane” that is submitted with the application materials].

2. The building height on Lot 161A-1R shall not exceed 35 feet (35’) along the ridgeline of such building. **This criterion is not applicable to the Proposed Site since it is located on Lot 161A-4.**



Figure 1. Current Site & Proposed Site

3. Building height on other ridge area lots shall not exceed the lesser of:
 - a. The height of forty-five feet (45’); or
 - b. The maximum height allowed to the view plane limitation set forth in section 4 below. **The proposed building height of 45 feet above pre-construction grade (existing grade) as allowed by The Ridge Development Agreement. Most of the proposed house complies with the view plane limitation as discussed below.**
4. Except for the existing building on Lot 161A-1R and gondola facilities, the development of ridgeline area lots shall be designed to ensure that no lighting or any part of any building or structure extends into the view plane as shown on the Coonskin View Plane drawing recorded at reception number 328113. **The only part of the building that extends into the View Plane is the western module above the garage as shown in cross-section view in Figure 2 and on the Design Review Process Plan Set, Sheet A1-0.5c. The Owners are seeking a variance pursuant to CDC Section 17.4.6 to CDC Section 17.5.16(B)(4) and the Coonskin View Plane as discussed below. The only area of the home that projects into the Coonskin View Plane is the office/exercise room located over the garage as shown in Figure 2. The rest of the home is located below the view planes established in the Coonskin View Plane drawing.**
5. New development in the ridgeline area, excluding the existing building on Lot 161A-1R and gondola facilities, shall require (a) the erection of a story pole to reflect the maximum height of the proposed development where such development will extend closest to the view plane as described in section 4 above; and (b) the installation of a light to illuminate the story pole where off-site light would be visible from the highest window. The applicant for development shall provide written notice of the story pole erection to San Miguel County and the Town of Telluride. **Story poles for the highest western module have been erected on site and lighting will be installed in the general location of the highest window in coordination with the Town, San Miguel County and the Town of Telluride.**
6. To the extent practical, no exterior lights shall be installed on the east side of buildings. Any required exterior lighting shall be shielded, recessed, or reflected so that no lighting is oriented towards the east side of the building. **Site lighting will be evaluated with the concurrent Design Review Process application.**

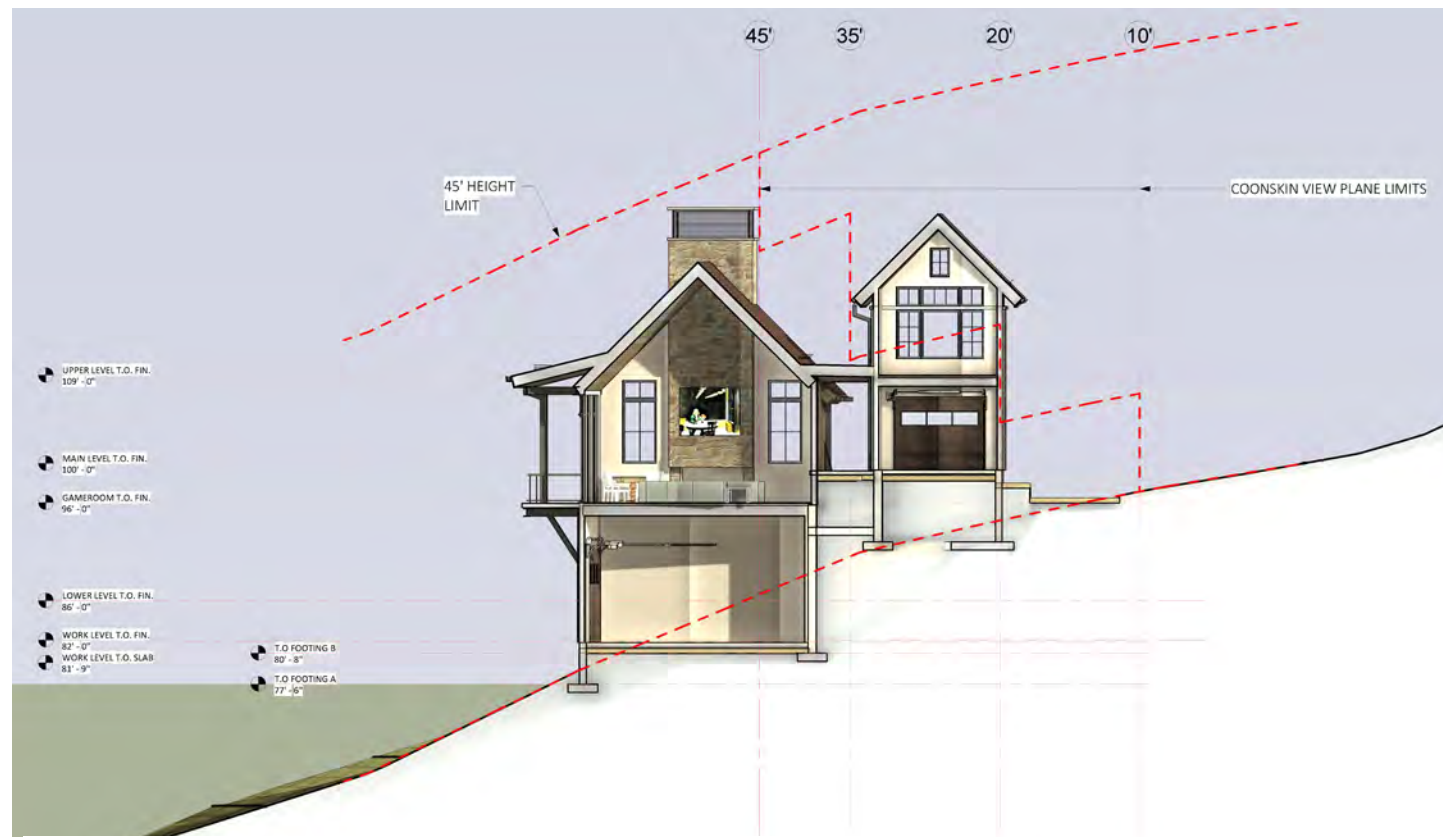


Figure 2. Coonskin View Plan Cross-Section

Variance Criteria

CDC Section 17.4.16(D)(1) establishes the following criteria for decision, with our comments on compliance shown in blue text:

- a. The strict development application of the CDC regulations would result in exceptional and undue hardship upon the property owner in the development of property lot because of special circumstances applicable to the lot such as size, shape, topography or other extraordinary or exceptional physical conditions. The Owners retained San Juan Surveying to conduct a view plane analysis from five (5) points in the potentially most visually impacted area of Hillside and Eider Creek as shown in Exhibit B. The view angle analysis submitted by San Juan Surveying shows that the western chimney, which is the highest elevation of the western module and the same height as the garage gable ridge, is below the view plane from the five (5) selected locations. The garage gable ridge has a proposed USGS elevation of 10516.83 and is clearly the highest gable of the home in the Proposed Site. The Proposed Site is also located on the west side of The Ridge Area and away from Telluride with intervening topographic high points leading up to the geographic ridge with USGS elevations of 10520 and 10560 located to the north of The Ridge Club Building providing a topographic barrier to any visibility from Telluride.

The Coonskin View Plane includes the surveyor certificate shown in Figure 3. The surveyor clearly acknowledges in this certificate that the view plane height limits are approximate. In addition, the applicant for The Ridge Unit 12 variance, John Horn, reached out to the surveying firm that created the Coonskin View Plane and states in the narrative:

“2.5 On December 8, 2020, in a telephone conversation with Randall Hency, the surveyor who prepared and signed the Jacobsen View Plane Survey, he informed me of the following:

I do hereby certify that this Coonskin View Plane was verified by me on the 22nd day of July, 1999 in accordance with the requirements of Recital F, Item 4, First Amended Development Covenant for Lots 161A, 161A1, 161B, 161D and Adjacent Active Open Space, Town of Mountain Village, Colorado, more particularly described as shown on the accompanying map, and that to the best of my knowledge and belief; this map of the Coonskin View Plane approximately shows the correct locations of the height restriction lines. To ensure that the required view plane criteria is met and before any construction can begin, a field verification survey is required once the proposed building sites have been determined.

Randall D. Hency 7-22-99
 Randall D. Hency Date
 Colorado Professional Surveyor
 PLS #27605

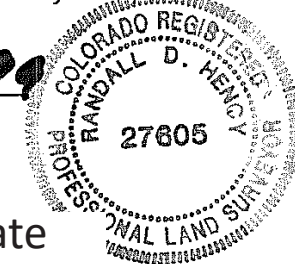


Figure 3. Coonskin View Plane Certificate

- 2.5.1 The survey was based solely on third-party topographic surveys, likely USGS quad mapping that could be off by as much as 10 to 20 feet.
- 2.5.2 No actual field work or verification was done using any type of survey equipment.
- 2.5.3 Because the survey was based solely on third-party topographic surveys, Mr. Hency and the other surveying professionals involved in the preparation of the Jacobsen View Plane Survey discussed and acknowledged that the Jacobsen View Plane Survey would not be accurate and would only be approximate.
- 2.5.4 Because Mr. Hency recognized that the techniques and resources used to produce the Jacobsen View Plane Survey would not produce completely accurate results, he included the following qualification on page 1 of the Jacobsen View Plane Survey” as shown in Figure 3.

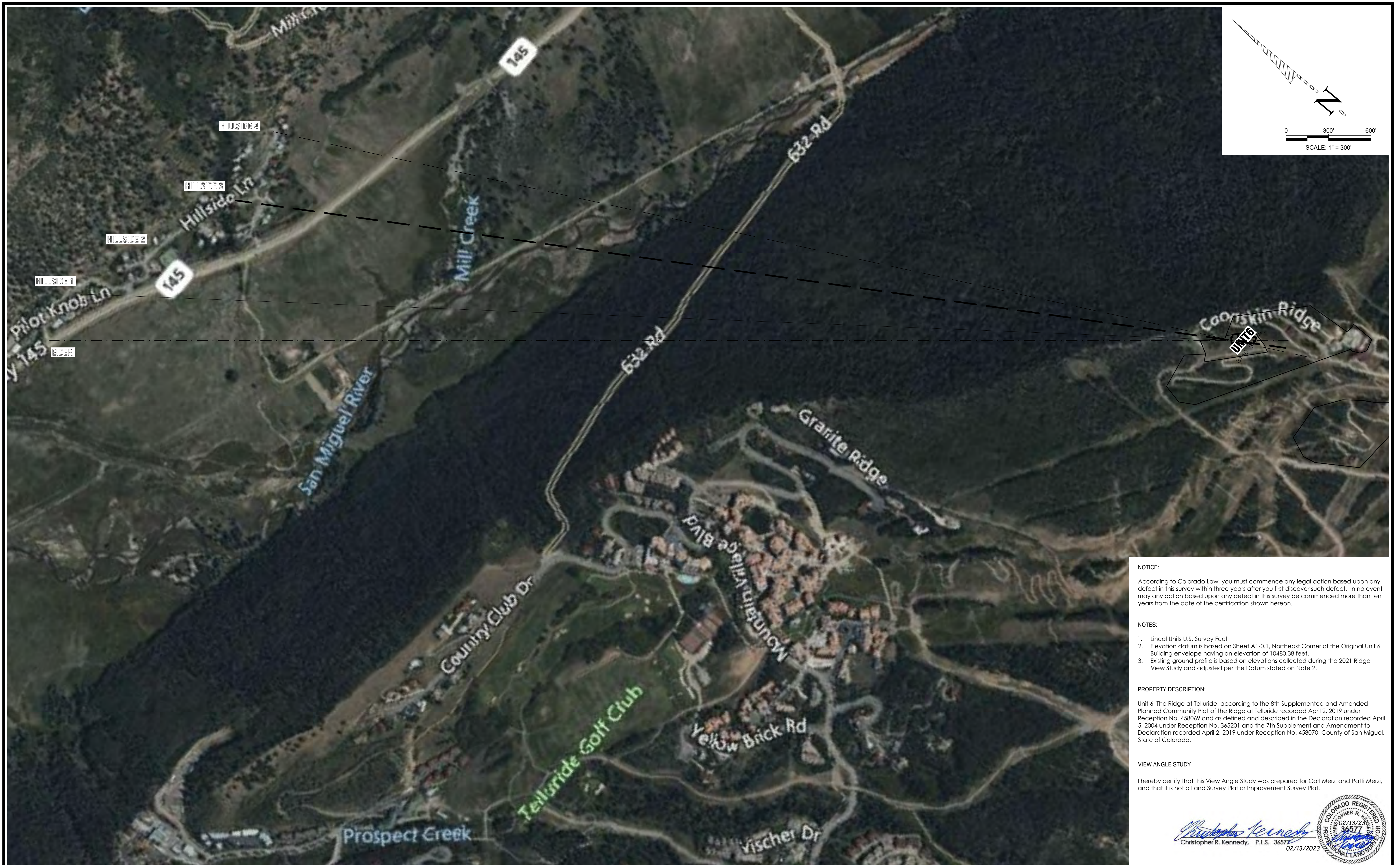
The strict application of the approximate Coonskin View Plane that could be off by as much as 10 to 20 feet would result in exceptional and undue hardship on the Owners in their reasonable request to relocate Unit 6 within Lot 161A-4 as allowed by the underlying zoning and the applicable legal instruments. The Proposed Site is not visible from Eider Creek, Hillside or the Town of Telluride which conforms to the CDC Ridgeline Regulations, the associated ridgeline covenant with San Miguel County and The Ridge Development Agreement. Story poles are erected and lights will be placed in the approximate location of the windows for Telluride, Mountain Village and San Miguel County staff to view and ensure no visual impacts will occur to the valley. The identified inaccuracies in the Coonskin View Plane constitute a special circumstance applicable to the Proposed Site and cause an exceptional and undue hardship on the Owners for relocating Unit 6 as allowed by the underlying zoning and the applicable legal instruments. The view plane study prepared by San Juan Surveying combined with the story poles and lighting observed by the town and county staffs will ensure that the proposed structure will not be visible from the required view points, including Hillside, Eider Creek and the Town of Telluride.

- b. The variance can be granted without substantial detriment to the public health, safety and welfare. The variance to CDC Section 17.5.16(B)(4) and the Coonskin View Plane can be granted without substantial detriment to the public health, safety and welfare because the view plane survey from San Juan Surveying shows the home on the Proposed Site will not be visible from Hillside or Eider Creek. The topographic high points leading up to the geographic ridge with USGS elevations of 10520 and 10560 located to the north of The Ridge Club Building provide a topographic barrier to any visibility from Telluride. The story poles and required lighting per CDC Section 17.5.16(B)(5) will further ensure the home is not visible from Telluride or other areas in the valley.
- c. The variance can be granted without substantial impairment of the intent of the CDC because the health, safety and welfare of residents and visitors will be protected with the structure not visible from Hillside, Eider Creek or Telluride; the Comprehensive Plan envisions Lot 161A-4 developed with multi-family housing

and no environmental resources are impacted; the Ridgeline Regulations and associated legal instruments are designed to minimize visual impacts of Ridge development as viewed from Telluride, Hillside and Eider Creek that will emphasize the natural beauty of the Town's surroundings; the development of the Proposed Site will enhance Unit 6 and is compatible with the natural beauty of the Town's setting and natural resources; no development is located above the geographic ridge to the southeast of the Proposed Site with USGS elevations of 10520 and 10560 located to the north of The Ridge Club Building; the variance allows for good civic design and development as envisioned in the Comprehensive Plan; and the variance complies with the Ridgeline Regulations and their intent to ensure new development is not visible from Hillside, Eider Creek and Telluride.

- d. Granting the variance does not constitute a grant of special privilege in excess of that enjoyed by other property owners in the same zoning district, such as without limitation, allowing for a larger home size or building height than those found in the same zone district. The Ridge has been platted in various phases over time with condominium unit boundaries and locations commonly changed after platting. All owners of undeveloped units have the right to propose relocating or reconfiguring their unit boundaries, with an understanding that such changes have to meet the CDC Ridgeline Regulations, the applicable legal instruments, and not be visible from Telluride, Hillside or Eider Creek. The Town has approved at least one similar prior variance due to the inherent approximate heights established in the Coonskin View Plane, with anywhere from 10 to 20 feet of inaccuracy as identified by the firm that completed the view plane analysis. Every owner in The Ridge should have the right to request a variance to the Coonskin View Plane based on the identified range of accuracy, with an understanding that both survey analysis, story poles and lighting will ensure development at The Ridge is not visible to the required areas.
- e. Reasonable use of the property is not otherwise available without granting of a variance, and the variance being granted is the minimum necessary to allow for reasonable use. The application of the inaccurate Coonskin View Plane when there is a 10 to 20-foot range of accuracy would deny the Owners with reasonable use of the Proposed Site. The San Juan Surveying view plane analysis combined with the topographic rise to the southeast of the proposed site and the required story poles and lighting will ensure the proposed home is not visible. The strict application of the inaccurate Coonskin View Plane does not allow for reasonable use of the Proposed site since it will meet the other key requirements of the Ridgeline Regulations, including not being visible from Telluride, Hillside or Eider Creek.
- f. The lot for which the variance is being granted was not created in violation of Town regulations or Colorado State Statutes in effect at the time the lot was created. The Existing Site and Proposed Site are not in violation of Town regulations or State Statutes, and the variance complies with The Ridge Development Agreement, the ridgeline covenant, and other applicable legal instruments.
- g. The variance is not solely based on economic hardship alone. The variance is not based on economic hardship alone. The variance is being sought to correct the inaccurate height limits set forth in the Coonskin View Plane that could be off 10 to 20 feet, with the development of the Site conforming to the key requirements of CDC Section 17.5.16(B) and applicable legal instruments.
- h. The proposed variance meets all applicable Town regulations and standards unless a variance is sought for such regulations or standards. The variance meets all other applicable Town regulations and standards, including but not limited to the Design Regulations, Subdivision Regulations, and Ridgeline Regulations except for the inaccurate Coonskin View Plane. CDC Section 17.5.16(B)(4) is clearly intended to ensure that views from the valley are protected and that new development at The Ridge is not visible from Telluride, Hillside and Eider Creek as provided for in the detailed legal documents. We believe that the requested variance allows for the Owners to propose a reasonable relocation of Unit 6 while also ensuring it is not visible from the key locations.





NOTICE:
 According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

NOTES:

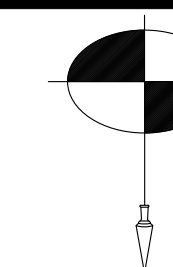
1. Lineal Units U.S. Survey Feet
2. Elevation datum is based on Sheet A1-0.1, Northeast Corner of the Original Unit 6 Building envelope having an elevation of 10480.38 feet.
3. Existing ground profile is based on elevations collected during the 2021 Ridge View Study and adjusted per the Datum stated on Note 2.

PROPERTY DESCRIPTION:
 Unit 6, The Ridge at Telluride, according to the 8th Supplemented and Amended Planned Community Plat of the Ridge at Telluride recorded April 2, 2019 under Reception No. 458069 and as defined and described in the Declaration recorded April 5, 2004 under Reception No. 365201 and the 7th Supplement and Amendment to Declaration recorded April 2, 2019 under Reception No. 458070, County of San Miguel, State of Colorado.

VIEW ANGLE STUDY
 I hereby certify that this View Angle Study was prepared for Carl Merzi and Patti Merzi, and that it is not a Land Survey Plat or Improvement Survey Plat.

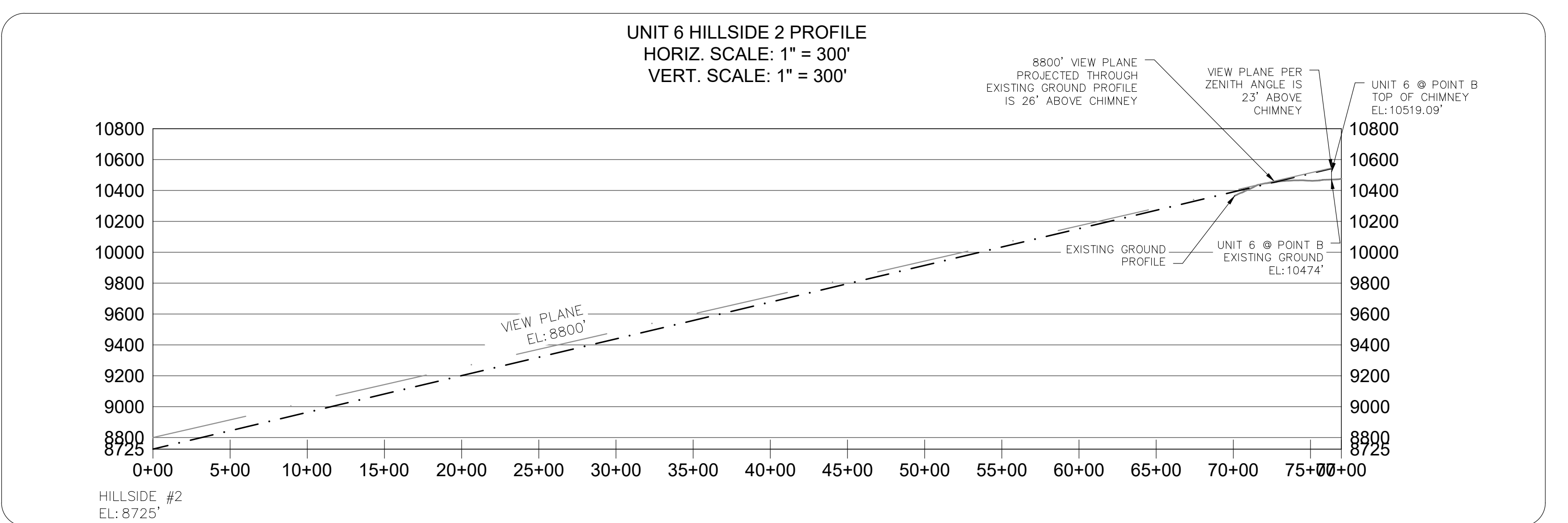
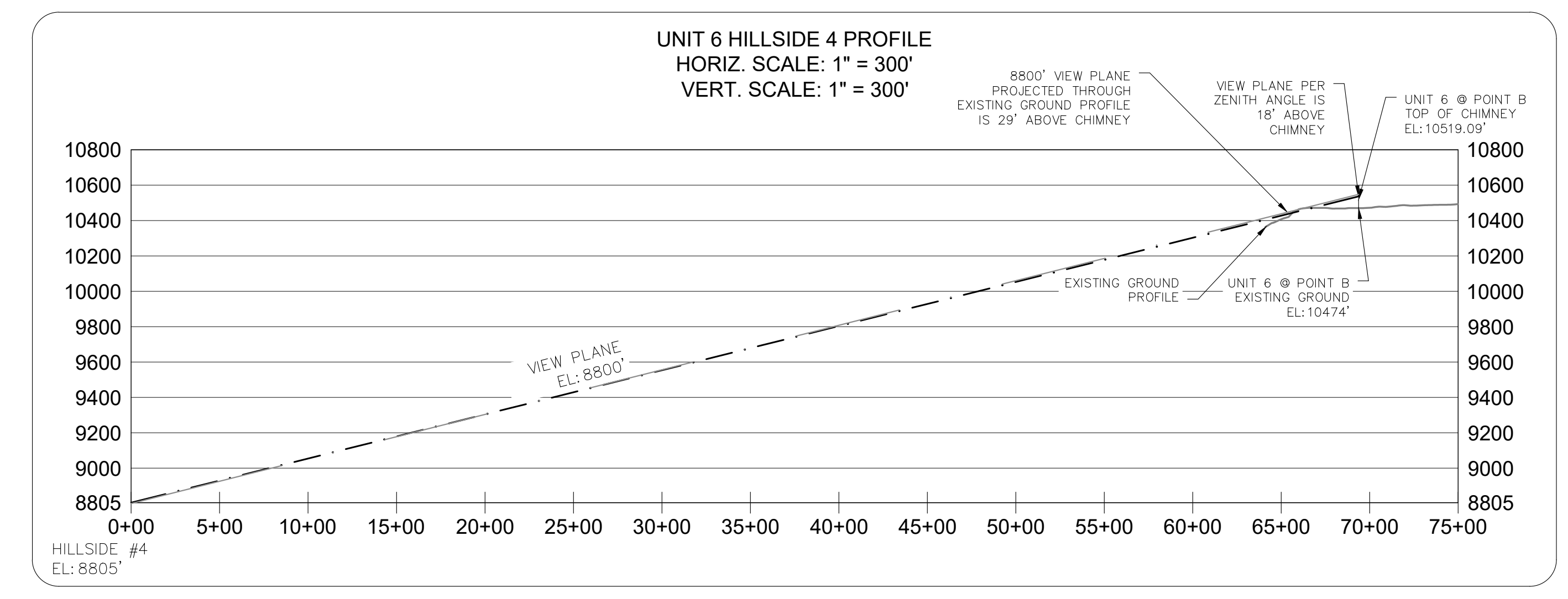
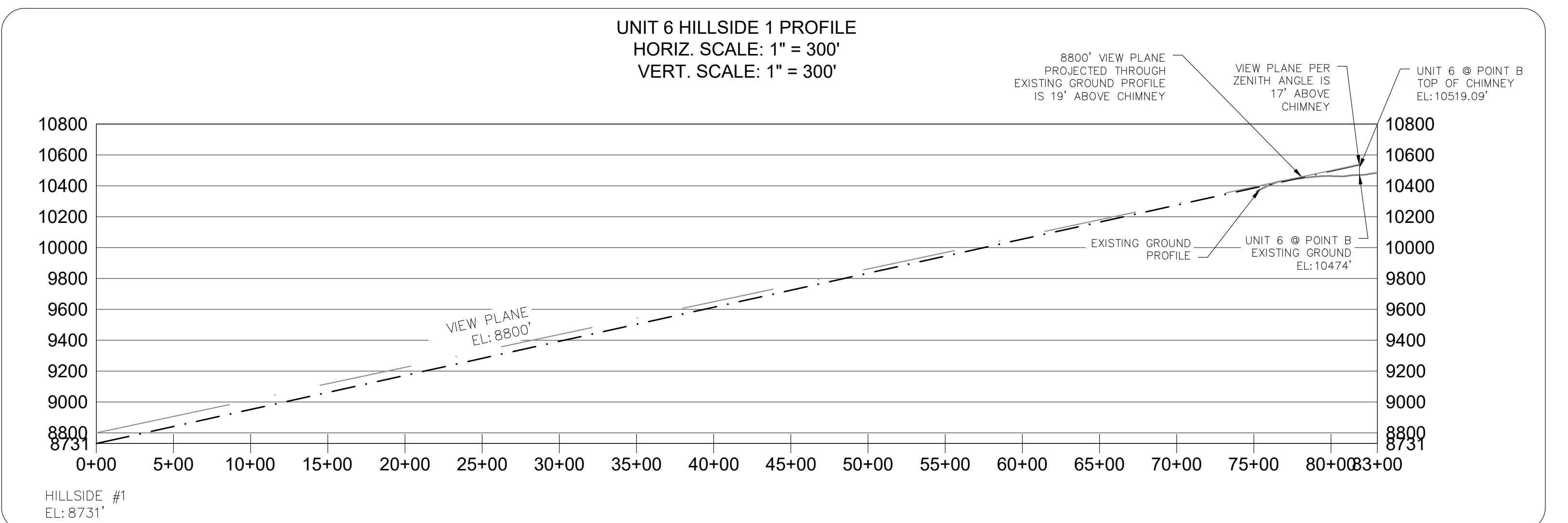
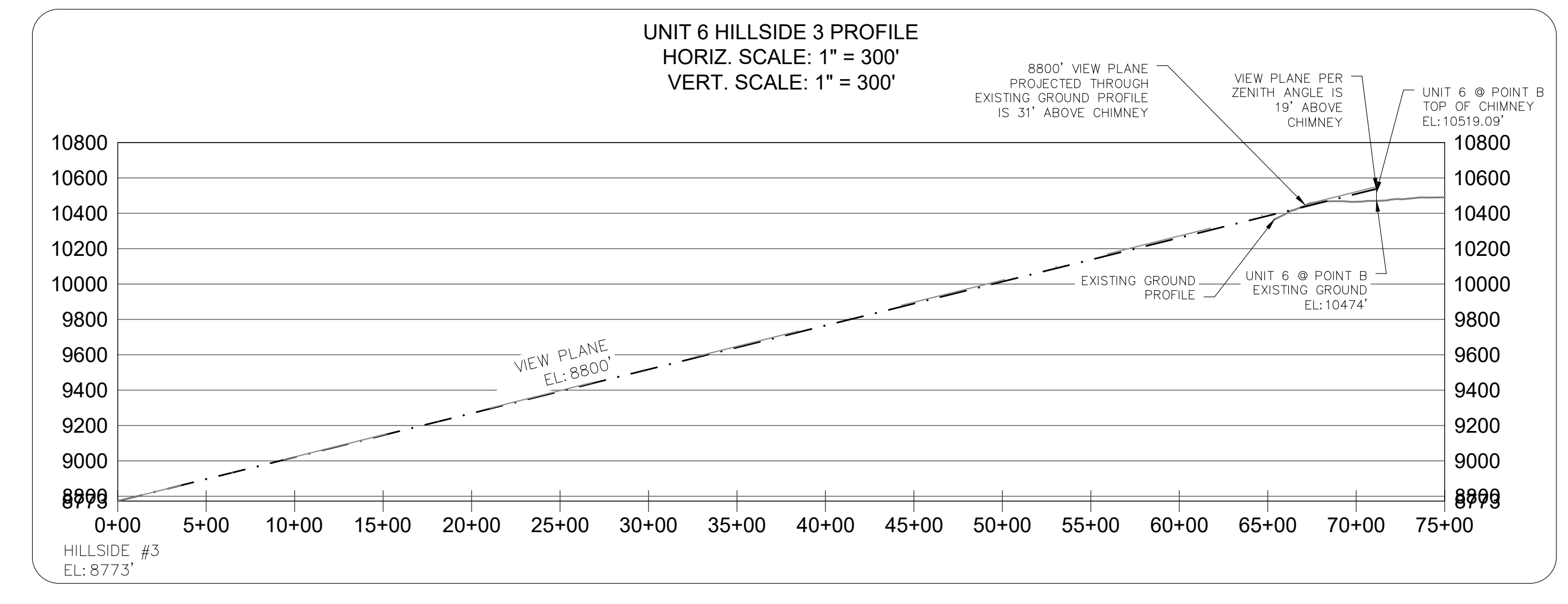
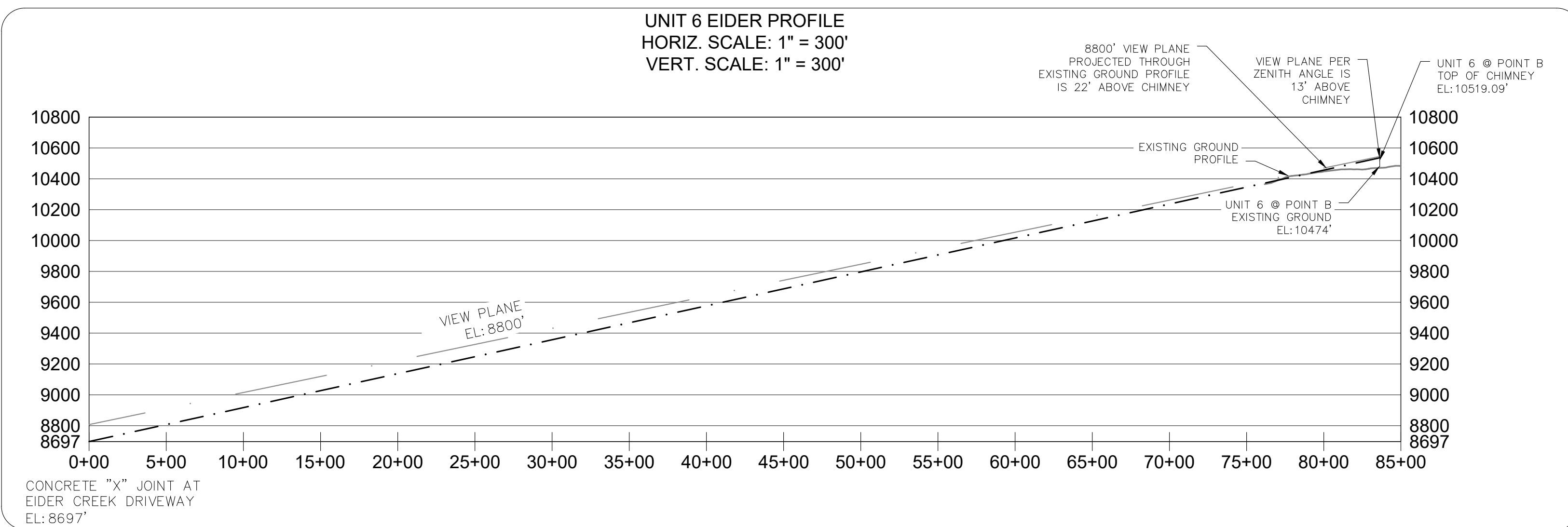
Christopher R. Kennedy
 Christopher R. Kennedy, P.L.S. 36577
 02/13/2023

VIEW ANGLE STUDY
UNIT 6, THE RIDGE AT TELLURIDE



SAN JUAN SURVEYING
 SURVEYING * PLANNING
 102 SOCIETY DRIVE TELLURIDE, CO. 81435
 (970) 728 - 1128 (970) 728 - 9201 fax
 office@sanjuansurveying.net

DATE:
JOB:	04068
DRAWN BY:	CRK
CHECKED BY:	CRK
REVISION DATES:	
SHEET:	1 OF 1



NOTICE:
 According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown herein.

- NOTES:**
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 2. Elevation datum is based on Sheet A1-0.1, Northeast Corner of the Original Unit 6 Building envelope having an elevation of 10480.38 feet.
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VIEW ANGLE STUDY
 I hereby certify that this View Angle Study was prepared for Carl Merzi and Patti Merzi, and that it is not a Land Survey Plat or Improvement Survey Plat.

Christopher R. Kennedy
 Christopher R. Kennedy, P.L.S. 36577
 02/13/2023

VIEW ANGLE STUDY
UNIT 6, THE RIDGE AT TELLURIDE

SAN JUAN SURVEYING
 SURVEYING * PLANNING
 102 SOCIETY DRIVE TELLURIDE, CO. 81435
 (970) 728 - 1128 (970) 728 - 9201 fax
 office@sanjuansurveying.net

DATE:	02/13/2023
JOB:	04068
DRAWN BY:	CRK
CHECKED BY:	CRK
REVISION DATES:	
SHEET:	1 OF 1

328113
PLAT
TOWN OF MOUNTAIN VILLAGE
TO
COONSKIN VIEW PLANE

STATE OF COLORADO
COUNTY OF SAN MIGUEL
FILED FOR RECORD AT 1:59 P.M. JULY 26, 1999
AND DAY RECORDED IN
BOOK PL-1 PAGE 2601-2602
BY GAY CAPPS
REBECCA HOLCOMB

SW 1/4
NW 1/4
Section 2

NW 1/4
SW 1/4
Section 2

NE 1/4
SW 1/4
Section 2

U.S.F.S. Boundary

Tract OS161-R3
1.275 Acres

Lot 161A-4
7.469 Acres

SE 1/4
NW 1/4
Section 2

Lot 161A-2
1.432 Acres

Lot 161A-3
0.873 Acres

Tract OSP-49R

Lot 161A-1R
0.441 Acres

Tract OS161-R1
0.221 Acres

Lot 161D-2
0.988 Acres

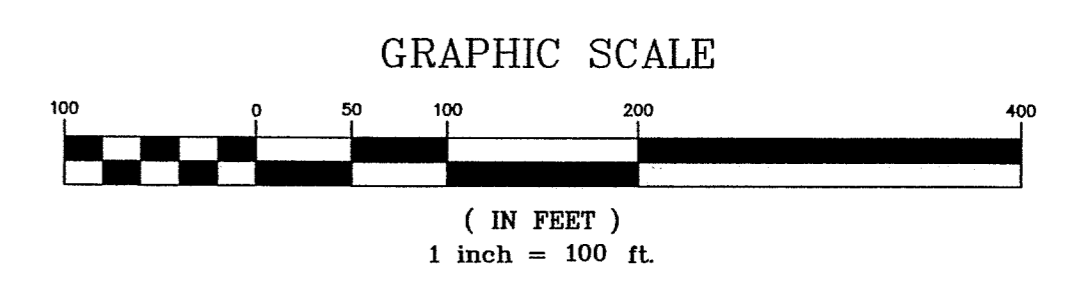
Tract OS161-R2
0.457 Acres

Lot 161D-1
6.264 Acres

Centerline Gondola Easement
(Book 485 Page 1007)
GONDOLA

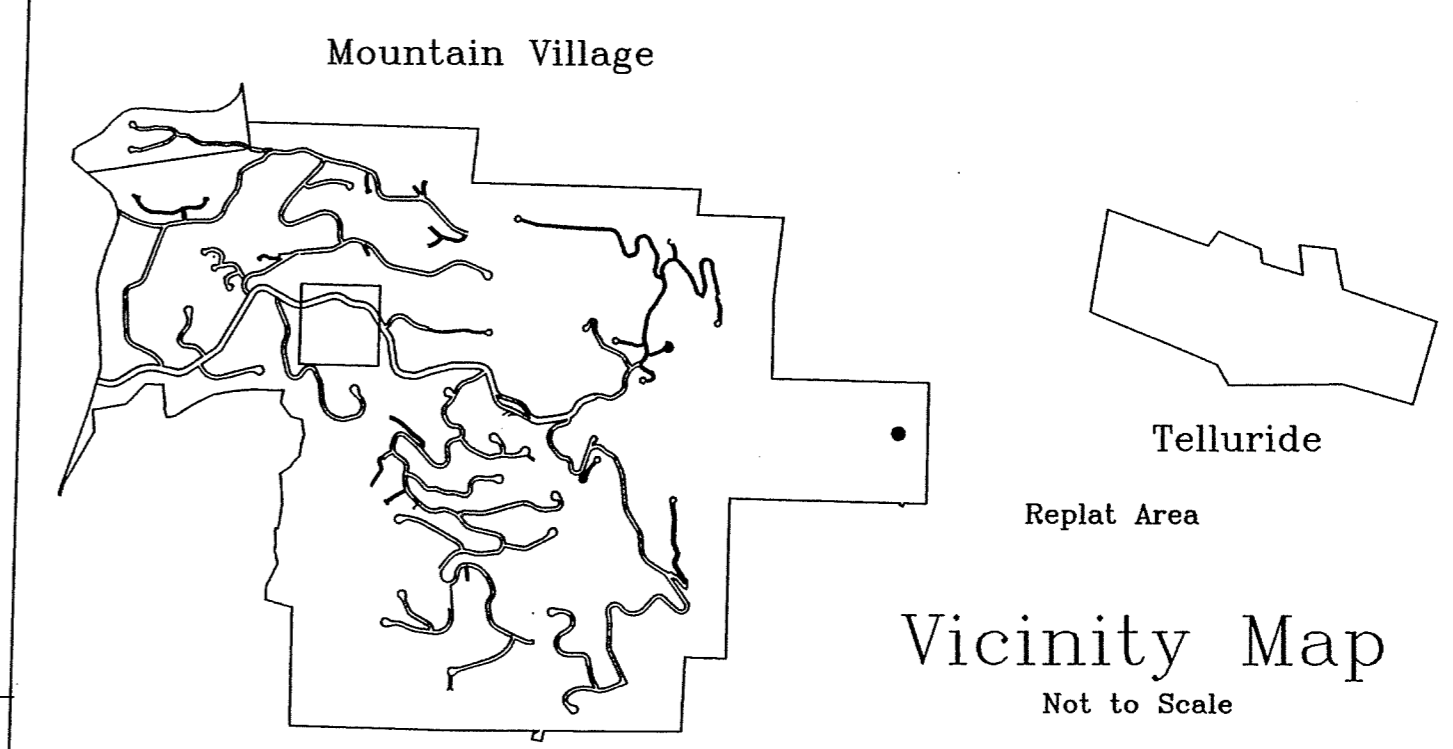
SKI RUN

- Golding View Plane
- Pandora View Plane
- Tomboy View Plane
- Coronet Creek View Plane



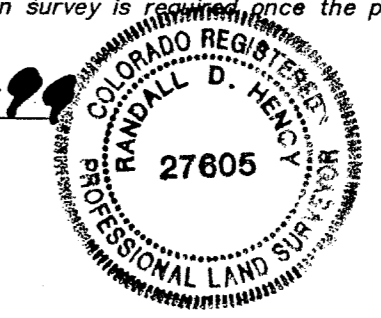
Legend:

- New Lot line
- Vacated Lot lines
- Found No. 5 Rebar with 1 1/2" Aluminum Cap marked 27605
- Found No. 5 Rebar with 1 1/2" Aluminum Cap marked Banner Inc., 20632
- Set No. 5 Rebar with 1 1/2" Aluminum Cap marked Alan Jacobsen, 28652



I do hereby certify that this Coonskin View Plane was verified by me on the 22nd day of July, 1999 in accordance with the requirements of Section 5, Item 4, First Amended Development Covenant for Lots 161A, 161A-1, 161B, 161D and Adjacent Active Open Space, Town of Mountain Village, Colorado, more particularly described as shown on the accompanying map, and that to the best of my knowledge and belief, this map of the Coonskin View Plane approximately shows the correct locations of the height restriction lines. To ensure that the required view plane criteria is met and before any construction can begin, a field verification survey is required once the proposed building sites have been determined.

Randall D. Hency 7-22-99
Randall D. Hency Date
Colorado Professional Surveyor
PLS #27605



Recorders Certificate
This View Plane was filed for record in the office at the County Clerk and Recorder of San Miguel County on the 26th day of July, 1999, A.D. 1999.
Book No: PL-1
Page No: 2601-2602
Reception: 1:59 PM
Time: 7/26/99
County Clerk: *Gay Capps*

PAGE 2601

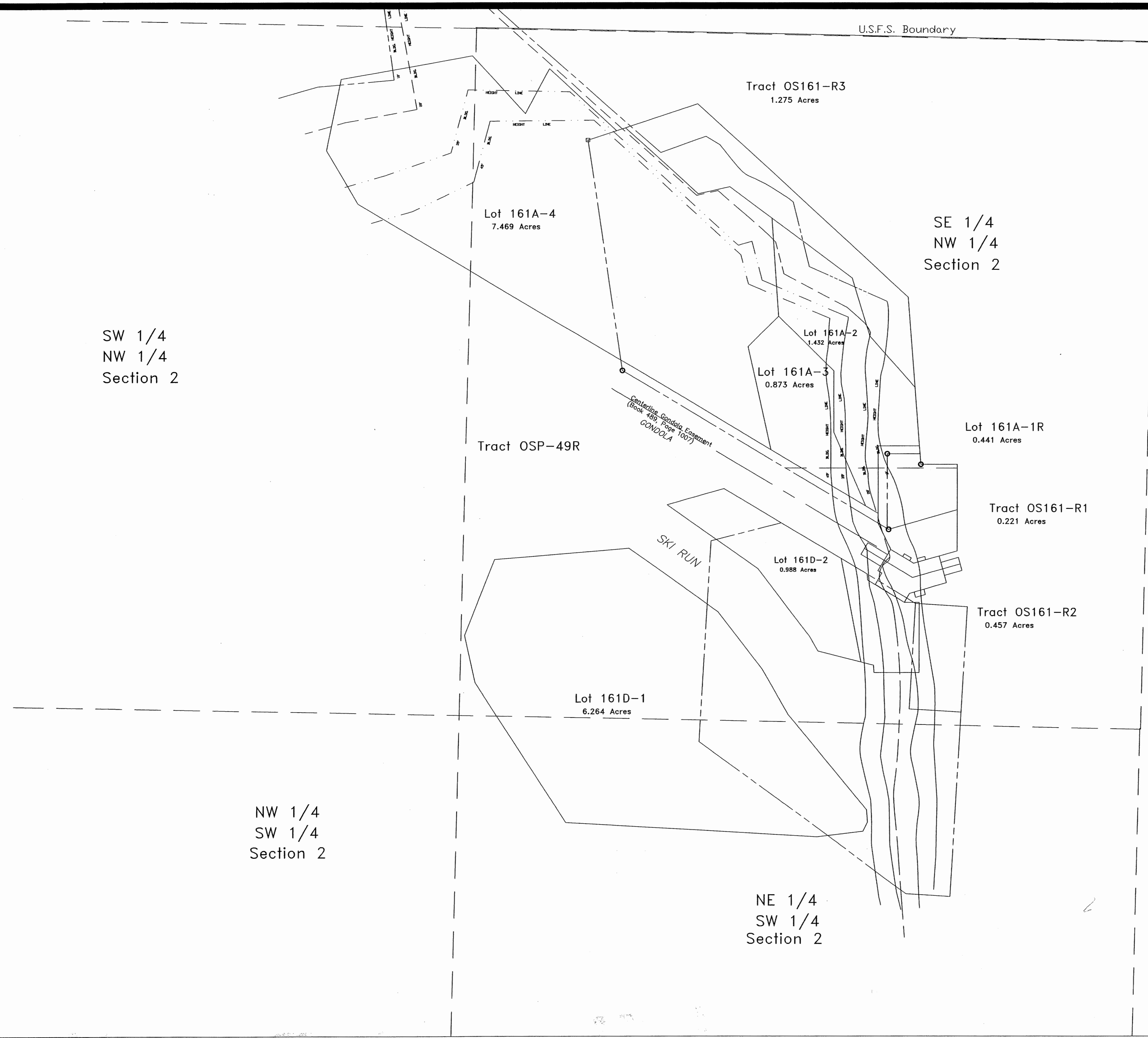
COONSKIN VIEW PLANE

Prepared by:
Kari Distefano
Verified By:
PROFESSIONAL CONSULTANTS INC.

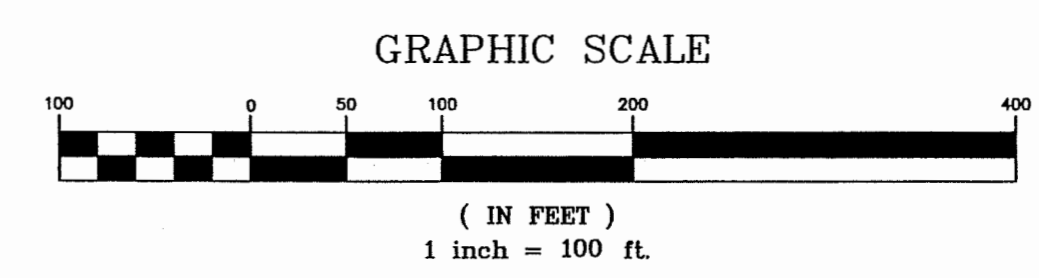
For:
John J. Horn
For:
Town of Mountain Village

date	7-21-1999
job number	vplane2.dwg
drawn by	KLD
checked by	RDH
sheet number	1 of 2 CM-4

1/2
0m-1

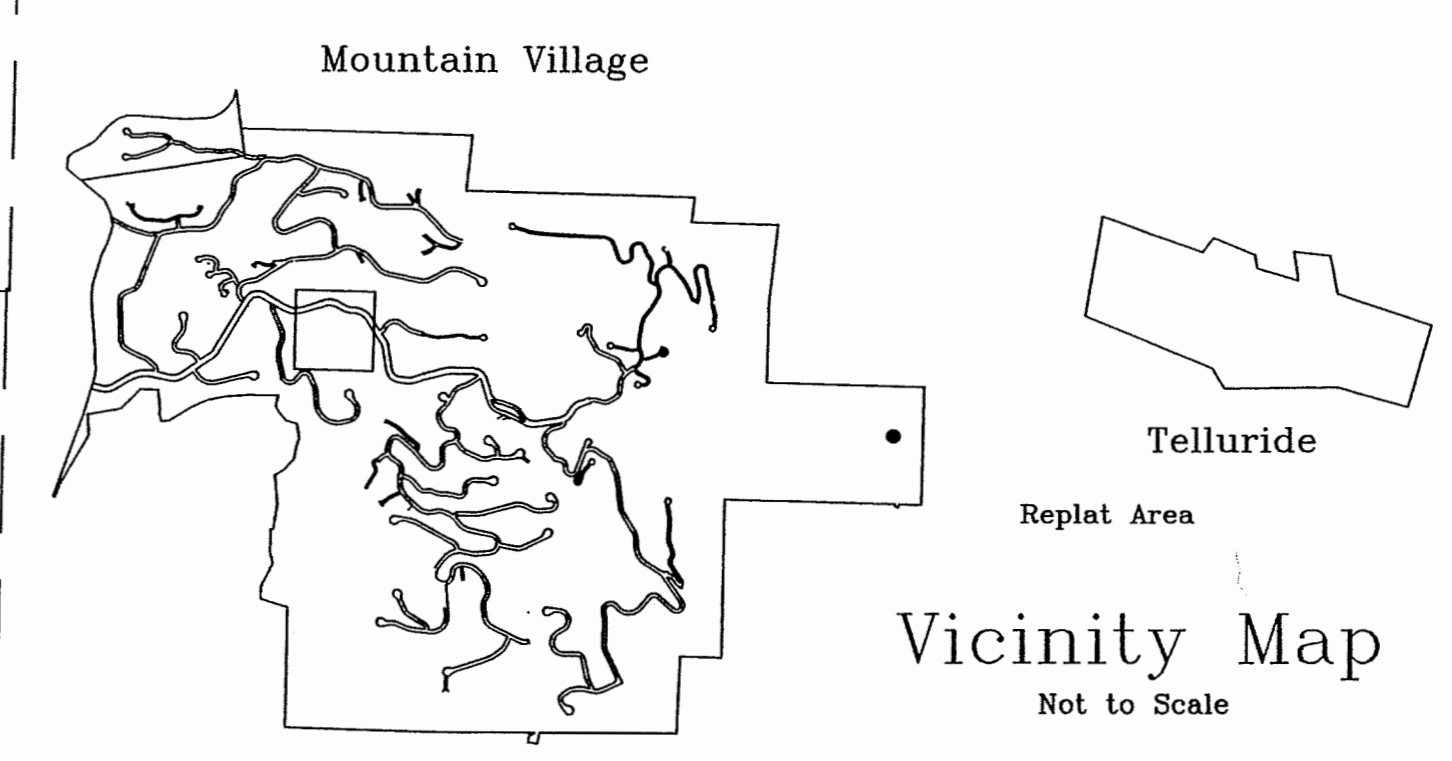


- 10' Building
- 25' Building
- 35' Building
- 45' Building



Legend:

- New Lot line
- Vacated Lot lines
- Found No. 5 Rebar with 1 1/2" Aluminum Cap marked 27605
- Found No. 5 Rebar with 1 1/2" Aluminum Cap marked Banner Inc., 20632
- Set No. 5 Rebar with 1 1/2" Aluminum Cap marked Alan Jacobsen, 28652



PAGE 2602

COONSKIN VIEW PLANE

Prepared by:
Kari Distefano

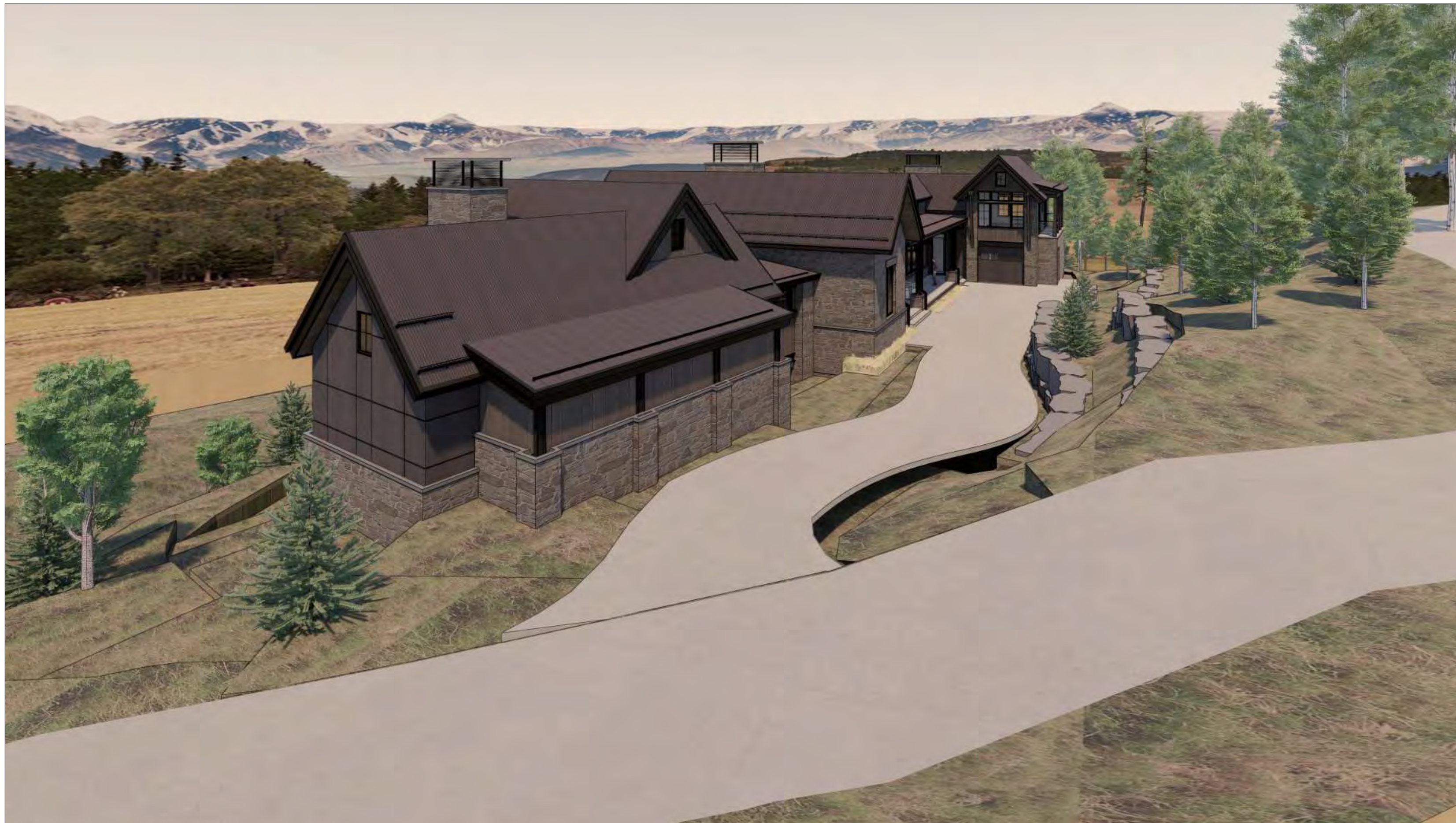
Verified By:
PROFESSIONAL CONSULTANTS INC.

For:
John J. Horn

For:
Town of Mountain Village

date	7-21-1999
job number	vplane3.dwg
drawn by	KLD
checked by	RDH
sheet number	2 of 2 CM-4

KLD-2
CML-4



NOTE:
RENDERINGS MAY DIFFER FROM CONSTRUCTION PLANS.
CONSTRUCTION PLANS ARE DEEMED TO BE ACCURATE.



CENTRE SKY
ARCHITECTURE LTD

MATERIAL SPECIFICATIONS

EXTERIOR MATERIALS LEGEND

NOTE:
REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS.

- METAL ROOFING**
STANDING SEAM, 2" MECH. RIB W/ STRIATIONS & MASTIC, 36" RIB SPACING
COLOR: DARK BRONZE
MFR: BRIDGER STEEL
- BALLAST ROOFING**
EPDM ROOF W/RANDOM 3" TO 3" RIVER ROCK BALLAST, COLOR: DARK BRONZE
THICKNESS: 60 MIL, THING BOND ATTACHMENT SYSTEM
- VERTICAL WOOD SIDING**
2x6 W/ VERTICAL SHIP LAP
COLOR: GRAY
MFR: TBD
- STONE MASONRY VENEER**
NATURAL RECT ANGULAR CUT, 1 1/2" THICK
QUARRY WORKS: FRONTIER
LAYOUT: RE: 4 / AS-1.2
- STEEL SIDING**
PATINATED STEEL SIDING PANELS, 1/8" W/ EXPOSED FASTENERS, SEE ELEVATIONS FOR SEAM SPACING
PATINA: VARIED BROWN
MFR: TBD
RE: 7 / AS-1.2
- BOARD FORMED CONCRETE**

CEILING MATERIALS LEGEND

NOTE:
REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIALS AND INSTALLATION REQUIREMENTS

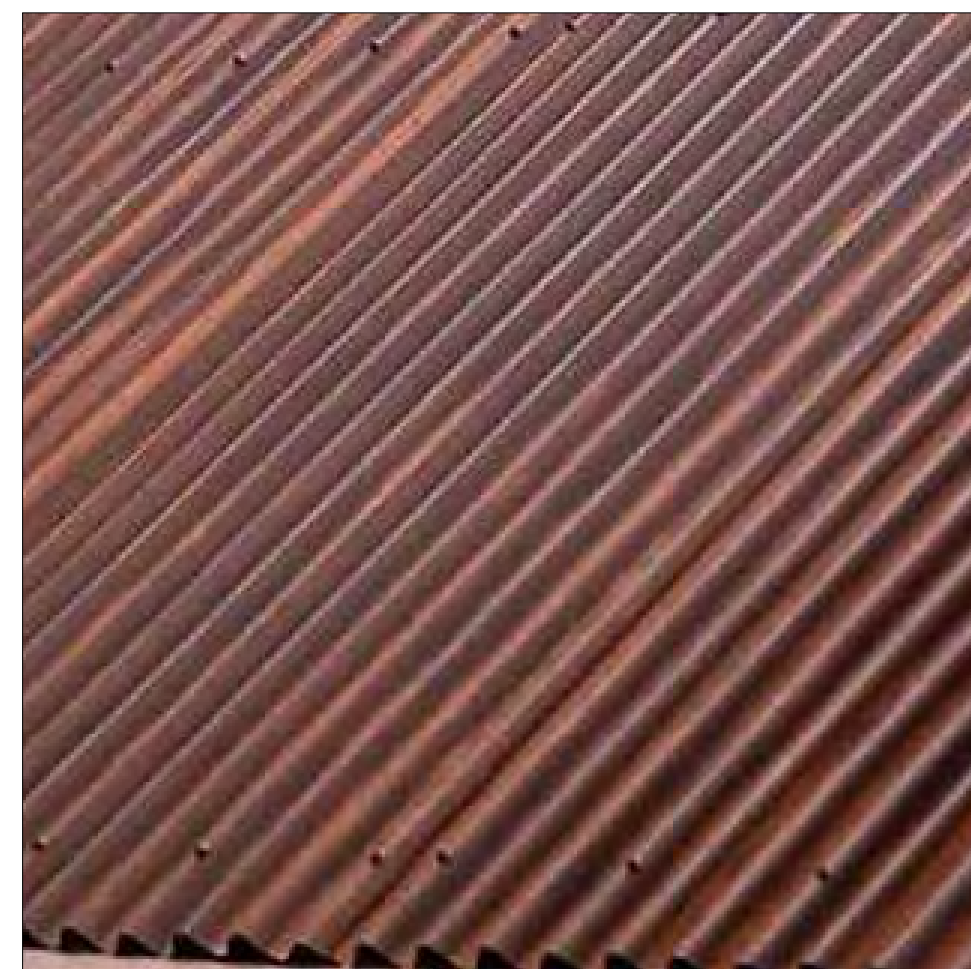
- CEILING FINISH - PAINT**
5/8" QWB TYPE 'X' WITH PAINTED FINISH
REFERENCE: INTERIOR FINISH SPECIFICATIONS FOR COLOR, (TYP.)
- SOFFIT FINISH - WOOD**
1x8 WIRE BRUSHED SPRUCE T & G
STAIN: L3-41
MFR: VINTAGE
RE:
- CEILING FINISH - TILE**
COORDINATE TYPE AND LAYOUT WITH ID, (TYP.)
- CEILING FINISH - CELOTEX TILE**
24" X 24"
RE: MFR FOR SPECIFICATIONS

*** CLIENTS PREFER TO STAY MODERN, LIKES STEEL STRUCTURE OVER WOOD

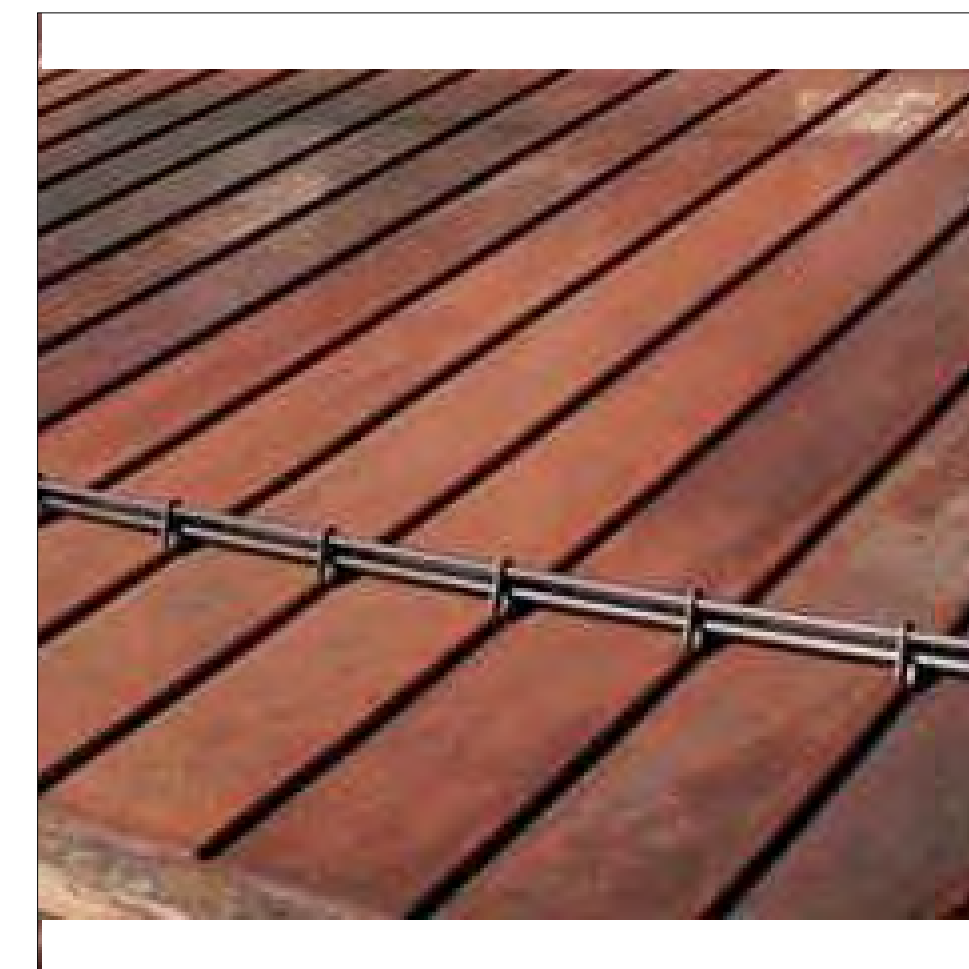
ALL SAMPLES TO BE SUBMITTED TO ARCHITECT

NOTE: AFTER S4 METAL SIDING SAMPLE IS SUBMITTED AND APPROVED, RECONFIRM METAL ROOF, FLASHING, GUTTER AND D.S. FINISH W/ ARCH.

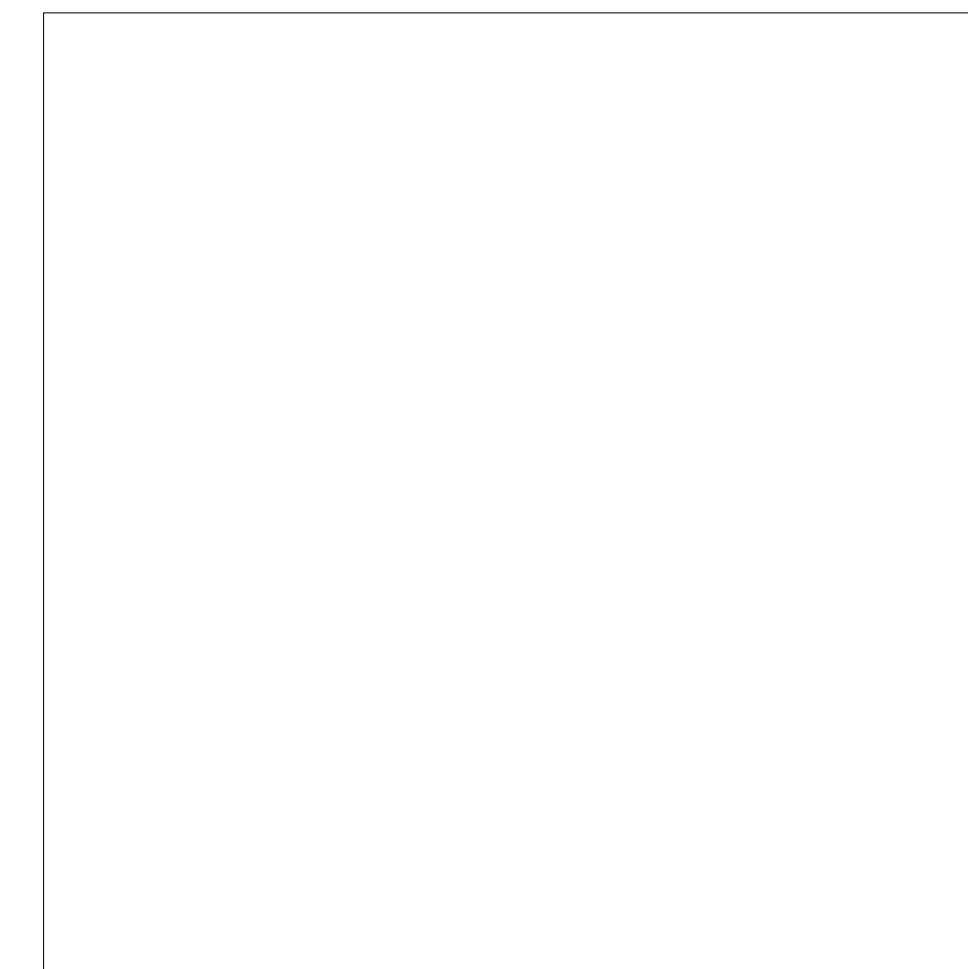
MATERIAL BOARD



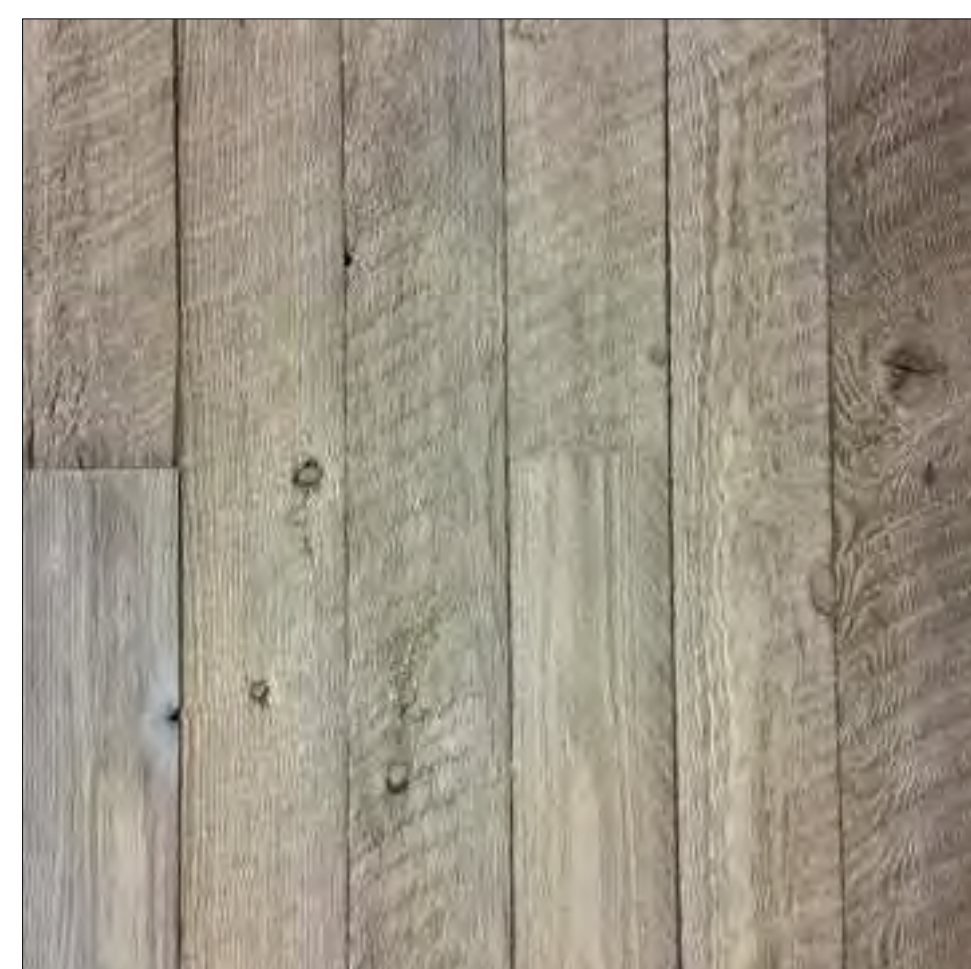
R1



R2



R3



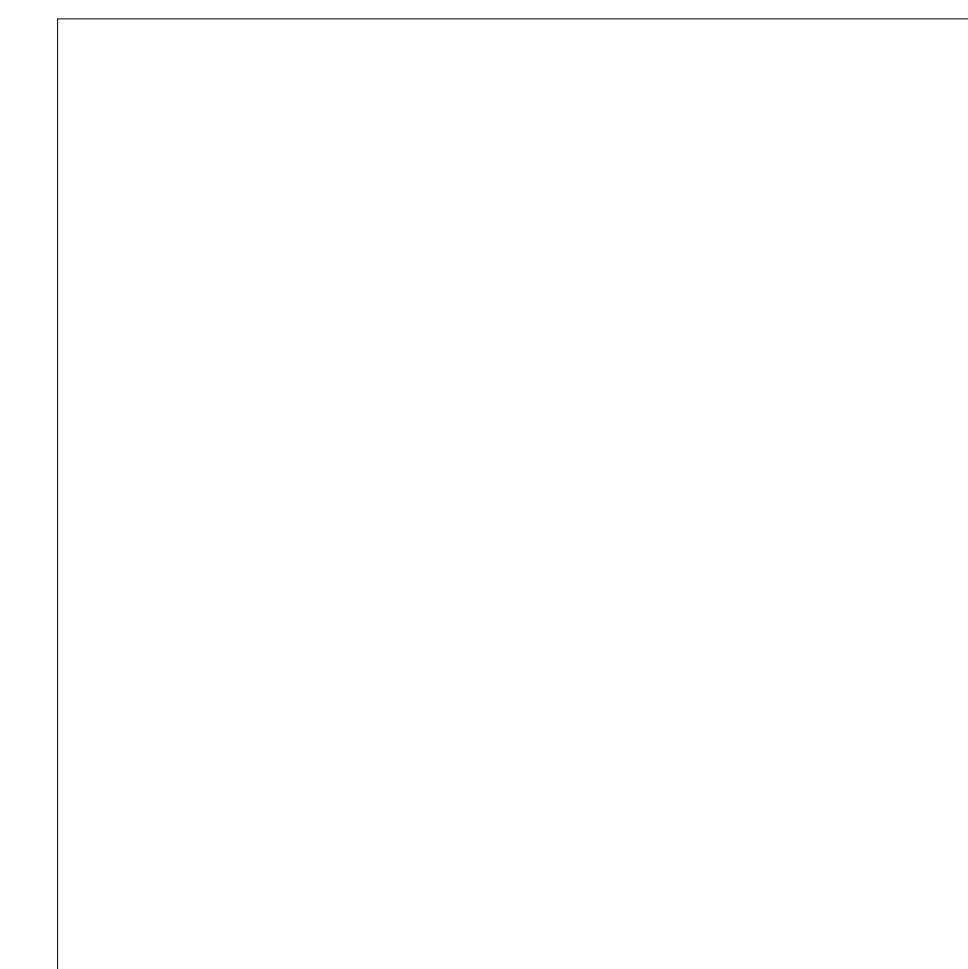
S1



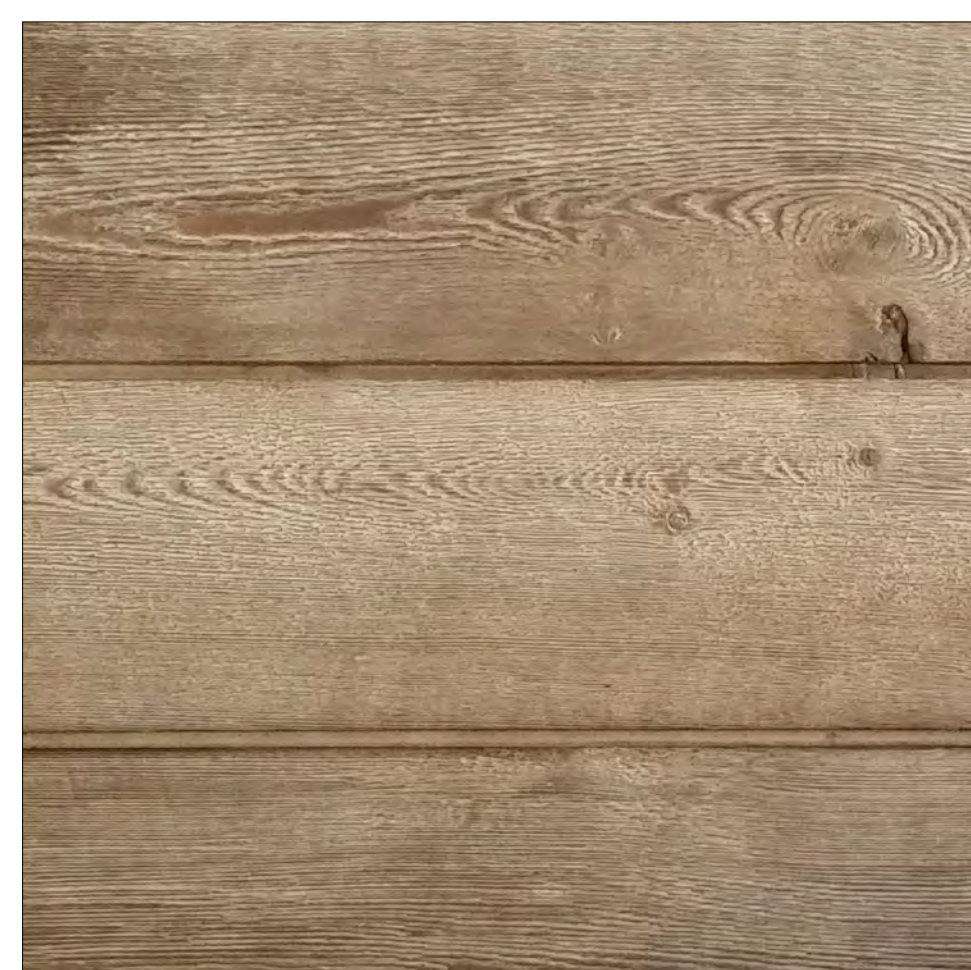
S2



S3



S4



C2



SIERRA PACIFIC

CONTEMPORARY PROFILE, CLEAR PINE INTERIOR, CAFE ROYAL EXTERIOR

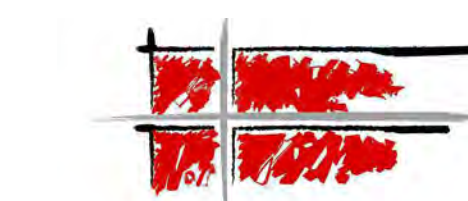
ELECTRICAL SPEC.

AUTOMATED LIGHTING SYSTEM	YES/NO
MOTION ACTIVATED LIGHTS	YES/NO
CLOSETS	YES/NO
PANTRY	YES/NO
ART LIGHTING	YES/NO
STAIR TREAD LIGHTING	YES/NO
CEILING FANS	YES/NO
CAR POWER CHARGING STATION	YES/NO
OUTLETS ABOVE FIREPLACE MANTELS	YES/NO
GENERATOR	YES/NO
CONFIRM EXT. ELEC. OUTLET LOCATIONS	YES/NO
OUTLET STRIP BELOW CABINETS	YES/NO
SMOKE DETECTOR	YES/NO
CARBON MONOXIDE DETECTOR	YES/NO
TOILET REQUIRED POWER	YES/NO
BIDET	YES/NO
HEAT	YES/NO
HEATED TOWEL RACKS	YES/NO
EXT HEAT LAMPS	YES/NO
AUTOMATED WINDOW COVERINGS	YES/NO
BURIED CONDUIT BELOW DRIVEWAY	YES/NO
SOLAR LIGHT AT ADDRESS MONUMENT	YES/NO
BOOT DRYER	YES/NO
HOT TUB	YES/NO
USB PORTS	YES/NO
OUTLETS IN VANITY DRAWER	YES/NO
LIT MIRROR	YES/NO
FLOOR OUTLETS	YES/NO
BATTERY STORAGE	YES/NO
MOTORIZED WINDOWS	YES/NO

APPLIANCE SPEC.

COOK TOP	GAS	YES/NO
ELECTRIC	YES/NO	
NUMBER OF BURNERS	YES/NO	
RANGE	DROP-IN	YES/NO
FREESTANDING	YES/NO	
GAS	YES/NO	
ELECTRIC	YES/NO	
DUAL FUEL	YES/NO	
NUMBER OF BURNERS	YES/NO	
ADDITIONAL WALL OVEN	SINGLE	YES/NO
DOUBLE	YES/NO	
OVEN/MICROWAVE COMBO	YES/NO	
GAS	YES/NO	
ELECTRIC	YES/NO	
MANUFACTURER	YES/NO	
MICROWAVE OVEN	FREESTANDING	YES/NO
ABOVE	YES/NO	
BELOW	YES/NO	
WALL OVEN UNIT	YES/NO	
MANUFACTURER	YES/NO	
DISHWASHER	MANUFACTURER	YES/NO
REFRIGERATOR/FREEZER	SIDE BY SIDE DOORS	YES/NO
ONE DOOR WITH FREEZER INT.	YES/NO	
TOP FREEZER	YES/NO	
BOTTOM FREEZER	YES/NO	
FREESTANDING	YES/NO	
BUILT INTO CABINET	YES/NO	
FRONT PANEL	YES/NO	
MANUFACTURER	YES/NO	
BEVERAGE CENTER/DRAWER	YES/NO	
ICE MAKER	YES/NO	
WARMING DRAWER	YES/NO	
TRASH COMPACTOR	YES/NO	
BAR MINI FRIDGE	FREESTANDING	YES/NO
BUILT INTO CABINET	YES/NO	
FRONT PANEL	YES/NO	
MANUFACTURER	YES/NO	
BAR ICE MAKER	UNDER COUNTER	YES/NO
OVER COUNTER	YES/NO	
FRONT PANEL	YES/NO	
MANUFACTURER	YES/NO	
BAR WINE CHILLER	FREESTANDING	YES/NO
BUILT INTO CABINET	YES/NO	
FRONT PANEL	YES/NO	
MANUFACTURER	YES/NO	
OUTDOOR BBQ	GAS	YES/NO
CHARCOAL	YES/NO	
FREESTANDING	YES/NO	
BUILT IN	YES/NO	
SIDE RANGES	YES/NO	
MANUFACTURER	YES/NO	
OUTDOOR MINI FRIDGE	FREESTANDING	YES/NO
BUILT INTO CABINET	YES/NO	
FRONT PANEL	YES/NO	
MANUFACTURER	YES/NO	
FRONT LOADER CLOTHES WASHER	MANUFACTURER	YES/NO
TOP LOADER CLOTHES WASHER	MANUFACTURER	YES/NO
FRONT LOADER CLOTHES DRYER	MANUFACTURER	YES/NO
TOP LOADER CLOTHES DRYER	MANUFACTURER	YES/NO
MASTER LAUNDRY	STACKED WASHER/DRYER	YES/NO
OTHER APPLIANCES		

CENTRE SKY ARCHITECTURE, LTD. ARCHITECTURE & PLANNING



COLORADO:
10125 RANCHO MONTECITO
DR. PARKER, COLORADO 80138
P. 303.840.0020

MONTANA:
P.O. BOX 161488
11 LONE PEAK DR., UNIT 206
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P. 406.995.7572

UTAH:
1960 SIDEWINDER DR., #101
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P. 435.604.0891

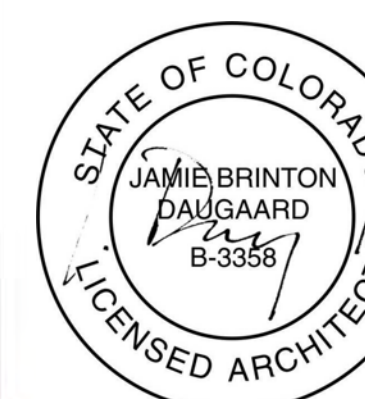
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THE RIDGE - UNIT 6
TELLURIDE COLORADO, 81435

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 • REV. # _____

Drawn By MHB

Date 02-14-2023

Project # 2138.00

Phase DD

Sheet

A0-0.2

MATERIAL SPECIFICATIONS

MATERIAL TYPE SCHEDULE

SCHEDULE						
METAL	APPLICATION	MFR.	SPECIES/TYPE	TEXTURE	COLOR/FINISH	COMMENTS
TYPE 'A'	FLASHING	BRIDGER STEEL	T.B.D.	-	T.B.D.	
TYPE 'B'	EXPOSED STRUCTURAL STEEL	T.B.D.	PER STRUCTURAL	-	T.B.D.	
TYPE 'C'	DECORATIVE	T.B.D.	T.B.D.	T.B.D.	T.B.D.	
TYPE 'D'	WALL PANELING	T.B.D.	T.B.D.	T.B.D.	T.B.D.	
WOOD						
TYPE 'A'	TIMBER BEAMS & POSTS	T.B.D.	NEW DOUGLAS FIR	ROUGH SAWN	T.B.D.	
TYPE 'B'	FASCIA	T.B.D.	CEDAR	ROUGH SAWN	T.B.D.	
TYPE 'C'	EXTERIOR TRIM	T.B.D.	CEDAR	ROUGH SAWN	T.B.D.	
TYPE 'D'	INTERIOR TRIM	T.B.D.	SPRUCE	SMOOTH	T.B.D.	
STONE						
TYPE 'A'	PRIMARY WALL VENEER	T.B.D.	T.B.D.	T.B.D.	T.B.D.	
TYPE 'B'	CAP STONE	T.B.D.	T.B.D.	T.B.D.	T.B.D.	
TYPE 'C'	EXTERIOR PATIO FLAGSTONE	T.B.D.	T.B.D.	T.B.D.	T.B.D.	
TYPE 'D'	EXTERIOR BOULDERS	T.B.D.	T.B.D.	T.B.D.	T.B.D.	

NOTE:
 • ALL CUT ENDS, MITERS, & CORNERS TO BE SEALED W/ MFR RECOMMENDED SEALANT/STAIN
 • COORD. W/ MFR FOR ADDITIONAL TOUCH UP STAIN
 • COORD. W/ MFR ON TOUCH UP APPLICATIONS AND TREATMENTS

INSULATION SPECIFICATIONS

INSULATION SCHEDULE - PROJECT SPECIFIC				
CAVITY	R - VALUE		NOTES	
	MINIMUM	PROJECT SPECIFIC		
ROOFS OVER HEATED SPACES	R-49	R-51	8.5" MIN. OF SPRAY APPLIED POLYURETHANE INSULATION	
EXTERIOR WALLS	R-20	R-24	4" MIN. OF SPRAY APPLIED POLYURETHANE INSULATION	
INTERIOR WALLS	-	R-15	RECOMMENDED 4" BLOWN IN CELLULOSE - DAMP SPRAYED OR EQUIVALENT ROCK WOOL BATT INSULATION	
FLOORS OVER UNHEATED SPACES	R-30	R-36	6" MIN. OF SPRAY APPLIED POLYURETHANE INSULATION	
FLOORS OVER HEATED SPACES	-	-	3.5" MINERAL FIBER BATT INSULATION IN FLOORS OVER HEATED SPACES FOR SOUND INSULATION	
BASEMENT WALL	R-15/19	R-19	R-19 BATT INSULATION - WHERE STUD BAY EXISTS 3.5" 2" POLYURETHANE TAPER ELSEWHERE	
CRAWL SPACE	LID	R-30	R-24	4" SPRAY POLYURETHANE INSULATION OR EQ.
	WALL	R-15/19	R-21	3.5" SPRAY POLYURETHANE
UNDER CONC. SLAB	R-10/13	R-14	2" OF DOW STYROFOAM BRAND 5M" INSULATION	

NOTES:
 1. ARCHITECT'S RECOMMENDATION FOR ALL EXTERIOR EAVES AND RAKES TO RECEIVE MIN. OF 3" BLOWN IN POLYURETHANE INSULATION UNLESS NOTED OTHERWISE.
 2. DEDUCT ALTERNATE AS APPROVED BY ARCHITECT TO REPLACE 4" SPRAY APPLIED POLYURETHANE INSULATION AT EXTERIOR WALLS WITH AN R-11 MINERAL FIBER BATT OVER TOP OF 2" SPRAY APPLIED POLYURETHANE INSULATION.
 3. ARCHITECT'S RECOMMENDATION FOR BASEMENT FURRING WALLS TO RECEIVE 3.5" BLOWN IN POLYURETHANE INSULATION IN PLACE OF R-19 BATT.
 4. DEDUCT ALTERNATE AS APPROVED BY ARCHITECT TO REPLACE 2" MCF SPRAY APPLIED POLYURETHANE INSULATION UNDER CONCRETE SLAB WITH 2" POLY-ISO/CYANURATE RIGID FOAM INSULATION.
 5. GENERAL CONTRACTOR TO PROVIDE COST COMPARISON FOR BLOWN-IN WET CELLULOSE PRODUCT TO REPLACE BATT INSULATION IN EXTERIOR WALLS AND FLOORS.
 6. THERMAL IMAGING TEST SHALL BE PERFORMED AND REPORT SUBMITTED TO OWNER AND ARCHITECT.
 7. AT A MINIMUM, ALL INTERIOR WALLS SEPARATING BEDROOMS AND/OR BATHROOMS SHALL BE INSULATED AS SPECIFIED ABOVE. IT IS STRONGLY RECOMMENDED THAT ALL INTERIOR WALLS BE INSULATED.
 8. FOAM INSULATING SEALANT AT ALL WINDOWS AND DOORS.
 9. INSULATION REQUIRED AT ALL HEADERS UNLESS HEADER FILLS CAVITY

AV SYSTEMS

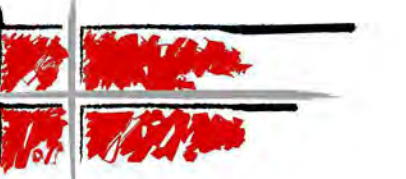
ENVIRONMENTAL SECURITY	YES/NO
WATER - LOW TEMP/FREEZE -	YES/NO
WATER COP -	YES/NO
SECURITY LIFE SAFETY & INTRUSION	YES/NO
HEAT -	YES/NO
SMOKE -	YES/NO
GAS -	YES/NO
DOORS -	YES/NO
MOTION -	YES/NO
SIRENS & STROBE -	YES/NO
SPRINKLER -	YES/NO
SEPTIC ALARM -	YES/NO
ACCESS CONTROL -	KEYPAD ENTRY
SECURITY CAMERAS -	-
HOME AUTOMATION -	-
BUILT-IN SPEAKERS -	-
TV/DISPLAYS -	-
GAMING SYSTEM -	-
THEATER/MEDIA RM -	-
LIGHTING CONTROL -	-
AUTOMATED SHADES -	-
MANUAL SHADES -	-
CEILING INTEGRATED -	-
WALL INTEGRATED -	-
SURFACE MOUNT -	-
NETWORK / DATA SYSTEM -	-
GARAGE DOOR AUTO-CLOSE TIMER -	-

HVAC SYSTEMS

GEOTHERMAL SYSTEM -	YES/NO	
FORCED AIR HEATING SYSTEM -	YES/NO	
FORCED AIR COOLING -	YES/NO	
FILTER -	YES/NO	
RADIANT HEAT -	YES/NO	
IN GARAGE -	YES/NO	
GARAGE UNIT HEATER -	YES/NO	
HEAT RECOVERY VENT. SYSTEM -	YES/NO	
HUMIDIFIER UNIT -	YES/NO	
VARIABLE THERMOSTAT W/ WIFI -	YES/NO	
REMOTE THERMOSTAT W/ WIFI -	YES/NO	
WATER FILTRATION -	YES/NO	
WATER SOFTENER -	YES/NO	
REVERSE OSMOSIS -	YES/NO	
OXYGEN -	YES/NO	
BACK UP POWER -	YES/NO	
BATTERY -	YES/NO	
GENERATOR -	YES/NO	
ACTIVE RADON MITIGATION -	YES/NO	
PROPANE -	YES/NO	
NATURAL GAS -	YES/NO	
SNOW MELT -	YES/NO	
CRAWLSPACE EXHAUST FAN	YES/NO	
PROPANE DETECTION SYSTEM	YES/NO	
GARAGE EXHAUST FAN	YES/NO	
BATHROOM EXHAUST FANS	YES/NO	
KITCHEN MAKEUP AIR SYSTEM	YES/NO	
DOM. HOT WATER RECIRC. PUMP	YES/NO	
FIREPLACES -	NATURAL GAS	
TOILET	HEATED	YES/NO
WALL MOUNTED	YES/NO	
SELF-CLEANING	YES/NO	
BIDET	YES/NO	

SUSTAINABLE SPEC.

PHOTO VOLTIC	YES
SOLAR HOT WATER	NO
WIND TURBINES	NO
GEOTHERMAL	NO
WASTE DIVERSION	TBD, COST? - WERNER
LOW VOC INT. PAINT	YES - LIMIT COLORS? - JAMIE
BLOWER DOOR TEST	YES



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P 303.840.0020

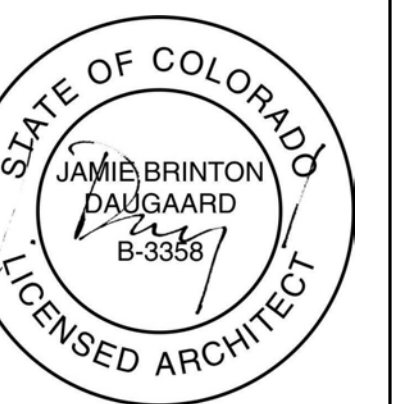
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Phase DD
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A0-0.3

AREA PLANS

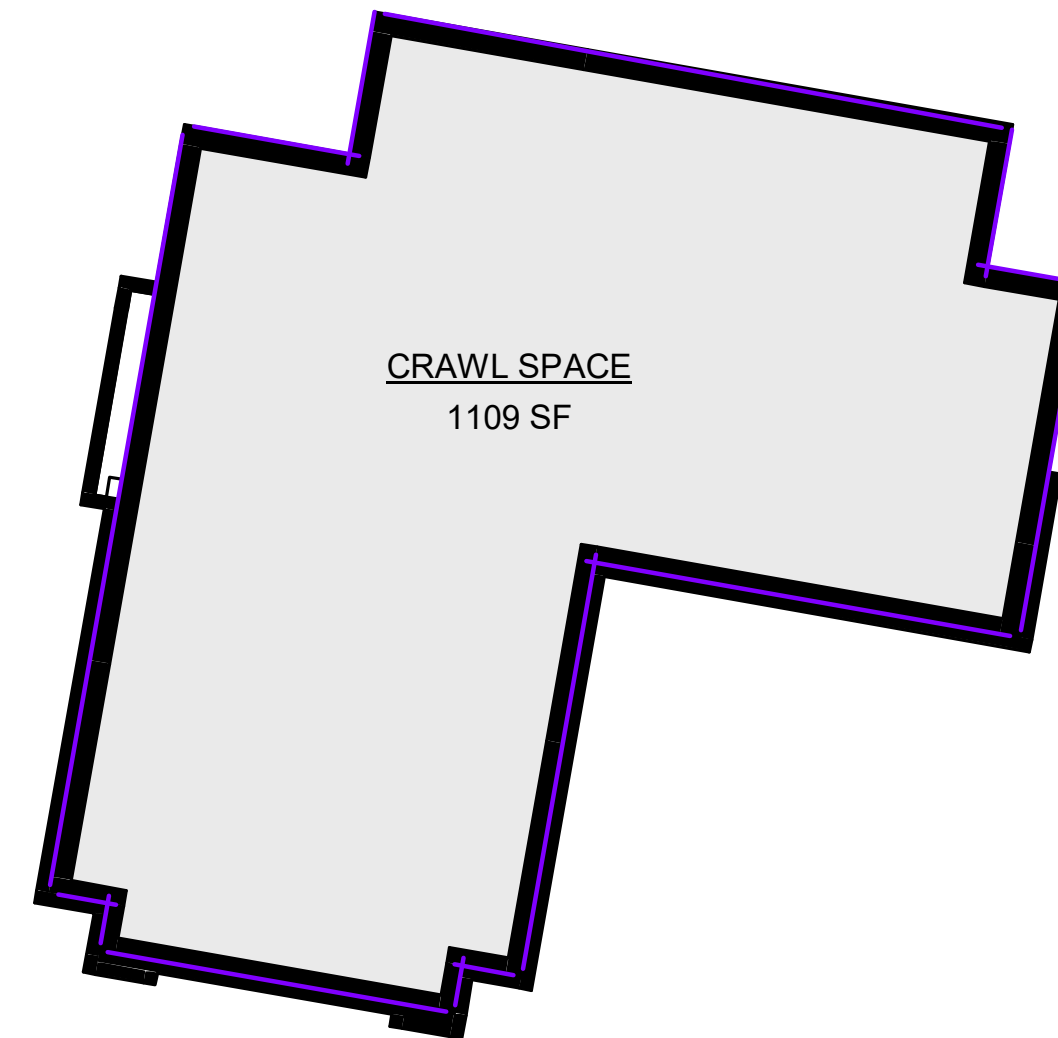
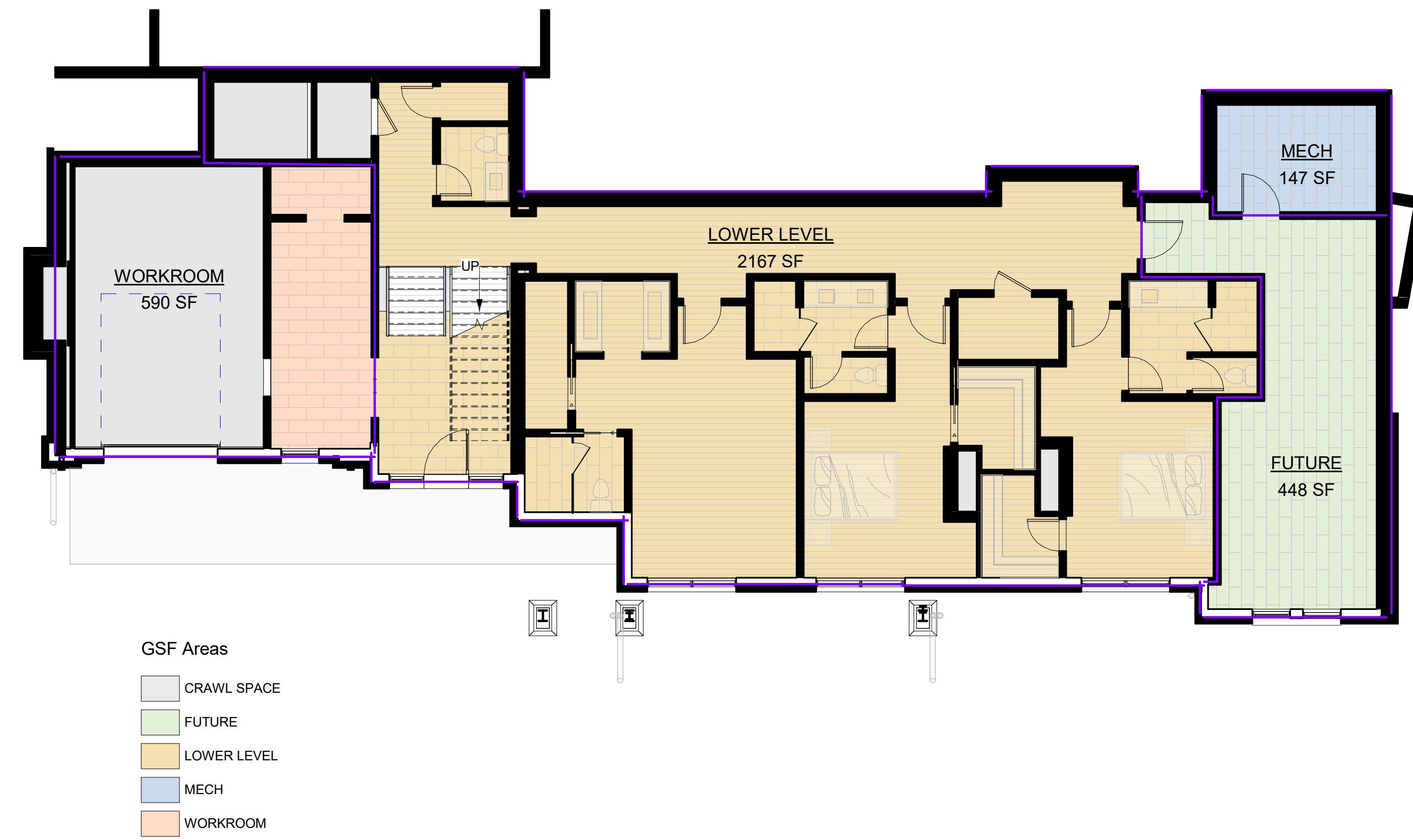
AREA ANALYSIS

DEFINITIONS:
SQUARE FOOT: As defined by ANSI Z765-2003: Livable floor area as measured from exterior dimensions including thickness of all walls, interior and exterior, excluding fireplace bump-outs, mechanical spaces, garage spaces, and unfinished basement and/or attic space.

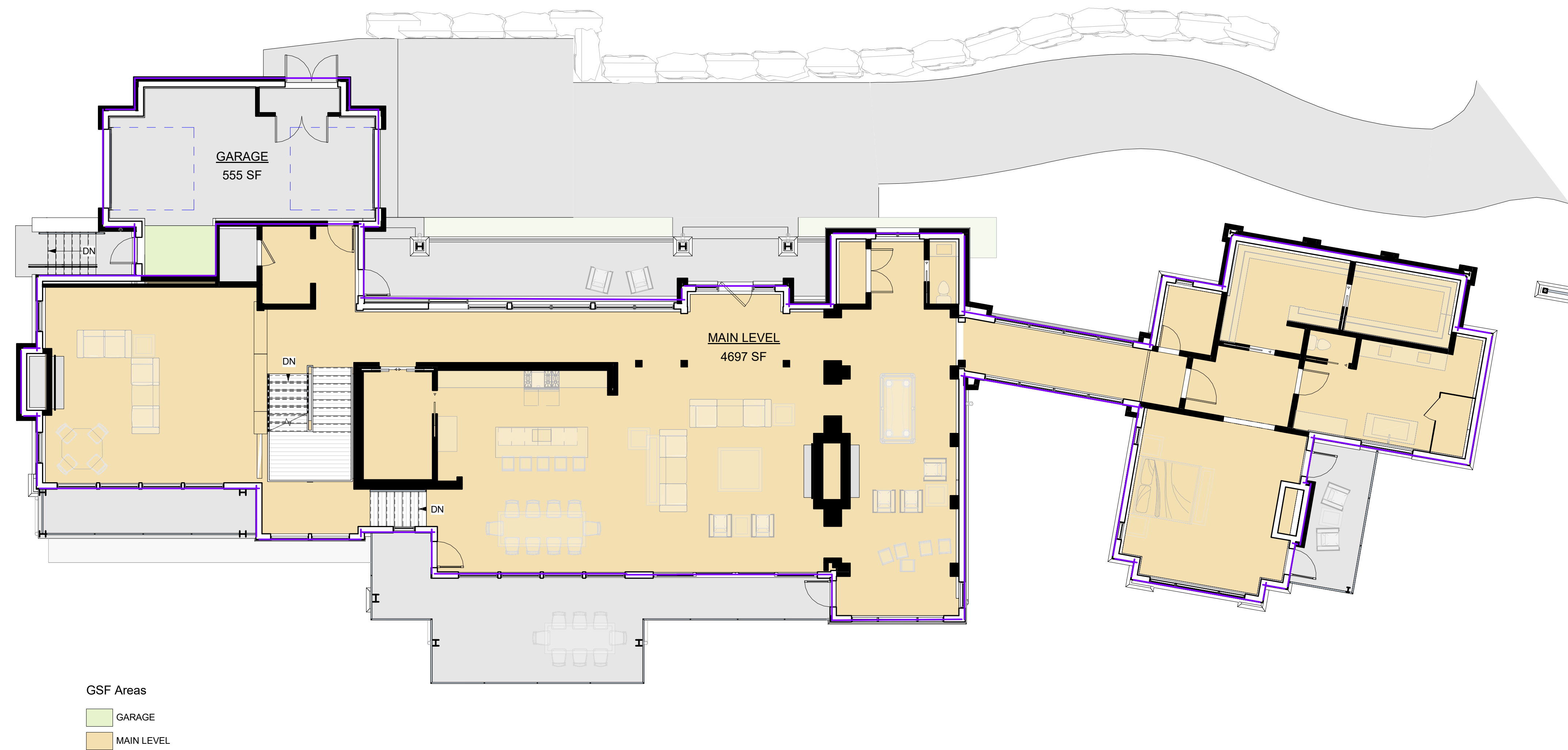
GROSS SQUARE FOOT: Total building area as measured from exterior dimensions including thickness of all walls, interior and exterior, mechanical spaces, garage spaces, and accessible un-fished space; does NOT include crawl spaces, patios and decks.

PROJECT SQUARE FOOTAGE

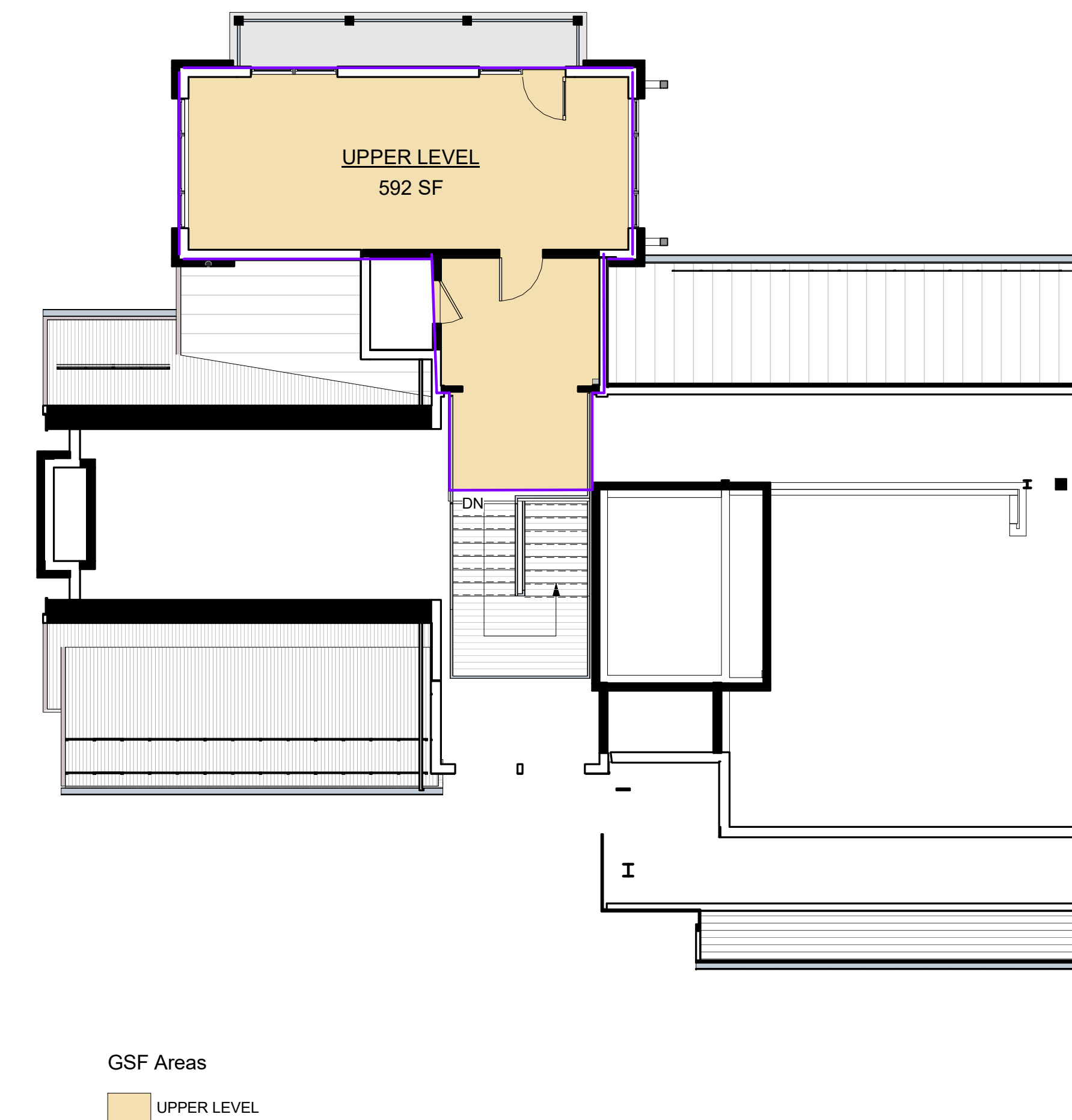
NAME	AREA	COMMENTS
MECH	147.1 SF	
FUTURE	447.7 SF	
WORKROOM	590.3 SF	
GARAGE	554.7 SF	
	1739.8 SF	
LOWER LEVEL	2167.4 SF	LIVING
MAIN LEVEL	4697.0 SF	LIVING
UPPER LEVEL	592.2 SF	LIVING
LIVING	7456.7 SF	
GROSS SF	9196.5 SF	



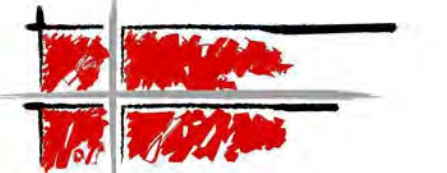
1 LOWER LEVEL AREA PLAN
1/8" = 1'-0"



2 MAIN LEVEL AREA PLAN
1/8" = 1'-0"



3 UPPER LEVEL AREA PLAN
1/8" = 1'-0"



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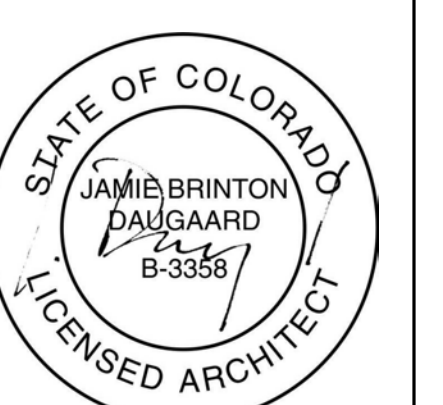
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C1-0.3
DRAINAGE AND
EROSION CONTROL
PLAN

FOR REVIEW ONLY

SHEET
C1-0.3

PST Engineering, LLC
3520 Bennett Street
Durango, CO 81301
970-403-5492
ENGINEERING

MERZI RESIDENCE - UNIT 6
THE RIDGE, CO 81435
DRAINAGE AND
EROSION CONTROL PLAN

REVISIONS:	#	Date	Description

Date: 2/15/2023
Drawn By: AM
Chkd By: SP

File Path: ...ICAD, DRB Plan Sheets.dgn

NOTES:
1. ALL EXISTING TOPOGRAPHIC AND BOUNDARY INFORMATION IS FROM THE SURVEY PERFORMED ON DECEMBER 3, 2021 AND AUGUST 10, 2022 BY FOLEY ASSOCIATES, INC.
2. TELLURIDE FIRE PROTECTION DISTRICT (TFPD) TO APPROVE ANY DRIVEWAY PRIOR TO FINAL DESIGN.
3. LIMITS OF DISTURBED AREA = 0.41 ACRES

LEGEND

BASIN ID
A
AC

BASIN LABEL
100-YR FLOW RATE (CFS)
25-YR FLOW RATE (CFS)
HISTORIC 100-YR FLOW RATE (CFS)

BASIN AREA (ACRES)

DESIGN POINT

FLOW DIRECTION

BASIN BOUNDARY

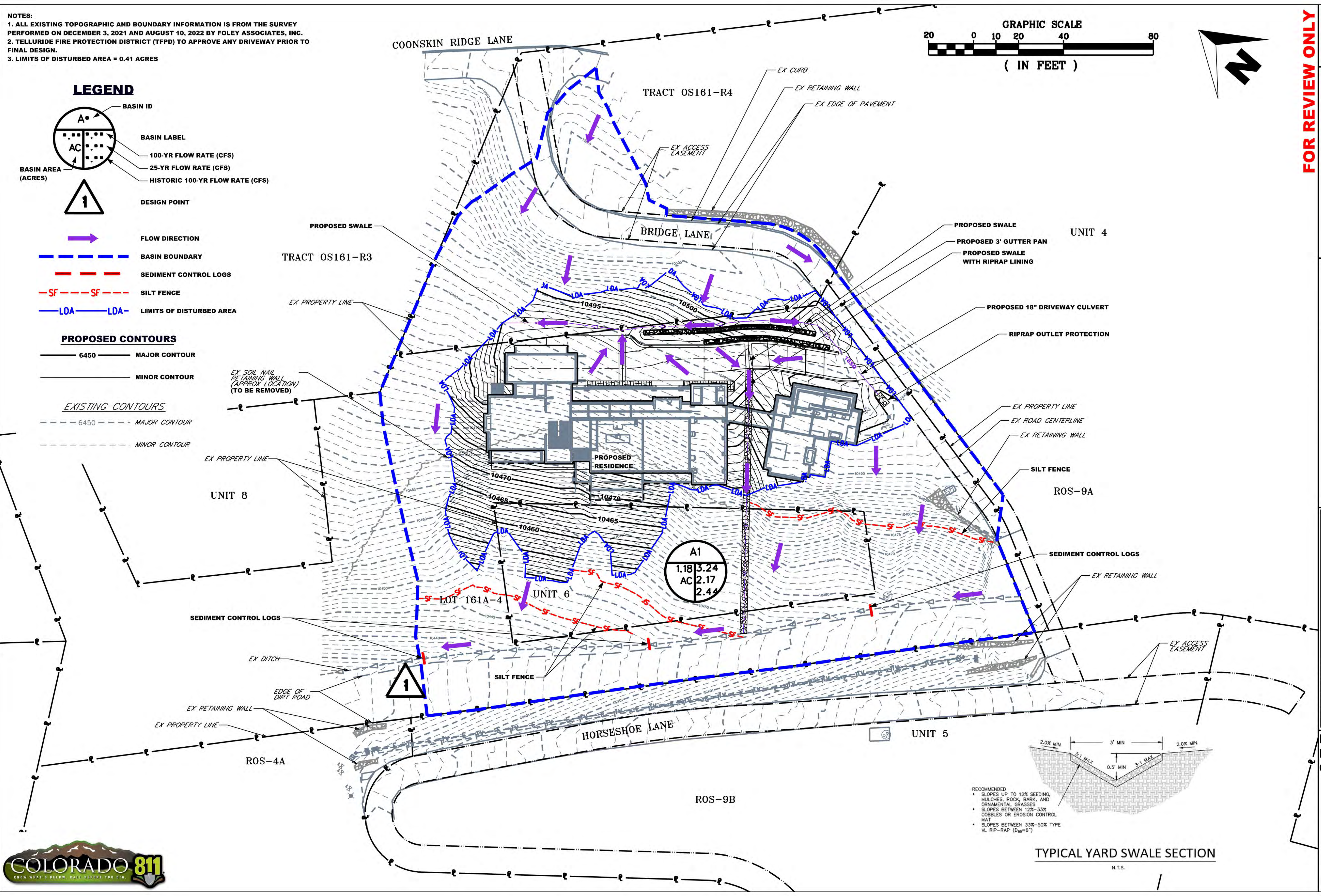
SEDIMENT CONTROL LOGS

SILT FENCE

LIMITS OF DISTURBED AREA

PROPOSED CONTOURS
6450 MAJOR CONTOUR
MINOR CONTOUR

EXISTING CONTOURS
6450 MAJOR CONTOUR
MINOR CONTOUR





COLORADO:
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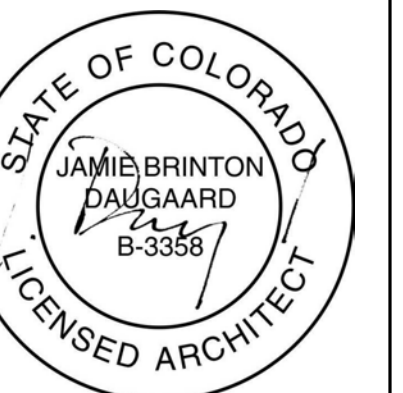
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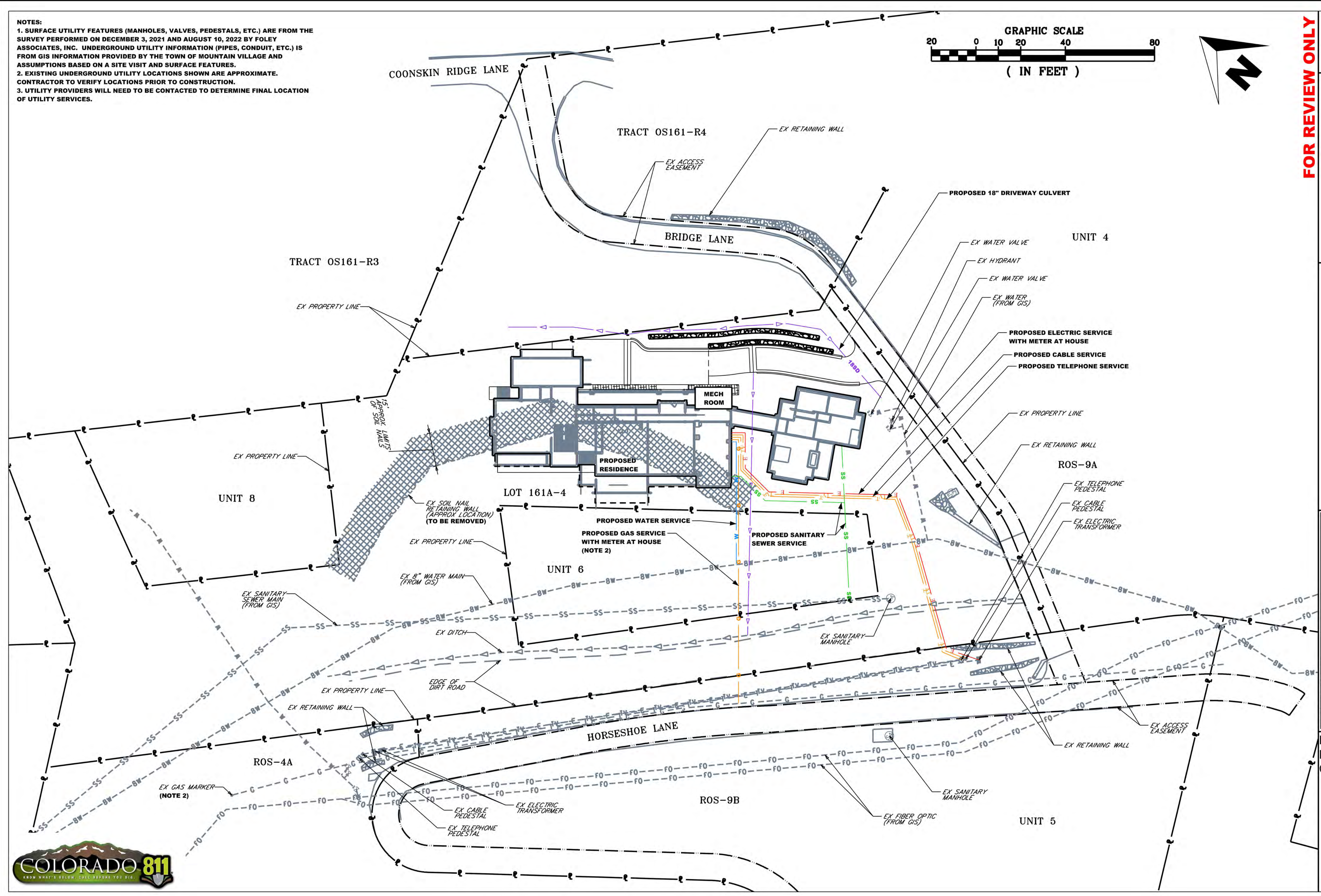
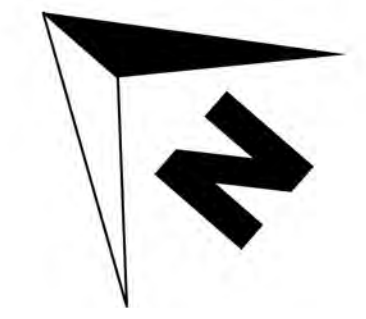
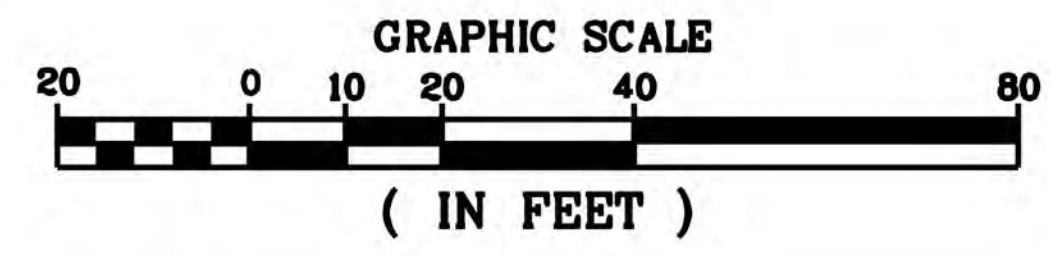


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C1-0.4
UTILITY PLAN

- NOTES:
1. SURFACE UTILITY FEATURES (MANHOLES, VALVES, PEDESTALS, ETC.) ARE FROM THE SURVEY PERFORMED ON DECEMBER 3, 2021 AND AUGUST 10, 2022 BY FOLEY ASSOCIATES, INC. UNDERGROUND UTILITY INFORMATION (PIPES, CONDUIT, ETC.) IS FROM GIS INFORMATION PROVIDED BY THE TOWN OF MOUNTAIN VILLAGE AND ASSUMPTIONS BASED ON A SITE VISIT AND SURFACE FEATURES.
 2. EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY LOCATIONS PRIOR TO CONSTRUCTION.
 3. UTILITY PROVIDERS WILL NEED TO BE CONTACTED TO DETERMINE FINAL LOCATION OF UTILITY SERVICES.



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SHEET
C1-0.4

PST Engineering, LLC
3520 Bennett Street
Durango, CO 81301
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PST
ENGINEERING

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THE RIDGE - UNIT 6
TELLURIDE, CO 81435
UTILITY PLAN

REVISIONS:	#	Date	Description

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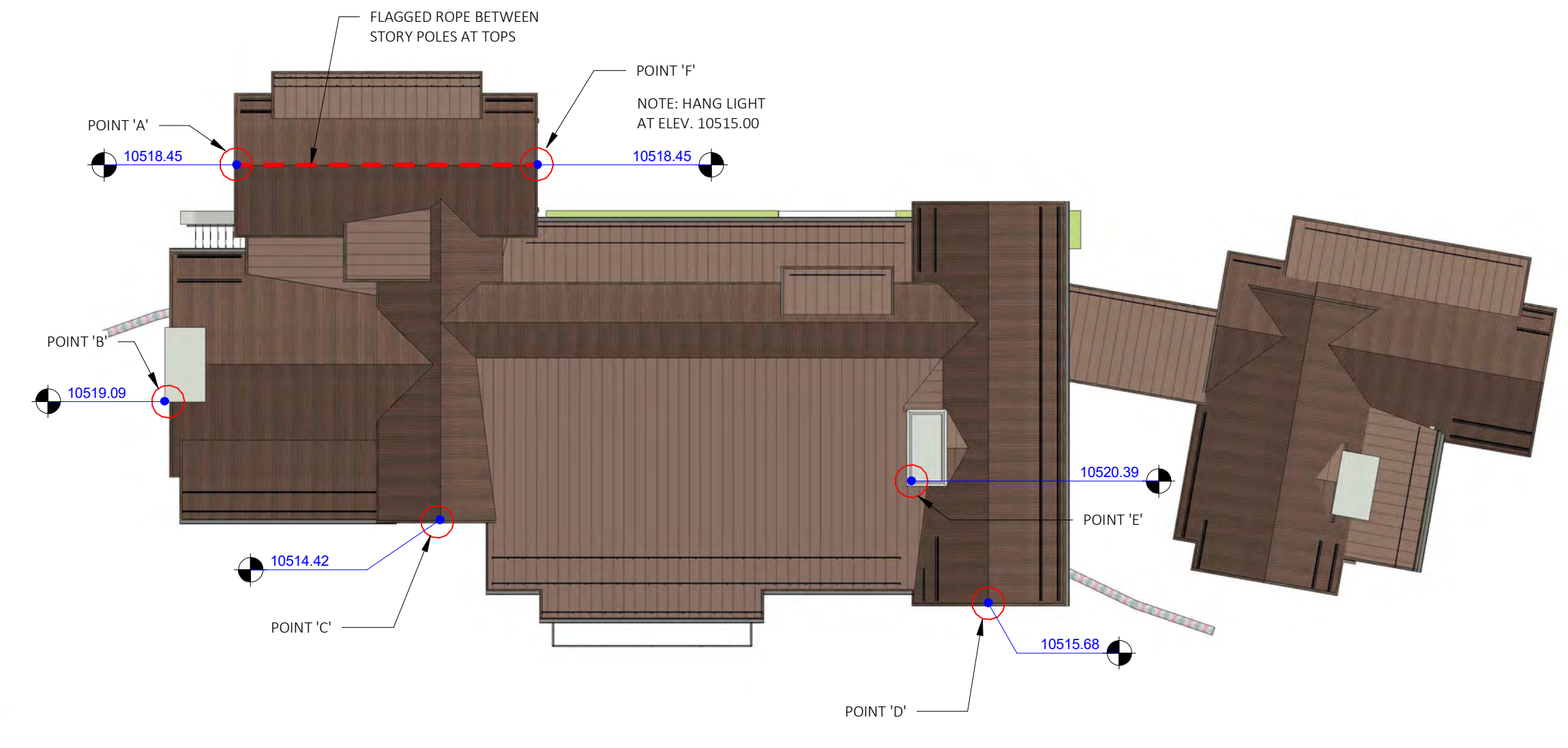
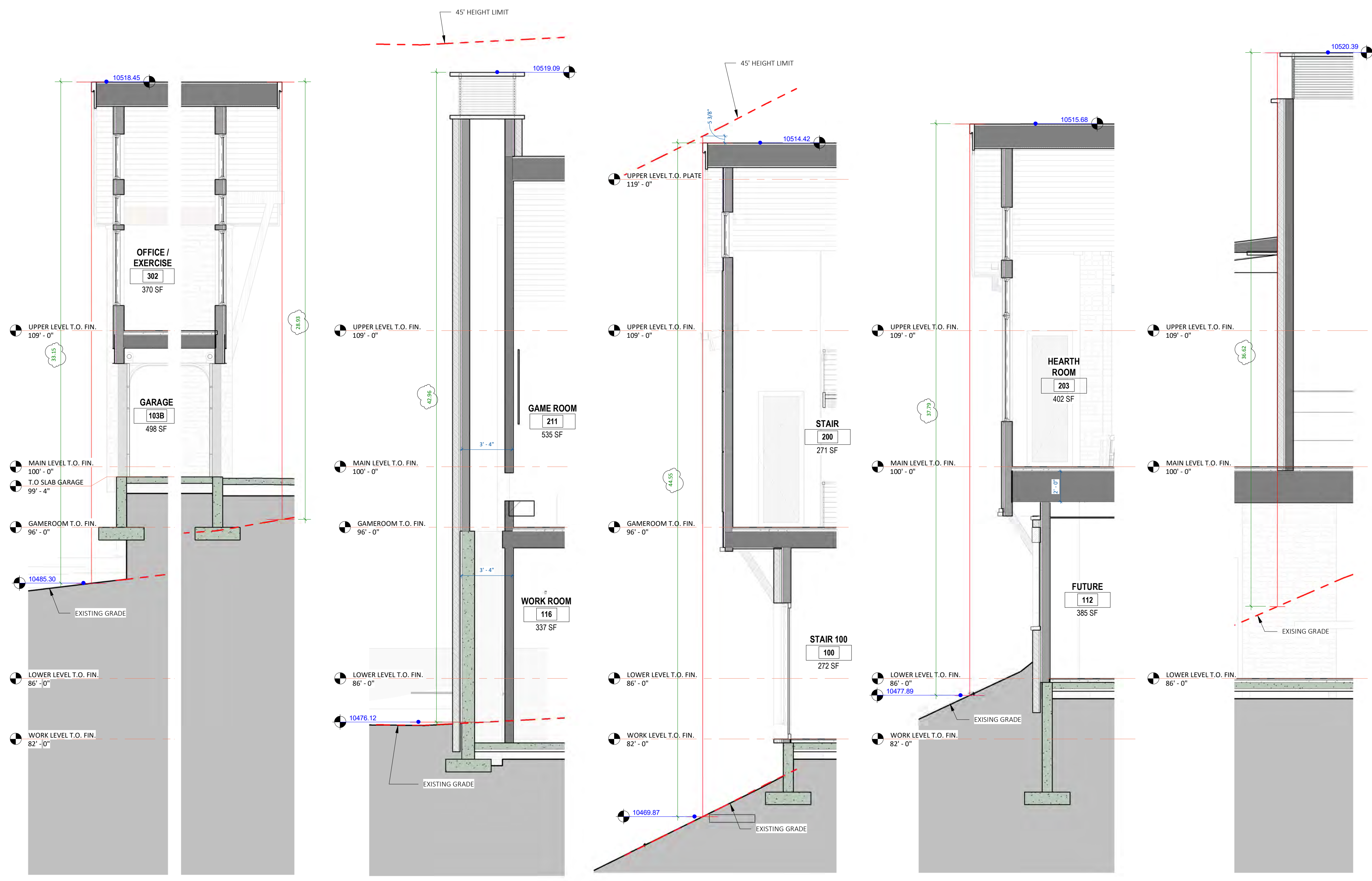


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STORY POLE HEIGHTS:

POINT 'A'	33.15 FT.
POINT 'B'	42.96 FT. (37.41 FT.?)
POINT 'C'	44.55 FT.
POINT 'D'	37.79 FT.
POINT 'E'	28.93 FT.
POINT 'F'	36.62 FT.

1 Section at Point 'A' & 'E'
 1/4" = 1'-0"

2 Section at Point 'B'
 1/4" = 1'-0"

3 Section at Point 'C'
 1/4" = 1'-0"

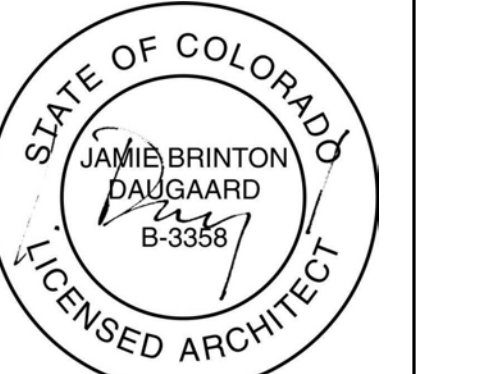
4 Section at Point 'D'
 1/4" = 1'-0"

5 Section at Point 'E'
 1/4" = 1'-0"

6 ROOF PLAN- RIDGE HEIGHTS
 1/16" = 1'-0"

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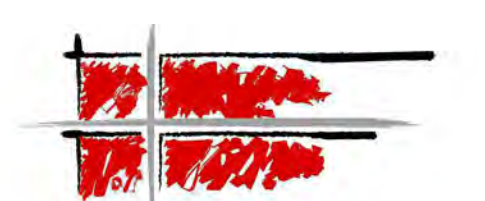
A0-0.4
 RIDGE ELEVATIONS



7 STORY POLES 1



8 STORY POLES 2



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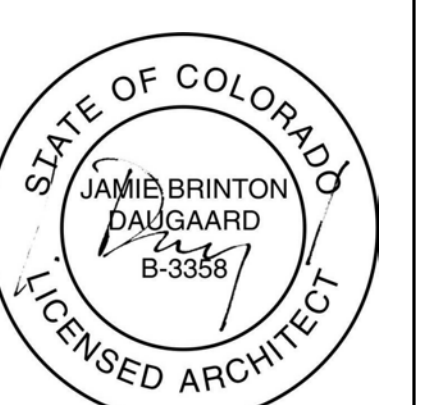
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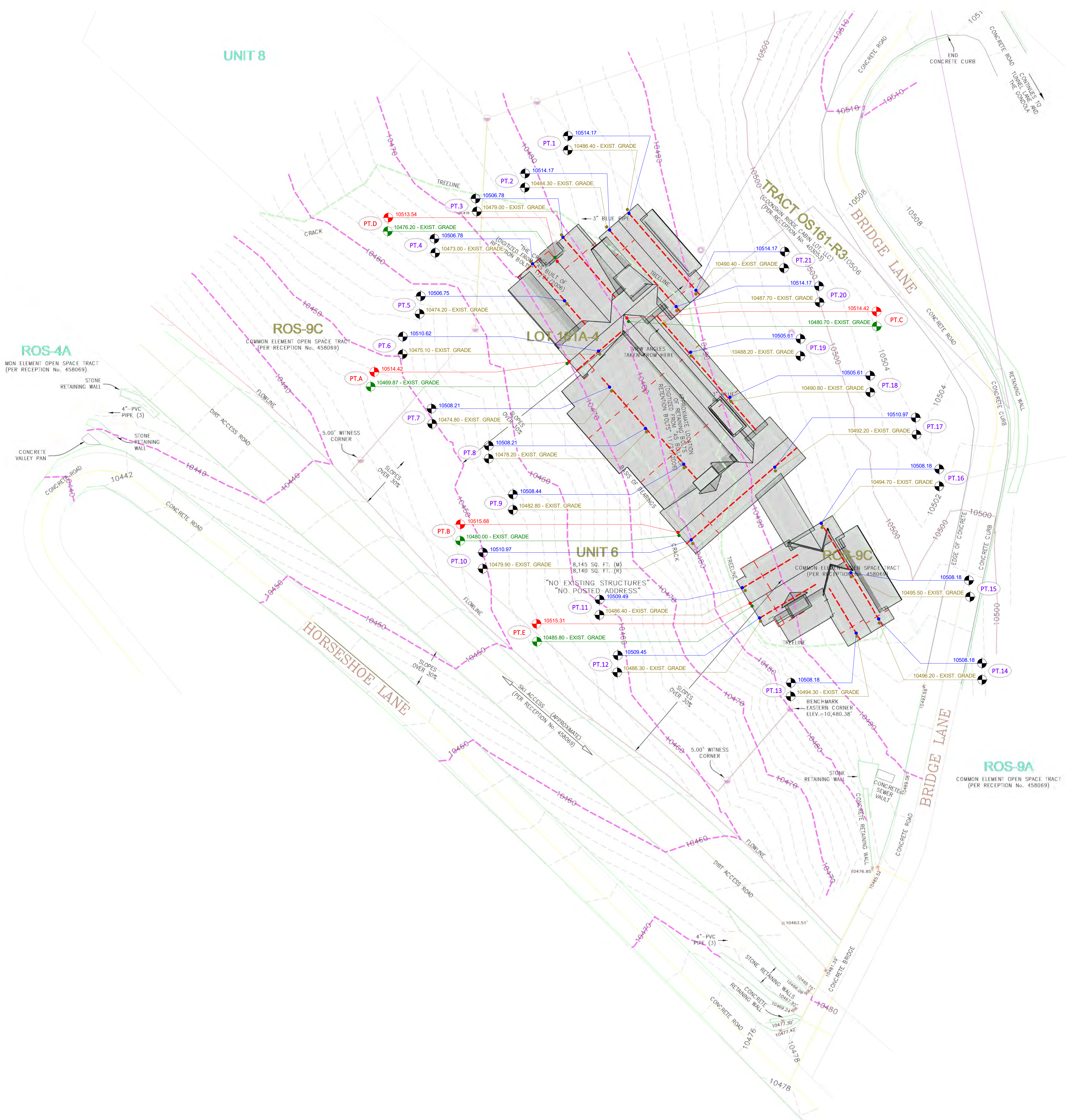
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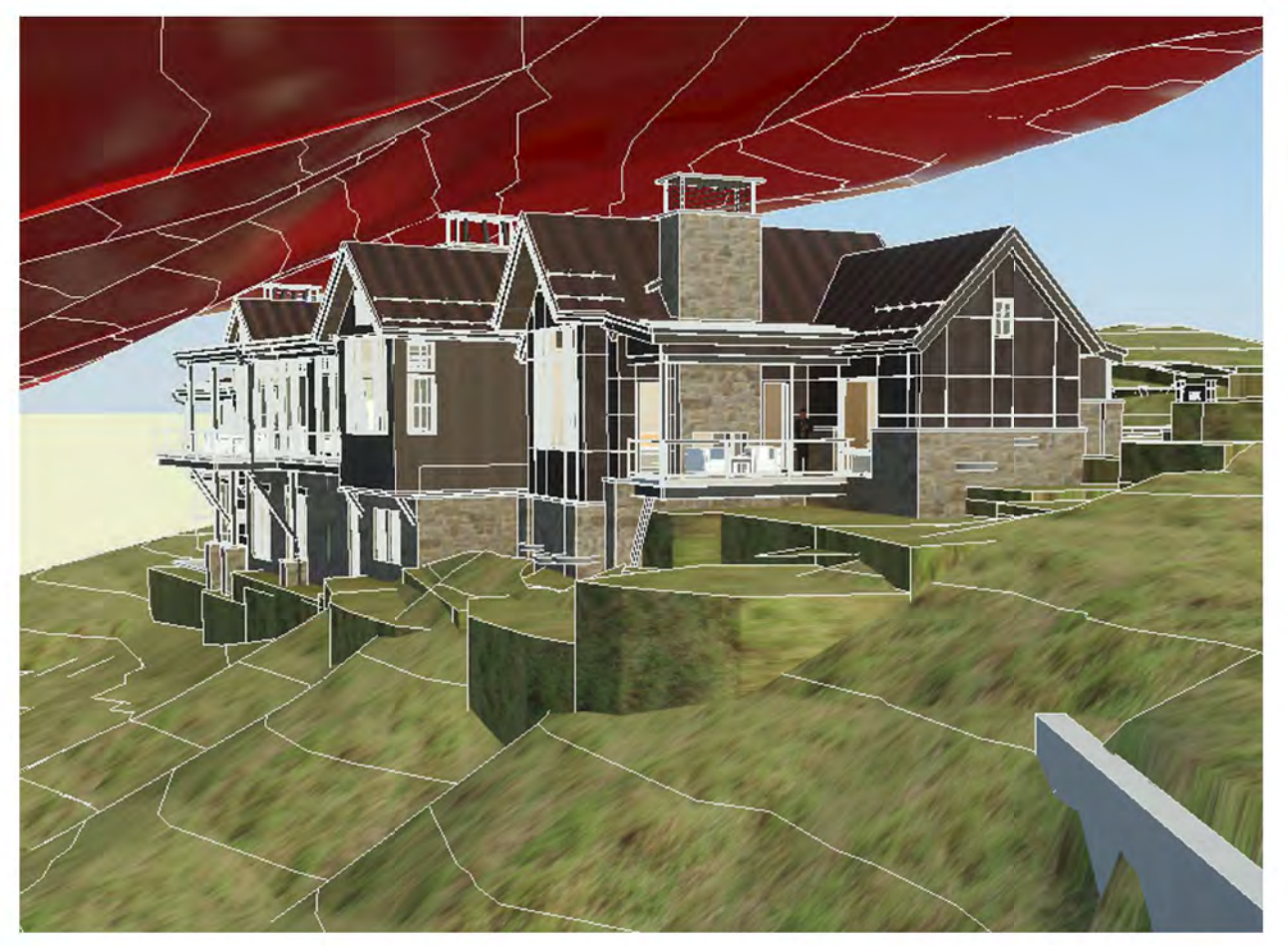
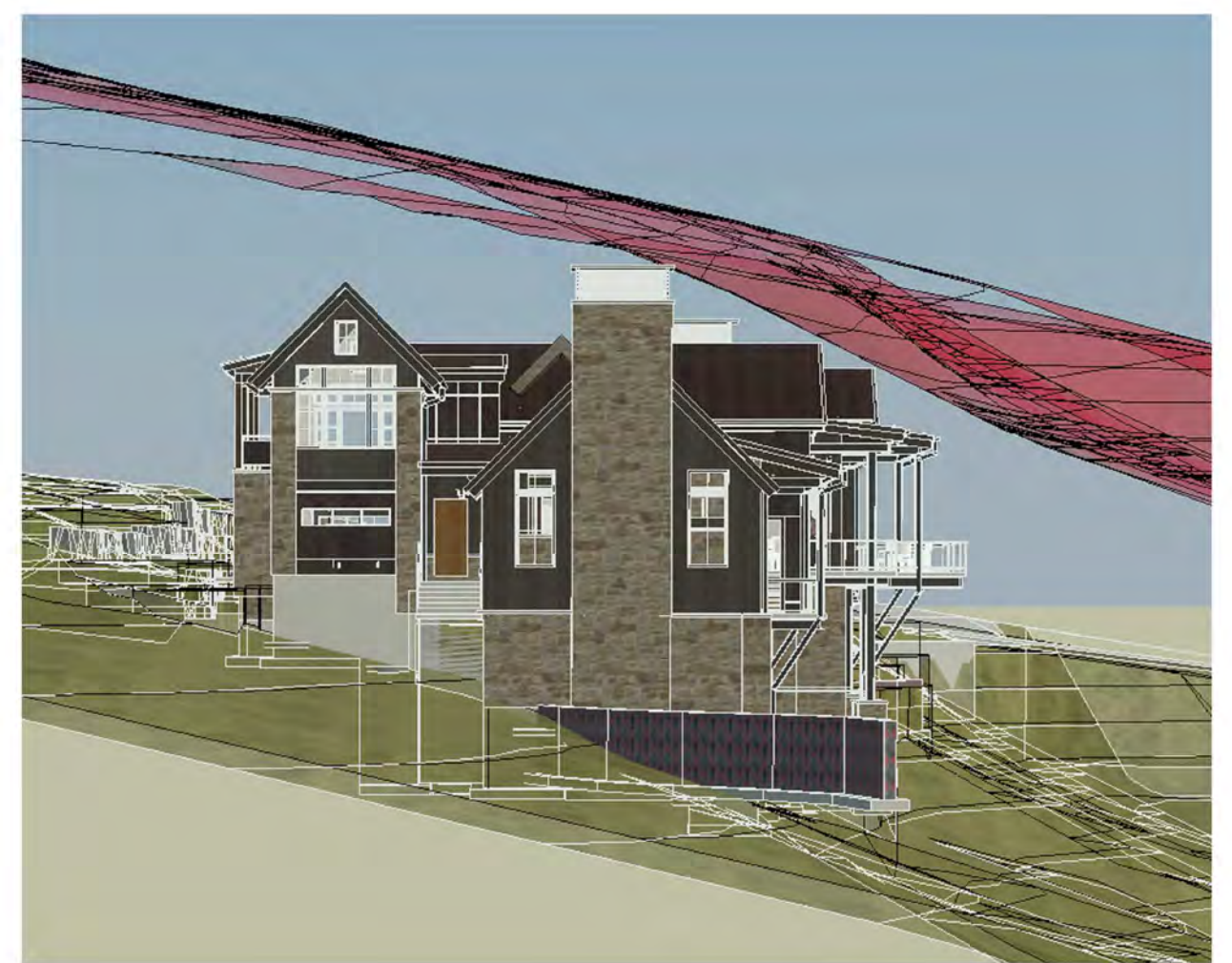
A1-0.2
SITE-HEIGHT
CALCULATIONS

HEIGHT LIMIT CALCULATIONS

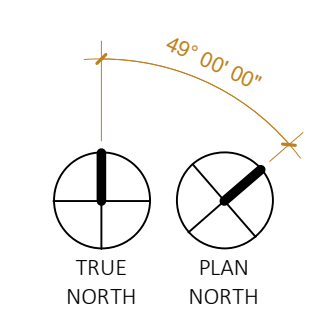
ROOF POINT LOCATION	ROOF MID-POINT USGS ELEVATION	EX. OR NEW GRADE USGS ELEVATION	ROOF HEIGHT FROM GRADE
PT. 1	10514.17	10486.40	27.77 FT.
PT. 2	10514.17	10488.30	29.87 FT.
PT. 3	10506.75	10479.00	27.75 FT.
PT. 4	10506.75	10473.00	33.75 FT.
PT. 5	10506.75	10474.20	32.55 FT.
PT. 6	10510.62	10475.10	35.52 FT.
PT. 7	10508.21	10474.80	33.41 FT.
PT. 8	10508.21	10478.20	30.01 FT.
PT. 9	10508.44	10482.80	25.64 FT.
PT. 10	10510.97	10479.90	31.07 FT.
PT. 11	10509.45	10486.40	23.05 FT.
PT. 12	10509.45	10486.30	23.15 FT.
PT. 13	10508.18	10494.30	13.88 FT.
PT. 14	10508.18	10496.20	11.98 FT.
PT. 15	10508.18	10495.50	12.68 FT.
PT. 16	10508.18	10494.70	13.48 FT.
PT. 17	10510.97	10492.20	18.77 FT.
PT. 18	10505.61	10490.80	14.81 FT.
PT. 19	10505.61	10488.20	17.41 FT.
PT. 20	10514.17	10487.70	26.47 FT.
PT. 21	10514.17	10490.40	23.77 FT.
TOTAL HHS.			506.79 FT.
DIVIDED BY			21
			24.13 FT. (AVERAGE ROOF HEIGHT) 30' ALLOWABLE
			44.55 FT. (TALLEST ROOF POINT) 45' ALLOWABLE
PT. A	10514.42	10469.87	44.55 FT. (RIDGE ROOF POINT)
PT. B	10515.68	10480.00	35.68 FT. (RIDGE ROOF POINT)
PT. C	10514.42	10480.70	33.72 FT. (RIDGE ROOF POINT)
PT. D	10513.54	10476.20	37.34 FT. (RIDGE ROOF POINT)
PT. E	10515.29	10485.80	29.49 FT. (RIDGE ROOF POINT)

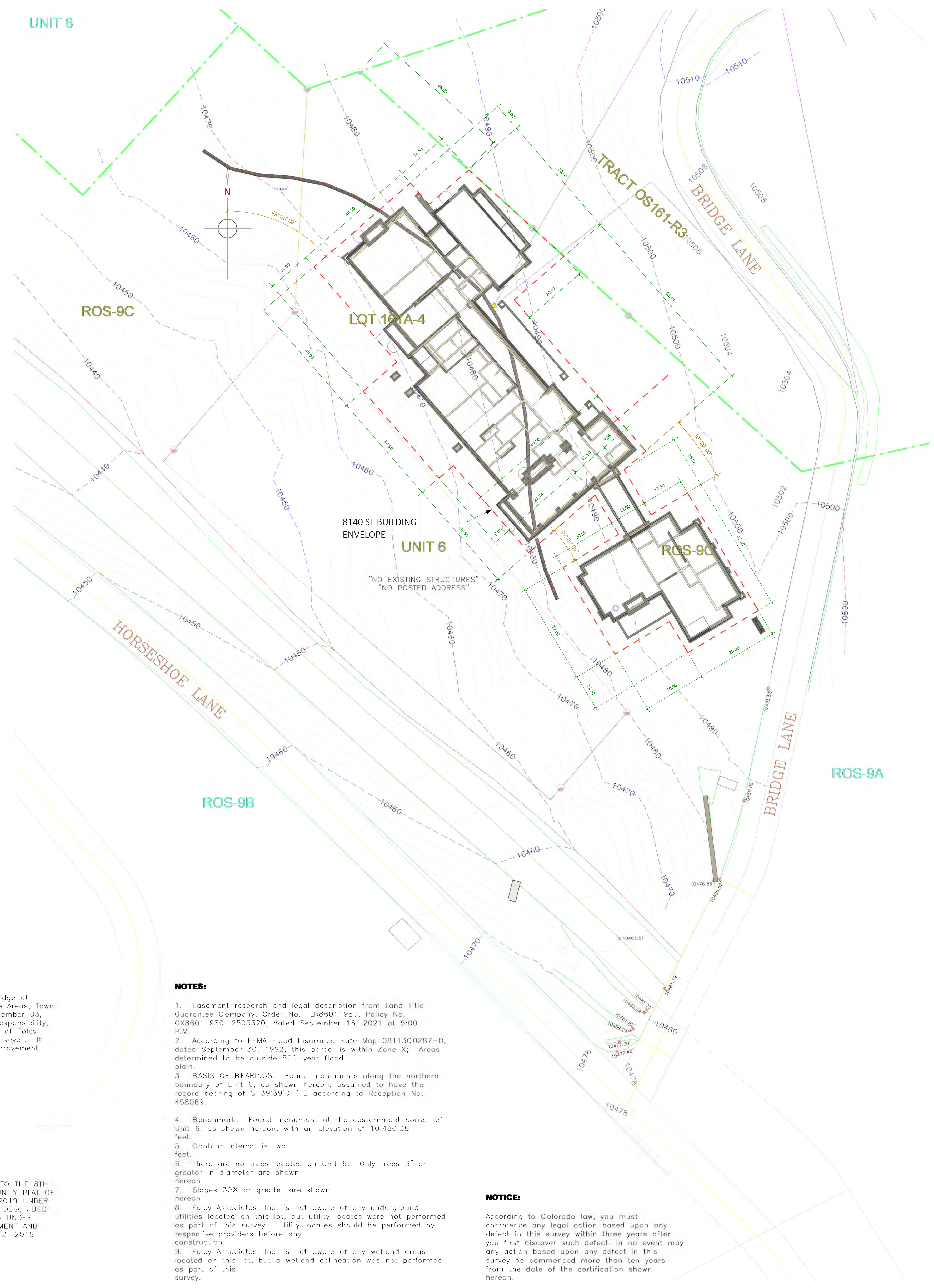


45 FOOT HEIGHT LIMIT:



1 SITE-HEIGHT CALCS
1/16" = 1'-0"





This Existing Conditions Plan of Unit 6, The Ridge at Telluride, and portions of adjacent Open Space Areas, Town of Mountain Village, was field surveyed on December 03, 2021 and August 10, 2022 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.

P.L.S. NO. 37970
Date

LEGAL DESCRIPTION:

UNIT 6, THE RIDGE AT TELLURIDE, ACCORDING TO THE 8TH SUPPLEMENTED AND AMENDED PLANNED COMMUNITY PLAT OF THE RIDGE AT TELLURIDE RECORDED APRIL 2, 2019 UNDER RECEPTION NO. 458069, AND AS DEFINED AND DESCRIBED IN THE DECLARATION RECORDED APRIL 5, 2004 UNDER RECEPTION NO. 365201 AND THE 7TH SUPPLEMENT AND AMENDMENT TO DECLARATION RECORDED APRIL 2, 2019 UNDER RECEPTION NO. 458070, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

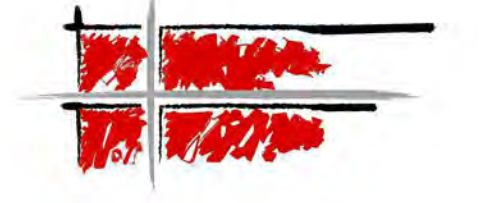
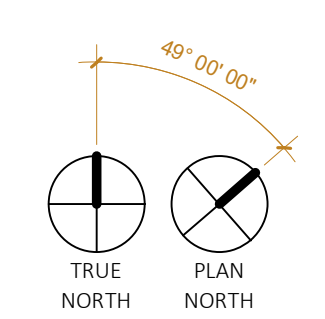
NOTES:

- Easement research and legal description from Land Title Guarantee Company, Order No. TLR56011980, Policy No. 0X86011980.12505320, dated September 16, 2021 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Map 08113C0287-D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
- BASIS OF BEARINGS:** Found monuments along the northern boundary of Unit 6, as shown hereon, assumed to have the record bearing of S 39°39'04" E according to Reception No. 458069.
- Benchmark:** Found monument at the easternmost corner of Unit 8, as shown hereon, with an elevation of 10,480.38 feet.
- Contour interval is two feet.
- There are no trees located on Unit 6. Only trees 3" or greater in diameter are shown hereon.
- Slopes 30% or greater are shown hereon.
- Foley Associates, Inc. is not aware of any underground utilities located on this lot, but utility locates were not performed as part of this survey. Utility locates should be performed by respective providers before any construction.
- Foley Associates, Inc. is not aware of any wetland areas located on this lot, but a wetland delineation was not performed as part of this survey.

NOTICE:

According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

1 SITE- BUILDING ENVELOPE
1/16" = 1'-0"



COLORADO:
10125 RANCHO MONTECITO
DR. PARKER, COLORADO 80138
P.303.840.0020

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P.O. BOX 161488
11 LONE PEAK DR., UNIT 206
BIG SKY, MONTANA 59716
P.406.995.7572

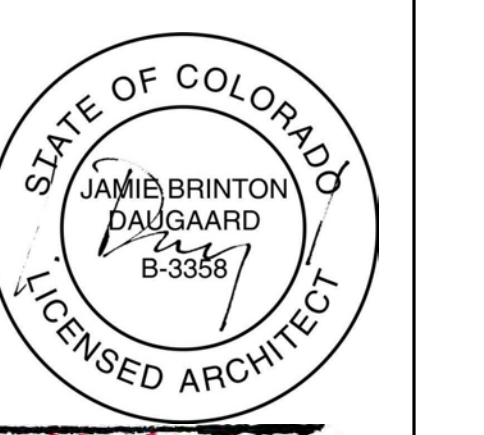
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THE RIDGE - UNIT 6
TELLURIDE COLORADO, 81435

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A1-0.3
SITE- BUILDING
ENVELOPE



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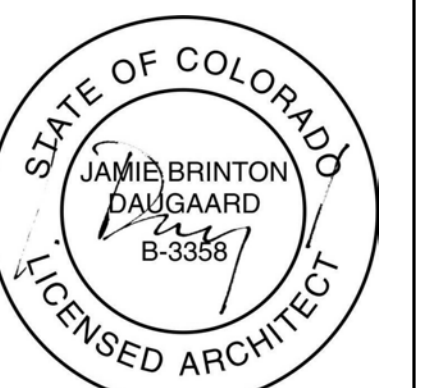
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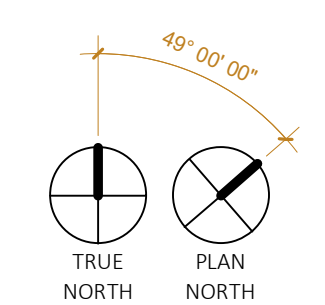
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A1-0.4
 TREE REMOVAL



NOTE: ALL EXISTING TREES INSIDE
 DASHED LINE TO BE REMOVED

1 SITE PLAN-model
 3/32" = 1'-0"





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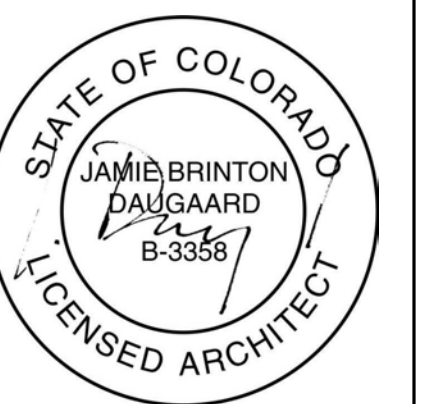
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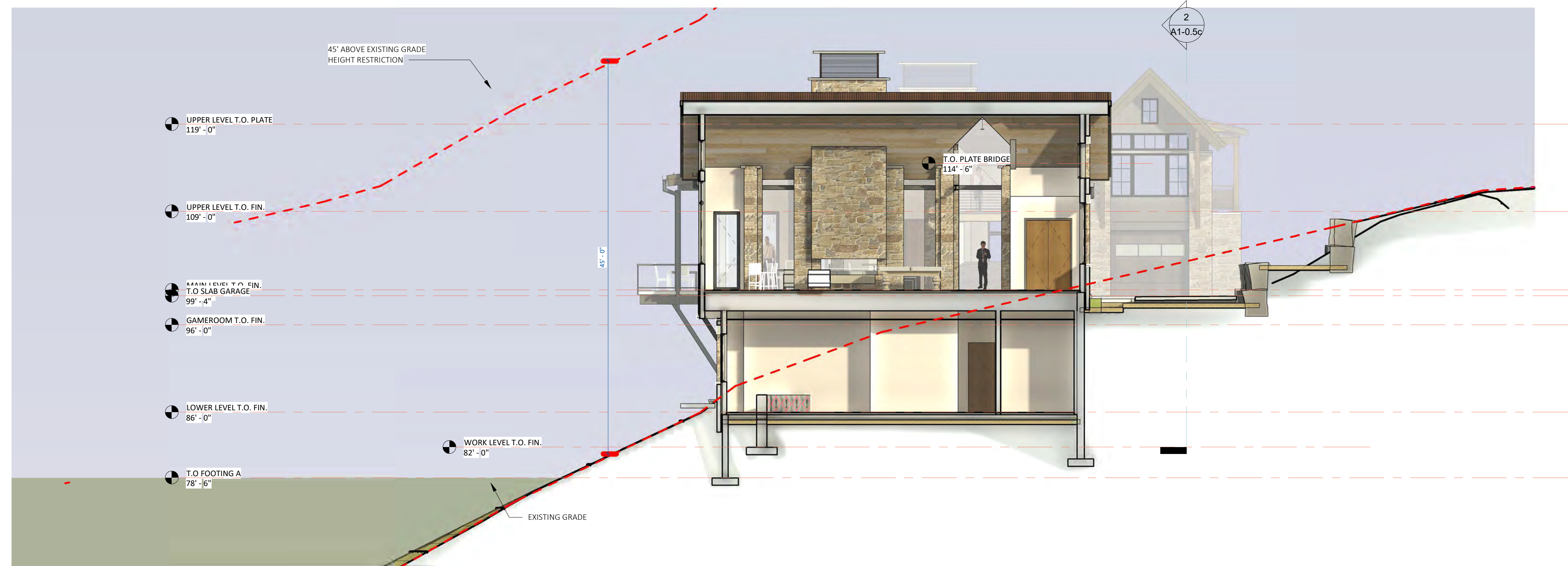
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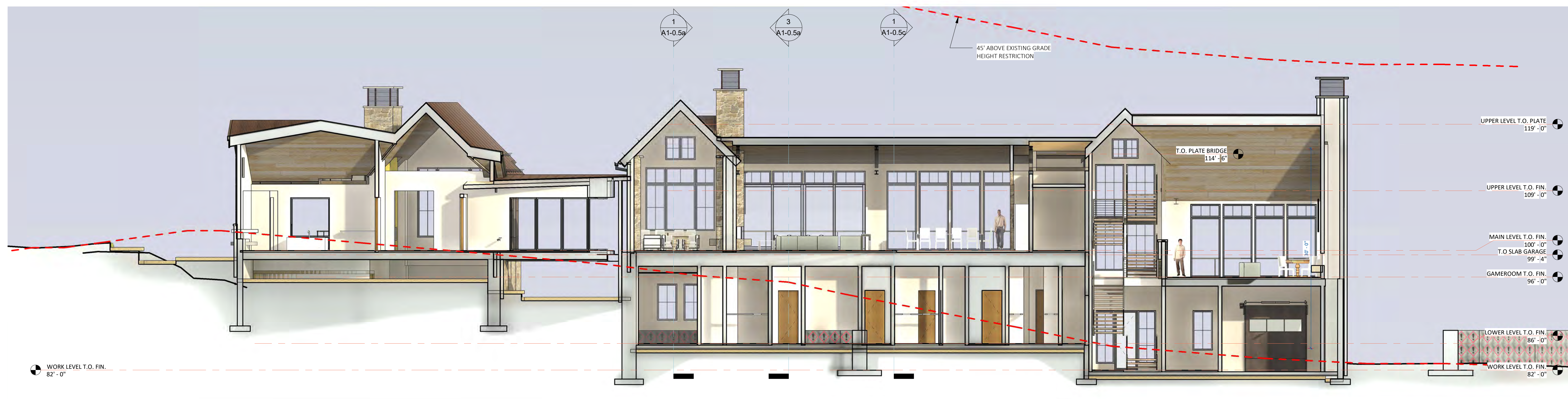
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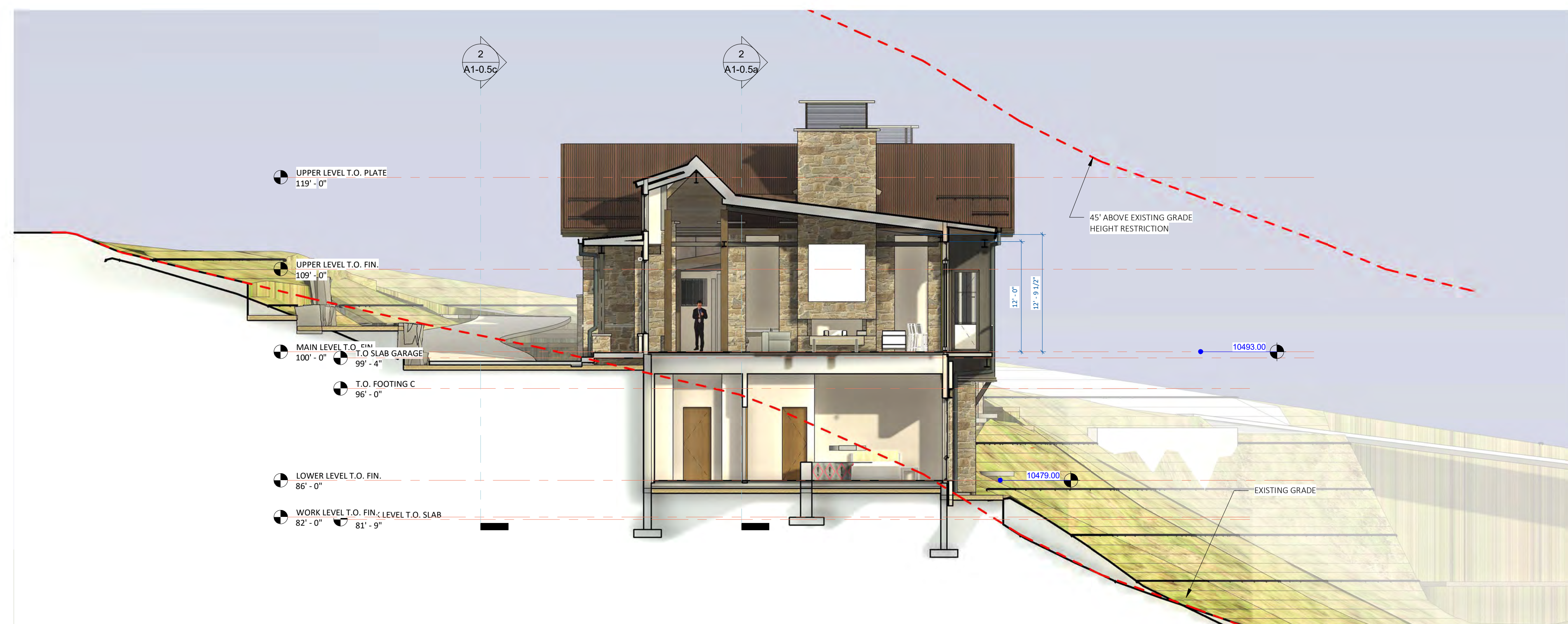
A1-0.5a
 SITE SECTIONS



1 SITE SECTION 1
 1/8" = 1'-0"



2 SITE SECTION 2
 1/8" = 1'-0"



3 SITE SECTION 3
 1/8" = 1'-0"



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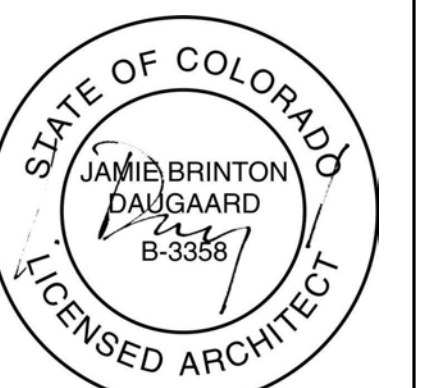
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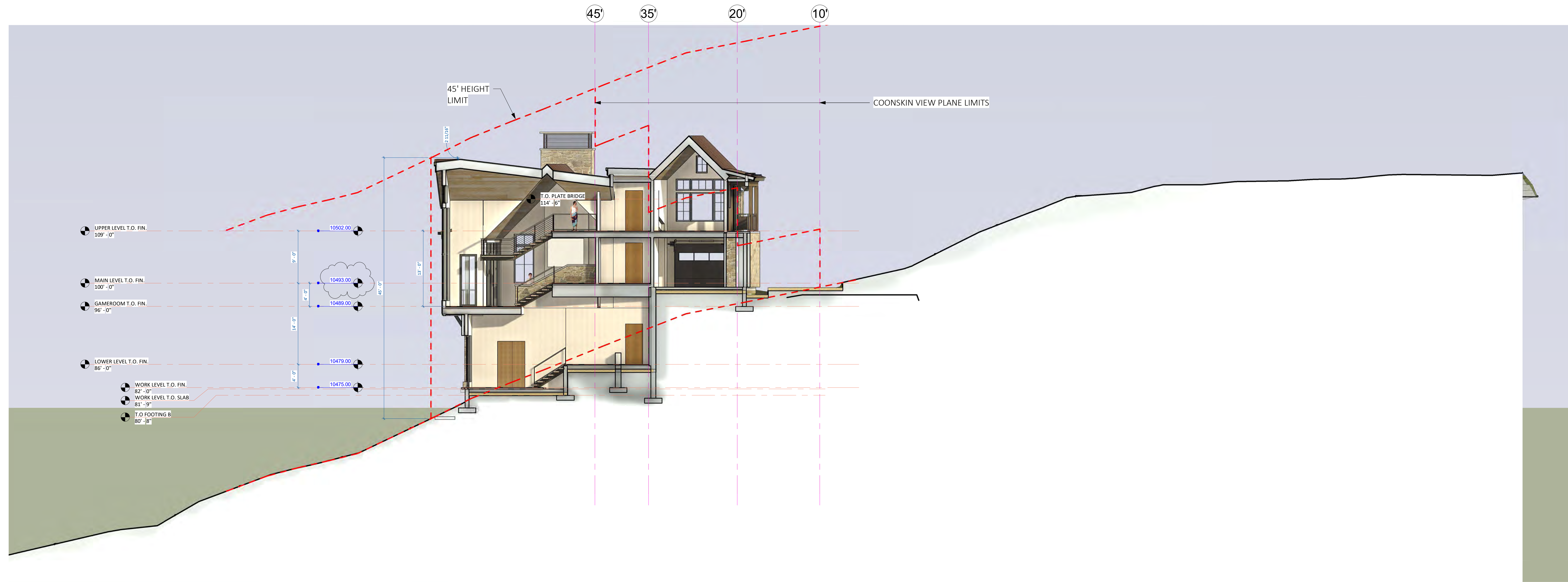
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A1-0.5b
 SITE SECTIONS



1 SITE SECTION 5
 1/8" = 1'-0"



2 SITE SECTION 11
 1/8" = 1'-0"



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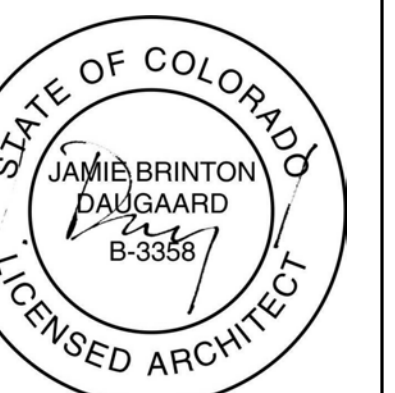
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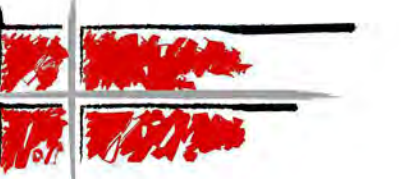
A1-0.5c
SITE SECTIONS



1 SITE SECTION 6
1/8" = 1'-0"



2 SITE SECTION 4
1/8" = 1'-0"



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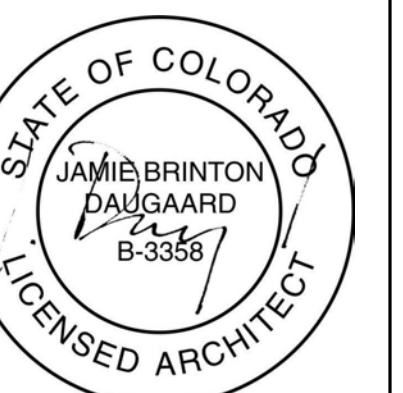
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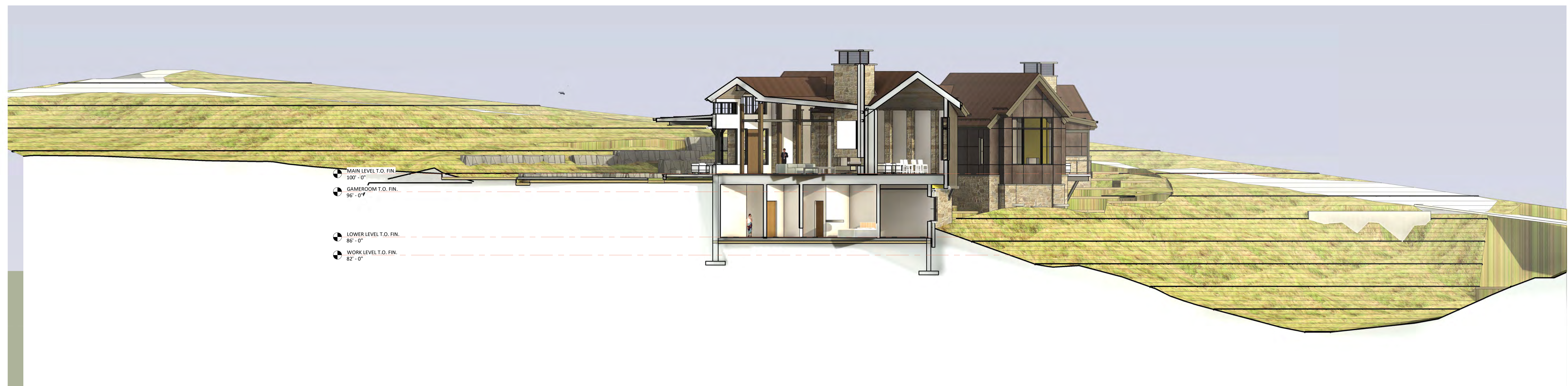
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A1-0.5d
SITE SECTIONS



1 SITE SECTION 10
1" = 10'-0"



2 SITE SECTION 9
1" = 10'-0"



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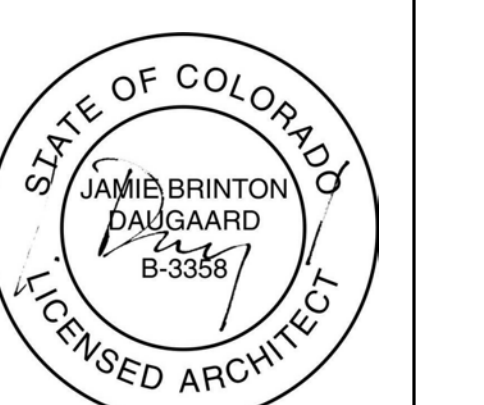
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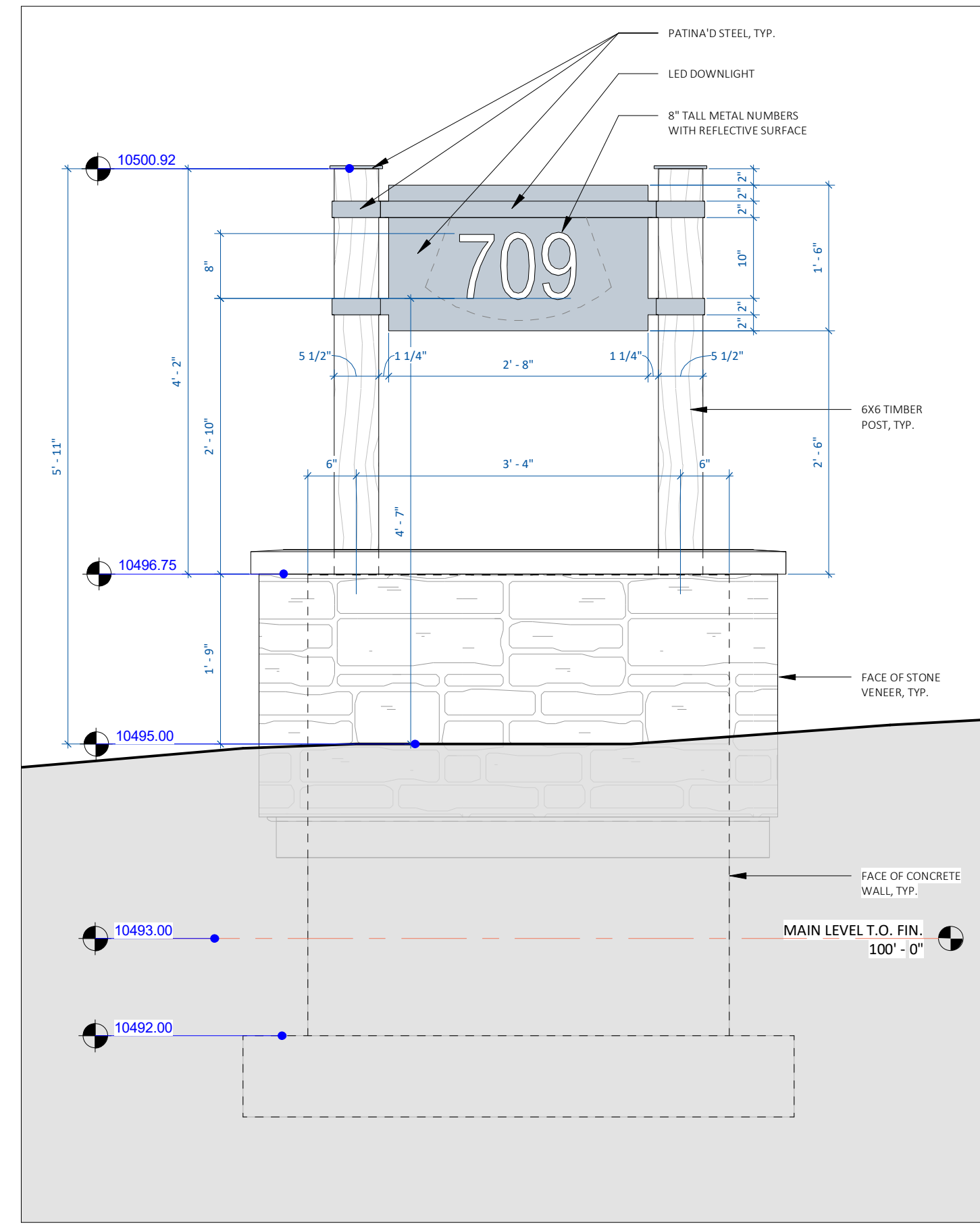
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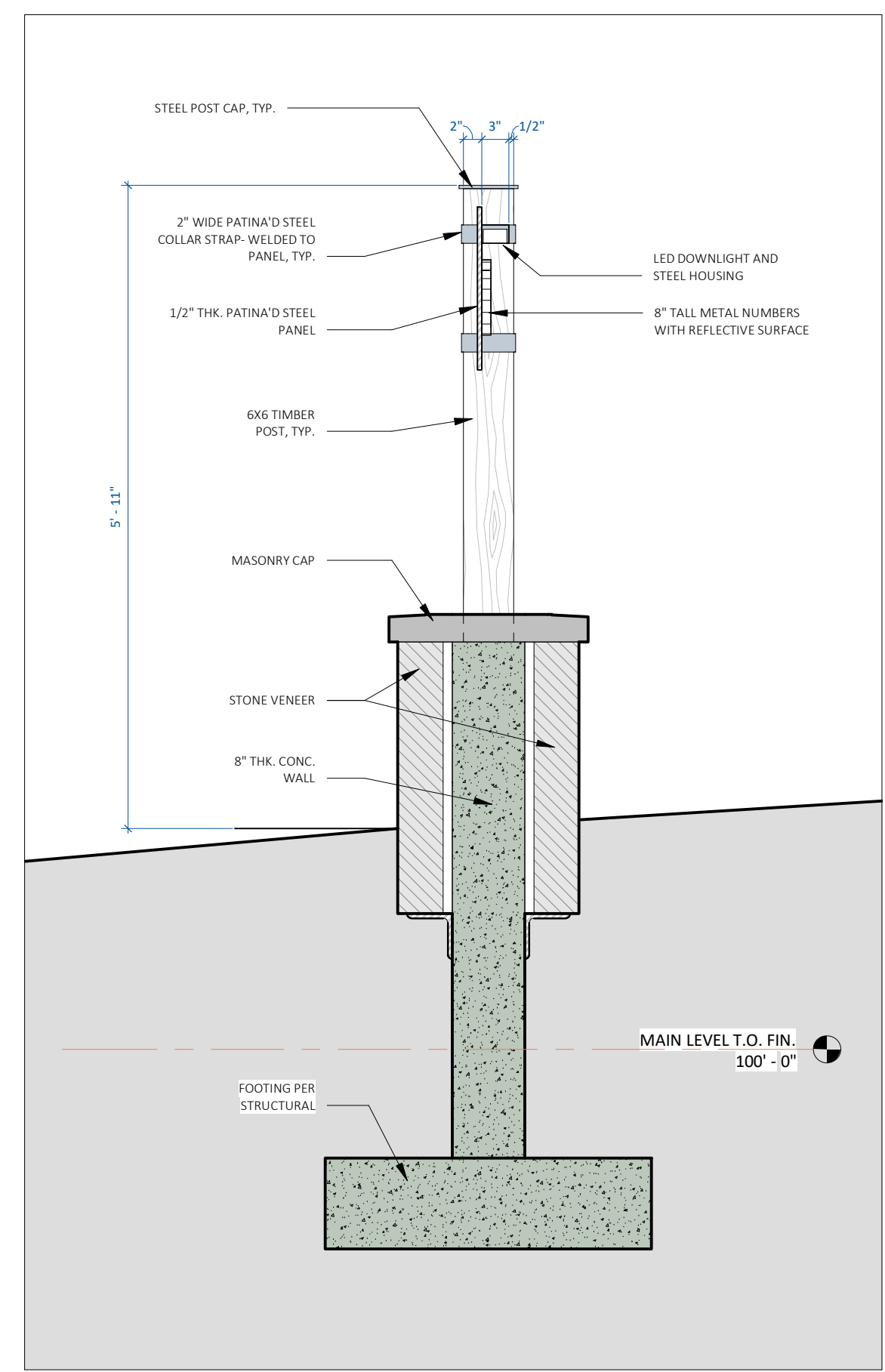
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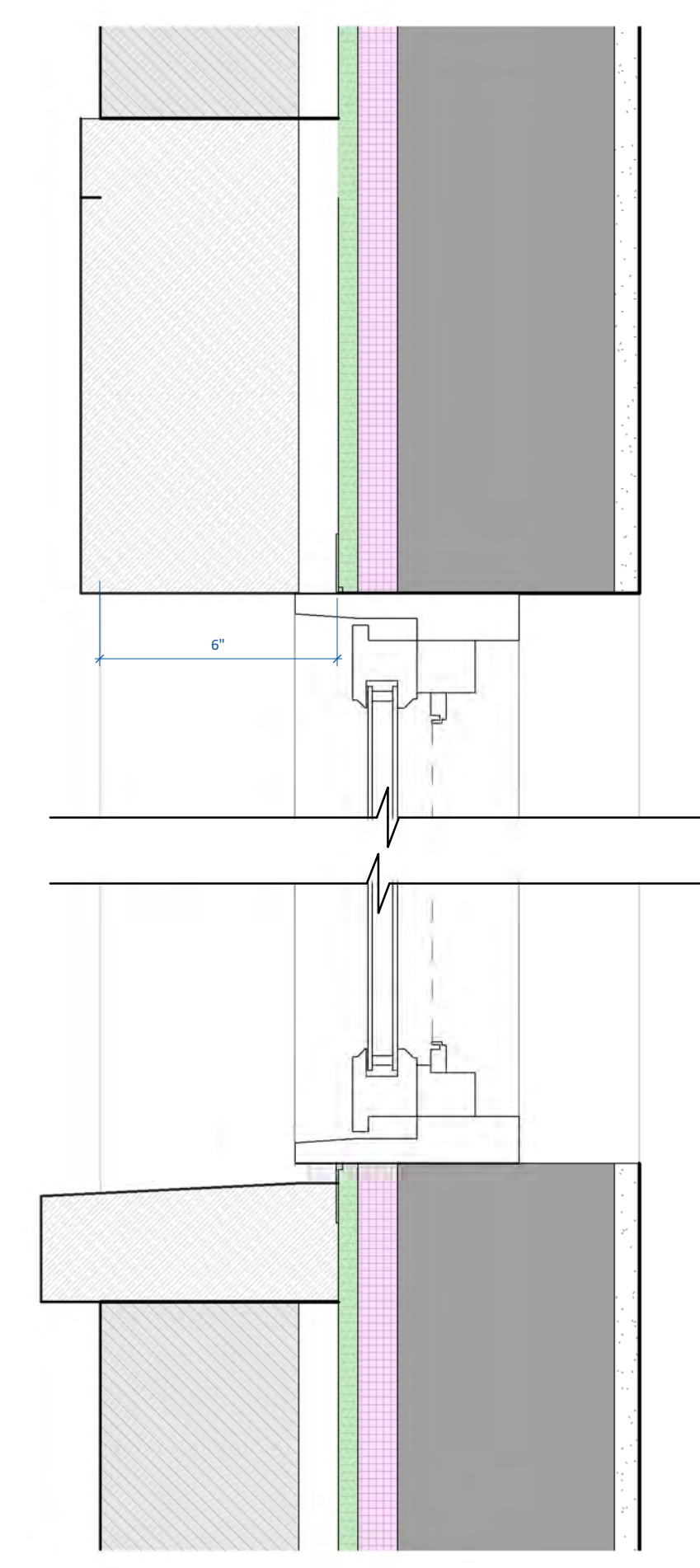
A1-0.6
 EXTERIOR DETAILS



1 ADDRESS MONUMENT 1
 3/4" = 1'-0"



2 ADDRESS MONUMENT 2
 3/4" = 1'-0"



3 TYPICAL STONE VENEER AT WINDOW
 3" = 1'-0"



SITE AERIAL



VIEW FROM GREAT ROOM



VIEW TO NORTH



VIEW TO NORTHEAST



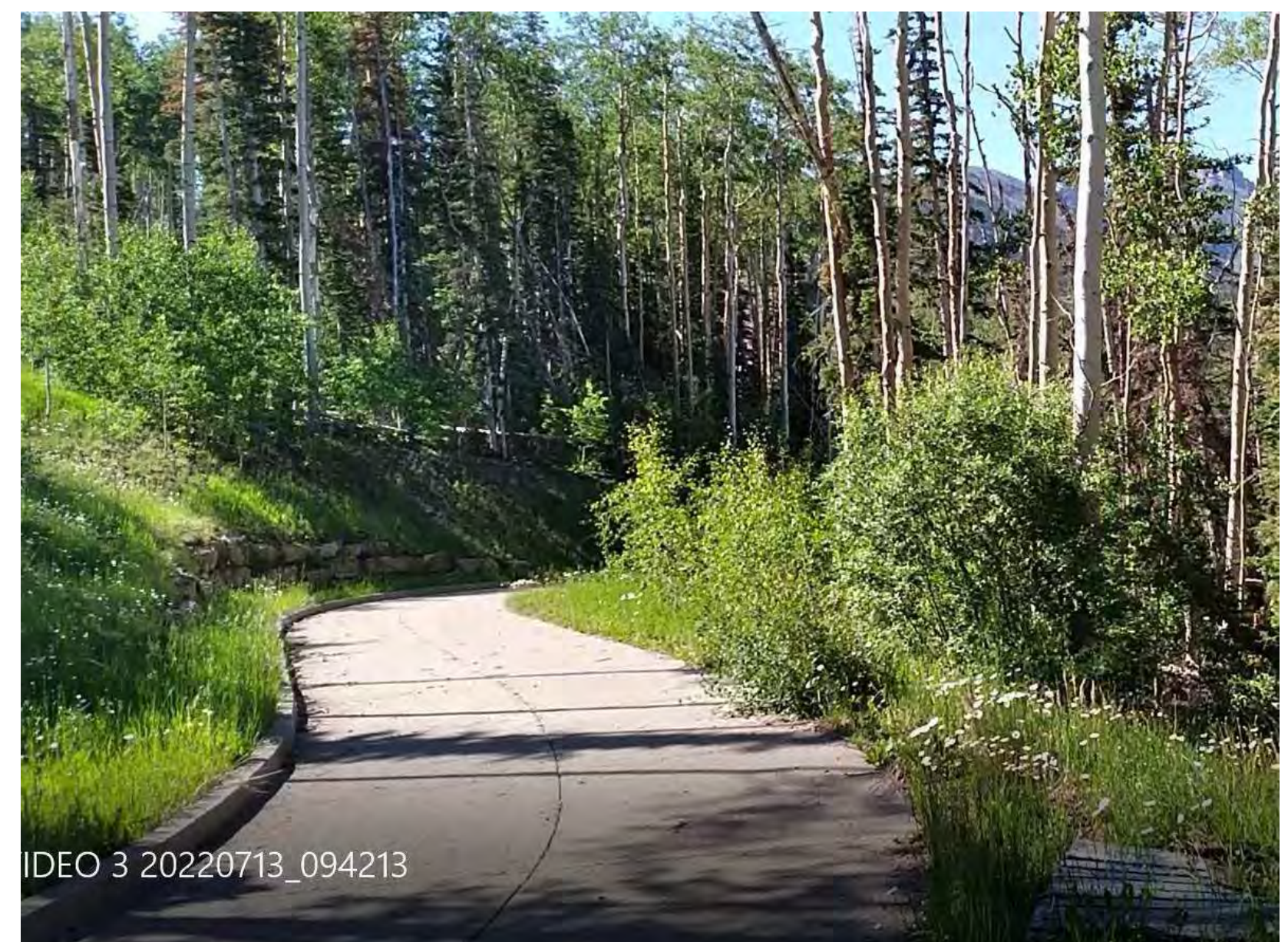
VIEW TO NORTH



VIEW TO THE NORTHEAST



VIEW TO TEAST



VIEW TO SOUTHEAST

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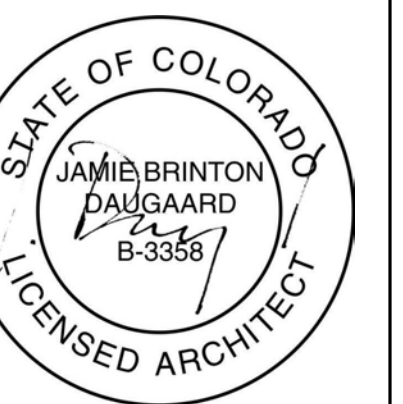
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A1-0.7

EXISTING SITE
PHOTOS



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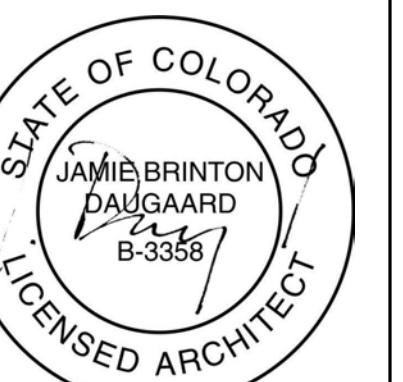
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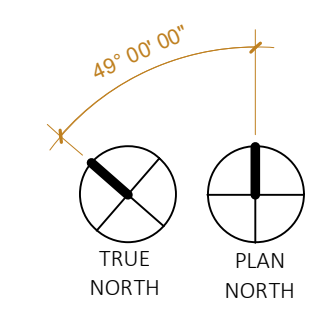
A1-1.1
LOWER LEVEL PLAN

Room Legend

BATH	GUEST SUITE 2	STAIR 100
BUNKROOM	HALL	WORK ROOM
CLOSET	LAUNDRY	
FUTURE	LOCKER	
GUEST SUITE 1	MECH.	



2 LOWER LEVEL FLOOR PLAN
3/16" = 1'-0"





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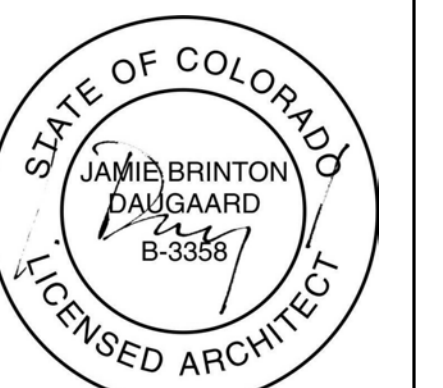
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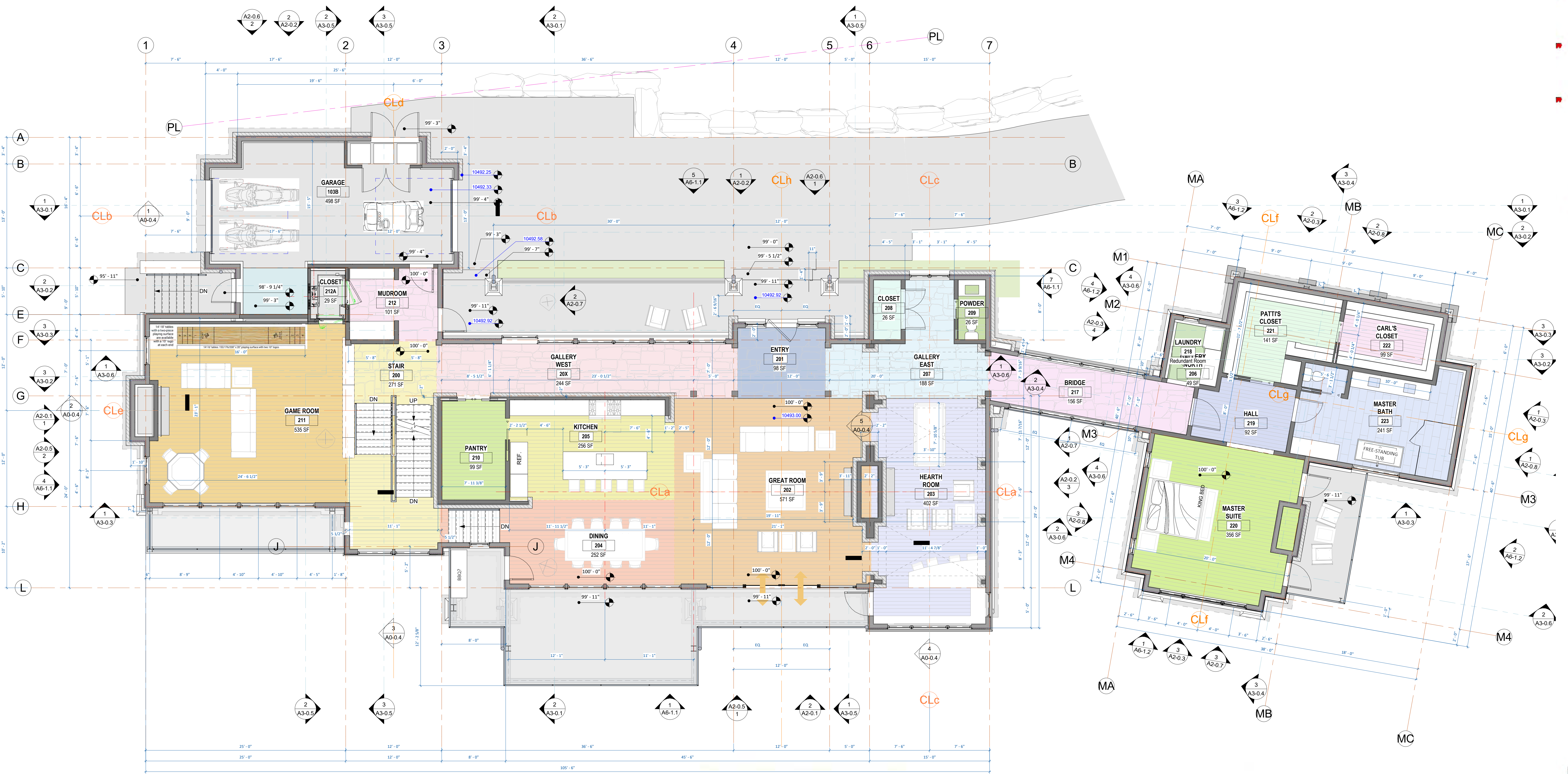
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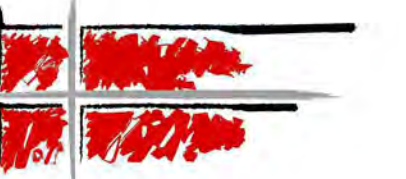
A1-1.2
MAIN LEVEL PLAN

Room Legend

BRIDGE	GALLERY NORTH	HEARTH ROOM	PANTRY
CARL'S CLOSET	GALLERY WEST	KITCHEN	PATTI'S CLOSET
CLOSET	GAME ROOM	LAUNDRY	POWDER
DINING	GARAGE	MASTER BATH	STAIR
ENTRY	GREAT ROOM	MASTER SUITE	
GALLERY EAST	HALL	MUDROOM	



1 MAIN LEVEL FLOOR PLAN
3/16" = 1'-0"



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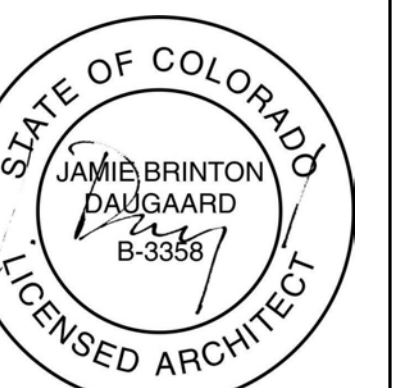
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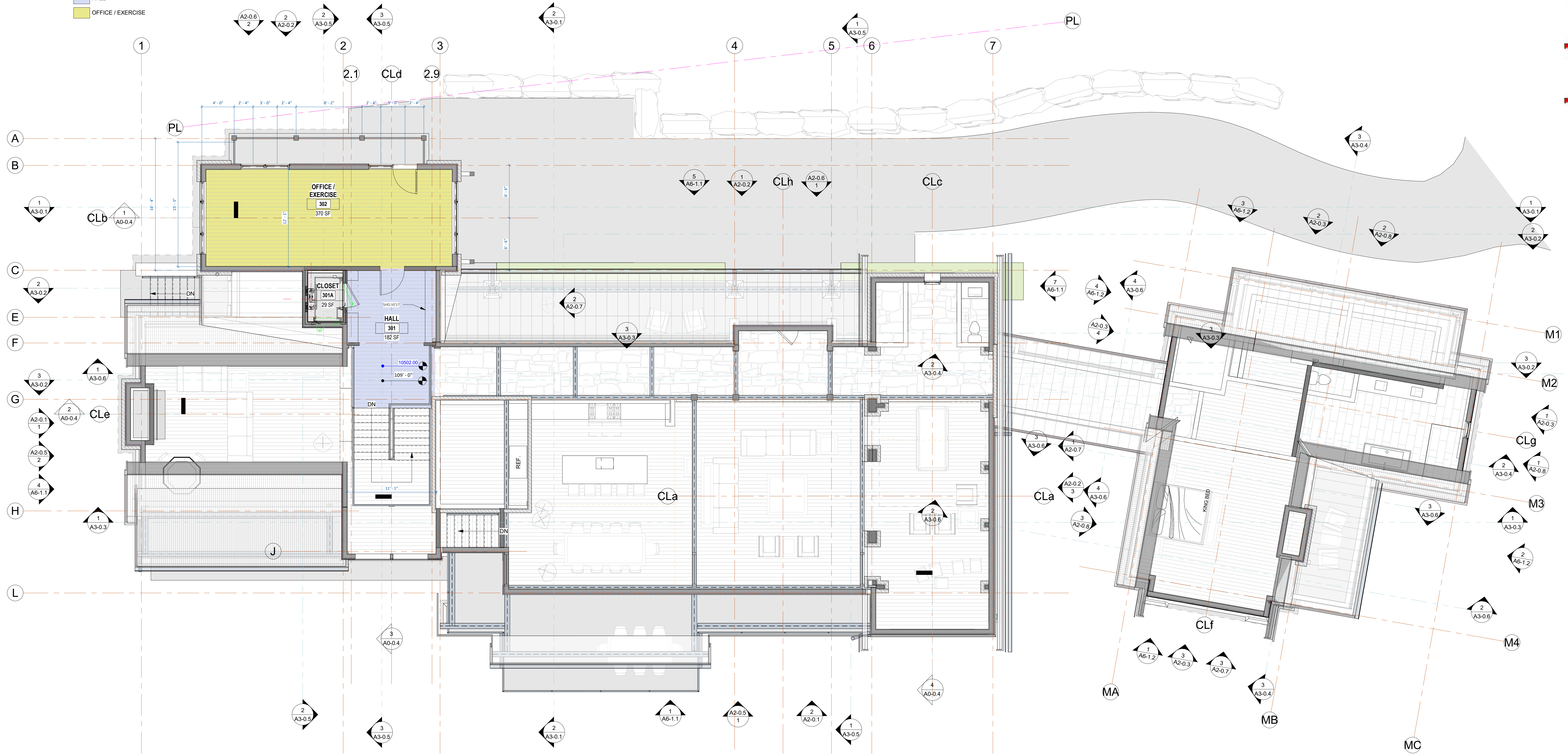


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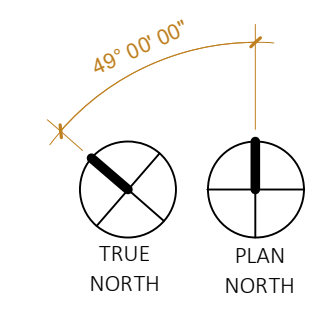
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A1-1.3
UPPER LEVEL PLAN

Room Legend
CLOSET
HALL
OFFICE / EXERCISE



2 UPPER LEVEL FLOOR PLAN
3/16" = 1'-0"



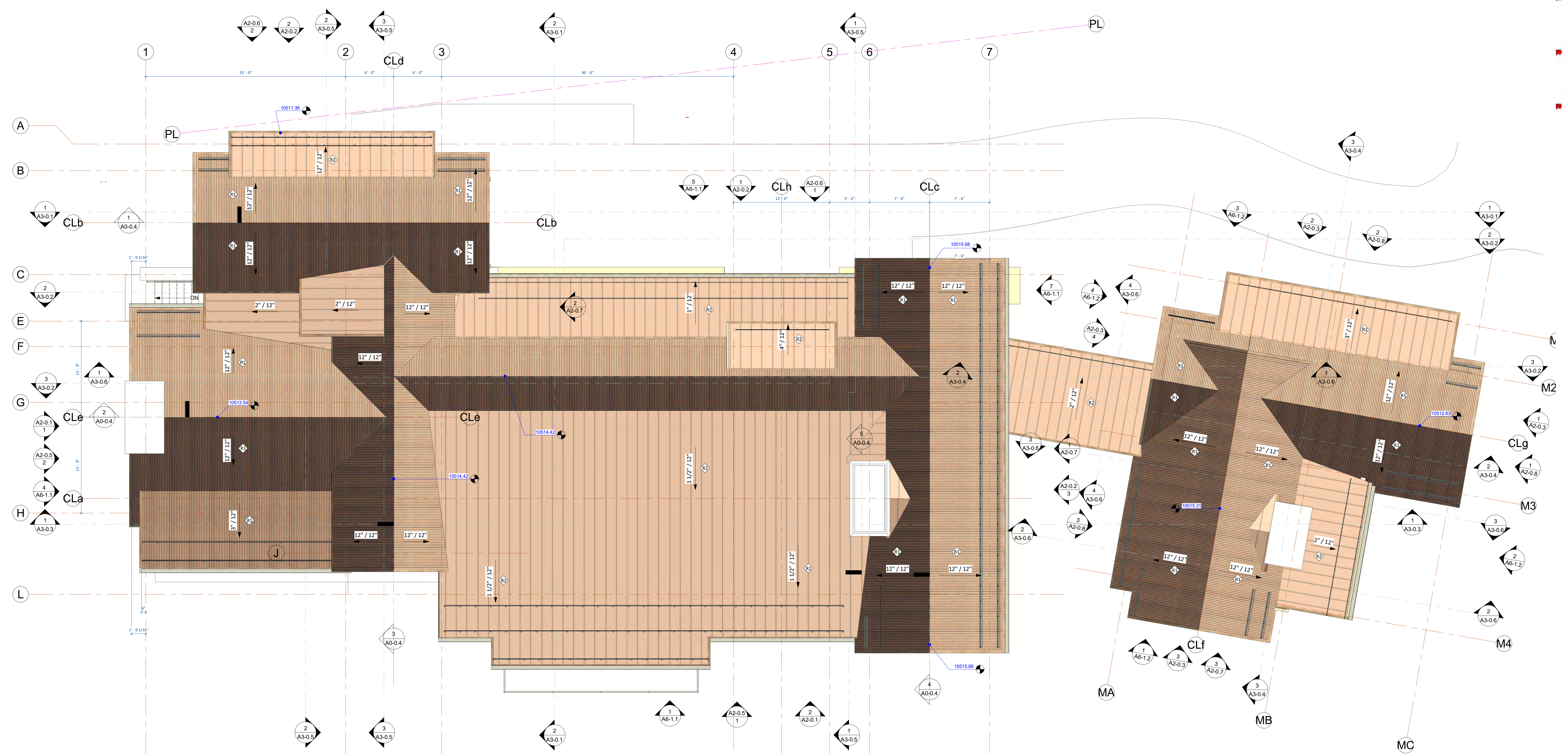


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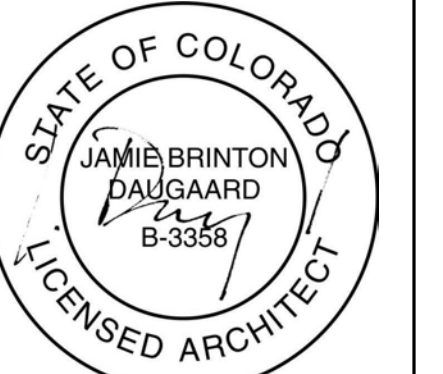
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1 ROOF PLAN
 3/16" = 1'-0"

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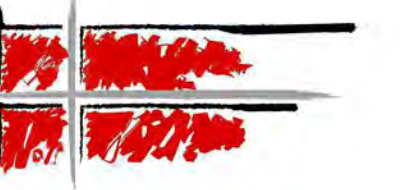
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A1-3.1
 ROOF PLAN



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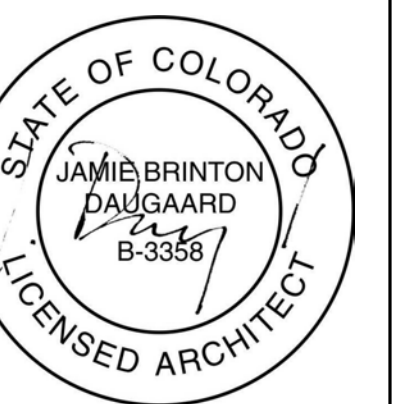
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THE RIDGE - UNIT 6
TELLURIDE COLORADO, 81435

NOT FOR
CONSTRUCTION



Issued For	Date
• 100% S.D.	1-25-2023
• Pricing #	
• DRB Initial Review	3-30-2023
• 100% D.D.	-
• DRB Final Review	-
• 100% C.D.	-
• REV. #	-

Drawn By MHB
Date 02-14-2023
Project # 2138.00
Phase DD
Sheet

A2-0.1

EXTERIOR
ELEVATIONS

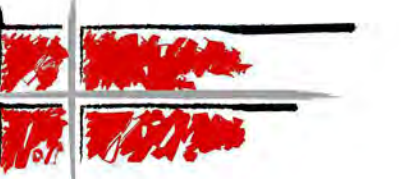


EXTERIOR MATERIALS LEGEND	
NOTE: REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS.	
	METAL ROOFING STANDING SEAM, 2" MECH. RIB W/ STRIATIONS & NAETIC, 36" RIB SPACING COLOR: DARK BRONZE MFR: BRIDGER STEEL
	BALLAST ROOFING SPERM ROOF W/RANDOM 1" TO 3" RIVER ROCK BALLAST, COLOR: DARK BRONZE THICKNESS: 60 MIL, RHINO BOND ATTACHMENT SYSTEM
	VERTICAL WOOD SIDING 2X8 W/D VERTICAL SHIP LAP COLOR: GRAY MFR: TBD
	STONE MASONRY VENEER NATURAL RECTANGULAR CUT, 1 1/2" THICK QUARRY WORKS FRONTIER LAYOUT: RE: 4/AS-1.2
	STEEL SIDING PATINATED STEEL SIDING PANELS, 1/8" W/ EXPOSED FASTENERS, SEE ELEVATIONS FOR SEAM SPACING PATTERN: VARED BROWN MFR: TBD RE: 7/AS-1.2
	BOARD FORMED CONCRETE

1 WEST ELEVATION
3/16" = 1'-0"



2 SOUTH ELEVATION
3/16" = 1'-0"



COLORADO:
10125 RANCHO MONTECITO
DR. PARKER, COLORADO 80138
P 303.840.0020

MONTANA:
P.O. BOX 161488
11 LONE PEAK DR., UNIT 206
BIG SKY, MONTANA 59716
P 406.995.7572

UTAH:
1960 SIDEWINDER DR., #101
PARK CITY, UTAH 84060
P 435.604.0891

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1 NORTH ELEVATION 1
3/16" = 1'-0"



2 NORTH ELEVATION 2
3/16" = 1'-0"

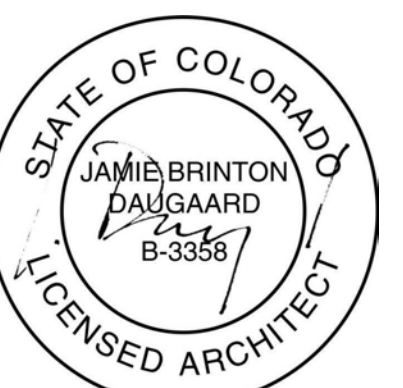
EXTERIOR MATERIALS LEGEND	
NOTE: REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS.	
	METAL ROOFING STANDING SEAM, 2" MECH. RIB W/ STRIATIONS & MASTIC, 1/8" RIB SPACING COLOR: DARK BRONZE MFR: BRIDGER STEEL
	BALLAST ROOFING EPDM ROOF W/RANDOM 1" TO 3" RIVER ROCK BALLAST, COLOR: DARK BRONZE THICKNESS: 60 MIL, RHINO BOND ATTACHMENT SYSTEM
	VERTICAL WOOD SIDING 2x8 WD VERTICAL SHIP LAP COLOR: GRAY MFR: TBD
	STONE MASONRY VENEER NATURAL RECTANGULAR CUT, 1 1/2" THICK QUARRY WORKS: FRONTIER LAYUP: RE: 4 / AS-1.2
	STEEL SIDING PATINATED STEEL SIDING PANELS, 1/8" W/ EXPOSED FASTENERS, SEE ELEVATIONS FOR SEAM SPACING PATINA: VARIED BROWN MFR: TBD RE: 7 / AS-1.2
	BOARD FORMED CONCRETE



3 EAST ELEVATION
3/16" = 1'-0"

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A2-0.2
EXTERIOR
ELEVATIONS

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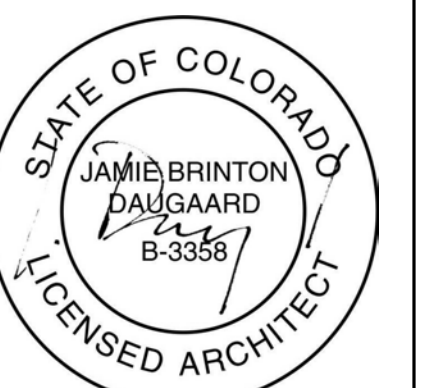
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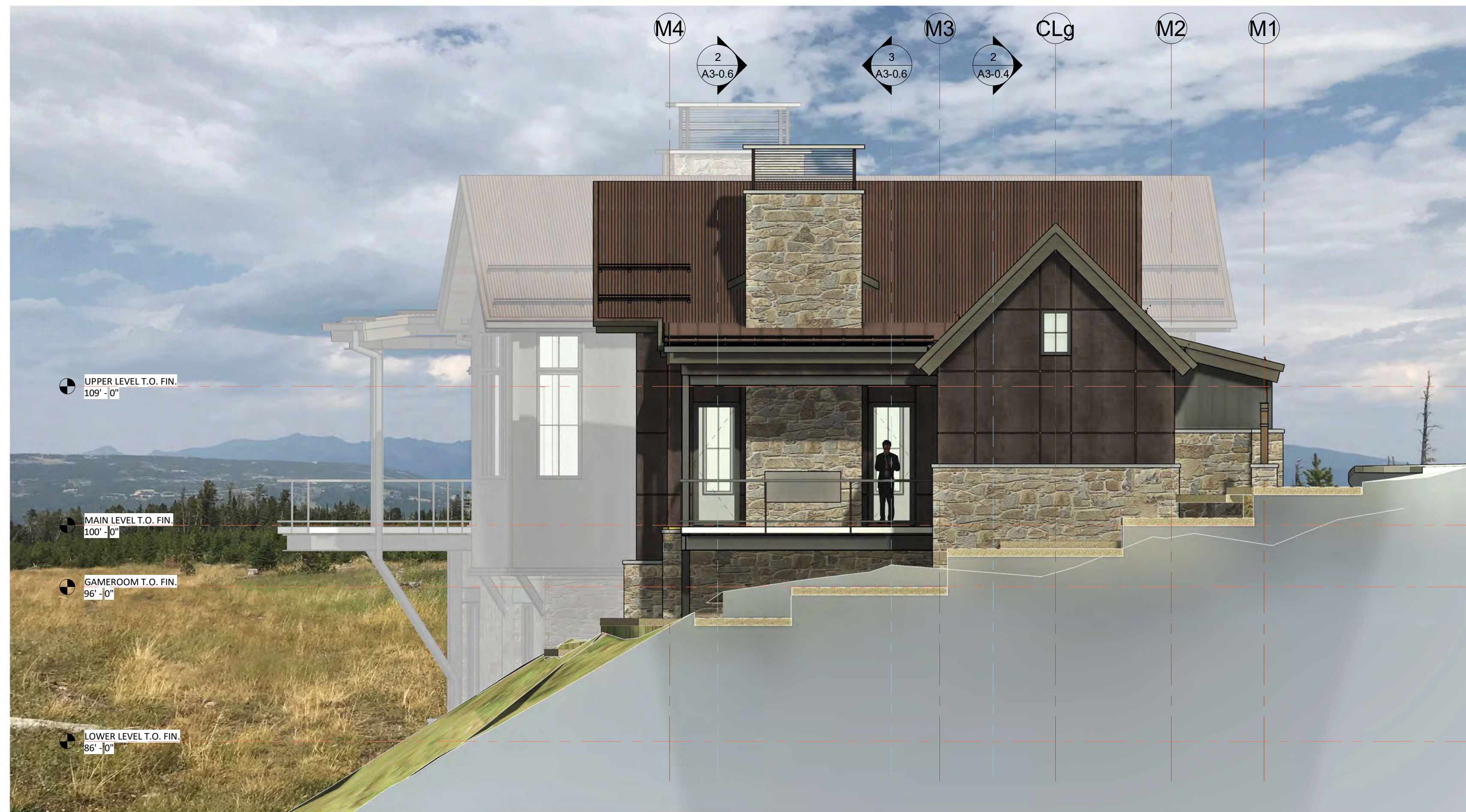


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A2-0.3

**EXTERIOR
ELEVATIONS**



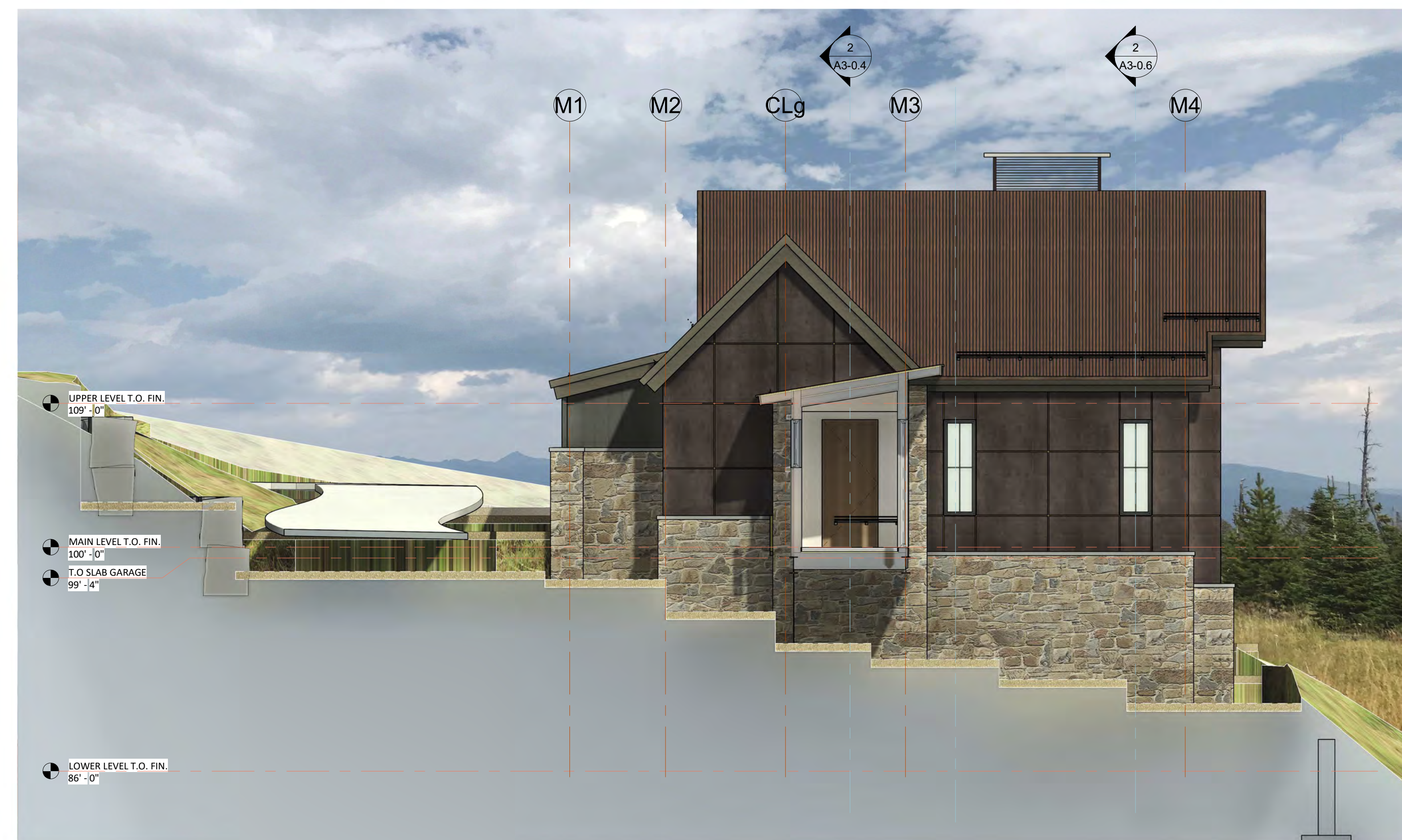
1 MASTER EAST ELEVATION
3/16" = 1'-0"



2 MASTER NORTH ELEVATION
3/16" = 1'-0"



3 MASTER SOUTH ELEVATION
3/16" = 1'-0"



4 MASTER WEST ELEVATION
3/16" = 1'-0"



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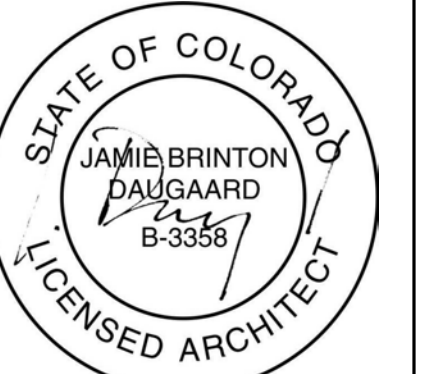
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 Project # 2138.00
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A2-0.5
EXTERIOR
MATERIAL
CALCULATIONS



1 SOUTH ELEVATION
1/4" = 1'-0"

SUMMARY OF EXTERIOR MATERIALS:

NORTH WALL		WEST WALL		SOUTH WALL		EAST WALL		OVERALL	
MARK	SF	MARK	SF	MARK	SF	MARK	SF	MARK	SF
S1	244	S1	322	S3	83	S1	418	STONE OVERALL	4487
S2	17	S2	414	S2	236	S2	134	METAL OVERALL	1547
S3	17	S3	386	S3	225	S3	26	WOOD OVERALL	2361
S4	9		54	S4	643		532	GLAZING OVERALL	2581
S5	9		55	S5	36		36	WALL OVERALL	10726
S6	79		65		65		65	STONE PERCENTAGE	41.37% (MINIMUM 35%)
S7-ELEV 2	323	M1	60	M1	74	M1	421	METAL PERCENTAGE	14.42%
		M2	71	M2	134	M2	26	WOOD PERCENTAGE	20.15%
		M3		M3		M3	4	GLAZING PERCENTAGE	24.06% (40% ALLOWABLE)
		M4		M4		M4			
		M5		M5		M5			
		M6		M6		M6			
		M7		M7		M7			
		M8		M8		M8			
		M9		M9		M9			
		M10		M10		M10			
		M11		M11		M11			
		M12		M12		M12			
		M13		M13		M13			
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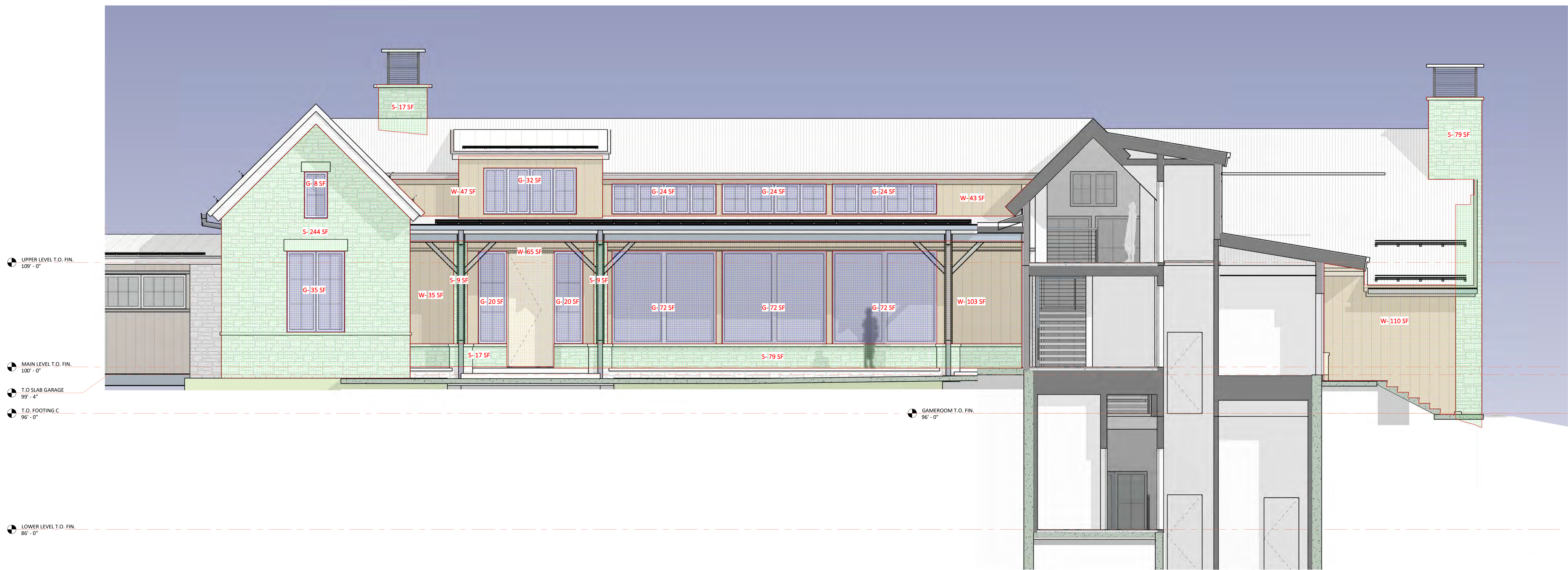
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A2-0.6
 EXTERIOR
 MATERIAL
 CALCULATIONS



1 NORTH ELEVATION
1/4" = 1'-0"

SUMMARY OF EXTERIOR MATERIALS:

NORTH WALL		WEST WALL		SOUTH WALL		EAST WALL 1&2		OVERALL	
MARK	SF	MARK	SF	MARK	SF	MARK	SF	MARK	SF
S1	244	S1	122	S1	89	S1	418	STONE OVERALL	4437
S2	17	S2	414	S2	286	S2	114	METAL OVERALL	1547
S3	17	S3	186	S3	225	S3		WOOD OVERALL	2161
S4	9		S4	643		S4	527	GLAZING OVERALL	2581
S5	9		S5	36		S5		WALL OVERALL	10716
S6	79		M1	65		M1	65	STONE PERCENTAGE	41.37% (MINIMUM 35%)
S7-ELEV 2	323		M2	40		M2	144	METAL PERCENTAGE	14.42%
			M3	71		M3	190	WOOD PERCENTAGE	20.15%
			M4	84		M4	104	GLAZING PERCENTAGE	34.06% (40% ALLOWABLE)
			M5	130		M5	302		
			M6	178		M6	211		
			M7	178		M7	211		
			M8	249		M8	249		
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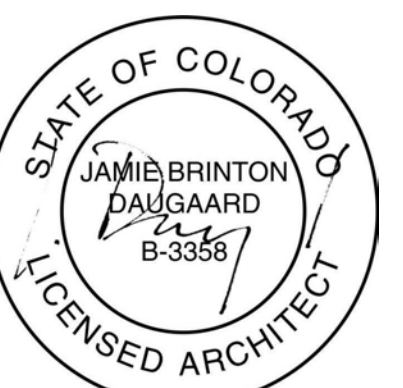
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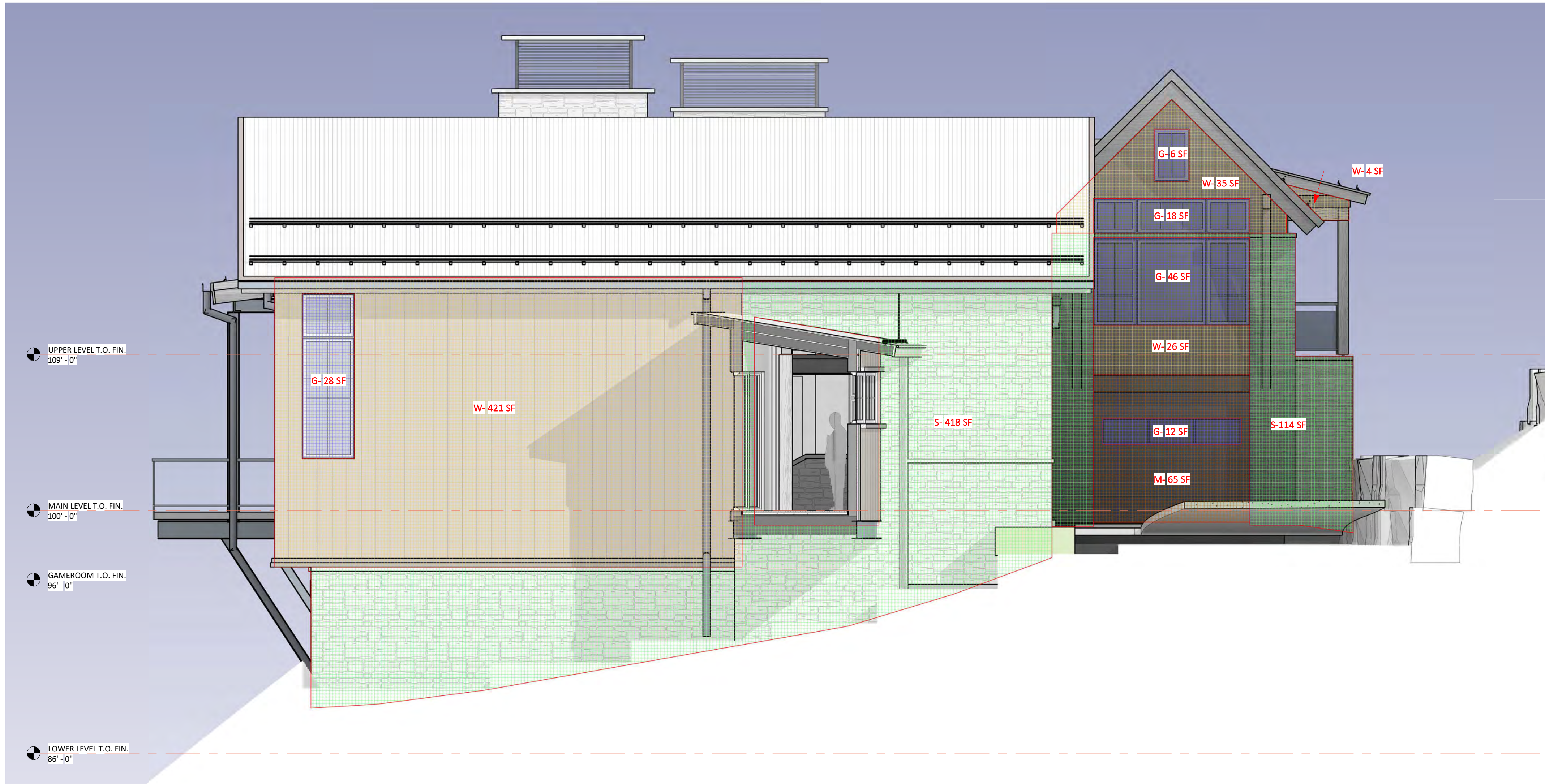
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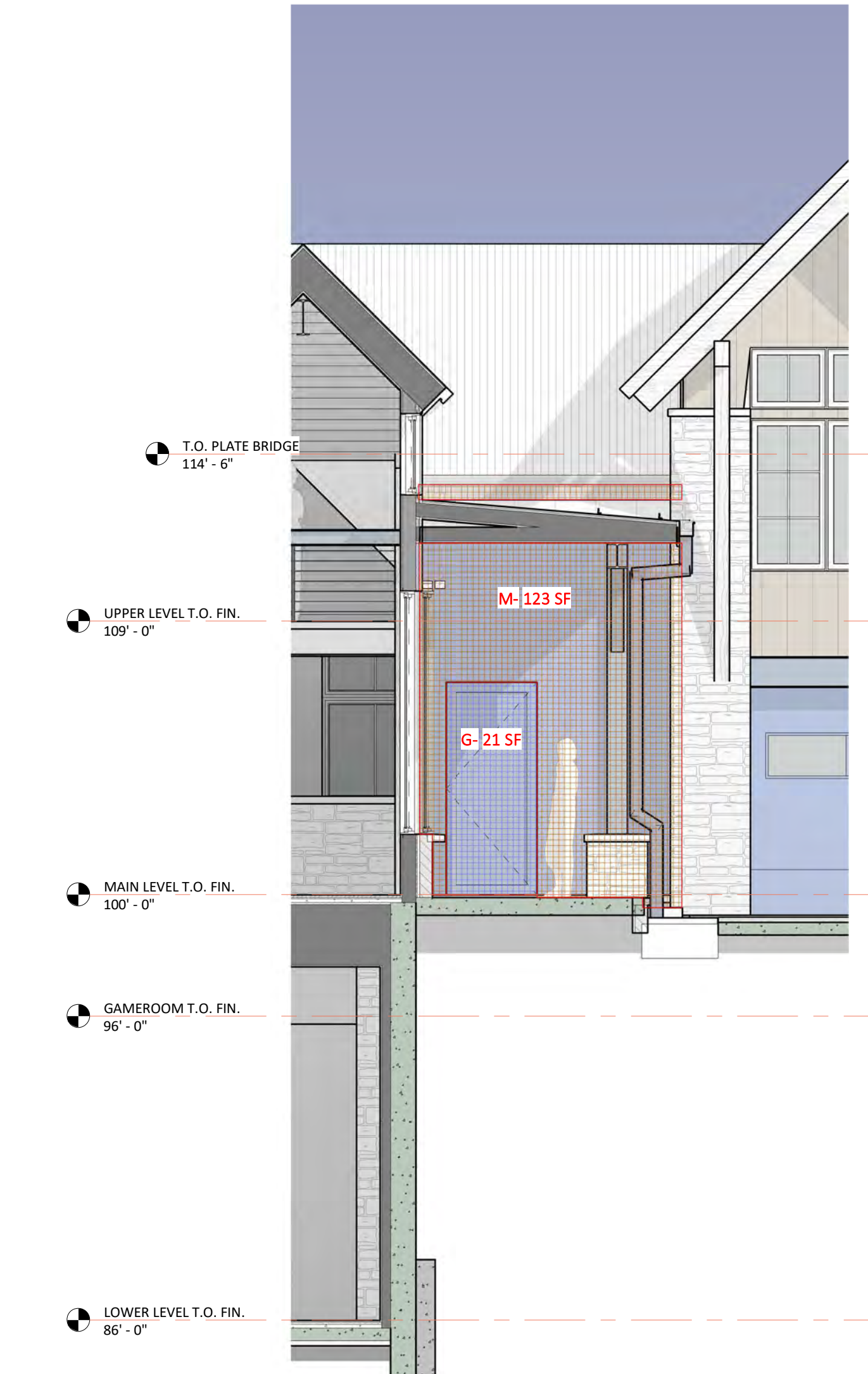
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• DRB Initial Review	3-30-2023
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Drawn By MHB
Date 02-14-2023
Project # 2138.00
Phase DD
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A2-0.7
EXTERIOR
MATERIAL
CALCULATIONS



1 EAST ELEVATION 1
1/4" = 1'-0"



2 EAST ELEVATION 2
1/4" = 1'-0"

SUMMARY OF EXTERIOR MATERIALS:

NORTH WALL MARK		WEST WALL MARK		SOUTH WALL MARK		EAST WALL MARK		OVERALL	
MARK	SF	MARK	SF	MARK	SF	MARK	SF	MARK	SF
S1	244	S1	322	S1	83	S1	418	STONE OVERALL	4437
S2	17	S2	454	S2	236	S2	314	METAL OVERALL	1547
S3	17	S3	186	S3	225	S3	225	STONE TOTAL	332
S4	9	S4	61	S4	143	S4	36	WOOD OVERALL	2361
S5	8	S5	36	S5	36	S5	36	GLAZING OVERALL	2581
S6	79	S6	65	S6	65	S6	65	WALL OVERALL	10726
S7-ELEV 2	323	M1	60	M1	74	M2-ELEV 2	223	STONE PERCENTAGE	41.37% (MINIMUM 35%)
STONE TOTAL	688	M2	71	M2	114	METAL TOTAL	288	METAL PERCENTAGE	14.42%
M1	0	M3	71	M3	74	WOOD TOTAL	180	WOOD PERCENTAGE	20.15%
METAL TOTAL	0	M4	35	M4	114	GLAZING TOTAL	1317	GLAZING PERCENTAGE	24.00% (40% ALLOWABLE)
W1	35	W1	4	W1	421	G1	28		
W2	47	W2	35	W2	25	G2	6		
W3	65	W3	26	W3	233	G3	18		
W4	63	W4	329	W4	190	W3	25		
W5	305	W5	61	W5	190	W4	4		
W6	10	W6	310	WOOD TOTAL	504	G1	28		
WOOD TOTAL	388	G1	61	G1	213	G2	6		
W7-ELEV 2	303	G2	38	G2	54	G3	18		
WOOD TOTAL	504	G3	6	G3	18	G4	64		
G1	8	G4	46	G4	144	G5-ELEV 2	12		
G2	35	G5	30	G5	76	GLAZING TOTAL	1317		
G3	32	G6	30	G6	113	WALL TOTAL	11317		
G4	20	G7	30	G7	228				
G5	20	G8	28	G8	63				
G6	24	G9	28	G9	63				
G7	24	G10	28	G10	63				
G8	24	G11	24	G11	105				
G9	72	G12	72	G12	105				
G10	72	WALL TOTAL	1512	GLAZING TOTAL	1292				
G11	72	GLAZING TOTAL	577	WALL TOTAL	1200				
G12-ELEV 2	104	WALL TOTAL	1799						
GLAZING TOTAL	577								
WALL TOTAL	1799								

MASTER NORTH WALL MARK		MASTER WEST WALL MARK		MASTER SOUTH WALL MARK		MASTER EAST WALL MARK	
MARK	SF	MARK	SF	MARK	SF	MARK	SF
S1	141	S1	56	S1	23	S1	46
S2	14	S2	249	S2	19	S2	85
S3	14	S3	19	S3	206	S3	213
S4	11	S4	46	S4	46	S4	98
STONE TOTAL	202	M1	113	STONE TOTAL	392	STONE TOTAL	403
M1	22	M2	178	M1	77	M1	29
M2	43	METAL TOTAL	292	M2	248	M2	34
METAL TOTAL	65	W1	23	M3	145	M3	32
W1	95	WOOD TOTAL	23	M4	147	M4	147
W2	22	G1	12	WOOD TOTAL	397	WOOD TOTAL	24
W3	136	G2	12	GLAZING TOTAL	0	WOOD TOTAL	24
WOOD TOTAL	233	GLAZING TOTAL	20	G1	128	G1	24
G1	6	WALL TOTAL	842	G2	116	G2	24
G2	8	GLAZING TOTAL	292	G3	48	G3	6
G3	48	WALL TOTAL	1041	GLAZING TOTAL	54		
GLAZING TOTAL	62	WALL TOTAL	1041				
WALL TOTAL	963						

TOTAL NORTH WALLS		TOTAL WEST WALLS		TOTAL SOUTH WALLS		TOTAL EAST WALLS	
STONE TOTAL	900	STONE TOTAL	1027	STONE TOTAL	1375	STONE TOTAL	935
METAL TOTAL	65	METAL TOTAL	467	METAL TOTAL	585	METAL TOTAL	430
WOOD TOTAL	737	WOOD TOTAL	431	WOOD TOTAL	508	WOOD TOTAL	109
GLAZING TOTAL	169	GLAZING TOTAL	250	GLAZING TOTAL	1077	GLAZING TOTAL	185
WALL TOTAL	2273	WALL TOTAL	2133	WALL TOTAL	4241	WALL TOTAL	2059



3 MASTER SOUTH ELEVATION- MATERIALS
1/4" = 1'-0"



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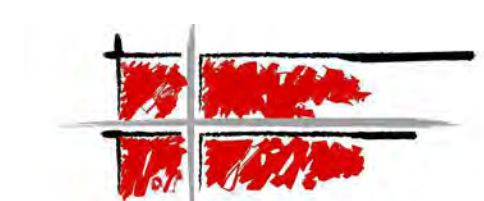
1 MASTER EAST ELEVATION- MATERIALS
1/4" = 1'-0"



2 MASTER NORTH ELEVATION- MATERIALS
1/4" = 1'-0"

SUMMARY OF EXTERIOR MATERIALS:

NORTH WALL		WEST WALL		SOUTH WALL		EAST WALL (RIDGE)		OVERALL	
MARK	SF	MARK	SF	MARK	SF	MARK	SF		SF
S1	244	S1	122	S1	83	S1	418	STONE OVERALL	4437
S2	17	S2	434	S2	236	S2	114	METAL OVERALL	1547
S3	13	S3	186	S3	225	S3	225	WOOD OVERALL	2561
S4	9	S4	54	S4	643	S4	523	GLAZING OVERALL	2581
S5	9	S5	35	S5	35	S5	35	WALL OVERALL	10726
S6	79	S6	65	S6	65	S6	65	STONE PERCENTAGE	41.37% (MINIMUM 35%)
S7- ELEV 2	323	M1	65	M2- ELEV 2	223	M1	65	METAL PERCENTAGE	14.42%
STONE TOTAL	698	M2	30	M2	74	M2	74	WOOD PERCENTAGE	20.13%
M1	0	M3	71	M3	114	M3	114	GLAZING PERCENTAGE	24.00% (40% ALLOWABLE)
METAL TOTAL	0	M4	170	M4	188	M4	421		
WOOD TOTAL	0	W1	6	W2	35	W2	35		
GLAZING TOTAL	0	W3	26	W3	223	W3	26		
WALL TOTAL	0	W4	129	W4	190	W4	26		
		W5	84	W5	190	W5	6		
		W6	61	W6	130	W6	38		
		W7	305	W7	504	W7	6		
		W8	0	W8	0	W8	0		
		W9	130	W9	504	W9	38		
		W10	0	W10	0	W10	0		
		W11	0	W11	0	W11	0		
		W12	0	W12	0	W12	0		
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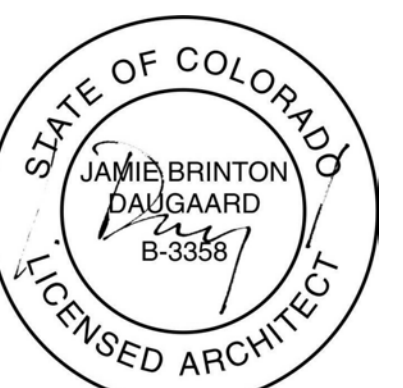
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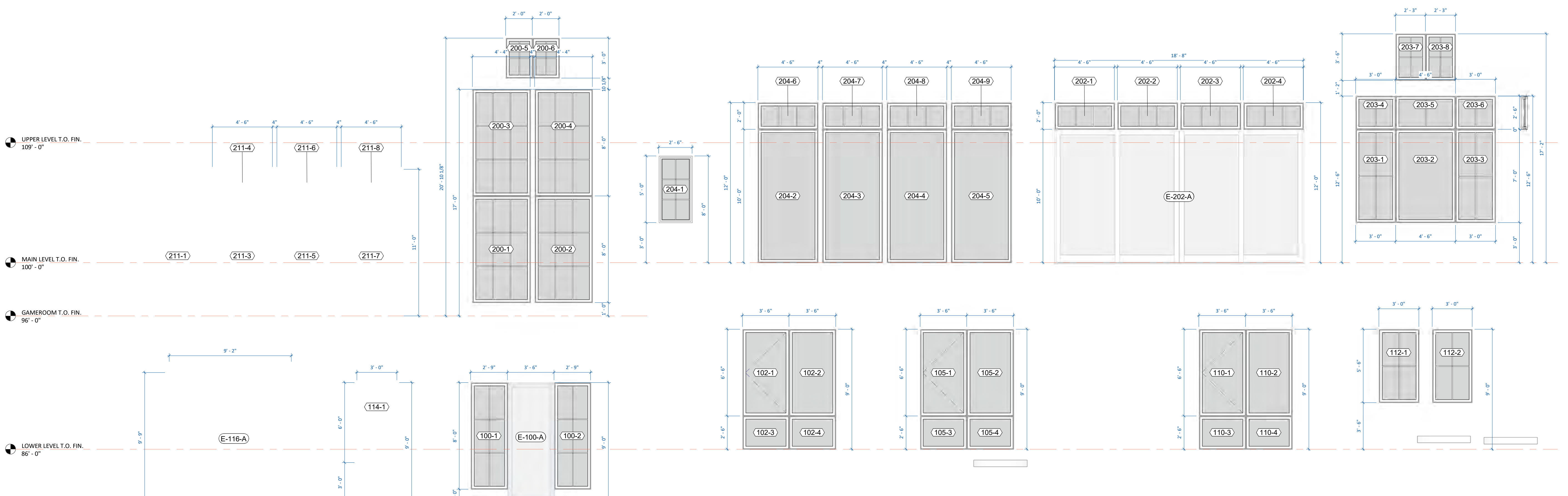


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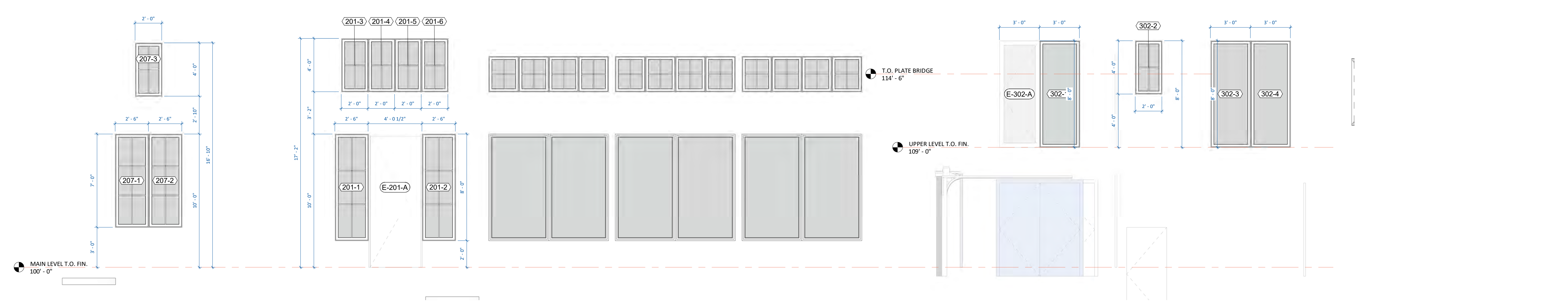
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A6-1.1
WINDOW & DOOR
ELEVATIONS

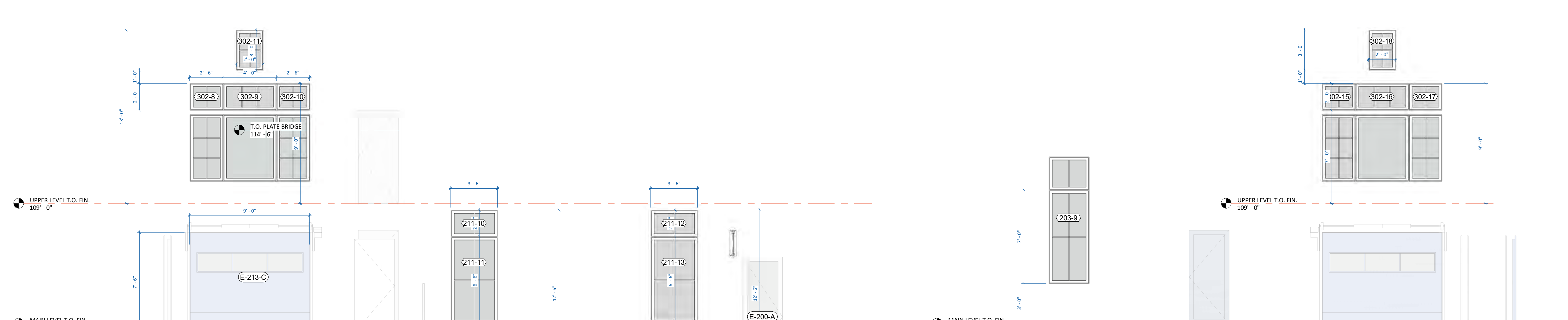
WINDOW AREAS					
Mark	ELEVATION	Width	Height	Area	
100-1	SOUTH	2'-9"	8'-0"	22 SF	
100-2	SOUTH	2'-9"	8'-0"	22 SF	
102-1	SOUTH	3'-6"	6'-6"	23 SF	
102-2	SOUTH	3'-6"	6'-6"	23 SF	
102-3	SOUTH	3'-6"	6'-6"	9 SF	
102-4	SOUTH	3'-6"	2'-6"	9 SF	
105-1	SOUTH	3'-6"	6'-6"	23 SF	
105-2	SOUTH	3'-6"	6'-6"	23 SF	
105-3	SOUTH	3'-6"	6'-6"	9 SF	
105-4	SOUTH	3'-6"	2'-6"	9 SF	
110-1	SOUTH	3'-6"	6'-6"	23 SF	
110-2	SOUTH	3'-6"	6'-6"	23 SF	
110-3	SOUTH	3'-6"	6'-6"	9 SF	
110-4	SOUTH	3'-6"	2'-6"	9 SF	
112-1	SOUTH	3'-0"	5'-6"	17 SF	
112-2	SOUTH	3'-0"	5'-6"	17 SF	
114-1	SOUTH	3'-0"	6'-0"	18 SF	
200-1	SOUTH	4'-4"	8'-0"	35 SF	
200-2	SOUTH	4'-4"	8'-0"	35 SF	
200-3	SOUTH	4'-4"	8'-0"	35 SF	
200-4	SOUTH	4'-4"	8'-0"	35 SF	
200-5	SOUTH	2'-0"	6'-6"	6 SF	
200-6	SOUTH	2'-0"	3'-0"	6 SF	
201-1	NORTH	2'-6"	8'-0"	20 SF	
201-2	NORTH	2'-6"	8'-0"	20 SF	
201-3	NORTH	2'-0"	4'-0"	8 SF	
201-4	NORTH	2'-0"	4'-0"	8 SF	
201-5	NORTH	2'-0"	4'-0"	8 SF	
201-6	NORTH	2'-0"	4'-0"	8 SF	
202-1	SOUTH	4'-6"	2'-0"	9 SF	
202-2	SOUTH	4'-6"	2'-0"	9 SF	
202-3	SOUTH	4'-6"	2'-0"	9 SF	
202-4	SOUTH	4'-6"	2'-0"	9 SF	
203-1	SOUTH	3'-0"	7'-0"	21 SF	
203-2	SOUTH	3'-0"	7'-0"	21 SF	
203-3	SOUTH	3'-0"	7'-0"	21 SF	
203-4	SOUTH	3'-0"	2'-6"	8 SF	
203-5	SOUTH	4'-6"	2'-6"	11 SF	
203-6	SOUTH	2'-0"	2'-0"	8 SF	
203-7	SOUTH	2'-3"	3'-6"	8 SF	
203-8	SOUTH	2'-3"	3'-6"	8 SF	
203-9	EAST	3'-0"	7'-0"	21 SF	
204-1	SOUTH	2'-6"	10'-0"	26 SF	
204-2	SOUTH	4'-6"	10'-0"	45 SF	
204-3	SOUTH	4'-6"	10'-0"	45 SF	
204-4	SOUTH	4'-6"	10'-0"	45 SF	
204-5	SOUTH	4'-6"	10'-0"	45 SF	
204-6	SOUTH	4'-6"	2'-0"	9 SF	
204-7	SOUTH	4'-6"	2'-0"	9 SF	
204-8	SOUTH	4'-6"	2'-0"	9 SF	
204-9	SOUTH	4'-6"	2'-0"	9 SF	
207-1	NORTH	2'-6"	7'-0"	18 SF	
207-2	NORTH	2'-6"	7'-0"	18 SF	
207-3	NORTH	2'-0"	4'-0"	8 SF	
207-4	NORTH	2'-3"	2'-8"	6 SF	
207-5	NORTH	2'-3"	2'-8"	6 SF	
207-6	NORTH	2'-3"	2'-8"	6 SF	
207-7	NORTH	2'-3"	2'-8"	6 SF	
207-8	NORTH	2'-3"	2'-8"	6 SF	
207-9	NORTH	2'-3"	2'-8"	6 SF	
207-10	NORTH	2'-3"	2'-8"	6 SF	
207-11	NORTH	2'-3"	2'-8"	6 SF	
207-12	NORTH	2'-3"	2'-8"	6 SF	
207-13	NORTH	2'-3"	2'-8"	6 SF	
207-14	NORTH	2'-3"	2'-8"	6 SF	
207-15	NORTH	2'-3"	2'-8"	6 SF	
207-30		4'-6"	8'-0"	36 SF	
207-31		4'-6"	8'-0"	36 SF	
207-32		4'-6"	8'-0"	36 SF	
207-33		4'-6"	8'-0"	36 SF	
207-34		4'-6"	8'-0"	36 SF	
207-35		4'-6"	8'-0"	36 SF	
207-36	SOUTH	4'-6"	2'-0"	9 SF	
207-38	EAST	3'-0"	2'-6"	8 SF	
207-39	M SOUTH	3'-0"	8'-0"	24 SF	
207-40	M SOUTH	5'-0"	8'-0"	40 SF	
207-41	M SOUTH	3'-0"	8'-0"	24 SF	
207-51		2'-6"	5'-0"	13 SF	
207-52		2'-6"	5'-0"	13 SF	
207-53		4'-0"	5'-0"	20 SF	
211-1	SOUTH	4'-6"	8'-0"	41 SF	
211-3	SOUTH	4'-6"	8'-0"	41 SF	
211-4	SOUTH	4'-6"	2'-0"	9 SF	
211-5	SOUTH	4'-6"	9'-0"	41 SF	
211-6	SOUTH	4'-6"	2'-0"	9 SF	
211-7	SOUTH	4'-6"	8'-0"	41 SF	
211-8	SOUTH	4'-6"	2'-0"	9 SF	
211-10	WEST	3'-6"	2'-0"	7 SF	
211-11	WEST	3'-6"	6'-6"	23 SF	
211-12	WEST	3'-6"	2'-0"	7 SF	
211-13	WEST	3'-6"	6'-6"	23 SF	
217-1	M SOUTH	4'-0"	8'-0"	32 SF	
217-3	M SOUTH	4'-0"	8'-0"	32 SF	
217-4	M SOUTH	4'-0"	8'-0"	32 SF	
217-5	M NORTH	4'-0"	3'-0"	12 SF	
217-6	M NORTH	4'-0"	3'-0"	12 SF	
217-7	M NORTH	4'-0"	3'-0"	12 SF	
217-8	M NORTH	4'-0"	3'-0"	12 SF	
217-12	M SOUTH	4'-0"	8'-0"	32 SF	
218-1	M NORTH	2'-0"	4'-0"	8 SF	
220-1	M SOUTH	3'-0"	8'-0"	24 SF	
220-2	M SOUTH	5'-0"	8'-0"	40 SF	
220-3	M SOUTH	3'-0"	8'-0"	24 SF	
220-4	M SOUTH	3'-0"	2'-6"	8 SF	
220-5	M SOUTH	5'-0"	2'-6"	13 SF	
220-6	M SOUTH	3'-0"	2'-6"	8 SF	
220-7	M WEST	2'-0"	6'-0"	12 SF	
220-8	M WEST	2'-0"	6'-0"	12 SF	
221-1	M NORTH	2'-0"	3'-0"	6 SF	
223-1	M SOUTH	6'-0"	6'-0"	36 SF	
223-2	M SOUTH	6'-0"	2'-0"	12 SF	
223-3	M EAST	2'-0"	3'-0"	6 SF	
302-1	NORTH	3'-0"	8'-0"	24 SF	
302-2	NORTH	2'-0"	4'-0"	8 SF	
302-3	NORTH	3'-0"	8'-0"	24 SF	
302-4	NORTH	2'-0"	4'-0"	8 SF	
302-5	WEST	2'-6"	5'-0"	13 SF	
302-6	WEST	4'-0"	5'-0"	20 SF	
302-7	WEST	2'-6"	5'-0"	13 SF	
302-8	WEST	2'-6"	5'-0"	13 SF	
302-9	WEST	4'-0"	2'-0"	8 SF	
302-10	WEST	2'-6"	2'-0"	5 SF	
302-11	WEST	2'-0"	3'-0"	6 SF	
302-15	EAST	2'-6"	2'-0"	5 SF	
302-16	EAST	4'-0"	2'-0"	8 SF	
302-17	EAST	2'-6"	2'-0"	5 SF	
302-18	EAST	2'-0"	3'-0"	6 SF	



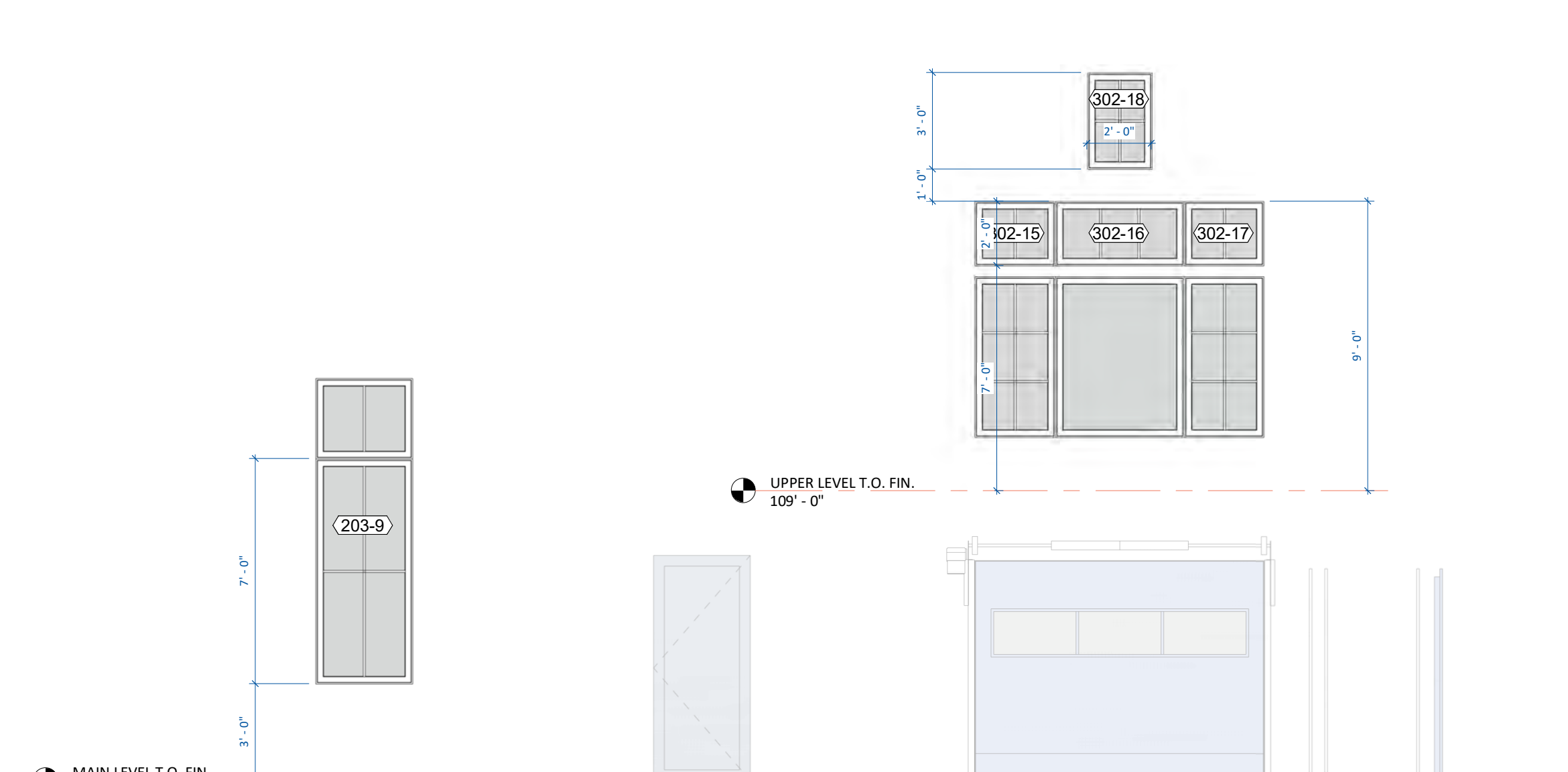
1 SOUTH ELEVATION- WINDOWS
1/4" = 1'-0"



5 NORTH ELEVATION- WINDOWS
1/4" = 1'-0"



4 WEST ELEVATION- WINDOWS
1/4" = 1'-0"



7 EAST ELEVATION- WINDOWS
1/4" = 1'-0"



COLORADO:
10125 RANCHO MONTECITO
DR. PARKER, COLORADO 80138
P 303.840.0020

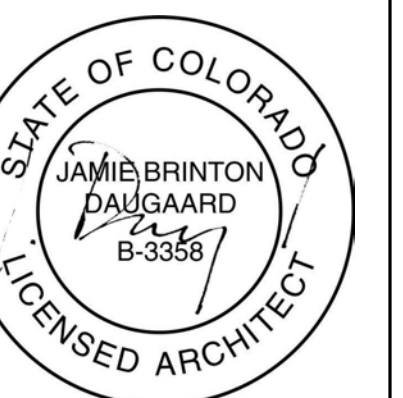
MONTANA:
P.O. BOX 161488
11 LONE PEAK DR., UNIT 206
BIG SKY, MONTANA 59716
P 406.995.7572

UTAH:
1960 SIDEWINDER DR., #101
PARK CITY, UTAH 84060
P 435.604.0391

www.centresky.com

MERZI RESIDENCE
THE RIDGE - UNIT 6
TELLURIDE COLORADO, 81435

NOT FOR
CONSTRUCTION

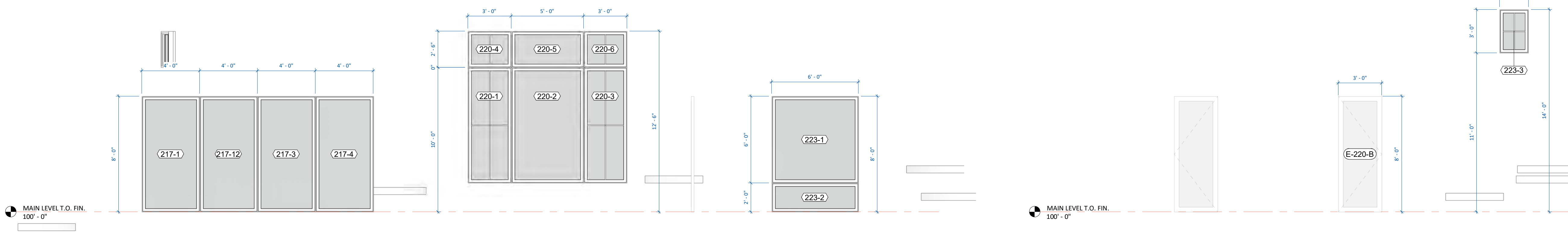


Issued For	Date
• 100% S.D.	1-25-2023
• Pricing #	
• DRB Initial Review	3-30-2023
• 100% D.D.	-
• DRB Final Review	-
• 100% C.D.	-
• REV. #	-

Drawn By Author
Date 02-14-2023
Project # 2138.00
Phase DD
Sheet

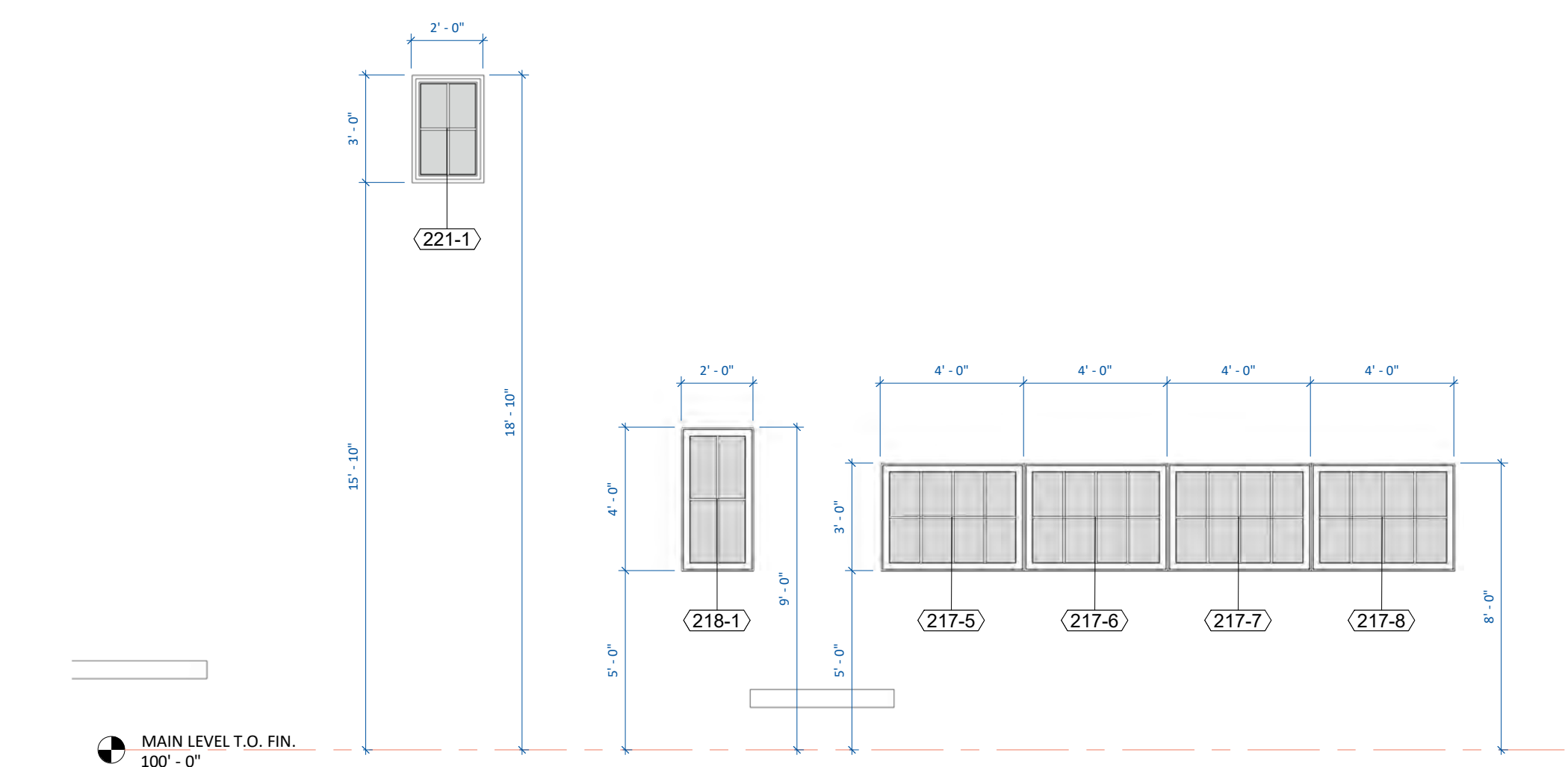
A6-1.2
WINDOW & DOOR
ELEVATIONS

WINDOW AREAS				
Mark	ELEVATION	Width	Height	Area
100-1	SOUTH	2'-0"	8'-0"	22 SF
100-2	SOUTH	2'-0"	8'-0"	22 SF
102-1	SOUTH	3'-6"	6'-6"	23 SF
102-2	SOUTH	3'-6"	6'-6"	23 SF
102-3	SOUTH	3'-6"	2'-6"	9 SF
102-4	SOUTH	3'-6"	2'-6"	9 SF
105-1	SOUTH	3'-6"	6'-6"	23 SF
105-2	SOUTH	3'-6"	6'-6"	23 SF
105-3	SOUTH	3'-6"	2'-6"	9 SF
105-4	SOUTH	3'-6"	2'-6"	9 SF
110-1	SOUTH	3'-6"	6'-6"	23 SF
110-2	SOUTH	3'-6"	6'-6"	23 SF
110-3	SOUTH	3'-6"	2'-6"	9 SF
110-4	SOUTH	3'-6"	2'-6"	9 SF
112-1	SOUTH	3'-0"	5'-6"	17 SF
112-2	SOUTH	3'-0"	5'-6"	17 SF
114-1	SOUTH	3'-0"	6'-0"	18 SF
200-1	SOUTH	4'-4"	8'-0"	35 SF
200-2	SOUTH	4'-4"	8'-0"	35 SF
200-3	SOUTH	4'-4"	8'-0"	35 SF
200-4	SOUTH	4'-4"	8'-0"	35 SF
200-5	SOUTH	2'-0"	3'-0"	6 SF
200-6	SOUTH	2'-0"	6'-0"	12 SF
201-1	NORTH	2'-6"	8'-0"	20 SF
201-2	NORTH	2'-6"	8'-0"	20 SF
201-3	NORTH	2'-0"	4'-0"	8 SF
201-4	NORTH	2'-0"	4'-0"	8 SF
201-5	NORTH	2'-0"	4'-0"	8 SF
201-6	NORTH	2'-0"	4'-0"	8 SF
202-1	SOUTH	4'-6"	2'-0"	9 SF
202-2	SOUTH	4'-6"	2'-0"	9 SF
202-3	SOUTH	4'-6"	2'-0"	9 SF
202-4	SOUTH	4'-6"	2'-0"	9 SF
203-1	SOUTH	3'-0"	7'-0"	21 SF
203-2	SOUTH	4'-6"	7'-0"	32 SF
203-3	SOUTH	3'-0"	7'-0"	21 SF
203-4	SOUTH	3'-0"	2'-6"	8 SF
203-5	SOUTH	4'-6"	2'-6"	11 SF
203-6	SOUTH	3'-0"	2'-6"	8 SF
203-7	SOUTH	2'-3"	3'-6"	8 SF
203-8	SOUTH	2'-3"	3'-6"	8 SF
203-9	EAST	3'-0"	7'-0"	21 SF
204-1	SOUTH	2'-6"	5'-0"	13 SF
204-2	SOUTH	4'-6"	10'-0"	45 SF
204-3	SOUTH	4'-6"	10'-0"	45 SF
204-4	SOUTH	4'-6"	10'-0"	45 SF
204-5	SOUTH	4'-6"	10'-0"	45 SF
204-6	SOUTH	4'-6"	2'-0"	9 SF
204-7	SOUTH	4'-6"	2'-0"	9 SF
204-8	SOUTH	4'-6"	2'-0"	9 SF
204-9	SOUTH	4'-6"	2'-0"	9 SF
207-1	NORTH	2'-6"	7'-0"	18 SF
207-2	NORTH	2'-6"	7'-0"	18 SF
207-3	NORTH	2'-0"	4'-0"	8 SF
207-4	NORTH	2'-3"	2'-8"	6 SF
207-5	NORTH	2'-3"	2'-8"	6 SF
207-6	NORTH	2'-3"	2'-8"	6 SF
207-7	NORTH	2'-3"	2'-8"	6 SF
207-8	NORTH	2'-3"	2'-8"	6 SF
207-9	NORTH	2'-3"	2'-8"	6 SF
207-10	NORTH	2'-3"	2'-8"	6 SF
207-11	NORTH	2'-3"	2'-8"	6 SF
207-12	NORTH	2'-3"	2'-8"	6 SF
207-13	NORTH	2'-3"	2'-8"	6 SF
207-14	NORTH	2'-3"	2'-8"	6 SF
207-15	NORTH	2'-3"	2'-8"	6 SF
207-30		4'-6"	8'-0"	36 SF
207-31		4'-6"	8'-0"	36 SF
207-32		4'-6"	8'-0"	36 SF
207-33		4'-6"	8'-0"	36 SF
207-34		4'-6"	8'-0"	36 SF
207-35		4'-6"	8'-0"	36 SF
207-36	SOUTH	4'-6"	2'-0"	9 SF
207-38	EAST	3'-0"	2'-6"	8 SF
207-39	M SOUTH	3'-0"	8'-0"	24 SF
207-40	M SOUTH	5'-0"	8'-0"	40 SF
207-41	M SOUTH	3'-0"	8'-0"	24 SF
207-51		2'-6"	5'-0"	13 SF
207-52		2'-6"	5'-0"	13 SF
207-53		4'-0"	5'-0"	20 SF
211-1	SOUTH	4'-6"	9'-0"	41 SF
211-3	SOUTH	4'-6"	9'-0"	41 SF
211-4	SOUTH	4'-6"	2'-0"	9 SF
211-5	SOUTH	4'-6"	9'-0"	41 SF
211-6	SOUTH	4'-6"	2'-0"	9 SF
211-7	SOUTH	4'-6"	9'-0"	41 SF
211-8	SOUTH	4'-6"	2'-0"	9 SF
211-10	WEST	3'-6"	2'-0"	7 SF
211-11	WEST	3'-6"	6'-6"	23 SF
211-12	WEST	3'-6"	2'-0"	7 SF
211-13	WEST	3'-6"	6'-6"	23 SF
217-1	M SOUTH	4'-0"	8'-0"	32 SF
217-3	M SOUTH	4'-0"	8'-0"	32 SF
217-4	M SOUTH	4'-0"	8'-0"	32 SF
217-5	M NORTH	4'-0"	3'-0"	12 SF
217-6	M NORTH	4'-0"	3'-0"	12 SF
217-7	M NORTH	4'-0"	3'-0"	12 SF
217-8	M NORTH	4'-0"	3'-0"	12 SF
217-12	M SOUTH	4'-0"	8'-0"	32 SF
218-1	M NORTH	2'-0"	4'-0"	8 SF
220-1	M SOUTH	3'-0"	8'-0"	24 SF
220-2	M SOUTH	5'-0"	8'-0"	40 SF
220-3	M SOUTH	3'-0"	8'-0"	24 SF
220-4	M SOUTH	3'-0"	2'-6"	8 SF
220-5	M SOUTH	5'-0"	2'-6"	13 SF
220-6	M SOUTH	3'-0"	2'-6"	8 SF
220-7	M WEST	2'-0"	6'-0"	12 SF
220-8	M WEST	2'-0"	6'-0"	12 SF
223-1	M NORTH	2'-0"	3'-0"	6 SF
223-1	M SOUTH	6'-0"	6'-0"	36 SF
223-2	M SOUTH	6'-0"	2'-0"	12 SF
223-3	M EAST	2'-0"	3'-0"	6 SF
302-1	NORTH	3'-0"	8'-0"	24 SF
302-2	NORTH	2'-0"	4'-0"	8 SF
302-3	NORTH	3'-0"	8'-0"	24 SF
302-4	NORTH	3'-0"	8'-0"	24 SF
302-5	WEST	2'-6"	5'-0"	13 SF
302-6	WEST	4'-0"	5'-0"	20 SF
302-7	WEST	2'-6"	5'-0"	13 SF
302-8	WEST	2'-6"	2'-0"	5 SF
302-9	WEST	4'-0"	2'-0"	8 SF
302-10	WEST	2'-6"	2'-0"	5 SF
302-11	WEST	2'-0"	3'-0"	6 SF
302-15	EAST	2'-6"	2'-0"	5 SF
302-16	EAST	4'-0"	2'-0"	8 SF
302-17	EAST	2'-6"	2'-0"	5 SF
302-18	EAST	2'-0"	3'-0"	6 SF

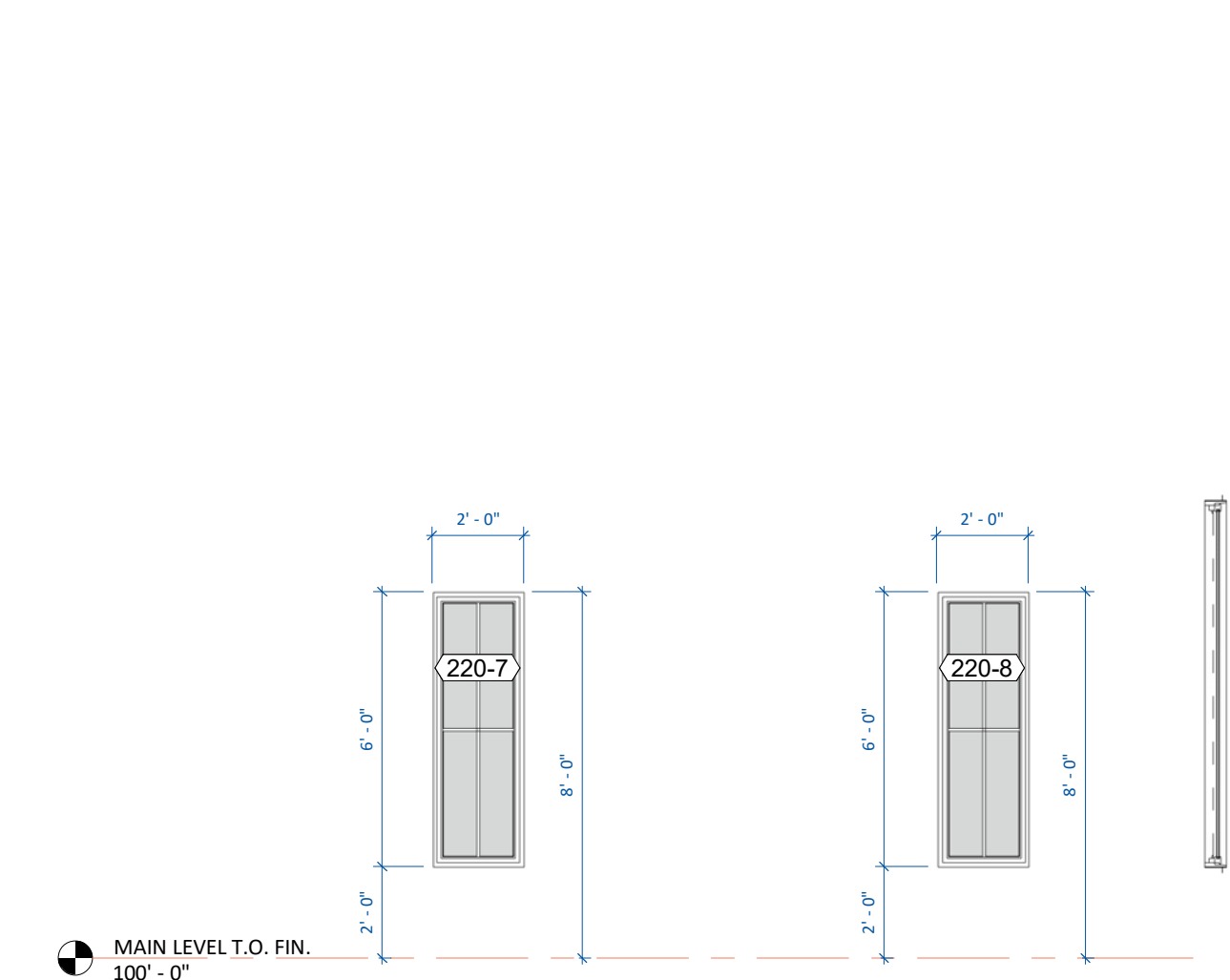


1 MASTER SOUTH ELEV. - WINDOWS
1/4" = 1'-0"

2 MASTER EAST ELEV. - WINDOWS
1/4" = 1'-0"



3 MASTER NORTH ELEV. - WINDOWS
1/4" = 1'-0"



4 MASTER WEST ELEV. - WINDOWS
1/4" = 1'-0"

EXHIBIT D

From: [Kaye Simonson](#)
To: [Claire Perez](#); [Amy Ward](#); [Chris Hawkins](#)
Cc: [Ron Quarles](#); [John Huebner](#); [Amy Markwell](#)
Subject: Re: 161A-4 The Ridge Referral Form
Date: Monday, March 20, 2023 3:06:07 PM

We have reviewed the request for the ridgeline variance for Lot 161A-4. Based on the information provided, it is very hard to determine if the proposed structure will be visible and what those impacts will be. Additionally, it is very difficult to know exactly where to look for the illuminated story poles. If it is snowing, they will not be visible. If it is clear, the waxing moon would be bright enough to make small lights hard to see. We would strongly encourage the applicant provide an up-to-date View Study, similar to that prepared by Christopher Kennedy for Unit 12 of the Ridge. That document was highly effective in demonstrating that the house would not be visible from the valley. Without that level of detail, we are unable to determine the visual impacts (or lack thereof) of the proposed house. Thank you.

Kaye

On Fri, Feb 17, 2023 at 1:46 PM Claire Perez <cperez@mtnvillage.org> wrote:

Hello,

We are resending the referral form for a design review application lot 161A-4 Unit 6, The Ridge, due to updates made to the plan set and a new variance application.

Information on the variance application can be found here:

https://townofmountainvillage.com/site/assets/files/40572/variance_to_the_coonskin_view_plan_height_restrictions-_lot_161a-4-_the_ridge_unit_6.pdf

The updated plan set can be found here

https://townofmountainvillage.com/site/assets/files/40424/design_review_lot_161a-4-_the_ridge_unit_6.pdf.

Best,

Claire Perez

Planner I

Planning & Development Services

Town of Mountain Village
455 Mountain Village Blvd. Suite A

From: [Claire Perez](#)
To: [Phil Taylor](#)
Cc: [Amy Ward](#)
Subject: RE: 161A-4 The Ridge Referral Form- Town of Telluride Comments
Date: Tuesday, February 21, 2023 3:39:16 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)

Phil,

Thank you for reviewing the application. Your comments will be shared with the Design Review Board and the applicant.

Warm Regards,

Claire Perez
Planner I
Planning & Development Services
Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, CO 81435
O :: 970.369.8103
C :: 970.708.1694

My office hours are 8am-5pm Monday – Friday. For immediate assistance email:
cd@mtnvillage.org

Si Usted necesita comunicarse conmigo y necesita servicio de traducción al español, simplemente háganoslo saber y podemos proporcionar tal servicio.

We are experiencing high volumes of development review and have limited staffing. Please be patient regarding our response time.

From: Phil Taylor <ptaylor@telluride-co.gov>
Sent: Tuesday, February 21, 2023 3:14 PM
To: Claire Perez <cperez@mtnvillage.org>
Cc: Amy Ward <award@mtnvillage.org>
Subject: RE: 161A-4 The Ridge Referral Form- Town of Telluride Comments

Good Afternoon Claire,

Thank you for the opportunity to review this variance application.

The Town of Telluride has reviewed this application for a variance to Section 17.5.16(B)(4) and do not have specific comments.

The applicant has stated that the proposed development will not be visible from any point on the Valley Floor, the Hillside or Eider Creek. If this is a true and accurate statement, the Town of Telluride does not object to this variance application. If any portion of this proposed project will be visible from the Valley Floor, the Hillside or Eider Creek the Town of Telluride would not support this variance application.

Please consider this email as referral comments regarding the variance application submitted for Lot 161A-4, The Ridge Unit 6.

If you have any questions or need more information, please let me know.

Thank you very much,
Philip Taylor, Senior Planner
Town of Telluride | Planning and Building Department
PO Box 397 | Telluride, CO 81435
Direct: 970.728.2170 | Fax: 970.728.3078



From: Claire Perez <cperez@mtnvillage.org>
Sent: Friday, February 17, 2023 1:46 PM
To: Finn KJome <FKJome@mtnvillage.org>; Rodney Walters <rwalters@mtnvillage.org>; Jory Hasler <JHasler@mtnvillage.org>; Chris Broady <CBroady@mtnvillage.org>; sheidergott@telluridefire.com; jeremy@smpa.com; terry@smpa.com; benjamin.wiles@smpa.com; bwilliams@smpa.com; brien.gardner@blackhillscorp.com; paul.ficklin@blackhillscorp.com; mike.gardner@lumen.com; kayes@sanmiguelcountyco.gov; Ron Quarles <rquarles@telluride-co.gov>
Cc: Amy Ward <award@mtnvillage.org>
Subject: 161A-4 The Ridge Referral Form

You don't often get email from cperez@mtnvillage.org. [Learn why this is important](#)

Hello,

We are resending the referral form for a design review application lot 161A-4 Unit 6, The Ridge, due to updates made to the plan set and a new variance application.

Information on the variance application can be found here:
https://townofmountainvillage.com/site/assets/files/40572/variance_to_the_coonskin_view_plan_h



**Referral Agency Comments Lot 161A-4,
The Ridge Unit 6:**

TFPD approves with the following conditions:

- 1) A monitored automatic sprinkler system in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes shall be installed.
- 2) A monitored fire alarm system in accordance with NFPA 72, 2018 IFC, and TFPD amended codes for a group R-3 occupancy shall be installed.
- 3) Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
- 4) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
- 5) TFPD recommends the installation of a Knoxbox for emergency access.

Hi Claire,
Public Works has no issues with this application.
Finn

Good Afternoon, Claire,

Thank you for the opportunity to review this variance application.

The Town of Telluride has reviewed this application for a variance to Section 17.5.16(B)(4) and do not have specific comments.

The applicant has stated that the proposed development will not be visible from any point on the Valley Floor, the Hillside or Eider Creek. If this is a true and accurate statement, the Town of Telluride does not object to this variance application. If any portion of this proposed project will be visible from the Valley Floor, the Hillside or Eider Creek the Town of Telluride would not support this variance application.

Please consider this email as referral comments regarding the variance application submitted for Lot 161A-4, The Ridge Unit 6.

If you have any questions or need more information, please let me know.

Thank you very much,
Philip Taylor, Senior Planner
Town of Telluride | Planning and Building Department
PO Box 397 | Telluride, CO 81435



**Referral Agency Comments
Lot 161A-4, The Ridge Unit 6:**

Forester Comments 3/7/2023:

A wildfire mitigation plan is required to be included in the plans (Community Development Code 17.6.1). A plan sheet will need to show the Zone 1 boundary with all combustible trees located within Zone 1 marked for removal.

A construction mitigation plan that shows the location for Limits of Disturbance and tree protection fencing is required (CDC 17.6.1).

A landscape plan is required (CDC 17.5.9).