

**TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING AGENDA
THURSDAY SEPTEMBER 7, 2023, 10:00 AM
MOUNTAIN VILLAGE TOWN HALL
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO
TO BE HELD HYBRID THROUGH ZOOM:
<https://us06web.zoom.us/j/81245118996>
Meeting ID: 812 4511 8996**

Zoom participation in public meetings is being offered as a courtesy, however technical difficulties can happen, and the Town bears no responsibility for issues that could prevent individuals from participating remotely. Physical presence in Council chambers is recommended for those wishing to make public comments or participate in public hearings.

	Time	Min.	Presenter	Type	
1.	10:00		Chair	Chair	Call to Order
2.	10:00	2	Perez	Action	<ol style="list-style-type: none"> 1. Reading and Approval of Summary of Motions of the September 7, 2023, Design Review Board Meeting 2. Consideration of a Resolution for Denial Regarding the Consideration of a Design Review: Specific Approval for Retaining Wall Material on Lot 615-1CR, TBD Lawson Overlook, pursuant to CDC Section 17.4.11 <p style="text-align: center;"><i>Consent items are administrative and not public hearing items. The DRB can make a motion to approve the consent agenda as a whole.</i></p>
3.	10:02	2	Perez	Quasi-judicial	Consideration of a Design Review: Final Architecture Review for Lot 389, TBD AJ Drive, pursuant to CDC Section 17.4.11 Staff requests that this item be continued to the December 7, 2023, regular DRB meeting at the request of the applicant.
4.	10:04	2	Perez	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for Lot AR 613-C2, TBD Lawson Pt, pursuant to CDC Section 17.4.11 Staff requests that this item be continued to the December 7, 2023, regular DRB meeting at the request of the applicant.
5.	10:06	2	Perez	Quasi-Judicial	Consideration of a Design Review: Final Architecture and Site Review for Lot 710, TBD Adams Ranch Road, pursuant to CDC Section 17.4.11 Staff requests that this item be continued to the December 7, 2023, regular DRB Meeting at the request of the applicant.

6.	10:08	2	Perez	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for Lot 166AR2-2, 1 Stonegate Drive, pursuant to CDC Section 17.4.11 Staff requests that this item be continued to the November 2, 2023, regular DRB meeting at the request of the applicant.
7.	10:10	30	Walters	Work session	Discussion regarding tree protections considerations during construction.
8.	10:40	45	Design Workshop/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for Lot 536, 219 Russell Drive, pursuant to CDC Section 17.4.11
9.	11:25	45	Design Workshop/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for Lot 802, 121 Arizona St, pursuant to CDC Section 17.4.11 This item was continued from the August 3, 2023, regular DRB meeting.
10.	12:00	15	Ward	Work Session	Discussion regarding an additional month for DRB review and the 2024 DRB schedule.
11.	12:15	20	Ward/ Applicant	Quasi-Judicial	Consideration of a Design Review: Specific Approval for Retaining Wall Material Along the Project Access Tract for Lot 644, pursuant to CDC Section 17.4.11 This item was continued from the September 7, 2023, regular DRB Meeting.
12.	12:35		Chair	Chair	Adjourn

**DESIGN REVIEW BOARD MINUTES
TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING
SEPTEMBER 7, 2023**

Call to Order

Chair **Brown** called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:00 AM on September 7, 2023.

Attendance

The following Board members were present and acting:

David Eckman
Ellen Kramer
Banks Brown
Greer Garner
Liz Caton
Adam Miller
Scott Bennett

The following Board members were absent:

David Craige
Jim Austin

Town Staff in attendance:

Claire Perez – Planner II
Amy Ward – Community Development Director
Michelle Haynes – Assistant Town Manager
Paul Wisor – Town Manager
Lauren “LT” Tyler – GIS Administrator

Public Attendance:

Katsia Lord
Dylan Henderson
David Ballode
Narcis Tudor
Frank Hensen
Luke Trujillo

Public Attendance via Zoom:

Cath Jett

Item 2. Reading and Approval of Summary of motions August 3, 2023, Design Review Board Meeting minutes.

On a **MOTION** by **Bennett** and seconded by **Kramer** the DRB voted **unanimously** to approve with corrections by Bennet the summary of motions of the August 3, 2023, Design Review Board meeting minutes.

Item 3. Review and recommendation to Town Council regarding a CDC amendment to CDC section 17.5.13.M to adopt the Town of Mountain Village Addressing Standards Document

Claire Perez and Lauren Tyler: Presented as Staff

Public Comment: None

On a **MOTION** by **Eckman** and seconded by **Miller** the DRB voted **unanimously** to recommend that the Town Council approve the proposed changes to the Community Development Code based on the evidence provided in the Staff Report of Record dated August 18, 2023.

Item 4. Consideration of a Design Review: Final Architecture Review for Lot 389, TBD AJ Drive, pursuant to CDC Section 17.4.11

Claire Perez: Presented as Staff

Public Comment: None

On a **MOTION** by **Garner** and **Bennett** seconded by the DRB voted **unanimously** to continue the consideration of a Design Review: Initial Architecture Review for a new Single-Family home on Lot 389, TBD Adams Ranch Road, pursuant to CDC Section 17.4.11. to the Regular Design Review Board Meeting on October 5, 2023.

Item 5. Consideration of a Design Review: Initial Architecture and Site Review for Lot 710, TBD Adams Ranch Road, pursuant to CDC Section 17.4.11

Claire Perez: Presented as Staff

Macy Funk of Tomecek Studio: Presented as Applicant

Public Comment: None

On a **MOTION** by **Kramer** and seconded by **Bennett** the DRB voted **unanimously** to approve the Initial Architectural and Site Review for a new single-family home located at Lot 710, TBD Adams Ranch Road, based on the evidence provided within the Staff Report of record dated August 28, 2023, with the following design variations and specific approvals:

Design variations:

- 1) Low sloped roof

DRB Specific Approvals:

- 1) Materials - Board Form Concrete
- 2) Materials - Metal Fascia

- 3) Materials – EDPM Roofing Membrane approved on the condition that more information, including locations and physical materials sample of ballast material is provided
- 4) GE Encroachment – Grading

And, with the **following conditions:**

- 1) *Prior to final review, the applicant shall modify the landscaping plan to adhere to the CDC and the Forester's comments.*
- 2) *Prior to final review, Window and door specifications shall be provided.*
- 3) *Prior to the issuance of a building permit, the town forester shall sign off on both the landscaping plan and fire mitigation plan.*
- 4) *Prior to the issuance of a building permit, the applicant shall field verify all utility locations.*
- 5) *Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for any general easement encroachments approved.*
- 6) *Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
- 7) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.*
- 8) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*
- 9) *Prior to the Building Division conducting the required framing inspection, a four foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
 - a) *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
 - b) *Wood that is stained in the approved color(s);*
 - c) *Any approved metal exterior material;*
 - d) *Roofing material(s); and*
 - e) *Any other approved exterior materials*
- 10) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*
- 11) *Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 25% since the application was submitted in 2022.*
- 12) *Applicant must meet the following conditions of the fire marshal:*
 - a) *A Monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.*
 - b) *An interconnected monitored fire alarm system shall be installed in*

accordance with NFPA 72, 2018 IFC, and TFPD amended codes.

- c) Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.*
 - d) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.*
 - e) Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.*
- 13) A wetlands delineation must be provided prior to building permit.*
- 14) The fascia must be at a minimum of 22 gauge to prevent oil canning.*

Item 6. Consideration of a Design Review: Initial Architecture and Site Review for Lot 166AR2-2, 1 Stonegate Drive, pursuant to CDC Section 17.4.11

Claire Perez: Presented as Staff

Katsia Lord of Vault Design Group: Presented as Applicant

Public Comment: None

On a **MOTION** by **Bennett** and seconded by **Kramer** the DRB voted **unanimously** to recommend that the Town Council approve the Road Right of Way Encroachment for Soil Nails under Stonegate Drive.

And,

On a **MOTION** by **Caton** and seconded by **Bennett** the DRB voted **unanimously** to approve the Initial Architectural and Site Review for a new single-family home located at Lot 166AR2-2, 1 Stonegate Drive, based on the evidence provided within the Staff Report of record dated August 25, 2023, with the following design variations and specific approvals:

Design variations:

- 1) Road and Driveway Standards - Retaining wall height, driveway approach angle
- 2) Tandem Parking

DRB Specific Approvals:

- 1) Metal Fascia
- 2) GE encroachment – Grading and retaining walls.

And, with the **following conditions:**

- 1) Prior to final review, the applicant shall submit a revised lighting plan*
- 2) Prior to final review, the applicant shall submit a revised construction mitigation plan addressing the issues of concern in this memo for staff review. Prior to building permit any temporary encroachment agreements of adjacent landowners will also be provided to staff.*
- 3) Prior to final review, the applicant shall provide a tree survey of the site. Prior to building permit the applicant shall work with the Town Forester to mark trees for*

removal in Zone 2 of the Fire Mitigation Area and obtain all necessary tree removal permits.

4) Prior to issuance of a building permit the applicant shall provide written authorization from the owners of OSP-51RA for additional driveway encroachments and the extension of the driveway retaining wall.

5) Prior to issuance of a building permit the owner shall receive consent to the building permit application from the Town for the installation of the subterranean soil nails beneath Stonegate Drive

6) Prior to issuance of a certificate of occupancy the owner shall enter into a licensing agreement for the subterranean soil nails with the Town.

7) A general easement encroachment agreement with the Town will be executed prior to issuance of a certificate of occupancy for any encroachments approved by the DRB.

8) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

9) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.

10) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

11) Prior to the Building Division conducting the required framing inspection, a four foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
- a. Wood that is stained in the approved color(s);
- b. Any approved metal exterior material;
- c. Roofing material(s); and
- d. Any other approved exterior materials

12) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

13) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted in 2023.

14) Applicant must meet the following conditions of the fire marshal:

- a) A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.
- b) An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.
- c) Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.

- d) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
- e) Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.
- f) Knox box is recommended at the main entrance on the address side for emergency access.

15) Prior to final review, the applicant must provide more detail on the retaining wall.

16) Prior to final review, the applicant must provide a revision of the address monument without board form concrete.

Item 7. Consideration of a Design Review: Specific Approval for Retaining Wall Material Along the Project Access Tract for Lot 644, pursuant to CDC Section 17.4.11

Amy Ward: Presented as Staff

Micheal O'Connor of Triumph Development and Michelle Haynes: Presented as Applicant

Public Comment: Cath Jett

Frank Hensen

On a **MOTION** by **Garner** and seconded by **Bennet** the DRB voted **unanimously** to table the item until later in the meeting (after Agenda Item 13) so the applicant could come back with information about where the material might be viewed locally.

Item 8: Lunch

Item 9. Consideration of a Design Review: Initial Architecture and Site Review for Lot AR613-C2, TBD Lawson Pt, pursuant to CDC Section 17.4.11

Jessica Garrow of Design Workshop: Presented as Staff

Dylan Henderson of Salt Architecture: Presented as Applicant

Public Comment: None

On a **MOTION** by **Garner** and seconded by **Bennett** the DRB voted **unanimously** to approve the Initial Architectural and Site Review for a new single-family home located at Lot AR613-C2, TBD Lawson Point, based on the evidence provided within the Staff Report of record dated August 28, 2023, with the following specific approvals:

DRB Specific Approvals:

- 1) Parking –Use of tandem exterior parking spaces
- 2) General Easement Setback – GE encroachment for exterior parking spaces
- 3) General Easement Setback - GE encroachment for existing boulder walls and split rail fence
- 4) Road right of way encroachment – snowmelt on driveway

And, with the **following conditions:**

- 1) Prior to final review, the applicant shall provide the proposed maximum Lot Coverage to include any proposed hardscaping.
- 2) Prior to final review, the applicant shall provide height diagrams showing the proposed height in relation to proposed and natural grade.
- 3) The applicant shall provide details regarding retaining wall heights, widths, and materiality for final review.
- 4) Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE and the road right of way.
- 5) Prior to final review, the applicant shall provide full spec sheets for all light sources that include a lumen count.
- 6) Prior to final review, the applicant shall specify the fuel source for all solid fuel burning devices.
- 7) Prior to final review, the applicant shall show tree protection strategies on the construction mitigation plan and indicate existing trees to remain on site in the fire mitigation and landscaping plans.
- 8) Prior to final review, the applicant shall provide material and dimension information for the address monument. The address numbers shall be a minimum of 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated, or outlined with a reflective coating.
- 9) Prior to final review, the applicant shall provide a narrative of the pattern, grout, block size and color of the proposed stone and setting pattern for exterior wall materials.
- 10) Prior to final review the applicant shall provide an updated construction mitigation plan with tree protection identified, as applicable.
- 11) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a) The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 12) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 13) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted and deemed complete in 2023.

Item 10. Consideration of a Design Review: Final Architecture and Site for Lot 1 Unit 33, TBD Fairway Drive, pursuant to CDC Section 17.4.11

Jennifer Pintar of Design Workshop: Presented as Staff

Luke Trujillo of Truline Architects: Presented as Applicant

Public Comment: None

On a **MOTION** by **Garner** and seconded by **Caton** the DRB voted **5 approved-2 denied** to approve (Kramer and Bennett dissented due to not being in favor of the garage sconces being an additional design variation) the Final Architecture Review for a new single-family home located at Lot 1 Unit 33, TBD Fairway Drive based on the evidence provided in the staff record of memo dated August 30, 2023, and the findings of this meeting with the following specific approvals and design variations:

Design variations:

- 1) Landscaping – Diversity of Tree Species
- 2) Lighting - Garage Sconces above allowable height

And, with the **following conditions:**

- 1) *Prior to building permit, the applicant shall provide further details of the solar panels to include the design, color theme and durability.*
- 2) *Prior to building permit, the applicant shall meet on site with the Town Forrester to mark any necessary trees for removal as well as to finalize tree protection details for trees intended to be kept.*
- 3) *Prior to building permit, the applicant shall work with Public Works to field verify all utilities.*
- 4) *A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy.*
- 5) *Prior to building permit, the applicant shall provide a full driveway profile.*
- 6) *Prior to building permit, the applicant shall demonstrate that the retaining walls in the GCE have been approved by the HOA.*
- 7) *The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.*
- 8) *TFPD recommends a monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.*
- 9) *TFPD recommends an electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.*
- 10) *A Knox Box for emergency access is recommended.*
- 11) *Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted and deemed complete 2023.*
- 12) *Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition*

resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

13) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

14) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height.

15) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a) The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
- b) Wood that is stained in the approved color(s);
- c) Any approved metal exterior material;
- d) Roofing material(s); and
- e) Any other approved exterior materials

16) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Item 11. Consideration of a Design Review: Initial Architecture and Site Review for Lot 360, TBD Rocky Road, pursuant to CDC Section 17.4.11

Callie New of Design Workshop: Presented as Staff

Narcis Tudor of Narcis Tudor Architects: Presented as Applicant

Public Comment: None

On a **MOTION** by **Garner** and seconded by **Kramer** the DRB voted **unanimously** to approve the Final Architecture Review for a new single-family home located at Lot 360, TBD Rocky Road based on the evidence provided in the staff record of memo dated August 28, 2023, and the findings of this meeting with the following specific approvals and design variations:

DRB Specific Approvals:

- 1) Fascia material – black metal panels
- 2) Landscaping – species diversity
- 3) Lighting – lighting associated with outdoor living spaces

And, with the **following conditions:**

- 1) The applicant shall clarify the material to be used for the soffit. The use of metal requires specific DRB approval.
- 2) The applicant shall field verify existing water and sewer tap with Public Works.
- 3) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum and average building height.

- 4) A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy.
- 5) Prior to building permit, a revised lighting plan that reduces the overall number of exterior fixtures should be provided for staff review. The revised lighting plan must provide a detail of installation showing that any linear LED lights are recessed into non-reflective material.
- 6) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 25% since the application was submitted in 2022.
- 7) Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE.
- 8) The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.
- 9) A Knox Box for emergency access is recommended.
- 10) Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 11) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 12) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a) The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b) Wood that is stained in the approved color(s);
 - c) Any approved metal exterior material;
 - d) Roofing material(s); and
 - e) Any other approved exterior materials
- 13) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 14) The fascia must be at a minimum of 22 gauge to prevent oil canning.

Item 12. Consideration of a Design Review: Initial Architecture and Site Review for Lot 536, 219 Russell Drive, pursuant to CDC Section 17.4.11

Amy Ward: Presented as Staff

Casey Culbertson of Pure Design KC: Presented as Applicant

Public Comment: None

On a **MOTION** by **Kramer** and seconded by the DRB voted **unanimously** to approve the Initial Architectural and Site Review for a new single-family home located at Lot 536, 219 Russell Drive, based on the evidence provided within the Staff Report of record dated August 30, 2023, with the following design variations and specific approvals:

Design variations:

1. Landscaping - Diversity of Species

DRB Specific Approvals:

1. Metal Fascia

And, with the **following conditions:**

1. *Prior to final review the applicant will revise the fire mitigation plans per the comments of the Town Forrester.*
2. *Prior to building permit the applicant will meet on site with the Town Forrester to mark trees in Zone 2 for removal.*
3. *Prior to final review the applicant will submit a revised lighting plan per the comments of this memo.*
4. *Prior to final review the applicant shall revise the landscaping plans per the comment of the Town Forrester and include proposed irrigation specifications and locations.*
5. *Prior to final review the applicant shall demonstrate that they can meet both exterior parking requirements and garage back-out per the CDC.*
6. *Prior to final review the applicant will confirm that the proposed address monument doesn't interfere with the Russel Drive Trail and if it does will propose an alternate location.*
7. *Prior to final review the applicant shall revise the construction mitigation plan to show areas for staging excavated material.*
8. *Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted and deemed complete in 2023.*
9. *Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.*
10. *Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
11. *It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way, general easement, or setback, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (Fire Department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*
12. *Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.*
13. *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*
14. *Prior to the Building Division conducting the required framing inspection, a four-foot (4')*

by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a) The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
- b) Wood that is stained in the approved color(s);
- c) Any approved metal exterior material;
- d) Roofing material(s); and
- e) Any other approved exterior materials

15. Prior to final review, stone locations shall be revised per the DRB's comments.

16. Prior to final review, the columns at the deck shall be revised to be more substantial and grounded.

Item 13. Consideration of a Design Review: Specific Approval for Retaining Wall Material on Lot 615-1CR, TBD Lawson Overlook, pursuant to CDC Section 17.4.11

Amy Ward: Presented as Staff

Frank Hensen of Hensen Construction: Presented as Applicant

Public Comment: None

On a **MOTION** by **Kramer** and seconded by **Garner** the DRB voted **unanimously** to deny the specific approval for Redi-Rock LedgeStone cast concrete for the installation of a board form retaining wall on Lot 615-1CR based on the evidence provided in the staff record of memo dated August 18, 2023. Reason for denial was cited that the materials do not conform to allowable materials per CDC

Item 7. Consideration of a Design Review: Specific Approval for Retaining Wall Material Along the Project Access Tract for Lot 644, pursuant to CDC Section 17.4.11

Amy Ward: Presented as Staff

Micheal O'Connor of Triumph Development and Michelle Haynes: Presented as Applicant

This item, which was previously tabled was re-opened. On a **MOTION** by **Garner** and seconded by **Bennet** the DRB voted **unanimously** to continue the specific approval for Redi-Rock LedgeStone cast concrete for the installation of a board form retaining wall on the project access tract for Lot 644 based on the evidence provided in the staff record of memo dated August 21, 2023 to the October 5, 2023, Design Review Board Meeting.

Item 14: ADJOURN

On a **MOTION** by **Garner** and seconded by **Bennett** the DRB voted **unanimously** to adjourn the September 7, 2023, meeting at 3:16 pm.

Prepared and submitted by,

Claire Perez, Planner II

DRB RESOLUTION NO. 2023-__

**A RESOLUTION OF THE DESIGN REVIEW BOARD OF THE TOWN OF MOUNTAIN VILLAGE,
COLORADO DENYING A SPECIFIC APPROVAL FOR RETAINING WALL MATERIAL FOR
LOT 615-1CR**

WHEREAS, Brown Dog Properties, LLC (the “Owner”) is the owner of certain real property described as Lot 615-1CR, Mountain Village, Colorado (together, the “Property”); and

WHEREAS, Frank Hensen of Brown Dog Properties (the “Applicant”), has submitted an applications to the Town of Mountain Village (the “Town”) requesting a specific approval to utilize either a Redi-Rock cast concrete material or a corrugated metal for the installation of retaining walls on the property; and

WHEREAS, the Specific Approval Application, which consists of the materials submitted to the Town and itemized on Exhibit A, plus all statements, representations, and additional documents of the Applicant and its representatives made or submitted at the public hearing before the DRB, was submitted as a Class 3 Design Review for a Specific Approval and is evaluated under Sections 17.5.4 and 17.5.7.C.1 of the CDC; and

WHEREAS, Section 17.5.7.C.1 of the CDC says that retaining structures visible from public view shall be constructed of boulders or concrete walls faced with preapproved stone veneer or preapproved stone walls; and neither the Redi-Rock or corrugated metal materials proposed meets this requirement; and

WHEREAS, an alternate material would require a specific approval from the design review board; and

WHEREAS, the public hearing and meeting to consider the Specific Approval Application were duly noticed and held in accordance with the Town’s Community Development Code (“CDC”); and

WHEREAS, the DRB held a public hearing on September 7, 2023, to consider the Specific Approval Application and testimony and comments from the Applicant, Town Staff, and members of the public, and voted unanimously to deny the specific approval; and

WHEREAS, the DRB has considered the criteria set forth in Section 17.5.7.C.1 and 17.5.4 of the CDC and finds that the following will not be satisfied by the Specific Approval Application:

1. Architecture within the Town will continue to evolve and create a unique mountain vernacular architecture that is influenced by international and regional historical alpine precedents. The Town encourages new compatible design interpretations that embrace nature, recall the past, interpret our current time, and move us into the future while respecting the design context of the neighborhood surrounding a site.

WHEREAS, the DRB held a public meeting on October 5, 2023, to consider this Resolution and voted _____ to approve this Resolution, denying the Specific Approval Application for the reasons set forth herein.

NOW, THEREFORE, BE IT RESOLVED by the Design Review Board of the Town of Mountain Village, Colorado, that:

Section 1. Recitals. The above recitals are hereby incorporated as findings of the DRB in support of the enactment of this Resolution.

Section 2. Decision. The DRB finds that the Specific Approval Application does not meet the requirements of the CDC set forth above, including, without limitation, respecting the design context of the neighborhood surrounding a site. The DRB, therefore, denies the Specific Approval Application.

Section 3. Effective Date. This Resolution shall be in full force and effect upon its passage and adoption.

ADOPTED AND APPROVED by the Design Review Board at a regular public meeting held on October 5, 2023.

TOWN OF MOUNTAIN VILLAGE DESIGN REVIEW BOARD

By: _____
Banks Brown, Chair

ATTEST:

Susan Johnston, Town Clerk

APPROVED AS TO FORM:

David McConaughy, Town Attorney

Exhibit A

1. Design Review Process Application
2. Site Plan



Agenda Item 3
**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

TO: Mountain Village Design Review Board

FROM: Claire Perez, Planner II

FOR: Design Review Board Meeting; October 5, 2023

DATE: September 26, 2023

RE: Consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 389, TBD AJ Drive, pursuant to CDC Section 17.4.11.

BACKGROUND: Staff is requesting a continuation of the Final Architecture Review to the December 7, 2023, Regular DRB Meeting. The memo is being provided not to open the public hearing but solely for the purpose of the DRB providing a motion to continue to the Regular December 7, 2023 meeting date.

DRB also has the ability to table the item, which would require the applicant to re-notice the project at a time in the future.

RECOMMENDED MOTION: I move to continue, the consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 389, TBD AJ Drive, pursuant to CDC Section 17.4.11.to the Regular Design Review Board Meeting on December 7, 2023.

/cp



Agenda Item 4
**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

TO: Mountain Village Design Review Board
FROM: Claire Perez, Planner II
FOR: Design Review Board Meeting; October 5, 2023
DATE: September 26, 2023
RE: Consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot AR 613-C2, TBD Lawson Pt, pursuant to CDC Section 17.4.11.

BACKGROUND: Staff is requesting a continuation of the Final Architecture Review to the December 7, 2023, Regular DRB Meeting. The memo is being provided not to open the public hearing but solely for the purpose of the DRB providing a motion to continue to the Regular December 7, 2023 meeting date.

DRB also has the ability to table the item, which would require the applicant to re-notice the project at a time in the future.

RECOMMENDED MOTION: I move to continue, the consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot AR 613-C2, TBD Lawson Pt, pursuant to CDC Section 17.4.11.to the Regular Design Review Board Meeting on December 7, 2023.

/cp



Agenda Item 5
**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

TO: Mountain Village Design Review Board
FROM: Claire Perez, Planner II
FOR: Design Review Board Meeting; October 5, 2023
DATE: September 26, 2023
RE: Consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 710, TBD Adams Ranch Road, pursuant to CDC Section 17.4.11.

BACKGROUND: Staff is requesting a continuation of the Final Architecture Review to the December 7, 2023, Regular DRB Meeting. The memo is being provided not to open the public hearing but solely for the purpose of the DRB providing a motion to continue to the Regular December 7, 2023 meeting date.

DRB also has the ability to table the item, which would require the applicant to re-notice the project at a time in the future.

RECOMMENDED MOTION: I move to continue, the consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 710, TBD Adams Ranch Road, pursuant to CDC Section 17.4.11.to the Regular Design Review Board Meeting on December 7, 2023.

/cp



Agenda Item 6
**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

TO: Mountain Village Design Review Board
FROM: Claire Perez, Planner II
FOR: Design Review Board Meeting; October 5, 2023
DATE: September 26, 2023
RE: Consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 166AR2-2, 1 Stonegate Drive, pursuant to CDC Section 17.4.11.

BACKGROUND: Staff is requesting a continuation of the Final Architecture Review to the November 2, 2023, Regular DRB Meeting. The memo is being provided not to open the public hearing but solely for the purpose of the DRB providing a motion to continue to the Regular November 2, 2023 meeting date.

DRB also has the ability to table the item, which would require the applicant to re-notice the project at a time in the future.

RECOMMENDED MOTION: I move to continue, the consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 166AR2-2, 1 Stonegate Drive, pursuant to CDC Section 17.4.11.to the Regular Design Review Board Meeting on November 2, 2023.

/cp



**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

Agenda Item No. 7

TO: Mountain Village Design Review Board

FROM: Rodney Walters, Town Forester / GIS Assistant

FOR: Design Review Board Regular Meeting

DATE: October 5, 2023

RE: Information, Realities of Tree Protection During Construction

Purpose: The purpose of this memo is to initiate a conversation about tree protection during construction and the realities associated with tree preservation on steep construction sites in Mountain Village. As the forester, I would like to share an overview of accepted best management practices (BMPs) and standards that have been developed for tree protection during construction. And I would like to have a conversation about how difficult it is to successfully save trees as they are typically listed for retention in the designs, especially on steep sites. I have prepared PowerPoint slides that can help communicate these BMPs and can inform a discussion about what is realistic in terms of tree preservation in Mountain Village during construction. As we learn more about trees and discuss tree protection in the context of the development process in Mountain Village, I am interested to hear your thoughts, concerns, and feedback.

What is happening: The Community Development Code (CDC) requires that "...all development use the following best management practices to protect and preserve trees that will be retained on site" by:

- requiring that tree protection fencing be placed at the dripline,
- by utilizing construction mitigation plans that show the location of tree protection fencing to protect trees in close proximity to grading or other construction activity and
- that developers use extreme caution during grading and excavation to avoid damage or removal of trees and shrubs to be retained and to avoid damage to roots (CDC 17.6.7.A.4.f.i and ii.).

These are good requirements, however they have not been well enforced in the past and, as a result, tree protection is not always installed or is incorrectly installed when it is. Trees are being damaged. However, there are realities associated with the construction process that make tree preservation very difficult during the development process, especially during the initial excavation and construction of the foundation. We are finding that Contractors are dealing with the management of very limited space. We need to consider the needs of the contractors for this space in the designs and plans we are asking them to build so that we can be more realistic about how many trees can be effectively preserved during development.

Tree Preservation During Construction Best Management Practices, Overview: Permanent tree damage occurs when construction disturbances encroach within the Tree Protection Zone (TPZ). The TPZ is delineated with tree protection fencing. Trees have a critical root zone (CRZ) that may be defined

based on tree size and other factors. The CRZ is the minimum area that a tree's root zone needs to sustain tree health and for trees to be able to be retained long term on a landscape. Science has determined that the CRZ is between 1.25 and 1.5 feet for every inch of diameter at breast height (DBH) of tree size. Many municipalities use the dripline of the tree or 1 foot for every inch of dbh. Older trees need more space for long term viability. If a tree is 12 inches DBH, they require 12, 14 ,or 16 feet, diameter, of root area that must remain undisturbed!

This is not well understood by property owners, designers, the design review process, contractors, and subcontractors. As a result, unrealistic designs are created and development activities then damage and kill trees that have been indicated for retention. Construction activities that kill trees include:

- Backfill spoils cover the tree roots and starve roots of oxygen (driveways, temporary pads for construction equipment, excavation for foundations). Lack of oxygen kills tree roots, makes them more susceptible to windthrow, and predisposes them to disease.
- Excavation. Excavations rips and tears roots causing permanent damage (most roots exist in the top 18 inches of the soil).
- Trenching for the installation of utility lines.
- Compaction by equipment, trucks, and parking.

Tree protection at the dripline of trees is generally the minimum amount of space trees need to be able to survive construction and thrive afterwards. In general, it takes about five years for construction related activities to kill trees. Even when trees survive, construction activities very often predispose trees to insects and disease in ways that they never really thrive after the predisposing damage has occurred. Because of this, the resulting strain on the trees inhibits their ability to thrive and the resulting decline and death is not often attributed to the damages caused during the development process.

Tree Preservation BMPs:

The implementation of strategies at the planning, design, pre-construction, construction, and post construction phases of development can help in the selection, protection, and retention of trees that may be successfully preserved during development.

Planning stage: Accurate tree inventories, application of conservation suitability worksheet, tree preservation plan developed by qualified arborists (ideal, but usually not the reality). The reality is plans are developed by an architect or designer who very often do not understand what is needed for the long term viability of a trees. Critical factors are being missed in designs and include:

- Space needed for leveling and slopes of driveways (both upside and downside – only 45 degree angle is possible, effectively doubling the space that is required).
- Space needed for excavation outside of the building footprint (forming and pouring of foundations)
- Space requirement considerations for equipment (excavators, concrete pumps and trucks, parking).
- Space needed for soil and material staging.
- The highest levels of preservation assesses the viability of each tree and require an arborist.

Design Stage: The above considerations need to be factored in. Additionally, up to date fire mitigation and defensive space recommendations for zones need to be more carefully examined and incorporated into the designs.

- Zone 1: no vegetation within 5 feet of the building

- Zone 2: Greatly reduced amounts of vegetation, very few to no evergreens, crown spacing of at least 10-15 feet for mature size of plants/trees. From 15 to 30 feet away from the edge of the building (depending on slope steepness).
- Zone 3: Thinning of trees to produce 10- 15 feet of crown spacing (especially between evergreens), pruning conifers up 8-10 feet off the ground, removal of ladder fuels (saplings, shrubs, standing dead), and removal of dead and down fuels to a distance of 100 feet away from the home. This treatment is more pronounced closer to the home.

Pre-construction Stage: Tree protection fencing (chain-link) installed to a minimum of the dripline of trees to be preserved is needed. Orange snow fencing does not work, it is too easy to move, get knocked down, let excavation spoils run onto the root zones, stage materials, park, and hang out in the areas where orange snow fencing is utilized. Most often this is not installed correctly (up against trunks of trees) and is not effective. Six-foot-tall chain link fencing with a ridged wood or metal top rail installed before any construction activities begin is much more effective. In addition, required, tree protection fencing that has signage prohibiting any kind of disturbance or entry into the TPZ clearly defines requirements for all people working at the site.

Construction Stage: During construction, site monitoring and approval of alternative strategies can help ensure that tree protection requirements are being adhered to, however this is very time consuming and often ineffective unless personnel have ample time to enforce the requirements.

Post Construction Stage: Removal of tree protection fencing and post monitoring of tree health /stability

Discussion: In Mountain Village, most of the flat lots have already been developed. The challenges and realities of development on steep slopes make the preservation of trees very difficult. While designs often show trees for preservation, the realities of these sites make the preservation of trees very problematic or impossible. We need to take a closer look at these realities to better comprehend, upfront, what is required for successful preservation and consider them through all phases of the development process to better understand which trees may realistically be preserved. The reality is that we may not be able to preserve many trees on smaller lots due to requirements for much more excavation and backfilled space on steep slopes and the need for contractors to be able to effectively manage very limited space on these sites. We need to factor these considerations into the designs and plans we are asking people to build so we can be more realistic about how many trees can be effectively preserved during development.

References:

American National Standards Institute. 2012. *ANSI A300 – Part 5 (American National Standard for Tree Care Operations – Tree, Shrub, and Other Woody Plant Management - Standard Practices [Management of Trees and Shrubs During Site Planning, Site Development, and Construction])*. Tree Care Industry Association, Inc., 36 Harvey Road – Ste 101, Londonderry, NH 03053

Nelda Matheny, E. Thomas Smiley, Ryan Gilpin, and Richard Hauer. 2023. *Best management Practices – Managing Trees During Construction, Third Edition*. International Society of Arboriculture, Peachtrees Street, NW Suite 1900, Atlanta, GA, 30303.

National Wildfire Coordinating Group (NWCG), Wildland Urban Interface Mitigation Committee (WUIMC). 2023. *NWCG Standards for Mitigation in the Wildland Urban Interface*. PMS 052 available online, <https://www.nwcg.gov/publications/052> .

Colorado State Forst Service. 2013. *Home Ignition Zone*. Available online, https://csfs.colostate.edu/wp-content/uploads/2021/04/2021_CSFS_HIZGuide_Web.pdf .

Colorado State University. 2012. *Firewise Plant Materials*. Fact Sheet No 6.305, Natural Resources Series, available online, [06305.pdf \(colostate.edu\)](https://colostate.edu/06305.pdf) .



AGENDA ITEM 8
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board
FROM: Design Workshop on behalf of the Town of Mountain Village
FOR: Design Review Board Public Hearing: October 05, 2023
DATE: September 25, 2023
RE: Staff Memo – Final Architecture Review (FAR) Lot 536, 219 Russell Drive, pursuant to CDC Section 17.4.11

APPLICATION OVERVIEW: New Single-Family Home on Lot 536

PROJECT GEOGRAPHY

Legal Description: LOT 536 TELLURIDE MOUNTAIN VILLAGE FILING 3 PLAT BK 1 PG 765 REPLAT BK 1 PG 991 1 10 90 TOTAL ACRES 1.587 COUNTY OF SAN MIGUEL, STATE OF COLORADO

Address: 219 Russell Drive

Applicant/Agent: Casey Culbertson, Pure Design Architects

Owner: Edward Nelson

Zoning: Single-Family

Existing Use: Vacant

Proposed Use: Single-Family Residential

Lot Size: 1.587 acres

Adjacent Land Uses:

- **North:** Open Space, Multi-Family
- **South:** Single-Family
- **East:** Single-Family
- **West:** Open Space, Single-Family



Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

Case Summary:

Casey Culbertson of Pure Design Architects (Applicant) is requesting Design Review Board (DRB) approval of a Final Architecture Review (FAR) Application for a new single-family home on Lot 536, 219 Russel Drive. The Lot is approximately 1.587 acres and is zoned Single-Family. The overall square footage of the home is approximately 4,666 gross square feet (3820 Finished) and provides 2 interior parking spaces within the proposed garage and 2 exterior parking spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by Italicized Text.***

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	35' (shed) Maximum	29'3"
Avg. Building Height	30' (shed) Maximum	19'4"
Maximum Lot Coverage	40% Maximum (s.f.)	< 15%
General Easement Setbacks	16 Feet – No Encroachments	Encroachments
Roof Pitch		
Primary		2" :12"
Secondary		2" :12"
Exterior Material		
Stone	35% minimum	40.7%
Glazing	40% maximum	17.2%
Metal	N/A	21.8
Wood	N/A	20.3
Parking	2 Enclosed	2
	2 Surface	2

Please note, this Memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated August 30, 2023.

Design Review Board Specific Approvals:

- 1) Right-of-way Encroachment – Address Monument

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.11 and 17.3.12: Building Height and Building Height Limits

Staff: The proposal is within the allowed heights for the zone district. Staff finds this criterion is met.

17.3.14: General Easement Setbacks

Lot 536 has the standard sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Utilities, Address

Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The driveway crosses the GE from Russel Drive to access the lot.*
- *Address Monument: The applicant has proposed a new location within the Right-of-Way for the address monument west of the driveway. This will require DRB approval.*
- *Utilities: Gas, Water, Cable, Electric, and Phone are already located within Russel Drive, and will require crossing the GE to the home.*
- *Landscaping: There is minor landscaping proposed in portions of the GE areas surrounding the home.*

The applicant has indicated that irrigation will be required for the landscaping in the GE. As part of the FAR plan set the applicant was required to provide irrigation locations to determine the extent of the GE impacts. The updated irrigation plans are included on Sheets IR0-IR3. The plans do not clearly illustrate the location of the irrigation in relation to the GE. Staff has provided an estimate of the GE based on the faint linework in the drawing. This illustrates irrigation lines in the GE and within the Right-of-Way. Per the CDC requirements, irrigation is not permitted in the right-of-way. A revised Irrigation Plan is required for review by staff, prior to building permit.

The application proposes sprinkler heads, PVC mainline and drip valve assemblies in the GE and Right-of-Way with the main pipeline running east west through the length of the property crossing the driveway. The DRB should discuss whether the irrigation meets the GE requirements.

Regardless of the encroachment, any development within the General Easement or road right of way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.

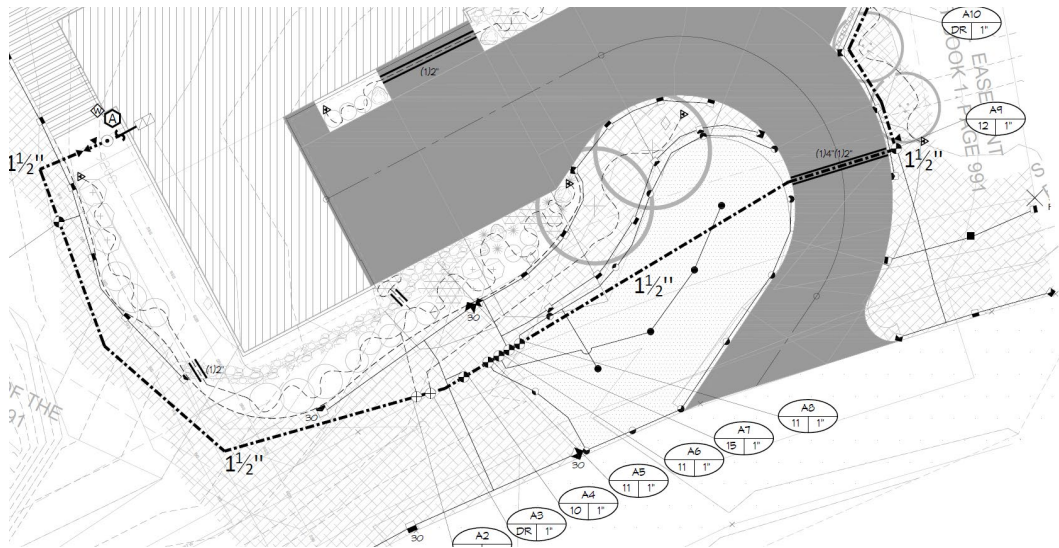


Figure 2 Irrigation Plan

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: Staff finds these criteria met.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: Lot 536 is a 1.58-acre lot that slopes from a high point along Russell Drive, down to the low point at its northwest corner bordering OS parcel 35 FR. The change in elevation from high to low is approximately 66 feet. The plans show that the lot has relatively heavy vegetation. The lot contains steep slopes with the majority of the lot area over 30% slopes.

The lot is bifurcated by a grading and drainage easement and there is a second grading and drainage easement on the West half. These two easements significantly impact the developable area of the lot.

The design and siting of the proposed home has been driven by the easements and topographical issues discussed above which has resulted in the proposed siting of the home. It appears that the siting of the structure is logical given these constraints.

17.5.6: Building Design

Staff: Staff comments regarding each of the relevant subsections are below.

Exterior Wall Form:

As a condition for final review, the stone locations are to be revised per the DRB's comments from the IASR meeting. The applicant has indicated that the stone locations are updated to reflect the below changes.

Comments from the applicant:

The stone veneer along the garage has been extended to run the full length of the projection. The 'step' along the right side of the front elevation has been removed. The materials on the two larger masses on the back side of the home have been revised to more closely match the materials on the front side of those respective forms.

Exterior Walls Materials and Color:

The use of metal fascia material was approved by the DRB during the Initial Architecture and Site Review meeting. The soffit is proposed to be wood.

Decks and Balconies:

As a condition for final review, the columns at the deck were required to be revised to be more substantial and grounded. The applicant has indicated that after consideration no changes are proposed. The applicant's comments are included below, and DRB should discuss if retaining the deck columns as proposed is appropriate.

Comments from the applicant:

After much consideration, making the deck structure along the rear of the home more prominent does not seem to fit the aesthetic and goals of the home. Given the heavily treed lot, the purpose of the deck was to feel light so that the heavy stone-clad mass of the foundation would stand out. Adding stone to the columns, or otherwise making them appear more massive would require additional foundation work. We'd like to keep the site disturbance in this area to a minimum given the existing site slope. We also do not feel, given that the home is nestled into the heavy trees on site, that the backside of the home will be that visible. For these reasons, we request that the steel columns could remain as designed.

Required Surveys and Inspections:

A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

17.5.7: Grading and Drainage Design

Staff: The applicant provided a grading and drainage plan demonstrating finished slope and areas of regrading around the home. The changes to slopes surrounding the home are limited. The plan does demonstrate the positive drainage away from the home in accordance with CDC requirements. Staff finds these criteria met.

17.5.8: Parking Regulations

Staff: The site plan shows two enclosed interior parking spaces and two surface exterior parking spaces.

As a condition for final review the applicant was to demonstrate that the parking needs for both exterior parking requirements and garage back-out per the CDC have been met. The two proposed exterior spaces are 9 feet by 18 feet, which meets the CDC requirements. The applicant has noted that an additional 9-foot-wide stall is being provided as a turn-around space.

The DRB should discuss if this meets the parking requirements.

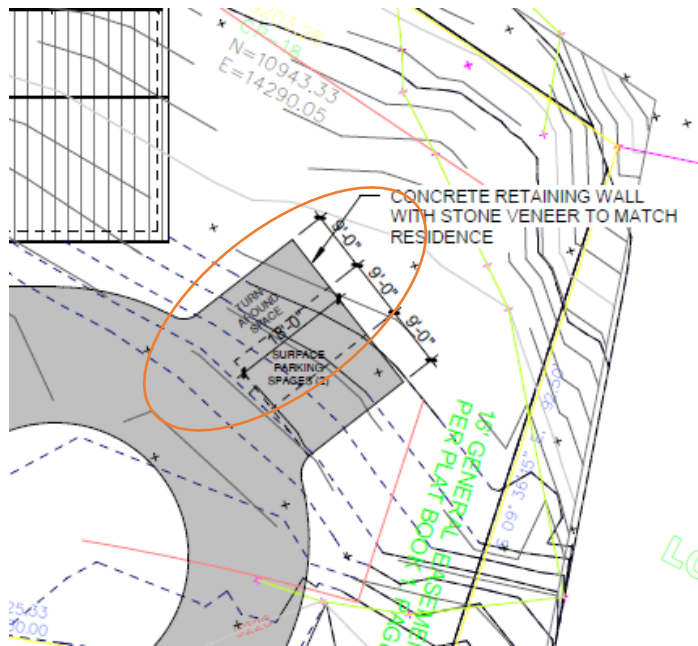


Figure 3 Parking Specifications

17.5.9: Landscaping Regulations

Staff: As a condition for final review the applicant was to revise the landscaping plans per the comment of the Town Forrester and include proposed irrigation specifications and locations. The applicant has updated the landscape plan to include the Town Forrester's notes and proposed irrigation specifications on sheets IR0-IR3.

The Landscaping – Diversity of Tree Species was approved by the DRB during the Initial Architecture and Site Review meeting.

Forrester comments:

Sheet L1: The plan shows an evergreen tree (flammable plant) to be planted within the Zone 1 fire mitigation area. Please indicate and deciduous plant in this location. This sheet needs a note stating "Any plants to be installed within the Zone 1 fire mitigation area will be a Colorado Firewise plant and shall also be a CDC approved native plant. Planters within the Zone 1 fire mitigation area shall contain non-flammable mulch."

Sheet L2: The planting diagrams need to state, "all strapping, burlap, and wire basket material must be removed from the top and sides of the root ball of the plant materials during installation" (CDC: 17.5.9.C.7).

17.5.11: Utilities

Staff: All utilities are currently located within proximity to the home. The plan set shows the proposed connections and the locations of the proposed utilities based on field research. The applicant shall verify all utilities and provide revised utility plans for Public Works review prior to building permit.

Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.

17.5.12: Lighting Regulations

Staff: During the initial review, staff indicated the proposed fixture LF1 is not full cut-off and will need to be replaced with an alternate fixture and the fixture LF2 exceeds the max allowable lumens. As a condition for final review the applicant was to revise the lighting plan per the comments from the initial review. The applicant has provided updated cutsheets and an updated lighting plan on Sheet A1.108.

LF1: The applicant has noted that the LF1 fixture has remained the same, stating that a Dark Sky compliant fixture is available and can be ordered with reduced lumens that will comply with the CDC guidelines. Additionally, the LF1 lighting fixture indicated over the garage façade has been removed.

LF2: The light fixture for the LF2 4" Cedar System is updated to 850 lumens.

LF3: The LED light fixture for the LF3 Tivo Tape silicone screen is 210 lumens and 3,000 degrees Kelvin.

The proposed lighting plan appears to meet the CDC requirements.

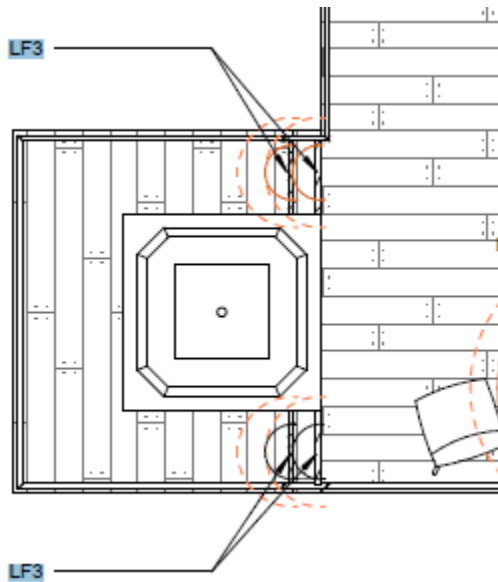


Figure 4 LF3 Lighting Plan

17.5.13: Sign Regulations

Staff: The applicant has included dimensional information for the address monument from grade to bottom of numerals. The proposed address monument meets the CDC requirements.

The applicant was to address the referral comments indicating the location of the monument might be problematic due to proximity of a trail and should be verified prior to final review. The applicant has proposed an alternative location within the Right-of-Way closer to the road, west of the driveway.

This proposed location requires approval prior to building permit with Public Works to verify the location is not problematic for snow plowing as it is closer to the road. This location also required DRB approval.

Public Works comments:

The Russel Drive Trail is the road shoulder in front of this lot. Make sure the address monument is set back far enough from the road.

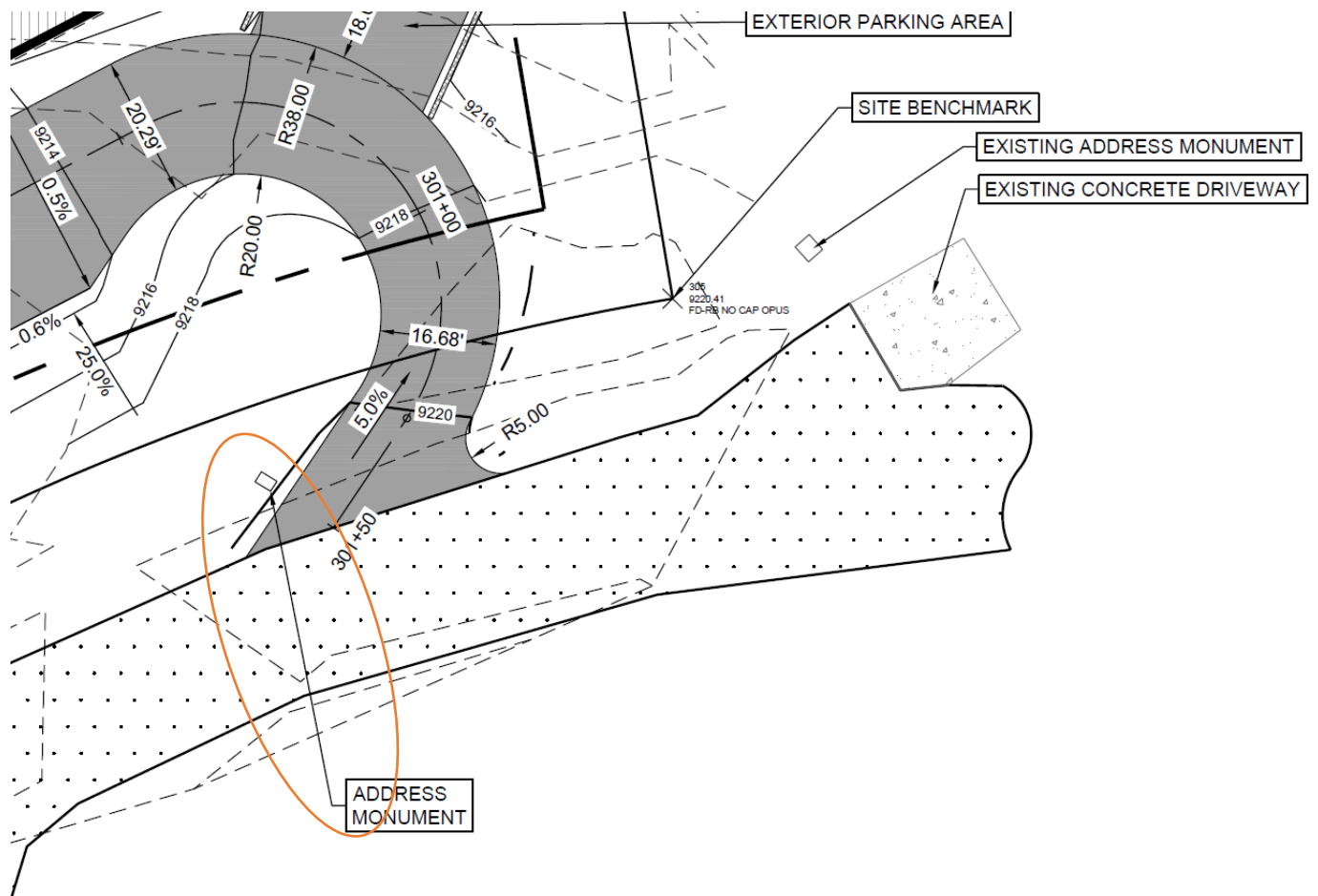


Figure 5 Address Monument Location

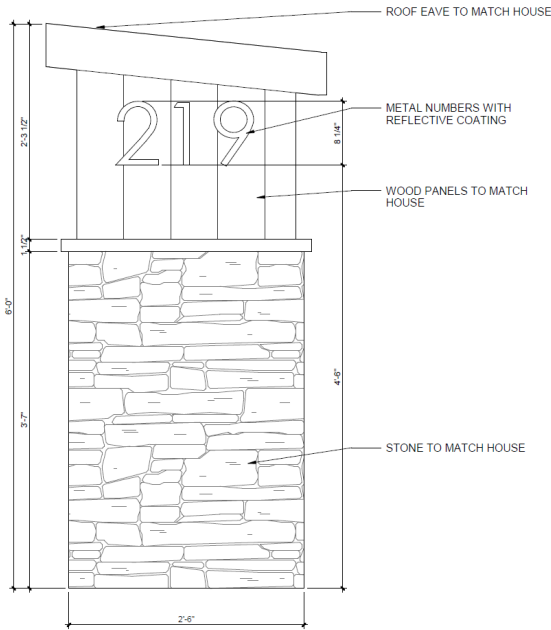


Figure 6 Address Monument Dimensions

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: As a condition for the final review, the applicant was to revise the fire mitigation plans per the comments of the Town Forrester. The applicant provided an updated Fire Mitigation Plan on Sheet C7 showing the removal of Evergreen trees and the placement of deciduous plants in Zone 1. Additionally, the required notes recommended by the Town Forrester are included on sheets C7, L1 and L2.

Comments from the Town Forrester:

Sheet C7: Needs to have the trees to be removed marked in a color to differentiate them from the trees that are planned for retention. A note for Fire Mitigation Zone 1 needs to state, "All trees and shrubs located within Zone 1 shall be removed. Any vegetation that is planned for installation in Zone 1 shall be a Colorado Firewise plant and shall also be a native species as listed in the CDC Landscape Regulations (CDC 17.5.9.)". A note for Fire Mitigation Zone 2 needs to state, "Before excavation begins, the Town Forester shall be contacted to mark trees for removal in Zone 2. Zone 2 vegetation shall be managed in such a way that trees or groups of trees greater than 4" diameter at breast height (dbh) shall have a crown separation of 10 feet, all ladder fuels and slash shall be removed from the 10' crown-to-crown separation area, and shall be removed, and shrubs over 5' tall shall have an average spacing of 10' from shrub-to-shrub. Any trees that are planned for retention within the limits of disturbance shall have tree protection fencing indicated to at least the dripline of the trees. The plan needs a note stating, "No backfill, storage, or staging is permitted inside the tree protection areas inside the tree protection fencing". In denoting the trees that will be removed, carefully consider space needed for excavation and construction, the backfill requirements that will be needed around the driveway and retaining walls, and the onsite space that may be needed for soil storage/staging.

Tree protection fencing is required by the CDC to be installed at or beyond the crown dripline of each tree that will remain (tree protection zone) (CDCL 17.6.1.A.4.f.) The plan needs to state “the Town Forester must be contacted before excavation begins to mark or approve the trees to be removed and to approve the placement of the tree protection fencing. A tree removal permit must be obtained from the Town Forester before tree removal operations may begin.” Tree protection fencing must be installed and approved by the town forester before excavation may begin.

Sheet L1: The plan shows an evergreen tree (flammable plant) to be planted within the Zone 1 fire mitigation area. Please indicate and deciduous plant in this location. This sheet needs a note stating “Any plants to be installed within the Zone 1 fire mitigation area will be a Colorado Firewise plant and shall also be a CDC approved native plant. Planters within the Zone 1 fire mitigation area shall contain non-flammable mulch.”

Additionally, the structure is over 3,600 sq ft and shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.

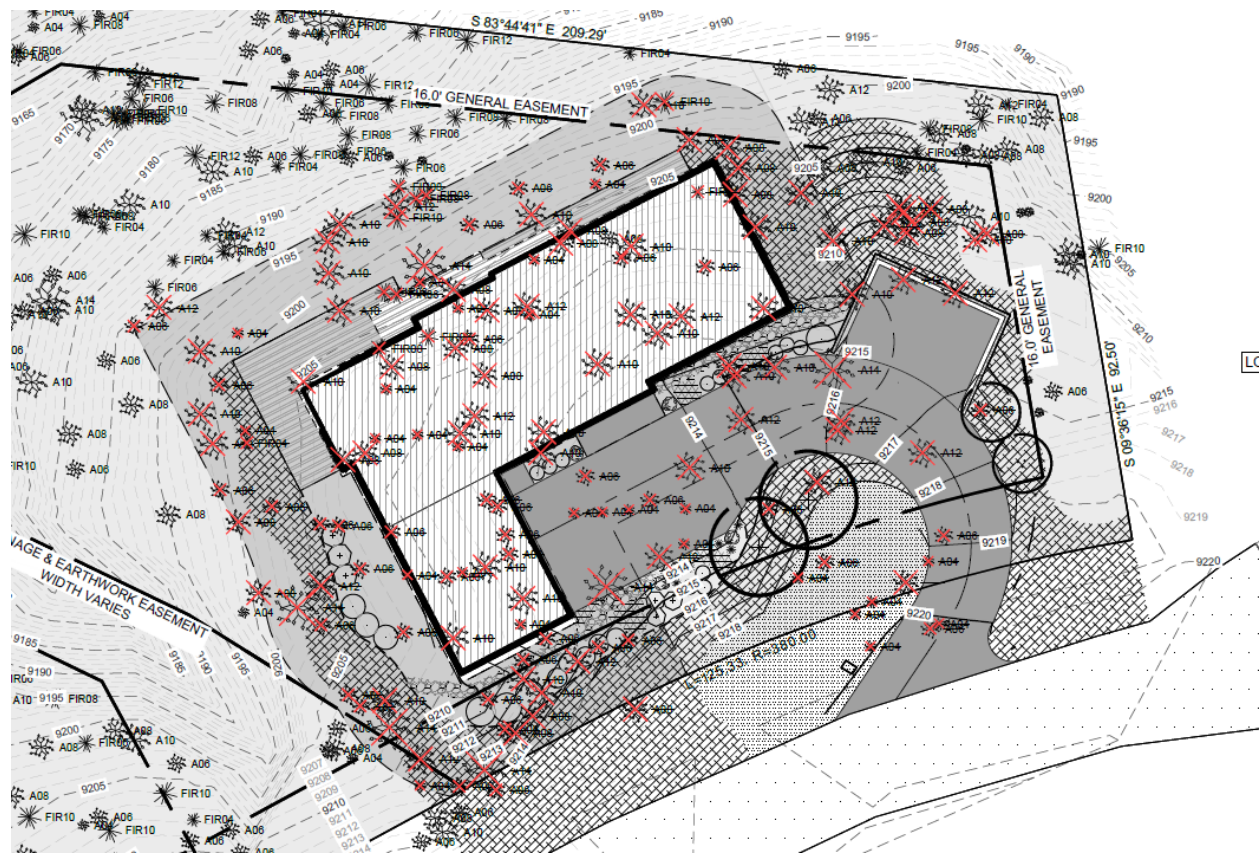


Figure 7 Fire Mitigation Plan

17.6.6: Roads and Driveway Standards

Staff: Staff finds these criteria met.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the fireplace will run on natural gas.

Chapter 17.7: BUILDING REGULATIONS

17.7.20: Construction Mitigation

Staff: The applicant provided an updated construction mitigation plan provided on Sheet C3 of Exhibit A to show areas for staging excavated material and updated parking stalls. It should be noted that there are proposed disturbances in the GE, these will need to be mitigated and revegetated at the completion of construction. The notes indicate a crane is to be used and that a separate crane/radius plan will be provided by the contractor, this can be reviewed with the building permit.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

I move to approve the Final Architecture Review for a new single-family home located on Lot 536, based on the evidence provided in the staff memo of record dated September 25, 2023, and the findings of this meeting with the following conditions and specific approvals:

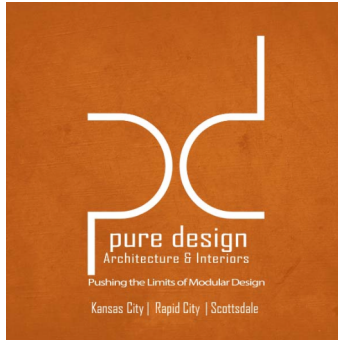
With the following Design Review Board Specific Approvals:

- 1) Right-of-way Encroachment – Address Monument*

And, with the following conditions:

- 1) Prior to building permit, the applicant shall submit a revised Irrigation Plan that incorporates staff comments contained in this memo.*
- 2) Prior to building permit the applicant shall verify the proposed location of the address monument is set back far enough from the road with Public Works.*
- 3) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.*
- 4) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum and average building height.*
- 5) A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.*
- 6) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted and deemed complete 2023.*
- 7) Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE.*
- 8) The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.*
- 9) A Knox Box for emergency access is recommended.*
- 10) Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
- 11) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*

- 12) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
 - b. Wood that is stained in the approved color(s);*
 - c. Any approved metal exterior material;*
 - d. Roofing material(s); and*
 - e. Any other approved exterior materials*
- 13) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*



Lot 536, Telluride Mountain Village – Response to Preliminary Review Conditions

Architect: Pure Design, LLC

Pure Design respectfully submits a Development Application and drawing package for final architectural review by the Town of Mountain Village Design Review Board for a home to be placed on Lot 536. The following is a list of items that we were to address for this review.

- 1) Prior to final review the applicant will revise the fire mitigation plans per the comments of the Town Forrester.
Response: Please see the revised Fire Mitigation Plan on Sheet C7. Evergreen trees have been removed from Zone 1. The requested notes have been added to Sheet L1 and L2.
- 2) Prior to building permit the applicant will meet on site with the Town Forrester to mark tress in Zone 2 for removal.
Response: Understood. A meeting will be set up on site prior to building permit issuance. A note has been added to C7.
- 3) Prior to final review the applicant will submit a revised lighting plan per the comments of this memo.
Response: Please see revised cutsheets. Fixture LF1 remained the same. While the representative image does not show a Dark Sky compliant fixture, they do make a Dark Sky compliant fixture. We've also been advised that we will be able to order fixtures with reduced lumens that will comply with TOMV Design Guidelines. A replacement fixture for LF2 has been selected that has a reduced lumen output. Please also note that the LF1 fixture on the garage façade that was closest to Russell Drive has been removed. Please reference revised cutsheets and lighting plan.
- 4) Prior to final review the applicant shall revise the landscaping plans per the comment of the Town Forrester and include proposed irrigation specifications and locations.
Response: Please see the included irrigation drawings.
- 5) Prior to final review the applicant shall demonstrate that they can meet both exterior parking requirements and garage back-out per the CDC.
Response: Please see civil and architectural site plans. Two parking stalls are being provided inside the garage. Two exterior parking stalls are being provided in the hammerhead. An additional 9' wide stall is being provided as a turn-around space.
- 6) Prior to final review the applicant will confirm that the proposed address monument doesn't interfere with the Russel Drive Trail and if it does will propose an alternate location.
Response: Please see revised site plan(s) indicating revised location for monument sign.

- 7) Prior to final review the applicant shall revise the construction mitigation plan to show areas for staging excavated material.
Response: The home will be constructed utilizing modular construction. Because of this, there is less of a need for on-site material storage. That said, additional area has been located on the revised construction mitigation plan indicating additional areas for potential storage.
- 8) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted and deemed complete in 2023.
Response: Understood.
- 9) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
Response: Understood.
- 10) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
Response: Understood.
- 11) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way, general easement, or setback, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (Fire Department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
Response: Understood.
- 12) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.
Response: Understood.
- 13) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
Response: Understood.
- 14) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
- The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
 - Wood that is stained in the approved color(s);
 - Any approved metal exterior material;
 - Roofing material(s); and
 - Any other approved exterior materials
- Response: Understood.**
- 15) Prior to final review, stone locations shall be revised per the DRB's comments.
Response: Please see the revised elevations. The stone veneer along the garage has been extended to run the full length of the projection. The 'step' along the right side of the front elevation has been removed. The materials on the two larger masses on the back side of the home have been revised to more closely match the materials on the front side of those respective forms.

16) Prior to final review, the columns at the deck shall be revised to be more substantial and grounded.

Response: After much consideration, making the deck structure along the rear of the home more prominent does not seem to fit the aesthetic and goals of the home. Given the heavily treed lot, the purpose of the deck was to feel light so that the heavy stone-clad mass of the foundation would stand out. Adding stone to the columns, or otherwise making them appear more massive would require additional foundation work. We'd like to keep the site disturbance in this area to a minimum given the existing site slope. We also do not feel, given that the home is nestled into the heavy trees on site, that the backside of the home will be that visible. For these reasons, we request that the steel columns could remain as designed.

Special Review Items:

None

GENERAL NOTES

1. ALL CONSTRUCTION ACTIVITIES SHALL BE COORDINATED WITH THE OWNER.
2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.
3. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.
4. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.
6. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.
7. UTILITY SERVICE LINES, POLES, VALVE BOXES, METERS, ET CETERA ARE TO BE ADJUSTED AS NECESSARY BY OTHERS PRIOR TO CONSTRUCTION UNLESS THE PLANS SPECIFICALLY CALL FOR THEIR ADJUSTMENT BY THE CONTRACTOR. EXISTING UTILITIES AND THEIR LOCATION, AS SHOWN ON THE PLANS, REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS UTILITY COMPANIES AND IS EITHER FROM COMPANY RECORD DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE PLAN LOCATIONS SHOWN ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY ALSO BE ENCOUNTERED. THE CONTRACTOR SHALL BE REQUIRED TO WORK AROUND EXISTING UTILITIES WITHIN THE RIGHT-OF-WAY WHICH DO NOT CONFLICT WITH PROPOSED CONSTRUCTION. THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION OF EACH PHASE OF THE PROJECT, THE CONTRACTOR SHALL BE REQUIRED TO FIELD VERIFY THE LOCATION AND ELEVATIONS OF EXISTING UTILITIES. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
8. INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS. THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK
9. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.
10. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.
11. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.
12. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.
13. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO A CLEAN-OUT).
14. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
15. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.
16. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.
18. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.
19. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.
20. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.
21. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.
22. TREES AND SHRUBS IN PUBLIC RIGHT-OF-WAY WHICH ARE IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR WITH THE ENGINEER'S APPROVAL. TREES AND SHRUBS WHICH ARE NOT IN CONFLICT WITH PROPOSED NEW CONSTRUCTION AND NOT SHOWN TO BE REMOVED SHALL BE SAVED AND PROTECTED FROM DAMAGE.
23. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING UTILITY POLES, TREES AND SIGNAGE LOCATED IN THE RIGHT-OF-WAY.
24. DO NOT STORE MATERIALS, DEBRIS, OR SALVAGED OR EXCAVATED MATERIALS INSIDE THE TREE DRIP LINE. DO NOT PARK VEHICLES OR EQUIPMENT INSIDE THE TREE DRIP LINE.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.
26. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.
27. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.
28. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.
29. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.
30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR SHALL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR THIS WORK AS IT SHALL BE CONSIDERED SUBSIDIARY TO OTHER ITEMS IN THE CONTRACT.

CAUTION - NOTICE TO CONTRACTOR:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST THE EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

SAFETY NOTICE TO CONTRACTOR:

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY / DISCLAIMER:

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER SMH CONSULTANTS NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE SMH CONSULTANTS INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON THE SITE.

THE DESIGNS PRESENTED IN THESE PLANS ARE BASED OFF OF A TOPOGRAPHIC SURVEY PREPARED BY ALL POINTS LAND SURVEY L.L.C., OPHIR, COLORADO AND PROVIDED TO SMH CONSULTANTS. SMH CONSULTANTS NOR ITS PERSONNEL CAN OR DO WARRANTY THE ACCURACY OF THE TOPOGRAPHICAL SURVEY AND THEREFORE DOES NOT WARRANTY THAT PART OF THE DESIGN BASED ON THE TOPOGRAPHICAL SURVEY.



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(719) 465-2145

RUSSELL DRIVE RESIDENCE

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

MOUNTAIN VILLAGE, COLORADO

REVISION DATE	REVISION DESCRIPTION (DESCRIPTION)
00/00/00	
△	

GENERAL NOTES



CALL BEFORE YOU DIG - DRILL - BLAST

COLORADO:
P: 800-922-1987
F: 303-234-1712

The utilities as shown on this drawing were developed from the information available. This is not implied nor intended to be the complete inventory of utilities in this area. It is the clients/contractors responsibility to verify the location of all utilities (whether shown or not) and protect said utilities from any damage.

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DRAWN BY: KMM

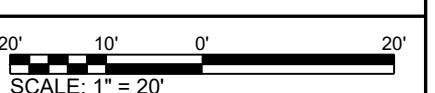
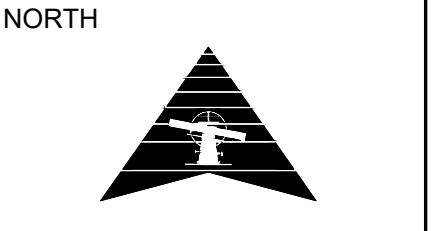
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SHEET # **C1**

TOTAL SHEETS 9

RUSSELL DRIVE RESIDENCE
PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
MOUNTAIN VILLAGE, COLORADO

REVISION DATE	REVISION DESCRIPTION (DESCRIPTION)
00/00/00	



PROJECT #: 2106-0278
CHECKED BY: BML
DRAWN BY: KMM

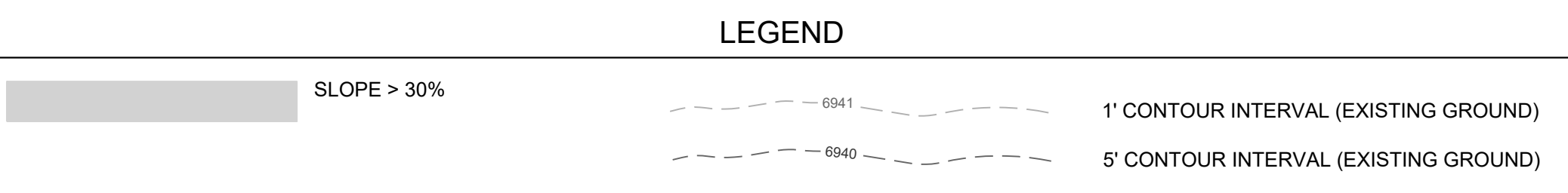
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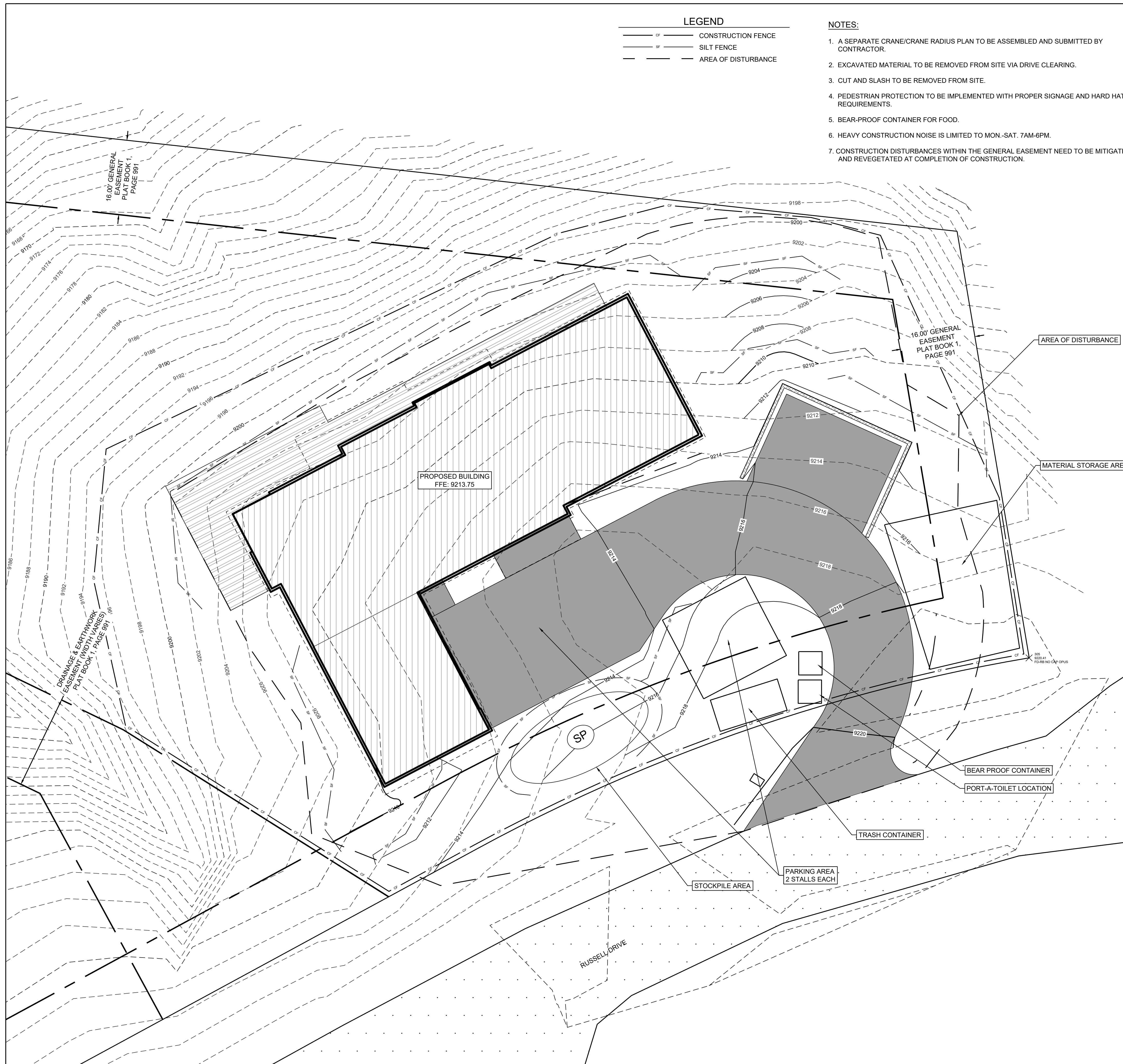
SHEET # **C2**

TOTAL SHEETS 9



SURVEY WORK COMPLETED BY:
ALL POINTS LAND SURVEY L.L.C.
PO BOX 754
OPHIR, CO 81435
(970) 708-9694





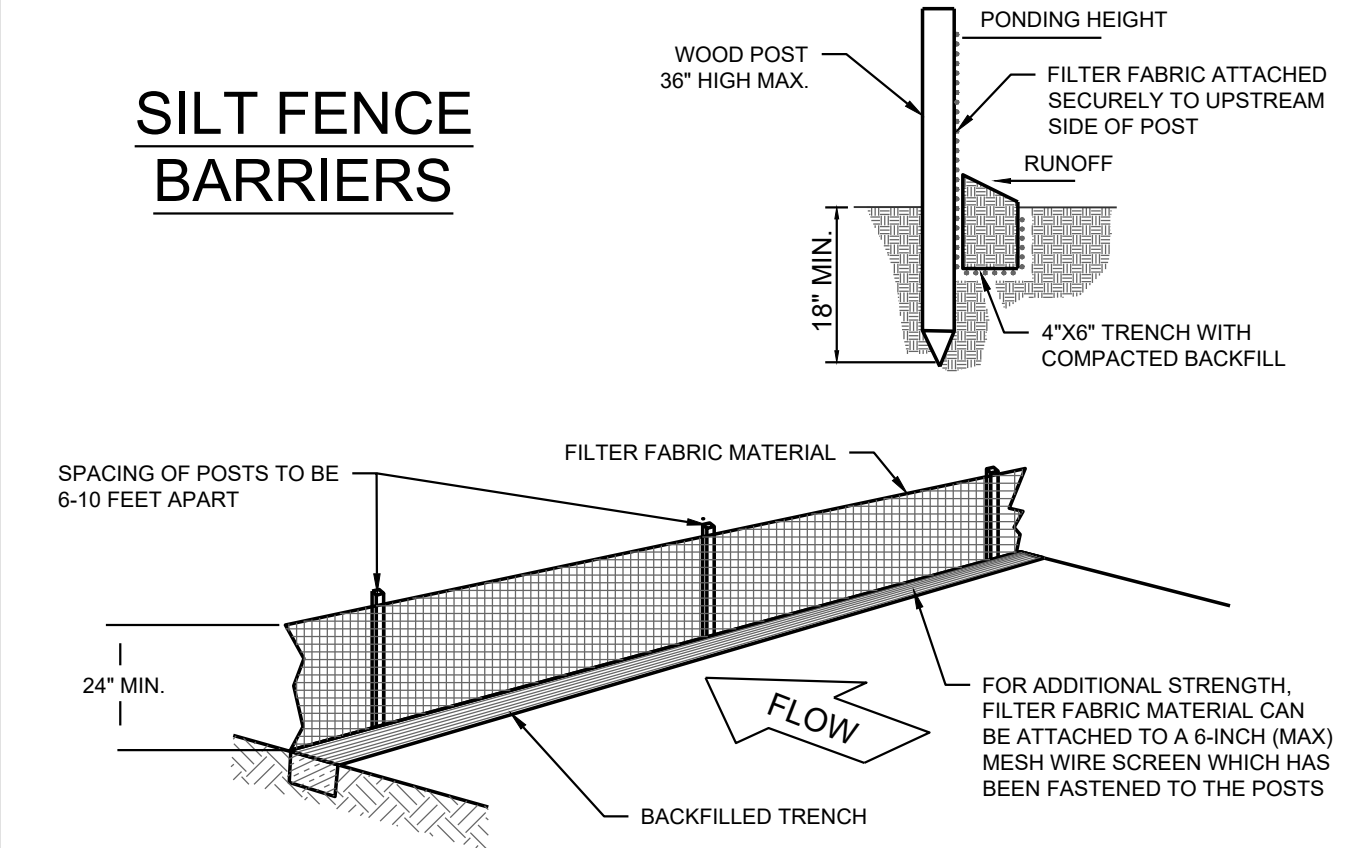
LEGEND

- CONSTRUCTION FENCE
- SILT FENCE
- AREA OF DISTURBANCE

NOTES:

1. A SEPARATE CRANE/Crane RADIUS PLAN TO BE ASSEMBLED AND SUBMITTED BY CONTRACTOR.
2. EXCAVATED MATERIAL TO BE REMOVED FROM SITE VIA DRIVE CLEARING.
3. CUT AND SLASH TO BE REMOVED FROM SITE.
4. PEDESTRIAN PROTECTION TO BE IMPLEMENTED WITH PROPER SIGNAGE AND HARD HAT REQUIREMENTS.
5. BEAR-PROOF CONTAINER FOR FOOD.
6. HEAVY CONSTRUCTION NOISE IS LIMITED TO MON.-SAT. 7AM-6PM.
7. CONSTRUCTION DISTURBANCES WITHIN THE GENERAL EASEMENT NEED TO BE MITIGATED AND REVEGETATED AT COMPLETION OF CONSTRUCTION.

SILT FENCE BARRIERS



MATERIAL SPECIFICATION:

- SILT FENCE FABRIC SHALL CONFORM TO THE AASHTO M288 96 SILT FENCE SPECIFICATION.
- THE POSTS USED TO SUPPORT THE SILT FENCE FABRIC SHOULD BE A HARDWOOD MATERIAL WITH THE FOLLOWING MINIMUM DIMENSIONS: 2" SQUARE (NOMINAL) BY 4" LONG.
- SILT FENCE FABRIC AND SUPPORT BACKING SHOULD BE ATTACHED TO THE WOODEN POSTS AND FRAME WITH STAPLES, WIRE, ZIP TIES, OR NAILS.

PLACEMENT:

- A SLOPE BARRIER SHALL BE USED AT THE TOE OF A SLOPE WHEN A DITCH DOES NOT EXIST.
- THE SLOPE BARRIER SHOULD BE PLACED ON NEARLY LEVEL GROUND 5' TO 10' AWAY FROM THE TOE OF A SLOPE.
- THE BARRIER IS PLACED AWAY FROM THE TOE OF THE SLOPE TO PROVIDE ADEQUATE STORAGE FOR SETTLING OUT SEDIMENT.
- WHEN PRACTICABLE, SILT FENCE SLOPE BARRIERS SHOULD BE PLACED ALONG CONTOURS TO AVOID A CONCENTRATION OF FLOW.
- SILT FENCE SLOPE BARRIERS CAN ALSO BE PLACED ALONG RIGHT-OF-WAY FENCE LINES TO KEEP SEDIMENT FROM CROSSING ONTO ADJACENT PROPERTY. WHEN PLACED IN THIS MANNER, THE SLOPE BARRIER WILL NOT LIKELY FOLLOW CONTOURS.

PROPER INSTALLATION METHOD:

- EXCAVATE A TRENCH THE LENGTH OF THE PLANNED SLOPE BARRIER THAT IS 12" DEEP BY 8" WIDE. MAKE SURE THAT THE TRENCH IS EXCAVATED ALONG A SINGLE CONTOUR. WHEN PRACTICABLE, SLOPE BARRIERS SHOULD BE PLACED ALONG CONTOURS TO AVOID CONCENTRATION OF FLOW. PLACE THE SOIL ON THE UPSLOPE SIDE OF THE TRENCH FOR LATER USE.
- ROLL OUT A CONTINUOUS LENGTH OF SILT FENCE FABRIC ON THE DOWNSLOPE SIDE OF THE TRENCH.
- PLACE THE EDGE OF THE FABRIC IN THE TRENCH STARTING AT THE TOP UPSLOPE EDGE. LINE ALL THREE SIDES OF THE TRENCH WITH THE FABRIC. BACKFILL OVER THE FABRIC IN THE TRENCH WITH THE EXCAVATED SOIL AND COMPACT. AFTER FILLING THE TRENCH, APPROXIMATELY 24" TO 36" OF SILT FENCE FABRIC SHOULD REMAIN EXPOSED.
- LAY THE EXPOSED SILT FENCE UPSLOPE OF THE TRENCH TO CLEAR AN AREA FOR DRIVING IN THE POSTS.
- JUST DOWNSLOPE OF THE TRENCH, DRIVE POSTS INTO THE GROUND TO A DEPTH OF AT LEAST 18".
- PLACE POSTS NO MORE THAN 4 FEET APART. THE DISTANCE BETWEEN POSTS SHOULD BE 4' OR LESS. IF THE DISTANCE BETWEEN TWO ADJACENT POSTS IS MORE THAN 4' ADD ANOTHER POST(S) BETWEEN THEM.
- ATTACH THE SILT FENCE TO THE ANCHORED POST WITH STAPLE, WIRE, ZIP TIES, OR NAILS.

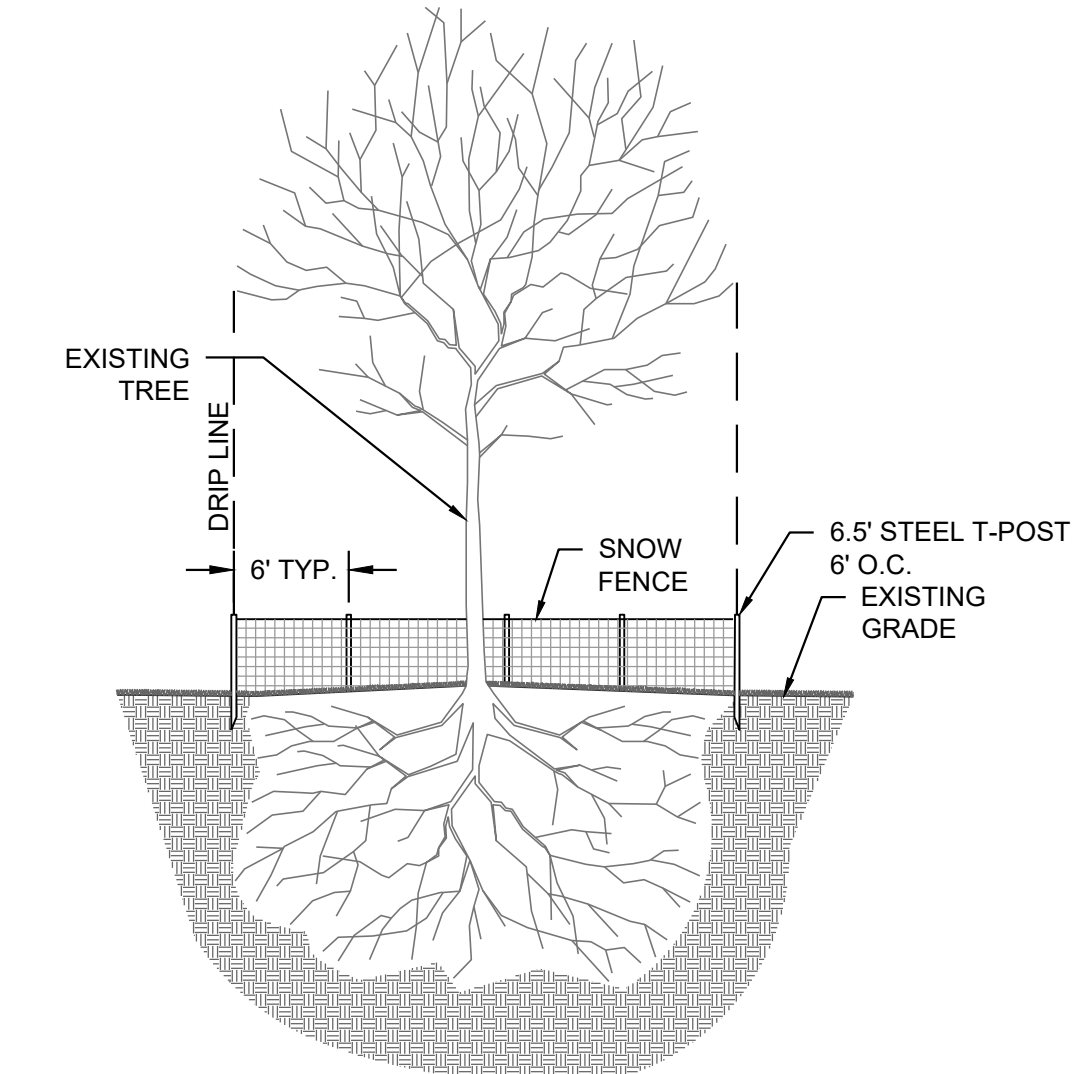
LIST OF COMMON PLACEMENT/INSTALLATION MISTAKES TO AVOID:

- WHEN PRACTICABLE, DO NOT PLACE SILT FENCE SLOPE BARRIERS ACROSS CONTOURS. SLOPE BARRIERS SHOULD BE PLACED ALONG CONTOURS TO AVOID A CONCENTRATION OF FLOW. WHEN THE FLOW CONCENTRATES, IT OVERTOPS THE BARRIER AND THE SILT FENCE SLOPE BARRIER QUICKLY DETERIORATES.
- DO NOT PLACE SILT FENCE POSTS ON THE UPSLOPE SIDE OF THE SILT FENCE FABRIC. IN THIS CONFIGURATION, THE FORCE OF THE WATER IS NOT RESTRICTED BY THE POSTS, BUT ONLY BY THE STAPLES (WIRE, ZIP TIES, NAILS, ETC.).
- DO NOT PLACE SILT FENCE SLOPE BARRIERS IN AREAS WITH SHALLOW SOILS UNDERLAIN BY ROCK. IF THE BARRIER IS NOT SUFFICIENTLY ANCHORED IT WILL WASH OUT.
- SILT FENCE SLOPE BARRIERS MUST BE DUG INTO THE GROUND. SILT FENCE AT GROUND LEVEL DOES NOT WORK BECAUSE WATER WILL FLOW UNDERNEATH.

INSPECTION AND MAINTENANCE:

- SILT FENCE SLOPE BARRIERS SHALL BE INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 1" OR MORE. THE FOLLOWING IS A LIST OF QUESTIONS THAT SHOULD BE ADDRESSED DURING EACH INSPECTION:
- ARE THERE ANY POINTS ALONG THE SLOPE BARRIER WHERE WATER IS CONCENTRATING?
 - DOES WATER FLOW UNDER THE SLOPE BARRIER?
 - DOES THE SILT FENCE SAG EXCESSIVELY?
 - HAS THE SILT FENCE TORN OR BECOME DETACHED FROM THE POSTS?
 - DOES SEDIMENT NEED TO BE REMOVED FROM BEHIND THE SLOPE BARRIER?

TREE PROTECTION DETAIL NOT TO SCALE



REVISION DATE	REVISION DESCRIPTION (DESCRIPTION)
00/00/00	

NORTH

SCALE: 1" = 10'

PROJECT #: 2106-0278
 CHECKED BY: BML
 DRAWN BY: KMM

DATE: 12/21/2021

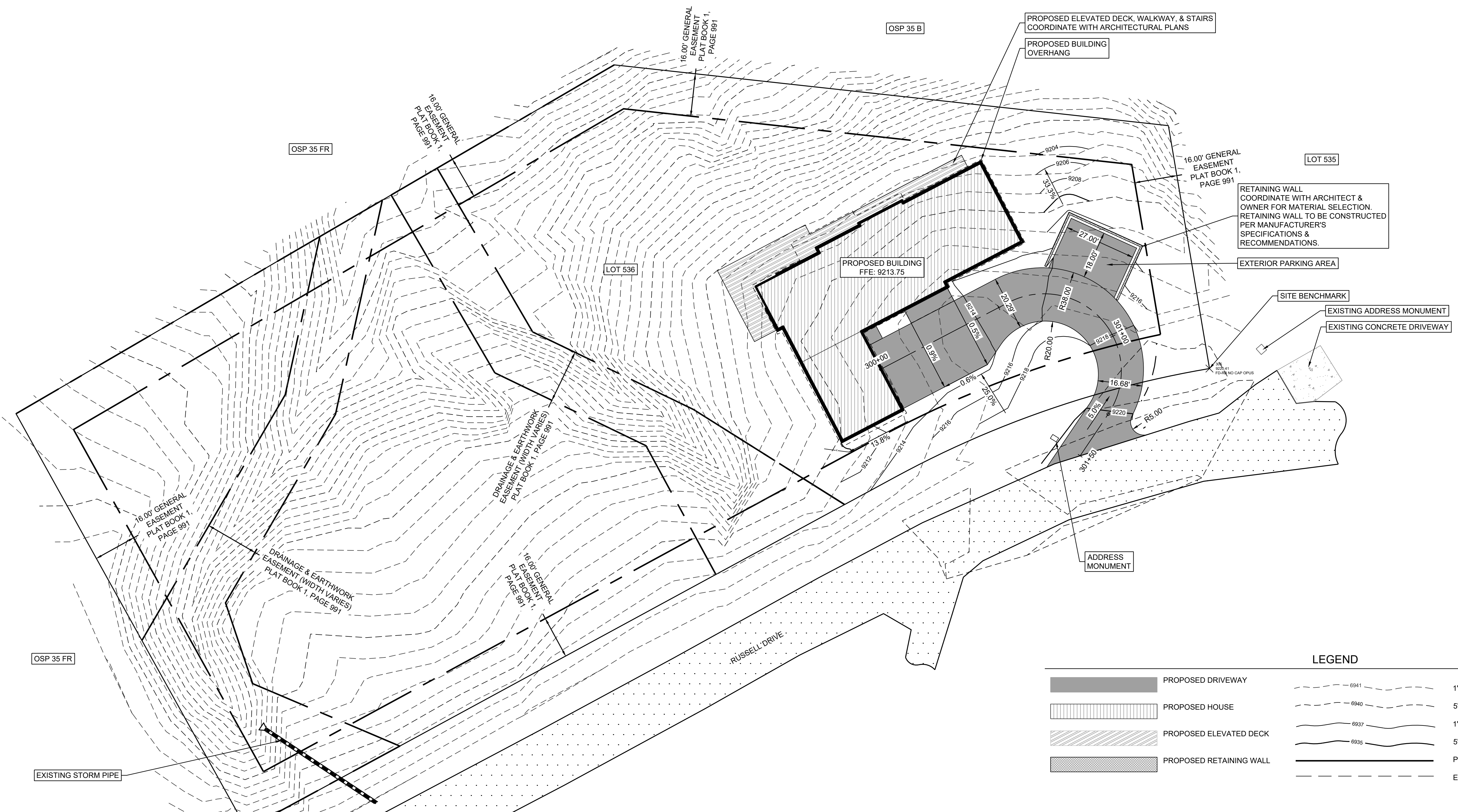
SHEET # **C3**

TOTAL SHEETS 9

RUSSELL DRIVE RESIDENCE

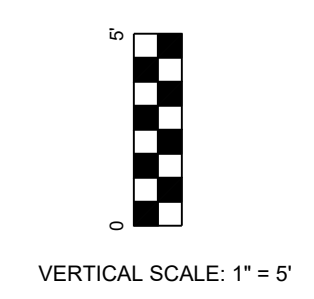
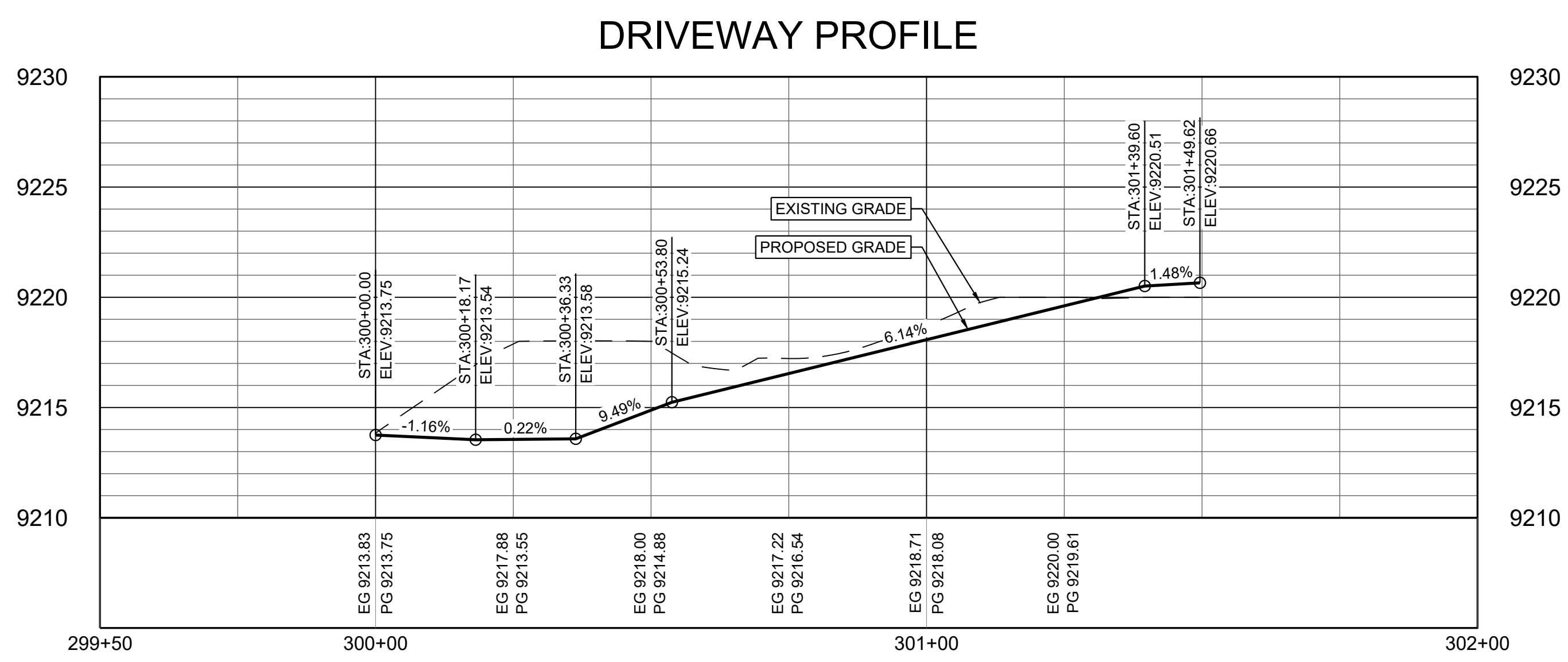
PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

MOUNTAIN VILLAGE, COLORADO



LEGEND	
	PROPOSED DRIVEWAY
	PROPOSED HOUSE
	PROPOSED ELEVATED DECK
	PROPOSED RETAINING WALL
	1' CONTOUR INTERVAL (EXISTING GROUND)
	5' CONTOUR INTERVAL (EXISTING GROUND)
	1' CONTOUR INTERVAL (PROPOSED GROUND)
	5' CONTOUR INTERVAL (PROPOSED GROUND)
	PROPERTY LINE
	EXISTING PUBLIC UTILITY EASEMENT

NOTES:
 REFERENCE THE RESIDENTIAL SOIL INVESTIGATION REPORT COMPLETED BY GRAND VALLEY CONSULTING, LLC DBA GEOTECHNICAL ENGINEERING GROUP, DATED JUNE 29, 2021, FOR INFORMATION RELATED TO COMPACTION, EXCAVATION, AND EMBANKMENTS MATERIALS, SPECIFICATIONS, AND GUIDELINES, AS WELL AS, PAVEMENT AND FOUNDATION RECOMMENDATIONS.
 ELEVATION DATUM ARE BASED ON GPS OBSERVATION AND OPUS SOLUTION (NAVD 88) ON SITE BENCHMARK, THAT ELEVATION BEING 9220.41.

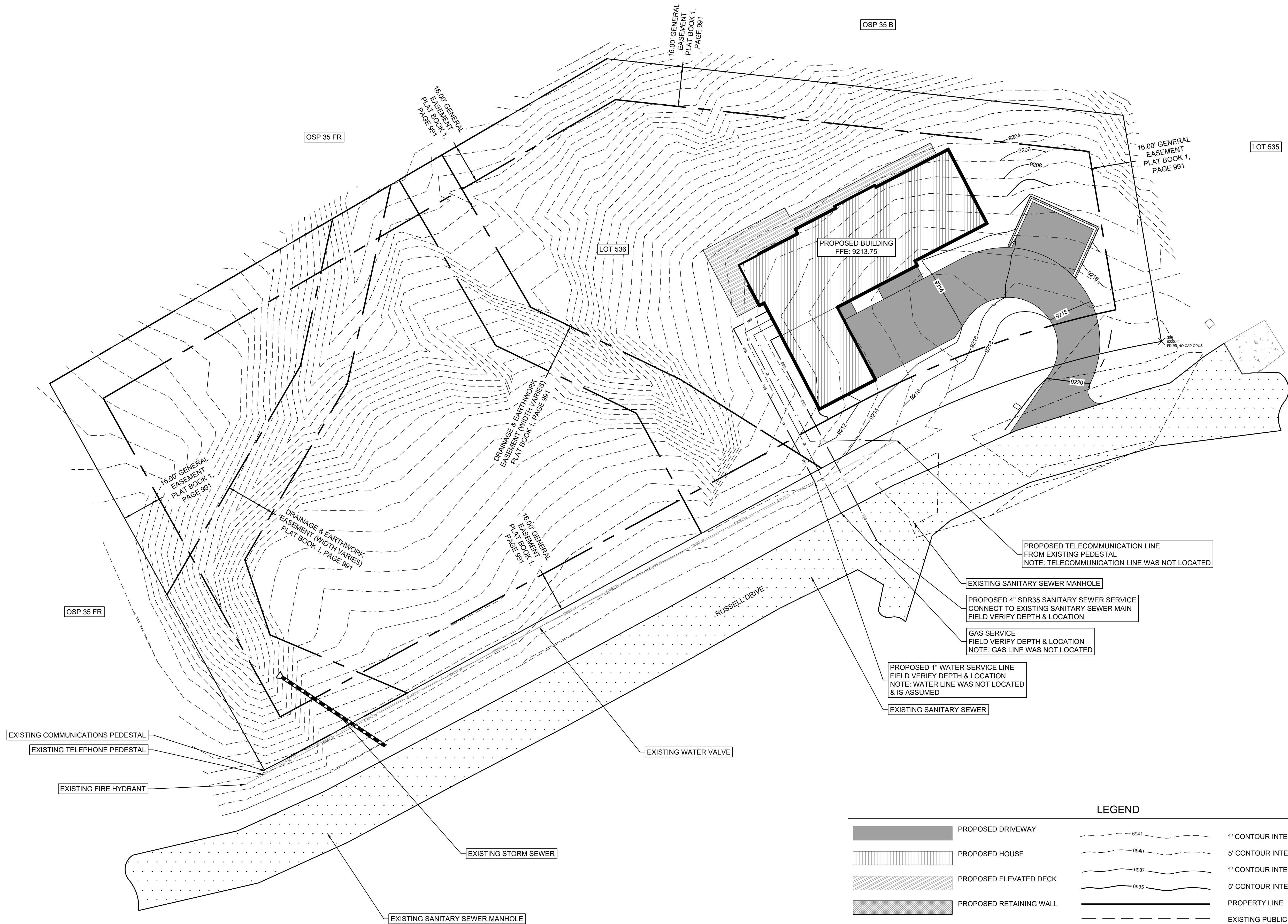


REVISION DESCRIPTION (DESCRIPTION)		SITE & GRADING PLAN
REVISION DATE		
00/00/00		
NORTH		
SCALE: 1" = 20'		
PROJECT #: 2106-0278	CHECKED BY: BML	DATE: 12/21/2021
DRAWN BY: KMM		
SHEET #		C4
TOTAL SHEETS		

RUSSELL DRIVE RESIDENCE

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

MOUNTAIN VILLAGE, COLORADO



PROPOSED TELECOMMUNICATION LINE
FROM EXISTING PEDESTAL
NOTE: TELECOMMUNICATION LINE WAS NOT LOCATED

EXISTING SANITARY SEWER MANHOLE

PROPOSED 4" SDR35 SANITARY SEWER SERVICE
CONNECT TO EXISTING SANITARY SEWER MAIN
FIELD VERIFY DEPTH & LOCATION

GAS SERVICE
FIELD VERIFY DEPTH & LOCATION
NOTE: GAS LINE WAS NOT LOCATED

PROPOSED 1" WATER SERVICE LINE
FIELD VERIFY DEPTH & LOCATION
NOTE: WATER LINE WAS NOT LOCATED
& IS ASSUMED

EXISTING SANITARY SEWER

EXISTING WATER VALVE

EXISTING COMMUNICATIONS PEDESTAL

EXISTING TELEPHONE PEDESTAL

EXISTING FIRE HYDRANT

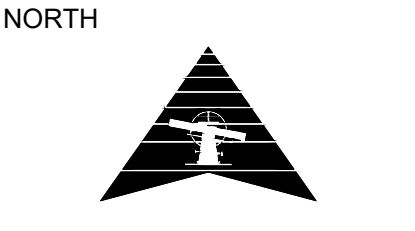
EXISTING STORM SEWER

EXISTING SANITARY SEWER MANHOLE

LEGEND

[Solid Grey Box]	PROPOSED DRIVEWAY	[Dashed Line 6941]	1' CONTOUR INTERVAL (EXISTING GROUND)
[Hatched Box]	PROPOSED HOUSE	[Dashed Line 6940]	5' CONTOUR INTERVAL (EXISTING GROUND)
[Diagonal Hatched Box]	PROPOSED ELEVATED DECK	[Solid Line 6937]	1' CONTOUR INTERVAL (PROPOSED GROUND)
[Dotted Box]	PROPOSED RETAINING WALL	[Solid Line 6935]	5' CONTOUR INTERVAL (PROPOSED GROUND)
[Circle with X]	EXISTING WATER VALVE	[Dashed Line]	PROPERTY LINE
[Circle with Fire Hydrant]	EXISTING FIRE HYDRANT	[Dashed Line]	EXISTING PUBLIC UTILITY EASEMENT
[Circle with S]	EXISTING SANITARY SEWER MANHOLE	[Line with WS]	EXISTING WATER LINE
[Circle with C]	EXISTING COMMUNICATIONS PEDESTAL	[Line with SS]	PROPOSED WATER SERVICE
[Circle with O]	EXISTING TELEPHONE PEDESTAL	[Line with 688 690]	EXISTING SANITARY SEWER LINE
		[Line with T]	PROPOSED SANITARY SEWER SERVICE
		[Line with T]	EXISTING TELECOMMUNICATIONS
		[Line with G]	PROPOSED TELECOMMUNICATIONS
		[Line with G]	PROPOSED GAS

REVISION DATE	REVISION DESCRIPTION



SCALE: 1" = 20'

PROJECT #: 2106-0278
CHECKED BY: BML
DRAWN BY: KMM

DATE: 12/21/2021

SHEET # **C5**

TOTAL SHEETS 9

UTILITY PLAN

RUSSELL DRIVE RESIDENCE

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

MOUNTAIN VILLAGE, COLORADO

HORIZONTAL & VERTICAL CONTROL PLAN

NOTES:
BOTTOM ELEVATIONS PROVIDED REFER TO THE ELEVATION WHERE THE FINISHED GRADE MEETS THE WALL. NO ALLOWANCE FOR BURY DEPTH HAS BEEN MADE.
SOME ADJUSTMENT OF RETAINING WALL MAY BE REQUIRED IN THE FIELD. CONTRACTOR WILL BE PAID FOR AS-BUILT QUANTITIES BASED ON EXPOSED SQUARE FEET OF RETAINING WALL.
HORIZONTAL CONTROL FOR THE RETAINING WALL IS BASED ON THE BOTTOM EXPOSED FRONT OF THE WALL WHERE GRADE MEETS THE WALL.

LEGEND

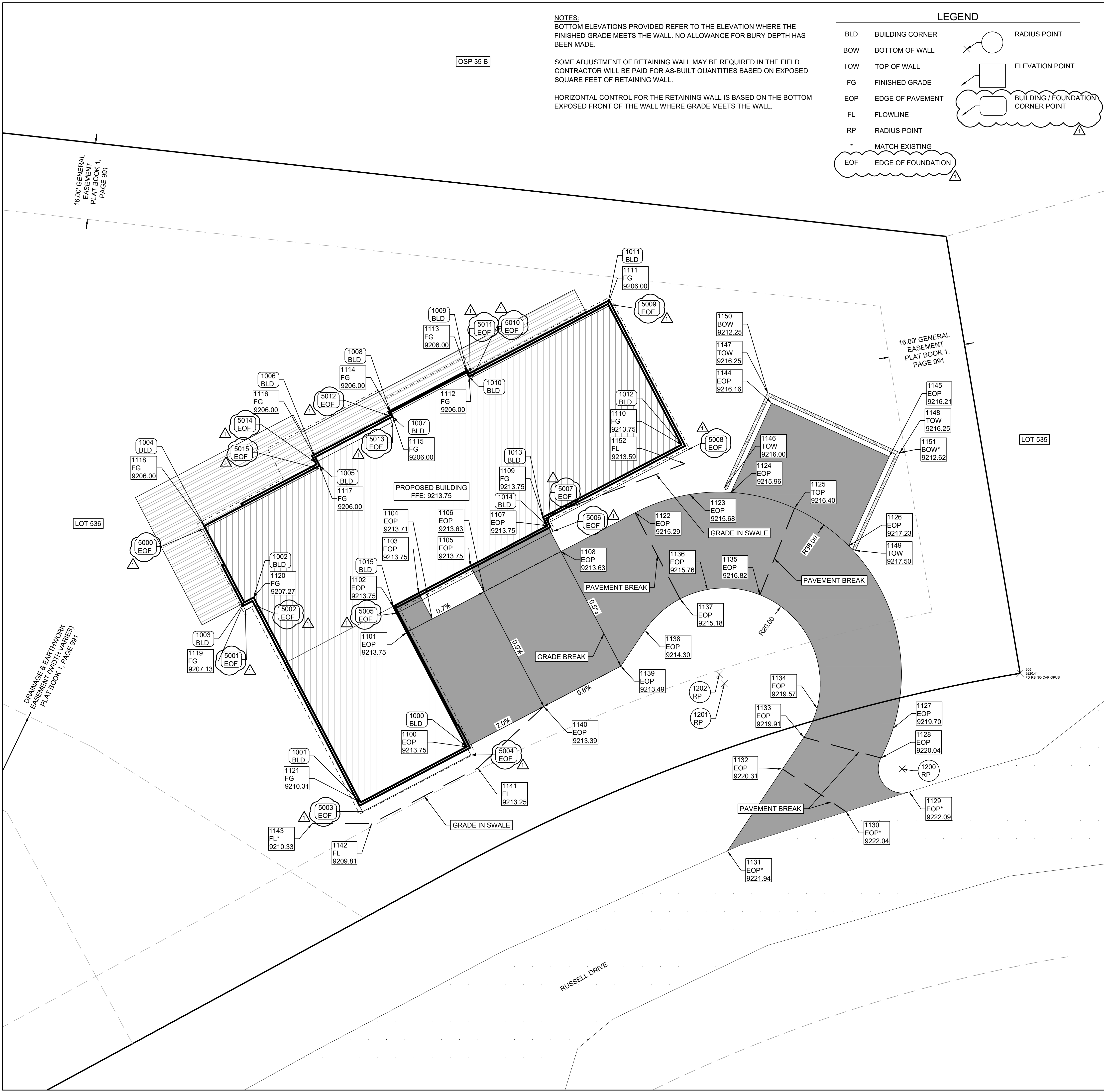
- BLD BUILDING CORNER
- BOW BOTTOM OF WALL
- TOW TOP OF WALL
- FG FINISHED GRADE
- EOP EDGE OF PAVEMENT
- FL FLOWLINE
- RP RADIUS POINT
- MATCH EXISTING
- EOF EDGE OF FOUNDATION
- RADIUS POINT
- ELEVATION POINT
- BUILDING / FOUNDATION CORNER POINT

FOUNDATION POINTS			
POINT #	NORTHING	EASTING	DESCRIPTION
1000	10846.65	14250.72	BLD
1001	10835.06	14228.57	BLD
1002	10877.84	14206.24	BLD
1003	10876.81	14204.28	BLD
1004	10892.76	14195.94	BLD
1005	10905.36	14220.01	BLD
1006	10907.13	14219.09	BLD
1007	10915.59	14235.26	BLD
1008	10916.47	14234.79	BLD
1009	10924.82	14250.74	BLD
1010	10923.93	14251.21	BLD
1011	10939.11	14280.23	BLD
1012	10909.72	14295.60	BLD
1013	10894.58	14266.65	BLD
1014	10892.81	14267.58	BLD
1015	10875.97	14235.39	BLD

FOUNDATION POINTS			
POINT #	NORTHING	EASTING	DESCRIPTION
5000	10892.11	14195.67	EOF
5001	10875.20	14204.52	EOF
5002	10876.22	14206.48	EOF
5003	10833.12	14228.98	EOF
5004	10844.95	14251.61	EOF
5005	10874.56	14236.12	EOF
5006	10891.62	14268.72	EOF
5007	10893.43	14267.78	EOF
5008	10908.61	14296.80	EOF
5009	10938.95	14280.92	EOF
5010	10923.77	14251.90	EOF
5011	10924.66	14251.44	EOF
5012	10915.78	14234.45	EOF
5013	10914.41	14235.17	EOF
5014	10906.03	14219.14	EOF
5015	10904.74	14219.82	EOF

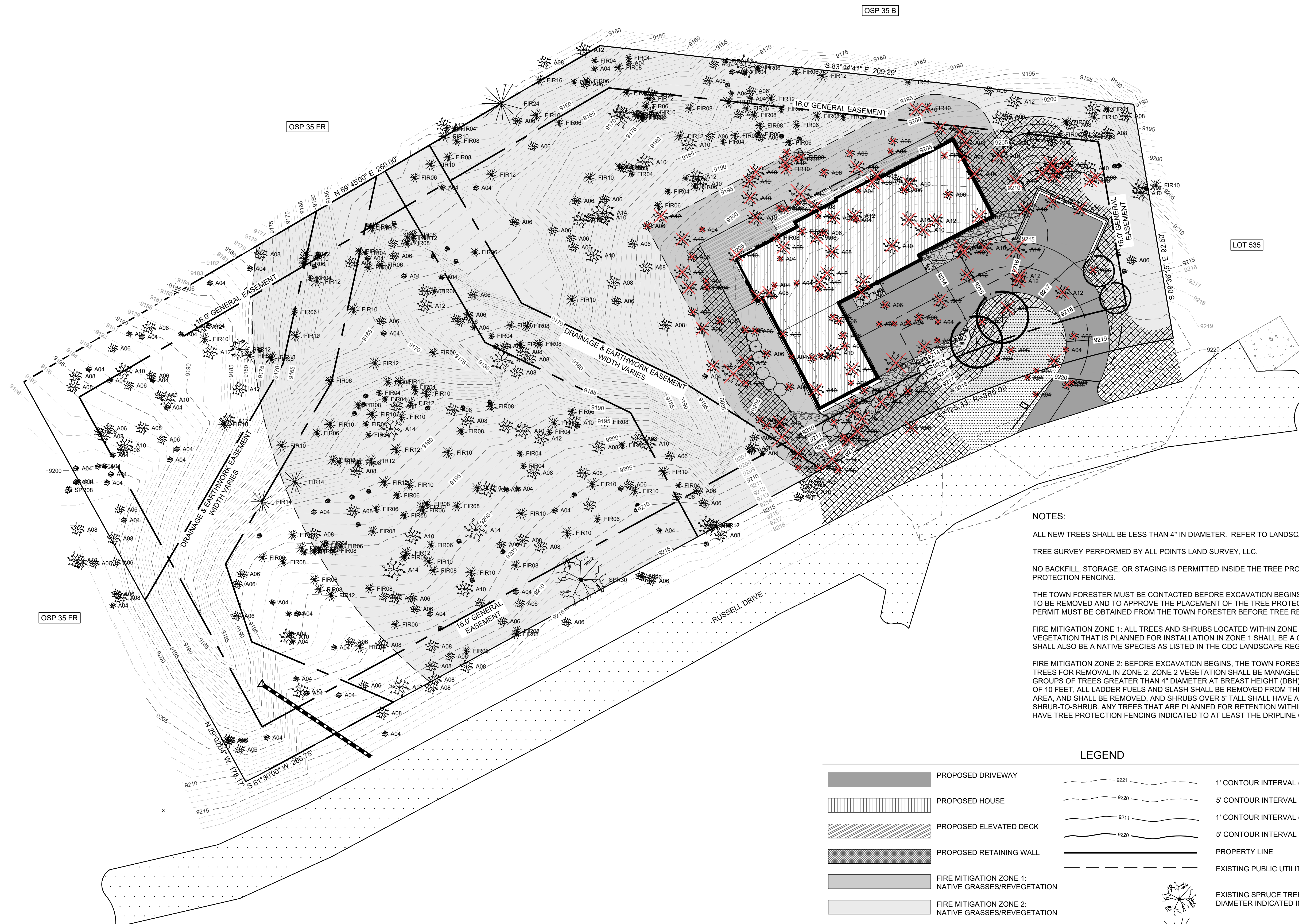
HORIZONTAL CONTROL POINTS				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1100	10846.65	14250.72	9213.75	EOP
1101	10870.58	14238.21	9213.75	EOP
1102	10875.97	14235.39	9213.75	EOP
1103	10878.75	14240.70	9213.75	EOP
1104	10873.36	14243.52	9213.71	EOP
1105	10884.39	14251.48	9213.75	EOP
1106	10879.06	14254.32	9213.63	EOP
1107	10892.81	14267.58	9213.75	EOP
1108	10887.42	14270.40	9213.63	EOP
1109	10894.58	14266.65	9213.75	FG
1110	10909.72	14295.60	9213.75	FG
1111	10939.11	14280.23	9206.00	FG
1112	10923.93	14251.21	9206.00	FG
1113	10924.82	14250.74	9206.00	FG
1114	10916.47	14234.79	9206.00	FG
1115	10915.59	14235.26	9206.00	FG
1116	10907.13	14219.09	9206.00	FG
1117	10905.36	14220.01	9206.00	FG
1118	10892.76	14195.94	9206.00	FG
1119	10876.81	14204.28	9207.13	FG
1120	10877.84	14206.24	9207.27	FG
1121	10835.06	14228.57	9210.31	FG
1122	10895.52	14285.89	9215.29	EOP
1123	10899.34	14297.31	9215.68	EOP
1124	10899.77	14305.91	9215.96	EOP
1125	10896.46	14319.18	9216.40	TOP
1126	10888.60	14330.49	9217.23	EOP
1127	10850.53	14339.77	9219.70	EOP
1128	10844.33	14337.22	9220.04	EOP
1129	10837.26	14343.16	9222.09	EOP*
1130	10833.10	14329.96	9222.04	EOP*
1131	10824.93	14305.18	9221.94	EOP*
1132	10842.03	14316.68	9220.31	EOP*
1133	10848.64	14321.13	9219.91	EOP
1134	10854.71	14323.88	9219.57	EOP
1135	10878.37	14311.96	9216.82	EOP
1136	10879.48	14300.99	9215.76	EOP
1137	10877.52	14295.27	9215.18	EOP
1138	10870.96	14287.94	9214.30	EOP
1139	10863.49	14282.91	9213.49	EOP
1140	10855.07	14266.82	9213.39	EOP
1141	10842.22	14253.04	9213.25	FL
1142	10830.63	14230.89	9209.81	FL
1143	10830.59	14218.42	9210.33	FL*
1144	10918.41	14314.38	9216.16	EOP
1145	10907.24	14338.96	9216.21	EOP
1146	10900.53	14304.42	9216.00	TOW
1147	10920.62	14313.55	9216.25	TOW
1148	10908.07	14341.17	9216.25	TOW
1149	10887.64	14331.88	9217.50	TOW
1150	10920.62	14313.55	9212.25	BOW
1151	10908.07	14341.17	9212.62	BOW*
1152	10905.77	14296.25	9213.59	FL

RADIUS POINTS				
POINT #	NORTHING	EASTING	DESCRIPTION	RADIUS
1200	10842.03	14341.66	RP	RP
1201	10859.80	14304.54	RP	RP
1202	10861.85	14303.50	RP	RP



REVISION DESCRIPTION	EDGE OF FOUNDATION POINTS
REVISION DATE	06/22/23
NORTH	
SCALE: 1" = 10'	
PROJECT #:	2106-0278
CHECKED BY:	BML
DRAWN BY:	KMM
DATE:	12/21/2021
SHEET #	C6
TOTAL SHEETS	9

RUSSELL DRIVE RESIDENCE
PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
MOUNTAIN VILLAGE, COLORADO



NOTES:

ALL NEW TREES SHALL BE LESS THAN 4" IN DIAMETER. REFER TO LANDSCAPE PLAN FOR GREATER DETAIL.

TREE REMOVAL PERFORMED BY ALL POINTS LAND SURVEY, LLC.

NO BACKFILL, STORAGE, OR STAGING IS PERMITTED INSIDE THE TREE PROTECTION AREAS INSIDE THE TREE PROTECTION FENCING.

THE TOWN FORESTER MUST BE CONTACTED BEFORE EXCAVATION BEGINS TO MARK OR APPROVE THE TREES TO BE REMOVED AND TO APPROVE THE PLACEMENT OF THE TREE PROTECTION FENCING. A TREE REMOVAL PERMIT MUST BE OBTAINED FROM THE TOWN FORESTER BEFORE TREE REMOVAL OPERATIONS MAY BEGIN.

FIRE MITIGATION ZONE 1: ALL TREES AND SHRUBS LOCATED WITHIN ZONE 1 SHALL BE REMOVED. ANY VEGETATION THAT IS PLANNED FOR INSTALLATION IN ZONE 1 SHALL BE A COLORADO FIREWISE PLANT AND SHALL ALSO BE A NATIVE SPECIES AS LISTED IN THE CDC LANDSCAPE REGULATIONS (CDC 17.5.9).

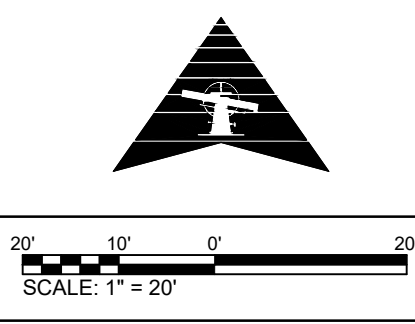
FIRE MITIGATION ZONE 2: BEFORE EXCAVATION BEGINS, THE TOWN FORESTER SHALL BE CONTACTED TO MARK TREES FOR REMOVAL IN ZONE 2. ZONE 2 VEGETATION SHALL BE MANAGED IN SUCH A WAY THAT TREES OR GROUPS OF TREES GREATER THAN 4" DIAMETER AT BREAST HEIGHT (DBH) SHALL HAVE A CROWN SEPARATION OF 10 FEET. ALL LADDER FUELS AND SLASH SHALL BE REMOVED FROM THE 10' CROWN-TO-CROWN SEPARATION AREA, AND SHALL BE REMOVED, AND SHRUBS OVER 5' TALL SHALL HAVE AN AVERAGE SPACING OF 10' FROM SHRUB-TO-SHRUB. ANY TREES THAT ARE PLANNED FOR RETENTION WITHIN THE LIMITS OF DISTURBANCE SHALL HAVE TREE PROTECTION FENCING INDICATED TO AT LEAST THE DRIPLINE OF THE TREES

LEGEND

	PROPOSED DRIVEWAY		1' CONTOUR INTERVAL (EXISTING GROUND)
	PROPOSED HOUSE		5' CONTOUR INTERVAL (EXISTING GROUND)
	PROPOSED ELEVATED DECK		1' CONTOUR INTERVAL (PROPOSED GROUND)
	PROPOSED RETAINING WALL		5' CONTOUR INTERVAL (PROPOSED GROUND)
	FIRE MITIGATION ZONE 1: NATIVE GRASSES/REVEGETATION		PROPERTY LINE
	FIRE MITIGATION ZONE 2: NATIVE GRASSES/REVEGETATION		EXISTING PUBLIC UTILITY EASEMENT
			EXISTING SPRUCE TREE WITH TRUNK DIAMETER INDICATED IN INCHES
			EXISTING FIR TREE WITH TRUNK DIAMETER INDICATED IN INCHES
			EXISTING ASPEN TREE WITH TRUNK DIAMETER INDICATED IN INCHES
			TREE TO BE REMOVED

REVISION DESCRIPTION (DESCRIPTION)	
REVISION DATE	
00/00/00	

NORTH

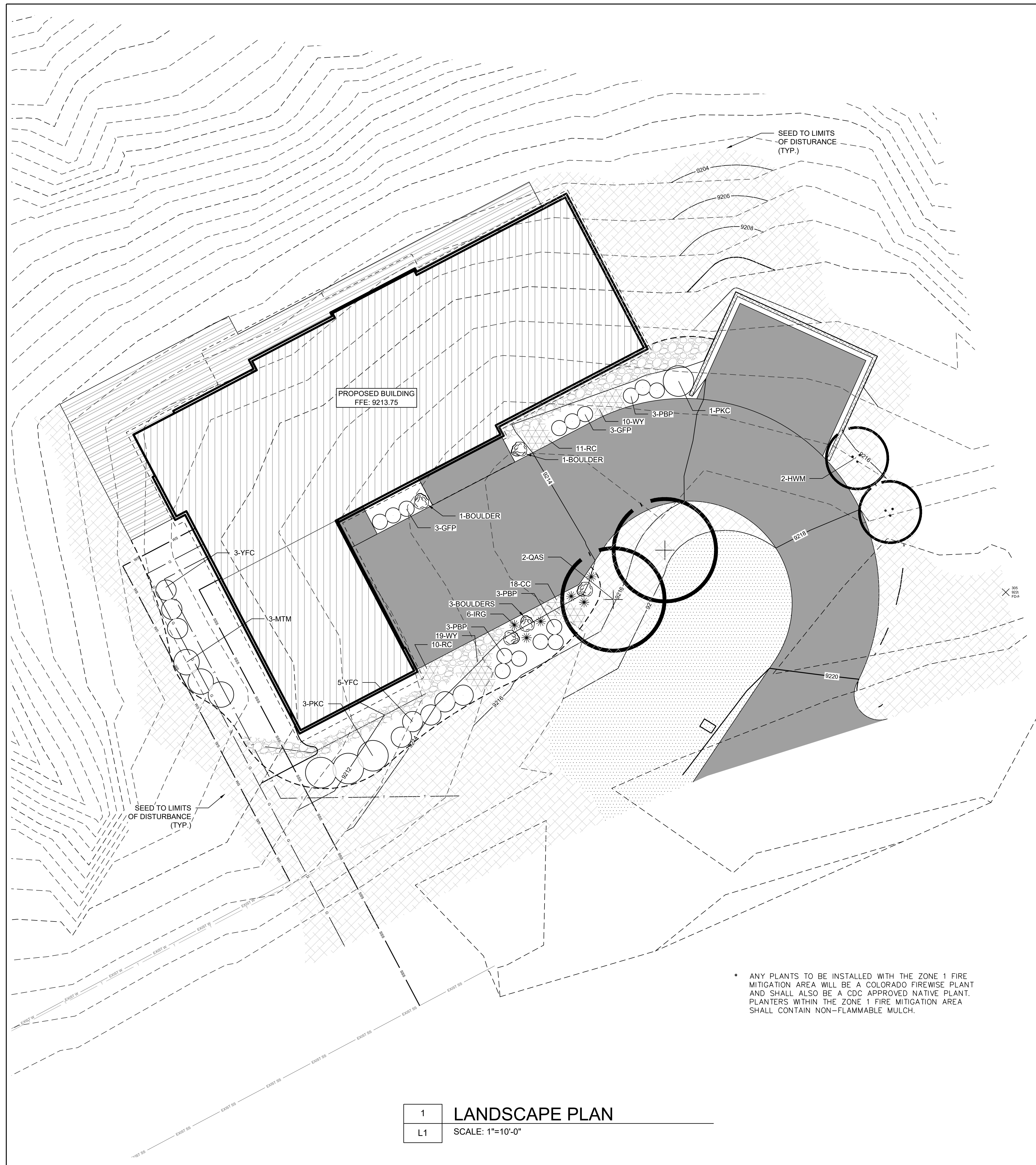


PROJECT #: 2106-0278
CHECKED BY: BML
DRAWN BY: KMM

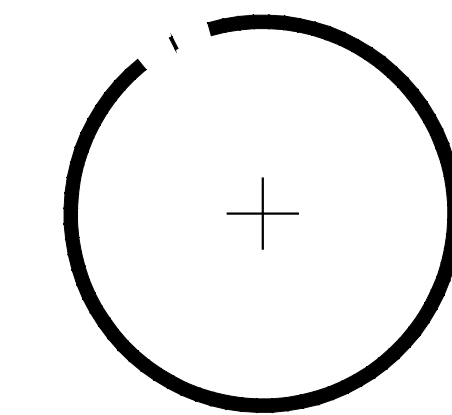
DATE: 12/21/2021

SHEET #
C7

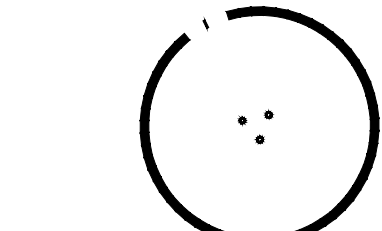
FIRE MITIGATION PLAN



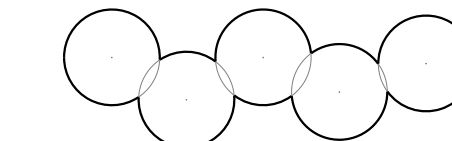
LEGEND



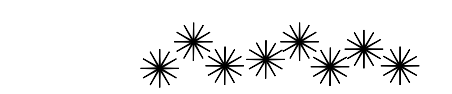
DECIDUOUS TREE



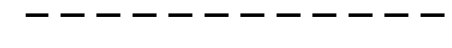
ORNAMENTAL TREE



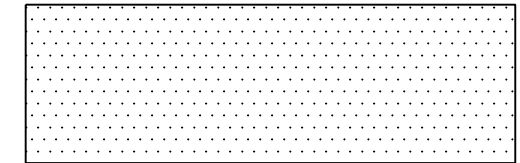
DECIDUOUS SHRUB



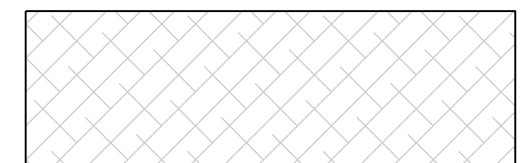
ORNAMENTAL GRASSES



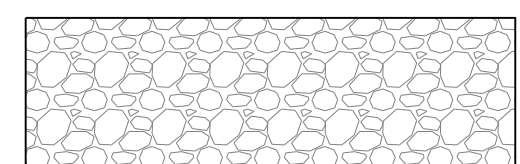
STEEL EDGER



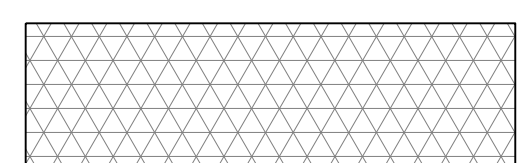
TURF GRASS - SOD



NATIVE SEED MIX



4"-8" COBBLE ROCK



PERENNIALS

PLANT LIST

QUANTITY	PLANT CODE	PLANT NAME	PLANT SPECIES	PLANT SIZE
2	QAS	QUAKING ASPEN	Populus tremuloides	2.5" CAL. MULTI-TRUNK
2	HWM	HOT WINGS TATARIAN MAPLE	Acer tataricum 'Hot Wings'	6' HT. MULTI-TRUNK
6	GFP	GOLD FINGER POTENTILLA	Potentilla frutcosa 'Gold Finger'	5 GAL. 18"-24" HT.
3	MTM	MOUNTAIN MAHOGANY	Cercocarpus montanus	5 GAL. 18"-24" HT.
9	PBP	PINK BEAUTY POTENTILLA	Potentilla frutcosa 'Pink Beauty'	5 GAL. 18"-24" HT.
4	PKC	PEKING COTONEASTER	Cotoneaster lucidus	5 GAL. 18"-24" HT.
8	YFC	YELLOW FLOWERING CURRANT	Ribes aureum	5 GAL. 18"-24" HT.
18	CC	CRIMSON STAR COLUMBINE	Aquilegia 'Crimson Star'	1 GAL. ESTABLISHED
6	IRG	INDIAN RICE GRASS	Achnatherum hymenoides	1 GAL. ESTABLISHED
21	RC	ROCKY MOUNTAIN COLUMBINE	Aquilegia coerulea	1 GAL. ESTABLISHED
29	WY	WHITE YARROW	Achillea millefolium	1 GAL. ESTABLISHED

NATIVE SEED MIX

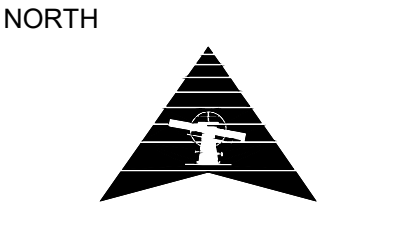
(SUPPLEMENTAL IRRIGATION)
 (MOW ONCE PER YEAR DURING WINTER DORMANCY)
 SEEDING RATE: 25 LBS. PLS./ACRE; DRILL SEEDED
 ADD 50% IF HYDROSEEDED OR BRILLION DRILLED
 ADD 100% IF BROADCAST
 PERCENTAGES BY PLS. WEIGHT

- 15% MOUNTAIN BROME
- 15% PERENNIAL RYE
- 15% ALPINE BLUEGRASS
- 15% CANADA BLUEGRASS
- 10% SLENDER WHEATGRASS
- 10% CREEPING RED FESCUE
- 10% TALL FESCUE
- 5% HARD FESCUE
- 5% ARIZONA FESCUE
- 5% WESTERN YARROW

* ANY PLANTS TO BE INSTALLED WITH THE ZONE 1 FIRE MITIGATION AREA WILL BE A COLORADO FIREWISE PLANT AND SHALL ALSO BE A CDC APPROVED NATIVE PLANT. PLANTERS WITHIN THE ZONE 1 FIRE MITIGATION AREA SHALL CONTAIN NON-FLAMMABLE MULCH.

1 LANDSCAPE PLAN
 L1 SCALE: 1"=10'-0"

REVISION DATE	REVISION DESCRIPTION (DESCRIPTION)
09/18/2023	



SCALE: 1" = 10'

PROJECT #: 2106-0278
 CHECKED BY: KML
 DRAWN BY: KML

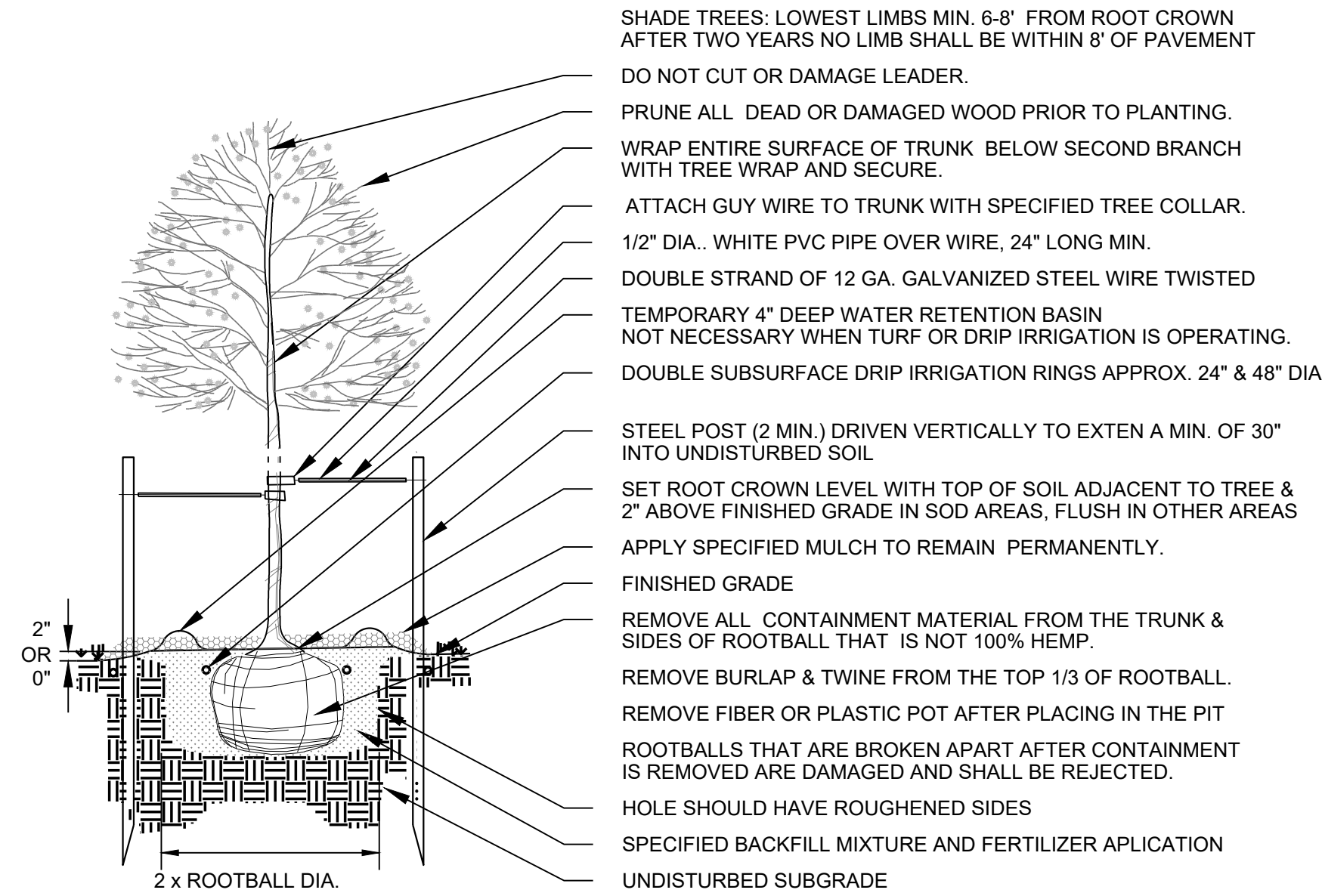
DATE: 09/18/2023

SHEET # **L1**

LANDSCAPE NOTES

- THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, IRRIGATION, MECHANICAL, ELECTRICAL, AND ARCHITECTURAL CONSTRUCTION DOCUMENTS AND SPECIFICATIONS TO FORM COMPLETE INFORMATION REGARDING THIS SITE. IF A CONFLICT EXISTS BETWEEN THESE NOTES, DETAILS & SPECIFICATIONS THESE NOTES SHALL OVERRIDE THE DETAILS & THE DETAILS SHALL OVERRIDE THE SPECIFICATIONS.
- LANDSCAPE CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND SPECIFICATIONS.
- ALL MATERIAL AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE.
- LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- BEFORE COMMENCING WORK, LANDSCAPE CONTRACTOR SHALL CONTACT APPROPRIATE UTILITY COMPANIES FOR UTILITY LOCATIONS, AND COORDINATE WITH GENERAL CONTRACTOR IN REGARD TO LOCATION OF PROPOSED UTILITIES, IRRIGATION SLEEVES, CONDUITS, ETC.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SUBMITTALS, CUT SHEETS OF MATERIALS & SOIL TEST RESULTS DIRECTLY TO THE OWNERS REPRESENTATIVE FOR APPROVAL. SEE SPECIFICATIONS FOR DETAILED SUBMITTAL INFORMATION.
- REMOVE EXCESS SUB GRADE WHERE NECESSARY AND PLACE SPECIFIED TOP SOIL A MINIMUM DEPTH OF SIX INCHES (6") IN TURF AND GRASS AREAS AND TWELVE (12") INCHES IN SHRUB BEDS. DISTRIBUTE STOCKPILED TOPSOIL AND PROVIDE ANY ADDITIONAL TOPSOIL NEEDED.
- ORGANIC SOIL AMENDMENTS AND FERTILIZERS SHALL BE INCORPORATED IN TO ALL PLANTING PITS AS IN THE DETAILS.
- ALL PLANT MATERIALS SHALL BE AS SPECIFIED AND MEET OR EXCEED SIZE IN SCHEDULES. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED FOR THE PROJECT PER SPECIFICATIONS.
ALL SHADE TREES MUST NOT HAVE LIMBS THAT ARE LESS THAN 8' FROM THE ROOT CROWN. AFTER TWO YEARS OF GROWTH SHADE TREES SHALL HAVE THE LOWER LIMBS REMOVED SO THAT THERE WILL BE 8' OF CLEARANCE ABOVE ANY PAVED SURFACE. EACH TREE THAT IS LIMBED UP MUST HAVE LIMBS REMOVED ALL THE WAY AROUND THE TREE SO THAT IT IS EVENLY BALANCED.
- ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL CONVENTIONAL PLANTING BEDS AND MULCH AREAS ARE TO BE CONTAINED WITH STEEL EDGER AS SHOWN ON THE PLANS AND DEFINED IN THE DETAILS AND SPECIFICATIONS. EDGER IS NOT REQUIRED ADJACENT TO CURBS, WALKS, BUILDINGS OR RETAINING WALLS.
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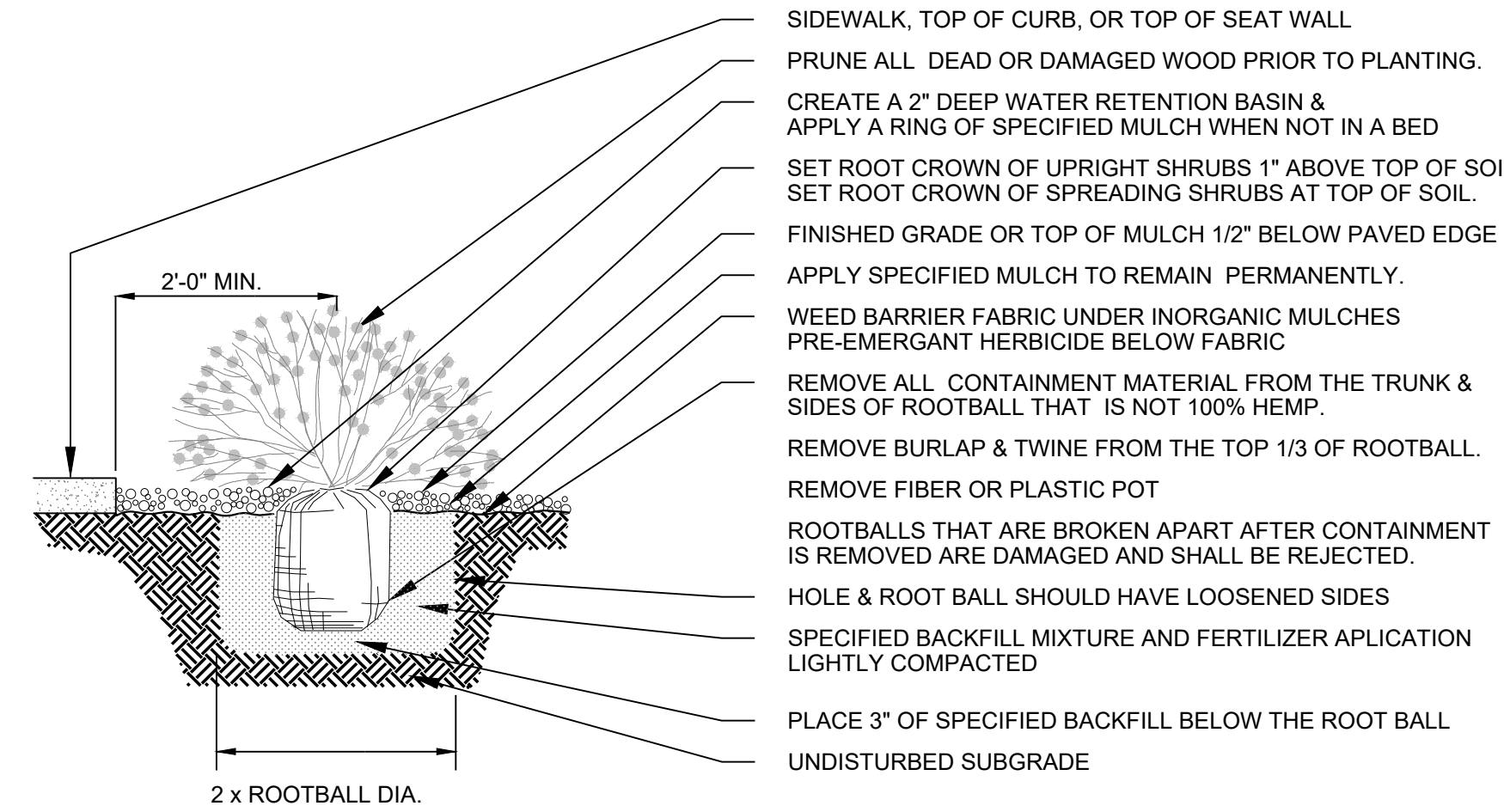
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1 DECIDUOUS TREE PLANTING

L2 NOT TO SCALE

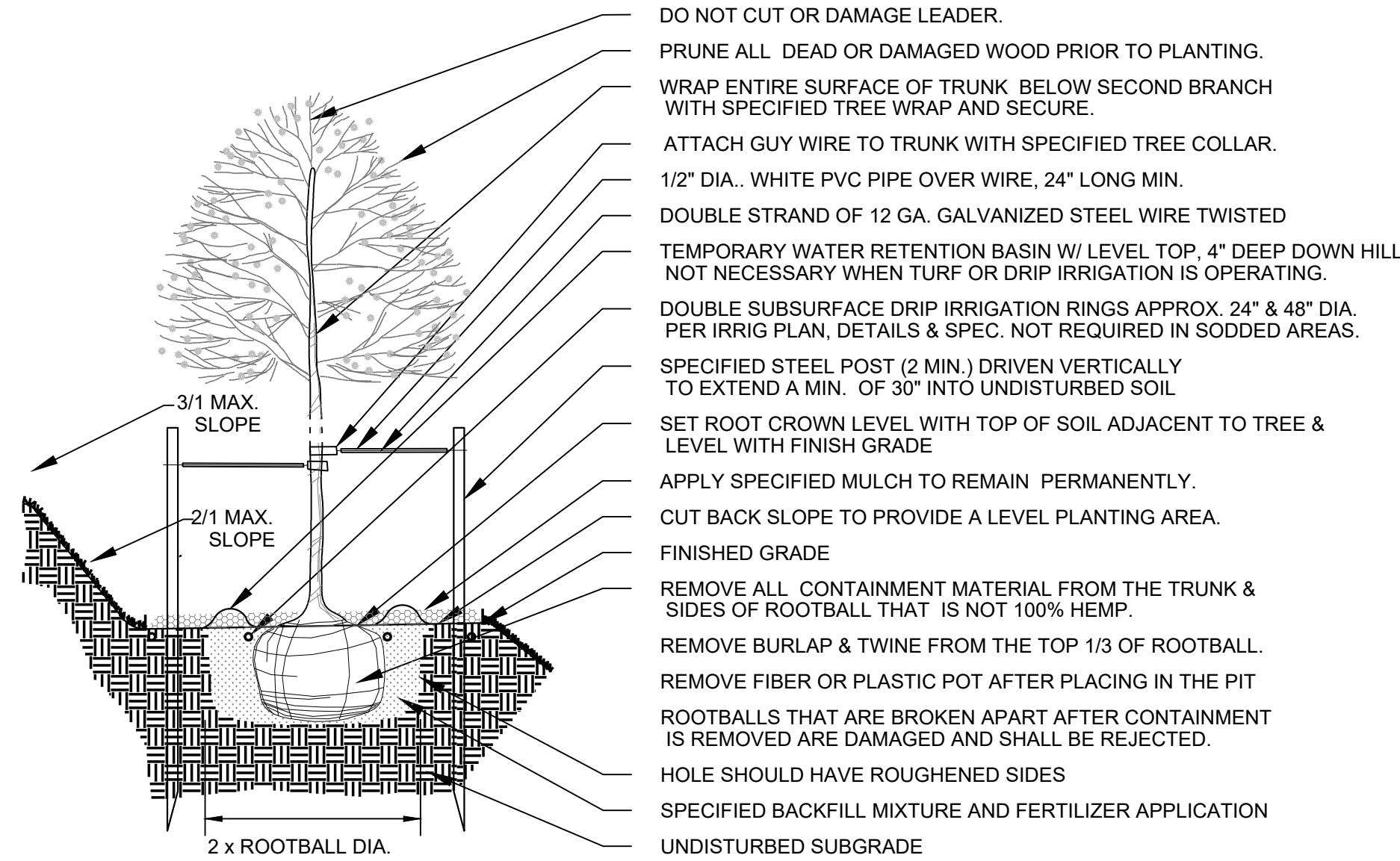
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4 SHRUB PLANTING

L3 NOT TO SCALE

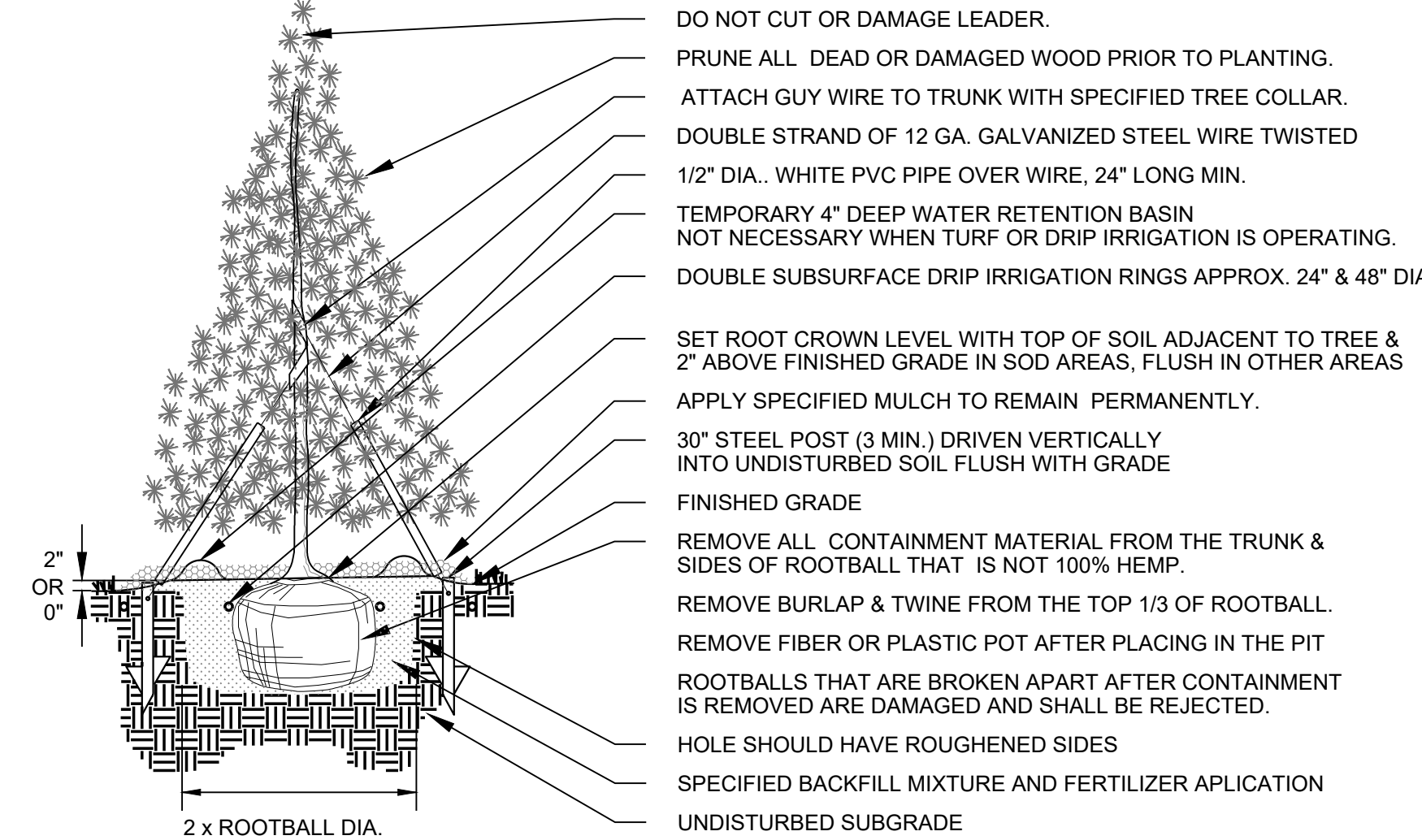
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2 TREE PLANTING ON SLOPE

L2 NOT TO SCALE

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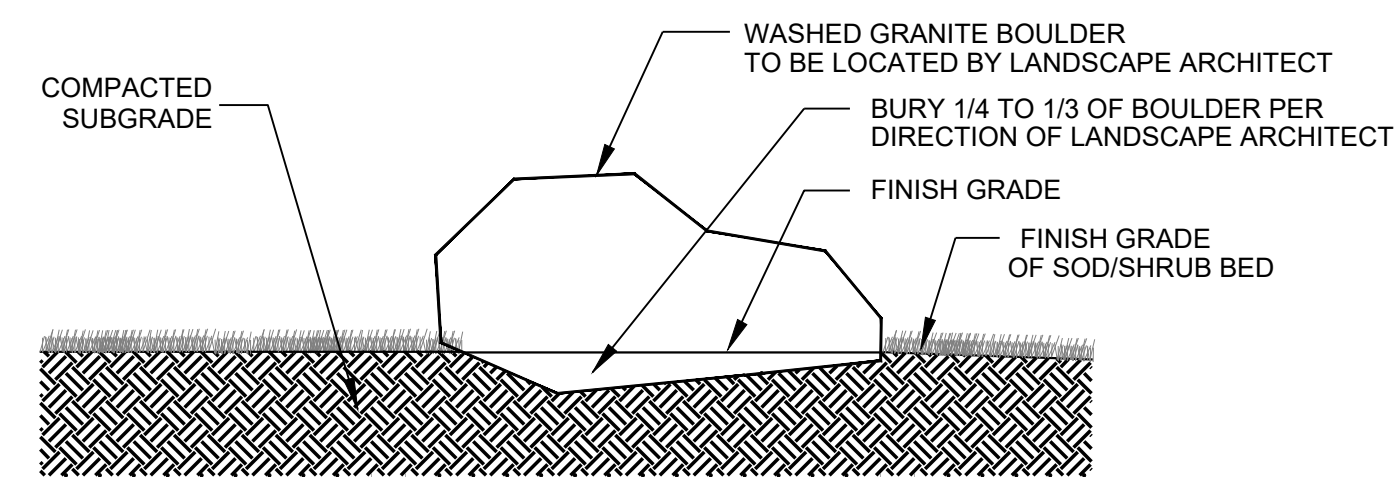


5 EVERGREEN TREE PLANTING

L2 NOT TO SCALE

3 BOULDER PLACEMENT

L2 NOT TO SCALE



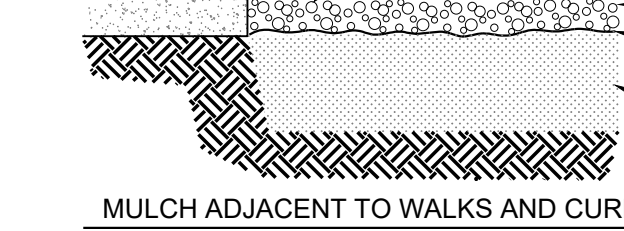
3 BOULDER PLACEMENT

L2 NOT TO SCALE

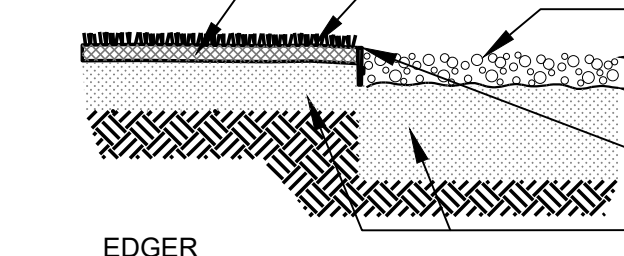
SIDEWALK, TOP OF CURB, OR TOP OF SEAT WALL
FINISHED GRADE OR TOP OF SOD LEVEL WITH PAVED EDGE
SPECIFIED SOD OR SEED
FULL DEPTH OF SPECIFIED AMENDED TOPSOIL PLACED APPROX. 1" BELOW TOP OF PAVED EDGE FOR SOD AND LEVEL FOR SEED



SIDEWALK, TOP OF CURB, OR TOP OF SEAT WALL
FINISHED GRADE OR TOP OF MULCH 1/2" BELOW PAVED EDGE
SPECIFIED MULCH
WEED BARRIER FABRIC UNDER INORGANIC MULCHES SPECIFIED PREEMERGANT HERBICIDE BELOW FABRIC
FULL DEPTH OF TOPSOIL PLACED THE NECESSARY DISTANCE BELOW PAVED EDGE



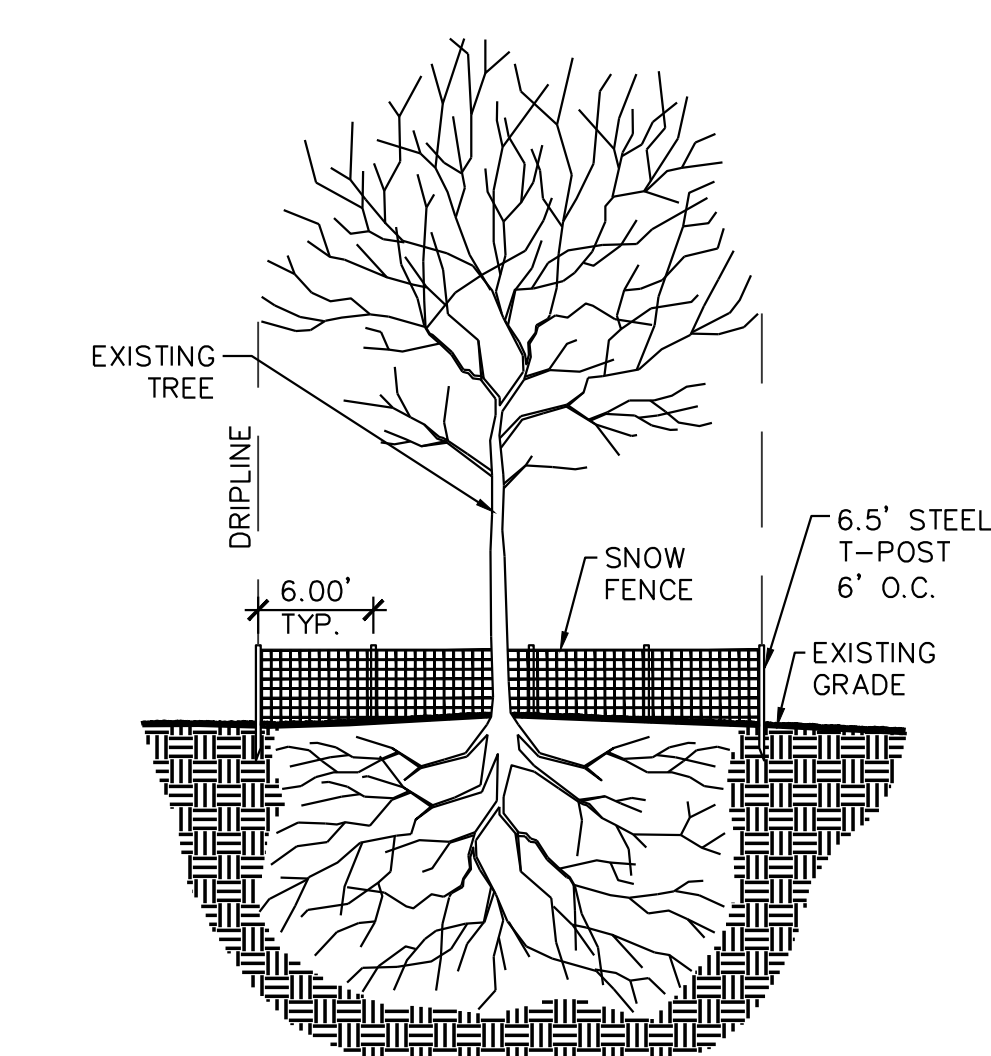
SPECIFIED SOD OR SEED
FINISHED GRADE OR TOP OF SOD LEVEL WITH TOP OF EDGER
FINISHED GRADE OR TOP OF MULCH 1/2" BELOW TOP OF EDGER



SPECIFIED MULCH
WEED BARRIER FABRIC UNDER INORGANIC MULCHES SPECIFIED PREEMERGANT HERBICIDE BELOW FABRIC
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6 EDGE TREATMENT

L2 NOT TO SCALE



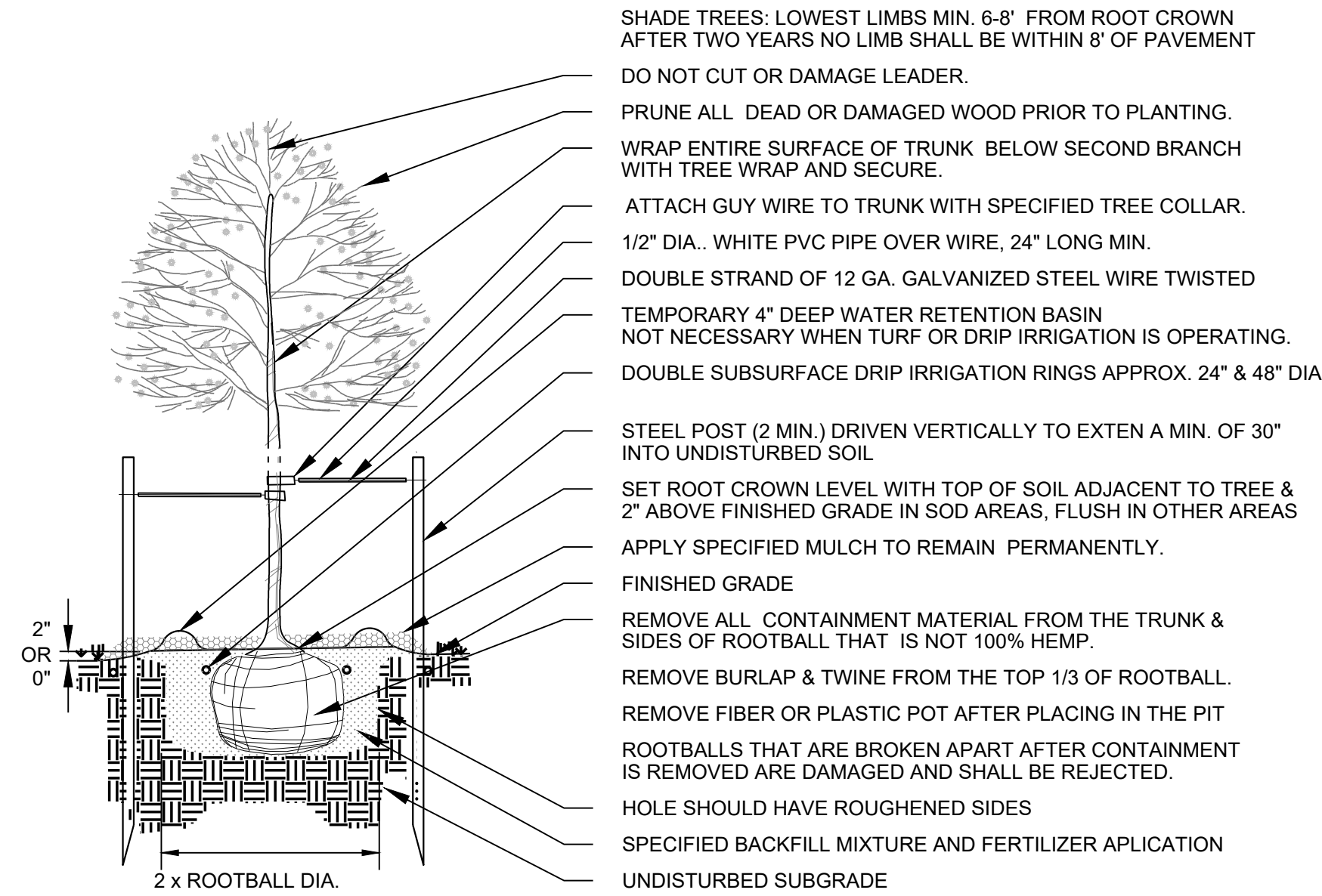
7 TREE PROTECTION DETAIL

L2 NOT TO SCALE

LANDSCAPE NOTES

- THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, IRRIGATION, MECHANICAL, ELECTRICAL, AND ARCHITECTURAL CONSTRUCTION DOCUMENTS AND SPECIFICATIONS TO FORM COMPLETE INFORMATION REGARDING THIS SITE. IF A CONFLICT EXISTS BETWEEN THESE NOTES, DETAILS & SPECIFICATIONS THESE NOTES SHALL OVERRIDE THE DETAILS & THE DETAILS SHALL OVERRIDE THE SPECIFICATIONS.
- LANDSCAPE CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND SPECIFICATIONS.
- ALL MATERIAL AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE.
- LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- BEFORE COMMENCING WORK, LANDSCAPE CONTRACTOR SHALL CONTACT APPROPRIATE UTILITY COMPANIES FOR UTILITY LOCATIONS, AND COORDINATE WITH GENERAL CONTRACTOR IN REGARD TO LOCATION OF PROPOSED UTILITIES, IRRIGATION SLEEVES, CONDUITS, ETC.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SUBMITTALS, CUT SHEETS OF MATERIALS & SOIL TEST RESULTS DIRECTLY TO THE OWNERS REPRESENTATIVE FOR APPROVAL. SEE SPECIFICATIONS FOR DETAILED SUBMITTAL INFORMATION.
- REMOVE EXCESS SUB GRADE WHERE NECESSARY AND PLACE SPECIFIED TOP SOIL A MINIMUM DEPTH OF SIX INCHES (6") IN TURF AND GRASS AREAS AND TWELVE (12") INCHES IN SHRUB BEDS. DISTRIBUTE STOCKPILED TOPSOIL AND PROVIDE ANY ADDITIONAL TOPSOIL NEEDED.
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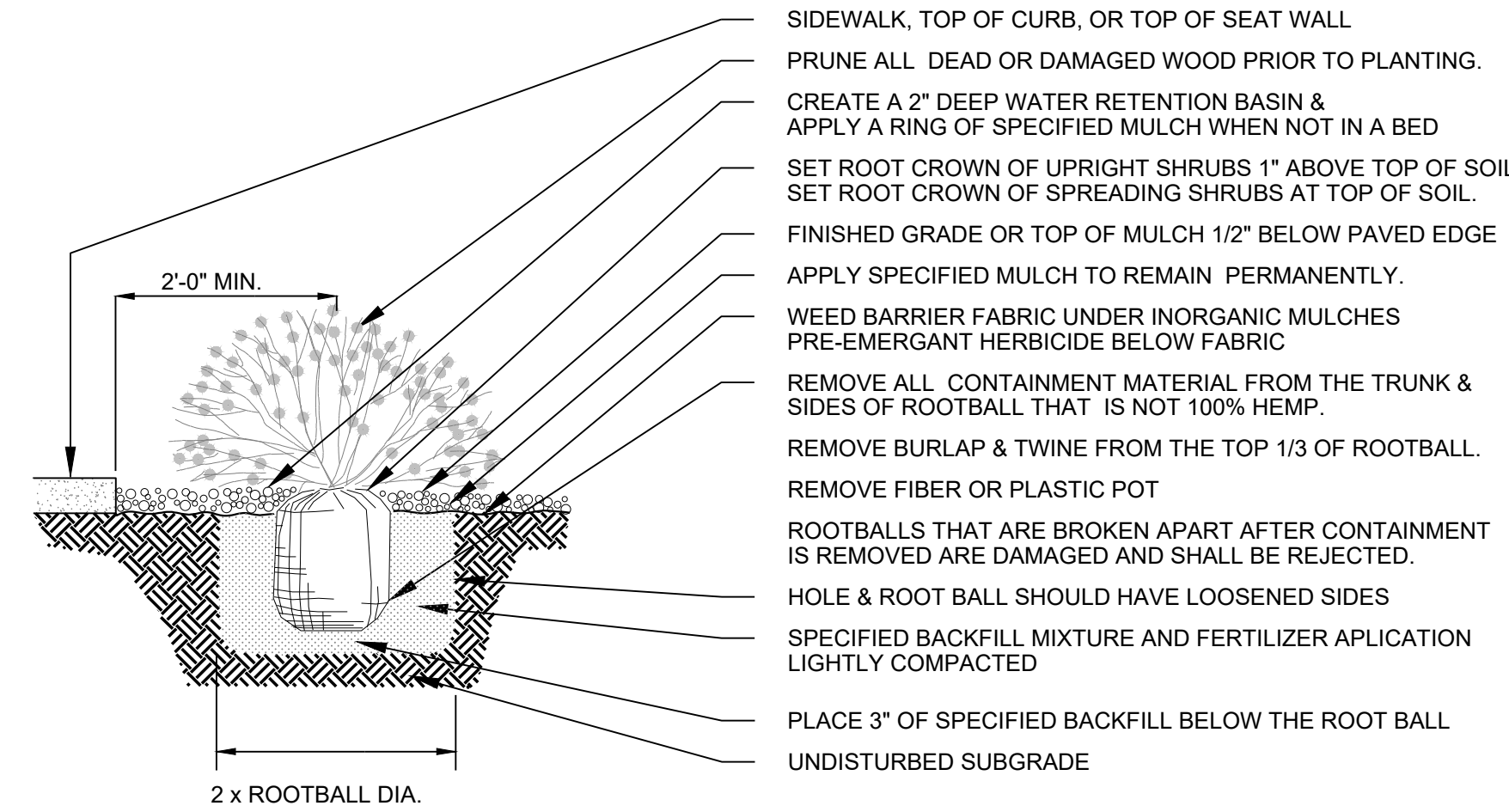
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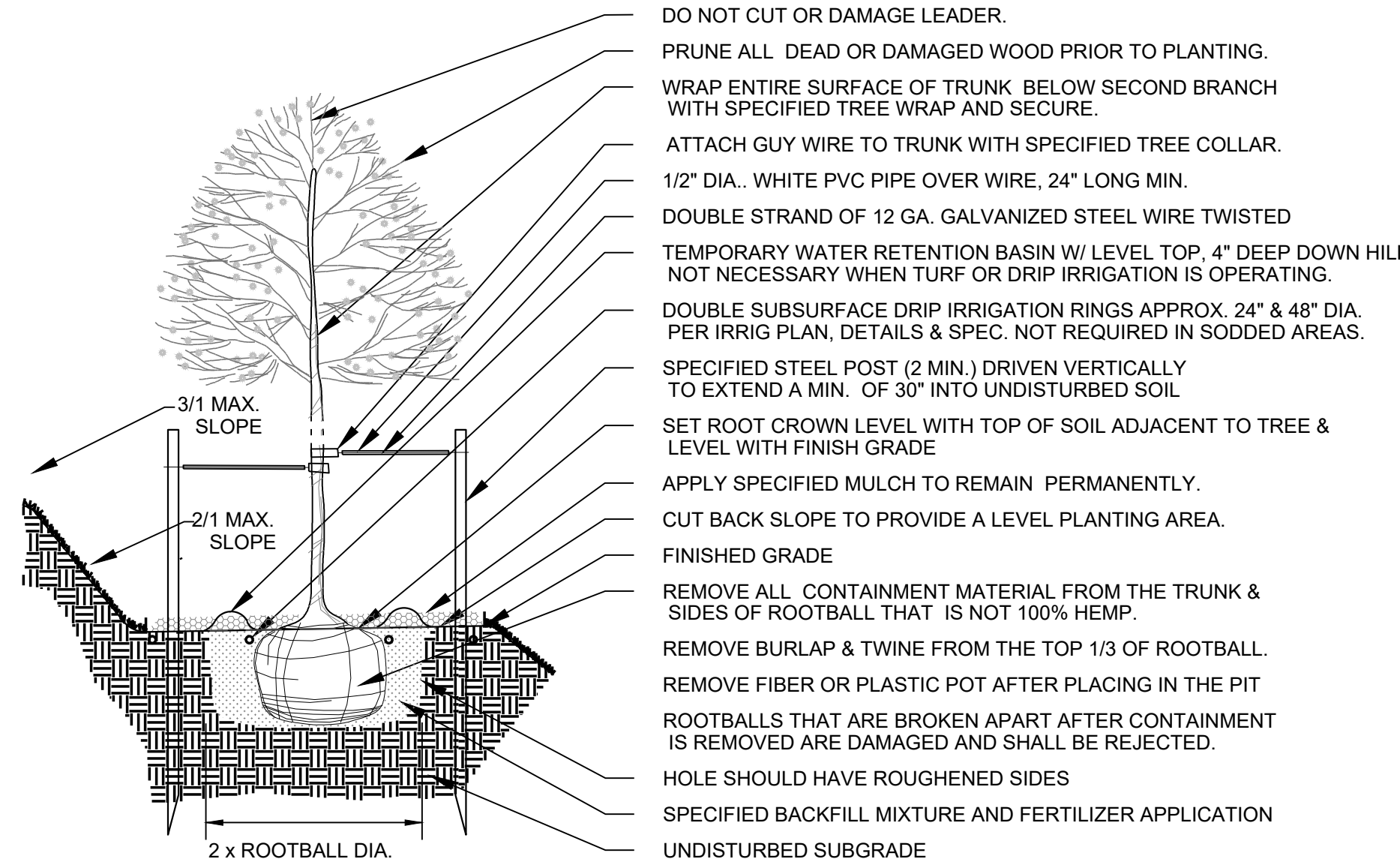
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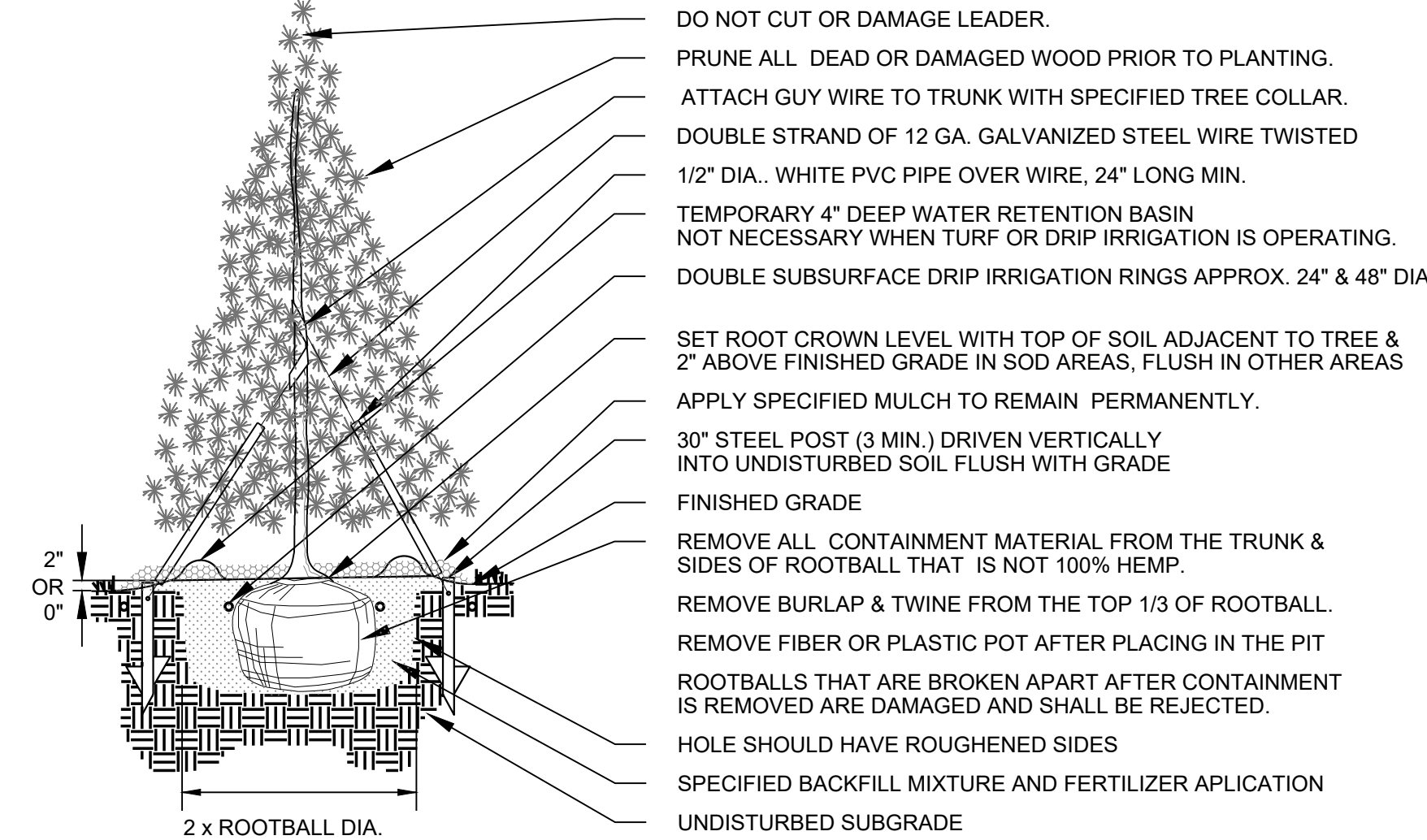
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2 TREE PLANTING ON SLOPE

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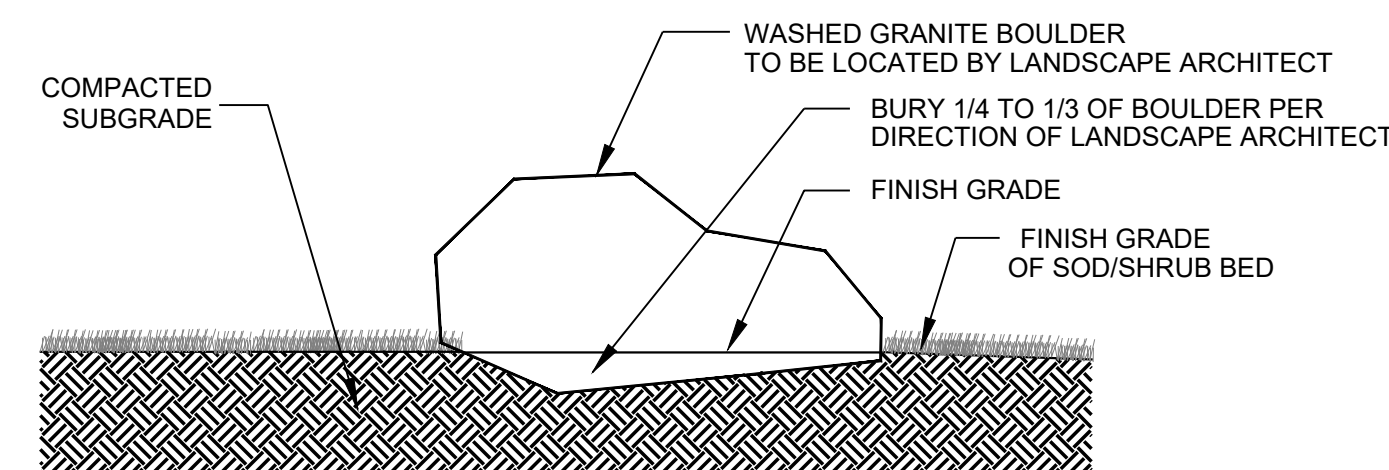


5 EVERGREEN TREE PLANTING

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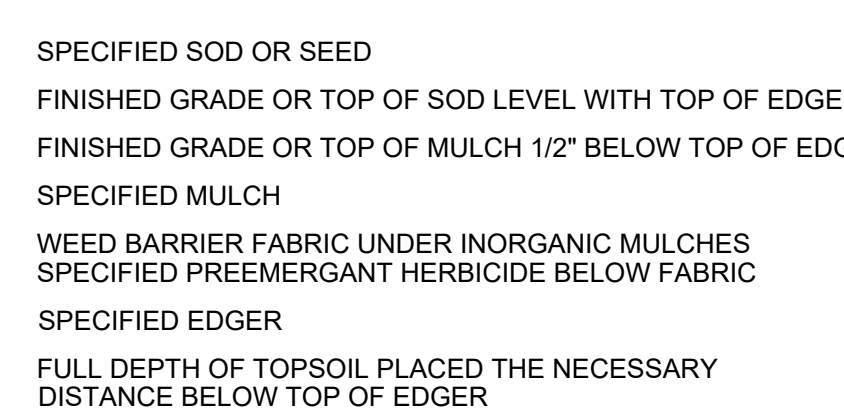
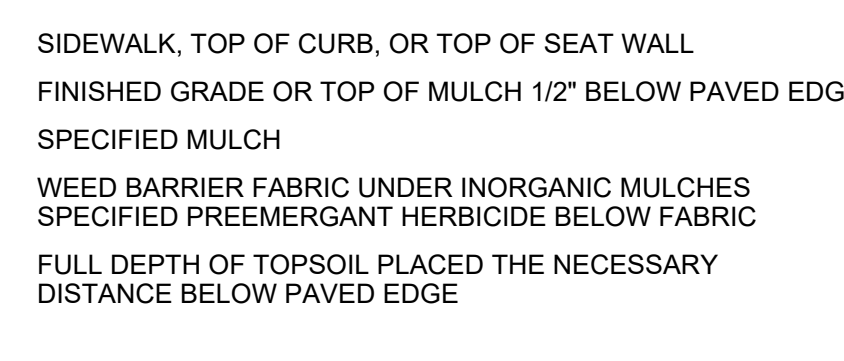
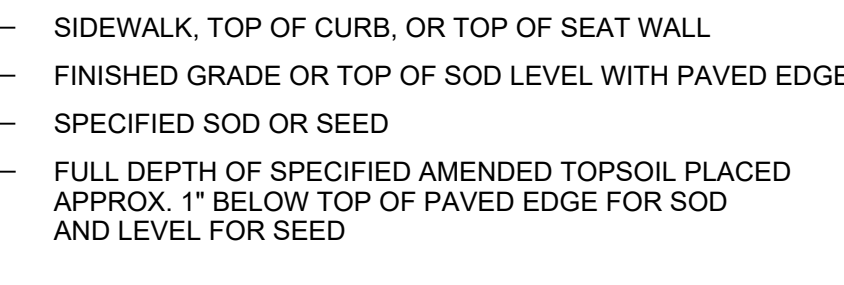
3 BOULDER PLACEMENT

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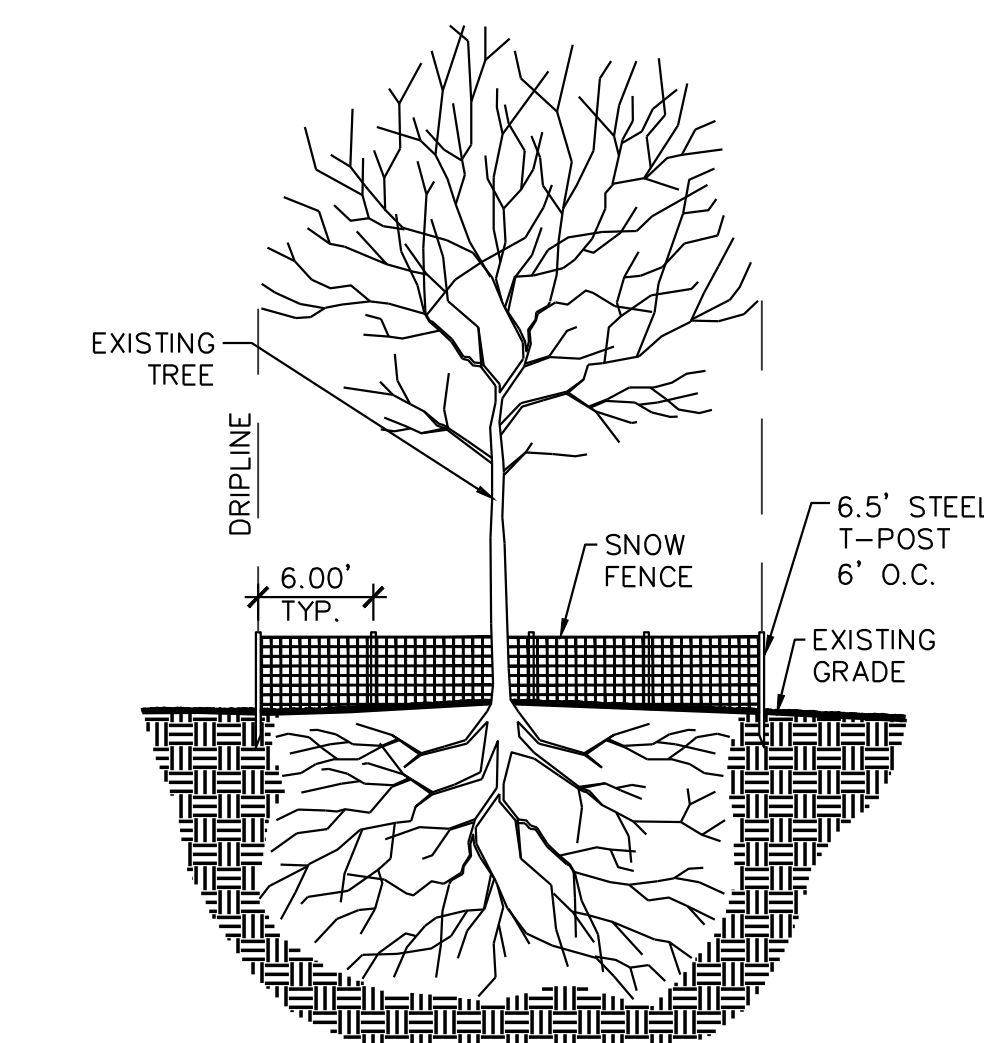
3 BOULDER PLACEMENT

L2 NOT TO SCALE



6 EDGE TREATMENT

L2 NOT TO SCALE



7 TREE PROTECTION DETAIL

L2 NOT TO SCALE



REVISION DESCRIPTION



REVISION DATE

IRRI

IRRI

PROJECT #: 2106-0278
CHECKED BY: KJD
DRAWN BY: JLK

DATE: 1/14/2022

SHEET #

IRO

TOTAL SHEETS 4

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	DETAIL NO.
	RAIN BIRD	1306 SAM PRS WITH MATCHED PRECIPITATION RATE SERIES NOZZLE	POPOP SPRAY HEAD	11
	RAIN BIRD	1912 SAM PRS WITH MATCHED PRECIPITATION RATE SERIES NOZZLE	HI-POP SPRAY HEAD	12
	HUNTER	I-20-12 WITH #VPR30 MATCHED PRECIPITATION NOZZLE (GREEN)	HI-POP GEAR DRIVEN ROTOR	13
	RAIN BIRD	PEB SERIES	ELECTRIC CONTROL VALVE	6
	RAIN BIRD	44-LRC	QUICK COUPLING VALVE	8
	RAIN BIRD	ESP-ME3 WITH LNK WIFI - 16 STATION MODEL	ELECTRIC CONTROLLER	2
	RAIN BIRD	WR2-RFC	WEATHER SENSOR DEVICE	3
	FEBCO	860U	RF BACKFLOW PREVENTER	1
N/S	OLDCASTLE / GARSON	REFER TO SPECIFICATIONS AND DETAILS	VALVE BOXES	VARIOUS
N/S	AY MACDONALD	76001 - 1/4 TURN - 1"	MANUAL DRAIN VALVE	5
		LINE SIZE - 2 1/2" AND SMALLER	GATE VALVE	7
	RAIN BIRD	PEB SERIES	MASTER CONTROL VALVE	4
		SCHEDULE 40 - 2 1/2" & SMALLER	PVC MAINLINE	9
		TYPE K COPPER	HARD COPPER PIPE	1
		#100 NSF	POLY LATERAL	9
		CLASS 160	PVC SLEEVING	10
	RAIN BIRD	XGZ-015-PRF OR XGZ-100-PRF	DRIP VALVE ASSEMBLY	14
	TORO	BLUE STRIPE	POLY DRIP TUBING - 3/4" MIN. WIDTH	14-16
N/S	RAIN BIRD	XERI-BUS	DRIP EMITTERS	16
			DRIP LINE BLOW-OUT STUB	15
			CONTROLLER & STATION NO.	
			CONTROL VALVE SIZE	
			NUMBER OF SPARE WIRES - 2 CONTROL AND 1 SPARE WIRES TO INDICATED CONTROLLER - SEE CONSTRUCTION NOTES	

IRRIGATION CONSTRUCTION NOTES

- DRAWINGS AND BASE INFORMATION - ALL BASE AND PLANTING INFORMATION HAVE BEEN PROVIDED BY SMH CONSULTANTS. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY HYDROSYSTEMS*KDI OF ANY DISCREPANCIES BETWEEN THE UTILITY OR PLANTING PLANS AND THE IRRIGATION PLAN. IF CONTRACTOR FAILS TO NOTIFY HYDROSYSTEMS*KDI AND MAKES CHANGES TO THE IRRIGATION SYSTEM DESIGN, HE ASSUMES ALL COSTS AND LIABILITIES ASSOCIATED WITH THOSE FIELD CHANGES. REFER TO SPECIFICATIONS FOR ADDITIONAL PROJECT REQUIREMENTS. CONTACT IRRIGATION CONSULTANT FOR CURRENT SPECIFICATIONS IF NOT PROVIDED.
- SYSTEM PRESSURE - HYDROSYSTEMS*KDI HAS CONTACTED THE LOCAL WATER DISTRICT THAT SERVES THIS SITE AND THEY HAVE BEEN TOLD THAT THE STATIC WATER PRESSURE IN THIS AREA SHOULD BE 70 PSI. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY PRESSURE PRIOR TO COMMENCING ANY CONSTRUCTION AND NOTIFY HYDROSYSTEMS*KDI OF ANY VARIANCE FROM THE STATED PRESSURE IMMEDIATELY. WRITTEN DOCUMENTATION OF PRESSURE TEST AND RESULTS SHALL BE PROVIDED TO HYDROSYSTEMS*KDI AT CONSTRUCTION ONSET. IF CONTRACTOR FAILS TO FIELD VERIFY PRESSURE AND/OR NOTIFY HYDROSYSTEMS*KDI OR ANY VARIATIONS FROM THIS PRESSURE, THEN HE ASSUMES ALL CONSTRUCTION AND ENGINEERING COSTS ASSOCIATED WITH SYSTEM MODIFICATIONS REQUIRED TO ACCOMMODATE ACTUAL SITE PRESSURE. REFER TO POINT OF CONNECTION NOTES FOR SPECIFIC PRESSURE REQUIRED AT THAT LOCATION. THIS SYSTEM HAS BEEN DESIGNED FOR A REQUIRED STATIC PRESSURE OF 70 PSI MINIMUM.
- IRRIGATION SYSTEM OPERATION INTENT - THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO IRRIGATE THE ESTABLISHED LANDSCAPE WITHIN A SIX NIGHT PER WEEK, SIX HOUR PER NIGHT WATERING WINDOW. ESTABLISHMENT WATERING WILL REQUIRE UP TO TWICE AS MUCH IRRIGATION FOR A FOUR TO SIX WEEK PERIOD. THE DESIGN IS BASED ON THE FOLLOWING PROJECTED WEEKLY APPLICATION RATES AFTER ESTABLISHMENT. THESE FIGURES ARE BASED ON A 30-YEAR AVERAGE WEATHER DATA AND WILL NEED TO BE ADJUSTED DUE TO SEASONAL CHANGES AND WEATHER CONDITIONS ABOVE AND BELOW THE AVERAGE VALUES UTILIZED.

BLUEGRASS TURF	1.94" PER WEEK PEAK SEASON
ORNAMENTAL PLANTINGS	0.78" PER WEEK PEAK SEASON
NATIVE SEED MIXES	0.65" PER WEEK PEAK SEASON (TWO SEASONS)

NOTE: IT IS THE INTENT OF THIS DESIGN THAT NATIVE AREAS WOULD ONLY BE IRRIGATED FOR ESTABLISHMENT. SYSTEM WILL REMAIN FOR USE DURING YEARS WITH LESS THAN NORMAL RAINFALL.
- EQUIPMENT INSTALLATION - IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN PROPERTY LIMITS AND WITHIN LANDSCAPED AREAS. INSTALLATION SHALL BE COORDINATED WITH OTHER UTILITY WORK. ALL OTHER UTILITIES SHALL TAKE PRECEDENCE OVER IRRIGATION LOCATION. ANY EQUIPMENT OTHER THAN VALVE BOXES OR SLEEVING THAT CONTAINS PIPE OR WIRES SHOWN OUTSIDE OF THESE LIMITS IS SHOWN IN THAT LOCATION FOR GRAPHICAL CLARITY ONLY. ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 2'-0" FROM EDGE OF ANY PAVED SURFACES UNLESS SPECIFICALLY INDICATED ON PLANS. BOXES INSTALLED IN OPEN TURF AREAS SHALL BE KEPT TO EDGES AND STAKED FOR REVIEW IF ALONG HIGH TRAFFIC AREAS. ALL VALVE BOXES SHALL BE PLACED A MINIMUM OF 3'-0" FROM THE CENTERLINE OF ANY DRAINAGE SWALE. ALL VALVE BOXES WITHIN PAVEMENT SHALL BE TIER 15 RATED BOXES FOR HEAVY DUTY NON-DELIBERATE TRAFFIC. BOX LID COLOR SHALL MATCH ADJACENT MATERIALS, I.E. GREEN IN TURF, TAN IN WOOD MULCH, GRAY IN STONE MULCH, PURPLE FOR RECLAIMED WATER SYSTEMS (IF REQUIRED). REFER TO LANDSCAPE PLANS FOR MATERIAL COLORS AND TYPES. ALL BOXES SHALL BE INSTALLED TO BE FLUSH WITH GRADE AND IN AN ORDERLY MANNER. WHERE MORTAR PAVING LIDS ARE INSTALLED ABOVE BOXES, IRRIGATION BOX WITH LID SHALL BE LOWERED TO ACCOMMODATE PAVING LID. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION. TO BE INSTALLED PER MANUFACTURE RECOMMENDATIONS.
- PIPING INSTALLATION - IRRIGATION PIPING SHALL MAINTAIN A MINIMUM DISTANCE FROM BUILDING FOUNDATIONS OF 5 FEET OR AS DESCRIBED IN SOILS REPORT, WHICHEVER IS GREATER. NO SPRAY IRRIGATION SHALL OCCUR WITHIN 10 FEET OF THE FOUNDATION. NO DRIP IRRIGATION SHALL OCCUR WITHIN 5 FEET OF THE FOUNDATION UNLESS SOIL MOISTURE SENSORS ARE INSTALLED ON VALVES SERVICING THESE AREAS. ALL IRRIGATION PIPING AND EMISSION DEVICES LOCATED ON TOP OF OR WITHIN BUILDING STRUCTURE SHALL CONFORM TO WATERPROOFING CONSULTANT REQUIREMENTS. PIPE ROUTING MAY BE SHOWN WITHIN THESE DISTANCES FOR GRAPHICAL CLARITY ONLY.
- MANUAL DRAIN VALVES - CONTRACTOR TO INSTALL ONE MANUAL DRAIN VALVE ON PRESSURE SUPPLY LINE DIRECTLY DOWNSTREAM OF BACKFLOW PREVENTER AND AT ALL LOW POINTS AND DEAD ENDS OF PRESSURE SUPPLY PIPING TO ENSURE COMPLETE DRAINAGE OF SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THESE LOCATIONS IN-FIELD AND INSTALLATION LOCATIONS SHALL BE NOTED ON AS-BUILTS. FOR INTERIOR MOUNTED BACKFLOW PREVENTER LOCATIONS, INSTALL ONE BOILER DRAIN VALVE DOWNSTREAM OF BACKFLOW PREVENTER.
- POP-UP SPRAY NOZZLES - CONTRACTOR TO INSTALL PLASTIC NOZZLES ON ALL POP-UP SPRAY HEADS. INSTALL 15 SERIES NOZZLES ON ALL HEADS SPACED AT 12" TO 14". INSTALL 12 SERIES NOZZLES ON ALL HEADS SPACED 10" TO 11". INSTALL 10 SERIES NOZZLES ON ALL HEADS SPACED AT 8" TO 9". INSTALL 8 SERIES NOZZLES ON ALL HEADS SPACED AT 6" TO 7". INSTALL 5" NOZZLES ON ALL HEADS SPACED AT 5". INSTALL SIDE STRIP NOZZLES ON ALL HEADS WITH AN "S" DESIGNATION AND RIGHT AND LEFT CORNER STRIP NOZZLES ON ALL HEADS WITH AN "L" OR "R" DESIGNATION. VARIABLE ARC NOZZLES SHOULD BE UTILIZED ADJACENT TO CURVILINEAR SHRUB BEDS OR FOR ANY ANGLES THAT ARE NOT A STANDARD NOZZLE ANGLE.
- DRIP IRRIGATION - REFER TO IRRIGATION DETAIL SHEET FOR DRIP EMITTER QUANTITIES AND PLACEMENT.
- UNLABELED PIPING - ALL UNLABELED LATERAL PIPING SHALL BE 1" MINIMUM UNLESS OTHERWISE NOTED.
- SLEEVING - ALL SLEEVING UNDER PAVED SURFACES SHOWN ON PLANS IS BY CONTRACTOR UNLESS OTHERWISE NOTED. SLEEVING SHALL BE INSTALLED IN THE SIZES AND QUANTITIES SHOWN ON PLANS OR BASED ON THE SCHEDULE BELOW. WHERE SLEEVES ARE SHOWN, BUT NOT LABELED, FOLLOW THE SCHEDULE BELOW. ALL MAINLINE, CONTROL WIRES AND DRIP LINES UNDER PAVED SURFACES ARE TO BE INSTALLED IN SLEEVING. ALL MAINLINE SLEEVE LOCATIONS TO INCLUDE A SEPARATE WIRE SLEEVE.

SLEEVING PIPE SIZE/WIRE QUANTITY	REQUIRED SLEEVE SIZE & (QUANTITY)
3/4" - 1 1/4" PIPING	2" PVC (1)
1 1/2" - 2" PIPING	4" PVC (1)
1-25 CONTROL WIRES	2" PVC (1)
COMMUNICATION CABLE	2" PVC (1)
- SPARE CONTROL WIRES - CONTRACTOR SHALL EXTEND THREE SPARE WIRES (ONE COMMON AND 2 CONTROL WIRES) FROM EACH CONTROLLER TO THE END OF THE MAINLINE SERVING THAT CONTROLLER OR AS SHOWN ON THE PLANS. INSTALL SPARE WIRES IN 10" ROUND VALVE BOX WITH QUICK COUPLING VALVE. REFER TO SPECIFICATIONS FOR WIRE COLOR. SEE IRRIGATION SCHEDULE FOR ADDITIONAL INFORMATION.
- ADJUSTMENT - CONTRACTOR SHALL FINE TUNE/ADJUST THE IRRIGATION SYSTEM TO REDUCE/AVOID OVERSPRAY ONTO HARD SURFACES BY ADJUSTING NOZZLE DIRECTION AND NOZZLE RADIUS.
- PLANS AND SPECIFICATIONS - CONTRACTOR RESPONSIBLE TO ENSURE WORK CONFORMS TO PLANS AND SPECIFICATIONS. AT ONSET OF CONSTRUCTION, VERIFY PLANS ARE CURRENT. WHERE REQUIRED BY CITY OR TOWN, CONTRACTOR SHALL CONSTRUCT ONLY OFF CITY OR TOWN STAMPED PLANS. REVISIONS TO CITY OR TOWN STAMPED PLANS SHALL CONFORM TO CITY OR TOWN FIELD CHANGE PROCEDURES AND DOCUMENTATION.
- SIMULTANEOUS ZONE OPERATION - THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO OPERATE MULTIPLE ZONES SIMULTANEOUSLY BASED ON INDIVIDUAL ZONE FLOW. THE DESIGN IS INTENDED TO OPERATE MULTIPLE VALVES UP TO THE MAXIMUM FLOW IN THE POINT OF CONNECTION NOTE. REFER TO CONTROLLER SPECIFICATION FOR MAXIMUM SIMULTANEOUS VALVE COUNT.
- BACKFLOW DEVICES: ALL CONNECTION COMPONENTS AND BACKFLOW DEVICES SHALL BE LEAD-FREE. CONTRACTOR SHALL CONTACT WATER SERVICE PROVIDER FOR ANY ADDITIONAL REQUIREMENTS REGARDING BACKFLOW TESTING.
- WATER BUDGETS AND PROJECTIONS - HYDROSYSTEMS*KDI HAS BASED THE IRRIGATION DESIGN AND THE ASSOCIATED PROJECTED WATER USE UPON SUCH FACTORS AS CITY OR WATER DISTRICT IMPOSED REQUIREMENTS, PUBLISHED PLANT SPECIES WATER NEEDS, SELECTED IRRIGATION METHOD EFFICIENCIES AS REPORTED BY INDEPENDENT TESTING FACILITIES, HISTORICAL WEATHER DATA FOR THE PROJECT LOCATION, AND PROPER MAINTENANCE PROCEDURES. HYDROSYSTEMS*KDI IS NOT RESPONSIBLE, AND ACCEPTS NO RESPONSIBILITY, FOR THE ACTUAL WATER USAGE VARIATION THAT IS A RESULT OF FIELD MODIFICATIONS TO THE SYSTEM NOT MATCHING CONSTRUCTION DOCUMENTS, IMPROPER MAINTENANCE, WASTE DUE TO SYSTEM DAMAGE OR VANDALISM, OR WEATHER CONDITIONS THAT DEVIATE FROM PUBLISHED 30 YEAR HISTORICAL AVERAGES.

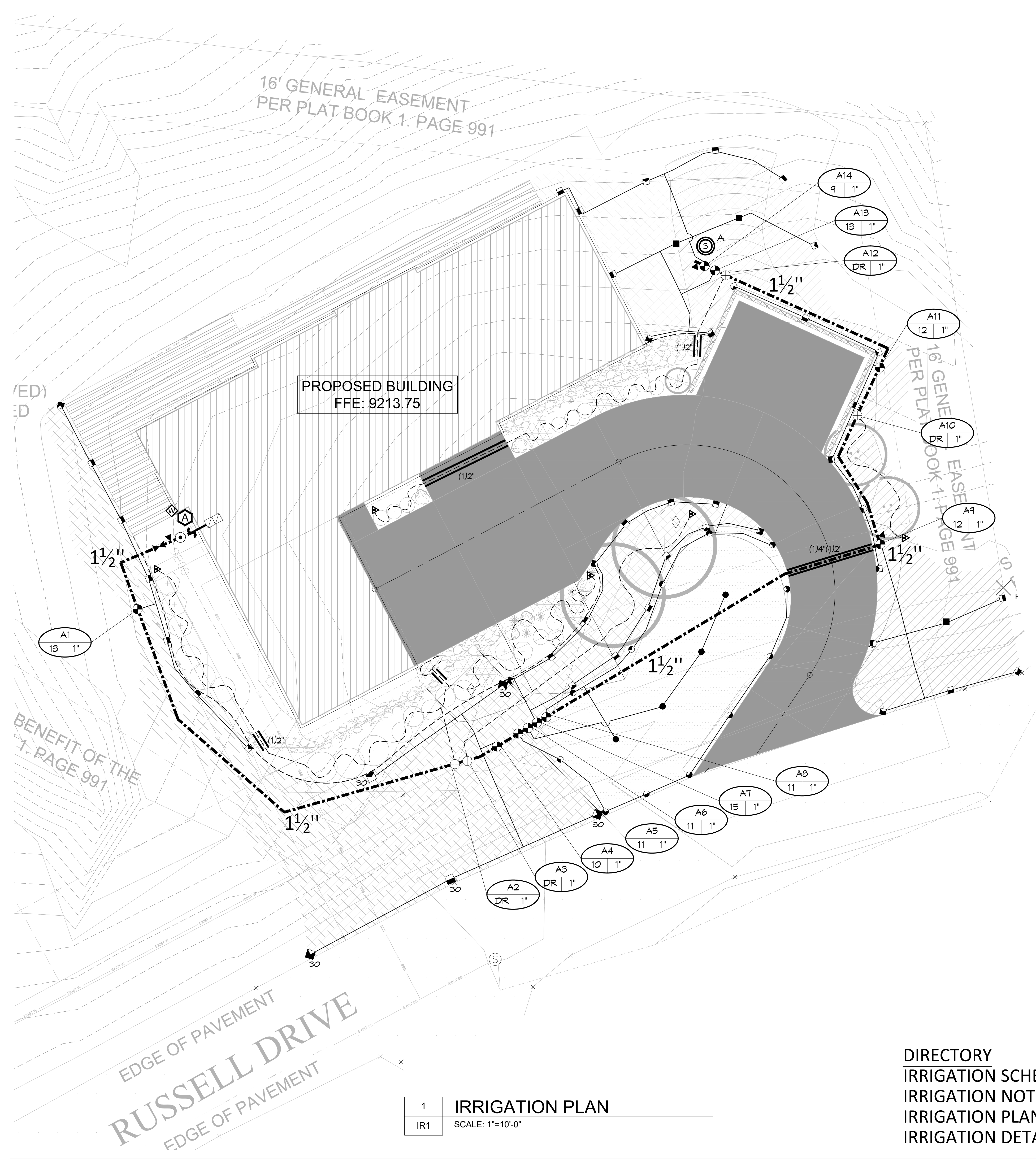
DIRECTORY
IRRIGATION SCHEDULE IRO
IRRIGATION NOTES IRO
IRRIGATION PLANS IR1
IRRIGATION DETAILS IR2 - IR3



Know what's below.
Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



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1 POINT OF CONNECTION #1 - 1"

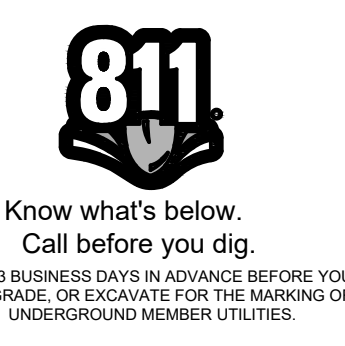
PEAK FLOW REQUIREMENT: 15 GPM. REQUIRED STATIC PRESSURE: 70 PSI
TIE ONTO 1" COPPER STUB-OUT AT THIS APPROXIMATE LOCATION. CONNECTION DOWNSTREAM OF BUILDING METER, BEFORE BUILDING BACKFLOW PREVENTER. CONNECTION DOWNSTREAM OF BUILDING METER, BEFORE BUILDING BACKFLOW PREVENTER AND AFTER ANY PRESSURE REGULATION. INSTALLATION OF ONE 1" REDUCED PRESSURE BACKFLOW PREVENTER WITH AIR GAP DRAIN PLUMBED TO BUILDING FLOOR DRAIN. PER MANUFACTURER'S RECOMMENDATIONS, AND STUB TO THIS LOCATION IS BY OTHERS RE = PLUMBING. INSTALL ONE ISOLATION BALL VALVE, ONE BOILER DRAIN. RUN 1" TYPE K HARD COPPER ALONG THE INSIDE OF THE EXTERIOR WALL AND STUB OUT THROUGH THE EXTERIOR WALL AT A MINIMUM DEPTH OF 18" UNDER SLAB AS SHOWN. SLOPE ALL COPPER WITHIN BUILDING TO BOILER DRAIN. INSTALL 3/4" INVERTED BOILER DRAIN AT LOW SPOT IN COPPER. CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR TO WATERPROOF SEAL ALL FOUNDATION OR STRUCTURAL SLAB PENETRATION. TRANSITION TO PVC PIPING A MINIMUM OF 24" FROM ANY PLANNED HARD OR PAVED SURFACE. INSTALL ONE MASTER VALVE, ONE GATE VALVE, ONE MANUAL DRAIN VALVE, ONE QUICK COUPLER VALVE, AND EXTEND PVC MAINLINE AS SHOWN. EXTEND 4 UFUL14# WIRE (TWO ORANGE AND TWO BLUE) AND CONNECT 2 OF THE WIRES FROM THE MASTER VALVE TO THE DATA RETRIEVAL BOARD IN ASSOCIATED CONTROLLER. SEE DETAIL SHEET FOR REQUIRED PIPE LENGTHS UPSTREAM AND DOWNSTREAM OF FLOW SENSING UNIT. NO COPPER TUBING SHALL BE VISIBLE ON BUILDING EXTERIOR. WORK SHALL CONFORM TO LOCAL CODE. FEES, PERMITS AND INSPECTIONS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID FOR BY CONTRACTOR. FINAL BACKFLOW PREVENTER LOCATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. ALL COPPER PIPING WITHIN UNHEATED AREAS SHALL INCLUDE HEAT TAPE TO PREVENT FREEZING.

A CONTROLLER LOCATION "A"

WALL MOUNT ONE CONTROLLER (REFER TO SCHEDULE FOR MODEL & STATION COUNT), REMOTE READY, AT INDICATED LOCATION. 120 VOLT POWER IS AVAILABLE WITHIN 50 LF. OF CONTROLLER LOCATION FROM BUILDING, BY OTHERS RE/ELECTRICAL. ELECTRICAL METER, WIRE/CONDUIT, STEP-DOWN TRANSFORMER (IF REQUIRED) AND POWER CONNECTION TO CONTROLLER IS BY CONTRACTOR WITH WORK CONFORMING TO LOCAL CODES. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. LOCATE MASTER VALVE WIRES WITH SPARES AND CONNECT 2 OF THE WIRES FROM THE MASTER VALVE TO THE DATA RETRIEVAL BOARD IN ASSOCIATED CONTROLLER. FINAL CONTROLLER LOCATION SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. MOUNT ONE WEATHER SENSOR ON BUILDING WHERE THERE IS 20 FT. OF CLEARANCE FROM ANY OVERHANG OR OBSTRUCTING FEATURE. INSTALL WEATHER SENSOR RECEIVER IN CONTROLLER ENCLOSURE. CONNECT SENSOR RECEIVER WIRES TO IRRIGATION CONTROLLER SENSOR PORT. FINAL WEATHER SENSOR LOCATION SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

1 IRRIGATION PLAN
IR1 SCALE: 1"=10'-0"

DIRECTORY	
IRRIGATION SCHEDULE	IR0
IRRIGATION NOTES	IR0
IRRIGATION PLANS	IR1
IRRIGATION DETAILS	IR2 - IR3



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REVISION DATE	REVISION DESCRIPTION

NORTH

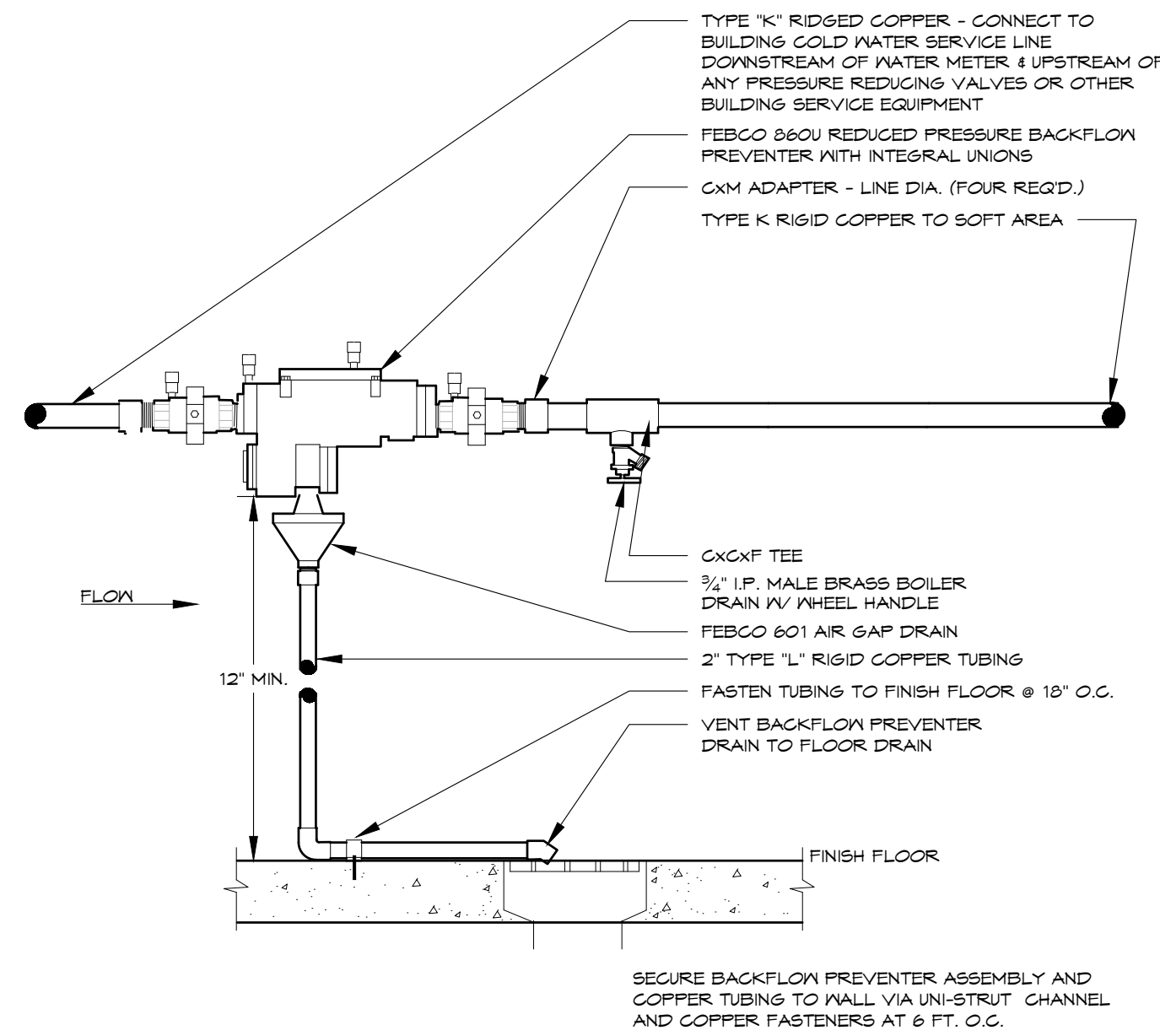
SCALE: 1" = 10'

PROJECT #: 2106-0278
CHECKED BY: KJD
DRAWN BY: JLK

DATE: 1/14/2022

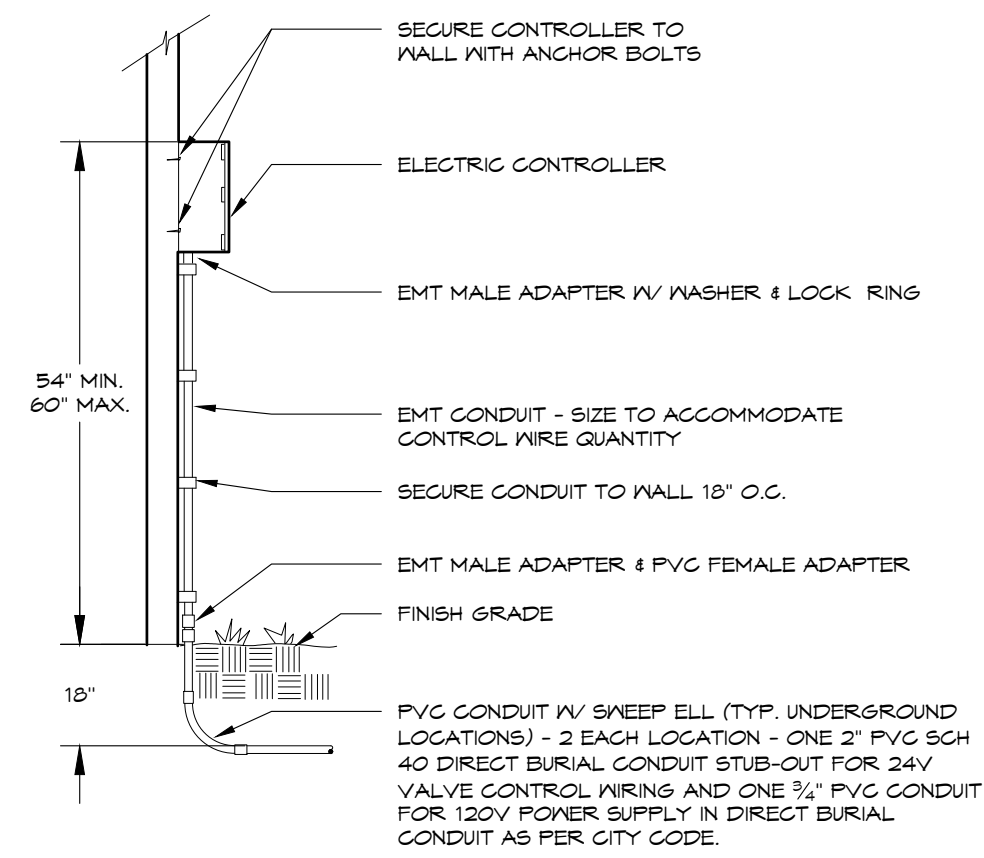
SHEET # **IR1**

TOTAL SHEETS 4



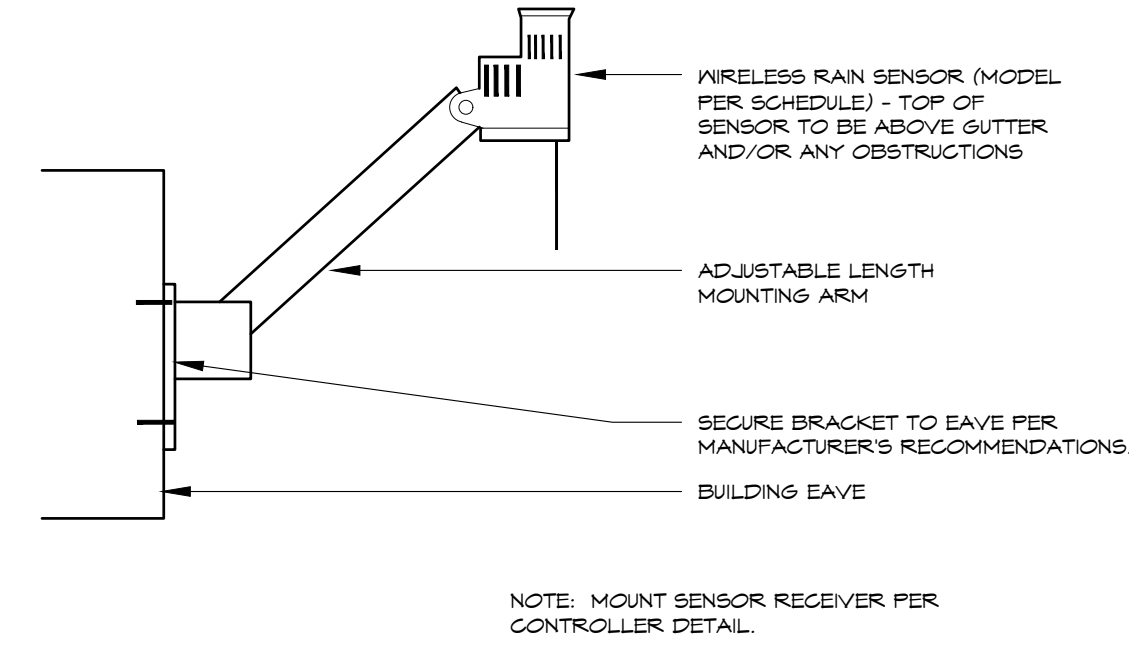
BACKFLOW PREVENTER
INTERIOR LOCATION - TYPICAL

1



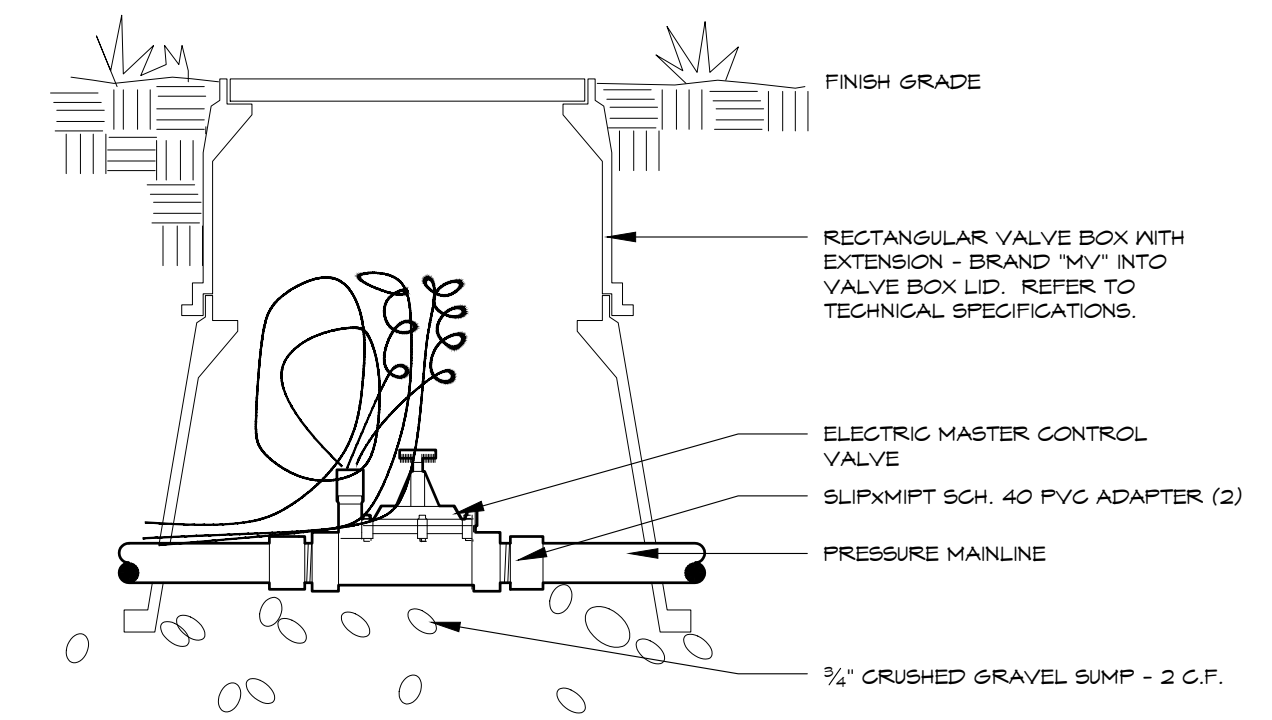
ELECTRIC CONTROLLER
EXTERIOR WALL MOUNT

2



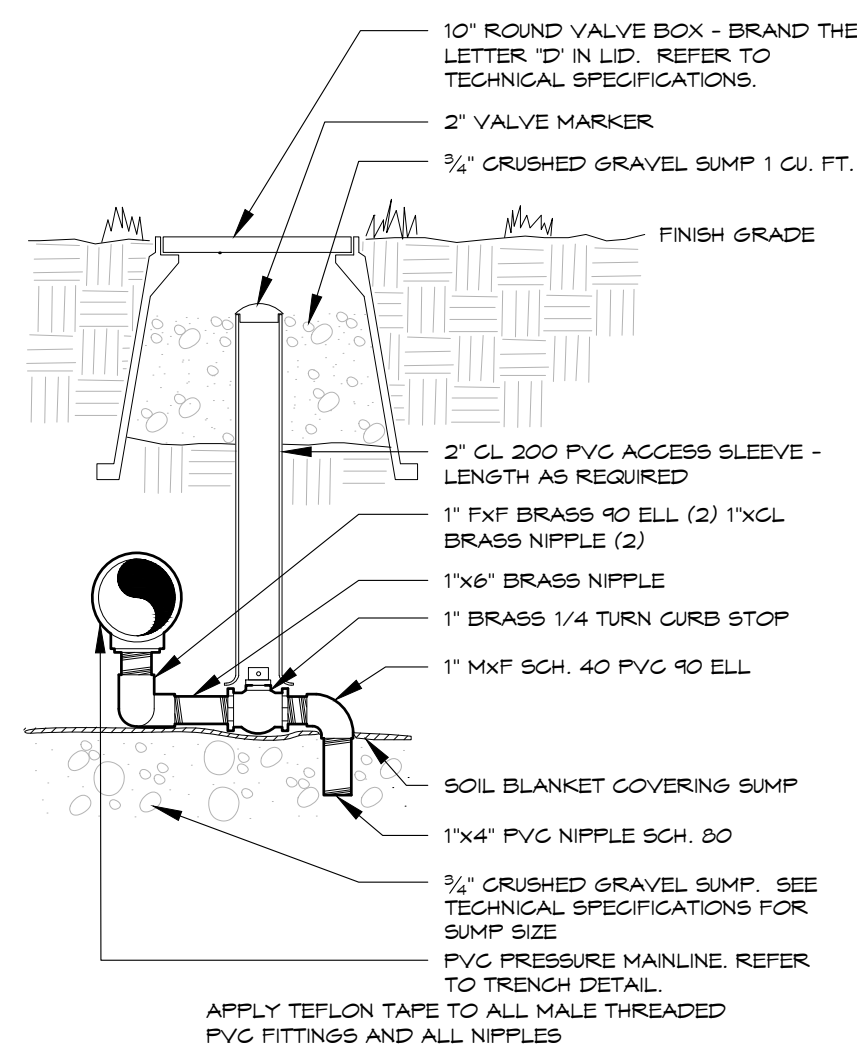
WEATHER SENSOR
EAVE MOUNTED - Wireless

3



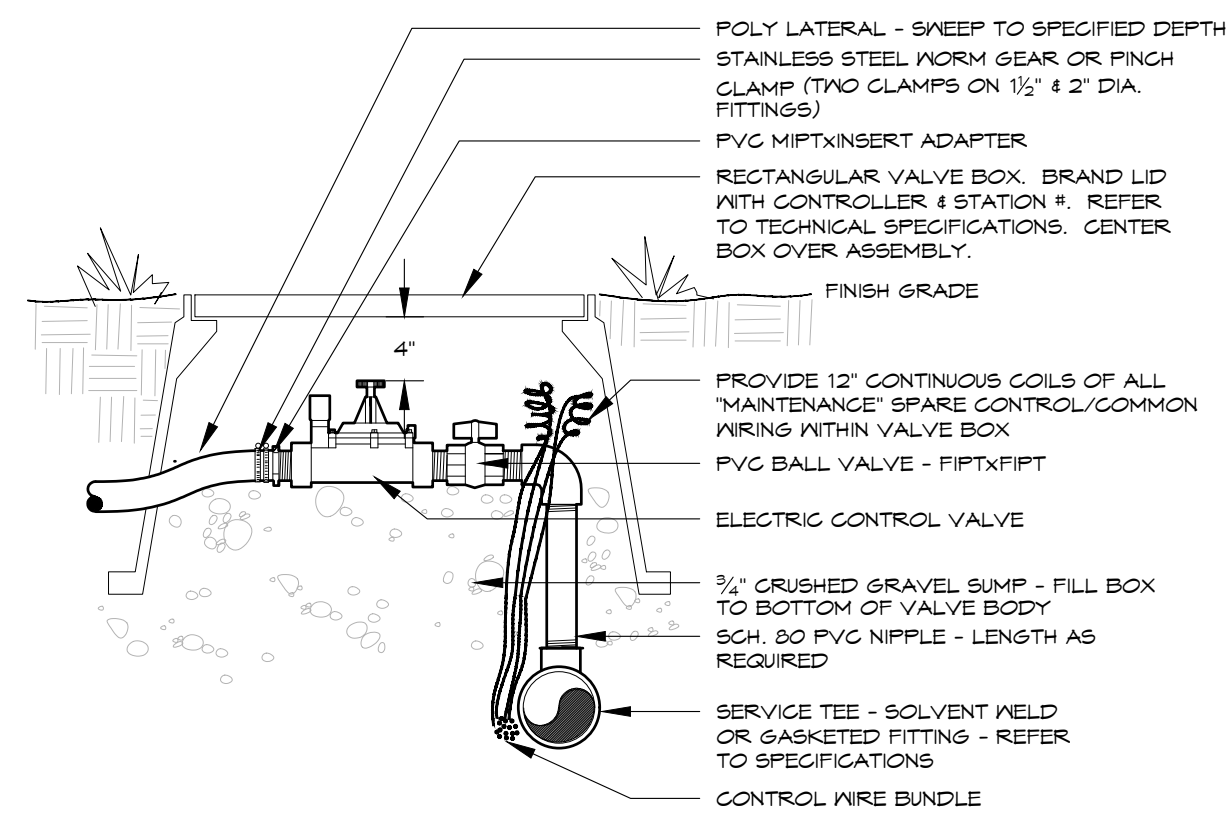
MASTER VALVE
24V - Small - Typical

4



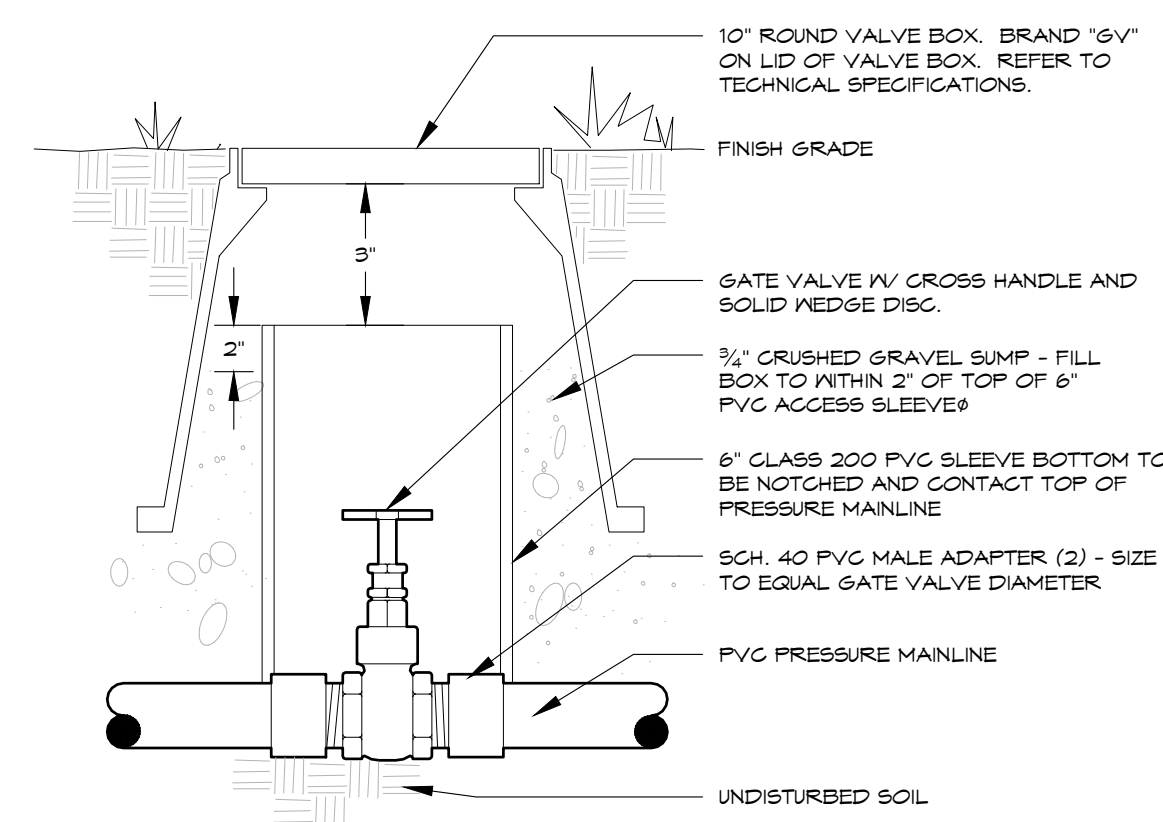
MANUAL DRAIN VALVE
TYPICAL

5



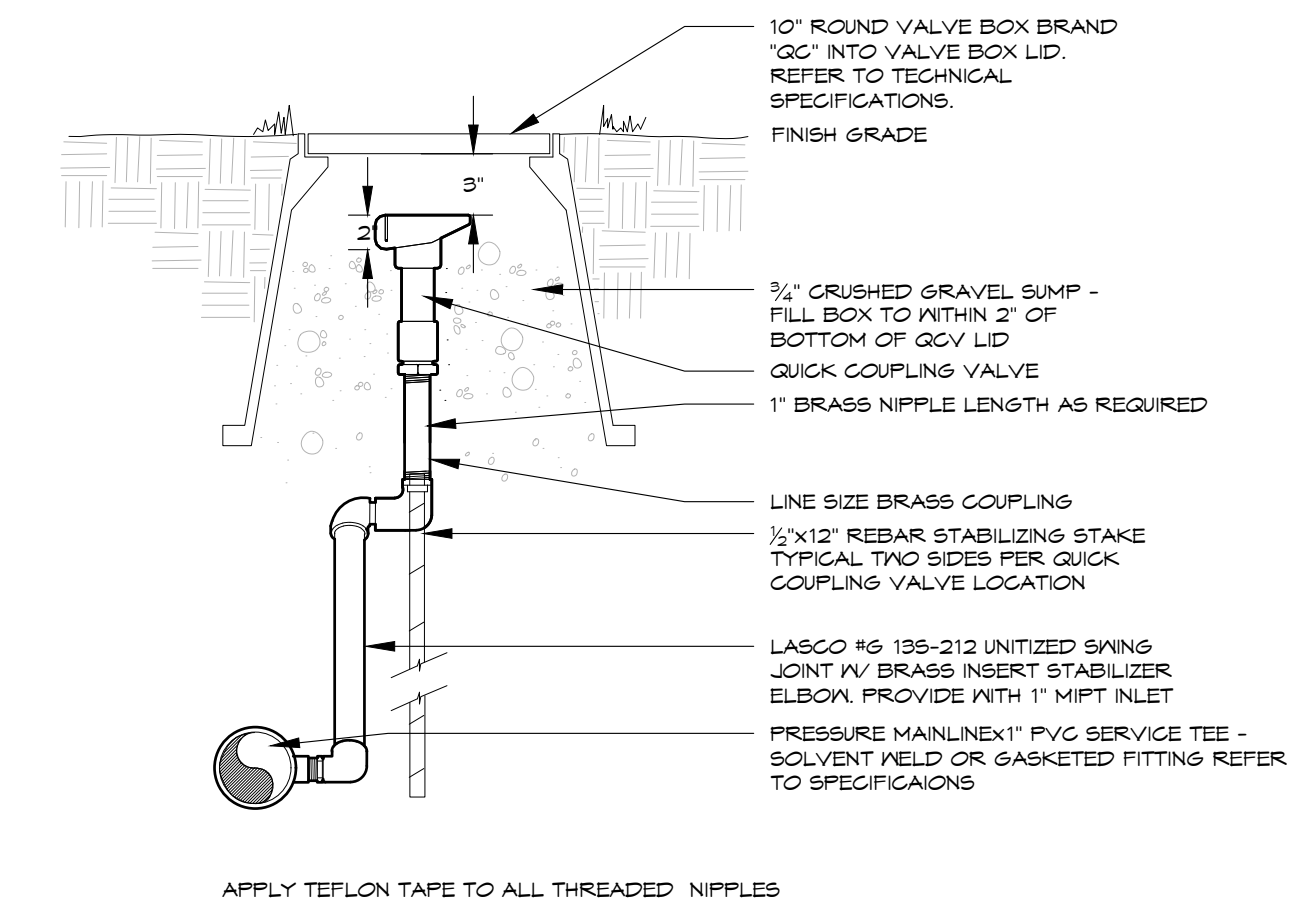
ELECTRIC CONTROL VALVE
24V - Poly Lateral

6



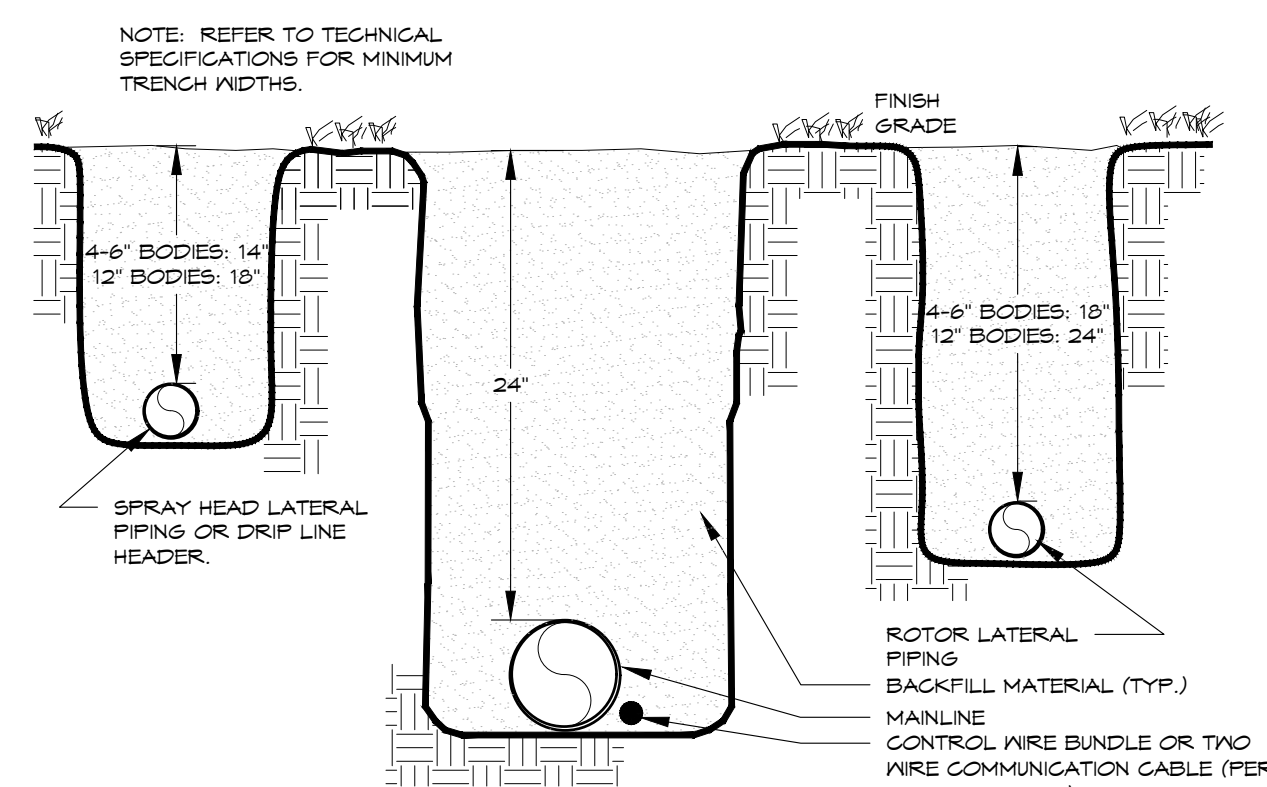
GATE VALVE
2.5\"/>

7



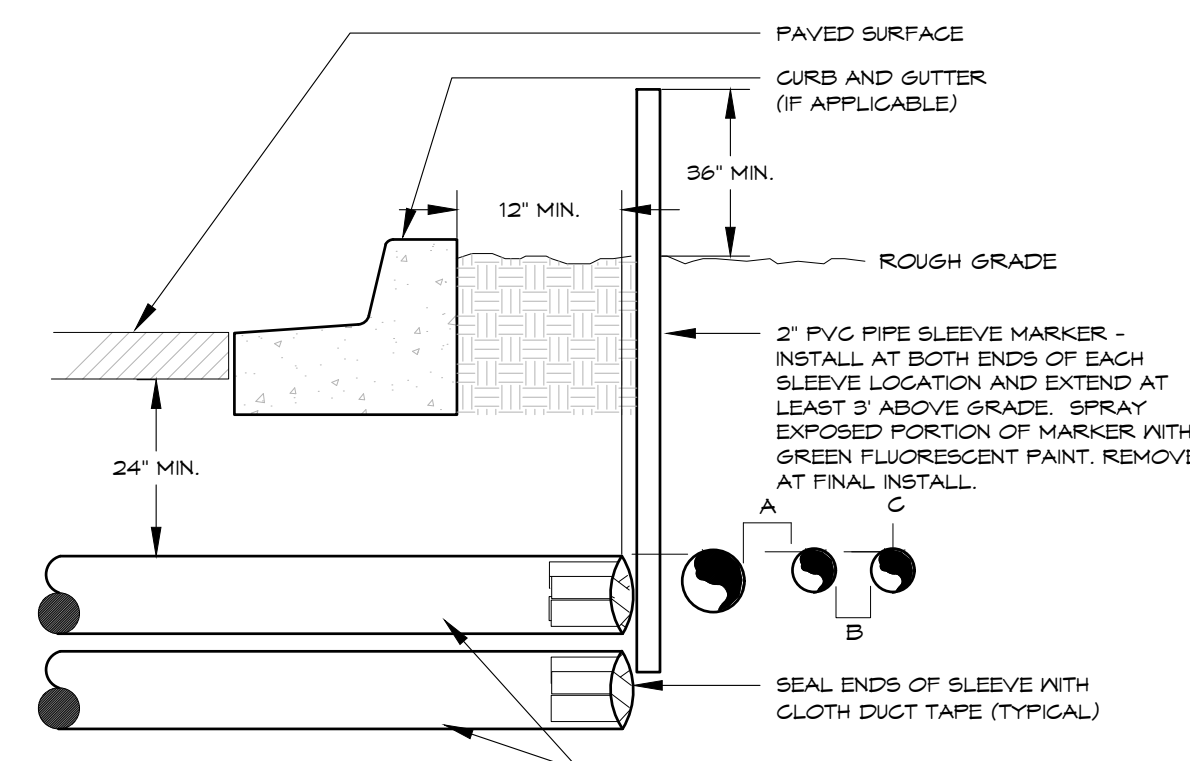
QUICK COUPLING VALVE
LASCOSWING - TYPICAL

8



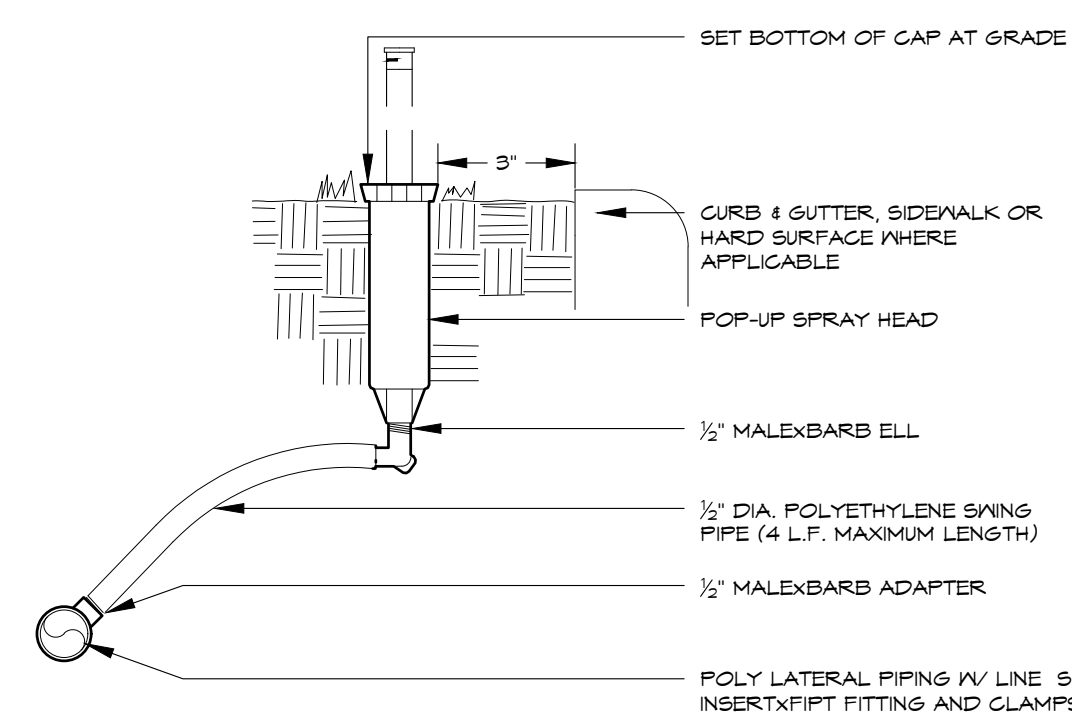
TRENCH
24\"/>

9



IRRIGATION SLEEVING
TYPICAL

10



POP-UP SPRAY HEAD
SWING PIPE - POLY

11



REVISION	DATE	DESCRIPTION

IRRIGATION DETAILS

DIRECTORY	IR0
IRRIGATION SCHEDULE	IR0
IRRIGATION NOTES	IR1
IRRIGATION PLANS	IR2 - IR3
IRRIGATION DETAILS	IR2 - IR3



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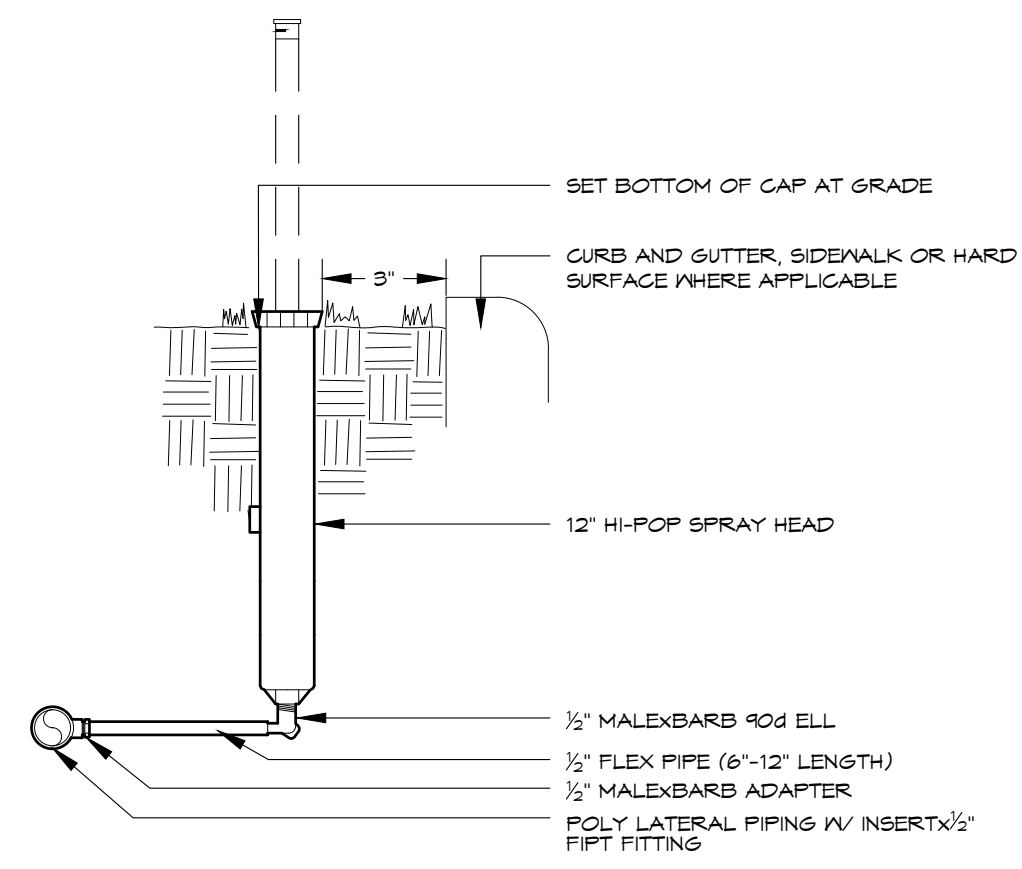
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PROJECT #: 2106-0278
CHECKED BY: KJD
DRAWN BY: JLK

DATE: 1/14/2022

SHEET # **IR2**

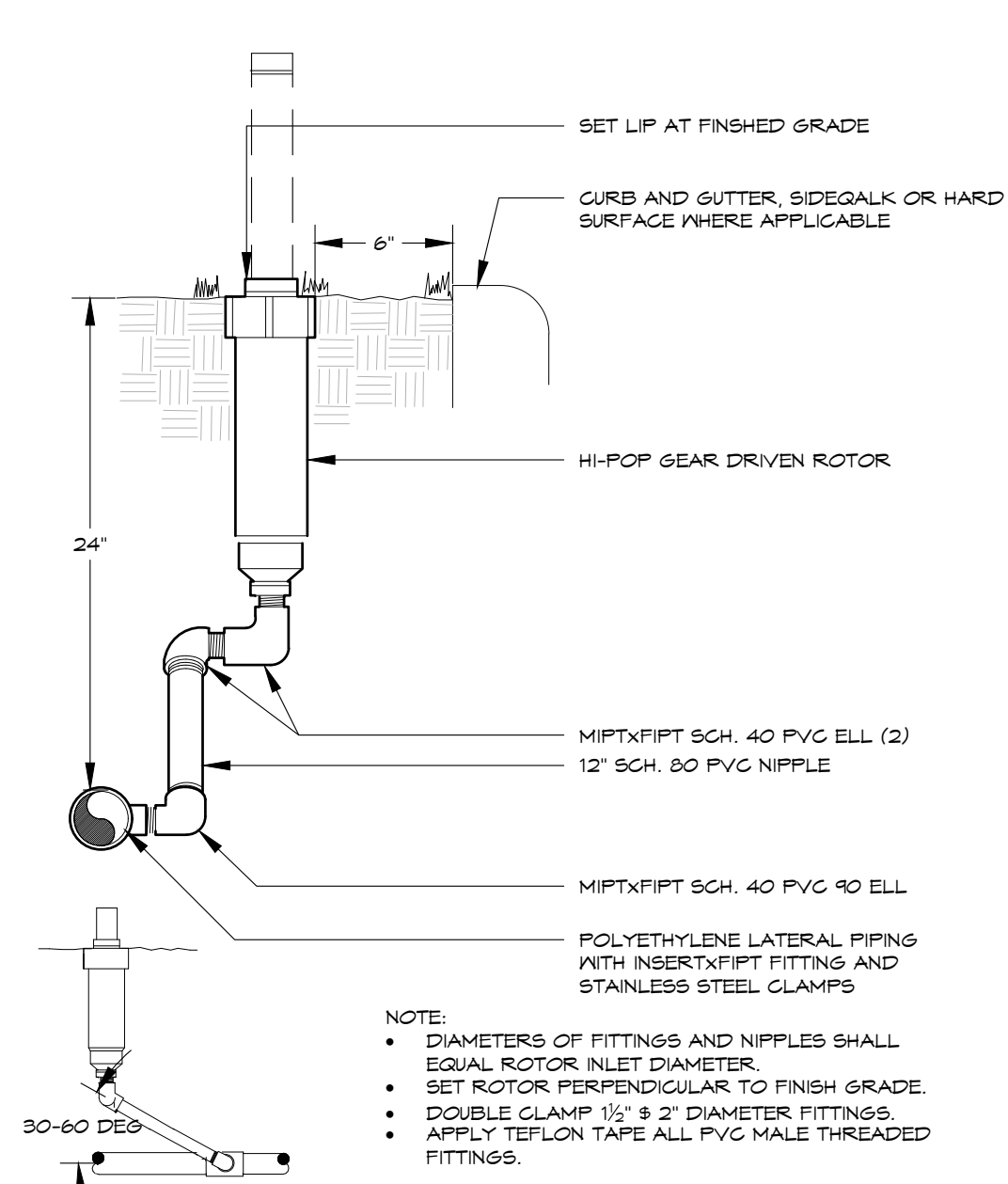
TOTAL SHEETS 4



NOTE:
 • SET HEAD PERPENDICULAR TO FINISH GRADE SWING.
 • FLEX PIPE SHALL BE ATTACHED TO BOTTOM SPRAY HEAD INLET ONLY.
 • APPLY TEFLON TAPE TO ALL MALE PVC THREADED FITTINGS AND NIPPLES.

HI-POP SPRAY HEAD
 SWING PIPE - POLY

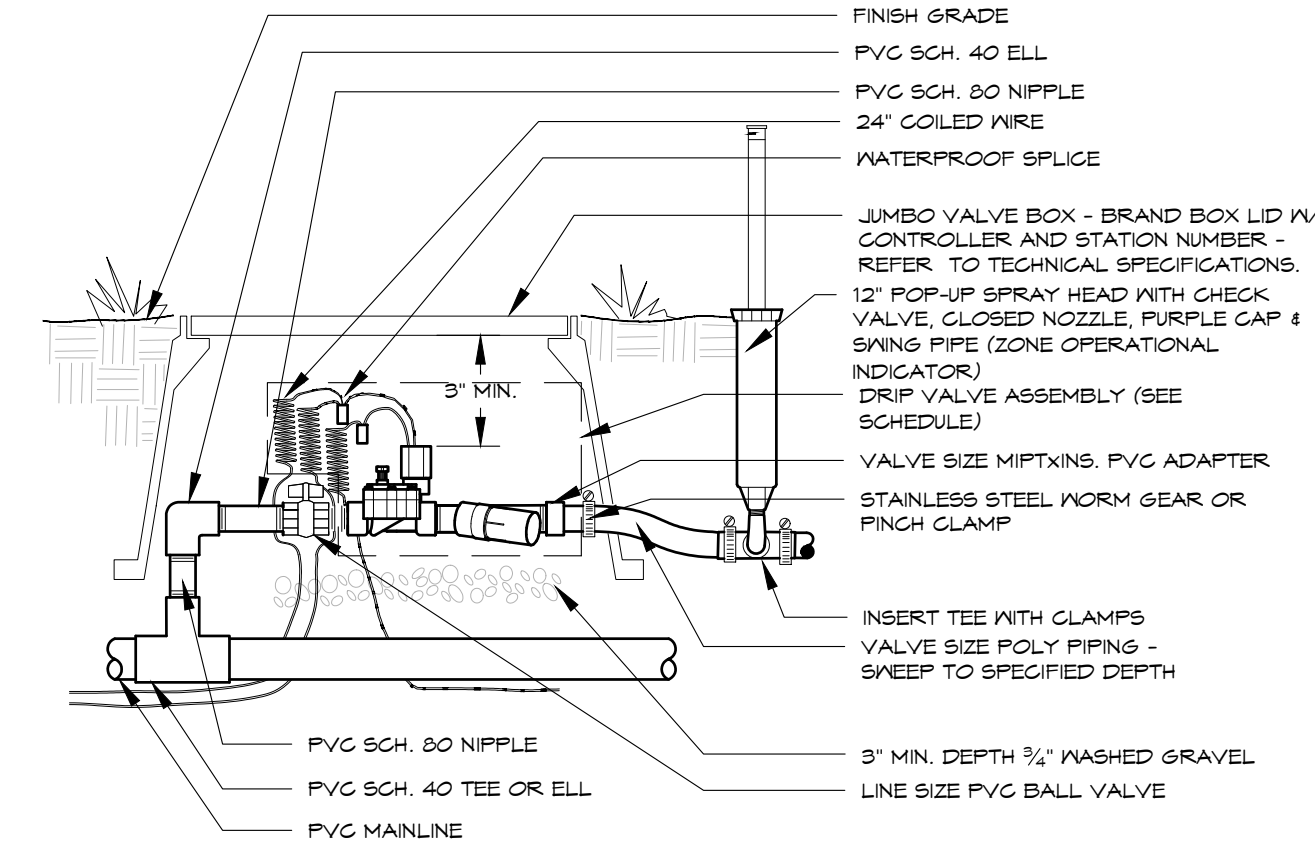
12



NOTE:
 • DIAMETERS OF FITTINGS AND NIPPLES SHALL EQUAL ROTOR INLET DIAMETER.
 • SET ROTOR PERPENDICULAR TO FINISH GRADE.
 • DOUBLE CLAMP 1/2\"/>

HI-POP GEAR DRIVEN ROTOR
 POLY

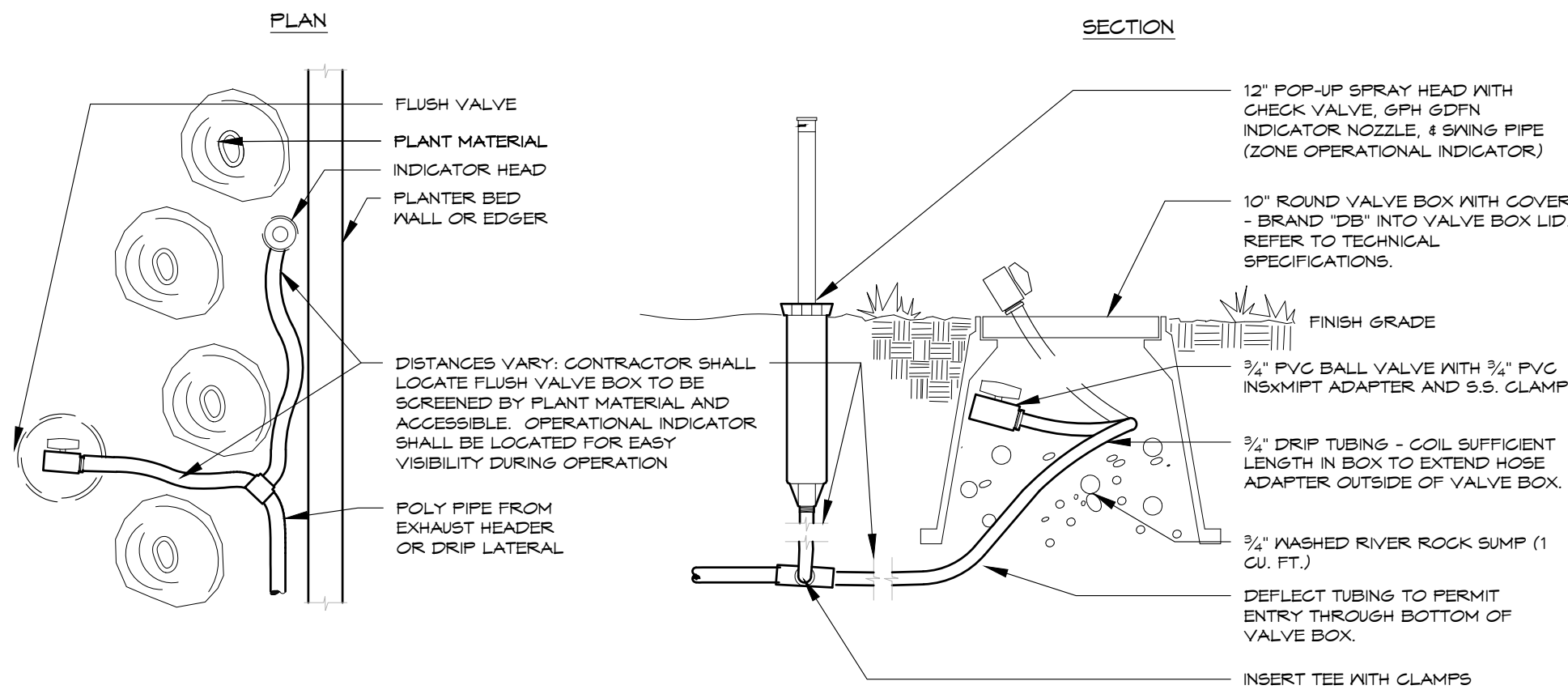
13



NOTE:
 INSTALL ASSEMBLY TO REST ON GRAVEL SLUMP. CONTAIN ENTIRE ASSEMBLY WITHIN BOX. NO VALVE BOX EXTENSIONS WILL BE ACCEPTED. PROVIDE 3\"/>

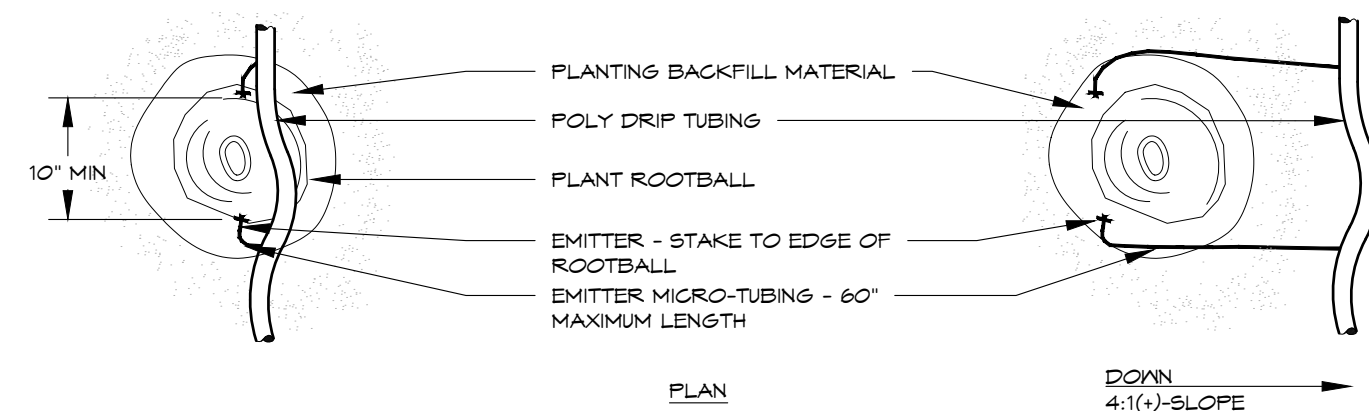
DRIP VALVE
 24V - POLY LATERAL

14



DRIP FLUSH VALVE
 WITH OPERATIONAL INDICATOR

15



PLANT SIZE	EMITTER FLOW RATE	EMITTER QTY. AT MULCHED BED LOCATIONS	EMITTER QTY. AT NATIVE SEED LOCATIONS
1 - 2 GALLON MATERIAL	0.5 GPH	ONE EACH	ONE EACH
5 GALLON MATERIAL	0.5 GPH	TWO EACH	TWO EACH
1 1/2\"/>			

NOTE:
 • INSTALL EMITTERS ON OPPOSING SIDES OF ROOTBALL. THREE OR MORE EMITTERS SHALL BE EQUALLY SPACED AROUND ROOT BALL.
 • EMITTERS ARE TO BE INSTALLED TO CLEAR SURFACE BY A MINIMUM OF 1\"/>

DRIP EMITTER
 BELOW GRADE

16



REVISION DATE	REVISION DESCRIPTION

IRRIGATION DETAILS

DIRECTORY	
IRRIGATION SCHEDULE	IR0
IRRIGATION NOTES	IR0
IRRIGATION PLANS	IR1
IRRIGATION DETAILS	IR2 - IR3

PROJECT #: 2106-0278
 CHECKED BY: KJD
 DRAWN BY: JLK

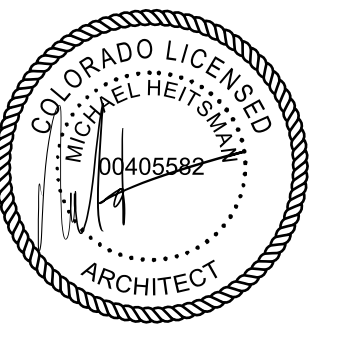
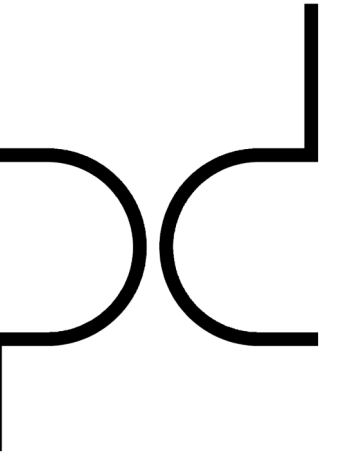
DATE: 1/14/2022

SHEET #

IR3

TOTAL SHEETS 4





9/15/2023 10:46:33 AM

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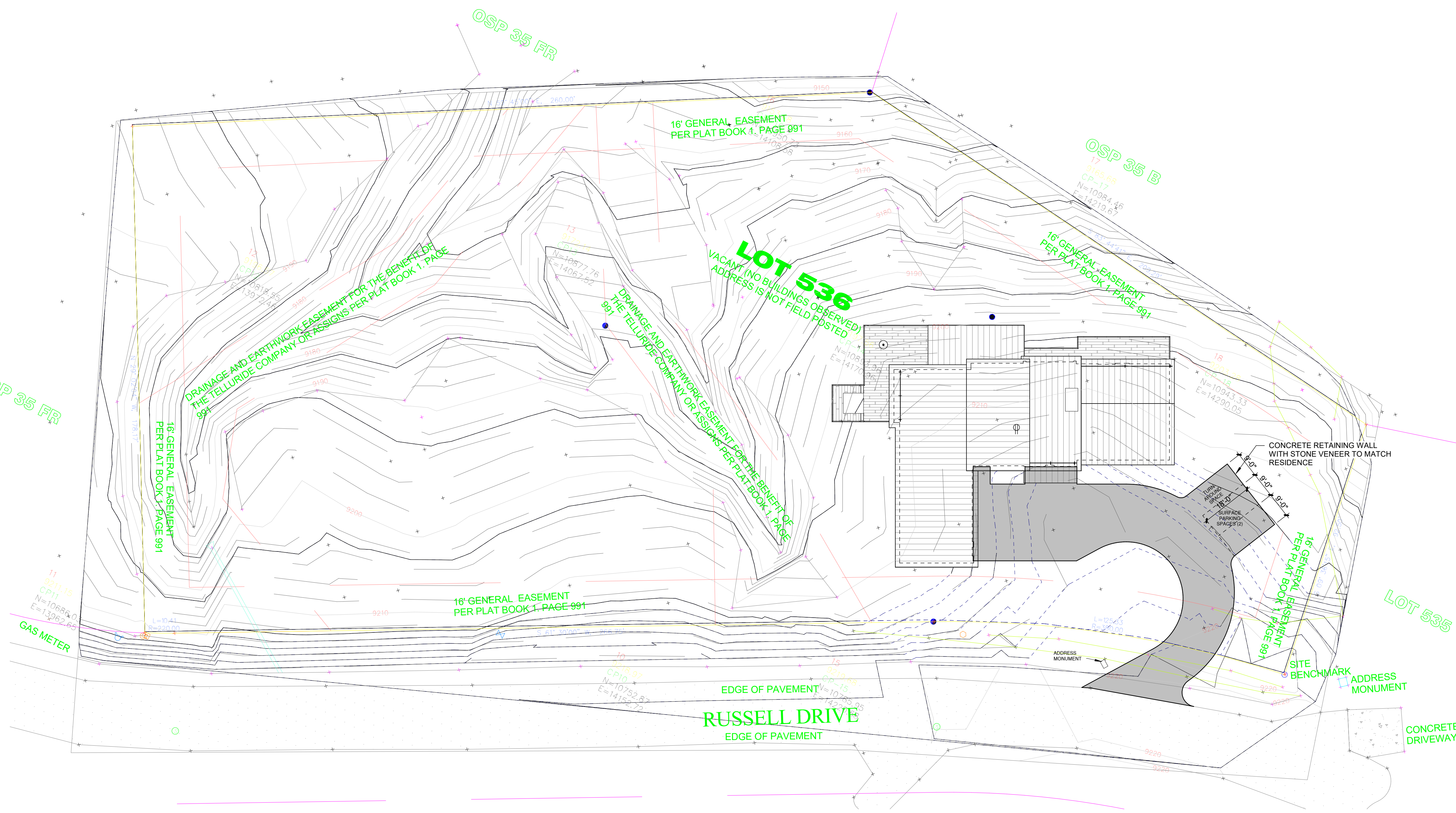
219 RUSSELL DRIVE
219 RUSSELL DRIVE
LOT 536
MOUNTAIN VILLAGE, CO

JOB NO: 22.018
DATE: 06.08.2023
ISSUE RECORD: FOR CONSTRUCTION

REVISIONS:

ARCHITECTURAL SITE PLAN

A1.00



RUSSELL DRIVE
EDGE OF PAVEMENT

CONCRETE RETAINING WALL
WITH STONE VENEER TO MATCH
RESIDENCE

LOT 535

CONCRETE
DRIVEWAY

LOT 536
VACANT (NO BUILDINGS OBSERVED)
ADDRESS IS NOT FIELD POSTED

OSP 35 B
CP-17
N=10084.45
E=14210.67

OSP 35 FR

OSP 35 FR

16' GENERAL EASEMENT
PER PLAT BOOK 1 PAGE 991

DRAINAGE AND EARTHWORK EASEMENT FOR THE BENEFIT OF
THE TELLURIDE COMPANY OR ASSIGNS PER PLAT BOOK 1, PAGE
991

DRAINAGE AND EARTHWORK EASEMENT FOR THE BENEFIT OF
THE TELLURIDE COMPANY OR ASSIGNS PER PLAT BOOK 1, PAGE
991

16' GENERAL EASEMENT
PER PLAT BOOK 1, PAGE 991

16' GENERAL EASEMENT
PER PLAT BOOK 1, PAGE 991

16' GENERAL EASEMENT
PER PLAT BOOK 1, PAGE 991

GAS METER

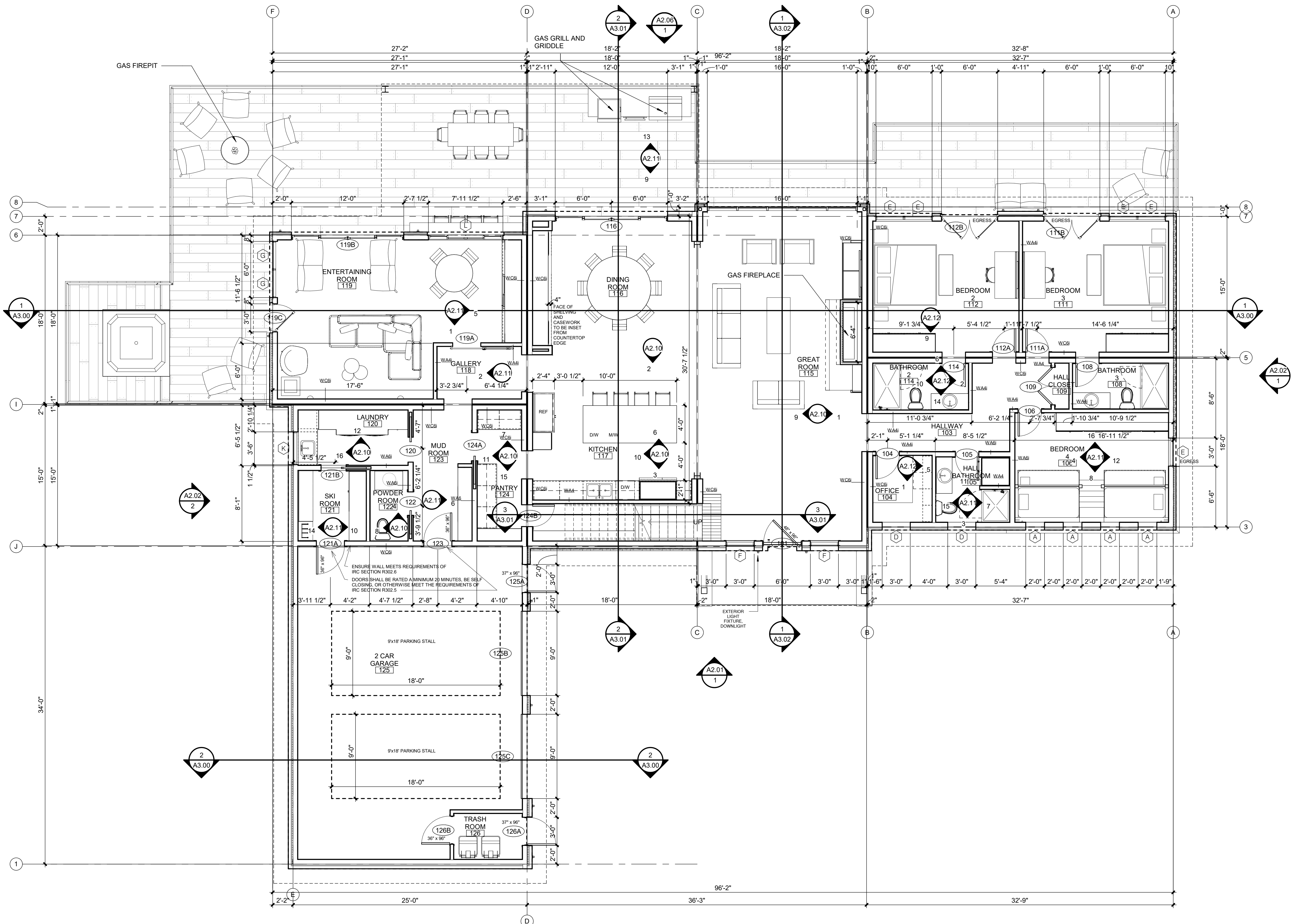
ADDRESS
MONUMENT

SITE
BENCHMARK

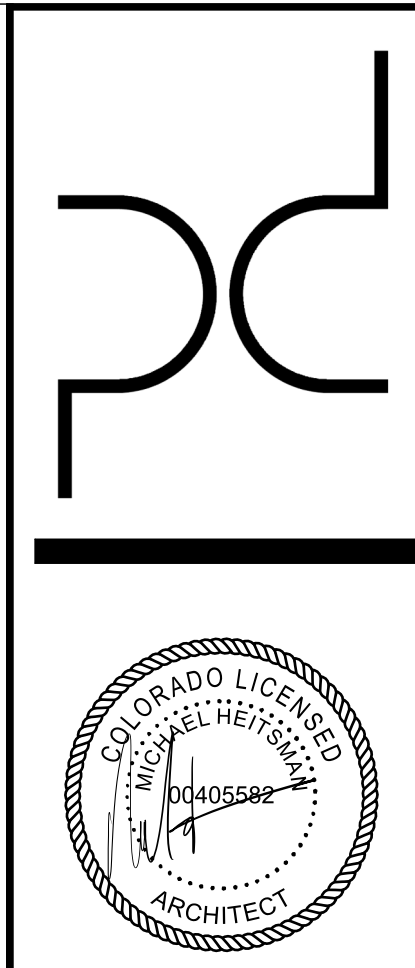
ADDRESS
MONUMENT

CONCRETE
DRIVEWAY

EDGE OF PAVEMENT



FIRST FLOOR: 3,247 G.S.F.
 GARAGE: 846 G.S.F.
 SECOND FLOOR: 573 G.S.F.



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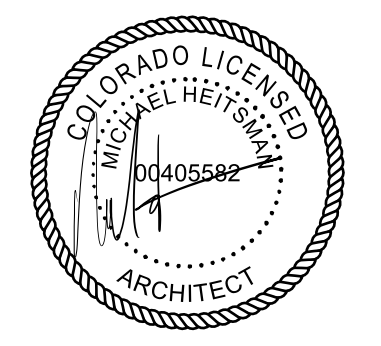
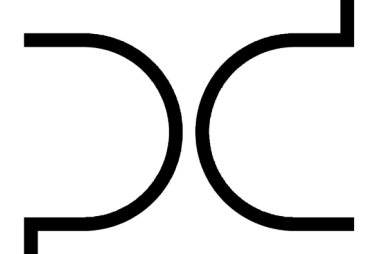
219 RUSSELL DRIVE
 219 RUSSELL DRIVE
 LOT 536
 MOUNTAIN VILLAGE, CO

JOB NO: 22.018
 DATE: 3.01.2023
 ISSUE RECORD: MINOR REVISION

REVISIONS:

FIRST FLOOR PLAN

A1.01



3/27/2023 2:40:05 PM

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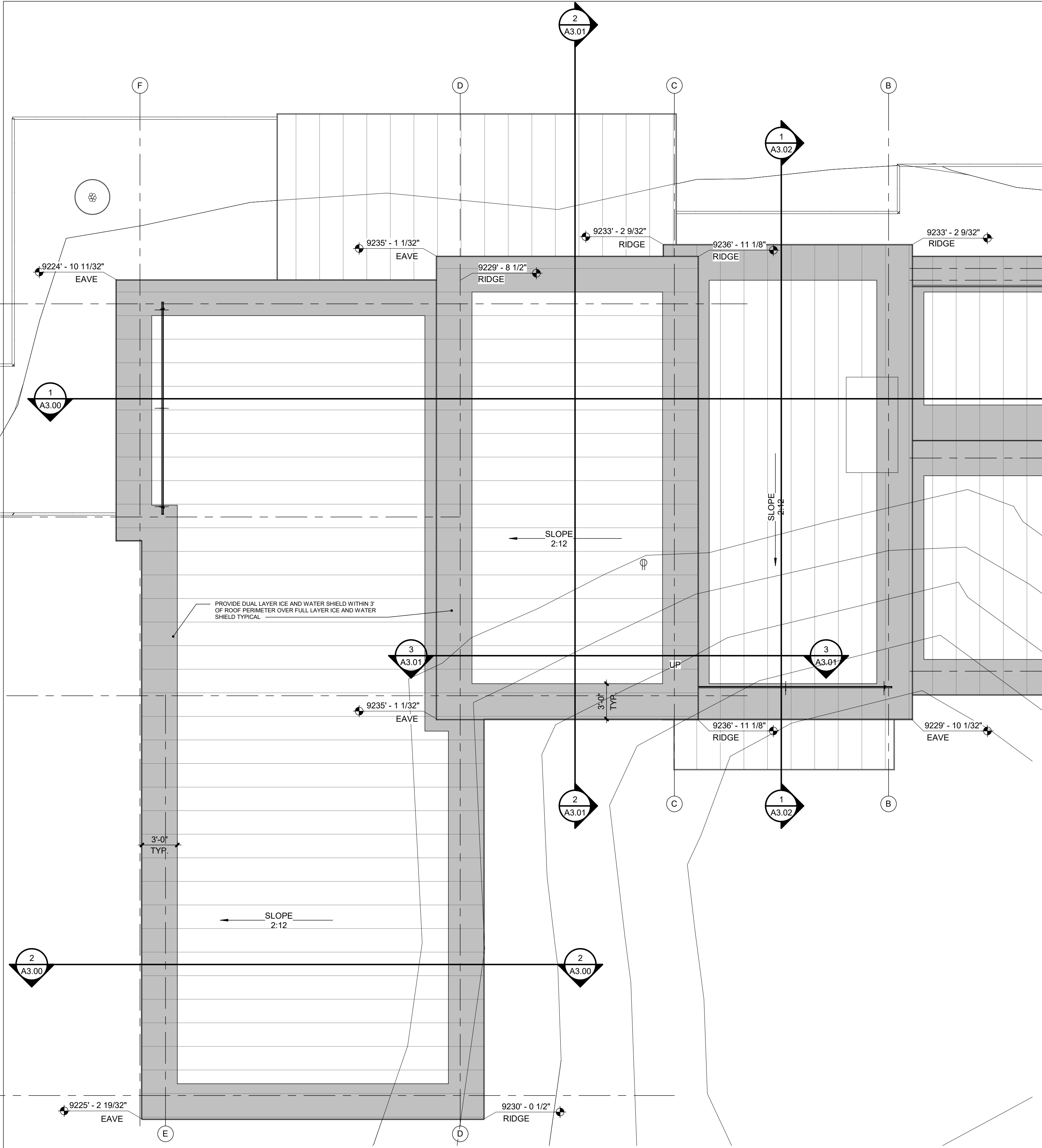
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219 RUSSELL DRIVE
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LOT 536
MOUNTAIN VILLAGE, CO

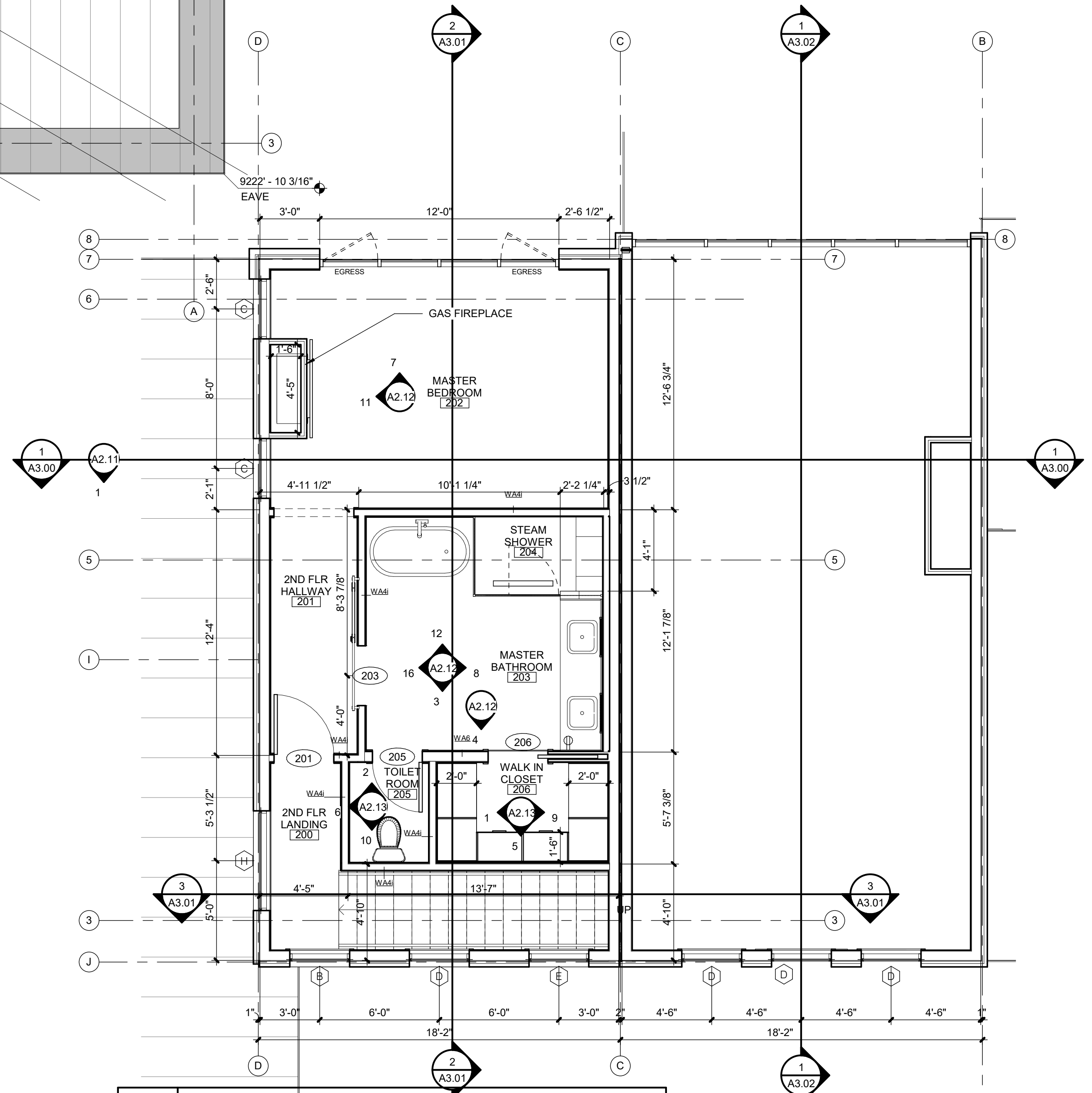
JOB NO: 22.018
DATE: 3.01.2023
ISSUE RECORD: MINOR REVISION
REVISIONS:

SECOND FLOOR AND ROOF PLAN

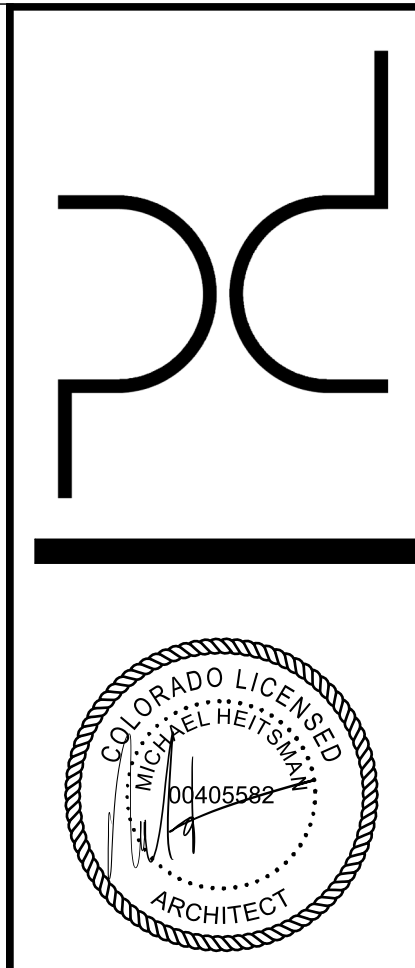
A1.02



2 ROOF PLAN
A1.02 SCALE: 3/16" = 1'-0"



1 SECOND FLOOR PLAN
A1.02 SCALE: 1/4" = 1'-0"



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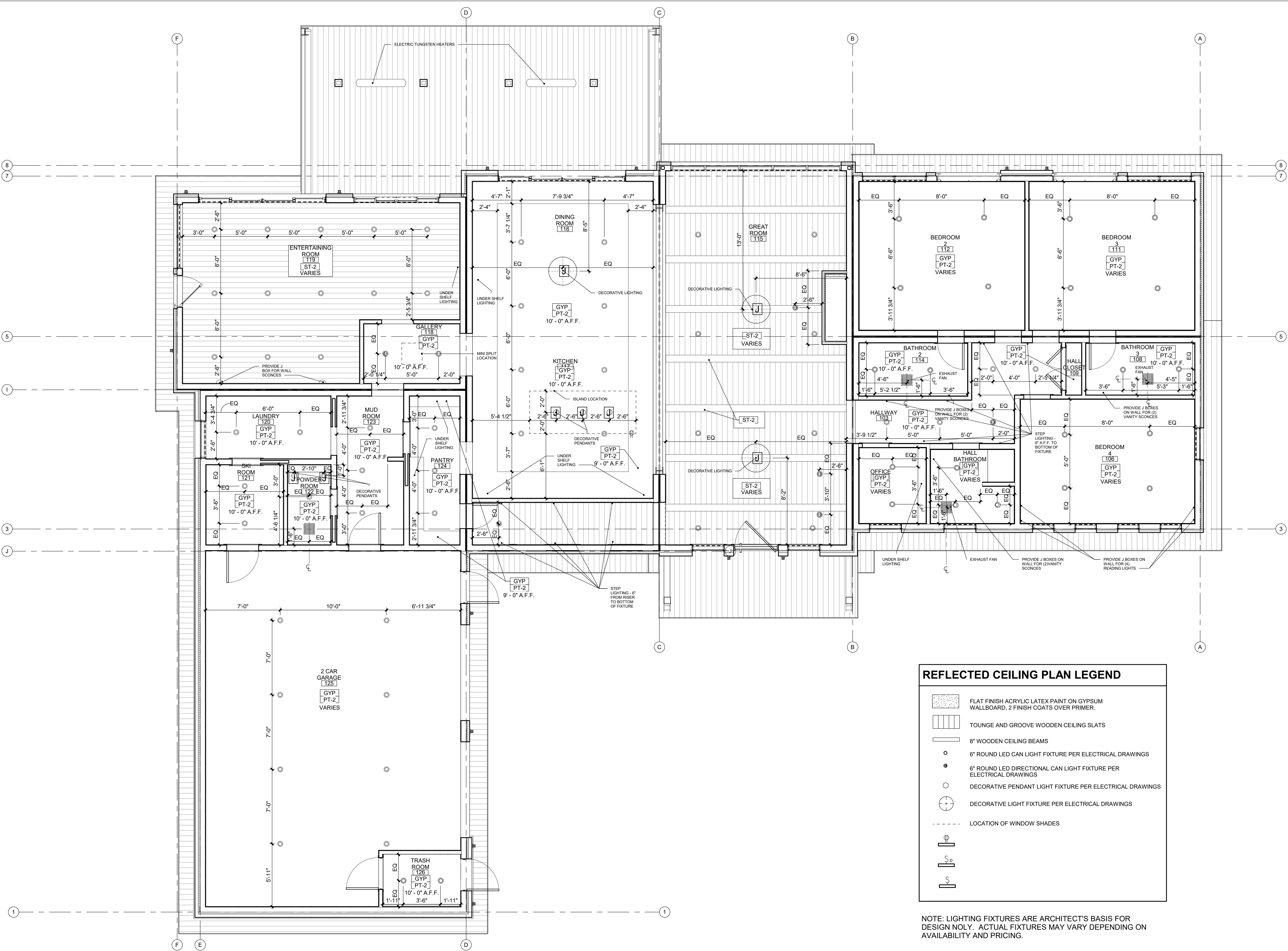
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LOT 536
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JOB NO: 22.018
DATE: 3.01.2023
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REVISIONS:

1ST FLOOR REFLECTED CEILING PLAN

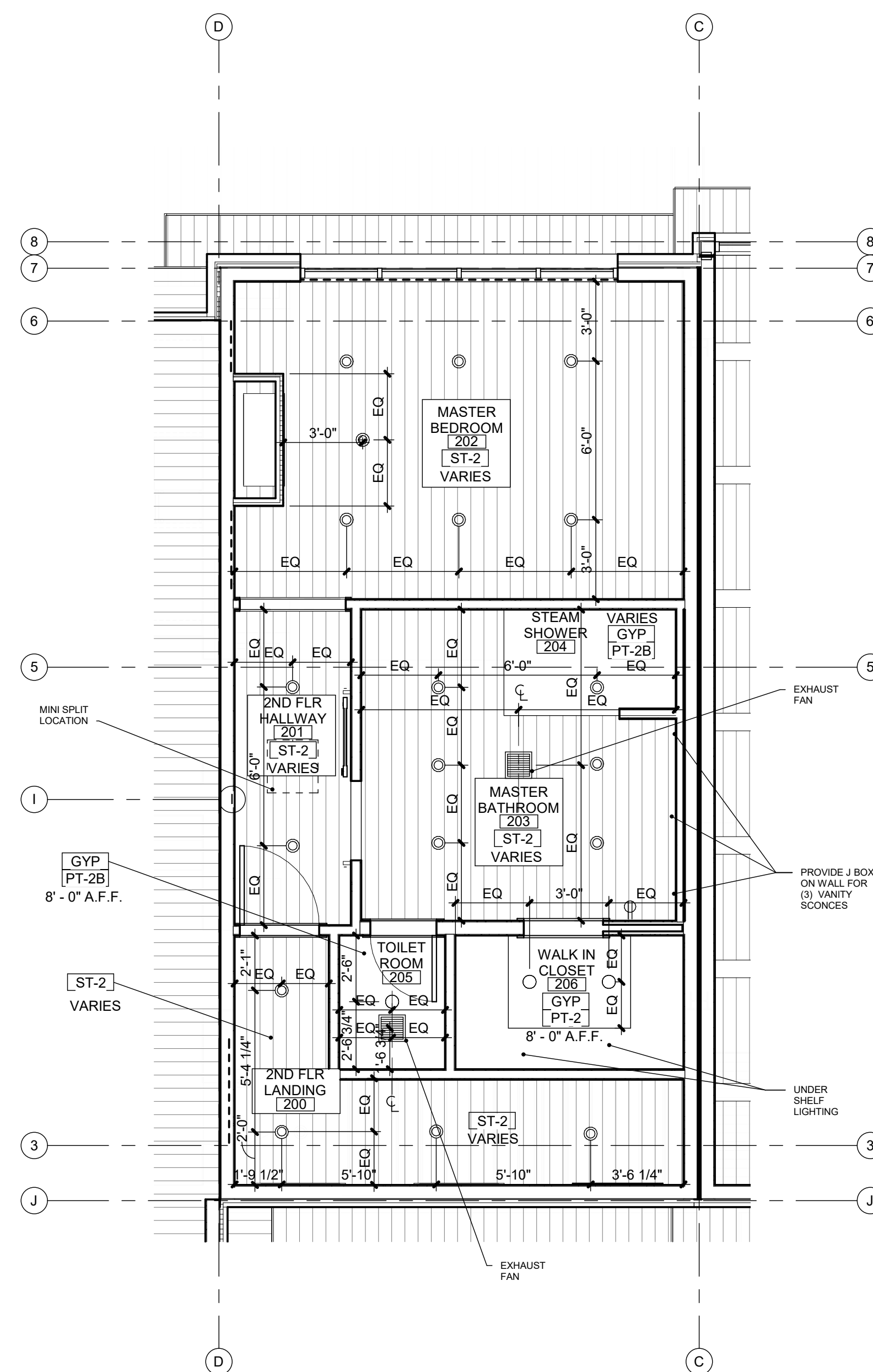
A1.05



REFLECTED CEILING PLAN LEGEND

- FLAT FINISH ACRYLIC LATEX PAINT ON GYPSUM WALLBOARD, 2 FINISH COATS OVER PRIMER.
- TONGUE AND GROOVE WOODEN CEILING SLATS
- 8" WOODEN CEILING BEAMS
- 6" ROUND LED CAN LIGHT FIXTURE PER ELECTRICAL DRAWINGS
- 6" ROUND LED DIRECTIONAL CAN LIGHT FIXTURE PER ELECTRICAL DRAWINGS
- DECORATIVE PENDANT LIGHT FIXTURE PER ELECTRICAL DRAWINGS
- DECORATIVE LIGHT FIXTURE PER ELECTRICAL DRAWINGS
- LOCATION OF WINDOW SHADES
- UNDER SHELF LIGHTING
- EXHAUST FAN
- PROVIDE J BOXES ON WALL FOR (2) VANITY SCONCES
- PROVIDE J BOXES ON WALL FOR (4) READING LIGHTS

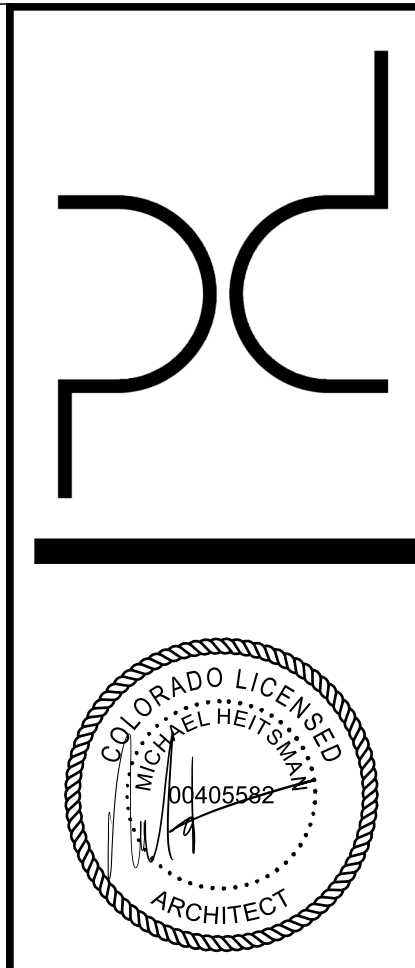
NOTE: LIGHTING FIXTURES ARE ARCHITECT'S BASIS FOR DESIGN ONLY. ACTUAL FIXTURES MAY VARY DEPENDING ON AVAILABILITY AND PRICING.



1 2ND FLOOR
A1.06 SCALE : 1/4" = 1'-0"

REFLECTED CEILING PLAN LEGEND

	FLAT FINISH ACRYLIC LATEX PAINT ON GYPSUM WALLBOARD, 2 FINISH COATS OVER PRIMER.
	TOUNGE AND GROOVE WOODEN CEILING SLATS
	8" WOODEN CEILING BEAMS
	6" ROUND LED CAN LIGHT FIXTURE PER ELECTRICAL DRAWINGS
	6" ROUND LED DIRECTIONAL CAN LIGHT FIXTURE PER ELECTRICAL DRAWINGS
	DECORATIVE PENDANT LIGHT FIXTURE PER ELECTRICAL DRAWINGS
	DECORATIVE LIGHT FIXTURE PER ELECTRICAL DRAWINGS
	LOCATION OF WINDOW SHADES
	EXHAUST FAN
	PROVIDE J BOX ON WALL FOR (3) VANITY SCONCES
	UNDER SHELF LIGHTING



THIS DRAWING HAS BEEN PREPARED BY THE ARCHITECT OR PERSON UNDER THE DIRECT SUPERVISION AND IN RETROSPECT OF SUCH PERSON AND IS INTENDED FOR USE ONLY ON THIS PROJECT. ALL DIMENSIONS AND CONDITIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. THE ARCHITECT'S SERVICES ARE LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AND DO NOT INCLUDE THE DESIGN OF MECHANICAL, ELECTRICAL, PLUMBING, OR STRUCTURAL SYSTEMS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF SUCH SYSTEMS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AND DOES NOT INCLUDE THE DESIGN OF MECHANICAL, ELECTRICAL, PLUMBING, OR STRUCTURAL SYSTEMS. THE ARCHITECT IS STRICTLY PROHIBITED FROM PROVIDING A COMPLETE PROJECT.

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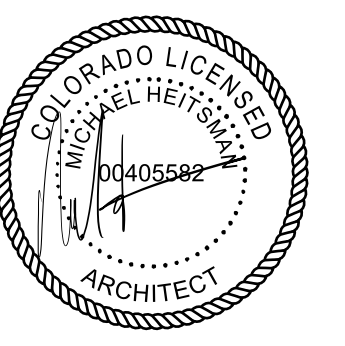
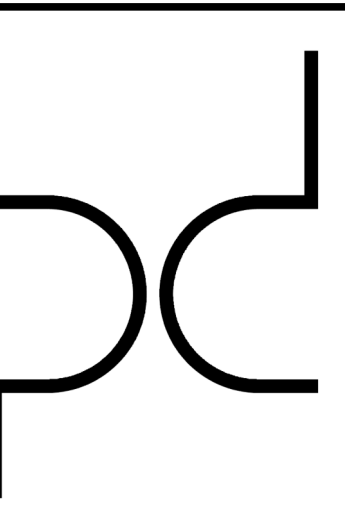
219 RUSSELL DRIVE
219 RUSSELL DRIVE
LOT 536
MOUNTAIN VILLAGE, CO

JOB NO: 22.013
 DATE: 3.01.2023
 ISSUE RECORD: MINOR REVISION

REVISIONS:

2ND FLOOR REFLECTED CEILING PLAN

A1.06



3/2/2023 2:48:00 PM

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219 RUSSELL DRIVE
219 RUSSELL DRIVE
LOT 536
MOUNTAIN VILLAGE, CO

JOB NO: 22.018

DATE: 3.01.2023

ISSUE RECORD: MINOR REVISION

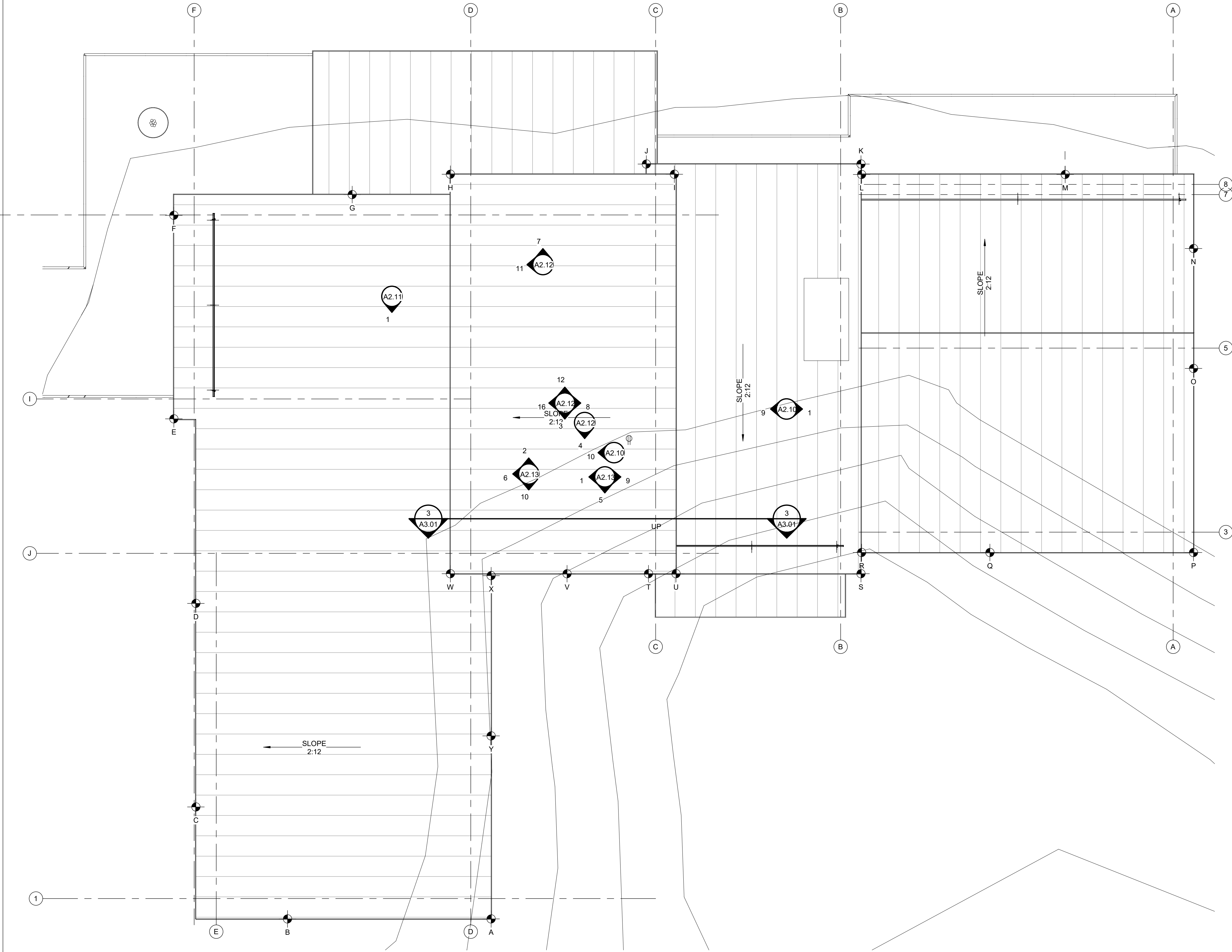
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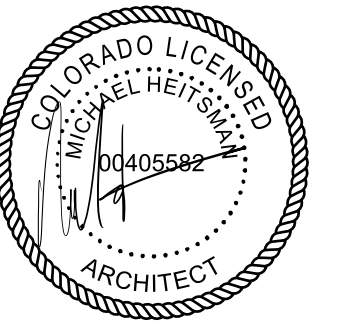
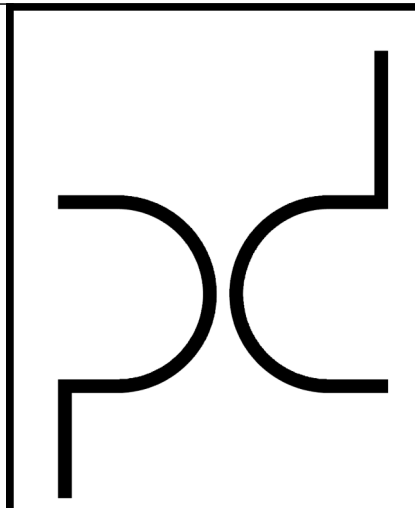
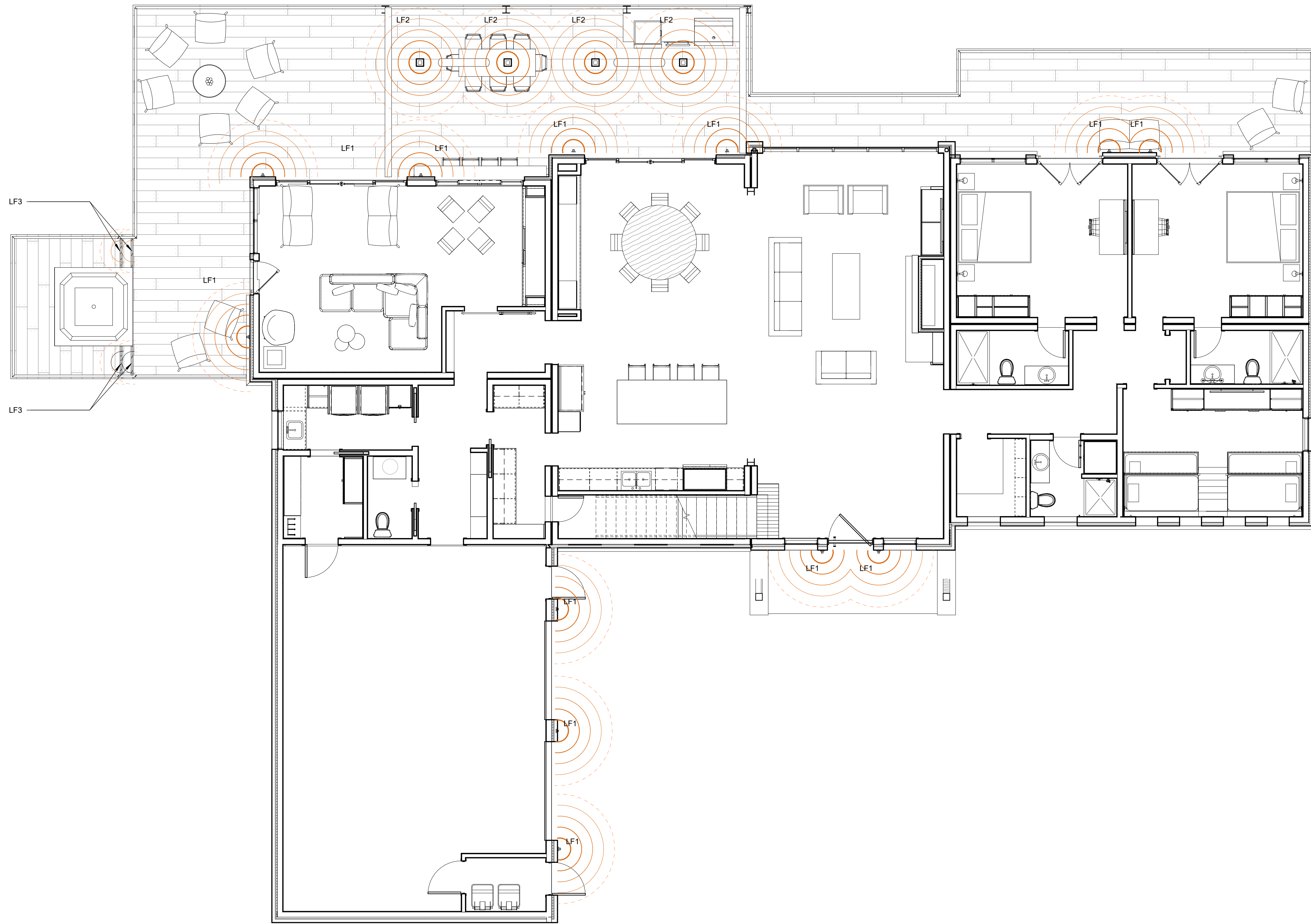
BUILDING HEIGHT ANALYSIS

A1.07

MAXIMUM AVERAGE HEIGHT	
POINT	HEIGHT
POINT A	17.3'
POINT B	16.0'
POINT C	16.5'
POINT D	17.0'
POINT E	18.4'
POINT F	20.4'
POINT G	22.5'
POINT H	30.8'
POINT I	32.1'
POINT J	28.9'
POINT K	27.9'
POINT L	18.1'
POINT M	19.4'
POINT N	19.6'
POINT O	18.5'
POINT P	9.4'
POINT Q	8.6'
POINT R	9.1'
POINT S	16.1'
POINT T	16.1'
POINT U	23.2'
POINT V	22.3'
POINT W	21.3'
POINT X	16.3'
POINT Y	16.3'
TOTAL	482.1'
# OF POINTS	25
AVERAGE HEIGHT	19.3'

MAXIMUM BUILDING HEIGHT	
HIGHEST RIDGE ELEVATION	9237' - 1"
MOST RESTRICTIVE GRADE BELOW	(EXISTING) 9205' - 1"
MAXIMUM BUILDING HEIGHT	32' - 1"
MAX BUILDING HEIGHT ALLOWABLE	35' - 0"





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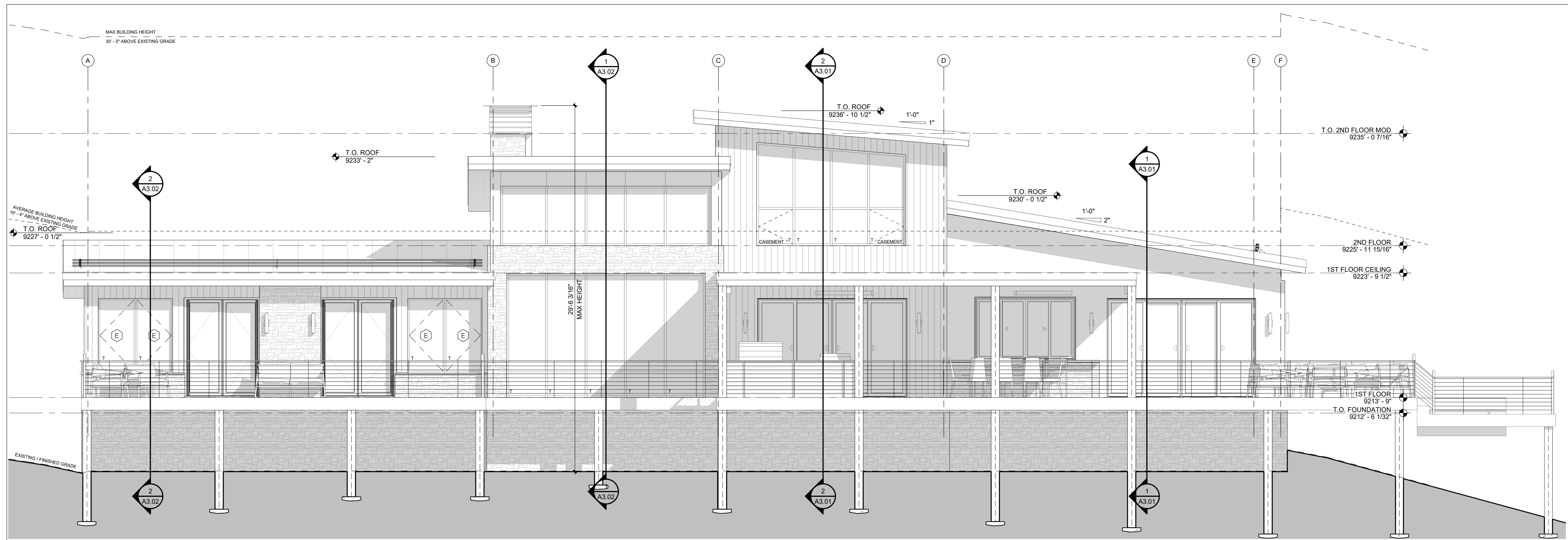
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 CALCULATE AND READ DIMENSIONS. DO NOT SCALE THESE DRAWINGS.

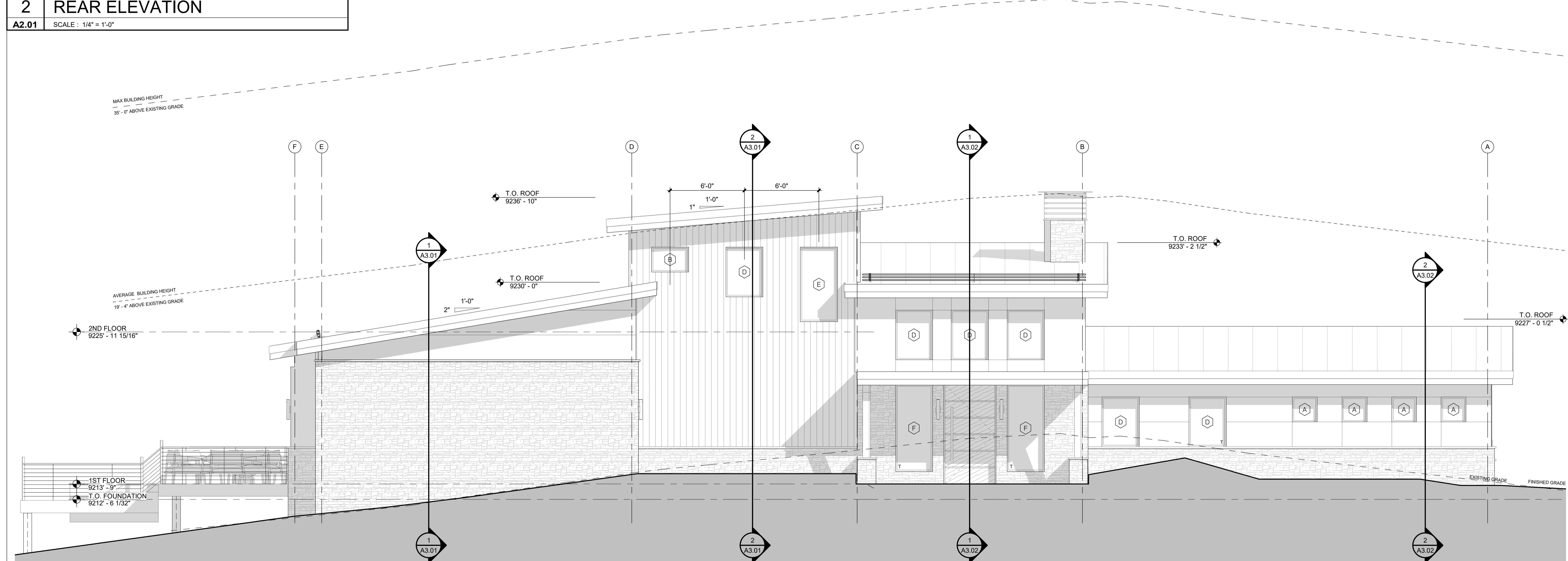
219 RUSSELL DRIVE
 219 RUSSELL DRIVE
 LOT 536
 MOUNTAIN VILLAGE, CO

JOB NO: 22.018
 DATE: 06.08.2023
 ISSUE RECORD: FOR CONSTRUCTION

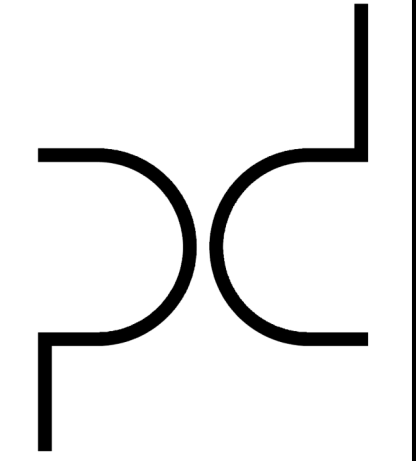
REVISIONS:	
1	2023.07.06



2 REAR ELEVATION
A2.01 SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION
A2.01 SCALE: 1/4" = 1'-0"



COLORADO LICENSED
MICHAEL HEITSCH
 ARCHITECT
 9/15/2023 10:53:43 AM

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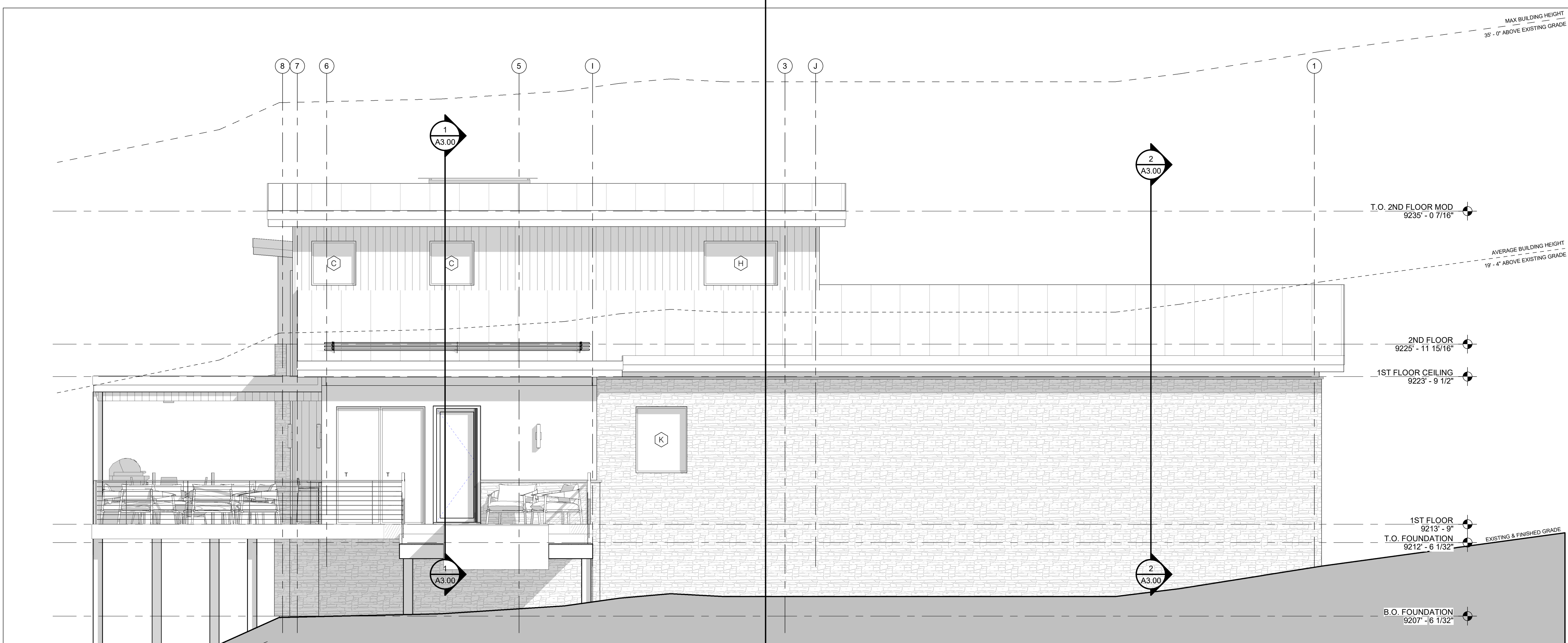
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219 RUSSELL DRIVE
219 RUSSELL DRIVE
LOT 536
MOUNTAIN VILLAGE, CO

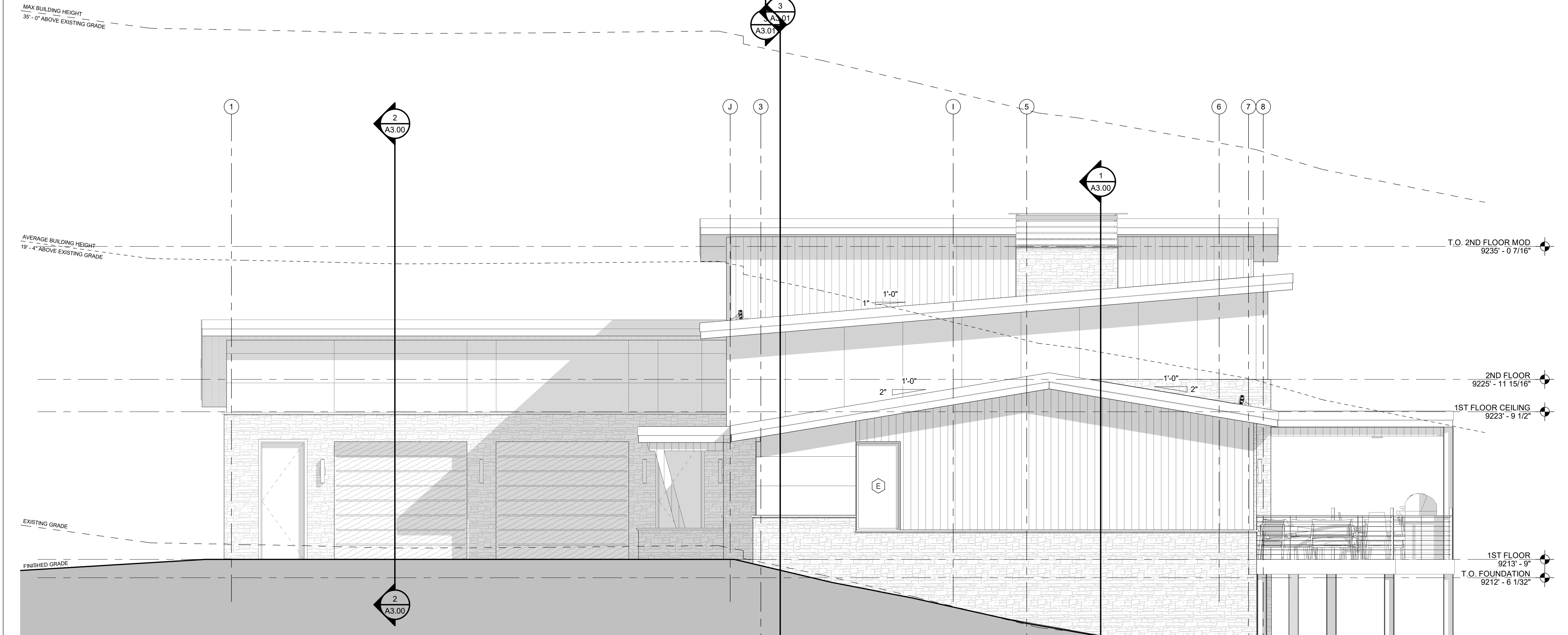
JOB NO:	22.013
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1	2023.07.06

EXTERIOR ELEVATIONS

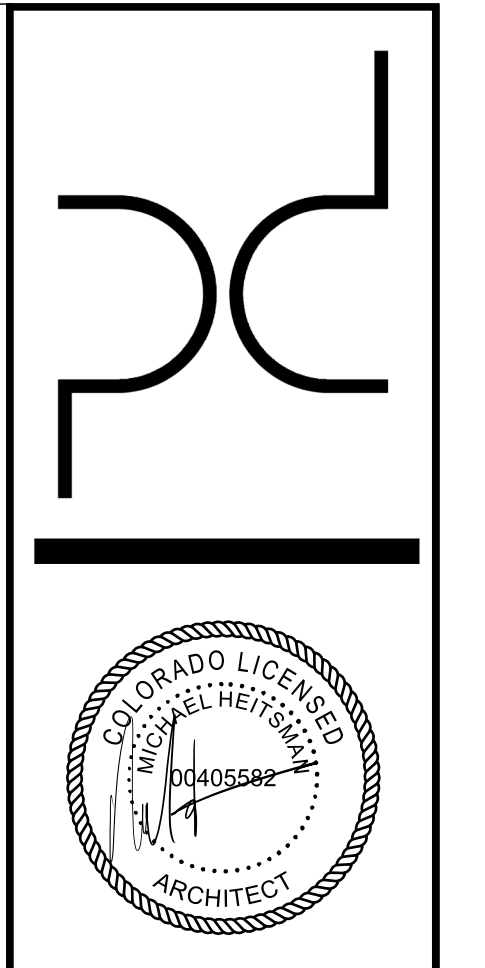
A2.01



2 SIDE ELEVATION 2
A2.02 SCALE: 1/4" = 1'-0"



1 SIDE ELEVATION 1
A2.02 SCALE: 1/4" = 1'-0"



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219 RUSSELL DRIVE
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 LOT 536
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 1 2023.07.06

EXTERIOR ELEVATIONS

A2.02

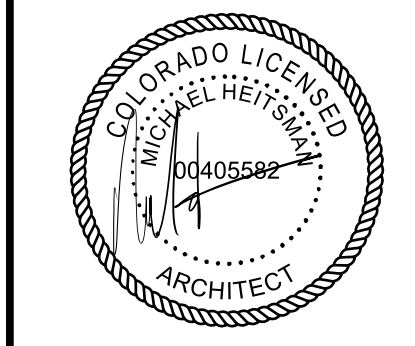
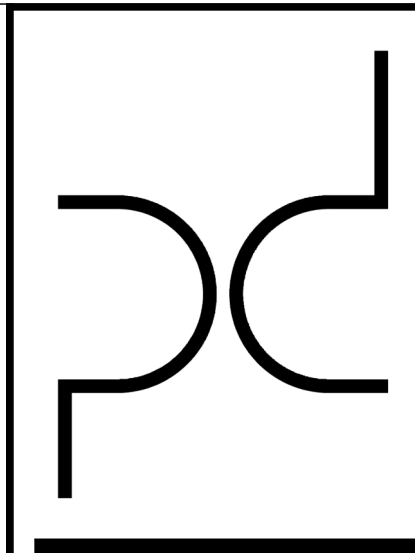


2 REAR ELEVATION - MATERIALS
A2.03 SCALE: 3/16" = 1'-0"



1 FRONT ELEVATION - MATERIALS
A2.03 SCALE: 3/16" = 1'-0"

FACADE MATERIAL SUMMARY			
LEGEND	MATERIAL	SQUARE FOOTAGE	PERCENTAGE OF TOTAL SF
	STONE	2,434	40.7%
	GLASS	1,027	17.2%
	METAL	1,304	21.8%
	WOOD	1,213	20.3%
TOTAL FACADE SQUARE FOOTAGE		5,978	



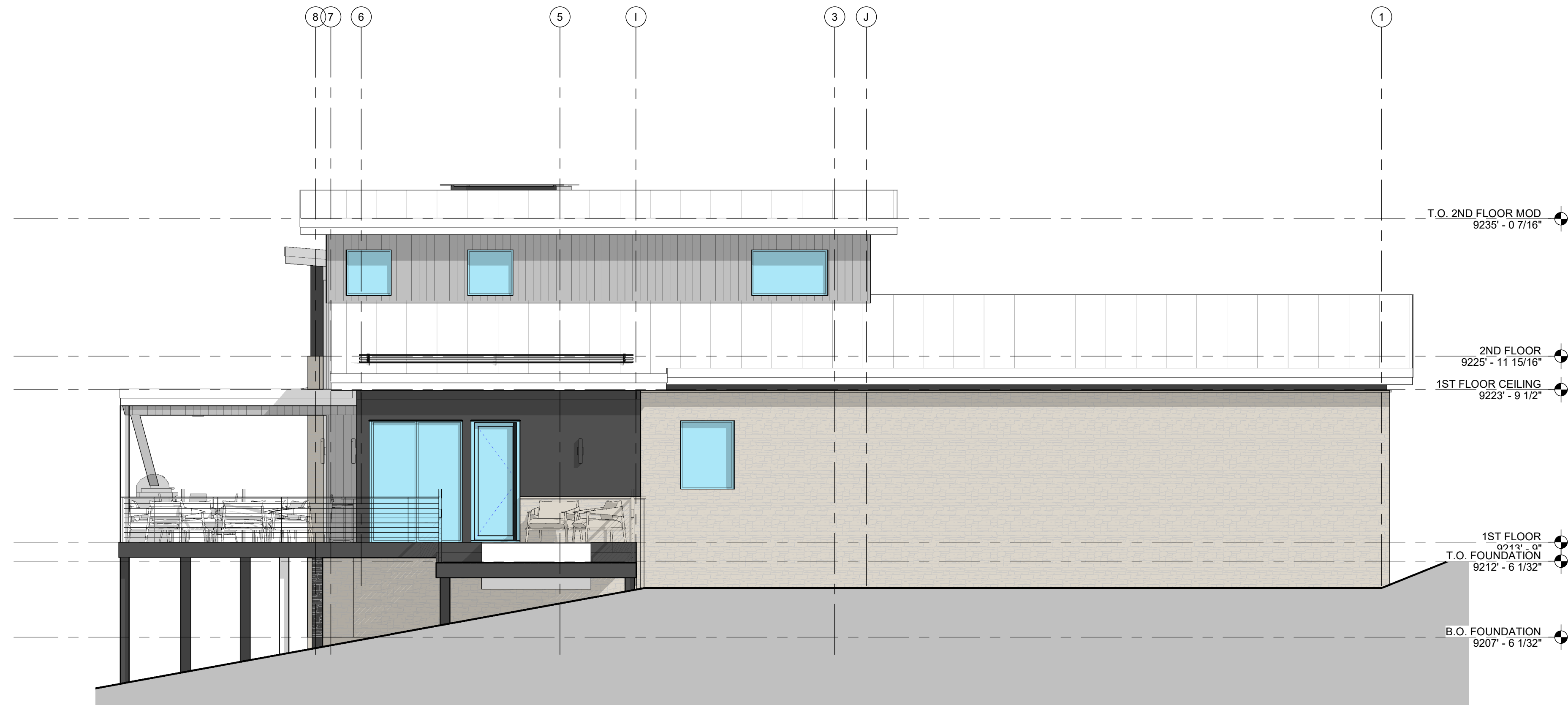
9/15/2023 10:54:27 AM
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219 RUSSELL DRIVE
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 LOT 536
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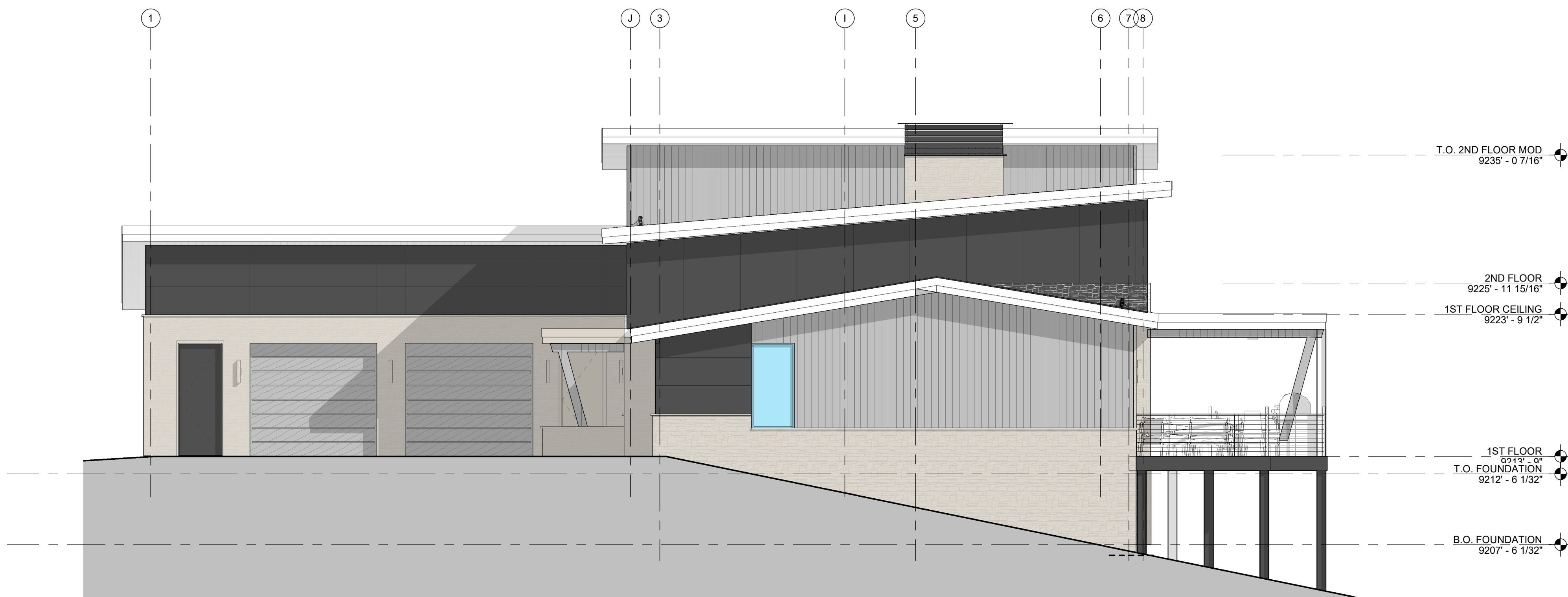
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EXTERIOR ELEVATIONS - MATERIAL QUANTITIES

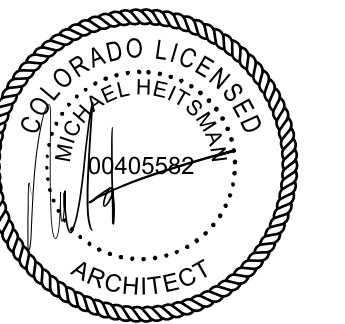
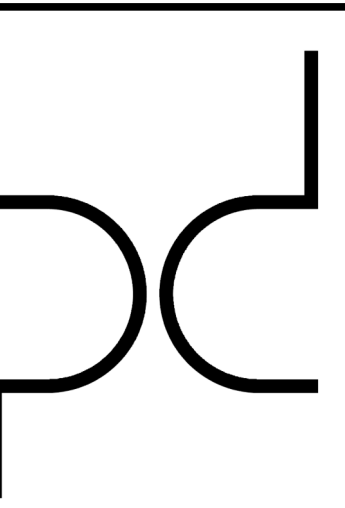
A2.03



2 SIDE ELEVATION 2 - MATERIALS
A2.04 SCALE : 3/16" = 1'-0"



1 SIDE ELEVATION 1 - MATERIALS
A2.04 SCALE : 3/16" = 1'-0"



8/15/2023 10:54:48 AM

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219 RUSSELL DRIVE
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 LOT 536
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JOB NO: 22.018

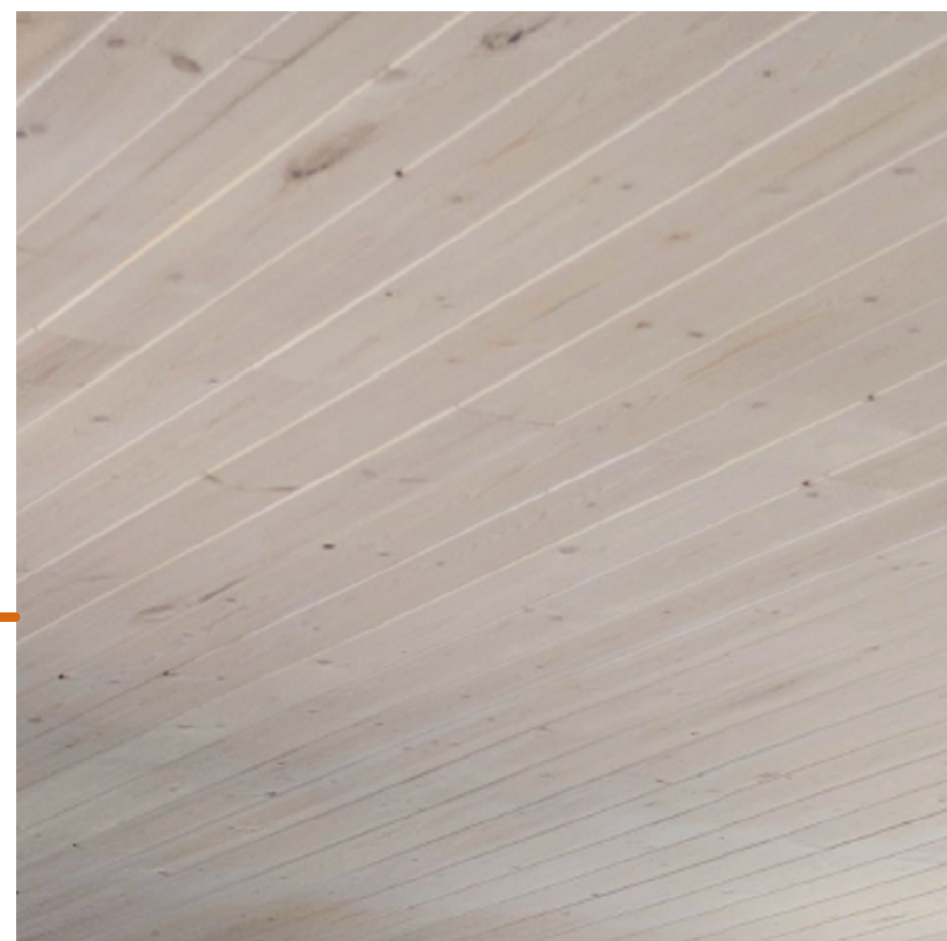
DATE: 06.08.2023

ISSUE RECORD: FOR CONSTRUCTION

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EXTERIOR ELEVATIONS - MATERIAL QUANTITIES

A2.04



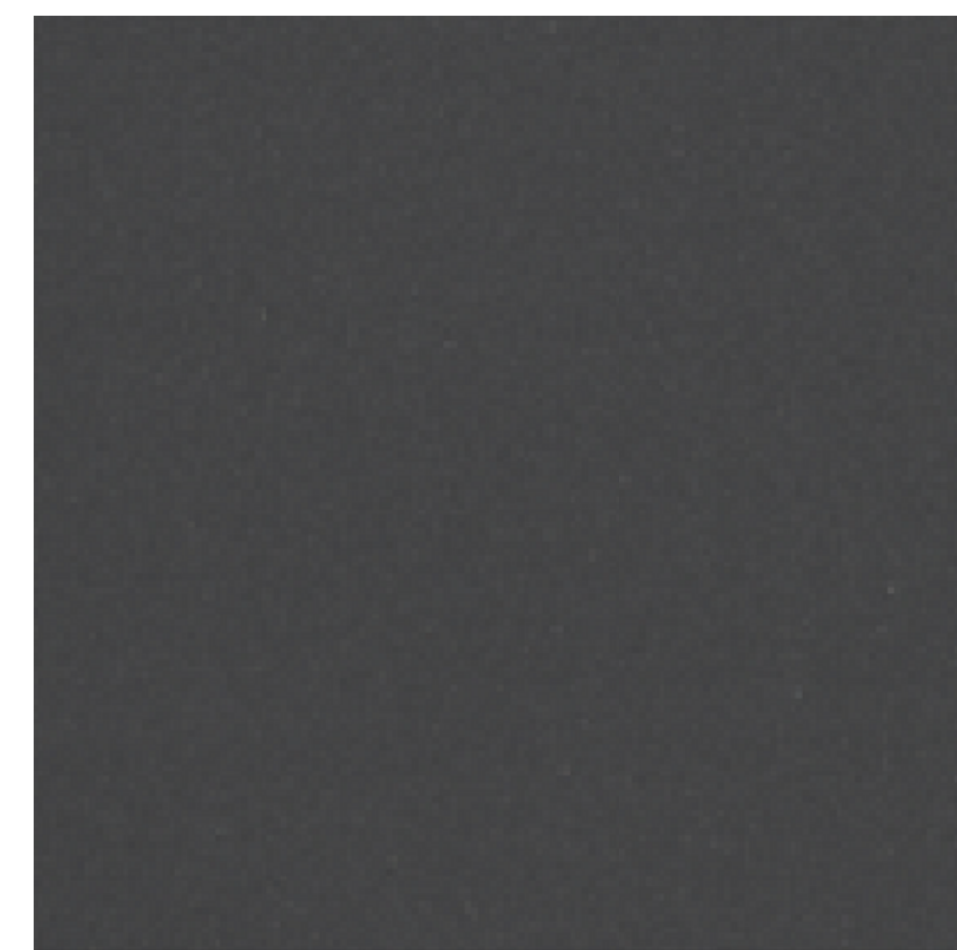
EXTERIOR CEILING



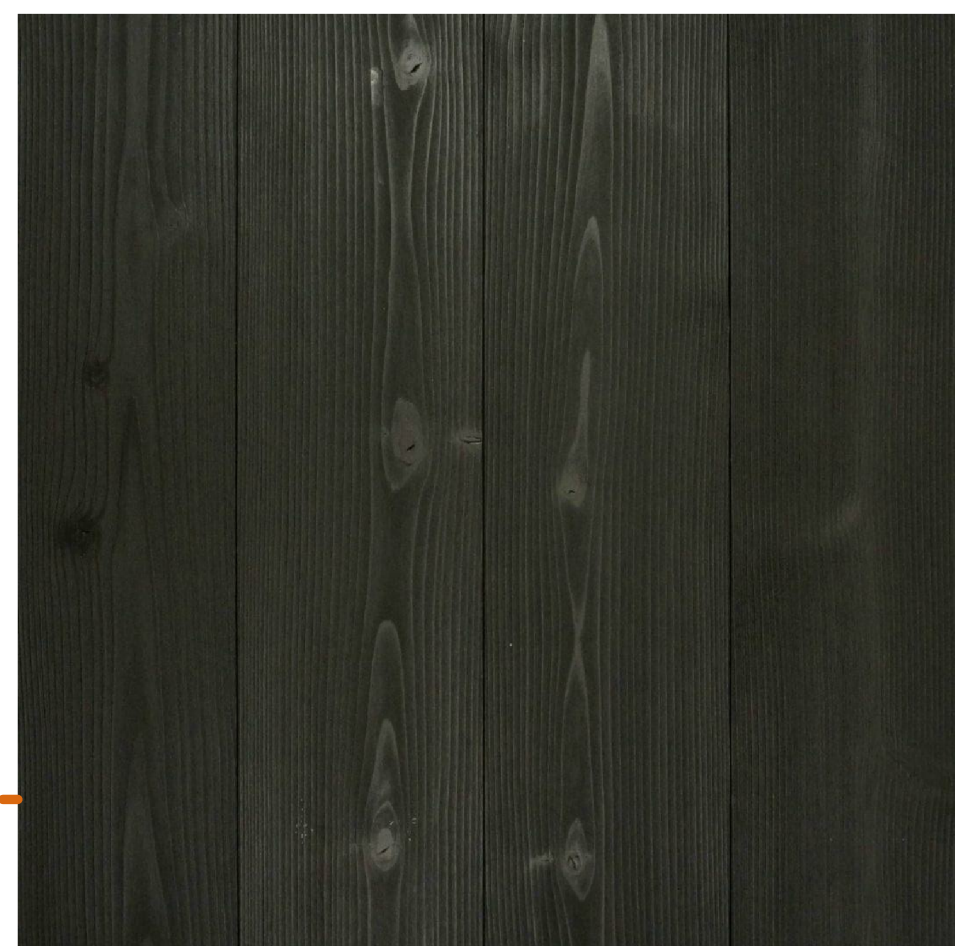
STANDING SEAM METAL ROOF: DARK GREY OR BLACK



STONE VENEER: COTTONWOOD LIMESTONE, SPLIT FACE, RANDOM COURSED ASHLAR



METAL PANELS: DARK CHARCOAL, MATTE



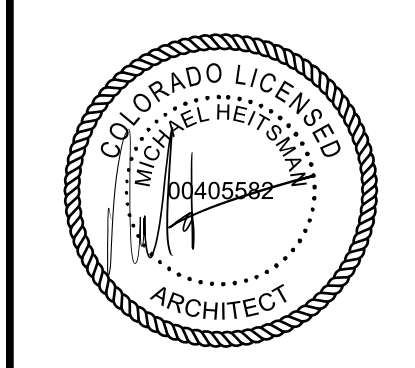
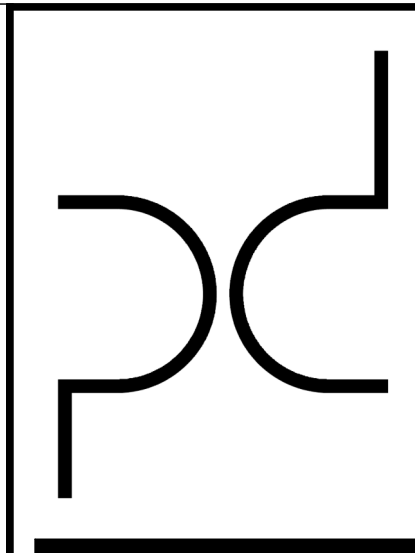
WOOD SIDING: BENJAMIN MOORE - BLACK ARBORCOAT SOLID, VERTICAL, 8" TONGUE AND GROOVE CEDAR



FASCIA: DARK GRAY OR BLACK METAL



EXTERIOR WINDOW CLADDING: EBONY



THIS DRAWING HAS BEEN PREPARED BY THE ARCHITECT OF RECORD OR UNDER HIS DIRECT SUPERVISION AND IN RETRIBUTION OF SERVICE AND IS INTENDED FOR USE ONLY ON THIS PROJECT. ALL DIMENSIONS, FINISHES, MATERIALS, AND CONDITIONS, INCLUDING THE OVERALL LAYOUT, FORM, ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS, MUST BE STRICTLY OBSERVED IN THE REPRODUCTION, USE, OR DISCLOSURE OF THIS INFORMATION. CONTRACTORS SHALL VERIFY THE INFORMATION CONTAINED HEREIN AGAINST THE WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING BUILDING STRUCTURE, SITE CONDITIONS, EXISTING CONSTRUCTION, OR ANY OTHER INFORMATION NOT SHOWN ON THIS DRAWING. THE ARCHITECT'S SERVICES ARE LIMITED TO THE DESIGN OF THE PROJECT DESCRIBED AND ANY OTHER DESIGN. THIS DRAWING IS A SINGLE COMPONENT OF AN INTEGRATED SET OF CONSTRUCTION DOCUMENTS. GENERAL AND SUPPLEMENTARY CONDITIONS OF THE CONTRACT, GENERAL NOTES, SPECIFICATIONS, AND OTHER DOCUMENTS, WHICH AFFECT THE WORK DESCRIBED, SHALL BE REVIEWED AND ACCEPTED BY THE CONTRACTOR PRIOR TO THE BEGINNING OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND REGULATORY BODIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND REGULATORY BODIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND REGULATORY BODIES.

COMPLY WITH ALL LAWS, CODES, ORDINANCES AND REGULATIONS WITH THE AUTHORITY HAVING JURISDICTION AND WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION AS PART OF THE WORK CONTRACTED WITHIN. DO NOT START WORK UNTIL ALL PERMITS AND REQUIRED APPROVALS ARE OBTAINED.

VERIFY ALL ACTUAL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. COMMENCEMENT OF WORK CONSTITUTES VERIFICATION AND ACCEPTANCE OF ALL EXISTING CONDITIONS. APPLICATION OF MATERIALS OR EQUIPMENT SHALL BE SUBJECT TO THE CONTRACTOR'S RESPONSIBILITY FOR SATISFACTORY INSTALLATION.

DIMENSIONS SHOWN ARE TO FACE OF STRUCTURAL MATERIAL, UNLESS OTHERWISE NOTED.

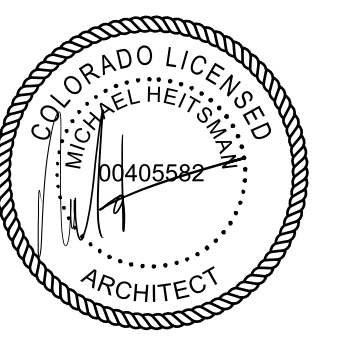
219 RUSSELL DRIVE
219 RUSSELL DRIVE
LOT 536
MOUNTAIN VILLAGE, CO

JOB NO: 22.018
DATE: 06.08.2023
ISSUE RECORD: FOR CONSTRUCTION

REVISIONS:

EXTERIOR MATERIAL BOARD

A2.05



3/2/2023 2:42:04 PM

THIS DRAWING HAS BEEN PREPARED BY THE ARCHITECT OR PERSONS UNDER HIS DIRECT SUPERVISION IN ACCORDANCE WITH THE PROFESSIONAL SEAL OF THE ARCHITECT. ALL DIMENSIONS AND NOTES ARE INTENDED FOR USE ONLY ON THIS PROJECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE ARCHITECT DOES NOT BEAR RESPONSIBILITY FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORKS OR FOR THE PERFORMANCE OF ANY OTHER PROFESSIONAL SERVICES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE ARCHITECT DOES NOT BEAR RESPONSIBILITY FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORKS OR FOR THE PERFORMANCE OF ANY OTHER PROFESSIONAL SERVICES.

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219 RUSSELL DRIVE
219 RUSSELL DRIVE
LOT 536
MOUNTAIN VILLAGE, CO

JOB NO: 22.018
DATE: 3.01.2023
ISSUE RECORD: MINOR REVISION

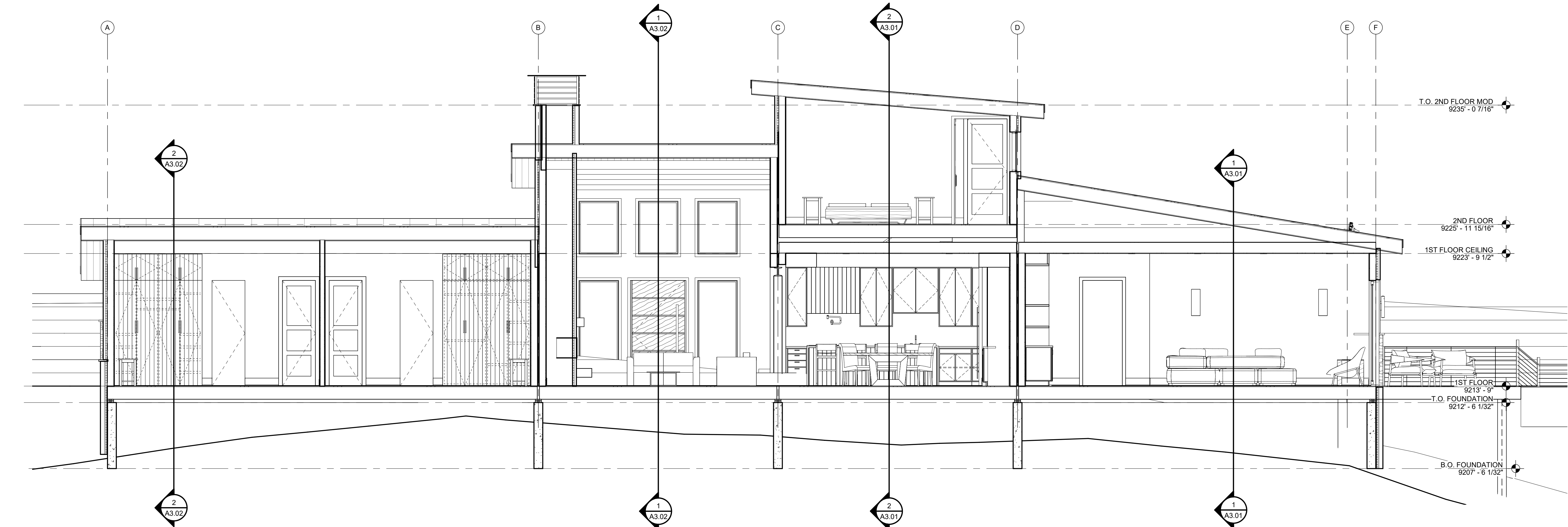
REVISIONS:

BUILDING SECTIONS

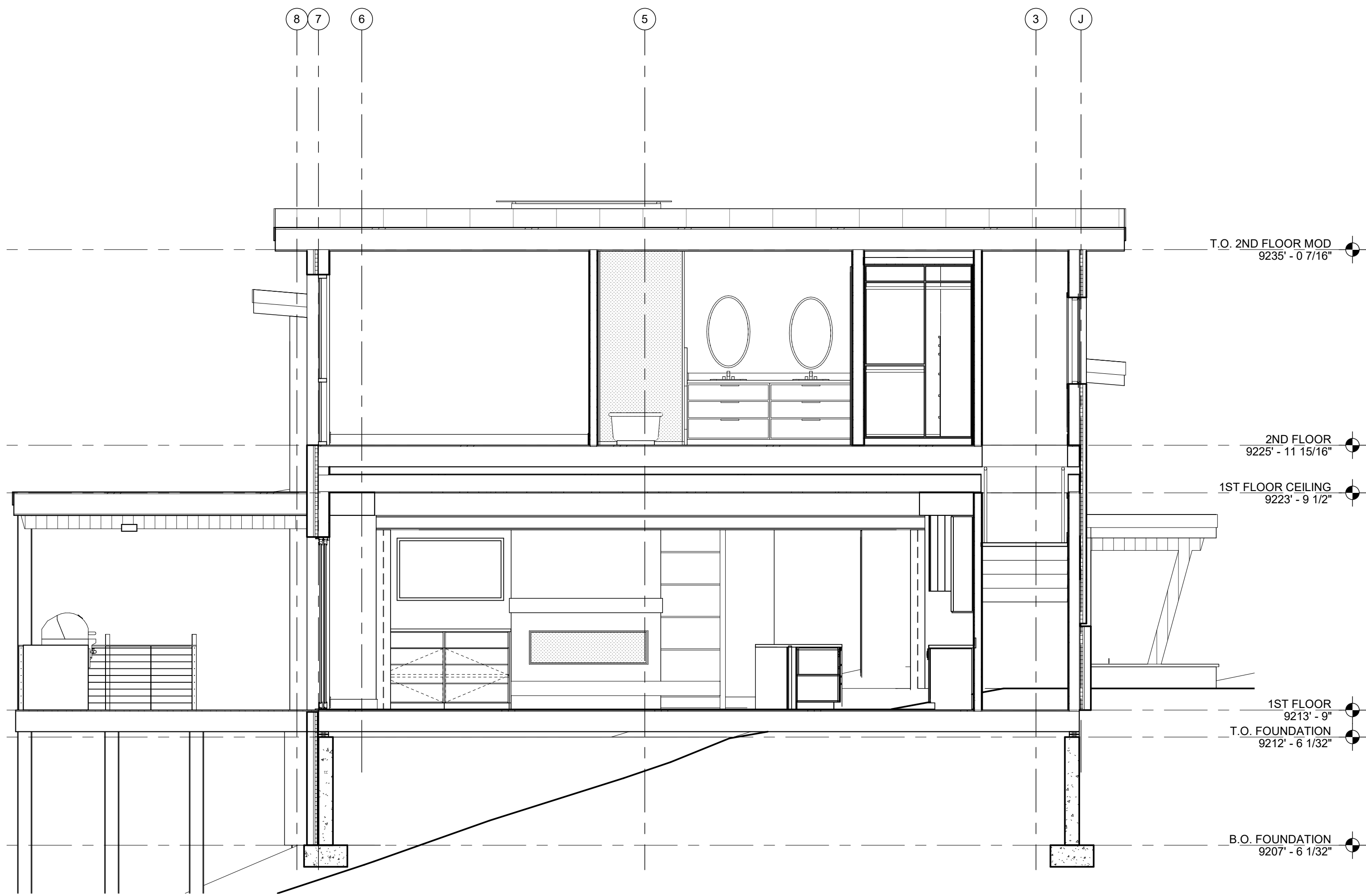
A3.00



2 BUILDING SECTION
A3.00 SCALE: 1/4" = 1'-0"

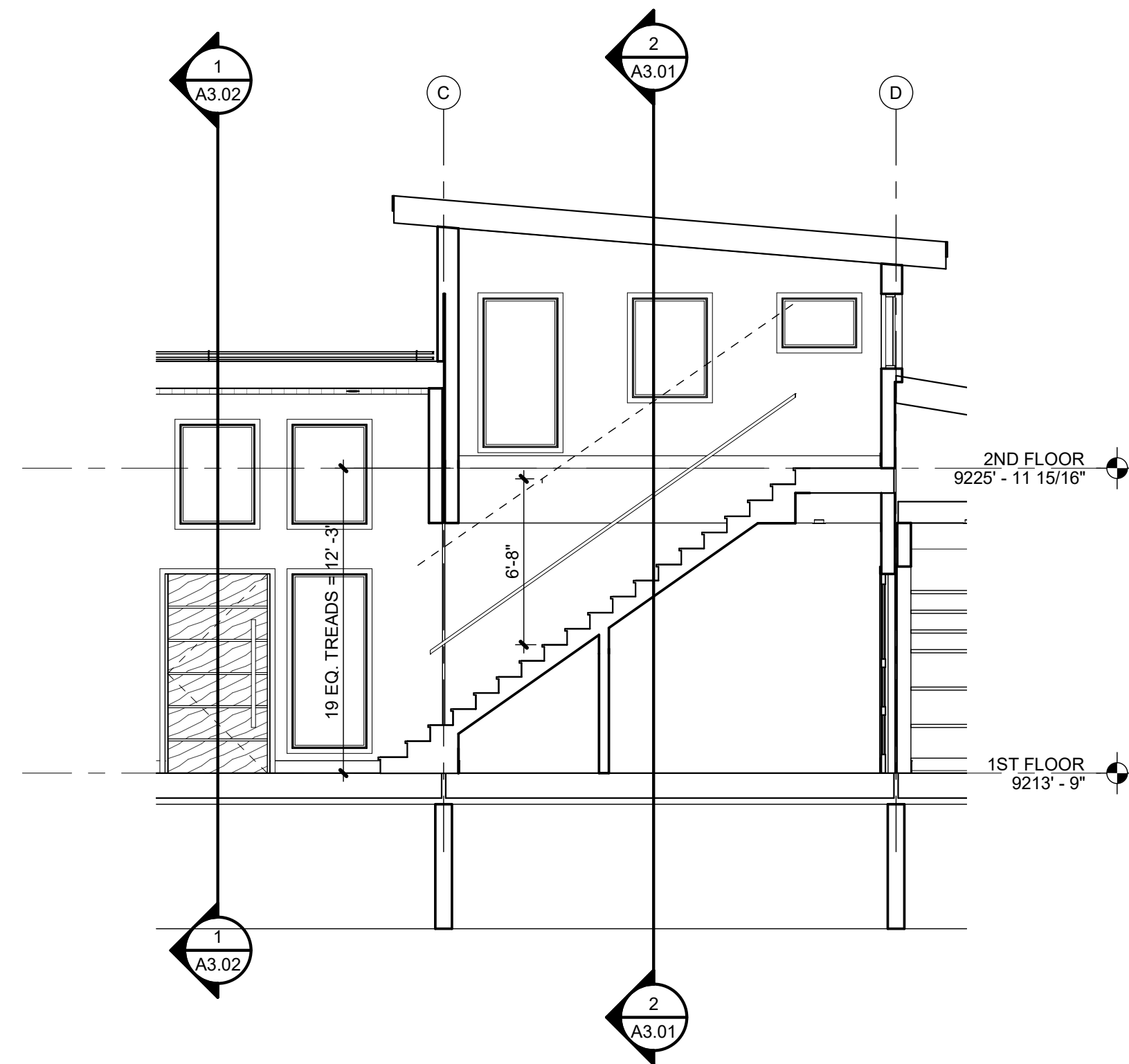


1 BUILDING SECTION
A3.00 SCALE: 1/4" = 1'-0"



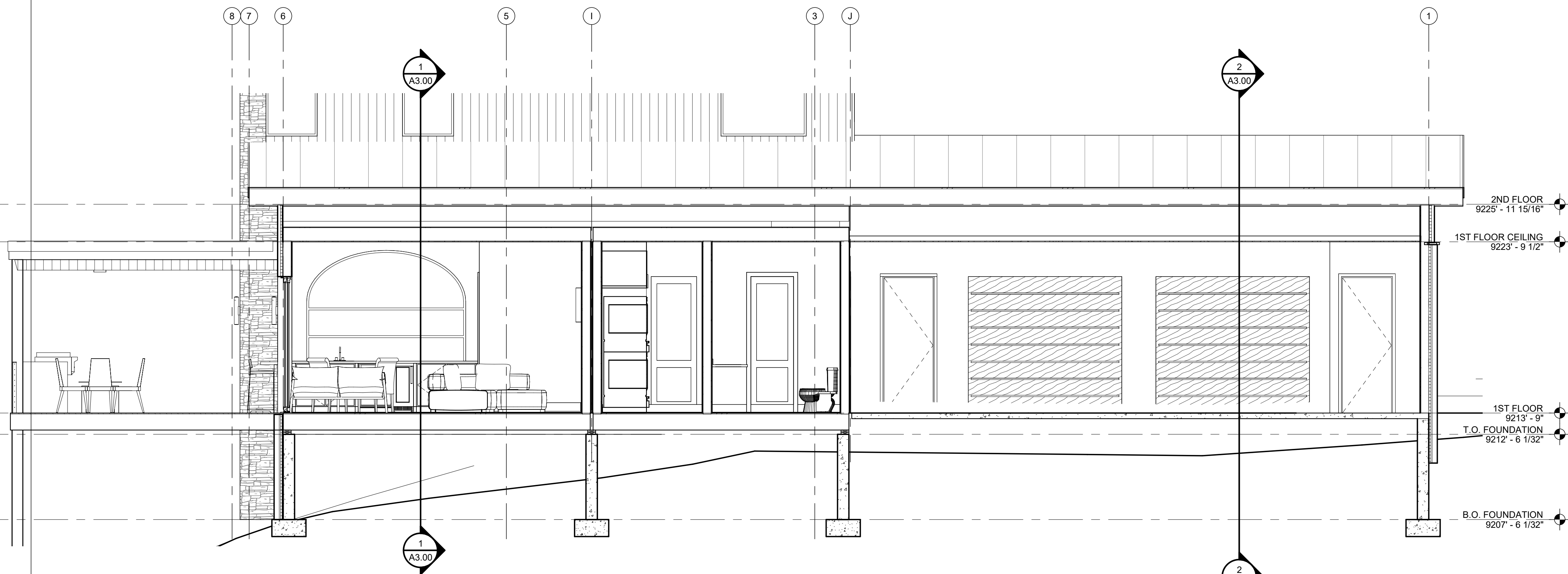
2 BUILDING SECTION

A3.01 SCALE: 1/4" = 1'-0"



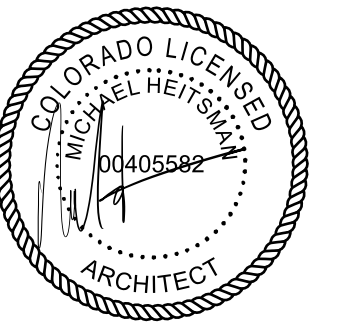
3 BUILDING SECTION

A3.01 SCALE: 3/16" = 1'-0"



1 BUILDING SECTION

A3.01 SCALE: 1/4" = 1'-0"



3/2/2023 2:42:07 PM

THIS DRAWING HAS BEEN PREPARED BY THE ARCHITECT OR PERSONS UNDER HIS DIRECT SUPERVISION AND IN RETRIBUTION OF SERVICE AND IS INTENDED FOR USE ONLY ON THIS PROJECT. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE AS SHOWN ON THE ORIGINAL LAYOUT, FORM, ARRANGEMENT AND COMPOSITION OF SPACINGS AND GENERAL DIMENSIONS. CONSULT THE ORIGINAL LAYOUT FOR ALL DIMENSIONS. THE ARCHITECT DOES NOT BEAR THE ARCHITECT'S SEAL. THE ARCHITECT'S SEAL AND SIGNATURE ARE REQUIRED BY THE ARCHITECT FOR THE REPRODUCTION, USE, OR DISCLOSURE OF THE INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

THE ARCHITECT ASSUMES RESPONSIBILITY FOR ANY EXISTING BUILDING STRUCTURE, SITE CONDITIONS, EXISTING CONSTRUCTION ELEMENTS OR ANY FOUNDATION DIMENSIONS OR CONSTRUCTION ELEMENTS NOT SHOWN ON THIS DRAWING. THE ARCHITECT'S SEAL AND SIGNATURE ARE REQUIRED BY THE ARCHITECT FOR THE REPRODUCTION, USE, OR DISCLOSURE OF THE INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

THIS DRAWING IS A SINGLE COMPONENT OF AN INTEGRATED SET OF CONSTRUCTION DOCUMENTS. GENERAL AND SUPPLEMENTARY CONDITIONS OF THE CONTRACT, GENERAL NOTES, SPECIFICATIONS, AND OTHER DOCUMENTS WHICH MAY AFFECT THE WORK DESCRIBED, SHALL BE REFERRED TO AND READ IN CONNECTION WITH THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.

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219 RUSSELL DRIVE
219 RUSSELL DRIVE
LOT 536
MOUNTAIN VILLAGE, CO

JOB NO: 22.018

DATE: 3.01.2023

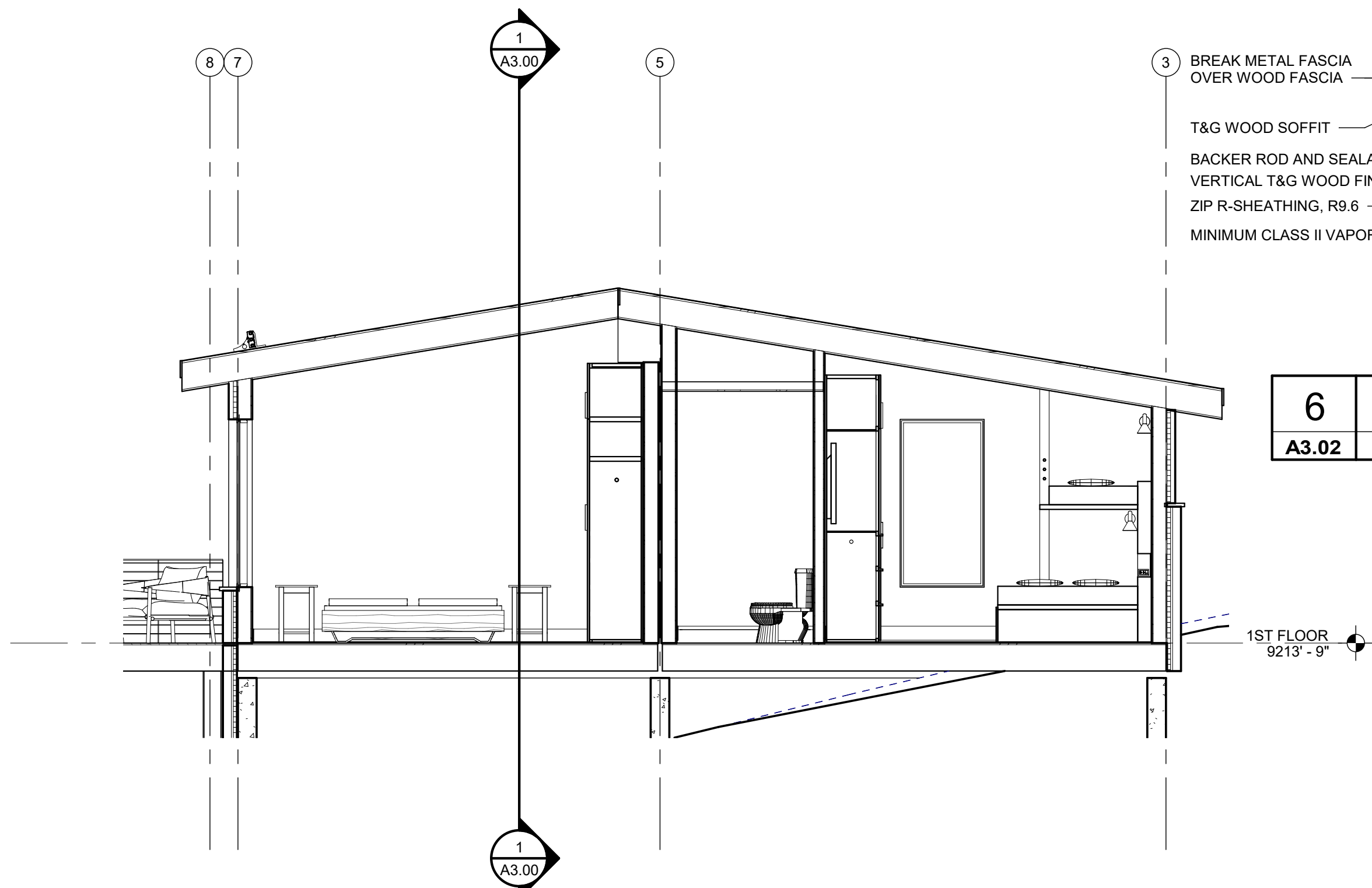
ISSUE RECORD: MINOR REVISION

REVISIONS:

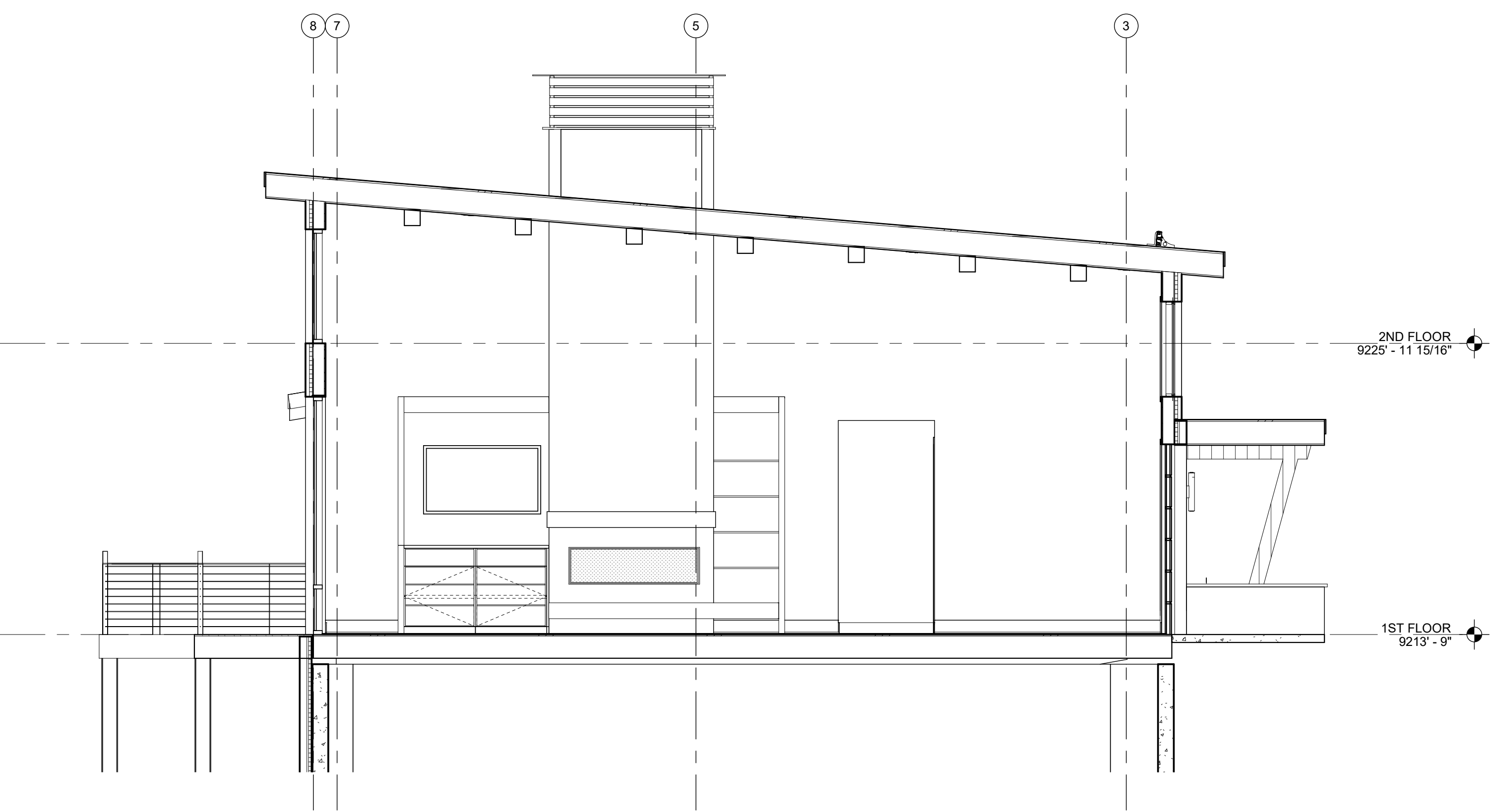
NO.	DATE	DESCRIPTION

BUILDING SECTIONS

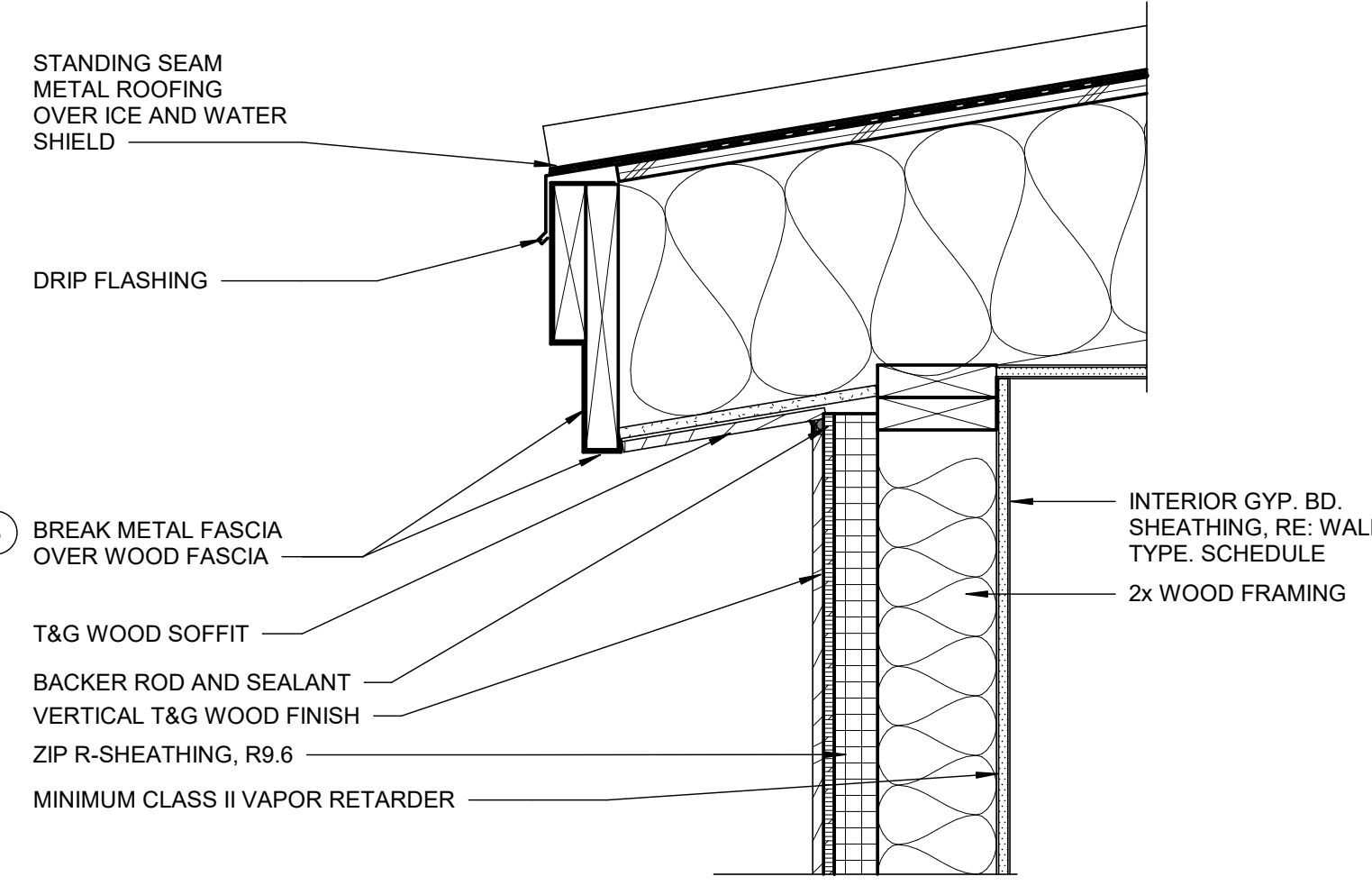
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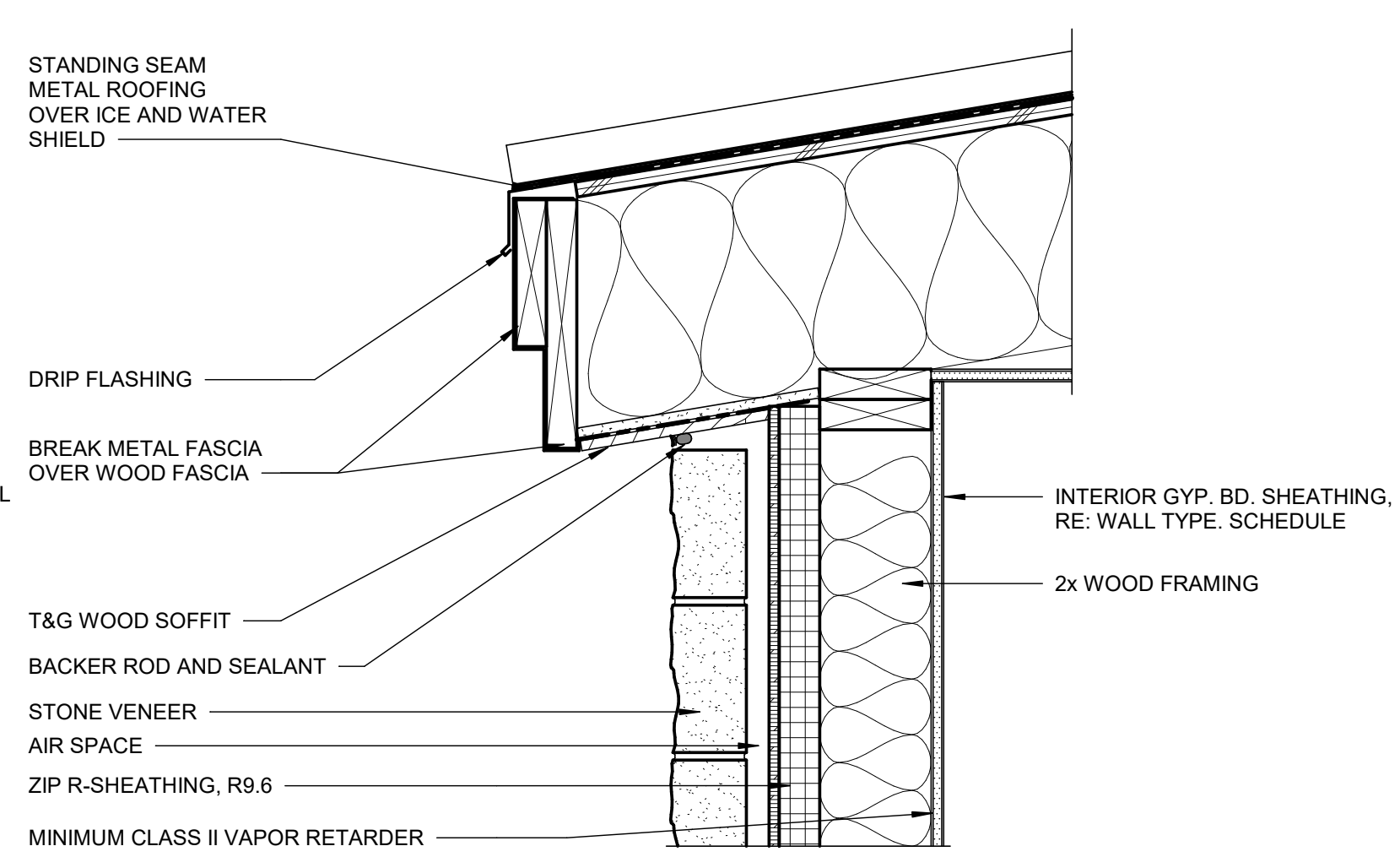
2 BUILDING SECTION
A3.02 SCALE: 1/4" = 1'-0"



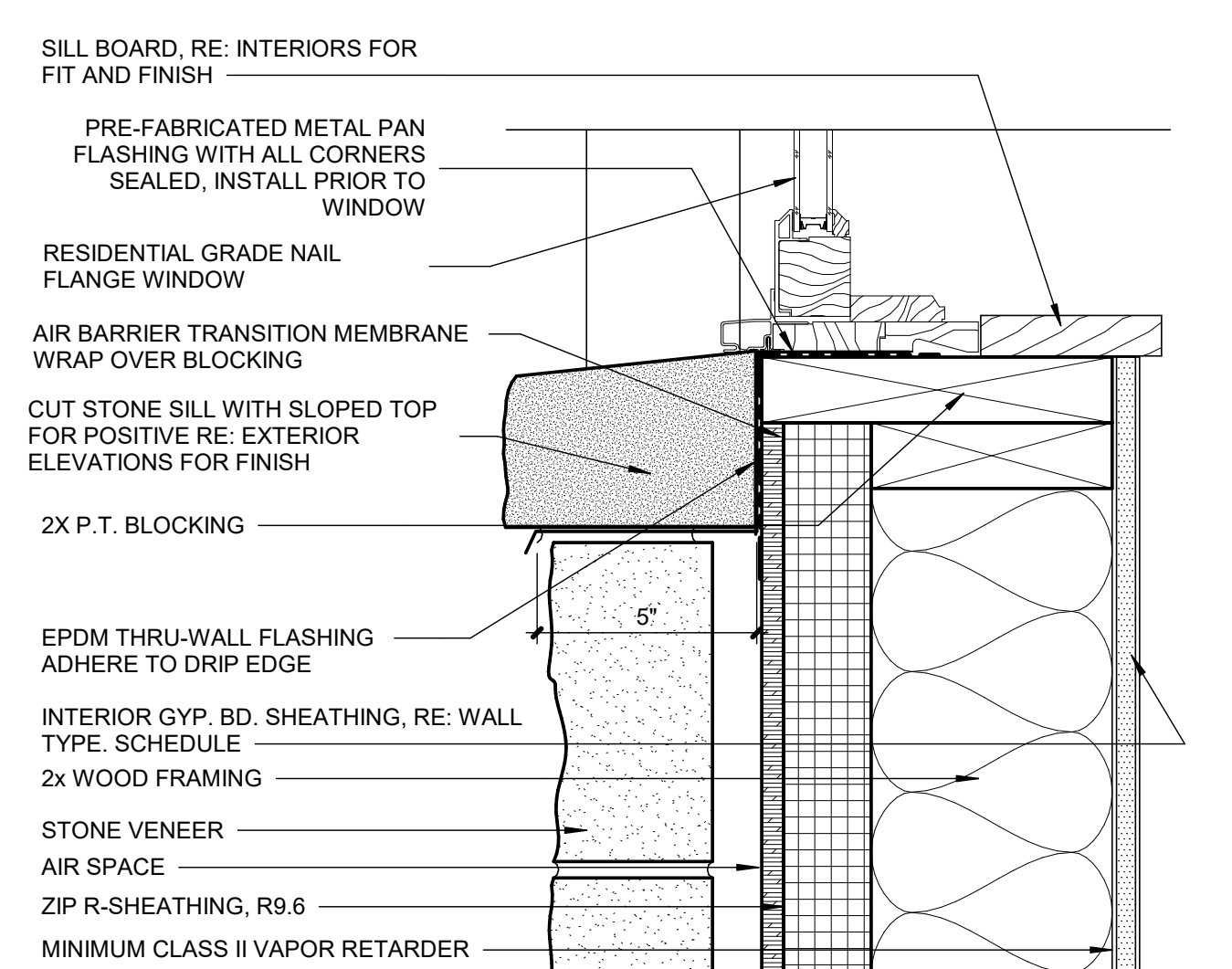
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A3.02 SCALE: 1/4" = 1'-0"



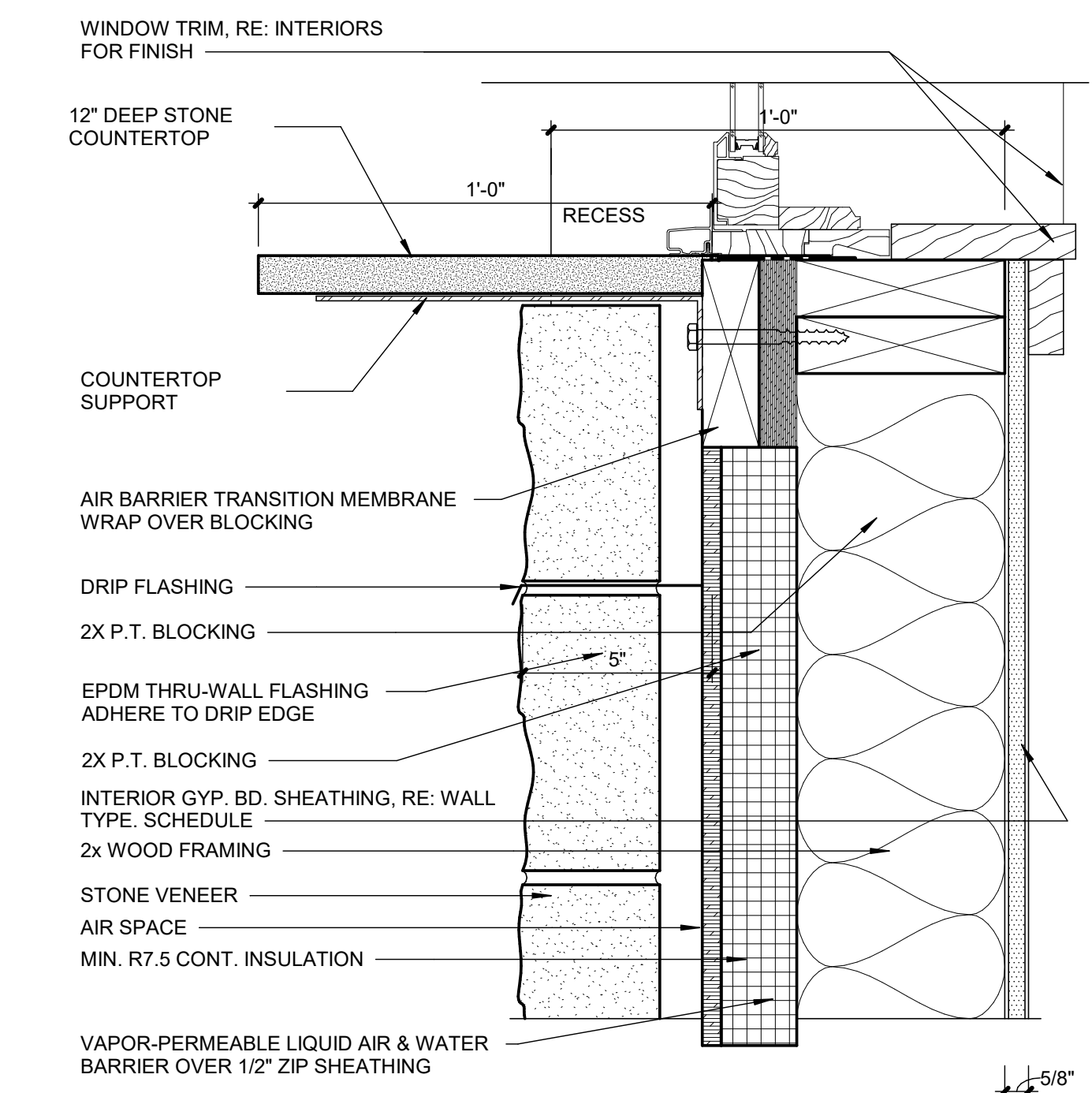
6 EAVE DETAIL AT WOOD
A3.02 SCALE: 1 1/2" = 1'-0"



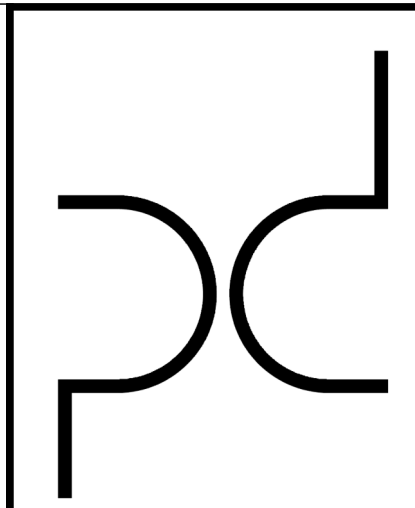
4 EAVE DETAIL
A3.02 SCALE: 1 1/2" = 1'-0"



3 WINDOW SILL
A3.02 SCALE: 3" = 1'-0"



5 WINDOW SILL AT BAR
A3.02 SCALE: 3" = 1'-0"



3/8/2023 2:42:08 PM

THIS DRAWING HAS BEEN PREPARED BY THE ARCHITECT OR HIS REGISTERED ARCHITECTS OR ARCHITECTS IN TRAINING. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK OR FOR THE PERFORMANCE OF ANY OTHER PROFESSIONAL SERVICE. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK OR FOR THE PERFORMANCE OF ANY OTHER PROFESSIONAL SERVICE.

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219 RUSSELL DRIVE
219 RUSSELL DRIVE
LOT 536
MOUNTAIN VILLAGE, CO

JOB NO: 22.018

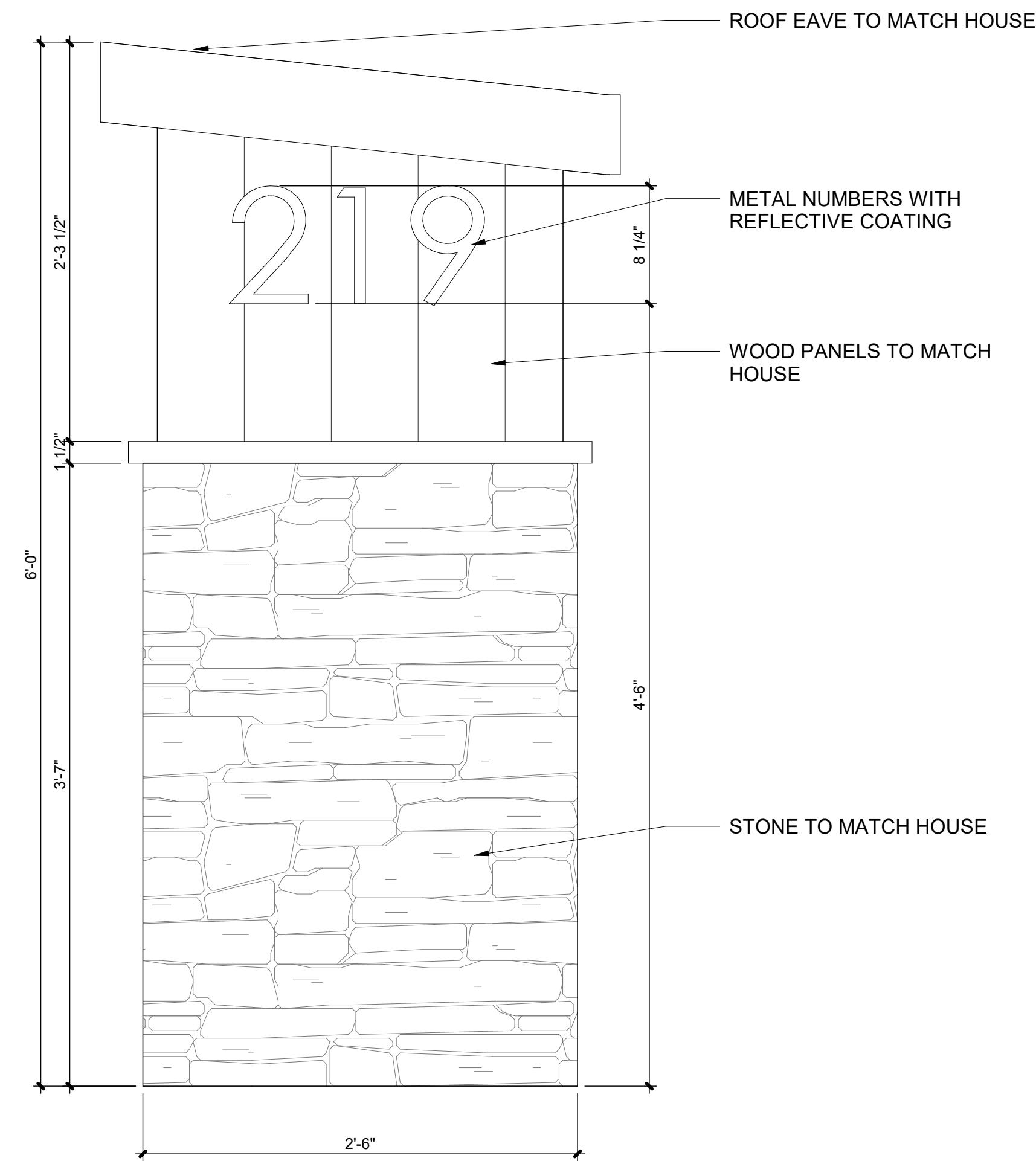
DATE: 3.01.2023

ISSUE RECORD: MINOR REVISION

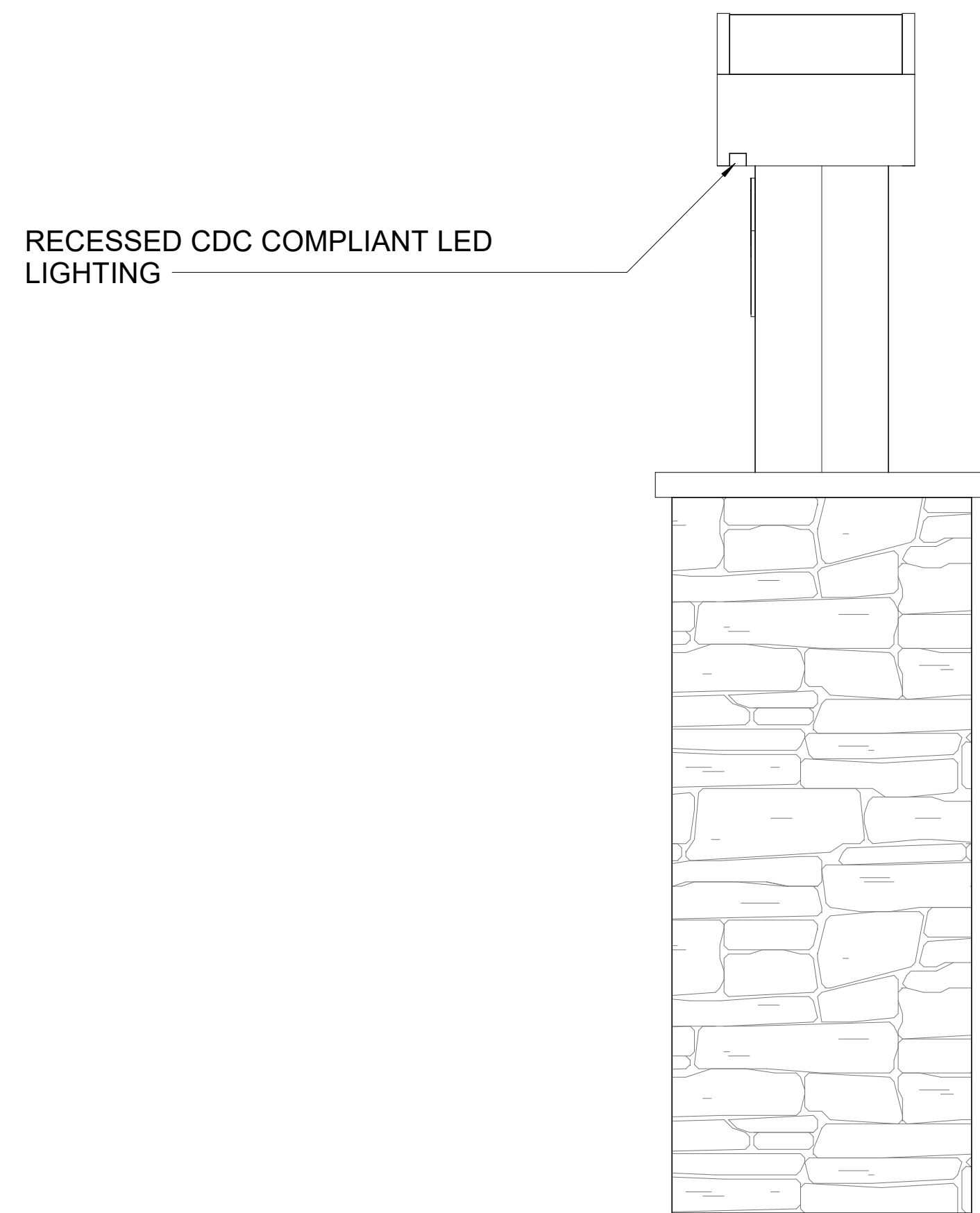
REVISIONS:

BUILDING SECTIONS

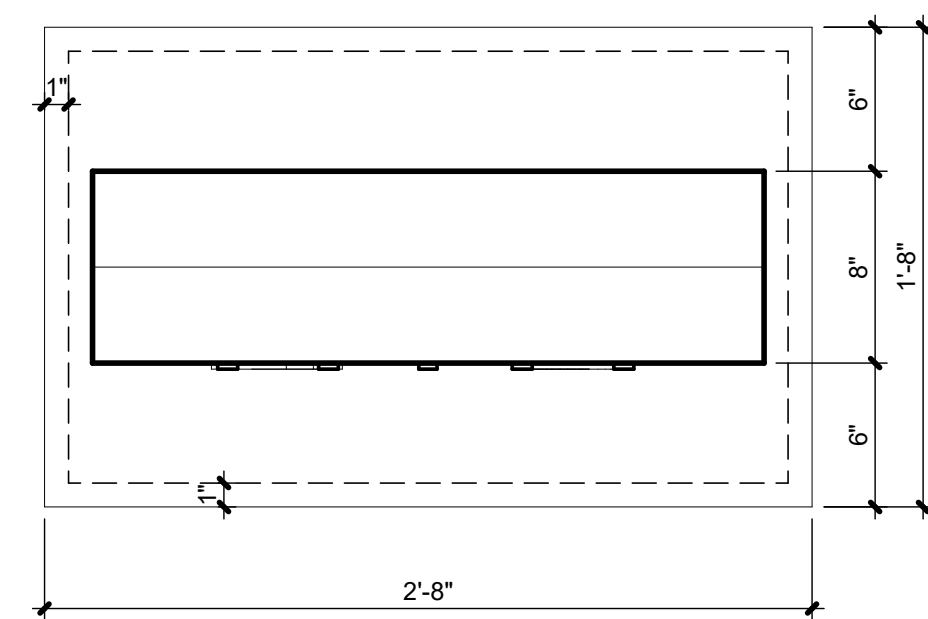
A3.02



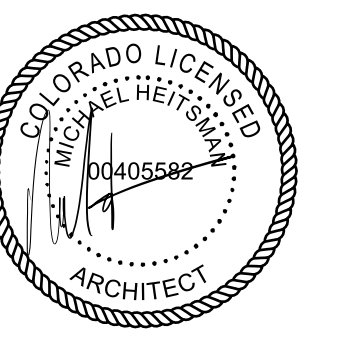
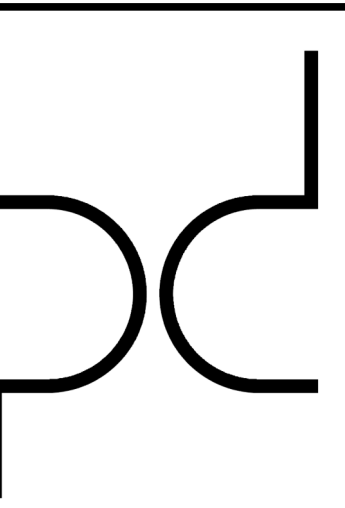
2 ADDRESS MONUMENT ELEVATION
A4.05 SCALE : 1 1/2" = 1'-0"



1 ADDRESS MONUMENT ELEVATION
A4.05 SCALE : 1 1/2" = 1'-0"



3 ADDRESS MONUMENT PLAN
A4.05 SCALE : 1 1/2" = 1'-0"



9/18/2023 9:03:57 AM

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DIMENSIONS SHOWN ARE TO FACE OF STRUCTURAL MATERIAL, UNLESS OTHERWISE NOTED. CALCULATE AND HEAD DIMENSIONS. DO NOT SCALE THESE DRAWINGS.

219 RUSSELL DRIVE
219 RUSSELL DRIVE
LOT 536
MOUNTAIN VILLAGE, CO

JOB NO: 22.013

DATE: 06.08.2023

ISSUE RECORD: FOR CONSTRUCTION

REVISIONS:

ADDRESS MONUMENT

A4.05



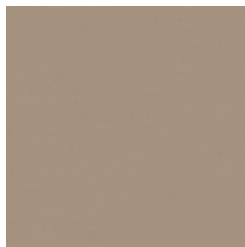
STANDING SEAM AND
FASCIA MATERIAL /
COLOR

UNA-CLAD™ METAL

COLOR SELECTION

Stone White	Bone White	Almond	Sandstone	Sierra Tan
Slate Gray	Aged Zinc*	Cityscape	Charcoal Gray	Matte Black
Mansard Brown	Burnished Slate*@	Medium Bronze	Dark Bronze	Extra Dark Bronze
Brandywine	Regal Red	Colonial Red	Terra Cotta	Hartford Green
Award Blue*@	Regal Blue	Sky Blue	Electric Blue*@	Teal
Sherwood Green	Dark Ivy	Patina Green	Helmlock Green	Tropical Patina
Vintage*@	Silver Metallic*@	Classic Copper*@	Champagne Metallic*@	

Colors shown are as close to actual painted steel as allowed by the printing process.
 For finish warranty information and actual metal samples, please contact your local Sales Rep.
 SRI numbers available by request.
 * = Denotes premium color.
 @ = Due to the unique nature of the product, color may vary slightly from batch to batch.
 Batches should not be mixed on projects.



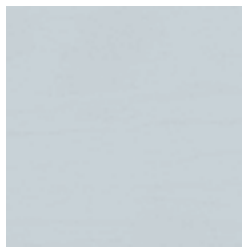
Alexandria Beige
Beige de Alejandría



Briarwood
Zarza



Sea Gull Gray
Gris de Gaviota



Silver Mist
Neblina de Plata



Celtic Blue
Azul Celta



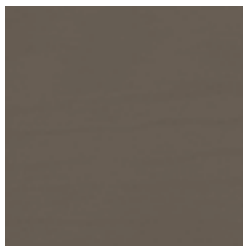
Cliffside Gray
Gris de Acantilado



Dry Sage
Salvia Seca



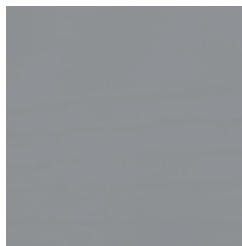
Mesa Verde Tan
Bronceado de Mesa Verde



Spanish Moss
Musgo Español



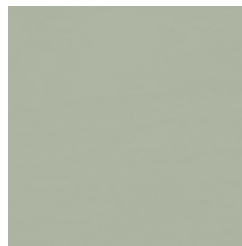
Platinum Gray
Gris Platino



Stonehedge
Stonehedge



Normandy
Normandía



Ferndale Green
Verde de Ferndale



Rosepine
Flor de Pino



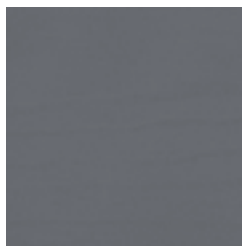
Fairview Taupe
Gris Pardo de Fairview



Cordovan Brown
Marrón Cordobés



Chelsea Gray
Gris de Chelsea



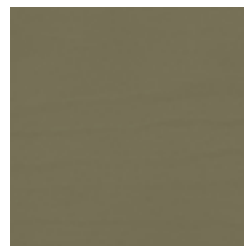
Ashland Slate
Pizarra de Ashland



Hamilton Blue
Azul de Hamilton



Kennebunkport Green
Verde de Kennebunkport



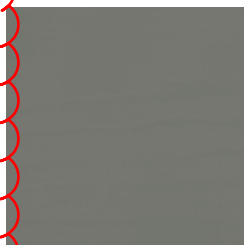
Mountain Moss
Musgo de Montaña



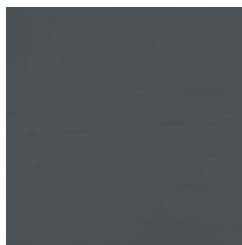
Oxford Brown
Marrón de Oxford



Black
Negro



Amherst Gray
Gris de Amherst



Westcott Navy
Marina de Westcott



Blue Note
Nota Azul



Salamander
Salamandra



Dakota Shadow
Sombra de Dakota



FRONT COVER, DECK: *Cordovan Brown, ARBORCOAT, Semi Solid*
 BACK COVER: *Black, ARBORCOAT, Solid*
 PORTADA, TERRAZA: *Marrón Cordobés, ARBORCOAT, semi-sólido*
 CONTRAPORTADA: *Negro, ARBORCOAT, sólido*



M2460234SB EG CCI 10/18



benjaminmoore.com

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Benjamin Moore®

CURATED COLORS

Our intentionally selected color palette evokes the elemental nature of modern design. Choose split interior and exterior color finishes or matching finishes designed to coordinate.

INTERIOR COLORS • LOW-GLOSS ALUMINUM

EXTERIOR COLORS • HIGH-DENSITY FIBERGLASS





Metal (Aluminum)
Inlay Design



Full-View Design

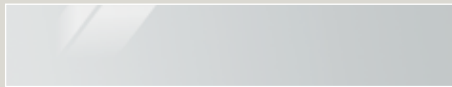


Canyon Ridge® Modern Metal (Aluminum) Inlay Design; Shown in Walnut Finish with Mahogany Cladding (Model CRM2MAI)

WINDOWS / PLANK CONFIGURATION OPTIONS



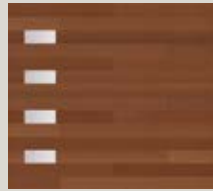
14" x 6"



35" x 6"

Both window sizes are available on single car and double car Plank door designs.

Note: Configurations are illustrated from outside garage. When ordering, window locations are identified from inside garage looking out. Please keep in mind to avoid windows ordered in incorrect location.



14" x 6"

Windows down right side



35" x 6"

Windows in all panel locations

MATERIAL DESIGN OPTIONS

PLANK CLADDING



Clear Cypress (C)



Mahogany (M)

METAL (ALUMINUM) INLAY CLADDING



Clear Cypress (C)



Mahogany (M)

FULL-VIEW OVERLAY



Clear Cypress (C)



Mahogany (M)

COLORS



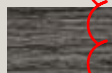
Walnut Finish



Dark Finish



Medium Finish



Slate Finish



Black Finish*



White Finish*



Primed
(No Finish)

*Black and White Finish available only on Mahogany cladding and overlays.

Doors can be ordered primed for those homeowners wishing to custom paint or stain their doors. Door stain color will vary slightly within a door due to finishing process. Due to the printing process, above colors may vary. To request a color sample, visit www.clopaydoor.com/requestcolorsamples.

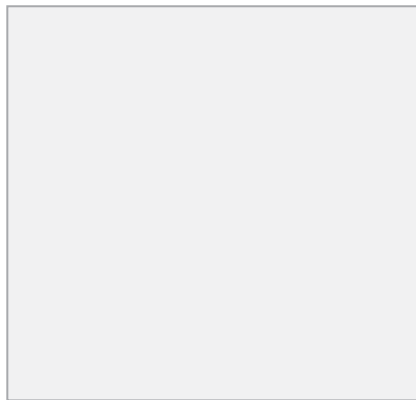


Color Blast® finish offers more than 1,500 Sherwin-Williams® color options to complement your home. Clopay's durable two-part paint system has been thoroughly tested and is backed by a five-year warranty.

specialty GLASS OPTIONS

Insulated windows are available in rectangular, square and arched designs. Insulated tempered glass is standard. Insulated frosted, seeded, obscure and rain glass is also available on select door models.

Attractive beveled edge, clip-in grilles are removable for easy cleaning.



Clear



Frosted



Seeded*



Obscure



Rain

**Seeded is not available on Canyon Ridge® Modern window options. Additional charges for optional glass apply.*

Project	
TYPE	
Catalog#	
NOTES	

THUNDER25

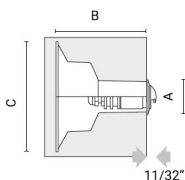
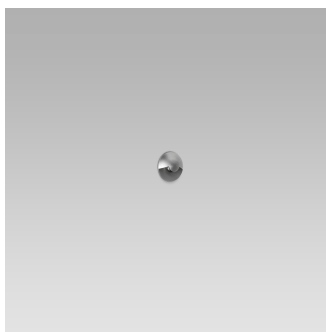
oneway

Arcluce Code
Code Ref.

[Q-TH0613US-30K](#)
0574010C-830-30US

[Installation](#) ↓
[instructions](#)

[IES photometry](#) ↓



TECHNICAL INFORMATION

Light source:	LED, 3000K, CRI>80
Light efficiency:	4lm/W
Power luminaire:	2W, 8lm
LED life time:	> 60000h - L80 - B20 (Ta 25°C)
High colour consistency:	< 3 SDCM
Wiring:	CC 700mA/3V REM-D
Optics:	one way
Color:	Stainless Steel - 30
Weight:	0.9 lb
Size:	A: Ø 1" 11/32 B: 3" 3/4 C: 4" 11/32

IP68
40"



Construction

- AISI 316L stainless steel body and trim.
- Silicone rubber gaskets.

Electrical & Optics

- High-efficacy LEDs with standard 3000K, 4000K (2700K or other CCTs available on request).
- PMMA lenses for LEDs.
- Clear PMMA screen.
- To be operated only with constant voltage 24Vdc Class 2 remote drivers (order separately).

Listings

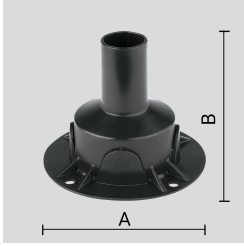
- UL certified to U.S. and Canadian standards, suitable for wet locations (cULus mark).
- Rated IP68 per EN60598.
- Luminaire rated for -40°C minimum ambient temperature.
- High quality LED sources characterized according to IES TM-30, with high color consistency <3SDCM and long useful life >60000 hours at L80.

Installation

- Recessed installation.
- Supplied with recessed installation box made of engineering plastic.
- Other recessed installation boxes made of engineering plastic or of AISI 316L stainless steel available.
- Supplied with power cord. 22AWG conductors.

See accessories in the next page

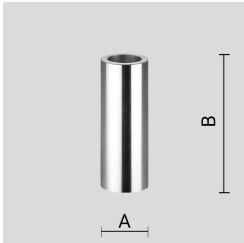
THERMOPLASTIC MATERIAL RECESSED INSTALLATION BOX.

Arcluce Code **1099223X**Code Ref. **O7290**

TECHNICAL INFORMATION

Weight 0.13 lb

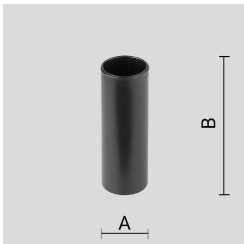
STAINLESS STEEL AISI 316L INSTALLATION BOX.

Arcluce Code **1099221X**Code Ref. **O7292**

TECHNICAL INFORMATION

Weight 0.46 lb

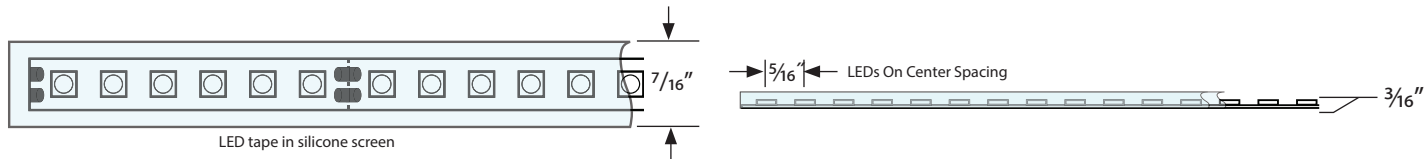
THERMOPLASTIC MATERIAL RECESSED INSTALLATION BOX.

Arcluce Code **1099222X**Code Ref. **O7298**

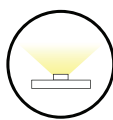
TECHNICAL INFORMATION

Weight 0.04 lb

STANDARD BRIGHTNESS | TivoTape™ Outdoor (factory installed power lead wires)



24V DC



3 W/ft | 210 LM/ft



Non-Field Cuttable
(See page 2 for details)



Max Continuous Run



Dimmable



VHB Tape



Silicone Jacket



90+ CRI



Warranty



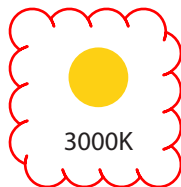
2200K



2400K



2700K



3000K



3500K



4000K



5000K

Ordering Information

PRODUCT CODE	INTENSITY	INSTALL	LED COLOR	VOLTAGE
TPLD	SB	O		24
TPLD Tivotape DEFINE 90+ CRI	SB Standard Brightness	O Outdoor	22 2200K 24 2400K 27 2700K 30 3000K 35 3500K 40 4000K 50 5000K	24 24V DC



TivoTape Run Lengths & End Preps

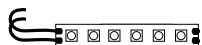
Please specify length of run with quantity of run(s) and end prep type at time of ordering.
 Note: Only (1) end prep needed for each run (see page 2)
 Outdoor TivoTape is non-field cuttable - Factory Prep Only

Electrical & Photometric Data (Based on 90+ CRI / 3000K)							
Input Voltage	24V DC						
Dimming Option	MLV/ELV/0-10V <i>Consult factory for DMX dimming</i>						
Power Supply	Class 2						
Wire Size (End Prep)	18 AWG, 2 wire						
Power Consumption	3 W/ft.						
Color Temperature (CCT)	2200K	2400K	2700K	3000K	3500K	4000K	5000K
Lumen Output	164	168	205	210	214	216	220
Efficacy	65	69	72	73	75	78	79
Color Rendering Index (CRI)	93	92	92	92	90	90	90
R9	>50						

Physical	
LED Package	3528
Cut Increments	2" (non-field cuttable - Factory prep only)
LEDs/ft	36
Operating Temperature	-40°F (-40°C) ~ 140°F (60°C)
Environment	IP67 Wet Location, Conformally Coated
Maximum Run Length	32'
Copper Trace	3 Ounce
Adhesive	3M VHB Tape
Dimension	7/16" (11.11mm) Jacket

Performance	
Certification	UL Listed
Lumen Maintenance (L70) Hours	60,000
Binning Tolerance	2 Step MacAdam Elipse
Warranty	3 Years

Power Leads and Jumpers (Installed by Tivoli's certified solderers)



TPL-O-LEAD-C

LEAD END

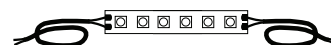
24" standard 2 conductor 18AWG lead wire factory attached to one end of tape.



TPL-O-LEAD-D

LEAD/LEAD

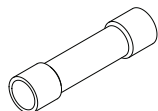
24" standard 2 conductor 18AWG lead wire factory attached to both ends of tape.



TPL-O-XEP

EXTRA LEAD WIRE

Additional factory attached 18AWG lead wire to extend lengths of LEAD-C and LEAD-D up to 20 ft max. Sold per foot (not shipped as spooled wire).



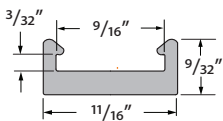
TPL-O-CONN

18-22AWG BUTT CONNECTORS

Used to interconnect factory attached lead wires. Sold individually. (2 ea required per connection).

Mounting Channel

M CHAN

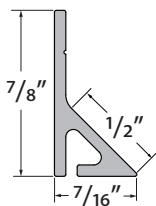


MCHAN-8-LP

Low profile mounting channel, clear polycarbonate, length 8'.

NOTE: No Lens option

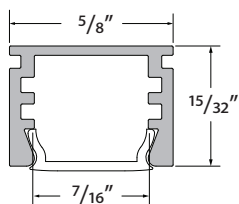
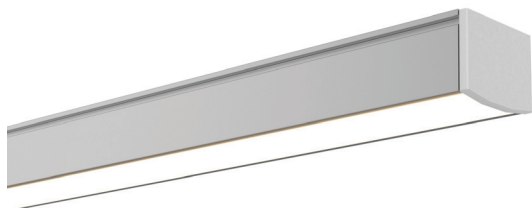
M CHAN 45



TPL-I-45-MCH-8-S

45° Mounting channel, NO LENS OPTION white PVC, length 8'.

MOSHER



MOSR-CHAN-SLV-6.5
Anodized Aluminum Extrusion,
available in 6.5' lengths



MOSR-LNS-OP-6.5
Lens, opal, length 6.5'



MOSR-EC-01
Solid End Cap

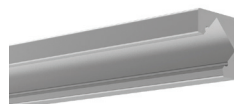
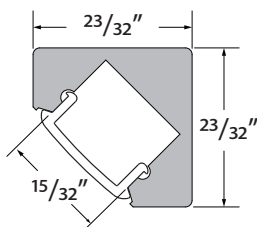


MOSR-EC-02
Powerfeed End Cap



MTBK-03
Mounting Clip

DYER



DYER-CHAN-SLV-6.5
Anodized Aluminum Extrusion,
available in 6.5' lengths



DYER-LNS-OP-6.5
Lens, opal, length 6.5'



DYER-EC-01
Solid End Cap

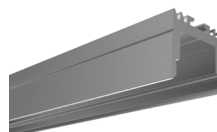
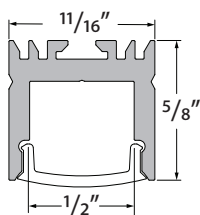
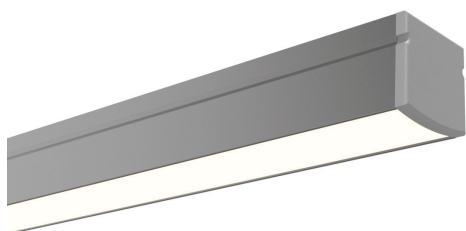


DYER-EC-02
Powerfeed End Cap



DYER-MTBK
Mounting Clip

VALENCIA



VALN-CHAN-SLV-6.5
Anodized Aluminum Extrusion,
available in 6.5' lengths



VALN-LNS-OP-6.5
Lens, opal, length 6.5'



VALN-EC-01
Solid End Cap

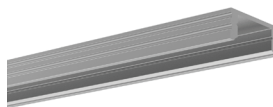
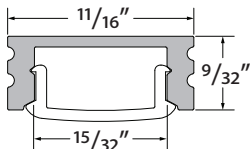
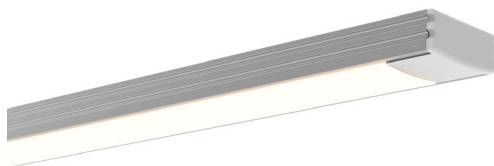


VALN-EC-02
Powerfeed End Cap



VALN-MTBK
Mounting Clip

MINI



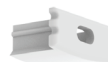
MINI-CHAN-SLV-6.5
Anodized Aluminum Extrusion,
available in 6.5' lengths



MINI-LNS-OP-6.5
Lens, opal, length 6.5'



MINI-EC-01
Solid End Cap



MINI-EC-02
Powerfeed End Cap

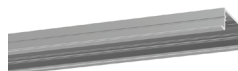
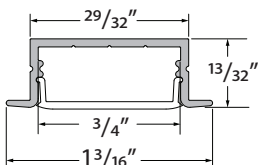


MINI-MTBK
Mounting Clip



MINI-ADJ-MTBK
Adjustable Mounting
Clip

WARNER



WRNR-CHAN-SLV-6.5
Anodized Aluminum Extrusion,
available in 6.5' lengths



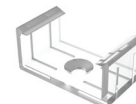
WRNR-LNS-OP-6.5
Lens, opal, length 6.5'



WRNR-EC-01
Solid End Cap

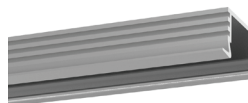
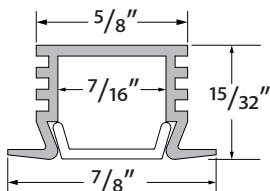
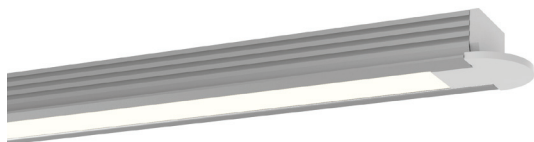


WRNR-EC-02
Power feed End Cap



WRNR-MTBK
Mounting Clip

EDINGER



EDIN-CHAN-SLV-6.5
Anodized Aluminum Extrusion,
available in 6.5' lengths



EDIN-LNS-OP-6.5
Lens, opal, length 6.5'



EDIN-EC-01
Solid End Cap

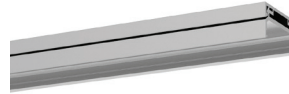
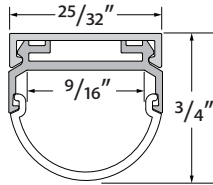
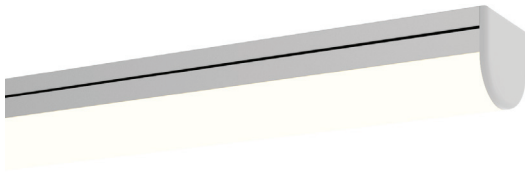


EDIN-EC-02
Powerfeed End Cap



MTBK-03
Mounting Clip

HORIZON



HRIZ-CHAN-SLV-6.5
Anodized Aluminum Extrusion,
available in 6.5' lengths



HRIZ-LNS-OP-6.5
Lens, opal, length 6.5'

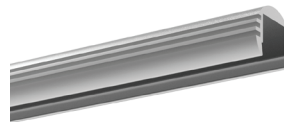
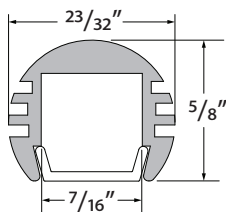


HRIZ-EC-01
Solid End Cap



HRIZ-EC-02
Powerfeed End Cap

NOVA



NOVA-CHAN-SLV-6.5
Anodized Aluminum Extrusion,
available in 6.5' lengths



NOVA-LNS-OP-6.5
Lens, opal, length 6.5'



NOVA-EC-01
Solid End Cap

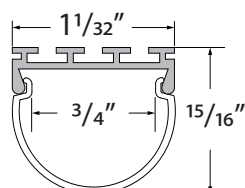


NOVA-EC-02
Powerfeed End Cap



MTBK-03
Mounting Clip

DOME



DOME-CHAN-SLV-6.5
Anodized Aluminum Extrusion,
available in 6.5' lengths



DOME-LNS-OP-6.5
Lens, opal, length 6.5'

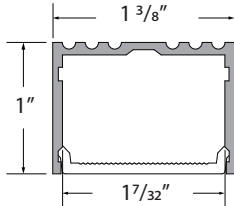
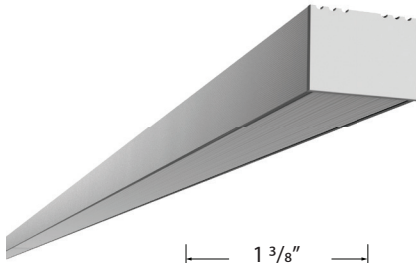


DOME-EC-01
Solid End Cap



DOME-EC-02
Powerfeed End Cap

ALTON



ALTN-CHAN-SLV-6.5
Anodized Aluminum Extrusion,
Available in 6.5' lengths



ALTN-LNS-OPL-6.5
Lens, Opal, 6.5' length



ALTN-LNS-CLR-6.5
Lens, Clear, 6.5' length



ALTN-LNS-DIF-6.5
Lens, Diffuser, 6.5' length

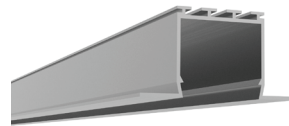
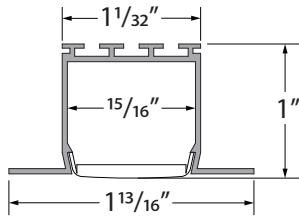
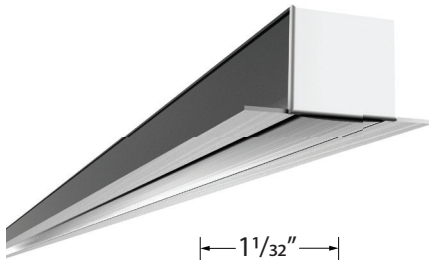


ALTN-EC-01
Solid End Cap



ALTN-EC-02
Powerfeed End Cap

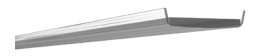
NOYES



NOYS-CHAN-SLV-6.5
Anodized Aluminum Extrusion,
Available in 6.5' lengths



NOYS-LNS-OPL-6.5
Lens, Opal, 6.5' length



NOYS-LNS-CLR-6.5
Lens, Clear, 6.5' length



NOYS-LNS-DIF-6.5
Lens, Diffuser, 6.5' length



NOYS-EC-01
Solid End Cap

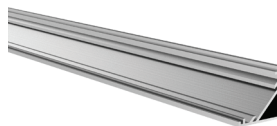
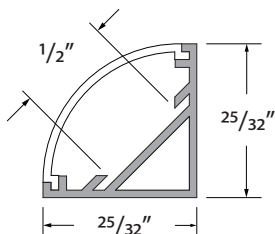
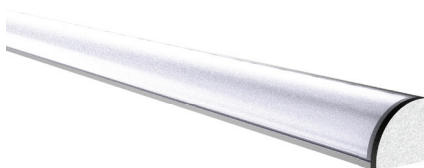


NOYS-EC-02
Powerfeed End Cap



NOYS-SPRING-CLP
Clip, Spring, Metal

MARSALA



MRSL-CHAN-SLV-6.5
Anodized Aluminum Extrusion,
available in 6.5' lengths



MRSL-LNS-OPL-6.5
Lens, opal, length 6.5'



MRSL-LNS-CLR-6.5
Lens, clear, length 6.5'



MRSL-LNS-DIF-6.5
Lens, diffuser, length 6.5'



MRSL-EC-01
Solid End Cap

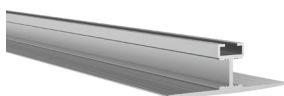
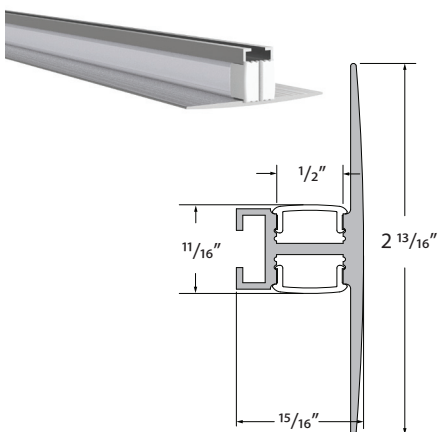


MRSL-EC-02
Powerfeed End Cap



MRSL-CLP-SLV
Clip, Metal

DEWAR



DWAR-CHAN-SLV-6.5
Anodized Aluminum Extrusion,
Available in 6.5' lengths



DWAR-LNS-OPL-6.5
Lens, Opal, 6.5' length



DWAR-LNS-CLR-6.5
Lens, Clear, 6.5' length



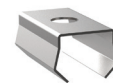
DWAR-LNS-DIF-6.5
Lens, Diffuser, 6.5' length



DWAR-EC-01
Solid End Cap

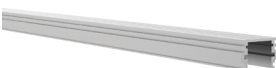
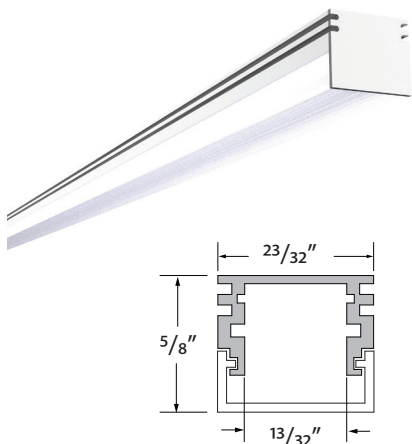


DWAR-EC-02
Powerfeed End Cap



DWAR-CLP-SLV
Clip, Metal

ASTORIA



ASTR-CHAN-SLV-6.5
Anodized Aluminum Extrusion,
Available in 6.5' lengths



ASTR-LNS-DIF-6.5
Lens, Diffuser, 6.5' length



ASTR-LNS-CLR-6.5
Lens, Clear, 6.5' length



ASTR-EC-01
Solid End Cap

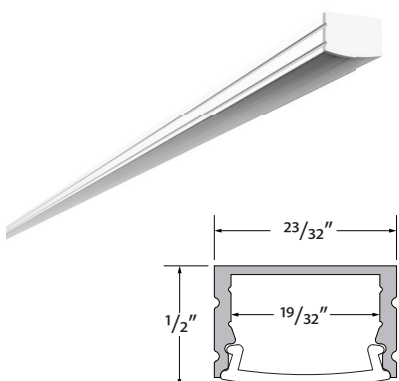


ASTR-EC-02
Powerfeed End Cap



ASTR-CLP-SLV
Clip, Metal

MOFETT



MOFT-CHAN-SLV-6.5
Anodized Aluminum Extrusion,
Available in 6.5' lengths



MOFT-LNS-OPL-6.5
Lens, Opal, 6.5' length



MOFT-LNS-CLR-6.5
Lens, Clear, 6.5' length



MOFT-LNS-DIF-6.5
Lens, Diffuser, 6.5' length



MOFT-EC-01
Solid End Cap

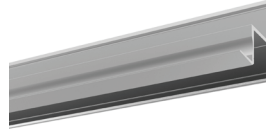
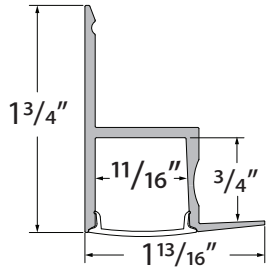


MOFT-EC-02
Powerfeed End Cap



MOFT-CLP-SLV
Clip, Metal

EDGE



EDGE-CHAN-SLV-6.5
Anodized Aluminum Extrusion,
available in 6.5' lengths



EDGE-LNS-OP-6.5
Lens, opal, length 6.5'



EDGE-EC-01
Solid End Cap



EDGE-EC-02
Powerfeed End Cap



Recommended Power Supplies

ADNM - NON DIMMING

DESCRIPTION	CAT NO	APPLICATION	PRIMARY VOLTAGE	SECONDARY VOLTAGE	CIRCUIT BREAKERS	MAX LOAD	CIRCUIT CAPACITY
ADNM Series Class 2 Transformer	ADNM-90-1-4-24-D	Indoor / Outdoor	100-277V AC 5ø60 Hz	24V DC	1	90W	3.75A
	ADNM-120-1-4-24-D				1	96W	4A
	ADNM-240-2-4-24-D				2	2x96W	2x4A
	ADNM-320-3-4-24-D				3	3x96W	3x4A

ADNM - 0-10V DIMMING

DESCRIPTION	CAT NO	APPLICATION	PRIMARY VOLTAGE	SECONDARY VOLTAGE	CIRCUIT BREAKERS	MAX LOAD	CIRCUIT CAPACITY
ADNM Series Class 2 Transformer	ADNM-90-1-4-24-DOT	Indoor / Outdoor	100-277V AC 5ø60 Hz	24V DC	1	90W	3.75A
	ADNM-120-1-4-24-DOT				1	96W	4A
	ADNM-240-2-4-24-DOT				2	2x96W	2x4A
	ADNM-320-3-4-24-DOT				3	3x96W	3x4A

ADNM - DMX SINGLE ADDRESS

DESCRIPTION	CAT NO	APPLICATION	PRIMARY VOLTAGE	SECONDARY VOLTAGE	CIRCUIT BREAKERS	MAX LOAD	CIRCUIT CAPACITY
ADNM Series Class 2 Transformer	ADNM-90-1-4-24-DIN	Indoor / Outdoor	100-277V AC 5ø60 Hz	24V DC	1	90W	3.75A
	ADNM-120-1-4-24-DIN				1	96W	4A
	ADNM-240-2-4-24-DIN				2	2x96W	2x4A
	ADNM-320-3-4-24-DIN				3	3x96W	3x4A

ADNM - DMX MULTI ADDRESS

DESCRIPTION	CAT NO	APPLICATION	PRIMARY VOLTAGE	SECONDARY VOLTAGE	CIRCUIT BREAKERS	MAX LOAD	CIRCUIT CAPACITY
ADNM Series Class 2 Transformer	ADNM-240-2-4-24-DIN-2	Indoor / Outdoor	100-277V AC 5ø60 Hz	24V DC	2	2x96W	2x4A
	ADNM-320-3-4-24-DIN-3				3	3x96W	3x4A

ADNM - DMX/DALI FLICKER-FREE FOR TV STUDIO

DESCRIPTION	CAT NO	APPLICATION	PRIMARY VOLTAGE	SECONDARY VOLTAGE	CIRCUIT BREAKERS	MAX LOAD	CIRCUIT CAPACITY
ADNM Series Class 2 Transformer	ADNM-120-1-4-24-DTV	Indoor / Outdoor	100-277V AC 5ø60 Hz	24V DC	1	1x96W	1x4A
	ADNM-240-2-4-24-DTV				2	2x96W	2x4A
	ADNM-320-3-4-24-DTV				3	3x96W	3x4A



Recommended Power Supplies

INFINITY - MLV / ELV / 0-10V / PWM / TRIAC

DESCRIPTION	CAT NO	APPLICATION	PRIMARY VOLTAGE	SECONDARY VOLTAGE	CIRCUIT BREAKERS	MAX LOAD	MIN LOAD	CIRCUIT CAPACITY
Infinity Series Class 2 Transformer	INF-J-30-1-1.3-24	Indoor / Outdoor	100 - 277V AC	24VDC	1	30W	3W	1.3A
	INF-J-60-1-2.5-24				1	60W	6W	2.5A
	INF-J-96-1-4-24				1	96W	9W	4A
	INF-J-192-2-4-24				2	2x96W	2x9W	2x4A
	INF-J-288-3-4-24				3	3x96W	3X9W	3x4A

Recommended Dimmers

DIMMING - 0-10V

DESCRIPTION	CAT NO	APPLICATION	INPUT VOLTAGE	OUTPUT VOLTAGE	MAX LOAD
0-10V Dimmer	DIM-LD-010	Indoor	12V/24V DC	12V/24V DC	30 mA max. output (sink only)

DIMMING - MLV

DESCRIPTION	CAT NO	APPLICATION	INPUT VOLTAGE	OUTPUT VOLTAGE	MAX LOAD
MLV Dimmer	N-600	Indoor	120V AC	120V AC	450W
	N-1000				800W
	N-1500				1200W
	D-600				450W
	M-600				450W
	M-1000				800W

DIMMING - ELV

DESCRIPTION	CAT NO	APPLICATION	INPUT VOLTAGE	OUTPUT VOLTAGE	MAX LOAD
ELV Dimmer	ME-600	Indoor	120V AC	120V AC	450W
	DE-300				300W

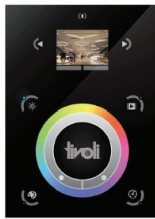
Recommended Dimmers

DIMMING - DMX

DESCRIPTION	CAT NO	APPLICATION	INPUT VOLTAGE	OUTPUT PROTOCOL	MAX UNIVERSE
DMX Controller	TVOQ-1-WH	Indoor	5V DC	DMX 512	1
	TVOQ-2-BK		6V DC		
	TVOQ-2-WH				
	TVOQ-10-BK-7				
	TVOQ-10-WH-7		6-7V DC		2



TVOQ-1-WH
WH (White only)



TVOQ-10-XX-7
XX = BK (Black), WH (White)



TVOQ-2-XX
XX = BK (Black), WH (White)

4" Cedar System New Construction IC Airtight Housing w/Driver



Single Wall IC Airtight housing for high-end residential and light commercial, 850 lumens.

Features

- UL Listed for direct contact with insulation.
- Optional 90 minutes, 120/277 VAC, 60Hz, Emergency Backup.
- Flicker-Free Dimming.
- USA designed and assembled.
- Limited 5 year warranty.
- For use with ELCO Cedar™ System 4" LED Light Engines.
- 2 at the end of the item number denotes Generation 2. Please note Gen 2 and Gen 1 are not cross compatible.

Specifications

Lumens	850 lm
Voltage	120/277V or 120V
Dimmable	Triac/ELV, Triac/ELV/0-10V, Sunset
Power Factor	≥0.95
Damp Location Listed	

Options



Optional EM

Technical Details

Construction:

- Single wall IC rated for direct contact with insulation. For use in IC and non-IC conditions. 850 lumens.
- Housing adjusts in frame to accommodate up to 1 1/2" ceiling thickness.
- Airtight housing with gasket to restrict airflow in accordance with ASTM E-283 air-tight requirements.

Installation:

- Designed for ceiling plenums where 2x6 joists or taller are used.
- High strength hanger bars can easily be nailed to joists.
- Suitable for T-grid and drop ceiling applications.
- See installation sheet for detailed information.

Junction Box: Positioned to accommodate straight conduit runs. Two 3/4" knockouts, Seven 1/2" trade size conduit knockouts, One 3/8" knockout. Four Pry-out knockout slots for easy romex installation.

Hanger Bars: Pre Installed hanger bars with True Nail easy installation in regular lumber, engineered lumber, and Laminated Beams. Integral T-bar slots for easy installation in T-Bars. Spans up 24" and can be repositioned 90°. Score lines allow for tool-free hanger bar size reduction. Integral leveling flange allows for single-person installation while easily aligning the housings with the joists.

Electrical:

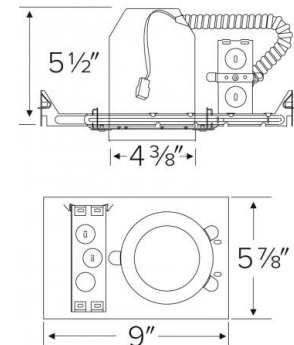
- Driver is rated for 120V and 277V input (120/277V).
- High Efficiency driver with a power factor > 0.95.

Dimmability:

- 3 in 1 dimming: Triac, ELV and 0-10V dimming in one driver.
- 0-10V dimming down to 5% with a compatible dimmer.
- Can be specified with Lutron drivers for 0.1% and 1% dimming.
- For a full list of dimmers refer to the Dimmer Compatibility List.

Listings: UL Listed for Damp Location and for Wet Location with select trims. UL Listed for Direct Contact with Insulation and Combustible Material. UL Listed for Feed Through.

Dimensions



Product Numbers

Item	Lumens	Voltage	Dimming
E4LC08ICA2	850 lm	120V	Triac/ELV
E4LC08ICAD2	850 lm	120/277V	Triac/ELV/0-10V
E4LC08ICASD	850 lm	120/277V	Sunset

Product Number Builder

Example: **E4LC08ICA2**

ELCO Cedar 4" Housing	Lumens	IC Airtight	Dimming	Generation	Optional
E4LC	08 850 lm	ICA ICA	(Blank) 120V Triac/ELV D 120/277V Triac/ELV/0-10V SD Sunset L Lutron	Gen 1 2 Gen 2	No EM EM1 Emer. Backup up to 700 lm EM2 Emer. Backup to 1100 lm

Compatible Products



For use with 4" Cedar™ IC LED housings

4" Cedar™ LED Light Engines



Round Reflector Trim

E410C

Finishes:
(W, B, C, H, BZ, BB, MW, MB)



Wall Wash Reflector Trim

E411C

Finishes:
(W, B, C, H, BZ, BB, MW, MB)



Drop Glass Reflector Trim

E412C

Finishes:
(W, B, C, H, BB, MW, MB)



Round Baffle Trim

E414C

Finishes:
(W, B, BZ, BB)



Round Pinhole Trim

E429C

Finishes:
(W, B, C)



Square on Sq. Baffle Trim

E415C

Finishes:
(W, BZ)



Square on Sq. Reflector Trim

E417C

Finishes:
(W, BZ)



Round on Sq. Reflector Trim

E420C

Finishes:
(W, C, H, BZ, BB)



Round on Sq. Baffle Trim

E424C

Finishes:
(W, B, BZ, BB)



Round Adjustable Trim

E418C

Finishes:
(W, C, BB, BZ)



Square Adjustable Trim

E428C

Finishes:
(W, C, BB, BZ)

PRODUCT NUMBER BUILDER

4" Cedar™ Trim	Style	Lumen	Color Temperature	Finish
E4				
	10C Reflector	08 850 lm (8.76W)	27 2700K	W All White
	11C Wall Wash		30 3000K	B Black w/White Ring
	12C Drop Glass		35 3500K	BZ All Bronze
	14C Baffle		40 4000K	BB All Black
	15C Sq. on Sq. Baffle		50 5000K	C Chrome w/White Ring
	17C Sq. on Sq. Reflector		SD Sunset Dimming	H Haze w/White Ring
	18C Round Adjustable			MW Matte White
	20C Round on Sq. Reflector			MB Matte Black
	24C Round on Sq. Baffle			
	28C Square Adjustable			

Compatible Products

For use with 4" Cedar™ IC LED housings



4" Accessories



Fire Cover

CAT NO.	SPECIFICATIONS
FIRECVR	9 3/4" H x 17" O.D.



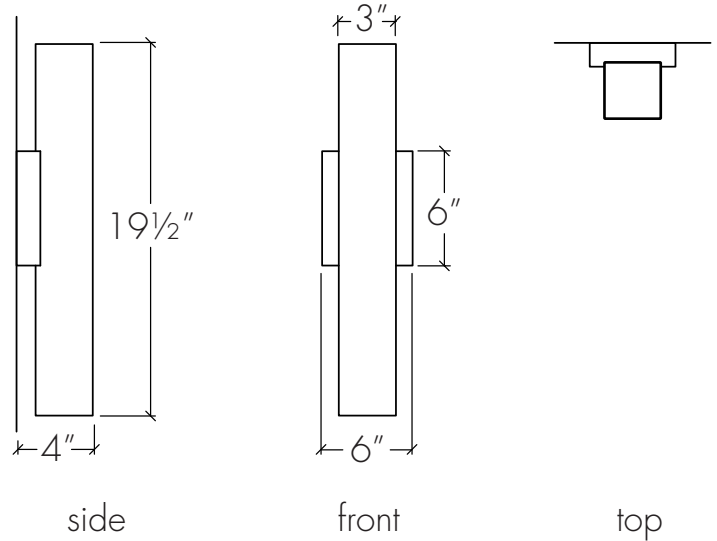
Fire Enclosure

CAT NO.	SPECIFICATIONS
FIREENCL	20 3/8" L x 14 3/8" W
FIREENCL-S	Shallow, 16" L x 14 3/8" W



Mica Fire Tape

CAT NO.	SPECIFICATIONS
FIRETAPE	3/4" W x 16' L



CYLO 19413

Wet Location Complies with Americans with Disabilities Act

Base Specifications:

19.5"h x 6"w x 4"d
 10: WRL - 2 x E26 - for LED Retro 20W max ea
 Opal Acrylic Diffuser
 ADA

Notes:

Horizontal mounting available*
 Dark Sky friendly available*
 02 / 04 Lamping: Wattage and Lumens - Initial at the source

19413			
MODEL	FINISH	DIFFUSER	LAMPING

REQUEST 850 LUMEN OUTPUT

*Modifications:

- Horizontal mounting
- Dark Sky (metal top)

Other Modifications:

- BA - Bronze Age
- BK - Black
- BP - Black Pearl
- CB - Cast Bronze
- CH - Chestnut
- CR - Chrome
- DI - Dark Iron
- EB - Empire Bronze
- MB - Medieval Bronze
- NB - New Brass
- SB - Smokey Brass
- SP - Satin Pewter
- SS - Smoked Silver

OA - Opal

- 02: Wet Loc - LED - 16.8W - 2362 Lumens
 - (Dim w/ Std Phase Dim) - 120V
 - (Non-Dim or Dim w/ 0-10V Dim system) Universal
- 04: Damp / Dry LED - 16.8W - 2362 Lumens (Non-Dim or Dim w/ 0-10V Dim system) - Universal
- 10: WRL - 2 x E26 - for LED Retro 20W max ea - 120V

COLOR TEMPERATURE / CRI

- 3000K (Standard) - CRI available upon request
- 2700K - CRI available upon request
- 3500K - CRI available upon request
- 4000K - CRI available upon request

Project Name:
Project Location:

Specifier Name:
Specifier Location:

Quantity:
Fixture Type:



TO: Mountain Village Design Review Board

FROM: Design Workshop on behalf of the Town of Mountain Village

FOR: Design Review Board Public Hearing: October 05, 2023

DATE: September 25, 2023

RE: Staff Memo – Initial Architecture and Site Review (IASR) Lot 802, 121 Arizona, pursuant to CDC Section 17.4.11 (continued from the August 3, 2023 regular DRB meeting)

APPLICATION OVERVIEW: New Single-Family Home on Lot 802

PROJECT GEOGRAPHY

Legal Description: LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 864, COUNTY OF SAN MIGUEL, STATE OF COLORADO

Address: 121 Arizona Street

Applicant/Agent: Kristine Perpar, Shift Architects

Owner: Edward Nelson

Zoning: Single-Family

Existing Use: Vacant

Proposed Use: Single-Family Residential

Lot Size: 0.897

Adjacent Land Uses:

- **North:** Open Space
- **East:** Single-Family
- **West:** Single-Family
- **South:** Single-Family

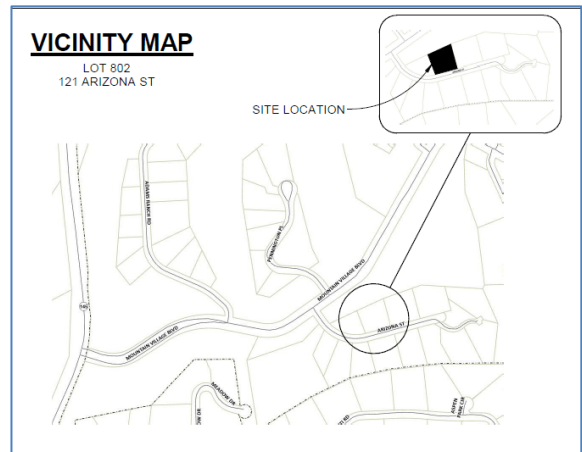


Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comments

Case Summary: Kristine Perpar of Shift Architects is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) application for a new residence on Lot 802, 121 Arizona Street.

The DRB reviewed this case at the August 3, 2023 regular DRB meeting and continued the discussion to the October 5, 2023 regular DRB meeting. The DRB requested more information related to the roof design and that the applicant reconsider the proposed butterfly roof form. The DRB also discussed other elements of the application that did not meet the requirements of the CDC, including fire mitigation standards, landscaping regulations, lighting regulations, retaining walls associated with driveways, and lot coverage. In response to the DRB comments, the applicant has provided an updated set of plans and additional information, which is included in Attachment A. These changes include:

- 1) Redesigned roof from a butterfly roof to the use of multiple gable roof forms;
- 2) Updated landscaping plan to meet requirements for tree protection, planting, and irrigation;
- 3) Updated material calculations; and
- 4) New lighting sources.

The lot is 38,768 square feet and is zoned Single Family. The lot has varied topography, with slopes over 30 percent in most of the southern half of the site. The lot slopes from south to north. To the south of the lot, Arizona Street slopes down from the east to the west. The highest elevations in the site are adjacent to Arizona Street in the southern portions of the lot.

The proposal includes a single-family development with approximately 4,674 square feet, including a 712 square foot garage and 116 square foot generator enclosure. The home is two stories with an attached garage. The primary structure faces north with the driveway and garage located behind the home. The home takes access from Arizona Street to the south. Although the primary structure faces north, it is assumed that the primary entry to the home would be from the rear (south).

The proposed development requires approval of a design variation for lighting associated with outdoor living spaces and specific approval for boulder wall height and the use of tandem parking spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

CDC Provision	Requirement	Proposed
Maximum Building Height	40' (gable) Maximum	39.4'
Avg. Building Height	35' (gable) Maximum	27.19'
Maximum Lot Coverage	40% (15,507 sq ft)	12% (4,599 sq ft)
General Easement Setbacks	No encroachment	Encroachments in the GE
Roof Pitch		
Primary		6:12
Secondary		2:12
Exterior Material		
Stone	35% minimum	43% plus attached stone wall (47% total)
Windows/Door Glazing	40% maximum	16%

Wood Siding	n/a	33%
Steel Siding	n/a	2%
Parking	2 interior/2 exterior	2 interior/ 2 exterior (tandem)

Design Review Board Design Variation

- *Road and Driveway Standards Retaining wall associated with driveway - height*

Design Review Board Specific Approval

- *Parking regulations – tandem parking space*

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.11 and 17.3.12: Building Height and Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates gable roof forms. Homes with a primary gable roof form are allowed a maximum building height of 40 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: The applicant has adjusted the proposed structure to have a gable roof form. The proposal is therefore granted a maximum height of 40' and an average height of 35'. According to Sheet A2.1 of Exhibit A, the applicant has calculated a maximum height of 39.4' and an average height of 27.19'.

The proposed site has three gable roofs and one flat roof at the center of the building, which is a portion of the primary structure that connects to the attached garage. The applicant has provided elevations showing the required 35-foot offset from the proposed grades.

Figures 2-5 below display the elevations of the structures in relation to the height calculations.

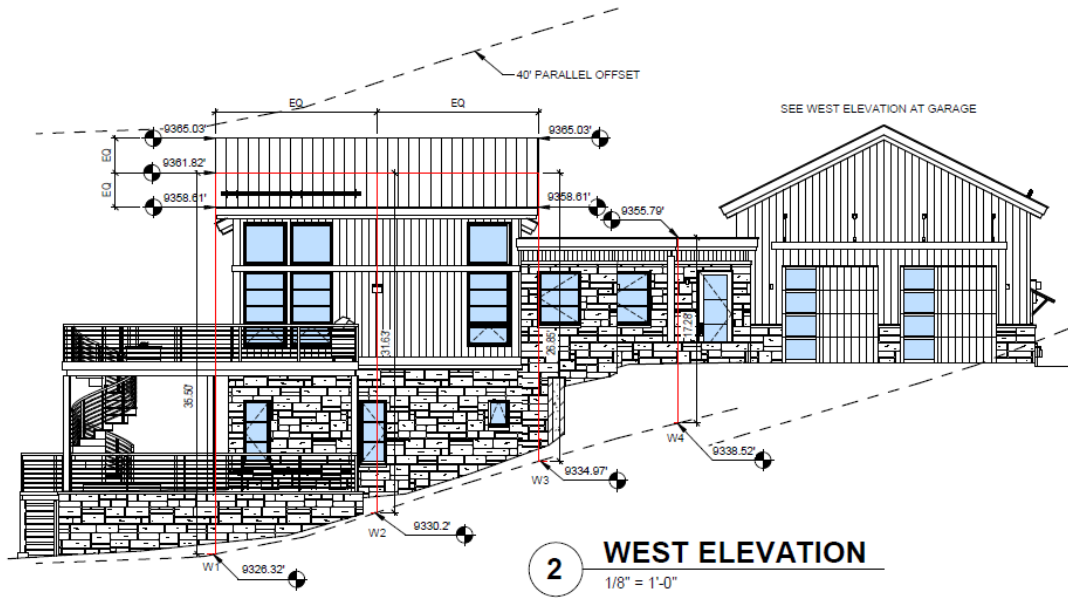


Figure 2 West Elevation - Height

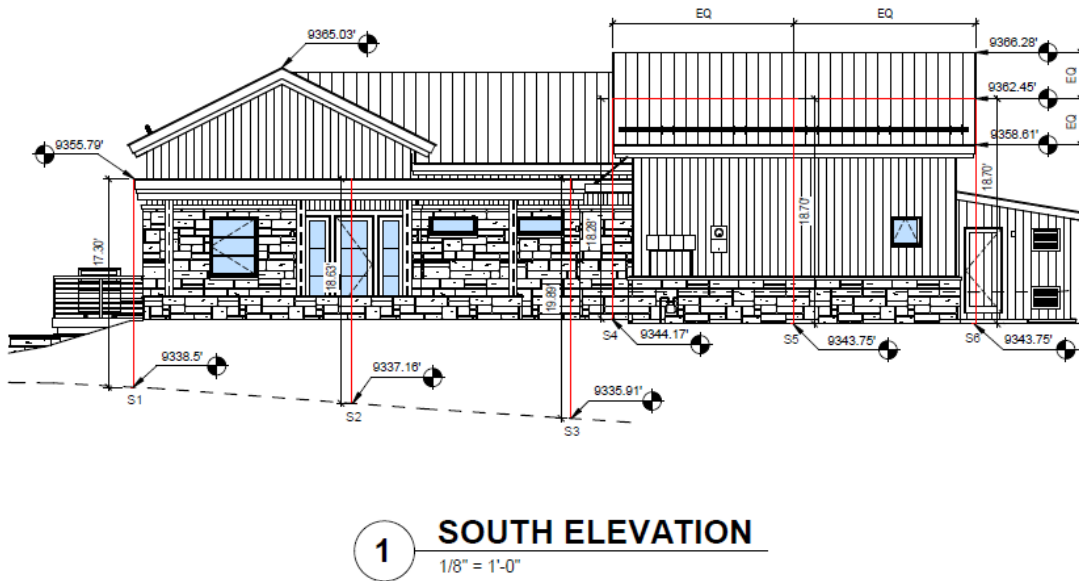
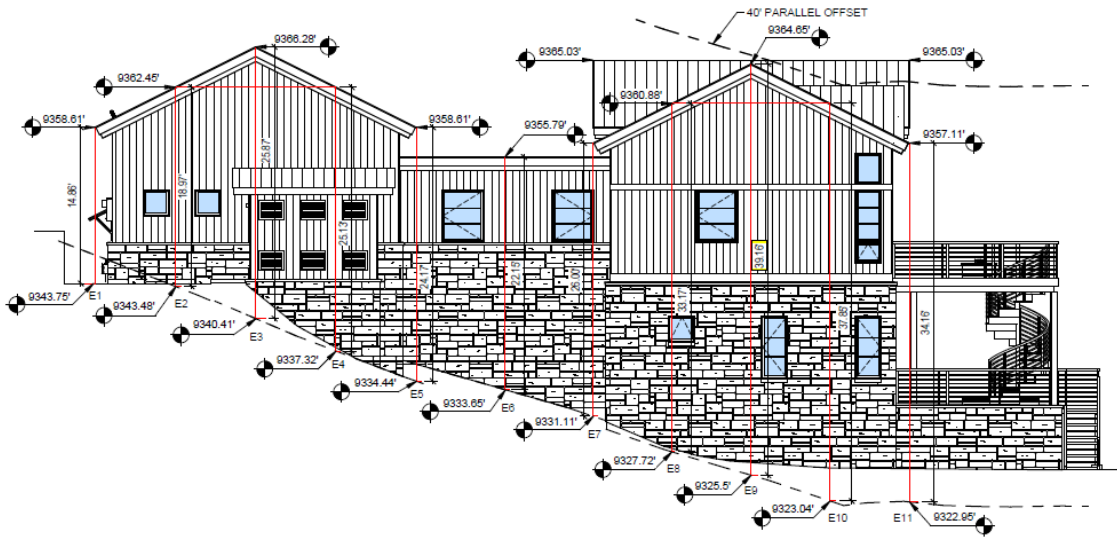


Figure 3 South Elevation - Height



4 EAST ELEVATION
1/8" = 1'-0"

Figure 4 East Elevation - Height



1 NORTH ELEVATION
3/16" = 1'-0"

Figure 5 North Elevation - Height

17.3.13 Maximum Lot Coverage

Staff: The CDC states the maximum lot coverage for single-family homes with lots under one acre is 40 percent. On this site, with a lot area of 38,768.4 square feet the maximum allowable site coverage is 15,507 square feet. The applicant proposes a lot of coverage of 4,599 square feet (12 percent). The proposed lot coverage calculation includes the residence and garage to roof overhand drip line, the flat roof, the lower-level patio/stair landing, and generator enclosure.

The lot coverage diagram shows the entry porch and concrete walk, but this area is colored separately (highlighted in orange in Figure 6 below) and it is unclear if this hardscape area is included in the calculation of the “Residence/Garage.” This area should be included in the calculation. The applicant shall clarify if this area is included for final review.

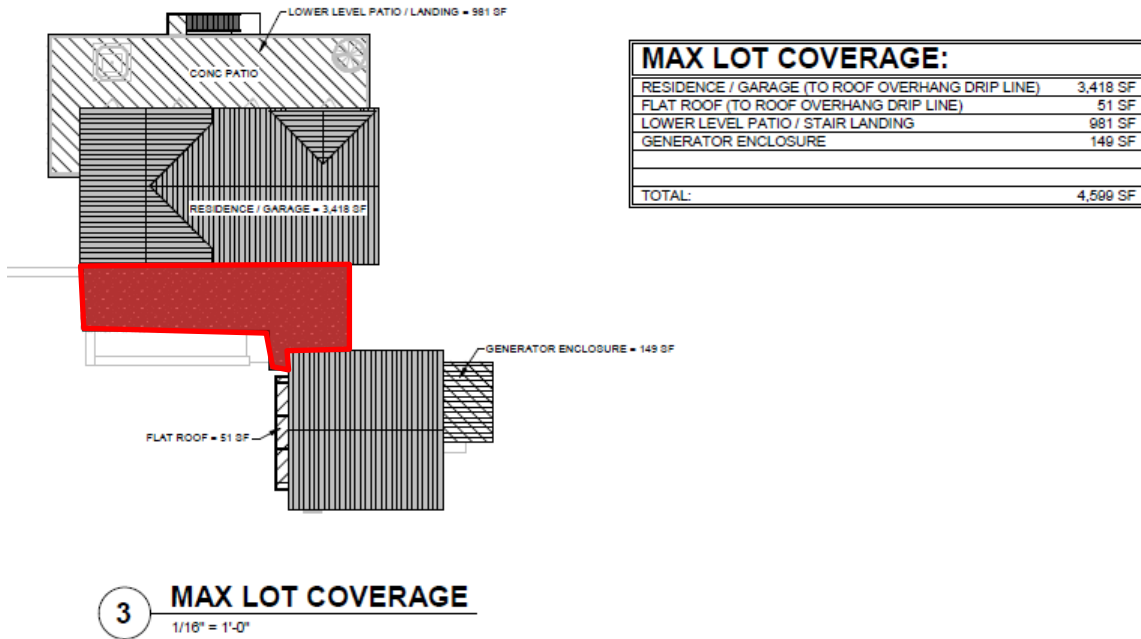


Figure 6: Lot Coverage Diagram

17.3.14: General Easement Setbacks

The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as driveways, ski access, natural landscaping, utilities, address monuments, and fire mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: Lot 802 has a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The driveway and associated retaining wall is proposed to cross the southern GE to provide access from Arizona Street.*
- *Address monument: The address monument is proposed to be located adjacent to the driveway and within the GE.*
- *Utilities: There is an existing sewer along the northern property line, which would cross the GE to access the main house.*
- *Seasonal Drainage Swale: An existing seasonal drainage swale with no visible surface water runs north to south, crossing the GE along the southwestern portion of the site.*

- *An existing paved golf path runs east to west in the northern GE.*

Any development within the General Easement or road right of way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The site slopes downward from south to north, with slopes that exceed 30 percent in southern areas of the site. The massing aligns with the natural topography, building the home to mimic the slope; the home reads as a one-story building when viewed from the highest portion of the site (south) and as a two-story building when viewed from the lowest portion of the site (north). The materials chosen are a combination of stone, brick, wood, and metal, which should create an exterior capable of withstanding the high alpine environment. Overall, it appears that the design is visually appealing and would fit within the existing Mountain Village Design Theme.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

Staff: The lot does not have ponds, streams, or wetlands. The applicant proposes to build a retaining wall adjacent to the driveway that crosses the southern portion of the existing seasonal drainage swall. This could impede drainage flow from the south to the north (see Sheet A1.1). The applicant shall clarify if there is a planned trench drain or other means of allowing seasonal drainage through retainage. This is required for final review.

The CDC requires site plans to provide a snow shed and storage plan for roofs, walkways and drives. The applicant has indicated a trench drain in heated concrete apron at the garage apron, which runs perpendicular to the slope. The applicant has calculated total snowmelt to be 1,550 square feet, which includes a lower-level concrete patio, the covered entry porch, and concrete apron at the garage door. Snowmelt that exceeds 1,000 square feet in size requires payment of a mitigation fee per the REMP worksheet.

The development does not propose grading, clearing, direct drainage, direct access or other direct impact onto the adjoining lots. The applicant provided a site grading plan shown on Sheet C2.1.

17.5.6: Building Design

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. Roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation is required. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

Staff: Staff comments regarding each of the relevant subsections are below.

Building Form:

The form of the proposed residential structure follows an alpine mountain design that is grounded to withstand the forces of wind, snow, and heavy rain. The proposed use of stone at the base of the structure along with the use of vertical wood siding at the upper levels reinforces this design.

Exterior Wall Form:

The proposed development has exterior walls that are relatively simple in design and portray a massing that is substantially grounded to the site. This is reinforced using stone boulder materials along the base of the building. Additionally, there is a lower-level stone patio connected to a deck with timber columns.

Roof Form:

The roof design is a combination gable and flat roof form. The front of the home is framed by two gable roof eaves. The garage utilizes a gable roof with sloped shed roof over the structure that stores the generator.

The applicant has not identified snow guards associated with the roof. The applicant proposes the use of two trench drains at the front and rear of the garage. These are oriented perpendicular to the slope. Snowmelt is located to the north of the structure and in front of the driveway and entryway.

The flat roof section that connects the primary structure to the garage is proposed with a flat roof. The roof plan indicates gravel ballast. It will be important to understand the ballast material as well as the proposed underlaying material. Additionally, if ballast is proposed, some form of parapet will be necessary, a detail of this should be provided for final review.

The gable and shed roof material will be made of standing seam black metal, which is a type and quality that will withstand high alpine climate conditions. The applicant has identified doug fir to be used for the fascia and T&G pine to be used for the soffit.

Chimneys, Vent and Rooftop Equipment Design:

The applicant has identified a direct vent gas fireplace on both levels of the home. Rooftop equipment is not identified.

Exterior Walls Materials and Color:

Sheet A2.2 outlines the material percentages, including stone, wood, steel, and glazing. The exterior wall structure utilizes stone, wood, and steel siding. Stone walls account for approximately 43 percent of exterior materials not including the attached retaining wall,

which meets the minimum percent stone requirement. When including the attached retaining wall, the stone percentage increases to 47. Wood siding accounts for 33 percent of the exterior wall. Window and door glazing accounts for 16 percent of the exterior wall.

On the eastern elevation, it appears that the stone could be carried through to the roofline to give the project a vertical and horizontal connection and ground the home to the site. The DRB should discuss if they would like to recommend this for final review.

The CDC requires the applicant provide “a narrative of the pattern, grout and block of the proposed stone and setting pattern” as a part of the Design Review Process application for approval by the review authority. This is required for the final review.

Glazing:

The CDC requires the window area of the structure to be maximum 40 percent of the total building façade area. Window and door glazing accounts for 16 percent of the exterior wall materials, which meets this requirement.

Doors and Entryways:

The door and window schedules are shown on Sheets A8.1 and A8.2 of Exhibit A. The windows will be tempered glass and wood clad with a black exterior.

The door schedule is provided for exterior and interior doors with corresponding dimensions. The exterior doors will also be wood clad with a black exterior. The garage door is an overhead door made of vertical wood with frosted glass.

Decks and Balconies:

The proposed building contains one lower-level patio and a ground level deck, both located on the front/north side of the home. For visual interest, the applicant could vary the upper deck and lower-level patio to be stacked, with the upper deck slightly smaller than the lower. There is also a small, covered porch associated with the entryway.

Required Surveys and Inspections:

Since the proposed development has a structure, grading and hardscape improvements within five (5) feet or less from the general easement setback the CDC requires “the developer to submit a monumented land survey prepared by a Colorado public land surveyor to ensure there are no above-grade or below-grade encroachments into the general easement setback prior to the Building Division conducting the required footing or foundation inspection as applicable.”

A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

17.5.7: Grading and Drainage Design

Staff: A grading plan is provided on Sheet C2.1. The site has significant grade change that slopes from the south to the north. Most of the southern portion of the site contains areas that are 30 percent slope. Grading is proposed downslope from the driveway and to the

west of the proposed home, following the natural contours of the site. Grading is also proposed to the northeast of the proposed structure.

A boulder wall is proposed along the southern portion of the western GE as well as along the southern edge of the garage and parking area. Landscaping is proposed or will be retained adjacent to these walls to soften the appearance. The larger boulder walls not associated with the structure will be made with rectilinear boulders.

A concrete wall is proposed on the western side of the primary structure. This area is not screened with landscaping, but a rock garden is proposed on the south side. It is contained within Fire Mitigation Zone 1. If the concrete wall is visible from public view on Arizona Street, it shall be faced with preapproved stone veneer or with preapproved stone walls. The applicant shall update these materials for final review.

Two trench drains are proposed, one on the western side of the garage and one on the eastern side.

As previously discussed, the proposed retaining wall that is associated with the driveway does encroach into the General Easement.

17.5.8: Parking Regulations

Staff: The site plan shows two enclosed interior parking spaces and two surface exterior parking spaces. The exterior parking spaces are considered tandem parking spaces, which requires specific approval. Tandem parking spaces can be authorized by the DRB on lots smaller than 0.75 acres where non-tandem parking is not feasible due to unique site conditions such as steep slopes.

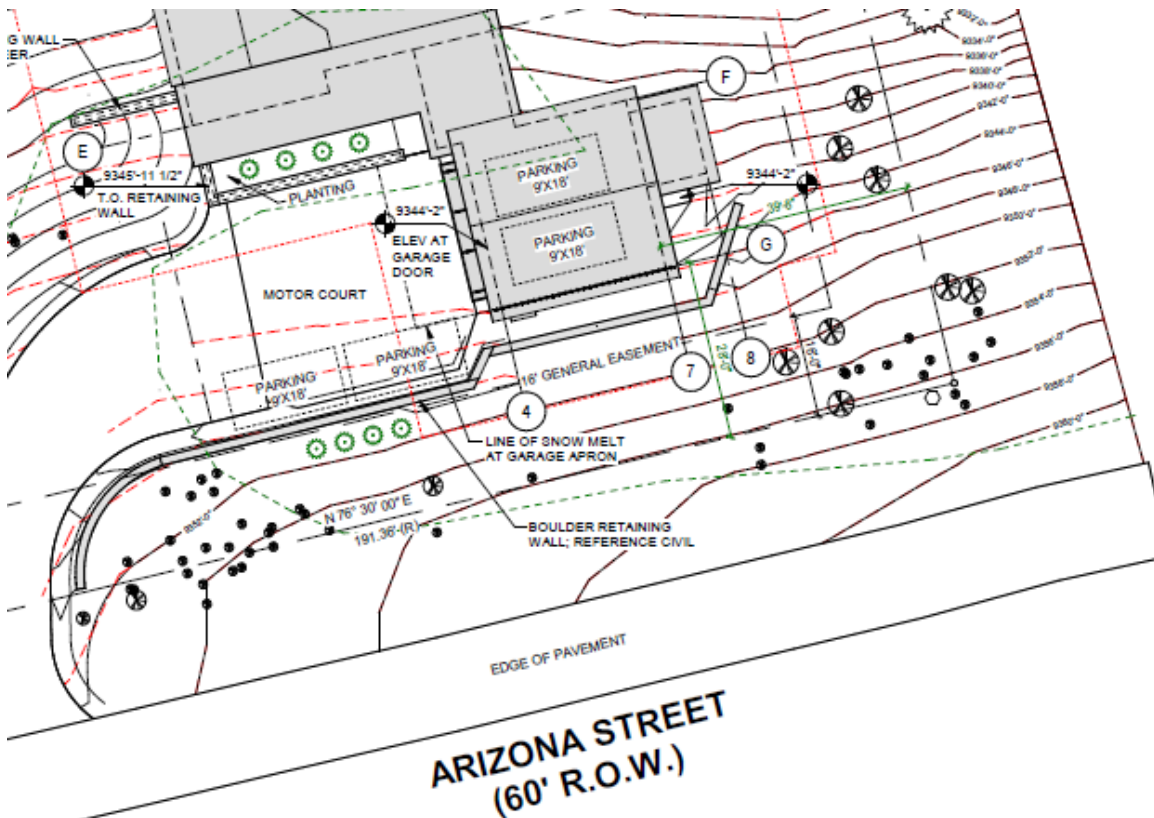


Figure 7 Interior & Exterior Parking Spaces

17.5.9: Landscaping Regulations

Staff: A landscaping plan is provided on Sheet A1.2. The proposed development requires the removal of several existing evergreen and aspen trees; existing aspen and evergreen trees along the eastern and western edges of the site will remain. The applicant has proposed planting eight bristlecone pine trees and four Colorado blue spruce trees. Four bristlecone pine trees are identified within the Fire Mitigation Zone 1 within a rock garden. The landscape plan will need to be adjusted as trees are not allowed in Zone 1 unless in a potted material or within a drip edge.

Proposed shrubs listed in the plan legend include "indigenous shrubs;" these are not identified on the landscaping plan itself. The applicant shall update the plan to identify specific locations and species for shrubs.

The proposed ground cover includes native grass and seeding in all areas of disturbance.

Notes from the Town Forester were provided during the first initial review (listed below). The applicant has updated materials to comply with conditions related to tree protection, removal, and installation.

TMV Forrester Comments:

The Landscape plan needs to show tree protection fencing (installed at the dripline or beyond) around all trees that are planned for retention within the Limits of Disturbance. The plan needs a note stating, "No backfill, storage, or staging is permitted inside the tree protection area inside the tree protection fencing". In denoting the trees that will be removed, carefully consider space needed for excavation and construction, the backfill requirements that will be needed around the driveway and retaining wall, and the onsite space that may be needed for soil storage/staging. Tree protection fencing is required by the CDC to be installed at or beyond the crown dripline of each tree that will remain (tree protection zone) (CDCL 17.6.1.A.4.f.) The plan needs to state "the Town Forester must be contacted before excavation begins to mark or approve the trees to be removed and to approve the placement of the tree protection fencing. A tree removal permit must be obtained from the Town Forester before tree removal operations may begin." Tree protection fencing must be installed and approved by the town forester before excavation may begin.

The landscape plan needs to include a diagram that shows the proper installation of tree and shrubs with the trunk flare just above grade and a note needs to be included stating "all strapping, burlap, and wire basket material must be removed from the root ball of the plant materials during installation (CDC: 17.5.9.C.7). Tree planting specifications need to be noted and shall adhere to CDC specifications (CDC: 17.5.9.C.7).

17.5.11: Utilities

Staff: The applicant has provided utility information on Sheet C3 of Exhibit A. An existing sewer line runs parallel to the northern property line and is proposed to connect to the home by crossing the GE from the north. Electric, fiberoptic, and telephone conduits are to be installed below the boulder wall, crossing the GE from the south. Water will be sourced from an existing curb stop, crossing the GE from the south. These are shown in Figure 7.

The plan indicates the meter locations must be approved by utility providers – San Miguel Power Association for power and Black Hills Energy for gas.

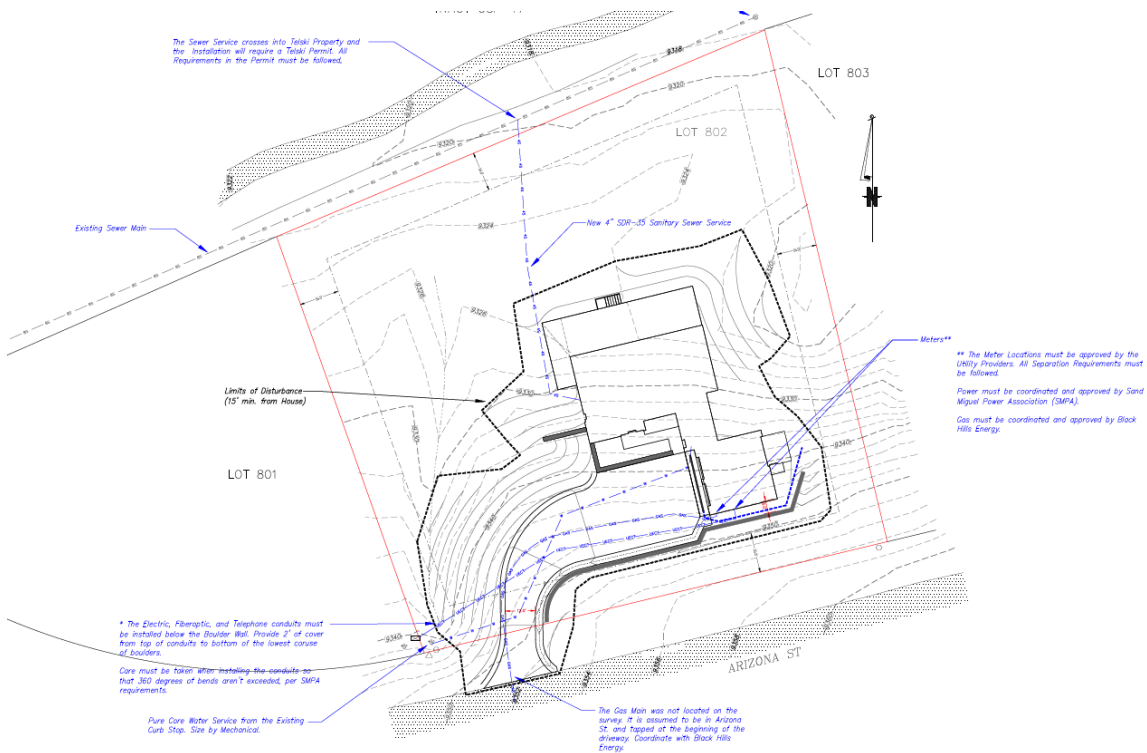


Figure 8: Utilities Plan

TFPD approval with the following conditions:

- 1) A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.
- 2) An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.
- 3) Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
- 4) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
- 5) Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.
- 6) Knox box recommended at the main entrance on the address side for emergency access.

Public works: The applicant shall field verify existing water and sewer tap with Public Works.

17.5.12: Lighting Regulations

The applicant has provided a lighting plan with spec sheets on Sheet LTG1.1 in Exhibit A. The basic guideline for exterior lighting is for it to be subdued, understated and indirect to

minimize the negative impacts to surrounding lots and public rights-of-way so that it reflects CDC Dark Sky requirements. The CDC limits lighting to 850 lumens. The applicant proposes two lighting types in the cutsheets, which are shown in Figures 10 and 11:

- Exterior Wall Sconce that lists 823 delivered lumens.
- Exterior LED Wall/Step Light that lists 68 lumens.



Figure 9: Exterior Wall Sconce



Figure 10: Exterior LED Wall/Step

The applicant proposes four exterior wall step lights in the lower-level patio and two wall/step lights on the deck. Exterior LED wall sconces are proposed within the covered porch and on either side of the garage. Exterior lighting on second stories (such as the deck) shall be provided by wall-mounted fixtures, recessed wall, or ceiling fixtures. Staff finds this criterion met. The lighting is only proposed at egress points, which is required for safety by code.

17.5.13: Sign Regulations

Staff: The location of the address monument is on the western side of the driveway, just north of the edge of pavement on Arizona Street (see Sheet A1.1 of Exhibit A).

The address monument is a freestanding sign that is 4'-5" in height. The monument is made of a steel I-beam. The lettering is black in color and 6" in height, set against a concealed LED sign light.

Staff finds the criteria of this section met.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: The applicant has not provided a separate Fire Mitigation Plan, though the 15' fire mitigation line is identified in the Landscape Plan. As mentioned previously, four evergreen trees are proposed to be planted within Zone 1, which is prohibited.

While not a requirement for the initial review, the applicant will need to provide a full fire mitigation plan that includes a note about Zone 2 fire protection and the intent to meet all requirements of fire mitigation including crown to crown tree spacing. This is a condition for final review. The applicant may opt to combine the landscaping and fire mitigation plan, if desired.

17.6.6: Roads and Driveway Standards

Staff: The driveway is located in a steep area with most of the site over 30 percent slope. The driveway access runs north to south and then curves east to the garage.

The proposed driveway grade from the right of way at Arizona Street is 5%, meeting the requirement that the grade shall not exceed five percent for the first twenty feet from the edge of the public roadway or access tract. The primary section of the driveway towards the homesite is 6.95% grade, which is within the allowable grade of 8 percent. The remaining driveway to the garage is 2.59%. The width of the proposed driveway is 12' of asphalt at the most narrow section, with 2' gravel shoulders on either side. This meets the requirements of the CDC.

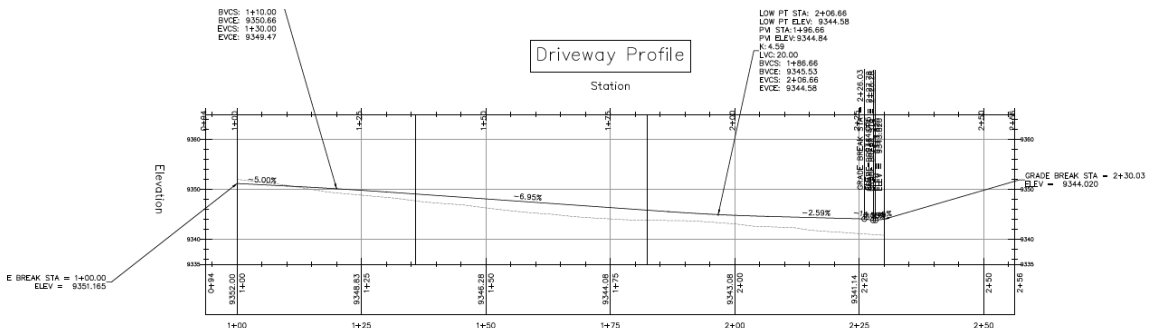


Figure 11: Driveway Profile

The retaining boulder wall and corresponding planter is proposed along the west side of the driveway and extends into the GE. Per Figure 12, the retaining wall is 7 to 10 feet in height which exceeds the allowable 5 feet maximum retaining wall height for walls associated with driveways. With the reference to the Cortina property line and ski trail, the cut and fill boulder wall diagrams appear to be a carryover from a previous application. The applicant must clarify prior to final review.

A minimum "step" in between walls of 4 feet is required to allow for landscaping to soften the walls (see Standard 17.6.6.A.6.a). DRB approval to exceed the height is required. The applicant shall include an updated landscaping plan to meet the landscaping requirements.

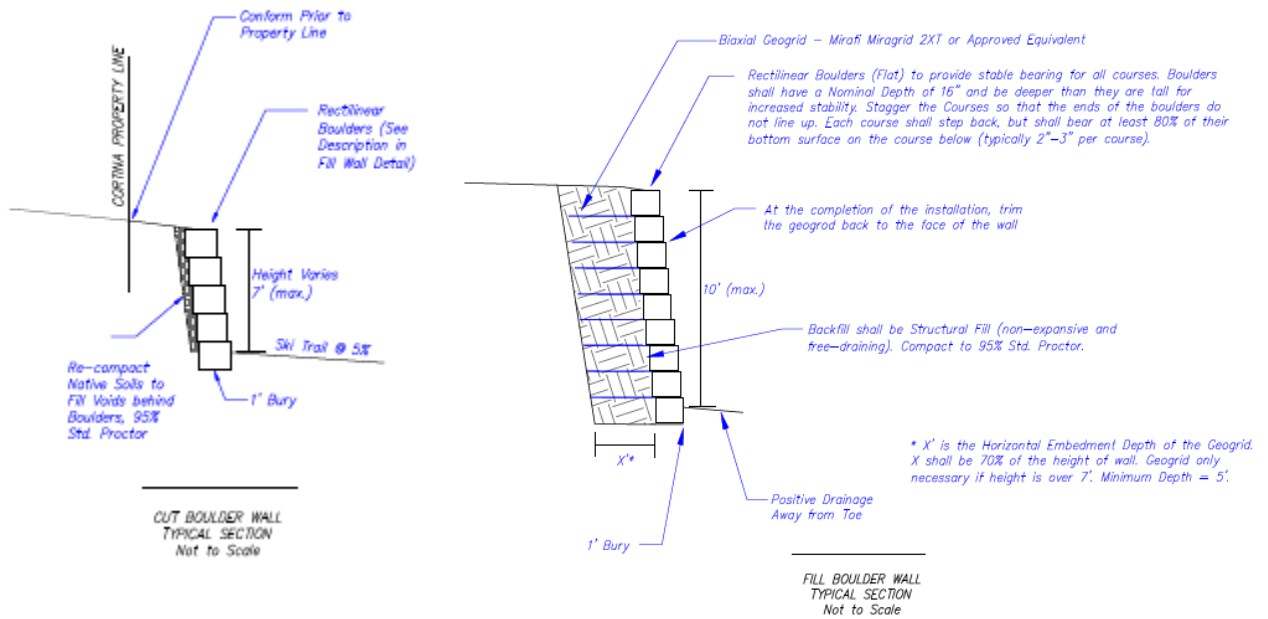


Figure 12: Retaining wall (Cut Boulder Wall, left; Fill Boulder Wall, right)

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has identified a direct vent gas fireplace on both levels of the home.

Chapter 17.7: BUILDING REGULATIONS

17.7.20: Construction Mitigation

Staff: A construction mitigation plan is provided on Sheet C4 of Exhibit A. The plan shows the proposed fencing perimeter and silt fencing, straw wattles, material storage and laydown yard, a construction dumpster, bear proof poly-cart, port-o-john toilet and construction parking. Construction parking is identified in the current driveway, which is an area that won't be available for use until the initial stages of construction are complete. The applicant may need to coordinate with the Town for the use of roadside parking permits. The use of a crane is not identified in the plan.

Staff Recommendation: The Staff recommends approval of the initial architectural review with conditions.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

Alternatively, if the DRB desires additional information or redesign, a motion for continuance is also provided.

Approval:

I move to approve the Initial Architecture and Site Review for a new single-family home located at Lot 802, based on the evidence provided in the staff memo of record dated September 25, 2023, and the findings of this meeting with the following Conditions:

Design Review Board Design Variation

- *Road and Driveway Standards, Retaining wall associated with driveway - Boulder wall height*

Design Review Board Specific Approval

- *Parking regulations - tandem parking*

And, with the following conditions:

- 1) *Prior to final review, the applicant shall clarify the lot coverage calculation to include all hardscaping including patios, porches, and walkways.*
- 2) *Prior to final review, the applicant shall provide more information related to the proposed ballast material and underlaying material associated with the flat roof. If ballast is proposed, some form of parapet will be necessary and a detail of this shall be provided.*
- 3) *Prior to final review, the applicant shall revise the landscaping plan to incorporate staff comments related to fire mitigation requirements.*
- 4) *Prior to final review, the applicant shall revise the concrete wall materials to include a stone face for all walls that are visible from Arizona Street.*
- 5) *Prior to final review, the applicant shall update the retaining wall diagrams to accurately reflect site conditions.*
- 6) *Prior to building permit, the applicant shall field verify existing water and sewer tap with Public Works.*
- 7) *Prior to final review, the applicant shall update the site grading plan to clarify if there is a planned French drain or other means of allowing seasonal drainage associated with the western retaining wall.*
- 8) *Prior to final review, the applicant shall provide an updated landscape and fire mitigation plans showing compliance with the Fire Mitigation standards.*
- 9) *Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE and the road right of way.*
- 10) *Prior to final review, the applicant shall provide a narrative of the pattern, grout, block size and color of the proposed stone and setting pattern for exterior wall materials.*
- 11) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
 - a) *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
 - b) *Wood that is stained in the approved color(s);*
 - c) *Any approved metal exterior material;*
 - d) *Roofing material(s); and*
 - e) *Any other approved exterior materials*
- 12) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire*

department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

GENERAL NOTES:

CONTRACT DOCUMENTS:
 CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, DETAIL BOOK AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTED WITH "N.T.S." DENOTES NOT TO SCALE.

ORGANIZATION:
 THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), CIVIL DRAWINGS (C SHEETS), STRUCTURAL (S SHEETS), MECHANICAL AND PLUMBING (M SHEETS), ELECTRICAL (E SHEETS) AND LIGHTING (LTG SHEETS).

CODE COMPLIANCE:
 ALL WORK, MATERIALS AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

INTENT:
 THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

COORDINATION:
 THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

SUBSTITUTIONS:
 ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED-OUT-BY-TRADE-NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

SHOP DRAWINGS:
 SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS. SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "SUBSTITUTIONS" ABOVE.

SAFETY & PROTECTION OF WORK:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.



REVISIONS

NO.	DATE	DESC.
2	09-11-23	Revised max lot coverage
12	09-11-23	Revised roof ht calcs due to roof re-design and raising project 2'-0"

PROJECT CODE INFORMATION

ZONING:	SINGLE-FAMILY RESIDENCE (MV LOT 802)
BUILDING CODE:	IRC 2018 AND ALL APPLICABLE CODES AS REQUIRED BY THE TOWN OF MOUNTAIN VILLAGE
DESCRIPTION:	MULTI-STORY; SINGLE FAMILY DWELLING
OCCUPANCY CLASSIFICATION:	R-3
AUTOMATIC FIRE SPRINKLER:	MONITORED NFPA 13D, 2018 IFC AND TFPD AMENDED CODES SPRINKLER SYSTEM REQUIRED
NATIONAL FIRE ALARM & SIGNALING CODE:	MONITORED NFPA 72, 2018 IFC, AND TFPD AMENDED CODES ALARM SYSTEM REQUIRED
EMERGENCY ACCESS:	PROVIDE KNOX BOX FOR EMERGENCY ACCESS
FIRE RESISTIVE RATING:	GARAGE - 1 HR MECHANICAL - 1 HR
CARBON MONOXIDE DETECTION:	PROVIDED MONITORED DETECTION IN ACCORDANCE WITH 2018 IFC 915.2.1
ELECTRIC VEHICLE CHARGING STATION / OUTLET:	INSTALLED IN ACCORDANCE WITH NFPA 70 AND LOCATED WITHIN 5 FT OF THE GARAGE DOOR

PROJECT INFORMATION

PROPOSED FLOOR AREA:	1,882.09 SF	MAX BUILDING HEIGHT:	40'-0"
LOWER LEVEL	1,963.97 SF	ALLOWABLE	40'-0"
GROUND LEVEL		PROPOSED	39.40'
TOTAL FLOOR AREA:	3,846.06 SF	MAX AVERAGE HEIGHT:	35'-0"
GARAGE	711.53 SF	ALLOWABLE	35'-0"
GENERATOR ENCLOSURE	116 SF	PROPOSED	27.19'
TOTAL:	4,673.59 SF		
LOT AREA:	.897 ACRES (38,768.4 SF)	PARKING REQUIRED:	4 SPACES PROVIDED (4 REQUIRED) (2 ENCLOSED IN GARAGE) (2 SURFACE SPACE)
LOT COVERAGE:	15,507.36 SF (40% MAX)		
ALLOWABLE	4,599 SF (12%)		
PROPOSED			

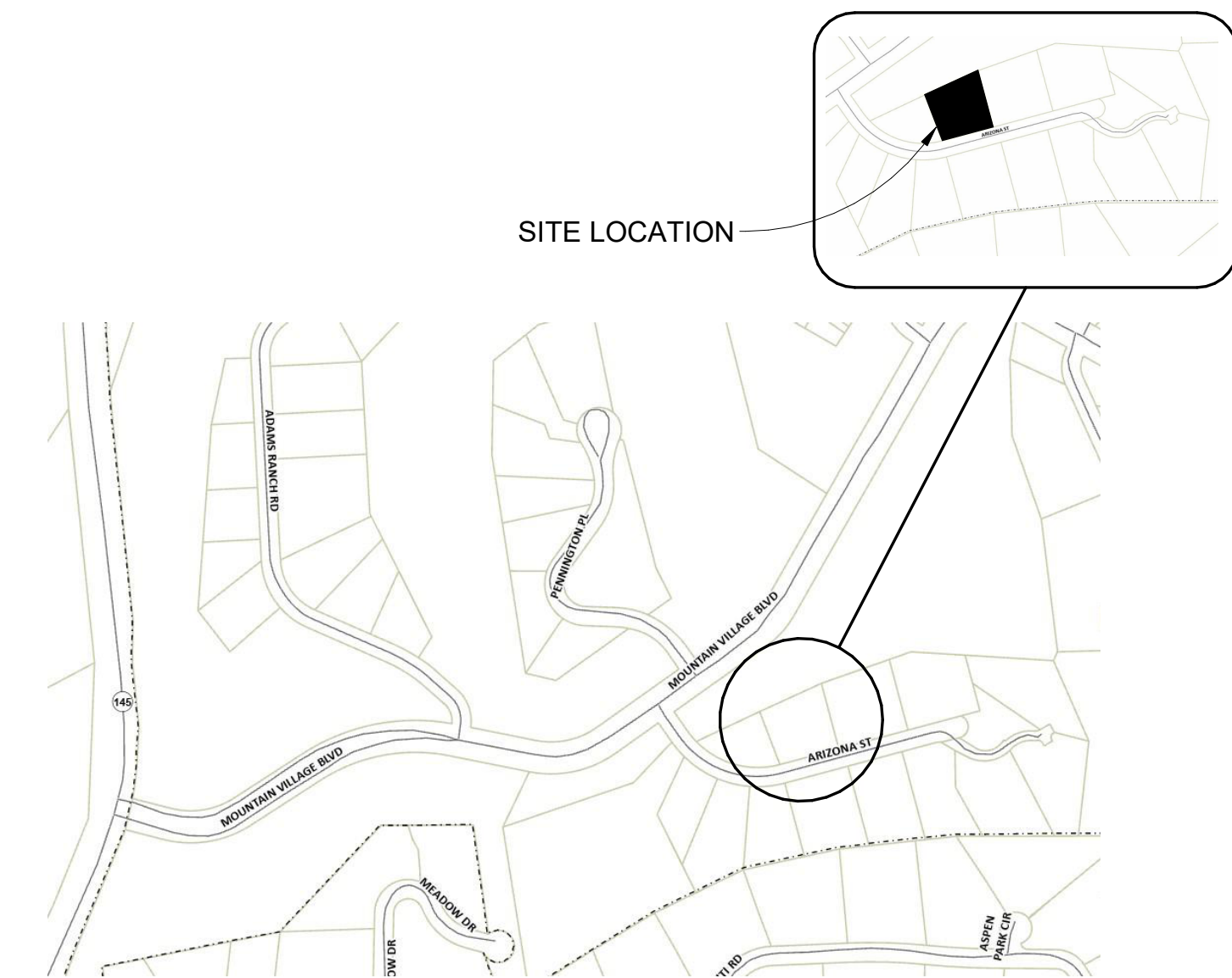
SEE SHEET A2.1 FOR MAXIMUM BUILDING HEIGHT CALCULATIONS

SHEET INDEX

GENERAL	G1.0 COVER SHEET
	G1.1 ABBREVIATIONS AND LEGENDS
CIVIL	C1 NOTES
	C2.1 SITE GRADING WITH DRIVEWAY PROFILE
	C2.2 SITE GRADING WITH DRIVEWAY PROFILE / TREES DISPLAYED
	C3 UTILITY PLAN
	C4 CONSTRUCTION MITIGATION PLAN
SURVEY / MAPPING	0 EXISTING CONDITIONS PLAN
ARCHITECTURAL	A1.1 ARCHITECTURAL SITE PLAN
	A1.2 LANDSCAPE PLAN
	A1.3 IRRIGATION PLAN
	A2.0 SITE 40' PARALLEL OFFSET
	A2.1 MAX BUILDING HEIGHT
	A2.2 MATERIAL CALCULATIONS
	A3.1 FLOOR PLAN
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	A4.0 AXONS
	A4.1 EXTERIOR ELEVATIONS
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	A4.3 EXTERIOR ELEVATIONS
	A4.4 PRESENTATION ELEVATIONS
	A8.1 DOOR SCHEDULE
	A8.2 WINDOW SCHEDULE
LTG1.1	EXTERIOR LIGHTING PLANS

VICINITY MAP

LOT 802
 121 ARIZONA ST



PROJECT TEAM

OWNER:	NELSON EDWARD R III AND NELSON LAURA A AS JT 6205 KENWICK AVE FORT WORTH, TX 76116	SURVEYOR:	FOLEY ASSOCIATES, INC. 125 W. PACIFIC, SUITE B-1 P.O. BOX 1385 TELLURIDE, CO 81435 P. 970.728.6153 F. 970.728.6050	MECHANICAL:	HUGHES CONSULTING ENGINEERING, PA DIMITRI MERRILL, P.E. TELLURIDE, CO 81435 P. 970.239.1949 F. 785.842.2492 dimitri@hce-pa.com
ARCHITECT:	SHIFT ARCHITECTS, LLC KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com	CIVIL:	UNCOMPAGRE ENGINEERING LLC DAVID BALLODE P.E. PO BOX 3945 TELLURIDE, CO 81435 P. 970.729.0683 dbalode@msn.com	LANDSCAPING:	SHIFT ARCHITECTS, LLC KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com
GENERAL CONTRACTOR:	BILL WARD CONSTRUCTION, LLC BILL WARD PO BOX 3422 TELLURIDE, CO 81435 P. 970.708.1502 F. 970.728.4247 bill@billwardconstruction.com	STRUCTURAL:	ANVIL ENGINEERING, LLC CHRIS BURNETT, P.E. 3247 E. 7TH AVENUE DURANGO, CO 81301 P. 970.988.2576 chris@anvil-EFD.com		

SYMBOL LEGEND

SECTION CUT
SECTION NO. (1)
SHEET NO. (A5.1)

WINDOW MARK
WINDOW MARK (A)

DOOR MARK
DOOR MARK (101)

REFERENCE GRID LINE
REFERENCE GRID LINE (A)

FLOOR OR SPOT ELEVATION
FLOOR OR SPOT ELEVATION (NAME ELEVATION)

DRAWING REVISION
DRAWING REVISION (A)

WALL TYPE TAG
WALL TYPE TAG (W1)

NORTH ARROW
NORTH ARROW (N)

BREAK LINE
BREAK LINE

CENTERLINE
CENTERLINE

HIDDEN LINE
HIDDEN LINE

WALL SECTION
REFERENCE NO. (1)
SHEET NO. (A6.1)

DETAIL CUT
REFERENCE NO. (1)
SHEET NO. (A7.1)

EXTERIOR ELEVATION
REFERENCE NO. (1)
SHEET NO. (A4.1)

INTERIOR ELEVATION
REFERENCE NO. (1, 2, 3, 4)
SHEET NO. (A9.1)

DETAIL REFERENCE
REFERENCE NO. (1)
SHEET NO. (A7.1)

ROOM NAME
ROOM NAME (ROOM)
ROOM NO. (101)

STAIR GOING DOWN
DN

STAIR GOING UP
UP

MATERIAL LEGEND

STONE VENEER

BRICK FACING

BARNWOOD SIDING

8" VERTICAL WOOD BOARDS, LAPPED

8" HORIZONTAL WOOD BOARDS

METAL PANEL SIDING

METAL SHINGLE SIDING

METAL VERTICAL PANEL SIDING

METAL HORIZONTAL PANEL SIDING

CORRUGATED METAL SIDING

STANDING SEAM ROOFING

CORRUGATED METAL ROOFING

CONCRETE

FLAGSTONE

GYPSUM BOARD

WOOD FLOORING

STONE TILE

CARPET

CERAMIC TILE

ABBREVIATIONS

AC	Acres
AFF	Above Finished Floor
AGG	Aggregate
AL	Aluminum
BM	Bench Mark
BSN	Basin
BTH	Bath
CL	Centre Line
CJ	Control Join
CLST	Closet
CP	Carpet
CT	Ceramic Tile
DIA	Diameter
DP	Downpipe
DW	Dishwasher
EX	Existing
FF	Finished Floor
FHR	Fire Hose Reel
FP	Flue Pipe
GAL	Galvanized
GL	Ground Line
GFI	Ground Fault Circuit Interrupter
GPO	General Power Outlet
IBC	International Building Code
MDF	Medium Density Fibreboard
MR	Metal Roofing
MSB	Main Switch Board
NTS	Not To Scale
PFC	Parallel Flanged Steel Channel
PL	Plastic Laminate
PT	Paint
RC	Reinforced Concrete
REF	Refrigerator
RL	Reduced Level
S	Sanitary Drainage Pipe
SHR	Shower
SK	Sink
SN	Stone
SS	Stainless Steel
ST	S Trap
STF	Steel Trowel Finished Concrete
SW	Stormwater Drainage Line
T&G	Tongue and Grooved
TO	Top Of
TPH	Toilet Paper Holder
TR	Tiled Roofing
TSP	Timber Strip Floor
TYP	Typical
U	Urinal
UOS	Unless Otherwise Specified
V	Valley
VIF	Verify In Field
VP	Vent Pipe
WC	Water Closet (Toilet)
WM	Washing Machine
WPM	Water Proof Membrane

WALL LEGEND

WOOD STUD FRAMING EXTERIOR

WOOD STUD FRAMING INTERIOR PARTITION

1 HOUR FIRE WALL

STONE VENEER

WOOD SIDING

CONCRETE FOUNDATION

DIMENSIONING LEGEND

- GRIDS ALIGN WITH OUTSIDE FACE OF FOUNDATION WALL AND OUTSIDE FACE OF STUD AT EXTERIOR STRUCTURAL FRAME WALL.
- WALLS AND PARTITIONS SHOWN IN PLAN INCLUDE FINISH MATERIALS.
- DIMENSIONS ARE SHOWN FROM GRID TO GRID, GRID TO FACE OF STUD, AND FACE OF STUD TO FACE OF STUD AT INTERIOR PARTITIONS, TYPICAL.
- INTERIOR PARTITIONS FLUSH FACE TO FACE WITH THEIR EXTERIOR COUNTERPARTS, TYPICAL.

PROJECT DATUM LEGEND

ACTUAL ELEVATION ABOVE SEA LEVEL = PROJECT 0'-0"

T.O. Slab Ground Lvl
T.O. Ply Ground Lvl
T.O. Gyp Ground Lvl
XXXX'X" USGS
0'-0" PROJECT ELEV

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFFS MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

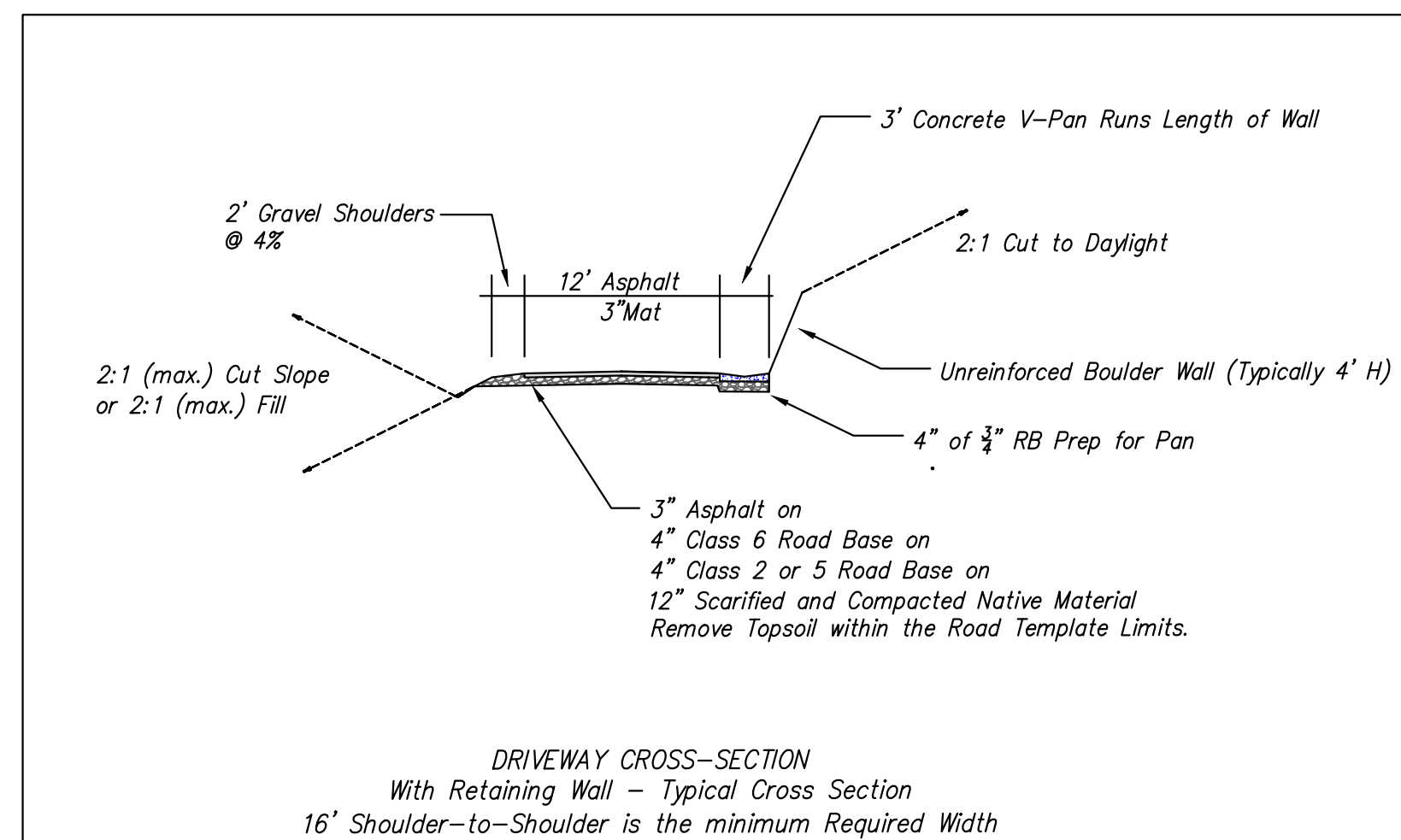
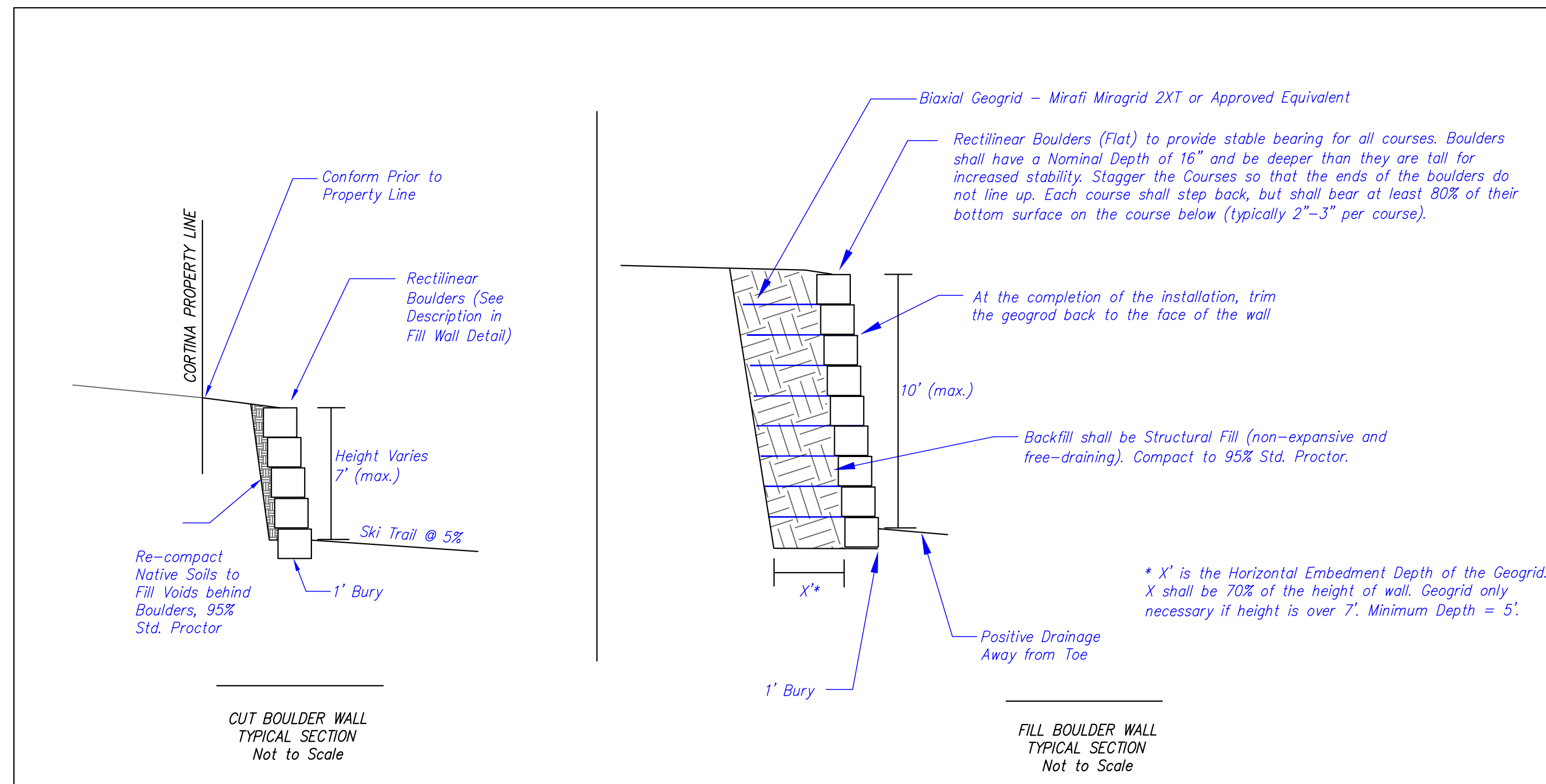
22. ALL DISTURBED GROUND SHALL BE RE-SEED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



ACO DRAIN
KlassikDrain - K100 Galvanized steel edge rail channel system

One meter channel: 30.32' (1 meter)

Half meter channel: 15.16' (0.5 meter)

Knockouts included on every 5th channel

Type K9010 In-line catch basin

19.69' (6.0 meter), 10.60' (3.20 meter), 22.67' (6.98 meter), 5.12' (1.56 meter)

Total capacity = 10.49 gallons

Outlet flow rates

Outlet	Product	Outlet size (inch)	Invert Depth (ft)	GPM	CFS	End Cap
B	Bottom outlet - K20	4"	1.94'	108	1.24	
	Bottom outlet - K40	4"	1.81'	187	2.12	
	Bottom outlet - K80	6"	1.56'	357	4.03	
	Bottom outlet - K40	6"	1.81'	308	3.48	
C	End outlet - K20	4"	1.94'	108	1.24	
	End outlet - K40	4"	1.81'	187	2.12	
	End outlet - K80	6"	1.56'	357	4.03	
	End outlet - K40	6"	1.81'	308	3.48	
D	K1-20S6 6" outlet cap	6"	1.94'	253	2.82	
	K1-20S6 6" outlet cap	6"	1.81'	264	2.99	
	Type K1-9010	4"	19.30'	226	2.55	
	Type K1-9010	4"	18.20'	265	2.99	
E	Type K1-9010	4"	18.20'	265	2.99	
	Type K1-9010	4"	19.30'	226	2.55	
	Type K1-9010	4"	20.40'	289	3.26	
	Type K1-9010	4"	21.50'	312	3.51	
F	Type K1-9010	4"	22.60'	336	3.79	
	Type K1-9010	4"	23.70'	359	4.03	
	Type K1-9010	4"	24.80'	383	4.28	
	Type K1-9010	4"	25.90'	407	4.53	

Note: These are the peak flow rates at the specified outlet. NOT overflow flow rates. Catch basins flow rates are without knockouts, using knock-out locations below.

April 2018 www.ACODrain.us

ACO DRAIN
KlassikDrain - K100 Galvanized steel edge rail channel system

Description	Part No.	Invert (incl.) mm	Weight (lb)	Description	Part No.	Invert (incl.) mm	Weight (lb)		
K1-00 Neutral channel - 30.32' (1m)	74041	3.84	109	28.1	K1-20 Sloped channel - 30.32' (1m)	74028	9.45	240	49.8
K1-10 Sloped channel - 30.32' (1m)	74051	4.33	109	28.0	K1-30 Sloped channel - 30.32' (1m)	74039	9.94	240	50.6
K1-20 Sloped channel - 30.32' (1m)	74062	4.33	110	29.0	K1-40 Sloped channel - 30.32' (1m)	74050	9.94	250	51.4
K1-30 Sloped channel - 30.32' (1m)	74053	4.33	115	29.7	K1-50 Sloped channel - 30.32' (1m)	74067	9.94	260	52.2
K1-40 Sloped channel - 30.32' (1m)	74054	4.72	120	30.3	K1-60 Sloped channel - 30.32' (1m)	74071	10.24	260	53.0
K1-50 Sloped channel - 30.32' (1m)	74055	4.92	125	31.3	K1-70 Sloped channel - 30.32' (1m)	74071	10.24	260	53.2
K1-60 Sloped channel - 30.32' (1m)	74056	5.12	130	32.1	K1-80 Sloped channel - 30.32' (1m)	74072	10.24	270	54.8
K1-70 Sloped channel - 30.32' (1m)	74057	5.31	135	32.9	K1-90 Sloped channel - 30.32' (1m)	74073	10.48	270	55.4
K1-80 Sloped channel - 30.32' (1m)	74058	5.51	140	33.7	K1-00 Neutral channel - 19.69' (6.0m)	74044	3.84	280	57.0
K1-90 Sloped channel - 30.32' (1m)	74059	5.71	145	34.5	K1-10 Sloped channel - 30.32' (1m)	74045	4.33	280	57.8
K1-00 Neutral channel - 30.32' (1m)	74040	5.91	150	35.3	K1-20 Sloped channel - 30.32' (1m)	74046	4.82	280	58.6
K1-10 Sloped channel - 30.32' (1m)	74041	5.91	150	35.3	K1-30 Sloped channel - 30.32' (1m)	74047	5.31	280	59.4
K1-20 Sloped channel - 30.32' (1m)	74042	5.91	150	35.3	K1-40 Sloped channel - 30.32' (1m)	74048	5.80	280	60.2
K1-30 Sloped channel - 30.32' (1m)	74043	6.30	160	36.9	K1-50 Sloped channel - 30.32' (1m)	74049	6.30	280	61.0
K1-40 Sloped channel - 30.32' (1m)	74044	6.30	160	36.9	K1-60 Sloped channel - 30.32' (1m)	74050	6.79	280	61.8
K1-50 Sloped channel - 30.32' (1m)	74045	6.79	170	37.5	K1-70 Sloped channel - 30.32' (1m)	74051	7.18	280	62.6
K1-60 Sloped channel - 30.32' (1m)	74046	7.18	170	37.5	K1-80 Sloped channel - 30.32' (1m)	74052	7.67	280	63.4
K1-70 Sloped channel - 30.32' (1m)	74047	7.67	180	39.1	K1-90 Sloped channel - 30.32' (1m)	74053	8.16	280	64.2
K1-80 Sloped channel - 30.32' (1m)	74048	7.67	180	39.1	K1-00 Neutral channel - 19.69' (6.0m)	74044	3.84	280	57.0
K1-90 Sloped channel - 30.32' (1m)	74049	8.16	190	40.7	K1-10 Sloped channel - 30.32' (1m)	74045	4.33	280	57.8
K1-00 Neutral channel - 19.69' (6.0m)	74044	3.84	280	57.0	K1-20 Sloped channel - 30.32' (1m)	74046	4.82	280	58.6
K1-10 Sloped channel - 30.32' (1m)	74045	4.33	280	57.8	K1-30 Sloped channel - 30.32' (1m)	74047	5.31	280	59.4
K1-20 Sloped channel - 30.32' (1m)	74046	4.82	280	58.6	K1-40 Sloped channel - 30.32' (1m)	74048	5.80	280	60.2
K1-30 Sloped channel - 30.32' (1m)	74047	5.31	280	59.4	K1-50 Sloped channel - 30.32' (1m)	74049	5.80	280	61.0
K1-40 Sloped channel - 30.32' (1m)	74048	5.80	280	60.2	K1-60 Sloped channel - 30.32' (1m)	74050	6.79	280	61.8
K1-50 Sloped channel - 30.32' (1m)	74049	5.80	280	61.0	K1-70 Sloped channel - 30.32' (1m)	74051	7.18	280	62.6
K1-60 Sloped channel - 30.32' (1m)	74050	6.79	280	61.8	K1-80 Sloped channel - 30.32' (1m)	74052	7.67	280	63.4
K1-70 Sloped channel - 30.32' (1m)	74051	7.18	280	62.6	K1-90 Sloped channel - 30.32' (1m)	74053	8.16	280	64.2
K1-80 Sloped channel - 30.32' (1m)	74052	7.67	280	63.4	K1-00 Neutral channel - 19.69' (6.0m)	74044	3.84	280	57.0
K1-90 Sloped channel - 30.32' (1m)	74053	8.16	280	64.2	K1-10 Sloped channel - 30.32' (1m)	74045	4.33	280	57.8
K1-00 Neutral channel - 19.69' (6.0m)	74044	3.84	280	57.0	K1-20 Sloped channel - 30.32' (1m)	74046	4.82	280	58.6
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K1-20 Sloped channel - 30.32' (1m)	74046	4.82	280	58.6	K1-40 Sloped channel - 30.32' (1m)	74048	5.80	280	60.2
K1-30 Sloped channel - 30.32' (1m)	74047	5.31	280	59.4	K1-50 Sloped channel - 30.32' (1m)	74049	5.80	280	61.0
K1-40 Sloped channel - 30.32' (1m)	74048	5.80	280	60.2	K1-60 Sloped channel - 30.32' (1m)	74050	6.79	280	61.8
K1-50 Sloped channel - 30.32' (1m)	74049	5.80	280	61.0	K1-70 Sloped channel - 30.32' (1m)	74051	7.18	280	62.6
K1-60 Sloped channel - 30.32' (1m)	74050	6.79	280	61.8	K1-80 Sloped channel - 30.32' (1m)	74052	7.67	280	63.4
K1-70 Sloped channel - 30.32' (1m)	74051	7.18	280	62.6	K1-90 Sloped channel - 30.32' (1m)	74053	8.16	280	64.2
K1-80 Sloped channel - 30.32' (1m)	74052	7.67	280	63.4					
K1-90 Sloped channel - 30.32' (1m)	74053	8.16	280	64.2					

Specifications Information

1. This channel offers a bottom knockout feature, 4" round/6" oval.

2. Invert shown are for the main end, for female street depth add 20mm (3/4") to invert depth.

3. To calculate the overall channel depth add 20mm (3/4") to invert depth.

4. This catch basin includes a polymer concrete top, removable QuickLock locking bar, heavy truck and plastic base, plastic base, separate grate.

5. This catch basin includes a polymer concrete top, removable QuickLock locking bar, deep truck bucket, plastic rear and plastic apron.

6. This catch basin includes a polymer concrete top, removable QuickLock locking bar, deep truck bucket, plastic rear and plastic apron.

ACO Specification Information

Water absorption: 0.5% (ISO 10545-6)

Waterproof: YES

Skid proof: YES

Oil resistant: YES

Chemical and alkali resistant: YES

UV resistant: YES

Load: 1000 kg/m² (ISO 10545-4)

Grates: ISO 10545-4

Material: Polymer concrete

Installation: See manufacturer's installation instructions

ACO, Inc. Northeast Sales Office, West Sales Office, Southeast Sales Office, Electronic Contact.

ACO DRAIN
Type 478Q Longitudinal ductile iron grate (ADA)

Plan view: 19.69' (500mm)

Side elevation: 1.77' (43mm), 4.84' (123mm), 0.79' (20mm)

Description	Part No.	Length (inch)	Width (inch)	Weight (lb)
QuickLock grate	80314	19.69 (500)	4.85 (123.1)	12.8
QuickLock locking bar	82319	-	-	0.5
QuickLock grate removal tool	81318	-	-	0.3

ACO Specification Information

QuickLock locking mechanism

ACO QuickLock is a patented bottom locking system. Grates are removed and replaced with the minimum time and effort for ease of maintenance. The unique design provides a positive "snap down" fit into the locking bar. It is ideal for the grate which locks into the spring clip in the locking bar.

ACO, Inc. Northeast Sales Office, West Sales Office, Southeast Sales Office, Electronic Contact.

Trench Drain - Cut Sheet 1

Trench Drain - Cut Sheet 2

Trench Drain - Grate

Uncompahgre Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2023-02-21
SUBMITTAL 2023-03-27
DRB 2023-09-11

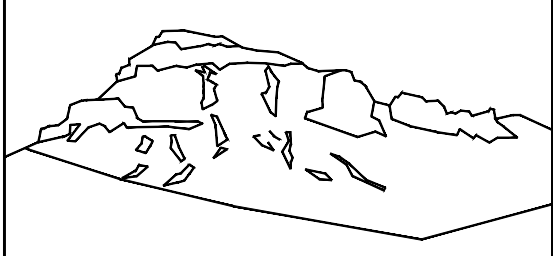
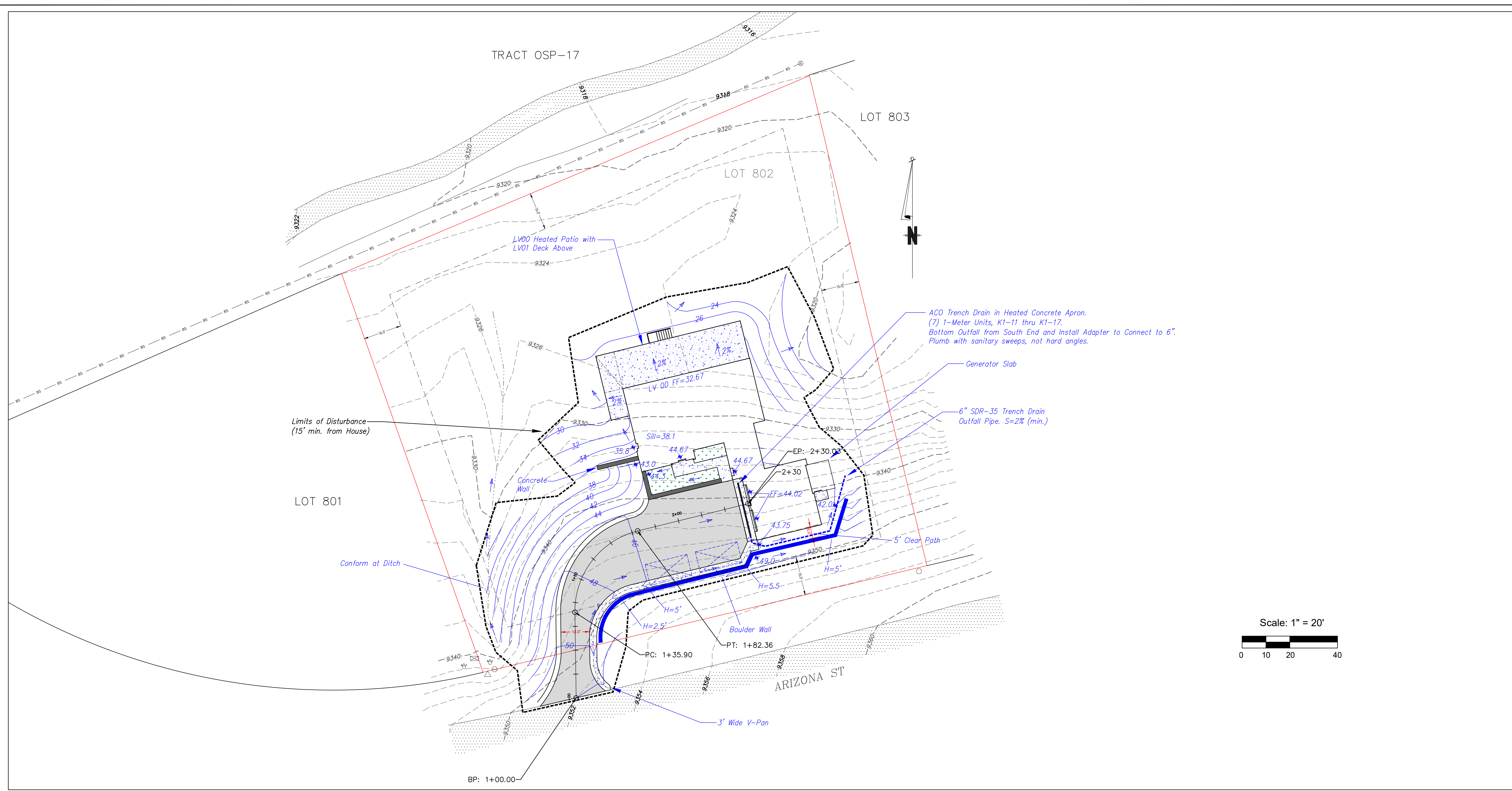
Nelson Residence
Lot 802
Arizona Street
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



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P.O. Box 3945
Telluride, CO 81435
970-729-0683

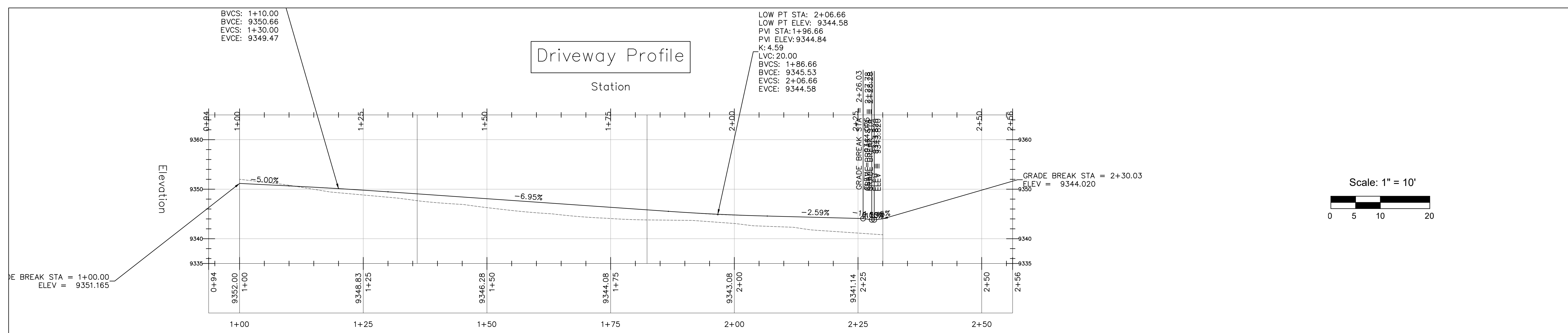
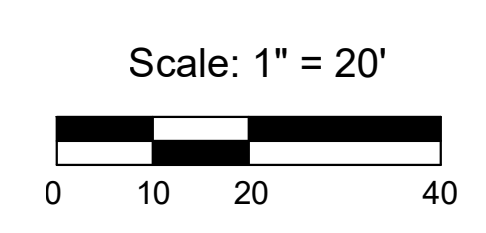
SUBMISSIONS:

SUBMITTAL	2023-02-21
SUBMITTAL	2023-03-27
DRB	2023-09-11

Nelson Residence
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Arizona Street
Mtn. Village, CO



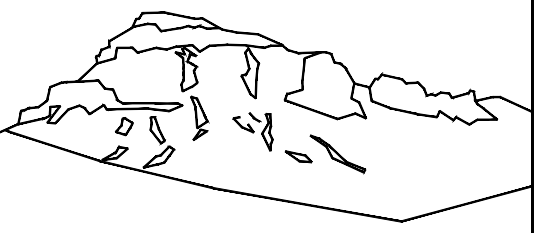
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Site Grading with Driveway Profile

Trees Not Displayed

C2.1



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2023-02-21
SUBMITTAL 2023-03-27
Permit 2023-08-02

Nelson Residence
Lot 802
Arizona Street
Mtn. Village, CO

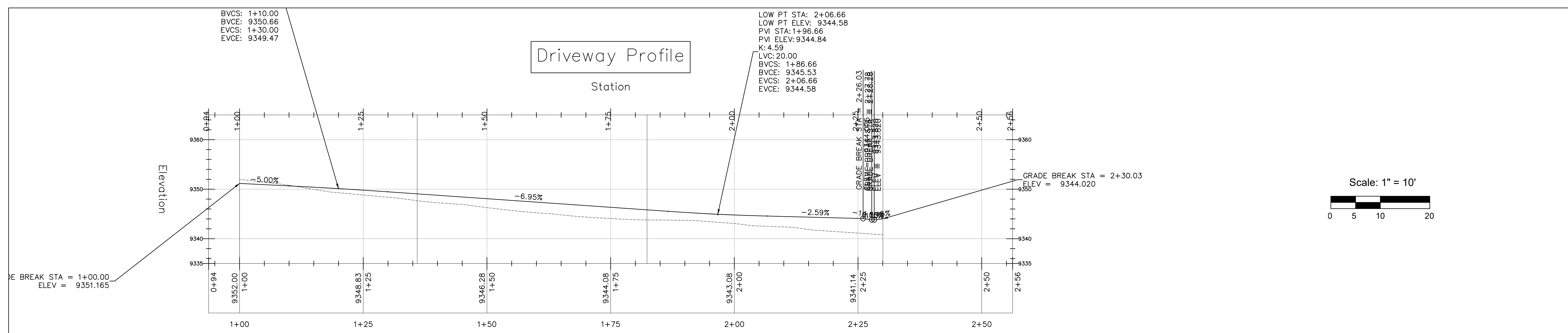
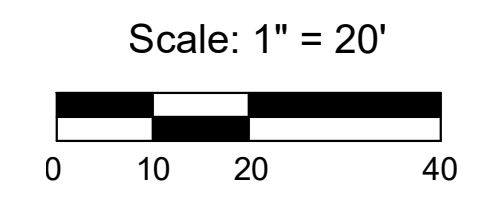
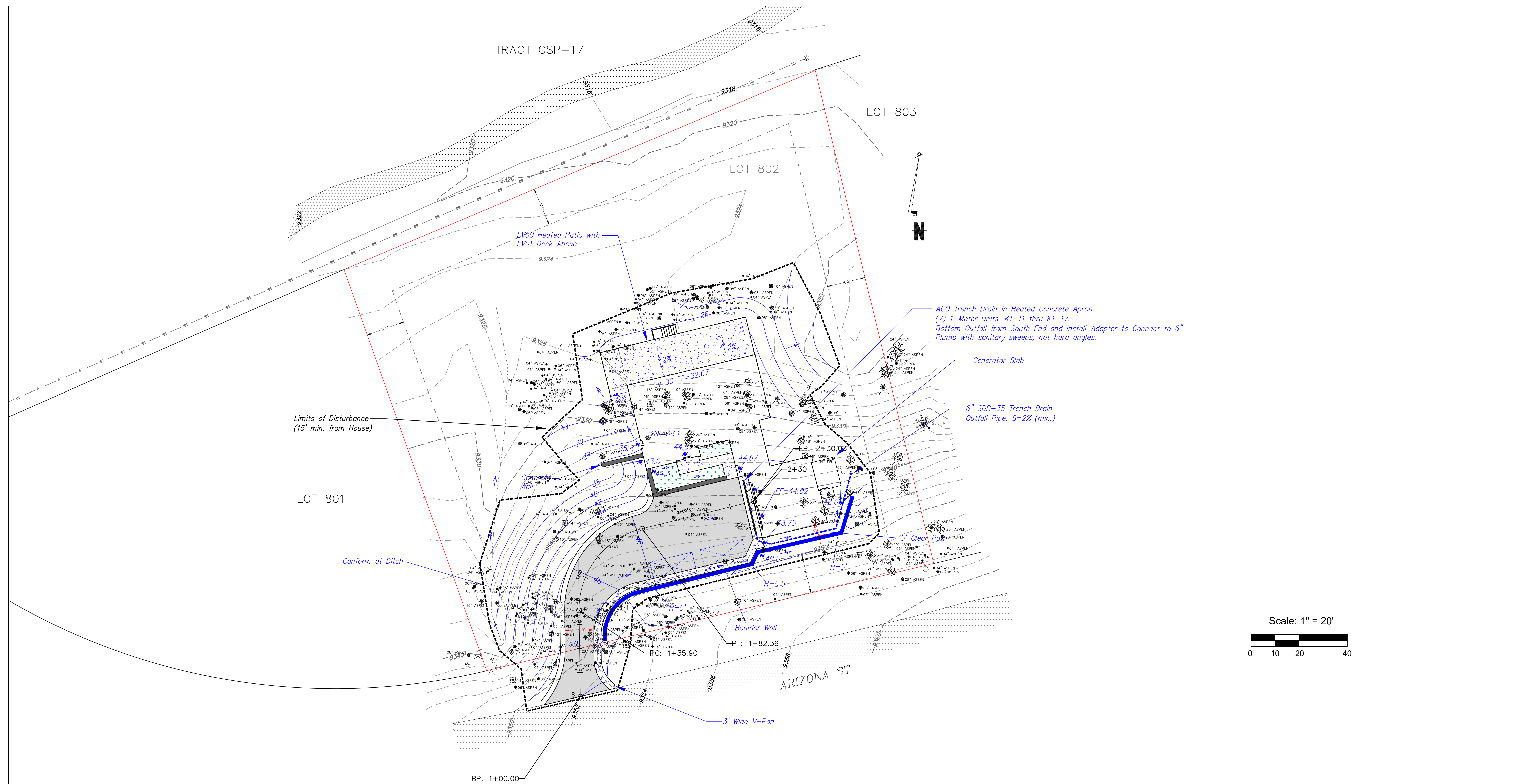


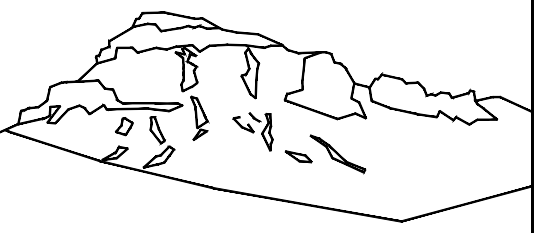
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ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading
with
Driveway
Profile

Trees
Displayed

C2.2





Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2023-02-21
SUBMITTAL	2023-03-27
DRB	2023-09-11

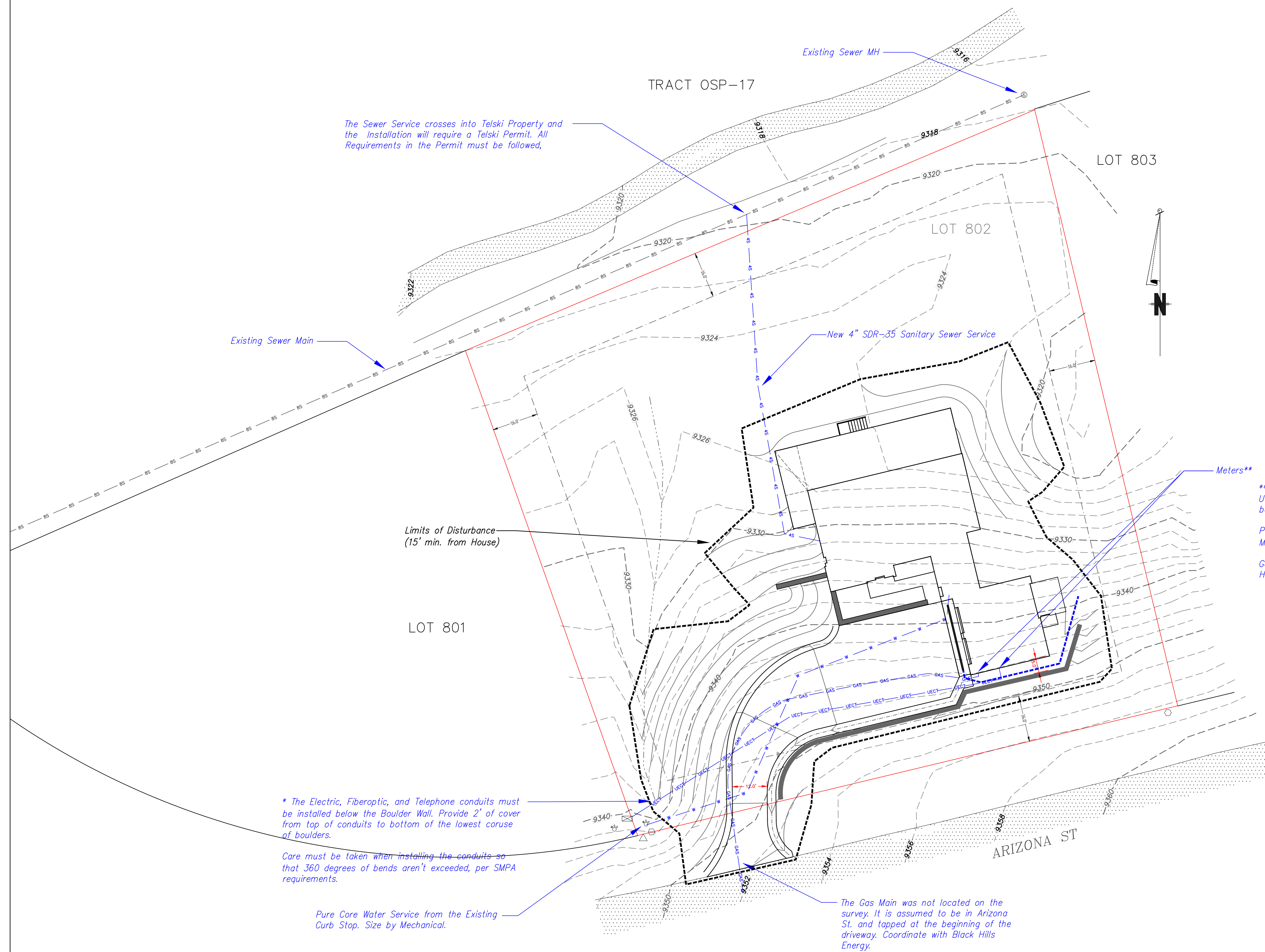
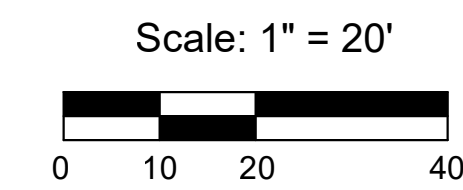
Nelson Residence
Lot 802
Arizona Street
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL
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AND REPORT ANY DISCREPANCIES TO THE
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DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3



The Sewer Service crosses into Telski Property and the Installation will require a Telski Permit. All Requirements in the Permit must be followed.

LOT 803

LOT 802

Limits of Disturbance
(15' min. from House)

LOT 801

Meters**

** The Meter Locations must be approved by the Utility Providers. All Separation Requirements must be followed.

Power must be coordinated and approved by Sand Miguel Power Association (SMPA).

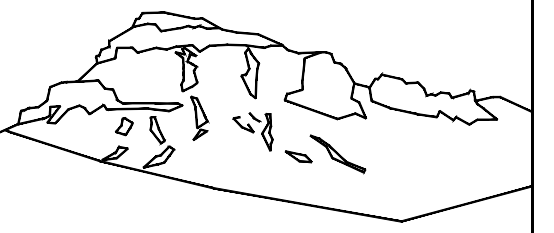
Gas must be coordinated and approved by Black Hills Energy.

* The Electric, Fiberoptic, and Telephone conduits must be installed below the Boulder Wall. Provide 2' of cover from top of conduits to bottom of the lowest course of boulders.

Care must be taken when installing the conduits so that 360 degrees of bends aren't exceeded, per SMPA requirements.

Pure Core Water Service from the Existing Curb Stop. Size by Mechanical.

The Gas Main was not located on the survey. It is assumed to be in Arizona St. and tapped at the beginning of the driveway. Coordinate with Black Hills Energy.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2023-02-21
SUBMITTAL	2023-03-27
DRB	2023-09-11

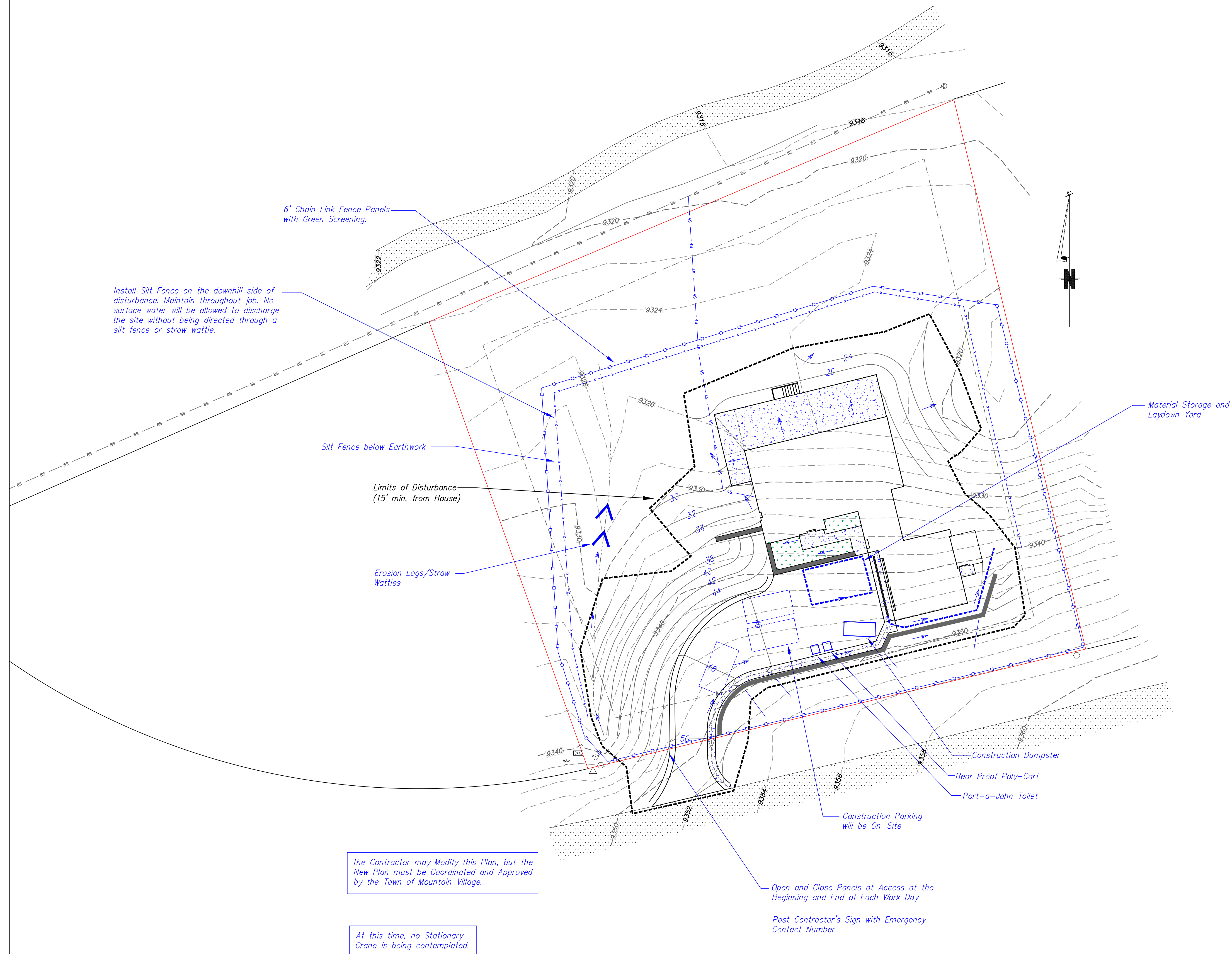
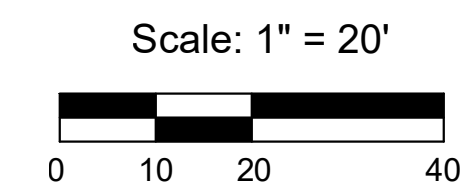
Nelson Residence
Lot 802
Arizona Street
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Construction
Mitigation

C4



The Contractor may Modify this Plan, but the New Plan must be Coordinated and Approved by the Town of Mountain Village.

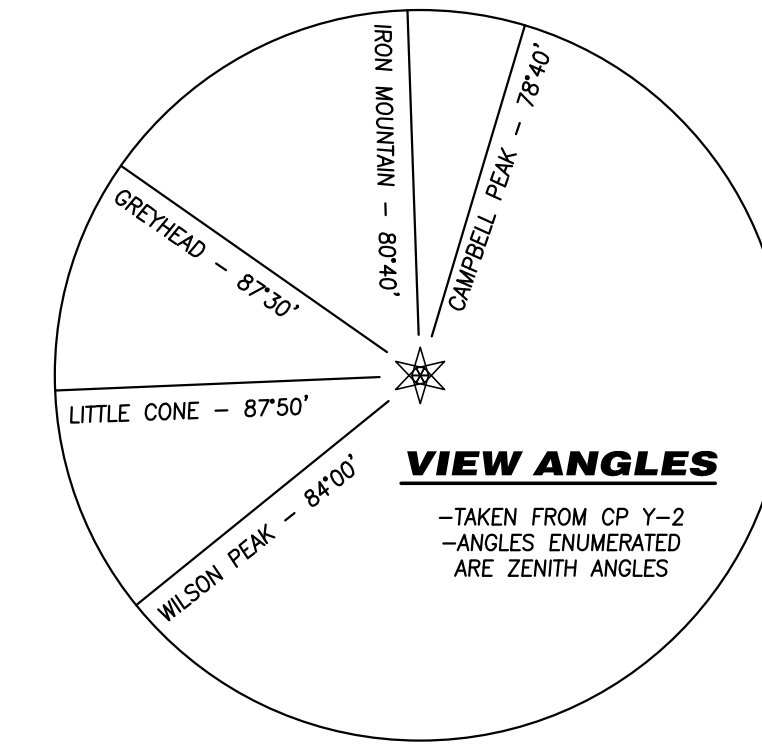
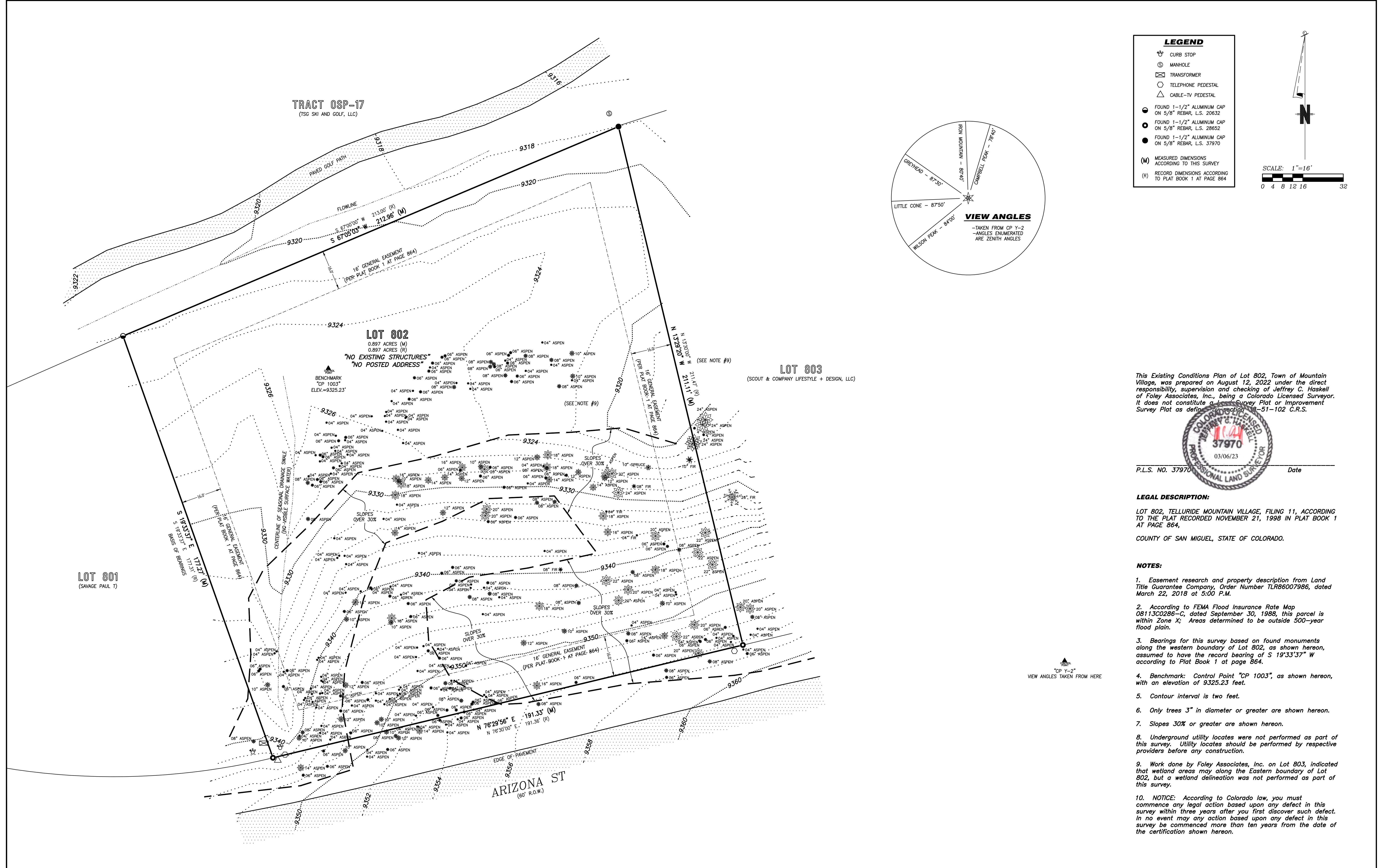
At this time, no Stationary Crane is being contemplated.

TRACT OSP-17
(TSG SKI AND GOLF, LLC)

LOT 802
0.897 ACRES (M)
0.897 ACRES (R)

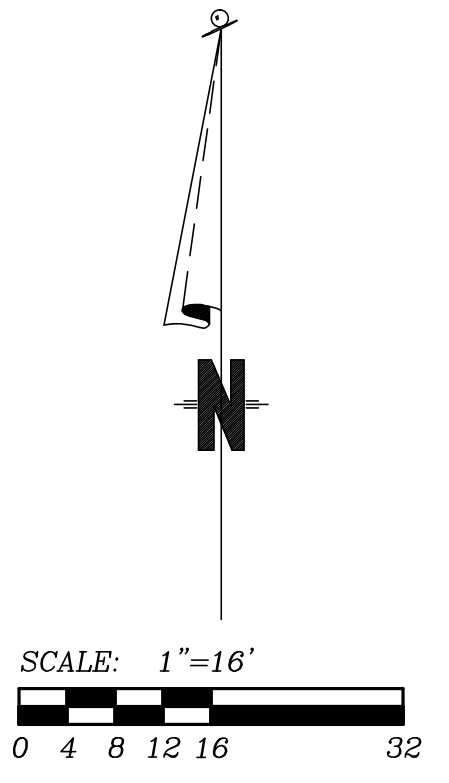
LOT 803
(SCOUT & COMPANY LIFESTYLE + DESIGN, LLC)

LOT 801
(SAVAGE PAUL T)

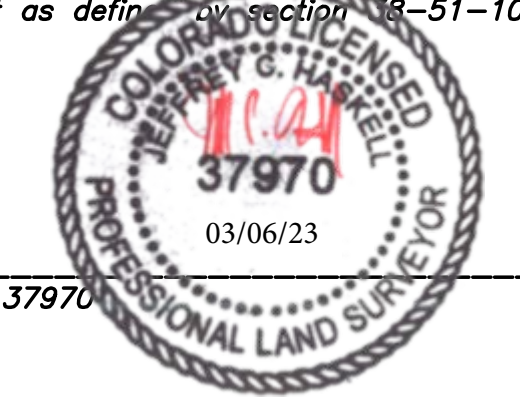


LEGEND

- ⊕ CURB STOP
- ⊙ MANHOLE
- ⊞ TRANSFORMER
- TELEPHONE PEDESTAL
- △ CABLE-TV PEDESTAL
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 20632
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 28652
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37970
- (M) MEASURED DIMENSIONS ACCORDING TO THIS SURVEY
- (R) RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 864



This Existing Conditions Plan of Lot 802, Town of Mountain Village, was prepared on August 12, 2022 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



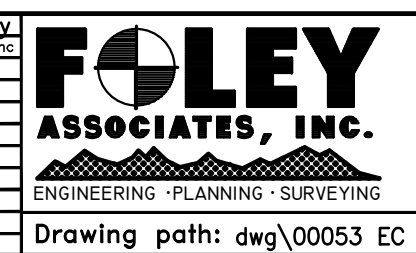
P.L.S. NO. 37970 Date

LEGAL DESCRIPTION:
LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998 IN PLAT BOOK 1 AT PAGE 864,
COUNTY OF SAN MIGUEL, STATE OF COLORADO.

- NOTES:**
- Easement research and property description from Land Title Guarantee Company, Order Number TLR86007986, dated March 22, 2018 at 5:00 P.M.
 - According to FEMA Flood Insurance Rate Map 08113C0286-C, dated September 30, 1988, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
 - Bearings for this survey based on found monuments along the western boundary of Lot 802, as shown hereon, assumed to have the record bearing of S 19°33'37" W according to Plat Book 1 at page 864.
 - Benchmark: Control Point "CP 1003", as shown hereon, with an elevation of 9325.23 feet.
 - Contour interval is two feet.
 - Only trees 3" in diameter or greater are shown hereon.
 - Slopes 30% or greater are shown hereon.
 - Underground utility locates were not performed as part of this survey. Utility locates should be performed by respective providers before any construction.
 - Work done by Foley Associates, Inc. on Lot 803, indicated that wetland areas may along the Eastern boundary of Lot 802, but a wetland delineation was not performed as part of this survey.
 - NOTICE:** According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

EXISTING CONDITIONS PLAN
Lot 802, Town of Mountain Village,
San Miguel County, Colorado.

Project Mgr:	JH	Rev.	description	date	by
Technician:	MC	1	Red line edit, added view angle symbols	03/06/23	JCH
Technician:					
Checked by:	JZ				
Start date:	08/12/2022				

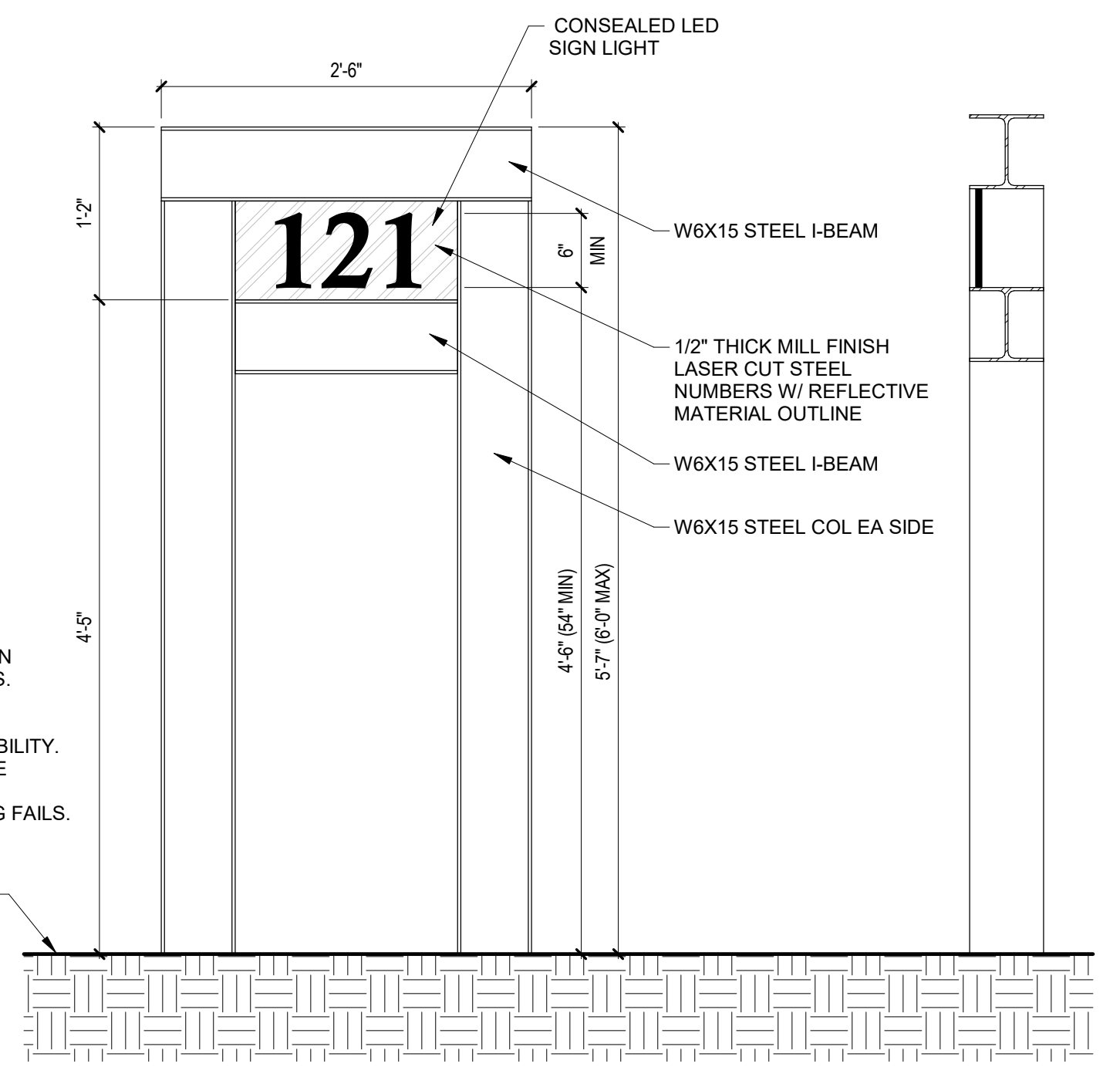


970-728-6153 970-728-6050 fax
P.O. BOX 1385
125 W. PACIFIC, SUITE B-1
TELLURIDE, COLORADO 81435

F:\Jobs\2025\20250810\00053.dwg 3/6/2023 11:56:43 AM LFC3

REVISIONS

NO.	DATE	DESC.
2	09/11/23	Revised max lot coverage
3	09/11/23	New snow melt plans
4	09/11/23	Revised snow melt calc to include enlarged lower level patio

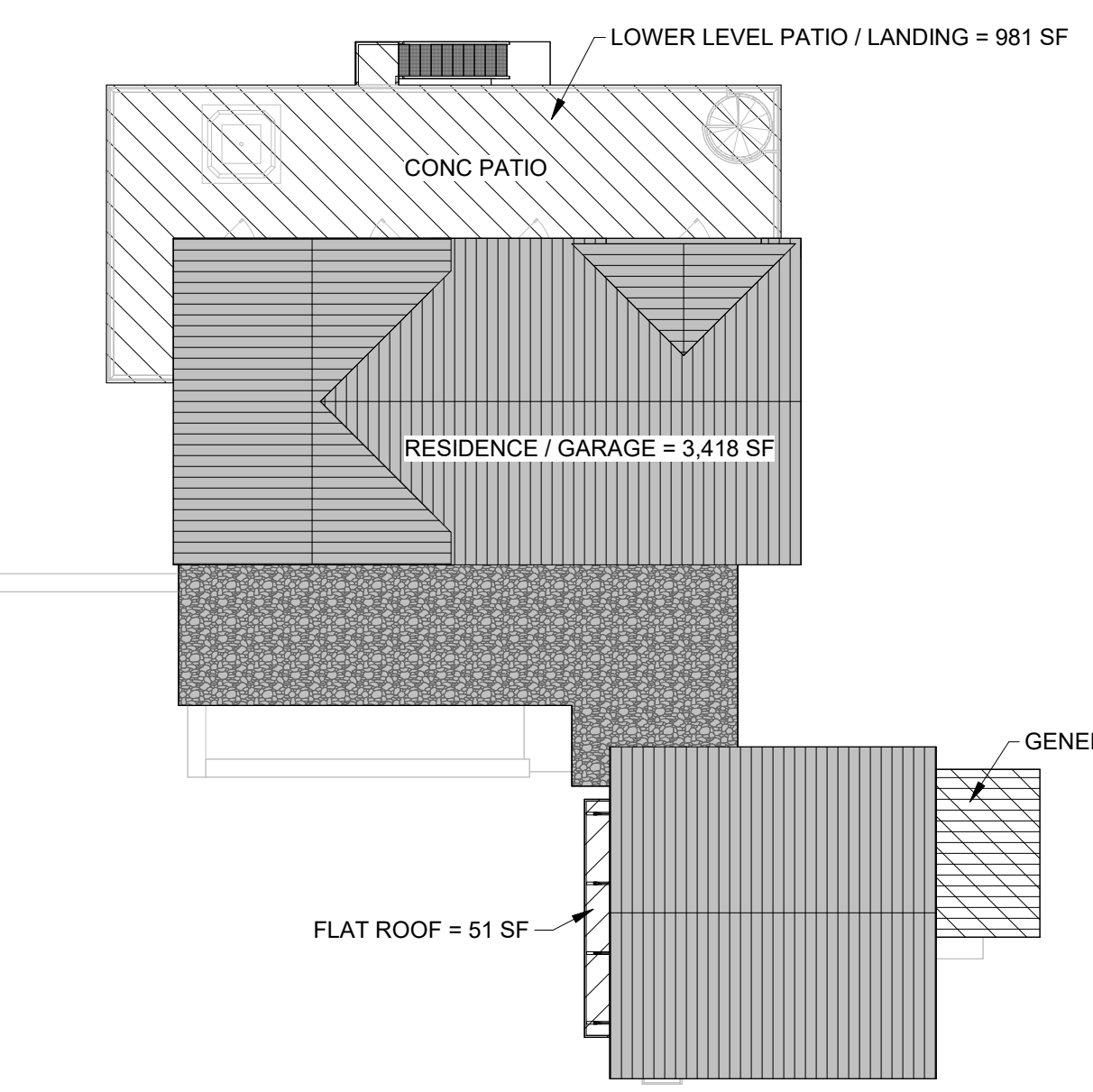


- NOTE: ADDRESS MONUMENT SHALL BE IN ACCORDANCE WITH CDC REQUIREMENTS.
1. PROVIDE CONTRASTING LETTERS / NUMBERS TO IMPROVE DAYTIME VISIBILITY.
 2. LETTERING / NUMBERING SHALL HAVE REFLECTIVE MATERIAL OUTLINE FOR NIGHTTIME VISIBILITY WHEN LIGHTING FAILS.

2 ADDRESS MONUMENT
 1" = 1'-0"

MAX LOT COVERAGE:

RESIDENCE / GARAGE (TO ROOF OVERHANG DRIP LINE)	3,418 SF
FLAT ROOF (TO ROOF OVERHANG DRIP LINE)	51 SF
LOWER LEVEL PATIO / STAIR LANDING	981 SF
GENERATOR ENCLOSURE	149 SF
TOTAL:	4,599 SF

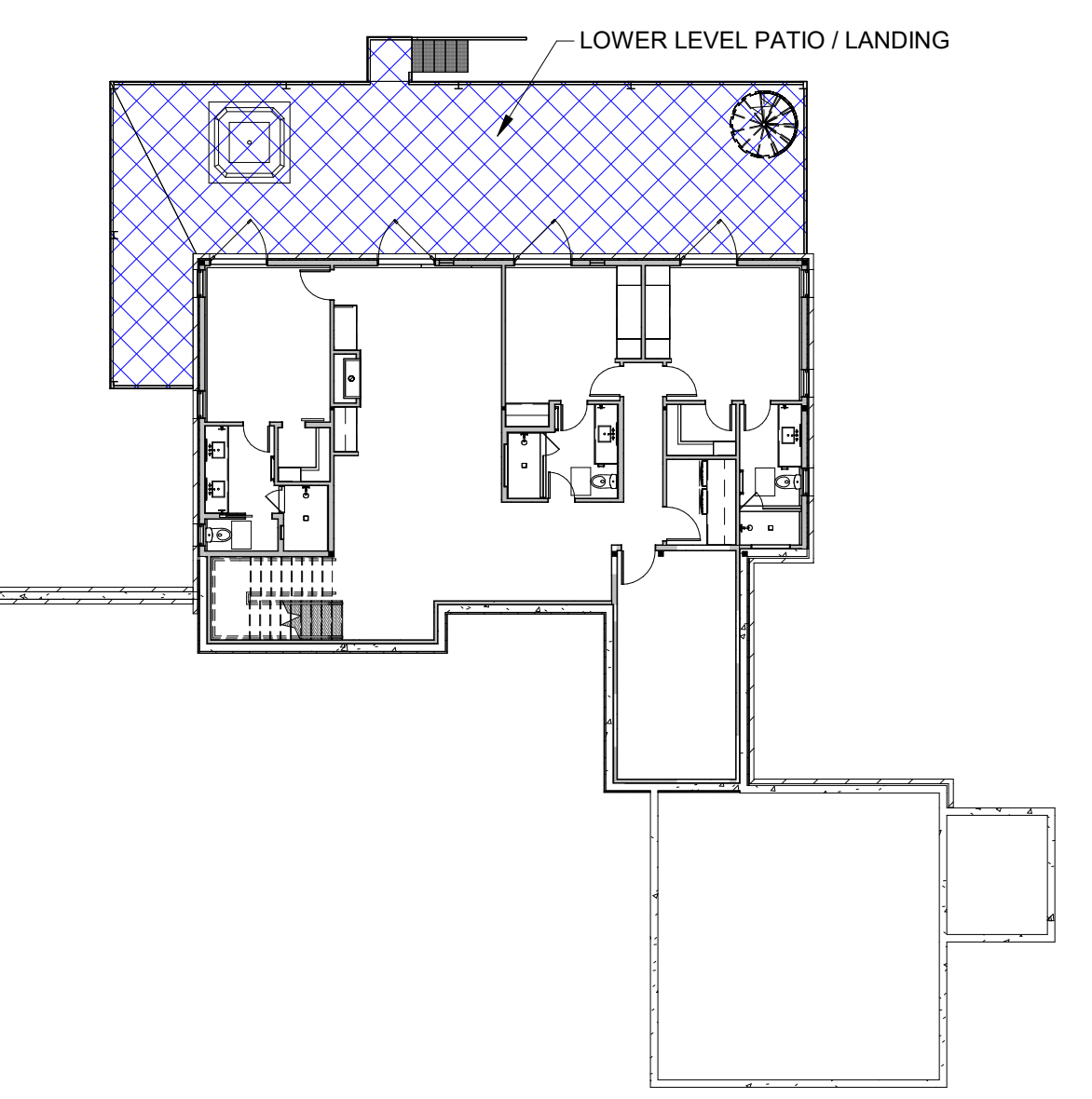


3 MAX LOT COVERAGE
 1/16" = 1'-0"

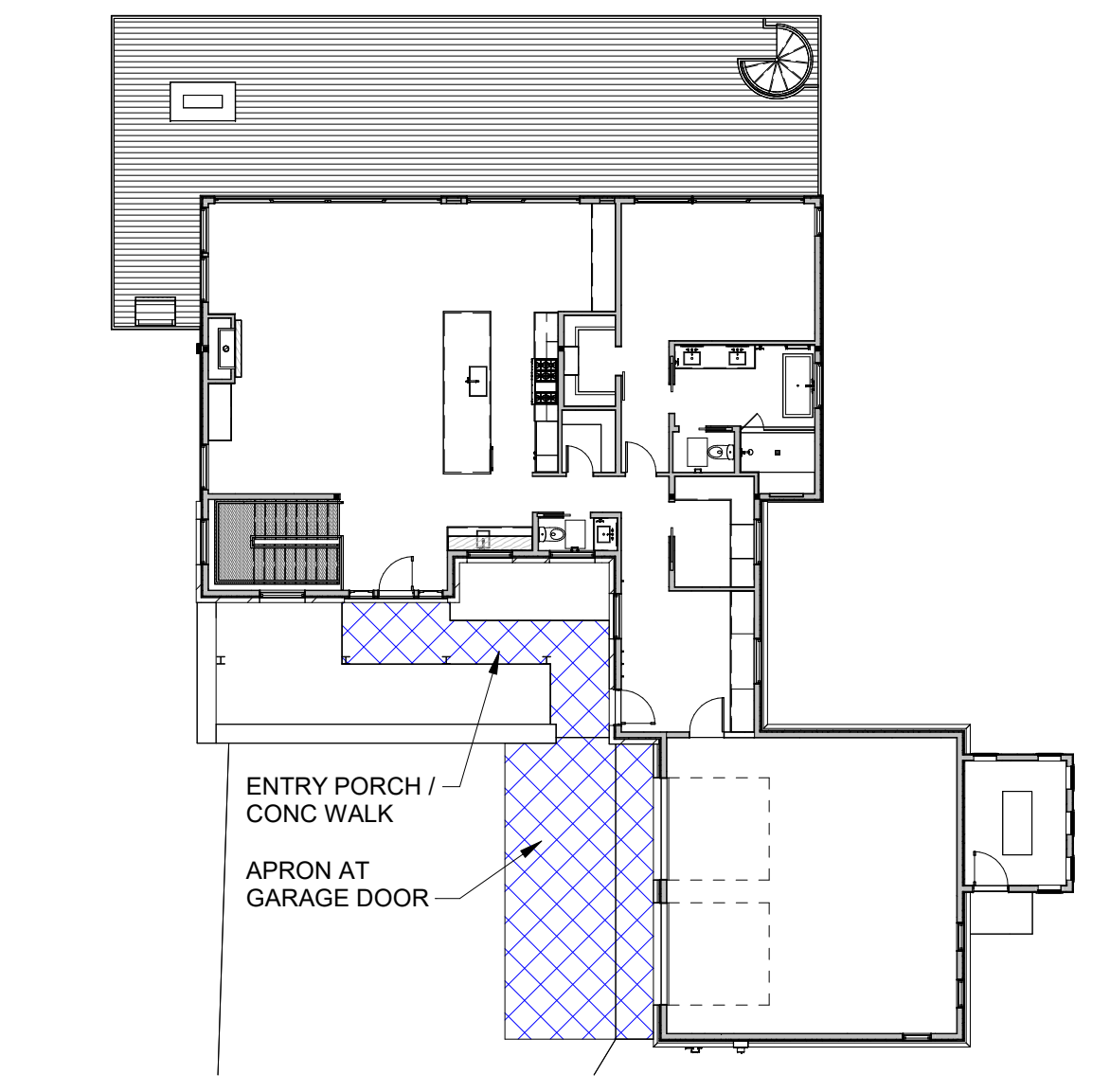
SNOW MELT

PROPOSED AREAS:

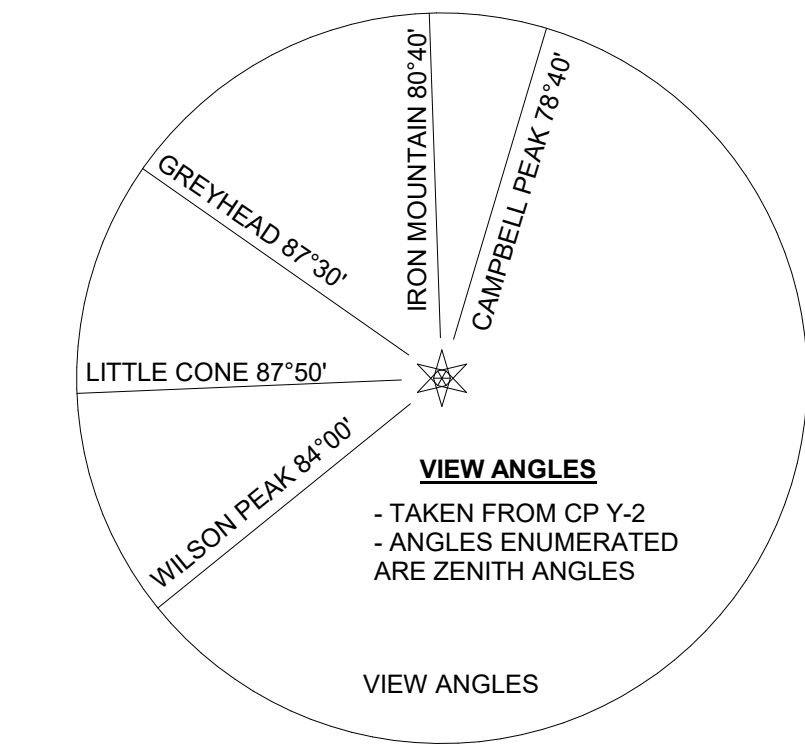
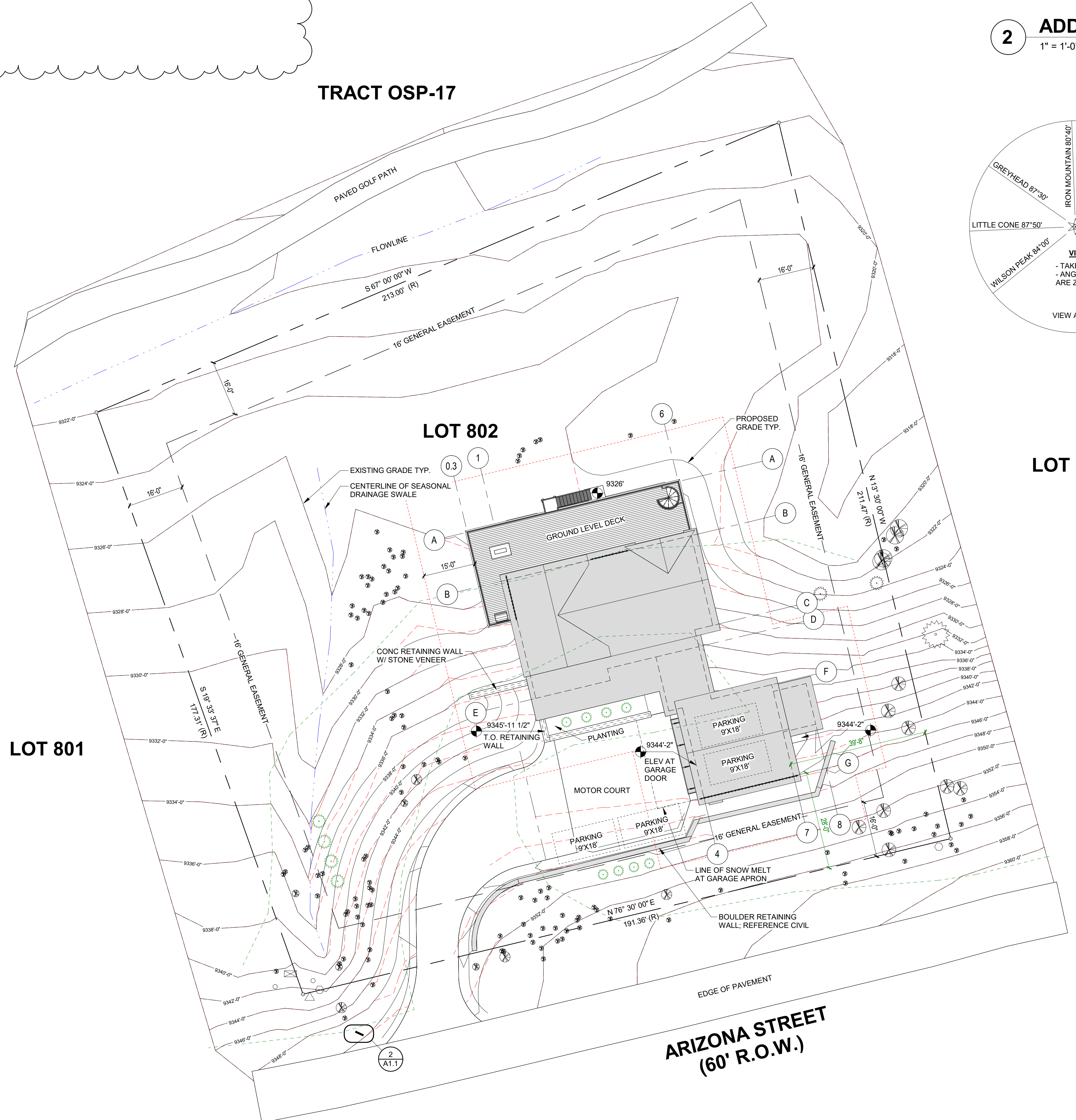
LOWER LEVEL CONCRETE PATIO / LANDING	1,067 SF
COVERED ENTRY PORCH / WALKS	139 SF
CONCRETE APRON AT GARAGE DOOR	344 SF
PROPOSED SNOW MELT:	1,550 SF



4 LOWER LEVEL SNOW MELT
 1/16" = 1'-0"



5 GROUND LEVEL SNOW MELT
 1/16" = 1'-0"

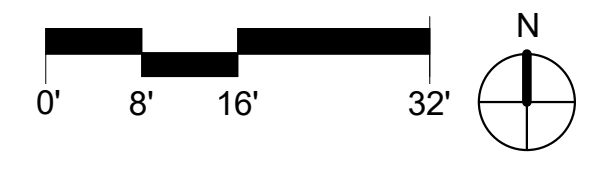


PROPOSED PARKING:
 (2) ENCLOSED
 (2) SURFACE

FLOOR ELEVATIONS:
 T.O. SLAB @ LOWER LEVEL = 9332'-8"
 T.O. GYP @ GROUND LEVEL = 9344'-8"
 MOTOR COURT @ GARAGE DOOR = 9344'-2"

PATIO / DECK ELEVATIONS:
 LOWER LEVEL PATIO = 9332'-4" (SLOPES 1/8" TO DRAIN)
 GROUND LEVEL DECK = 9344'-3"

1 ARCHITECTURAL SITE PLAN
 1/16" = 1'-0"



TRACT OSP-17

LOT 802

LOT 803

LOT 801

ARIZONA STREET
 (60' R.O.W.)

PROJECT ISSUE DATE:
 09/18/23 DRB REVISED PRELIMINARY REVIEW

REVISIONS

NO.	DATE	DESC.
5	09/11/23	Revised location of bristlecone pine tree (outside fire mitigation zone 1)
6	09/11/23	Revised bedding, rock garden
7	09/11/23	Revised plant schedule showing only current plants on project
8	09/11/23	Tree planting / protection / removal notes
9	09/11/23	Tree planting diagram

LEGEND

	CONCRETE PAVERS		INDIGENOUS SHRUBS
	WILDFIRE MITIGATION BOUNDARY		EXISTING DECIDUOUS TREE
	LIMIT OF DISTURBANCE		EXISTING DECIDUOUS TREE TO BE REMOVED
	PERIMETER FENCING W/ ATTACHED GREEN SCREENING		NEW DECIDUOUS TREE
	TREE PROTECTION FENCING		EXISTING EVERGREEN TREE
	REVEGETATED AREA W/ IRRIGATION		EXISTING EVERGREEN TREE TO BE REMOVED
	REVEGETATE W/ NATIVE GRASS		NEW EVERGREEN TREE
	DISTURBED AREAS		
	ROCK GARDEN		

NOTE:
 PROVIDE TREE PROTECTION FENCING AS REQUIRED BY THE CDC.

- ### GENERAL NOTES:
- ALL TREES AND SHRUBS TO BE LOCATED BY PROJECT ARCHITECT / OWNER.
 - ALL TREES AND SHRUBS SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
 - NECESSARY TREES SHALL BE STAKED WITH 4" METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
 - PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
 - SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
 - MULCH ALL PERENNIAL BEDS WITH LAVA ROCK MULCH.
 - ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
 - LANDSCAPING AND TREE REMOVAL SHALL BE IN ACCORDANCE WITH CDC 17.5.9 LANDSCAPING REGULATIONS AND CDC 17.6.1 ENVIRONMENTAL REGULATIONS.

- ### NOXIOUS WEEDS:
- ALL PLANTED MATERIALS INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED IN THE NOXIOUS WEED CDC TABLE 5-5 OR SUBSEQUENTLY DESIGNATED AS A NOXIOUS WEED BY THE STATE OF COLORADO, OR THE TOWN.

- ### LANDSCAPE MAINTENANCE NOTES:
- TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
 - NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.
 - ALL SHRUBS IN SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.
 - IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

REVEGETATION NOTES:

- SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
- TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REEMITTED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
- BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
- AREAS WHICH HAVE BEEN COMPACTED OR ARE RELATIVELY UNDISTURBED NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
- BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW. CRIMP IN.
- ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
- ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
- SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

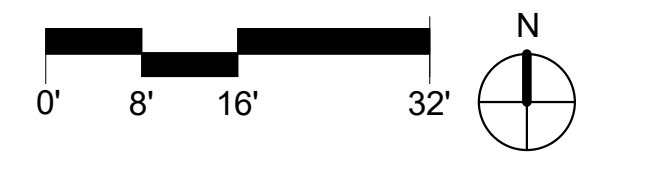
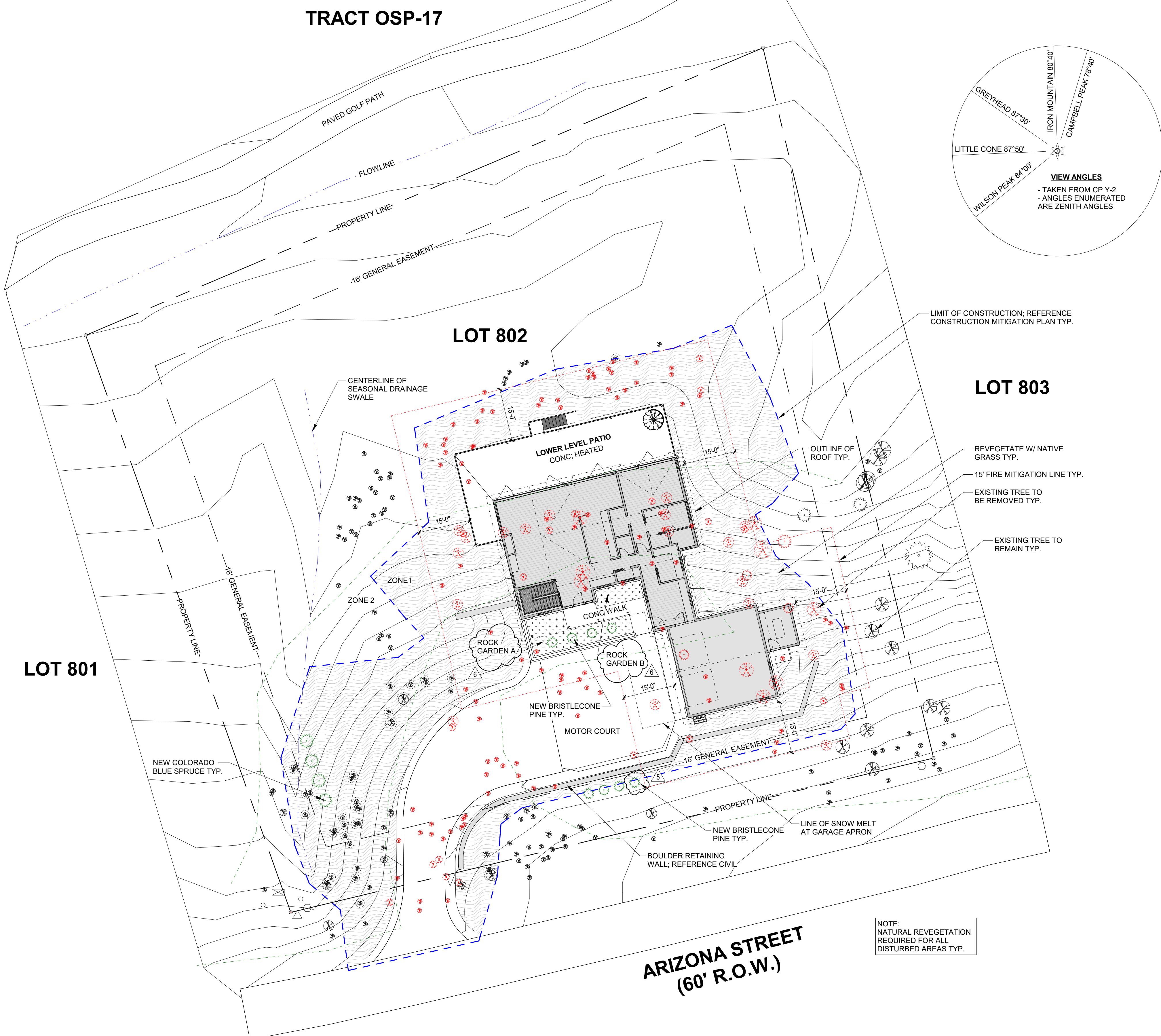
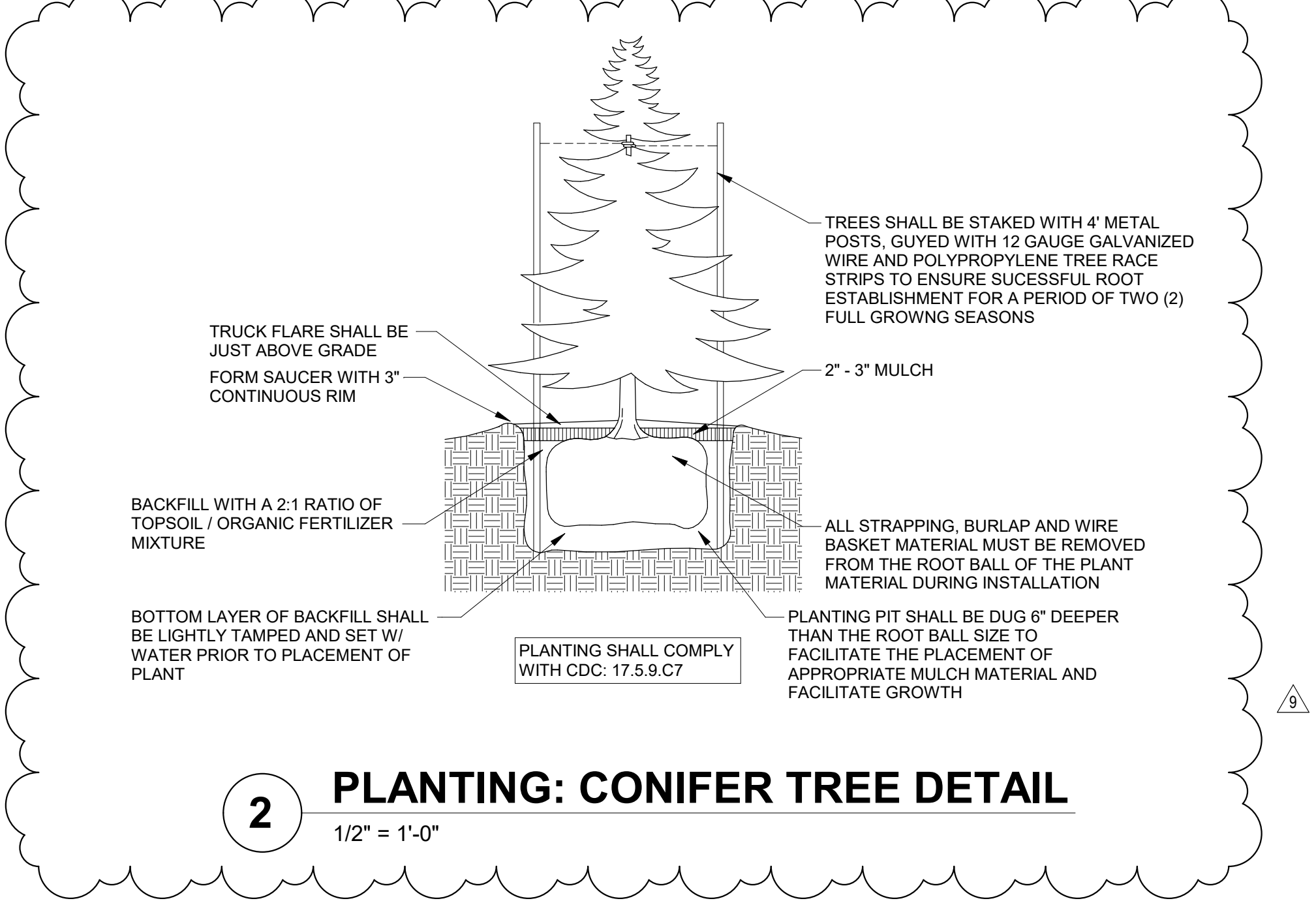
SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREEPING RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%

PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY
PICEA PUNGENS	COLORADO BLUE SPRUCE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	4 EA
PINUS ARISTATA	BRISTLECONE PINE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	8 EA
ROCK GARDEN - BED A			68 SF
ROCK GARDEN - BED B			219 SF

- ### TREE PROTECTION / REMOVAL NOTES
- TREE PROTECTION FENCING IS REQUIRED BY THE CDC TO BE INSTALLED AT OR BEYOND THE CROWN DRIPLINE OF EACH TREE THAT WILL REMAIN (TREE PROTECTION ZONE) IN ACCORDANCE WITH CDC: 17.6.1 A.4.1.
 - TREE PROTECTION FENCING MUST BE INSTALLED AND APPROVED BY THE TOWN FORESTER BEFORE EXCAVATION MAY BEGIN.
 - THE TOWN FORESTER MUST BE CONTACTED BEFORE EXCAVATION BEGINS TO MARK OR APPROVE THE TREES TO BE REMOVED AND TO APPROVE THE PLACEMENT OF THE TREE PROTECTION FENCING. A TREE REMOVAL PERMIT MUST BE OBTAINED FROM THE TOWN FORESTER BEFORE TREE REMOVAL OPERATIONS MAY BEGIN.
 - NO BACKFILL, STORAGE, OR STAGING IS PERMITTED INSIDE THE TREE PROTECTION AREA INSIDE THE TREE PROTECTION FENCING.

- ### TREE PLANTING NOTES
- TREE PLANTING SHALL ADHERE TO CDC: 17.5.9.C.7.
 - IRRIGATED LAWN AREAS SHOULD BE AERATED TWO (2) TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATES AND PROVIDE A HEALTHY LAWN. ORGANICS, FERTILIZATION AND AMENDMENT INCORPORATION AT SAME TIME ARE ENCOURAGED.
 - TREES AND SHRUBS SHALL BE MULCHED UPON INITIAL PLANTING AND AS NEEDED TO REDUCE WATER EVAPORATION.
 - TREES AND SHRUB HOLES SHALL BE DUG SIX INCHES (6") DEEPER THAN THE ROOT BALL SIZE TO FACILITATE THE PLACEMENT OF APPROPRIATE MULCH MATERIAL AND FACILITATE GROWTH.
 - TREES SHALL BE STAKED AND HELD IN PLACE BY WEBBING AND WIRE TO ENSURE SUCCESSFUL ROOT ESTABLISHMENT FOR A PERIOD OF TWO (2) FULL GROWING SEASONS.
 - BURLAP AND WIRE SHALL BE REMOVED FROM THE ROOT BALL PRIOR TO PLANTING. IF ALL OF THE WIRE CANNOT BE REMOVED DUE TO THE SIZE OF THE TREE, THEN TWO-THIRDS OF THE WIRE SHALL BE REMOVED FROM THE UPPER PORTION OF THE ROOT BALL.



WATER USAGE CHART

TYPE	MONTHLY USE	TOTAL #	TOTAL MONTHLY USAGE
REVEGETATION	2 GAL / S.F.	8,972 SF	17,944 (FIRST SEASON)
ROCK GARDEN	N/A	N/A	N/A
SPRUCE	10 GAL / EA	4 EA	40
BRISTLECONE PINE	10 GAL / EA	8 EA	80
COMPLETE MONTHLY USAGE (FOR ESTABLISHMENT) (POST ESTABLISHMENT)			18,064 GAL 120 GAL

PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY
PICEA PUNGENS	COLORADO BLUE SPRUCE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	4 EA
PINUS ARISTATA	BRISTLECONE PINE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	8 EA
ROCK GARDEN - BED A			68 SF
ROCK GARDEN - BED B			219 SF

LEGEND

	CONCRETE PAVERS		INDIGENOUS SHRUBS
	WILDFIRE MITIGATION BOUNDARY		EXISTING DECIDUOUS TREE
	LIMIT OF DISTURBANCE		EXISTING DECIDUOUS TREE TO BE REMOVED
	PERIMETER FENCING W/ ATTACHED GREEN SCREENING		NEW DECIDUOUS TREE
	TREE PROTECTION FENCING		EXISTING EVERGREEN TREE
	REVEGETATED AREA W/ IRRIGATION		EXISTING EVERGREEN TREE TO BE REMOVED
	REVEGETATE W/ NATIVE GRASS		NEW EVERGREEN TREE
	DISTURBED AREAS		
	ROCK GARDEN		

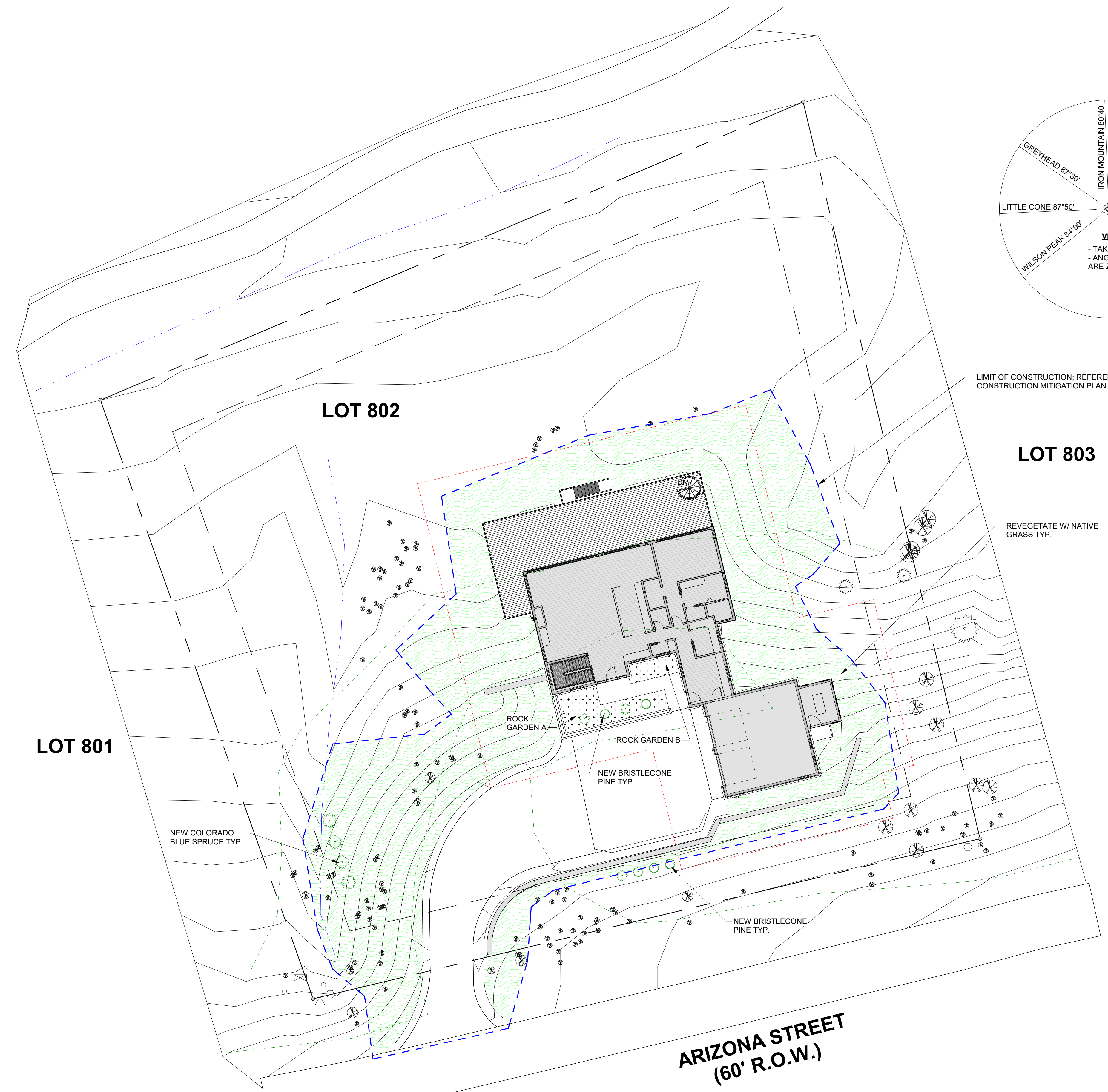
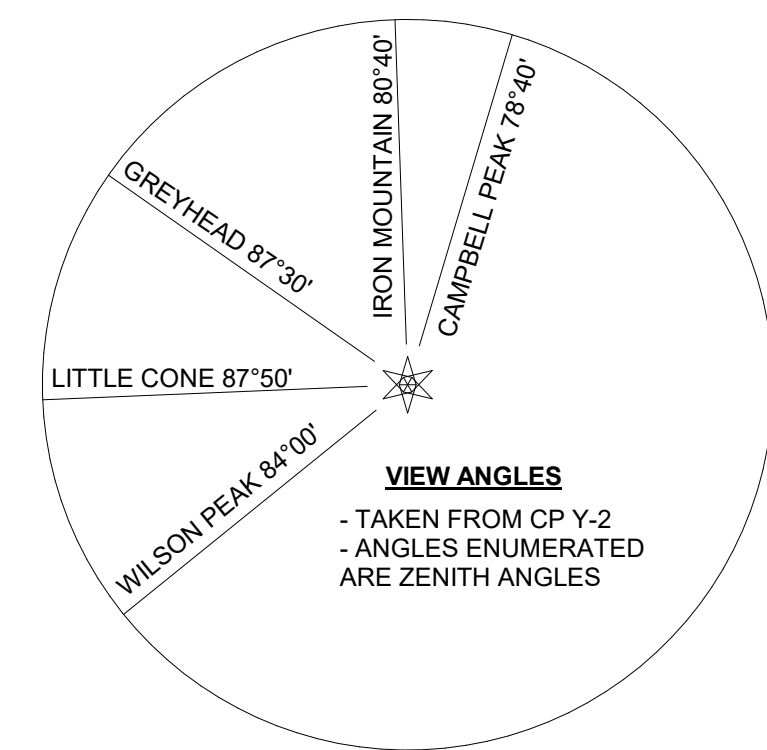
NOTE:
PROVIDE TREE PROTECTION FENCING AS REQUIRED BY THE CDC.

SHIFT ARCHITECTS
P.O. Box 3206
100 W. Colorado Suite 211
Telluride, Colorado 81435
p 970-728-8145
kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE:
09.18.23 DRB REVISED PRELIMINARY REVIEW

REVISIONS

NO.	DATE	DESC.
15	09.11.23	Revised water usage for revegetation area due to updated limit of construction per civil



- ### IRRIGATION NOTES
- PROVIDE IRRIGATION SYSTEM IN ACCORDANCE WITH CDC REQUIREMENTS (17.5.9 LANDSCAPING REGULATIONS, TABLE 5-3 IRRIGATION SYSTEM DESIGN) AND THE TOWN OF MOUNTAIN VILLAGE WATER AND SEWER REGULATIONS.
 - IRRIGATION CONTROL EQUIPMENT SHALL INCLUDE AN AUTOMATIC IRRIGATION CONTROLLER HAVING PROGRAM FLEXIBILITY SUCH AS REPEAT CYCLES AND MULTIPLE PROGRAM CAPABILITIES. AUTOMATIC IRRIGATION CONTROLLERS SHALL HAVE BATTERY BACKUP TO RETAIN THE IRRIGATION PROGRAMS.
 - TREES AND SHRUBS SHALL BE DRIP IRRIGATION.
 - PERENNIAL BEDS SHALL BE SPRAY HEADS. USE SOAKER HOSE, LOW VOLUME MIST AND/OR EMITTERS EQUIPPED WITH ADJUSTABLE NOZZLES TO LIMIT OVER/UNDER WATERING WITHIN A SPECIFIC ZONE.
 - TURF GRASS SHALL BE SPRAY HEADS.
 - ALL AREAS TO BE REVEGETATED WITH NATIVE GRASS SEED MIX MAY BE IRRIGATED UNTIL THE GRASS IS ESTABLISHED, BUT NO MORE THAN ONE (1) FULL GROWING SEASON WITH ANY SUCH EXTRA IRRIGATION INSTALLED ON A SEPARATE ZONE THAT WILL BE PERMANENTLY SHUT OFF AFTER SUCCESSFUL REVEGETATION.

IRRIGATION SCHEDULE

ZONE	LOCATION	HEAD	GPM
1	ASPEN TREES	DRIP EMITTERS	-
1	EVERGREEN TREES	DRIP EMITTERS	-
2	SHRUBS	DRIP EMITTERS	-
3	PERENNIALS SOUTH	1806 POP UPS	-
4	REVEGETATION AREAS	ROTORS	24

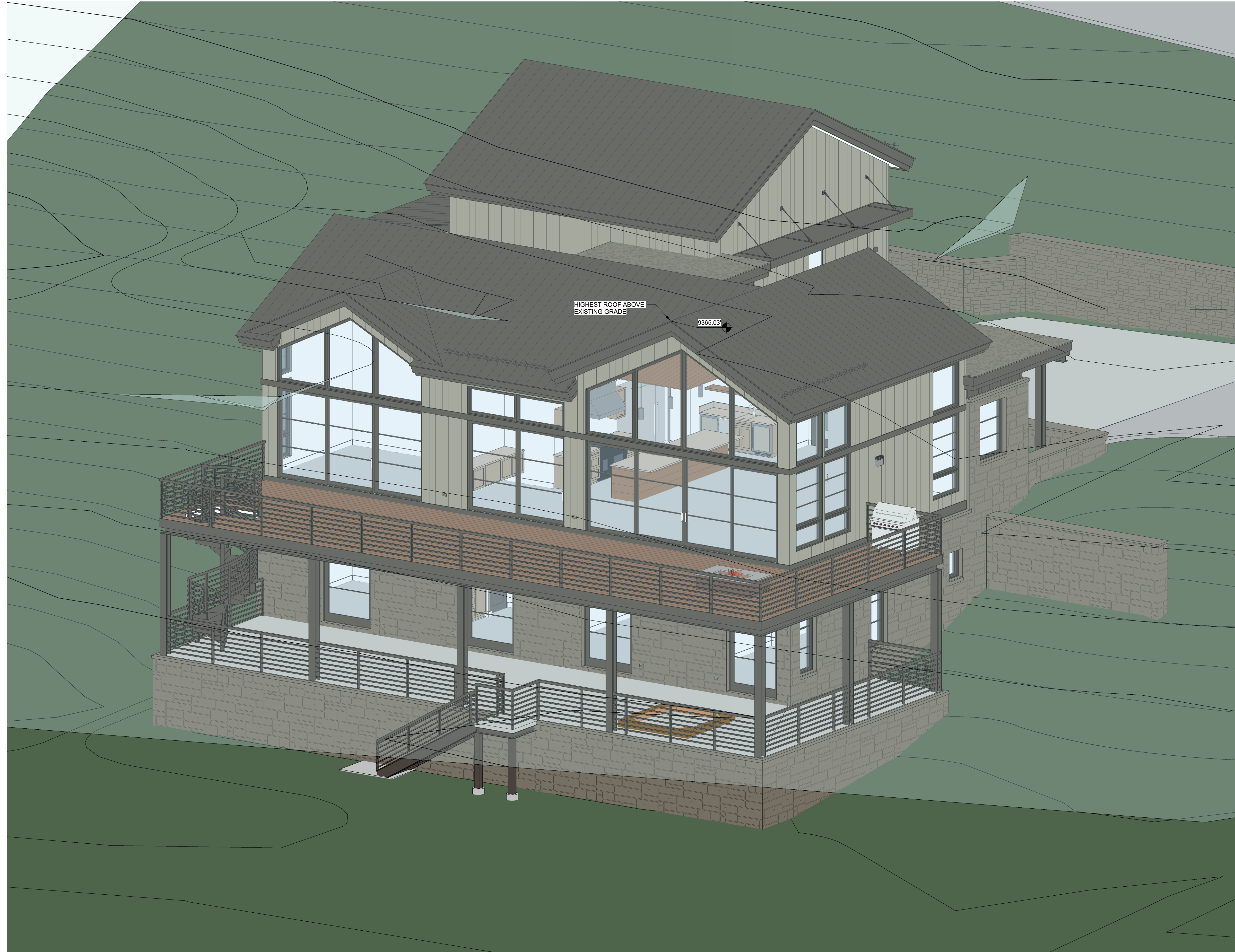
- ### IRRIGATION LEGEND
- TAP WITH RAINBIRD PVB-075 BACKFLOW PREVENTER
 - RAINBIRD RCM-12 ELECTROMECHANICAL CONTROLLER
 - 1.5" WILKINS MODEL 500 PRESSURE REGULATOR
 - RAINBIRD 150-PEB 1.5" ELECTRIC REMOTE CONTROL VALVE
 - CLASS 200 PVC MAINLINE 1 1/2"
 - 1:80 NSF POLYLATERAL LINE
 - WATER SENSOR BY RAINBIRD

NELSON RESIDENCE
121 ARIZONA ST., MOUNTAIN VILLAGE, CO 81435
LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

IRRIGATION PLAN
SHEET NUMBER

1 IRRIGATION PLAN
1/16" = 1'-0"

9/18/2023 6:56:17 AM
A1.3
NOT FOR CONSTRUCTION



NELSON RESIDENCE

121 ARIZONA ST., MOUNTAIN VILLAGE, CO 81435
 LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

SITE 40' PARALLEL OFFSET

© shift architects

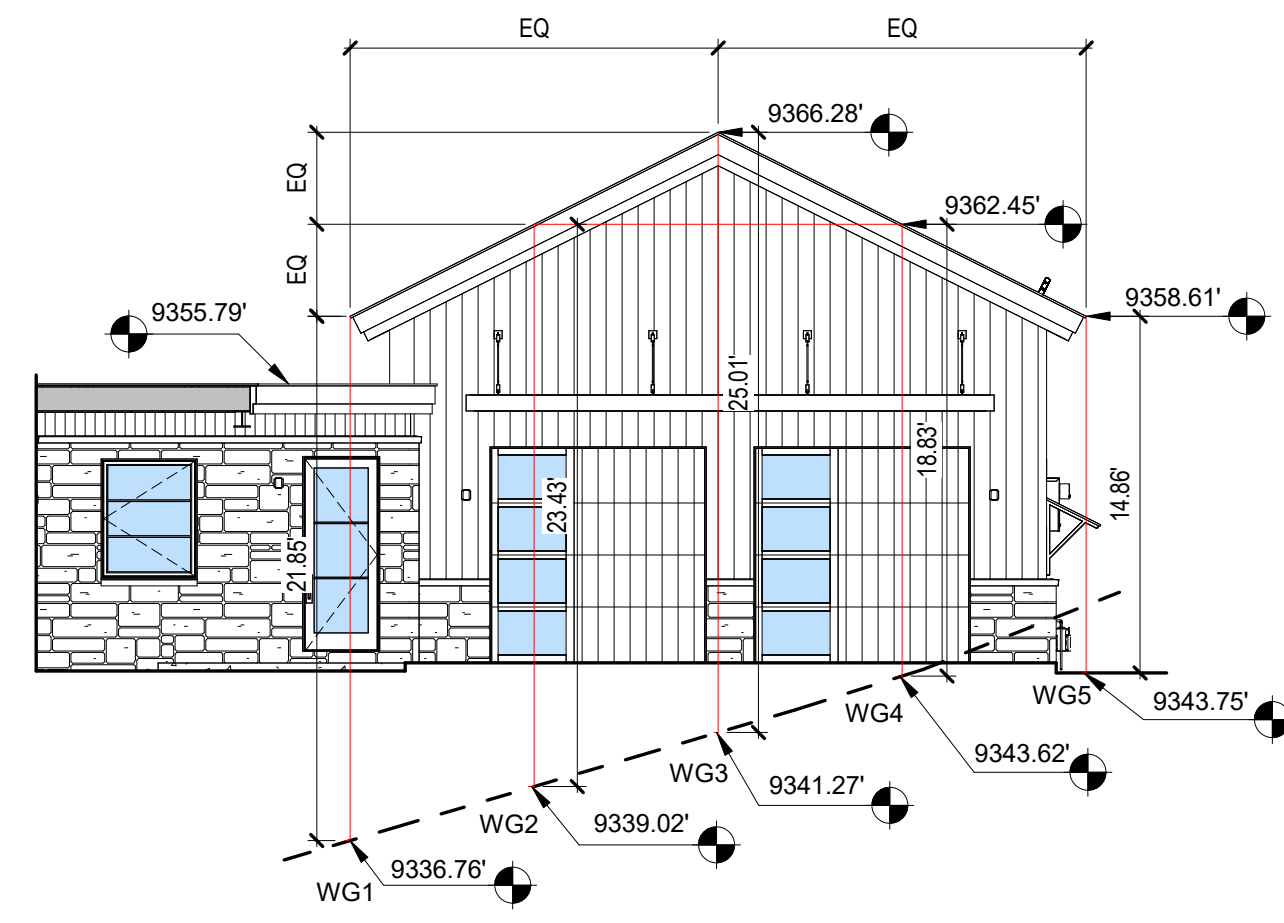
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A2.0

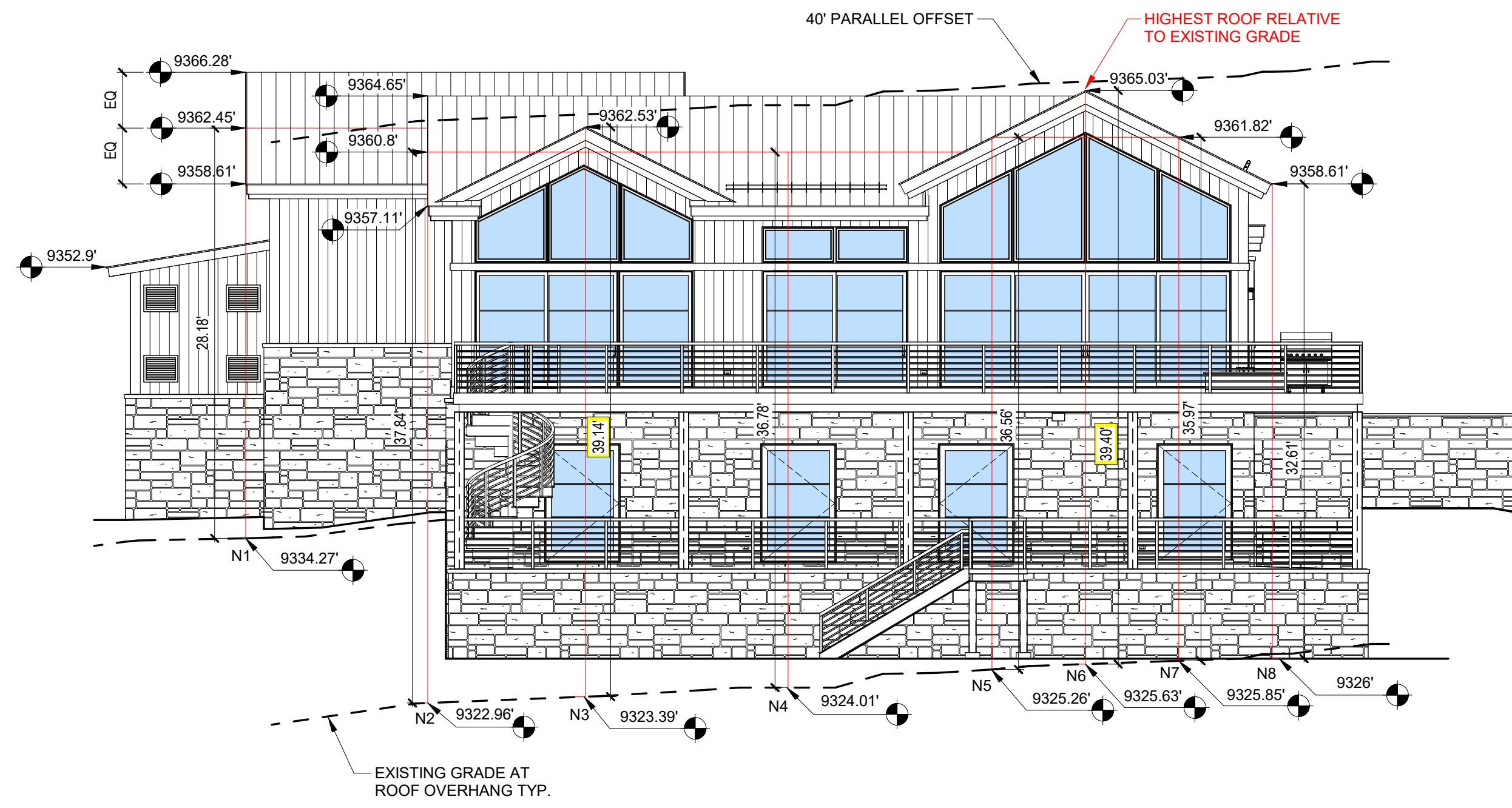
NOT FOR CONSTRUCTION

1 EXISTING GRADE 40' PARALLEL OFFSET

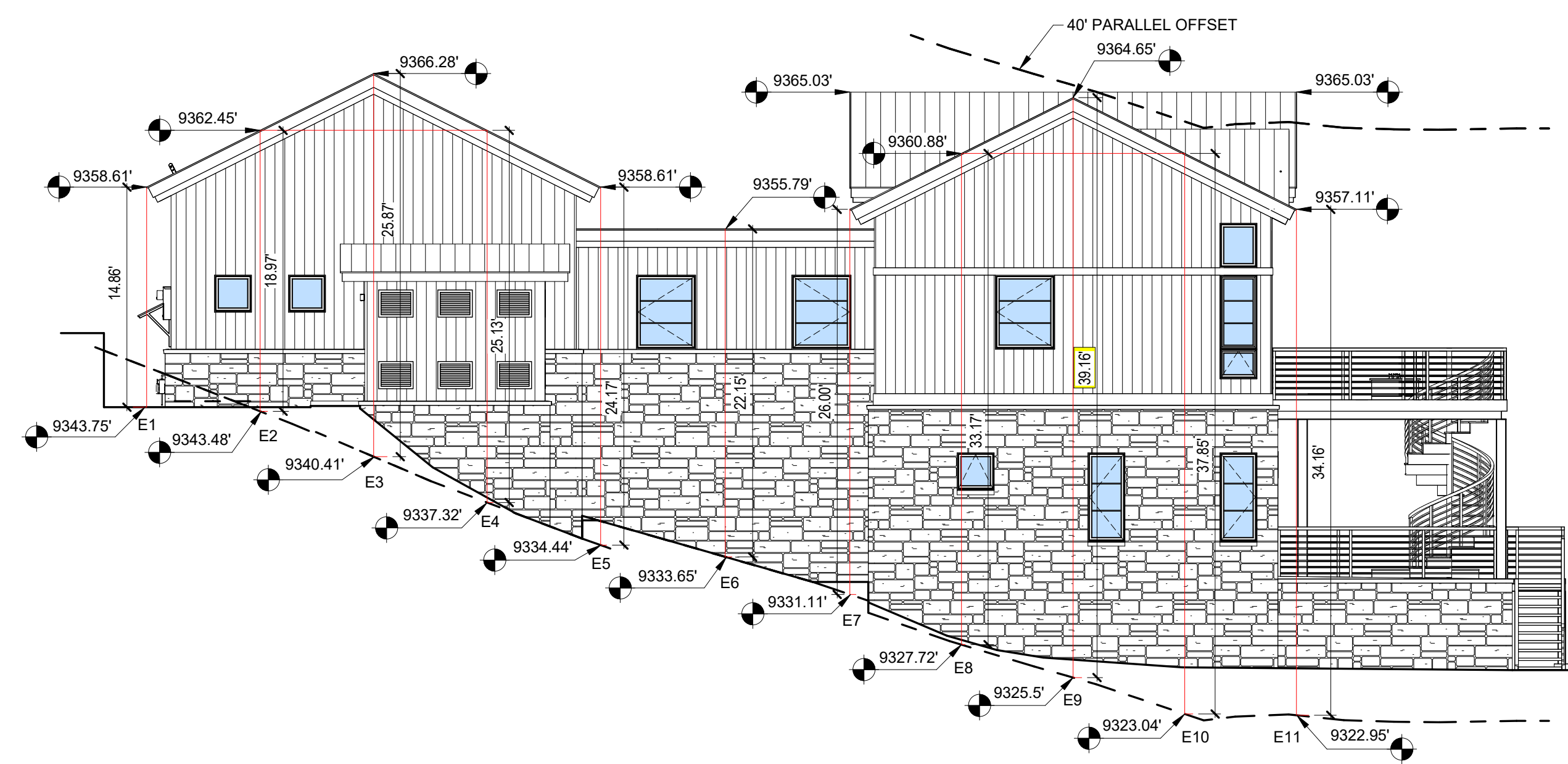
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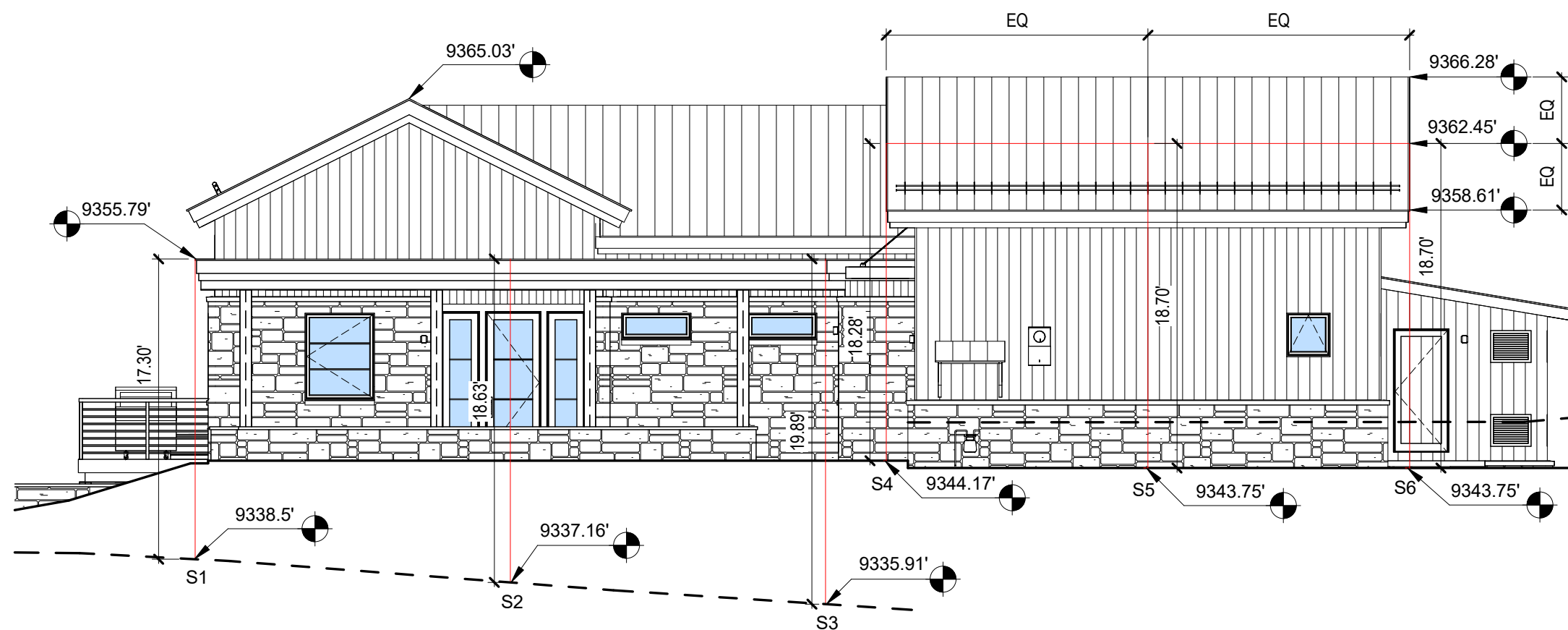
5 WEST ELEVATION AT GARAGE
1/8" = 1'-0"



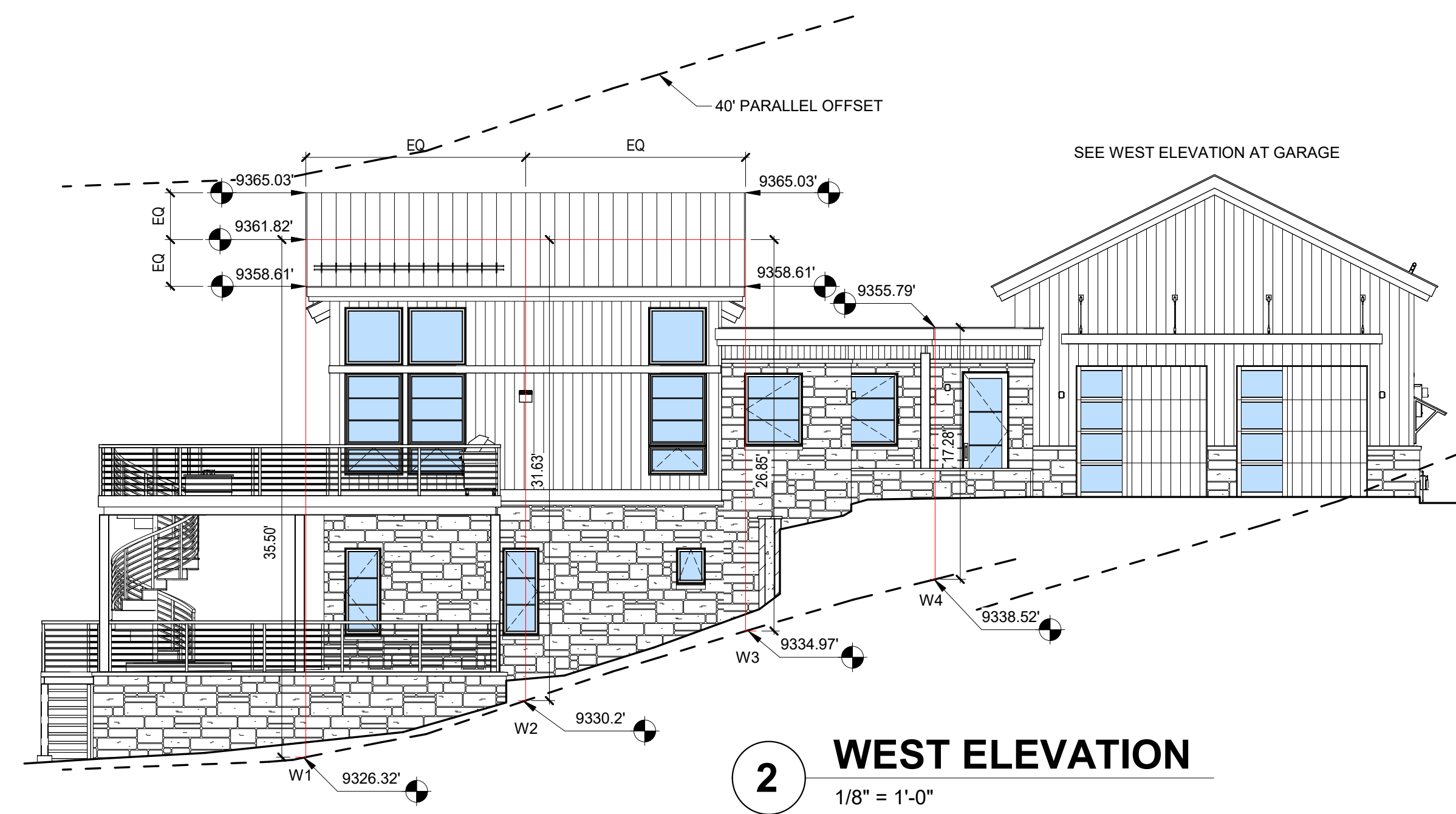
3 NORTH ELEVATION
1/8" = 1'-0"



4 EAST ELEVATION
1/8" = 1'-0"



1 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

MAX BUILDING HT :	
HIGHEST POINT RELATIVE TO GRADE:	
LOCATION: N6	39.40'
MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9365.03'
MOST RESTRICTIVE GRADE BELOW	9325.63'
2ND HIGHEST POINT RELATIVE TO GRADE:	
LOCATION: E9	39.16'
MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9364.65'
MOST RESTRICTIVE GRADE BELOW	9325.50'
3RD HIGHEST POINT RELATIVE TO GRADE:	
LOCATION: N3	39.14'
MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9362.53'
MOST RESTRICTIVE GRADE BELOW	9323.39'

AVG ROOF HT :	
NORTH ELEVATION	
N1	28.18'
N2	37.84'
N3	39.14'
N4	36.78'
N5	36.56'
N6	39.40'
N7	35.97'
N8	32.61'
SUB-TOTAL:	
# OF LOCATIONS:	286.48'
AVERAGE:	35.81'
SOUTH ELEVATION	
S1	17.30'
S2	18.63'
S3	19.89'
S4	18.28'
S5	18.70'
S6	18.61'
SUB-TOTAL:	
# OF LOCATIONS:	111.41'
AVERAGE:	18.56'
EAST ELEVATION	
E1	14.86'
E2	18.97'
E3	25.87'
E4	25.13'
E5	24.17'
E6	22.15'
E7	36.00'
E8	33.17'
E9	39.16'
E10	37.85'
E11	34.16'
SUB-TOTAL:	
# OF LOCATIONS:	311.49'
AVERAGE:	28.31'
WEST ELEVATION	
W1	35.50'
W2	31.63'
W3	26.85'
W4	17.28'
SUB-TOTAL:	
# OF LOCATIONS:	111.26'
AVERAGE:	27.81'
WEST @ GARAGE ELEVATION	
WG1	21.85'
WG2	23.43'
WG3	25.01'
WG4	18.83'
WG5	14.86'
SUB-TOTAL:	
# OF LOCATIONS:	103.98'
AVERAGE:	20.79'
TOTAL:	
NUMBER OF LOCATIONS:	924.62'
AVERAGE:	27.19'

SHIFT ARCHITECTS
P.O. Box 3206
100 W. Colorado Suite 211
Telluride, Colorado 81435
p 970-728-8145
kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE:
09/18/23 DRB REVISED PRELIMINARY REVIEW

NO.	DATE	DESC.
12	09/11/23	Revised roof ht calls due to roof re-design and raising project 2'-0"

PROJECT ISSUE DATE:
09/18/23 DRB REVISED PRELIMINARY REVIEW

NELSON RESIDENCE

MAX BUILDING HEIGHT

121 ARIZONA ST. MOUNTAIN VILLAGE, CO 81435
LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

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SHEET NUMBER

A2.1

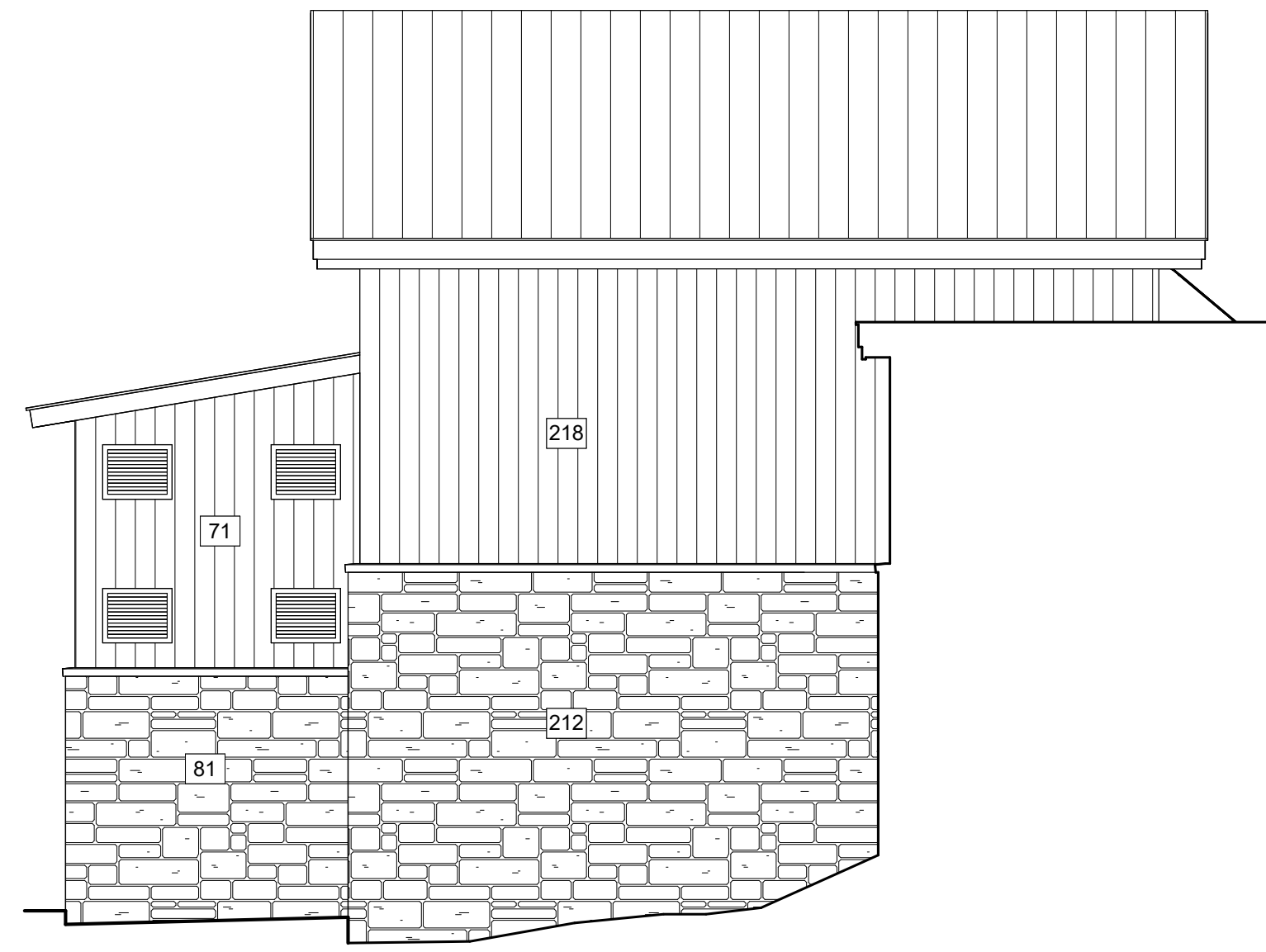
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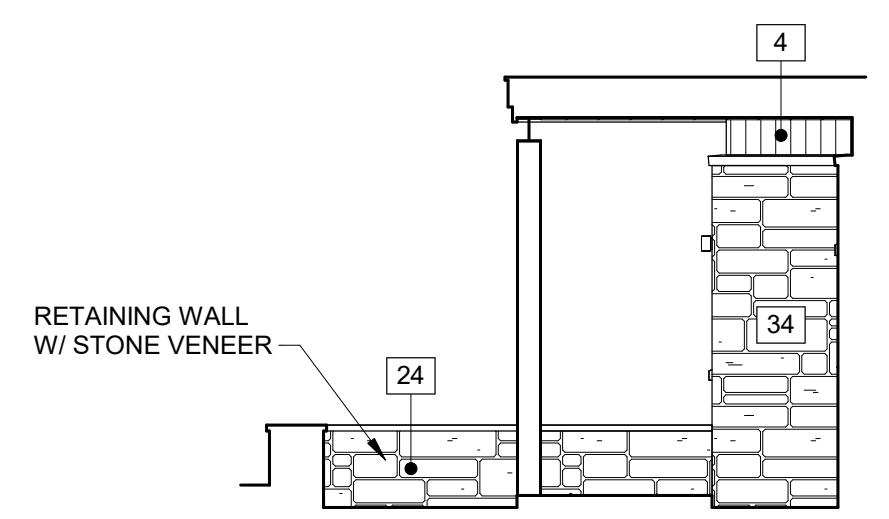
MATERIAL CALCULATIONS		
NORTH		
STONE	846 SF	48%
WOOD SIDING	178 SF	10%
WINDOW/DOOR GLAZING	748 SF	42%
STEEL SIDING		
SUBTOTAL:	1,772 SF	100%
SOUTH		
STONE	140 SF	22%
WOOD SIDING	480 SF	73%
WINDOW/DOOR GLAZING	6.25 SF	1%
STEEL SIDING	4 SF	1%
WOOD DOOR	21 SF	3%
SUBTOTAL:	651.25 SF	100%
EAST		
STONE	945 SF	50%
WOOD SIDING	815 SF	43%
WINDOW/DOOR GLAZING	133.75 SF	7%
STEEL SIDING		
SUBTOTAL:	1,893.75 SF	100%
WEST		
STONE	690 SF	43%
WOOD SIDING	498 SF	31%
WINDOW/DOOR GLAZING	231 SF	14%
STEEL SIDING	28 SF	2%
WOOD DOOR	162 SF	10%
SUBTOTAL:	1,462.5 SF	100%
NORTH AT GARAGE		
STONE	293 SF	50%
WOOD SIDING	289 SF	50%
SUBTOTAL:	582 SF	100%
SOUTH AT ENTRY		
STONE	283 SF	44%
WOOD SIDING	208 SF	32%
WINDOW/DOOR GLAZING	88 SF	14%
STEEL SIDING	63 SF	10%
SUBTOTAL:	642 SF	100%
EAST AT ENTRY		
STONE	34 SF	89%
STEEL SIDING	4 SF	11%
SUBTOTAL:	38 SF	100%
RETAINING WALLS		
STONE	289 SF	100%
SUBTOTAL:	289 SF	100%
TOTALS		
STONE	3,231 SF	
STONE @ RETAINING WALL	289 SF	
WOOD SIDING	2,468 SF	
WINDOW/DOOR GLAZING	1,207 SF	
STEEL SIDING	97 SF	
WOOD DOOR	183 SF	
TOTAL:	7,475 SF	
PERCENTAGES		
STONE	43%	47%
STONE @ RETAINING WALL	4%	
WOOD SIDING	33%	
WINDOW/DOOR GLAZING	16%	
STEEL SIDING	2%	
WOOD DOOR	2%	
TOTAL:	100%	
STONE VENEER CALCULATIONS ARE IN ACCORDANCE WITH TITLE 17 OF THE TOWN OF MOUNTAIN VILLAGE MUNICIPAL CODE CDC 17.5.6.E.1		



5 WEST ELEVATION
 3/16" = 1'-0"



7 NORTH ELEVATION AT GARAGE
 3/16" = 1'-0"



6 EAST ELEVATION AT ENTRY
 3/16" = 1'-0"



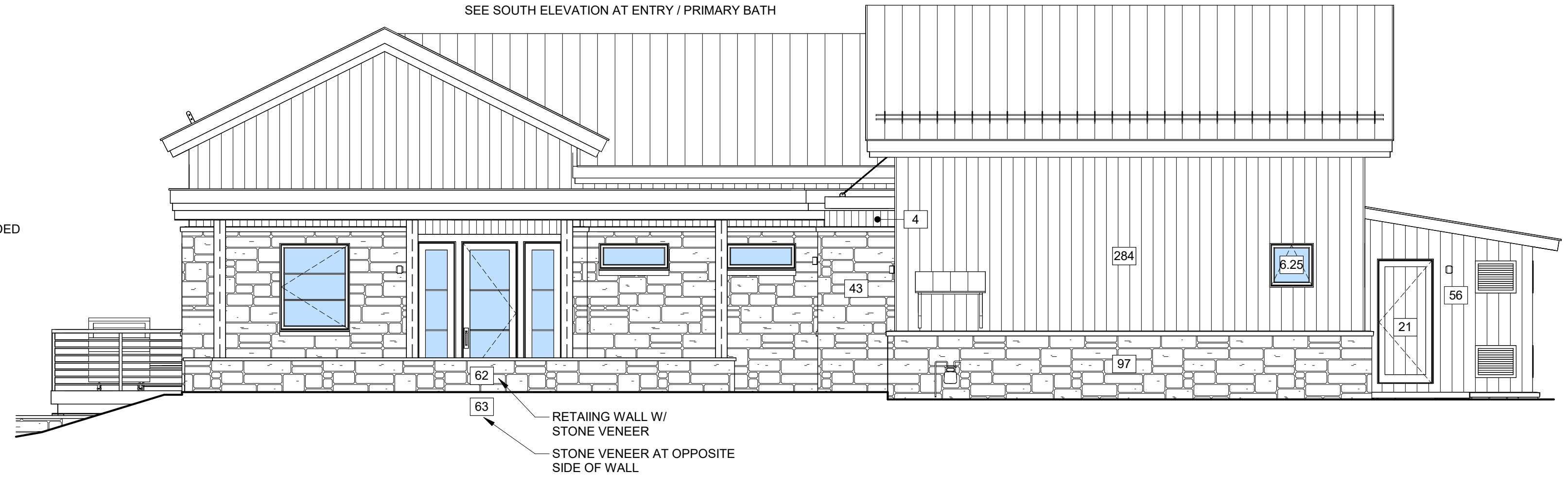
3 EAST ELEVATION
 3/16" = 1'-0"



4 SOUTH ELEVATION AT ENTRY / PRIMARY BATH
 3/16" = 1'-0"



1 NORTH ELEVATION
 3/16" = 1'-0"



2 SOUTH ELEVATION
 3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES:

DIMENSIONS:
ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE, ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.N.O.

SHIFT ARCHITECTS

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www.shift-architects.com

PROJECT ISSUE DATE:
09-18-23 DRB REVISED PRELIMINARY REVIEW

REVISIONS

NO.	DATE	DESC
14	09-11-23	Enlarged lower level patio and ground level deck

121 ARIZONA ST., MOUNTAIN VILLAGE, CO 81435
LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

NELSON RESIDENCE

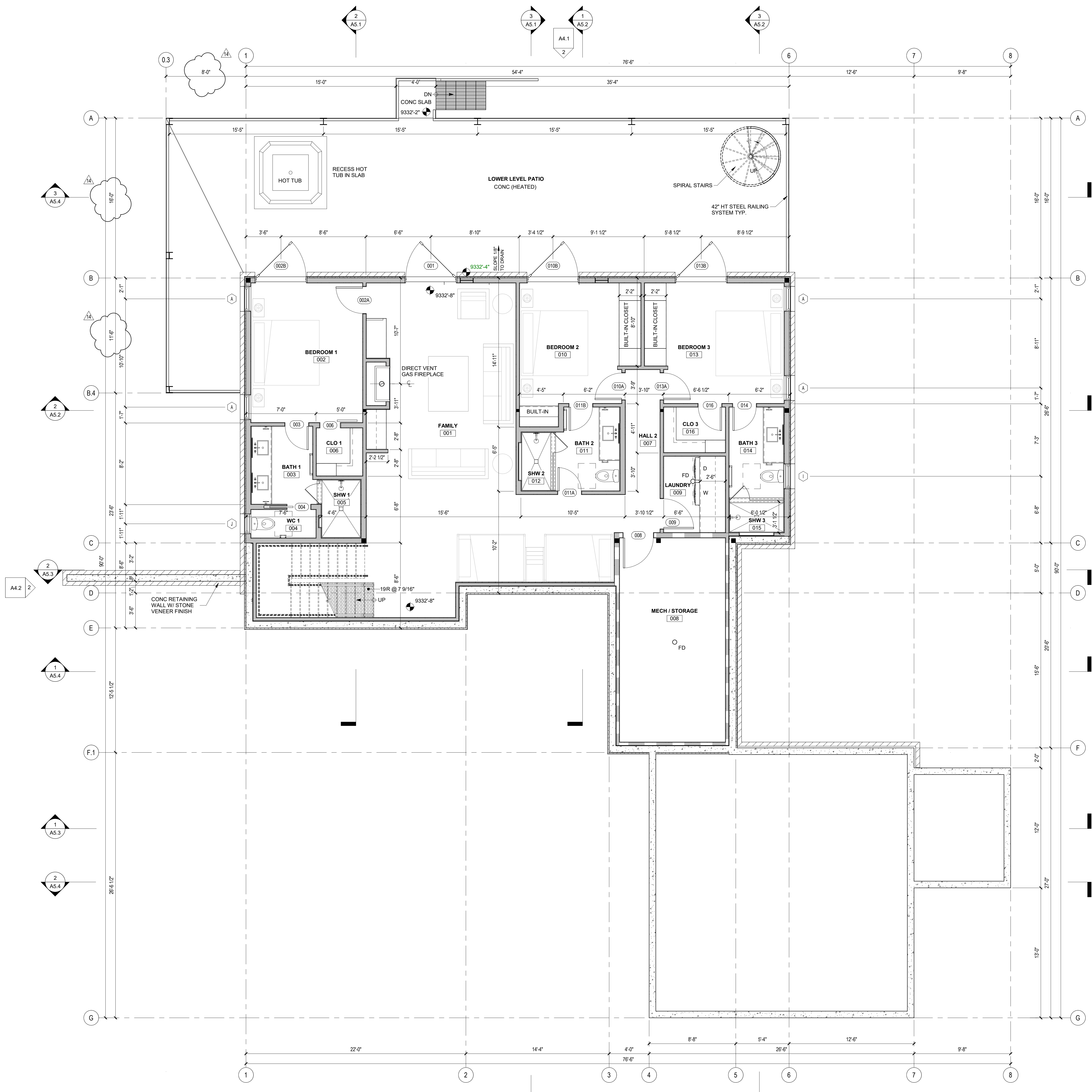
FLOOR PLAN

SHEET NUMBER

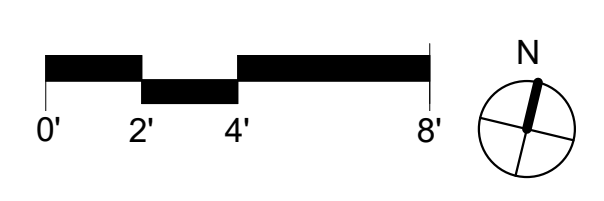
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1 LOWER LEVEL
1/4" = 1'-0"



A4.1

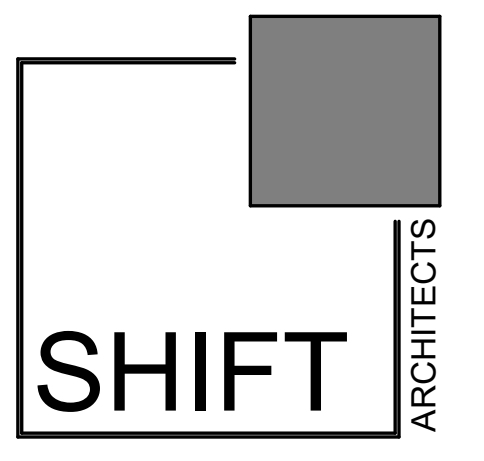
A4.2

A4.2

FLOOR PLAN GENERAL NOTES:

DIMENSIONS:
ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE, ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.O.

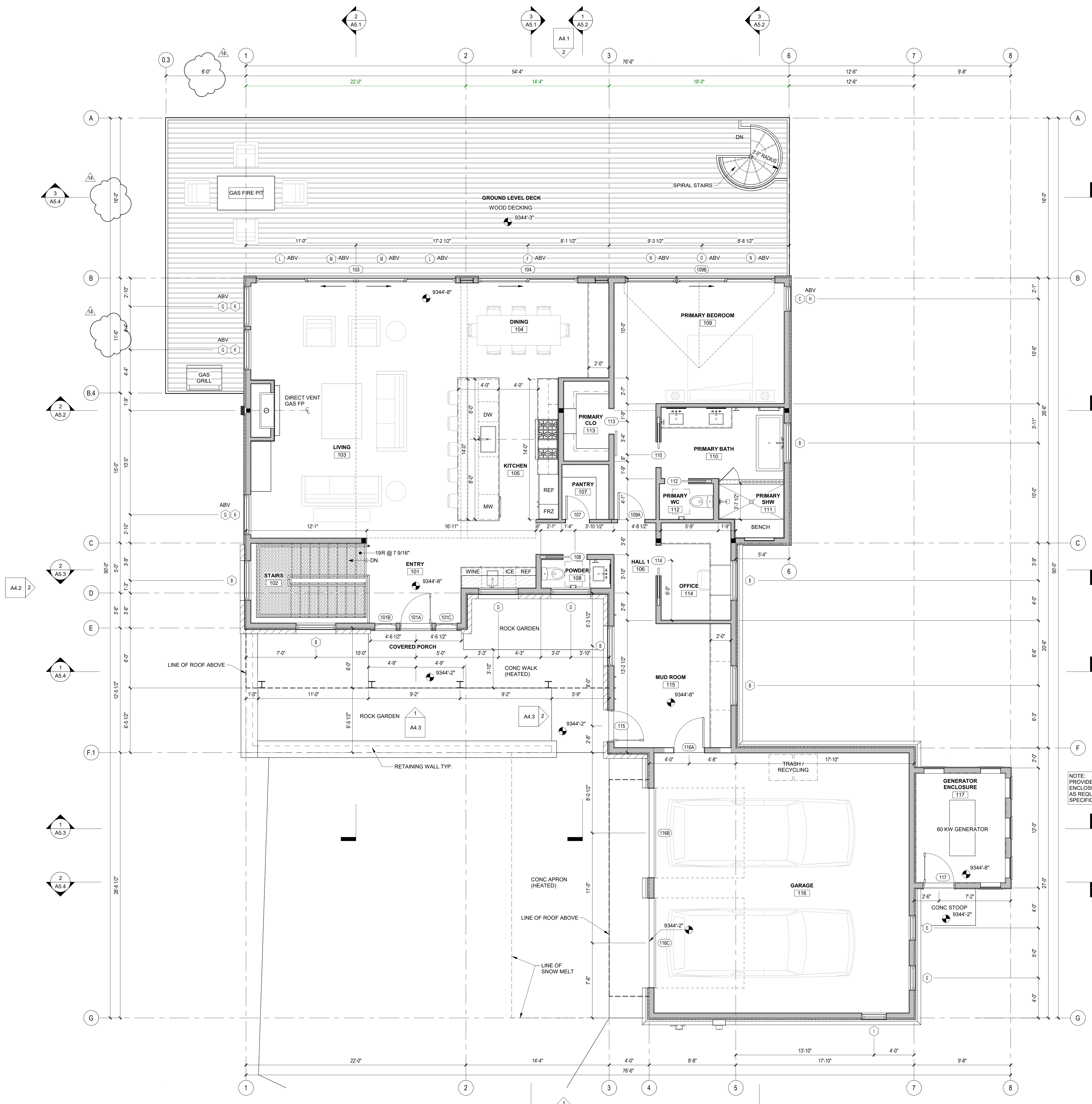


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www.shift-architects.com

PROJECT ISSUE DATE:
09.18.23 DRB REVISED PRELIMINARY REVIEW

REVISIONS

NO.	DATE	DESC.
14	09.11.23	Enlarged lower level patio and ground level deck



NOTE:
PROVIDE GENERATOR ENCLOSURE VENTILATION AS REQUIRED PER MANUF SPECIFICATIONS

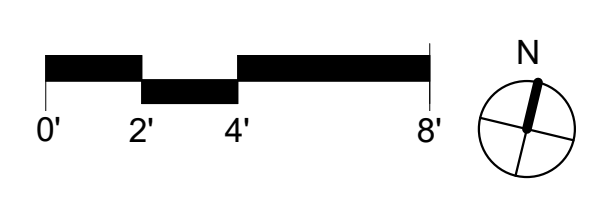
NELSON RESIDENCE

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LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

FLOOR PLAN

SHEET NUMBER

1 GROUND LEVEL
1/4" = 1'-0"



A3.2

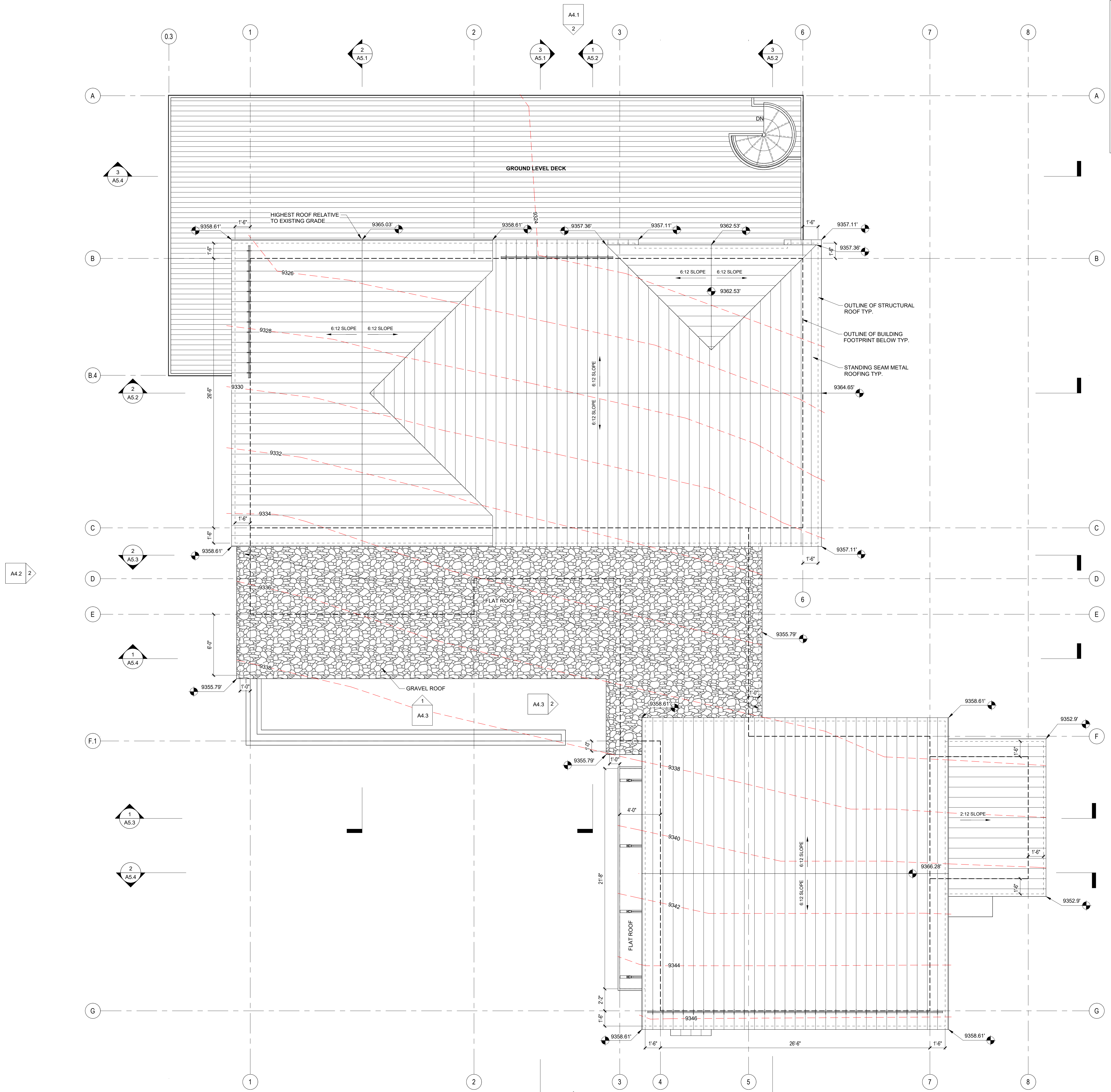
NOT FOR CONSTRUCTION

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- ROOF PLAN NOTES**
1. ROOFING SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 2. ALL OVERHANG DIMENSIONS ARE FROM EXTERIOR FACE OF STUD (GRID) TO STRUCTURAL ROOF.
 3. PROVIDE SNOW RETENTION SYSTEM WHERE SHOWN. CONTRACTOR AND ROOF MANUFACTURER TO PROVIDE WATERPROOFING FOR FULL WARRANTY AT SNOW RETENTION PENETRATIONS TYP.
 4. REFERENCE MECHANICAL DRAWINGS FOR LOCATIONS OF ROOF PENETRATIONS.
 5. PAINT ALL ROOF APPURTENANCES TO MATCH ADJACENT ROOF.

PROJECT ISSUE DATE:
 09/18/23 DRB REVISED PRELIMINARY REVIEW
 REVISIONS
 NO. DATE DESC
 11 09/11/23 Revised roof design



NELSON RESIDENCE
 121 ARIZONA ST., MOUNTAIN VILLAGE, CO 81435
 LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

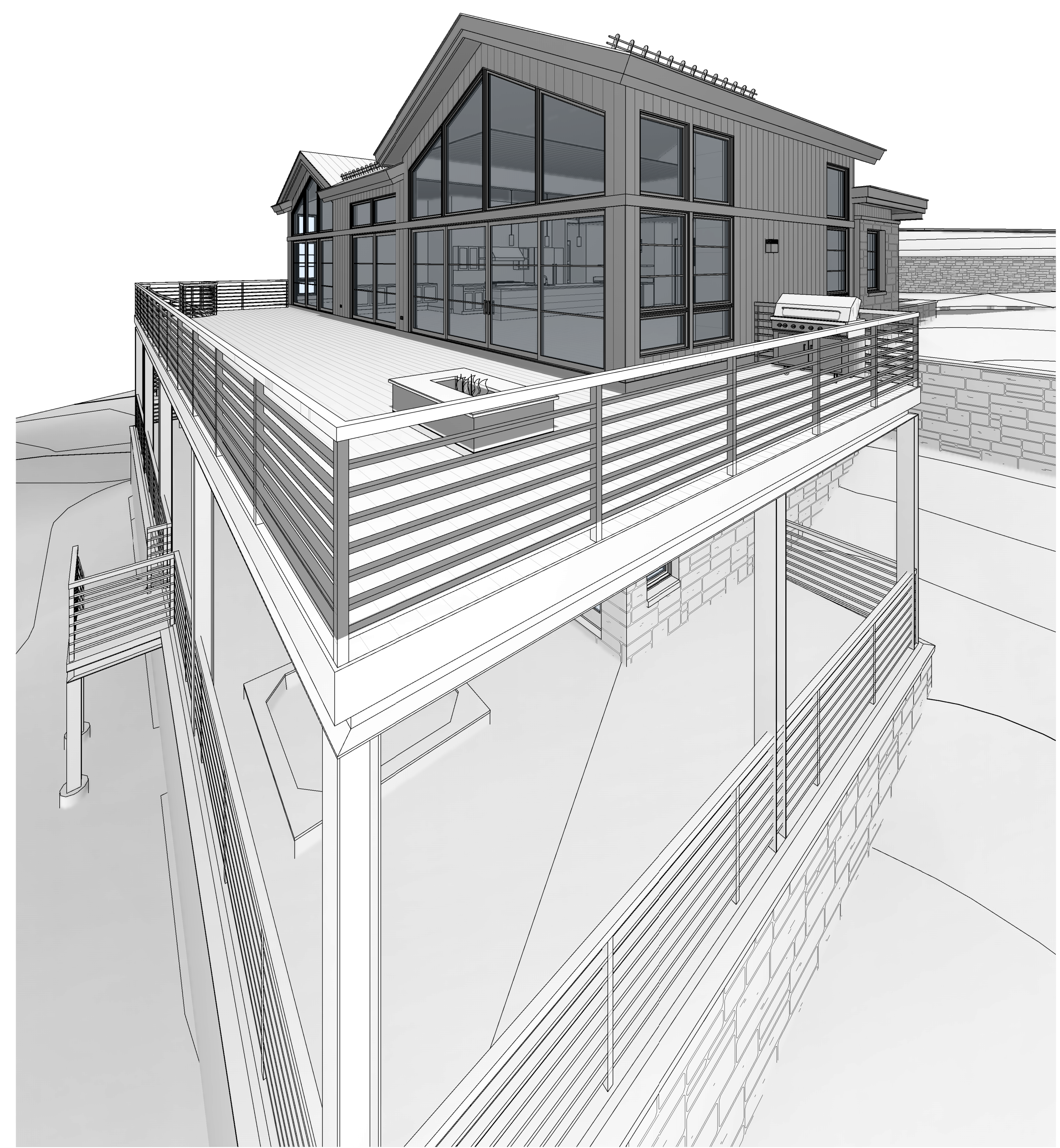
ROOF PLAN
 SHEET NUMBER

1 ROOF PLAN
 1/4" = 1'-0"
 0' 2' 4' 8' N
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A3.3

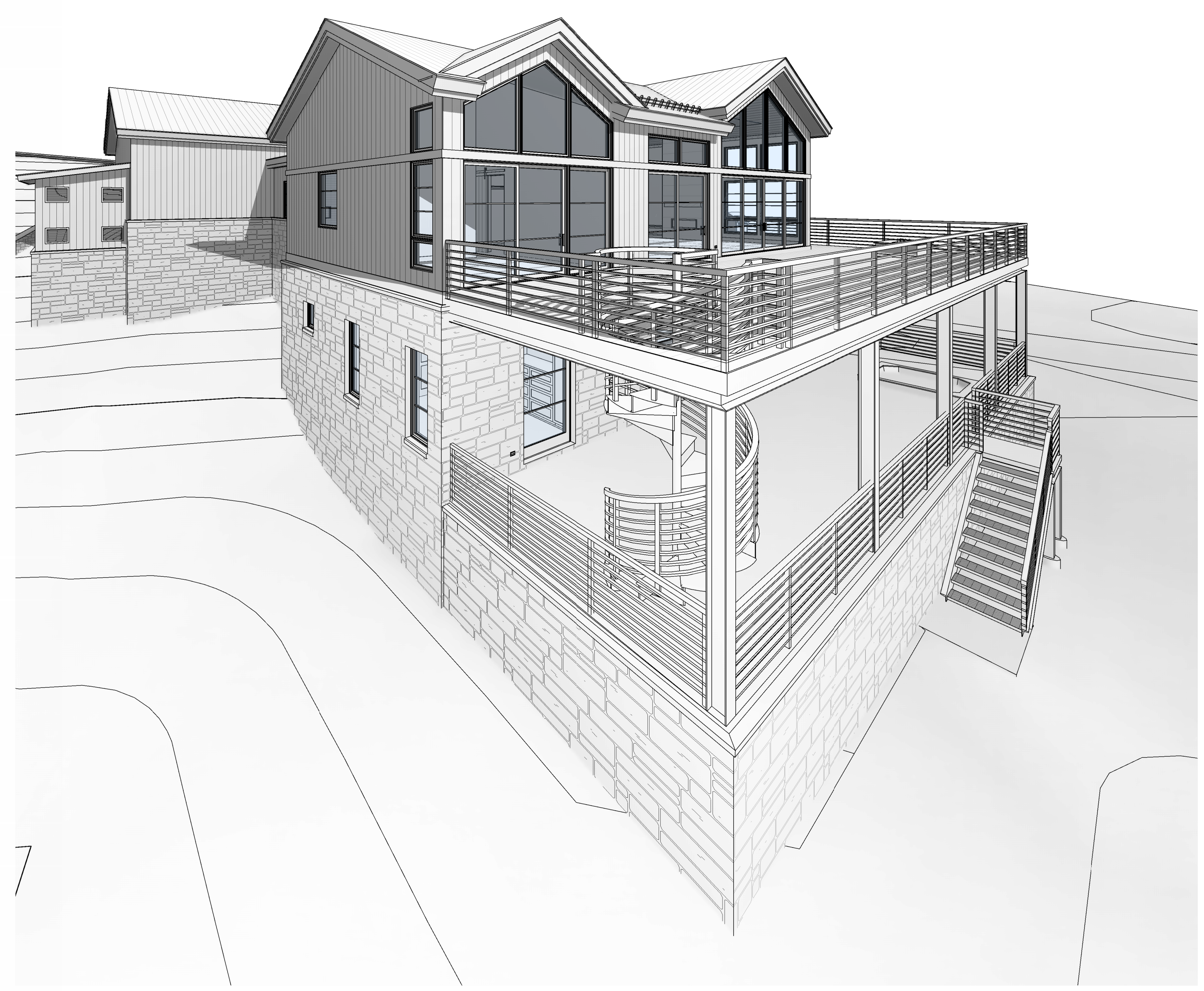
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3 SOUTHWEST AXON



1 NORTHWEST AXON



2 NORTHEAST AXON

NELSON RESIDENCE

121 ARIZONA ST., MOUNTAIN VILLAGE, CO 81435
LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

AXONS

SHEET NUMBER

A4.0

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TELLURIDE STONE HERITAGE SERIES PILATUS FULL STONE VENEER



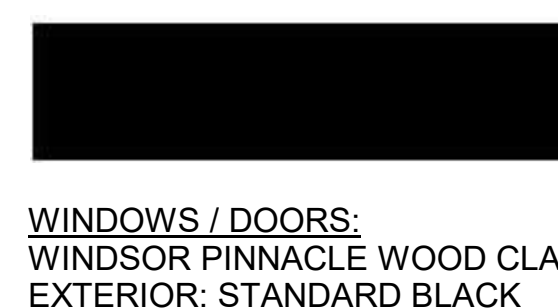
VERTICAL WOOD SIDING: 8" KNOTTY CEDAR VERT SIDING BUTT JOINT FINISH: STAINED; GRAYTONE



STEEL VERTICAL SIDING: VESTA STEEL SIDING 5" PLANK PROFILE, SOLID VERTICAL APPLICATION FINISH: IRONSTONE 414



ROOFING: PAC-CLAD 150 12" STANDING SEAM METAL ROOFING; MATTE BLACK



WINDOWS / DOORS: WINDSOR PINNACLE WOOD CLAD EXTERIOR: STANDARD BLACK INTERIOR: PRE-PAINTED BLACK



WOOD DECKING: THERMORY: BENCHMARK ASH 5/4X6 MAX GROOVED (JEM) SPECIES: WHITE ASH INSTALLATION TYPE: HIDDEN COLOR: BROWN (NATURAL)

TYPICAL STAIN: NATURAL

STEEL BEAMS / COLUMNS / BRACING: FINISH: BLACK POWDER COATED

DECORATIVE BAND: DOUG FIR WRAPPED W/ STEEL: BLACK POWDER COATED

FASCIA: 2X6 DOUG FIR FASCIA WRAPPED W/ FLAT STEEL; 2X6 RAFTER TAILS FINISH: MATCH ROOF

SOFFIT: 1X4 T&G PINE FINISH: STAINED; TYPICAL

RAILING: STEEL RAILING SYSTEM FINISH: BLACK POWDER COATED

EXTERIOR ELEVATION NOTES

1. CONSISTANT WITH TOWN BUILDING CODES; UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.

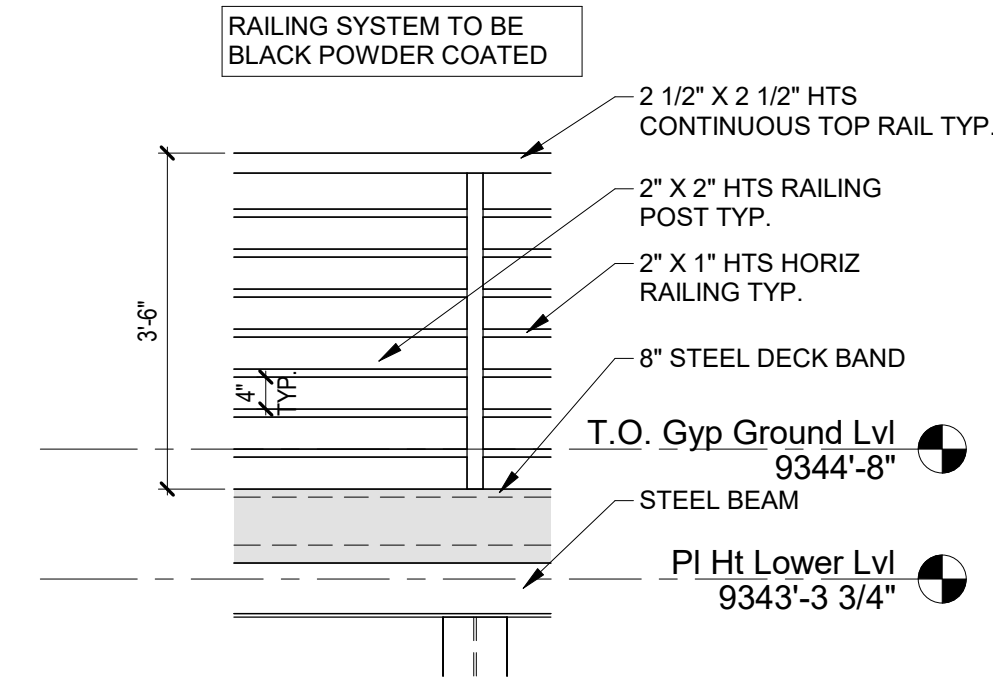
SHIFT ARCHITECTS

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www.shift-architects.com

PROJECT ISSUE DATE: 09-18-23 DRB REVISED PRELIMINARY REVIEW

NO.	DATE	DESC.
10	09.11.23	Raise entire structure 2'-0"

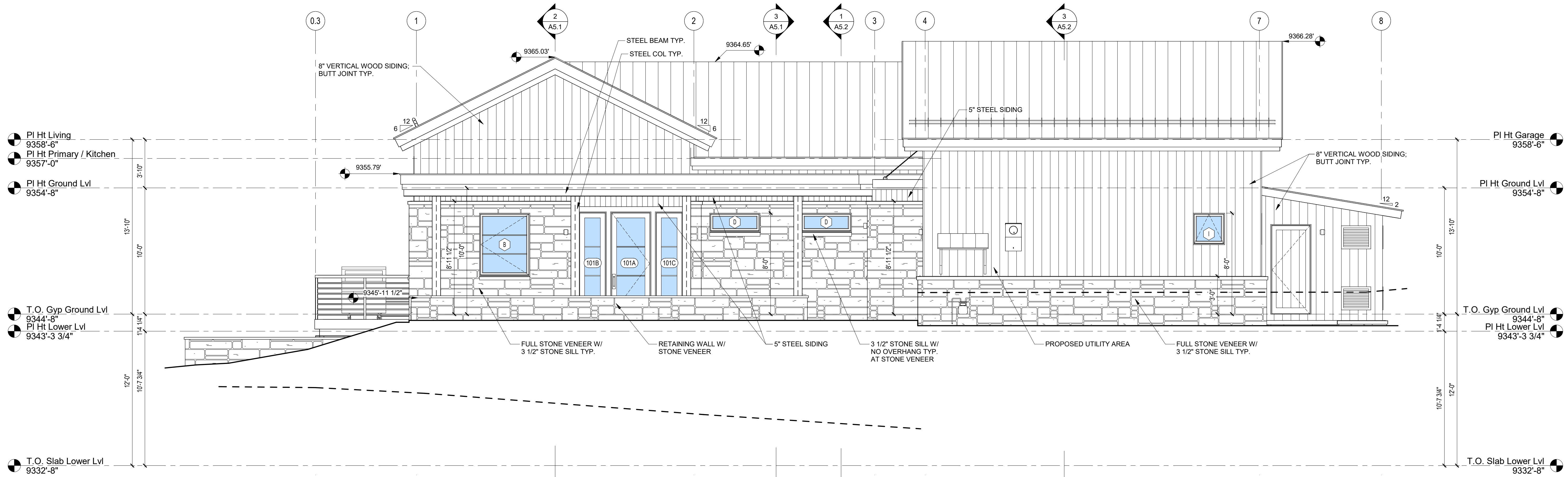
EXTERIOR MATERIALS



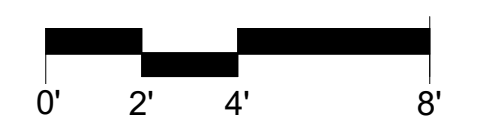
4 EXTERIOR RAILING
1/2" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"



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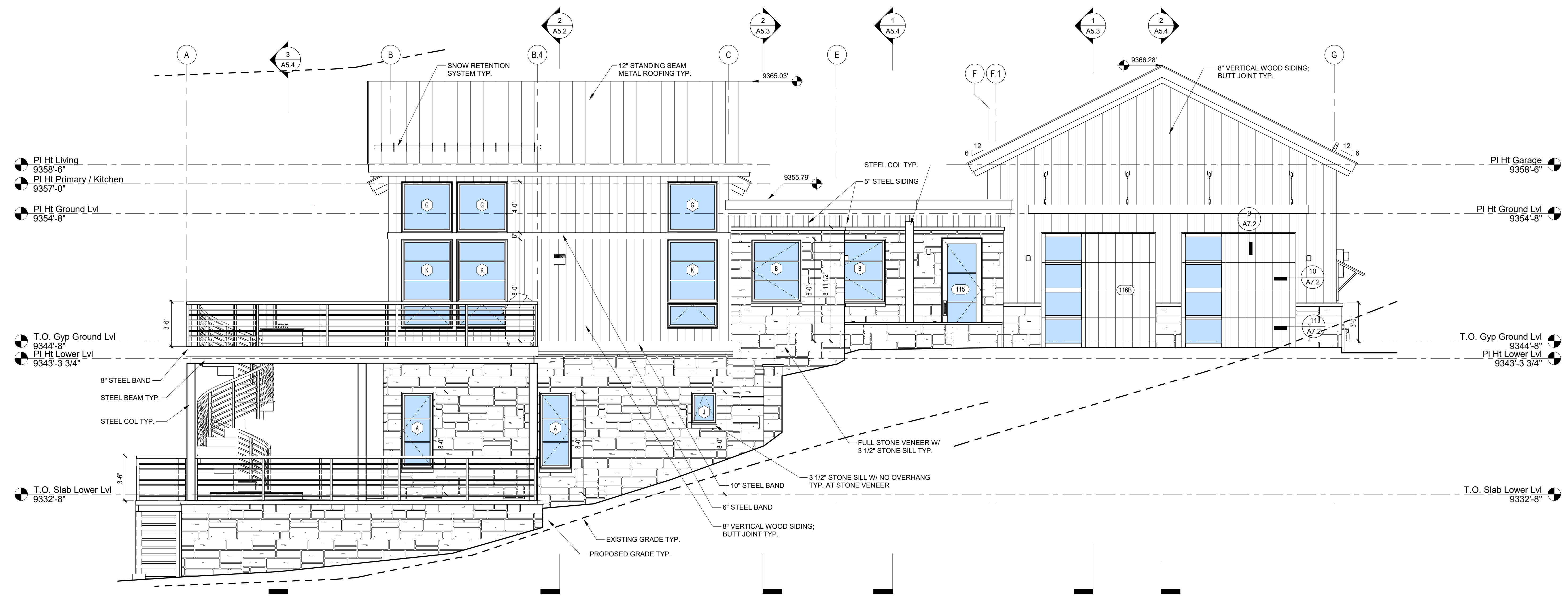
EXTERIOR ELEVATIONS

SHEET NUMBER

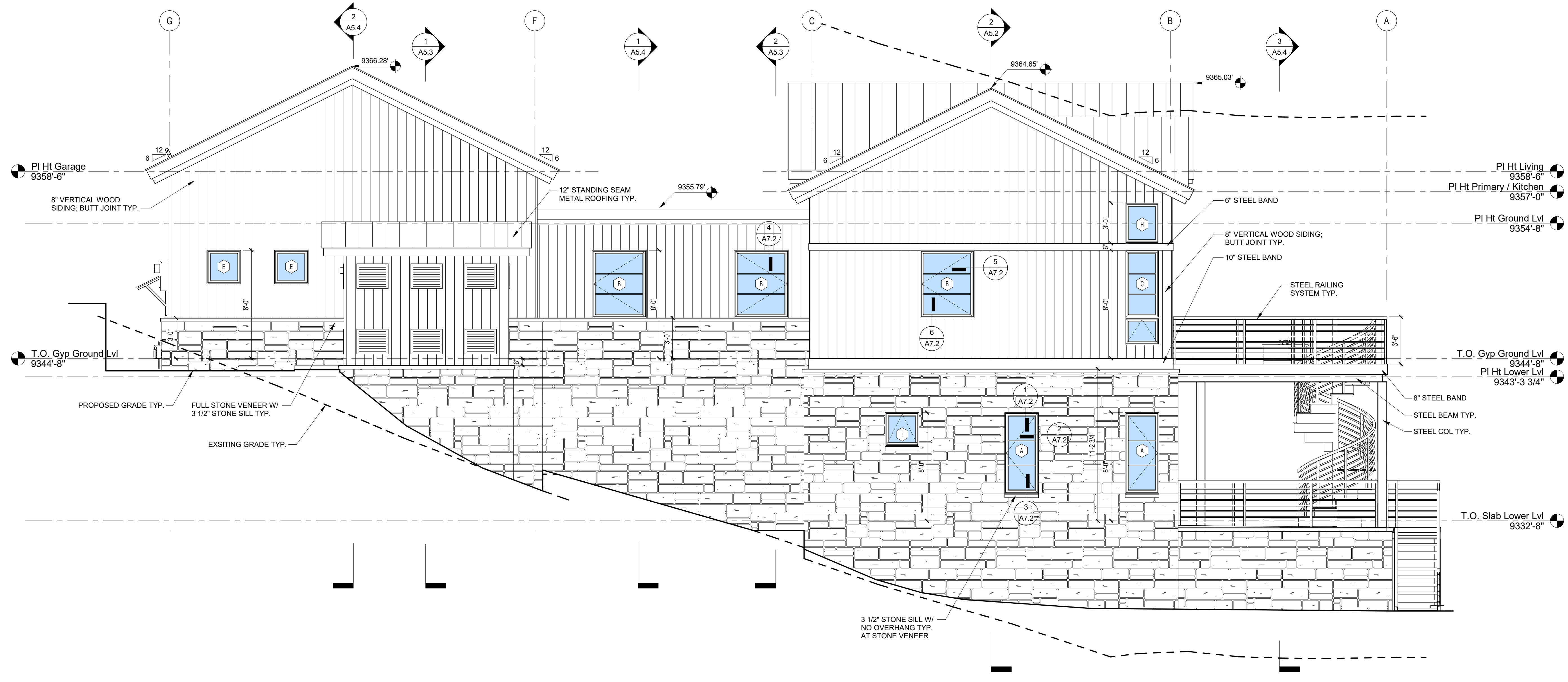
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2 WEST ELEVATION
 1/4" = 1'-0"



1 EAST ELEVATION
 1/4" = 1'-0"



NELSON RESIDENCE

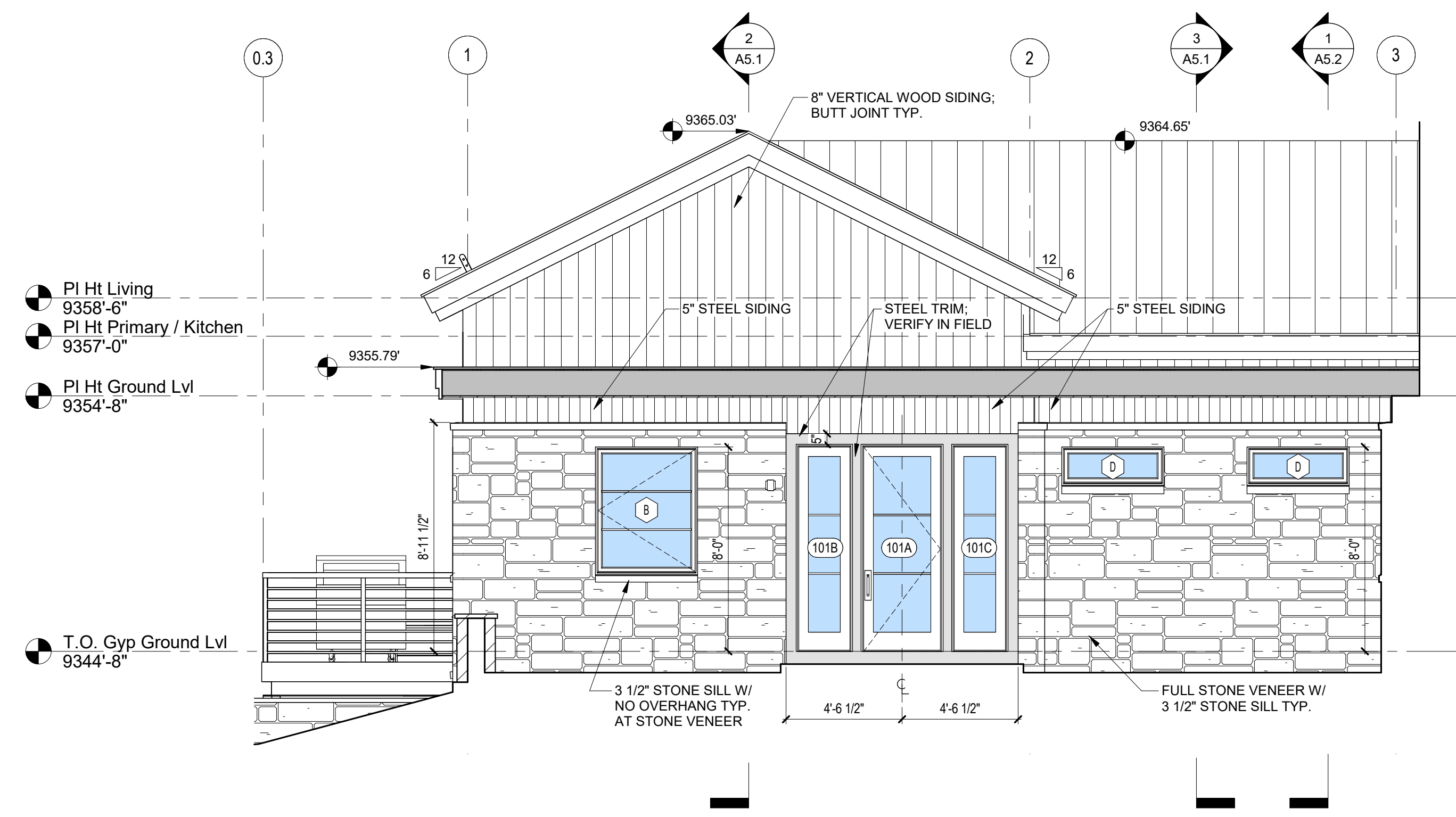
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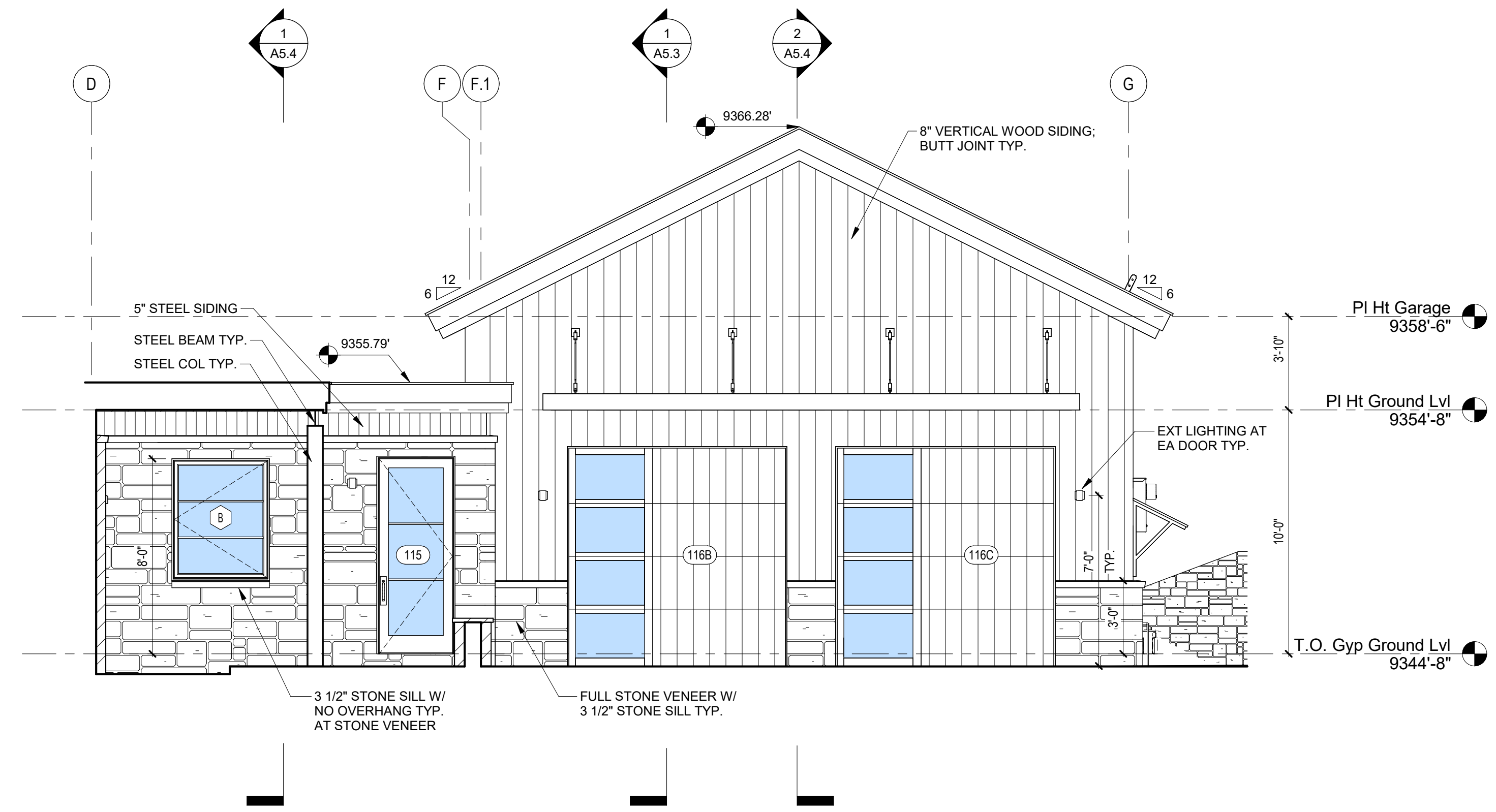
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121 ARIZONA ST., MOUNTAIN VILLAGE, CO 81435
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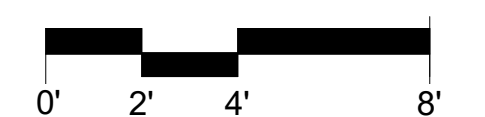
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1 PARTIAL ELEVATION AT COVERED ENTRY PORCH
1/4" = 1'-0"



2 PARTIAL ELEVATION AT MUD ROOM ENTRY
1/4" = 1'-0"



NELSON RESIDENCE

121 ARIZONA ST., MOUNTAIN VILLAGE, CO 81435
LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

EXTERIOR ELEVATIONS

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SHEET NUMBER

A4.3

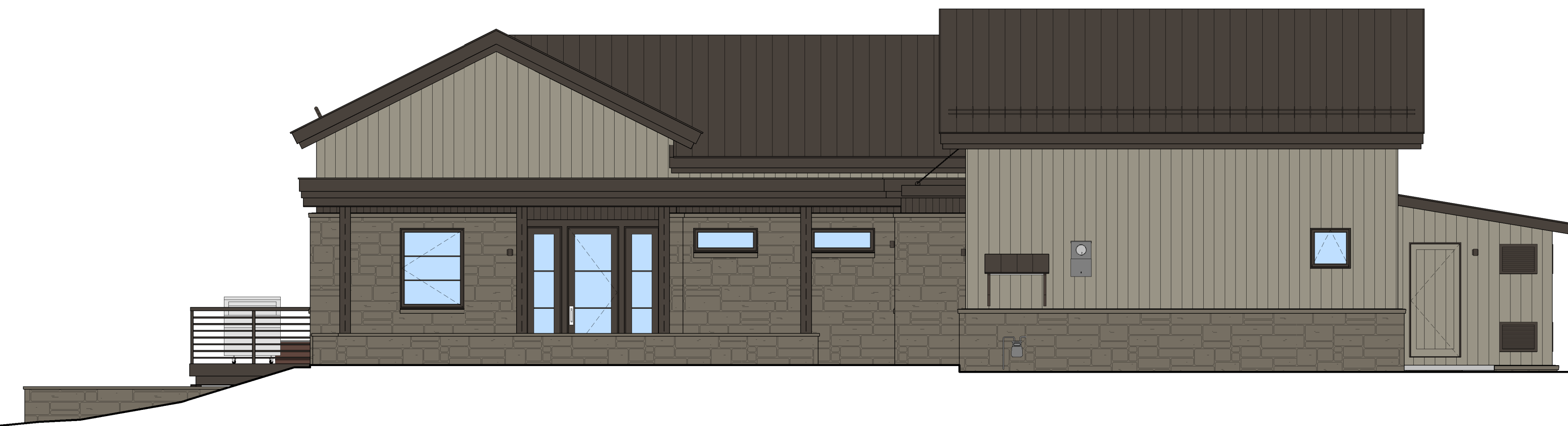
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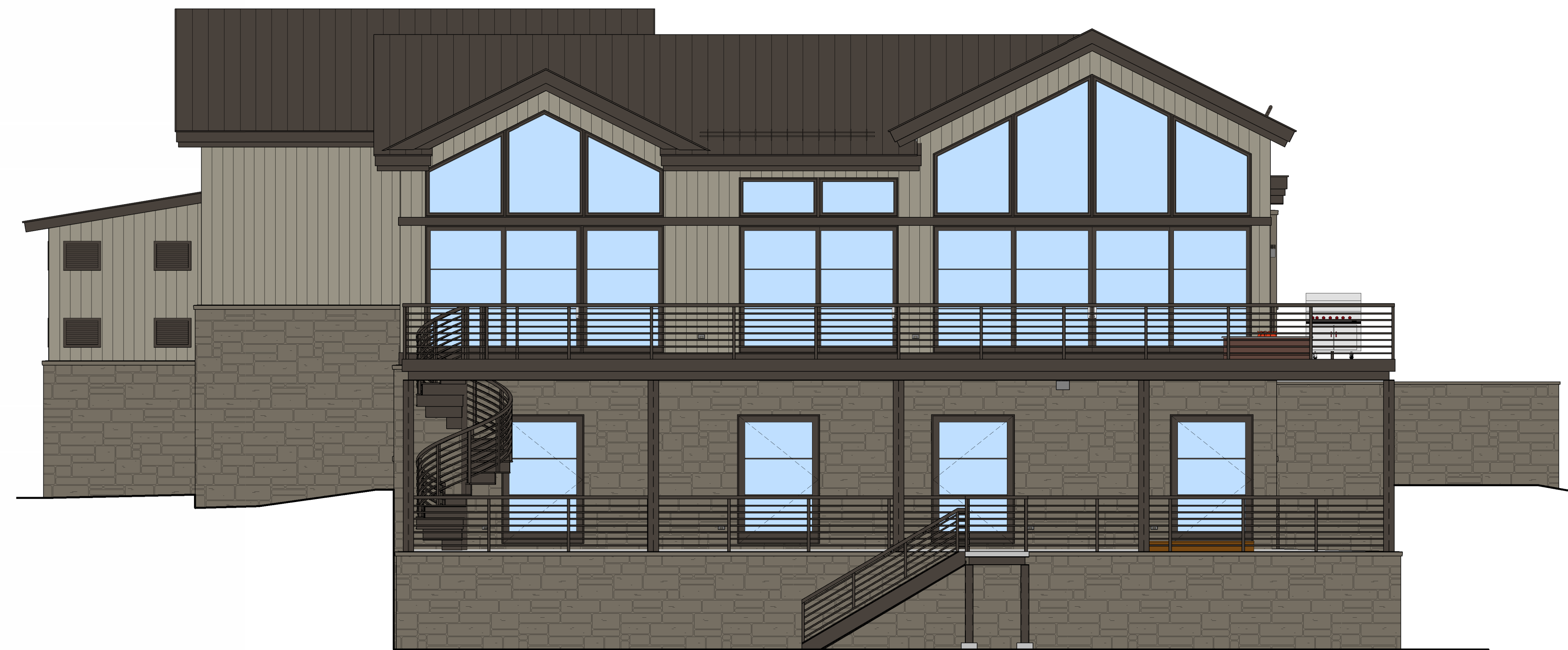
4 EAST ELEVATION
 3/16" = 1'-0"



3 WEST ELEVATION
 3/16" = 1'-0"



1 SOUTH ELEVATION
 3/16" = 1'-0"



2 NORTH ELEVATION
 3/16" = 1'-0"

NELSON RESIDENCE

121 ARIZONA ST, MOUNTAIN VILLAGE, CO 81435
 LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

PRESENTATION ELEVATIONS

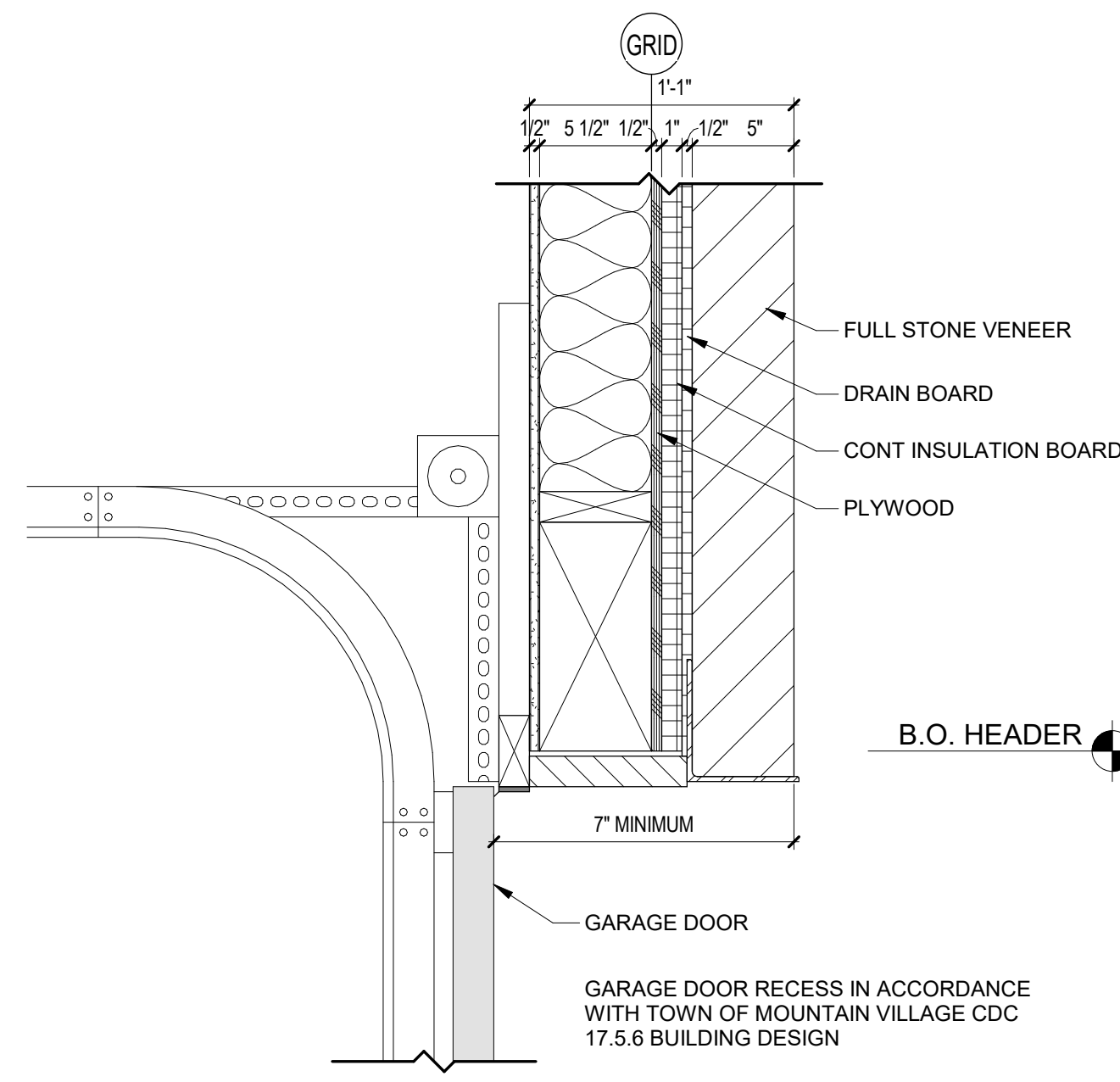
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A4.4

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1 GARAGE DOOR RECESS
1 1/2" = 1'-0"

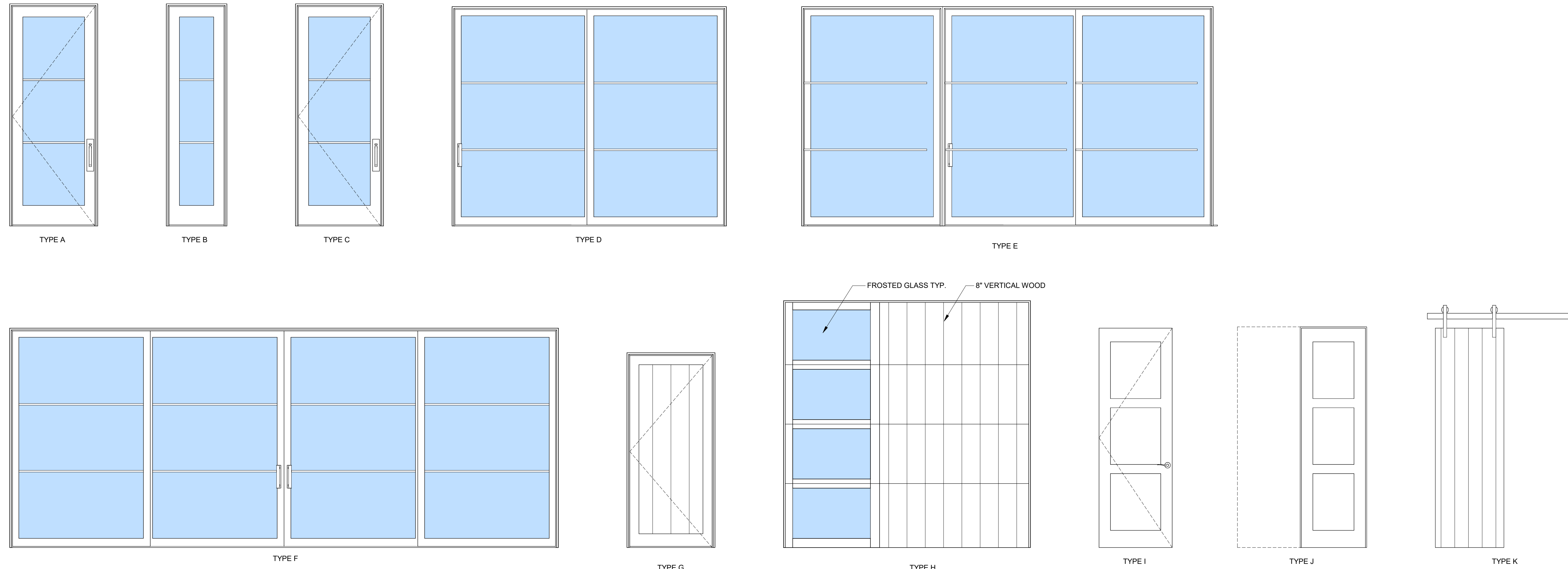
DOOR NOTES:

1. DOOR INSTALLATION: INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. PROVIDE TEMPERED GLASS AS REQUIRED BY CODE.
3. DOOR HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.
4. DOOR MANUFACTURER: WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR / PRE-PAINTED BLACK INTERIOR.
5. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
6. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
7. PROVIDE SCREENS FOR ALL DOORS.
8. DOORS SHALL BE IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE CHAPTER 17.5 DESIGN REGULATIONS (17.5.6.H DOORS AND ENTRY WAYS).

DOOR SCHEDULE EXTERIOR PANEL							
MARK	ROOM NAME	TYPE MARK	PANEL WIDTH	PANEL HEIGHT	TYPE	MANUFACTURER	COMMENTS
001	FAMILY	C	5'-0"	8'-0"	SWING	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
002B	BEDROOM 1	C	5'-0"	8'-0"	SWING	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
010B	BEDROOM 2	C	5'-0"	8'-0"	SWING	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
013B	BEDROOM 3	C	5'-0"	8'-0"	SWING	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
101A	ENTRY	A	3'-0"	8'-0"	SWING	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
101B	ENTRY	B	2'-0"	8'-0"	FIXED PATIO	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
101C	ENTRY	B	2'-0"	8'-0"	FIXED PATIO	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
115	MUD ROOM	C	3'-0"	8'-0"	SWING	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
116B	GARAGE	H	9'-0"	9'-0"	OVERHEAD DOOR		8" VERTICAL WOOD / FROSTED GLASS
116C	GARAGE	H	9'-0"	9'-0"	OVERHEAD DOOR		8" VERTICAL WOOD / FROSTED GLASS
117	GENERATOR ENCLOSURE	G	3'-0"	7'-0"	SWING		8" VERTICAL WOOD

DOOR SCHEDULE EXTERIOR FRAME							
MARK	ROOM NAME	TYPE MARK	UNIT WIDTH	UNIT HEIGHT	TYPE	MANUFACTURER	COMMENTS
103	LIVING	F	20'-0"	8'-0"	BI-PARTING (4 PANEL)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
104	DINING	D	10'-0"	8'-0"	SLIDING PATIO (2 PANEL)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
109B	PRIMARY BEDROOM	E	15'-0"	8'-0"	SLIDING PATIO (3 PANEL)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	

DOOR SCHEDULE INTERIOR PANEL							
MARK	ROOM NAME	TYPE MARK	PANEL WIDTH	PANEL HEIGHT	TYPE	MANUFACTURER	COMMENTS
002A	BEDROOM 1	I	2'-8"	8'-0"	SWING		
003	BATH 1	I	2'-4"	8'-0"	SWING		
004	WC 1	J	2'-4"	8'-0"	POCKET		
006	CLO 1	K	2'-0"	8'-0"	BARN DOOR (SINGLE)		
008	MECH / STORAGE	I	3'-0"	8'-0"	SWING		20 MIN FIRE RATED
009	LAUNDRY	I	3'-0"	8'-0"	SWING		
010A	BEDROOM 2	I	2'-8"	8'-0"	SWING		
011A	BATH 2	I	2'-4"	8'-0"	SWING		
011B	BATH 2	I	2'-4"	8'-0"	SWING		
013A	BEDROOM 3	I	2'-8"	8'-0"	SWING		
014	BATH 3	I	2'-4"	8'-0"	SWING		
016	CLO 3	I	2'-4"	8'-0"	SWING		
107	PANTRY	I	2'-4"	8'-0"	SWING		
108	POWDER	J	2'-4"	8'-0"	POCKET		
109A	PRIMARY BEDROOM	I	2'-8"	8'-0"	SWING		
110	PRIMARY BATH	J	2'-6"	8'-0"	POCKET		
112	PRIMARY WC	J	2'-4"	8'-0"	POCKET		
113	PRIMARY CLO	K	2'-6"	8'-0"	BARN DOOR (SINGLE)		
114	OFFICE	J	3'-0"	8'-0"	POCKET		
116A	GARAGE	I	3'-0"	8'-0"	SWING		20 MIN FIRE RATED



DOOR TYPES



PROJECT ISSUE DATE:
09-18-23 DRB REVISED PRELIMINARY REVIEW

REVISIONS
NO. DATE DESC.

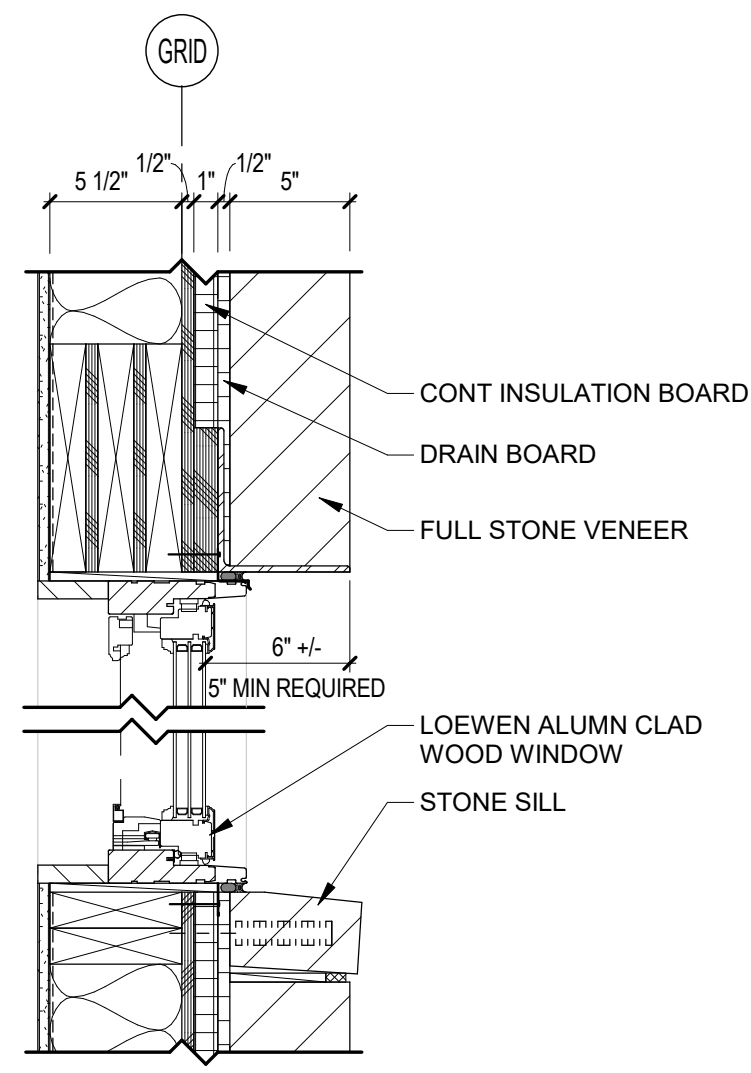
NELSON RESIDENCE
 121 ARIZONA ST., MOUNTAIN VILLAGE, CO 81435
 LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

DOOR SCHEDULE
SHEET NUMBER

A8.1

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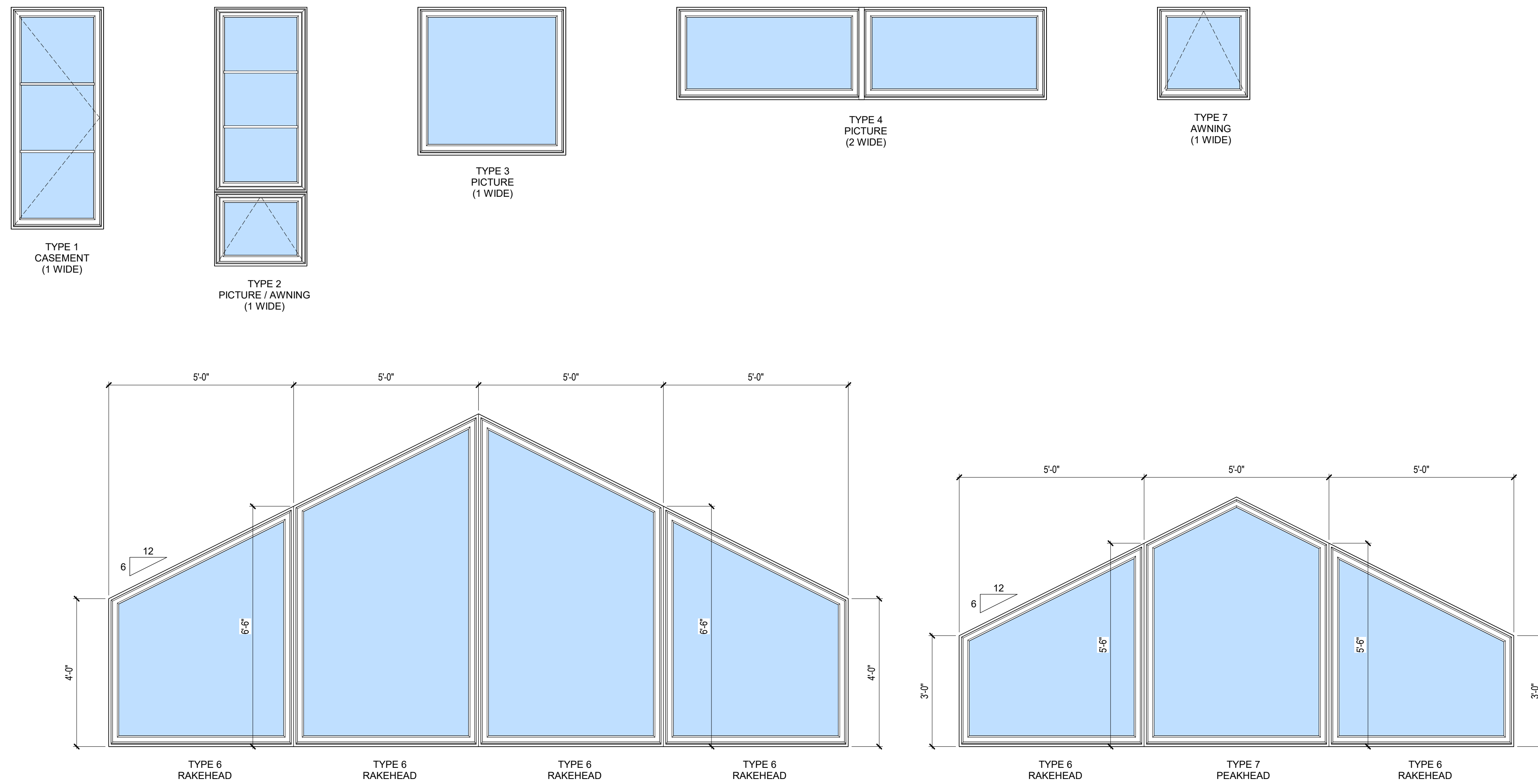


1 WINDOW HEAD/SILL STONE VENEER
1 1/2" = 1'-0"

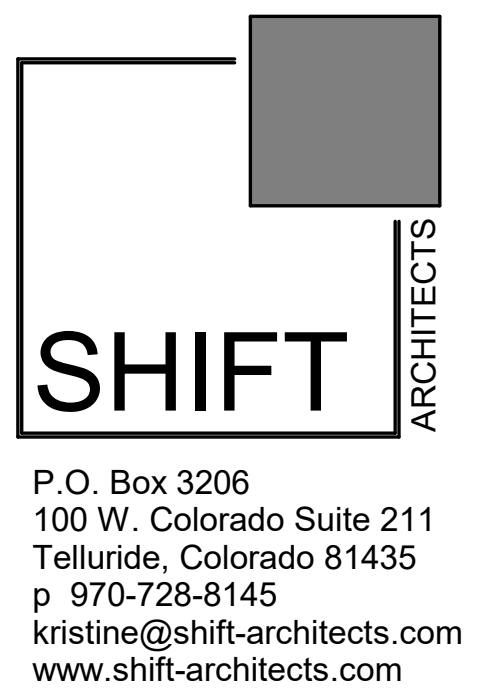
WINDOW NOTES:

1. WINDOW INSTALLATION: INSTALL WINDOWS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. PROVIDE TEMPERED GLASS AS REQUIRED BY CODE.
3. SEE ELEVATIONS FOR WINDOW MULLION PATTERN.
4. WINDOW MANUFACTURER: WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR / PRE-PAINTED BLACK INTERIOR.
5. WINDOW HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.
6. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
7. WINDOW MANUFACTURER TO VERIFY WINDOW SWINGS.
8. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
9. PROVIDE SCREENS FOR ALL OPERABLE WINDOWS.
10. WINDOWS SHALL BE IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE CHAPTER 17.5 DESIGN REGULATIONS (17.5.6.G GLAZING).

WINDOW SCHEDULE								
ROOM NUMBER	ROOM NAME	TYPE MARK	UNIT WIDTH	UNIT HEIGHT	TYPE MARK	TYPE	MANUFACTURER	COMMENTS
002	BEDROOM 1	A	2'-6"	6'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
002	BEDROOM 1	A	2'-6"	6'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
004	WC 1	J	2'-0"	2'-6"	5	AWNING (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
013	BEDROOM 3	A	2'-6"	6'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
013	BEDROOM 3	A	2'-6"	6'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
014	BATH 3	I	2'-6"	2'-6"	5	AWNING (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
102	STAIRS	B	4'-0"	5'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
102	STAIRS	B	4'-0"	5'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
103	LIVING	G	4'-0"	4'-0"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
103	LIVING	G	4'-0"	4'-0"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
103	LIVING	G	4'-0"	4'-0"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
103	LIVING	K	4'-0"	7'-0"	2	PICTURE O/ AWNING (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	PICTURE 4'-0" X 5'-0" / AWNING 4'-0" X 2'-0"
103	LIVING	K	4'-0"	7'-0"	2	PICTURE O/ AWNING (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	PICTURE 4'-0" X 5'-0" / AWNING 4'-0" X 2'-0"
103	LIVING	K	4'-0"	7'-0"	2	PICTURE O/ AWNING (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	PICTURE 4'-0" X 5'-0" / AWNING 4'-0" X 2'-0"
103	LIVING	L	5'-0"	4'-0"	6	PICTURE (RAKEHEAD)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
103	LIVING	L	5'-0"	4'-0"	6	PICTURE (RAKEHEAD)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
103	LIVING	M	5'-0"	6'-6"	6	PICTURE (RAKEHEAD)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
103	LIVING	M	5'-0"	6'-6"	6	PICTURE (RAKEHEAD)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
104	DINING	F	10'-0"	2'-6"	4	PICTURE (2 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
105	KITCHEN	D	4'-0"	1'-6"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
108	POWDER	D	4'-0"	1'-6"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
109	PRIMARY BEDROOM	C	2'-6"	7'-0"	2	PICTURE O/ AWNING (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	PICTURE 2'-6" X 5'-0" / AWNING 2'-6" X 2'-0"
109	PRIMARY BEDROOM	H	2'-6"	3'-0"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
109	PRIMARY BEDROOM	N	5'-0"	3'-0"	6	PICTURE (RAKEHEAD)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
109	PRIMARY BEDROOM	N	5'-0"	3'-0"	6	PICTURE (RAKEHEAD)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
109	PRIMARY BEDROOM	O	5'-0"	5'-6"	7	PICTURE (PEAKHEAD)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
110	PRIMARY BATH	B	4'-0"	5'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
114	OFFICE	B	4'-0"	5'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
115	MUD ROOM	B	4'-0"	5'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
115	MUD ROOM	B	4'-0"	5'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
116	GARAGE	E	2'-6"	2'-6"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
116	GARAGE	E	2'-6"	2'-6"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
116	GARAGE	I	2'-6"	2'-6"	5	AWNING (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	



WINDOW TYPES



P.O. Box 3206
100 W. Colorado Suite 211
Telluride, Colorado 81435
p 970-728-8145
kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE:
09-18-23 DRB REVISED PRELIMINARY REVIEW

REVISIONS
NO. DATE DESC

NELSON RESIDENCE
 121 ARIZONA ST., MOUNTAIN VILLAGE, CO 81435
 LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

WINDOW SCHEDULE

SHEET NUMBER

A8.2

NOT FOR CONSTRUCTION

© shift architects

9/18/2023 6:56:40 AM

EXTERIOR FIXTURE X1:

EXTERIOR WALL SCONCE (5 TOTAL)



PITCH OUTDOOR WALL SCONCE	
BLACK	
MANUFACTURER	VISUAL COMFORT & CO / TECH LIGHTING
COLLECTION	SEAN LAVIN / MODERN COLLECTION
ITEM	700WSPITSSB-LED830
MATERIAL	DIE-CAST ALUMINUM W/ STAINLESS STEEL HARDWARE
WIDTH	3.9"
HEIGHT	5"
LENGTH	5"
DELIVERED LUMENS	823
CRI	90
COLOR TEMP	3000K
WATTS	26.2
LIGHT DISTRIBUTION	DOWNLIGHT ONLY
RATED LIFE	70,000 HOURS
DIMMABLE	YES W/ ELECTRONIC LOW VOLTAGE (ELV) DIMMER
VOLTAGE	12V
LIGHT SOURCE	2 WATT (88 LUMENS) 12 VOLT INTEGRATED LED
DARK SKY	YES
CERTIFICATION	UL1838, IP66 WET LOCATIONS

EXTERIOR FIXTURE X2:

EXTERIOR LED WALL/STEP LIGHT (6 TOTAL)



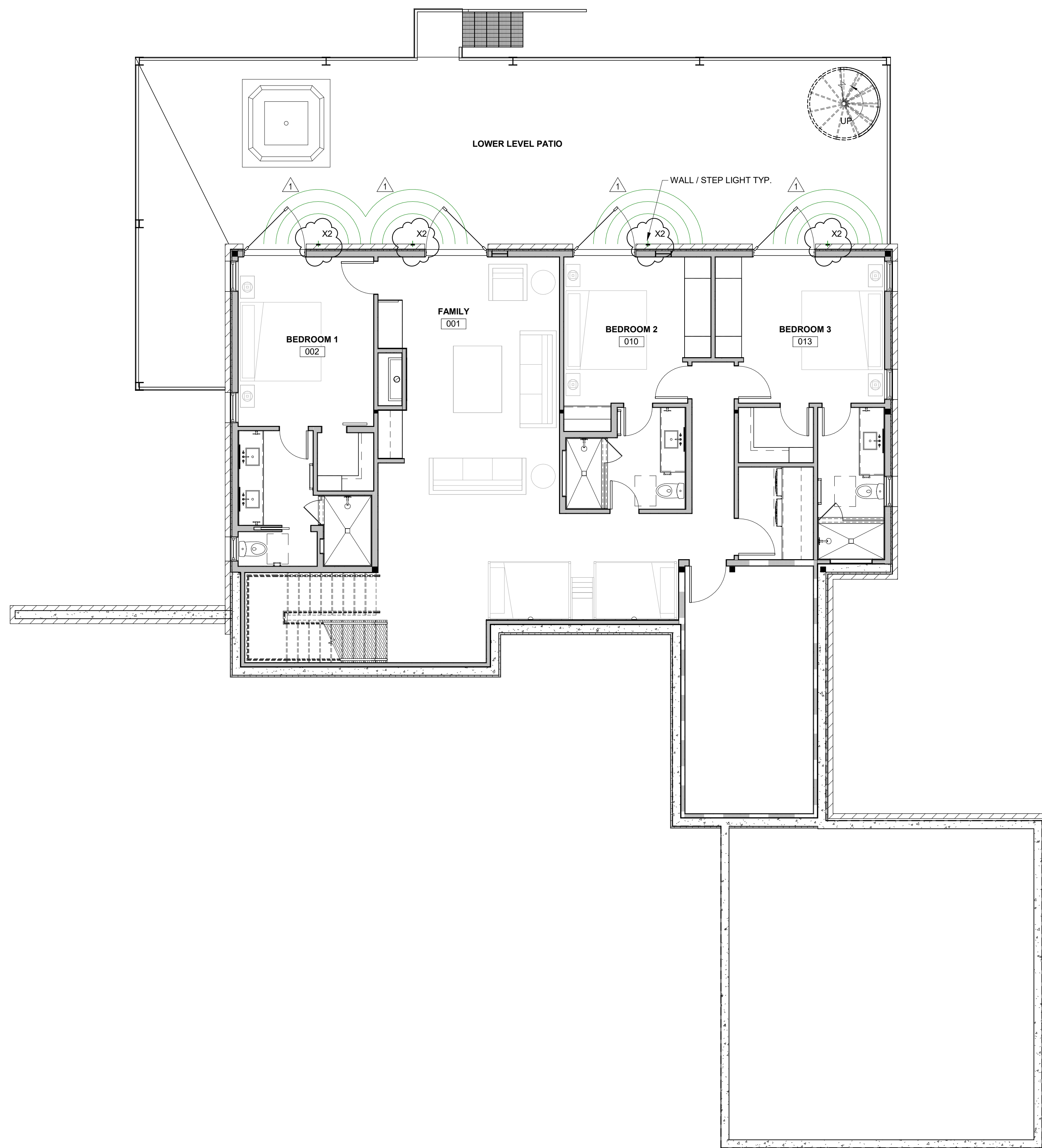
LANDSCAPE LIGHTING LED HORIZONTAL STEP LIGHT	
BLACK ON ALUMINUM	
MANUFACTURER	WAC LIGHTING
ITEM	4011-30-BK
MATERIAL	CORROSION RESISTANT ALUMINUM ALLOY
GLASS	FROSTED GLASS DIFFUSER
WIDTH	5"
HEIGHT	3"
DEPTH	1 1/2"
LUMENS	68
BEAM SPREAD	50°
CRI	90
COLOR TEMP	3000K
PRIMARY BULB	1 X 2.0 WATTS 2.0 LED
RATED LIFE	60,000 HOURS
DIMMABLE	10% - 100% DIMMING
	WITH ELECTRONIC LOW VOLTAGE (ELV) DIMMER
VOLTAGE	12V
LIGHT SOURCE	2 WATT (68 LUMENS) 12 VOLT INTEGRATED LED
CERTIFICATION	UL1838, IP66 WET LOCATIONS

LIGHTING LEGEND

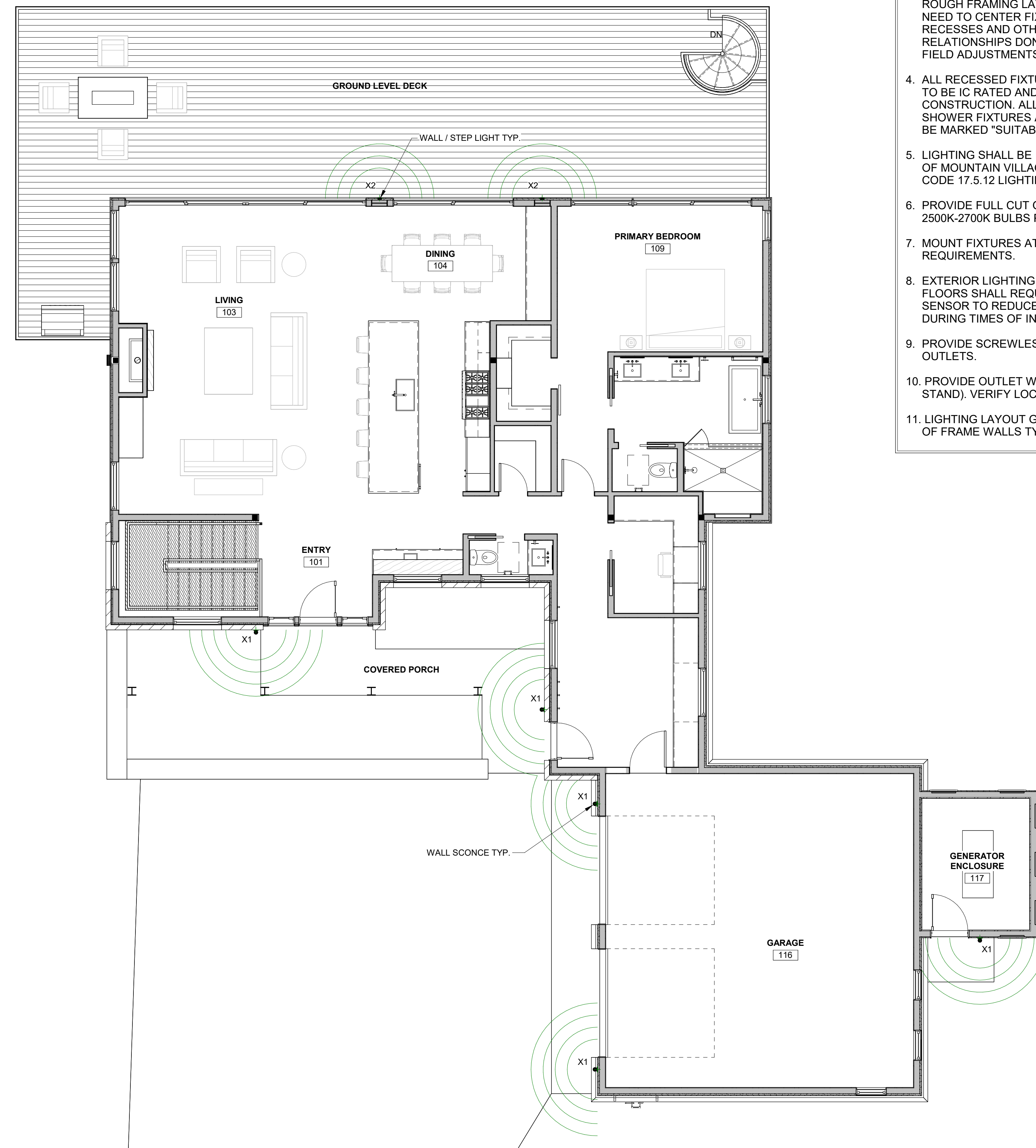
C1	RECESSED CAN	MS	MOTION SENSOR
C2	RECESSED CAN; DIRECTIONAL	OP	PENDANT
C3	RECESSED CAN; WET LOCATIONS	UC	UNDER CABINET LED STRIP
C4	RECESSED CAN; LOW PROFILE	R	RECESSED LED LIGHT
E	RECESSED CAN; EXTERIOR	TL	TABLE LAMP RECEPTACLE
FL	CEILING FAN	FL	FLOOR LAMP RECEPTACLE
FN	CEILING FAN W/ LIGHT	USB	OUTLET WITH USB
F1	2' LINEAR CLOSET FIXTURE	S	WALL MOUNTED SCONCE
F2	2'X2' FLUSH MOUNT LED LIGHT	ST	STEP LIGHT
CH	2'X4' FLUSH MOUNT LED LIGHT	S2	TWO WAY SWITCH
CH	SURFACE MOUNT FIXTURE	S3	THREE WAY SWITCH
CH	CHANDELIER	WG	WALL GRAZING
CH	MONO POINT FIXTURE	X1	EXTERIOR SCONCE
CH	DOUBLE HEADED MONO POINT	X2	EXTERIOR WALL / STEP
			FIXTURE LAYOUT GRID

LIGHTING NOTES:

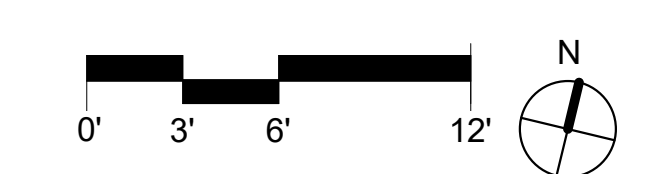
1. FIELD VERIFY ALL LIGHTING LOCATIONS.
2. TYPICAL LIGHTING LOCATION AT STAIRS: (2 EA) PER RUN (1) EA PER LANDING
3. CONTRACTOR SHALL TAKE CARE IN PLANNING ROUGH FRAMING LAYOUT AS IT RELATES TO THE NEED TO CENTER FIXTURES IN HALLWAYS, RECESSES AND OTHER AREAS WHERE RELATIONSHIPS DON'T OFFER ANY LATITUDE OR FIELD ADJUSTMENTS.
4. ALL RECESSED FIXTURES AT INSULATED CEILINGS TO BE IC RATED AND CERTIFIED AIR TIGHT CONSTRUCTION. ALL EXTERIOR FIXTURES, SHOWER FIXTURES AND FIXTURES OVER TUBS TO BE MARKED "SUITABLE FOR DAMP LOCATIONS".
5. LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS
6. PROVIDE FULL CUT OFF FIXTURES WITH LED 10W 2500K-2700K BULBS PER CDC REQUIREMENTS.
7. MOUNT FIXTURES AT 7'-0" AFF MAX PER CDC REQUIREMENTS.
8. EXTERIOR LIGHTING ON SECOND AND UPPER FLOORS SHALL REQUIRE EITHER A TIMER OR SENSOR TO REDUCE USAGE AND ENERGY LOSS DURING TIMES OF INACTIVITY.
9. PROVIDE SCREWLESS CAPS IN ALL SWITCHES AND OUTLETS.
10. PROVIDE OUTLET W/ USB AT EA BED (NIGHT STAND). VERIFY LOCATION IN FIELD.
11. LIGHTING LAYOUT GRID DIMENSIONS ARE TO FACE OF FRAME WALLS TYP.



1 LOWER LEVEL
 3/16" = 1'-0"



2 GROUND LEVEL
 3/16" = 1'-0"





Agenda Item No. 10
**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

TO: Town Council
FROM: Claire Perez, Planner II
FOR: Design Review Board Public Hearing; October 5, 2023
DATE: September 26, 2023
RE: Discussion for additional month for Design Review, and the 2024 Design Review Board Meeting Schedule

OVERVIEW

The Design Review Board currently meets the first Thursday of each month. Historically, applicants are scheduled for Initial Architecture Review one month, and then for Final Architecture Review the following month. The CDC doesn't dictate any specific schedule outside of the fact that it requires an Initial and Final Architectural Review. Because of timing associated with getting the meeting minutes out to applicants following the initial review, as well as the turnaround time for staff review and packet printing, this schedule allows applicants approximately one week to revise their application materials to address concerns raised by the DRB during the initial architecture review hearing. This schedule is difficult for applicants and staff to keep up with. For example, this month, four applicants have requested to continue their hearing from October 5, 2023, to a later date to allow for more time to revise their application materials. Due to limited staffing, it would be beneficial to Town Staff and applicants to allow an extra month between Initial and Final hearings.

The drawbacks to adding a month between hearings are that it will take at least an additional month to get through the design review process and that it could potentially be more difficult for DRB members to remember details from previous meetings given the longer time period of review.

In addition to the discussion over application timing we will be reviewing the proposed DRB schedule for 2024. In past years we haven't had a meeting in April to allow for off season travel. Instead, we have had two meetings in March. The way the calendar falls this year, two meetings in March would only fall three weeks apart. The first Thursday in March is April 4, before the ski area closes. Staff are proposing to have a meeting in April. Another month for discussion is July, the first Thursday of July is the 4th (Independence Day). Staff are proposing that we have the July meeting on the second Thursday in July (July 11). As an alternative we could consider having it on Tuesday, July 2.

DRB should discuss both the extended design review schedule and the proposed DB calendar.

ATTACHMENT

- Exhibit A: 2024 Proposed DRB Schedule

RECOMMENDATION

Staff asks the Design Review Board to approve the 2024 Design Review Board Schedule, and give staff direction regarding the request to adjust the schedule to allow for an extra month between the Initial and Final Architecture Review.

PROPOSED MOTIONS

“I move to approve the Design Review Board Meeting schedule for 2024 as proposed in the staff memo of record dated September 26, 2023.”

Or alternatively, “I move to approve the Design Review Board Meeting schedule for 2024 as proposed in the staff memo of record dated September 26, 2023 with the following revisions_____.”

2024 DRB Meeting Schedule

DRB Meeting Dates for 2024	
Thursday, January 4, 2024	10am
Thursday, February 8, 2024	10am
Thursday, March 7, 2024	10am
Thursday, April 4, 2024	10am
Thursday, May 2, 2024	10am
Thursday, June 6, 2024	10am
Thursday, July 11, 2024	10am
Thursday, August 8, 2024	10am
Thursday, September 5, 2024	10am
Thursday, October 3, 2024	10am
Thursday, November 7, 2024	10am
Thursday, December 5, 2024	10am

Proposed Motion:

I move to approve the Design Review Board meeting schedule for 2024 as proposed.



**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

Agenda Item #11

TO: Mountain Village Design Review Board
FROM: Amy Ward, Community Development Director
FOR: October 5, 2023
DATE: September 28, 2023
RE: Staff Memo – Specific Approval – Redi-Rock cast concrete retaining wall on Lot 644 & Tract F22-2, at TBD Adams Ranch Rd, pursuant to CDC Section 17.4.11

APPLICATION OVERVIEW: Specific Approval: Materials, Lot 644 & Tract F22-2, TBD Adams Ranch Rd

PROJECT GEOGRAPHY

Legal Description: LOT 644 TELLURIDE MOUNTAIN VILLAGE FILING 22 PLAT 1 PG 932 THRU 933 & TRACT F22-2 TMV

Address: TBD Adams Ranch Rd
Applicant/Agent: Michael O’Connor, Triumph Development
Owner: Town of Mountain Village
Zoning: Multi-Family, TMV Active Open Space
Existing Use: Vacant
Lot Size: 70131.6 Sq Feet, 1.61 Acres & 27399.2 Sq Feet, .63 Acres
Proposed Use: Multi-Family
Adjacent Land Uses:
o **North:** Passive Open Space
o **South:** Multi-Family
o **East:** Multi-Family
o **West:** Passive Open Space



Case Summary:

Michael O’Connor of Triumph West Development is requesting Design Review Board (DRB) approval of a specific approval for exterior material for a retaining wall at Lot 644. Lot 644 is the future home of the Meadowlark Project, a deed restricted community of 29 condominiums that is being developed as a public private partnership between the Town of Mountain Village and Triumph West Development. The proposal consists of the use of Redi-Rock LedgeStone cast concrete for a retaining wall. In areas visible from public view, retaining structures shall be constructed of boulders or concrete walls faced with preapproved stone veneer or with preapproved stone walls, per CDC section 17.5.7.F.1. Therefore, the use of concrete precast modular blocks requires a specific approval by DRB.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. **Please note that Staff comments will be indicated by *italicized Text*.**

This application was discussed at the **September 7, 2023** regular Design Review Board Meeting and **continued** for further discussion. DRB wanted to see a physical installation of the material. The applicant wasn't able to find a good representation of this material in close vicinity to Mountain Village, therefore plans to have a representative attend the October 5 meeting via Zoom, with a video feed so that DRB members can see the material virtually.

Chapter 17.5: DESIGN REGULATIONS

17.5.2.B: Applicability

Per the CDC, "Workforce housing development shall be in accordance with the Design Regulations, except that the DRB may, at its discretion, vary the Design Regulations' requirements."

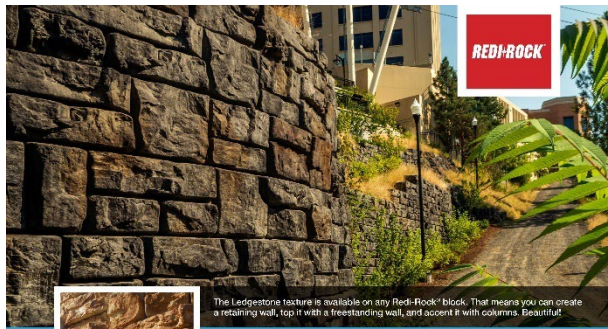
Staff: The use of this material will be of significant cost savings to the Town. The cost for developing the access tract is born exclusively by the Town, not a shared cost with the developer of the Meadowlark Project. The material is known to be durable and low maintenance. DRB should base a decision on whether they are satisfied with the visual look of the material as understood from the video feed provided by applicant at the hearing.

The following portion of the memo is the same material presented for the September 7, 2023 regular DRB hearing and is provided as a courtesy.

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. The Town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: Redi-Rock is a suitable material for high-alpine environments. The material's colors can be formulated for the local region and capture the essence of natural rock. The interlocking structure and texture on Redi-Rock mirrors the organic pattern of natural rock formations and allows the retaining wall to resist the demands of snow accumulation, abrupt temperature fluctuations, and high winds. Additionally, the blocks allow water to flow through, reducing pressure and erosion. Overall, it appears that the proposed materials and design would fit within the existing Mounting Village Design Theme



The Ledgestone texture is available on any Redi-Rock® block. That means you can create a retaining wall, top it with a freestanding wall, and accent it with columns. Beautiful!

REDI-ROCK TEXTURE:
LEDGESTONE

Strong. Rugged. Handsome. What, you don't have those thoughts about retaining walls?

Well, we do. At Redi-Rock, we like retaining walls to look great while doing the hard job of holding back the earth. We painstakingly sought out world-class stone to create molds that give these blocks their classic stone aesthetics.

Redi-Rock Ledgestone blocks give projects a random, stacked stone look. Because they're made using architectural-grade precast concrete, the level of detail in the texture is outstanding.



Ledgestone Block Specifications

- Tripe-oid shape allows convex and concave radii
- 5.5 inch (140 millimeter) deep texture
- Colors can be formulated based upon local region
- Ten individual face molds offer up to 115 square feet (10.5 square meters) of non-repeating patterns
- Wet cast concrete gives a greater level of detail and durability

Regional colors and coordinating accessories are available. Contact your local Redi-Rock retailer or visit redi-rock.com to learn more about the Redi-Rock Ledgestone face today!



Surrounding Context – Retaining Wall along Adams Ranch Rd and Driveway to the Terraces

17.5.6: Building Design

Concrete precast modular blocks are not specifically mentioned as an allowable material for retaining walls in the CDC. However, boulders and concrete are permitted. Therefore, a Class 3 development application and building specific design review is required. DRB should discuss whether concrete modular blocks for retaining walls are found to be consistent with the Town design theme and applicable Design Regulations, and whether the material is suitable for retaining walls in areas visible from public view.

Staff: The retaining walls will be located along the northwest side of the access tract and the west side of Lot 644, which is furthest from Adams Ranch Rd. The retaining walls are used to create Lot 644's driveway and a small portion of the parking lot. Retaining walls are used because of the steep slopes in these areas of the lots.

The lots are located along the west branch of Adams Ranch Rd, which services Big Billies and the Terraces. The retaining walls will be visible from the road. Since the proposed retaining walls are made of concrete modular blocks, it is within the board's discretion to determine if this material fits in this location and within this design context.

The irregular and textured surface of the modular blocks mimics a stone retaining wall. In context of the surrounding area, the modular blocks will complement the proposed stone veneer on the lower levels of the multi-family buildings on Lot 644. Additionally, the blocks will mimic the retaining wall used to create the final section of Adams Ranch Rd and driveway to the Terraces. The material is not expected to have a negative impact on the surrounding neighborhood and the materials blend in with the existing surrounding context. It should also be noted that this is for an affordable housing project in which the Town is a partner. The cost of the development of the access tract is entirely the burden of the Town of Mountain Village. In the past the board has sometimes given specific approvals for materials utilized in the creation of employee housing if it meets the intent of the code while allowing for a more budget friendly approach. The utilization of

concrete modular blocks instead of a cast in place concrete wall that is stone clad would be a significant cost savings to the Town.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion:

If DRB chooses to recommend **approval** of the specific approval than staff suggests the following motion:

I move to approve the specific approval for the use of Concrete precast modular blocks for the retaining walls on Lot 644 and Tract F22-2, TBD Adams Ranch Rd based on the evidence provided in the staff record of memo dated September 28, 2023, and the findings of this meeting.