

**TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING AGENDA
THURSDAY MAY 2, 2024, 10:00 AM
MOUNTAIN VILLAGE TOWN HALL
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO
TO BE HELD HYBRID THROUGH ZOOM:
<https://us06web.zoom.us/j/89545752025>
Meeting ID: 895 4575 2025**

Zoom participation in public meetings is being offered as a courtesy, however technical difficulties can happen, and the Town bears no responsibility for issues that could prevent individuals from participating remotely. Physical presence in Council chambers is recommended for those wishing to make public comments or participate in public hearings.

Agenda Item	Time	Min.	Presenter	Type	Item Description
1.	10:00	0	Chair	Chair	Call to Order
2.	10:00	2	Perez	Action	Reading and Approval of Summary of Motions of the April 4, 2024, Design Review Board Meeting.
3.	10:04	5	Schooley	Quasi-Judicial	Swearing In of Reappointed Members for the Mountain Village Design Review Board a. Four Regular Seats b. One Alternate Seat
4.	10:09	2	Perez/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for Lot 344R, TBD Rocky Rd, pursuant to CDC Section 17.4.11. <i>Staff requests that this item be continued to the September 5, 2024, Design Review Board Meeting at the request of the applicant.</i>
5.	10:11	45	Perez/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for Lot 205A, 112 Stevens Dr, pursuant to CDC Section 17.4.11.
6.	10:56	15	Nelson/ Applicant	Quasi-Judicial	Review and Recommendation to Town Council regarding a height variance for Lot 166AR2-10, TBD Stonegate Dr, pursuant to CDC Section 17.4.16. <i>This item was continued from the March 7, 2024, Design Review Board Meeting.</i>
7.	11:11	30	Nelson/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for Lot 166AR2-10, TBD Stonegate Dr, pursuant to CDC Section 17.4.11. <i>This item was continued from the March 7, 2024, Design Review Board Meeting.</i>
8.	11:41	30	Nelson	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a bus stop at Village Court Apartments, Lot 1001, 415 Mountain Village Blvd, pursuant to CDC Section 17.4.11.

9.	12:11	15		Lunch	
10.	12:26	30	Ward	Quasi-Judicial	Review and Recommendation to Town Council regarding a CDC Amendment to CDC section 17.6.1 Fire Mitigation and Forestry Management, pursuant to CDC Section 17.1.7
11.	12:56		Chair	Adjourn	

**DESIGN REVIEW BOARD MINUTES
TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING
APRIL 4, 2024, 10:00 AM**

Call to Order

Chair **Brown** called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:32 a.m. on April 4, 2024.

Attendance

The following Board members were present and acting:

Banks Brown

David Eckman (Alternate, did not vote on Items 1-5, voted on Items 7-10 once Bennett left)

Ellen Kramer

Greer Garner

Liz Caton

Adam Miller

Scott Bennett (Bennett left after Item 5, and was not present for remainder of meeting)

Jim Austin

The following Board members were absent:

David Craige

Town Staff in attendance:

Claire Perez – Planner II (via zoom)

Amy Ward – Community Development Director

Jason Habib – Planning Technician

Drew Nelson – Senior Planner

JD Wise – Economic Development and Sustainability Director

Molly Norton – Community Engagement Coordinator

Public Attendance:

Mark Borland

Peter Jay

Public Attendance via Zoom:

Kristine Perpar

Amy Alvarez

Scott Beans

Rudi Mattheis Brown

Eduardo Mahfuz

Item 2. Reading and Approval of Summary of Motions March 7, 2024, Design Review Board

Meeting minutes

On a **MOTION** by **Bennett** and seconded by **Miller** the DRB voted **unanimously** to approve the summary of motions of the March 7, 2024, 10:00 a.m. Design Review Board meeting minutes, and the March 7, 2024, 12:00 p.m. Design Review Board meeting minutes.

Item 3. Consideration of a Design Review: Final Architecture Review for Lot 165 Unit 3, TBD Cortina Dr, pursuant to CDC Section 17.4.11

Claire Perez: Presented as Staff

Kris Perpar and Amy Alvarez: Presented as Applicant

Public Comment: None

On a **MOTION** by **Caton** and seconded by **Miller**, the DRB voted unanimously to approve the Final Architecture Review for a new single-family detached condominium located at Lot 165 Unit 3, TBD Cortina Drive, based on the evidence provided within the Staff Report of record dated March 19, 2024, and the findings of this meeting, with the following specific approvals and design variations:

DRB Specific Approvals:

- 1) Setback Encroachment- Front Staircases
- 2) Material: Metal Fascia

Design Variation:

- 1) Driveway Grade

And, with the **following conditions:**

- 1) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum and average building height.*
- 2) *The applicant shall work with public works and utility providers to finalize the utilities plan as a condition of approval prior to building permit.*
- 3) *The applicant shall work with public works to coordinate construction parking.*
- 4) *Prior to building the permit the applicant will enter into a development agreement with the town to assure that the temporary construction access is removed, restored to preexisting grade, and landscaped per the approved landscape plan.*
- 5) *The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.*
- 6) *A Knox Box for emergency access is recommended.*
- 7) *Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted and deemed complete 2023.*
- 8) *Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified*

in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) – Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.

9) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials

10) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Item 4. Consideration of a Design Review: Final Architecture Review for Lot 1 Unit 1, TBD Eagle Drive, pursuant to CDC Section 17.4.11

Claire Perez: Presented as Staff

Kris Perpar: Presented as Applicant

Public Comment: None

On a **MOTION** by **Miller** and seconded by **Bennett** the DRB voted **unanimously** to approve the Final Architecture Review for a new single-family detached condominium located at Lot 1 Unit 1, TBD Eagle Drive, based on the evidence provided in the staff memo of record dated March 18, 2024, and the findings of this meeting, with the following specific approvals and design variations:

DRB Specific Approval:

- 1) Materials - Metal Fascia

Design Variation:

- 1) Address Plaque

And, with the **following conditions:**

- 1) Prior to the issuance of a building permit, the applicant shall field verify all utility

locations.

2) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

3) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.

4) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

5) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials

6) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

7) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted in 2023.

8) A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.

9) An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.

10) Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.

11) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.

12) Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.

Item 5. Consideration of a Design Review: Initial Architecture and Site Review for Lot 166AR2-

1, TBD Stonegate Dr, pursuant to CDC Section 17.4.11

Drew Nelson: Presented as Staff

Scott Beans and Mark Borland: Presented as Applicant

Public Comment: None

On a **MOTION** by **Miller** and seconded by **Austin** the DRB voted **unanimously** to approve the Initial Architecture and Site Review for a new single-family home located at Lot 166AR2-1, TBD Stonegate Drive, based on the evidence provided in the staff memo of record dated March 26, 2024, and the findings of the meeting, with the following design variation:

Design Variation:

1. Flat roofs

And, with the **following conditions:**

- 1) *Prior to final review, the applicant shall provide an updated landscape and fire mitigation plan showing compliance with the Fire Mitigation standards and the Town Forester's comments.*
- 2) *Prior to final review, the applicant shall provide additional information about all fireplaces proposed for the site, including fuel sources.*
- 3) *Prior to final review, the applicant shall provide additional details for exterior materials proposed for the structure, including soffit/fascia materials, to determine whether a Specific Approval is required.*
- 4) *Prior to final review, the applicant shall provide additional color details for roofing materials, window frames, garage doors, all exterior doors, and all other materials necessary to meet CDC guidelines.*
- 5) *Prior to final review, the applicant shall provide additional information indicating trash and recycling locations on the site.*
- 6) *Prior to final review, the applicant shall provide a revised construction mitigation plan reflecting the comments made by the Building Department regarding construction parking, soil nailing, crane location, blasting, and any additional encroachments anticipated with the project.*
- 7) *Prior to final review, the applicant shall amend the lighting plan to remove any protruding wall sconces on any upper level decks in conformance with Section 17.5.12.F.6.b. of the CDC.*
- 8) *A monumented land survey will need to be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height as well as accurately depict footer and foundation locations adjacent to the general easement. A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy.*
- 9) *The applicant shall work with Public Works and utility providers to finalize the utilities plan as a condition of approval prior to building permit.*
- 10) *The structure shall be in accordance with the 2018 IFC, TFPD Amended Fire Code, and NFPA Standards for a Group R-3 occupancy.*
- 11) *A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.*
- 12) *An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.*
- 13) *Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.*
- 14) *Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.*
- 15) *Electric vehicle charging stations/outlets shall be installed in accordance with the*

TFPD Amended Fire Code and NFPA 70.

16) A Knox box is recommended at the main entrance on the address side for emergency access.

17) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 75% since the application was submitted and deemed complete in 2024.

18) Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) – Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.

19) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
- b. Wood that is stained in the approved color(s);*
- c. Any approved metal exterior material;*
- d. Roofing material(s); and*
- e. Any other approved exterior materials*

20) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Item 6. Lunch

DRB member Bennett left the meeting. DRB alternate member Eckman voted in the remaining items.

Item 7. Review and Recommendation to Town Council regarding a Major PUD Amendment to Lot 38-50-51RR, 568 Mountain Village Blvd, pursuant to CDC Section 17.4.12

JD Wise, Molly Norton, Drew Nelson: Presented as Staff

Public Comment: None

On a **MOTION** by **Garner** and seconded by **Austin** the DRB voted **unanimously** to recommend approval of an Ordinance amending a Planned Unit Development Lease and Management Agreement and the Development and Conveyance Agreement, for Lot 38-50-51RR and Lot OS-1A-MVB, based on the evidence provided in the staff memo of record dated March 21, 2024, and the findings of this meeting.

Item 8. Review and Recommendation to Town Council regarding proposed CDC building code amendments, pursuant to CDC Section 17.1.7

Amy Ward and Lars Forsythe: Presented as Staff

Public Comment: None

On a **MOTION** by **Caton** and seconded by **Kramer** the DRB voted **unanimously** to recommend approval to Town Council of an Ordinance Amending the building code regarding the 2021 IPC, IFGC, IECC, and MERS and proposed CDC building code amendments, based on the evidence provided in the staff memo of record dated March 28, 2024, and the findings of this meeting.

Item 9. Review and Recommendation to Town Council regarding a CDC Amendment to Open Space Map Reference, pursuant to CDC Section 17.3.10

Amy Ward: Presented as Staff

Public Comment: None

On a **MOTION** by **Miller** and seconded by **Caton** the DRB voted **unanimously** to recommend approval to Town Council of an Ordinance Amending Section 17.3.10 of the Community Development Code regarding reference to the Open Space Map, based on the evidence provided in the staff memo of record dated March 25, 2024, and the findings of this meeting.

Item 10. Adjourn

On a **MOTION** by **Miller** the DRB voted **unanimously** to adjourn the April 4, 2024, Design Review Board Meeting at 12:33pm

Prepared and submitted by,

Jason Habib, Planning Technician
Claire Perez, Planner II



Agenda Item 4
**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

TO: Mountain Village Design Review Board
FROM: Claire Perez, Planner II
FOR: Design Review Board Meeting; May 2, 2024
DATE: April 24, 2024
RE: Consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 344R, TBD Rocky Road, pursuant to CDC Section 17.4.11.

BACKGROUND: Staff is requesting a continuation of the Final Architecture Review to the September 5, 2024, Regular DRB Meeting. The memo is being provided not to open the public hearing but solely for the purpose of the DRB providing a motion to continue to the Regular September 5, 2024, meeting date.

DRB also has the ability to table the item, which would require the applicant to re-notice the project at a time in the future.

RECOMMENDED MOTION: I move to continue, the consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 344R, TBD Rocky Road, pursuant to CDC Section 17.4.11.to the Regular Design Review Board Meeting on September 5, 2024.

/cp



**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

Agenda Item 5

TO: Mountain Village Design Review Board
FROM: Claire Perez, Planner II
FOR: Design Review Board Meeting; May 2, 2024
DATE: April 22, 2024
RE: Staff Memo – Initial Architecture and Site Review (IASR) Lot 205A, 112 Stevens Drive.

APPLICATION OVERVIEW: Initial Architecture and Site Review (IASR): Lot 205A

PROJECT GEOGRAPHY

Legal Description: LOT 205A TOWN OF MTN VILLAGE FILING 6 PHASE 2 TOTAL AC .508
PLAT 1 PG 708 THRU 711

Address: 112 Stevens Drive
Applicant/Agent: Lea Sisson Architect LLC
Owner: Single Track Aspirations LLC
Zoning: Single-Family
Existing Use: Single-Family
Lot Size: .508 Acres, 22,134 Sq. Ft.
Proposed Use: Single-Family Home

Adjacent Land Uses:

- **North:** Single-Family
- **South:** Single-Family
- **East:** Single-Family
- **West:** Active Open Space

ATTACHMENTS

Exhibit A: Architectural Plan Set
Exhibit B: Staff/ Public Comment



Figure 1: Vicinity Map

Case Summary:

Lea Sisson of Lea Sisson Architect is requesting Design Review Board (DRB) approval of an Initial Architectural Review (IASR) application for an addition to an existing single-family home located on lot 205A, 112 Stevens Drive. The application is processed as a class 3 application due to the significant nature of the remodel, and because it significantly alters the massing of the home.

The lot is approximately 0.508 Acres. The lot is zoned for Single-Family. The existing home on the lot is 6,734 gross sq. ft. The proposed addition is 3,328 gross sq. ft. The lot is located on Stevens Drive and borders the Galloping Goose Ski Run.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. **Please note that Staff comments will be indicated by *italicized Text*.**

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	40' (gable) Maximum	24'-4"*
Avg. Building Height	35' (gable) Maximum	19'-0"*
Maximum Lot Coverage	40% (8,853 SF)	35% (7,888 SF)
General Easement Setbacks	No Encroachment	No Encroachment
Roof Pitch		
Primary	n/a	4:12
Exterior Material		
Stone Veneer	35%	36%
Wood	n/a	31%
Windows/ Door Glazing	40% maximum	30%
Parking	2interior/2exterior*	3 interior/ 6 exterior

*Height calculations provided are limited to the addition.

DRB Specific Approvals:

- 1) Tandem parking

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.13 Maximum Lot Coverage

Staff: The maximum lot coverage for single-family homes with lots under one acre is 40 percent. On this site, the maximum allowable site coverage is 8,853 Square Feet. The existing house including the addition covers 7,888 SF, or 35 percent of the site. Criteria met.

17.3.11 and 17.3.12: Building Height and Building Height Limits

Staff: Staff has determined that the primary roof form for the addition is gable roof form. The addition has a maximum building height of 24'-4" and an average height of 19'. Staff has determined that the requirement for maximum and average building height calculations for the entirety of the home are not necessary since the proposed addition does not exceed the height of the existing structure on the site. The height of the existing home was approved within the current height requirements. Staff finds that all height requirements per the CDC are being met.

17.3.14: General Easement Setbacks

Lot 205A has a sixteen foot (16') General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The lot has an encroachment agreement in place with the Town for existing encroachments shown on the Improvement Survey. The proposal does not include any new encroachments.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. The Town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed addition reflects the design goals outlined in 17.5.4 of the CDC. The proposed materials include steel, stone and barnwood. These materials can withstand the high alpine environment. Overall, it appears that the proposed materials and design would fit within the existing Mounting Village Design Theme.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

Staff: The existing home is sited in the western portion of the lot. The siting of the addition is in the southern portion of the lot. The positioning of the addition ties into the existing home while adhering to the site constraints. The proposed siting minimizes impacts to the lot. Moreover, the proposal blends in with the existing home and landforms of the site.

17.5.6: Building Design

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climatic conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. Roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation is required. The code permits rusted, black or gray standing seam roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

Staff: The CDC requires that building form and exterior walls portray a mass that is thick and strong with a heavy grounded foundation. The proposed materials include stone, barnwood, steel, and timber accents. The material will match existing materials on the main home. The design utilizes heavy masonry to ground the home. This also allows the addition to blend in with the main house. The design proposes minimal changes to the main house. The structure of the home follows a traditional alpine mountain design that is well grounded to withstand the extreme forces of wind, snow, and heavy rain.

The applicant has not included a complete window and door schedule. A complete window and door schedule should be provided prior to final architecture review. The roof material is black standing seam metal. The roofing material on the existing home will be replaced to match the addition. Moreover, the fascia is barnwood with metal flashing. The windows are proposed as aluminum clad wood to match the existing windows.

17.5.7: Grading and Drainage Design

Staff: There is minimal grading proposed near the addition. Existing boulder walls will be removed for development. The applicant should demonstrate the portions of the boulder walls that will remain prior to Final Review. Staff does not see any issues with this grading plan.

17.5.8: Parking Regulations

Staff: The CDC requires all single-family developments to provide two interior and two exterior parking spaces. The existing home has 2 interior parking spaces and 3 tandem parking spaces in the motor court. The applicant has proposed one interior space within the additional garage. The interior dimensions of the parking space are shown at 9'x23'. 3 additional exterior parking spaces are proposed in the motor court. Two of the spaces proposed encroach into the General Easement. Moreover, the parking spaces are proposed as tandem in front of the existing tandem parking spaces. Staff recommends that the applicant revise the parking plan so that these spaces are not proposed as tandem, and so they do not encroach into the GE. The parking spaces as shown would require a specific approval from the DRB. Tandem parking may be granted on lots less than 0.75 acres where non tandem parking is not feasible due to unique site conditions such as steep slopes. The applicant should demonstrate the dimensions of the exterior parking spaces and whether the proposed exterior spaces are feasible given the distance required to back out from both garages.

17.5.9: Landscape Regulations

Staff: A conceptual landscape plan was provided on Sheet A1.1. The plan notes that the garden area near the entry of the main house will be preserved. The plan does not indicate any new plantings. It should be noted that a full landscape plan is not required until Final Review.

17.5.11 Utilities

Staff: A utility plan was not provided. The addition will likely tie into the existing utility lines. The applicant should clarify this prior to any Final Architecture Review.

17.5.12: Lighting Regulations

Staff: The applicant has proposed utilizing step lights for the addition. The locations of the step lights are shown on the floor plans and elevations. Four step lights are proposed on the upper deck, and two fixtures are proposed at the garage. The fixture proposed is dark sky and CDC compliant. A lighting plan, photometric study, and full page cut sheets shall be provided prior to final review.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1 Environmental Regulations

Staff: A fire mitigation plan has not been provided. Fire Mitigation Plans are not required until Final Review.

17.6.6 Roads and Driveway Standards

Staff: The application does not contain any revisions to the existing driveway. The development will require the removal of portions of the pavers and existing boulder wall. The applicant should demonstrate the portions of the boulder wall that will remain prior to Final Architecture Review.

17.6.8 Solid Fuel Burning Device Regulations

Staff: The applicant has not identified any new fireplaces in the addition.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The construction mitigation plan includes the required dumpster and material staging. A bear proof food waste container is not shown. Two parking spaces are shown in the garage and motor court. A construction fence is noted to surround the existing home and addition. A construction trailer is shown next to the dumpster. No stormwater management devices such as silt fencing or waddles are shown but should be included in any future Final Architecture Review.

Staff Recommendation: Staff Recommends the DRB approve the initial Architecture Review and Site Review for Lot 205A, 112 Stevens Drive, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion:

I move to approve the Initial Architectural and Site Review for an addition located at Lot 205A, 112 Stevens Drive, based on the evidence provided within the Staff Report of record dated April 22, 2024, with the following DRB specific approval:

DRB specific Approvals:

- 1) *Tandem parking*

And, with the following conditions:

- 1) *Prior to Final Review, the applicant shall provide a complete window and door schedule that complies with the CDC requirements.*
- 2) *Prior to Final Review, the applicant shall provide an updated construction mitigation plan to show stormwater management devices.*
- 3) *Prior to Final Review, the applicant shall provide an updated site plan and grading plan to provide additional information on new or modified retaining walls on the site.*
- 4) *Prior to Final Review, the applicant shall provide an updated lighting plan to show site photometrics with full cut sheets for any new lighting on the site.*
- 5) *Prior to Final Review, the applicant shall provide an updated site plan to verify backing space for tandem parking spaces outside of garages.*
- 6) *Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
- 7) *The structure shall require a monitored fire alarm system.*
- 8) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*

- a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
 - b. *Wood that is stained in the approved color(s);*
 - c. *Any approved metal exterior material;*
 - d. *Roofing material(s); and*
 - e. *Any other approved exterior materials*
- 9) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*
- 10) *The development shall meet the following conditions of the Fire Marshall:*
- a. *The addition shall be in accordance with the 2018 IFC, TFPD Amended Fire Code, and NFPA Standards for a Group R-3 occupancy.*
 - b. *A monitored automatic sprinkler system shall be installed in the addition in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.*
 - c. *An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.*
 - d. *Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.*
 - e. *Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.*
 - f. *Electric vehicle charging stations/outlets shall be installed in accordance with the TFPD Amended Fire Code and NFPA 70.*
 - g. *A Knox box is recommended at the main entrance on the address side for emergency access.*
- 11) *Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 75% since the application was submitted and deemed complete in 2024.*
- 12) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.*
- 13) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*

Narrative
for LOT 205A ,
Mountain Village
3.8.2024

Town of Mountain Village Planning Board and Staff;

The new owners of Lot 205A are wishing to add an addition, and create larger areas within the existing house, to accommodate their large group of friends and family with whom they travel to Telluride together. Although the house is almost 20 years old, it has been well kept and still feels timeless. They wish to keep the exterior look and material palate on the new addition, while simplifying the roof form to be more snow friendly. The material and heights are still within the regulations. We have been to a Pre-AP meeting where we determined this will be a Class 3 application. We are submitting for the May 7th meeting, for Sketch review.

A dropbox file link has been sent to you with this letter the drawing set and the 3D sketchup model.

Thank you everyone for your time.

Regards,



Lea Sisson, Registered Architect



LOT 205A
117 STEVENS DRIVE,
MOUNTAIN VILLAGE, COLORADO.

ARCHITECTS:

LEA SISSON, ARCHITECT LLC.
 CONTACT: LEA SISSON, PRINCIPAL
 P.O. BOX 4471
 ASPEN, CO. 81612
 CENTRUM BUILDING STE. 200B
 TELLURIDE, CO 81435.
 (970) 708-1561

EMAIL: LEASISSONARCHITECT@ICLOUD.COM

OWNER:

Single Track Aspirations, LLC
 601 Lexington Ave. Suite 5930
 NewYork
 NY 10022
 +44 7466 122 568
 MARINA.NACHEVA@GMAIL.COM

STRUCTURAL ENGINEER:

MIKE THELE P.E.
 STRUCTURAL ENGINEERING SERVICES.
 0296 SEVEN OAKS ROAD
 CARBONDALE
 CO 81623
 (970) 963-3181
 (970) 963-3182 (FAX)

CONTRACTOR:

ALPINE MTN. CONSTRUCTION.
 P.O. BOX 2104
 TELLURIDE
 CO 81435
 (970) 275-2050
 ALPINE.MOUNTAIN@YAHOO.COM

SURVEYOR:

FOLEY ASSOCIATES, INC.
 P.O. BOX 1385
 TELLURIDE 81435
 (970) 728-6153
 (970) 728-6050 (FAX)

FLOOR AREA CALCULATIONS

HOUSE:	
<u>LIVEABLE AREA</u>	
LOWER LEVEL:	3070 SQ FT
MAIN LEVEL:	3257 SQ FT
MECH/GARAGE:	407 SQ FT
TOTAL:	6734 SQ FT
ADDITION:	
<u>LIVEABLE AREA</u>	
LOWER LEVEL:	1432 SQ FT
MAIN LEVEL:	1492 SQ FT
MECH/GARAGE:	404 SQ FT
TOTAL:	3328 SQ FT
F.A.R.	
EXIST. HOUSE AND	
NEW ADDITION FOOTPRINT 7888.4	
LOT IS .5 ACRES(22135.5) 35%	
TOTAL ALLOWABLE FOR LOT: <40%	

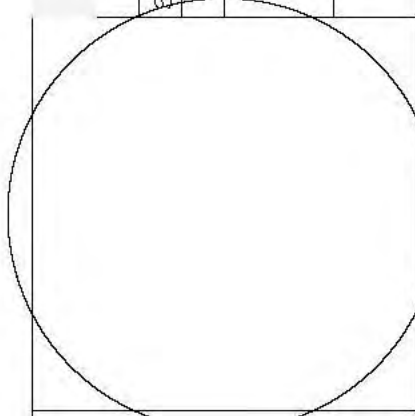
L.U.C. NOTES
 R-2 TYPE V CONSTRUCTION.

DRAWING INDEX

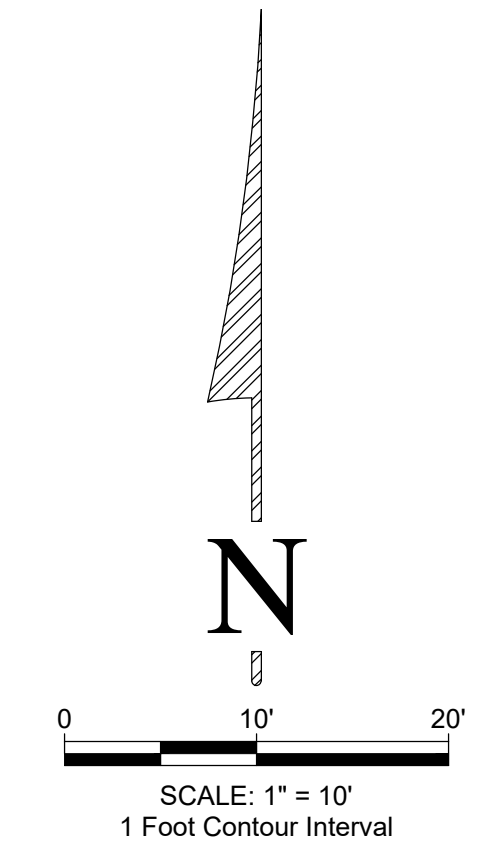
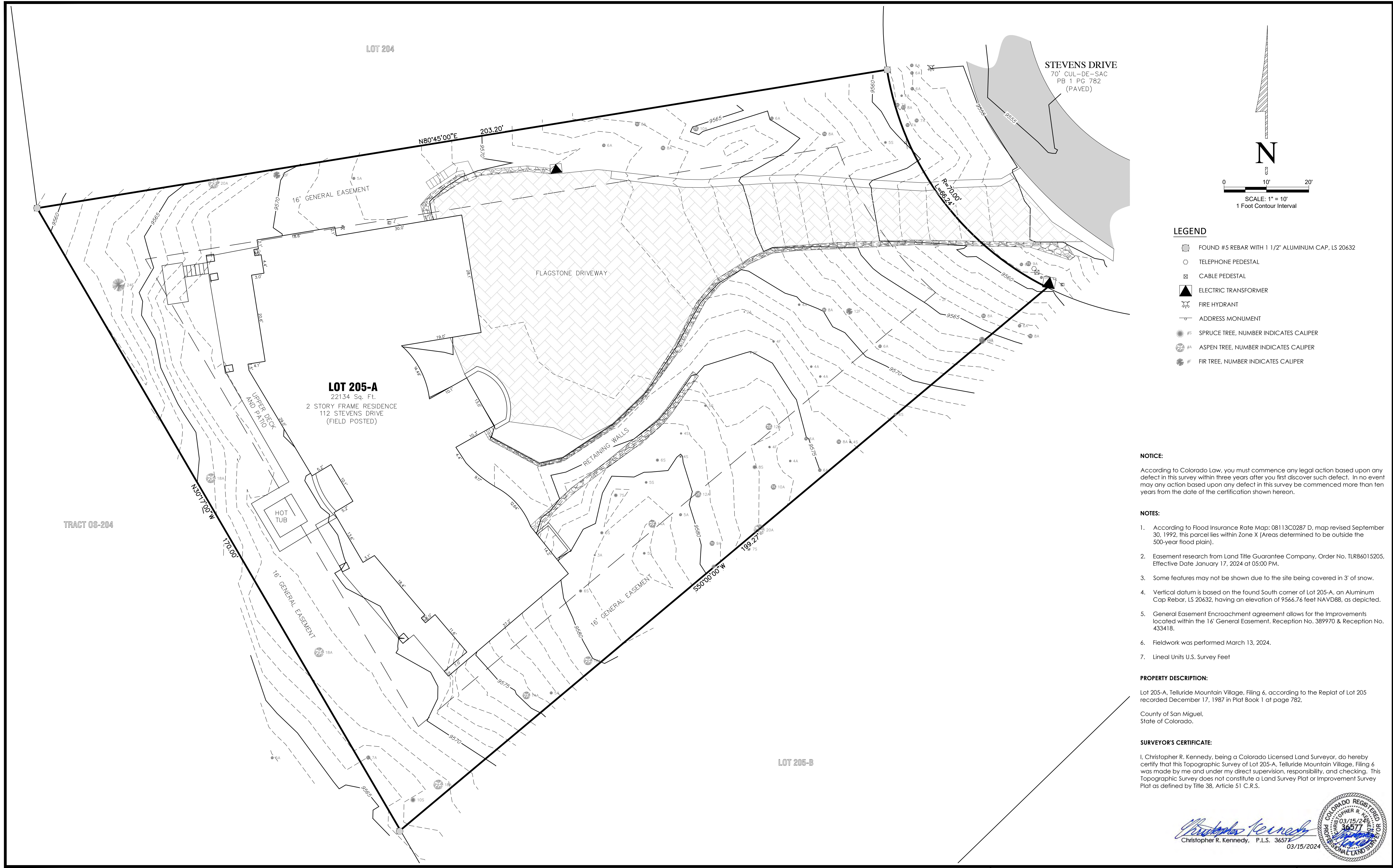
ARCHITECTURAL	
A-0	COVER.
	EXISTING CONDITIONS SURVEY
A-1.1	SITE PLAN. CONSTRUCTION STAGING. LANDSCAPE PLAN.
	UTILITY PLAN.
A-1.2	ROOF PLAN DRAINAGE PLAN
A-1.3	SITE PLAN FLOOR PLAN DETAIL WITH WINDOW SCHEDULE
C-2	CIVIL GRADING PLAN
A-2.1	FLOOR PLANS SHOWING STEP LIGHTING LOCATIONS
A-2.2	ROOF PLAN DETAIL - HEIGHT CALC'S
A-3.1	NEW & EXISTING EAST ELEVATIONS
A-3.2	NEW & EXISTING WEST ELEVATIONS.
A-3.3	NEW & EXISTING SOUTH ELEVATIONS & MATERIAL CALCS
A-3.4	NEW & EXISTING NORTH ELEVATIONS & STEPLIGHT LOCATIONS
A-3.5	MATERIALS, DETAILS AND RENDERED ELEVATIONS

LEA SISSON ARCHITECT
 200B CENTRUM BLDG. MOUNTAIN VILLAGE. P.O. BOX 4471 ASPEN, CO 81612 TEL: (970) 925-11224 EMAIL: LEA@LEASISSONARCHITECTS.COM
 SUBMISSIONS | 04.2023 FEASIBILITY STUDY | 19.2024 SD PROGRESS | 23.2024 SD PROGRESS | 29.2024 SD PROGRESS | 2.8.2024 SD PROGRESS | 2.13.2024 SD PROGRESS | 2.20.2024 SD PROGRESS | 3.9.2024 SD PROGRESS | 3.9.2024 DRB SKETCHPLAN SUBMITTAL

LOT 205A - ADDITION/RENOVATION RESIDENCE
 LOT 205A, 112 STEVENS WAY, MOUNTAIN VILLAGE, CO.



A0



- LEGEND**
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 20632
 - TELEPHONE PEDESTAL
 - CABLE PEDESTAL
 - ⬤ ELECTRIC TRANSFORMER
 - ⊕ FIRE HYDRANT
 - ⊕ ADDRESS MONUMENT
 - ⊙ SPRUCE TREE, NUMBER INDICATES CALIPER
 - ⊙ ASPEN TREE, NUMBER INDICATES CALIPER
 - ⊙ FIR TREE, NUMBER INDICATES CALIPER

NOTICE:
 According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

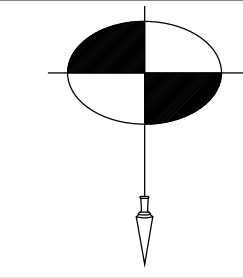
- NOTES:**
1. According to Flood Insurance Rate Map: 08113C0287 D, map revised September 30, 1992, this parcel lies within Zone X (Areas determined to be outside the 500-year flood plain).
 2. Easement research from Land Title Guarantee Company, Order No. TLR86015205, Effective Date January 17, 2024 at 05:00 PM.
 3. Some features may not be shown due to the site being covered in 3' of snow.
 4. Vertical datum is based on the found South corner of Lot 205-A, an Aluminum Cap Rebar, LS 20632, having an elevation of 9566.76 feet NAVD88, as depicted.
 5. General Easement Encroachment agreement allows for the Improvements located within the 16' General Easement, Reception No. 389970 & Reception No. 433418.
 6. Fieldwork was performed March 13, 2024.
 7. Lineal Units U.S. Survey Feet

PROPERTY DESCRIPTION:
 Lot 205-A, Telluride Mountain Village, Filing 6, according to the Replat of Lot 205 recorded December 17, 1987 in Plat Book 1 at page 782.
 County of San Miguel,
 State of Colorado.

SURVEYOR'S CERTIFICATE:
 I, Christopher R. Kennedy, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Lot 205-A, Telluride Mountain Village, Filing 6 was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.

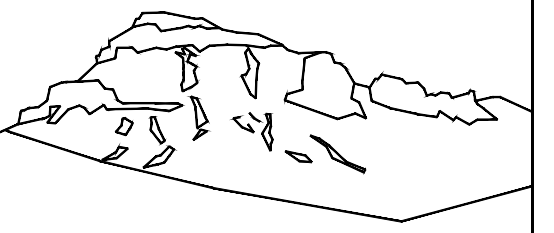
Christopher R. Kennedy
 Christopher R. Kennedy, P.L.S. 36572
 03/15/2024

IMPROVEMENT SURVEY PLAT
LOT 205-A, TELLURIDE MOUNTAIN VILLAGE, FILING 6



SAN JUAN SURVEYING
 SURVEYING * PLANNING
 102 SOCIETY DRIVE TELLURIDE, CO. 81435
 (970) 728 - 1128 (970) 728 - 9201 fax
 office@sanjuansurveying.net

DATE:	03/15/2024
JOB:	02102
DRAWN BY:	ELA
CHECKED BY:	CRK
REVISION DATES:	
SHEET:	1 OF 1



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL

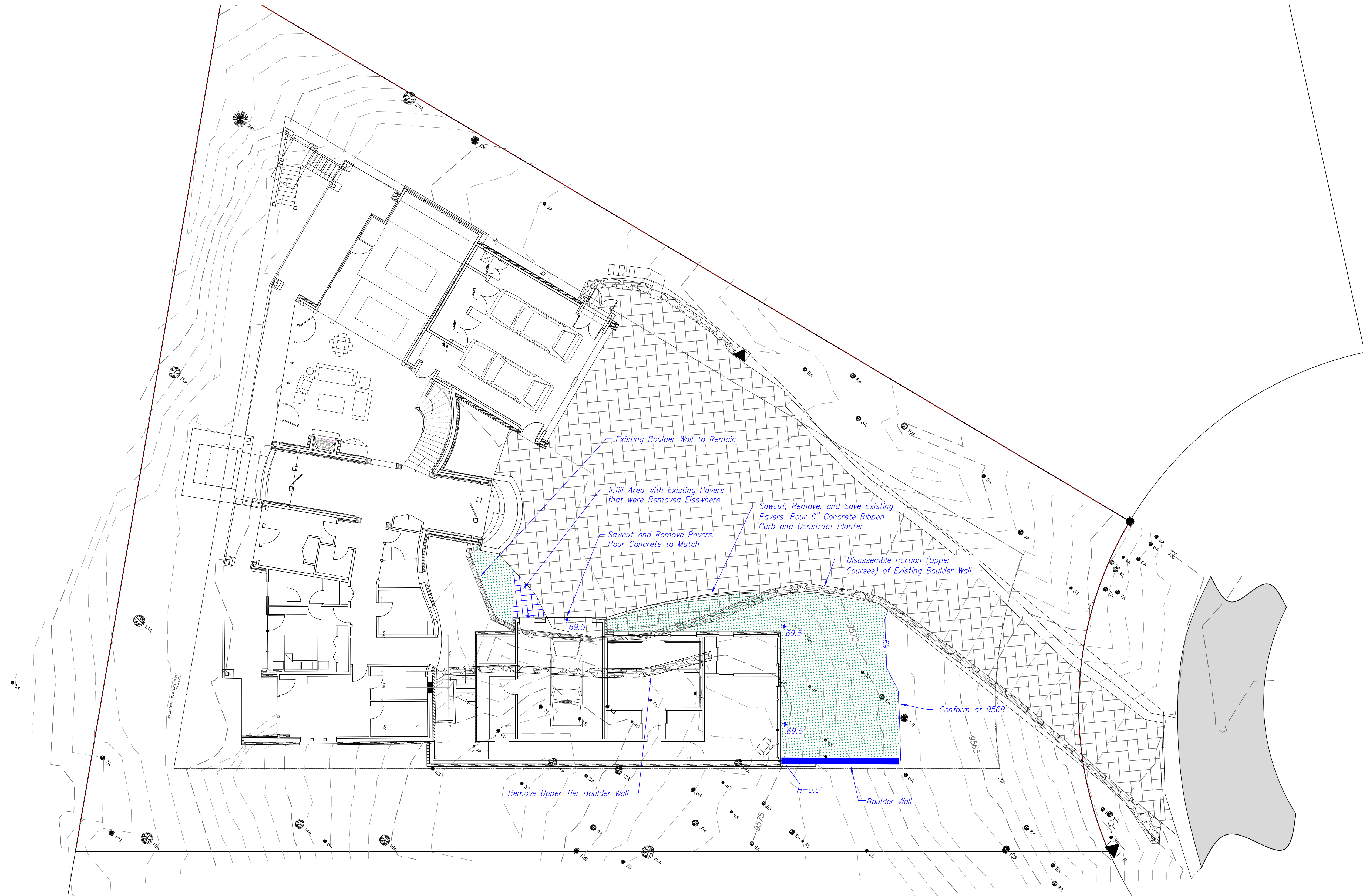
Lot 205-A
Stevens Drive
Mtn. Village, CO

NOT FOR CONSTRUCTION

CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

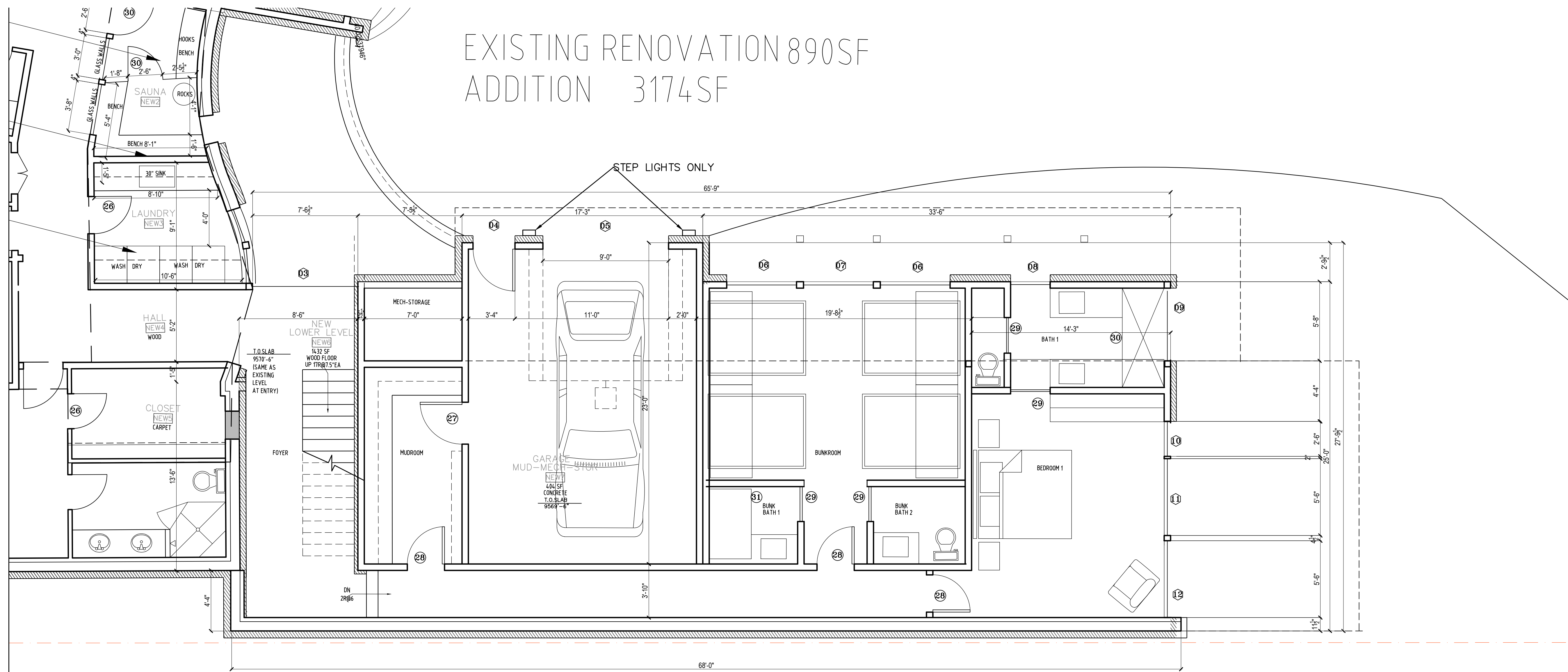
Grading

C2

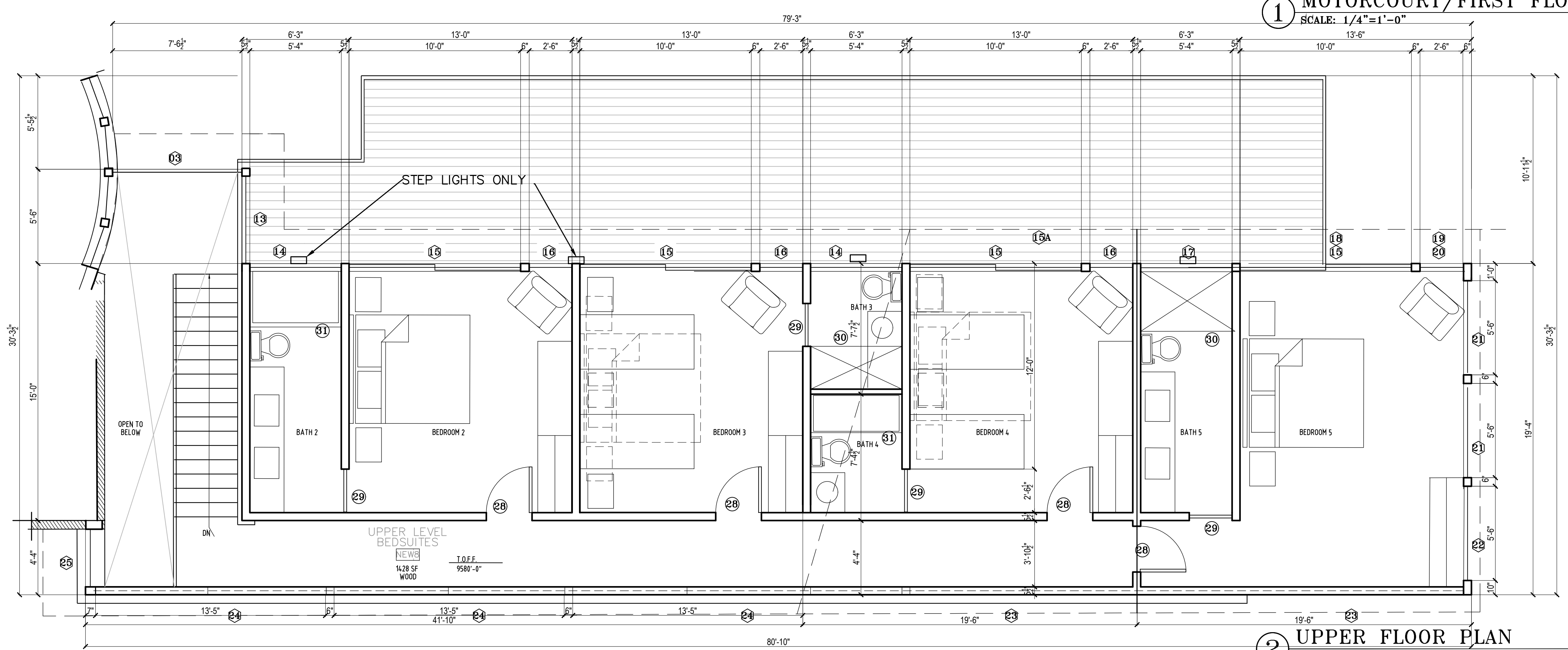


Missing or invalid reference
File: ./205AD-2.21.2024-W.D-S copy-Sheet1.pdf
Sheet: 1

EXISTING RENOVATION 890SF
ADDITION 3174SF



1 MOTORCOURT/FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



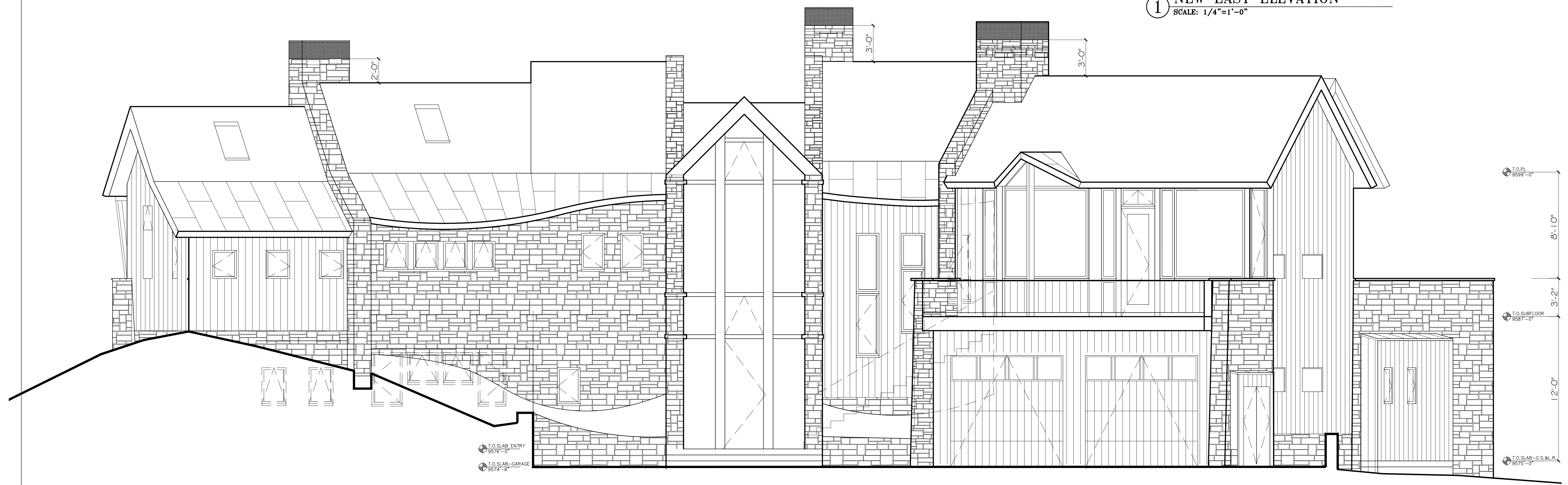
2 UPPER FLOOR PLAN
SCALE: 1/4"=1'-0"

A2.1





① NEW EAST ELEVATION
SCALE: 1/4"=1'-0"



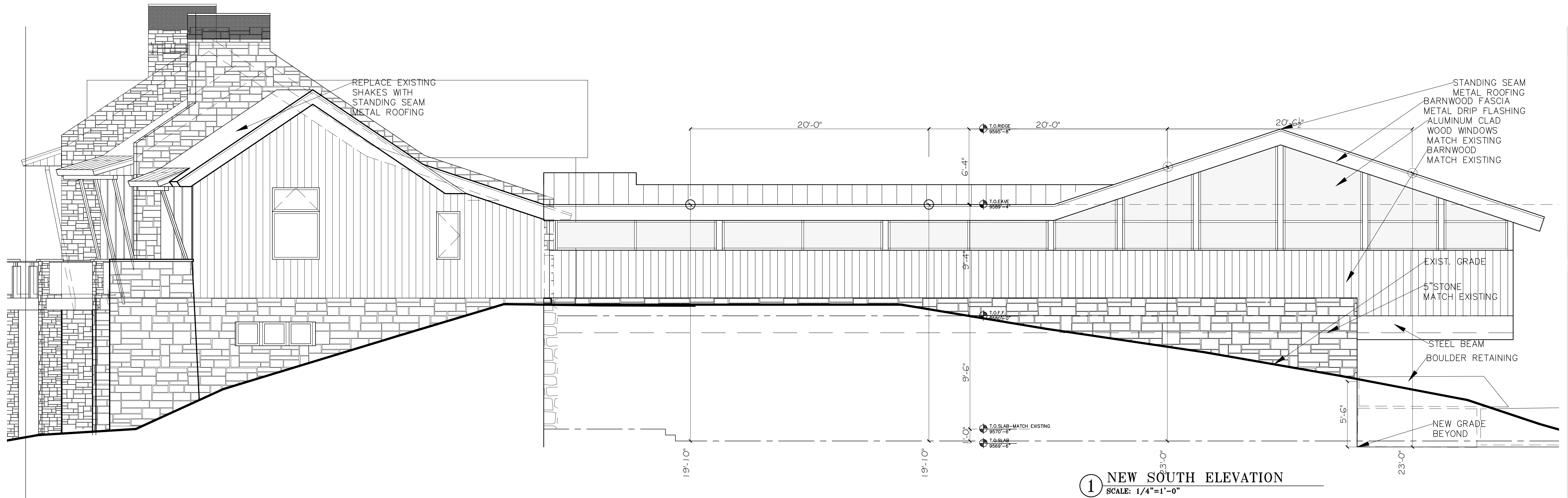
② EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"



① NEW WEST ELEVATION
SCALE: 1/4"=1'-0"



② EXISTING WEST ELEVATION
SCALE: 1/4"=1'-0"

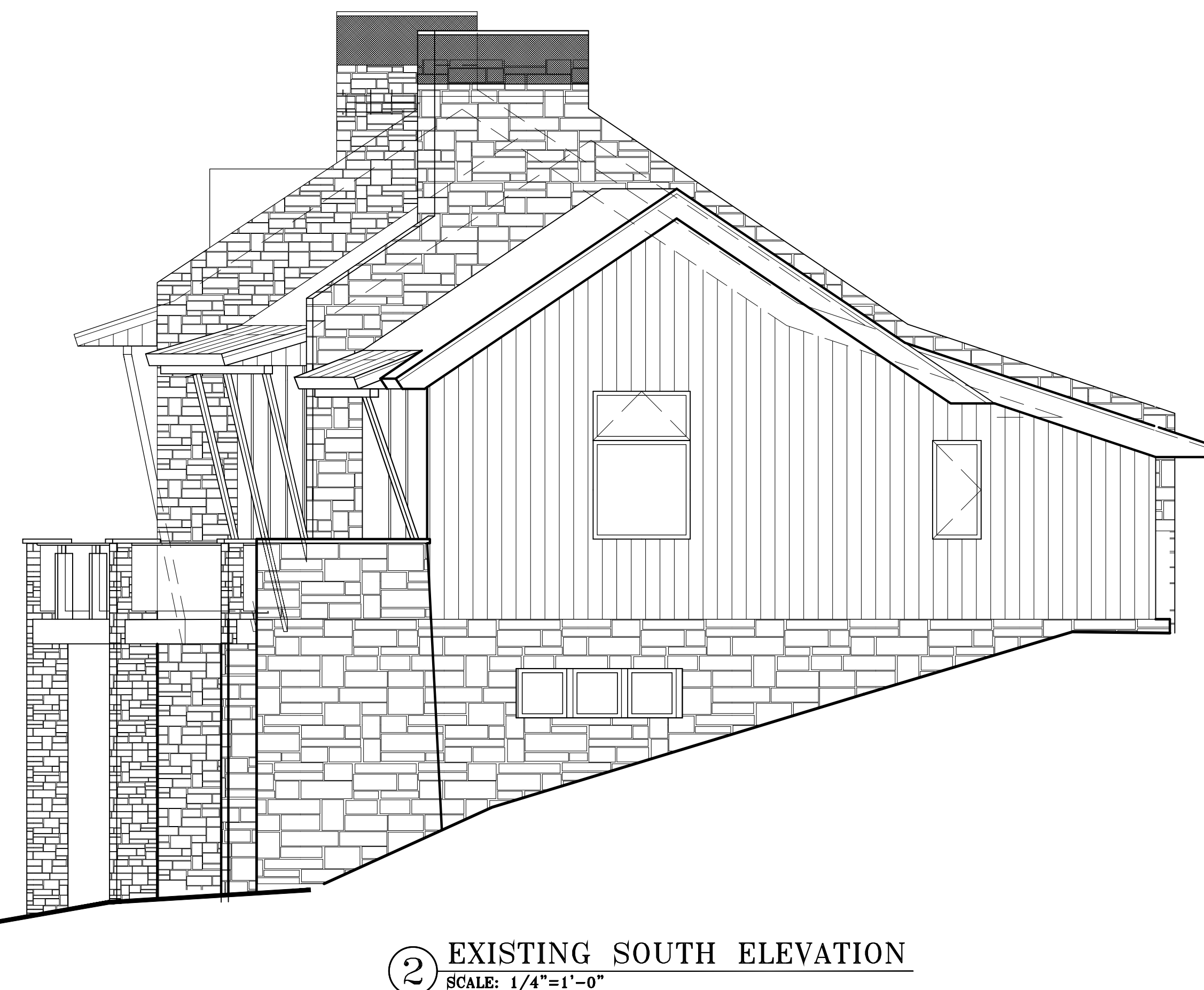


① NEW SOUTH ELEVATION
SCALE: 1/4"=1'-0"

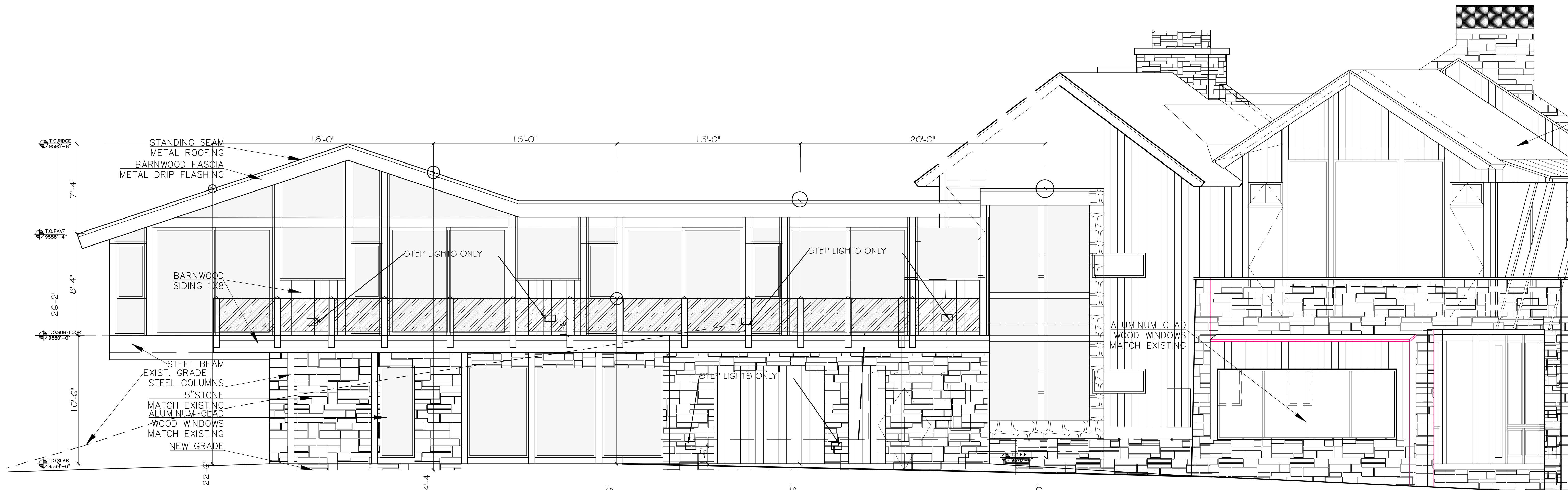
205AD		MATERIAL CALCULATIONS SKETH DRB			3.8.2024	LEA SISSON ARCHITECT
MATERIAL	STONE	FENESTRATION	WOOD	METAL	TOTAL	%
EXISTING NORTH	828	355	699		1882	
EXISTING SOUTH	637	44	337		1018	
EXISTING EAST	608	284	562		1454	
EXISTING WEST	1036	1230	696	60	3022	
EXIST. TOTAL	3109	1913	2294	60	7376	
NEW NORTH	325	724	290	75	1414	
NEW SOUTH	157	265	458	26	906	
NEW EAST	126	207	118	8	459	
NEW WEST	6	10	2		18	
NEW TOTAL	614	1206	868	109	2797	
TOTAL O+N	3723	3119	3162	169	10173	
EXIST PERCENTAGE	0.366	0.307	0.311	0.017		

EXTERIOR MATERIALS

- Stone pavings: ashlar patterned sanstone 2" Dove Creek
- Stone veneer: Random sandstone 5", Dove Creek dry stack look
- Lintels at stone: Stone, Dove Creek
- Wood Siding: Vertical 2x8, antique sealed
- Steel brackets and beams: 4"x4" tube steel, Gunmetal blueing finish; tube steel beam, gunmetal blueing finish
- Existing replacement Roofing bonderized aluminum standing seam
- New Roofing bonderized aluminum standing seam
- Fascias: bonderized aluminum flashing
- Soffits: 1x Cedar
- Railings: 6x6 cedar newels; 2x4 cedar handrails; glass baluster
- Windows: Aluminum Clad Wood Windows; Dark Bronze



② EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"



① NEW NORTH ELEVATION
SCALE: 1/4"=1'-0"



② EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"

NEW REDERINGS



EXISTING HOUSE PICTURES



ALL MATERIALS TO MATCH EXISTING



STONE



BARNWOOD 1X8



WATERPROOF
DECK & RAILING
DETAIL



STEEL COLUMNS AND
FENESTRATION
DETAIL

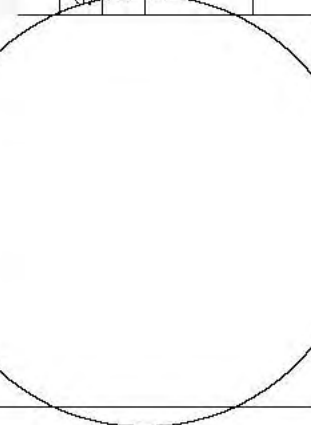


TIMBER COLUMNS
& TRIM

MATERIALS AND DETAILS

L E A S I S S O N A R C H I T E C T
 200B CENTRUM BLDG., MOUNTAIN VILLAGE, P.O. BOX 4471 ASPEN, CO 81612 TEL: (970) 925-1224 EMAIL: LEA@LEASISSONARCHITECTS.COM
 SUBMISSIONS | 0.4.2023 FEASIBILITY STUDY | 1.19.2024 SD PROGRESS | 1.23.2024 SD PROGRESS | 2.A.2024 SD PROGRESS | 2.13.2024 SD PROGRESS | 2.20.2024 SD PROGRESS

LOT 205A - ADDITION/RENOVATION RESIDENCE
 LOT 205A, 112 STEVENS WAY, MOUNTAIN VILLAGE, CO.



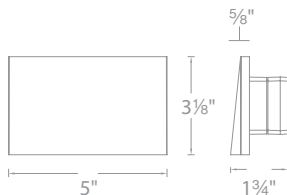
A3.5

Model: WL-LED110

Step Light

WAC LIGHTING

Responsible Lighting®



Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

Horizontal rectangle Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

FEATURES

- Fluid decorative profile with full cut-off illumination
- Die Cast Aluminum construction with abrasion resistant powder coat finish or plated Brushed Nickel finish
- Magnetized design for easy installation and maintenance
- Title 24 Compliant (120V only)
- 50,000 hour rated life

SPECIFICATIONS

Construction: Die-cast aluminum

Input: 120V or 277VAC 50/60Hz

Power: Direct wiring, no remote driver needed.

Lumens: Up to 4 lm

Mounting: Fits into a switch box or a 2" x 4" Junction Box with minimum inside dimensions of 3"L x 2"W x 2.5"D

Dimming: 100% - 10% ELV (120V only)

CRI: 90

Standards: IP66, ETL & cETL Listed for wet locations

Voltage	Power	Model	Color Temp	Finishes
120V	3.5W	WL-LED110-C WL-LED110-AM	3000K Amber	BK Black on Aluminum BN* Brushed Nickel
277V	3W	WL-LED110F-C WL-LED110F-AM	3000K Amber	BZ Bronze on Aluminum WT White on Aluminum

*Brushed Nickel Finish is for interior use only



Example: **WL-LED110F-C-WT**

waclighting.com

Phone (800) 526.2588

Fax (800) 526.2585

Headquarters/Eastern Distribution Center

44 Harbor Park Drive

Port Washington, NY 11050

Central Distribution Center

1600 Distribution Ct

Lithia Springs, GA 30122

Western Distribution Center

1750 Archibald Avenue

Ontario, CA 91760

Model: WL-LED110

Step Light

WAC LIGHTING

Responsible Lighting®

FIXTURE PERFORMANCE

Input Voltage	Light Color	Finish	Lumens
WL-LED110 120V	C White	BK Black on Aluminum	4
		BN* Brushed Nickel on Aluminum	4
		BZ Bronze on Aluminum	4
		WT White on Aluminum	4
	AM Amber	BK Black on Aluminum	610 nm
		BN* Brushed Nickel on Aluminum	610 nm
		BZ Bronze on Aluminum	610 nm
		WT White on Aluminum	610 nm

Input Voltage	Light Color	Finish	Lumens
WL-LED110F 277V	C White	BK Black on Aluminum	4
		BN* Brushed Nickel on Aluminum	4
		BZ Bronze on Aluminum	4
		WT White on Aluminum	4
	AM Amber	BK Black on Aluminum	610 nm
		BN* Brushed Nickel on Aluminum	610 nm
		BZ Bronze on Aluminum	610 nm
		WT White on Aluminum	610 nm

*Brushed Nickel Finish is for interior use only

waclighting.com
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Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760



TO: Mountain Village Design Review Board

FROM: Drew Nelson, Senior Planner

FOR: Design Review Board Public Hearing; May 2, 2024

DATE: April 24, 2024

RE: Staff Memo – A) Initial Architecture and Site Review (IASR) Lot 166AR2-10, 10 Stonegate Drive, pursuant to the CDC; and B) a Review and Recommendation to the Town Council regarding a height variance pursuant to CDC Section 17.4.16 – Continued from the March 7, 2024, Regular Meeting

APPLICATION OVERVIEW: New Single-Family residence on Lot 166AR2-10

PROJECT GEOGRAPHY

Legal Description: LOT 166AR2-10, TELLURIDE MOUNTAIN VILLAGE, ACCORDING TO THE REPLAT OF LOT 166-AR, OSP-51 AND OS-166 TO LOTS 166AR2-1 THRU 166AR2-15, PARCEL A, OSP-51A, OSP-51RB AND OS-166R RECORDED APRIL 4, 2003 IN PLAT BOOK 1 AT PAGE 3116, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Address: 10 Stonegate Drive

Applicant/Agent: Jack Wesson, Jack Wesson Architects, Inc.

Owner: Shavano Investments, LLC

Zoning: Single Family

Existing Use: Vacant

Proposed Use: Single-Family Residence

Lot Size: .5239 acres

Adjacent Land Uses:

- **North:** Single-Family Residence
- **East:** Single-Family Residence
- **West:** Active Open Space – Ski Area
- **South:** Active Open Space – Ski Area



Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comments

Case Summary: Jack Wesson, on behalf of owners Shavano Investments, LLC, is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) application for a new single-family residential unit on Lot 166AR2-10, TBD Stonegate Drive. This item was originally reviewed on March 7, 2024, and was continued to the May 2, 2024 regular meeting to accommodate significant design changes. The revisions include removing a large exterior stairway, reducing the overall height of the elevator shaft by moving it to a more interior location, and changing the roof form from shed to a shallow gable roof

The site is extremely sloped, with nearly the entire property over 30% slopes and many portions over 50%. The proposed structure is a single-family residence in the single-family zone district. While the structure reads as a single story from the adjacent Sundance ski run, it is a five-story building that steps down the site towards Stonegate Drive. Due to the slope of the site and the setback requirements, the applicant is requesting a height variance, which is described in detail below. The property is bisected by a private section of Stonegate Drive, making the site smaller than the .5239 acres in size would indicate, and a large no-build zone exists on the west side of the property, reducing the buildable area further.

The proposed structure is 7,681 square feet of habitable space, with a total gross square footage of 8,780 square feet, and utilizes a mixture of wood, stone, and metal siding for the exterior materials. The proposed structure includes three interior parking spaces and one exterior covered space underneath the exterior staircase.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	40' (gable) Maximum	45.17' (post const.)*
Avg. Building Height	35' (gable) Maximum	24.86'
Maximum Lot Coverage	40% (9,598.4 sq ft)	17.08% (3,901 sq ft)
General Easement Setbacks	No encroachment	16' North and West
Roof Pitch		
Primary		2¼ : 12
Secondary		None
Exterior Material		
Stone	35% minimum	41.27%
Windows/Door Glazing	40% maximum	20.44%
Metal	n/a	19.92%
Wood	n/a	18.36%
Parking	2 enclosed/2 surface	3 enclosed/1 surface

Design Review Board Specific Approval:

- 1) *Parking Requirements – Waiver of 1 exterior surface*
- 2) *Material: Metal Soffit and Fascia*
- 3) *Steep Slopes*

Variance

- 1) *Building Height Variance – 6’ over the maximum allowable height*

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.3 Use Schedule

Staff: The applicant has identified that this structure is a single-family residence, and the lot is located in the single-family zone district. According to Table 3-1 Town of Mountain Village Land Use Schedule, a single-family residence is an allowable use in the single-family zone district.

17.3.13 Maximum Lot Coverage

Staff: The maximum lot coverage for single-family homes with lots under one acre is 40%. On this site, the maximum allowable site coverage is 9,137.4 square feet. The proposed structure covers 3,901 square feet, or 17.08% of the site, and is well below the 40% threshold.

17.3.11 and 17.3.12: Building Height and Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates a gable roof form. Single-family residences with gabled roofs are granted a maximum height of 40 feet and an average height of 30 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: The primary roof form of the proposed structure is gabled and is therefore granted a maximum height of 40 feet and an average height of 35 feet. The applicant has indicated that the maximum height of the current proposed structure is 45.17 feet and has an average height of 28.46 feet (Sheet A-009 of the attached plan set). The CDC requires that height is demonstrated relative to both existing and proposed grade and that the most restrictive measurements be used to determine height. The applicant has not provided any information on heights as it relates to the proposed grade. The applicant should revise the drawings to demonstrate both existing and proposed grade for each height so staff can determine whether the true maximum and average height is being shown accurately.

The subdivision plat for Stonegate also includes a more restrictive plat note for building heights. The plat states that the overall building shall not exceed the USGS elevation of 10,135’ and that chimneys shall not exceed 10,140’, which the plan set indicates is being met for the home design.

Due to the extreme slope of the site (with slopes over 50% for much of the site), the applicant is requesting a variance to the maximum height of 5.17 feet over the allowable limits. The area of impact for the variance is limited to the main gable roof and the elevator shaft. The height variance is desired to allow for an habitable structure that fits the Mountain Village building vernacular, as the steep natural grade of the site and the no-build zone on the west side of the property limit the size of the building footprint and therefore the size of an individual story.

The Town Council will make the ultimate decision on whether this variance is granted, however this issue is before DRB for a recommendation. Figures 2-5 show the elevations as they relate to the natural grade of the proposed structure and Figure 6 shows the 40' parallel offset to show portions of the structure above the 40-foot threshold. The applicant is currently preparing additional information on finished grades around the elevator shaft and exterior parking space for the DRB's consideration.

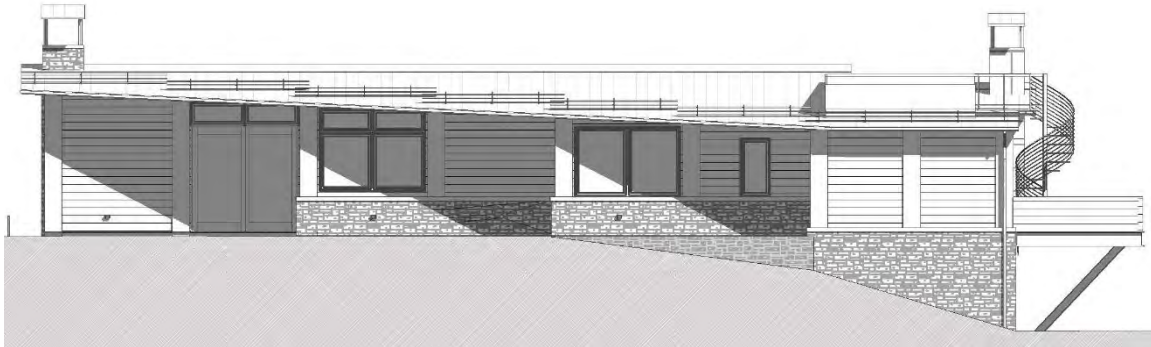


Figure 2: South Elevation



Figure 3: North Elevation

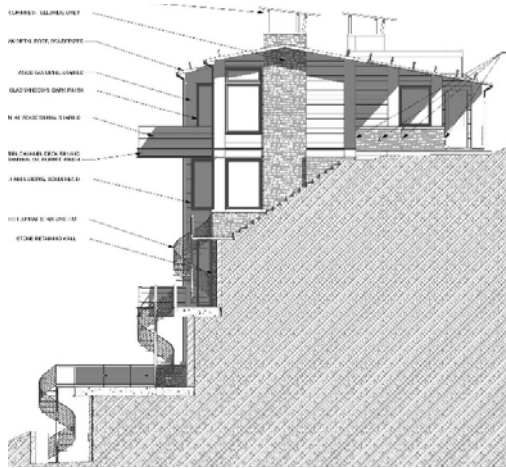


Figure 4: West Elevation

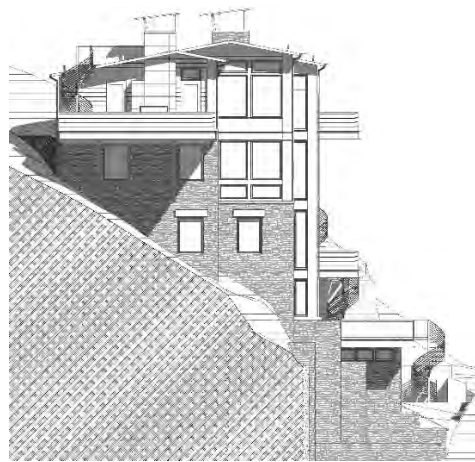


Figure 5: East Elevation

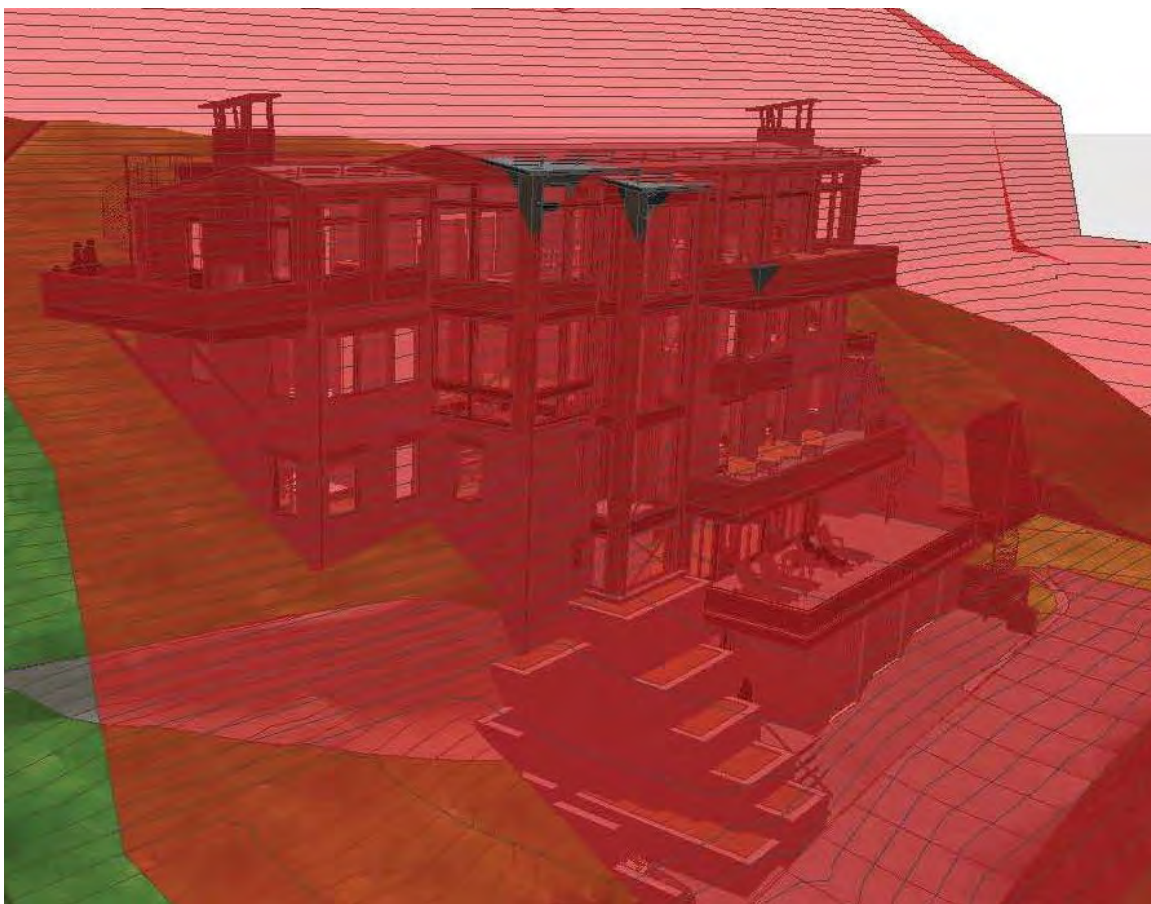


Figure 6: Height Analysis 3D Planar View with 40-foot offset

According to the CDC, the following criteria shall be met for the review authority to approve a variance:

- a. The strict development application of the CDC regulations would result in exceptional and undue hardship upon the property owner in the development of property lot because of special circumstances applicable to the lot such as size, shape, topography or other extraordinary or exceptional physical conditions.

Staff: The entirety of the lot has significant slopes, with a majority of the site having a slope greater than 50%. The steep slopes, combined with the bisection of the lot by Stonegate Drive and the large no-build zone on the west side of the property appear to constitute special circumstances.

b. The variance can be granted without substantial detriment to the public health, safety and welfare;

Staff: This excess height poses no threat to public health, safety and welfare.

c. The variance can be granted without substantial impairment of the intent of the CDC;

Staff: Staff does not believe the granting of this variance represents a “substantial impairment of the intent of the CDC” as the proposed structure adheres to a majority of the design regulations if the CDC, as outlined throughout this memo.

d. Granting the variance does not constitute a grant of special privilege in excess of that enjoyed by other property owners in the same zoning district, such as without limitation, allowing for a larger home size or building height than those found in the same zone district;

Staff: The DRB has approved height variances before due to unique site conditions related to the slope of a lot. DRB members should discuss whether this variance represents the granting of special privilege in excess of that enjoyed by other property owners. The proposed design also incorporates traditional mining forms that drive much of the overall height, rather than stepping up the slope and staying beneath the 40-foot height threshold. The applicant has significantly modified the design from original plans to reduce the desired height variance through programming of the site, including the relocation of the elevator shaft. The DRB should discuss whether these design elements could constitute special circumstances.

e. Reasonable use of the property is not otherwise available without granting of a variance, and the variance being granted is the minimum necessary to allow for reasonable use;

Staff: The proposed development and associated height variance request allows the lot to be used in a manner similar to that of other sites within the Stonegate subdivision and throughout Mountain Village. However, the DRB should discuss whether the variance being requested is the minimum necessary to allow for reasonable use. The applicant has stepped the design of the structure to significantly reduce the variance requested.

f. The lot for which the variance is being granted was not created in violation of Town regulations or Colorado State Statutes in effect at the time the lot was created;

g. The variance is not solely based on economic hardship alone; and

h. The proposed variance meets all applicable Town regulations and standards unless a variance is sought for such regulations or standards.

Staff: Staff believes the criteria for f-h are all being met.

17.3.14: General Easement Setbacks

The CDC provides that setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within setbacks such as driveways, ski access, natural landscaping, utilities, address monuments, and fire mitigation. The proposed building siting does not impact the General

Easement on the north and west sides of the property, with the exception of one proposed ski access.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The proposed design seeks to enhance the current architectural style found in the Stonegate subdivision and Mountain Village by adapting it to suit the challenging alpine building conditions. The proposed design evokes the mining tradition of the region, and it preserves the traditional choice of materials commonly found in Mountain Village, showing sensitivity to the architectural context of the neighborhood and community.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

Staff: The applicant has proposed to locate the structure centrally to the lot, bound by the no-build zone on the west, the general easement on the north, and adjacent to the existing shared drive. The applicant is proposing one ski access, which meets the requirements of the Stonegate subdivision plat. Staff will also need more detail on the layback plan and foundation plan and whether they impact either the general easement on the north or the no-build zone on the west. Prior to Final Architecture Review, the applicant shall provide updated civil and site plans reflecting all infrastructure modifications for the site design.

17.5.6: Building Design

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. Roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation is required. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

Staff: Staff comments regarding each of the relevant subsections are below.

Building Form:

The form of the proposed residential structure follows an alpine mountain design related to the mining traditions in the region and is grounded to withstand the

extreme natural forces of wind, snow, and heavy rain. The proposed use of stone at the base reinforces this requirement. The design has removed the elevated stairway on the southeast side of the structure, removing a significant design concern from the DRB's first review.

Exterior Wall Form:

The proposed residential structure has exterior walls that are relatively simple in design and portray a massing that is substantially grounded to the site, while simultaneously evoking the region's mining history. This is reinforced through the use of stone materials as the base, and metal and wood siding above.

Roof Form:

The roof design is a gabled form with a low pitch that has variation to create unique pitches; however, due to the location of the lot much of the roof form will not be visible to the public. The roof material is standing seam bonderized metal; however, the color is not listed in the materials sheet. Once the roof color is provided, indicating either rusted metal, gray, or black materials, the roof would adhere to the requirements of the CDC.

Chimneys, Vent and Rooftop Equipment Design:

The applicant has indicated that the proposed home utilizes natural gas fireplaces with the direct vent on the north and south sides of the building. The application adheres to the requirements of the CDC for equipment design.

Exterior Walls Materials and Color:

The building utilizes grey Telluride stone veneer at the base of the home. A mix of vertical steel, bonderized siding and horizontal and vertical wood siding is incorporated along the exterior of the structure. Stone walls account for approximately 41.27 percent of exterior materials, which meets the minimum 35 percent stone requirement. The applicant has indicated that the fascia will be made of metal, needing a Specific Approval from the DRB.

Glazing:

The maximum window area of the building, including window and door glazing, is approximately 20.44% of the total building façade.

Doors and Entryways:

Sheet A-501 provides the window sill and jamb designs. However, more information is needed on the products proposed, including the actual colors to be proposed for all windows and doors. Once the color is provided, all CDC requirements can be met.

Decks and Balconies:

The proposed balconies enhance the overall architecture of the building by creating variety and detail on the exterior elevations as outlined in the CDC and provide exterior outdoor space on a very steep lot. The exterior spiral staircases are unique and are generally not commonly found in Mountain Village; however, this is a visually interesting way to provide external access to different levels of the structure.

Required Surveys and Inspections:

A monumented land survey will need to be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average

building height. A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

17.5.7: Grading and Drainage Design

Staff: Minimal site grading will be possible due to the steep slope of the site; however, a significant amount of materials (1,500+ cubic yards) will need to be removed from the site to accommodate the anticipated excavation for the lower levels of the structure. The overall site grading will largely conform to the existing conditions before the final construction phase. The current drainage around the house meets the CDC requirements, maintaining a positive slope away from the residence. The applicant has indicated an overall snowmelt area of 746.5 square feet for the site in locations around the home for driveway and pedestrian access.

17.5.8: Parking Regulations

Staff: The applicant generally meets the parking criteria, which stipulates a minimum of two internal and two external parking spaces per single-family residence. The proposed design includes 3 internal spaces and 1 external space on the south side of the home. The proposed design waiver of 1 exterior space requires a Specific Approval. Section 17.5.8.A.2. allows for the DRB to waive surface spaces for smaller lots when tandem parking is not feasible, which staff believes is the case for this property due to the steep slopes, no-build zone, and other features of the site.

The subdivision plat for Stonegate indicates that access to this lot and the adjacent Lot 11 is a shared access to the benefit of both parties. This section of shared driveway is not a public roadway maintained by the Town, and would not meet current standards of the CDC. However, this section of driveway has already been constructed and is in use, and would be considered a pre-existing non-conforming design approved by a prior DRB.

The parking regulations (Section 17.5.8.C.2.) requires that garages that are designed to have cars backing out shall have a minimum of 25' of backup space for vehicles exiting a garage. Due to the unique nature of the site, the minimum space cannot be provided for the exterior space. In addition, due to the extremely narrow profile of the existing shared access drive, it is recommended that the applicant demonstrate turning movements into and out of the garage and to evaluate whether access to the garages is feasible.

The applicant has indicated that all spaces will be 9' x 18' in size, which meets the standards set forth in the CDC. These spaces are accessed by an 8' wide garage door opening but widen out once inside the garage. Average vehicle widths for cars and trucks commonly seen in Mountain Village (Toyota Tundra, Chevrolet Suburban) are approximately 80 inches wide, or around 6.75 feet. Due to the unique nature of the site, the applicant should be aware of the difficulty in accessing the garages for vehicles of a certain size and turning radius.

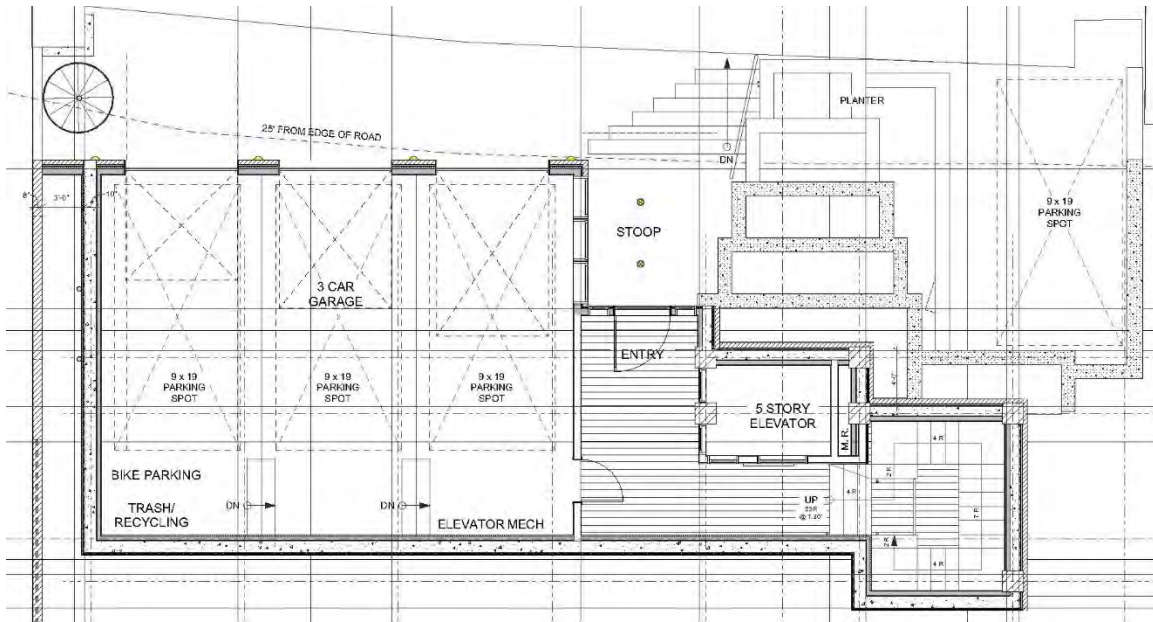


Figure 7: Site Plan – Proposed Parking

17.5.9: Landscaping Regulations

Staff: An initial landscaping plan was provided on sheet A-004 of Exhibit A. The applicant is proposing the addition of 3 evergreen trees, 3 Aspen trees or multi-stems, 1 ornamental Dogwood tree, and 60 ornamental trees or shrubs along with retaining the existing vegetation outside of the Zone 1 fire mitigation area. The revised design also incorporates new planting islands on the north side of the building that would be integrated into the structure.

The Town Forester provided the following comments:

“The tree that is planned to be installed on the north corner of the home at the bottom of the stairs (Sheet A-004) is located too close to the side of the home and is not recommended by the Town of Mountain Village (current wildfire best management practices state that no vegetation should be installed within 5 feet of the edge of the home (the drip edge of vegetation should be a minimum of 5 feet from the edge of the home).”

“The tree and shrubs planned to be installed right up against or under the south deck of the home are located too close to the deck. According to the CDC, trees must be clear of the home at a minimum distance of 15 feet from the outside edge of the dripline of the building, which includes decks, planters, and patios (with some very specific exceptions, which are not indicated on the Landscape Plan, Sheet A-004). In the event of a wildfire, deck areas are highly vulnerable because they trap swirls of super-heated turbulent currents of air underneath the deck and this is often a location for home ignition. Vegetation and other flammable materials underneath and near decks greatly contribute to this condition.”

All recommendations of the Town Forester should be incorporated into the landscape plan prior to Final Architectural Review.

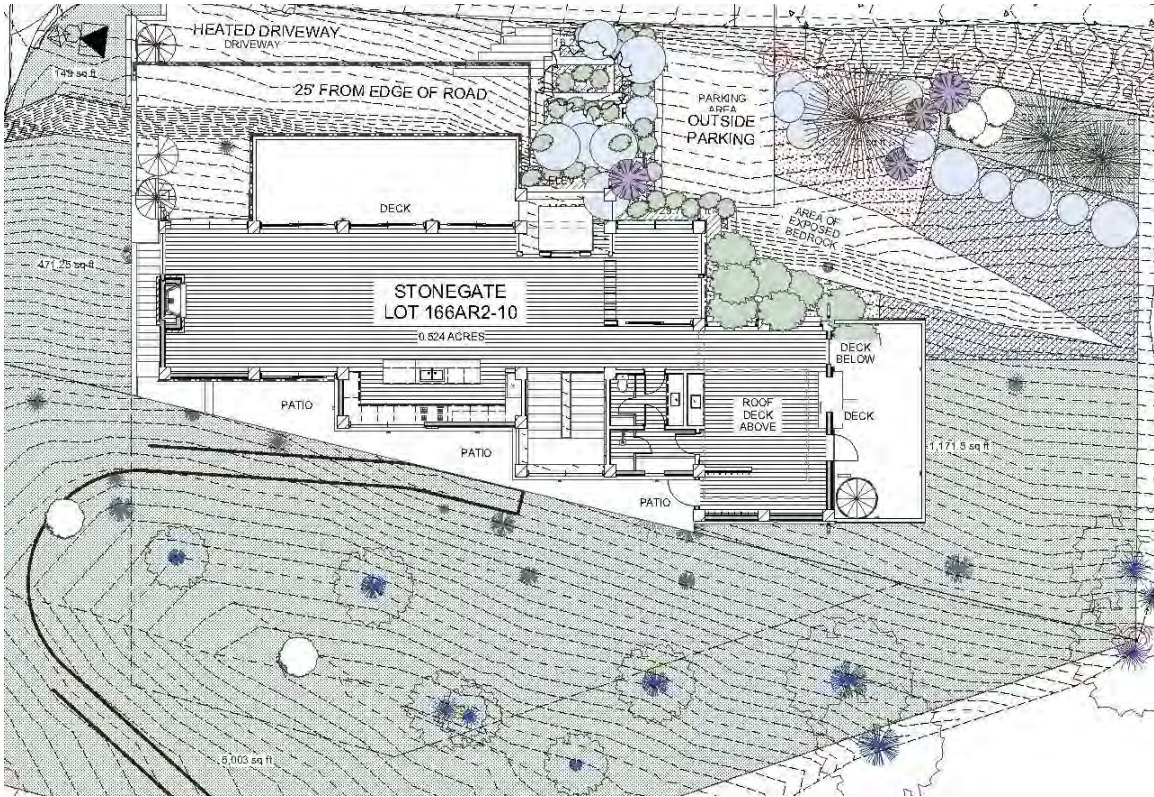


Figure 8: Landscape Plan

17.5.10: Trash, Recycling, and General Storage Areas

Staff: The applicant has shown the trash and recycling areas internal to the garage on the unit. This complies with the provisions of the CDC.

17.5.11: Utilities

Staff: Utilities are in the roadway for Stonegate Drive, and currently provide services to the home located directly to the north. The utility plan, as presented on sheet C3 within the submitted documentation, indicates that all utility connections will be coordinated with the proper authorities, including the Town of Mountain Village. The Public Works Department provided the following referral comments:

“Stonegate is an interesting part of the Town. The driveway in front of this site is private. Stonegate Drive stops short of this lot. The retaining walls in this area are the Towns. I know it doesn’t really make sense. Public Works will need to be involved in all details that have to do with cutting into the retaining walls. My records show there is an existing water and sewer tap. Public Works will work with the applicant to field verify the locations. It’s a difficult site but looks like they have a good plan. Make sure you focus in on the construction mitigation plan as it is a really tight site to build on.”

The Telluride Fire Protection District provided the following comments:

“This is a challenging location for TFPD in an emergency response. I met with the architect and the contractor on site a while back and I was going to require some kind of mitigation such as a standpipe from near the hydrant to the building to help overcome the grade and lack of a turnaround.”

17.5.12: Lighting Regulations

Staff: The applicant has provided an initial lighting plan on sheet A-005 and A900 of Exhibit A. This illustrated the lighting types and locations. The plan proposes the use of three exterior lighting fixtures: an exterior sconce, a step light, and recessed downlights at the entry. The wall sconces are proposed adjacent to the three garage doors, the step lights are proposed for the deck areas, and the recessed downlights are proposed for the entryway. Additional detail, including cut sheets are required as part of the lighting plan submission at final review. All lighting fixtures meet the requirements of the CDC.



Figure 9: Exterior Sconce



Figure 10: Step Light



Figure 11: Exterior recessed Downlights

17.5.13: Sign Regulations

Staff: The applicant is proposing wall-mounted address numbers to be placed on the north elevation facing Stonegate Drive, adjacent to the garages. The CDC allows homes that are located within 20' of the roadway to attach address identification numbers to the building with DRB and Fire District approval.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation Plan is not required for the initial review but was provided by the applicant. The applicant is required to provide it for the final review, and should incorporate the comments from the Town Forester as noted for the landscape plan.

The development is also proposed on a lot that generally exceeds 50% in slope. This requires a Specific Approval by the DRB, which is appropriate in this case due to the very steep slopes that exist across the entirety of the property.

17.6.6: Roads and Driveway Standards

Staff: As noted previously, the CDC requires at least 25' of backing space for garages that back out onto the road. This distance cannot be provided for the exterior space due to the unique nature of the site as well as Stonegate Drive/shared access bisecting the lot. Stonegate Drive and the shared driveway access is quite steep and narrow in this location. Prior to Final Architecture Review, the applicant should provide turning movement calculations to show that vehicles can safely enter and exit from the shared access drive into and out of the garages, and may need to look at widening the access to accommodate turning movements.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the fireplaces in the proposed structures will be natural gas, which meet the requirements of the CDC.

Chapter 17.7: BUILDING REGULATIONS

17.7.20: Construction Mitigation

Staff: A Construction Mitigation Plan was provided in the plan set. The applicant has indicated construction parking on the shared access, which will not be feasible due to the extremely narrow section of the driveway in this location. The plan for excavated materials will need to provide additional detail to ensure access is maintained for adjacent lots. The applicant will need to work with Public Works, the Fire District, and potentially neighboring properties on construction mitigation prior to any Final Architecture Review.

Town Forester: "The grouping of trees on the west side of the lot that are planned for retention are located very much in the center of what will constitute very intense construction activity (significant excavation to construct the retaining wall and the staging and crane setup area). Due to the very high level of activities that will be occurring in this location, a higher level of tree protection fencing will need to be specified on the plans. The plans need to state that "a 6-foot-tall chain link tree protection fence must be set up outside the driplines around of all trees to be retained. The fence supports must consist of steel posts set at a distance of 8 feet. No backfill, excavation, or entry of any kind is allowed with the area designated by the tree protection fencing. The tree protection fencing must be installed and approved by the Town Forester before any excavation may begin."

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Staff Recommendation: There are two items before DRB with this application, a recommendation to Town Council regarding a height variance, and an Initial Architectural and Site Review. In terms of the Height Variance Recommendation, Staff has provided a motion for both recommendation of approval and denial depending on the findings of DRB.

If DRB chooses to recommend **approval** of the **variance**, then staff suggests the following motion:

I move to recommend approval to Town Council of a maximum height variance of 6 feet above the allowable, per the height restrictions listed in the CDC for portions of a new single-family residence located at Lot 166AR2-10, TBD Stonegate Drive based on the evidence provided in the staff memo of record dated April 24, 2024, and the findings of this meeting.

If DRB chooses to recommend **denial** of the height **variance** then staff suggests the following motion:

I move to recommend denial to Town Council of a maximum height variance of 6 feet above the allowable, per the height restrictions listed in the CDC for portions of a new single-family residence located at Lot 166AR2-10, TBD Stonegate Drive based on the evidence provided in the staff memo of record dated April 24, 2024, and the findings of this meeting.

Staff suggests the following motion for **approval** of the Initial Architecture and Site Review (if the recommendation is for denial of the height variance request and Town Council also denies the height variance, then condition 1 brings this back to an Initial Review):

I move to approve the Initial Architecture and Site Review for a new single-family home located at Lot 166AR2-10, based on the evidence provided in the staff memo of record dated April 24, 2024, and the findings of this meeting, with the conditions as noted in the staff report.

With the following specific approvals:

Design Review Board Specific Approval:

- 1) *Parking Requirements – 1 exterior surface*
- 2) *Material: Metal Soffit and Fascia*
- 3) *Steep Slopes*

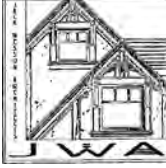
Conditions:

- 1) *Prior to final review the applicant will obtain approval from Town Council for the proposed height variance. If a variance is not approved, an updated Initial Review shall be required.*
- 2) *Prior to final review, the applicant shall revise the construction mitigation plan to remove all parking on Stonegate Drive and to address the comments of the Building Department with regard to parking and excavated materials.*
- 3) *Prior to final review, the applicant shall provide turning movement diagrams that demonstrate the feasibility of vehicles entering and exiting the garage spaces from Stonegate Drive.*
- 4) *Prior to final review, the applicant shall provide an updated landscape and fire mitigation plan showing compliance with the Fire Mitigation standards and the Town Forester's comments.*
- 5) *Prior to final review, the applicant shall work with Public Works and the Telluride Fire Protection District to locate a standpipe from the fire hydrant due to the steep site and lack of a firetruck turnaround.*
- 6) *Prior to final review, the applicant shall provide additional color details for roofing materials, window frames, garage doors, all exterior doors, and all other materials necessary to meet CDC guidelines.*
- 7) *Prior to final review, the applicant shall provide additional details on the layback and foundation plans to certify that no structures will be placed in either the no-build zone or in the general easement on the west and north sides of the structure, respectively.*
- 8) *Prior to Final Architecture Review, the applicant shall provide updated civil and site plans reflecting all infrastructure modifications for the site design.*
- 9) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum and average building height as well as accurately depict footer and foundation locations adjacent to the no-build zone and general easement.*

- 10) *The applicant shall work with Public Works and utility providers to finalize the utilities plan as a condition of approval prior to building permit.*
- 11) *The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.*
- 12) *A Knox Box for emergency access is recommended.*
- 13) *Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 75% since the application was submitted and deemed complete 2024.*
- 14) *Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) – Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.*
- 15) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
 - a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
 - b. *Wood that is stained in the approved color(s);*
 - c. *Any approved metal exterior material;*
 - d. *Roofing material(s); and*
 - e. *Any other approved exterior materials*
- 16) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*

Should the DRB choose to require additional information be provided prior to consideration of the Initial Architecture and Site Review, staff recommends the following motion:

I move to continue the Initial Architecture and Site Review for a new single-family home located at Lot 166AR2-10 to the _____, 2024, regular Design Review Board meeting.



8
NARRATIVE

4-17-24

To: Drew Nelson, Claire Perez,
Town of Mountain Village Planners
Community Development Department
Design Review Board
Mountain Village, CO

From: Jack Wesson
Jack Wesson Architects, Inc.
109 E. Colorado Ave. #2, Telluride CO
P.O. Box 2051
Telluride, CO 81435
(970) 519.1551
jwesson@me.com.com

Re: Preliminary Design Review Submission
for a Single Family Residence
Lot 166AR2-10 (Stonegate 10), Mountain Village

The applicant is submitting to the Design Review Board a design for a New single family residence that is compliant with the Mountain Village Land Use Ordinances and Design Guidelines but is requesting variance for height and a design variation allowing one exterior parking spaces and three interior spaces.

As previously mentioned the small building site is mostly exposed bedrock and the extremely steep slope is near vertical in places. It's the radical topography that informs the mining/mountain modern design aesthetic. The redesigned shallow gable roof form complies with the more restrictive subdivision plat note that determines the maximum allowable roof and chimney height to a set USGS elevation. There are three small areas that do require a height variance approval, two roof areas and a deck railing corner identified on the height calculation sheet.

All excavation is primarily removing bedrock, so it will either require blasting or hammer drilling, thus the design has attempted to limit the amount of excavation to a minimum. The vertical site and small available building footprint require a vertical building, in this case five levels. The house is elevated above the entry/garage to provide some yard area and ski run access.

At the direction of the first preliminary DRB review the applicant has made several changes to the building design to address their concerns. For example the new design minimizes the areas of non-height compliance substantially, terraces the building levels and increases the articulation/stepping of the face of the building, reduced the building size to increase building setbacks and expand the driveway width to 25'. Furthermore eliminates the southern exterior stair system. The elevator shaft is reconfigured and shifted into the center of the building.

The applicant believes the single exterior parking space variation was deemed acceptable and still has it as part of the application with the space being reconfigured, although with a less than 25' deep back out space, approximately 23' but a wider space than required to allow for a sharper turn.

The surface area calculation tabulations are as follows:

Stone:	41.27%
Wood:	18.36%
Glass:	20.44%
Metal:	19.92%

The list of conditions and response to each is listed below:

Conditions:

1) Prior to Town Council public hearing on the height variance request, the applicant shall revise the height drawings to accurately depict both existing and proposed grade to

verify that the maximum height request of 65'-2½" is accurate.

The applicant has revised the design, adding planters to reflect the pre-existing grading and thus reducing the apparent height of the elevator shaft (bottom 1-1/2 floors are underground). The applicant has shifted the elevator and the shaft element into the building to reduce the height significantly. The revised design lower the apparent shaft height approximately 20 feet.

2) Prior to final review the applicant will obtain approval from Town Council for the proposed height variance. If a variance is not approved, an updated Initial Review shall be required.

Applicant will apply for council review once preliminary DRB approval is attained.

3) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum and average building height as well as accurately depict footer and foundation locations adjacent to the no-build zone and general easement.

Applicant agrees.

4) Prior to final review, the applicant shall provide turning movement calculations for vehicles entering and exiting the garage spaces from Stonegate Drive.

The applicant has shifted the building to provide for a code compliant 25' depth between the garage door and driveway retaining wall.

5) Prior to final review, the applicant shall provide an updated landscape and fire mitigation plan showing compliance with the Fire Mitigation standards and the Town Forester's comments.

Applicant agrees.

6) The applicant shall work with Public Works and utility providers to finalize the utilities plan as a condition of approval prior to building permit.

Applicant agrees.

7) The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.

An Architectural note is included in drawing set regarding this requirement.

8) A Knox Box for emergency access is recommended.

A knox box requirement noted on the cover sheet.

9) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 75% since the application was submitted and deemed complete 2024.

A revised Housing Mitigation form has been included with this application.

10) Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) – Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.

Architectural notes are included in the drawing set regarding these requirements.

11) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials

Applicant Agrees.

12) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

13) Prior to final review, the applicant shall work with Public Works and the Telluride Fire Protection District to locate a standpipe from the fire hydrant due to the steep site and lack of a firetruck turnaround.

14) Prior to final review, the applicant shall provide additional color details for roofing materials, window frames, garage doors, all exterior doors, and all other materials necessary to meet CDC guidelines.

Applicant has provided additional material information in this submission.

15) Prior to final review, the applicant shall revise the site and grading plans to limit ski-in/ski-out access to one access to the property as required for the no-build zone.

The site plans indicate one ski access path location and minimal grading specifically for the path and appropriate drainage.

16) Prior to final review, the applicant shall revise the snowmelt plans to accurately calculate the amount of snowmelt proposed for the site and structure.

The applicant is providing an updated snow melt plan in this submission.

17) Prior to final review, the applicant shall provide additional details on the layback and foundation plans to certify that no structures will be placed in either the no-build zone or in the general easement on the west and north sides of the structure, respectively.

The applicant/general contractor will provide engineering/construction information related to these issues as part of the final DRB approval submission.

18) Prior to final review, the applicant shall revise the interior parking spaces to meet the required 9' x 18' dimensional requirements of the CDC, and confirm the 7.5' height requirement of the CDC for the exterior parking space beneath the exterior staircase.

The parking graphic has been updated to show the 9x18 space requirement. The exterior stair over the exterior parking space has been eliminated, eliminating a possible conflict.

19) Prior to final review, the applicant shall provide additional information indicating trash

and recycling locations on the site.

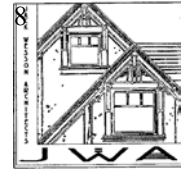
Trash and recycling locations are indicated on the plans (within the extra-deep garage).

20) Prior to final review, the applicant shall revise the lighting plan to remove or modify the exterior rail lighting per DRB direction.

The rail and handrail lights have been eliminated from the exterior lighting plans.

Sincerely,

Jack Wesson



NARRATIVE

4-17-24

To: Amy Ward, Claire Perez, Drew Nelson
Town of Mountain Village Planners
Community Development Department
Town Council
Design Review Board
Mountain Village, CO

From: Jack Wesson
Jack Wesson Architects, Inc.
109 E. Colorado Ave. #2, Telluride CO
P.O. Box 2051
Telluride, CO 81435
(970) 519.1551
jwesson@me.com.com

Re: Variance Design Review Submission
for a Single Family Residence
Lot166AR2-10 (Stonegate), Mountain Village

The applicant is requesting a height variance for two roof areas which are delineated on a special exhibit page. The two gable ends are approximately a maximum of 3' and 8' above the maximum height but for a limited area.

D. *Criteria for Decision.*

1. The following criteria shall be met for the review authority to approve a variance:
 - a. The strict development application of the CDC regulations would result in exceptional and undue hardship upon the property owner in the development of property lot because of special circumstances applicable to the lot such as size, shape, topography or other extraordinary or exceptional physical conditions;
As discussed the small building site is exposed bedrock and extremely steep. All excavation is primarily removing bedrock, so it will either require blasting or hammer drilling, thus the design has attempted to limit the amount of excavation to a minimum, although less so than the previous submission. The vertical site and small footprint require a vertical building, in fact the garage is five levels below the kitchen. This revised design has significantly reduced the height of variance requested to just 3'-5' in three separate but small areas.
 - b. The variance can be granted without substantial detriment to the public health, safety and welfare;

The extra height will not impact the public health, safety and welfare. It will not impact the adjacent homes view.

c. The variance can be granted without substantial impairment of the intent of the CDC;

The variance will not compromise or impair the intent of the CDC.

d. Granting the variance does not constitute a grant of special privilege in excess of that enjoyed by other property owners in the same zoning district, such as without limitation, allowing for a larger home size or building height than those found in the same zone district;

The Stonegate subdivision in general likely has the steepest topography of any within the Mountain Village, and this is likely the steepest building site in Stonegate. The applicant is aware that several Stonegate houses have requested variances in height, one of at least 11.5', although the applicant has not verified the approval outcome of each variance request. This application would not limit other properties from requesting a variance.

e. Reasonable use of the property is not otherwise available without granting of a variance, and the variance being granted is the minimum necessary to allow for reasonable use;

The elevator is a necessity on this site, a prerequisite for reasonable use. The applicant is attempting to position the elevator to minimize overall impacts (including construction) and allow for reasonable use by the developer (i.e. minimized costs) although this latest application less so than the previous in this regard.

f. The lot for which the variance is being granted was not created in violation of Town regulations or Colorado State Statutes in effect at the time the lot was created;

The applicant is unaware of any violations of Town regulations or State Statues by the creation of the lot.

g. The variance is not solely based on economic hardship alone; and

The variance trades height with construction impacts.

h. The proposed variance meets all applicable Town regulations and standards unless a variance is sought for such regulations or standards.

The applicant is requesting the height variance in accordance with the variance process.

2. It shall be the burden of the applicant to demonstrate that submittal material and the proposed development substantially comply with the variance review criteria.

The applicant has addressed all of the Criteria for Decision per the above narrative and with the associated 'complete documents required to be submitted

Sincerely,

Jack Wesson

BUILDING SUMMARY	
SITE PERMIT NUMBER:	-
BUILDING PERMIT NUMBER:	-
PROJECT ADDRESS:	10 STONEGATE DRIVE
BLOCK:	-
LOT:	LOT 166AR2-10
LOT AREA:	22,843.5 SQ. FT.
ZONING DISTRICT:	SINGLE FAMILY
PROPOSED USE:	RESIDENTIAL
NUMBER OF STORIES:	3
NUMBER OF SUB-LEVELS:	2
A Knox Box for emergency access is recommended.	
FIRE SPRINKLERS REQUIRED- monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system	

ABBREVIATIONS & SYMBOLS	
WALL, BUILDING OR MISCELLANEOUS SECTION NO. DRAWING NO.	
INTERIOR ELEVATION NO. SHEET NO.	
ROOM NAME ROOM NO.	
DOOR NO.	
ELEVATION WINDOW NO.	
FRAME WALL	
BRICK/STONE VENEER	
SPOT ELEVATION	
ROOF SLOPE	

A.B.	AS BUILT / ANCHOR BOLT	MAX.	MAXIMUM
A.C.T.	ACOUSTICAL CEILING TILE	MECH.	MECHANICAL
ADJ.	ADJUSTABLE	MFG.	MANUFACTURER
A.F.F.	ABOVE FINISH FLOOR	M.H.	MANHOLE
ALT.	ALTERNATE	MIN.	MINIMUM
ALUM.	ALUMINIUM	MISC.	MISCELLANEOUS
BD.	BOARD	M.L. / ML	MICRO-LAM
BLDG.	BUILDING	M.L.R./MB	MICRO-LAM BEAM.
BOT.	BOTTOM	N.I.C.	NOT IN CONTRACT
BYND.	BEYOND	NO.	NUMBER
C.A.T.V.	CABLE TELEVISION LINE	N.T.S.	NOT TO SCALE
C.J.	CONTROL JOINT	O.C.	ON CENTER
C.M.U.	CONCRETE MASONRY UNIT	O.P.	OUTSIDE DIAMETER
COL.	COLUMN	OPNG.	OPENING
CONC.	CONCRETE	OPP.	OPPOSITE
CONT.	CONTINUOUS	PERF.	PERFORATED
CTR.	CENTER	P.L.	PROPERTY LINE
DET.	DETAIL	P.LAM.	PLASTIC LAMINATE
DIAG.	DIAGONAL ELECTRIC LINE	POL.	POLISHED
EA.	EACH	PR.	PAIR
E.J.	EXPANSION JOINT	PTD.	PAINTED
EQ.	EQUAL	REQ'D.	REQUIRED
EXP. JT.	EXPANSION JOINT	RM.	ROOM
EXT.	EXTERIOR	R.O.	ROUGH OPENING
FIN.FLUF.F.	FINISHED FLOOR	SCHED.	SCHEDULE
FIN. GR.	FINISH GRADE FLOOR	SHT.	SHEET
F.S.P.	FIRE STAND PIPE	SIM.	SIMILAR
F.V.	FIELD VERIFY	SPEC.	SPECIFICATION
GA.	GAUGE	SQ. FT.	SQUARE FEET
GALV.	GALVANIZED	SQ. IN.	SQUARE INCHES
GBX.	GYPSPUM BOARD TYPEX	STD.	STANDARD
GL.	GLASS	STL.	STEEL
GB.	GYPSPUM WALL BOARD	TC.	TOP OF CURB.
H.C.	HOLLOW CORE	T & G.	TONGUE & GROOVE
H.M.	HOLLOW METAL	T.O.C.	TOP OF CONCRETE
HORIZ.	HORIZONTAL	T.O.S.	TOP OF SLAB
HVAC.	HEATING VENTILATION	TYP.	TYPICAL
I.D.	INSIDE DIAMETER	T.	TELEPHONE LINE
IN.	INCH / INCHES	U.B.C.	UNIFORM BUILDING CODE
INSUL.	INSULATION	U.N.O.	UNLESS NOTED OTHERWISE
JT.	JOINT	VERT.	VERTICAL
LAM.	LAMINATED	V.I.F.	VERIFY IN FIELD
LAV.	LAVATORY	WD.	WOOD

CODE SUMMARY	
BUILDING CODE:	INTERNATIONAL RESIDENTIAL CODE (2012) INTERNATIONAL ELECTRICAL CODE (2012) INTERNATIONAL FIRE CODE (2012) INTERNATIONAL MECHANICAL CODE (2012) INTERNATIONAL PLUMBING CODE (2012)
ENERGY CODE:	NATIONAL ENERGY CODE (2017)
TYPE OF CONSTRUCTION:	TYPE 5-B
OCCUPANCY:	R-3
BUILDING AREA:	7,681 SF LIVING 8,780 TOTAL
130 LB GROUND SNOW LOAD, 90 MPH EXPOSURE C WIND, FROST DEPTH 48"	

GENERAL NOTES	
GN01- CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, AND DRAWINGS WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.	
GN02- MATERIALS AND ASSEMBLIES: ALL WORK SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, O.S.H.A. REQUIREMENTS, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUB-CONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP.	
GN03- CONTRACTOR TO REVIEW GEO-TECHNICAL REPORT FOR BUILDING SYSTEM RECOMMENDATIONS. SHOULD UNEXPECTED SITE CONDITIONS ARISE DURING EXCAVATION, THE ARCHITECT AND GEO-TECHNICAL ENGINEER SHALL BE NOTIFIED FOR A SITE EVALUATION OF EXISTING CONDITIONS.	
GN04- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH THE FLOORS, CEILING AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS.	
GN05- ALL REQUIRED WORK SHALL BE PERFORMED BY THE CONTRACTOR UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE "CONTRACTOR" INCLUDE GENERAL CONTRACTOR AND HIS/HER SUBCONTRACTORS. THEY SHALL BE ONE AND THE SAME.	
GN06- THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE BUILDING PERMITS, ALL NECESSARY INSPECTIONS AND THE CERTIFICATE OF OCCUPANCY.	
GN07- THE CONTRACTOR SHALL COMPARE AND SUBMIT AS REQUIRED TO MANUFACTURERS AND OWNER ALL MATERIAL, FIXTURE AND APPLIANCE WARRANTIES.	
GN08- THE JOBSITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY MANNER, FREE OF TRASH AND CONSTRUCTION DEBRIS. THE CONTRACTOR SHALL PROVIDE FOR RECYCLING AT THE JOB SITE.	
GN09- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL MATERIALS BEING DELIVERED TO THE PROJECT AND THE PROTECTION OF NEIGHBORING PROPERTIES.	
GN10- THE CONTRACTOR SHALL COORDINATE WITH ALL EQUIPMENT MANUFACTURERS FOR EQUIPMENT ROUGH-IN REQUIREMENTS.	
GN11- THE CONTRACTOR SHALL VERIFY REQUIRED LOCATIONS OF ALL NECESSARY ACCESS PANELS IN ALL PARTITIONS, FLOORS, CEILING, AND WALLS AND COORDINATE EXACT LOCATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION. ALL ACCESS PANELS SHALL BE INSTALLED FLUSH TO SURFACE WITH NO TRIM.	
GN12- FOR THIS PROJECT, DATUM 100.00' IS SET AT FINISH FLOOR, MAIN LEVEL OF THE UNIT.	
GN13- DATUM ELEVATIONS ARE GIVEN TO TOP OF FINISH FLOOR. ALL OTHER FINISH MATERIALS ARE ADDED TO THESE GIVEN ELEVATIONS UNLESS OTHERWISE NOTED.	
GN14- DO NOT OBTAIN DIMENSIONS BY SCALING DRAWINGS - USE WRITTEN DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE PROJECT ARCHITECT BEFORE THE COMMENCEMENT OF WORK.	
GN15- UNLESS OTHERWISE NOTED, DIMENSIONS ARE TAKEN TO THE FOLLOWING IN ORDER OF PRIORITY:	
A. GRID LINES	
B. FLOOR LINES	
C. WORK POINTS	
D. STRUCTURAL STEEL	
E. FACE OF STUD	
F. FACE OF CONCRETE	
G. FACE OF FINISH	

GN16- UNLESS OTHERWISE NOTED, DIMENSIONS ARE ASSUMED TO BE:	
A. PLUMB	
B. LEVEL	
C. SQUARE	
E. PARALLEL	
F. TO ESTABLISHED AXES OR BASELINES AS ESTABLISHED BY DIMENSIONAL OR ANGULAR NOTATIONS	
GN17- ALL GLASS MUST CONFORM TO CODE REQUIREMENTS FOR SAFETY GLAZING.	
GN18- MATERIALS, WHERE REQUIRED, ARE TO HAVE AN UL LABEL IN AN INCONSPICUOUS BUT VISIBLE LOCATION.	
GN19- SIZES, DIMENSIONS, LOCATIONS, AND DETAILS OF PLANTERS, TREE GATES, CONCRETE FINISH, TILE PATTERNS, GRADING, SITE LIGHTING, ETC., ASSOCIATED WITH LANDSCAPE ARE SHOWN ON LANDSCAPE DRAWINGS.	
GN20- SIZES, DIMENSIONS, LOCATIONS AND DETAILS OF UTILITY LINES, AGGREGATE BASES, SPOT ELEVATIONS ETC., ASSOCIATED WITH CIVIL ARE SHOWN ON THE CIVIL DRAWINGS.	
GN21- SIZES, DIMENSIONS, LOCATIONS AND DETAILS OF STRUCTURAL MEMBERS, BEAMS, SLABS, WALLS, OPENINGS, ETC., ARE SHOWN ON STRUCTURAL DRAWINGS.	
GN22- SIZES, DIMENSIONS, LOCATIONS AND DETAIL OF REGISTERS, DUCTS, EQUIPMENT, WALL OPENINGS, LOUVERS, ACCESS HATCHES, EQUIPMENT CURBS, VENTS, ETC., ASSOCIATED WITH HEATING VENTILATING AND AIR CONDITIONING ARE CONTAINED ON THE MECHANICAL DRAWINGS. COORDINATE LOCATION OF REGISTERS WITH ARCHITECTURAL REFLECTED CEILING PLAN.	

SITE PLAN GENERAL NOTES	
SPGN01- CONTRACTOR TO CONFIRM ALL UTILITY LOCATIONS WITH EACH UTILITY AGENCY PRIOR TO EXCAVATION.	
SPGN02- CONTRACTOR TO VERIFY ALL FLOOR ELEVATIONS PRIOR TO EXCAVATION.	
SPGN03- CONTRACTOR TO PROTECT ALL TREES ON PROPERTY & ADJACENT PROPERTIES THAT EXTEND OVER PROPERTY LINE.	
SPGN04- THE PROJECT SHALL COMPLY WITH THE TOWNS FIRE MITIGATION STANDARDS	
SPGN05- THE PROJECT SHALL COMPLY WITH THE ADOPTED TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE ENERGY CODE AND GREEN BUILDING STANDARDS.	

DRB notes:	
-Areas disturbed within the General Easement utilized during construction shall be returned to the pre-disturbed condition before the project's issuance of a certificate of occupancy.	
-Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.	
-Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.	
-Prior to issuance of a CO, the property owner will enter into a Road Right of Way and General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the road right of way and general easement encroachments approved.	
-A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height (consistent with CDC Section 17.3.12.C.)	
-A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.	
-Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:	
Stone: setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4')	
Wood that is stained in the approved color(s)	
Any approved metal exterior material	
Roofing material(s)	
Any other approved exterior materials	
-All areas of glazing to be specified as non-reflective material.	

DRAWING INDEX	
ARCHITECTURAL	CIVILS
G-001 COVER SHEET	C1 SITE PLAN C2 GRADING PLAN C3 UTILITY PLANS C4 SLOPE STUDY
SURVEY	
A-001 SITE PLAN A-002 FIRE MITIGATION PLAN A-003 CONSTRUCTION STAGING A-004 LANDSCAPING PLAN A-005 EXTERIOR LIGHTING PLAN A-006 SNOW MELT PLAN A-007 AREA CALCUACTIONS A-008 MATERIAL CALCULATIONS	
A-101 LEVEL 1 FLOOR PLAN A-102 LEVEL 2 FLOOR PLAN A-103 LEVEL 3 FLOOR PLAN A-104 LEVEL 4 FLOOR PLAN A-105 LEVEL 5 FLOOR PLAN A-110 ROOF PLAN	
A-201 NORTH ELEVATION A-202 WEST ELEVATION A-203 SOUTH ELEVATION A-204 EAST ELEVATION	
A-500 ROOF DETAILS A-501 WINDOW DETAILS A-502 DOOR DETAILS	
A-800 SCHEDULES	
A-900 LIGHTING SPECS A-901 MATERIAL SAMPLE PHOTOS	

PROJECT AXONOMETRIC



PROJECT DIRECTORY

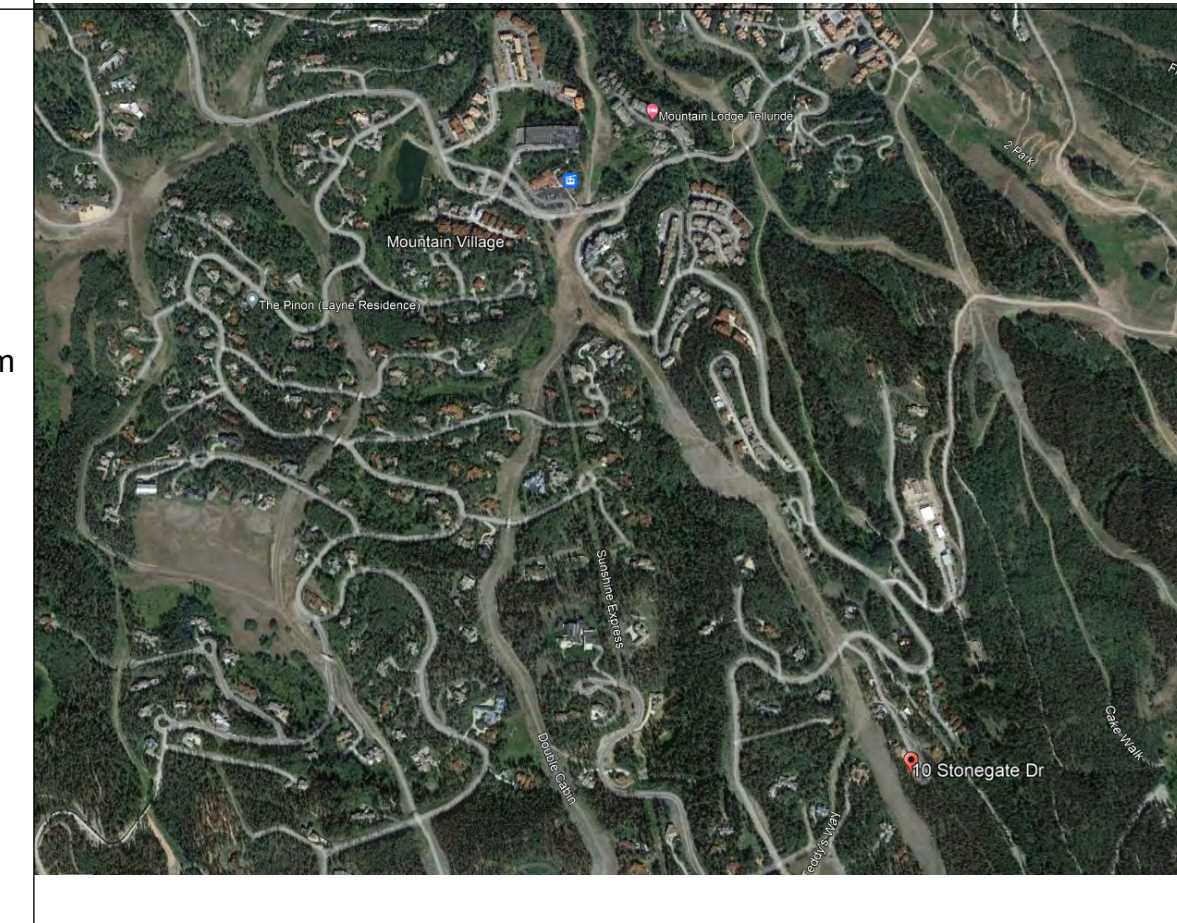
OWNER/CONTRACTOR JACK WESSON ARCHITECTS, INC. PO BOX 457 TELLURIDE, CO 81435 T 970.728.9755 jwesson@me.com adam.birk@gmail.com	CIVIL ENGINEER Drew S. Ruderman, P.E. Owner & Professional Engineer Black Canyon Engineers 447 E. Main St. Montrose, CO 81401 Office / Cell: (970) 568-5392 Fax: (877) 586-8583 www.BlackCanyonEngineers.com
ARCHITECT JACK WESSON ARCHITECTS, INC. PO BOX 457 TELLURIDE, CO 81435 T 970.728.9755 jwesson@me.com adam.birk@gmail.com	SURVEY INFORMATION ALL POINTS LAND SURVEYING PO BOX 754 OPHIR, CO 81435 T 970 708 9694 allpointslandsurvey@gmail.com


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A-900 LIGHTING SPECS A-901 MATERIAL SAMPLE PHOTOS	

PROJECT DIRECTORY



VICINITY MAP





JACK WESSON
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jack@wessonarch.com
www.jackwessonarchitects.com

STONEGATE 10

NOT FOR CONSTRUCTION

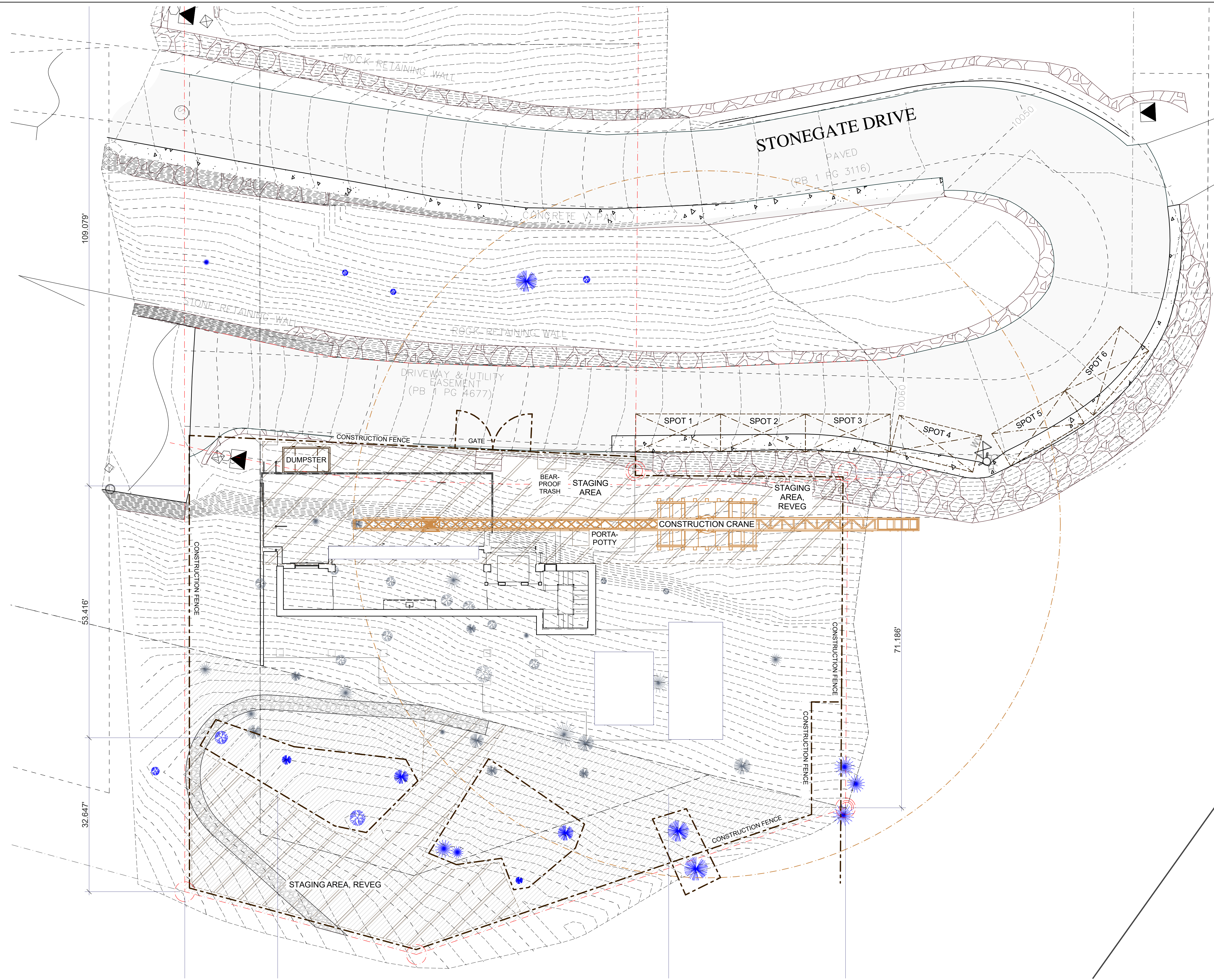
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3-8-24			DRB HEIGHT CALCS
3-15-24			DRB APPLICATION
12-23			DRB MATERIAL CALC
11-30-23			DRB SITE PLANS
7-13-23			SCHEMATIC DESIGN 2
6-21-23			SCHEMATIC DESIGN 1

PROJECT NAME: SINGLE FAMILY
PROJECT MANAGER: LOT 10, STONEGATE MOUNTAIN VILLAGE, CO
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REVIEWED BY:
ARCHITECT'S STAMP:

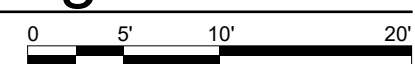
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LOT 10, STONEGATE MOUNTAIN VILLAGE, CO
SHEET DESCRIPTION: Cover Sheet, Notes & Legends
SHEET NUMBER: G-001

D:\WORK\STONEGATE LOT 10\DRAWINGS\STONEGATE 2 4-9-24.pln

D:\WORK\STONEGATE LOT 10\DRAWINGS\STONEGATE 2 4-9-24.pln



1 Construction Staging Plan
SCALE: 1" = 10'



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
4-11-24		REDESIGN OPT.
3-8-24		DRB HEIGHT CALCS
3-15-24		DRB APPLICATION
12-8-23		2nd DRB MATERIAL CALC.
11-30-23		2nd DRB SITE PLANS
7-13-23		SCHEMATIC DESIGN 2
6-21-23		SCHEMATIC DESIGN 1

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO
DRAWN BY:
REVIEWED BY:
ARCHITECTS STAMP:

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO
SHEET DESCRIPTION:
CONSTRUCTION STAGING
SHEET NUMBER:
A-003



JACK WESSON

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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
4-11-24		REDESIGN OPT.
3-8-24		DRB HEIGHT CALCS
3-15-24		DRB APPLICATION
12-8-23		DRB MATERIAL CALC
11-30-23		DRB SITE PLANS
7-13-23		SCHEMATIC DESIGN 2
6-21-23		SCHEMATIC DESIGN 1

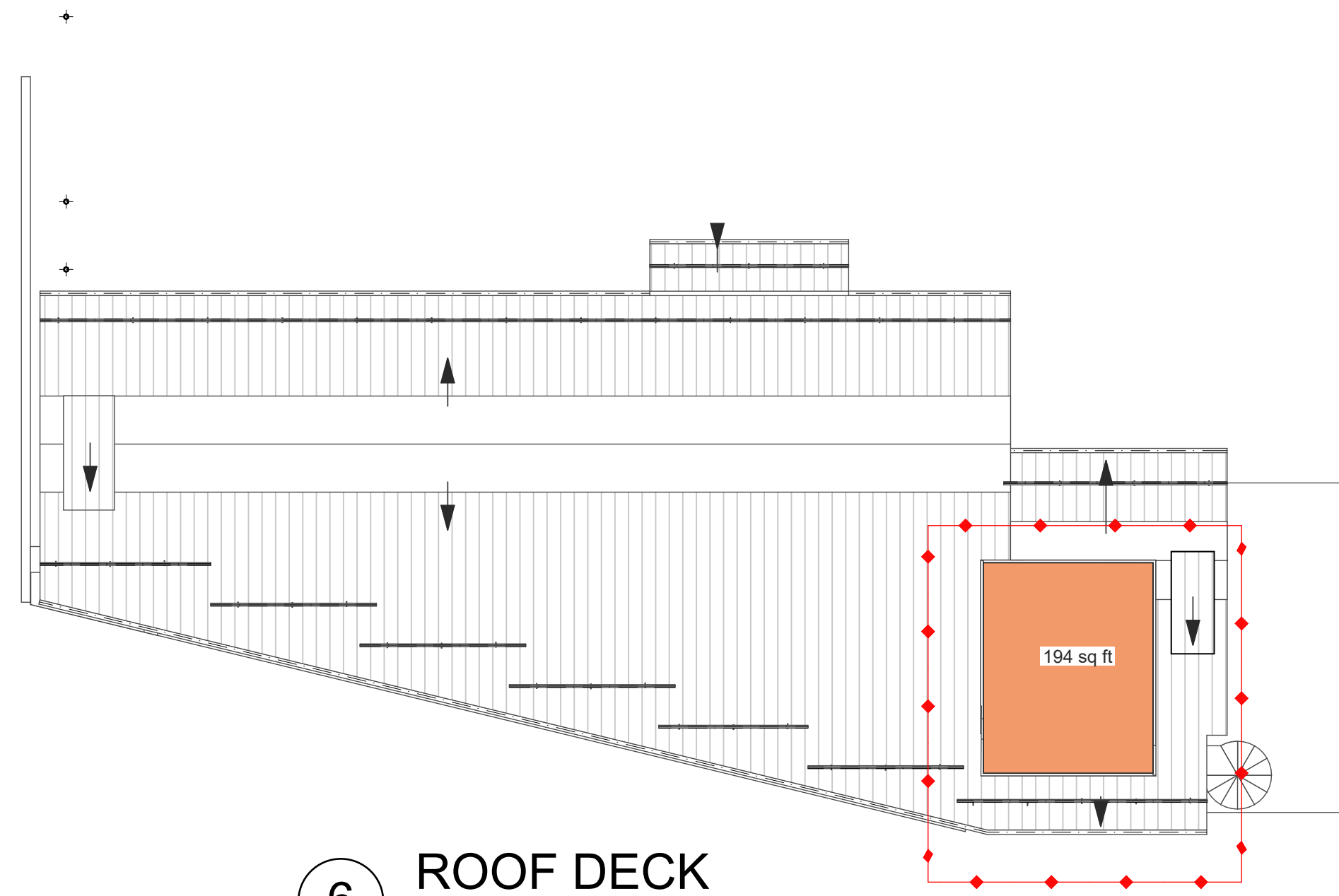
PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

PROJECT MANAGER:
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REVIEWED BY:
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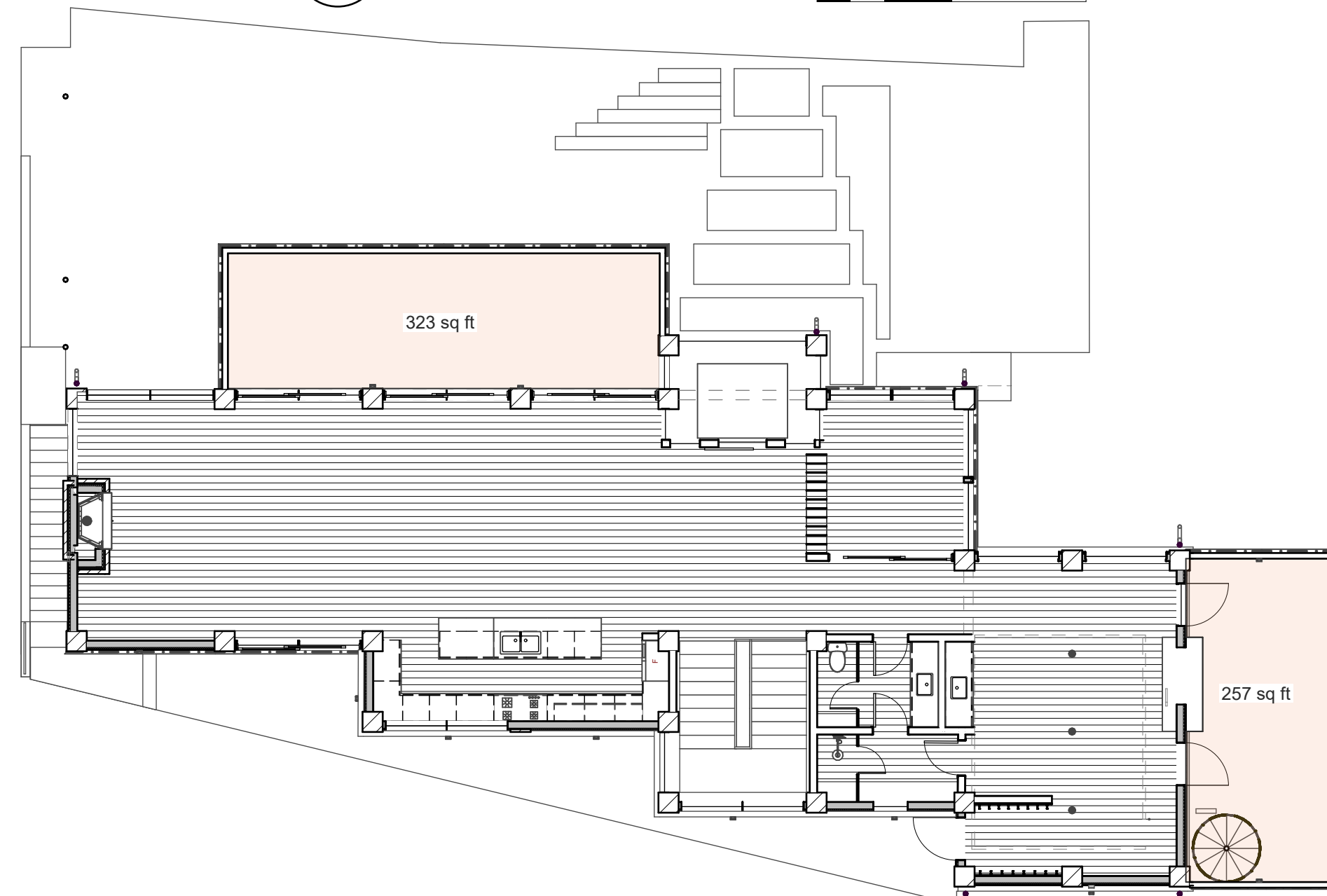
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SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
SNOW MELT

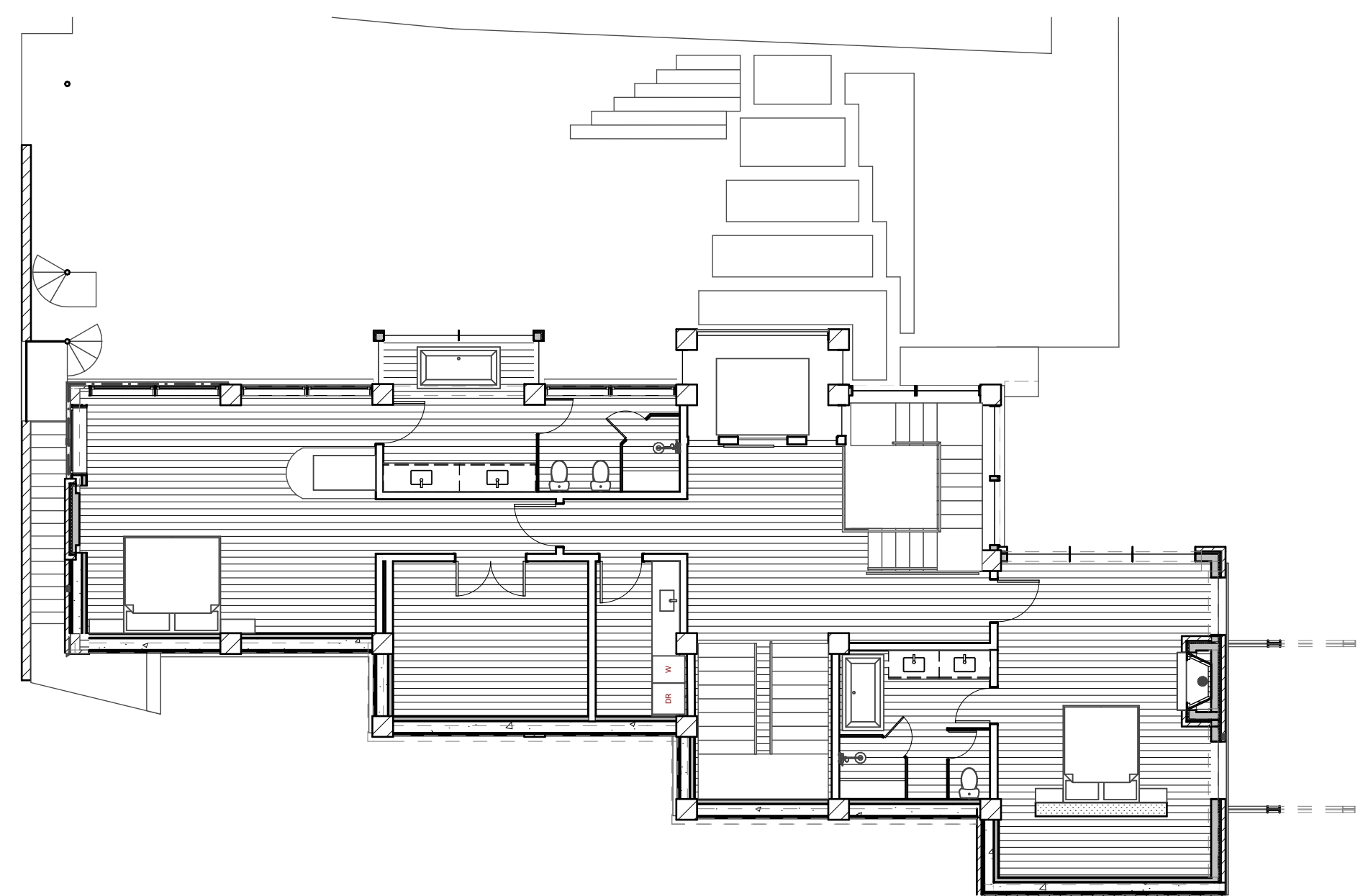
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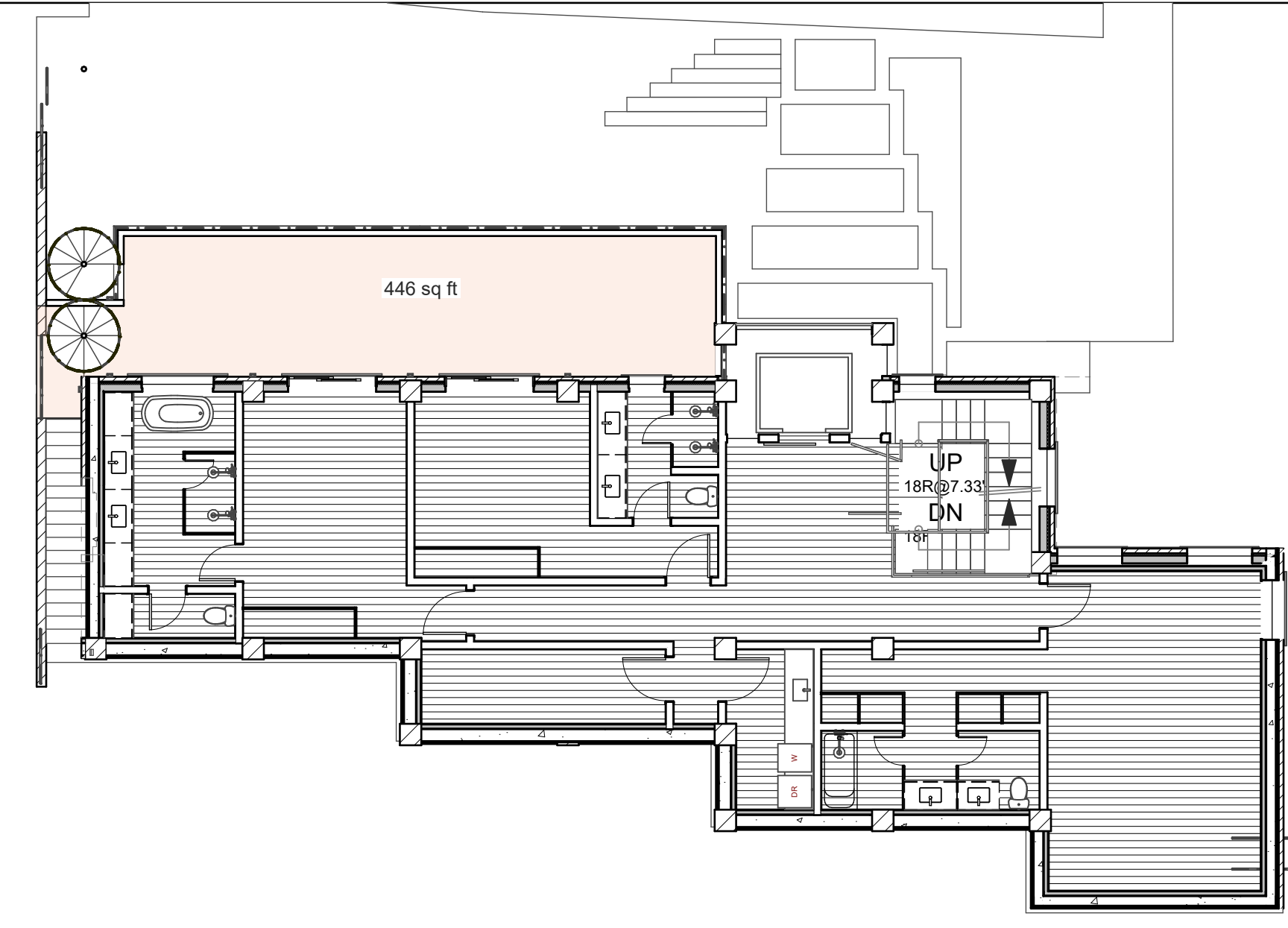
6 ROOF DECK
SCALE: 1" = 10'



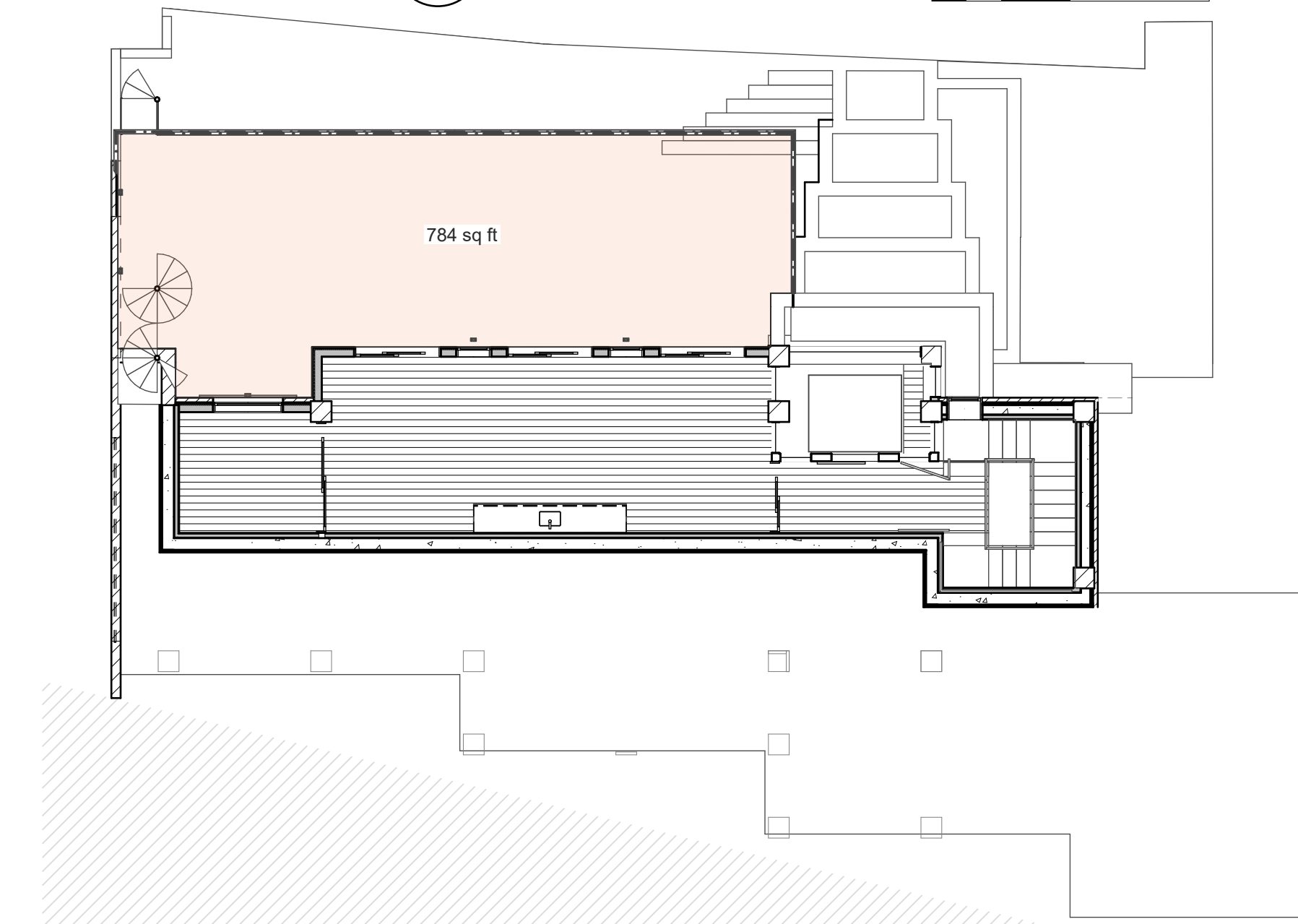
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SCALE: 1" = 10'



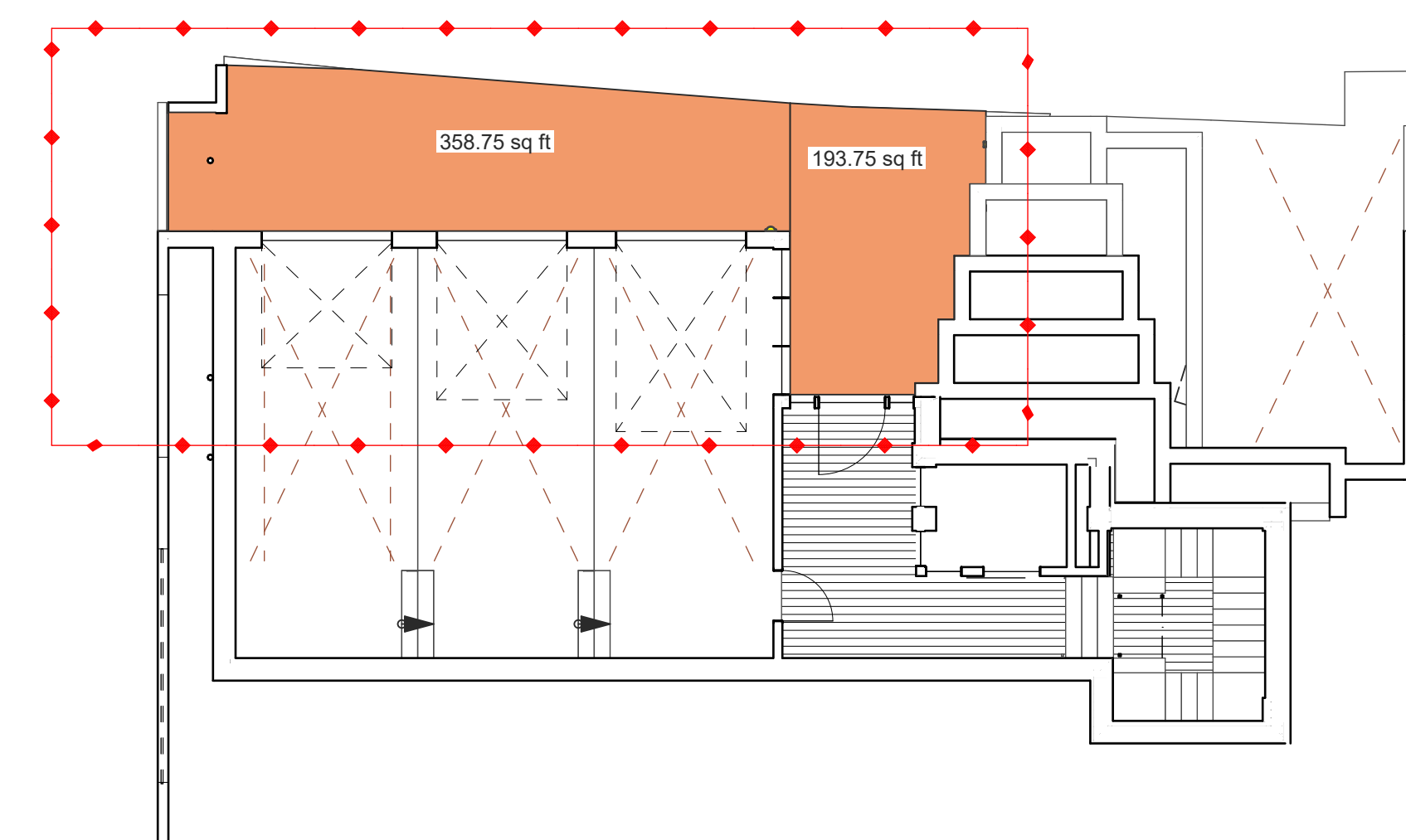
4 LEVEL 4
SCALE: 1" = 10'



3 LEVEL 3
SCALE: 1" = 10'



2 LEVEL 2
SCALE: 1" = 10'



1 LEVEL 1
SCALE: 1" = 10'

SNOW MELT AREA

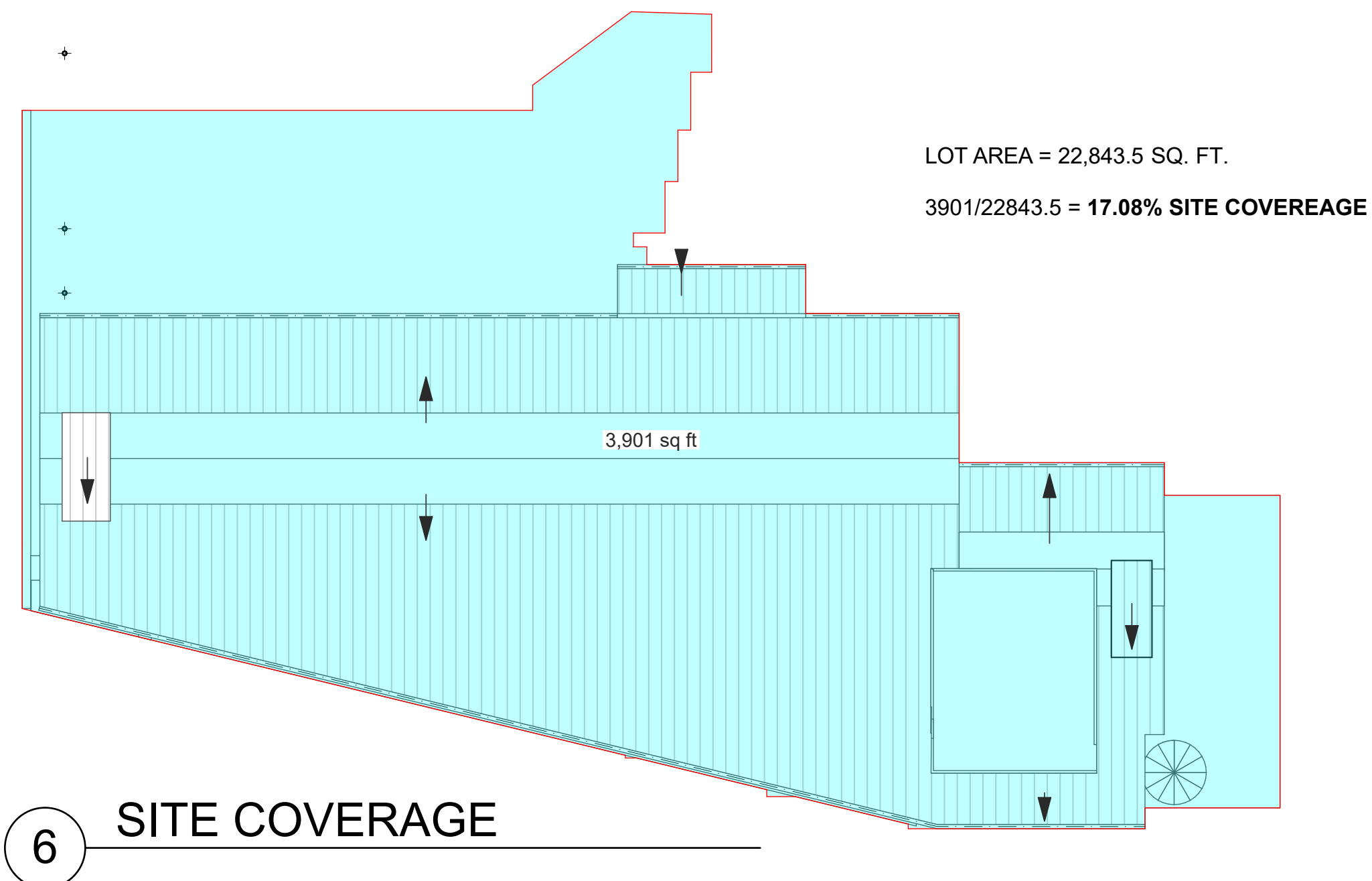
LEVEL 1 DRIVE AND ENTRY WALK
358.75 + 193.75 = 552.5 SF

ROOF DECK
194 SF

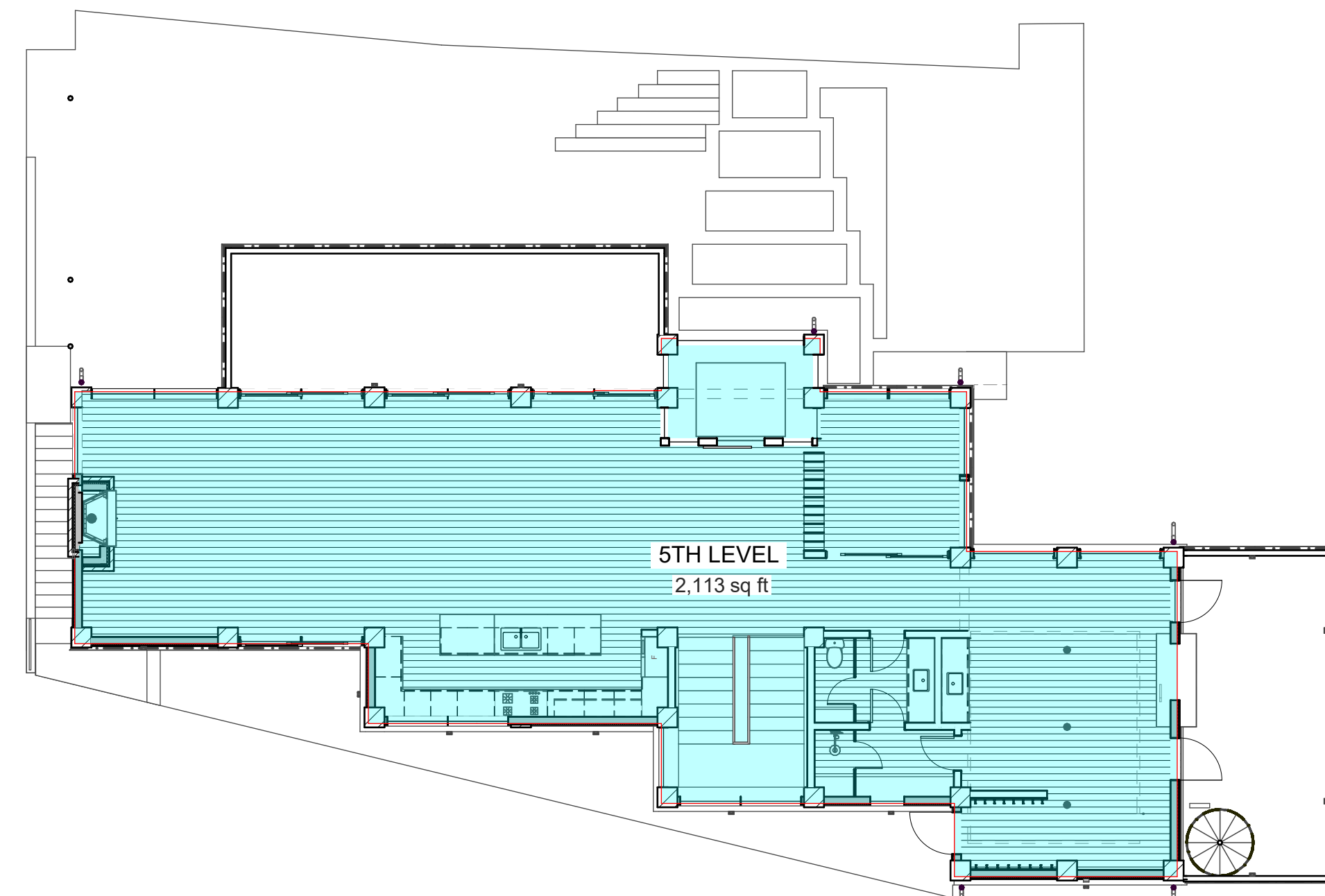
**TOTAL
746.5 SF**

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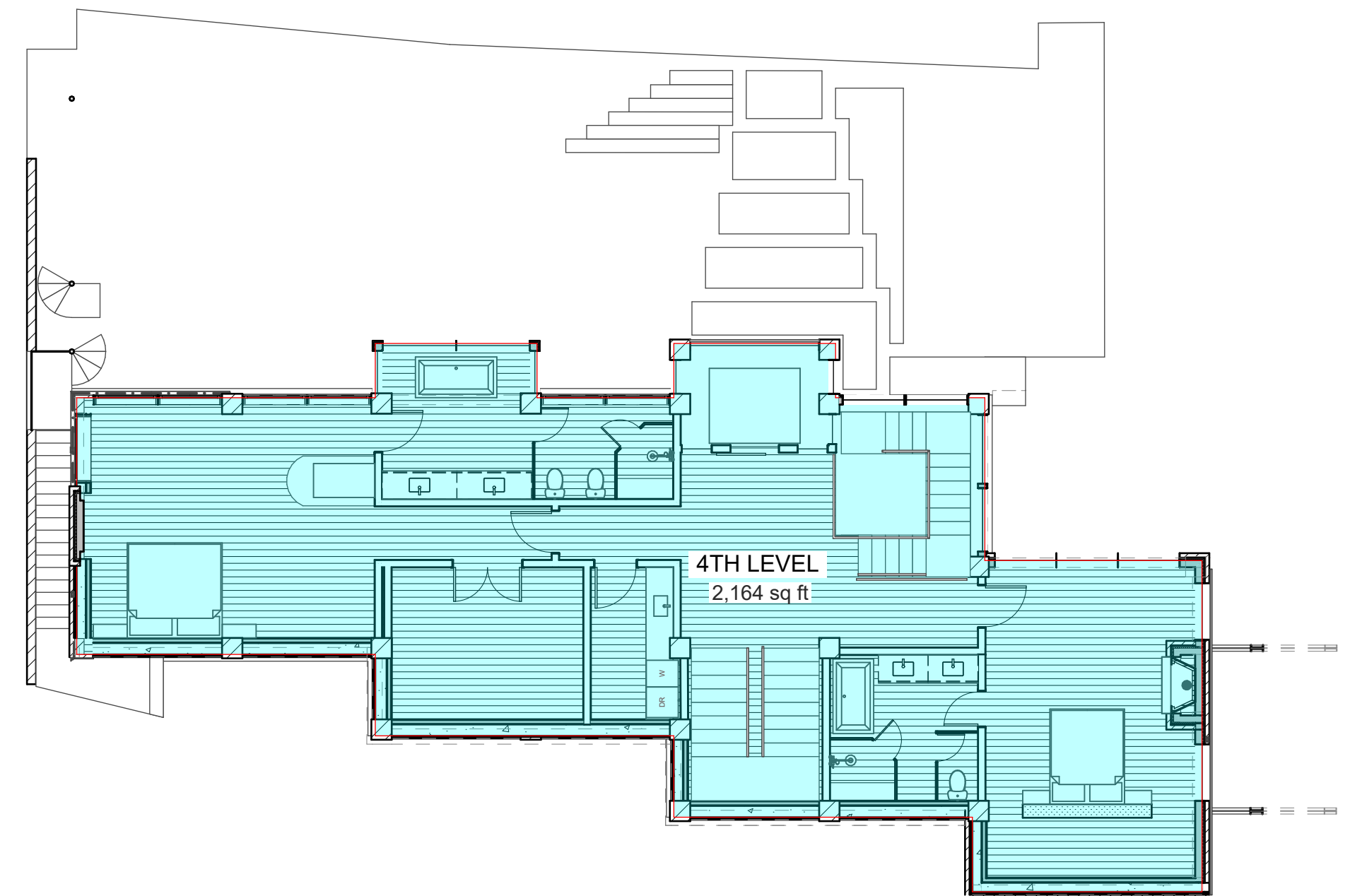
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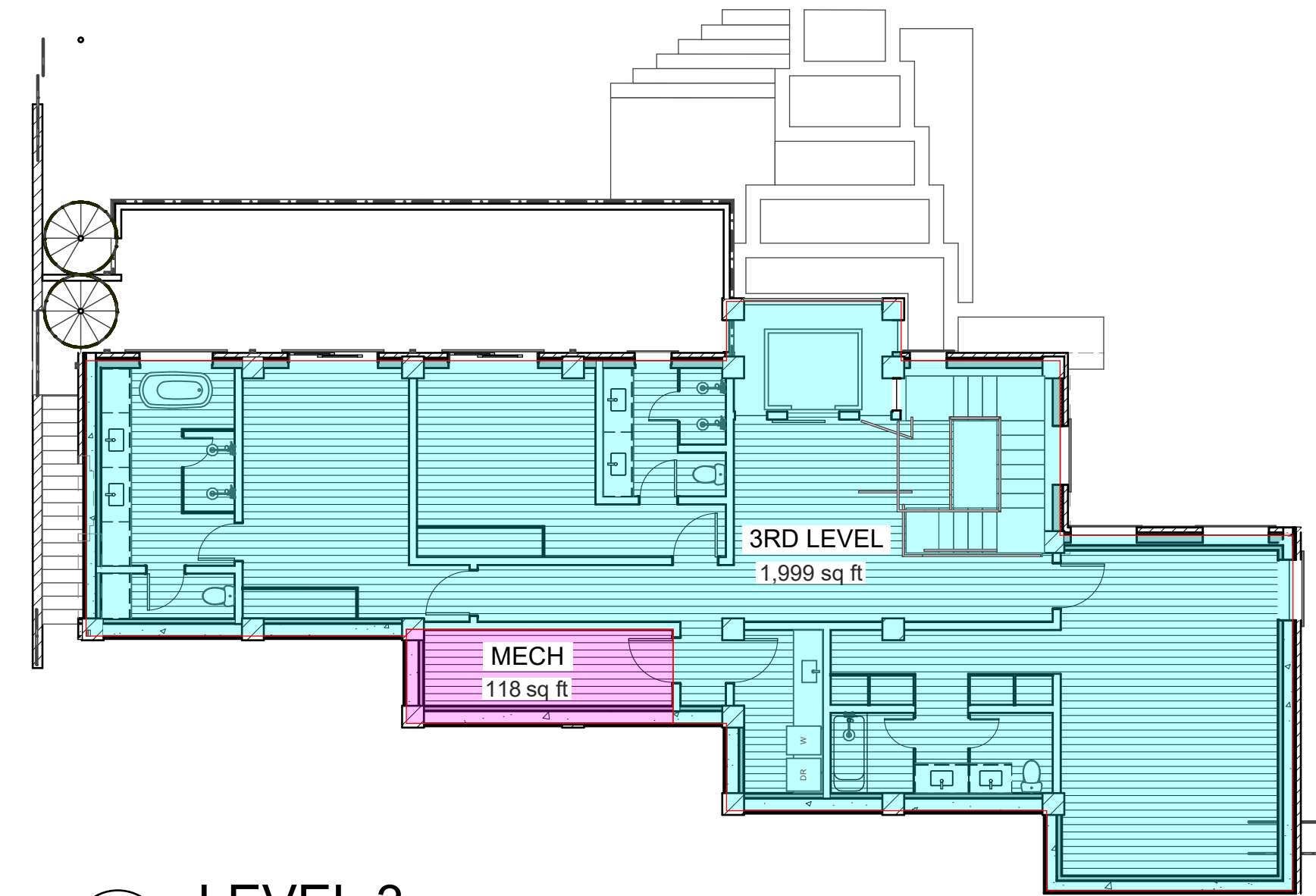
6 SITE COVERAGE



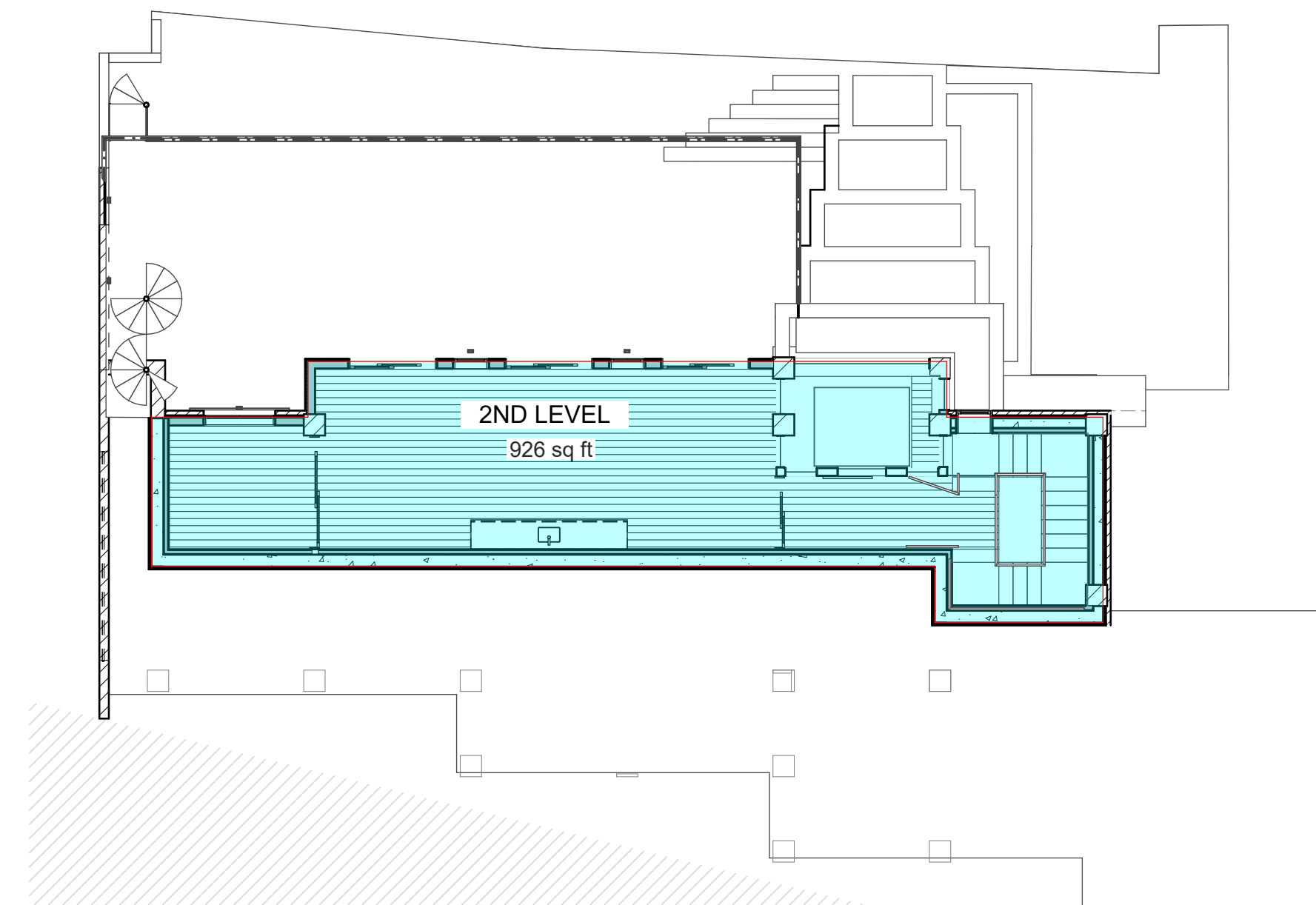
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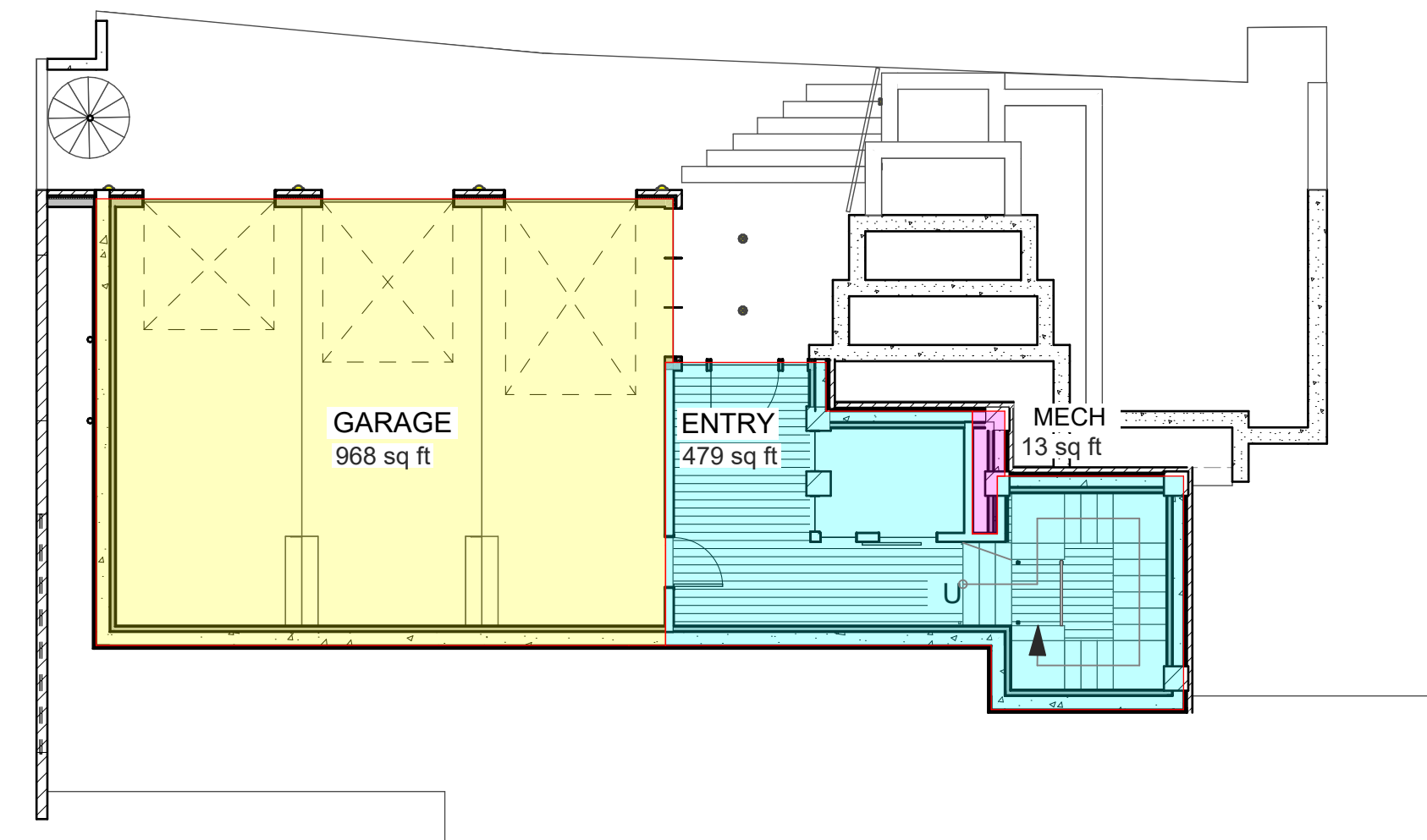
4 LEVEL 4



3 LEVEL 3



2 LEVEL 2



1 LEVEL 1

AREA CALCS	
LEVEL 1	
LIVING	479
GARAGE	968
MECH	13
LEVEL 2	
LIVING	926
LEVEL 3	
LIVING	1999
MECH	118
LEVEL 4	
LIVING	2164
LEVEL 5	
LIVING	2113
TOTALS	
LIVING	7681
MECH	131
GARAGE	968
TOTAL	8780



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
4-11-24		REDESIGN OPT.
3-8-24		DRB HEIGHT CALCS
3-15-24		DRB APPLICATION
12-8-23		2nd-DRB MATERIAL CALC
11-30-23		2nd-DRB SITE PLANS
7-13-23		SCHEMATIC DESIGN 2
6-21-23		SCHEMATIC DESIGN 1

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

DRAWN BY:
REVIEWED BY:
JWA

ARCHITECT'S STAMP

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
AREA CALCS

SHEET NUMBER:
A-007



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STONEGATE 10

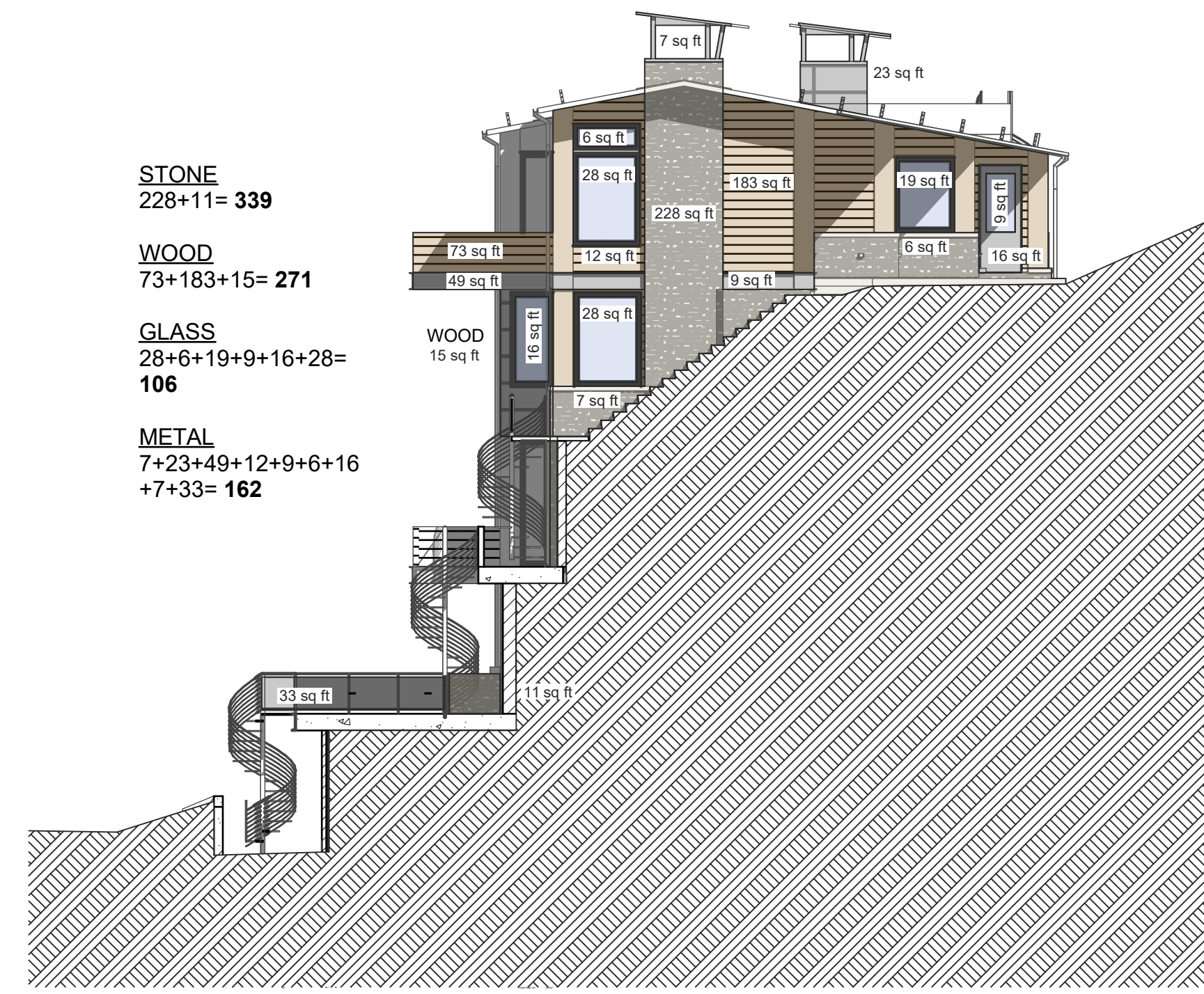
NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
4-11-24		REDESIGN OPT.
3-6-24		DRG HEIGHT CALCS
3-16-24		DRG APPLICATION
12-2-23		PRE-DRG MATERIAL CALCS
11-30-23		PRE-DRG SITE PLANS
7-13-23		SCHEMATIC DESIGN 2
6-21-23		SCHEMATIC DESIGN 1

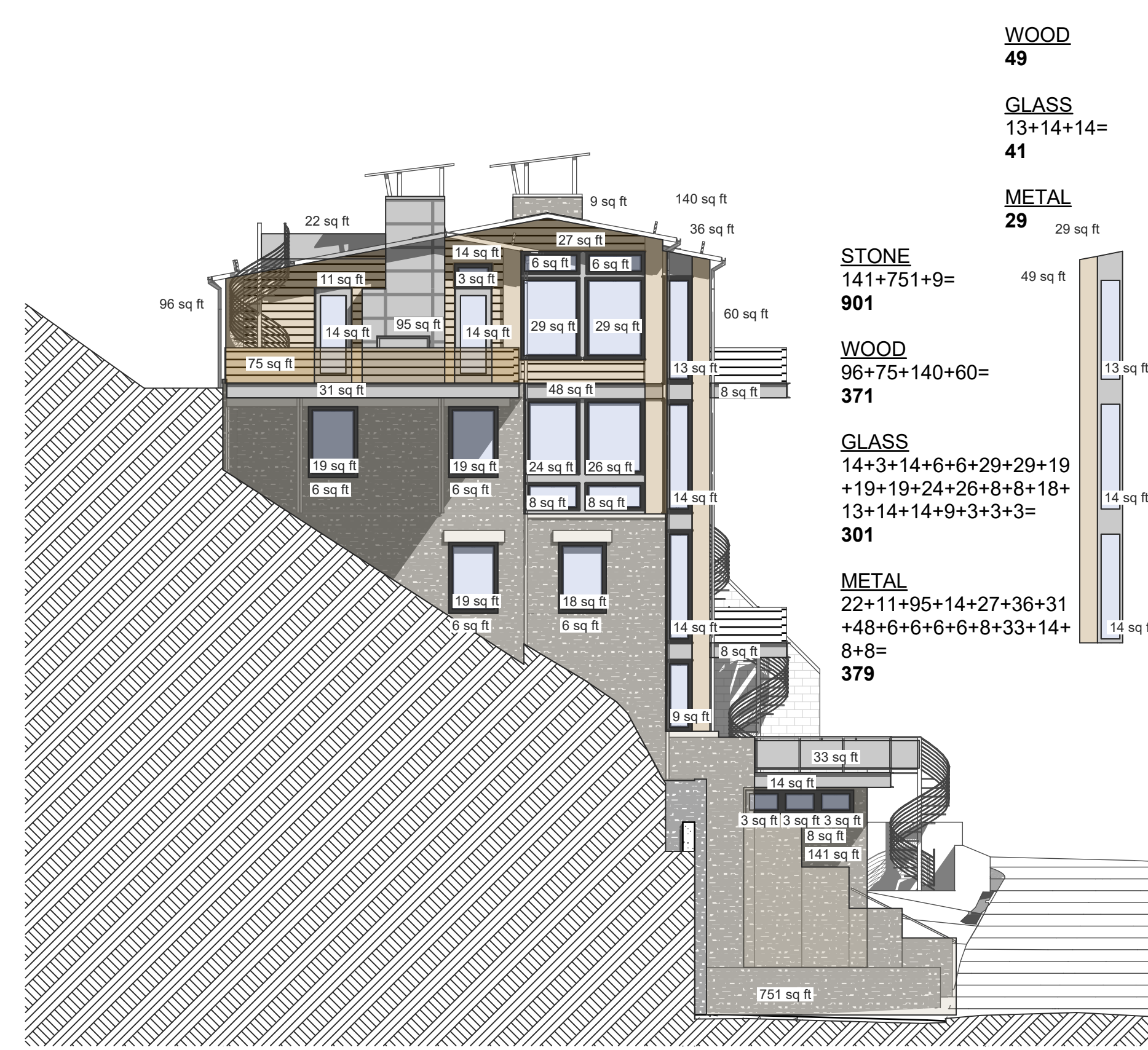
PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
MATERIAL CALCS

SHEET NUMBER:
A-008



2 West Elevation
SCALE: 1" = 10'



4 East Elevation
SCALE: 1" = 10'

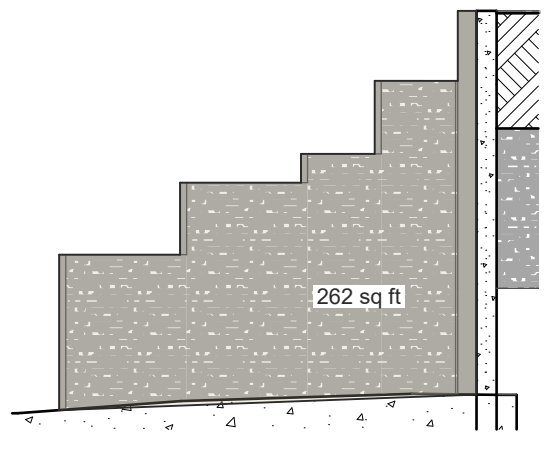
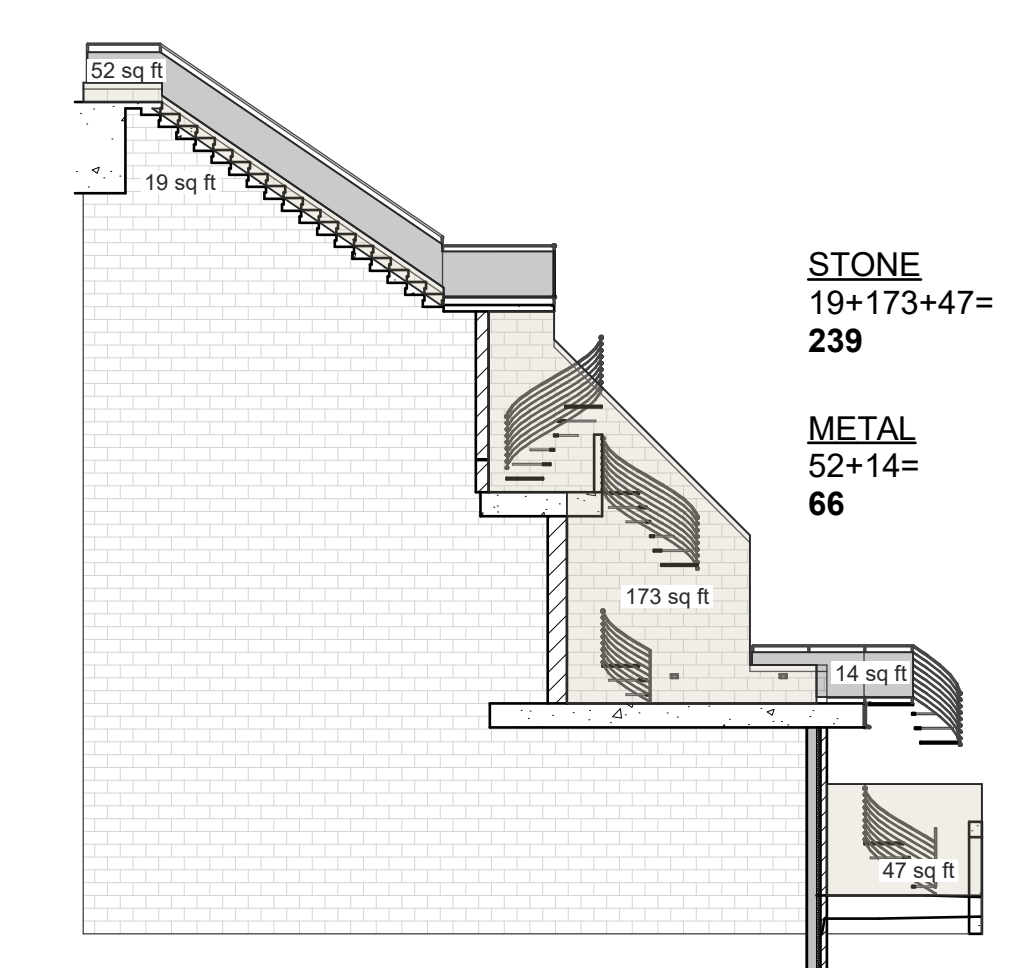


1 North Elevation
SCALE: 1" = 10'



3 South Elevation
SCALE: 1" = 10'

Elevation	NORTH	WEST	SOUTH	EAST	WALL-WEST	WALL-EAST	Total	Percent
Stone	1921	339	307	901	239	262	3969	41.27%
Wood	706	320	369	371	0	0	1766	18.36%
Glass	1356	147	162	301	0	0	1966	20.44%
Metal	1244	191	102	379	66	0	1916	19.92%
Total	5227	997	940	1952		262	9617	



D:\WORK\STONEGATE LOT 10\DRAWINGS\STONEGATE 2 4-9-24.pln



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV	DATE	DESCRIPTION
4-11-24			REDESIGN OPT.
3-6-24			DRG HEIGHT CALCS
3-15-24			DRG APPLICATION
12-8-23			PRE-DRG MATERIAL CALC
11-30-23			PRE-DRG SITE PLANS
7-13-23			SCHEMATIC DESIGN 2
6-21-23			SCHEMATIC DESIGN 1

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

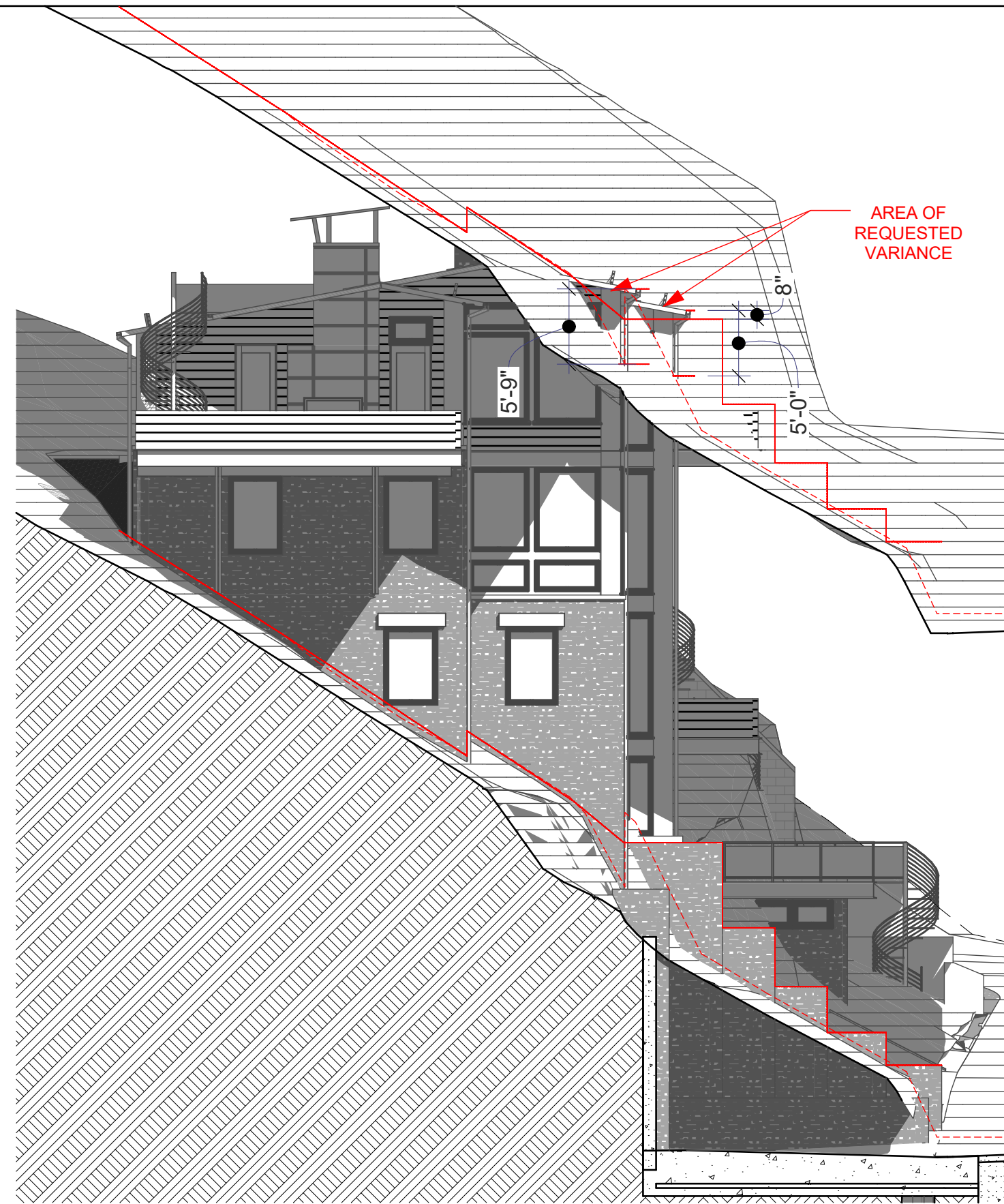
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
2023 JWA

ARCHITECT'S STAMP

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

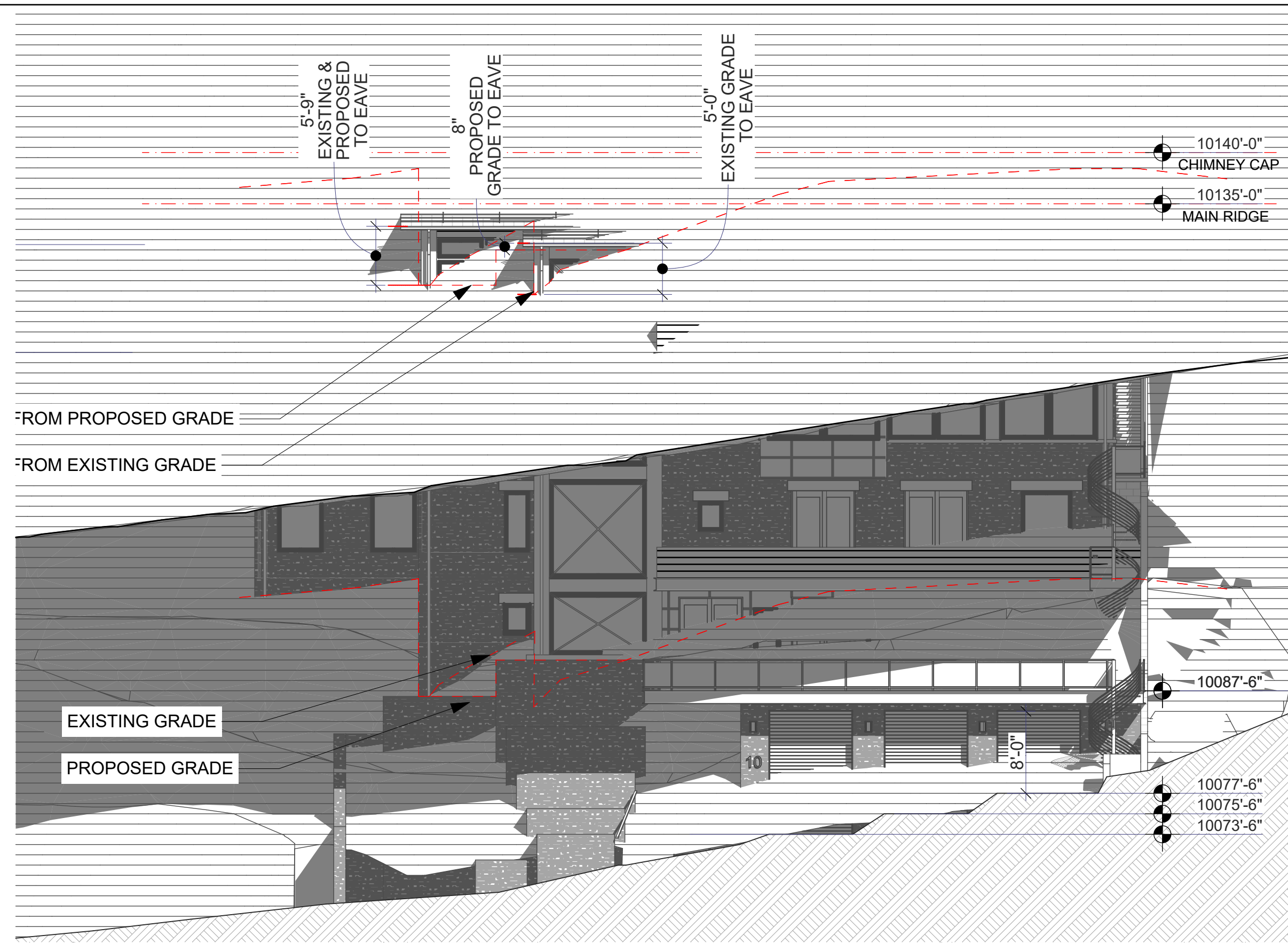
SHEET DESCRIPTION:
HEIGHT CALCS

SHEET NUMBER:
A-009



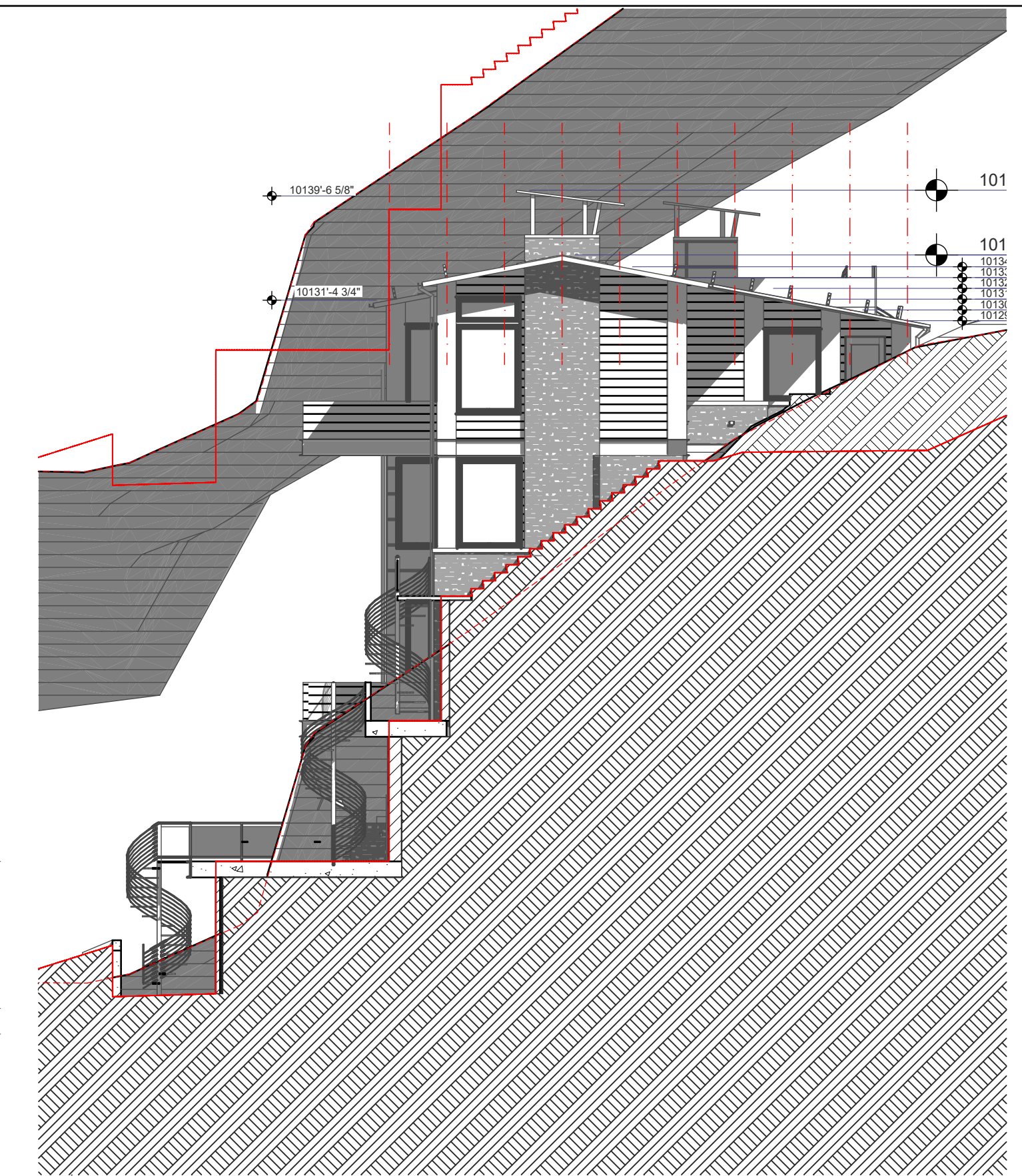
4 East Elevation

SCALE: 1" = 10'



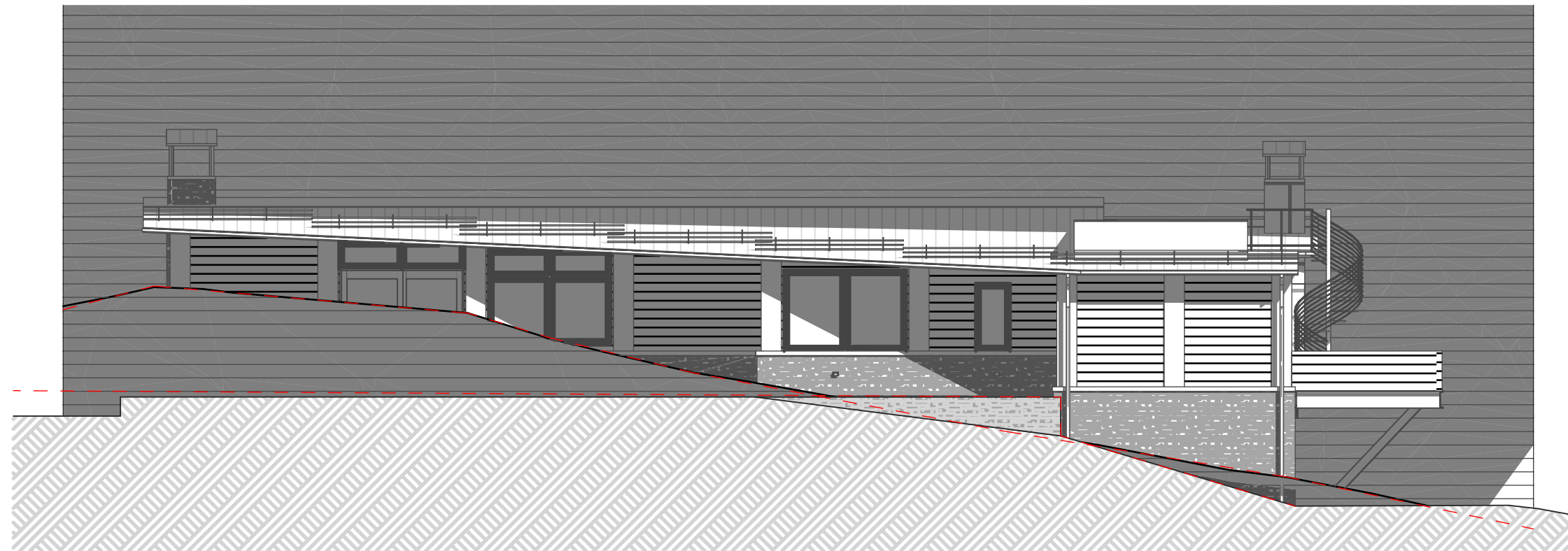
3 North Elevation

SCALE: 1" = 10'



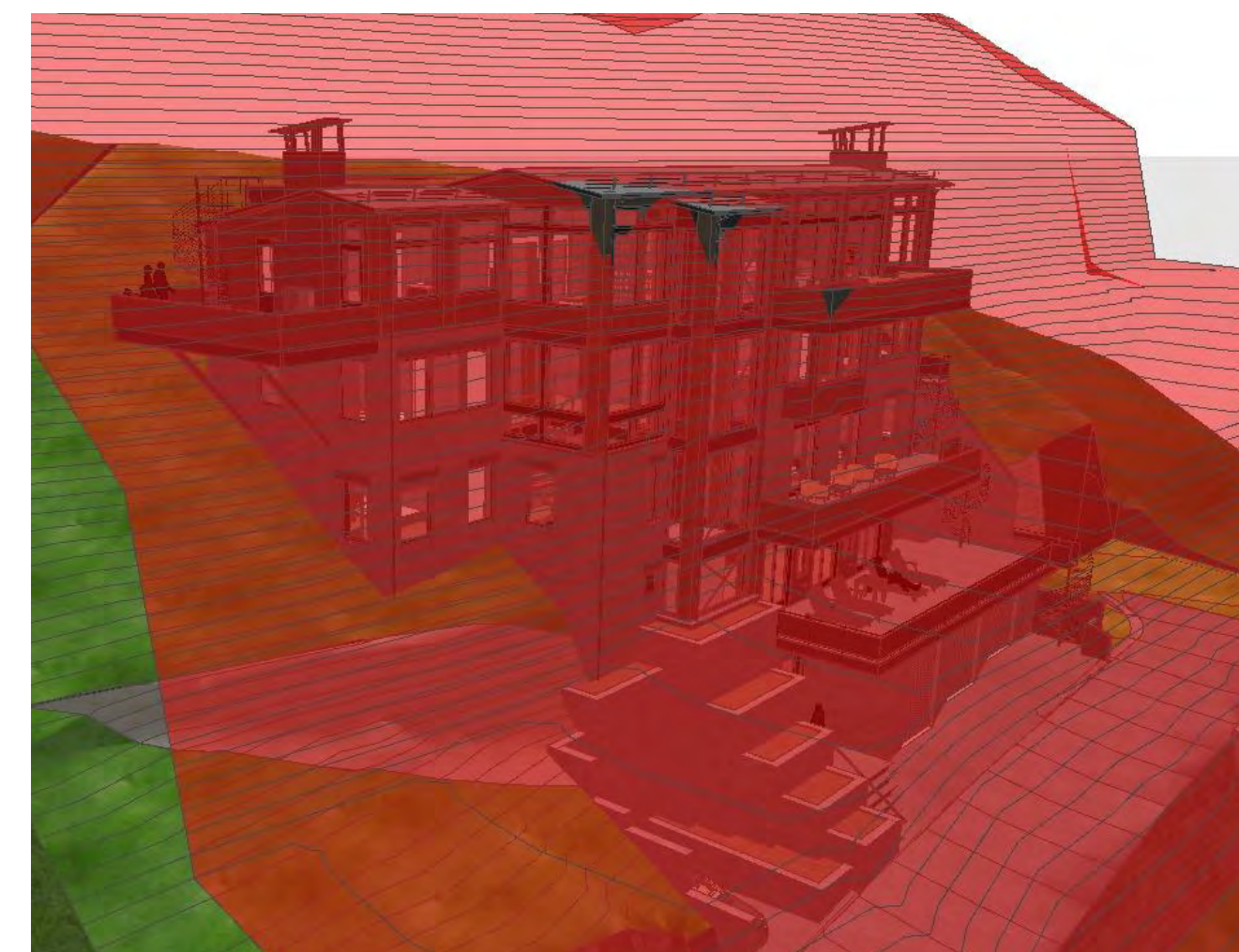
2 West Elevation

SCALE: 1" = 10'



5 South Elevation

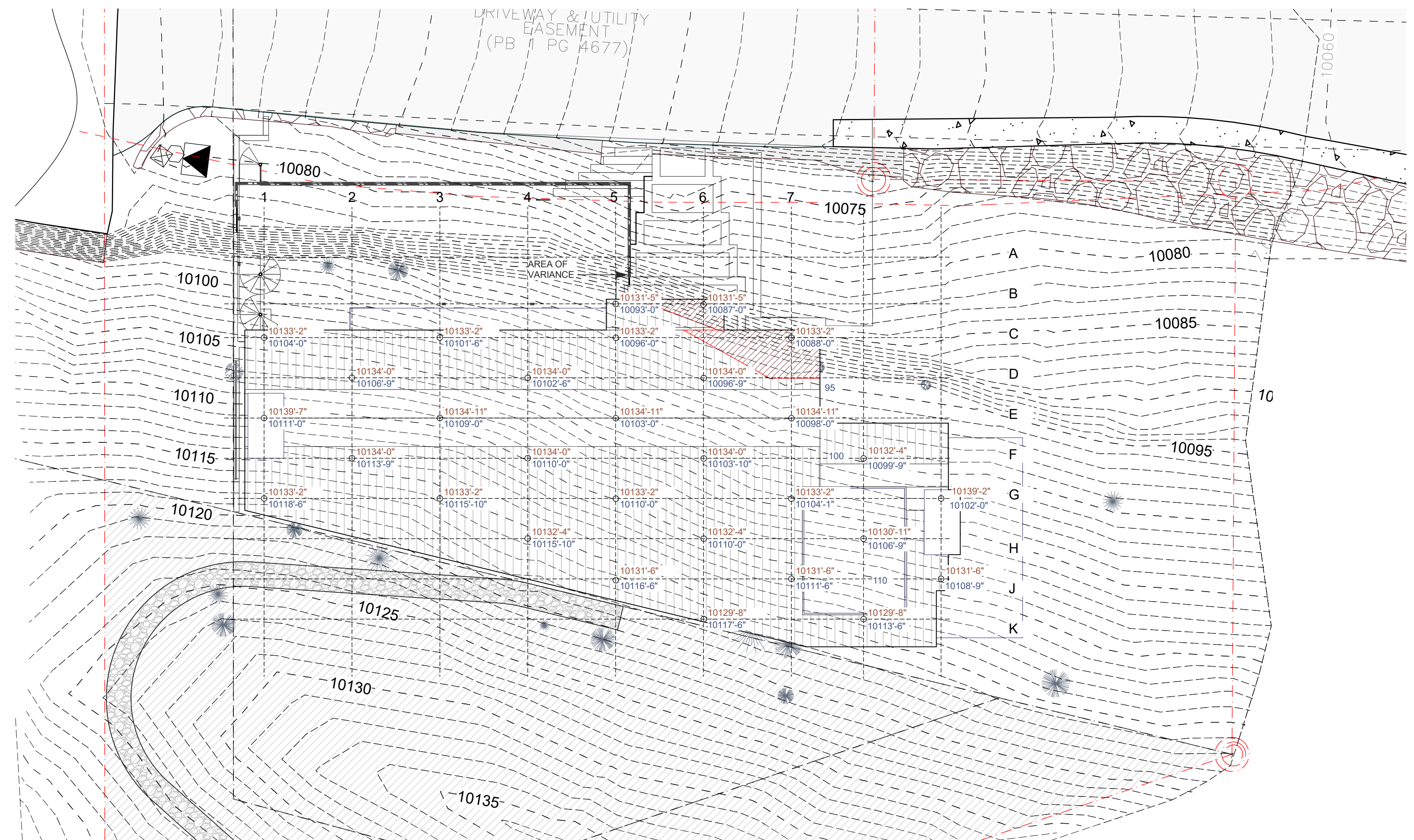
SCALE: 1" = 10'



6 40' Shell

SCALE: 1:896.77

STONEGATE ROOF HEIGHT CALCS (in FT)			
POINT	ROOF ELEVATION	EXISTING GRADE	HEIGHT
A5	0.00	0.00	0.00
A6	0.00	0.00	0.00
B5	131.50	93.00	38.50
B6	131.50	87.00	44.50
C1	133.17	104.00	29.17
C3	133.17	101.50	31.67
C5	133.17	96.00	37.17
C7	133.17	88.00	45.17
D2	134.00	106.75	27.25
D4	134.00	102.50	31.50
D6	134.00	96.75	37.25
E1	139.65	111.00	28.65
E3	134.90	109.00	25.90
E5	134.90	103.00	31.90
E7	134.90	98.00	36.90
F2	134.00	113.75	20.25
F4	134.00	110.00	24.00
F6	134.00	103.83	30.17
F8	132.33	99.75	32.58
G1	133.17	118.75	14.42
G3	133.17	116.00	17.17
G5	133.17	110.17	23.00
G7	133.17	104.50	28.67
G9	139.17	102.00	37.17
H4	132.33	115.83	16.50
H6	132.33	111.50	20.83
H8	130.90	106.75	24.15
J5	131.50	116.50	15.00
J7	131.50	111.75	19.75
J9	131.50	108.75	22.75
K6	129.67	117.50	12.17
K8	129.67	113.50	16.17
AVERAGE			24.86



1 Height Calcs Plan

SCALE: 1" = 10'



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
4	A-00	
1	A-008	REDESIGN OPT.
3	A-024	DRB HEIGHT CALCS
2	A-034	DRB APPLICATION
1	A-035	DRB MATERIAL CALC.
1	A-036	DRB SITE PLANS
1	A-008	SCHEMATIC DESIGN 2
1	A-008	SCHEMATIC DESIGN 1

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

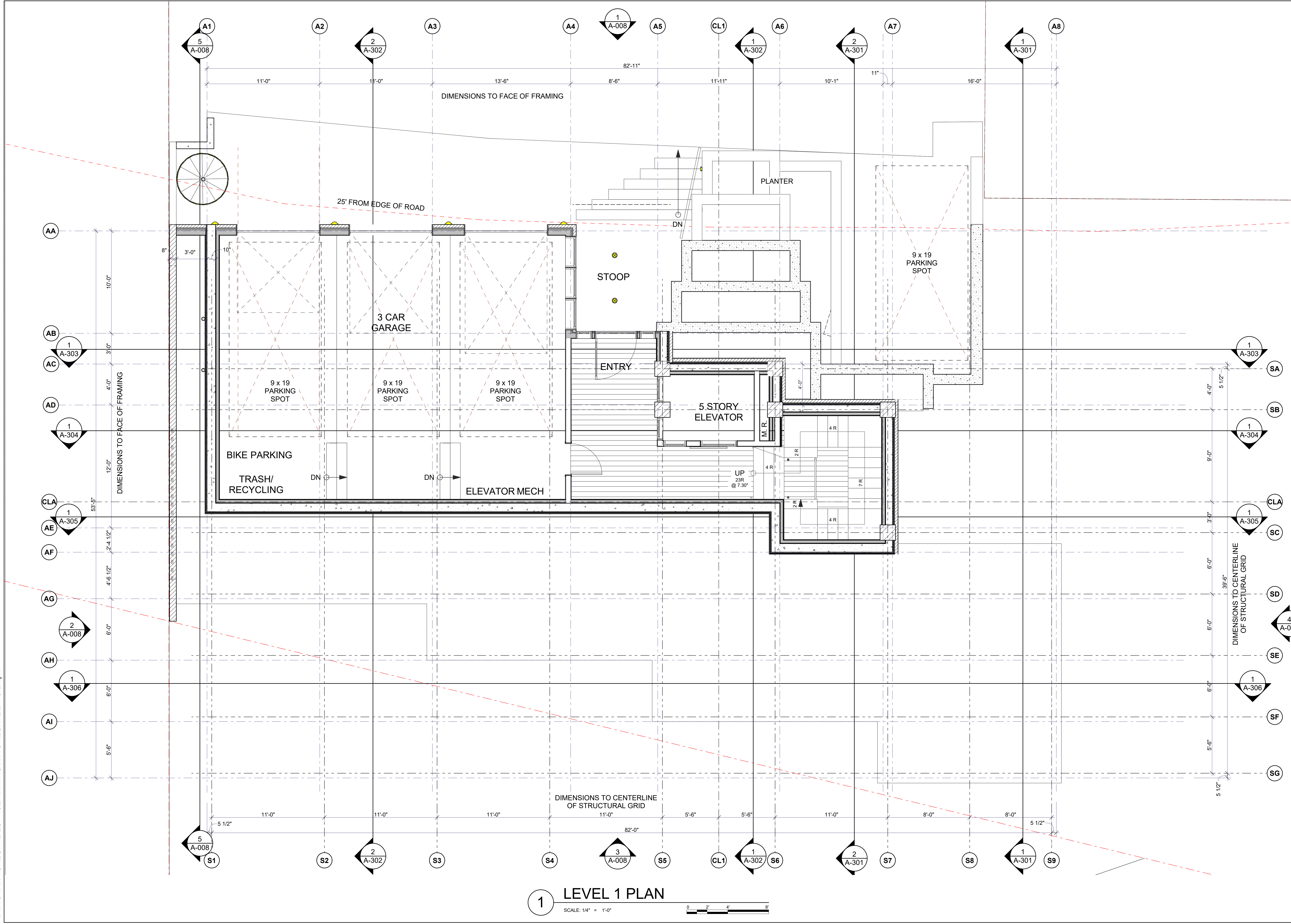
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
0323 JWA

ARCHITECTS STAMP

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
First Floor Framing

SHEET NUMBER:
A-101



1 LEVEL 1 PLAN
SCALE: 1/4" = 1'-0"

D:\WORK\STONEGATE LOT 10\DRAWINGS\STONEGATE 2 4-9-24.pln



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
4-11-24		REDESIGN OPT.
3-6-24		DRB HEIGHT CALCS
3-15-24		DRB APPLICATION
12-8-23		DRB MATERIAL CALC.
11-30-23		DRB SITE PLANS
7-13-23		SCHEMATIC DESIGN 2
6-21-23		SCHEMATIC DESIGN 1

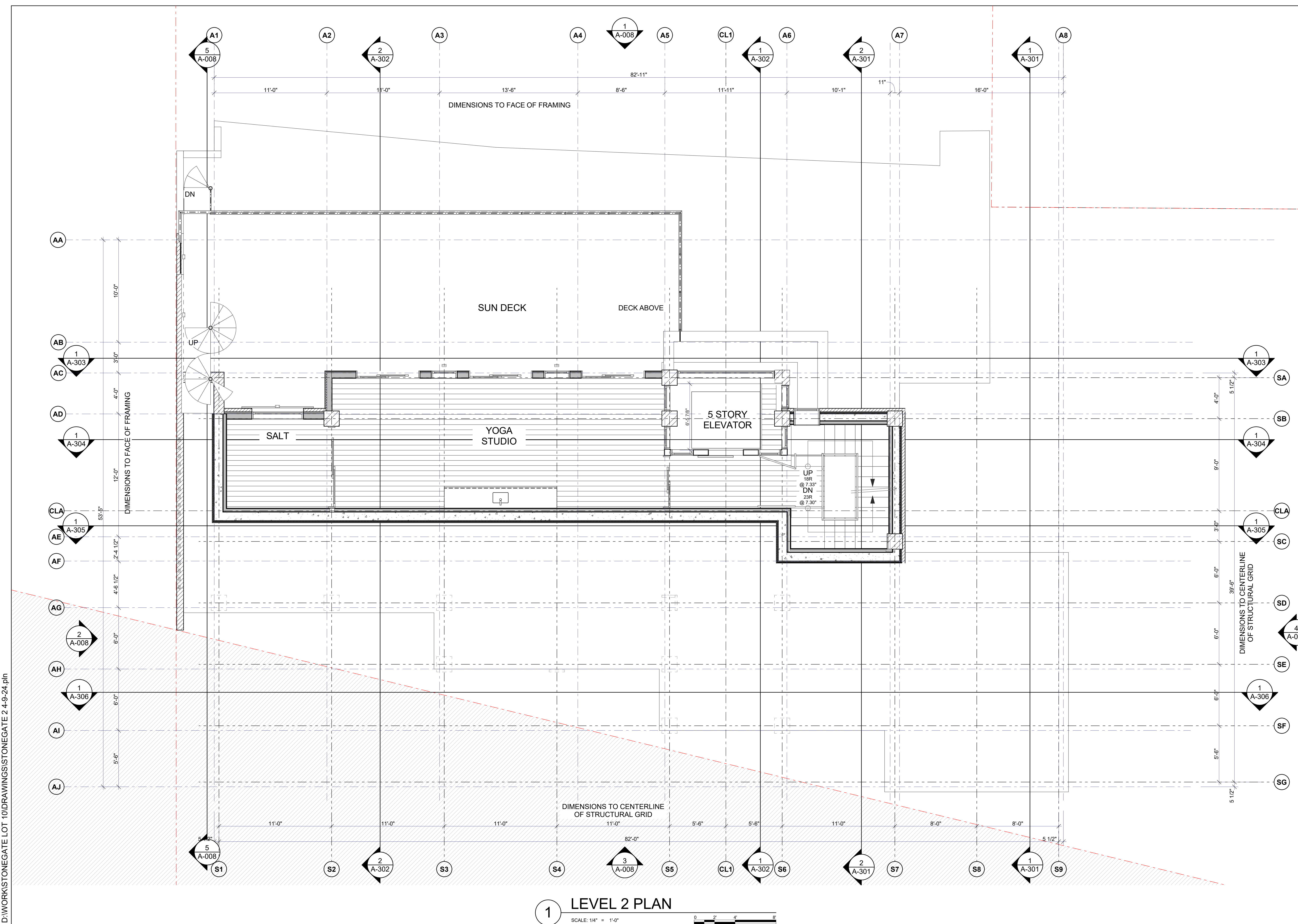
PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
ARCHITECTS STAMP:

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
Second Floor Plan

SHEET NUMBER:
A-102



1 LEVEL 2 PLAN
SCALE: 1/4" = 1'-0"

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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
4-11-24		REDESIGN OPT.
3-6-24		DRB HEIGHT CALCS
3-15-24		DRB APPLICATION
12-20-23		DRB MATERIAL CALC.
11-30-23		DRB SITE PLANS
7-13-23		SCHEMATIC DESIGN 2
6-21-23		SCHEMATIC DESIGN 1

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

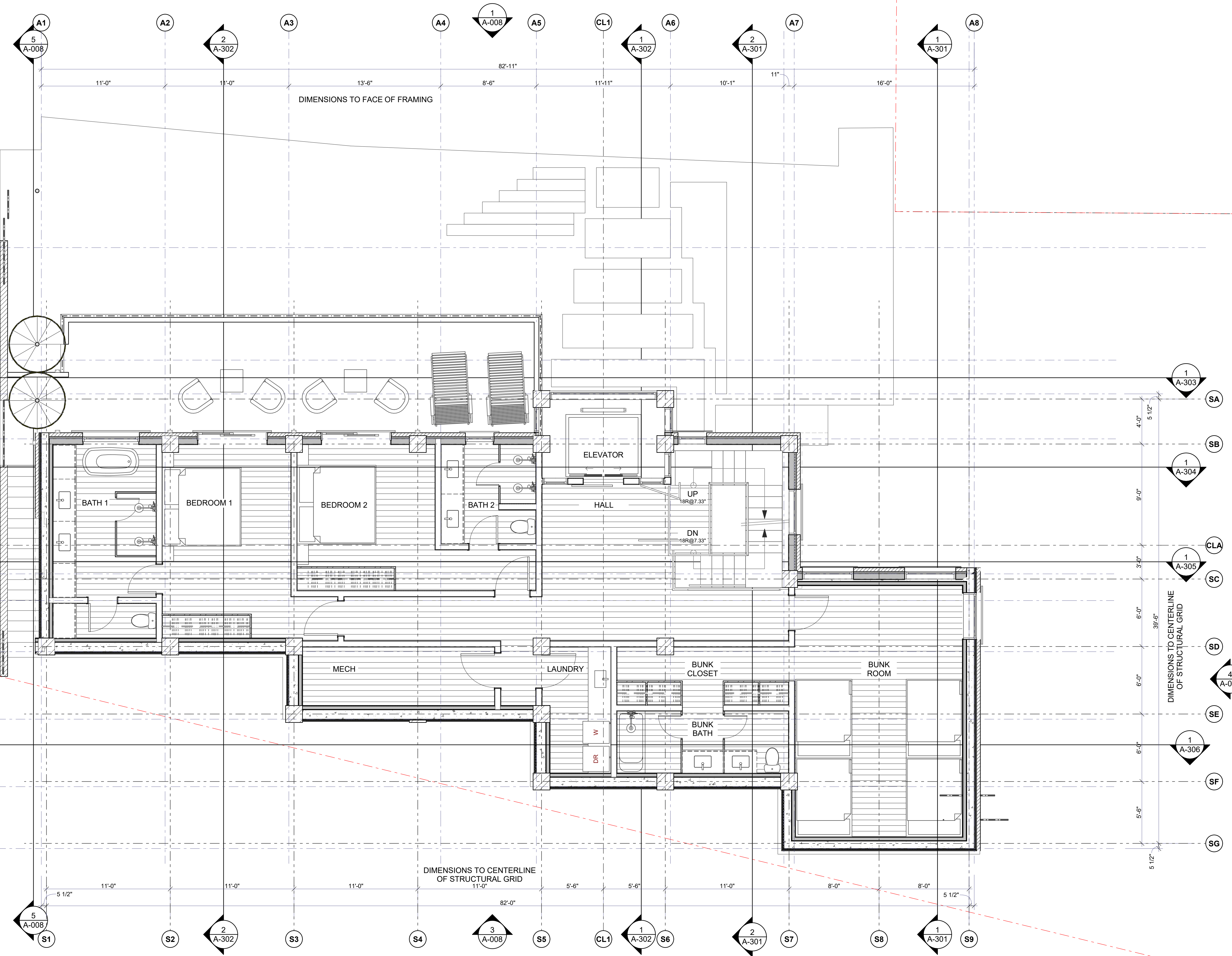
ARCHITECT'S STAMP

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
Third Floor Plan

SHEET NUMBER:
A-103

D:\WORK\STONEGATE LOT 10\DRAWINGS\STONEGATE 2 4-9-24.pln



DIMENSIONS TO FACE OF FRAMING

DIMENSIONS TO FACE OF FRAMING

DIMENSIONS TO CENTERLINE OF STRUCTURAL GRID

DIMENSIONS TO CENTERLINE OF STRUCTURAL GRID

1 LEVEL 3 PLAN
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
4-11-24		REDESIGN OPT.
3-6-24		DRB HEIGHT CALCS
3-15-24		DRB APPLICATION
12-4-23		DRB MATERIAL CALC.
11-30-23		DRB SITE PLANS
7-13-23		SCHEMATIC DESIGN 2
6-21-23		SCHEMATIC DESIGN 1

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

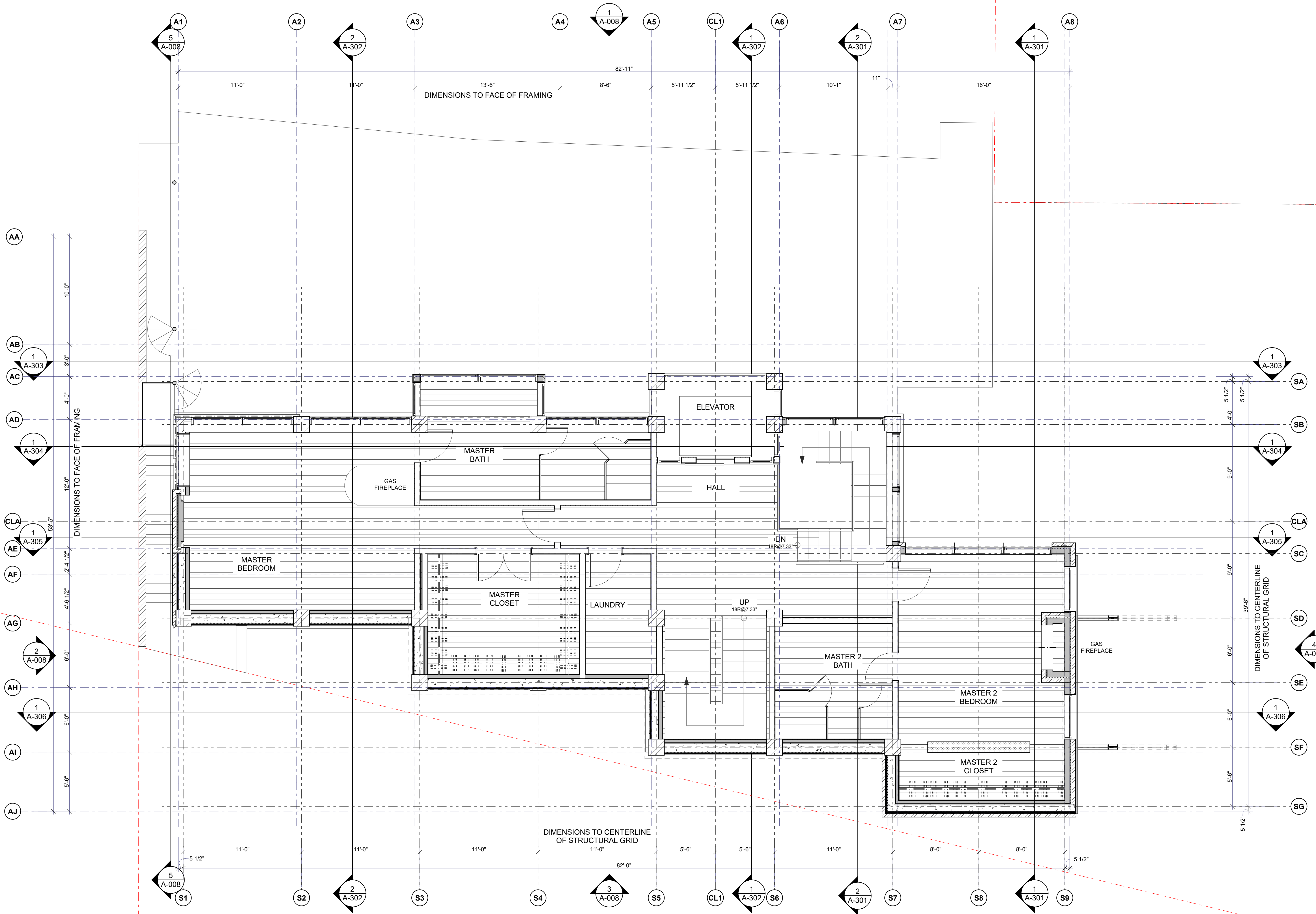
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
ARCHITECTS STAMP:

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
Fourth Floor Plan

SHEET NUMBER:
A-104

D:\WORK\STONEGATE LOT 10\DRAWINGS\STONEGATE 2 4-9-24.pln



1 LEVEL 4 PLAN
SCALE: 1/4" = 1'-0"



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
4-11-24		REDESIGN OPT.
3-6-24		DRB HEIGHT CALCS
3-15-24		DRB APPLICATION
12-8-23		DRB MATERIAL CALC.
11-30-23		DRB SITE PLANS
7-13-23		SCHEMATIC DESIGN 2
6-21-23		SCHEMATIC DESIGN 1

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

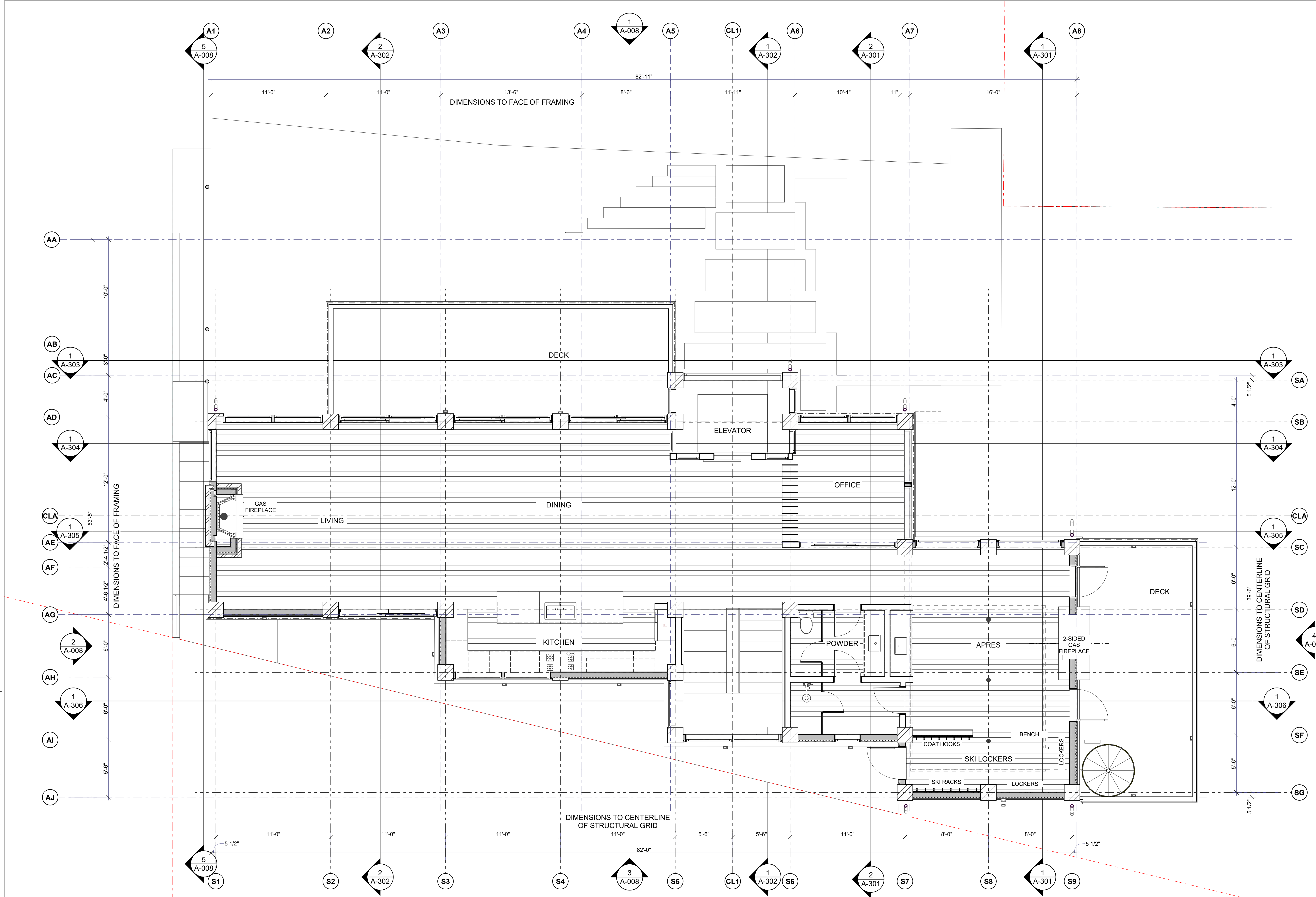
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
ARCHITECTS STAMP:

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
Fifth Floor Framing

SHEET NUMBER:
A-105

D:\WORK\STONEGATE LOT 10\DRAWINGS\STONEGATE 2 4-9-24.pln



1 LEVEL 5 PLAN
SCALE: 1/4" = 1'-0"
0 2 4 8



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
4-11-24		REDESIGN OPT.
3-6-24		DRB HEIGHT CALCS
2-15-24		DRB APPLICATION
12-8-23		DRB MATERIAL CALC
11-30-23		DRB SITE PLANS
7-13-23		SCHEMATIC DESIGN 2
6-21-23		SCHEMATIC DESIGN 1

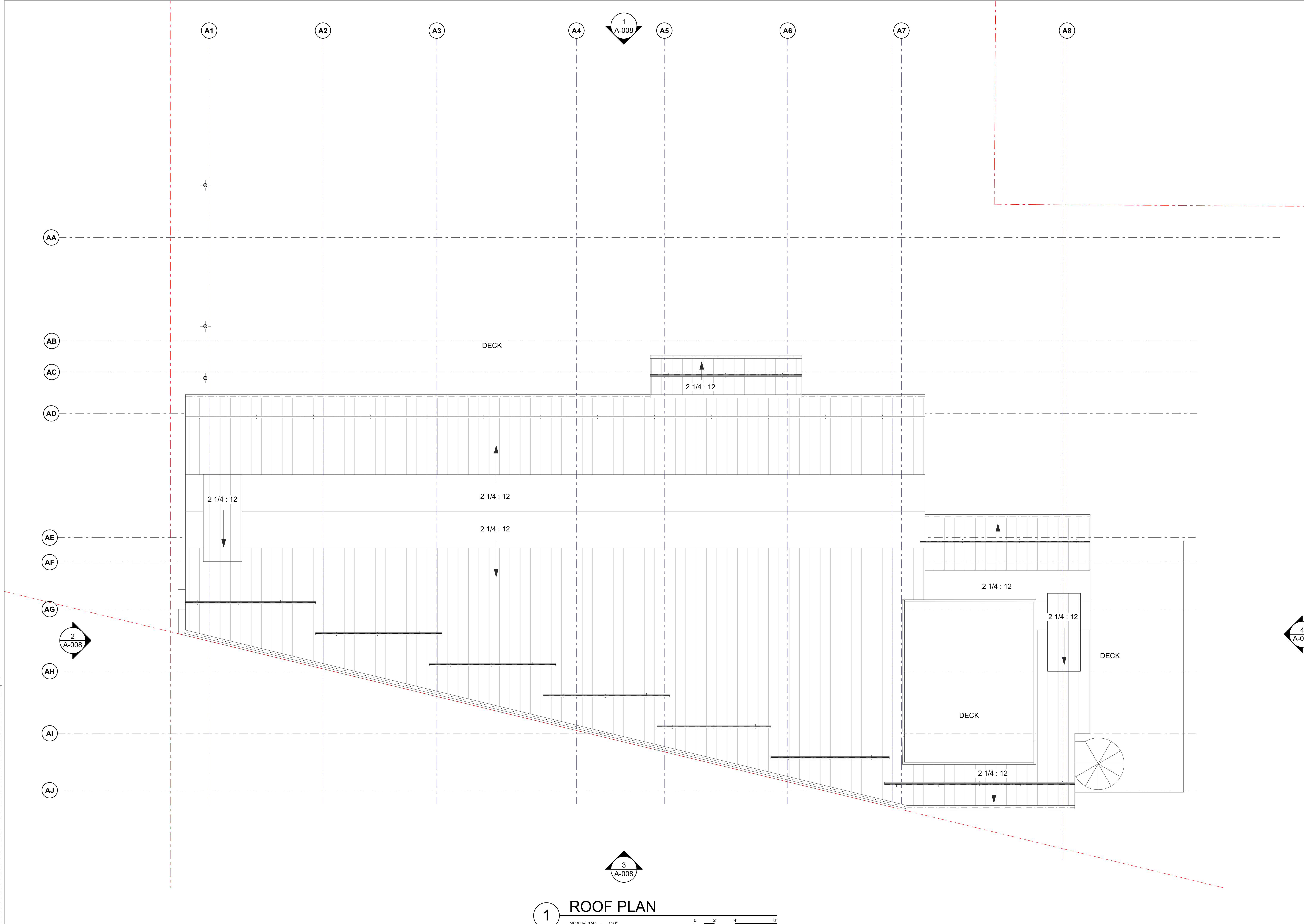
PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
2023 JWA
ARCHITECTS STAMP

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
Roof Plan

SHEET NUMBER:
A-110



1
A-008

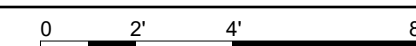
2
A-008

3
A-008

1

ROOF PLAN

SCALE: 1/4" = 1'-0"



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
	4-11-24	REDESIGN OPT.
	3-8-24	DRB HEIGHT CALCS
	3-15-24	DRB APPLICATION
	12-8-23	DRB MATERIAL CALC
	11-30-23	DRB SITE PLANS
	7-13-23	SCHEMATIC DESIGN 2
	6-21-23	SCHEMATIC DESIGN 1

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
© 2023 JWA

ARCHITECTS STAMP:

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
Exterior Elevations

SHEET NUMBER:
A-201



SNOW FENCE, TYP.

STANDING SEAM METAL ROOF,
BONDERIZED

METAL GUTTER AND DOWNSPOUT,
MATCH ROOF FINISH

WOOD COLUMNS, STAINED

STEEL SPIRAL STAIR SYSTEM

METAL CLAD WINDOWS-
DARK FINISH

8" HORIZONTAL WOOD
SIDING, STAINED

C15 STEEL CHANNEL DECK RIM AND
BANDING, OIL RUBBED FINISH

STONE VENEER,
TELLURIDE GREY

TERRACED PLANTERS

STONE RETAINING WALL

10140'-0"

10135'-0"

10087'-6"

10077'-6"

10075'-6"

10073'-6"

B: STEP LIGHTS- SEE
A005 AND A900

A: RECESSED
DOWNLIGHTS- SEE
A005 AND A900

C: SCUNCES- SEE A005
AND A900

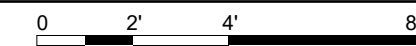
DARK METAL ROLLING
GARAGE DOORS

ADDRESS MONUMENT-
PER CODE

1

North Elevation

SCALE: 1/4" = 1'-0"



D:\WORK\STONEGATE LOT 10\DRAWINGS\STONEGATE 2 4-9-24.pln

D:\WORK\STONEGATE LOT 10\DRAWINGS\STONEGATE 2 4-9-24.pln



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV. DATE	DESCRIPTION
4-11-24		REDESIGN OPT.
3-8-24		DRB HEIGHT CALC.
3-15-24		DRB APPLICATION
12-8-23		2nd DRB MATERIAL CALC.
11-30-23		2nd DRB SITE PLANS
7-13-23		SCHEMATIC DESIGN 2
6-21-23		SCHEMATIC DESIGN 1

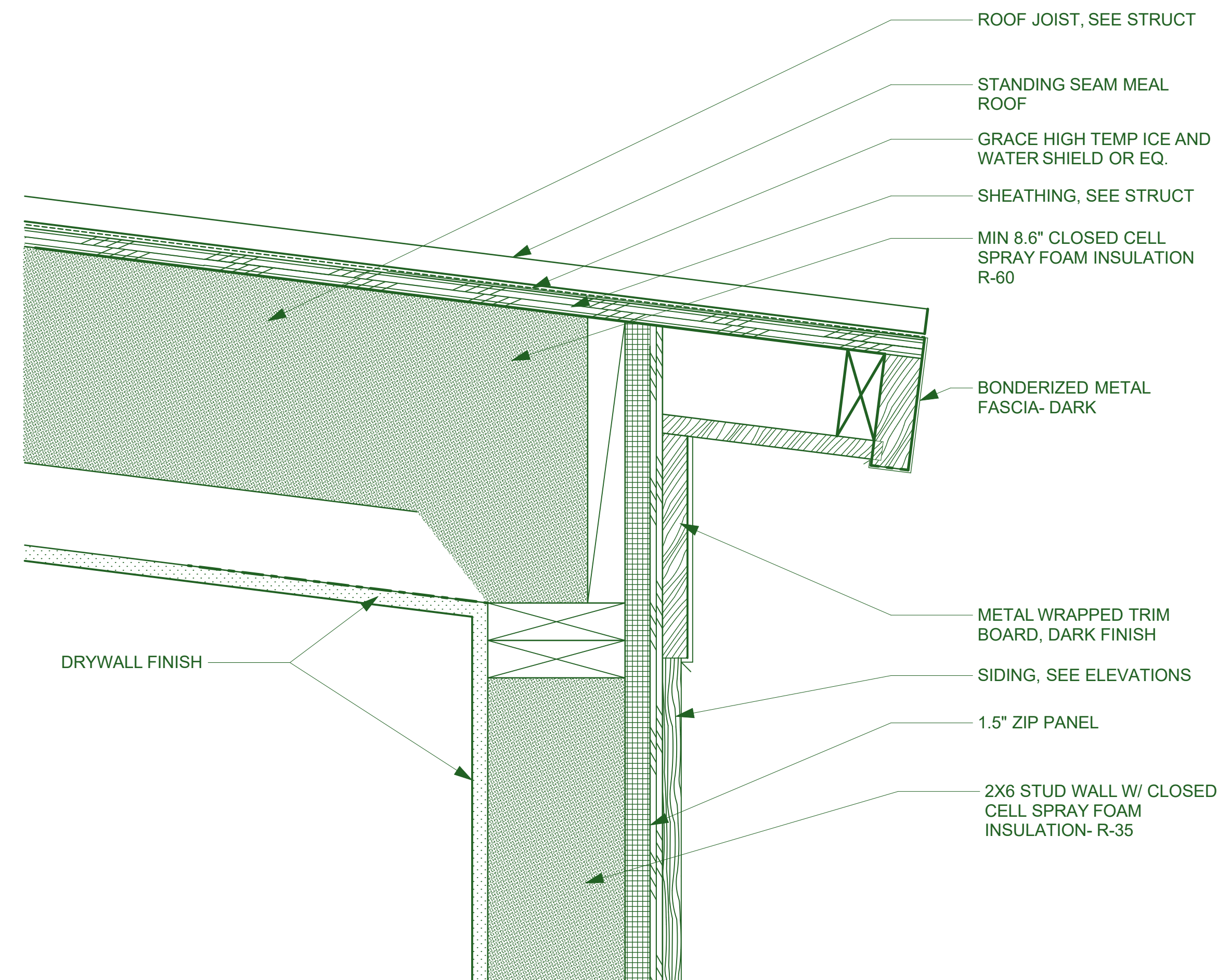
PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
© 2023 JWA

ARCHITECT'S STAMP

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

SHEET DESCRIPTION:
Roof Details

SHEET NUMBER:
A-500



1 ROOF EAVE DETAIL



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STONEGATE 10

NOT FOR CONSTRUCTION

MARK	REV	DATE	DESCRIPTION
4-11-24			REDESIGN OPT.
3-6-24			DRB HEIGHT CALCS
3-15-24			DRB APPLICATION
12-4-23			PRE-DRB MATERIAL CALC
11-30-23			PRE-DRB SITE PLANS
7-13-23			SCHEMATIC DESIGN 2
6-21-23			SCHEMATIC DESIGN 1

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

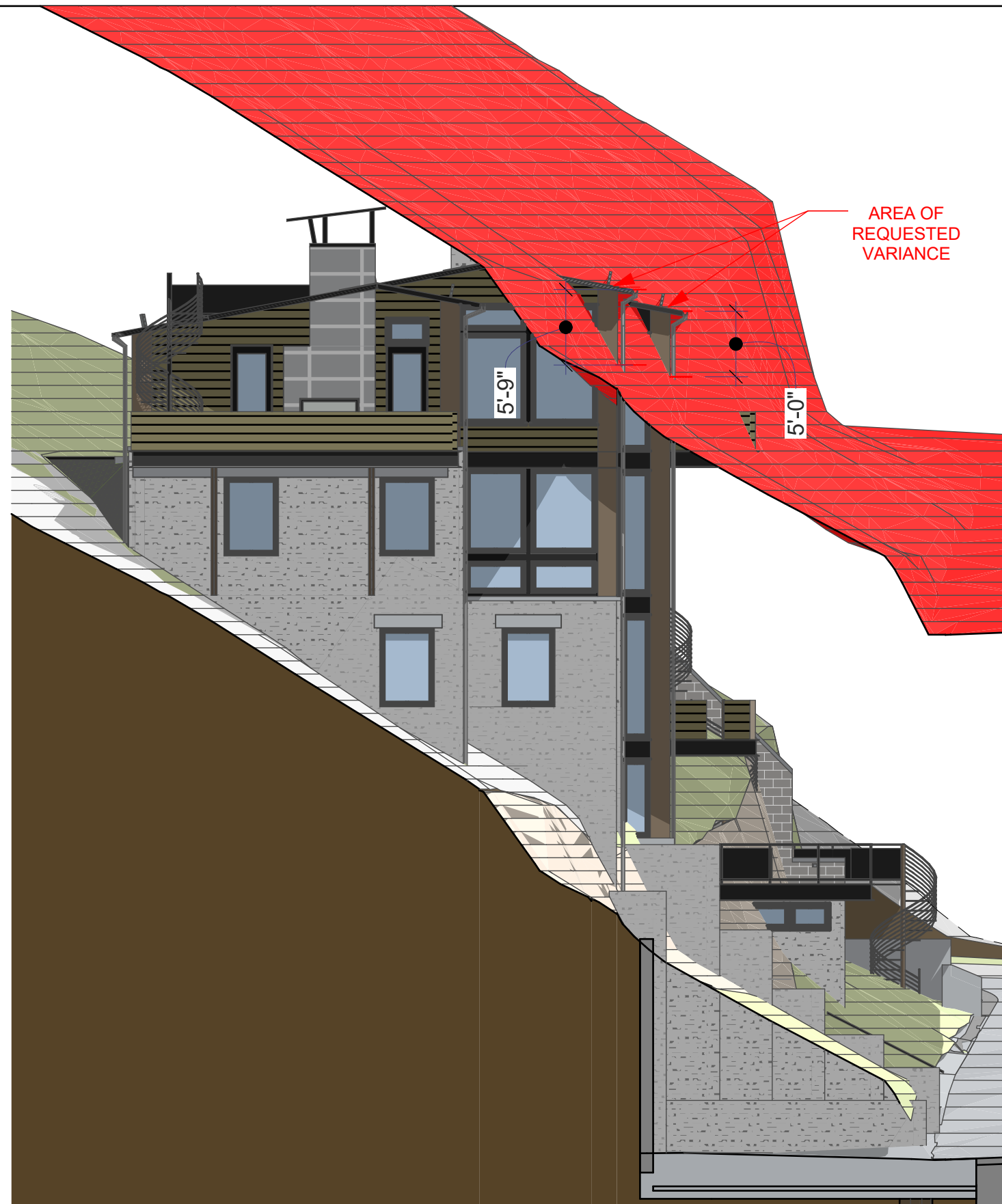
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
2023 JWA

ARCHITECT'S STAMP

PROJECT NAME:
SINGLE FAMILY
LOT 10, STONEGATE
MOUNTAIN VILLAGE, CO

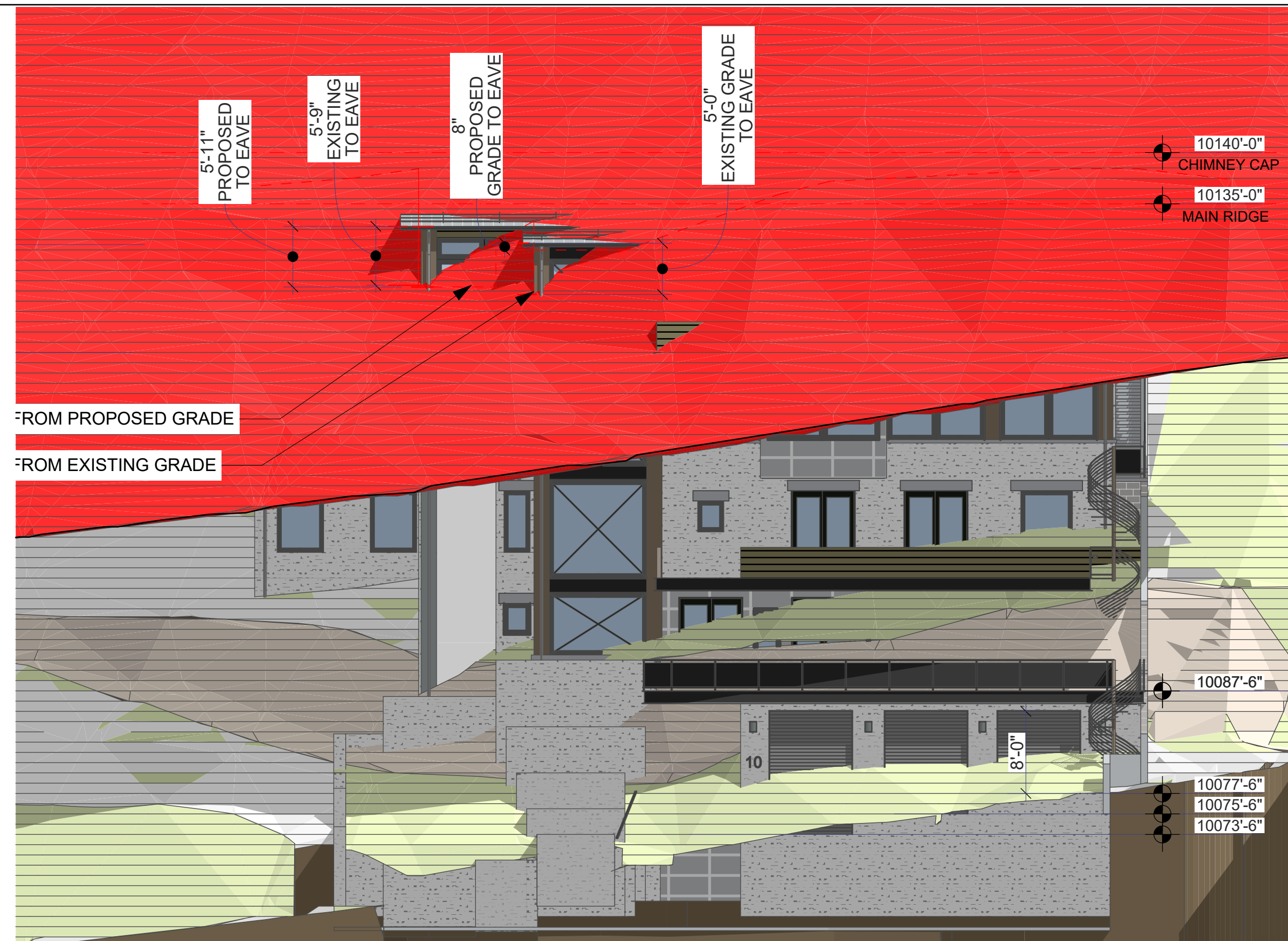
SHEET DESCRIPTION:
HEIGHT CALCS

SHEET NUMBER:
A-009



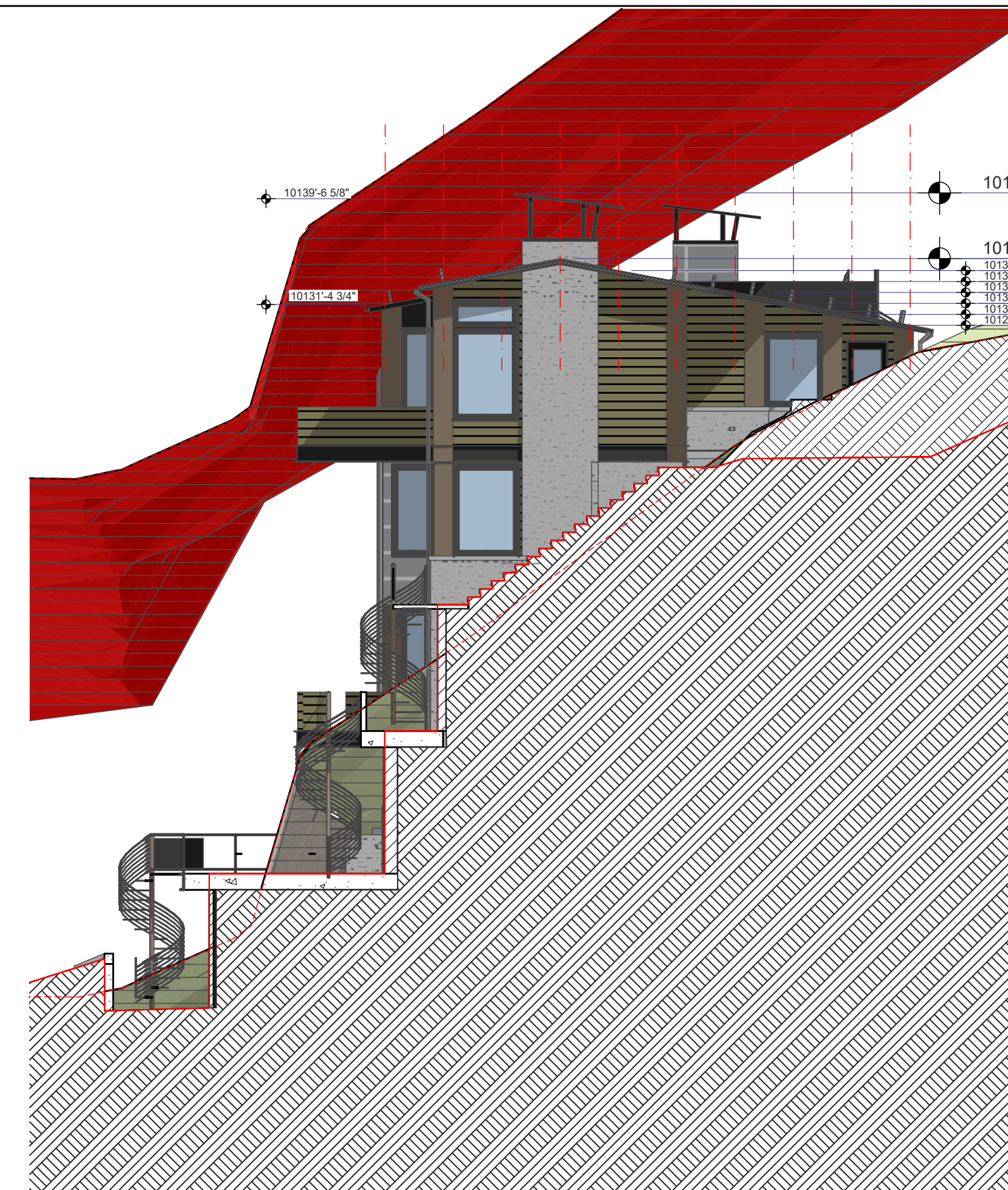
4 East Elevation

SCALE: 1" = 10'



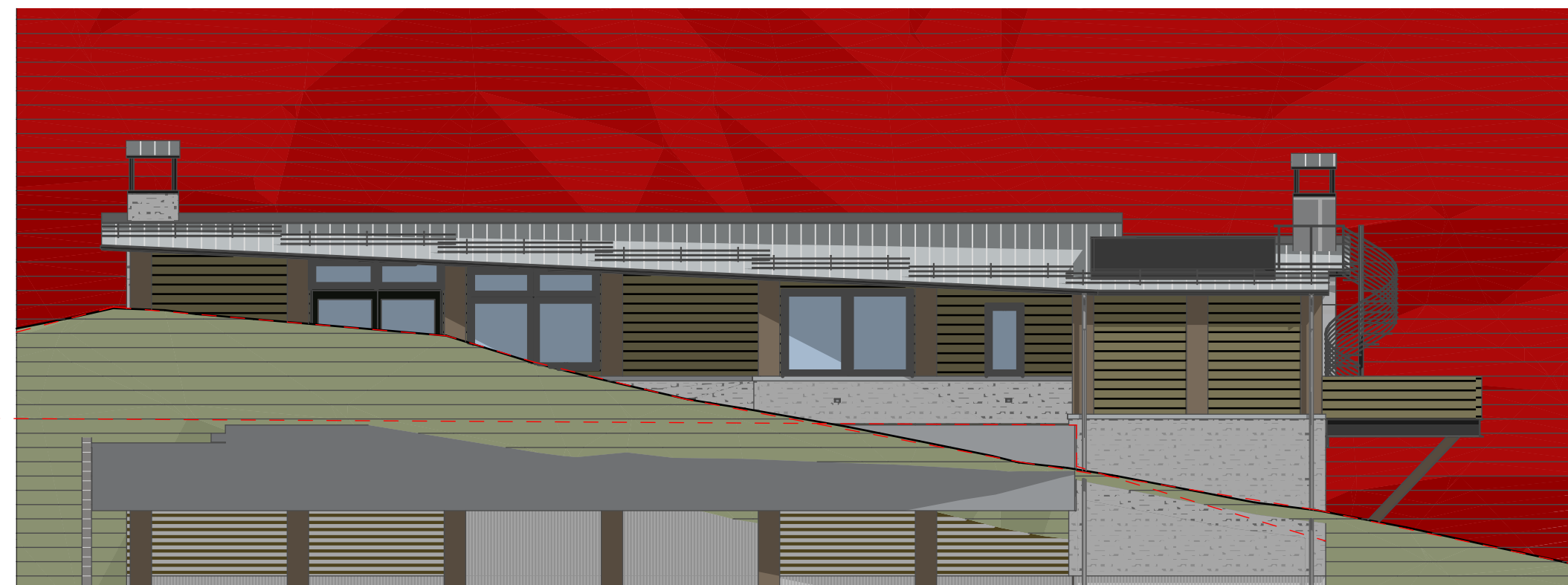
3 North Elevation

SCALE: 1" = 10'



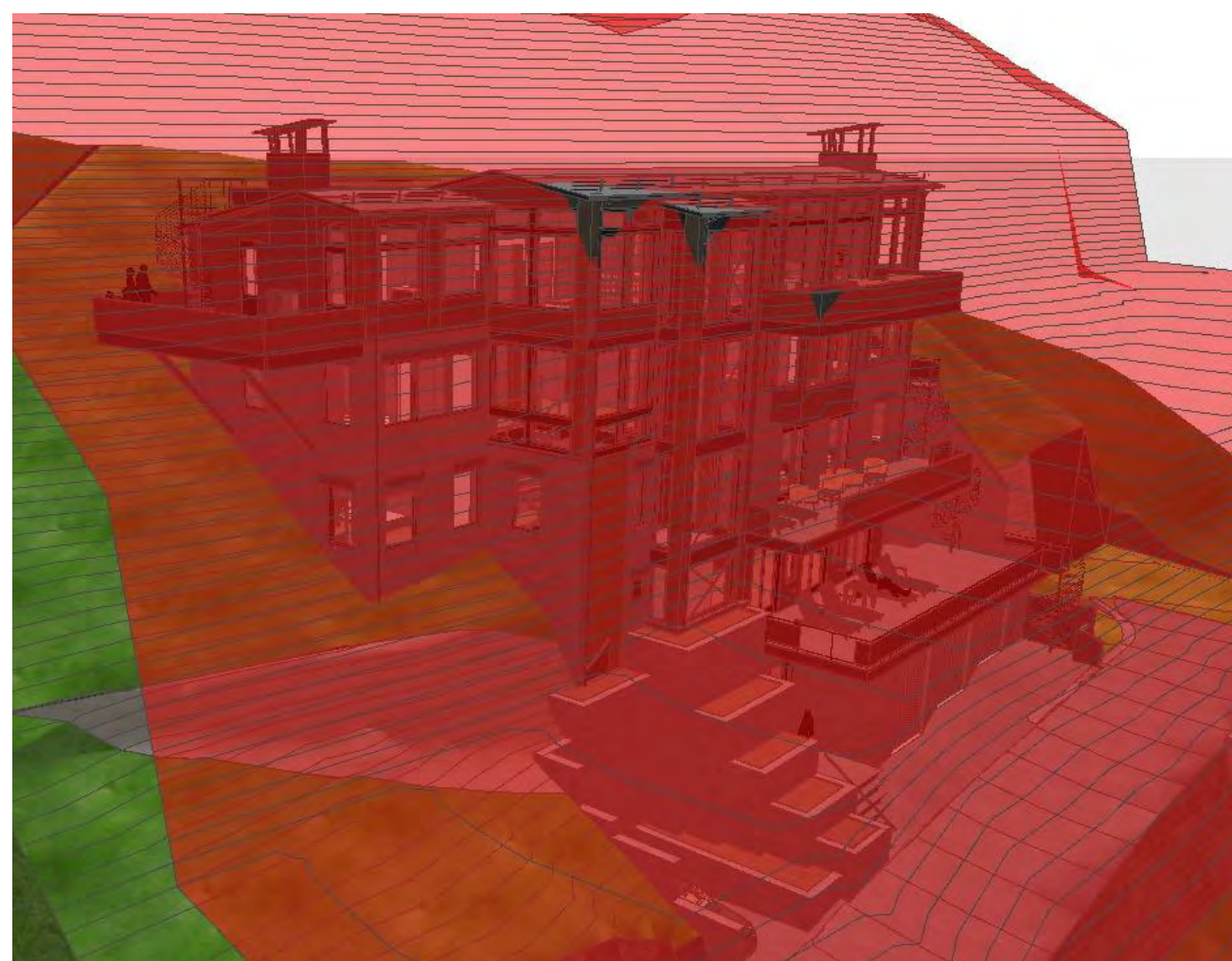
2 West Elevation

SCALE: 1" = 10'



5 South Elevation

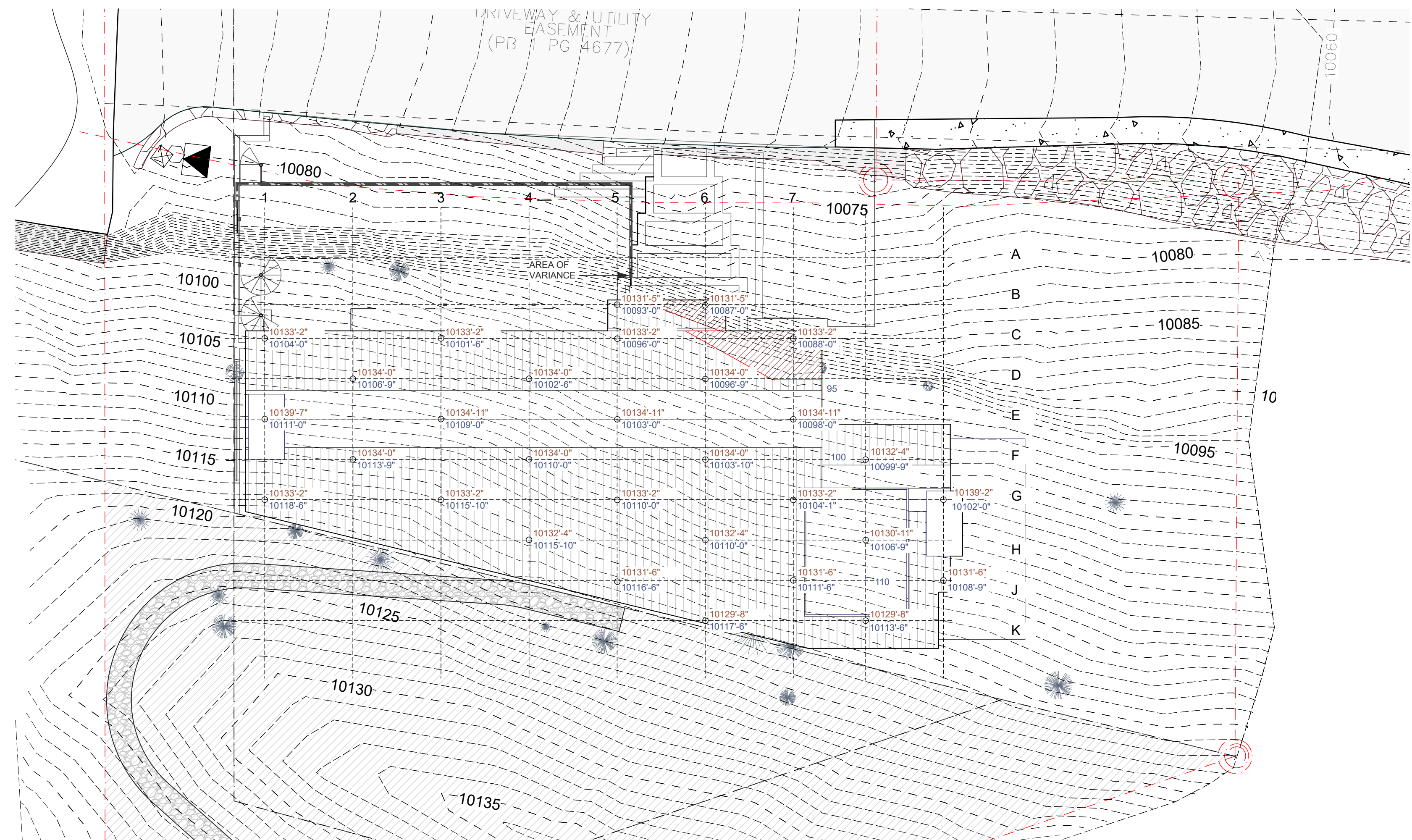
SCALE: 1" = 10'



6 40' Shell

SCALE: 1:896.77

STONEGATE ROOF HEIGHT CALCS (in FT)			
POINT	ROOF ELEVATION	EXISTING GRADE	HEIGHT
A5	0.00	0.00	0.00
A6	0.00	0.00	0.00
B5	131.50	93.00	38.50
B6	131.50	87.00	44.50
C1	133.17	104.00	29.17
C3	133.17	101.50	31.67
C5	133.17	96.00	37.17
C7	133.17	88.00	45.17
D2	134.00	106.75	27.25
D4	134.00	102.50	31.50
D6	134.00	96.75	37.25
E1	139.65	111.00	28.65
E3	134.90	109.00	25.90
E5	134.90	103.00	31.90
E7	134.90	98.00	36.90
F2	134.00	113.75	20.25
F4	134.00	110.00	24.00
F6	134.00	103.83	30.17
F8	132.33	99.75	32.58
G1	133.17	118.75	14.42
G3	133.17	116.00	17.17
G5	133.17	110.17	23.00
G7	133.17	104.50	28.67
G9	130.17	102.00	37.17
H4	132.33	115.83	16.50
H6	132.33	111.50	20.83
H8	130.90	106.75	24.15
J5	131.50	116.50	15.00
J7	131.50	111.75	19.75
J9	131.50	108.75	22.75
K6	129.67	117.50	12.17
K8	129.67	113.50	16.17
AVERAGE			24.86



1 Height Calcs Plan

SCALE: 1" = 10'

From: [David Mack](#)
To: [cd](#)
Cc: [Jason Habib](#)
Subject: Lot 166AR2-10: 10 Stonegate Drive
Date: Tuesday, January 30, 2024 3:11:54 PM
Attachments: [image.png](#)
[image.png](#)

Caution: External Message - Please be cautious when opening links or attachments in email.

To the Town of Mountain Village Design Review Board
Mr. Banks Brown, Chairman

Dear Mr. Brown and Board Members,

I am in receipt of a pending development application for a proposed new home in Mountain Village on Lot 166AR2-10, also known as 10 Stonegate Drive.

I, along with three other families, own the adjacent home at 11 Stonegate Drive, immediately to the west of the subject property.

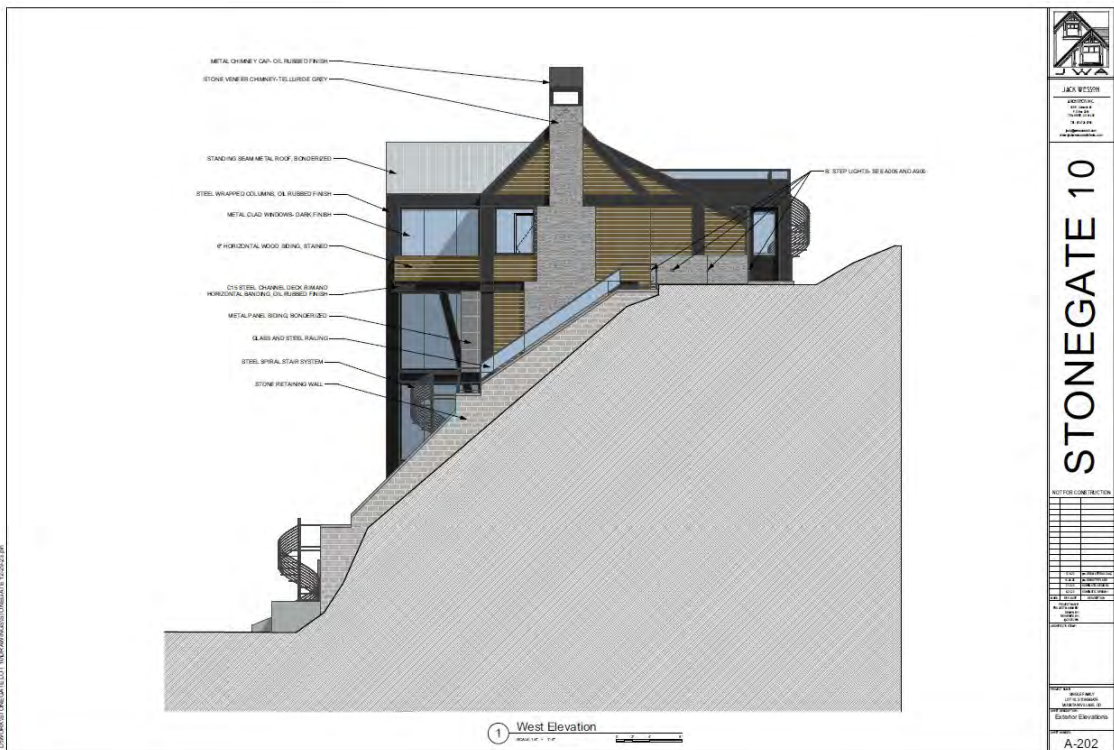
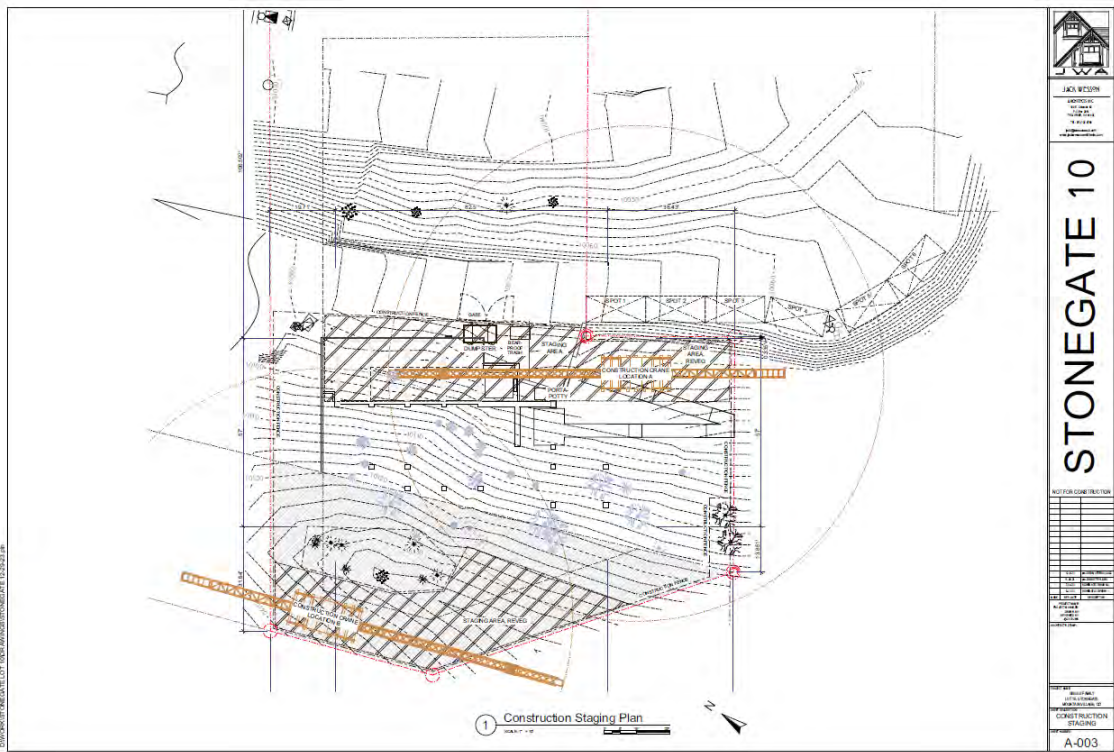
We have several concerns regarding the proposed home as they relate to access to our home during staging, as well as safety issues during construction.

First, our home is accessible only by a steep and narrow hairpin private driveway that begins at the east terminus of Stonegate Drive proper. The grade of the driveway measures between 14% and 16%, and its width can accommodate at most one vehicle at a time. The proposed staging drawing (see attached Application p. 12 "Construction Staging Plan") allows for parking of multiple construction vehicles along this driveway. As drawn, it is difficult for us to imagine unrestricted and safe access to our home with construction vehicles parked along such a steep and narrow driveway. We use our home year round and are concerned that even temporary blockage of the driveway would impede our access. Our private vehicles, not to mention larger Mountain Village Dial-A-Ride vehicles or airport transport shuttles would likely not be able to pass the obstructions caused by these construction vehicles. We also have concerns about access for emergency services vehicles. Finally, we do rent our home when not in use, and such impedance would likely negatively impact us financially if paying guests could not access it.

Second, and perhaps more importantly, the proposed homesite is, as the applicant Jack Wesson notes, "radically steep", and "near vertical in places." He also notes, "The Stonegate subdivision in general likely has the steepest topography of any within the Mountain Village, and this is likely the steepest building site in Stonegate." (See attached Application p. 26 "West Elevation.) Is it realistic to safely excavate and build a home on such a challenging site with owners or guests walking, biking or driving underneath it? We have concerns regarding falling debris causing potential injury.

We will continue to review the application and look forward to discussing these issues at the DRB public hearing March 7. Your comments would be greatly appreciated.

Thank you.



Respectfully,

--

David R. Mack, M.D.

(832) 723-1141 (mobile)



TO: Mountain Village Design Review Board
FROM: Drew Nelson, Senior Planner
FOR: Design Review Board Public Hearing; May 2, 2024
DATE: April 24, 2024
RE: Staff Memo – Initial Architecture and Site Review (IASR) Lot 160R and Lot 1005R Pursuant to the CDC

APPLICATION OVERVIEW: New Bus Stop on Lot 160R and Lot 1005R

PROJECT GEOGRAPHY

Legal Description: LOT 160R TELLURIDE MOUNTAIN VILLAGE ACC TO REPLAT OF LOT 160 AND 1005 REC 5 10 00 BK 1 PG 2710 AND 11 LOCATED IN NW4 SEC 3 T42N R9W NMPM CONT 0.598 ACRES ZONING COMMERCIAL FIREHOUSE AND 3 EMPLOYEE APARTMENTS

Address: 411 Mountain Village Boulevard
Applicant/Agent: Scott Pittenger, Town of Mountain Village and Jim Kehoe, KEO Architects

Owner: Telluride Fire Protection District/
Town of Mountain Village

Zoning: Civic Zone District

Existing Use: Fire and Police Station

Proposed Use: Accessory Bus Stop

Lot Size: .526 acres

Adjacent Land Uses:

- **North:** Fire/Police Station and Open Space
- **East:** Multi-Family Residences/
Village Court Apartments
- **West:** Mountain Village Boulevard/Passive Open Space
- **South:** Civic Uses/Village Market Center



Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set/Site Plan

Case Summary: Scott Pittenger and Jim Kehoe, on behalf of owners Telluride Fire Protection District and the Town of Mountain Village, are requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) application for a bus stop located primarily on Lot 160R, 411 Mountain Village Boulevard (the fire/police station).

The proposed development straddles a property line that separates the fire/police station from the Village Court Apartments, and extends into the public right-of-way. General design elements for bus stops throughout Mountain Village were provided as a preliminary design to the DRB as part of a worksession held on March 7, 2024. Subsequent to that meeting, staff and the architect have worked to refine the designs based on feedback from the DRB, selecting particular materials and designs with the travelling public in mind. In particular, this bus stop serves the Village Court Apartments, primarily for children travelling to and from school.

The site is fairly level adjacent to Mountain Village Boulevard and will provide an adequate area for buses and other vehicles to stop and pull off the drive lane of the street. In addition to the structure, the applicants are proposing to install bike racks, trash/recycling facilities, benches, and ADA-accessible sidewalks around the structure. This includes extending the sidewalk north into Village Court Apartments, where it will connect with an existing sidewalk that provides pedestrian access throughout the complex. Part of the site plan indicates new parking lot structures on the fire/police station lot; however, these designs have not been finalized and are not a part of this design review.

The proposed structure is 8' by 18' in size (144 square feet) and utilizes a mixture of boardform concrete, stone, metal and glass. The roof is generally flat and is proposed to be bonderized metal. The proposed structure is designed to withstand both weather and potential vandalism attempts.

The applicants are seeking approval of the bus stop design proposed as a template for future bus stop construction. Materials and design theme will remain consistent at new locations. The configuration of the bus stop presented is specific to the VCA site, however, the template is easily adjusted to accommodate pedestrian access and traffic flow. Varying the dimensions to match public use and adjusted layouts that are site specific would be approved at a staff level moving forward to achieve the goal of consistent town infrastructure that meets the standard of Mountain Village and our guests.

The additional parking shown has been requested by the Telluride Fire Protection District to accommodate the growth of their response vehicle fleet. Two extra spaces could be created within the project area and are on the civil plans as a conceptual design. The construction of the extra parking spaces will be a future phase of the development to be reviewed by staff at a later date. Landscaping around the bus stop will not be installed at this time until the final configuration of Fire District Parking is determined. At that time the Town commits to adding some additional landscaping.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by Italicized Text.***

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	48' (shed) Maximum	11'6"
Avg. Building Height	48' (shed) Maximum	11'6"
Maximum Lot Coverage	65% (
General Easement Setbacks	No encroachment	No encroachment*
Roof Pitch		
Primary		Flat
Secondary		None
Exterior Material		
Stone	35% minimum	6.71%
Boardform Concrete	Specific Approval	24.70%
Windows/Door Glazing	40% maximum	31.27%
Metal	n/a	26.84%
Wood	n/a	0%
Open Air	n/a	10.48

**The area of proposed development is covered by a "20' Utility and Parking Easement"*

Design Review Board Specific Approval:

- 1) *Material: Metal Soffit and Fascia*
- 2) *Material: Boardform Concrete*

Design Variation:

- 1) *35% Minimum Stone Wall Materials*

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.3 Use Schedule

Staff: The applicant has identified that this structure is a a bus stop located in the Civic Zone District. According to Table 3-1 Town of Mountain Village Land Use Schedule, a bus station adjoining an existing bus route is an allowable use in the Civic Zone District.

17.3.13 Maximum Lot Coverage

Staff: The maximum lot coverage for within the Civic Zone District is 65% of the total land area of the site. Between Lots 160R and 1005R, there is more than ample open space provided on each lot and staff has determined that overall lot coverage does not exceed 65% when driving surfaces are removed from the calculation.

17.3.11 and 17.3.12: Building Height and Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates a flat roof form; however, there is a slight angle to the roof that provides an appearance of a shed roof. Structures within the Civic Zone District are allowed a maximum and average height limit of 48 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: The primary roof form of the proposed structure is flat, with a slight pitch from front to back, and is therefore granted a maximum height of 48 feet and an average height of 48 feet. The applicant has indicated that the maximum height of the current proposed structure is 11.5 feet and has an average height of 11.5 feet (Sheet A-300 of the attached plan set). The building height meets the requirements of the CDC.

17.3.14: General Easement Setbacks

The CDC provides that setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within setbacks such as driveways, ski access, natural landscaping, utilities, address monuments, and fire mitigation.

Staff: The proposed structure would exist within a small portion of the general easement located on Lot 1005R. The CDC allows for certain infrastructure within the general easement under Section 17.3.17.E.7., which contemplates allowing for improvements necessary for the efficient operations of the Town of Mountain Village. Staff believes this bus stop, serving numerous working residents of the Town, allows the Town to operate effectively and efficiently through the movement of the workforce and students. Prior to building permit, the applicant shall confer with the Town Attorney and Telluride Fire Protection District on the structure being located within existing sewer and driveway easements.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed design uses a mix of stone, concrete and metal for the overall design elements, with certain elements serving as wall components and seating areas at the same time. The materials are durable and would withstand the extreme natural forces of wind, snow, and heavy rain. Staff believes that the overall design theme is being met.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

Staff: The proposed designs show a low-slung, single-story structure that is 11.5' in height. The surrounding developed properties (particularly Village Court Apartments) include a number of similar accessory buildings that are located in strategic locations to serve the full time workforce residents of Mountain Village. The proposed siting of the bus stop would provide efficient access for residents and visitors as well as an easy turnout area for buses. Staff believes that the proposed siting of the building meets the requirements of the CDC.

17.5.6: Building Design

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. Roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation is required. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

Staff: Staff comments regarding each of the relevant subsections are below.

Building Form:

The form of the proposed structure utilizes a mix of materials mimics many accessory structures in the surrounding area. The proposed use of stone at the base that faces Mountain Village Boulevard reinforces this requirement. Staff believes the design meets this CDC requirement.

Exterior Wall Form:

The proposed structure has exterior walls that are relatively simple in design and portray a massing that is substantially grounded to the site. This is reinforced through the use of stone materials as the base that faces the public right-of-way, and metal on the main wall on the rear of the structure.

Roof Form:

The proposed roof form is slightly a shed roof but essentially functions as a flat roof in appearance. Additional details on roofing materials are missing and must be provided prior to Final Architecture Review. Once the roof material and color are provided, indicating either rusted metal, gray, or black materials, the roof would adhere to the requirements of the CDC.

Chimneys, Vent and Rooftop Equipment Design:

Not applicable.

Exterior Walls Materials and Color:

The building utilizes boardform concrete, metal, and glass windows for the majority of the exterior walls, with stone accents located on the front of the building facing Mountain Village Boulevard. The stone accounts for 6.71% of the total building form, requiring a design variation from the DRB. In addition, the use of boardform concrete requires a specific approval from the DRB. It should be noted that in certain locations (most notably at the Blue Mesa stop), noncombustible materials must be used due requirements of the Colorado Tramway Board for structures within a certain distance of overhead lift/gondola cables.

Glazing:

The maximum window area of the building, including window and door glazing, is approximately 31.27% of the total building façade. It should be noted that there are no doors proposed for the structure. If glass doors were proposed, the amount of window and door glazing would exceed the 40% limits of the CDC.

Doors and Entryways:

As noted above, there are no doors proposed for the structure. Staff believes the provisions of the CDC are not applicable.

Decks and Balconies:

Not applicable.

Required Surveys and Inspections:

A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

17.5.7: Grading and Drainage Design

Staff: Minimal site grading will be necessary to install the bus stop; however, there will be additional curb and gutter with a sidewalk placed around the site. Overall, the design indicates that water will drain away from the structure, meeting the requirements of the CDC.

17.5.8: Parking Regulations

Staff: Not applicable.

17.5.9: Landscaping Regulations

Staff: No additional landscaping is proposed for the site at this time; however, the Telluride Fire Protection District is working on plans to create a covered parking area within the adjacent parking lot and additional landscaping will be proposed at the time that designs are finalized for that structure.

17.5.10: Trash, Recycling, and General Storage Areas

Staff: The applicant has shown the trash and recycling facilities on the site, meeting the requirements of the CDC.

17.5.11: Utilities

Staff: Utilities are generally not necessary for the bus stop but are located within the general vicinity. Neither sewer nor water services will be provided; however, electricity may be necessary to provide for both lighting and maintenance purposes. Additional information on utilities should be provided prior to Final Architecture Review.

17.5.12: Lighting Regulations

Staff: The applicant has provided preliminary lighting options that include a step light as well as string lighting that would illuminate the soffit. Additional details on lighting should be provided prior to Final Architecture Review. Due to the size of the structure, a full photometric plan is not required.

17.5.13: Sign Regulations

Staff: Very limited signage is proposed for the structure, with just the name of the stop proposed on the front window as well as a projecting sign of the same over the main door. All signage will be required to meet the standards of the CDC sign code for size and location at the time the sign is applied for with the Planning Department.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Not applicable. Future landscape plans with the Telluride Fire Protection District's parking project are anticipated to meet the standards of the CDC for fire protection.

17.6.6: Roads and Driveway Standards

Staff: Not applicable.

17.6.8: Solid Fuel Burning Device Regulations

Staff: Not applicable.

Chapter 17.7: BUILDING REGULATIONS

17.7.20: Construction Mitigation

Staff: No construction mitigation plan has been submitted; however, it is anticipated that adjacent Town-owned property can be utilized for construction mitigation. Prior to Final Architecture Review, the applicant shall provide a construction mitigation plan meeting the standards established by the Public Works Department.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Staff Recommendation: Staff recommends approval of the Initial Architecture and Site Review for a new bus stop located on Lots 160R and 1005R. As noted earlier, staff is requesting that this design serve as a template for future bus stop locations and that staff be allowed to review future installations as a Class 1 Design Review.

Staff suggests the following motion for **approval** of the Initial Architecture and Site Review

I move to approve the Initial Architecture and Site Review for a new bus stop located on Lots 160R and 1005R, based on the evidence provided in the staff memo of record dated April 24, 2024, and the findings of this meeting, with the conditions as noted in the staff report, and further approve the design as a template for future bus stop improvements to be reviewed by staff as a Class 1 Design Review application.

With the following specific approvals and design variations:

Design Review Board Specific Approval:

- 1) Material: Metal Soffit and Fascia*
- 2) Material: Boardform Concrete*

Design Variation:

- 2) 35% Minimum Stone Wall Materials*

Conditions:

- 1) Prior to final review, the applicant shall provide additional information for roof materials and colors for the proposed structure in conformance with the provisions of the CDC.*
- 2) Prior to final review, the applicant shall provide additional information on utilities to indicate how electricity will be provided to the structure, if necessary.*
- 3) Prior to final review, the applicant shall provide additional details on the location and amount of lighting fixtures proposed for the structure.*
- 4) Prior to building permit, the applicant shall confer with the Town Attorney and Telluride Fire Protection District on the structure being located within existing sewer and driveway easements.*

- 5) *All future signage shall meet the requirements of the CDC, and shall be required to apply for a sign permit prior to any installation.*
- 6) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
 - a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
 - b. *Wood that is stained in the approved color(s);*
 - c. *Any approved metal exterior material;*
 - d. *Roofing material(s); and*
 - e. *Any other approved exterior materials*
- 7) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*

Should the DRB choose to require additional information be provided prior to consideration of the Initial Architecture and Site Review, staff recommends the following motion:

I move to continue the Initial Architecture and Site Review for a new bus stop located on Lots 160R and 1005R to the _____, 2024, regular Design Review Board meeting.

BUS STOP & SHELTER (VCA)

MOUNTAIN VILLAGE BLVD.
TOWN OF MOUNTAIN VILLAGE

DRB SUBMISSION

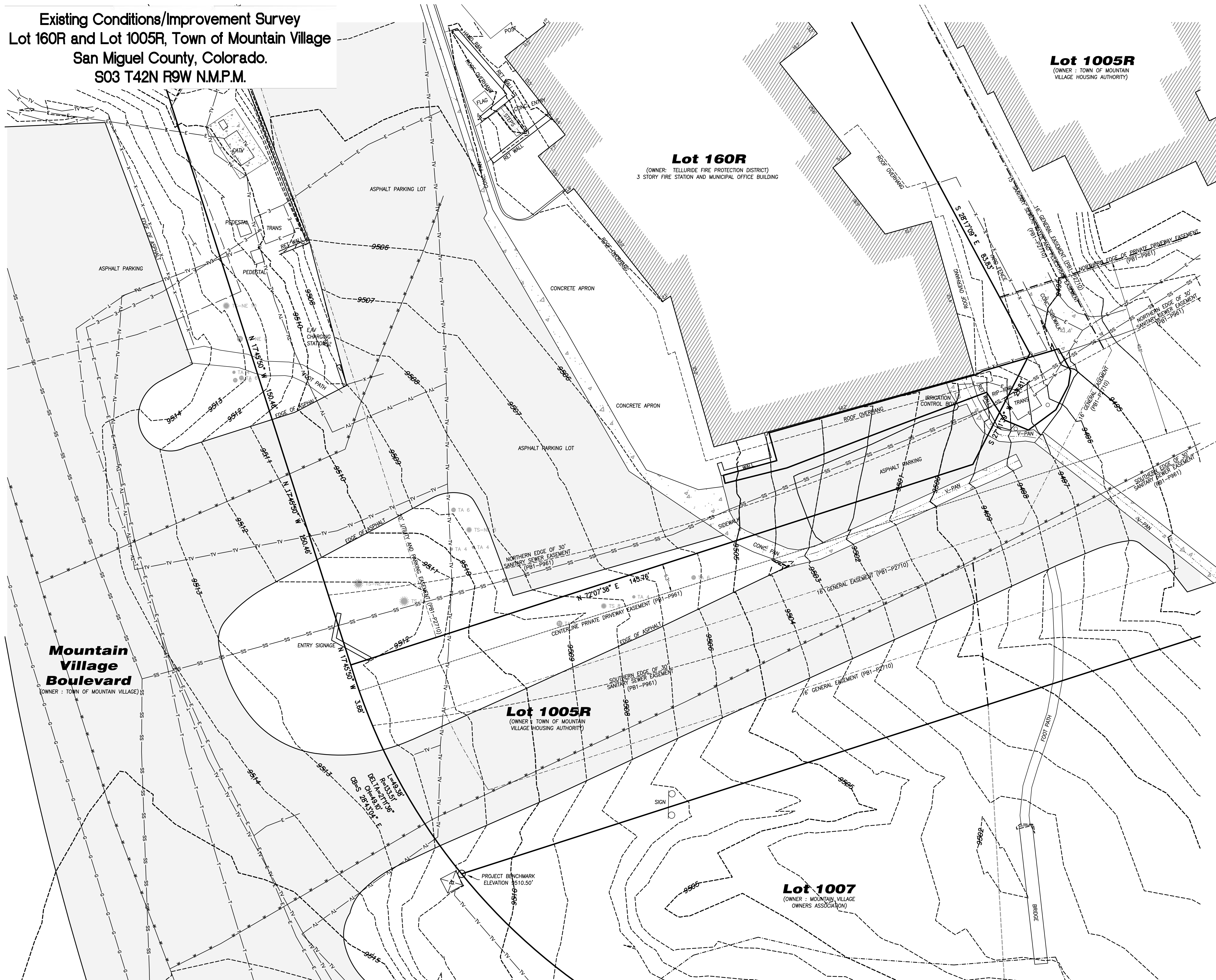
APRIL 18, 2024



SHEET INDEX

- 1. COVER
- 2. SURVEY
- 3. CIVIL PLAN
- 4. A200 - SITE PLAN, FLOOR PLAN, 3Ds
- 5. A300 - ELEVATION & MATERIALS

Existing Conditions/Improvement Survey
Lot 160R and Lot 1005R, Town of Mountain Village
San Miguel County, Colorado.
S03 T42N R9W N.M.P.M.



Lot 1005R
 (OWNER: TOWN OF MOUNTAIN VILLAGE HOUSING AUTHORITY)

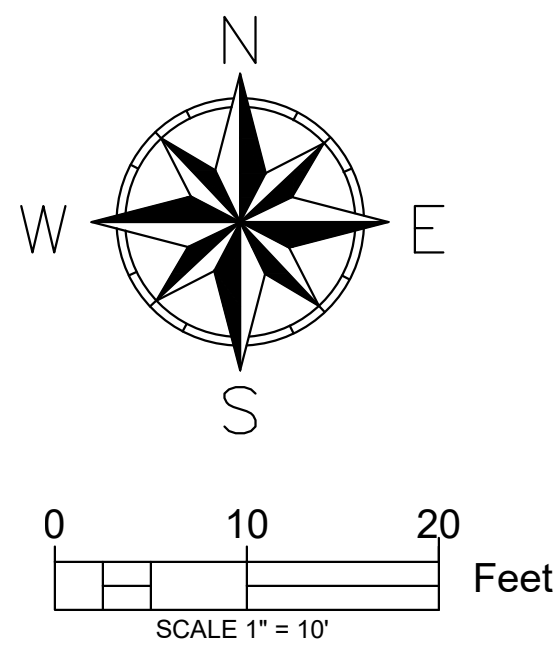
Lot 160R
 (OWNER: TELLURIDE FIRE PROTECTION DISTRICT)
 3 STORY FIRE STATION AND MUNICIPAL OFFICE BUILDING

Lot 1007
 (OWNER: MOUNTAIN VILLAGE OWNERS ASSOCIATION)

Mountain Village Boulevard
 (OWNER: TOWN OF MOUNTAIN VILLAGE)

LEGEND

	TRANSFORMER
	FIRE HYDRANT
	MANHOLE (WATER)
	MANHOLE (SANITARY SEWER)
	WATER VALVE
	TELEPHONE PEDESTAL
	CABLE-TV PEDESTAL
	CABLE TV LINE
	GAS LINE
	ELECTRIC LINE
	SANITARY SEWER
	WATER LINE
	TREE ASPEN - # INDICATES DIAMETER OF TRUNK IN INCHES
	TREE SPRUCE - # INDICATES DIAMETER OF TRUNK IN INCHES



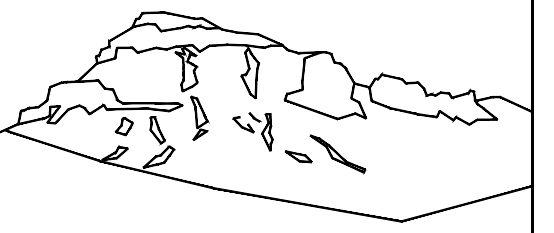
This Existing Conditions/Improvement Survey of portions of Lot 160R and Lot 1005R, Town of Mountain Village, was field surveyed during February 2023 under the direct responsibility, supervision and checking of David R. Bulson of Bulson Surveying being a Colorado Licensed Surveyor. This Existing Conditions Survey is not a Land or Improvement Survey Plat as defined by Colorado State Statute.

David R. Bulson
 Date: 2024.02.27 15:53:51 -07'00'
 P.L.S. NO. 37662

- NOTES:**
1. This survey does not constitute a title search by Bulson Surveying, Inc.
 2. According to FEMA Flood Insurance Rate Map 08113C0287-D, Panel Number 0287 D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside the 100 year flood plain
 3. Benchmark: 1.5" Aluminum cap on 5/8" rebar, LS 37662 at the western corner of Lot 1007, having an elevation of 9510.50'. Elevations have been adjusted to match San Juan Surveying 2018 topographic survey of Mountain Village Boulevard.
 4. Lineal units represented hereon are shown in U.S. Survey Feet or a decimal portion thereof.
 5. This survey is valid only if a print or electronic copy has a seal and signature of the surveyor noted within the statement above.
 6. Any person who knowingly removes, alters, or defaces any public land survey monument and/or boundary monument or accessory, commits a class two (2) misdemeanor pursuant to C.R.S. 18-4-508.
 7. The word certify as used hereon means an expression of professional opinion regarding the facts of this survey and does not constitute a warranty or guarantee, expressed or implied.
 8. This survey is prepared for the exclusive use of the party or parties indicated within the surveyor's statement. Said statement does not extend to any unnamed person or parties without an express statement by the surveyor naming said entities.
 9. Utilities shown hereon are based upon the markings and mapping provided by others. This mapping is for planning purposes only. Prior to any earthwork on and surrounding this property, call the Utility Notification Center at *811
 10. Contour interval is 1'

NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

Town of Mountain Village Housing Authority 455 Mountain Village Boulevard Mountain Village, CO 81435	Lot 160R and Lot 1005R Town of Mountain Village S03 T42N R9W NMPM
2-26-2024	
#20077	



Uncompahgre Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

Existing Conditions/Improvement Survey
Lot 160R and Lot 1005R, Town of Mountain Village
San Miguel County, Colorado,
S03 T42N R9W N.M.P.M.

SUBMISSIONS:

SUBMITTAL -----

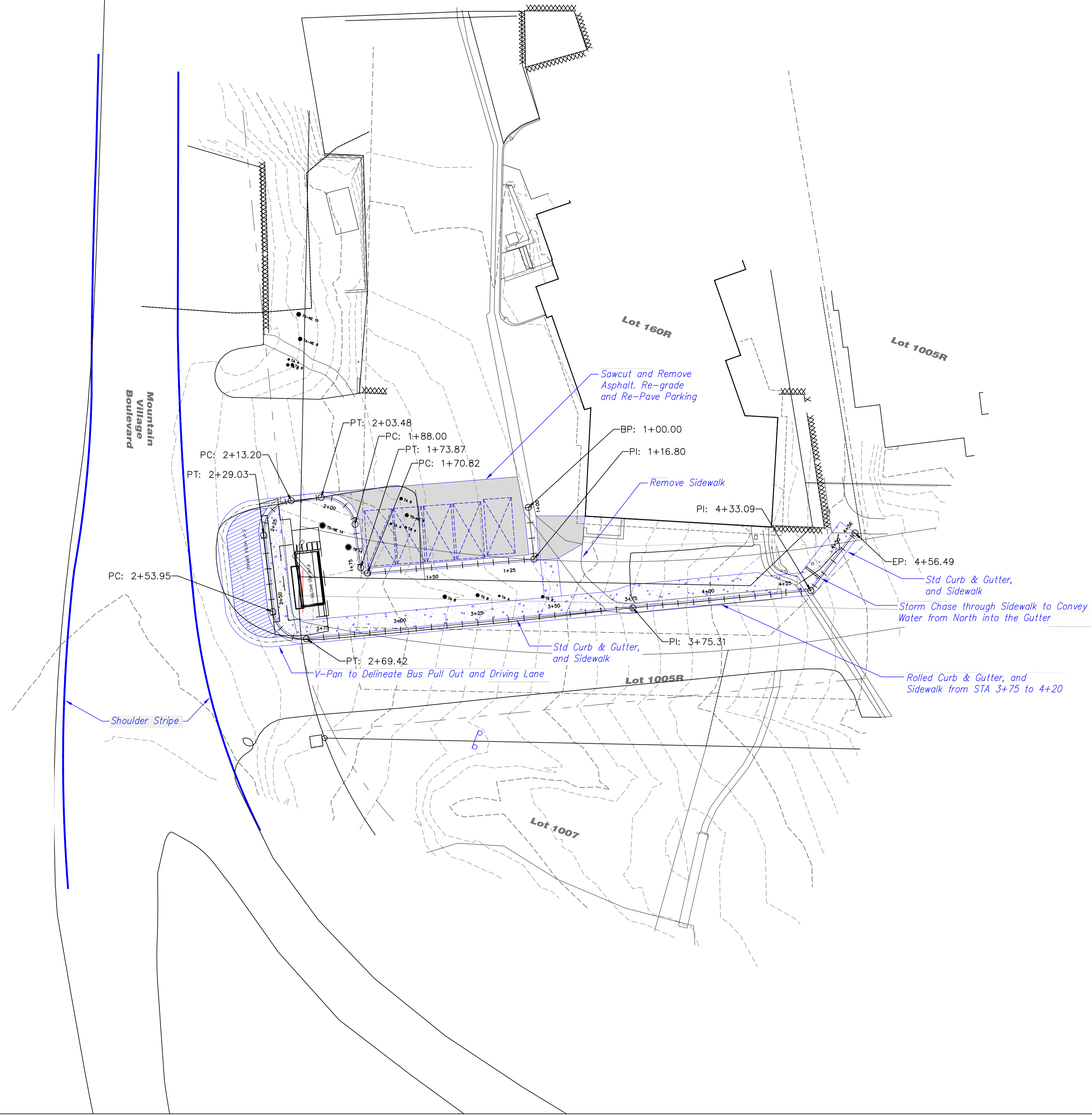
Bus Stop
Fire Station
Mtn. Village, CO

NOT FOR CONSTRUCTION

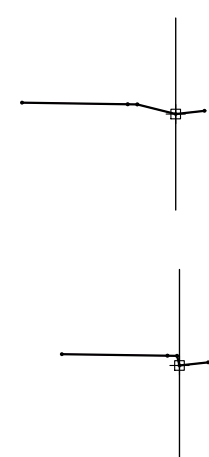
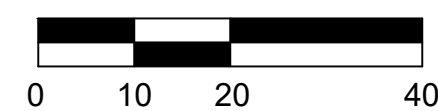
CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading
and
Drainage

C2



Scale: 1" = 20'

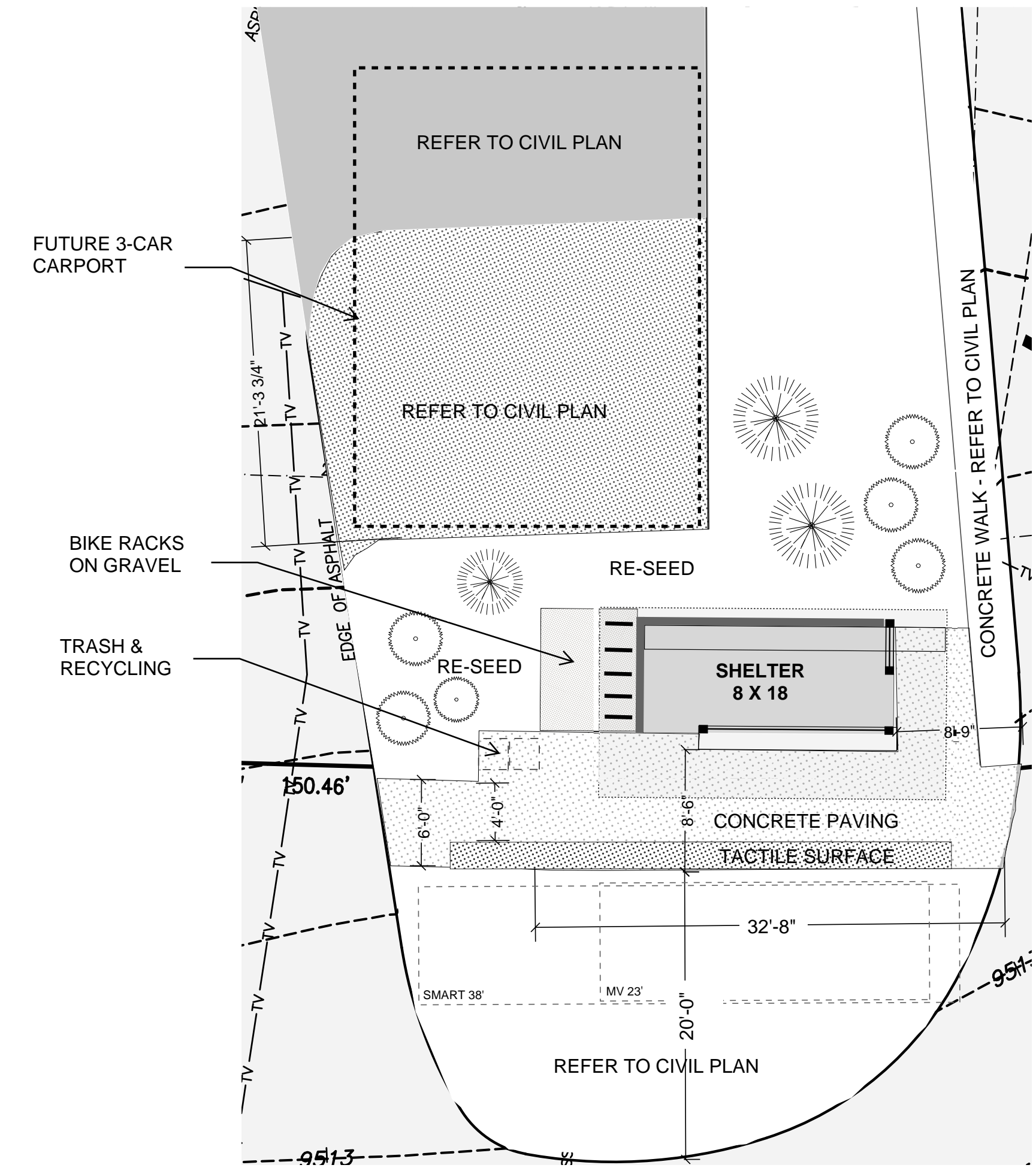


LANDSCAPE PLANTING

SPECIES	SIZE	QUANTITY
ASPEN	TBD	6
BLUE SPRUCE	TBD	3



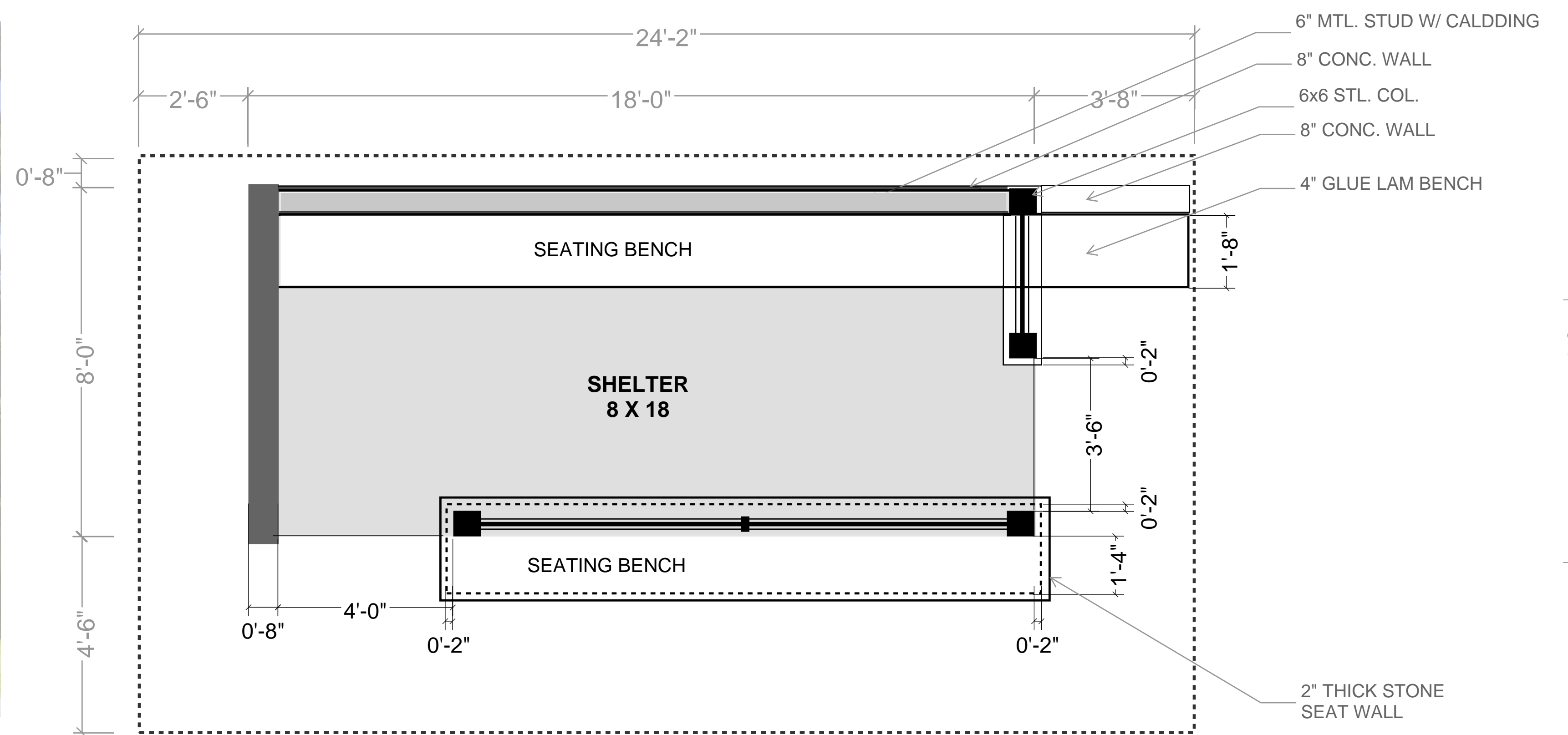
4 PERSPECTIVE 2
 NTS



2 SHELTER SITE PLAN
 1/8" = 1' - 0"



1 PERSPECTIVE 1
 NTS



1 BUS SHELTER PLAN
 1/2" = 1' - 0"

BUS STOP & SHELTER
MOUNTIAN VILLAGE BLVD.
TOWN OF MOUNTAIN VILLAGE

02/26/2024 DRB WORKSESSION
 04/18/2024 DRB SUBMISSION

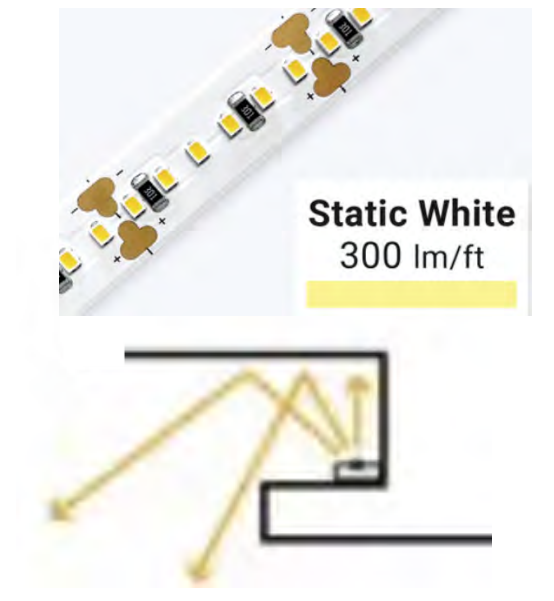
SCHEMATIC
 DESIGN

SITE PLAN &
 FLOOR PLAN



Delivered Lumens: 74lm
3000K, Amber, Blue, Red
CRI: 90
Power: 3.9W
Input: 120 VAC, 50/60Hz
ELV Dimming: 100-10%

STEP LIGHTING



COVER LIGHTING SOFFIT



METAL FACIA CHARCOL GRAY



COMPOSITE WD. SOFFIT



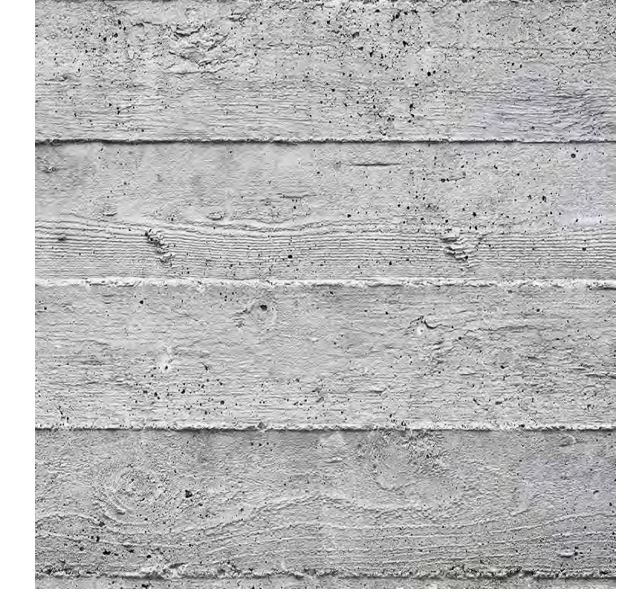
SEAT BACK-IPE WD



BONDERIZED METAL CORRUGATED SIDING



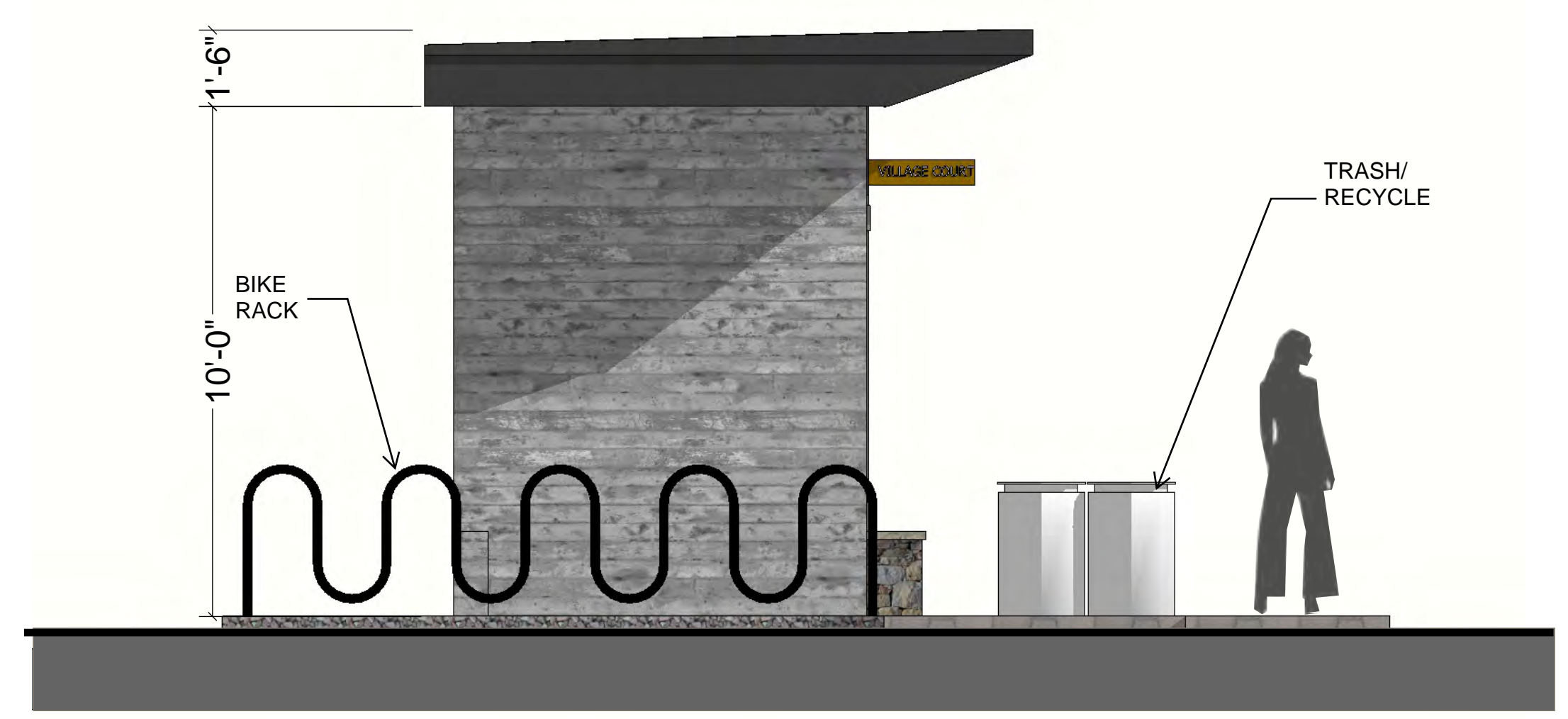
TELLURIDE STONE PROSPECTOR



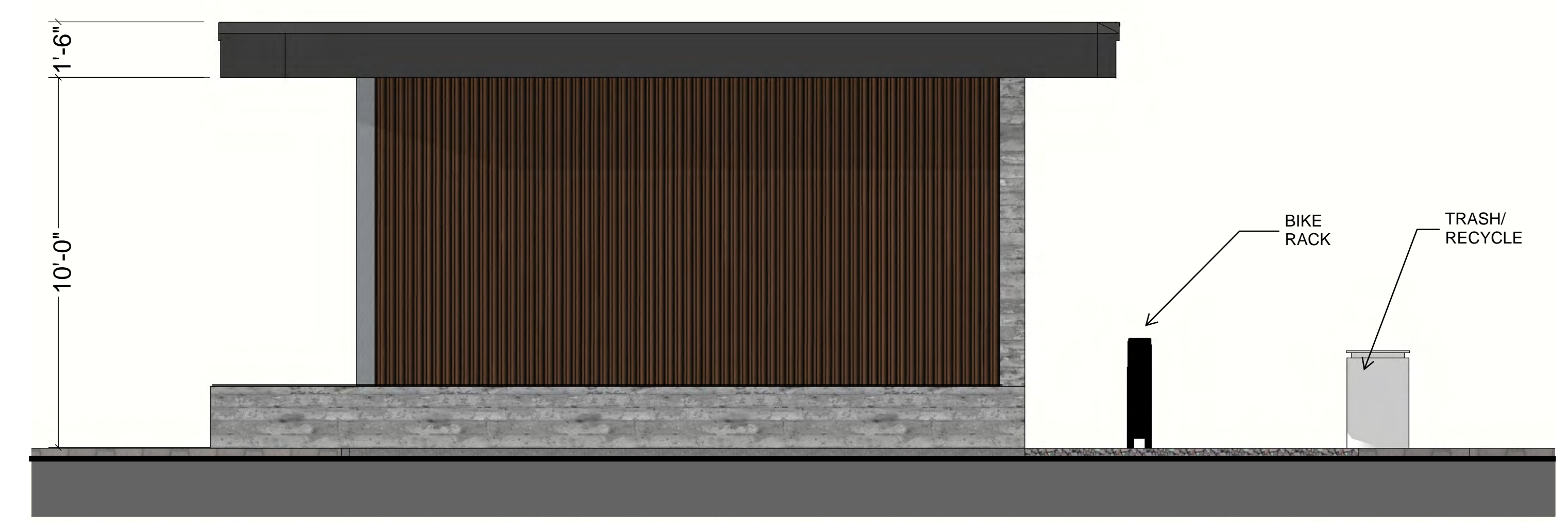
BOARDFORM CONCRETE



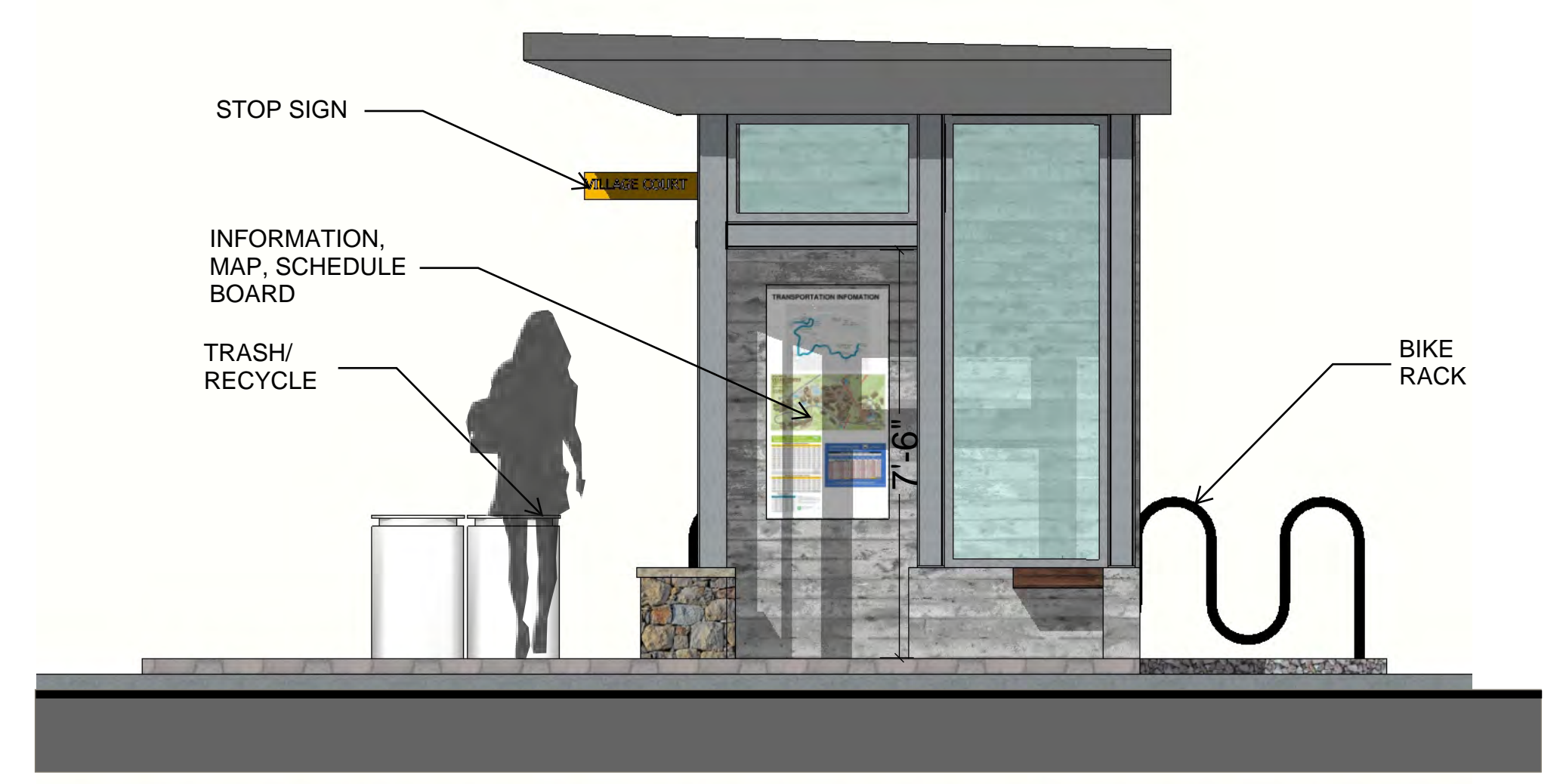
GALVANIZED STEEL STRUCTURE



4 NORTH ELEVATION
3/8" = 1' - 0"



3 EAST ELEVATION
3/8" = 1' - 0"



2 SOUTH ELEVATION
3/8" = 1' - 0"



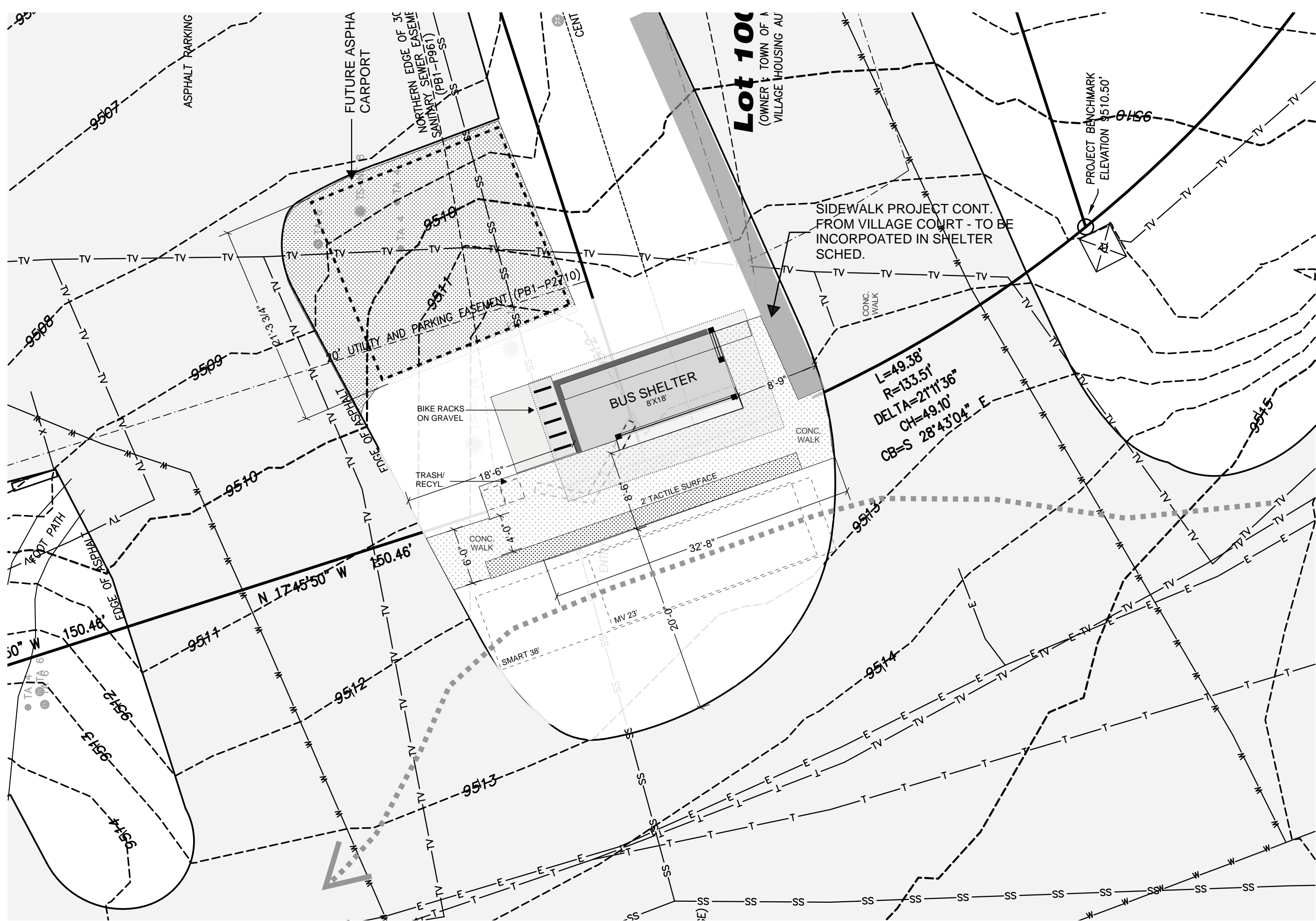
1 WEST ELEVATION LEVEL
3/8" = 1' - 0"

BUS STOP & SHELTER
MOUNTIAN VILLAGE BLVD.
TOWN OF MOUNTAIN VILLAGE

02/26/2024 DRB WORKSESSION
04/18/2024 DRB SUBMISSION

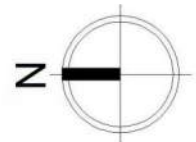
SCHEMATIC DESIGN

ELEVATIONS



BUS STOP & SHELTER
MOUNTIAN VILLAGE BLVD.
TOWN OF MOUNTAIN VILLAGE

SITE PLAN
 1:10



SITE PLAN
A100



**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

Agenda Item No. 10

TO: Design Review Board

FROM: Amy Ward, Community Development Director and Rodney Walters, Town Forester

FOR: Meeting of May 2, 2024

DATE: April 25, 2024

RE: A review and recommendation to the Town Council regarding Community Development Code Amendments of CDC Section 17.6.1 Environmental Regulations and 17.8.1 Definitions, regarding fire mitigation and tree preservation

BACKGROUND

Statewide, concerns over the potential for wildfire have increased considerably in recent history. The Town of Mountain Village is fortunate to be surrounded by amazing, beautiful forest, and though this is of benefit to our residents, visitors and our environment, it also comes with associated potential risks to our homes, infrastructure and residents. Mitigating these risks can be best achieved by following evidence based practices to reduce fuel around our homes. This proposed CDC Amendment updates the Town's required fire mitigation standards to better meet best management practices. Changes are based on both State and National standards.

ATTACHMENT

- Exhibit A - Proposed Redline CDC Amendment. Deletions are shown in ~~strikethrough~~ and additions are shown in **bold and underlined**.

PROPOSED CHANGE STAFF COMMENTS:

17.6.1.A.3 General standards

a.i-iv. Changes in this section just clarify and give authority to the Town Forester to administer the standards based on the code.

b.i. Adds Zone 3 to the tree survey requirements (however c.i allows staff to waive the survey of Zone 3 if impractical or found not to be necessary based on the development proposed)

d.i. Changes the area of Zone 1. This is probably the most drastic change we are making to the regulations. This area of vegetation free hardscape has proven to be critical in saving structures during real fire events. Sod or other grasses will not be allowed to continue right up to the edge of house. Some shrubs may be allowed, but in no case directly adjacent to or underneath windows, decks or vents.

d.ii. Changes Zone 2 to 5-30 feet from the home. This simplifies the application of Zone 2 and removes the previous slope % v. distance chart that was previously utilized and difficult to enforce. The addition of the requirement to remove ladder fuels is an important way to stop fire spread.

d.iii. Aligns Zone 3 requirements with state and national standards

e.iii Does not allow for firewood to be stored outside near the house, implementing a 30' requirement. Firewood stored inside the garage or home is allowed.

17.6.4 Tree Preservation and Removal Policy

Although we had discussed in previous DRB meetings the idea of creating much more stringent tree preservation policies, through a work session with council staff understands that the Council was not comfortable at this time with significant changes to the existing policy. Instead, for the time being staff will focus on better enforcement of our current policies. Some minimal changes are explained below.

f.i. The addition of the language “or Critical Root Zone” allows for us accept either area, but paves a path to start talking about the critical root zone which is in many cases larger than the tree’s drip line.

17.6.4 Tree Alteration or Removal Policy

“Alteration or” was added for clarification. The previous version of the CDC talks about a tree being “materially altered,” but didn’t provide a specific definition. So with the addition of **(i) and (ii)** we are providing an interpretation of what constitutes finable alterations.

17.8.1 Definitions

Tree Alteration is defined

STAFF RECOMMENDATION

Staff recommends the Board make a recommendation of approval to the Town Council of the proposed Community Development Code Amendments.

PROPOSED MOTION

“I move to recommend the approval of the proposed changes to the Community Development Code to sections 17.6.1 Environmental Regulations and 17.8.1 Definitions as attached hereto as exhibit A.

/aw

17.6.1 Environmental Regulations.

A. *Fire Mitigation and Forestry Management.*

1. *Purpose and Intent.* The Town's forests are the predominant, important ecosystem in the Town while also providing the naturally treed landscape context for development and scenery for residents and guests visiting the area. The purpose and intent of the Fire Mitigation and Forestry Management Regulations is to foster and maintain a healthy forest ecosystem and landscape while also protecting buildings from wildfire. These regulations are also intended to promote and maintain forest health, vitality, and diversity for generations to come.

2. *Applicability.* The following types of development shall create and implement a wildfire mitigation plan in accordance with this section:

- a. All new building construction that will create a habitable space, including but not limited to commercial buildings that are occupied by employees or guests on a regular basis:
- b. Additions that increase a building's habitable floor area or number of stories that have a valuation of fifty thousand dollars (\$50,000) or greater; or
- c. Any alteration of the landscaping of a lot that has a valuation of fifty thousand dollars (\$50,000) or more, including but not limited to the addition of decks, patios, walkways and water features.

3. *General Standards.*

a. No tree greater than four (4) inches dbh may be removed or altered without a written permit from the Forestry Division. The Forestry Division shall receive all Forestry permit submittal documents electronically, preferably in pdf format or other electronic plans and submitted through the Town permitting website set forth by the Town Forester. When the Town Forester issues a permit, the permit shall be issued electronically to the permit applicant. No work shall be performed until such permit has been issued.

i. Administration. Administration of the Forestry Regulations falls under the Community Development Department, Forestry Division, with the Forester designated as the official under these regulations.

ii. Forester Appointment. The Forester shall be appointed by the Community Development Director or its designee in consultation and with the consent of the Town Manager and consultation with the Human Resources Director.

iii. Forester Designees. In accordance with the proscribed procedures of this Town and with the concurrence of the appointing authority, the Forester shall have the ability to recommend to the Planning and Development Services Director and the Town Manager that the Town appoint employees to assist with the implementation of these provisions. Such employees shall have the powers as delegated by the Town.

iv. In the absence of the Forester, the Planning and Development Services Director will appoint a designee and/or will otherwise perform the duties of the Forester.

iv. Forester Roles and Responsibilities.

1. Duties and Powers of the Forester. The forester is hereby authorized to:

a. Enforce the provisions of the CDC and Forestry Regulations.

b. Render interpretation of the Forestry Regulations. Render major interpretations of these codes after consultation with the Planning and Development Services Director and the Town Attorney.

c. Adopt policies and procedures to clarify the application of the codes and Forestry provisions.

i. Such interpretations, policies and procedures shall be in compliance with the intent and purpose of the codes.

ii. Such policies and procedures shall not have the effect of waiving requirements specifically provided for in the adopted codes.

d. Require that hazardous conditions in violation of the codes be corrected when the Forester has found that conditions are hazardous to life or property.

~~a.~~ b. All new development that must prepare a wildfire mitigation plan as required above shall submit the following plans and information on one (1) plan sheet as a part of the required Design Review Process development application:

i. Tree survey prepared by a Colorado licensed surveyor that shows all live trees that have a caliper of four inches (4") or greater – diameter at breast height ("dbh") – within Zones 1, 2, **and 3** as defined below. The requirement of a tree survey will be waived for existing development that voluntarily creates a defensible space plan.

- ii. Proposed wildfire mitigation plan based on the requirements of this section that shows all trees to be removed that have four inches (4") or greater dbh.
 - iii. Proposed landscape plan prepared by a qualified professional pursuant to the Design Regulations.
 - iv. Existing and finished grades in two-foot contours with such grading based on a survey prepared by a Colorado licensed surveyor.
 - v. Proposed site plan and associated improvements; and
 - vi. Lot lines and dimensions.
- ~~b.~~ c. Prior to submitting a development application pursuant to these Fire Mitigation and Forestry Management Regulations, an applicant shall schedule a pre-application meeting with Community Development Department staff to develop the wildfire mitigation plan. Staff may require an inspection of the lot affected by the application to assess forest health.
- ~~c.~~ d. Town staff shall review and approve all wildfire mitigation plans to ensure they meet the requirements of this section.
- i. Town staff shall reserve the right to augment or waive the requirements of this section if it is deemed impractical or impossible to implement a wildfire mitigation plan on a particular lot due to lot size, steepness of grade, erosion concerns and proximity to wetlands or negative impact to surrounding properties.
- ~~d.~~ e. The following requirements, **based on standards set by the Colorado State Forest Service Home Ignition Zone (2012) and National Wildfire Coordinating Group wildfire mitigation standards (2023)**, shall be followed in creating the required wildfire mitigation plan:
- i. ~~Zone 1 is the area that consists of fifteen feet (15") around the building as measured from the outside edge of the building's dripline, including decks, planters or patios attached to the building. The following provisions shall apply in Zone 1:~~ **Zone 1 (0 to 5 feet) is the area that consists of five feet (5') from the edge of the building as measured from the outside edge of the building, including**
-

decks planters, roofed walkways, and etc. attached to the building. The purpose of Zone 1 is to create a vegetation free hardscape next to the home utilizing pavers, stone, gravel, lava rock, concrete, or other non-flammable material to protect the building. Zone 1 one must be extended to 7 feet in cases of complex building design and areas with re-entrant corners. This zone requires the most vigilant work in order to reduce or eliminate ember ignition and direct flame contact to the building. The following provisions shall apply in Zone 1:

- (a) All slash, **other woody debris**, and flammable vegetation as identified by staff shall be removed from Zone 1.
- (b) All ~~trees and shrubs~~ **vegetation including sod, tall grasses, shrubs, and trees** located within Zone 1 shall be removed.

(c) No trees or shrubs shall be planted directly adjacent to or underneath windows, decks, or vents.

⇨ d) The following exceptions apply to Zone 1:

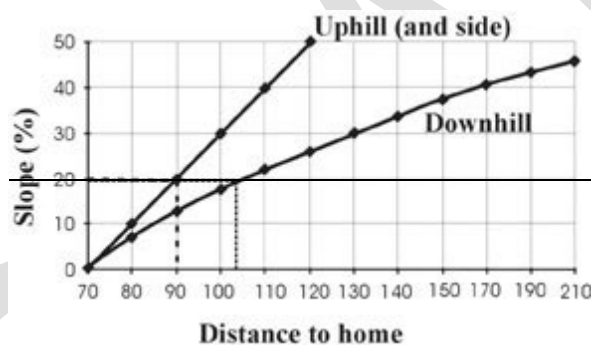
- (i) ~~A tree or shrub may remain within Zone 1 provided the defensible space distance is measured commencing from the vegetation's drip edge rather than from the building plane (so the tree is considered part of or an extension of the structure), and provided the distance is not limited by a lot line. A shrub, but no trees may remain within Zone 1 in a planter provided the defensible space distance is measured commencing from the vegetation's drip edge rather than from the building plane (so the plant is considered part of or an extension of the structure), and provided the distance is not limited by a lot line and provided a minimum of 15 feet of space outside this area (considered to be part of or an extension of the structure) is maintained tree and shrub free as measured from the outside edge of the tree or shrub at mature size.~~
 - (ii) ~~Flammable vegetation shall be allowed in planters attached to the building so long as the planter is within ten feet (10') of a building, and vegetation is not planted directly beneath windows or next to foundation vents. Firewise vegetation (shrubs and non-woody vegetation) shall be~~
-

allowed in planters attached to the building so long as the planter is within ten feet (10') of a building, the planter contains non-flammable mulch, the planter is permanently irrigated, the planter has a 5 foot vegetation free zone to the outside of the planter, and vegetation is not planted directly beneath windows or directly adjacent to or under a deck, or next to any exterior or foundation vents.

d) (e) In the event Zone 1 encroaches upon the general easement, the review authority shall allow the creation of defensible space as required by this section.

(ii) Zone 2 is the area that extends from the outer edge of Zone 1 for the distance specified in Figure 6-1, Fire Mitigation Zones, based on slope, to the lot line, whichever is less.

Figure 6-1. Fire Mitigation Zones



Zone 2: is the area 5-30 feet from the building(s) and their attachments that transitions away from the building(s) where fuels should be significantly reduced. This zone is designed to minimize a fire's intensity and its ability to spread while significantly reducing the likelihood of structure ignition because of radiant heat. The purpose of Zone 2 is to provide less fuel for an approaching fire and to reduce its intensity as it nears buildings.

(a) The following provisions shall apply in Zone 2:

(iii) (i). Dominant and codominant live trees with a dbh of four inches (4") or greater shall be spaced with a ten foot (10') crown-to-crown separation. All ladder fuels and slash shall be removed from the ten foot (10') crown-to-crown separation area. **Grasses and other non-woody vegetation shall be kept mowed to a height of four inches (4") or less and**

accumulations of surface fuels, such as logs, branches, slash, and mulch shall be avoided.

(ii). Dominant and codominant live trees with a dbh of four inches (4") or greater and shrubs shall be installed or thinned so they will produce a 15 foot (15') space between the edge of the crown to the drip edge of the home at maturity and have a ten foot (10') crown-to-crown separation distance at maturity throughout the rest of Zone 2. All ladder fuels and slash shall be removed from in between the crown-to-crown separation areas. Measurements shall be from the outermost branch of one tree or shrub to the nearest branch on the next tree or shrub (mature size) or to the drip edge of the building.

(iii). All ladder fuels (sapling conifers, evergreen shrubs, or woody debris) must be removed under remaining trees.

~~(iv)~~ (iv) All stressed, diseased, dead, or dying trees and shrubs, as identified by staff, shall be removed except for standing dead trees that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.

(v) Shrubs over five feet (5') tall shall have an average spacing of ten feet (10') from shrub-to-shrub **and fifteen feet (15') from the building.**

(vi). The above specified distances are minimums and distance requirements may be increased by staff to reduce potential fire behavior, particularly on steep slopes.

(b) The following exceptions apply to Zone 2:

~~(i) Groupings of trees or shrubs may be allowed provided that all of the crowns in such group of trees or the edge of the shrubs are spaced ten feet (10') from crown-to-crown or from edge of shrub to any trees or shrubs outside of such grouping.~~ **Small groupings of trees or shrubs (2 - 5 trees and shrubs) may be allowed provided that 30 feet (30') of space is maintained in between tree groups. All the crowns of trees or the edge of the shrubs within the tree groupings must be spaced a minimum of 15 feet (15' away from the drip edge of the building(s)**

and provide fifteen feet of space to the edge of the crowns of adjacent trees and shrubs at maturity or 30 feet if adjacent to another grouping of trees or shrubs.

(ii) Aspens, narrowleaf cottonwoods, willows and other trees and shrubs listed in CSU Cooperative Extension Publication 6.305, Firewise Plant Materials as amended from time to time, may be spaced closer than the ten-foot (10') crown-to-crown separation as approved by staff.

(iii) Closer spacing of any trees may be allowed by staff upon a determination that the required ten-foot (10') crown-to-crown spacing would put the remaining trees at undue risk of wind-throw or snow breakage.

(iv) Tree removal for the creation of defensible space, if such tree removal is determined to be impractical by the Town due to steep slopes, wetland or other environmental constraints, and other mitigation is provided.

(c) Trees remaining within Zone 2 shall have branches pruned to a height of ten feet (10'), but notwithstanding said height requirement, branches need not be pruned to more than one-third (1/3) of the tree height with the following exceptions:

(i) Aspen trees; and

(ii) Isolated spruce and fir trees if a minimum of 15' of space around them is maintained.

(d) In the event that Zone 1 or 2 extends upon the general easement, the review authority shall allow the removal of trees to implement the wildfire mitigation plan.

(e) Chipped wood and small timber may be spread throughout Zone 3 provided the wood chips have a maximum depth of two to three inches (2" – 3") and small timber has a diameter of three inches (3") or less and is cut up into lengths that are three feet (3') or less.

iii. ~~Zone 3 is the area extending beyond Zone 2 to the edge of the lot subject to development. In Zone 3, all diseased, beetle infested, dead or dying trees, as identified by staff, shall be removed except for standing dead trees (aka tree snags) that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.~~ **Zone 3 is the area extending beyond Zone 2 to 100 feet away from the building(s) or the edge of the lot subject to development. In cases where steep slopes exist, staff may increase the distance of the outside edge of Zone 3 to a distance up to 200 feet to minimize the advance of a wildfire. This is because wildfire intensity and movement are most often accelerated on steep slopes. The goal of Zone 3 is to reduce the continuity of fuels in such a way that large flames (crown fire) cannot persist. Trees and tree groupings shall be spaced from one another at a minimum distance of 10 feet crown separation (at mature size) to reduce the transfer of crown fire. All dead and down fuels shall be removed. In Zone 3, all diseased, beetle infested, dead or dying trees, as identified by staff, shall be removed except for standing dead trees (aka tree snags) that staff indicates need to be retained as important wildlife habitat.**

(a) For lots greater than five (5) acres in size, the Town shall only require that Zone 3 be implemented for a maximum distance of 200 feet from the outside edge of Zone 3. A lot owner may propose to implement Zone 3 for all of the lot.

iv. Beyond Zone 3 (Larger Landscape): The landscape beyond Zone 3 should be considered for management when possible. Fuels in this area could be managed in such a way to lessen the volume of ember production, decrease fire intensity, and create opportunities for fire suppression equipment and personnel while being in line with other forest management goals, such as forest health.

e. Firewood may only be stored on a lot that has a solid fuel burning device permit issued by the Town that meets the following limitations:

i. Indoor storage can only occur within an enclosed room that is a part of the primary structure on the lot.

- ii. Outdoor storage shall only occur in the rear yard.
- iii. ~~Up to ten (10) cubic feet of outdoor firewood storage may be located in Zone 1 or Zone 2.~~ Outdoor firewood storage shall have a minimum thirty-foot (30') distance from the structure.
- ~~iv.~~ iv. Outdoor firewood storage shall be screened from view from surrounding lots.
- f. Prior to the issuance of any certificate of occupancy or certificate of completion, staff shall inspect the lot affected by the fire mitigation plan to ensure that such plan has been implemented in accordance with the approved wildfire mitigation plan.
- g. The wildfire mitigation plan shall be maintained by the lot owner as required by this section.

4. *Tree Preservation and Removal Policy.*

- a. Subject to review and approval by the review authority trees shall only be removed from a lot for:
 - i. Approved development as permitted by the CDC;
 - ii. Approved fire mitigation;
 - iii. Approved forest management;
 - iv. View corridors from windows provided the removal of such trees is minimized;
 - v. Utilities provided it is not practical for the utilities to follow the driveway or other corridors where trees are being removed as allowed by this section;
 - vi. Renewable energy systems provided it is not possible to locate such on the buildings allowed on the lot, or within areas where trees are already being removed as allowed by this section;
 - vii. Ski area access as may be permitted by the review authority;
 - viii. Potential damage to a structure or other constructed improvement on a lot, such as a utility line or utility meter, tramway or snowmaking equipment; and/or
 - ix. Protection of the public health, safety or welfare.
-

- b. No tree four inches (4") or greater dbh located on any lot within the Town may be removed or materially altered without the prior written approval of the review authority.
 - i. All dead or live trees with a diameter of four inches (4") or greater shall be preserved on the site unless the review authority has approved the removal of such trees as a part of the required development application process.
 - c. A tree removal development application must be submitted to the Town prior to the removal or material alteration of any dead or living tree greater than four inches (4") dbh. Such development application shall include the information and plans as required by this section.
 - d. Trees, living or dead, to be removed from the general easement or open space must be marked and field inspected prior to removal.
 - i. Trees removed by the ski resort operator in the ordinary operation of the ski area or golf course, including without limitation trees removed for utility and snow making installation, are exempt from the requirements of this section provided notice and information is provided to the Planning Division and it determines that the tree removal is part of the ordinary operation of the ski area or golf course. Other tree removal that is deemed by the Planning Division to not be a part of the Ordinary operation of the ski or golf course operations requires the submission of an tree removal development application pursuant to the requirements of this section and the CDC.
 - ii. The Town has the right to remove any trees on Town-owned lot for forest health or fire mitigation provided the trees to be removed have been marked and staff inspects and approves the proposed tree removal.
 - e. Any tree deemed by staff to be a hazard to any building, structure, public facility, roadway, adjacent lot, gas line, well head, telephone and/or electrical box shall be removed by the owner of the lot or the affected utility agency within a reasonable amount of time (as determined by the Town base on the nature of the hazard) after notification. Documentation of the hazard and the Town's approval of the tree removal shall be provided prior to the removal of the hazard tree.
 - i. In cases of an emergency, a hazard trees may be removed without prior approval if photo documentation of the hazard is provided to the Town that clearly shows the emergency nature of the tree removal. Such emergency tree removal shall be reported and the required documentation provided within forty-eight (48) hours of the tree removal.
 - f. All development shall use the following best management practices to protect and preserve trees that will be retained on a project site:
-

i. All dead or live trees with a dbh of four inches (4") or greater that are to be saved that may be affected by construction shall be protected by placing and maintaining fencing at the tree's dripline **or Critical Root Zone (CRZ).**

(a) The Building Regulations' required construction mitigation plan shall show the location of all required fencing to protect trees in close proximity to grading or other construction activity.

ii. Developers shall use extreme care during grading and excavation to avoid damage or removal of existing trees and shrubs to be retained on a project site and to preserve their root structures.

(a) No vehicles shall be parked within the dripline of a tree or shrub to be retained.

(b) No accessway shall be constructed within the driplines of tree to be retained.

(c) No grading shall occur on a site until approved fencing is placed at the dripline of trees and shrubs to be retained on the project site.

(d) All trees to be retained shall be clearly marked on the project site to ensure such trees are not removed.

(e) Timber and slash generated during development shall be removed from the site within thirty (30) days of cutting. No burning of wood or any other material is permitted.

5. *Tree **Alteration or** Removal Violation and Penalties.*

a. In addition to the violations and penalties as established in Chapter 1, each tree removed or materially altered in violation of this section shall constitute a separate violation of the CDC and shall be subject to a fine of no less than five thousand dollars (\$5,000) per tree.

(i) Any amount of backfill or excavation that occurs within the dripline or CRZ of a tree without written authorization constitutes an alteration and is finable.

(ii) Any damage to trees including but not limited to trunk wounding, tearing or cutting of roots, and compaction, backfill, or excavation within the dripline or CRZ is a finable alteration.

b. Any party that violates any provision of this section as well as the owner or lessee of the lot on which the violation has occurred shall be subject to the penalties imposed pursuant to the CDC.

17.8.1 Definitions

Tree Alteration. Alteration is defined as damaged, destroyed, or to change the physiological processes that affect the functioning of a tree's system, especially if the change occurs within the critical root zone of a tree within the TPZ. The critical root zone of a tree is defined as one (1) foot radius from the tree trunk for every inch of diameter at breast height of the tree (dbh).

DRAFT