

**TOWN OF MOUNTAIN VILLAGE  
REGULAR DESIGN REVIEW BOARD MEETING AGENDA  
THURSDAY FEBRUARY 1, 2024, 10:00 AM  
MOUNTAIN VILLAGE TOWN HALL  
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO  
TO BE HELD HYBRID THROUGH ZOOM:  
<https://us06web.zoom.us/j/86027664518>  
Meeting ID: 860 2766 4518**

Zoom participation in public meetings is being offered as a courtesy, however technical difficulties can happen, and the Town bears no responsibility for issues that could prevent individuals from participating remotely. Physical presence in Council chambers is recommended for those wishing to make public comments or participate in public hearings.

	Time	Min.	Presenter	Type	
1.	10:00		Chair	Chair	Call to Order
2.	10:00	2	Habib	Action	Reading and Approval of Summary of Motions of the January 4, 2024, Design Review Board Meeting
3.	10:02	30	Town Attorney	Work Session	Discussion with Town Attorney regarding open meetings law / open records (CORA)
4.	10:32	30	Ward	Legislative	Review and Recommendation of an Ordinance to Amend to CDC Section 17.6.1(B) – Wetlands Regulations
5.	11:02	2	Perez/ Applicant	Quasi-judicial	Consideration of a Design Review: Final Architecture Review for Lot 710, TBD Adams Ranch Rd, pursuant to CDC Section 17.4.11 <b>This item has been tabled at the request of the applicant.</b>
6.	11:04	2	Perez/ Applicant	Quasi-judicial	Consideration of a Design Review: Initial Architecture Review for Lot 166AR2-10, TBD Stonegate Drive, pursuant to CDC Section 17.4.11 <b>Staff requests that this item be continued to the March 7, 2024, Design Review Board Meeting at the request of the applicant</b>
7.	11:06	45	Perez/ Applicant	Quasi-judicial	Consideration of a Design Review: Initial Architecture and Site Review for Lot 1 Unit 1, TBD Eagle Drive, pursuant to CDC Section 17.4.11
	11:51	15	<b>Lunch</b>	<b>Lunch</b>	
8.	12:06	15	Design Workshop/ Applicant	Quasi-Judicial	Review and Recommendation to Town Council regarding a height variance application for Lot 165 Unit 3, TBD Cortina Dr, pursuant to CDC Section 17.4.16
9.	12:29	30	Design Workshop/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for Lot 165 Unit 3, Cortina Unit 3, pursuant to CDC Section 17.4.11

10.	12:59	30	Nelson/ Applicant	Work Session	Discussion regarding a Conceptual Work Session for Lot 161A-R2, Unit 1 the Ridge, to develop a new Single-Family residence, pursuant to CDC sections 17.4.11.
11.	1:29	2	Chair	Adjourn	

**DESIGN REVIEW BOARD MINUTES  
TOWN OF MOUNTAIN VILLAGE  
REGULAR DESIGN REVIEW BOARD MEETING  
JANUARY 4, 2024**

**Call to Order**

Chair **Brown** called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:00 a.m. on January 4, 2024.

**Attendance**

**The following Board members were present and acting:**

David Eckman  
Ellen Kramer  
Banks Brown  
David Craige  
Greer Garner  
Liz Caton  
Adam Miller  
Scott Bennett  
Jim Austin (via Zoom)

**The following Board members were absent:**

None

**Town Staff in attendance:**

Claire Perez – Planner II  
Amy Ward – Community Development Director  
Jason Habib – Planning Technician  
Drew Nelson – Senior Planner  
Sonny Sin – Design Workshop (via zoom)  
Jessica Garrow - Design Workshop (via zoom)  
Jennifer Pintar - Design Workshop (via zoom)  
Molly Norton – Community Engagement Coordinator  
Paul Wisor – Town Manager

**Public Attendance:**

Steve Morton  
Paul Savage  
Chris Hazen  
Chris Chaffin  
Jason Smith  
Jim Mahoney

**Public Attendance via Zoom:**

Kristine Perpar  
Jefrall Betancourt  
Craig Spring  
Bill Kyriagis  
Katsia Lord  
David Ballode  
Chris McGranahan  
Adam Raiffe  
Matthew Hintermeister

**Item 2. Executive Session for the Purpose of:**

- a. **Conference with the Town Attorney for the purpose of receiving legal advice on specific legal questions, specifically regarding recent pending changes in wetlands law, under C.R.S Section 24-6-402(4)(b)**

On a **MOTION** by **Craige** and seconded by **Bennett** the DRB voted **unanimously** to move into Executive Session for the purpose of:

- a. Conference with the Town Attorney for the purpose of receiving legal advice on specific legal questions, specifically regarding recent pending changes in wetlands law, under C.R.S Section 24-6-402(4)(b)

at 10:04 a.m.

Design Review Board returned to open session at 10:23 a.m.

**Item 3. Reading and Approval of Summary of motions December 7, 2023, Design Review Board Meeting minutes**

On a **MOTION** by **Garner** and seconded by **Kramer** the DRB voted **unanimously** to approve the summary of motions of the December 7, 2023, Design Review Board meeting minutes.

**Item 4. Consideration of a Design Review: Final Architecture Review for Lot 161A-4 Unit 12, The Ridge Unit 12, pursuant to CDC Section 17.4.11**

Claire Perez Presented as Staff  
Steve Morton and Craig Spring: Presented as Applicant

Public Comment: None

On a **MOTION** by **Craige** and seconded by **Bennett** the DRB voted **7-1** (opposed by **Kramer** because of the patio extending past the building envelope) to approve the Final Architecture Review for a new single-family detached condominium located at Lot 161A-4 Unit 12, based on

the evidence provided within the Staff Report of record dated December 21, 2023, and the findings of this meeting, with the **following conditions**:

- 1) *Prior to Building Permit, the applicant shall provide an updated landscaping plan showing a realistic plan of trees that will be preserved, and any additional plantings that the DRB requests during the hearing for staff review.*
- 2) *Prior to Building Permit, the applicant shall provide approval from the HOA of the construction mitigation plan.*
- 3) *Prior to the issuance of a building permit, the applicant shall provide proof of a parking reservation agreement or indicate intent to pay the parking payment in lieu fee to the Town. If a reservation agreement has been executed, then the addendum to the reservation agreement needs to be executed prior to building permit.*
- 4) *Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.*
- 5) *Prior to the issuance of a building permit, the applicant shall obtain approval for the re-location of Unit 12 per a staff level minor subdivision, condominium map amendment.*
- 6) *Owners shall indemnify, defend and hold harmless Town, its members, affiliates, officers, directors, partners, employees, and agents from and against all claims, damages, losses and expenses, including but not limited to reasonable attorney's fees, arising out of the approval of the height variance granted hereunder.*
- 7) *Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) – Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.*
- 8) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.*
- 9) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the common open-space.*
- 10) *Prior to the Building Division conducting the required framing inspection, a four foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
  - a. *The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');*
  - b. *Wood that is stained in the approved color(s);*
  - c. *Any approved metal exterior material;*
  - d. *Roofing material(s); and*
  - e. *Any other approved exterior materials*
- 11) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in*

coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

12) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development are set at 50% since the application was submitted in 2023.

13) Applicant must meet the following conditions of the Fire Marshal:

a) The structure shall be in accordance with the 2018 IFC, TFPD Amended Fire Code, and NFPA Standards for a Group R-3 occupancy.

b. A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.

c. An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.

d. Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.

e. Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.

f. Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.

g. A Knox box is recommended at the main entrance on the address side for emergency access.

14) Prior to Building Permit, the lighting plan shall be revised as follows:

a. Elimination of the two L8 fixtures on the landscape stair to the ski patio

b. Move the L1 fixtures on the ski patio to the building perimeter

c. To reduce L6 from 3W to 1.5W per foot, and reduce the L8s from 5W to 3W per foot

#### **Item 5. Consideration of a Design Review: Initial Architecture and Site Review for Lot 1 Unit 38, pursuant to CDC Section 17.4.11**

Sonny Sin of Design Workshop: Presented as Staff

Kristine Perpar and David Ballode: Presented as Applicant

Public Comment: None

On a **MOTION** by **Greer** and seconded by **Caton** the DRB voted **unanimously** to approve the Initial Architecture and Site Review for a new single-family detached condominium located at Lot 1, Unit 38, TBD Knoll Estates Drive, based on the evidence provided in the staff record of memo dated January 4, 2024, and the findings of this meeting, with the following design variations and specific approvals:

#### **Design variations:**

1. Address Monument: Wall-mounted

#### **DRB Specific Approvals:**

1. Materials – Black Metal Fascia

And, with the **following conditions**:

- 1) *Prior to final review the applicant shall identify the height of the chimney and the maximum allowable height of the building through the required offset drawing.*
- 2) *Prior to final review the applicant shall provide verified approval from the HOA related to all GCE encroachments.*
- 3) *Prior to building permit the applicant shall provide the agreement with Telski related to the grading and any utilities encroachment.*
- 4) *Prior to final review the applicant address snow storage, demonstrating sufficient space for snow storage.*
- 5) *Prior to final review, the applicant shall provide an updated landscape plan showing compliance with fire zone mitigation areas and additional staff comments.*
- 6) *Prior to final review, the applicant shall update the lighting plan to show legible cutsheets for all light sources, and photometric study to comply with the CDC.*
- 7) *The applicant shall comply with all TFPD requirements.*
- 8) *Prior to final review, the applicant shall include a photograph or diagram depicting the pattern, grout, block size and color of the proposed stone and setting pattern.*
- 9) *Prior to building permit, the applicant shall work with Public Works to field verify all utilities.*
- 10) *Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) – Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection. Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
- 11) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*
- 12) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height.*
- 13) *Prior to the Building Division conducting the required framing inspection, a four foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
  - a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
  - b. *Wood that is stained in the approved color(s);*
  - c. *Any approved metal exterior material;*
  - d. *Roofing material(s); and*
  - e. *Any other approved exterior materials*
- 14) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to*

*their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*

*15) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted and deemed complete in 2023.*

**Item 6. Review and Recommendation to Town Council of a Conditional Use Permit for driveway access on Lot OSP 18A for a single-family home on Lot SS 811, pursuant to CDC**

**Section 17.4.14**

Drew Nelson: Presented as Staff

Katsia Lord, Bill Kyriagis, Chris McGranahan, Chris Hazen: Presented as Applicant

Public Comment: Paul Savage

Public Comment Letters received and submitted into record after packet creation: Savage, Felicelli, Johnson/Madaris, Shimkonis, Greenspan, Walker, Lindauer, Claugus, Hill, Ostromecki, and Kyriagis (applicant's attorney)

On a **MOTION** by **Craige** and seconded by **Kramer** the DRB voted **unanimously** to recommend denial to Town Council for a Conditional Use for a driveway access on Lot OSP-18A to the adjacent Lot SS811, based on the evidence provided in the staff record of memo dated December 26, 2023, and the findings of this meeting.

**Item 7. Lunch**

**Item 8. Review and Recommendation to Town Council of a Conditional Use Permit for Wok of Joy Food Trailer on Lot OS 3XRR, Conference Center Plaza, pursuant to CDC Section 17.4.14**

Drew Nelson: Presented as Staff

Jason Smith: Presented as Applicant

Public Comment: none

On a **MOTION** by **Caton** and seconded by **Bennett** the DRB voted **unanimously** to recommend approval to the Mountain Village Town Council for a Conditional Use Permit for a mobile food truck/trailer to be located in Conference Center Plaza on Tract OS 3XRR, owned by the Town of Mountain Village, based on the evidence provided in the staff memo dated December 21, 2023, and the findings of this meeting with the following conditions:

*1) The Conditional Use Permit shall be valid for a period of three (3) years, expiring on December 31, 2026. The applicant shall be solely responsible for any reapplication in the future.*



- 2) *Prior to siting the mobile food truck/trailer, the applicant shall acquire a building permit for installation of an electric power source in conformance with all applicable building codes.*
- 3) *The applicant will enter into an agreement with the Town, the form of which to be approved by the Town Attorney, for monthly billing of electric utility, the rate to be determined by Town Manager.*
- 4) *The applicant shall provide proof of compliance to the Telluride Fire Protection District of Section 319 of the 2018 International Fire Code.*
- 5) *Prior to siting the mobile food truck/trailer, the applicant shall work with the Plaza Services Manager to site the truck/trailer in such a manner as to avoid driving over or parking on all underground parking structures.*
- 6) *Prior to purchasing the mobile food truck/trailer, the applicant shall provide designs and pictures of the proposed vehicle to the Business Development Advisory Committee Chairperson, the Design Review Board Chairperson, the Community Outreach Coordinator, and the Community Development Director for review and approval. The applicant shall strive to acquire a vehicle that is visually interesting and complimentary to the existing resort infrastructure of Mountain Village.*
- 7) *Prior to operation of business, the applicant will execute a plaza license agreement with the Town for the trailer space.*

**Item 9: Review and Recommendation to Town Council regarding a Vested Property Rights Renewal Application for Lot 27A, pursuant to CDC Section 7.4.17**

Jessica Garrow of Design Workshop: Presented as Staff

James Mahoney and Chris Chaffin: Presented as Applicant

Public Comment: None

On a **MOTION** by **Kramer** and seconded by **Caton** the DRB voted **unanimously** to recommend approval to Town Council of a three-year vested property rights extension, per the criteria listed in the CDC for a multi-family and employee housing development on Lot 27A Parcel Three-R based on the evidence provided in the staff memo of record dated December 22, 2023 and the findings of this meeting.

**Item 10: ADJOURN**

On a **MOTION** by **Brown** the DRB voted **unanimously** to adjourn the January 4, 2024, meeting at 1:49 pm.

Prepared and submitted by,

Jason Habib, Planning Technician

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## MEMORANDUM

To: Town of Mountain Village Design Review Board

From: Garfield & Hecht, P.C.

Date: January 29, 2024

RE: Town of Mountain Village Wetlands Regulations

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The Town of Mountain Village (“TMV”) regulates wetland disturbance associated with land use and development within TMV. TMV’s wetlands regulations are codified in Section 17.6.1(B) of the Community Development Code (the “Wetland Regulations”). Additionally, certain parts of TMV are subject to both the Wetland Regulations and a Wetland Management Plan (“WMP”) imposed by the Consent Decree entered into by the Environmental Protection Agency (“EPA”) and Telluride Ski and Golf (“TelSki”) in 1997. The Consent Decree was the negotiated conclusion of an EPA enforcement action involving unauthorized fill of wetlands in what is now TMV. The wetlands subject to the WMP are those wetlands identified in the WMP or located on land now owned by TelSki or owned by Telski as of April 1997. The Consent Decree was terminated in 2013, but per Section 19 of the Consent Decree, the WMP remains in effect until modified or terminated by the EPA.

The state and federal governments also regulate wetland disturbance under the Clean Water Act, 33 U.S.C. §§ 1251, *et seq.* (the “CWA”) and Colorado Water Quality Control Act, C.R.S. §§ 25-8-101, *et seq.* (“WQCA”), and their respective implementing regulations. The EPA and Army Corps of Engineers (“ACOE”) administer the CWA, while the Colorado Department of Public Health and Environment (“CDPHE”) and its commissions administer the WQCA.

Whether a “wetland” is subject to the CWA and/or WQCA depends on the definition of “wetland.” The CWA applies to “navigable waters” which is defined to mean “the waters of the United States, including the territorial seas.” The state WQCA is and has historically been broader than CWA jurisdiction in that the WQCA covers “state waters,” which means “any and all surface and subsurface waters which are contained in or flow through the state.” Regulations promulgated by CDPHE under the WQCA define wetlands as “those areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions.” 5 CCR1002-31.5(36).

Based on the CWA definition of “navigable waters,” the federal agencies only have authority over those wetlands that are considered “waters of the United States.” “Waters of the

United States” is not further defined in the CWA, so the implementing agencies (EPA and ACOE) have adopted a definition through the administrative rulemaking process. The definitions have changed over time based on evolving agency interpretation of the term and federal appellate and supreme court case law but have come to include wetlands when they are adjacent to or connected with a “water of the United States.”

The regulatory definition of “waters of the United States” was recently challenged and ultimately struck down when the U.S. Supreme Court issued its opinion in *Sackett v. EPA* in May 2023. The question in *Sackett* was whether certain “wetlands” on the Sacketts’ property in Idaho were considered “waters of the United States” and therefore subject to the CWA and EPA enforcement action. SCOTUS determined that the then-current definition of “waters of the United States” adopted and implemented by the EPA did to comport with the language and intent of the CWA and therefore adopted a new definition of the term. Specifically, SCOTUS interpreted “waters of the United States” to mean “a relatively permanent body of water connected to traditional interstate navigable waters.” It went on to determine that “wetlands” are only considered “waters of the United States” and subject to CWA jurisdiction if the wetland has a continuous surface connection with a water that is a “water of the United States in its own right,” making it difficult to determine where the “water” ends, and the “wetland” begins.

TMV’s Wetland Regulations currently define wetland as “an area where water is at, near, or above the land surface long enough to support aquatic or hydrophytic vegetation and which has soils indicative of wet conditions. Determination of wetlands area boundaries shall be according to the United States Army Corps of Engineers delineation requirements.” CDC Sec. 17.8.1. Because the CDC refers to ACOE regulations to define wetlands, the scope of the Wetland Regulations—and therefore TMV’s land use authority over them—is effectively defined by federal law. Accordingly, at present, wetlands subject to the Wetland Regulations are limited to the narrower reach of the CWA established in *Sackett* and, relatedly, the new definitions of “waters of the United States” and wetlands adopted by the ACOE in response to *Sackett*. See Exhibit A.

Conversely, even though the Consent Decree/WMP were established under and based on the CWA, the scope of the WMP remains the same despite the changes brought about by *Sackett*. As is articulated in both the Consent Decree and WMP, the WMP applies to the wetlands identified in the WMP, whether or not they are jurisdictional wetlands—i.e., wetlands that fall within the purview of the CWA. And because the WMP was imposed under the Consent Decree and the WMP survived termination of the Consent Decree, its provisions apply unless/until modified or terminated by the EPA or a federal court. Thus, there will no change in the Town’s enforcement of the WMP.

To ensure that wetlands that are important to the TMV environment remain protected—at least with respect to development activities—withstanding changes that have occurred or may occur in federal regulations, staff is proposing certain changes to the CDC. Those changes are set forth in the draft ordinance provided with this memorandum.

First and foremost, staff proposes that the definition of “wetlands” be amended to remove the reference to ACOE determinations and defer to the more general description currently included in the definition. Because this new definition is broader than the federal definition of “wetlands”

following *Sackett*, the Wetland Regulations will apply to wetlands that are subject to federal regulation and to those that are not. Second, since the definition of wetlands will not track ACOE delineations, there will be no need for ACOE review of land use applications. Accordingly, those requirements are proposed for removal from CDC Section 17.6.1.B. Instead, an applicant must provide a wetlands report prepared by a qualified professional that identifies wetlands on the subject and adjacent properties that meet the new CDC definition. Finally, the proposed CDC amendments include an option to request a waiver from Town Council from compliance with the Wetland Regulations if a project serves a compelling public purpose including, but not limited to, affordable housing.

We will be available at the February 1, 2024, DRB to discuss the proposed CDC changes further with the DRB. Thank you.

## EXHIBIT A

33 CFR 328.3(a)

(a) *Waters of the United States* means:

(1) Waters which are:

(i) Currently used, or were used in the past, or may be susceptible to use in interstate or foreign commerce, including all waters which are subject to the ebb and flow of the tide;

(ii) The territorial seas; or

(iii) Interstate waters;

(2) Impoundments of waters otherwise defined as waters of the United States under this definition, other than impoundments of waters identified under [paragraph \(a\)\(5\)](#) of this section;

(3) Tributaries of waters identified in [paragraph \(a\)\(1\)](#) or [\(2\)](#) of this section that are relatively permanent, standing or continuously flowing bodies of water;

(4) Wetlands adjacent to the following waters:

(i) Waters identified in [paragraph \(a\)\(1\)](#) of this section; or

(ii) Relatively permanent, standing or continuously flowing bodies of water identified in [paragraph \(a\)\(2\)](#) or [\(a\)\(3\)](#) of this section and with a continuous surface connection to those waters;

(5) Intrastate lakes and ponds not identified in [paragraphs \(a\)\(1\)](#) through [\(4\)](#) of this section that are relatively permanent, standing or continuously flowing bodies of water with a continuous surface connection to the waters identified in [paragraph \(a\)\(1\)](#) or [\(a\)\(3\)](#) of this section.

...

(c) In this section, the following definitions apply:

(1) *Wetlands* means those areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands generally include swamps, marshes, bogs, and similar areas.

(2) *Adjacent* means having a continuous surface connection.

ORDINANCE NO. 2024-\_\_

**AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF MOUNTAIN VILLAGE  
AMENDING SECTIONS 17.4.2, 17.4.3, 17.6.1, AND 17.8.1 OF THE MOUNTAIN VILLAGE  
MUNICIPAL CODE REGARDING WETLAND REGULATIONS**

WHEREAS, the Town of Mountain Village (“Town”) is a home rule municipality duly organized and existing under Article XX of the Colorado Constitution and the Town of Mountain Village Home Rule Charter of 1995, as amended (“Charter”); and

WHEREAS, the Town has adopted zoning and subdivision regulations codified at Title 17 of the Mountain Village Municipal Code and referred to as the Community Development Code (the “CDC”); and

WHEREAS, the CDC Section 17.6.1 includes regulations regarding the preservation and protection of wetlands; and

WHEREAS, the issuance of the United States Supreme Court decision in *Sackett v. Environmental Protection Agency* has created ambiguity and inconsistency in the scope of wetlands subject to regulation under the CDC; and

WHEREAS, Town Council now desires to amend the CDC’s definition of “wetlands” and other relevant portions of CDC Chapter 17.4 and Section 17.6.1.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF MOUNTAIN VILLAGE, COLORADO, AS FOLLOWS:

Section 1. Recitals. The above recitals are hereby incorporated as findings of the Town Council in support of the enactment of this Ordinance.

Section 2. Amendment of CDC Sec. 17.8.1. The Town Council hereby amends CDC Section 17.8.1 of the Code as follows, with added language in **bold** and underlined typefaces and removed language ~~stricken~~.

*Wetlands.* An area where water is at, near or above the land surface long enough to support aquatic or hydrophytic vegetation and which has soils indicative of wet conditions. ~~Determination of wetlands area boundaries shall be according to the United States Army Corps of Engineers delineation requirements.~~

Section 3. Amendment of CDC Sec. 17.6.1. The Town Council hereby amends CDC Section 17.6.1.B. of the Code as follows, with added language in **bold** and underlined typefaces and removed language ~~stricken~~.

B. *Wetland Regulations.*

...

2. Standards

d. The review authority shall only allow for wetland disturbance or fill if it is demonstrated that **(i) the development proposed in the land use application serves a compelling public purpose including, but not limited to, affordable housing, and a waiver is granted pursuant to Section 17.6.1.B.2.j, or (ii)** there is not a practicable alternative to avoiding such activities and if the following criteria are met:

...

iii. ~~the United States Army Corps of Engineers (“USACE”) has reviewed the proposed wetland disturbance or fill and has either recommended approval or has approved the required federal permits~~ **all state and federal permits related to the disturbance or fill (if any) have been approved.**

...

f. All development applications for lots that contain wetlands or that are in close to proximity of wetlands on adjoining lots shall, as a part of the applicable development application, submit a wetlands **report and** delineation performed by a USACE qualified **wetlands** consultant **or other appropriate professional.** **The wetlands report required by this section must have been prepared within 5 years of the date of the development application and shall include an analysis of whether the wetlands are subject to any federal or state wetland permitting process in effect as of the date of the development application.**

~~i. — Written verification of the delineation from the USACE is required prior to the review authority issuing the final CDC required development approval.~~

~~(a) The review authority may also, as a condition of the final approval, require the submission of the USACE wetland delineation verification prior to the issuance of a development permit.~~

~~(b) ACE written approval of wetland delineations typically expire after five (5) years. A new wetland delineation approval letter from the USACE shall be submitted if the original wetland delineation approval has expired.~~

...

i. Any development application that proposes wetland fill **to a wetland that is subject to federal and/or state regulation** shall be referred to the USACE **appropriate state or federal agency** in accordance with the Referral and Review Process to ensure compliance with the federal **and state** wetland permitting process.

**j. Through a Class 5 application, whether as a standalone application or in conjunction with another land use application, an applicant may request from Town Council a waiver of the Wetland Regulations for projects that serve a compelling public purpose including, but not limited to, affordable housing. Town Council may, after weighing the public benefits to be gained by the subject application and the purpose and intent of these Wetland Regulations, grant the waiver in whole or in part and with or without conditions. Town Council shall be the sole review authority with authorization to grant a waiver from these Wetland Regulations.**

Section 4. Amendment of CEC Sec. 17.4.2.B. Town Council hereby amends “Table 4-1 Development Application Classes” set forth in CDC Section 17.4.2.B to include the language in **bold** and underlined under the “Subdivision” portion of Table 4-1:

Development Application Type	Application Class	Review Authority
<b><u>Wetland Regulations Waiver under CDC Sec. 17.6.1.B.2.j</u></b>	Class 5	Town Council

Section 5. Amendment of CDC Sec. 17.4.3.J.5. The Town Council hereby amends CDC Section 17.6.1.B. of the Code as follows, with added language in **bold** and underlined typefaces and removed language ~~stricken~~.

17.4.3. *Development Review Procedures*

...

J. *Step 10: Review Authority Public Hearing or Meeting.*

...

5. *Other Class 5 Applications.* Minor subdivision, **requests for waiver of Wetland Regulations under CDC Section 17.6.1.B.2.j,** and other class 5 development applications do not require a public hearing.

Section 6. Effect of Ordinance. Those provisions on the Code not expressly amended by this Ordinance shall remain unchanged and in full force and effect.

Section 7. Severability. If any portion of this Ordinance is found to be void or ineffective, it shall be deemed severed from this Ordinance and the remaining provisions shall remain valid and in full force and effect.

Section 8. Safety Clause. The Town Council hereby finds, determines, and declares that this Ordinance is promulgated under the general police power of the Town, that it is promulgated for the health, safety, and welfare of the public, and that this Ordinance is necessary for the preservation of health and safety and for the protection of public convenience and welfare. The Town Council further determines that the Ordinance bears a rational relation to the proper legislative object sought to be obtained.

Section 9. Effective Date. This Ordinance shall become effective on fourteen (14) days after final publication pursuant to Section 4.3 of the Town Charter and shall be recorded in the official records of the Town kept for that purpose and shall be authenticated by the signatures of the Mayor and the Town Clerk.

Section 10. Public Hearing. A public hearing on this Ordinance was held on the \_\_\_\_ day of \_\_\_\_\_, 2024, in the Town Council Chambers, Town Hall, 455 Mountain Village Blvd., Mountain Village, Colorado 81435.



Section 11. Publication. The Town Clerk or Deputy Town Clerk shall post and publish notice of this Ordinance as required by Article V, Section 5.9 of the Charter.

**INTRODUCED, READ, AND REFERRED to public hearing before the Town Council of the Town of Mountain Village, Colorado on the \_\_\_\_ day of \_\_\_\_\_ 2024**

**TOWN OF MOUNTAIN VILLAGE:**  
TOWN OF MOUNTAIN VILLAGE, COLORADO, a Home-Rule Municipality

By: \_\_\_\_\_  
Martinique Prohaska, Mayor

ATTEST

By: \_\_\_\_\_  
Susan Johnston, Town Clerk

**HEARD AND FINALLY ADOPTED by the Town Council of the Town of Mountain Village, Colorado this \_\_\_\_ day of \_\_\_\_\_ 2024.**

**TOWN OF MOUNTAIN VILLAGE:**  
TOWN OF MOUNTAIN VILLAGE, COLORADO, a Home-Rule Municipality

By: \_\_\_\_\_  
Martinique Prohaska, Mayor

ATTEST

By: \_\_\_\_\_  
Susan Johnston, Town Clerk

Approved as to Form:

By: \_\_\_\_\_  
David McConaughy, Town Attorney

I, Susan Johnston, the duly qualified and acting Town Clerk of the Town of Mountain Village, Colorado ("Town") do hereby certify that:

1. The attached copy of Ordinance No. 2024-\_\_\_\_ (the "Ordinance") is a true, correct, and complete copy thereof.
2. The Ordinance was introduced, read by title, approved on first reading and referred to public hearing by the Town Council the Town ("Council") at a regular meeting held at Town Hall, 455 Mountain Village Blvd., Mountain Village, Colorado, on \_\_\_\_\_, by the affirmative vote of a quorum of the Town Council as follows:

Council Member Name	"Yes"	"No"	"Absent"	"Abstain"
Marti Prohaska, Mayor				
Scott Pearson, Mayor Pro Tem				
Jack Gilbride				
Peter Duprey				
Harvey Morgenson				
Tucker Magid				
Huascar Gomez				

3. After the Council's approval of the first reading of the Ordinance, notice of the public hearing, containing the date, time and location of the public hearing and a description of the subject matter of the proposed Ordinance was posted and published in the Telluride Daily Planet, a newspaper of general circulation in the Town, on \_\_\_\_\_ in accordance with Section 5.2(d) of the Town of Mountain Village Home Rule Charter.

4. A public hearing on the Ordinance was held by the Town Council at a regular meeting of the Town Council held at Town Hall, 455 Mountain Village Blvd., Mountain Village, Colorado, on \_\_\_\_\_. At the public hearing, the Ordinance was considered, read by title, and approved without amendment by the Town Council, by the affirmative vote of a quorum of the Town Council as follows:

Council Member Name	"Yes"	"No"	"Absent"	"Abstain"
Marti Prohaska, Mayor				
Scott Pearson, Mayor Pro Tem				
Jack Gilbride				
Peter Duprey				
Harvey Morgenson				
Tucker Magid				
Huascar Gomez				

5. The Ordinance has been signed by the Mayor, sealed with the Town seal, attested by me as Town Clerk, and duly numbered and recorded in the official records of the Town.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of the Town this \_\_\_\_ day of \_\_\_\_\_ 2024.

By: \_\_\_\_\_  
Susan Johnston, Town Clerk (SEAL)



Agenda Item 5  
**PLANNING AND DEVELOPMENT SERVICES  
DEPARTMENT**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 369-8250

**TO:** Mountain Village Design Review Board

**FROM:** Claire Perez, Planner II

**FOR:** Design Review Board Meeting; February 1, 2024

**DATE:** January 23, 2024

**RE:** Consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 710, TBD Adams Ranch Road, pursuant to CDC Section 17.4.11.

---

**BACKGROUND:** Staff is requesting to table the Final Architecture Review for Lot 710, TBD Adams Ranch Road. The memo is being provided not to open the public hearing but solely for the purpose of the DRB providing a motion to table the item.

**RECOMMENDED MOTION:** I move to table, the consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 710, TBD Adams Ranch Road, pursuant to CDC Section 17.4.11.

/cp



Agenda Item 6  
**PLANNING AND DEVELOPMENT SERVICES  
DEPARTMENT**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 369-8250

**TO:** Mountain Village Design Review Board  
**FROM:** Claire Perez, Planner II  
**FOR:** Design Review Board Meeting; February 1, 2024  
**DATE:** January 23, 2024  
**RE:** Consideration of a Design Review: Initial Architecture and Site Review for a new Single-Family home on Lot 166AR2-10, TBD Stonegate Drive, pursuant to CDC Section 17.4.11.

---

**BACKGROUND:** Staff is requesting a continuation of the Initial Architecture and Site Review to the March 7, 2024, Regular DRB Meeting. The memo is being provided not to open the public hearing but solely for the purpose of the DRB providing a motion to continue to the Regular March 7, 2024 meeting date.

DRB also has the ability to table the item, which would require the applicant to re-notice the project at a time in the future.

**RECOMMENDED MOTION:** I move to continue, the consideration of a Design Review: Initial Architecture and Site Review for a new Single-Family home on Lot 166AR2-10, TBD Stonegate Drive, pursuant to CDC Section 17.4.11.to the Regular Design Review Board Meeting on March 7, 2023.

/cp



AGENDA ITEM 7  
PLANNING & DEVELOPMENT SERVICE  
PLANNING DIVISION  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**TO:** Mountain Village Design Review Board  
**FROM:** Claire Perez, Planner II  
**FOR:** Design Review Board Public Hearing; February 1, 2023  
**DATE:** January 15, 2023  
**RE:** Staff Memo – Initial Architecture and Site Review (IASR) Lot 1 Unit 1, TBD Eagle Drive.

APPLICATION OVERVIEW: New Single-Family Home on Lot 1 Unit 1

**PROJECT GEOGRAPHY**

**Legal Description:** UNIT 1 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 AND 24 NKA TOWN OF MTN VILLAGE REC 10 6 95 BK 1 PG 1918

**Address:** TBD Eagle Drive

**Applicant/Agent:** Kristine Perpar, Shift Architects

**Owner:** Chalets at Knoll Estates, LLC

**Zoning:** Multi-family

**Existing Use:** Vacant

**Proposed Use:** Single-Family Detached Condominium

**Lot Size:** 5,401.44 square feet, 0.124 Acres

**Adjacent Land Uses:**

- **North:** Multi-family
- **South:** Multi-family
- **East:** Multi-family
- **West:** Multi-family



**ATTACHMENTS**

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comment

**Case Summary:** Kristine Perpar of Shift Architects is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) for a new single-family detached condominium on Lot 1 Unit 1, TBD Eagle Drive. The lot is approximately 0.124

acres and is zoned multi-family. The proposed design consists of a three-story structure. The overall square footage of the home is approximately 4,471.52 gross square feet and provides 2 interior parking spaces within the proposed garage. The maximum lot coverage is 44.26% or 2,396 square feet. The property is located along Eagle Drive in Knoll Estates.

The proposed development requires Design Review Board specific approvals for the use of metal fascia and a design variation for an address plaque.

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. *Please note that Staff comments will be indicated by italicized Text.*

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
<b>Maximum Building Height</b>	40' (gable) Maximum	39.96'
<b>Maximum Avg. Building Height</b>	35' (gable) Maximum	25.31'
<b>Maximum Lot Coverage</b>	To extent of building envelope	44.26%, 2,396 sq.ft*
<b>General Easement Setbacks</b>	No encroachment	No Encroachment
<b>Roof Pitch</b>		
Primary		1/4" / 12"
Secondary		
<b>Exterior Material</b>		
Stone	35% minimum	46%
Windows/Doors	40% maximum	23%
<b>Parking</b>	2 enclosed	2 enclosed

**DRB Specific Approval:**

1. Materials - Metal Fascia

**Design Variation:**

1. Address Plaque

**Chapter 17.3: ZONING AND LAND USE REGULATIONS**

**17.3.12: Building Height Limits**

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates a gable roof form, therefore is allowed a max height of 40' and an average height of 35'. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

*Staff: Staff has determined that the primary roof form for the home is a gable roof and therefore is granted a maximum height of 40' and an average height of 35'. The applicant has calculated a maximum height of 39.96' and an average height of 25.31'. The CDC allows chimneys and similar structures to extend 5' past the maximum building height. The chimney cap height is shown as 2'-10" on sheet A4.2 Staff finds this criteria met.*

**17.3.14: General Easement Setbacks**

Lot 1 Unit 1 does not have a general easement. Per CDC Section 17.3.14, for lots where a general easement does not exist, the review authority may require the establishment of a building setback as determined by the DRB at the time of review of a development application. The review authority may not require a setback for such lots if the Town has established other design allowances by a recorded development agreement or other legally binding approval that establishes a different general easement or other setback. Lot 1 Unit 1 has an established building envelope. The development may occupy up the extent of the building envelope per the subdivision's original approval. Per Chapter 17.8 (Definitions), a disturbance envelope must contain all grading, clearing, excavation, development, drainage, and other improvements. Driveways and utilities are allowable exceptions. Lot 1 Unit 1 has a 5' earthwork easement along the western portion of the lot. The lot is bounded by General Common elements on each side of the site.

*Staff: The proposal includes the following encroachments that fall into the above category of permitted development activity including the following:*

- Driveway and Address Monument: The driveway as shown currently takes access from Eagle Drive and cross the GCE.*
- Utilities: The water and sewage lines are located in Eagle Drive and cross the western GCE with access lines to the house. The gas and internet lines are shown crossing the southern GCE and running to meters on the side of the home.*

*There are also several encroachments that encroach into the General Common Element requiring approval by the Knoll Estates HOA. The applicant has provided written approval from the Knoll Estates HOA.*

- The applicant has proposed grading into the northern, eastern, and southern GGE. Staff finds this encroachment appropriate given the site constraints.*
- The applicant has identified a walkway connecting the driveway to the front entrance on Sheet C2. The corner of the walkway encroaches into the earthwork easement surrounding the western boundary of the lot.*
- The retaining wall associated with the driveway also encroaches into the earthwork easement and GCE. Staff finds the encroachment appropriate.*

## **Chapter 17.5: DESIGN REGULATIONS**

### **17.5.4: Town Design Theme**

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

*Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The design utilizes a mix of stone, wood, metal, and steel. These materials are capable of withstanding the high alpine environment. The materials blend in with surrounding homes in Knoll Estates. Overall, it appears that the proposed materials and design would fit within the existing Mountain Village Design Theme.*

### **17.5.5: Building Siting Design**

The CDC requires that any proposed development blend into the existing landforms and vegetation.

*Staff: The structure adheres to the established building envelope from Knoll Estate's platting. The lot has minimal elevation change although it slopes towards the northeast. The home reads as two stories from Eagle Drive, and three stories from the back and side of the home. The positioning of the home also provides adequate spacing between the home on Lot 1 Unit 2. The structure blends into the existing landform and follows the natural slope of the site. Staff finds that the proposed home blends into the existing landforms and vegetation.*

### **17.5.6: Building Design**

*Staff: The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation. The siding on the home is a mix of Telluride Gold stone, Dark horizontal wood siding, black metal, and steel. The structure follows an alpine mountain design that is well grounded to withstand the extreme forces of wind, snow, and heavy rain. Moreover, the exterior walls are simple in design and portray a massing that is well grounded to the site. The DRB should discuss if the second level deck counteracts the homes groundedness.*

*The applicant has included a complete window and door schedule. The recess depth of all doors and windows in stone areas meets the CDC requirements. The windows and doors have black matte aluminum cladding. The primary roof form is gable with secondary shed roofs. The proposed roofing material is a black matte standing seam metal. The fascia is wood wrapped with sheet metal to match the roof. The soffit is wood that matches the siding of the home.*

### **17.5.7: Grading and Drainage Design**

*Staff: The applicant has proposed grading into the northern, southern, and eastern GCE. Grading outside of the building envelope requires specific approval by the DRB. The grading plan appears to create positive drainage away from the home. Staff sees no issues with the grading plan.*

### **17.5.8: Parking Regulations**

*Staff: The CDC requires two parking spaces per home for single-family detached condominiums. The applicant has shown a total of two interior spaces within the garage that meet the required sizes of 9' x 18'.*

### **17.5.9: Landscaping Regulations**

*Staff: The applicant has provided a conceptual landscaping plan. The Town Forester has reviewed the landscaping plan. Prior to Final Architecture Review, the plan should be amended per his comments.*

*TMV Forester comments: "The plan set is required to show the zone 1 wildfire mitigation boundary. No trees may remain within the zone 1 wildfire mitigation area unless CDC exceptions apply. Tree retention within the zone 1 boundary mitigation is extremely difficult due to excavation and construction activities. If trees will be retained within the zone 1 fire mitigation area, they must be approved by the Town Forester and a more durable tree protection fencing system must be installed in order to ensure they will not be damaged during construction.*



*According to wildfire defensive space Best Management Practices, no plant materials are recommended within 5 feet of the side of the building. No trees or shrubs may be planted directly adjacent to or underneath windows.*

*The aspen tree marked for retention closest to the window well must be removed, because it will be permanently damaged or killed by the construction of the window well.”*

*It should be noted that landscaping plans are a requirement of final review.*

#### **17.5.11: Utilities**

*Staff: The plan indicates that the proposed water and sewage lines are located in Eagle Drive and cross the western GCE with access lines to the house. The gas and internet lines are shown crossing the southern GCE and running to meters on the southern side of the home.*

#### **17.5.12: Lighting Regulations**

*Staff: A lighting plan was provided on Sheet LTG1.1. The applicant has proposed a step light and sconce. Both light fixtures proposed are Dark Sky compliant and adhere to the CDC’s lighting regulations. There are an appropriate number of fixtures are proposed. Full page cut sheets shall be provided prior to final architectural review.*

#### **17.5.13: Sign Regulations**

*Staff: Due to the proximity of the home to the street, the address plaque is proposed on the side of the home. The CDC allows homes to forgo a freestanding address monument if the home is located within 20’ of the roadway, subject to review authority and Fire District approval. The driveway is 21.54 feet from the edge of the pavement of Eagle Drive. The fire department has reviewed the application and does not have issues with the proposed address plaque. Because the home is located 21 feet from the roadway, the address plaque is a design variation. The plaque is shown between the front entrance and garage door. The indicated heights and lettering meet CDC guidelines. The applicant has indicated that the numbers will be LED illuminated but has not identified a light source. The light fixture must be downlit and dark sky compliant.*

### **Chapter 17.6: SUPPLEMENTARY REGULATIONS**

#### **17.6.1: Environmental Regulations**

*Staff: Fire Mitigation and Forestry Management: The applicant has not provided a Fire Mitigation plan. The site is located within an Aspen grove. The majority of trees will need to be removed during construction. As noted in section 17.5.9, if trees will be retained in zone 1 fire mitigation area, they must be approved by the Town Forester. Prior to Final Review, the applicant shall provide a completed fire mitigation plan that adheres to the CDC and the Town Forester’s comments.*

#### **17.6.6: Roads and Driveway Standards**

*Staff: The driveway is accessed from Eagle Drive. The driveway grade is between 5% and 7.42% slope. The proposed grade meets requirements that the grade shall not exceed five percent within the first twenty feet from the public roadway. The width of the driveway meets CDC requirements at 23.7 feet. A 4.5’ stone retaining wall is proposed along the southern side of the driveway and extends into the earthwork easement and GCE. A minimum step in between walls of 4 feet is required to allow for landscaping to soften the walls. The applicant has indicated a 1’-7” step on Sheet A3.2.*

#### **17.6.8: Solid Fuel Burning Device Regulations**

*Staff: The applicant has not identified any solid fuel burning devices in the home. A gas fireplace is shown on Sheet A3.2.*

## **Chapter 17.7: BUILDING REGULATIONS**

### **17.7.19: Construction Mitigation**

*Staff: A construction mitigation plan was provided on Sheet C4. The plan identifies the necessary construction dumpster, port-a-john, erosion control devices, material storage and laydown, and silt fencing. A parking space is provided in the driveway, which is an area that won't be available for use until the initial stages of construction are complete. Another parking space is shown in the right of way of Eagle Drive in the GCE. The applicant will need to obtain a right-of-way closure from the Town for the parking spot. Construction workers will likely need to be shuttled from off site during construction.*

**Staff Recommendation:** Staff recommends the DRB approve the Initial Architectural and Site Review for Lot 1 Unit 1, TBD Eagle Drive based on the findings and CDC requirements listed in the staff memo of record.

**Staff Note:** *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

#### **Proposed Motion:**

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architectural and Site Review for a new single-family home located at Lot 1 Unit 1, based on the evidence provided within the Staff Report of record dated January 15, 2023, with the following design variations and specific approvals:

DRB Specific Approval:

- 1) Materials - Metal Fascia

Design Variation:

- 1) Address Plaque

And, with the following conditions:

- 1) Prior to final review, the applicant shall modify the landscaping plan to adhere to the CDC and the Forester's comments.
- 2) Prior to the issuance of a building permit, the town forester shall sign off on both the landscaping plan and fire mitigation plan.
- 3) Prior to the issuance of a building permit, the applicant shall field verify all utility locations.
- 4) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 5) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 6) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

- 7) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and
  - e. Any other approved exterior materials
- 8) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 9) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted in 2023.
- 10) A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.
- 11) An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.
- 12) Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
- 13) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
- 14) Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.

/cp

**Date:** November 26, 2023

**By:** Kristine Perpar, Architect

**Sent to:** Mountain Village Planning Staff

**Re:** Design Review Application Narrative

**Property Address:** Unit 1, Lot 1 - Knoll Estates, Mountain Village, CO 81435

Dear Mountain Village Design Review Board,

This narrative outlines a request for Design Review Board Initial Architecture and Site Review for Lot 1 - Unit 1, 100 Eagle Drive ("Unit 1") along with the relevant Criteria for Decision provided in the CDC.

---

**Requests:**

1. Initial Architectural and Site Review Approval

**Project Overview:**

**Legal Description:** UNIT 1 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 AND 24 NKA TOWN OF MTN VILLAGE REC 10 6 95 BK 1 PG 1918

**Address:** 100 Eagle Drive

**Zoning:** Multi-Family outside Village Center

**Existing Use:** Vacant

**Proposed Use:** Single-Family Detached Condominium

**Lot Size:** 0.124 Acres

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Maximum Building Height	40'-0" (Gable)	39.96'
Maximum Avg. Building Height	35'-0"	25.31'
Maximum Lot Coverage	3,510.9 SF (65%)	2,396 SF
General Easement Setbacks	No GE	No GE
Roof Pitch		
Primary		7:12
Secondary		3:12
Exterior Materials		
Stone	35% Minimum	46%
Glazing	40% Maximum	23%
Parking	2 spaces	2 spaces

**DRB Specific Approvals:**

Materials – Black Metal Fascia

**Criteria for Decision:** *The following criteria for Initial Architecture and Site Review have been addressed as part of this narrative. We feel that we are meeting the CDC requirements within this application, narrative, and architectural plan set; allowing for the DRB to grant approval of this Initial Review.*

Applicant notes will be provided in [Blue Text](#). In order to reduce the length of this narrative, only relevant sections of the DRB Rules and Regulations related to the project have been addressed.

## **Chapter 17.3: Zoning and Land Use Regulations**

### **17.3.12: Building Height Limits**

Applicant Note: Building Height and Maximum Average Building heights along with parallel slope projections are shown on sheet A2.2 of the submitted documents. The current Maximum and Maximum Average Building Heights are 39.64' and 25.31' respectively. Both heights are below the allowable maximums per the CDC requirements.

### **17.3.14: General Easement Setbacks**

Applicant Note: Knoll Estates does not have the typical General Easements (GE) seen in the Mountain Village. Instead, there are building sites with General Common Elements between lots. As such, the provisions of Section 17.3.14 do not apply to this project. It should be noted that there is a 5-foot earthwork easement along the boundary of Unit 1 and Eagle Drive. As shown on Sheet C-2, there is a small walkway encroachment into this easement for which we are requesting DRB approval.

## **Chapter 17.5: Design Regulations**

### **17.5.4: Town Design Theme**

Applicant Note: Nestled within an aspen grove, this home embodies a harmonious integration of thoughtful design principles. The building's siting reflects careful consideration for its surroundings, ensuring accessibility, unobstructed views, optimal solar gain, and the preservation of existing trees. The massing of the structure is elegantly simple, seamlessly stepping with the natural topography, creating a visually pleasing silhouette against the natural backdrop. Its grounded bases are meticulously crafted to withstand the challenges of alpine snow conditions, offering both durability and functionality. The structural elements of the home not only provide shelter but also express a robust resilience tailored to bear the burdens of heavy snow loads. In adherence to the theme, the materials employed in construction are drawn from nature, incorporating sustainable stone, wood, and metal, thus contributing to the home's ecological footprint. The carefully selected colors blend seamlessly with the natural surroundings, creating a residence that not only complements its environment but becomes an integral part of the Knoll Estates neighborhood.

### **17.5.5: Building Siting Design**

Applicant Note: The CDC requires that proposed development blend in with the existing landforms and vegetation, which we believe this design accomplishes. Although some trees will be required to be removed as part of construction, the goal was to limit overall tree removal, especially as it relates to the GCE between Unit 38 and Unit 39. Overall, the siting of the home was limited to the building envelope that was established when Knoll Estates was platted. Generally speaking, the site does slope and the home design works to incorporate the sloping of the lot by stepping the home down towards the rear of the lot.

As such, we believe that the building has been sited in such a way to blend in with existing landscapes and vegetation.

#### **17.5.6: Building Design**

Applicant Note: The envisioned architectural design seamlessly blends elements of modern aesthetics with a predominant touch of traditional mountain design. While incorporating some modern features, the home predominantly embraces a traditional mountain aesthetic. Its primary gable roof forms are complemented by projecting shed roofs, and the limited use of overall glazing is intentional, harmonizing with the neighboring homes in Knoll Estates. The material palette artfully integrates stone, wood, and metal, creating a robust and grounded foundation that reflects a traditional mountain feel. The proposed home utilizes Telluride Gold Series Skyline shown in a dry stack arrangement, paired with dark-stained horizontal wood square edge siding. The strategic combination of stone, vertical wood elements, and metal detailing breaks up the massing, offering a pleasing contrast to the adjacent homes without overwhelming the streetscape.

As part of this submittal, we have also included a full window and door schedule, along with recess depth details for installation as required by the CDC. As proposed, all windows and doors are currently shown as dark black matte aluminum clad, accenting the proposed dark black matte standing seam roof. It should be noted that we are requesting DRB Specific Approval for the roof's fascia to be the same black material as the proposed roof.

#### **17.5.7: Grading and Drainage Design**

Applicant Note: The home will require grading as shown on sheet C2 to allow for positive drainage away from the home. This is due to the sloping nature of Unit 1. Because of the slope and limited size of the Lot, we are proposing minor grading on adjacent open-space, owned by the Knoll Estates HOA. The goal of the project was to limit site disturbance where possible but the majority of the unit will be impacted by the project. With that, the home currently has positive drainage away from the home and is meeting the requirements of the CDC as shown.

#### **17.5.8: Parking Regulations**

Applicant Note: The proposal currently is meeting the parking requirements of two spaces per home for single-family detached condominiums. The parking plan demonstrates that parking requirements have been met for both number and size of spaces.

#### **17.5.9: Landscaping Regulations**

Applicant Note: Although the Landscaping Plan is not required to be shown for Initial Architecture and Site Review, it has been conceptually addressed as part of this application. As currently proposed, the plan calls for removal of the majority of existing aspen trees within the unit, to be replaced with 9 aspen and 8 chokecherry trees. The entirety of the site is to be revegetated with native grasses.

#### **17.5.11: Utilities**

Applicant Note: Utilities are located directly adjacent to Unit 1, with water and gas connections in Eagle Drive. The submitted utility plan on Sheet C2 of the provided submittal demonstrates these locations.

#### **17.5.14: Lighting Regulations**

Applicant Note: While Lighting Plans are not mandatory for Initial Architecture and Site Review, a conceptual plan has been included in this application. The lighting design is deliberately subtle, featuring a total of 12 fixtures. Notably, all proposed fixtures adhere to Dark Sky compliance and meet the CDC's stipulations for lumen output and Color Temperature. Furthermore, the lighting system includes a thoughtful touch of functionality, as all fixtures are equipped with dimmable capabilities. In addition to this, for enhanced energy efficiency, the lights on the upper floors are set on timers, ensuring optimal use and minimizing unnecessary energy consumption. To provide a comprehensive understanding of the illumination levels, a photometric diagram accompanies the application, detailing foot candle levels at each fixture.

#### **17.5.13: Signs**

Applicant Note: Due to the proximity to Knoll Estate Drive, we are proposing a wall mounted address plaque consisting of a 1/2" steel plate with cut-out lettering, mounted to stone veneer. The plaque is illuminated by a wall mounted fixture directly above. Otherwise, the monument is meeting the requirements of the CDC.

### **Chapter 17.6: Supplementary Regulations**

#### **17.6.1: Environmental Regulations**

Applicant Note: Fire Mitigation and Forestry Management: Given the size of the lot, it is anticipated that the majority of trees on the site will need to be removed for construction as well as fire mitigation requirements. Because the majority of the trees on the site are currently aspen, we do not anticipate removal of the existing trees between Unit 1 and the adjacent Unit 2.

#### **17.6.6: Road and Driveway Standards**

Applicant Note: As shown, the driveway is meeting the slope and width requirements of the CDC, with the grade for the driveway shown between 5% and 7.42% slope and its width approximately 21 feet.

#### **17.6.8: Solid Fuel Burning Device Regulations**

Applicant Note: There are currently no solid fuel burning devices in the home. We have proposed a direct vent gas fireplace as shown on sheet A3.2.

### **Chapter 17.7: Building Regulations**

Applicant Note: A conceptual construction mitigation plan is not required at Initial, but will be addressed as part of the final review. It should be noted that the proposed snowmelt is currently shown at 1,029 sq. ft. which will require minimal offset payments with the town.

Please let us know if you need any additional information or have any further comments

Sincerely,



Kristine Perpar

## GENERAL NOTES:

### CONTRACT DOCUMENTS:

CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, DETAIL BOOK AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTES WITH "N.T.S." DENOTES NOT TO SCALE.

### ORGANIZATION:

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), CIVIL DRAWINGS (C SHEETS), STRUCTURAL (S SHEETS), MECHANICAL AND PLUMBING (M SHEETS), ELECTRICAL (E SHEETS) AND LIGHTING (LTG SHEETS).

### CODE COMPLIANCE:

ALL WORK, MATERIALS AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

### INTENT:

THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

### COORDINATION:

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS. VERIFY ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

### SUBSTITUTIONS:

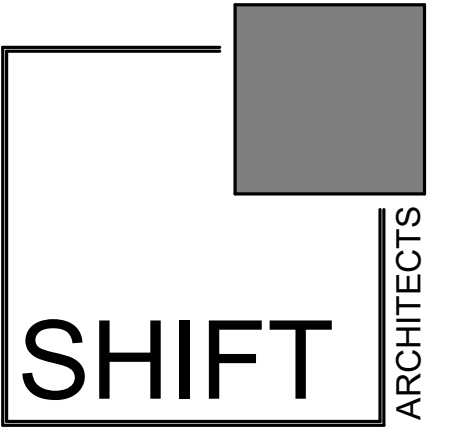
ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED-OUT-BY-TRADE-NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

### SHOP DRAWINGS:

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "SUBSTITUTIONS" ABOVE.

### SAFETY & PROTECTION OF WORK:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.



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100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
www.shift-architects.com

PROJECT ISSUE DATE:  
12.05.23 DRB PRELIMINARY  
SUBMITTAL

### REVISIONS

NO. DATE DESC.

## PROJECT CODE INFORMATION

ZONING:	MULTI-FAMILY RESIDENCE (KNOLL ESTATES LOT K1)
BUILDING CODE:	IRC 2018 AND ALL APPLICABLE CODES AS REQUIRED BY THE TOWN OF MOUNTAIN VILLAGE
DESCRIPTION:	SECOND AMENDED AND RESTATED DECLARATION OF CONDOMINIUM FOR THE KNOLL ESTATES IN ADDITION TO ANY REQUIREMENTS BY THE TOWN OF MOUNTAIN VILLAGE
DESCRIPTION:	MULTI-STORY DWELLING
OCCUPANCY CLASSIFICATION:	R-3
AUTOMATIC FIRE SPRINKLER:	MONITORED NFPA 13D SPRINKLER SYSTEM REQUIRED
NATIONAL FIRE ALARM & SIGNALING CODE:	MONITORED NFPA 72 ALARM SYSTEM REQUIRED
EMERGENCY ACCESS:	PROVIDE KNOX BOX FOR EMERGENCY ACCESS
FIRE RESISTIVE RATING:	GARAGE - 1 HR, MECHANICAL - 1 HR
CARBON MONOXIDE DETECTION:	PROVIDED MONITORED DETECTION IN ACCORDANCE WITH 2018 IFC 915.2.1

## PROJECT INFORMATION

PROPOSED FLOOR AREA:		MAX BUILDING HEIGHT:	
LOWER LEVEL	1,379.25 SF	ALLOWABLE	40'-0" (35'-0" + 5'-0" GABLE RIDGE, CDC TABLE 3-3 FOOTNOTE 1)
GROUND LEVEL	1,287.77 SF	PROPOSED	39.96'
UPPER LEVEL	1,252.25 SF		
TOTAL FLOOR AREA:	<u>3,919.27 SF</u>	MAX AVERAGE HEIGHT:	
GARAGE	552.25 SF	ALLOWABLE	35'-0" (30'-0" + 5'-0" GABLE RIDGE, CDC TABLE 3-3 FOOTNOTE 1)
TOTAL:	<u>4,471.52 SF</u>	PROPOSED	25.31"
LOT AREA:	.124 ACRES (5401.44 SF)	KNOLL ESTATES HEIGHT:	
		ALLOWABLE	NON-PERIMETER LOT (REFER TO MOUNTAIN VILLAGE)
BUILDING FOOTPRINT:		PARKING REQUIRED:	
ALLOWABLE	2,400 SF		2 SPACES PROVIDED (2 REQUIRED) (2 ENCLOSED IN GARAGE)
PROPOSED	2,396 SF		

SEE SHEET A2.2 / A2.3 FOR MAXIMUM BUILDING HEIGHT

## SHEET INDEX

### GENERAL

- G1.0 COVER SHEET
- G1.1 ABBREVIATIONS AND LEGENDS

### CIVIL

- C1 NOTES
- C2 SITE GRADING
- C3 UTILITY PLAN
- C4 CONSTRUCTION MITIGATION PLAN

### SURVEY / MAPPING

- 0 EXISTING CONDITIONS PLAN

### ARCHITECTURAL

- A1.1 ARCHITECTURAL SITE PLAN
- A1.2 BUILDING SITE PLAN
- A1.3 LANDSCAPE PLAN NOTES / LEGENDS
- A1.4 LANDSCAPE PLAN
- A1.5 IRRIGATION PLAN
- A2.1 SITE 40' PARALLEL OFFSET
- A2.2 MAX BUILDING HEIGHT
- A2.3 MAX BUILDING HEIGHT
- A2.4 MATERIAL CALCULATIONS
- A2.5 MATERIAL CALCULATIONS
- A3.1 FLOOR PLAN
- A3.2 FLOOR PLAN
- A3.3 FLOOR PLAN
- A3.4 ROOF PLAN
- A4.0 AXONS
- A4.1 EXTERIOR ELEVATION
- A4.2 EXTERIOR ELEVATION
- A4.3 EXTERIOR ELEVATION
- A4.4 PRESENTATION ELEVATIONS
- A8.1 DOOR SCHEDULE
- A8.2 WINDOW SCHEDULE

- LTG.1 EXTERIOR LIGHTING PLAN

## VICINITY MAP



### SITE LOCATION



LOT K1, KNOLL ESTATES  
100 EAGLE DRIVE  
MOUNTAIN VILLAGE, CO

## PROJECT TEAM

### OWNER:

CHALET'S AT KNOLL ESTATES LLC  
A CO LLC  
3521 N 32ND TER  
HOLLYWOOD, FL 330212618

### ARCHITECT:

SHIFT ARCHITECTS, LLC  
KRISTINE PERPAR - ARCHITECT  
100 WEST COLORADO STE. 211  
TELLURIDE, CO 81435  
P. 970.275.0263  
kristine@shift-architects.com

### GENERAL CONTRACTOR:

HOINS CONSTRUCTION  
BILL HOINS  
137 SOCIETY DRIVE  
TELLURIDE, CO 81435  
P. 970.728.9371  
hoinsoffice@gmail.com

### SURVEYOR:

FOLEY ASSOCIATES, INC.  
125 W. PACIFIC, SUITE B-1  
P.O. BOX 1385  
TELLURIDE, CO 81435  
P. 970.728.6153  
F. 970.728.6050

### CIVIL:

UNCOMPAGRE ENGINEERING LLC  
DAVID BALLODE P.E.  
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TELLURIDE, CO 81435  
P. 970.729.0683  
dbalode@msn.com

### STRUCTURAL:

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JACK GARDNER, P.E.  
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TELLURIDE, CO 81435  
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jgardner.pe@gmail.com

### MECHANICAL:

HUGHES CONSULTING ENGINEERING, PA  
DIMITRI MERRILL, P.E.  
TELLURIDE, CO 81435  
P. 970.239.1949  
F. 785.842.2492  
dimitri@hce-pa.com

### LANDSCAPING:

SHIFT ARCHITECTS, LLC  
KRISTINE PERPAR - ARCHITECT  
100 WEST COLORADO STE. 211  
TELLURIDE, CO 81435  
P. 970.275.0263  
kristine@shift-architects.com

KNOLL ESTATES UNIT 1  
100 EAGLE DRIVE, MOUNTAIN VILLAGE, CO 81435  
UNIT 1 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 AND 24 NKA TOWN OF MTN VILLAGE  
REC 10.6.95 BK 1 PG 1918

COVER SHEET

SHEET NUMBER

G1.0

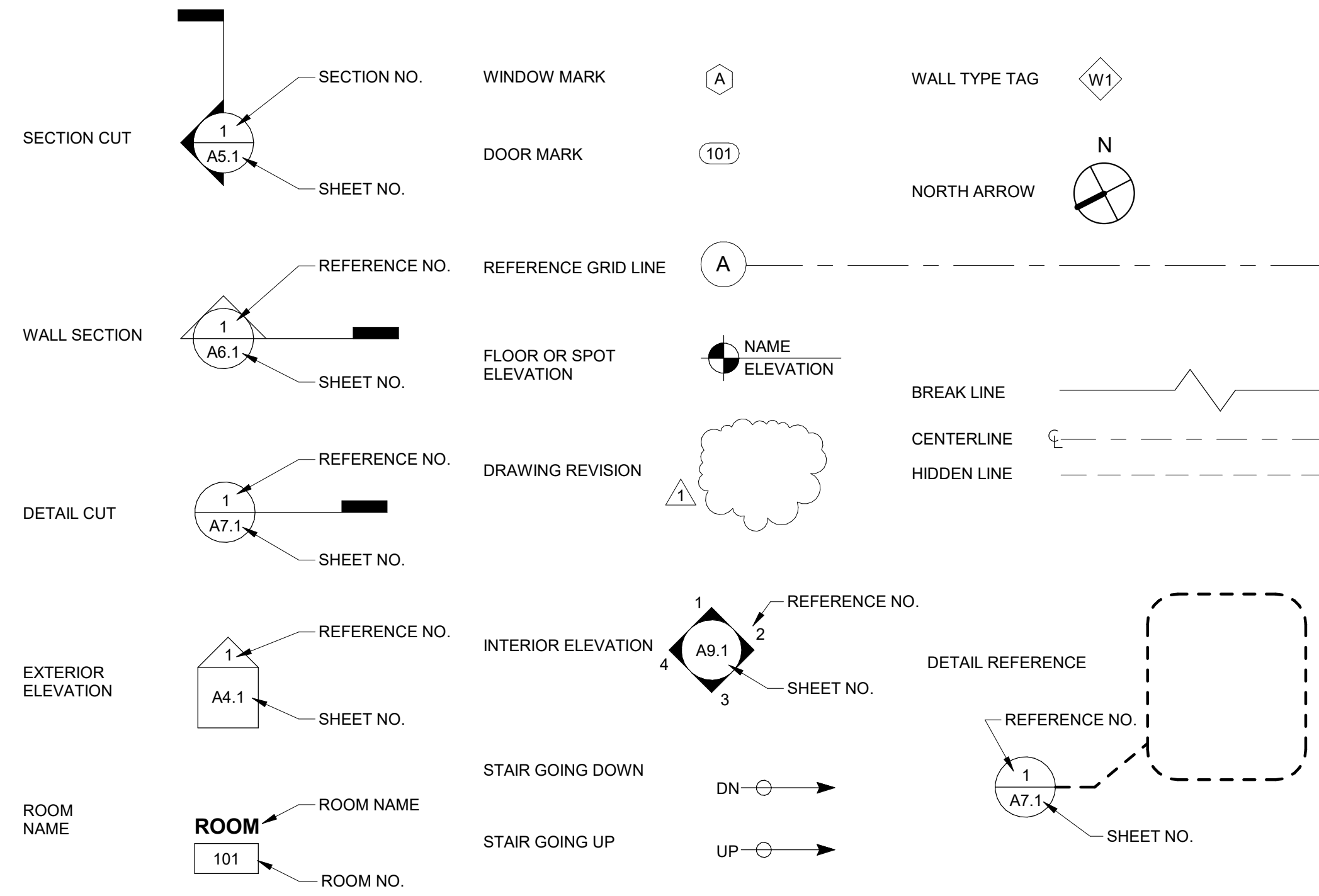
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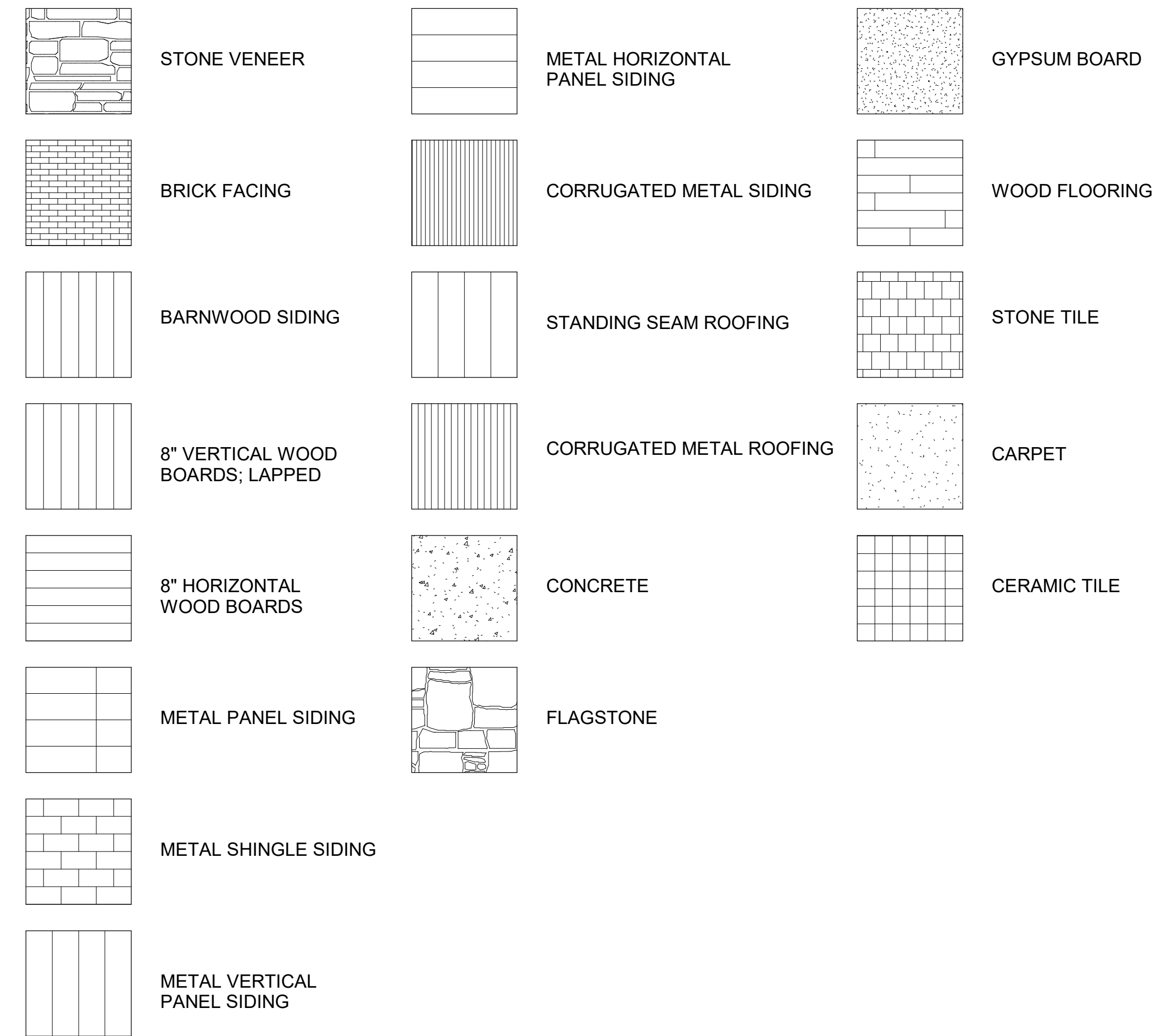
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## SYMBOL LEGEND

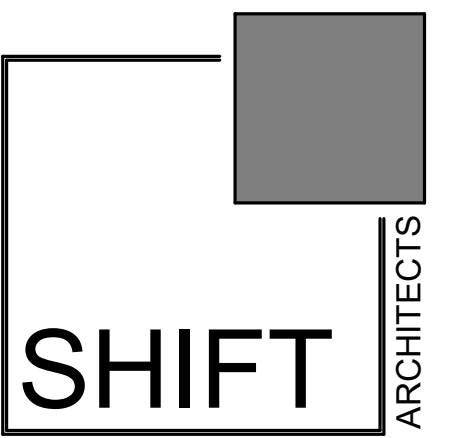


## MATERIAL LEGEND



## ABBREVIATIONS

AC	Acres
AFF	Above Finished Floor
AGG	Aggregate
AL	Aluminum
BM	Bench Mark
BSN	Basin
BTH	Bath
CL	Centre Line
CJ	Control Join
CLST	Closet
CP	Carpet
CT	Ceramic Tile
DIA	Diameter
DP	Downpipe
DW	Dishwasher
EX	Existing
FF	Finished Floor
FHR	Fire Hose Reel
FP	Flue Pipe
GAL	Galvanized
GL	Ground Line
GFI	Ground Fault Circuit Interrupter
GPO	General Power Outlet
IBC	International Building Code
MDF	Medium Density Fibreboard
MR	Metal Roofing
MSB	Main Switch Board
NTS	Not To Scale
PFC	Parallel Flanged Steel Channel
PL	Plastic Laminate
PT	Paint
RC	Reinforced Concrete
REF	Refrigerator
RL	Reduced Level
S	Sanitary Drainage Pipe
SHR	Shower
SK	Sink
SN	Stone
SS	Stainless Steel
ST	S Trap
STF	Steel Trowel Finished Concrete
SW	Stormwater Drainage Line
T&G	Tongue and Grooved
TO	Top Of
TPH	Toilet Paper Holder
TR	Tiled Roofing
TSF	Timber Strip Floor
TYP	Typical
U	Urinal
UOS	Unless Otherwise Specified
V	Valley
VIF	Verify In Field
VP	Vent Pipe
WC	Water Closet (Toilet)
WM	Washing Machine
WPM	Water Proof Membrane



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PROJECT ISSUE DATE:  
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100 EAGLE DRIVE, MOUNTAIN VILLAGE, CO 81435  
UNIT 1 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 AND 24 NKA TOWN OF MTN VILLAGE  
REC 10.6.95 BK 1 PG 1918

KNOLL ESTATES UNIT 1

ABBREVIATIONS AND  
LEGENDS

SHEET NUMBER

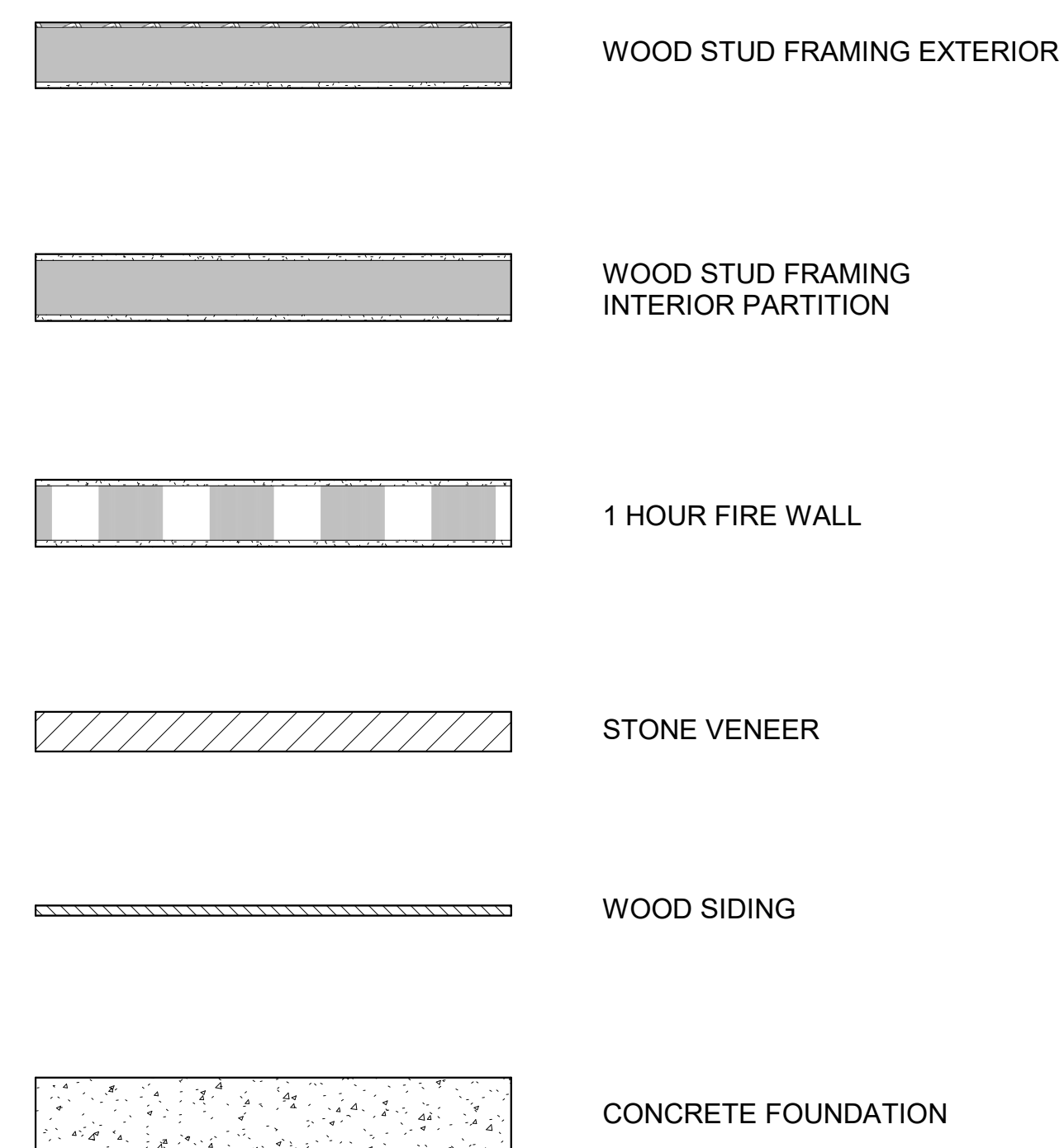
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NOT FOR CONSTRUCTION

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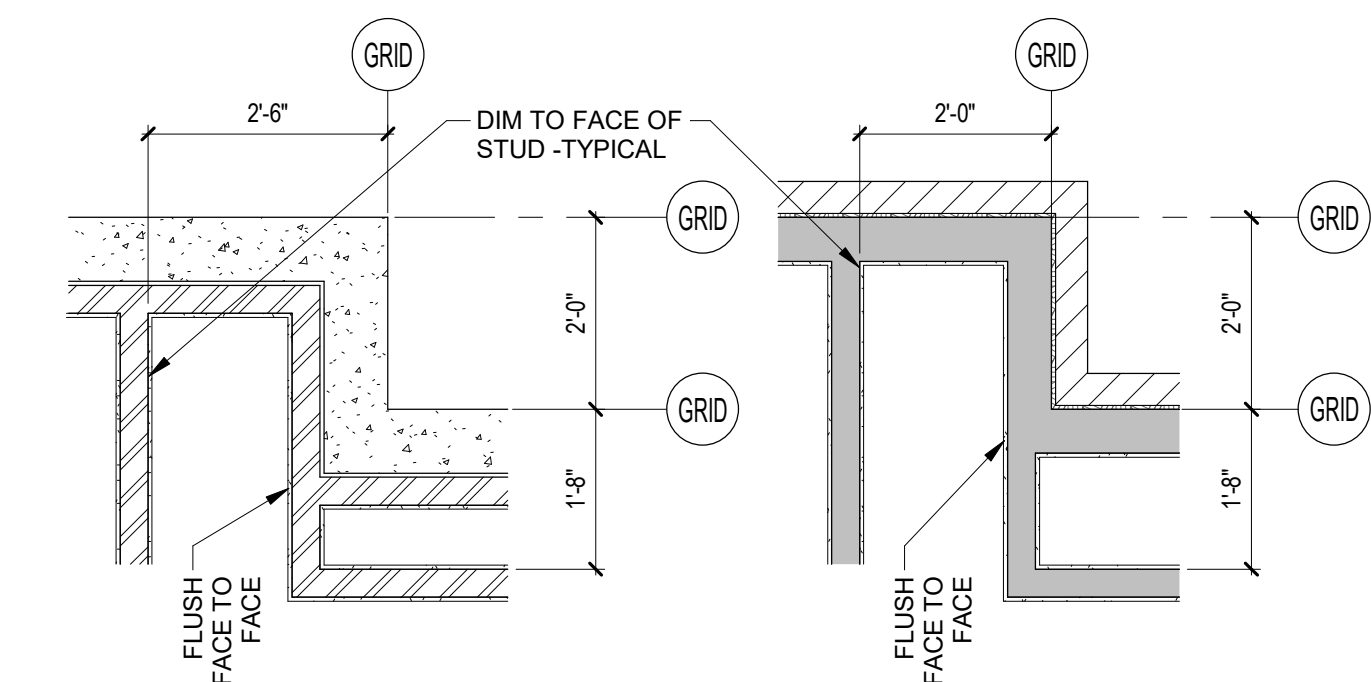
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## WALL LEGEND



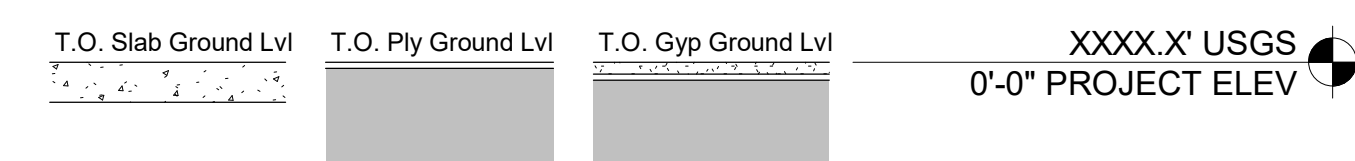
## DIMENSIONING LEGEND

- GRIDS ALIGN WITH OUTSIDE FACE OF FOUNDATION WALL AND OUTSIDE FACE OF STUD AT EXTERIOR STRUCTURAL FRAME WALL.
- WALLS AND PARTITIONS SHOWN IN PLAN INCLUDE FINISH MATERIALS.
- DIMENSIONS ARE SHOWN FROM GRID TO GRID, GRID TO FACE OF STUD, AND FACE OF STUD TO FACE OF STUD AT INTERIOR PARTITIONS, TYPICAL.
- INTERIOR PARTITIONS FLUSH FACE TO FACE WITH THEIR EXTERIOR COUNTERPARTS, TYPICAL.



## PROJECT DATUM LEGEND

ACTUAL ELEVATION ABOVE SEA LEVEL = PROJECT 0'-0"



GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:  
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE  
NATURAL GAS: BLACK HILLS ENERGY  
POWER: SAN MIGUEL POWER  
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

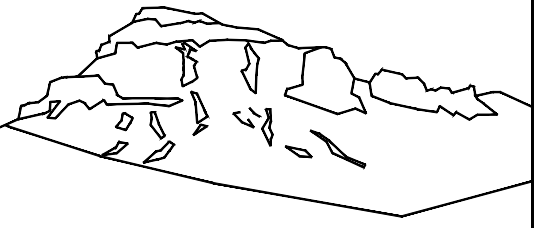
22. ALL DISTURBED GROUND SHALL BE RE-SEEDDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

HOA SUBMITTAL	2023-10-24
DRB SUBMITTAL	2023-11-29

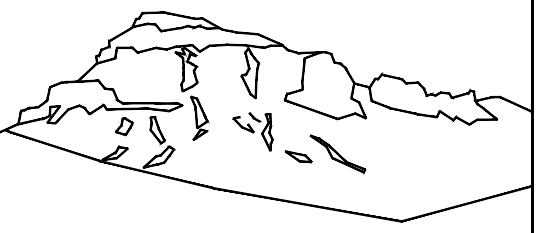
Lot 1  
Knoll Estates  
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



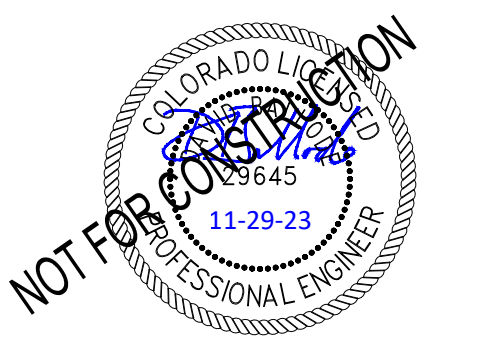
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SUBMISSIONS:

HOA SUBMITTAL 2023-10-24  
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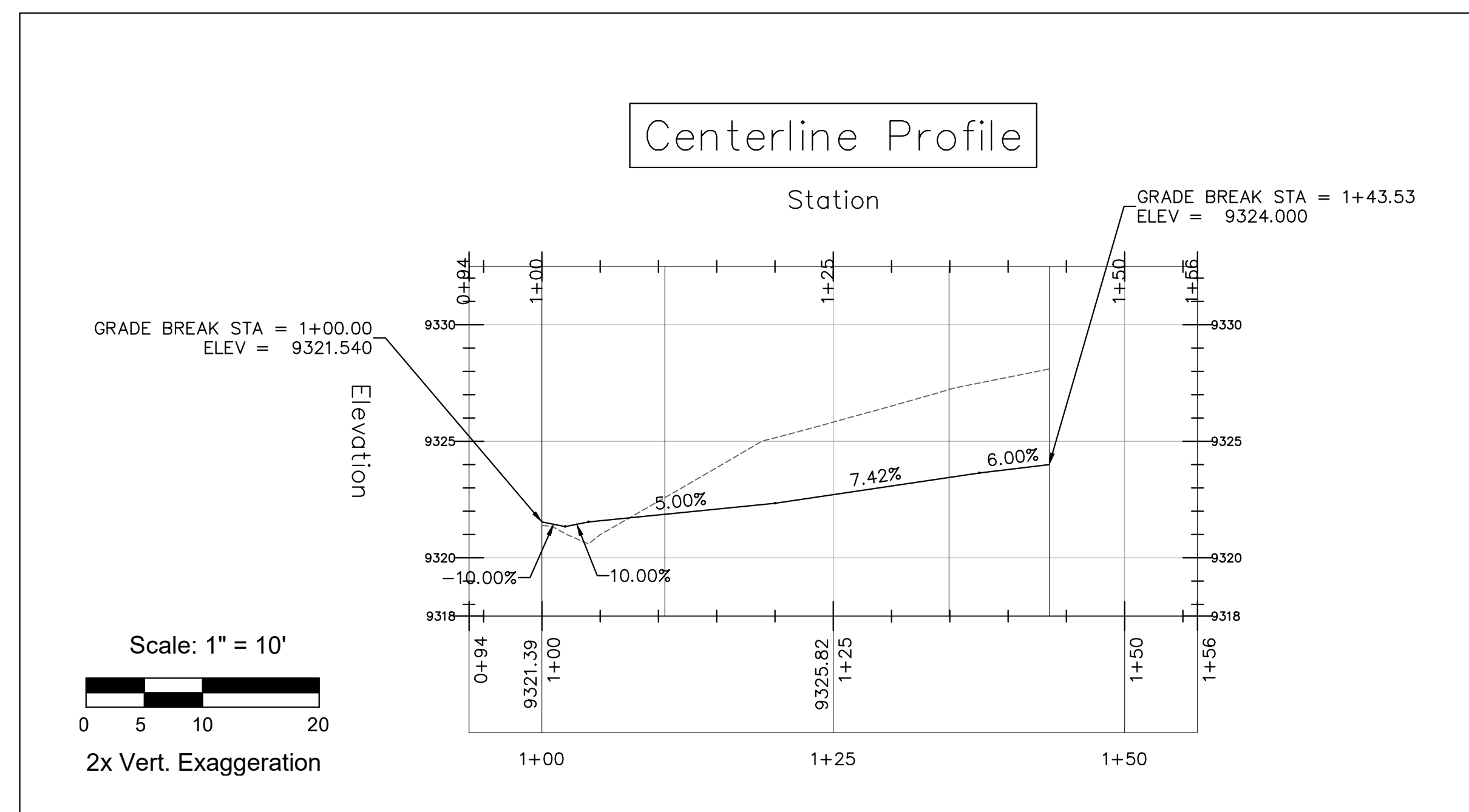
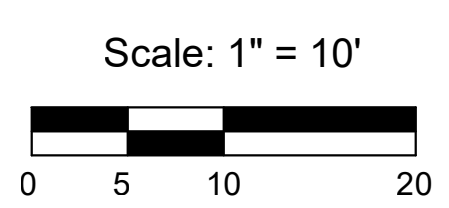
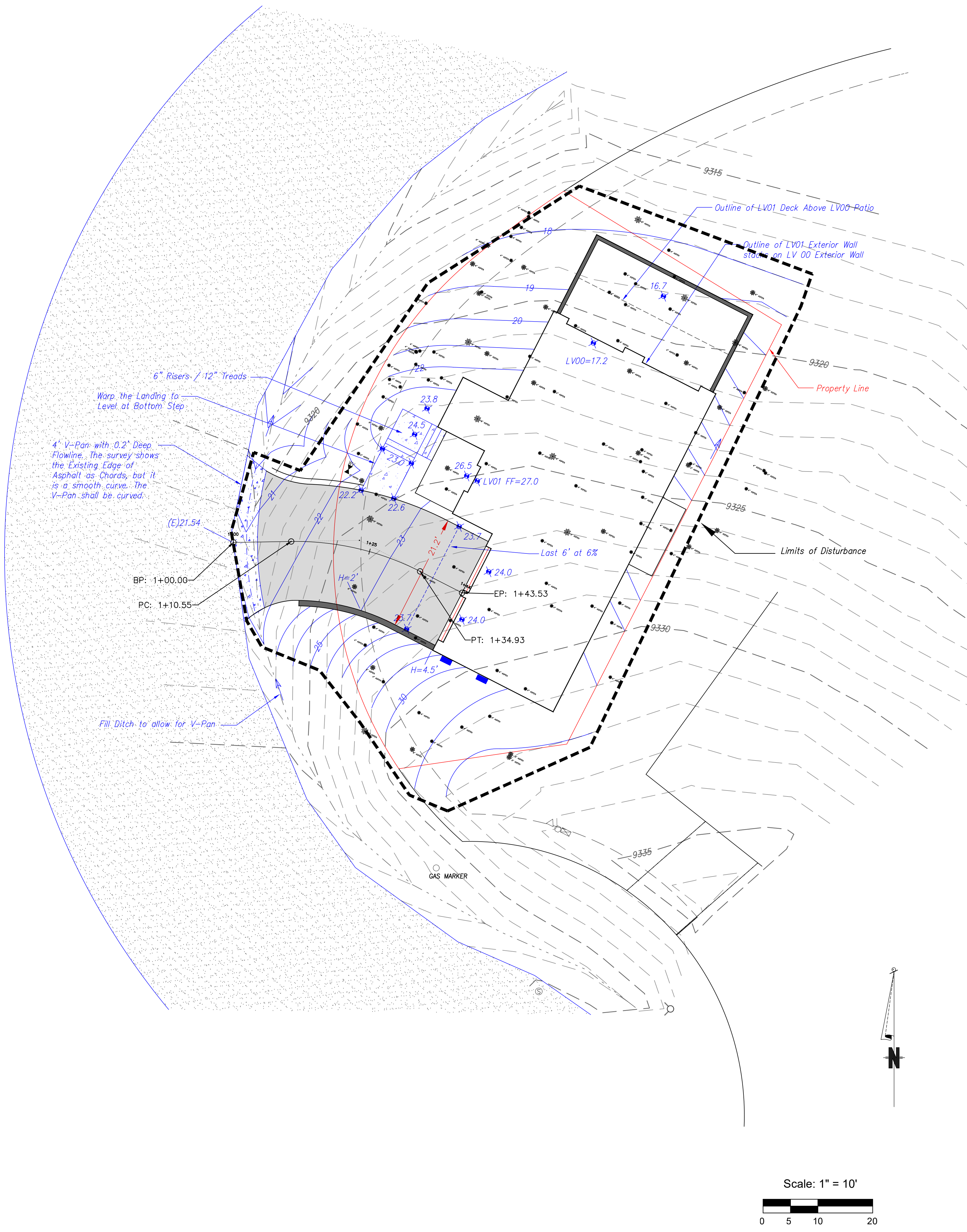
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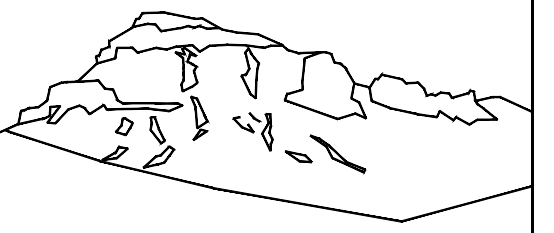


CONTRACTOR TO REVIEW AND COMPARE ALL  
CHAPTERS AND INTERDISCIPLINARY DRAWINGS  
AND REPORT ANY DISCREPANCIES TO THE  
ARCHITECT PRIOR TO ANY FIELD WORK BEING  
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site  
Grading

C2





Uncompahgre  
Engineering, LLC

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Telluride, CO 81435  
970-729-0683

**SUBMISSIONS:**

HOA SUBMITTAL 2023-10-24  
DRB SUBMITTAL 2023-11-29

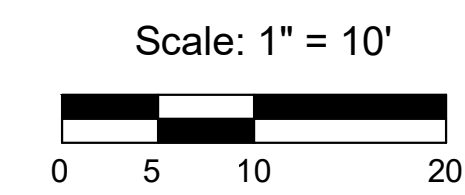
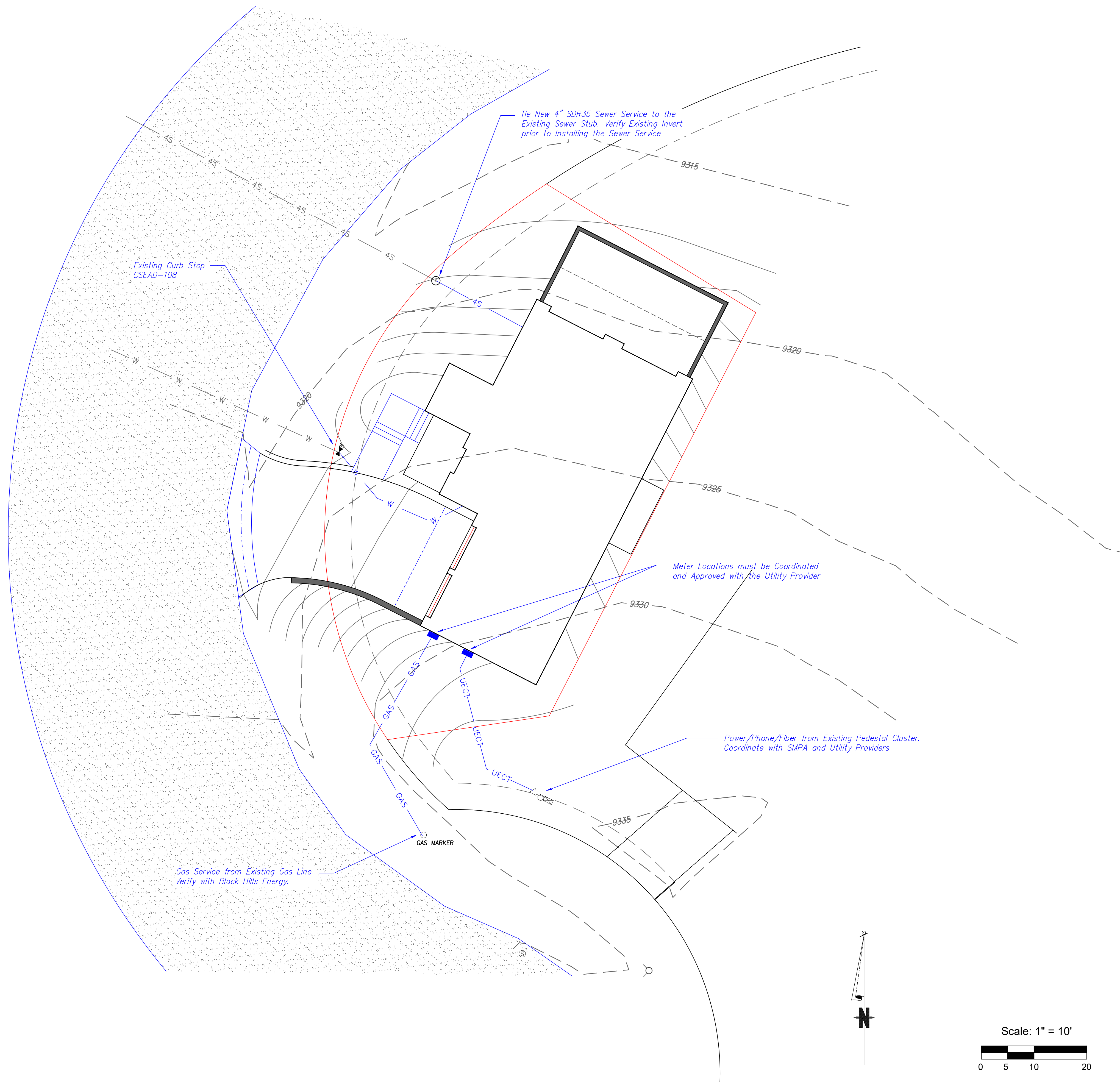
Lot 1  
Knoll Estates  
Mtn. Village, CO

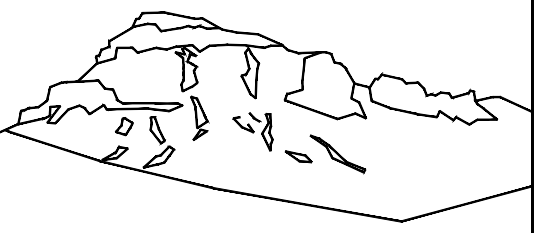


CONTRACTOR TO REVIEW AND COMPARE ALL  
CHAPTERS AND INTERDISCIPLINARY DRAWINGS  
AND REPORT ANY DISCREPANCIES TO THE  
ARCHITECT PRIOR TO ANY FIELD WORK BEING  
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3





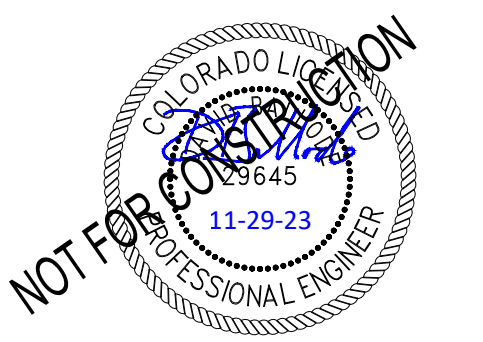
Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

HOA SUBMITTAL 2023-10-24  
DRB SUBMITTAL 2023-11-29

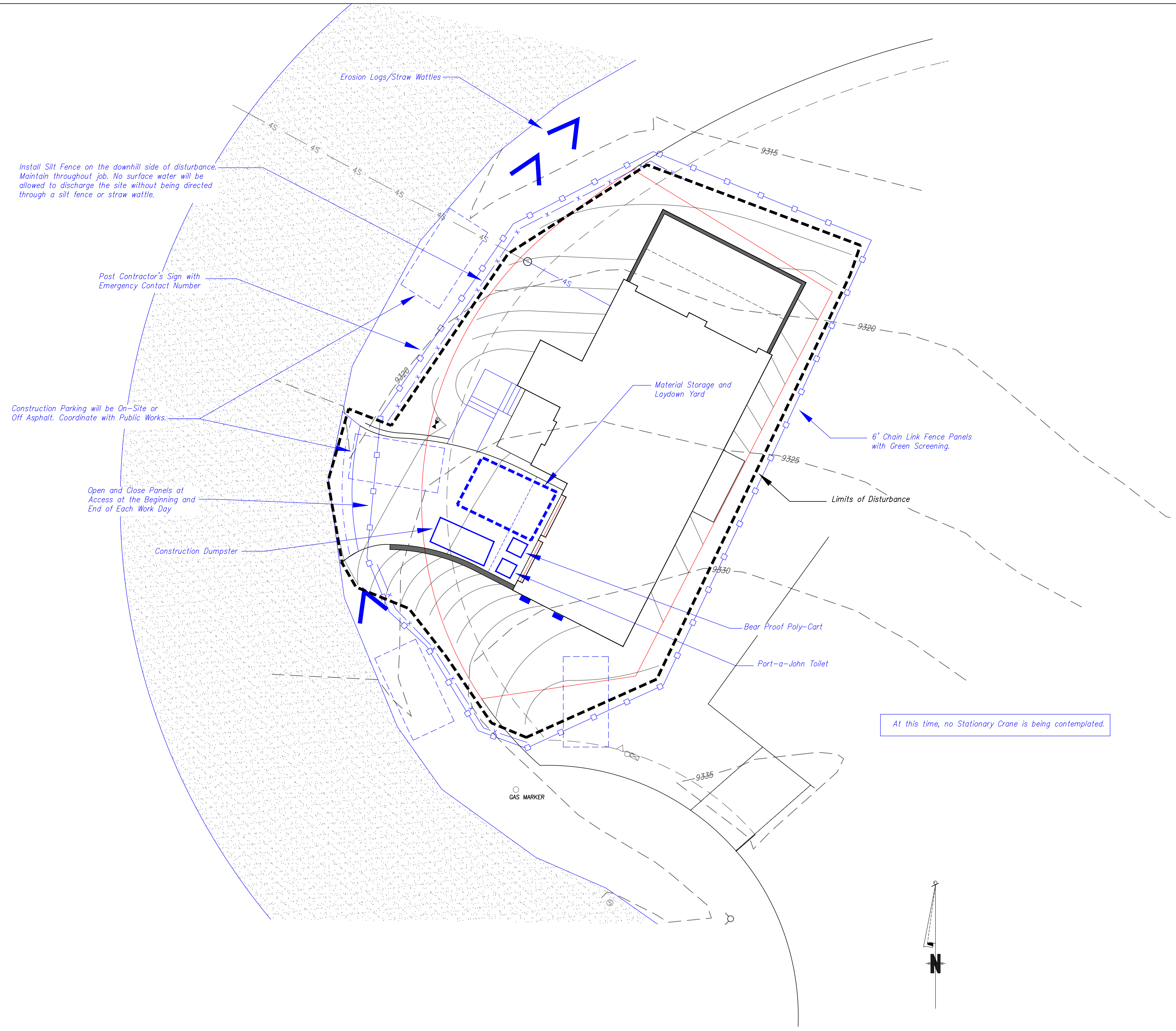
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Construction  
Mitigation

C4



Install Silt Fence on the downhill side of disturbance.  
Maintain throughout job. No surface water will be  
allowed to discharge the site without being directed  
through a silt fence or straw wattle.

Post Contractor's Sign with  
Emergency Contact Number

Construction Parking will be On-Site or  
Off Asphalt. Coordinate with Public Works.

Open and Close Panels at  
Access at the Beginning and  
End of Each Work Day

Construction Dumpster

Material Storage and  
Laydown Yard

6" Chain Link Fence Panels  
with Green Screening.

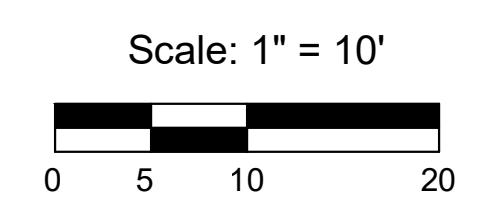
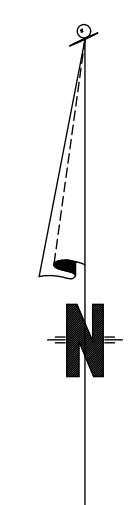
Limits of Disturbance

Bear Proof Poly-Cart

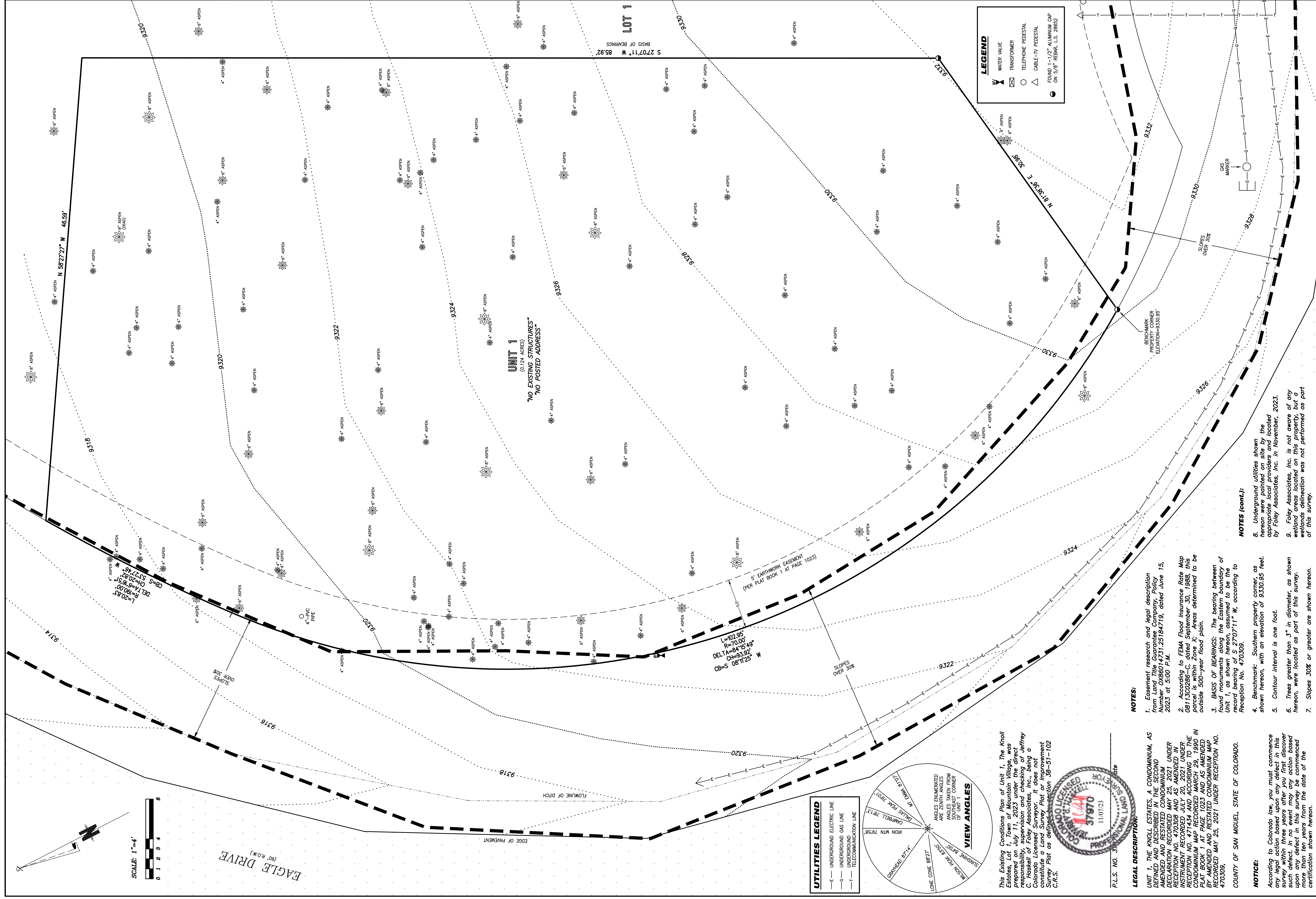
Port-a-John Toilet

At this time, no Stationary Crane is being contemplated.

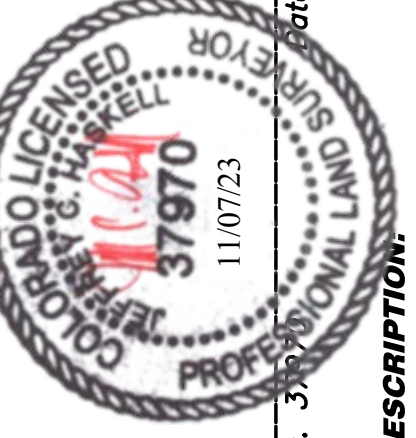
GAS MARKER



The Contractor may Modify this Plan, but the New Plan must be  
Coordinated and Approved by the Town of Mountain Village.



**LEGAL DESCRIPTION:**  
 UNIT 1, THE KNOLL ESTATES, A CONDOMINIUM, AS DEFINED AND DESCRIBED IN THE SUBDIVISION AND RESTATED CONDOMINIUM DECLARATION RECORDED MAY 25, 2021 UNDER INSTRUMENT NO. 470308 AND AS AMENDED IN INSTRUMENT NO. 471434 AND ACCORDING TO THE CONDOMINIUM MAP RECORDED MARCH 29, 1990 IN PLAT BOOK 1 AT PAGE 1023 AND AS AMENDED THEREIN AND RECORDED UNDER RECEPTION NO. 470309,  
 COUNTY OF SAN MIGUEL, STATE OF COLORADO.



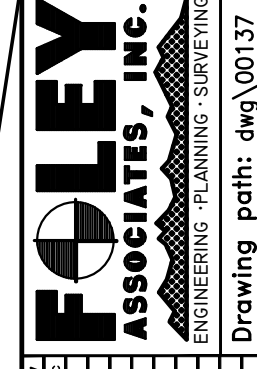
**NOTICE:**  
 According to Colorado law, you must commence any action to set aside or annul this survey within three months after our first discovery of any defect in no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown herein.

- NOTES:**
1. Easement, research and legal description from Land Title Guarantee Company, Policy Number OX86014731, 25184719, dated June 15, 2023 at 5:00 P.M.
  2. According to FEMA Flood Insurance Rate Map 0813C0288-C, dated September 30, 1988, this parcel is within Zone X; areas determined to be outside 500-year flood plain.
  3. **BASIS OF BEARINGS:** The bearing between found monuments along the Eastern boundary of Unit 1, as shown herein, assumed to be the record bearing of S 27°07'11" W, according to Reception No. 470309.
  4. Benchmark: Southern property corner, as shown herein, with an elevation of 9330.95 feet.
  5. Contour interval is one foot.
  6. Trees greater than 3" in diameter, as shown herein, were located as part of this survey.
  7. Slopes 30% or greater are shown herein.

- NOTES (cont.):**
8. Underground utilities shown herein were painted on site by the contractor and are not warranted by Foley Associates, Inc. in November, 2023.
  9. Foley Associates, Inc. is not aware of any wetland areas located on this property, but a wetlands delineation was not performed as part of this survey.

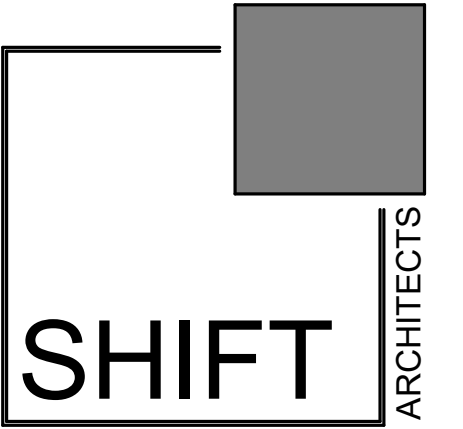
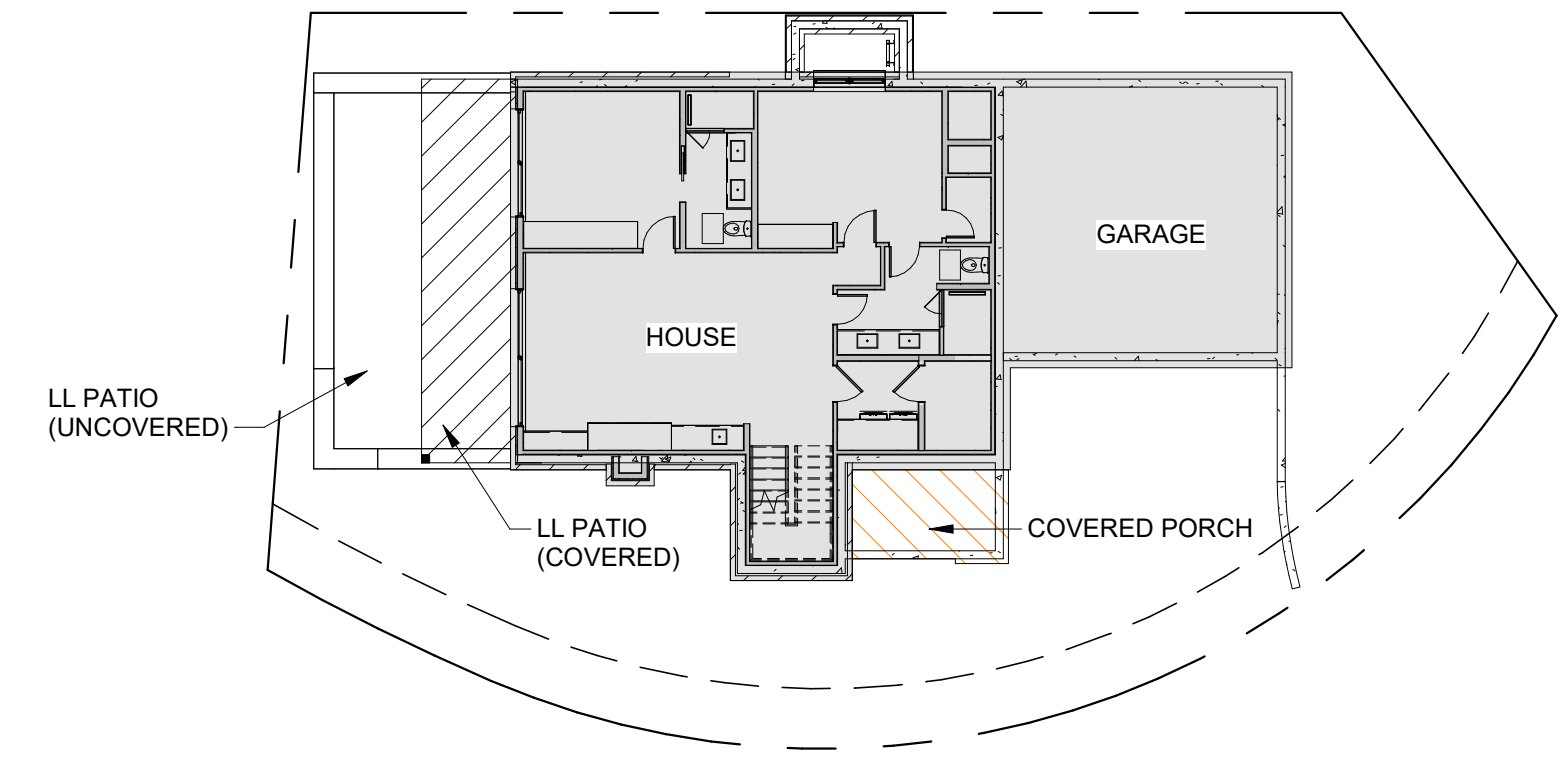
**EXISTING CONDITIONS PLAN**  
 Unit 1, The Knoll Estates, Lot 1, Town of Mountain Village,  
 San Miguel County, Colorado.

Project Mgr.: JH  
 Technician: MC  
 Checked by:  
 Start date: 02/10/2016



970-728-6153 970-728-6050 Fax  
 125 W. PACIFIC, SUITE B-1  
 TELLURIDE, COLORADO 81435  
 Drawing path: c:\p\00137 Unit 1 1090 02-16.dwg Sheet 1 of 1 Project #: 00137

BUILDING FOOTPRINT:	
HOUSE / GARAGE	2,061 SF
COVERED PATIO	237 SF
COVERED FRONT PORCH	198 SF
<b>TOTAL:</b>	<b>2,396 SF</b>
CALCULATIONS BASED ON FACE OF EXTERIOR FINISH TYP.	

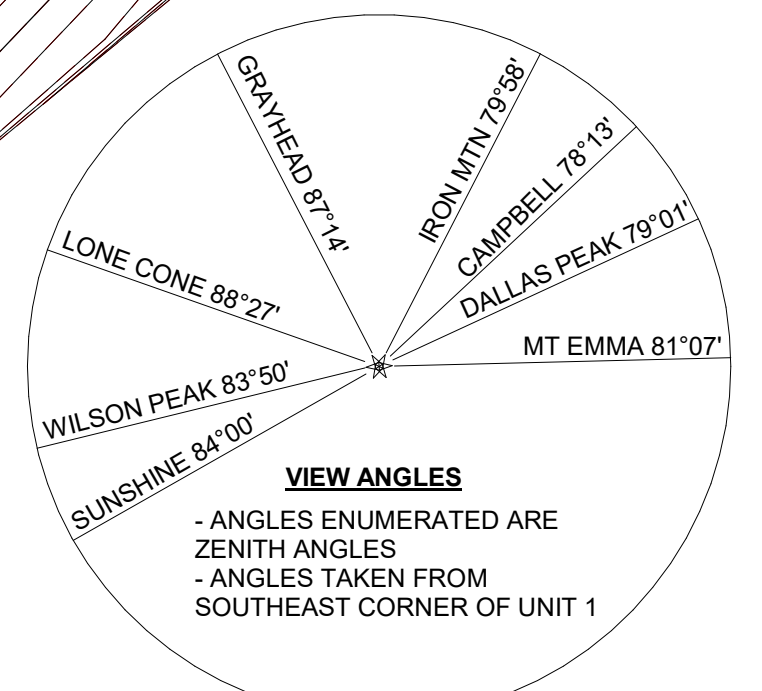
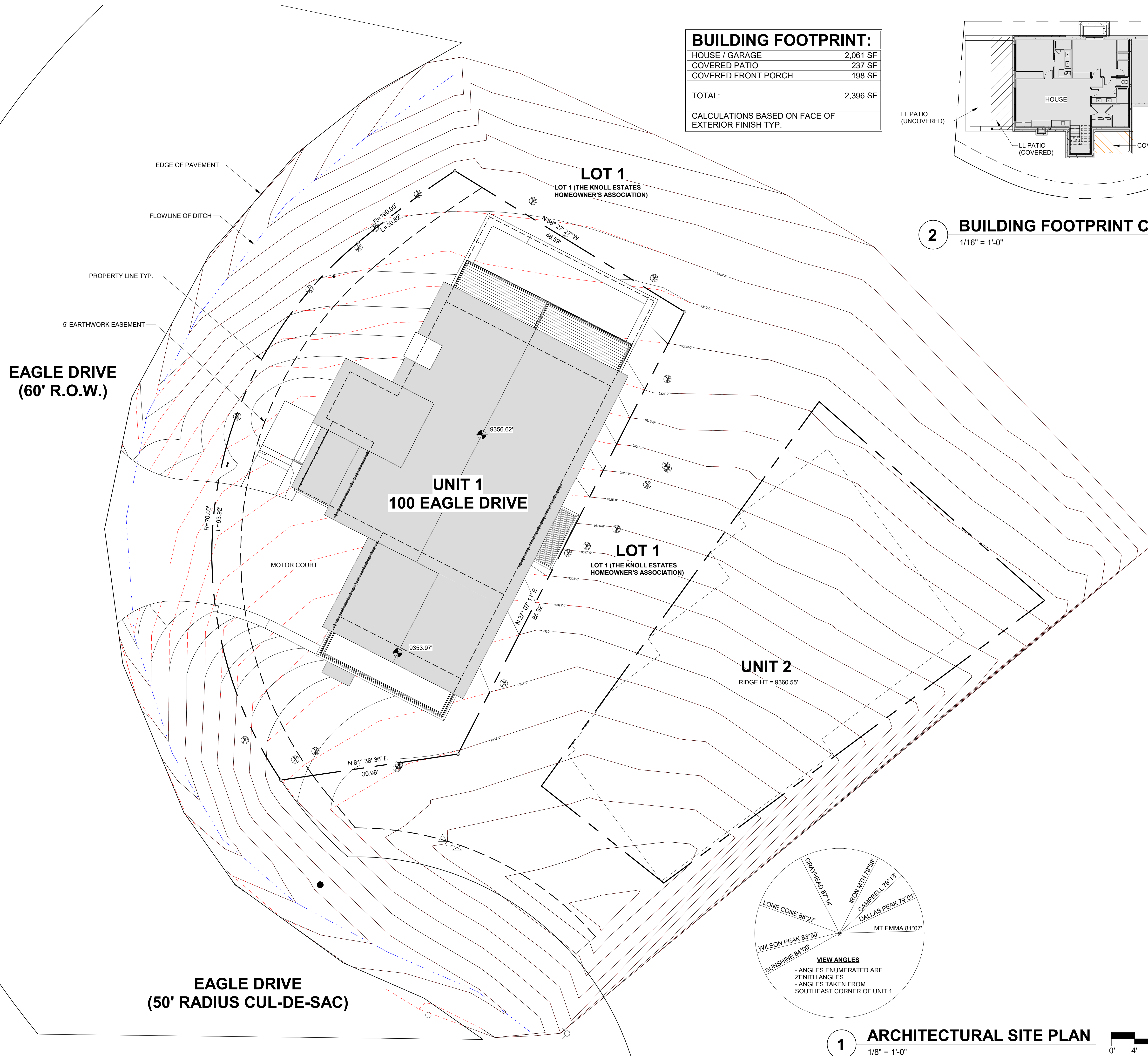


P.O. Box 3206  
100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
www.shift-architects.com

PROJECT ISSUE DATE:  
12.05.23 DRB PRELIMINARY  
SUBMITTAL

REVISIONS  
NO. DATE DESC.

**2 BUILDING FOOTPRINT CALCULATION**  
1/16" = 1'-0"



**1 ARCHITECTURAL SITE PLAN**  
1/8" = 1'-0"



**KNOLL ESTATES UNIT 1**

100 EAGLE DRIVE, MOUNTAIN VILLAGE, CO 81435  
UNIT 1, THE KNOLL ESTATES LOT 1, TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 AND 24 NKA TOWN OF MTN VILLAGE  
REC 10.6.95 BK 1 PG 1918

ARCHITECTURAL  
SITE PLAN

SHEET NUMBER

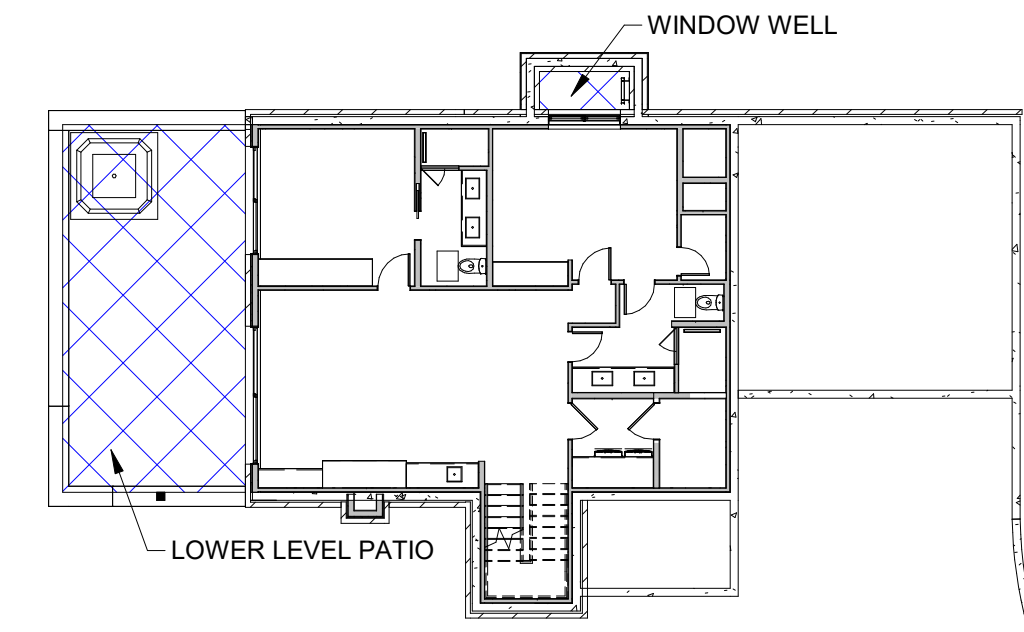
**A1.1**

NOT FOR CONSTRUCTION

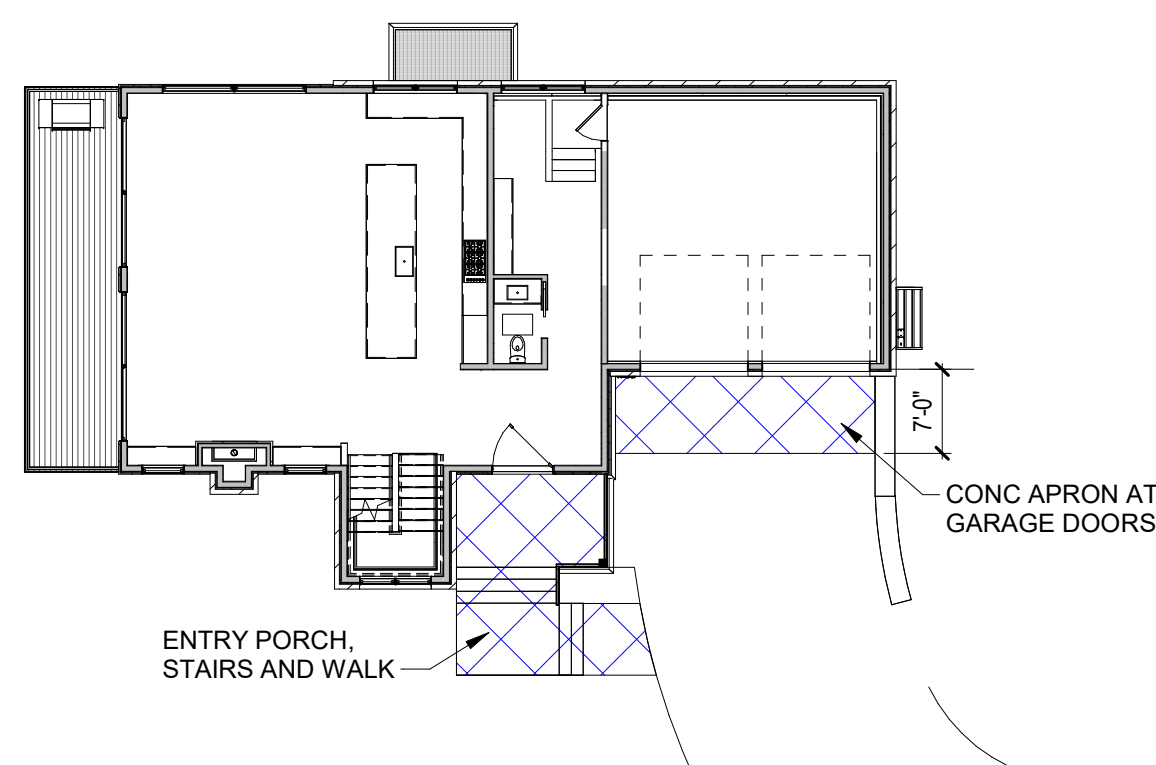
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12/5/2023 11:42:07 AM

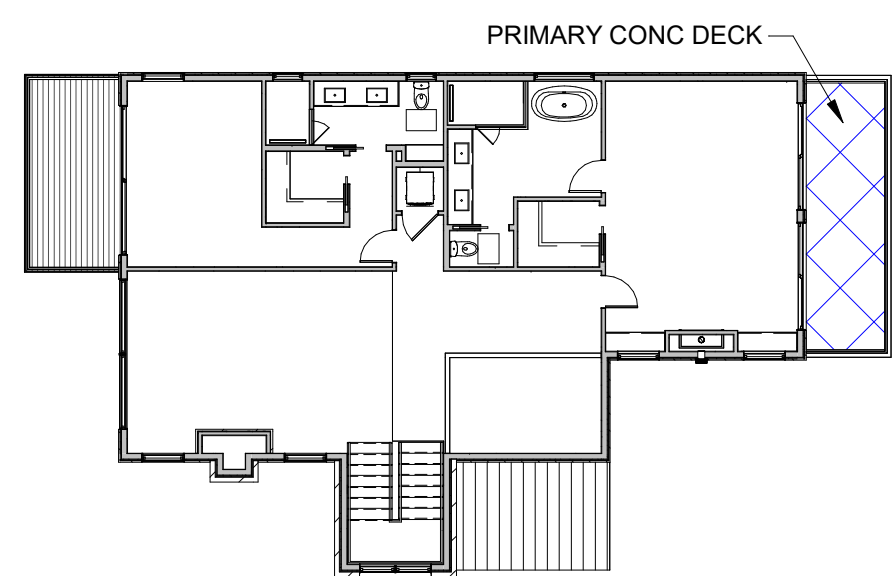
SNOW MELT	
	SNOW MELT AREAS
PROPOSED AREAS:	
LOWER LEVEL CONCRETE PATIO	468 SF
WINDOW WELL	24 SF
ENTRY PORCH / STAIRS / WALK	219 SF
CONCRETE APRON AT GARAGE DOOR	139 SF
PRIMARY CONC DECK	147 SF
TOTAL:	997 SF



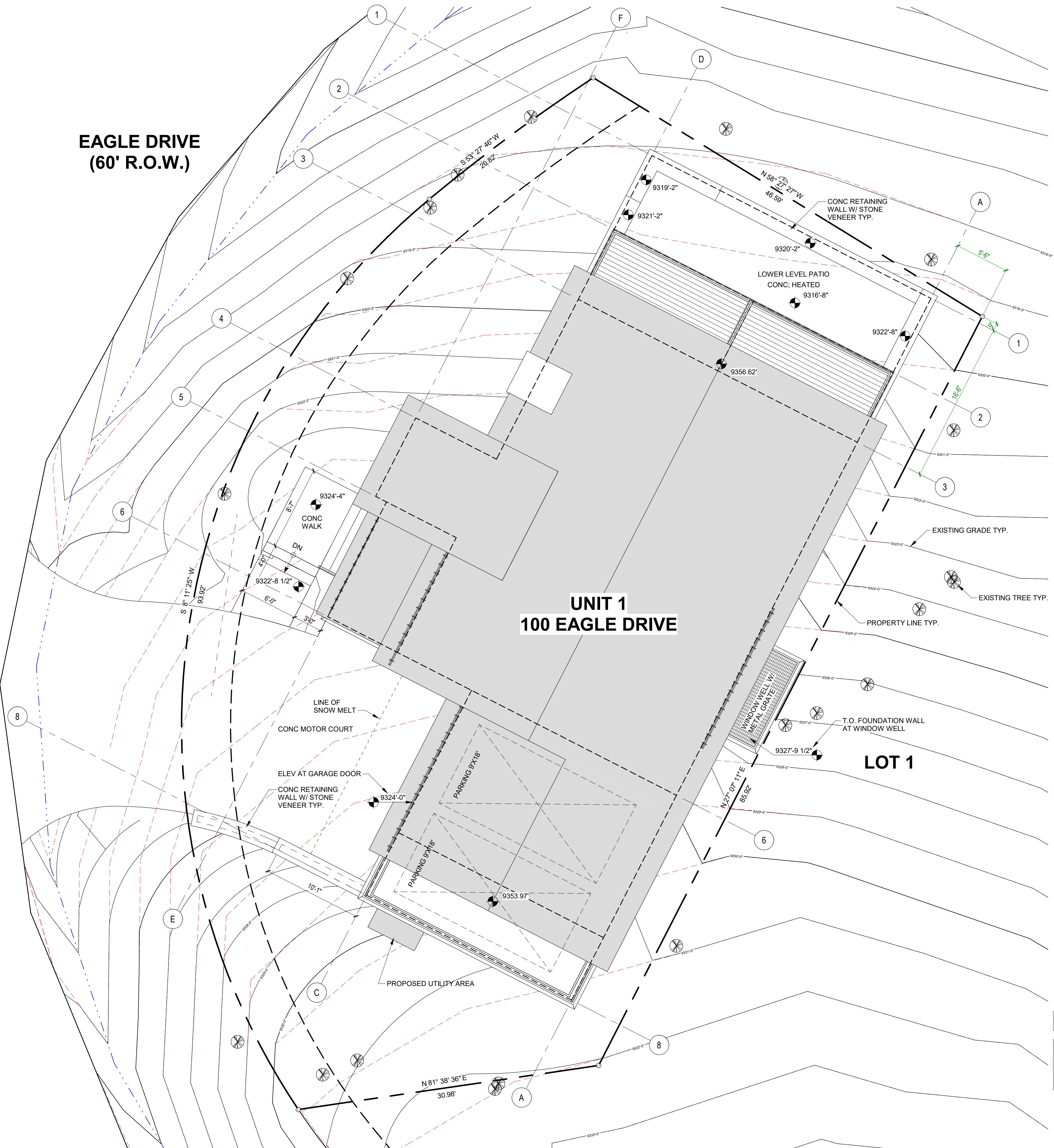
**2 LOWER LEVEL SNOW MELT**  
1/16" = 1'-0"



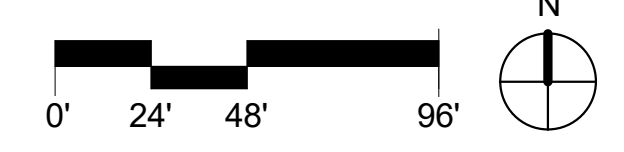
**3 GROUND LEVEL SNOW MELT**  
1/16" = 1'-0"



**4 UPPER LEVEL SNOW MELT**  
1/16" = 1'-0"



**1 ARCHITECTURAL SITE PLAN**  
3/16" = 1'-0"



PROPOSED PARKING:  
(2) ENCLOSED

FLOOR ELEVATIONS:  
T.O. SLAB @ LOWER LEVEL = 9317'-2"  
T.O. GYP @ GROUND LEVEL = 9327'-0"  
T.O. GYP @ UPPER LEVEL = 9336'-10"  
MOTOR COURT @ GARAGE DOOR = 9324'-0"

EAGLE DRIVE  
(50' RADIUS CLU-DE-SAC)

UNIT 1  
100 EAGLE DRIVE

LOT 1



### FIRE MITIGATION LEGEND

**ZONE 1 - REMOVE ALL SHRUBS, TREES, SLASH AND FLAMMABLE VEGETATION**

**ZONE 2 - 10' CROWN TO CROWN SEPARATION, PRUNE BRANCHES TO A HEIGHT OF 10' FROM GROUND**

**ZONE 3 - REMOVE ALL DISEASED, DEAD OR DYING TREES**

- ALL DEVELOPMENT SHALL COMPLY WITH CDC 17.6.1 ENVIRONMENTAL REGULATIONS. ADDITIONAL TREE CLEARING WILL BE DONE PER FIRE MITIGATION REQUIREMENTS.
- CONSISTANT WITH 2018 IRC SECTION R101.4.1 APPENDAGES AND PROJECTIONS: UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.
- CONTRACTOR TO SET UP A MEETING WITH TOWN FORESTER ON ZONE 2 REQUIREMENTS PRIOR TO PERMIT.

EXISTING DECIDUOUS TREE

EXISTING DECIDUOUS TREE TO BE REMOVED

EXISTING EVERGREEN TREE

EXISTING EVERGREEN TREE TO BE REMOVED

### PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY
POPULUS TREMULOIDES	QUAKING ASPEN	3" CAL. DBH	9 EA
PRUNUS VIRGINIANA MELANOCARPA	NATIVE CHOKECHERRY SHRUB	5 GAL.	8 EA
PERENNIAL BEDDING A			17 SF

### TREE PLANTING NOTES

- TREE PLANTING SHALL ADHERE TO CDC: 17.5.9.C.7.
- IRRIGATED LAWN AREAS SHOULD BE AERATED TWO (2) TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATES AND PROVIDE A HEALTHY LAWN. ORGANICS, FERTILIZATION AND AMENDMENT INCORPORATION AT SAME TIME ARE ENCOURAGED.
- TREES AND SHRUBS SHALL BE MULCHED UPON INITIAL PLANTING AND AS NEEDED TO REDUCE WATER EVAPORATION.
- TREES AND SHRUB HOLES SHALL BE DUG SIX INCHES (6") DEEPER THAN THE ROOT BALL SIZE TO FACILITATE THE PLACEMENT OF APPROPRIATE MULCH MATERIAL AND FACILITATE GROWTH.
- TREES SHALL BE STAKED AND HELD IN PLACE BY WEBBING AND WIRE TO ENSURE SUCCESSFUL ROOT ESTABLISHMENT FOR A PERIOD OF TWO (2) FULL GROWING SEASONS.
- BURLAP AND WIRE SHALL BE REMOVED FROM THE ROOT BALL PRIOR TO PLANTING. IF ALL OF THE WIRE CANNOT BE REMOVED DUE TO THE SIZE OF THE TREE, THEN TWO-THIRDS OF THE WIRE SHALL BE REMOVED FROM THE UPPER PORTION OF THE ROOT BALL.

### TREE PROTECTION / REMOVAL NOTES

- TREE PROTECTION FENCING IS REQUIRED BY THE CDC TO BE INSTALLED AT OR BEYOND THE CROWN DRIPLINE OF EACH TREE THAT WILL REMAIN (TREE PROTECTION ZONE) IN ACCORDANCE WITH CDC: 17.6.1.A.4.f.
- TREE PROTECTION FENCING MUST BE INSTALLED AND APPROVED BY THE TOWN FORESTER BEFORE EXCAVATION MAY BEGIN.
- THE TOWN FORESTER MUST BE CONTACTED BEFORE EXCAVATION BEGINS TO MARK OR APPROVE THE TREES TO BE REMOVED AND TO APPROVE THE PLACEMENT OF THE TREE PROTECTION FENCING. A TREE REMOVAL PERMIT MUST BE OBTAINED FROM THE TOWN FORESTER BEFORE TREE REMOVAL OPERATIONS MAY BEGIN.
- NO BACKFILL, STORAGE, OR STAGING IS PERMITTED INSIDE THE TREE PROTECTION AREA INSIDE THE TREE PROTECTION FENCING.

### TREE REMOVAL SCHEDULE

TYPE	COMMON NAME	SIZE	QTY
A04	QUAKING ASPEN	4"	67 EA
A06	QUAKING ASPEN	6"	16 EA
A08	QUAKING ASPEN	8"	6 EA

### LEGEND

CONCRETE PAVERS

WILDFIRE MITIGATION BOUNDARY

LIMIT OF DISTURBANCE

PERIMETER FENCING W/ ATTACHED GREEN SCREENING

TREE PROTECTION FENCING

REVEGETATED AREA W/ IRRIGATION

REVEGETATE W/ NATIVE GRASS

DISTURBED AREAS

PERENNIAL BEDDING: PROVIDE LAVA ROCK MULCH

FLAGSTONE

STONE PAVER

**NOTE:**  
PROVIDE TREE PROTECTION FENCING AS REQUIRED BY THE CDC.

NEW DECIDUOUS SHRUB

EXISTING DECIDUOUS TREE

EXISTING DECIDUOUS TREE TO BE REMOVED

NEW DECIDUOUS TREE

EXISTING EVERGREEN TREE

EXISTING EVERGREEN TREE TO BE REMOVED

NEW EVERGREEN TREE

### GENERAL NOTES:

- ALL TREES AND SHRUBS TO BE LOCATED BY PROJECT ARCHITECT / OWNER.
- ALL TREES AND SHRUBS SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
- NECESSARY TREES SHALL BE STAKED WITH 4" METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
- PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
- SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
- MULCH ALL PERENNIAL BEDS WITH LAVA ROCK.
- ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- LANDSCAPING AND TREE REMOVAL SHALL BE IN ACCORDANCE WITH CDC 17.5.9 LANDSCAPING REGULATIONS AND CDC 17.6.1 ENVIRONMENTAL REGULATIONS.

#### NOXIOUS WEEDS:

- ALL PLANTED MATERIALS INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED IN THE NOXIOUS WEED CDC TABLE 5-5 OR SUBSEQUENTLY DESIGNATED AS A NOXIOUS WEED BY THE STATE OF COLORADO, OR THE TOWN.

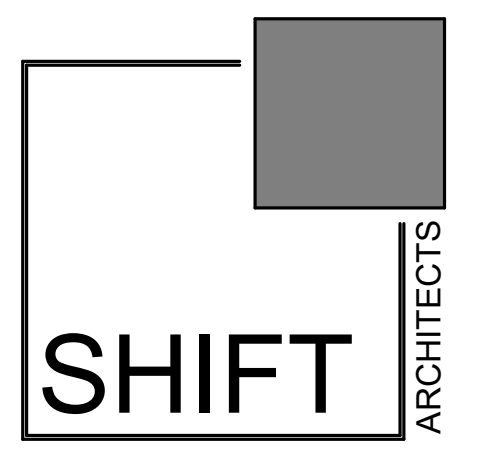
#### LANDSCAPE MAINTENANCE NOTES:

- TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
- NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.
- ALL SHRUBS IN SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.
- IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

### REVEGETATION NOTES:

- SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
- TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REEMITTED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
- BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
- AREAS WHICH HAVE BEEN COMPACTED OR ARE RELATIVELY UNDISTURBED NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
- BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW. CRIMP IN.
- ON SLOPES GREATER THAN 2:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
- ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
- SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREEPING RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%



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kristine@shift-architects.com  
www.shift-architects.com

PROJECT ISSUE DATE:  
12.05.23 DRB PRELIMINARY  
SUBMITTAL

REVISIONS

NO. DATE DESC.

KNOLL ESTATES UNIT 1

100 EAGLE DRIVE, MOUNTAIN VILLAGE, CO 81435  
UNIT 1 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 AND 24 NKA TOWN OF MTN VILLAGE  
REC 10.6.95 BK 1 PG 1918

LANDSCAPE PLAN  
NOTES / LEGENDS

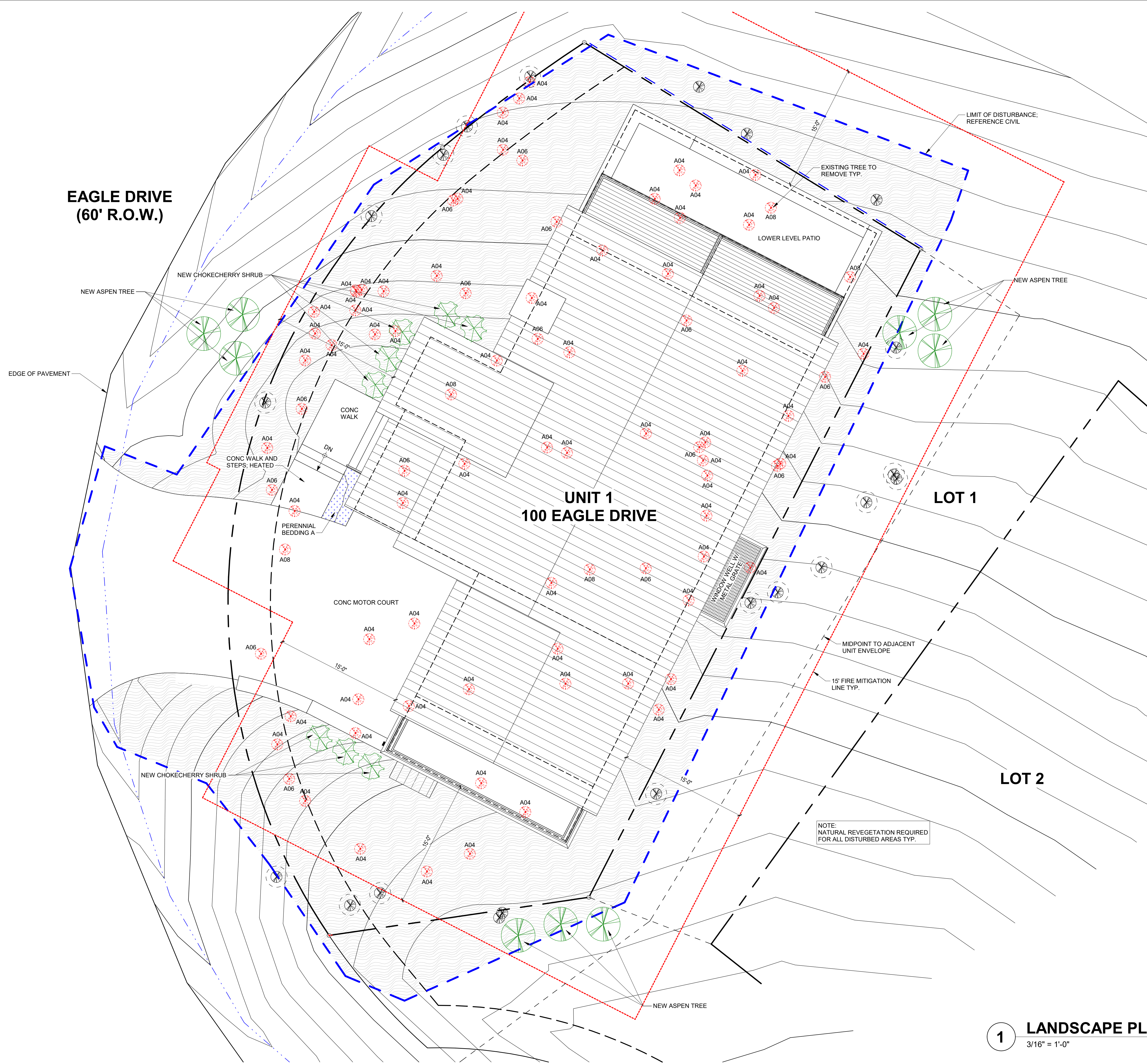
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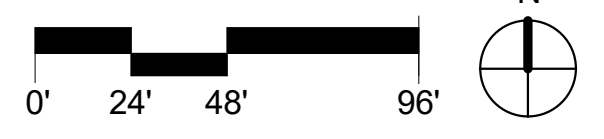
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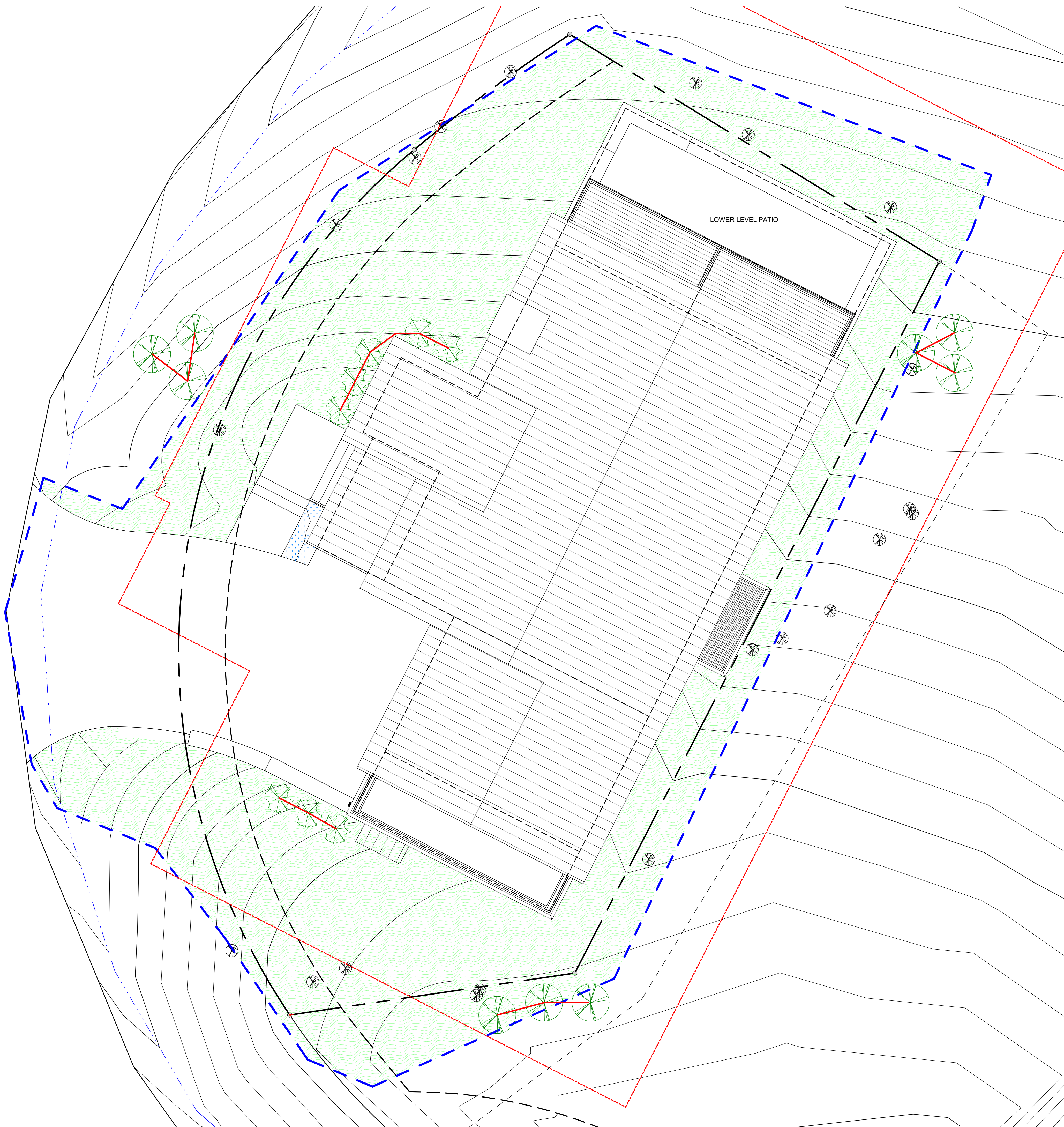
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**1 LANDSCAPE PLAN**  
 3/16" = 1'-0"



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### LEGEND

	CONCRETE PAVERS		NEW DECIDUOUS SHRUB
	WILDFIRE MITIGATION BOUNDARY		EXISTING DECIDUOUS TREE
	LIMIT OF DISTURBANCE		EXISTING DECIDUOUS TREE TO BE REMOVED
	PERIMETER FENCING W/ ATTACHED GREEN SCREENING		NEW DECIDUOUS TREE
	TREE PROTECTION FENCING		EXISTING EVERGREEN TREE TO BE REMOVED
	REVEGETATED AREA W/ IRRIGATION		NEW EVERGREEN TREE
	REVEGETATE W/ NATIVE GRASS		
	DISTURBED AREAS		
	PERENNIAL BEDDING: PROVIDE LAVA ROCK MULCH		
	FLAGSTONE		
	STONE PAVER		

**NOTE:**  
PROVIDE TREE PROTECTION FENCING AS REQUIRED BY THE CDC.

- ### IRRIGATION NOTES
1. PROVIDE IRRIGATION SYSTEM IN ACCORDANCE WITH CDC REQUIREMENTS (17.5.9 LANDSCAPING REGULATIONS, TABLE 5-3 IRRIGATION SYSTEM DESIGN) AND THE TOWN OF MOUNTAIN VILLAGE WATER AND SEWER REGULATIONS.
  2. IRRIGATION CONTROL EQUIPMENT SHALL INCLUDE AN AUTOMATIC IRRIGATION CONTROLLER HAVING PROGRAM FLEXIBILITY SUCH AS REPEAT CYCLES AND MULTIPLE PROGRAM CAPABILITIES. AUTOMATIC IRRIGATION CONTROLLERS SHALL HAVE BATTERY BACKUP TO RETAIN THE IRRIGATION PROGRAMS.
  3. TREES AND SHRUBS SHALL BE DRIP IRRIGATION.
  4. PERENNIAL BEDS SHALL BE SPRAY HEADS. USE SOAKER HOSE, LOW VOLUME MIST AND/OR EMITTERS EQUIPPED WITH ADJUSTABLE NOZZLES TO LIMIT OVER/UNDER WATERING WITHIN A SPECIFIC ZONE.
  5. TURF GRASS SHALL BE SPRAY HEADS.
  6. ALL AREAS TO BE REVEGETATED WITH NATIVE GRASS SEED MIX MAY BE IRRIGATED UNTIL THE GRASS IS ESTABLISHED, BUT NO MORE THAN ONE (1) FULL GROWING SEASON WITH ANY SUCH EXTRA IRRIGATION INSTALLED ON A SEPARATE ZONE THAT WILL BE PERMANENTLY SHUT OFF AFTER SUCCESSFUL REVEGETATION.

### IRRIGATION SCHEDULE

ZONE	LOCATION	HEAD	GPM
1	ASPEN TREES	DRIP EMITTERS	-
1	EVERGREEN TREES	DRIP EMITTERS	-
2	SHRUBS	DRIP EMITTERS	-
3	PERENNIALS	1806 POP UPS	-
4	REVEGETATION AREAS	ROTORS	24

### WATER USAGE CHART

TYPE	MONTHLY USE	TOTAL #	TOTAL MONTHLY USAGE
REVEGETATION	2 GAL / S.F.	2,945	5,890 (FIRST SEASON)
PERENNIALS	2.5 GAL / S.F.	17 SF	42.5
ASPENS	10 GAL / EA	9	90
NATIVE SHRUBS	2 GAL / EA	8	16
<b>COMPLETE MONTHLY USAGE (FOR ESTABLISHMENT)</b>			<b>6,038.5 GAL</b>
<b>(POST ESTABLISHMENT)</b>			<b>148.5 GAL</b>

- ### IRRIGATION LEGEND
- TAP WITH RAINBIRD PVB-075 BACKFLOW PREVENTER
  - RAINBIRD RCM-12 ELECTROMECHANICAL CONTROLLER
  - 1.5" WILKINS MODEL 500 PRESSURE REGULATOR
  - RAINBIRD 150-PEB 1.5" ELECTRIC REMOTE CONTROL VALVE
  - CLASS 200 PVC MAINLINE 1 1/2"
  - 1:80 NSF POLYLATERAL LINE
  - WATER SENSOR BY RAINBIRD

**1 LANDSCAPE PLAN**  
3/16" = 1'-0"

**SHIFT ARCHITECTS**

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IRRIGATION PLAN

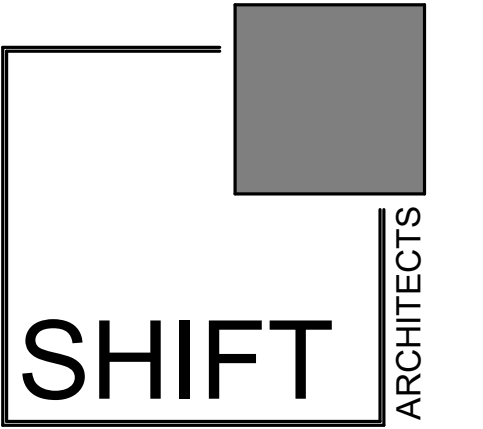
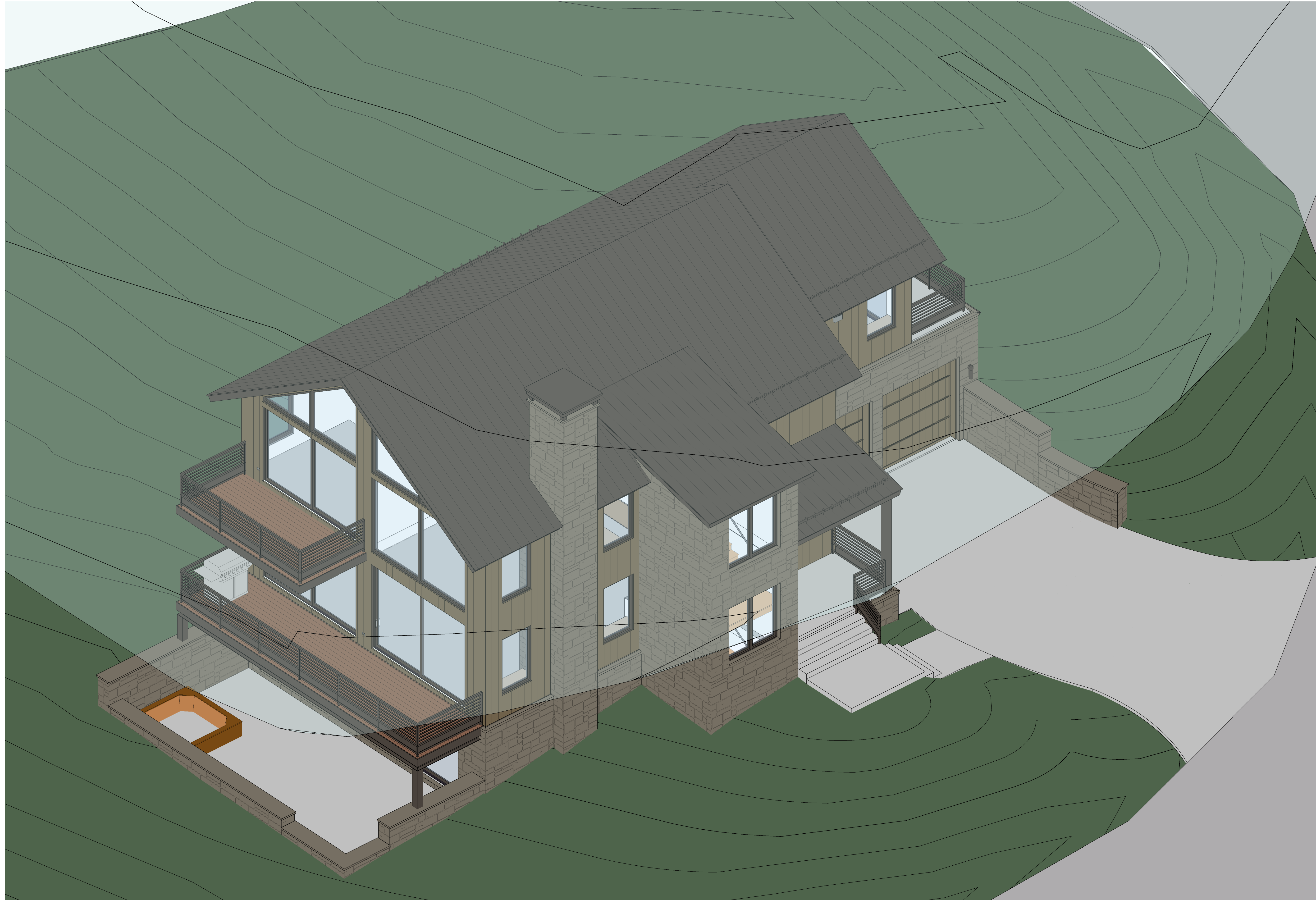
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**A1.5**

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 www.shift-architects.com

PROJECT ISSUE DATE:  
 12.05.23 DRB PRELIMINARY  
 SUBMITTAL

REVISIONS  
 NO. DATE DESC.

**KNOLL ESTATES UNIT 1**

100 EAGLE DRIVE, MOUNTAIN VILLAGE, CO 81435  
 UNIT 1, THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 AND 24 NKA TOWN OF MTN VILLAGE  
 REC 10.6.95 BK 1 PG 1918

SITE 40' PARALLEL  
 OFFSET

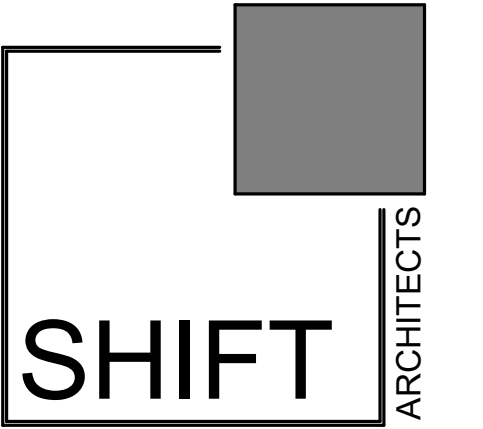
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**A2.1**

**1 SITE - 40' PARALLEL OFFSET**

12/5/2023 11:45:54 AM

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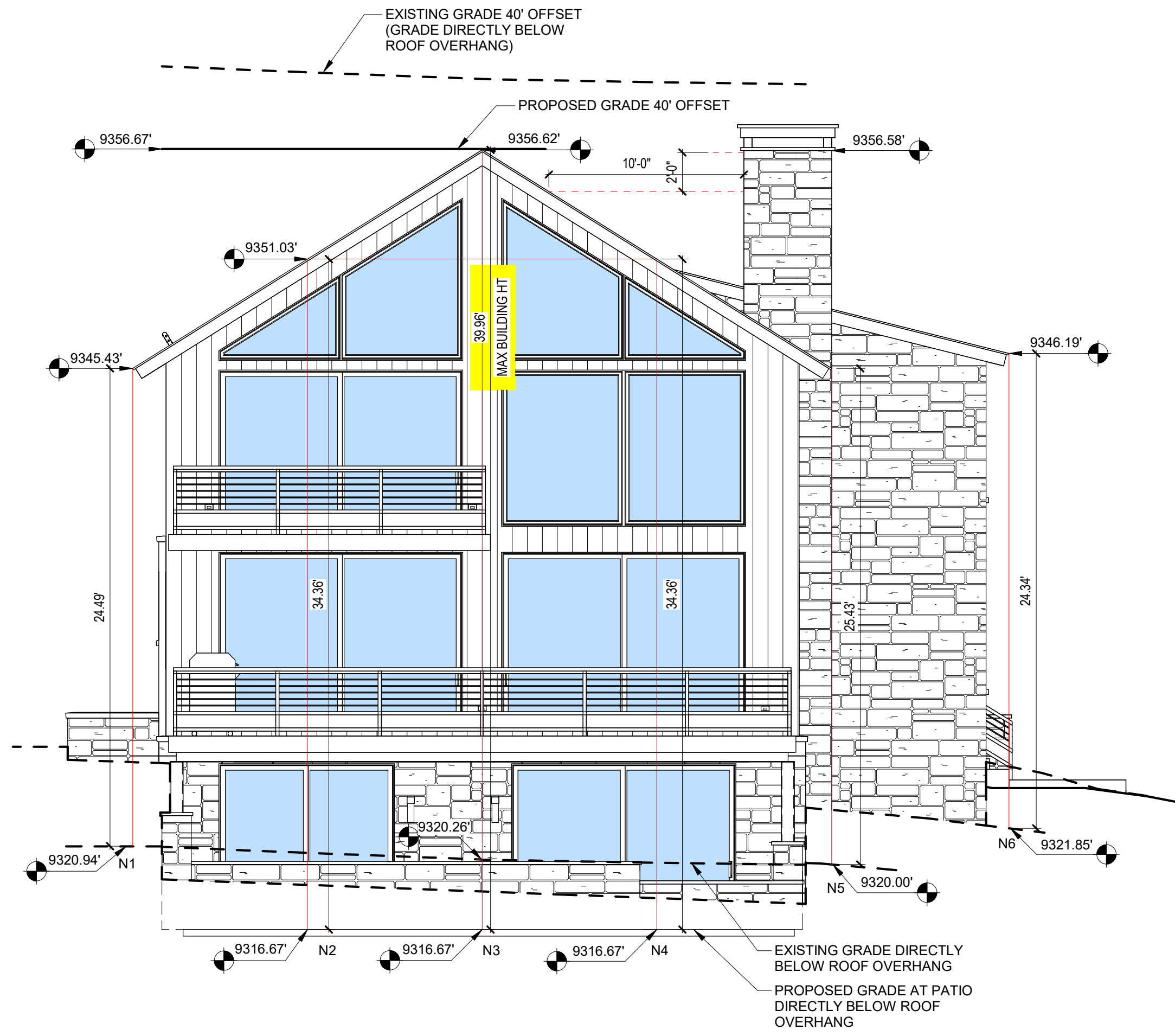
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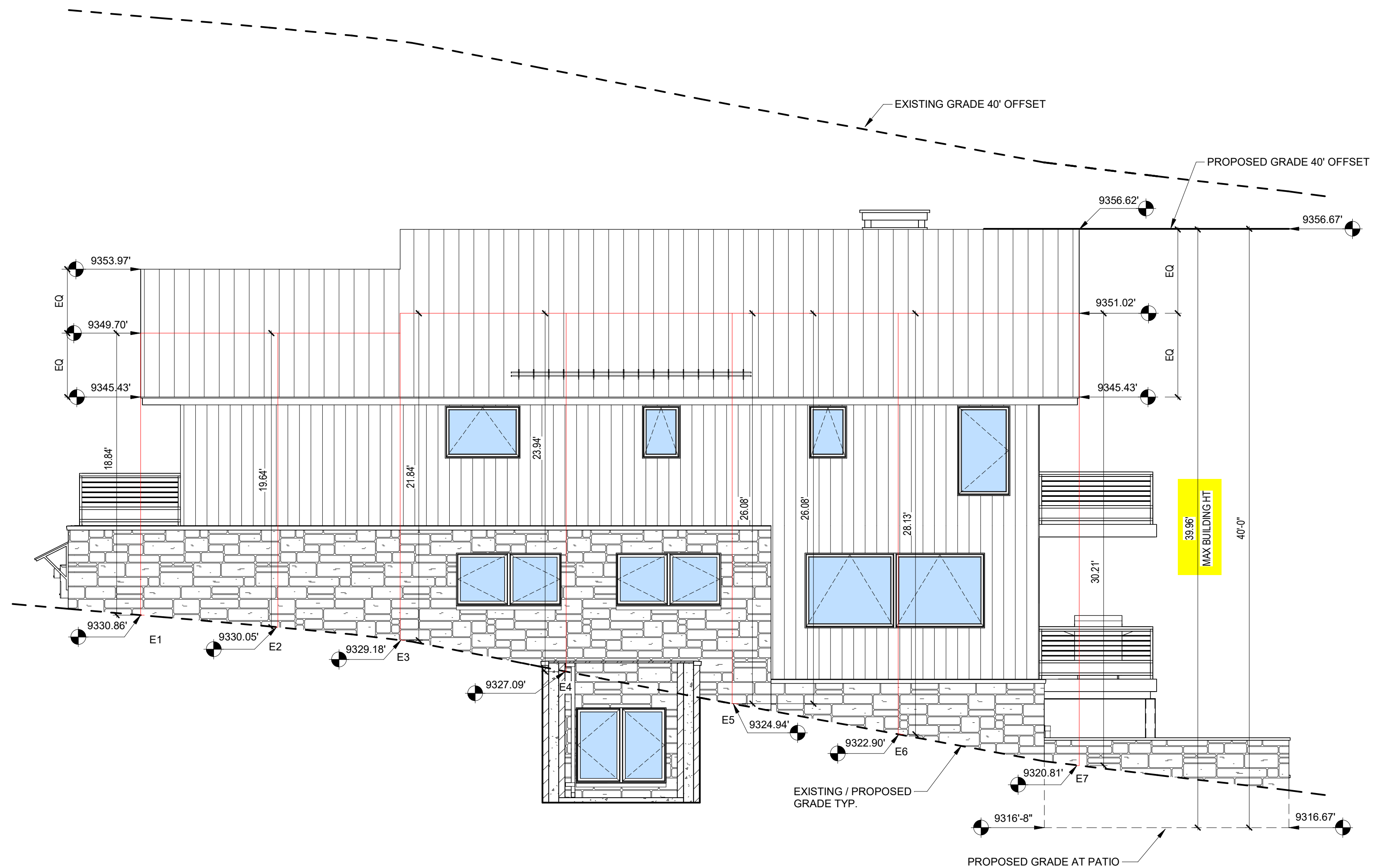
REVISIONS  
 NO. DATE DESC.

MAX BUILDING HT :	
HIGHEST POINT RELATIVE TO GRADE:	
LOCATION: N3	39.96'
MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9356.62'
MOST RESTRICTIVE GRADE BELOW	9316.67'

AVG ROOF HT :			
NORTH ELEVATION		SOUTH AT ENTRY PORCH	
N1	24.49'	SE1	21.43'
N2	34.36'	SE2	21.71'
N3	39.96'	SE3	27.03'
N4	34.36'	SUB-TOTAL: 70.17'	
N5	25.43'	# OF LOCATIONS:	3
N6	24.34'	AVERAGE:	23.39'
SUB-TOTAL:		182.94'	
# OF LOCATIONS:	6	EAST ELEVATION	
AVERAGE:		E1	18.84'
		E2	19.64'
		E3	21.84'
SOUTH ELEVATION		E4	23.94'
S1	16.38'	E5	26.08'
S2	19.90'	E6	28.13'
S3	18.78'	E7	30.21'
S4	13.99'	SUB-TOTAL: 168.68'	
SUB-TOTAL:		69.05'	
# OF LOCATIONS:	4	# OF LOCATIONS:	7
AVERAGE:		24.09'	
		SUB-TOTAL:	
		193.70'	
		# OF LOCATIONS:	
		7	
		AVERAGE:	
		27.67'	
		TOTAL:	
		683.54'	
		NUMBER OF LOCATIONS:	
		27	
		AVERAGE:	
		25.31'	



**1 NORTH ELEVATION**  
 3/16" = 1'-0"



**2 EAST ELEVATION**  
 3/16" = 1'-0"

KNOLL ESTATES UNIT 1

MAX BUILDING HEIGHT

SHEET NUMBER

**A2.2**

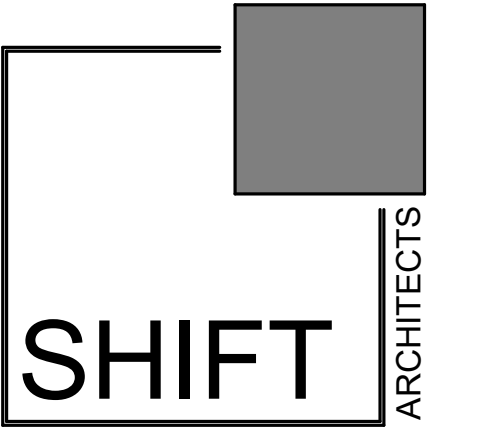
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100 EAGLE DRIVE, MOUNTAIN VILLAGE, CO 81435  
 UNIT 1 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 AND 24 NKA TOWN OF MTN VILLAGE  
 REC 10.6.95 BK 1 PG 1918

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MATERIAL  
 CALCULATIONS

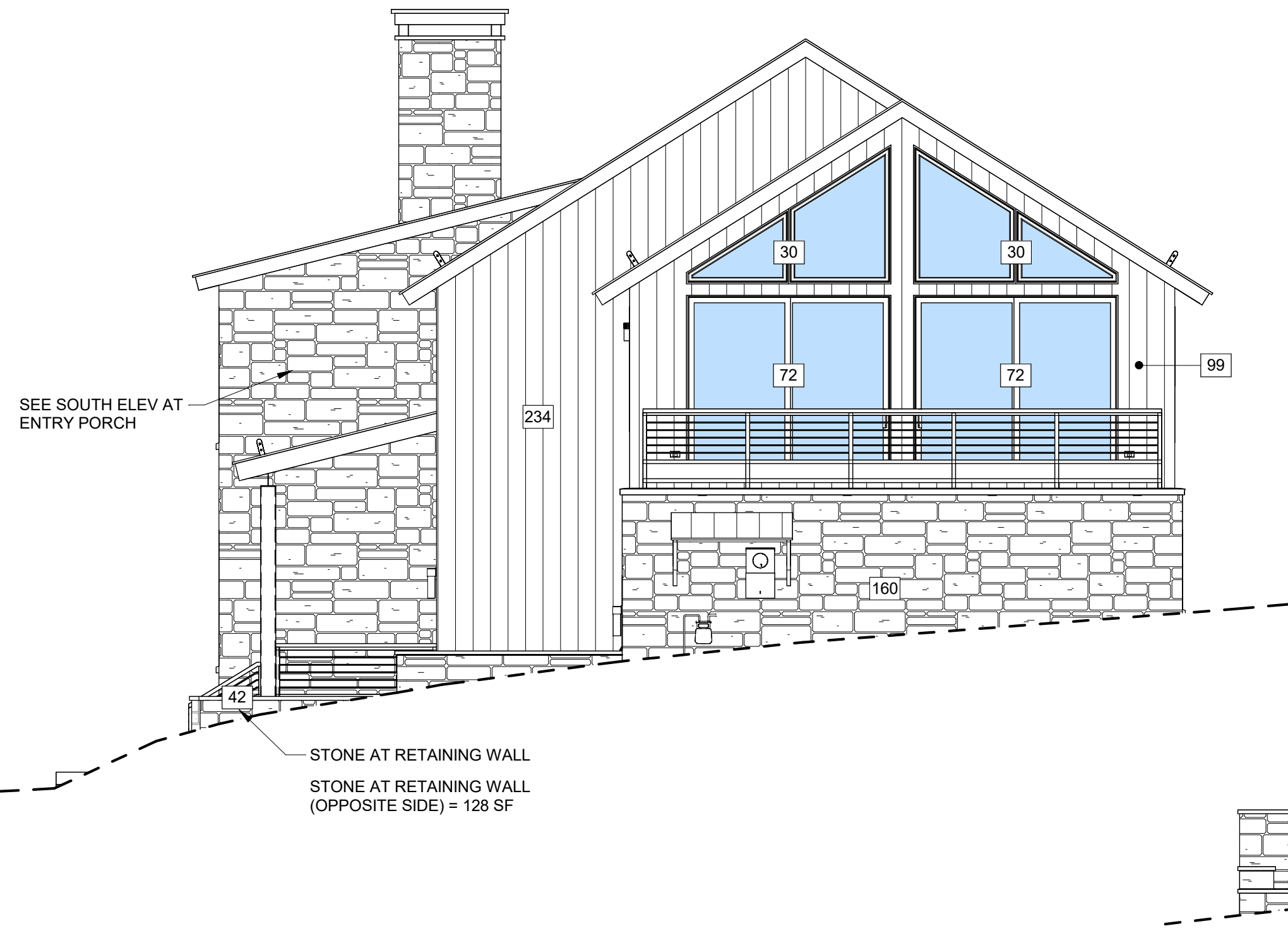
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**A2.4**

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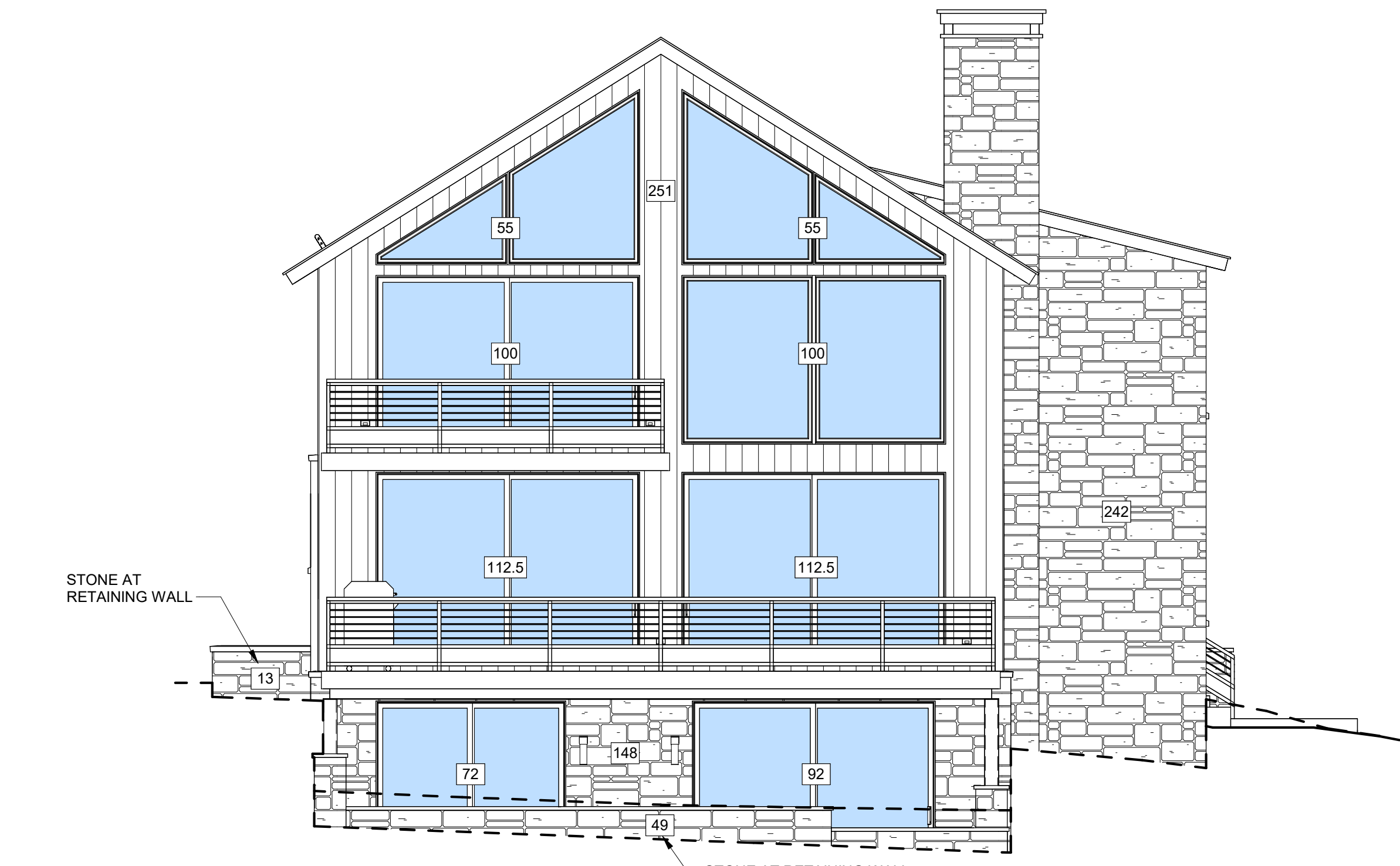
MATERIAL CALCULATIONS		
<b>NORTH</b>		
STONE	390 SF	28%
STONE @ RETAINING WALL	62 SF	4%
WOOD SIDING	251 SF	18%
WINDOW/DOOR GLAZING	699 SF	50%
SUBTOTAL:	1402 SF	100%
<b>SOUTH</b>		
STONE	160 SF	18%
STONE @ RETAINING WALL	170 SF	20%
WOOD SIDING	333 SF	38%
WINDOW/DOOR GLAZING	204 SF	24%
SUBTOTAL:	867 SF	100%
<b>EAST</b>		
STONE	436 SF	35%
STONE @ RETAINING WALL	42 SF	3%
WOOD SIDING	584 SF	46%
WINDOW/DOOR GLAZING	195.5 SF	16%
SUBTOTAL:	1257.5 SF	100%
<b>WEST</b>		
STONE	380 SF	30%
STONE @ RETAINING WALL	24 SF	2%
WOOD SIDING	496 SF	38%
WINDOW/DOOR GLAZING	234.5 SF	18%
WOOD GARAGE DOORS	162 SF	12%
SUBTOTAL:	1296.5 SF	100%
<b>NORTH PATIO / DECK</b>		
STONE @ RETAINING WALL	250 SF	100%
SUBTOTAL:	250 SF	100%
<b>WINDOW WELL</b>		
STONE @ RETAINING WALL	153 SF	100%
SUBTOTAL:	153 SF	100%
<b>SOUTH @ ENTRY PORCH</b>		
STONE	241 SF	100%
SUBTOTAL:	241 SF	100%
<b>CHIMNEY (STONE)</b>		
NORTH	83 SF	26%
SOUTH	34 SF	11%
EAST	62 SF	19%
WEST	139 SF	44%
SUB-TOTAL:	318 SF	100%
<b>TOTALS</b>		
STONE	1607 SF	
STONE @ RETAINING WALL	701 SF	
CHIMNEY (STONE)	318 SF	
WOOD SIDING	1664 SF	
WINDOW/DOOR GLAZING	1333 SF	
WOOD GARAGE DOORS	162 SF	
TOTAL:	5785 SF	
<b>PERCENTAGES</b>		
STONE	29 %	
STONE @ RETAINING WALL	12 %	46 %
CHIMNEY (STONE)	5 %	
WOOD SIDING	28 %	
WINDOW/DOOR GLAZING	23 %	
WOOD GARAGE DOORS	3 %	
TOTAL:	100 %	
STONE VENEER CALCULATIONS ARE IN ACCORDANCE WITH TITLE 17 OF THE TOWN OF MOUNTAIN VILLAGE MUNICIPAL CODE CDC 17.5.6.E.1		



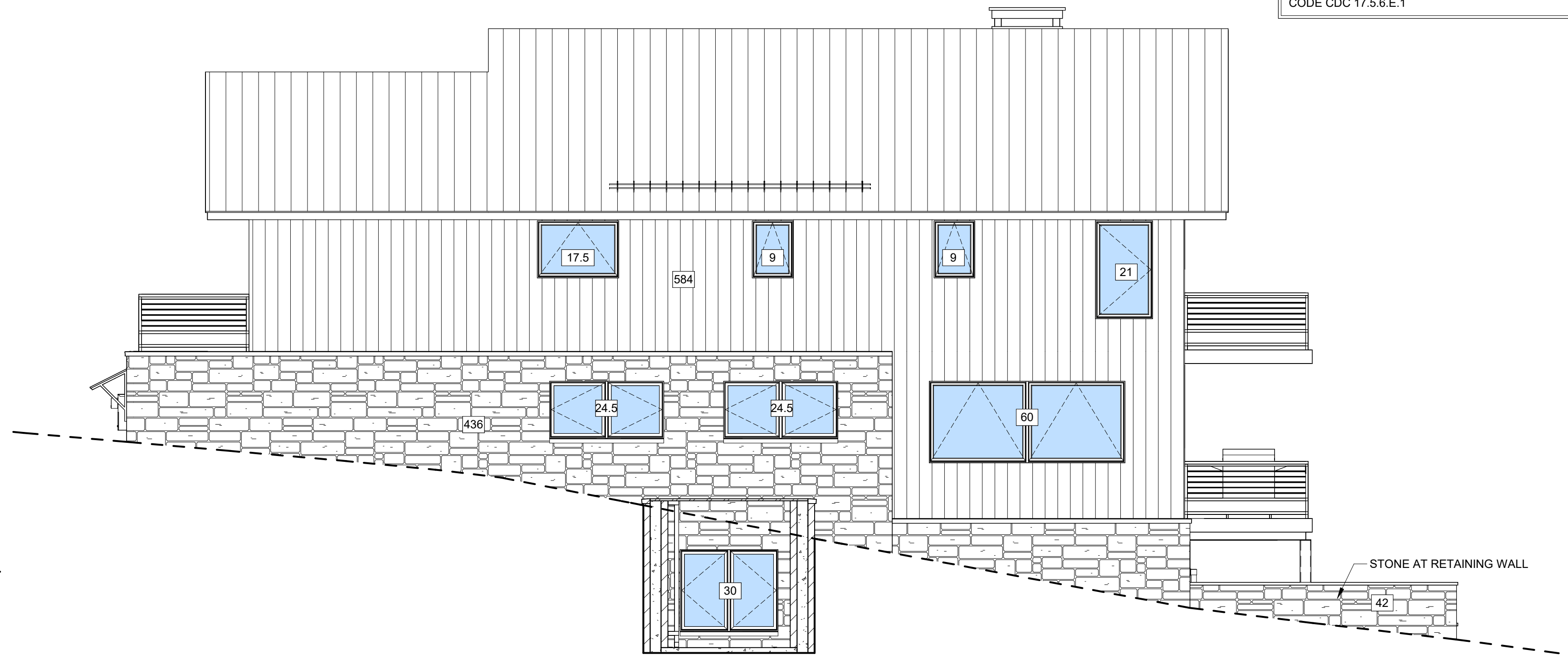
**3 SOUTH ELEVATION**  
 3/16" = 1'-0"



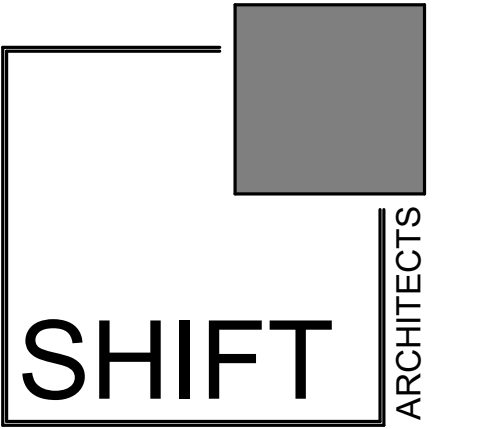
**4 WEST ELEVATION**  
 3/16" = 1'-0"



**1 NORTH ELEVATION**  
 3/16" = 1'-0"



**2 EAST ELEVATION**  
 3/16" = 1'-0"



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MATERIAL  
 CALCULATIONS

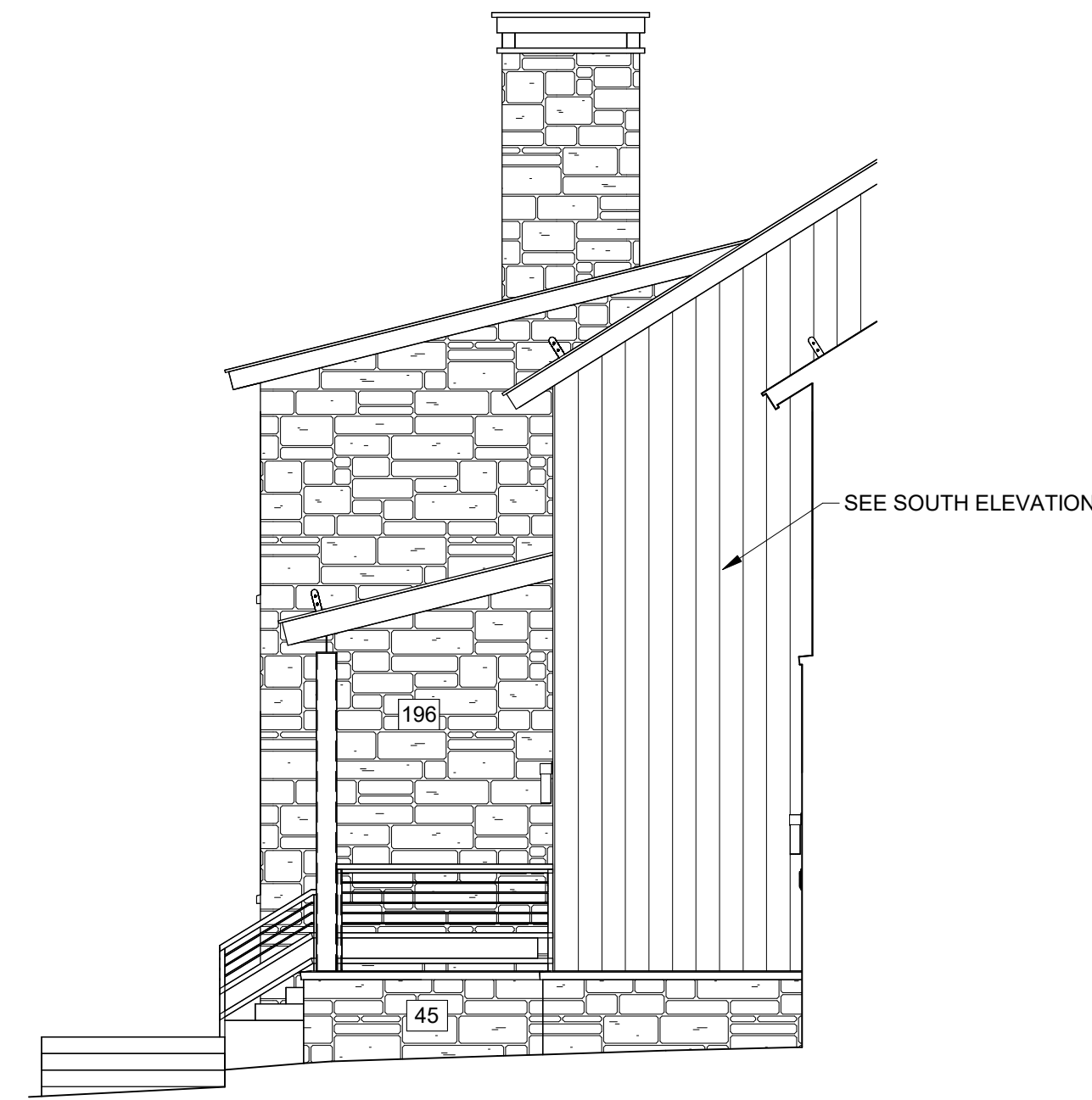
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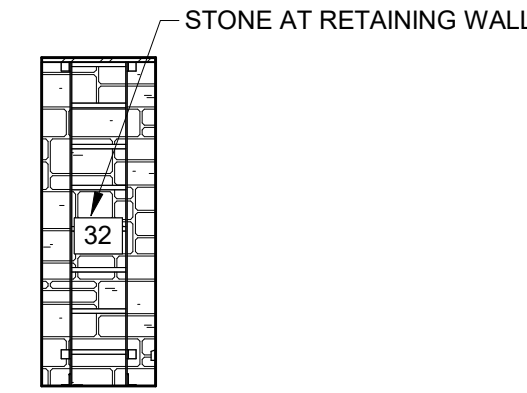
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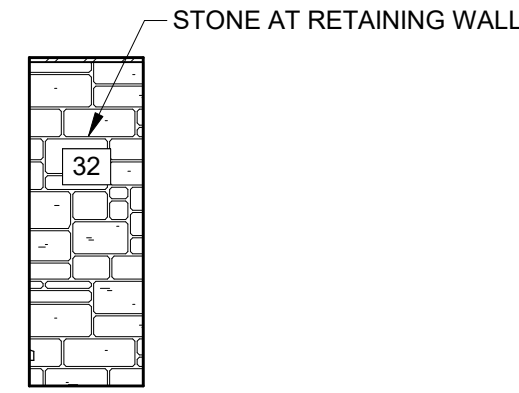
MATERIAL CALCULATIONS		
<b>NORTH</b>		
STONE	390 SF	28%
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WINDOW/DOOR GLAZING	699 SF	50%
<b>SUBTOTAL:</b>	<b>1402 SF</b>	<b>100%</b>
<b>SOUTH</b>		
STONE	160 SF	18%
STONE @ RETAINING WALL	170 SF	20%
WOOD SIDING	333 SF	38%
WINDOW/DOOR GLAZING	204 SF	24%
<b>SUBTOTAL:</b>	<b>867 SF</b>	<b>100%</b>
<b>EAST</b>		
STONE	436 SF	35%
STONE @ RETAINING WALL	42 SF	3%
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WINDOW/DOOR GLAZING	195.5 SF	16%
<b>SUBTOTAL:</b>	<b>1257.5 SF</b>	<b>100%</b>
<b>WEST</b>		
STONE	380 SF	30%
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WINDOW/DOOR GLAZING	234.5 SF	18%
WOOD GARAGE DOORS	162 SF	12%
<b>SUBTOTAL:</b>	<b>1296.5 SF</b>	<b>100%</b>
<b>NORTH PATIO / DECK</b>		
STONE @ RETAINING WALL	250 SF	100%
<b>SUBTOTAL:</b>	<b>250 SF</b>	<b>100%</b>
<b>WINDOW WELL</b>		
STONE @ RETAINING WALL	153 SF	100%
<b>SUBTOTAL:</b>	<b>153 SF</b>	<b>100%</b>
<b>SOUTH @ ENTRY PORCH</b>		
STONE	241 SF	100%
<b>SUBTOTAL:</b>	<b>241 SF</b>	<b>100%</b>
<b>CHIMNEY (STONE)</b>		
NORTH	83 SF	26%
SOUTH	34 SF	11%
EAST	62 SF	19%
WEST	139 SF	44%
<b>SUB-TOTAL:</b>	<b>318 SF</b>	<b>100%</b>
<b>TOTALS</b>		
STONE	1607 SF	
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CHIMNEY (STONE)	318 SF	
WOOD SIDING	1664 SF	
WINDOW/DOOR GLAZING	1333 SF	
WOOD GARAGE DOORS	162 SF	
<b>TOTAL:</b>	<b>5785 SF</b>	
<b>PERCENTAGES</b>		
STONE	29 %	
STONE @ RETAINING WALL	12 %	46 %
CHIMNEY (STONE)	5 %	
WOOD SIDING	28 %	
WINDOW/DOOR GLAZING	23 %	
WOOD GARAGE DOORS	3 %	
<b>TOTAL:</b>	<b>100 %</b>	
STONE VENEER CALCULATIONS ARE IN ACCORDANCE WITH TITLE 17 OF THE TOWN OF MOUNTAIN VILLAGE MUNICIPAL CODE CDC 17.5.6.E.1		



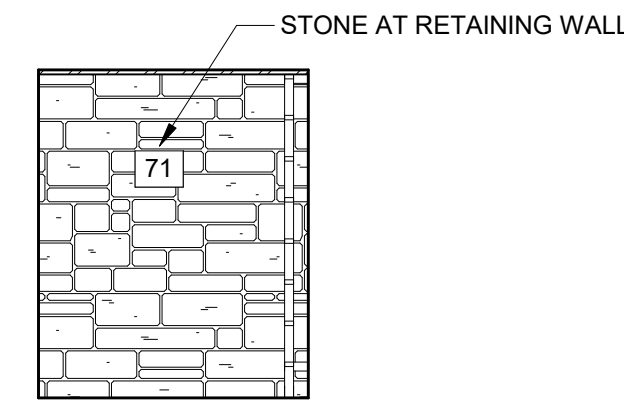
**8 SOUTH AT ENTRY PORCH**  
 3/16" = 1'-0"



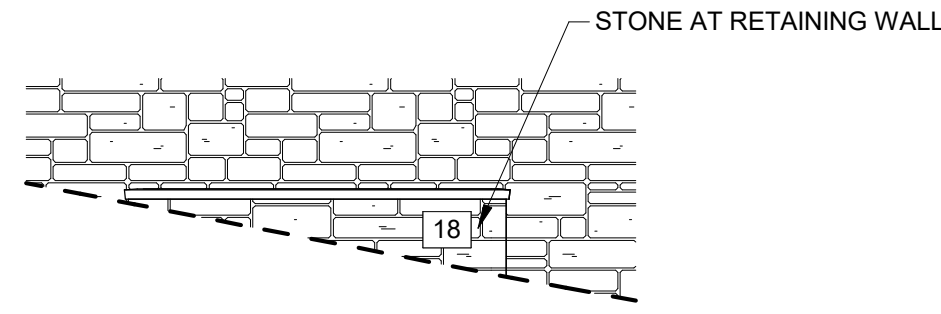
**7 WINDOW WELL NORTH**  
 3/16" = 1'-0"



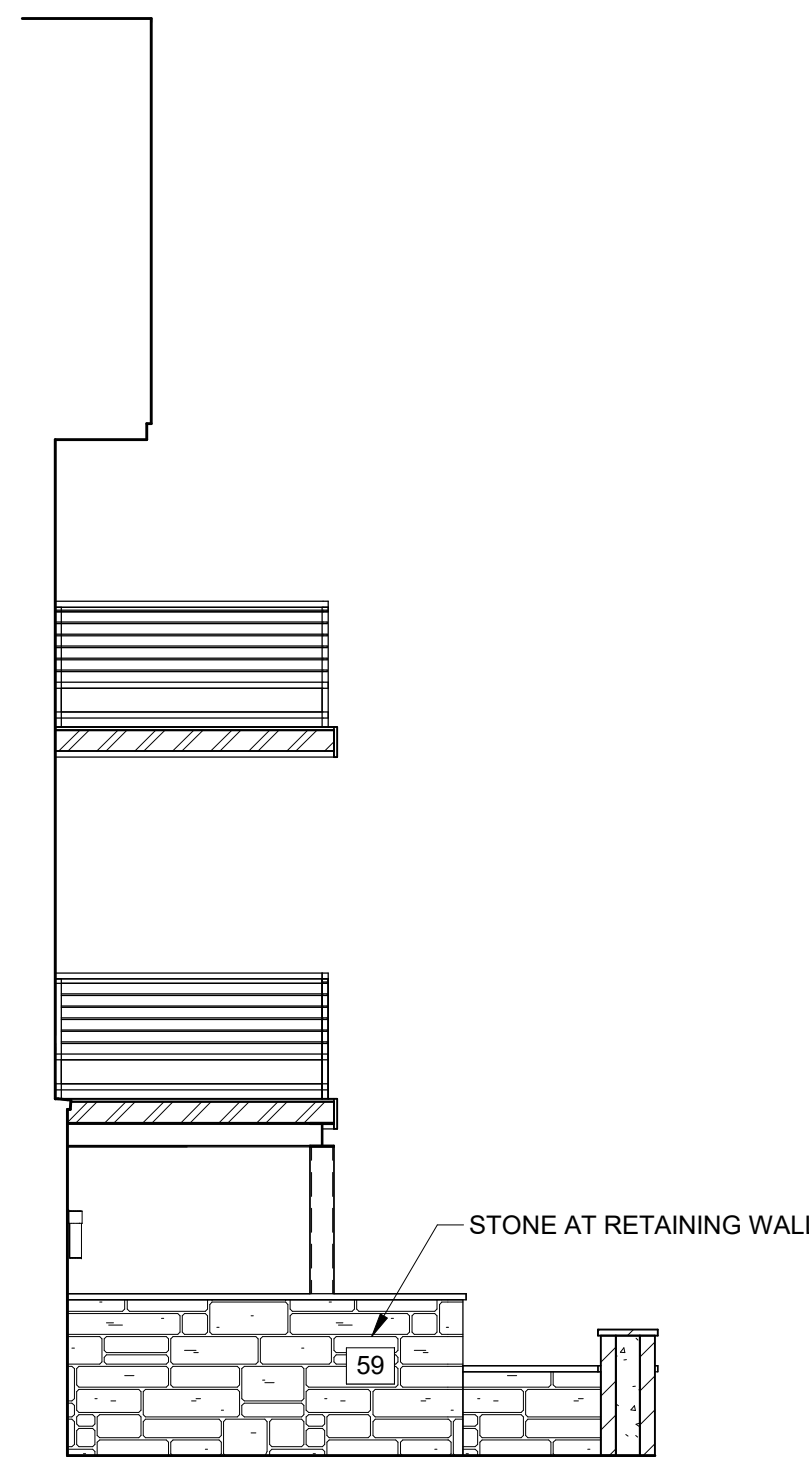
**6 WINDOW WELL SOUTH**  
 3/16" = 1'-0"



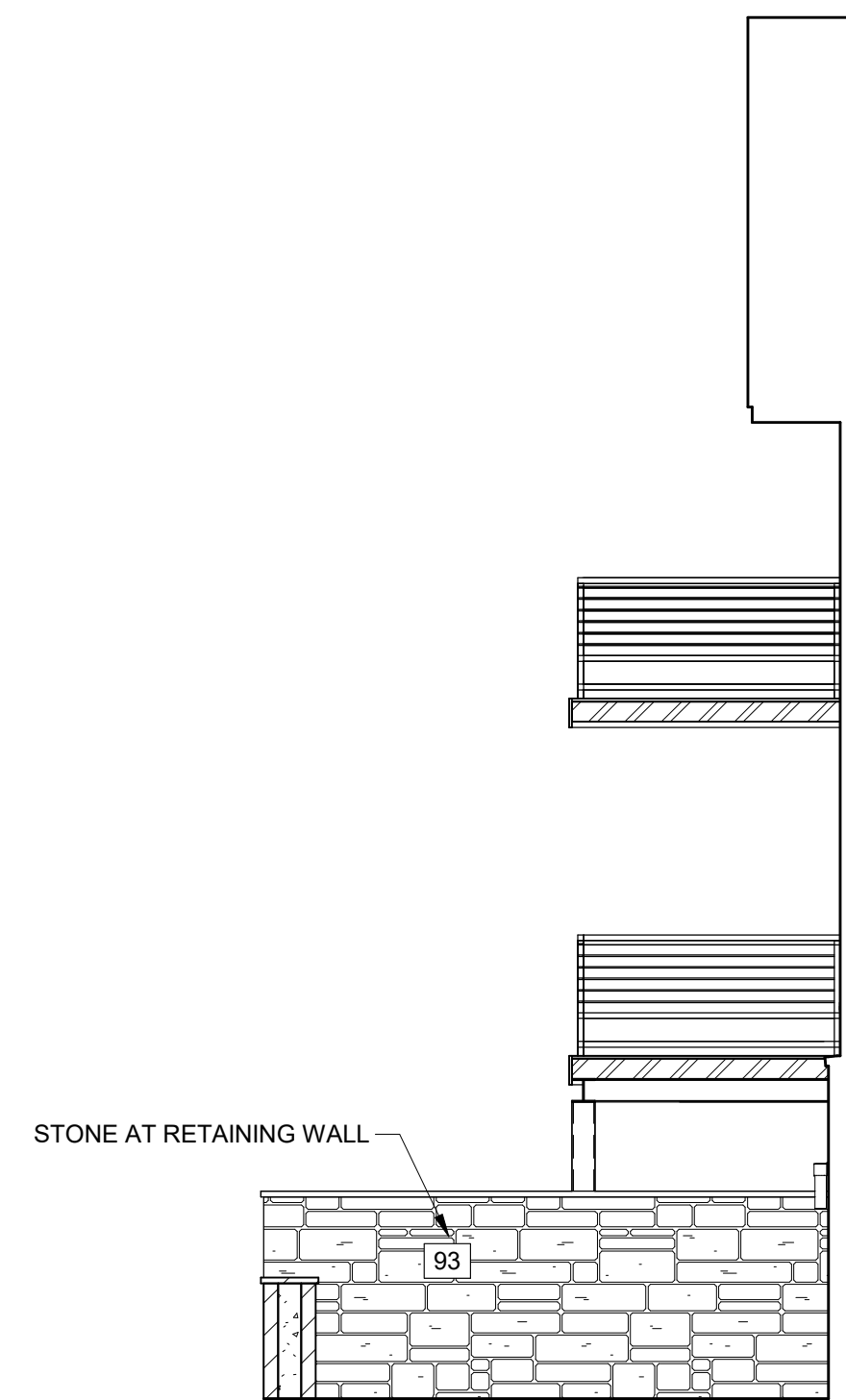
**5 WINDOW WELL WEST**  
 3/16" = 1'-0"



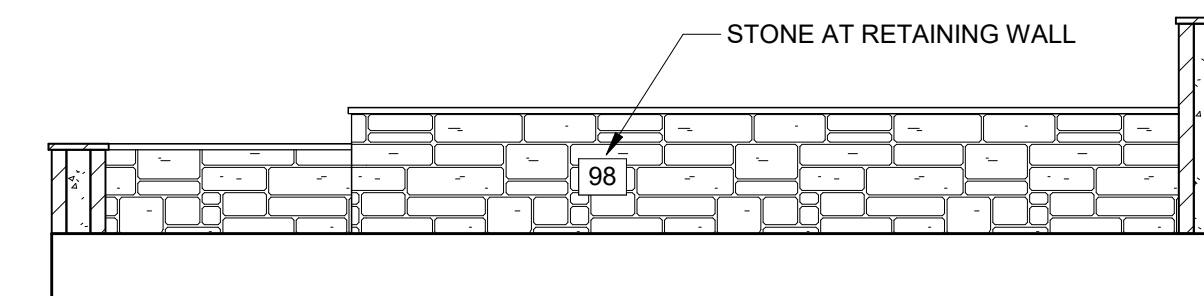
**4 WINDOW WELL EAST**  
 3/16" = 1'-0"



**1 PATIO / DECK EAST**  
 3/16" = 1'-0"



**2 PATIO / DECK WEST**  
 3/16" = 1'-0"



**3 LOWER LEVEL PATIO SOUTH**  
 3/16" = 1'-0"



**KNOLL ESTATES UNIT 1**

FLOOR PLAN

SHEET NUMBER

**A3.1**

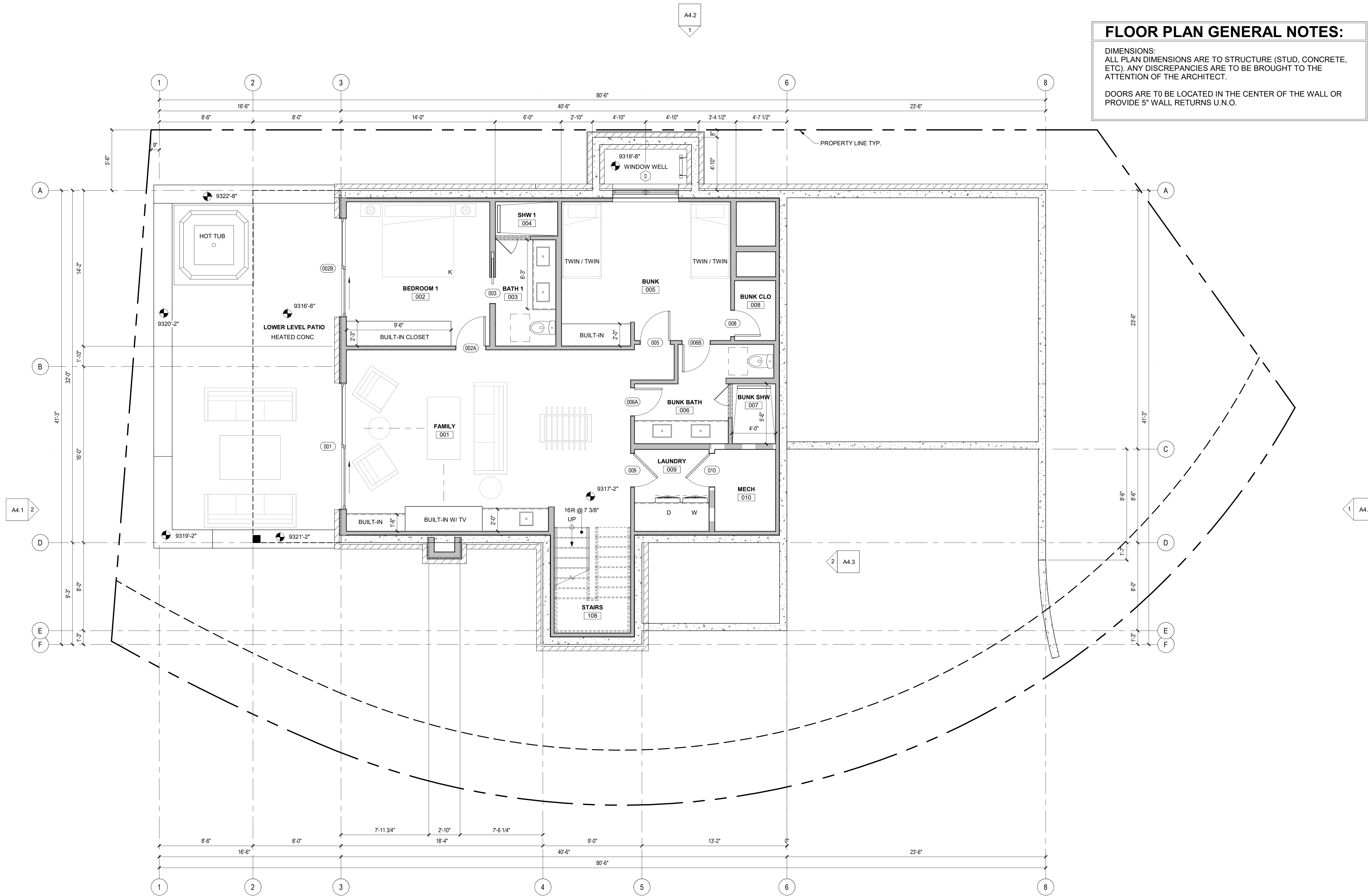
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**FLOOR PLAN GENERAL NOTES:**

DIMENSIONS:  
ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE,  
ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE  
ATTENTION OF THE ARCHITECT.

DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR  
PROVIDE 5" WALL RETURNS U.N.O.



**1 LOWER LEVEL**  
1/4" = 1'-0"

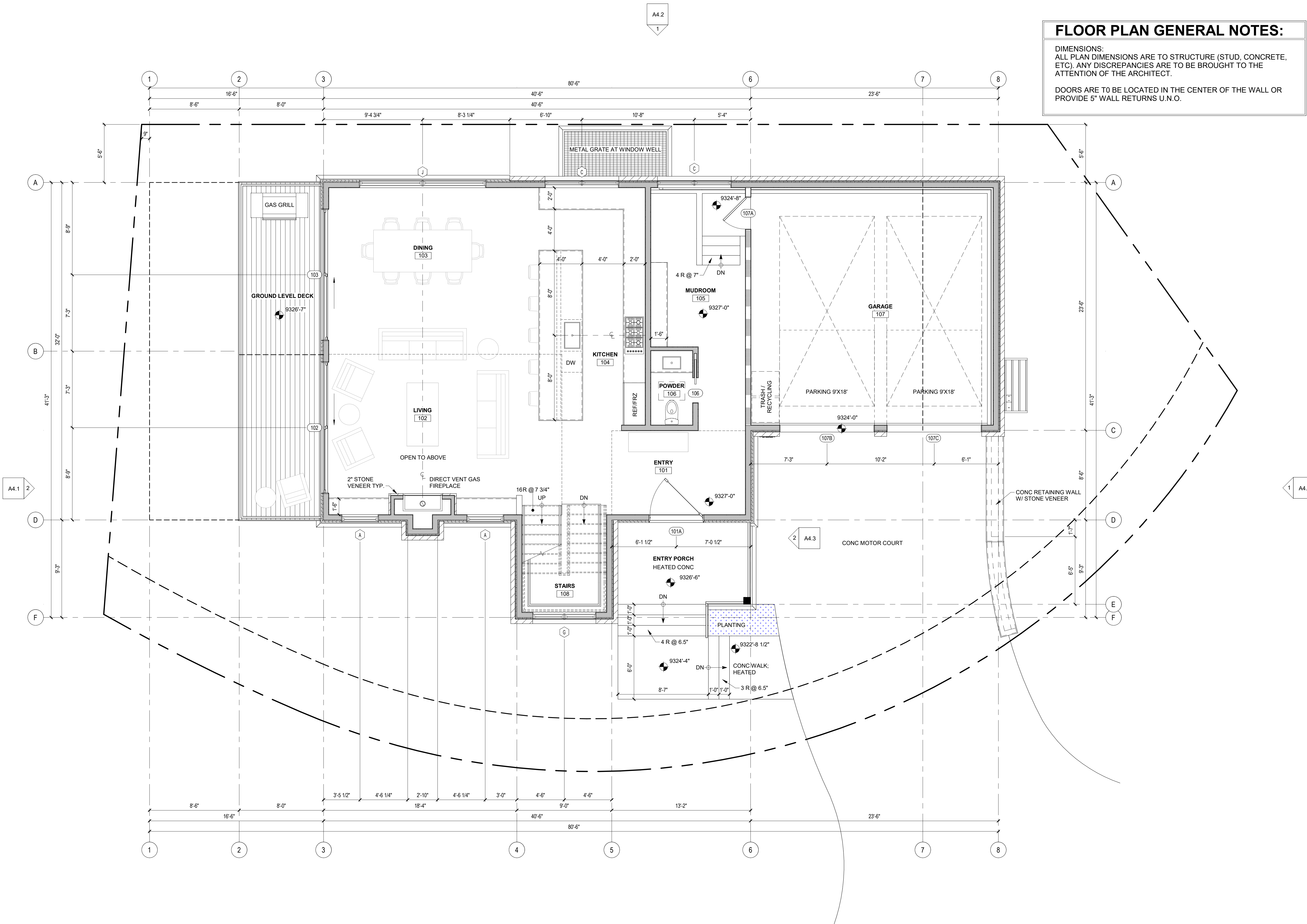


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**FLOOR PLAN GENERAL NOTES:**

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DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR  
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**KNOLL ESTATES UNIT 1**

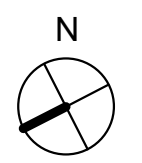
100 EAGLE DRIVE, MOUNTAIN VILLAGE, CO 81435  
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 REC 10.6.95 BK 1 PG 1918

FLOOR PLAN

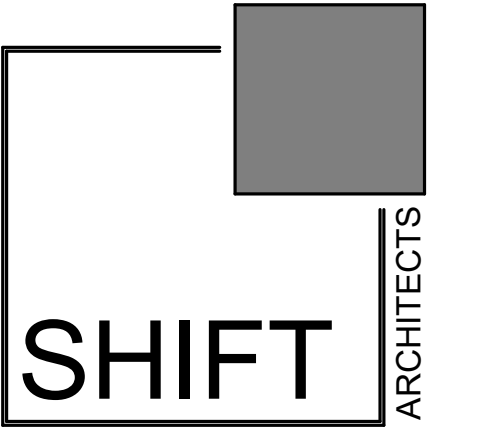
SHEET NUMBER

**A3.2**

**1 GROUND LEVEL**  
 1/4" = 1'-0"



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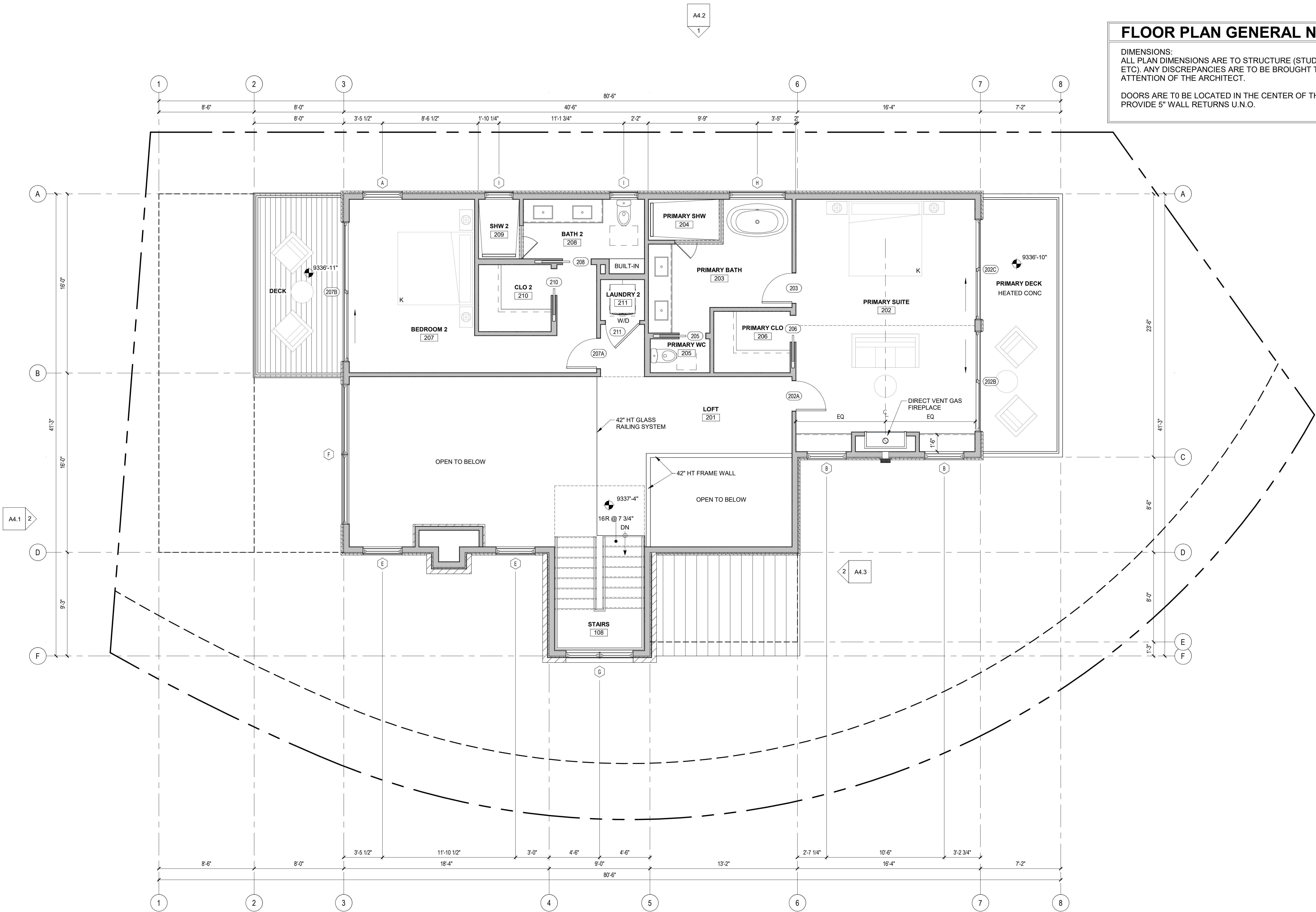


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 ATTENTION OF THE ARCHITECT.  
 DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR  
 PROVIDE 5" WALL RETURNS U.N.O.



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FLOOR PLAN

SHEET NUMBER

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**A3.3**

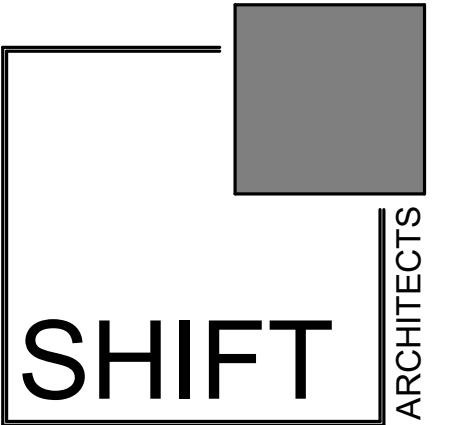
**1 UPPER LEVEL**  
 1/4" = 1'-0"

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### ROOF PLAN NOTES

1. ROOFING SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
2. ALL OVERHANG DIMENSIONS ARE FROM EXTERIOR FACE OF STUD (GRID) TO STRUCTURAL ROOF.
3. PROVIDE SNOW RETENTION SYSTEM WHERE SHOWN. CONTRACTOR AND ROOF MANUFACTURER TO PROVIDE WATERPROOFING FOR FULL WARRANTY AT SNOW RETENTION PENETRATIONS TYP.
4. REFERENCE MECHANICAL DRAWINGS FOR LOCATIONS OF ROOF PENETRATIONS.
5. PAINT ALL ROOF APPURTENANCES TO MATCH ADJACENT ROOF.



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ROOF PLAN

SHEET NUMBER

**A3.4**

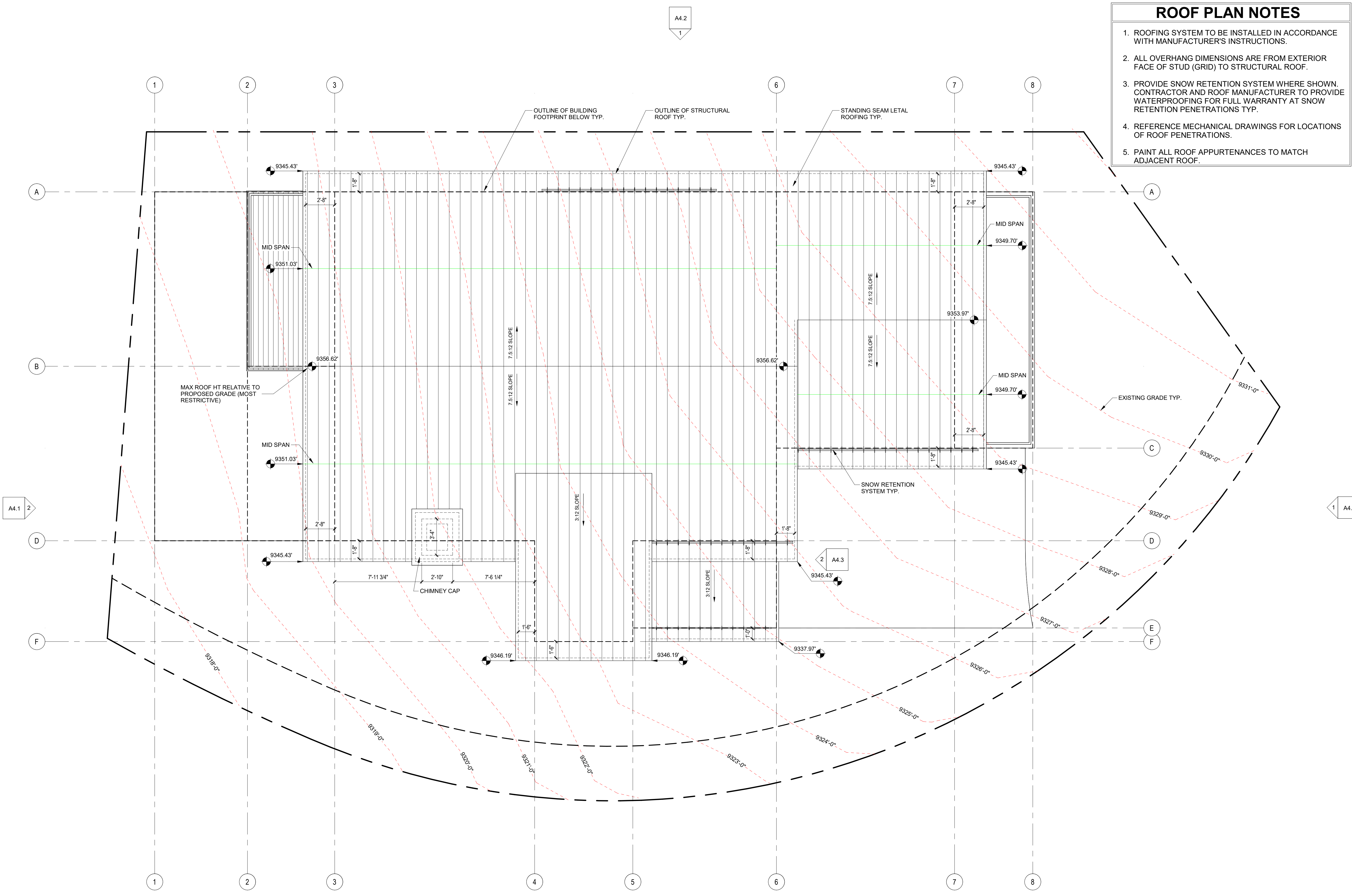
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A4.2  
1

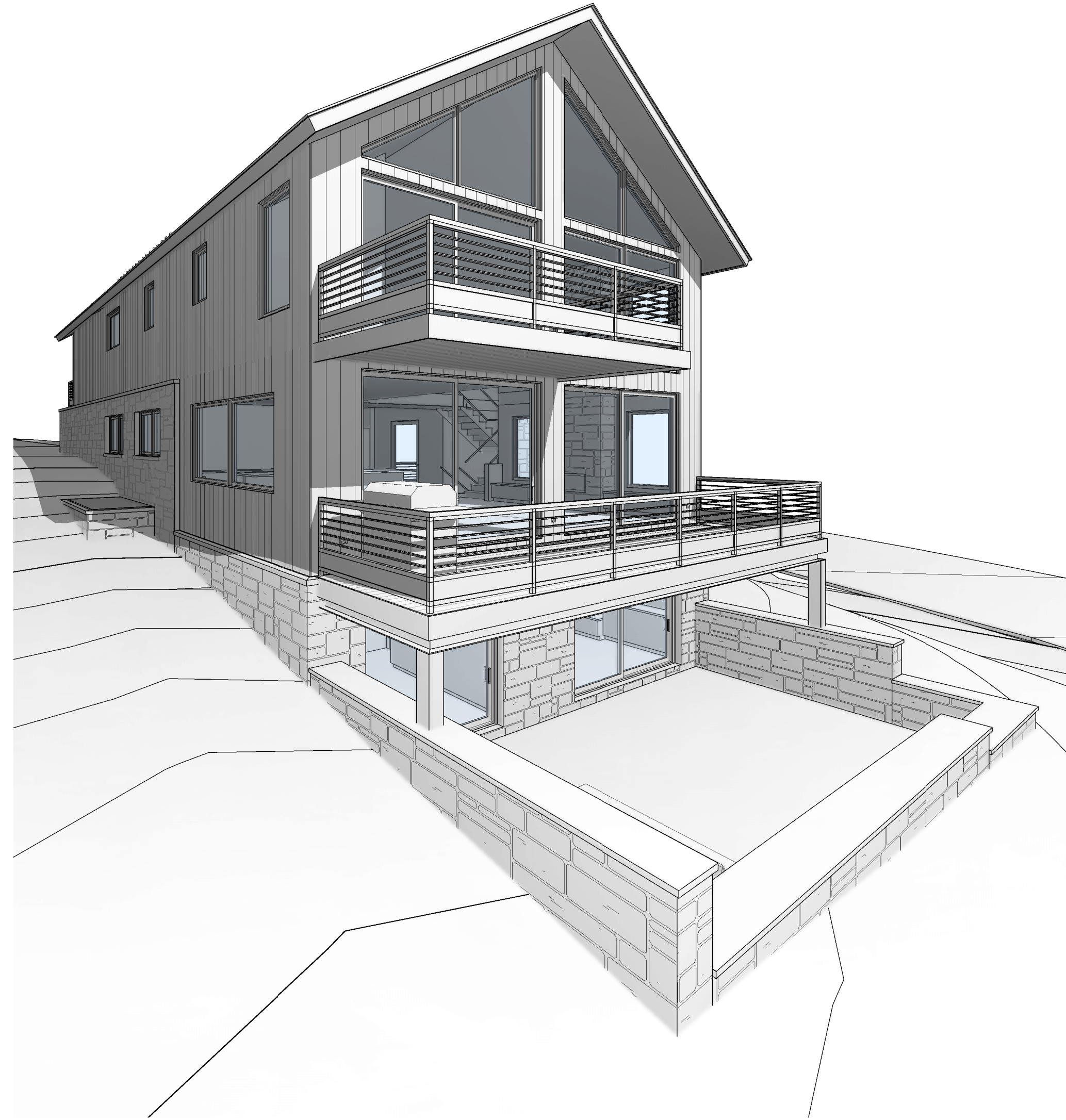
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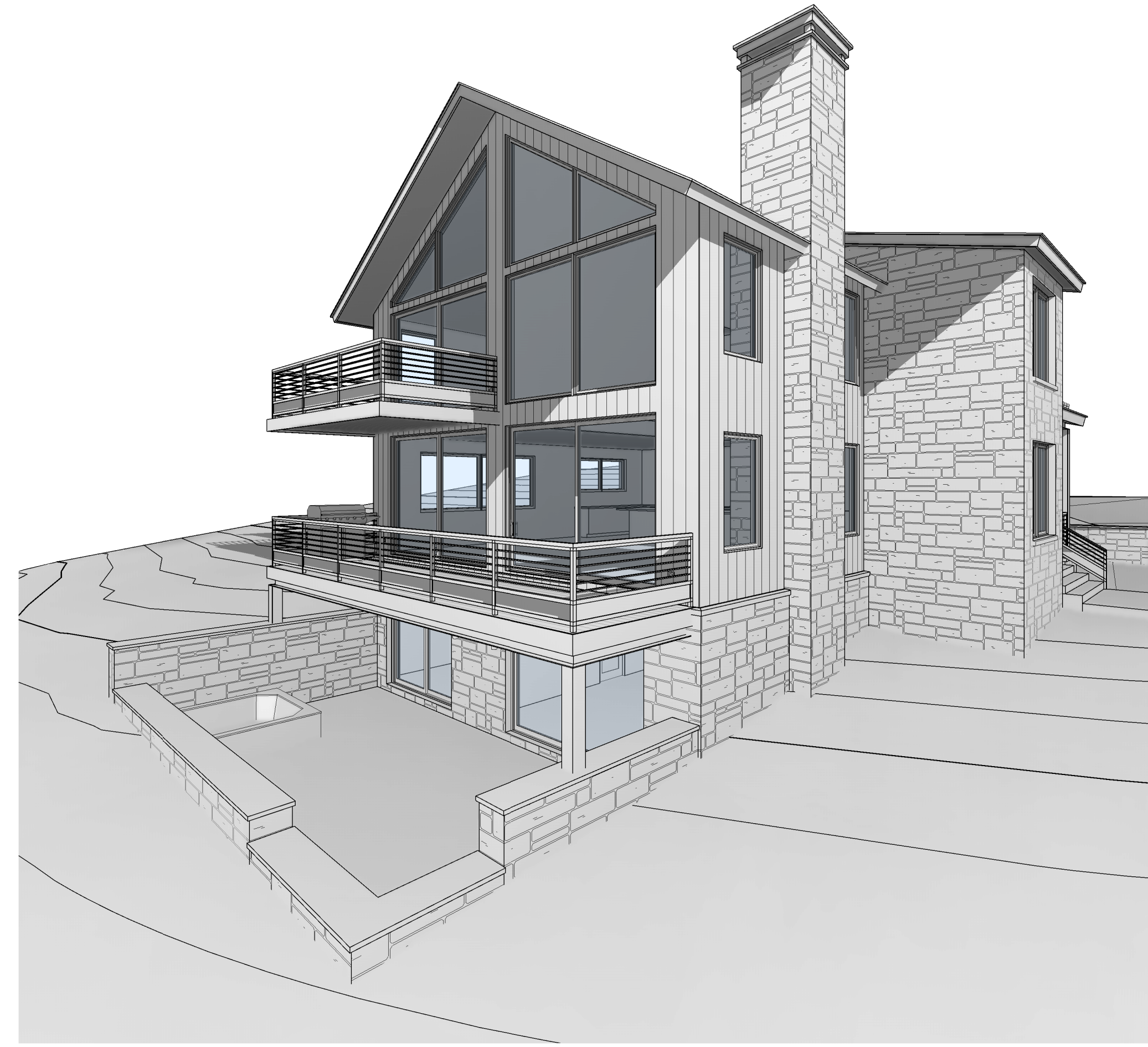
**1 ROOF PLAN**  
 1/4" = 1'-0"

A4.1 2

A4.1 1



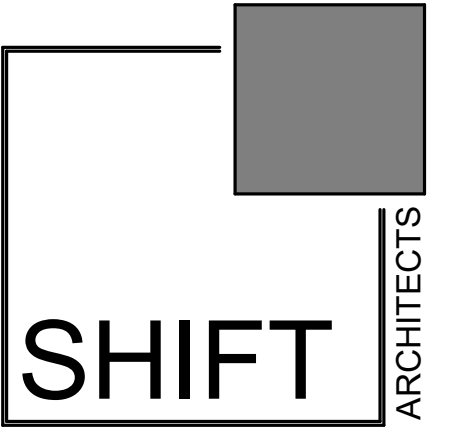
1 **NORTHEAST**



2 **NORTHWEST**



3 **SOUTHWEST**



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AXONS

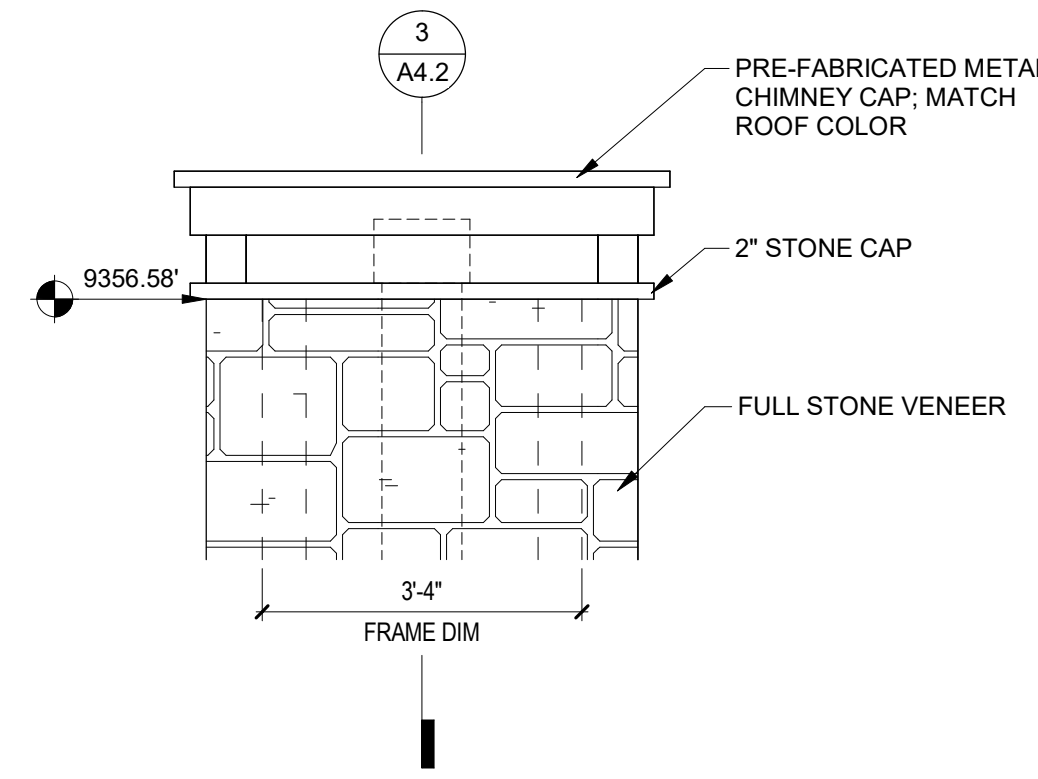
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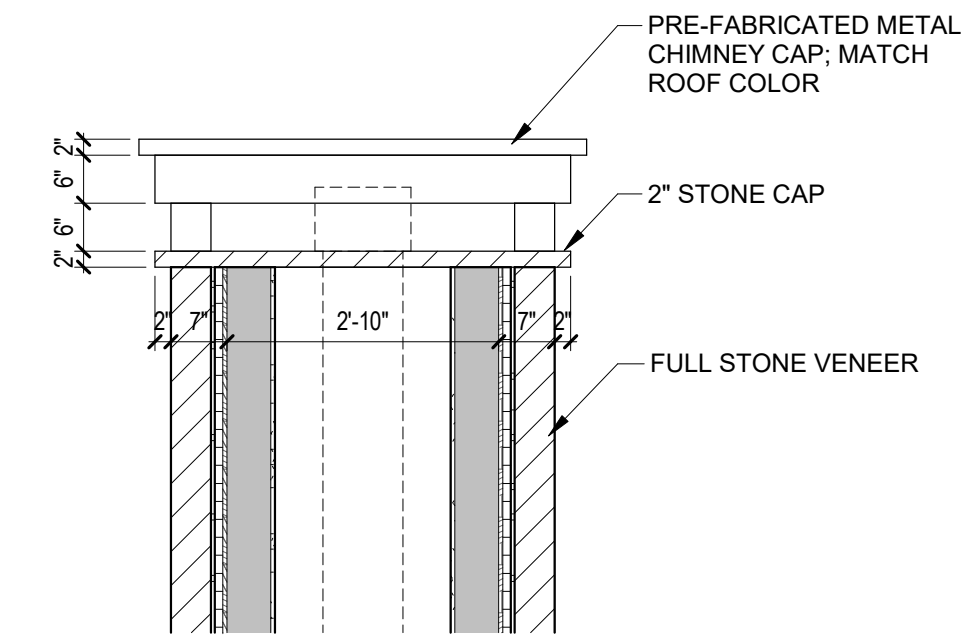
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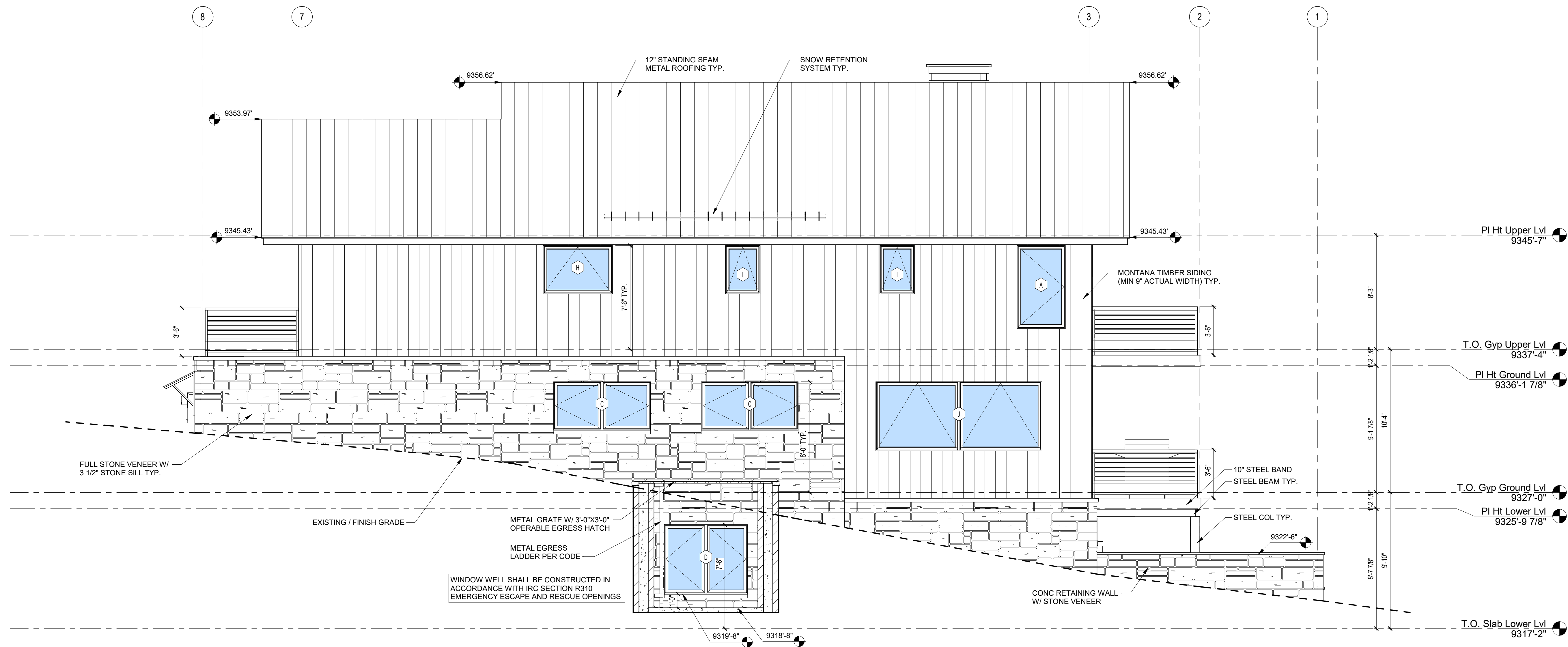




**2 CHIMNEY CAP ELEVATION**  
1/2" = 1'-0"



**3 CHIMNEY CAP SECTION**  
1/2" = 1'-0"



**1 EAST ELEVATION**  
1/4" = 1'-0"



**KNOLL ESTATES UNIT 1**

EXTERIOR  
ELEVATION

SHEET NUMBER

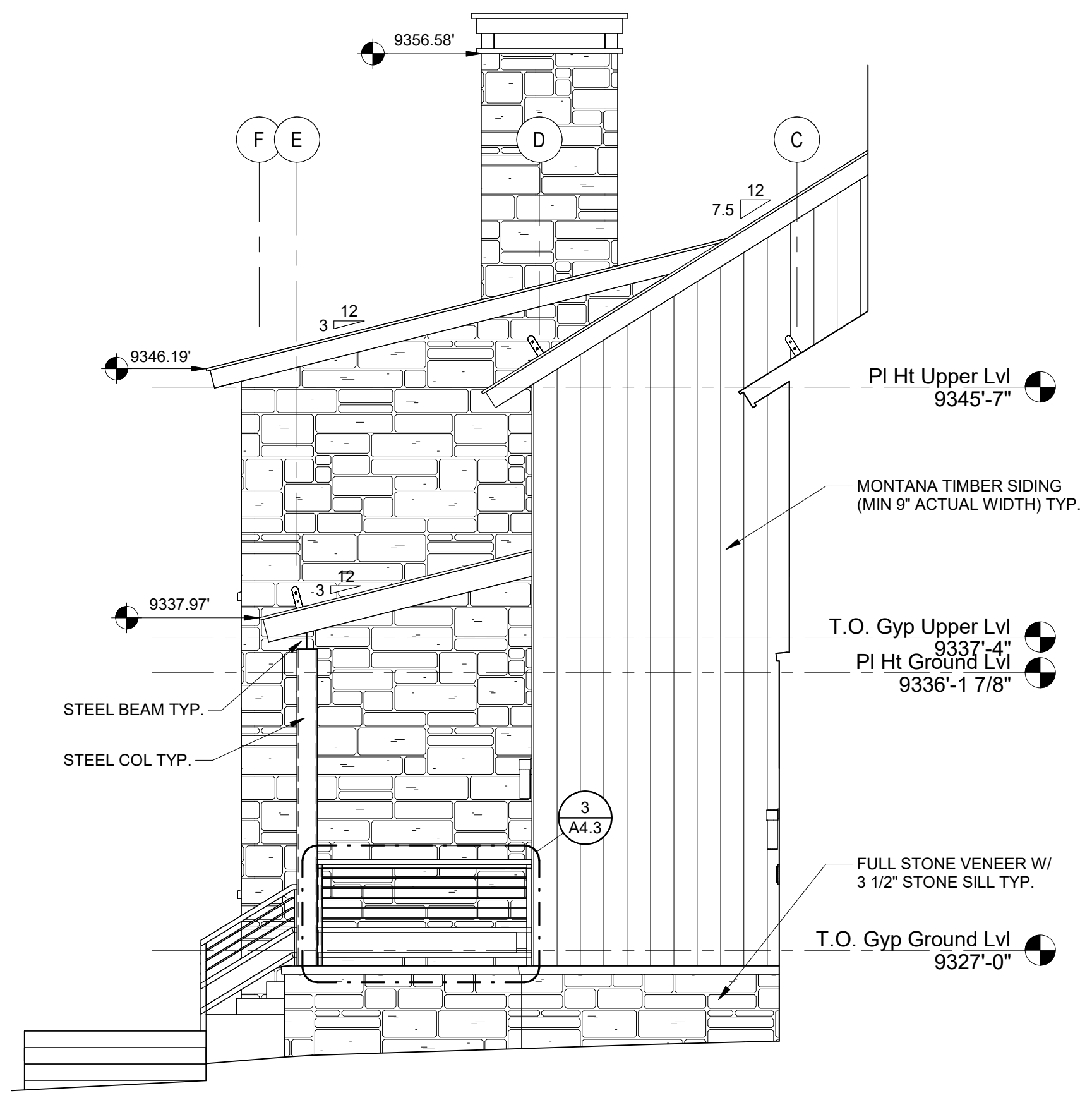
**A4.2**

100 EAGLE DRIVE, MOUNTAIN VILLAGE, CO 81435  
UNIT 1 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 AND 24 NKA TOWN OF MTN VILLAGE  
REC 10.6.95 BK 1 PG 1918

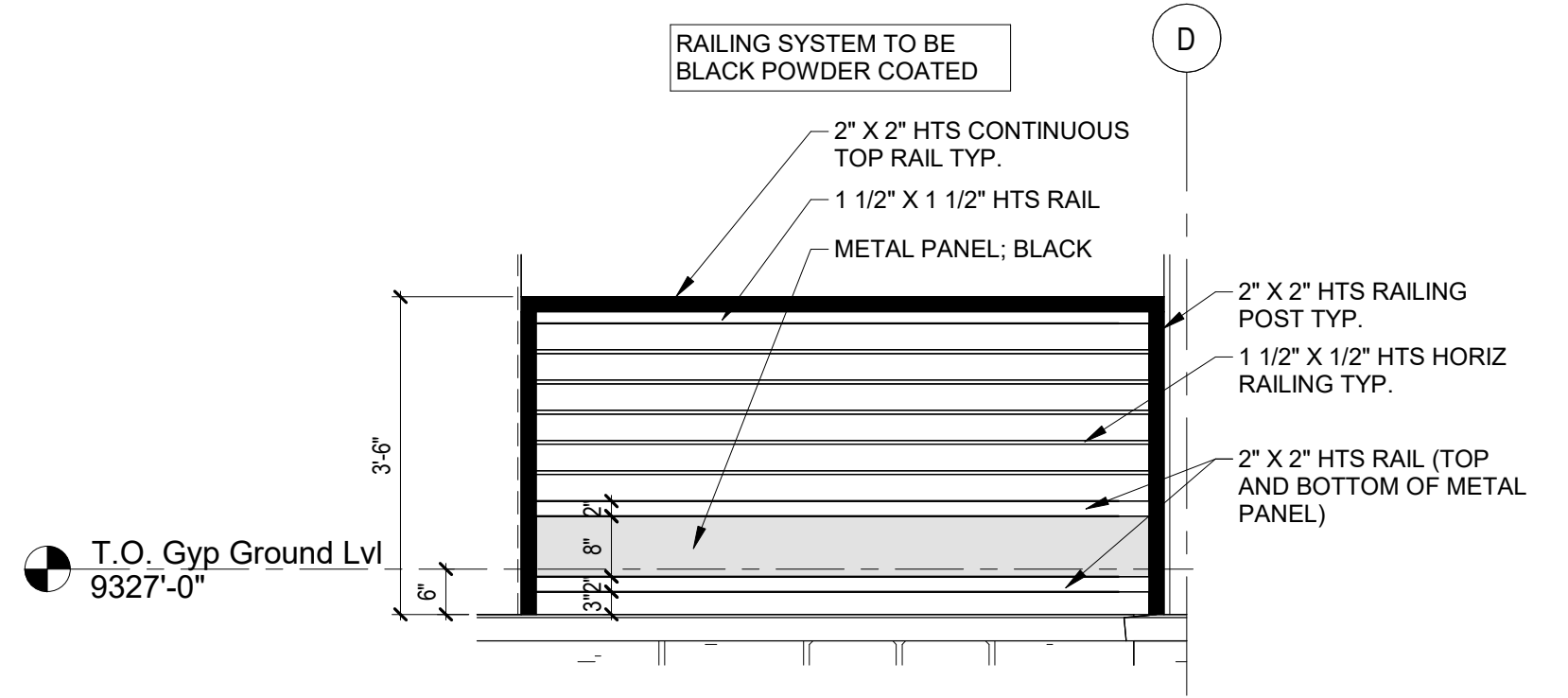
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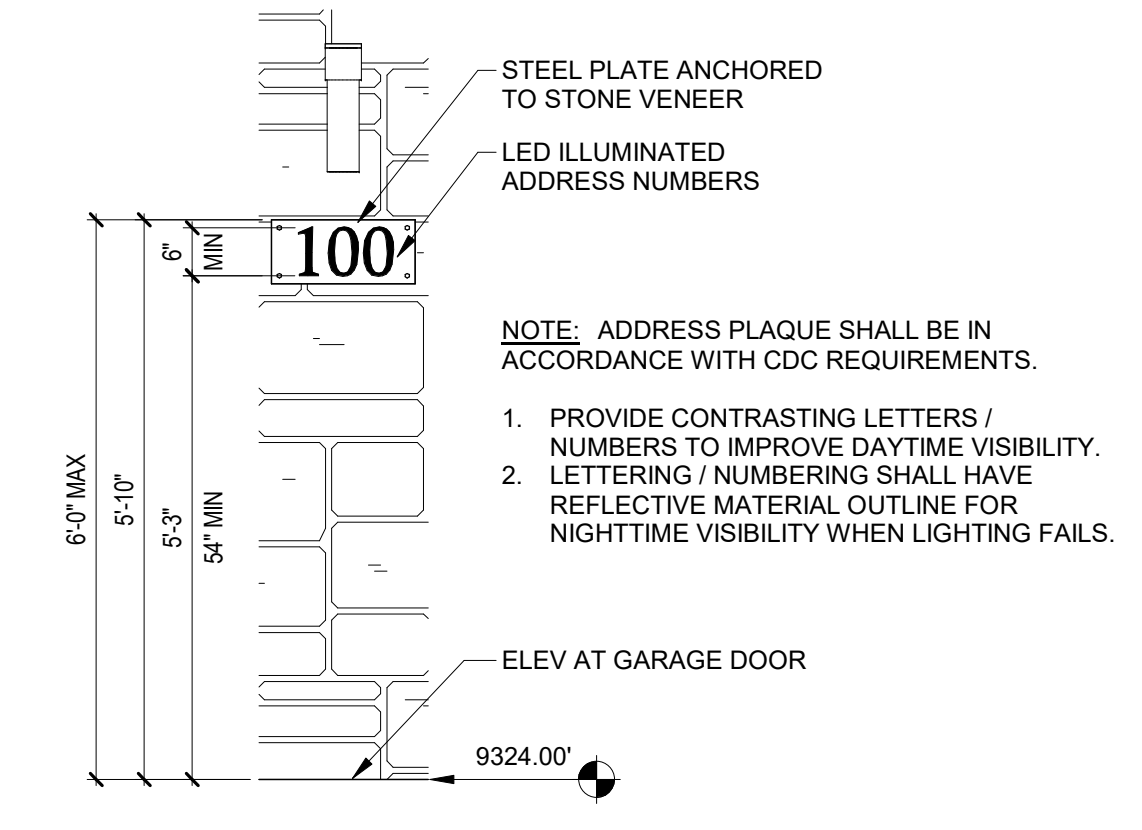
ADDRESS PLAQUE	
LED ILLUMINATED ADDRESS NUMBERS	
MANUFACTURER	MODERN LIGHTS
ITEM	LUMA NUMBERS W/ MOUNTING PLATE
NUMBER COLOR / SIZE	STAINLESS STEEL; BLACK 7"
MOUNTING PLATE	GRAY; 8.03"x17.72"
WATTAGE	5W PER NUMBER (15W)
LED COLOR	2700K
POWDER SOURCE	24W, 9V



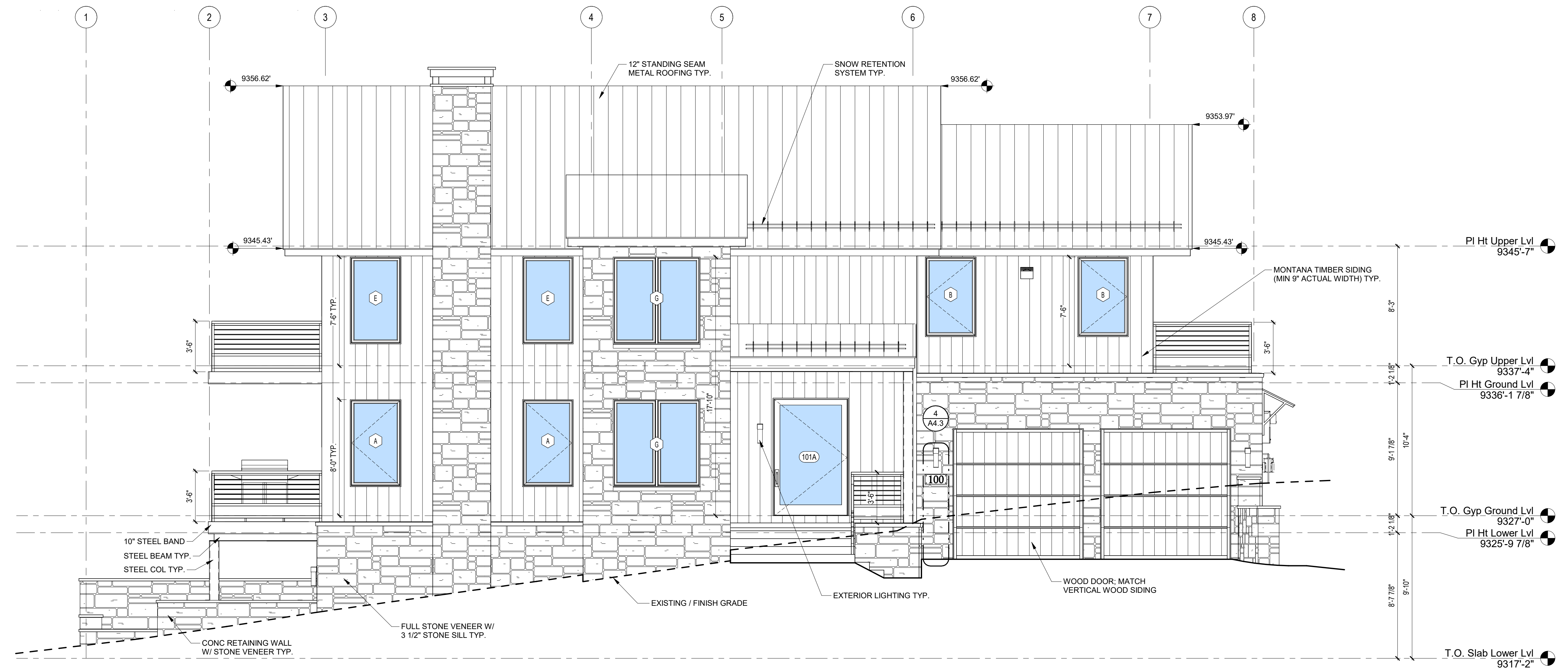
**2 SOUTH AT ENTRY PORCH**  
1/4" = 1'-0"



**3 EXTERIOR RAILING AT ENTRY PORCH**  
1/2" = 1'-0"



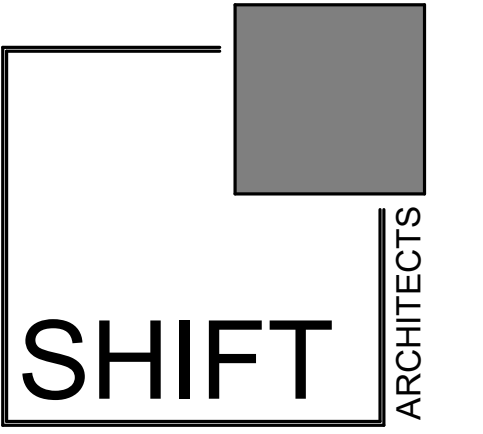
**4 ADDRESS PLAQUE**  
1/2" = 1'-0"



**1 WEST ELEVATION**  
1/4" = 1'-0"



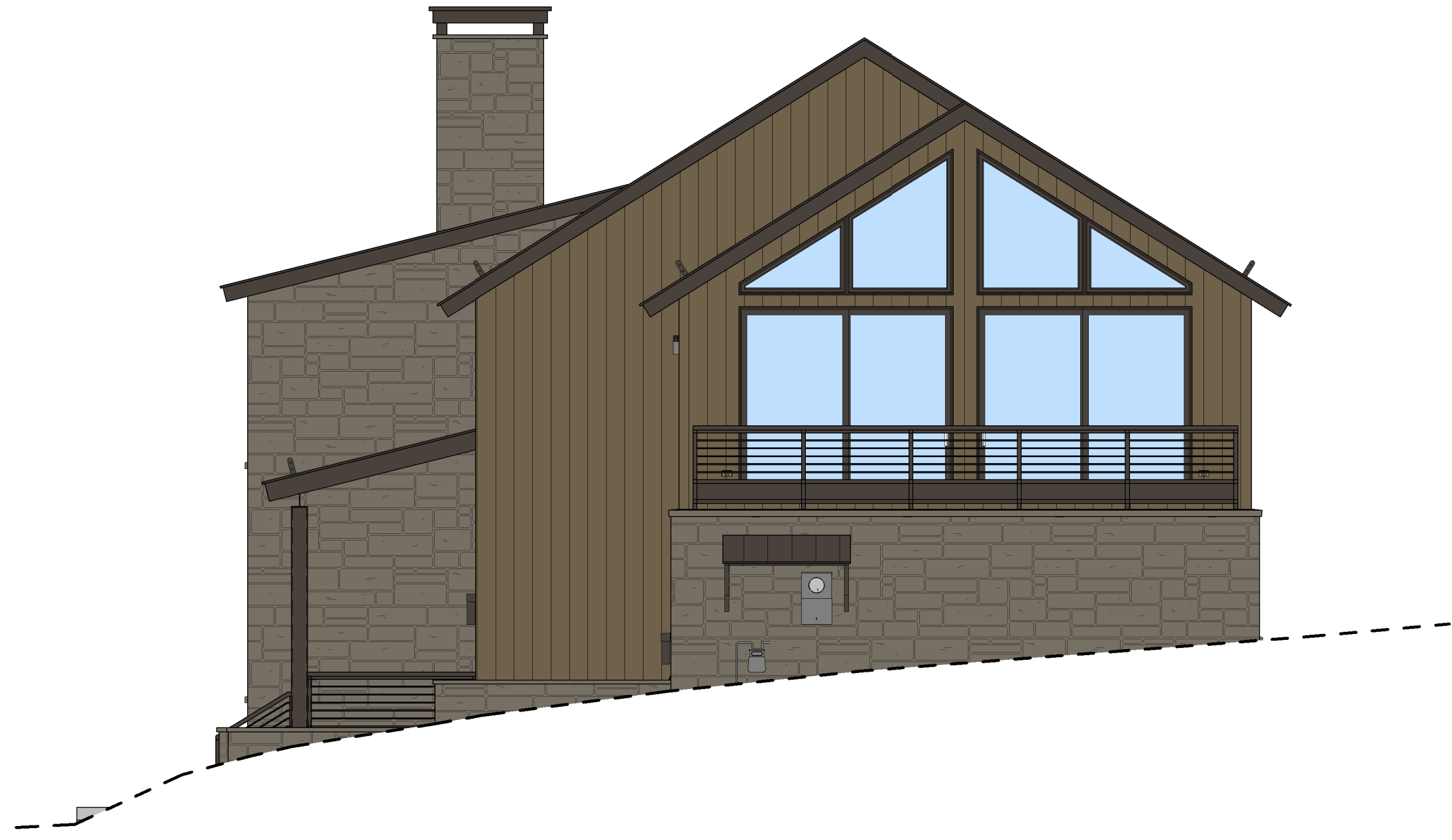




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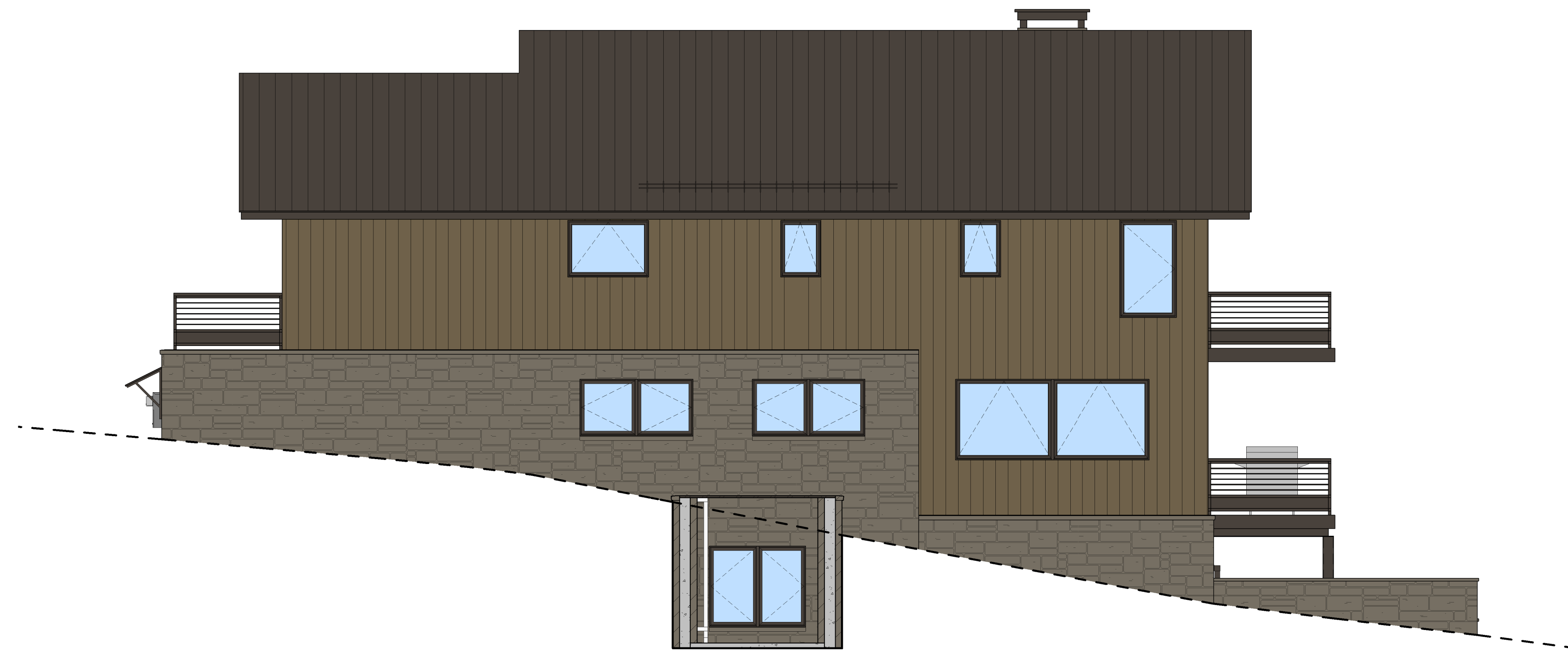
**3 SOUTH ELEVATION**  
 3/16" = 1'-0"



**4 WEST ELEVATION**  
 3/16" = 1'-0"



**1 NORTH ELEVATION**  
 3/16" = 1'-0"



**2 EAST ELEVATION**  
 3/16" = 1'-0"

KNOLL ESTATES UNIT 1  
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 REC 10.6.95 BK 1 PG 1918

PRESENTATION  
 ELEVATIONS

SHEET NUMBER

**A4.4**

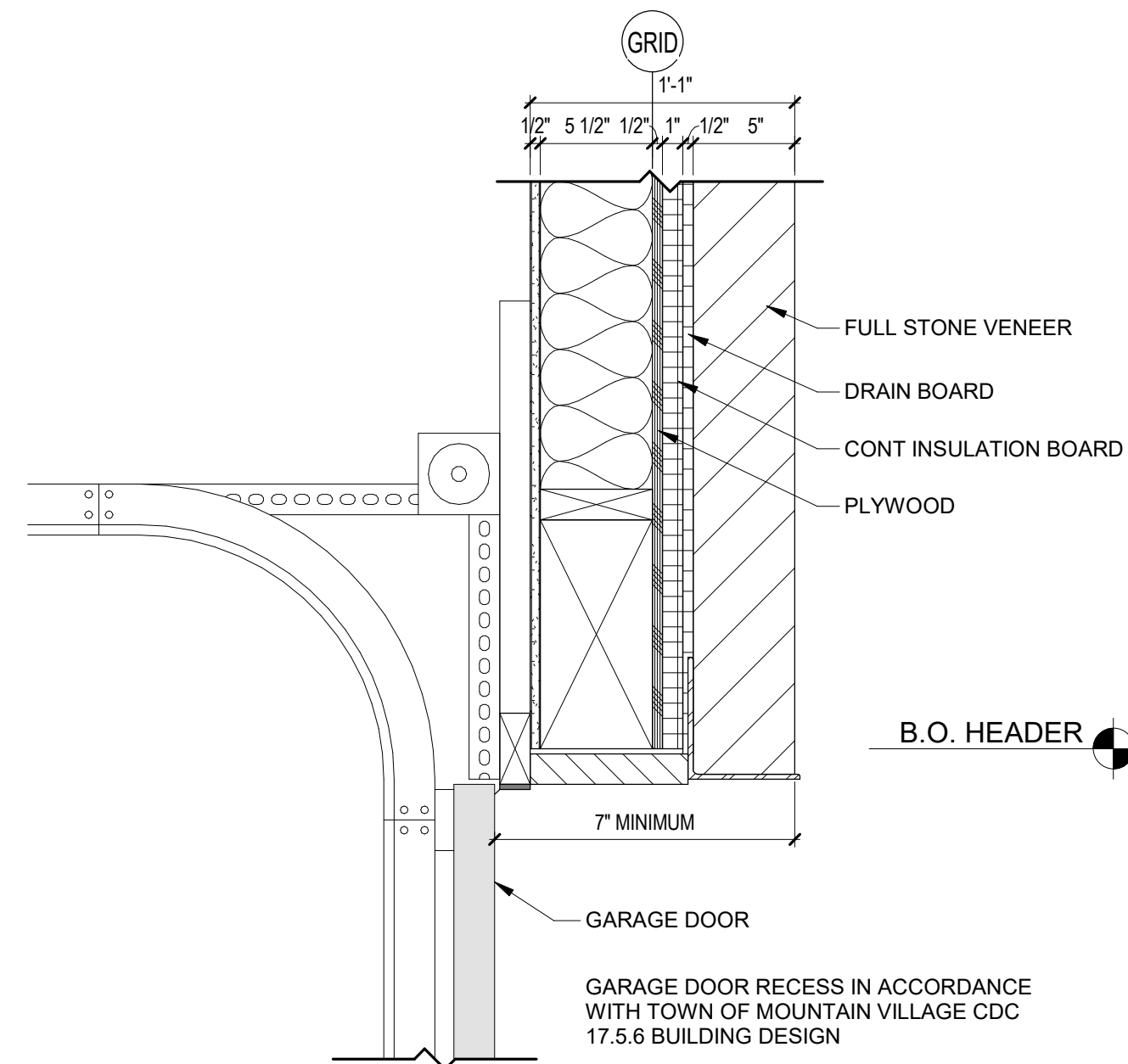
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**DOOR NOTES:**

1. DOOR INSTALLATION: INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. PROVIDE TEMPERED GLASS AS REQUIRED BY CODE.
3. SEE ELEVATIONS FOR DOOR MUNTIN PATTERN.
4. DOOR HARDWARE TO BE SELECTED BY DEVELOPER.
5. DOOR MANUFACTURER: KAWAL ALUMN; RAL9005 MATT FINISH.
6. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
7. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
8. PROVIDE SCREENS FOR ALL DOORS.
9. DOORS SHALL BE IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE CHAPTER 17.5 DESIGN REGULATIONS (17.5.6.H DOORS AND ENTRY WAYS).

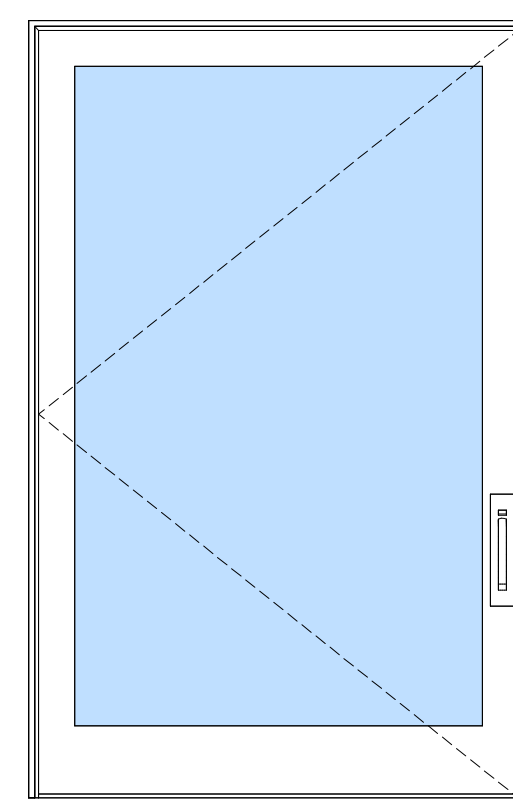


**1 GARAGE DOOR RECESS**  
1 1/2" = 1'-0"

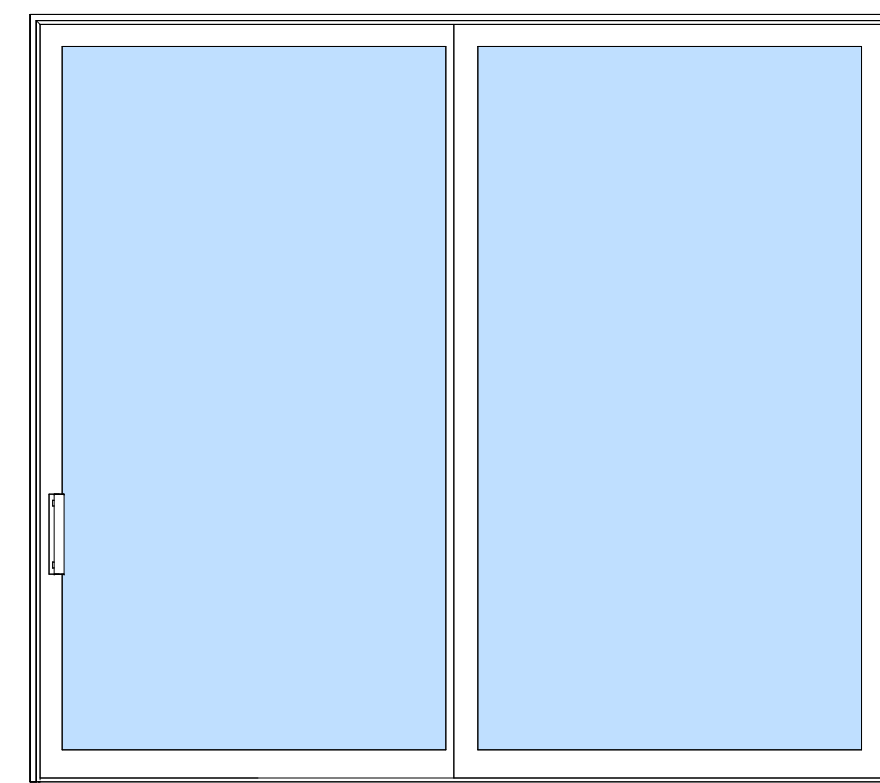
DOOR SCHEDULE EXTERIOR PANEL						
MARK	ROOM NAME	TYPE MARK	PANEL WIDTH	PANEL HEIGHT	TYPE	COMMENTS
101A	ENTRY	A	5'-0"	8'-0"	CUSTOM PIVOT	
107B	GARAGE	C	9'-0"	9'-0"	OVERHEAD DOOR	VERTICAL WOOD; MATCH SIDING
107C	GARAGE	C	9'-0"	9'-0"	OVERHEAD DOOR	VERTICAL WOOD; MATCH SIDING

DOOR SCHEDULE EXTERIOR FRAME						
MARK	ROOM NAME	TYPE MARK	UNIT WIDTH	UNIT HEIGHT	TYPE	COMMENTS
001	FAMILY	B	11'-6"	8'-0"	SLIDING PATIO (2 PANEL)	KAWAL ALUMN; RAL9005 MATT FINISH
002B	BEDROOM 1	B	9'-0"	8'-0"	SLIDING PATIO (2 PANEL)	KAWAL ALUMN; RAL9005 MATT FINISH
102	LIVING	B	12'-6"	9'-0"	SLIDING PATIO (2 PANEL)	KAWAL ALUMN; RAL9005 MATT FINISH
103	DINING	B	12'-6"	9'-0"	SLIDING PATIO (2 PANEL)	KAWAL ALUMN; RAL9005 MATT FINISH
202B	PRIMARY SUITE	B	9'-0"	8'-0"	SLIDING PATIO (2 PANEL)	KAWAL ALUMN; RAL9005 MATT FINISH
202C	PRIMARY SUITE	B	9'-0"	8'-0"	SLIDING PATIO (2 PANEL)	KAWAL ALUMN; RAL9005 MATT FINISH
207B	BEDROOM 2	B	12'-6"	8'-0"	SLIDING PATIO (2 PANEL)	KAWAL ALUMN; RAL9005 MATT FINISH

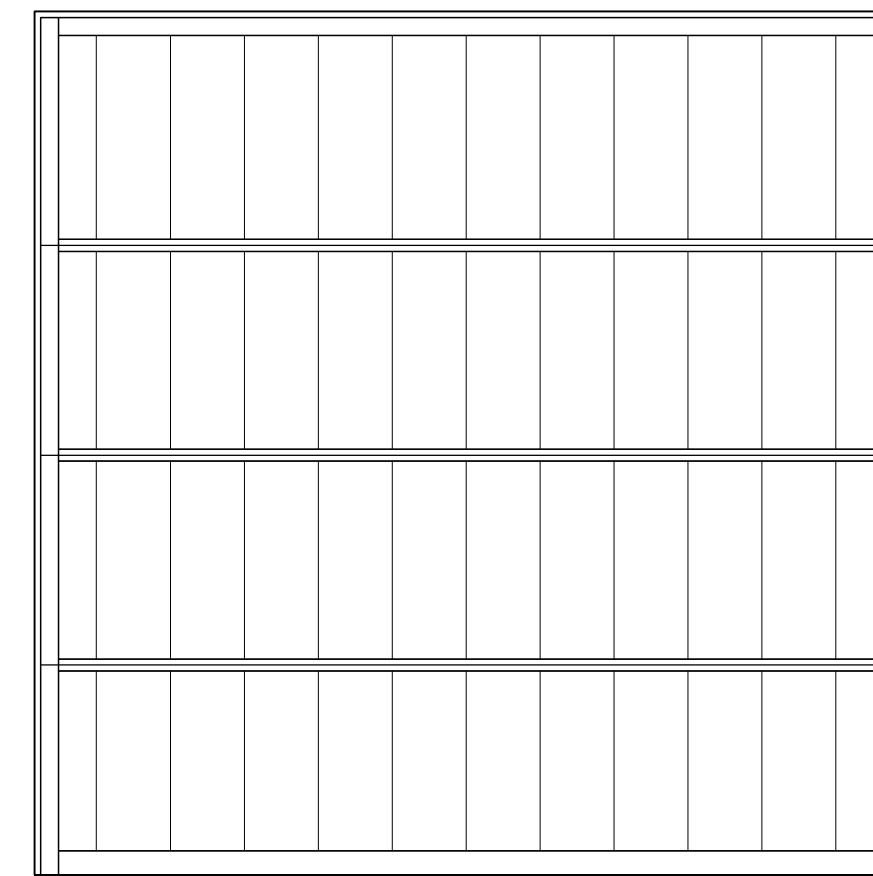
DOOR SCHEDULE INTERIOR PANEL						
MARK	ROOM NAME	TYPE MARK	PANEL WIDTH	PANEL HEIGHT	TYPE	COMMENTS
002A	BEDROOM 1	D	2'-8"	7'-6"	SWING	
003	BATH 1	E	2'-4"	7'-6"	POCKET	
005	BUNK	D	2'-8"	7'-6"	SWING	
006A	BUNK BATH	D	2'-6"	7'-6"	SWING	
006B	BUNK BATH	D	2'-6"	7'-6"	SWING	
008	BUNK CLO	D	2'-4"	7'-6"	SWING	
009	LAUNDRY	D	3'-0"	7'-6"	SWING	
010	MECH	D	3'-0"	7'-6"	SWING	20 MIN FIRE RATED
106	POWDER	E	2'-4"	7'-6"	POCKET	
107A	GARAGE	D	3'-0"	7'-6"	SWING	20 MIN FIRE RATED
202A	PRIMARY SUITE	D	2'-8"	7'-6"	SWING	
203	PRIMARY BATH	D	2'-8"	7'-6"	SWING	
205	PRIMARY WC	E	2'-4"	7'-6"	POCKET	
206	PRIMARY CLO	E	2'-4"	7'-6"	POCKET	
207A	BEDROOM 2	D	2'-8"	7'-6"	SWING	
208	BATH 2	E	2'-6"	7'-6"	POCKET	
210	CLO 2	E	2'-4"	7'-6"	POCKET	
211	LAUNDRY 2	F	3'-0"	7'-6"	SWING (LOUVERED)	



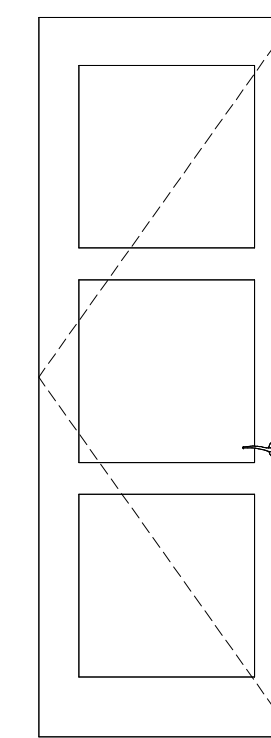
TYPE A  
CUSTOM PIVOT



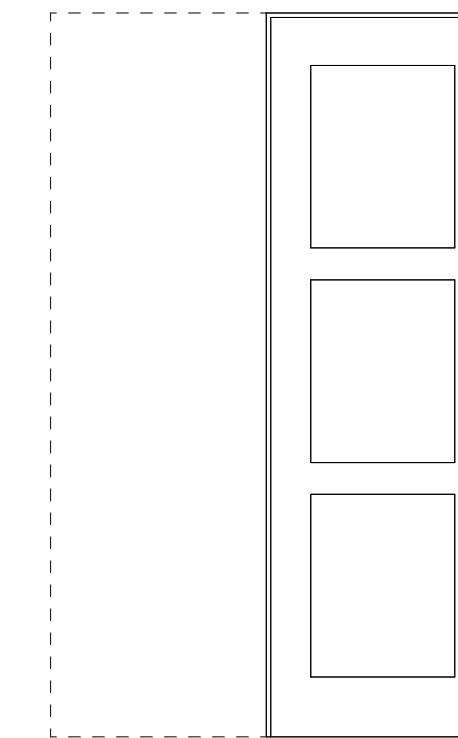
TYPE B  
SLIDING (2 PANEL)



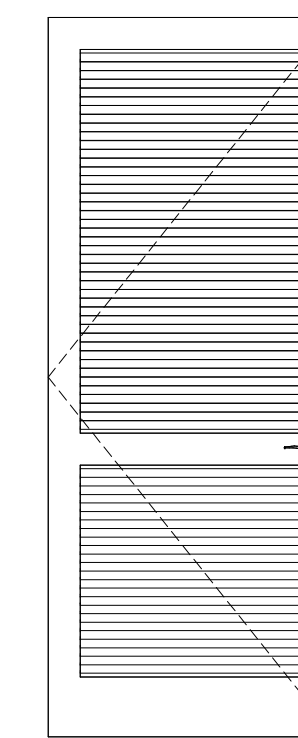
TYPE C  
VERTICAL WOOD; MATCH SIDING



TYPE D  
SWING

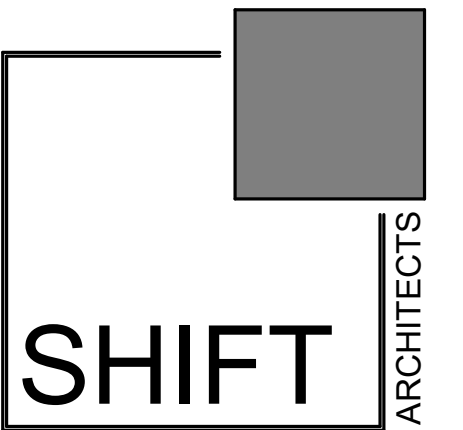


TYPE E  
POCKET



TYPE F  
LOUVERED

**DOOR TYPES**



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DOOR SCHEDULE

SHEET NUMBER

**A8.1**

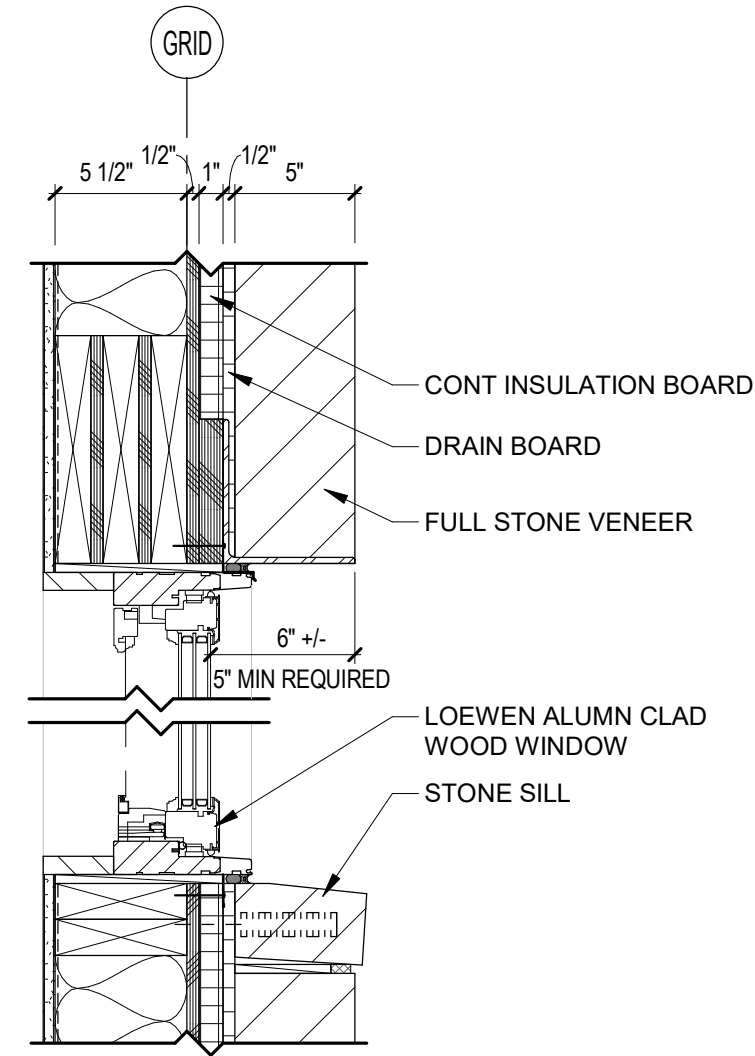
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**WINDOW NOTES:**

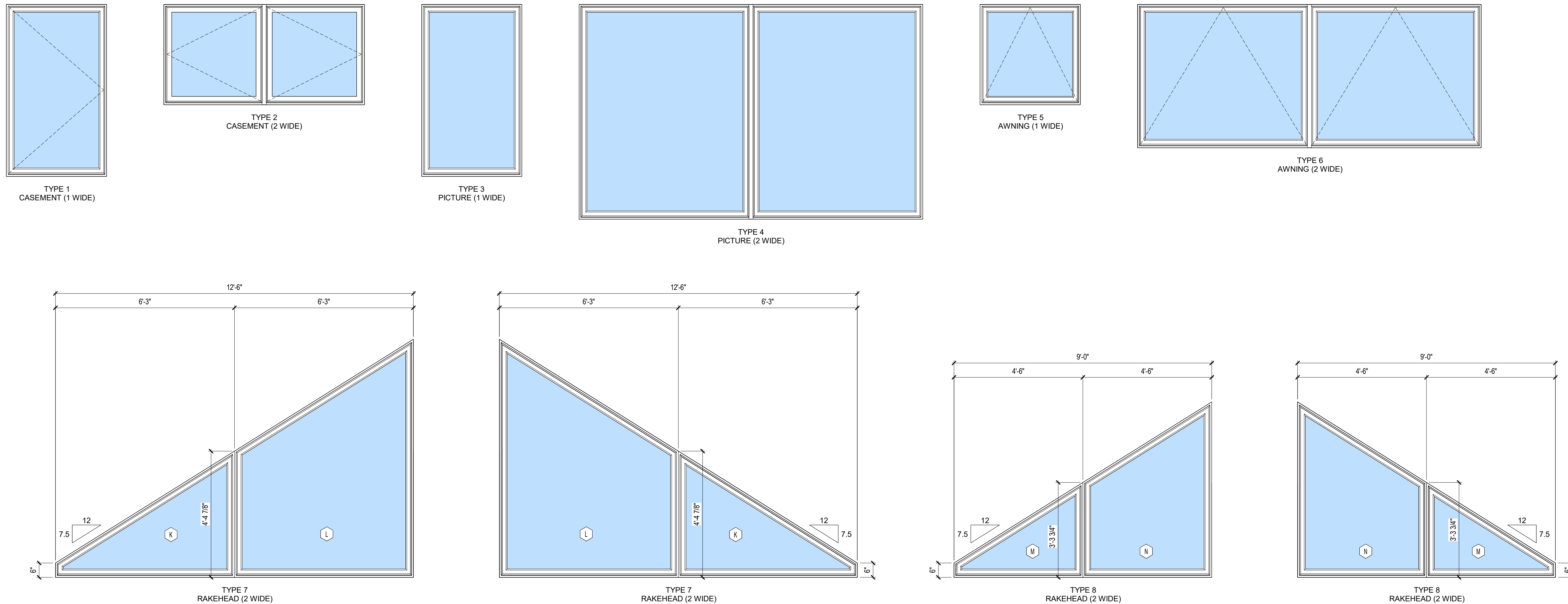
1. WINDOW INSTALLATION: INSTALL WINDOWS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. PROVIDE TEMPERED GLASS AS REQUIRED BY CODE.
3. SEE ELEVATIONS FOR WINDOW MUNTIN PATTERN.
4. WINDOW MANUFACTURER: KAWAL ALUMN; RAL9005 MATT FINISH.
5. WINDOW HARDWARE TO BE SELECTED BY DEVELOPER.
6. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
7. WINDOW MANUFACTURER TO VERIFY WINDOW SWINGS.
8. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
9. PROVIDE SCREENS FOR ALL OPERABLE WINDOWS.
10. WINDOWS SHALL BE IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE CHAPTER 17.5 DESIGN REGULATIONS (17.5.6.G GLAZING).



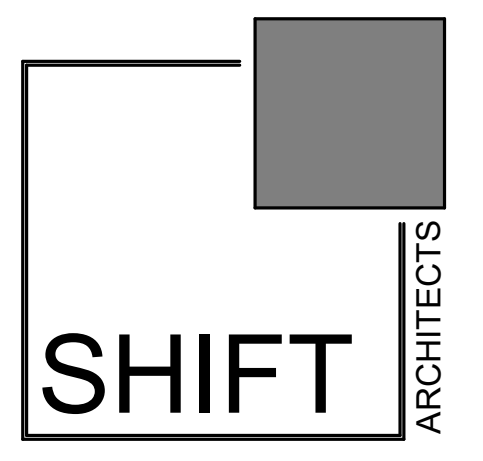
**WINDOW SCHEDULE**

ROOM NUMBER	ROOM NAME	MARK	UNIT WIDTH	UNIT HEIGHT	TYPE MARK	TYPE	MANUFACTURER	COMMENTS
005	BUNK	D	6'-0"	5'-0"	2	CASEMENT (2 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
102	LIVING	A	3'-6"	6'-0"	1	CASEMENT (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
102	LIVING	A	3'-6"	6'-0"	1	CASEMENT (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
102	LIVING	E	3'-6"	6'-0"	3	PICTURE (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
102	LIVING	E	3'-6"	6'-0"	3	PICTURE (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
102	LIVING	F	12'-6"	8'-0"	4	PICTURE (2 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
102	LIVING	K	6'-3"	6"	7	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
102	LIVING	L	6'-3"	4'-4 7/8"	7	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
103	DINING	J	12'-0"	5'-0"	6	AWNING (2 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
104	KITCHEN	C	7'-0"	3'-6"	2	CASEMENT (2 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
105	MUDROOM	C	7'-0"	3'-6"	2	CASEMENT (2 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
108	STAIRS	G	6'-0"	6'-0"	4	PICTURE (2 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
108	STAIRS	G	6'-0"	6'-0"	4	PICTURE (2 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
202	PRIMARY SUITE	B	3'-6"	5'-6"	1	CASEMENT (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
202	PRIMARY SUITE	B	3'-6"	5'-6"	1	CASEMENT (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
202	PRIMARY SUITE	M	4'-6"	6"	8	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
202	PRIMARY SUITE	M	4'-6"	6"	8	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
202	PRIMARY SUITE	N	4'-6"	3'-3 3/4"	8	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
202	PRIMARY SUITE	N	4'-6"	3'-3 3/4"	8	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
203	PRIMARY BATH	H	5'-0"	3'-6"	5	AWNING (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
207	BEDROOM 2	A	3'-6"	6'-0"	1	CASEMENT (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
207	BEDROOM 2	K	6'-3"	6"	7	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
207	BEDROOM 2	L	6'-3"	4'-4 7/8"	7	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
208	BATH 2	I	2'-6"	3'-6"	5	AWNING (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
209	SHW 2	I	2'-6"	3'-6"	5	AWNING (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	

**1 WINDOW HEAD/SILL STONE VENEER**  
1 1/2" = 1'-0"



**WINDOW TYPES**



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UNIT 1 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 AND 24 NKA TOWN OF MTN VILLAGE  
REC 10.6.95 BK 1 PG 1918

WINDOW SCHEDULE

SHEET NUMBER

**A8.2**

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### EXTERIOR FIXTURE X1:

EXTERIOR WALL SCONCE (5 TOTAL)



MEDIUM WALL MOUNT LANTERN	
COASTAL ELEMENTS COLLECTION	
MANUFACTURER	HINKLEY
ITEM	TAPER 2144TK
FINISH	TEXTURED BLACK
MATERIAL	COMPOSITE
GLASS	ETCHED LENS
WIDTH	7"
HEIGHT	15"
WEIGHT	3.5 LB
BACK PLATE	7"W X 15"H
EXTENSION	3.5"
TOP OF OUTLET	7.5"
LIGHT SOURCE	INTEGRATED LED
LED NAME	L214X-6
VOLTAGE	120V
COLOR TEMP	3000
LUMENS	800
CRI	90
INCANDESCENT EQUIVALENCY	1X60W
DIMMABLE	YES - CL TYPE DIMMER (SSL7A)
WET LOCATION	SUITABLE AS DEFINED BY NEC AND CEC
DARY SKY	YES

### EXTERIOR FIXTURE X2:

EXTERIOR WALL / STEP LIGHT (7 TOTAL)



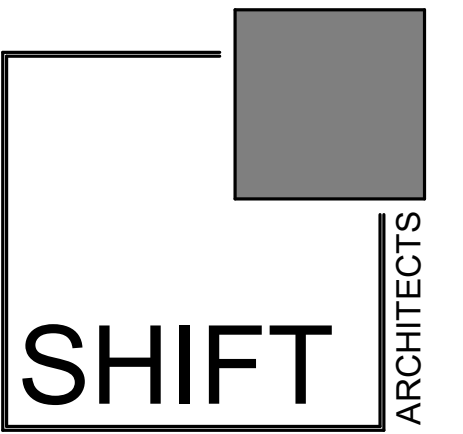
LANDSCAPE LIGHTING LED HORIZONTAL STEP LIGHT	
BLACK ON ALUMINUM	
MANUFACTURER	WAC LIGHTING
ITEM	4011-30-BK
MATERIAL	CORROSION RESISTANT ALUMINUM ALLOY
GLASS	FROSTED GLASS DIFFUSER
WIDTH	5"
HEIGHT	3"
DEPTH	1 1/2"
LUMENS	68
BEAM SPREAD	50"
CRI	90
COLOR TEMP	3000K
PRIMARY BULB	1 X 2.0 WATTS 2.0 LED
RATED LIFE	60,000 HOURS
DIMMABLE	10% - 100% DIMMING
	WITH ELECTRONIC LOW VOLTAGE (ELV) DIMMER
VOLTAGE	12V
LIGHT SOURCE	2 WATT (68 LUMENS) 12 VOLT INTEGRATED LED
CERTIFICATION	UL1838, IP66 WET LOCATIONS

### LIGHTING NOTES:

- FIELD VERIFY ALL LIGHTING LOCATIONS.
- TYPICAL LIGHTING LOCATION AT STAIRS: (2 EA) PER RUN (1) EA PER LANDING
- CONTRACTOR SHALL TAKE CARE IN PLANNING ROUGH FRAMING LAYOUT AS IT RELATES TO THE NEED TO CENTER FIXTURES IN HALLWAYS, RECESSES AND OTHER AREAS WHERE RELATIONSHIPS DON'T OFFER ANY LATITUDE OR FIELD ADJUSTMENTS.
- ALL RECESSED FIXTURES AT INSULATED CEILINGS TO BE IC RATED AND CERTIFIED AIR TIGHT CONSTRUCTION. ALL EXTERIOR FIXTURES, SHOWER FIXTURES AND FIXTURES OVER TUBS TO BE MARKED "SUITABLE FOR DAMP LOCATIONS".
- LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS
- PROVIDE FULL CUT OFF FIXTURES WITH LED 10W 2500K-2700K BULBS PER CDC REQUIREMENTS.
- MOUNT FIXTURES AT 7'-0" AFF MAX PER CDC REQUIREMENTS.
- EXTERIOR LIGHTING ON SECOND AND UPPER FLOORS SHALL REQUIRE EITHER A TIMER OR SENSOR TO REDUCE USAGE AND ENERGY LOSS DURING TIMES OF INACTIVITY.
- PROVIDE SCREWLESS CAPS IN ALL SWITCHES AND OUTLETS.
- PROVIDE OUTLET W/ USB AT EA BED (NIGHT STAND). VERIFY LOCATION IN FIELD.
- LIGHTING LAYOUT GRID DIMENSIONS ARE TO FACE OF FRAME WALLS TYP.

### LIGHTING LEGEND

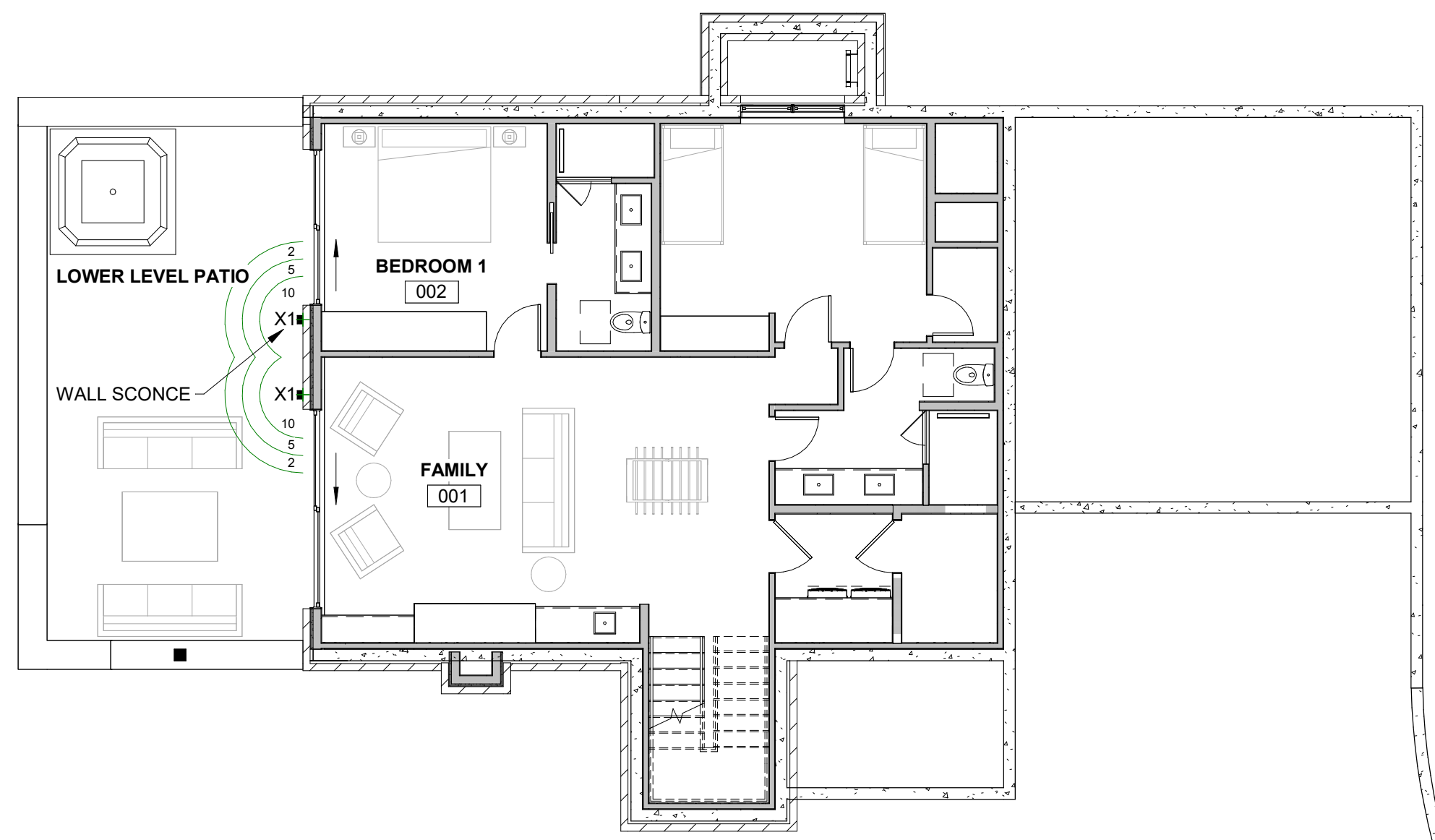
C1	RECESSED CAN	MS	MOTION SENSOR
C2	RECESSED CAN; DIRECTIONAL	P	PENDANT
C3	RECESSED CAN; WET LOCATIONS	UC	UNDER CABINET LED STRIP
C4	RECESSED CAN; LOW PROFILE	R	RECESSED LED LIGHT
E	RECESSED CAN; EXTERIOR	TL	TABLE LAMP RECEPTACLE
	CEILING FAN	FL	FLOOR LAMP RECEPTACLE
	CEILING FAN W/ LIGHT	USB	OUTLET WITH USB
C	2' LINEAR CLOSET FIXTURE	S	WALL MOUNTED SCONCE
FN	EXHAUST FAN	ST	STEP LIGHT
FN	EXHAUST FAN WITH LIGHT	S2	TWO WAY SWITCH
F1	2'X2' FLUSH MOUNT LED LIGHT	S3	THREE WAY SWITCH
F2	2'X4' FLUSH MOUNT LED LIGHT	TV	TV OUTLET
	SURFACE MOUNT FIXTURE	WG	WALL GRAZING
CH	CHANDELIER	X1	EXTERIOR SCONCE
	MONO POINT FIXTURE	X2	EXTERIOR WALL / STEP
	DOUBLE HEADED MONO POINT		FIXTURE LAYOUT GRID



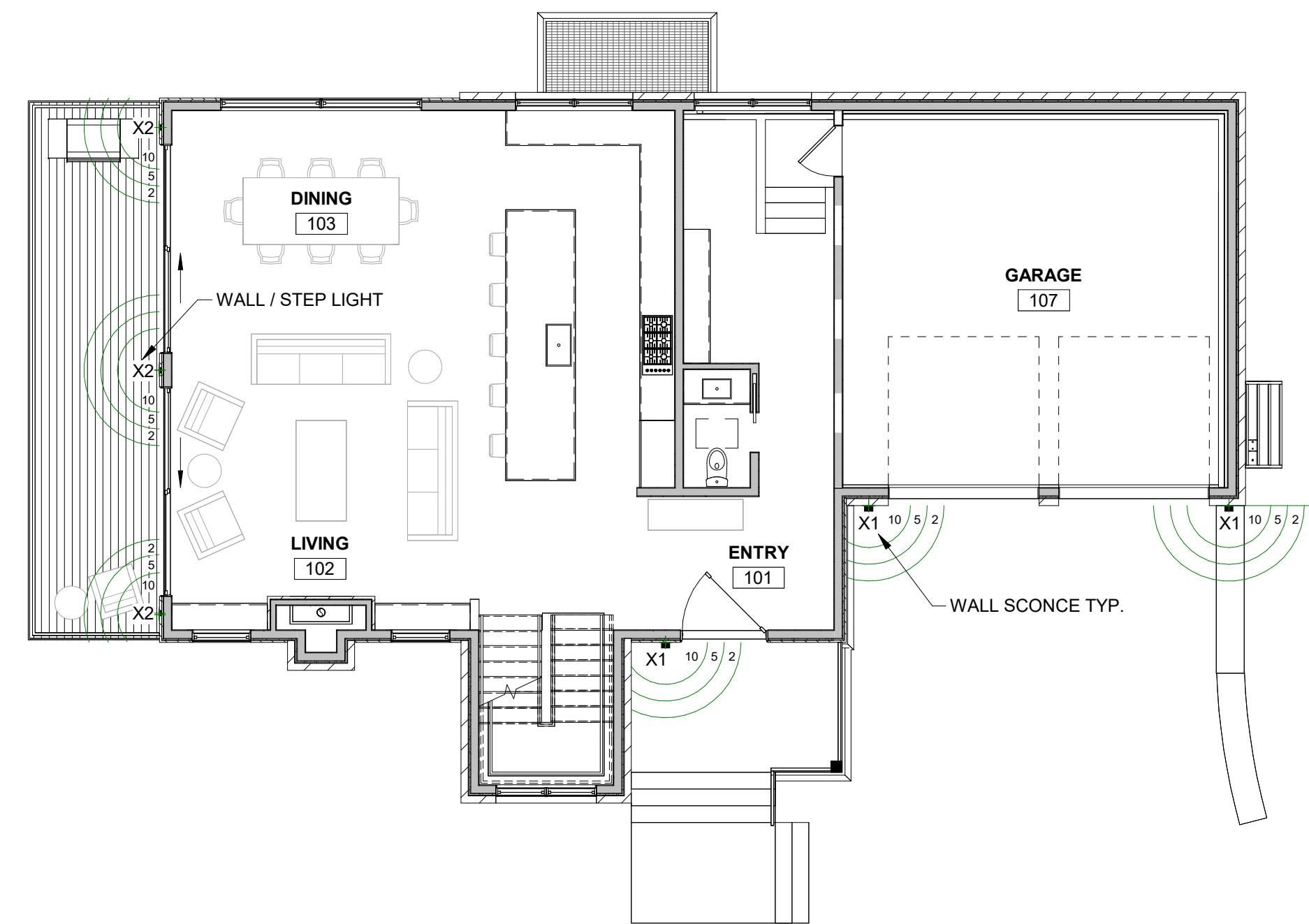
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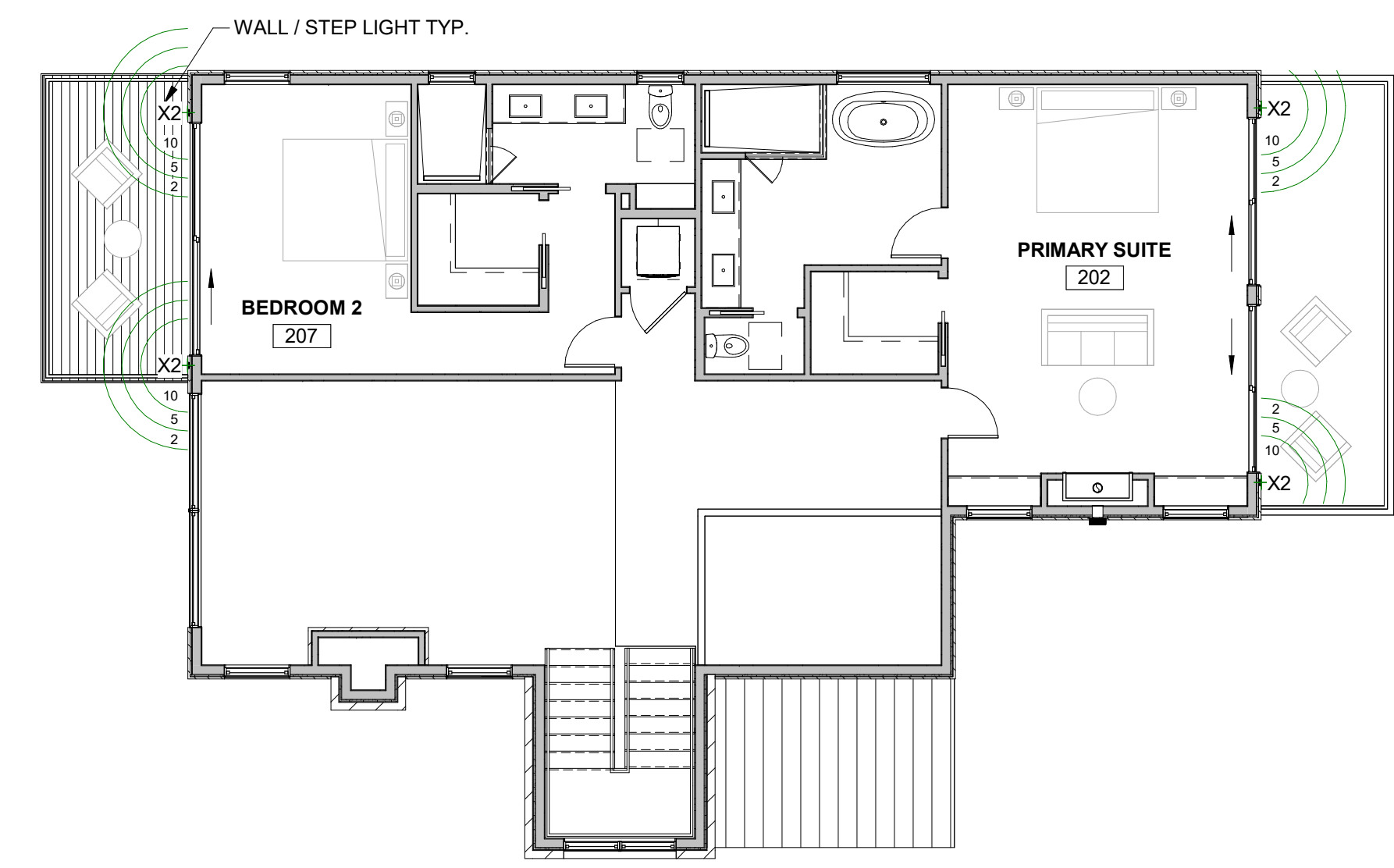
REVISIONS  
NO. DATE DESC.



**1 LOWER LEVEL**  
1/8" = 1'-0"



**2 GROUND LEVEL**  
1/8" = 1'-0"



**3 UPPER LEVEL**  
1/8" = 1'-0"

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EXTERIOR LIGHTING  
PLAN

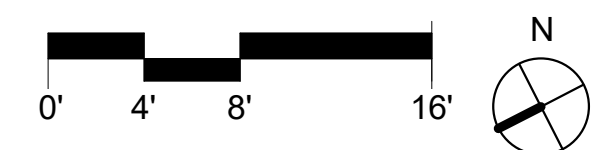
SHEET NUMBER

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**LTG1.1**

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## DEVELOPMENT REFERRAL FORM

Planning & Development Services  
Planning Division  
455 Mountain Village Blvd. Ste. A  
Mountain Village, CO 81435  
(970) 728-1392

**Referral Agency Comments**  
**Lot 1 Unit 1, TBD Eagle Drive**  
**New Single Family Home**

**Scott Heidergott, TFPD (12/29/23):** "Approval from TFPD."

**Rodney Walters, Town Forester (1/5/24):**

"The plan set is required to show the zone 1 wildfire mitigation boundary. No trees may remain within the zone 1 wildfire mitigation area unless CDC exceptions apply. Tree retention within the zone 1 boundary mitigation is extremely difficult due to excavation and construction activities. If trees will be retained within the zone 1 fire mitigation area, they must be approved by the Town Forester and a more durable tree protection fencing system must be installed in order to ensure they will not be damaged during construction.

According to wildfire defensive space Best Management Practices, no plant materials are recommended within 5 feet of the side of the building. No trees or shrubs may be planted directly adjacent to or underneath windows.

The aspen tree marked for retention closest to the window well must be removed, because it will be permanently damaged or killed by the construction of the window well."



**TO:** Mountain Village Design Review Board

**FROM:** Design Workshop on behalf of the Town of Mountain Village

**FOR:** Design Review Board Public Hearing; February 1, 2024

**DATE:** January 22, 2023

**RE:** Staff Memo – A) Initial Architecture and Site Review (IASR) Lot 165 Unit 3, 130 Cortina Drive, pursuant to the CDC; and B) a Review and Recommendation to the Town Council regarding a height variance pursuant to CDC Section 17.4.16

**APPLICATION OVERVIEW: New Single-Family residence on Lot 165 Unit 3**

**PROJECT GEOGRAPHY**

**Legal Description:** Unit 3 Cortina Land Condominiums Acc To The Map Of The Cortina Land Condominiums A Colorado Common Interest Community Lot 165 Town Of Mountain Village. IRC 2018 and all applicable codes as required by the Town of Mountain Village.

**Address:** 130 Cortina Drive

**Applicant/Agent:** Kristine Perpar, Shift Architects LLC

**Owner:** Chalets at Cortina, LLC

**Zoning:** Multi-Family

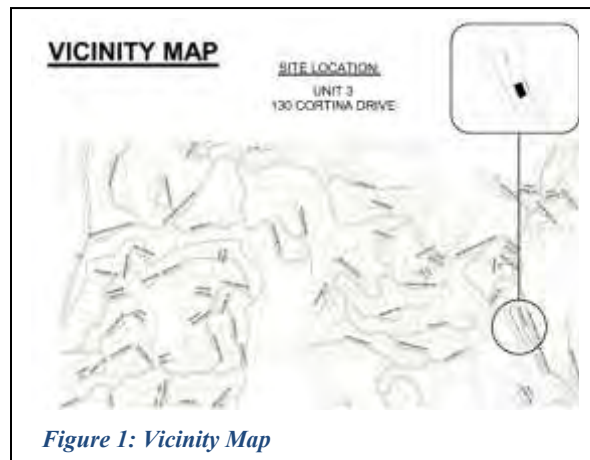
**Existing Use:** Vacant

**Proposed Use:** Single-Family Detached Condominium

**Lot Size:** .339 acres

**Adjacent Land Uses:**

- **North:** Multi-Family
- **East:** Multi-Family
- **West:** Multi-Family
- **South:** Multi-Family



*Figure 1: Vicinity Map*

**ATTACHMENTS**

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comments

**Case Summary:** Kristine Perpar of Shift Architects LLC is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) application for a new single-family detached condominium on Lot 165 Unit 3, 130 Cortina Drive.

The site is extremely sloped, with a majority of the site having a grade of over 53%. The proposed structure is a single-family detached condominium located in the multi-family zone district. While the structure reads as a single story from Cortina Drive, it is a four-story building that steps down the site towards San Joaquin Road. Due to the slope of the site and the setback requirements, the applicant is requesting a maximum height and average height variance, which is described in detail below.

The proposed structure is 4,952.48 sq ft, including a 652.5 sq ft garage, and utilizes a mixture of wood, stone, and metal siding for the exterior materials. The proposed structure includes two interior parking spaces.

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

*Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)*

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
<b>Maximum Building Height</b>	35' (shed) Maximum	49.36' (originally proposed at 53.31')
<b>Avg. Building Height</b>	30' Maximum	32.17' (originally proposed at 35.76')
<b>Maximum Lot Coverage</b>	65% (9,598.4 sq ft)	21% (3,072 sq ft)
<b>General Easement Setbacks</b>	No encroachment	n/a
<b>Roof Pitch</b>		
Primary		2:12
Secondary		5:12
<b>Exterior Material</b>		
Stone	35% minimum	35%
Windows/Door Glazing	40% maximum	18%
Metal	n/a	
Wood	n/a	
<b>Parking</b>	2 spaces*	2 spaces

*\*Single family detached condominiums have historically followed the single family common interest requirement of the CDC of (2) required spaces*

**Design Review Board Specific Approval:**

- 1) *Setback Encroachment – Front Staircases*
- 2) *Material: Metal Soffit and Fascia*

**Variance**

- 1) *Building Height Variance*

## **Chapter 17.3: ZONING AND LAND USE REGULATIONS**

### **17.3.3 Use Schedule**

*Staff: The applicant has identified that this structure is a single-family detached condominium, and the lot is located in the multi-family zone district. According to Table 3-1 Town of Mountain Village Land Use Schedule, a single-family dwelling platted as a condominium dwelling unit is permitted within the multi-family zone district.*

### **17.3.13 Maximum Lot Coverage**

*Staff: The maximum lot coverage for multi-family homes with lots under one acre is 65 percent. On this site, the maximum allowable site coverage is 9,598.4 square feet. The proposed structure covers 3,072 square feet, or 21 percent of the site, and is well below that 65 percent threshold.*

### **17.3.11 and 17.3.12: Building Height and Building Height Limits**

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates gable roof forms. Single-family, condominium developments are granted a maximum height of 35 feet and an average height of 30 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

*Staff: The primary roof form of the proposed structure is shed and is therefore granted a maximum height of 35 feet and an average height of 30 feet. The applicant has updated the design to reduce the height, now proposed at a maximum height of 49.36 feet and an average height of 32.17 feet. This reduction was achieved by moving the home closer to Cortina Drive. Due to the extreme slope of the site (an average 53% slope for the site) as well as an existing retaining wall that runs parallel on Cortina Drive for the length of the property, the applicant is requesting a variance to both the maximum height and average height of 14.36 feet and 2.17 feet, respectively. The area of impact for the variance is limited to the garage area and portions of a shed roof form which is driven by the extreme slope of the lot. The height variances are desired to provide for additional stories and square footage, as the steep natural grade of the site and the existing retaining wall limit the size of the building footprint and therefore the size of an individual story.*

*The applicant has indicated that they feel difficulties as it relates to accessing the site and developing a driveway that follows CDC requirements for slope.*

*Town Council will make the ultimate decision on whether this variance is granted, however this issue is before DRB for a recommendation. Figures 2-5 show the elevations as they relate to the natural grade and height measurements of the proposed structure and Figure 6 shows the 35' parallel offset to show portions of the structure above the 35-foot threshold.*



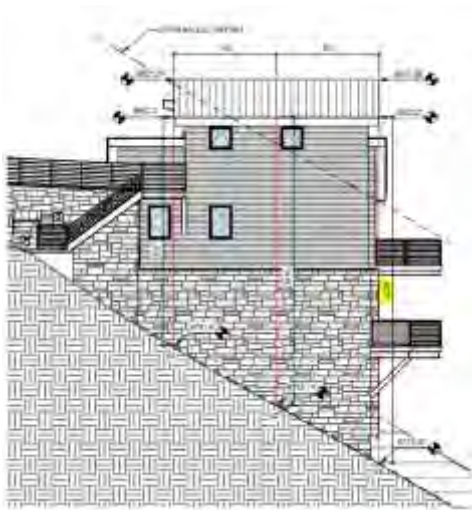


Figure 2: South Elevation - Height

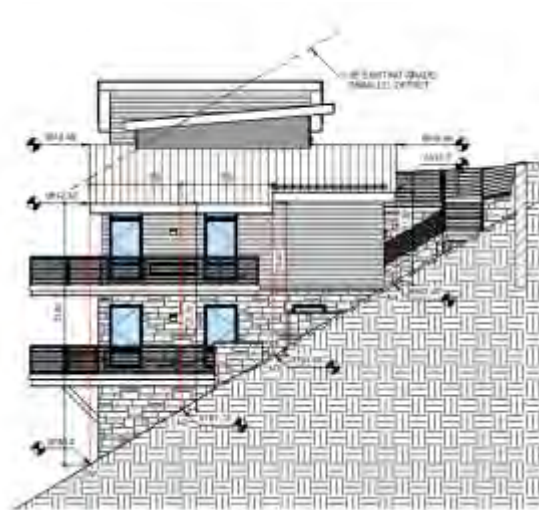


Figure 3: North Elevation- Height



Figure 4: West Elevation - Height



Figure 5: East Elevation - Height

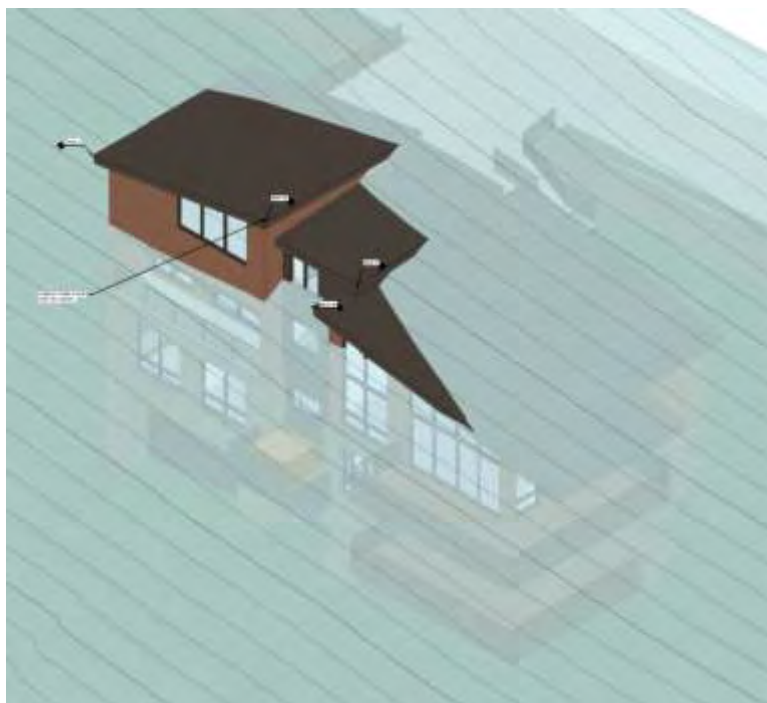


Figure 6: Height Analysis 3D Planar View with 35-foot offset

According to the CDC, the following criteria shall be met for the review authority to approve a variance:

a. The strict development application of the CDC regulations would result in exceptional and undue hardship upon the property owner in the development of property lot because of special circumstances applicable to the lot such as size, shape, topography or other extraordinary or exceptional physical conditions.

*Staff: The entirety of the lot has significant slopes, with a majority of the site having a slope greater than 53%. Additionally, the impractical levels of excavation and site disturbance make it difficult to expand the home's footprint in order to decrease its overall height. Both circumstances limit the ability of the lot to adequately site a development within a strict application of the CDC regulation. Staff believes both of these issues could constitute special circumstances.*

b. The variance can be granted without substantial detriment to the public health, safety and welfare;

*Staff: This excess height poses no threat to public health, safety and welfare.*

c. The variance can be granted without substantial impairment of the intent of the CDC;

*Staff: Staff does not believe the granting of this variance represents a "substantial impairment of the intent of the CDC" as the proposed structure adheres to a majority of the design regulations if the CDC, as outlined throughout this memo.*

d. Granting the variance does not constitute a grant of special privilege in excess of that enjoyed by other property owners in the same zoning district, such as without limitation, allowing for a larger home size or building height than those found in the same zone district;

*Staff: The DRB has approved height variances before due to unique site conditions related to the slope of a lot. DRB members should discuss whether this variance represents the granting of special privilege in excess of that enjoyed by other property owners.*

e. Reasonable use of the property is not otherwise available without granting of a variance, and the variance being granted is the minimum necessary to allow for reasonable use;

*Staff: The proposed development and associated height variance request allows the lot to be used in a manner similar to that of other sites within the Cortina subdivision and throughout Mountain Village. The applicant has made changes since the original application to reduce the requested height variance.*

f. The lot for which the variance is being granted was not created in violation of Town regulations or Colorado State Statutes in effect at the time the lot was created;

g. The variance is not solely based on economic hardship alone; and

h. The proposed variance meets all applicable Town regulations and standards unless a variance is sought for such regulations or standards.

*Staff: Staff believes the criteria for f-h are all being met.*

### 17.3.14: General Easement Setbacks

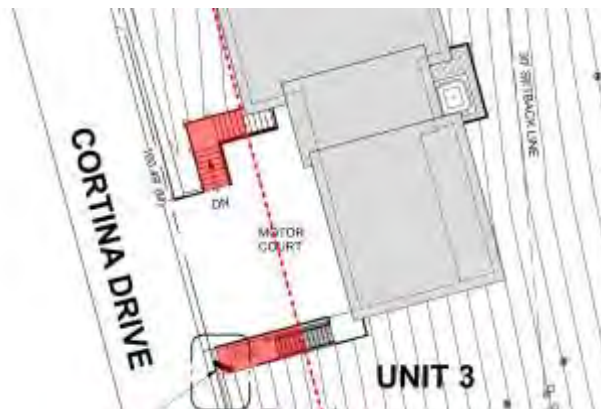
The CDC provides that setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within setbacks such as driveways, ski access, natural landscaping, utilities, address monuments, and fire mitigation. There is no general easement on the site, but Cortina 3 is burdened by a 16-foot setback on three sides of the lot as well as an increased 30-foot setback located on the downslope portion of the site adjacent to San Joaquin Road to the east.

*Staff: There are some encroachments in the setbacks including the following:*

- *Utilities: Utilities are proposed to cross all sides of setback.*
- *Driveway: The motor court and associated retaining walls is proposed to take access from Cortina Drive and crosses the setback to the homesite. The driveway includes two structural support walls that encroach upon the setback and Cortina Drive Right of Way. The driveway and associated structural walls are essential to provide access to the site in a safe grade given the extreme slope of the site. The proposed encroachments need to be reviewed and approved by the Cortina HOA.*
- *Address Monument: The address monument is located at the intersection of the driveway and Cortina Drive in the setback.*

*Staff: The proposal also includes encroachments that are not considered permitted activity which will require a specific approval.*

- *Front two Staircases. The DRB should discuss if this stair encroachment is appropriate given the site constraints.*



*Figure 7: Front Staircases Setback Encroachment*

## Chapter 17.5: DESIGN REGULATIONS

### 17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

*Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The proposed design seeks to enhance the current architectural style found in the Cortina Subdivision and Mountain Village by adapting it to suit the challenging alpine building conditions. While it features a contemporary design, it preserves the traditional choice of materials commonly found in Mountain Village, showing sensitivity to the architectural context of the nearby neighborhood.*

### **17.5.5: Building Siting Design**

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

*Staff: The applicant has proposed locating development toward the north and west of the site to blend with the slopes as possible and to reduce the overall disturbance of the site. Since the original application, the home has been moved closer to Cortina Drive to reduce the requested height variance. The development does not propose grading, clearing, direct drainage, direct access, or other direct impact onto the adjoining lots. The applicant has indicated that snow guards will be installed to provide protection to outdoor living areas and pathways.*



*Figure 8: Proposed Structure Slope Relationship*

### **17.5.6: Building Design**

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. Roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation is required. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

*Staff: Staff comments regarding each of the relevant subsections are below.*

#### *Building Form:*

*The form of the proposed residential structure follows an alpine mountain design that is grounded to withstand the extreme natural forces of wind, snow, and heavy rain. The proposed use of stone at the base reinforces this requirement.*

*Exterior Wall Form:*

*The proposed development has exterior walls that are relatively simple in design and portray a massing that is substantially grounded to the site. This is reinforced through the use of stone materials as the base, and wood siding above.*

*Roof Form:*

*The roof design is a mixture of shed and flat roof forms that are broken up to create visual interest. The roof material is matte black standing seam metal and incorporates snow retention systems. The roof adheres to the requirements of the CDC.*

*Chimneys, Vent and Rooftop Equipment Design:*

*The applicant has indicated that the proposed development utilizes natural gas fireplaces with the direct vent on the North side of the building. The application adheres to the requirements of the CDC for equipment design.*

*Exterior Walls Materials and Color:*

*The building utilizes Telluride stone veneer at the base of the home. A mix of vertical wood siding and horizontal steel siding is incorporated along the exterior of the structure. Stone walls account for approximately 35 percent of exterior materials, which meets the minimum 35 percent stone requirement. The applicant has indicated that the soffit will be made of metal. The applicant has also indicated that the fascia will be made of wood and wrapped with metal flat sheets to match the material of the roof, which will require DRB approval.*

*Glazing:*

*The maximum window area of the building, including window and door glazing, is approximately 18 percent of the total building façade.*

*Doors and Entryways:*

*Exhibit A Sheets A8.1 and A8.2 show the window and door schedules, as well as schedule for the garage door. The doors and windows will be wrapped in matte black aluminum cladding. All CDC requirements are met.*

*Decks and Balconies:*

*The proposed balconies enhance the overall architecture of the building by creating variety and detail on the exterior elevations as outlined in the CDC.*

*Required Surveys and Inspections:*

*A monumented land survey will need to be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.*

## **17.5.7: Grading and Drainage Design**

Staff: Minimal grading, as indicated in sheet C2.1, is proposed to ensure proper drainage away from the residence. The overall site grading will largely conform to the existing conditions before the final construction phase. The current drainage around the house meets the CDC requirements, maintaining a positive slope away from the residence.

The applicant also provided the proposed snow melt area and the calculation. The snow melt areas are located in three areas: Entry Porch/ Concrete Stair (183 sf), Primary Deck (145 sf), and Mud Room Entry/ Motor Court (699 sf). It is a total of 1,027 sf.

**17.5.8: Parking Regulations**

Staff: The applicant meets the parking criteria, which stipulates a minimum of two parking spaces per single-family detached condominium. The proposed spaces also meet the minimum size requirements of the CDC.



Figure 9: Snow Melt Area

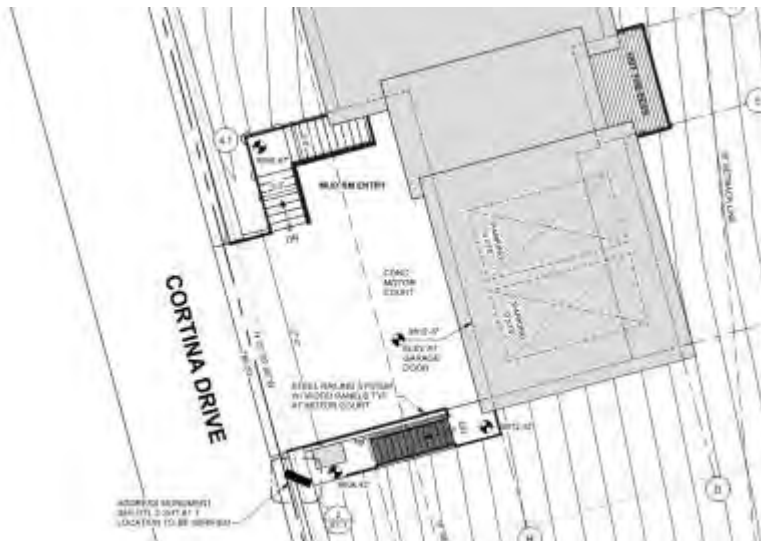


Figure 9: Site Plan – Proposed Parking

**17.5.9: Landscaping Regulations**

Staff: An initial landscaping plan was provided on sheet A1.3 of Exhibit A. The applicant is proposing the addition of 14 Engelmann Spruce, 3 Colorado Blue Spruce, and 8 Bristlecone Pine along with retaining the existing vegetation outside of the Zone 1 fire mitigation area.

It should also be noted that an access drive to the adjacent property is located on the site, off of San Joaquin Drive, for construction of Cortina Unit 4. This was approved as part of DRB’s review of Cortina Unit 4 and is intended to be temporary. The portion that accesses Unit 4 will be removed and regraded prior to completion of that project. The temporary access on Unit 3 will remain on this site and will be removed and re-graded at the completion of this project. Once the pre-existing grade is re-established, the landscape will be planted. Tree plantings will serve as a form of screening from the road,

approximately matching the number of trees lost during the creation of the construction access. Unit 3 will be required to enter into a development agreement and finance guarantee with the Town to ensure the construction access can be restored to previous grade and re-vegetated.

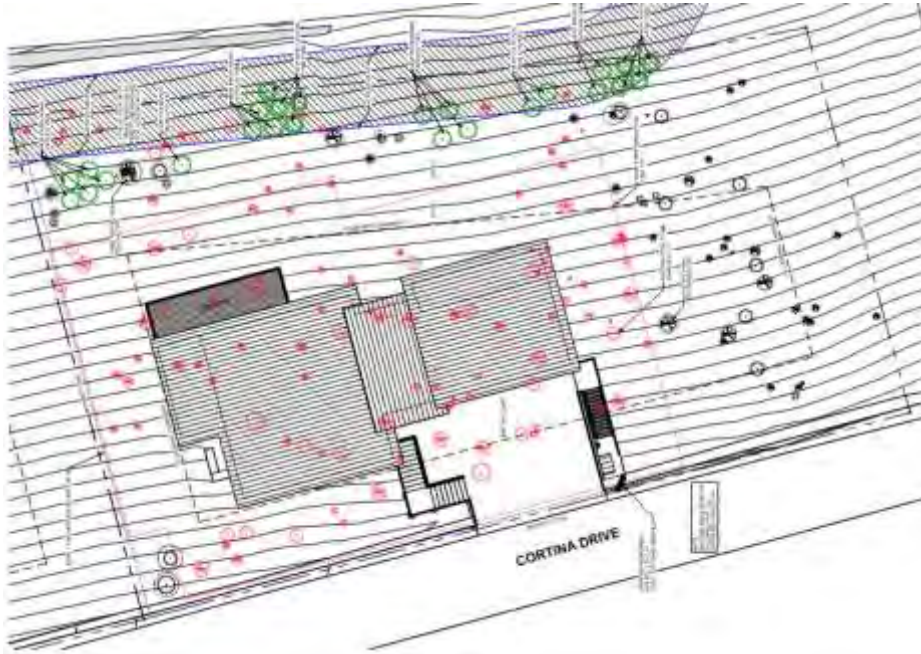


Figure 10: Landscape Plan

**17.5.11: Utilities**

Staff: The applicant has determined that accessing utilities from San Joaquin road is preferable. Utilities are situated around the structure. Gas and water lines are running the south and east side of the property with the gas meter located on the right side of Auto Court. Electric meter is located right beside the gas meter and the line runs on the west side of the property. The utility plan, as presented on sheet C.3 within the submitted documentation, clearly illustrates the locations of these utilities. All utilities traverse the setback area surrounding the residence and comply with the CDC regulations.

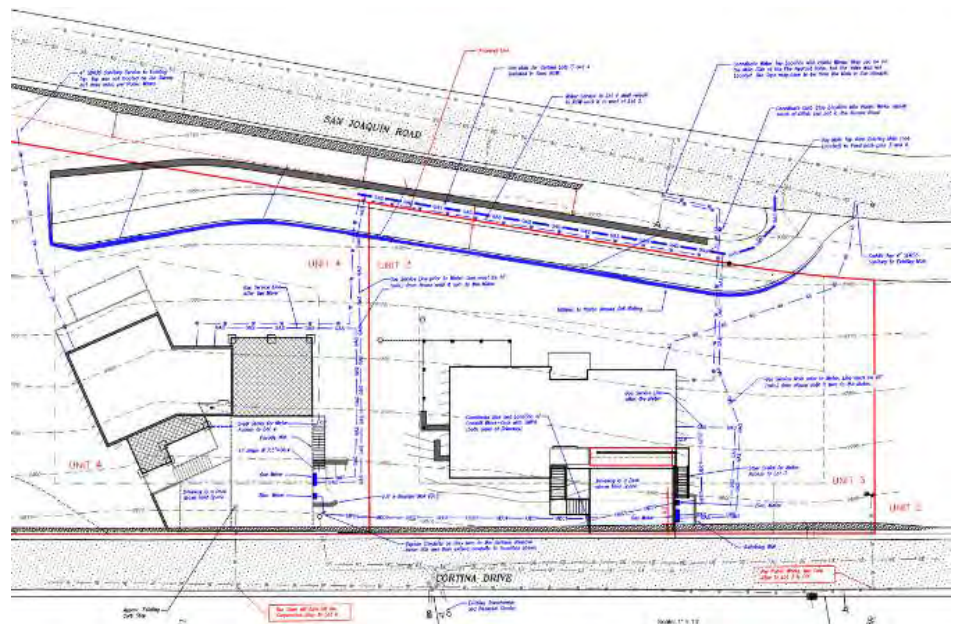


Figure 11: Utilities Plan

### 17.5.12: Lighting Regulations

Staff: The applicant has provided an initial lighting plan on sheet LTG1.1 of Exhibit A. This illustrates the lighting types and locations. The plan proposes the use of two exterior lighting fixtures: downlit wall lights and steplights. The wall lights are located on the entry porch and in front of mud room and garage. Also, there are Rec Room Deck, Hot Tub Deck, Living Deck, and Primary Deck. Additional detail, including cut sheets are required as part of the lighting plan submission at final review. Both lighting fixtures appear meet the requirements of the CDC.



Figure 12: Downlit Wall Light



Figure 13: Step Light

### 17.5.13: Sign Regulations

Staff: An address monument is proposed within the setback. This is proposed to be steel with 6" tall, steel numbers with reflective material outline on a concealed LED sign light.

Telluride Fire Protection District: Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.

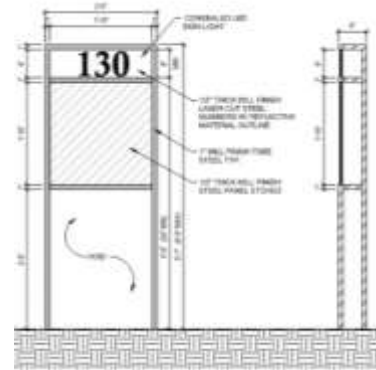


Figure 14: Address Monument

## Chapter 17.6: SUPPLEMENTARY REGULATIONS

### 17.6.1: Environmental Regulations

Staff: Fire Mitigation Plan is not required for the initial review. The applicant is required to provide it for the final review.

Town Forrester: Plans need to show the limits of disturbance (LOD) fencing. The plans need a construction mitigation sheet that shows areas designated for material storage, parking, excavator access, temporary+ equipment pads, and soil storage.

The tree protection fencing needs to be shown going around the groups of trees, instead of around individual trees (see image right).



Figure 14: Town Forrester landscaping comments



### **17.6.6: Roads and Driveway Standards**

*Sheet C2.1 shows the Motor Court profile for the proposed structure. The driveway is made of concrete and extends off of Cortina Drive to connect to the garage and entryway off of the mud room level. The bridge is supported by stone veneer walls with steel rail system that connect to the natural grade of the structure and extended into the setback. The proposed driveway has a maximum grade of 5.12 percent and is within the allowed 8 percent maximum grade requirement.*

*The applicant is required to provide details on how the driveway attaches to the existing Hilifker retaining wall that provides structural support to Cortina Drive. Also, the applicant shall clarify the use of the driveway indicated as 'Joint Access for Lot 3 and 4 (Submitted and Approved with Lot 4)' in Exhibit A.*

### **17.6.8: Solid Fuel Burning Device Regulations**

*Staff: The applicant has indicated that all fireplaces in the proposed structures will be natural gas, which meet the requirements of the CDC.*

## **Chapter 17.7: BUILDING REGULATIONS**

### **17.7.20: Construction Mitigation**

*Staff: No construction mitigation plan was provided by the applicant as part of the initial review. A CMP is not required for initial but is required to be submitted for final review.*

***Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.***

**Staff Recommendation:** There are two items before DRB with this application, a recommendation to Town Council regarding a height variance, and an Initial Architectural and Site Review. In terms of the Height Variance Recommendation, Staff has provided a motion for both recommendation of approval and denial depending on the findings of DRB.

If DRB chooses to recommend **approval** of the **variance**, then staff suggests the following motion:

*I move to recommend approval to Town Council of a maximum height variance of 14.36 feet above the allowable and an average height variance of 2.17 feet above the allowable, per the height restrictions listed in the CDC for portions of a new single-family detached condominium located at Lot 165 Unit 3, 130 Cortina Drive based on the evidence provided in the staff memo of record dated **February 1, 2024** and the findings of this meeting.*

If DRB chooses to recommend **denial** of the height **variance** then staff suggests the following motion:

*I move to recommend denial to Town Council of a maximum height variance of 14.36 feet above the allowable and an average height variance of 2.17 feet above the allowable, per the height restrictions listed in the CDC for portions of a new single-family detached condominium located at Lot 165 Unit 3, 130 Cortina Drive based on the evidence provided in the staff memo of record dated **February 1, 2024** and the findings of this meeting.*

Staff suggest the following motion for approval of the Initial Architecture and Site Review (if the recommendation is for denial of the height variance request and Town Council also denies the height variance, then condition 1 brings this back to an Initial Review):

*I move to approve the Initial Architecture and Site Review for a new multi-family home located at Lot 165 Unit 3, based on the evidence provided in the staff memo of record dated February 1, 2024, and the findings of this meeting.*

*With the following specific approvals:*

**Design Review Board Specific Approval:**

- 1) Setback Encroachment- Front Staircases
- 2) Material: Metal Fascia

**Conditions:**

- 1) *Prior to final review the applicant will obtain approval from Town Council for the proposed height variance. If a variance is not approved, an updated Initial Review shall be required.*
- 2) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum and average building height.*
- 3) *Prior to final review, the applicant shall clarify the use of driveway indicated as 'Joint Access for Lot 3 and 4 (Submitted and Approved with Lot 4)' in Exhibit A by noting that this is a temporary access for construction only.*
- 4) *Prior to final review, the applicant shall provide an updated landscape and fire mitigation plans showing compliance with the Fire Mitigation standards.*
- 5) *The applicant shall work with public works and utility providers to finalize the utilities plan as a condition of approval prior to building permit.*
- 6) *Prior to building the permit the applicant will enter into a development agreement with the town to assure that the temporary construction access is removed, restored to pre-existing grade, and landscaped per the approved landscape plan.*
- 7) *The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.*
- 8) *A Knox Box for emergency access is recommended.*
- 9) *Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted and deemed complete 2023.*
- 10) *Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) – Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.*
- 11) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
  - a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
  - b. *Wood that is stained in the approved color(s);*
  - c. *Any approved metal exterior material;*
  - d. *Roofing material(s); and*
  - e. *Any other approved exterior materials*

12) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*

**Date:** January 15, 2024  
**By:** Kristine Perpar, Architect  
**Sent to:** Mountain Village Planning Staff  
**Re:** Design Review and Height Variance Application Narrative  
**Property Address:** 130 Cortina Drive, Mountain Village, CO 81435

Dear Mountain Village Town Council and Design Review Board,  
This revised narrative outlines a request for Design Review Board Initial Architecture and Site Review approval along with a recommendation for approval for a proposed height variance for Lot 165-3, 130 Cortina Drive (“Cortina 3”). Additionally, this narrative addresses the Criteria for Decision provided in the CDC for both of these requests. It should be noted that the proposal has been revised since the December DRB hearing to address DRB concerns related to the overall variance requests for Maximum and Maximum Average Heights.

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**Requests:**

1. Initial Architectural and Site Review Approval
2. Building Height and Average Building Height Recommendation of Approval

**Project Overview:**

**Legal Description:** UNIT 3 CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE

**Address:** 130 Cortina Drive

**Zoning:** Multi-Family

**Existing Use:** Vacant

**Proposed Use:** Single-Family Detached Condominium

**Lot Size:** 0.34 Acres

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Maximum Building Height	35'-0" (Shed)	49.36'
Maximum Avg. Building Height	30'-0"	32.17'
Maximum Lot Coverage	5,907.2 (40%)	3,072 SF (21%)
General Easement Setbacks	No Encroachment	No Encroachment
Roof Pitch		
Primary		2:12
Secondary		5:12
Exterior Materials		
Stone	35% Minimum	35%
Glazing	40% Maximum	18%
Parking	2 spaces	2 spaces

**DRB Specific Approvals:**

General Easement Encroachment – Front Staircases, Utilities, Address Monument  
Materials – Black Metal Fascia

**Criteria for Decision:** *The following criteria for Initial Architecture and Site Review have been addressed as part of this narrative. We feel that we are meeting the CDC requirements within this application, narrative, and architectural plan set; allowing for the DRB to grant approval of this Initial Review.*

Applicant notes will be provided in [Blue Text](#). In order to reduce the length of this narrative, only relevant sections of the DRB Rules and Regulations related to the project have been addressed.

## **Chapter 17.3: Zoning and Land Use Regulations**

### **17.3.12: Building Height Limits**

Applicant Note: At the Initial DRB hearing, the DRB expressed concerns with the variance request for building heights and requested that the design be revised to reduce the overall maximum and maximum average height request. In order to address those concerns, the home was modified to reduce overall heights of the home. It should be noted that while the height request has been reduced, the steepness of the lot still necessitates a Height Variance for Maximum Building Height and Maximum Average Building Heights.

Building Height and Maximum Average Building heights along with parallel slope projections are shown on sheet A2.2 of the submitted documents. Although discussed in more detail in the portion of this narrative outlining the proposed variance request, the current Maximum and Maximum Average Building Heights are 49.36' (original proposed height @ 53.31') and 32.17' (original proposed average height @ 35.76') respectively.

### **17.3.14: General Easement Setbacks**

Applicant Note: Cortina 3 is burdened by setbacks typical in the Mountain Village, with 16-foot general easements in place on the front and side yards, and an atypical 30-foot general easement on the rear yard of the Lot. As currently proposed, we are requesting DRB approval of a setback encroachment within the front GE setback to allow for portions of the staircase accessing the front door along with a staircase on the south side of the home which provided access to the utility panels best shown on Sheet A4.2. There are otherwise no encroachments into the side or rear GE that are not allowable by the CDC. The property owner recognizes that in order to approve this encroachment, there will need to be a mutually agreed upon Encroachment Agreement executed with the Town of Mountain Village.

## **Chapter 17.5: Design Regulations**

### **17.5.4: Town Design Theme**

Applicant Note: The proposed design aims to build on the existing architectural design of the homes in the Cortina Subdivision and the Mountain Village to allow for an architectural character responsive to the difficult alpine building environment. Although modern in form, the design captures the traditional material palette seen throughout the Village and is responsive of the design context of the surrounding neighborhood.

### **17.5.5: Building Siting Design**

Applicant Note: The CDC requires that proposed development blend in with the existing landforms and vegetation. Due to site conditions such as extreme slope, we believe that Cortina 3 faces unique challenges to building siting and this proposal limits overall site

disturbance by focusing the development area to the north of the lot. As such, we believe that the building has been sited in such a way to blend in with existing landscapes and vegetation while reducing overall site and slope disturbances given its setback requirements, slope, and overall modest site coverage as proposed.

It should be noted that since the initial hearing, the building siting has been revised – pushing the home closer to Cortina Drive in order to reduce the overall building height variance request. This is best demonstrated by reviewing Sheet 2.1 and comparing to the original submittal documents seen at the December public hearing.

#### **17.5.6: Building Design**

Applicant Note: The proposed architectural design of the home can best be categorized as Mountain Modern, taking cues from existing development in Cortina and the Mountain Village to incorporate façade materials such as stone, wood, and metal in a way that portrays a thick strong mass with a heavy grounded foundation. As currently proposed, the home utilizes a Telluride Stone Veneer (Heritage Series) to ground the home to the site as seen in the provided elevations. Given the steepness of the site, the design has incorporated wood and metal siding arranged in a horizontal pattern to limit the overall verticality of the home. The horizontal wood and metal siding arrangement along with the varied shed roof forms allow for the homes massing to be broken up by the different material and color selections.

As part of this submittal, we have also included a full window and door schedule, along with recess depth details for installation as required by the CDC. As proposed, all windows and doors are currently shown as black aluminum clad, accenting the proposed matte black standing seam roof. It should be noted that we are requesting DRB Specific Approval for the roof's fascia to be the same matte black material as the proposed roof.

#### **17.5.7: Grading and Drainage Design**

Applicant Note: The home will require minor grading as shown on sheet C2.1 to allow for positive drainage away from the home. The goal of the project is to limit site disturbance to all extents possible and the site will be generally regraded to existing conditions prior to finalization of the build. There are some retaining walls proposed to the north of the home where required due to steepness and grade. The home currently has positive drainage away from the home and is meeting the requirements of the CDC as shown.

#### **17.5.8: Parking Regulations**

Applicant Note: The proposal currently is meeting the parking requirements of two spaces per home for single-family detached condominiums. The parking plan demonstrates that parking requirements have been met for both number and size of spaces.

#### **17.5.9: Landscaping Regulations**

Applicant Note: Although not required for Initial Review, a conceptual landscaping plan has been provided for review. Generally speaking, trees located outside of Zone 1 have been preserved and 25 trees have been proposed for the area between the home and San Joaquin Rd to provide additional screening for the home. As proposed, this screening buffer would consist of Engelman spruce, Blue spruce, and Bristlecone pines.

#### **17.5.11: Utilities**

Applicant Note: Although some utilities are located adjacent to the home within Cortina Drive, it has been determined that accessing utilities within San Joaquin Rd is a preferable option. The location of these utilities has been shown on Sheet C3 of the submitted drawings. Utilities are allowable and permitted to cross the GE per the CDC.

#### **17.5.14: Lighting Regulations**

Applicant Note: Although Lighting Plans are not required to be shown for Initial Architecture and Site Review, a conceptual lighting plan has been provided for DRB consideration. As demonstrated on Sheet LTG1.1, there are currently 12 total light fixtures proposed – with 4 sconces located near entryways and the garage, and the remaining lights being wall mounted step lights. Overall, the proposed lighting is meeting the requirements of the CDC for lumen output, color temperatures, and other requirements.

#### **17.5.13: Signs**

Applicant Note: The proposed address monument meets the requirements of the CDC for height minimums and maximums, along with lighting requirements. The monument is constructed from steel materials that accent the façade of the home.

### **Chapter 17.6: Supplementary Regulations**

#### **17.6.1: Environmental Regulations**

Applicant Note: Fire Mitigation and Forestry Management: Given the size of the lot and the steepness of the slope, it is anticipated that the majority of trees on the site will need to be removed to meet the fire mitigation requirements. We are requesting that the Town allow for some trees to remain in order to screen the home visually, especially as it relates to the elevation seen from San Joaquin Drive. This is particularly relevant with new plantings located below the home – and the required crown spacing within zone 2.

Snowmelt Systems: As currently proposed, the home includes 1,027 square feet of proposed snow melt. The areas of the home with snowmelt are shown on Sheet A1.1.

#### **17.6.6: Road and Driveway Standards**

Applicant Note: The driveway design has been slightly modified since the December hearing due to the change in the home's siting. Because the home shifted slightly, the grade of the driveway has also slightly increased from 4% slope to 5.12%. Regardless, the driveway is still meeting the requirements of the CDC for slope and width.

#### **17.6.8: Solid Fuel Burning Device Regulations**

Applicant Note: There are no solid fuel burning devices within the proposed home. Not applicable.

### **Chapter 17.7: Building Regulations**

Applicant Note: Construction Mitigation Plans are not required to be shown for Initial Architecture and Site Review, but will be provided as part of the subsequent application with the DRB.

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**Variance Request Overview:** Per the Community Development Code, “The purpose and intent of the variance process is to establish policies and procedure for granting a variance to the requirements of the CDC because the strict application of CDC requirements would cause *exceptional and undue hardship* on the development and use of [the] lot due to

special circumstances existing relative to the lot such as size, shape, *topography or other extraordinary or exceptional physical conditions*". In the Cortina Subdivision, especially the lots along the downslope side of Cortina Drive, significant challenges related to steep slopes have been identified. The CDC contemplates situations such as these and therefore allows for variances to be granted in instances where special circumstances such as topography limit the overall developability of a lot. As noted on the topographic existing conditions plan, the entirety of the Lot is in areas exceeding 30% slope with the majority of the Lot being an average of 50%+ slope. We believe that because of the extreme steepness of Cortina 3, the strict implementation of the Maximum Height and Maximum Average Height Requirements of the CDC would in fact cause exceptional and undue hardship as it relates to the development and enjoyment of Cortina 3 in comparison to other homes within the Cortina Subdivision and Mountain Village as a whole. This variance request is necessary for the development of this home and without some relief from the CDC requirements, the Lot will be unable to be constructed to similar standards as other homes.

The original proposal sought variances for Maximum Building Height (53.31') and Maximum Average Building Height (35.76'). However, based on subsequent modifications, these have been revised to 49.36' and 32.17', respectively. It should be noted that the Maximum Average Height variance request is substantially smaller than the Maximum Building Height, which can be attributed to the stark difference in elevations between the front of the home and the rear, further demonstrating the steepness of the lot given the variation in heights around the home especially along the Cortina Drive elevation.

**Slope Analysis:** The Cortina 3 lot faces extreme challenges with slopes exceeding 30%, averaging 50%+, creating unique difficulties in development. The site's elevations range from 9810 feet to 9754 feet. This equates to 56 feet of drop over approximately 105 feet of linear distance from high point to the low point of the site which roughly averages a 53% slope for this site. The location of retaining walls on Cortina Drive adds complexities to site access and driveway development, further accentuating the need for variances.

**Design and Square Footage:** The current gross square footage of the home is 4,952.48 sq. ft. which is in line with other homes in the Cortina Neighborhood. Cortina 3 is burdened by typical General Easements (GEs), but it should be noted that on this site, there is an increased 30-foot GE located on the downslope portion of the site adjacent to San Joaquin Road.

The home is visually similar to other homes in the Mountain Village that have recently received Height Variance approvals, in that from the front lot line, the home appears to have a subdued massing of a single-story to 1.5 story home. This is a direct function of the access of the home being taken from Cortina Drive and is further evidenced by the garage being located on the top floor of the home which is very atypical for home design. Overall, the home is aligned in size to neighboring homes along Cortina Drive, and the lot coverage at approximately half of the allowable coverage for the site (21/40%).

---

**Variance Request:** The revised variance request now seeks approval for Maximum Building Height to exceed allowable heights by 14.31' and Maximum Average Building Height to exceed allowable heights by 2.41'. These adjustments were made by



repositioning the homes closer to the driveway and away from steep slopes.

**Criteria for Decision:** *The following criteria have been addressed and we feel that we are meeting the entirety of the CDC requirements within this application, narrative, and architectural plan set; allowing for the granting of the Variance by Town Council.*

1. The following criteria shall be met for the review authority to approve a variance:
  - a. The strict development application of the CDC regulations would result in exceptional and undue hardship upon the property owner in the development of property lot because of special circumstances applicable to the lot such as size, shape, topography or other extraordinary or exceptional physical conditions;

Applicant Note: As discussed above, there are special circumstances as it relates to Cortina 3 that create exceptional hardship in the strict implementation of the Maximum Building Height and Average Building Height requirements of the CDC. The hardship is not self-created in that it relates entirely to the extreme steepness of this specific Lot. The proposed design of the home has attempted to limit the overall heights and massing without impacting the overall desirability and enjoyment of the home as it compares to other homes in the Mountain Village and Cortina Drive. Based on feedback from the December DRB Hearing, the home's height has been reduced and the siting has shifted slightly in order to accomplish this overall reduction in the requested variances. We believe this request meets the intent of the variance provisions and is the least necessary request for the enjoyment of Lot 165-3.

- b. The variance can be granted without substantial detriment to the public health, safety and welfare;

Note: The public health, safety, and welfare will not be impacted from this proposal. Approval of the variance itself will not create any additional traffic, solar impacts, or stormwater impacts to neighboring properties above what would otherwise occur with construction of a single-family home in this location. The limited site coverage will minimize disturbance during construction and the stepped nature of the home paired with existing mature landscaping will limit view impacts associated with the home. The height increase alone will not trigger any detrimental effects to these standards and it would be assumed that less site disturbance would provide a benefit to these neighboring properties and the Town.

- c. The variance can be granted without substantial impairment of the intent of the CDC;

Note: The CDC expressly allows for the granting of a variance under certain circumstances and hardships such as extreme topography which this site is subject. With this variance request, we believe that application is meeting the Intent of both the Zoning and Land Use Regulations along with the Design Regulations of the CDC.

- d. Granting the variance does not constitute a grant of special privilege in excess of that enjoyed by other property owners in the same zoning district, such as without limitation, allowing for a larger home size or building height than those found in the same zone district;

Note: As discussed above, the proposed home design is aligned both in livable square footage and site coverage as compared to other homes within the Mountain Village and along Cortina Drive. The Town has approved residential height variance requests within the Cortina Subdivision and for other difficult lots facing topographic issues (IE. Steep Home Sites), and we feel that this request is in line with this past precedent.

- e. Reasonable use of the property is not otherwise available without granting of a variance, and the variance being granted is the minimum necessary to allow for reasonable use;

Note: Reasonable use of this property is one that allows for the use of this Lot in a similar manner or alignment with other homes and Lots within the general vicinity of the proposal. Due to the steepness of the site in comparison to other sites within Mountain Village and Cortina Subdivision, we are requesting the variance to maximum building heights and maximum average building heights, but otherwise this project is in alignment with previous development seen within this area and throughout the Mountain Village. We feel that this is the minimum necessary to afford relief given the Lot's steep slopes.

- f. The lot for which the variance is being granted was not created in violation of Town regulations or Colorado State Statutes in effect at the time the lot was created;

Note: Lot 165-3 is a legally created condominium land unit. At the time of its platting, it received approval from the Town and met Colorado State Statutes in effect.

- g. The variance is not solely based on economic hardship alone; and

Note: This request is not based on economic hardship but rather feasibility of building a home on this Lot given the access and slope constraints.

- h. The proposed variance meets all applicable Town regulations and standards unless a variance is sought for such regulations or standards.

Note: As outlined within this narrative, we believe that this application is meeting all requirements and criteria necessary for the approval of this variance request to allow for increased Maximum Building Heights and Maximum Average Building Heights by Town Council. The application is otherwise meeting all requirements of the CDC.

Please let us know if you need any additional information or have any further comments

Sincerely,



Kristine Perpar



## GENERAL NOTES:

### CONTRACT DOCUMENTS:

CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, DETAIL BOOK AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTES WITH "N.T.S." DENOTES NOT TO SCALE.

### ORGANIZATION:

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), CIVIL DRAWINGS (C SHEETS), STRUCTURAL (S SHEETS), MECHANICAL AND PLUMBING (M SHEETS), ELECTRICAL (E SHEETS) AND LIGHTING (LTG SHEETS).

### CODE COMPLIANCE:

ALL WORK, MATERIALS AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

### INTENT:

THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

### COORDINATION:

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS. VERIFY ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

### SUBSTITUTIONS:

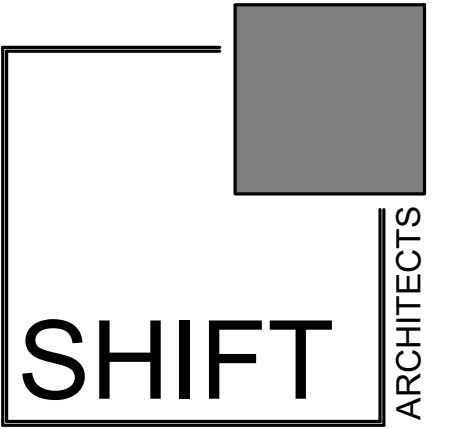
ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED-OUT-BY-TRADE-NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

### SHOP DRAWINGS:

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "SUBSTITUTIONS" ABOVE.

### SAFETY & PROTECTION OF WORK:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.



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www.shift-architects.com

PROJECT ISSUE DATE:  
01.15.24 REVISED DRB SUBMITTAL

### REVISIONS

NO.	DATE	DESC.
8	12.19.23	Revised building height calculations

## PROJECT CODE INFORMATION

ZONING:	MULTI-FAMILY (LOT 165, TRACT: UNIT 3)
BUILDING CODE:	IRC 2018 AND ALL APPLICABLE CODES AS REQUIRED BY THE TOWN OF MOUNTAIN VILLAGE
DESCRIPTION:	MULTI-STORY DWELLING
OCCUPANCY CLASSIFICATION:	R-3
AUTOMATIC FIRE SPRINKLER:	MONITORED NFPA 13D, 2018 IFC AND TFPD AMENDED CODES SPRINKLER SYSTEM REQUIRED
NATIONAL FIRE ALARM & SIGNALING CODE:	MONITORED NFPA 72, 2018 IFC, AND TFPD AMENDED CODES ALARM SYSTEM REQUIRED
EMERGENCY ACCESS:	PROVIDE KNOX BOX FOR EMERGENCY ACCESS
FIRE RESISTIVE RATING:	GARAGE - 1 HR MECHANICAL - 1 HR
CARBON MONOXIDE DETECTION:	PROVIDED MONITORED DETECTION IN ACCORDANCE WITH 2018 IFC 915.2.1
ELECTRIC VEHICLE CHARGING STATION / OUTLET:	INSTALL IN ACCORDANCE WITH NFPA 70 AND LOCATED WITHIN 5 FT OF THE GARAGE DOOR

## PROJECT INFORMATION

PROPOSED FLOOR AREA:	2147.56 SF	MAX BUILDING HEIGHT:	35'-0" (SHED ROOF)
LOWER LEVEL	1900.97 SF	ALLOWABLE	35'-0" (SHED ROOF)
GROUND LEVEL	251.45 SF	PROPOSED	49.36'
MUD LEVEL			
TOTAL FLOOR AREA:	4299.98 SF	MAX AVERAGE HEIGHT:	30'-0" (SHED ROOF)
GARAGE / MECH	652.5 SF	ALLOWABLE	30'-0" (SHED ROOF)
TOTAL:	4952.48 SF	PROPOSED	32.17'
LOT AREA:	.339 ACRES (14,768 SF)		
LOT COVERAGE:		PARKING REQUIRED:	2 SPACES PROVIDED (2 REQUIRED) (2 ENCLOSED IN GARAGE)
ALLOWABLE	5,907.2 SF (40% MAX)		
PROPOSED	3,072 SF (21%)		

SEE SHEET A2.1 FOR 35' PARALLEL OFFSET  
SEE SHEET A2.2 FOR MAXIMUM BUILDING HEIGHT CALCULATION

## SHEET INDEX

<b>GENERAL</b>	
G1.0	COVER SHEET
G1.1	ABBREVIATIONS AND LEGENDS
<b>CIVIL</b>	
C1	NOTES
C2.1	GRADING AND DRAINAGE PLAN WITHOUT TREES DISPLAYED
C2.2	GRADING AND DRAINAGE PLAN WITH TREES DISPLAYED
C3	UTILITY PLAN
<b>SURVEY / MAPPING</b>	
0	EXISTING CONDITIONS PLAN
<b>ARCHITECTURAL</b>	
A1.1	ARCHITECTURAL SITE PLAN
A1.2	BUILDING SITE PLAN
A1.3	LANDSCAPE PLAN
A1.4	IRRIGATION PLAN
A2.1	SITE 35' PARALLEL OFFSET
A2.2	MAX BUILDING HEIGHT
A2.3	MATERIAL CALCULATIONS
A2.4	MATERIAL CALCULATIONS
A3.1	FLOOR PLAN
A3.2	FLOOR PLAN
A3.3	FLOOR PLAN
A3.4	ROOF PLAN
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATION
A4.3	EXTERIOR ELEVATION
A4.4	EXTERIOR ELEVATIONS
A4.5	EXTERIOR ELEVATIONS
A4.6	PRESENTATION ELEVATIONS
A8.1	DOOR SCHEDULE
A8.2	WINDOW SCHEDULE
LTG.1.1	EXTERIOR LIGHTING PLAN

## VICINITY MAP

SITE LOCATION:  
UNIT 3  
130 CORTINA DRIVE



## PROJECT TEAM

<b>OWNER:</b> CHALET'S AT CORTINA LLC A CO LLC 3521 N 32ND TER HOLLYWOOD, FL 330212618	<b>SURVEYOR:</b> FOLEY ASSOCIATES, INC. 125 W. PACIFIC, SUITE B-1 P.O. BOX 1385 TELLURIDE, CO 81435 P. 970.728.6153 F. 970.728.6050	<b>MECHANICAL:</b> HUGHES CONSULTING ENGINEERING, PA DIMITRI MERRILL, P.E. TELLURIDE, CO 81435 P. 970.239.1949 F. 785.842.2492 dimitri@hce-pa.com
<b>ARCHITECT:</b> SHIFT ARCHITECTS, LLC KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com	<b>CIVIL:</b> UNCOMPAGRE ENGINEERING LLC DAVID BALLODE P.E. PO BOX 3945 TELLURIDE, CO 81435 P. 970.729.0683 dbalode@msn.com	<b>LANDSCAPING:</b> SHIFT ARCHITECTS, LLC KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com
<b>GENERAL CONTRACTOR:</b> HOINS CONSTRUCTION BILL HOINS 137 SOCIETY DRIVE TELLURIDE, CO 81435 P. 970.728.9371 hoinsoffice@gmail.com	<b>STRUCTURAL:</b> TELLURIDE ENGINEERING JACK GARDNER, P.E. PO BOX 4045 TELLURIDE, CO 81435 P. 970.728.5440 jgardner.pe@gmail.com	

CORTINA LAND CONDOMINIUMS UNIT 3

130 CORTINA DRIVE MOUNTAIN VILLAGE CO 81435  
UNIT 3 CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

COVER SHEET

SHEET NUMBER

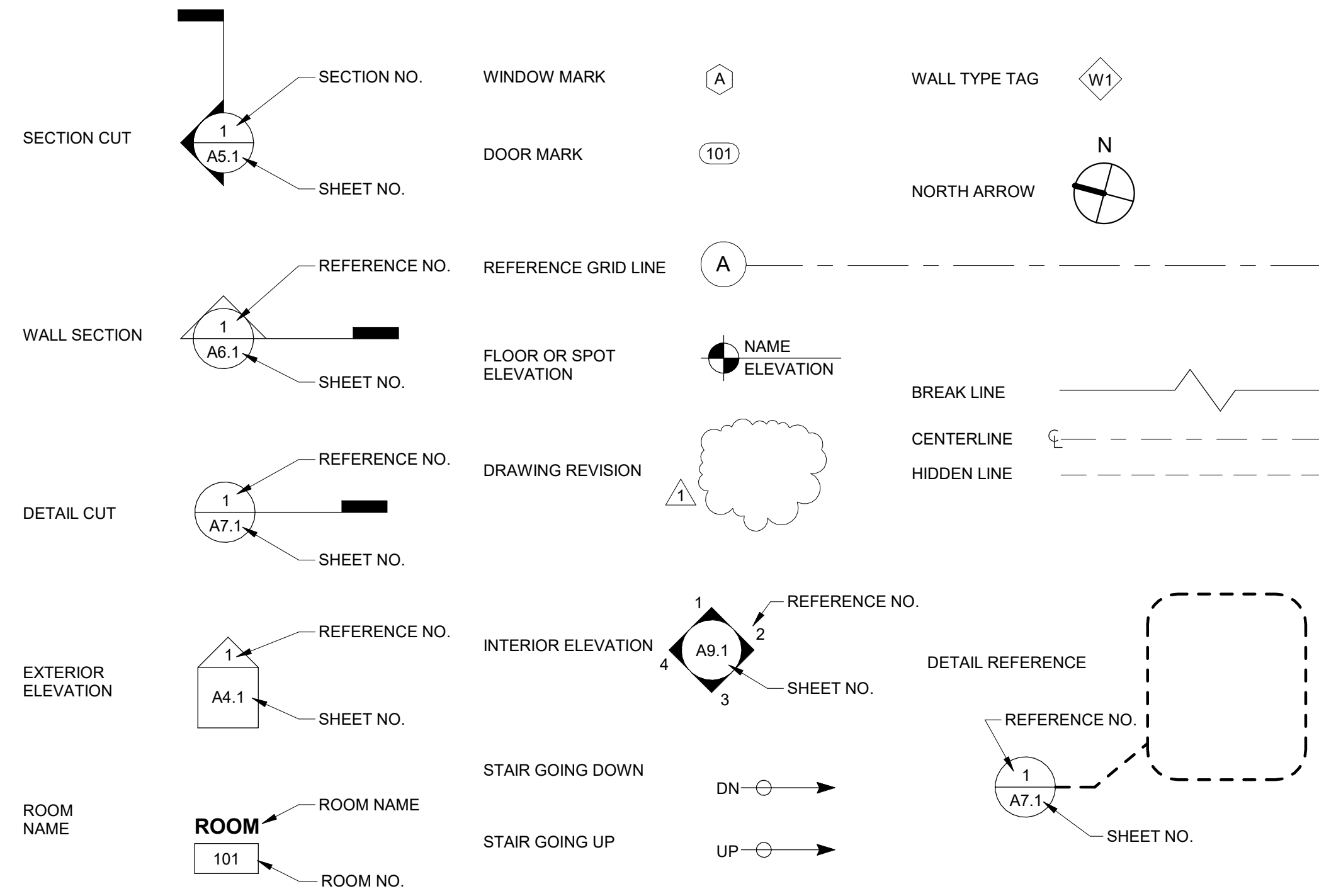
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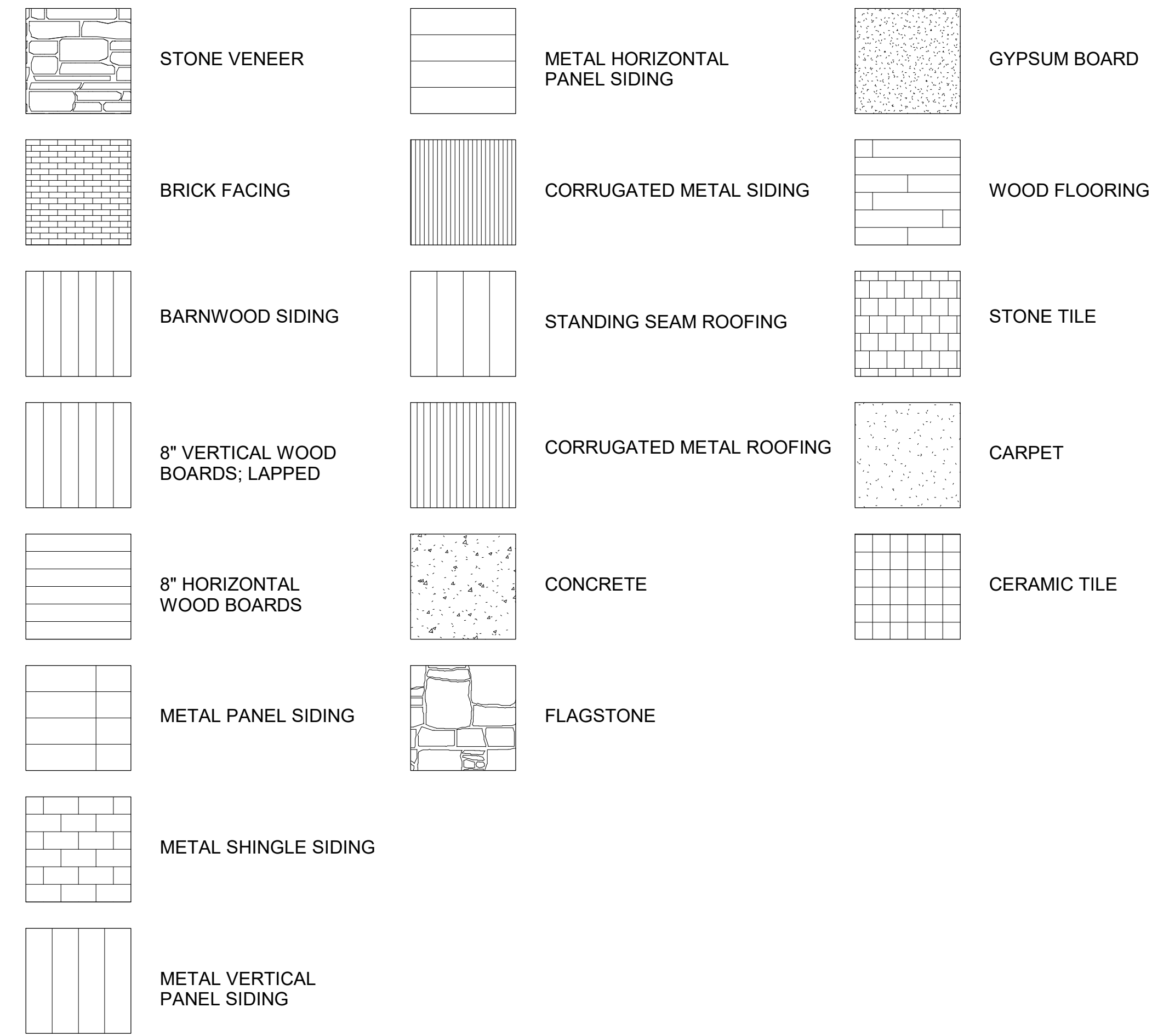
@shift architects

NOT FOR CONSTRUCTION

## SYMBOL LEGEND

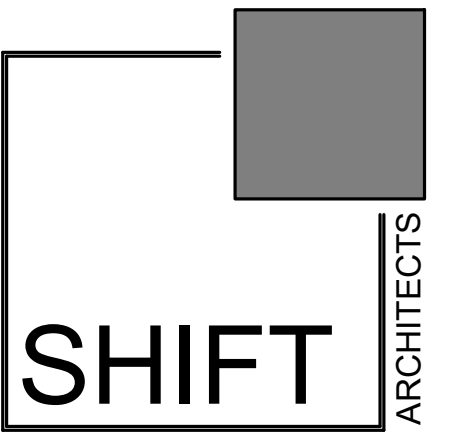


## MATERIAL LEGEND



## ABBREVIATIONS

AC	Acres
AFF	Above Finished Floor
AGG	Aggregate
AL	Aluminum
BM	Bench Mark
BSN	Basin
BTH	Bath
CL	Centre Line
CJ	Control Join
CLST	Closet
CP	Carpet
CT	Ceramic Tile
DIA	Diameter
DP	Downpipe
DW	Dishwasher
EX	Existing
FF	Finished Floor
FHR	Fire Hose Reel
FP	Flue Pipe
GAL	Galvanized
GL	Ground Line
GFI	Ground Fault Circuit Interrupter
GPO	General Power Outlet
IBC	International Building Code
MDF	Medium Density Fibreboard
MR	Metal Roofing
MSB	Main Switch Board
NTS	Not To Scale
PFC	Parallel Flanged Steel Channel
PL	Plastic Laminate
PT	Paint
RC	Reinforced Concrete
REF	Refrigerator
RL	Reduced Level
S	Sanitary Drainage Pipe
SHR	Shower
SK	Sink
SN	Stone
SS	Stainless Steel
ST	S Trap
STF	Steel Trowel Finished Concrete
SW	Stormwater Drainage Line
T&G	Tongue and Grooved
TO	Top Of
TPH	Toilet Paper Holder
TR	Tiled Roofing
TSF	Timber Strip Floor
TYP	Typical
U	Urinal
UOS	Unless Otherwise Specified
V	Valley
VIF	Verify In Field
VP	Vent Pipe
WC	Water Closet (Toilet)
WM	Washing Machine
WPM	Water Proof Membrane



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PROJECT ISSUE DATE:  
 01.15.24 REVISED DRB SUBMITTAL

REVISIONS  
 NO. DATE DESC.

# CORTINA LAND CONDOMINIUMS UNIT 3

130 CORTINA DRIVE MOUNTAIN VILLAGE CO 81435  
 UNIT 3 CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON  
 INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC  
 TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

ABBREVIATIONS AND  
 LEGENDS

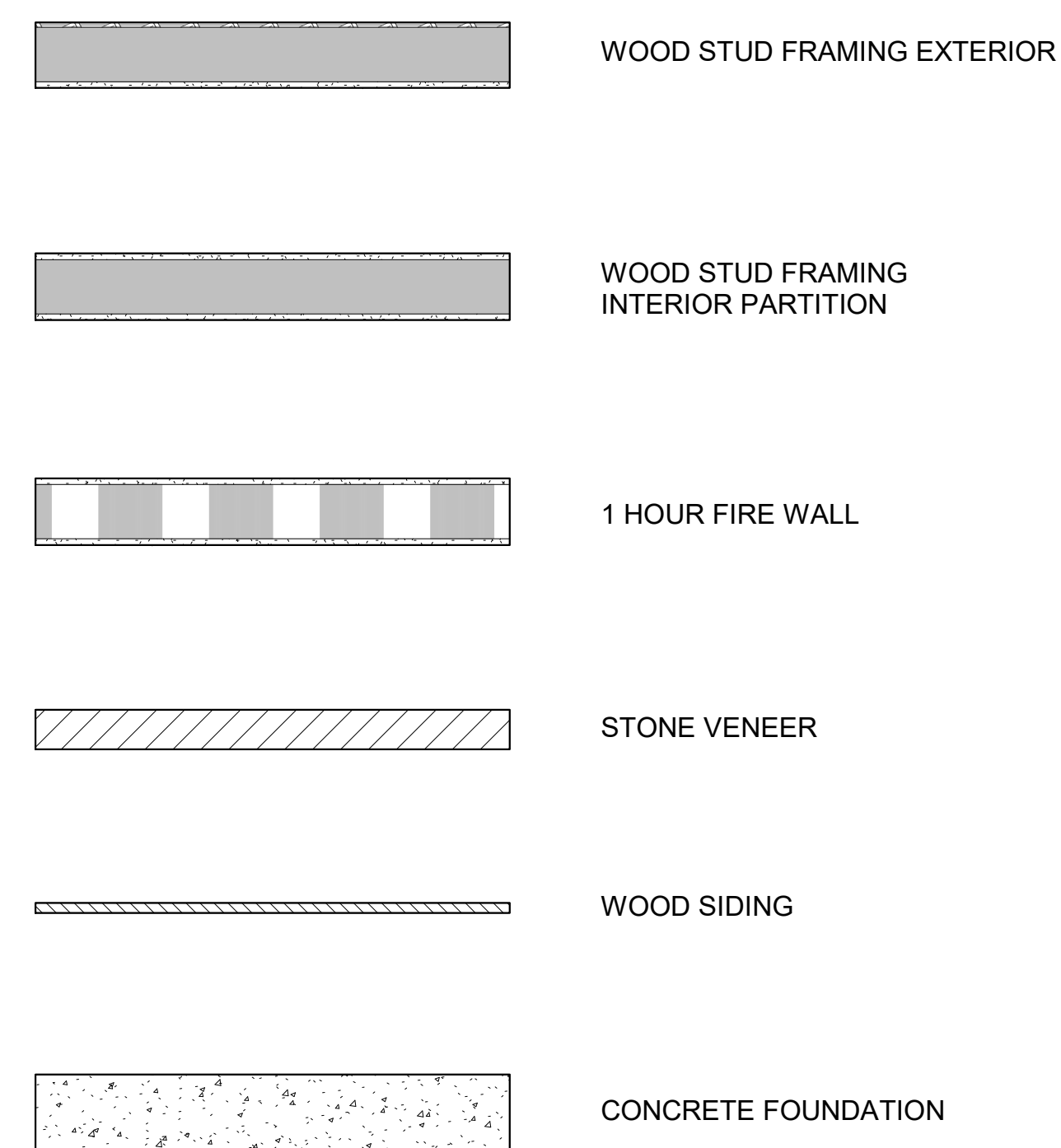
SHEET NUMBER

G1.1

NOT FOR CONSTRUCTION

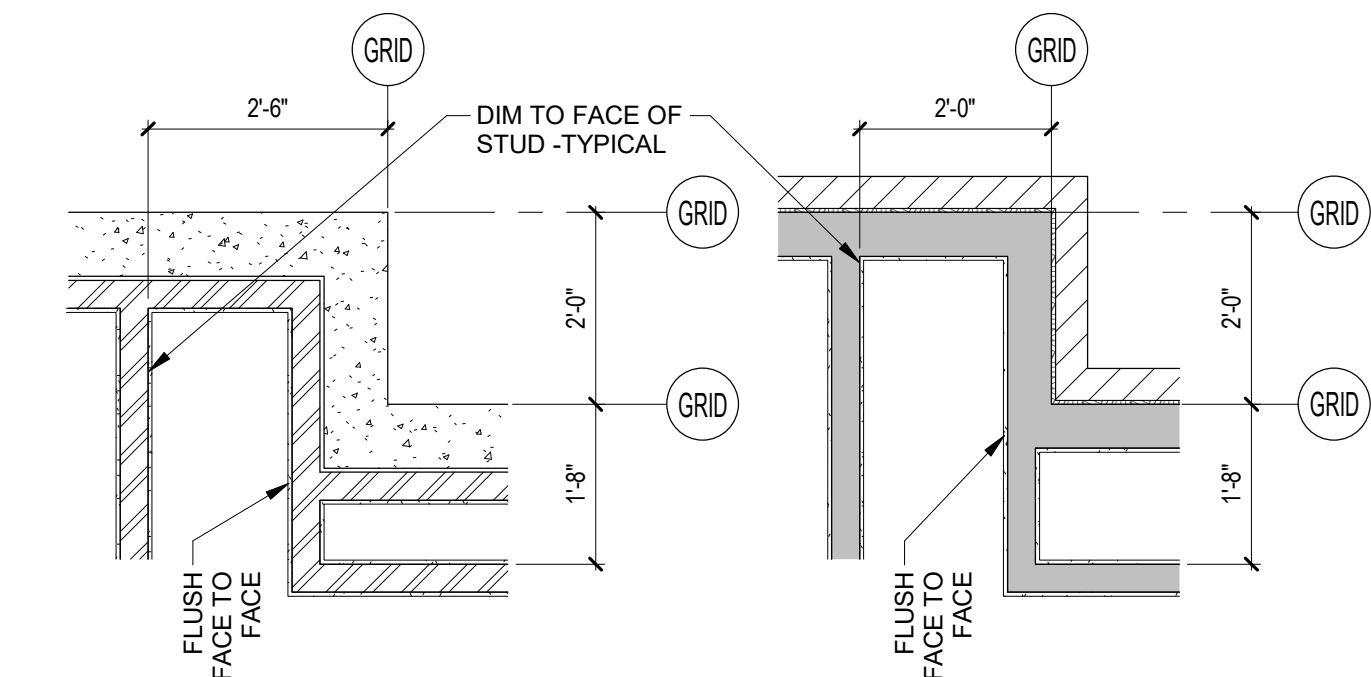
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## WALL LEGEND



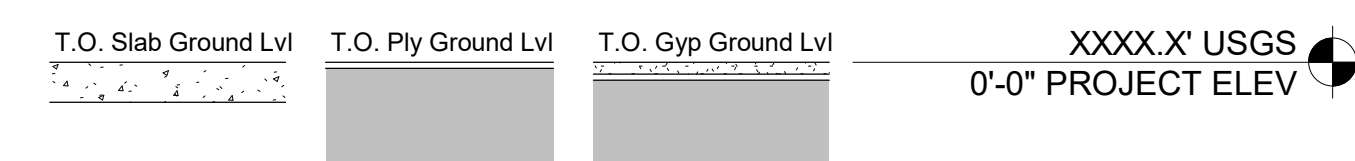
## DIMENSIONING LEGEND

- GRIDS ALIGN WITH OUTSIDE FACE OF FOUNDATION WALL AND OUTSIDE FACE OF STUD AT EXTERIOR STRUCTURAL FRAME WALL.
- WALLS AND PARTITIONS SHOWN IN PLAN INCLUDE FINISH MATERIALS.
- DIMENSIONS ARE SHOWN FROM GRID TO GRID, GRID TO FACE OF STUD, AND FACE OF STUD TO FACE OF STUD AT INTERIOR PARTITIONS, TYPICAL.
- INTERIOR PARTITIONS FLUSH FACE TO FACE WITH THEIR EXTERIOR COUNTERPARTS, TYPICAL.



## PROJECT DATUM LEGEND

ACTUAL ELEVATION ABOVE SEA LEVEL = PROJECT 0'-0"



1/12/2024 5:59:24 AM

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:  
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE  
NATURAL GAS: BLACK HILLS ENERGY  
POWER: SAN MIGUEL POWER  
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

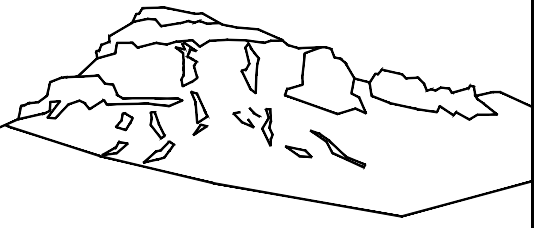
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL	2023-09-03
DRB	2024-01-11

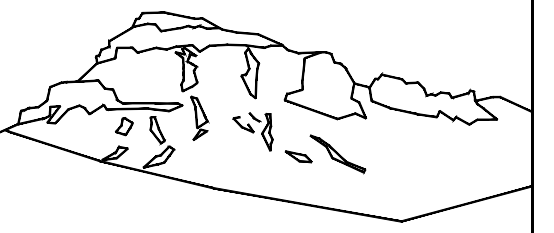
Lot 3, Cortina  
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



Uncompahgre Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:  
DRB SUBMITTAL 2023-09-03  
DRB 2024-01-11

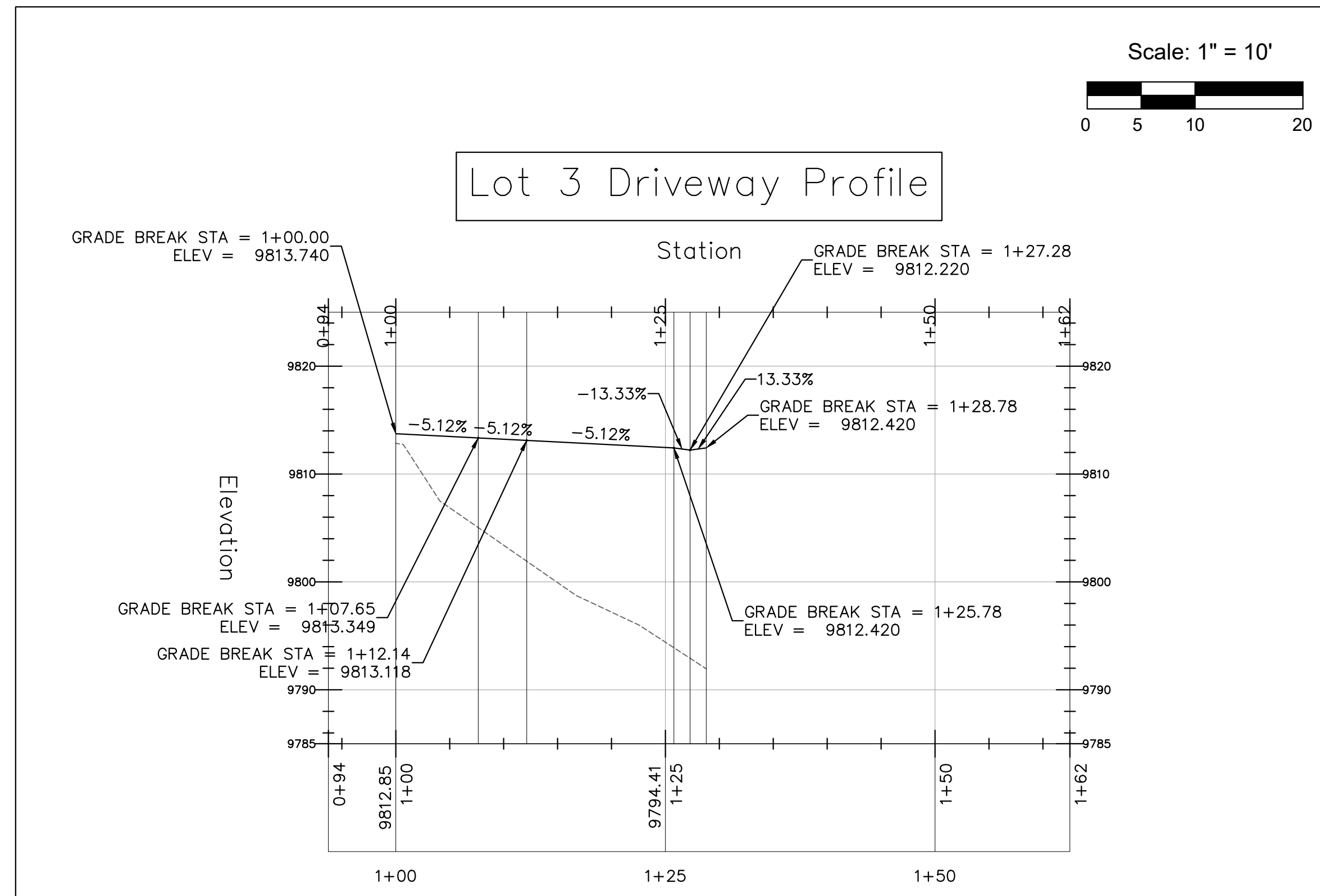
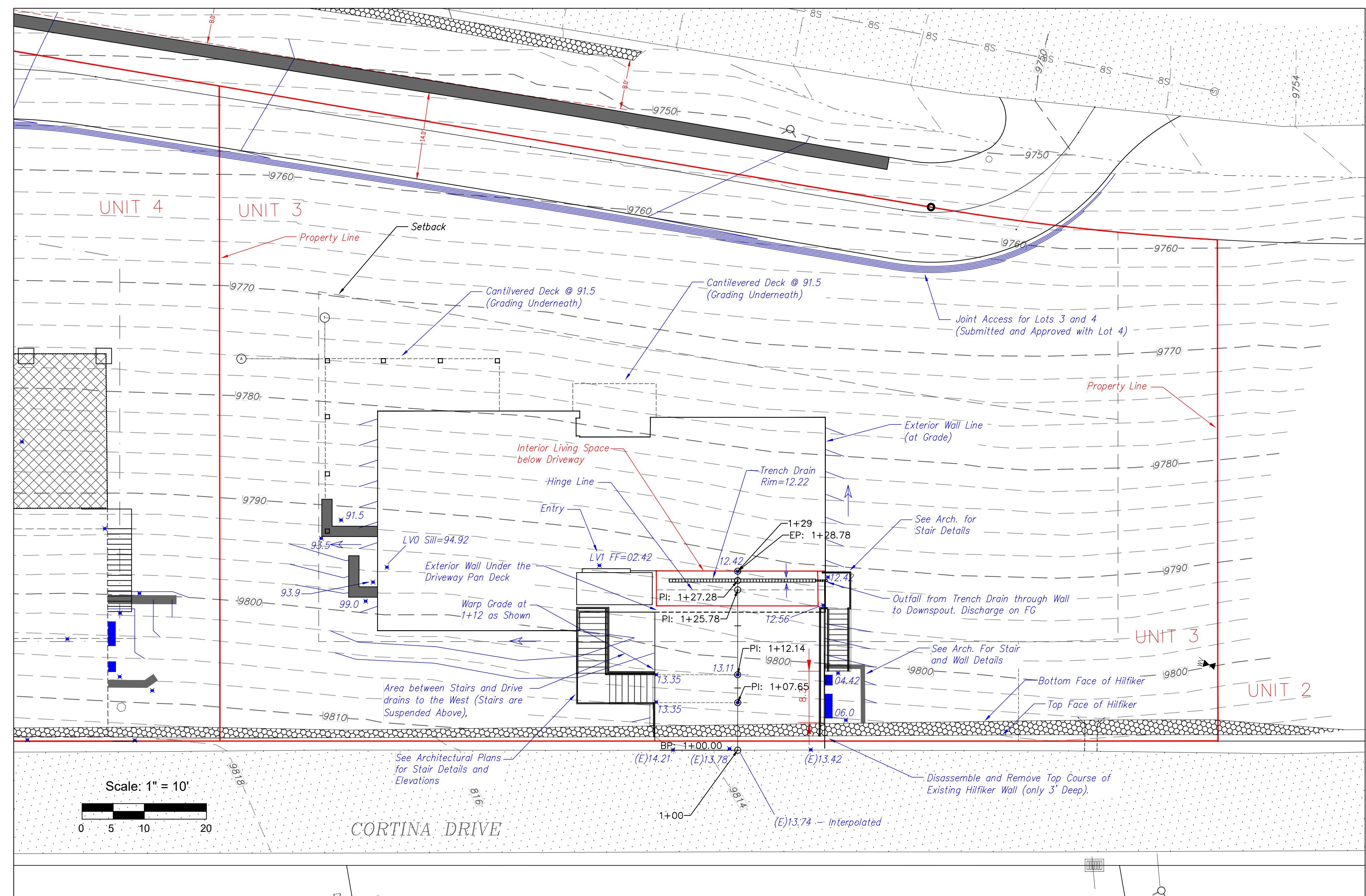
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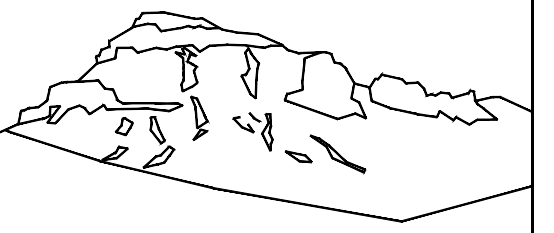


CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading and Drainage  
without  
Trees  
Displayed

C2.1





Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:  
DRB SUBMITTAL 2023-09-03  
DRB 2024-01-11

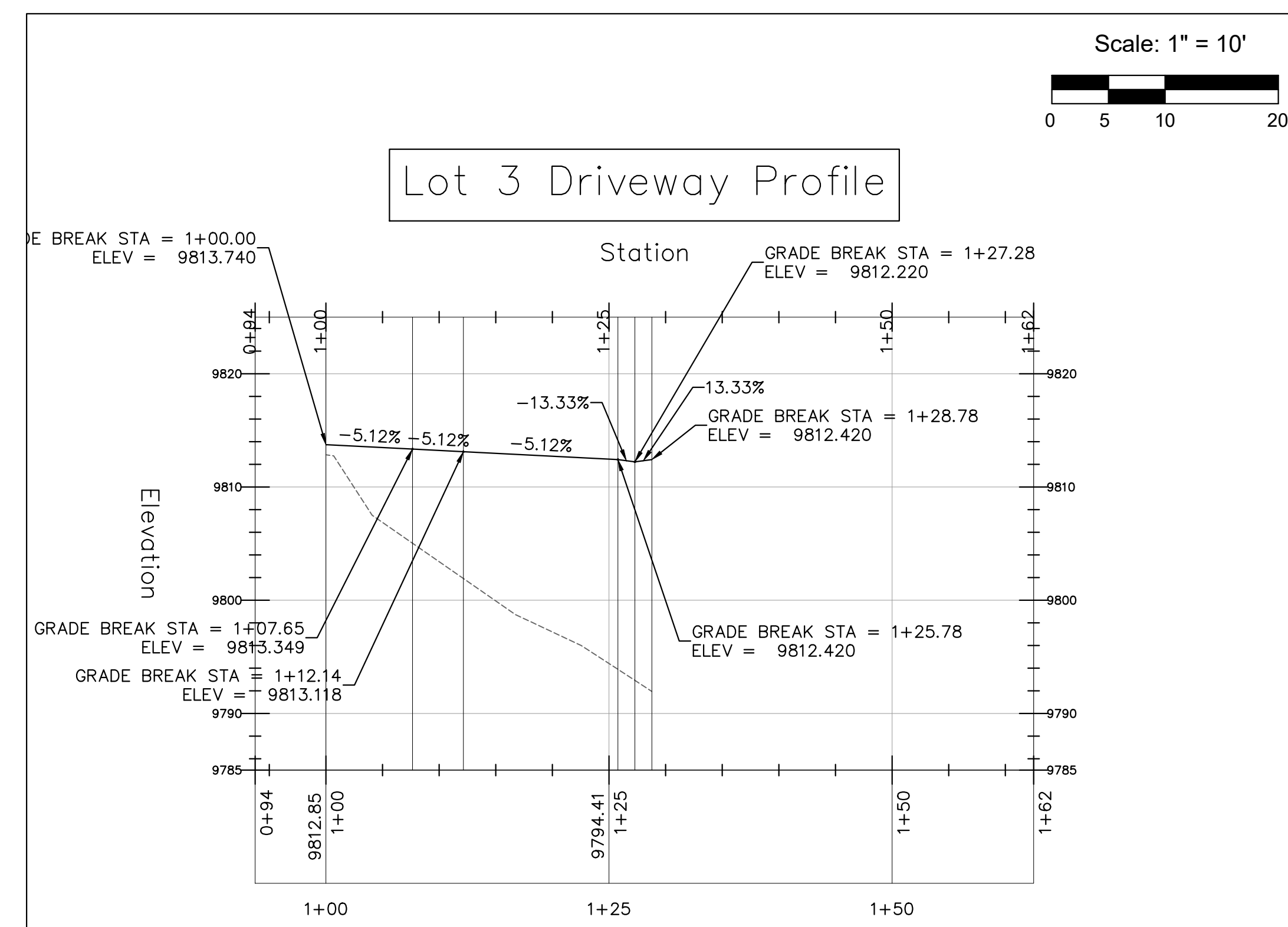
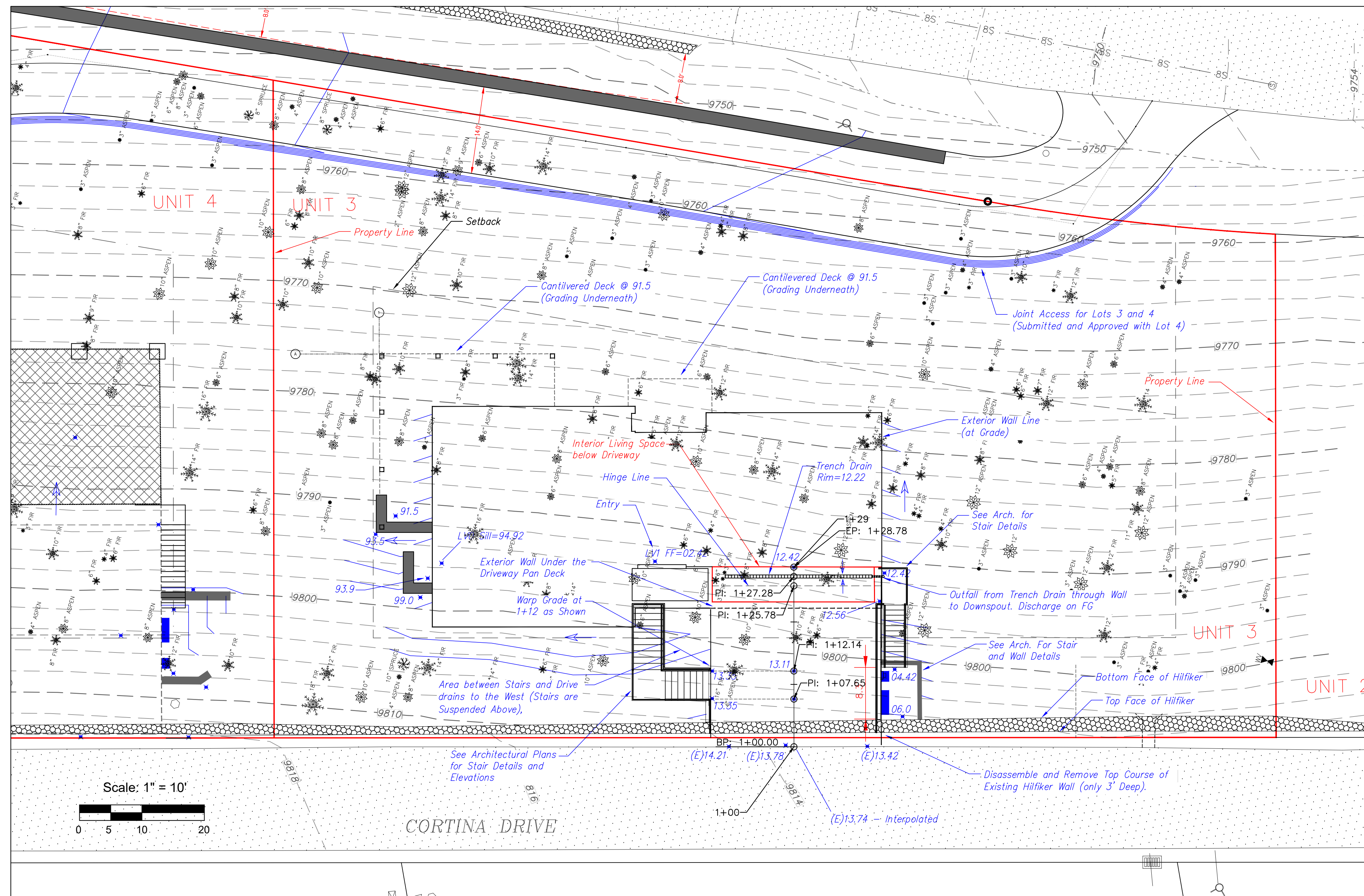
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Mtn. Village, CO



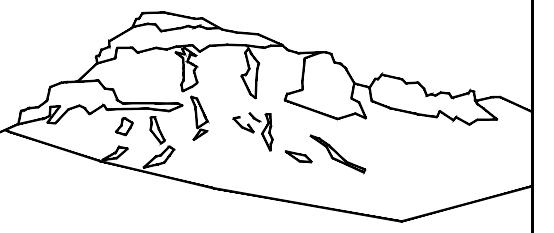
CONTRACTOR TO REVIEW AND COMPARE ALL  
CHAPTERS AND INTERDISCIPLINARY DRAWINGS  
AND REPORT ANY DISCREPANCIES TO THE  
ARCHITECT PRIOR TO ANY FIELD WORK BEING  
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading  
and  
Drainage  
  
with  
  
Trees  
Displayed

C2.2







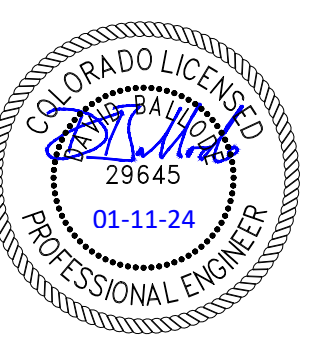
Uncompahgre Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL	2023-09-03
Lot 4 Permit	2023-12-22
Lot 3 DRB	2024-01-11

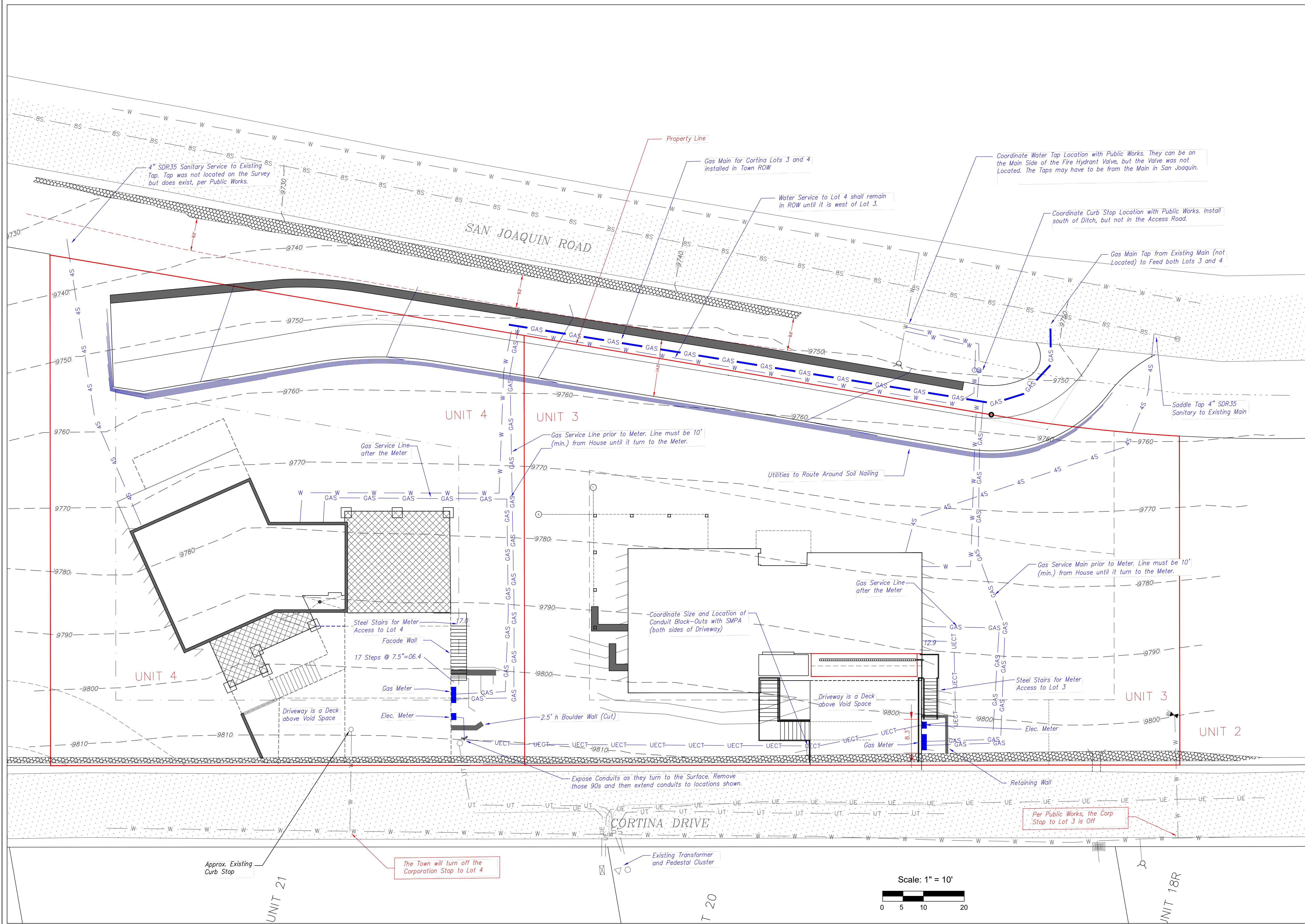
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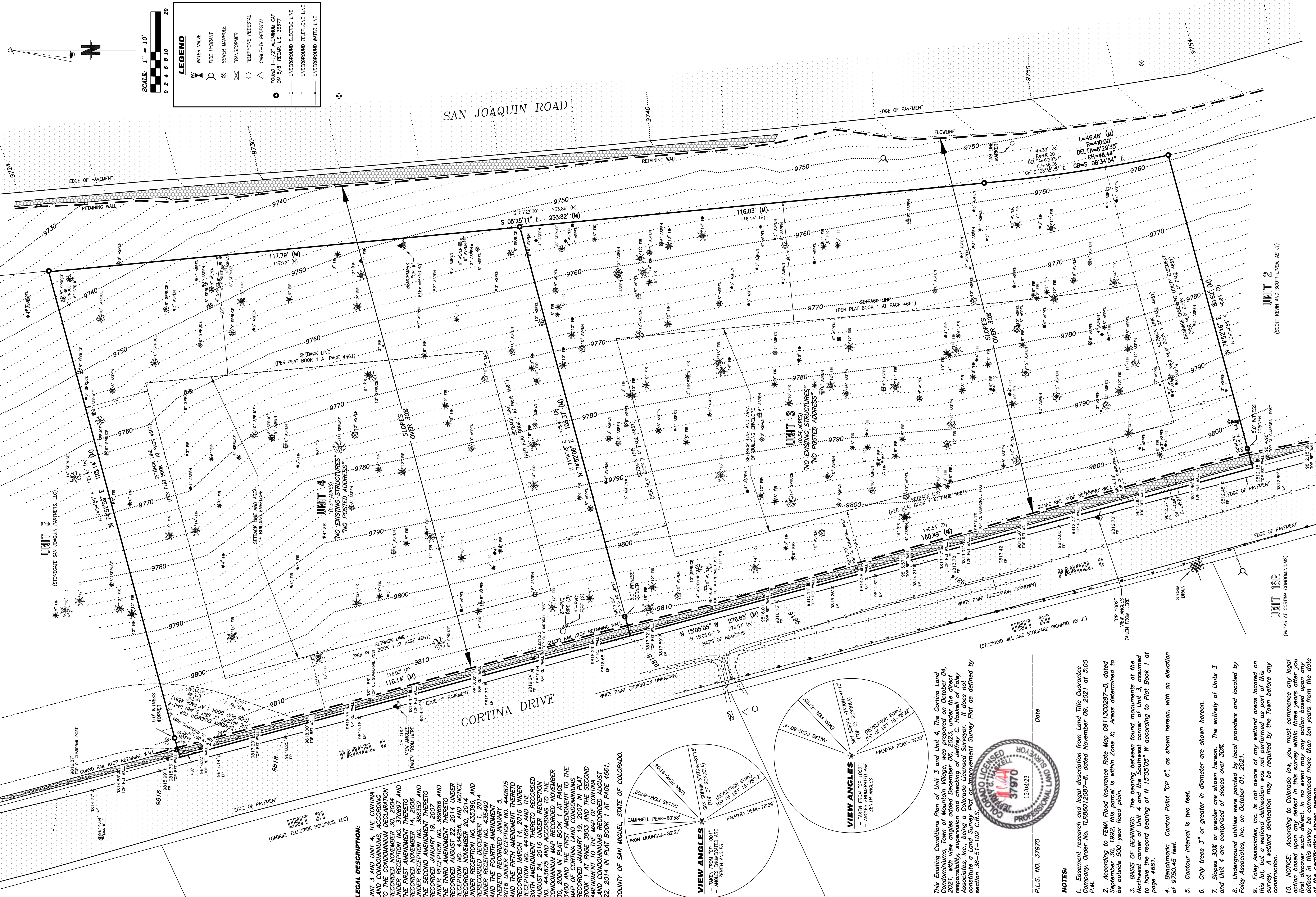


CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities  
Combined for  
Lots 3 and 4

C3





**SCALE:** 1" = 10'

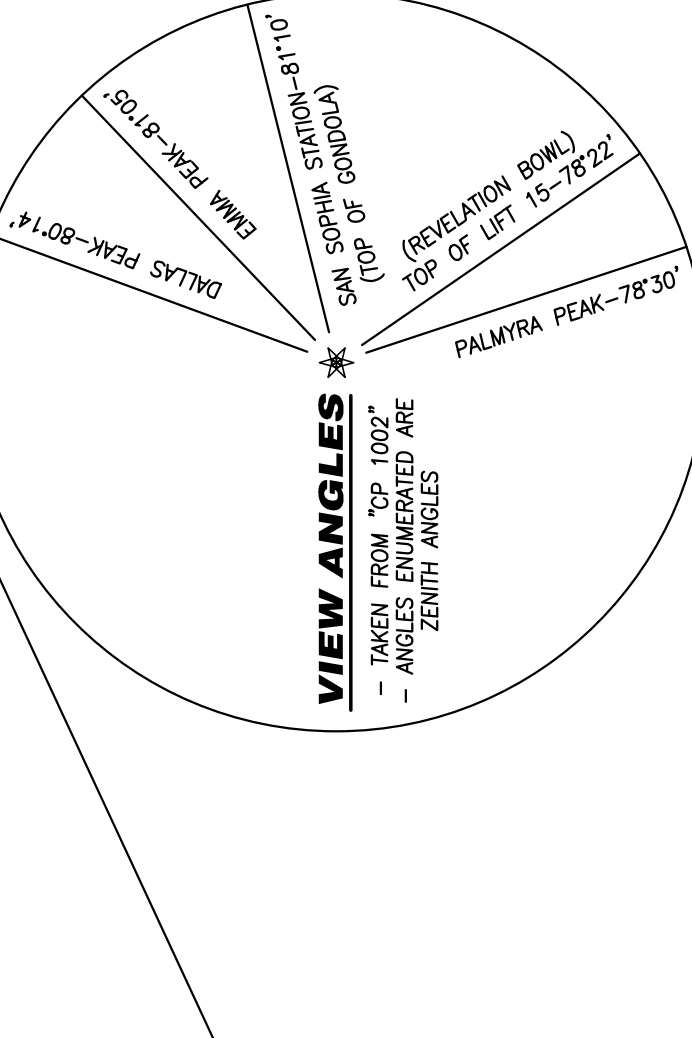
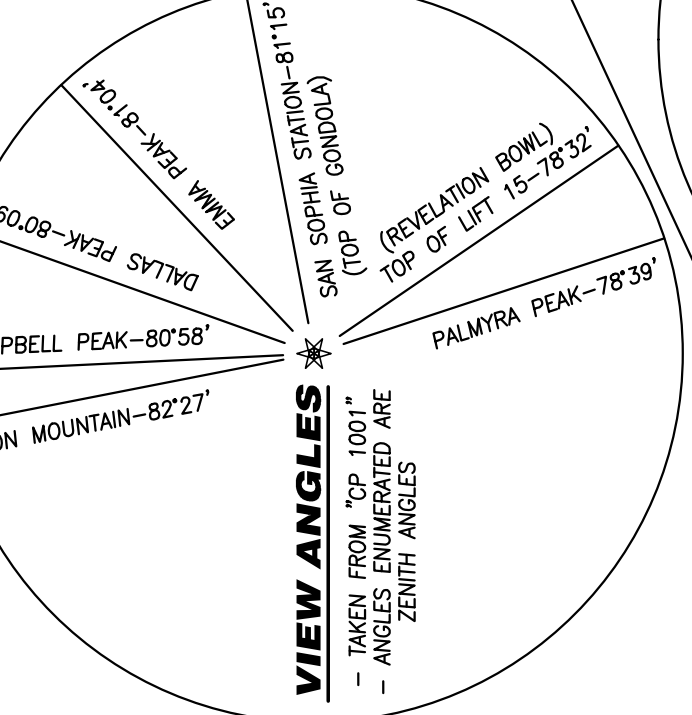
**LEGEND**

- WATER VALVE
- FIRE HYDRANT
- SEWER MANHOLE
- TRANSFORMER
- TELEPHONE FEDESTAL
- CABLE-TV FEDESTAL
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 36577
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND WATER LINE

**LEGAL DESCRIPTION:**

UNIT 3 AND UNIT 4, THE CORTINA LAND CONDOMINIUMS, ACCORDING TO THE CONDOMINIUM DECLARATION RECORDED NOVEMBER 30, 2004 UNDER RECEPTION NO. 370897 AND UNDER RECEPTION NO. 370897 AND RECORDED NOVEMBER 14, 2006 UNDER RECEPTION NO. 398352 AND THE SECOND AMENDMENT THERETO RECORDED JANUARY 19, 2007 UNDER RECEPTION NO. 369686 AND THE THIRD AMENDMENT THERETO RECORDED AUGUST 22, 2014 UNDER RECEPTION NO. 443675 AND NOTICE RECORDED NOVEMBER 30, 2014 UNDER RECEPTION NO. 453386 AND UNDER RECEPTION NO. 435492 AND THE FOURTH AMENDMENT THERETO RECORDED JANUARY 5, 2016 UNDER RECEPTION NO. 440875 AND THE FIFTH AMENDMENT THERETO RECORDED MARCH 16, 2016 UNDER RECEPTION NO. 441684 AND THE SIXTH AMENDMENT THERETO RECORDED AUGUST 24, 2016 UNDER RECEPTION NO. 443675 AND ACCORDING TO THE CONDOMINIUM MAP RECORDED NOVEMBER 30, 2004 IN PLAT BOOK 1 AT PAGE 4661 AND THE FIRST AMENDMENT THERETO RECORDED JANUARY 19, 2007 IN PLAT BOOK 1 AT PAGE 4661 AND THE SECOND AMENDMENT THERETO RECORDED AUGUST 22, 2014 IN PLAT BOOK 1 AT PAGE 4661.

COUNTY OF SAN MIGUEL, STATE OF COLORADO.



This Existing Conditions Plan of Unit 3 and Unit 4, The Cortina Land Condominiums, Town of Mountain Village, was prepared on October 04, 2021, with view angles added December 06, 2023, under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.

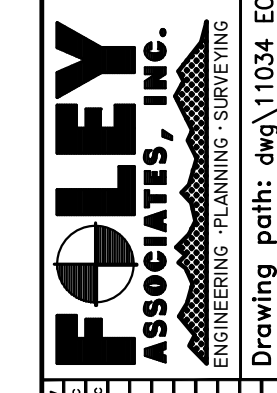


P.L.S. NO. 37970  
Date

**NOTES:**

1. Essement research and legal description from Land Title Guarantee Company, Order No. TLR86012087-8, dated November 09, 2021 at 5:00 P.M.
2. According to FEMA Flood Insurance Rate Map 081300087-D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
3. BASIS OF BEARINGS: The bearing between found monuments at the Northwest corner of Unit 4 and the Southwest corner of Plat Book 1 at page 4661.
4. Benchmark: Control Point "CP 6", as shown hereon, with an elevation of 9750.45 feet.
5. Contour interval is two feet.
6. Only trees 3" or greater in diameter are shown hereon.
7. Slopes 30% or greater are shown hereon. The entirety of Units 3 and Unit 4 are comprised of slopes over 30%.
8. Underground utilities were painted by local providers and located by Foley Associates, Inc. on October 01, 2021.
9. Foley Associates, Inc. is not aware of any wetland areas located on this lot, but a wetland delineation was not performed as part of this survey. A wetland delineation may be required by the Town before any construction.
10. NOTICE: According to Colorado law, you must commence any legal action to enforce any defect in this plan within the time period after the first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

970-728-6153 970-728-6050 Fax  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435



Drawing path: ew\11034 EC Plan 10-21 (Units 3-4).dwg  
Project #: 11034

Project Mgr: JH  
Technician: MC  
Checked by: JZ  
Start date: 10/01/2021

**Existing Conditions Plan**  
**Unit 3 and Unit 4, The Cortina Land Condominiums,**  
**San Miguel County, Colorado.**

REVISIONS

NO.	DATE	DESC.
5	10.23.23	Revised snow melt calculations
7	12.18.23	Revised snow melt calculation

**CORTINA LAND CONDOMINIUMS UNIT 3**

130 CORTINA DRIVE MOUNTAIN VILLAGE CO 81435  
UNIT 3 CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

ARCHITECTURAL  
SITE PLAN

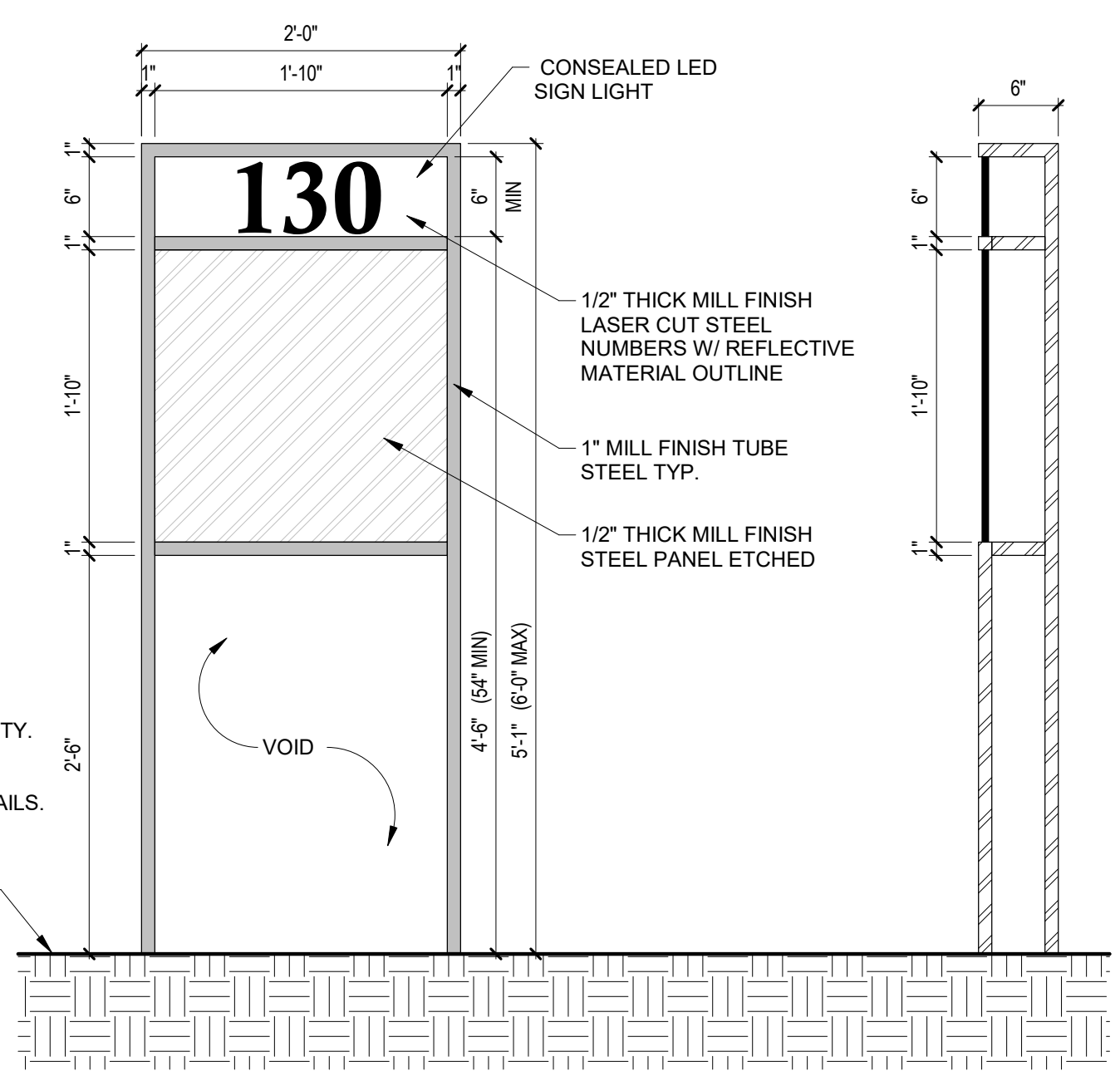
SHEET NUMBER

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**A1.1**

NOT FOR CONSTRUCTION

©shift architects

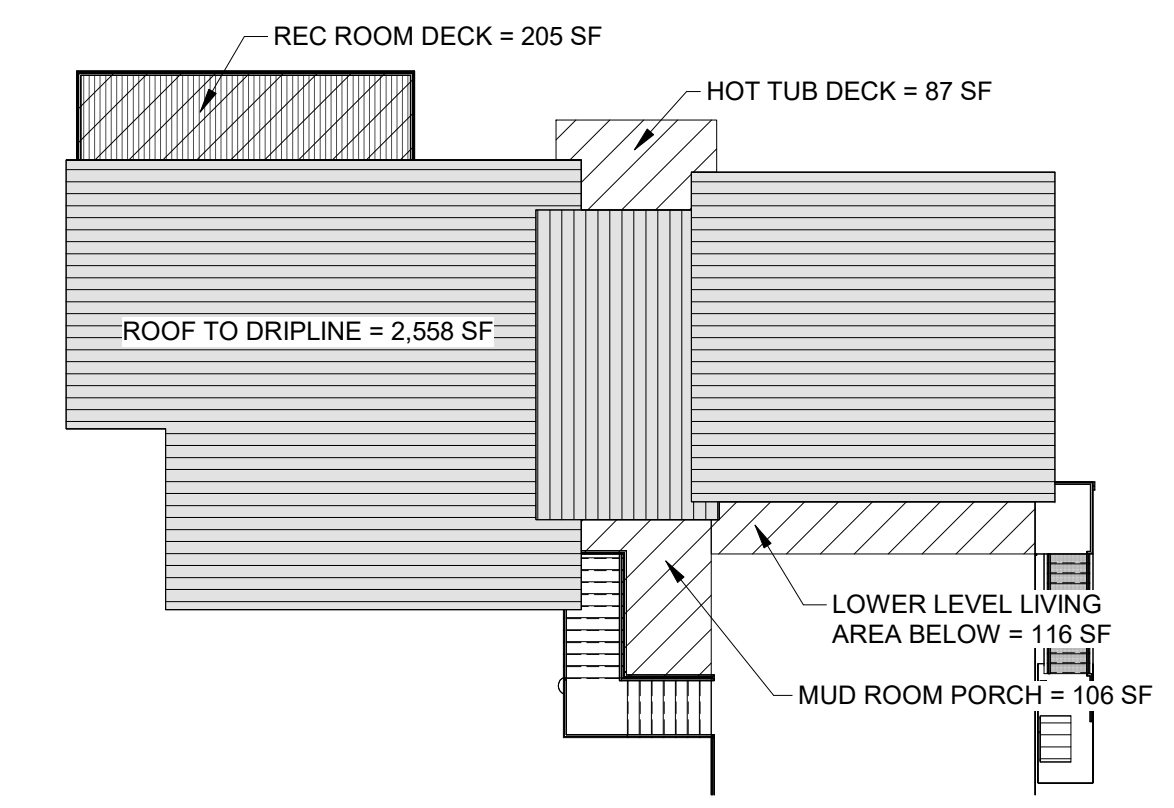


- NOTE: ADDRESS MONUMENT SHALL BE IN ACCORDANCE WITH CDC REQUIREMENTS.
1. PROVIDE CONTRASTING LETTERS / NUMBERS TO IMPROVE DAYTIME VISIBILITY.
  2. LETTERING / NUMBERING SHALL HAVE REFLECTIVE MATERIAL OUTLINE FOR NIGHTTIME VISIBILITY WHEN LIGHTING FAILS.

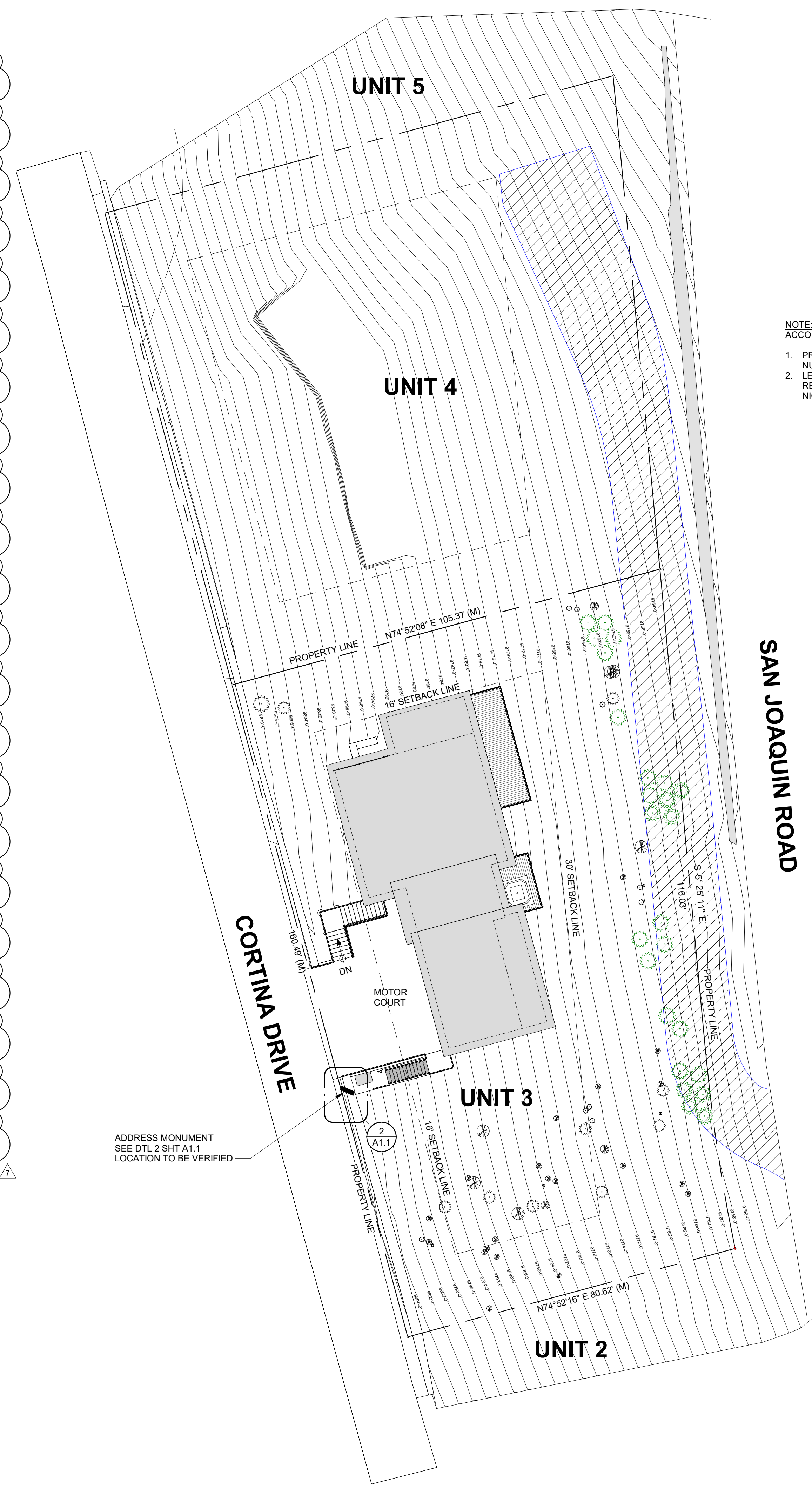
**2 ADDRESS MONUMENT**  
1" = 1'-0"

**MAX LOT COVERAGE:**

HOUSE (TO ROOF OVERHANG DRIP LINE)	2,558 SF
MUD ROOM PORCH	106 SF
REC ROOM DECK	205 SF
HOT TUB DECK	87 SF
LOWER LEVEL LIVING AREA	116 SF
<b>TOTAL:</b>	<b>3,072 SF</b>



**3 MAX LOT COVERAGE**  
1/16" = 1'-0"

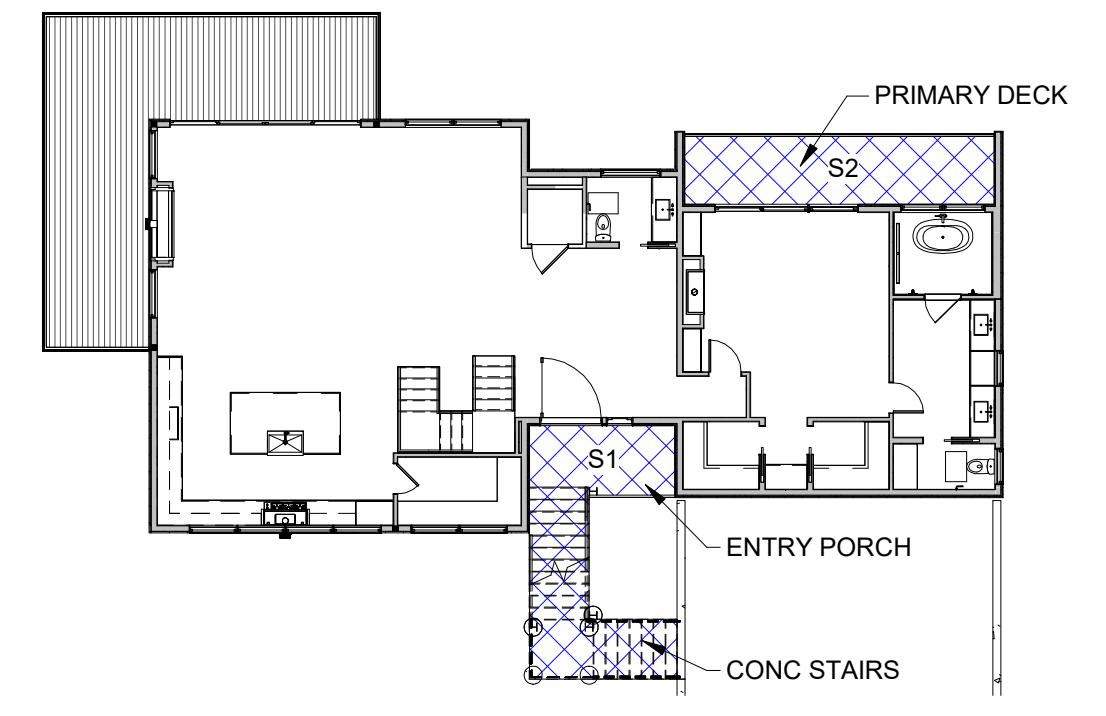


**1 ARCHITECTURAL SITE PLAN**  
1/16" = 1'-0"

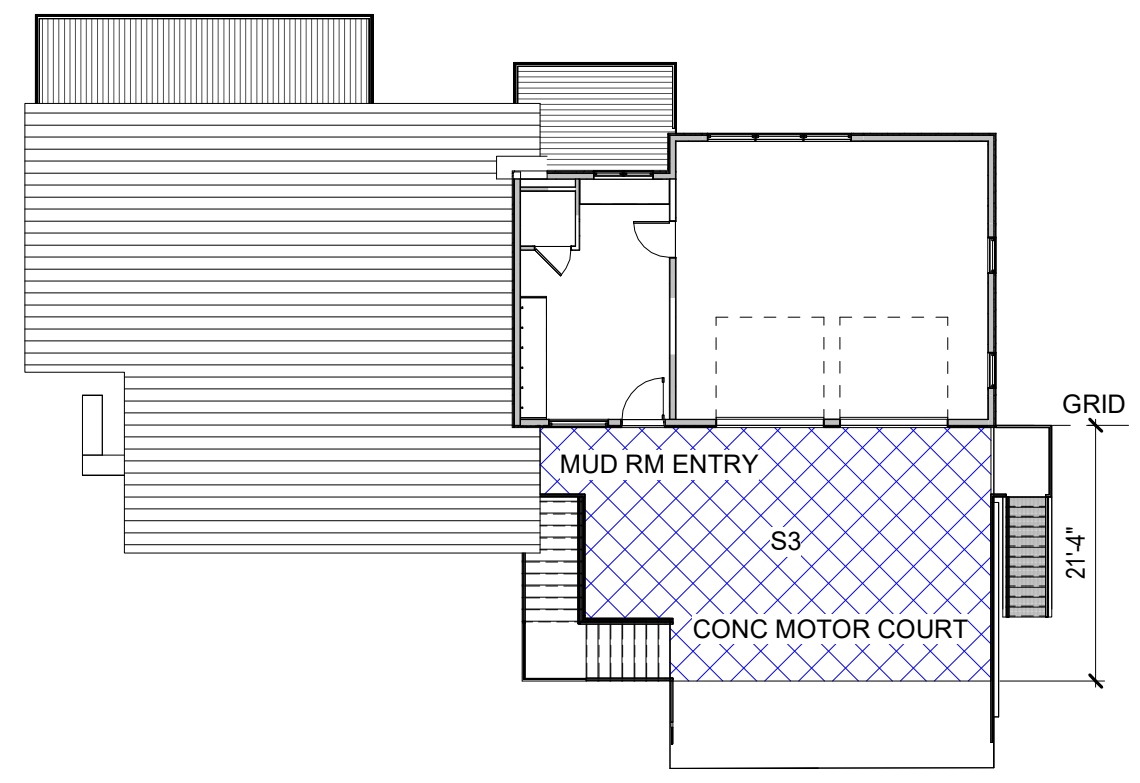


**SNOW MELT**

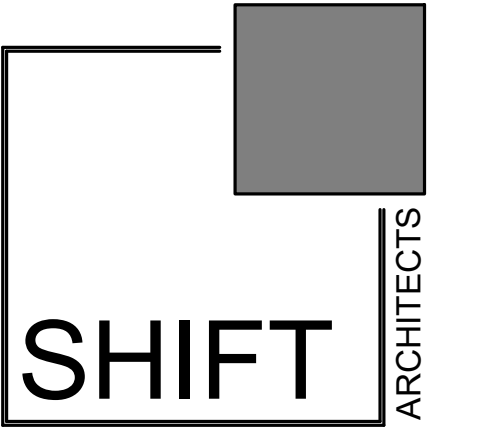
PROPOSED AREA	SF
ENTRY PORCH / CONC STAIRS	183 SF
PRIMARY DECK	145 SF
MUD ROOM ENTRY / MOTOR COURT	699 SF
<b>TOTAL:</b>	<b>1,027 SF</b>



**4 GROUND LEVEL SNOW MELT**  
1/16" = 1'-0"



**5 MUD / GARAGE LEVEL SNOW MELT**  
1/16" = 1'-0"



P.O. Box 3206  
 100 W. Colorado Suite 211  
 Telluride, Colorado 81435  
 p 970-728-8145  
 kristine@shift-architects.com  
 www.shift-architects.com

PROJECT ISSUE DATE:  
 01.15.24 REVISED DRB SUBMITTAL

REVISIONS

NO.	DATE	DESC.
10	12.19.23	Revised house location on site
11	12.19.23	Revised floor elevation levels

# CORTINA LAND CONDOMINIUMS UNIT 3

130 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435  
 UNIT 3, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON  
 INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC  
 TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

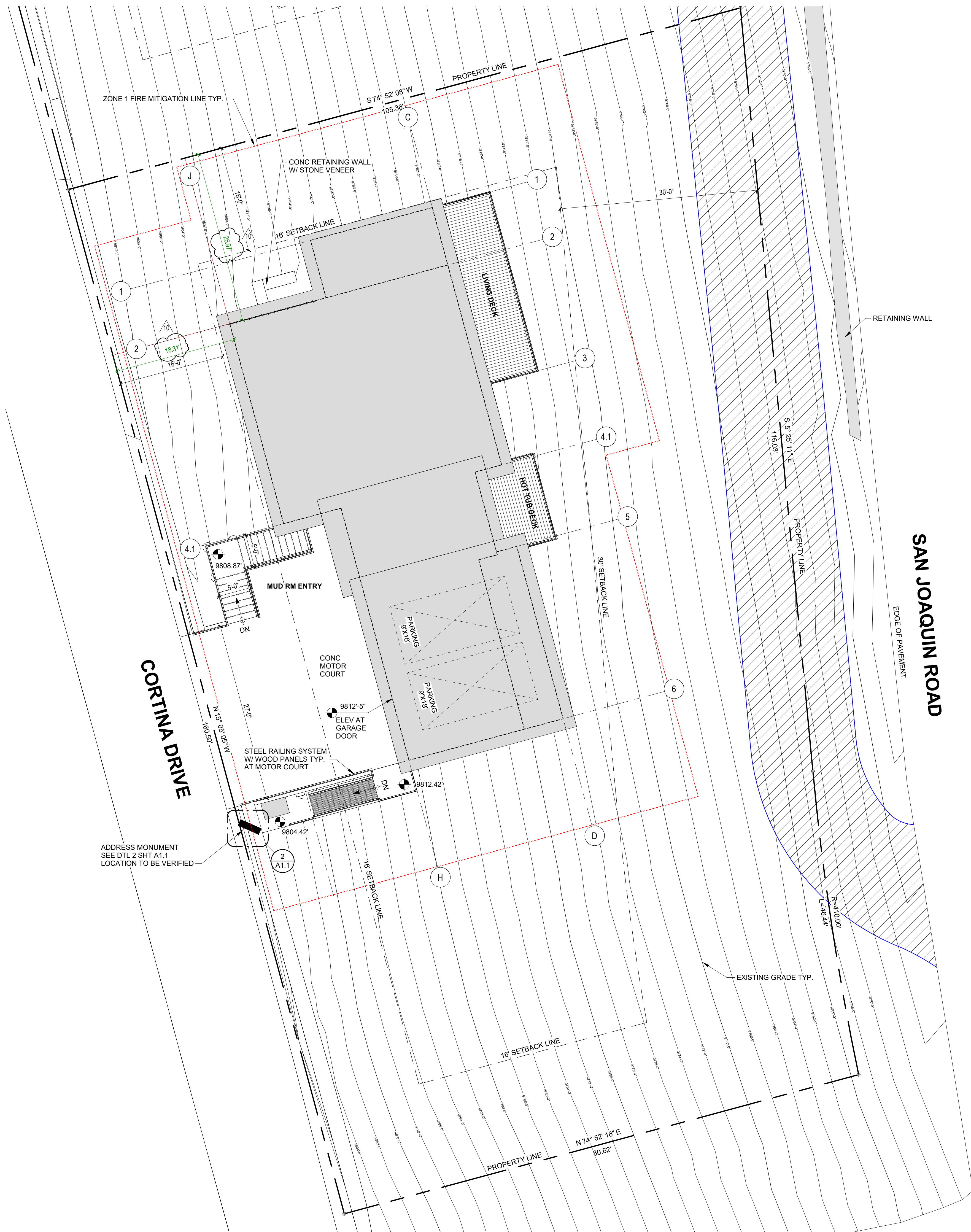
BUILDING SITE PLAN

SHEET NUMBER

**A1.2**

NOT FOR CONSTRUCTION

@shift architects



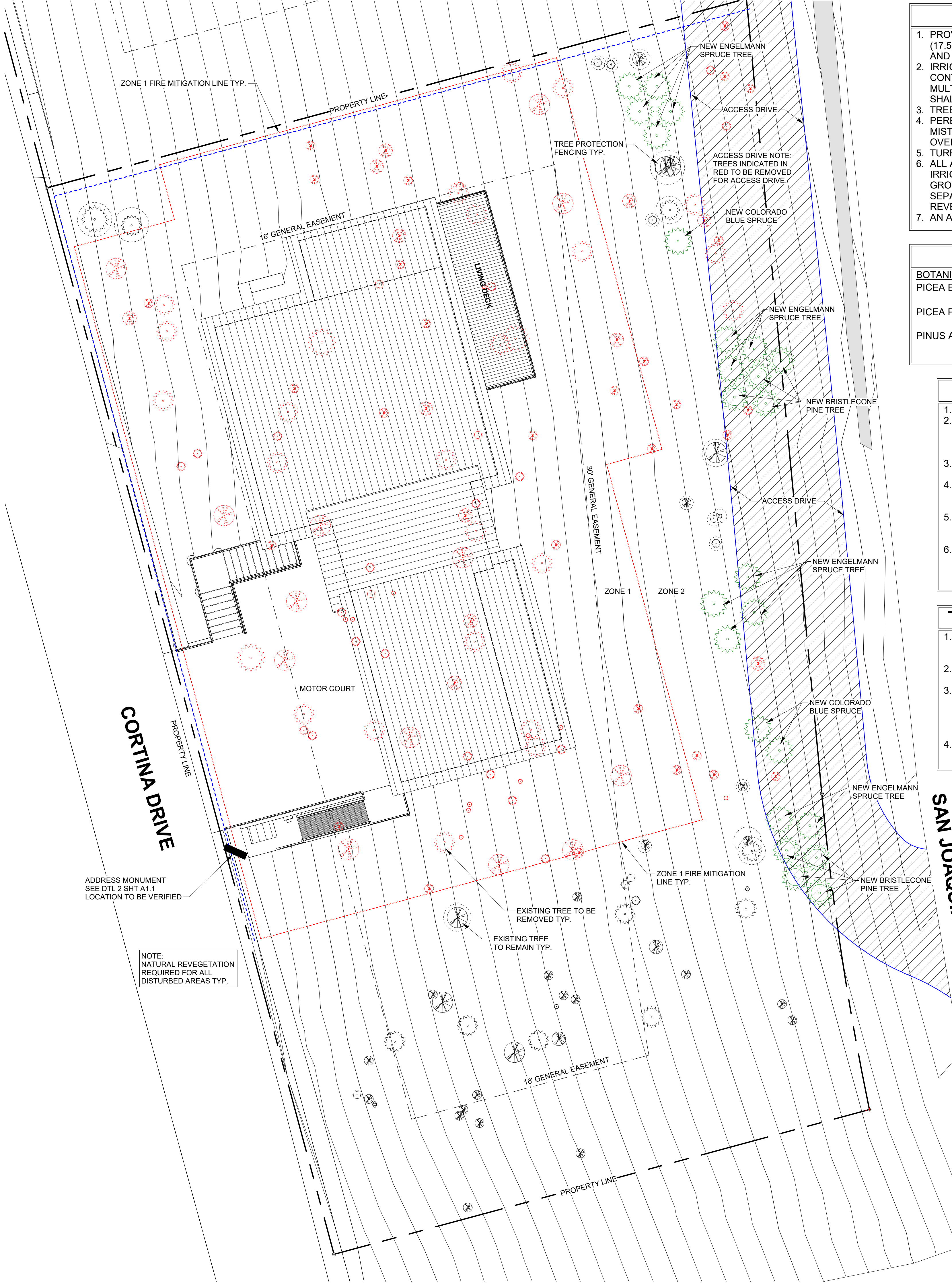
ADDRESS MONUMENT  
 SEE DTL 2 SHT A1.1  
 LOCATION TO BE VERIFIED

PROPOSED PARKING:  
 (2) ENCLOSED

FLOOR ELEVATIONS:  
 T.O. GYP @ LOWER LEVEL = 9791'-11"  
 T.O. GYP @ GROUND LEVEL = 9802'-5"  
 T.O. GYP @ MUD LEVEL = 9812'-11"  
 MOTOR COURT @ GARAGE DOOR = 9812'-5"

**1 BUILDING SITE PLAN**  
 1/8" = 1'-0"

1/12/2024 5:59:26 AM



### IRRIGATION NOTES

1. PROVIDE IRRIGATION SYSTEM IN ACCORDANCE WITH CDC REQUIREMENTS (17.5.9 LANDSCAPING REGULATIONS, TABLE 5-3 IRRIGATION SYSTEM DESIGN) AND THE TOWN OF MOUNTAIN VILLAGE WATER AND SEWER REGULATIONS.
2. IRRIGATION CONTROL EQUIPMENT SHALL INCLUDE AN AUTOMATIC IRRIGATION CONTROLLER HAVING PROGRAM FLEXIBILITY SUCH AS REPEAT CYCLES AND MULTIPLE PROGRAM CAPABILITIES. AUTOMATIC IRRIGATION CONTROLLERS SHALL HAVE BATTERY BACKUP TO RETAIN THE IRRIGATION PROGRAMS.
3. TREES AND SHRUBS SHALL BE DRIP IRRIGATION.
4. PERENNIAL BEDS SHALL BE SPRAY HEADS. USE SOAKER HOSE, LOW VOLUME MIST AND/OR EMITTERS EQUIPPED WITH ADJUSTABLE NOZZLES TO LIMIT OVER/UNDER WATERING WITHIN A SPECIFIC ZONE.
5. TURF GRASS SHALL BE SPRAY HEADS.
6. ALL AREAS TO BE REVEGETATED WITH NATIVE GRASS SEED MIX MAY BE IRRIGATED UNTIL THE GRASS IS ESTABLISHED, BUT NO MORE THAN ONE (1) FULL GROWING SEASON WITH ANY SUCH EXTRA IRRIGATION INSTALLED ON A SEPARATE ZONE THAT WILL BE PERMANENTLY SHUT OFF AFTER SUCCESSFUL REVEGETATION.
7. AN ADDITIONAL 2 YEAR GUARANTEE ON WATERING IS REQUIRED.

### PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY
PICEA ENGELMANNII	ENGELMANN SPRUCE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	14 EA
PICEA PUNGENS	COLORADO BLUE SPRUCE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	3 EA
PINUS ARISTATA	BRISTLECONE PINE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	8 EA

### TREE PLANTING NOTES

1. TREE PLANTING SHALL ADHERE TO CDC: 17.5.9.C.7.
2. IRRIGATED LAWN AREAS SHOULD BE AERATED TWO (2) TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATES AND PROVIDE A HEALTHY LAWN. ORGANICS, FERTILIZATION AND AMENDMENT INCORPORATION AT SAME TIME ARE ENCOURAGED.
3. TREES AND SHRUBS SHALL BE MULCHED UPON INITIAL PLANTING AND AS NEEDED TO REDUCE WATER EVAPORATION.
4. TREES AND SHRUB HOLES SHALL BE DUG SIX INCHES (6") DEEPER THAN THE ROOT BALL SIZE TO FACILITATE THE PLACEMENT OF APPROPRIATE MULCH MATERIAL AND FACILITATE GROWTH.
5. TREES SHALL BE STAKED AND HELD IN PLACE BY WEBBING AND WIRE TO ENSURE SUCCESSFUL ROOT ESTABLISHMENT FOR A PERIOD OF TWO (2) FULL GROWING SEASONS.
6. BURLAP AND WIRE SHALL BE REMOVED FROM THE ROOT BALL PRIOR TO PLANTING. IF ALL OF THE WIRE CANNOT BE REMOVED DUE TO THE SIZE OF THE TREE, THEN TWO-THIRDS OF THE WIRE SHALL BE REMOVED FROM THE UPPER PORTION OF THE ROOT BALL.

### TREE PROTECTION / REMOVAL NOTES

1. TREE PROTECTION FENCING IS REQUIRED BY THE CDC TO BE INSTALLED AT OR BEYOND THE CROWN DRIPLINE OF EACH TREE THAT WILL REMAIN (TREE PROTECTION ZONE) IN ACCORDANCE WITH CDC: 17.6.1.A.4.f.
2. TREE PROTECTION FENCING MUST BE INSTALLED AND APPROVED BY THE TOWN FORESTER BEFORE EXCAVATION MAY BEGIN.
3. THE TOWN FORESTER MUST BE CONTACTED BEFORE EXCAVATION BEGINS TO MARK OR APPROVE THE TREES TO BE REMOVED AND TO APPROVE THE PLACEMENT OF THE TREE PROTECTION FENCING. A TREE REMOVAL PERMIT MUST BE OBTAINED FROM THE TOWN FORESTER BEFORE TREE REMOVAL OPERATIONS MAY BEGIN.
4. NO BACKFILL, STORAGE, OR STAGING IS PERMITTED INSIDE THE TREE PROTECTION AREA INSIDE THE TREE PROTECTION FENCING.

#### TREES REMOVED FROM ACCESS DRIVE:

ASPEN (3")	2 EA
ASPEN (4")	4 EA
ASPEN (6")	1 EA
ASPEN (8")	1 EA
SPRUCE (8")	1 EA
FIR (6")	1 EA
FIR (10")	1 EA
FIR (14")	1 EA
<b>TOTAL:</b>	<b>14 EA</b>

### LEGEND

	CONCRETE PAVERS		SHRUBS
	WILDFIRE MITIGATION BOUNDARY		EXISTING DECIDUOUS TREE
	LIMIT OF DISTURBANCE		EXISTING DECIDUOUS TREE TO BE REMOVED
	PERIMETER FENCING W/ ATTACHED GREEN SCREENING		NEW DECIDUOUS TREE
	TREE PROTECTION FENCING		EXISTING EVERGREEN TREE
	REVEGETATED AREA W/ IRRIGATION		EXISTING EVERGREEN TREE TO BE REMOVED
	REVEGETATE W/ NATIVE GRASS		NEW EVERGREEN TREE
	DISTURBED AREAS		
	MULCH LANDSCAPE BEDDING		
	PERENNIAL BEDDING: PROVIDE LAVA ROCK MULCH		
	FLAGSTONE		
	STONE PAVER		

**NOTE:** PROVIDE TREE PROTECTION FENCING AS REQUIRED BY THE CDC.

### GENERAL NOTES:

1. ALL TREES AND SHRUBS TO BE LOCATED BY PROJECT ARCHITECT / OWNER.
2. ALL TREES AND SHRUBS SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
3. NECESSARY TREES SHALL BE STAKED WITH 4' METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
4. PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
5. SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
6. MULCH ALL PERENNIAL BEDS WITH LAVA ROCK.
7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
8. LANDSCAPING AND TREE REMOVAL SHALL BE IN ACCORDANCE WITH CDC 17.5.9 LANDSCAPING REGULATIONS AND CDC 17.6.1 ENVIRONMENTAL REGULATIONS.

#### NOXIOUS WEEDS:

1. ALL PLANTED MATERIALS INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED IN THE NOXIOUS WEED CDC TABLE 5-5 OR SUBSEQUENTLY DESIGNATED AS A NOXIOUS WEED BY THE STATE OF COLORADO, OR THE TOWN.

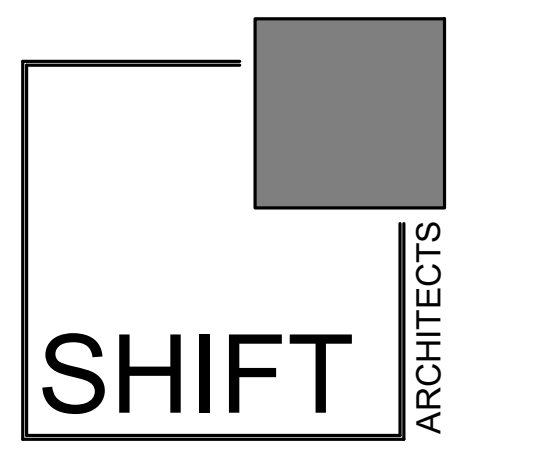
#### LANDSCAPE MAINTENANCE NOTES:

1. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
2. NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.
3. ALL SHRUBS IN SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.
4. IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

### REVEGETATION NOTES:

1. SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
2. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
3. AREAS WHICH HAVE BEEN COMPACTED OR ARE RELATIVELY UNDISTURBED NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
4. BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING, STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
5. ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
6. ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
7. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.
8. REVEGETATION WILL REQUIRE 12" OF EXISTING TOP SOIL TO BE REMOVED AND STORED UNTIL REVEGETATION HAPPENS.
9. TOPSOIL SPECIFICATION: REPLACE WITH ORIGINAL EXCAVATED FROM THE SITE AND SUPPLEMENT WITH LOCAL NATIVE TOPSOIL. TOPSOIL WILL CONTAIN 4-5% ORGANIC MATTER WHICH SHALL BE MIXED IN DURING THE RESTORATION PROCESS (THE ORGANIC MATTER SHOULD BE DERIVED FROM DISEASE AND HERBICIDE FREE PARTIALLY DECOMPOSED, CURED, WOOD CHIPS).
10. REVEGETATION WILL BE BROUGHT BACK TO ORIGINAL GRADE.

SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREeping RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%



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PROJECT ISSUE DATE:  
01.15.24 REVISED DRB SUBMITTAL

REVISIONS  
NO. DATE DESC.

CORTINA LAND CONDOMINIUMS UNIT 3

130 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435  
UNIT 3, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

LANDSCAPE PLAN

SHEET NUMBER

**A1.3**

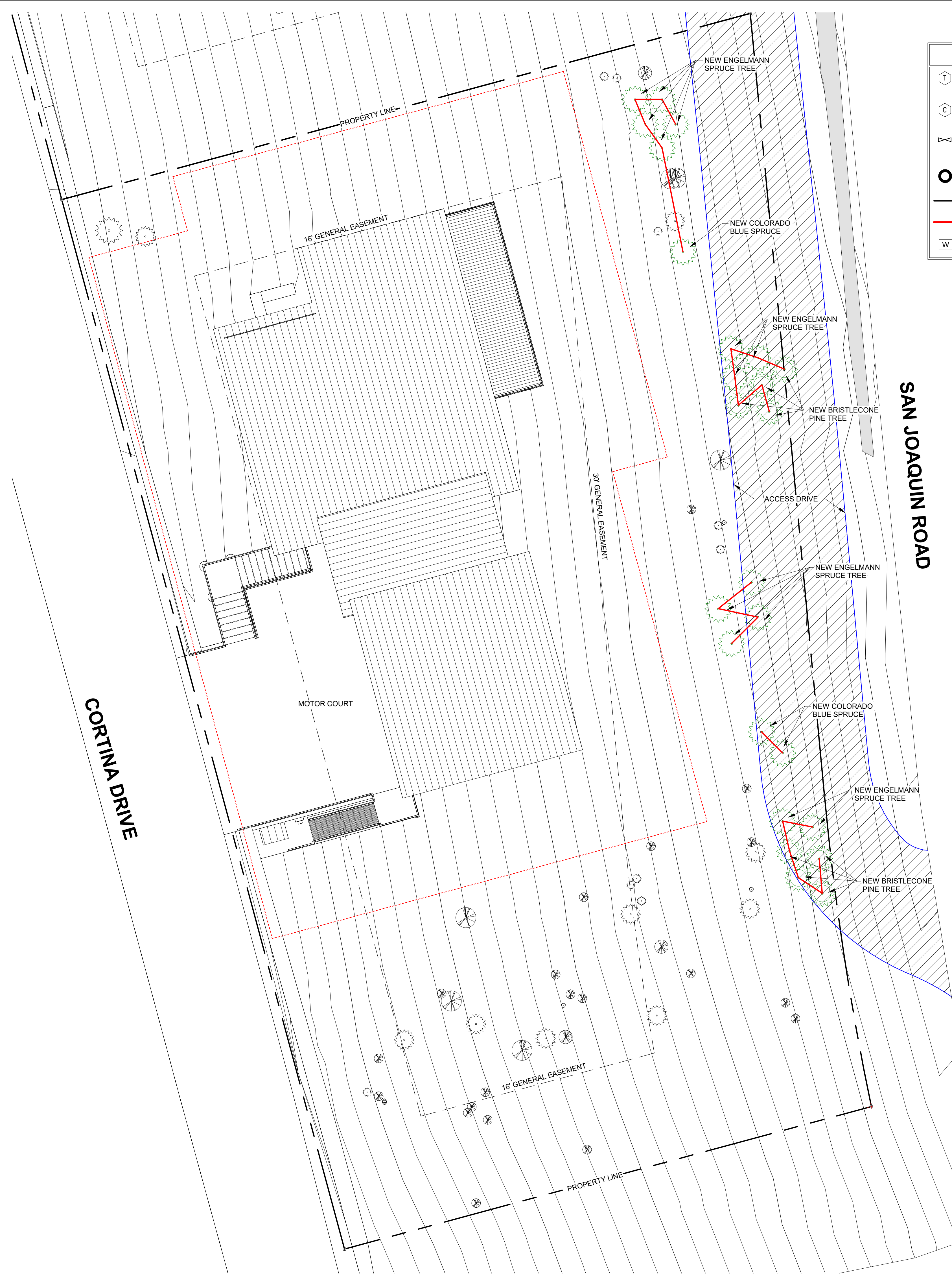
**1** LANDSCAPE PLAN  
1/8" = 1'-0"



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### IRRIGATION LEGEND

- TAP WITH RAINBIRD PVB-075 BACKFLOW PREVENTER
- RAINBIRD RCM-12 ELECTROMECHANICAL CONTROLLER
- 1.5" WILKINS MODEL 500 PRESSURE REGULATOR
- RAINBIRD 150-PEB 1.5" ELECTRIC REMOTE CONTROL VALVE
- CLASS 200 PVC MAINLINE 1 1/2"
- 1:80 NSF POLYLATERAL LINE
- WATER SENSOR BY RAINBIRD

### LEGEND

	CONCRETE PAVERS		SHRUBS
	WILDFIRE MITIGATION BOUNDARY		EXISTING DECIDUOUS TREE
	LIMIT OF DISTURBANCE		EXISTING DECIDUOUS TREE TO BE REMOVED
	PERIMETER FENCING W/ ATTACHED GREEN SCREENING		NEW DECIDUOUS TREE
	TREE PROTECTION FENCING		EXISTING EVERGREEN TREE
	REVEGETATED AREA W/ IRRIGATION		EXISTING EVERGREEN TREE TO BE REMOVED
	REVEGETATE W/ NATIVE GRASS		NEW EVERGREEN TREE
	DISTURBED AREAS		
	MULCH LANDSCAPE BEDDING		
	PERENNIAL BEDDING: PROVIDE LAVA ROCK MULCH		
	FLAGSTONE		
	STONE PAVER		

**NOTE:** PROVIDE TREE PROTECTION FENCING AS REQUIRED BY THE CDC.

- ### IRRIGATION NOTES
- PROVIDE IRRIGATION SYSTEM IN ACCORDANCE WITH CDC REQUIREMENTS (17.5.9 LANDSCAPING REGULATIONS, TABLE 5-3 IRRIGATION SYSTEM DESIGN) AND THE TOWN OF MOUNTAIN VILLAGE WATER AND SEWER REGULATIONS.
  - IRRIGATION CONTROL EQUIPMENT SHALL INCLUDE AN AUTOMATIC IRRIGATION CONTROLLER HAVING PROGRAM FLEXIBILITY SUCH AS REPEAT CYCLES AND MULTIPLE PROGRAM CAPABILITIES. AUTOMATIC IRRIGATION CONTROLLERS SHALL HAVE BATTERY BACKUP TO RETAIN THE IRRIGATION PROGRAMS.
  - TREES AND SHRUBS SHALL BE DRIP IRRIGATION.
  - PERENNIAL BEDS SHALL BE SPRAY HEADS. USE SOAKER HOSE, LOW VOLUME MIST AND/OR EMITTERS EQUIPPED WITH ADJUSTABLE NOZZLES TO LIMIT OVER/UNDER WATERING WITHIN A SPECIFIC ZONE.
  - TURF GRASS SHALL BE SPRAY HEADS.
  - ALL AREAS TO BE REVEGETATED WITH NATIVE GRASS SEED MIX MAY BE IRRIGATED UNTIL THE GRASS IS ESTABLISHED, BUT NO MORE THAN ONE (1) FULL GROWING SEASON WITH ANY SUCH EXTRA IRRIGATION INSTALLED ON A SEPARATE ZONE THAT WILL BE PERMANENTLY SHUT OFF AFTER SUCCESSFUL REVEGETATION.
  - AN ADDITIONAL 2 YEAR GUARANTEE ON WATERING IS REQUIRED.

### IRRIGATION SCHEDULE

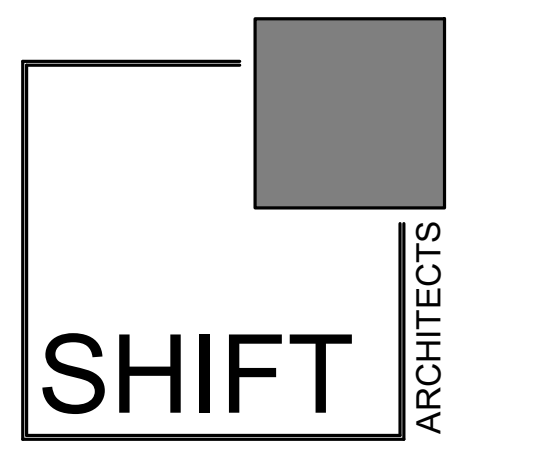
ZONE	LOCATION	HEAD	GPM
1	DECIDUOUS TREES	DRIP EMITTERS	-
1	EVERGREEN TREES	DRIP EMITTERS	-
2	SHRUBS	DRIP EMITTERS	-
3	PERENNIALS	1806 POP UPS	-
4	REVEGETATION AREAS	ROTORS	24

### WATER USAGE CHART

TYPE	MONTHLY USE	TOTAL #	TOTAL MONTHLY USAGE
REVEGETATION	2 GAL / S.F.	X	X (FIRST SEASON)
ENGELMANN SPRUCE	10 GAL / EA	14	140 GAL
COLORADO BLUE SPRUCE	10 GAL / EA	3	30 GAL
BRISTLECONE PINE	10 GAL / EA	8	80 GAL
COMPLETE MONTHLY USAGE (FOR ESTABLISHMENT)			X GAL
(POST ESTABLISHMENT)			250 GAL

### PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY
PICEA ENGELMANNII	ENGELMANN SPRUCE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	14 EA
PICEA PUNGENS	COLORADO BLUE SPRUCE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	3 EA
PINUS ARISTATA	BRISTLECONE PINE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	8 EA



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REVISIONS

NO.	DATE	DESC.

CORTINA LAND CONDOMINIUMS UNIT 3

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IRRIGATION PLAN

SHEET NUMBER

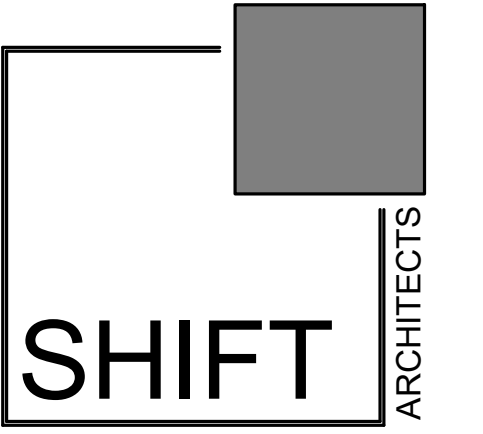
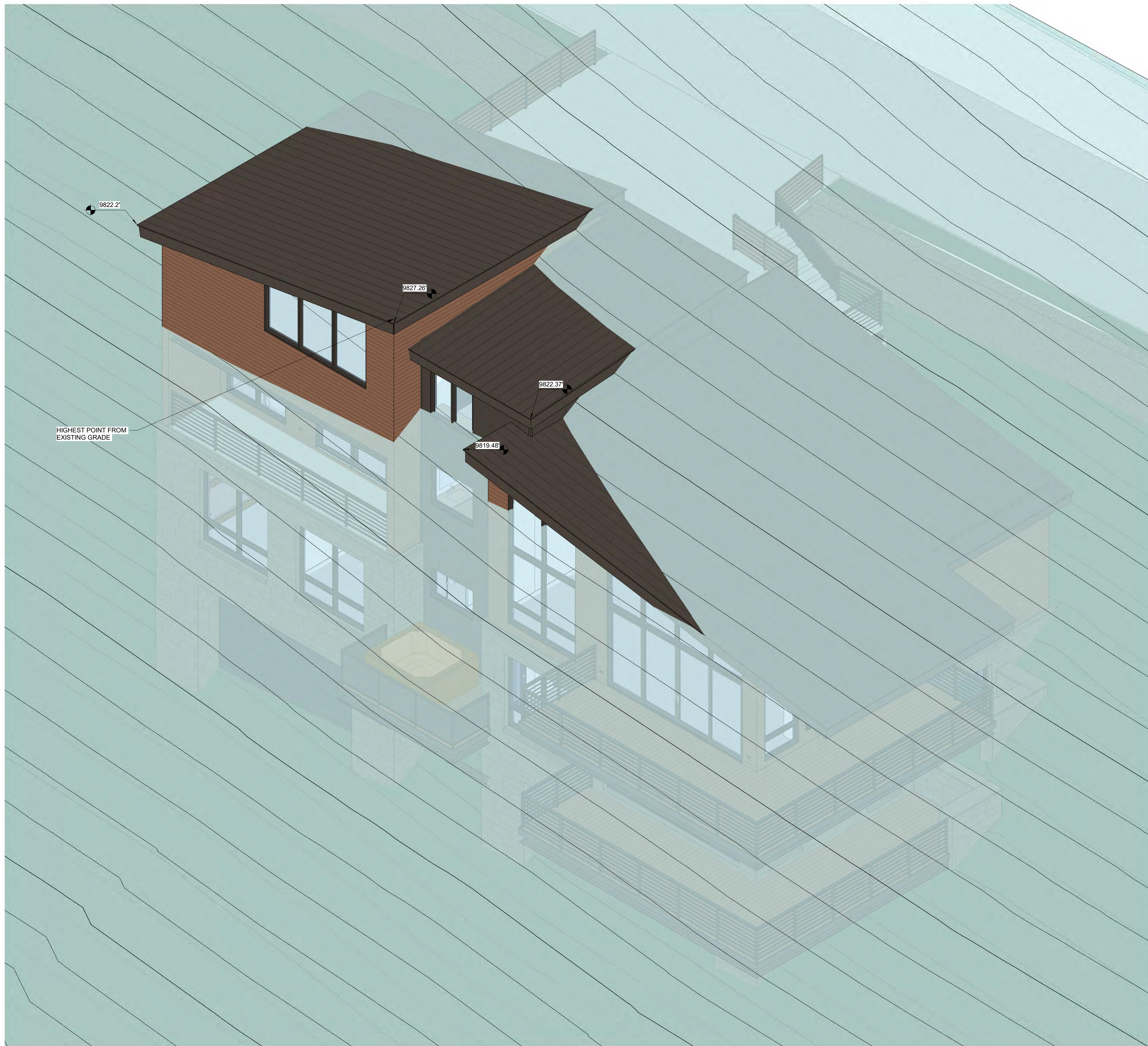
**1** IRRIGATION PLAN  
1/8" = 1'-0"

**A1.4**

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SITE 35' PARALLEL  
 OFFSET

SHEET NUMBER

**A2.1**

**1** EXISTING GRADE 35' PARALLEL OFFSET

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NO.	DATE	DESC.
8	12.19.23	Revised building height calculations

**CORTINA LAND CONDOMINIUMS UNIT 3**

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TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

MAX BUILDING  
HEIGHT

SHEET NUMBER

**A2.2**

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**MAX BUILDING HT :**

HIGHEST POINT RELATIVE TO GRADE:	
LOCATION: E3	49.36'
MAX BUILDING HT ALLOWABLE	35.00'
ROOF HEIGHT	9827.26'
MOST RESTRICTIVE GRADE BELOW	9777.90'

**2ND HIGHEST POINT RELATIVE TO GRADE:**

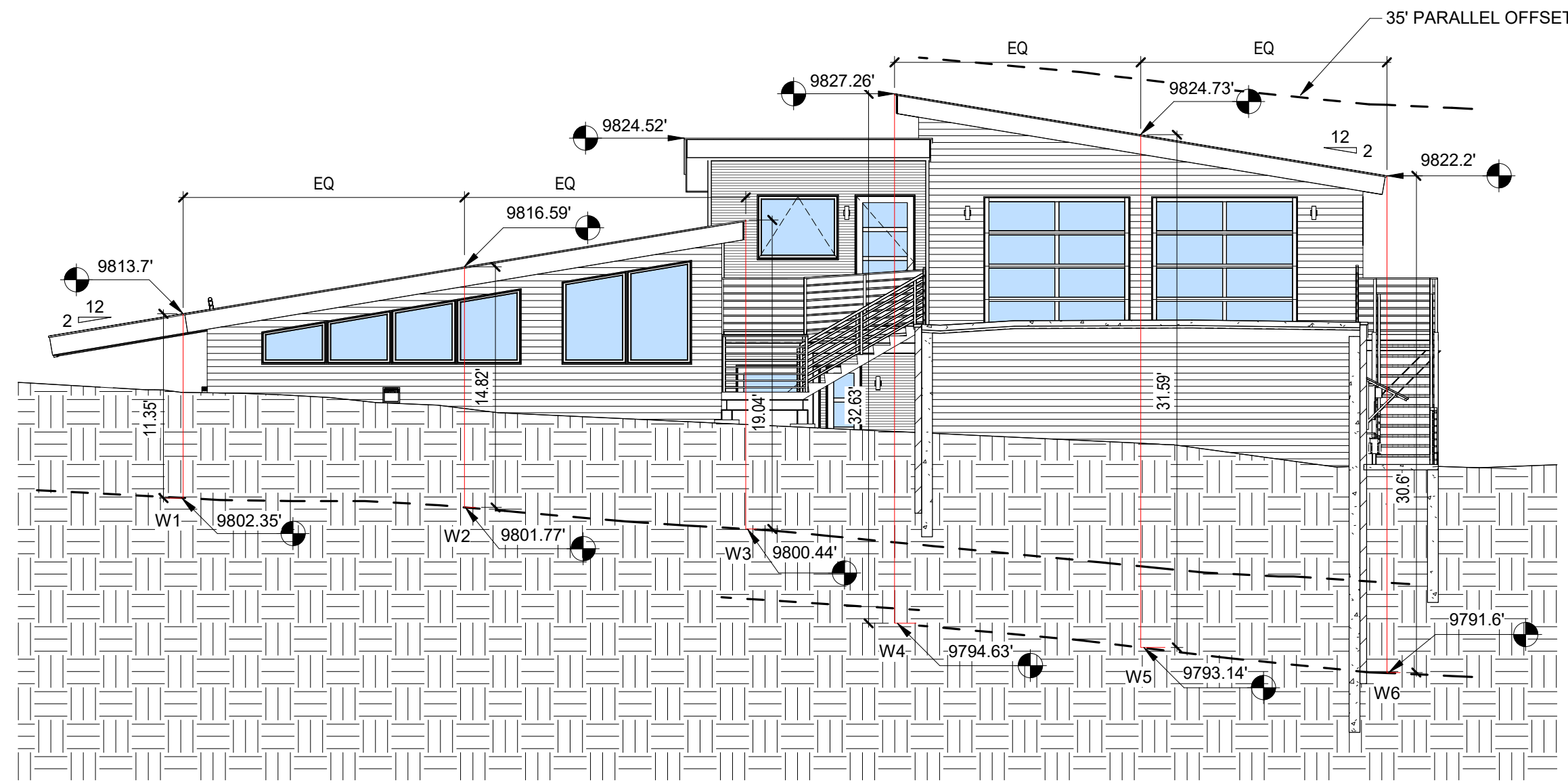
LOCATION: E2	48.04'
MAX BUILDING HT ALLOWABLE	35.00'
ROOF HEIGHT	9824.73'
MOST RESTRICTIVE GRADE BELOW	9776.69'

**3RD HIGHEST POINT RELATIVE TO GRADE:**

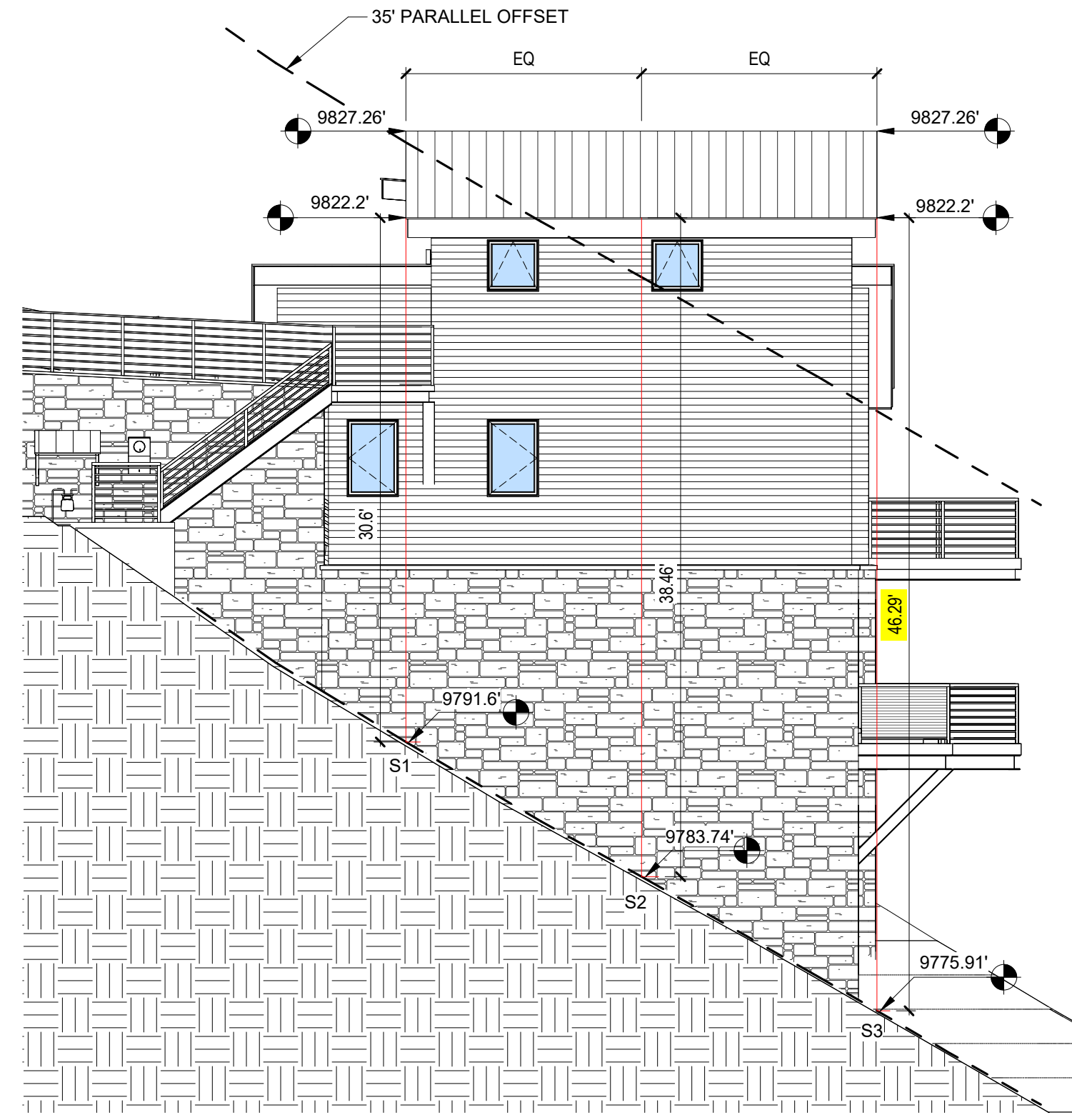
LOCATION: E1, S3	46.29'
MAX BUILDING HT ALLOWABLE	35.00'
ROOF HEIGHT	9822.20'
MOST RESTRICTIVE GRADE BELOW	9775.91'

**AVG ROOF HT :**

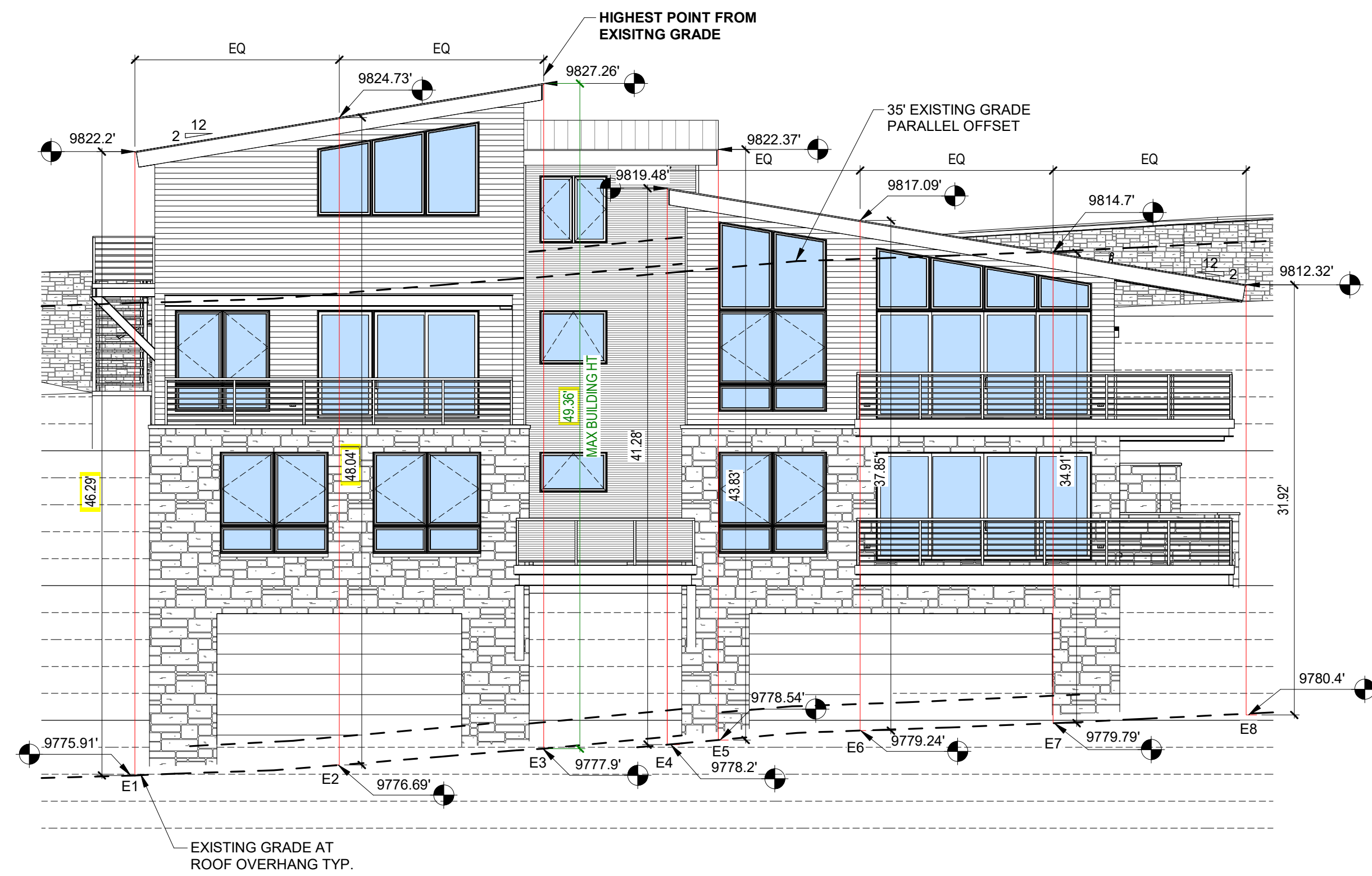
<b>NORTH ELEVATION</b>	
N1	31.92'
N2	25.18'
N3	18.44'
N4	11.26'
SUB-TOTAL: 86.80'	
# OF LOCATIONS:	4
AVERAGE:	21.70'
<b>SOUTH ELEVATION</b>	
S1	30.60'
S2	38.46'
S3	46.29'
SUB-TOTAL: 115.35'	
# OF LOCATIONS:	3
AVERAGE:	38.45'
<b>EAST ELEVATION</b>	
E1	46.29'
E2	48.04'
E3	49.36'
E4	41.28'
E5	43.83'
E6	37.85'
E7	34.91'
E8	31.92'
SUB-TOTAL: 333.48'	
# OF LOCATIONS:	8
AVERAGE:	41.68'
<b>WEST ELEVATION</b>	
W1	11.35'
W2	14.82'
W3	19.04'
W4	32.63'
W5	31.59'
W6	30.60'
SUB-TOTAL: 140.03'	
# OF LOCATIONS:	6
AVERAGE:	23.33'
TOTAL: 675.66'	
NUMBER OF LOCATIONS:	21
AVERAGE:	32.17'



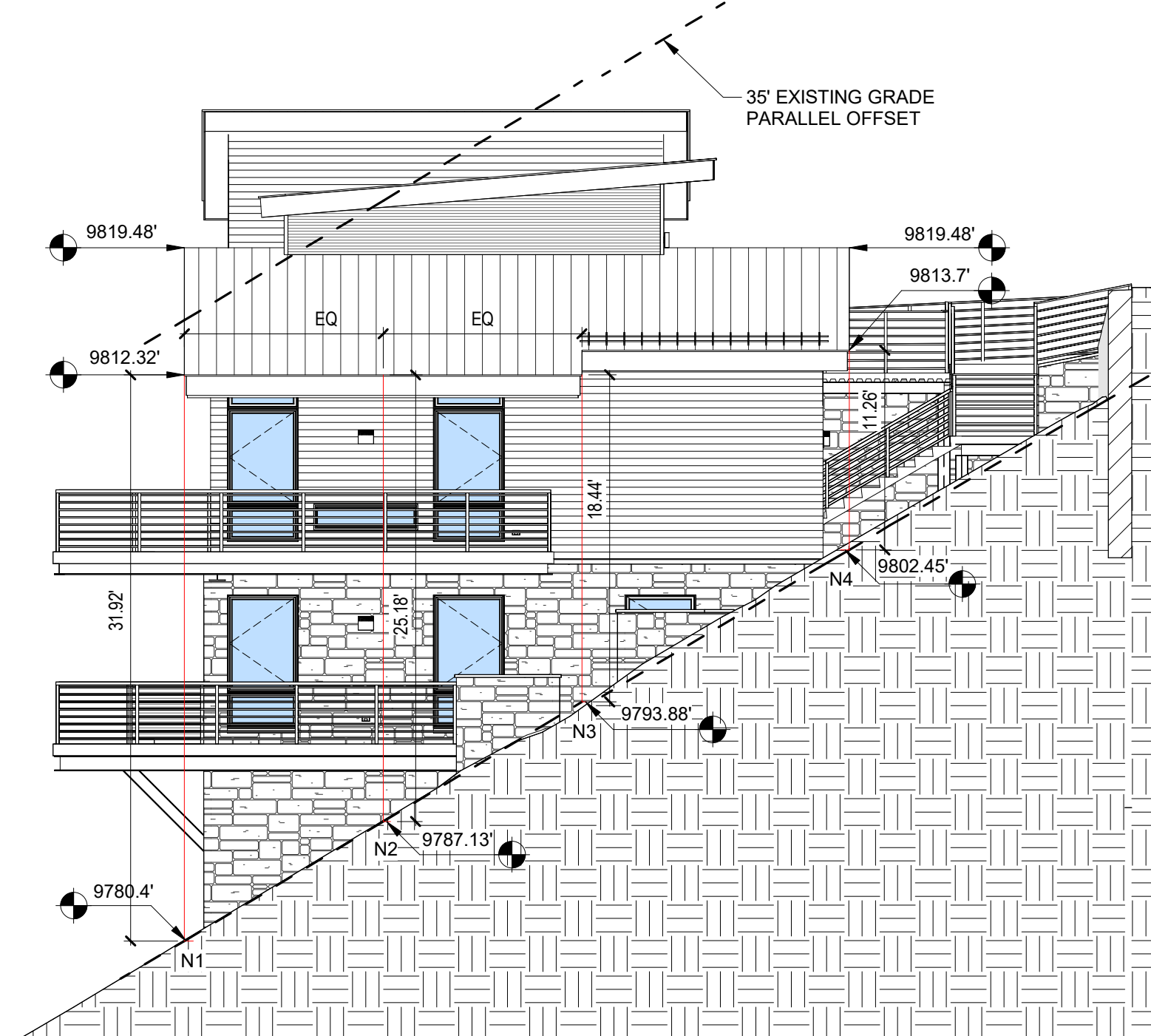
**3 WEST ELEVATION**  
1/8" = 1'-0"



**4 SOUTH ELEVATION**  
1/8" = 1'-0"



**1 EAST ELEVATION**  
1/8" = 1'-0"

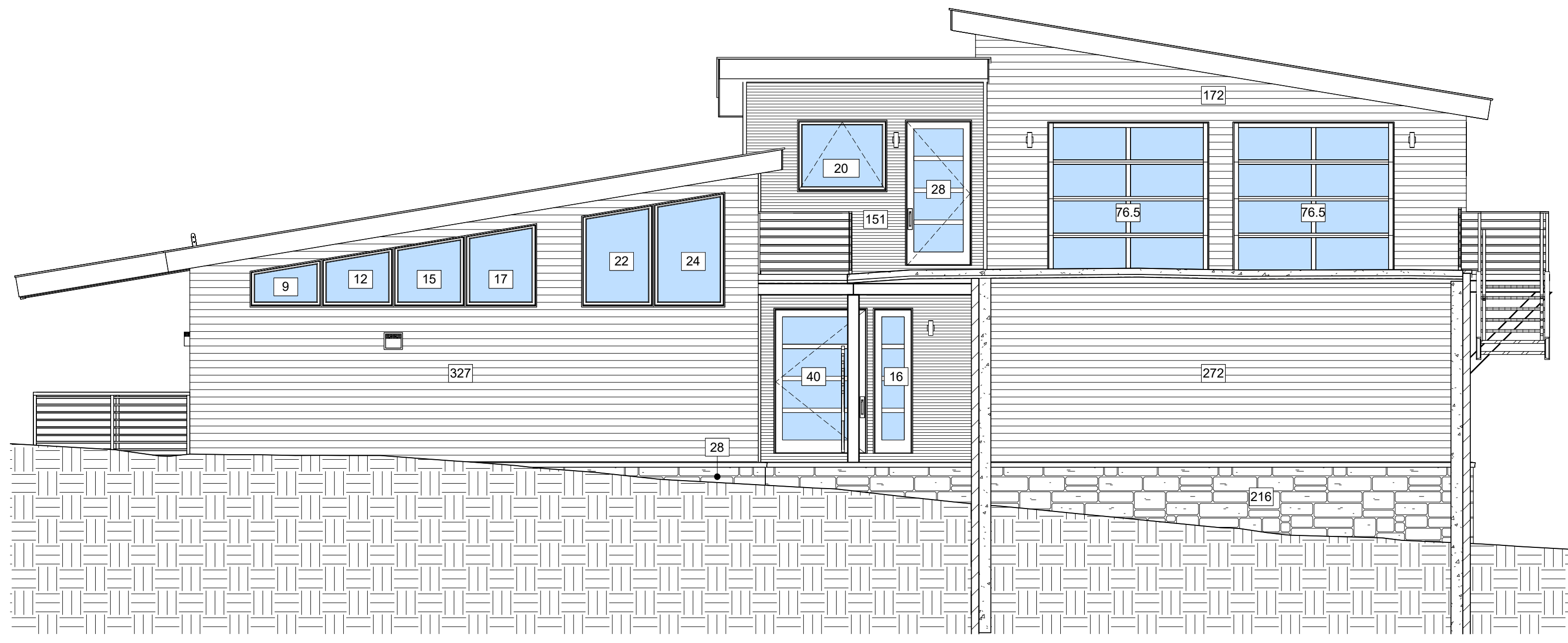


**2 NORTH ELEVATION**  
1/8" = 1'-0"



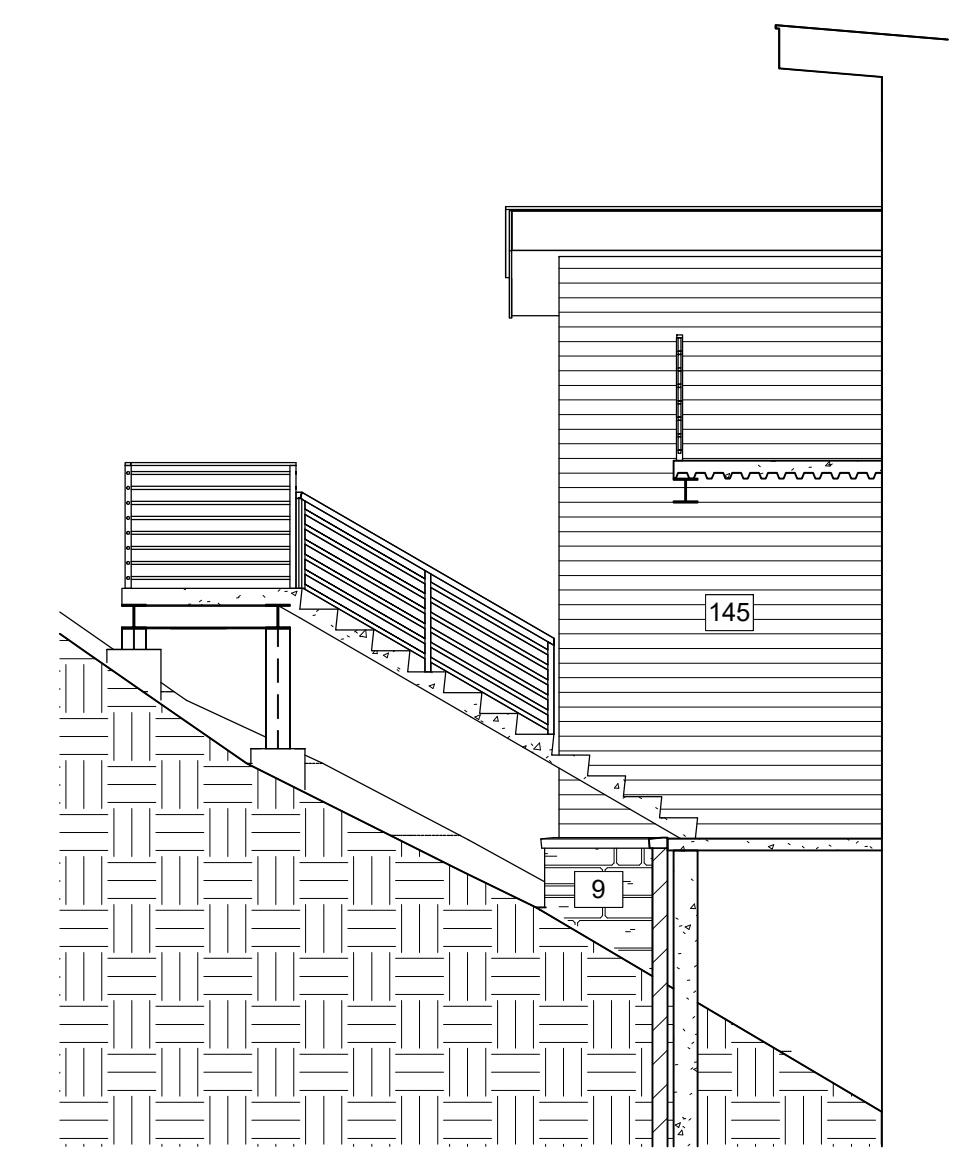


MATERIAL CALCULATIONS		
<b>NORTH</b>		
STONE	302 SF	32%
WOOD SIDING	403 SF	43%
WINDOW/DOOR GLAZING	156 SF	17%
STEEL SIDING	77 SF	8%
<b>SUBTOTAL:</b>	<b>938 SF</b>	<b>100%</b>
<b>SOUTH</b>		
STONE	517 SF	46%
WOOD SIDING	551 SF	50%
WINDOW/DOOR GLAZING	45 SF	4%
STEEL SIDING	N/A	
<b>SUBTOTAL:</b>	<b>1,113 SF</b>	<b>100%</b>
<b>EAST</b>		
STONE	855 SF	30%
WOOD SIDING	508 SF	18%
WINDOW/DOOR GLAZING	876.5 SF	31%
STEEL SIDING	598 SF	21%
<b>SUBTOTAL:</b>	<b>2,837.5 SF</b>	<b>100%</b>
<b>WEST</b>		
STONE	244 SF	16%
WOOD SIDING	771 SF	51%
WINDOW/DOOR GLAZING	203 SF	14%
STEEL SIDING	151 SF	9%
GARAGE DOOR	153 SF	10%
<b>SUBTOTAL:</b>	<b>1,522 SF</b>	<b>100%</b>
<b>NORTH AT ENTRY PORCH</b>		
WOOD SIDING	59 SF	100%
<b>SUBTOTAL:</b>	<b>59 SF</b>	<b>100%</b>
<b>SOUTH AT ENTRY PORCH</b>		
STONE	9 SF	6%
WOOD SIDING	145 SF	94%
<b>SUBTOTAL:</b>	<b>154 SF</b>	<b>100%</b>
<b>NORTH AT HOT TUB DECK</b>		
STONE	76 SF	100%
<b>SUBTOTAL:</b>	<b>76 SF</b>	<b>100%</b>
<b>SOUTH AT HOT TUB DECK</b>		
STONE	75 SF	46%
WOOD SIDING	66 SF	41%
WINDOW/DOOR GLAZING	21 SF	13%
<b>SUBTOTAL:</b>	<b>162 SF</b>	<b>100%</b>
<b>STONE AT FACADE</b>		
SOUTH ELEVATION	210 SF	54%
NORTH AT ENTRY PORCH	180 SF	46%
<b>SUBTOTAL:</b>	<b>390 SF</b>	<b>100%</b>
<b>STONE AT RETAINING WALL</b>		
STONE (LOWER LVL DECK)	97 SF	60%
STONE (LOWER LVL WINDOW)	65.5 SF	40%
<b>SUBTOTAL:</b>	<b>162.5 SF</b>	<b>100%</b>
<b>TOTALS</b>		
STONE	2,078 SF	
WOOD SIDING	2,503 SF	
WINDOW/DOOR GLAZING	1,301.5 SF	
STEEL SIDING	826 SF	
GARAGE DOOR	153 SF	
STONE AT FACADE	390 SF	
STONE AT RETAINING WALL	162.5 SF	
<b>TOTAL:</b>	<b>7,414 SF</b>	
<b>PERCENTAGES</b>		
STONE	28%	35% TOTAL
STONE AT FACADE	5%	(35% REQUIRED)
STONE AT RETAINING WALL	2%	
WOOD SIDING	34%	
WINDOW/DOOR GLAZING	18%	
STEEL SIDING	11%	
GARAGE DOOR	2%	
<b>TOTAL:</b>	<b>100%</b>	
STONE VENEER CALCULATIONS ARE IN ACCORDANCE WITH TITLE 17 OF THE TOWN OF MOUNTAIN VILLAGE MUNICIPAL CODE CDC 17.5.6.E.1		

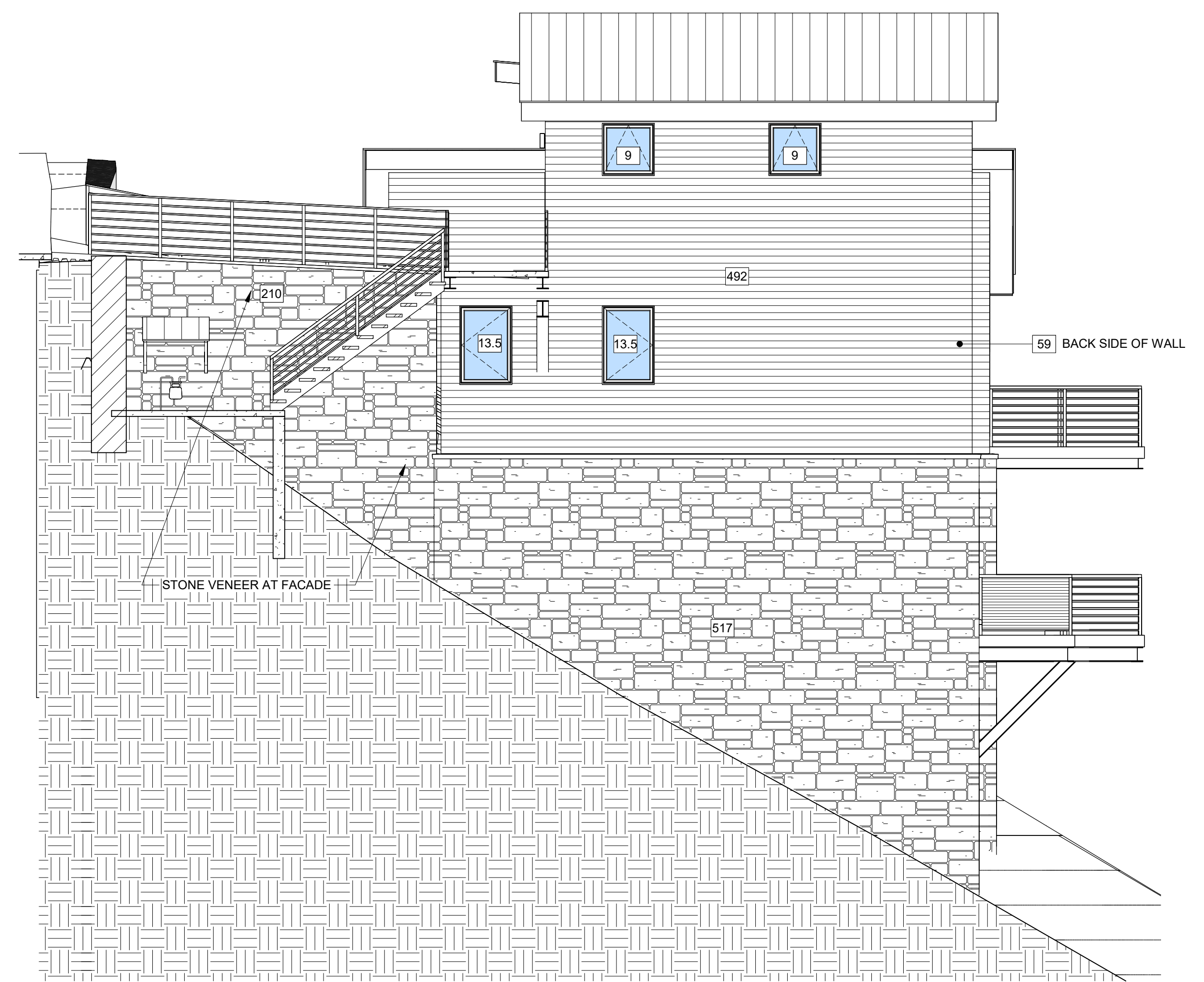


**3 WEST ELEVATION**  
3/16" = 1'-0"

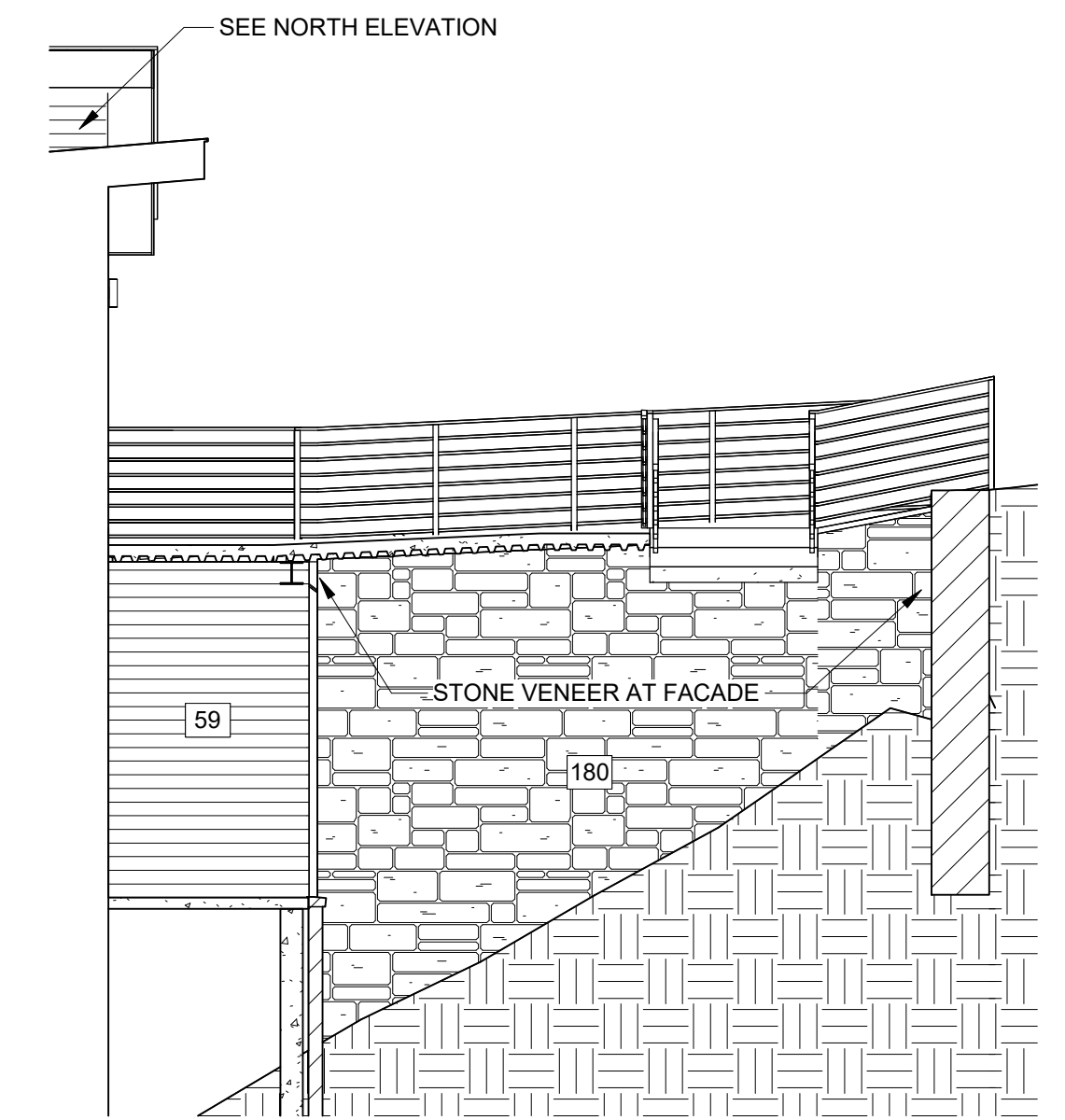
STAIRS / RAILINGS NOT SHOWN FOR CLARITY



**4 SOUTH AT ENTRY PORCH**  
3/16" = 1'-0"



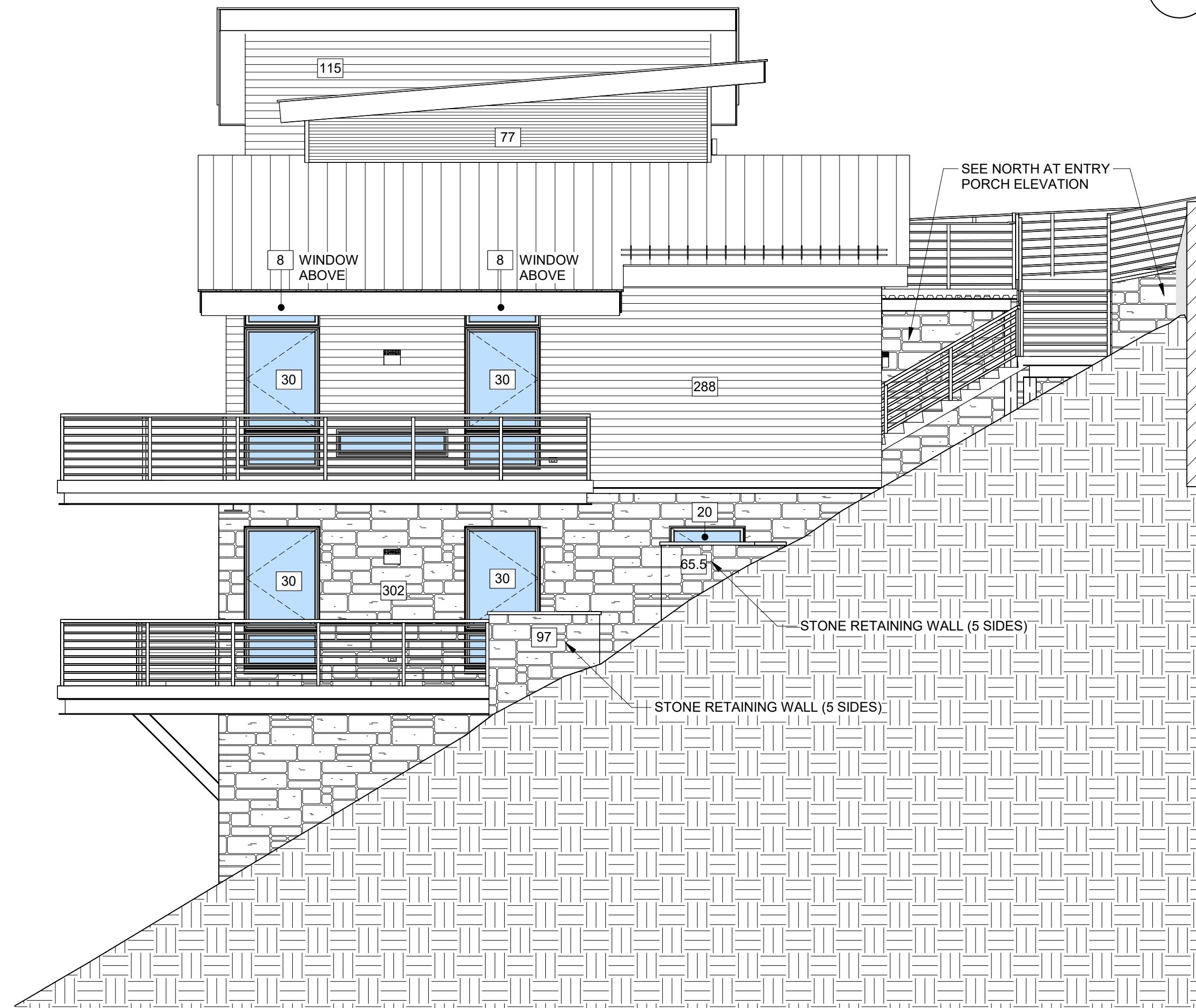
**1 SOUTH ELEVATION**  
3/16" = 1'-0"



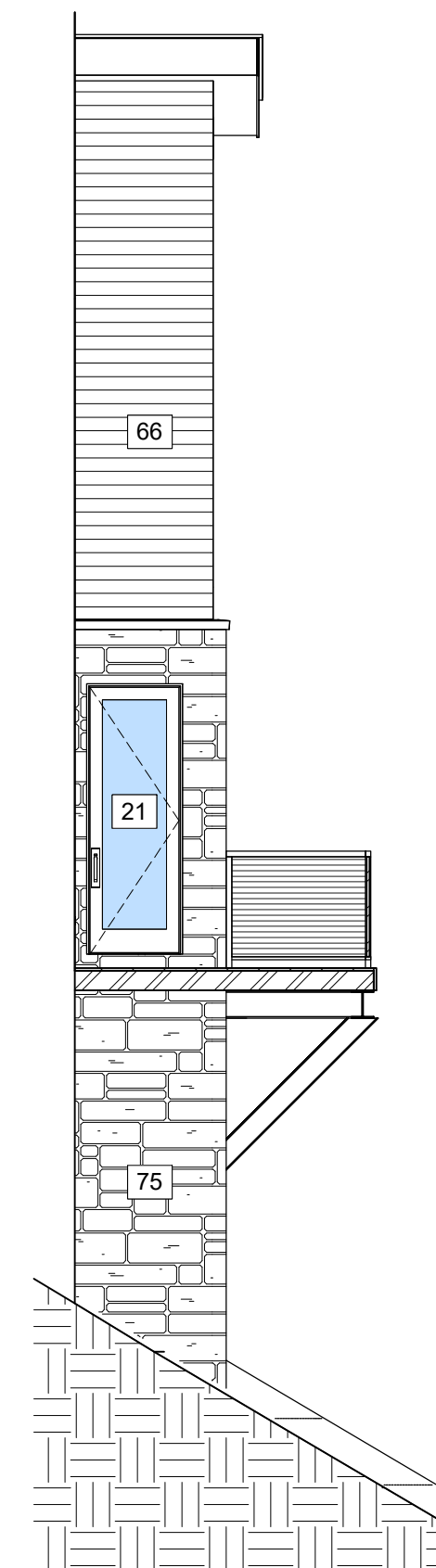
**2 NORTH AT ENTRY PORCH**  
3/16" = 1'-0"



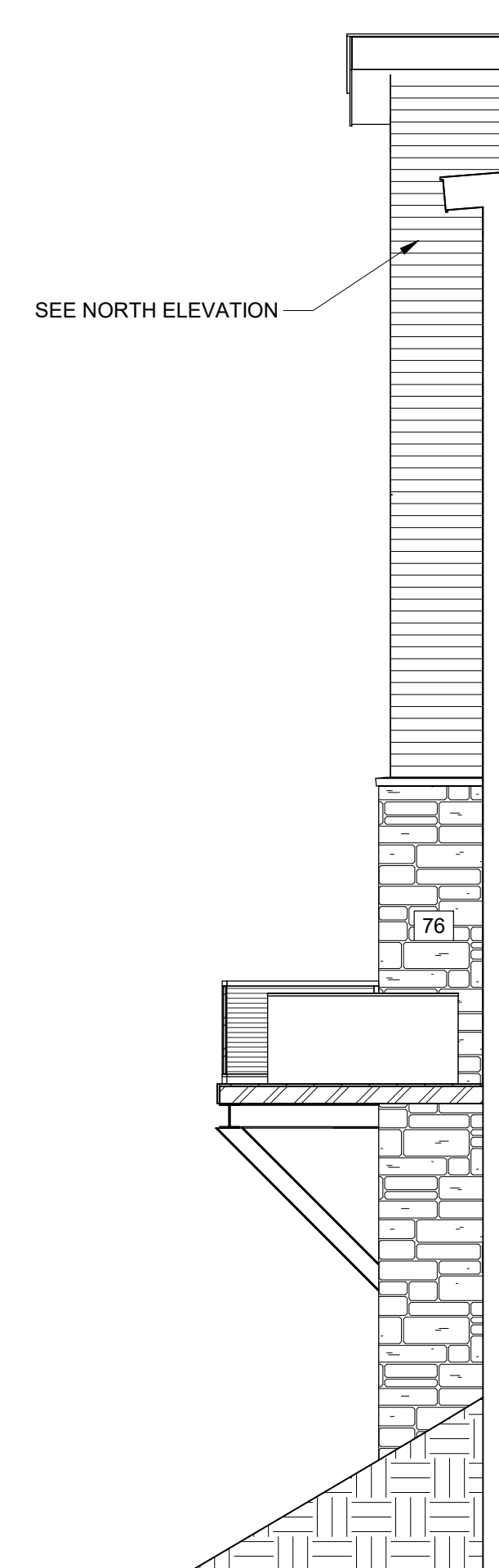
**4 EAST ELEVATION**  
3/16" = 1'-0"



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3/16" = 1'-0"



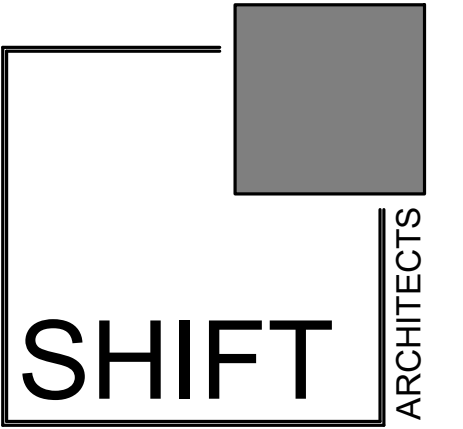
**2 SOUTH AT HOT TUB DECK**  
3/16" = 1'-0"



**3 NORTH AT HOT TUB DECK**  
3/16" = 1'-0"

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REVISIONS  
NO. DATE DESC.

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TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

MATERIAL  
CALCULATIONS

SHEET NUMBER

**A2.4**

1/12/2024 5:59:33 AM

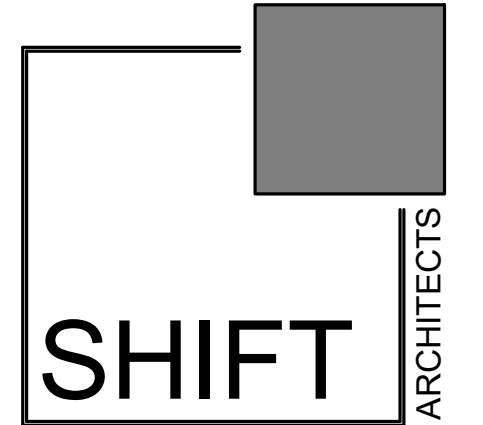
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**FLOOR PLAN GENERAL NOTES:**

DIMENSIONS:  
ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE, ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.N.O.

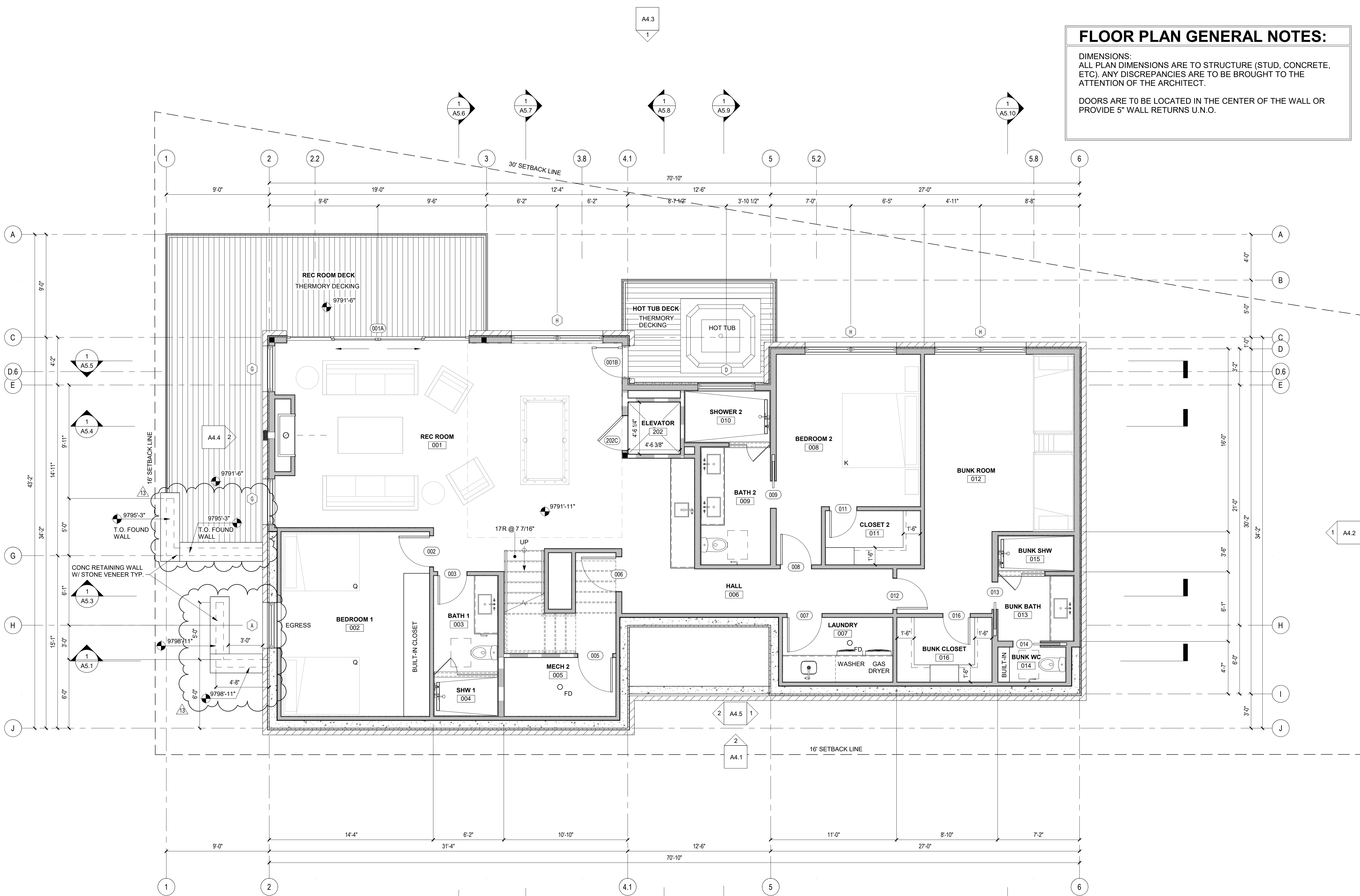


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PROJECT ISSUE DATE:  
01.15.24 REVISED DRB SUBMITTAL

REVISIONS

NO.	DATE	DESC.
13	12.19.23	New retaining wall w/ stone veneer



**CORTINA LAND CONDOMINIUMS UNIT 3**

130 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435  
UNIT 3, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

FLOOR PLAN

SHEET NUMBER

**1 LOWER LEVEL**  
1/4" = 1'-0"

**A3.1**

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1/12/2024 5:59:34 AM

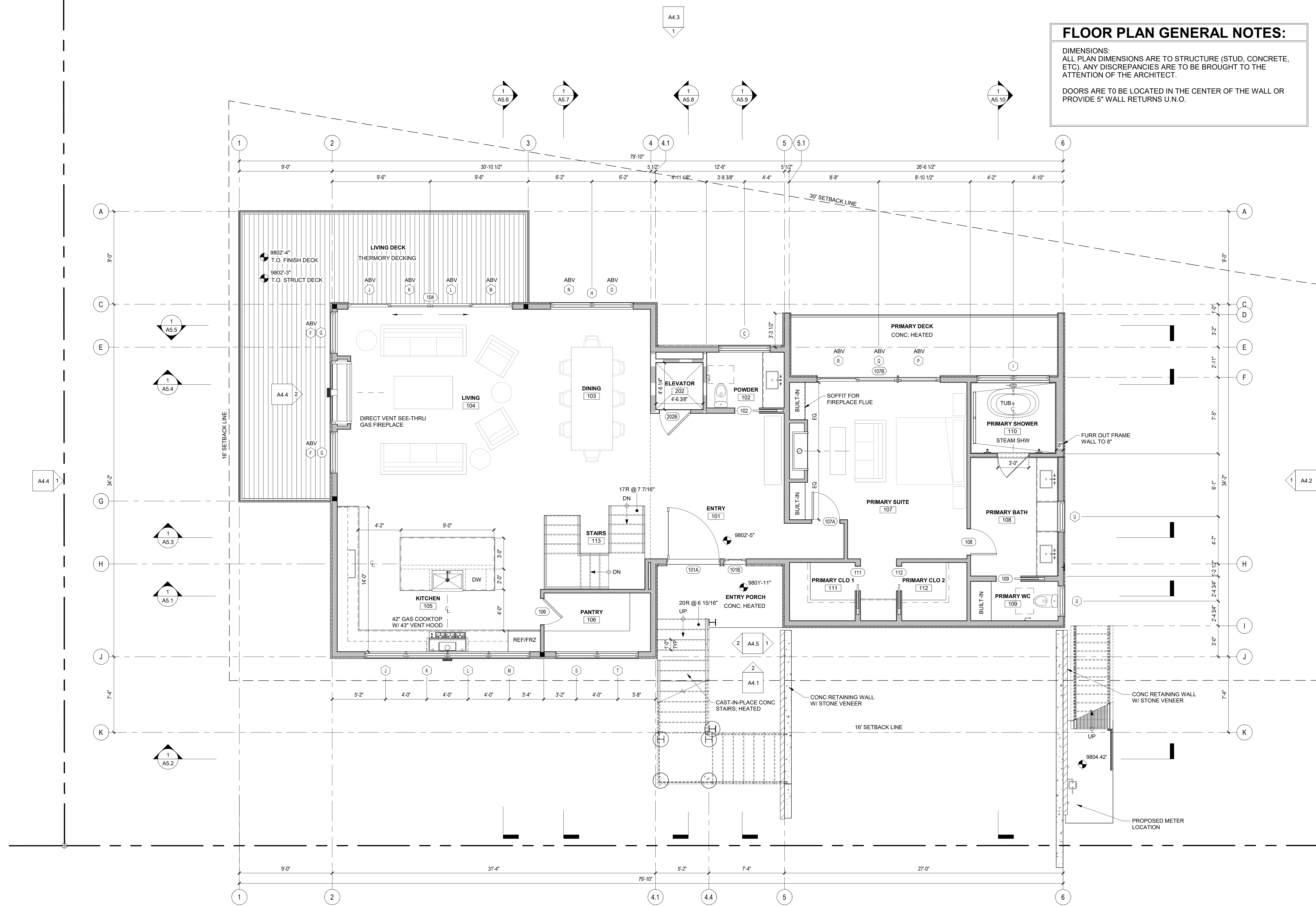
REVISIONS

NO.	DATE	DESC.
2	10.19.23	Remove window
3	10.19.23	Revised window

**FLOOR PLAN GENERAL NOTES:**

DIMENSIONS:  
ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE, ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.N.O.



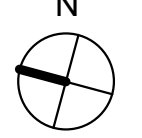
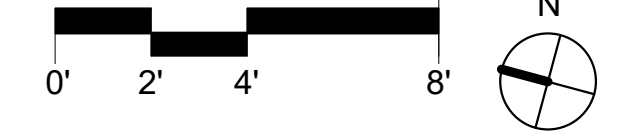
**CORTINA LAND CONDOMINIUMS UNIT 3**

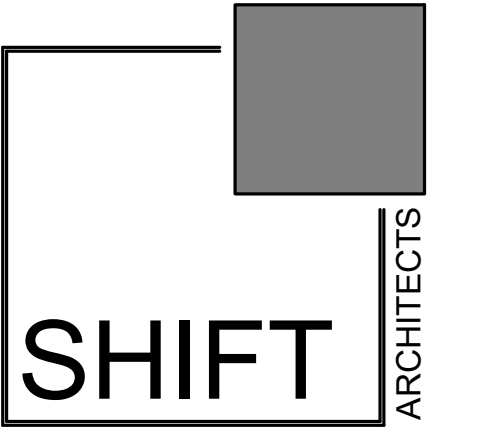
130 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435  
UNIT 3, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

FLOOR PLAN

SHEET NUMBER

**1** GROUND LEVEL  
1/4" = 1'-0"





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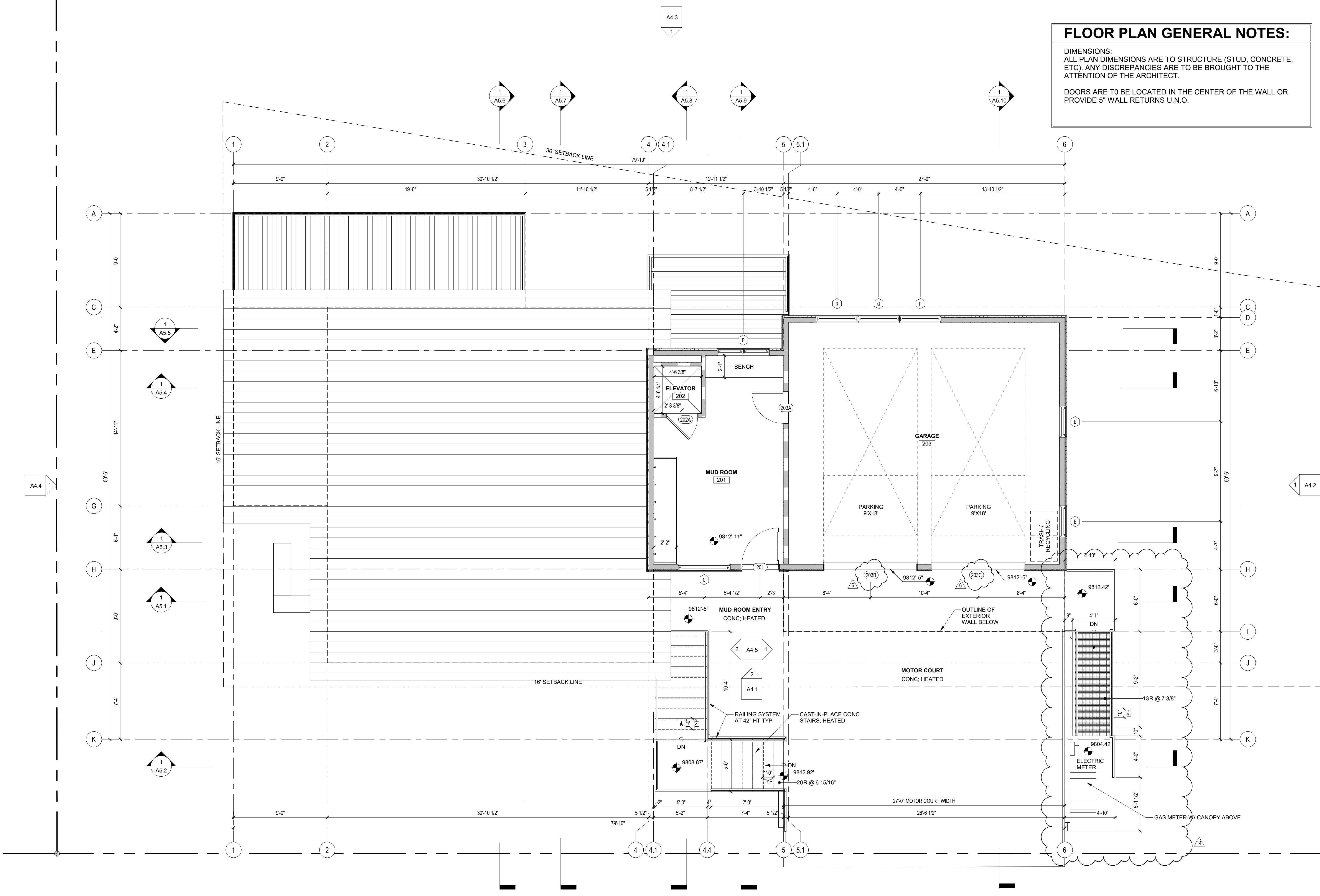
PROJECT ISSUE DATE:  
01.15.24 REVISED DRB SUBMITTAL

NO.	DATE	DESC.
6	12.16.23	Revised door height
14	12.19.23	Revised utility location

**FLOOR PLAN GENERAL NOTES:**

DIMENSIONS:  
ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE, ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.N.O.



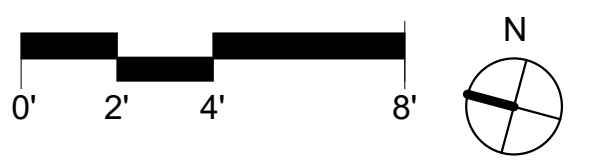
**CORTINA LAND CONDOMINIUMS UNIT 3**

130 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435  
UNIT 3, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

FLOOR PLAN

SHEET NUMBER

**1 MUD / GARAGE LEVEL**  
1/4" = 1'-0"

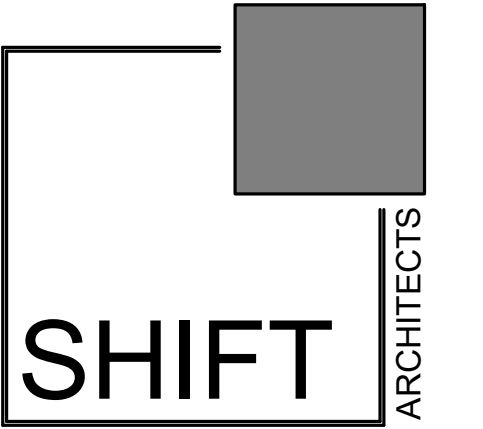


**A3.3**

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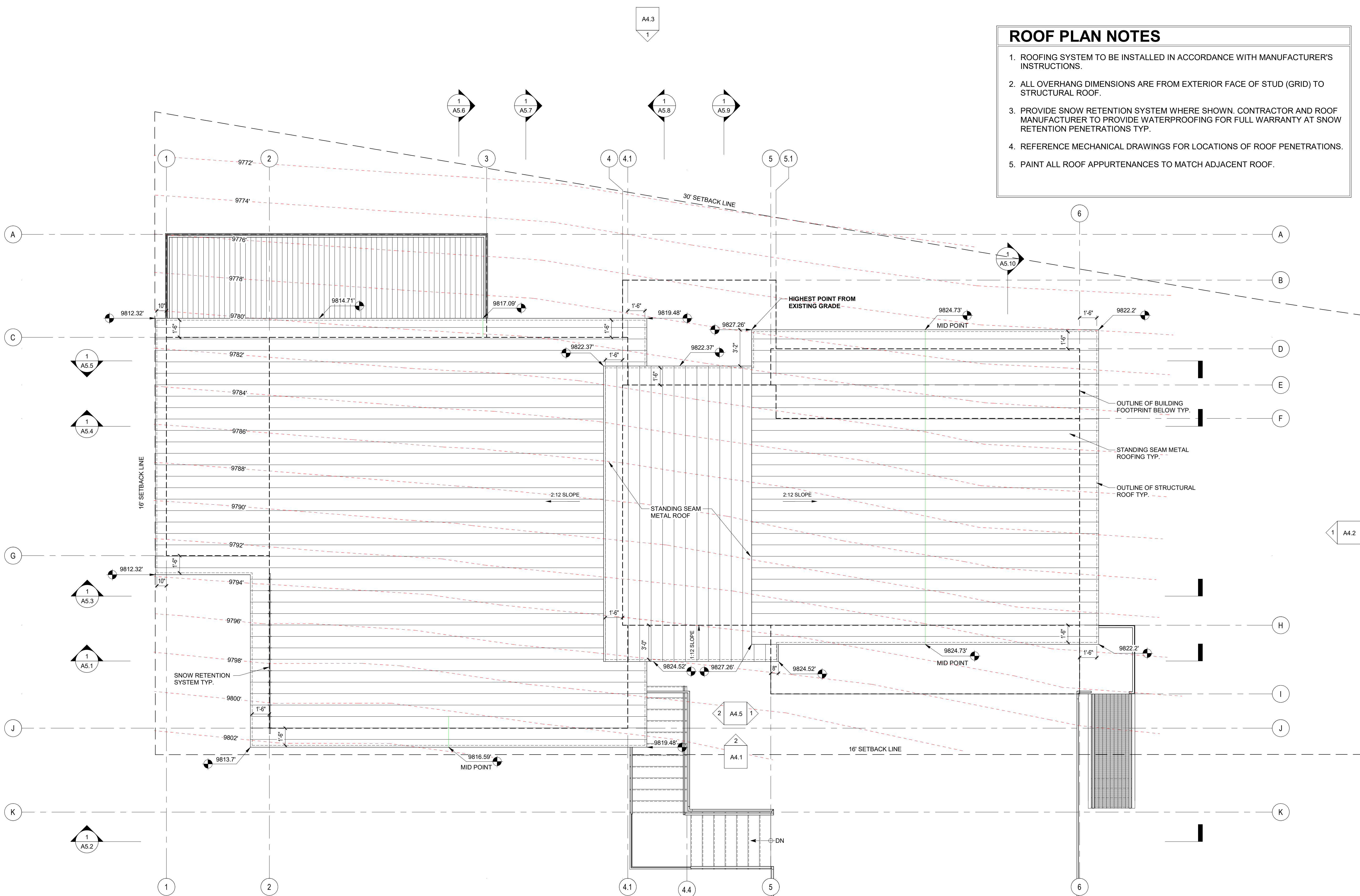


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PROJECT ISSUE DATE:  
01.15.24 REVISED DRB SUBMITTAL

NO.	DATE	DESC.
1	10.08.23	Revised roofing material

- ### ROOF PLAN NOTES
1. ROOFING SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
  2. ALL OVERHANG DIMENSIONS ARE FROM EXTERIOR FACE OF STUD (GRID) TO STRUCTURAL ROOF.
  3. PROVIDE SNOW RETENTION SYSTEM WHERE SHOWN. CONTRACTOR AND ROOF MANUFACTURER TO PROVIDE WATERPROOFING FOR FULL WARRANTY AT SNOW RETENTION PENETRATIONS TYP.
  4. REFERENCE MECHANICAL DRAWINGS FOR LOCATIONS OF ROOF PENETRATIONS.
  5. PAINT ALL ROOF APPURTENANCES TO MATCH ADJACENT ROOF.



# CORTINA LAND CONDOMINIUMS UNIT 3

130 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435  
UNIT 3, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY, LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

ROOF PLAN

SHEET NUMBER

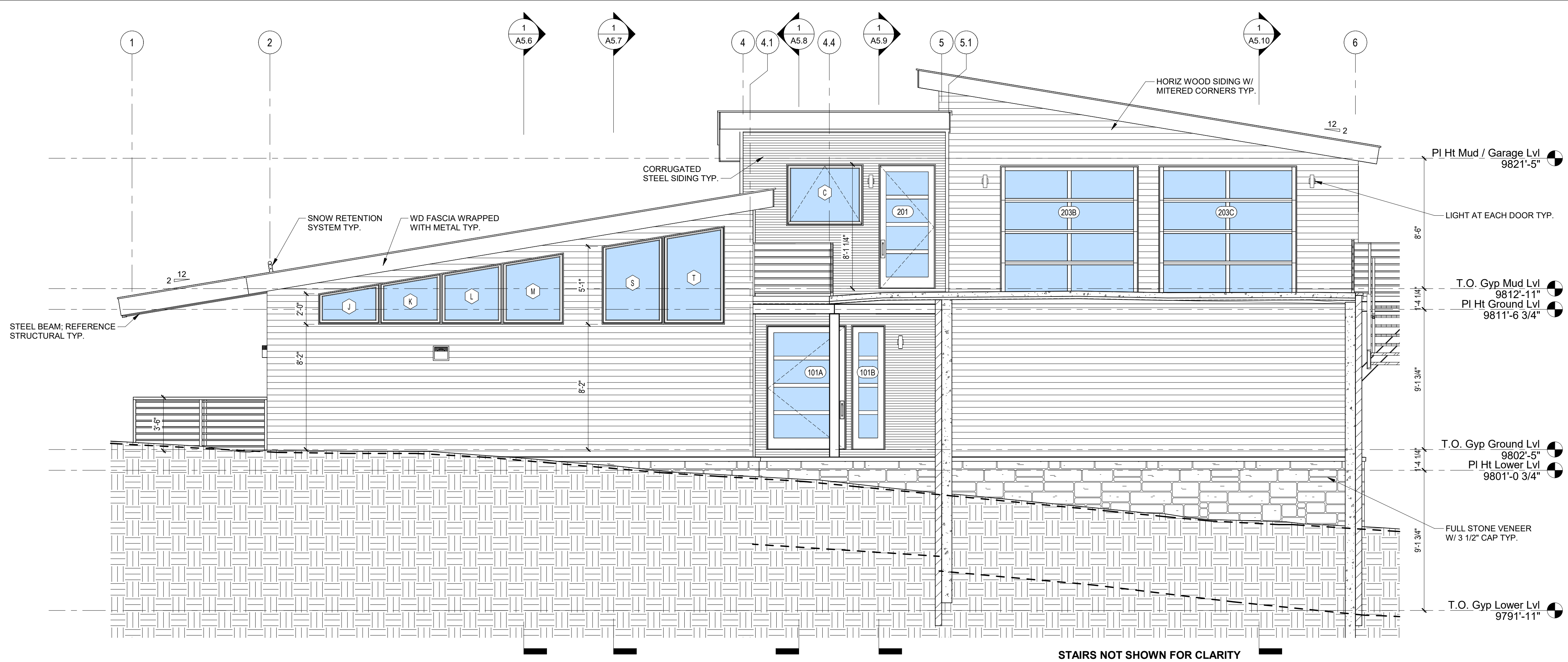
**1 ROOF PLAN**  
1/4" = 1'-0"

**A3.4**

1/12/2024 5:59:35 AM

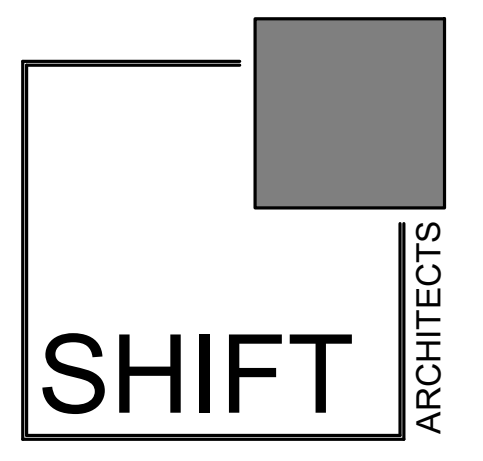
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**EXTERIOR ELEVATION NOTES**

1. CONSISTANT WITH TOWN BUILDING CODES: UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.

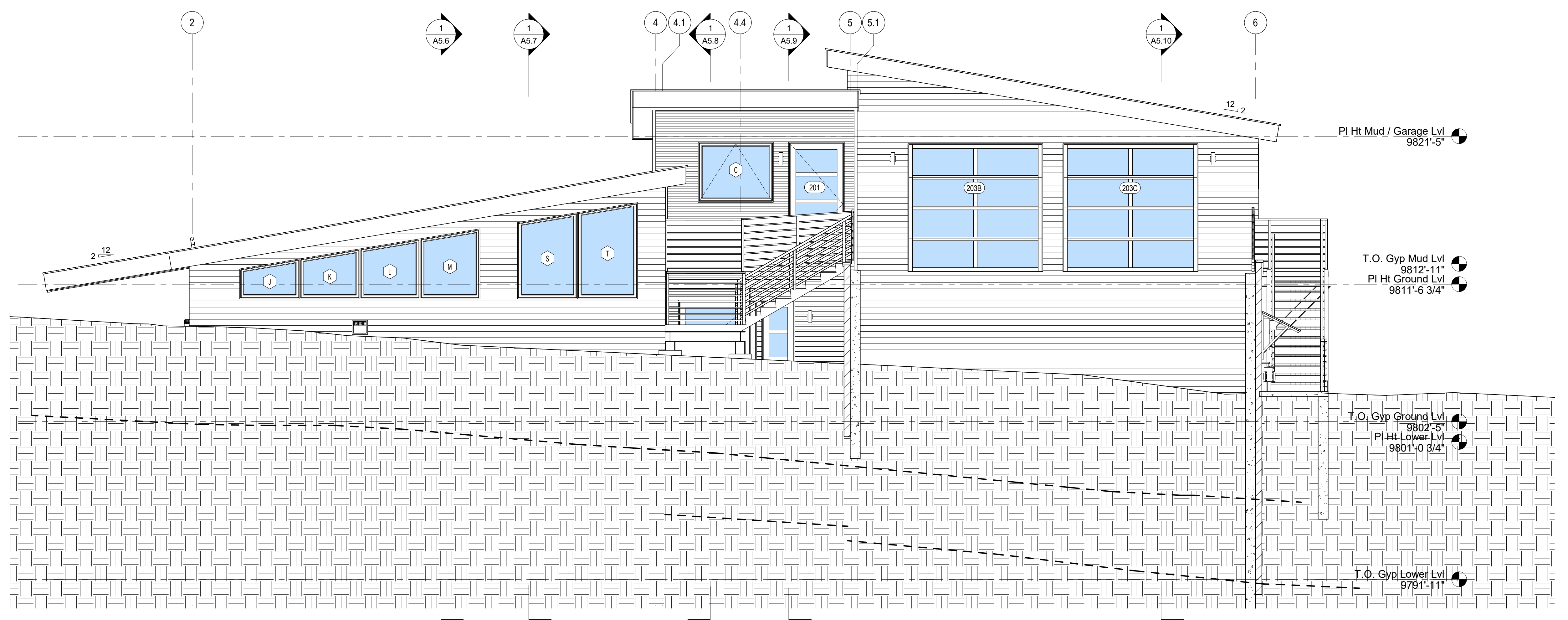


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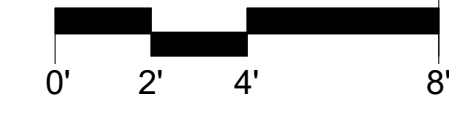
PROJECT ISSUE DATE:  
 01.15.24 REVISED DRB SUBMITTAL

REVISIONS  
 NO. DATE DESC.

**2 WEST ELEV AT ENTRY PORCH**  
 1/4" = 1'-0"



**1 WEST ELEVATION**  
 1/4" = 1'-0"



**CORTINA LAND CONDOMINIUMS UNIT 3**

130 CORTINA DRIVE MOUNTAIN VILLAGE CO 81435  
 UNIT 3 CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON  
 INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC  
 TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

EXTERIOR  
 ELEVATIONS

SHEET NUMBER

**A4.1**

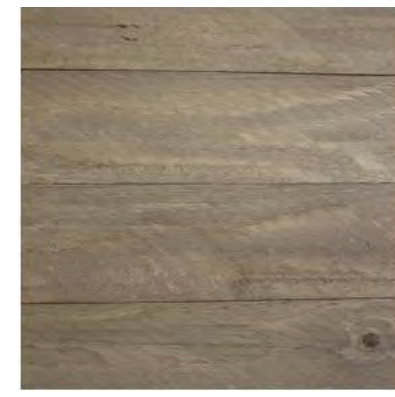
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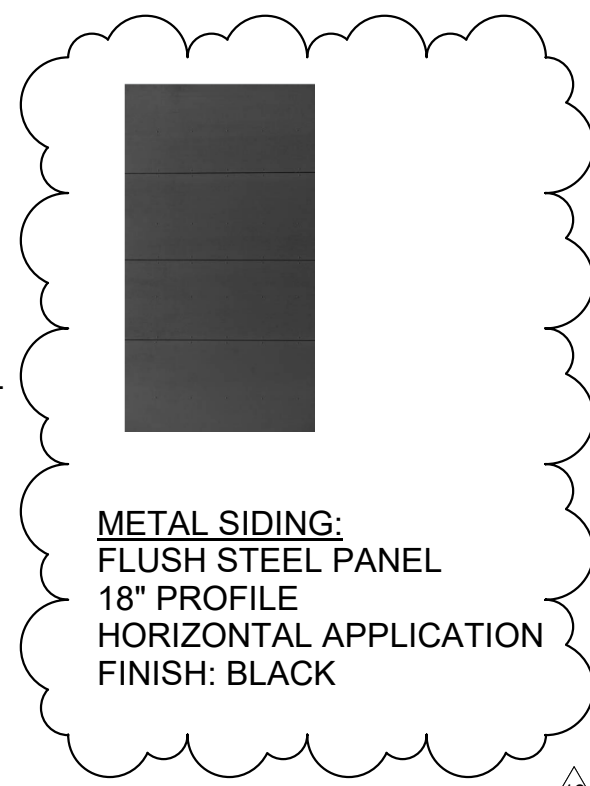
**STONE VENEER:**  
TELLURIDE STONE  
HERITAGE SERIES  
PILATUS  
FULL STONE VENEER



**WOOD SIDING:**  
MONTANA TIMBER, RANCHWOOD  
COLOR: YELLOWSTONE  
PROFILE: SQUARE EDGE T&G  
TEXTURE: SMOOTH  
SPECIES: WESTERN RED CEDAR, CLEAR VERTICAL GRAIN  
NOMINAL SIZE: 1X6 (ACTUAL SIZE 3/4" X 4 7/8")  
HORIZONTAL APPLICATION W/ MITERED CORNERS



**METAL SIDING:**  
BONDERIZED CORRUGATED STEEL  
HORIZONTAL APPLICATION  
FINISH: BLACK



**METAL SIDING:**  
FLUSH STEEL PANEL  
18" PROFILE  
HORIZONTAL APPLICATION  
FINISH: BLACK



**ROOFING:**  
PAC-CLAD METAL ROOFING  
12" STANDING SEAM  
22 GAUGE STEEL  
FINISH: MATTE BLACK



**WINDOWS / DOORS:**  
YAWAL ALUMN; RAL9005 MATT FINISH



**WOOD DECKING:**  
THERMORY; BENCHMARK ASH  
5/4X6 MAX GROOVED (JEM)  
SPECIES: WHITE ASH  
COLOR: BROWN (NATURAL)

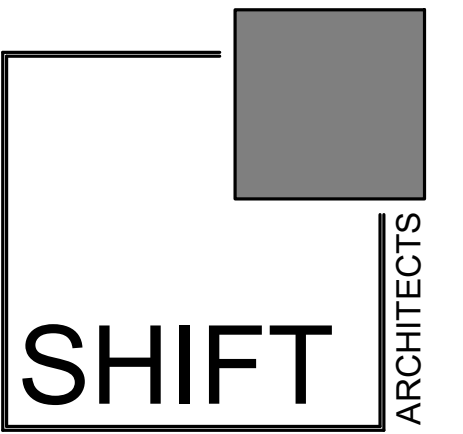
**STEEL BEAMS / COLUMNS / BRACING:**  
FINISH: PAINTED BLACK

**DECK BAND:**  
DOUG FIR WRAPPED W/ METAL: PAINTED BLACK

**FASCIA:**  
WOOD FASCIA WRAPPED W/ METAL FLAT SHEET  
FINISH: MATCH ROOFING

**SOFFIT:**  
PAC-CLAD FLUSH SOFFIT  
7" PROFILE, 24 GAUGE STEEL  
FINISH: MATTE BLACK

**EXTERIOR MATERIALS**

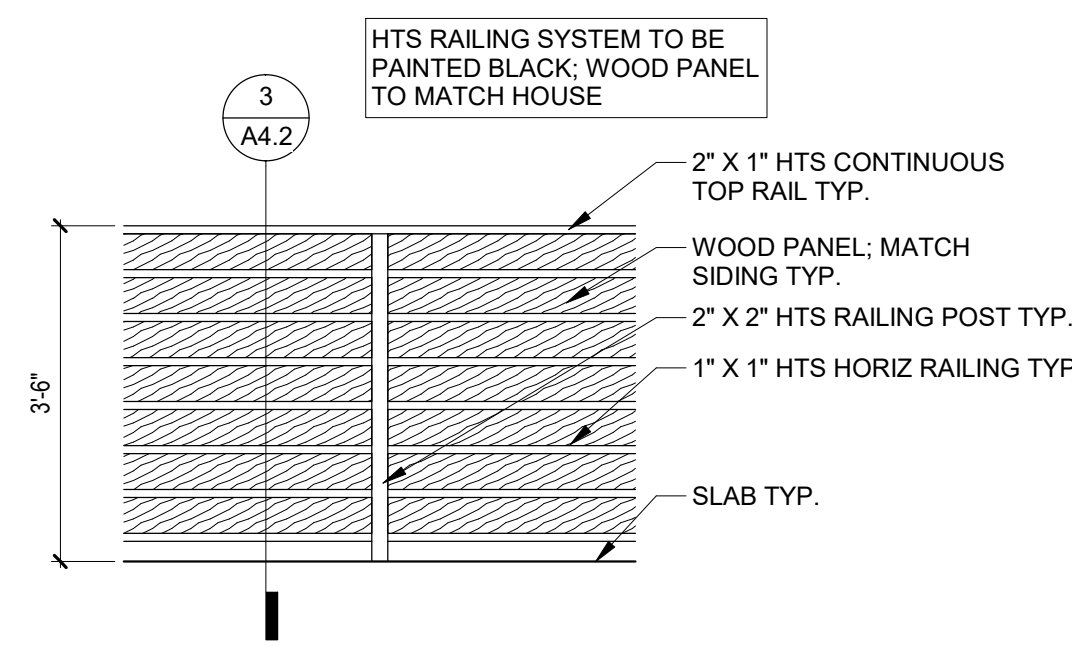


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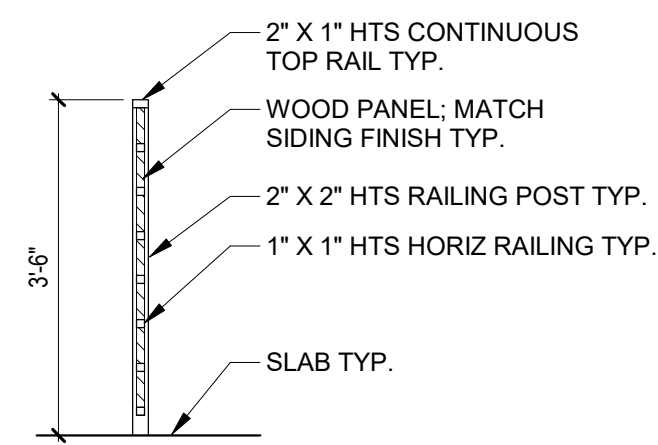
PROJECT ISSUE DATE:  
01.15.24 REVISED DRB SUBMITTAL

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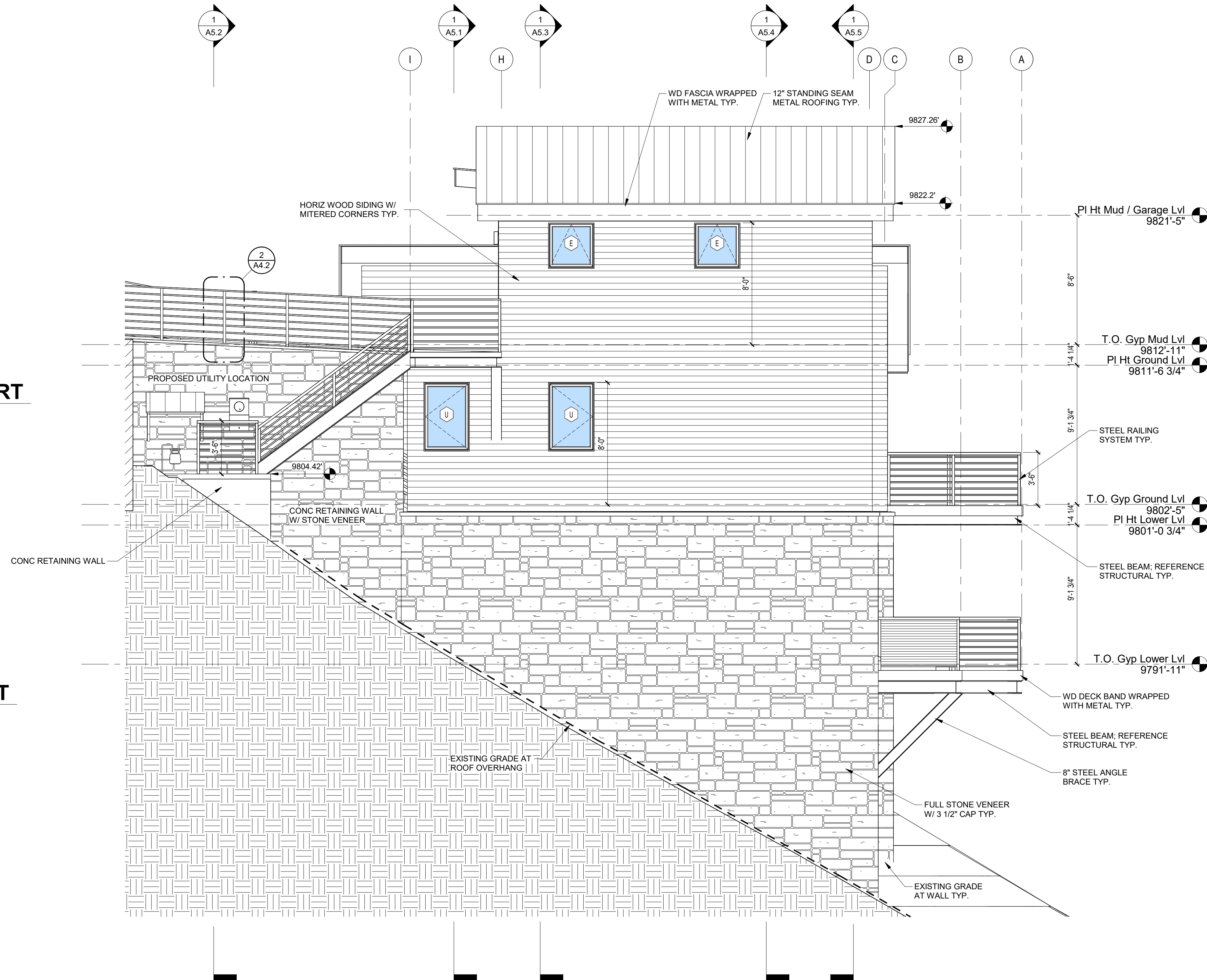
NO.	DATE	DESC.
2	10.19.23	Remove window
3	10.19.23	Revised window
4	10.19.23	Revised window / door manufacturer
12	12.19.23	New metal siding



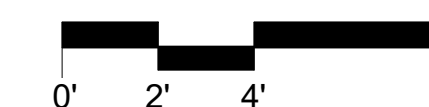
**2 EXTERIOR RAILING AT MOTOR COURT**  
1/2" = 1'-0"



**3 RAILING SECTION AT MOTOR COURT**  
1/2" = 1'-0"



**1 SOUTH ELEVATION**  
1/4" = 1'-0"



**CORTINA LAND CONDOMINIUMS UNIT 3**

130 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435  
UNIT 3, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON  
INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC  
TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

EXTERIOR  
ELEVATION

SHEET NUMBER

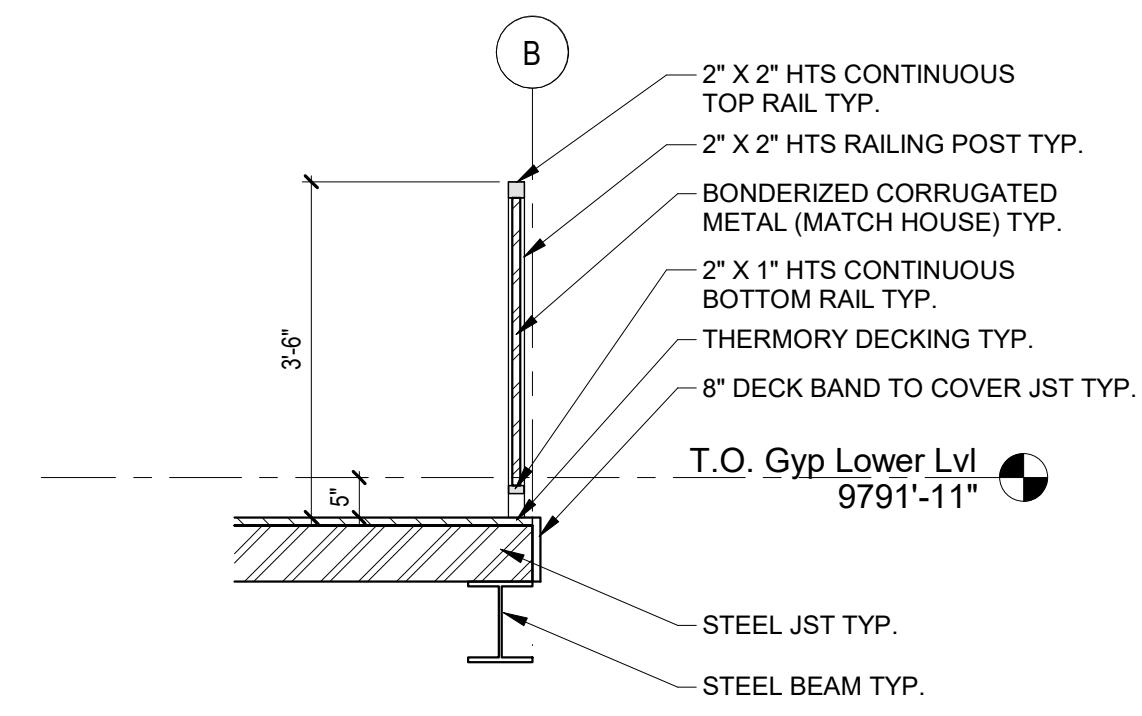
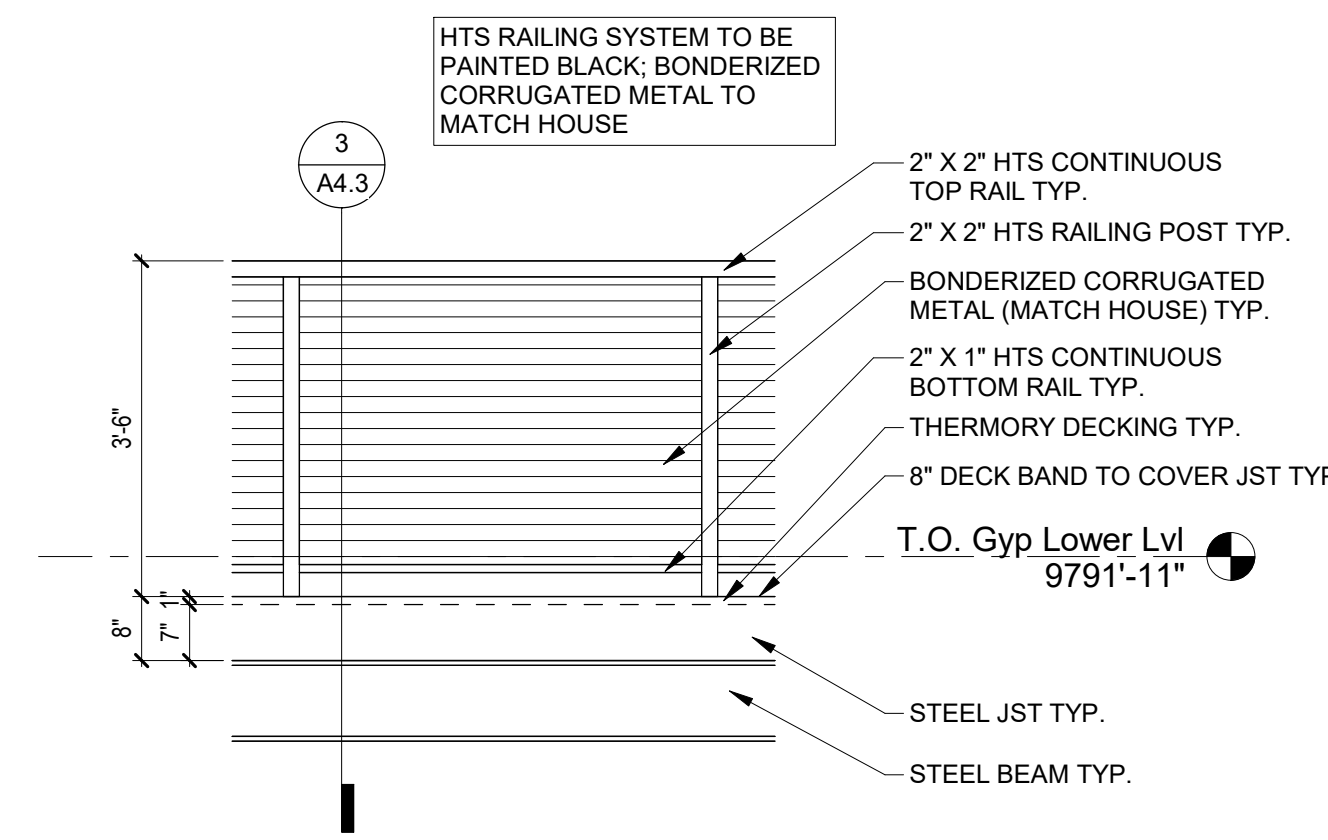
**A4.2**

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**2 EXTERIOR RAILING AT HOT TUB DECK**  
1/2" = 1'-0"

**3 RAILING SECTION AT HOT TUB DECK**  
1/2" = 1'-0"



**1 EAST ELEVATION**  
1/4" = 1'-0"



**CORTINA LAND CONDOMINIUMS UNIT 3**

130 CORTINA DRIVE MOUNTAIN VILLAGE CO 81435  
UNIT 3 CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

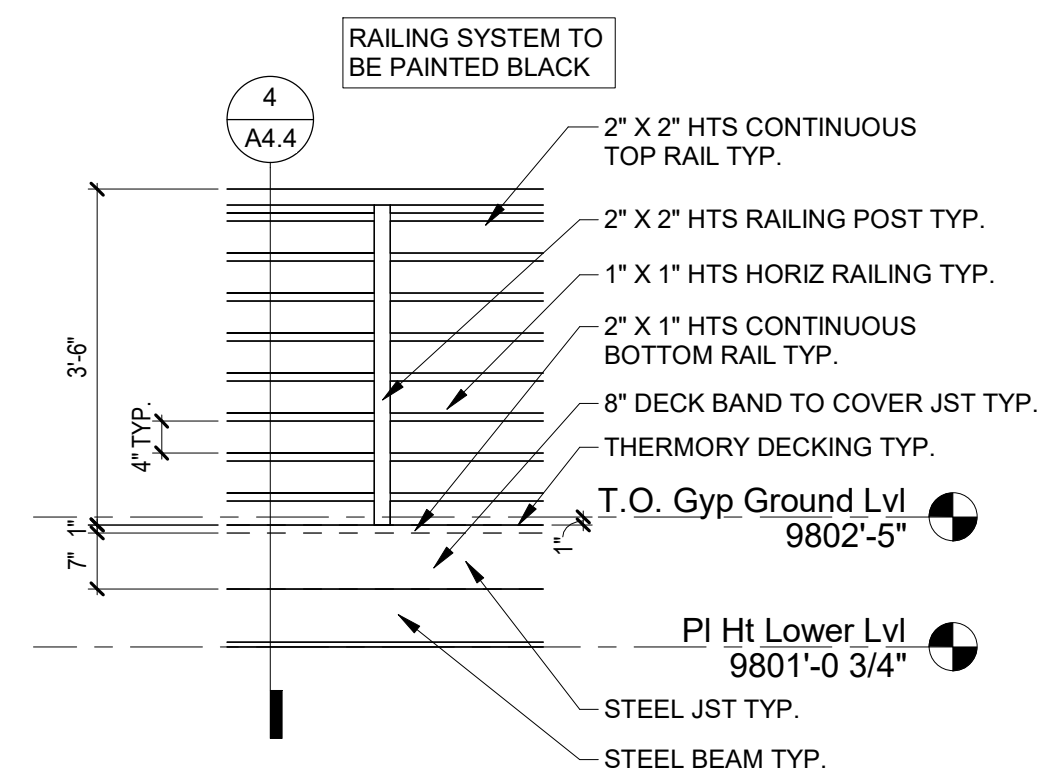
EXTERIOR ELEVATION

SHEET NUMBER

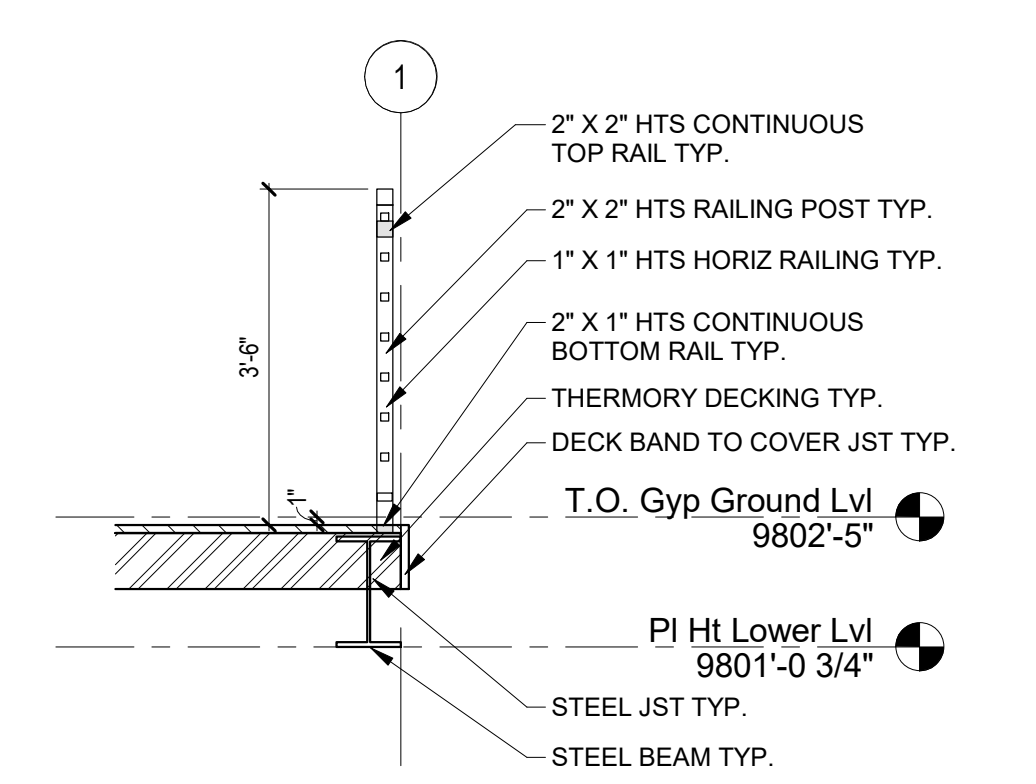
**A4.3**

REVISIONS

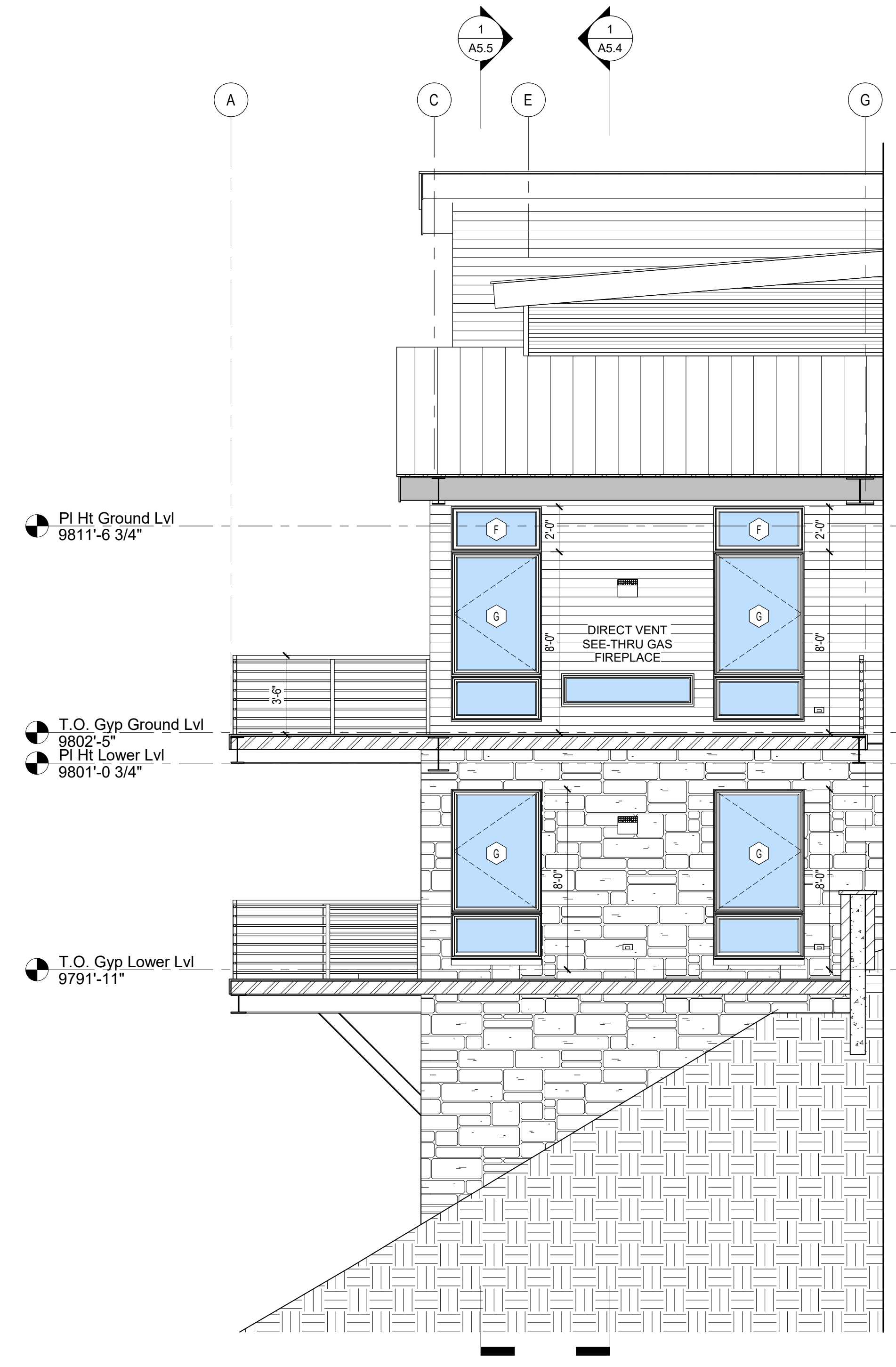
NO.	DATE	DESC.
11	12.19.23	Revised floor elevation levels
13	12.19.23	New retaining wall w/ stone veneer



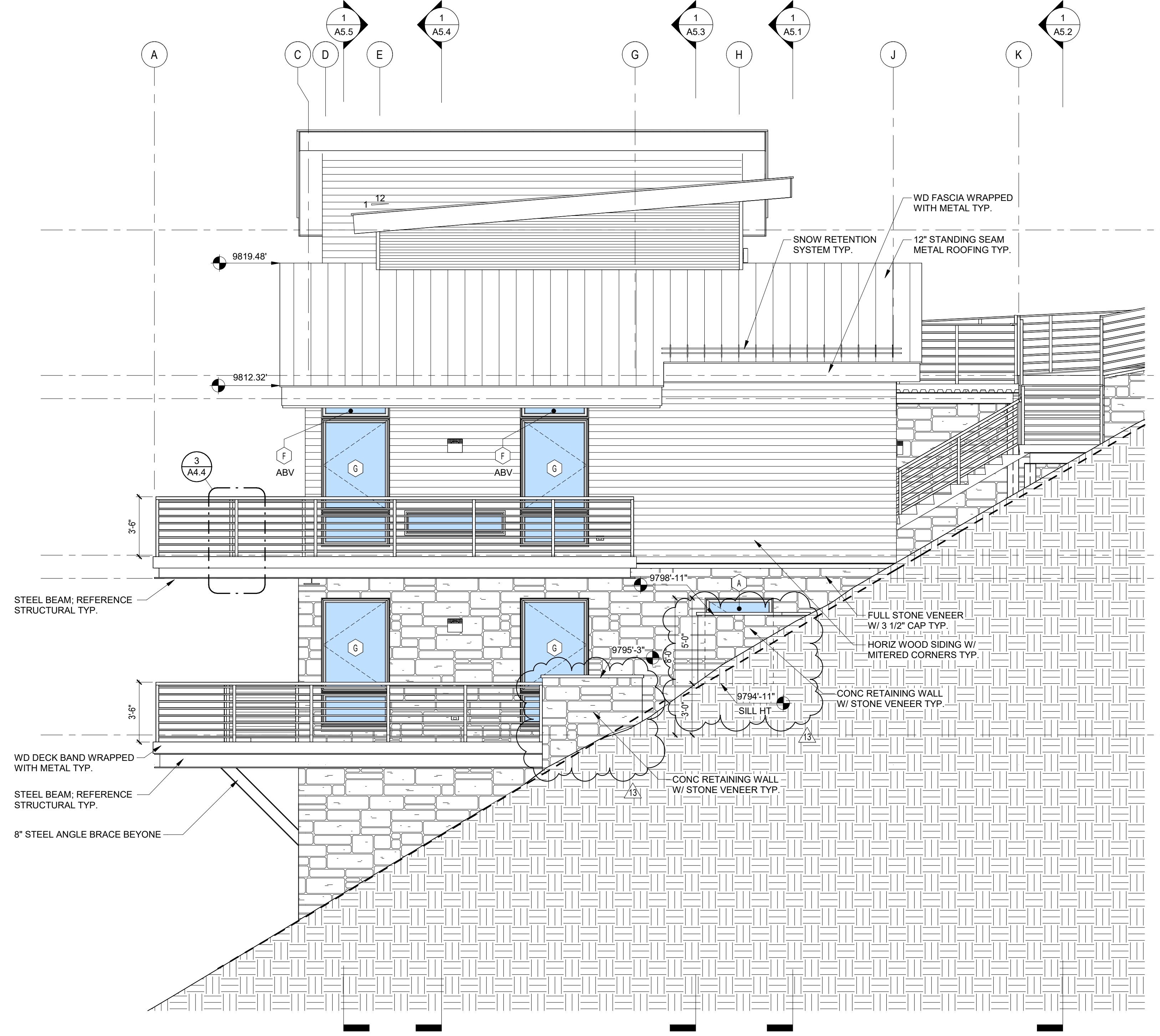
**3 EXTERIOR RAILING AT DECKS**  
1/2" = 1'-0"



**4 RAILING SECTION AT DECKS**  
1/2" = 1'-0"



**2 PARTIAL ELEVATION AT GROUND LEVEL DECK**  
1/4" = 1'-0"



**1 NORTH ELEVATION**  
1/4" = 1'-0"



**CORTINA LAND CONDOMINIUMS UNIT 3**

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EXTERIOR  
ELEVATIONS

SHEET NUMBER

**A4.4**

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**CORTINA LAND CONDOMINIUMS UNIT 3**

130 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435  
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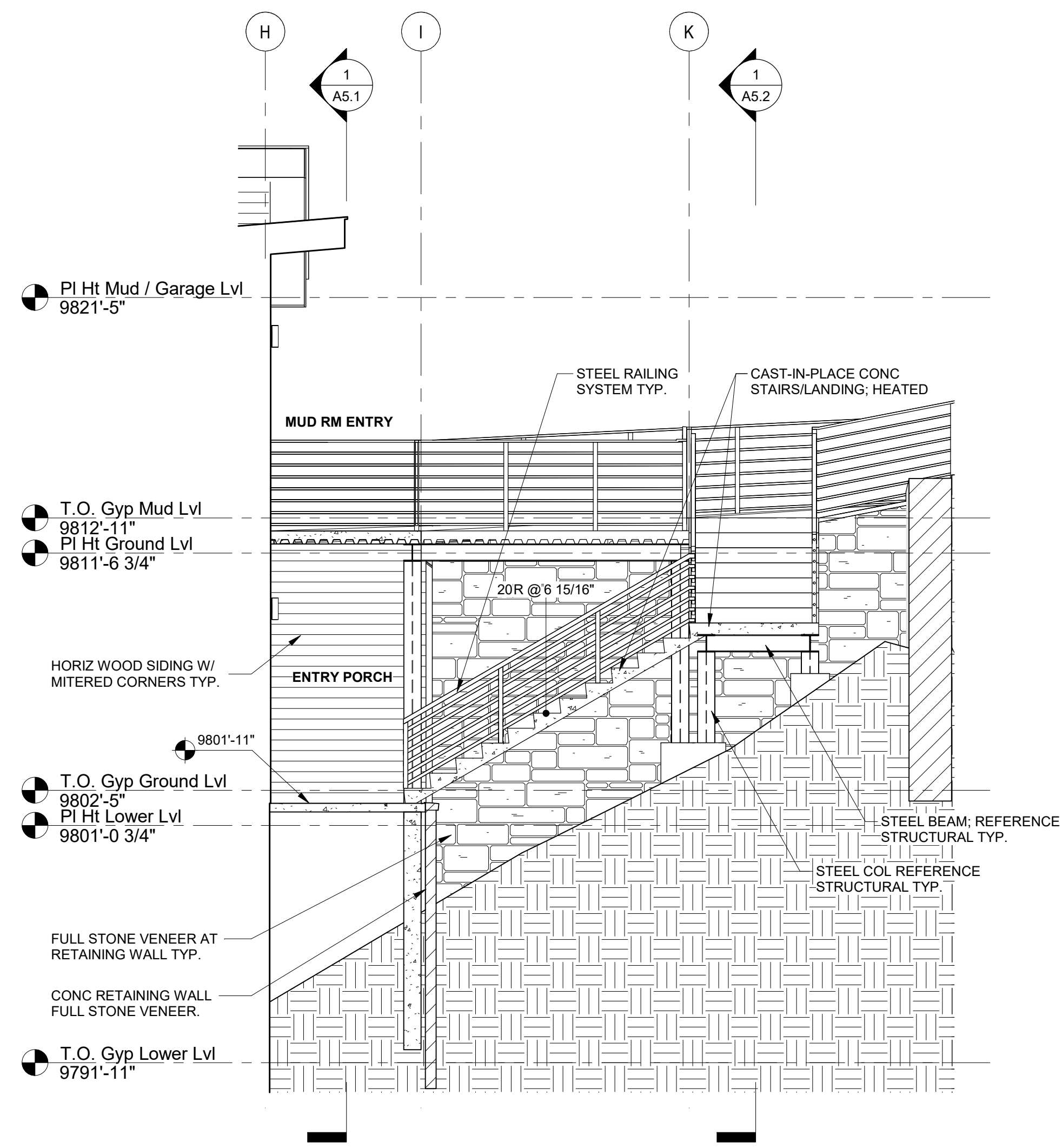
EXTERIOR  
 ELEVATIONS

SHEET NUMBER

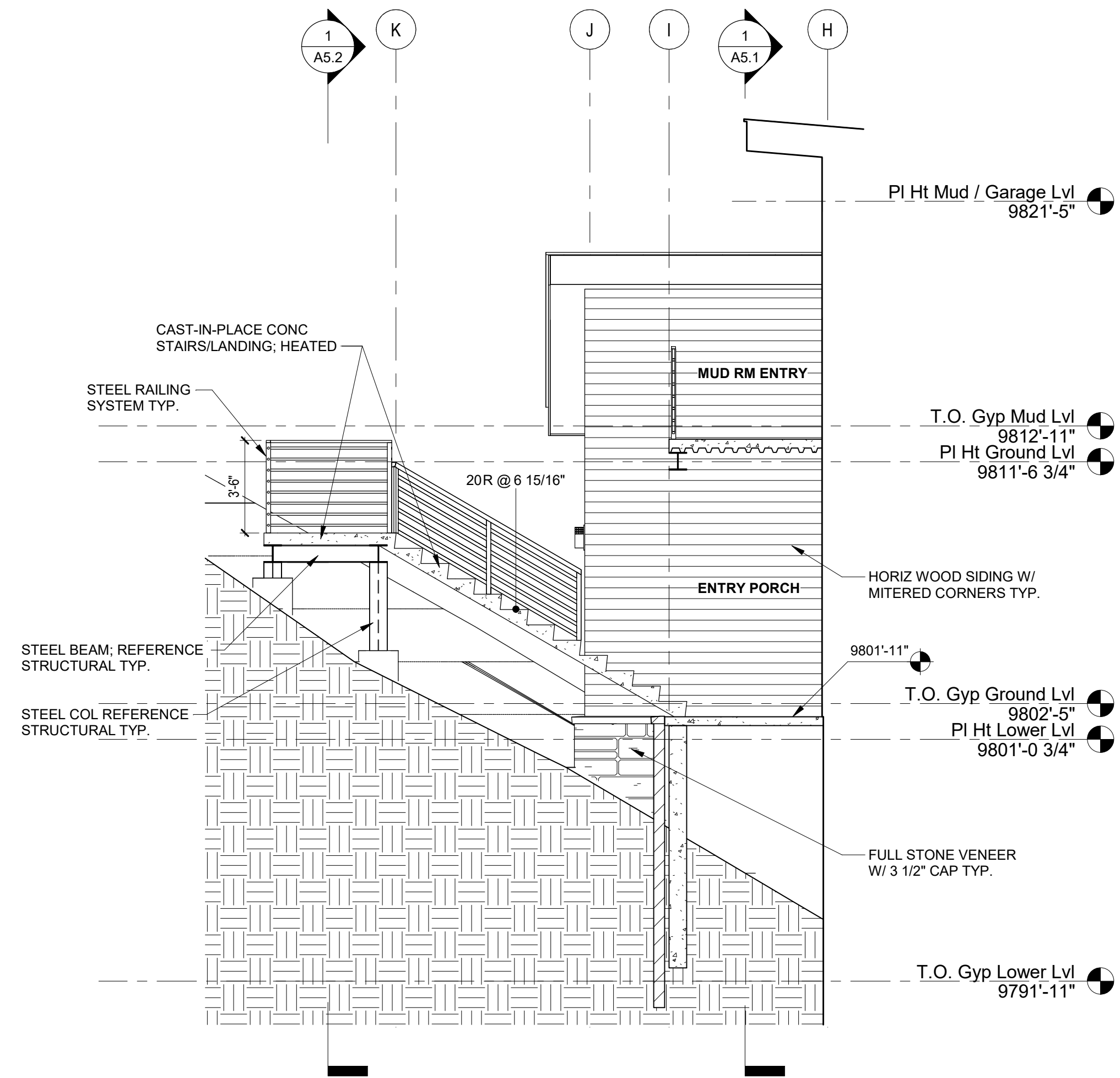
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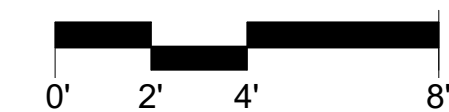
NOT FOR CONSTRUCTION



**1 NORTH ELEVATION AT ENTRY PORCH**  
 1/4" = 1'-0"



**2 SOUTH ELEVATION AT ENTRY PORCH**  
 1/4" = 1'-0"

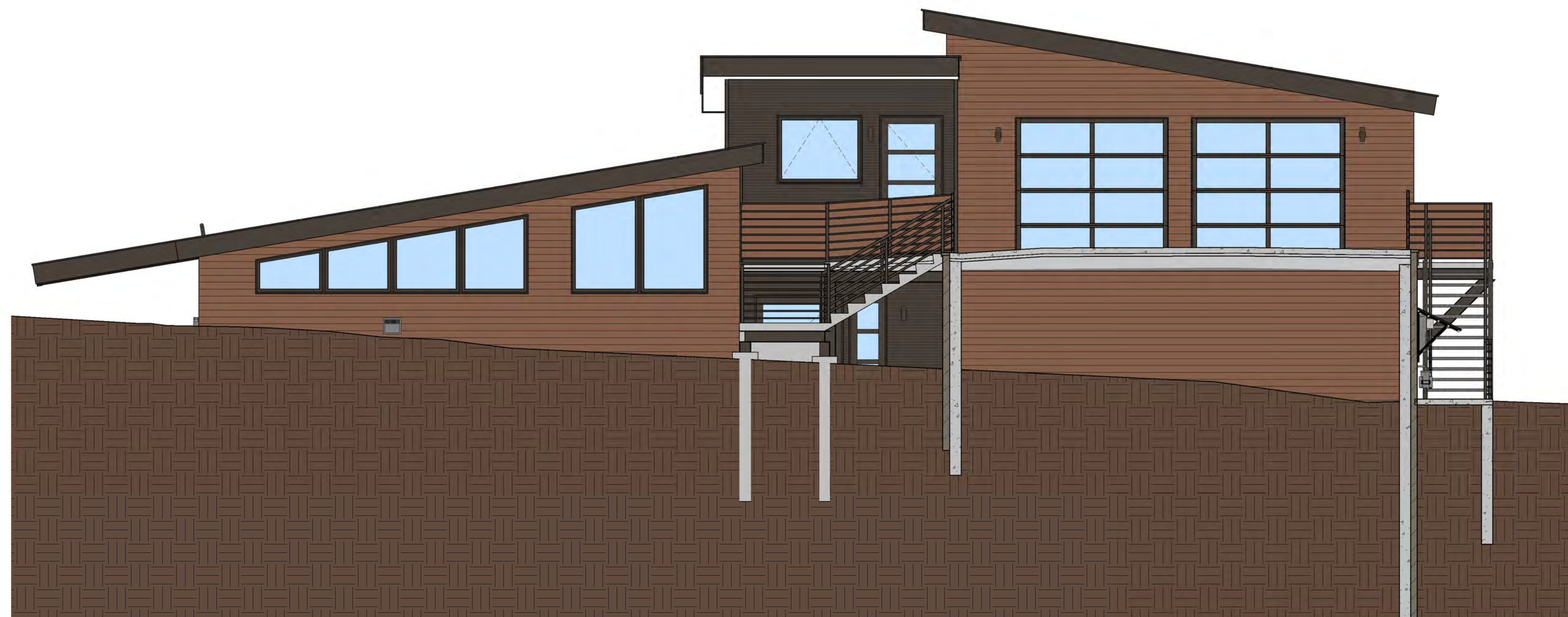




**1 EAST ELEVATION**  
3/16" = 1'-0"



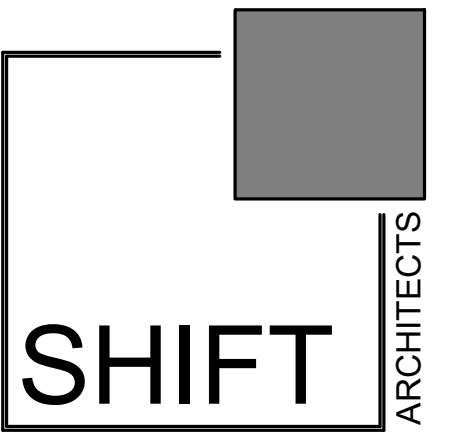
**2 NORTH ELEVATION**  
3/16" = 1'-0"



**3 WEST ELEVATION**  
3/16" = 1'-0"



**4 SOUTH ELEVATION**  
3/16" = 1'-0"



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PROJECT ISSUE DATE:  
01.15.24 REVISED DRB SUBMITTAL

REVISIONS  
NO. DATE DESC.

**CORTINA LAND CONDOMINIUMS UNIT 3**

130 CORTINA DRIVE MOUNTAIN VILLAGE CO 81435  
UNIT 3 CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON  
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PRESENTATION  
ELEVATIONS

SHEET NUMBER

**A4.6**

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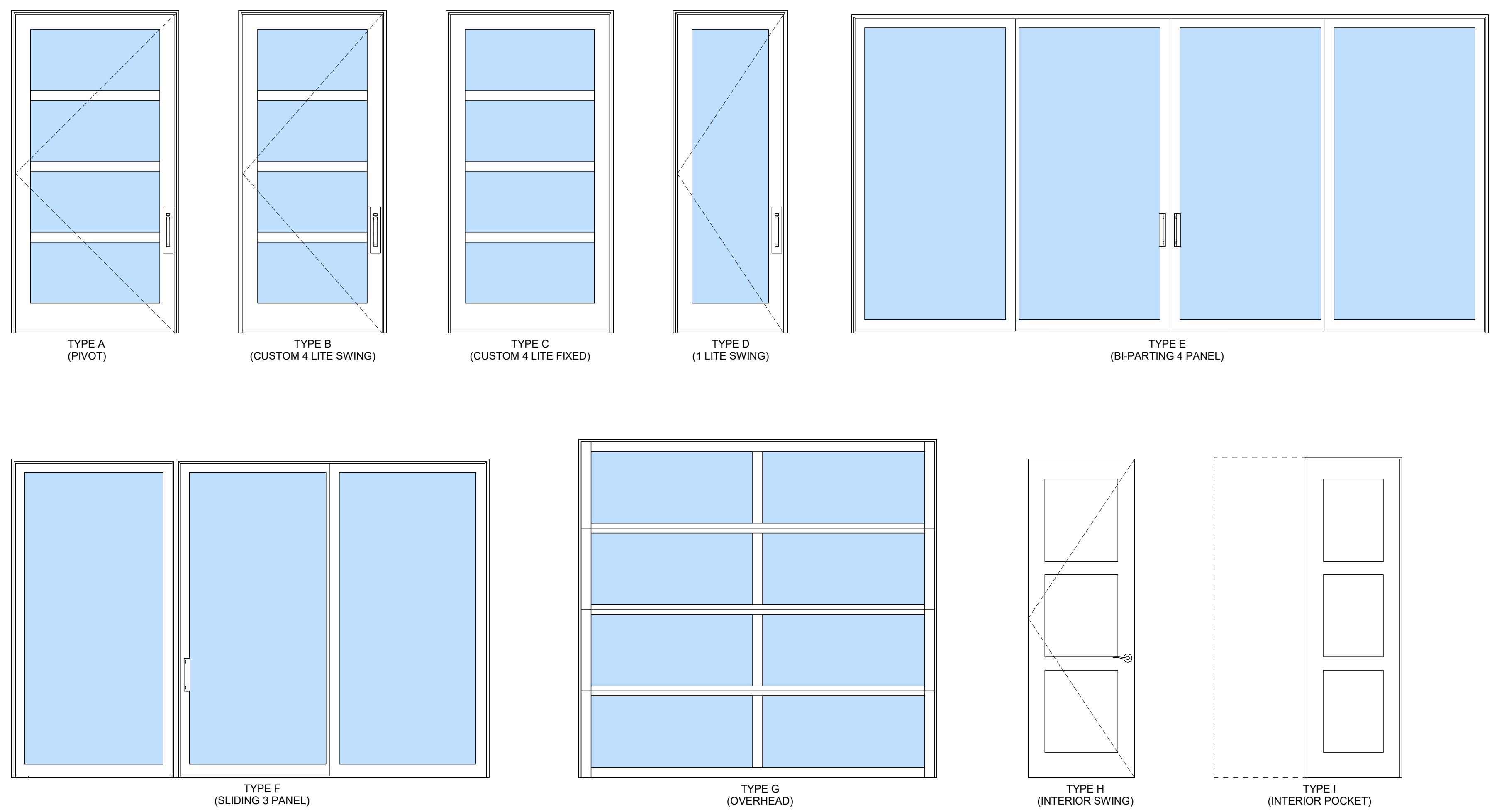
**DOOR NOTES:**

1. DOOR INSTALLATION: INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. PROVIDE TEMPERED GLASS AS REQUIRED BY CODE.
3. SEE ELEVATIONS FOR DOOR MUNTIN PATTERN.
4. DOOR HARDWARE TO BY VERIFIED W/ DEVELOPER.
5. DOOR MANUFACTURER: YAWAL ALUMN; RAL9005 MATT FINISH
6. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
7. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
8. PROVIDE SCREENS FOR ALL DOORS.
9. DOORS SHALL BE IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE CHAPTER 17.5 DESIGN REGULATIONS (17.5.6.H DOORS AND ENTRY WAYS).

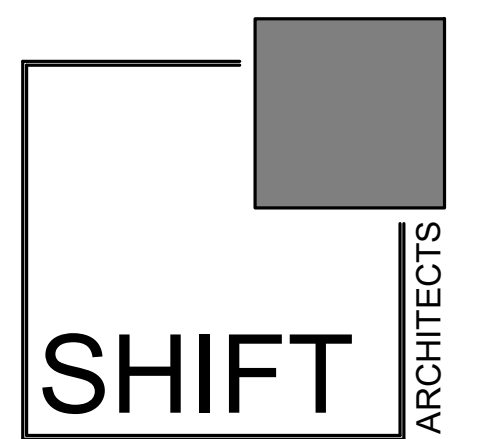
DOOR SCHEDULE EXTERIOR PANEL							
MARK	ROOM NAME	TYPE MARK	PANEL WIDTH	PANEL HEIGHT	TYPE	MANUFACTURER	COMMENTS
001B	REC ROOM	D	2'-8"	8'-0"	SWING	YAWAL ALUMN; RAL9005 MATT FINISH	
101A	ENTRY	A	5'-0"	8'-0"	CUSTOM PIVOT	YAWAL ALUMN; RAL9005 MATT FINISH	
101B	ENTRY	C	2'-0"	8'-0"	FIXED PATIO	YAWAL ALUMN; RAL9005 MATT FINISH	
201	MUD ROOM	B	3'-6"	8'-0"	SWING	YAWAL ALUMN; RAL9005 MATT FINISH	FROSTED GLASS
203B	GARAGE	G	9'-0"	8'-6"	OVERHEAD DOOR		8 LITE; FROSTED GLASS
203C	GARAGE	G	9'-0"	8'-6"	OVERHEAD DOOR		8 LITE; FROSTED GLASS

DOOR SCHEDULE EXTERIOR FRAME							
MARK	ROOM NAME	TYPE MARK	UNIT WIDTH	UNIT HEIGHT	TYPE	MANUFACTURER	COMMENTS
001A	REC ROOM	E	16'-0"	8'-0"	BI-PARTING (4 PANEL)	YAWAL ALUMN; RAL9005 MATT FINISH	
104	LIVING	E	16'-0"	8'-0"	BI-PARTING (4 PANEL)	YAWAL ALUMN; RAL9005 MATT FINISH	WINDOW TYPE 7 ABOVE
107B	PRIMARY SUITE	F	12'-0"	8'-0"	SLIDING PATIO (3 PANEL)	YAWAL ALUMN; RAL9005 MATT FINISH	

DOOR SCHEDULE INTERIOR PANEL							
MARK	ROOM NAME	TYPE MARK	PANEL WIDTH	PANEL HEIGHT	TYPE	MANUFACTURER	COMMENTS
002	BEDROOM 1	H	2'-8"	8'-0"	SWING		
003	BATH 1	H	2'-6"	8'-0"	SWING		
005	MECH 2	H	3'-0"	5'-0"	SWING		20 MIN FIRE RATED
006	HALL	H	3'-0"	7'-0"	SWING		
007	LAUNDRY	H	3'-0"	8'-0"	SWING		
008	BEDROOM 2	H	2'-8"	8'-0"	SWING		
009	BATH 2	I	2'-4"	8'-0"	POCKET		
011	CLOSET 2	H	2'-4"	8'-0"	SWING		
012	BUNK ROOM	H	2'-8"	8'-0"	SWING		
013	BUNK BATH	I	2'-4"	8'-0"	POCKET		
014	BUNK WC	I	2'-4"	8'-0"	POCKET		
016	BUNK CLOSET	H	2'-4"	8'-0"	SWING		
102	POWDER	I	2'-4"	8'-0"	POCKET		
106	PANTRY	H	2'-6"	8'-0"	SWING		
107A	PRIMARY SUITE	H	2'-8"	8'-0"	SWING		
108	PRIMARY BATH	H	2'-6"	8'-0"	SWING		
109	PRIMARY BATH	I	2'-4"	8'-0"	POCKET		
111	PRIMARY CLO 1	I	2'-4"	8'-0"	POCKET		
112	PRIMARY CLO 2	I	2'-4"	8'-0"	POCKET		
202A	ELEVATOR	H	3'-0"	6'-8"	SWING		ELEVATOR DOOR IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS
202B	ELEVATOR	H	3'-0"	6'-8"	SWING		ELEVATOR DOOR IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS
202C	ELEVATOR	H	3'-0"	6'-8"	SWING		ELEVATOR DOOR IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS
203A	GARAGE	H	3'-0"	8'-0"	SWING		20 MIN FIRE RATED



**DOOR TYPES**



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PROJECT ISSUE DATE:  
01.15.24 REVISED DRB SUBMITTAL

REVISIONS

NO.	DATE	DESC.
4	10.19.23	Revised window / door manufacturer
6	12.16.23	Revised door height

**CORTINA LAND CONDOMINIUMS UNIT 3**

130 CORTINA DRIVE MOUNTAIN VILLAGE CO 81435  
UNIT 3 CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

DOOR SCHEDULE

SHEET NUMBER

**A8.1**

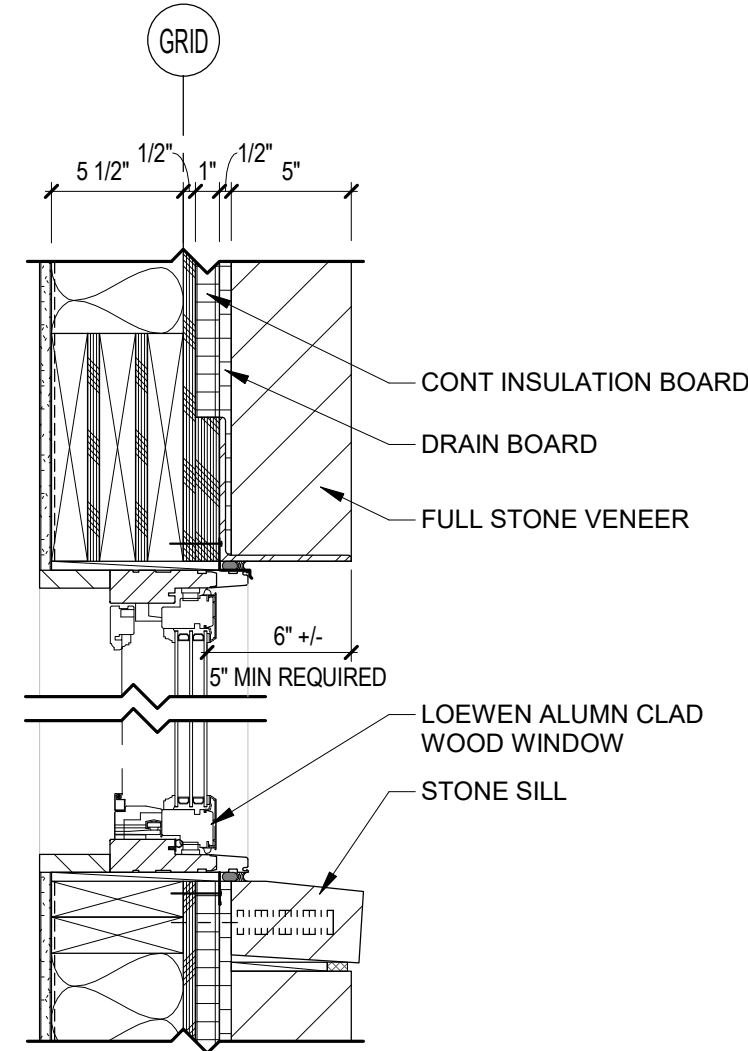
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@shift architects

### WINDOW NOTES:

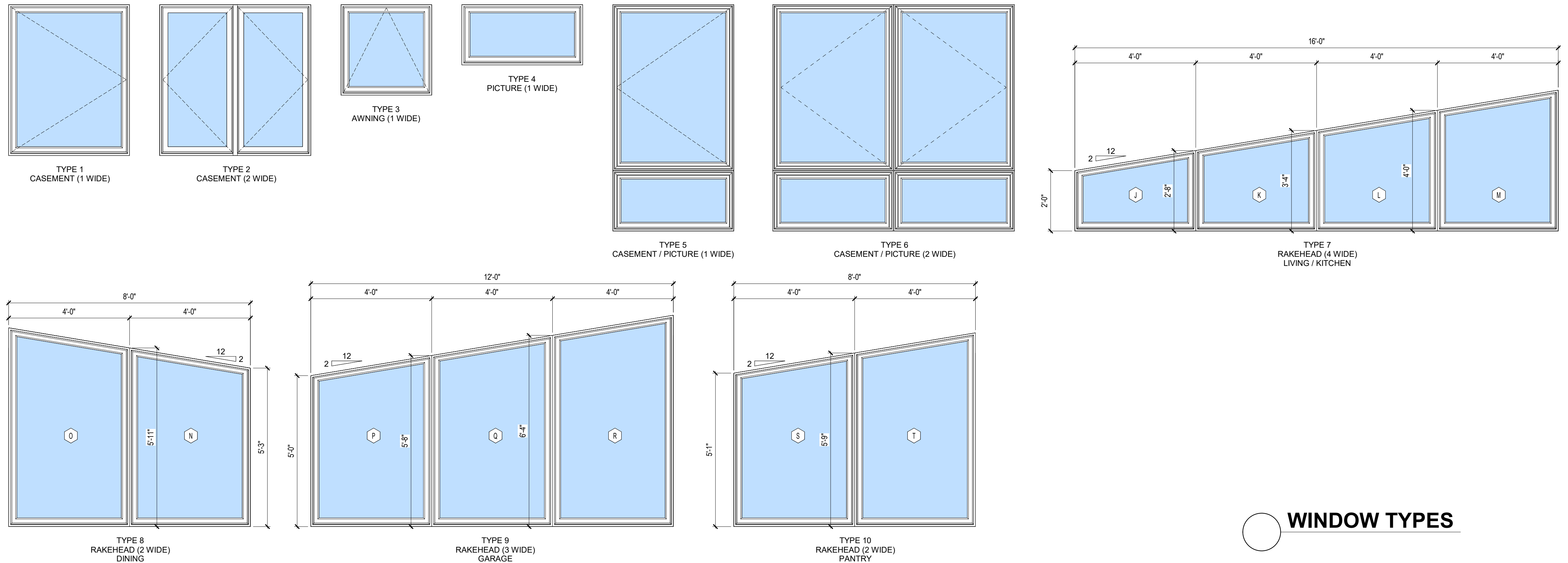
1. WINDOW INSTALLATION: INSTALL WINDOWS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. PROVIDE TEMPERED GLASS AS REQUIRED BY CODE.
3. SEE ELEVATIONS FOR WINDOW MUNTIN PATTERN.
4. WINDOW MANUFACTURER: YAWAL ALUMN; RAL9005 MATT FINISH
5. WINDOW HARDWARE TO BE VERIFIED W/ DEVELOPER.
6. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
7. WINDOW MANUFACTURER TO VERIFY WINDOW SWINGS.
8. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
9. PROVIDE SCREENS FOR ALL OPERABLE WINDOWS.
10. WINDOWS SHALL BE IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE CHAPTER 17.5 DESIGN REGULATIONS (17.5.6.G GLAZING).



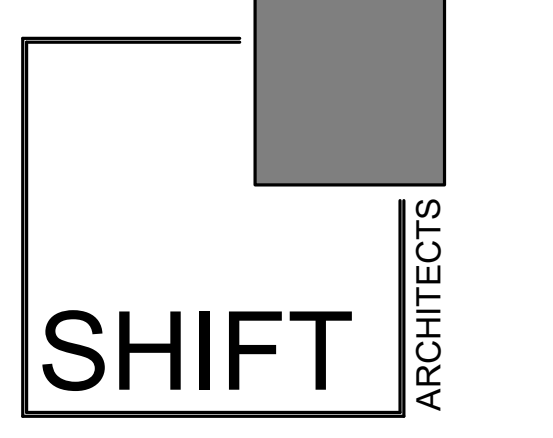
### 1 WINDOW HEAD/SILL STONE VENEER

1 1/2" = 1'-0"

ROOM NUMBER	ROOM NAME	TYPE MARK	UNIT WIDTH	UNIT HEIGHT	TYPE MARK	TYPE	MANUFACTURER	COMMENTS
001	REC ROOM	G	4'-0"	7'-6"	5	CASEMENT O/ PICTURE (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	CASEMENT 4'-0" X 5'-6" / PICTURE 4'-0" X 2'-0"
001	REC ROOM	G	4'-0"	7'-6"	5	CASEMENT O/ PICTURE (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	CASEMENT 4'-0" X 5'-6" / PICTURE 4'-0" X 2'-0"
001	REC ROOM	H	8'-0"	7'-6"	6	CASEMENT O/ PICTURE (2 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	CASEMENT DBL 4'-0" X 5'-6" / PICTURE DBL 4'-0" X 2'-0"
002	BEDROOM 1	A	4'-0"	5'-0"	1	CASEMENT (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	EGRESS
008	BEDROOM 2	H	8'-0"	7'-6"	6	CASEMENT O/ PICTURE (2 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	CASEMENT DBL 4'-0" X 5'-6" / PICTURE DBL 4'-0" X 2'-0"
010	SHOWER 2	D	5'-0"	3'-0"	3	AWNING (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
012	BUNK ROOM	H	8'-0"	7'-6"	6	CASEMENT O/ PICTURE (2 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	CASEMENT DBL 4'-0" X 5'-6" / PICTURE DBL 4'-0" X 2'-0"
102	POWDER	C	5'-0"	4'-0"	3	AWNING (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
103	DINING	H	8'-0"	7'-6"	6	CASEMENT O/ PICTURE (2 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	CASEMENT DBL 4'-0" X 5'-6" / PICTURE DBL 4'-0" X 2'-0"
103	DINING	N	4'-0"	5'-3"	8	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	ABOVE WINDOW H / DINING ROOM (SEE ELEVATION)
103	DINING	O	4'-0"	5'-11"	8	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	ABOVE WINDOW H / DINING ROOM (SEE ELEVATION)
104	LIVING	F	4'-0"	2'-0"	4	PICTURE (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
104	LIVING	F	4'-0"	2'-0"	4	PICTURE (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
104	LIVING	G	4'-0"	7'-6"	5	CASEMENT O/ PICTURE (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	CASEMENT 4'-0" X 5'-6" / PICTURE 4'-0" X 2'-0"
104	LIVING	G	4'-0"	7'-6"	5	CASEMENT O/ PICTURE (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	CASEMENT 4'-0" X 5'-6" / PICTURE 4'-0" X 2'-0"
104	LIVING	J	4'-0"	2'-0"	7	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
104	LIVING	K	4'-0"	2'-8"	7	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
104	LIVING	L	4'-0"	3'-4"	7	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
104	LIVING	M	4'-0"	4'-0"	7	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	ABOVE DOOR 104 / LIVING (SEE ELEVATION)
105	KITCHEN	J	4'-0"	2'-0"	7	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
105	KITCHEN	K	4'-0"	2'-8"	7	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
105	KITCHEN	L	4'-0"	3'-4"	7	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
105	KITCHEN	M	4'-0"	4'-0"	7	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
106	PANTRY	S	4'-0"	5'-1"	10	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
106	PANTRY	T	4'-0"	5'-9"	10	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
108	PRIMARY BATH	U	3'-0"	4'-6"	1	CASEMENT (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
109	PRIMARY WC	U	3'-0"	4'-6"	1	CASEMENT (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
110	PRIMARY SHOWER	I	7'-0"	7'-6"	6	CASEMENT O/ PICTURE (2 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	CASEMENT DBL 3'-6" X 5'-6" / PICTURE DBL 3'-6" X 2'-0"
201	MUD ROOM	B	5'-0"	5'-0"	2	CASEMENT (2 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
201	MUD ROOM	C	5'-0"	4'-0"	3	AWNING (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
203	GARAGE	E	3'-0"	3'-0"	3	AWNING (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
203	GARAGE	E	3'-0"	3'-0"	3	AWNING (1 WIDE)	YAWAL ALUMN; RAL9005 MATT FINISH	
203	GARAGE	P	4'-0"	5'-0"	9	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
203	GARAGE	Q	4'-0"	5'-8"	9	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	
203	GARAGE	R	4'-0"	6'-4"	9	PICTURE (RAKEHEAD)	YAWAL ALUMN; RAL9005 MATT FINISH	



### WINDOW TYPES



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PROJECT ISSUE DATE:  
01.15.24 REVISED DRB SUBMITTAL

NO.	DATE	DESC.
3	10.19.23	Revised window
4	10.19.23	Revised window / door manufacturer

# CORTINA LAND CONDOMINIUMS UNIT 3

130 CORTINA DRIVE MOUNTAIN VILLAGE CO 81435  
UNIT 3 CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON  
INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC  
TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

### WINDOW SCHEDULE

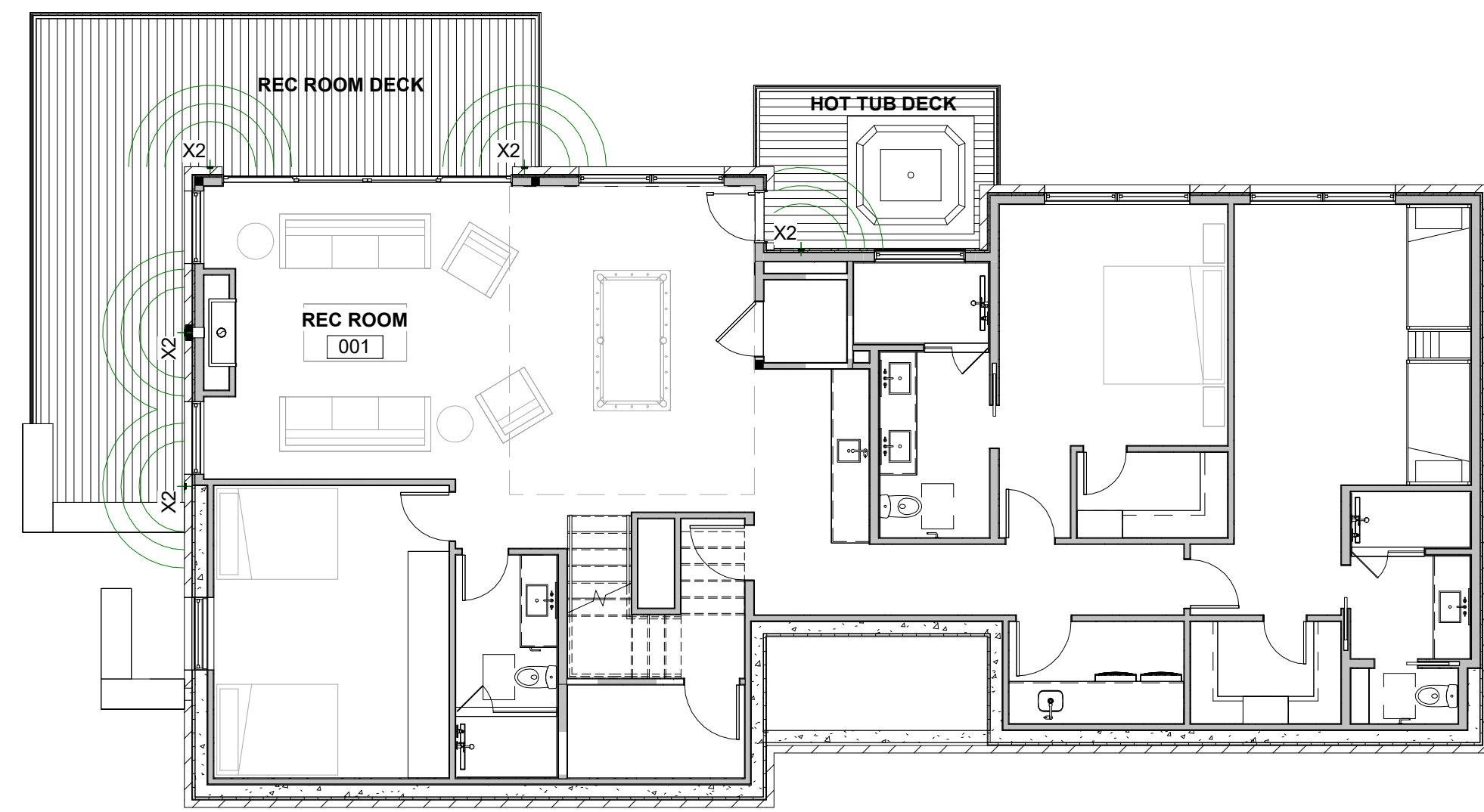
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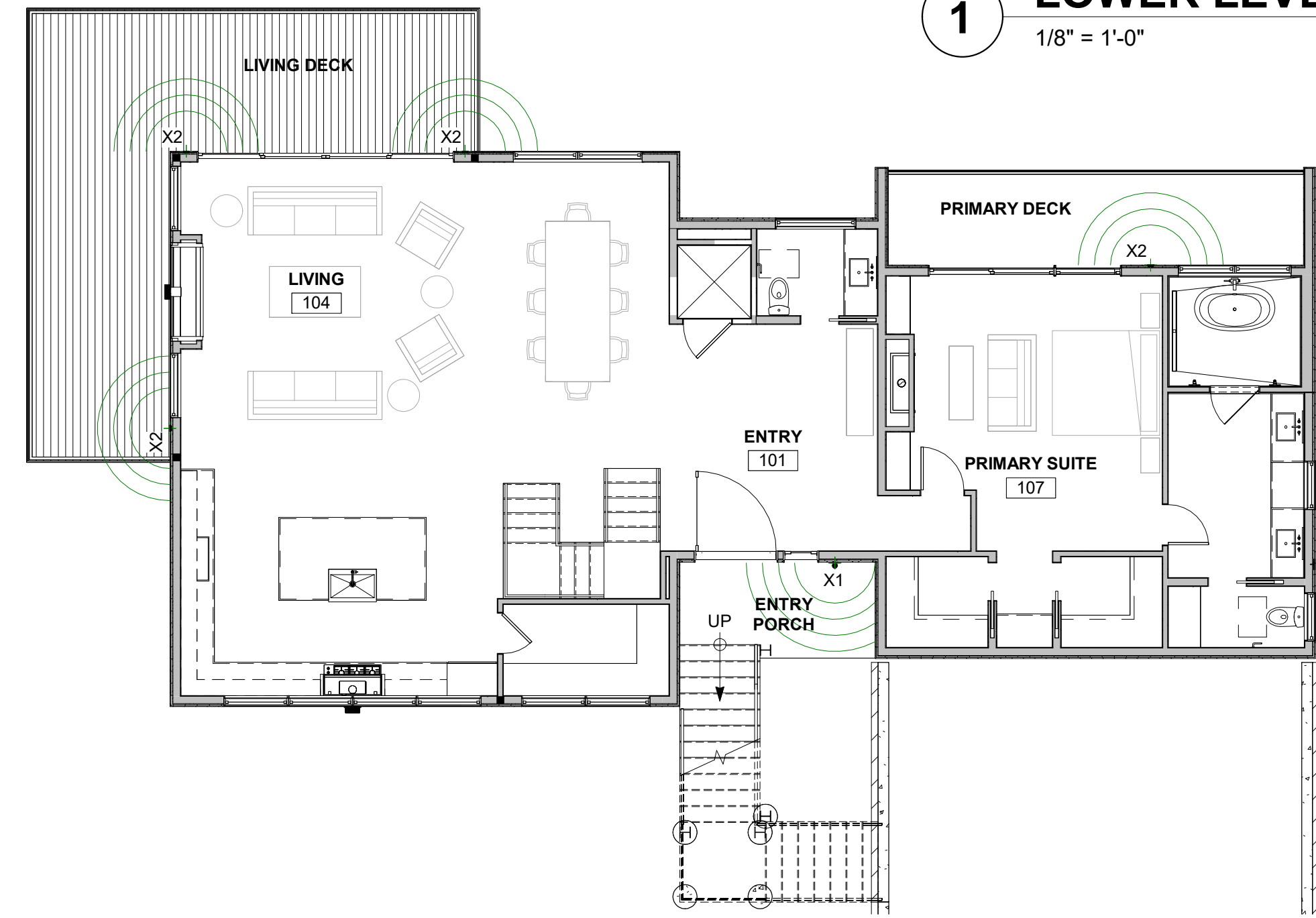
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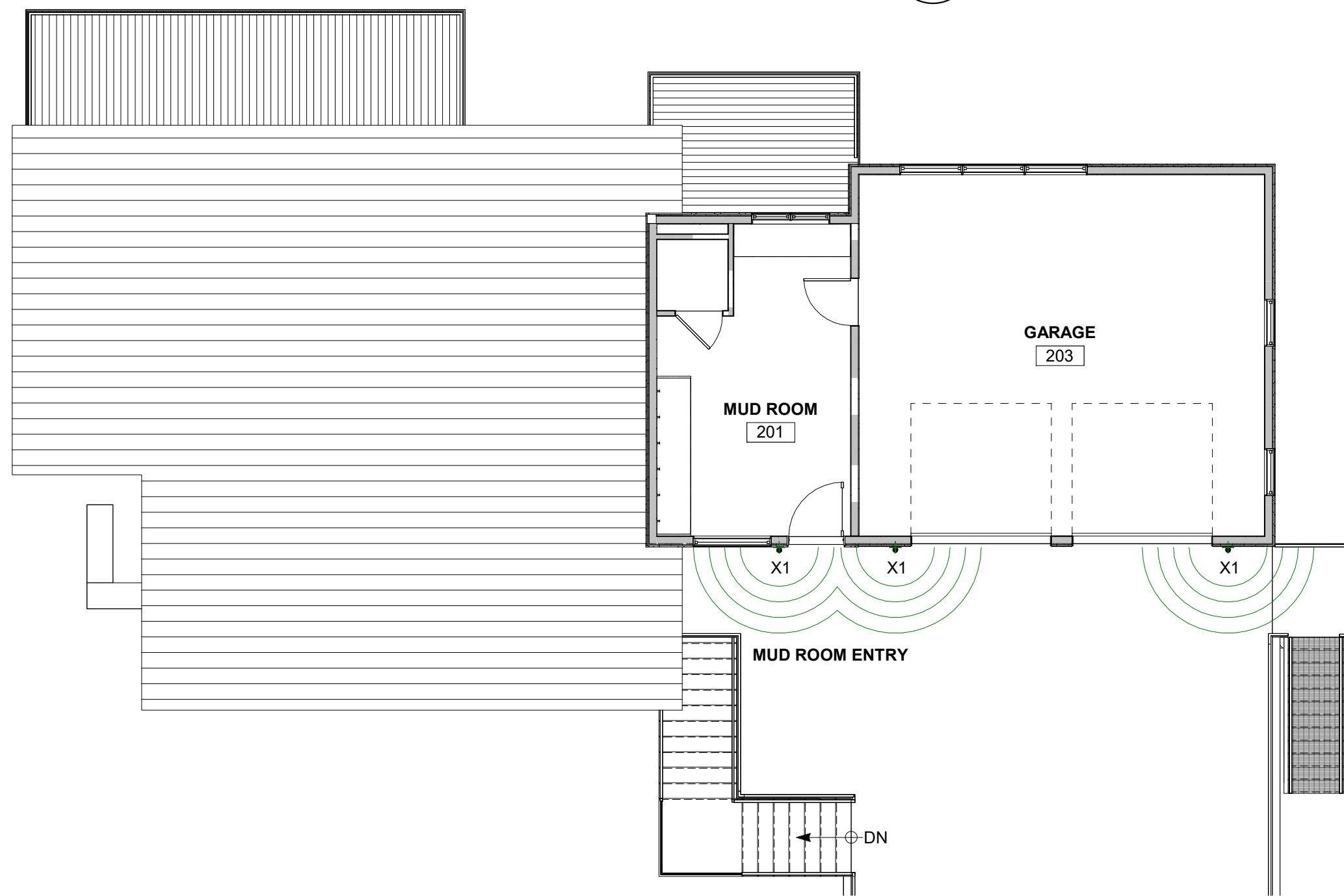
@shift architects



**1 LOWER LEVEL**  
1/8" = 1'-0"



**2 GROUND LEVEL**  
1/8" = 1'-0"



**3 MUD / GARAGE LEVEL**  
1/8" = 1'-0"

**LIGHTING NOTES:**

- FIELD VERIFY ALL LIGHTING LOCATIONS.
- TYPICAL LIGHTING LOCATION AT STAIRS: (2 EA) PER RUN (1) EA PER LANDING
- CONTRACTOR SHALL TAKE CARE IN PLANNING ROUGH FRAMING LAYOUT AS IT RELATES TO THE NEED TO CENTER FIXTURES IN HALLWAYS, RECESSES AND OTHER AREAS WHERE RELATIONSHIPS DON'T OFFER ANY LATITUDE OR FIELD ADJUSTMENTS.
- ALL RECESSED FIXTURES AT INSULATED CEILINGS TO BE IC RATED AND CERTIFIED AIR TIGHT CONSTRUCTION. ALL EXTERIOR FIXTURES, SHOWER FIXTURES AND FIXTURES OVER TUBS TO BE MARKED "SUITABLE FOR DAMP LOCATIONS".
- LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS
- PROVIDE FULL CUT OFF FIXTURES WITH LED 10W 2500K-2700K BULBS PER CDC REQUIREMENTS.
- MOUNT FIXTURES AT 7'-0" AFF MAX PER CDC REQUIREMENTS.
- EXTERIOR LIGHTING ON SECOND AND UPPER FLOORS SHALL REQUIRE EITHER A TIMER OR SENSOR TO REDUCE USAGE AND ENERGY LOSS DURING TIMES OF INACTIVITY.
- PROVIDE SCREWLESS CAPS IN ALL SWITCHES AND OUTLETS.
- PROVIDE OUTLET W/ USB AT EA BED (NIGHT STAND). VERIFY LOCATION IN FIELD.
- LIGHTING LAYOUT GRID DIMENSIONS ARE TO FACE OF FRAME WALLS TYP.

**LIGHTING LEGEND**

⊙ C1	RECESSED CAN	⊙ MS	MOTION SENSOR
⊙ C2	RECESSED CAN; DIRECTIONAL	○ P	PENDANT
⊙ C3	RECESSED CAN; WET LOCATIONS	- - - UC	UNDER CABINET LED STRIP
⊙ C4	RECESSED CAN; LOW PROFILE	— R	RECESSED LED LIGHT
⊙ E	RECESSED CAN; EXTERIOR	⊕ TL	TABLE LAMP RECEPTACLE
⊗	CEILING FAN	⊕ FL	FLOOR LAMP RECEPTACLE
— C	2' LINEAR CLOSET FIXTURE	⊕ USB	OUTLET WITH USB
⊖ FN	EXHAUST FAN	⊖ S	WALL MOUNTED SCNCE
⊖ FN	EXHAUST FAN WITH LIGHT	■ ST	STEP LIGHT
□ F1	2'X2' FLUSH MOUNT LED LIGHT	⊖ S <sub>2</sub>	TWO WAY SWITCH
□ F2	2'X4' FLUSH MOUNT LED LIGHT	⊖ S <sub>3</sub>	THREE WAY SWITCH
⊕	SURFACE MOUNT FIXTURE	□ TV	TV OUTLET
⊕ CH	CHANDELIER	- - - WG	WALL GRAZING
⊖	MONO POINT FIXTURE	⊖ X1	EXTERIOR SCNCE
⊖	DOUBLE HEADED MONO POINT	— X2	EXTERIOR WALL / STEP
		—	FIXTURE LAYOUT GRID

**EXTERIOR FIXTURE X1:**



EXTERIOR LED WALL LIGHT (4 TOTAL)

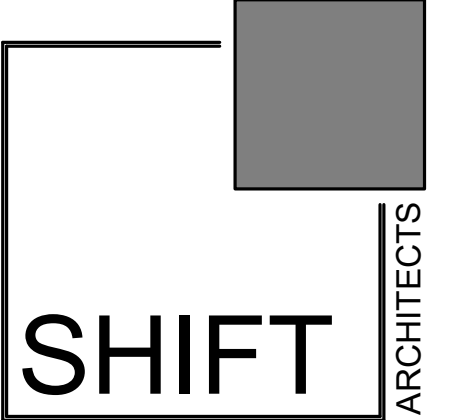
SLANT LED INDOOR & OUTDOOR WALL LIGHT	
FINISH:	BLACK
MANUFACTURER	dweLED BY WAC LIGHTING
ITEM	WS-W14911-BK
MATERIAL	ALUMINUM
GLASS	ETCHED OPAL GLASS LENS
WIDTH	5"
HEIGHT	10 5/8"
DEPTH	3 1/4"
LUMENS (TOTAL)	440
WATTS (TOTAL)	7.0
CRI	90
COLOR TEMP	3000K (SOFT WHITE)
LAMP TYPE	LED BUILT-IN
RATED LIFE	50,000 HOURS
DIMMABLE	ELV DIMMING: 10% - 100%
VOLTAGE	120V
DARK SKY COMPLIANT	YES
CERTIFICATION	ETL LISTED WET LOCATIONS

**EXTERIOR FIXTURE X2:**



EXTERIOR WALL LIGHT (8 TOTAL)

WL-LED 100	
FINISH: BLACK	
MANUFACTURER	WAC LIGHTING
ITEM	WL-LED100-C-BK
MATERIAL	DIE-CAST ALUMINUM
GLASS	3000K
WIDTH	5"
HEIGHT	3"
LUMENS	68
EFFICACY (lm/W)	8
CRI	90
RATED LIFE	50,000 HOURS
WATTAGE	3.9W
DIMMABLE	WITH ELECTRONIC LOW VOLTAGE (ELV) DIMMER
CERTIFICATION	IP66, UL & cUL LISTED FOR WET LOCATIONS
LIGHT SOURCE	PRIMARY BULB: X 3.90 WATTS INTEGRATED LED MODULE
VOLTAGE	120V, DIRECT WIRING



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PROJECT ISSUE DATE:  
01.15.24 REVISED DRB SUBMITTAL

REVISIONS  
NO. DATE DESC.

CORTINA LAND CONDOMINIUMS UNIT 3

130 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435  
UNIT 3, CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

EXTERIOR LIGHTING PLAN

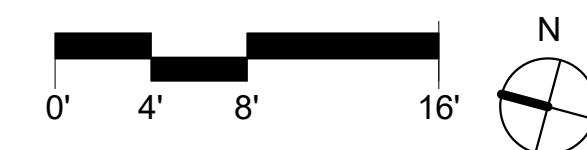
SHEET NUMBER

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**LTG1.1**

NOT FOR CONSTRUCTION

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AGENDA ITEM 10  
**PLANNING & DEVELOPMENT SERVICE**  
**PLANNING DIVISION**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

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**TO:** Mountain Village Design Review Board  
**FROM:** Drew Nelson, Senior Planner  
**FOR:** Design Review Board Regular Meeting, February 1, 2024  
**DATE:** January 23, 2024  
**RE:** Conceptual Work Session for Unit 1, Lot 161A-R2 (The Ridge) to Develop a New Single-Family Residence, Pursuant to CDC sections 17.4.11.

### Work Session Overview

#### **PROJECT GEOGRAPHY**

**Legal Description:** UNIT 1 THE RIDGE AT TELLURIDE AKA LOT 161A-R2 ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 1 AT PAGE 3262 RECEPTION NO 365188 AND AMENDED AND SUPPLEMENTED BY THE PLATS RECORDED IN PLAT BOOK 1 AT PAGE 3649 RECEPTION NO 383984 PLAT BOOK 1 AT PAGE 3686 RECEPTION NO 385382 PLAT BOOK 1 AT PAGE 3900 RECEPTION NO 398499 PLAT BOOK 1 AT PAGE 3975 RECEPTION NO 403055 PLAT BOOK 1 AT PAGE 4283 RECEPTION NO 409853 PLAT BOOK 1 AT PAGE 4349 RECEPTION NO 413134 PLAT BOOK 1 AT PAGE 4888 RECEPTION NO 446065 AND PLAT BOOK 1 AT PAGE N/A RECEPTION NO 458069 AND ACCORDING TO THE DECLARATION FOR THE RIDGE AT TELLURIDE RECORDED AT RECEPTION NO 365201 AS AMENDED AND SUPPLEMENTED BY THE DOCUMENTS RECORDED AT RECEPTION NO 383983 RECEPTION NO 385383 RECEPTION NO 398448 RECEPTION NO 403054 RECEPTION NO 409854 RECEPTION NO 413135 AND RECEPTION NO 458070 ALL IN THE OFFICE OF THE COUNTY CLERK AND RECORDER SAN MIGUEL COUNTY COLORADO

**Address:** Unit 1, The Ridge – Lot 161A-R2  
**Applicant/Agent:** Don Gurney and Elizabeth Gruchala, Openspace Architecture  
**Owner:** Hot Dog House Telluride, LLC  
**Zoning:** Multi-Family



**Existing Use:** Vacant  
**Proposed Use:** Single Family Detached Condominium  
**Lot Size:** 0.5075 Acres

**Adjacent Land Uses:**

- **North:** Vacant/Open Space
- **South:** Mixed Use/Gondola
- **East:** Ski Area/Open Space
- **West:** Vacant/Single-Family

**ATTACHMENTS**

- Exhibit A: Plan Set

**Case Summary:**

Don Gurney and Elizabeth Gruchala (Applicants), working on behalf of Hot Dog House Telluride, LLC (Owner), has requested a work session with the Design Review Board to discuss a proposed single family detached condominium to be located at Lot 161A-R2, Unit 1 (The Ridge). The applicant has provided conceptual architectural designs for the proposed home and as part of the work session would like to gauge

the Design Review Board's opinion of the proposed development. The proposed design includes a single-family detached condominium that represents as a single-family home. The purpose of the work session is to allow the applicant and DRB to have an informal, non-binding review and discussion about the project, potential issues, and possible solutions. Due to unique circumstances surrounding development on the Ridge, the applicant is requesting feedback prior to moving forward with a design review application.

**Existing Conditions:** Unit 1 is located directly adjacent to the Ridge Club/Allred's/Angle Station for the Gondola. Originally planned for four condominium units, a rezoning and density transfer was approved by the Mountain Village Town Council in 2019, dropping the amount of density to one unit and three-person equivalent. As such, the proposed use as a single-family detached condominium is appropriate for the site per the underlying zoning and relevant adjacent development.

**Height Variance:** The lot is quite prominent and is subject to the Stipulated Settlement Order with San Miguel County, the Ridge Development Agreement, and the Coonskin View Plane limitations as described in the View Plane survey dated July 21, 1999, among other agreements. The Stipulated Settlement Order and the Coonskin View Plane require that all development meet height regulations that limit visibility of any development from locations on the Valley Floor. The View Plane requires that buildings not exceed certain heights (10', 20', 35', and 45', depending on location on the survey) to limit the visual impact; the applicant is proposing protrusions into the view plane at different points that would require a variance. Council has approved two height variances for other properties on the Ridge, when view plane studies conducted by a surveyor seemed to show that it



Figure 1: Vicinity Map

would not be possible to view the structure from the Valley floor. The lot generally slopes from east to west, but is a prominent location at the top of The Ridge and will be highly visible from a variety of locations within Mountain Village.

Lot Line Adjustment: The applicant's proposal also includes adjusting the existing lot lines to move the proposed residence to the north and east, closer to the edge of the ridge and the Milk Run/Pandora ski runs. Most of the units on the Ridge have a Lot with a number of Units, or "building envelopes" on them. As was discussed previously, this Lot had four units of condominium density on it and therefore was planned for four Units or "building envelopes". When the density was removed, a building envelope for Unit 1 was not established. The general common element area outside of the units serves as a setback between properties and between the Ridge Development and adjacent open space. DRB should discuss whether a required setback needs to be maintained. Pursuant to the CDC:

*"For lots outside the Village Center Zone District where a general easement does not exist and lots where the general easement has been vacated, the review authority may require the establishment of a building setback as determined by the DRB at the time of review of a development application."*

The re-location of the Unit closer to the ridgeline also moves the area of fire mitigation and tree removal for the development closer to the ridgeline and the impacts of necessary tree removal should also be considered.

The proposed adjustment would also remove the access/cart path from the existing lot lines as well as removing a proposed elevator building from the parcel. This proposal would place the cart path onto open space owned by the HOA while maintaining the same square footage (22,120 sq.ft.) for Unit 1.

### **Design Review:**

The focus of this work session is to provide feedback on the height limitations, the proposal to move the structure and lot lines to the north and east, and some design considerations that may challenge the DRB's preferred mountain architectural treatments. The design package (attached) shows a significant amount of glass and windows around the structure, providing challenges to night lighting escaping from the residence. Calculations provided by the applicants indicate that the amount of stone proposed meets the minimum 35% at 36%, and the calculation of glass is shown at 29%, but should be confirmed as part of any future Initial Architecture review by the DRB (staff currently does not have adequate information to calculate this).

The applicants have provided conceptual architectural designs for this work session, showing a modern structure with flat roof features. Due to the large amount of glass proposed, the roof appears to hang above the structure resembling a ledge or "diving board". The large overhanging flat roofs are a dominant feature of the design and may not meet the DRB's expectations for having a "grounded" physical form. This design is dissimilar to other structures around The Ridge, including the Ridge Club, Allred's, the gondola station, and other residences currently under construction. In addition, the CDC Section 17.5.6.C.1.a. notes that roofs, "shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines and vertical offsets." While some of these measures are met, the flat roof as proposed with its sizeable overhangs appears to stray from the intent of the CDC and would likely require a design variation. Color palates shown on the design show lighter colored stone, light colored cedar wood and warm toned metal panels and fascia on the materials board but represent differently in the computer generated renderings. It would be important to understand more details of the stone size,

setting pattern and grout to get a better sense of what the structure will look like when built. A roofing material sample has not been provided.

As noted in the Stipulated Settlement Order, any application for development of this parcel must be referred to San Miguel County and the Town of Telluride for review. The applicant has indicated that they have placed story poles on the site; however, this will need to be resubmitted for formal review at a future date. A key to the story pole photographs should indicate in USGS what points the pole/light combinations represent. DRB should also discuss whether the erection of story poles gives them enough information to feel comfortable making a recommendation on the height variance or if a more formal view plane study conducted by a surveyor is recommended.

### **RECOMMENDATION**

A conceptual work session is a process that allows for the DRB to provide an informal, non-binding review of a conceptual development proposal. The DRB shall evaluate the concept based on the applicable criteria for decision in the future. Any comments or general direction given by the DRB shall not be considered binding or represent any warranties or guarantees of approval of any kind. No formal action is taken by the DRB on conceptual work sessions.

Staff recommends the DRB review and evaluate the proposed concept plans based on the applicable criteria for decision for the future development application and provide non-binding feedback and direction to the applicant regarding the design and proposed density. Future applications for development of this site will require referral to the Town of Telluride and San Miguel County, so additional feedback should be anticipated during that process as well.



Design Review Board - Work Session

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Openspace Architecture

TELLURIDE RESIDENCE - RIDGE LOT 1

2024.02.01



Agenda: Desired feedback on the following:

1: Building Siting: Setback, Site Coverage, Lot Line Adjustments, Access

2: Building Height and Proposed Variance

3: Overall Form of Development: Materials, Massing, Expression

4: Additional Thoughts and Comments



Table of Contents:

Team Introduction	4
Precedent Image	5
Context Plan	6
Site Photos and Original Concept Model	7
Site Constraints	11
Site Analysis	12
Proposed Site Plan Concept	13
Proposed Site Plan	14
Parcel Line Adjustment	15
Proposed Site Coverage	17
Exterior Views and Elevations	18
View Plane Diagram	22
Story Pole Study	23
Material Concept Board	26
Exterior Rendering	27
Facade Material Calculations	28
Additional Rendered Views	29





Design Review Board - Work Session

TELLURIDE RESIDENCE - RIDGE LOT 1

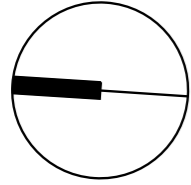
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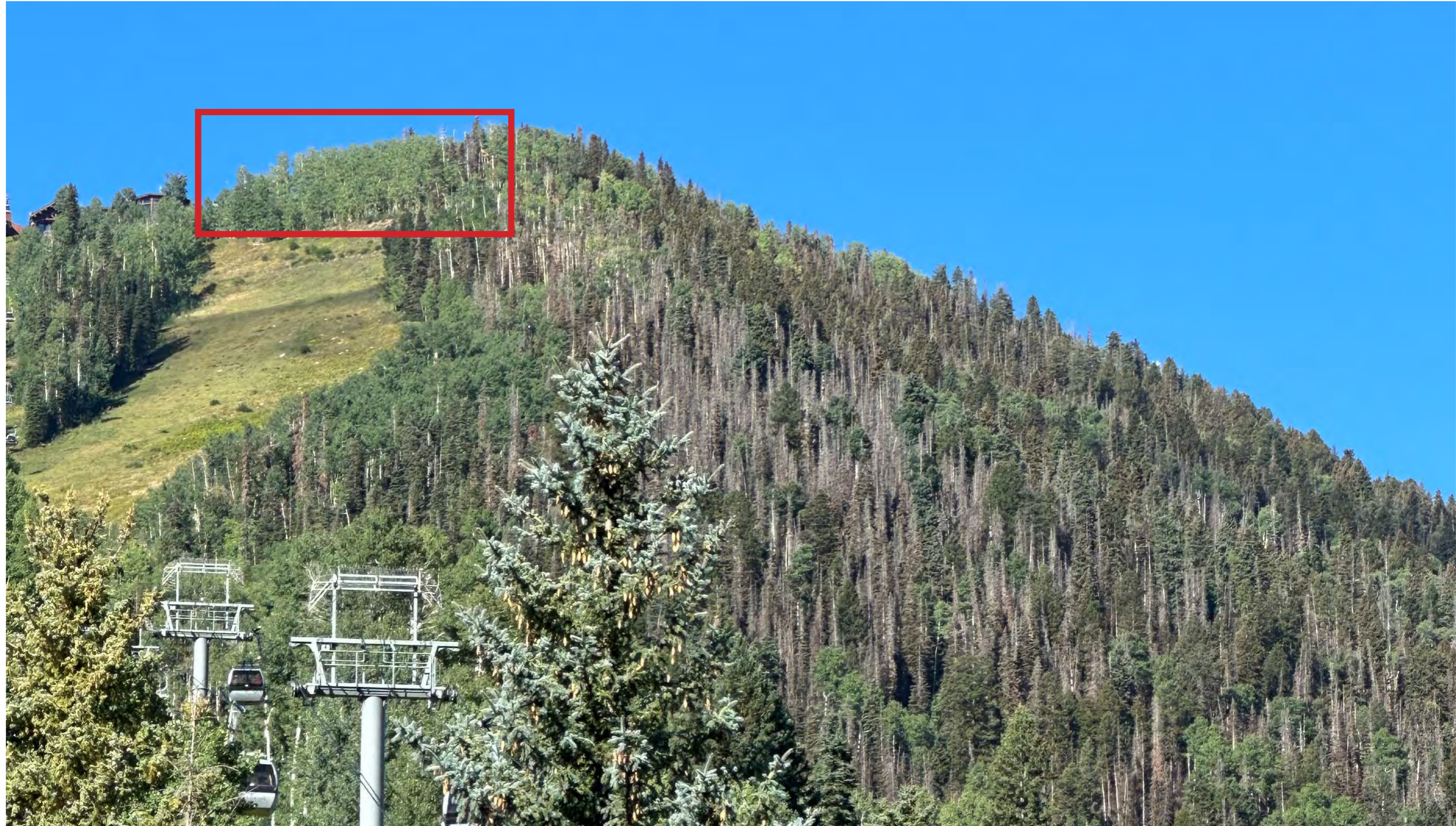


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Precedent Image - Directive From Home Owner







Site Photo: View From Cowboy Coffee Towards Peak





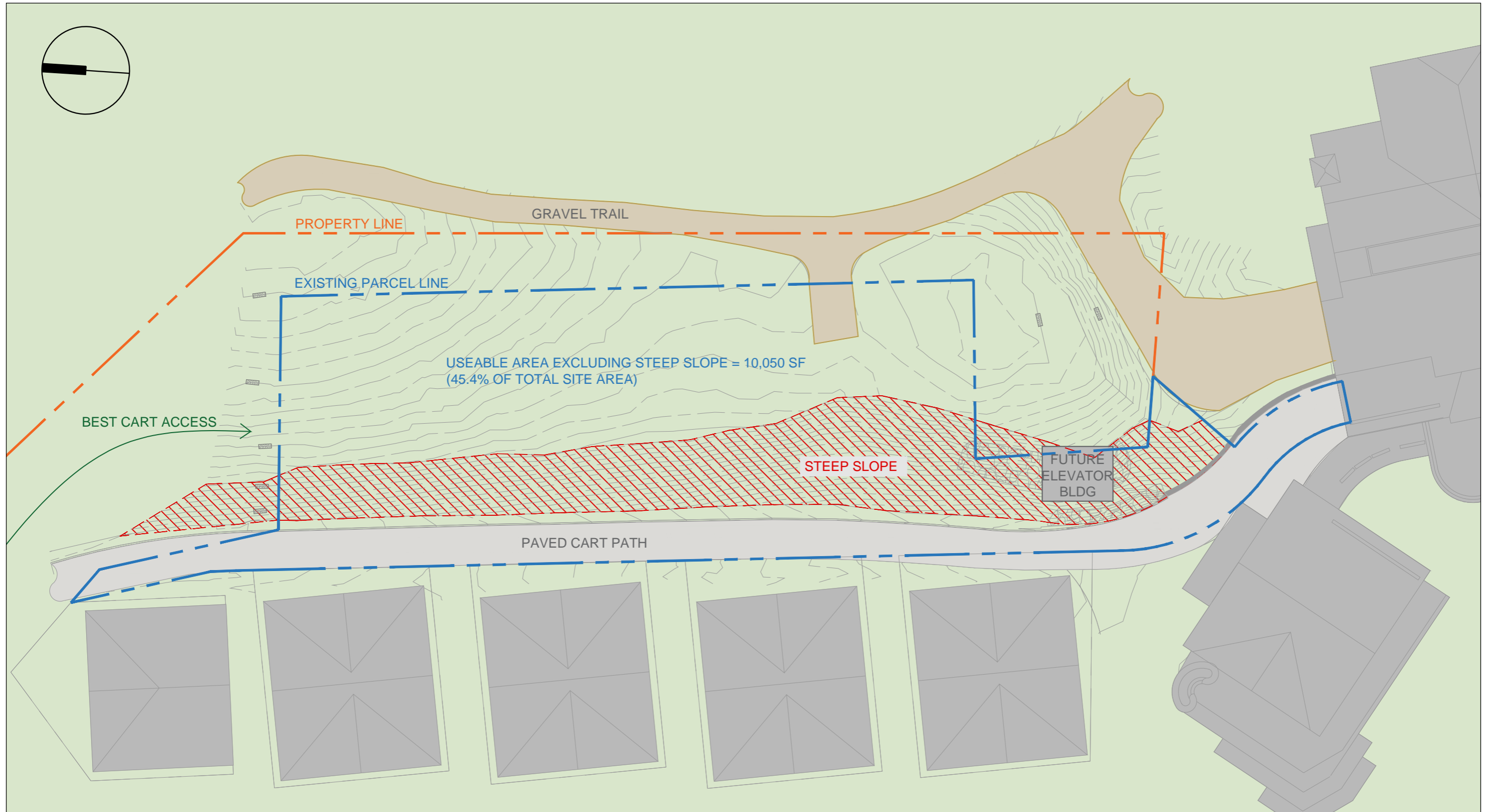
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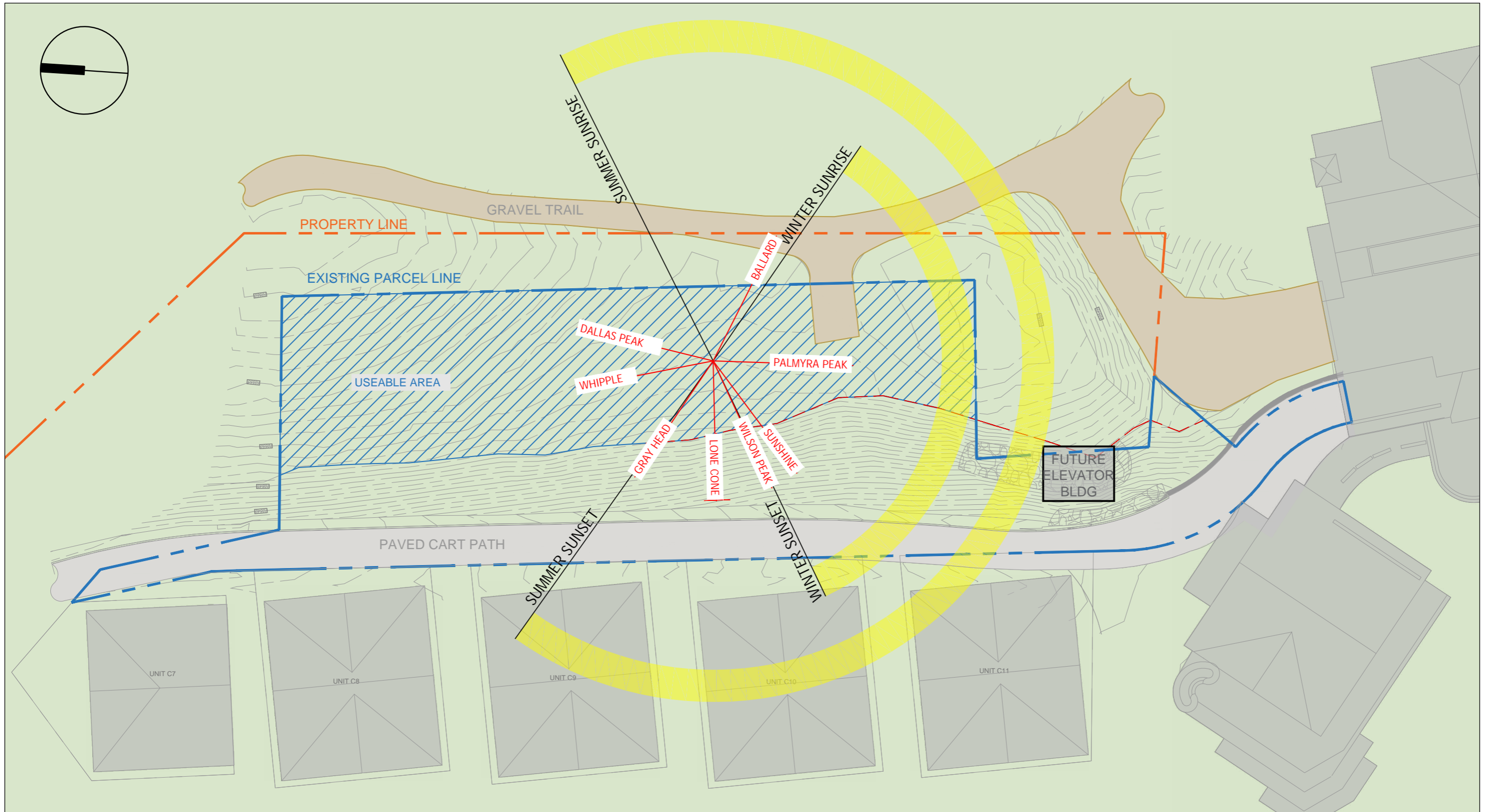
Site Photo

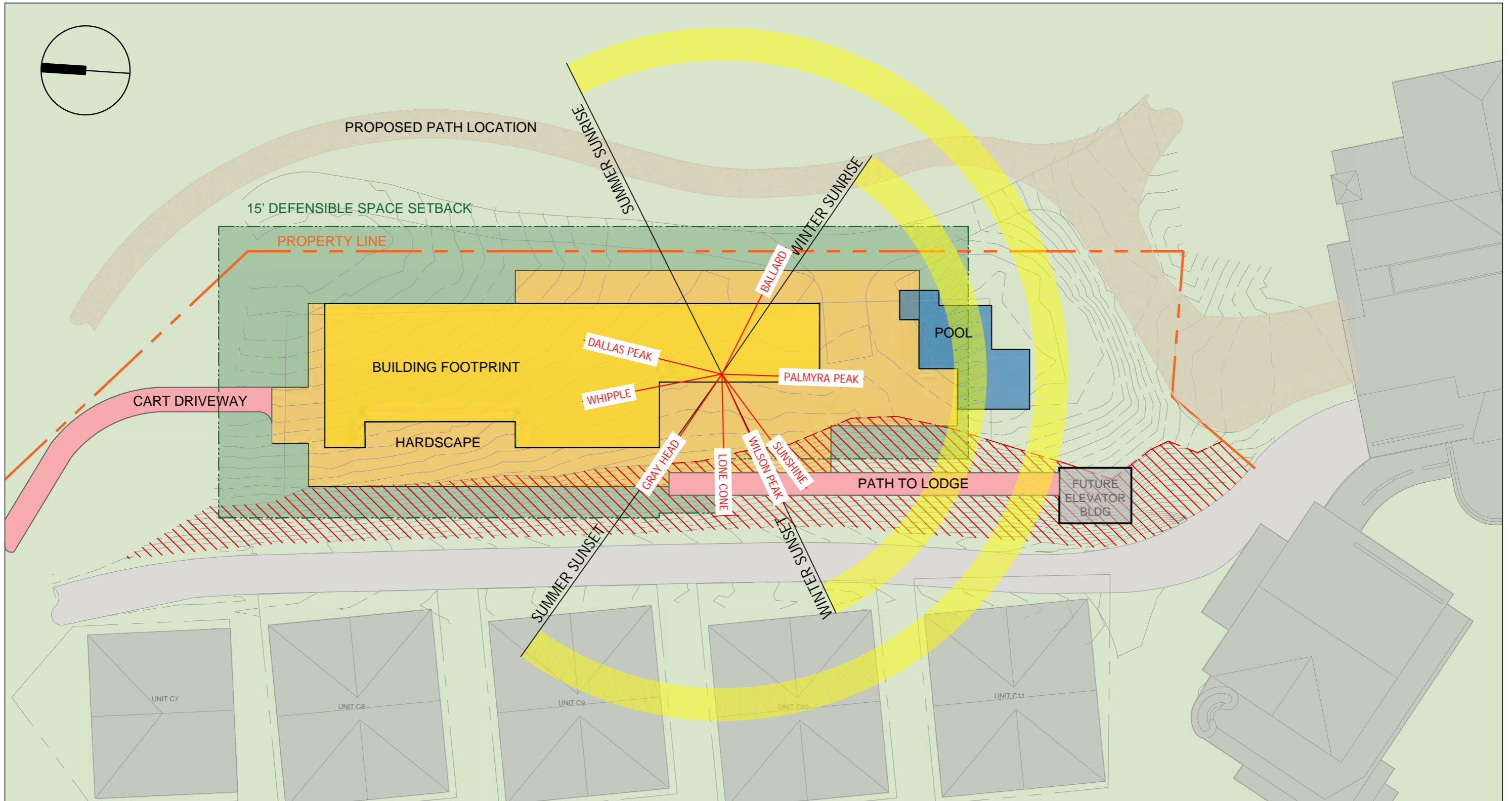


SITE LOCATION

PROPOSED ELEVATOR BUILDING + BRIDGE TO LODGE

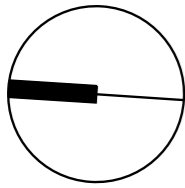


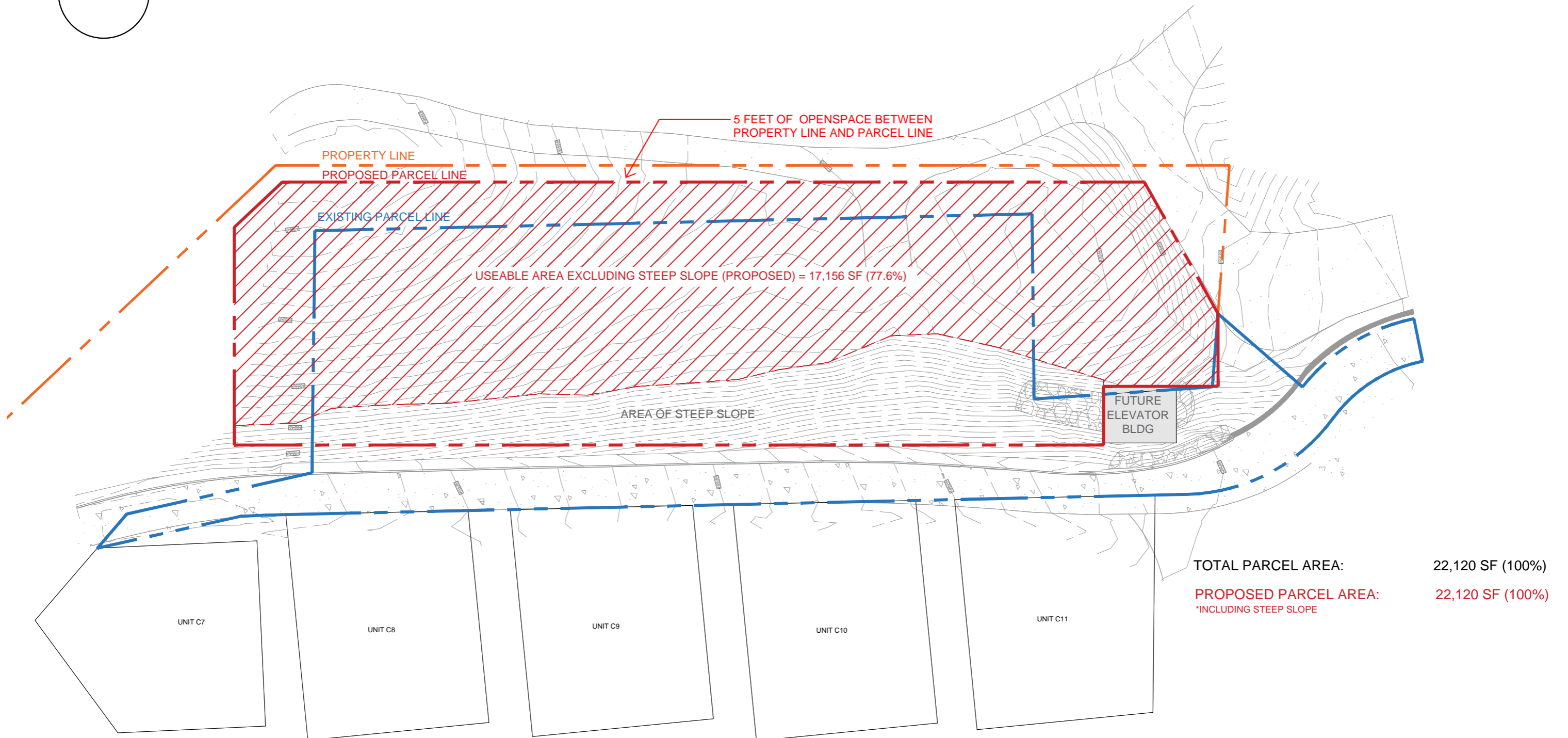
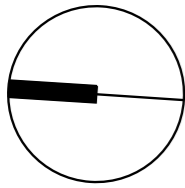




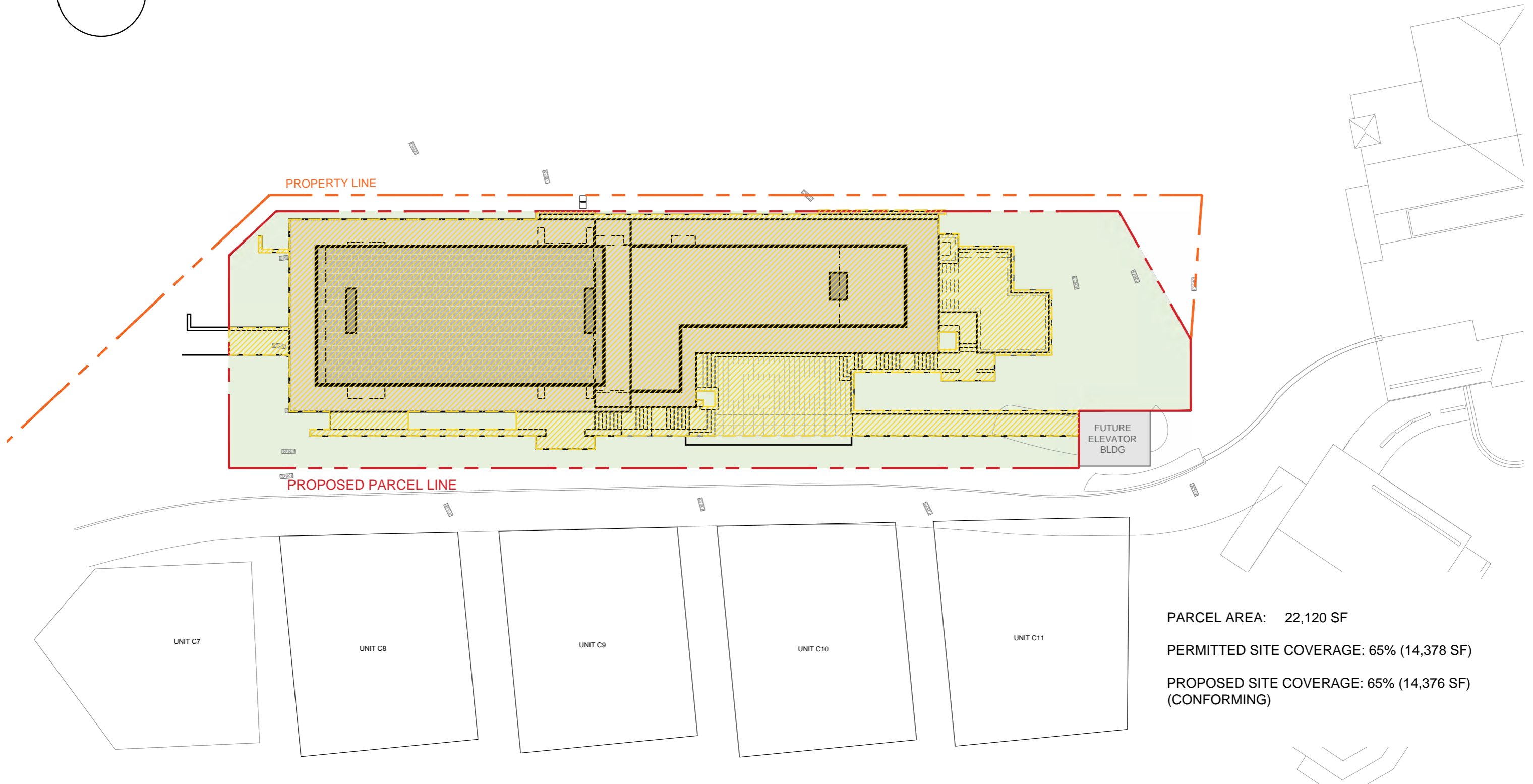
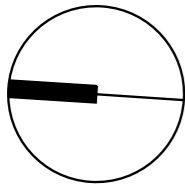








TOTAL PARCEL AREA:	22,120 SF (100%)
PROPOSED PARCEL AREA: *INCLUDING STEEP SLOPE	22,120 SF (100%)









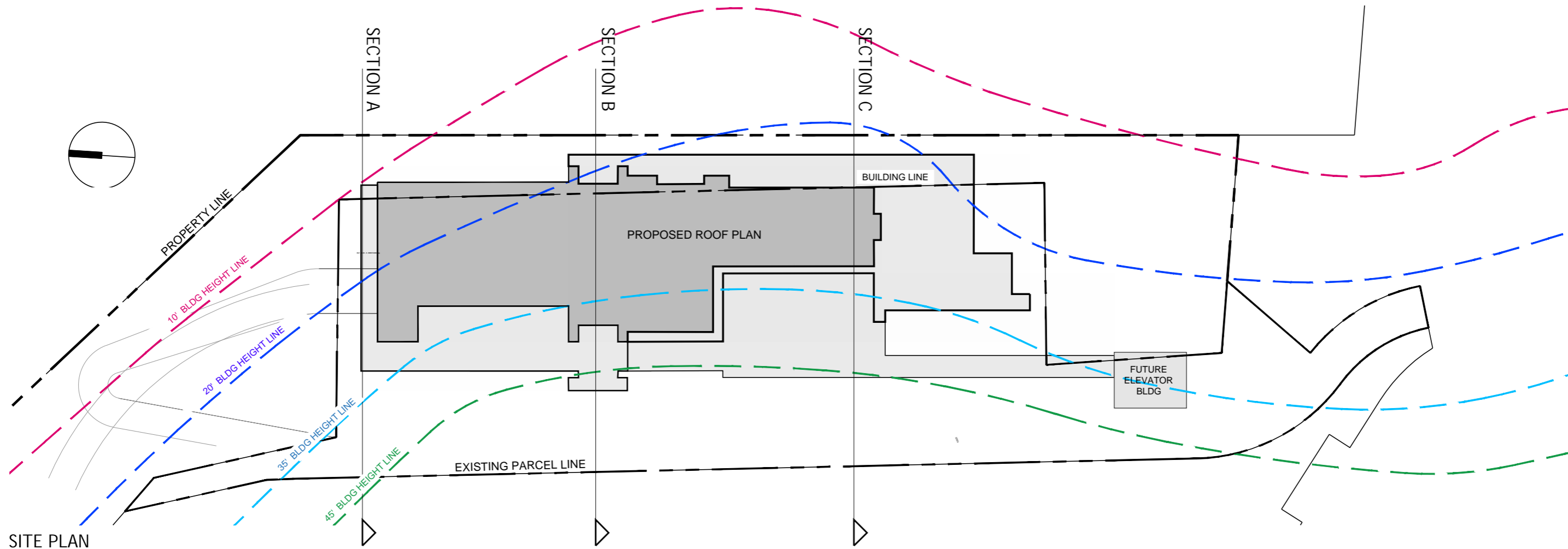
Exterior View - West Elevation



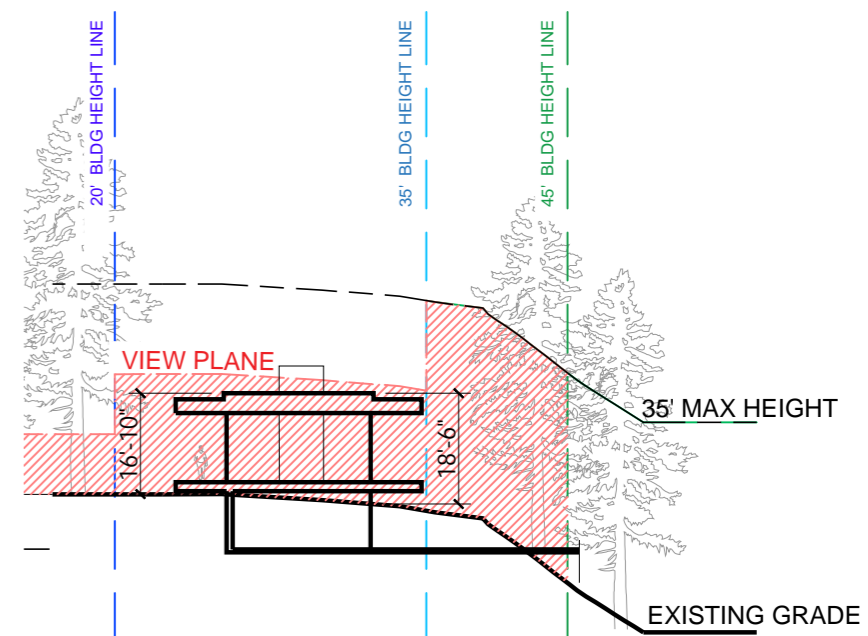
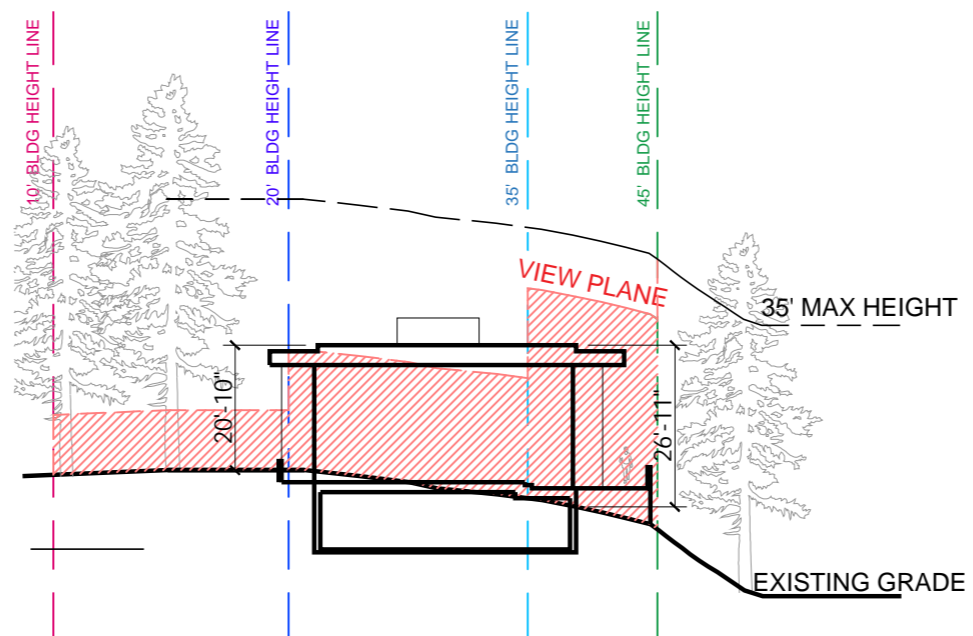
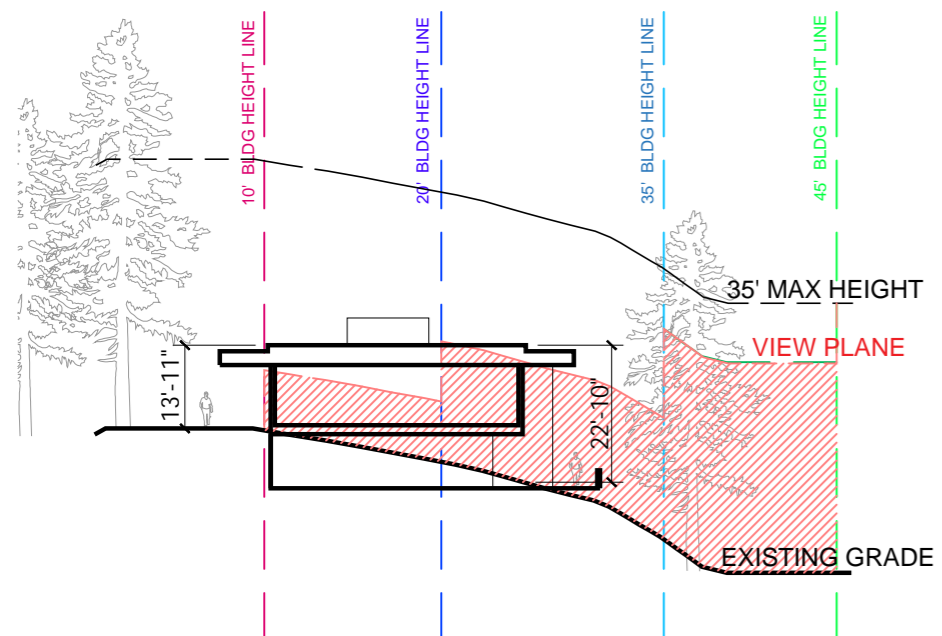
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Exterior View - East Elevation

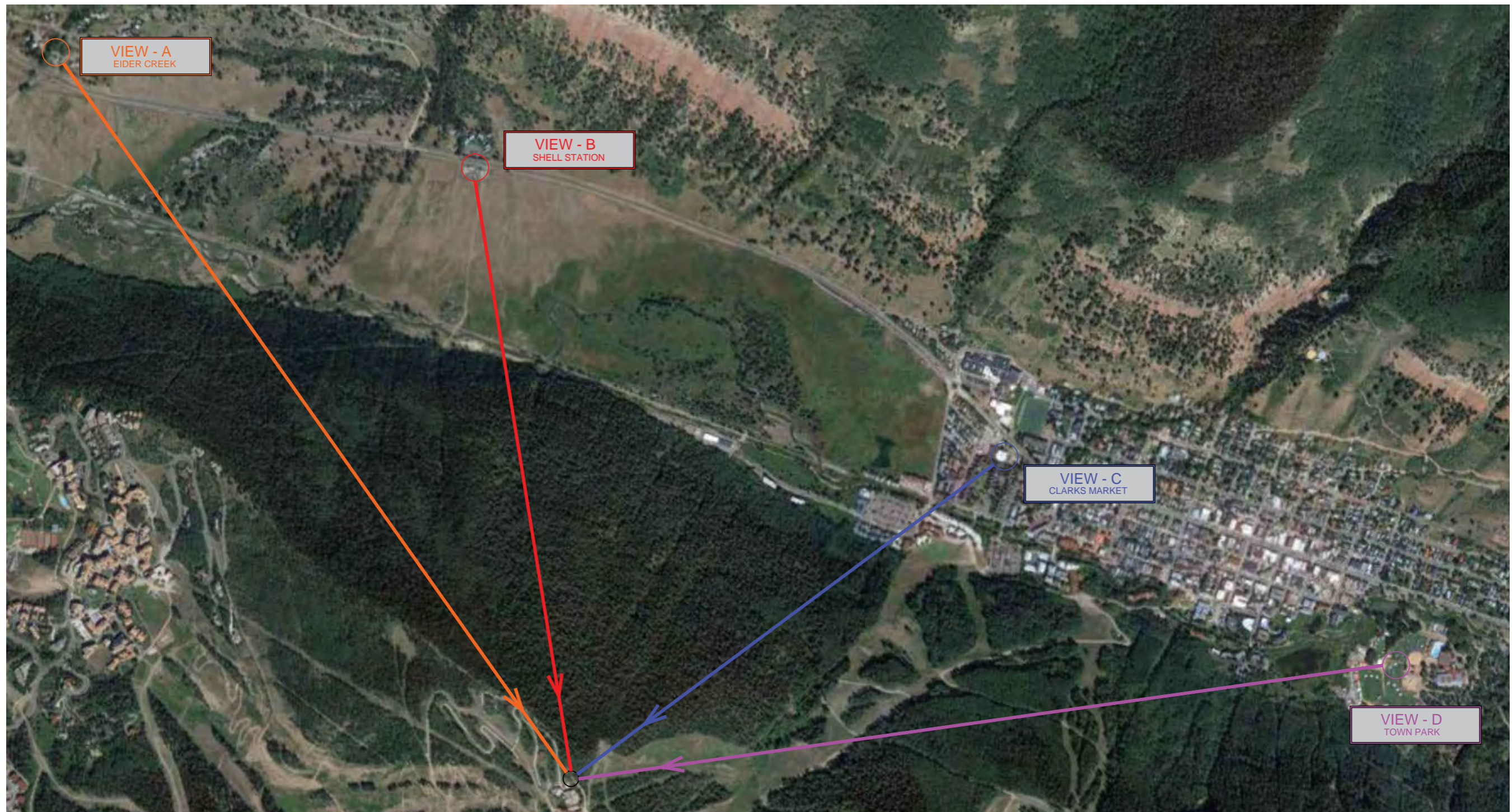


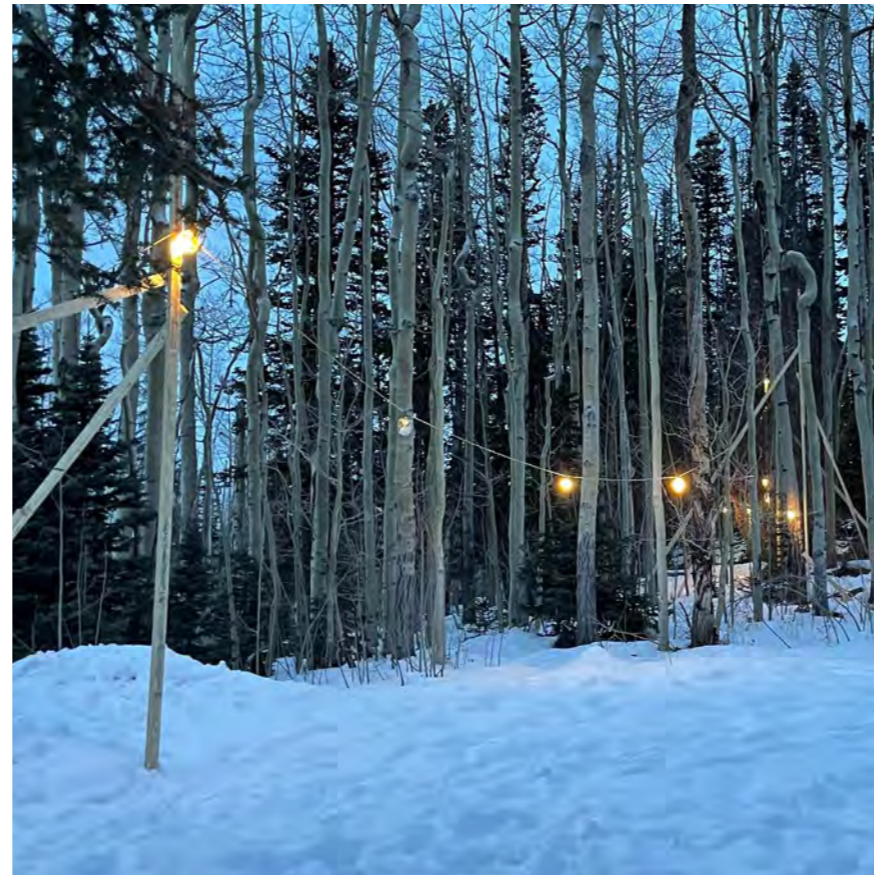


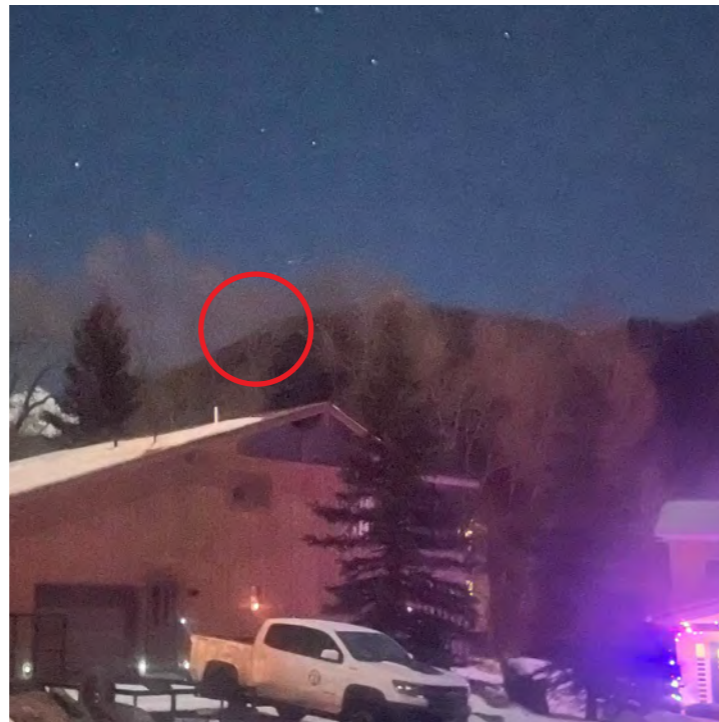
SITE PLAN



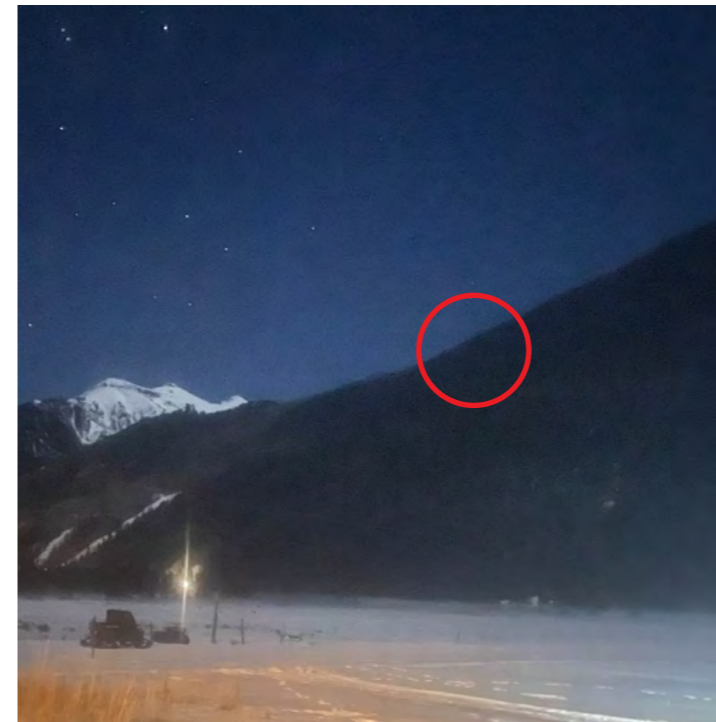
View Plane Study - Sections



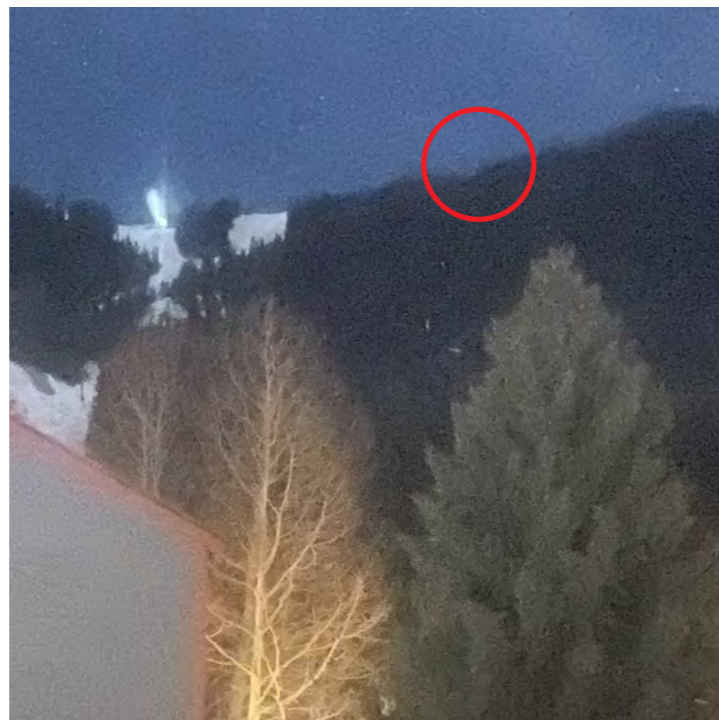




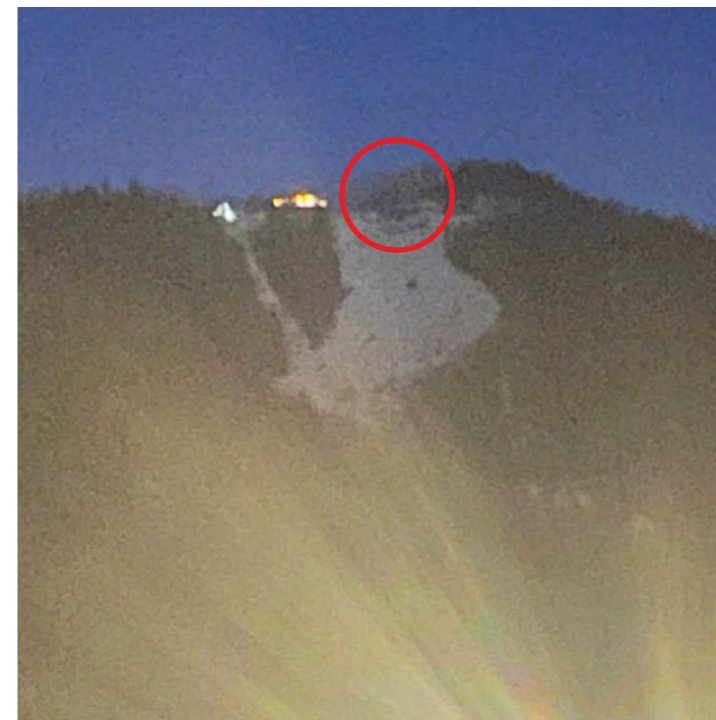
VIEW A - EIDER CREEK



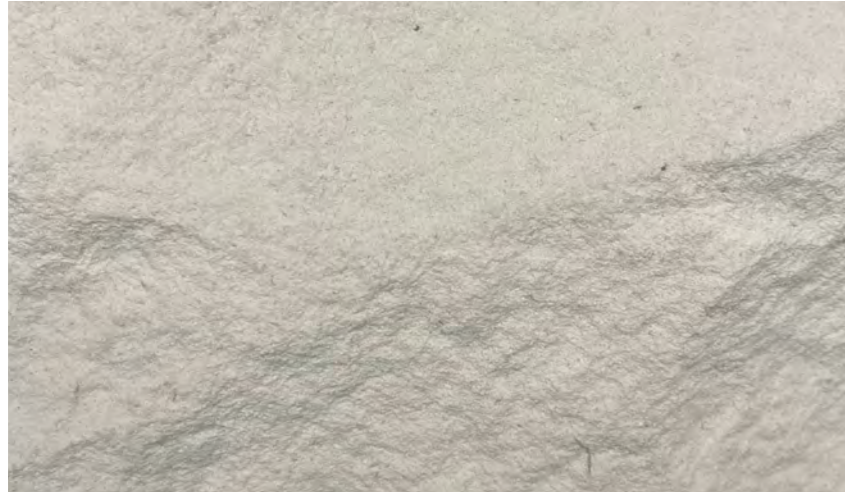
VIEW B - SHELL STATION



VIEW C - CLARK'S MARKET



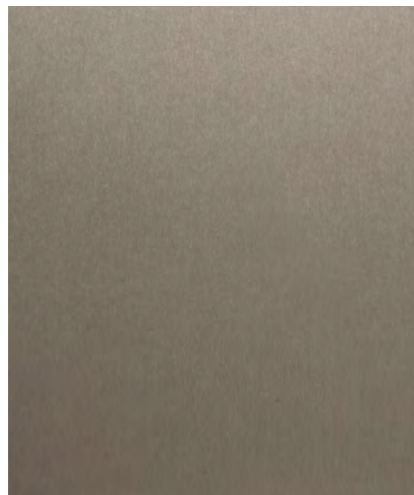
VIEW D - TOWN PARK



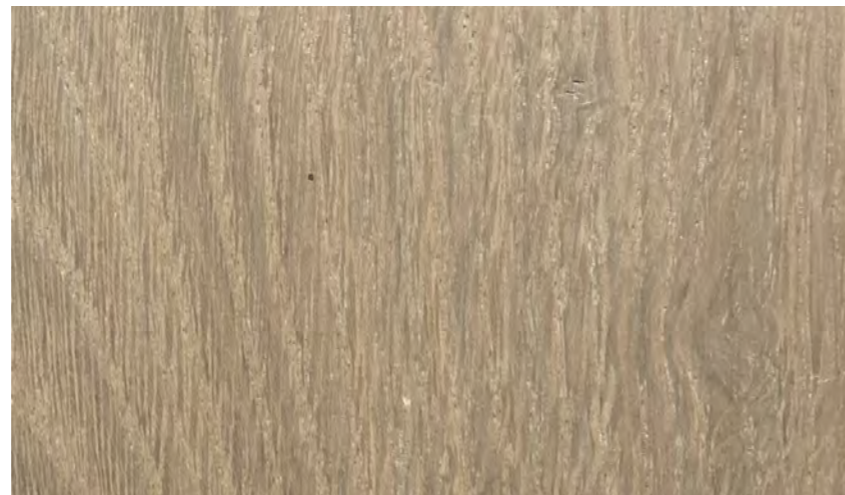
ARCHITECTURAL STONE



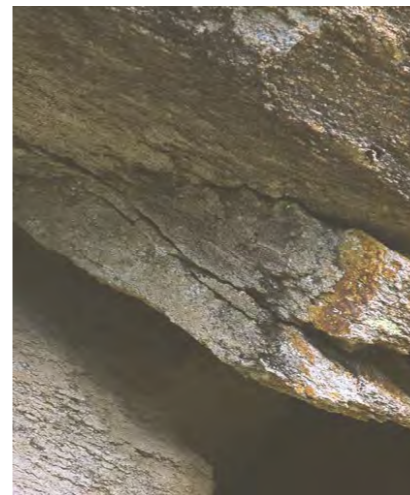
LANDSCAPE STONE



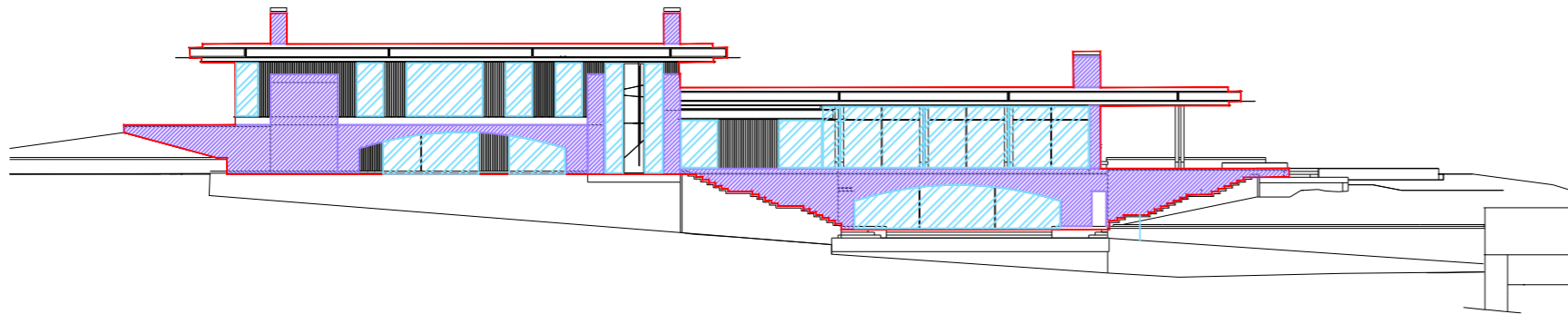
METAL FASCIA + SIDING



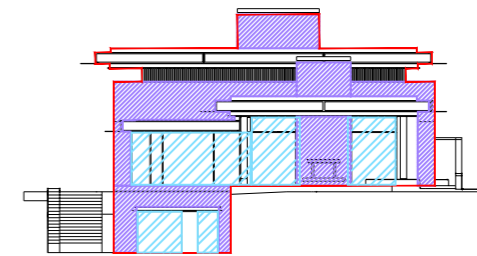
CEDAR SIDING + SOFFIT



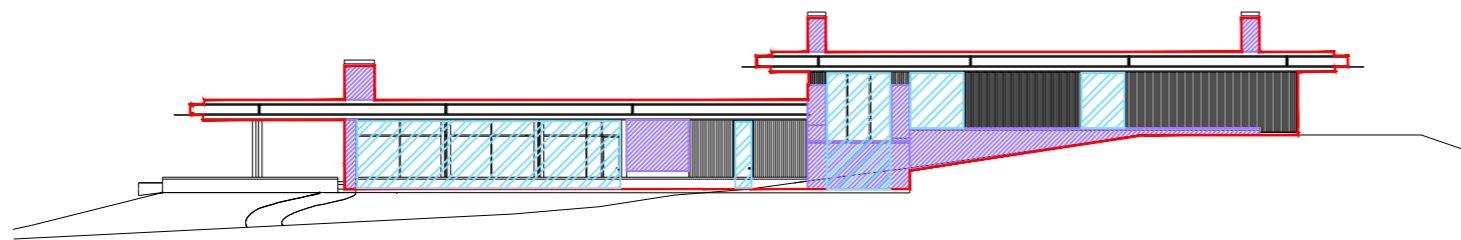




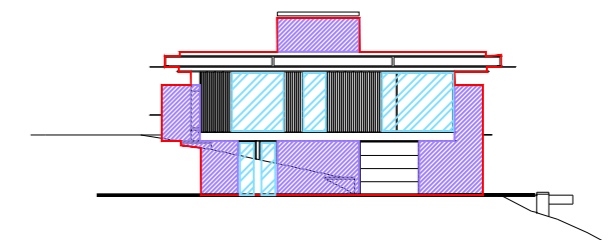
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

Proposed Glazing and Stone %					
	Façade Surface Area	Glazing Surface Area	%	Stone Surface Area	%
North Elevation	1,277.9 sf	273.8 sf	21%	457.20 sf	36%
East Elevation	2,739.4 sf	867.5 sf	32%	548.90 sf	20%
South Elevation	1,497.4 sf	407.8 sf	27%	592.80 sf	40%
West Elevation	4,255.7 sf	1,560.5 sf	37%	1,305.00 sf	31%
Additional (Inside Faces)	900.8 sf			900.80 sf	100%
<b>Total Proposed</b>	<b>10,671.2 sf</b>	<b>3,109.6 sf</b>	<b>29%</b>	<b>3,804.70 sf</b>	<b>36%</b>
		<b>Max Permitted:</b>	<b>40%</b>	<b>Min Required:</b>	<b>35%</b>



---

Exterior View - NW Corner





---

Exterior View - East Side



---

Exterior View - East Side



View from Patio



View from Patio



Exterior View - SW Corner



OPENSACE  
ARCHITECTURE

COONSKIN RIDGE LANE RESIDENCE

SCHEMATIC TREE AND PLANTING PALETTE

JANUARY 16, 2024

**PAUL SANGHA** CREATIVE

## 01 TREES

---





AMELANCHIER ALNIFOLIA\*



SERVICEBERRY



MALUS 'SPRING SNOW' \*



PINUS EDULIS



COLORADO PINYON PINE



PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'



LIMBER PINE



CRAB APPLE 'SPRING SNOW'



POPULUS TREMULOIDES  
SINGLE STEMMED



QUAKING ASPEN  
MULTISTEMMED

\* FIREWISE PLANT

## **02** DECIDUOUS SHRUBS

---



ACER GLABRUM\*

ROCKY MOUNTAIN MAPLE



JAMESIA AMERICANA\*

WAXFLOWER



ALNUS TENUIFOLIA\*

ROCKY MOUNTAIN ELDER



CORNUS STOLONIFERA COLORADENSE\*

COLORADO DOGWOOD



KALMIA POLIFOLIA

BOG KALMIA

\* FIREWISE PLANT



LONICERA INVOLUCRATA

TWINFLOWER HONEYSUCKLE



PHYSOCARPUS MONOGYNUS\*

SCRUBBY NINEBARK



POTENTILLA FRUTICOSA\*

SHRUBBY CINQUEFOIL



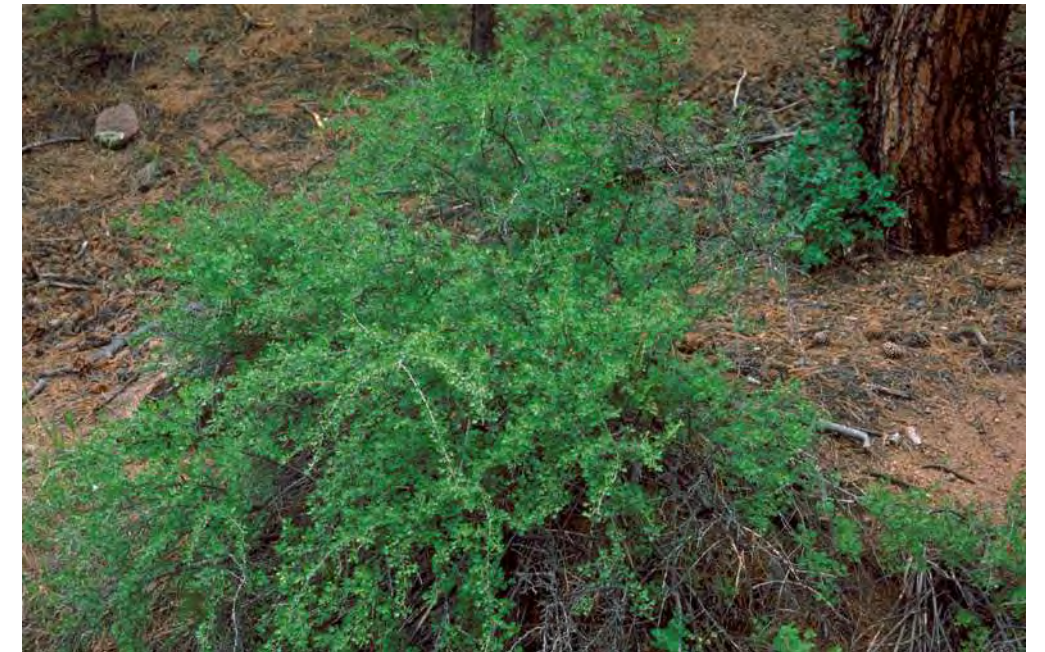
PRUNUS VIRGINIANA MELANOCARPA\*

NATIVE CHOKECHERRY



QUERCUS GAMEBILII

SCRUB OAK



RIBES CEREUM

WAX CURRANT



RIBES INERME GOOSEBERRY



ROSA WOODSII\* WOODS ROSE



RUBUS DELICIOSUS BOULDER RASPBERRY



SALIX PURPUREA PURPLE OSIER



SAMBUCUS RACEMOSA NATIVE RED-BERRIED ELDER



SYMPHORICARPUS OREOPHILUS MOUNTAIN SNOWBERRY

\* FIREWISE PLANT

## **03** EVERGREEN SHRUBS

---



ARCTOSTAPHYLOS X COLORADENSIS 'CHIEFTAIN' CHIEFTAN MANZANITA



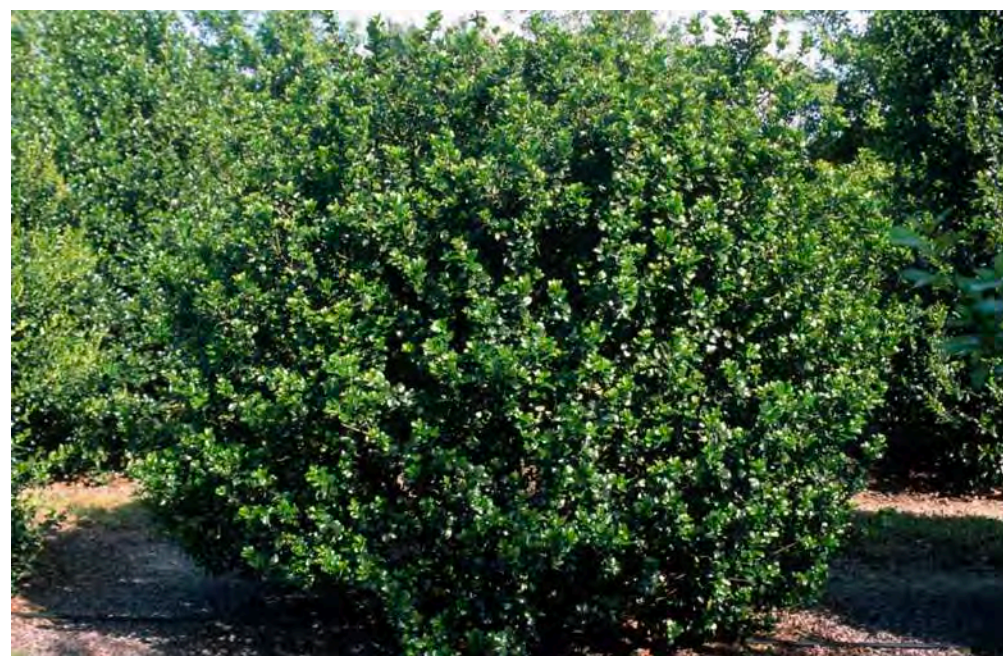
ARCTOSTAPHYLOS X COLORADENSIS PANCHITO MANZANITA



BUXUS MICROPHYLLA 'WINTERGREEN' WINTERGREEN BOXWOOD



EUONYMUS FORTUNEI 'GREEN LANE' GREEN LANE EUONYMUS



ILEX X MESERVEAE 'BLUE BOY' BLUE BOY MESERVE HOLLY



JUNIPERUS COMMUNIS 'ALPINE CARPET' ALPINE CARPET JUNIPER



JUNIPERUS COMMUNIS

COMMON JUNIPER



JUNIPERUS SABINA 'ARCADIA'

ARCADIA JUNIPER



MAHONIA AQUIFOLIUM 'COMPACTA' \*

COMPACT OREGON GRAPE



PINUS MUGO VAR. PUMILIO

DWARF MOUNTAIN PINE



PINUS STROBUS BLUE SHAG

EASTERN WHITE PINE



TAXUS X MEDIA 'DENSIFORMUS'

ANGLO-JAPANESE YEW



**04 PERENNIALS AND FORBES**

---



**ACHILLEA LANULOSA\***  
YARROW



**ACONITUM COLUMBIANUM\* +**  
MONKSHOOD



**ANTENNARIA ROSEA\***  
PUSSYTOES



**AQUILEGIA ELEGANTULA\***  
WESTERN ED COLUMBINE



**CALOCHORTUS GUNNISONII\***  
MARIPOSA LILY



**CAMPANULA ROTUNDIFOLIA\***  
HAREBELLS



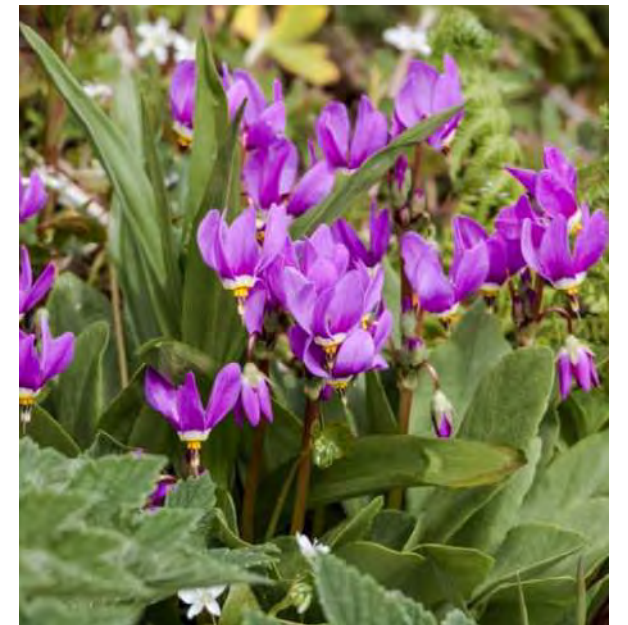
**CASTILLEJA LINARIAEFOLIA**  
INDIAN PAINTBRUSH



**CASTILLEJA OCCIDENTALIS**  
YELLOW PAINTBRUSH



**CASTILLEJA RHEXIFOLIA**  
ROSY PAINTBRUSH



**DODECATHEON PULCHELLUM**  
SHOOTING STAR

\* FIREWISE PLANT



**ERIGONUM FLAVUM**  
SULPHUR FLOWER



**GAILLARDIA ARISTATA\***  
INDIAN BLANKET



**GERANIUM RICHARDSONII\***  
WHITE GERANIUM



**GEUM TRIFLORUM\***  
AVENS



**IPOMOPSIS AGGREGATA\***  
SCARLET GILLA



**LINNEA BOREALIS**  
TWINFLOWER



**MAHONIA REPENS\***  
CREEPING HOLLY



**PEDICULARIS GROENLANDICA**  
LITTLE RED ELEPHANT



**PENSTEMON STRICTUS**  
ROCKY MOUNTAIN PENSTEMON



**PHACELIA SERICEA**  
PINCUSHION

\* FIREWISE PLANT



POLEMONIUM DELICATUM\*  
JACOB'S LADDER



POLEMONIUM VISCOSUM\*  
SKY PILOT



PRIMULA ANGUSTIFOLIA  
FAIRY PRIMROSE



PULSATILLA PATENS  
PASQUE FLOWER



RANUNCULUS ADONEUS  
SNOW BUTTERCUP



SEDUM INTEGRIFOLIUM\*  
KING'S CROWN



SEDUM RHODANTHUM\*  
QUEEN'S CROWN



SYMPHORICARPUS ROTUNDFOLIUS  
ROUNDLEAF SNOWBERRY



THERMOPSIS DIVARICARPA\*  
GOLDEN BANNER

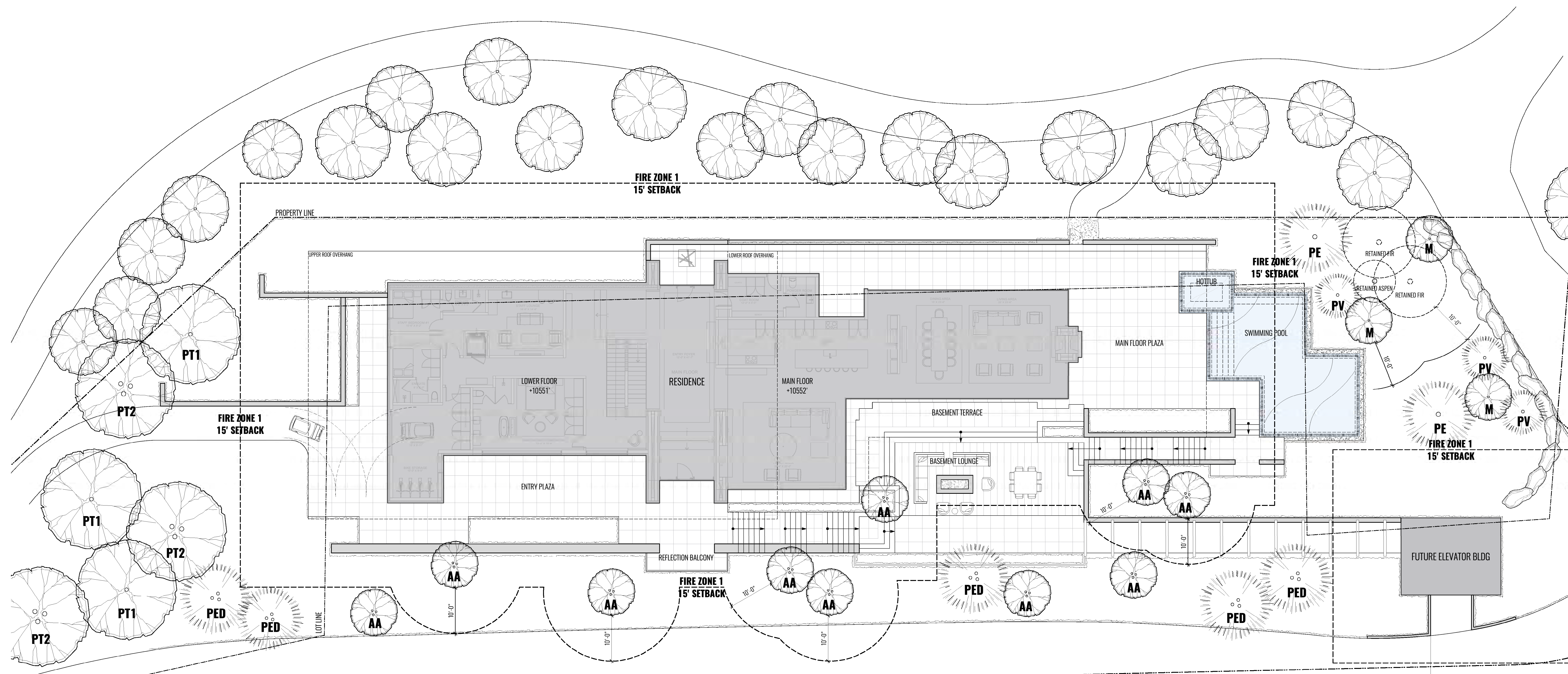


TROLLIUS LAXUS  
GLOBEFLOWER

\* FIREWISE PLANT

T H A N K   Y O U

**PAUL SANGHA** CREATIVE



ISSUE DATE	ISSUED FOR/REVISIONS
24.01.16	ISSUED FOR PERMIT

DATE	PROJECT STATUS
	CONCEPTUAL MASTER PLAN (UP DEVELOPMENT PERMIT)
	BU (BUILDING PERMIT) TENDER
	CONSTRUCTION

DRAWING NOT ISSUED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.

COPY RIGHT RESERVED THIS PLAN AND DESIGN ARE AND IN ALL THINGS REMAIN THE EXCLUSIVE PROPERTY OF THE LANDSCAPE ARCHITECTS AND CONSULTANTS. ANY REPRODUCTION OR DISTRIBUTION OF THIS PLAN WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECTS AND CONSULTANTS IS STRICTLY PROHIBITED. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND SERVICES TO THE SITE AND THIS OFFICE SHALL BE RESPONSIBLE FOR ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS.

PAUL SANGHA CREATIVE

PRIVATE RESIDENCE  
 UNIT 1, COONSKIN RIDGE LANE  
 MOUNTAIN VILLAGE, COLORADO

TREE AND PLANTING PLAN  
 MAIN FLOOR LEVEL

START DATE: 2024 JAN 16  
 BODY: 22'-34"  
 SCALE: 1/8" = 1'-0"  
 DRAWN BY: DR/PS  
 CHECKED BY: DR/PS

LC-1.02

105 EAST 4TH AVE, DENVER, CO 80202 TEL: 646.756.2225 INFO@PAULSANGHA.COM

ID	QUANTITY	LATIN NAME	COMMON NAME	SCHEDULED SIZE
AA	10	Amelanchier alnifolia	Serviceberry	8'-10' Tall, Multistem B-B
M	3	Malus 'Spring Snow'	Crab apple 'Spring Snow'	5' std, 10'-12' Tall, B-B
PE	2	Picea engelmannii	Engelmann spruce	16'-18' Tall, B-B
PED	5	Pinus edulis	Colorado pinyon pine	8' Tall, B-B
PT1	3	Populus tremuloides	Quaking aspen - single stemmed	5' Std, 12'-14' Tall, B-B
PT2	3	Populus tremuloides	Quaking aspen - multistemmed	12'-14' Tall, B-B
PV	3	Pinus flexilis 'Vanderwolf's Pyramid'	Lambert pine	12'-14' Tall, B-B

**SHRUBS (TO BE SELECTED FROM THE FOLLOWING LIST)**

LATIN NAME	COMMON NAME
Acer glabrum	Rocky mountain maple
Alnus tenuifolia	Rocky mountain elder
Arctostaphylos x coloradensis 'Chieftain'	Chieftan manzanita
Arctostaphylos x coloradensis	Panchoita manzanita
Buxus microphylla 'Wintergreen'	Wintergreen boxwood
Cornus stolonifera coloradense	Colorado dogwood
Euonymus alatus 'Green Lane'	Green lane euonymus
Ilex x meserveae 'Blue Boy'	Blue boy meserve holly
Jamnesia americana	Wardflower
Juniperus communis 'alpine carpet'	Alpine carpet juniper
Juniperus communis	Common juniper
Juniperus sabina	Arceuthobium juniper
Kalmia latifolia	Bog Kalmia

LATIN NAME	COMMON NAME
Lonicera involucrata	Twainflower honeysuckle
Mahonia aquifolium	Compact oregon grape
Physocarpus monogynus	Scrubby ninebark
Pinus mugo parvifolia	Dwarf mountain pine
Pinus strobus 'Blue Alab'	Eastern white pine
Prinosella frutescens	Shrubby cinquefoil
Prunus virginiana melanocarpa	Native chokecherry
Quercus gambelii	Scrub oak
Ribes cereum	Wax currant
Ribes luteum	Gooseberry
Rosa woodii	Woods rose
Rubus delavayi	Builder raspberry
Salix purpurea	Purple osier
Sambucus racemosa	Native red-berried elder
Symphoricarpos oreophyllus	Mountain snowberry
Taxus x media 'densiformis'	Anglo-japanese yew

LATIN NAME	COMMON NAME
Achillea lanulosa	Yarrow
Aconitum columbianum	Monkshood
Antennaria rosea	Pussytoes
Aquilegia elegantula	Western ed columbine
Calochortus zumbinoi	Mariposa lily
Campanula rotundifolia	Harebells
Castilleja linearifolia	Indian paintbrush
Castilleja occidentalis	Yellow paintbrush
Castilleja rheophylla	Rosy paintbrush
Erigeron flavum	Shooting star
Gaillardia aristata	Indian blanket
Geranium richardsonii	Mountain snowberry
Geum triflorum	Avene

**PERENNIALS AND FORBS (TO BE SELECTED FROM THE FOLLOWING LIST)**

LATIN NAME	COMMON NAME
Ipomopsis aggregata	Scarlet gilia
Limonium boreale	Twainflower
Mahonia repens	Creeping holly
Podocarpus gnaphalodes	Little red dogwood
Phacelia stricta	Rocky mountain penstemon
Phacelia serotina	Pincushion
Polemonium delicatum	Jacob's ladder
Polemonium viscosum	Sky pilot
Primula angustifolia	Fairy primrose
Prunella patens	Phacelia flower
Ranunculus abortivus	Snow buttercup
Sedum integrifolium	King's crown
Sedum tetradymium	Queen's crown
Symphoricarpos rotundifolius	Roundleaf snowberry
Thermopsis divaricarpa	Golden banner
Trifolium laxus	Globeflower