

**TOWN OF MOUNTAIN VILLAGE  
REGULAR DESIGN REVIEW BOARD MEETING AGENDA  
THURSDAY NOVEMBER 2, 2023, 10:00 AM  
MOUNTAIN VILLAGE TOWN HALL  
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO  
TO BE HELD HYBRID THROUGH ZOOM:  
https://us06web.zoom.us/j/88606387563  
Meeting ID: 886 0638 7563**

Zoom participation in public meetings is being offered as a courtesy, however technical difficulties can happen, and the Town bears no responsibility for issues that could prevent individuals from participating remotely. Physical presence in Council chambers is recommended for those wishing to make public comments or participate in public hearings.

	Time	Min.	Presenter	Type	
1.	10:00		Chair	Chair	Call to Order
2.	10:00	2	Perez	Action	<ol style="list-style-type: none"> <li>1. Reading and Approval of Summary of Motions of the September 7, 2023, Design Review Board Meeting</li> <li>2. Consideration of a Resolution for Denial Regarding the Consideration of a Design Review: Specific Approval for Retaining Wall Material Along the Project Access Tract for Lot 644, pursuant to CDC Section 17.4.11</li> </ol> <p style="text-align: center;"><i>Consent items are administrative and not public hearing items. The DRB can make a motion to approve the consent agenda as a whole.</i></p>
3.	10:02	5	Perez	Quasi-judicial	Consideration of Amended 2024 Design Review Board Schedule.
4.	10:07	45	Perez/ Applicant	Quasi-judicial	Consideration of a Design Review: Initial Architecture and Site Review for Lot 161A-4 Unit 12, 8 Horseshoe Lane, pursuant to CDC Section 17.4.11
5.	10:52	45	Perez/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for Lot 166AR2-2, 1 Stonegate Drive, pursuant to CDC Section 17.4.11
6.	11:37	30	Walters	Work Session	Discussion regarding tree protection during construction.
7.	12:07	15	<b>Lunch</b>	<b>Lunch</b>	
8.	12:22	2	Design Workshop/ Applicant	Quasi-Judicial	Review and recommendation to Town Council regarding a Vested Property Rights Application for Lot 27A Parcel 3R, TBD Lost Creek Lane.

					Staff requests that this item be continued to the January 4, 2023, regular DRB meeting at the request of the applicant.
9.	12:24	45	Design Workshop/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for Lot 802, 121 Arizona St, pursuant to CDC Section 17.4.11
10.	1:09	45	Design Workshop/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for Lot 926R, TBD Sundance Lane, pursuant to CDC Section 17.4.11
11.	1:54		Chair	Chair	Adjourn

**DESIGN REVIEW BOARD MINUTES  
TOWN OF MOUNTAIN VILLAGE  
REGULAR DESIGN REVIEW BOARD MEETING  
OCTOBER 5, 2023**

**Call to Order**

Chair **Brown** called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:03 AM on October 5, 2023.

**Attendance**

**The following Board members were present and acting:**

David Eckman  
Ellen Kramer  
Banks Brown  
David Craige  
Liz Caton  
Adam Miller  
Scott Bennett  
Jim Austin (via zoom)

**The following Board members were absent:**

Greer Garner  
Scott Bennet

**Town Staff in attendance:**

Claire Perez – Planner II  
Amy Ward – Community Development Director (via zoom)  
Rodney Walters- Town Forester  
Callie New – Design Workshop (via zoom)  
Jessica Garrow - Design Workshop (via zoom)  
Jennifer Pintar - Design Workshop (via zoom)

**Public Attendance:**

**Public Attendance via Zoom:**

Casey Culbertson

**Item 2. Reading and Approval of Summary of motions September 7, 2023, Design Review Board Meeting minutes and the Consideration of a Resolution for Denial Regarding the Consideration of a Design Review: Specific Approval for Retaining Wall Material on Lot 615-1CR, TBD Lawson Overlook, pursuant to CDC Section 17.4.11**

Caton corrected the address listed on Agenda Item 4., Lot 389 to AJ Drive.

On a **MOTION** by **Kramer** and seconded by **Miller** the DRB voted **unanimously** to approve with corrections by **Caton** the summary of motions of the September 7, 2023, Design Review Board meeting minutes.

**And**

On a **Motion** by **Kramer** and seconded by **Caton** the DRB voted unanimously to approve the Resolution for Denial Regarding the Consideration of a Design Review: Specific Approval for Retaining Wall Material on Lot 615-1CR, TBD Lawson Overlook.

**Item 3. Consideration of a Design Review: Final Architecture Review for Lot 389, TBD AJ Drive, pursuant to CDC Section 17.4.11**

Claire Perez Presented as Staff

Public Comment: None

On a **MOTION** by **Craige** and seconded by **Eckman** the DRB voted **unanimously** to continue the Consideration of a Design Review: Final Architecture Review for Lot 389, TBD AJ Drive, pursuant to CDC Section 17.4.11 to the Regular Design Review Board Meeting on December 7, 2023.

**Item 4. Consideration of a Design Review: Final Architecture Review for Lot AR 613-C2, TBD Lawson Pt, pursuant to CDC Section 17.4.11**

Claire Perez: Presented as Staff

Public Comment: None

On a **MOTION** by **Craige** and **Caton** seconded by the DRB voted **unanimously** to continue the Consideration of a Design Review: Final Architecture Review for Lot AR 613-C2, TBD Lawson Pt, pursuant to CDC Section 17.4.11 to the Regular Design Review Board Meeting on December 7, 2023.

**Item 5. Consideration of a Design Review: Final Architecture and Site Review for Lot 710, TBD Adams Ranch Road, pursuant to CDC Section 17.4.11**

Claire Perez: Presented as Staff

Public Comment: None

On a **MOTION** by **Craige** and seconded by **Miller** the DRB voted **unanimously** to continue the Consideration of a Design Review: Final Architecture and Site Review for Lot 710, TBD Adams Ranch Road, pursuant to CDC Section 17.4.11 to the Regular Design Review Board Meeting on December 7, 2023.

**Item 6. Consideration of a Design Review: Final Architecture Review for Lot 166AR2-2, 1 Stonegate Drive, pursuant to CDC Section 17.4.11**

Claire Perez: Presented as Staff

Public Comment: None

On a **MOTION** by **Craige** and seconded by **Eckman** the DRB voted **unanimously** to continue the Consideration of a Design Review: Final Architecture Review for Lot 166AR2-2, 1 Stonegate Drive, pursuant to CDC Section 17.4.11 to the Regular Design Review Board Meeting on November 2, 2023.

**Item 7. Discussion regarding tree protections considerations during Construction**

Rodney Walters: Presented as Staff

**Item 8: Consideration of a Design Review: Final Architecture Review for Lot 536, 219 Russell Drive, pursuant to CDC Section 17.4.11**

Jennifer Pintar of Design Workshop: Presented as Staff

Casey Culbertson of Pure Design KC: Presented as Applicant

On a **MOTION** by **Kramer** and seconded by **Caton** the DRB voted **unanimously** to continue the Final Architecture Review for a new single-family home located on Lot 536, 219 Russell Drive to the December 7, 2023, Regular Design Review Board Meeting, based on the evidence provided within the Staff Report of record dated September 25, 2023.

**Item 9. Consideration of a Design Review: Initial Architecture and Site Review for Lot 802, 121 Arizona St, pursuant to CDC Section 17.4.11**

Callie New of Design Workshop: Presented as Staff

Kristine Perpar of Shift Architects: Presented as Applicant

Public Comment: None

On a **MOTION** by **Garner** and seconded by **Bennett** the DRB voted **6-1** (Kramer dissented due to the house not fitting in the Town Design Theme) to approve the Initial Architectural and Site Review for a new single-family home located at Lot 802, 121 Arizona Street, based on the evidence provided within the Staff Report of record dated September 25, 2023, with the following design variation and specific approvals:

**DRB Design Variations:**

1) *Road and Driveway Standards, retaining wall associated with driveway - Boulder wall height*

**DRB Specific Approvals:**

1) *Parking regulations - tandem parking*

And, with the **following conditions:**

1) *Prior to final review, the applicant shall clarify the lot coverage calculation to include all hardscaping including patios, porches, and walkways.*

2) *Prior to final review, the applicant shall provide more information related to the proposed ballast material and underlying material associated with the flat roof. If ballast is proposed, some form of parapet will be necessary and a detail of this shall be provided.*

- 3) *Prior to final review, the applicant shall revise the landscaping plan to incorporate staff comments related to fire mitigation requirements.*
- 4) *Prior to final review, the applicant shall revise the concrete wall materials to include a stone face for all walls that are visible from Arizona Street.*
- 5) *Prior to final review, the applicant shall update the retaining wall diagrams to accurately reflect site conditions.*
- 6) *Prior to building permit, the applicant shall field verify existing water and sewer tap with Public Works.*
- 7) *Prior to final review, the applicant shall update the site grading plan to clarify if there is a planned French drain or other means of allowing seasonal drainage associated with the western retaining wall.*
- 8) *Prior to final review, the applicant shall provide an updated landscape and fire mitigation plans showing compliance with the Fire Mitigation standards.*
- 9) *Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE and the road right of way.*
- 10) *Prior to final review, the applicant shall provide a narrative of the pattern, grout, block size and color of the proposed stone and setting pattern for exterior wall materials.*
- 11) *Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
  - a) *The stone, setting pattern and any grouting with the minimum size of four feet*
  - b) *(4') by four feet (4');*
  - c) *Wood that is stained in the approved color(s);*
  - d) *Any approved metal exterior material;*
  - e) *Roofing material(s); and*
  - f) *Any other approved exterior materials*
- 12) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*
- 13) *Prior to final review, the applicant shall study the feasibility of grading in the general easement to soften the driveway retaining wall and explore revising the decks to demonstrate some stepping.*

**Item 10. Discussion regarding an additional month for DRB review and the 2024 DRB schedule.**

Amy Ward: Presented as Staff

Public Comment: None

General direction was given to staff that an additional month between Initial and Final Architectural Review would be beneficial.

On a **MOTION** by **Eckman** and seconded by **Caton** the DRB voted **unanimously** to approve the 2024 Design Review Board schedule based on the evidence provided in the staff record of memo dated September 26, 2023.

**Item 11. Consideration of a Design Review: Specific Approval for Retaining Wall Material Along the Project Access Tract for Lot 644, pursuant to CDC Section 17.4.11**

Amy Ward: Presented as Staff

Michael O'Connor of Triumph Development: Presented as Applicant

Public Comment: None

On a **MOTION** by **Craige** and seconded by **Eckman** the DRB voted **4-3 (Brown, Caton, and Austin dissented**, Brown denied stating that the material is appropriate to the Town, and Caton and Austin denied stating budget concerns) to deny the specific approval for retaining wall material along the project access tract for Lot 644, based on the evidence provided in the staff record of memo dated September 28, 2023.

**Item 12: ADJOURN**

On a **MOTION** by **Brown** the DRB voted **unanimously** to adjourn the October 5, 2023, meeting at 1:30 pm.

Prepared and submitted by,

Claire Perez, Planner II

**DRB RESOLUTION NO. 2023-\_\_**

**A RESOLUTION OF THE DESIGN REVIEW BOARD OF THE TOWN OF MOUNTAIN VILLAGE,  
COLORADO DENYING A SPECIFIC APPROVAL FOR RETAINING WALL MATERIAL FOR  
LOT 644 AND TRACT F22-2**

WHEREAS, The Town of Mountain Village, (the “Owner”) is the owner of certain real property described as Lot 644 , Mountain Village, Colorado (together, the “Property”); and

WHEREAS, Telluride Ski and Golf, (the “Owner”) is the owner of certain real property described as Lot Tract F22-2, Mountain Village, Colorado (together, the “Property”); and

WHEREAS, Access Tract F22-2 was created by the plat recorded September 22, 1989 in Plat Book 1 at page 932, County of San Miguel, State of Colorado (“Original Lot 644 Plat”.) Per the access tract note on Sheet 1 of the plat, access to Lot 644 via this tract is established; and

WHEREAS, The Town of Mountain Village (the “Applicant”), has submitted an application to the Town of Mountain Village (the “Town”) requesting a specific approval to utilize a Redi-Rock cast concrete material for the installation of retaining walls on the property; and

WHEREAS, the Specific Approval Application, which consists of the materials submitted to the Town and itemized on Exhibit A, plus all statements, representations, and additional documents of the Applicant and its representatives made or submitted at the public hearing before the DRB, was submitted as a Class 3 Design Review for a Specific Approval and is evaluated under Sections 17.5.4 and 17.5.7.C.1 of the CDC; and

WHEREAS, Section 17.5.7.C.1 of the CDC says that retaining structures visible from public view shall be constructed of boulders or concrete walls faced with preapproved stone veneer or preapproved stone walls; and the Redi-Rock material proposed does not meet this requirement; and

WHEREAS, an alternate material would require a specific approval from the design review board; and

WHEREAS, the public hearing and meeting to consider the Specific Approval Application were duly noticed and held in accordance with the Town’s Community Development Code (“CDC”); and

WHEREAS, the DRB held a public hearing on September 7, 2023 and October 5, 2023, to consider the Specific Approval Application and testimony and comments from the Applicant, Town Staff, and members of the public, and voted 4-3 to deny the specific approval; and

WHEREAS, the DRB has considered the criteria set forth in Section 17.5.7.C.1 and 17.5.4 of the CDC and finds that the following will not be satisfied by the Specific Approval Application:

1. Architecture within the Town will continue to evolve and create a unique mountain vernacular architecture that is influenced by international and regional historical alpine precedents. The Town encourages new compatible design interpretations that embrace nature, recall the past, interpret our current time, and move us into the future while respecting the design context of the neighborhood surrounding a site.

WHEREAS, the DRB held a public meeting on November 2, 2023, to consider this Resolution and voted \_\_\_\_\_ to approve this Resolution, denying the Specific Approval Application for the reasons set forth herein.



NOW, THEREFORE, BE IT RESOLVED by the Design Review Board of the Town of Mountain Village, Colorado, that:

**Section 1. Recitals.** The above recitals are hereby incorporated as findings of the DRB in support of the enactment of this Resolution.

**Section 2. Decision.** The DRB finds that the Specific Approval Application does not meet the requirements of the CDC set forth above, including, without limitation, respecting the design context of the neighborhood surrounding a site. The DRB, therefore, denies the Specific Approval Application.

**Section 3. Effective Date.** This Resolution shall be in full force and effect upon its passage and adoption.

**ADOPTED AND APPROVED by the Design Review Board at a regular public meeting held on November 2, 2023.**

TOWN OF MOUNTAIN VILLAGE DESIGN REVIEW BOARD

By: \_\_\_\_\_  
Banks Brown, Chair

ATTEST:

\_\_\_\_\_  
Susan Johnston, Town Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
David McConaughy, Town Attorney

Exhibit A

1. Design Review Process Application
2. Site Plan



Agenda Item No. 3  
**PLANNING AND DEVELOPMENT SERVICES  
DEPARTMENT**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 369-8250

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**TO:** Town Council  
**FROM:** Claire Perez, Planner II  
**FOR:** Design Review Board Public Hearing; November 2, 2023  
**DATE:** October 24, 2023  
**RE:** Amendment to the 2024 Design Review Board Meeting Schedule

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## **OVERVIEW**

The Design Review Board (DRB) unanimously approved the 2024 Design Review Board Meeting Schedule at the October 5, 2023, Design Review Board Meeting. Following the meeting, staff noted that the approved February Date, February 8, 2024, is the second Thursday of the month. The approved August Date, August 8, 2024, is also the second Thursday of the month. The DRB meeting schedule follows the pattern of meeting the first Thursday of each month. It is beneficial to staff and the DRB to amend the February and August DRB meeting dates to be the first Thursdays, February 1, 2024, and August 1, 2024.

## **ATTACHMENT**

- Exhibit A: 2024 Proposed DRB Schedule

## **RECOMMENDATION**

Staff asks the Design Review Board to approve the 2024 Design Review Board Schedule with the amended February and August DRB date.

## **PROPOSED MOTION**

“I move to amend the Design Review Board Meeting schedule for 2024 as proposed in the staff memo of record dated October 24, 2023.”

## 2024 DRB Meeting Schedule

DRB Meeting Dates for 2024	
Thursday, January 4, 2024	10am
Thursday, February 1, 2024	10am
Thursday, March 7, 2024	10am
Thursday, April 4, 2024	10am
Thursday, May 2, 2024	10am
Thursday, June 6, 2024	10am
Thursday, July 11, 2024	10am
Thursday, August 1, 2024	10am
Thursday, September 5, 2024	10am
Thursday, October 3, 2024	10am
Thursday, November 7, 2024	10am
Thursday, December 5, 2024	10am

**Proposed Motion:**

I move to approve the Design Review Board meeting schedule for 2023 as proposed.



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**TO:** Mountain Village Design Review Board  
**FROM:** Claire Perez, Planner II  
**FOR:** Design Review Board Public Hearing; November 2, 2023  
**DATE:** October 3, 2023  
**RE:** Staff Memo –Initial Architecture and Site Review (IASR) for Lot 161A-4 Unit 12

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APPLICATION OVERVIEW:

**PROJECT GEOGRAPHY**

**Legal Description:** UNIT 12 THE RIDGE AT TELLURIDE LOCATED ON LOT 161A-4 ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 1 AT PAGE 3262 RECEPTION NO 365188 AND AMENDED AND SUPPLEMENTED BY THE PLATS RECORDED IN PLAT BOOK 1 AT PAGE 3649 RECEPTION NO 383984 PLAT BOOK 1 AT PAGE 3686 RECEPTION NO 385382 PLAT BOOK 1 AT PAGE 3900 RECEPTION NO 398499 PLAT BOOK 1 AT PAGE 3975 RECEPTION NO 403055 PLAT BOOK 1 AT PAGE 4283 RECEPTION NO 409853 PLAT BOOK 1 AT PAGE 4349 RECEPTION NO 413134 PLAT BOOK 1 AT PAGE 4888 RECEPTION NO 446065 AND PLAT BOOK 1 AT PAGE N/A RECEPTION NO 458069 AND ACCORDING TO THE DECLARATION FOR THE RIDGE AT TELLURIDE RECORDED AT RECEPTION NO 365201 AS AMENDED AND SUPPLEMENTED BY THE DOCUMENTS RECORDED AT RECEPTION NO 383983 RECEPTION NO 385383 RECEPTION NO 398448 RECEPTION NO 403054 RECEPTION NO 409854 RECEPTION NO 413135 AND RECEPTION NO 458070 ALL IN THE OFFICE OF THE COUNTY CLERK AND RECORDER SAN MIGUEL COUNTY COLORADO

**Address:** 8 Horseshoe Lane  
**Applicant/Agent:** Steve Morton, Morton Architects

**Owner:** Jonathan & Tiffany  
Horton Family Trust  
**Zoning:** Multi-Family  
**Existing Use:** Vacant Lot  
**Proposed Use:** Detached Condominium  
**Lot Size:** .17 acres, 7500 sq. ft.

**Adjacent Land Uses:**

- **North:** Ridge Open Space
- **South:** Active Open Space
- **East:** Multi-family
- **West:** Active Open Space

**ATTACHMENTS**

- Exhibit A: Architectural Plan Set
- Exhibit B: Resolution No. 2021-1216-29
- Exhibit C: Story Pole Requirement Waiver by San Miguel County
- Exhibit D: Staff Referral Comments – no public comments received
- Exhibit E: [Ridge Development Agreement](#)



*Figure 1: Vicinity Map*

**Case Summary:** Steve Morton of Morton Architects (Applicant), on the behalf of the Jonathan and Tiffany Horton Living Trust (Owner) is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family detached condominium located at Lot 161A-4, Unit 12, 8 Horseshoe Lane. The Lot is 7,500 square feet and is zoned multi-Family. The proposal includes a detached condo with an approximate gross square footage of 27,001 square feet. Because of the home’s location near the top of Coonskin Ridge, additional development regulations must be addressed in addition to the general Design Review Standards – specifically, CDC Section 17.5.16: Ridgeline Lots.

**County and Town Settlement Agreement**

In 1999 the Town and County entered into a settlement agreement that addressed several county issues including and not limited to the operations of the gondola, the Ridgeline Covenant, the final Mountain Village development plan, wetland regulations, and deed-restricted housing. Pursuant to the settlement agreement, the Town of Mountain Village sends development application referrals for comment to San Miguel County and the Town of Telluride when a development is proposed subject to the Ridgeline Covenant. What is within the DRB’s purview are the provisions outlined in the CDC and the enhanced design requirements found under the Ridgeline Lots section of the CDC and outlined below. The Town does not enforce the provisions of the Settlement Agreement although we adhere to the courtesy notice provisions as outlined in the settlement agreement and any additional requirement as outlined in the CDC.

**Story Pole Requirement**

Due to the location of the home the application is required to erect story poles “to reflect the maximum height of the proposed development where such development will extend closest to the view plane as described in section 4 above; and (b) the installation of a light to illuminate the story pole where off-site light would be visible from the highest window.” This site was previously approved for a height variance in January of 2021.

The variance allows for building up to 35 feet plus 5 feet for chimneys, flues, vents, and similar structures but otherwise subject to the design and heights approved by the Design Review Board when applying the regulations of the CDC, inclusive of design regulations. If the variance had not been granted the building height would have been limited to 20 feet per the Coonskin View Plane Regulations. As part of the previous variance application, story poles were erected over the period of January 4<sup>th</sup>, 2021, and January 8, 2021. Additionally, the Town contracted to obtain a visual time-lapse on January 6<sup>th</sup>, 2021, to determine if the story poles were visible from Eider Creek Condos. The link to the video is below. Town of Mountain Village Staff and San Miguel County Planning Staff / Legal Counsel visited the site on January 6, 2021, and it was determined that the illuminated story poles were not visible from the entrance to Eider Creek Condos. Because story poles were previously erected for the building height, San Miguel County has waived the story pole requirement for this application.

<https://www.youtube.com/watch?v=zkm9WouMn3A>

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

*Table 1*

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
<b>Maximum Building Height</b>	35’*	35’
<b>Maximum Average Height</b>	Not applicable	30’- 7 ½”
<b>Maximum Lot Coverage</b>	100% per Unit	
<b>General Easement Setbacks</b>	No GE	
<b>Roof Pitch</b>		
Primary		4:12
Secondary		3:12
<b>Exterior Material</b>		
Stone	35% minimum	43.8%**
Windows/Doors	40% maximum	37.2%
<b>Parking</b>	1	1 space offsite

**\*35’ reflects allowable height per Height Variance Resolution No. 2021-1216-29, Plus 5’ allowable for chimneys etc.**

**\*\*The applicant included stone and brick in their stone calculation.**

**Design Variations:**

1. Less than 35% Stone Material

**DRB Specific Approval:**

1. Materials – Brick

**Chapter 17.3: ZONING AND LAND USE REGULATIONS**

**17.3.12: Building Height Limits**

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates gabled roof forms with minor secondary shed roof forms. Because of development agreements memorialized in the CDC, Unit 12 is classified as a ridge lot, and with that, it is granted a different height allowance than other detached condominiums in the Mountain Village. As noted above, this lot was granted a Variance to CDC Section

1.5.16.B.4 which refers to the Coonskin Ridge View Plane, to allow for a detached condominium to be built up to 35 feet plus 5 feet to allow for chimneys, flues, vents, or similar structures. The variance notes that the maximum height is measured from the lowest grade located directly below the highest point of the structure. There is not a maximum average height requirement.

*Staff: The Maximum Building Height and Average Building Height analysis has been provided on page A1-3.1 of the submitted plan set and shows a Maximum Height of 35' and a Max Average Height of 30'-7 1/2". These metrics meet the height requirements granted by the variance for the lot.*

#### **17.3.14: General Easement Setbacks**

Lot 161A-4, Unit 12 is not burdened by any General Easements or Setbacks. The development documents specify that each unit is permitted to utilize the full amount of square feet allocated.

### **Chapter 17.5: DESIGN REGULATIONS**

#### **17.5.4: Town Design Theme**

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

*Staff: Unit 12 has incorporated the traditional design elements referenced in the CDC such as a strong grounded base, traditional gabled roof forms as well as stone, metal, and timber elements. These materials are capable of withstanding the high alpine environment. The proposal includes a design variation for the use of brick as a material on the home and in the calculations toward exterior stone requirements. Brick is not listed as an allowable material in the CDC. The DRB should evaluate the physical sample of this material to determine its appropriateness. The DRB should also discuss the appropriateness of brick within Mountain Village, especially in a site that is arguably "high alpine." Though brick is seen in the historic Town of Telluride, it seems somewhat out of place at the Ridge. Staff are not aware of any structures in Mountain Village that utilize brick. The materials are discussed below in more detail as it relates to the ridgeline lot requirements of Section 17.5.16.*

*The massing and form of the proposed home at Unit 6 is somewhat traditional as it relates to recent home designs in the Mountain Village. The home includes 21,313 livable square feet, which is significantly larger than other home sizes along the ridge that are also platted at 7500 s.f. For example, Lot 161A-4 Unit 6 that was recently approved by the DRB in June 2023 is 9,625 gross s.f. The home appears as a 5-story home from the gondola corridor, and a 3-story home from the cart path. The board should discuss if the proposed massing is appropriate given the size of the surrounding homes on the Ridge, and the relatively small size of the Unit.*

#### **17.5.5: Building Siting Design**

The CDC requires that any proposed development blend into the existing landforms and vegetation.



*Staff: This lot essentially functions as a footprint lot and allows for the full development of the allocated 7,500 square feet. With that, the location of the home's building envelope is tied to the subdivision documents and the location of the specific units within Lot 161A-4. The applicant has proposed to relocate the footprint of Unit 12 further up slope to maximize sun and view angles. A minor subdivision, condominium map amendment application has not been received by the Town, this application type is a staff level review, and an approval of the subdivision can be a condition of approval with any design review approval. This is shown on page A-1a. The proposed building envelope will reduce the square footage of the site from 7500 sf to 7541 sf. The HOA has approved the re-location of the Unit, and this can be processed at a staff level.*

*It does appear that the home has attempted some visual subordination by incorporating the design of the home into the hillside. The elevation facing west and east demonstrates the stepping of the home with the slope.*

#### **17.5.6: Building Design**

*Staff: The building utilizes stone, brick, steel, and cedar siding. The material elevations show that stone accounts for 43.8% of the overall material. However, stone and brick are grouped together in this calculation and on the elevations. Based on the elevations of the home, it does not appear that they are meeting the minimum stone requirement. Moreover, wood and steel are grouped together in the calculation and on the elevations. Prior to final review, the applicant should update the material elevations and calculations, so the materials are accurately represented.*

*Section 17.5.6(E.) of the CDC states, "Exterior Wall Materials. A mix of materials including natural stone, stucco (only in the Village Center), steel and wood shall be the primary exterior materials. Proposed exterior materials shall be compatible with surrounding area development." The DRB should discuss if the applicant should be granted a specific approval for brick, and to what extent brick can be utilized. The DRB should also discuss if a design variation should be granted for not meeting the minimum 35% stone requirement.*

*The applicant has included a window and door schedule. The recess depth of the windows and doors were not provided. Section 17.5.6(G)(3) of the CDC states that the "Windows within grounded base forms shall appear to be punched into walls". The windows shown on the renderings of the home do not appear to be sufficiently recessed. The CDC requires a minimum of 5" depth when windows are set in stone. The applicant should clarify this by providing the recess depth prior to final review. The windows and accents are black aluminum. The fascia and soffit material were not provided and should be provided prior to final review.*

*The home's exterior palette is a mix of mostly brick and stone with cedar siding and steel accents. The roof is black metal. Window and door trim is shown as black aluminum.*

*Roof form is varied, with a combination of traditional gables and secondary shed roofs. The proposed roofing material is bonderized sheet metal. The CDC notes that "The design of roofs shall reflect concern for snow accumulation and ice/snow shedding." The DRB should discuss if the secondary shed roof reflects concern for snow accumulation.*

*Much of the fenestration is located on the south elevation of the home. The CDC states "window placement and size shall be sensitive to light spill to adjacent properties". The South facing elevation also faces the gondola corridor. The DRB should discuss whether*

*the amount of fenestration on this elevation should be broken up to avoid large areas of illumination from being seen off property at night.*

*The CDC allows for 1000 square feet of snowmelt without penalty. The applicant has called out 5600 sf of exterior snowmelt within their narrative, although it is not indicated on the plans. The home includes 5 patios on each level of the home totaling 5,688 square feet. Staff recommends identifying and including snowmelt areas in a final design review application. The DRB should also discuss whether the patios counteract the sense of grounding of the home.*

#### **17.5.7: Grading and Drainage Design**

*Staff: The applicant has provided a grading and drainage plan as it relates to access, and grading required for areas surrounding the home. The applicant has proposed significant grading around the northern, eastern, and southern sides of the home within the Ridge HOA open space. The plan should provide more information on whether the existing trees to the south of the home in areas of proposed re-grading will be removed, it would seem likely that these trees will not be saved given ground disturbance in proximity. There appears to be a retaining wall associated with the garage. The applicant needs to provide more information on the height, materiality, and whether this is an existing or proposed retaining wall. Moreover, grading and utility plans are required to be prepared by a Colorado registered professional engineer. Prior to final review, the applicant shall submit revised civil engineered drawings that meet this requirement.*

#### **17.5.8: Parking Regulations**

*Pursuant to Resolution No. 2003-0610-10 and the Lot 161CR settlement agreement the parking requirement for this property is one parking space to be satisfied either by a parking reservation agreement at Lot 161CR when the parking garage is finally developed or a parking payment in lieu to the Town of Mountain Village. The applicant should demonstrate that this reservation agreement with confirmation of deposit has been executed or otherwise will be required to pay a parking payment in lieu fee. If the reservation agreement has been executed, the applicant must also execute an Addendum to the Reservation Agreement, which deals with potential termination of the Reservation Agreement.*

*The applicant has also proposed space within the garage of the home for two golf carts to be used in summer months.*

#### **17.5.9: Landscaping Regulations**

*Staff: The landscaping plan should be amended per the Town Forester's comments prior to final review. The landscape plan indicates the applicant intends to keep trees to the south of the home, in an area which is proposed to be re-graded. The applicant should update the landscape plan to represent whether these trees will be removed.*

*The landscape plan also shows a firepit on the eastern side of the home outside of the building envelope. The Ridge Development Agreement provides conflicting statements on whether hardscaping such as firepits are permitted. First it discusses **allowable** uses on Common Element Open Space Tracts:*

*3.2.1 "Common Element Open Space Tracts A tract of land owned by The Ridge At Telluride Homeowners Association, Inc., which may be used for, but is not limited to, the following: ski slopes, ski trails, ski lifts, snow making facilities or other recreational facilities, lift structures, communication receiving stations, communication transmitting stations, drainage ditches, drainage swales, drainage structures, access roads, service roads, maintenance roads,*

*utility transmission lines, pedestrian paths, hiking and biking trails, transportation system facilities, golf cart parking lots, storm drainage systems, retaining walls, benches, snow storage, landscaping, cross-country skiing trails, golf cart access, snowcat access and all Buildings and incidental or accessory facilities related to any of the above-described Uses.*

*And further on it states:*

*“The DRB stated clearly to Owner that the DRB would not allow future development and construction, including hardscape, decks, and all improvements, outside of the building envelopes”. Then further clarifies the definition of Development:*

*“Development shall mean any of the following activities for which permission may be required from the Town of Mountain Village pursuant to its Land Use Ordinance or Design Regulations: (a) the construction, reconstruction, conversion, structural alteration, relocation, or enlargement of any buildings, structures, or accessory structures; (b) any use or change in use of any buildings, land, or water; (c) any clearing, grading or other movement of land; (d) any dredging, filling, grading, paving, excavation, or drilling operations; (e) the storage, deposition, or excavation of materials or (f) landscaping or hardscaping.”*

*Staff believes the intent of this section of the development agreement was to prevent creep beyond the building envelope. Firepits have been approved outside of the building envelope with other applications. Recently, staff denied a hot tub outside of the building envelope on the Ridge as it was not landscaping, therefore not in the gray area of conflict described above. The DRB should discuss whether the firepit should be permitted based on the Ridge Development Agreement.*

*TMV Forester:*

*The Site Fire Mitigation Plan (A-1.5) and the Landscaping Plan(s) (A-1.6) need to show a north arrow, scale bar, and a key that indicates which tree and shrub species will be planted on site. Only species that are indicated on both the Colorado Firewise plant list and the native species list according to the CDC 1717.5.9 Landscaping Regulations may be planted in the Fire Zone 1 area. To ensure wildfire safety, no trees or shrubs may be installed directly below windows of the home. A sheet showing tree and shrub planting specifications (in accordance with ANSI A300 standards & ISA Best Management Practices) shall be included. Any landscape planters that are intended to be installed next to the home must be indicated on the plans and shall be specified to have irrigation and shall be specified to contain non-flammable mulch. Irrigation will be required for at least 2 years for all trees to be planted on site to ensure the trees may become established.*

#### **17.5.11: Utilities**

*Staff: A utility plan was provided on Sheet A-1.2. The plan shows existing sewer and water lines connecting to the back of the home via the deck, and gas running up the western side of the home and connecting via the garage. The plan also shows the sewer line within proximity of the home. The applicant shall work with the Public Works Director to verify the specific locations of the connections for the home.*

#### **17.5.12: Lighting Regulations**

*Staff: The applicant has not provided a lighting plan at this time; it is not required until final review.*

#### **17.5.13: Sign Regulations**

*Staff: The address monument is shown on sheet A-2.0. The monument is located on the eastern side of the port cochere. The base of the monument is identified as concrete. More information needs to be provided regarding the finish of the concrete. A specific approval is likely, unless it is to be clad in stone. The applicant has identified that the sign will use a small LED down light although a light fixture was not provided. The dimensions of the lettering were not provided, but it does not appear to meet the minimum 6" requirement. The dimensions of the lettering from finished grade were not provided, but it appears to meet the 54" requirement.*

#### **17.5.16: Ridgeline Lots**

*The CDC identifies Lot 161A-4 as a part of the Ridge Area and as such provides additional design restrictions. As previously described, the intent of these standards is to memorialize the restrictions in the development agreement. These provisions aim to require the home to maintain visual subordination to the natural landscape along the ridge.*

*In order to accomplish this, the code requires the following:*

1. *All improvements are subject to a ridgeline covenant with San Miguel County as recorded at reception number 329093. The Town does not enforce the ridgeline covenant, with enforcement solely administered by San Miguel County.*

*Staff: The improvements appear to be mostly aligned with the ridgeline covenant as discussed above within this memo. However, the overall mass and scale of the building as well as the proposed brick material should be discussed as to whether it allows the proposed home to maintain visual subordination to the natural landscape. The Town of Mountain Village does not enforce this covenant but provided this application and all materials to both San Miguel County and the Town of Telluride in order for those agencies to provide comment on the proposed application.*

2. *The building height on Lot 161A-1R shall not exceed 35 feet (35') along the ridgeline of such building.*

*Staff: Not applicable. Subject unit is within Lot 161A-4.*

3. *Building height on other ridge area lots shall not exceed the lesser of:*
  - a. *The height of forty-five feet (45'); or*
  - b. *The maximum height allowed to the view plane limitation set forth in section 4 below.*

*Staff: Not applicable. The lot has an existing approval for a height variance.*

4. *Except for the existing building on Lot 161A-1R and gondola facilities, the development of ridgeline area lots shall be designed to ensure that no lighting or any part of any building or structure extends into the view plane as shown on the Coonskin View Plane drawing recorded at reception number 328113.*

*Staff: The story pole requirement was waived by San Miguel County as story poles were previously erected for the height variance application*

5. *New development in the ridgeline area, excluding the existing building on Lot 161A-4 and gondola facilities, shall require (a) the erection of a story pole to reflect the maximum height of the proposed development where such development will*

*extend closest to the view plane as described in section 4 above; and (b) the installation of a light to illuminate the story pole where off-site light would be visible from the highest window. The applicant for development shall provide written notice of the story pole erection to San Miguel County and the Town of Telluride.*

*Staff: The applicant erected the story poles and illuminated them over the period of January 4<sup>th</sup>, 2021, and January 8, 2021. Notice of was provided to Town of Telluride and San Miguel County.*

- 6. To the extent practical, no exterior lights shall be installed on the east side of buildings. Any required exterior lighting shall be shielded, recessed, or reflected so that no lighting is oriented towards the east side of the building.*

*Staff: The lighting plan has not been submitted and isn't required until final review. As part of a final submittal it will be important to review the lighting on the east side of the home to ensure this standard is being met.*

- 7. No solid fuel burning device shall be allowed in the building on Lot 161A-1R*

*Staff: All fireplaces at the home are required to be natural gas-burning fixtures as noted below.*

- 8. For all new development, or substantial modifications to existing development, a courtesy referral shall be provided to San Miguel County and the Town of Telluride consistent with the Referral and Review Process outlined in the Development Review Procedures. The Town is not bound by any referral comments from either jurisdiction.*

*Staff: A courtesy referral was provided to both the Town of Telluride and San Miguel County.*

## **Chapter 17.6: SUPPLEMENTARY REGULATIONS**

### **17.6.1: Environmental Regulations**

*Staff: Fire Mitigation and Forestry Management: The applicant has shown several plantings within zone 1. Only species that are indicated on both the Colorado Firewise plant list and the native species list according to the CDC 1717.5.9 Landscaping Regulations may be planted in the Fire Zone 1 area. The fire mitigation and landscaping plans should be amended per the Town Forester's comments prior to final review.*

### **17.6.6: Road and Driveway Standards**

*Staff: The typical road and driveway standards do not apply to the ridge given its unique location and access. The driveway slopes and dimensions need to be demonstrated. The driveway/ cart path is shown to be connected to the existing snow melted road system.*

### **17.6.8: Solid Fuel Burning Device Regulations**

*Staff: It appears that the proposed home does include fireplaces but does not indicate on the plans that these are gas burning. Homes on the Ridge are not allowed to burn gas.*

## **Chapter 17.7: BUILDING REGULATIONS**

### **17.7.19: Construction Mitigation**

*Staff: A construction mitigation plan has been provided. The plan identifies required elements such as soil staging, a porta-toilet, a dumpster, a construction trailer, material storage, and silt fencing. The plan also identifies a tower crane. The crane swing radius*

*and crane pad dimensions need to be shown on the plan. The applicant has identified a construction site access road that will access the site from the southwestern end of the lot. It appears that the road will cross through the adjacent parcel, ROS-1B, which is Ridge Open Space. The applicant should provide more information regarding potential tree removal for the access road, and whether trees removed will be replaced upon completion of construction. 3 Parking spaces are identified on the cart path. The applicant will need to obtain a permit for roadside parking from the HOA. The majority of the construction is shown to occur outside of the limits of the building envelope. A condition of approval has been included requiring HOA approval of the CMP prior to building permit.*

*The Town Forester left additional comments regarding the Construction Mitigation plan. The plan should be amended per his comments prior to final review:*

*The Construction Staging Sheet (A-1.4) needs to show the limits of construction fencing set up outside the dripline of the trees that will be retained. All trees that will be retained on site shall have limits of construction fencing or tree protection fencing set up outside the dripline of every tree that will be retained (CDC 17.6.A.4).*

**Staff Recommendation:**

Staff recommends the DRB discuss the initial architectural and site review and determine if there is sufficient information to approve the design, or if a redesign is needed to meet the requirements. Staff has provided two potential motions for the DRB.

If the DRB determines that additional information is required, staff recommends a motion for **continuance** to the regular DRB meeting on December 7, 2023.

I move to **continue** the Initial Architectural and Site Review for a new single-family home located at Lot 161A-4 Unit 12, TBD Horseshoe Lane, based on the evidence provided within the Staff Memo of record dated October 23, 2023, to the Regular Design review Board Meeting on December 7, 2023.

Alternatively, if the DRB deems this application is **approvable** as presented, Staff requests said approval condition the items listed below in the suggested motion.

I move to **approve** the Initial Architectural and Site Review for a new single-family detached condominium located at Lot 161A-4 Unit 12, based on the evidence provided within the Staff Memo of record dated October 23, 2023, with the following design variations and specific approvals:

Design Variations:

- 1) Less than 35% stone requirement

DRB Specific Approval:

- 1) Materials – Brick

And with the following conditions:

- 1) *Prior to Final Architectural Review, the applicant will revise the address monument, so it meets the CDC requirements.*
- 2) *Prior to Final Architecture Review, the applicant will revise the landscape plan per the Town Forester's comments.*
- 3) *Prior to Final Architecture Review, the applicant shall revise the fire mitigation plan per the Town Forester's comments.*

- 4) *Prior to Final Architecture Review, the applicant shall revise the construction mitigation plan addressing the concerns noted in this memo.*
- 5) *Prior to Final Architecture Review, the applicant shall revise the material elevations and calculations so that brick is represented as a separate material.*
- 6) *Prior to Final Architecture Review, the applicant shall provide a grading and utility plan prepared by a Colorado registered professional engineer.*
- 7) *Prior to the issuance of a building permit, the applicant shall provide proof of a parking reservation agreement or indicate intent to pay the parking payment in lieu fee to the Town. If a reservation agreement has been executed, then the addendum to the reservation agreement needs to be executed prior to building permit.*
- 8) *Prior to the submittal for a Final Architectural Review, the applicant shall indicate the fuel source for all fireplaces.*
- 9) *Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.*
- 10) *Prior to the issuance of a building permit, the applicant shall obtain approval for the re-location of Unit 12 per a staff level minor subdivision, condominium map amendment.*
- 11) *Owners shall indemnify, defend and hold harmless Town, its members, affiliates, officers, directors, partners, employees, and agents from and against all claims, damages, losses and expenses, including but not limited to reasonable attorney's fees, arising out of the approval of the height variance granted hereunder.*
- 12) *Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
- 13) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.*
- 14) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the common open-space.*
- 15) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
  - a. *The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');*
  - b. *Wood that is stained in the approved color(s);*
  - c. *Any approved metal exterior material;*
  - d. *Roofing material(s); and*
  - e. *Any other approved exterior materials*
- 16) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*
- 17) *Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development are set at 50% since the application was submitted in 2023.*
- 18) *Applicant must meet the following conditions of the Fire Marshal:*

- a) *The structure shall be in accordance with the 2018 IFC, TFPD Amended Fire Code, and NFPA Standards for a Group R-3 occupancy.*
- b) *A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.*
- c) *An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.*
- d) *Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.*
- e) *Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.*
- f) *Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.*
- g) *A Knox box is recommended at the main entrance on the address side for emergency access.*

/cp



# architect

**Town of Mountain Village Sketch Design Review**  
**Horton Residence – Lot 12 The Ridge**  
**7-1-23**

The building site is located within the Ridge Development (161A-4 parcel) near the top of the gondola. The home is designed to be a single family detached condominium home on five levels in a traditional alpine vernacular with contemporary references and details. The site is accessible via snow melted electric cart paths only, or via the ski slopes. The home is designed to blend with the surrounding ski area and other homes and respects the natural topography and landscape. The home will have sloping gable roof lines often seen in alpine architecture along with deck areas on many levels to help reduce the massing of the home and step it along existing topography lines. It will be built with materials proven to last in a high alpine environment. The primary building forms have been designed to have strong architectural lines and heed the building height restrictions and all of the design regulations. The property has been granted a variance to the ridgeline ht. restrictions.

We are requesting a small rotation and movement in the building envelope to shift out of existing tree lines and to get closer to the cart path and maximize sun and view angles. The building envelope will not change in size. The rotation/shift is illustrated on the site plans.

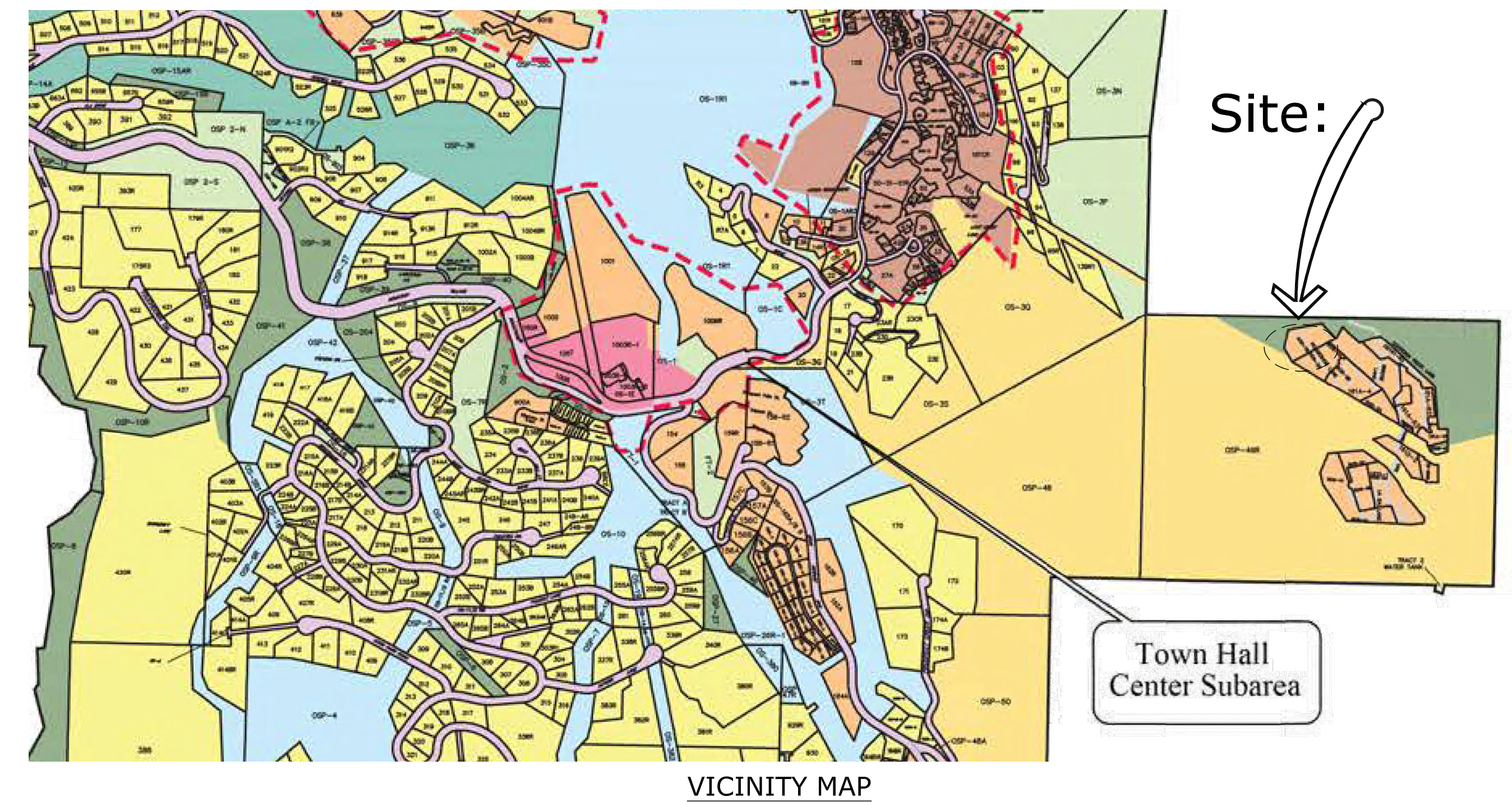
The driveway/cart path to the site is planned to be connected to the existing HOA snow melted road system. The residence will require 5600 sf of exterior snowmelt, therefore the 4600 sf above the 1000 sf allowable will need to be offset via the energy mitigation fee structure.

The site design includes an outdoor firepit area outside of the building envelope, on Open Space, and is allowable per the regulations. The firepit is half is outside of the envelope, approximately 25' outside of the envelope.

The project request a variance for the use of brick as an acceptable material on the home and in the calculations toward exterior stone requirements. Brick represents 35% of the overall stone materials on the home.

# HORTON RESIDENCE THE RIDGE LOT 12

TOWN OF MOUNTAIN VILLAGE  
TELLURIDE, COLORADO



**PROJECT TEAM:**

**OWNER:** JON & TIFFANY HORTON FAMILY TRUST  
24008 N. 23RD ST.  
Scottsdale, AZ. 85255  
602.418.3105  
[jhorton@htdevelopmentllc.com](mailto:jhorton@htdevelopmentllc.com)

**ARCHITECT:** MORTON ARCHITECTS INC.  
STEVE MORTON - PRINCIPAL  
  
221 S. PINE ST.  
P.O. BOX 3561  
TELLURIDE, CO 81435  
970.708.2246

[smorton@mortonarchitects.com](mailto:smorton@mortonarchitects.com)

**STRUCTURAL:** ALPINE EDGE ENGINEERING  
Matt Hepp, PE  
Alpine Edge Engineering  
970-318-1469

**INTERIOR DESIGN:** XXX  
XXX

**LIGHTING DESIGN:** LUMINOSITY  
Craig Spring | IALD | IES | LC | LEED AP  
[www.luminosityald.com](http://www.luminosityald.com)  
P 970.729.8892  
618 Mtn Vlg Blvd, Ste 203A, Mtn Vlg, CO 81435

**CONTRACTOR:** XXX

**MECHINICAL:** XXX

PROJECT SUMMARY - 7.1.23	
SINGLE FAMILY DWELLING UNIT - LOT 12	
1st/LOWER LIVING	4,689 S.F.
2nd/LOWER LIVING	5,654 S.F.
3rd/MAIN LIVING	5,684 S.F.
4th/UPPER LIVING	3,307 S.F.
5th/UPPER LIVING	1,979 S.F.
<b>TOTAL LIVING</b>	<b>21,313 S.F.</b>
5th level PATIO	1,236 S.F.
3rd level PATIO	1,166 S.F.
2nd level PATIO	1,960 S.F.
1st level PATIO	1,166 S.F.
3rd level Port Cochere	160 S.F.
<b>TOTAL EXT. SURFACE</b>	<b>5,688 S.F.</b>
<b>TOTAL CART COURT</b>	<b>620 S.F.</b>

Lot 164-A4 TMV Lot 12  
RIDGELINE LOT AREAS  
Maximum ht. 45' Variance approved to 35' + 5'  
Maximum avg. ht. 30'  
Parking req. 1 space offsite

## SKETCH DRB SUBMITTAL SET

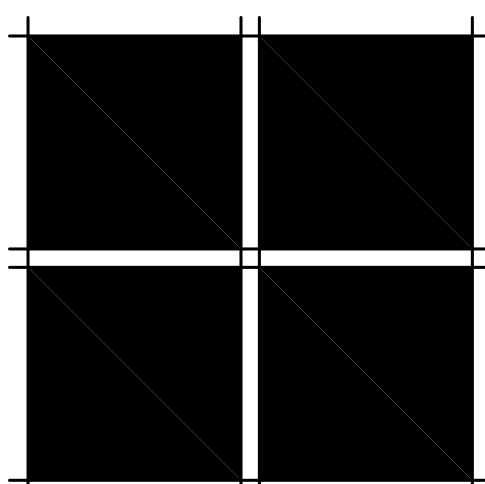
7-1-23

preliminary-not for construction

**MORTON**  
**architects inc.**  
221 S. PINE ST., PO BOX 3561 TELLURIDE, CO. 81435  
(970) 708-2246

**HORTON RESIDENCE**  
Lot 12-The Ridge, Town of Mountain Village, CO. 81435

**COVER SHEET**

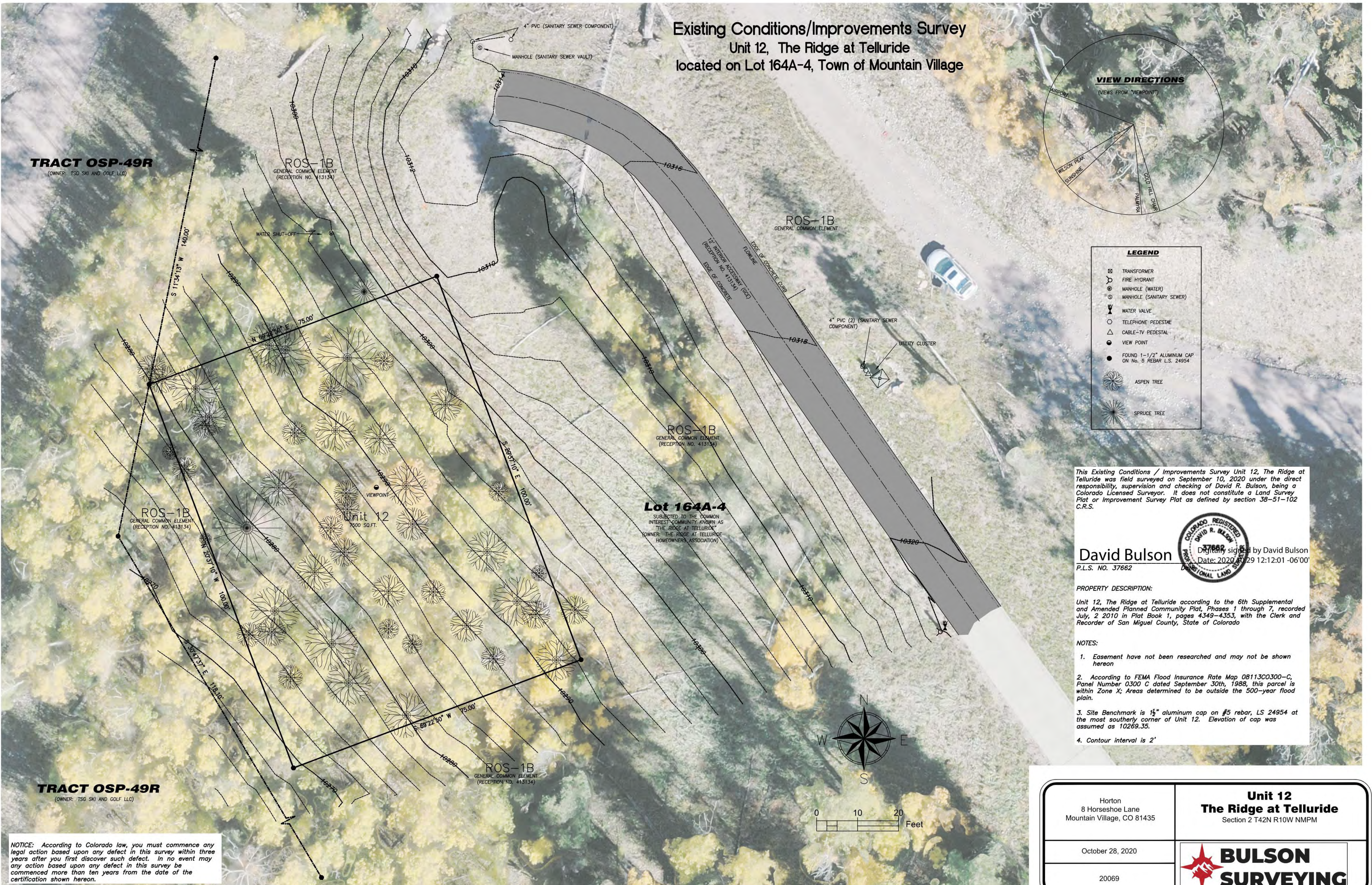


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ISSUE LOG	
SKETCH DRB	7-1-23
FILE NAME	
JOB NUMBER	XXX
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SCALE	
SHEET	

**A-C**  
OF SHEETS

**Existing Conditions/Improvements Survey**  
**Unit 12, The Ridge at Telluride**  
 located on Lot 164A-4, Town of Mountain Village



- LEGEND**
- ⊠ TRANSFORMER
  - ⊕ FIRE HYDRANT
  - ⊙ MANHOLE (WATER)
  - ⊙ MANHOLE (SANITARY SEWER)
  - ⊕ WATER VALVE
  - TELEPHONE PEDESTAL
  - △ CABLE-TV PEDESTAL
  - VIEW POINT
  - FOUND 1-1/2" ALUMINUM CAP ON NO. 5 REBAR L.S. 24954
  - ⊙ ASPEN TREE
  - ⊙ SPRUCE TREE

This Existing Conditions / Improvements Survey Unit 12, The Ridge at Telluride was field surveyed on September 10, 2020 under the direct responsibility, supervision and checking of David R. Bulson, being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



**David Bulson** Digitally signed by David Bulson  
 Date: 2020.09.29 12:12:01 -06'00'  
 P.L.S. NO. 37662

**PROPERTY DESCRIPTION:**  
 Unit 12, The Ridge at Telluride according to the 6th Supplemental and Amended Planned Community Plat, Phases 1 through 7, recorded July, 2 2010 in Plat Book 1, pages 4349-4353, with the Clerk and Recorder of San Miguel County, State of Colorado

- NOTES:**
1. Easement have not been researched and may not be shown hereon
  2. According to FEMA Flood Insurance Rate Map 08113C0300-C, Panel Number 0300 C dated September 30th, 1988, this parcel is within Zone X; Areas determined to be outside the 500-year flood plain.
  3. Site Benchmark is 1 1/2" aluminum cap on #5 rebar, LS 24954 at the most southerly corner of Unit 12. Elevation of cap was assumed as 10269.55.
  4. Contour interval is 2'



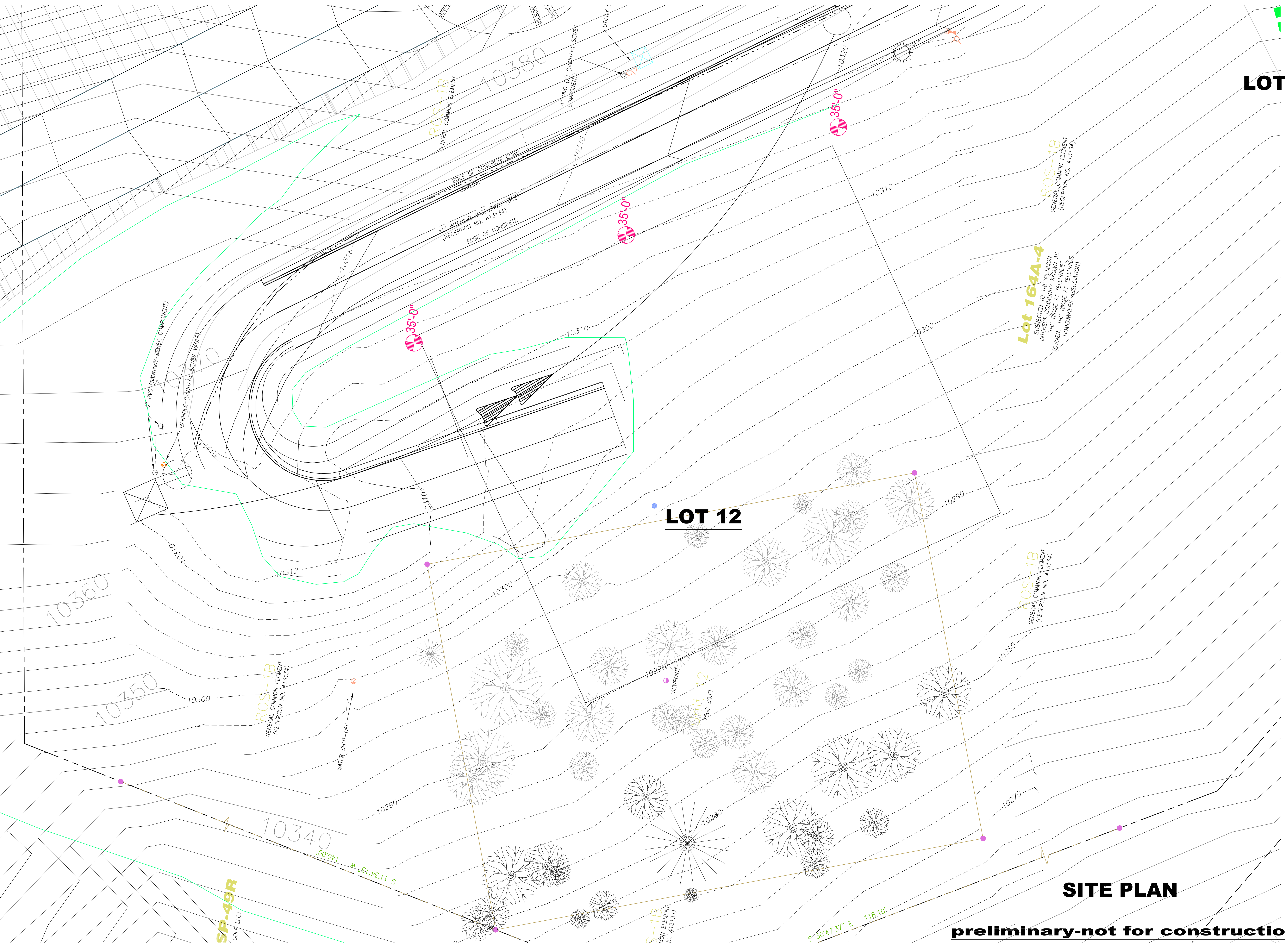
**TRACT OSP-49R**  
 (OWNER: TSG SKI AND GOLF, LLC)

**TRACT OSP-49R**  
 (OWNER: TSG SKI AND GOLF, LLC)

**Lot 164A-4**  
 SUBJECT TO THE COMMON INTEREST COMMUNITY KNOWN AS "THE RIDGE AT TELLURIDE" (OWNER: THE RIDGE AT TELLURIDE HOMEOWNERS ASSOCIATION)

**NOTICE:** According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

Horton 8 Horseshoe Lane Mountain Village, CO 81435	<b>Unit 12</b> <b>The Ridge at Telluride</b> Section 2 T42N R10W NMPM
October 28, 2020	<b>BULSON SURVEYING</b>
20069	



**LOT 11**

**LOT 12**

**Lot 1644A-4**  
 SUBJECTED TO THE COMMON INTEREST COMMUNITY AND AS THE RIDGE AT TELLURIDE. (OWNER: THE RIDGE AT TELLURIDE HOMEOWNERS ASSOCIATION)

**ROS-1B**  
 GENERAL COMMON ELEMENT (RECEPTION NO. 413134)

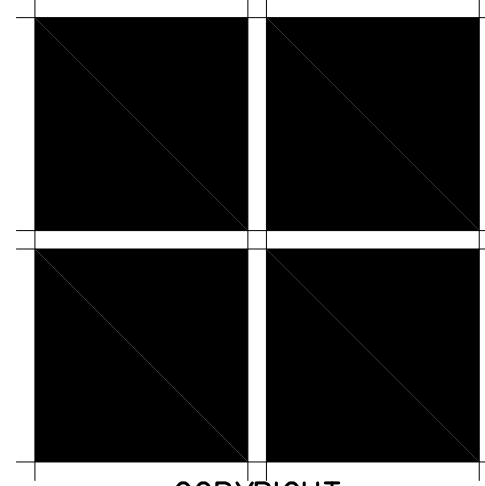
**ROS-1B**  
 GENERAL COMMON ELEMENT (RECEPTION NO. 413134)

**ROS-1B**  
 GENERAL COMMON ELEMENT (RECEPTION NO. 413134)

**SP-49R**  
 GOLF (LCC)

**SITE PLAN**

**preliminary-not for construction**



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**ISSUE LOG**

DRB Submittal	7-1-23
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**FILE NAME**

**JOB NUMBER**  
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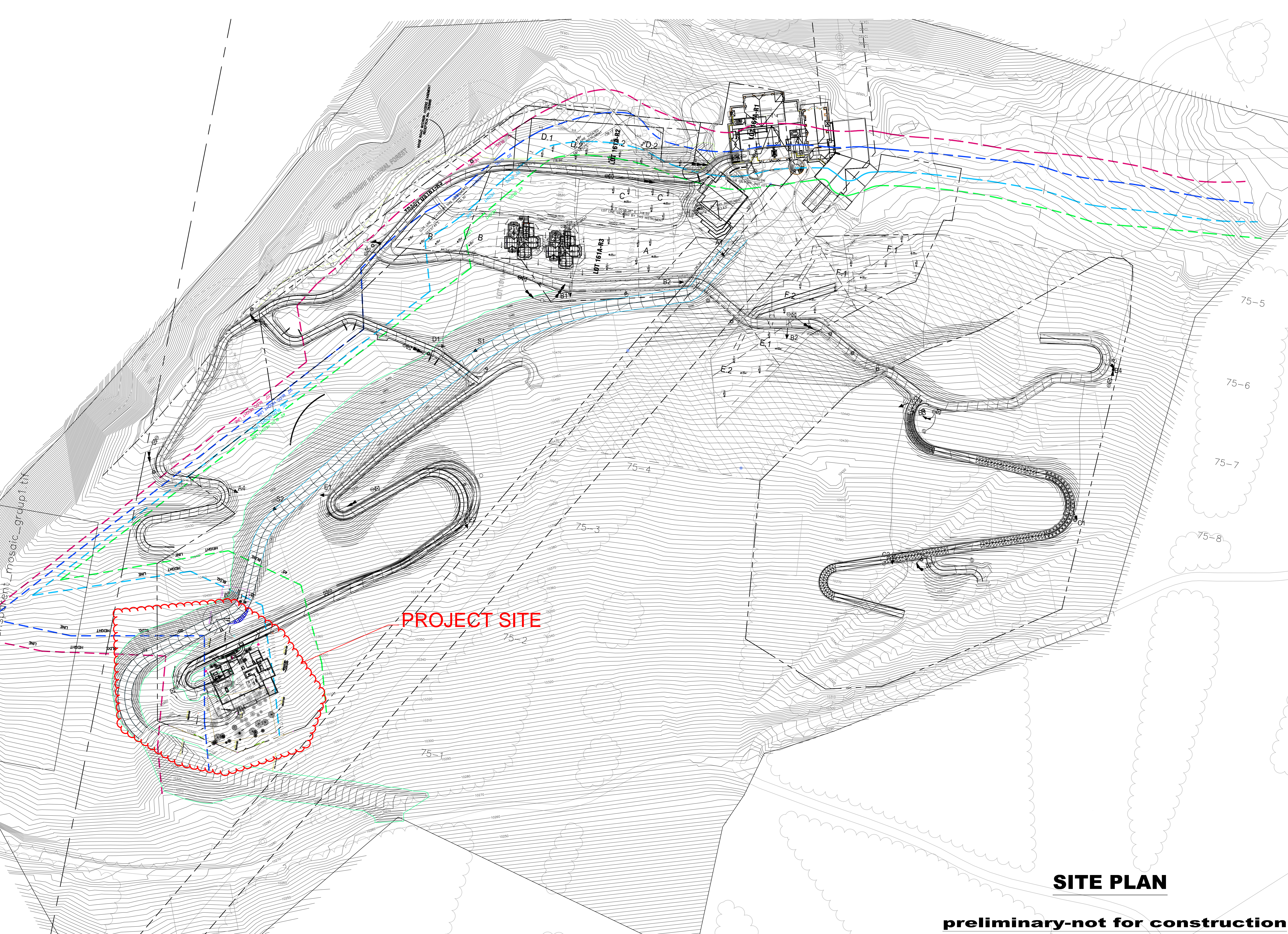
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**SHEET**

**A-1.0**

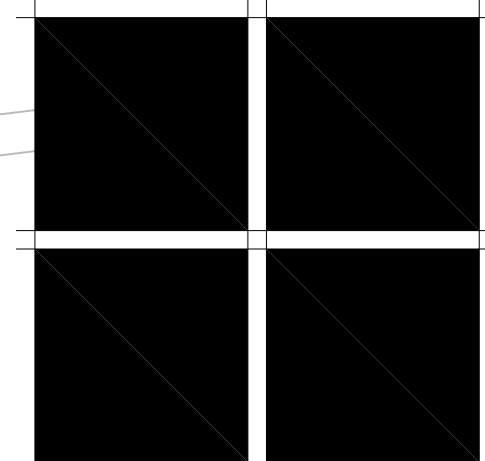
**OF SHEETS**



**PROJECT SITE**

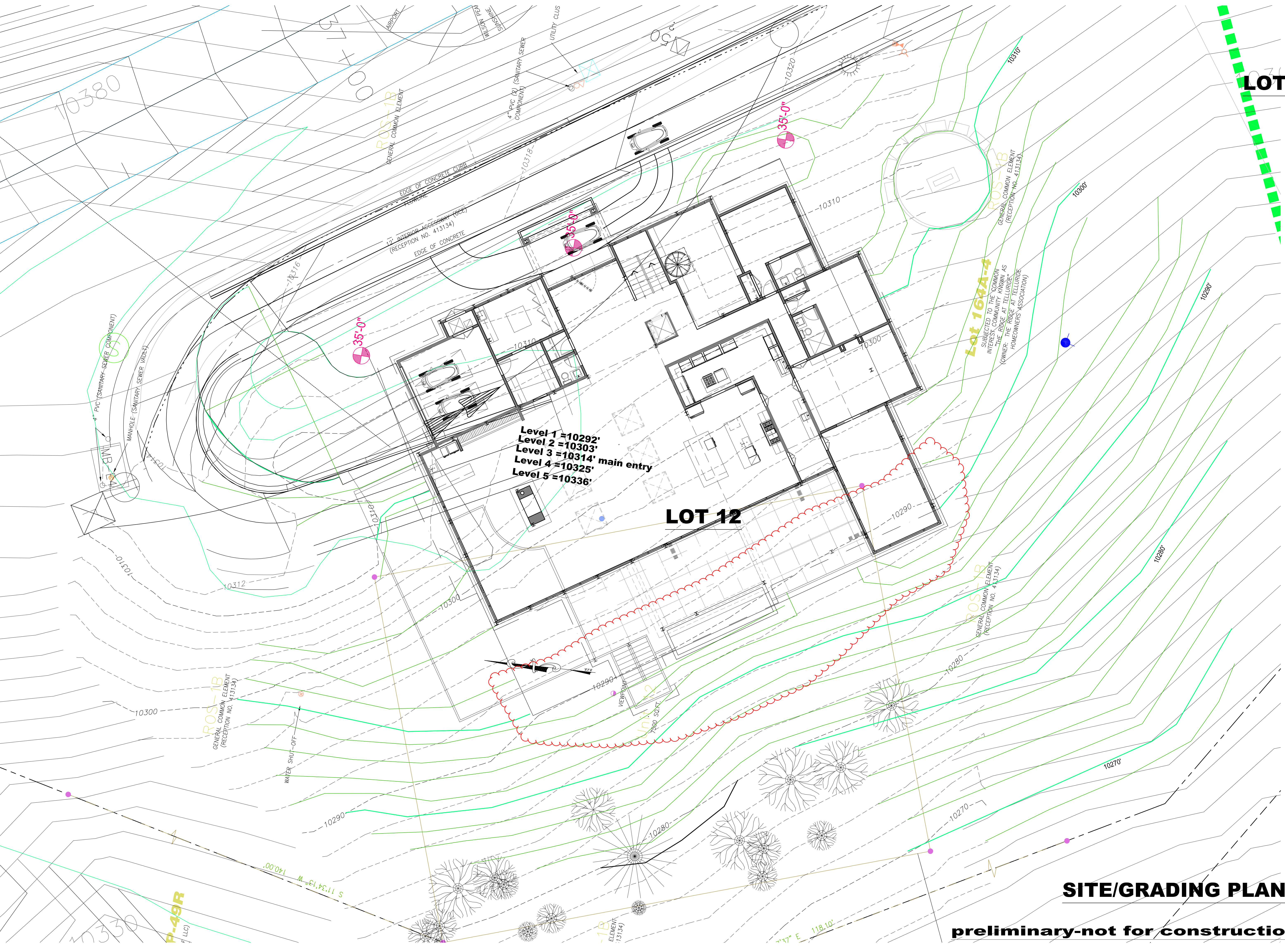
**SITE PLAN**

**preliminary-not for construction**



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ISSUE LOG	
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SHEET	

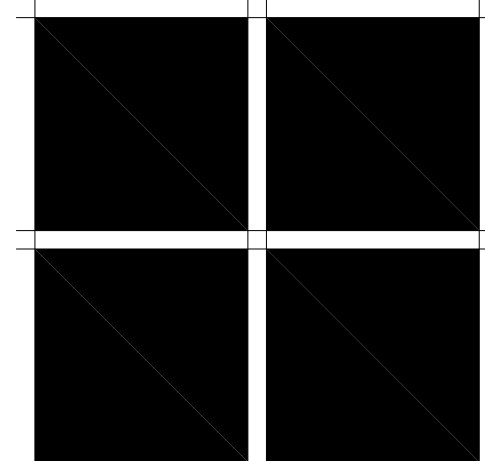


LOT 11

LOT 12

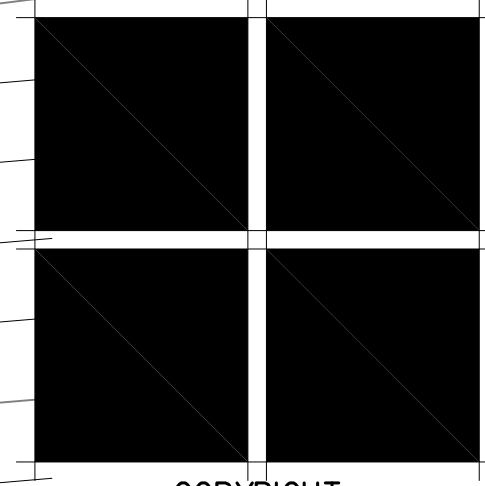
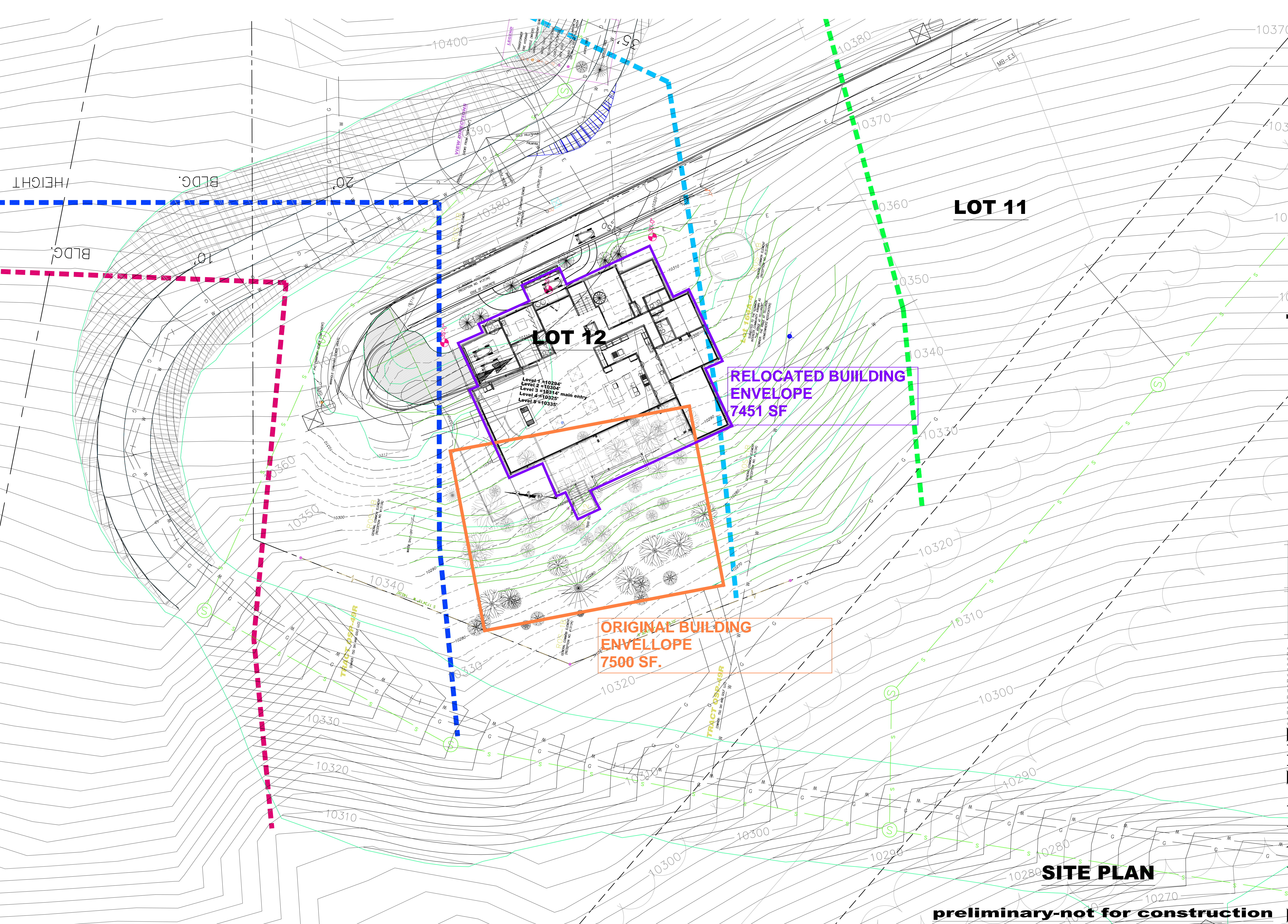
**SITE/GRADING PLAN**

preliminary-not for construction



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ISSUE LOG	
DRB rev	10-24-23
FILE NAME	
JOB NUMBER	XXX
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SCALE	1/8" = 1'-0"
SHEET	

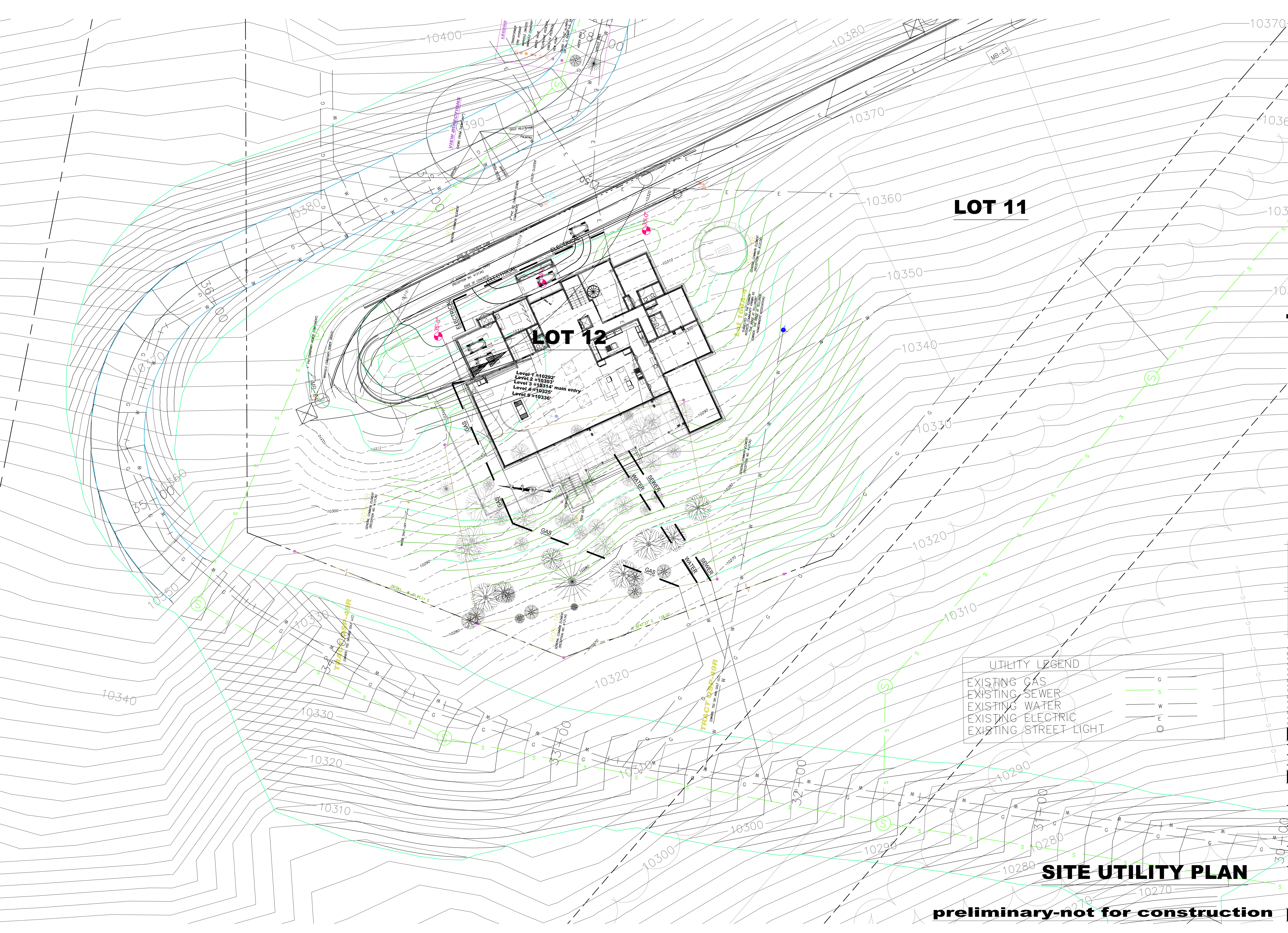


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**ISSUE LOG**

DRB Submittal	7-1-23
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FILE NAME	
JOB NUMBER	XXX
DRAWN BY	SM
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SHEET	



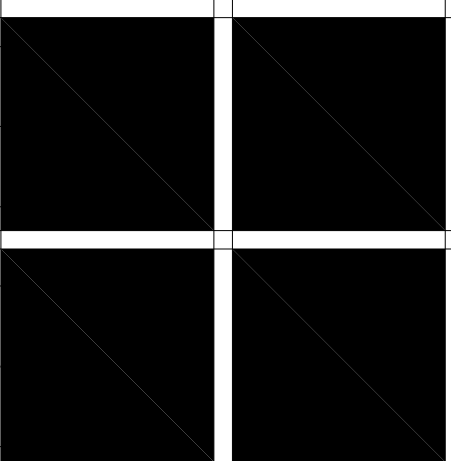
**LOT 11**

**LOT 12**

UTILITY LEGEND	
EXISTING GAS	G
EXISTING SEWER	S
EXISTING WATER	W
EXISTING ELECTRIC	E
EXISTING STREET LIGHT	☉

**SITE UTILITY PLAN**

preliminary-not for construction



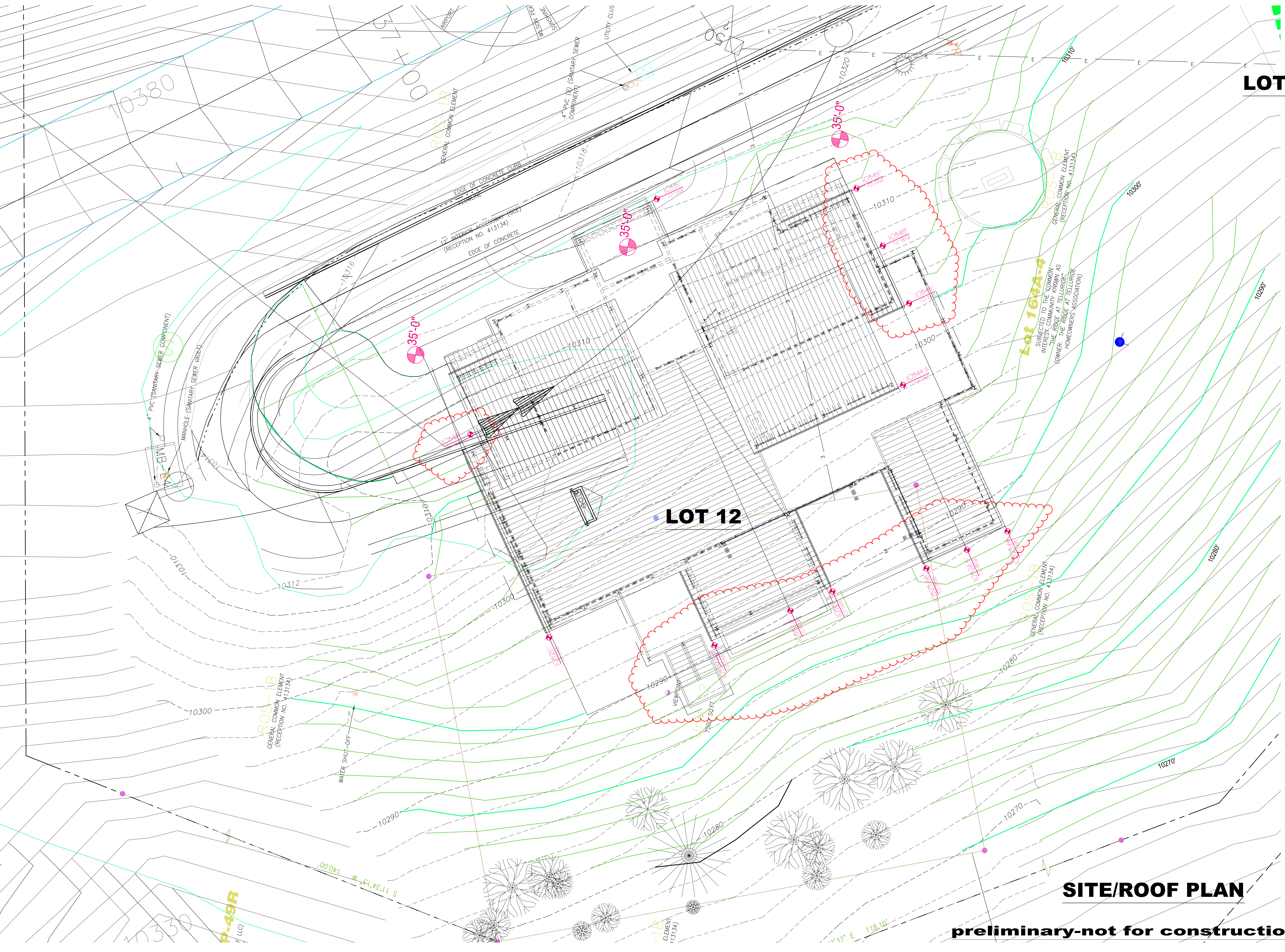
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**ISSUE LOG**

DRB Submittal	7-1-23

FILE NAME	
JOB NUMBER	XXX
DRAWN BY	SM
SCALE	1/16" = 1'-0"
SHEET	





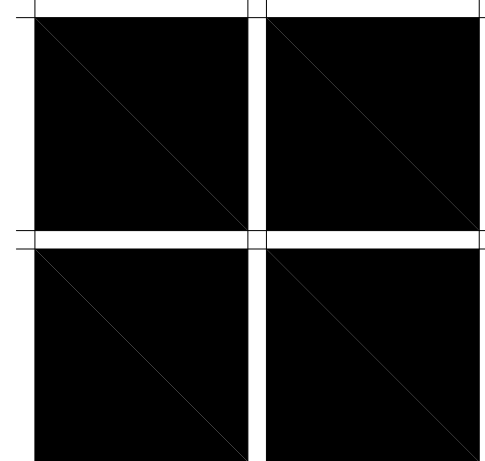
**LOT 11**

**LOT 12**

**Lot 1644A-4**  
 SUBMITTED TO THE COMMON  
 INTEREST COMMUNITY KNOWN AS  
 "THE RIDGE AT TELLURIDE"  
 (OWNER: THE RIDGE AT TELLURIDE  
 HOMEOWNERS ASSOCIATION)

**SITE/ROOF PLAN**

**preliminary-not for construction**



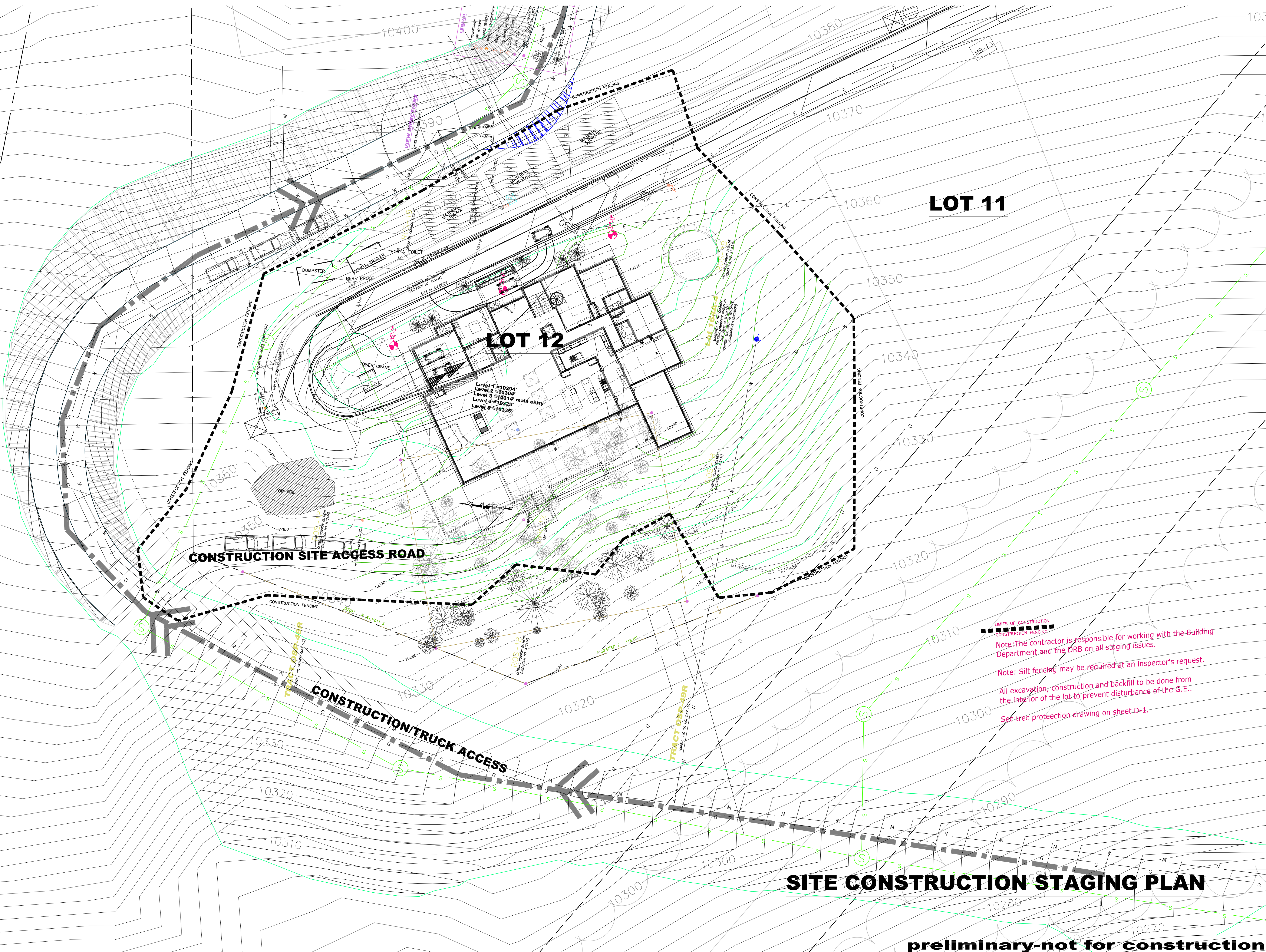
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**ISSUE LOG**

DRB Submittal	7-19-23
DRB rev	10-24-23

FILE NAME	
JOB NUMBER	XXX
DRAWN BY	SM
SCALE	1/8" = 1'-0"
SHEET	

**A-1.3**



**LOT 12**

**LOT 11**

**CONSTRUCTION SITE ACCESS ROAD**

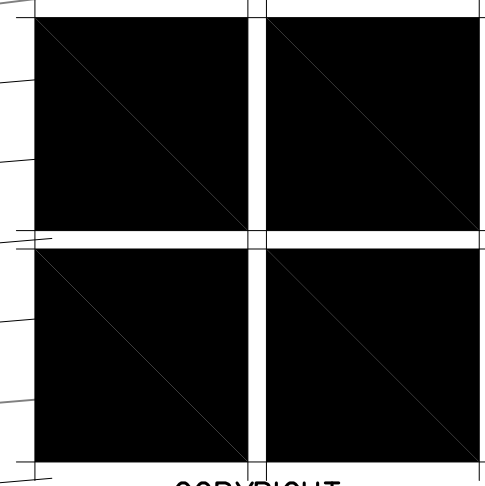
**CONSTRUCTION/TRUCK ACCESS**

Level 1 = 10294'  
 Level 2 = 10304'  
 Level 3 = 10314'  
 Level 4 = 10325'  
 Level 5 = 10335'

**LIMITS OF CONSTRUCTION CONSTRUCTION FENCING**  
 Note: The contractor is responsible for working with the Building Department and the DRB on all staging issues.  
 Note: Silt fencing may be required at an inspector's request.  
 All excavation, construction and backfill to be done from the interior of the lot to prevent disturbance of the G.E.  
 See tree protection drawing on sheet D-1.

**SITE CONSTRUCTION STAGING PLAN**

**preliminary-not for construction**



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ISSUE LOG	
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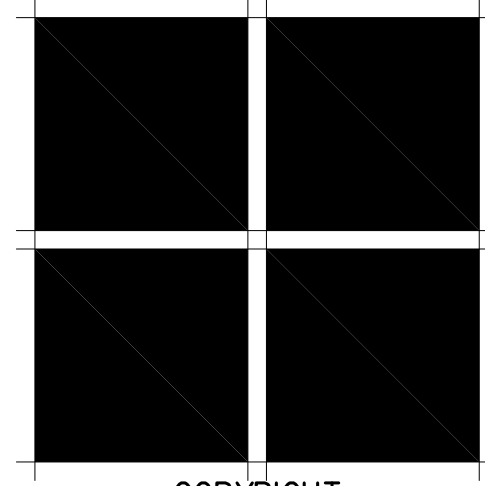
**LOT 11**

**LOT 12**

**Lot 164A-4**  
SUBJECT TO THE COMMON INTEREST COMMUNITY KNOWN AS "THE RIDGE AT TELLURIDE" HOMEOWNERS' ASSOCIATION

**SITE LANDSCAPE PLAN**

**preliminary-not for construction**



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ISSUE LOG	
DRB Submittal	7-19-23
FILE NAME	
JOB NUMBER	XXX
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SCALE	1/8" = 1'-0"
SHEET	



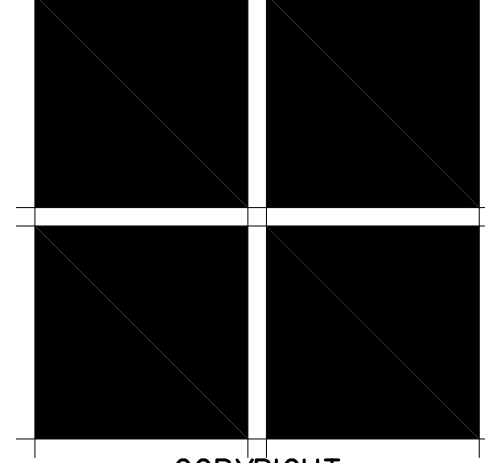
**LOT 11**

**LOT 12**

**SITE FIRE MITIGATION PLAN**

**preliminary-not for construction**

**MORTON architects inc.**  
 HORTON RESIDENCE  
 Lot 12-The Ridge, Town of Mountain Village, CO. 81435  
 SITE FIRE MITIGATION PLAN



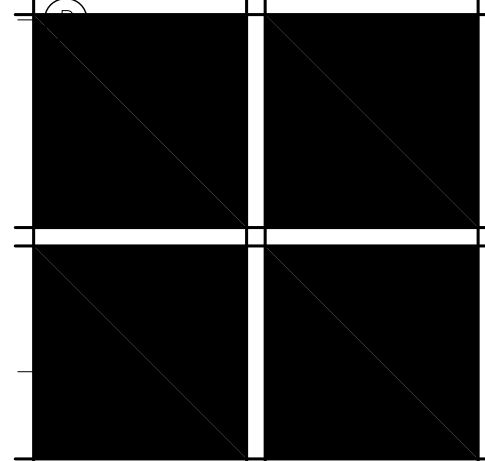
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**ISSUE LOG**

DRB Submittal	7-19-23

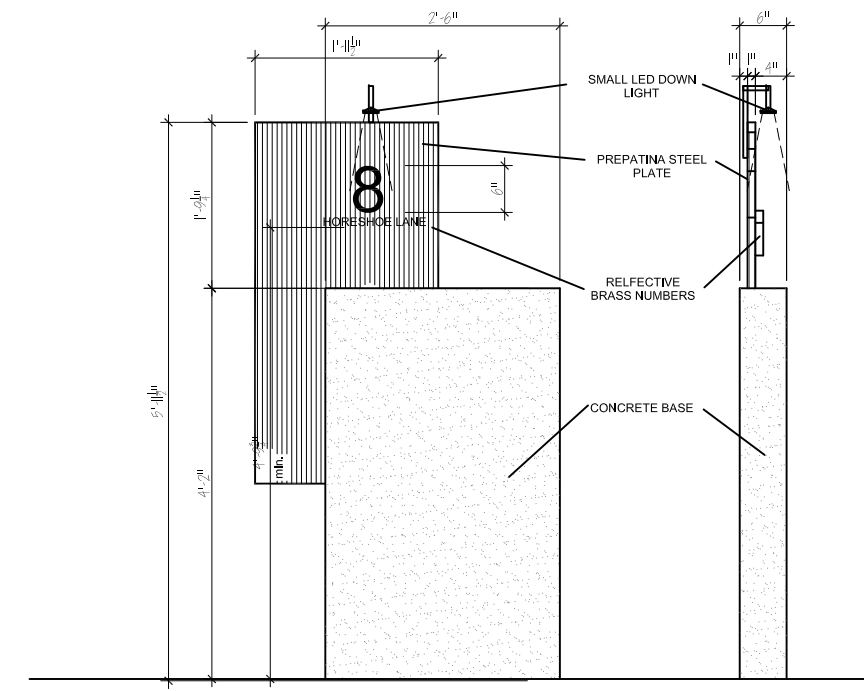
FILE NAME  
 JOB NUMBER  
 XXX  
 DRAWN BY  
 SM  
 SCALE  
 1/8" = 1'-0"  
 SHEET

**A-1.6**  
 OF SHEETS



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ISSUE LOG	
schematic design rev	10-5-23
DRB Submittal	7-1-23
FILE NAME	
JOB NUMBER	XXX
DRAWN BY	SM
SCALE	1/8" = 1'-0"
SHEET	



**ADDRESS MONUMENT**



**1ST/LOWER LEVEL PLAN**  
 1/8" = 1'-0"

1st FLOOR

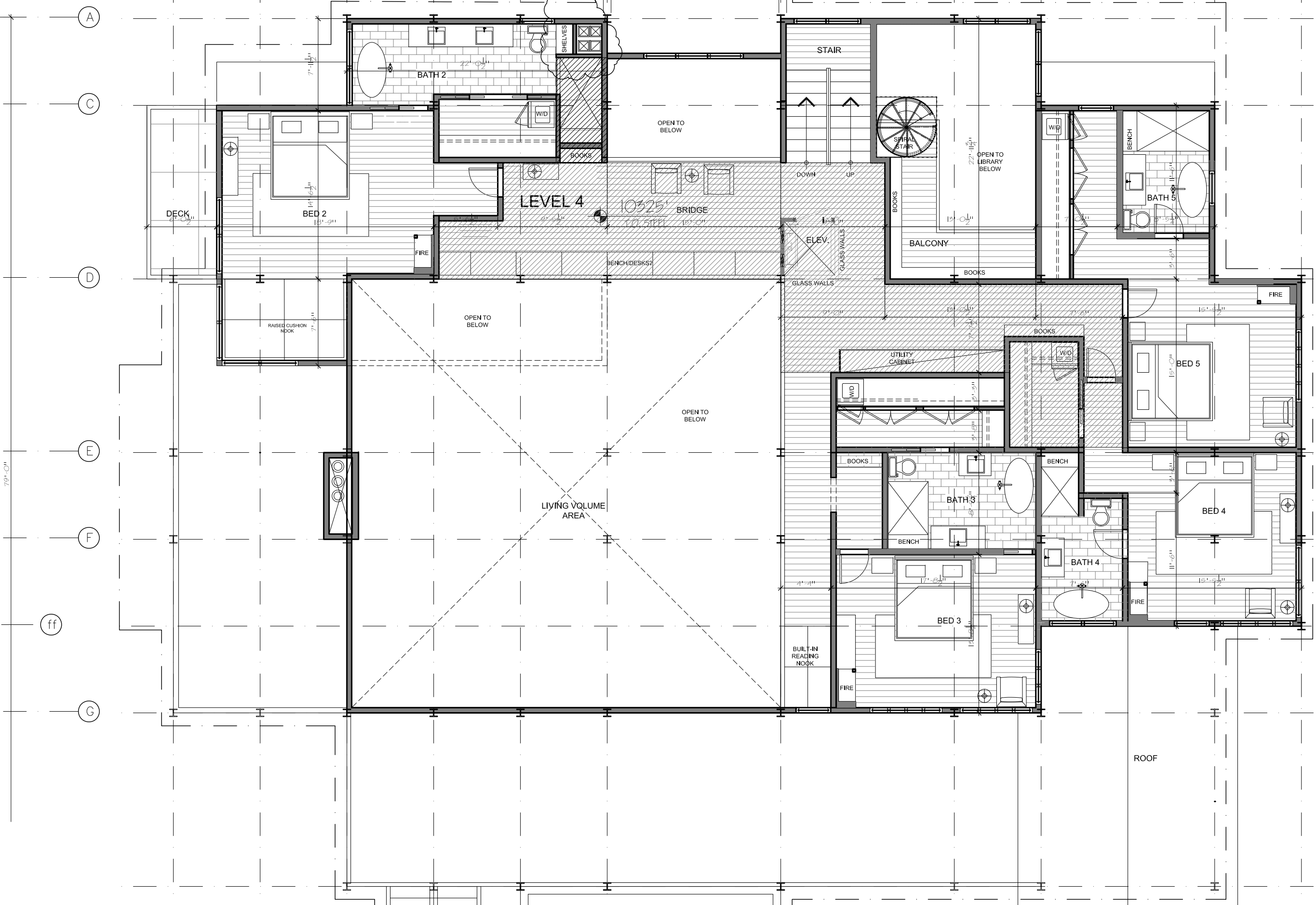


**2ND/LOWER LEVEL PLAN**  
 1/8" = 1'-0"

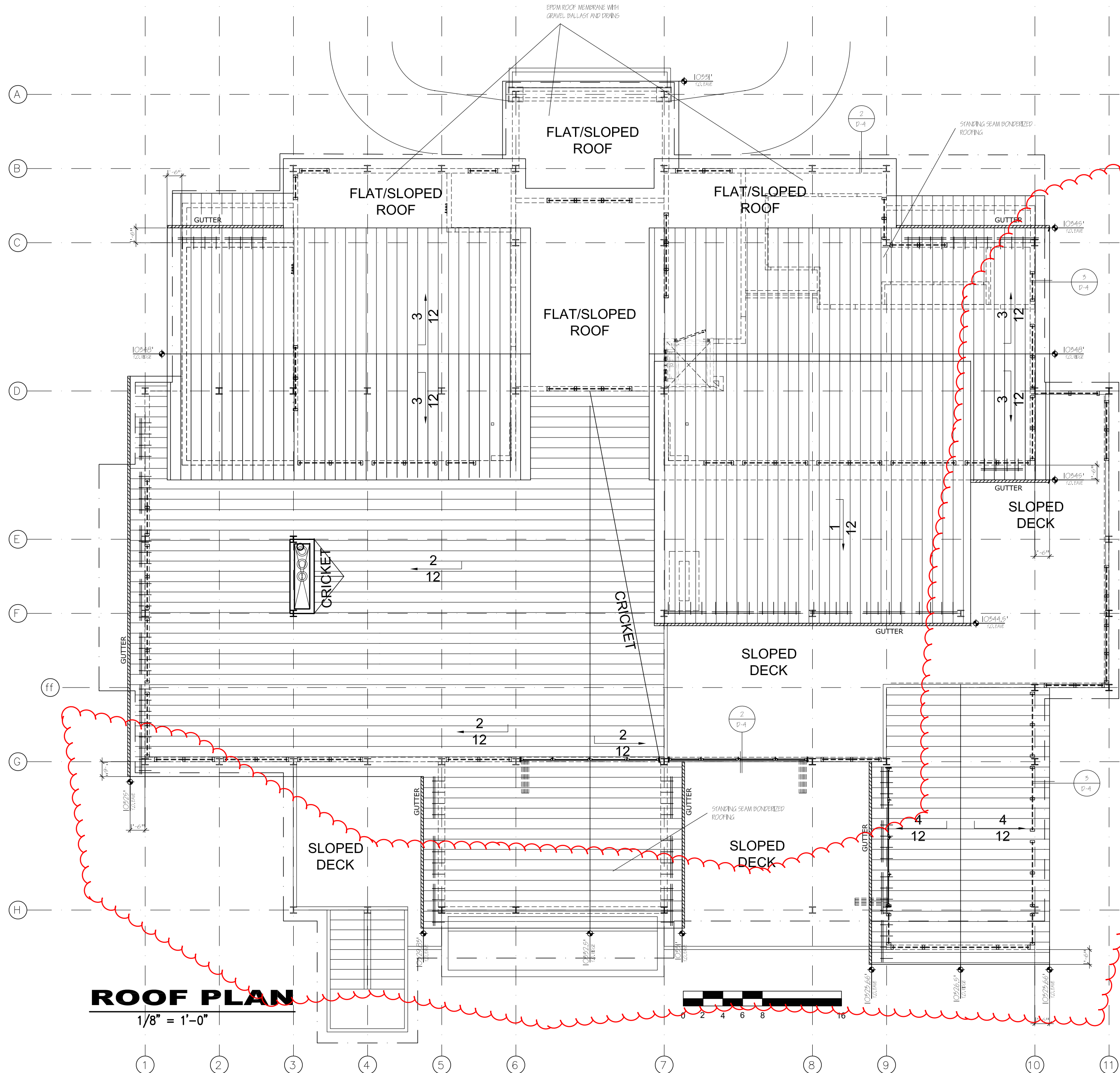
**preliminary-not for construction**  
 2nd FLOOR



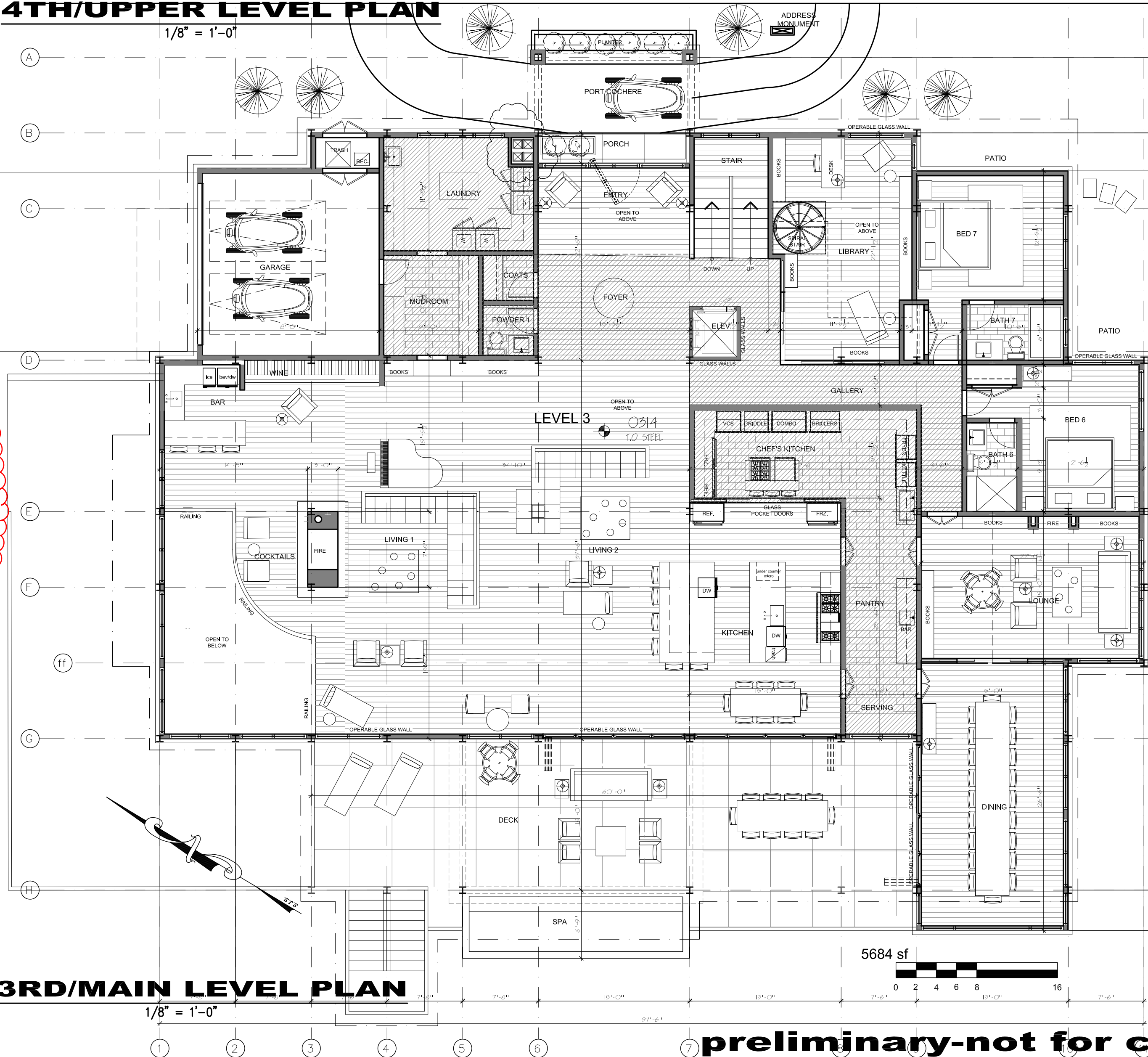
**5TH/UPPER LEVEL PLAN**  
1/8" = 1'-0"



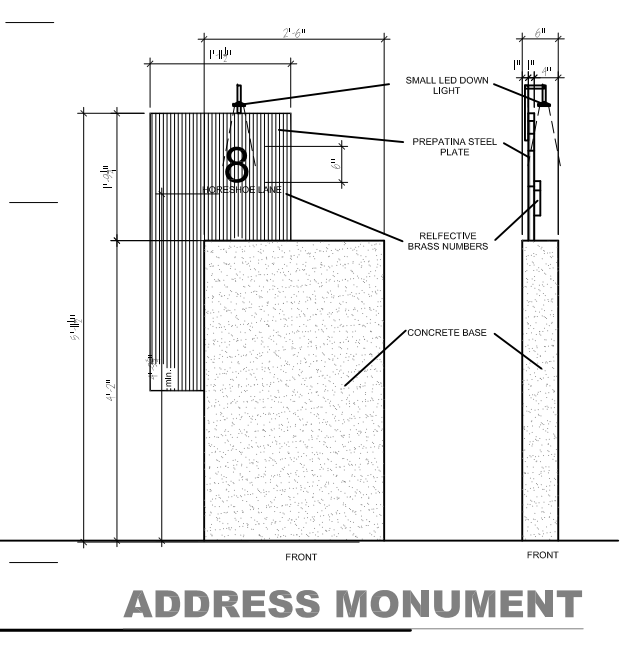
**4TH/UPPER LEVEL PLAN**  
1/8" = 1'-0"



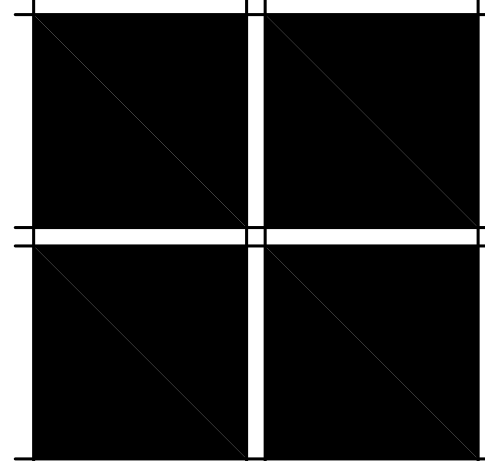
**ROOF PLAN**  
1/8" = 1'-0"



**3RD/MAIN LEVEL PLAN**  
1/8" = 1'-0"



ADDRESS MONUMENT



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**ISSUE LOG**

schematic design rev	10-5-23
ORB Submittal REV	10-24-23

FILE NAME

JOB NUMBER  
XXX

DRAWN BY  
SM

SCALE  
1/8" = 1'-0"

SHEET

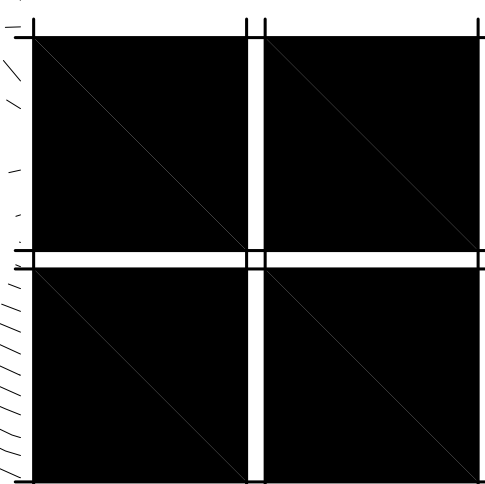
**A-2.0**

OF SHEETS

preliminary-not for construction



5684 sf



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**ISSUE LOG**

DRB Submittal	7-19-23
DRB revision	10-24-23

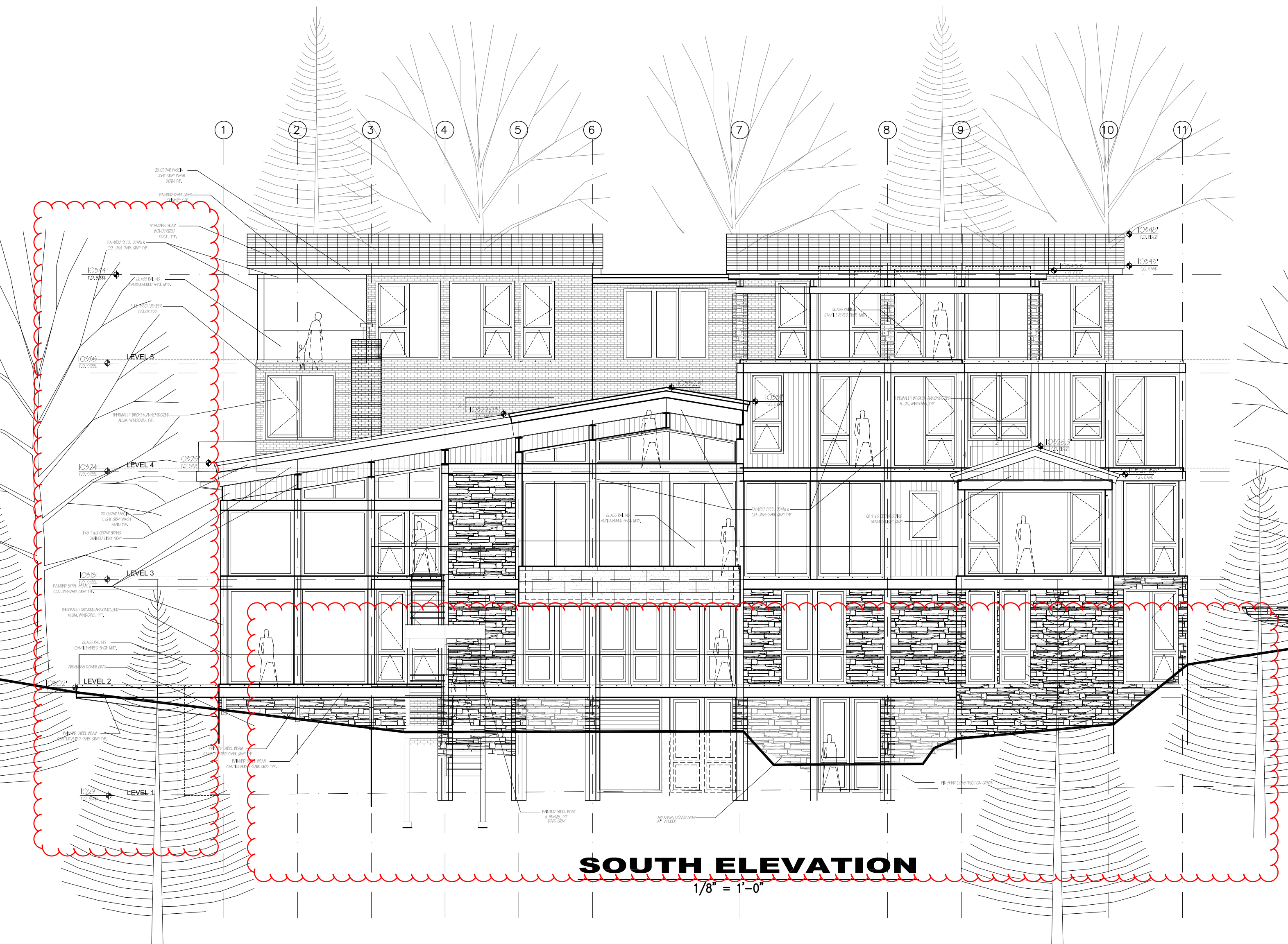
FILE NAME  
 JOB NUMBER  
 XXX  
 DRAWN BY  
 SM  
 SCALE  
 1/8" = 1'-0"  
 SHEET



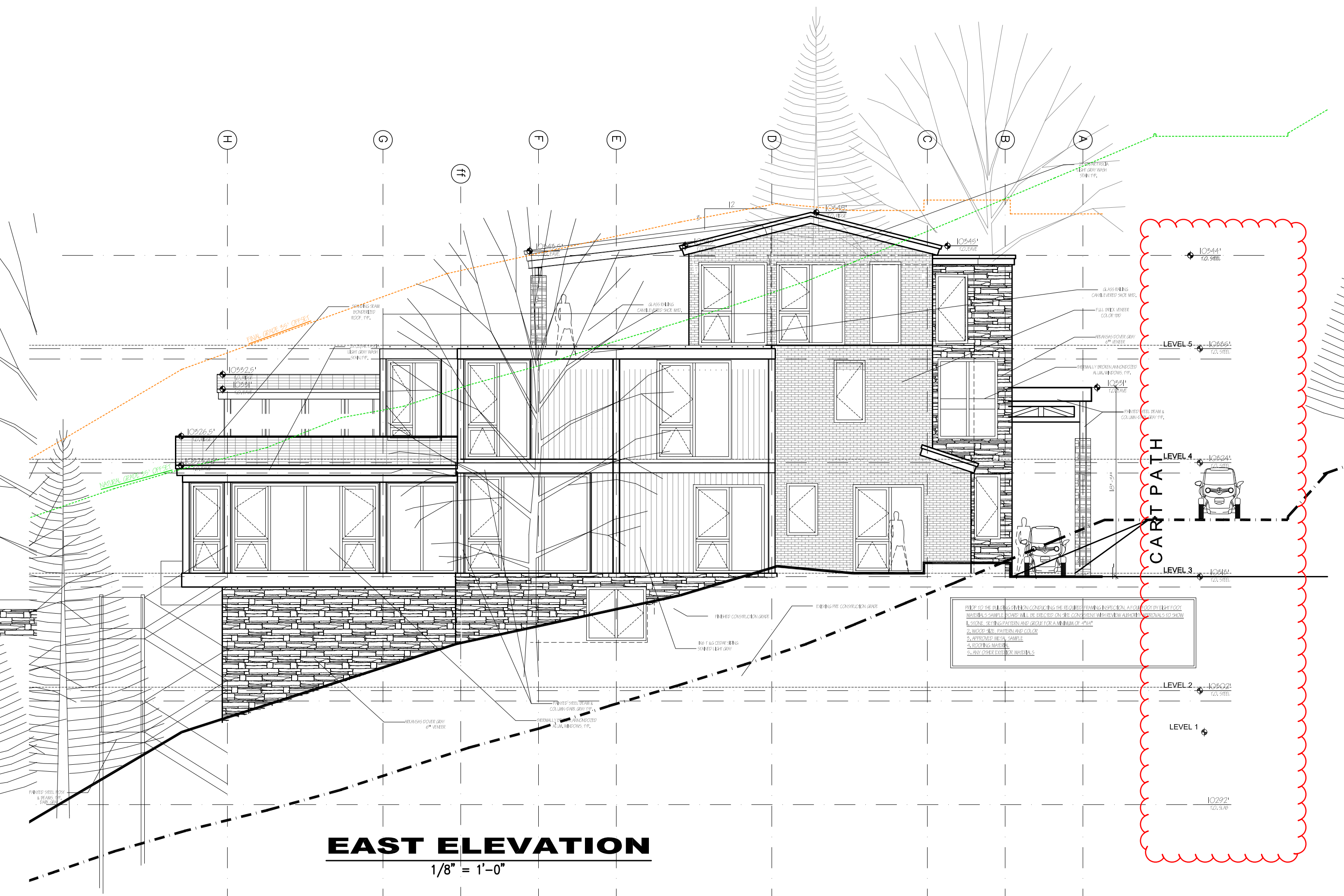
**WEST ELEVATION**  
 1/8" = 1'-0"



**NORTH ELEVATION**  
 1/8" = 1'-0"



**SOUTH ELEVATION**  
 1/8" = 1'-0"



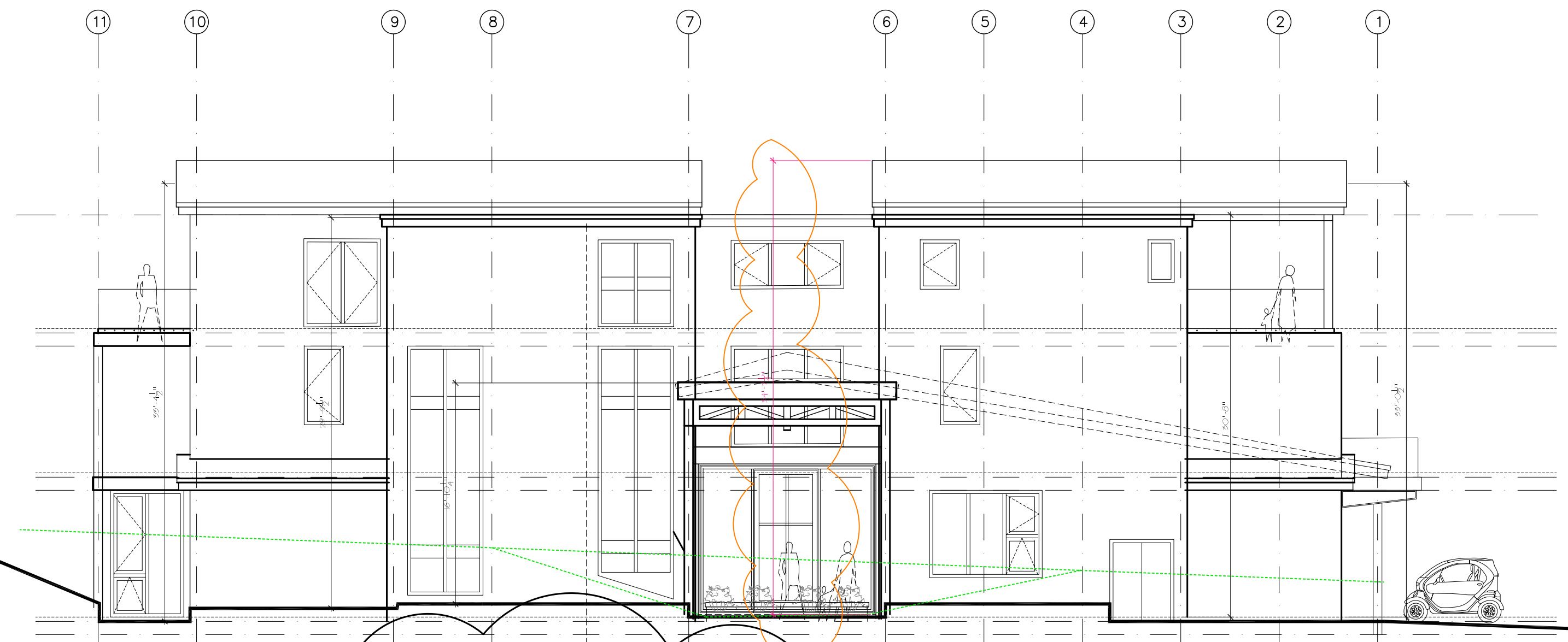
**EAST ELEVATION**  
 1/8" = 1'-0"



MAX. AVERAGE HT. (PER ELEVATION)  
 220'-7 1/2" 34'-6 1/4"

PERIMETER BLDG HT. MEASUREMENTS (PER ELEVATION)	
30'-11 3/4"	
33'-6 1/2"	
35'-0"	(MAX HT.)
34'-2 1/4"	
26'-8 1/4"	
26'-8 1/4"	
33'-6 1/2"	
TOTAL / ELEV.	220'-7 1/2"

**WEST ELEVATION**  
 1/8" = 1'-0"

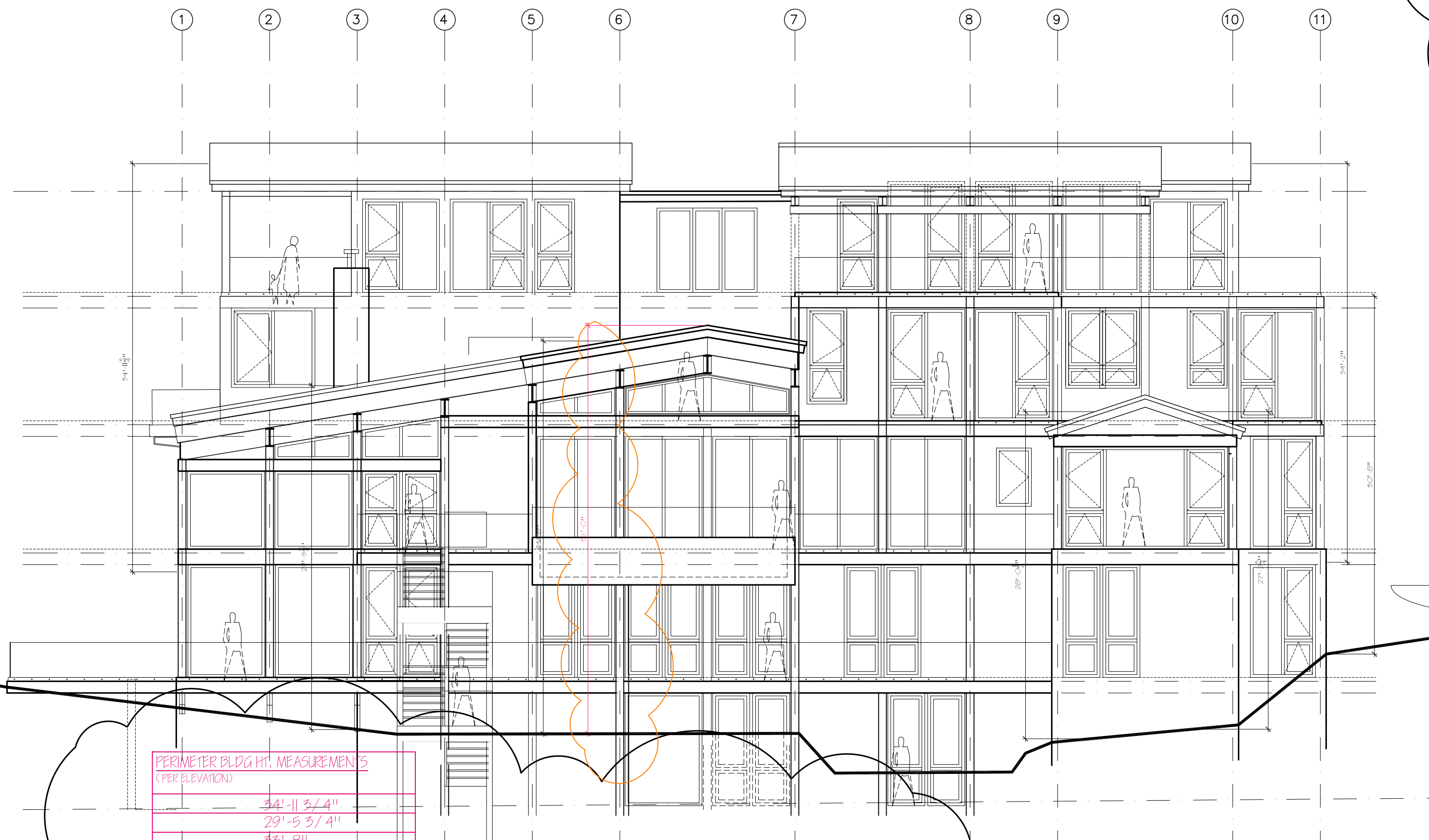


MAX. AVERAGE HT. (PER ELEVATION)  
 178'-4" 29'-8 5/4"

PERIMETER BLDG HT. MEASUREMENTS (PER ELEVATION)	
33'-4 1/2"	
29'-9 1/2"	
16'-10 1/4"	
34'-7 1/4"	(MAX HT.)
30'-8"	
33'-0 1/2"	
TOTAL / ELEV.	178'-4"

**NORTH ELEVATION**  
 1/8" = 1'-0"

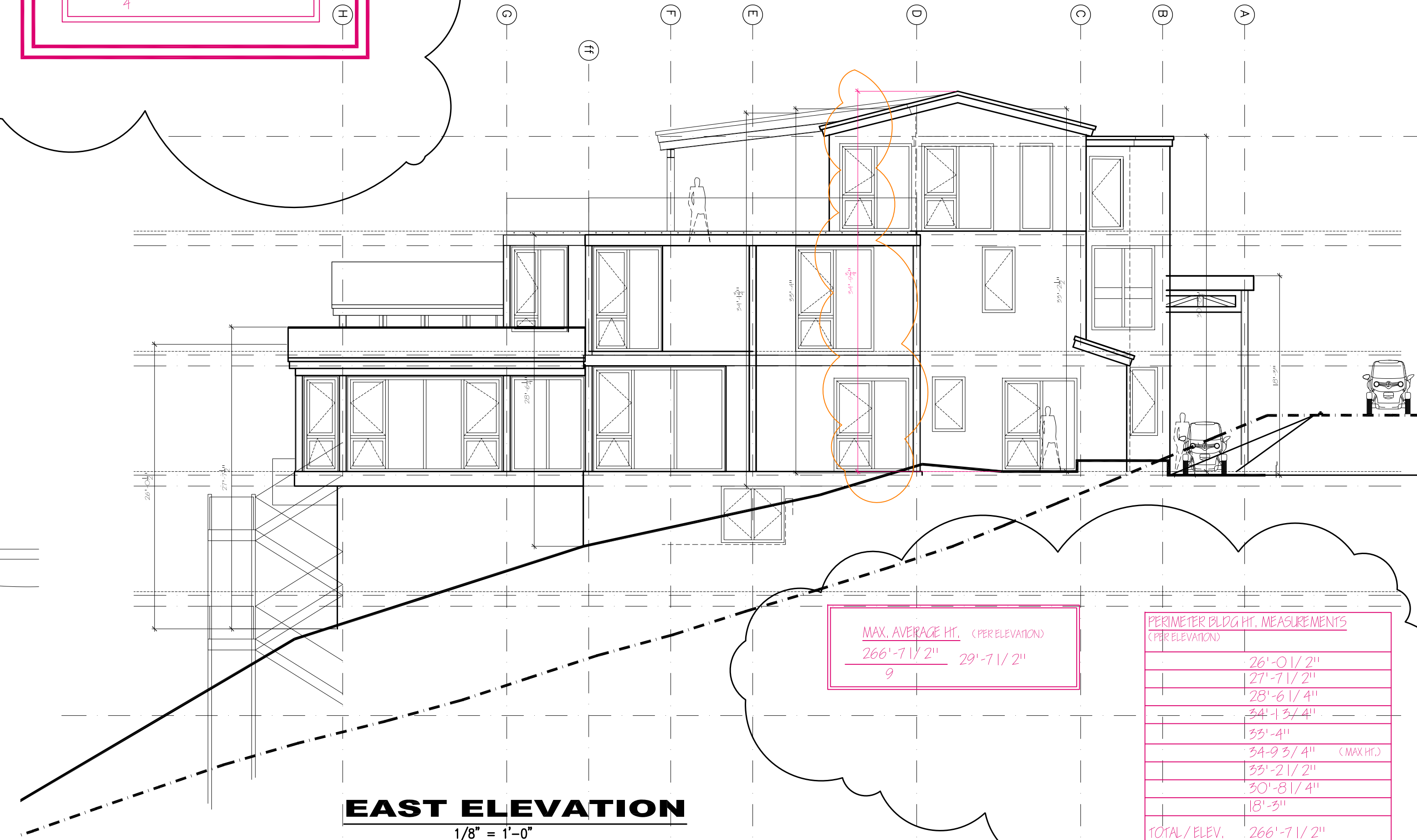
MAX. AVERAGE HT. (TOTAL PROJECT)	
122'-6 1/4"	30'-7 1/2"
4	



PERIMETER BLDG HT. MEASUREMENTS (PER ELEVATION)	
34'-11 3/4"	
29'-5 3/4"	
35'-8"	
35'-0"	(MAX HT.)
28'-0 1/2"	
37'-2 3/4"	
34'-2"	
30'-8"	
TOTAL / ELEV.	253'-2 3/4"

MAX. AVERAGE HT. (PER ELEVATION)  
 253'-2 3/4" 31'-7 3/4"

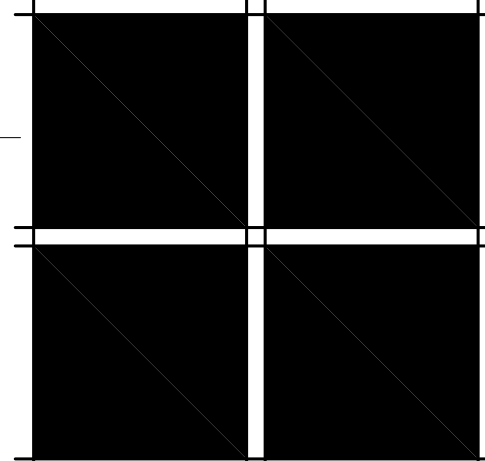
**SOUTH ELEVATION**  
 1/8" = 1'-0"



MAX. AVERAGE HT. (PER ELEVATION)  
 266'-7 1/2" 29'-7 1/2"

PERIMETER BLDG HT. MEASUREMENTS (PER ELEVATION)	
26'-0 1/2"	
127'-7 1/2"	
23'-6 1/4"	
34'-1 3/4"	
35'-4"	
34'-9 3/4"	(MAX HT.)
35'-2 1/2"	
30'-8 1/4"	
18'-3"	
TOTAL / ELEV.	266'-7 1/2"

**EAST ELEVATION**  
 1/8" = 1'-0"



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**ISSUE LOG**

DRB Submittal rev	9-14-23
DRB revision	10-24-23

**FILE NAME**

**JOB NUMBER**  
XXX

**DRAWN BY**  
SM

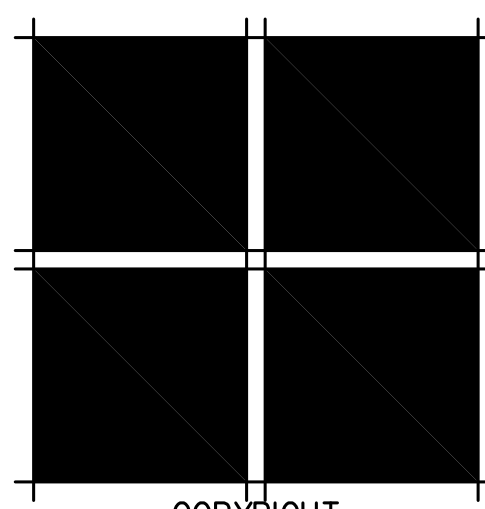
**SCALE**  
1/8" = 1'-0"

**SHEET**

**A-3.1**

preliminary-not for construction





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**ISSUE LOG**

schematic design rev	5-1-23
DRB Submittal	7-19-23

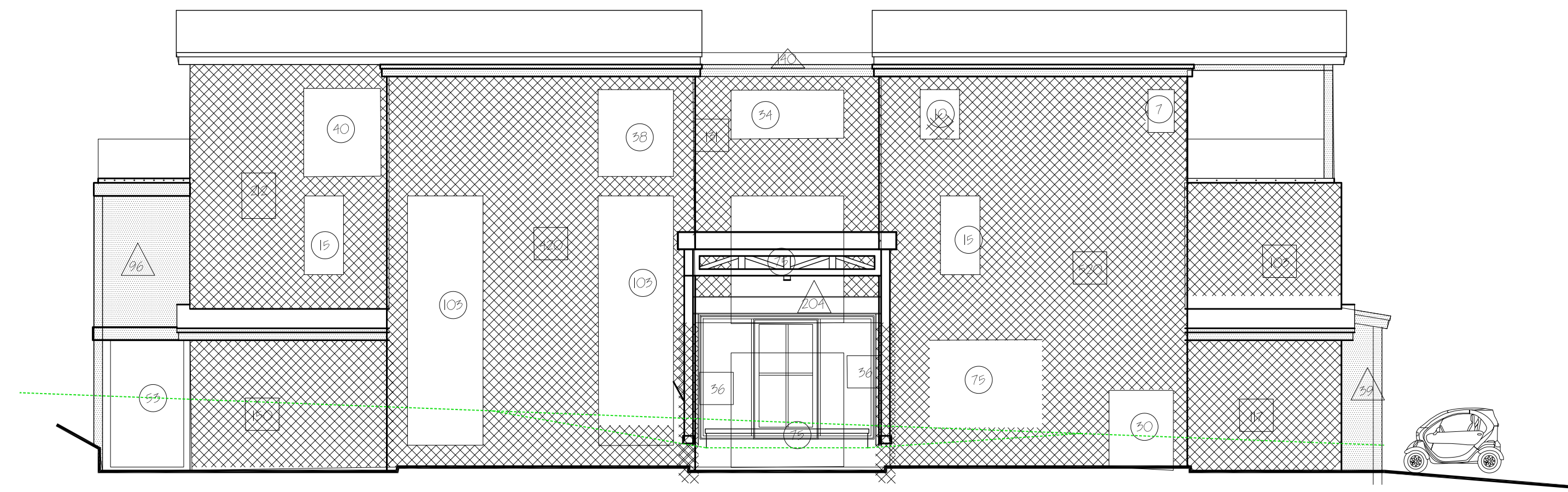
FILE NAME

JOB NUMBER  
XXX

DRAWN BY  
SM

SCALE  
1/8" = 1'-0"

SHEET



**NORTH ELEVATION**  
 1/8" = 1'-0"

STONE AREA	1655	59.5%
WOOD/ STEEL AREA	479	17.2%
PENESTRATION GLASS	655	23.5%
TOTAL WALL AREA	2789	100%

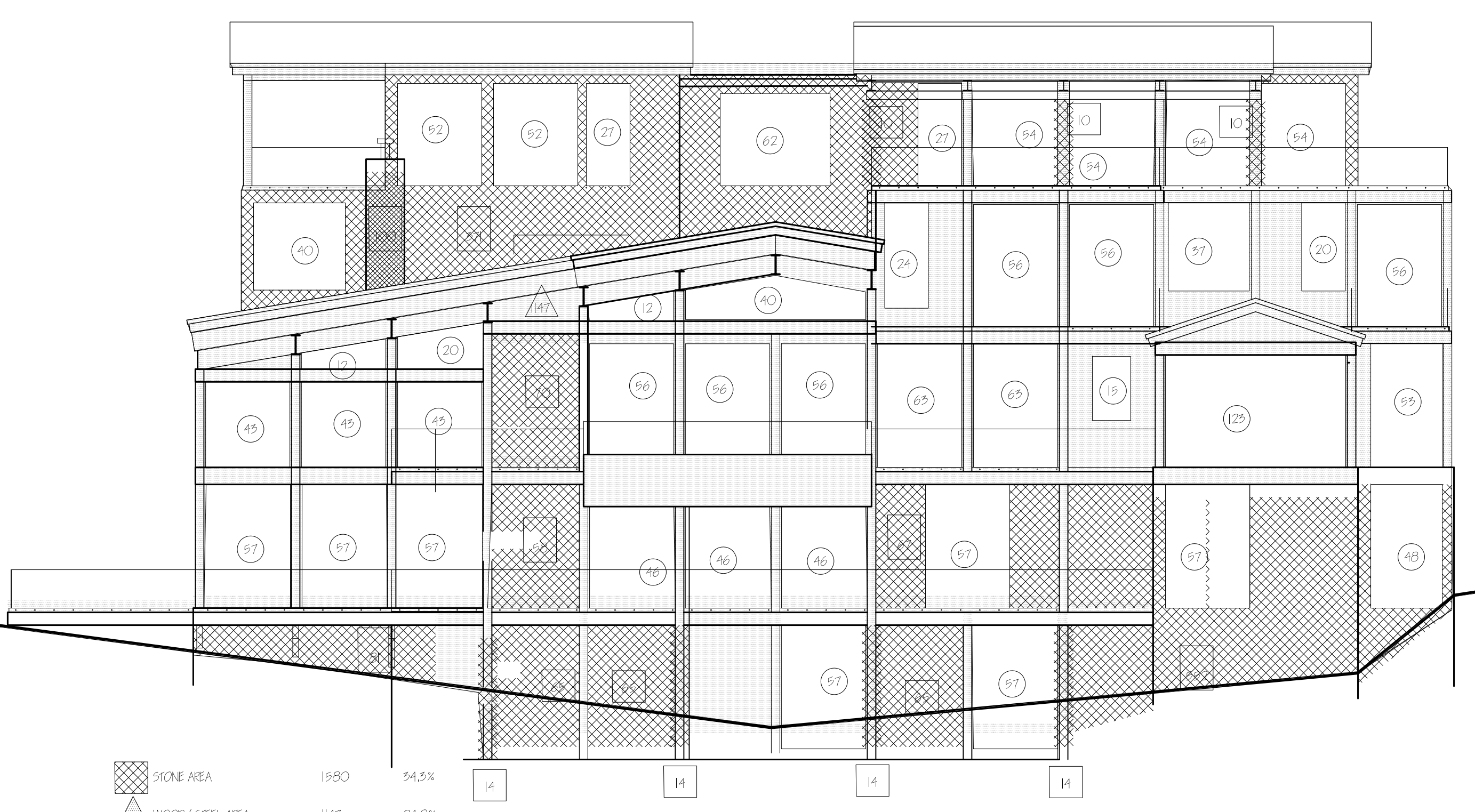


**WEST ELEVATION**  
 1/8" = 1'-0"

STONE AREA	908	42.7%
WOOD/ STEEL AREA	291	10.9%
PENESTRATION GLASS	986	46.4%
TOTAL WALL AREA		

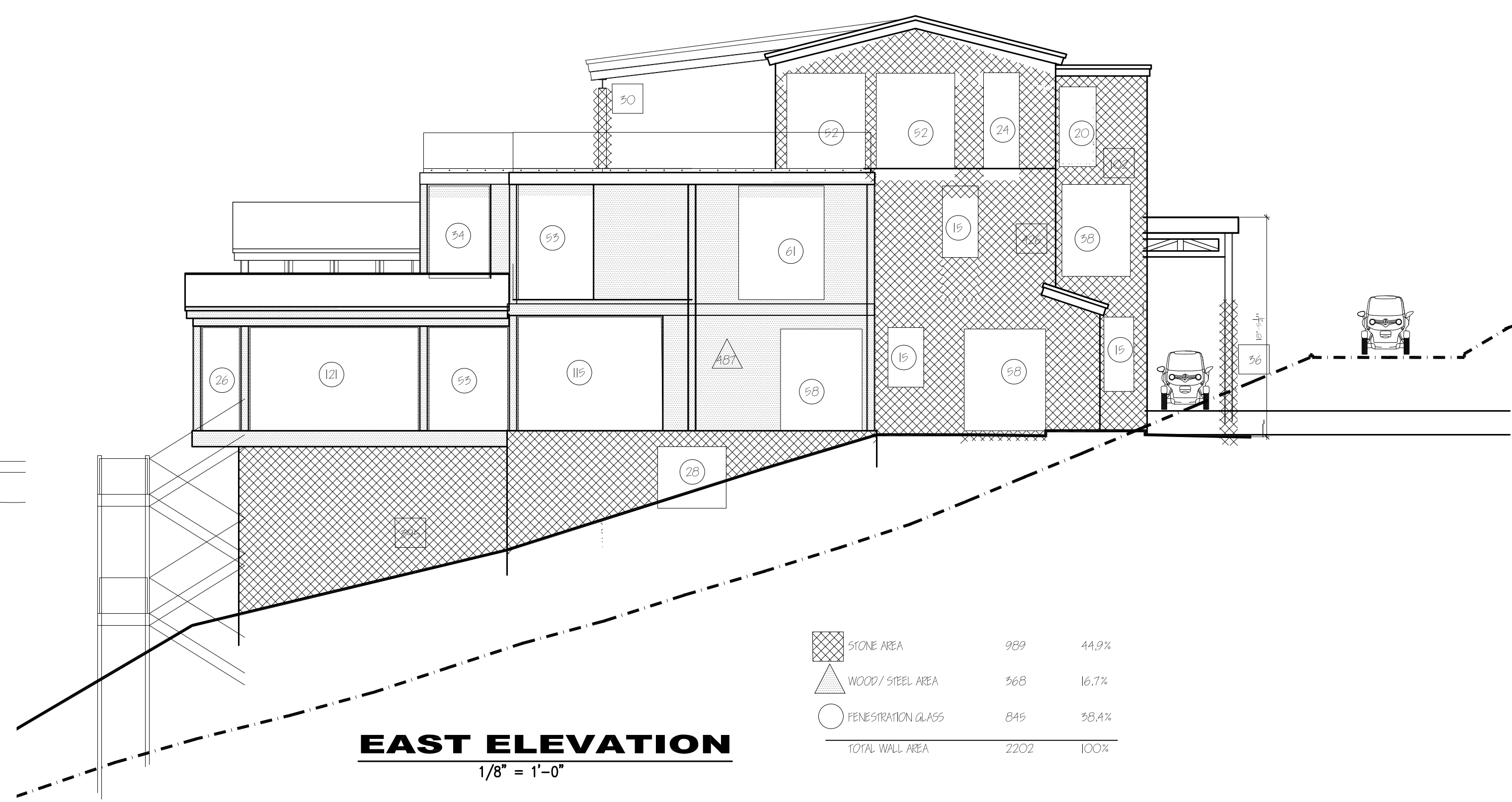
**TOTAL PROJECT AREAS**

STONE AREA	5190	49.6%
WOOD/ STEEL AREA	2225	19.1%
PENESTRATION GLASS	4364	37.2%
TOTAL WALL AREA	11719	100%



**SOUTH ELEVATION**  
 1/8" = 1'-0"

STONE AREA	1580	54.5%
WOOD/ STEEL AREA	1147	24.8%
PENESTRATION GLASS	1880	40.8%
TOTAL WALL AREA	4607	100%



**EAST ELEVATION**  
 1/8" = 1'-0"

STONE AREA	959	44.9%
WOOD/ STEEL AREA	565	16.7%
PENESTRATION GLASS	845	26.4%
TOTAL WALL AREA	2202	100%

# HORTON RESIDENCE

## THE RIDGE LOT 12

TOWN OF MOUNTAIN VILLAGE  
TELLURIDE, COLORADO



**GONDOLA CORRIDOR VIEW**



**CART PATH VIEW**



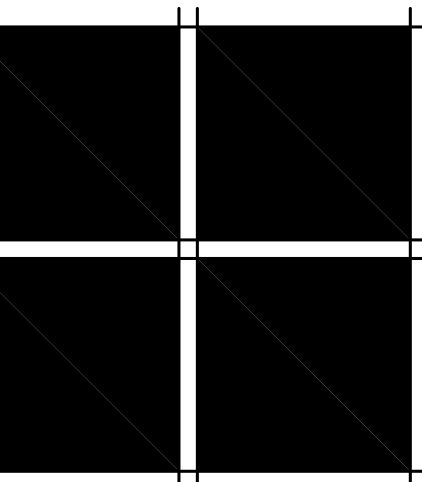
**BIRD'S EYE VIEW**

**preliminary-not for construction**

**MORTON**  
**architects inc.**  
221 S. PINE ST. PO BOX 3561 TELLURIDE, CO. 81435  
(970) 708-2246

**HORTON RESIDENCE**  
Lot 12-The Ridge, Town of Mountain Village, CO. 81435

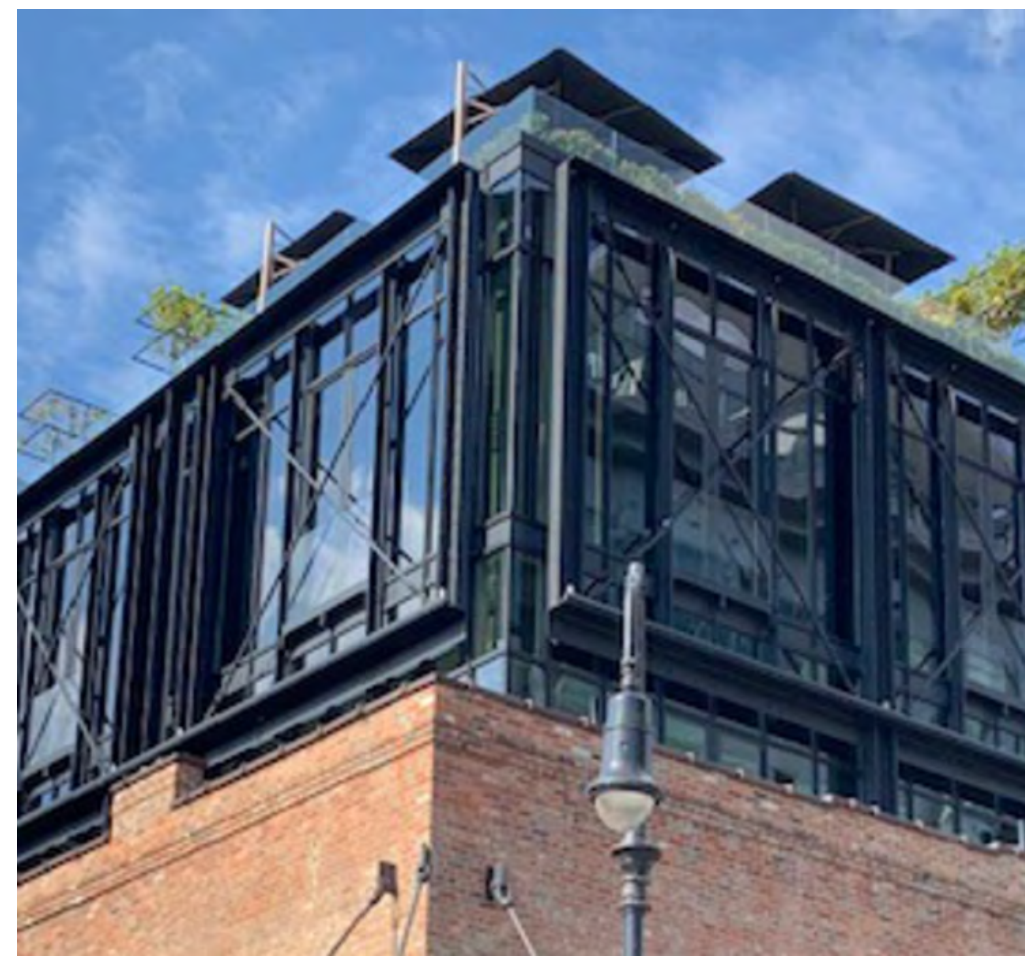
**RENDERINGS**



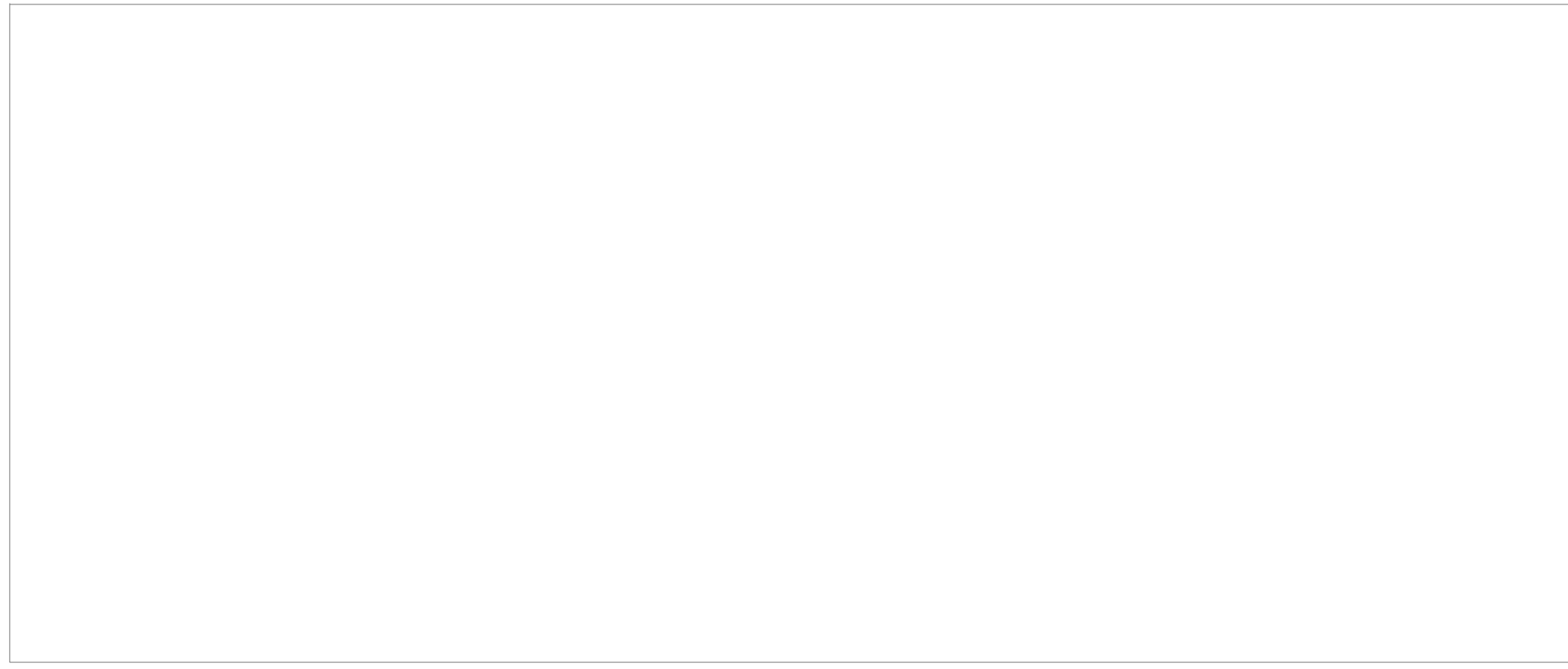
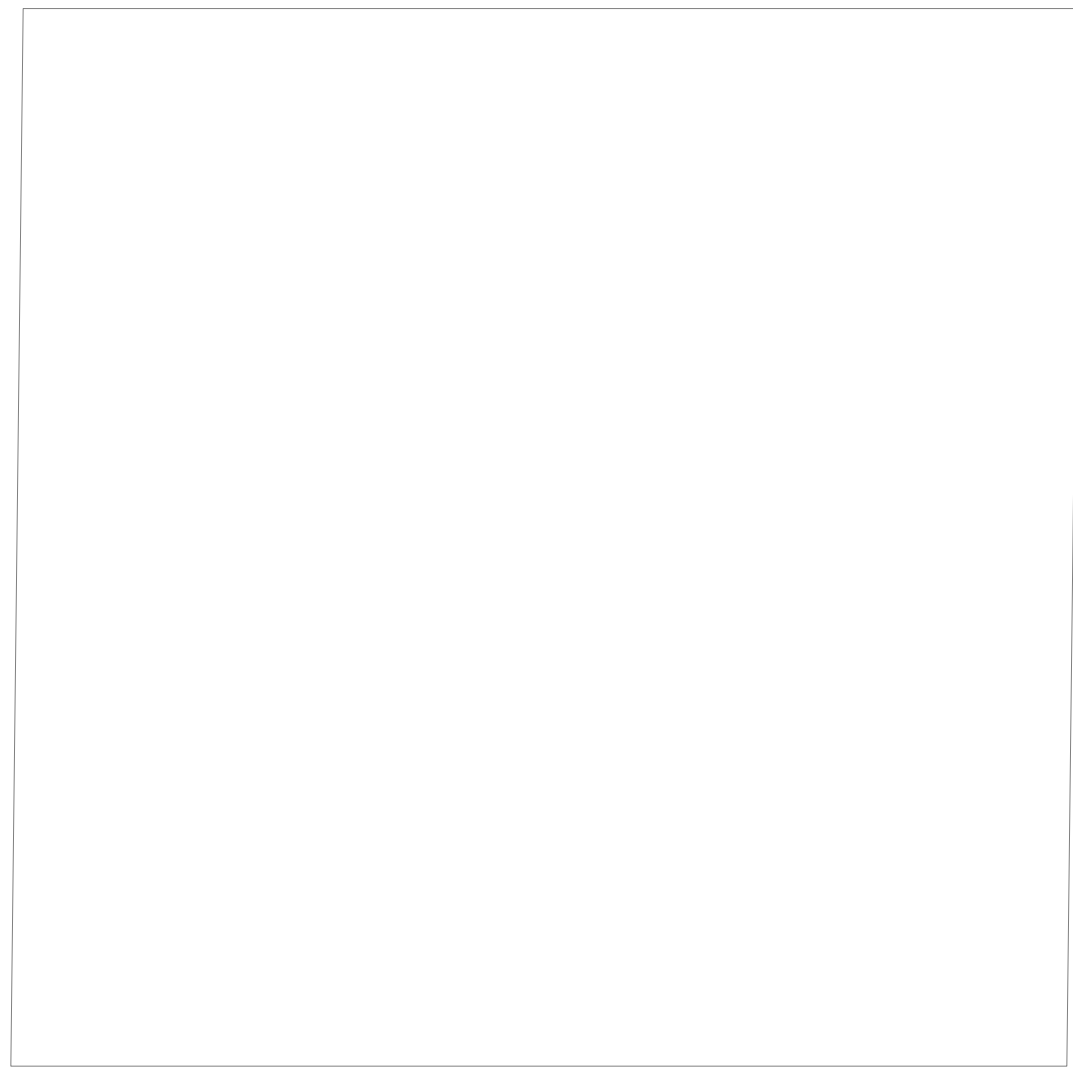
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ISSUE LOG	
Sketch DRB submittal	7-1-23
FILE NAME	
JOB NUMBER	XXX
DRAWN BY	SM
SCALE	
SHEET	

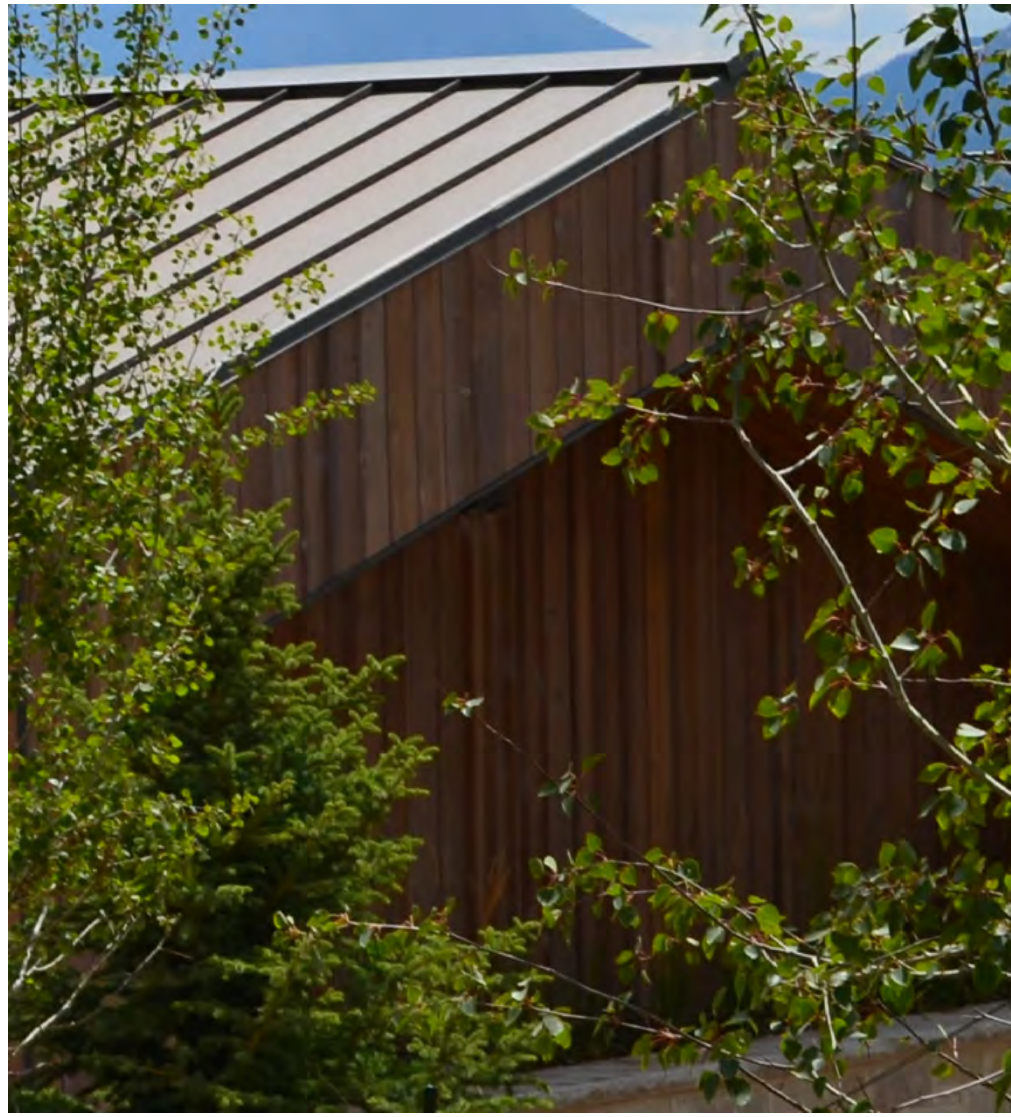
**A-R**  
OF SHEETS



STEEL STRUCTURE/  
WINDWS/ACCENTS  
ALUMINUM ANODIZED  
WINDOWS  
STEELSTRUCTURE & DECKSPOWDER COATED GRAY



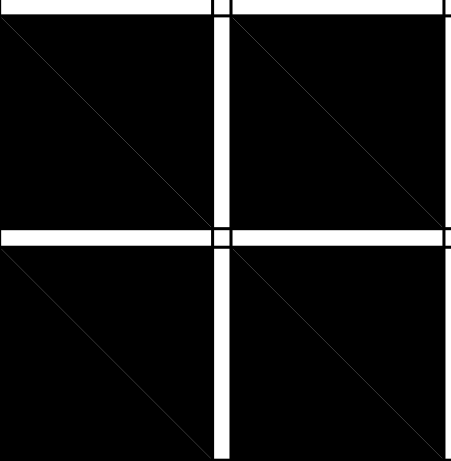
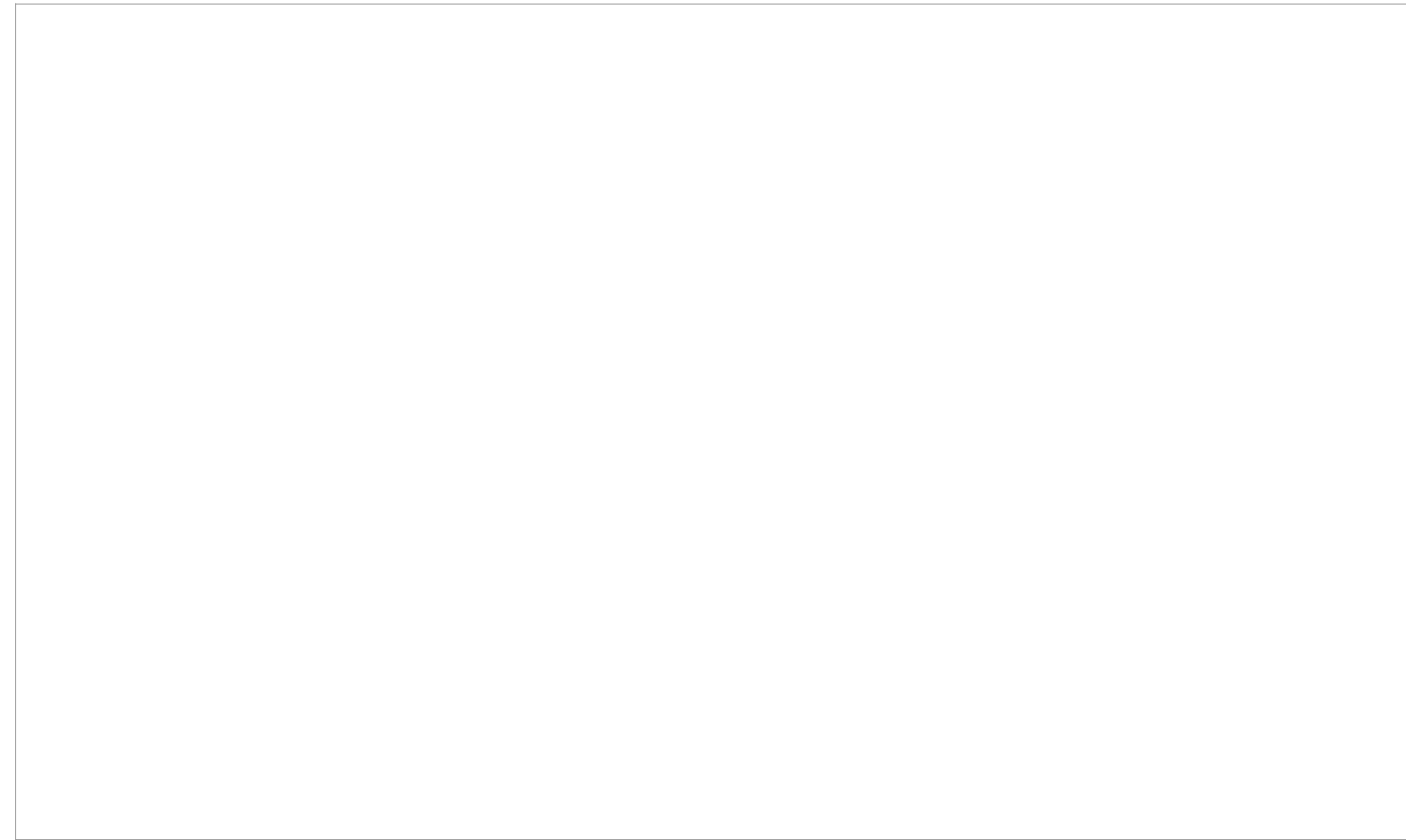
ROOFING & METAL  
ACCENTS  
BONDERIZED SHEET METAL



CEDAR SIDING  
HORIZONTAL 1X6 WIRE BRUSH  
CHANNEL GROOVE-STAINED



STONE VENEER  
ARKANSAS DOVER GRAY GRAY  
BLOCKY-TUMBLED  
THICK GROUT JOINTS  
WEATHERED BRICK



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ISSUE LOG	
SKETCH DRB	7-1-23
FILE NAME	
JOB NUMBER	XXX
DRAWN BY	SM
SCALE	
SHEET	<b>A-M</b>
OF	SHEETS

A paved road curves through a forest. The trees on the left have bright yellow leaves, while those on the right are mostly green. A person in a red jacket is visible in the distance on the right side of the road. The sky is blue with some clouds. A red rectangular box highlights a section of the forest on the left side of the road.

Lot 12



Lot 12

**RESOLUTION OF THE TOWN COUNCIL  
OF THE TOWN OF MOUNTAIN VILLAGE,  
MOUNTAIN VILLAGE, COLORADO  
GRANTING A VARIANCE TO THE APPLICATION OF THE COONSKIN RIDGE  
VIEW PLANE EXHIBIT TO UNIT 12, LOT 161A-4, THE RIDGE AT TELLURIDE, A  
PLANNED UNIT COMMUNITY FOUND AT CDC SECTION 17.5.16.B.4**

**Resolution No. 2021-1216-29**

**WHEREAS**, Jonathan H. And Tiffany L. Horton Living Trust (the “Owner”) is the owner of record of real property described as UNIT 12 THE RIDGE AT TELLURIDE A PLANNED COMMUNITY LOT 161A4 ACC TO PLAT REC 04 05 2004 BK 1 PG 3262 3265 AND ACC TO 6TH SUPPLEMENTAL AND AMENDED PLANNED COMMUNITY PLAT PHASES 1 THRU 7 REC 07 02 2010 PLAT BK 1 PG 4349 4353 AND 6TH SUPPLEMENT & AMENDMENT TO DECS AT 413135 A 5.55 PER INT IN UNIT 4 LOT 161A 1R BLDG LOT 161 D1 OPEN SPACE TRACTS ROS 1A 2C 4B 5A 6A 7A LOT 161A 4 OPEN SPACE TRACTS ROS 1B 2B 3A 4A AND LOT 161A R3 OPEN SPACE TRACT ROS 5B COMMON ELEMENTS, Town of Mountain Village (the “Property”); and

**WHEREAS**, these Owner has, through its Applicant and Agent, John Horn (the “Applicant”), requested a Variance to CDC Section 17.5.16.B.4 as the Coonskin Ridge View Plane Exhibit limits Unit 12, in its proposed location to 20 feet in building height for a majority of the building and 35 feet to a small portion of the building; and

**WHEREAS**, the Applicant submitted a Class 4, Variance Process application;

**WHEREAS**, the Applicant also requested that the Variance application include an allowance for the building to be constructed up to 35 feet plus five (5) feet for chimneys, flues, vents and similar structures.

**WHEREAS**, the Applicant filed the application can be for a Variance to the specific CDC code section understanding any action taken by the Town with respect to the variance does not in any way amend the Town and County Settlement Agreement nor limit the Town’s right to consider other provisions of the CDC as it relates to any future application regarding the Property;

**WHEREAS**, the Design Review Board and Town Council considered this application jointly, along with evidence and testimony, at a special public meeting on December 16, 2021.

**Now, Therefore, Be It Resolved** that the Town Council hereby approves the Variance for Unit 12, Lot 161A-4, The Ridge at Telluride, A Planned Unit Community, and authorizes the Mayor to sign the Resolution subject to the following findings and conditions:

- 1) The application meets the Variance criteria found at CDC Section 17.4.16.D.1 a-h
- 2) The Applicant demonstrated that the proposed development [request] substantially comply with the variance review criteria pursuant to CDC Section 17.4.16.D.2
- 3) The Variance is based upon the specific relocated building envelope represented in this application which location for Lot 12 and will not further be relocated.


And the following conditions:

- 1) The Variance application allows for a building up to 35 feet plus 5 feet for chimneys, flues, vents and similar structures but otherwise subject to the design and heights approved by the Design Review Board when applying the regulations of the CDC, inclusive of design regulations.
- 2) Consistent with the Ridge Covenants, building height allows for a maximum height, per the applicant's request, of 35 feet plus 5 feet for chimneys, flues and similar structures, for a maximum height calculation from finished grade with no average height requirement. The maximum height is measured from the lowest finished grade located directly below the highest point of the structure.
- 3) The Applicant must demonstrate the associated parking requirements are met consistent with the 161CR and Ridge Settlement Agreement when a Class 3 design review application is submitted to the Town.
- 4) The Applicant must submit a condominium map amendment for the relocation of the building site prior to issuance of a certificate of occupancy.
- 5) Owners shall indemnify, defend and hold harmless Town, its members, affiliates, officers, directors, partners, employees, and agents from and against all claims, damages, losses and expenses, including but not limited to reasonable attorney's fees, arising out of the approval of the variance granted hereunder.

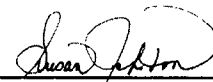
**Be It Further Resolved** that Unit 12, Lot 161A-4, The Ridge at Telluride, A Planned Community may be developed as submitted in accordance with Resolution NO. 2021-\_\_-\_\_, and the variance approved hereunder shall expire eighteen (18 months from the date hereof, on June 16, 2023, unless a building permit is issued in advance of such date or a Renewals Process application extends the approval for an additional six (6) months.

**Approved** by the Town Council at a public meeting December 16, 2021.


**Town of Mountain Village, Town Council**

By:   
Laila Benitez, Mayor

Attest:

By:   
Susan Johnston, Town Clerk

Approved as to form:

By:   
Paul Wisor, Town Attorney

Agreed and Acknowledged:

Jonathan H. And ~~Tiffany L.~~ Horton Living Trust

By: \_\_\_\_\_  
Its: Member

*Tiffany Horton*

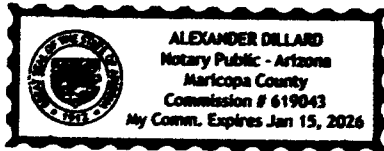
STATE OF COLORADO     )  
  )  
COUNTY OF SAN MIGUEL    )

Signed before me on Jun 24, 2022, by Alex Dillard as Trustee for the  
Jonathan H. And Tiffany L. Horton Living Trust.

Witness my hand and official seal:

*Alex Dillard*  
\_\_\_\_\_  
Notary Public

My commission expires: Jan 15, 2026





**From:** [smorton@mortonarchitects.com](mailto:smorton@mortonarchitects.com)  
**To:** [Claire Perez](#)  
**Subject:** Fwd: Unit 12, Lot 161A-4 The Ridge Condominiums  
**Date:** Tuesday, September 26, 2023 4:44:36 PM

---

FYI below.  
Thanks.

Steve

Sent from my iPhone

Begin forwarded message:

**From:** Kaye Simonson <kayes@sanmiguelcountyco.gov>  
**Date:** September 26, 2023 at 4:31:00 PM MDT  
**To:** smorton@mortonarchitects.com  
**Subject: Re: Unit 12, Lot 161A-4 The Ridge Condominiums**

Steve, as we discussed, provided the plans as submitted to the DRB do not exceed the height as shown in the variance application, we do not see a need for additional story poles. If you have any questions, please let me know. Thank you.

Kaye

On Tue, Sep 19, 2023 at 4:56 PM [smorton@mortonarchitects.com](mailto:smorton@mortonarchitects.com) <[smorton@mortonarchitects.com](mailto:smorton@mortonarchitects.com)> wrote:

Hi Kaye,

We have submitted to the TMV Design Review Board for plans on the above listed property. As you may recall, we went through a lengthy height variance process in September of 2021 for this property to allow for a 35' building height. The process included the installation of three 35'tall story poles with lights on them for a week. The determination was that the property could not be seen from the designated valley floor position near Eider Creek condos.

The current question is..... Does this previous process satisfy the counties needs for story poles on this property during the DRB process with the TMV? Or would the county like us to erect story poles again during the DRB process?

Attached are some of the drawings from the DRB submittal for reference.



## DEVELOPMENT REFERRAL FORM

Planning & Development Services  
Planning Division  
455 Mountain Village Blvd. Ste. A  
Mountain Village, CO 81435  
(970) 728-1392

**Referral Agency Comments Lot  
161A-4 Unit 12, 8 Horseshoe  
Lane:**

TFPD approval with the following conditions:

- 1) The structure shall be in accordance with the 2018 IFC, TFPD Amended Fire Code, and NFPA Standards for a Group R-3 occupancy.
- 2) A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.
- 3) An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.
- 4) Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
- 5) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
- 6) Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.
- 7) A Knox box is recommended at the main entrance on the address side for emergency access.

No issues. Looks good.

Finn

Forester:

The Construction Staging Sheet (A-1.4) needs to show the limits of construction fencing set up outside the dripline of the trees that will be retained. All trees that will be retained on site shall have limits of construction fencing or tree protection fencing set up outside the dripline of every tree that will be retained (CDC 17.6.A.4).

The Site Fire Mitigation Plan (A-1.5) and the Landscaping Plan(s) (A-1.6) need to show a north arrow, scale bar, and a key that indicates which tree and shrub species will be planted on site. Only species that are indicated on both the Colorado Firewise plant list and the native species list according to the CDC 1717.5.9 Landscaping Regulations may be planted in the Fire Zone 1 area. To ensure wildfire safety, no trees or shrubs may be installed directly below windows of the home. A sheet showing tree and shrub planting specifications (in accordance with ANSI A300 standards & ISA Best Management Practices) shall be included. Any landscape planters that are intended to be installed next to the home must be indicated on the plans and shall be specified to have irrigation and shall be specified to contain non-flammable mulch. Irrigation will be required for at least 2 years for all trees to be planted on site to ensure the trees may become established.



**TO:** Mountain Village Design Review Board  
**FROM:** Claire Perez, Planner II  
**FOR:** Design Review Board Public Hearing; November 2, 2023  
**DATE:** October 23, 2023  
**RE:** Staff Memo – Final Architecture Review (FAR) Lot 166AR2-2, 1 Stonegate Drive

APPLICATION OVERVIEW: New Single-family home on Lot 166AR2-2

**PROJECT GEOGRAPHY**

**Legal Description:** LOT 166AR2-2, TELLURIDE MOUNTAIN VILLAGE, ACCORDING TO THE REPLAT OF LOT 166-AR, OSP-51 AND OS-166 TO LOTS 166AR2-1 THRU 166AR2-15, PARCEL A, OSP-51A, OSP-51RB AND OS-166R RECORDED APRIL 4, 2003 IN PLAT BOOK 1 AT PAGE 3116, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

**Address:** 1 Stonegate Dr.

**Applicant/Agent:** Katsia Lord, Vault Home Collection

**Owner:** TWO STONEGATE, LLC

**Zoning:** Single-Family

**Existing Use:** Vacant

**Proposed Use:** Single-Family

**Lot Size:** .206 acres

**Adjacent Land Uses:**

- **North:** Open space
- **South:** Single-family
- **East:** Open Space
- **West:** Single-family



Figure 1: Vicinity Map

**ATTACHMENTS**

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comment

**Case Summary:** Katsia Lord on behalf of Vault Home Collection is requesting Design Review Board (DRB) approval of a Final Architecture Review (FAR) Application for a new

single-family home on Lot 166AR2-2, 1 Stonegate Drive. The Lot is approximately .206 acres and is zoned Single-family. The overall square footage of the home is approximately 6,105 gross square feet and provides 2 interior parking spaces within the proposed garage and two exterior spaces.

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by Italicized Text.***

*Table 1*

<b><u>CDC Provision</u></b>	<b><u>Requirement</u></b>	<b><u>Proposed</u></b>
<b>Maximum Building Height</b>	35' (shed) Maximum	34'-10"
<b>Maximum Avg. Building Height</b>	30' (shed) Maximum	20'- 9"
<b>Maximum Lot Coverage</b>	40% (3,594 s.f.)	39% (3,480 s.f.)
<b>General Easement Setbacks</b>	No encroachment	Multiple encroachments
<b>Roof Pitch</b>		
Primary		flat
Secondary		flat
<b>Exterior Material</b>		
Stone	35%	40.82%
Windows/Doors	40% maximum	24.22%
<b>Parking</b>	2 interior/2 exterior	2/2

**Design Variations:**

- 1) Tandem Parking
- 2) Road and driveways standards - Driveway grade and retaining wall height

**DRB Specific Approval:**

- 1) Metal Fascia
- 2) GE encroachment – Grading and Retaining wall.
- 3) Materials – Shotcrete Concrete Retaining Wall

*Please note, this memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the first Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated August 25, 2023.*

**Chapter 17.3: ZONING AND LAND USE REGULATIONS**

**17.3.12: Building Height Limits**

*Staff: Criteria met.*

**17.3.14: General Easement Setbacks**

Lot 166AR2-2 is burdened by a sixteen (16) sixteen-foot General Easement (GE) on the south side, an (8) eight-foot GE on the west side, no GE on the north side and a variable width GE on the east side. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation.

All encroachments not listed above will require encroachment agreements between the property owner and the Town.

*Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:*

- *Driveway: The Driveway as shown currently takes access from Stonegate Drive and crosses an access tract to the lot. A portion of the drive runs within the General Easement in a southeast direction to the garage.*
- *Landscaping: There is some proposed new planting in the in the east, south and west GE. The landscaping includes some boulders in addition to natural plantings. The address monument is on the west side of the drive in the GE as well.*

*The proposal also includes some GE encroachments requiring specific DRB approval:*

- *There is grading proposed in the eastern GE.*
- *There is an existing boulder retaining wall for Stonegate Drive within the western GE. The applicant is proposing to rebuild this retaining wall and extend it slightly to the north.*
- *The reconstruction of the retaining wall will require below grade soil nailing within the GE and under Stonegate Drive.*
  - *A Road Right of Way Encroachment for soil nailing was approved at the October 20, 2022, Town Council Meeting.*

*In addition to the above GE encroachments, there is an additional encroachment that needs to be addressed:*

- *The driveway has a deeded access across OSP-51RA; however, the access was created at only 12' wide. The driveway as shown is 12' wide with two 2' shoulders. Additionally, because of the steepness of the drive as well as the slope beyond, a guardrail is required which encroaches onto OSP-51RA even further. The applicant will have to work with the owner of OSP-51RA, which is owned by Telluride Ski & Golf, to obtain an easement for these further encroachments.*

*Regardless, a revocable General Encroachment Agreement should be created to capture any encroachments on Town Property approved by the DRB.*

## **Chapter 17.5: DESIGN REGULATIONS**

### **17.5.4: Town Design Theme**

*Staff: Criteria met.*

### **17.5.5: Building Siting Design**

*Staff: Criteria met.*

### **17.5.6: Building Design**

*Staff: Criteria met.*

### **17.5.7: Grading and Drainage Design**

*Staff: Lot 166AR2-2 slopes very steeply down to the east, with the lower side of the lot ending at an open space parcel just before San Joaquin Rd. The applicant has proposed some grading on the eastern side of the property within the GE. If DRB finds this grading appropriate than a specific approval should be granted.*

*The applicant has revised the materiality of the retaining wall, initially proposed to be clad with sheet metal, the proposal now is a stamped shotcrete finish. The applicant has included examples of the proposed rock pattern stamped shotcrete wall within their design narrative. The materiality has also been updated on the material board on sheet A-5.00. Shotcrete concrete requires DRB specific approval. More details on the specific materiality such as pattern and color need to be provided.*

#### **17.5.8: Parking Regulations**

*Staff: The applicant has shown two interior and two exterior parking spaces on their plan. One of the exterior spaces is shown in tandem format. Because the lot is less than .75 acres, tandem parking may be allowed by the review authority. If DRB finds the parking as proposed allowable than a specific approval for tandem parking should be granted.*

#### **17.5.9: Landscaping Regulations**

*Staff: The applicant has not provided a revised landscaping plan. The following comments from the forester remain applicable. Prior to building permit, the landscape plan should be amended per the Town Forester's comments.*

*TMV Forester Comments:*

*The Landscape plan needs to show tree protection fencing (installed at the dripline or beyond) around all trees that are planned for retention within the Limits of Disturbance (construction fencing). The plan needs a note stating, "No backfill, storage, or staging is permitted inside the tree protection areas inside the tree protection fencing". In denoting the trees that will be removed, carefully consider space needed for excavation and construction, the backfill requirements that will be needed around the driveway and retaining walls, and the onsite space that may be needed for soil storage/staging. Tree protection fencing is required by the CDC to be installed at or beyond the crown dripline of each tree that will remain (tree protection zone) (CDCL 17.6.1.A.4.f.) The plan needs to state "the Town Forester must be contacted before excavation begins to mark or approve the trees to be removed and to approve the placement of the tree protection fencing. A tree removal permit must be obtained from the Town Forester before tree removal operations may begin." Tree protection fencing must be installed and approved by the town forester before excavation may begin.*

*The landscape plan needs to include a diagram that shows the proper installation of tree and shrubs with the trunk flare just above grade and a note needs to be included stating "all strapping, burlap, and wire basket material must be removed from the root ball of the plant materials during installation (CDC: 17.5.9.C.7). An irrigation plan needs to be specified to water the installed trees and shrubs for at least two years to ensure the landscape materials will become established. Tree planting specifications need to be noted and shall adhere to CDC specifications (CDC: 17.5.9.C.7).*

#### **17.5.11: Utilities**

*Staff: Criteria met.*

#### **17.5.12: Lighting Regulations**

*Staff: A revised lighting plan was provided on sheets E1, E2, and E3. At the direction of the DRB, the applicant reduced the number of fixtures on each floor. Staff believe that the revised number of fixtures are appropriate. The light fixtures proposed are dark sky and CDC compliant.*

### **17.5.13: Sign Regulations**

*Staff: The applicant has provided a revised address monument on sheet A-0.00. The applicant revised the materiality of the address monument to stone veneer that matches the home. The light fixture and numbers are unchanged. The address marker uses materials that match the home, and the indicated heights and lettering meet CDC guidelines.*

## **Chapter 17.6: SUPPLEMENTARY REGULATIONS**

### **17.6.1: Environmental Regulations**

*Staff: Fire Mitigation and Forestry Management: The applicant has submitted a fire mitigation plan that seems to meet the Forestry provisions of the CDC. The applicant shall work with the Town Forester on site to identify trees for removal in Zone 2 in order to maintain the 10' crown to crown spacing required by the CDC.*

### **17.6.6: Roads and Driveway Standards**

*Staff: The driveway appears to meet the width of 12' plus 2' shoulders, however there are some encroachment issues with OSP-51RA which were discussed previously.*

*The entrance from Stonegate to the drive does not appear to meet the angle of approach per the CDC as currently shown at an almost 8% grade. According to the CDC, "The maximum roadway grade shall not exceed five percent (5%) for the first twenty feet (20') from the edge of the public roadway or access tract. The fire Marshal's comments were that if the drive cannot be redesigned to have an approach of 5% or less than a sign shall be posted at the top of drive indicating "NO FIRE APPARATUS ACCESS." This can be approved by DRB by granting a design variation to road and driveway standards. The driveway is steep at 11.79% however transitional sections less than 12% are allowable by code.*

*There is a parking area to the north of the home created by a large retaining wall. At 12.5' this retaining wall does not meet the regulations of 17.6.6 in regard to retaining wall heights.*

*If the DRB finds either or both of these variations appropriate than a design variation should be granted for road and driveway standards.*

### **17.6.8: Solid Fuel Burning Device Regulations**

*Staff: There are no solid fuel burning devices indicated on the plans.*

## **Chapter 17.7: BUILDING REGULATIONS**

### **17.7.19: Construction Mitigation**

*Staff: The applicant has not updated the construction mitigation plan since the previous DRB hearing. The following comments from the previous memo dated August 25, 2023, remain applicable. A construction mitigation plan was submitted, that includes dumpster, food waste disposal cart, and a port a potty all located within the access tract to the lot. It also includes a construction trailer that appears to be located on the adjacent OSP-51RA. Permissions from the landowner would have to be obtained for this construction trailer placement. The materials staging area is shown on the east (downhill) side of the lot. This site seems appropriate if the applicant has an access agreement with the owners of OS 166R to utilize that lot for access, otherwise staff believes this placement would be difficult to access from Stonegate drive due to the steep nature of the lot. There is construction fencing indicated surrounding the site, however no silt fencing or wattles are indicated for stormwater mitigation. This steep site will surely require additional mitigation. There are*

*existing trees shown to be kept within the construction fencing, appropriate tree protection measure should be demonstrated. There is no parking indicated on the CMP. Prior to building permit, the applicant should provide an updated construction mitigation plan addressing all of these concerns.*

**Staff Recommendation:** Staff recommends the DRB approve the Final Architecture Review for Lot 166AR2-2, 1 Stonegate Drive, based on the findings and CDC requirements listed in the staff memo of record.

**Staff Note:** *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

**Proposed Motion:**

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architecture Review for a new single-family home located at Lot 166AR2-2, based on the evidence provided within the Staff Report of record dated October 23, 2023, with the following design variations and specific approvals:

Design variations:

- 1) Road and Driveway Standards – Driveway grade and retaining wall height
- 2) Tandem Parking

DRB Specific Approval:

- 1) Metal Fascia
- 2) GE encroachment – Grading and retaining walls.
- 3) Materials – Shotcrete Concrete Retaining Wall

And, with the following conditions:

- 1) Prior to building permit, the applicant shall submit a revised construction mitigation plan addressing the issues of concern in this memo for staff review.
- 2) Prior to building permit, any temporary encroachment agreements of adjacent landowners will be provided to staff. The applicant shall also provide written authorization from the owners of OSP-51RA for additional driveway encroachments and the extension of the driveway retaining wall.
- 3) Prior to building permit the applicant shall work with the Town Forester to mark trees for removal in Zone 2 of the Fire Mitigation Area and obtain all necessary tree removal permits.
- 4) Prior to building permit, the applicant shall amend the landscape plan per the Town Forester's comments.
- 5) Prior to issuance of a building permit the final engineered drawings of the retaining wall and associated soil nails under Stonegate Drive need to be reviewed and approved by Town staff or Town Engineers
- 6) Prior to issuance of a certificate of occupancy the owner shall enter into a licensing agreement for the subterranean soil nails with the Town.
- 7) A general easement encroachment agreement with the Town will be executed prior to issuance of a certificate of occupancy for any encroachments approved by the DRB.
- 8) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.



- 9) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 10) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 11) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and
  - e. Any other approved exterior materials
- 12) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 13) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted in 2023.
- 14) Applicant must meet the following conditions of the fire marshal:
  - a. A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.
  - b. An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.
  - c. Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
  - d. Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
  - e. Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.
  - f. Knox box is recommended at the main entrance on the address side for emergency access.

/cp



## Table of Contents

- Design Narrative
- Survey with Trees
- Design Documents
- 3D Viewer Link
- Construction Mitigation

**SINGLE FAMILY RESIDENCE  
DESIGN NARRATIVE  
166AR2-2 | MOUNTAIN VILLAGE, CO**

**October 16, 2023**

## **INTRODUCTION**

This submittal is for a single-family residence proposed on Lot 166AR-2. We are re-submitting on behalf of the owner Two Stonegate, LLC. The architecture and massing were previously approved in September 2021, and resubmitted after entitlement expired. Preliminary DRB approved us with conditions on September 7, 2023.

We responded to comments in this submittal and included a list of items addressed below.

## **VARIATIONS (PER PREVIOUS APPROVAL)**

17.5.6(E)(3) Metal fascia

17.3.14(F) General Easement Encroachment

17.5.6(E)(7)(b) Rock look stamped and colored shotcrete

17.5.8(A)(2) Tandem Parking

Tandem parking is proposed on the site which is less than .75 acres.

## **PROPOSED REVISION TO 2021 DRB APPROVAL**

- Column configuration
- Glazing percentage 3% reduction

## **PROPOSED REVISION TO SEPTEMBER 7, 2023 APPROVAL**

- Photometrics – In response to DRB comments, we reduced exterior light fixture quantity and adjusted locations.
- Monument Sign – We removed the board formed concrete and substituted stone that matches the house.

## **DRB SPECIFIC APPROVALS SEPTEMBER 7, 2023**

- 1) Revised lighting plan is included.
- 2) The owner has not hired a general contractor which is the responsible party for construction mitigation plans. They will work with the town to resolve the concerns for the construction mitigation and can submit a plan prior to permit after they've secured entitlement and engineered drawings. We are seeking assistance with this condition because the general contractor is typically hired post entitlement.
- 3) Tree survey is included.
- 15) We have included engineering drawings from previous approval with a revision noting the proposed stamped concrete finish. We have also included images of shotcrete stamped concrete finish in similar mountain communities in Colorado.
- 16) Board form concrete has been removed from the monument sign and we are proposing stone that matches the stone on the house as the finish.

SINGLE FAMILY RESIDENCE  
DESIGN NARRATIVE  
166AR2-2 | MOUNTAIN VILLAGE, CO

**OVERVIEW**

The existing steep slope of Lot 166AR-2 grading proposed is the same as previously approved in 2021 and remains what we believe is the best solution for a challenging site. It has an existing retaining wall that continues to show signs of failure as shown in the images below.

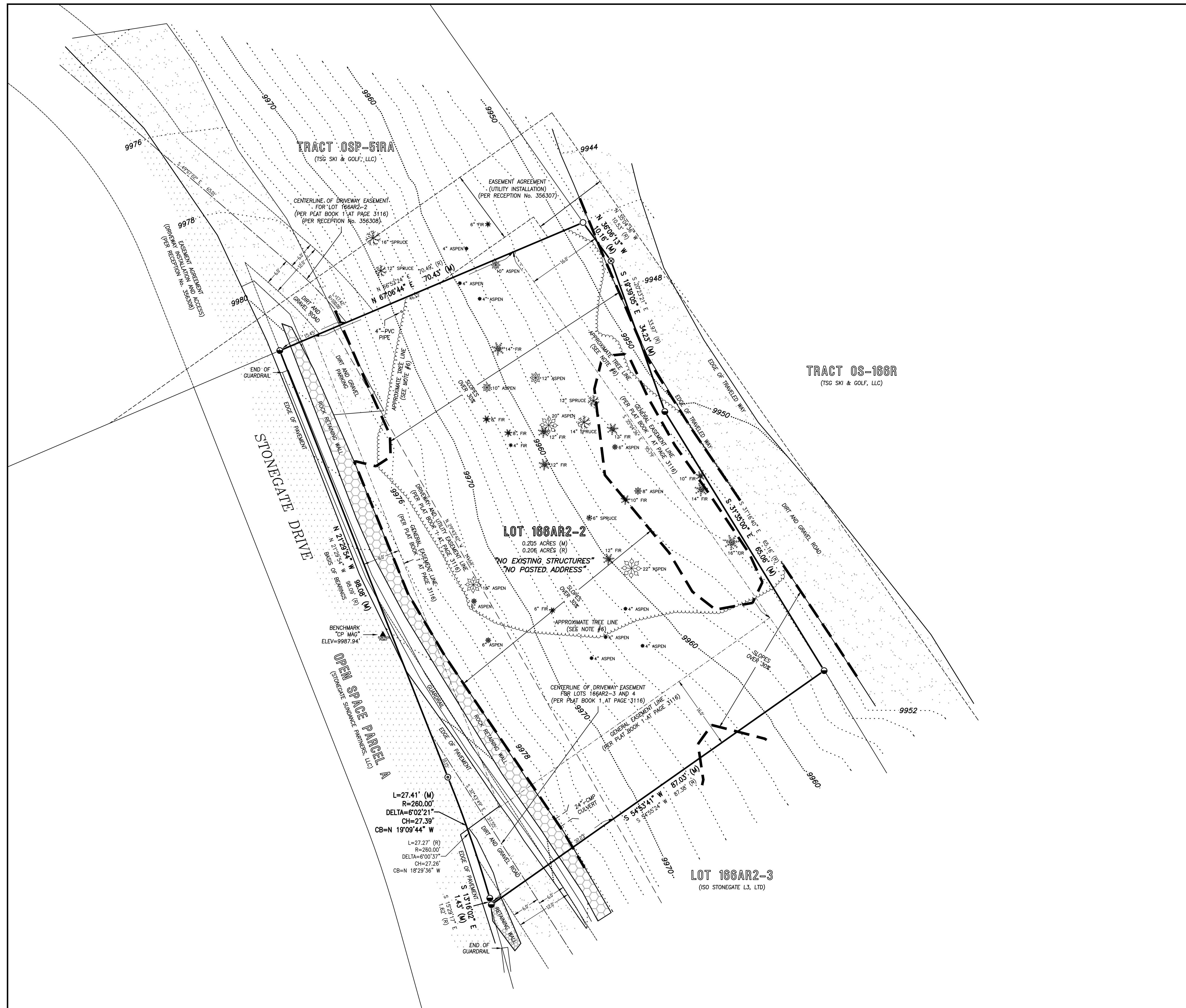


The previous approval demonstrated how the retaining wall would be rebuilt which is also delineated on the soil nail drawings and calculations. Construction of the single-family adjacency to the retaining wall reconstruction within a confined and steeply sloped site was a concern. Keeping the house separate from the retaining wall is still considered to be the best solution.

Examples of proposed rock pattern stamped shotcrete wall:

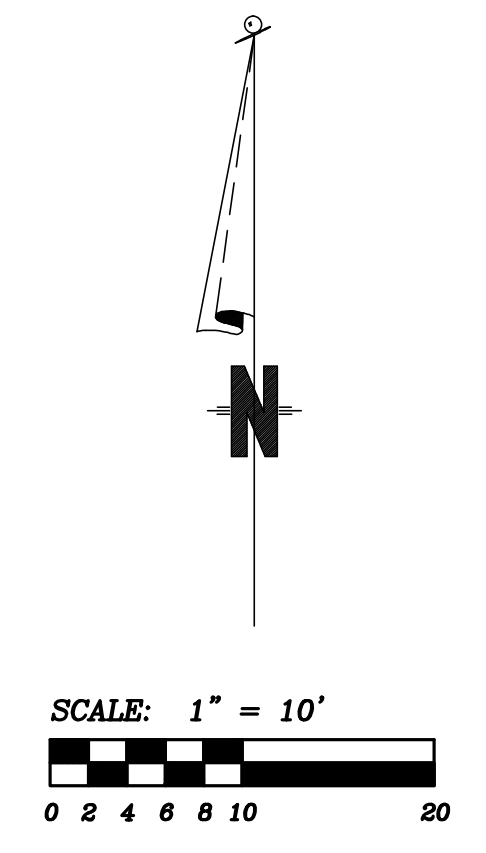


Thank You,  
Katsia Lord, RA, LEED AP



**LEGEND**

- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 36577
- ⊙ FOUND 3/4" BRASS TAG, L.S. 36577
- ⊕ FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, ILLEGIBLE
- FOUND 5/8" REBAR, NO CAP
- ⊗ 9977.94' SPOT ELEVATION (TYPICAL)
- (M) MEASURED DIMENSIONS ACCORDING TO THIS SURVEY
- (R) RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 3116



This Existing Conditions Plan of Lot 166AR2-2, Town of Mountain Village, was prepared on July 09, 2021, and updated on August 14, 2023, under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 107-107, C.R.S.



P.L.S. NO. 37970 Date

**LEGAL DESCRIPTION:**

LOT 166AR2-2, TELLURIDE MOUNTAIN VILLAGE, ACCORDING TO THE REPLAT OF LOT 166-AR, OSP-51 AND OS-166 TO LOTS 166AR2-1 THRU 166AR2-15, PARCEL A, OSP-51A, OSP-51RB AND OS-166R RECORDED APRIL 4, 2003 IN PLAT BOOK 1 AT PAGE 3116,  
COUNTY OF SAN MIGUEL, STATE OF COLORADO.

- NOTES:**
- Easement research and legal description from Land Title Guarantee Company, Order No. TLR86010377-5, dated September 15, 2020 at 5:00 P.M.
  - According to FEMA Flood Insurance Rate Map 08113C0287-D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
  - BASIS OF BEARINGS:** The bearing between found monuments along the Northwestern boundary of Lot 166AR2-2, as shown hereon, assumed to be the record bearing of N 21°29'54" W according to Plat Book 1 at page 3116.
  - Benchmark: Control Point "CP MAG", as shown hereon, with an elevation of 9987.94 feet.
  - Contour interval is two feet.
  - Only trees 3" or greater in diameter are shown hereon.
  - Slopes 30% or greater are shown hereon.
  - Foley Associates, Inc. is not aware of any underground utilities located on this lot, but utility locates were not performed as part of this survey. Utility locates should be performed by respective providers before any construction.
  - Foley Associates, Inc. is not aware of any wetland areas located on this lot, but a wetland delineation was not performed as part of this survey.
  - NOTICE:** According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

**EXISTING CONDITIONS PLAN**  
Lot 166AR2-2, Town of Mountain Village,  
located within the SE 1/4 of Section 3, T.42N., R.9W., N.M.P.M., County of San Miguel, State of Colorado.

Project Mgr:	JH
Technician:	MC
Checked by:	
Start date:	08/14/2023

**FOLEY ASSOCIATES, INC.**  
ENGINEERING · PLANNING · SURVEYING

970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

# FINAL DRB SUBMITTAL

## PRESENTED BY VAULT DESIGN GROUP

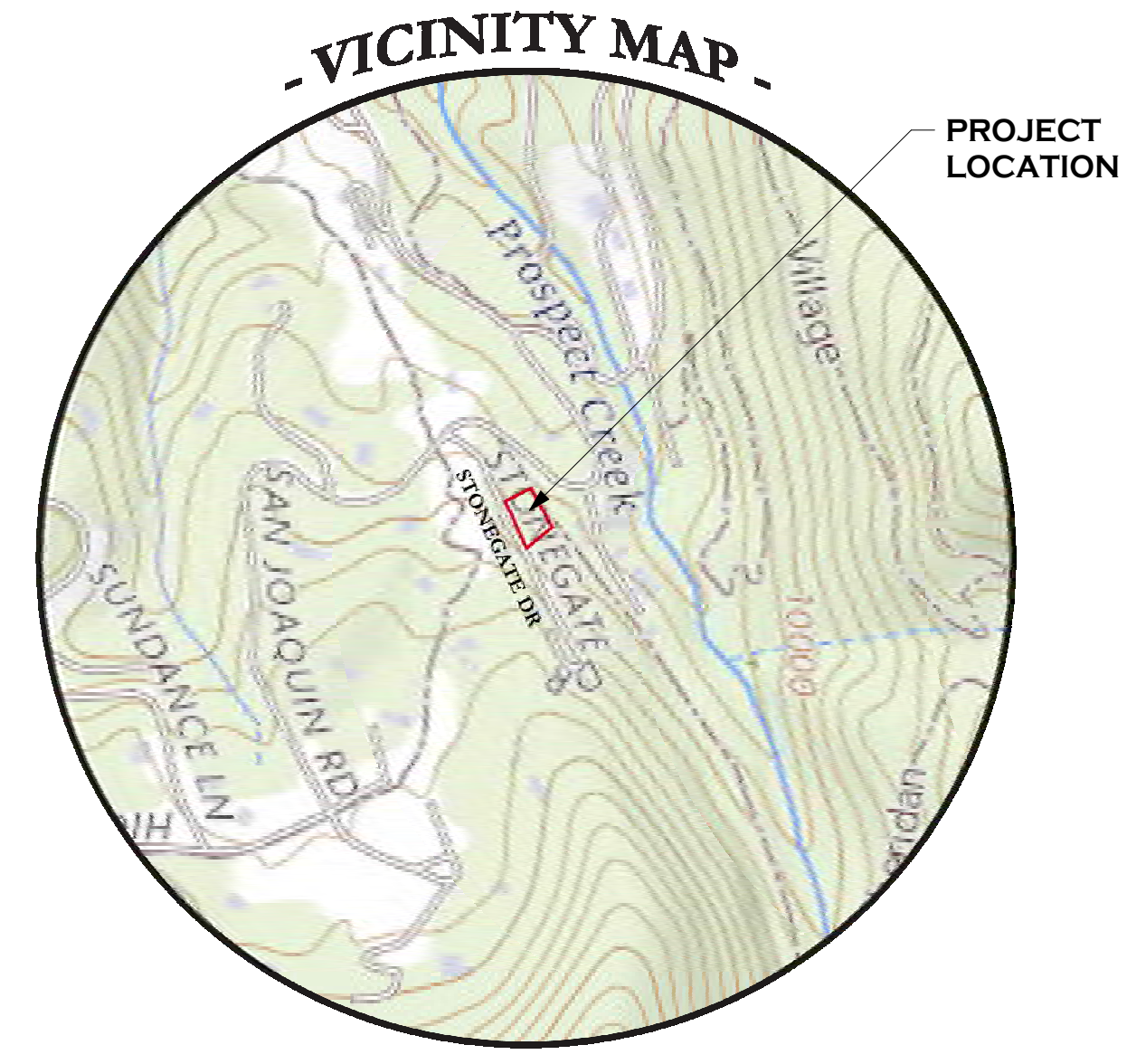
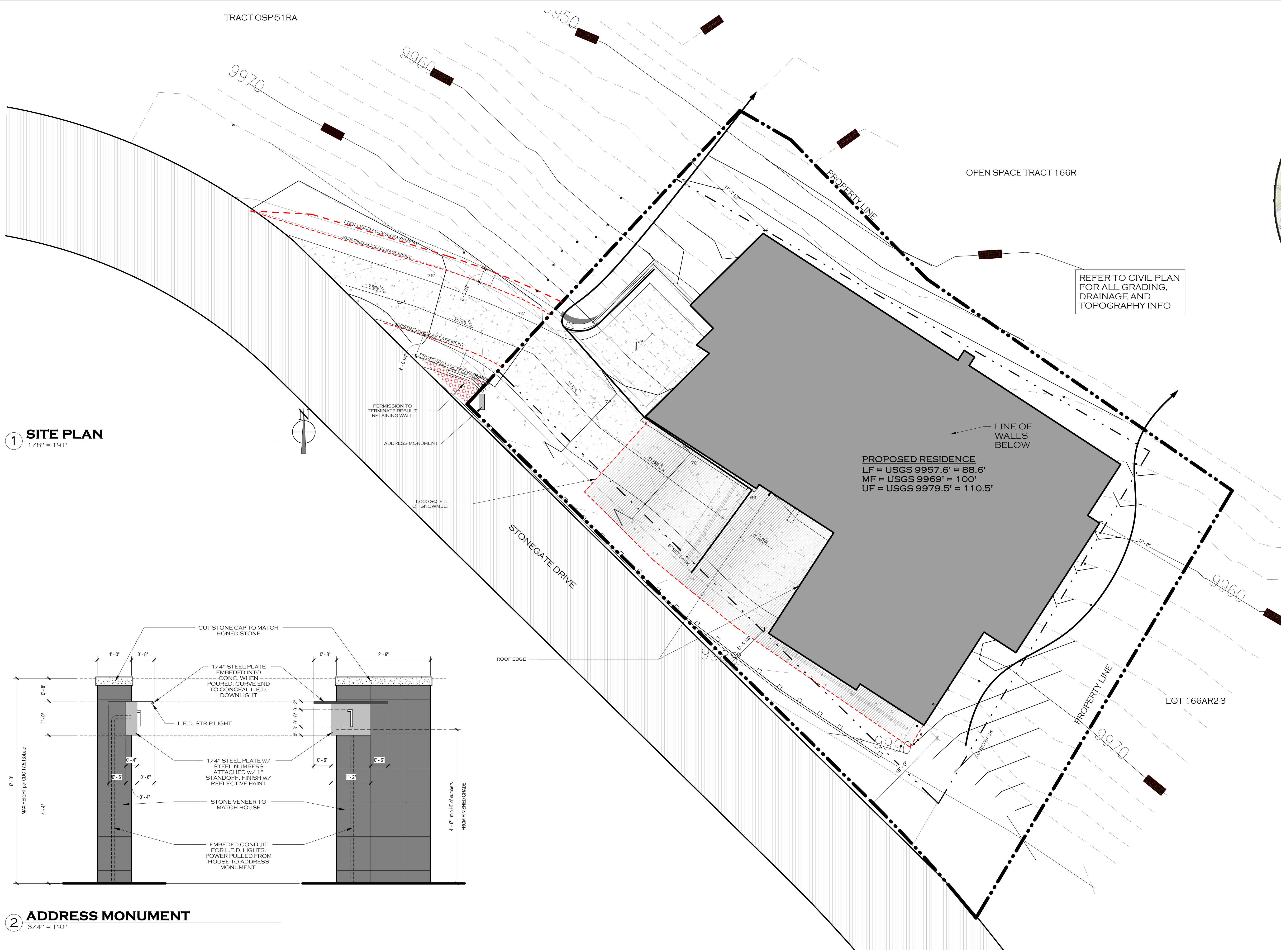


# ONE STONEGATE

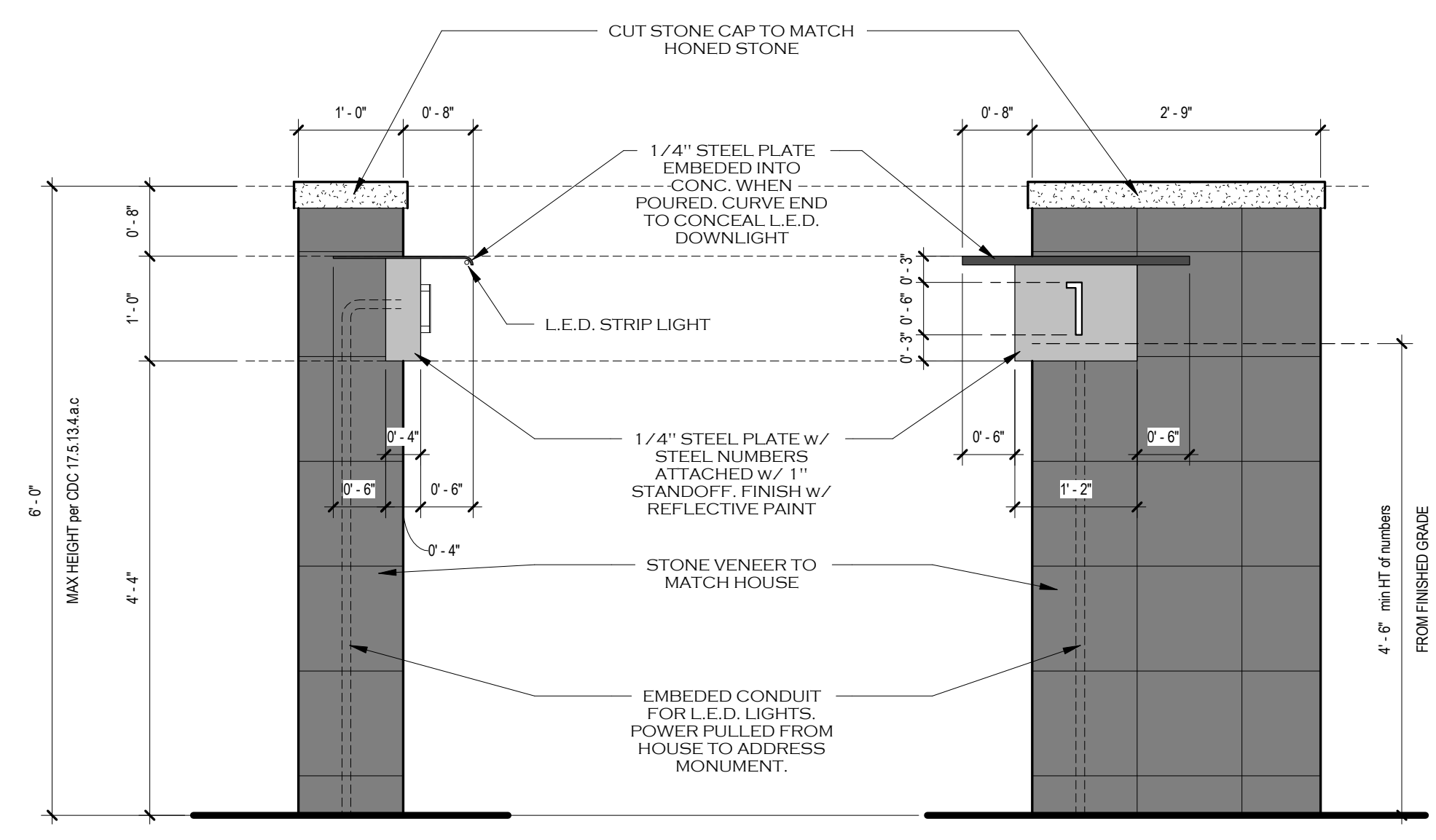
## 1 STONEGATE DR, MOUNTAIN VILLAGE, CO 81435

### SHEET INDEX

SHEET NUMBER	SHEET NAME	DRB SUBMITTAL 23.07.28	FINAL DRB SUBMITTAL 23.10.16
<b>01-GENERAL</b>			
G0.00	COVERSHEET	X	X
<b>02-CIVIL</b>			
C1	CIVIL ENGINEERING GENERAL NOTES	X	X
C2.1	CIVIL ENGINEERING SITE PLAN WITH DRIVEWAY PROFILE	X	X
C3	UTILITIES	X	X
<b>03-LANDSCAPE</b>			
L1	LANDSCAPE DESIGN	X	X
<b>05-ARCHITECTURAL</b>			
A0.P1	PERSPECTIVE RENDERINGS		X
A0.P2	PERSPECTIVE RENDERINGS		X
A0.00	ARCHITECTURAL SITE PLAN	X	X
A0.03	PARALLEL PLANE ANALYSIS	X	X
A0.04	HEIGHT LIMIT ANALYSIS	X	X
A1.00	LOWER FLOOR PLAN	X	X
A1.02	MAIN FLOOR PLAN	X	X
A1.03	UPPER FLOOR PLAN	X	X
A1.04	ROOF PLAN	X	X
A2.00	ELEVATIONS	X	X
A5.00	EXTERIOR MATERIAL CALCS	X	X
<b>06-ELECTRICAL</b>			
E1	LOWER FLOOR PHOTOMETRIC	X	X
E2	MAIN FLOOR PHOTOMETRIC	X	X
E3	UPPER FLOOR PHOTOMETRIC	X	X



1 SITE PLAN  
1/8" = 1'-0"



2 ADDRESS MONUMENT  
3/4" = 1'-0"

REFER TO CIVIL PLAN FOR ALL GRADING, DRAINAGE AND TOPOGRAPHY INFO

SITE PLAN LEGEND	
	NEW STRUCTURE
	NEW CONCRETE DRIVEWAY
	EXISTING ROAD
	PROPERTY LINE
	SETBACKS LINE
	EASEMENTS LINE

PROJECT DATA	
<b>LOT INFORMATION</b>	LOT 166AR2-2
• LOT NAME	SINGLE FAMILY RESIDENTIAL
• ZONING	100% = .206 ACRES = 8,985 SF
• LOT SIZE	40% = .083 ACRES = 3,594 SF
• MAX LOT COVERAGE	39% = .080 ACRES = 3,480 SF
• LOT COVERAGE	
<b>BUILDING INFORMATION</b>	2.0 STORY W/ WALKOUT BASEMENT
• DESCRIPTION	35'
• MAX BUILDING HEIGHT ALLOWED	34'-10"+/-
• MAX BUILDING HEIGHT	30'
• AVG HEIGHT ALLOWED	29'-9"+/-
• AVG HEIGHT	
<b>LOT SPECIFIC COVENANT RESTRICTIONS*</b>	
• PARKING SPACES REQ'D	2 ENCLOSED/2 SURFACE
• PARKING SPACES PROVIDED	2 ENCLOSED/2 SURFACE

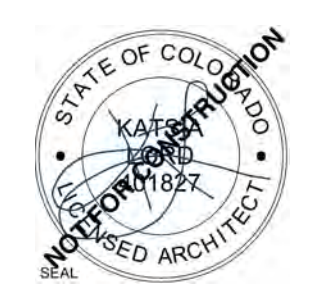
**SITE PLAN NOTE**

CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION OF SEWER STUB-OUT BEFORE FOUNDATION EXCAVATION AND CONSTRUCTION. ARCHITECT MUST BE NOTIFIED IMMEDIATELY IF SEWER LINE FROM HOUSE CANNOT BE TIED INTO SEWER STUB-OUT. ARCHITECT IS NOT RESPONSIBLE FOR ANY COSTS INCURRED, INCLUDING FEES FOR REVISIONS TO SITE PLAN, BASED ON FAILURE OF CONTRACTOR TO PROVIDE TIMELY NOTIFICATION OF SEWER ELEVATION OR LOCATION DISCREPANCIES.

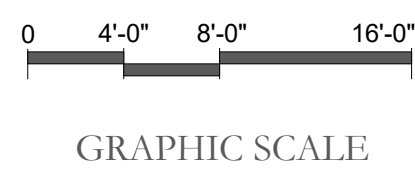
CONTRACTOR SHALL STRIP AND PILE TOP SOIL WITHIN GRADING BOUNDARIES FOR REDISTRIBUTION UPON COMPLETION OF SITE GRADING.

**BUILDER NOTE**

CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR BUILDING THE PROJECT IN ACCORDANCE WITH THE DESIGN INTENT OF THE ARCHITECTURAL CONSTRUCTION DOCUMENTS, AND SHALL HAVE TOTAL CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH ALL BUILDING MATERIALS, SYSTEMS AND COMPONENTS INCLUDING THE STRUCTURAL, ELECTRICAL AND MECHANICAL BUILDING MATERIALS, SYSTEMS AND COMPONENTS NECESSARY FOR THE SAFE, PROPER AND CORRECT COMPLETION OF THIS PROJECT.



ENTITLEMENT



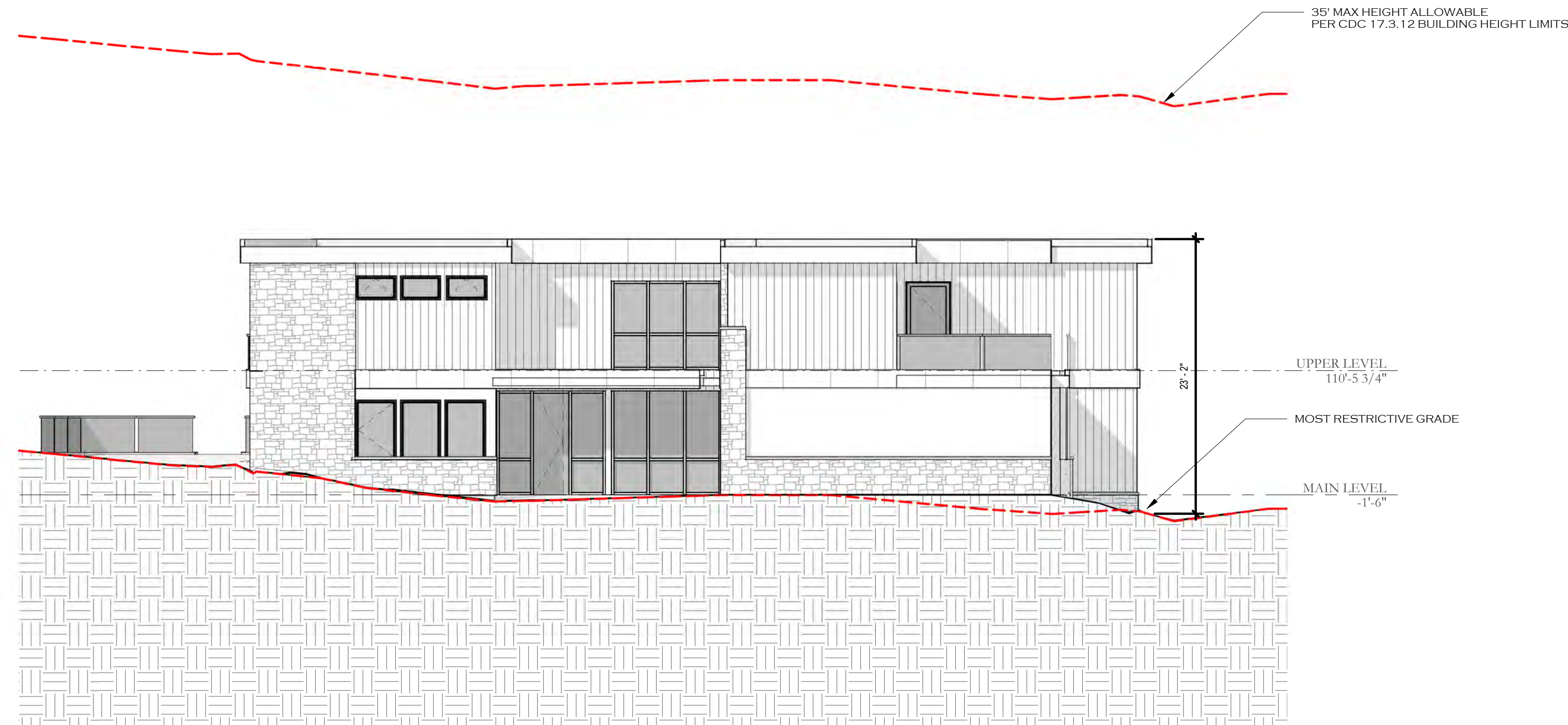
**SINGLE FAMILY RESIDENCE**  
1 STONEGATE DR, MOUNTAIN VILLAGE,  
CO 81435

10/16/23 DRB

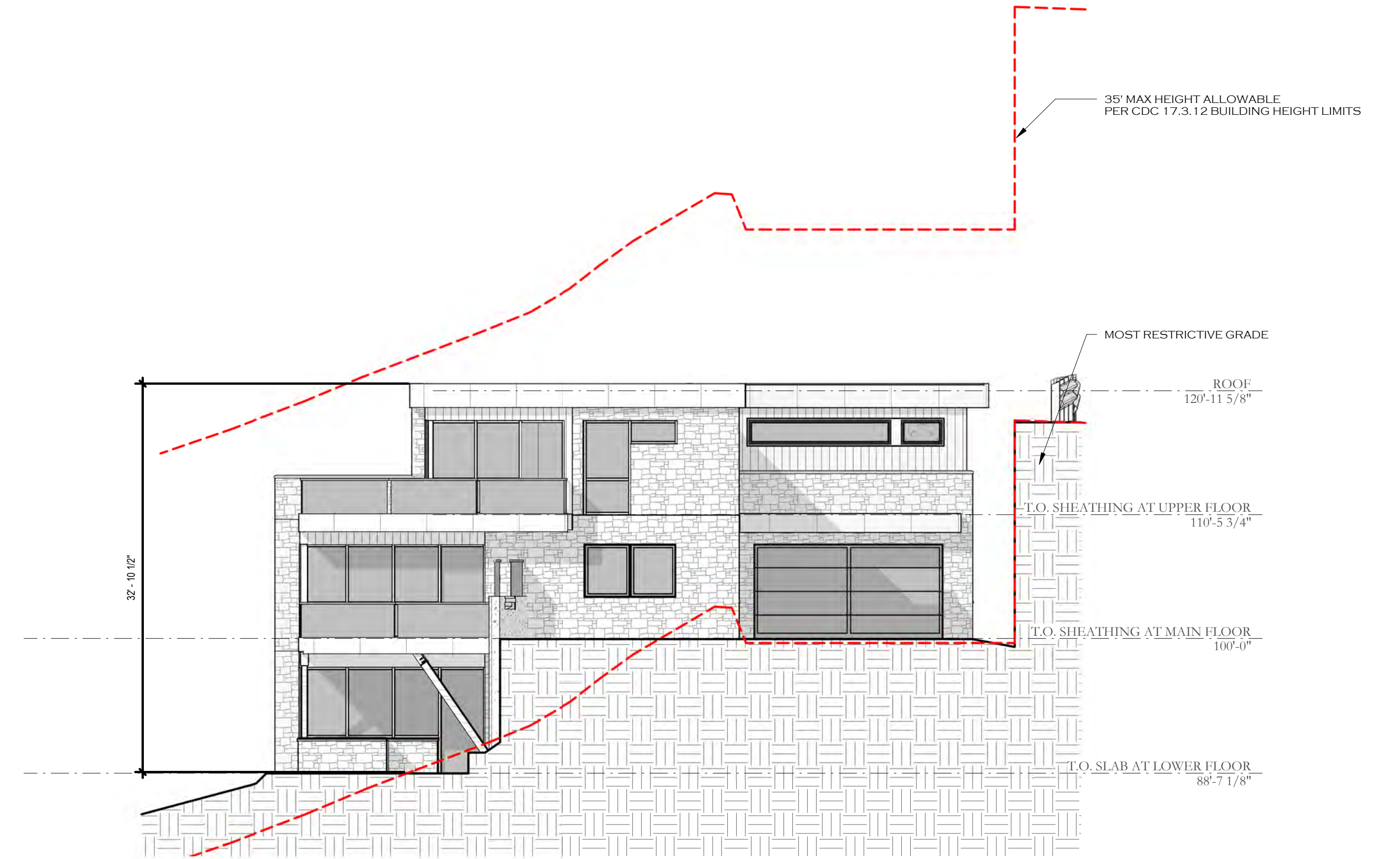
**ARCHITECTURAL SITE PLAN**  
A-0.00



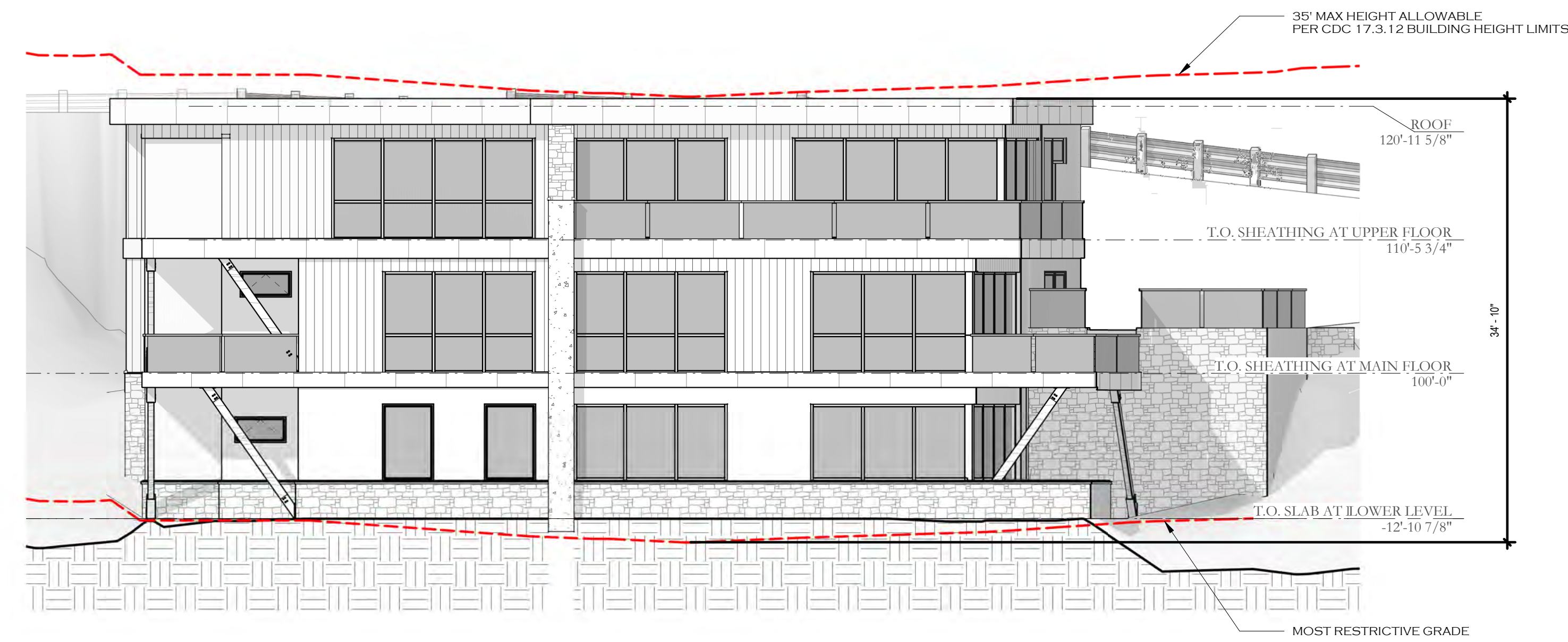
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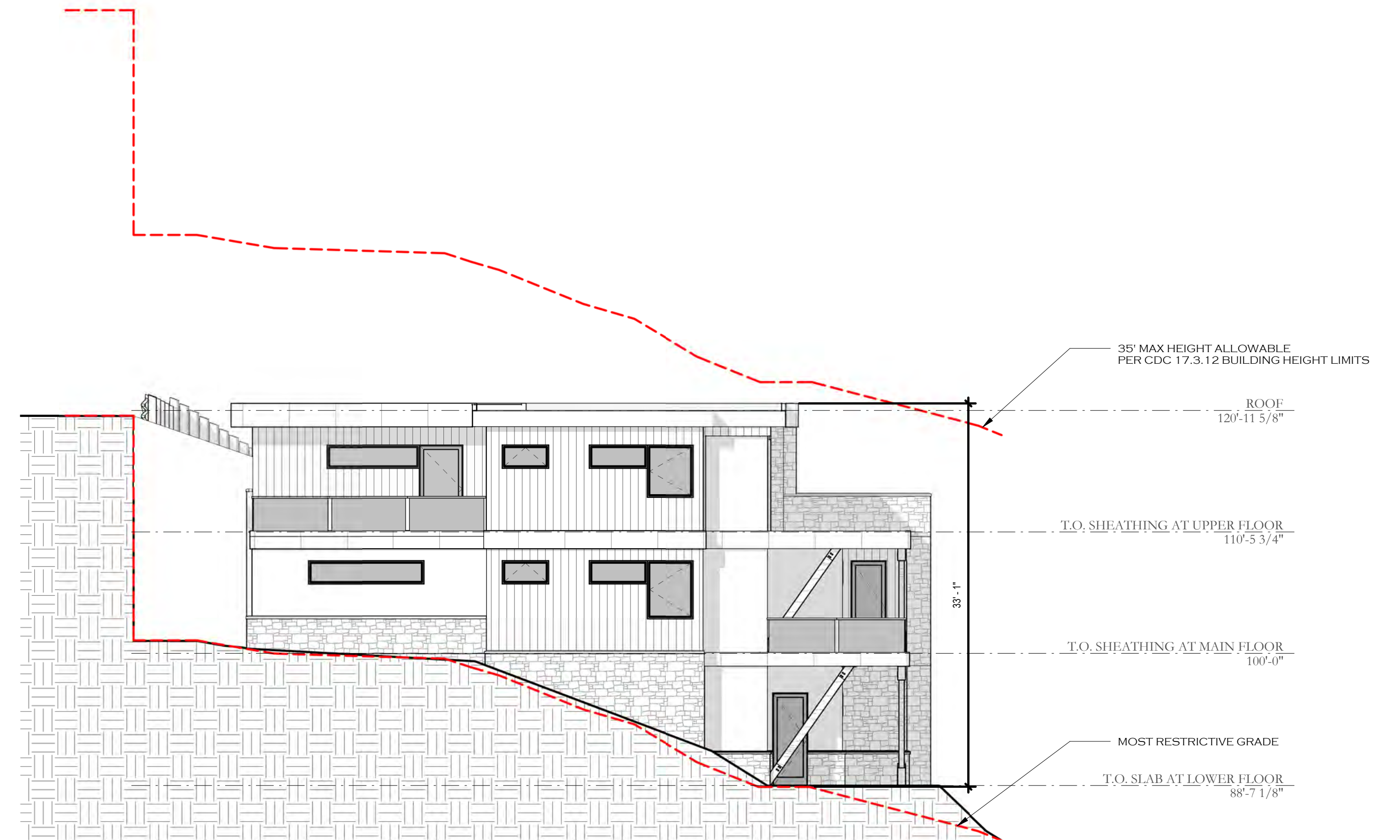
④ **PARALELL PLANE ANALYSIS - SOUTHWEST**  
1/8" = 1'-0"



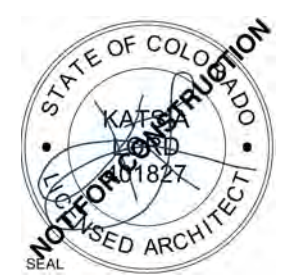
① **PARALELL PLANE ANALYSIS - NORTHWEST**  
1/8" = 1'-0"



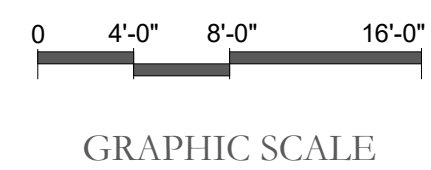
③ **PARALELL PLANE ANALYSIS - NORTHEAST**  
1/8" = 1'-0"



② **PARALELL PLANE ANALYSIS - SOUTHEAST**  
1/8" = 1'-0"



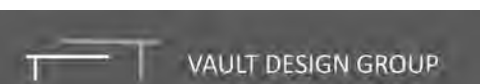
ENTITLEMENT



**SINGLE FAMILY RESIDENCE**  
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10/16/23 DRB

**PARALELL PLANE ANALYSIS**  
A-0.03



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**MAXIMUM AVERAGE HEIGHT**

1. MAXIMUM AVERAGE HEIGHT SHALL BE MEASURED FROM THE FINISHED GRADE TO A POINT ON THE ROOF PLANE MIDWAY BETWEEN THE EAVE AND RIDGE.
2. ON COMPLEX BUILDINGS WITH MULTIPLE HEIGHTS AND/OR BUILDINGS WITH MULTIPLE HEIGHTS ON SLOPING SITES, THE MAXIMUM AVERAGE HEIGHT SHALL BE DETERMINED BY TAKING THE AVERAGE OF HEIGHTS AT EQUAL INTERVALS AROUND THE PERIMETER OF A BUILDING. THOSE INTERVALS SHALL BE NO MORE THAN TWENTY (20) FEET. WHEN MULTIPLE ROOFS OCCUR WITHIN ANY INTERVAL, THE HEIGHT FOR THAT INTERVAL SHALL BE MEASURED FROM THE FINISHED GRADE OR NATURAL GRADE (WHICHEVER IS MOST RESTRICTIVE) TO A POINT ON THE HIGHEST PRIMARY ROOF MIDWAY BETWEEN THE EAVE AND THE RIDGE. FOR PURPOSES OF DETERMINING THE MAXIMUM AVERAGE HEIGHT ON COMPLEX BUILDINGS, A ROOF SHALL HAVE A HORIZONTAL PROJECTION OF AT LEAST TEN (10) FEET. THIS DEFINITION DOES NOT INTEND TO ALLOW STRATEGIES TO CIRCUMVENT THE INTENTION OF THE MAXIMUM AVERAGE HEIGHT LIMITATION THROUGH SUCH RELATIONSHIPS AS HIGHRISE STRUCTURES SURROUNDED BY LOW SECONDARY ROOFS.

**AVERAGE BUILDING HEIGHT CALCULATIONS**

POINT LOCATION	MOST RESTRICTIVE GRADE	HEIGHT ABOVE
P1	9969'-3"	10'-10"
P2	9968'-10"	22'-3"
P3	9970'-1"	21'-0"
P4	9971'-10"	19'-3"
P5	9964'-0"	27'-1"
P6	9957'-1"	26'-0"
P7	9953'-7"	19'-0"
P8	9953'-3"	29'-10"
P9	9953'-4"	30'-2"
P10	9954'-10"	25'-3"
P11	9956'-3"	23'-10"
P12	9959'-6"	31'-7"
P13	9963'-9"	27'-4"
P14	9968'-7"	22'-6"
P15	9968'-1"	22'-6"
P16	9972'-10"	11'-7"
P17	9978'-1"	10'-3"
P18	9979'-9"	21'-7"
P19	9980'-2"	21'-7"
P20	9969'-6"	21'-7"
AVERAGE HEIGHT		22'-3" +/-
MAX AVERAGE HEIGHT ALLOWABLE		30'
COMPLIANT BY		7'-9" +/-

**MEASURING BUILDING HEIGHT**

- BUILDING HEIGHT SHALL BE MEASURED VERTICALLY AT A RIGHT ANGLE TO THE HORIZON LINE FROM ANY POINT ON A PROPOSED OR EXISTING ROOF OR EAVE (INCLUDING BUT NOT LIMITED TO THE ROOFING MEMBRANE) TO THE NATURAL GRADE OR FINISHED GRADE, WHICHEVER IS MORE RESTRICTIVE, LOCATED DIRECTLY BELOW SAID POINT OF THE ROOF OR EAVES.
1. IF THE EXISTING PRE-CONSTRUCTION GRADE HAS BEEN DISTURBED PRIOR TO DEVELOPMENT, THE DIRECTOR OF COMMUNITY DEVELOPMENT MAY ESTABLISH THE NATURAL GRADE.
  2. IF THE PLANNING DIVISION DETERMINES THAT THERE ARE MINOR IRREGULARITIES IN THE NATURAL GRADE, THESE AREAS SHALL NOT BE USED IN DETERMINING COMPLIANCE WITH THE BUILDING HEIGHT LIMITATION SET FORTH HEREIN, AND THE SURROUNDING TYPICAL NATURAL GRADE SHALL BE USED.
  3. WINDOW WELLS AND SIMILAR BUILDING APPURTENANCES INSTALLED BELOW GRADE THAT EXTEND OUT FIVE (5) FEET OR LESS (AS MEASURED FROM THE OUTSIDE OF RETAINING WALL) SHALL NOT BE COUNTED AS THE FINISHED GRADE FOR THE PURPOSES OF CALCULATING BUILDING HEIGHT IF SUCH FEATURES DO NOT ADD TO THE PERCEIVED HEIGHT OF A BUILDING.

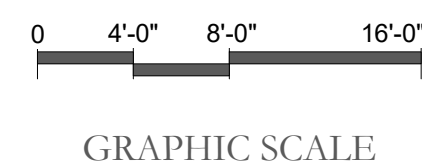
**MAXIMUM BUILDING HEIGHT CALCULATIONS**

SECTION	REPRESENTS THE HIGHEST RIDGE OVER GRADE
RIDGE ELEVATION	9991'-1"
MOST RESTRICTIVE GRADE BELOW	9959'-6"
MAXIMUM BUILDING HEIGHT	34'-10"
MAX BUILDING HEIGHT ALLOWABLE	35'-0"
COMPLIANT BY	0'-2"

**1 HEIGHT LIMIT ANALYSIS**  
1/8" = 1'-0"



ENTITLEMENT



**SINGLE FAMILY RESIDENCE**  
1 STONEGATE DR, MOUNTAIN VILLAGE,  
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10/16/23 DRB

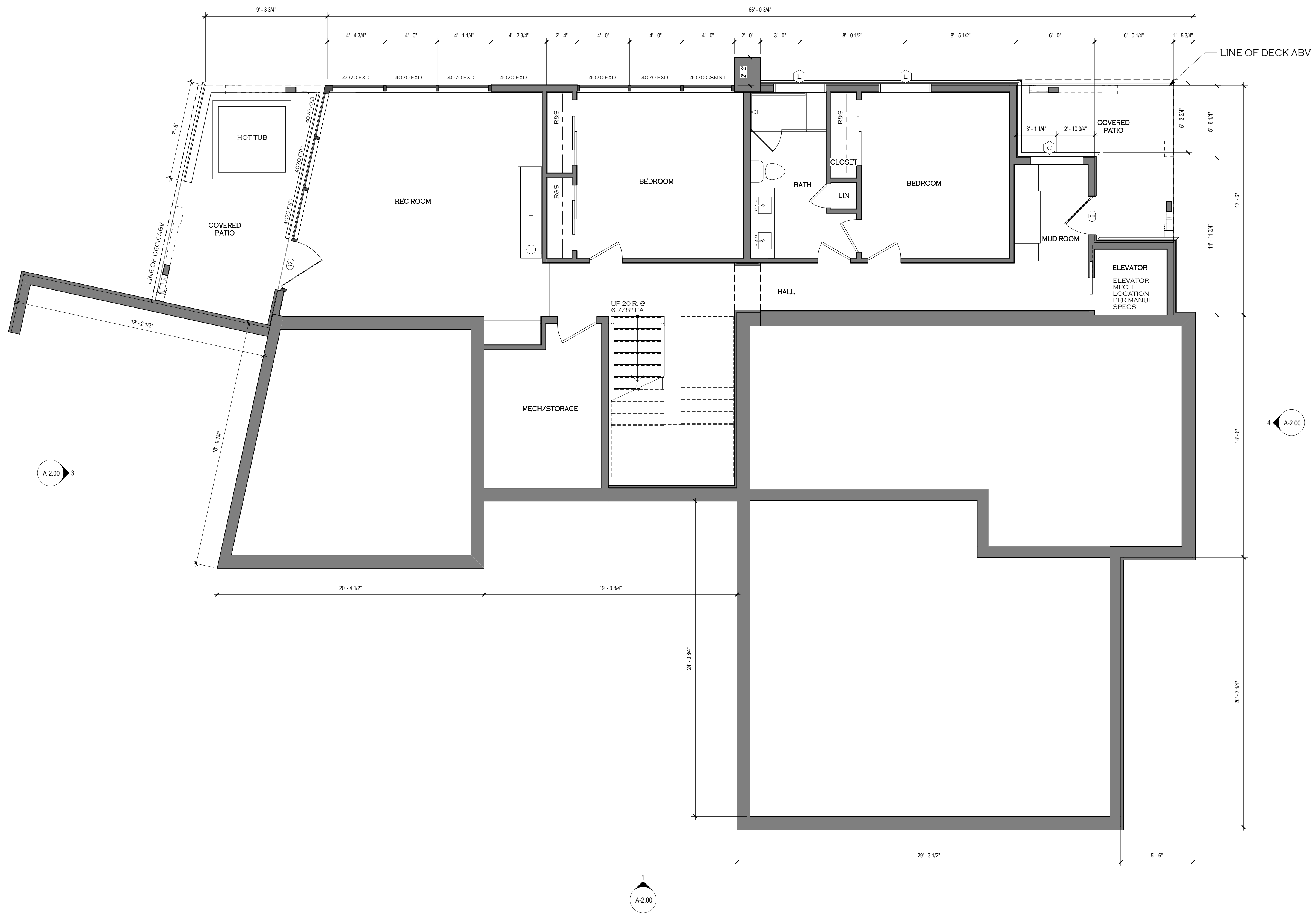
**HEIGHT LIMIT ANALYSIS**  
A-0.04



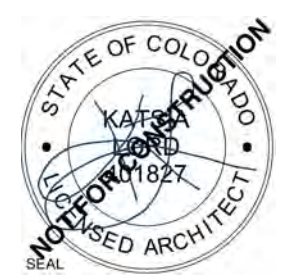
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# DOOR SCHEDULE

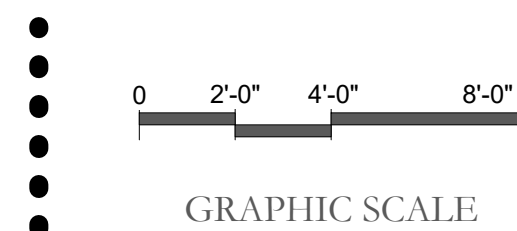
TYPE	WIDTH	HEIGHT
1	16'-0"	8'-0"
3	3'-0"	9'-0"
4	3'-0"	8'-0"
6	3'-0"	8'-0"
7	3'-8 1/4"	8'-0"
10	3'-9"	7'-6"
17	3'-8 1/4"	9'-0"
18	3'-6 5/8"	7'-7"



1 LOWER FLOOR PLAN  
1/4" = 1'-0"



ENTITLEMENT



**SINGLE FAMILY RESIDENCE**  
1 STONEGATE DR, MOUNTAIN VILLAGE,  
CO 81435

10/16/23 DRB

**LOWER FLOOR PLAN**  
A-1.00

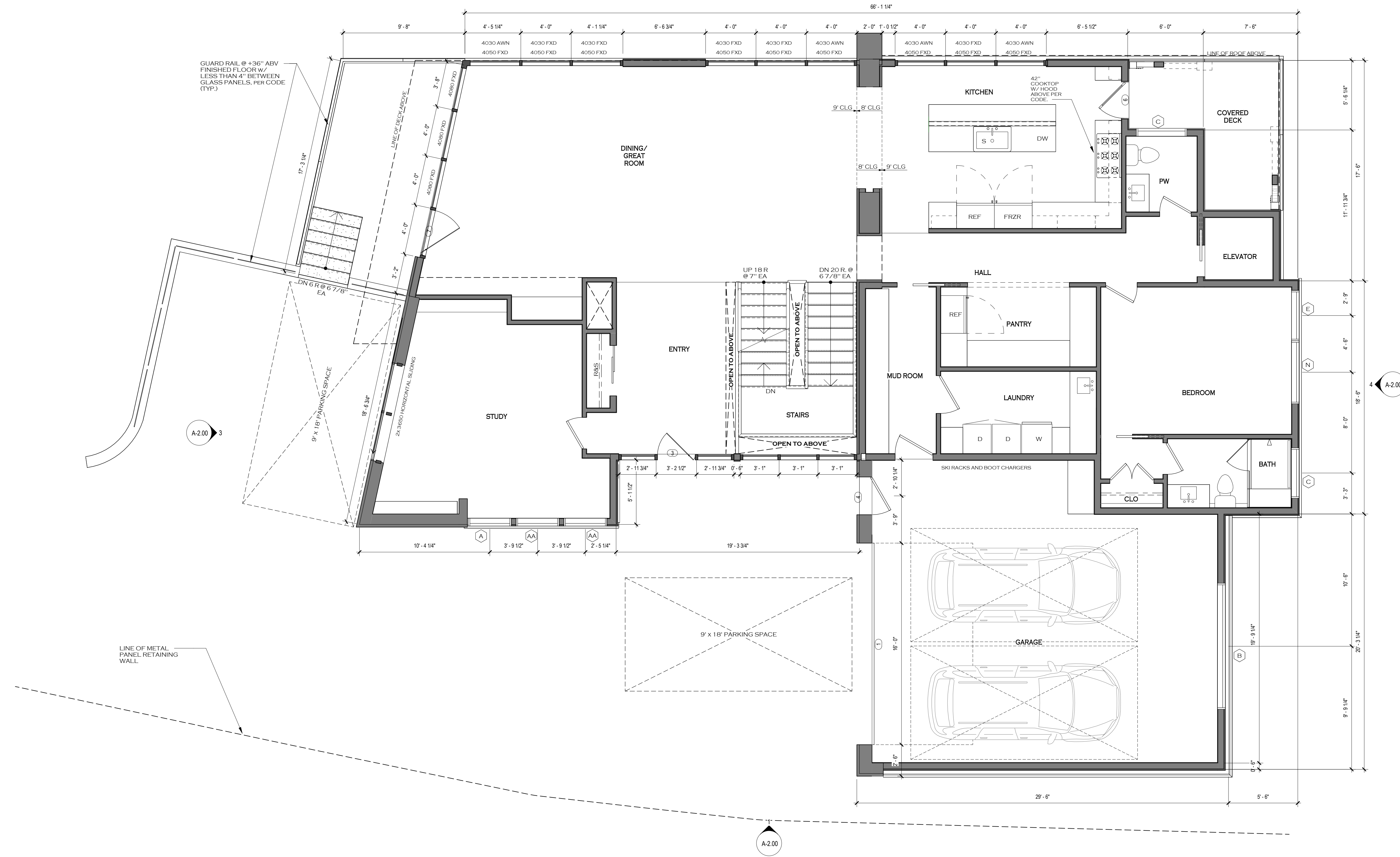


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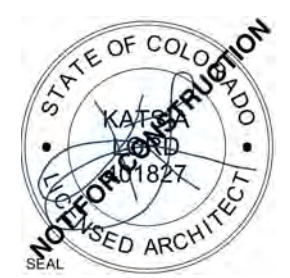
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# DOOR SCHEDULE

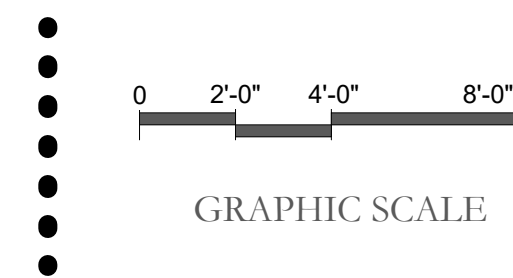
TYPE	WIDTH	HEIGHT
1	16'-0"	8'-0"
3	3'-0"	9'-0"
4	3'-0"	8'-0"
6	3'-0"	8'-0"
7	3'-8 1/4"	8'-0"
10	3'-9"	7'-6"
17	3'-8 1/4"	9'-0"
18	3'-6 5/8"	7'-7"



**1 MAIN FLOOR PLAN**  
1/4" = 1'-0"



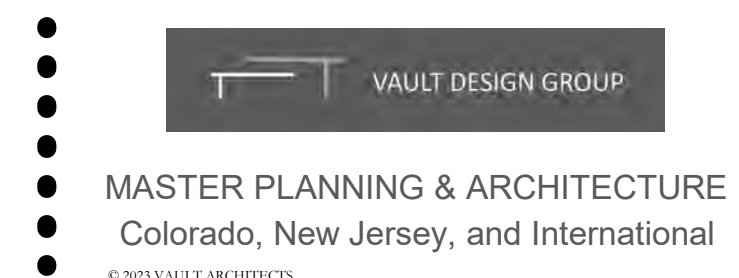
ENTITLEMENT



**SINGLE FAMILY RESIDENCE**  
1 STONEGATE DR, MOUNTAIN VILLAGE,  
CO 81435

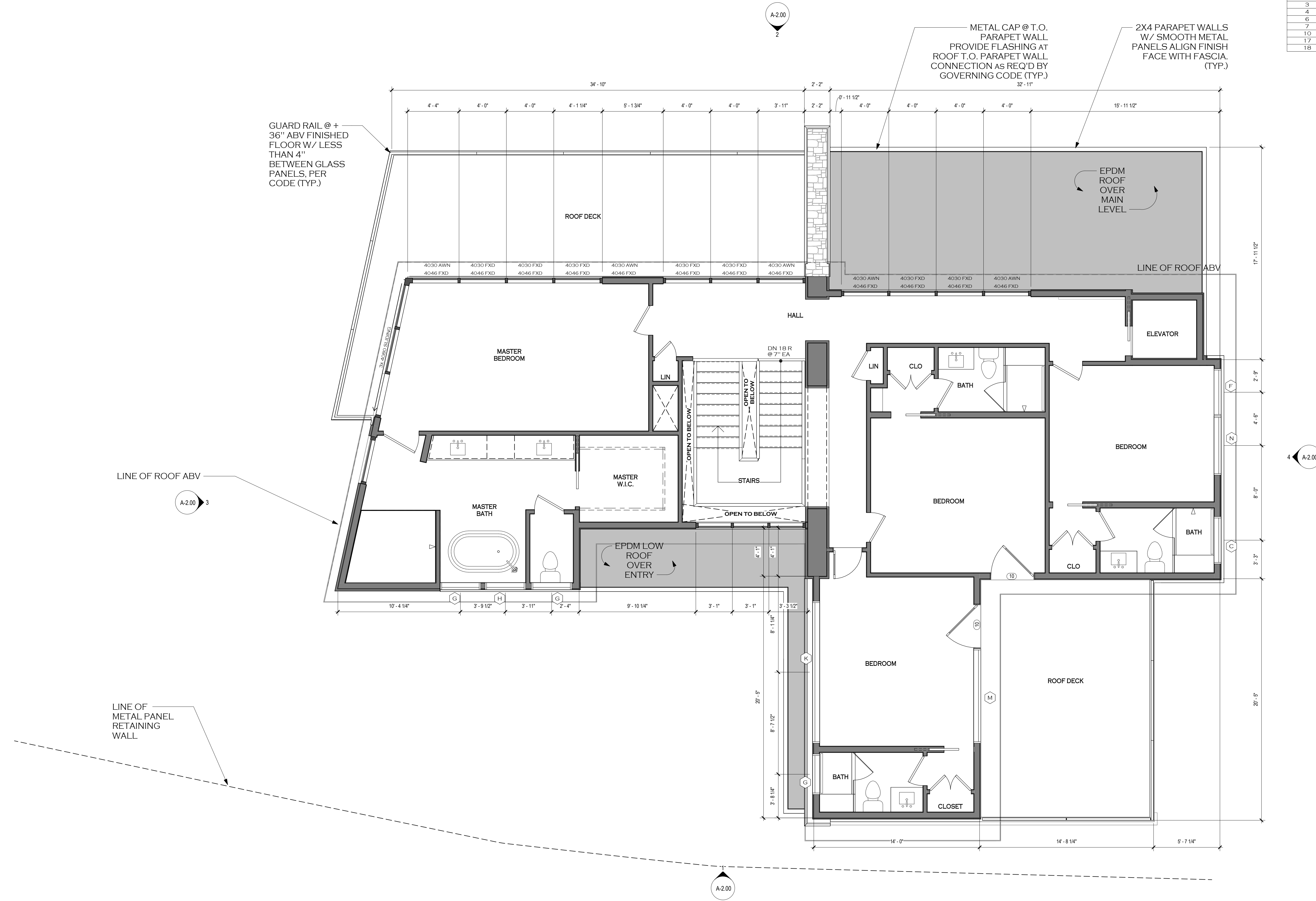
10/16/23 DRB

**MAIN FLOOR PLAN**  
A-1.02

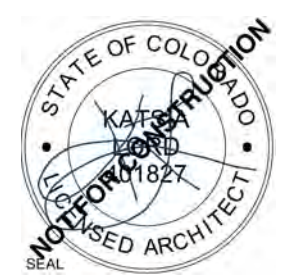


# DOOR SCHEDULE

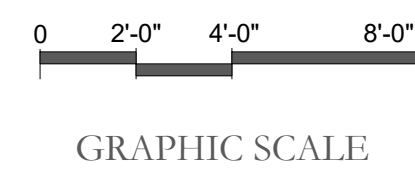
TYPE	WIDTH	HEIGHT
1	16'-0"	8'-0"
3	3'-0"	9'-0"
4	3'-0"	8'-0"
6	3'-0"	8'-0"
7	3'-8 1/4"	8'-0"
10	3'-9"	7'-6"
17	3'-8 1/4"	9'-0"
18	3'-6 5/8"	7'-7"



**1 UPPER FLOOR PLAN**  
1/4" = 1'-0"



ENTITLEMENT



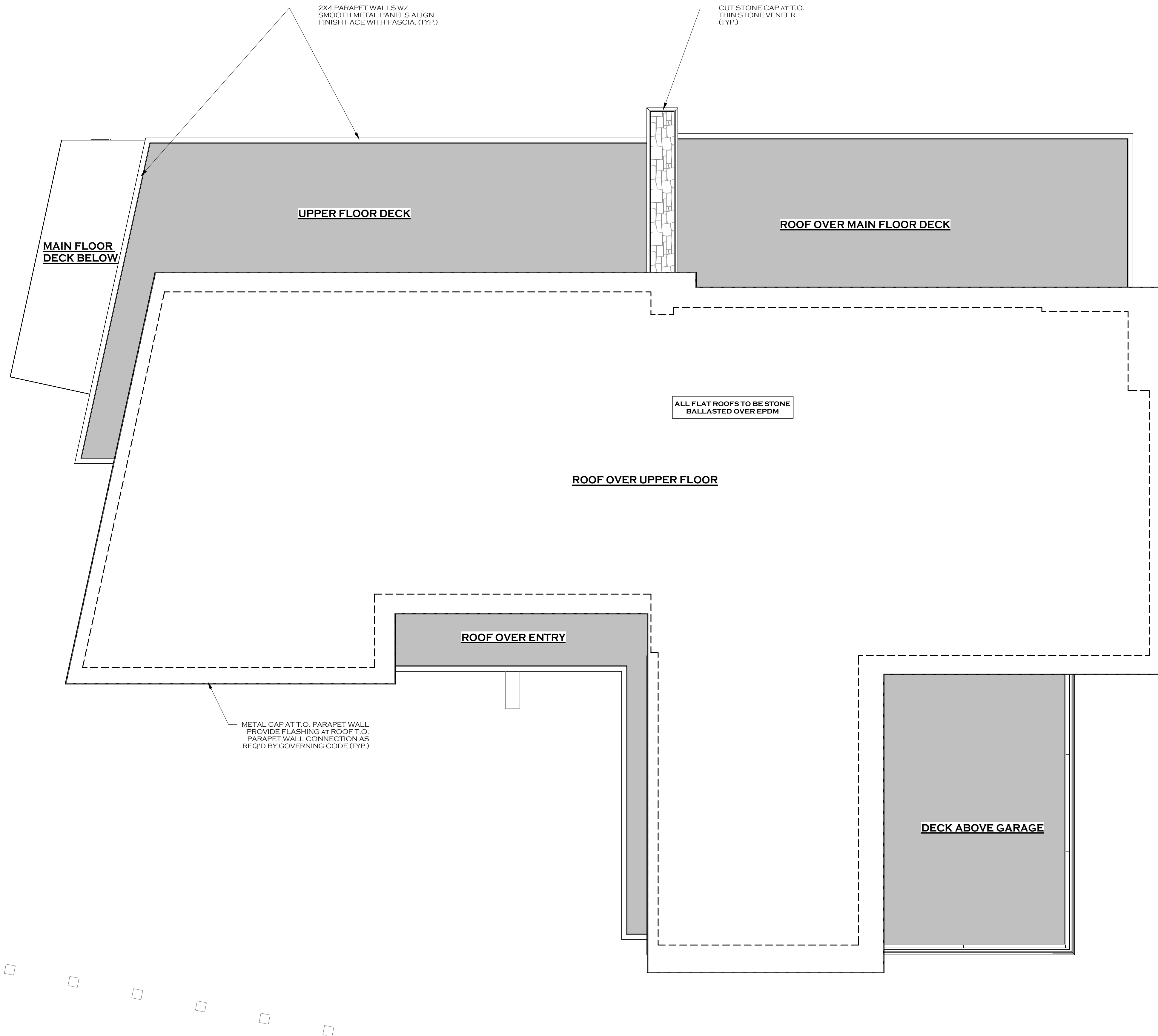
**SINGLE FAMILY RESIDENCE**  
1 STONEGATE DR, MOUNTAIN VILLAGE,  
CO 81435

10/16/23 DRB

**UPPER FLOOR PLAN**  
A-1.03



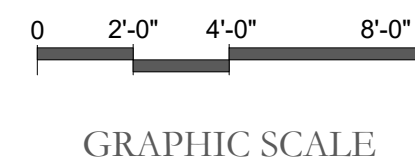
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1 ROOF PLAN  
1/4" = 1'-0"



ENTITLEMENT



**SINGLE FAMILY RESIDENCE**  
1 STONEGATE DR, MOUNTAIN VILLAGE,  
CO 81435

10/16/23 DRB

**ROOF PLAN**  
A-1.04



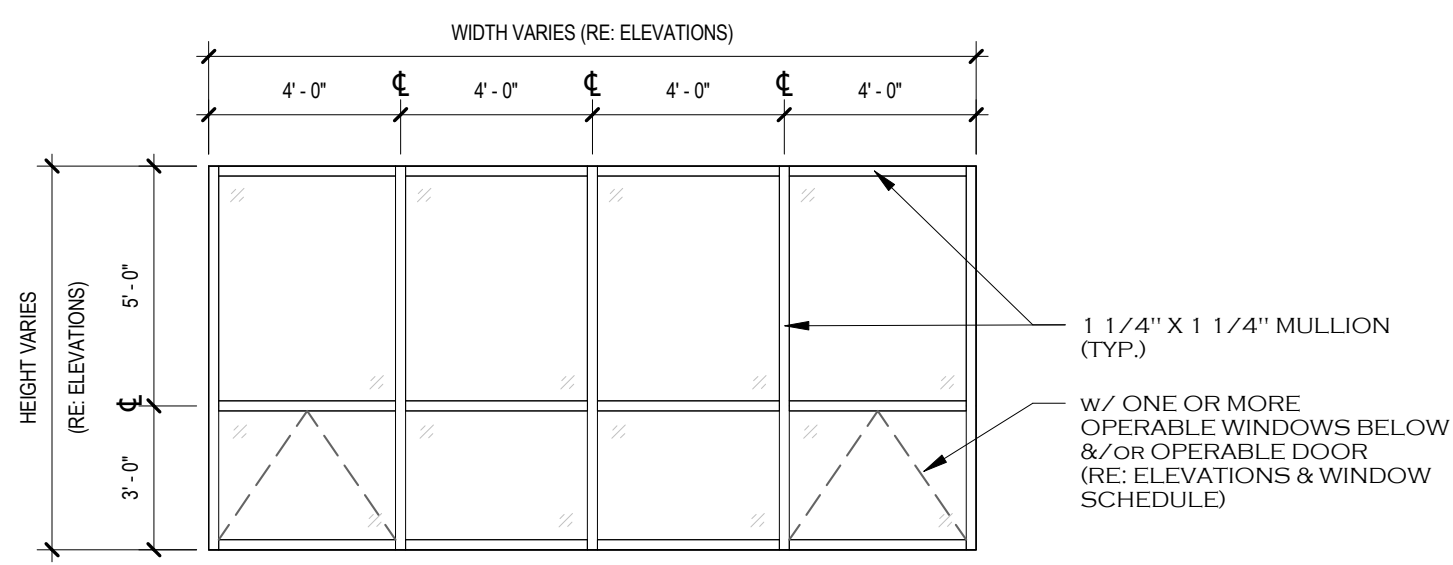
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**GENERAL ELEVATION NOTES**

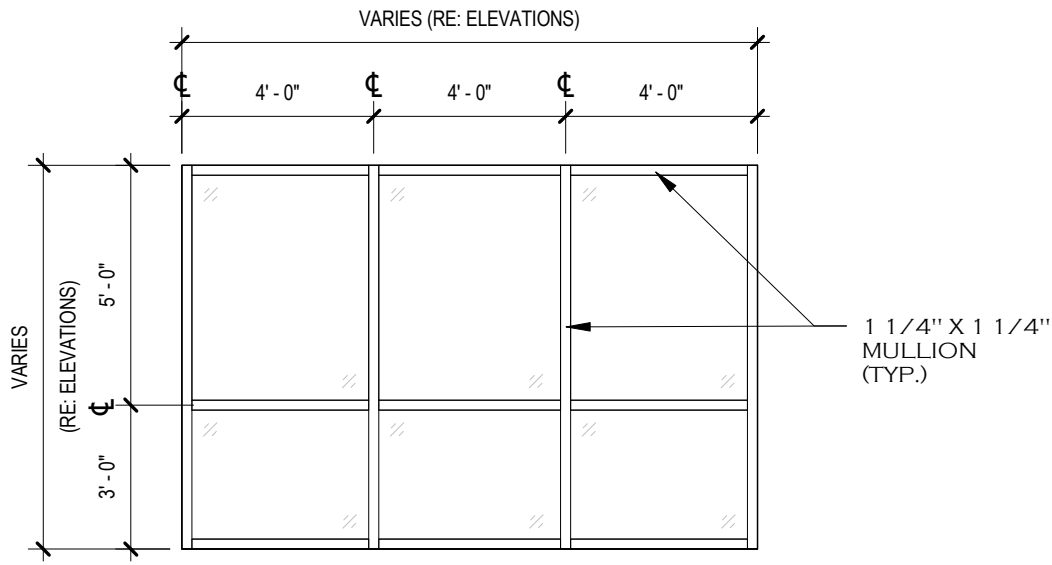
- ROUGH OPENING SCHEDULE REFERS TO OPENING SIZES FOR WINDOW ASSEMBLIES FROM STRUCTURE TO STRUCTURE ELEMENTS. SOME OF THESE OPENINGS CAN BE DETERMINED & MODIFIED BY CLACEMENT OF FRAMED TRIMMERS AND HEADERS. SOME OPENINGS ARE DETERMINED BY MAJOR STRUCTURAL ELEMENTS SUCH AS BEAMS, COLUMNS & PORTAL FRAMES AND CANNOT BE MODIFIED. NON-STRUCTURAL CORNER WINDOWS WILL BE DEPENDANT ON RELATIONSHIP OF CORNER MULLION & CONNECTION TO ADJACENT WALLS PER MANUFACTURER. V.I.F. ALL MEASUREMENTS STOREFRONT SIZING VARIES. MULLIONS EQUALLY SPACES IN ROUGH OPENING WIDTH. CORNER STOREFRONT UNITS TO CONTAIN 5" L SHAPED MULLION. (RE: WINDOW SCHEDULE AND ELEVATIONS FOR ADDITIONAL INFORMATION)

**WINDOW SCHEDULE**

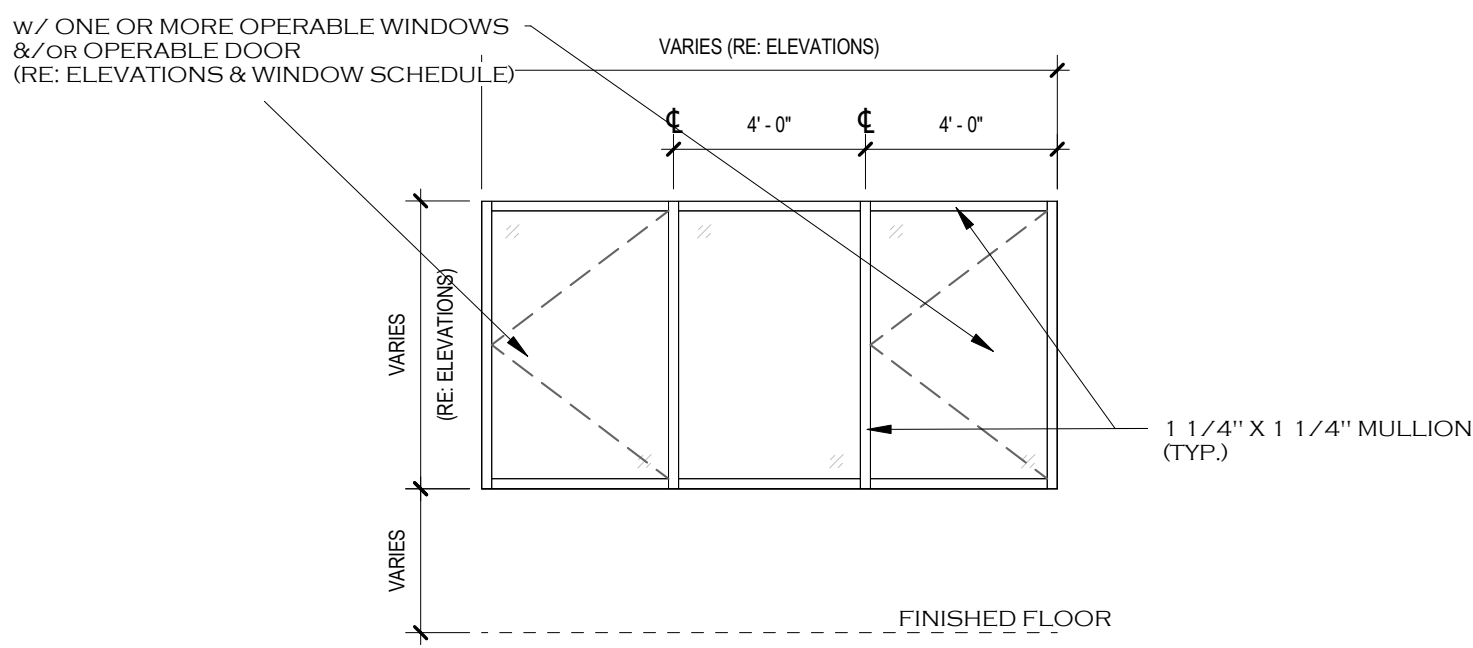
TYPE MARK	OPERABILITY	GENERIC SIZE	
		WIDTH	HEIGHT
A	CSMT	3'-5"	5'-0"
AA	FXD	3'-5"	5'-0"
B	FXD	10'-0"	2'-0"
C	AWN	4'-0"	2'-0"
E	CSMT	4'-0"	5'-0"
F	CSMT	4'-0"	4'-6"
G	AWN	3'-5"	2'-0"
H	FXD	3'-5"	2'-0"
K	FXD	12'-0"	2'-0"
L	FXD	4'-0"	6'-0"
M	FXD	8'-0"	2'-0"
N	FXD	5'-0"	2'-0"
P	AWN/FXD	VARIES	VARIES
Q	FXD	VARIES	VARIES
R	AWN/FXD	VARIES	VARIES
S	AWN/FXD	VARIES	VARIES



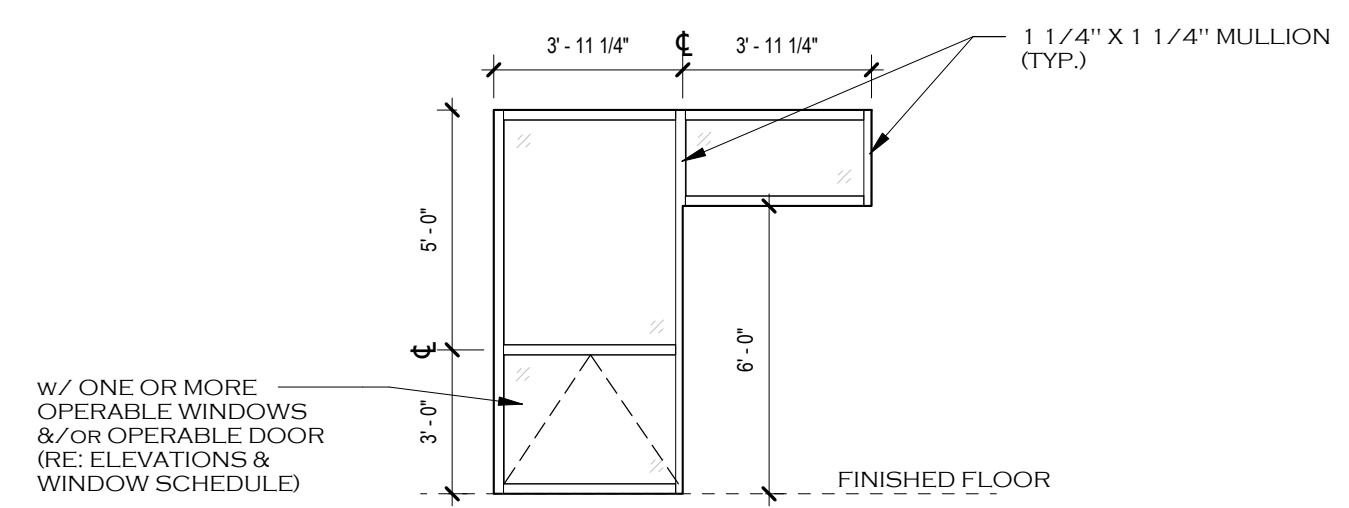
**5 TYPE P WINDOW**  
1/4" = 1'-0"



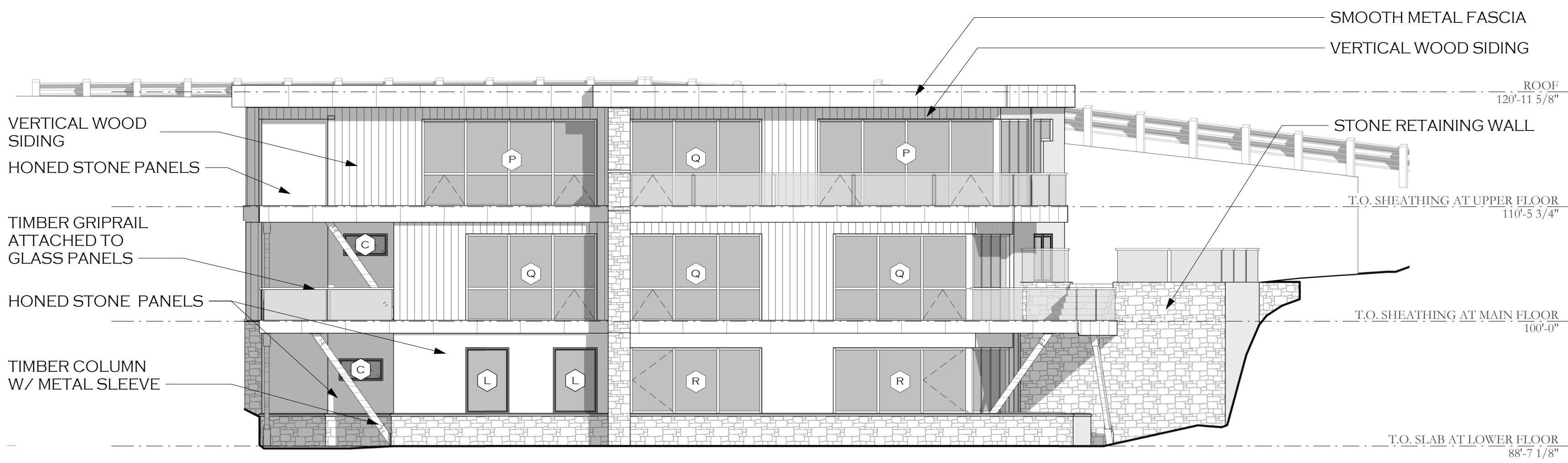
**6 TYPE Q WINDOW**  
1/4" = 1'-0"



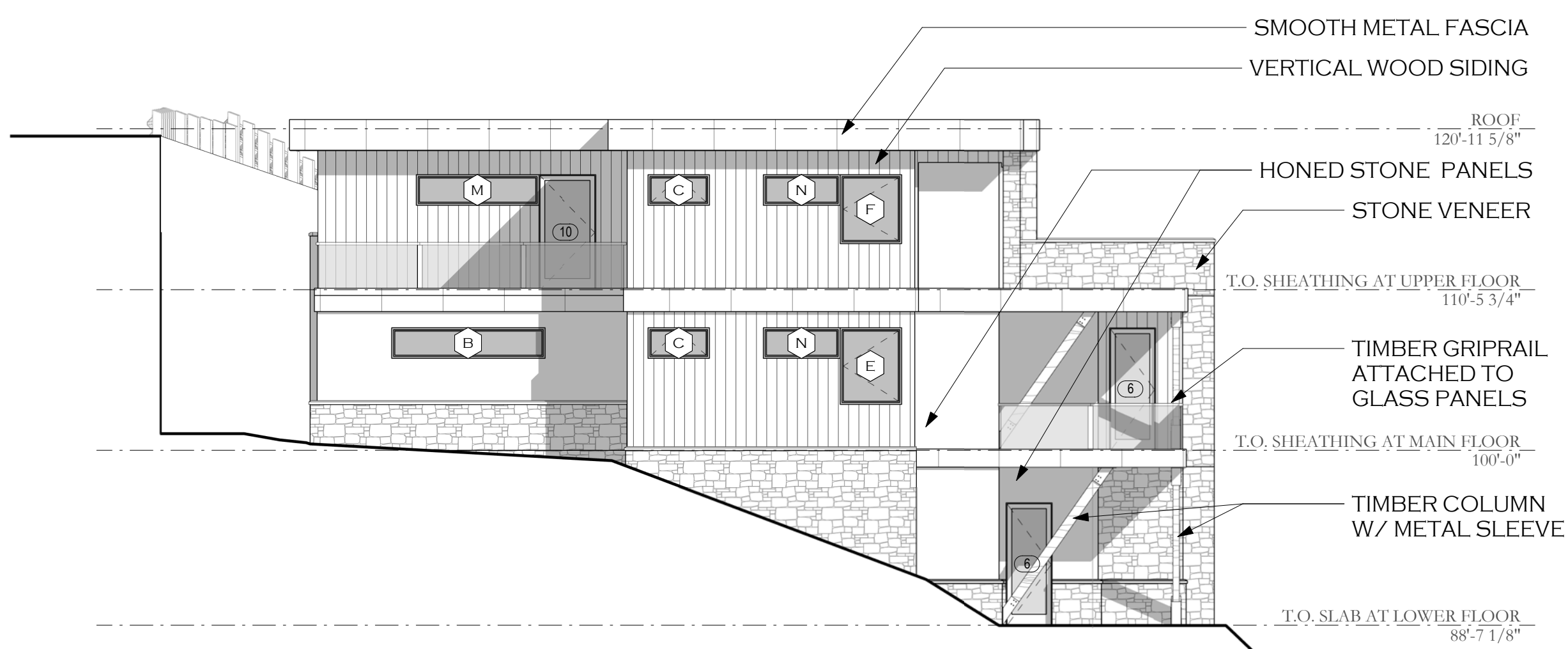
**7 TYPE R WINDOW**  
1/4" = 1'-0"



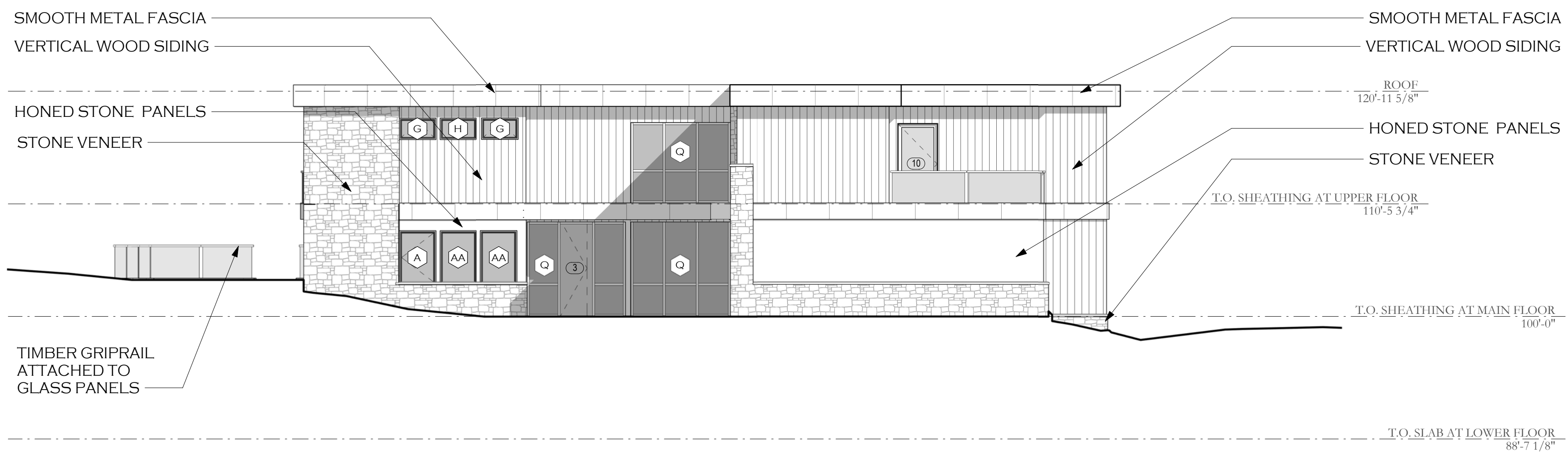
**8 TYPE S WINDOW**  
1/4" = 1'-0"



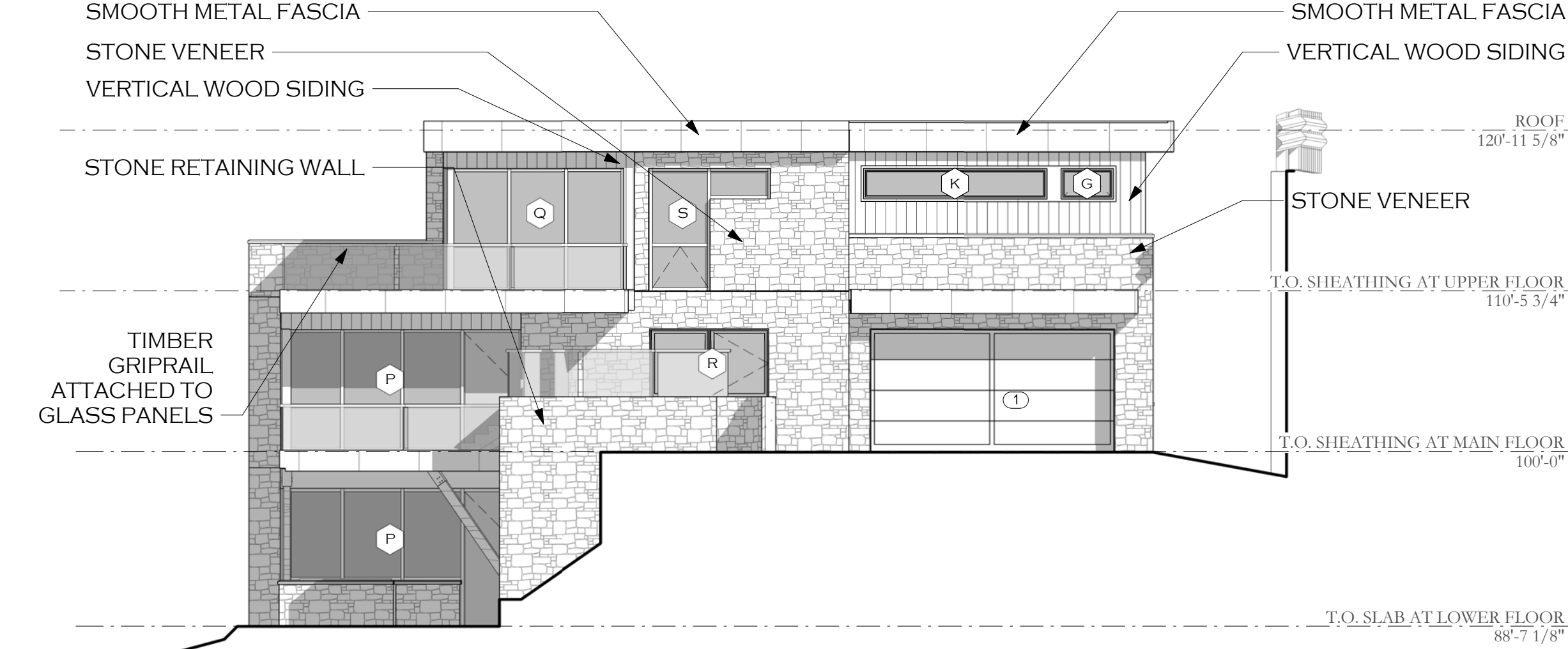
**2 NORTHEAST ELEVATION**  
1/8" = 1'-0"



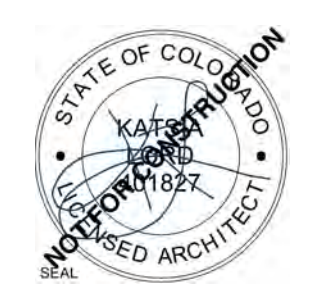
**4 SOUTHEAST ELEVATION**  
1/8" = 1'-0"



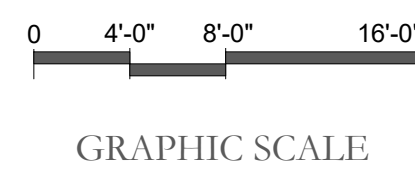
**1 SOUTHWEST ELEVATION**  
1/8" = 1'-0"



**3 NORTHWEST ELEVATION**  
1/8" = 1'-0"



ENTITLEMENT



**SINGLE FAMILY RESIDENCE**  
1 STONEGATE DR, MOUNTAIN VILLAGE,  
CO 81435

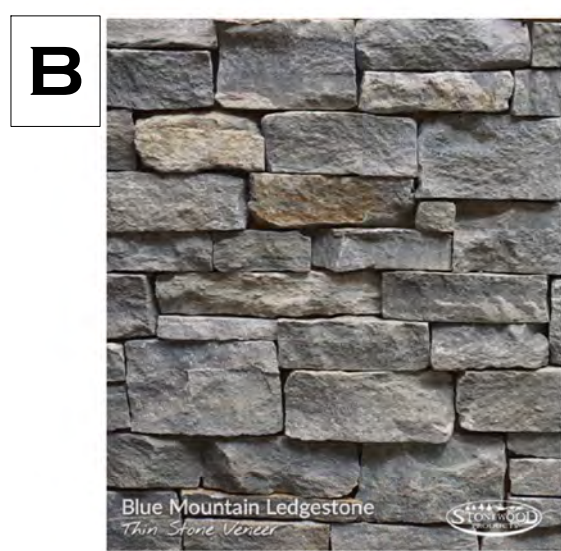
10/16/23 DRB

**ELEVATIONS**  
A-2.00

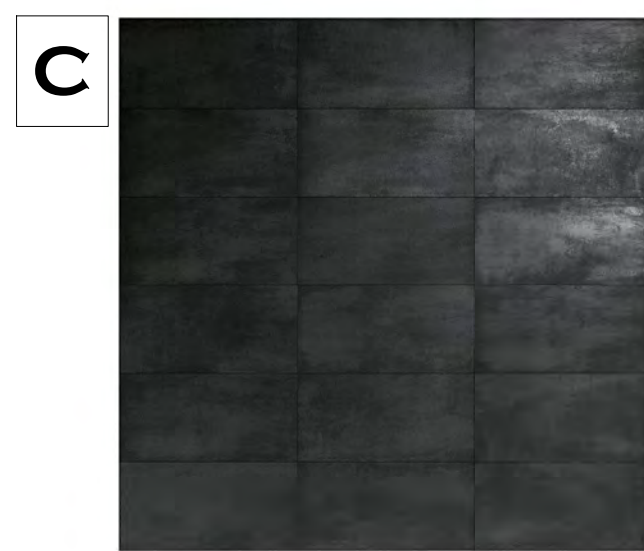




**A** DARK BRONZE METAL FASCIA



**B** STONE VENEER



**C** HONED STONE PANELS



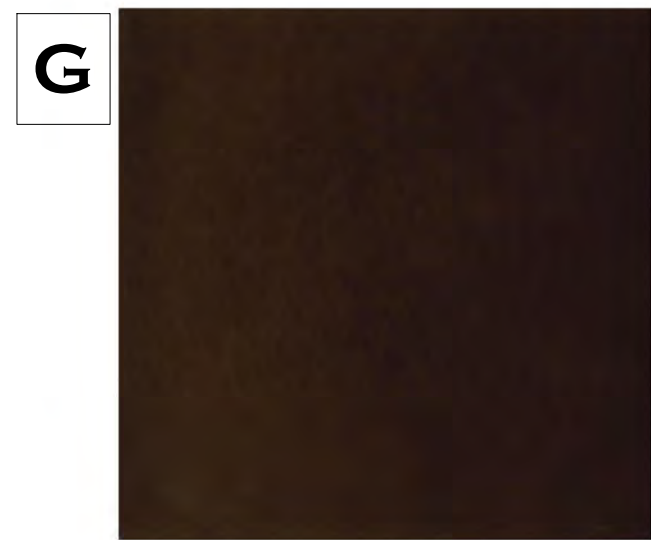
**D** VERTICAL WOOD SIDING



**E** TIMBER COLUMNS W/ METAL SLEEVE



**F** DARK BRONZE WINDOW FRAME



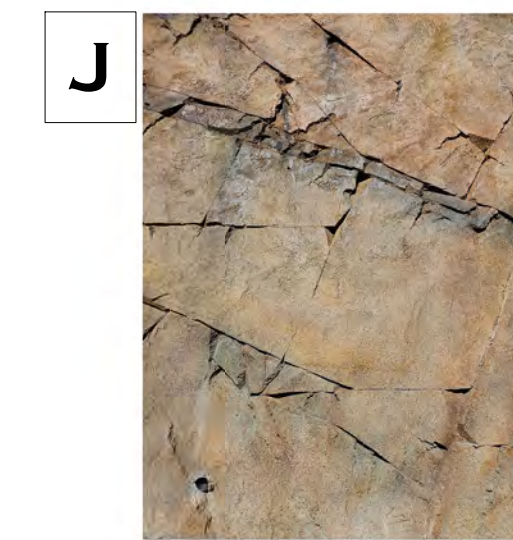
**G** DARK BRONZE ANODIZED



**H** STONE RETAINING WALL



**I** STONE BALLAST

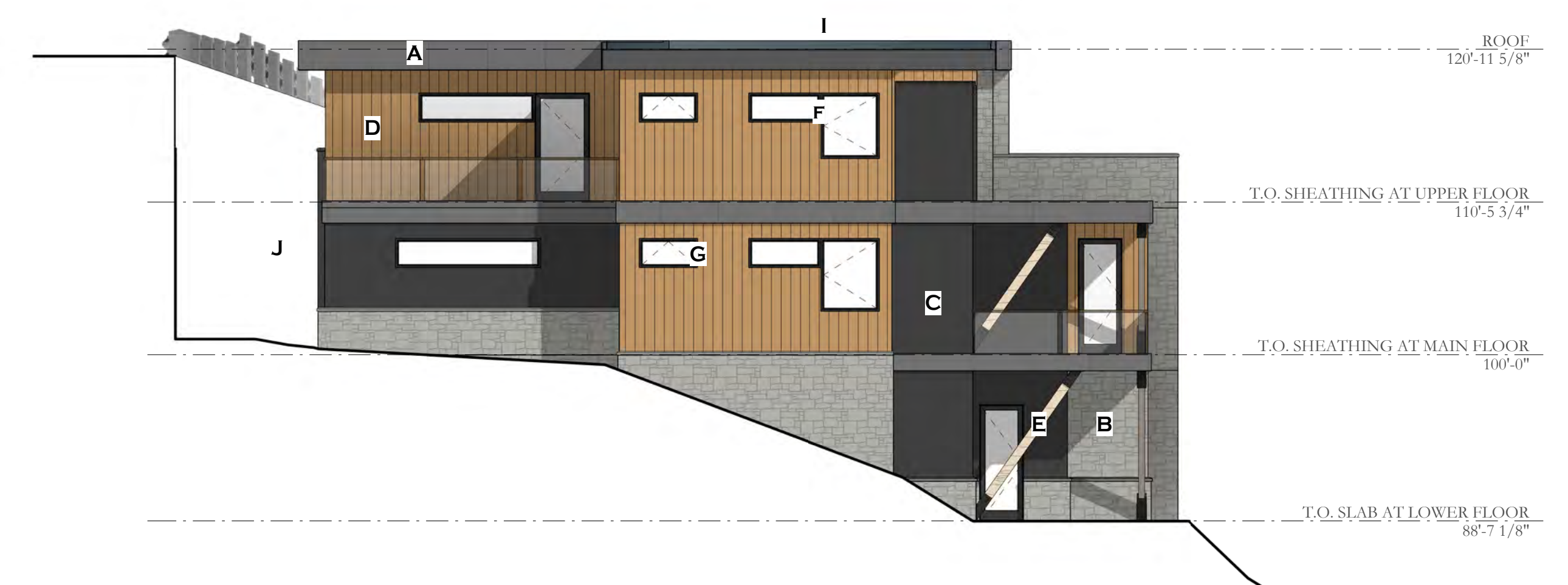


**J** STONE RETAINING WALL

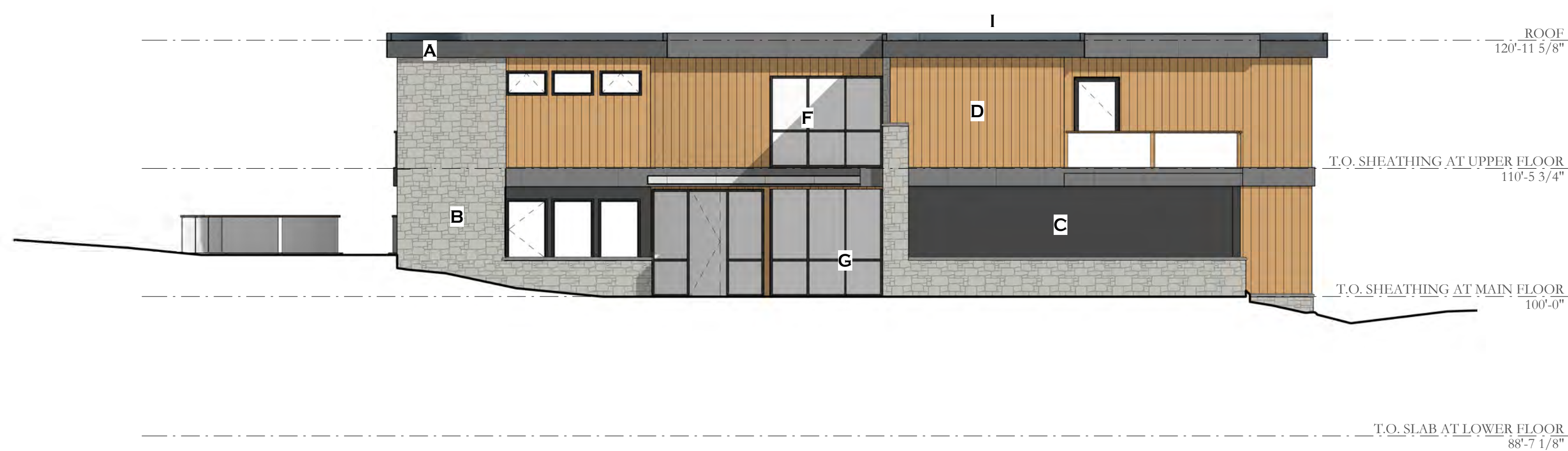
TOTAL BUILDING MATERIALS		
STONE	2623.34 SF	37.43%
METAL	1091.05 SF	15.57%
GLASS	1797.13 SF	25.64%
WOOD	1496.72 SF	21.36%



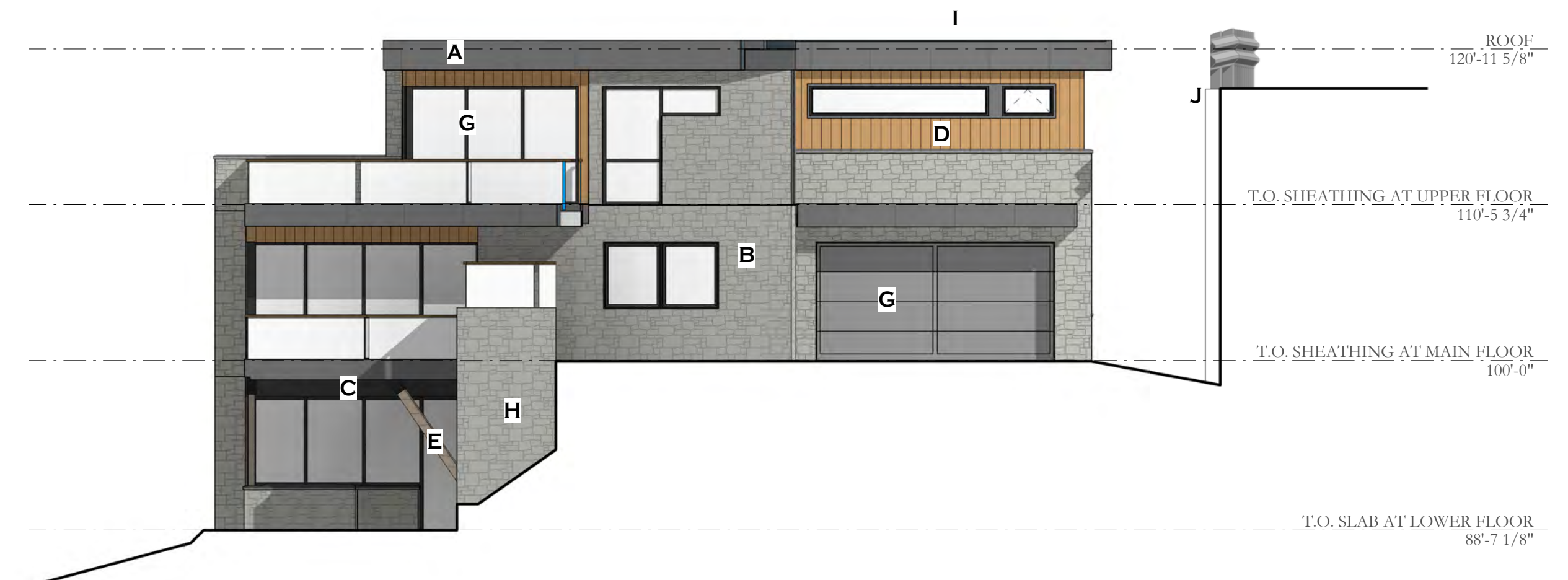
**4** NORTHEAST ELEVATION - MATERIAL CALCULATIONS  
1/8" = 1'-0"



**3** SOUTHEAST ELEVATION - MATERIAL CALCULATIONS  
1/8" = 1'-0"



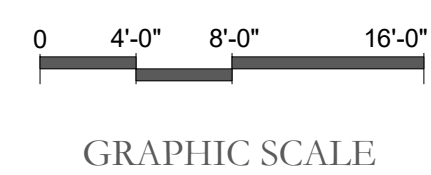
**2** SOUTHWEST ELEVATION - MATERIAL CALCULATIONS  
1/8" = 1'-0"



**1** NORTHWEST ELEVATION - MATERIAL CALCULATIONS  
1/8" = 1'-0"



ENTITLEMENT



**SINGLE FAMILY RESIDENCE**  
1 STONEGATE DR, MOUNTAIN VILLAGE,  
CO 81435

10/16/23 DRB

**EXTERIOR MATERIAL CALCS**  
A-5.00



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**EXTERIOR LIGHTING NOTES**

1. EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS.
2. ALL NEW EXTERIOR LIGHTING TO BE TIED INTO HOME LIGHTING CONTROL SYSTEM TO LIMIT MAXIMUM LEVELS, SET EXTERIOR LIGHTING SCENES AND AUTOMATE OFF TIMES.
3. ALL EXTERIOR LIGHT FIXTURES WILL BE FULL CUT-OFF DOWNLIGHTS THAT CREATE NO OFF-SITE GLARE.
4. ALL EXTERIOR LIGHTS WILL BE LED LIGHTING WITH A MINIMUM COLOR TEMPERATURE OF 2400K AND A MAXIMUM COLOR TEMPERATURE OF 3000K.

**ELECTRICAL LEGEND**

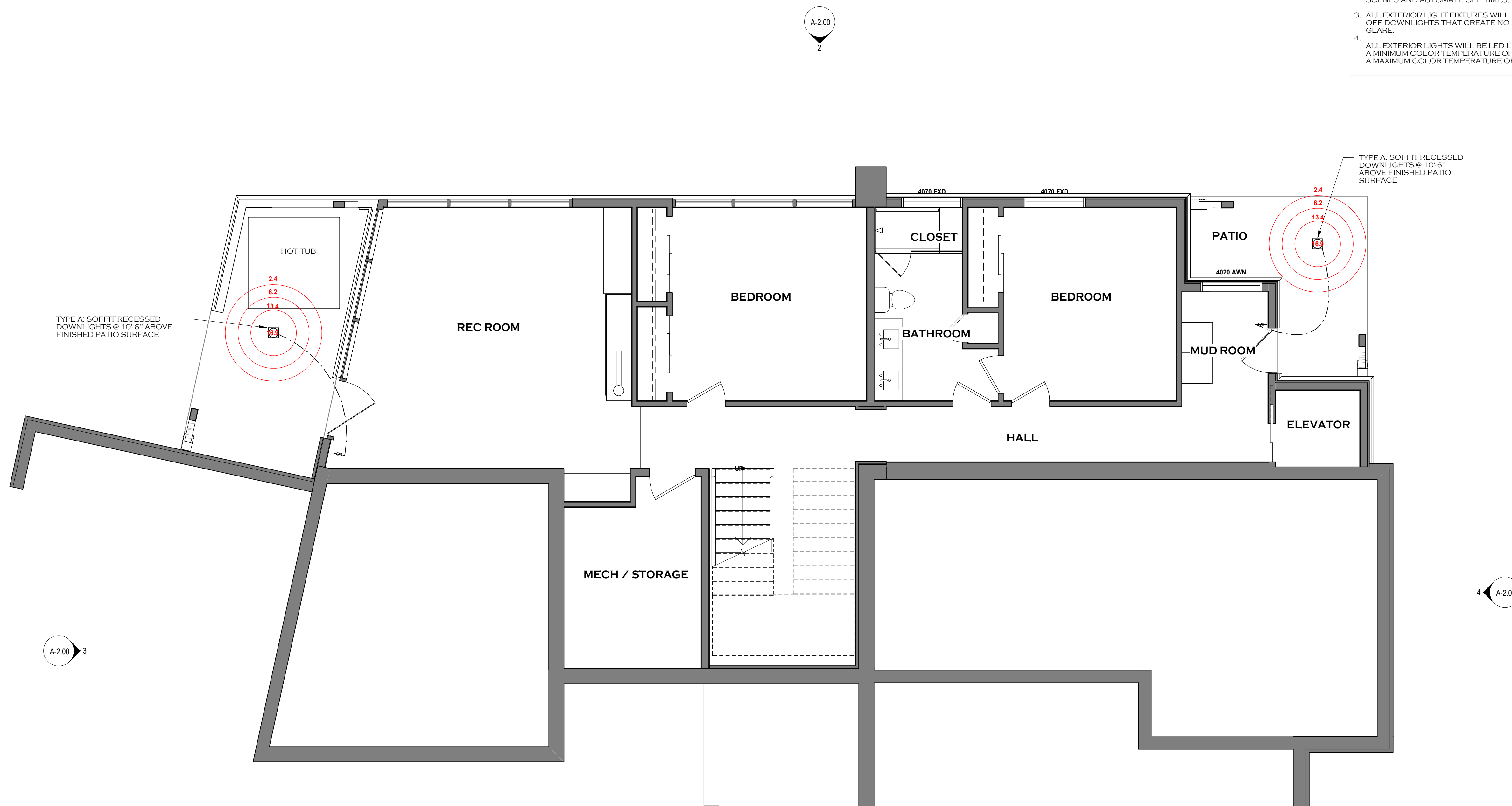
SWITCHES	OUTLETS
⊞ SINGLE POLE SWITCH	⊞ 120V DUPLEX OUTLET
⊞ SW WITH DIMMER	⊞ 120V DUPLEX - HALF HOT
⊞ 3-WAY SWITCH	⊞ 120V QUADRUPLX OUTLET
⊞ 3-WAY SWITCH W DIMMER	⊞ 120V DUPLEX - FLOOR
⊞ 4-WAY SWITCH	⊞ 120V QUADRUPLX - FLOOR
⊞ MS SWITCH W MOTION SENSOR	⊞ 220V OUTLET
⊞ PUSH BUTTON SWITCH	⊞ WALL-CAB UNDERMOUNT LED TASK LIGHT AND OUTLET BAR, ON GFI CIRCUIT
⊞ FP FIREPLACE CONTROLS	
⊞ ST STEAM SHOWER CONTROLS	
⊞ KP KEYPAD (DOOR OPENER, SECURITY)	
⊞ LCP LIGHTING CONTROL PAD	
MISCELLANEOUS	LIGHTING
⊞ C CABLE JACK: COAXIAL	⊞ SURFACE MOUNT
⊞ E ETHERNET JACK: CAT6	⊞ PENDANT LIGHT
⊞ P PHONE JACK	⊞ LARGE PENDANT/CHANDELIER
⊞ T THERMOSTAT	⊞ WALL MOUNT
⊞ CHIMES	⊞ WALL SCIENCE
⊞ EXHAUST FAN	⊞ RECESSED CAN
⊞ EXHAUST FAN W LIGHT	⊞ RECESSED CAN - SLOPED
⊞ IN-SINK FOOD DISPOSER	⊞ RECESSED CAN - ADJUSTABLE
⊞ OVERHEAD GARAGE DOOR OPENER	⊞ RECESSED CAN - WATERPROOF
⊞ SD SMOKE DETECTOR	⊞ RECESSED CAN - MINI
⊞ CM CARBON MONOXIDE DETECTOR	⊞ RECESSED HEAT LAMP
⊞ SD CM COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR	⊞ RECESSED STEP LIGHT
⊞ CEILING FAN	⊞ VANITY BAR LIGHT
	⊞ LED PANEL LIGHT
	⊞ WALL MOUNT CLOSET BAR LIGHT ON MOTION SENSOR
	⊞ KEYLESS LIGHT
	⊞ LED UTILITY LIGHT
	⊞ TRACK LIGHT
	⊞ LED TAPE LIGHT
	⊞ SECURITY FLOODLIGHT ON MOTION SENSOR
ELECTRICAL ABBREVIATIONS	
CM CARBON MONOXIDE DETECTOR	
GFI GROUND FAULT INTERRUPT	
H HALOGEN FIXTURE	
HRZ HORIZONTAL SWITCH/OUTLET	
LV LOW VOLTAGE FIXTURE	
MS FIXTURE ON MOTION SENSOR	
PC FIXTURE ON PULL CHAIN	
SD SMOKE DETECTOR	
WP WEATHERPROOF/WATERPROOF	
+44* FIXTURE MOUNTING HEIGHT (VARIES)	

**GENERAL ELECTRICAL NOTES**

1. PROVIDE GROUND FAULT INTERRUPTER (GFI) IN ACCORDANCE WITH GOVERNING ELECTRICAL CODES. ALL BATHROOM, KITCHEN, AND EXTERIOR OUTLETS SHALL BE ON "GFI" CIRCUITS. ALL LAUNDRY AND GARAGE AREAS SHALL BE ON "GFI" CIRCUITS.
2. ALL EXTERIOR OUTLETS AND LIGHT FIXTURES SHALL BE WEATHERPROOF AND APPROVED FOR EXTERIOR USE.
3. ALL LIGHT FIXTURES ABOVE TUBS OR SHOWERS SHALL BE WATERPROOF AND APPROVED FOR WET LOCATION USE.
4. ALL LIGHT FIXTURES IN CLOTHES CLOSETS SHALL BE SURFACE-MOUNT OR RECESSED FIXTURES, OR SHALL OTHERWISE COMPLY WITH THE 2015 IRC SECTION E403.12.
5. PROVIDE SWITCHED LIGHT IN ATTIC, AT ACCESS, AND IN CRAWL SPACE, AT ACCESS.
6. ALL RECESSED LIGHT FIXTURES IN INSULATED CEILINGS SHALL BE IDENTIFIED AS "TYPE IC" PER THE 2015 IRC SECTION 404.8
7. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED FOR SIMULTANEOUS ALARM TRIGGERING.
8. ALL LED LIGHTING SHALL BE 3000K (OR WARMER) AND CRI 90 (OR GREATER).
9. ALL RECESSED LIGHT FIXTURES LOCATED INSIDE DISPLAY NICHES SHALL BE HELD AS CLOSE TO FRONT EDGE OF NICHE AS ALLOWABLE BY FIXTURE AND FRAMING.

**NOTE:**

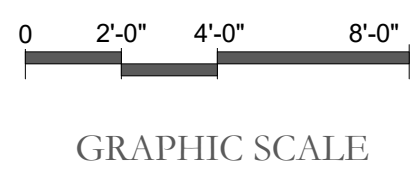
PORTIONS OF THIS HOUSE'S LIGHTING WILL BE CONTROLLED BY AN INTEGRATED WHOLE HOUSE AUTOMATION SYSTEM, DESIGNED BY OTHERS. COORDINATE LIGHTING CIRCUIT GROUPINGS AND SWITCHING LOCATIONS PER AUTOMATION SYSTEM DESIGN.



**1 LOWER FLOOR PHOTOMETRIC PLAN**  
1/4" = 1'-0"



ENTITLEMENT



**SINGLE FAMILY RESIDENCE**  
1 STONEGATE DR, MOUNTAIN VILLAGE,  
CO 81435

10/16/23 DRB

**LOWER FLOOR PHOTOMETRIC**  
E1



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**EXTERIOR LIGHTING NOTES**

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- ALL EXTERIOR LIGHT FIXTURES WILL BE FULL CUT-OFF DOWNLIGHTS THAT CREATE NO OFF-SITE GLARE.
- ALL EXTERIOR LIGHTS WILL BE LED LIGHTING WITH A MINIMUM COLOR TEMPERATURE OF 2400K AND A MAXIMUM COLOR TEMPERATURE OF 3000K.

**ELECTRICAL LEGEND**

SWITCHES	OUTLETS
⊞ SINGLE POLE SWITCH	⊞ 120V DUPLEX OUTLET
⊞ SW WITH DIMMER	⊞ 120V DUPLEX - HALF HOT
⊞ 3-WAY SWITCH	⊞ 120V QUADRUPLX OUTLET
⊞ 3-WAY SWITCH W DIMMER	⊞ 120V DUPLEX - FLOOR
⊞ 4-WAY SWITCH	⊞ 120V QUADRUPLX - FLOOR
⊞ MS SWITCH W MOTION SENSOR	⊞ 220V OUTLET
⊞ PUSH BUTTON SWITCH	⊞ WALL-CAB UNDERMOUNT LED TASK LIGHT AND OUTLET BAR, ON GFI CIRCUIT
⊞ FIREPLACE CONTROLS	
⊞ STEAM SHOWER CONTROLS	<b>LIGHTING</b>
⊞ KP KEYPAD (DOOR OPENER, SECURITY)	⊞ SURFACE MOUNT
⊞ LCP LIGHTING CONTROL PAD	⊞ PENDANT LIGHT
	⊞ LARGE PENDANT/ CHANDELIER
<b>MISCELLANEOUS</b>	⊞ WALL MOUNT
⊞ C CABLE JACK: COAXIAL	⊞ WALL SCONCE
⊞ E ETHERNET JACK: CAT6	⊞ RECESSED CAN
⊞ P PHONE JACK	⊞ RECESSED CAN - SLOPED
⊞ T THERMOSTAT	⊞ RECESSED CAN - ADJUSTABLE
⊞ CHIMES	⊞ RECESSED CAN - WATERPROOF
⊞ EXHAUST FAN	⊞ RECESSED CAN - MINI
⊞ EXHAUST FAN W LIGHT	⊞ RECESSED HEAT LAMP
⊞ IN-SINK FOOD DISPOSER	⊞ RECESSED STEP LIGHT
⊞ OVERHEAD GARAGE DOOR OPENER	⊞ VANITY BAR LIGHT
⊞ SD SMOKE DETECTOR	⊞ LED PANEL LIGHT
⊞ CM CARBON MONOXIDE DETECTOR	⊞ WALL MOUNT CLOSET BAR LIGHT ON MOTION SENSOR
⊞ SD CM COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR	⊞ KEYLESS LIGHT
⊞ CEILING FAN	⊞ LED UTILITY LIGHT
	⊞ TRACK LIGHT
	⊞ LED TAPE LIGHT
	⊞ SECURITY FLOODLIGHT ON MOTION SENSOR

**GENERAL ELECTRICAL NOTES**

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**NOTE:**

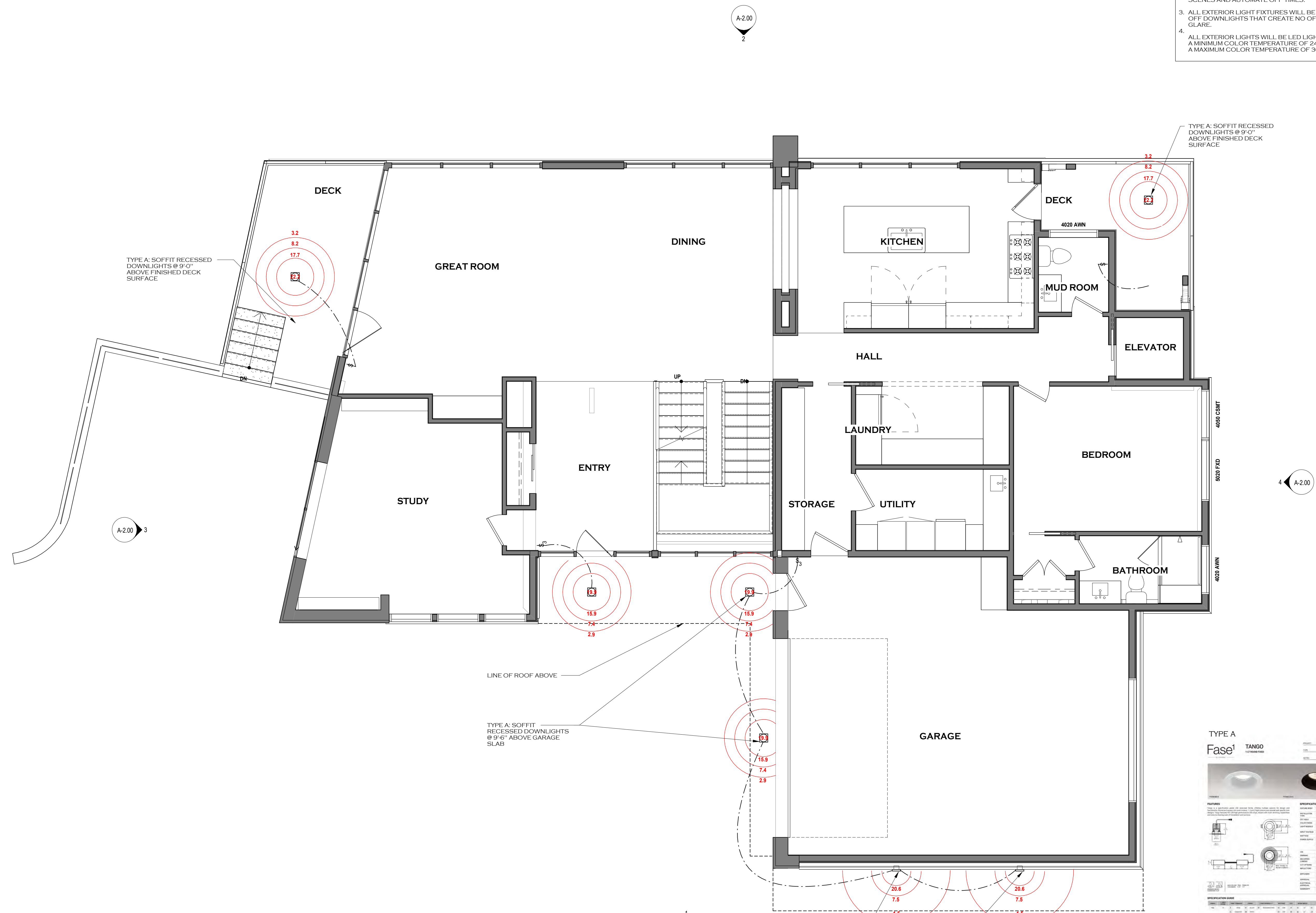
PORTIONS OF THIS HOUSE'S LIGHTING WILL BE CONTROLLED BY AN INTEGRATED WHOLE HOUSE AUTOMATION SYSTEM, DESIGNED BY OTHERS. COORDINATE LIGHTING CIRCUIT GROUPINGS AND SWITCHING LOCATIONS PER AUTOMATION SYSTEM DESIGN.

**TYPE A**

Fase1 TANGO

**TYPE B**

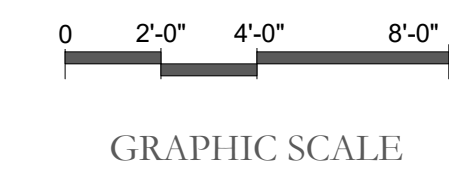
Fase1 TANGO



**1 MAIN FLOOR PHOTOMETRIC PLAN**  
1/4" = 1'-0"



ENTITLEMENT



**SINGLE FAMILY RESIDENCE**  
1 STONEGATE DR, MOUNTAIN VILLAGE,  
CO 81435

10/16/23 DRB

**MAIN FLOOR PHOTOMETRIC**  
E2



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**EXTERIOR LIGHTING NOTES**

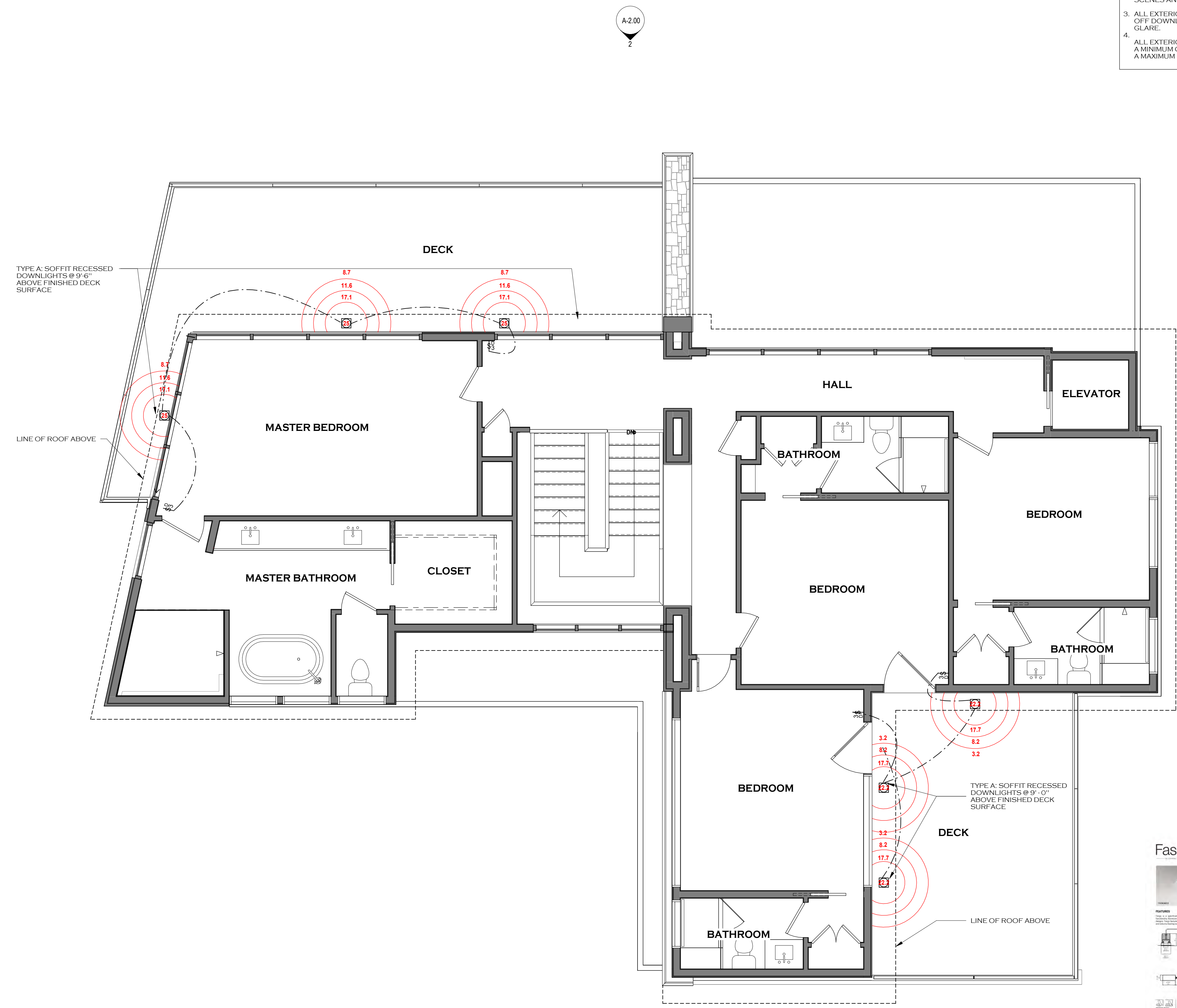
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**ELECTRICAL LEGEND**

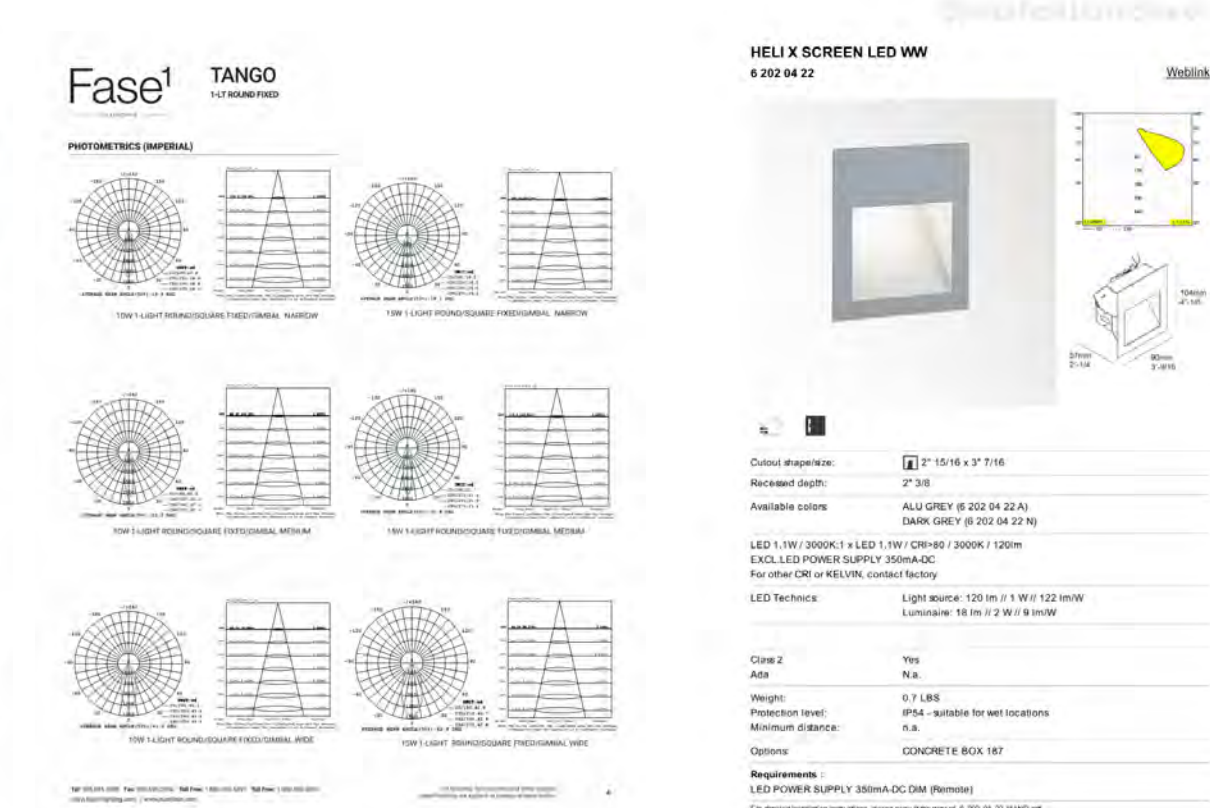
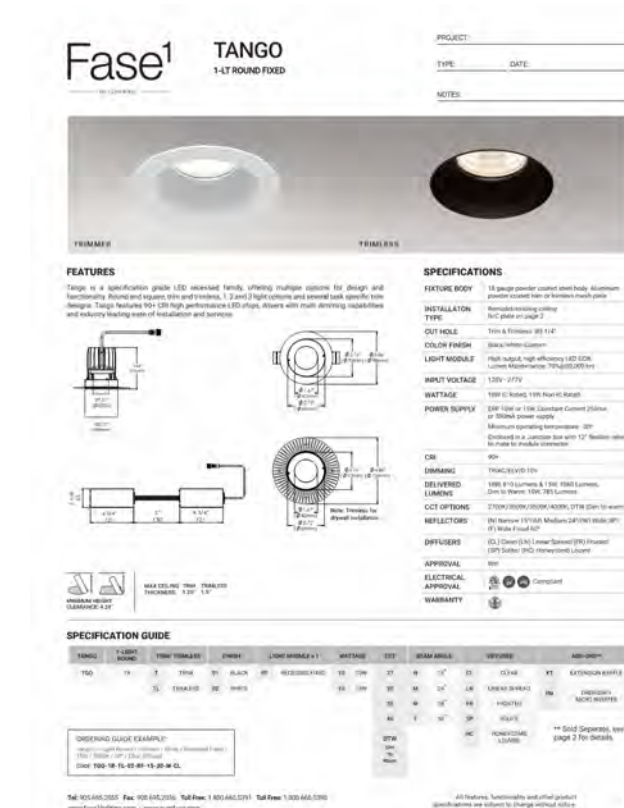
SWITCHES	OUTLETS
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⊞ SW WITH DIMMER	⊞ 120V DUPLEX - HALF HOT
⊞ 3-WAY SWITCH	⊞ 120V QUADRUPLX OUTLET
⊞ 3-WAY SWITCH W DIMMER	⊞ 120V DUPLEX - FLOOR
⊞ 4-WAY SWITCH	⊞ 120V QUADRUPLX - FLOOR
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⊞ FIREPLACE CONTROLS	
⊞ STEAM SHOWER CONTROLS	<b>LIGHTING</b>
⊞ KP KEYPAD (DOOR OPENER, SECURITY)	○ SURFACE MOUNT
⊞ LCP LIGHTING CONTROL PAD	○ PENDANT LIGHT
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⊞ C CABLE JACK: COAXIAL	○ WALL SCONCE
⊞ E ETHERNET JACK: CAT6	○ RECESSED CAN
⊞ PHONE JACK	○ RECESSED CAN - SLOPED
⊞ T THERMOSTAT	⊞ RECESSED CAN - ADJUSTABLE
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⊞ CEILING FAN	⊞ LED UTILITY LIGHT
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- GENERAL ELECTRICAL NOTES**
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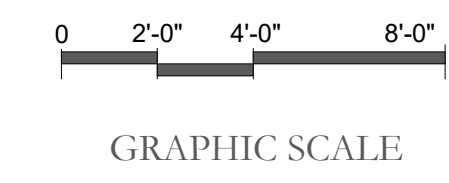
**NOTE:** PORTIONS OF THIS HOUSE'S LIGHTING WILL BE CONTROLLED BY AN INTEGRATED WHOLE HOUSE AUTOMATION SYSTEM, DESIGNED BY OTHERS. COORDINATE LIGHTING CIRCUIT GROUPINGS AND SWITCHING LOCATIONS PER AUTOMATION SYSTEM DESIGN.



**1 UPPER FLOOR PHOTOMETRIC PLAN**  
1/4" = 1'-0"



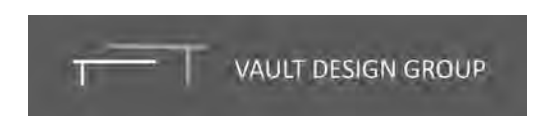
ENTITLEMENT



**SINGLE FAMILY RESIDENCE**  
1 STONEGATE DR, MOUNTAIN VILLAGE,  
CO 81435

10/16/23 DRB

**UPPER FLOOR PHOTOMETRIC**  
E3



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GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:  
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE  
NATURAL GAS: BLACK HILLS ENERGY  
POWER: SAN MIGUEL POWER  
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

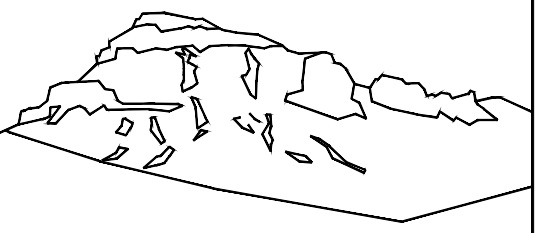
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

SUBMITTAL	2023-07-28
SUBMITTAL	2023-10-16

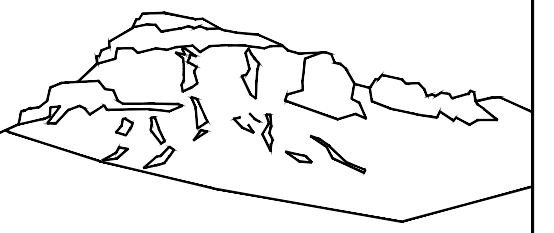
Lot 166AR2-2  
(Lot 2) Stonegate  
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Civil Engineering  
General Notes

C1



Uncompahgre Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:  
SUBMITTAL 2023-07-28  
SUBMITTAL 2023-10-16

Lot 166AR2-2  
(Lot 2) Stonegate  
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

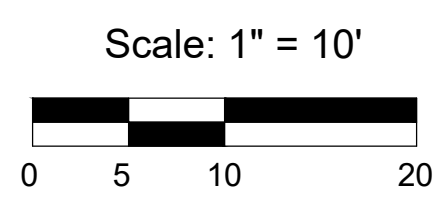
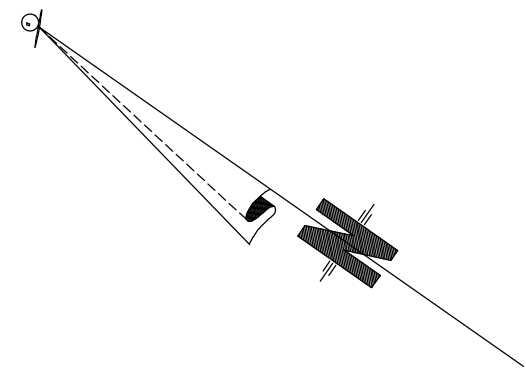
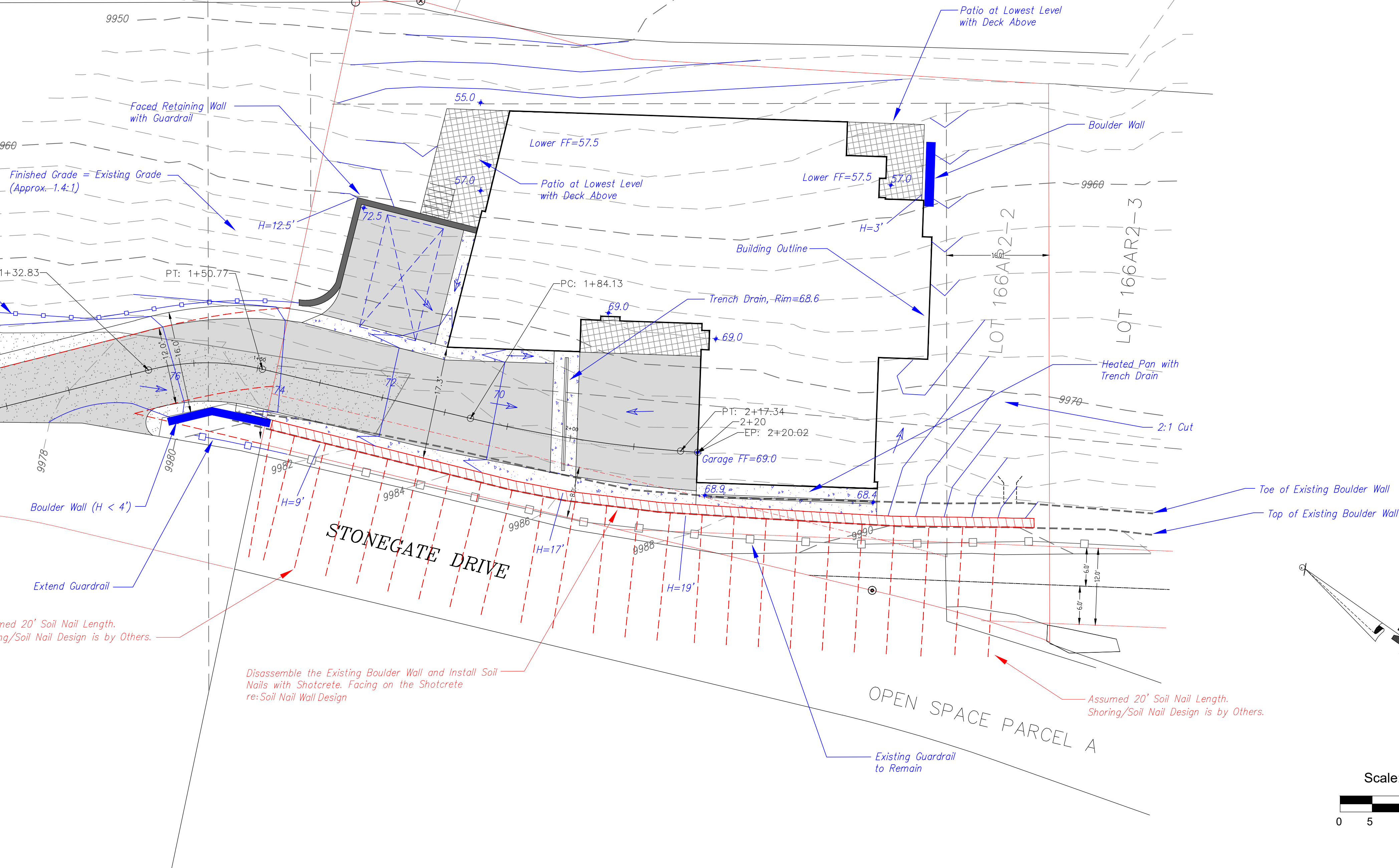
Civil Engineering  
Site Plan  
with  
Driveway  
Profile

C2.1

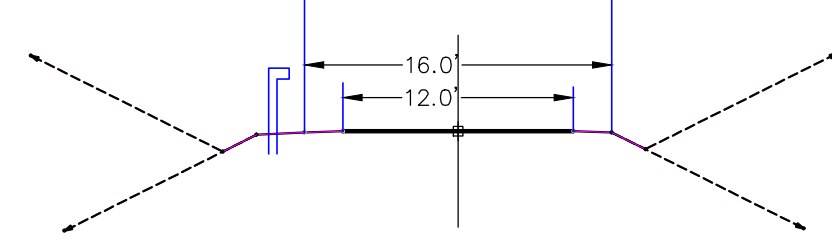
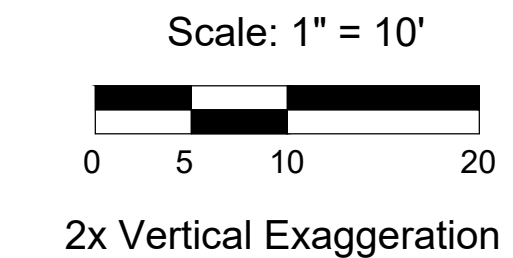
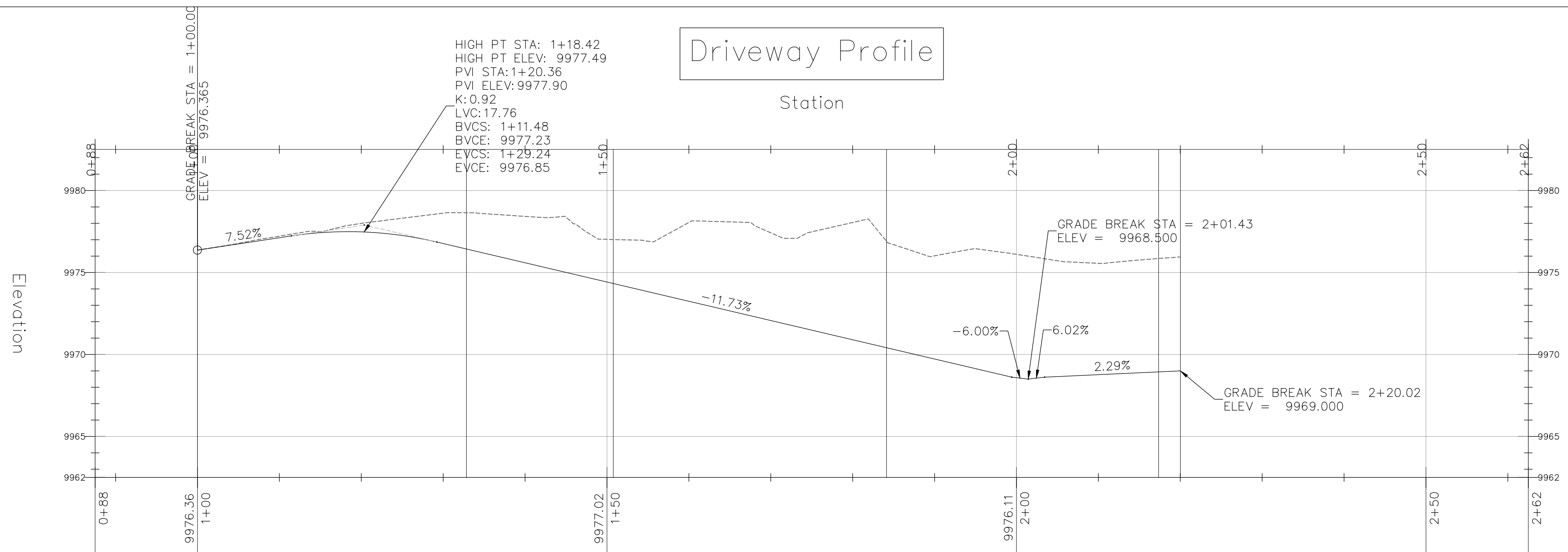
TRACT OS-166R

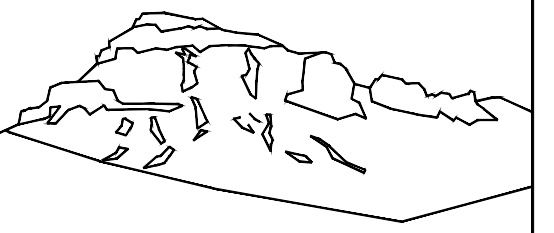
TRACT OSP-51RA

Shoulders, Fill Slopes, and Guardrail are not in Easement because the Easement is only 12' Wide



Driveway Profile





Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:  
SUBMITTAL 2023-07-28  
SUBMITTAL 2023-10-16

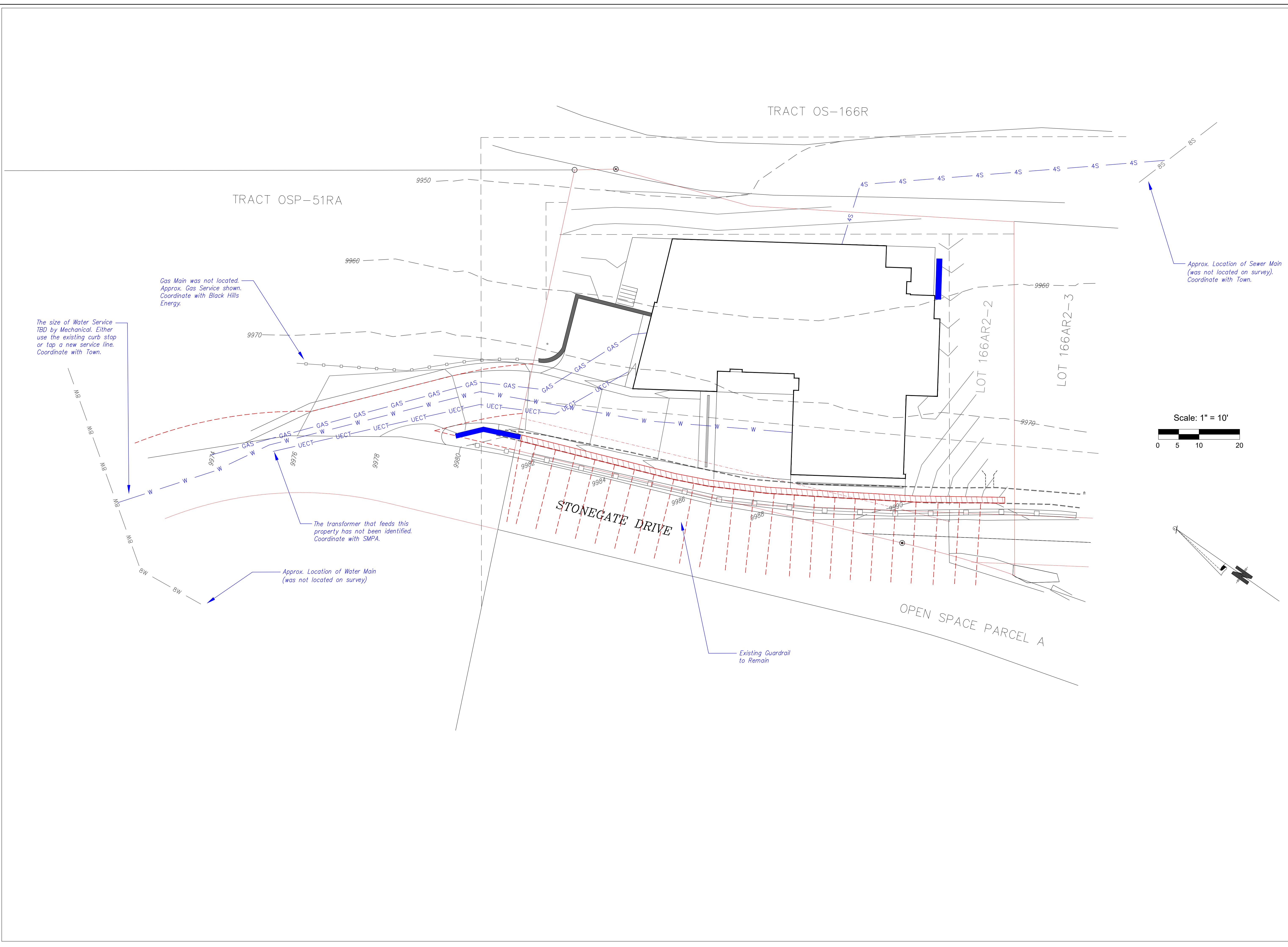
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(Lot 2) Stonegate  
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL  
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AND REPORT ANY DISCREPANCIES TO THE  
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DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3

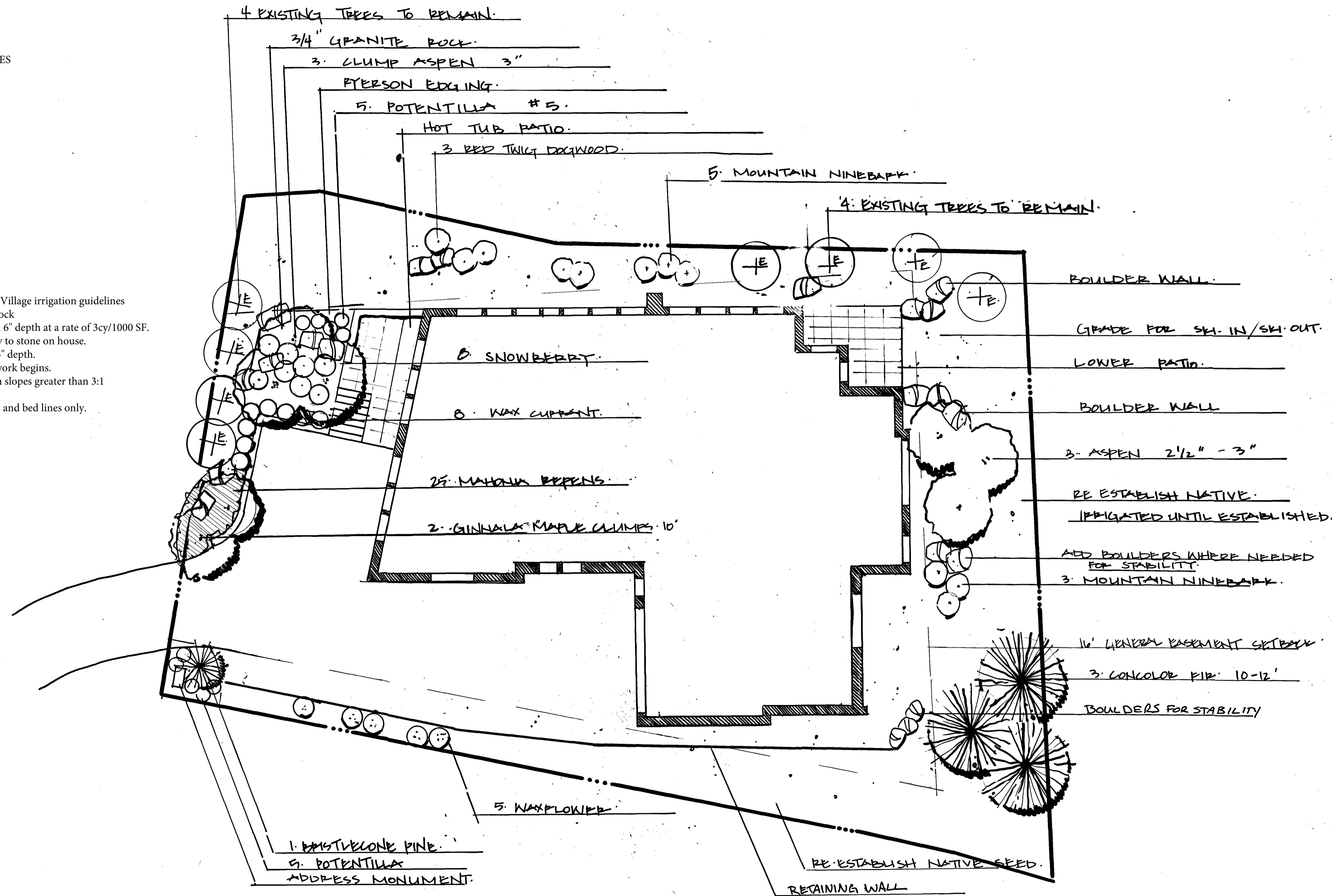


PLANTING SCHEDULE

QTY	Common Name	Scientific Name	Size	CSU- Fire Wise
<b>TREES:</b>				
6	Quaking Aspen	Populus Tremuloides	2.5" Clump	YES
3	Abies Concolor	Concolor Fir	10-12'	YES
1	Bristlecone Pine	Pinus Aristata	8' B&B	NO
2	Acer Ginnala	Acer Ginnala	10' Clump	YES
<b>SHRUBS:</b>				
25	Oregon Grape Holly	Mahonia repens	5 Gal	NO
3	Colorado Dogwood	Cornus stolonifera coloradense	5 Gal	YES
8	Scrubby Ninebark	Physocarpus monogynus	5 Gal	YES
10	Potentilla	Potentilla Fruticosa	5 Gal	YES
8	Snowberry	Symphoricarpos oreophilus	5 Gal	YES
8	Wax Currant	Ribes Cereum	5 Gal	YES
5	Waxflower	Jamesia americana	5 Gal	YES
<b>Native Seed Mix:</b>				
5%	Western Yarrow			
10%	Tall Fescue			
5%	Arizona fescue			
5%	Hard Fescue			
15%	Alpine Bluegrass			
10%	Canada Bluegrass			
15%	Perennial Ryegrass			
10%	Slender Wheatgrass			
15%	Mountain Brone			

General Landscape Notes:

- All new landscape will have new irrigation system following Mountain Village irrigation guidelines
- All Plant materials shall be meet the American Standard for nursery stock
- Soil amendment to be added in all disturbed areas tilled to a minimum 6" depth at a rate of 3cy/1000 SF.
- Boulders to be approved by landscape architect, and be complimentary to stone on house.
- All Landscape beds to have non-combustible rock mulch applied at a 3" depth.
- Final grading certificate should be signed off on before any landscape work begins.
- Newly seeded areas need to be protected with straw, hydromulch or on slopes greater than 3:1 use biodegradable erosion-control netting.
- All beds should be edged with roll top ryerson edging, separating grass and bed lines only.



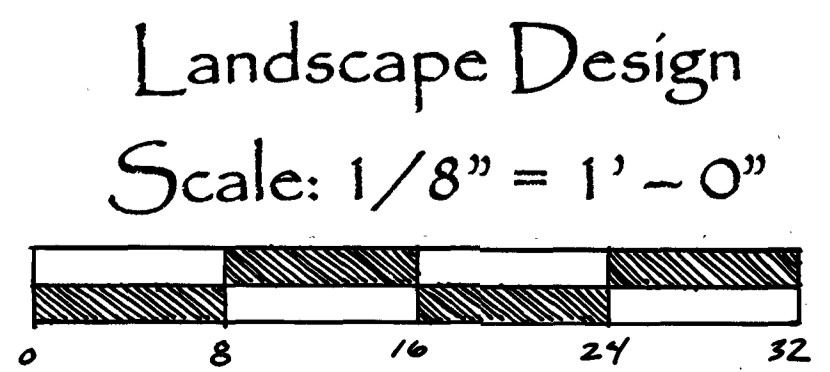
DESIGN · CONSTRUCTION · MAINTENANCE  
 15440 EAST FREMONT DRIVE  
 CENTENNIAL, CO 80112  
 (303) 721-9003 · FAX (303) 755-7040

**Custom Residence**

1 Stonegate  
 Mountain Village, Colorado 81435

DESIGNED BY:	DATE:
HOLLY TERRY	JULY 28
REVISIONS:	OCT 16

SCALE: 1/8" = 1'-0"	
LEGAL:	
JOB: [arrow pointing up-left]	SHEET: 1 OF 1



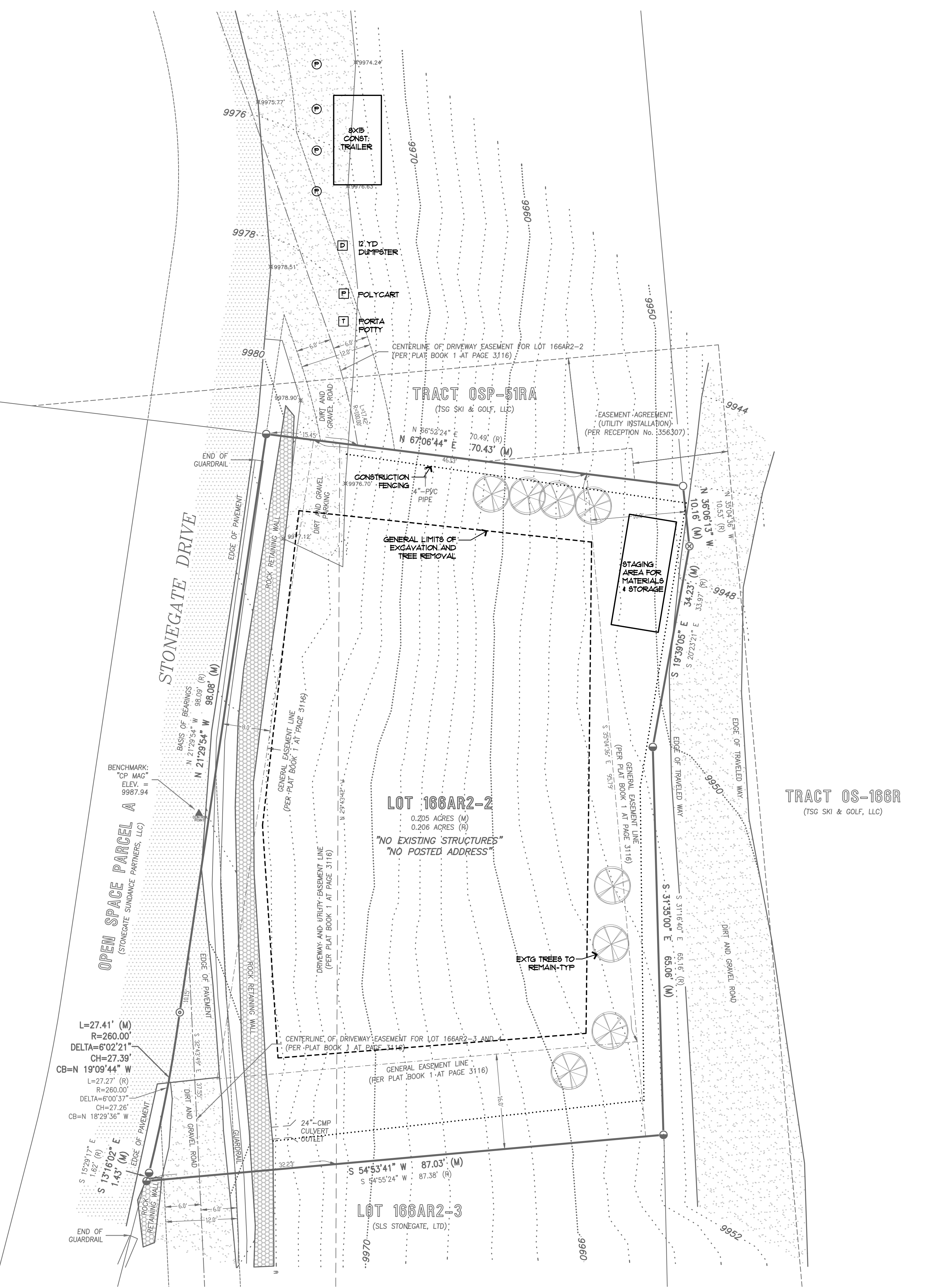
THIS PLAN IS PROPERTY OF  
 DESIGNSCAPES COLORADO, INC.  
 USE OF THIS PLAN OR THE IDEAS FOUND HERE  
 ARE PROHIBITED WITHOUT PERMISSION OF  
 DESIGNSCAPES COLORADO, INC.



2023.10.16 Final DRB Submittal

Lot 166AR2-2 Viewer

<https://autode.sk/3PVOZPa>



BENCHMARK:  
"CP MAG"  
ELEV. =  
9987.94

BASIS OF BEARINGS  
N 21°29'54" W 98.09' (R)  
N 21°29'54" W 98.08' (M)

L=27.41' (M)  
R=260.00'  
DELTA=6°02'21"  
CH=27.39'  
CB=N 19°09'44" W

L=27.27' (R)  
R=260.00'  
DELTA=6°00'37"  
CH=27.26'  
CB=N 18°29'36" W

S 54°53'41" W 87.03' (M)  
S 54°55'24" W 87.38' (R)

STAGING AREA FOR MATERIALS & STORAGE

TRACT OSP-51RA  
(TSG SKI & GOLF, LLC)

LOT 166AR2-2  
0.205 ACRES (M)  
0.206 ACRES (R)  
"NO EXISTING STRUCTURES"  
"NO POSTED ADDRESS"

TRACT OS-166R  
(TSG SKI & GOLF, LLC)

**CONSTRUCTION MITIGATION SITE MAP**

SCALE : 1" = 10'-0"



**Wildfire Mitigation Notes:**

Wildfire Mitigation will be performed according to the Town of Mountain Village requirements, CDC Chapter 17.6. Zones 1, 2, and 3 are identified on the plan.

D. The following requirements shall be followed in creating the required wildfire mitigation plan:

i. Zone 1 is the area that consists of fifteen feet (15') around the building as measured from the outside edge of the building's dripline, including decks, planters or patios attached to the building. The following provisions shall apply in Zone 1:

1. (a) All slash and flammable vegetation as identified by staff shall be removed from Zone 1.
2. (b) All trees and shrubs located within Zone 1 shall be removed.
3. (c) The following exceptions apply to Zone 1:
  1. (i.) A tree or shrub may remain within Zone 1 provided the defensible space distance is measured commencing from the vegetation's drip edge rather than from the building plane (so the tree is considered part of or an extension of the structure), and provided the distance is not limited by a lot line.
  2. (ii.) Flammable vegetation shall be allowed in planters attached to the building so long as the planter is within ten feet (10') of a building, and vegetation is not planted directly beneath windows or next to foundation vents.
  4. (d) In the event Zone 1 encroaches upon the general easement, the review authority shall allow the creation of defensible space as required by this section.

ii. Zone 2 is the area that extends from the outer edge of Zone 1 for the distance specified in Figure 6-1 (Sec. 17.6.1 of the CDC), Fire Mitigation Zones, based on slope, to the lot line, whichever is less.

The following provisions shall apply in Zone 2:

- (iii.) Dominant and co-dominant live trees with a dbh of four inches (4") or greater shall be spaced with a ten foot (10') crown-to-crown separation. All ladder fuels and slash shall be removed from the ten foot (10') crown-to-crown separation area.
4. (iv.) All stressed, diseased, dead or dying trees and shrubs, as identified by staff, shall be removed except for standing dead trees that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.
5. (v.) Shrubs over five feet (5') tall shall have an average spacing of ten feet (10') from shrub-to-shrub.

(A) The following exceptions apply to Zone 2:

2. (i.) Groupings of trees or shrubs may be allowed provided that all of the crowns in such group of trees or the edge of the shrubs are spaced ten feet (10') from crown-to-crown or from edge of shrub to any trees or shrubs outside of such grouping.
3. (ii.) Aspens, narrowleaf cottonwoods, willows and other trees and shrubs listed in CSU Cooperative Extension Publication 6.305, Firewise Plant Materials as amended from time to time, may be spaced closer than the ten foot (10') crown-to-crown separation as approved by staff.
4. (iii.) Closer spacing of any trees may be allowed by staff upon a determination that the required ten foot (10') crown-to-crown spacing would put the remaining trees at undue risk of wind-throw or snow breakage.
5. (iv.) Tree removal for the creation of defensible space, if such tree removal is determined to be impractical by the Town due to steep slopes, wetland or other environmental constraints, and other mitigation is provided.
3. (c) Trees remaining within Zone 2 shall have branches pruned to a height of ten feet (10'), but notwithstanding said height requirement, branches need not be pruned to more than one-third (1/3) of the tree height with the following exceptions:
  1. (i.) Aspen trees; and
  2. (ii.) Isolated spruce and fir trees.
4. (d) In the event that Zone 1 or 2 extends upon the general easement, the review authority shall allow the removal of trees to implement the wildfire mitigation plan.
5. (e) Chipped wood and small timber may be spread throughout either Zone 2 or Zone 3 provided the wood chips have a maximum depth of two to three inches (2" - 3") and small timber has a diameter of three inches (3") or less and is cut up into lengths that are three feet (3') or less.

iii. Zone 3 is the area extending beyond Zone 2 to the edge of the lot subject to development. In Zone 3, all diseased, beetle infested, dead or dying trees, as identified by staff, shall be removed except for standing dead trees (aka tree snags) that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.

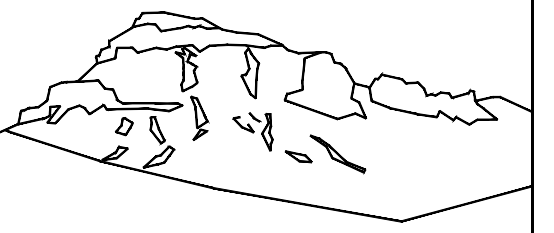
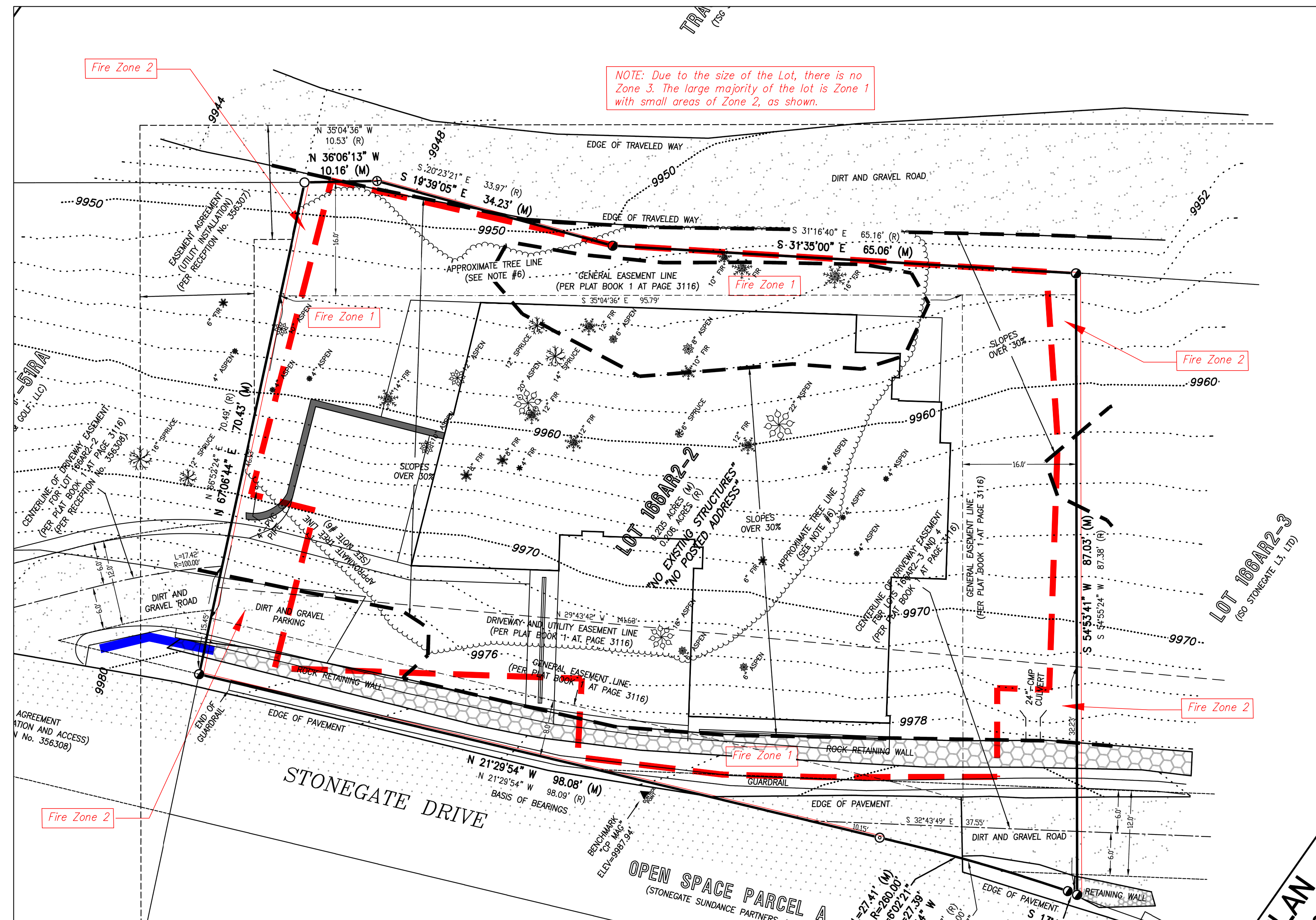
(a) For lots greater than five (5) acres in size, the Town shall only require that Zone 3 be implemented for a distance of 500 feet from the outside edge of Zone 2. A lot owner may propose to implement Zone 3 for all of the lot.

E. Firewood may only be stored on a lot that has a solid fuel burning device permit issued by the Town that meets the following limitations:

- i. Indoor storage can only occur within an enclosed room that is a part of the primary structure on the lot.
- ii. Outdoor storage shall only occur in the rear yard.
- iii. Up to ten (10) cubic feet of outdoor firewood storage may be located in Zone 1 or Zone 2.
- iv. Outdoor firewood storage larger than ten (10) cubic feet shall have a minimum thirty foot (30') distance from the structure.
- v. Outdoor firewood storage shall be screened from view from surrounding lots

F. Prior to the issuance of any certificate of occupancy or certificated of completion, staff shall inspect the lot affected by the fire mitigation plan to ensure that such plan has been implemented in accordance with the approved wildfire mitigation plan.

G. The wildfire mitigation plan shall be maintained by the lot owner as required by this section.



**Uncompahgre Engineering, LLC**

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

**SUBMISSIONS:**

SUBMITTAL	2021-05-08
Revised Wall	2021-08-19
New Sheet	2023-10-24

Lot 166AR2-2  
(Lot 2) Stonegate Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHARTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**Fire Mitigation**

**C5**



Agenda Item 8  
**PLANNING AND DEVELOPMENT SERVICES  
DEPARTMENT**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 369-8250

**TO:** Mountain Village Design Review Board

**FROM:** Claire Perez, Planner II

**FOR:** Design Review Board Meeting; October 5, 2023

**DATE:** September 26, 2023

**RE:** Review and Recommendation to Town Council regarding a Vested Property Rights Application for Lot 27A Parcel 3R, TBD Lost Creek Lane

---

**BACKGROUND:** Staff is requesting a continuation of the Review and Recommendation to Town Council regarding a Vested Property Rights Application for Lot 27A Parcel 3 to the January 4, 2024, Regular DRB Meeting. The memo is being provided not to open the public hearing but solely for the purpose of the DRB providing a motion to continue to the Regular January 4, 2024, meeting date.

DRB also has the ability to table the item, which would require the applicant to re-notice the project at a time in the future.

**RECOMMENDED MOTION:** I move to continue, the Review and Recommendation to Town Council regarding a Vested Property Rights Application for Lot 27A Parcel 3R, TBD Lost Creek Lane to the Regular Design Review Board Meeting on January 4, 2024.

/cp



**TO:** Mountain Village Design Review Board  
**FROM:** Design Workshop on behalf of the Town of Mountain Village  
**FOR:** Design Review Board Public Hearing: November 02, 2023  
**DATE:** October 23, 2023  
**RE:** Staff Memo – Final Architecture Review (FAR) 121 Arizona, pursuant to CDC Section 17.4.11

**APPLICATION OVERVIEW: New Single-Family Home on Lot 802**

**PROJECT GEOGRAPHY**

**Legal Description:** LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 864, COUNTY OF SAN MIGUEL, STATE OF COLORADO

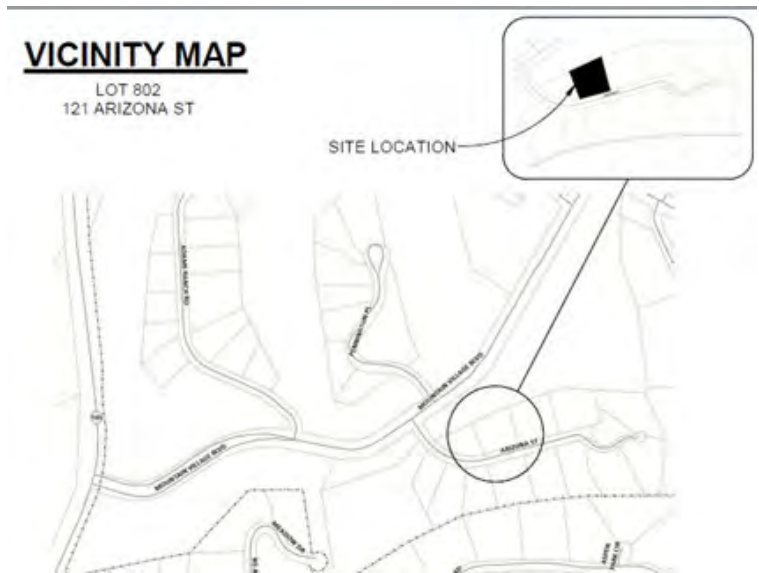
**Address:** 121 Arizona Street  
**Applicant/Agent:** Kristine Perpar, Shift Architects  
**Owner:** Edward Nelson  
**Zoning:** Single-Family  
**Existing Use:** Vacant  
**Proposed Use:** Single-Family Residential  
**Lot Size:** 0.897

**Adjacent Land Uses:**

- **North:** Open Space
- **East:** Single-Family
- **West:** Single-Family
- **South:** Single-Family

**ATTACHMENTS**

Exhibit A: Architectural Plan Set  
Exhibit B: Staff/Public Comments



*Figure 1: Vicinity Map*

**Case Summary:** Kristine Perpar of Shift Architects is requesting Design Review Board (DRB) approval of a Final Architecture Review (FAR) application for a new single-family home on Lot 802, 121 Arizona Street.

The lot is 38,768 square feet and is zoned Single Family. The lot has varied topography, with slopes over 30 percent in most of the southern half of the site. The lot slopes from south to north. To the south of the lot, Arizona Street slopes down from the east to the west. The highest elevations in the site are adjacent to Arizona Street in the southern portions of the lot.

The proposal includes a single-family development with approximately 4,674 square feet, including a 712 square foot garage and 116 square foot generator enclosure. The home is two stories with an attached garage. The primary structure faces north with the driveway and garage located behind the home. The home takes access from Arizona Street to the south. Although the primary structure faces north, it is assumed that the primary entry to the home would be from the rear (south).

*The DRB voted 6-1 to approve the initial application on October 05, 2023, which was a continuance from the August 3, 2023, regular DRB meeting, with specific conditions of approval. The sections below outline these conditions and how the applicant has revised their materials in response to the DRB's comments. This includes revisions to the lower patio and upper deck, the connector roof pitch, the addition of stone to the east elevation, and updates to the landscaping and civil plans.*

*Additionally, the DRB approved the following Specific Approvals and Design Variations during the Initial Architecture and Site Review.*

*Approved at the October 05, 2023, DRB meeting:*

*Design Review Board Design Variation*

- 1) *Road and driveway standards - retaining wall associated with driveway – Boulder wall height.*

*Design Review Board Specific Approvals:*

- 1) *Parking Regulations – tandem parking*

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by Italicized Text.***

*Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)*

<b><u>CDC Provision</u></b>	<b><u>Requirement</u></b>	<b><u>Proposed</u></b>
<b>Maximum Building Height</b>	40' (gable) Maximum	39.4'
<b>Avg. Building Height</b>	35' (gable) Maximum	26.89'
<b>Maximum Lot Coverage</b>	40% (15,507 sq ft)	12% (4,583 sq ft)
<b>General Easement Setbacks</b>	No encroachment	Encroachments in the GE
<b>Roof Pitch</b>		
Primary		6:12
Secondary		1:12
<b>Exterior Material</b>		

Stone	35% minimum	45% plus 4% attached stone wall (49% total)
Windows/Door Glazing	40% maximum	16%
Wood	n/a	31%
Steel	n/a	2%
<b>Parking</b>	2 interior/2 exterior	2 interior/ 2 exterior

*Please note, this Memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated October 05, 2023.*

**Design Review Board Specific Approvals (in addition to those granted in the Initial Review):**

- 1) *GE and Right-of-way Encroachment – Grading*
- 2) *Fascia material – double fascia wrapped w/ flat steel.*

**Chapter 17.3: ZONING AND LAND USE REGULATIONS**

**17.3.11 and 17.3.12: Building Height and Building Height Limits**

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates gable roof forms. Homes with a primary gable roof form are allowed a maximum building height of 40 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

*Staff: The proposed site has a gable roof form and is therefore granted a maximum height of 40' and an average height of 35'. According to Sheet A2.1 of Exhibit A, the applicant has calculated a maximum height of 39.4'. The average height changed from 27.19' during the initial to a calculated average height of 26.89', which is within the allowable height. Staff finds these criteria met.*

**17.3.13 Maximum Lot Coverage**

*Staff: The maximum lot coverage for single-family homes with lots under one acre is 40 percent. The applicant proposes lot coverage of 4,583 square feet (12 percent). The lot coverage calculation includes the proposed home, garage to roof overhand drip line, lower-level patio, generator enclosure and covered entry porch roof.*

*The applicant was to clarify that the lot coverage calculation includes all hardscaping, including patios, porches, and walkways. The applicant has verified that the hardscape area of the "Residence/Garage" is included in the calculations, and it meets the code requirements.*

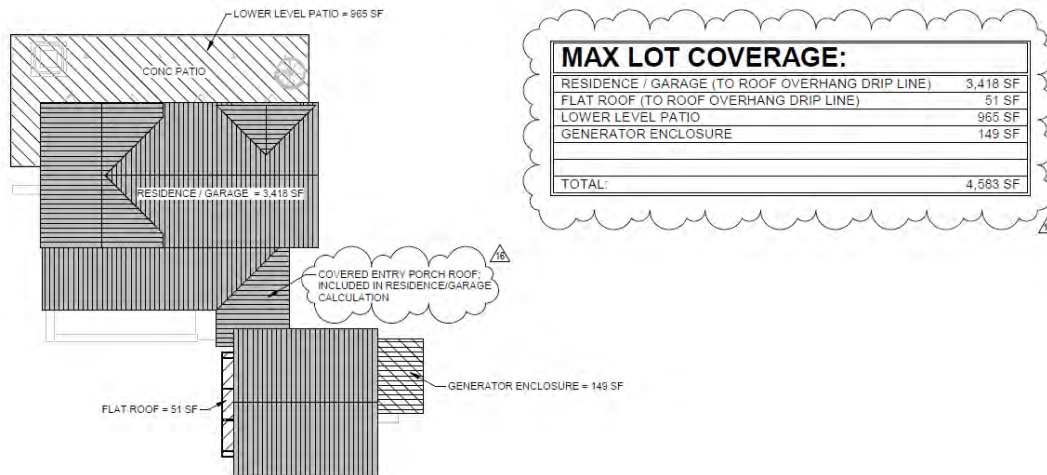


Figure 2 Lot Coverage Diagram

### 17.3.14: General Easement Setbacks

The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as driveways, ski access, natural landscaping, utilities, address monuments, and fire mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

*Staff: Lot 802 has a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:*

- *Driveway: The driveway and associated retaining wall are proposed to cross the southern GE to provide access from Arizona Street.*
- *Address monument: The address monument is proposed to be located adjacent to the driveway and within the GE.*
- *Utilities: There is an existing sewer along the northern property line, which would cross the GE to access the main house.*
- *Seasonal Drainage Swale: An existing seasonal drainage swale with no visible surface water runs north to south, crossing the GE along the southwestern portion of the site.*
- *An existing paved golf path runs east to west in the northern GE.*

*In addition to the allowed encroachments, the application proposes additional GE and right-of-way encroachments related to site grading changes and will require DRB specific approval.*

*Regardless of the encroachment, any development within the General Easement or road right of way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.*

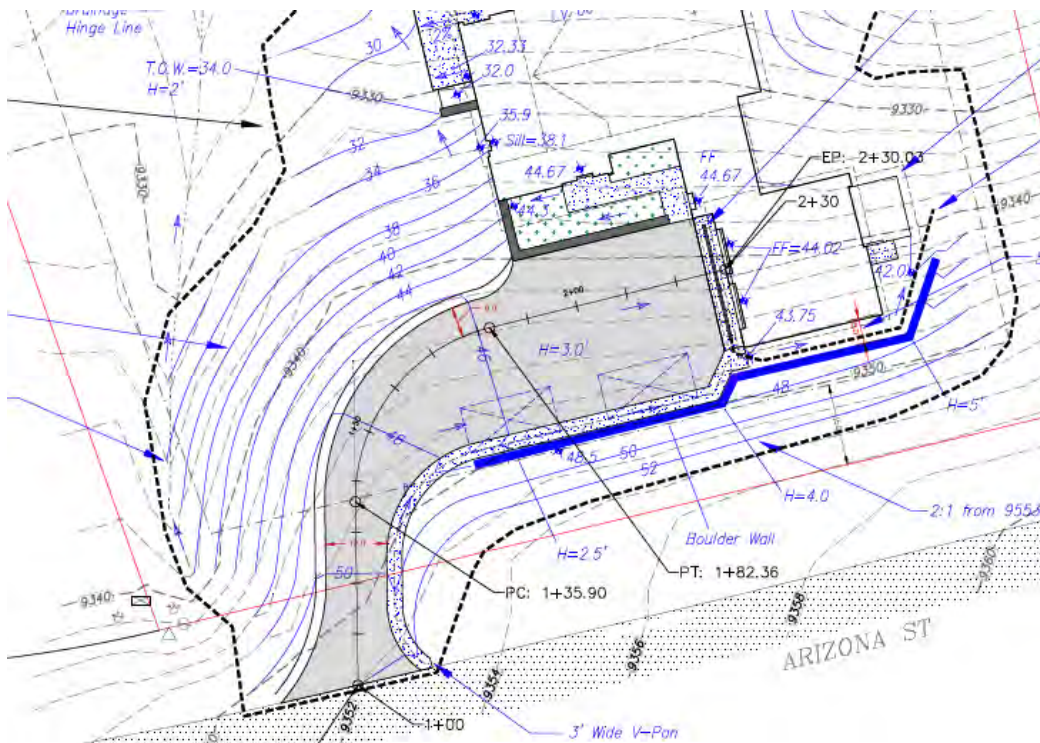


Figure 3 Grading - GE and Right-of-Way Encroachments

**Chapter 17.5: DESIGN REGULATIONS**

**17.5.4: Town Design Theme**

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

*Staff: Staff finds these criteria met.*

**17.5.5: Building Siting Design**

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

*Staff: The applicant proposes to build a retaining wall adjacent to the driveway that crosses the southern portion of the existing seasonal drainage swell. This could impede drainage flow from the south to the north (see Sheet A1.1). The applicant has updated the plan set to show grading that will allow proper drainage on the site.*

*A condition of the initial review required the applicant to provide a snow shed and storage plan for roofs, walkways and drives. The applicant has indicated a snow shed and storage plan and calculated total snowmelt to be 1,506 square feet, which includes a lower-level concrete patio, lower-level concrete stoop, covered entry porch, and concrete apron at the*

garage door. Snowmelt that exceeds 1,000 square feet in size requires payment of a mitigation fee per the REMP worksheet. This will be required for building permit.

The development does not propose grading, clearing, direct drainage, direct access or other direct impact onto the adjoining lots. The applicant provided a site grading plan shown on Sheet C2.1 and C2.2.

#### **17.5.6: Building Design**

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. Roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation is required. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

*Staff: Staff comments regarding each of the relevant subsections are below.*

##### Building Form:

*Staff: Staff finds these criteria met.*

##### Exterior Wall Form:

*Staff: The applicant has updated the proposed eastern elevation exterior wall with stone boulder materials that extend to the roofline, which gives a vertical and horizontal connection and ground the home to the site. This is consistent with the proposed development using stone boulder materials along the base of the building and vertical wood siding at the upper levels. Staff finds these criteria met.*

##### Roof Form:

*Staff: The roof design is a combination gable and flat roof form. The front of the home is framed by two gable roof eaves. The garage utilizes a gable roof with sloped shed roof over the structure that stores the generator. The applicant indicated the flat roof section that connects the primary structure to the garage has changed from a gravel ballast to a 1:12 metal roof.*

*The gable, shed and flat roof material will be made of standing seam black metal, which is a type and quality that will withstand high alpine climate conditions. The fascia material has been changed to double fascia wrapped w/ flat steel. Metal-soffit material and fascia material require specific approvals from the DRB.*

*The applicant has indicated snow retention systems (snow guards) associated with the gable and shed roof.*

##### Chimneys, Vent and Rooftop Equipment Design:

*Staff: The applicant has identified a direct vent gas fireplace on both levels of the home and updated the proposed structure to show snow guards associated with the roof. Staff finds these criteria met.*

##### Exterior Walls Materials and Color:



Sheet A2.2 outlines the material percentages, including stone, wood, steel, and glazing. The exterior wall structure utilizes stone, wood, and steel siding. Stone walls account for approximately 45 percent of exterior materials not including the attached retaining wall, which meets the minimum percent stone requirement. When including the attached retaining wall, the stone percentage increases to 49. Wood siding accounts for 31 percent of the exterior wall. Window and door glazing accounts for 16 percent of the exterior wall.

Glazing:

The applicant has noted the addition of two windows, one associated with the living room and one with the garage. The CDC requires the window area of the structure to be maximum 40 percent of the total building façade area. Window and door glazing accounts for 16 percent of the exterior wall materials, which meets this requirement.

Decks and Balconies:

The proposed building contains one lower-level patio and a ground level deck, both located on the front/north side of the home.

As a condition for final review, the columns at the deck were required to be revised to be more substantial and grounded. The applicant has revised the lower patio to extend further and have grade access. Additionally, the plan indicates a retaining wall associated with a concrete stoop at the base of the ground level deck. The applicant has also updated the upper deck to be set back 4 feet, so the upper deck and lower-level patio are stacked. The DRB should discuss if these changes adequately address the DRB's comments.



Figure 4 Updated North Elevation

Doors, Entryways and Windows:

Staff: The window schedule is updated to reflect two additional windows, one above the garage door and one associated with the south facing living room wall. Additionally, the application proposes full stone veneer that recesses back from the face by 5 inches which meets the CDC requirements. The door schedule does not appear to have any changed from the Initial Review. Staff finds these criteria met.



*Figure 5 Proposed new/amended windows*

**Required Surveys and Inspections:**

*Since the proposed development has a structure, grading and hardscape improvements within five (5) feet or less from the general easement setback the CDC requires “the developer to submit a monumented land survey prepared by a Colorado public land surveyor to ensure there are no above-grade or below-grade encroachments into the general easement setback prior to the Building Division conducting the required footing or foundation inspection as applicable.”*

*Since the proposed structure is within five feet or less of the maximum building height, a monumented land survey will need to be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.*

**17.5.7: Grading and Drainage Design**

*Staff: An updated grading plan is provided on Sheet C2.1 and C2.2. The updated plan shows the limit of disturbance has changed significantly from the initial review. The area of disturbance changes from approximately 17,223.13 to 20,527.04 square feet. The proposed grading utilizes a 2:1 cut technique downslope from the driveway and to the west of the proposed home. To the east of the proposed structure proposed grading utilizes a 2.5:1 cut technique. The north portion of the proposed grading utilizes a 3.5:1 cut technique. As previously discussed, the proposed grading does create grade changes in the right-of-way and in the General Easement. This was done to minimize the need for retaining walls.*

*The retaining wall associated with driveway and boulder wall height required a design variation and was approved by the DRB in the October 05, 2023, meeting. The retaining wall has been updated and no longer encroaches into the General Easement.*

*As a condition for final review, the applicant was to update the western concrete wall materials. The western concrete wall has been removed from the proposed site plan. Additionally, a small retaining wall on the western side of the structure has been added to the end of the proposed concrete stoop.*

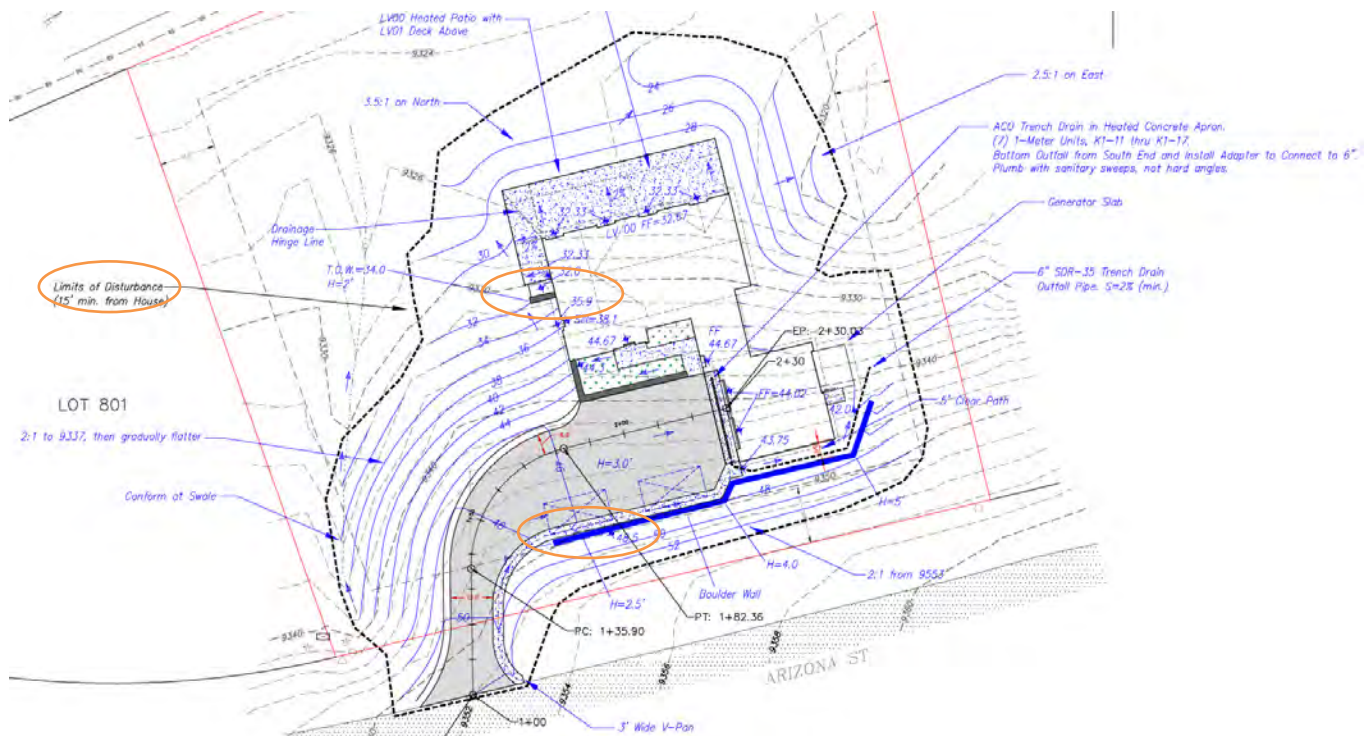


Figure 6 Grading – Civil plan showing Limit of Disturbance and new concrete wall

### 17.5.8: Parking Regulations

*Staff:* The site plan shows two enclosed interior parking spaces and two surface exterior parking spaces.

*Parking Regulations – tandem parking was approved by the DRB during the Initial Architecture and Site Review meeting. The applicant has updated the site to show more space allowing for the vehicles to move without tandem parking.*

### 17.5.9: Landscaping Regulations

*Staff:* The applicant provided an updated landscape and irrigation plan for final review on Sheet A1.2 – A1.3. However, the landscaping and irrigation plans are not updated with the most recent limit of disturbance, which has changed significantly from the initial review. An updated landscape and irrigation plan to show proposed ground cover of native grass and seeding in all areas of disturbance is required prior to permitting. Additionally, the Irrigation Plan does not clearly indicate the proposed irrigation specifications or locations. Prior to building permit, the applicant shall submit a revised Irrigation Plan that incorporates staff comments contained in this memo.

*The proposed development is updated to show the removal of existing evergreen and aspen trees, specifically in Zone 1; existing aspen and evergreen trees along the eastern and western edges of the site will remain. The applicant has proposed planting four bristlecone pine trees, and four Colorado blue spruce trees. The landscape plan indicates the location and species of proposed shrubs to include five native chokecherry shrubs, shrubs with lava rock mulch in Bed A and a rock garden.*

Notes from the Town Forester were provided during the first initial review (listed below). The applicant has updated materials to comply with conditions related to tree protection, removal, and installation.

*TMV Forrester Comments from Initial Review:*

*The Landscape plan needs to show tree protection fencing (installed at the dripline or beyond) around all trees that are planned for retention within the Limits of Disturbance. The plan needs a note stating, "No backfill, storage, or staging is permitted inside the tree protection area inside the tree protection fencing". In denoting the trees that will be removed, carefully consider space needed for excavation and construction, the backfill requirements that will be needed around the driveway and retaining wall, and the onsite space that may be needed for soil storage/staging. Tree protection fencing is required by the CDC to be installed at or beyond the crown dripline of each tree that will remain (tree protection zone) (CDCL 17.6.1.A.4.f.) The plan needs to state "the Town Forester must be contacted before excavation begins to mark or approve the trees to be removed and to approve the placement of the tree protection fencing. A tree removal permit must be obtained from the Town Forester before tree removal operations may begin." Tree protection fencing must be installed and approved by the town forester before excavation may begin.*

*The landscape plan needs to include a diagram that shows the proper installation of tree and shrubs with the trunk flare just above grade and a note needs to be included stating "all strapping, burlap, and wire basket material must be removed from the root ball of the plant materials during installation (CDC: 17.5.9.C.7). Tree planting specifications need to be noted and shall adhere to CDC specifications (CDC: 17.5.9.C.7).*

**17.5.11: Utilities**

*Staff: The applicant has provided utility information on Sheet C3 of Exhibit A. An existing sewer line runs parallel to the northern property line and is proposed to connect to the home by crossing the GE from the north. The applicant indicates that the Sewer Service crosses into Telski Property and any installation will require their approval. The applicant shall work with Telski to demonstrate an easement for the sewer service prior to building permit.*

*Electric, fiberoptic, and telephone conduits are to be installed below the boulder wall, crossing the GE from the south. Water will be sourced from an existing curb stop, crossing the GE from the south.*

*The plan indicates the meter locations must be approved by utility providers – San Miguel Power Association for power and Black Hills Energy for gas.*

*TFPD approval with the following conditions:*

- 1) A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.*
- 2) An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.*
- 3) Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.*
- 4) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.*

- 5) *Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.*
- 6) *Knox box recommended at the main entrance on the address side for emergency access.*

*Public works: The applicant shall field verify the existing water and sewer tap with Public Works.*

### **17.5.12: Lighting Regulations**

*Staff: The applicant has provided an updated lighting plan to show five exterior wall step lights in the lower-level patio and three wall/step lights on the ground level deck.*

*The applicant proposes two exterior lighting types:*

- *X1: Exterior Wall Sconce that lists 611 delivered lumens (X1 model changed from initial review).*
- *X2: Exterior LED Wall/Step Light that lists 68 lumens.*



*Figure 8 Exterior Wall Sconce*



*Figure 7 Exterior LED Wall/Step*

### **17.5.13: Sign Regulations**

*Staff: The applicant provided material and dimension information for the address monument in the initial review. No additional changes are proposed, and Staff finds these criteria met.*

## **Chapter 17.6: SUPPLEMENTARY REGULATIONS**

### **17.6.1: Environmental Regulations**

*Staff: The applicant has provided a Fire Mitigation Plan on Sheet C5 of Exhibit A showing the indicated Fire Mitigation Area Zones. The Mitigation Plan also includes Wildfire Mitigation notes, referencing Zone 2 fire protection and the intent to meet all fire mitigation requirements, including crown to crown tree spacing.*

*The removal of existing deciduous and evergreen trees in Zone 1 and proposed planting is included on the Landscape Plan sheet A1.2. Additionally, the required notes recommended by the Town Forrester are included in the Landscape Plan.*



Figure 9 Fire Mitigation Plan

### 17.6.6: Roads and Driveway Standards

*Staff: The driveway is located in a steep area with most of the site over 30 percent slope. The driveway access runs north to south and then curves east to the garage. The driveway profile does not appear to have changed from the initial.*

*As previously mentioned, the retaining boulder wall proposed along the east side of the driveway was changed and no longer extends into the GE.*

*As a condition for final, the applicant was to clarify the boulder wall diagrams displayed on Sheet C1. The applicant has updated the diagrams to show a maximum height of 6 to 10 feet and removed the labels indicating the location of the "Cortina property line and ski trail." The boulder wall height exceeds the allowable 5 feet maximum for retaining walls associated with driveways, which the DRB approved during the initial review.*

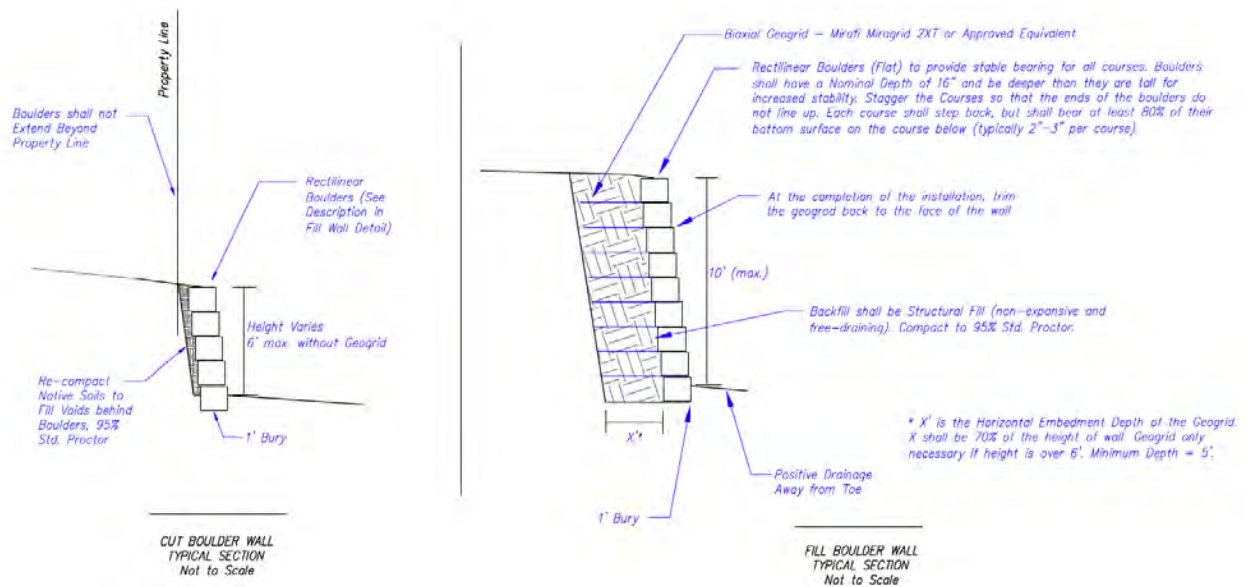


Figure 10 Retaining wall (Cut Boulder Wall, left; Fill Boulder Wall, right)

### 17.6.8: Solid Fuel Burning Device Regulations

*Staff: The applicant has identified a direct vent gas fireplace on both levels of the home and meet the requirements of the CDC.*

## Chapter 17.7: BUILDING REGULATIONS

### 17.7.20: Construction Mitigation

*Staff: An updated construction mitigation plan is provided on Sheet C4 of Exhibit A and shows the proposed fencing perimeter and silt fencing, straw wattles, material storage and laydown yard, a construction dumpster, bear proof poly-cart, port-o-john toilet and construction parking.*

*Construction parking identifies three parking spaces in the current driveway, which is an area that won't be available for use until the initial stages of construction are complete. The applicant may need to coordinate with the Town for the use of roadside parking permits. The use of a crane is not identified in the plan.*

**Staff Recommendation:** Staff recommends approval of the final architectural review with conditions.

**Staff Note:** *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

### Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

### Approval:

*I move to approve the Final Architecture Review for a new single-family home located on Lot 802, based on the evidence provided in the staff memo of record dated October 23, 2023, and the findings of this meeting.*

*With the following specific approvals:*

- GE and Right-of-way Encroachment – Grading*
- Fascia material – double fascia wrapped w/ flat steel.*

*And, with the following conditions:*

- 1) Prior to building permit, the applicant shall submit a revised landscape plan to show proposed ground cover of native grass and seeding in all areas of disturbance.*
- 2) Prior to building permit, the applicant shall submit a revised Irrigation Plan that incorporates staff comments contained in this memo.*
- 3) Prior to building permit, the applicant shall field verify existing water and sewer tap with Public Works.*
- 4) Prior to building permit, the applicant shall work with Telski to demonstrate an easement for the sewer service.*
- 5) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted and deemed complete 2023.*
- 6) Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE and the road right of way.*
- 7) A Knox Box for emergency access is recommended.*
- 8) Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
- 9) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*
- 10) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum and average building height.*
- 11) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
  - b. Wood that is stained in the approved color(s);*
  - c. Any approved metal exterior material;*
  - d. Roofing material(s); and*
  - e. Any other approved exterior materials**
- 12) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes), whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*



Date: October 16, 2023

By: Kristine Perpar, Architect

Property address:

121 Arizona Street; Lot 802  
Telluride, CO 81435

**Sent to:** MV DRB

**Re:** Final Design Review Board Revisions

Dear Mountain Village Design Review Board,

The following items have been updated.

1. Lower patio has been revised to have grade access.
2. Upper deck has been set back 4' from the lower deck.
3. The connector roof has been updated to a 1:12 with a metal roof.
4. Stone has been to the East Elevation.
5. Landscape has been updated per the requests from the preliminary review.
6. Added a step light on the lower and upper decks.
7. Update civil drawings to reflect all comments from the preliminary review.

Sincerely,



Kristine Perpar

## GENERAL NOTES:

### CONTRACT DOCUMENTS:

CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, DETAIL BOOK AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTED WITH "N.T.S." DENOTES NOT TO SCALE.

### ORGANIZATION:

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), CIVIL DRAWINGS (C SHEETS), STRUCTURAL (S SHEETS), MECHANICAL AND PLUMBING (M SHEETS), ELECTRICAL (E SHEETS) AND LIGHTING (LTG SHEETS).

### CODE COMPLIANCE:

ALL WORK, MATERIALS AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

### INTENT:

THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

### COORDINATION:

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

### SUBSTITUTIONS:

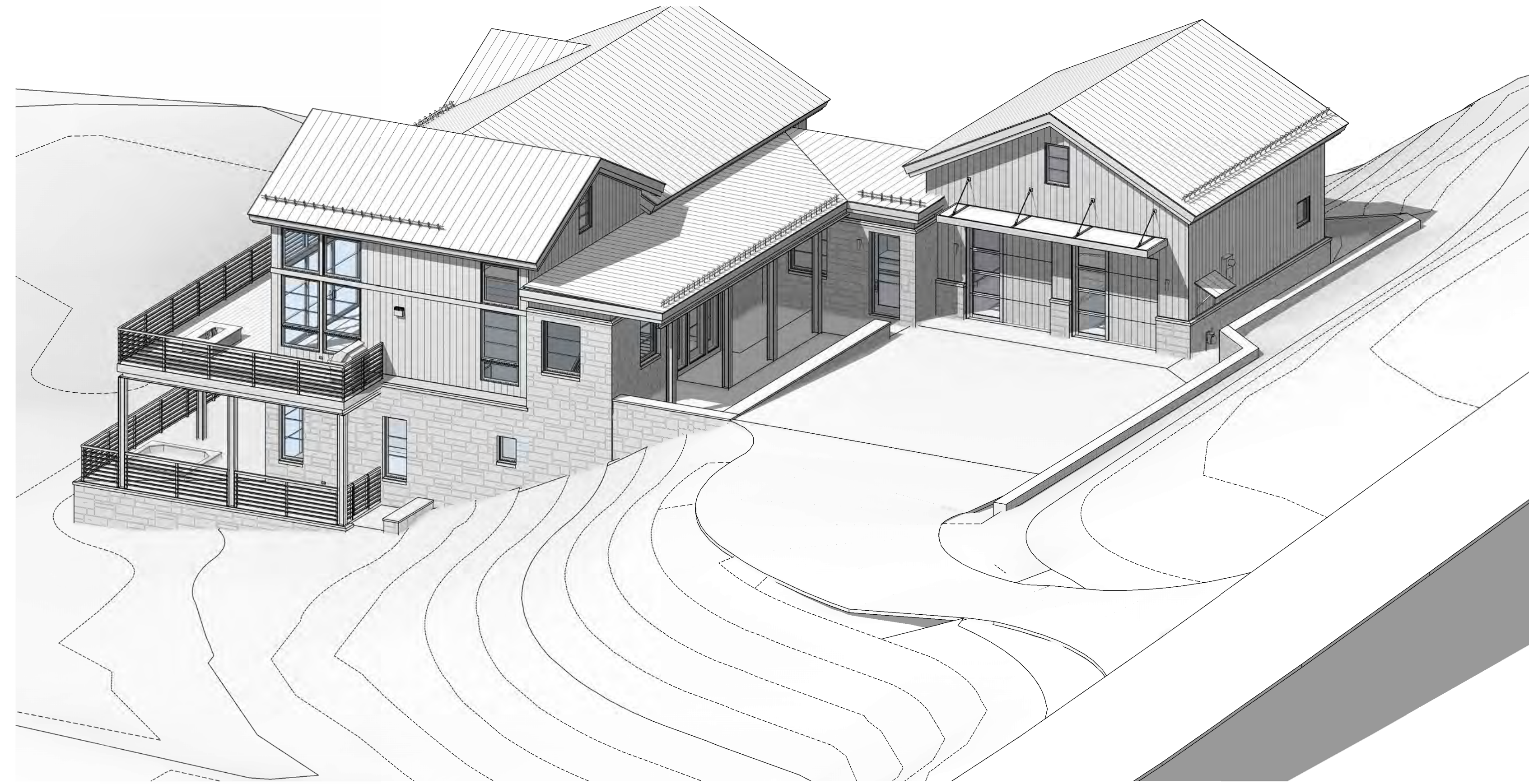
ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED-OUT-BY-TRADE-NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

### SHOP DRAWINGS:

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS. SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "SUBSTITUTIONS" ABOVE.

### SAFETY & PROTECTION OF WORK:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.



### REVISIONS

NO.	DATE	DESC.
2	09.11.23	Revised max lot coverage
12	09.11.23	Revised roof ht calcs due to roof re-design and raising project 2'-0"
17	10.10.23	Revised lot coverage calculation due to revised lower lot grade
23	10.10.23	Revised average roof height calculation due to change in covered entry porch roof assembly

## PROJECT CODE INFORMATION

ZONING:	SINGLE-FAMILY RESIDENCE (MV LOT 802)
BUILDING CODE:	IRC 2018 AND ALL APPLICABLE CODES AS REQUIRED BY THE TOWN OF MOUNTAIN VILLAGE
DESCRIPTION:	MULTI-STORY; SINGLE FAMILY DWELLING
OCCUPANCY CLASSIFICATION:	R-3
AUTOMATIC FIRE SPRINKLER:	MONITORED NFPA 13D, 2018 IFC AND TFPD AMENDED CODES SPRINKLER SYSTEM REQUIRED
NATIONAL FIRE ALARM & SIGNALING CODE:	MONITORED NFPA 72, 2018 IFC, AND TFPD AMENDED CODES ALARM SYSTEM REQUIRED
EMERGENCY ACCESS:	PROVIDE KNOX BOX FOR EMERGENCY ACCESS
FIRE RESISTIVE RATING:	GARAGE - 1 HR MECHANICAL - 1 HR
CARBON MONOXIDE DETECTION:	PROVIDED MONITORED DETECTION IN ACCORDANCE WITH 2018 IFC 915.2.1
ELECTRIC VEHICLE CHARGING STATION / OUTLET:	INSTALLED IN ACCORDANCE WITH NFPA 70 AND LOCATED WITHIN 5 FT OF THE GARAGE DOOR

## PROJECT INFORMATION

PROPOSED FLOOR AREA:	1,882.09 SF	MAX BUILDING HEIGHT:	40'-0"
LOWER LEVEL	1,963.97 SF	ALLOWABLE	
GROUND LEVEL		PROPOSED	39.40'
TOTAL FLOOR AREA:	3,846.06 SF	MAX AVERAGE HEIGHT:	35'-0"
GARAGE	711.53 SF	ALLOWABLE	
GENERATOR ENCLOSURE	116 SF	PROPOSED	26.89'
TOTAL:	4,673.59 SF		
LOT AREA:	.897 ACRES (38,768.4 SF)	PARKING REQUIRED:	4 SPACES PROVIDED (4 REQUIRED) (2 ENCLOSED IN GARAGE) (2 SURFACE SPACE)
LOT COVERAGE:	15,507.36 SF (40% MAX)		
ALLOWABLE	4,583 SF (12%)		
PROPOSED			

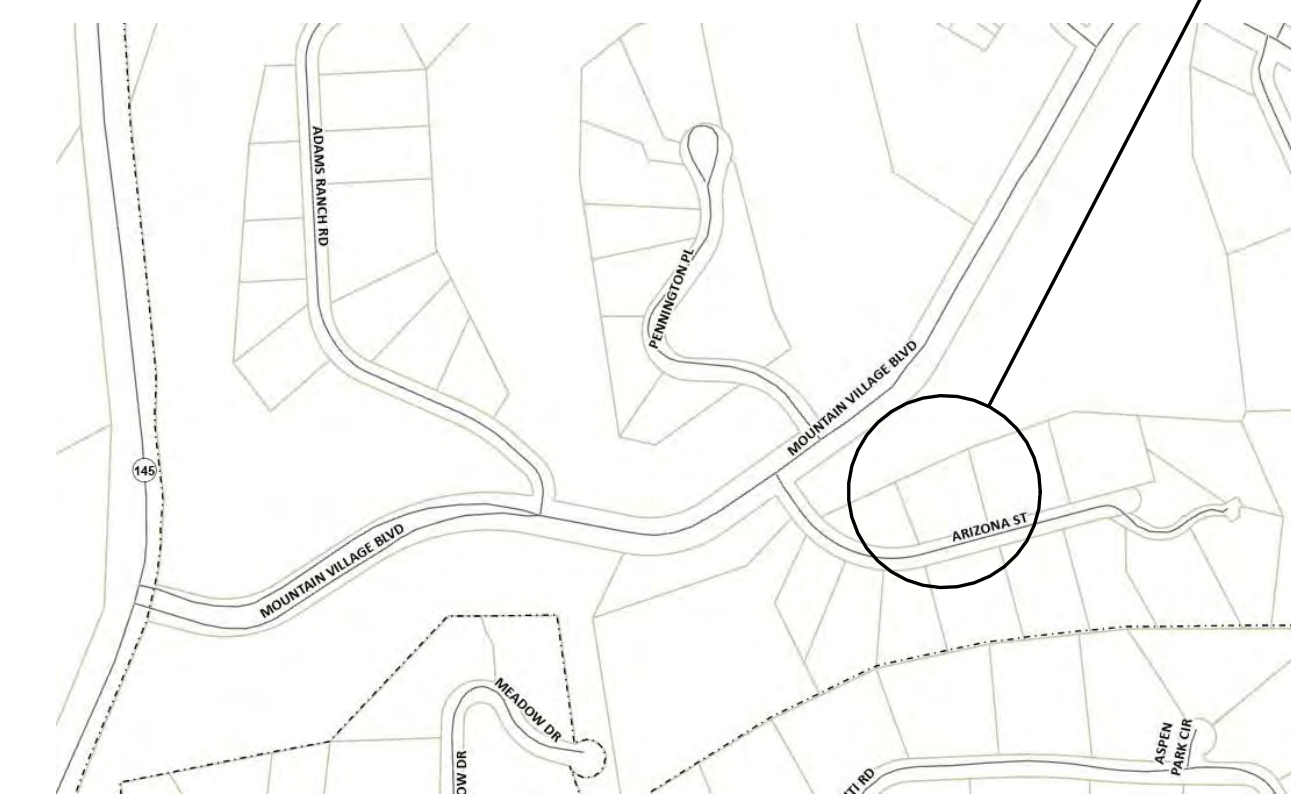
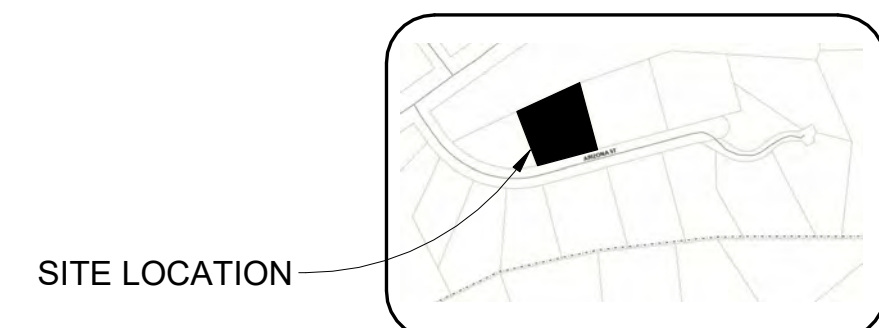
SEE SHEET A2.1 FOR MAXIMUM BUILDING HEIGHT CALCULATIONS

## SHEET INDEX

<b>GENERAL</b>	G1.0 COVER SHEET
	G1.1 ABBREVIATIONS AND LEGENDS
<b>CIVIL</b>	C1 NOTES
	C2.1 SITE GRADING WITH DRIVEWAY PROFILE
	C2.2 SITE GRADING WITH DRIVEWAY PROFILE / TREES DISPLAYED
	C3 UTILITY PLAN
	C4 CONSTRUCTION MITIGATION PLAN
	C5 FIRE MITIGATION PLAN
<b>SURVEY / MAPPING</b>	0 EXISTING CONDITIONS PLAN
<b>ARCHITECTURAL</b>	A1.1 ARCHITECTURAL SITE PLAN
	A1.2 LANDSCAPE PLAN
	A1.3 IRRIGATION PLAN
	A2.0 SITE 40' PARALLEL OFFSET
	A2.1 MAX BUILDING HEIGHT
	A2.2 MATERIAL CALCULATIONS
	A3.1 FLOOR PLAN
	A3.2 FLOOR PLAN
	A3.3 ROOF PLAN
	A4.0 AXONS
	A4.1 EXTERIOR ELEVATIONS
	A4.2 EXTERIOR ELEVATIONS
	A4.3 EXTERIOR ELEVATIONS
	A4.4 PRESENTATION ELEVATIONS
	A6.1 WALL SECTIONS
	A8.1 DOOR SCHEDULE
	A8.2 WINDOW SCHEDULE
LTG.1	EXTERIOR LIGHTING PLANS

## VICINITY MAP

LOT 802  
121 ARIZONA ST



## PROJECT TEAM

<b>OWNER:</b>	NELSON EDWARD R III AND NELSON LAURA A AS JT 6205 KENWICK AVE FORT WORTH, TX 76116	<b>SURVEYOR:</b>	FOLEY ASSOCIATES, INC. 125 W. PACIFIC, SUITE B-1 P.O. BOX 1385 TELLURIDE, CO 81435 P. 970.728.6153 F. 970.728.6050	<b>MECHANICAL:</b>	HUGHES CONSULTING ENGINEERING, PA DIMITRI MERRILL, P.E. TELLURIDE, CO 81435 P. 970.239.1949 F. 785.842.2492 dimitri@hce-pa.com
<b>ARCHITECT:</b>	SHIFT ARCHITECTS, LLC KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com	<b>CIVIL:</b>	UNCOMPAGRE ENGINEERING LLC DAVID BALLODE P.E. PO BOX 3945 TELLURIDE, CO 81435 P. 970.729.0683 dbalode@msn.com	<b>LANDSCAPING:</b>	SHIFT ARCHITECTS, LLC KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com
<b>GENERAL CONTRACTOR:</b>	BILL WARD CONSTRUCTION, LLC BILL WARD PO BOX 3422 TELLURIDE, CO 81435 P. 970.708.1502 F. 970.728.4247 bill@billwardconstruction.com	<b>STRUCTURAL:</b>	ANVIL ENGINEERING, LLC CHRIS BURNETT, P.E. 3247 E. 7TH AVENUE DURANGO, CO 81301 P. 970.988.2576 chris@anvil-EFD.com		

### SYMBOL LEGEND

**SECTION CUT**  
SECTION NO. (1)  
SHEET NO. (A5.1)

**WALL SECTION**  
REFERENCE NO. (1)  
SHEET NO. (A6.1)

**DETAIL CUT**  
REFERENCE NO. (1)  
SHEET NO. (A7.1)

**EXTERIOR ELEVATION**  
REFERENCE NO. (1)  
SHEET NO. (A4.1)

**ROOM NAME**  
ROOM NAME (101)  
ROOM NO. (101)

**WINDOW MARK** (A)

**DOOR MARK** (101)

**REFERENCE GRID LINE** (A)

**FLOOR OR SPOT ELEVATION** (NAME, ELEVATION)

**DRAWING REVISION** (1)

**INTERIOR ELEVATION**  
REFERENCE NO. (1, 2, 3, 4)  
SHEET NO. (A9.1)

**DETAIL REFERENCE**  
REFERENCE NO. (1)  
SHEET NO. (A7.1)

**WALL TYPE TAG** (W1)

**NORTH ARROW** (N)

**BREAK LINE**

**CENTERLINE**

**HIDDEN LINE**

**STAIR GOING DOWN** (DN)

**STAIR GOING UP** (UP)

### MATERIAL LEGEND

**STONE VENEER**

**BRICK FACING**

**BARNWOOD SIDING**

**8" VERTICAL WOOD BOARDS, LAPPED**

**8" HORIZONTAL WOOD BOARDS**

**METAL PANEL SIDING**

**METAL SHINGLE SIDING**

**METAL VERTICAL PANEL SIDING**

**METAL HORIZONTAL PANEL SIDING**

**CORRUGATED METAL SIDING**

**STANDING SEAM ROOFING**

**CORRUGATED METAL ROOFING**

**CONCRETE**

**FLAGSTONE**

**GYPSUM BOARD**

**WOOD FLOORING**

**STONE TILE**

**CARPET**

**CERAMIC TILE**

### ABBREVIATIONS

AC	Acres
AFF	Above Finished Floor
AGG	Aggregate
AL	Aluminum
BM	Bench Mark
BSN	Basin
BTH	Bath
CL	Centre Line
CJ	Control Join
CLST	Closet
CP	Carpet
CT	Ceramic Tile
DIA	Diameter
DP	Downpipe
DW	Dishwasher
EX	Existing
FF	Finished Floor
FHR	Fire Hose Reel
FP	Flue Pipe
GAL	Galvanized
GL	Ground Line
GFI	Ground Fault Circuit Interrupter
GPO	General Power Outlet
IBC	International Building Code
MDF	Medium Density Fibreboard
MR	Metal Roofing
MSB	Main Switch Board
NTS	Not To Scale
PFC	Parallel Flanged Steel Channel
PL	Plastic Laminate
PT	Paint
RC	Reinforced Concrete
REF	Refrigerator
RL	Reduced Level
S	Sanitary Drainage Pipe
SHR	Shower
SK	Sink
SN	Stone
SS	Stainless Steel
ST	S Trap
STF	Steel Trowel Finished Concrete
SW	Stormwater Drainage Line
T&G	Tongue and Grooved
TO	Top Of
TPH	Toilet Paper Holder
TR	Tiled Roofing
TSF	Timber Strip Floor
TYP	Typical
U	Urinal
UOS	Unless Otherwise Specified
V	Valley
VIF	Verify In Field
VP	Vent Pipe
WC	Water Closet (Toilet)
WM	Washing Machine
WPM	Water Proof Membrane

### WALL LEGEND

**WOOD STUD FRAMING EXTERIOR**

**WOOD STUD FRAMING INTERIOR PARTITION**

**1 HOUR FIRE WALL**

**STONE VENEER**

**WOOD SIDING**

**CONCRETE FOUNDATION**

### DIMENSIONING LEGEND

- GRIDS ALIGN WITH OUTSIDE FACE OF FOUNDATION WALL AND OUTSIDE FACE OF STUD AT EXTERIOR STRUCTURAL FRAME WALL.
- WALLS AND PARTITIONS SHOWN IN PLAN INCLUDE FINISH MATERIALS.
- DIMENSIONS ARE SHOWN FROM GRID TO GRID, GRID TO FACE OF STUD, AND FACE OF STUD TO FACE OF STUD AT INTERIOR PARTITIONS, TYPICAL.
- INTERIOR PARTITIONS FLUSH FACE TO FACE WITH THEIR EXTERIOR COUNTERPARTS, TYPICAL.

**PROJECT DATUM LEGEND**

ACTUAL ELEVATION ABOVE SEA LEVEL = PROJECT 0'-0"

T.O. Slab Ground Lvl  
T.O. Ply Ground Lvl  
T.O. Gyp Ground Lvl  
XXXX'X" USGS  
0'-0" PROJECT ELEV

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:  
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE  
NATURAL GAS: BLACK HILLS ENERGY  
POWER: SAN MIGUEL POWER  
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

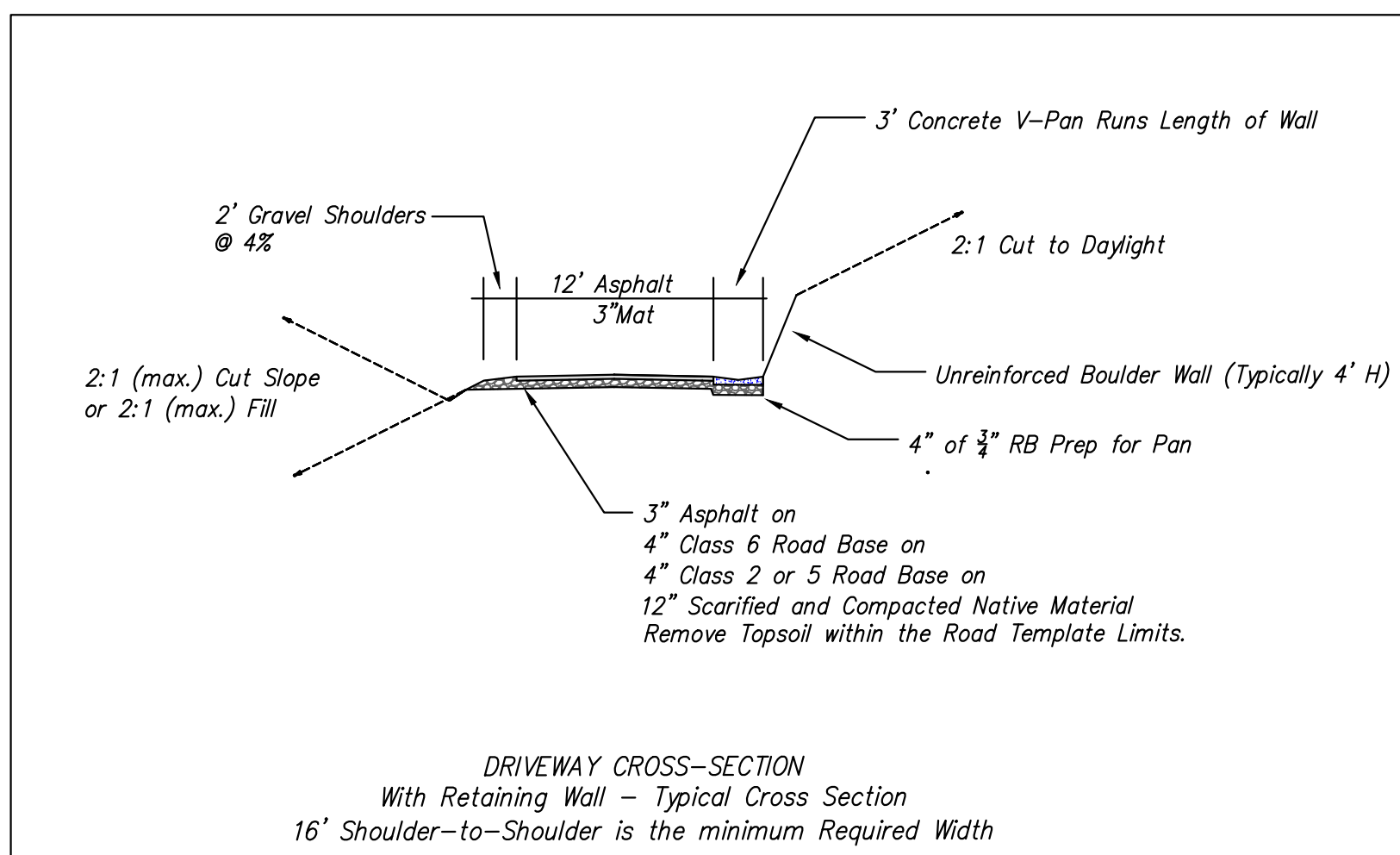
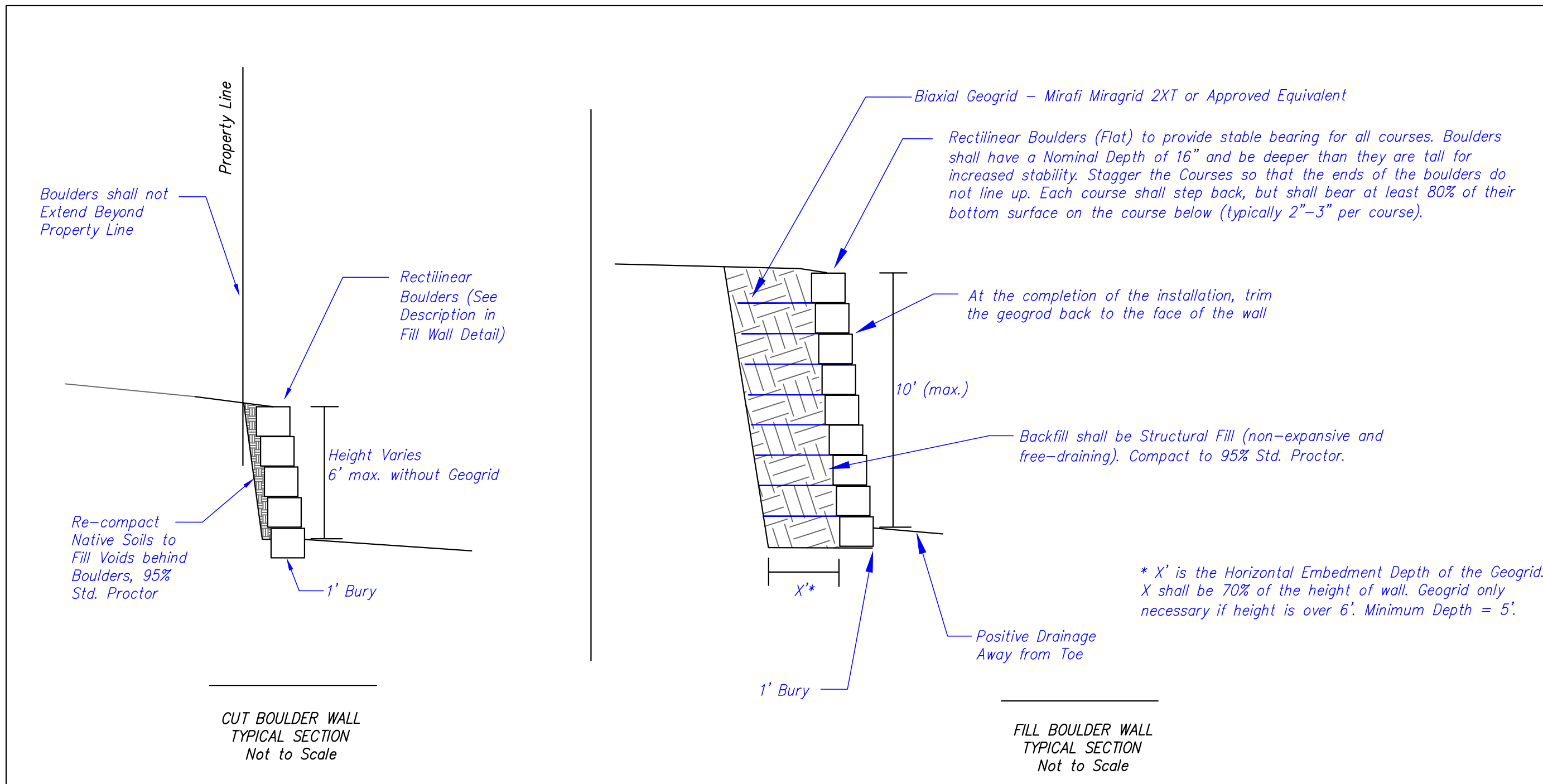
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



**ACO DRAIN**  
**KlassikDrain - K100 Galvanized steel edge rail channel system**

One meter channel: 30.32" (1 meter)  
Half meter channel: 15.16" (0.5 meter)

Knockouts included on every 5th channel

**Type K901G in-line catch basin**

19.69" (0.5 meter) x 19.69" (0.5 meter)  
22.67" (0.9 meter) x 19.69" (0.5 meter)  
19.69" (0.5 meter) x 19.69" (0.5 meter)

Total capacity = 10.49 gallons

Outlet	Product	Outlet size (inch)	Invert Depth	GPM	CFS	End Cap
B	Bottom outlet - K20	4" round	1.94"	158	1.24	1.94"
	Bottom outlet - K40	4" round	1.18"	187	1.42	1.18"
	Bottom outlet - K80	6" oval	1.94"	158	1.24	1.94"
	Bottom outlet - K40	6" oval	1.18"	306	2.38	1.18"
E	End outlet - K20	4" round	1.94"	158	1.24	1.94"
	End outlet - K40	4" round	1.18"	187	1.42	1.18"
	End outlet - K80	6" oval	1.94"	158	1.24	1.94"
	End outlet - K40	6" oval	1.18"	306	2.38	1.18"
C	K1-20x4 6" outlet cap	6" round	1.94"	158	1.24	1.94"
	K1-40x6 6" outlet cap	6" round	1.18"	264	2.03	1.18"
	Type K1-901G	4" round	1.94"	258	1.99	1.94"
	Type K1-901G	4" round	1.18"	258	1.99	1.18"
D	Type K1-901G	4" round	1.94"	258	1.99	1.94"
	Type K1-901G	4" round	1.18"	258	1.99	1.18"
	Type K1-901G	4" round	28.47"	263	2.01	28.47"
	Type K1-901G	4" round	19.26"	227	1.71	19.26"
E	Type K1-901G	4" round	19.26"	227	1.71	19.26"
	Type K1-901G	4" round	28.47"	263	2.01	28.47"
	Type K1-901G	4" round	27.94"	255	1.94	27.94"
	Type K1-901G	4" round	19.26"	227	1.71	19.26"

Note: These are the peak flow rates at the specified outlet. NOT inverter flow rates. Catch basins have more than one outlet. Using back-bayout requires flow.

April 2018 www.ACOdrain.us

**ACO DRAIN**  
**KlassikDrain - K100 Galvanized steel edge rail channel system**

Description	Part No.	Invert (inch)	Weight (lb)	Description	Part No.	Invert (inch)	Weight (lb)
K1-00 Neutral channel - 30.32" (1m)	74041	3.94	100	K1-20 Sloped channel - 30.32" (1m)	74028	9.45	240
K1-10 Sloped channel - 30.32" (1m)	74041	4.33	100	K1-30 Sloped channel - 30.32" (1m)	74029	9.84	250
K1-20 Sloped channel - 30.32" (1m)	74042	4.33	110	K1-40 Sloped channel - 30.32" (1m)	74030	9.84	250
K1-30 Sloped channel - 30.32" (1m)	74043	4.33	115	K1-50 Sloped channel - 30.32" (1m)	74031	10.24	250
K1-40 Sloped channel - 30.32" (1m)	74044	4.72	120	K1-60 Sloped channel - 30.32" (1m)	74032	10.24	250
K1-50 Sloped channel - 30.32" (1m)	74045	4.92	125	K1-70 Sloped channel - 30.32" (1m)	74033	10.48	250
K1-60 Sloped channel - 30.32" (1m)	74046	5.12	130	K1-80 Sloped channel - 30.32" (1m)	74034	10.68	270
K1-70 Sloped channel - 30.32" (1m)	74047	5.31	135	K1-90 Sloped channel - 30.32" (1m)	74035	10.68	270
K1-80 Sloped channel - 30.32" (1m)	74048	5.51	140	K1-00 Neutral channel - 19.69" (0.5m)	74041	3.94	100
K1-90 Sloped channel - 30.32" (1m)	74049	5.71	145	K1-10 Sloped channel - 19.69" (0.5m)	74042	4.33	100
K1-00 Neutral channel - 30.32" (1m)	74041	3.94	100	K1-20 Sloped channel - 19.69" (0.5m)	74043	4.33	100
K1-10 Sloped channel - 30.32" (1m)	74042	4.33	100	K1-30 Sloped channel - 19.69" (0.5m)	74044	4.72	100
K1-20 Sloped channel - 30.32" (1m)	74043	4.33	110	K1-40 Sloped channel - 19.69" (0.5m)	74045	4.92	100
K1-30 Sloped channel - 30.32" (1m)	74044	4.72	120	K1-50 Sloped channel - 19.69" (0.5m)	74046	4.92	100
K1-40 Sloped channel - 30.32" (1m)	74045	4.92	125	K1-60 Sloped channel - 19.69" (0.5m)	74047	5.12	100
K1-50 Sloped channel - 30.32" (1m)	74046	5.12	130	K1-70 Sloped channel - 19.69" (0.5m)	74048	5.31	100
K1-60 Sloped channel - 30.32" (1m)	74047	5.31	135	K1-80 Sloped channel - 19.69" (0.5m)	74049	5.51	100
K1-70 Sloped channel - 30.32" (1m)	74048	5.51	140	K1-90 Sloped channel - 19.69" (0.5m)	74050	5.71	100
K1-80 Sloped channel - 30.32" (1m)	74049	5.71	145	K1-00 Neutral channel - 19.69" (0.5m)	74041	3.94	100
K1-90 Sloped channel - 30.32" (1m)	74050	5.91	150	K1-10 Sloped channel - 19.69" (0.5m)	74042	4.33	100
K1-00 Neutral channel - 19.69" (0.5m)	74041	3.94	100	K1-20 Sloped channel - 19.69" (0.5m)	74043	4.33	100
K1-10 Sloped channel - 19.69" (0.5m)	74042	4.33	100	K1-30 Sloped channel - 19.69" (0.5m)	74044	4.72	100
K1-20 Sloped channel - 19.69" (0.5m)	74043	4.33	110	K1-40 Sloped channel - 19.69" (0.5m)	74045	4.92	100
K1-30 Sloped channel - 19.69" (0.5m)	74044	4.72	120	K1-50 Sloped channel - 19.69" (0.5m)	74046	4.92	100
K1-40 Sloped channel - 19.69" (0.5m)	74045	4.92	125	K1-60 Sloped channel - 19.69" (0.5m)	74047	5.12	100
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K1-60 Sloped channel - 19.69" (0.5m)	74047	5.12	135	K1-80 Sloped channel - 19.69" (0.5m)	74049	5.51	100
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K1-30 Sloped channel - 19.69" (0.5m)	74044	4.72	120	K1-50 Sloped channel - 19.69" (0.5m)	74046	4.92	100
K1-40 Sloped channel - 19.69" (0.5m)	74045	4.92	125	K1-60 Sloped channel - 19.69" (0.5m)	74047	5.12	100
K1-50 Sloped channel - 19.69" (0.5m)	74046	4.92	130	K1-70 Sloped channel - 19.69" (0.5m)	74048	5.31	100
K1-60 Sloped channel - 19.69" (0.5m)	74047	5.12	135	K1-80 Sloped channel - 19.69" (0.5m)	74049	5.51	100
K1-70 Sloped channel - 19.69" (0.5m)	74048	5.31	140	K1-90 Sloped channel - 19.69" (0.5m)	74050	5.71	100
K1-80 Sloped channel - 19.69" (0.5m)	74049	5.51	145				
K1-90 Sloped channel - 19.69" (0.5m)	74050	5.71	150				

**Specifications Information**

- This channel offers a bottom knockout feature. 4" round or 6" oval.
- Insert channel end for the back end, for the back end depth add 20mm (3/4") to invert depth.
- To calculate the overall channel depth add 20mm (3/4") to invert depth.
- This catch basin includes a polymer concrete top, removable QuickLock locking bar, back bucket and plastic base. Select an appropriate grade.
- This catch basin includes a polymer concrete top, removable QuickLock locking bar, deep trash bucket, plastic rear and plastic base. Select an appropriate grade.

Material	Water absorption	0.5%	used by the manufacturer to ensure maximum homogeneity between polymer concrete body and end cap. Each edge rail shall be at least 3/32" (2.5mm) thick.
Concrete	Water absorption	0.5% <td>used by the manufacturer to ensure maximum homogeneity between polymer concrete body and end cap. Each edge rail shall be at least 3/32" (2.5mm) thick.</td>	used by the manufacturer to ensure maximum homogeneity between polymer concrete body and end cap. Each edge rail shall be at least 3/32" (2.5mm) thick.
Steel	Galvanized	YES	
Steel	Galvanized	YES	
Steel	Galvanized	YES	

**ACO Specification Information**

- The surface drainage system shall be ACO Drain.
- The nominal clear opening shall be 4" (100mm).
- The grate shall be manufactured with either an inset slope of 1/8" per foot for details. After removal of grate 20% of the grate shall remain and shall be used for maintenance. The grate shall be manufactured with either an inset slope of 1/8" per foot for details. After removal of grate 20% of the grate shall remain and shall be used for maintenance.
- The grate shall be manufactured with either an inset slope of 1/8" per foot for details. After removal of grate 20% of the grate shall remain and shall be used for maintenance.

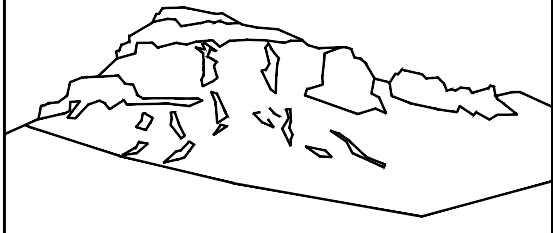
ACO, Inc.  
Northwest Sales Office: 6010 Proctor Drive, Denver, CO 80239  
West Sales Office: 2511 Proctor Drive, Fort Collins, CO 80526  
Southwest Sales Office: 4211 Proctor Drive, Fort Collins, CO 80526  
Electronic Contact: info@acodrain.us, www.ACOdrain.us

April 2018 www.ACOdrain.us

Trench Drain - Cut Sheet 1

Trench Drain - Cut Sheet 2

Trench Drain - Grate



Uncompahgre Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

**SUBMISSIONS:**

SUBMITTAL	2023-02-21
SUBMITTAL	2023-03-27
DRB	2023-09-11
DRB	2023-10-16

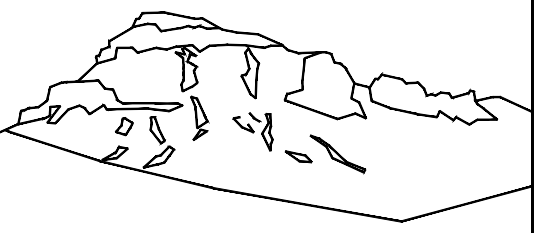
Nelson Residence  
Lot 802  
Arizona Street  
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

**SUBMISSIONS:**

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DRB	2023-10-16

Nelson Residence  
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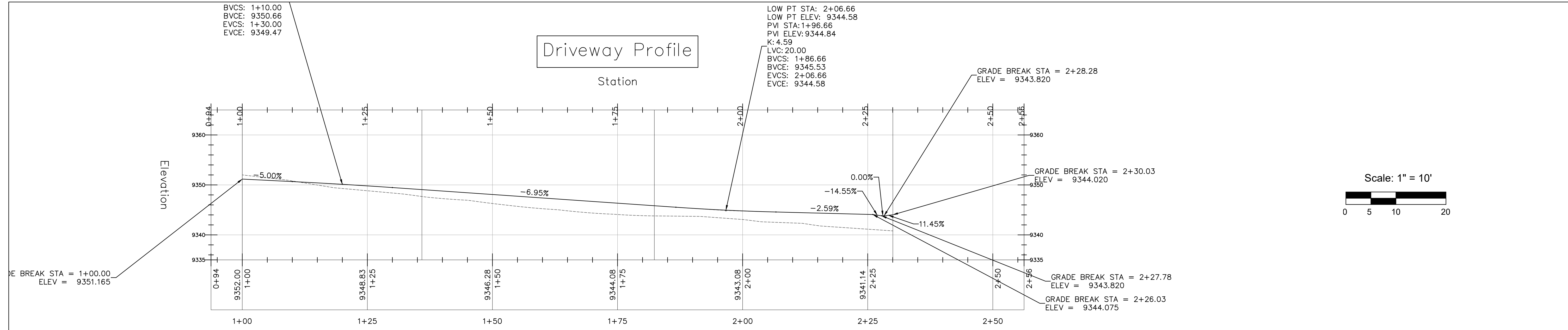
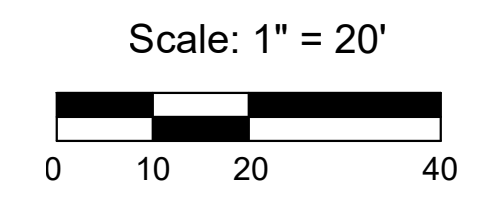
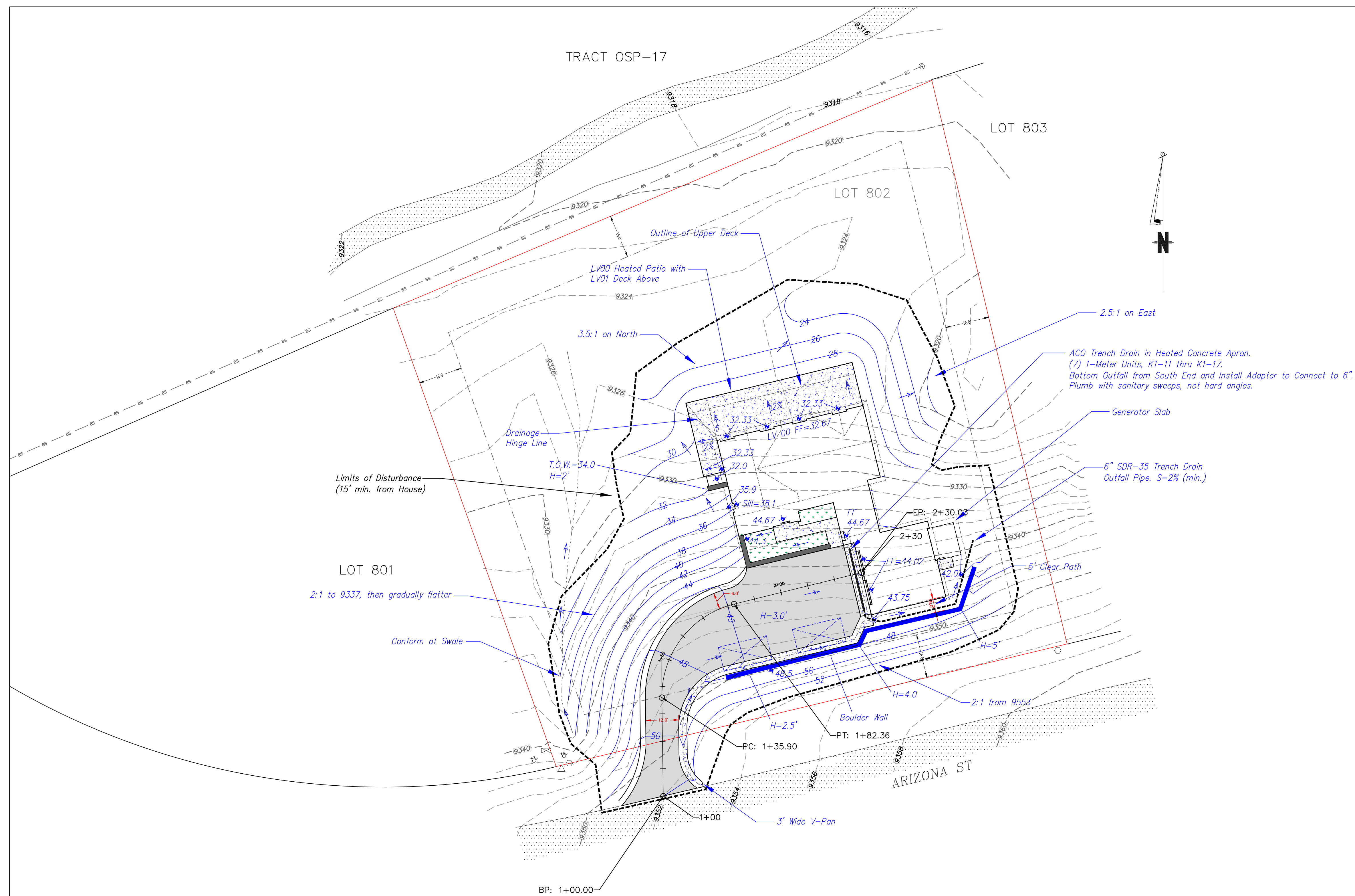


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ARCHITECT PRIOR TO ANY FIELD WORK BEING  
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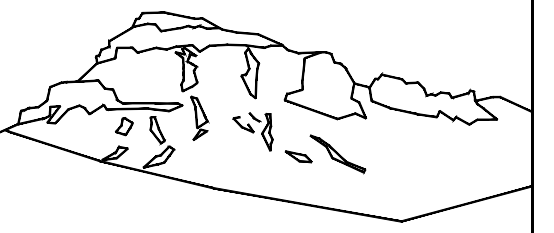
Site Grading  
with  
Driveway  
Profile

Trees  
Not Displayed

C2.1







Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

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SUBMITTAL	2023-03-27
DRB	2023-09-11
DRB	2023-10-16

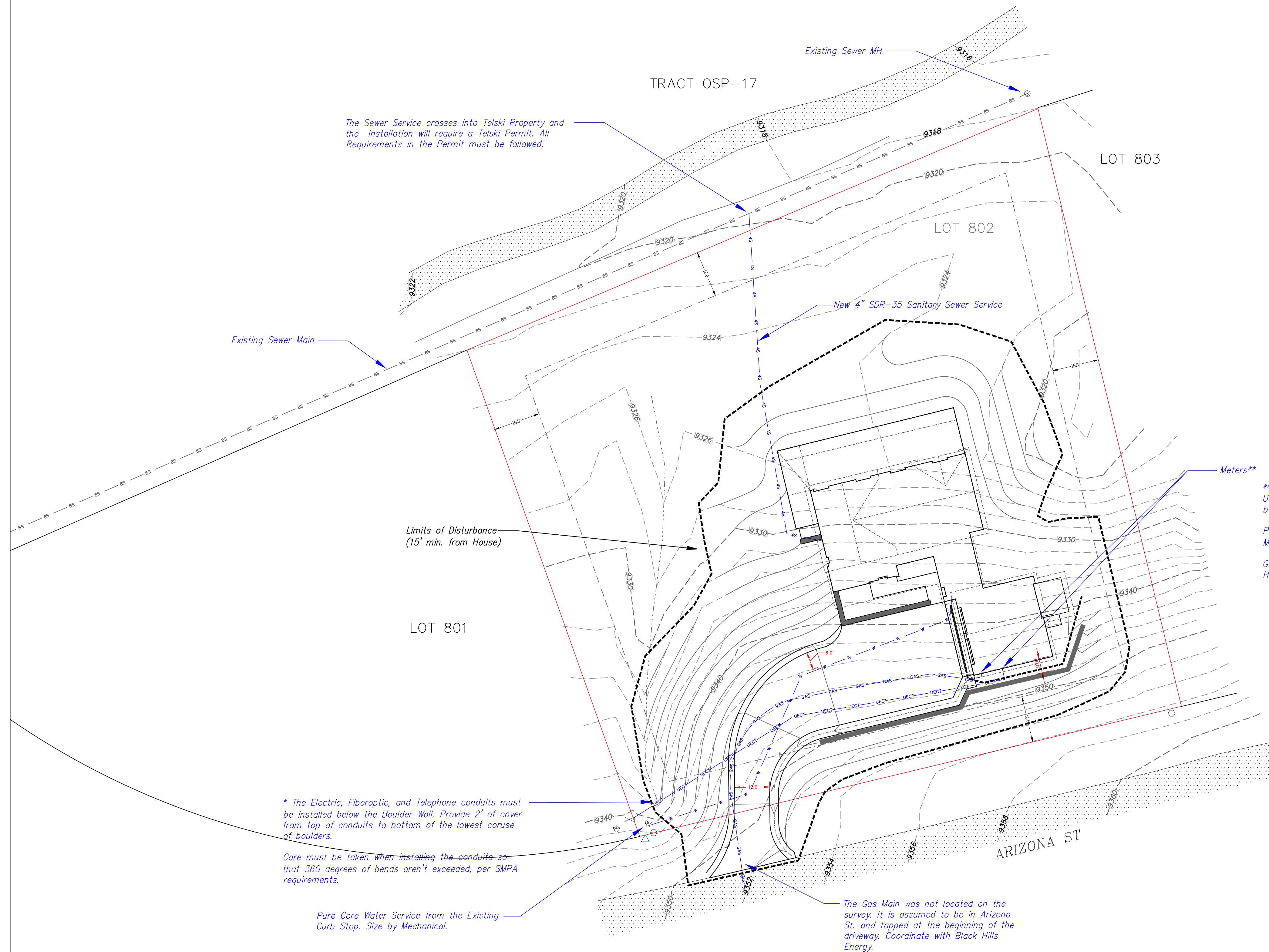
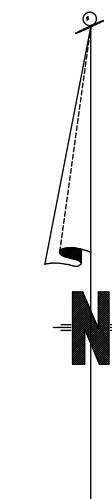
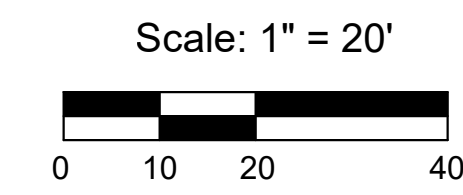
Nelson Residence  
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Arizona Street  
Mtn. Village, CO



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Utilities

C3



The Sewer Service crosses into Telski Property and the Installation will require a Telski Permit. All Requirements in the Permit must be followed.

Limits of Disturbance (15' min. from House)

\* The Electric, Fiberoptic, and Telephone conduits must be installed below the Boulder Wall. Provide 2' of cover from top of conduits to bottom of the lowest course of boulders.

Care must be taken when installing the conduits so that 360 degrees of bends aren't exceeded, per SMPA requirements.

Pure Core Water Service from the Existing Curb Stop. Size by Mechanical.

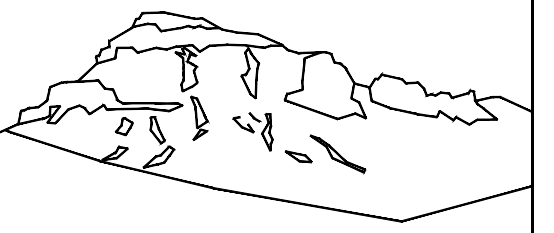
The Gas Main was not located on the survey. It is assumed to be in Arizona St. and tapped at the beginning of the driveway. Coordinate with Black Hills Energy.

\*\* The Meter Locations must be approved by the Utility Providers. All Separation Requirements must be followed.

Power must be coordinated and approved by Sand Miguel Power Association (SMPA).

Gas must be coordinated and approved by Black Hills Energy.

Meters\*\*



Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

SUBMITTAL	2023-02-21
SUBMITTAL	2023-03-27
DRB	2023-09-11
DRB	2023-10-16

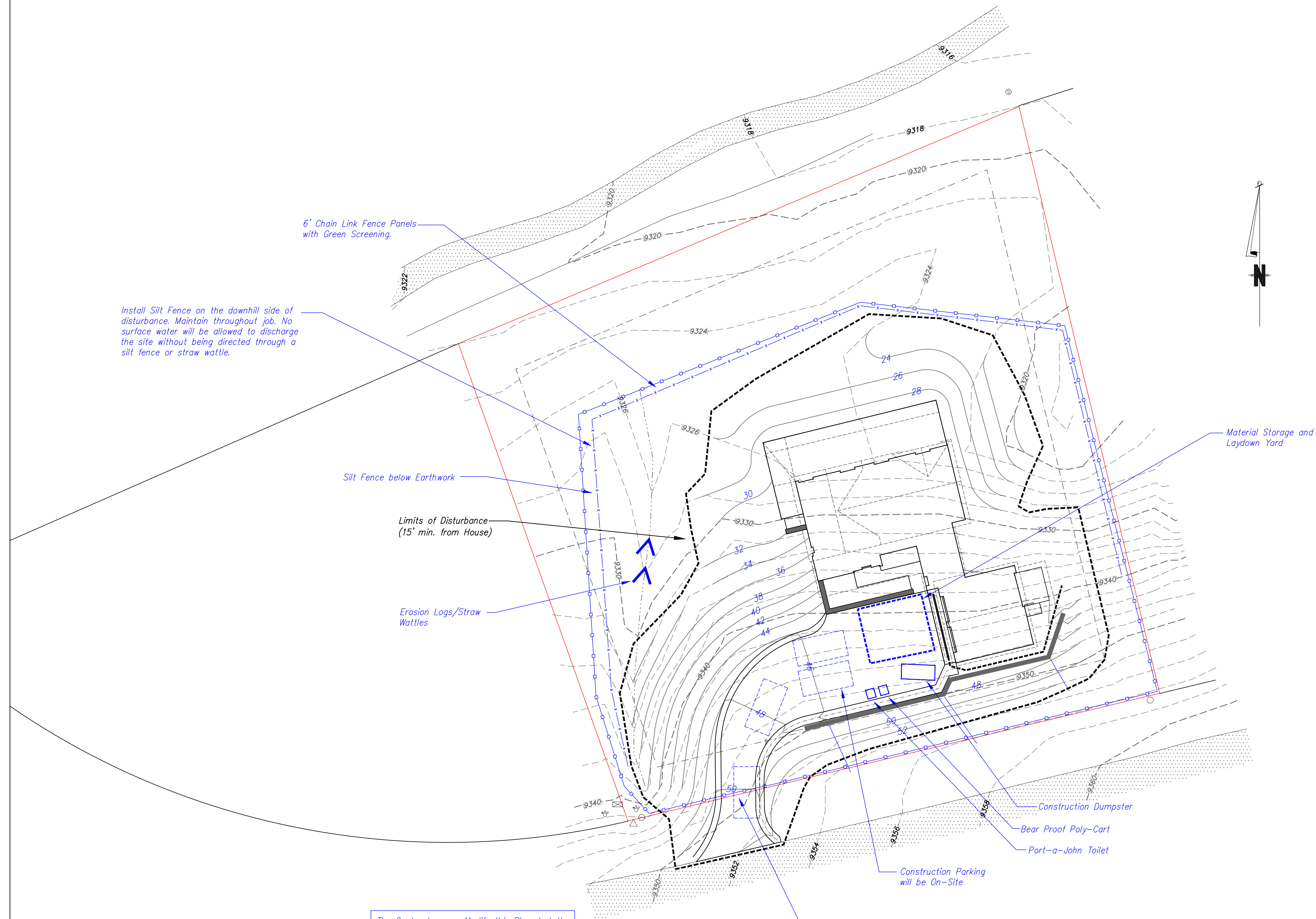
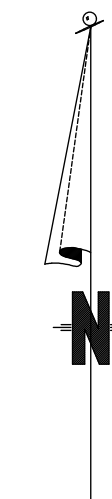
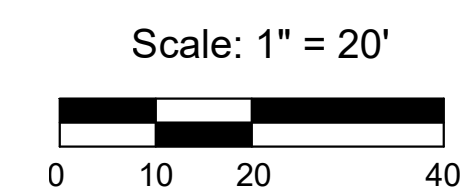
Nelson Residence  
Lot 802  
Arizona Street  
Mtn. Village, CO



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CHAPTERS AND INTERDISCIPLINARY DRAWINGS  
AND REPORT ANY DISCREPANCIES TO THE  
ARCHITECT PRIOR TO ANY FIELD WORK BEING  
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Construction  
Mitigation

C4



Install Silt Fence on the downhill side of disturbance. Maintain throughout job. No surface water will be allowed to discharge the site without being directed through a silt fence or straw wattle.

6' Chain Link Fence Panels with Green Screening.

Silt Fence below Earthwork

Limits of Disturbance (15' min. from House)

Erosion Logs/Straw Wattles

Material Storage and Laydown Yard

Construction Dumpster

Bear Proof Poly-Cart

Port-a-John Toilet

Construction Parking will be On-Site

Open and Close Panels at Access at the Beginning and End of Each Work Day

Post Contractor's Sign with Emergency Contact Number

The Contractor may Modify this Plan, but the New Plan must be Coordinated and Approved by the Town of Mountain Village.

At this time, no Stationary Crane is being contemplated.



**Wildfire Mitigation Notes:**

Wildfire Mitigation will be performed according to the Town of Mountain Village requirements, CDC Chapter 17.6. Zones 1, 2, and 3 are identified on the plan.

D. The following requirements shall be followed in creating the required wildfire mitigation plan:

- i. Zone 1 is the area that consists of fifteen feet (15') around the building as measured from the outside edge of the building's dripline, including decks, planters or patios attached to the building. The following provisions shall apply in Zone 1:
  - 1. (a) All slash and flammable vegetation as identified by staff shall be removed from Zone 1.
  - 2. (b) All trees and shrubs located within Zone 1 shall be removed.
  - 3. (c) The following exceptions apply to Zone 1:
    - 1. (i.) A tree or shrub may remain within Zone 1 provided the defensible space distance is measured commencing from the vegetation's drip edge rather than from the building plane (so the tree is considered part of or an extension of the structure), and provided the distance is not limited by a lot line.
    - 2. (ii.) Flammable vegetation shall be allowed in planters attached to the building so long as the planter is within ten feet (10') of a building, and vegetation is not planted directly beneath windows or next to foundation vents.
  - 4. (d) In the event Zone 1 encroaches upon the general easement, the review authority shall allow the creation of defensible space as required by this section.
- ii. Zone 2 is the area that extends from the outer edge of Zone 1 for the distance specified in Figure 6-1 (Sec. 17.6.1 of the CDC), Fire Mitigation Zones, based on slope, to the lot line, whichever is less.

The following provisions shall apply in Zone 2:

- (iii.) Dominant and co-dominant live trees with a dbh of four inches (4") or greater shall be spaced with a ten foot (10') crown-to-crown separation. All ladder fuels and slash shall be removed from the ten foot (10') crown-to-crown separation area.
- 4. (iv.) All stressed, diseased, dead or dying trees and shrubs, as identified by staff, shall be removed except for standing dead trees that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.
- 5. (v.) Shrubs over five feet (5') tall shall have an average spacing of ten feet (10') from shrub-to-shrub.
- (A) The following exceptions apply to Zone 2:
  - 2. (i.) Groupings of trees or shrubs may be allowed provided that all of the crowns in such group of trees or the edge of the shrubs are spaced ten feet (10') from crown-to-crown or from edge of shrub to any trees or shrubs outside of such grouping.
  - 3. (ii.) Aspens, narrowleaf cottonwoods, willows and other trees and shrubs listed in CSU Cooperative Extension Publication 6.305, Firewise Plant Materials as amended from time to time, may be spaced closer than the ten foot (10') crown-to-crown separation as approved by staff.
  - 4. (iii.) Closer spacing of any trees may be allowed by staff upon a determination that the required ten foot (10') crown-to-crown spacing would put the remaining trees at undue risk of wind-throw or snow breakage.
  - 5. (iv.) Tree removal for the creation of defensible space, if such tree removal is determined to be impractical by the Town due to steep slopes, wetland or other environmental constraints, and other mitigation is provided.
- 3. (c) Trees remaining within Zone 2 shall have branches pruned to a height of ten feet (10'), but notwithstanding said height requirement, branches need not be pruned to more than one-third (1/3) of the tree height with the following exceptions:
  - 1. (i.) Aspen trees; and
  - 2. (ii.) Isolated spruce and fir trees.
- 4. (d) In the event that Zone 1 or 2 extends upon the general easement, the review authority shall allow the removal of trees to implement the wildfire mitigation plan.
- 5. (e) Chipped wood and small timber may be spread throughout either Zone 2 or Zone 3 provided the wood chips have a maximum depth of two to three inches (2" - 3") and small timber has a diameter of three inches (3") or less and is cut up into lengths that are three feet (3') or less.
- iii. Zone 3 is the area extending beyond Zone 2 to the edge of the lot subject to development. In Zone 3, all diseased, beetle infested, dead or dying trees, as identified by staff, shall be removed except for standing dead trees (aka tree snags) that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.

(a) For lots greater than five (5) acres in size, the Town shall only require that Zone 3 be implemented for a distance of 500 feet from the outside edge of Zone 2. A lot owner may propose to implement Zone 3 for all of the lot.

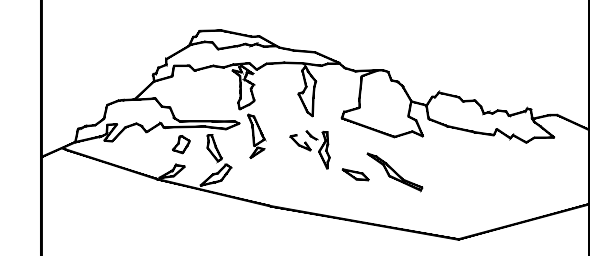
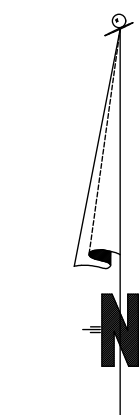
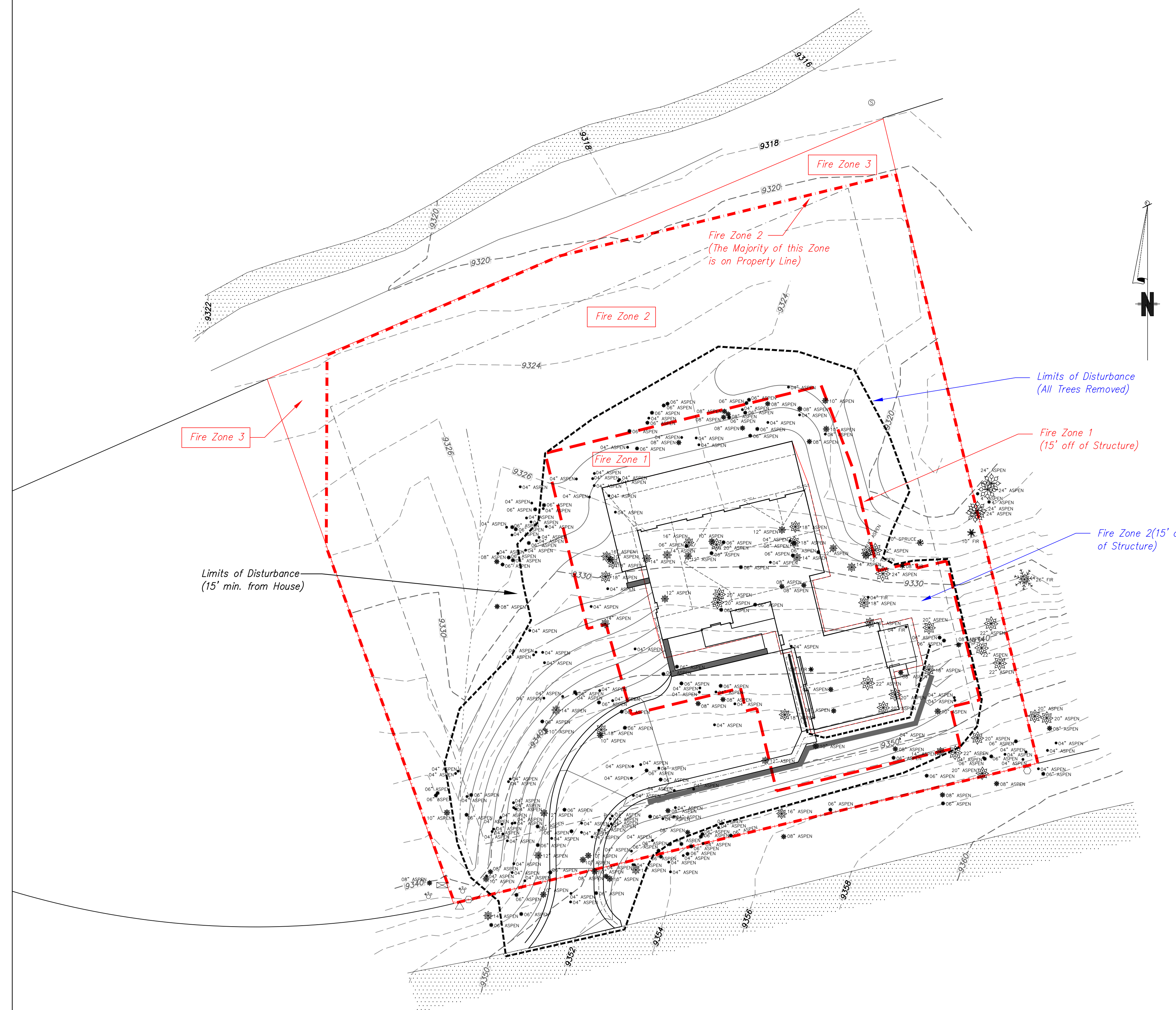
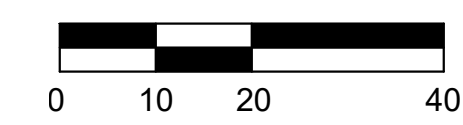
E. Firewood may only be stored on a lot that has a solid fuel burning device permit issued by the Town that meets the following limitations:

- i. Indoor storage can only occur within an enclosed room that is a part of the primary structure on the lot.
- ii. Outdoor storage shall only occur in the rear yard.
- iii. Up to ten (10) cubic feet of outdoor firewood storage may be located in Zone 1 or Zone 2.
- iv. Outdoor firewood storage larger than ten (10) cubic feet shall have a minimum thirty foot (30') distance from the structure.
- v. Outdoor firewood storage shall be screened from view from surrounding lots

F. Prior to the issuance of any certificate of occupancy or certificated of completion, staff shall inspect the lot affected by the fire mitigation plan to ensure that such plan has been implemented in accordance with the approved wildfire mitigation plan.

G. The wildfire mitigation plan shall be maintained by the lot owner as required by this section.

Scale: 1" = 20'



**Uncompahgre Engineering, LLC**

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

**SUBMISSIONS:**

SUBMITTAL	2023-02-21
SUBMITTAL	2023-03-27
DRB	2023-09-11
DRB	2023-10-16

Nelson Residence  
Lot 802  
Arizona Street  
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHARTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**Fire Mitigation**

**C5**

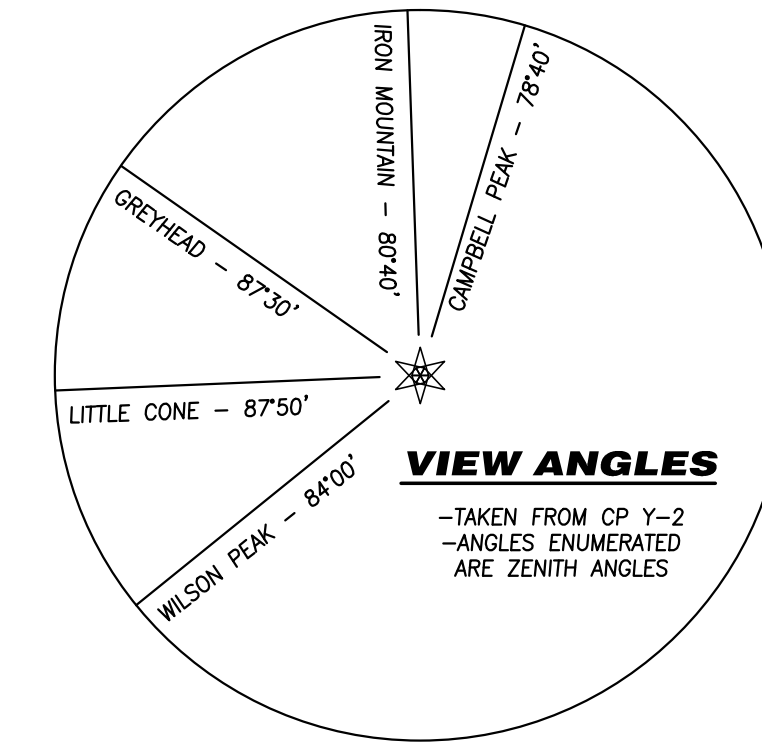
TRACT OSP-17  
(TSG SKI AND GOLF, LLC)

LOT 802  
0.897 ACRES (M)  
0.897 ACRES (R)

LOT 803  
(SCOUT & COMPANY LIFESTYLE + DESIGN, LLC)

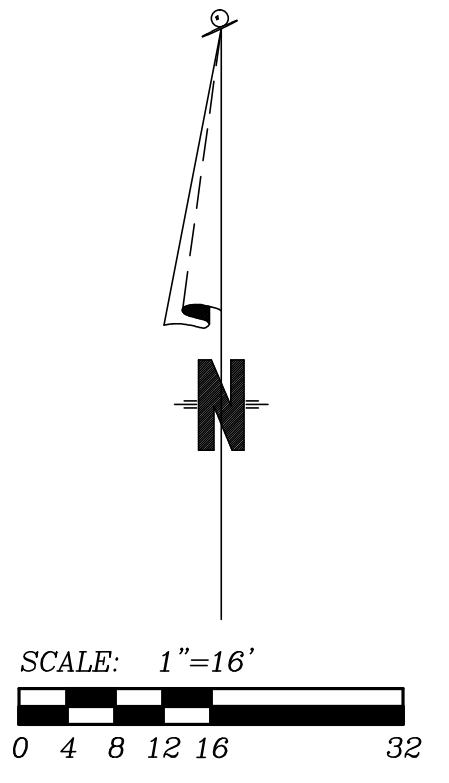
LOT 801  
(SAVAGE PAUL T)

**EXISTING CONDITIONS PLAN**  
Lot 802, Town of Mountain Village,  
San Miguel County, Colorado.



**LEGEND**

- ⊕ CURB STOP
- ⊙ MANHOLE
- ⊞ TRANSFORMER
- TELEPHONE PEDESTAL
- △ CABLE-TV PEDESTAL
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 20632
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 28652
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37970
- (M) MEASURED DIMENSIONS ACCORDING TO THIS SURVEY
- (R) RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 864



This Existing Conditions Plan of Lot 802, Town of Mountain Village, was prepared on August 12, 2022 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Final Survey Plat or Improvement Survey Plat as defined by section 18-51-102 C.R.S.



P.L.S. NO. 37970 Date

**LEGAL DESCRIPTION:**  
LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998 IN PLAT BOOK 1 AT PAGE 864,  
COUNTY OF SAN MIGUEL, STATE OF COLORADO.

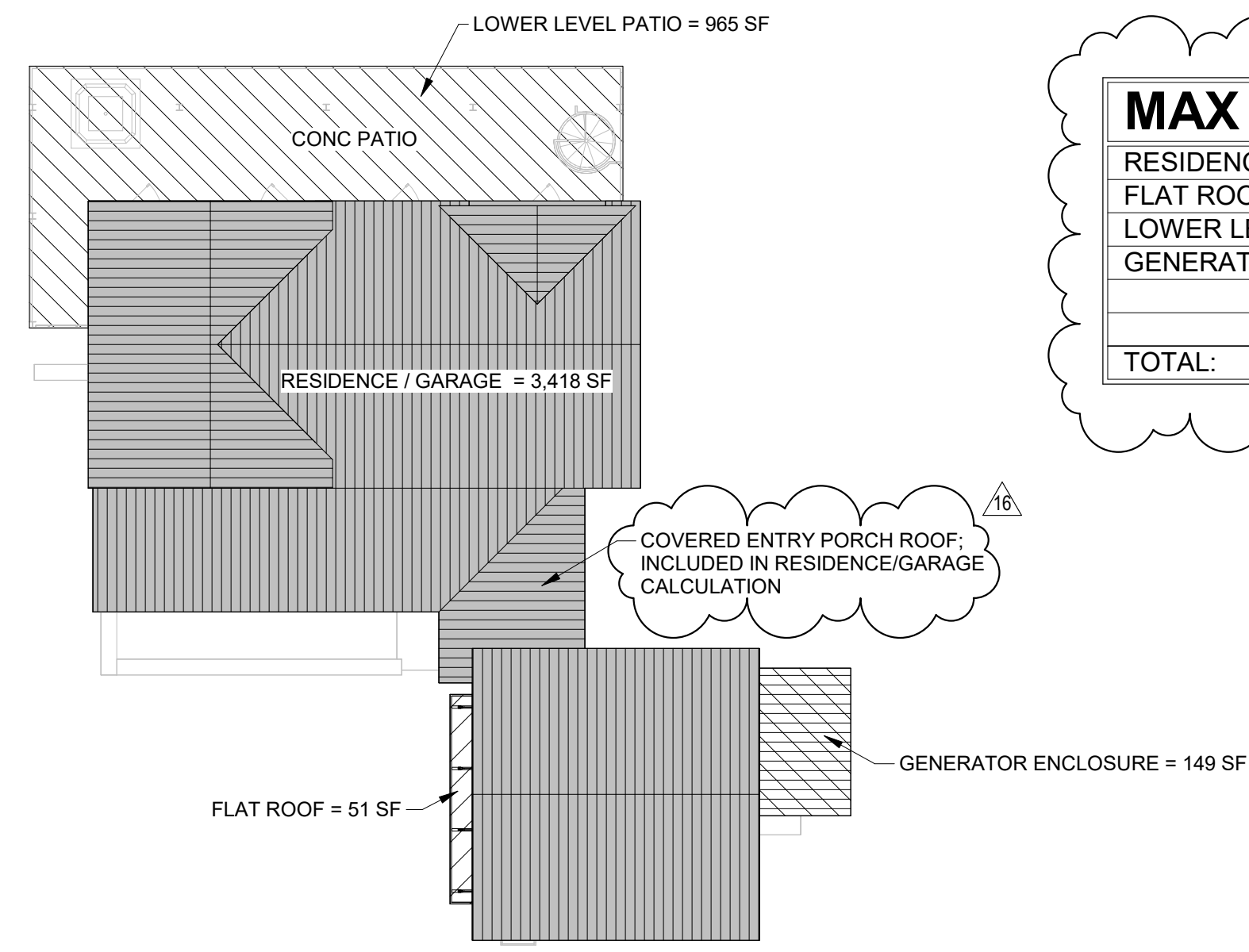
- NOTES:**
- Easement research and property description from Land Title Guarantee Company, Order Number TLR86007986, dated March 22, 2018 at 5:00 P.M.
  - According to FEMA Flood Insurance Rate Map 08113C0286-C, dated September 30, 1988, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
  - Bearings for this survey based on found monuments along the western boundary of Lot 802, as shown hereon, assumed to have the record bearing of S 19°33'37" W according to Plat Book 1 at page 864.
  - Benchmark: Control Point "CP 1003", as shown hereon, with an elevation of 9325.23 feet.
  - Contour interval is two feet.
  - Only trees 3" in diameter or greater are shown hereon.
  - Slopes 30% or greater are shown hereon.
  - Underground utility locates were not performed as part of this survey. Utility locates should be performed by respective providers before any construction.
  - Work done by Foley Associates, Inc. on Lot 803, indicated that wetland areas may along the Eastern boundary of Lot 802, but a wetland delineation was not performed as part of this survey.
  - NOTICE:** According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

Project Mgr:	JH	Rev.	description	date	by
Technician:	MC	1	Red line edit, added view angle symbols	03/05/23	JCH
Technician:					
Checked by:	JZ				
Start date:	08/12/2022				



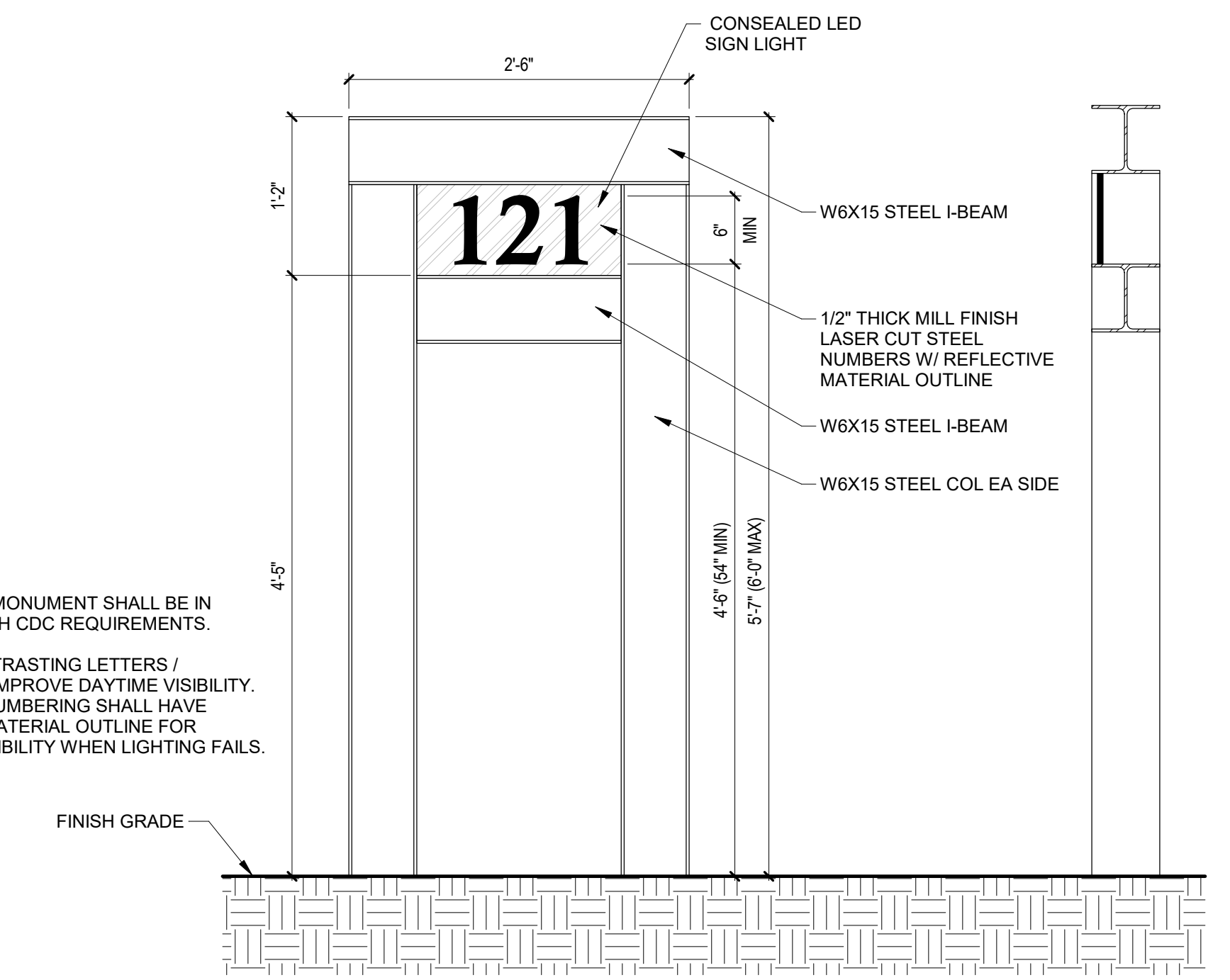
970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

F:\Jobs\2025\20250810\0053\dwg\0053.dwg 3/5/2023 11:56:43 AM LFC3



MAX LOT COVERAGE:	
RESIDENCE / GARAGE (TO ROOF OVERHANG DRIP LINE)	3,418 SF
FLAT ROOF (TO ROOF OVERHANG DRIP LINE)	51 SF
LOWER LEVEL PATIO	965 SF
GENERATOR ENCLOSURE	149 SF
<b>TOTAL:</b>	<b>4,583 SF</b>

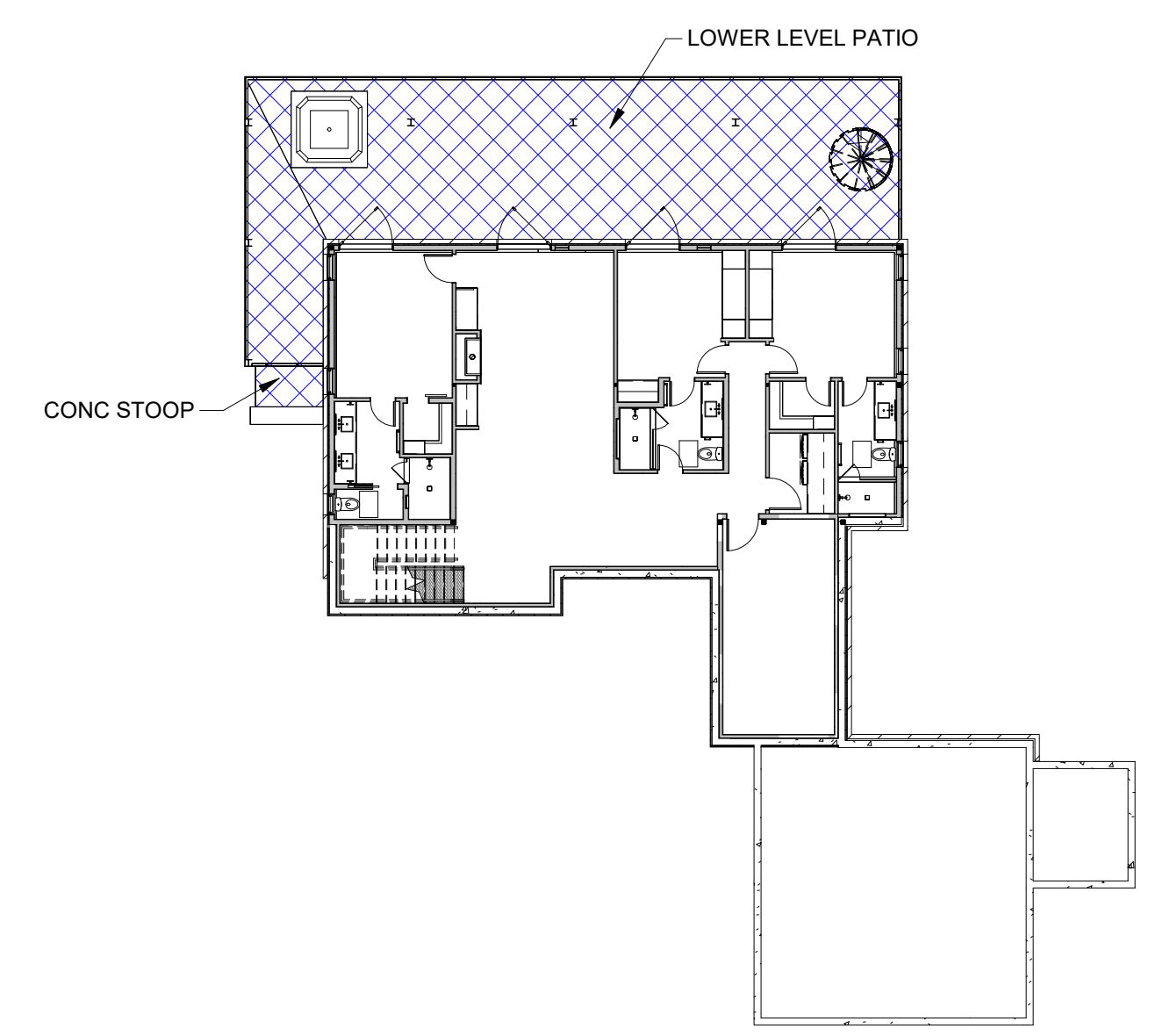
**3 MAX LOT COVERAGE**  
1/16" = 1'-0"



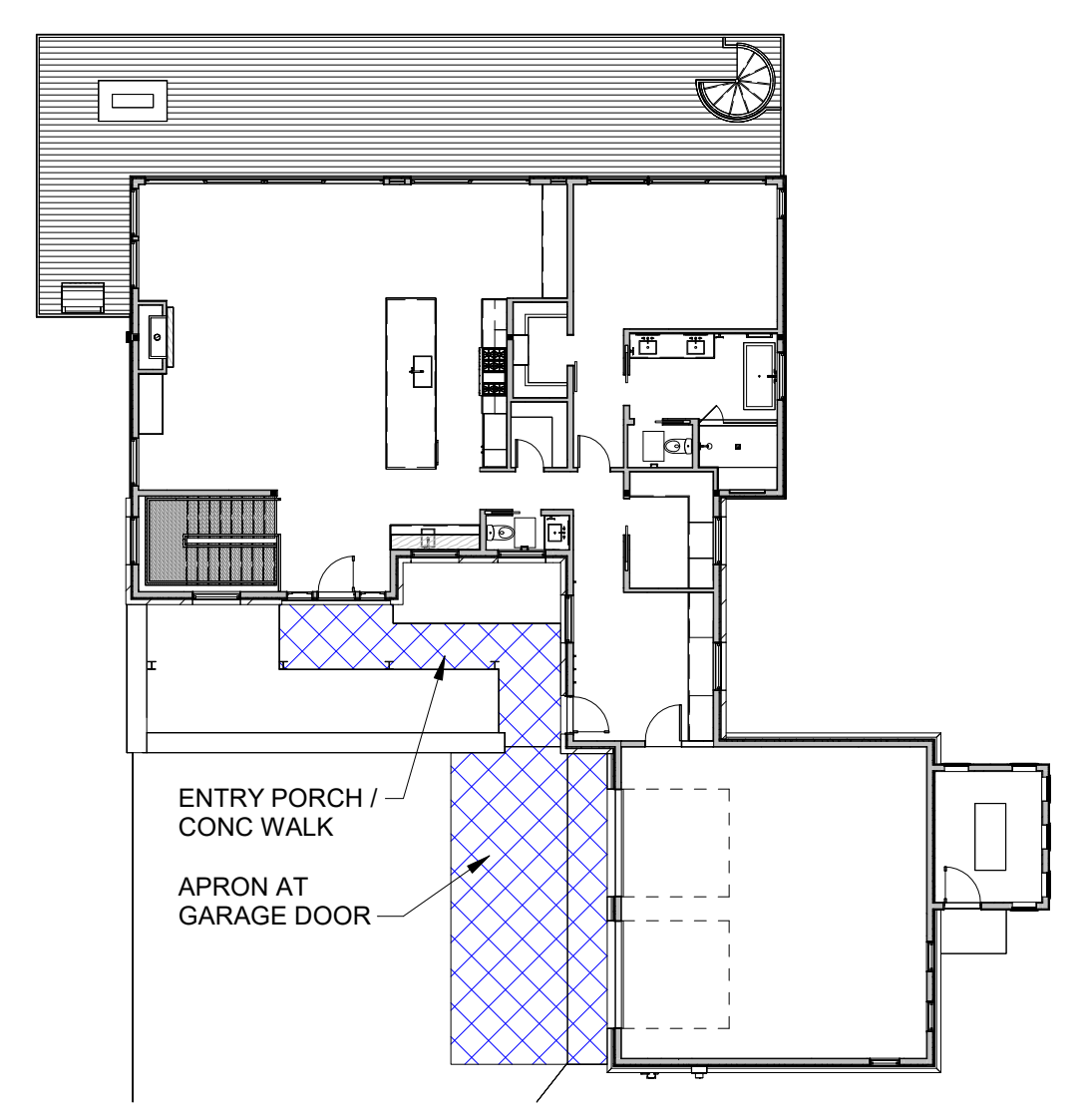
- NOTE: ADDRESS MONUMENT SHALL BE IN ACCORDANCE WITH CDC REQUIREMENTS.
1. PROVIDE CONTRASTING LETTERS / NUMBERS TO IMPROVE DAYTIME VISIBILITY.
  2. LETTERING / NUMBERING SHALL HAVE REFLECTIVE MATERIAL OUTLINE FOR NIGHTTIME VISIBILITY WHEN LIGHTING FAILS.

**2 ADDRESS MONUMENT**  
1" = 1'-0"

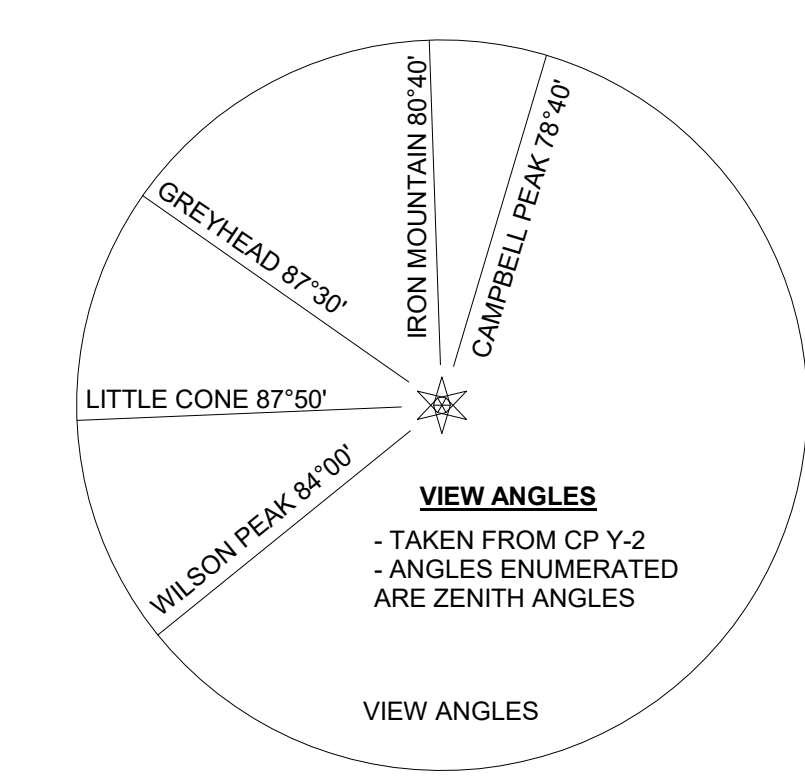
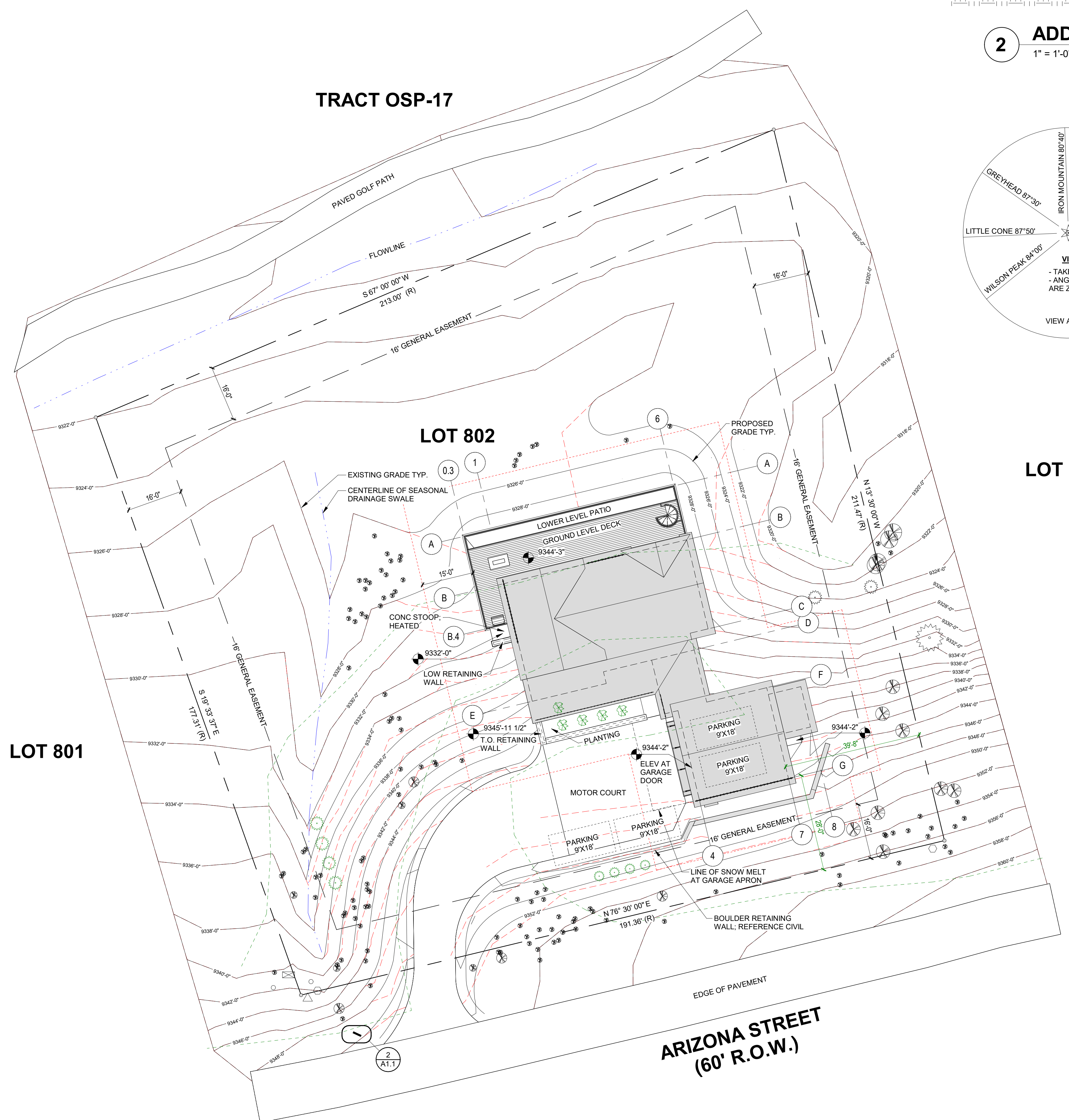
SNOW MELT	
PROPOSED AREAS:	
LOWER LEVEL CONCRETE PATIO	998 SF
LOWER LEVEL CONCRETE STOOP	25 SF
COVERED ENTRY PORCH / WALKS	139 SF
CONCRETE APRON AT GARAGE DOOR	344 SF
<b>PROPOSED SNOW MELT:</b>	<b>1,506 SF</b>



**4 LOWER LEVEL SNOW MELT**  
1/16" = 1'-0"



**5 GROUND LEVEL SNOW MELT**  
1/16" = 1'-0"

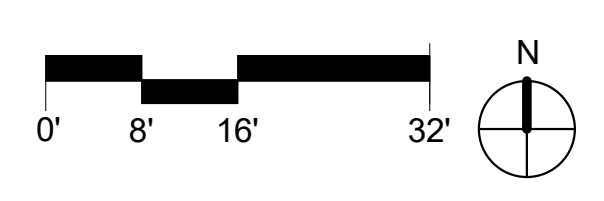


**PROPOSED PARKING:**  
(2) ENCLOSED  
(2) SURFACE

**FLOOR ELEVATIONS:**  
T.O. SLAB @ LOWER LEVEL = 9332'-8"  
T.O. GYP @ GROUND LEVEL = 9344'-8"  
MOTOR COURT @ GARAGE DOOR = 9344'-2"

**PATIO / DECK ELEVATIONS:**  
LOWER LEVEL PATIO = 9332'-4" (SLOPES 1/8" TO DRAIN)  
GROUND LEVEL DECK = 9344'-3"

**1 ARCHITECTURAL SITE PLAN**  
1/16" = 1'-0"



PROJECT ISSUE DATE:  
10.16.23 DRB FINAL REVIEW

REVISIONS

NO.	DATE	DESC
2	09.11.23	Revised max lot coverage
3	09.11.23	New snow melt plans
4	09.11.23	Revised snow melt calc to include enlarged lower level patio
16	10.10.23	Max lot coverage calculation note
17	10.10.23	Revised lot coverage calculation due to revised lower M patio
18	10.10.23	Revised snow melt calculation due to revised lower M patio

REVISIONS

NO.	DATE	DESC.
5	09.11.23	Revised location of bristlecone pine tree (outside fire mitigation zone 1)
6	09.11.23	Revised bedding, rock garden
7	09.11.23	Revised plant schedule showing only current plants on project
8	09.11.23	Tree planting / protection / removal notes
9	09.11.23	Tree planting diagram
19	10.10.23	New Native Chokecherry shrub
20	10.10.23	Revised number of bristlecone pine trees
21	10.10.23	Revised landscape bed A

### LEGEND

	CONCRETE PAVERS		NEW DECIDUOUS SHRUB
	WILDFIRE MITIGATION BOUNDARY		EXISTING DECIDUOUS TREE
	LIMIT OF DISTURBANCE		EXISTING DECIDUOUS TREE TO BE REMOVED
	PERIMETER FENCING W/ ATTACHED GREEN SCREENING		NEW DECIDUOUS TREE
	TREE PROTECTION FENCING		EXISTING EVERGREEN TREE
	REVEGETATED AREA W/ IRRIGATION		EXISTING EVERGREEN TREE TO BE REMOVED
	REVEGETATE W/ NATIVE GRASS		NEW EVERGREEN TREE
	DISTURBED AREAS		
	ROCK GARDEN		

NOTE: PROVIDE TREE PROTECTION FENCING AS REQUIRED BY THE CDC.

### TREE PLANTING NOTES

- TREE PLANTING SHALL ADHERE TO CDC: 17.5.9.C.7.
- IRRIGATED LAWN AREAS SHOULD BE AERATED TWO (2) TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATES AND PROVIDE A HEALTHY LAWN. ORGANICS, FERTILIZATION AND AMENDMENT INCORPORATION AT SAME TIME ARE ENCOURAGED.
- TREES AND SHRUBS SHALL BE MULCHED UPON INITIAL PLANTING AND AS NEEDED TO REDUCE WATER EVAPORATION.
- TREES AND SHRUB HOLES SHALL BE DUG SIX INCHES (6") DEEPER THAN THE ROOT BALL SIZE TO FACILITATE THE PLACEMENT OF APPROPRIATE MULCH MATERIAL AND FACILITATE GROWTH.
- TREES SHALL BE STAKED AND HELD IN PLACE BY WEBBING AND WIRE TO ENSURE SUCCESSFUL ROOT ESTABLISHMENT FOR A PERIOD OF TWO (2) FULL GROWING SEASONS.
- BURLAP AND WIRE SHALL BE REMOVED FROM THE ROOT BALL PRIOR TO PLANTING. IF ALL OF THE WIRE CANNOT BE REMOVED DUE TO THE SIZE OF THE TREE, THEN TWO-THIRDS OF THE WIRE SHALL BE REMOVED FROM THE UPPER PORTION OF THE ROOT BALL.

### TREE PROTECTION / REMOVAL NOTES

- TREE PROTECTION FENCING IS REQUIRED BY THE CDC TO BE INSTALLED AT OR BEYOND THE CROWN DRIPLINE OF EACH TREE THAT WILL REMAIN (TREE PROTECTION ZONE) IN ACCORDANCE WITH CDC: 17.6.1.A.4.f.
- TREE PROTECTION FENCING MUST BE INSTALLED AND APPROVED BY THE TOWN FORESTER BEFORE EXCAVATION MAY BEGIN.
- THE TOWN FORESTER MUST BE CONTACTED BEFORE EXCAVATION BEGINS TO MARK OR APPROVE THE TREES TO BE REMOVED AND TO APPROVE THE PLACEMENT OF THE TREE PROTECTION FENCING. A TREE REMOVAL PERMIT MUST BE OBTAINED FROM THE TOWN FORESTER BEFORE TREE REMOVAL OPERATIONS MAY BEGIN.
- NO BACKFILL, STORAGE, OR STAGING IS PERMITTED INSIDE THE TREE PROTECTION AREA INSIDE THE TREE PROTECTION FENCING.

### FIRE MITIGATION NOTES

**ZONE 1:** THE AREA THAT CONSISTS OF FIFTEEN FEET (15') AROUND THE BUILDING AS MEASURED FROM THE OUTSIDE EDGE OF THE BUILDING'S DRIPLINE, INCLUDING DECKS, PLANTERS OR PATIOS ATTACHED TO THE BUILDING.

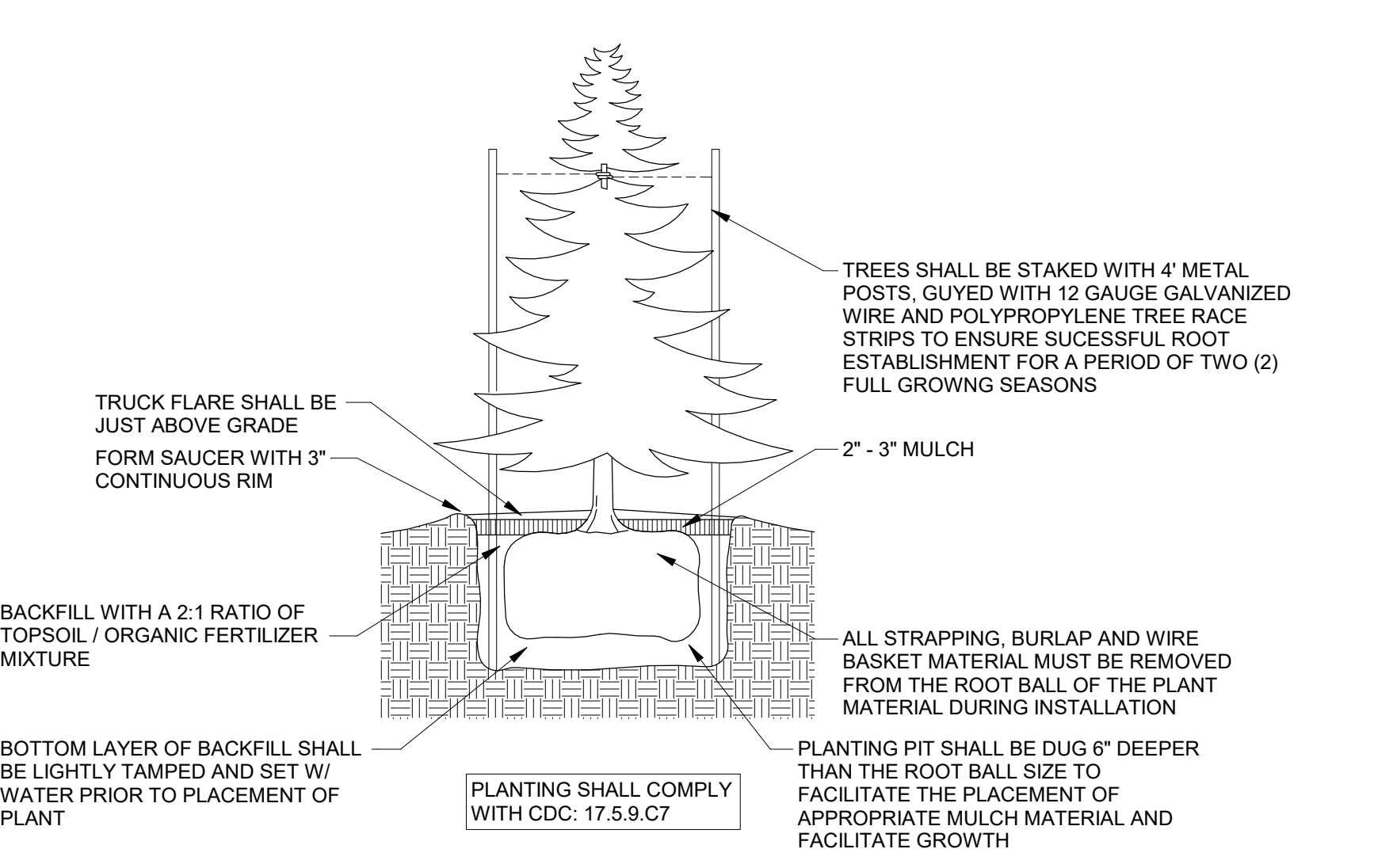
- REMOVE ALL SHRUBS, TREES, SLASH AND FLAMMABLE VEGETATION.
- REFER TO CDC 17.6.1.3.D FOR EXCEPTIONS.

**ZONE 2:** THE AREA THAT EXTENDS FROM THE OUTER EDGE OF ZONE 1 FOR THE DISTANCE SPECIFIED IN FIGURE 6-1, FIRE MITIGATION ZONES, BASED ON SLOPE, TO THE LOT LINE, WHICHEVER IS LESS.

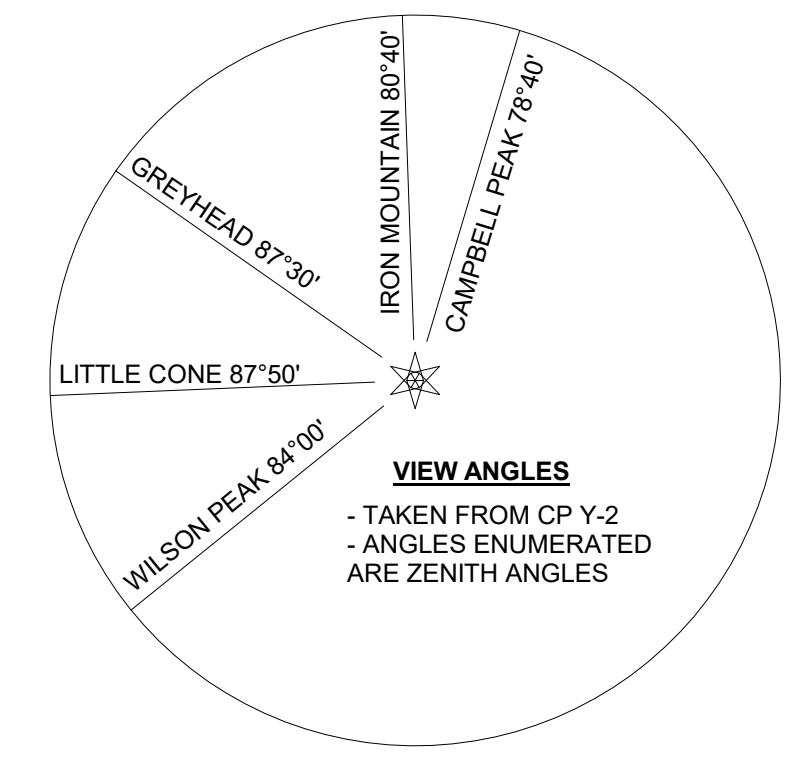
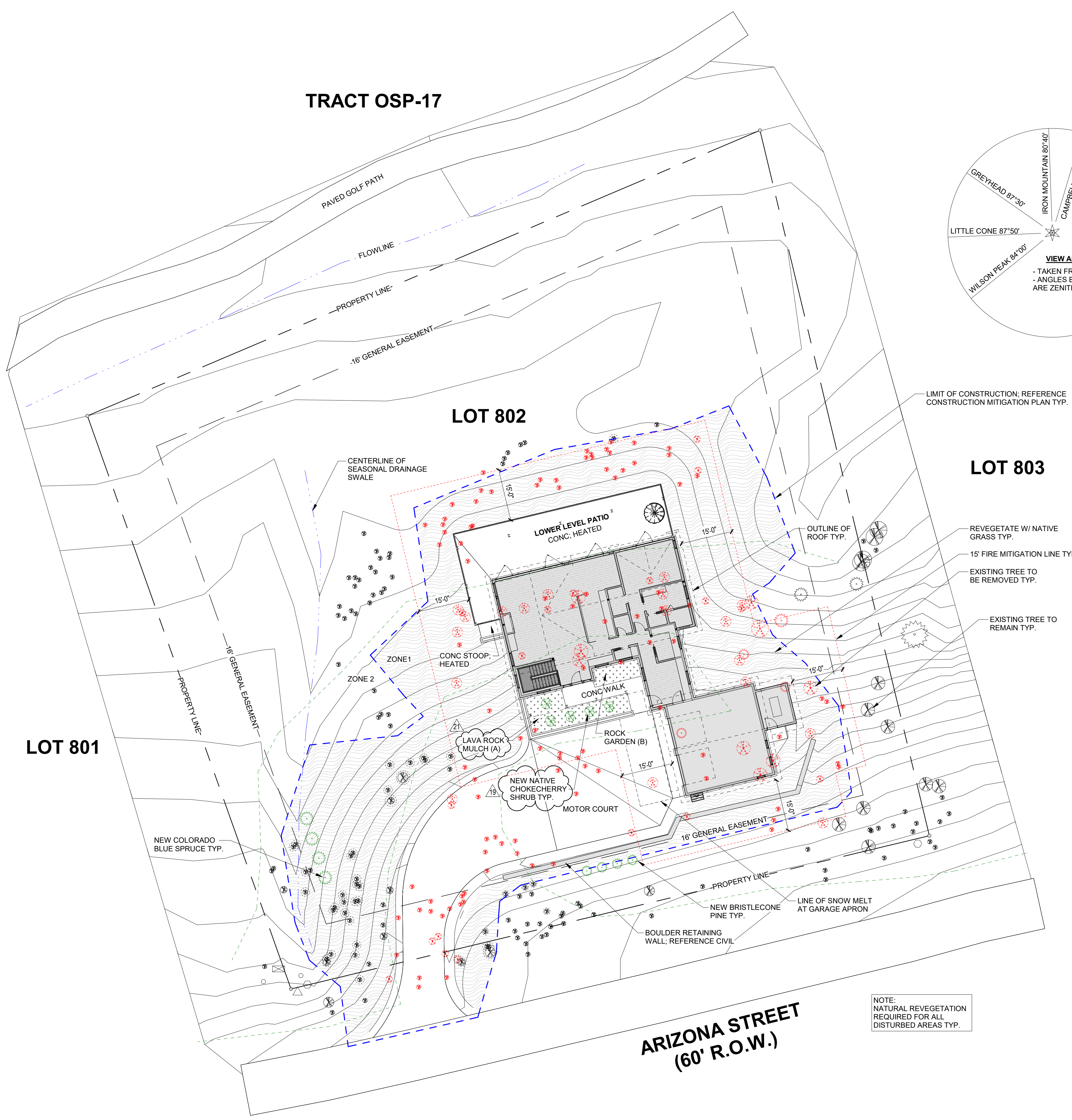
- 10' CROWN TO CROWN SEPARATION, PRUNE BRANCHES TO A HEIGHT OF 10' FROM GROUND.
- REFER TO CDC 17.6.1.3.D FOR EXCEPTIONS.

**ZONE 3:** THE AREA EXTENDING BEYOND ZONE 2 TO THE EDGE OF THE LOT SUBJECT TO DEVELOPMENT. IN ZONE 3, ALL DISEASED, BEETLE INFESTED, DEAD OR DYING TREES, AS IDENTIFIED BY STAFF, SHALL BE REMOVED EXCEPT FOR STANDING DEAD TREES (AKA TREE SNAGS) THAT STAFF INDICATES NEED TO BE MAINTAINED SINCE STANDING DEAD TREES PROVIDE IMPORTANT WILDLIFE HABITAT.

- ALL DEVELOPMENT SHALL COMPLY WITH CDC 17.6.1 ENVIRONMENTAL REGULATIONS. ADDITIONAL TREE CLEARING WILL BE DONE PER FIRE MITIGATION REQUIREMENTS.
- CONSISTENT WITH 2018 IRC SECTION R101.4.1 APPENDAGES AND PROJECTIONS: UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.
- CONTRACTOR TO SET UP A MEETING WITH TOWN FORESTER ON ZONE 2 REQUIREMENTS PRIOR TO PERMIT.



**2 PLANTING: CONIFER TREE DETAIL**  
 1/2" = 1'-0"



### GENERAL NOTES:

- ALL TREES AND SHRUBS TO BE LOCATED BY PROJECT ARCHITECT / OWNER.
- ALL TREES AND SHRUBS SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
- NECESSARY TREES SHALL BE STAKED WITH 4" METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
- PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
- SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
- MULCH ALL PERENNIAL BEDS WITH LAVA ROCK MULCH.
- ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- LANDSCAPING AND TREE REMOVAL SHALL BE IN ACCORDANCE WITH CDC 17.5.9 LANDSCAPING REGULATIONS AND CDC 17.6.1 ENVIRONMENTAL REGULATIONS.

### NOXIOUS WEEDS:

- ALL PLANTED MATERIALS INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED IN THE NOXIOUS WEED CDC TABLE 5-5 OR SUBSEQUENTLY DESIGNATED AS A NOXIOUS WEED BY THE STATE OF COLORADO, OR THE TOWN.

### LANDSCAPE MAINTENANCE NOTES:

- TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
- NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.
- ALL SHRUBS IN SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.
- IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

### REVEGETATION NOTES:

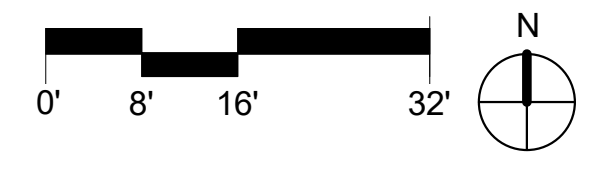
- SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
- TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REEMITTED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
- BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
- AREAS WHICH HAVE BEEN COMPACTED OR ARE RELATIVELY UNDISTURBED NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
- BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW. CRIMP IN.
- ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
- ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
- SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREEPING RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%

### PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY
PICEA PUNGENS	COLORADO BLUE SPRUCE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	4 EA
PINUS ARISTATA	BRISTLECOONE PINE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	4 EA
PRUNUS VIRGINIANA MELANOCARPA	NATIVE CHOKECHERRY SHRUB	5 GAL	5 EA
SHRUBS W/ LAVA ROCK MULCH - BED A			219 SF
ROCK GARDEN - BED B			68 SF

**1 LANDSCAPE PLAN**  
 1/16" = 1'-0"



REVISIONS

NO.	DATE	DESC.
15	09.11.23	Revised water usage for revegetation area due to updated limit of construction per civil
22	10.10.23	Revised water usage chart

### WATER USAGE CHART

TYPE	MONTHLY USE	TOTAL #	TOTAL MONTHLY USAGE
REVEGETATION	2 GAL / S.F.	9,042 SF	18,084 (FIRST SEASON)
ROCK GARDEN (B)	N/A	N/A	N/A
LAVA ROCK MULCH (A)	N/A	N/A	N/A
SPRUCE	10 GAL / EA	4 EA	40
BRISTLEcone PINE	10 GAL / EA	4 EA	40
NATIVE SHRUBS	2 GAL / EA	5 EA	10
COMPLETE MONTHLY USAGE (FOR ESTABLISHMENT) (POST ESTABLISHMENT)			18,174 GAL 90 GAL

### PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY
PICEA PUNGENS	COLORADO BLUE SPRUCE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	4 EA
PINUS ARISTATA	BRISTLEcone PINE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	4 EA
PRUNUS VIRGINIANA MELANOCARPA	NATIVE CHOKECHERRY SHRUB	5 GAL	5 EA
SHRUBS W/ LAVA ROCK MULCH - BED A			219 SF
ROCK GARDEN - BED B			68 SF

### LEGEND

	CONCRETE PAVERS		NEW DECIDUOUS SHRUB
	WILDFIRE MITIGATION BOUNDARY		EXISTING DECIDUOUS TREE
	LIMIT OF DISTURBANCE		EXISTING DECIDUOUS TREE TO BE REMOVED
	PERIMETER FENCING W/ ATTACHED GREEN SCREENING		NEW DECIDUOUS TREE
	TREE PROTECTION FENCING		EXISTING EVERGREEN TREE
	REVEGETATED AREA W/ IRRIGATION		EXISTING EVERGREEN TREE TO BE REMOVED
	REVEGETATE W/ NATIVE GRASS		NEW EVERGREEN TREE
	DISTURBED AREAS		
	ROCK GARDEN		

**NOTE:**  
 PROVIDE TREE PROTECTION FENCING AS REQUIRED BY THE CDC.

### IRRIGATION NOTES

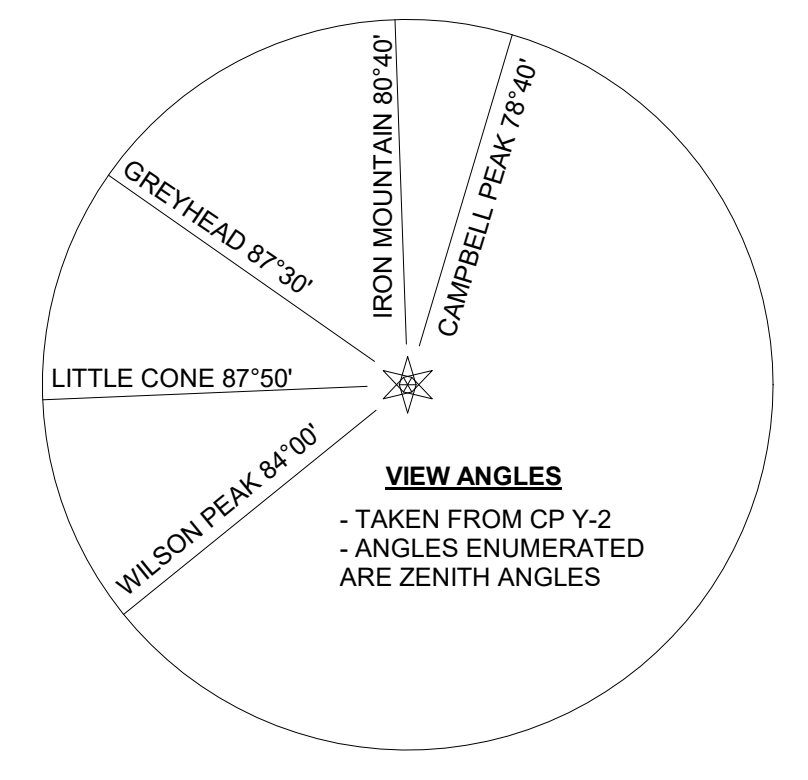
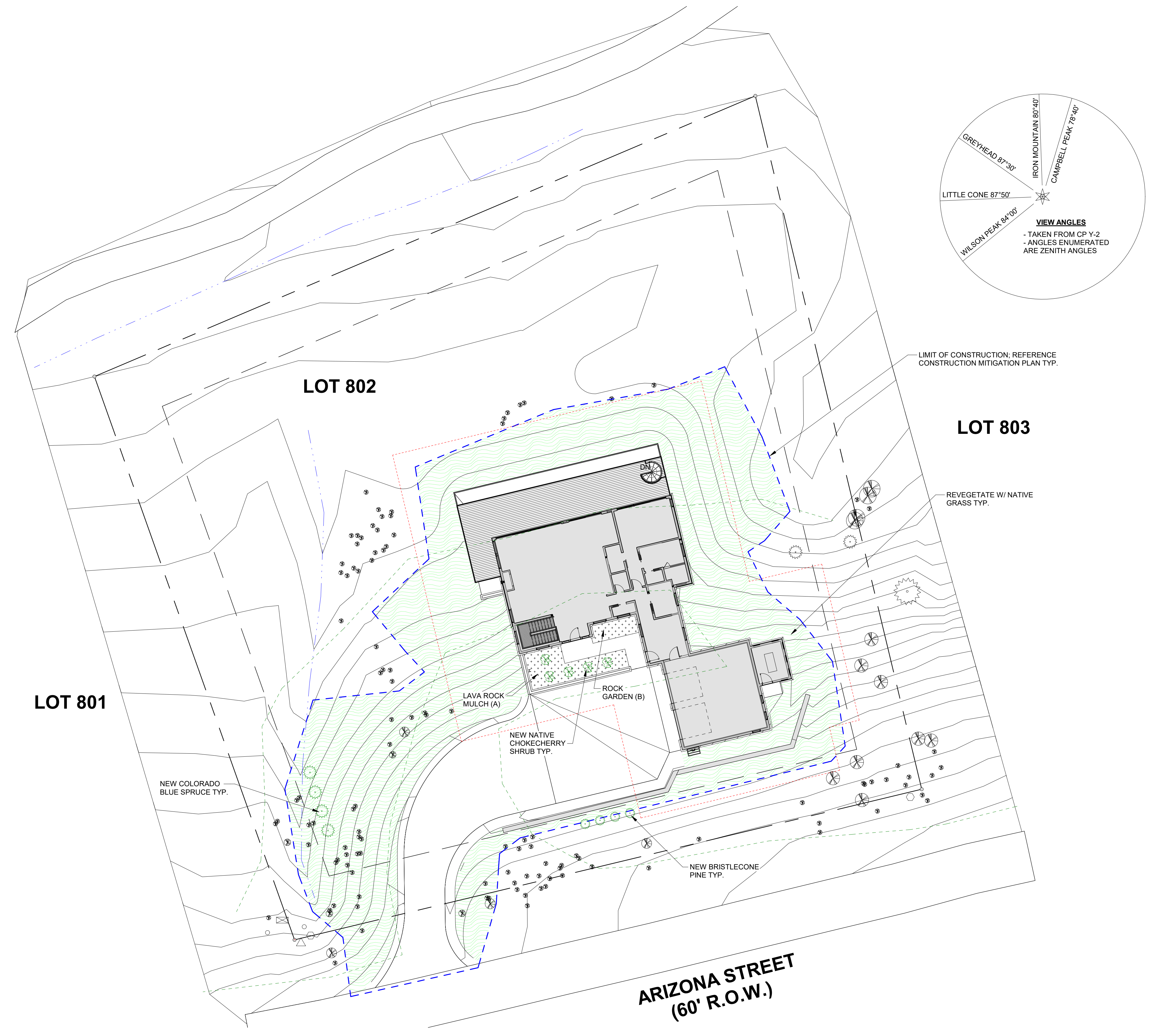
- PROVIDE IRRIGATION SYSTEM IN ACCORDANCE WITH CDC REQUIREMENTS (17.5.9 LANDSCAPING REGULATIONS, TABLE 5-3 IRRIGATION SYSTEM DESIGN) AND THE TOWN OF MOUNTAIN VILLAGE WATER AND SEWER REGULATIONS.
- IRRIGATION CONTROL EQUIPMENT SHALL INCLUDE AN AUTOMATIC IRRIGATION CONTROLLER HAVING PROGRAM FLEXIBILITY SUCH AS REPEAT CYCLES AND MULTIPLE PROGRAM CAPABILITIES. AUTOMATIC IRRIGATION CONTROLLERS SHALL HAVE BATTERY BACKUP TO RETAIN THE IRRIGATION PROGRAMS.
- TREES AND SHRUBS SHALL BE DRIP IRRIGATION.
- PERENNIAL BEDS SHALL BE SPRAY HEADS. USE SOAKER HOSE, LOW VOLUME MIST AND/OR EMITTERS EQUIPPED WITH ADJUSTABLE NOZZLES TO LIMIT OVER/UNDER WATERING WITHIN A SPECIFIC ZONE.
- TURF GRASS SHALL BE SPRAY HEADS.
- ALL AREAS TO BE REVEGETATED WITH NATIVE GRASS SEED MIX MAY BE IRRIGATED UNTIL THE GRASS IS ESTABLISHED, BUT NO MORE THAN ONE (1) FULL GROWING SEASON WITH ANY SUCH EXTRA IRRIGATION INSTALLED ON A SEPARATE ZONE THAT WILL BE PERMANENTLY SHUT OFF AFTER SUCCESSFUL REVEGETATION.

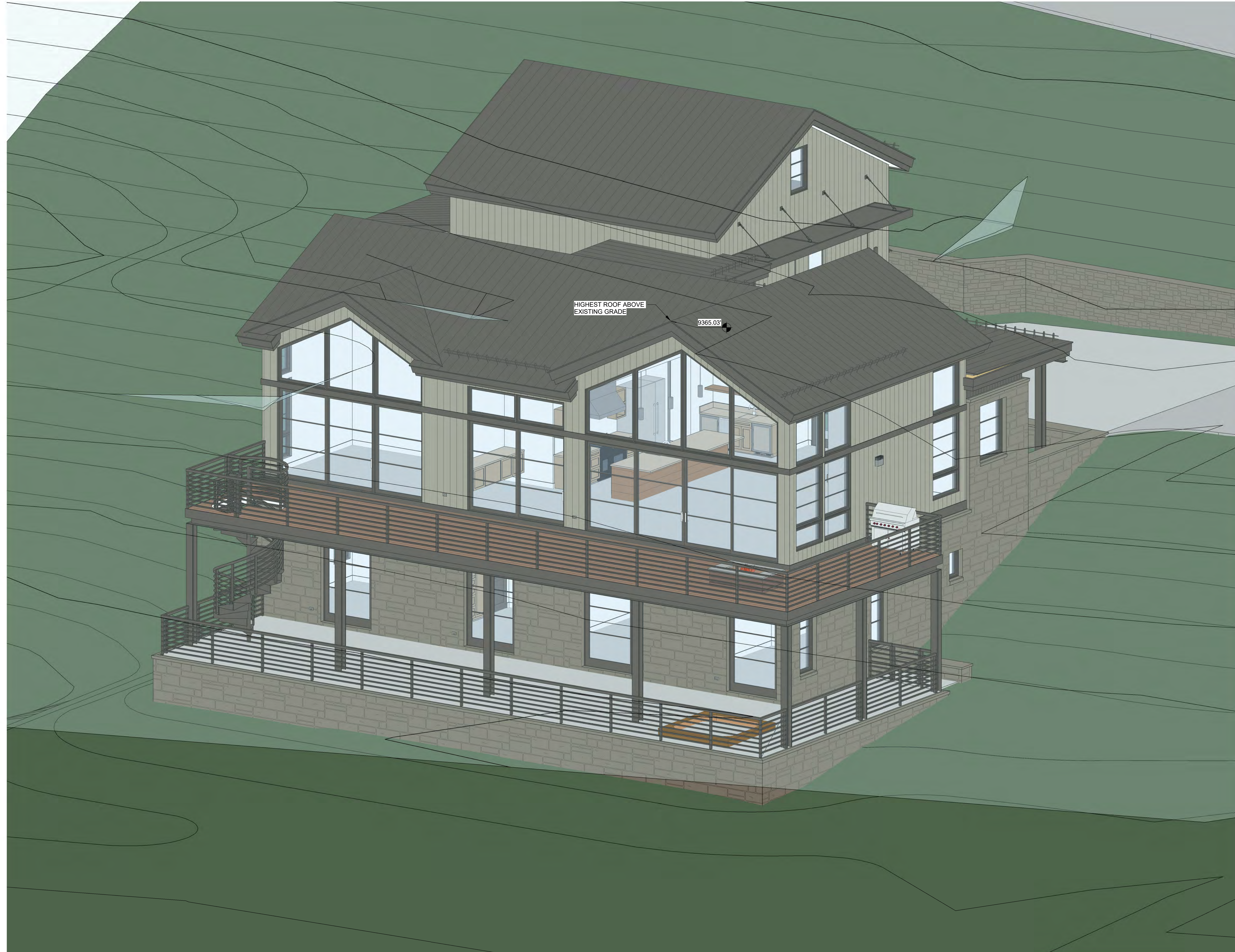
### IRRIGATION SCHEDULE

ZONE	LOCATION	HEAD	GPM
1	ASPEN TREES	DRIP EMITTERS	-
1	EVERGREEN TREES	DRIP EMITTERS	-
2	SHRUBS	DRIP EMITTERS	-
3	PERENNIALS SOUTH	1806 POP UPS	-
4	REVEGETATION AREAS	ROTORS	24

### IRRIGATION LEGEND

	TAP WITH RAINBIRD PVB-075 BACKFLOW PREVENTER
	RAINBIRD RCM-12 ELECTROMECHANICAL CONTROLLER
	1.5" WILKINS MODEL 500 PRESSURE REGULATOR
	RAINBIRD 150-PEB 1.5" ELECTRIC REMOTE CONTROL VALVE
	CLASS 200 PVC MAINLINE 1 1/2"
	1:80 NSF POLYLATERAL LINE
	WATER SENSOR BY RAINBIRD





**NELSON RESIDENCE**

121 ARIZONA ST., MOUNTAIN VILLAGE, CO 81435  
 LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

SITE 40' PARALLEL  
 OFFSET

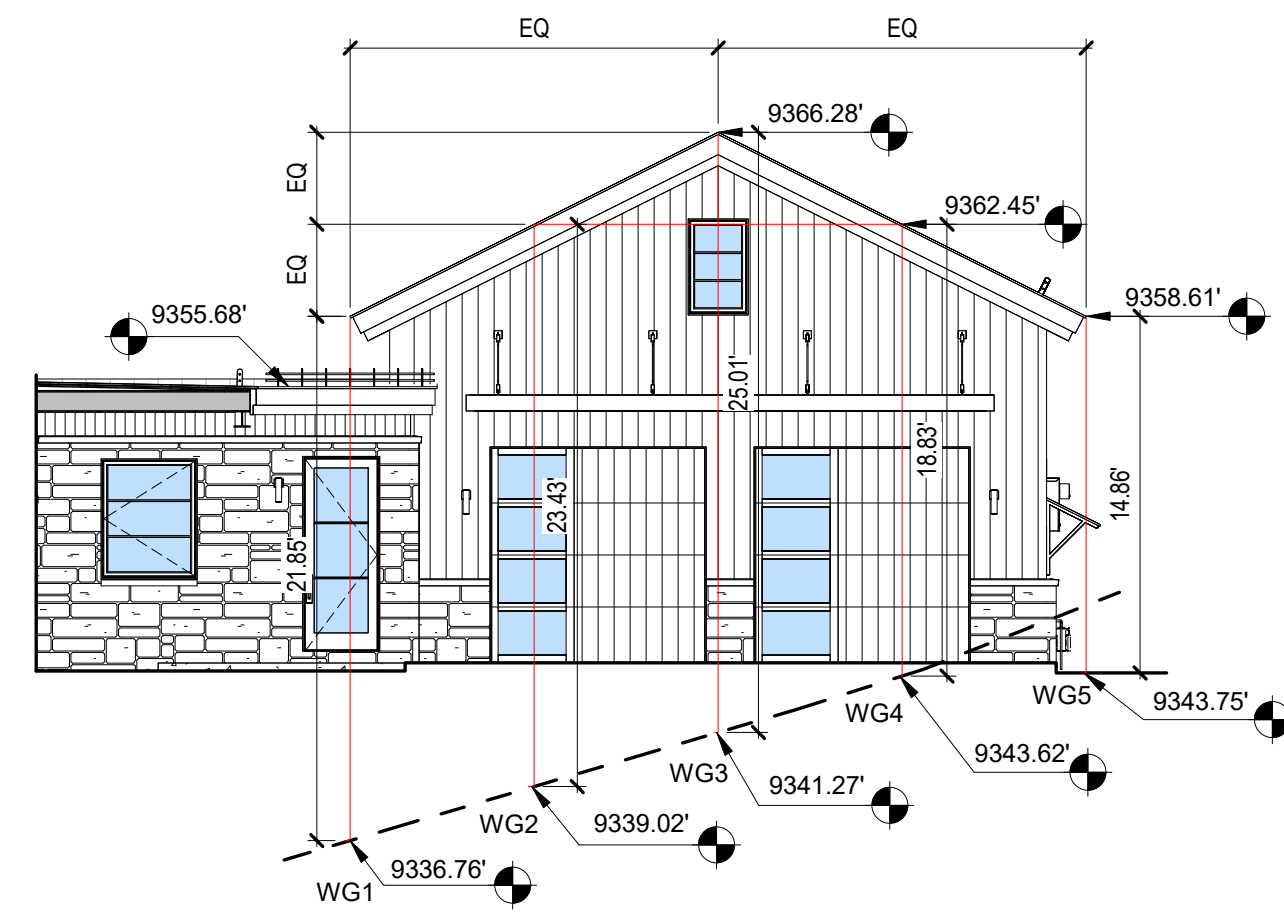
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SHEET NUMBER

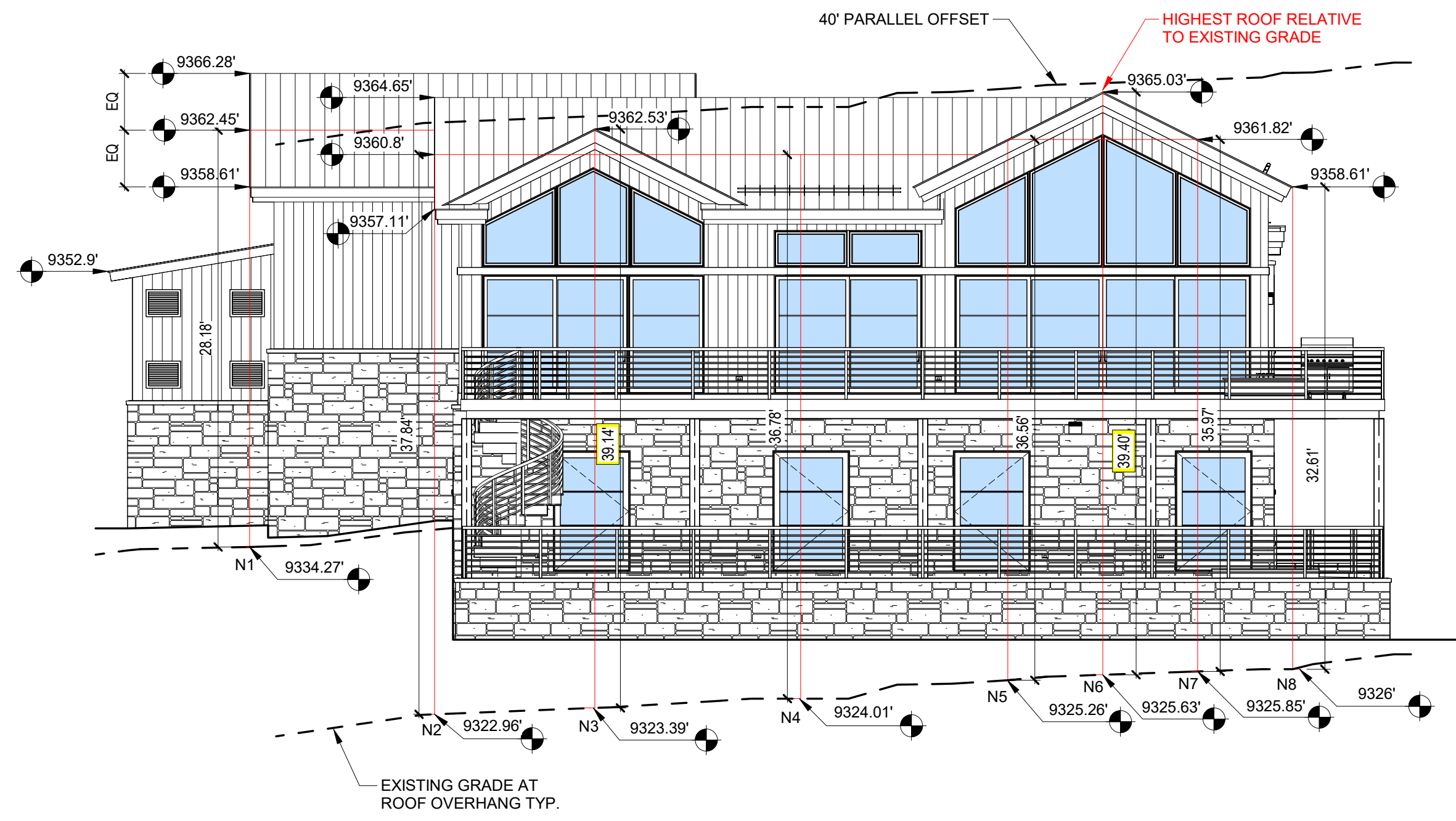
**A2.0**

**NOT FOR CONSTRUCTION**

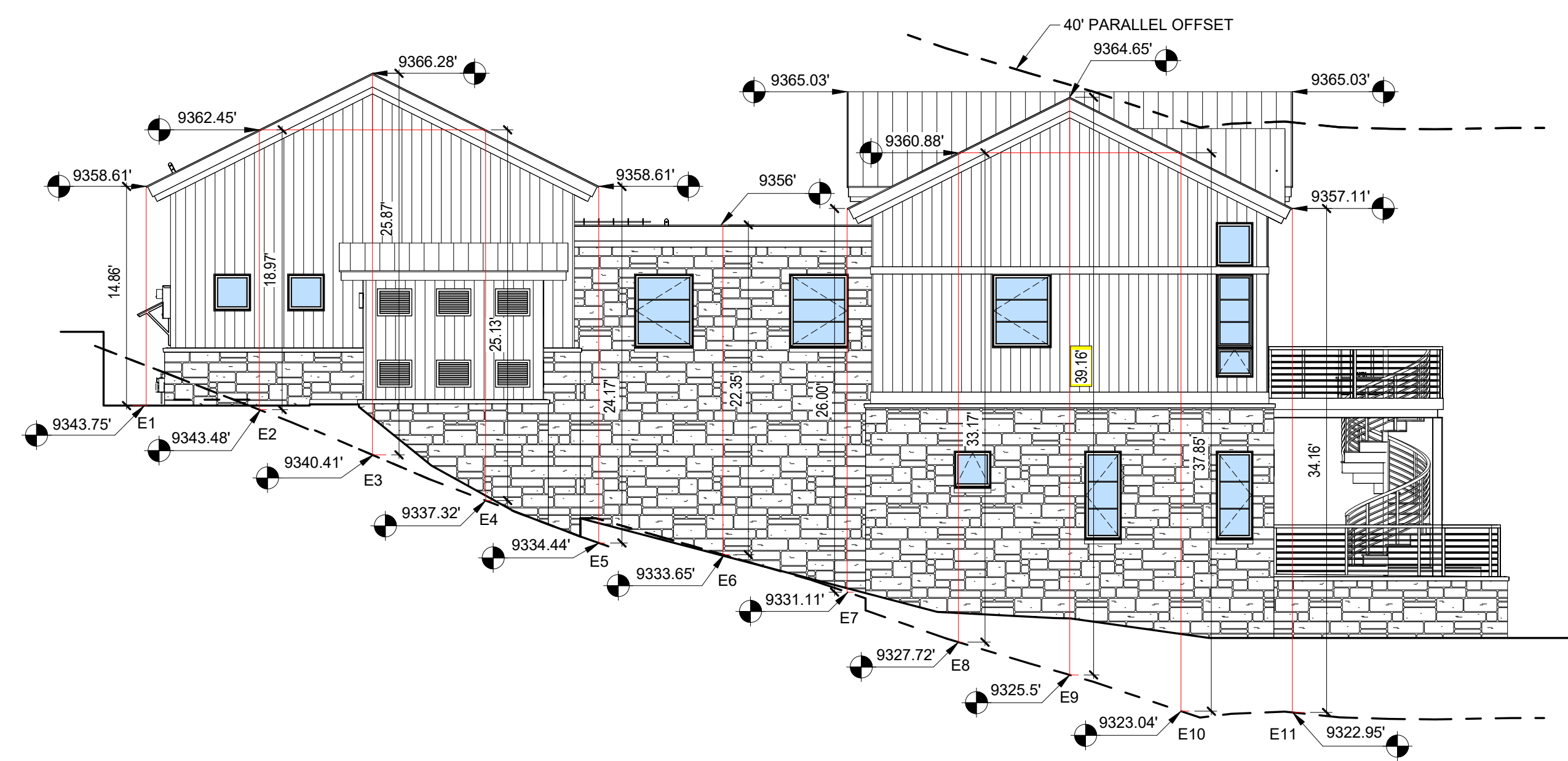
**1 EXISTING GRADE 40' PARALLEL OFFSET**



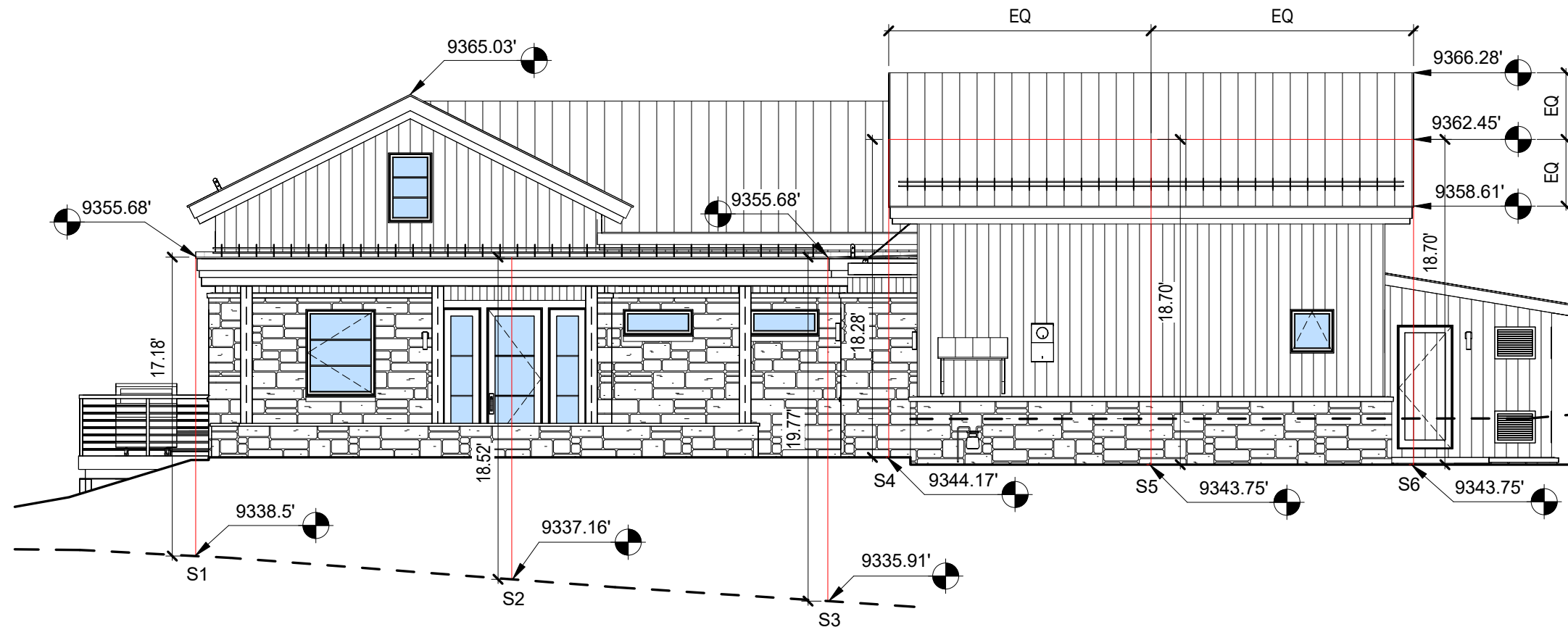
**5 WEST ELEVATION AT GARAGE**  
1/8" = 1'-0"



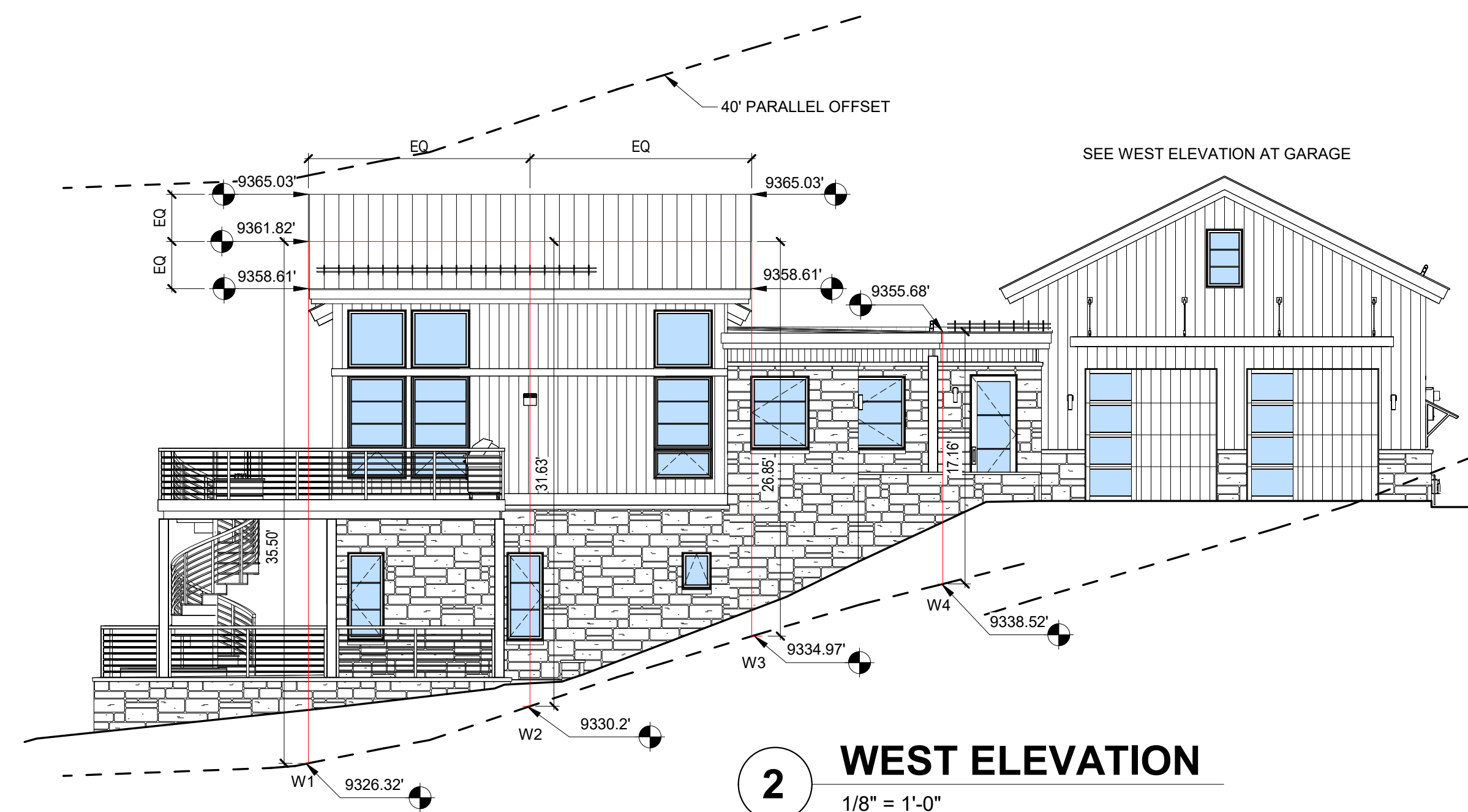
**3 NORTH ELEVATION**  
1/8" = 1'-0"



**4 EAST ELEVATION**  
1/8" = 1'-0"



**1 SOUTH ELEVATION**  
1/8" = 1'-0"



**2 WEST ELEVATION**  
1/8" = 1'-0"

MAX BUILDING HT :	
HIGHEST POINT RELATIVE TO GRADE:	
LOCATION: N6	39.40'
MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9365.03'
MOST RESTRICTIVE GRADE BELOW	9325.63'
2ND HIGHEST POINT RELATIVE TO GRADE:	
LOCATION: E9	39.16'
MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9364.65'
MOST RESTRICTIVE GRADE BELOW	9325.50'
3RD HIGHEST POINT RELATIVE TO GRADE:	
LOCATION: N3	39.14'
MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9362.53'
MOST RESTRICTIVE GRADE BELOW	9323.39'

AVG ROOF HT :	
NORTH ELEVATION	
N1	28.18'
N2	37.84'
N3	39.14'
N4	36.78'
N5	36.56'
N6	39.40'
N7	35.97'
N8	32.61'
SUB-TOTAL:	
# OF LOCATIONS:	286.48'
AVERAGE:	35.81'
SOUTH ELEVATION	
S1	17.18'
S2	18.52'
S3	19.77'
S4	18.28'
S5	18.70'
S6	18.70'
SUB-TOTAL:	
# OF LOCATIONS:	111.15'
AVERAGE:	18.52'
EAST ELEVATION	
E1	14.86'
E2	18.97'
E3	25.87'
E4	25.13'
E5	24.17'
E6	22.35'
E7	26.00'
E8	33.17'
E9	39.16'
E10	37.85'
E11	34.16'
SUB-TOTAL:	
# OF LOCATIONS:	301.69'
AVERAGE:	27.42'
WEST ELEVATION	
W1	35.50'
W2	31.63'
W3	26.85'
W4	17.16'
SUB-TOTAL:	
# OF LOCATIONS:	111.14'
AVERAGE:	27.78'
WEST @ GARAGE ELEVATION	
WG1	21.85'
WG2	23.43'
WG3	25.01'
WG4	18.83'
WG5	14.86'
SUB-TOTAL:	
# OF LOCATIONS:	103.98'
AVERAGE:	20.79'
TOTAL:	
NUMBER OF LOCATIONS:	914.44'
AVERAGE:	26.89'

**SHIFT** ARCHITECTS  
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www.shift-architects.com

PROJECT ISSUE DATE:  
10.16.23 DRB FINAL REVIEW

REVISIONS		
NO.	DATE	DESC
12	09.11.23	Revised roof ht calcs due to roof re-design and raising project 2'-0"
23	10.10.23	Revised average roof height calculation due to change in covered entry porch roof assembly

10/16/2023 8:25:31 AM  
NELSON RESIDENCE  
121 ARIZONA ST. MOUNTAIN VILLAGE, CO 81435  
LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO  
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SHEET NUMBER  
**A2.1**  
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REVISIONS

NO.	DATE	DESC
13	09.11.23	Revised material calls due to roof re-design and raising project
24	10.10.23	Revised material calculations due to new windows
25	10.10.23	Revised material calculation; changed mudroom wall from siding to stone
26	10.10.23	Revised material calculation totals

**MATERIAL CALCULATIONS**

NORTH		
STONE	846 SF	48%
WOOD SIDING	178 SF	10%
WINDOW/DOOR GLAZING	748 SF	42%
STEEL SIDING		
SUBTOTAL:	1,772 SF	100%

SOUTH		
STONE	140 SF	22%
WOOD SIDING	480 SF	73%
WINDOW/DOOR GLAZING	6.25 SF	1%
STEEL SIDING	4 SF	1%
WOOD DOOR	21 SF	3%
SUBTOTAL:	651.25 SF	100%

EAST		
STONE	945 SF	50%
WOOD SIDING	815 SF	43%
WINDOW/DOOR GLAZING	133.75 SF	7%
STEEL SIDING		
SUBTOTAL:	1,893.75 SF	100%

WEST		
STONE	690 SF	43%
WOOD SIDING	488 SF	30%
WINDOW/DOOR GLAZING	24 SF	1%
STEEL SIDING	28 SF	2%
WOOD DOOR	162 SF	10%
SUBTOTAL:	1,607 SF	100%

NORTH AT GARAGE		
STONE	293 SF	50%
WOOD SIDING	289 SF	50%
SUBTOTAL:	582 SF	100%

SOUTH AT ENTRY		
STONE	283 SF	44%
WOOD SIDING	198 SF	31%
WINDOW/DOOR GLAZING	98 SF	15%
STEEL SIDING	63 SF	10%
SUBTOTAL:	642 SF	100%

EAST AT ENTRY		
STONE	34 SF	89%
STEEL SIDING	4 SF	11%
SUBTOTAL:	38 SF	100%

RETAINING WALLS		
STONE	289 SF	100%
SUBTOTAL:	289 SF	100%

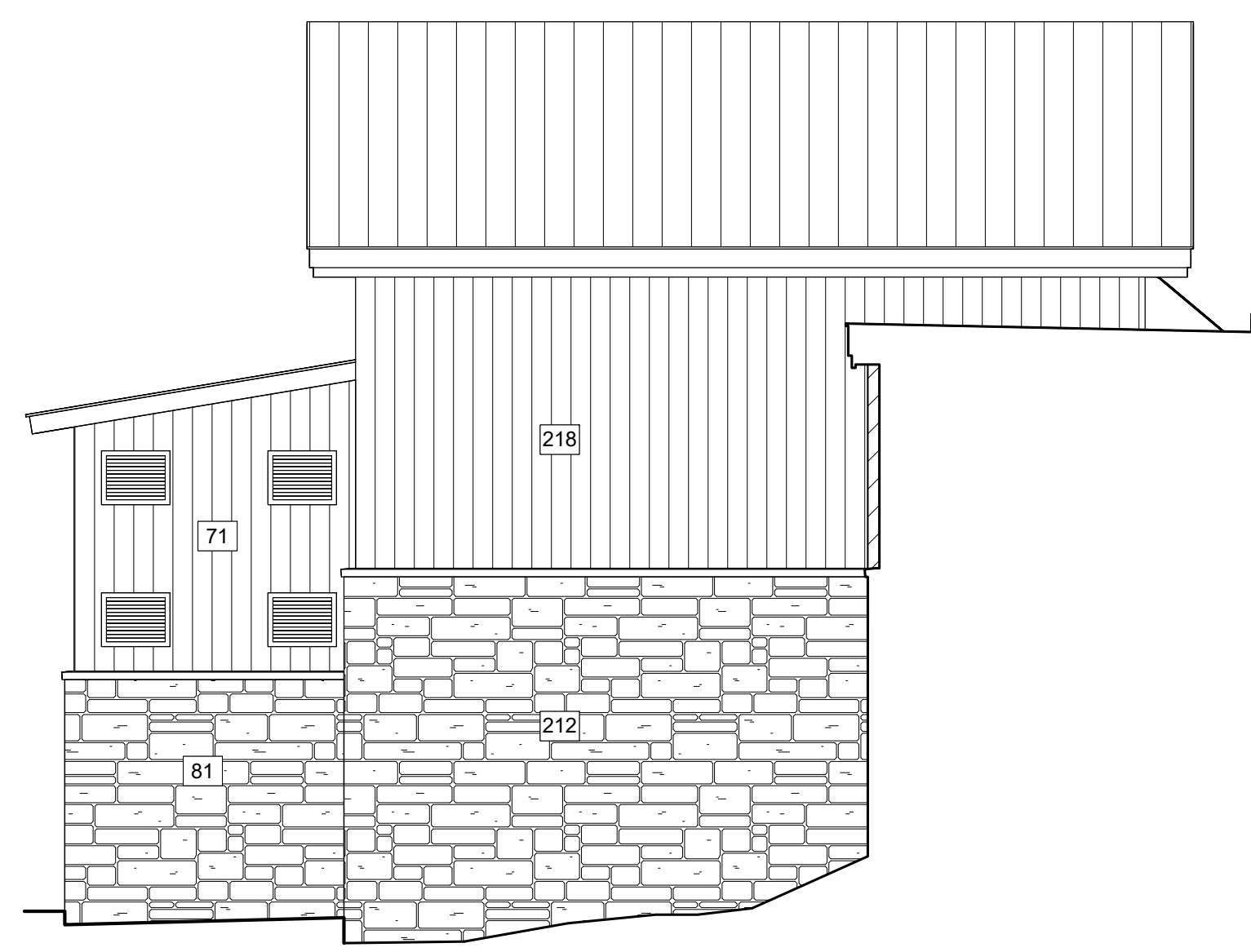
  

TOTALS		
STONE	3,332 SF	
STONE @ RETAINING WALL	289 SF	
WOOD SIDING	2,347 SF	
WINDOW/DOOR GLAZING	1,227 SF	
STEEL SIDING	97 SF	
WOOD DOOR	183 SF	
TOTAL:	7,475 SF	

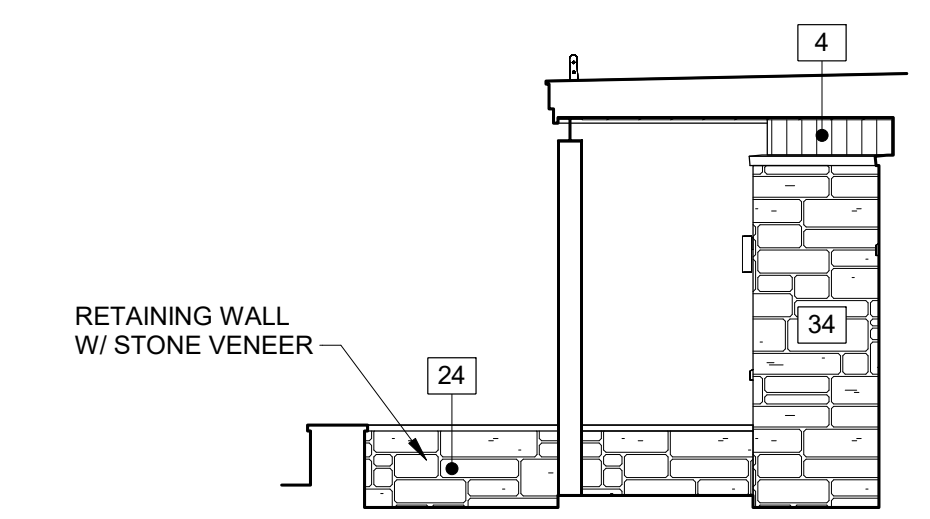
  

PERCENTAGES		
STONE	45%	49%
STONE @ RETAINING WALL	4%	
WOOD SIDING	31%	
WINDOW/DOOR GLAZING	16%	
STEEL SIDING	2%	
WOOD DOOR	2%	
TOTAL:	100%	

STONE VENEER CALCULATIONS ARE IN ACCORDANCE WITH TITLE 17 OF THE TOWN OF MOUNTAIN VILLAGE MUNICIPAL CODE CDC 17.5.6.E.1



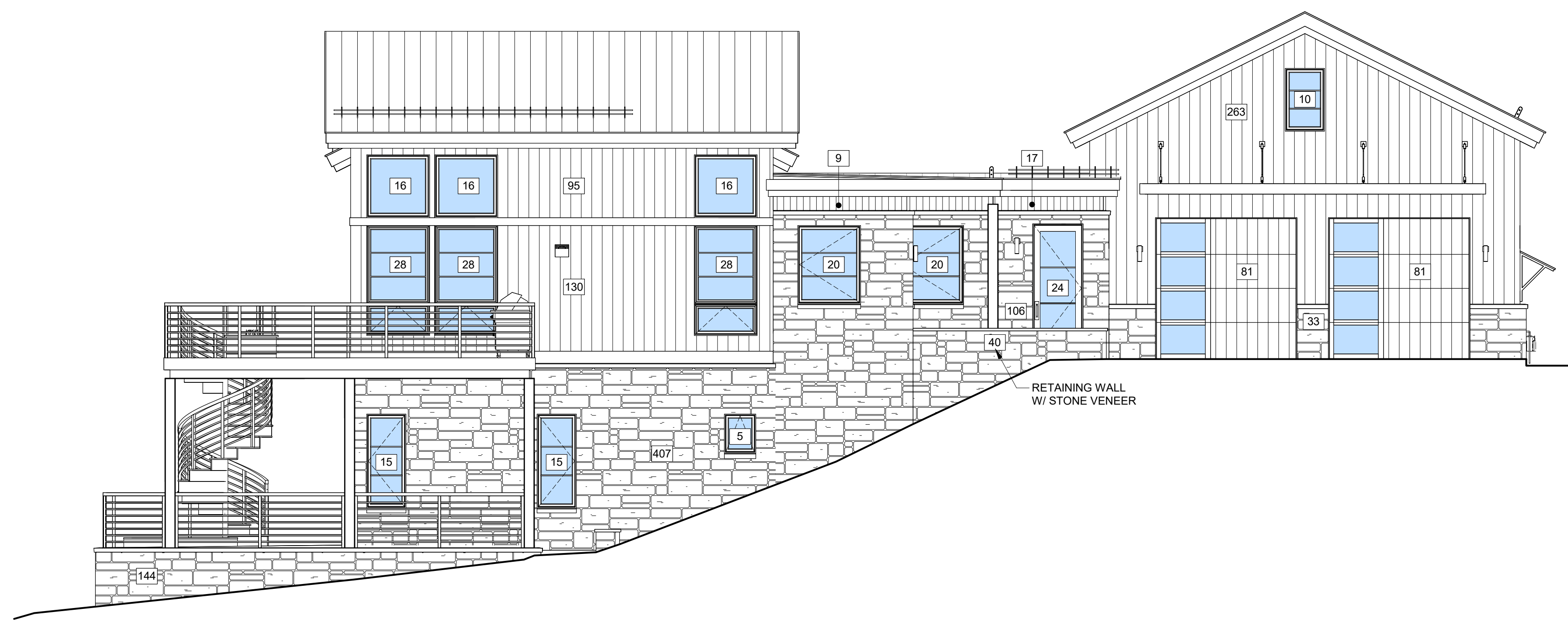
**7 NORTH ELEVATION AT GARAGE**  
 3/16" = 1'-0"



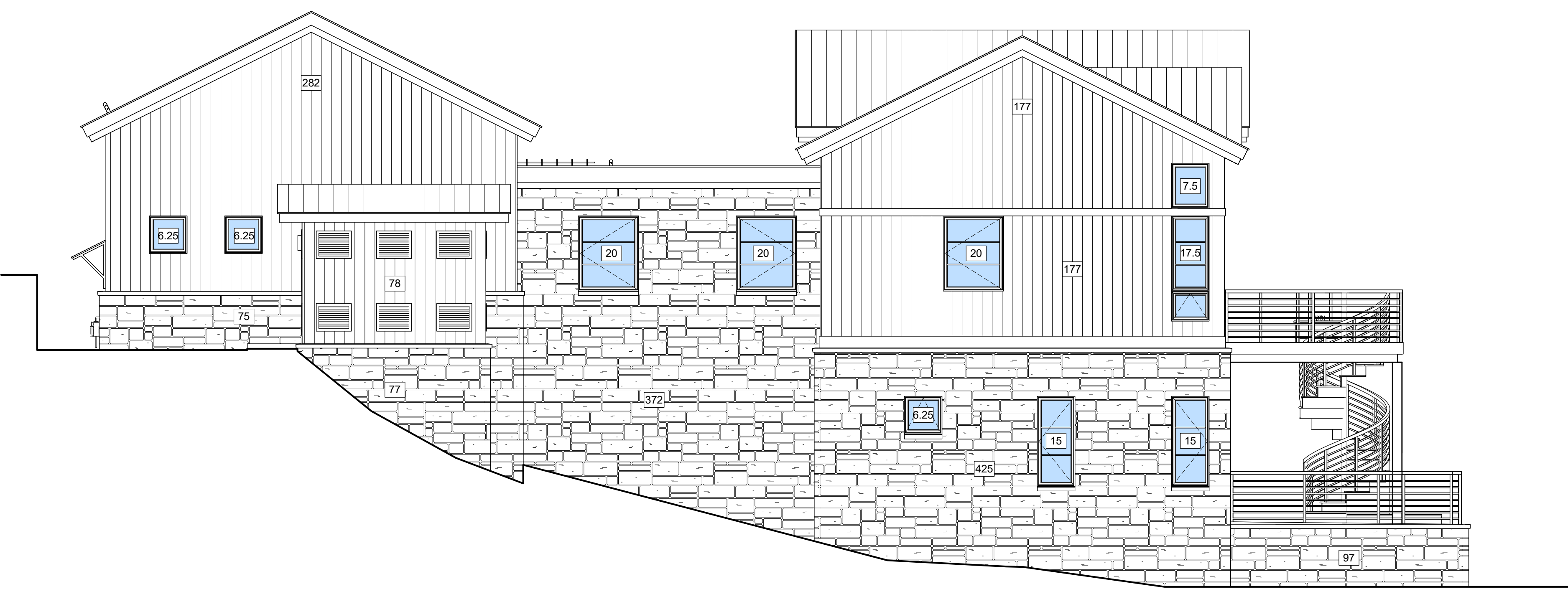
**6 EAST ELEVATION AT ENTRY**  
 3/16" = 1'-0"



**4 SOUTH ELEVATION AT ENTRY / PRIMARY BATH**  
 3/16" = 1'-0"



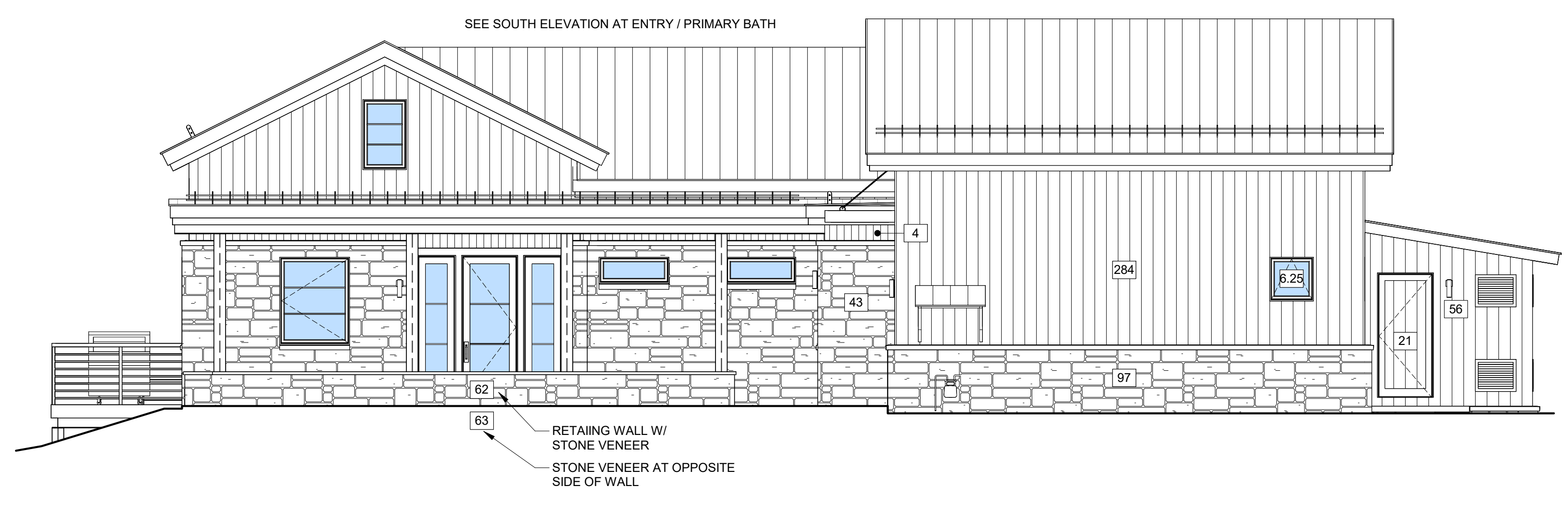
**5 WEST ELEVATION**  
 3/16" = 1'-0"



**3 EAST ELEVATION**  
 3/16" = 1'-0"

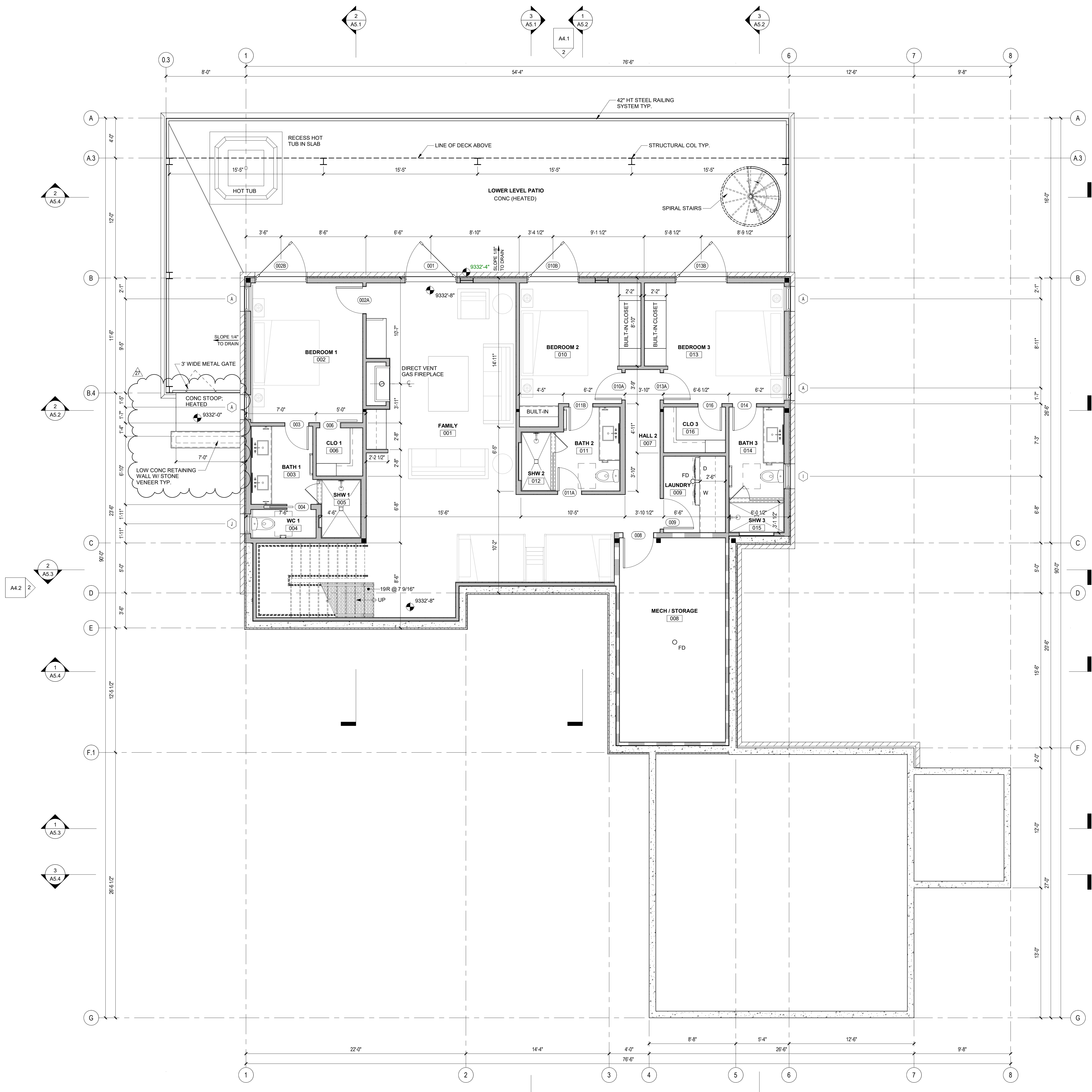


**1 NORTH ELEVATION**  
 3/16" = 1'-0"



**2 SOUTH ELEVATION**  
 3/16" = 1'-0"





**FLOOR PLAN GENERAL NOTES:**

DIMENSIONS:  
 ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE, ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.N.O.

**SHIFT ARCHITECTS**

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 www.shift-architects.com

PROJECT ISSUE DATE:  
 10.16.23 DRB FINAL REVIEW

REVISIONS

NO.	DATE	DESC
14	09.11.23	Enlarged lower level patio and ground level deck
27	10.10.23	New conc stop and retaining wall

121 ARIZONA ST., MOUNTAIN VILLAGE, CO 81435  
 LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

**NELSON RESIDENCE**

FLOOR PLAN

SHEET NUMBER

**A3.1**

**1 LOWER LEVEL**  
 1/4" = 1'-0"

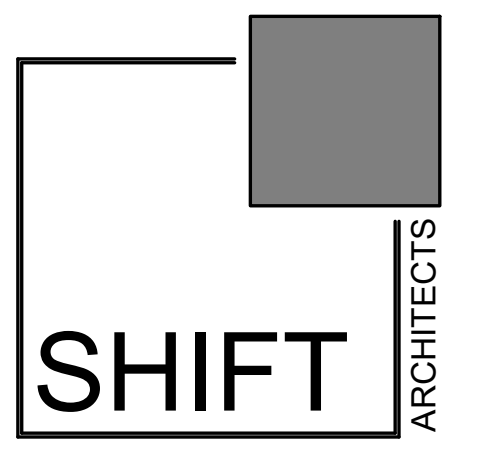
**NOT FOR CONSTRUCTION**

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**FLOOR PLAN GENERAL NOTES:**

DIMENSIONS:  
ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE, ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.O.

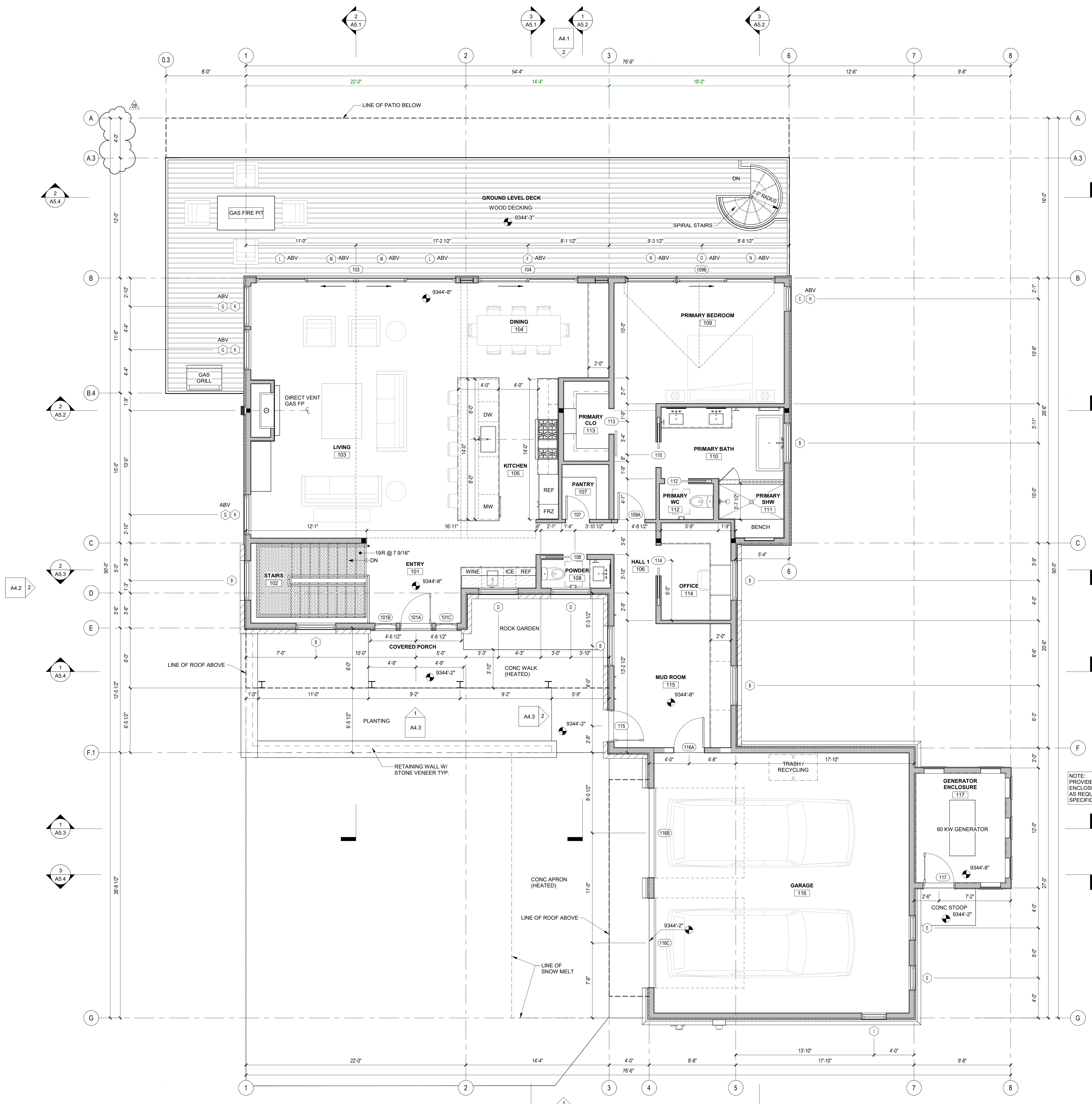


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PROJECT ISSUE DATE:  
10.16.23 DRB FINAL REVIEW

REVISIONS

NO.	DATE	DESC
14	09.11.23	Enlarged lower level patio and ground level deck
28	10.10.23	Offset ground lvl deck 4'-0" from lower lvl patio



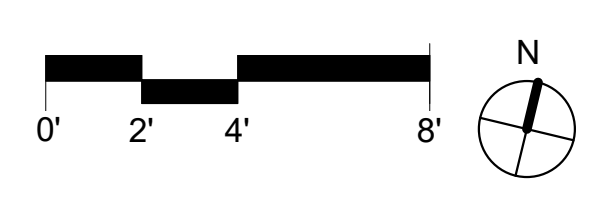
NOTE:  
PROVIDE GENERATOR ENCLOSURE VENTILATION AS REQUIRED PER MANUF SPECIFICATIONS

**NELSON RESIDENCE**

FLOOR PLAN

SHEET NUMBER

**1** GROUND LEVEL  
1/4" = 1'-0"



**A3.2**

10/16/2023 8:25:35 AM

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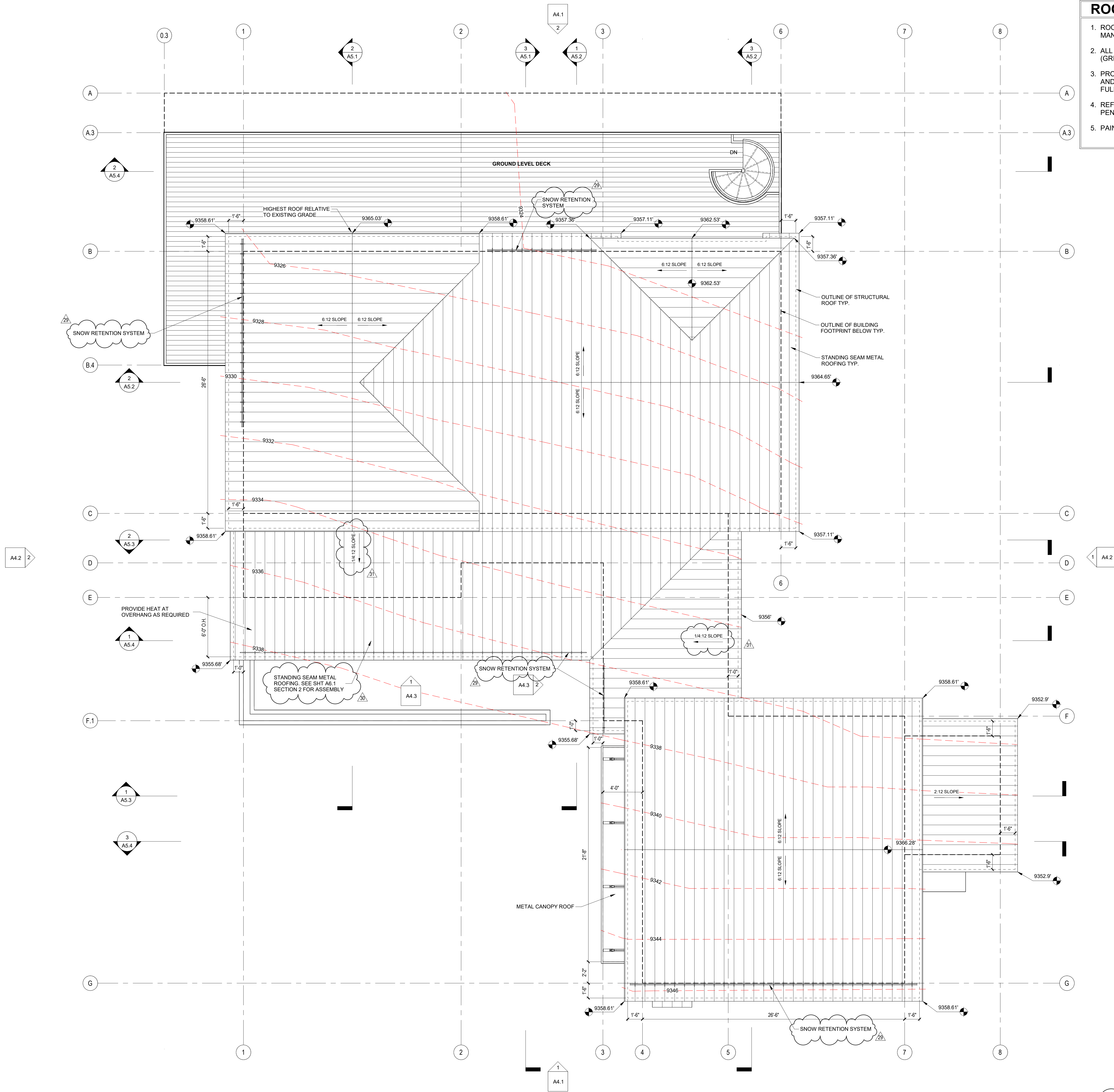
121 ARIZONA ST., MOUNTAIN VILLAGE, CO 81435  
LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

- ROOF PLAN NOTES**
1. ROOFING SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
  2. ALL OVERHANG DIMENSIONS ARE FROM EXTERIOR FACE OF STUD (GRID) TO STRUCTURAL ROOF.
  3. PROVIDE SNOW RETENTION SYSTEM WHERE SHOWN. CONTRACTOR AND ROOF MANUFACTURER TO PROVIDE WATERPROOFING FOR FULL WARRANTY AT SNOW RETENTION PENETRATIONS TYP.
  4. REFERENCE MECHANICAL DRAWINGS FOR LOCATIONS OF ROOF PENETRATIONS.
  5. PAINT ALL ROOF APPURTENANCES TO MATCH ADJACENT ROOF.

PROJECT ISSUE DATE:  
 10.16.23 DRB FINAL REVIEW

REVISIONS

NO.	DATE	DESC
11	09.11.23	Revised roof design
29	10.10.23	Snow retention system
30	10.10.23	Revised roof assembly
31	10.10.23	Revised roof slope



**NELSON RESIDENCE**  
 121 ARIZONA ST., MOUNTAIN VILLAGE, CO 81435  
 LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

ROOF PLAN  
 SHEET NUMBER

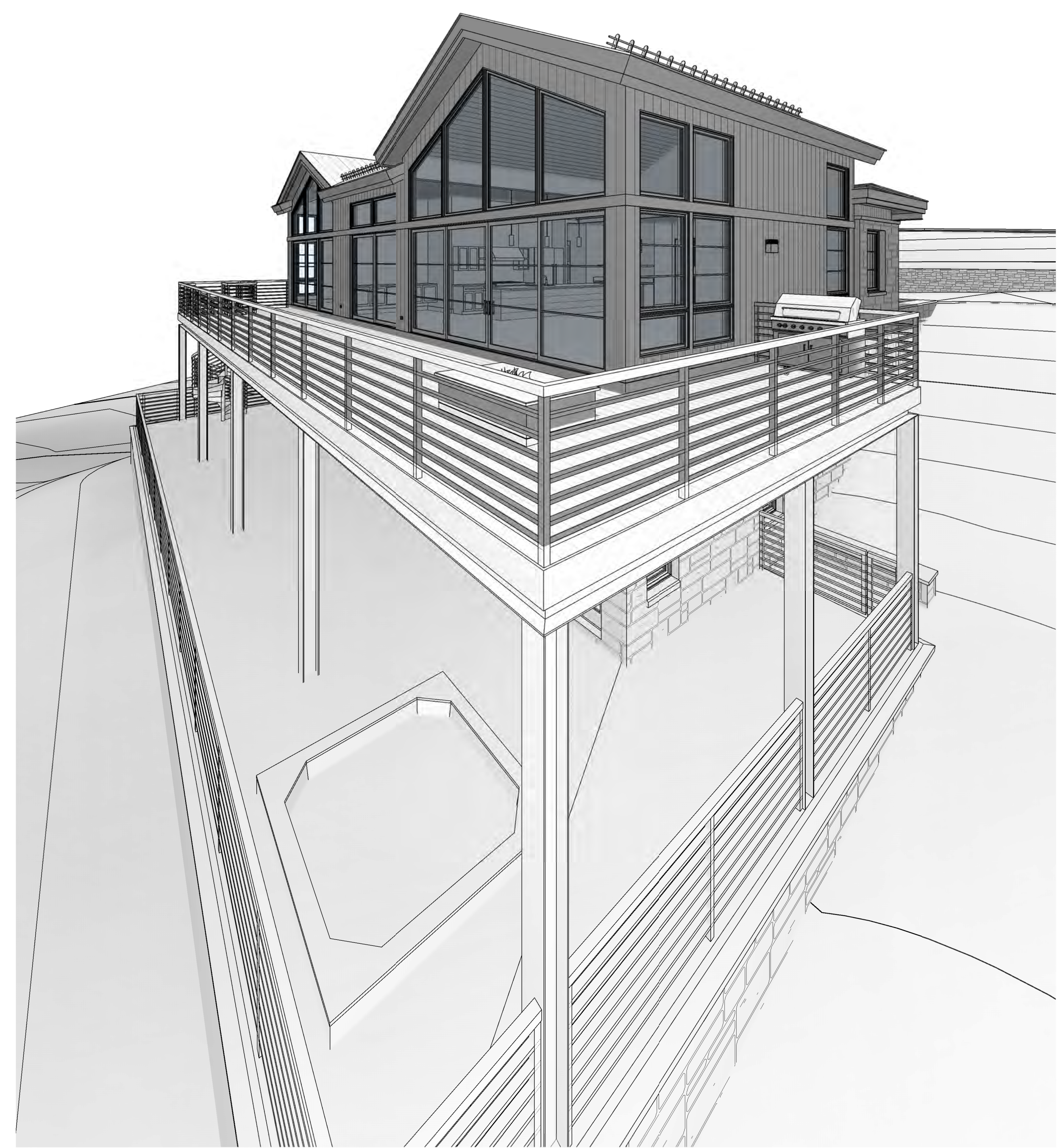
**1 ROOF PLAN**  
 1/4" = 1'-0"

**A3.3**  
 10/16/2023 8:25:35 AM

**NOT FOR CONSTRUCTION**



**3** **SOUTHWEST AXON**



**1** **NORTHWEST AXON**



**2** **NORTHEAST AXON**

**NELSON RESIDENCE**

AXONS

SHEET NUMBER

**A4.0**

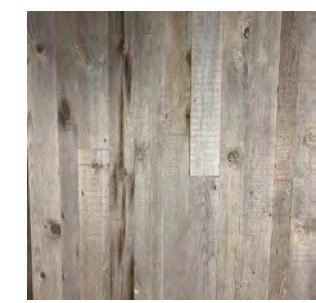
121 ARIZONA ST., MOUNTAIN VILLAGE, CO 81435  
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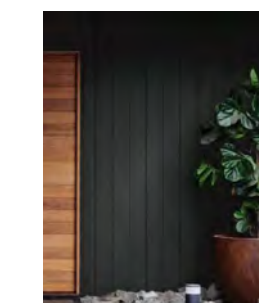
**NOT FOR CONSTRUCTION**



TELLURIDE STONE  
HERITAGE SERIES  
PILATUS  
FULL STONE VENEER



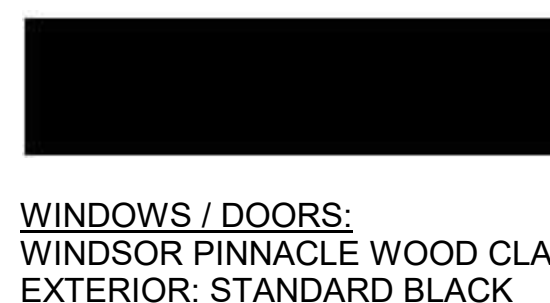
VERTICAL WOOD SIDING:  
8" KNOTTY CEDAR VERT SIDING  
BUTT JOINT  
FINISH: STAINED; GRAYTONE



STEEL VERTICAL SIDING:  
VESTA STEEL SIDING  
5" PLANK PROFILE, SOLID  
VERTICAL APPLICATION  
FINISH: IRONSTONE 414



ROOFING:  
PAC-CLAD 150 12" STANDING SEAM  
METAL ROOFING; MATTE BLACK



WINDOWS / DOORS:  
WINDSOR PINNACLE WOOD CLAD  
EXTERIOR: STANDARD BLACK  
INTERIOR: PRE-PAINTED BLACK



WOOD DECKING:  
THERMORY: BENCHMARK ASH  
5/4X6 MAX GROOVED (JEM)  
SPECIES: WHITE ASH  
INSTALLATION TYPE: HIDDEN  
COLOR: BROWN (NATURAL)

TYPICAL STAIN:  
NATURAL

STEEL BEAMS / COLUMNS / BRACING:  
FINISH: BLACK POWDER COATED

DECORATIVE BAND:  
DOUG FIR WRAPPED W/ STEEL: BLACK  
POWDER COATED

FASCIA:  
DOUBLE FASCIA WRAPPED W/ FLAT STEEL  
FINISH: MATCH ROOF

SOFFIT:  
1X4 T&G PINE  
FINISH: STAINED; TYPICAL

RAILING:  
STEEL RAILING SYSTEM  
FINISH: BLACK POWDER COATED

**EXTERIOR ELEVATION NOTES**

1. CONSISTANT WITH TOWN BUILDING CODES; UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.

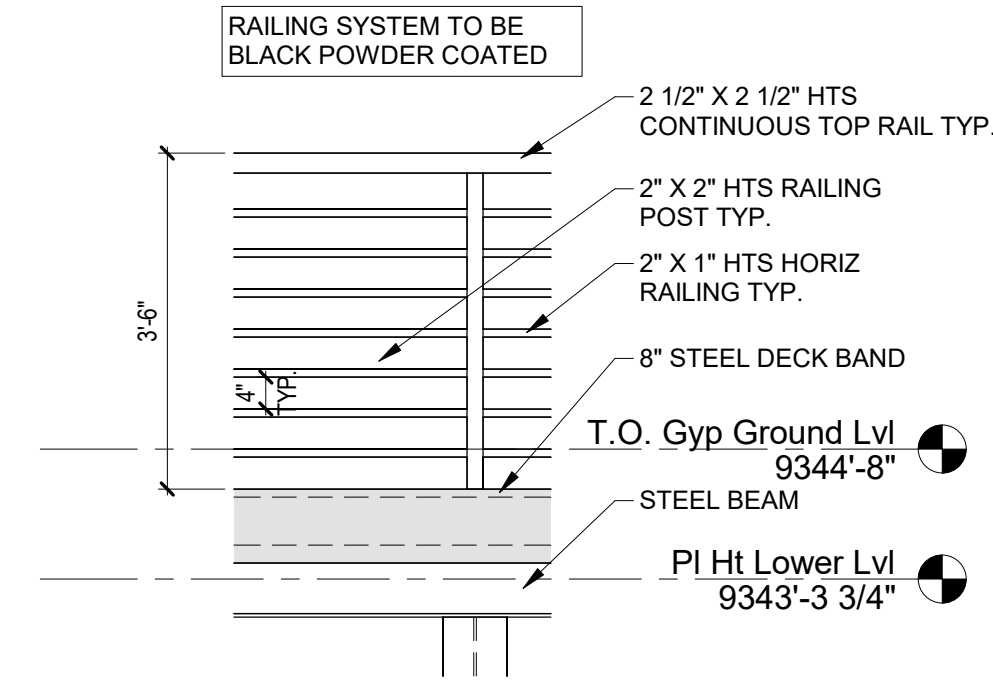
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PROJECT ISSUE DATE:  
10.16.23 DRB FINAL REVIEW

NO.	DATE	DESC.
10	09.11.23	Raise entire structure 2'-0"
32	10.10.23	New window

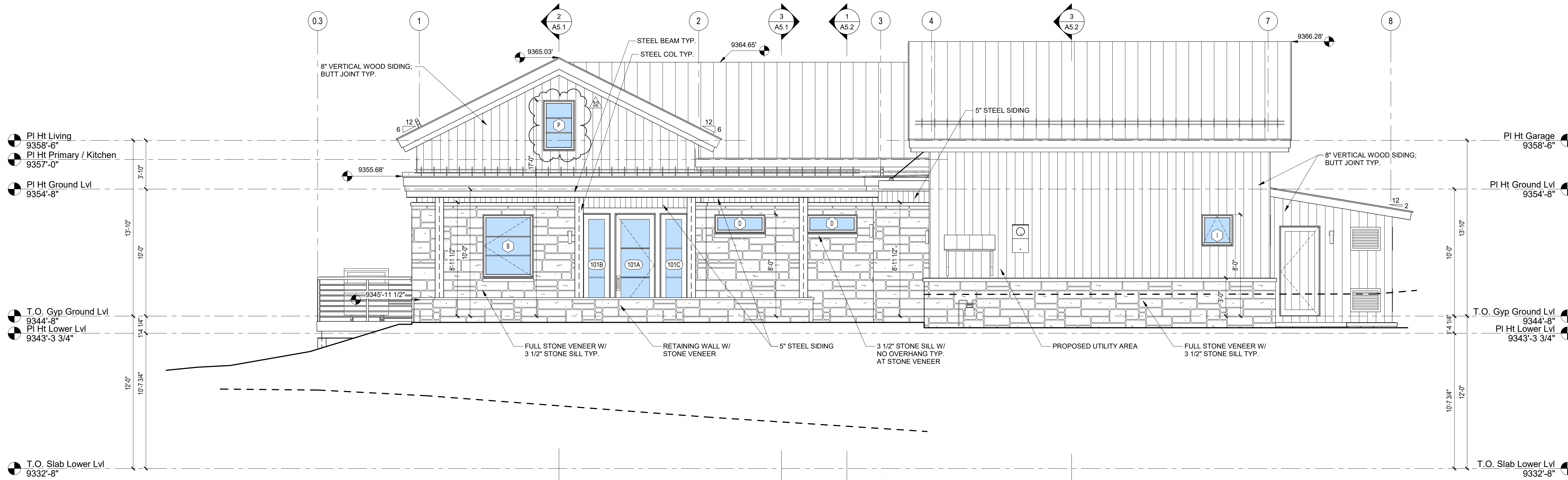
**EXTERIOR MATERIALS**



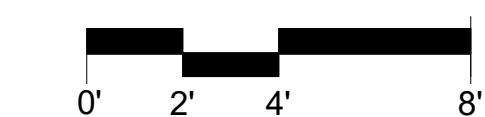
**4 EXTERIOR RAILING**  
1/2" = 1'-0"



**2 NORTH ELEVATION**  
1/4" = 1'-0"



**1 SOUTH ELEVATION**  
1/4" = 1'-0"



NELSON RESIDENCE

121 ARIZONA ST. MOUNTAIN VILLAGE, CO 81435  
LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

EXTERIOR ELEVATIONS

SHEET NUMBER

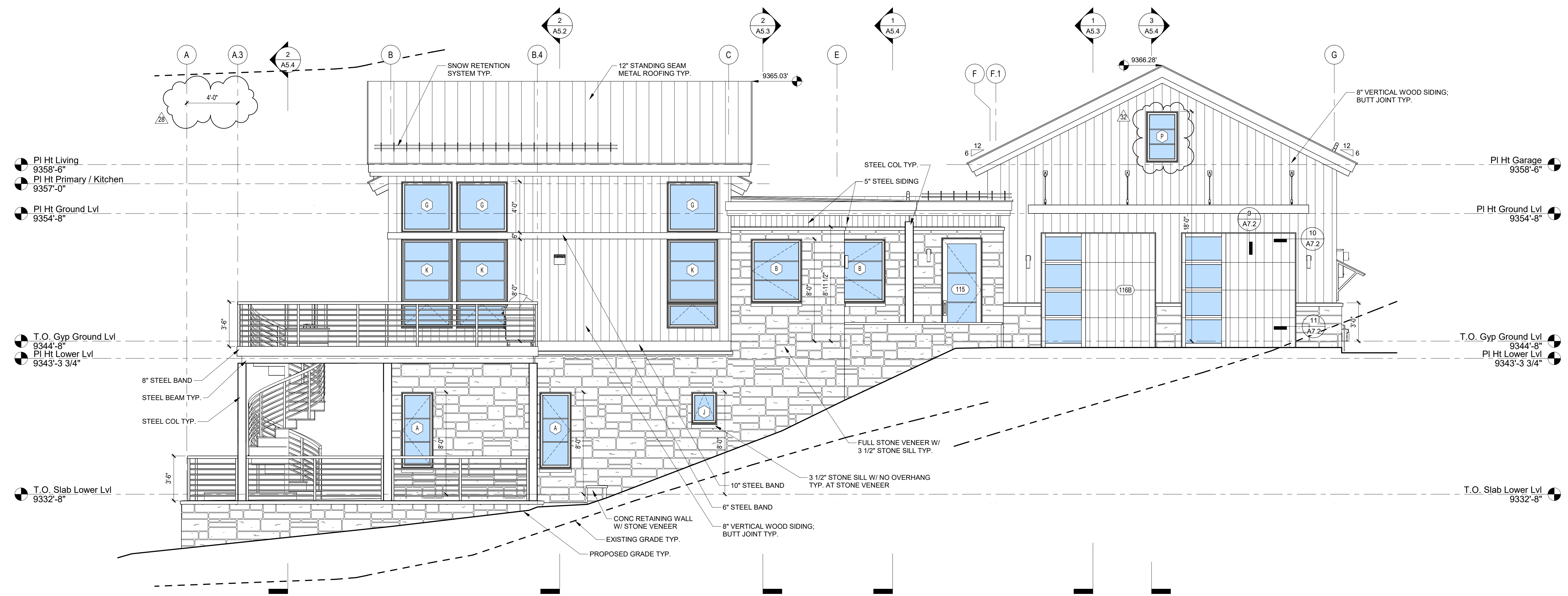
**A4.1**

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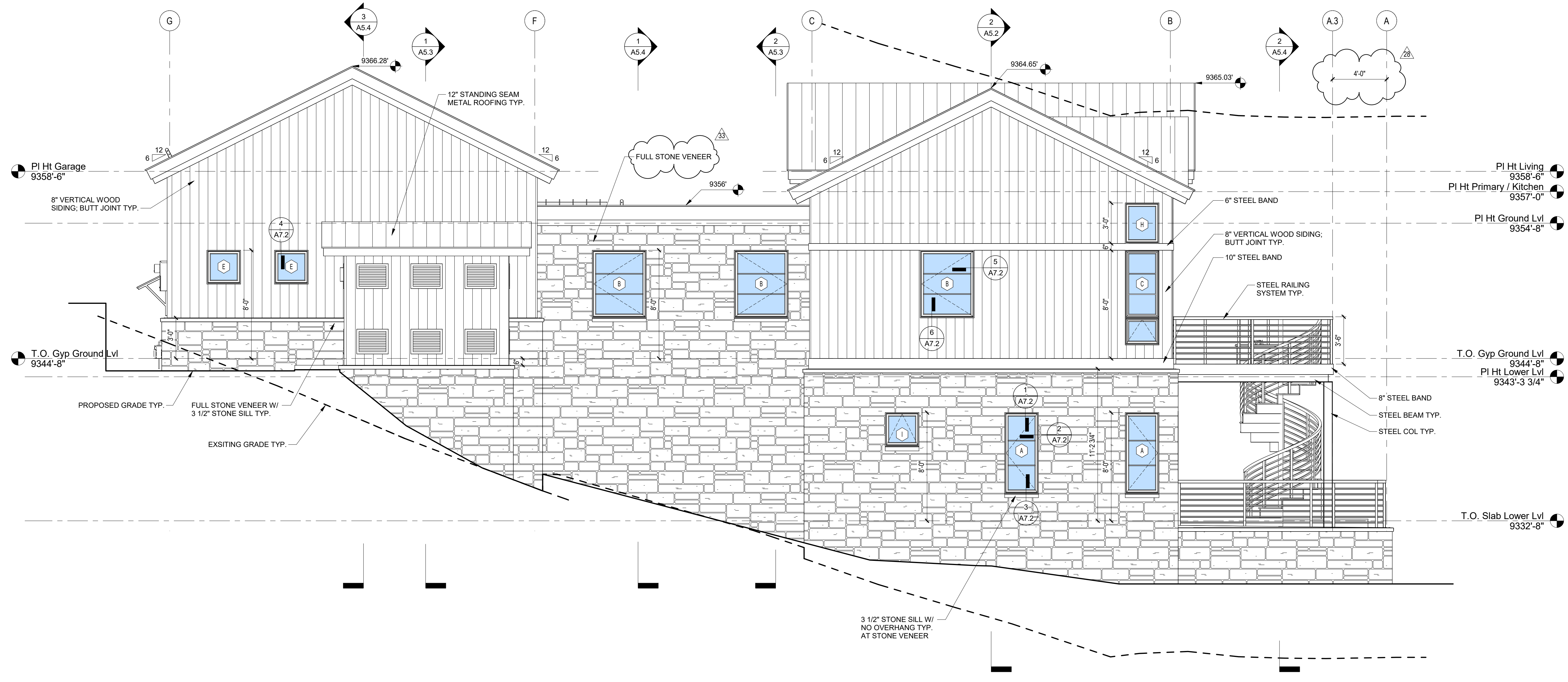
10/16/2023 8:25:44 AM

REVISIONS

NO.	DATE	DESC.
28	10.10.23	Offset ground lvl deck 4'-0" from lower lvl patio
32	10.10.23	New window
33	10.10.23	Changed material from wood siding to stone veneer



**2 WEST ELEVATION**  
 1/4" = 1'-0"



**1 EAST ELEVATION**  
 1/4" = 1'-0"



**NELSON RESIDENCE**

EXTERIOR ELEVATIONS

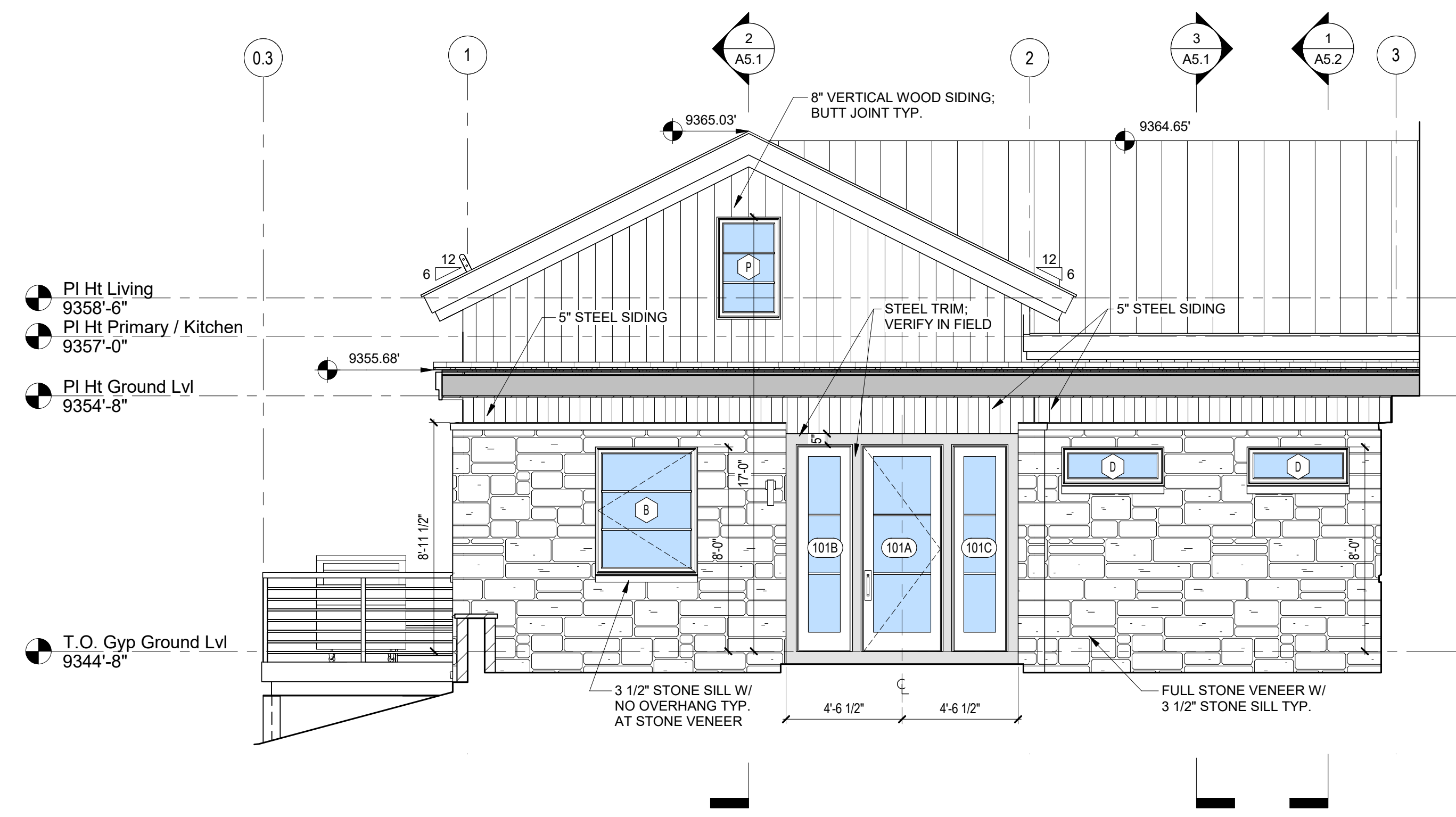
SHEET NUMBER

**A4.2**

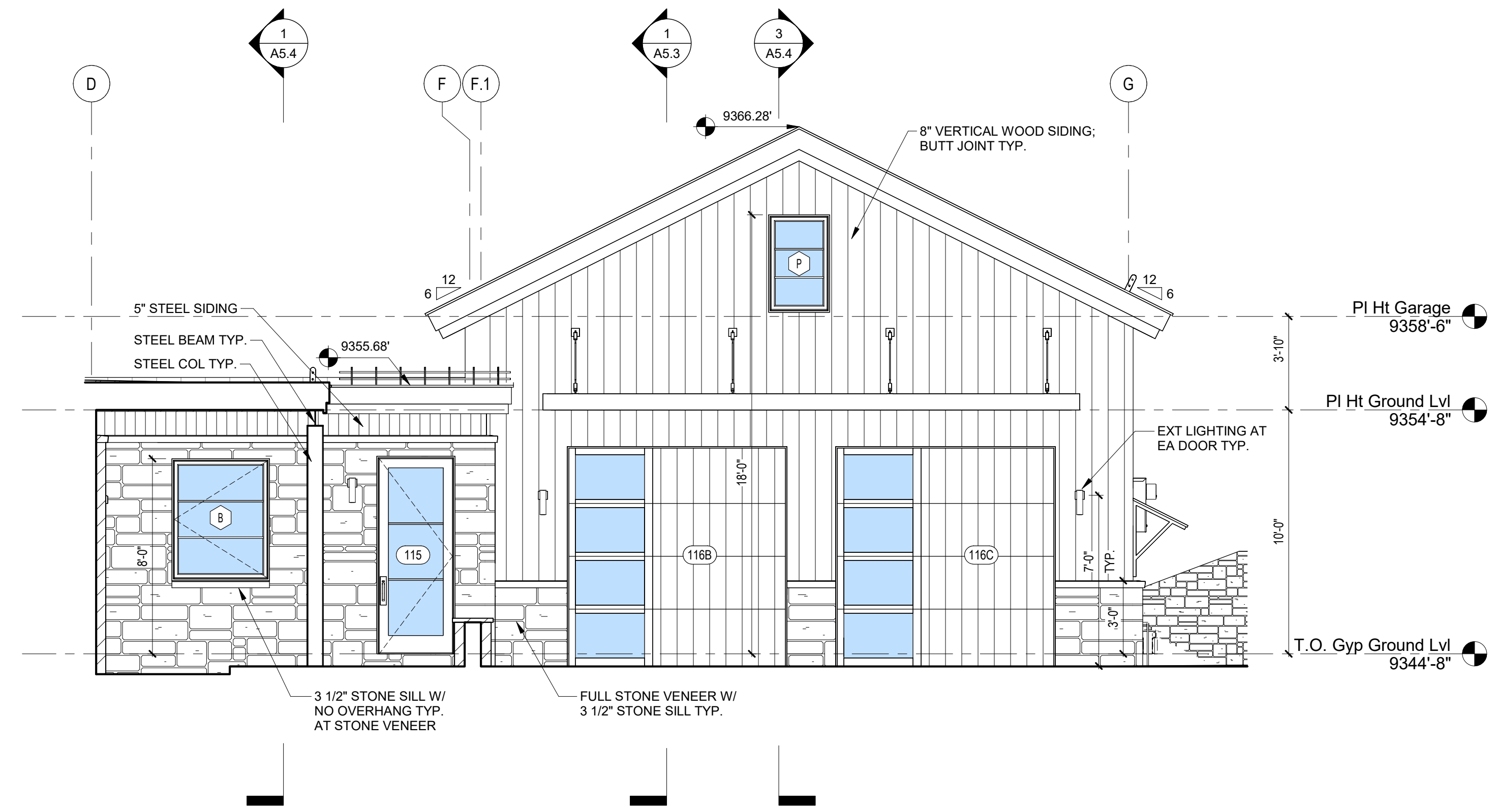
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121 ARIZONA ST., MOUNTAIN VILLAGE, CO 81435  
 LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

**NOT FOR CONSTRUCTION**



**1** PARTIAL ELEVATION AT COVERED ENTRY PORCH  
1/4" = 1'-0"



**2** PARTIAL ELEVATION AT MUD ROOM ENTRY  
1/4" = 1'-0"

**NELSON RESIDENCE**

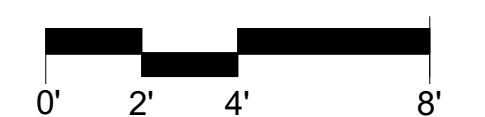
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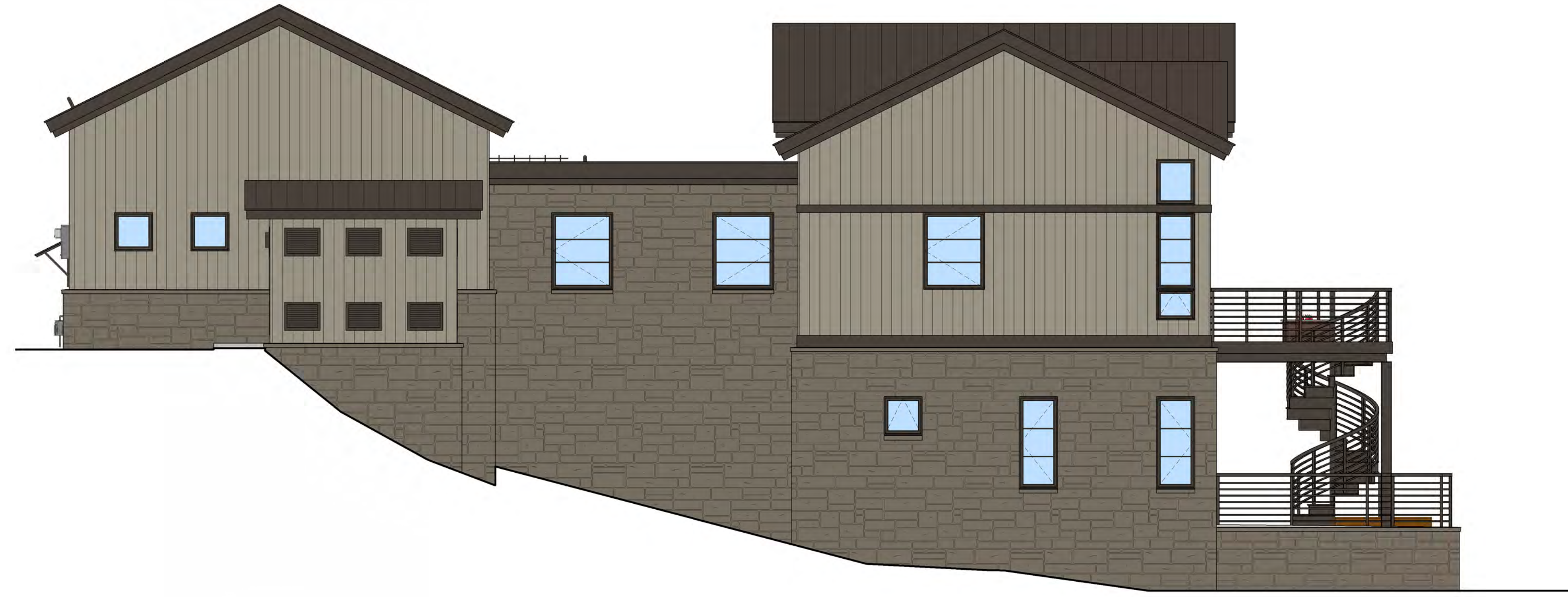
EXTERIOR  
ELEVATIONS

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SHEET NUMBER

**A4.3**





**4 EAST ELEVATION**  
 3/16" = 1'-0"



**3 WEST ELEVATION**  
 3/16" = 1'-0"



**1 SOUTH ELEVATION**  
 3/16" = 1'-0"



**2 NORTH ELEVATION**  
 3/16" = 1'-0"

NELSON RESIDENCE

121 ARIZONA ST. MOUNTAIN VILLAGE, CO 81435  
 LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

PRESENTATION  
 ELEVATIONS

SHEET NUMBER

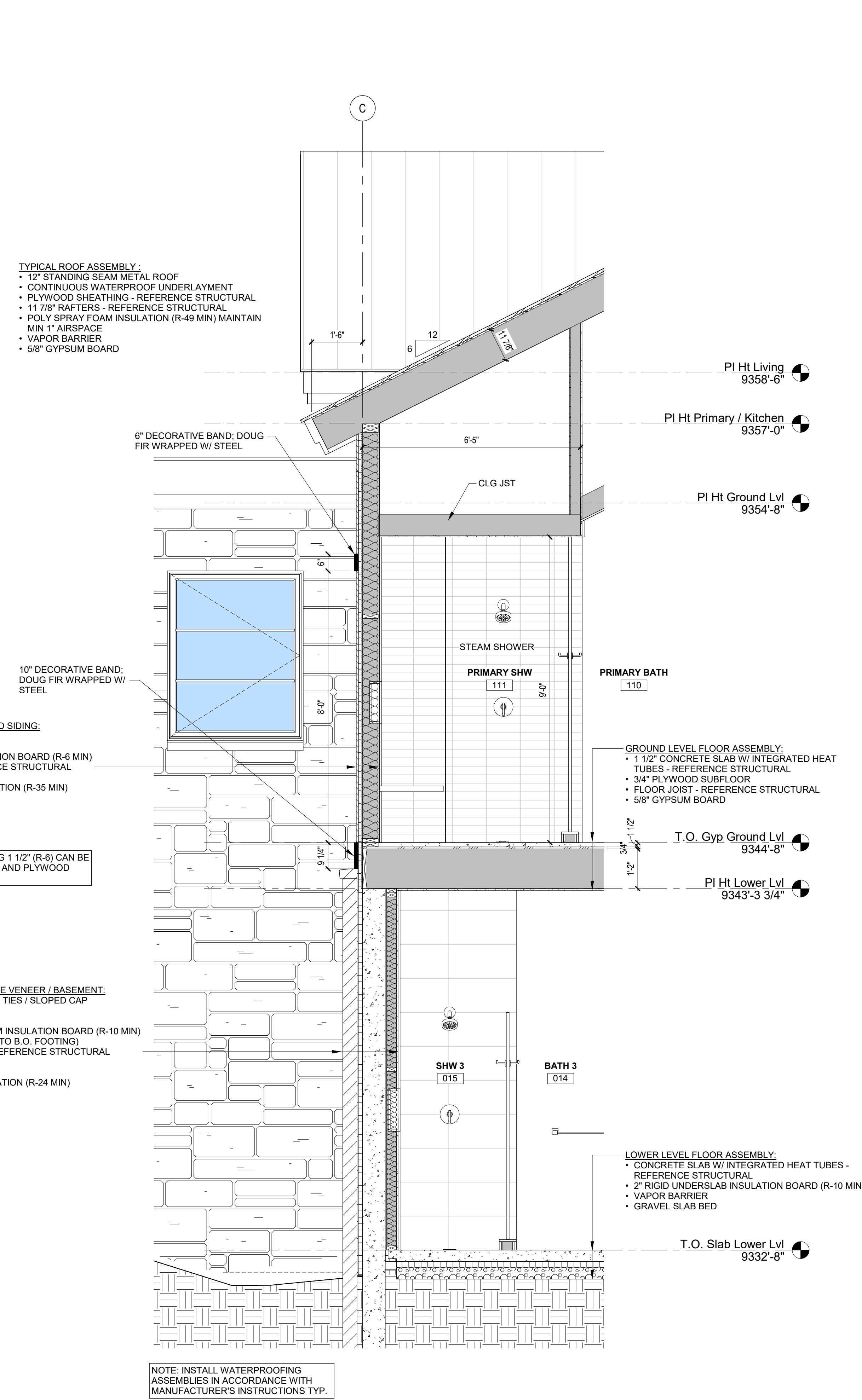
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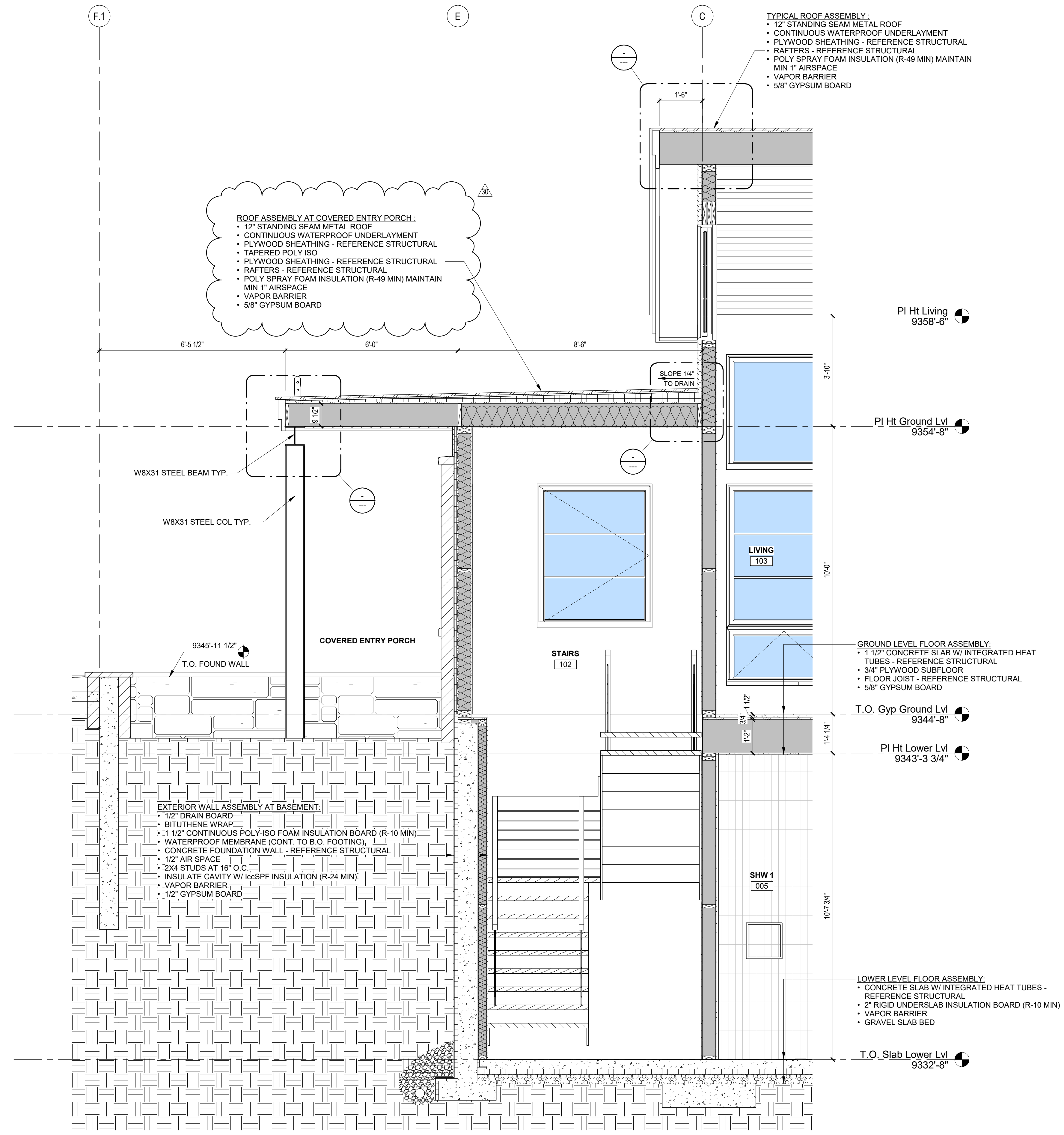
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NOT FOR CONSTRUCTION





**1 SECTION AT PRIMARY SUITE - CALLOUT**  
1/2" = 1'-0"

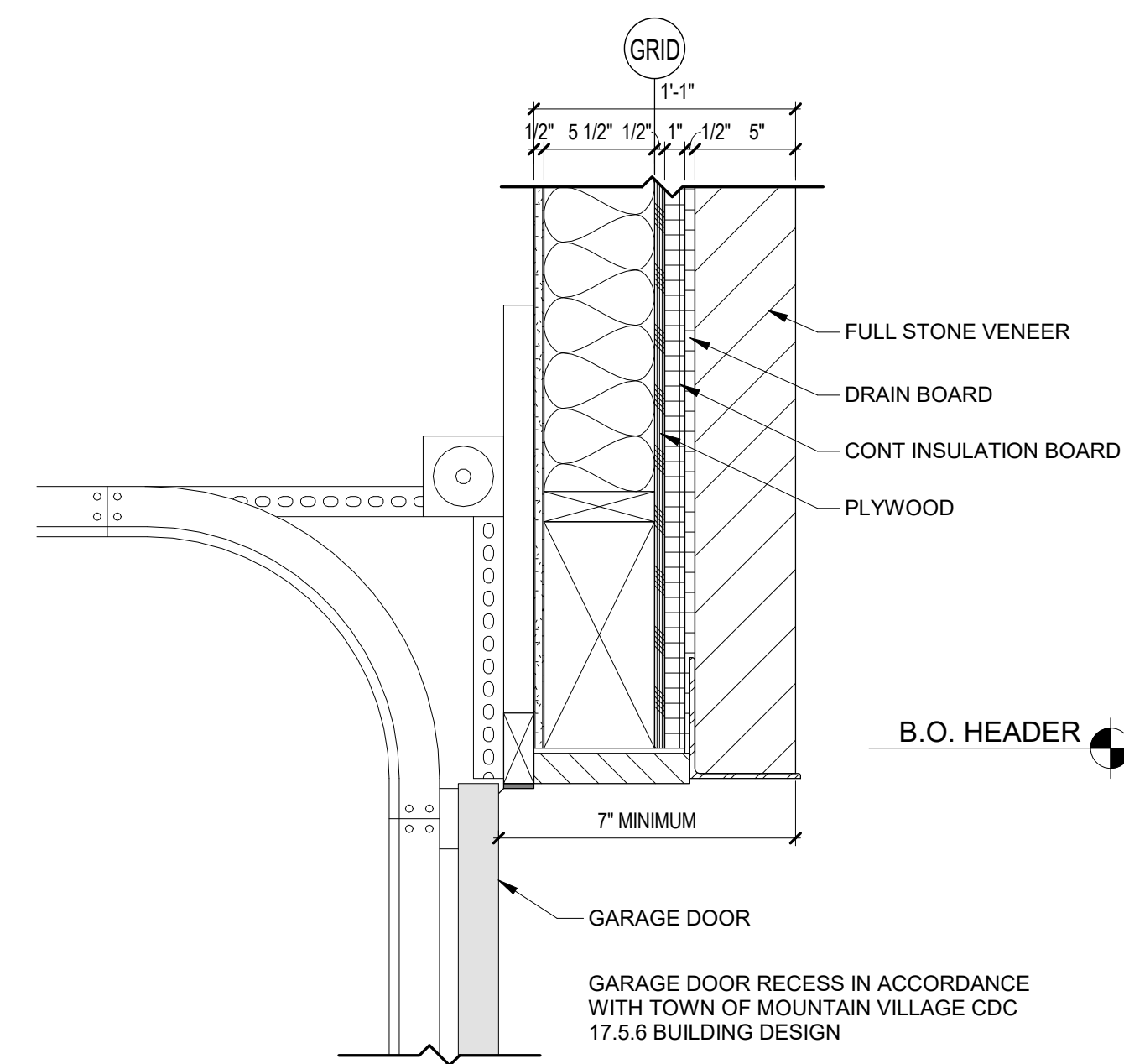


**2 SECTION N-S LOOKING WEST - CALLOUT**  
1/2" = 1'-0"

DOOR SCHEDULE EXTERIOR PANEL							
MARK	ROOM NAME	TYPE MARK	PANEL WIDTH	PANEL HEIGHT	TYPE	MANUFACTURER	COMMENTS
001	FAMILY	C	5'-0"	8'-0"	SWING	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
002B	BEDROOM 1	C	5'-0"	8'-0"	SWING	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
010B	BEDROOM 2	C	5'-0"	8'-0"	SWING	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
013B	BEDROOM 3	C	5'-0"	8'-0"	SWING	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
101A	ENTRY	A	3'-0"	8'-0"	SWING	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
101B	ENTRY	B	2'-0"	8'-0"	FIXED PATIO	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
101C	ENTRY	B	2'-0"	8'-0"	FIXED PATIO	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
115	MUD ROOM	C	3'-0"	8'-0"	SWING	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
116B	GARAGE	H	9'-0"	9'-0"	OVERHEAD DOOR		8" VERTICAL WOOD / FROSTED GLASS
116C	GARAGE	H	9'-0"	9'-0"	OVERHEAD DOOR		8" VERTICAL WOOD / FROSTED GLASS
117	GENERATOR ENCLOSURE	G	3'-0"	7'-0"	SWING		8" VERTICAL WOOD

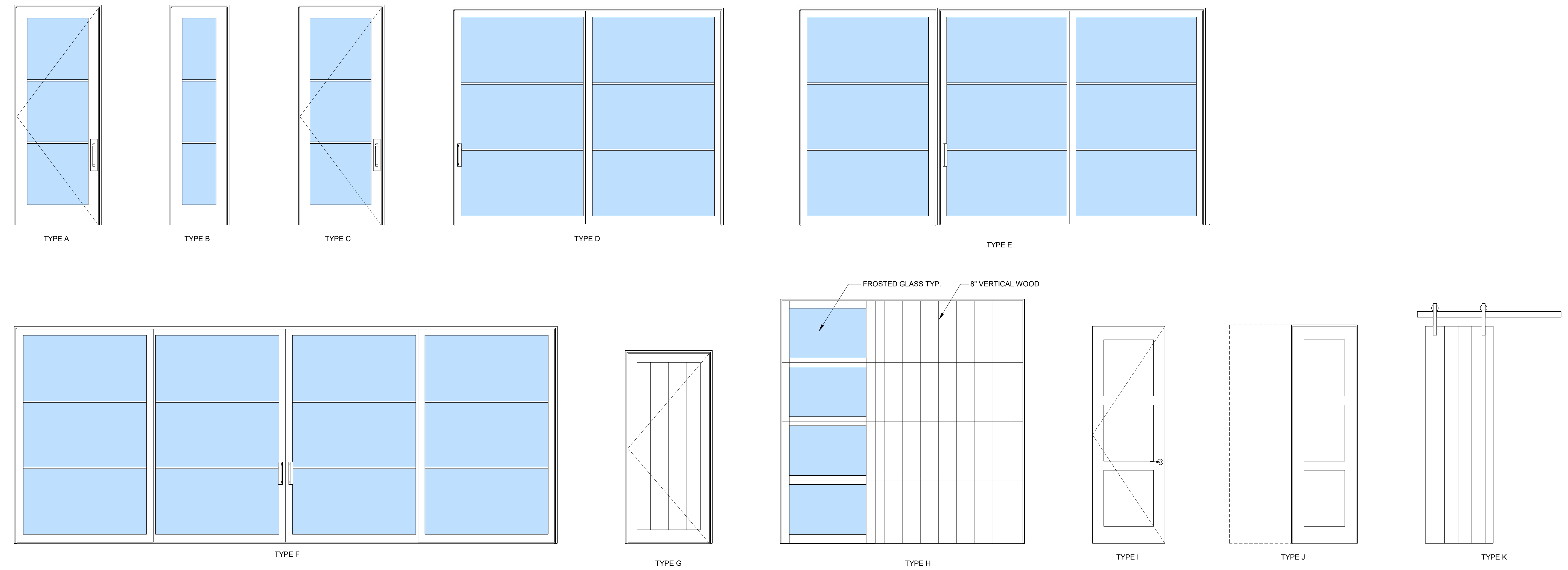
DOOR SCHEDULE EXTERIOR FRAME							
MARK	ROOM NAME	TYPE MARK	UNIT WIDTH	UNIT HEIGHT	TYPE	MANUFACTURER	COMMENTS
103	LIVING	F	20'-0"	8'-0"	BI-PARTING (4 PANEL)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
104	DINING	D	10'-0"	8'-0"	SLIDING PATIO (2 PANEL)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
109B	PRIMARY BEDROOM	E	15'-0"	8'-0"	SLIDING PATIO (3 PANEL)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	

DOOR SCHEDULE INTERIOR PANEL							
MARK	ROOM NAME	TYPE MARK	PANEL WIDTH	PANEL HEIGHT	TYPE	MANUFACTURER	COMMENTS
002A	BEDROOM 1	I	2'-8"	8'-0"	SWING		
003	BATH 1	I	2'-4"	8'-0"	SWING		
004	WC 1	J	2'-4"	8'-0"	POCKET		
006	CLO 1	K	2'-0"	8'-0"	BARN DOOR (SINGLE)		
008	MECH / STORAGE	I	3'-0"	8'-0"	SWING		20 MIN FIRE RATED
009	LAUNDRY	I	3'-0"	8'-0"	SWING		
010A	BEDROOM 2	I	2'-8"	8'-0"	SWING		
011A	BATH 2	I	2'-4"	8'-0"	SWING		
011B	BATH 2	I	2'-4"	8'-0"	SWING		
013A	BEDROOM 3	I	2'-8"	8'-0"	SWING		
014	BATH 3	I	2'-4"	8'-0"	SWING		
016	CLO 3	I	2'-4"	8'-0"	SWING		
107	PANTRY	I	2'-4"	8'-0"	SWING		
108	POWDER	J	2'-4"	8'-0"	POCKET		
109A	PRIMARY BEDROOM	I	2'-8"	8'-0"	SWING		
110	PRIMARY BATH	J	2'-6"	8'-0"	POCKET		
112	PRIMARY WC	J	2'-4"	8'-0"	POCKET		
113	PRIMARY CLO	K	2'-6"	8'-0"	BARN DOOR (SINGLE)		
114	OFFICE	J	3'-0"	8'-0"	POCKET		
116A	GARAGE	I	3'-0"	8'-0"	SWING		20 MIN FIRE RATED

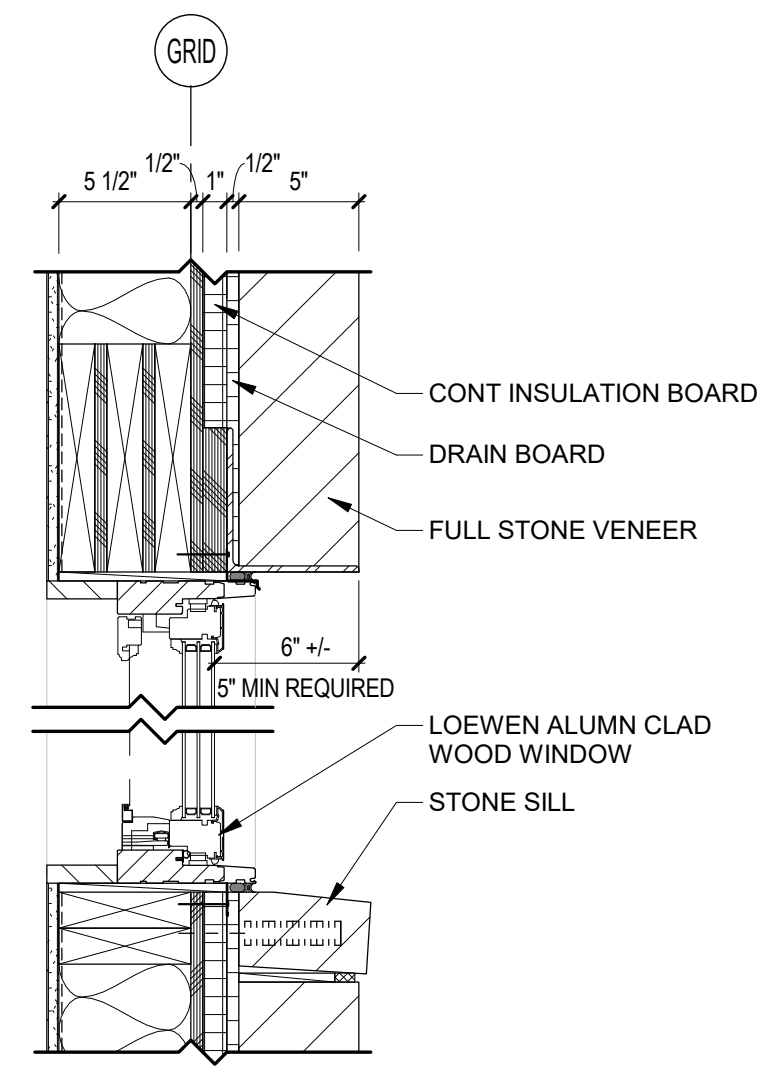


**1 GARAGE DOOR RECESS**  
 1 1/2" = 1'-0"

- DOOR NOTES:**
1. DOOR INSTALLATION: INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
  2. PROVIDE TEMPERED GLASS AS REQUIRED BY CODE.
  3. DOOR HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.
  4. DOOR MANUFACTURER: WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR / PRE-PAINTED BLACK INTERIOR.
  5. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
  6. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
  7. PROVIDE SCREENS FOR ALL DOORS.
  8. DOORS SHALL BE IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE CHAPTER 17.5 DESIGN REGULATIONS (17.5.6.H DOORS AND ENTRY WAYS).



**DOOR TYPES**

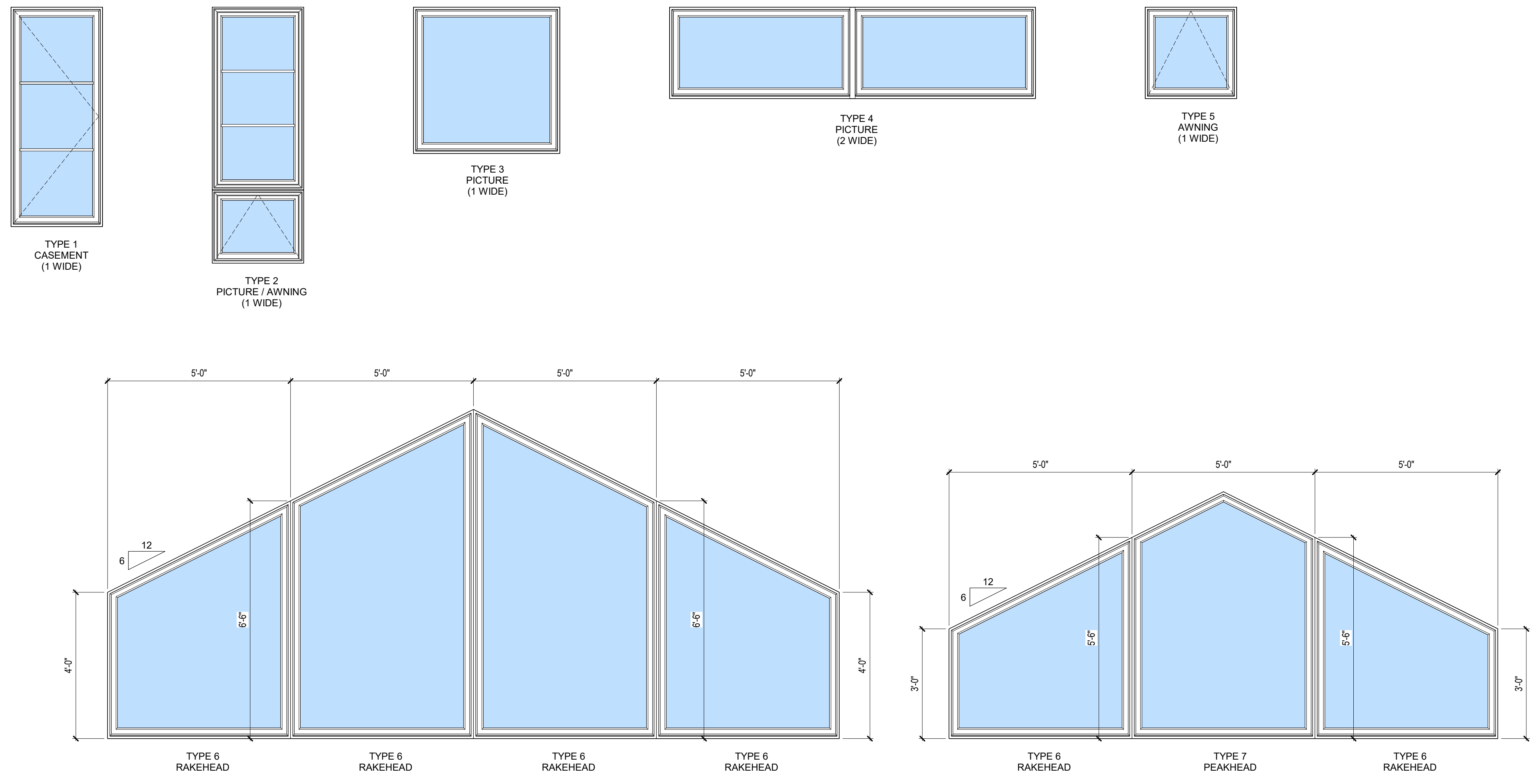


**1 WINDOW HEAD/SILL STONE VENEER**  
1 1/2" = 1'-0"

**WINDOW NOTES:**

1. WINDOW INSTALLATION: INSTALL WINDOWS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. PROVIDE TEMPERED GLASS AS REQUIRED BY CODE.
3. SEE ELEVATIONS FOR WINDOW MULLION PATTERN.
4. WINDOW MANUFACTURER: WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR / PRE-PAINTED BLACK INTERIOR.
5. WINDOW HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.
6. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
7. WINDOW MANUFACTURER TO VERIFY WINDOW SWINGS.
8. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
9. PROVIDE SCREENS FOR ALL OPERABLE WINDOWS.
10. WINDOWS SHALL BE IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE CHAPTER 17.5 DESIGN REGULATIONS (17.5.6.G GLAZING).

WINDOW SCHEDULE								
ROOM NUMBER	ROOM NAME	TYPE MARK	UNIT WIDTH	UNIT HEIGHT	TYPE MARK	TYPE	MANUFACTURER	COMMENTS
002	BEDROOM 1	A	2'-6"	6'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
002	BEDROOM 1	A	2'-6"	6'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
004	WC 1	J	2'-0"	2'-6"	5	AWNING (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
013	BEDROOM 3	A	2'-6"	6'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
013	BEDROOM 3	A	2'-6"	6'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
014	BATH 3	I	2'-6"	2'-6"	5	AWNING (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
102	STAIRS	B	4'-0"	5'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
102	STAIRS	B	4'-0"	5'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
103	LIVING	G	4'-0"	4'-0"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
103	LIVING	G	4'-0"	4'-0"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
103	LIVING	G	4'-0"	4'-0"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
103	LIVING	K	4'-0"	7'-0"	2	PICTURE O/ AWNING (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	PICTURE 4'-0" X 5'-0" / AWNING 4'-0" X 2'-0"
103	LIVING	K	4'-0"	7'-0"	2	PICTURE O/ AWNING (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	PICTURE 4'-0" X 5'-0" / AWNING 4'-0" X 2'-0"
103	LIVING	K	4'-0"	7'-0"	2	PICTURE O/ AWNING (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	PICTURE 4'-0" X 5'-0" / AWNING 4'-0" X 2'-0"
103	LIVING	L	5'-0"	4'-0"	6	PICTURE (RAKEHEAD)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
103	LIVING	L	5'-0"	4'-0"	6	PICTURE (RAKEHEAD)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
103	LIVING	M	5'-0"	6'-6"	6	PICTURE (RAKEHEAD)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
103	LIVING	M	5'-0"	6'-6"	6	PICTURE (RAKEHEAD)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
103	LIVING	P	2'-6"	4'-0"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
104	DINING	F	10'-0"	2'-6"	4	PICTURE (2 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
105	KITCHEN	D	4'-0"	1'-6"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
108	POWDER	D	4'-0"	1'-6"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
109	PRIMARY BEDROOM	C	2'-6"	7'-0"	2	PICTURE O/ AWNING (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	PICTURE 2'-6" X 5'-0" / AWNING 2'-6" X 2'-0"
109	PRIMARY BEDROOM	H	2'-6"	3'-0"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
109	PRIMARY BEDROOM	N	5'-0"	3'-0"	6	PICTURE (RAKEHEAD)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
109	PRIMARY BEDROOM	N	5'-0"	3'-0"	6	PICTURE (RAKEHEAD)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
109	PRIMARY BEDROOM	O	5'-0"	5'-6"	7	PICTURE (PEAKHEAD)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
110	PRIMARY BATH	B	4'-0"	5'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
114	OFFICE	B	4'-0"	5'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
115	MUD ROOM	B	4'-0"	5'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
115	MUD ROOM	B	4'-0"	5'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
116	GARAGE	E	2'-6"	2'-6"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
116	GARAGE	E	2'-6"	2'-6"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
116	GARAGE	I	2'-6"	2'-6"	5	AWNING (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	
116	GARAGE	P	2'-6"	4'-0"	3	PICTURE (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; BLACK EXTERIOR, PRE-PAINTED BLACK INTERIOR	



**WINDOW TYPES**

**SHIFT** ARCHITECTS  
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kristine@shift-architects.com  
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PROJECT ISSUE DATE:  
10.16.23 DRB FINAL REVIEW

REVISIONS

NO.	DATE	DESC.
32	10.10.23	New window

NELSON RESIDENCE  
 121 ARIZONA ST., MOUNTAIN VILLAGE, CO 81435  
 LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

WINDOW SCHEDULE  
SHEET NUMBER

**A8.2**  
10/16/2023 8:25:50 AM  
NOT FOR CONSTRUCTION

### EXTERIOR FIXTURE X1:

EXTERIOR WALL SCONCE (5 TOTAL)



PITCH OUTDOOR WALL SCONCE	
BLACK	
MANUFACTURER	VISUAL COMFORT & CO / TECH LIGHTING
COLLECTION	SEAN LAVIN / MODERN COLLECTION
ITEM	7000WPIT12B-LED930
MATERIAL	DIE-CAST ALUMINUM W/ STAINLESS STEEL HARDWARE
WIDTH	3.9"
HEIGHT	12"
LENGTH	5"
DELIVERED LUMENS	611
CRI	90
COLOR TEMP	3000K
WATTS	17.4
LIGHT DISTRIBUTION	DOWNLIGHT ONLY
RATED LIFE	70,000 HOURS
DIMMABLE	YES W/ ELECTRONIC LOW VOLTAGE (ELV) DIMMER
VOLTAGE	12V
LIGHT SOURCE	2 WATT (68 LUMENS) 12 VOLT INTEGRATED LED
DARK SKY	YES
CERTIFICATION	UL1838, IP66 WET LOCATIONS

### EXTERIOR FIXTURE X2:

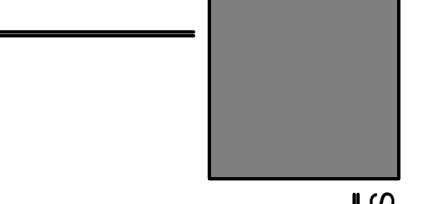
EXTERIOR LED WALL/STEP LIGHT (8 TOTAL)



LANDSCAPE LIGHTING LED HORIZONTAL STEP LIGHT	
BLACK ON ALUMINUM	
MANUFACTURER	WAC LIGHTING
ITEM	4011-30-BK
MATERIAL	CORROSION RESISTANT ALUMINUM ALLOY
GLASS	FROSTED GLASS DIFFUSER
WIDTH	5"
HEIGHT	3"
DEPTH	1 1/2"
LUMENS	68
BEAM SPREAD	50°
CRI	90
COLOR TEMP	3000K
PRIMARY BULB	1 X 2.0 WATTS 2.0 LED
RATED LIFE	60,000 HOURS
DIMMABLE	10% - 100% DIMMING
	WITH ELECTRONIC LOW VOLTAGE (ELV) DIMMER
VOLTAGE	12V
LIGHT SOURCE	2 WATT (68 LUMENS) 12 VOLT INTEGRATED LED
CERTIFICATION	UL1838, IP66 WET LOCATIONS

### LIGHTING LEGEND

C1	RECESSED CAN	MS	MOTION SENSOR
C2	RECESSED CAN; DIRECTIONAL	OP	PENDANT
C3	RECESSED CAN; WET LOCATIONS	UC	UNDER CABINET LED STRIP
C4	RECESSED CAN; LOW PROFILE	R	RECESSED LED LIGHT
E	RECESSED CAN; EXTERIOR	TL	TABLE LAMP RECEPTACLE
CF	CEILING FAN	FL	FLOOR LAMP RECEPTACLE
CFL	2' LINEAR CLOSET FIXTURE	USB	OUTLET WITH USB
FN	EXHAUST FAN	S	WALL MOUNTED SCONCE
FN+L	EXHAUST FAN WITH LIGHT	ST	STEP LIGHT
F1	2'X2' FLUSH MOUNT LED LIGHT	S2	TWO WAY SWITCH
F2	2'X4' FLUSH MOUNT LED LIGHT	S3	THREE WAY SWITCH
SM	SURFACE MOUNT FIXTURE	TV	TV OUTLET
CH	CHANDELIER	WG	WALL GRAZING
MP	MONO POINT FIXTURE	X1	EXTERIOR SCONCE
DMP	DOUBLE HEADED MONO POINT	X2	EXTERIOR WALL / STEP
		GRID	FIXTURE LAYOUT GRID



**SHIFT** ARCHITECTS

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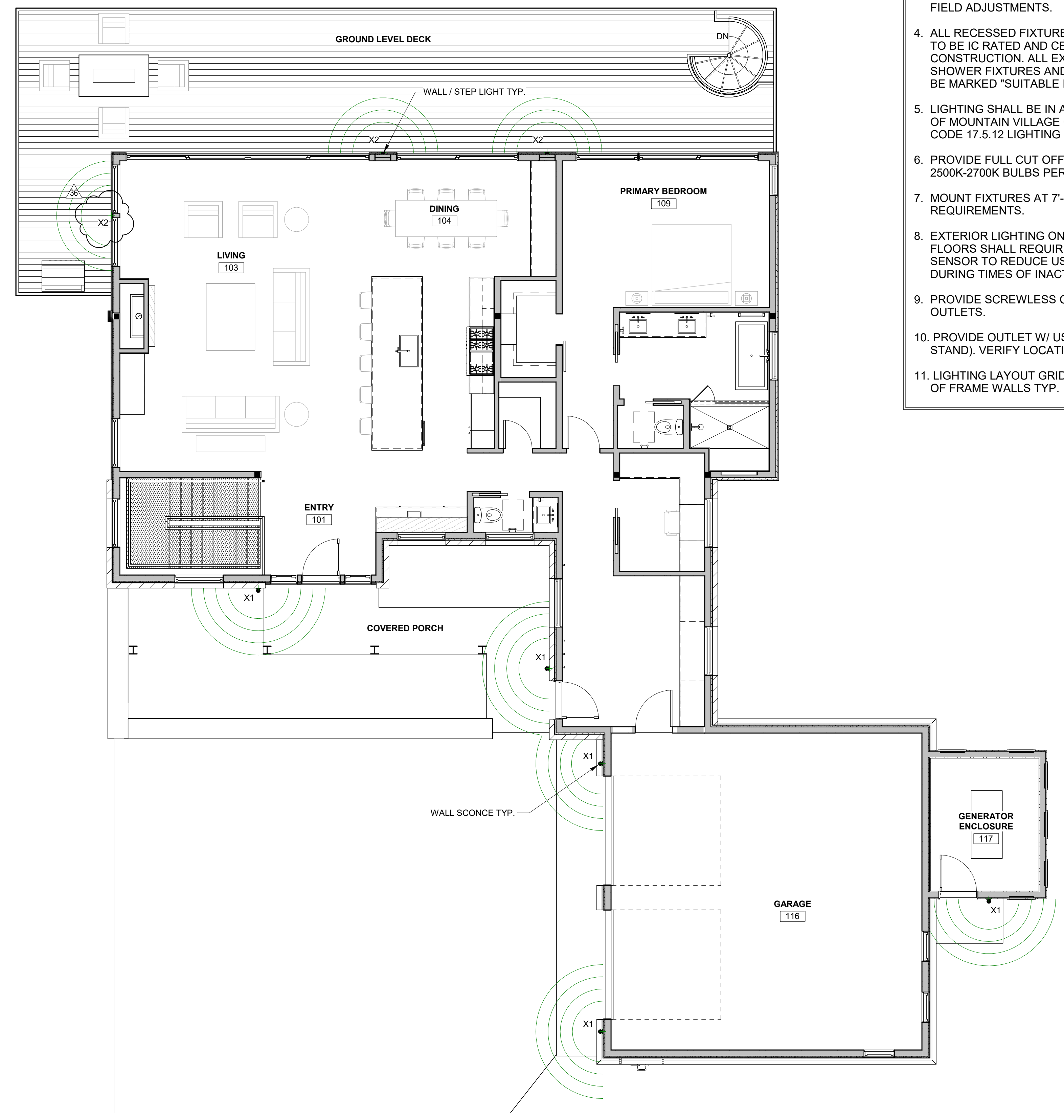
REVISIONS

NO.	DATE	DESC.
1	09.11.23	Revised lighting at lower level patio (step light)
34	10.10.23	Revised exterior wall sconce
35	10.10.23	New wall / step light for safety
36	10.10.23	New wall / step light for extended deck area
37	10.10.23	Revised wall / step light total

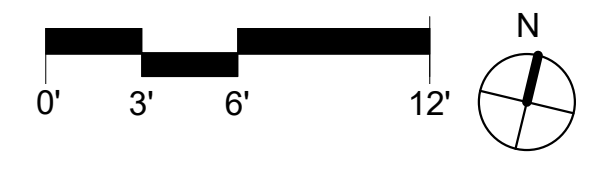
- ### LIGHTING NOTES:
- FIELD VERIFY ALL LIGHTING LOCATIONS.
  - TYPICAL LIGHTING LOCATION AT STAIRS: (2 EA) PER RUN (1) EA PER LANDING
  - CONTRACTOR SHALL TAKE CARE IN PLANNING ROUGH FRAMING LAYOUT AS IT RELATES TO THE NEED TO CENTER FIXTURES IN HALLWAYS, RECESSES AND OTHER AREAS WHERE RELATIONSHIPS DON'T OFFER ANY LATITUDE OR FIELD ADJUSTMENTS.
  - ALL RECESSED FIXTURES AT INSULATED CEILINGS TO BE IC RATED AND CERTIFIED AIR TIGHT CONSTRUCTION. ALL EXTERIOR FIXTURES, SHOWER FIXTURES AND FIXTURES OVER TUBS TO BE MARKED "SUITABLE FOR DAMP LOCATIONS".
  - LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS
  - PROVIDE FULL CUT OFF FIXTURES WITH LED 10W 2500K-2700K BULBS PER CDC REQUIREMENTS.
  - MOUNT FIXTURES AT 7'-0" AFF MAX PER CDC REQUIREMENTS.
  - EXTERIOR LIGHTING ON SECOND AND UPPER FLOORS SHALL REQUIRE EITHER A TIMER OR SENSOR TO REDUCE USAGE AND ENERGY LOSS DURING TIMES OF INACTIVITY.
  - PROVIDE SCREWLESS CAPS IN ALL SWITCHES AND OUTLETS.
  - PROVIDE OUTLET W/ USB AT EA BED (NIGHT STAND). VERIFY LOCATION IN FIELD.
  - LIGHTING LAYOUT GRID DIMENSIONS ARE TO FACE OF FRAME WALLS TYP.



**1 LOWER LEVEL**  
3/16" = 1'-0"



**2 GROUND LEVEL**  
3/16" = 1'-0"



NELSON RESIDENCE

EXTERIOR LIGHTING PLANS

121 ARIZONA ST, MOUNTAIN VILLAGE, CO 81435  
LOT 802, TELLURIDE MOUNTAIN VILLAGE, FILING 11, ACCORDING TO THE PLAT RECORDED NOVEMBER 21, 1998, IN PLAT BOOK AT PAGE 884, COUNTY OF SAN MIGUEL, STATE OF COLORADO

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SHEET NUMBER

10/16/2023 10:20:28 AM

**LTG1.1**

NOT FOR CONSTRUCTION



**TO:** Mountain Village Design Review Board

**FROM:** Design Workshop on behalf of the Town of Mountain Village

**FOR:** Design Review Board Public Hearing: November 02, 2023

**DATE:** October 24, 2023

**RE:** Staff Memo – Initial Architecture and Site Review (IASR) Lot 926R, 133 Sundance Lane, pursuant to CDC Section 17.4.11

**APPLICATION OVERVIEW: New Single-Family Home on Lot 926R**

**PROJECT GEOGRAPHY**

**Legal Description:** LOT 926R, TELLURIDE MOUNTAIN VILLAGE, ACCORDING TO THE PLAT RECORDED DECEMBER 16, 1993 IN PLAT BOOK 1 AT PAGE 1616, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

**Address:** 133 Sundance Lane

**Applicant/Agent:** Alpine Planning LLC

**Owner:** Lot 926R LLC

**Zoning:** Single-Family

**Existing Use:** Vacant

**Proposed Use:** Single-Family Residential/  
Residential/ Accessory Dwelling Unit (ADU)

**Lot Size:** 0.858

**Adjacent Land Uses:**

- **North:** Single-Family
- **East:** Single-Family
- **West:** Open Space
- **South:** Open Space



**ATTACHMENTS**

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comments

**Case Summary:** Alpine Planning LLC is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) application for a new residence on Lot 926R, 133 Sundance Lane. The lot is 37,374 square feet and is zoned Single Family.

The lot has varied topography, with slopes over 30 percent in the eastern and western side of the site. The lot slopes from north to south. To the east of the lot, Sundance Lane slopes down from the north to south. The highest elevations in the site are adjacent to neighboring single family houses in the northern portions of the lot.

The proposal includes a single-family development with approximately 3,683.4 square feet for the primary home and 780 square feet for the ADU. The home is three stories with an attached garage. The primary structure faces south-west with the driveway to the south and ADU is located on the west side of the lot. The home is accessed from Sundance Lane to the east. The applicant proposes direct ski access to the adjacent Double Cabins Ski Run from the proposed ADU (also referred to as a “Ski Shack” in the application).

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by Italicized Text.***

*Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)*

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
<b>Maximum Building Height</b>	40' (35' + 5' for Gabled Roofs)	Primary: 35'-6 1/4" ADU: 33'-2"
<b>Avg. Building Height</b>	35' (gable) Maximum	Primary: 26'-9 1/8" ADU: 23'-10 5/8"
<b>Maximum Lot Coverage</b>	40% (14,949.79 sq ft)	13.6% (5,073.5 sq ft)
<b>General Easement Setbacks</b>	No encroachment	Encroachments in the GE
<b>Roof Pitch</b>		
Primary		House: 5:12 ADU: 12:12
Secondary		House: 5:12 ADU: 4:12
<b>Exterior Material</b>		
Stone	35% minimum	35.9%
Windows/Door Glazing	40% maximum	25.8%
Wood	n/a	32%
Steel	n/a	6.3%
<b>Parking</b>	2 interior/2 exterior	Primary: 2 interior/ 2 exterior ADU: 1 interior

**DRB Specific Approvals:**

1. GE Encroachments – Grading, Deck and Roof Overhang, Retaining walls
2. Materials – Board Form Concrete
3. Parking - Tandem Parking and Parking in the GE

**DRB Design Variation:**

1. Road and Driveway Standards – Driveway Width

**Chapter 17.3: ZONING AND LAND USE REGULATIONS**

**17.3.4 Specific Zone District Requirements**

Section 17.3.4.F specifies that lots in the single-family zone district may be used for one single-family dwelling unit and one accessory dwelling unit. Because the primary structure

exceeds 4,000 square feet, the ADU shall not exceed 20 percent of the floor area of the primary structure. For lots that are smaller than 0.75 acres, the ADU shall be physically attached in roof form and foundation to the primary structure. The ADU is subject to the same design requirements as the primary structure. Per section 17.3.4.F.5.h, the ADU shall not be used as a short-term accommodation. As defined in Chapter 17.8, a short term accommodation is, "a building or any unit within a building may only be rented, leased or occupied for a period of less than thirty (30) consecutive days by any occupant (that is, any length of time between one (1) and twenty-nine (29) consecutive days) and not as a primary residence."

*Staff: The ADU is proposed to be 780 square feet, which meets the size requirement of the CDC. The ADU is proposed to be detached from the primary structure, which is allowed for lots larger than 0.75 acres. This is permitted, as the site is 0.858 acres.*

### **17.3.11 and 17.3.12: Building Height and Building Height Limits**

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates primarily gable roof forms. Homes with a primary gable roof form are allowed a maximum building height of 40 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive. Chimneys, flues, vents, or similar structures may extend up to 5 feet above the specified maximum height.

*Staff: Staff have determined that the primary roof form for the proposed structures is gable and therefore granted a maximum height of 40' and an average height of 35'. According to Sheet A1.5 of Exhibit A, the applicant has calculated a maximum height of 35'-6 1/4' and an average height of 26' 9 1/8" for the main structure and a maximum height of 33'-2" and an average height of 23'-10 5/8" for ADU.*

*The proposed site has one gable roof for the main structure and one gable and one shed roof for ADU. The applicant has provided elevations showing the required 35-foot offset with 5-foot extra for gable roof from the proposed grades. There are a number of chimneys on the structure, which are permitted over the allowed heights. However, their height is not indicated on the plans. The applicant shall indicate the height and function of the structure over 40-foot as part of their final application materials.*

*Figures 2-5 below display the elevations of the structures in relation to the height calculations.*

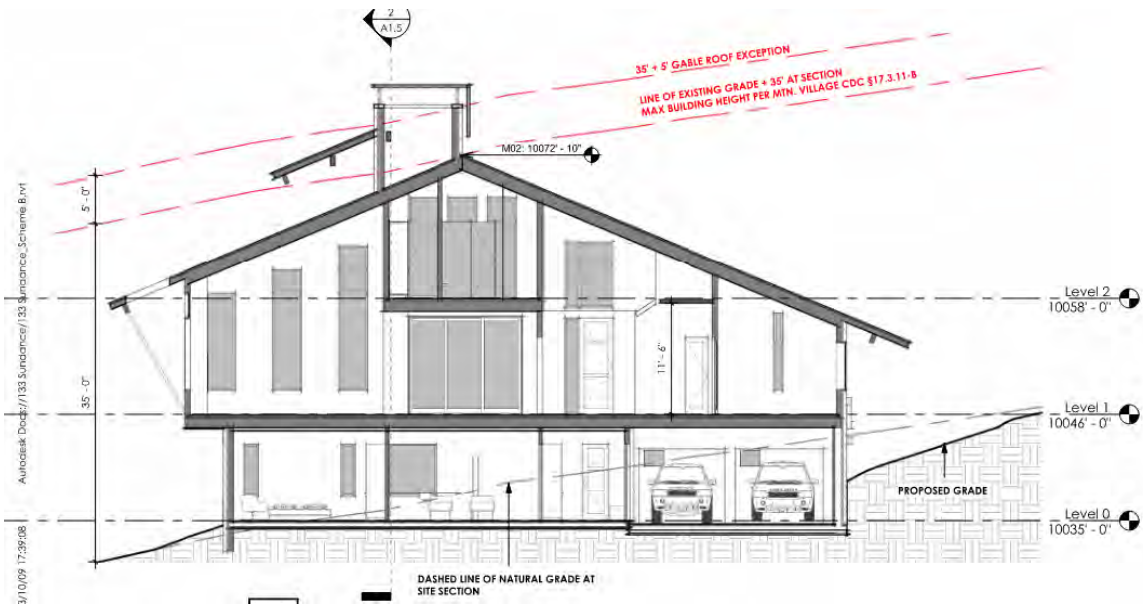


Figure 2 Main Structure – Height 1

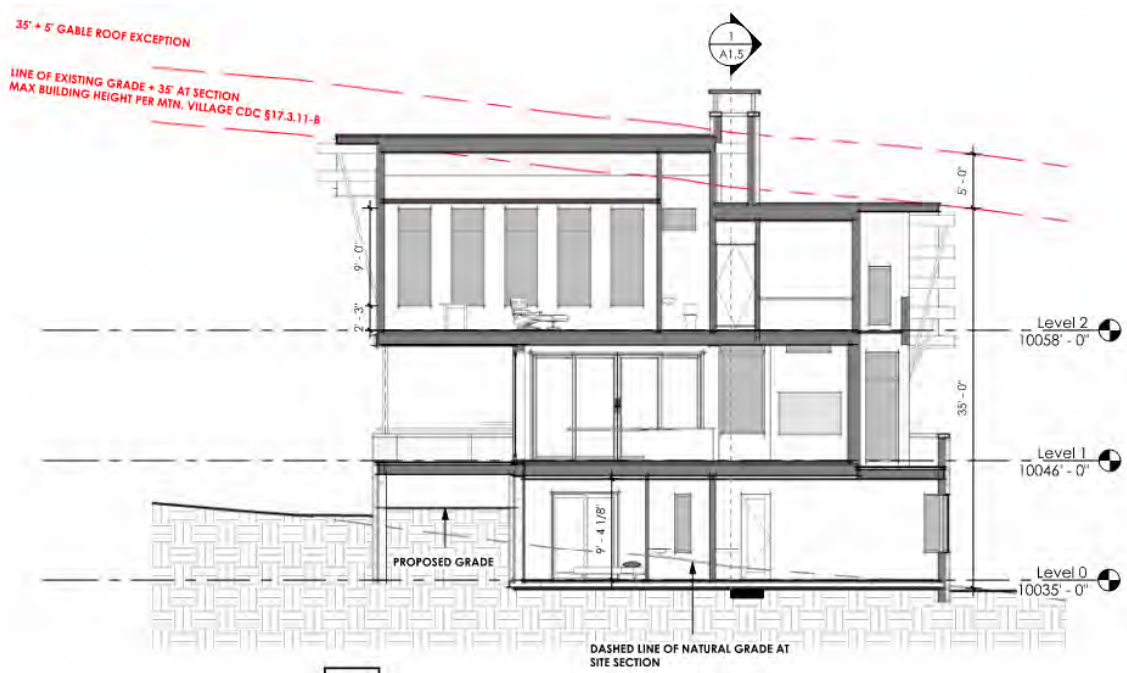


Figure 3 Main Structure – Height 2



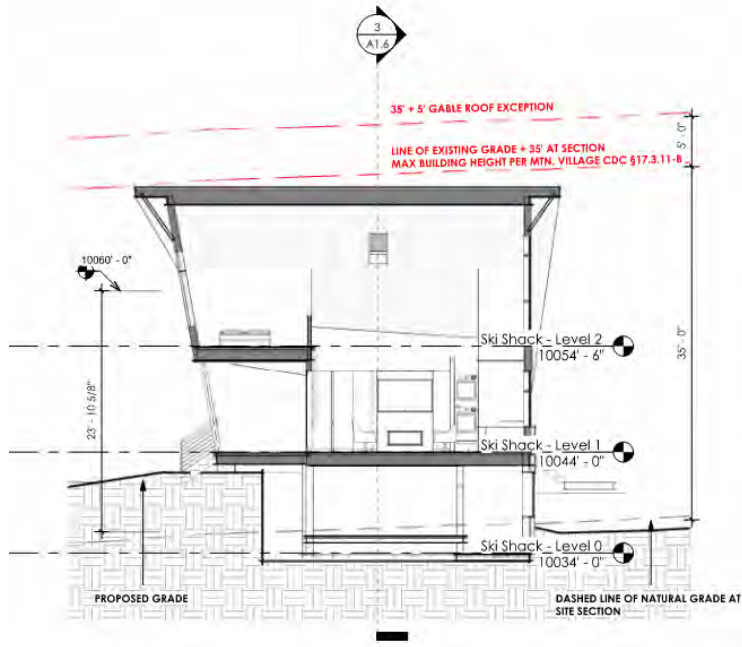


Figure 4 Ski Shake - Height 1

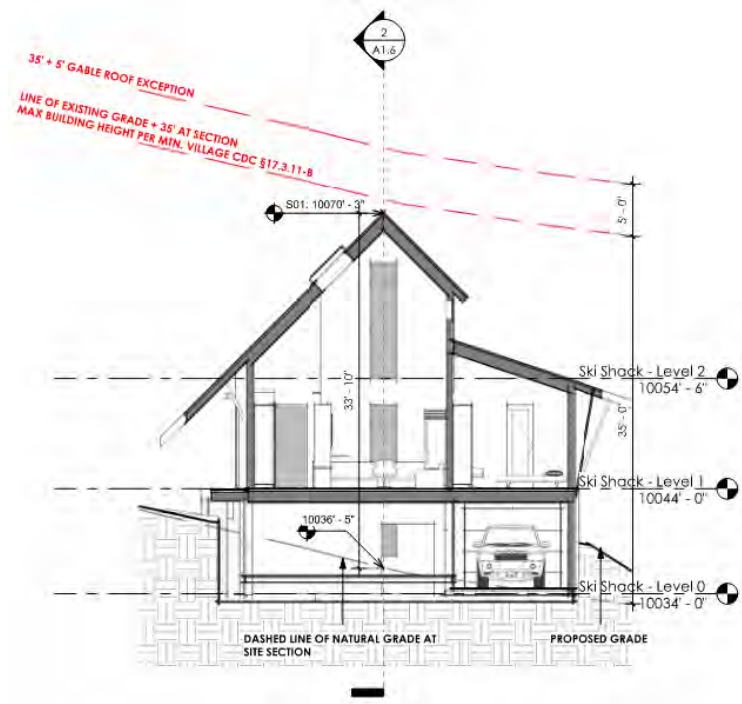


Figure 5 Ski Shake - Height 2

### 17.3.13 Maximum Lot Coverage

Staff: The CDC states the maximum lot coverage for single-family homes with lots under one acre is 40 percent. On this site, with a lot area of 37,374.48 square feet the maximum allowable site coverage is 14,949.79 square feet. The applicant proposes a lot of coverage of 5,073.5 square feet (13.6 percent). The proposed lot coverage calculation on page A1.2

*states the lot coverage includes the residence and ADU to roof overhand drip line, the gable roof, and lower-level patio. The legend in the Site & Landscape Concept Plan on Sheet A1.0 shows that asphalt drive and ski access, however the site plan does not show where snow melt areas will be located. It appears there is a modest patio to the east of the home and entry to the garage and main home on the south-west side of the structure. The landscape plan and resulting site coverage should be consistent. The applicant shall update these sheets as a condition for final review to ensure the lot coverage meets the CDC requirements.*

#### **17.3.14: General Easement Setbacks**

The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as driveways, ski access, natural landscaping, utilities, address monuments, and fire mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

*Staff: Lot 926R has a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:*

- *Driveway: The driveway and associated retaining wall are proposed to cross the southern GE to provide access from Sundance Lane. The driveway and associated retaining walls continues onto privately owned access tract SJV-3. There is an access easement in place with the landowner for this proposed drive.*
- *Retaining walls and Grading- Ski access: Ski access is proposed to cross the western GE to provide access from/to the ski run. It also continues onto OSP-24R. There are two proposed boulder walls that are 9 feet in height to provide this ski access, as illustrated on Sheet C2.2 of the application. These cross the GE as well as the property line. The applicant will need to demonstrate an encroachment agreement with the landowner for the hardscaping associated with this ski access.*
- *Address monument: The address monument is proposed to be located within the south-eastern part of GE.*

*Utilities: There is an existing sewer and gas line along the eastern property line, which would cross the GE to access the main house. Also, there is an existing fire hydrant on the east side of the GE area. To provide sewer access to the property, the line is proposed to run along the south, within the adjacent Open Space Tract SJV-3 and subject to the encroachment agreement mentioned above*

*The following encroachments require a Specific Approval from the DRB:*

- *Deck Structure: A portion of the deck and associated roof is proposed to cross the eastern GE.*
- *Retaining walls, grading, a portion of a parking space – associated with the exterior parking south of the main entry.*

*Additionally, the existing conditions survey notes an earthworks easement to the east of the proposed homesite. The applicant should verify that the home siting does not conflict*

*with this earthworks easement. If there is a conflict, the earthworks easement would need to be vacated prior to any building permit being issued.*

*Any development within the General Easement or road right of way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.*

## **Chapter 17.5: DESIGN REGULATIONS**

### **17.5.4: Town Design Theme**

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.



*Figure 6 Proposed North Elevation Slope Relationship*

*Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The site slopes downward from north to south, with slopes that exceed 30 percent in north-eastern corner and western areas of the site. The massing aligns with the natural topography, building the home to mimic the slope; the home reads as a two-story building when viewed from the highest portion of the site (north) and as a three-story building when viewed from the lowest portion of the site (south). The ADU reads as a three-story building from the east and north, and a two-story from the west and south.*

*The materials chosen are a combination of stone, boardform concrete, wood, and metal, based on Sheet A3.0a and A3.0b which should create an exterior capable of withstanding the high alpine environment. However, the material information on Sheet A3.0a and A3.0b do not match with the materials on the building elevations (Sheet A3.1 – A3.6). This should be updated prior to final review and only materials that are used should be represented on the elevations and materials boards.*

### **17.5.5: Building Siting Design**

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

*Staff: The lot does not have ponds, streams, or wetlands. The applicant proposes to build a retaining wall around the driveway and ski access.*

*The CDC requires site plans to provide a snow shed and storage plan for roofs, walkways and drives. The applicant indicates all snow shedding is mitigated by roof snow fences and heated gutter routed to the site drywells and any additional snow that does not fit onsite will be transported off-site. However, the applicant does not indicate a line of snowmelt at the main house, which runs perpendicular to the slope and located relatively*

upslope compared to other portions of the development. The applicant needs to calculate total snowmelt for final review.

The applicant provided a site grading plan shown on Sheet C2.2. The sheet includes proposed grading and retaining walls measuring 9 feet in height on the adjacent parcel (Tract OSP-24R), which will require approval from the property owner.

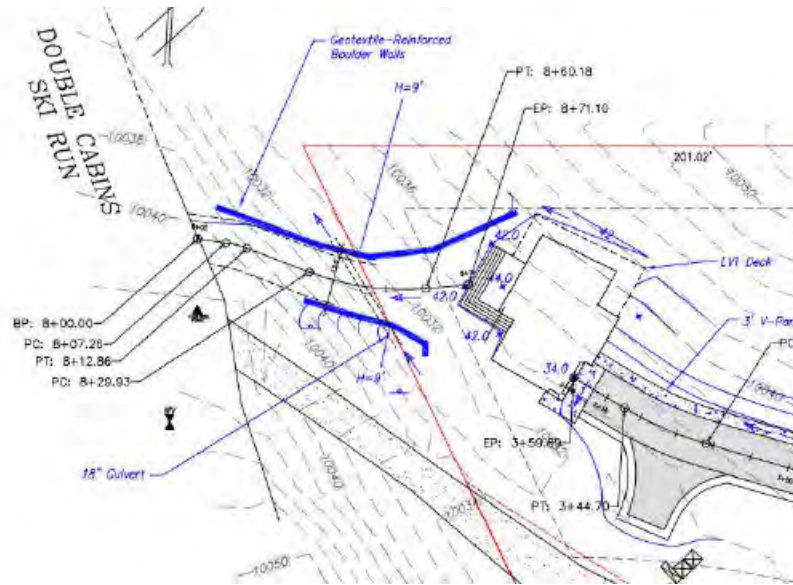


Figure 7 Ski Access Area Grading Plan

#### 17.5.6: Building Design

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. Roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation is required. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

*Staff: Staff comments regarding each of the relevant subsections are below.*

##### Building Form:

*The form of the proposed residential structure and ADU follow an alpine mountain design that is grounded to withstand the forces of wind, snow, and heavy rain. The proposed use of vertical coursing stone at the base of the structure along with the use of vertical wood siding at the upper levels reinforces this design.*

##### Exterior Wall Form:

*The proposed development has exterior walls that are relatively simple in design and portray a massing that is substantially grounded to the site. This is reinforced using vertical coursing stone materials along the base of the building. Additionally, there are patios on the first and second levels of the building.*

##### Roof Form:

*The roof design is a combination shed and gable roof form for the ADU and two gable roofs for the main house. The primary structure has one large gable roof with a smaller*

*gable roof on top. There is a portion of the primary structure with a flat roof for ventilation. The roofs have snow fences and heated gutter routed to the site drywells.*

*The applicant has identified snow fences and heated gutters associated with the roof. The applicant does not indicate the use of drains or integral guttering system.*

*The roof material will be made of standing seam and bonderized metal with matte light gray color, which is a type and quality that will withstand high alpine climate conditions.*

*Chimneys, Vent and Rooftop Equipment Design:*

*The applicant has identified a chimney and skylight. A fuel source has not been identified and is required for final review. Additionally, the plan set appears to have a conflict with the chimney location and the interior fireplace location. This should be clarified at final review.*

*Exterior Walls Materials and Color:*

*Sheet A3.0a and A3.0b outline the materials, including stone, wood, steel, and glazing and the percentage of materials found in A3.1 for the main house and in A3.5 for the ADU. The exterior wall structure utilizes stone veneer and vertical wood siding. Stone walls account for approximately 35.9% of exterior materials not including the attached retaining wall for the main house and 35.3% of the ADU, which meets the minimum percent stone requirement. The plan does not indicate the stone percentage increase when including the attached retaining wall. Wood siding accounts for 32% of the exterior wall for the main house and 39.5% for the ADU. The CDC requires the applicant provide “a narrative of the pattern, grout and block of the proposed stone and setting pattern” as a part of the Design Review Process application for approval by the review authority. However, there are materials in A 3.0a not proposed on the building elevations. This should be revised for the final review and has been included as a condition of approval.*

Glazing:

The CDC requires the window area of the structure to be maximum 40 percent of the total building façade area. Window and door glazing accounts for 25.8% of the exterior wall materials for the main house and 23.1% for the ADU, which meets this requirement.

Doors and Entryways:

The door and window schedules are shown on Sheets A9.1 of Exhibit A. The detail of the window is shown on Sheet A 3.0a, and is proposed to be Champagne in color. The door schedule is provided for exterior and interior doors with corresponding dimensions.

The CDC also requires that windows and doors in stone and stucco areas shall be recessed back from the face of the external material by a minimum of 5". The windows appear to be punched, but it is unclear if it meets the specific requirements of the CDC. This needs to be updated for the final review.

Decks and Balconies:

The proposed building contains one lower-level patio and a ground level deck, both located on the front/south side of the home. These create variety and detail on the exterior elevations as outlined in the CDC. As mentioned above, a portion of the deck and roof overhang encroach into the GE, which will require a specific approval. This is shown in more detail on Sheet A2.1 and A2.3. The DRB should discuss whether this approval is warranted or whether revisions are necessary to remove this encroachment. Encroachments of building elements have not been well supported in the past.

Required Surveys and Inspections:

Since the proposed development has a structure, grading and hardscape improvements within five (5) feet or less from the general easement setback the CDC requires "the developer to submit a monumented land survey prepared by a Colorado public land surveyor to ensure there are no above-grade or below-grade encroachments into the general easement setback prior to the Building Division conducting the required footing or foundation inspection as applicable."

A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

**17.5.7: Grading and Drainage Design**

Staff: A grading plan is provided on Sheet C2.2. The site contains areas that are over 30% slope on the east-north side of the corner and western side of the site. Grading is proposed downslope from north to south, following the natural contours of the site.

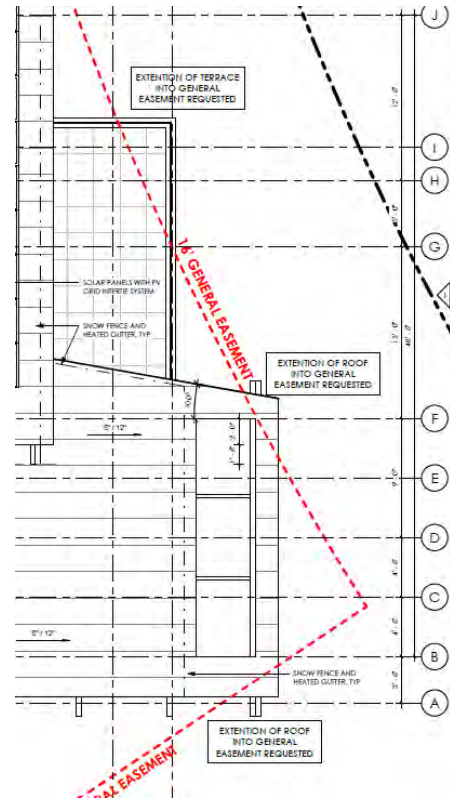


Figure 8 Roof Plan

*Boulder walls are proposed on both sides of the ski access with 9' height with the encroachment to GE. The DRB should discuss if stepping the wall would be more appropriate in order to minimize the height and blend in with the landscape, and given there appears to be space to do so. Landscaping shall be planted between the boulders to soften the appearance. There are also 3 boulder tree wells on the south side of the house. The heights are unknown and two of them are within the southern General Easement area. This needs to be clarified for final review.*

*The plan indicates that all site drainage follows the natural topography from the north to the south and routed to the east and west drywells. The applicant shall clarify a seasonal drainage throughout the site. This is required for final review.*

#### **17.5.8: Parking Regulations**

The CDC requires that Single-family zoning requires 2 enclosed spaces in garage and 2 surface parking spaces.

*Staff: The site plan shows two enclosed interior parking spaces and two surface exterior parking spaces for the primary house. The exterior spaces are in the driveway in front of the garage. One of the exterior spaces is directly in front of the garage door and would need to be removed for a car to exit the garage. This would be considered tandem format parking and requires specific approval by the DRB. The other exterior parking space at the main house is partially in the General Easement and would also require specific approval.*

*The site plan also shows one enclosed interior parking space and one exterior space for the ADU. The Exterior space for the ADU seems to extend into the driveline of the driveway and might reduce the driveway width to less than that required by the CDC. It is also located in what would otherwise be a logical turn-around area from the ADU garage space. There is no stated parking requirement for an ADU in the CDC, however the DRB has the ability to determine a requirement if they feel it is necessary. Given the challenges with each exterior parking space listed above, the DRB should discuss their preferred parking arrangement. A minimum would be 4 spaces total, so DRB could consider granting a design variation that allows for 3 interior spaces and one exterior space. Otherwise, DRB should discuss what specific approvals (if any) they are comfortable with and the applicant should revise drawings as necessary to address DRB's comments.*

#### **17.5.9: Landscaping Regulations**

*Staff: A landscape concept plan is provided on Sheet A1.0. The proposed development requires the removal of several existing evergreen, spruce, and aspen trees; The application indicates 5 new Fir trees to screen utility structure on the south side of the site. On the initial review, the applicant does not need to indicate Fire Mitigation Zone 1. However, the plan needs to remove more trees than indicated on Sheet A1.0 to meet those requirements at final review. Additional details regarding the landscaping plan, diversity of species, and a fire mitigation plan are required for final.*

*See also Town Forester comments below:*

*The site plan (A1.0) does not show trees that will need to be removed as a result of the additional space needed, based on the indicated excavation plan contour lines, the*

space that will be needed for movement of the excavator machine, and space needed for the installation of the building foundation on the slope. The Site Plan also does not indicate the removal of trees that will be needed inside the Zone 1 fire mitigation boundary (all trees within 15 feet of the building and associated decks must be removed). The site plan does not consider tree removals associated with the extra space that will be needed for the installation of the driveway and other impermeable surfaces.

All trees that are planned to be retained must have tree protection fencing installed outside the dripline of the trees to be preserved to indicate tree protection zones (TPZ). No construction activities shall be permitted in any TPZ, including excavation, backfill, staging, material storage, equipment setup, staging, or human entry.

The plan needs to include a fire mitigation sheet.

The plan needs to include landscaping sheets indicating the full scope of the final landscaping design.

### 17.5.11: Utilities

Staff: The applicant has provided utility information on Sheet C3 of Exhibit A. An existing sewer line runs parallel to the eastern property line and is proposed to connect to the home by crossing the GE and access parcel from the south. Electric lines also run along the eastern side of the site and is proposed to connect by crossing the eastern part of GE. An existing water line is along the southern side of the site and is connected through the southern part of the GE. These are shown in Figure 7.

The existing conditions survey indicates a surface level abandoned electric line running north/south on the western third of the lot. The applicant will need to work with San Miguel Power to understand if this can be removed from the lot.

Referral comments from the Fire District and Public Works are included below.

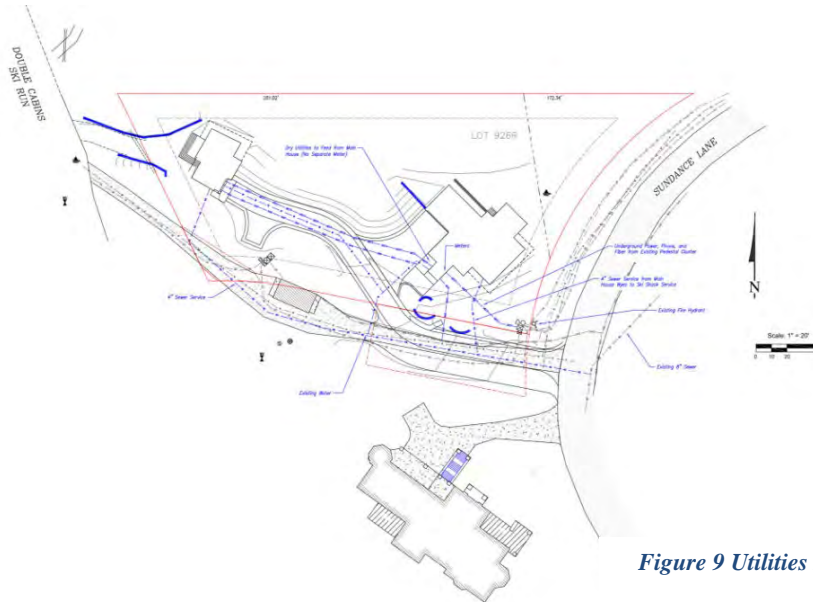


Figure 9 Utilities Plan

TFPD approval with the following conditions:



- 1) A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.
- 2) An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.
- 3) Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
- 4) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
- 5) Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.
- 6) A Knox box is recommended at the main entrance on the address side for emergency access.

*Public works:*

*I spoke with Dave Ballode about the utility plan. He will need to show the sewer line routing 50' away from our water well. I also confirmed that the 13' gravel shoulder is for Town and TSG maintenance vehicles. This will make the driveway extremely wide which can work for Public Works but may not be the best look for the neighborhood.*

*Finn*

**17.5.12: Lighting Regulations**

*The applicant has not provided a separate lighting plan at this time. It should be noted that a lighting plan is not required until final review. The basic guideline for exterior lighting is for it to be subdued, understated and indirect to minimize the negative impacts to surrounding lots and public rights-of-way so that it reflects CDC Dark Sky requirements. The CDC limits lighting to 850 lumens. The applicant proposes two lighting types in the cutsheets, which are shown in Figures 8 and 9:*

- *Exterior Wall Sconce that lists 420 delivered lumens.*
- *Exterior LED Wall/Step Light that lists 202 lumens.*



*Figure 10: Exterior Wall Sconce*



*Figure 11: Exterior LED Wall/Step*

*The proposed locations for each lighting are not clearly indicated. This information is required for final review and lighting associated with outdoor living spaces, such as those proposed on the deck and patio, requires a Design Variation to be granted by the DRB.*

**17.5.13: Sign Regulations**

*Staff: The location of the address monument is on the south-eastern corner of the site within GE. The detail of design is included on Sheet A0.9. The monument is proposed to*



driveway towards the homesite is 5.94% grade, which is within the allowable grade of 8 percent. The remaining driveway to the ski shake is 3.95% and continues with 3.49%. The overall driveway length is more than 150 feet in length, which requires a minimum paved surface of 16'. The width of the proposed driveway is 12' in and asphalt, with 2' shoulders on either side. The material of the shoulder area is not indicated. These need to be updated for the final review, or a DRB variation is required.

Additionally, there is a 13 foot gravel shoulder to the south of the driveway to ensure maintenance vehicles can access the ski run and town-owned structure without requiring use of the home's driveway. The DRB should discuss if a design variation for the driveway width is appropriate given this large shoulder.

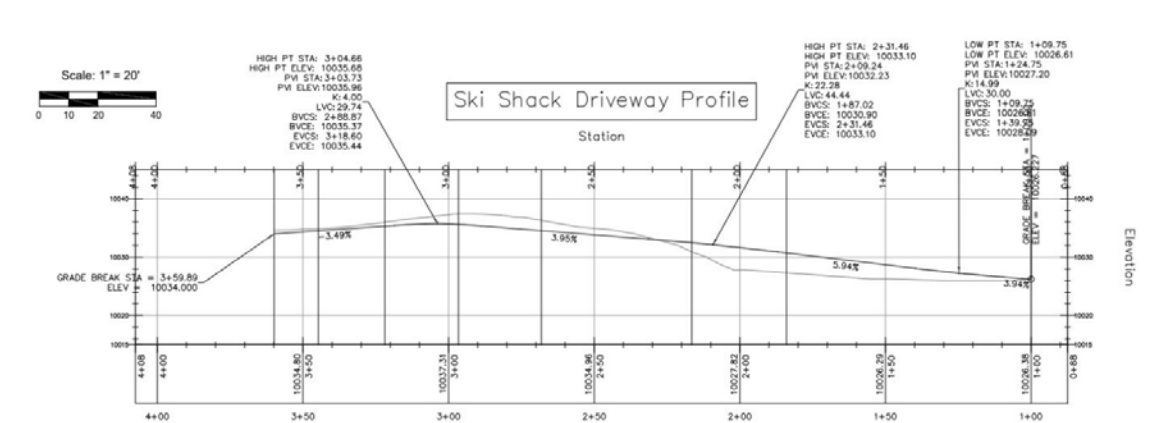


Figure 13: Driveway Profile

**17.6.8: Solid Fuel Burning Device Regulations**

Staff: The applicant has not identified a direct vent or the fuel of fireplace.

**Chapter 17.7: BUILDING REGULATIONS**

**17.7.20: Construction Mitigation**

Staff: A construction mitigation plan is not provided for initial review. The applicant needs to provide the related information for the final review and shall review comments from the Town Forester in the landscaping plan review and incorporate as needed after the final review.

**Staff Recommendation:** The Staff recommends approval of the initial architectural review with conditions.

**Staff Note:** It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

**Proposed Motion:**

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

Alternatively, if the DRB desires additional information or redesign, a motion for continuance is also provided.

**Continuance:**

*I move to continue the Initial Architecture and Site Review for a new single-family home located at Lot 926R, based on the evidence provided in the staff memo of record dated October 24, 2023, and the findings of this meeting.*

**Approval:**

*I move to approve the Initial Architecture and Site Review for a new single-family home located at Lot 926R, based on the evidence provided in the staff memo of record dated October 24, 2023, and the findings of this meeting with the following Conditions:*

**DRB Specific Approvals:**

1. *GE Encroachments – Grading, Deck and Roof Overhang, Retaining walls*
2. *Materials – Board Form Concrete*
3. *Parking - Tandem Parking and Parking in the GE*

**DRB Specific Approvals:**

1. *Road and Driveway Standards – Driveway Width*

If the DRB does not grant a specific approval / design variation for the items above, the following condition(s) should be added:

1. *GE encroachments, including grading / deck and roof overhang / retaining walls shall be removed as part of the Final Review application.*
2. *Materials shall be updated to exclude Board Form Concrete.*
3. *Parking Plan shall be updated to meet the requirements of the CDC.*
4. *The driveway width shall be updated to meet the requirements for a driveway greater than 150 feet in length.*

*And, with the following conditions:*

- 1) *Prior to final review, the applicant shall indicate the height and function of the structure over 40-foot.*
- 2) *Prior to final review, the applicant shall update the materials sheet to reflect only the materials proposed.*
- 3) *Prior to final review, the applicant shall update the landscaping, irrigation, and site coverage sheets to ensure consistency and compliance with lot coverage requirements.*
- 4) *Prior to final review, the applicant shall revise the landscaping plan to incorporate staff comments.*
- 5) *Prior to building permit, the applicant shall field verify existing water and sewer tap with Public Works.*
- 6) *Prior to final review, the applicant shall provide an updated landscape and fire mitigation plans showing compliance with the Fire Mitigation standards.*
- 7) *Prior to building permit the applicant shall demonstrate an easement or encroachment agreement for any encroachments on private land owned by others.*
- 8) *Prior to final review the applicant shall demonstrate if there is any conflict with the earthworks easement on the lot.*
- 9) *Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted and deemed complete 2023.*
- 10) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum and average building height and ensure the structure meets the height requirements.*
- 11) *Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE and the road right of way.*

- 12) *Prior to final review, the applicant shall provide a narrative of the pattern, grout, block size and color of the proposed stone and setting pattern for exterior wall materials.*
- 13) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
  - a) *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4').*
  - b) *Wood that is stained in the approved color(s).*
  - c) *Any approved metal exterior material.*
  - d) *Roofing material(s); and*
  - e) *Any other approved exterior materials*
- 14) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*

133  
Sundance



Lot 926R Design Review Process  
133 Sundance Lane

July 26, 2023



Uncompahgre  
Engineering, LLC



## Site Context and Design

Lot 926R LLC (“Owner”) is the owner of Lot 926R, Mountain Village Filing No. 29 (“Site”). The Owner intends to build a single family residence and Accessory Dwelling Unit (“ADU”) “ski shack” on the Site that is currently vacant. The Site is located in the Single-family Zone District.

The Site is located to the north of a mountain access maintenance road on Open Space Tract SJV-3 that includes a Town of Mountain Village well generator building which was partially built onto the Site utilizing the GE. The site has a high USGS elevation of 10060 on the north side and a low elevation of 10027 in the southeast corner for an overall elevation gain of 33 feet and an approximate slope grade of 22 percent. There are some steeper sloped areas on the east side due to Sundance Lane road grading and to the west of the Site that appears to be from grading for the Double Cabins Ski Run.

The Site is on a knoll which slopes gently to the south towards the Double Cabins Ski Run. Views are both northeast over the road and northwest down the ski run. The Owner has an easement from TSG Ski and Golf, LLC (“TSG”) to use the existing mountain maintenance road on OS Tract SJV-3 for the proposed driveway that allows for saving most of the significant trees on the Site. Saving trees was critically important in the Owner’s driveway design and setting elevations for both structures in line with Site topography and to minimize cut and fill. Additionally maximizing saving trees provides more screening for the neighbor to the south. The buildings are small in footprint and size reflecting a positive attitude of sustainability in Mountain Village with sensitive design with the landscape and surroundings.

The primary home design proposed slight encroachments into the GE along Sundance Lane, which is heavily affected by a road cut that we will be re-vegetating. The proposed GE encroachments are shown in the Site & Landscape Concept Plan on Sheet A1.0 and the floor plans on Sheets A2.0 - A2.3 (Please refer to GE discussion below).

The main house is placed in the southeast corner stepping with the natural topography. The imagery evokes some Nordic forms, yet is clearly embraces our mountain village vernacular with exposed beams and steel. The ski shack in the north west corner shares the same architectural strategy, stepping down the hillside. The site design proposes earthwork to access the ski run directly (Please refer to Ski Access discussion below).

## Project Geography

Geography and Zoning Requirements		
	Existing/Requirement	Proposed (Approx.)
Lot Size	0.858 acres (37,374.48 sq. ft.)	No Change
Floor Area	Primary Home Accessory Dwelling Unit	3,683.4 sq. ft. (4,172.5 gross sq. ft.) 780 sq. ft.* (1113.4 gross sq. ft.)
Zone District	Single-family Zone District	No Change
Maximum Building Height	35’ + 5’ for Gabled Roofs	Primary - 35’ - 6 1/4” ADU - 33’ - 2”
Max. Average Building Height	30’	Primary - 26’ - 9 1/8” ADU - 23’ - 10 5/8”
Lot Coverage	40% = 14,949.79 sq. ft	13.6% = 5,073.5 sq. ft.
Parking	Primary: 2 enclosed + 2 unenclosed ADU: 1 space	2 enclosed space + 2 unenclosed 1 enclosed space



Figure 1. The Site

## Steep Slope Regulations

The Owner proposes to install a ski-in/ski-out access on Telluride Ski and Golf, LLC (“TSG”) land that contains steep slopes that are 30% or greater. It appears that this steep sloped area was created by the grading for the Double Cabins Ski Run.

Section 17.6.1(C)(2)(a) of the Community Development Code (“CDC”) states that:

“Building and development shall be located off slopes that are thirty percent (30%) or greater to the extent practical.

i. In evaluating practicable alternatives, the Town recognizes that it may be necessary to permit disturbance of slopes that are 30% or greater on a lot to allow access to key viewsheds, avoid other environmental issues, buffer development and similar site-specific design considerations.”

The development of the Site necessitates disturbance of steep slopes that are 30% or greater to allow ski area access.

CDC Section 17.6.1(C)(2)(c) states, with our compliance comments shown in blue text:

“The review authority shall only allow for disturbance to slopes thirty percent (30%) or greater if it is demonstrated that there is not a practicable alternative to avoiding such activities and if the following criteria are met:

i. The proposed steep slope disturbance is in general conformance with the Comprehensive Plan. *The*

*proposed home is in general conformance with the Mountain Village Comprehensive Plan because it envisions the Site with single-family land uses. Ski area access is integral for all lots that abut ski runs in the town. The civil engineering and structural engineering design will ensure that environmental resources are not impacted.*

ii. The proposed disturbance is minimized to the extent practical. *The impact to steep slope areas is minimized to the extent practical with the ski access designed by a civil engineer to fit into the current topography of the Site and the adjacent Double Cabins Ski Run.*

iii. A Colorado professional engineer or geologist has provided: (a) A soils report or, for a subdivision, a geologic report. *A geologic report and soils report will be provided with the Final Architectural Review application materials.*

(b) An engineered civil plan for the lot, including grading and drainage plans. *The civil plans were prepared by Uncompahgre Engineering and are included in the Design Review Process plan set.*

iv. And the proposal provides mitigation for the steep slope development in accordance with the engineered plans." *Grading of the steep slope areas is minimized as shown in the civil plans. The Final Architectural Review Plan set will include construction mitigation measures, such as the use of waddles or other appropriate material.*

## General Easement (GE)

The proposed Site development is seeking the following encroachments into the General Easement ("GE"):

1. Driveway, address monuments, utilities and ski area access. CDC Section 17.3.14(E)(1) expressly allows the driveway, ski area access and address monument and utilities to be placed in the GE.
2. Northeastern terrace on Level 1 as shown on Sheet A2.1 and extension of the eastern roof in two locations as shown on Sheet A2.3.

The Owner is seeking approval of the northeastern terrace and the eastern roof into the 16-foot General Easement pursuant to CDC Section 17.3.14(F) as follows, with our compliance comments shown in blue text:

1. The applicant has demonstrated that avoiding grading and disturbance in the general easement setback would create a hardship, and there is not a practicable alternative that allows for reasonable use of the lot. *The Owner believes that removing the desired patio and roof form from the eastern General Easement causes a design hardship. The Owner desires to create a mountain vernacular home with extensive eaves, and the patio and roof encroachments are located over 40 feet away from the Sundance Lane travelway.*
2. The disturbance in the general easement setback is due to natural features of the site, such as steep slopes, wetlands and streams. *The Owner indicated that the primary home was designed on the eastern side of the Site to access views and shifting it to the west will impact desired views and the desired design.*
3. No unreasonable negative impacts result to the surrounding properties. *No unreasonable impacts will occur to surrounding properties due to the small GE encroachments. The home is located over 40 feet away from the Sundance Lane travelway with the building site located approximately 8 to 10 feet above such roadway.*
4. The general easement setback or other setback will be revegetated and landscaped in a natural state. *The GE will be revegetated in a natural state.*
5. The Public Works Department has approved the permanent above-grade and below-grade improvements. *We are reaching out to the Public Works Department on the proposed GE encroachments.*
6. The applicant will enter into an encroachment agreement with the Town with the form and substance

prescribed by the Town. The Owner understands that it will have to enter into a revocable encroachment permit for the proposed GE encroachments.

7. Encroachments into the general easement setback or other setbacks are mitigated by appropriate landscaping, buffering and other measures directly related to mitigating the encroachment impacts. *The Owner believes that existing site trees to be saved combined with site and architectural design provides adequate mitigation.*

## Double Cabins Ski Access

The Owner proposes a ski access as shown on the civil grading plan and site plan and is reaching out to TSG to obtain the written consent for the proposed ski area access on TSG owned land.

## Landscaping

The landscaping plan consists of planting five (5) new fir trees as shown on the site plan to screen the pump house building. Revegetation of all disturbed areas will be provided by a native grass seed mix.

## Design Regulation Compliance

**Mountain Village Design Theme.** The proposed design meets the Mountain Village Design Theme. The project is designed to sensitively fit the Site in order to minimize impacts to steep slopes and trees. The natural features of the site have informed the design of the home. The proposed home design is respectful and responsive to the tradition of alpine design with sturdy building forms, primary gable roof forms, large eaves, secondary shed roof forms and a heavy grounded base. The massing is simple and form and is designed into the existing topography.

**Building Siting Design.** The home and ADU are sited to blend into the existing landscape and landforms.

**Building Design.** The home is designed with a stone base that provides a grounded building form to withstand high alpine conditions. The overall building forms are simple in design. The roofs are designed with a composition of multiple forms that emphasize sloped planes, varied ridge lines and vertical offsets. The proposed standing seam steel roofs provides a durable roof material that will withstand the high alpine climate conditions. Exterior materials are provided consistent with the Design Regulations as presented in this narrative. The exterior colors harmonize with the natural landscape and are natural, warm and subtle. Windows have been designed to be integral part of the structure's complete design and in accordance with the window regulations.

**Grading Design.** Grading has been designed to relate to and blend into the surrounding topographic landscape.

**Parking Regulations.** The primary home provides three (2) interior garage spaces and two (2) exterior surface spaces, and the ADU provides one (1) garage space that meets the Parking Regulation requirements.

**Landscaping Regulations.** The landscaping plan has been designed in accordance with the landscaping regulations.

**Fire Mitigation Regulations.** The Site has a forest that will have to be thinned to meet the Fire Mitigation Regulations and also to access views. Fire mitigation zones and associated tree removal will be detailed with the Final Architectural Review.



# GENERAL NOTES

## CONTRACT DOCUMENTS

CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED.

## ORGANIZATION

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: PLANNING & REGULATORY (A SHEETS), CIVIL DRAWINGS (C SHEETS), LANDSCAPE DRAWINGS (L SHEETS), ARCHITECTURAL DRAWINGS (A SHEETS), INTERIOR DRAWINGS (ID SHEETS), STRUCTURAL DRAWINGS (S SHEETS), MECHANICAL DRAWINGS (M SHEETS), ELECTRICAL (E SHEETS), AUDIOVISUAL DRAWINGS (LV SHEETS), AND LIGHTING DRAWINGS (LP SHEETS).

## CODE COMPLIANCE

ALL WORK, MATERIALS, AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS, AND JOURNEMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3.

## REGULATORY COMPLIANCE

THE CONTRACTOR SHALL ENSURE THAT THE WORK AND CONSTRUCTION ADMINISTRATION PROCESSES COMPLY WITH ALL APPLICABLE GOVERNMENTAL AND PRIVATE REGULATIONS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: THE TOWN OF TELLURIDE LAND USE CODE (LUC), DESIGN GUIDELINES, HISTORIC AND ARCHITECTURAL REVIEW COMMISSION (HARC) CONDITIONS, CERTIFICATES OF APPROPRIATENESS (CAs) AND IMPACT STATEMENTS. THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE (CDC) AND DESIGN REVIEW BOARD (DRB) CONDITIONS. SAN MIGUEL COUNTY BUILDING REGULATIONS. ALL COVENANTS, CONDITIONS & RESTRICTIONS, DECLARATIONS, ARCHITECTURAL GUIDELINES AND RULES AND REGULATIONS ESTABLISHED BY ANY PRIVATE OWNERS ASSOCIATIONS THAT GOVERN THE PROJECT SITE.

## INTENT

THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

## COORDINATION

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS, AND REPORT ANY DISCREPANCIES, ERRORS, OR OMISSIONS OF THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AUDIO/VISUAL, AND LIGHTING DRAWINGS.

# INITIAL REVIEW SHEET LIST

Sheet Number	Sheet Name
A0.0	Cover Sheet
A0.1	Existing Conditions - Site Photos
A0.1a	Existing Conditions - Site Photos
A0.2	Existing Conditions - Survey
A0.3	Civils - Engineering Notes
A0.4	Civils - Site Grading
A0.5	Civils - Utilities
A0.6	Exterior Renderings
A0.7	Interior Renderings
A0.8	Renderings
A0.9	Entrance Perspectives
A0.10	Ground-Level Exterior Perspectives
A0.11	Perspectives - Ski Shack
A1.0	Site & Landscape Concept Plan
A1.2	Site Coverage
A1.3	Floor Area Calculations - Main House
A1.4	Floor Area Calculations - Ski Shack
A1.5	Main - Building Height Calcs.
A1.6	Accessory - Building Height Calcs.
A2.0	Floor Plans - Level 0
A2.1	Floor Plans - Level 1
A2.2	Floor Plans - Level 2
A2.3	Roof Plan
A2.7	Ski Shack Floor Plans - Level 0 & Level 1
A2.8	Ski Shack Floor Plans - Level 2 & Roof Plan
A3.0a	Exterior Materials
A3.0b	Exterior Materials
A3.1	Exterior Elevations
A3.2	Exterior Elevations
A3.3	Exterior Elevations
A3.4	Exterior Elevations
A3.5	Exterior Elevations - Ski Shack
A3.6	Exterior Elevations - Ski Shack
A9.1	Door & Window Schedules
<b>Grand total: 34</b>	

# ENERGY EFFICIENCY AND GREEN BUILDING

## ENERGY EFFICIENCY

- SOUTH FACING WINDOWS ARE PASSIVE SOLAR
- RADIANT HEAT FLOORING
- LOW FLOW PLUMBING FIXTURES.
- LOW VOLTAGE LIGHTING
- INSULATED WINDOWS
- HIGH R VALUE INSULATION

## GREEN MATERIALS

- LOW VOC PAINT
- NATURAL MATERIALS THROUGHOUT INCLUDE: WOOD, STONE, NATURAL FIBER CARPETS

# MAXIMUM BUILDING HEIGHT

REFER TO SHEETS: A1.3 - BUILDING HEIGHT CALC'S  
A1.4 - PARALLEL SLOPE COMPLIANCE

# PROJECT TEAM

## OWNER:

926, LLC  
c/o TOMMY HEIN ARCHITECTS  
TOMMY HEIN ARCHITECTS  
TOMMY HEIN  
108 S. OAK ST- PO BOX 3327  
TELLURIDE, CO 81435  
p. 970.728.1220  
tommy@tommyhein.com

## INTERIOR DESIGNER:

TBD  
-  
-  
TELLURIDE, CO 81435  
p. -  
-@-.com

## GENERAL CONTRACTOR:

TBD  
-  
-  
TELLURIDE, CO 81435  
p. -  
-@-.com

## CIVIL ENGINEER:

UNCOMPAGRE ENGINEERING, LLC  
DAVID BALLODE, P.E.  
P.O. BOX 3945  
TELLURIDE, CO 81435  
p. 970.729.0683  
dbalode@msn.com

## STRUCTURAL ENGINEER:

COLORADO STRUCTURAL  
MIKE ARBANEY  
315 BELLVIEW, SUITE 2B  
CRESTED BUTTE, CO 81224  
p. 970.349.5922  
mike@coloradostructural.com

## MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

TBD  
-  
p. - f. -  
-@-.com

## LIGHTING DESIGNER:

ROBERT SINGER & ASSOCIATES INC.  
KIM QUINT  
655 E. VALLEY RD, SUITE 200  
BASALT, CO 81621  
p. 970.963.5692 f. 970.963.5684  
kquint@robertsingerlighting.com

## SURVEYOR:

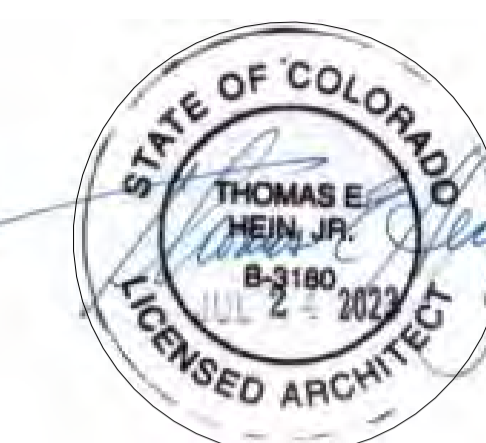
BULSON SURVEYING  
DAVID BULSON  
166 ALEXANDER OVERLOOK  
TELLURIDE, CO 81435  
p.970.318.6987  
dave@bulsonsurveying.com

## PLANNING CONSULTANT:

ALPINE PLANNING, L.L.C.  
CHRISTOPHER HAWKINS  
PO BOX 654  
RIDGWAY, CO 81432  
p. 970.946.7927  
chris@alpineplanningllc.com

*Tommy Hein*  
ARCHITECTS

Box 3327 108 S. Oak St. Penthouse  
TELLURIDE, COLORADO 81435  
WWW.TOMMYHEIN.COM 970.728.1220

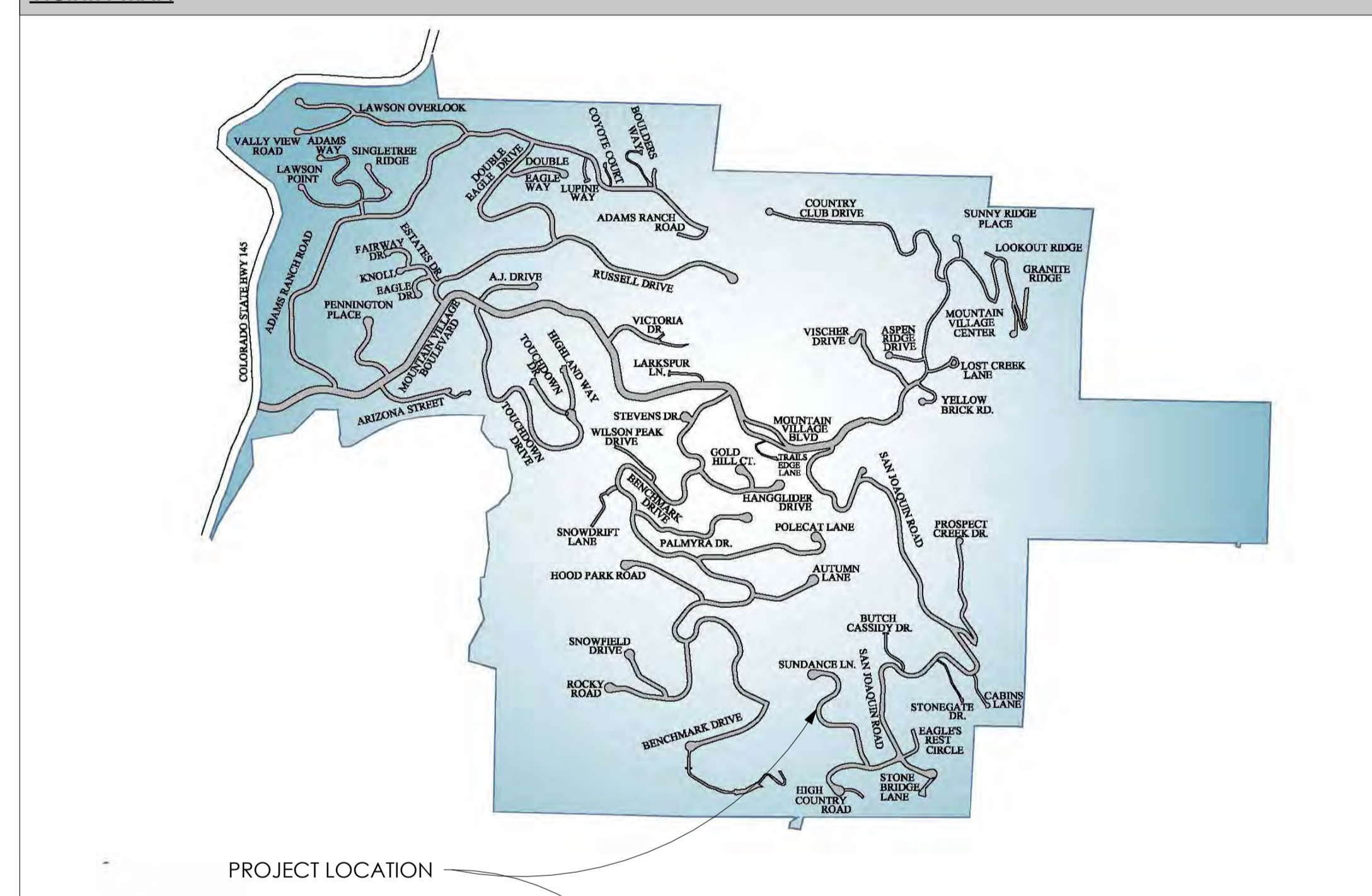


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# Submissions

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
INITIAL DRB2	23.10.09

## VICINITY MAP:



# LOT COVERAGE & FLOOR AREA CALCULATIONS

STANDARDS	ALLOWED	PROPOSED
<b>LOT COVERAGE</b>		
17.3.13 MAXIMUM LOT COVERAGE. (ACREAGE AND SQ. FT.)	SINGLE-FAMILY ZONE DISTRICT WITH LOTS <1 ACRE = 40% MAXIMUM LOT COVERAGE	0.858 ACRES = 37,374.5 SF MAX COVERAGE = 14,949.8 SF SITE COVERAGE (AREA) = 5,073.5 SF SITE COVERAGE (PERCENT) = 13.6% (13.6% IS BELOW THE ALLOWABLE 40%)
<b>FLOOR AREA CALCULATIONS</b>		
		SEE SHEET A1.3 & A1.3 FOR ALL AREA CALCULATIONS
<b>MISC REQUIREMENTS</b>		
BUILDING SETBACKS	16'	- SEE A1.1 FOR BUILDING SETBACKS
BUILDING HEIGHT - MAXIMUM - AVERAGE	- 35' + 5' - 30'	- SEE A1.5 - SEE A1.6
NUMBER OF UNITS BY TYPE	- 1 RESIDENTIAL	- 1 RESIDENTIAL
PARKING SPACES - ENCLOSED - SURFACE	- 3 ENCLOSED - 2 SURFACE	- 3 - 2
SNOWMELT AREA	- 1000 SF	- 995.1 SF
EXTERIOR MATERIALS	- SEE A3.0	- SEE A3.0

# CODE SUMMARY

ZONING	- SINGLE FAMILY RESIDENTIAL
BUILDING CODE	- IRC-2018
DESCRIPTION	- 3.0 STORY
OCCUPANCY CLASSIFICATION	- IRC 1&2
AUTOMATIC FIRE SPRINKLERS	- NFPA 13D - SPRINKLERED GREATER THAN 3,600 S.F.
FIRE RESISTIVE RATING	- SHAFT ENCLOSURES - 1HR.
EXIT ENCLOSURE RATING	- 1 HR.
ELEVATOR SHAFT	- N/A

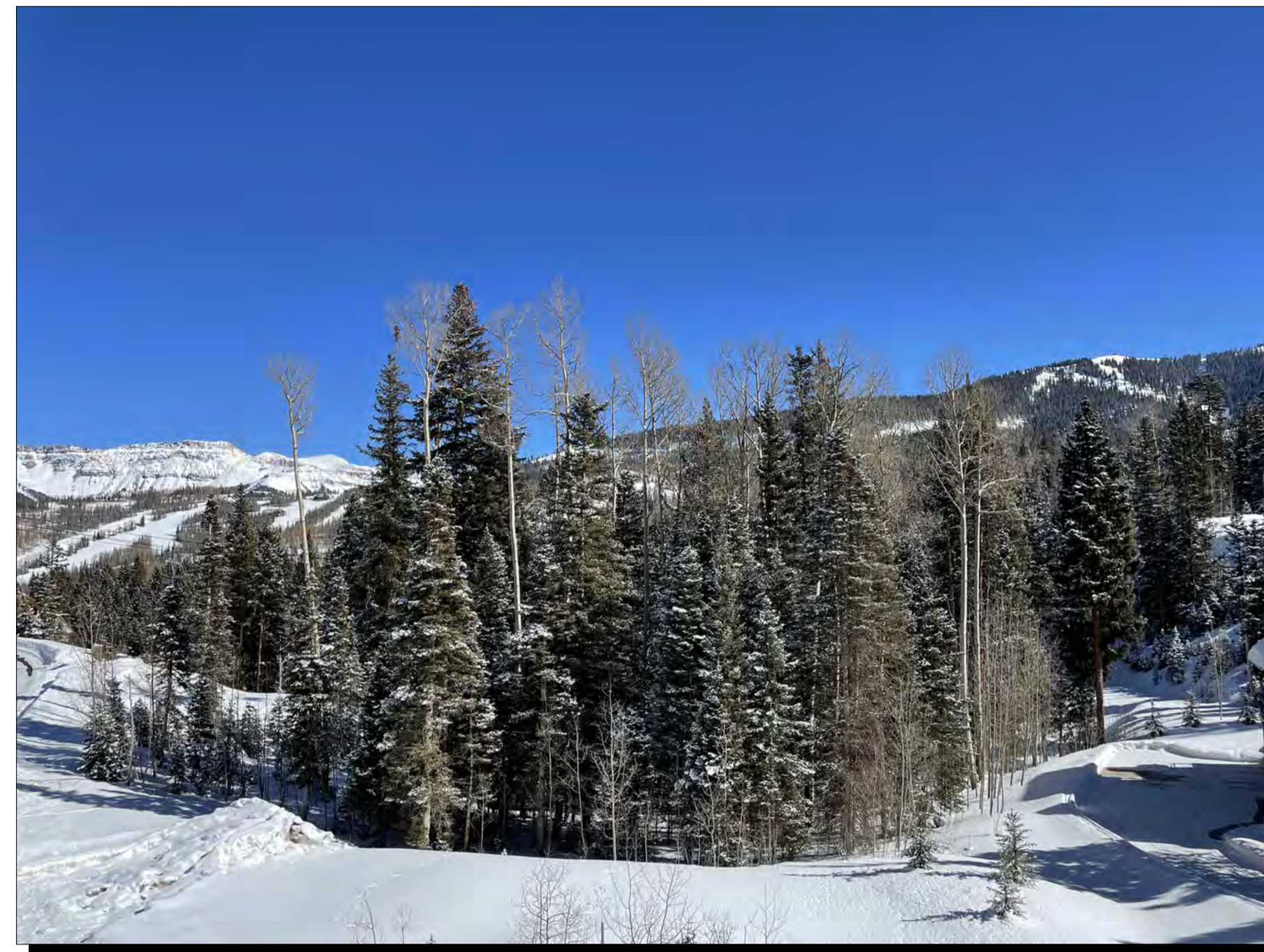
Mountain Village, CO  
81435

Cover Sheet

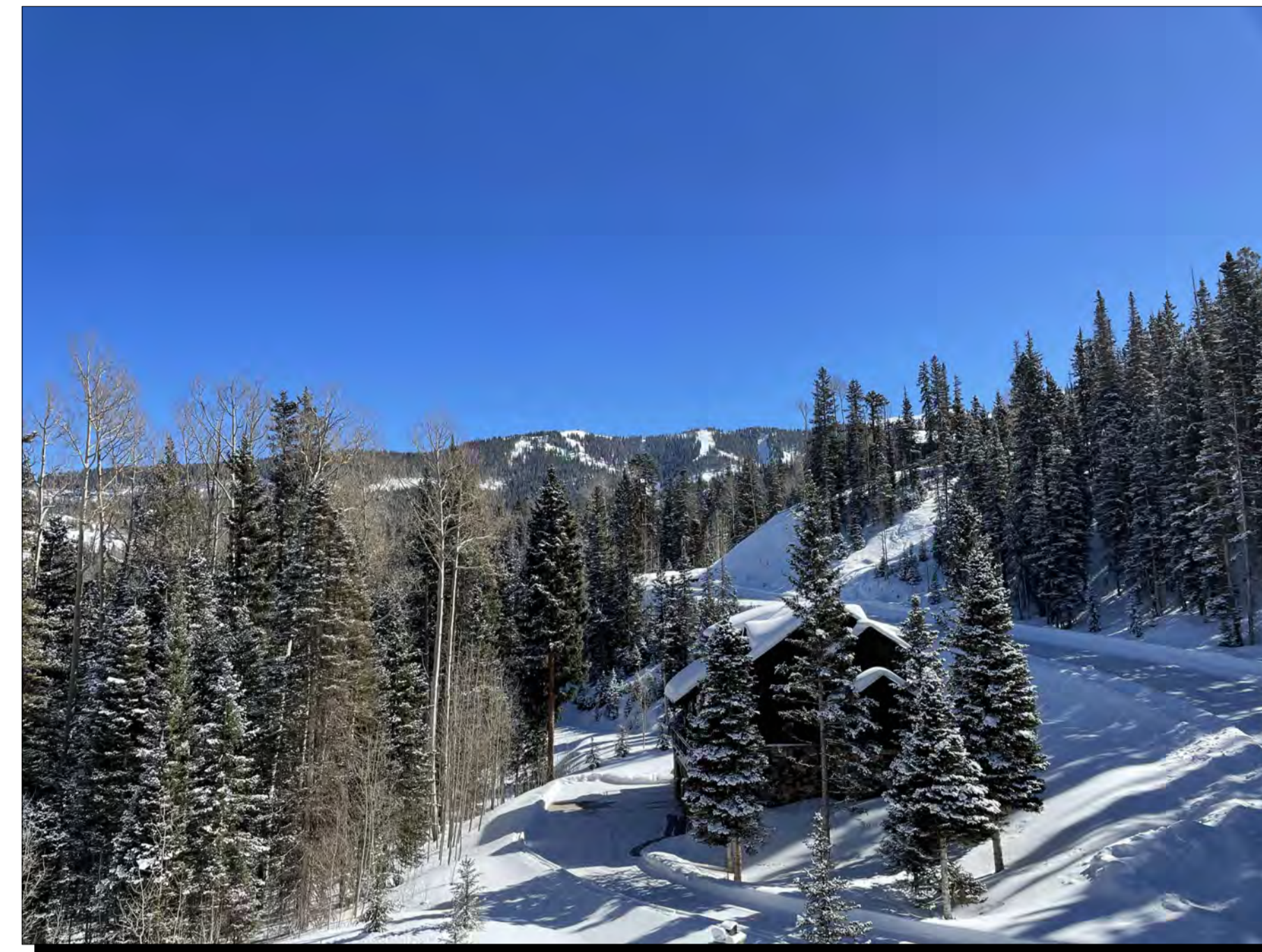
# A0.0



1\_NE Main View to Mt Emma over Chair 4



2\_Ski Area NE View1



3\_East Ski Area View



4\_SE View to forest over Rd



5\_South View over Neighbor



5\_South View over neighbor to ski run



7\_West View over access tract to ski run



8\_SkiArea view 20ft up



9\_Access rd ski access

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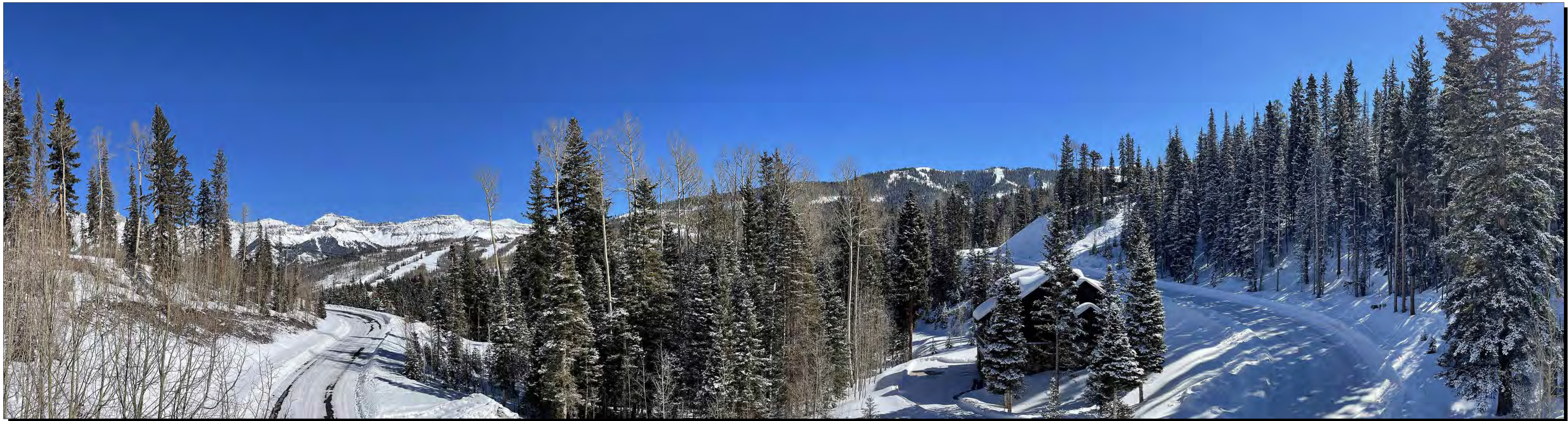
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81435

Existing  
Conditions -  
Site Photos

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

A0.1



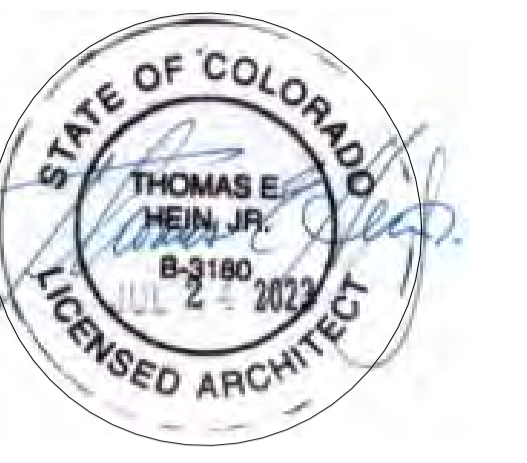
1\_Looking East\_Panorama



2\_Looking South\_Panorama

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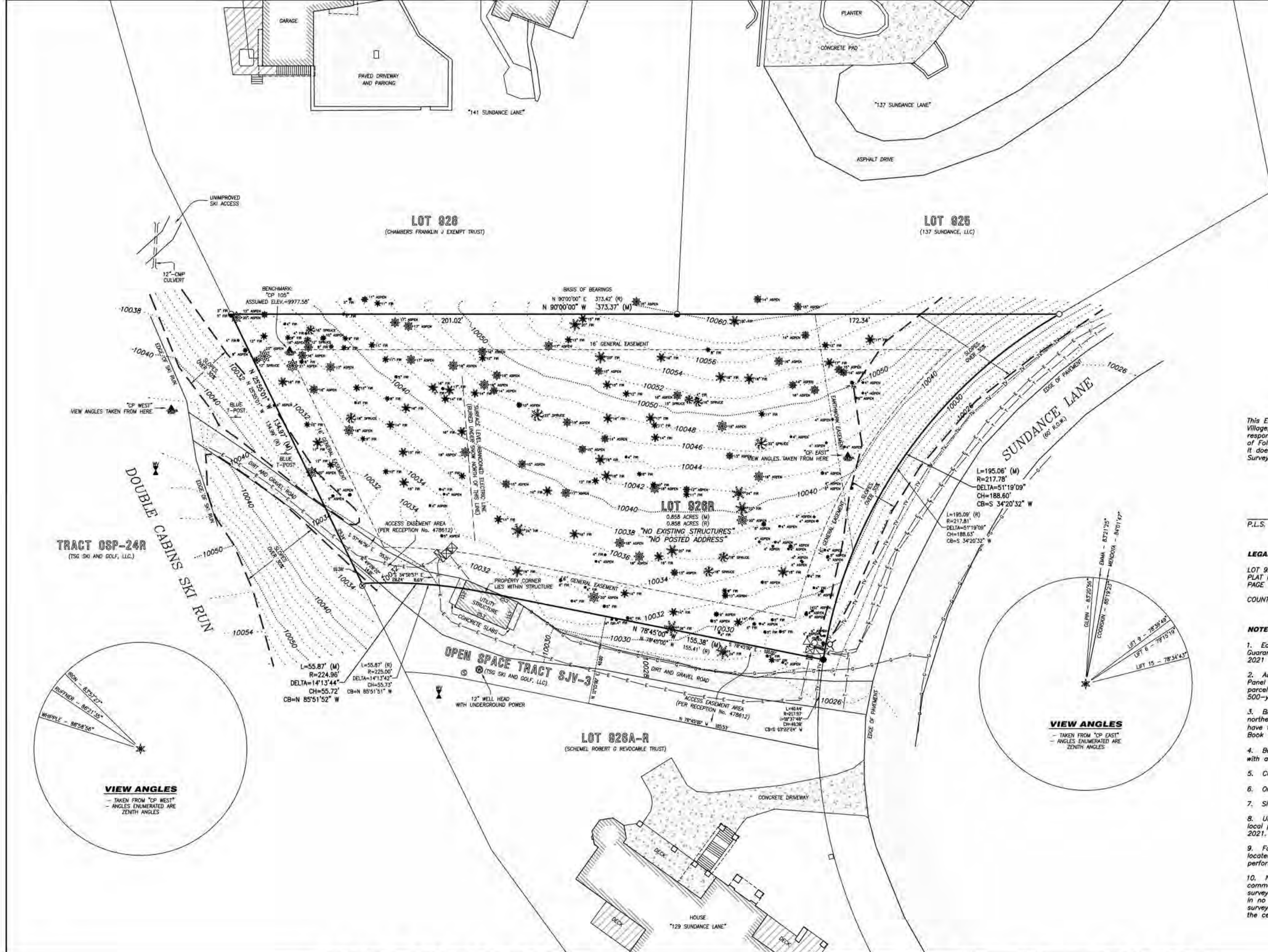
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*Sundance*

Mountain Village, CO  
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**A0.1a**



**LEGEND**

- ⊕ WATER VALVE
- ⊞ TRANSFORMER
- TELEPHONE PEDESTAL
- CABLE-TV PEDESTAL
- ⊕ CURBSTOP
- ⊕ FIRE HYDRANT

● FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 20632

○ FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37662

● FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37970

○ FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, ILLISIBLE

(M) MEASURED DIMENSIONS ACCORDING TO THIS SURVEY

(R) RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 1616



**UTILITY LEGEND**

- E— UNDERGROUND ELECTRIC LINE
- G— UNDERGROUND GAS LINE
- T— UNDERGROUND TELEPHONE LINE
- TV— UNDERGROUND COMMUNICATION LINE

This Existing Conditions Plan of Lot 926R, Town of Mountain Village, was prepared on June 01, 2022 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Survey Plat or Improvement Survey Plat as defined in §§ 38-1-1-102 C.R.S.



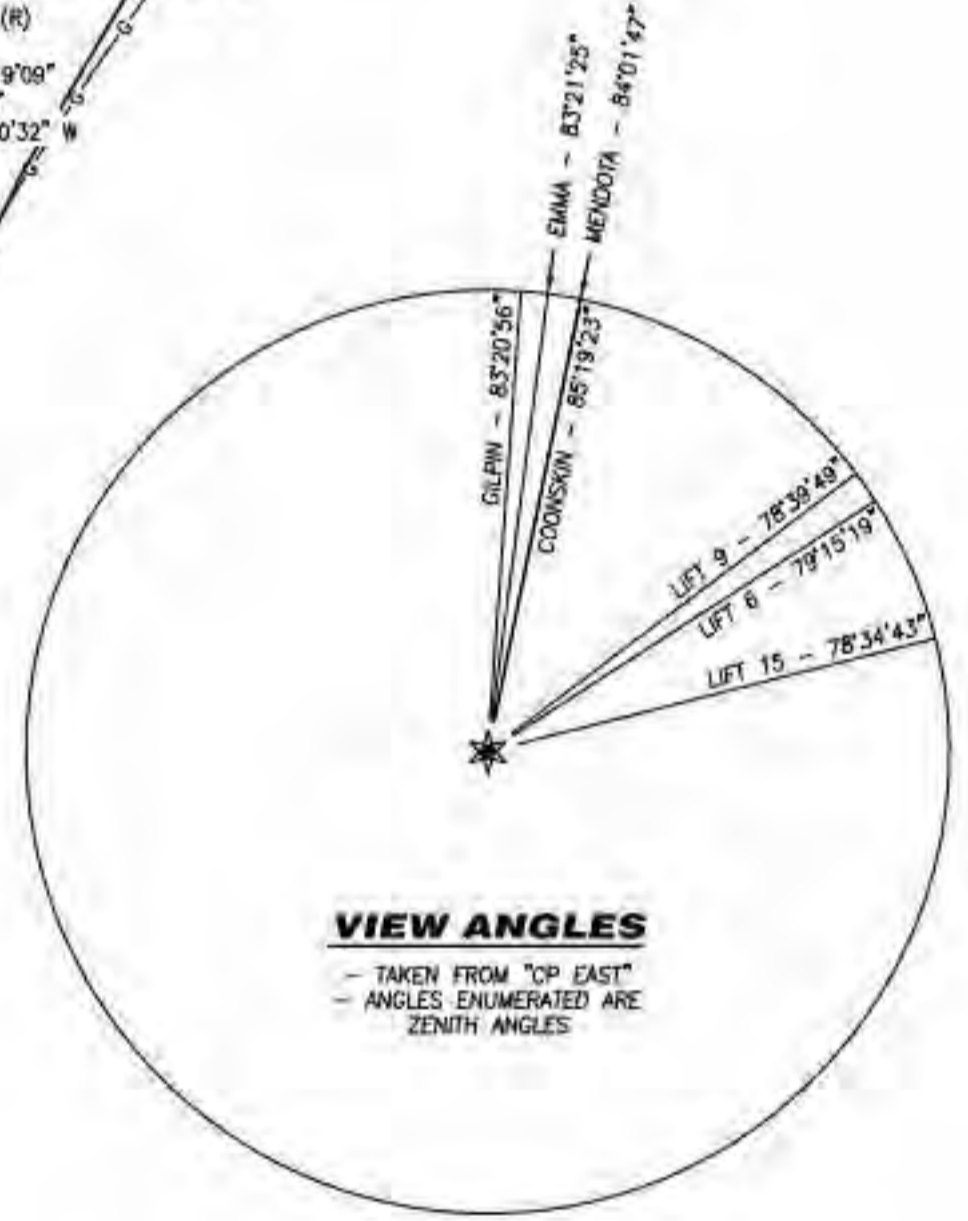
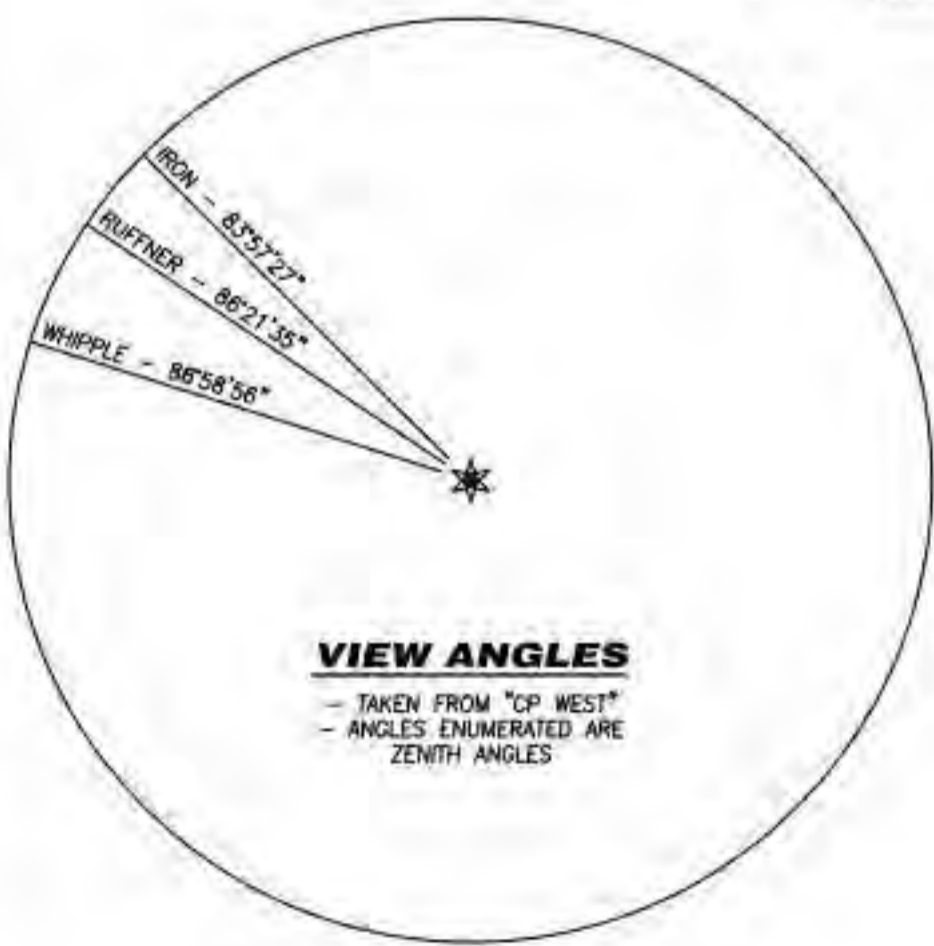
P.L.S. NO. 37970 Date

**LEGAL DESCRIPTION:**

LOT 926R, TELLURIDE MOUNTAIN VILLAGE, ACCORDING TO THE PLAT RECORDED DECEMBER 16, 1993 IN PLAT BOOK 1 AT PAGE 1616, COUNTY OF SAN MIGUEL, STATE OF COLORADO. COUNTY OF SAN MIGUEL, STATE OF COLORADO.

- NOTES:**
- Easement research and legal description from Land Title Guarantee Company, Order No. TLR86011515, dated April, 21 2021 at 5:00 P.M.
  - According to FEMA Flood Insurance Rate Map 080166, Panel Number 0287 D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
  - BASIS OF BEARINGS:** Found monuments along the northern boundary of Lot 926R, as shown hereon, assumed to have the record bearing of N 90°00'00" E according to Plat Book 1 at page 1616.
  - Benchmark: Control Point "CP 105", as shown hereon, with an elevation of 9977.58'.
  - Contour interval is two feet.
  - Only trees 3" or greater in diameter are shown hereon.
  - Slopes 30% or greater are shown hereon.
  - Underground utilities, as shown hereon, were painted by local providers and located by Foley Associates, Inc. in April, 2021.
  - Foley Associates, Inc. is not aware of any wetland areas located on this lot, but a wetland delineation was not performed as part of this survey.
  - NOTICE:** According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

TRACT OSP-24R  
(TSG SKI AND GOLF, LLC.)



**EXISTING CONDITIONS PLAN**  
Lot 926R, Town of Mountain Village,  
San Miguel County, Colorado.

Project Mgr:	JH
Technician:	MC
Checked by:	JZ
Start date:	06/01/2022



970-728-6153 970-728-6050 Fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:  
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE  
NATURAL GAS: BLACK HILLS ENERGY  
POWER: SAN MIGUEL POWER  
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

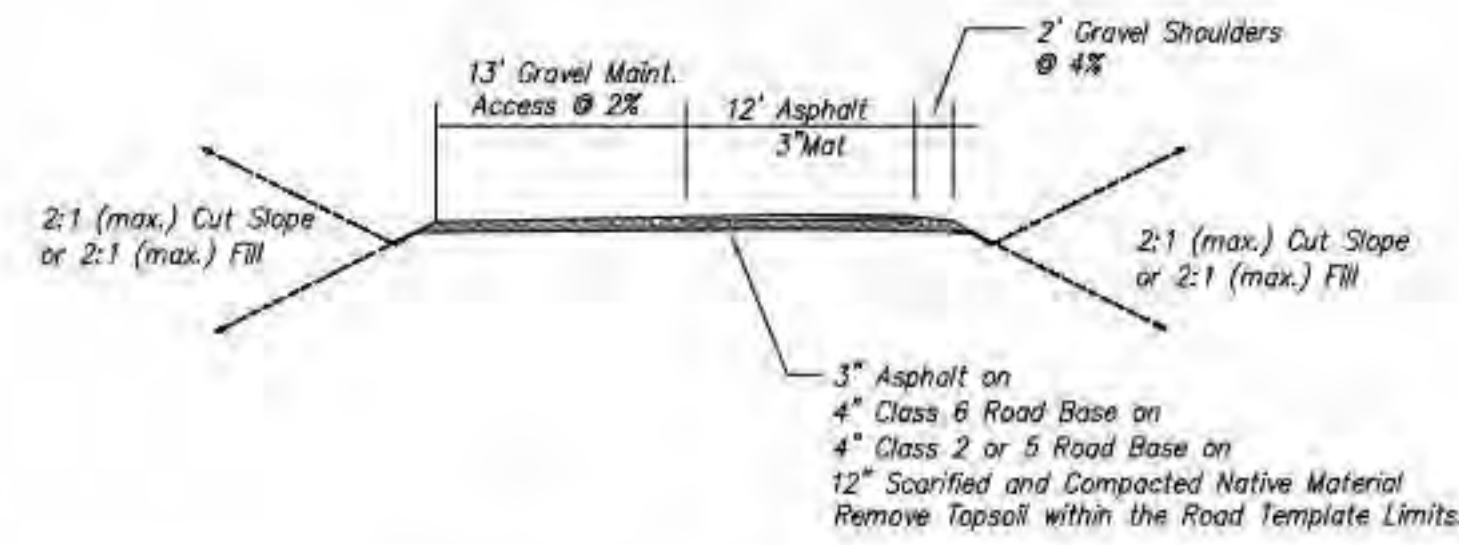
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

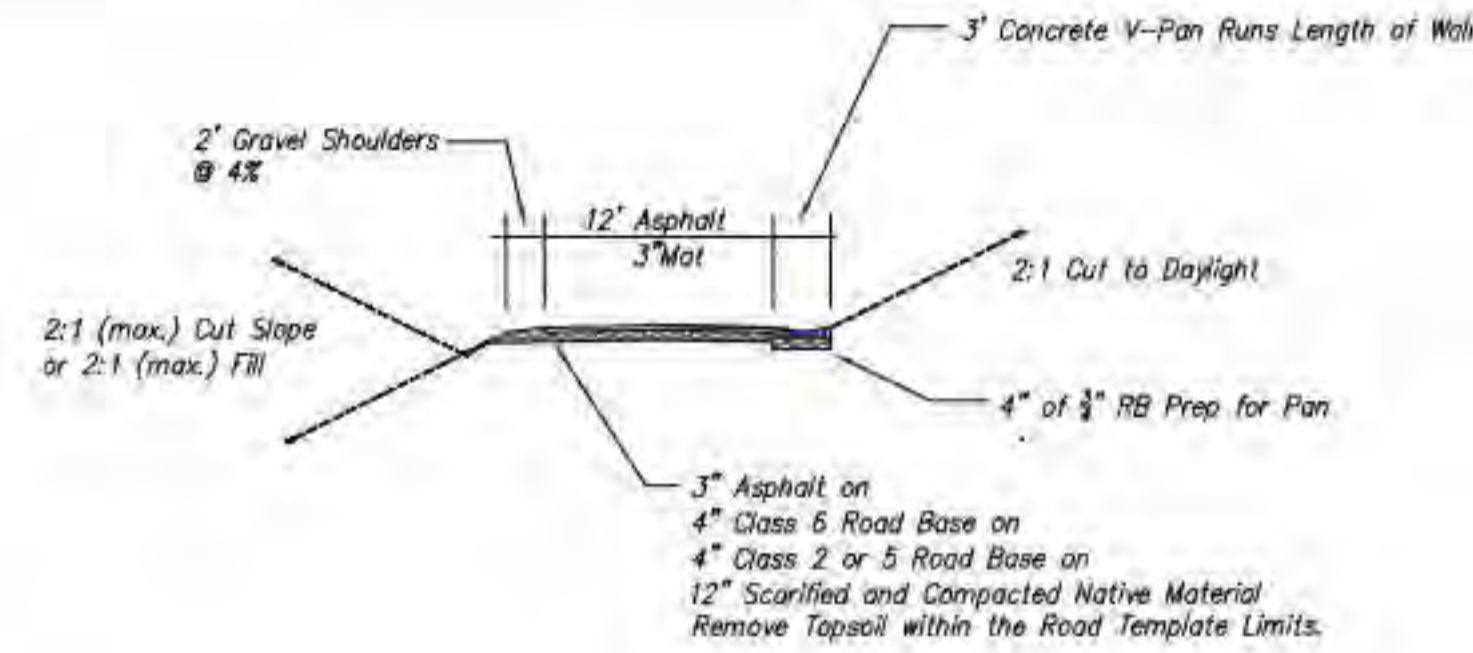
24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

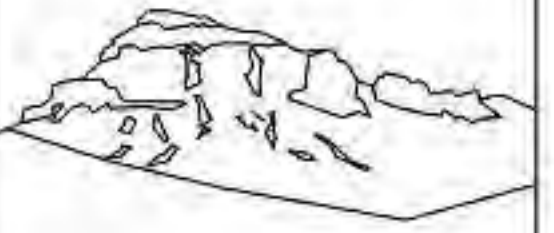
26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



DRIVEWAY CROSS-SECTION  
Typical Cross Section - No V-Pan with Maintenance Road  
16' Shoulder-to-Shoulder is the minimum Required Width



DRIVEWAY CROSS-SECTION  
Typical Cross Section with V-Pan  
16' Shoulder-to-Shoulder is the minimum Required Width



Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

SUBMITTAL 2023-07-21

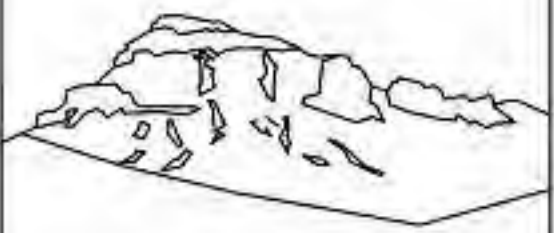
133 Sundance  
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHARTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



Uncompahgre Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

SUBMITTAL 2023-07-24

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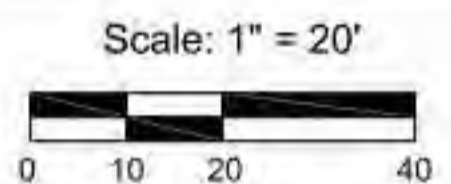
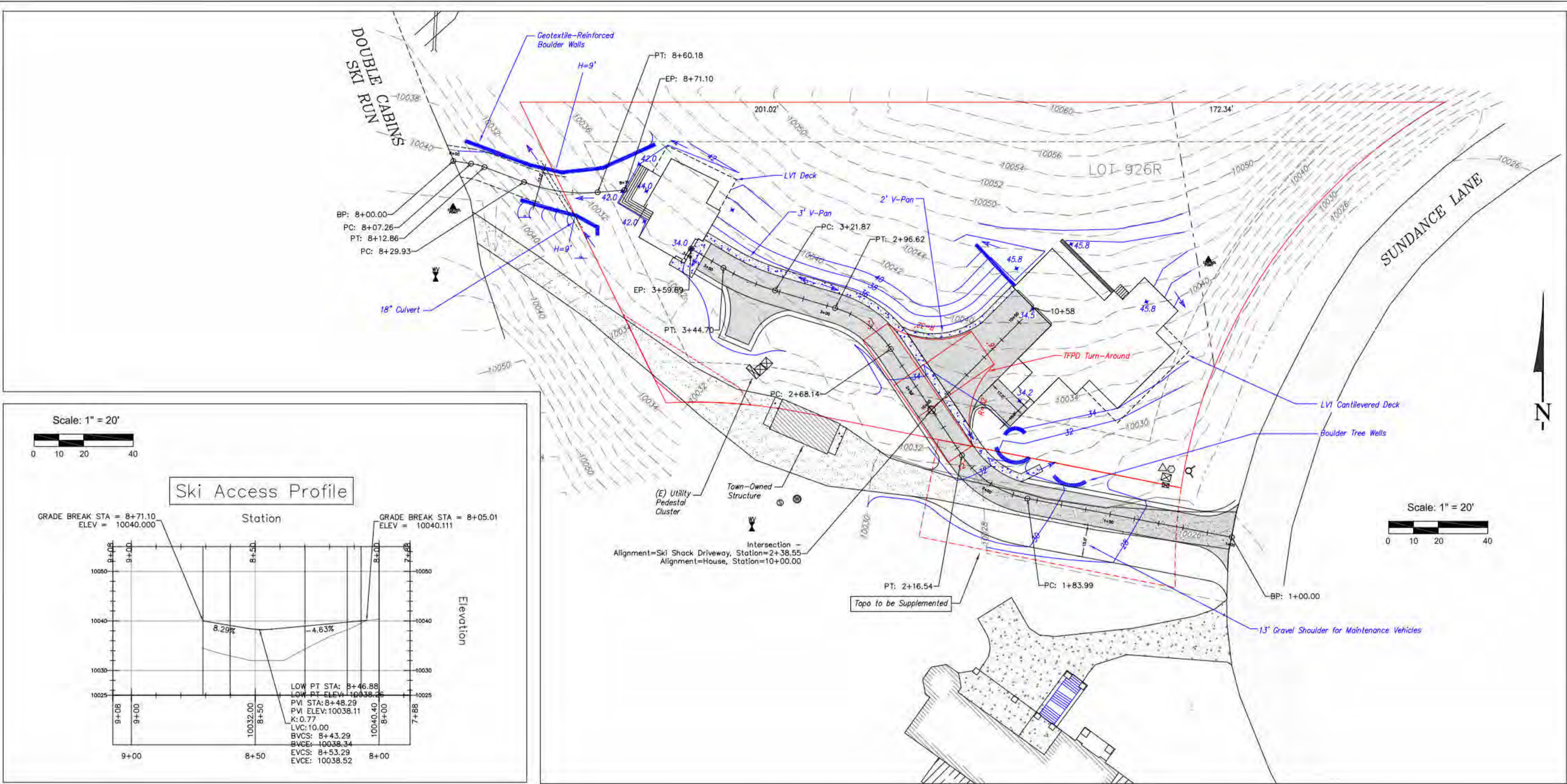


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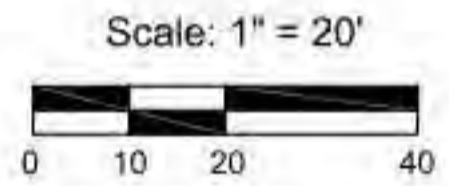
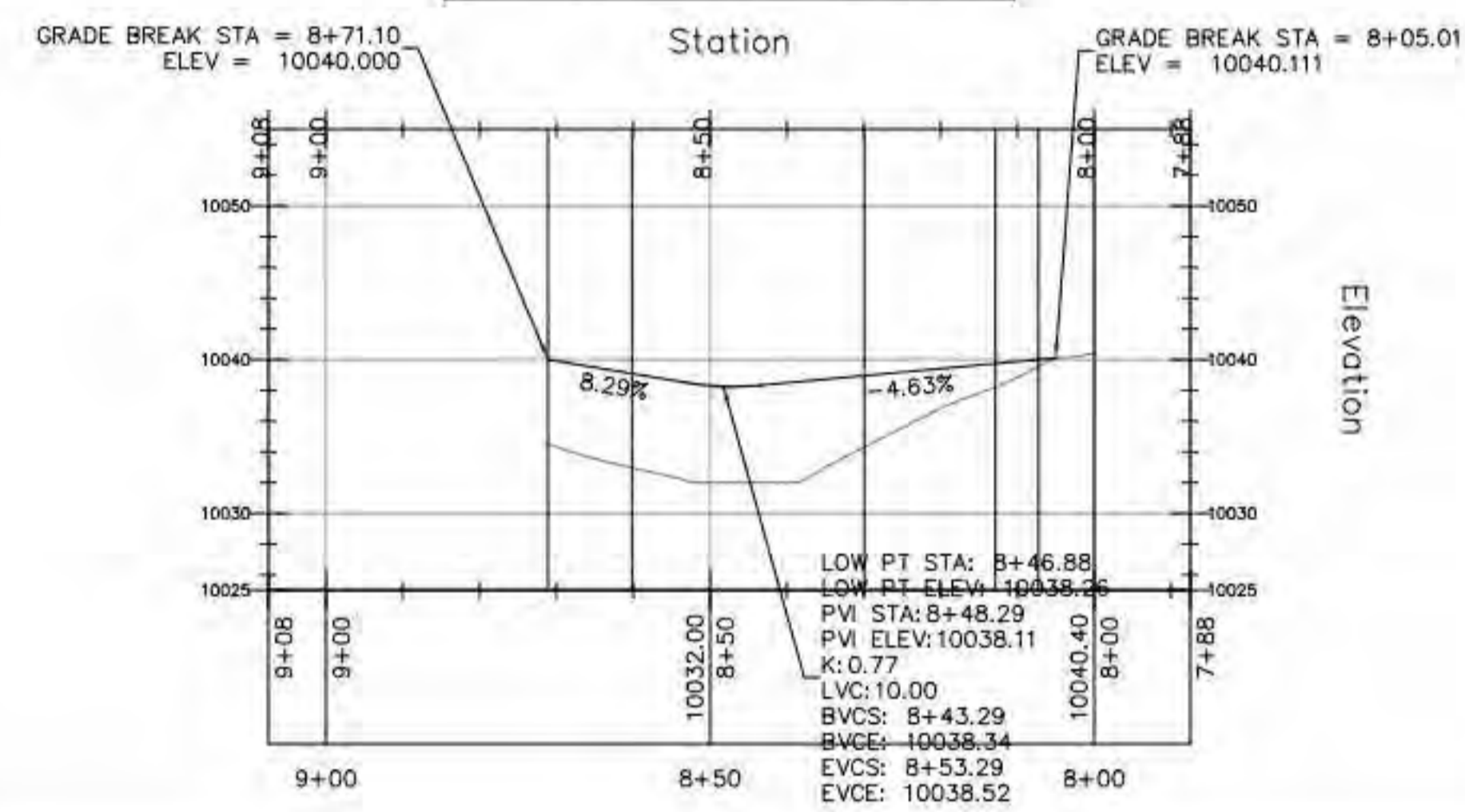
Site Grading

No Trees Displayed

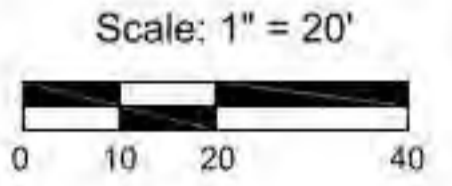
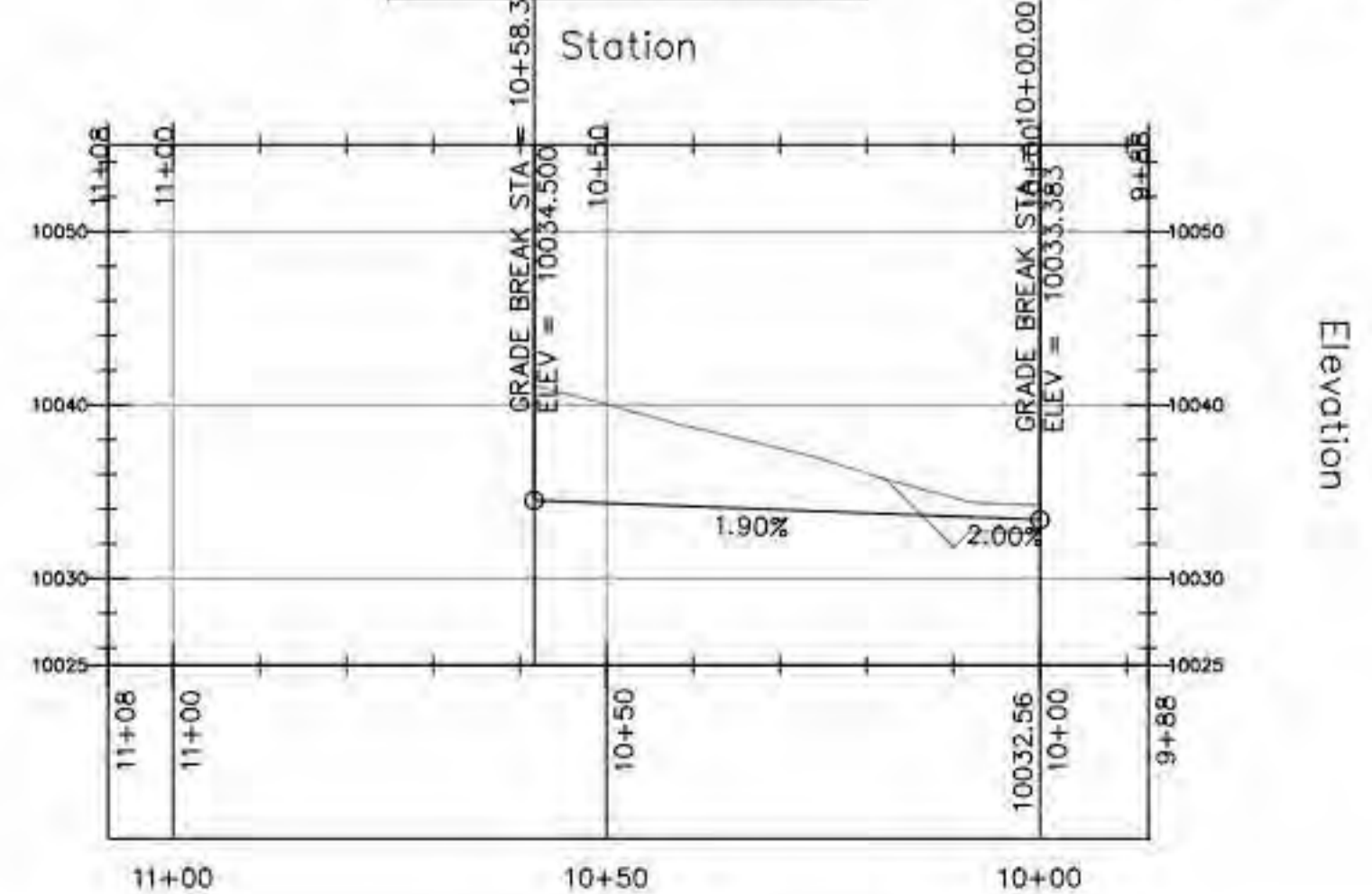
C2.2



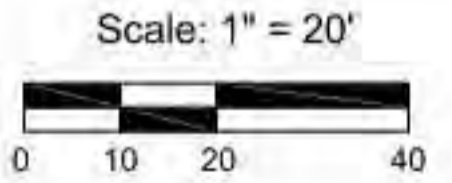
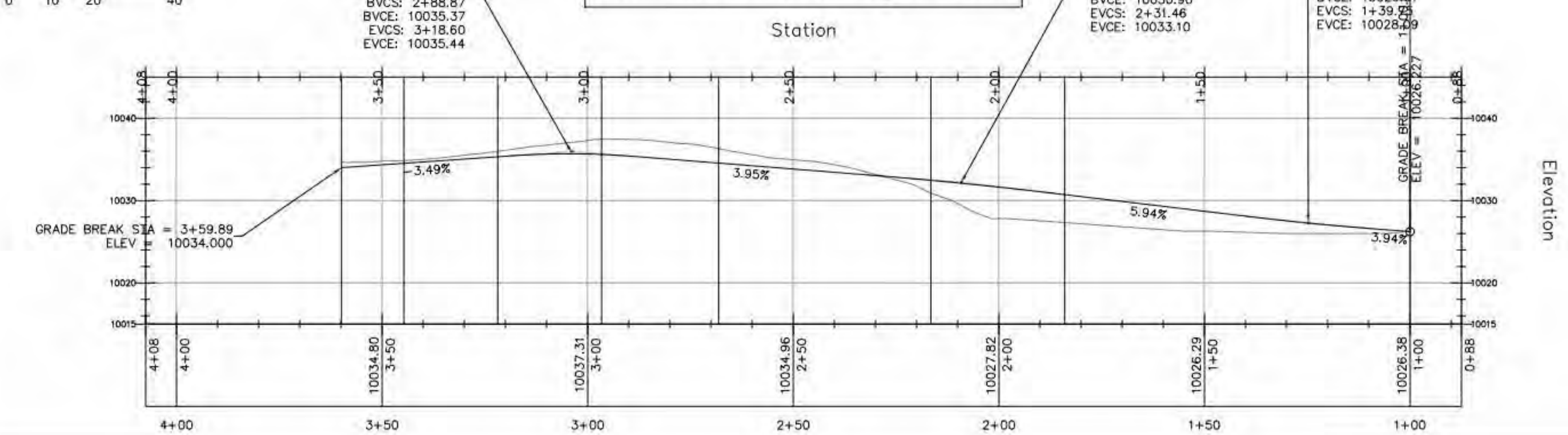
Ski Access Profile



House Profile



Ski Shack Driveway Profile





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Engineering, LLC

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Telluride, CO 81435  
970-729-0683

**SUBMISSIONS:**

SUBMITTAL 2023-07-21

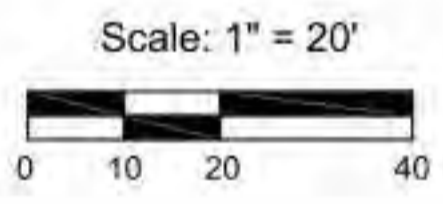
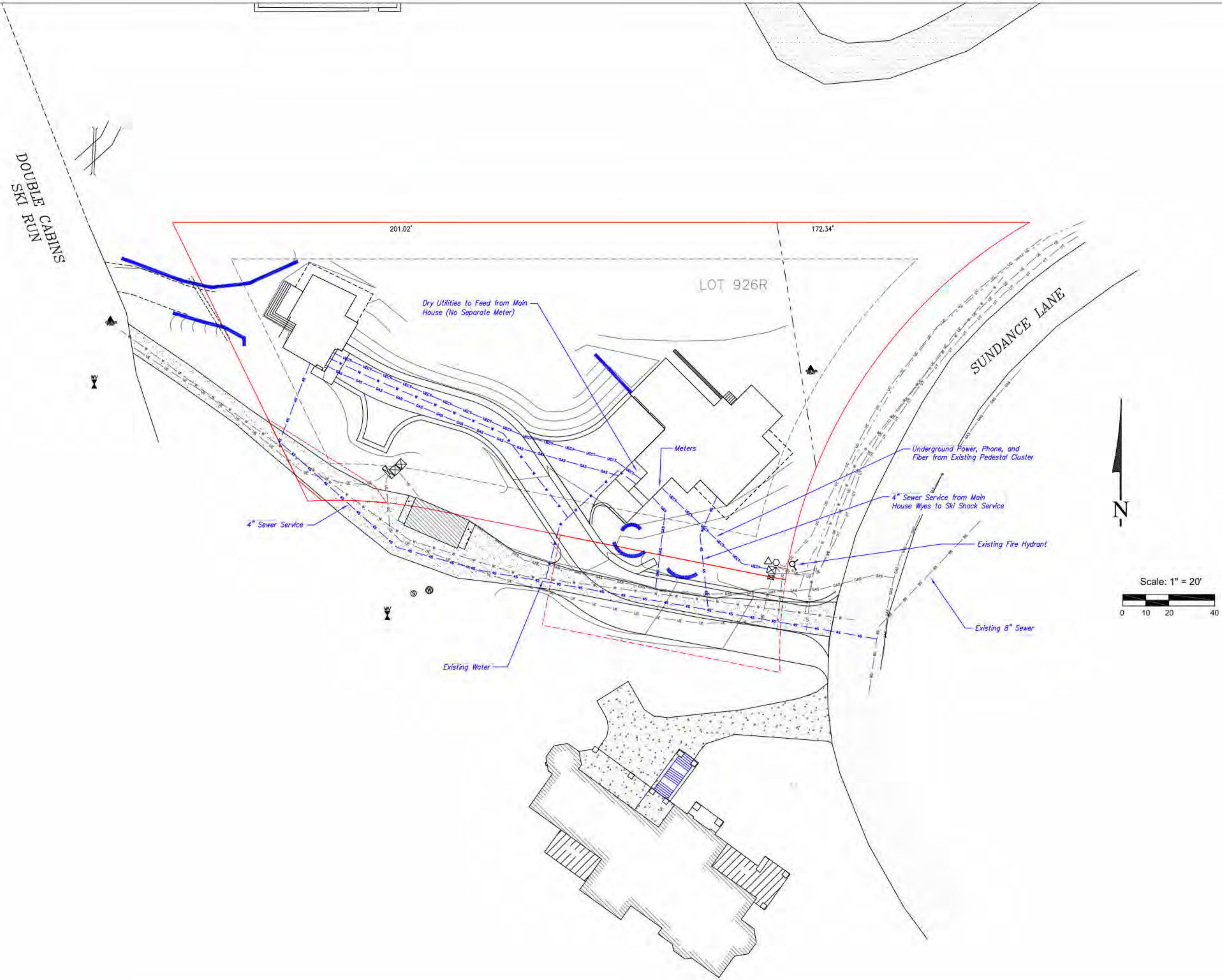
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Mtn. Village, CO

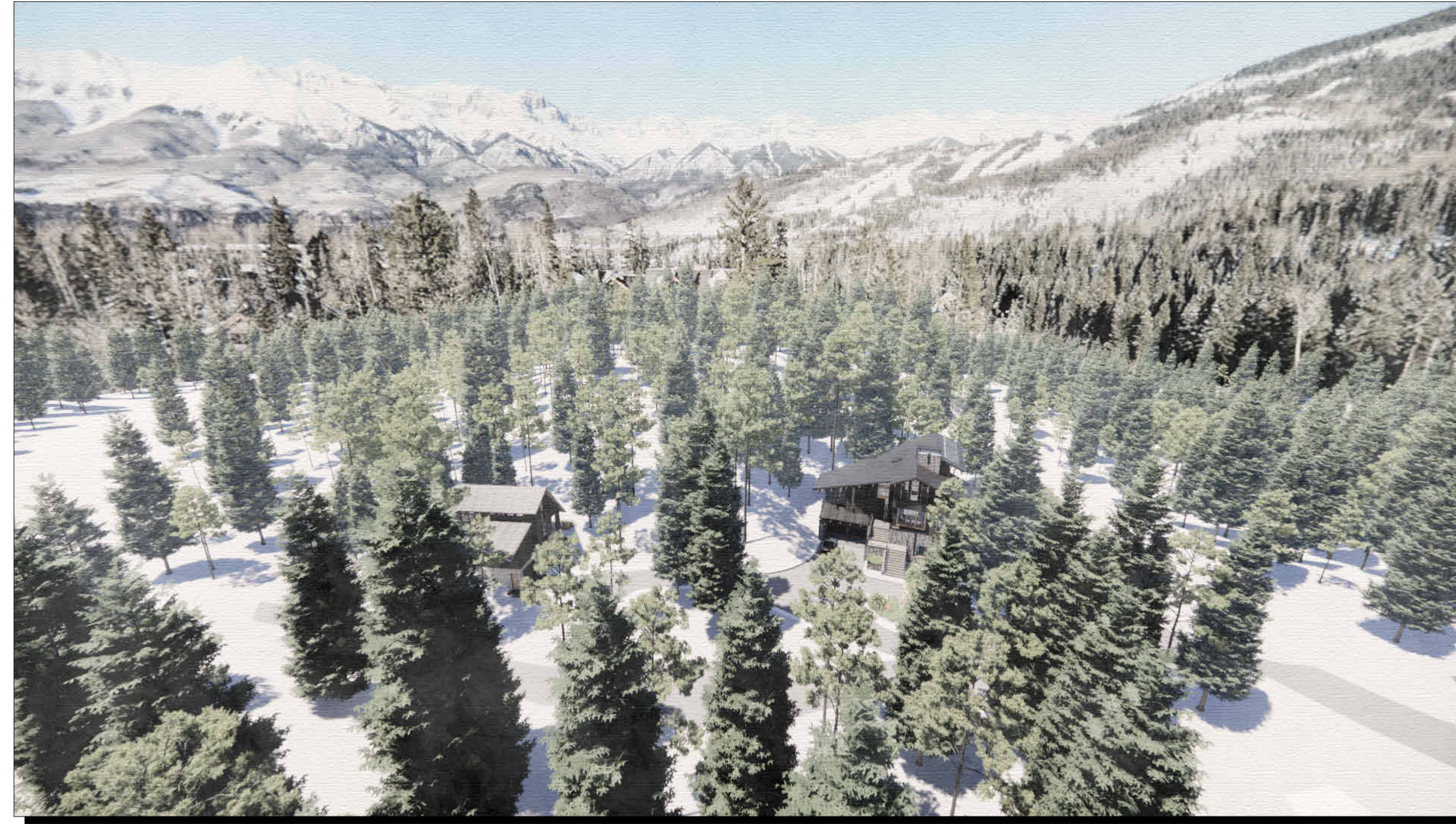


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Utilities

C3





SOUTH CONTEXT VIEW



MAIN HOUSE VIEW FROM ROAD



SOUTH VIEW : MAIN HOUSE AND SKI SHACK

*Tommy Hein*  
ARCHITECTS

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Telluride, Colorado 81435  
www.tommyhein.com 970.728.1220



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**Submissions**

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
INITIAL DR82	23.10.09

*133*  
*Sundance*

Mountain Village, CO  
81435

Exterior  
Renderings

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**A0.6**





MAIN HOUSE NORTH VIEW



MAIN HOUSE SOUTH VIEW 1



MAIN HOUSE SOUTH VIEW 2



MAIN HOUSE NORTH VIEW 2



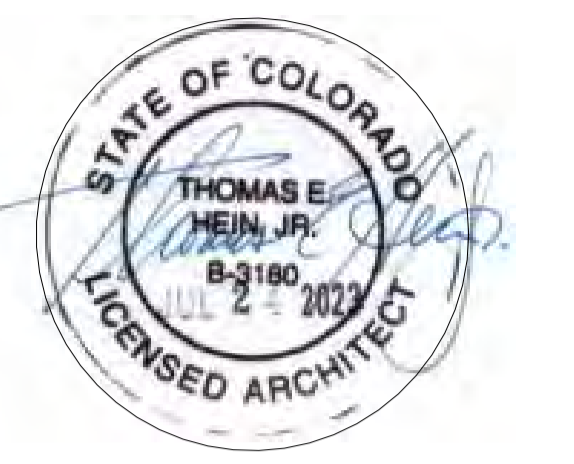
SKI SHACK EAST VIEW



SKI SHACK WEST VIEW

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Exterior  
Renderings

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**A0.7**



FIRE PIT VIEW



DINING PORCH VIEW



SOUTH BALCONY VIEW



HOT TUB TERRACE VIEW



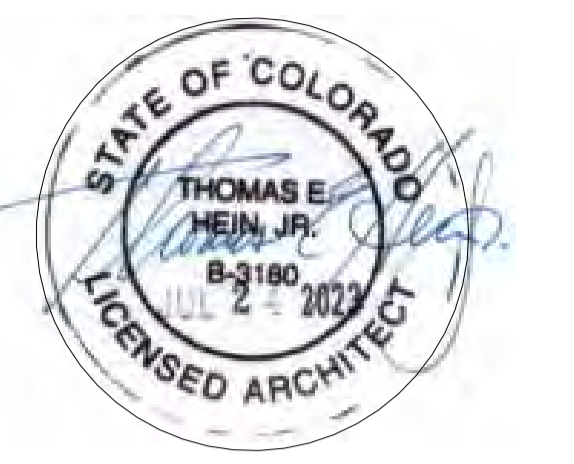
DINING & LIVING VIEW



DINING & LIVING VIEW 2

*Tommy Hein*  
ARCHITECTS

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Renderings

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**A0.8**

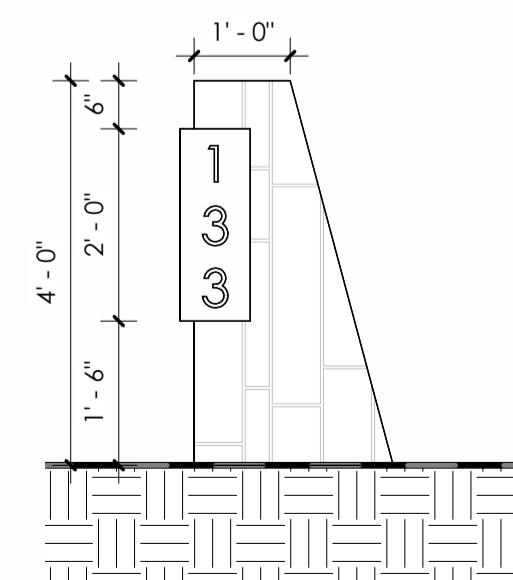
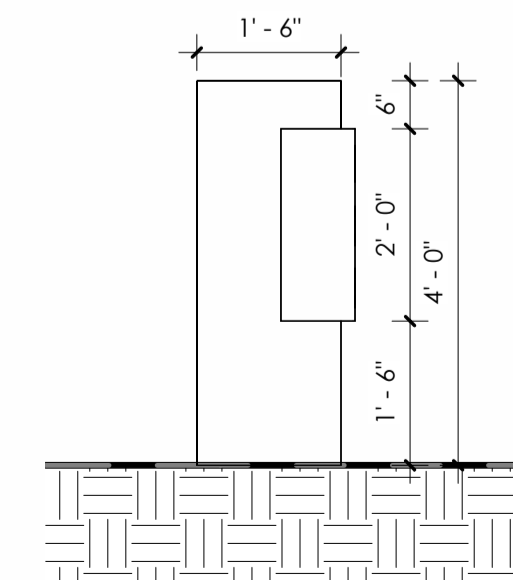


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**1** Entrance Perspectives  
SCALE

ADDRESS MARKER DIMENSIOND TO COMPLY WITH TELLURIDE FIRE DISTRICT



**3** Address Marker 2  
SCALE 0 1 2 1/2" = 1'-0"

**2** Address Marker 1  
SCALE 0 1 2 1/2" = 1'-0"

**Submissions**

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
INITIAL DR82	23.10.09

*[Signature]*  
Sundance

Mountain Village, CO  
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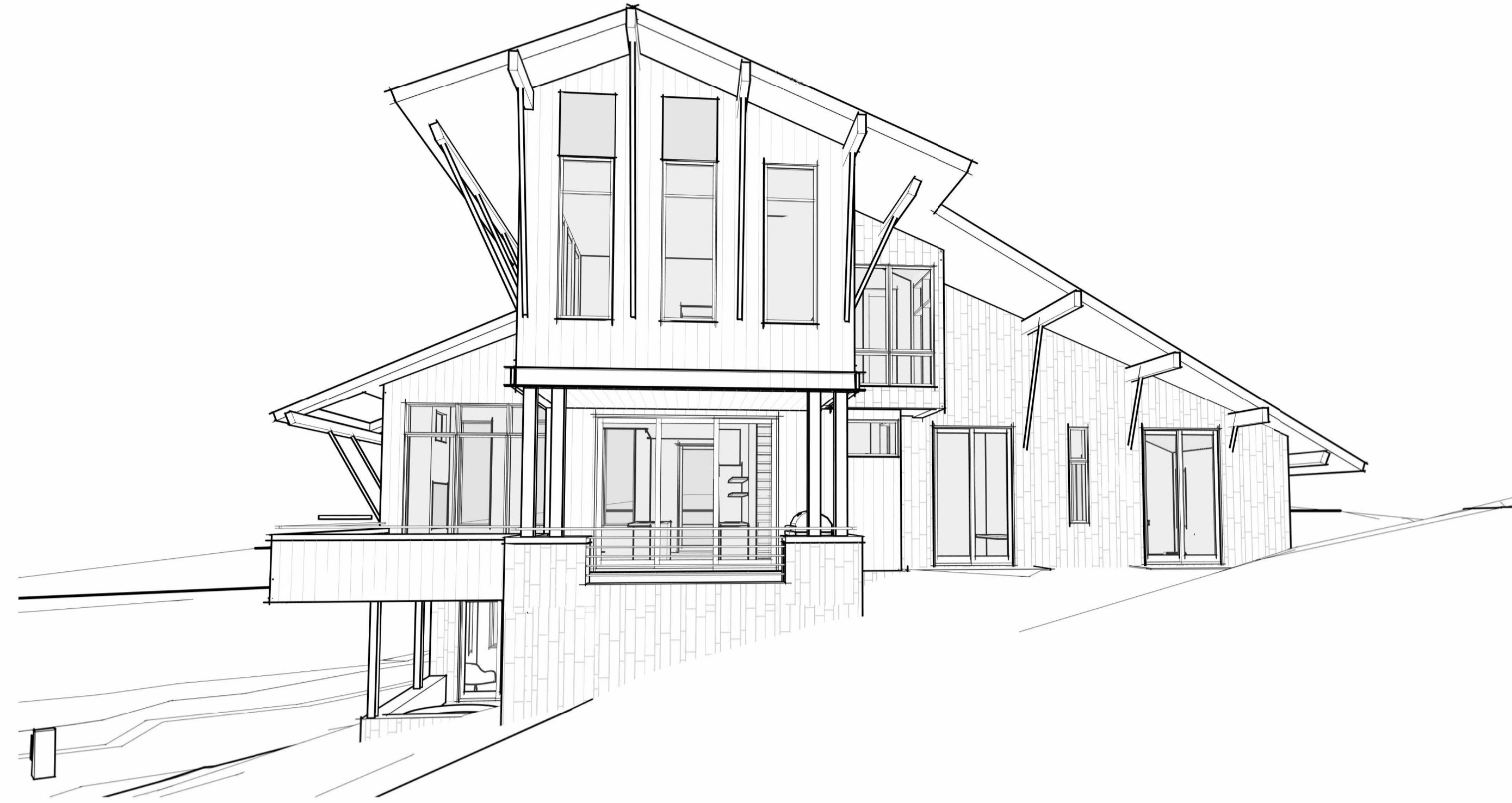
Entrance Perspectives

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**A0.9**



1 North 1



2 North 2



3 South 1



4 South 2

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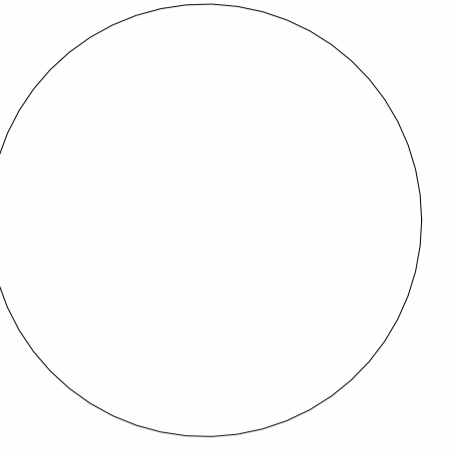
*133*  
*Sundance*

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Ground-Level  
Exterior  
Perspectives

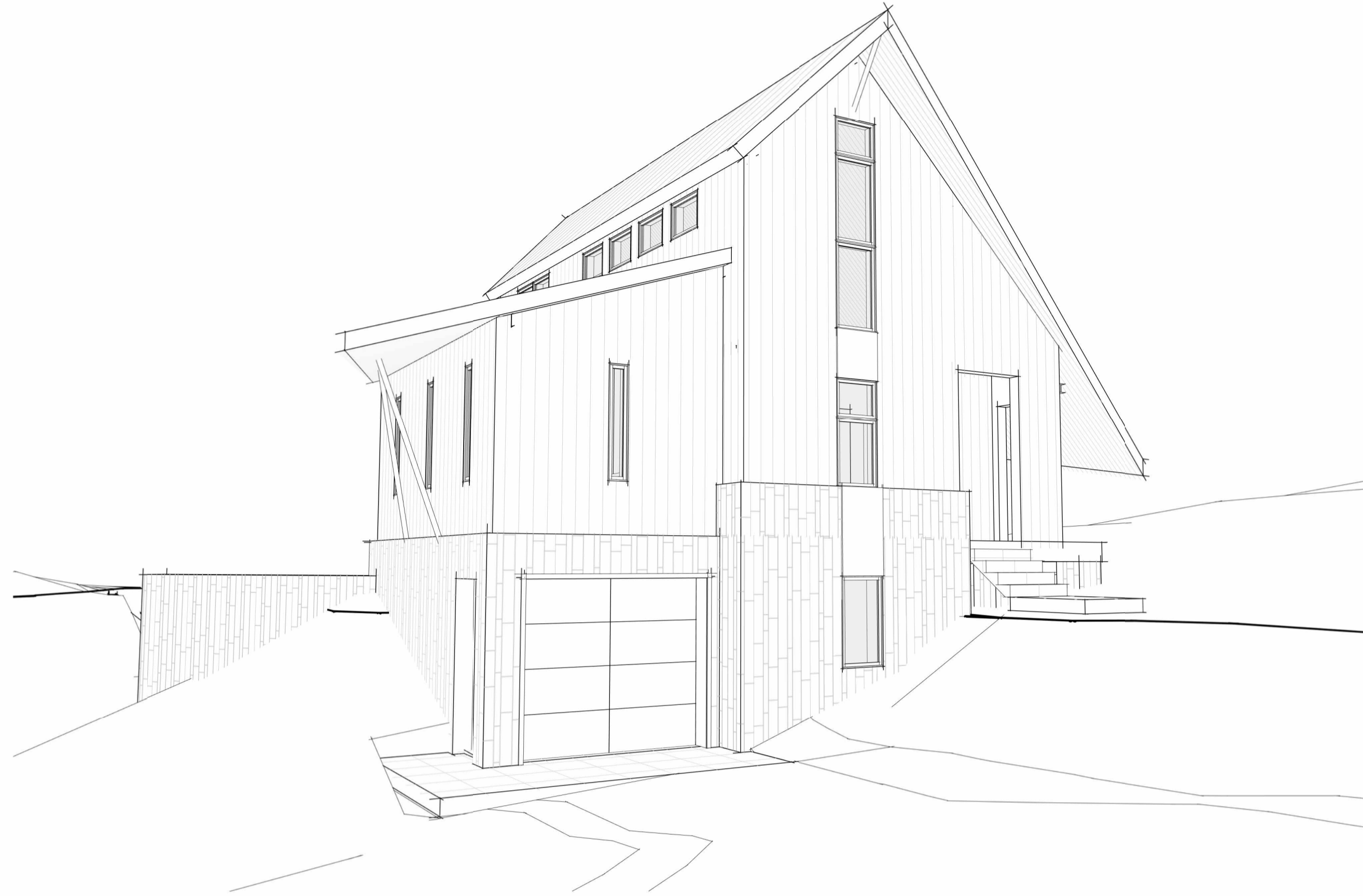
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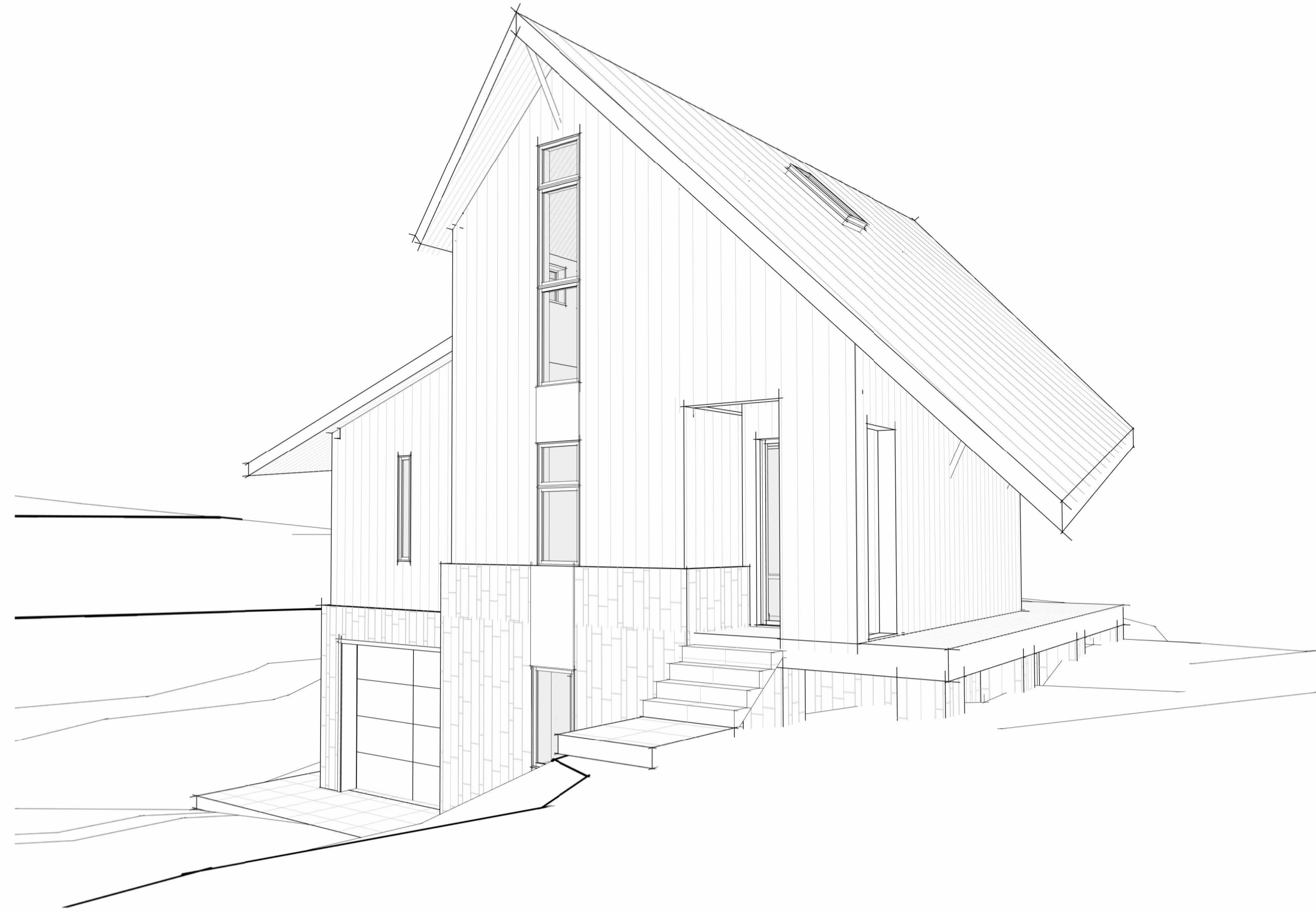


**Submissions**

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW	23.07.21
INITIAL DRB2	23.10.09



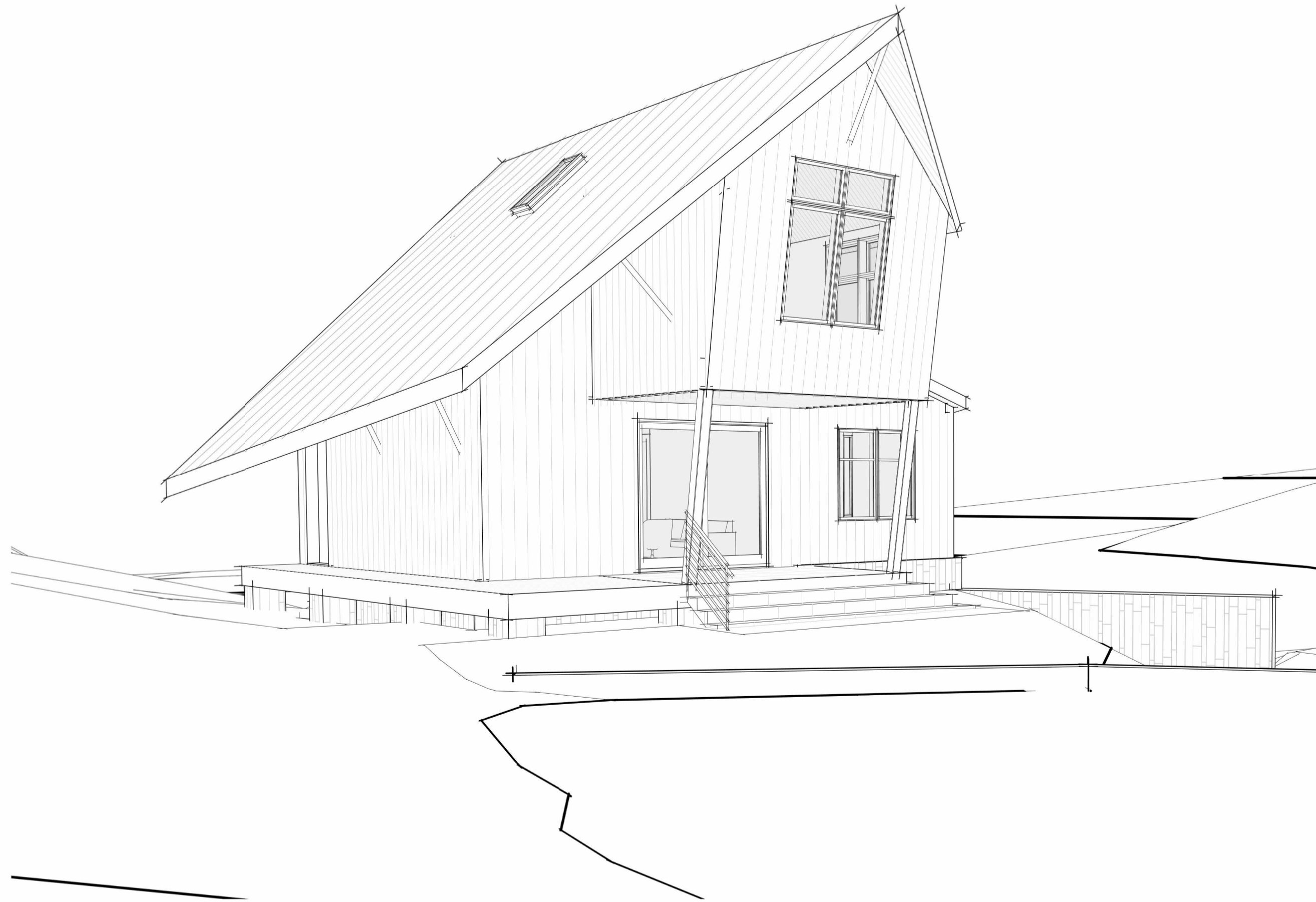
**1** Ski Shack - East 2  
SCALE



**2** Ski Shack - North 2  
SCALE



**3** Ski Shack - South 2  
SCALE



**4** Ski Shack - West 2  
SCALE

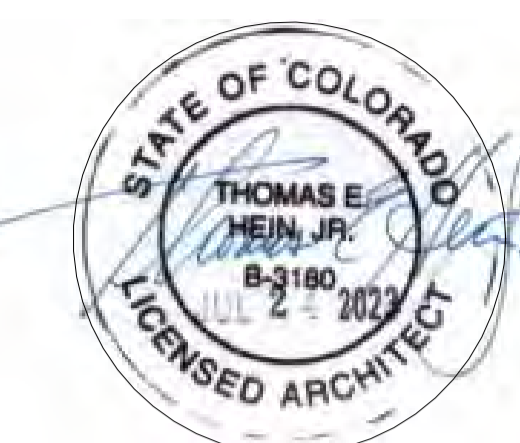
*SKI Shack*

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Perspectives -  
Ski Shack

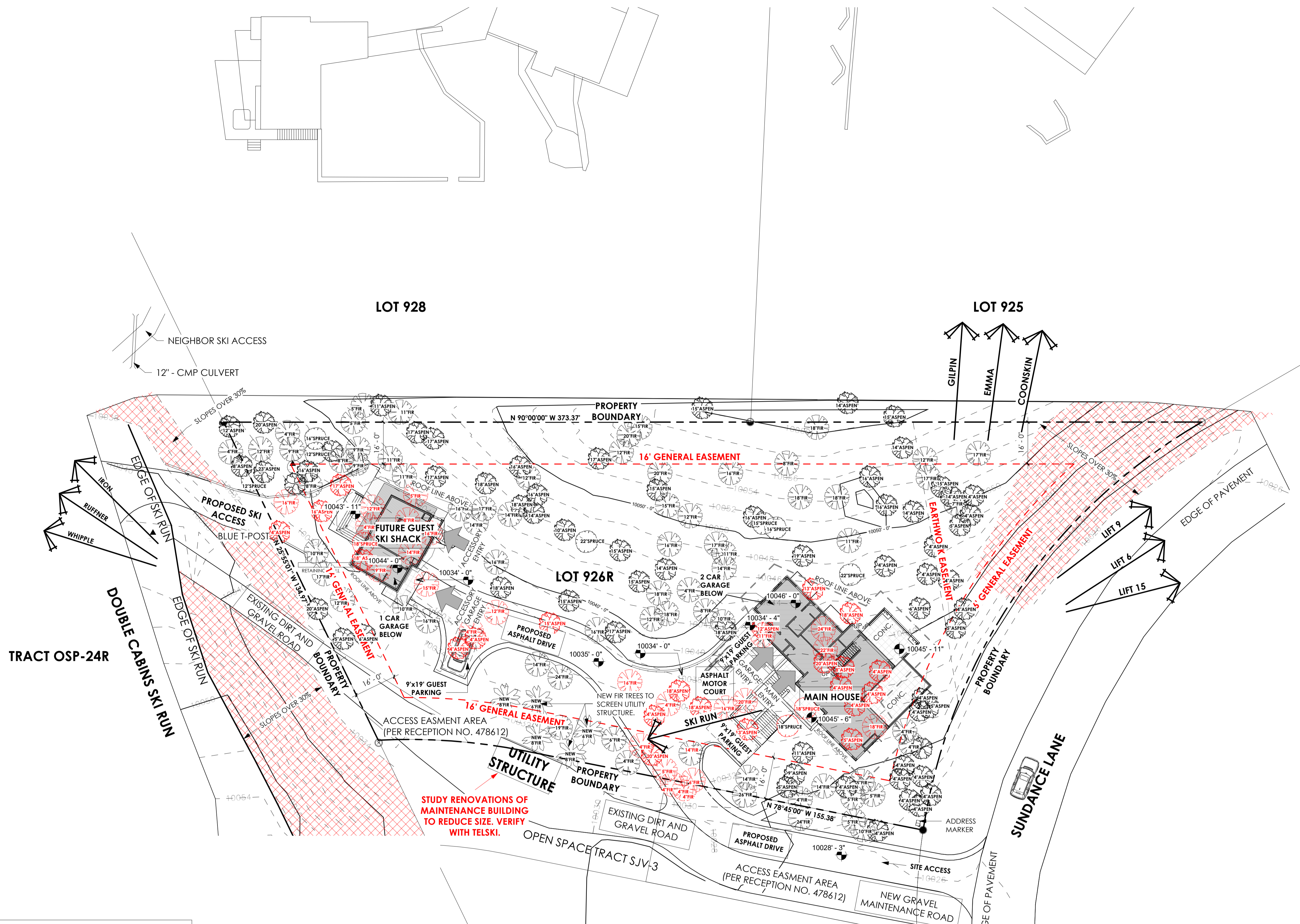
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**A0.11**



**Submissions**

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
INITIAL DRB2	23.10.09



**GENERAL NOTES:**

1. ANY SIGN WILL COMPLY WITH THE SIGN CODE AND IS SUBJECT TO OBTAINING A SIGN PERMIT.
2. EXISTING RIGHT OF WAY IMPROVEMENTS MUST BE PROTECTED. IF DAMAGE OCCURS, IT MUST BE REPAIRED PRIOR TO C.O.
3. CONTRACTOR TO CONFIRM WATER AND WASTEWATER MAIN LINE ELEVATIONS AND VERIFY THEIR SIZE, LOCATIONS AND SUITABILITY.
4. GUTTERS, DOWNSPOUTS AND VALLEYS TO BE HEATED.

**SHORING AND LAYBACK NOTES:**

1. LAYBACK REQUIREMENTS FOUND IN SOILS REPORT TO TAKE PRECEDENT OVER OSHA DIAGRAM.
2. NEIGHBOR AGREEMENT REQUIRED TO LAYBACK INTO NEIGHBORING PROPERTY.
3. SHORING AT WELLS TO BE LOCATED SO AS NOT TO INFRINGE ON WELL OR WITHIN 2' OF PROPERTY LINE.

**REVEGETATION NOTES:**

1. SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REVEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTO-TILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN TEN DAYS) TO MINIMIZE EROSION AND WEEDS.
4. AREAS WHICH HAVE BEEN COMPACTED, OR ARE RELATIVELY UNDISTURBED, NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED. BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING.
5. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDING AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY AND 2 TONS PER ACRE FOR STRAW, CRIMP IN.
6. ON SLOPES GREATER THAN 3:1 EROSION CONTROL FABRIC (NON-PLASTIC AND CONSIST ENTIRELY OF JUTE/COIR AND STRAW ONLY) SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
7. ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
8. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 POUNDS PER ACRE:

**SNOW RETENTION & DRAINAGE NOTES:**

1. ALL SNOW SHEDDING IS MITIGATED BY ROOF SNOWFENCES AND HEATED GUTTERS ROUTED TO THE SITE DRYWELLS.
2. ALL SITE DRAINAGE FOLLOWS THE NATURAL TOPOGRAPHY FROM THE NORTH TO THE SOUTH AND ROUTED TO THE EAST AND WEST DRYWELLS, TYP.
3. ALL EXISTING DRAINAGE TO BE RETAINED IN NEW WORK.
4. ANY ADDITIONAL SNOW THAT DOES NOT FIT ONSITE WILL BE TRANSPORTED OFF-SITE.

**EXTERIOR LIGHTING NOTES:**

1. SEE LIGHTING PLANS & SPEC SHEETS FOR LIGHTING CUT SHEETS, LOCATION, TYPE, AND ALL OTHER LIGHTING INFORMATION.
2. ALL EXTERIOR LIGHTING NOT TO EXCEED **40 WATT EQUIV. MAX. (TYP.)**

**1 Site Plan**

SCALE 0 4 8 12 16 1" = 20'-0"

**RED TREES TO BE REMOVED**

*133 Sundance*

Mountain Village, CO  
81435

Site &  
Landscape  
Concept Plan

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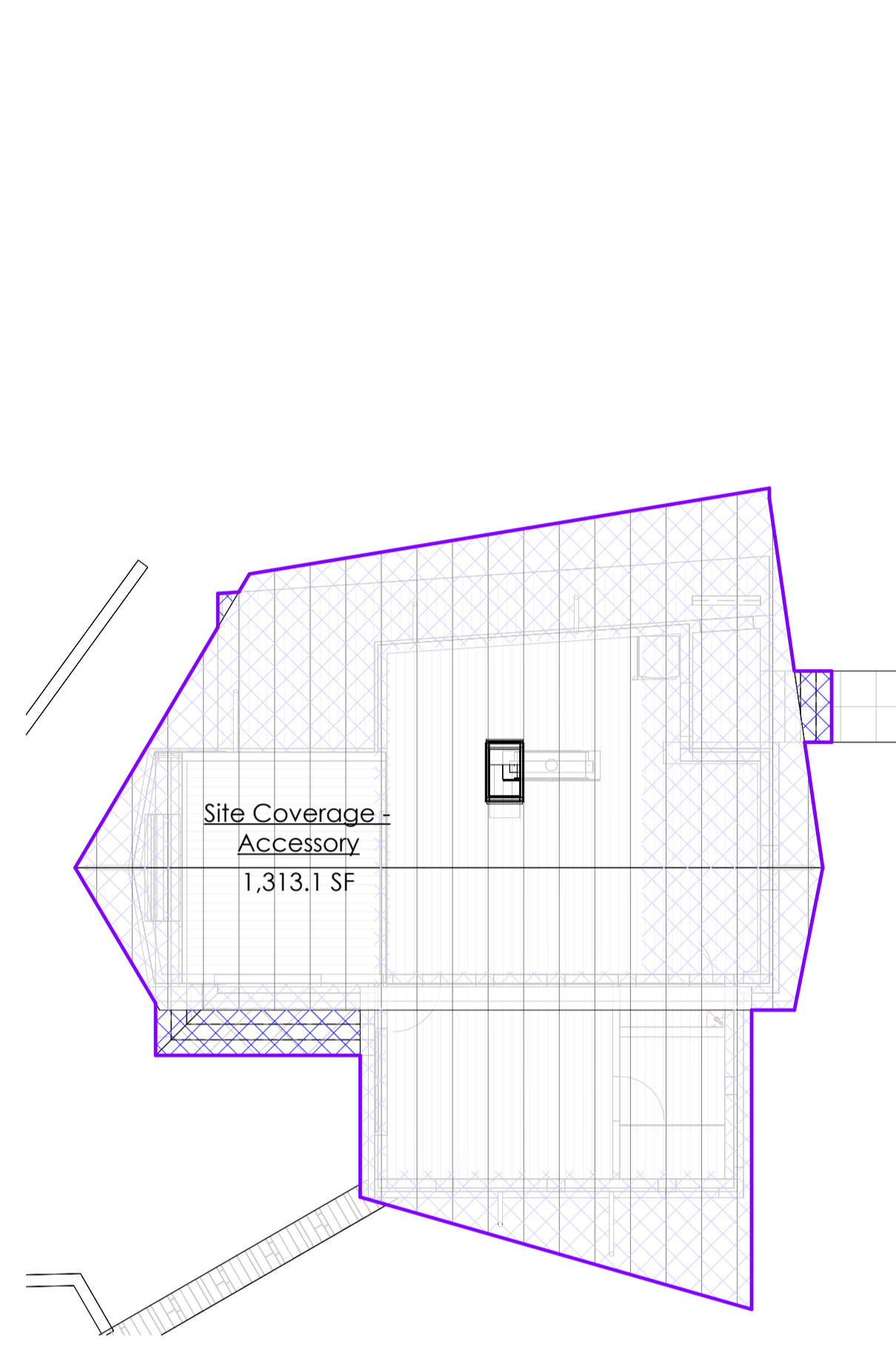
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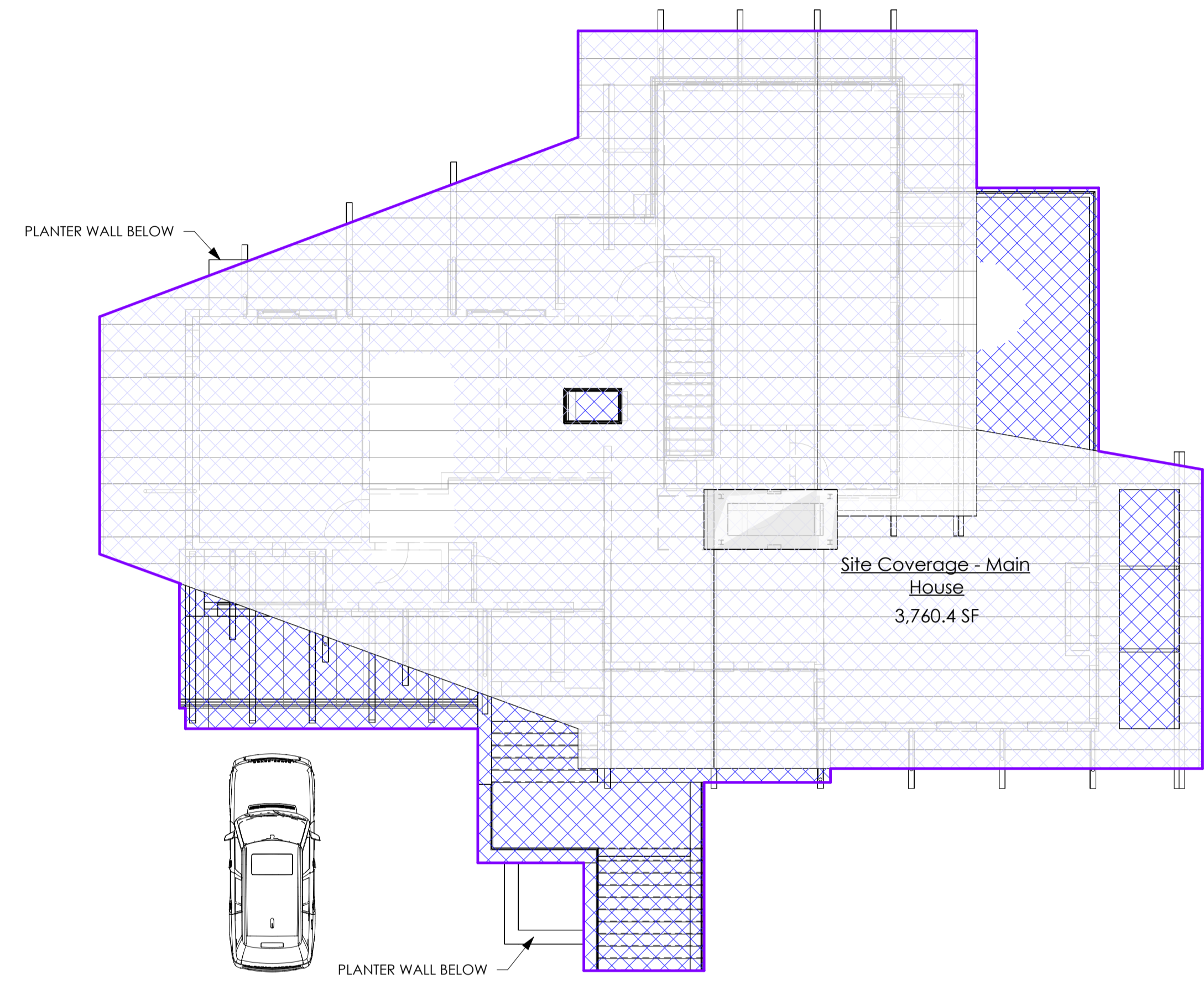
**Submissions**

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
INITIAL DR82	23.10.09



**2** Site Coverage - Accessory Building

SCALE 0 1 2 4 8 1/8" = 1'-0"



**1** Site Coverage - Main House

SCALE 0 1 2 4 8 1/8" = 1'-0"

**SITE COVERAGE AREA SUMMARY**

**MAX SITE COVERAGE ALLOWED = 40% OF LOT AREA (SINGLE FAMILY LOTS < ONE ACRE)**

**LOT AREA = 37,374.5 SF**

**40% OF LOT AREA = 14,949.8 SF ALLOWABLE**

Name	Area
Site Coverage - Main House	3,760.4 SF
Site Coverage - Accessory	1,313.1 SF
<b>Total</b>	<b>5,073.5 SF</b>

**PROPOSED SITE COVERAGE = 5,073.5 SF -OR- 13.6%. (THIS IS 9,876.3 SF -OR- 26.4% LESS THAN THE MAX ALLOWABLE)**

**CDC SITE COVERAGE DEFINITION**

THE TOTAL HORIZONTAL AREA OF ANY BUILDING, CARPORT, PORTE-COCHERE OR ARCADE AND SHALL ALSO INCLUDE WALKWAYS, ROOF OVERHANGS, EAVES, EXTERIOR STAIRS, DECKS, COVERED PORCHES, TERRACES AND PATIOS.

SUCH HORIZONTAL MEASUREMENT SHALL BE FROM THE DRIP LINES OF BUILDINGS AND FROM THE EXTERIOR SURFACE OF THE TOTAL WALL ASSEMBLY

NOTE: ALL AREAS ARE TAKEN FROM EXTERNAL FACE OF FRAMING OR GRIDLINE.

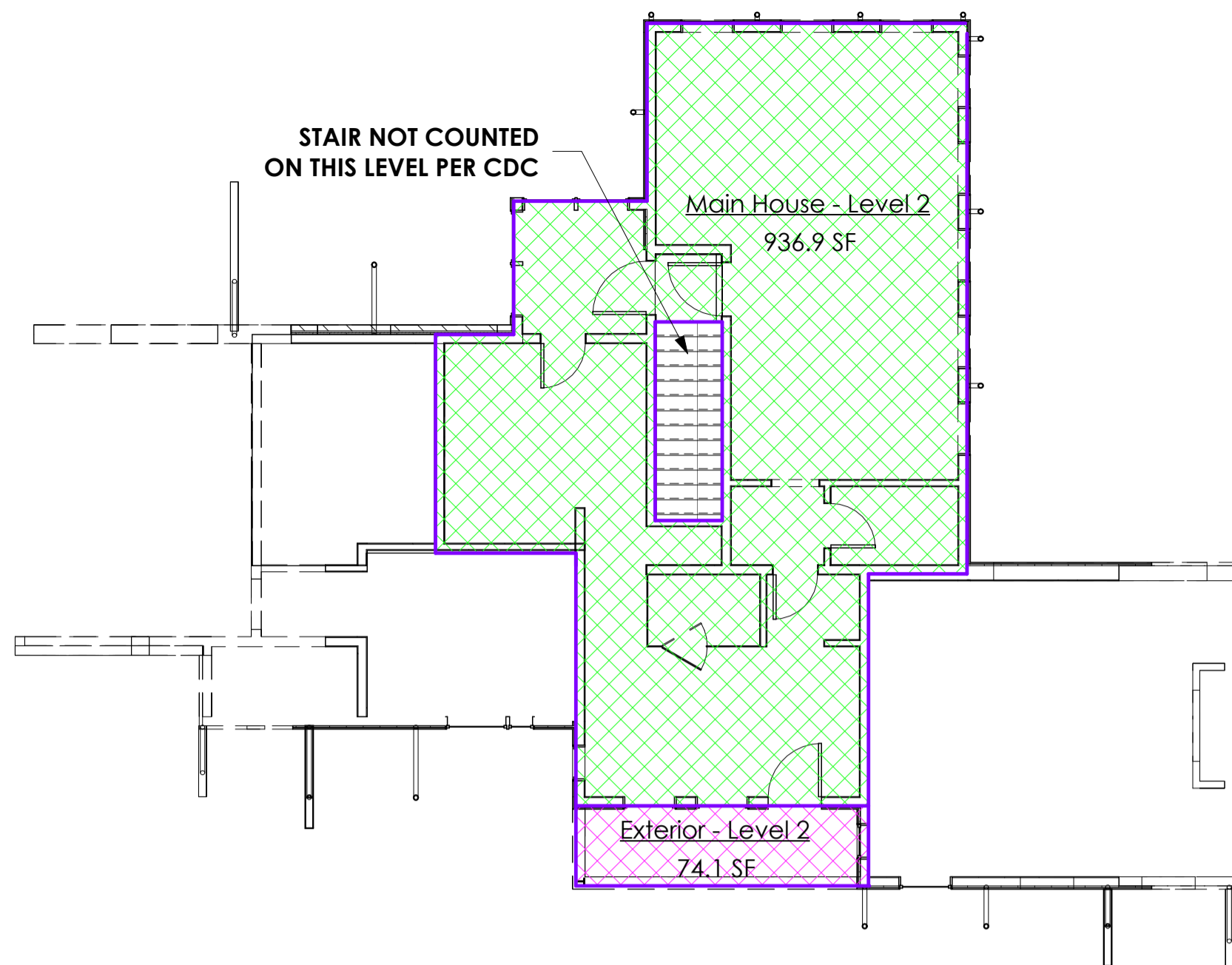
*133 Sundance*

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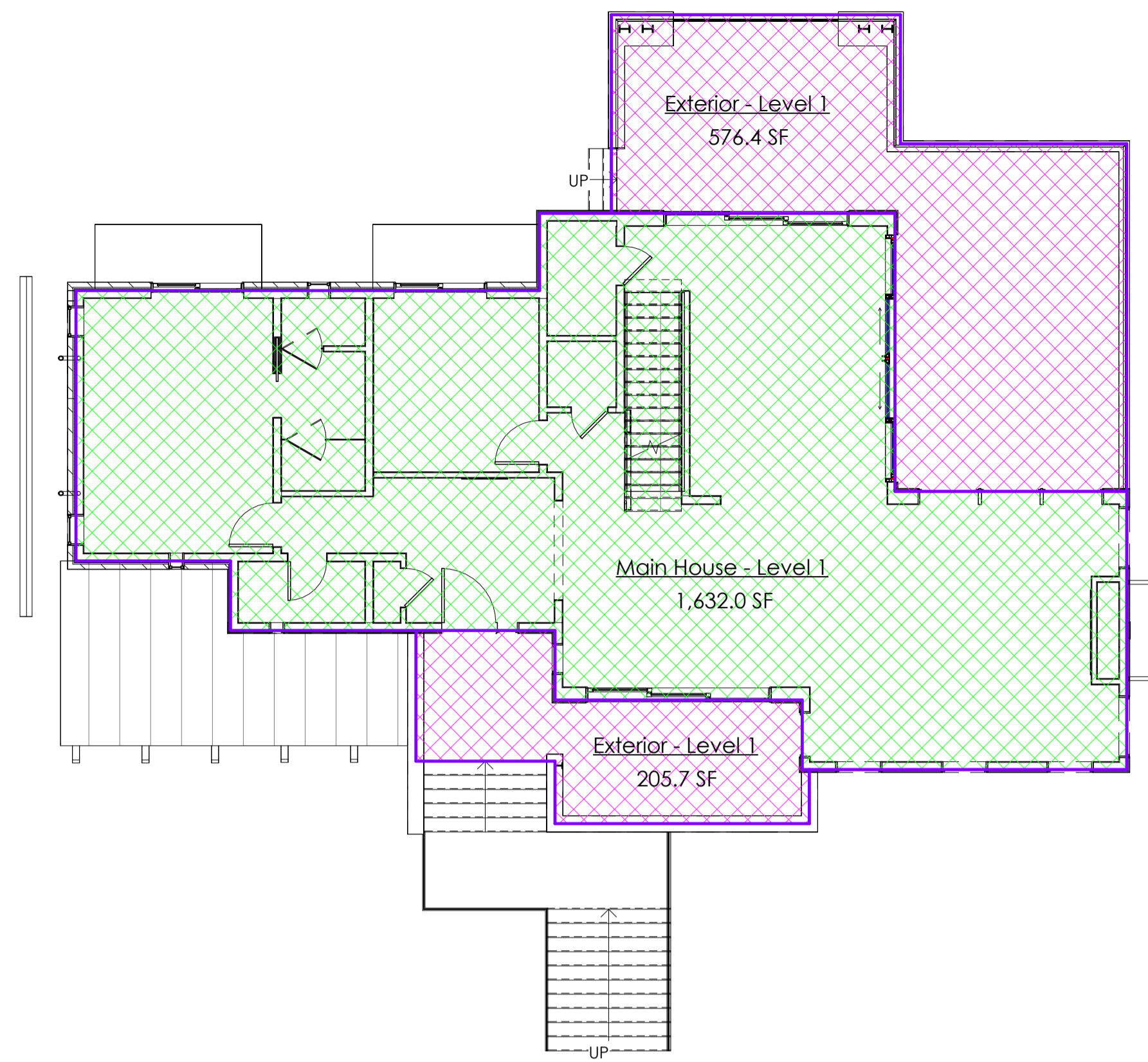
**Site Coverage**

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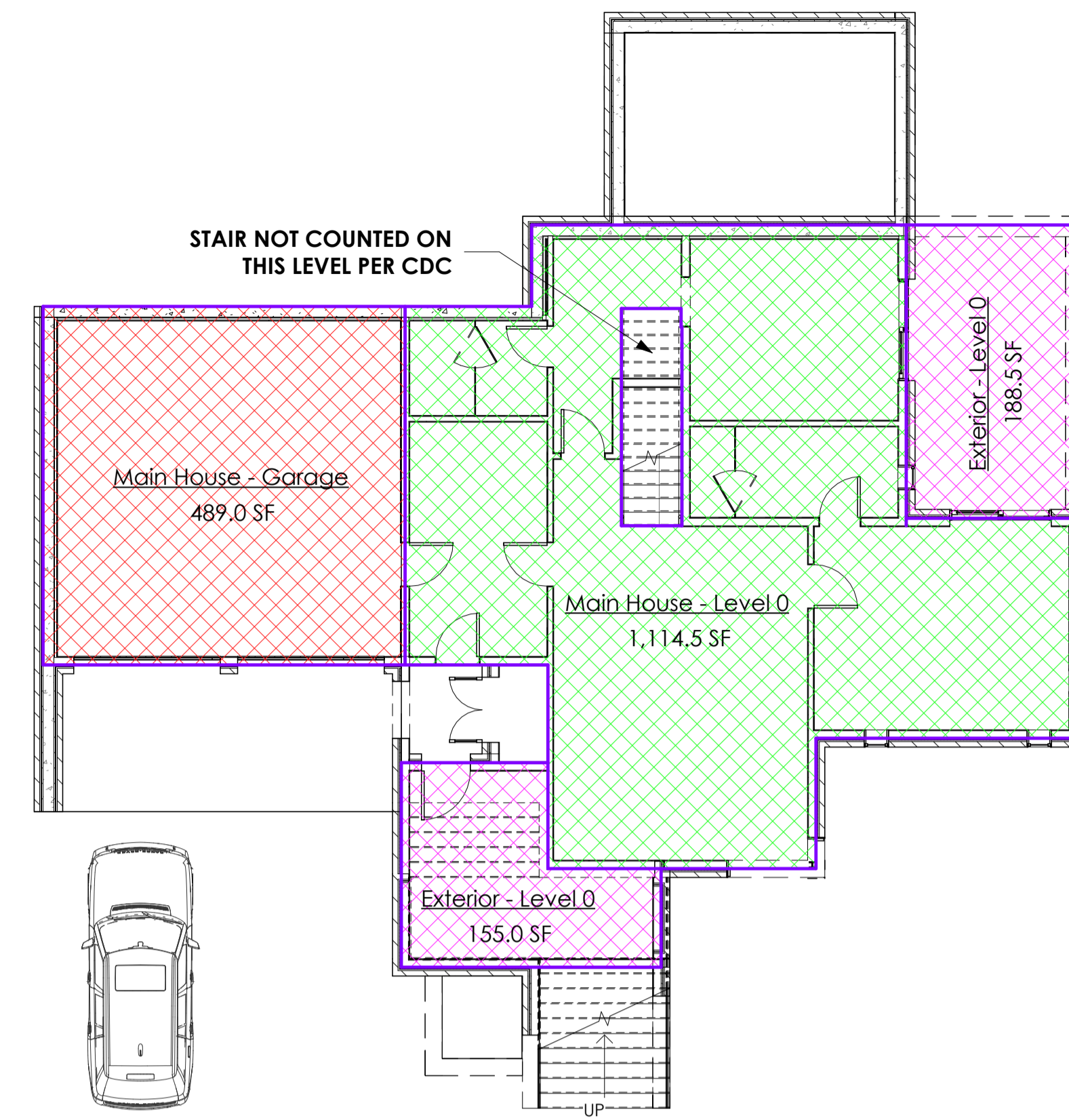
**A1.2**



**3** Level 2 - Area Plan  
SCALE 0 1 2 4 8 1/8" = 1'-0"



**2** Level 1 - Area Plan  
SCALE 0 1 2 4 8 1/8" = 1'-0"



**1** Level 0 - Area Plan  
SCALE 0 1 2 4 8 1/8" = 1'-0"

**MAIN HOUSE FLOOR AREA SUMMARY**

GROSS FLOOR AREA		
Name	Level	Area
Main House - Level 0	Level 0	1,114.5 SF
Main House - Garage	Level 0	489.0 SF
Main House - Level 1	Level 1	1,632.0 SF
Main House - Level 2	Level 2	936.9 SF
<b>Gross Floor Area Total</b>		<b>4,172.5 SF</b>

LIVABLE FLOOR AREA		
Name	Level	Area
Main House - Level 0	Level 0	1,114.5 SF
Main House - Level 1	Level 1	1,632.0 SF
Main House - Level 2	Level 2	936.9 SF
<b>Livable Floor Area Total</b>		<b>3,683.4 SF</b>

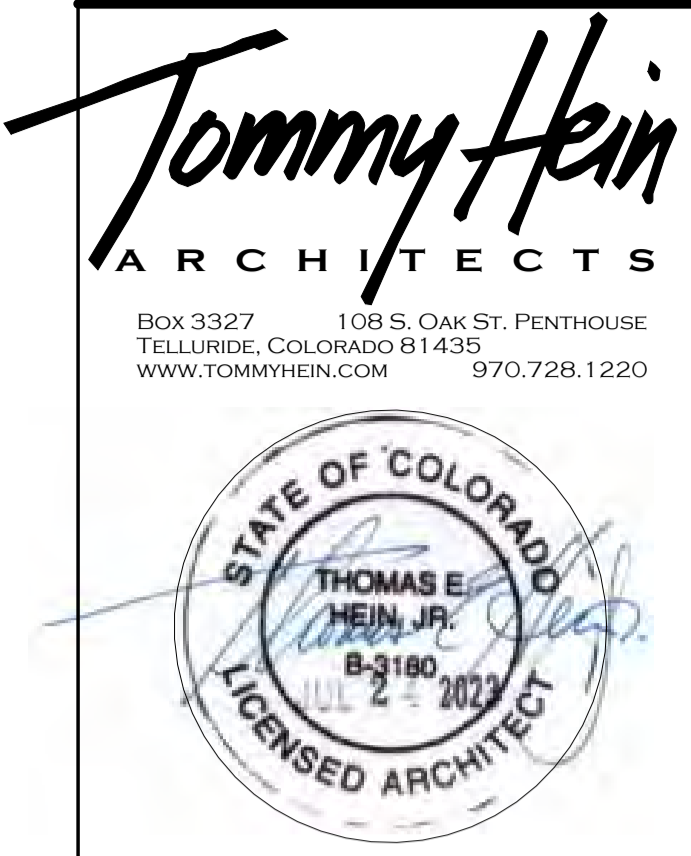
EXTERIOR FLOOR AREA		
Name	Level	Area
Exterior - Level 0	Level 0	188.5 SF
Exterior - Level 0	Level 0	155.0 SF
Exterior - Level 1	Level 1	576.4 SF
Exterior - Level 1	Level 1	205.7 SF
Exterior - Level 2	Level 2	74.1 SF
<b>Total Exterior Floor Area</b>		<b>1,199.7 SF</b>

**TOTAL PROJECT GROSS FLOOR AREA**

Name	Level	Area
Main House - Level 0	Level 0	1,114.5 SF
Main House - Garage	Level 0	489.0 SF
Ski Shack - Garage	Level 0	333.0 SF
Main House - Level 1	Level 1	1,632.0 SF
Ski Shack - Level 1	Level 1	631.5 SF
Main House - Level 2	Level 2	936.9 SF
Ski Shack - Level 2	Level 2	148.9 SF
<b>Project Total Gross Floor Area</b>		<b>5,285.9 SF</b>

NOTE: ALL AREAS ARE TAKEN FROM EXTERNAL FACE OF FRAMING OR GRIDLINE.

**MV CDC - FLOOR AREA DEFINITION**  
THE SUM OF ALL AREA(S) WITHIN THE EXTERIOR WALLS OF A BUILDING OR PORTION THEREOF, MEASURED FROM THE EXTERIOR FACES OF THE EXTERIOR WALLS, EXCLUDING THE AREA WITHIN ATTACHED OR DETACHED GARAGES AND ATTICS OR CRAWL SPACES PROVIDED THAT SUCH AREAS MEET THE FOLLOWING FLOOR AREA EXCLUSIONS.  
e. STAIRWAYS: STAIRS WITHIN A DWELLING UNIT SHALL ONLY BE COUNTED ON EVERY OTHER LEVEL.



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**Submissions**

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
INITIAL DR82	23.10.09

*133 Sundance*

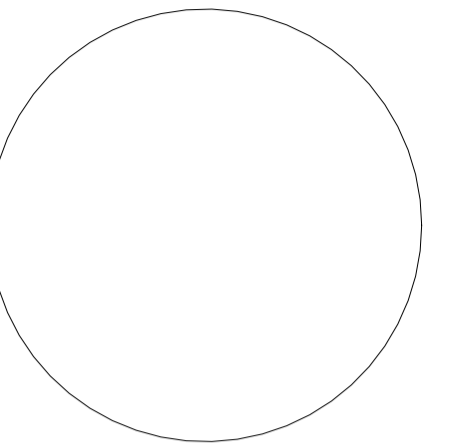
Mountain Village, CO  
81435

**Floor Area Calculations - Main House**

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

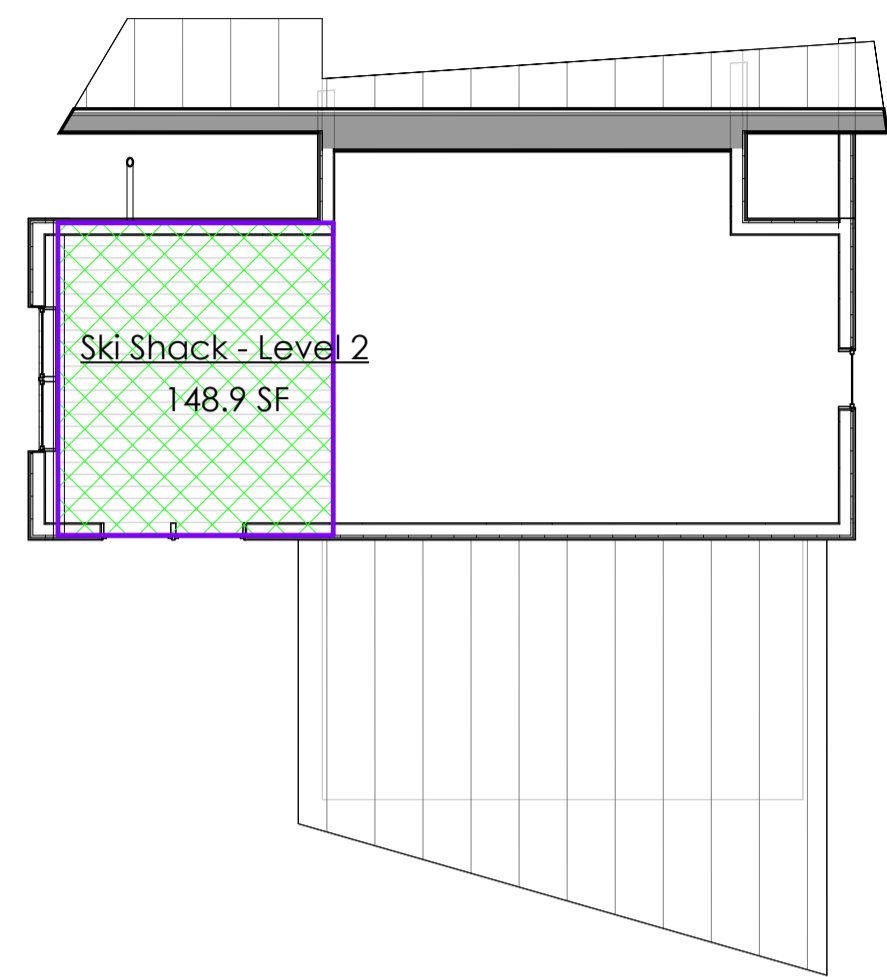
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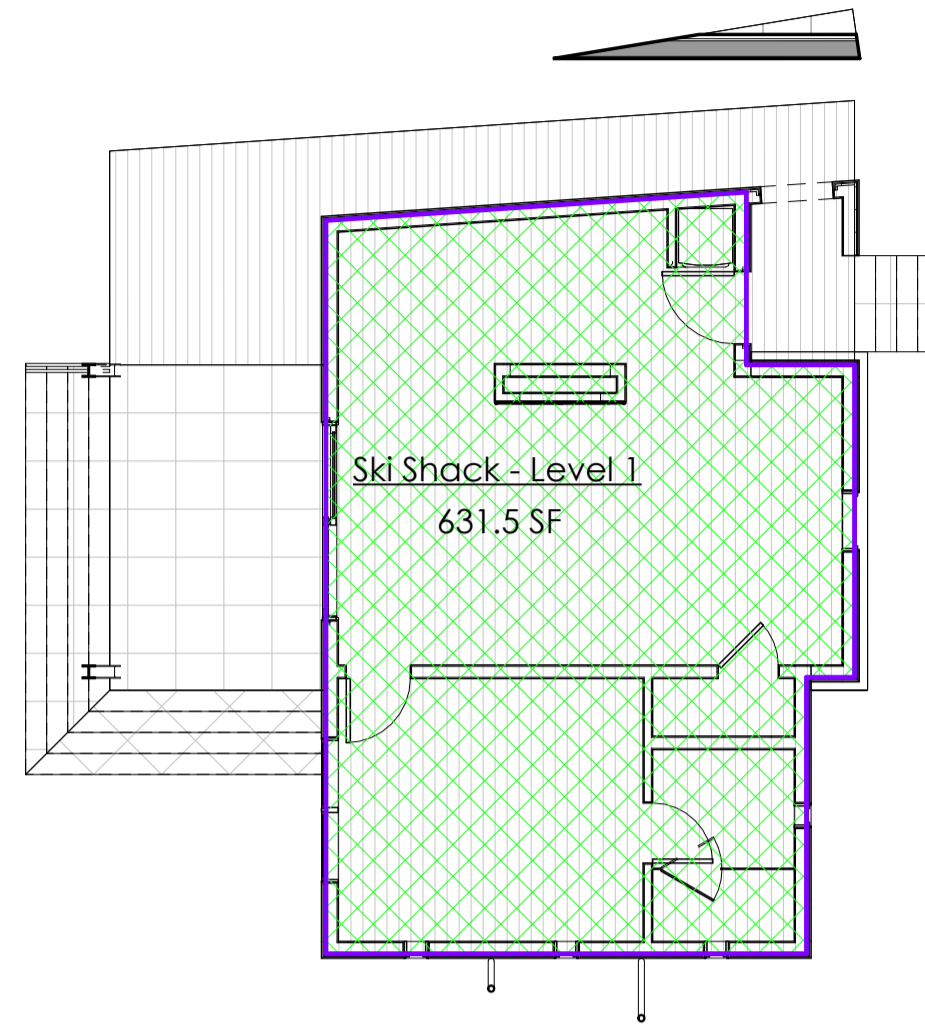


**Submissions**

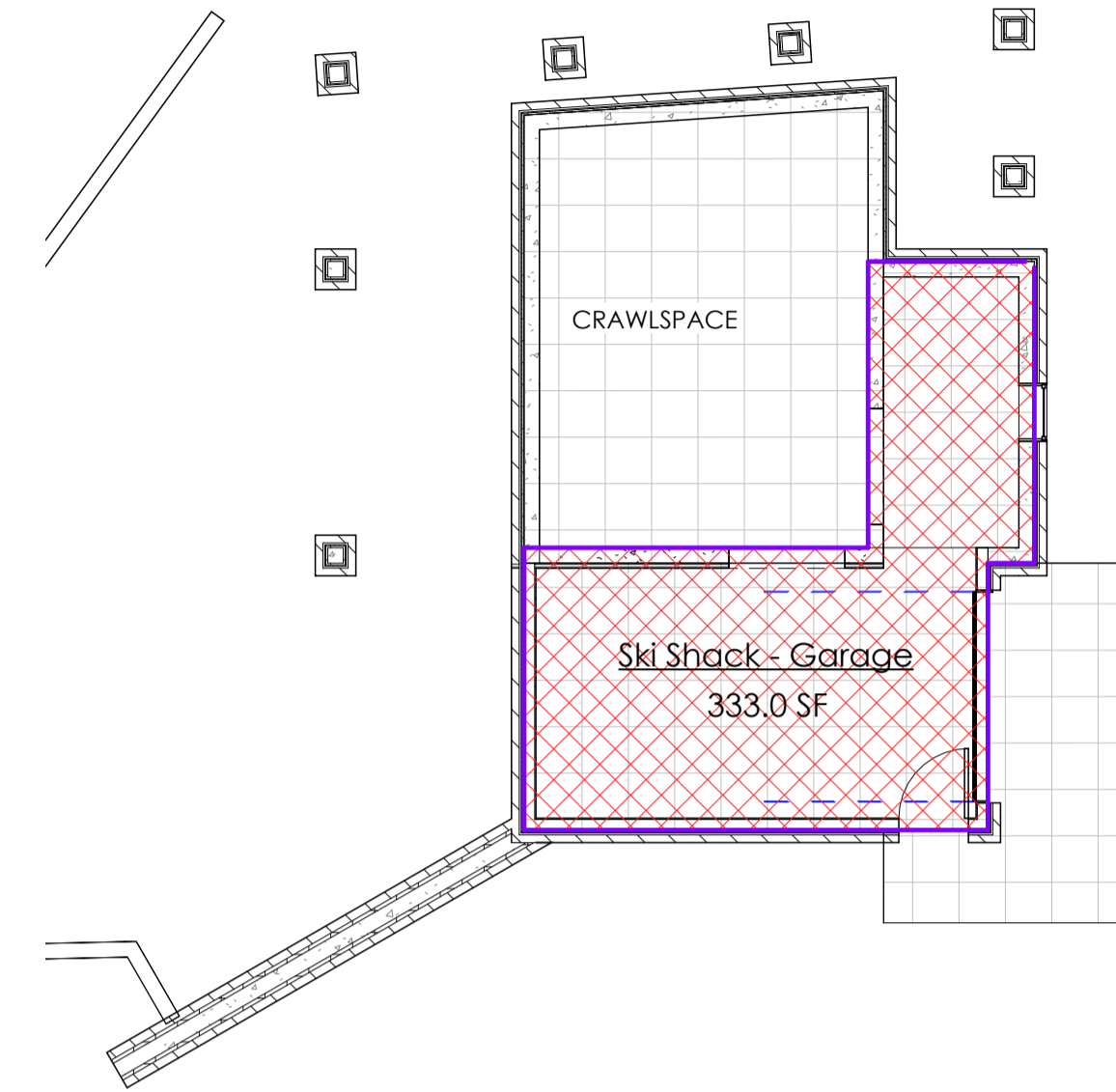
INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW	23.07.21
INITIAL DRB2	23.10.09



**3** Level 2 - Ski Shack Area Plan  
SCALE 0 1 2 4 8 1/8" = 1'-0"



**2** Level 1 -Ski Shack Area Plan  
SCALE 0 1 2 4 8 1/8" = 1'-0"



**1** Level 0 - Ski Shack Area Plan  
SCALE 0 1 2 4 8 1/8" = 1'-0"

MAIN HOUSE LIVABLE (NOT INCL. GARAGE) IS 3,900 SF.  
PER CDC Sec 17.3.4.F.5.c.i: "A maximum of eight hundred (800) square feet of floor area if the primary single-family dwelling unit on the lot is four thousand (4,000) square feet or less of floor area;"

**ACCESSORY FLOOR AREA SUMMARY**

SKI SHACK GROSS FLOOR AREA		
Name	Level	Area
Ski Shack - Garage	Level 0	333.0 SF
Ski Shack - Level 1	Level 1	631.5 SF
Ski Shack - Level 2	Level 2	148.9 SF
<b>Gross Floor Area Total</b>		<b>1,113.4 SF</b>

SKI SHACK LIVABLE FLOOR AREA		
Name	Level	Area
Ski Shack - Level 1	Level 1	631.5 SF
Ski Shack - Level 2	Level 2	148.9 SF
<b>Livable Floor Area Total</b>		<b>780.4 SF</b>

**COMPLIANT BY:** 19.6 SF

NOTE: ALL AREAS ARE TAKEN FROM EXTERNAL FACE OF FRAMING OR GRIDLINE.

**MV CDC - FLOOR AREA DEFINITION**

THE SUM OF ALL AREA(S) WITHIN THE EXTERIOR WALLS OF A BUILDING OR PORTION THEREOF, MEASURED FROM THE EXTERIOR FACES OF THE EXTERIOR WALLS, EXCLUDING THE AREA WITHIN ATTACHED OR DETACHED GARAGES AND ATTICS OR CRAWL SPACES PROVIDED THAT SUCH AREAS MEET THE FOLLOWING FLOOR AREA EXCLUSIONS.  
e. STAIRWAYS: STAIRS WITHIN A DWELLING UNIT SHALL ONLY BE COUNTED ON EVERY OTHER LEVEL.

*SKI Shack*

Mountain Village, CO  
81435

Floor Area Calculations - Ski Shack

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**A1.4**



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**Submissions**

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INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
INITIAL DRB2	23.10.09

*133 Sundance*

Mountain Village, CO  
81435

**Main - Building Height Calcs.**

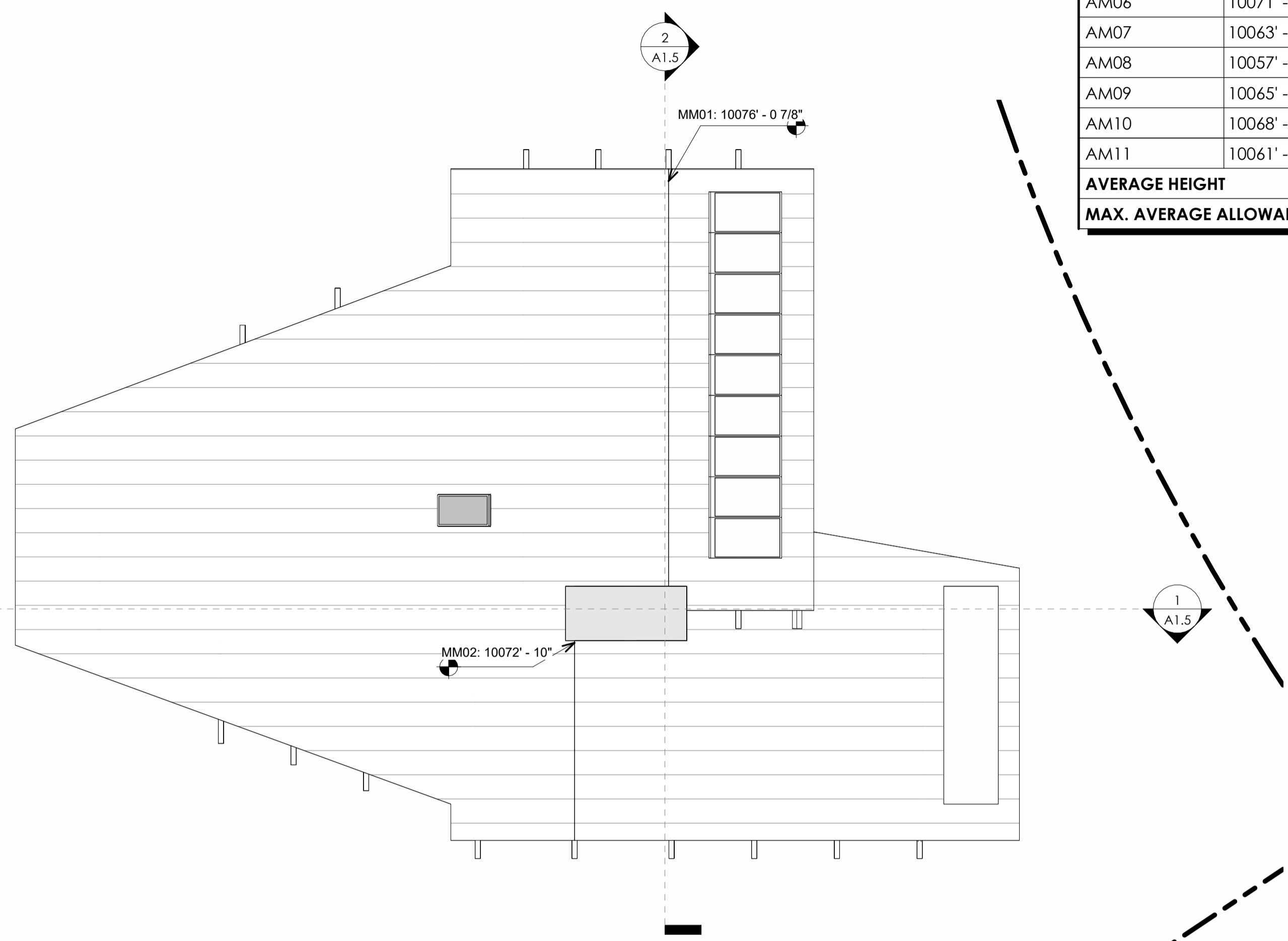
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**A1.5**

MAXIMUM ROOF HEIGHT CALCULATIONS - MAIN HOUSE					
ROOF POINT #	ROOF POINT ELEVATION	NATURAL GRADE ELEVATION	CALCULATED ROOF HEIGHT (FEET) ABOVE NATURAL GRADE	PROPOSED GRADE ELEVATION BELOW	CALCULATED ROOF HEIGHT (FEET) ABOVE FINISH GRADE
MM01	10076' - 0 7/8"	10040' - 6 5/8"	35' - 6 1/4"	10040' - 11 7/8"	35' - 1 1/4"
MM02	10072' - 10"	10037' - 7 1/2"	35' - 2 1/2"	N/A	N/A

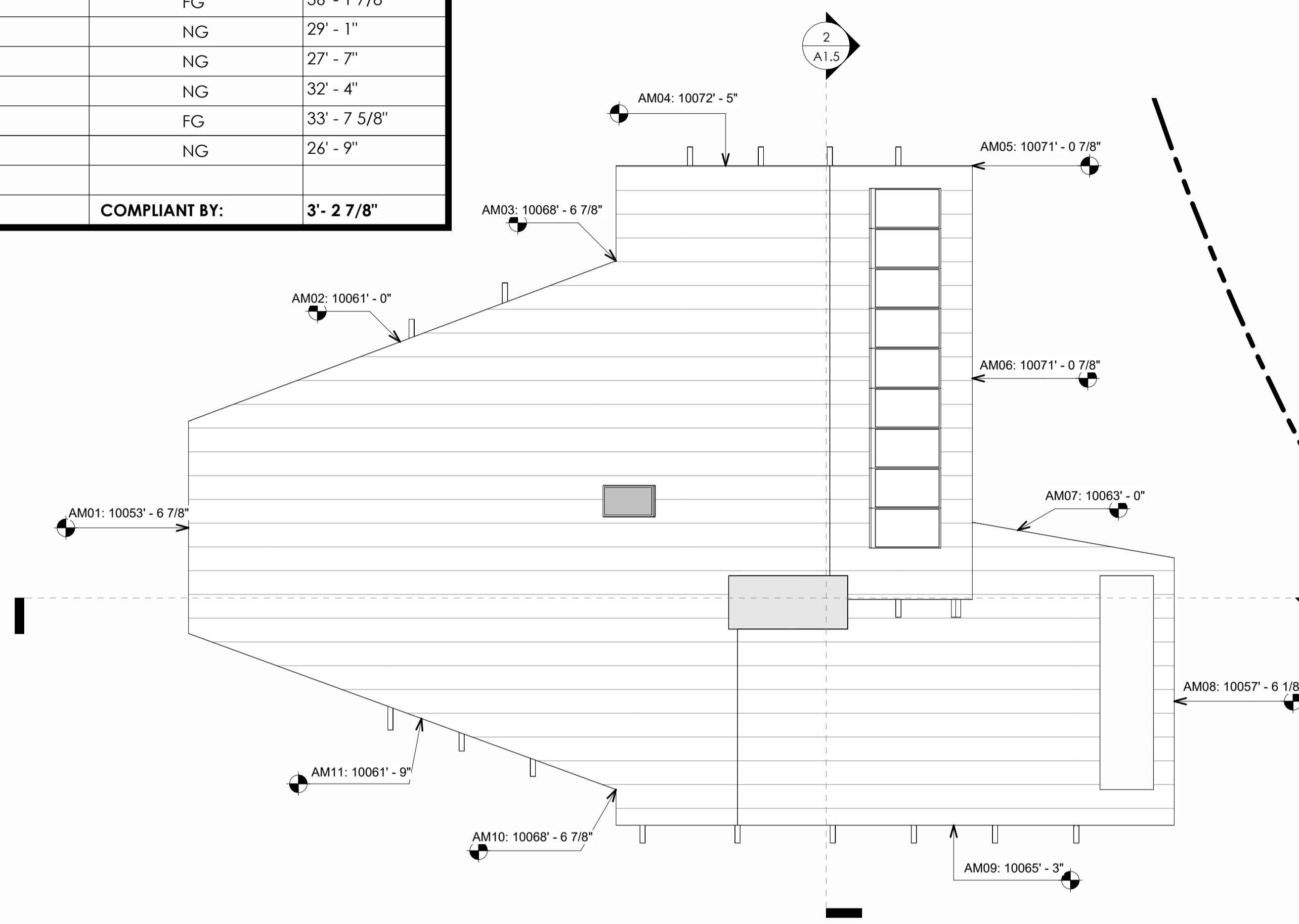
**35' + 5' = MAX. HEIGHT FOR GABLE ROOF FORMS**  
**MAX. HEIGHT 35' - 6 5/8" (MM01), THEREFORE COMPLIANT BY 4' - 5 3/8"**

AVERAGE ROOF HEIGHT CALCULATIONS - MAIN HOUSE				
ROOF POINT #	ROOF POINT ELEVATION	MOST RESTRICTIVE ELEVATION BELOW ROOF POINT	NG= NATURAL GRADE FG= FINISH GRADE	ROOF HEIGHT (FEET) ABOVE GRADE
AM01	10053' - 6 7/8"	10044' - 1 7/8"	FG	9' - 5"
AM02	10061' - 0"	10045' - 11"	NG	15' - 1"
AM03	10068' - 6 7/8"	10043' - 0 7/8"	NG	25' - 6"
AM04	10072' - 5"	10042' - 3"	NG	30' - 2"
AM05	10071' - 0 7/8"	10037' - 6 7/8"	NG	34' - 6"
AM06	10071' - 0 7/8"	10034' - 11"	FG	36' - 1 7/8"
AM07	10063' - 0"	10033' - 11"	NG	29' - 1"
AM08	10057' - 6 1/8"	10029' - 11 1/8"	NG	27' - 7"
AM09	10065' - 3"	10032' - 9"	NG	32' - 4"
AM10	10068' - 6 7/8"	10034' - 11 1/4"	FG	33' - 7 5/8"
AM11	10061' - 9"	10035' - 0"	NG	26' - 9"
<b>AVERAGE HEIGHT</b>		<b>26' - 9 1/8"</b>		
<b>MAX. AVERAGE ALLOWABLE:</b>	<b>30'</b>		<b>COMPLIANT BY:</b>	<b>3' - 2 7/8"</b>



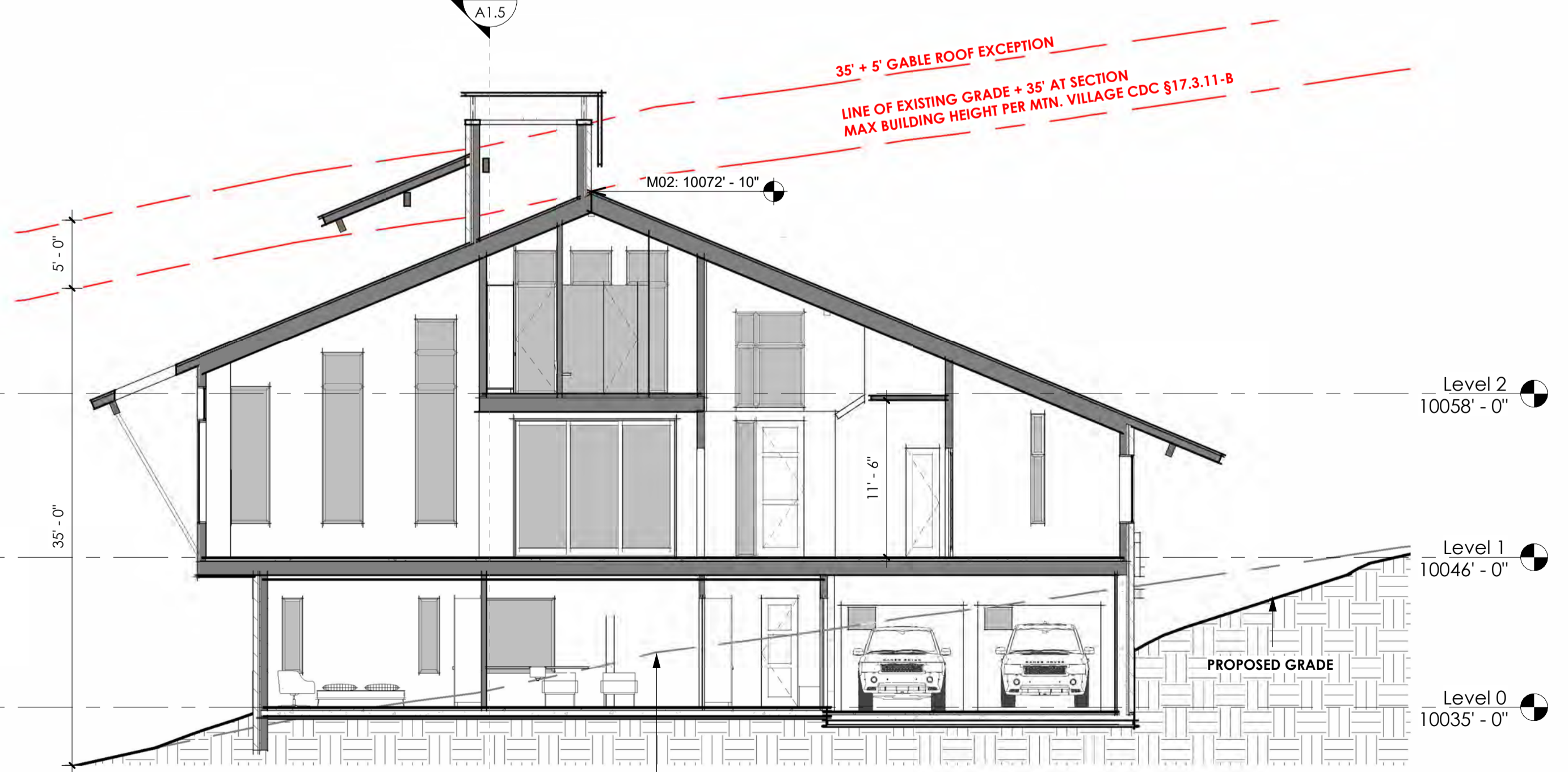
**3 Main - Maximum Roof Height Points**

SCALE 1/8" = 1'-0"



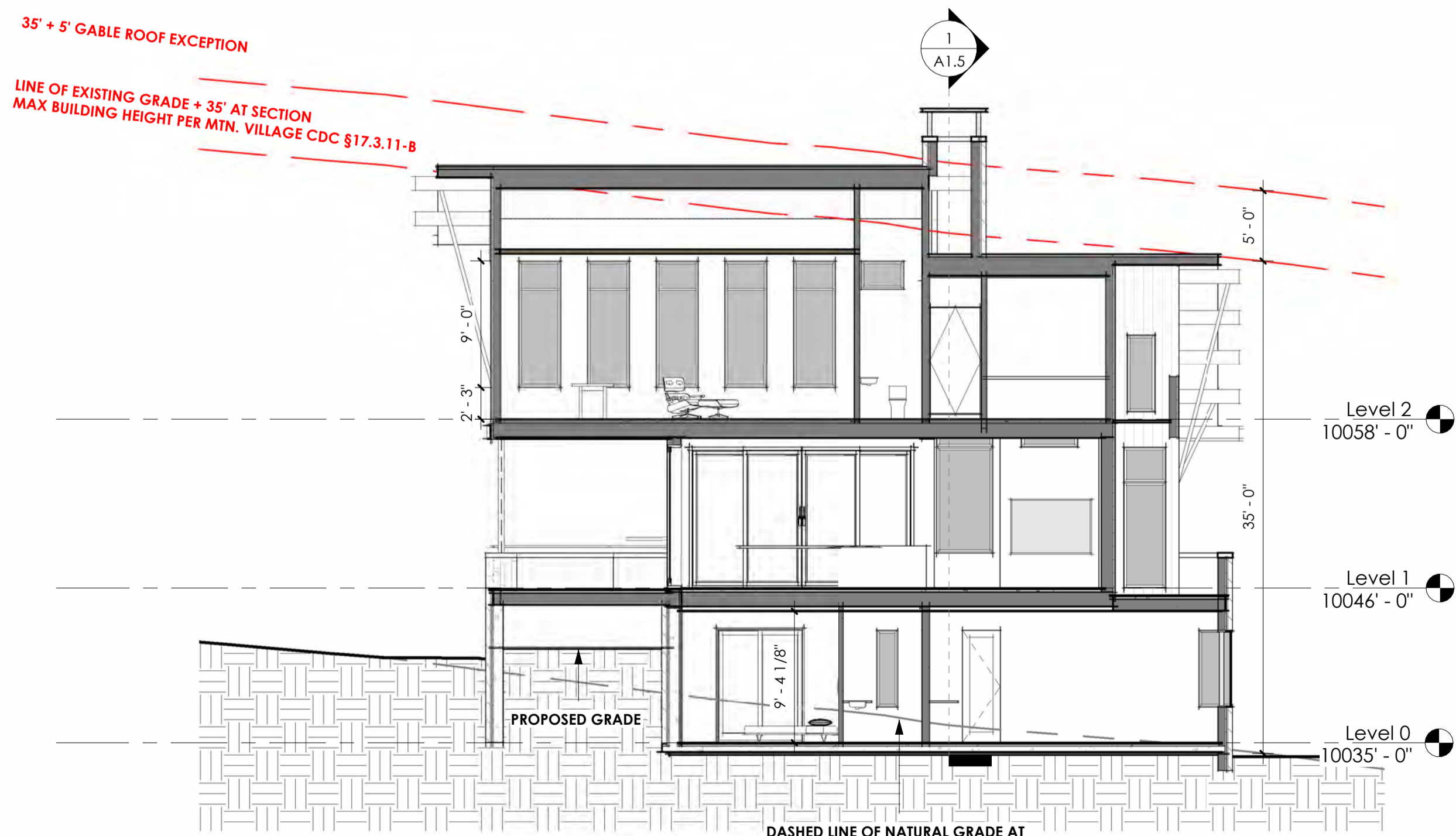
**4 Main - Average Roof Height Points**

SCALE 1/8" = 1'-0"



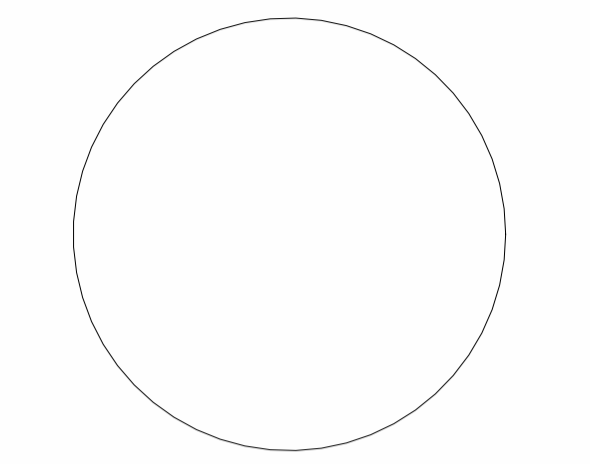
**1 Main - Height Section 1**

SCALE 1/8" = 1'-0"



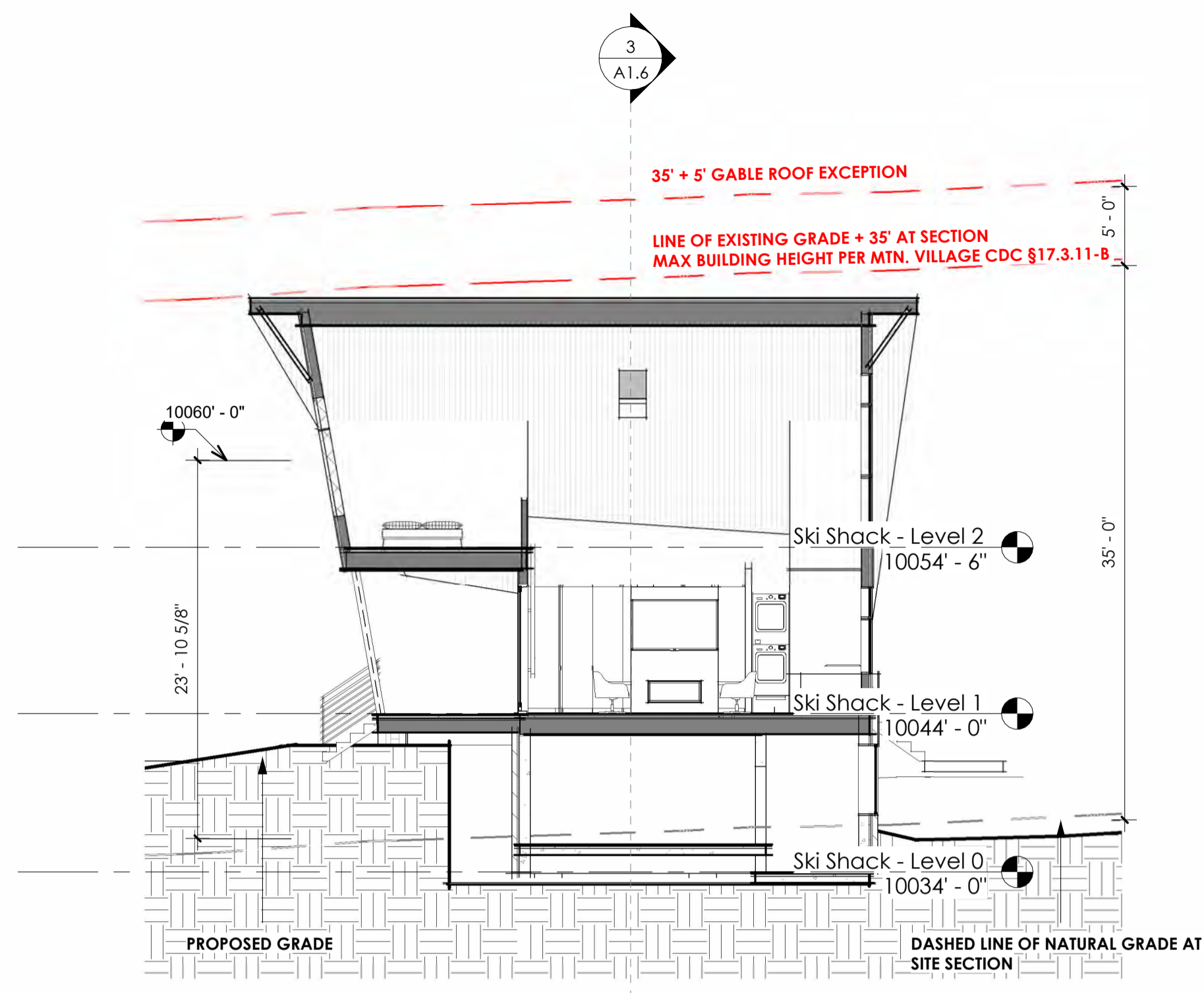
**2 Main - Height Section 2**

SCALE 1/8" = 1'-0"

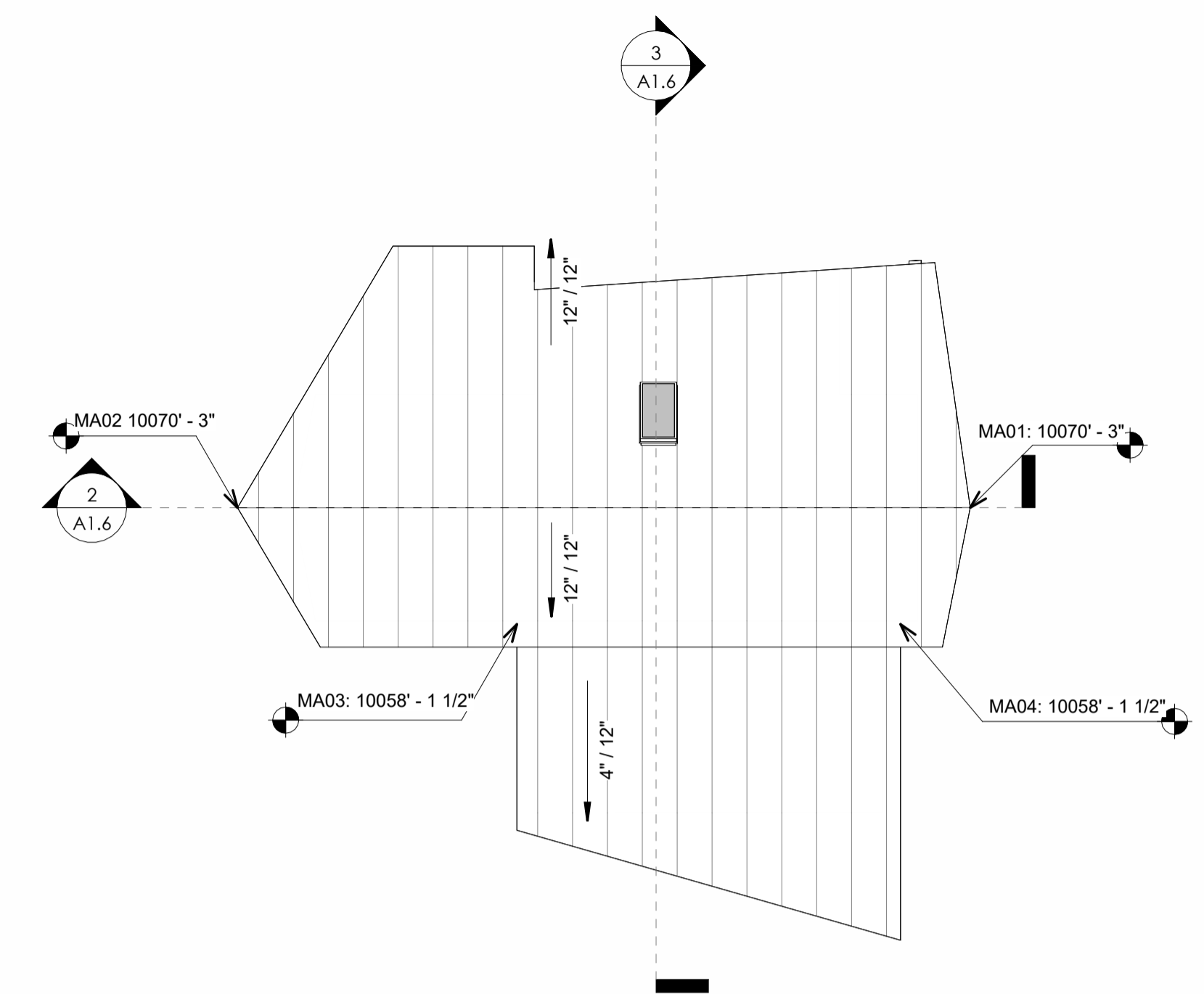


**Submissions**

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW	23.07.21
INITIAL DRB2	23.10.09



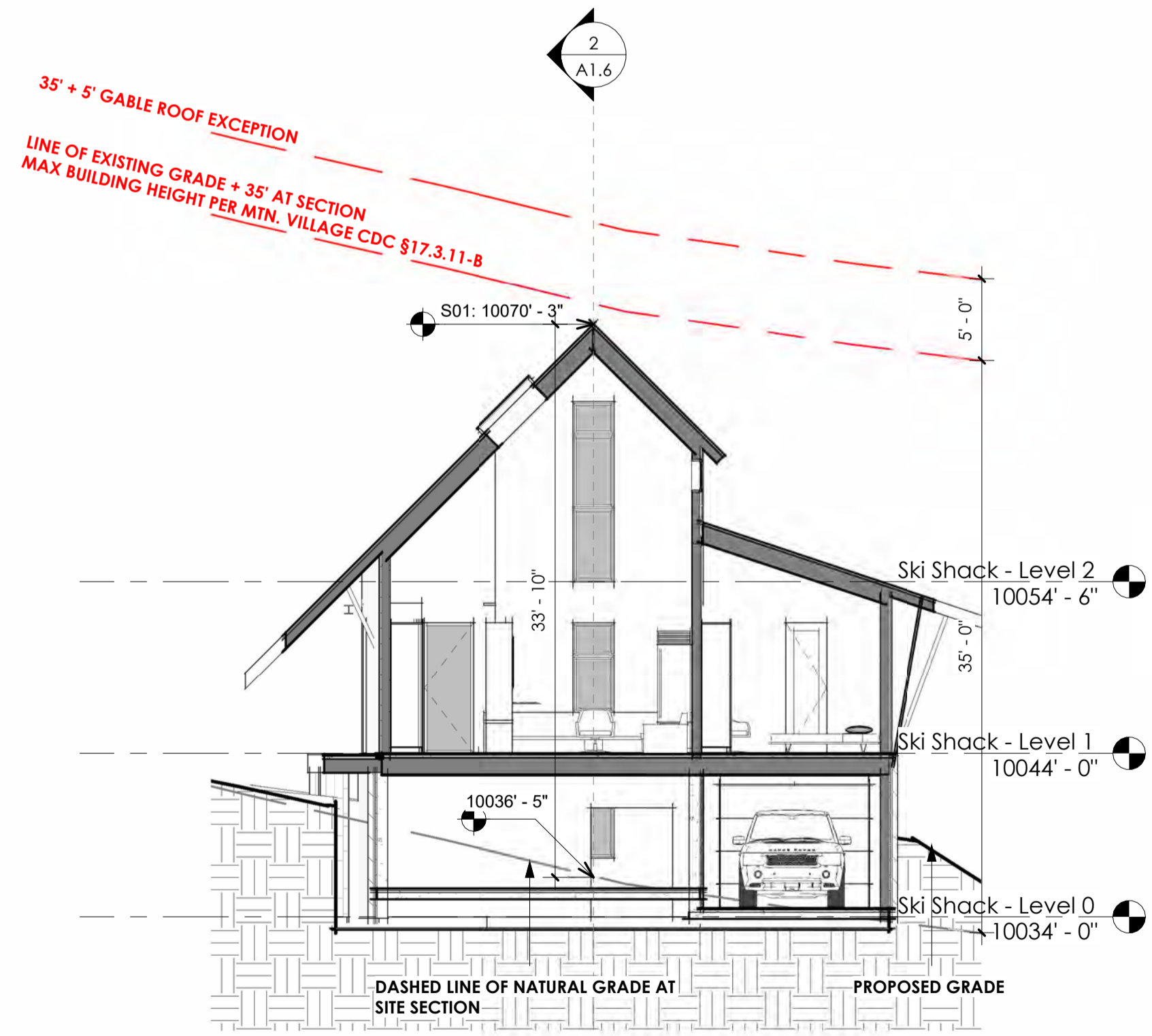
**2** Accessory - Height Section 1  
SCALE 1/8" = 1'-0"



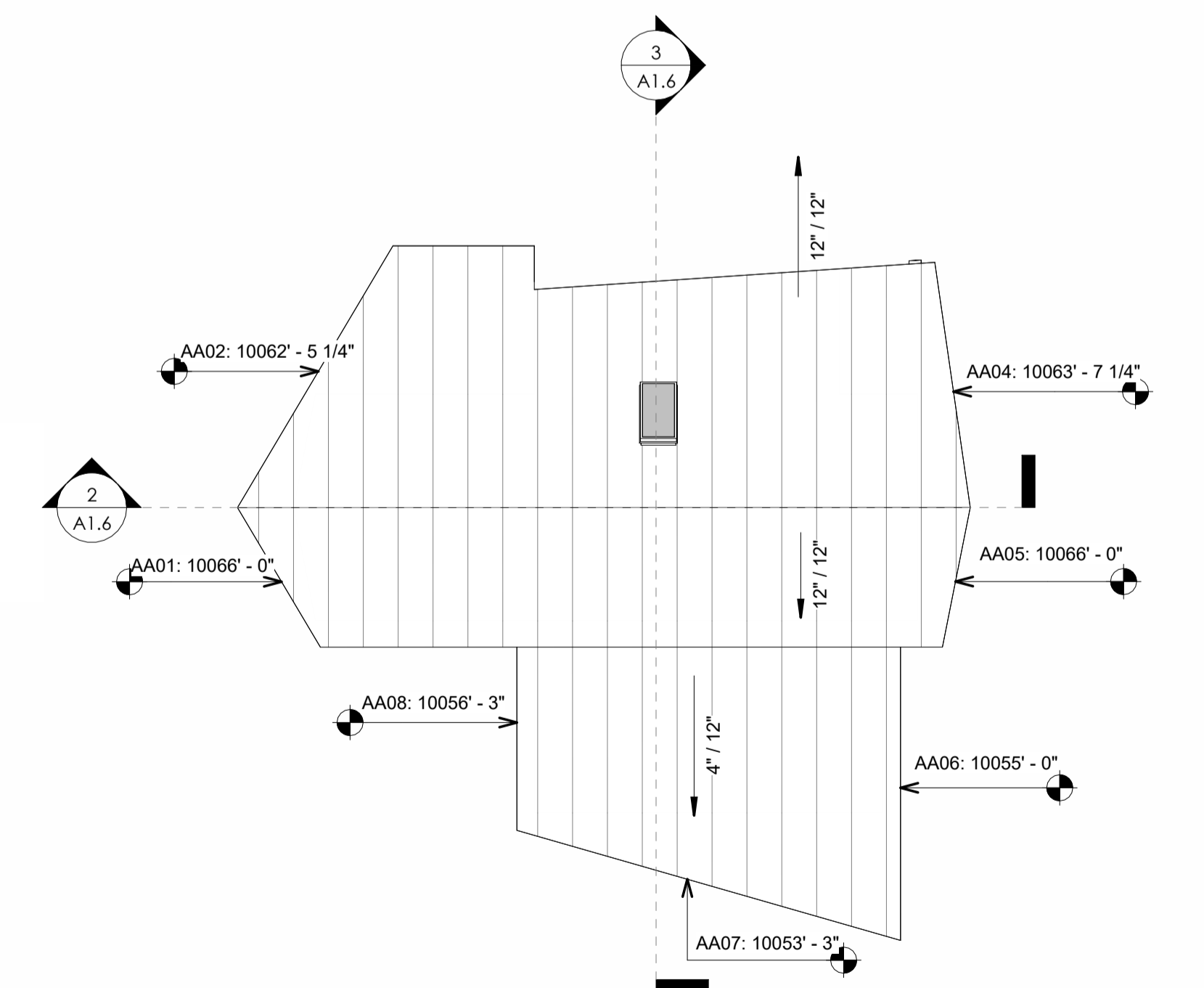
**1** Accessory - Maximum Roof Height Points  
SCALE 1/8" = 1'-0"

MAXIMUM ROOF HEIGHT CALCULATIONS - ACCESSORY					
ROOF POINT #	ROOF POINT ELEVATION	NATURAL GRADE ELEVATION	CALCULATED ROOF HEIGHT (FEET) ABOVE NATURAL GRADE	PROPOSED GRADE ELEVATION BELOW	CALCULATED ROOF HEIGHT (FEET) ABOVE FINISH GRADE
MA01	10070' - 3"	10037' - 1"	33' - 2"	10036' - 1"	34' - 2"
MA02	10070' - 3"	10035' - 5"	24' - 10"	10041' - 8"	28' - 7"
MA03	10058' - 1 1/2"	10034' - 11 1/2"	23' - 2"	10041' - 11 1/2"	16' - 2"
MA04	10058' - 1 1/2"	10035' - 6"	22' - 7 1/2"	N/A	N/A

**35' + 5' = MAX. HEIGHT FOR GABLE ROOF FORMS**  
**MAX. HEIGHT 33' - 2" (MM01), THEREFORE COMPLIANT BY 6' - 10"**



**3** Accessory - Height Section 2  
SCALE 1/8" = 1'-0"



**4** Accessory - Average Roof Height Points  
SCALE 1/8" = 1'-0"

AVERAGE ROOF HEIGHT CALCULATIONS - ACCESSORY				
ROOF POINT #	ROOF POINT ELEVATION	MOST RESTRICTIVE ELEVATION BELOW ROOF POINT	NG= NATURAL GRADE FG= FINISH GRADE	ROOF HEIGHT (FEET) ABOVE GRADE
AA01	10066' - 0"	10034' - 9"	NG	31' - 4"
AA02	10063' - 1"	10037' - 6"	NG	25' - 7"
AA03	10056' - 6"	10040' - 11"	NG	15' - 7"
AA04	10063' - 0"	10038' - 9"	NG	24' - 3"
AA05	10066' - 0"	10034' - 10"	FG	31' - 2"
AA06	10055' - 0"	10034' - 0"	FG	21' - 0"
AA07	10053' - 3"	10033' - 3"	NG	20' - 0"
AA08	10056' - 3"	10034' - 1"	NG	22' - 2"
<b>AVERAGE HEIGHT</b>		<b>23'-10 5/8"</b>		
<b>MAX. AVERAGE ALLOWABLE:</b>		<b>30'</b>	<b>COMPLIANT BY:</b>	<b>6' - 1 3/8"</b>

*Ski Shack*

Mountain Village, CO  
81435

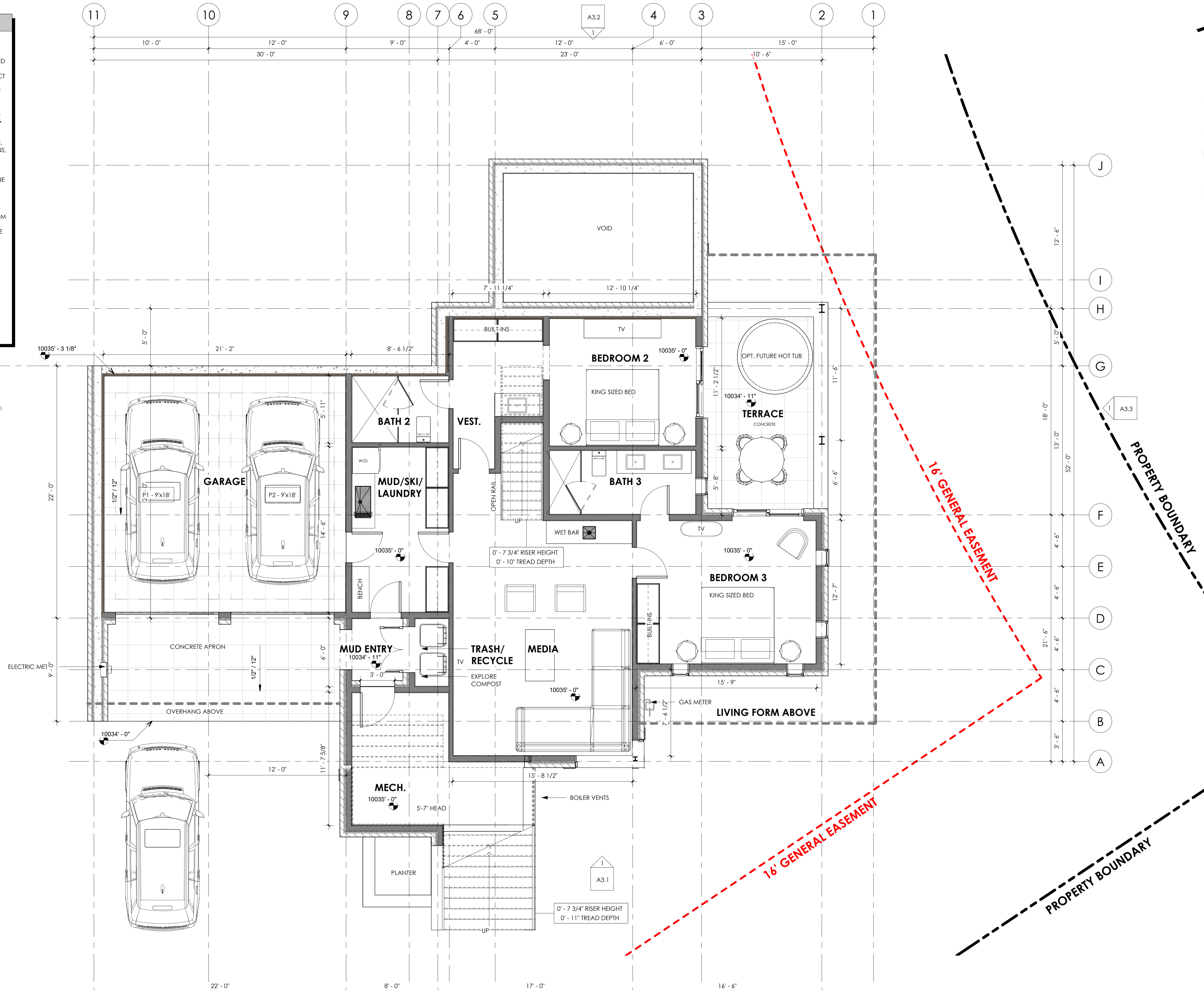
Accessory -  
Building Height  
Calcs.

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**A1.6**

**GENERAL PLAN NOTES:**

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3. ALL DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF FRAMING AT EXTERIOR WALLS, TYPICAL.
4. ALL FURRING IS TO BE NOMINAL 2x4 FRAMING, U.N.O.
5. BLOCKING TO BE PROVIDED FOR ALL CABINETS AND WALL MOUNTED ACCESSORIES - SEE A10.0 SERIES FOR CABINET & INTERIOR DETAIL INFORMATION.
6. TYPE 'X' GYPSUM WALL BOARD AT ALL MECHANICAL LOCATIONS AND GARAGE IF ADJACENT TO LIVING SPACE.
7. ALL FLOOR JOISTS LAYOUTS TO FOLLOW STRUCTURAL PLANS, HEADER ALL JOISTS WHICH INTERFERE WITH PLUMBING OR MECHANICAL.
8. REFER TO STRUCTURAL DRAWINGS FOR STONE SUPPORT INFORMATION. PROVIDE CONCRETE LEDGE OR CMU STONE SUPPORT AT ALL LOCATIONS WHERE STONE IS >24" IN HEIGHT; PROVIDE STEEL ANGLE STONE SUPPORT WHERE STONE < 24" IN HEIGHT. ALL STONE SUPPORT TO BE 6" MIN. BELOW FINISHED GRADE.
9. ALL EGRESS WINDOW OPENINGS TO BE 42" MAXIMUM FROM FINISHED FLOOR TO BOTTOM OF OPENING. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
10. ALL VALLEYS, LOW PITCHED ROOFS (LESS THAN 1 : 12), GUTTERS, AND DOWNSPOUTS TO BE HEATED, TYPICAL.
11. ALL WINDOW WELLS, PLANTERS, AND ANY HARD-SCAPE REQUIRING DRAINAGE TO BE DRAINED TO DAYLIGHT, TYPICAL.
12. PERIMETER DRAINS TO BE PROVIDED AT ALL FOUNDATION FOOTINGS, TYPICAL. REFER TO CIVIL DRAWINGS.
13. ALL ROOF EAVES AND RAKE CAVITIES TO BE COMPLETELY FILLED WITH FOAMED-IN-PLACE INSULATION, TYPICAL.
14. ALL EXTERIOR FLAT WORK (BALCONIES, PATIOS, TERRACES, WALKS, ETC.) TO BE SLOPED AWAY FROM THE BUILDING.
15. ALL EXTERIOR TERRACES OVER INTERIOR SPACE BELOW TO BE WATERPROOFED TO THE HIGHEST SYSTEM STANDARD.



**Tommy Hein**  
ARCHITECTS

Box 3327 108 S. Oak St. Penthouse  
Telluride, Colorado 81435  
www.tommyhein.com 970.728.1220

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**Submissions**

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STAKING PLAN	23.07.26
INITIAL DR82	23.10.09

*133 Sundance*

Mountain Village, CO  
81435

Floor Plans -  
Level 0

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**A2.0**

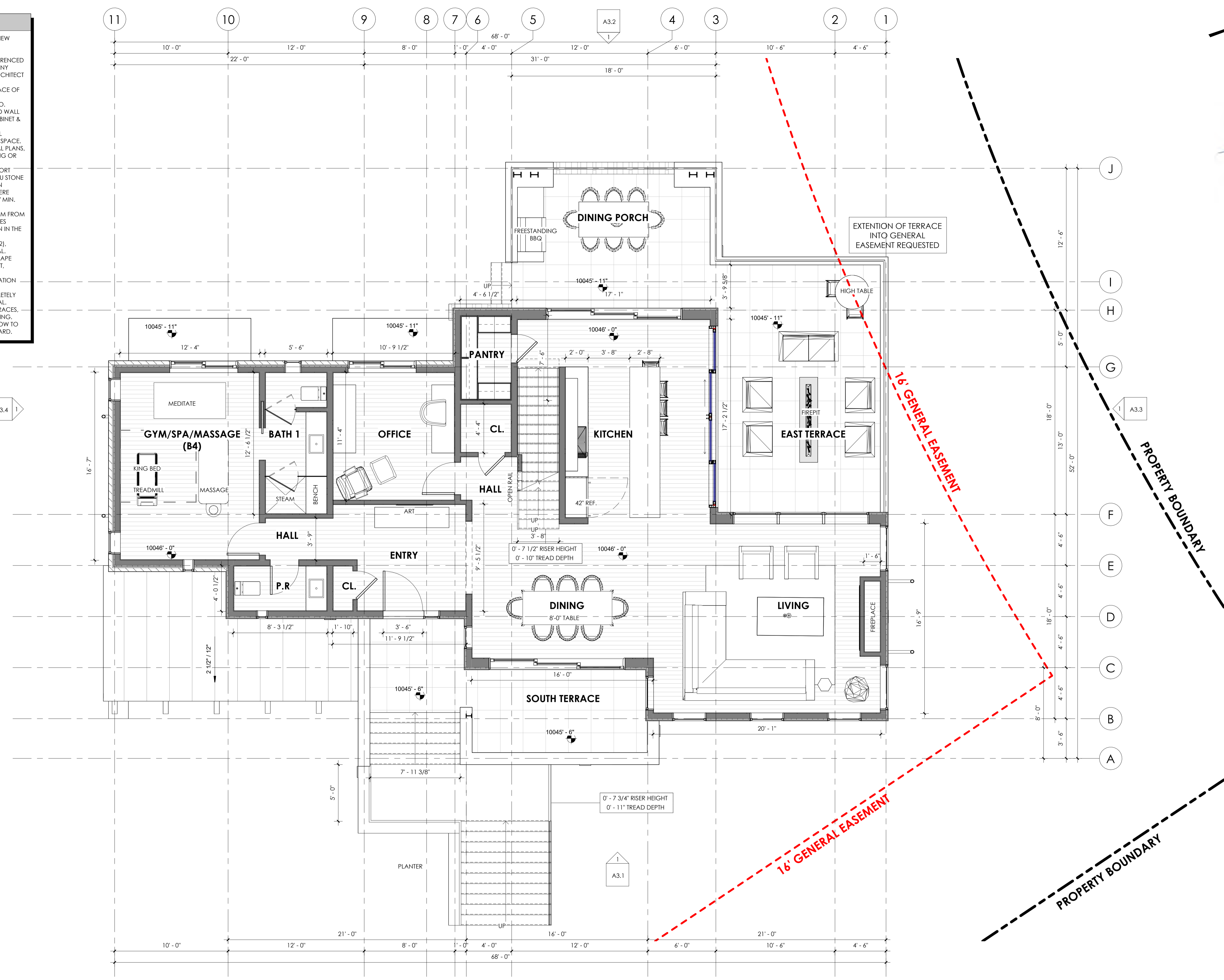
**1 Level 0**

SCALE 1/4" = 1'-0"

TRUE NORTH PROJECT NORTH

**GENERAL PLAN NOTES:**

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9. ALL EGRESS WINDOW OPENINGS TO BE 42" MAXIMUM FROM FINISHED FLOOR TO BOTTOM OF OPENING. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
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15. ALL EXTERIOR TERRACES OVER INTERIOR SPACE BELOW TO BE WATERPROOFED TO THE HIGHEST SYSTEM STANDARD.



*Tommy Hein*  
ARCHITECTS

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INITIAL DR2	23.10.09

*133 Sundance*

Mountain Village, CO  
81435

Floor Plans -  
Level 1

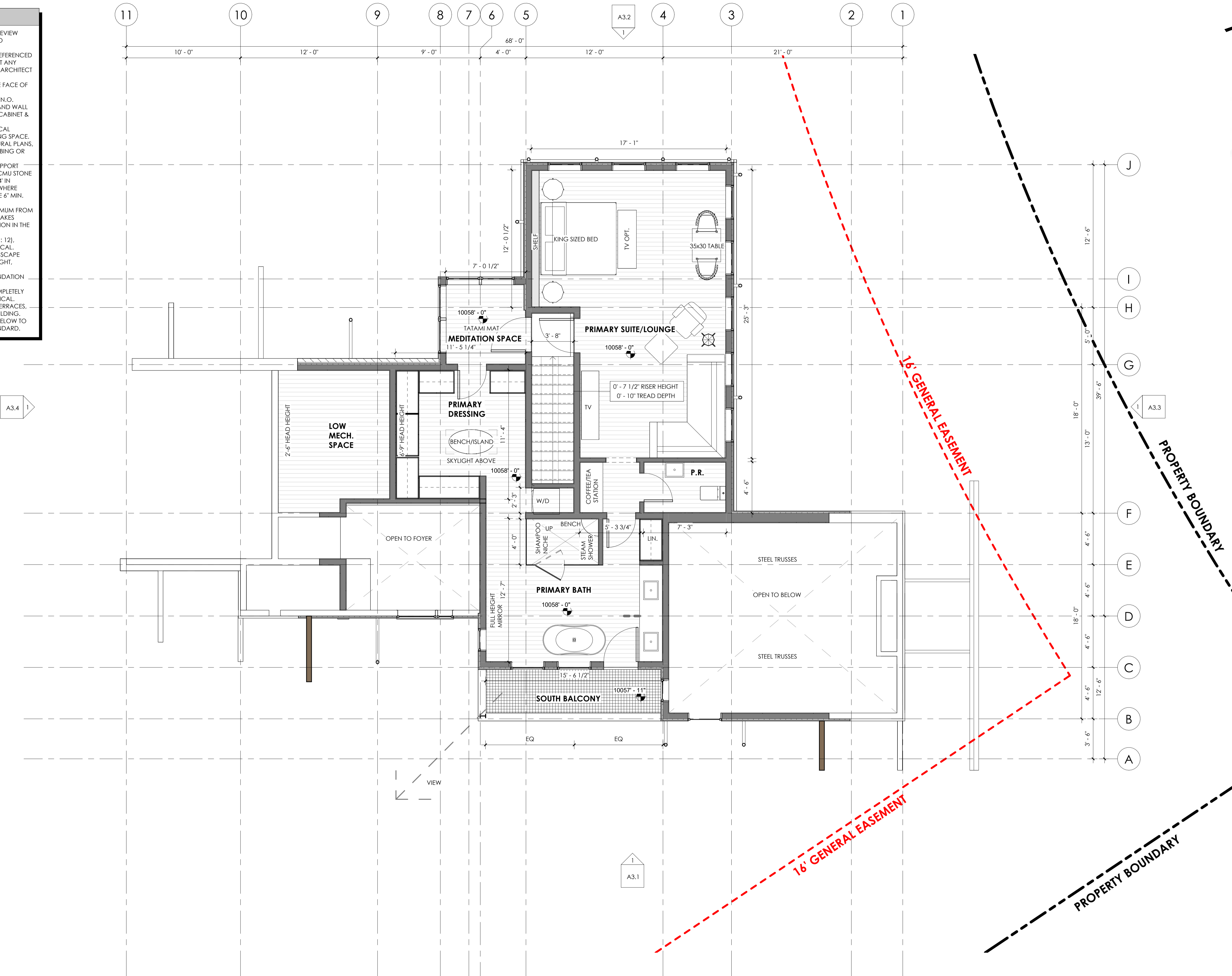
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**A2.1**

**1 Level 1**  
SCALE 1/4" = 1'-0"  
TRUE NORTH PROJECT NORTH

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www.tommyhein.com 970.728.1220

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**Submissions**

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
INITIAL DR82	23.10.09

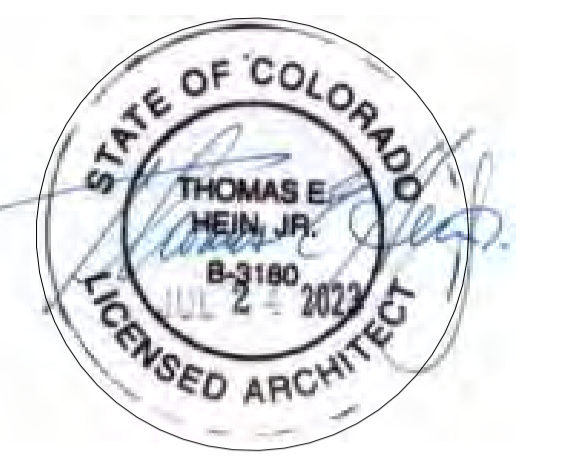
*133 Sundance*

Mountain Village, CO  
81435

Floor Plans -  
Level 2

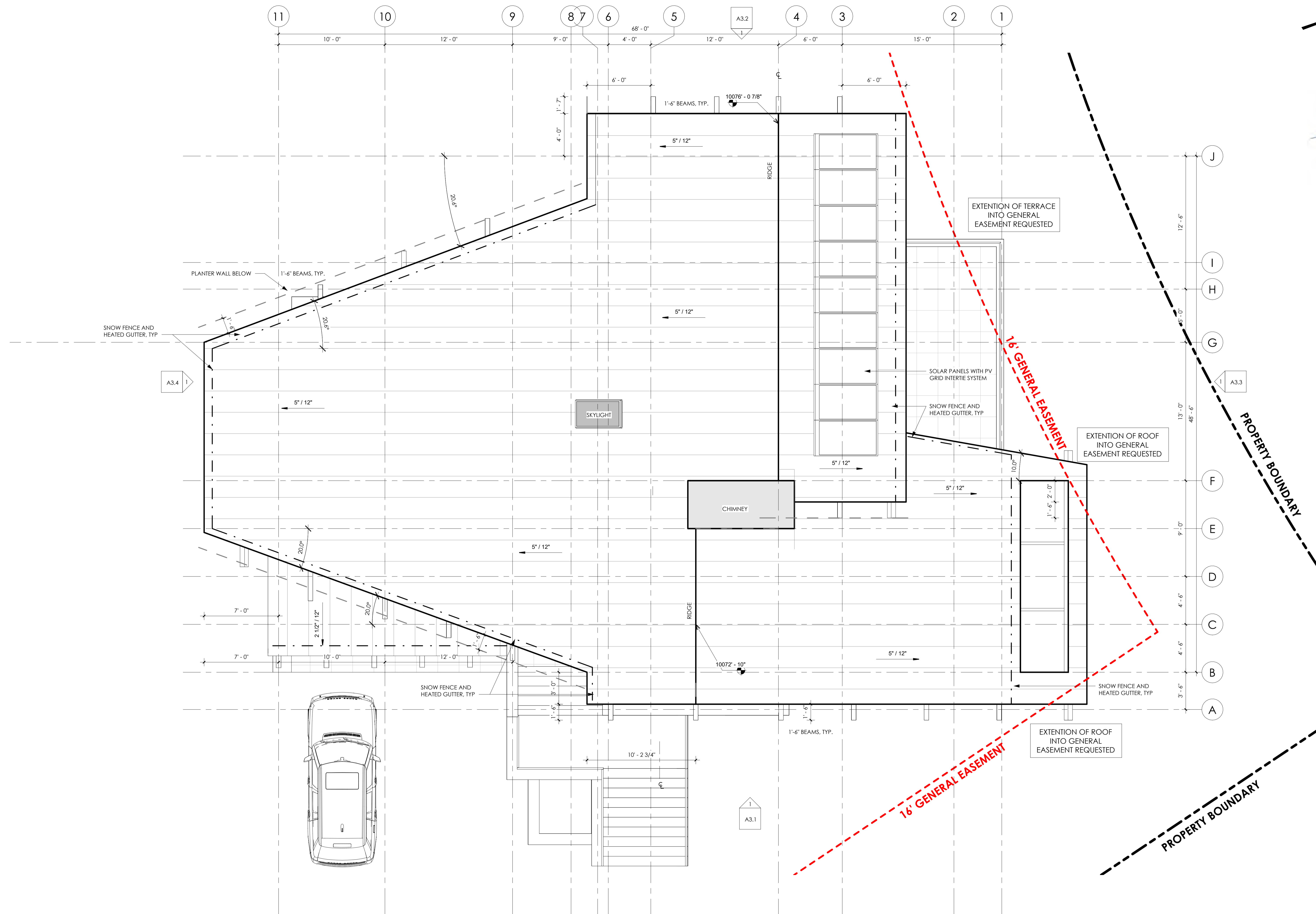
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**A2.2**



**Submissions**

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
INITIAL DR82	23.10.09



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81435

**Roof Plan**

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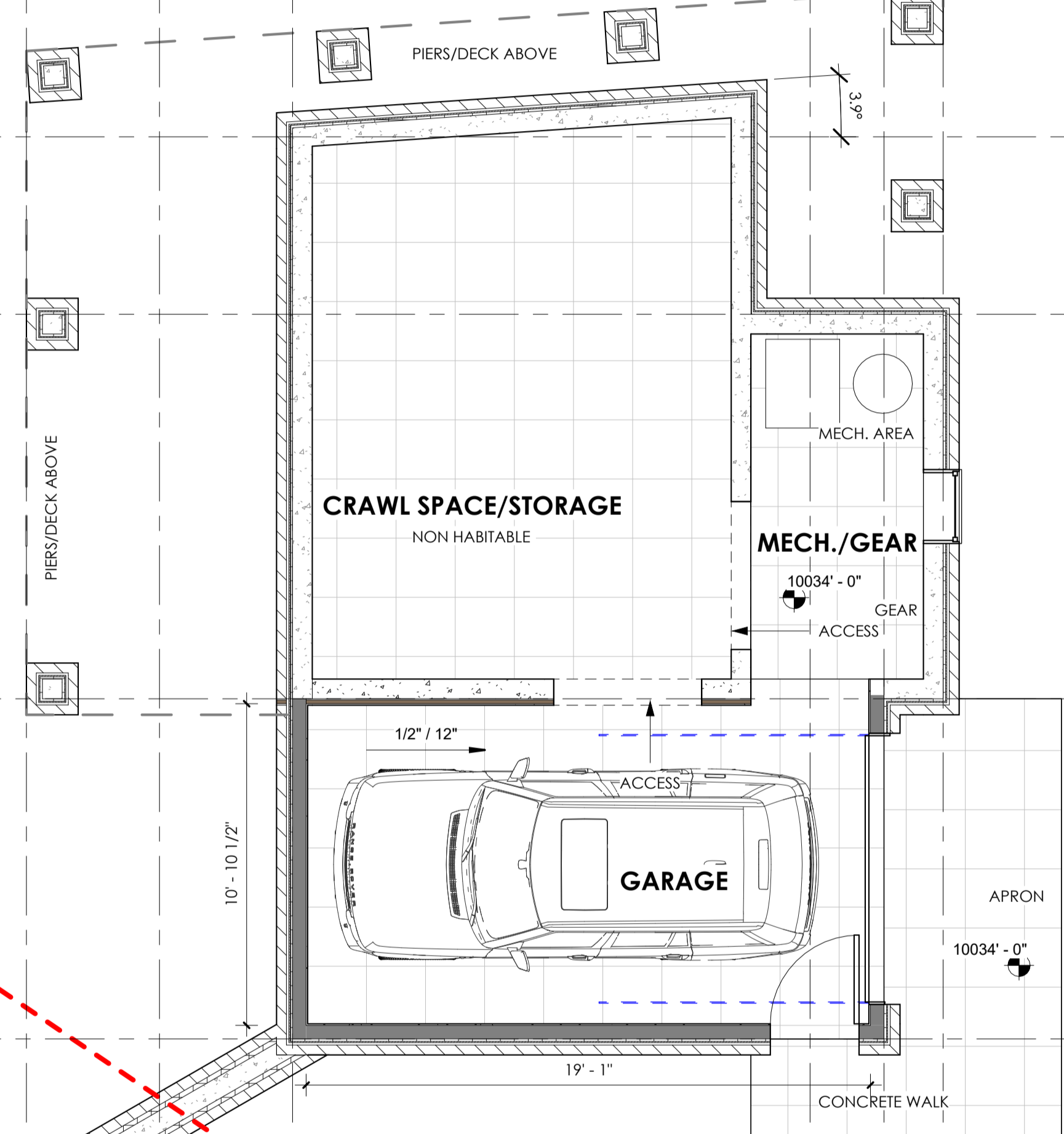
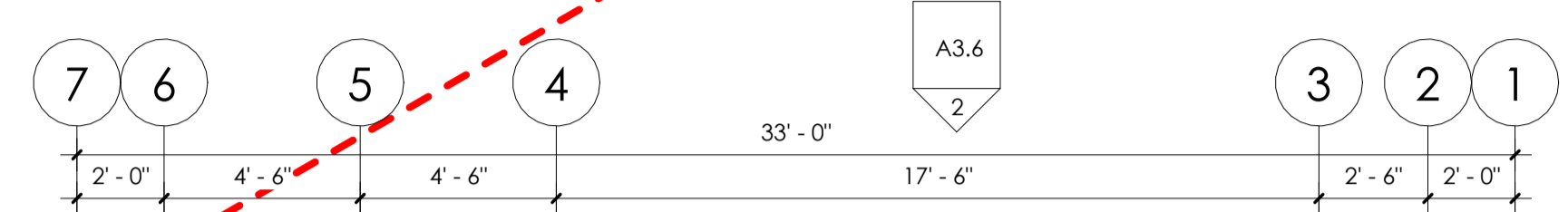
**A2.3**

**1 Roof Plan**  
SCALE 1/4" = 1'-0"



PROPERTY BOUNDARY

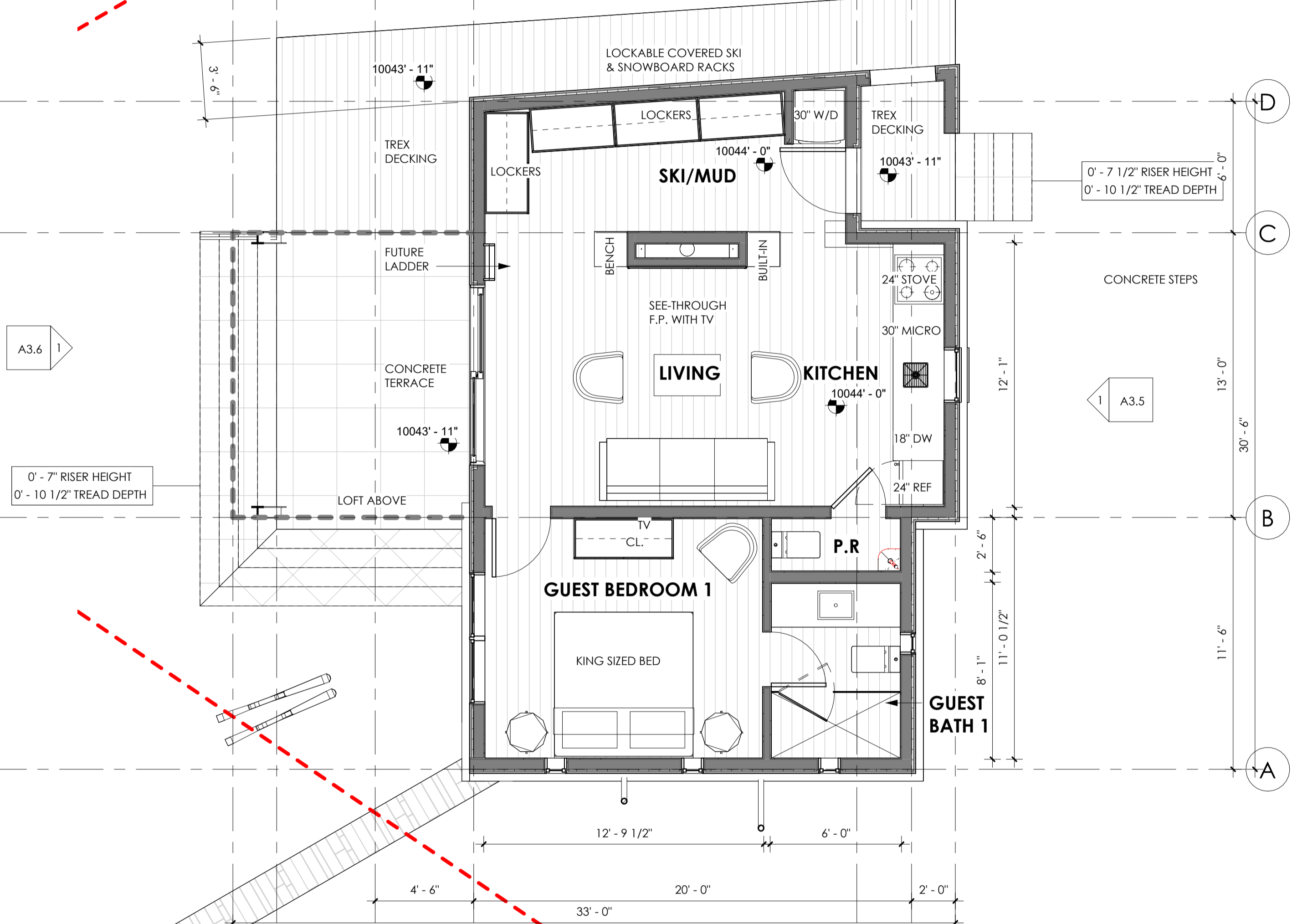
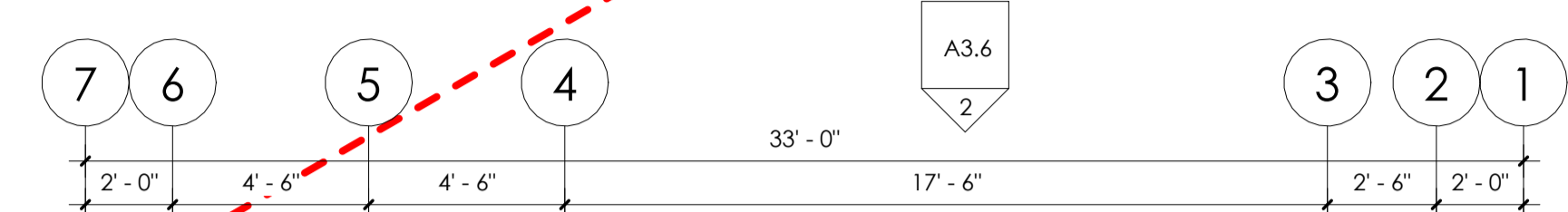
16' GENERAL EASEMENT



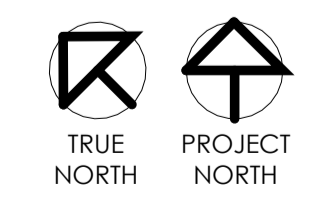
1 Level 0 - Ski Shack  
SCALE 1/4" = 1'-0"

PROPERTY BOUNDARY

16' GENERAL EASEMENT

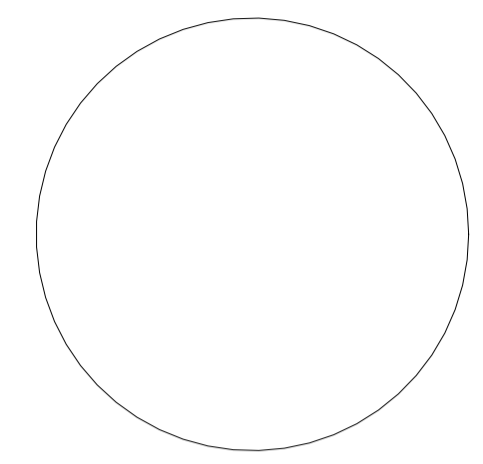


2 Level 1 - Ski Shack  
SCALE 1/4" = 1'-0"



Tommy Hein ARCHITECTS

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Telluride, Colorado 81435  
www.tommyhein.com 970.728.1220



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Submissions

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW	23.07.21
INITIAL DRB2	23.10.09

Ski Shack

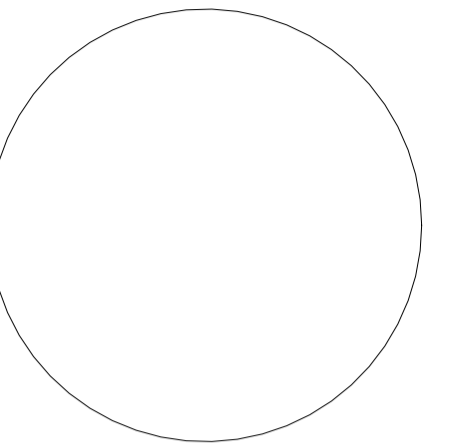
Mountain Village, CO 81435

Ski Shack Floor Plans - Level 0 & Level 1

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A2.7





**Submissions**

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW	23.07.21
INITIAL DRB2	23.10.09

*Ski Shack*

Mountain Village, CO  
81435

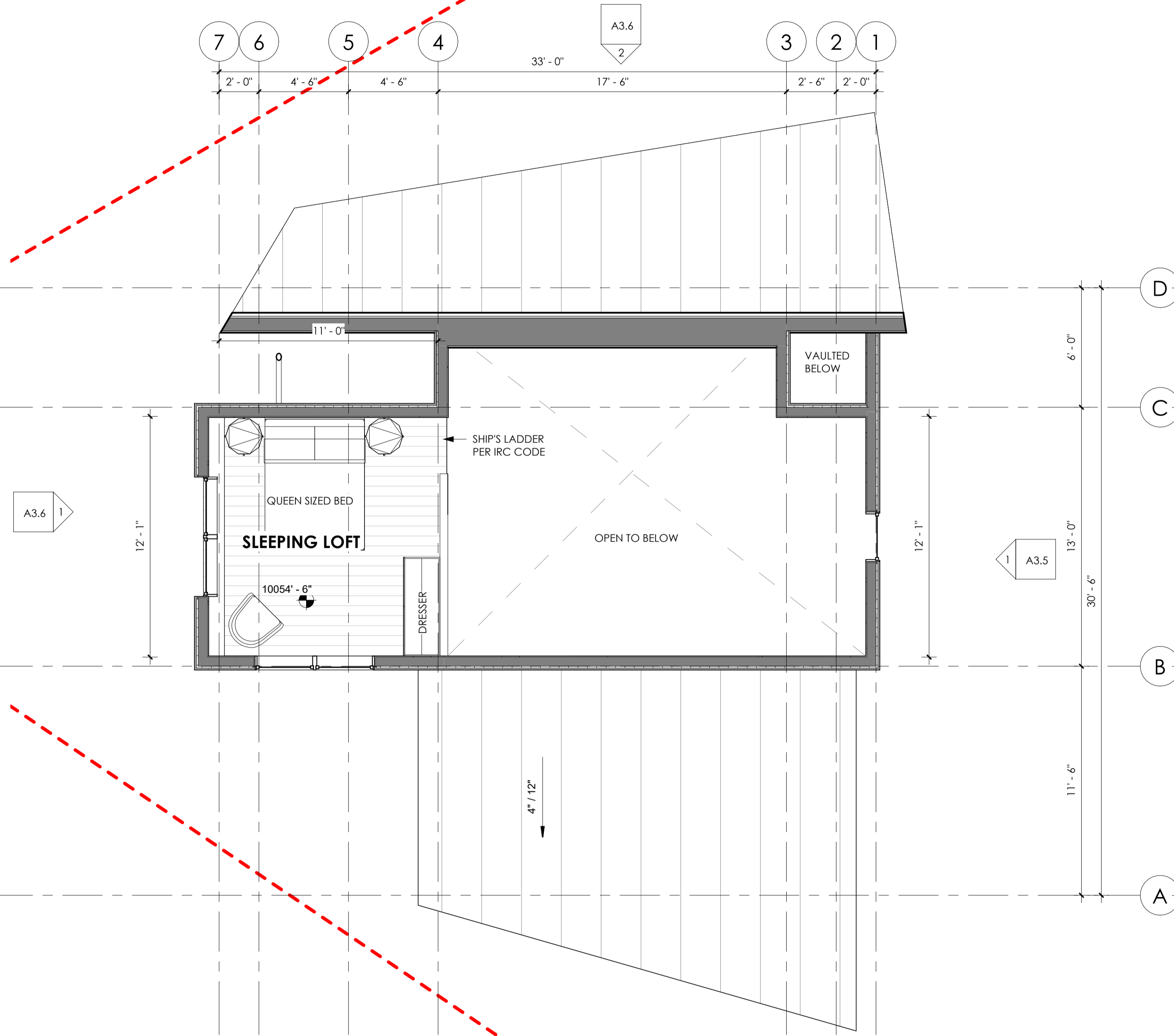
**Ski Shack Floor Plans - Level 2 & Roof Plan**

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**A2.8**

PROPERTY BOUNDARY

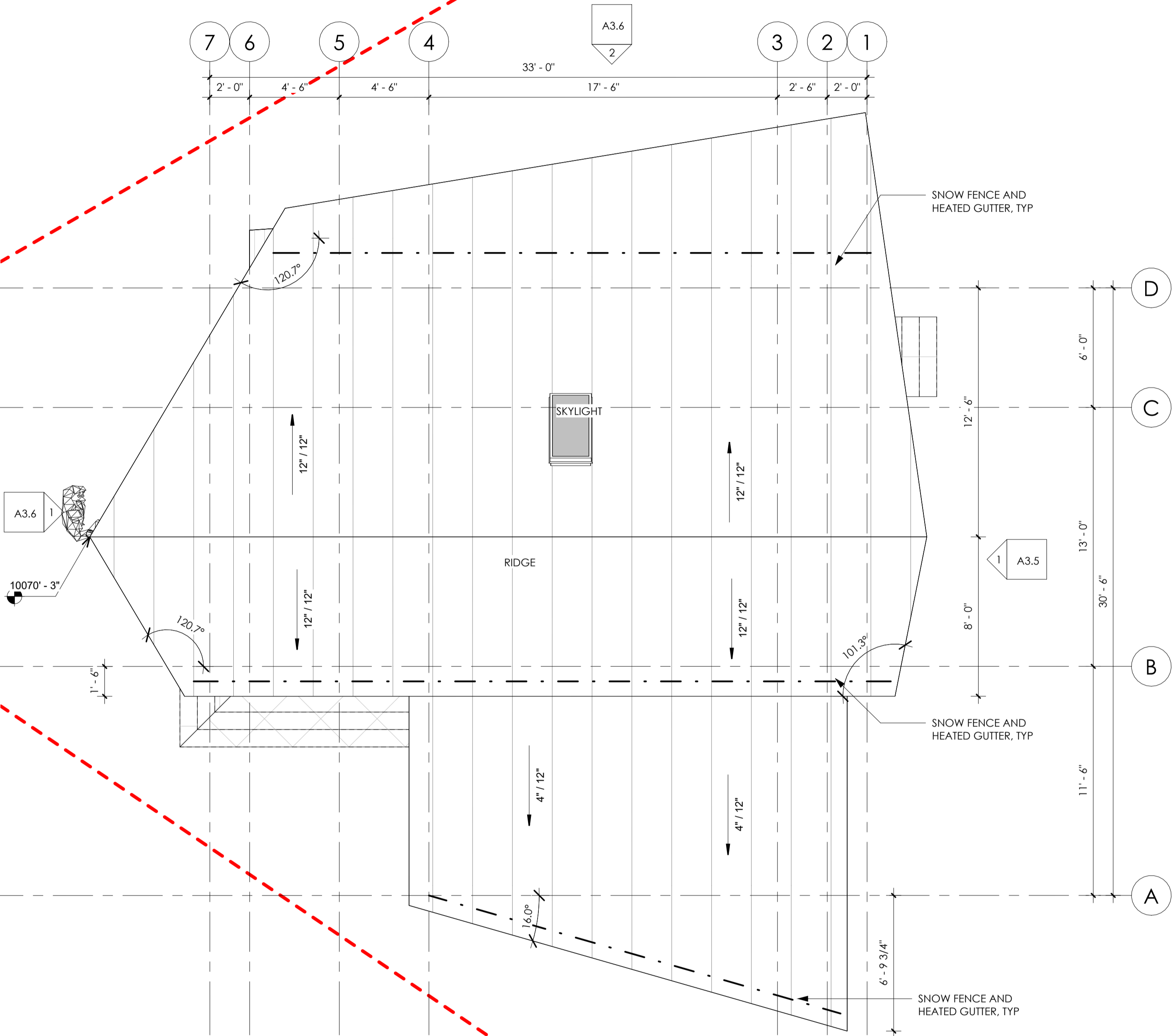
16' GENERAL EASEMENT



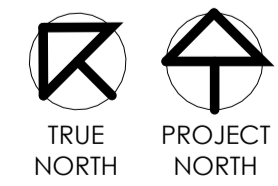
**1** Level 2 - Ski Shack  
SCALE 1/4" = 1'-0"

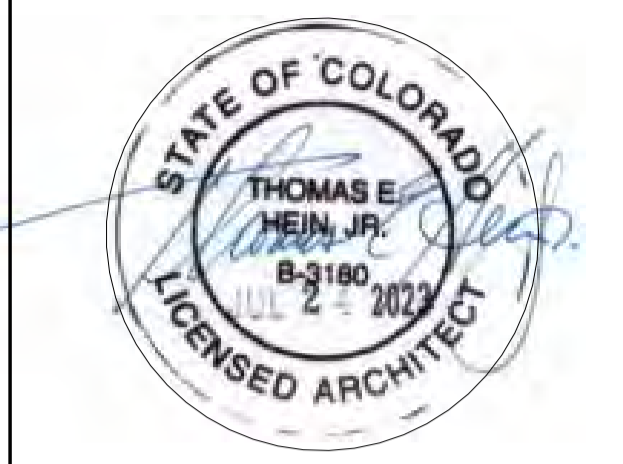
PROPERTY BOUNDARY

16' GENERAL EASEMENT



**2** Roof Plan - Ski Shack  
SCALE 1/4" = 1'-0"





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**Submissions**

INTERNAL REVIEW	23.07.17
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STAKING PLAN	23.07.26
INITIAL DR2	23.10.09

**EXTERIOR MATERIALS**

GRAIN MATCHED GLULAM TIMBER BEAM VINTAGE PATINA FINISH	WHITEWASH ASH WOOD	CHARRED WOOD SIDING 4" HORIZONTAL SHIPLAP "Shou Sugi Ban" 3/16" EBONY STAINED REVEALS	VERTICAL COURSING STONE 1/2"-1" MORTAR KANSAS GREY LIMESTONE (SIMILAR TO BASS)

**EXTERIOR MATERIALS**

DARK GRAY STUCCO	DARK GRAY PAINTED STEEL EXPOSED STEEL STRUCTURE W, C, OR 1/2" BENT PLATE STEEL, PENETROL PATINA FINISH BLACK FOR INTERIOR, PAINTED CHARCOAL GRAY FOR EXTERIOR

**WINDOW CUT SHEETS**

◀ This corner sample of a picture window shows the thin lines and flat profile that can be achieved with cut down jambs and square glazing stops.

**CONTEMPORARY HARDWARE**

**CONTEMPORARY CASING**  
The use of the Contemporary Casing gives a narrow, clean and crisp look to the exterior of the window by concealing the accessory groove of the metal clad frame.

**HARDWARE**  
Selecting a style and finish that reflects your unique taste is a critical part of creating the right look. This is why Loewen offers a wide range of handles, locking systems and other hardware options for our windows and doors.

**RETRACTABLE SCREEN**  
Constructed of solid wood to conceal the screen hardware and designed with minimal obstruction to the viewing surface, these custom screens are the perfect complement to our existing lineup of Douglas fir and mahogany windows. The edge of the band is fully concealed within the horizontal pull down rail while the integrated braking system allows for one-touch retraction.

**COLORS AND FINISHES**  
Loewen uses only pre-finished extruded aluminum cladding to better protect window and door exteriors and eliminate the need for painting. The Loewen contemporary series features Anodized Aluminum Finishes and Metallic Painted Finishes.

**ANODIZED FINISHES**  
For a durable alternative to paints and organic coatings, our anodized finishes offer a rich matte look that reduces sunlight glare and allows the aluminum to maintain its metallic appearance. In addition to the aesthetically desirable etching, our Anodized Finishes also increase resistance to corrosion and abrasion on the aluminum. This aluminum is 100% recyclable and uses a water-based process with no volatile organic compounds for eco-friendliness.

**METALLIC PAINTED FINISHES**  
Loewen's Metallic Painted Finishes provide the perfect finishing touch for fulfilling your vision, while also providing industry leading quality and performance to uphold it.

CHAMPANE COLOR

TYPICAL WINDOW STYLE / FRAME / AND MANUFACTURER

*133 Sundance*

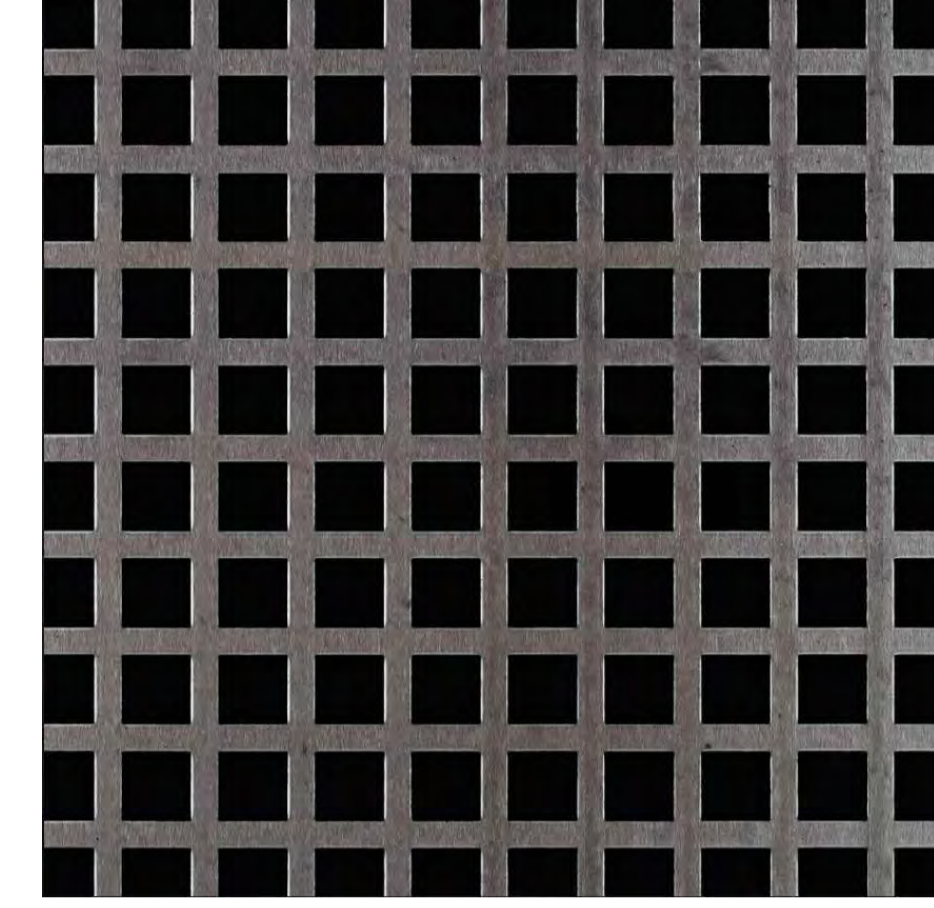
Mountain Village, CO  
81435

Exterior  
Materials

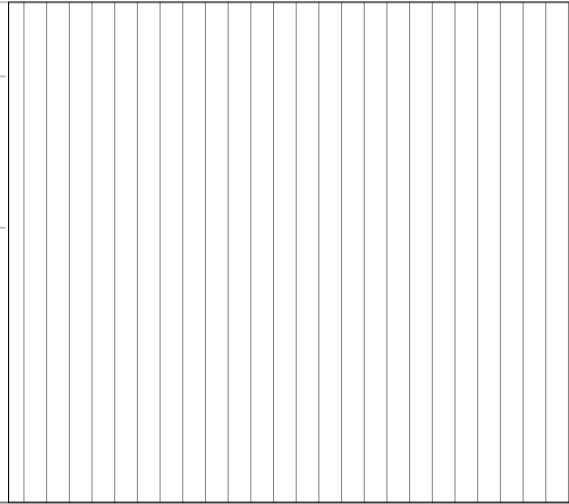
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**A3.0a**

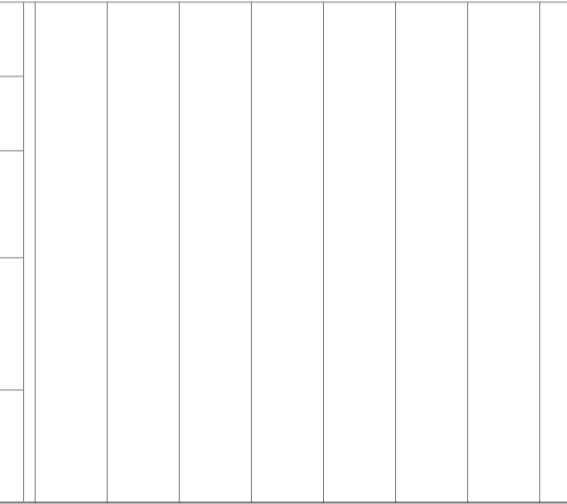
EXTERIOR MATERIALS



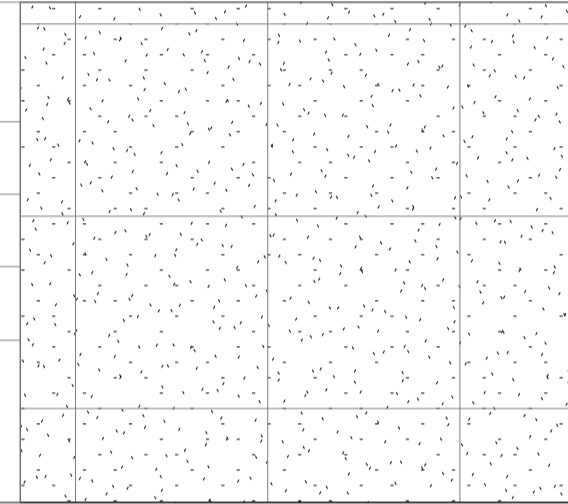
TIMBERTECH VINTAGE COLLECTION  
7 1/4" BOARDS WITH 3/4" REVEAL  
FOR DRIP-THROUGH DRAINAGE  
COASTLINE COLOR



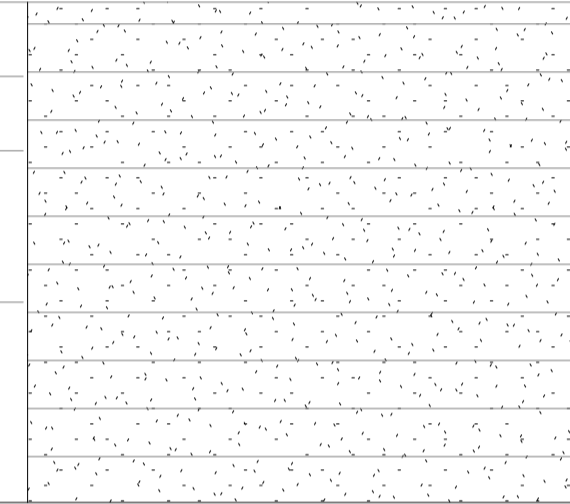
ROOFING  
MATTE LIGHT GRAY BONDERIZED  
STANDING SEAM 12" O.C.



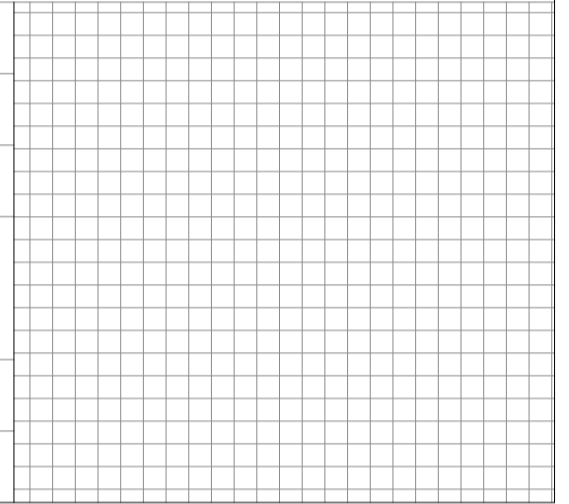
SCORED CONCRETE PATIO  
DAVIS DARK GRAY 8084  
3" - 4" THICK  
BUFF TILE PATTERN 2' X 4'



BOARDFORM CONCRETE  
HIGHLY TEXTURED  
NEUTRAL WARM GRAY



PERFORATED METAL  
MCNICHOLS ALUMINUM  
LATTICE 1653  
.0500" THICK (16 GAUGE), 1/2"  
SQUARE ON 11/16" STRAIGHT  
CENTERS, 53% OPEN AREA



**Tommy Hein**  
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Submissions

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*133 Sundance*

Mountain Village, CO  
81435

Exterior  
Materials

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**A3.0b**

EXTERIOR LIGHT FIXTURES

**IKON** OUTDOOR STEP LIGHT

The Ikon outdoor step light features a minimalist rectangular aperture that aims illumination downward to light stairs with recessed glass. Ideal for any lighting level added safety after dark. Available in two finishes, Black and Bronze.

- Selectable CCT (2700K/3000K)
- 120V or 277V
- Outstanding protection against the elements:
  - Wet Listed (IP68 Rated)
  - Stainless Steel Mounting Hardware
  - Powder Coat Finishes

**SPECIFICATIONS**

TYPE	LED
HEIGHT	3.5"
WIDTH	4.5"
DEPTH	1.5"
INSTALLATION	Surface
FINISHES	Black, Bronze
OPERATING TEMPERATURE	-20° to 120° F
WARRANTY	5 Year

MON OUTDOOR WALL/STEP LIGHT  
MON OUTDOOR WALL/STEP LIGHT

120V AC TRANSFORMERS\*

**ORDERING INFORMATION**

PROJECT	PROJECT	FINISH	VOLTAGE
IKON	MON	Black	120V

LED STEP LIGHT  
- SEE FLOOR PLANS FOR LOCATIONS

**2361** Angled LED Sconce

**Dimensions:**  
Height: 7 1/2"  
Width: 4"  
Extension: 2 1/4"  
Wall Plate: 5 1/4" x 2 1/4"  
Dimmable by Electronic Low Voltage (ELV)  
WET LOCATION (downlight only)

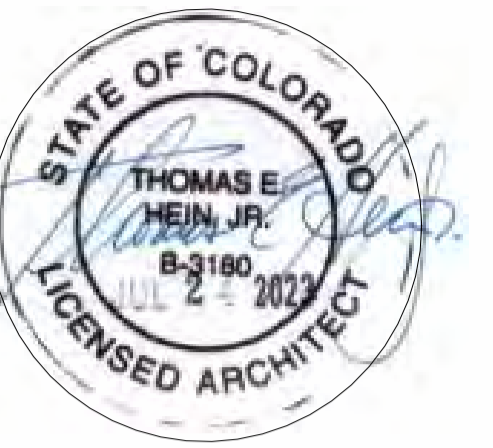
**Description:**  
Shade: Aluminum  
Extension: 2 1/4"  
Wall Plate: 5 1/4" x 2 1/4"  
Dimmable by Electronic Low Voltage (ELV)  
WET LOCATION (downlight only)

**Lamping Options:**  
LED: 10w, 420 Lumens  
Warm White (3000K), 90 CRI  
120VAC Input  
w/ 12VAC Transformer

**Available Finishes:** Textured Bronze  
2361.72-WL  
Textured Gray  
2361.74-WL  
Textured White  
2361.98-WL

SONNEMAN  
A DIV OF LIGHT

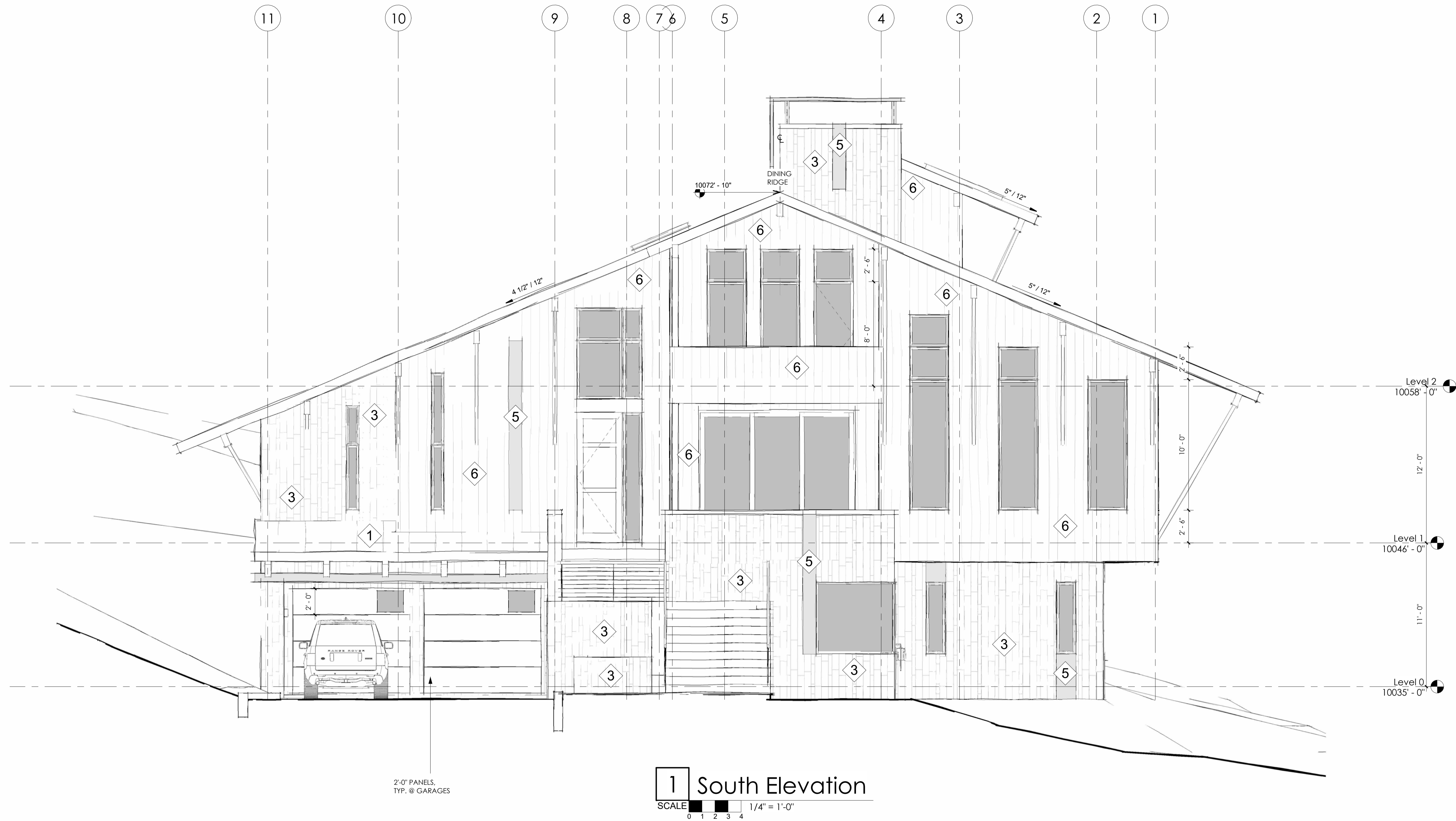
LED SCONCE  
- SEE FLOOR PLANS FOR LOCATIONS



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INITIAL DR82	23.10.09



**1** South Elevation  
SCALE 1/4" = 1'-0"

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Mountain Village, CO  
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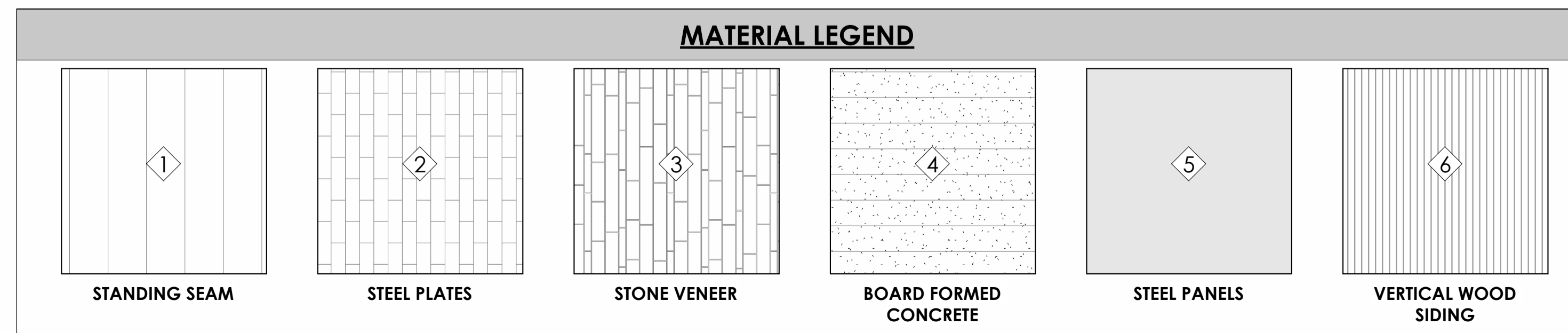
Exterior Elevations

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**MAIN HOUSE EXTERIOR MATERIAL AREA CALCULATIONS**

MATERIAL	TOTAL AREA	PERCENTAGE
STONE VENEER	2,015.0 SF	35.9% > 35% MIN.
GLAZING	1,448.1 SF	25.8% < 40% MAX.
STEEL PLATE SIDING / ACCENT	353.6 SF	6.3%
WOOD SIDING	1,796.1 SF	32.0%
<b>TOTAL MATERIAL</b>	<b>5,612.8 SF</b>	<b>100%</b>

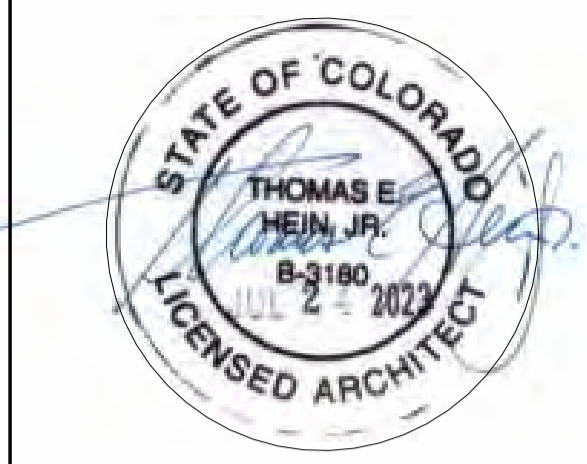
**MATERIAL LEGEND**



**EXTERIOR ELEVATION GENERAL NOTES**

- REFER TO A8 SERIES SHEETS FOR ASSEMBLY SYSTEM DETAILS.
- REFER TO A9 SERIES SHEETS FOR DOOR & WINDOW SCHEDULES, ELEVATIONS, AND DETAILS.
- CONTRACTOR TO PROVIDE SAMPLES ON-SITE OF ALL EXTERIOR MATERIALS FOR REVIEW AND APPROVAL BY OWNER AND ARCHITECT.

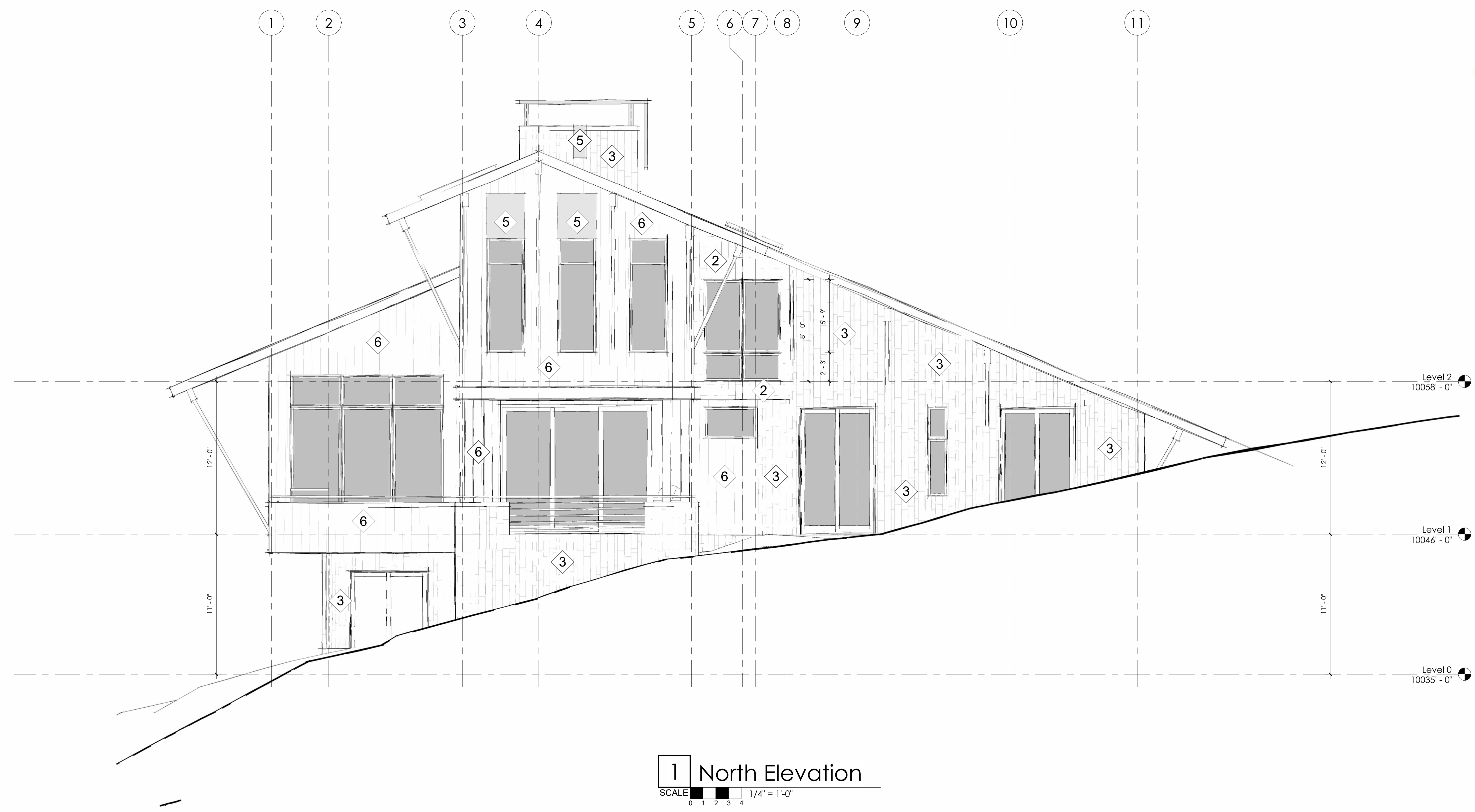
**A3.1**



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**Submissions**

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STAKING PLAN	23.07.26
INITIAL DR82	23.10.09



**1 North Elevation**  
SCALE 1/4" = 1'-0"

*133 Sundance*

Mountain Village, CO  
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**Exterior Elevations**

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**MAIN HOUSE EXTERIOR MATERIAL AREA CALCULATIONS**

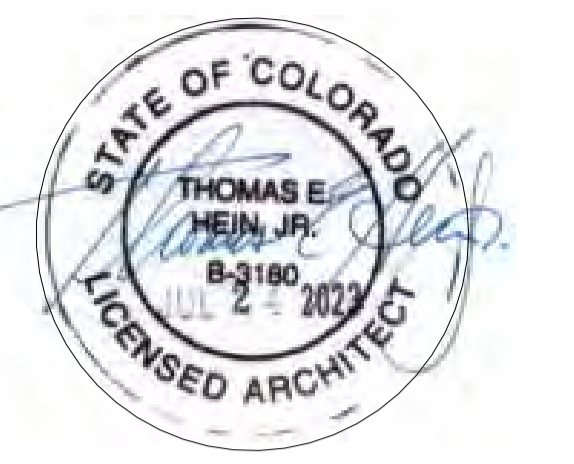
MATERIAL	TOTAL AREA	PERCENTAGE
STONE VENEER	2,015.0 SF	35.9% > 35% MIN.
GLAZING	1,448.1 SF	25.8% < 40% MAX.
STEEL PLATE SIDING / ACCENT	353.6 SF	6.3%
WOOD SIDING	1,796.1 SF	32.0%
<b>TOTAL MATERIAL</b>	<b>5,612.8 SF</b>	<b>100%</b>

**MATERIAL LEGEND**

STANDING SEAM	STEEL PLATES	STONE VENEER	BOARD FORMED CONCRETE	STEEL PANELS	VERTICAL WOOD SIDING

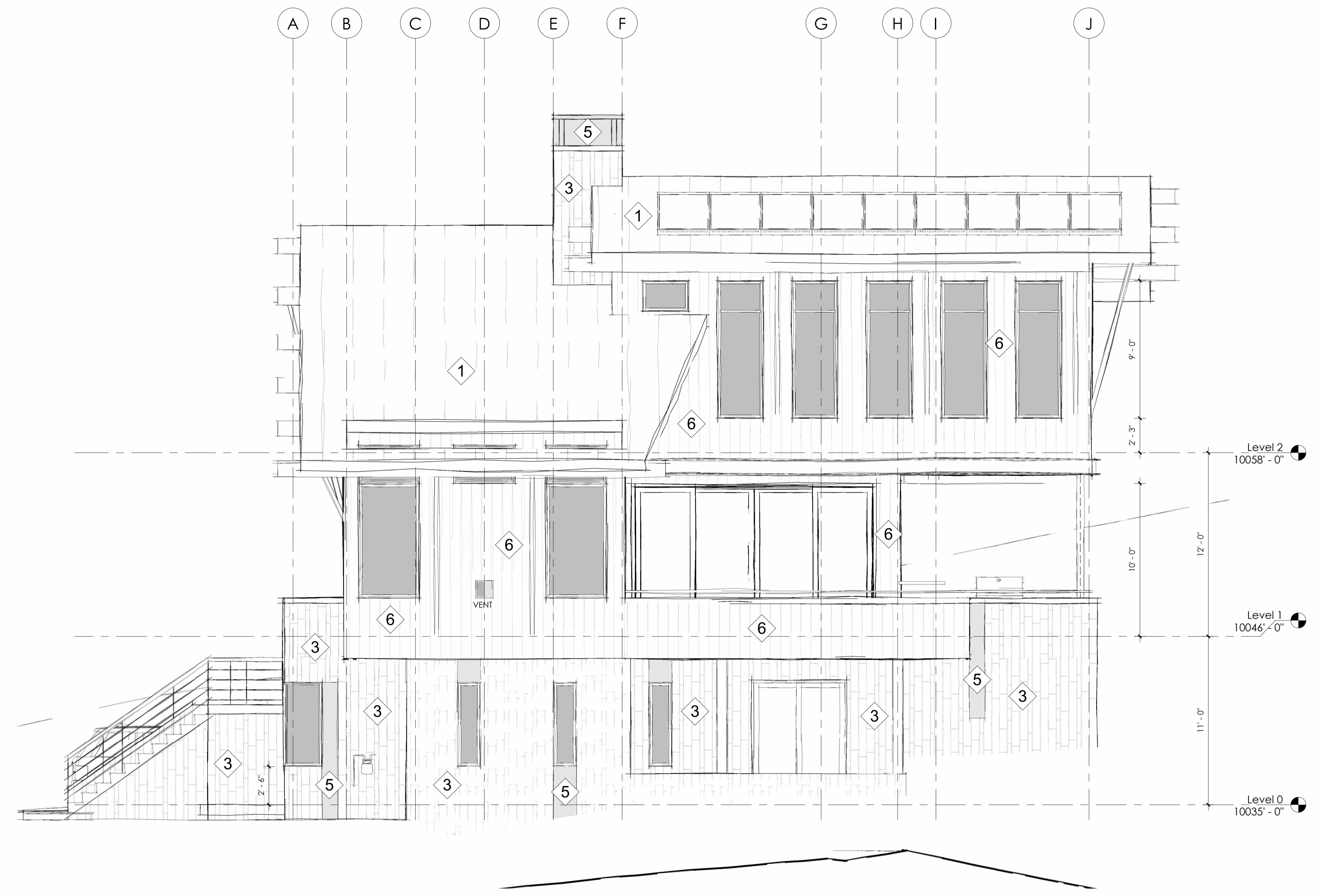
- EXTERIOR ELEVATION GENERAL NOTES**
- REFER TO A8 SERIES SHEETS FOR ASSEMBLY SYSTEM DETAILS.
  - REFER TO A9 SERIES SHEETS FOR DOOR & WINDOW SCHEDULES, ELEVATIONS, AND DETAILS.
  - CONTRACTOR TO PROVIDE SAMPLES ON-SITE OF ALL EXTERIOR MATERIALS FOR REVIEW AND APPROVAL BY OWNER AND ARCHITECT.

**A3.2**



**Submissions**

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
INITIAL DR82	23.10.09



**1 East Elevation**

SCALE 0 1 2 3 4 1/4" = 1'-0"

**MAIN HOUSE EXTERIOR MATERIAL AREA CALCULATIONS**

MATERIAL	TOTAL AREA	PERCENTAGE
STONE VENEER	2,015.0 SF	35.9% > 35% MIN.
GLAZING	1,448.1 SF	25.8% < 40% MAX.
STEEL PLATE SIDING / ACCENT	353.6 SF	6.3%
WOOD SIDING	1,796.1 SF	32.0%
<b>TOTAL MATERIAL</b>	<b>5,612.8 SF</b>	<b>100%</b>

**MATERIAL LEGEND**

STANDING SEAM	STEEL PLATES	STONE VENEER	BOARD FORMED CONCRETE	STEEL PANELS	VERTICAL WOOD SIDING

**EXTERIOR ELEVATION GENERAL NOTES**

- REFER TO A8 SERIES SHEETS FOR ASSEMBLY SYSTEM DETAILS.
- REFER TO A9 SERIES SHEETS FOR DOOR & WINDOW SCHEDULES, ELEVATIONS, AND DETAILS.
- CONTRACTOR TO PROVIDE SAMPLES ON-SITE OF ALL EXTERIOR MATERIALS FOR REVIEW AND APPROVAL BY OWNER AND ARCHITECT.

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Mountain Village, CO  
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**Exterior Elevations**

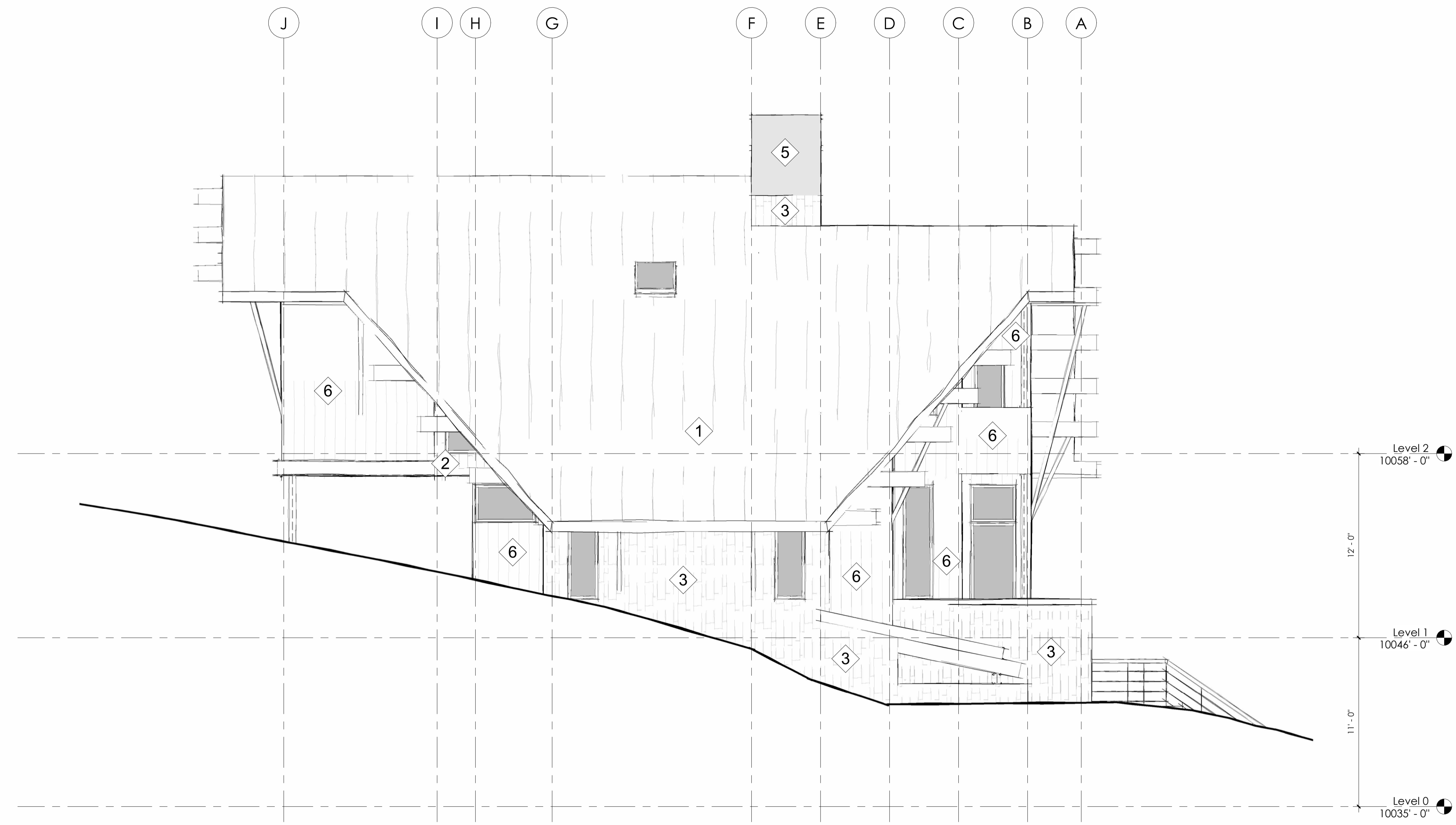
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**A3.3**



**Submissions**

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
INITIAL DR82	23.10.09



**1 West Elevation**

SCALE 0 1 2 3 4 1/4" = 1'-0"

**MAIN HOUSE EXTERIOR MATERIAL AREA CALCULATIONS**

MATERIAL	TOTAL AREA	PERCENTAGE
STONE VENEER	2,015.0 SF	35.9% > 35% MIN.
GLAZING	1,448.1 SF	25.8% < 40% MAX.
STEEL PLATE SIDING / ACCENT	353.6 SF	6.3%
WOOD SIDING	1,796.1 SF	32.0%
<b>TOTAL MATERIAL</b>	<b>5,612.8 SF</b>	<b>100%</b>

**MATERIAL LEGEND**

STANDING SEAM	STEEL PLATES	STONE VENEER	BOARD FORMED CONCRETE	STEEL PANELS	VERTICAL WOOD SIDING

- EXTERIOR ELEVATION GENERAL NOTES**
- REFER TO A8 SERIES SHEETS FOR ASSEMBLY SYSTEM DETAILS.
  - REFER TO A9 SERIES SHEETS FOR DOOR & WINDOW SCHEDULES, ELEVATIONS, AND DETAILS.
  - CONTRACTOR TO PROVIDE SAMPLES ON-SITE OF ALL EXTERIOR MATERIALS FOR REVIEW AND APPROVAL BY OWNER AND ARCHITECT.

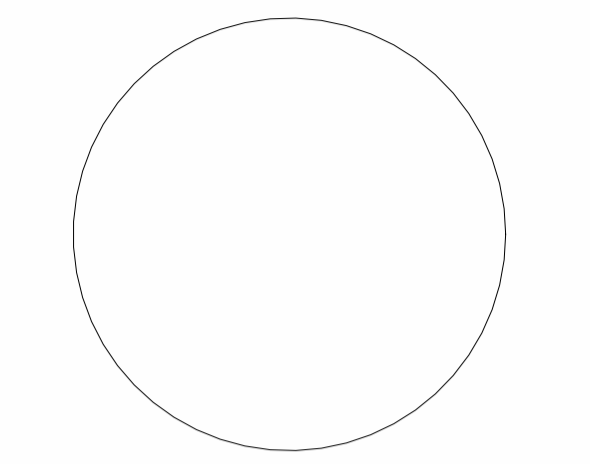
*133 Sundance*

Mountain Village, CO  
81435

**Exterior Elevations**

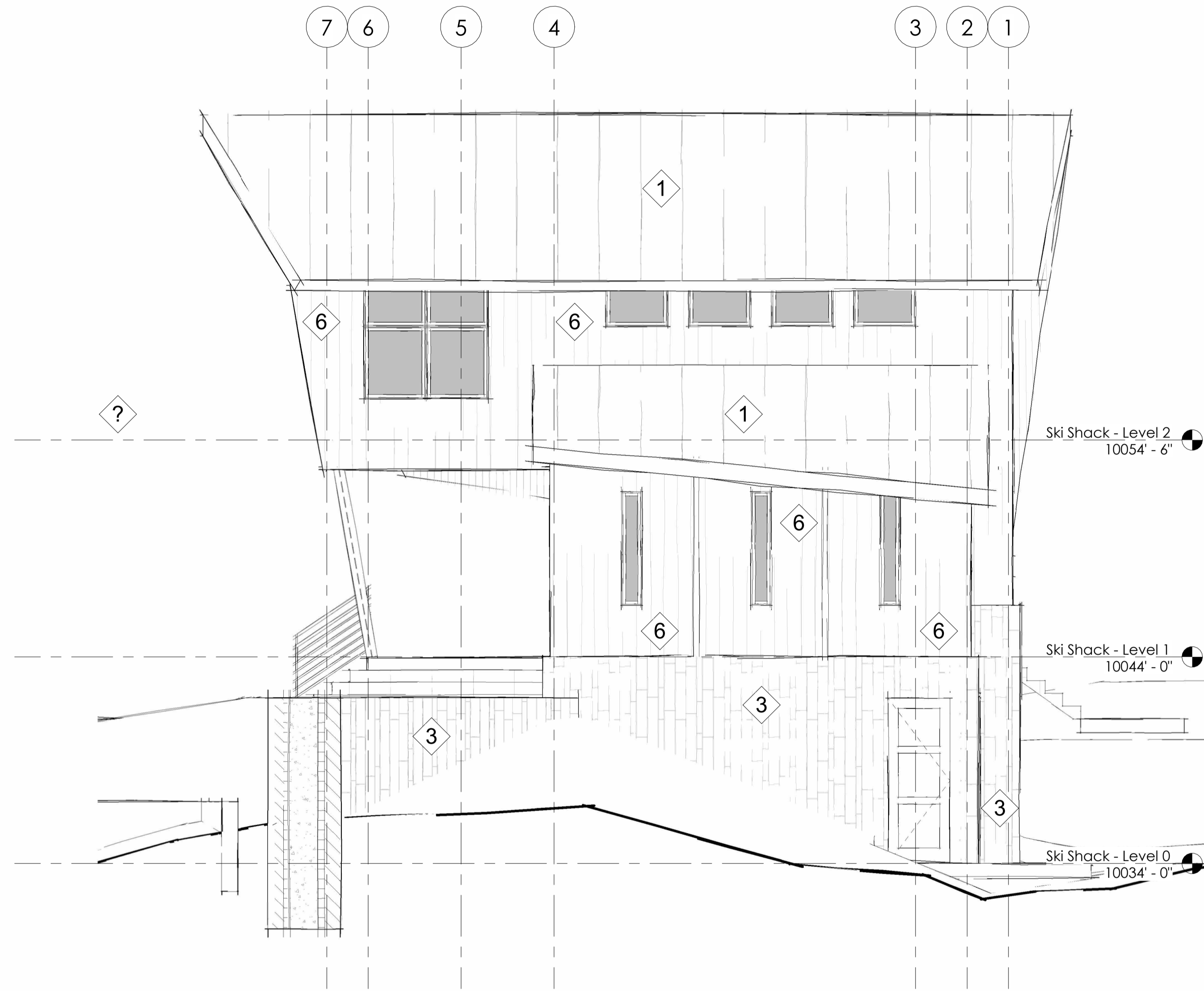
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**A3.4**

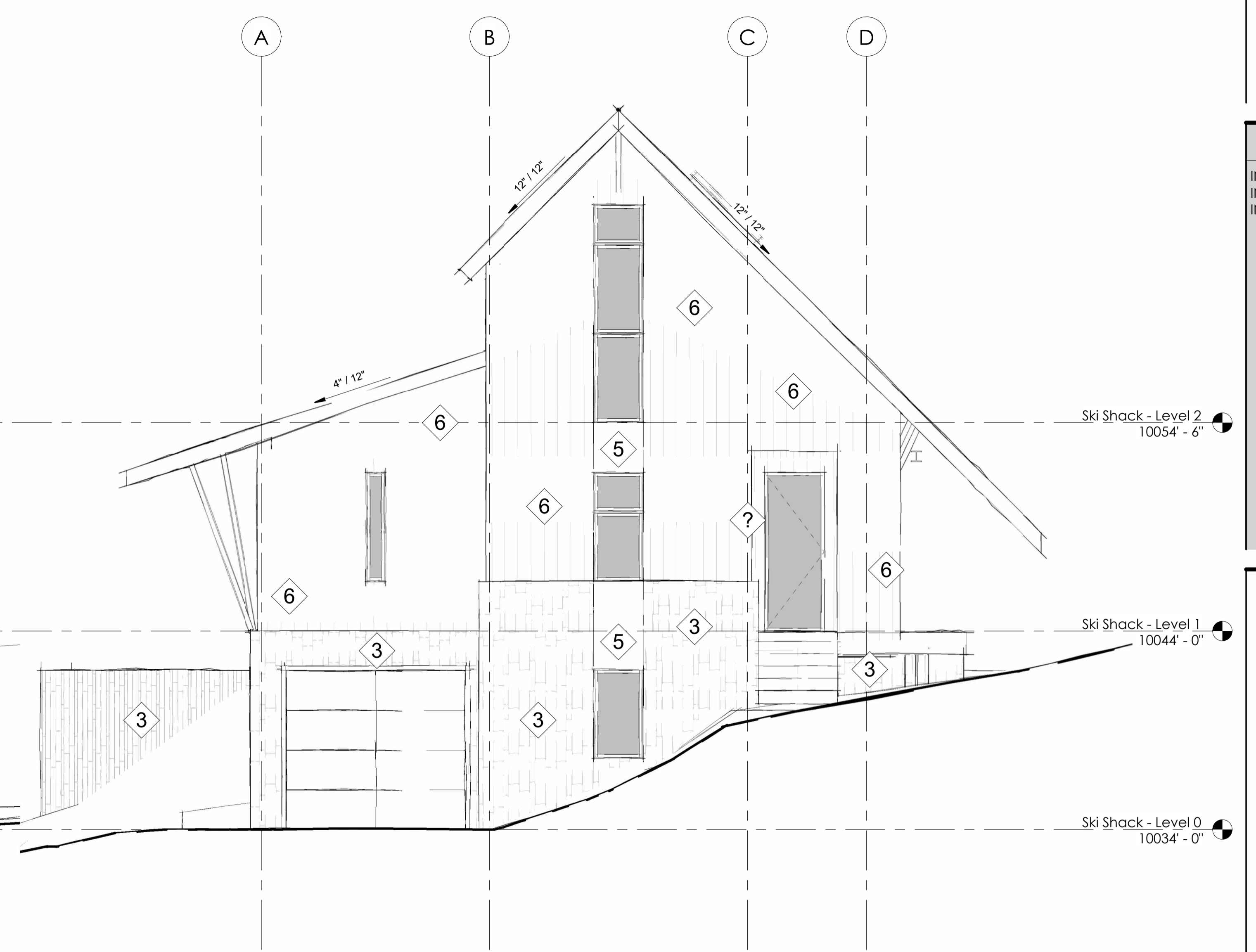


**Submissions**

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW	23.07.21
INITIAL DRB2	23.10.09



**2** Ski Shack - South Elevation  
SCALE 0 1 2 3 4 1/4" = 1'-0"



**1** Ski Shack - East Elevation  
SCALE 0 1 2 3 4 1/4" = 1'-0"

*SKI Shack*

Mountain Village, CO  
81435

Exterior Elevations - Ski Shack

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**SKI SHACK EXTERIOR MATERIAL AREA CALCULATIONS**

MATERIAL	TOTAL AREA	PERCENTAGE
STONE VENEER	878.8 SF	35.3% > 35% MIN.
GLAZING	575.1 SF	23.1% < 40% MAX.
STEEL PLATE SIDING / ACCENT	52.3 SF	2.1%
WOOD SIDING	983.4 SF	39.5%
<b>TOTAL MATERIAL</b>	<b>2,489.5 SF</b>	<b>100%</b>

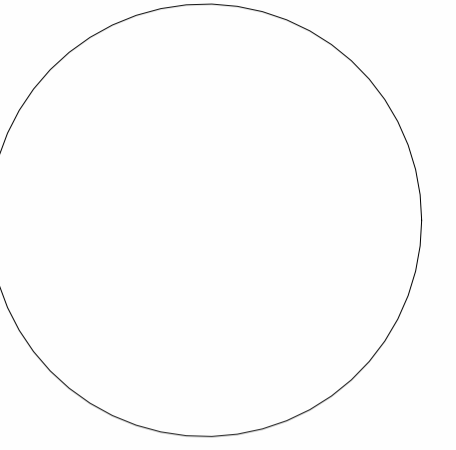
**MATERIAL LEGEND**

STANDING SEAM	STEEL PLATES	STONE VENEER	BOARD FORMED CONCRETE	STEEL PANELS	VERTICAL WOOD SIDING

- EXTERIOR ELEVATION GENERAL NOTES**
- REFER TO A8 SERIES SHEETS FOR ASSEMBLY SYSTEM DETAILS.
  - REFER TO A9 SERIES SHEETS FOR DOOR & WINDOW SCHEDULES, ELEVATIONS, AND DETAILS.
  - CONTRACTOR TO PROVIDE SAMPLES ON-SITE OF ALL EXTERIOR MATERIALS FOR REVIEW AND APPROVAL BY OWNER AND ARCHITECT.

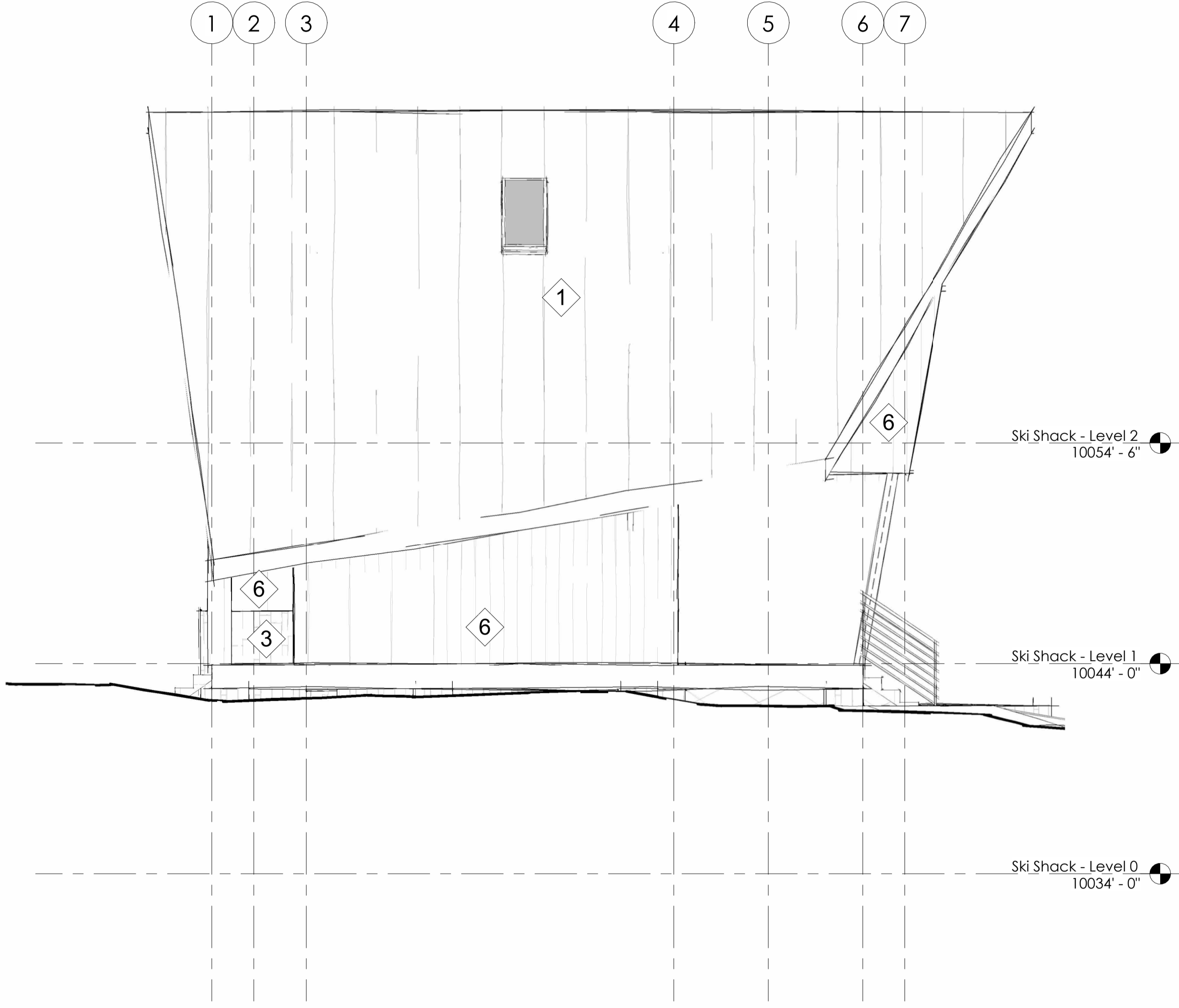
**A3.5**





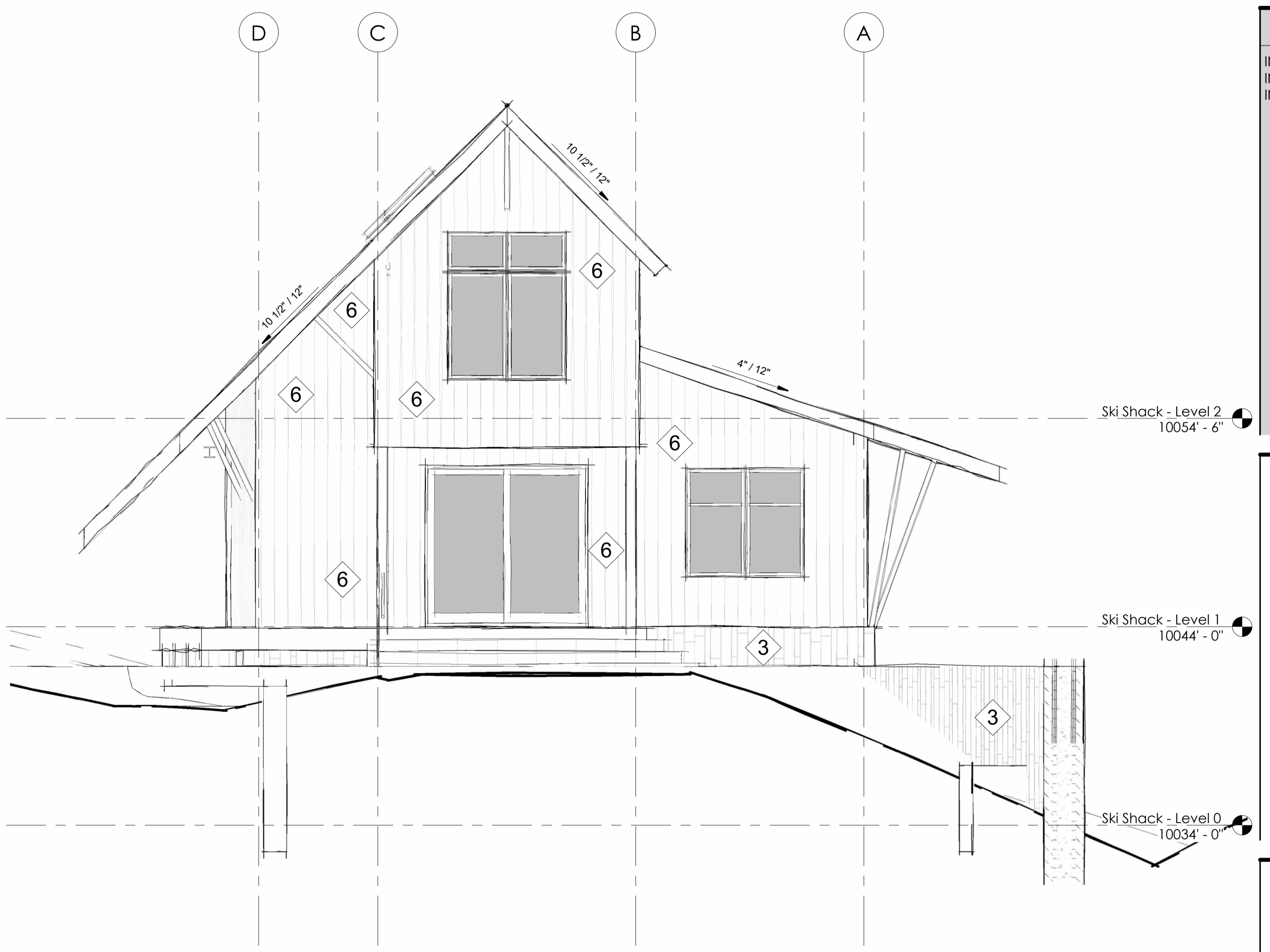
**Submissions**

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW	23.07.21
INITIAL DRB2	23.10.09



**2** Ski Shack - North Elevation

SCALE 0 1 2 3 4 1/4" = 1'-0"



**1** Ski Shack - West Elevation

SCALE 0 1 2 3 4 1/4" = 1'-0"

*SKI Shack*

Mountain Village, CO  
81435

Exterior Elevations - Ski Shack

**SKI SHACK EXTERIOR MATERIAL AREA CALCULATIONS**

MATERIAL	TOTAL AREA	PERCENTAGE
STONE VENEER	878.8 SF	35.3% > 35% MIN.
GLAZING	575.1 SF	23.1% < 40% MAX.
STEEL PLATE SIDING / ACCENT	52.3 SF	2.1%
WOOD SIDING	983.4 SF	39.5%
<b>TOTAL MATERIAL</b>	<b>2,489.5 SF</b>	<b>100%</b>

**MATERIAL LEGEND**

STANDING SEAM	STEEL PLATES	STONE VENEER	BOARD FORMED CONCRETE	STEEL PANELS	VERTICAL WOOD SIDING

- EXTERIOR ELEVATION GENERAL NOTES**
- REFER TO A8 SERIES SHEETS FOR ASSEMBLY SYSTEM DETAILS.
  - REFER TO A9 SERIES SHEETS FOR DOOR & WINDOW SCHEDULES, ELEVATIONS, AND DETAILS.
  - CONTRACTOR TO PROVIDE SAMPLES ON-SITE OF ALL EXTERIOR MATERIALS FOR REVIEW AND APPROVAL BY OWNER AND ARCHITECT.

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Window Schedule								
Tag	Level	Room	Width	Height	Finish Frame Height	Operation	Head/Jamb/Sill	Comments
001	Level 0		1' - 6"	5' - 6"	8' - 0"			
002	Level 0		1' - 6"	5' - 6"	8' - 0"			
003	Level 0		1' - 6"	5' - 6"	8' - 0"			
004	Level 0		1' - 6"	5' - 6"	8' - 0"			
005	Level 0		1' - 6"	5' - 6"	8' - 0"			
006	Level 0		2' - 6 1/4"	5' - 6"	8' - 0"	Fixed		
007	Level 0		6' - 0 1/4"	5' - 6"	8' - 0"	Fixed		
101	Level 1		1' - 6"	10' - 0"	10' - 0"			
102	Level 1		1' - 0"	5' - 0"	7' - 6"			
103	Level 1		1' - 0"	5' - 6"	13' - 0"			
104	Level 1		1' - 0"	5' - 0"	7' - 6"			
105	Level 1		1' - 0"	3' - 0"	10' - 6"			
106	Level 1		2' - 0"	5' - 0"	7' - 6"			
107	Level 1		2' - 0"	5' - 0"	7' - 6"			
108	Level 1		1' - 6"	4' - 6"	7' - 6"			
109	Level 1		1' - 6"	2' - 6"	10' - 0"			
110	Level 1		4' - 0"	2' - 6"	10' - 0"			
111	Level 1		4' - 0"	2' - 6"	10' - 0"			
112	Level 1		4' - 0"	10' - 0"	10' - 0"			
113	Level 1		4' - 0"	2' - 6"	12' - 6"			
114	Level 1		4' - 0"	10' - 0"	10' - 0"			
115	Level 1		4' - 0"	2' - 6"	12' - 6"			
116	Level 1		4' - 0"	10' - 0"	10' - 0"			
117	Level 1		4' - 0"	2' - 6"	12' - 6"			
118	Level 1		4' - 0"	7' - 6"	10' - 0"			
119	Level 1		4' - 0"	2' - 6"	12' - 6"			
120	Level 1		4' - 0"	2' - 6"	12' - 6"			
121	Level 1		4' - 0"	7' - 6"	10' - 0"			
122	Level 1		4' - 0"	2' - 6"	12' - 6"			
123	Level 1		3' - 0"	10' - 0"	12' - 6"			
124	Level 1		3' - 0"	10' - 0"	12' - 6"			
125	Level 1		3' - 0"	2' - 6"	15' - 0"			
126	Level 1		3' - 0"	10' - 0"	12' - 6"			
127	Level 1		3' - 0"	2' - 6"	15' - 0"			
128	Level 1		3' - 0"	2' - 6"	17' - 6"			
129	Level 1		3' - 0"	7' - 6"	7' - 6"			
130	Level 1		3' - 0"	2' - 6"	10' - 0"			
131	Level 1		2' - 0"	7' - 6"	10' - 0"			
201	Level 2		1' - 6"	4' - 6"	3' - 6"			
202	Level 2		1' - 6"	2' - 6"	6' - 0"			
203	Level 2		3' - 6"	4' - 6"	3' - 6"			
204	Level 2		3' - 6"	2' - 6"	6' - 0"			
205	Level 2		3' - 0"	6' - 0"	6' - 0"			
206	Level 2		3' - 0"	2' - 0"	8' - 0"			
207	Level 2		3' - 0"	6' - 0"	6' - 0"			
208	Level 2		3' - 0"	2' - 0"	8' - 0"			
209	Level 2		3' - 0"	2' - 3"	2' - 3"			
210	Level 2		3' - 0"	5' - 9"	8' - 0"			
211	Level 2		3' - 0"	2' - 3"	2' - 3"			
212	Level 2		3' - 0"	5' - 9"	8' - 0"			
213	Level 2		3' - 0"	9' - 0"	11' - 3"	Fixed		
214	Level 2		3' - 0"	9' - 0"	11' - 3"	Fixed		
215	Level 2		3' - 0"	9' - 0"	11' - 3"	Fixed		
216	Level 2		3' - 0"	9' - 0"	11' - 3"	Fixed		
217	Level 2		3' - 0"	9' - 0"	11' - 3"	Fixed		
218	Level 2		3' - 0"	9' - 0"	11' - 3"	Fixed		
219	Level 2		3' - 0"	9' - 0"	11' - 3"	Fixed		
220	Level 2		3' - 0"	9' - 0"	11' - 3"	Fixed		
221	Level 2		3' - 0"	2' - 0"	11' - 3"			
222	Level 2		3' - 0"	2' - 6"	10' - 6"			
223	Level 2		3' - 0"	8' - 0"	8' - 0"			
224	Level 2		3' - 0"	2' - 6"	10' - 6"			
225	Level 2		3' - 0"	2' - 6"	10' - 6"			
226	Level 2		3' - 0"	8' - 0"	8' - 0"			
227	Level 2		3' - 0"	2' - 6"	10' - 6"			
228	Level 2		2' - 0"	5' - 6"	6' - 0"			
229	Level 2		2' - 0"	5' - 6"	8' - 0"			
230	Level 2		2' - 6"	4' - 6"		Fixed		Skylight
S-001	Ski Shack - Level 0		2' - 6"	4' - 6"	8' - 1"			
S-101	Ski Shack - Level 1		2' - 6"	3' - 6"	6' - 0"			
S-102	Ski Shack - Level 1		2' - 6"	2' - 0"	8' - 0"			
S-103	Ski Shack - Level 1		3' - 0"	5' - 6"	8' - 0"	Fixed		
S-104	Ski Shack - Level 1		3' - 0"	5' - 6"	8' - 0"	Fixed		
S-105	Ski Shack - Level 1		1' - 0"	5' - 6"	8' - 0"			
S-106	Ski Shack - Level 1		1' - 0"	5' - 6"	8' - 0"			
S-107	Ski Shack - Level 1		1' - 0"	5' - 6"	8' - 0"			
S-108	Ski Shack - Level 1		1' - 0"	5' - 6"	8' - 0"			
S-201	Ski Shack - Level 2		2' - 6"	4' - 6"	4' - 6"			
S-202	Ski Shack - Level 2		2' - 6"	4' - 6"	9' - 0"			
S-203	Ski Shack - Level 2		2' - 6"	2' - 0"	11' - 0"			
S-204	Ski Shack - Level 2		3' - 0"	2' - 0"	7' - 6"			
S-205	Ski Shack - Level 2		3' - 0"	2' - 0"	7' - 6"			
S-206	Ski Shack - Level 2		3' - 0"	2' - 0"	7' - 6"			
S-207	Ski Shack - Level 2		3' - 0"	2' - 0"	7' - 6"			
S-208	Ski Shack - Level 2		3' - 0"	3' - 6"	5' - 6"			
S-209	Ski Shack - Level 2		3' - 0"	2' - 0"	7' - 6"			
S-210	Ski Shack - Level 2		3' - 0"	3' - 6"	5' - 6"			
S-211	Ski Shack - Level 2		3' - 0"	5' - 6"	7' - 6"			
S-211	Ski Shack - Level 2		3' - 0"	2' - 0"	7' - 6"			

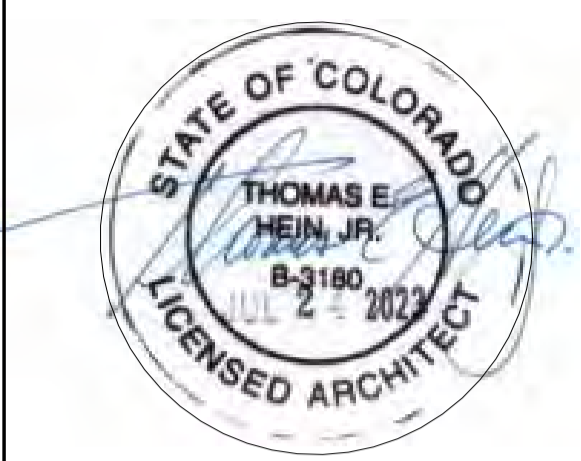
Window Schedule								
Tag	Level	Room	Width	Height	Finish Frame Height	Operation	Head/Jamb/Sill	Comments
S-213	Ski Shack - Level 2		3' - 0"	2' - 0"	9' - 6"			
S-214	Ski Shack - Level 2		3' - 0"	5' - 6"	7' - 6"			
S-215	Ski Shack - Level 2		3' - 0"	2' - 0"	9' - 6"			
S-216	Ski Shack - Level 2		2' - 0"	4' - 6"		Fixed		Skylight

Door Schedule - Interior Doors						
Tag	Level	Room	Width	Height	Operation	Comments
003	Level 0		2' - 8"	8' - 0"		
004	Level 0		2' - 8"	8' - 0"		
005	Level 0		4' - 0"	8' - 6"		
006	Level 0		3' - 0"	8' - 0"		
007	Level 0		2' - 8"	8' - 0"		
008	Level 0		2' - 8"	8' - 0"		
009	Level 0		2' - 6"	8' - 0"		
010	Level 0		2' - 6"	8' - 0"		
012	Level 0		2' - 8"	8' - 0"		
014	Level 0		2' - 6"	8' - 0"		
015	Level 0		2' - 6"	8' - 0"		
102	Level 1		2' - 6"	8' - 0"		
103	Level 1		2' - 6"	8' - 0"		
104	Level 1		2' - 10"	8' - 0"		
106	Level 1		2' - 10"	8' - 0"		
107	Level 1		2' - 6"	8' - 0"		
108	Level 1		2' - 6"	8' - 0"		
109	Level 1		2' - 4"	8' - 0"		
110	Level 1		2' - 10"	8' - 0"		
113	Level 1		2' - 6"	8' - 0"		
201	Level 2		3' - 0"	8' - 0"		
202	Level 2		2' - 6"	8' - 0"		
203	Level 2		2' - 6"	8' - 0"		
204	Level 2		2' - 6"	8' - 0"		
206	Level 2		2' - 6"	8' - 0"		
207	Level 2		3' - 0"	7' - 0"		
S-101	Ski Shack - Level 1		2' - 6"	8' - 0"		
S-102	Ski Shack - Level 1		2' - 8"	8' - 0"		
S-103	Ski Shack - Level 1		2' - 6"	8' - 0"		
S-104	Ski Shack - Level 1		2' - 6"	8' - 0"		

Door Schedule - Exterior Doors						
Tag	Level	Room	Width	Height	Operation	Comments
E-001	Level 0		9' - 0"	8' - 0"		Garage Door
E-002	Level 0		9' - 0"	8' - 0"		Garage Door
E-011	Level 0		6' - 2 3/4"	8' - 0"		Exterior
E-013	Level 0		6' - 2 3/4"	8' - 0"		Exterior
E-101	Level 1		3' - 6"	10' - 0"		Exterior
E-105	Level 1		6' - 0"	9' - 10"		Exterior
E-111	Level 1		6' - 0"	9' - 10"		Exterior
E-112	Level 1		12' - 0"	10' - 0"		Exterior 3-Panel Sliding Door
E-114	Level 1		12' - 0"	10' - 0"		Exterior 3-Panel Sliding Door
E-115	Level 1		16' - 0"	10' - 0"		Exterior 4-Panel Sliding Door
E-205	Level 2		3' - 0"	8' - 0"		Exterior
S-E01	Ski Shack - Level 0		9' - 0"	8' - 0"		
S-E02	Ski Shack - Level 0		3' - 0"	8' - 0"		
S-E03	Ski Shack - Level 1		3' - 0"	8' - 0"		
S-E04	Ski Shack - Level 1		8' - 2 3/4"	8' - 0"		

**Tommy Hein**  
ARCHITECTS

Box 3327 108 S. Oak St. Penthouse  
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**Submissions**

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
INITIAL DRB2	23.10.09

*133 Sundance*

Mountain Village, CO  
81435

**Door & Window Schedules**

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**A9.1**



## DEVELOPMENT REFERRAL FORM

Planning & Development Services  
Planning Division  
455 Mountain Village Blvd. Ste. A  
Mountain Village, CO 81435  
(970) 728-1392

### Referral Agency Comments

#### Lot 926R, 133 Sundance

#### Lane:

- 1) A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.
- 2) An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.
- 3) Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
- 4) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
- 5) Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.
- 6) A Knox box is recommended at the main entrance on the address side for emergency access.

Claire,

I spoke with Dave Ballode about the utility plan. He will need to show the sewer line routing 50' away from our water well. I also confirmed that the 13' gravel shoulder is for Town and TSG maintenance vehicles. This will make the driveway extremely wide which can work for Public Works but may not be the best look for the neighborhood.

Finn

Forester:

The sit plan (A1.0) does not show trees that will need to be removed as a result of the additional space needed, based on the indicated excavation plan contour lines, the space that will be need for movement of the excavator machine, and space needed for the installation of the building foundation on the slope. The Site Plan also does not indicate the removal of trees that will be needed inside the Zone 1 fire mitigation boundary (all trees within 15 feet of the building and associated decks must be removed). The site plan does not consider tree removals associated with the extra space that will be needed for the installation of the driveway and other impermeable surfaces.

All trees that are planned to be retained must have tree protection fencing installed outside the dripline of the trees to be preserved to indicate tree protection zones (TPZ). No construction activities shall be permitted in any TPZ, including excavation, backfill, staging, material storage, equipment setup, staging, or human entry.

The plan needs to include a fire mitigation sheet.

The plan needs to include landscaping sheets indicating the full scope of the final landscaping design.