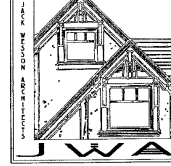


NARRATIVE



12.29.23

To: Town of Mountain Village Planner
Community Development Department
Design Review Board
Mountain Village, CO

From: Jack Wesson
Jack Wesson Architects, Inc.
109 E. Colorado Ave. #2, Telluride CO
P.O. Box 2051
Telluride, CO 81435
(970) 519.1551
jwesson@me.com.com

Re: Design Review Submission Narrative
for a Single Family Residence
Lot 166AR2-10, Stonegate Drive, Mountain Village

Project Outline:

This single family residence is proposed to be built on Lot 166AR2-10 (lot size 22,843.5 sf). The interior gross heated area is approximately 6301 s.f., 175 s.f. of mechanical and 873 s.f. of garage area for a total of 7349 sf of conditioned space. The design esthetic is a rustic, mining vernacular in material and massing components as required by the Mountain Village Design Review regulations. The exterior materials of both the main house and the cabin will incorporate stained wood siding and timbers, stone and mill-scale steel finish railings and bonderized metal roofing and have a main 12:12 gable roof with shed roof forms at a 6:12.

The project is located on a radically steep site with large areas of bedrock and no vegetation. Due to the extreme nature of the site, we are requesting for a variance in the height calculations. The roof is mostly compliant with a small section of the eastern end of the main gable and elevator tower slightly above the 40' main. Our average height is at 29.71'.

All fireplaces will be natural gas.

Exterior Material Requirements:

The exterior materials meet the surface area criteria.

stone veneer	35.62% (exceeds 35%)
fenestration	25.90%
wood	10.29%
metal	28.19%

Land Use Ordinance Compliance:

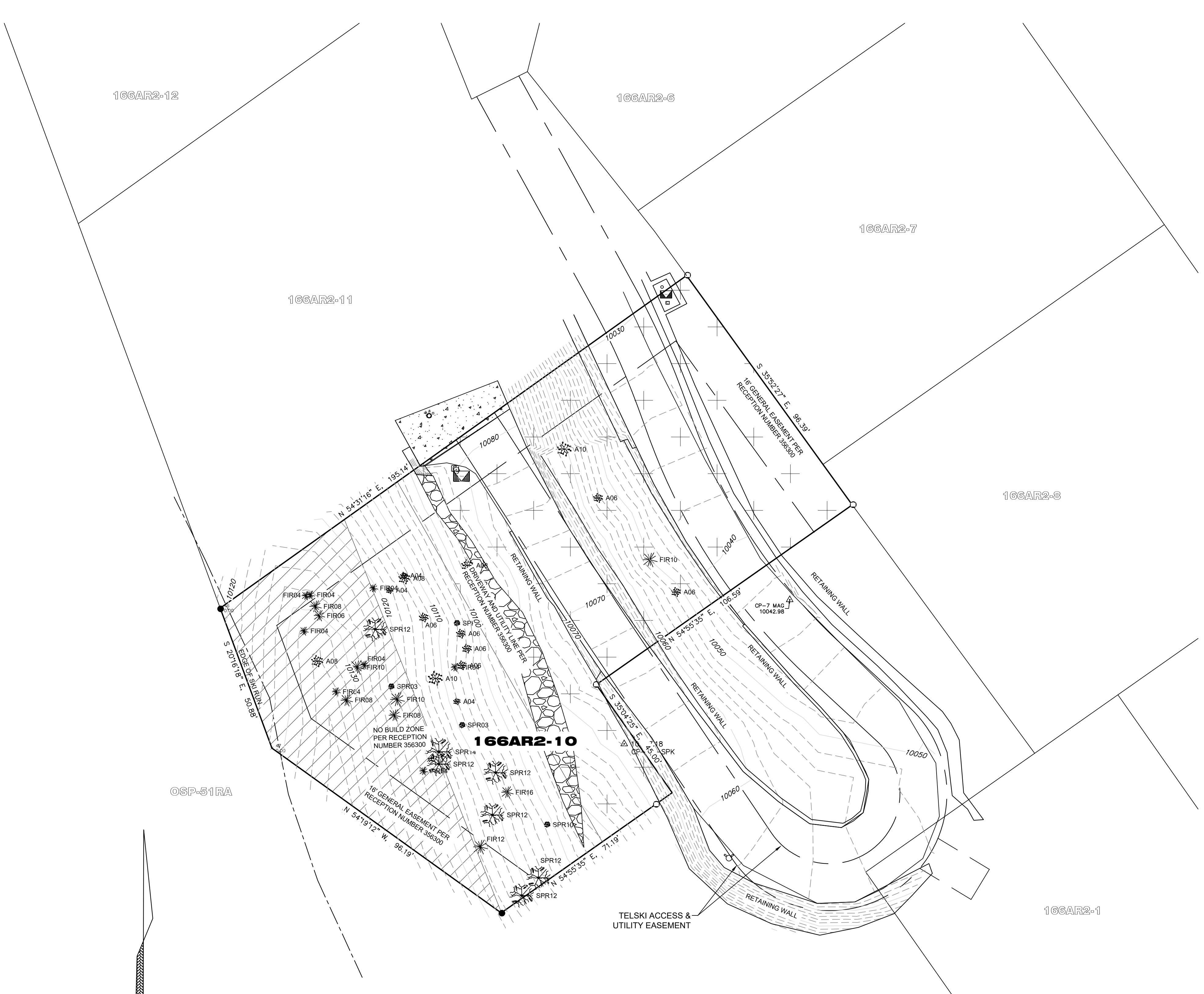
Lot Area: approximately 22,843.5 sf
Site Coverage: 4,495 s.f. or 19.7%

Main House

Floor Area Living: 6301 s.f. plus 175 s.f. mechanical
Floor Area Garage 873 s.f.
Ave. Ht. 29.71" (30' average allowed)
Max. Ht. VARIANCE REQUESTED for extreme site conditions
56'-11½" at the elevator tower to pre construction grade
44'-10" at the main gable
(35' + 5' max. allowed)

Sincerely,

Jack Wesson

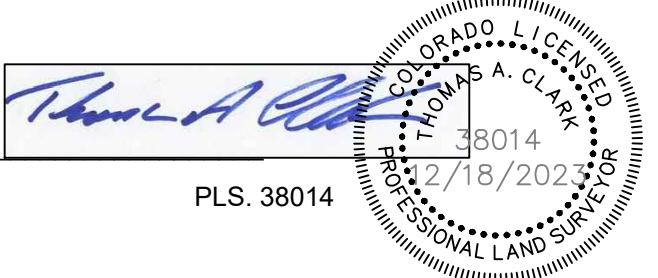


PROPERTY DESCRIPTION:

LOT 166AR2-10, TELLURIDE MOUNTAIN VILLAGE, ACCORDING TO THE REPLAT OF LOT 166-AR, OSP-51 AND OS-166 TO LOTS 166AR2-1 THRU 166AR2-15, PARCEL A, OSP-51A, OSP-51RB AND OS-166R RECORDED APRIL 4, 2003 IN PLAT BOOK 1 AT PAGE 3116, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

SURVEYOR'S CERTIFICATE:

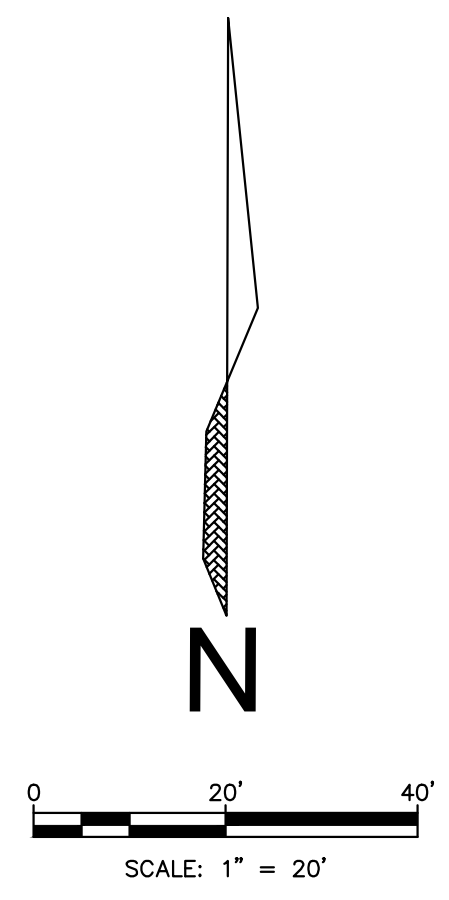
I, Thomas A. Clark, being a Colorado Licensed Land Surveyor, do hereby certify that this Existing Conditions Survey of Lot 166AR2-10, Telluride Mountain Village was made by me and under my direct supervision, responsibility, and checking. This Existing Conditions Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.



Thomas A. Clark PLS. 38014

NOTES:

- Easement research and property description provided by LAND TITLE GUARANTEE COMPANY - TELLURIDE, Order Number TTLR86015153 effective on 11/27/2023 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Map 008113C0300C dated September 3, 1988 this parcel is within Zone X; Areas determined to be outside 500 year plain.
- Field work was performed in December 2023.
- Elevation datum for this survey are based on found control benchmark "CP 7-MAG" that elevation being 10042.98.
- This survey is valid only if a printed or electronic copy has a seal and signature of the surveyor noted within the statement above.
- This survey is prepared for the exclusive use of the party or parties indicated within the surveyor's statement. Said statement does not extend to any unnamed person or parties without an expressed statement by the surveyor naming said entities.
- NOTICE: According to Colorado law you must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.



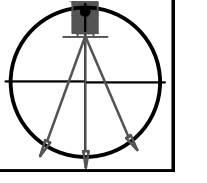
CONTOUR INTERVAL=2'

TREE CHART

- SPRUCE TREE WITH TRUNK DIAMETER INDICATED IN INCHES
- FIR TREE WITH TRUNK DIAMETER INDICATED IN INCHES
- ASPEN TREE WITH TRUNK DIAMETER INDICATED IN INCHES

LEGEND:

- CONCRETE DRIVEWAY
- PAVED DRIVING SURFACE
- NO BUILD ZONE
- COMMON DRIVEWAY & UTILITY EASEMENT
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 28652
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 36577
- SURVEY CONTROL POINT
- TRANSFORMER
- TELEPHONE PEDESTAL
- COMMUNICATIONS PEDESTAL
- WATER SHUTOFF VALVE
- FIRE HYDRANT



166AR2-12

166AR2-6

166AR2-7

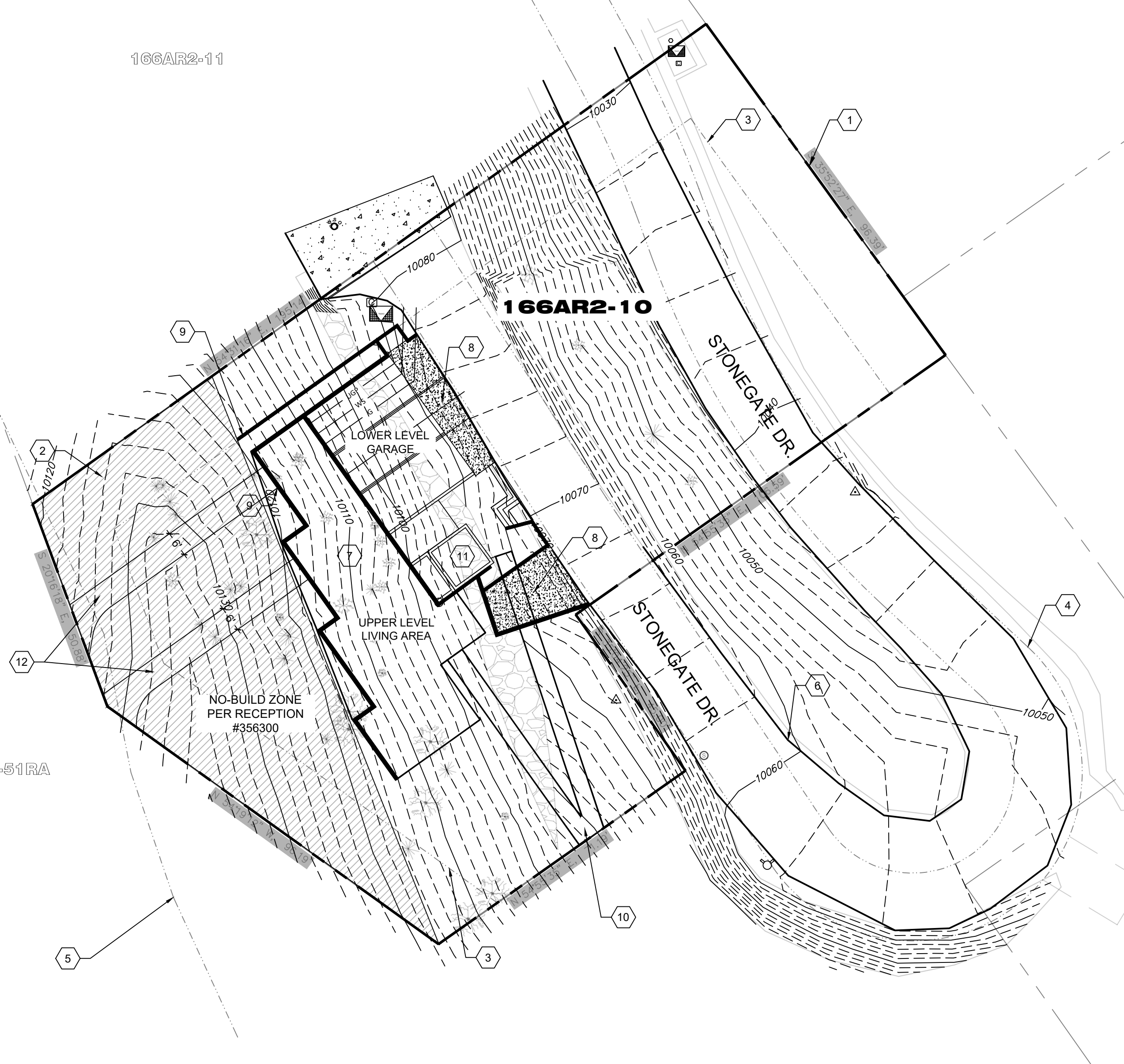
166AR2-11

166AR2-10

166AR2-8

OSP-51RA

166AR2-1



CONSTRUCTION KEY NOTES:

1. LOCATION OF PROPERTY LINE. REFER TO SURVEY PERFORMED BY ALL POINTS LAND SURVEYING LLC AND DATED DECEMBER 1, 2023 FOR ADDITIONAL INFORMATION
2. NO-BUILD ZONE PER RECEPTION NUMBER 356300
3. 16' GENERAL EASEMENT PER RECEPTION NUMBER 356300
4. TELSki ACCESS AND UTILITY EASEMENT
5. EDGE OF SKI RUN
6. EXISTING EDGE OF ASPHALT PAVEMENT
7. PROPOSED RESIDENCE
8. NEW HEATED CONCRETE DRIVEWAY
9. RETAINING WALL
10. ELEVATED STAIRWAY
11. 5 STORY ELEVATOR
12. 6' WIDE SKI ACCESS

GENERAL NOTES:

1. C.E.O.R. REFERS TO THE CIVIL ENGINEER OF RECORD, BLACK CANYON ENGINEERS (B.C.E., THE FIRM)
2. ALL NOTIFICATIONS REQUIRED & INFORMATION TO BE PROVIDED (E.G. PHOTOS, ETC.) TO THE C.E.O.R. SHALL BE IN WRITING VIA EMAIL TO INSPECTIONS@BLACKCANYONENGINEERS.COM. C.E.O.R. WILL RESPOND IN WRITING WHEN GIVING APPROVAL TO PROCEED (E.G. POURING CONCRETE AFTER REBAR/REINFORCEMENT INSPECTION), DO NOT COMMENCE WITHOUT WRITTEN APPROVAL.
3. OWNER/BUILDER/CONTRACTOR TO VERIFY ACCURACY OF BUILDING PLANS WITH ARCHITECT / DESIGNER OF RECORD (A.O.R.) MECHANICAL/ELECTRICAL/PLUMBING ENGINEER OF RECORD (M.E.O.R.), O.W.T.S. ENGINEER OF RECORD (O.E.O.R.) ROOF, FLOOR, ETC. PLANS AND NOTIFY S.E.O.R. OF ANY DISCREPANCIES PRIOR TO FORM PLACEMENT, MAT. PURCHASE AND CONSTRUCTION
4. THE C.E.O.R. SHALL BE NOTIFIED A MINIMUM OF 5 BUSINESS DAYS IN ADVANCE VIA EMAIL FOR ALL INSPECTIONS, INCLUDING ALL REBAR PLACEMENT PRIOR TO POURING. FURTHER INSPECTION PER LOCAL BUILDING CODES MAY BE REQUIRED
5. THE C.E.O.R. SHALL BE NOTIFIED IF ADVERSE OR POOR SOIL CONDITIONS OR WATER ARE ENCOUNTERED UPON EXCAVATION. FURTHER ENGINEERING MAY BE REQUIRED
6. VALID, ORIGINAL DOCUMENT ONLY WITH SIGNED SEAL
7. SPECIFICATIONS APPLY TO ALL PAGES HEREIN
8. DO NOT SCALE, USE PRINTED DIMS. ONLY
9. TOTAL CIVIL PAGES = 3, SIZE: ANSI-D, DO NOT SEPARATE SET (E.G. TO SUB-CONTRACTORS), SET IS DESIGNED TO BE VIEWED IN ITS ENTIRETY.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE YEAR ADDITION OF THE INTERNATIONAL BUILDING CODE (IBC) OR INTERNATIONAL RESIDENTIAL CODE (IRC) ADOPTED BY THE AUTHORITY HAVING JURISDICTION (A.H.J.). ADDITIONALLY, ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL BUILDING ORDINANCES, OR AS SPECIFICALLY NOTED ON THESE PLANS WITH THE MOST STRINGENT / CONSERVATIVE CONDITIONS GOVERNING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO BE FAMILIAR WITH AND COMPLY WITH THESE REQUIREMENTS.
11. DUE TO CHANGING BUILDING CODES AND THE EVOLVING NATURE OF ENGINEERING, THESE PLANS ARE VALID FOR ONE YEAR FROM DATE OF ISSUANCE. NOTIFY S.E.O.R. IF MORE TIME THAN THIS HAS ELAPSED FOR A REVIEW AND RE-ISSUANCE.

ADDITIONAL PROJECT SPECIFIC NOTES:

1. THESE PLANS ARE A CONCEPTUAL SET PREPARED FOR THE TOWN OF MOUNTAIN VILLAGE DESIGN REVIEW BOARD (DRB) REVIEW. THIS PLAN SET IS NOT FOR PERMITTING, CONSTRUCTION, OR MATERIALS PURCHASE.

PLEASE NOTE: INSPECTION REQUESTS SHALL BE VIA EMAIL TO "INSPECTIONS@BLACKCANYONENGINEERS.COM"; SEE ADDITIONAL NOTES HEREIN.

A
C1

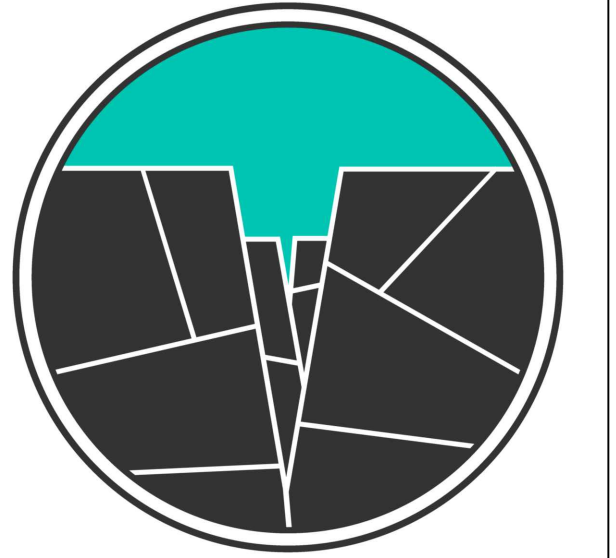
PLAN

SITE

SCALE: 1" = 20'



General Notes



BLACK CANYON
ENGINEERS



#	REVISION	DATE
0	DESCRIPTION OF REVISION	

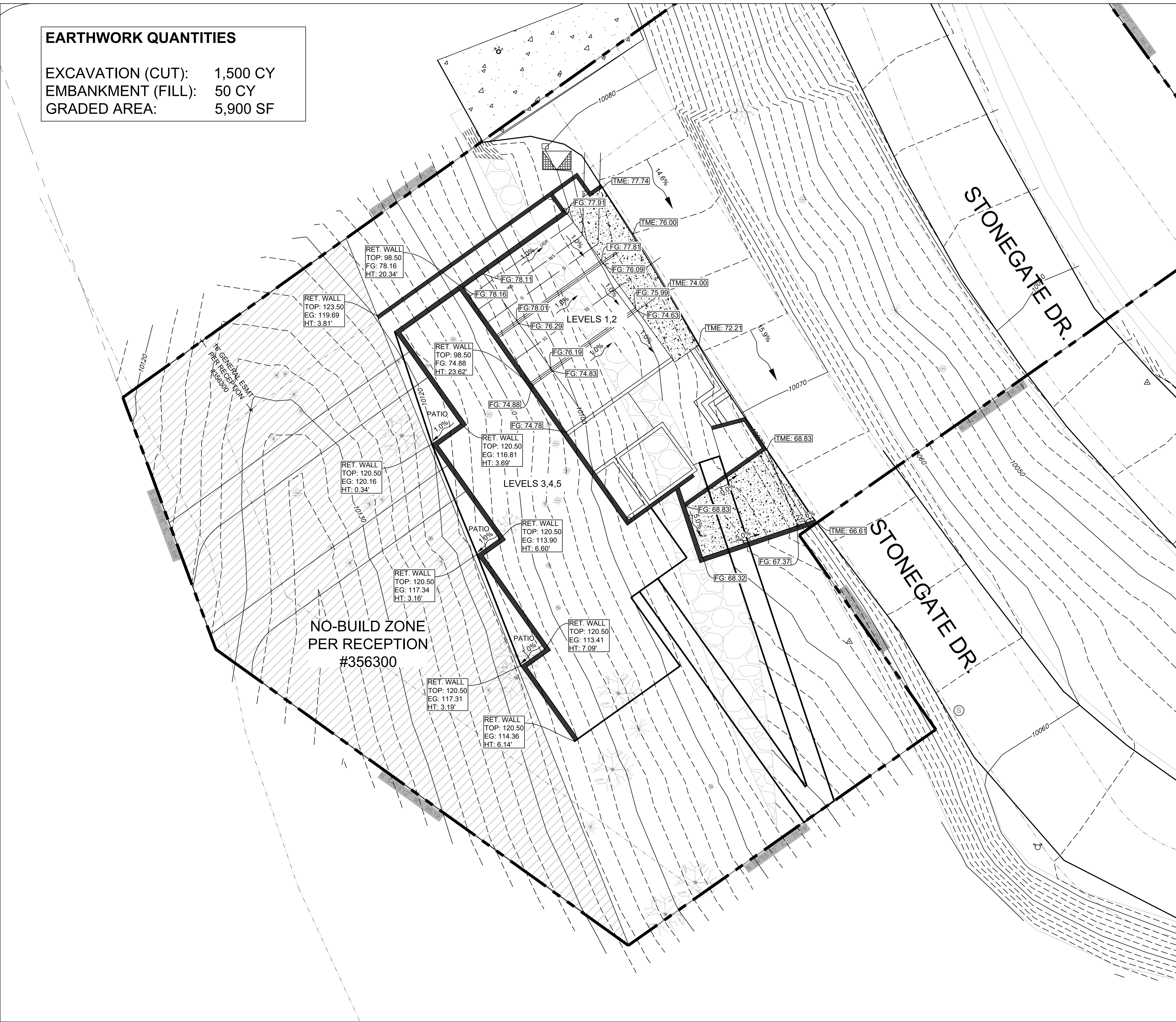
Firm Name and Address
 Black Canyon Engineers
 447 E. Main St.
 Montrose, CO 81401
 970-568-5391
 Support@BlackCanyonEngineers.com
 www.BlackCanyonEngineers.com

Project Name and Address
STONEGATE 10
LOT 508 MOUNTAIN
VILLAGE
TELLURIDE, CO

Project BCE122307	Sheet C1
Issue Date 12/29/23	
Scale As Noted	

EARTHWORK QUANTITIES

EXCAVATION (CUT): 1,500 CY
 EMBANKMENT (FILL): 50 CY
 GRADED AREA: 5,900 SF



A PLAN GRADING
 C2 SCALE: 1" = 10'


GENERAL NOTES:

1. LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE ONLY AND THEIR ACCURACY IS NOT GUARANTEED.
2. EXISTING CONTOURS AND FEATURES ARE BASED ON A TOPOGRAPHIC SURVEY PREPARED BY ALL POINTS LAND SURVEYING LLC AND DATED DECEMBER 1, 2023.
3. VERIFY EXISTING GRADES BEFORE PROCEEDING WITH GRADING WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED IN THE EXISTING GRADES OR DIMENSIONS GIVEN ON THE PLANS, NOTIFY THE C.E.O.R. BEFORE PROCEEDING ANY FURTHER WITH THE WORK.
4. DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES BEFORE COMMENCING WORK.
5. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN THE MEASURES OF THE BEST MANAGEMENT PRACTICES (BMP) PLAN. ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE PROVISIONS OF THE WATER POLLUTION CONTROL AND WATER QUALITY STANDARDS.
6. THE CONTRACTOR SHALL REMOVE ALL SILT AND DEBRIS RESULTING FROM HIS WORK AND DEPOSITED INTO DRAINAGE FACILITIES, ROADWAYS, AND OTHER AREAS.
7. FINISH FLOOR ELEVATIONS
 LEVEL 1: 10078.0
 LEVEL 2: 10088.0
 LEVEL 3: 10098.5
 LEVEL 4: 10109.5
 LEVEL 5: 10120.5


LEGEND:

- EG: XX.XXX EXISTING GRADE ELEVATION
- FG: XX.XXX FINISH GRADE ELEVATION
- SW: XX.XXX TOP OF SIDEWALK ELEVATION
- FL: XX.XXX FLOWLINE ELEVATION
- HP: XX.XXX HIGH POINT ELEVATION
- RIM: XX.XXX TOP OF MANHOLE ELEVATION
- AC: XX.XXX TOP OF ASPHALT PAVEMENT ELEVATION
- TC: XX.XXX TOP OF CURB ELEVATION
- BC: XX.XXX BOTTOM OF CURB ELEVATION
- TME TO MATCH EXISTING ELEVATION
- FLOW DIRECTION
- - - - - GRADE BREAK

General Notes



BLACK CANYON ENGINEERS



#	REVISION	DATE
0	DESCRIPTION OF REVISION	

Firm Name and Address
 Black Canyon Engineers
 447 E. Main St.
 Montrose, CO 81401
 970-568-5391
 Support@BlackCanyonEngineers.com
 www.BlackCanyonEngineers.com

Project Name and Address
STONEGATE 10
LOT 508 MOUNTAIN
VILLAGE
TELLURIDE, CO

<small>Project</small> BCE122307	<small>Sheet</small> C2
<small>Issue Date</small> 12/29/23	
<small>Scale</small> As Noted	



CONSTRUCTION KEY NOTES:

1. LOCATION OF PROPERTY LINE. REFER TO SURVEY PERFORMED BY ALL POINTS LAND SURVEYING LLC AND DATED DECEMBER 1, 2023 FOR ADDITIONAL INFORMATION
2. EXISTING TRANSFORMER
3. EXISTING TELEPHONE PEDESTAL
4. EXISTING COMMUNICATIONS PEDESTAL
5. EXISTING WATER MAIN LINE. LOCATION AND EXACT POINT OF CONNECTION (POC) TO BE COORDINATED WITH TOWN OF MOUNTAIN VILLAGE
6. EXISTING NATURAL GAS LINE. LOCATION AND EXACT POINT OF CONNECTION (POC) TO BE COORDINATED WITH THE UTILITY PROVIDER
7. APPROXIMATE LOCATION OF FIRE DEPARTMENT STANDPIPE. EXACT LOCATION TO BE COORDINATED WITH TELLURIDE FIRE PROTECTION DISTRICT
8. APPROXIMATE LOCATION OF FIRE HOSE ATTACHMENT. EXACT LOCATION TO BE COORDINATED WITH THE TELLURIDE FIRE PROTECTION DISTRICT

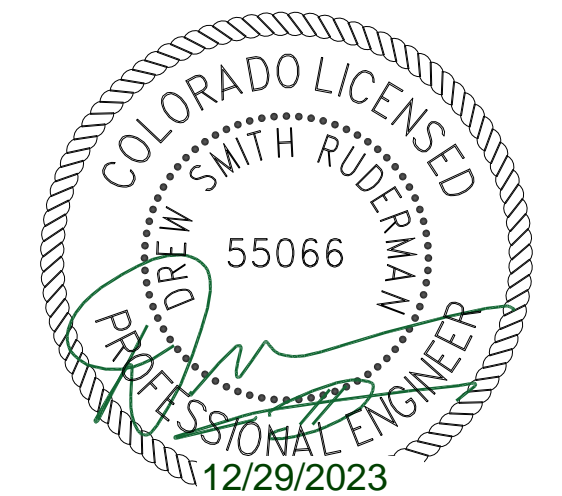
UTILITIES GENERAL NOTES:

1. ALL EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. LOCATIONS OF ALL UNDERGROUND SERVICES TO BE CONFIRMED WITH THE APPLICABLE UTILITY.
2. WATER AND SEWER SERVICE LINE CONSTRUCTION TO FOLLOW THE TOWN OF MOUNTAIN VILLAGE WATER AND SEWER RULES, REGULATIONS, AND FEES SECTION 13.6
3. ALL WATER AND SEWER CONNECTIONS SHALL BE MADE UNDER THE TOWN'S SUPERVISION.
4. SEWER SERVICE LINE SPECIFICATIONS
 - 4.1. PIPE: 4" SDR 35 PVC PIPE
 - 4.2. MINIMUM COVER: 6"
 - 4.3. MINIMUM GRADE: 1/4" PER 1'
5. ALL SEWER SERVICE LINES MUST HAVE A TRACER WIRE LAID WITH THE PIPE AT THE SAME DEPTH AND MUST HAVE A WARNING RIBBON INSTALLED BETWEEN (1) AND (2) ABOVE THE PIPE.
6. ALL POSSIBLE SEWER INFILTRATION POINTS IN THE SERVICE LINE AND IN THE BUILDING DURING THE CONSTRUCTION PHASE MUST BE SEALED FROM CONSTRUCTION DEBRIS. ALL EXTERIOR POINTS SUCH AS FLOOR DRAINS, TOILETS, SINKS, OR OTHER CONNECTIONS TO THE SEWER MUST BE SECURELY PLUGGED OFF FROM ANY CONSTRUCTION DEBRIS. A TOWN REPRESENTATIVE MUST APPROVE ALL CAPPING AND PLUGGING OFF.
7. ALL WATER SERVICE INSTALLATION SHALL INCLUDE A RADIO READ REMOTE.
8. WATER SERVICE LINE SPECIFICATIONS
 - 8.1. PIPE: TYPE K COPPER
 - 8.2. MINIMUM COVER: 8"
9. ALL WATER SERVICE LINES MUST BE INSTALLED WITH A LOCATE WIRE AT THE DEPTH OF THE PIPE. TO BE BROUGHT UP AT ALL CURBSTOPS. A WARNING RIBBON MUST BE INSTALLED BETWEEN ONE FOOT (1) AND TWO FEET (2) ABOVE THE PIPE. ALL SERVICE LINES MUST BE PRESSURE TESTED THE DAY OF INSTALLATION, WHETHER THEY ARE TESTED WITH WATER OR AIR.

General Notes



BLACK CANYON ENGINEERS

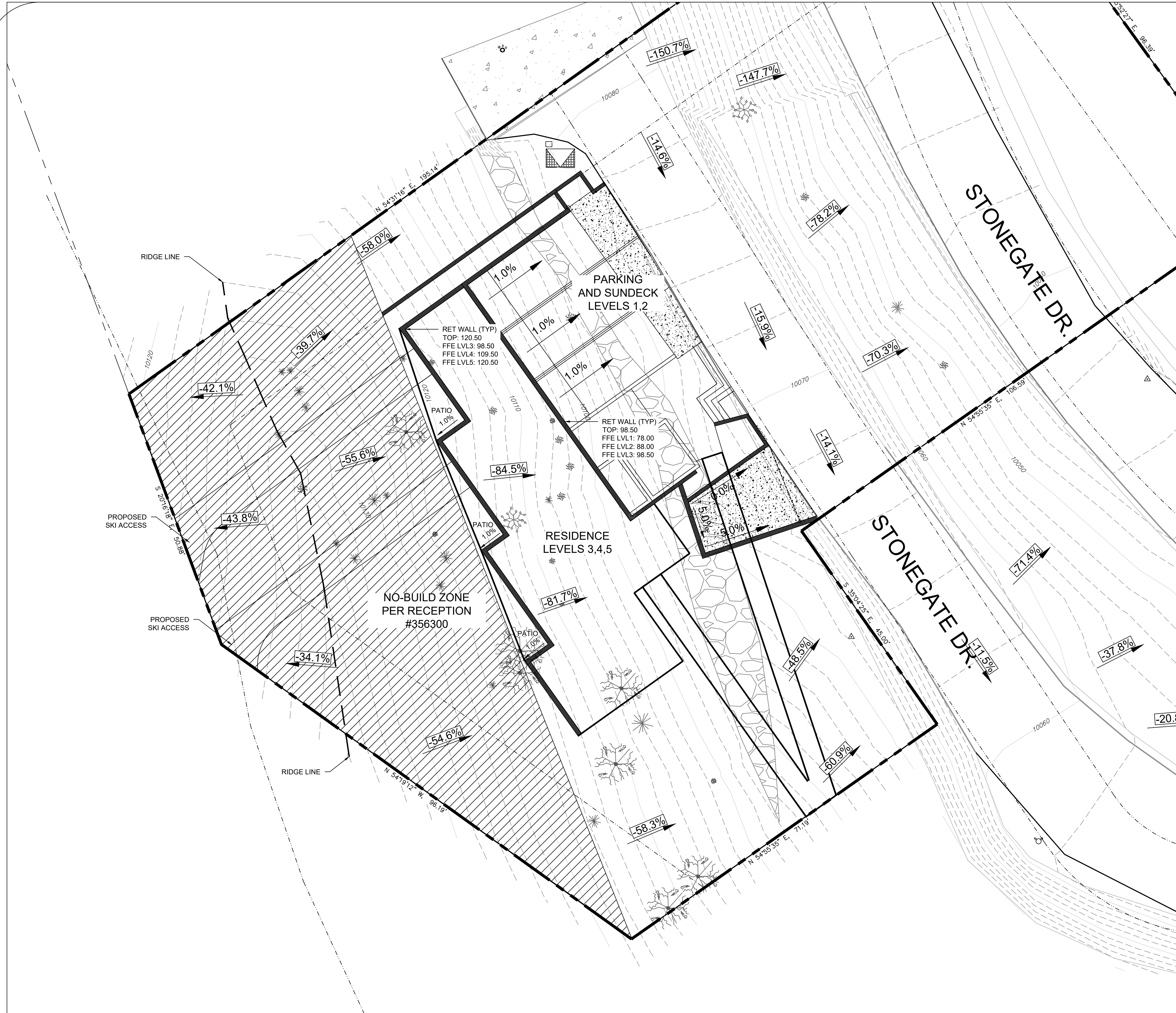


#	REVISION	DATE
0	DESCRIPTION OF REVISION	

Firm Name and Address
 Black Canyon Engineers
 447 E. Main St.
 Montrose, CO 81401
 970-568-5391
 Support@BlackCanyonEngineers.com
 www.BlackCanyonEngineers.com

Project Name and Address
STONEGATE 10
LOT 508 MOUNTAIN VILLAGE
TELLURIDE, CO

Project BCEI22307	Sheet C3
Issue Date 12/29/23	
Scale As Noted	



GENERAL NOTES:

- EXISTING CONTOURS AND FEATURES ARE BASED ON A TOPOGRAPHIC SURVEY PREPARED BY ALL POINTS LAND SURVEYING LLC AND DATED DECEMBER 1, 2023.
- PROPOSED GRADES TO MATCH EXISTING AT EDGE OF EXISTING ASPHALT ROADWAY
- PROPOSED FINISH FLOOR ELEVATIONS
 LEVEL 1: 10078.0
 LEVEL 2: 10088.0
 LEVEL 3: 10098.5
 LEVEL 4: 10109.5
 LEVEL 5: 10120.5

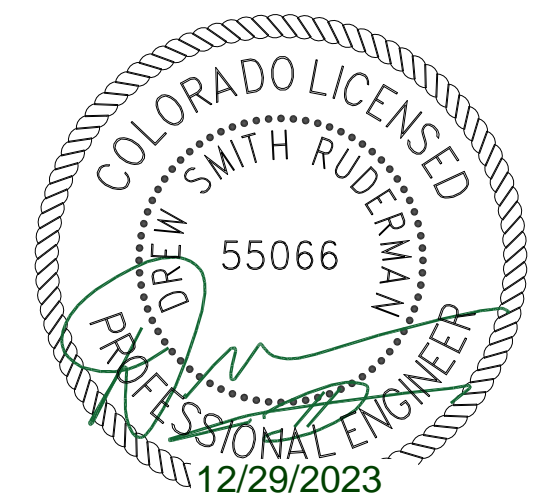
LEGEND:

- X% → EXISTING SLOPE
- X% → PROPOSED SLOPE
- GRADE BREAK

General Notes



BLACK CANYON ENGINEERS



#	REVISION	DATE
0	DESCRIPTION OF REVISION	

Firm Name and Address
 Black Canyon Engineers
 447 E. Main St.
 Montrose, CO 81401
 970-568-5391
 Support@BlackCanyonEngineers.com
 www.BlackCanyonEngineers.com

Project Name and Address
STONEGATE 10
LOT 508 MOUNTAIN
VILLAGE
TELLURIDE, CO

<small>Project</small> BCE122307	<small>Sheet</small> C4
<small>Issue Date</small> 12/29/23	
<small>Scale</small> As Noted	



JACK WESSON

ARCHITECTS INC.
109 E. Colorado #2
P.O. Box 2081
TELLURIDE, CO 81415
TEL: 970.728.9755
jack@wessonarch.com
www.jackwessonarchitects.com

STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
	12-8-23	219-DRB MATERIAL CALC
	11-30-23	219-DRB SITE PLANS
	7-13-23	SCHEMATIC DESIGN 2
	6-21-23	SCHEMATIC DESIGN 1

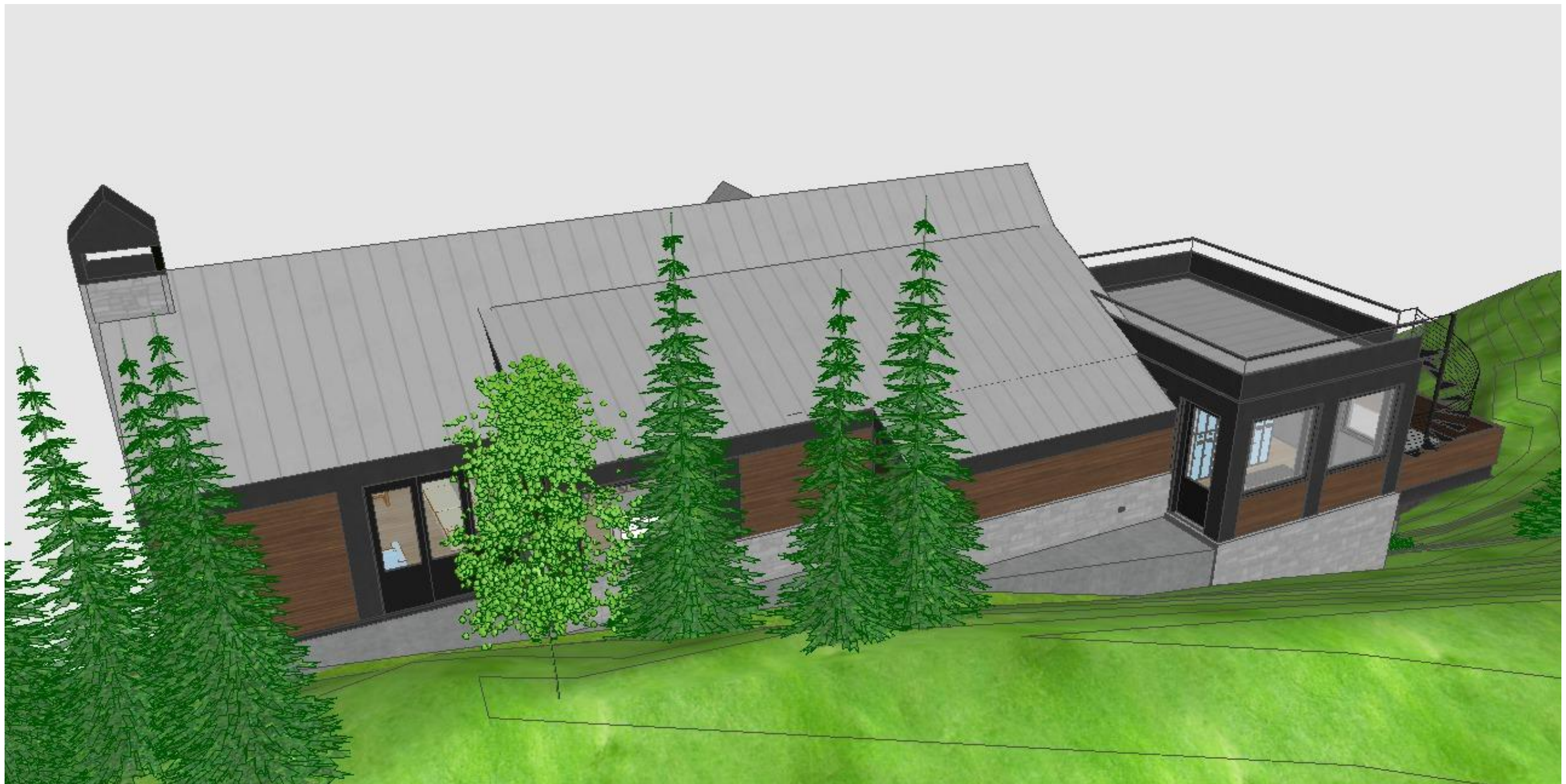
PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
© 2023 JWA
ARCHITECTS STAMP:

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
Perspectives

SHEET NUMBER:

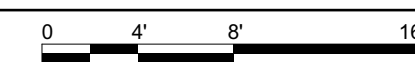
3D1



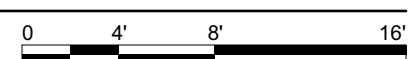
3 Perspective C
SCALE: 1:121.07



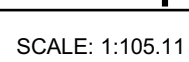
1 Perspective A
SCALE: 1/8" = 1'-0"



4 Perspective D
SCALE: 1/8" = 1'-0"



2 Perspective B
SCALE: 1:105.11



D:\WORK\STONEGATE LOT 10\DRAWING\STONEGATE 12-29-23.pln



JACK WESSON
 ARCHITECTS INC.
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 jack@wessonarch.com
 www.jackwessonarchitects.com

STONEGATE 10

NOT FOR CONSTRUCTION

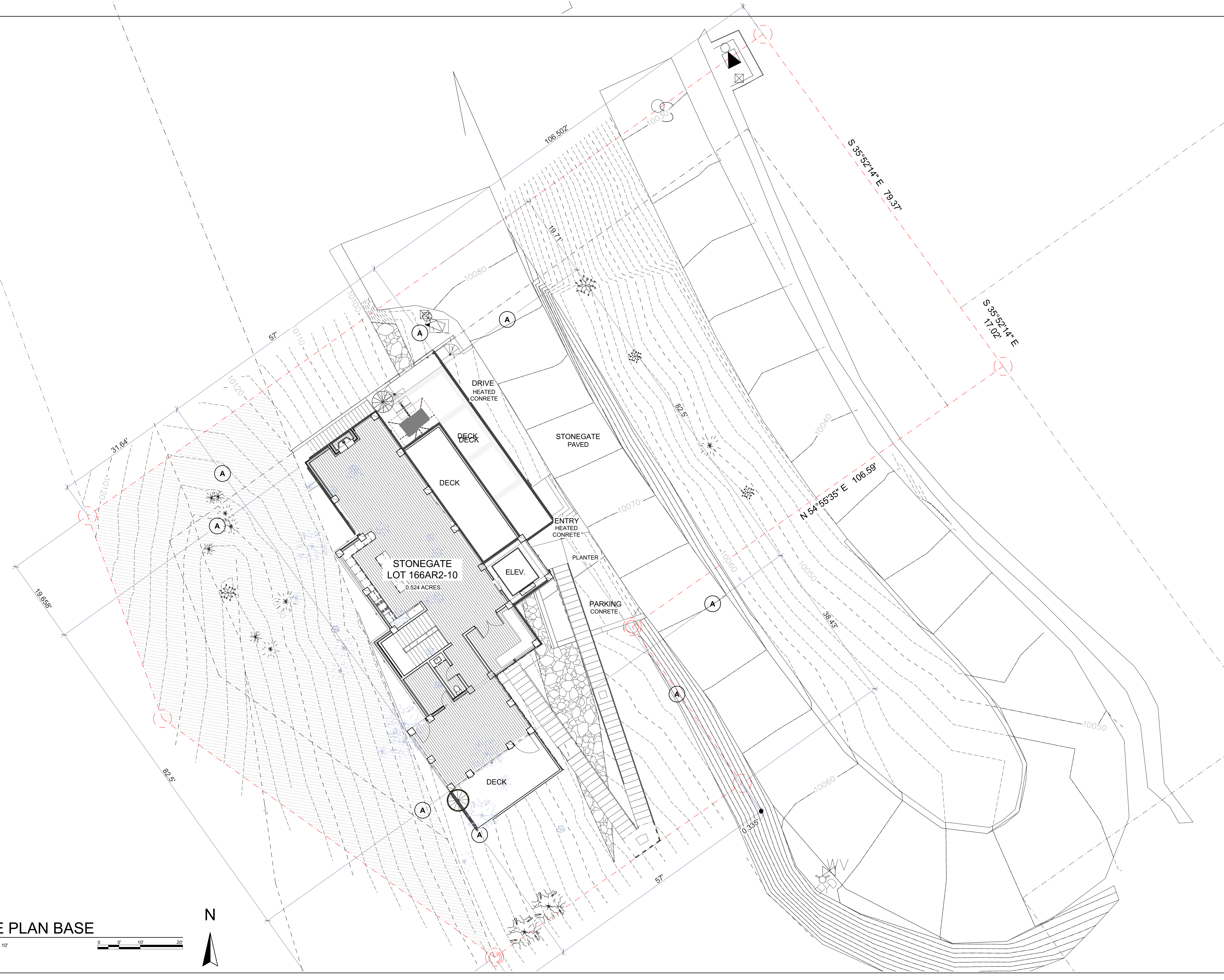
MARK	REV. DATE	DESCRIPTION

PROJECT NAME:
 PROJECT MANAGER:
 DRAWN BY:
 REVIEWED BY:
 2023 JWA
 ARCHITECT'S STAMP:

PROJECT NAME:	SINGLE FAMILY
PROJECT DESCRIPTION:	LOT 10, STONEGATE MOUNTAIN VILLAGE, CO
SHEET DESCRIPTION:	SITE PLAN
SHEET NUMBER:	A-001

1 SITE PLAN BASE
 SCALE: 1" = 10'

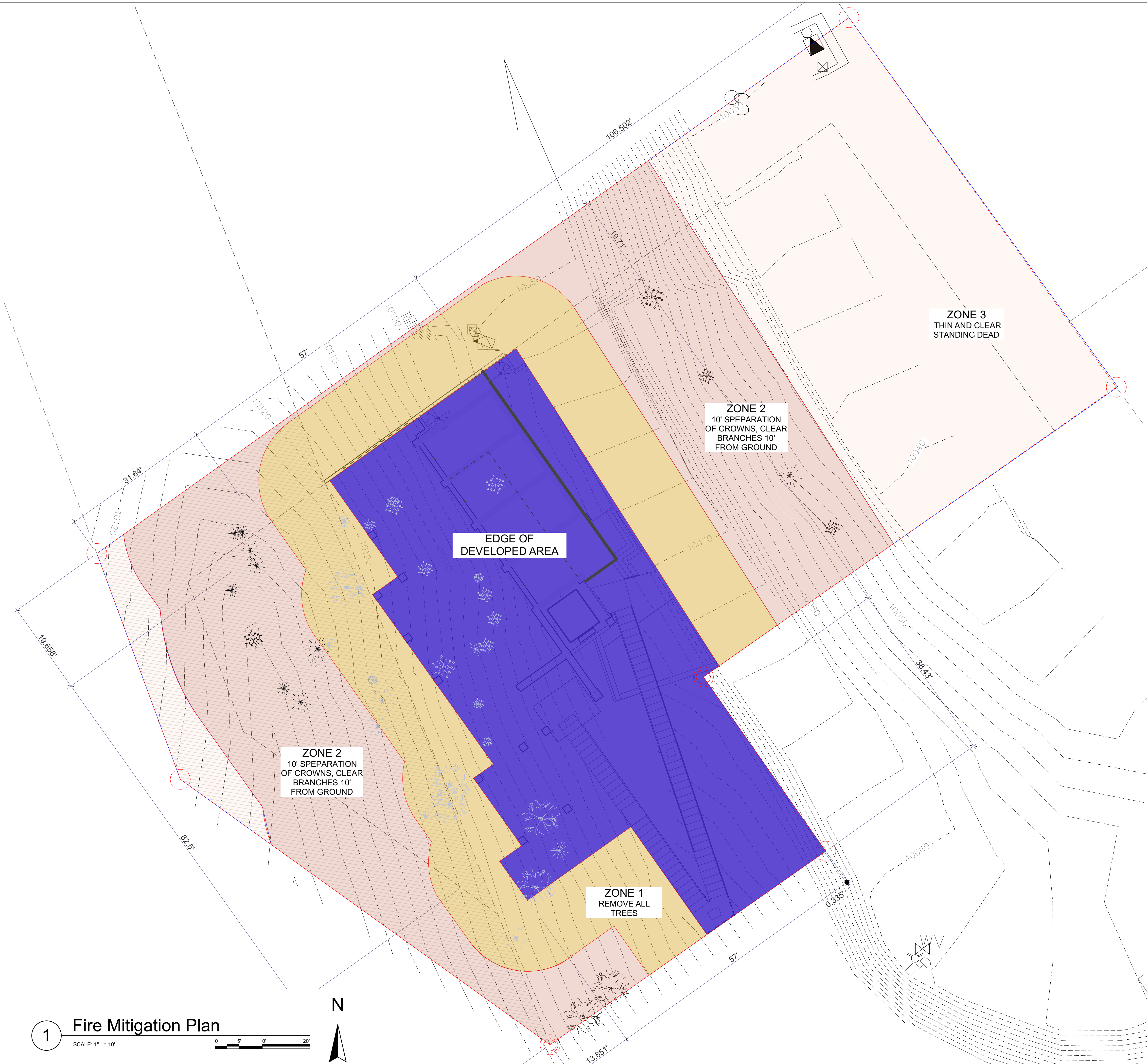
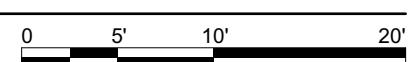
N



D:\WORK\STONEGATE LOT 10\DRAWINGS\STONEGATE 12-29-23.pln

1 Fire Mitigation Plan

SCALE: 1" = 10'



JACK WESSON

ARCHITECTS INC.
109 E. Colorado #2
P.O. Box 2051
TELLURIDE, CO 81415
TEL: 970.728.9755
jack@wessonarch.com
www.jackwessonarchitects.com

STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
ARCHITECTS STAMP:

NOTES:

ALL DECKS TO BE BUILT OF HEAVY TIMBER CONSTRUCTION AND FIRE RESISTANT MATERIALS

ZONE 1- REMOVE ALL TREES

ZONE 2- 10' SEPARATION OF CROWNS, CLEAR BRANCHES 10' FROM GROUND

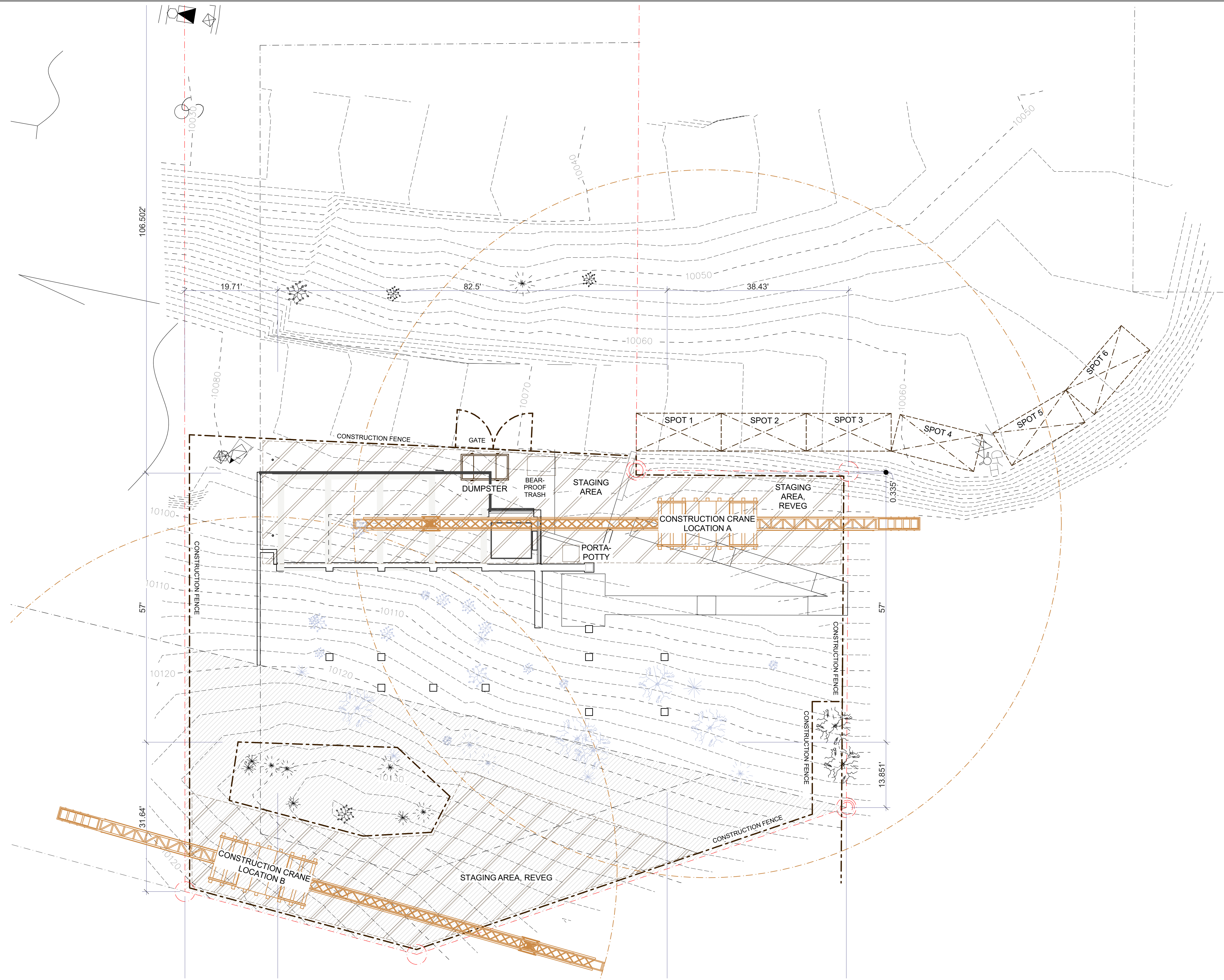
PRIOR TO BUILDING PERMIT THE APPLICANT SHALL WORK WITH THE TOWN FORRESTER TO IDENTIFY TREES FOR REMOVAL

ZONE 3- THIN AND CLEAR STANDING DEAD

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE MOUNTAIN VILLAGE, CO
SHEET DESCRIPTION:
FIRE MITIGATION PLAN
SHEET NUMBER:
A-002



STONEGATE 10



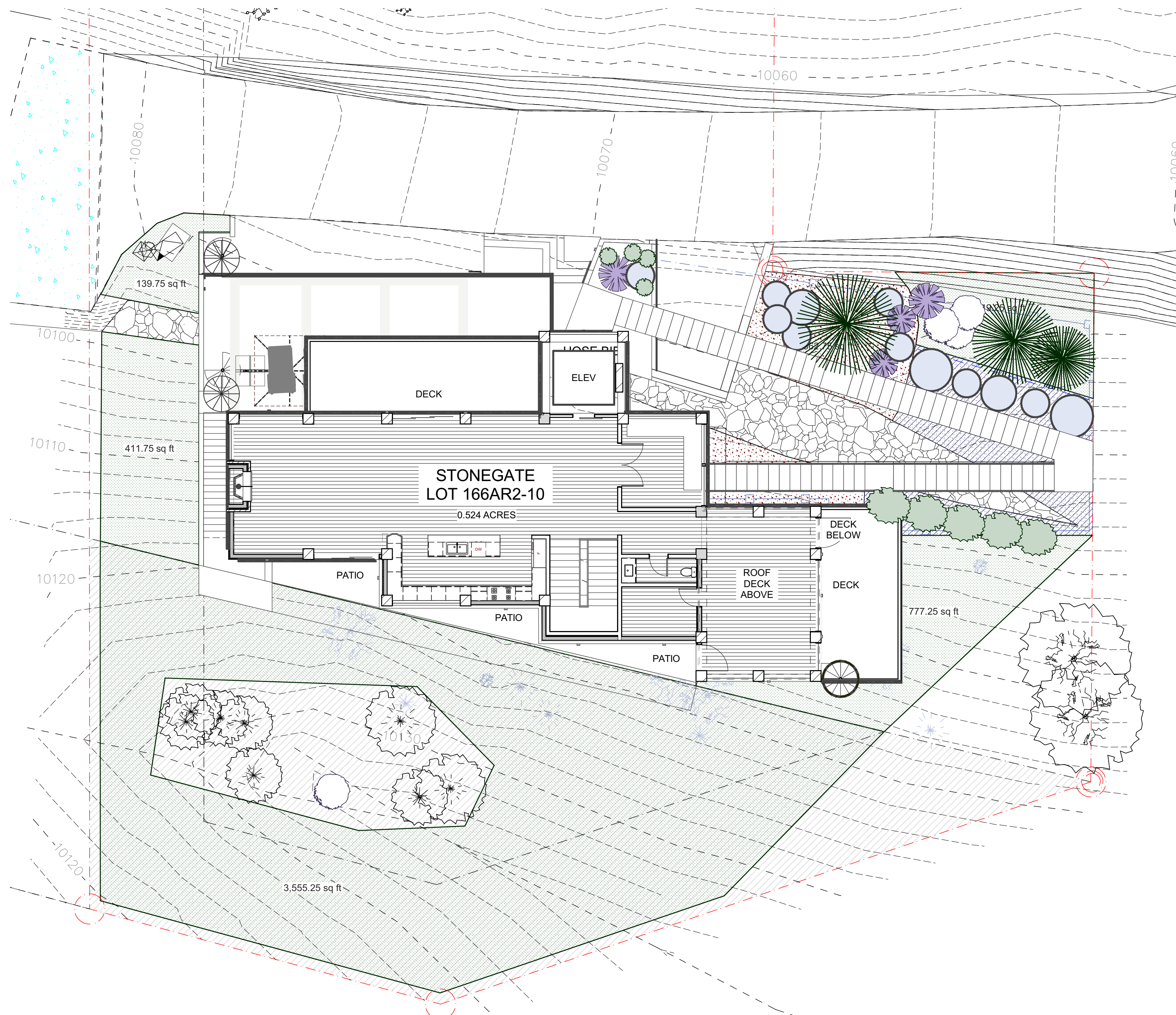
1 Construction Staging Plan
 SCALE: 1" = 10'

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION

PROJECT NAME:
 PROJECT MANAGER:
 DRAWN BY:
 REVIEWED BY:
 © 2023 JWA
 ARCHITECTS STAMP:

PROJECT NAME:
 SINGLE FAMILY
 LOT 10, STONEGATE
 MOUNTAIN VILLAGE, CO
 SHEET DESCRIPTION:
CONSTRUCTION STAGING
 SHEET NUMBER:
A-003



Note: Evergreen trees to be planted need to represent at least 2 separate genus (Picea, Abies, Pinus, Juniperus, Thuja, Pseudotsuga) and one of the genus classes should, ideally, be represented by two separate species (example, Pinus = limber pine & whitebark pine)

(5) 5 GAL. SHRUBS
(5) 8 GAL. ORNAMENTAL TREE/SHRUB TBD
(12) 10 GAL. SHRUBS

(3) NEW EVERGREEN TREES (1-8') (1-10') MINIMUM HEIGHT

***At least forty (40) percent of the trees on a landscaping plan shall be trees not typically found in landscaping in the Town, such as lodgepole pine, limber pine, white bark pine, ponderosa pine, bristlecone pine and pinyon pine provided such trees fit within the life zone and a site's micro climate.

(3) NEW 3" CAL. ASPEN OR 2 1/2" CA. MULTI-STEM

EXISTING TREE TO REMAIN- SEE PLAN FOR TYPE AND SIZE

FLOWER MIX 1: COLUMBINE, SHOOTING STAR, INDIAN PAINTBRUSH, YARROW, BLUEBELL APPROX. 660 SF.

FLOWER MIX 2: RUSSIAN SAGE, YELLOW ROSE, DAYLILY, DELPHINIUM, BLEEDING HEART, CINQUEFOIL APPROX 680 SF.

NOTE: REVEGETATION IS WILL BE NATIVE MIX
5% WESTERN YARROW
10% TALL FESCUE
5% ARIZONA FESCUE
5% HARD FESCUE
10% CREEPING RED FESCUE
15% ALPINE BLUEGRASS
10% CANADA BLUEGRASS
15% PERENNIAL RYEGRASS
10% SLENDER WHEATGRASS
15% MOUNTAIN BROME
APPROX. 5230 SF

WATER USAGE CHART:
ASPEN 3 @ 10 gal. = 30 gal.
SPRUCE 3 @ 10 gal. = 30 gal.
POTENTILLA 5 @ 2 gal. = 10 gal.
DOGWOOD 5 @ 3 gal. = 15 gal.
SHRUBS 12 @ 4 gal. = 48 gal.
TOTAL = 133 gal.

*NOTE: INSTALL RAIN SHUT-OFF DEVICE AS REQ'D BY SECTION 9-210

INSTALL BACKFLOW PREVENTERS

GENERAL NOTES:
1. SOIL PREPARATION SPECIFICATIONS: SOIL IN REVEG. AREA WILL BE AUGMENTED WITH HYDROMULCH.
2. THIS LANDSCAPE PLAN COMPLIES WITH SECTION 9-109 OF THE DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.
3. THE PROPERTY OWNER GUARANTEES ALL PLANT MATERIALS FOR TWO YEAR.
4. ALL TREES AND SHRUBS SHALL BE BACKFILLED WITH A TOPSOIL/ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
5. PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO
6. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS; SHREDDED CEDAR BARK.
7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK. PLANTING DETAILS FOR ROOT SYSTEMS, SOIL PREPERATION, SEEDING, MULCHING, AND FERTILIZATION TECHNIQUES SHALL BE IN ACCORDANCE WITH GUIDELINES SET FORTH BY THE ASSOCIATED LANDSCAPE CONTRACTORS OR COLORADO.
8. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATES. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.

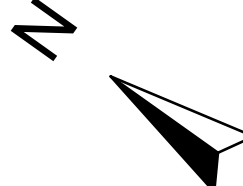
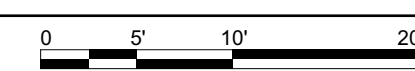
REVEGETATION AND EROSION CONTROL NOTES:
1. SUBSOIL SURFACES SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE RE-VEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTO-TILLED AT A RATE OF 3 CUBIC YARDS PER THOUSAND SQUARE FEET.
3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
4. NEWLY SEEDED AREAS SHALL BE PROTECTED FROM WIND AND WATER EROSION THROUGH THE USE OF MULCHES. ACCEPTABLE MULCHES ARE WOOD CHIPS, STRAW, HYDRO-MULCH AND EROSION-CONTROL NETTING.
5. BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
7. EROSION-CONTROL NETTING WILL BE REQUIRED ON SLOPES 3:1 OR STEEPER, IF ALLOWED BY VARIANCE TO SECTION 9-103-2, AND IN DRAINAGE SWALES.
8. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

9. ROAD AND DRIVEWAY SHALL BE RE-VEGETATED WITHIN THIRTY (30) DAYS OF THE DISTURBANCE TO AVOID UNSIGHTLY SCARS AND WEED INFESTATION ON THE LANDSCAPE. UTILITY CUTS SHALL BE RE-VEGETATED IMMEDIATELY (WITHIN TWO WEEKS) AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION. LANDOWNER SHALL INSURE PROPER WEED CONTROL IN IMPACTED AREAS.
10. EROSION CONTROL ATTENTION TO DISTURBED AREAS SHALL BE IMPLEMENTED TO ENSURE THERE IS NO DETRIMENTAL IMPACT OR RUNOFF TO ANY PONDS, STREAMS OR WETLANDS.
11. IN AREAS THAT ARE TO BE RE-VEGETATED (ESPECIALLY SEEDING LOCATIONS WHICH HAVE RECEIVED HEAVY CONSTRUCTION EQUIPMENT TRAFFIC), SOIL SHALL BE SCARIFIED BEFORE THE APPLICATION OF SEED. SLOPE SURFACES SHALL BE ROUGHENED BY RUNNING TRACKED EQUIPMENT UP AND DOWN THE FACE OF THE SLOPE. (RUNNING SUCH EQUIPMENT ACROSS THE FACE OF A SLOPE ENCOURAGES EROSION AND IS NOT RECOMMENDED).

DRAINAGE WILL MAINTAIN POSITIVE FLOW AWAY FROM THE HOUSE AS REQUIRED BY TOWN'S ADOPTIVE BUILDING CODES
THE PROJECT SHALL COMPLY WITH THE TOWN'S FIRE MITIGATION STANDARDS
THE PROJECT SHALL COMPLY WITH THE ADOPTED TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE ENERGY CODE AND GREEN BUILDING STANDARDS.

SHOULD THE STATE OF THE GENERAL EASEMENTS BE DISTURBED DURING CONSTRUCTION, THE APPLICANT MUST REVEGETATE THE AREA TO ITS PRIOR CONDITION USING THE NATIVE SEED MIX.

1 Landscape Plan
SCALE: 1" = 10'



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
12-23		PRV-DRS MATERIAL CALC.
11-30-23		PRV-DRS SITE PLANS
7-13-23		SCHEMATIC DESIGN 2
6-21-23		SCHEMATIC DESIGN 1

PROJECT NAME: SINGLE FAMILY
LOT 10, STONEGATE MOUNTAIN VILLAGE, CO
DRAWN BY: JWA
REVIEWED BY: JWA
DATE: 12/29/23

PROJECT NAME: SINGLE FAMILY
LOT 10, STONEGATE MOUNTAIN VILLAGE, CO
SHEET DESCRIPTION: LANDSCAPE PLAN
SHEET NUMBER: A-004



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STONEGATE 10

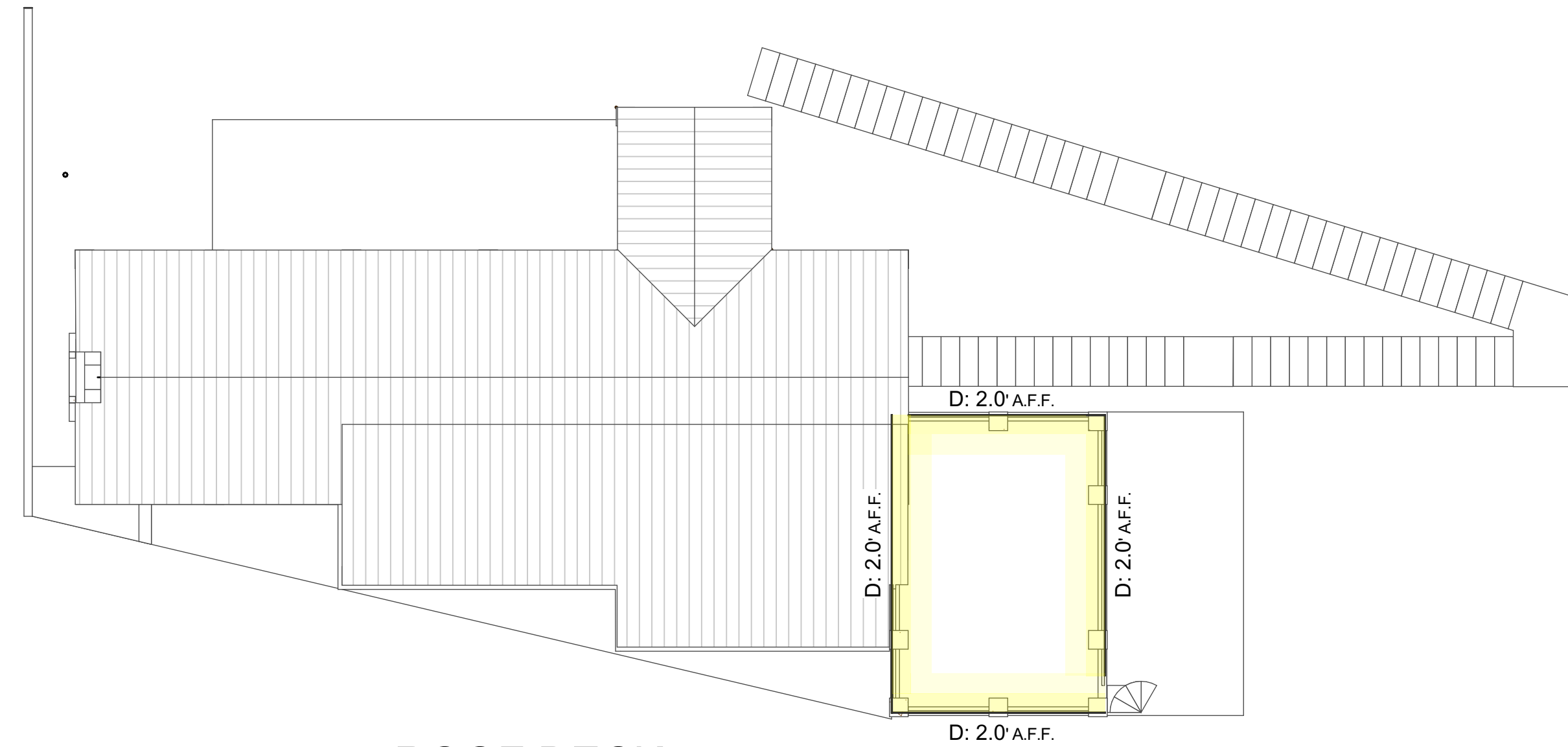
NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
	12-8-23	PH-DRB MATERIAL CALC
	11-30-23	PH-DRB SITE PLANS
	7-13-23	SCHEMATIC DESIGN 2
	6-21-23	SCHEMATIC DESIGN 1

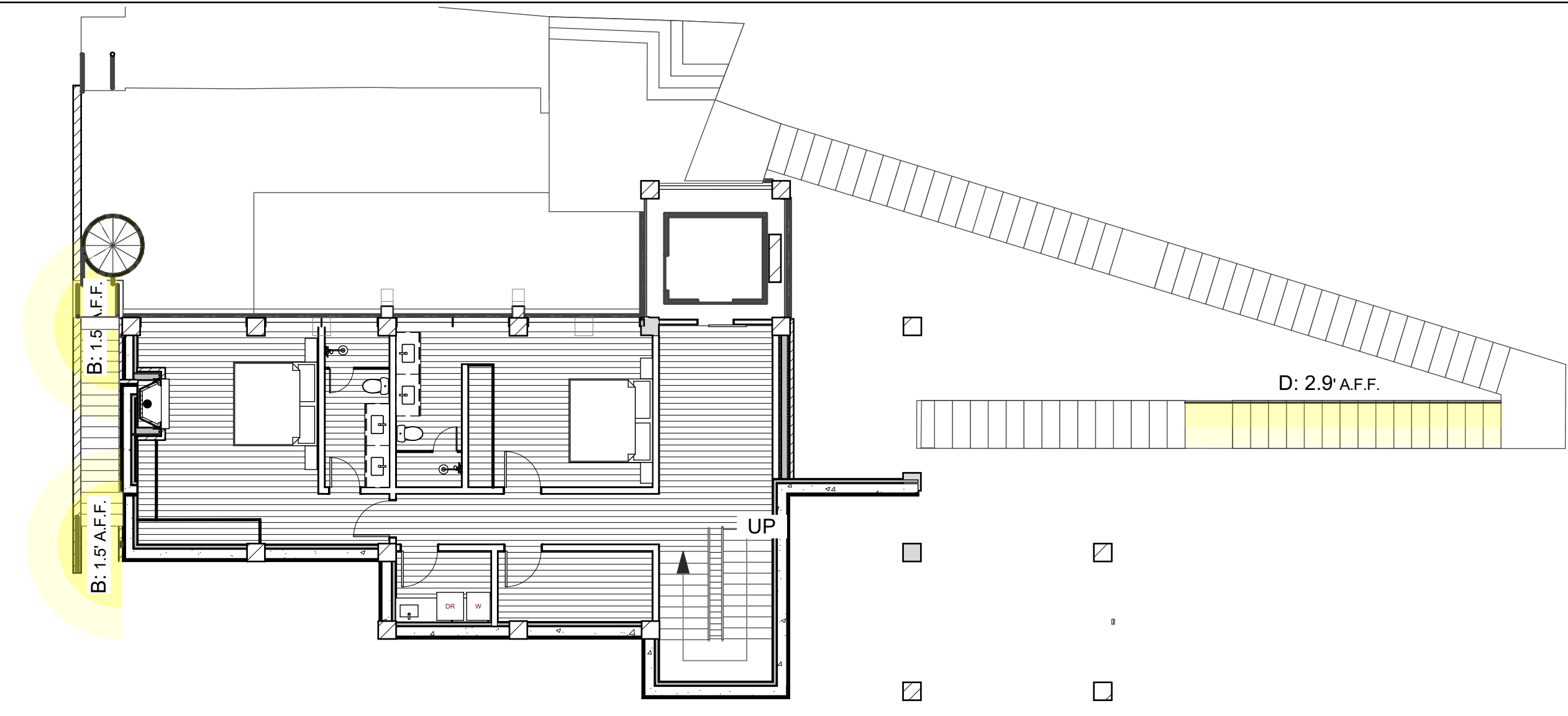
PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
EXTERIOR
LIGHTING

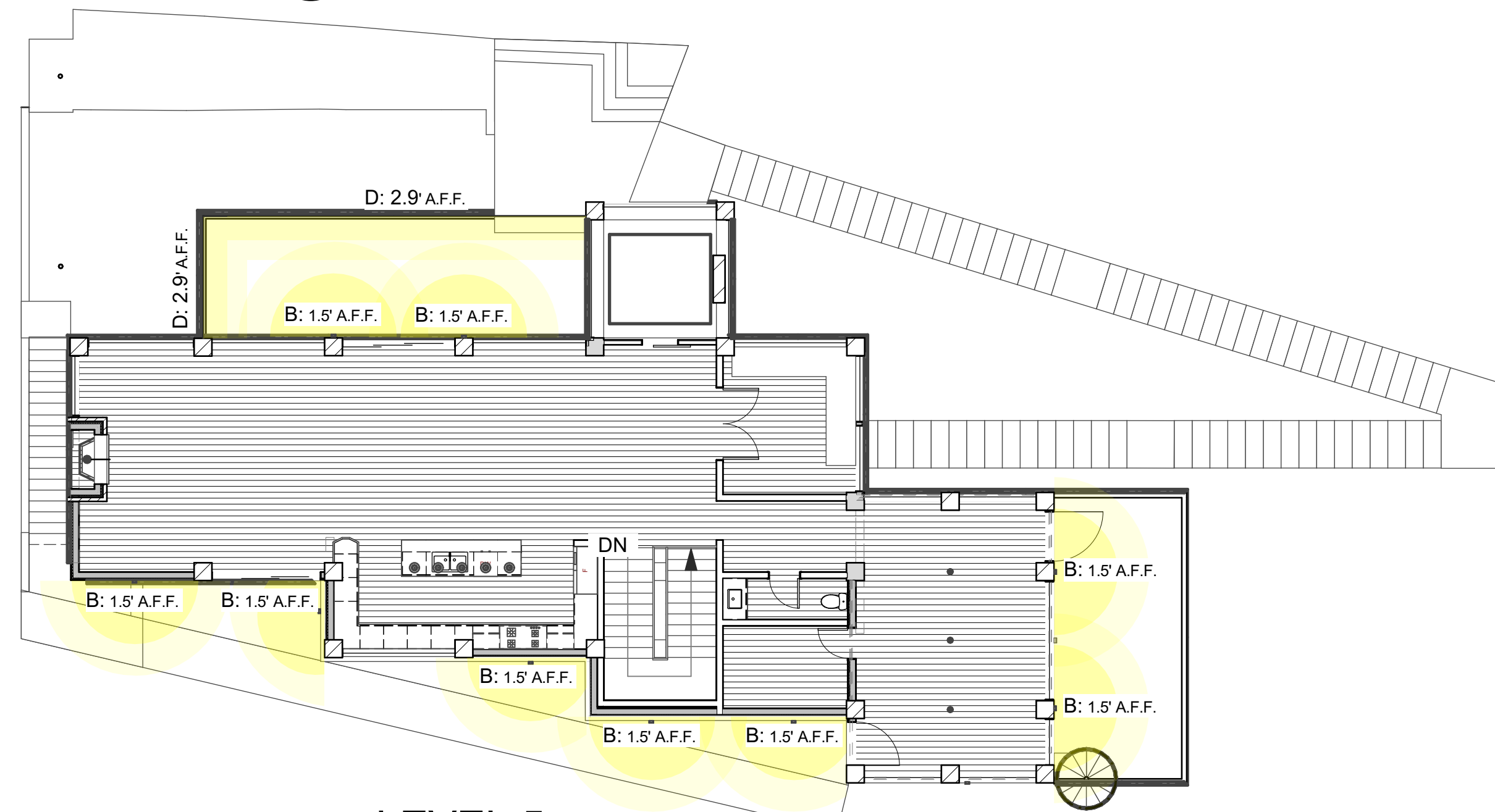
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A-005



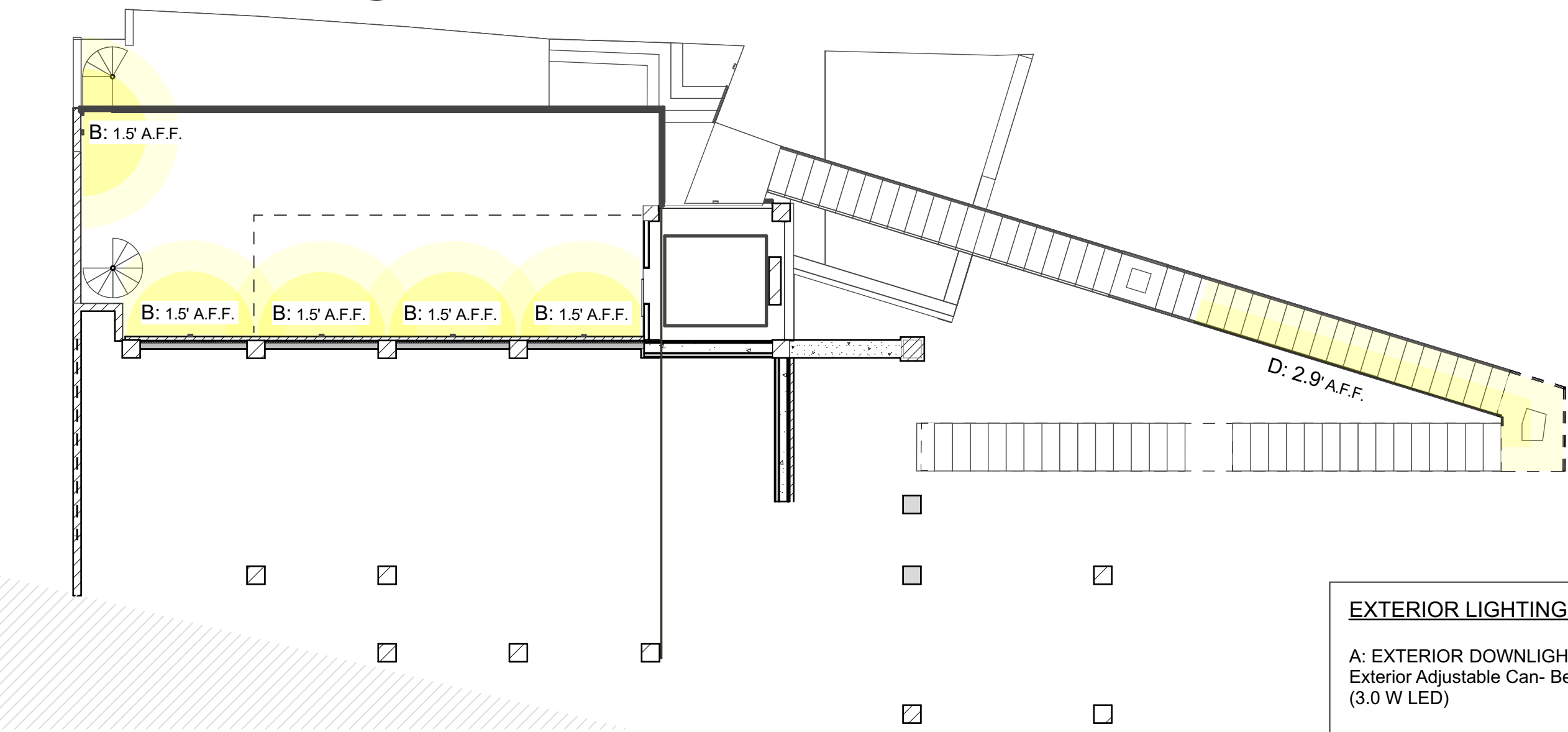
6 ROOF DECK
SCALE: 1" = 10'



3 LEVEL 3
SCALE: 1" = 10'



5 LEVEL 5
SCALE: 1" = 10'



2 LEVEL 2
SCALE: 1" = 10'

EXTERIOR LIGHTING LEGEND

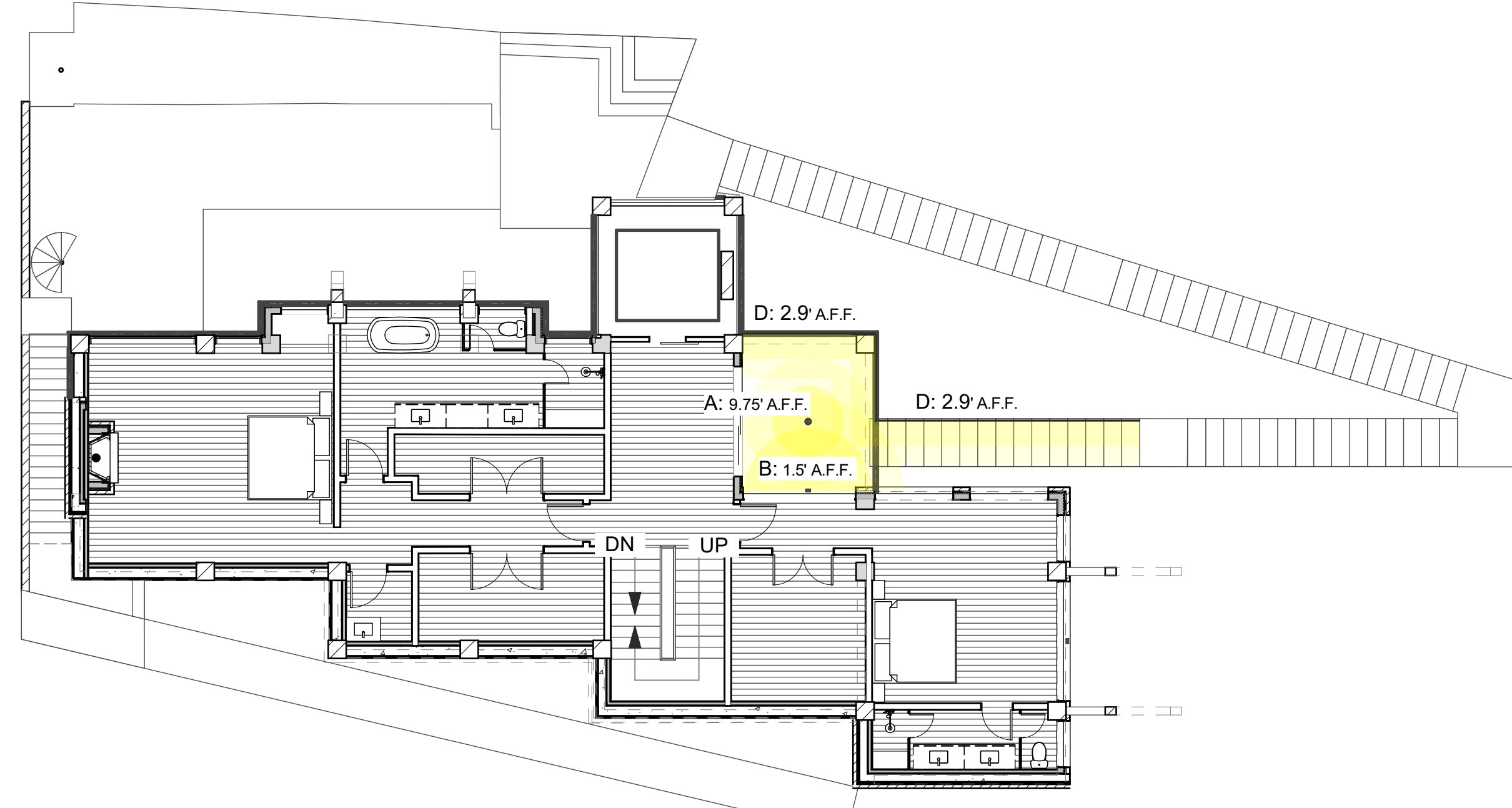
A: EXTERIOR DOWNLIGHT:
Exterior Adjustable Can- Bega 55 841
(3.0 W LED)

B: EXTERIOR STEP LIGHT:
Recessed Wall Fully Louvered - Bega shielded
step light 22203
(2.1W LED)

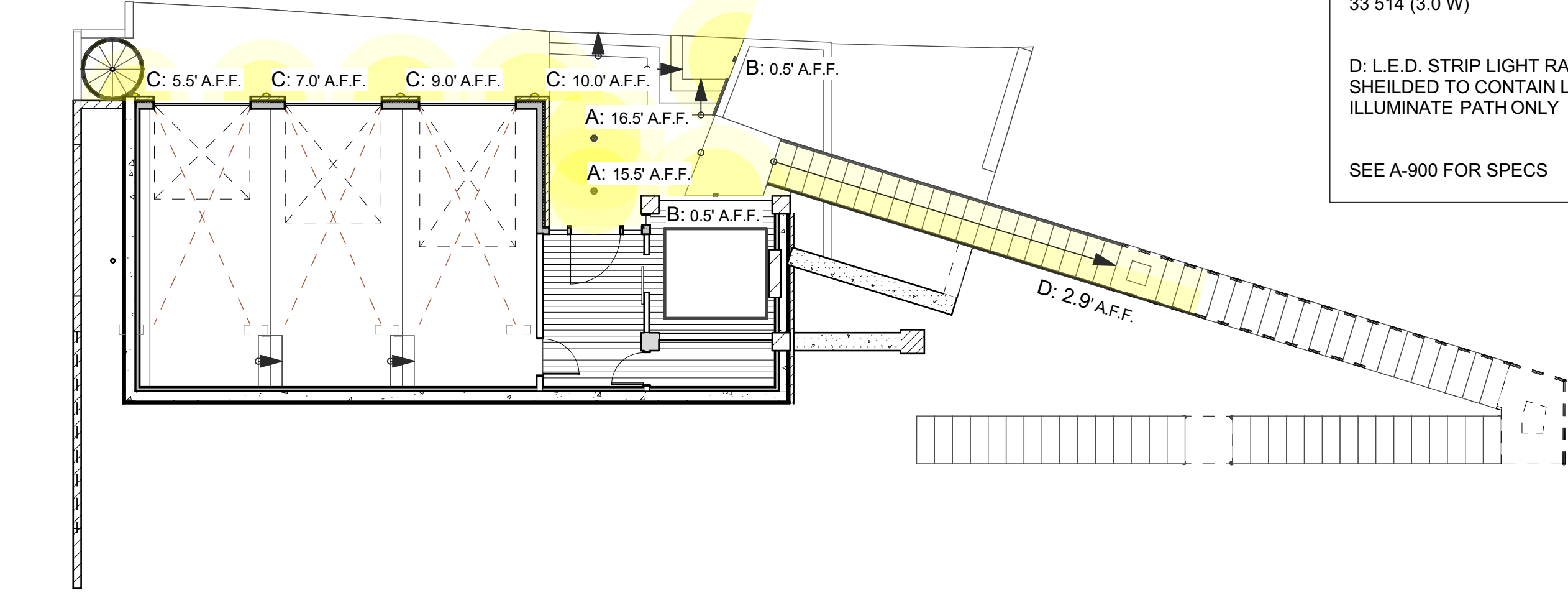
C: EXTERIOR SCNCE - BegaWall Luminaire
33 514 (3.0 W)

D: L.E.D. STRIP LIGHT RAILING DETAIL-
SHELD TO CONTAIN LIGHT SPREAD TO
ILLUMINATE PATH ONLY

SEE A-900 FOR SPECS



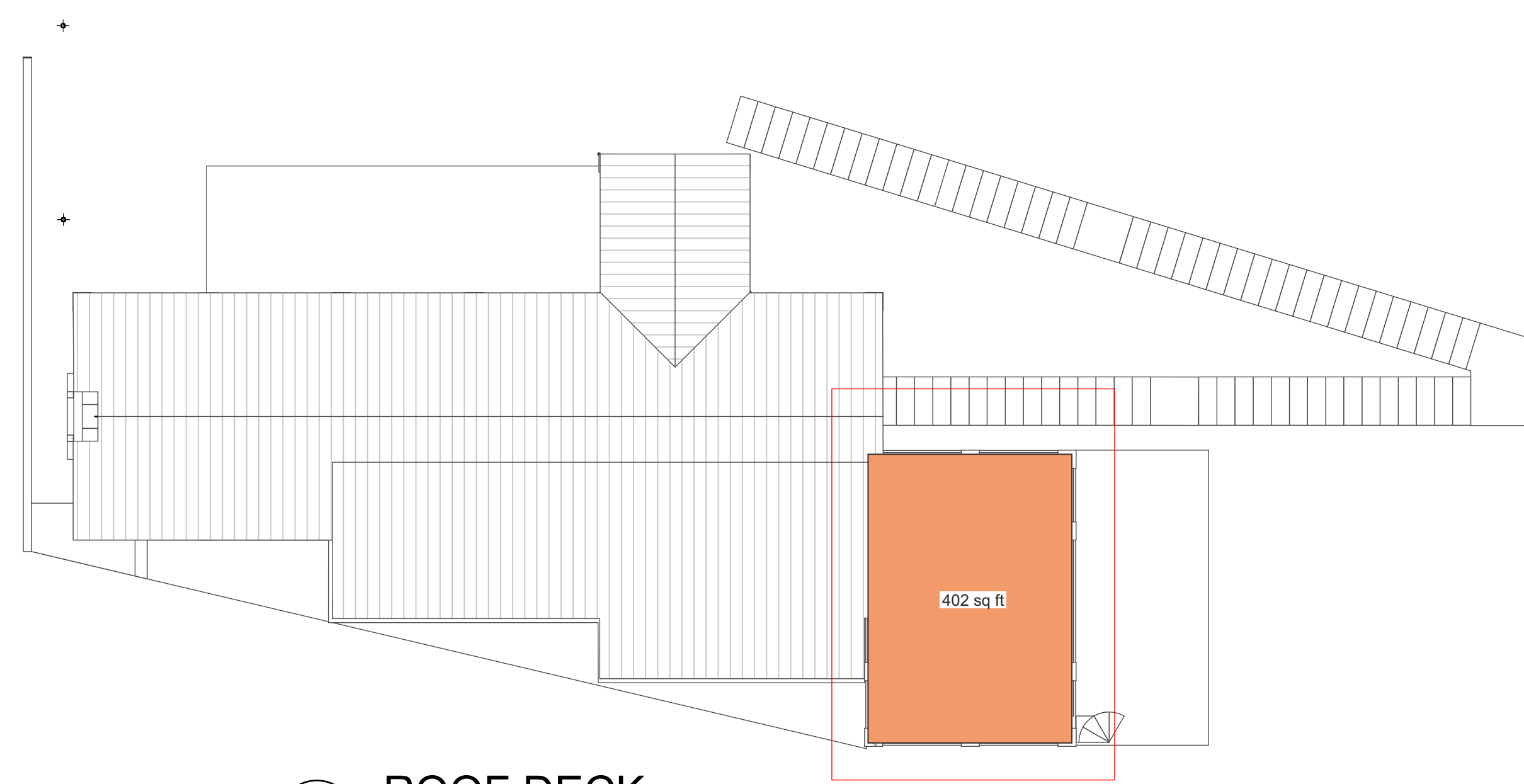
4 LEVEL 4
SCALE: 1" = 10'



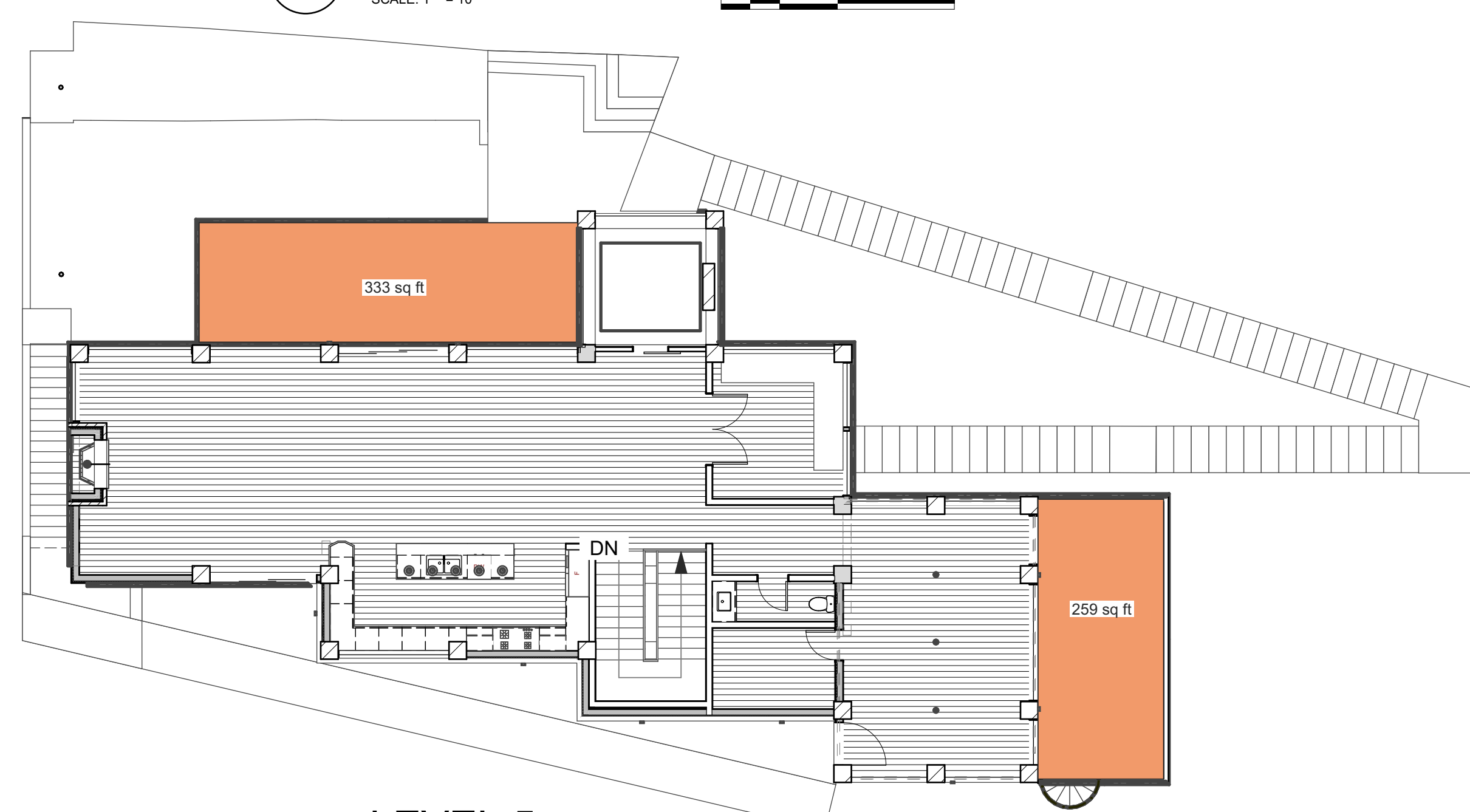
1 LEVEL 1
SCALE: 1" = 10'

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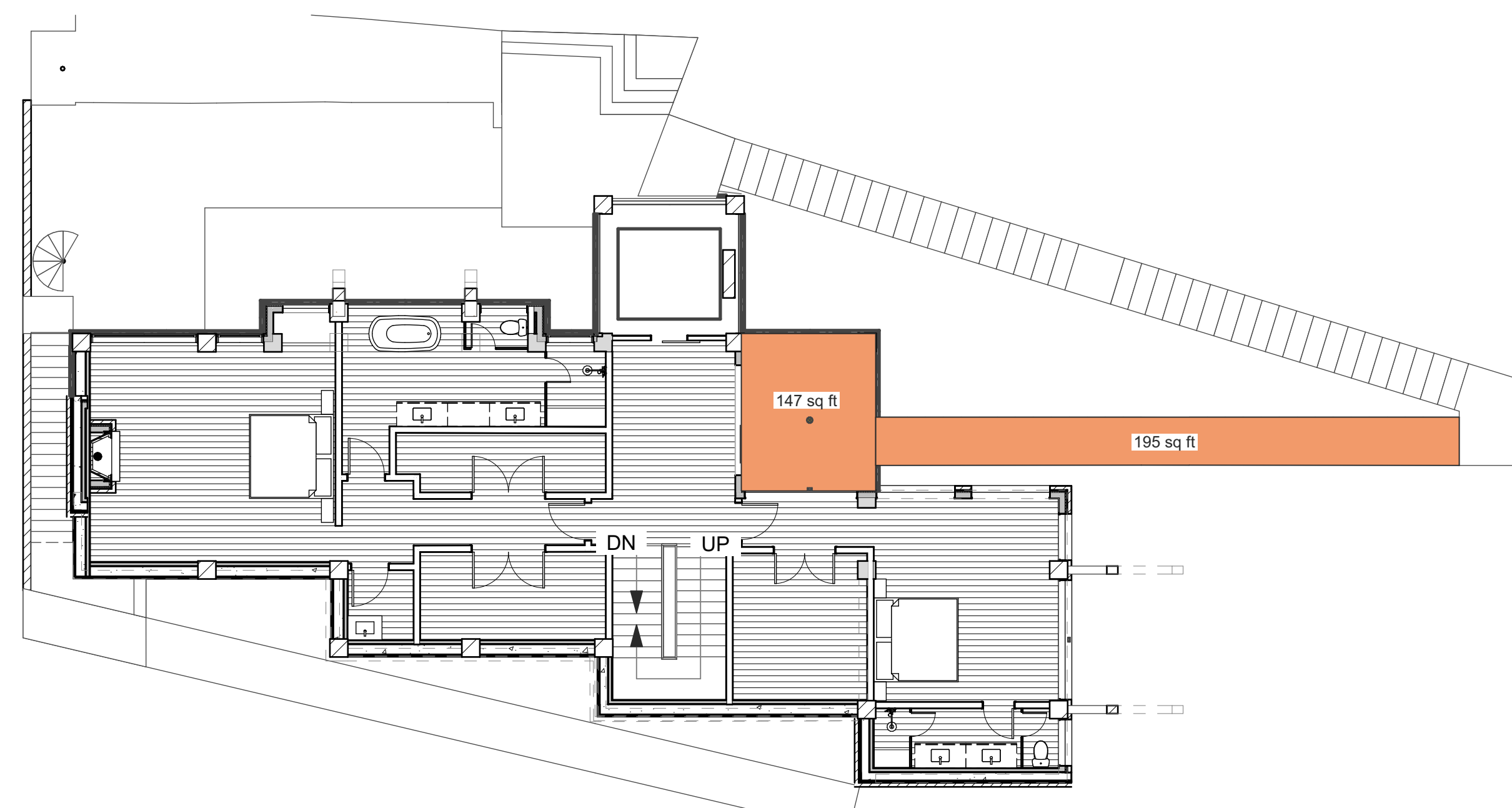
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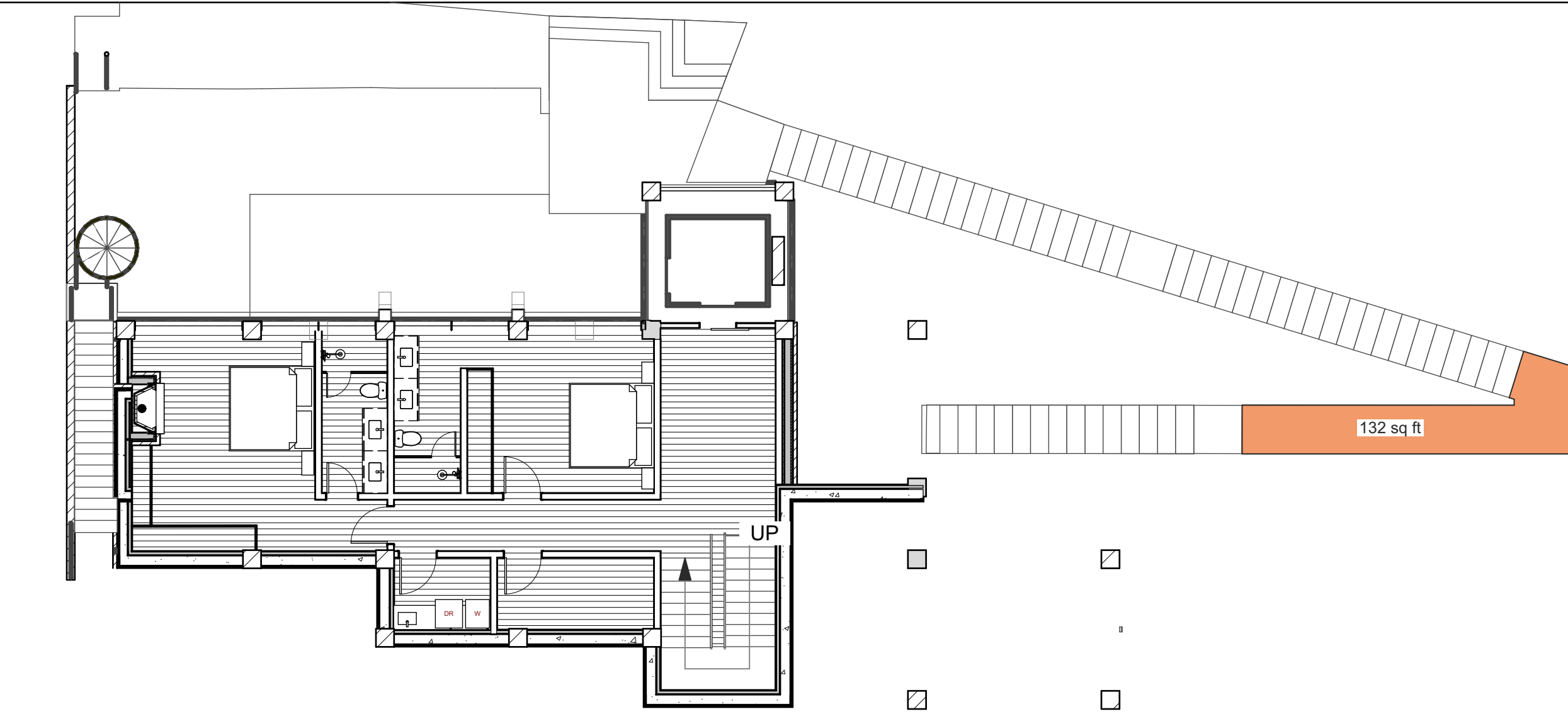
6 ROOF DECK
SCALE: 1" = 10'
0 5' 10' 20'



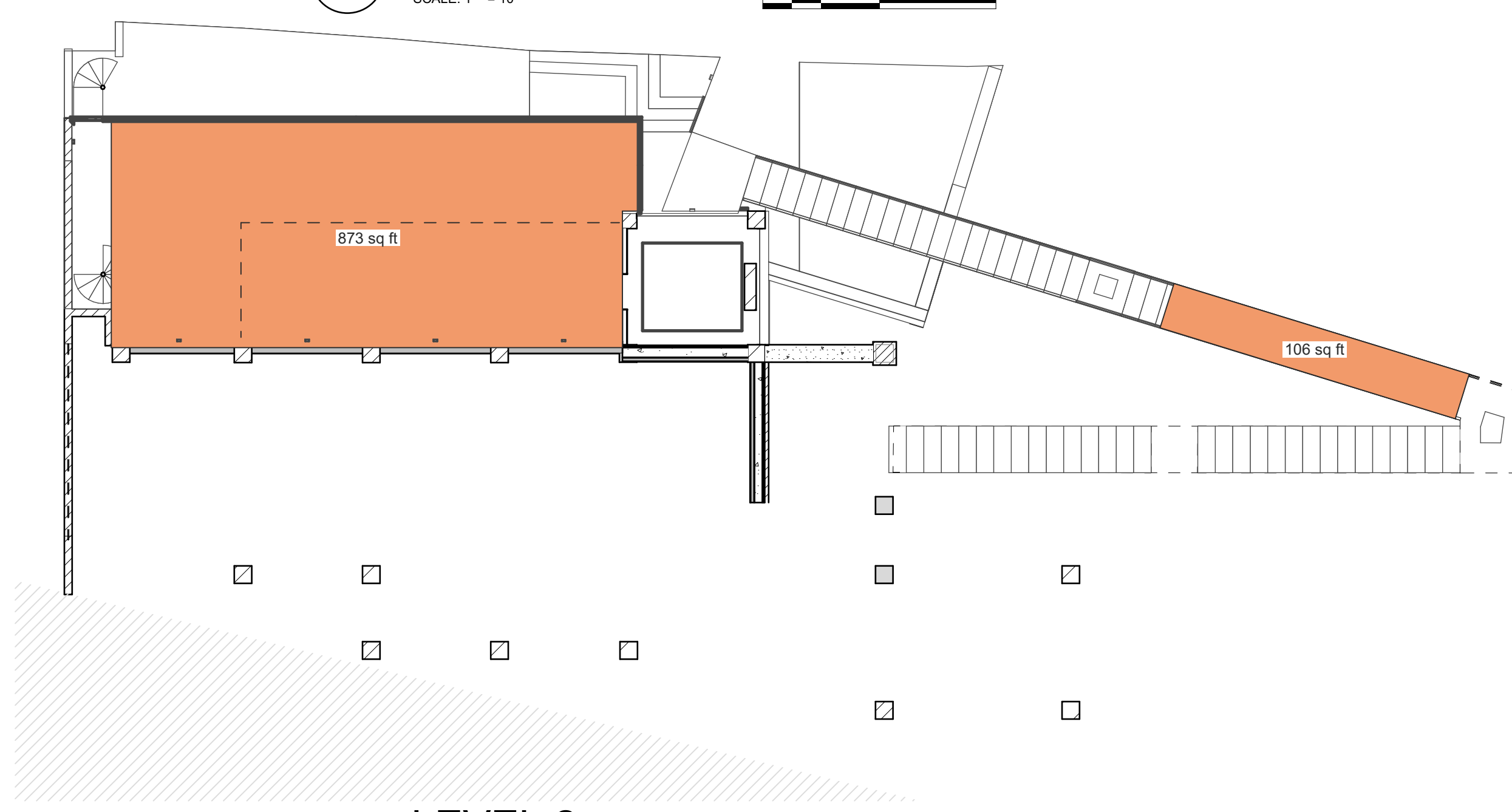
5 LEVEL 5
SCALE: 1" = 10'
0 5' 10' 20'



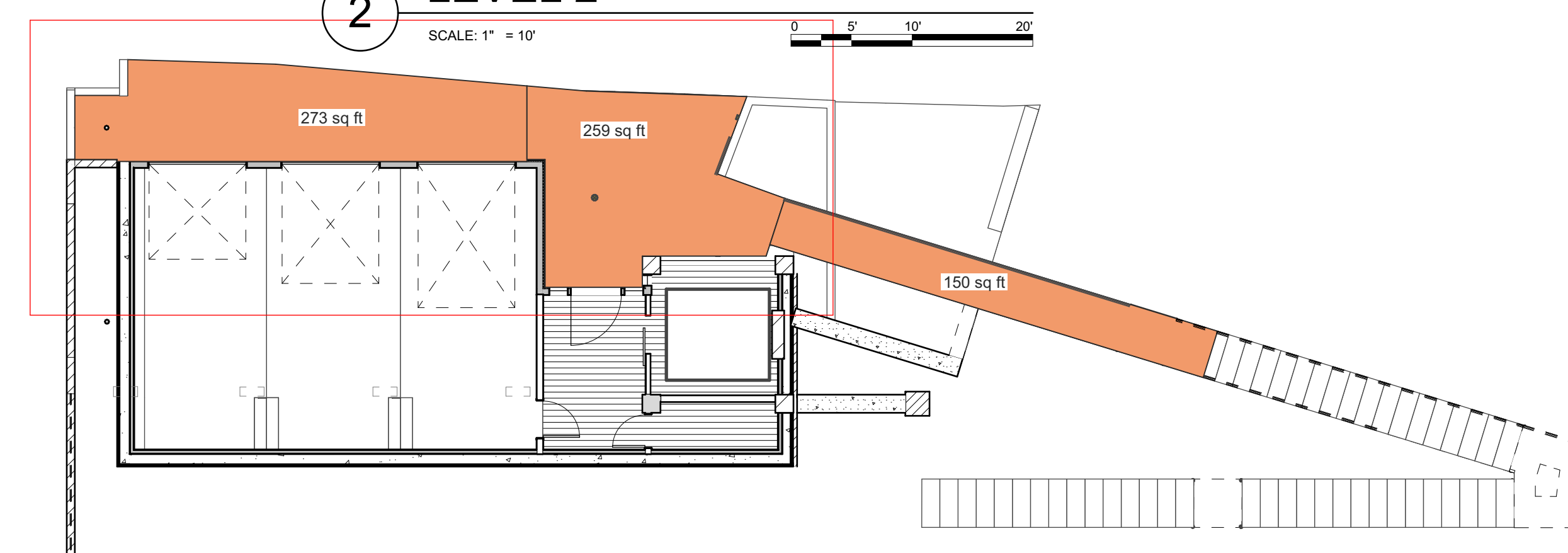
4 LEVEL 4
SCALE: 1" = 10'
0 5' 10' 20'



3 LEVEL 3
SCALE: 1" = 10'
0 5' 10' 20'



2 LEVEL 2
SCALE: 1" = 10'
0 5' 10' 20'



1 LEVEL 1
SCALE: 1" = 10'
0 5' 10' 20'

SNOW MELT AREA
LEVEL 1 DRIVE AND ENTRY WALK
266 + 272 = 538 SF
ROOF DECK
402 SF
TOTAL
940 SF



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
ARCHITECTS STAMP:

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO
SHEET DESCRIPTION:
SNOW MELT
SHEET NUMBER:
A-006



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STONEGATE 10

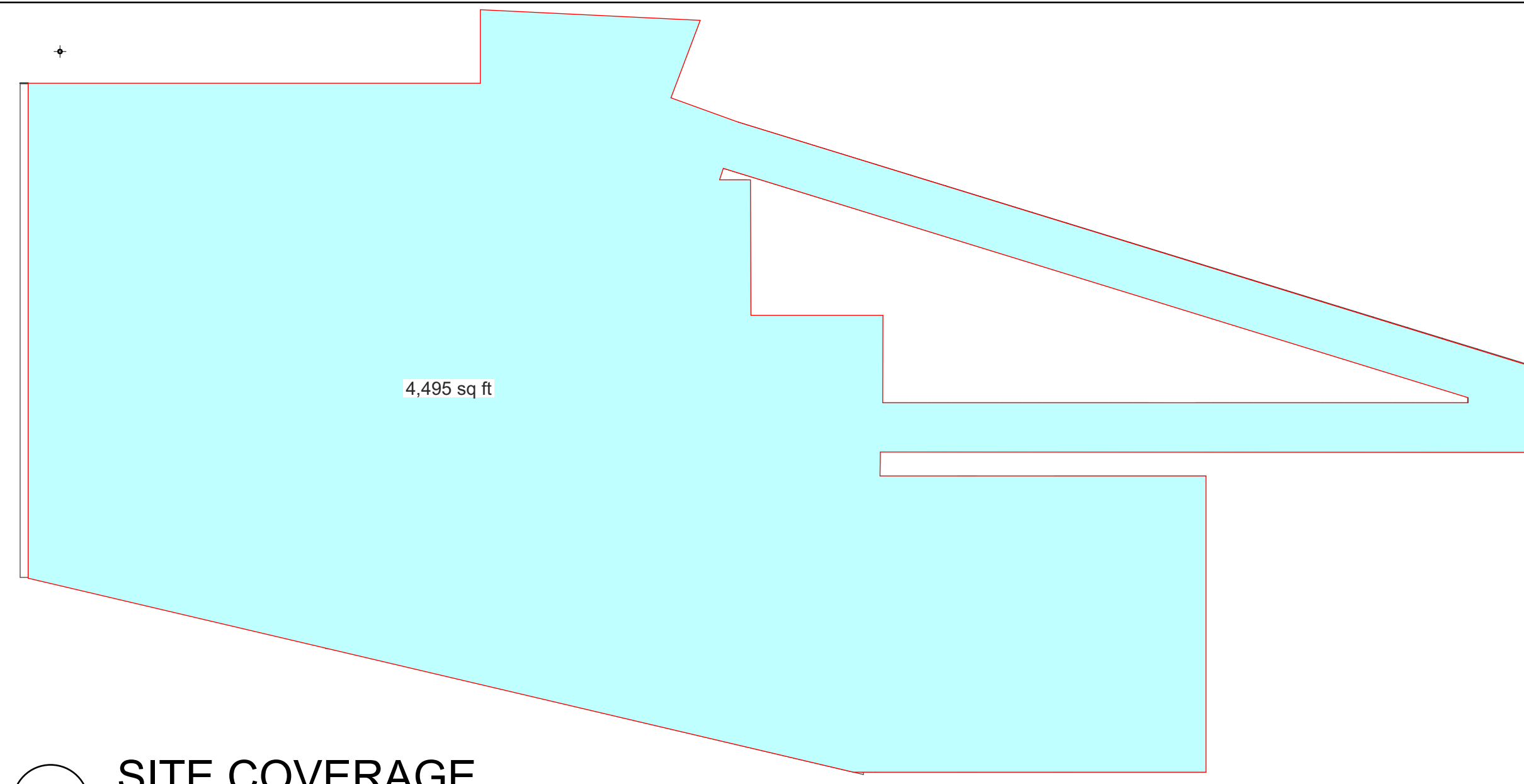
NOT FOR CONSTRUCTION

REV.	DATE	DESCRIPTION
12-8-23		PH-DRS MATERIAL CALC
11-30-23		PH-DRS SITE PLANS
7-13-23		SCHEMATIC DESIGN 2
6-21-23		SCHEMATIC DESIGN 1

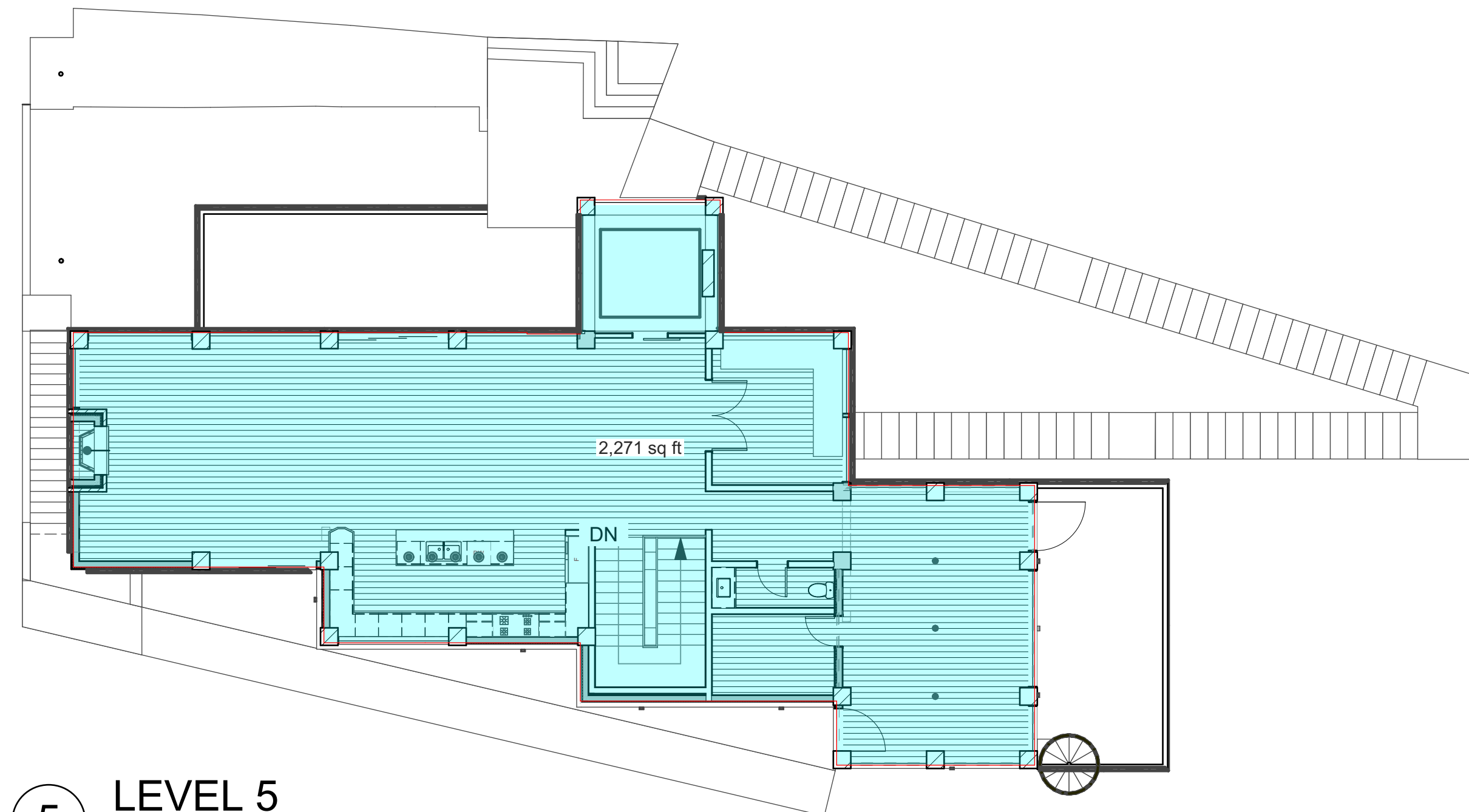
PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
AREA CALCS

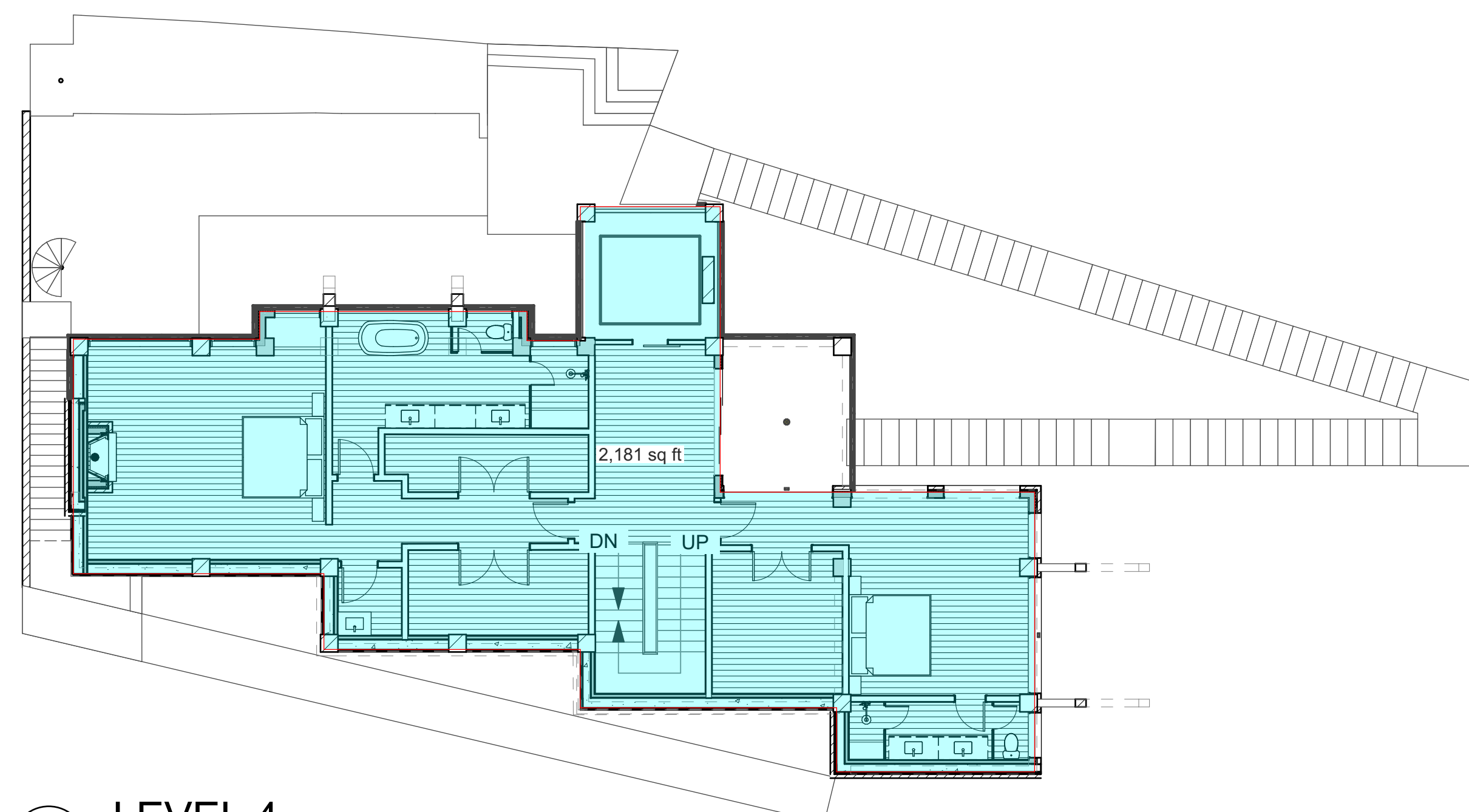
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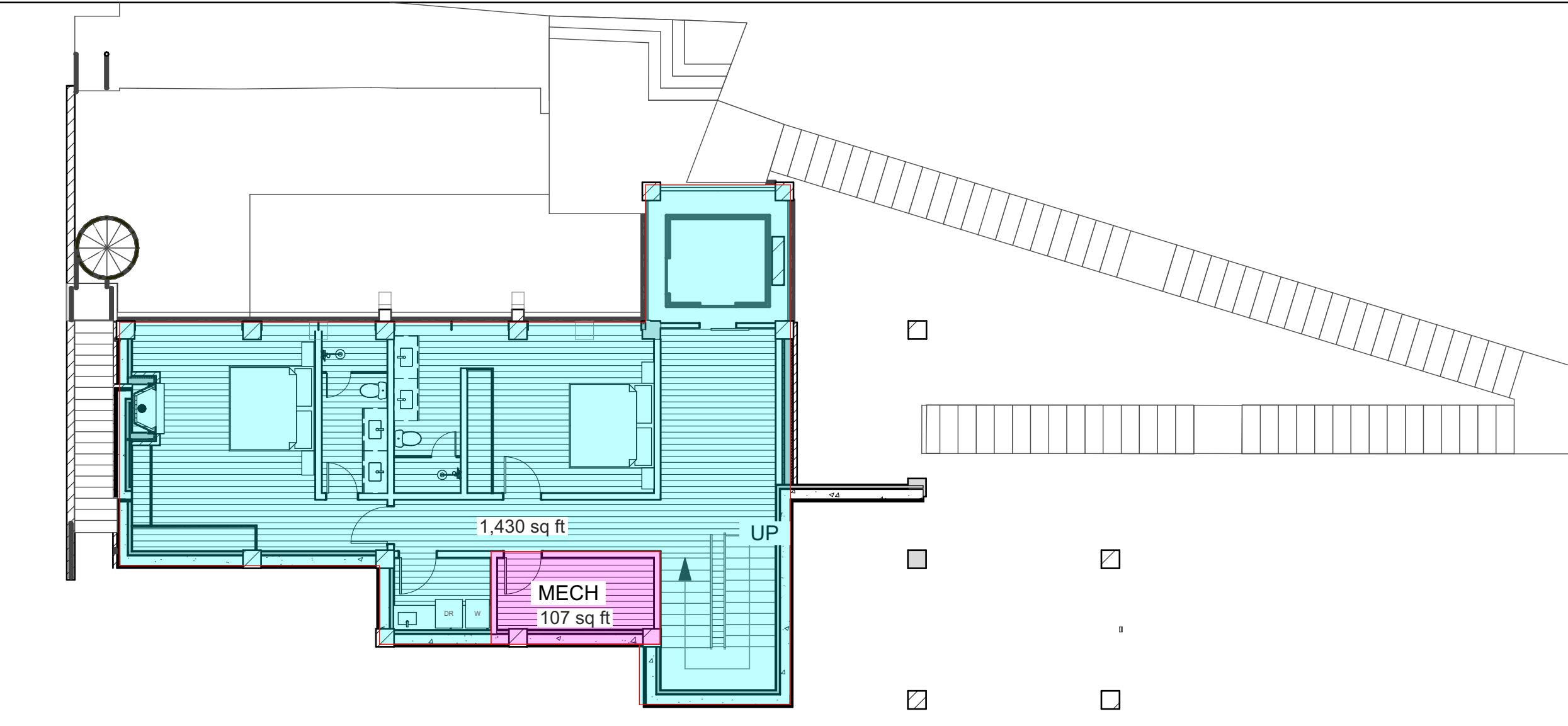
6 SITE COVERAGE



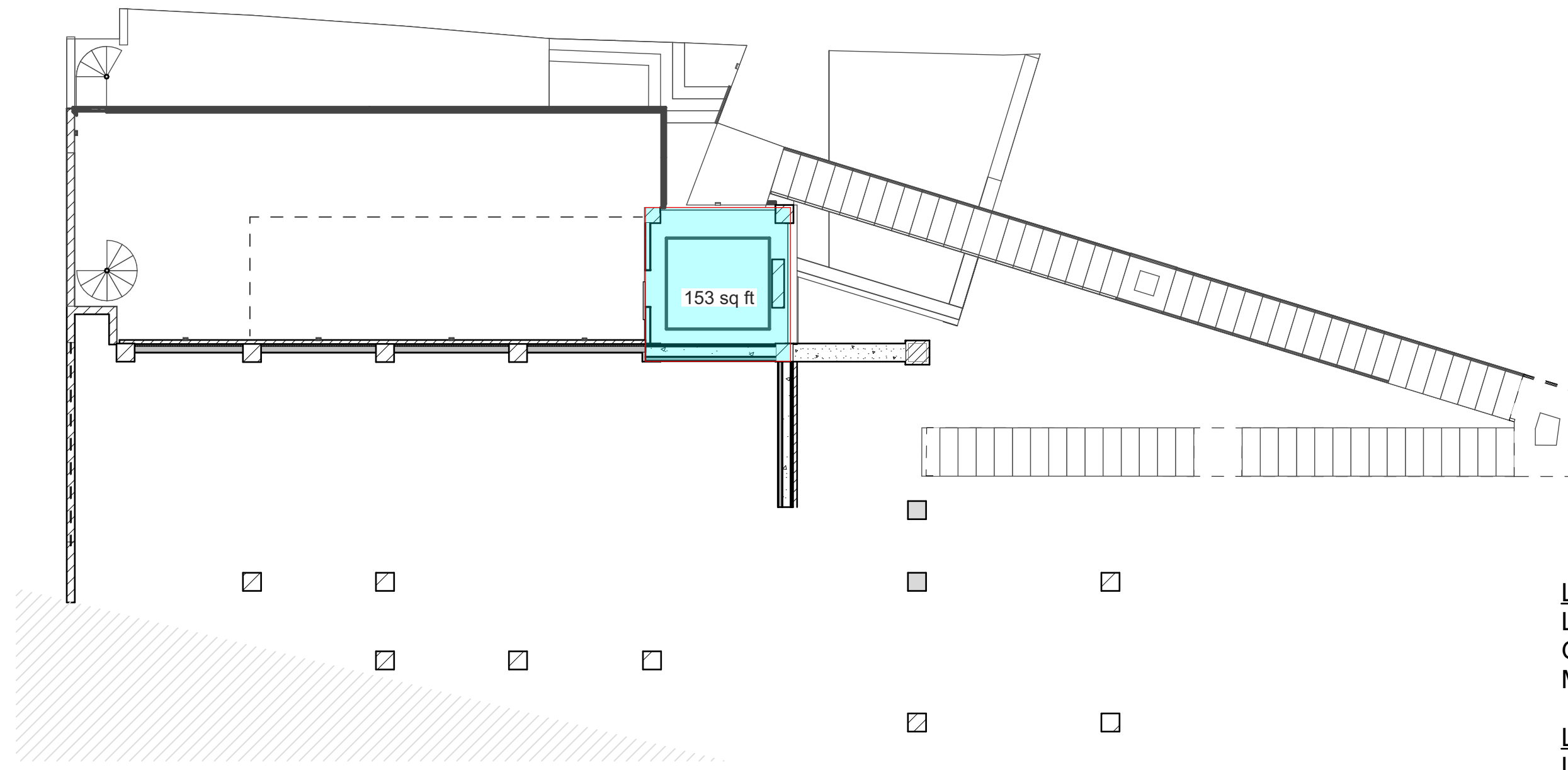
5 LEVEL 5



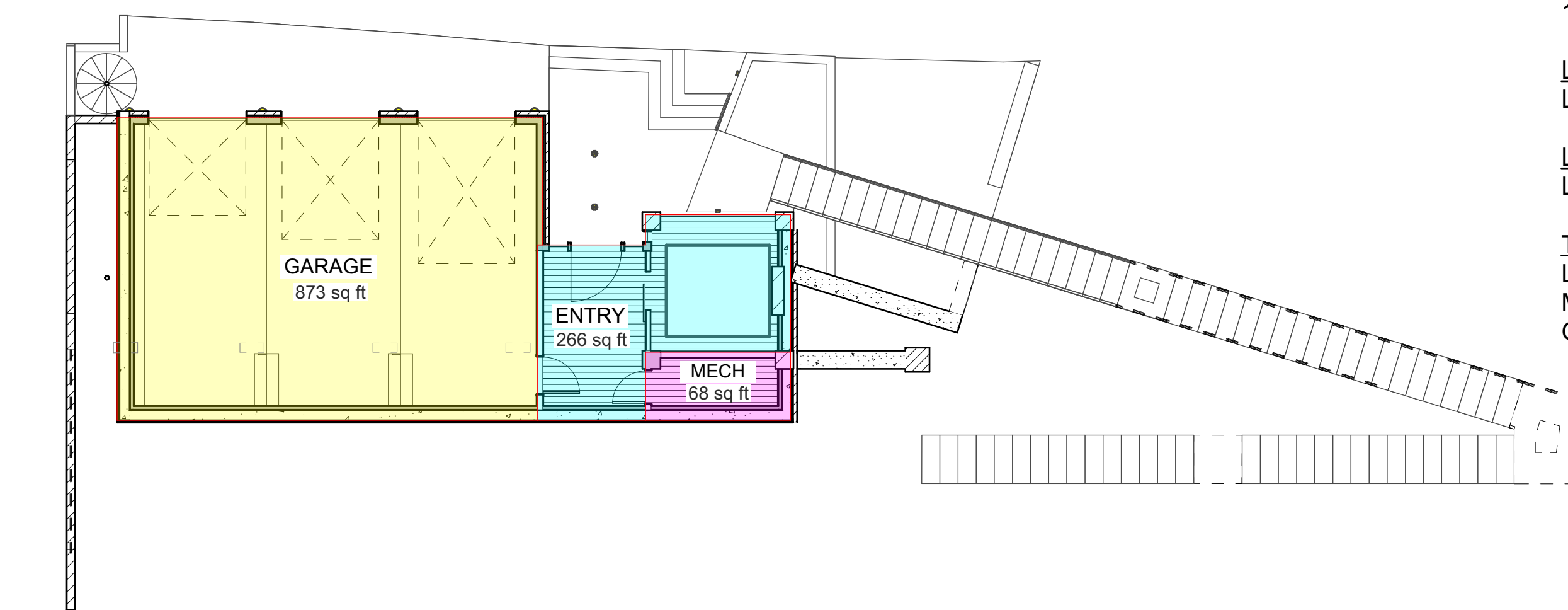
4 LEVEL 4



3 LEVEL 3



2 LEVEL 2



1 LEVEL 1

AREA CALCS

LEVEL 1	
LIVING	266
GARAGE	873
MECH	68
LEVEL 2	
LIVING	153
LEVEL 3	
LIVING	1430
MECH	107
LEVEL 4	
LIVING	2181
LEVEL 5	
LIVING	2271
TOTALS	
LIVING	6301
MECH	175
GARAGE	873
TOTALS	7349



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STONEGATE 10

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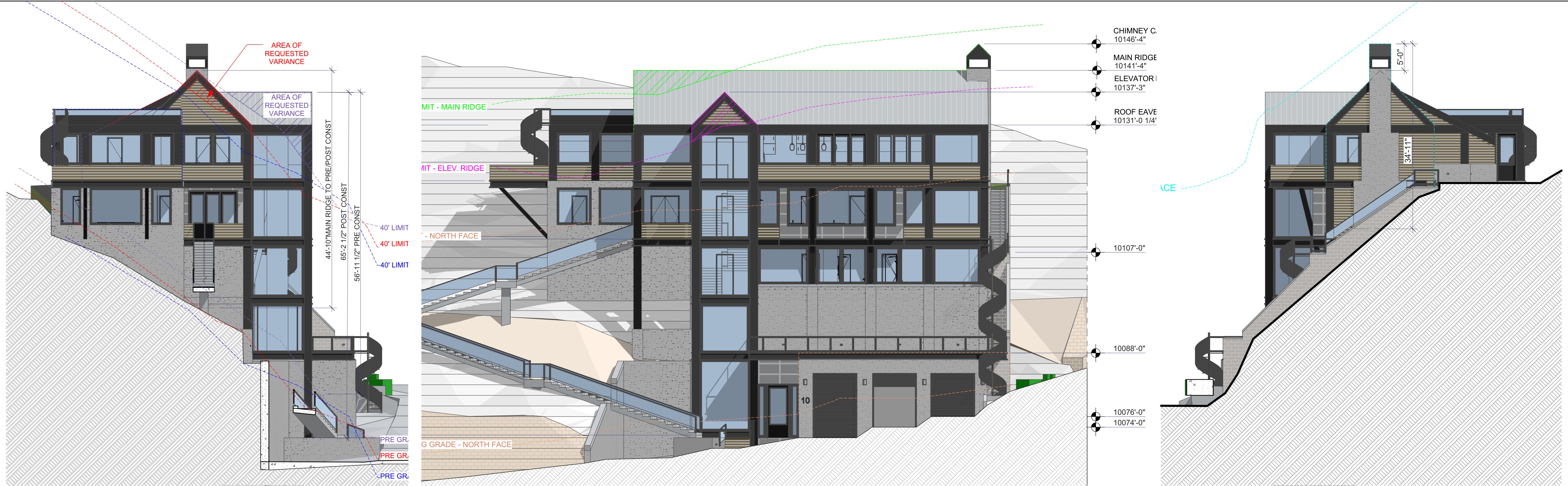
MARK	REV. DATE	DESCRIPTION
	12-8-23	PH-DRB MATERIAL CALC
	11-30-23	PH-DRB SITE PLANS
	7-13-23	SCHEMATIC DESIGN 2
	6-21-23	SCHEMATIC DESIGN 1

PROJECT NAME: SINGLE FAMILY
PROJECT MANAGER: [blank]
DRAWN BY: [blank]
REVIEWED BY: [blank]
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ARCHITECTS STAMP: [blank]

PROJECT NAME: SINGLE FAMILY
LOT 10, STONEGATE MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION: HEIGHT CALCS

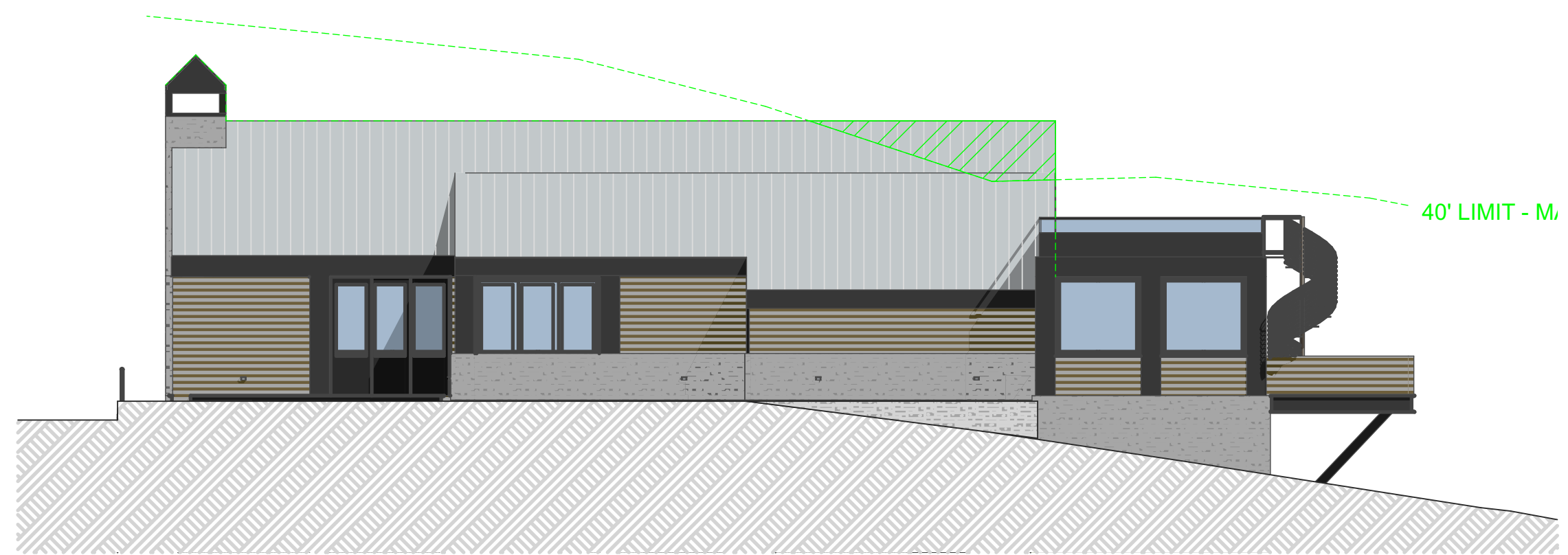
SHEET NUMBER: A-008



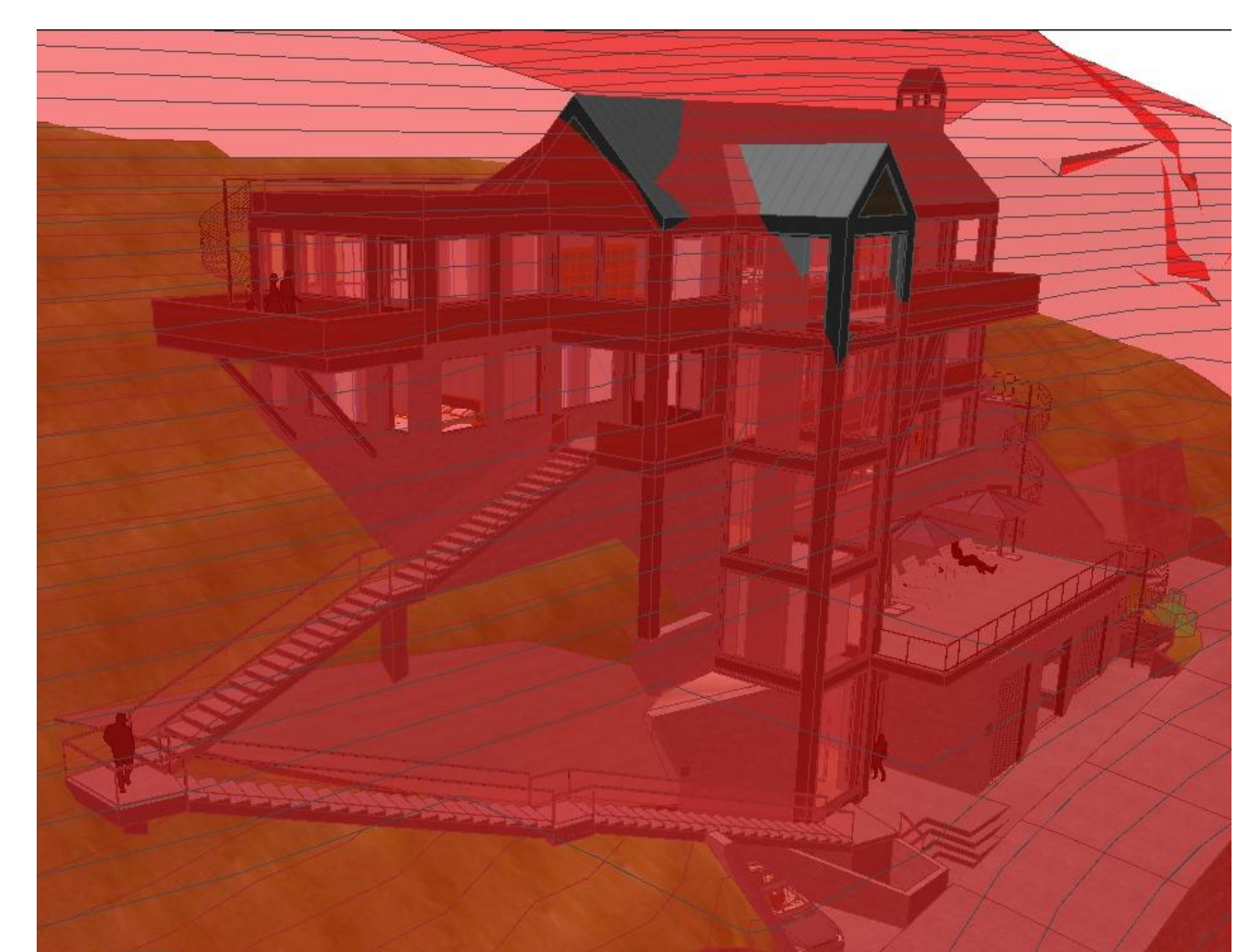
4 East Elevation
SCALE: 1" = 10'

3 North Elevation
SCALE: 1" = 10'

2 West Elevation
SCALE: 1" = 10'

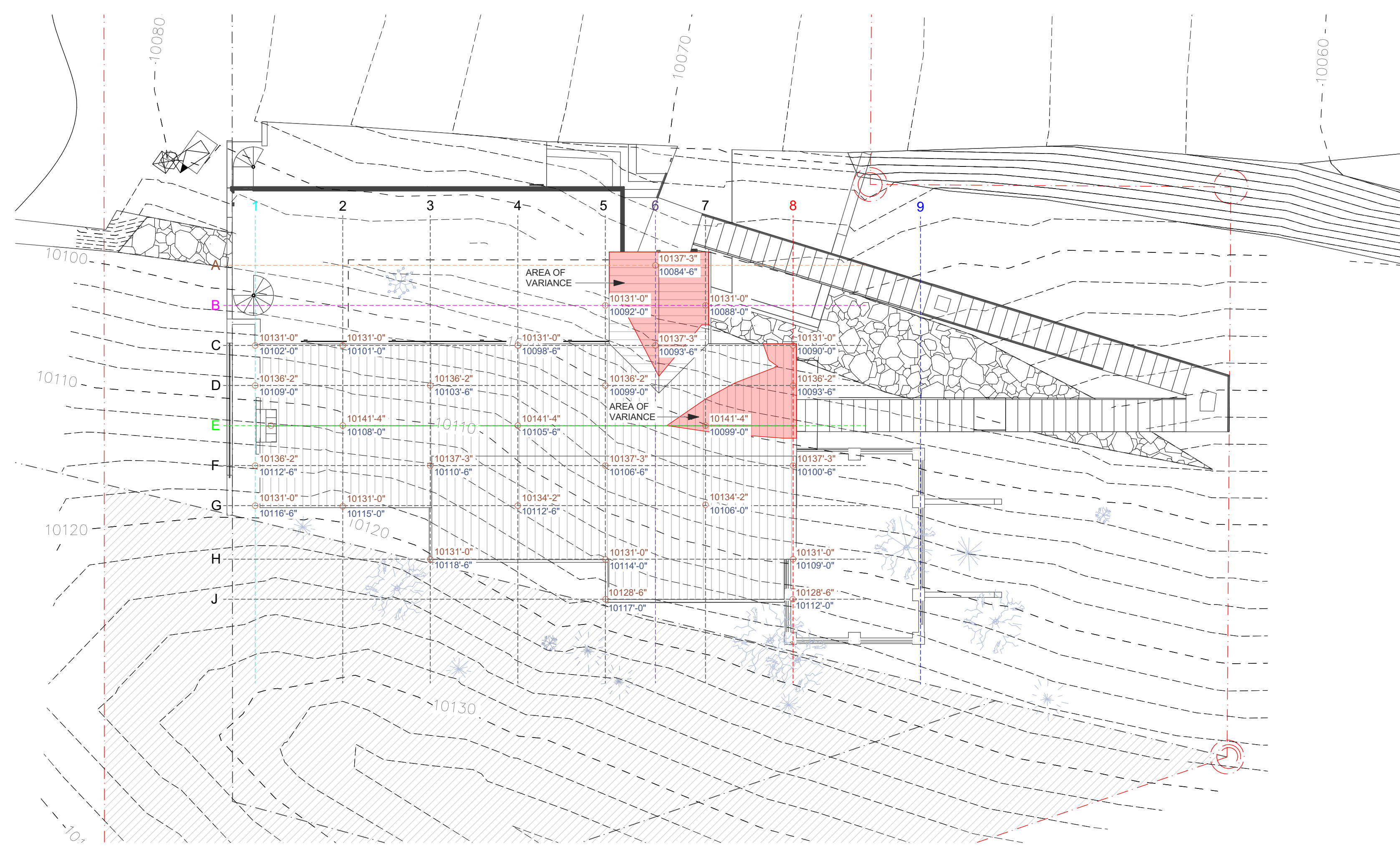


5 South Elevation
SCALE: 1" = 10'



6 3D Shells
SCALE: 1:896.77

STONEGATE ROOF HEIGHT CALCS (in FT)			
POINT	ROOF ELEVATION	EXISTING GRADE	HEIGHT
A6	10137.25	10084.50	52.75
B5	10131.00	10092.00	39.00
B7	10131.00	10088.00	43.00
C1	10131.00	10102.00	29.00
C2	10131.00	10101.00	30.00
C4	10131.00	10098.50	32.50
C6	10137.25	10093.50	43.75
C8	10131.00	10090.00	41.00
D1	10136.25	10109.00	27.25
D3	10136.25	10103.50	32.75
D5	10136.25	10099.00	37.25
D8	10136.25	10093.50	42.75
E2	10141.33	10108.00	33.33
E4	10141.33	10105.50	35.83
E7	10141.33	10099.00	42.33
F1	10136.25	10112.50	23.75
F3	10136.25	10110.50	25.75
F5	10136.25	10106.50	29.75
F8	10136.25	10106.00	30.25
G1	10131.00	10116.50	14.50
G2	10131.00	10115.00	16.00
G4	10134.25	10112.50	21.75
G7	10134.25	10106.00	28.25
H3	10131.00	10118.50	12.50
H5	10131.00	10114.00	17.00
H8	10131.00	10109.00	22.00
J5	10128.50	10117.00	11.50
J8	10128.50	10112.00	16.50
AVERAGE			29.71



1 Height Calcs Plan
SCALE: 1" = 10'

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STONEGATE 10

NOT FOR CONSTRUCTION

12-23	PRE-DBS MATERIAL CALC.	
11-20-23	PRE-DBS SITE PLANS	
7-13-23	SCHEMATIC DESIGN 2	
6-21-23	SCHEMATIC DESIGN 1	
MARK	REV. DATE	DESCRIPTION

PROJECT NAME:	SINGLE FAMILY
PROJECT MANAGER:	LOT 10, STONEGATE MOUNTAIN VILLAGE, CO
DRAWN BY:	
REVIEWED BY:	
DATE:	2023 JWA
ARCHITECT'S STAMP:	

PROJECT NAME:	SINGLE FAMILY
PROJECT MANAGER:	LOT 10, STONEGATE MOUNTAIN VILLAGE, CO
DRAWN BY:	
REVIEWED BY:	
DATE:	2023 JWA
ARCHITECT'S STAMP:	

SHEET DESCRIPTION: MATERIAL CALCS

SHEET NUMBER: A-009



1 North Elevation
SCALE: 1" = 10'



2 West Elevation
SCALE: 1" = 10'



3 South Elevation
SCALE: 1" = 10'



4 East Elevation
SCALE: 1" = 10'

Stonegate Lot 10- Material Calculations									
Elevation	NORTH	WEST	SOUTH	EAST	STAIR	WALL	Total	Percent	
Stone	1970	423	281	758	208	227	3867	35.62%	
Wood	375	227	286	229	0	0	1117	10.29%	
Glass	1488	512	151	660	0	0	2811	25.90%	
Metal	1531	501	363	665	0	0	3060	28.19%	
Total	5364	1663	1081	2312	208	227	10855		

STONE
146+30+32=
208

STONE
153+488+307+818+
160+44=
1970

WOOD
20+34+20+20+28+
29+29+29+27+97+
10+10+22=
375

GLASS
13+32+32+47+75+
48+48+48+45+37+
37+56+81+22+22+
57+22+22+53+29+
81+57+57+57+53+
76+115+10+22+11+
123=
1488

METAL
1231+21+8+8+99+82
+66+16=
1531

STONE
208+173+42= 423

WOOD
21+21+7+31+16+47+
29+23+32= 227

GLASS
13+79+24+17+85+85
+81+128= 512

METAL
296+159+46= 501

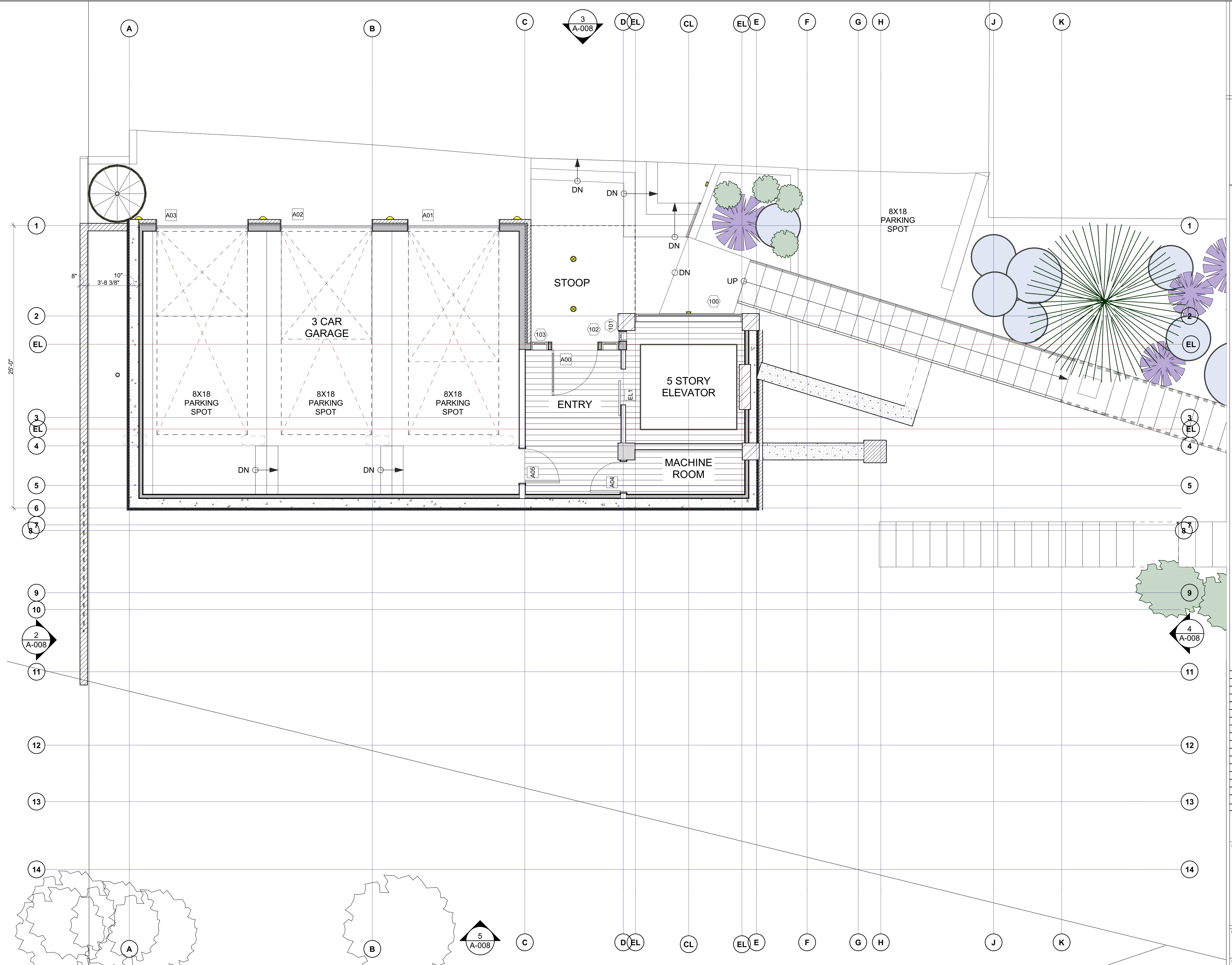
STONE
400+190+162+6=
758

WOOD
72+7+12+30+35+73=
229


GLASS
20+18+51+17+26+26
22+61+22+12+12+12
33+78+85+85+80=
660

METAL
555+48+7+11+7+12+
19=
665

D:\WORK\STONEGATE LOT 10\DRAWINGS\STONEGATE 12-29-23.pln



1 LEVEL 1 PLAN
 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
12-23	2/19/23	2/19/23 MATERIAL CALC
11-20	2/19/23	2/19/23 SITE PLANS
7-13-23		SCHEMATIC DESIGN 2
6-21-23		SCHEMATIC DESIGN 1

PROJECT NAME:
 SINGLE FAMILY
 LOT 10, STONEGATE
 MOUNTAIN VILLAGE, CO

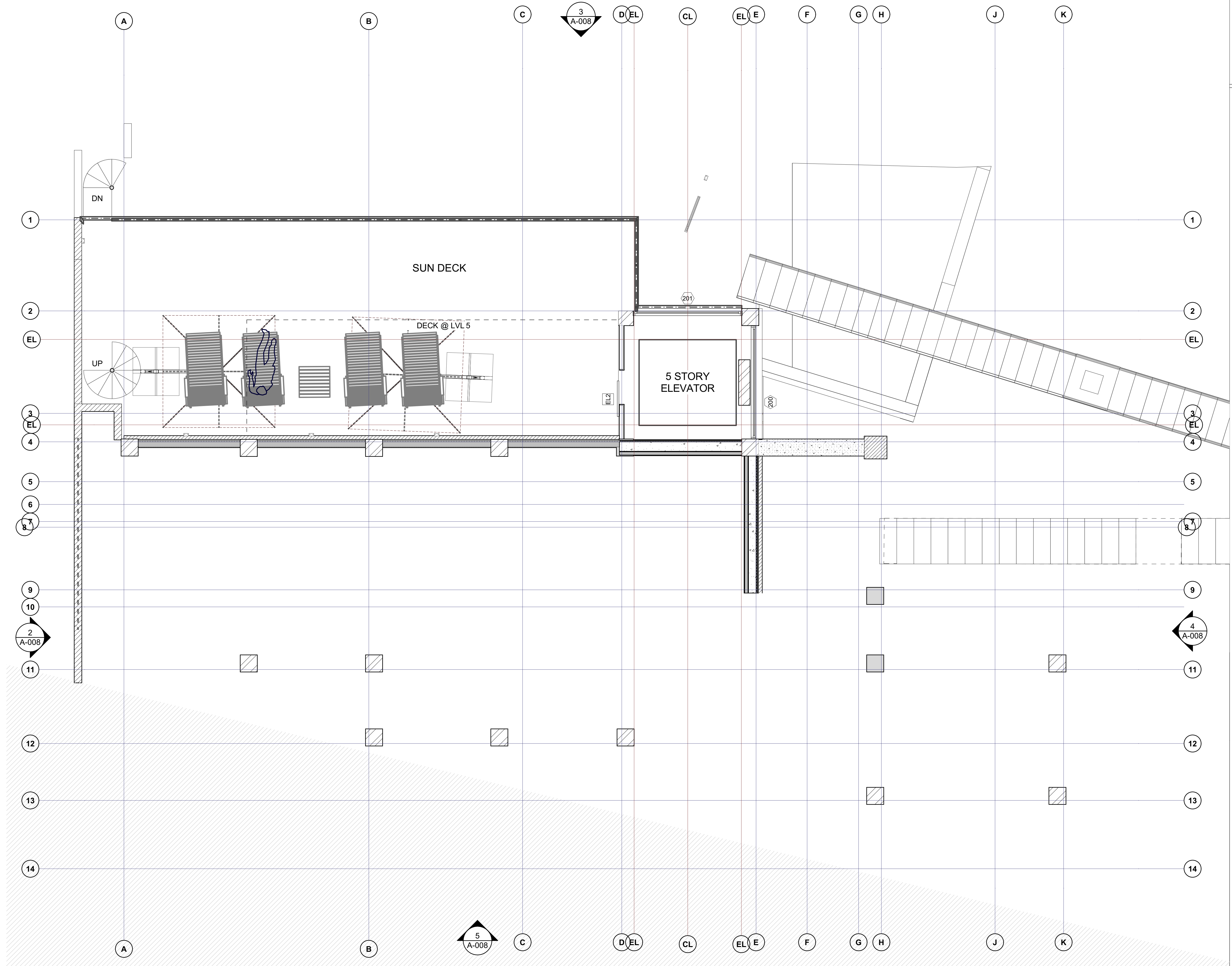
PROJECT MANAGER:
 DRAWN BY:
 REVIEWED BY:
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 ARCHITECTS STAMP:

PROJECT NAME:
 SINGLE FAMILY
 LOT 10, STONEGATE
 MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
First Floor Framing

SHEET NUMBER:
A-101

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1 LEVEL 2 PLAN
 SCALE: 1/4" = 1'-0"



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION

PROJECT NAME:
 PROJECT MANAGER:
 DRAWN BY:
 REVIEWED BY:
 2023 JWA
 ARCHITECTS STAMP:

PROJECT NAME:
 SINGLE FAMILY
 LOT 10, STONEGATE
 MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
Second Floor Plan

SHEET NUMBER:
A-102

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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
12-23	219-DRB MATERIAL CALC	
11-20-23	219-DRB SITE PLANS	
7-13-23	SCHEMATIC DESIGN 2	
6-21-23	SCHEMATIC DESIGN 1	

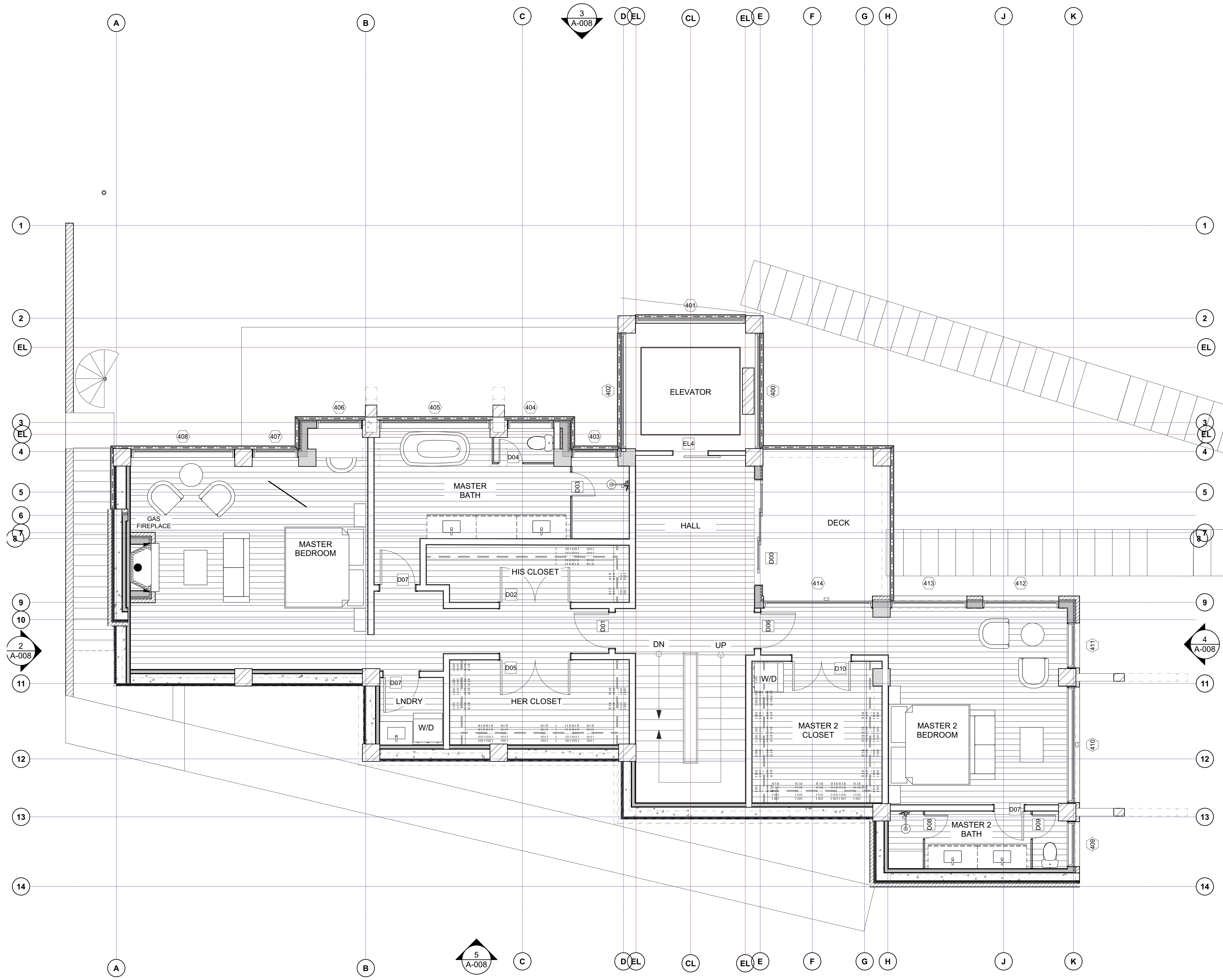
PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
2023 JWA

ARCHITECTS STAMP

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

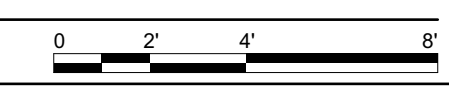
SHEET DESCRIPTION:
Fourth Floor Plan

SHEET NUMBER:
A-104



1 LEVEL 4 PLAN

SCALE: 1/4" = 1'-0"





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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION

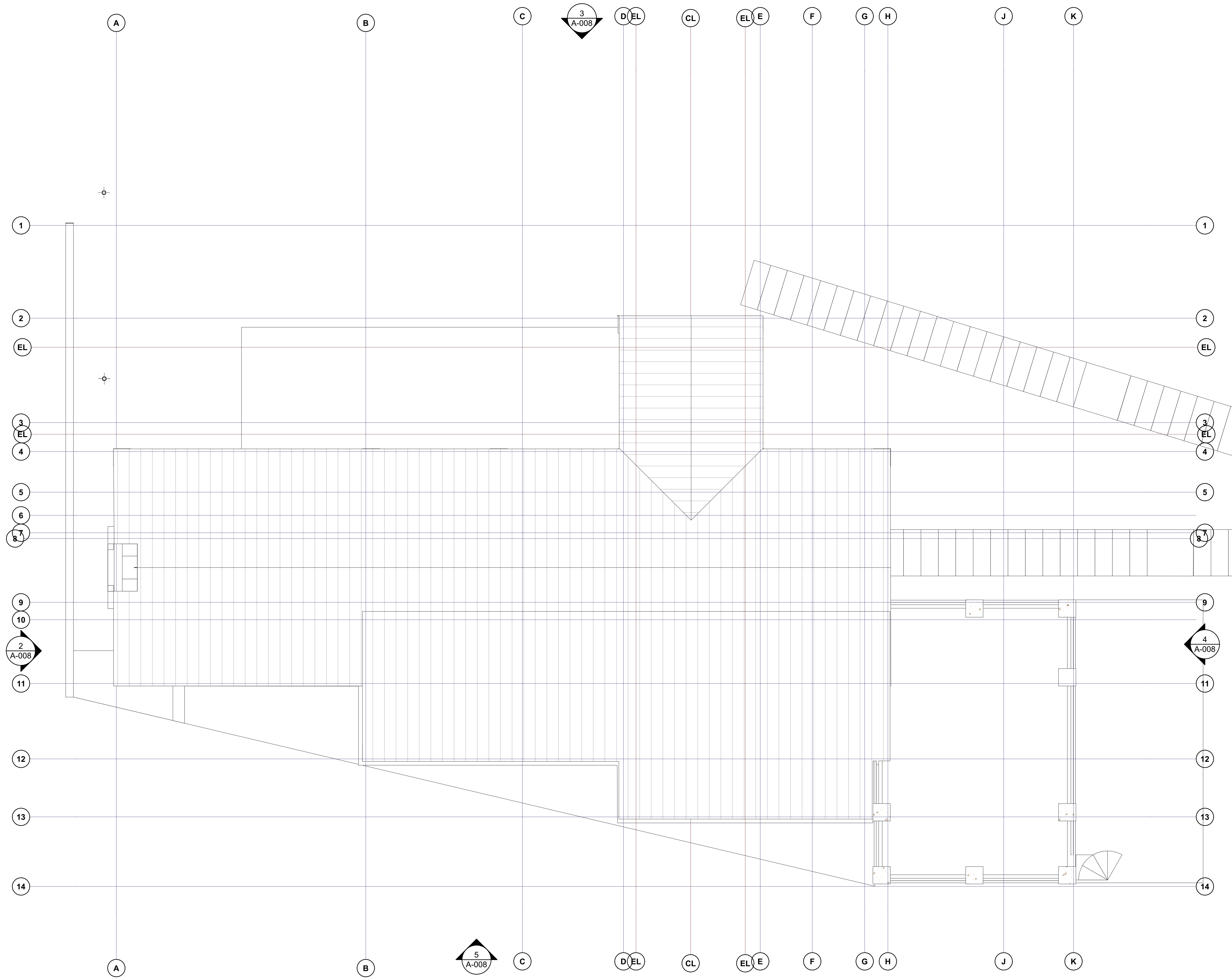
DATE	DESCRIPTION
12-8-23	219-DRB MATERIAL CALC
11-30-23	219-DRB SITE PLANS
7-13-23	SCHEMATIC DESIGN 2
6-21-23	SCHEMATIC DESIGN 1

PROJECT NAME:
SINGLE FAMILY
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
ARCHITECTS STAMP:

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
Roof Plan

SHEET NUMBER:
A-110



1 ROOF PLAN
SCALE: 1/4" = 1'-0"
0 2' 4' 8'

D:\WORK\STONEGATE LOT 10\DRAWING\STONEGATE 12-29-23.pln



STANDING SEAM METAL ROOF,
BONDERIZED

STEEL WRAPPED COLUMNS, OIL
RUBBED FINISH

STEEL SPIRAL STAIR SYSTEM

METAL CLAD WINDOWS,
DARK FINISH

6" HORIZONTAL WOOD
SIDING, STAINED

C15 STEEL CHANNEL DECK RIM AND
BANDING, OIL RUBBED FINISH

STONE VENEER,
TELLURIDE GREY

GLASS AND STEEL RAILING

STONE RETAINING WALL

METAL CHIMNEY CAP-
OIL RUBBED FINISH

STONE VENEER
CHIMNEY-
TELLURIDE GREY

METAL PANEL SIDING,
BONDERIZED

B: STEP LIGHTS- SEE
A005 AND A900

C: SCUNCES- SEE A005
AND A900

DARK METAL ROLLING
GARAGE DOORS

ADDRESS MONUMENT-
PER CODE

B: STEP LIGHTS- SEE
A005 AND A900

A: RECESSED
DOWNLIGHTS- SEE
A005 AND A900



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
12-2-23	219-DRB MATERIAL CALC	
11-30-23	219-DRB SITE PLANS	
7-13-23	SCHEMATIC DESIGN 2	
6-21-23	SCHEMATIC DESIGN 1	

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
© 2023 JWA
ARCHITECTS STAMP:

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
Exterior Elevations

SHEET NUMBER:
A-201

1 North Elevation
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



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STONEGATE 10

NOT FOR CONSTRUCTION

12-23	219-DRB MATERIAL CALC.
11-20-23	219-DRB SITE PLANS
7-13-23	SCHEMATIC DESIGN 2
6-21-23	SCHEMATIC DESIGN 1

MARK	REV. DATE	DESCRIPTION

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

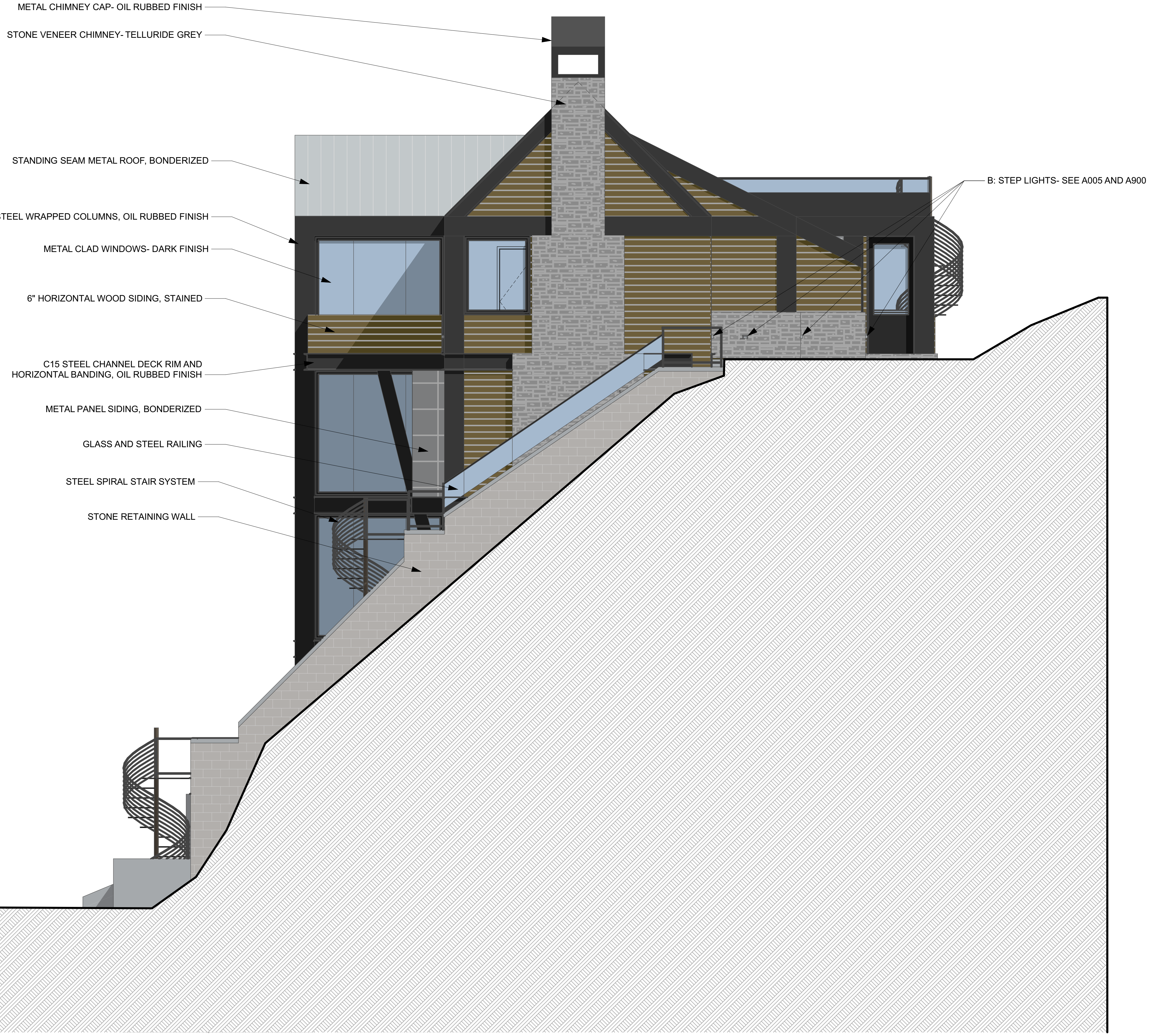
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
2023 JWA

ARCHITECTS STAMP:

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
Exterior Elevations

SHEET NUMBER:
A-202



1 West Elevation
SCALE: 1/4" = 1'-0"

D:\WORK\STONEGATE LOT 10\DRAWINGS\STONEGATE 12-29-23.pln



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STONEGATE 10

NOT FOR CONSTRUCTION

12-8-23	319-DRS MATERIAL CALC
11-30-23	319-DRS SITE PLANS
7-13-23	SCHEMATIC DESIGN 2
6-21-23	SCHEMATIC DESIGN 1

MARK	REV. DATE	DESCRIPTION

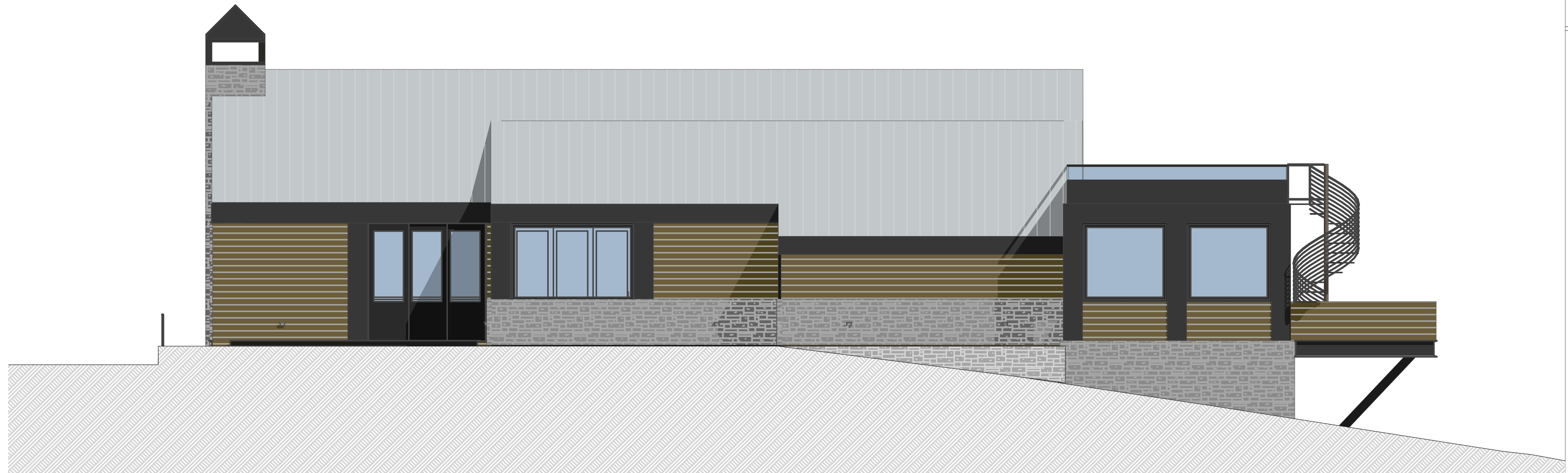
PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
© 2023 JWA

ARCHITECTS STAMP:

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
Exterior Elevations

SHEET NUMBER:
A-203



1 South Elevation
SCALE: 1/4" = 1'-0"
0 2' 4' 8"

D:\WORK\STONEGATE LOT 10\DRAWINGS\STONEGATE 12-29-23.pln



1 East Elevation

SCALE: 1/4" = 1'-0"



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION

12-2-23	219-DRB MATERIAL CALC.
11-30-23	219-DRB SITE PLANS
7-13-23	SCHEMATIC DESIGN 2
6-21-23	SCHEMATIC DESIGN 1

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
© 2023 JWA
ARCHITECT'S STAMP:

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
Exterior Elevations

SHEET NUMBER:
A-204

D:\WORK\STONEGATE LOT 10\DRAWINGS\STONEGATE 12-29-23.pln



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STONEGATE 10

NOT FOR CONSTRUCTION

12-23	219-DRB MATERIAL CALC
11-20-23	219-DRB SITE PLANS
7-13-23	SCHEMATIC DESIGN 2
6-21-23	SCHEMATIC DESIGN 1

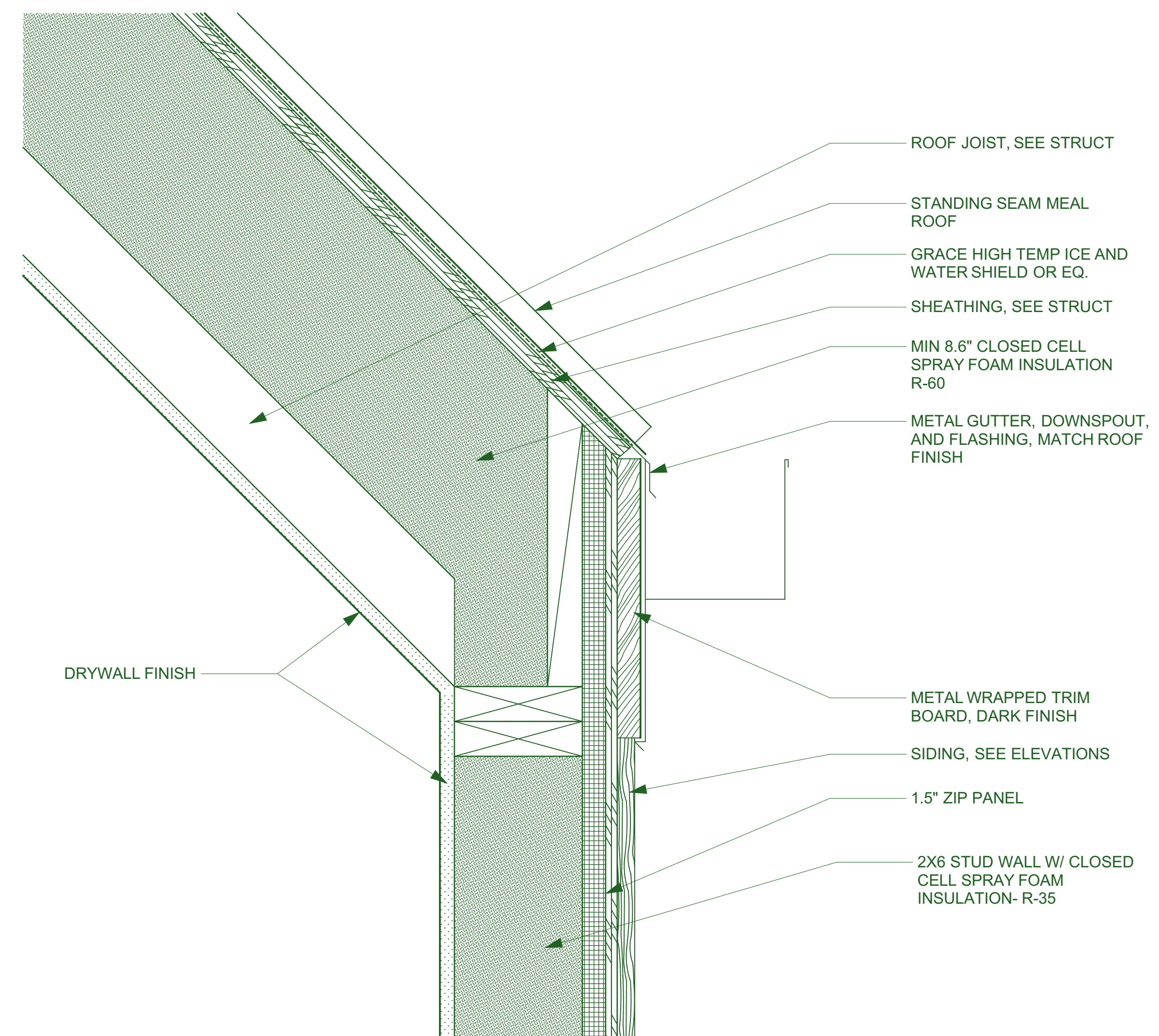
MARK	REV. DATE	DESCRIPTION

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
© 2023 JWA
ARCHITECTS STAMP:

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
Roof Details

SHEET NUMBER:
A-500



1 ROOF EAVE DETAIL



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
02023 JWA

ARCHITECTS STAMP:

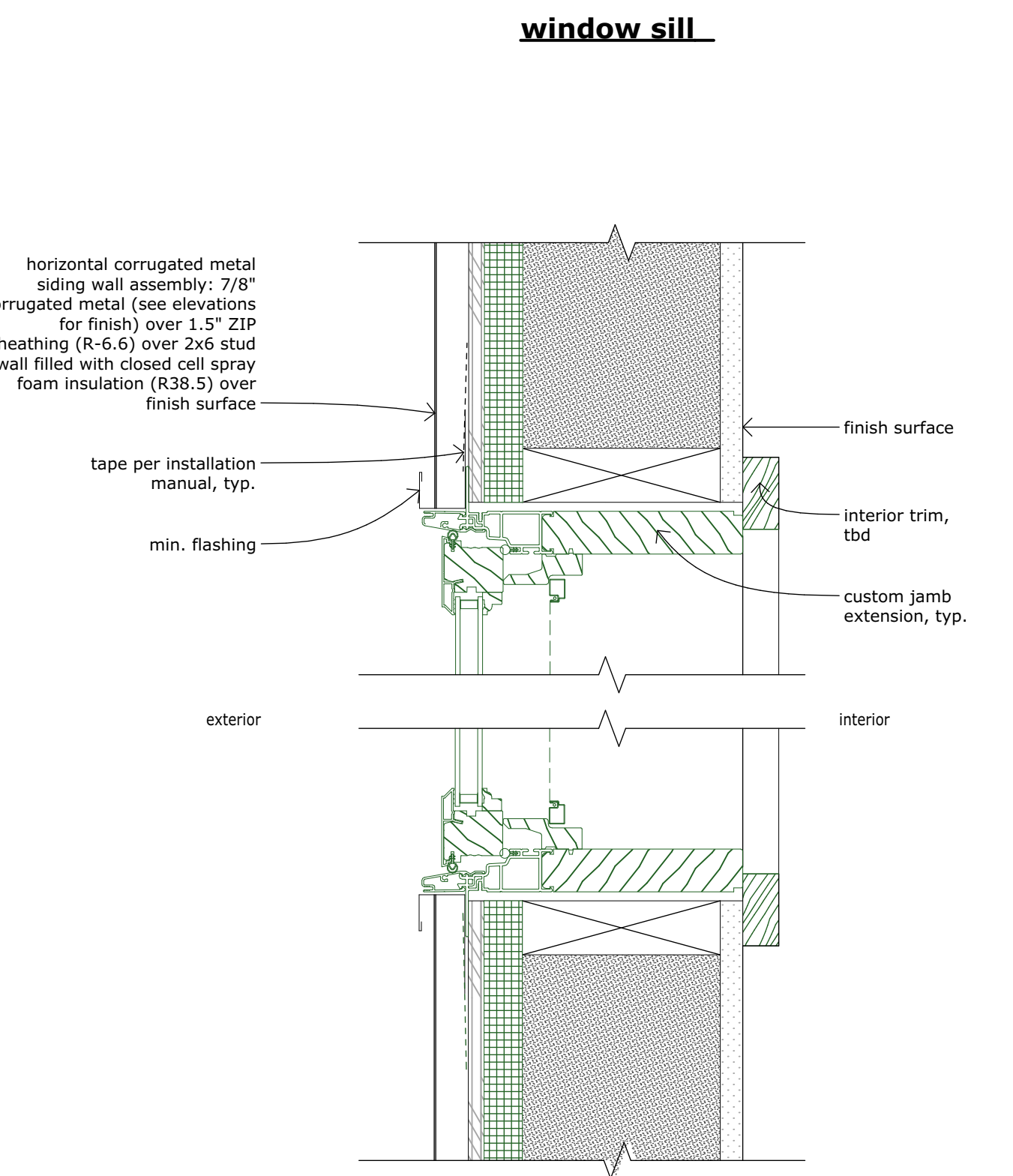
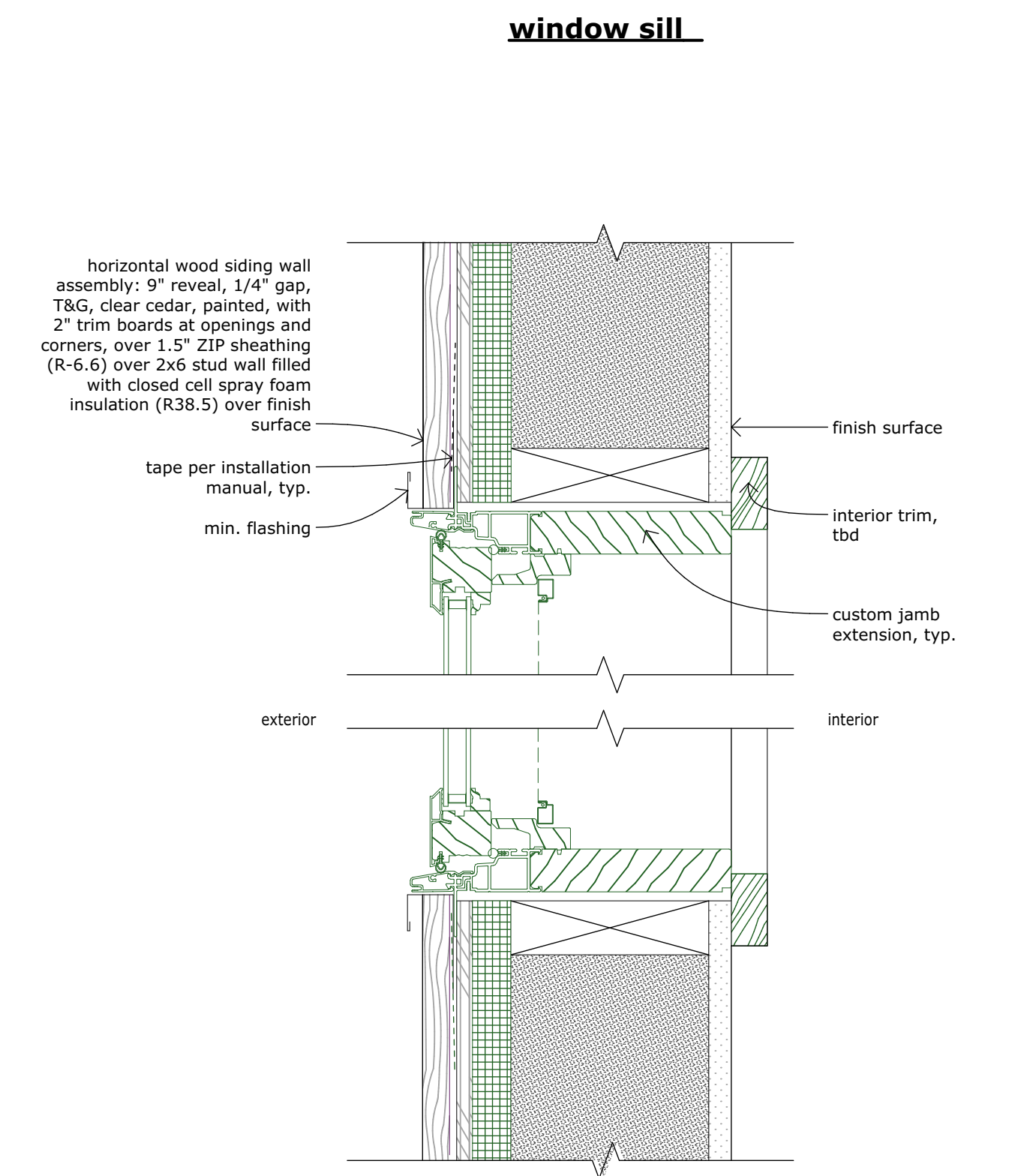
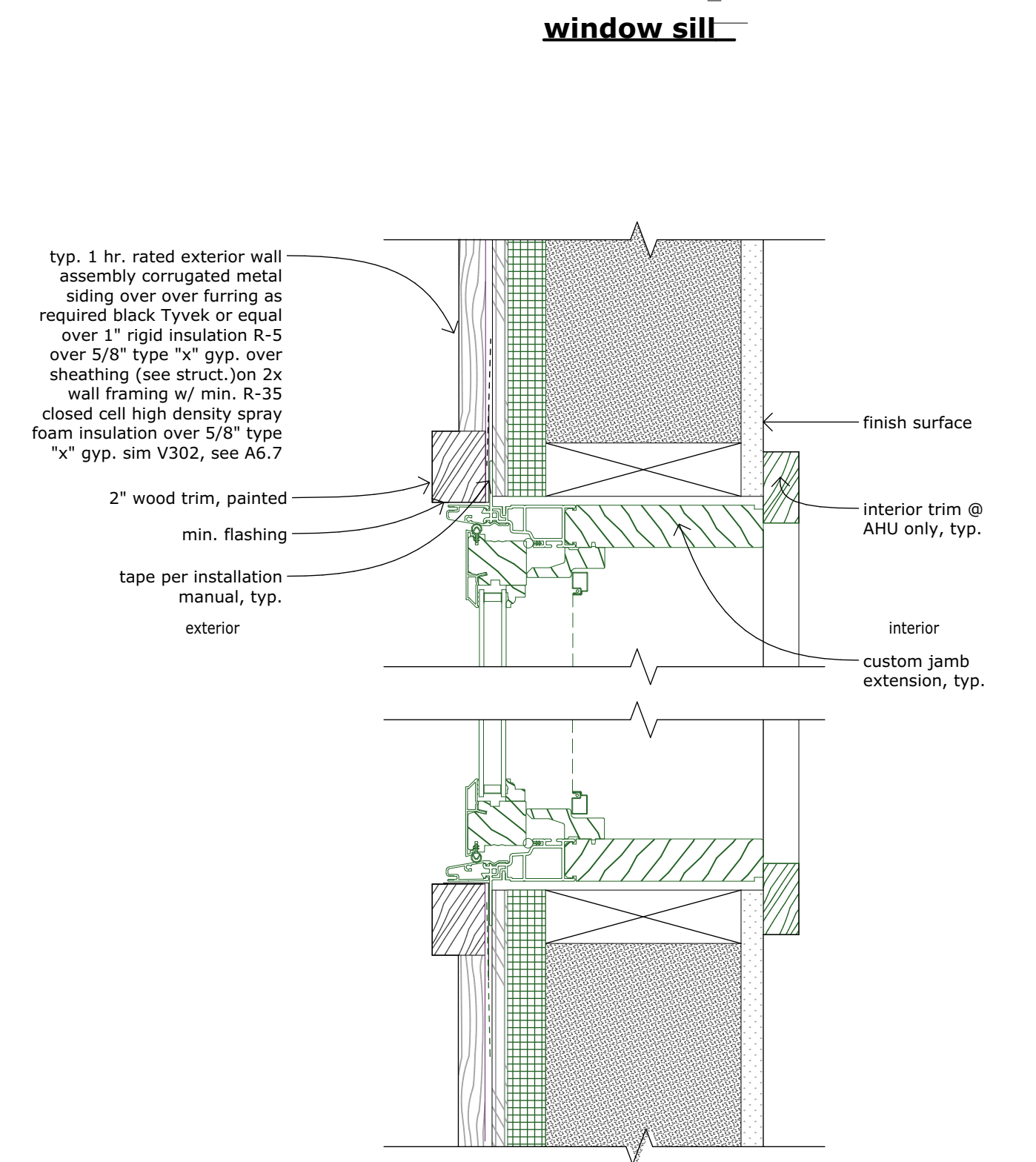
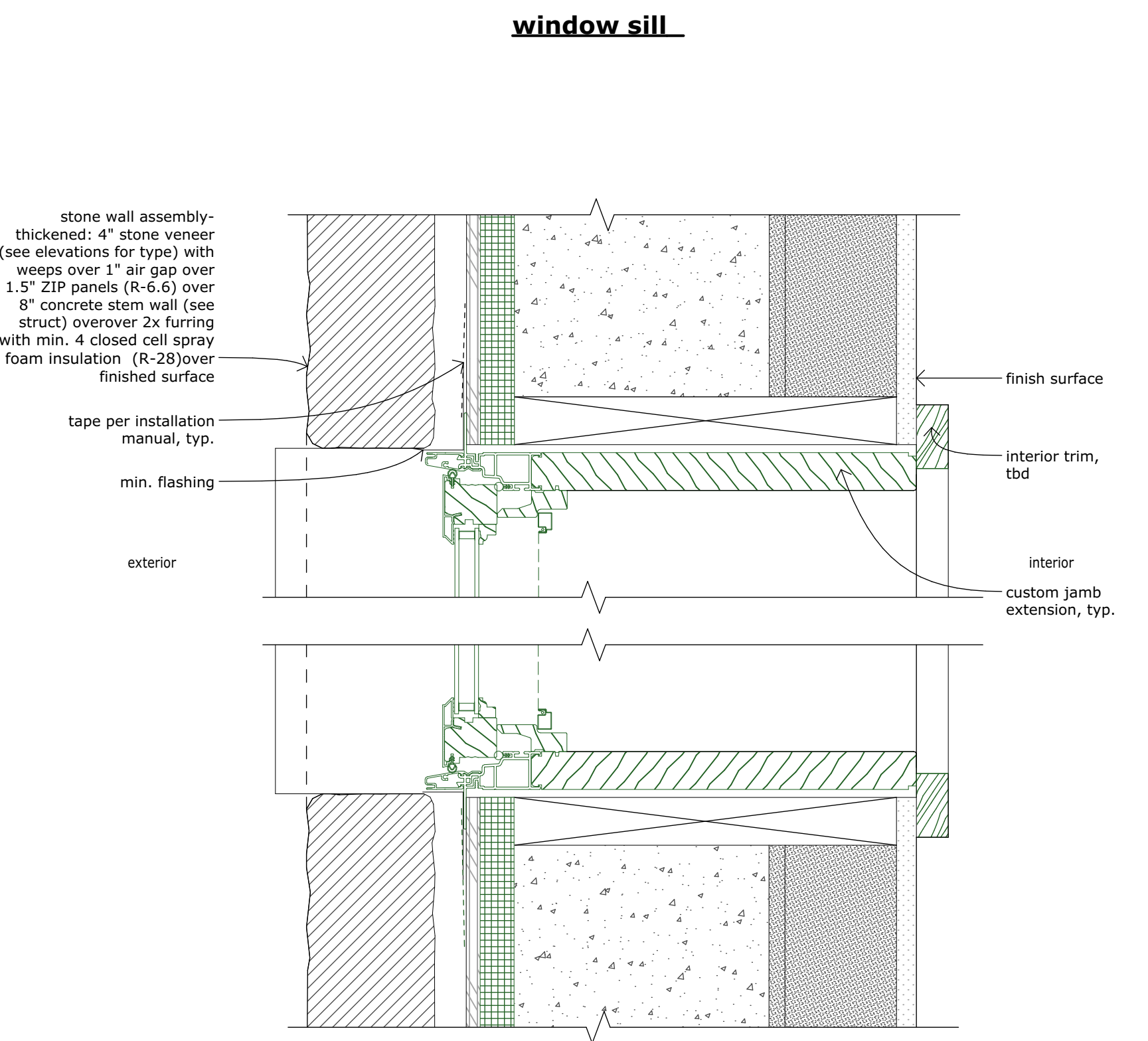
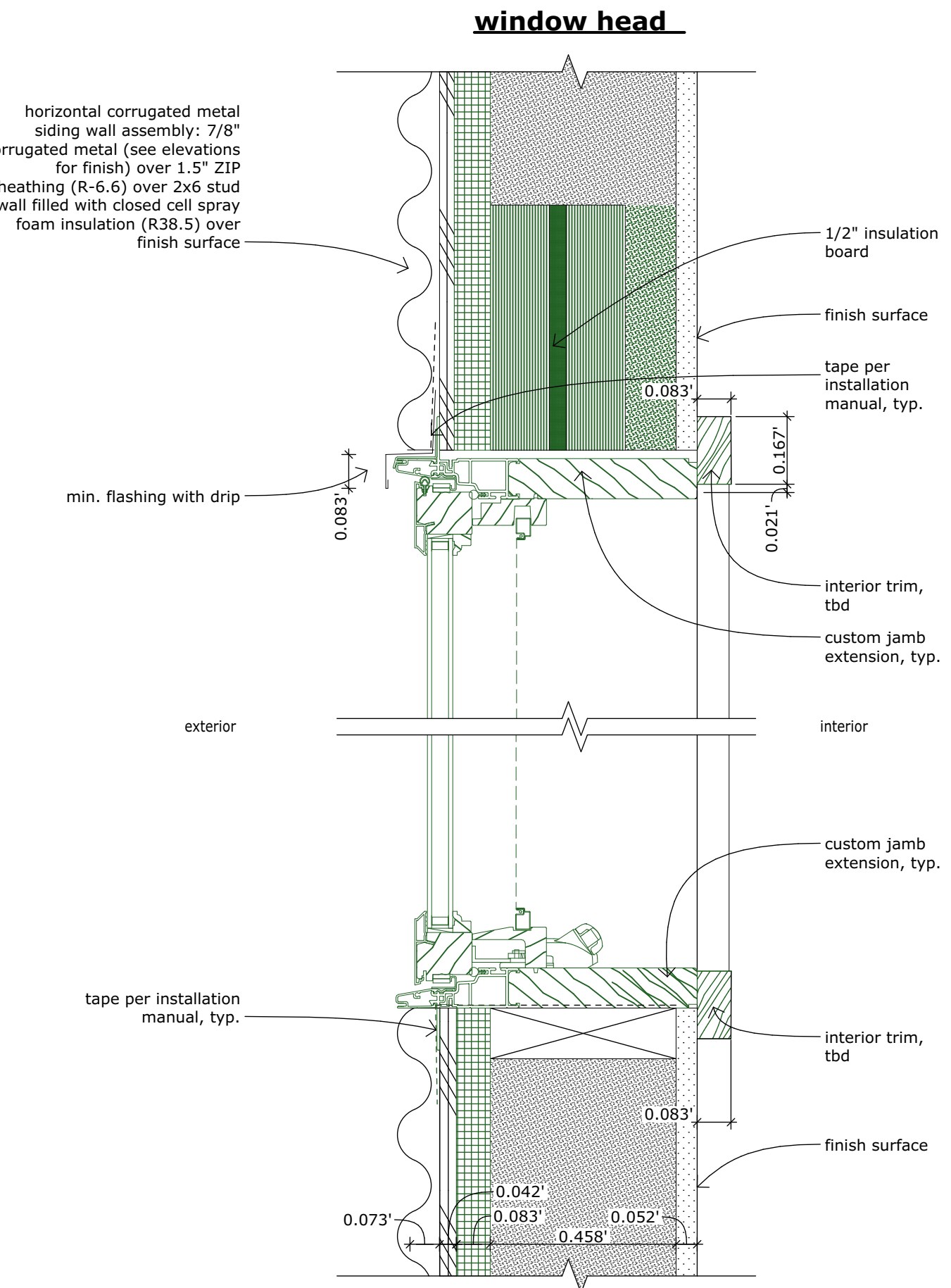
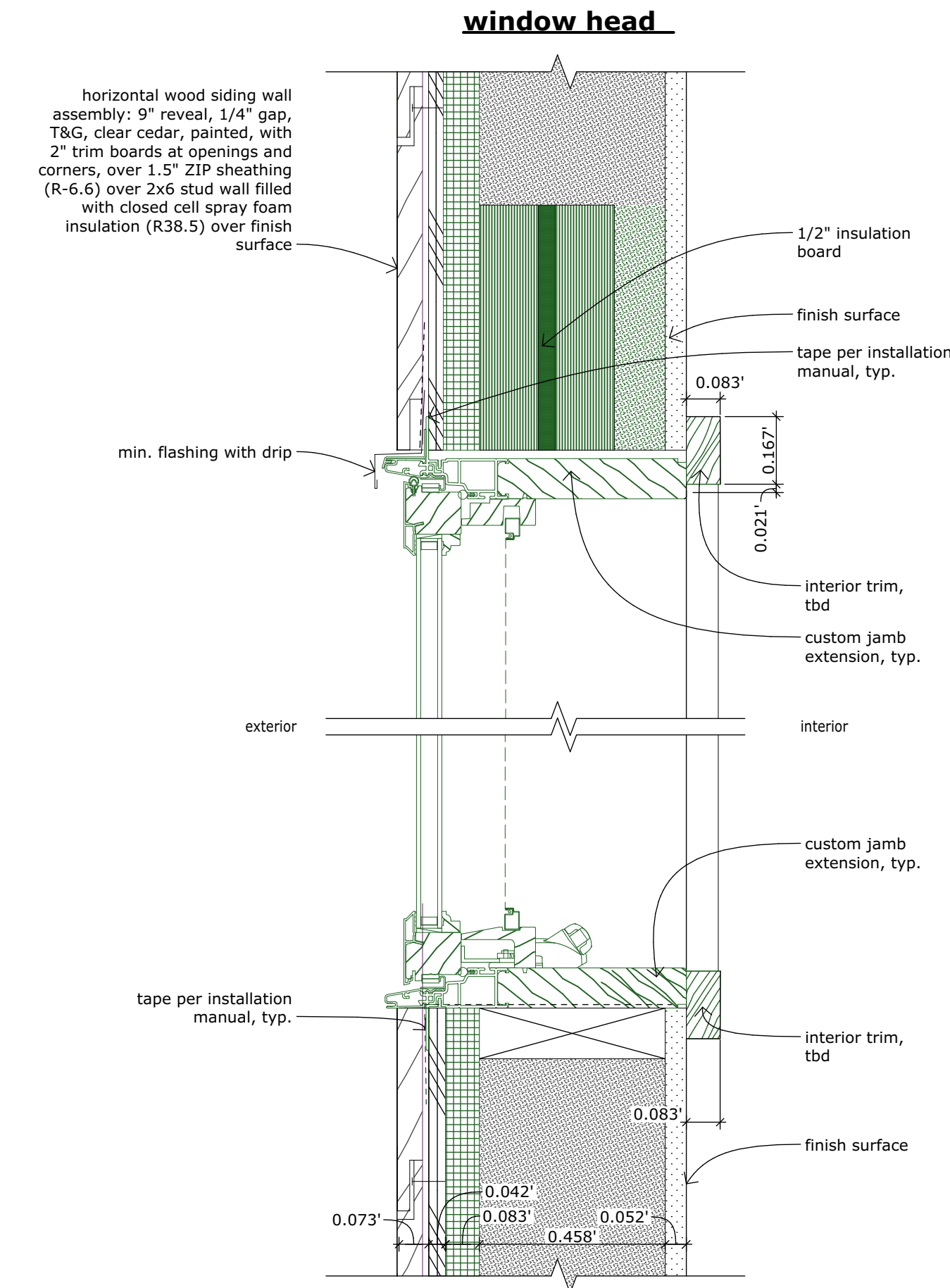
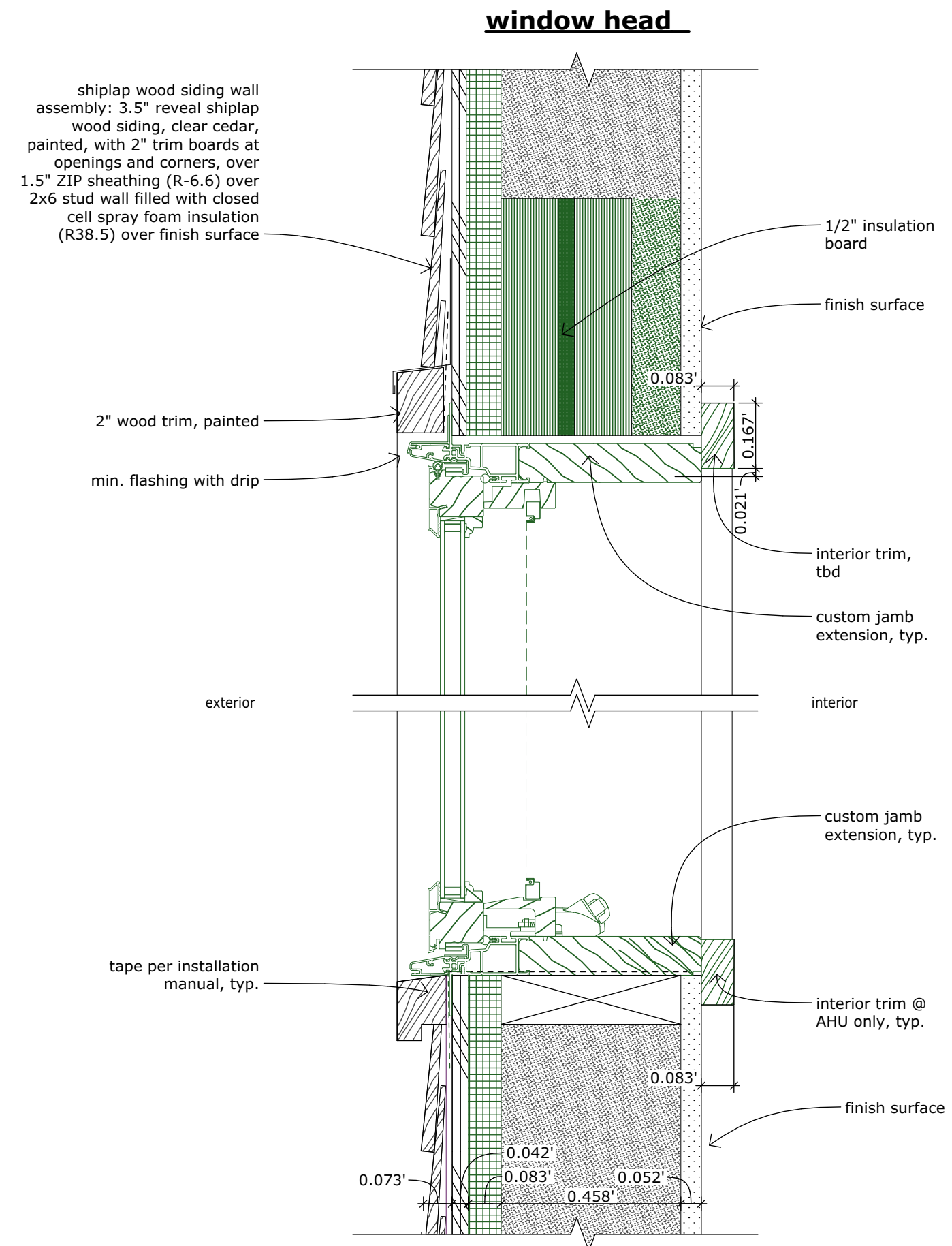
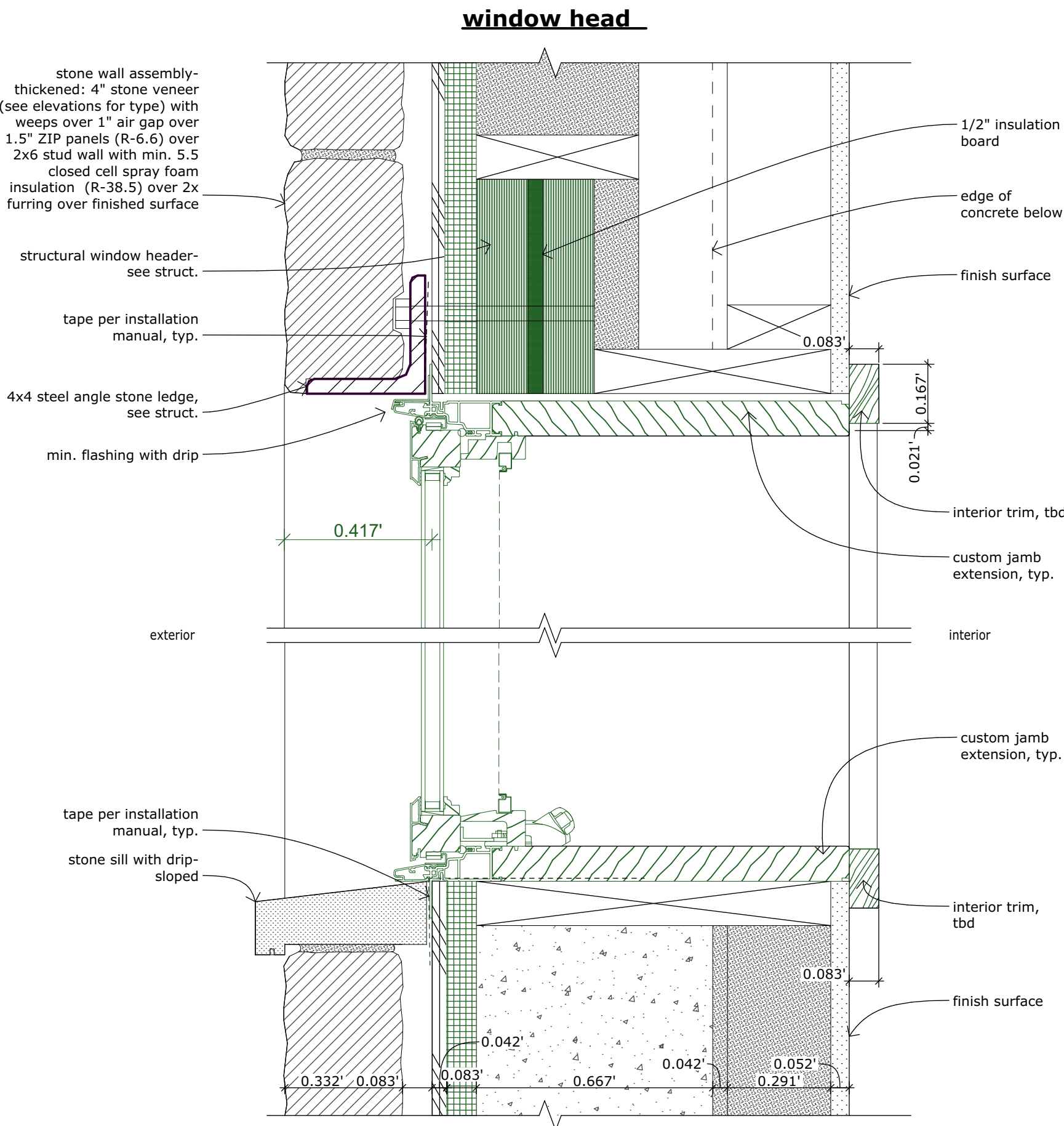
PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
Window Details

SHEET NUMBER:

A-501

D:\WORK\STONEGATE LOT 10\DRAWINGS\STONEGATE 12-29-23.pln



window jamb

window jamb

window jamb

window jamb

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DOOR SCHEDULE							
ID	DOOR LEAF		TYPE	ROOM	HARDWARE SET		REMARKS
	NOMINAL WIDTH	NOMINAL HEIGHT					
A00	4'-0"	10'-0"	ENTRY	ENTRY	LOCK SET	2/3 LITE, TEMPERED	
A01	8'-0"	12'-0"	OVERHEAD GARAGE	GARAGE 1	OPENER		
A02	8'-0"	10'-0"	OVERHEAD GARAGE	GARAGE 2	OPENER		
A03	8'-0"	8'-0"	OVERHEAD GARAGE	GARAGE 3	OPENER		
A04	2'-8"	8'-0"	SOILD CORE FLUSH PANEL	ELEVATOR MECH.	OWNER LOCK?	1 HR. FIRE RATED ON CLOSER	
A05	3'-0"	8'-0"	SOLID CORE FLUSH PANEL	GARAGE	LOCK SET	1 HR. FIRE RATED	
C00	3'-0"	8'-0"	SINGLE FLUSH PANEL	BEDROOM 2	PRIVACY		
C01	2'-0"	8'-0"	SINGLE CLEAR GLASS PANEL	BATH 2 SHOWER	PUSH BAR	TEMPERED	
C02	3'-0"	8'-0"	SOLID CORE FLUSH PANEL	MECHANICAL	OWNER LOCK?	1 HR. FIRE RATED ON CLOSER	
C03	3'-0"	8'-0"	SINGLE FLUSH PANEL	LAUNDRY	PASSAGE		
C04	3'-0"	8'-0"	SINGLE FLUSH PANEL	BEDROOM 1	PRIVACY		
C05	2'-6"	8'-0"	SINGLE FLUSH PANEL	BATH 1	PRIVACY		
C06	2'-0"	8'-0"	SINGLE CLEAR GLASS PANEL	BATH 1 SHOWER	PUSH BAR	TEMPERED	
D00	9'-0"	9'-0"	3 PANEL SLIDING DOOR	HALL 4	LOCK SET	2/3 LITE TEMPERED	
D01	3'-0"	8'-0"	SINGLE FLUSH PANEL	MASTER BEDROOM 1	PRIVACY		
D02	6'-0"	8'-0"	DOUBLE FLUSH PANEL	MASTER BATH 1	PRIVACY		
D03	2'-0"	8'-0"	SINGLE CLEAR GLASS PANEL	MASTER SHOWER 1	PUSH BAR	TEMPERED	
D04	2'-0"	8'-0"	SINGLE FROSTED GLASS PANEL	MASTER W.C.	PUSH BAR	TEMPERED	
D05	6'-0"	8'-0"	DOUBLE FLUSH PANEL	MASTER CLOSET 1	PASSAGE		
D06	3'-0"	8'-0"	SINGLE FLUSH PANEL	MASTER BEDROOM 2	PRIVACY		
D07	3'-0"	8'-0"	SINGLE FLUSH PANEL		PRIVACY		
D07	3'-0"	8'-0"	SINGLE FLUSH PANEL		PRIVACY		
D07	2'-6"	8'-0"	SINGLE FLUSH PANEL	MASTER BATH 2	PRIVACY		
D08	2'-0"	8'-0"	SINGLE CLEAR GLASS PANEL	MASTER SHOWER 2	PUSH BAR	TEMPERED	
D09	2'-0"	8'-0"	SINGLE FROSTED GLASS PANEL	MASTER W.C. 2	PUSH BAR	TEMPERED	
D10	5'-0"	8'-0"	DOUBLE FLUSH PANEL	MASTER CLOSET 2	PASSAGE		
E00	9'-4"	9'-0"	3 PANEL SLIDING DOOR	LIVING ROOM	LOCK SET	2/3 LITE, TEMPERED	
E01	9'-0"	9'-0"	3 PANEL SLIDING DOOR	LIVING ROOM	LOCK SET	2/3 LITE, TEMPERED	
E02	3'-6"	9'-0"	EXTERIOR SINGLE PANEL	SKI LOCKER	LOCK SET	2/3 LITE TEMPERED	
E03	4'-0"	9'-0"	EXTERIOR SINGLE PANEL	GAME ROOM	LOCK SET	2/3 LITE TEMPERED	
E04	6'-0"	8'-0"	DOUBLE FLUSH PANEL	OFFICE	PRIVACY		
E05	2'-6"	8'-0"	SINGLE FLUSH PANEL	POWDER	PRIVACY		
E06	2'-6"	8'-0"	SINGLE FLUSH PANEL	STORAGE	PASSAGE		
EL1	3'-0"	8'-0"	GLASS SLIDING DOOR	ELEVATOR LVL 1	PUSH BUTTON	PER MANUF., TEMPERED	
EL2	3'-0"	8'-0"	GLASS SLIDING DOOR	ELEVATOR LVL 2	PUSH BUTTON	PER MANUF., TEMPERED	
EL3	3'-0"	8'-0"	GLASS SLIDING DOOR	ELEVATOR LVL 3	PUSH BUTTON	PER MANUF., TEMPERED	
EL4	3'-0"	8'-0"	GLASS SLIDING DOOR	ELEVATOR LVL 4	PUSH BUTTON	PER MANUF., TEMPERED	
EL5	3'-0"	8'-0"	GLASS SLIDING DOOR	ELEVATOR LVL 5	PUSH BUTTON	PER MANUF., TEMPERED	

WINDOW SCHEDULE				
ID	Width	Height	Operation	REMARKS
100	9'-6"	13'-6"	FIXED	
101	10"	13'-6"	FIXED	
102	1'-6"	10'-0"	FIXED	
103	1'-6"	10'-0"	FIXED	
200	9'-11"	9'-3"	FIXED	
201	9'-6"	9'-3"	FIXED	
300	9'-11"	9'-8"	FIXED	
301	9'-6"	9'-8"	FIXED	
302	9'-11"	9'-8"	FIXED	
303	9'-4"	7'-0"	FIXED	
304	4'-8"	7'-0"	FIXED	
305	4'-8"	7'-0"	FIXED	
306	4'-8"	7'-0"	FIXED	
307	4'-8"	7'-0"	FIXED	
308	8'-10"	7'-0"	FIXED	
400	9'-11"	9'-8"	FIXED	
401	9'-6"	9'-8"	FIXED	
402	9'-11"	9'-8"	FIXED	
403	3'-10"	7'-0"	FIXED	
404	3'-10"	7'-0"	FIXED	
405	9'-6"	7'-0"	FIXED	
406	3'-10"	7'-0"	FIXED	
407	3'-10"	7'-0"	FIXED	
408	8'-10"	7'-0"	FIXED	
409	3'-10"	7'-0"	FIXED	
410	9'-11"	7'-0"	FIXED	
411	3'-10"	7'-0"	FIXED	
412	6'-6"	7'-0"	FIXED	
413	6'-6"	7'-0"	FIXED	
414	9'-4"	7'-0"	FIXED	
500	5'-6"	6'-0"	FIXED	
500	9'-11"	9'-0"	FIXED	
501	9'-6"	9'-0"	FIXED	
502	9'-11"	9'-0"	FIXED	
503	9'-6"	6'-0"	FIXED	
504	9'-6"	6'-0"	FIXED	
505	8'-10"	6'-0"	FIXED	
506	5'-0"	6'-0"	FIXED	
507	9'-6"	6'-0"	FIXED	
508	6'-6"	6'-0"	FIXED	
509	6'-6"	6'-0"	FIXED	
510	3'-10"	6'-0"	FIXED	
511	9'-11"	6'-0"	FIXED	
512	6'-6"	6'-0"	FIXED	
513	6'-6"	6'-0"	FIXED	
514	5'-6"	6'-0"	FIXED	
515	9'-6"	6'-0"	FIXED	



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STONEGATE 10

NOT FOR CONSTRUCTION

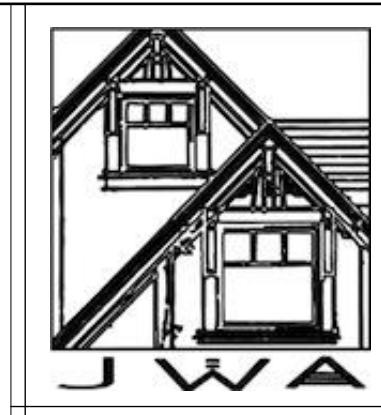
12-8-23	919-DRB MATERIAL CALC
11-30-23	919-DRB SITE PLANS
7-13-23	SCHEMATIC DESIGN 2
6-21-23	SCHEMATIC DESIGN 1

MARK	REV. DATE	DESCRIPTION

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
2023 JWA
ARCHITECTS STAMP:

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO
SHEET DESCRIPTION:
**Door & Window
Schedules**
SHEET NUMBER:
A-800

D:\WORK\STONEGATE LOT 10\DRAWINGS\STONEGATE 12-29-23.pln



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STONEGATE 10

NOT FOR CONSTRUCTION

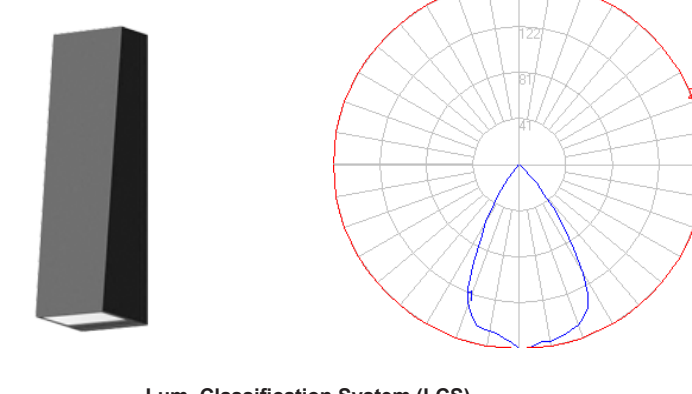
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PROJECT NAME: SINGLE FAMILY LOT 10, STONEGATE MOUNTAIN VILLAGE, CO DRAWN BY: [redacted] REVIEWED BY: [redacted] ARCHITECT'S STAMP: [redacted]

PROJECT NAME: SINGLE FAMILY LOT 10, STONEGATE MOUNTAIN VILLAGE, CO SHEET DESCRIPTION: Specs SHEET NUMBER: A900

BEGA

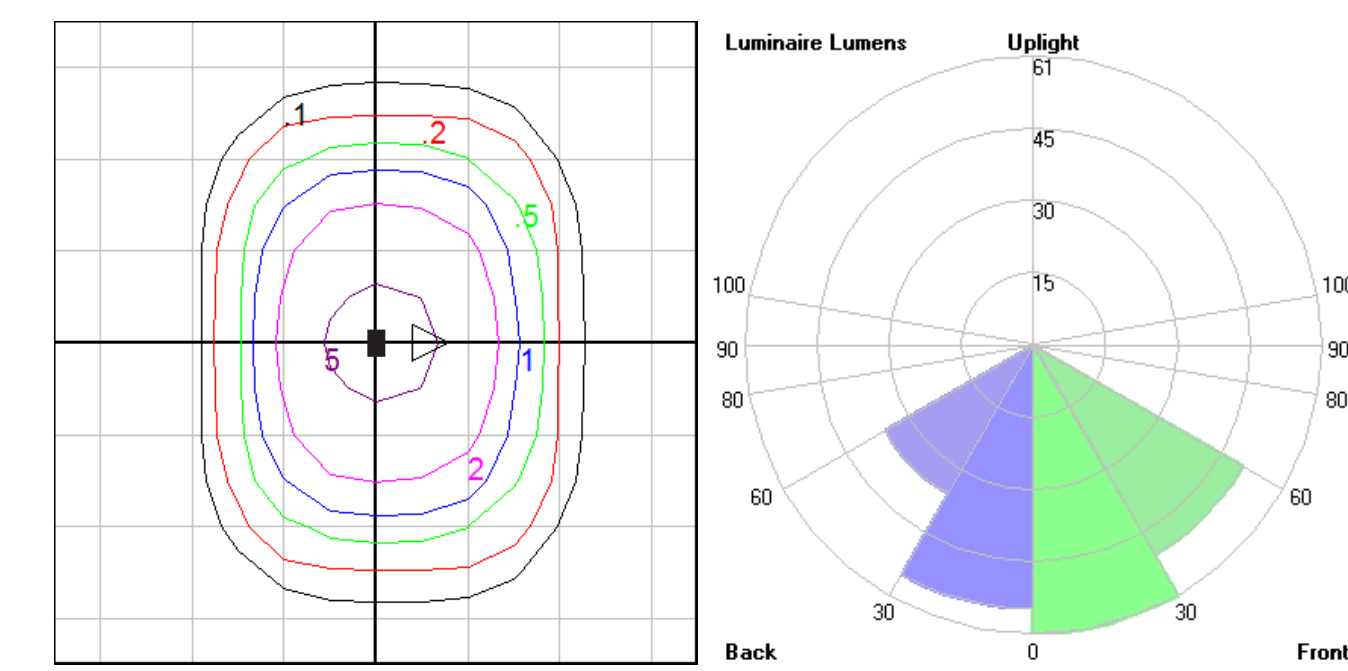
Photometric Filename: 33514.IES
TEST: BE_33514
TEST LAB: BEGA
DATE: 9/29/2017
LUMINAIRE: 33 514
LAMP: 3W LED



Characteristics
IES Classification: Type I
Longitudinal Classification: Very Short
Lumens Per Lamp: N.A. (absolute)
Total Lamp Lumens: N.A. (absolute)
Luminaire Lumens: 204
Downward Total Efficiency: N.A.
Total Luminaire Efficiency: N.A.
Luminaire Efficacy Rating (LER): 35
Total Luminaire Watts: 5.8
Ballast Factor: 1.00
Upward Waste Light Ratio: 0.00
Max. Cd: 162.408 (180H, OV)
Max. Cd (<90 Vert.): 162.408 (180H, OV)
Max. Cd. (At 90 Deg. Vert.): 0 (0.0% Lum)
Max. Cd. (80 to <90 Deg. Vert.): 222 (0.1% Lum)
Cutoff Classification (deprecated): N.A. (absolute)

Lum. Classification System (LCS)
Table with columns: LCS Zone, Lumens, %Lamp, %Lum. Rows include FL (0-30), FM (30-60), FN (60-90), BL (0-30), BM (30-60), BN (60-90), BVH (80-90), UL (90-100), UH (100-180), Total.

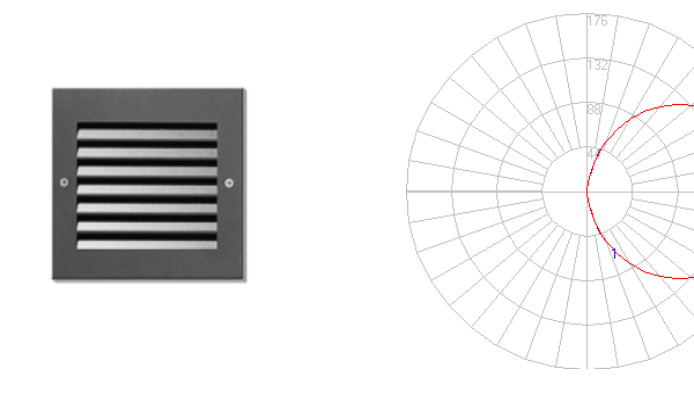
BUG Rating: B0-U0-G0



Wall Mount - Iso-footcandle grid on floor
Mounting Height = 5 ft. Grid Spacing = 2.5 ft.
In the interest of product improvement, BEGA reserves the right to make technical changes without notice.
BEGA 1000 Bega Way, Carpinteria, CA 93013 (805)684-0533 Fax (805)566-9474 www.bega-us.com © Copyright BEGA-US 2017 10/31/2017

BEGA

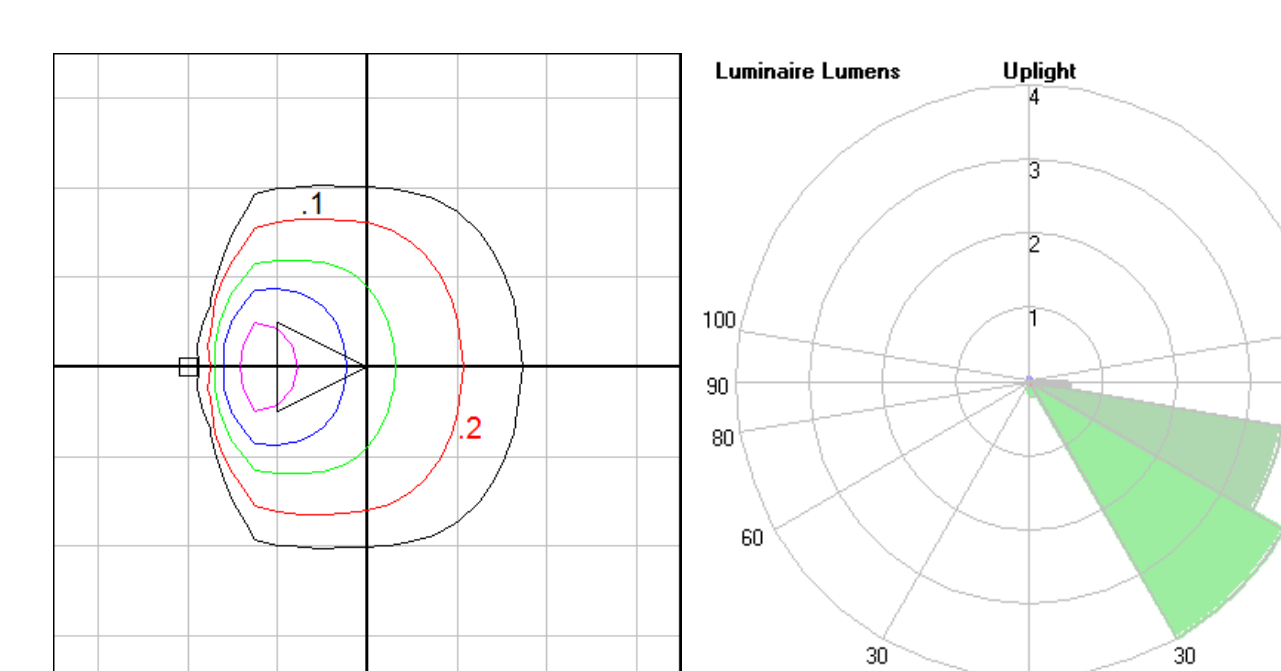
Photometric Filename: 22203.ies
TEST: BE_22203
TEST LAB: BEGA
DATE: 11/6/2012
LUMINAIRE: 22 203
LAMP: 21W LED, 24V DC



Characteristics
IES Classification: Type IV
Longitudinal Classification: Very Short
Lumens Per Lamp: N.A. (absolute)
Total Lamp Lumens: N.A. (absolute)
Luminaire Lumens: 8
Downward Total Efficiency: N.A.
Total Luminaire Efficiency: N.A.
Luminaire Efficacy Rating (LER): 3
Total Luminaire Watts: 3
Ballast Factor: 1.00
Upward Waste Light Ratio: 0.00
Max. Cd: 8.4 (0H, 62.5V)
Max. Cd (<90 Vert.): 8.4 (0H, 62.5V)
Max. Cd. (At 90 Deg. Vert.): 2 (2.5% Lum)
Max. Cd. (80 to <90 Deg. Vert.): 4 (5.0% Lum)
Cutoff Classification (deprecated): N.A. (absolute)

Lum. Classification System (LCS)
Table with columns: LCS Zone, Lumens, %Lamp, %Lum. Rows include FL (0-30), FM (30-60), FN (60-90), BL (0-30), BM (30-60), BN (60-90), BVH (80-90), UL (90-100), UH (100-180), Total.

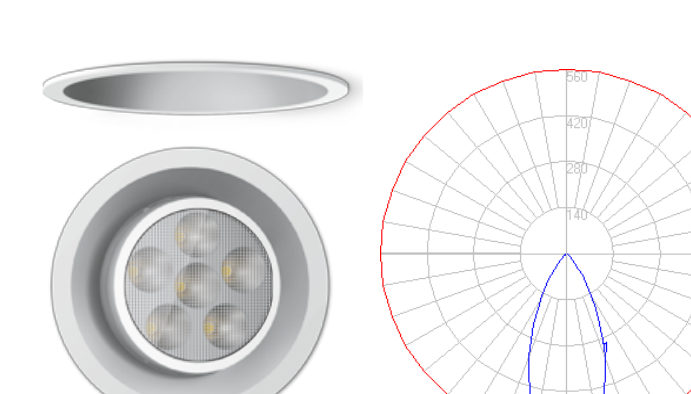
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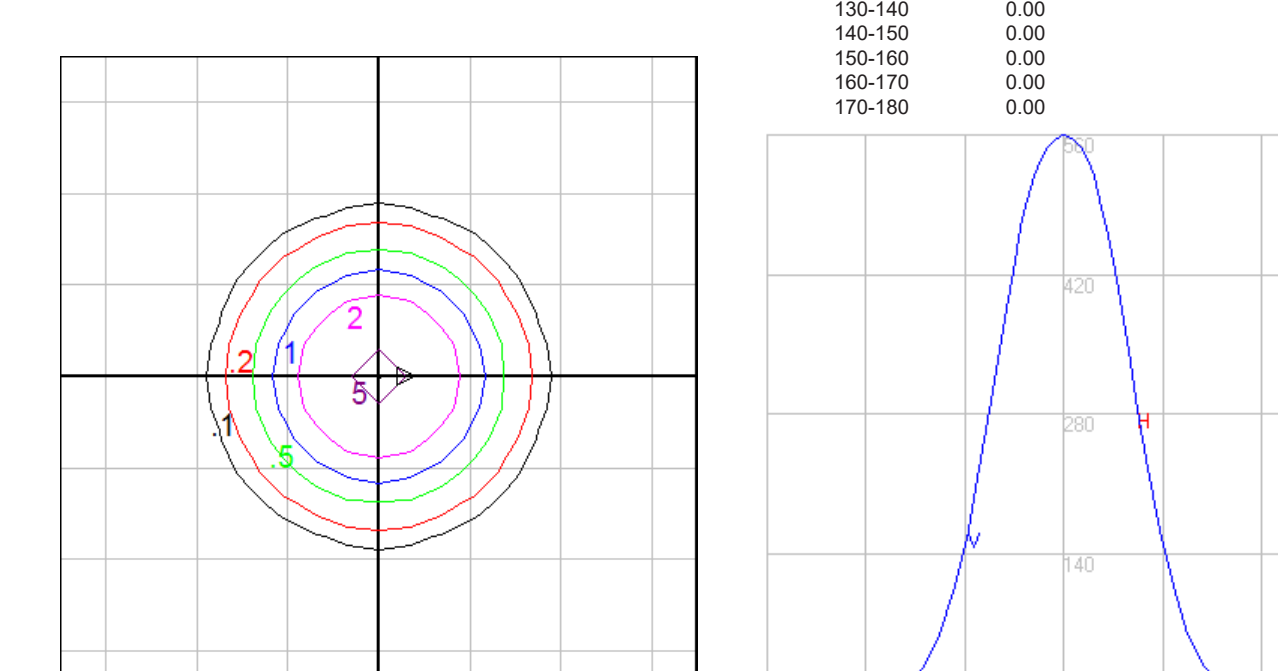
Recessed Height = 1 ft. Grid Spacing = 1 ft.
In the interest of product improvement, BEGA reserves the right to make technical changes without notice.
BEGA 1000 Bega Way, Carpinteria, CA 93013 (805)684-0533 Fax (805)566-9474 www.bega-us.com © Copyright BEGA-US 2017 10/23/2017

BEGA

Photometric Filename: 55641_10013.IES
TEST: BE_55641_10042
TEST LAB: BEGA
DATE: 9/29/2014
LUMINAIRE: 55 841 + 10 042
LAMP: 3W LED

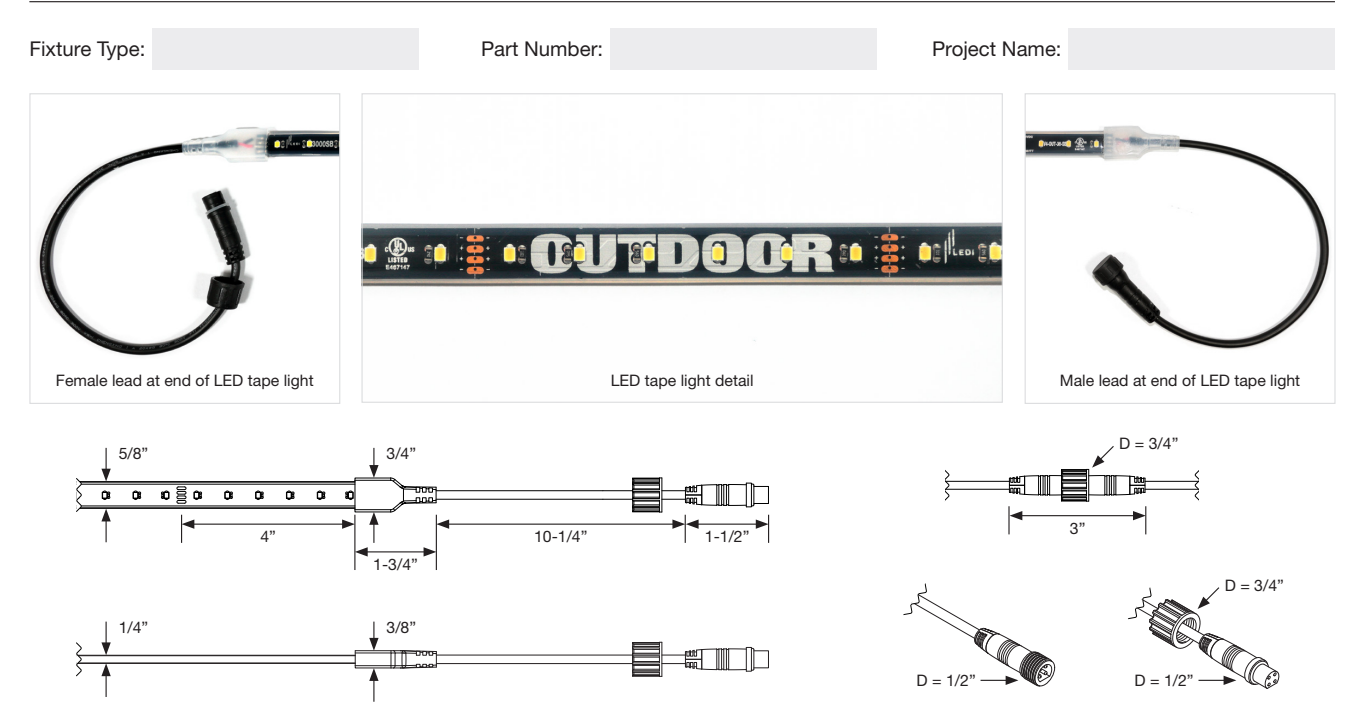


Characteristics
Lumens Per Lamp: N.A. (absolute)
Total Lamp Lumens: N.A. (absolute)
Luminaire Lumens: 346
Total Luminaire Efficiency: N.A.
Luminaire Efficacy Rating (LER): 87
Total Luminaire Watts: 4
Ballast Factor: 1.00
CIE Type: Direct
Spacing Criterion (0-180): 0.74
Spacing Criterion (90-270): 0.74
Spacing Criterion (Diagonal): 0.74
Basic Luminous Shape: Circular
Luminous Length (0-180): 0.00 ft
Luminous Width (90-270): 0.12 ft (Diameter)
Luminous Height: 0.00 ft



Mounting Height = 10 ft. Grid Spacing = 5 ft.
In the interest of product improvement, BEGA reserves the right to make technical changes without notice.
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Inspire V4 Outdoor Single Color LED TAPE LIGHT



Specifications
Color Temperatures: 2700K, 3000K
Lumen Output: up to 133 Lumens/FT
Input Power: 24VDC
Max Run Length: 25FT
Cut Increments: every 4in
Power Consumption: 3.8 Watts/FT
Product Color: Black
LEDs per Foot: 18
Light Distribution: 120°
Compatible Connectors: Inspire V4 Outdoor Connectors
Included Accessories: (1) ZFTT Inspire V4 Outdoor Connector, End Caps
CRI: 94+
Mounting: Inspire V4 Outdoor Strip Channel
Dimensions (WxH): 5/8" x 1/4" (14.6mm x 3.5mm)
Operating Temperature: -22° to 140°F (-30°C to 60°C)
Lamp Life: 50,000 Hours
Certifications: UL Listed (E-687147)
Dimming & Control: 0-10V, MLV, ELV, Incandescent, CFL/LED
Environment: IP67 Non-Submersible
Warranty: 5 Year Limited

Ordering
Table with columns: Color Temperature, Lumens/FT, Roll Length, Part Number. Rows include 2700K, 3000K in 25FT and 5FT lengths.

Version: 04/13/2021
File: (855) 717-2710
www.LEDLIGHTING.com
Page 1

LED wall luminaire - directed light
Application: As an individual luminaire with low mounting heights, it can be used for marking danger areas or in cases for illuminating corridors and passageways. With high mounting heights it can be used as a wall luminaire next to doors or for lighting small wall areas.
Materials: Luminaire housing constructed of die-cast marine grade, copper free (0.3% copper content) A360.0 aluminum alloy. Matte safety glass. High temperature silicone gasket. Mechanically captive stainless steel fasteners.
NRTL listed to North American Standards, suitable for wet locations. Protection class IP65. Weight: 1.1 lbs.
Electrical: Operating voltage: 120-277VAC. Minimum start temperature: -20° C. LED module wattage: 2.0W. System wattage: 5.8W. Controllability: 0-10V dimmable. Color rendering index: Ra > 80. Luminaire lumens: 204 lumens (3000K). Lifetime at Ta = 15° C: >50,000 h (L70). Lifetime at Ta = 40° C: 250,000 h (L70).
LED color temperature: 4000K - Product number = K4; 3500K - Product number = K35; 3000K - Product number = K3 (EXPRESS); 2700K - Product number = K27.
Finish: All BEGA standard finishes are matte, textured polyester powder-coat with minimum 3 mil thickness. Available colors: Black (BLK), White (WHT), RAL; Bronze (BRZ), Silver (SLV), OUS.
Type: BEGA Product: BEGA Project: Modified:

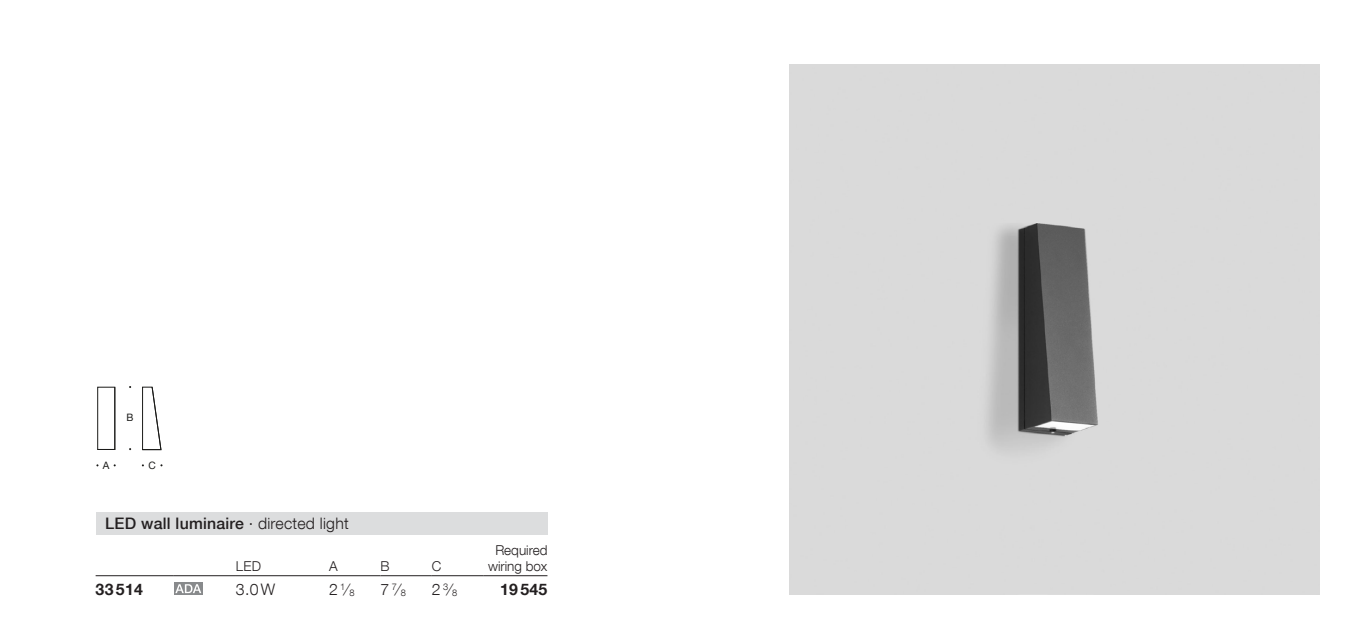


Table with columns: LED, A, B, C. Rows include 33514, 33514.

LED recessed wall - shielded
Application: Designed for low mounting heights for interior and exterior locations. LED recessed wall luminaires with shielded light are ideal for glare-free illumination of ground surfaces, building entrances, stairs, and footpaths.
Materials: Luminaire housing and faceplate constructed of die-cast marine grade, copper free (0.3% copper content) A360.0 aluminum alloy. Clear safety glass with optical texture. High temperature silicone gasket. Mechanically captive stainless steel fasteners. Stainless steel screw clamps. Permet aluminum installation housing.
NRTL listed to North American Standards, suitable for wet locations. Protection class IP65. Weight: 0.5 lbs.
Electrical: Operating voltage: 24VDC (remote power supply req). LED module wattage: 2.1W. System wattage: 3.0W. Color rendering index: Ra > 80. Luminaire lumens: 8 lumens (3000K). Lifetime at Ta = 25° C: 50,000 h (L70).
LED color temperature: 4000K - Product number = K4; 3500K - Product number = K35; 3000K - Product number = K3 (EXPRESS); 2700K - Product number = K27.
Finish: All BEGA standard finishes are matte, textured polyester powder-coat with minimum 3 mil thickness. Available colors: Black (BLK), White (WHT), RAL; Bronze (BRZ), Silver (SLV), OUS.
Type: BEGA Product: BEGA Project: Modified:

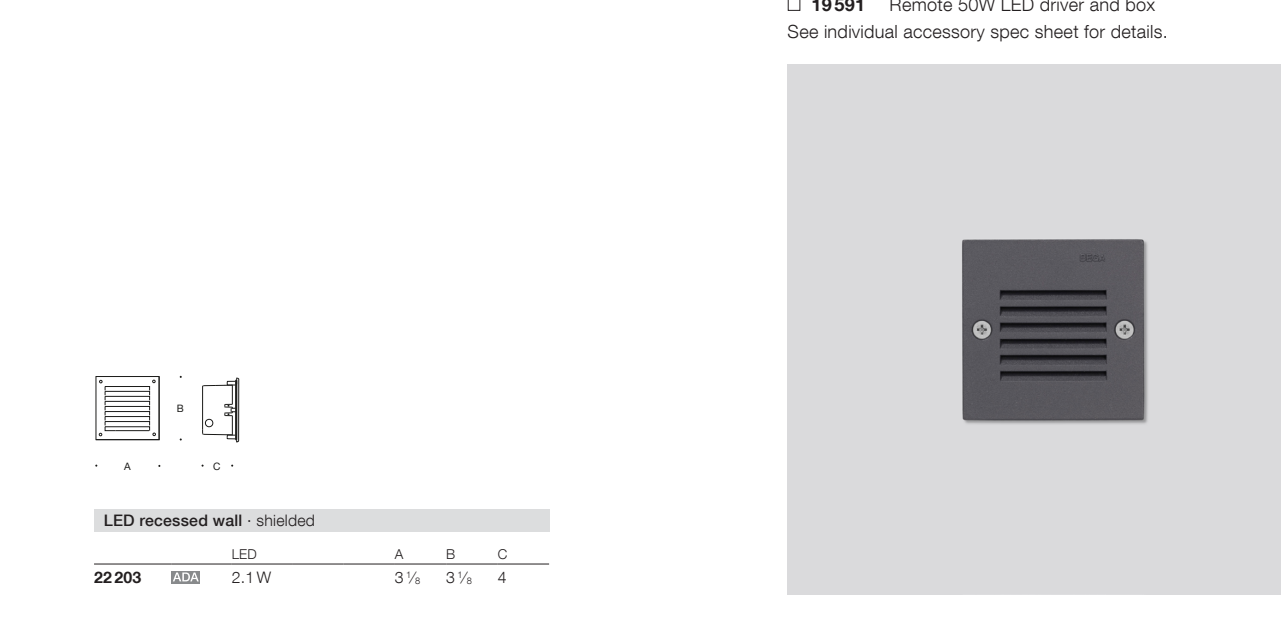


Table with columns: LED, A, B, C. Rows include 22203, 22203.

LED compact downlights - adjustable light distribution
Application: LED recessed ceiling luminaires with adjustable light distribution. The inclination angle of the luminaires is infinitely adjustable from 0-30°. The optical assembly can be rotated 360° around the vertical axis. The adjustable optical system makes these luminaires ideal for solving myriad of lighting tasks.
Materials: Luminaire housing and trim constructed of die-cast marine grade, copper free (0.3% copper content) A360.0 aluminum alloy. Clear safety glass. Reflector surface made of pure anodized aluminum. High temperature silicone gasket. Mechanically captive stainless steel fasteners. Stainless steel screw clamps. Sanitized steel-rough in ceiling pan with through wiring box.
NRTL listed to North American Standards, suitable for wet locations. Protection class IP65. Weight: 1.0 lbs.
Electrical: Operating voltage: 120-277VAC. Minimum start temperature: -20° C. LED module wattage: 3.0W. System wattage: 4.5W. Controllability: 0-10V dimming down to 0.1%. Color rendering index: Ra > 90. Luminaire lumens: 338 lumens (3000K). Lifetime at Ta = 15° C: >50,000 h (L70). Lifetime at Ta = 45° C: 135,000 h (L70).
LED color temperature: 4000K - Product number = K4; 3500K - Product number = K35; 3000K - Product number = K3; 2700K - Product number = K27.
Finish: All BEGA standard finishes are matte, textured polyester powder-coat with minimum 3 mil thickness. Available colors: Black (BLK), White (WHT), RAL; Bronze (BRZ), Silver (SLV), OUS.
Type: BEGA Product: BEGA Project: Modified:

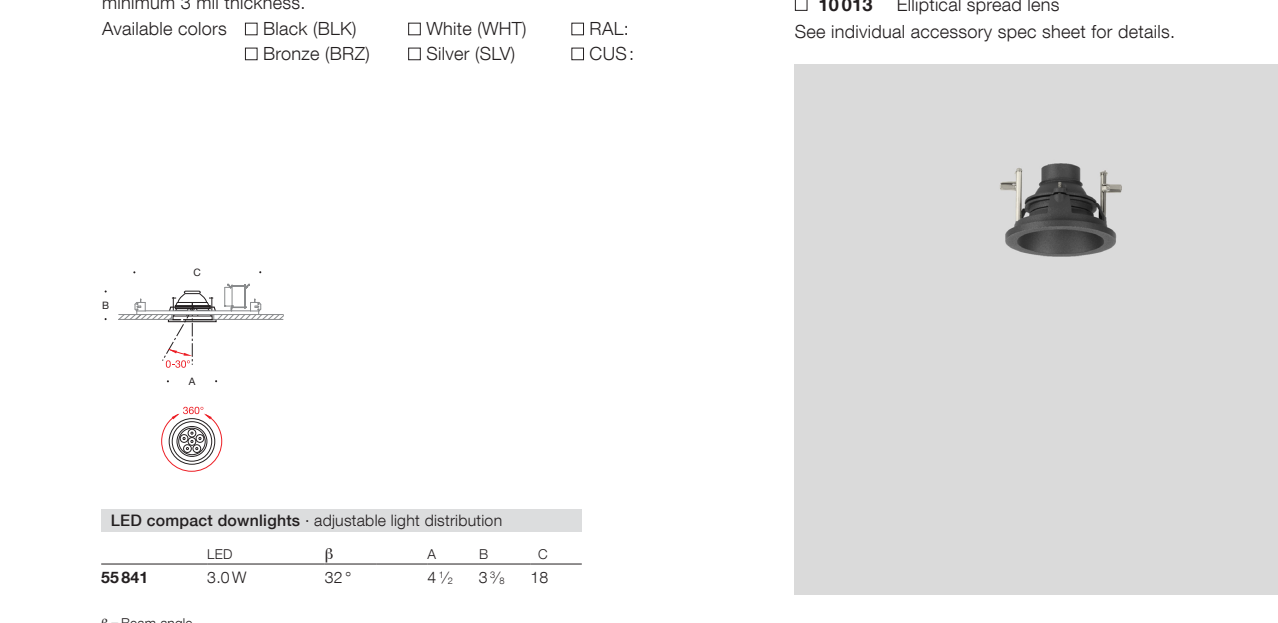


Table with columns: LED, A, B, C. Rows include 55841.

D Strip Light in Rail

C Exterior Sconce

B Step Light

A Recessed Downlight



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STONEGATE 10

NOT FOR CONSTRUCTION

12-8-23	JW-DBB MATERIAL CALC.
11-30-23	JW-DBB SITE PLANS
7-13-23	SCHEMATIC DESIGN 2
6-21-23	SCHEMATIC DESIGN 1

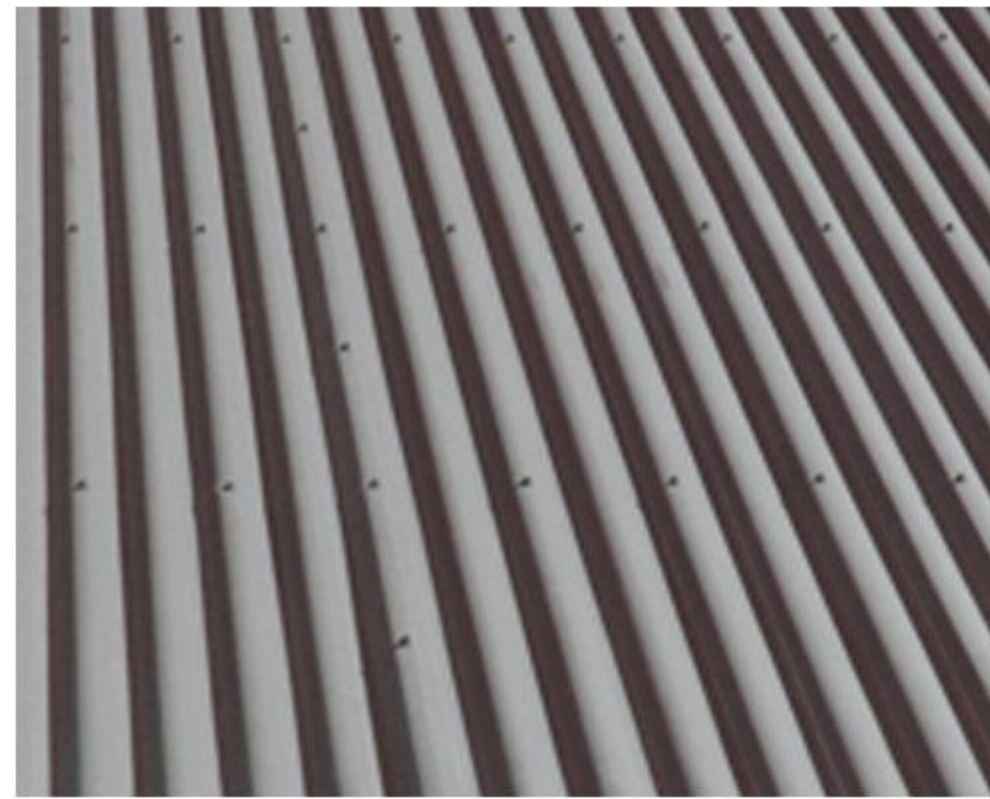
MARK REV. DATE DESCRIPTION
 PROJECT NAME:
 PROJECT MANAGER:
 DRAWN BY:
 REVIEWED BY:
 2023 JWA

ARCHITECTS STAMP

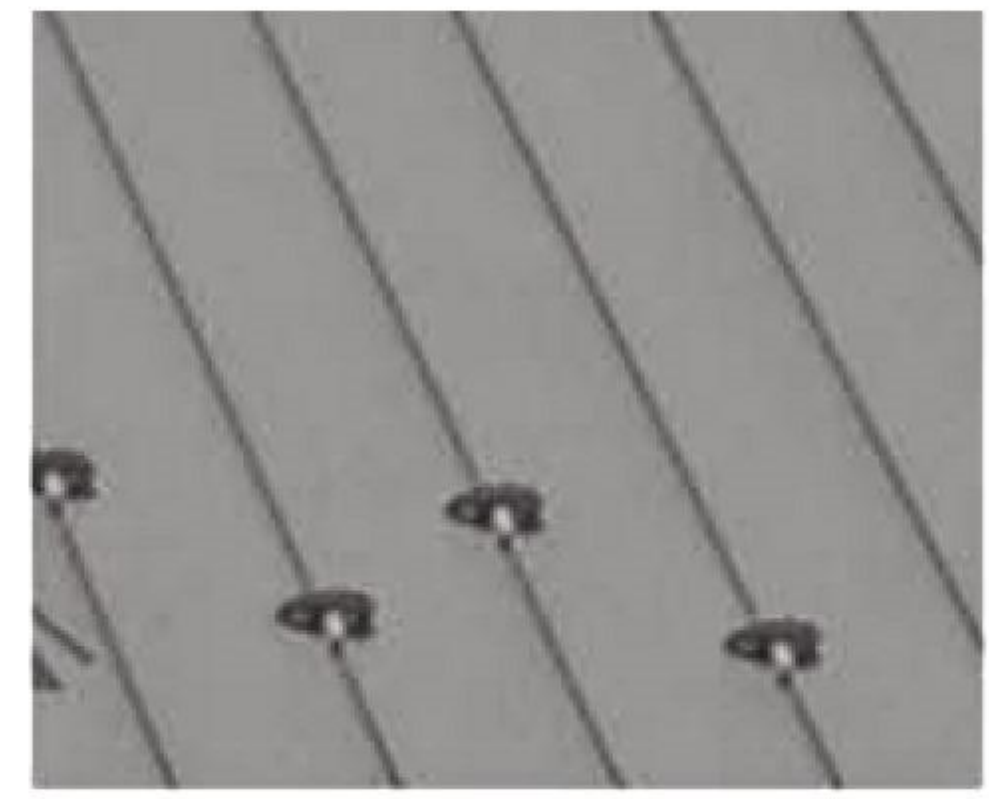
PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
Material Samples

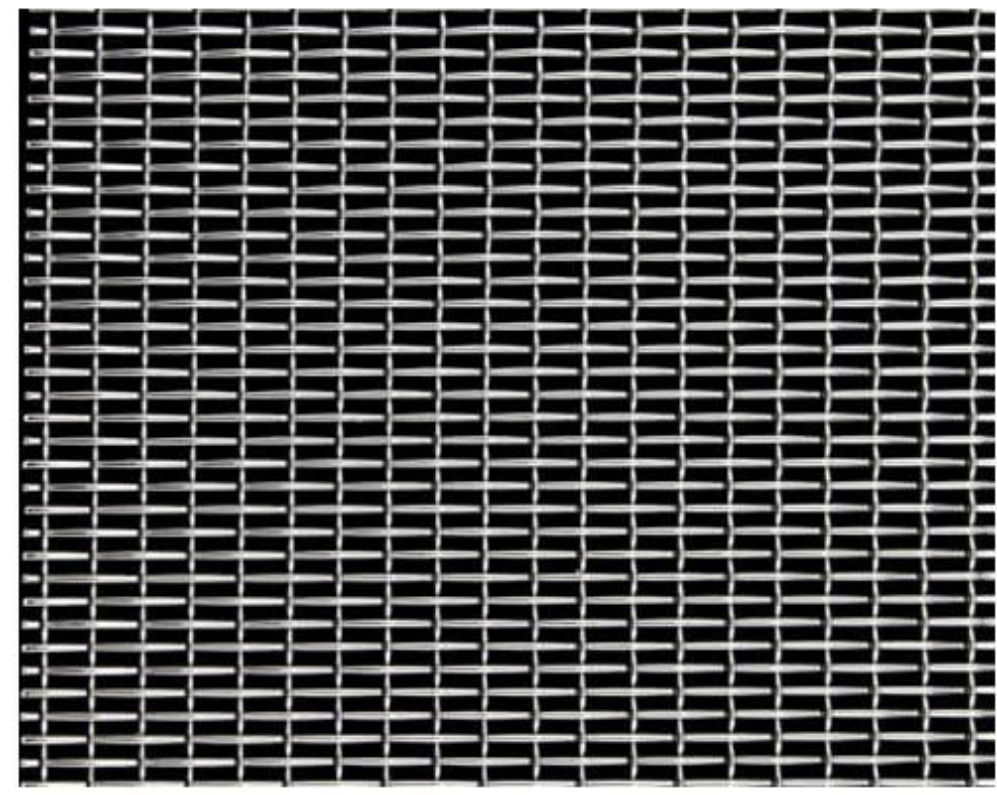
SHEET NUMBER:
A901



**CORRUGATED- BONDERIZED
ROOF AND SIDING**



**STANDING SEAM- BONDERIZED
ROOF AND SIDING**



**WOVEN WIRE MESH-
RECTANGULAR**



OIL RUBBED STEEL PANEL



**6" HORIZONTAL WOOD
SIDING, STAINED**



**3" HORIZONTAL WOOD
SIDING, STAINED**



**VERTICAL STAINED-
MEDIUM BROWN**



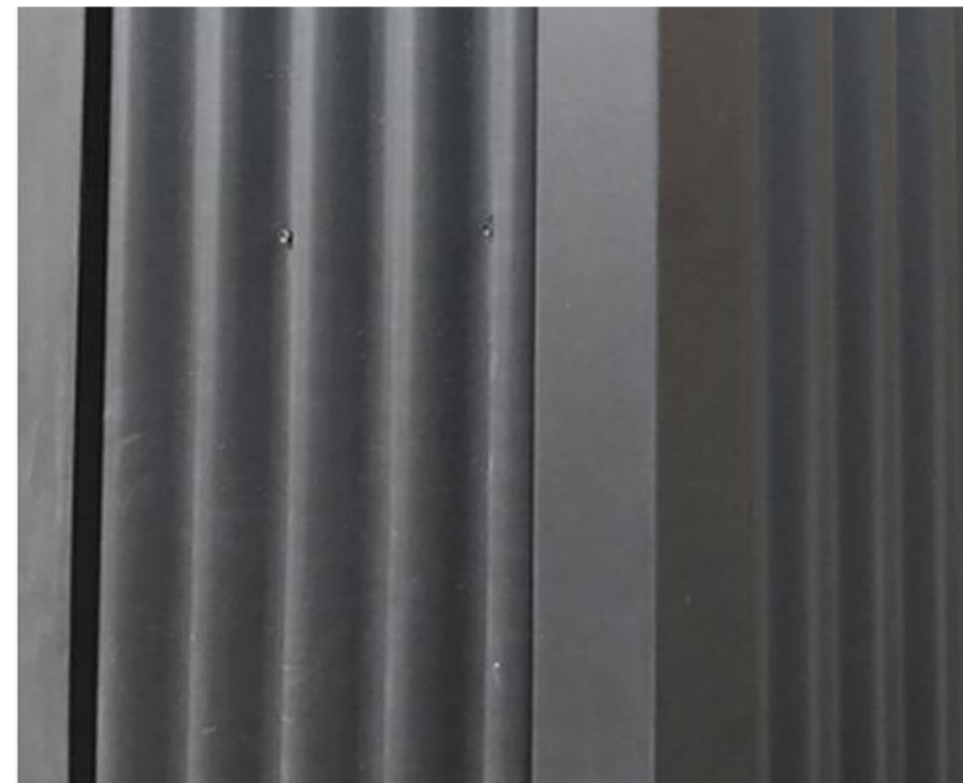
**WELDED WIRE MESH-
RECTANGULAR**



CONCRETE PAVING



**BROWN STONE
VENEER**

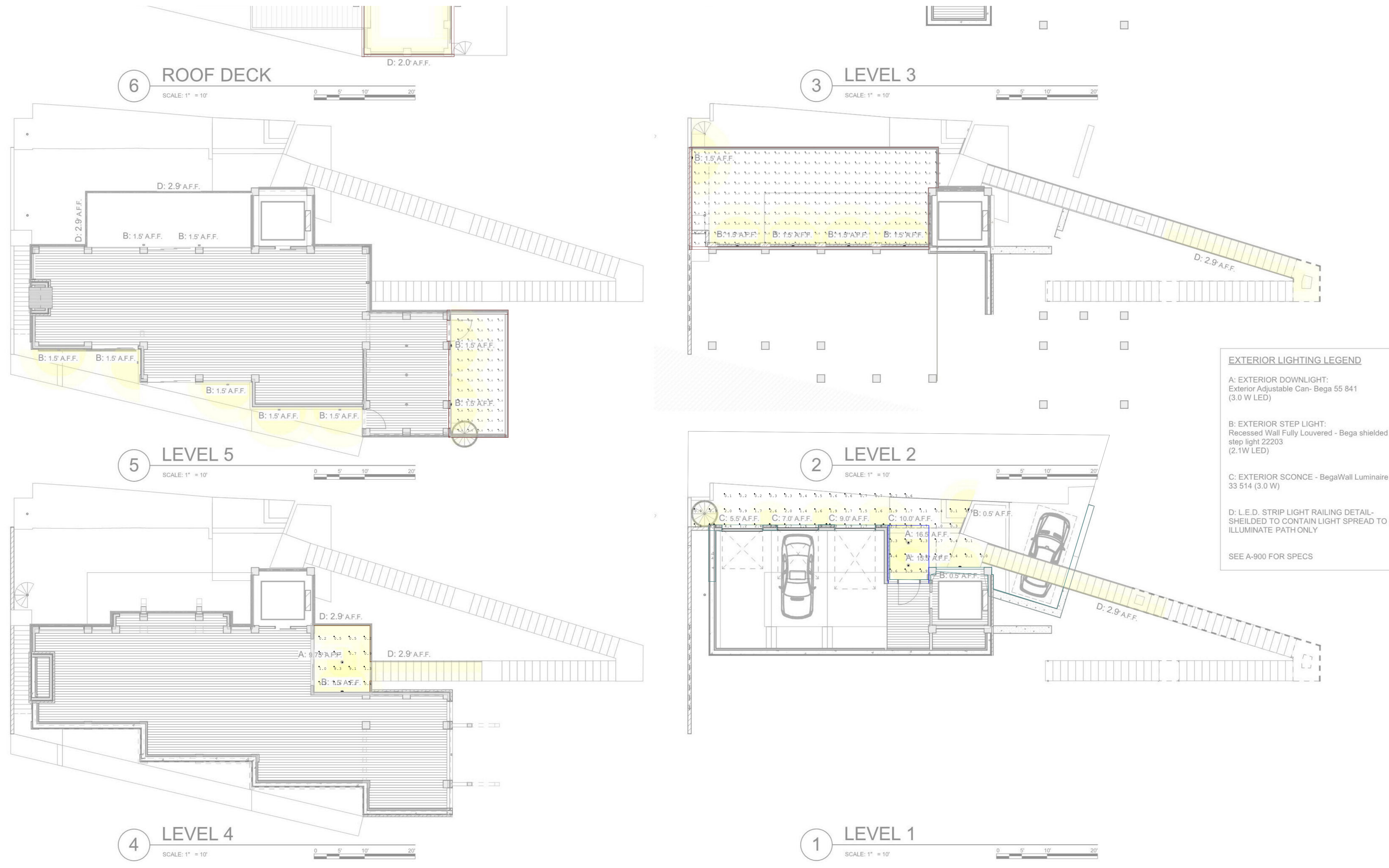


**CORRUGATED METAL BASE-
BONDERIZED**



**TELLURIDE GREY
STONE VENEER**

D:\WORK\STONEGATE LOT 10\DRAWINGS\STONEGATE 12-29-23.pln



EXTERIOR LIGHTING LEGEND

A: EXTERIOR DOWNLIGHT:
Exterior Adjustable Can- Bega 55 841
(3.0 W LED)

B: EXTERIOR STEP LIGHT:
Recessed Wall Fully Louvered - Bega shielded
step light 22203
(2.1W LED)

C: EXTERIOR SCONCE - BegaWall Luminaire
33 514 (3.0 W)

D: L.E.D. STRIP LIGHT RAILING DETAIL-
SHIELDED TO CONTAIN LIGHT SPREAD TO
ILLUMINATE PATH ONLY

SEE A-900 FOR SPECS

Calculation Summary				
Label	Units	Avg	Max	Min
Level 1 Driveway & Entrance	Fc	2.02	7.1	0.0
Level 2 Deck	Fc	0.09	7.2	0.0
Level 4 Deck	Fc	2.39	9.1	0.2

Luminaire Schedule				
Symbol	Qty	Label	Luminaire Lumens	Luminaire Watts
⊕	3	55841_BEGA_IES	338	4
⊕	4	33514_BEGA_IES	204	5.8
†	14	22203_BEGA_IES	8	3

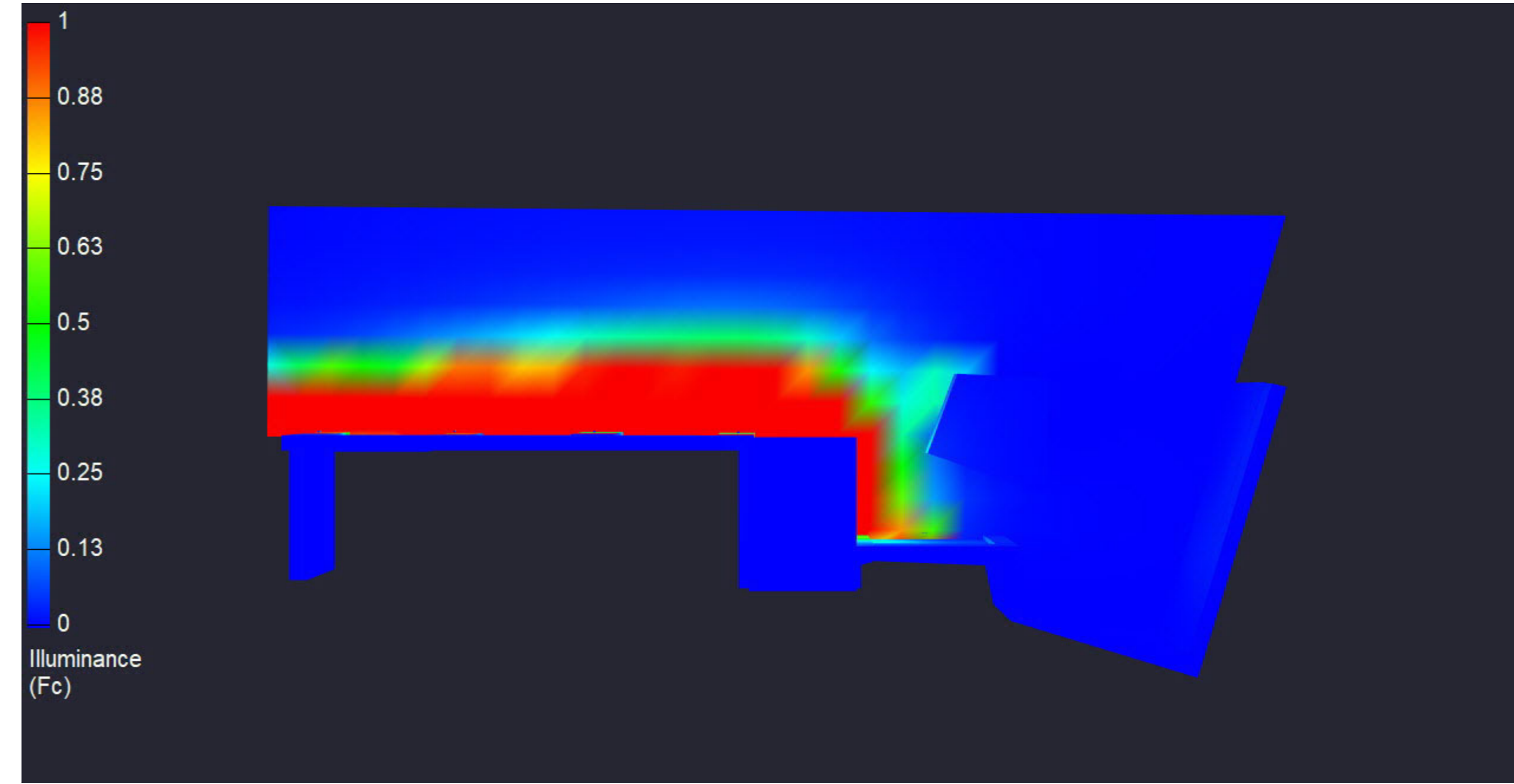
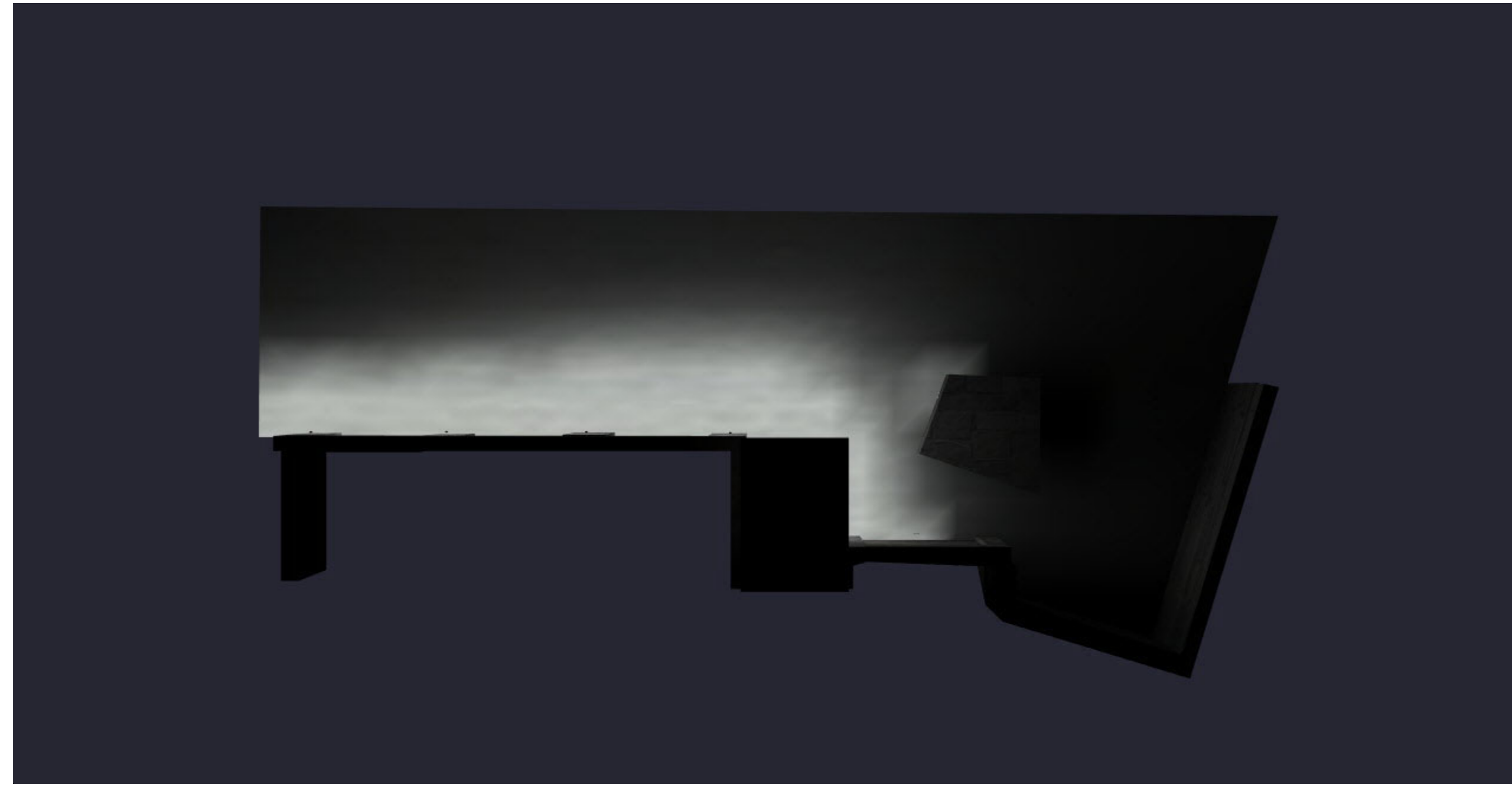
Luminaire Calculations Disclaimer: Luminaire calculations are for lighting design purposes only. Accuracy of the calculations is based on the accuracy of the data provided. It should be noted that all results are based on the point by point calculation software used. The results are based on the light loss and ballast factor and the calculation program used. Field results may differ from computer light level analyses due to unaccountable factors such as the field conditions such as surface finishes, surface shape, and environmental factors. BEGA-US shall not bear the responsibility for the calculations performed and the results of the final light level.

#	Date	Comments

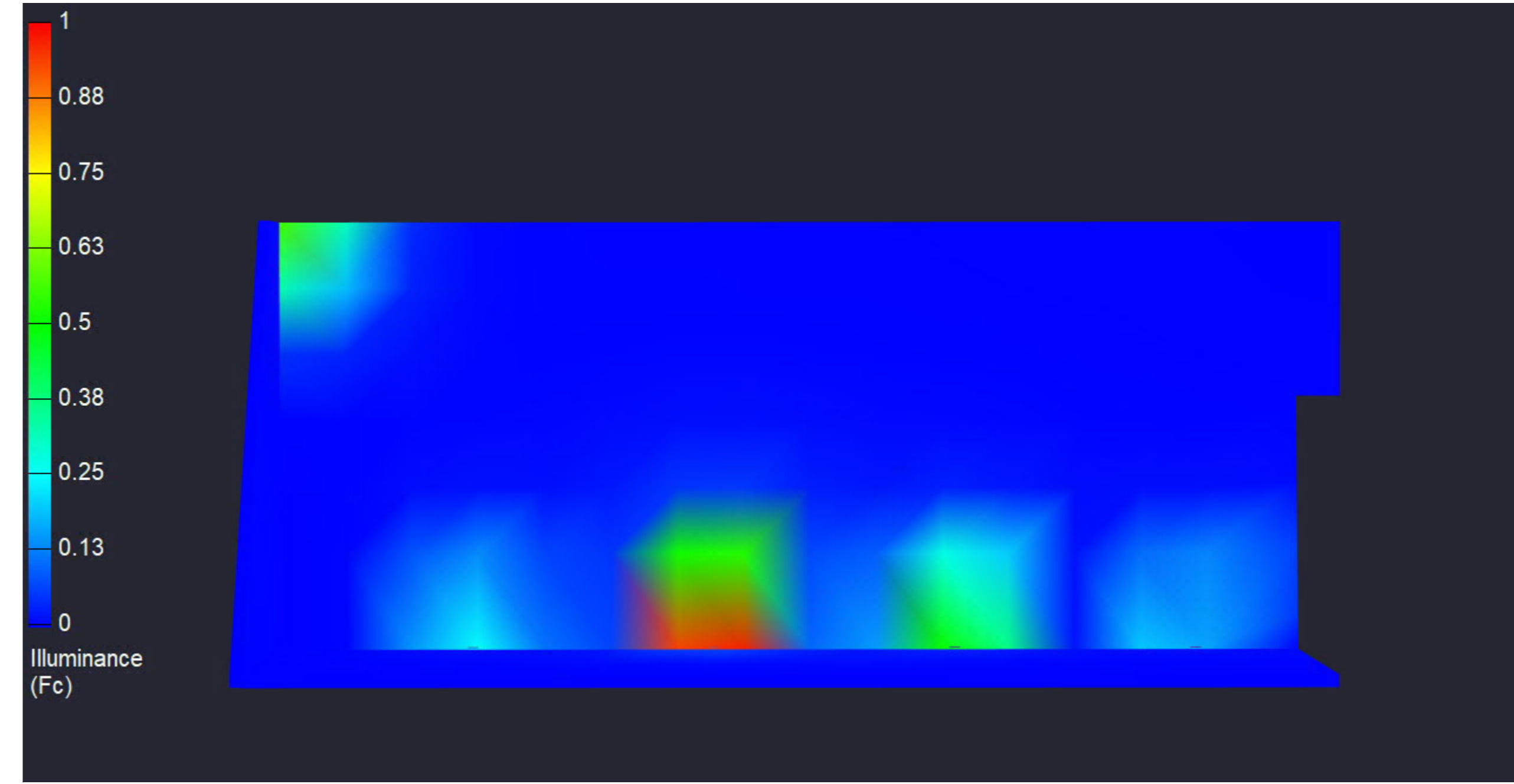
Drawn By: [Blank]
Date: 12/22/2023
For: [Blank]
Scale: Not to Scale

Project

LEVEL 1 DRIVEWAY



LEVEL 2 DECK



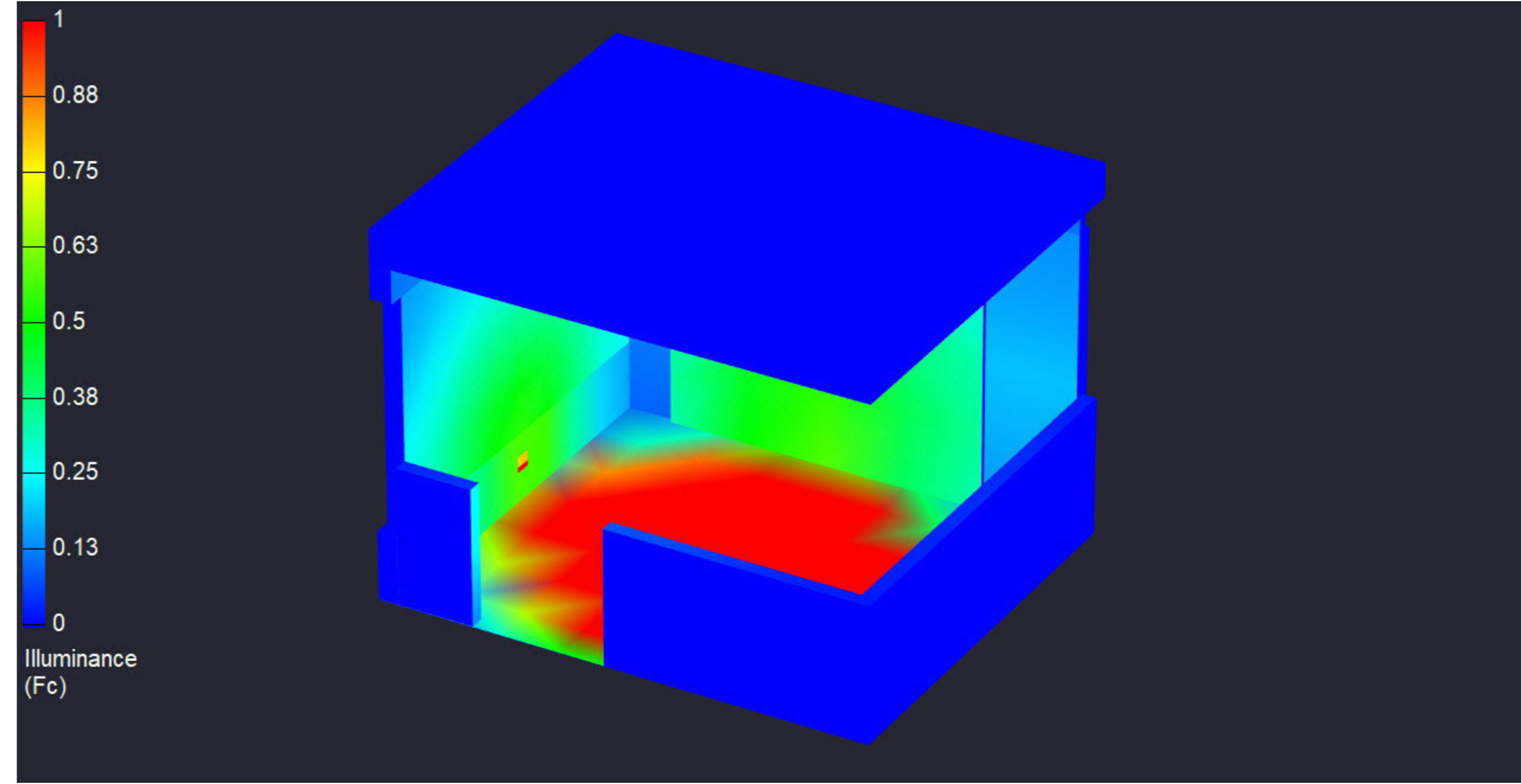
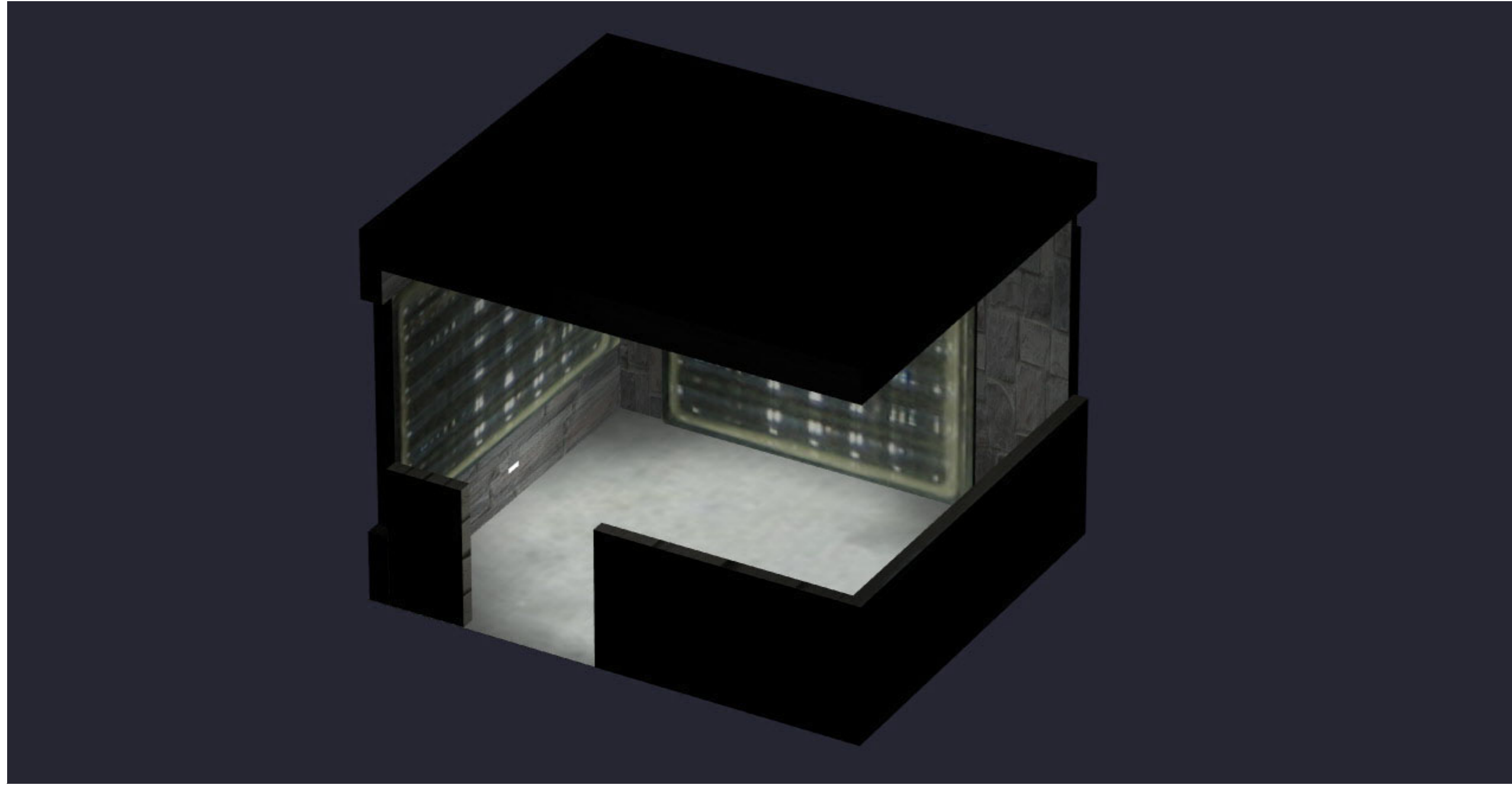
Illuminance Calculations Disclaimer:
 Illuminance calculations are for lighting design purposes only. They are based on the manufacturer's data for the luminaires used. The accuracy of the calculations is dependent on the accuracy of the input data. The results of the calculations are not a guarantee of the final lighting design. The designer is responsible for the final lighting design. BEGA-USA shall not be held responsible for the results of the calculations performed and the results of the final lighting design.

#	Date	Comments

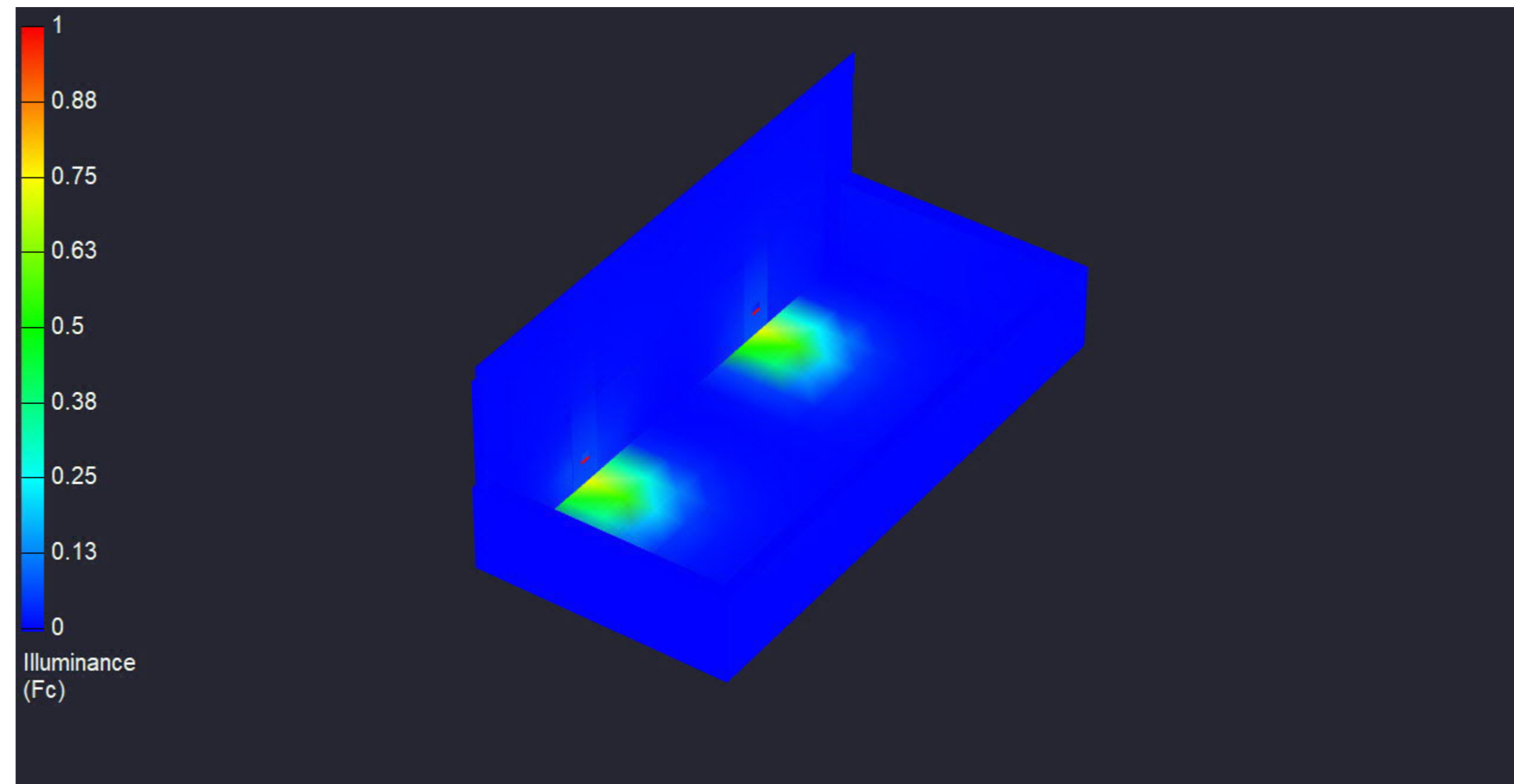
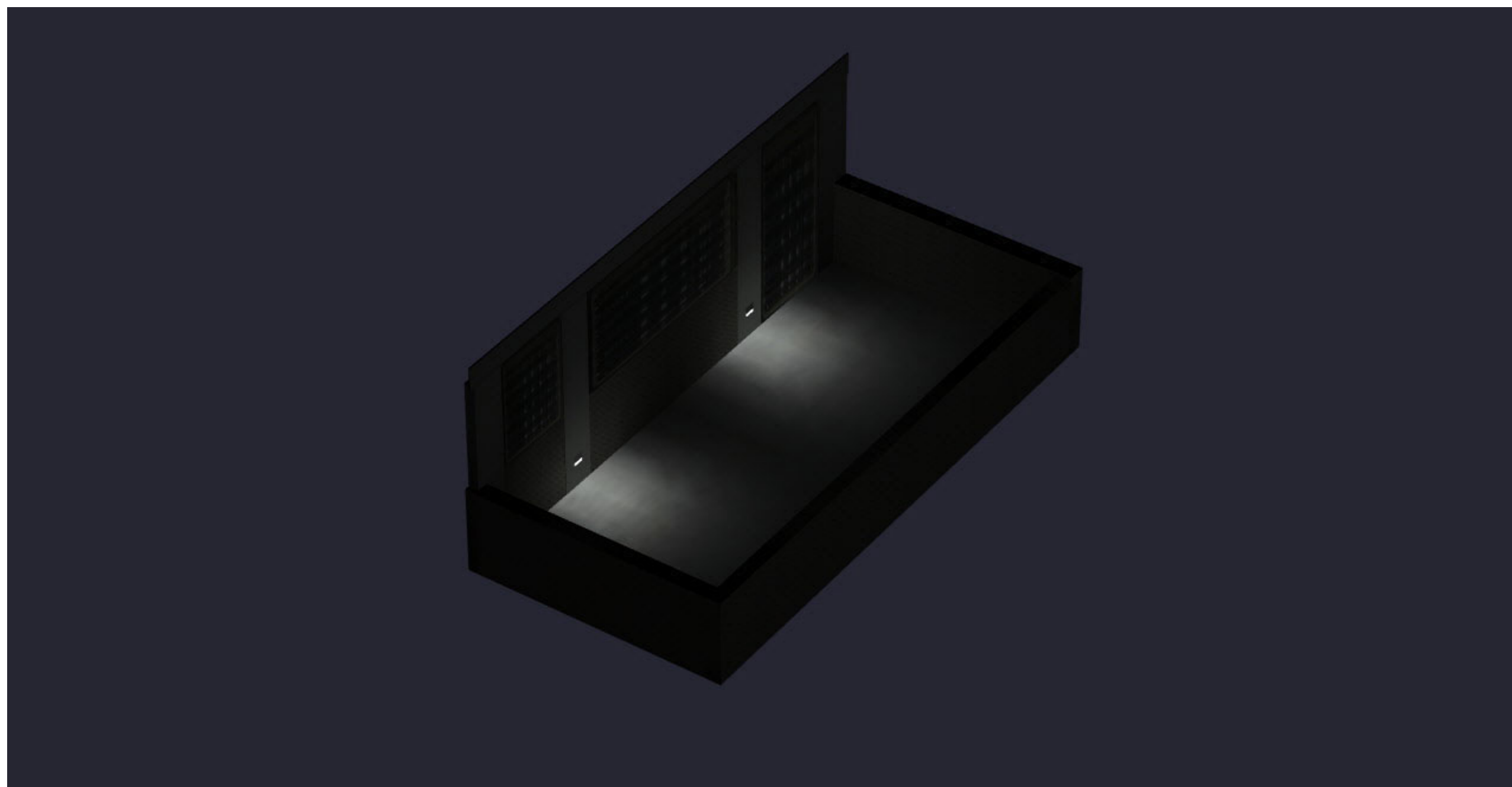
Drawn By:	
Date:	12/22/2023
For:	
Scale:	Not to Scale

Project	

LEVEL 4 DECK



LEVEL 5 DECK



Illuminance Calculations Disclaimer:
Illuminance calculations are for lighting design and purposes only. They are not a guarantee of lighting performance. The accuracy of the calculations is dependent on the accuracy of the data provided. The calculations are based on the lighting layout and the lighting fixture data provided. The calculations are based on the lighting layout and the lighting fixture data provided. The calculations are based on the lighting layout and the lighting fixture data provided. BECA-US shall not be responsible for the results of the calculations performed and the results of the final lighting design.

#	Date	Comments

Revisions

Drawn By:
Date: 12/22/2023
For:
Scale: Not to Scale

Project