TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING AGENDA
THURSDAY JUNE 6, 2024, 10:00 AM
MOUNTAIN VILLAGE TOWN HALL
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO
TO BE HELD HYBRID THROUGH ZOOM:
https://us06web.zoom.us/j/85265260682
Meeting ID: 852 6526 0682

Zoom participation in public meetings is being offered as a courtesy, however technical difficulties can happen, and the Town bears no responsibility for issues that could prevent individuals from participating remotely. Physical presence in Council chambers is recommended for those wishing to make public comments or participate in public hearings.

Agenda Item	Time	Min.	Presenter	Type	Item Description
1.	10:00	0	Chair	Chair	Call to Order
2.	10:00	2	Perez	Action	Reading and Approval of Summary of Motions of the May 2, 2024, Design Review Board Meeting and of the May 23, 2024, Special Design Review Board Meeting.
3.	10:02	15	Perez/ Applicant	Quasi-Judicial	Review and Recommendation to Town Council regarding a height variance for Lot 165 Unit 2, TBD Cortina Dr, pursuant to CDC Section 17.4.16.
4.	10:17	30	Perez/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for Lot 165 Unit 2, TBD Cortina Dr, pursuant to CDC Section 17.4.11.
5.	10:47	30	Nelson/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for Lot 926R, TBD Sundance Lane, pursuant to CDC Section 17.4.11. *This item was continued from the March 7, 2024, Design Review Board Meeting.*
6.	11:17	30	Nelson/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture and Site Review for Lot 166AR2-1, TBD Stonegate Dr, pursuant to CDC Section 17.4.11.
7.	11:47		Chair	Adjourn	

DESIGN REVIEW BOARD MINUTES
TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING
May 2, 2024, 10:00 AM

Call to Order

Chair **Brown** called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:01 a.m. on May 2, 2024.

Attendance

The following Board members were present and acting:
Banks Brown
David Craige
David Eckman – alternate, but voting after lunch with departure of Liz Newton
Greer Garner
Liz Newton (left at lunch)
Adam Miller
Scott Bennett
Jim Austin – alternate, voting with the absence of Ellen Kramer (via Zoom)

The following Board members were absent:
Ellen Kramer

Town Staff in attendance:
Claire Perez – Planner II
Amy Ward – Community Development Director
Drew Nelson – Senior Planner
Susan Johnston – Town Clerk
Scott Pittenger - Public Works Director
Finn Kjome - Public Works Director

Public Attendance:
Lea Sisson
Jack Wesson
Jim Kehoe
Marina Naziteva

Public Attendance via Zoom:
Chris Hawkins
Dan Montgomery
Dan Henschel
David Mack
Adam Birk

Item 2. Swearing In of Reappointed Members for the Mountain Village Design Review Board

Susan Johnston: Presented as Staff

Banks Brown, David Craige, Adam Miller, Scott Bennet, and Jim Austin (alternate) were sworn in as members of the Design Review Board of the Town of Mountain Village.

Item 3. Reading and Approval of Summary of Motions of the April 4, 2024, Design Review Board Meeting.

On a **MOTION** by **Bennett** and seconded by **Caton** the DRB voted **unanimously** to approve the summary of motions of the April 4, 2024, Design Review Board meeting minutes.

Item 4. Consideration of a Design Review: Final Architecture Review for Lot 344R, TBD Rocky Rd, pursuant to CDC Section 17.4.11.

Claire Perez: Presented as Staff
Public Comment: None

On a MOTION by **Craige** and seconded by **Bennett** the DRB voted unanimously to continue the Final Architecture Review for Lot 344R, TBD Rocky Road, to the September 5, 2024, Regular Design Review Board Meeting.

Item 5. Consideration of a Design Review: Initial Architecture and Site Review for Lot 205A, 112 Stevens Dr, pursuant to CDC Section 17.4.11.

Claire Perez: Presented as Staff
Lea Sisson: Presented as Applicant

Public Comment: None

On a **MOTION** by **Miller** and seconded by **Caton** the DRB voted **unanimously** to approve the Initial Architecture and Site Review for an addition to an existing single-family home located at Lot 205A, 112 Stevens Drive, based on the evidence provided in the staff memo of record dated April 22, 2024, and the findings of the meeting, with the **following conditions:**

1. *Prior to Final Review, the applicant shall provide a complete window and door schedule that complies with the CDC requirements.*
2. *Prior to Final Review, the applicant shall provide an updated construction mitigation plan to show stormwater management devices.*
3. *Prior to Final Review, the applicant shall provide an updated site plan and grading plan to provide additional information on new or modified retaining walls on the site.*
4. *Prior to Final Review, the applicant shall provide an updated lighting plan to show site photometrics with full cut sheets for any new lighting on the site.*

5. *Prior to Final Review, the applicant shall provide an updated site plan to verify backing space for tandem parking spaces outside of garages.*
6. *Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
7. *The structure shall require a monitored fire alarm system.*
8. *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
    a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
    b. *Wood that is stained in the approved color(s);*
    c. *Any approved metal exterior material;*
    d. *Roofing material(s); and*
    e. *Any other approved exterior materials*
9. *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*
10. *The development shall meet the following conditions of the Fire Marshall:*

    a. *The addition shall be in accordance with the 2018 IFC, TFPD Amended Fire Code, and NFPA Standards for a Group R-3 occupancy.*
    b. *A monitored automatic sprinkler system shall be installed in the addition in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.*
    c. *An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.*
    d. *Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.*
    e. *Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.*
    f. *Electric vehicle charging stations/outlets shall be installed in accordance with the TFPD Amended Fire Code and NFPA 70.*
    g. *A Knox box is recommended at the main entrance on the address side for emergency access.*
11. *Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 75% since the application was submitted and deemed complete in 2024.*

12. *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.*
13. *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*
14. *Prior to Final Review, the applicant shall revise the construction mitigation plan to include construction fencing into the GE to accommodate the limits of disturbance.*

Item 6. Review and Recommendation to Town Council regarding a Height Variance request for a Single-Family Home on Lot 166AR2-10, TBD Stonegate Dr, pursuant to CDC Section 17.4.11.

Drew Nelson: Presented as Staff
Jack Wesson: Presented as Applicant

On a **MOTION** by **Miller** and seconded by **Caton** the DRB voted **unanimously** to recommend approval of a height variance of 6 feet above the allowable, per the height restrictions listed in the CDC for portions of a new single-family residence located for Lot 166AR2-10, TBD Stonegate Drive, based on the evidence provided in the staff memo of record dated April 24, 2024, and the findings of this meeting.

Item 7. Consideration of a Design Review: Initial Architecture and Site Review for Lot 166AR2-10, TBD Stonegate Dr, pursuant to CDC Section 17.4.11.

Drew Nelson: Presented as Staff
Jack Wesson: Presented as Applicant

Public Comment: David Mack

On a **MOTION** by **Garner** and seconded by **Miller** the DRB voted **unanimously** to recommend approval of the Initial Architecture and Site Review for a new single-family home located at Lot 166AR2-10, based on the evidence provided in the staff memo of record dated April 24, 2024, and the findings of this meeting, with the conditions as noted in the staff report, and . with the following specific approvals:

DRB Specific Approvals:

1) Parking Requirements – 1 exterior surface
2) Material: Metal Soffit and Fascia
3) Steep Slopes

And with the **following conditions:**

1. *Prior to final review the applicant will obtain approval from Town Council for the proposed height variance. If a variance is not approved, an updated Initial Review shall be required.*

2. *Prior to final review, the applicant shall revise the construction mitigation plan to remove all parking on Stonegate Drive and to address the comments of the Building Department with regard to parking and excavated materials.*
3. *Prior to final review, the applicant shall provide turning movement diagrams that demonstrate the feasibility of vehicles entering and exiting the garage spaces from Stonegate Drive.*
4. *Prior to final review, the applicant shall provide an updated landscape and fire mitigation plan showing compliance with the Fire Mitigation standards and the Town Forester's comments.*
5. *Prior to final review, the applicant shall work with Public Works and the Telluride Fire Protection District to locate a standpipe from the fire hydrant due to the steep site and lack of a firetruck turnaround.*
6. *Prior to final review, the applicant shall provide additional color details for roofing materials, window frames, garage doors, all exterior doors, and all other materials necessary to meet CDC guidelines.*
7. *Prior to final review, the applicant shall provide additional details on the layback and foundation plans to certify that no structures will be placed in either the no-build zone or in the general easement on the west and north sides of the structure, respectively.*
8. *Prior to Final Architecture Review, the applicant shall provide updated civil and site plans reflecting all infrastructure modifications for the site design.*
9. *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum and average building height as well as accurately depict footer and foundation locations adjacent to the no-build zone and general easement.*
10. *The applicant shall work with Public Works and utility providers to finalize the utilities plan as a condition of approval prior to building permit.*
11. *The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.*
12. *A Knox Box for emergency access is recommended.*
13. *Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 75% since the application was submitted and deemed complete 2024.*
14. *Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in*

coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A)
Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.

15. *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
    a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
    b. *Wood that is stained in the approved color(s);*
    c. *Any approved metal exterior material;*
    d. *Roofing material(s); and*
    e. *Any other approved exterior materials*
16. *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*

Item 8. Consideration of a Design Review: Initial Architecture and Site Review for a Bus Stop at Village Court Apartments, Lots 160R and 1005R, 415 Mountain Village Blvd, pursuant to CDC Section 17.4.11.

Drew Nelson: Presented as Staff
Jim Kehoe, Scott Pittenger, Finn Kjome: Presented as Applicant
Public Comment: None

On a **MOTION** by **Miller** and seconded by **Bennett** the DRB voted **unanimously** to approve the Initial Architecture and Site Review for a new bus stop located on Lots 160R and 1005R, based on the evidence provided in the staff memo of record dated April 24, 2024, and the findings of this meeting, with the following specific approvals and design variations:

DRB Specific Approvals:
1) Material: Metal Soffit and Fascia
2) Material: Board form Concrete

Design Variation:

1) 35% Minimum Stone Wall Materials

And, with the **following conditions:**

1) *Prior to final review, the applicant shall provide additional information for roof materials and colors for the proposed structure in conformance with the provisions of the CDC.*
2) *Prior to final review, the applicant shall provide additional information on utilities to indicate how electricity will be provided to the structure, if necessary.*
3) *Prior to final review, the applicant shall provide additional details on the location and amount of lighting fixtures proposed for the structure.*
4) *Prior to building permit, the applicant shall confer with the Town Attorney and Telluride Fire Protection District on the structure being located within existing sewer and driveway easements.*
5) *All future signage shall meet the requirements of the CDC, and shall be required to apply for a sign permit prior to any installation.*
6) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
    a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
    b. *Wood that is stained in the approved color(s);*
    c. *Any approved metal exterior material;*
    d. *Roofing material(s); and*
    e. *Any other approved exterior materials*
7) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*

Item 9. Lunch

Item 10. Review and Recommendation to Town Council Regarding a Community Development Code Amendment to CDC section 17.6.1 Environmental Regulations and 17.8.1 Definitions, Regarding Fire Mitigation and Tree Preservation, pursuant to CDC Section 17.1.7

Amy Ward: Presented as Staff

On a **MOTION** by **Bennett** and seconded by **Austin** the DRB voted **unanimously** to recommend approval to Town Council the proposed changes to the Community Development Code to sections 17.6.1 Environmental Regulations and 17.8.1 Definitions, based on the evidence provided in the staff memo of record dated April 25, 2024, and the findings of this meeting.

Item 11. Adjourn

On a **MOTION** by **Miller** the DRB voted **unanimously** to adjourn the April 4, 2024, Design Review Board Meeting at 1:30pm

Prepared and submitted by,
Claire Perez, Planner II

DESIGN REVIEW BOARD MINUTES
TOWN OF MOUNTAIN VILLAGE
SPECIAL DESIGN REVIEW BOARD MEETING
May 23, 2024, 10:00 AM

Call to Order

Acting Chair **Bennett** called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:00 a.m. on May 23, 2024.

Attendance

The following Board members were present and acting:
David Craige (via Zoom)
Greer Garner (via Zoom)
Liz Newton
Adam Miller
Scott Bennett
Ellen Kramer (via Zoom)

The following Board members were absent:
Banks Brown
David Eckman
Jim Austin

Town Staff in attendance:
Claire Perez – Planner II
Amy Ward – Community Development Director
Drew Nelson – Senior Planner (via Zoom)
Scott Pittenger - Public Works Director
Jim Loebe – Transit and Recreation Director (via Zoom)

Public Attendance via Zoom:
Jim Kehoe
Noelle Wilhite

Item 2. Consideration of a Design Review: Final Architecture Review for a bus stop at Village Court Apartments, Lot 160R and Lot 1001R, 415 Mountain Village Blvd, pursuant to CDC Section 17.4.11

Drew Nelson: Presented as Staff
Jim Kehoe: Presented as Applicant

On a **MOTION** by **Miller** and seconded by **Garner** the DRB voted **unanimously** to approve the Final Architecture Review for a new bus stop located on Lots 160R and 1005R, based on the

evidence provided in the staff memo of record dated May 16, 2024, and the findings of this meeting, with the following specific approvals and design variations:

DRB Specific Approvals:

1) Material: Metal Soffit and Fascia
2) Material: Board form Concrete
3) Material: Composite Fascia (in lieu of metal fascia at staff discretion)

Design Variation:

1) 35% Minimum Stone Wall Materials

And, with the **following conditions:**

1) Prior to Building Permit issuance, the applicant shall confer with the Town Attorney and Telluride Fire Protection District on the structure being located within existing sewer and driveway easements.
2) Prior to Building Permit issuance, the applicant shall provide a construction mitigation plan meeting the standards established by the Public Works Department.
3) All future signage shall meet the requirements of the CDC and shall be required to apply for a sign permit prior to any installation.
4) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
    a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
    b. Wood that is stained in the approved color(s);
    c. Any approved metal exterior material;
    d. Roofing material(s); and
    e. Any other approved exterior materials
5) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
6) The lighting plan shall be revised to reduce the number of fixtures at the message board to 1.

Item 11. Adjourn

On a **MOTION** by **Miller** the DRB voted **unanimously** to adjourn the May 23, 2024, Design Review Board Meeting at 10:30pm

Prepared and submitted by,
Claire Perez, Planner II

AGENDA ITEM 3 & 4
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISON
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: Claire Perez – Planner II

FOR: Design Review Board Public Hearing; June 6, 2024

DATE: May 24, 2024

RE: Staff Memo – A) Initial Architecture and Site Review (IASR) Lot 165 Unit 2, TBD Cortina Drive, pursuant to the CDC Section 17.4.16; and B) a Review and Recommendation to the Town Council regarding a height variance pursuant to CDC Section 17.4.16

APPLICATION OVERVIEW: New Single-Family residence on Lot 165 Unit 2

PROJECT GEOGRAPHY

Legal Description: UNIT 2 CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

Figure 1: Vicinity Map

Address: TBD Cortina Drive
Applicant/Agent: Brendan Hamlet, KA Design Works
Owner: Chalets at Cortina 2, LLC
Zoning: Multi-Family
Existing Use: Vacant
Proposed Use: Single-Family Detached Condominium
Lot Size: 12, 244 Sf, .2810 Acres
Adjacent Land Uses:

- **North**: Multi-Family
- **East:** Single-Family
- **West:** Multi-Family
- **South:** Multi-Family

ATTACHMENTS

Exhibit A: Architectural Plan Set
Exhibit B: Staff/Public Comments

Case Summary: Brendan Hamlet of KA Design Works is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) application for a new single-family detached condominium on Lot 165 Unit 2, TBD Cortina Drive.

The site is burdened by steep slopes, with a majority of the site having a grade of over 30%. The proposed structure is a single-family detached condominium located in the multi-family zone district. While the structure reads as a single story from Cortina Drive, it is a two-story building that steps down the site towards San Joaquin Road. Due to the slope of the site and the setback requirements, the applicant is requesting a maximum height variance, which is described in detail below.

The proposed structure is 5,017 gross square feet, and utilizes a mixture of wood, stone, and metal siding for the exterior materials. The proposed structure includes two interior parking spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by*** *Italicized Text.*

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

CDC Provision	Requirement	Proposed
Maximum Building Height	35' (shed) Maximum	41.5'
Avg. Building Height	30' Maximum	27.6'
Maximum Lot Coverage	40%, (4,897 Sf)	39.7% (4,857 Sf)
General Easement Setbacks	No encroachment	n/a
Roof Pitch		
Primary		1.5"/12"
Secondary		1"/12"
Exterior Material		
Stone	35% minimum	43.53%
Windows/Door Glazing	40% maximum	17.35%
Metal	n/a	
Wood	n/a	
Parking	2 spaces*	2 spaces

**Single family detached condominiums have historically followed the single-family common interest requirement of the CDC of (2) required spaces*

Design Review Board Specific Approval:

1) *Setback Encroachment – Garage, Deck, and Utility Access Platform*
2) *Material: Metal Fascia*

Design Variation:

1) *Address Plaque*
2) *Flat Roof*

Variance

1) *Building Height Variance*

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.11 and 17.3.12: Building Height and Building Height Limits
Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates gable roof forms. Single-family, condominium developments are granted a maximum height of 35 feet and an average height of 30 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: The primary roof form of the proposed structure is shed and is therefore granted a maximum height of 35 feet and an average height of 30 feet. The applicant has indicated that the maximum height of the current proposed structure is 41.5 feet and has an average height of 27.6 feet. Due to the extreme slope of the site, the applicant is requesting a variance to the maximum height 7'. The area of impact for the variance is limited to the garage, living and dining area. The applicant has noted that the roof cannot be lowered further in the current configuration. Additionally, the applicant demonstrates on Sheet A006, how the shed roof form reduces the mass of the structure. Although a gable roof form would not require a height variance, it has a greater visual impact than the proposed shed roof.

Town Council will make the ultimate decision on whether this variance is granted, however this issue is before DRB for a recommendation.

Chapter 17.4: DEVELOPMENT REVIEW PROCEDURES
17.5.16: Variance Procedure:
According to the CDC, the following criteria shall be met for the review authority to approve a variance:

a. The strict development application of the CDC regulations would result in exceptional and undue hardship upon the property owner in the development of property lot because of special circumstances applicable to the lot such as size, shape, topography or other extraordinary or exceptional physical conditions.

Staff: The entirety of the lot has significant slopes, with a majority of the site having a slope greater than 30%. The extreme slope of the site and building envelope limit the ability of the lot to adequately site a development within a strict application of the CDC regulation. Staff believes the site constraints constitute special circumstances.

b. The variance can be granted without substantial detriment to the public health, safety and welfare;

Staff: This excess height poses no threat to public health, safety and welfare.

c. The variance can be granted without substantial impairment of the intent of the CDC;

Staff: Staff does not believe the granting of this variance represents a "substantial impairment of the intent of the CDC" as the proposed structure adheres to a majority of the design regulations if the CDC, as outlined throughout this memo.

d. Granting the variance does not constitute a grant of special privilege in excess of that enjoyed by other property owners in the same zoning district, such as without limitation,

allowing for a larger home size or building height than those found in the same zone district;

Staff: The DRB has recommended approval of similar height variances in this area of the Cortina subdivision before due to unique site conditions related to the slope of a lot. While variances that are granted do not set precedents, there are similar homes in the same zone district that have received variances to construct similar homes nearby.

e. Reasonable use of the property is not otherwise available without granting of a variance, and the variance being granted is the minimum necessary to allow for reasonable use;

Staff: The proposed development and associated height variance request allows the lot to be used in a manner similar to that of other sites within the Cortina subdivision and throughout Mountain Village.

f. The lot for which the variance is being granted was not created in violation of Town regulations or Colorado State Statutes in effect at the time the lot was created;
g. The variance is not solely based on economic hardship alone; and
h. The proposed variance meets all applicable Town regulations and standards unless a variance is sought for such regulations or standards.

Staff: Staff believes the criteria for f-h are all being met.

17.3.14: General Easement Setbacks
The CDC provides that setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within setbacks such as driveways, ski access, natural landscaping, utilities, address monuments, and fire mitigation. There is no general easement on the site, but Cortina 2 is burdened by a 16-setback on two sides of the lot as well as an increased 30-foot setback located on the downslope portion of the site adjacent to San Joaquin Road to the east. The lot has a 5' building setback adjacent to Cortina Drive.

Staff: The proposal includes several setback encroachments that fall into the category of permitted setback development activity including the following:

- *Utilities: Gas, water, and sewer lines are shown running down slope and connecting in San Joaquin Road. Meters and utility platform are in the front setback adjacent to the driveway.*
- *Driveway and Guardrail: The guardrails encroach into front setback. The guardrails tie into the existing retaining wall and guardrail.*

The proposal also includes GE encroachments that require DRB specific approval:

- *Patio and Garage: The patio and garage encroach approximately 10' into the eastern set back. Staff recommends that the applicant reduce the patio and garage so that they fit within the building envelope.*

It should be noted that regardless of the encroachment, the DRB can waive the GE setback or other setbacks and allow for prohibited activities if it determined that the applicant has demonstrated hardship and mitigated off-site impacts. Any foundation

walls that are within 5' of setback will require a footer survey prior to pouring concrete to ensure there are no additional encroachments into the setback area.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The proposed design steps with the steep topography of the site. The proposed materials blend in well with the surrounding community. The design creates visual interest by incorporating a mix of shed roofs. Overall, it appears that the design is visually appealing and fits within the existing Mountain Village Design Theme.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

Staff: As noted above, the development is largely within the building envelope with the exception of a few encroachments. The development does not propose grading, clearing, direct drainage, direct access or other direct impact onto the adjoining lots.

17.5.6: Building Design

Staff: The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. The proposed use of stone at the base reinforces this requirement. Masonry accounts for 43.36% of the total building materials. The materials are a mix of Telluride stone, wood, metal, and steel. Wood and horizontal metal siding are incorporated along the exterior of the home. The applicant has proposed metal fascia and wood soffit. Metal fascia requires DRB Specific Approval. The roof design is a mix of shed roofs that are broken up to create visual interest. The roof material is matte black standing seam metal. Roof ballast is proposed on the flat roof next to the garage. Flat roofs are a design variation. The roof adheres to the requirements of the CDC. The applicant provided a full window and door schedule. The recess depths meet CDC requirements. The doors and windows will be wrapped in black aluminum cladding.

17.5.7: Grading and Drainage Design

Staff: The grading plan proposed creates proper drainage away from the residence. There is minimal grading along the north and south side of the home. The current drainage around the house meets the CDC requirements, maintaining a positive slope away from the residence.

17.5.8: Parking Regulations

Staff: Two interior parking spaces are provided in the garage. The CDC stipulates a minimum of two parking spaces per single-family detached condominium. The dimensions of the parking spaces are not noted on the plan. Prior to Final Review, the applicant should revise the plan to include the dimensions of the spaces.

17.5.9: Landscaping Regulations

Staff: An initial landscaping plan was provided on sheet A008. The plan does not show trees marked for retention. The plan also does not indicate any new plantings.

A temporary access road is proposed off San Joaquin Road. The owners will be required to enter into a development agreement and finance guarantee with the Town to ensure the construction access can be restored to previous grade and re-vegetated. Staff recommends that the applicant include new plantings within zone 2 to help soften the visual impacts of the home from San Joaquin Rd.

Town Forrester: This plan does not show which trees will be retained and which trees will be removed (which is required by the CDC). In looking at the plan, it appears that all the trees will be removed for the project.

The plans will need a landscape plan that shows many trees being planted to make up for the removal of all the trees on the lot. The zone 1 fire mitigation area will not have many trees planted in it (unless they are a Firewise plant and the canopies will remain at least 10 feet away from the building (including decks, etc). However, there is a good opportunity to plant several trees in zone 2 to create a separation between this development and the roadway below.

17.5.11: Utilities
Staff: All utilities are currently located within proximity to the home. All utilities should be verified with public Works prior to building permit. The plan set shows the proposed connections and locations of utilities. Stairs and a meter landing are located on the side of the home for utility access.

17.5.12: Lighting Regulations
Staff: The applicant has not provided a lighting plan at this time. A lighting plan, full page cut-sheets, and photometric study are required prior to Final Review.

17.5.13: Sign Regulations
Staff: The applicant has proposed metal address numbers attached to the side of the building. The address numbers are 25' – 3.8" from Cortina Drive. The CDC allows homes to forgo a freestanding address monument if the home is located within 20' of the roadway. Because the numbers are 25' from Cortina Drive, the address numbers are a design variation. The Fire Department does not have any concerns regarding the proposal. The numbers meet CDC requirements.

Chapter 17.6: SUPPLEMENTARY REGULATIONS
17.6.1: Environmental Regulations
Staff: A Fire Mitigation plan was provided on Sheet C5. Due to the lot size and steepness of the lot, Zone 2 is everything between zone 1 and the property line. The Fire Mitigation plan adheres to the CDC requirements

17.6.6: Roads and Driveway Standards
Sheet C2.1 shows the Motor Court profile for the proposed structure. The driveway takes access from Cortina Drive to connect to the garage. The proposed driveway has a maximum grade of 7.87 percent and is within the allowed 8 percent maximum grade requirement. Approximately 26 feet of the existing retaining wall on Cortina Drive will be removed for the driveway construction. New guardrails will blend in with the existing wall.

17.6.8: Solid Fuel Burning Device Regulations
Staff: The applicant has indicated that all fireplaces in the proposed structures will be natural gas, which meet the requirements of the CDC.

Chapter 17.7: BUILDING REGULATIONS
17.7.20: Construction Mitigation
Staff: The construction mitigation plan identifies the required material storage, construction dumpster, porta-John toilet, Bear Proof Poly Cart, chain link fencing, straw wattles and silt fencing.

The plan includes a temporary construction access road. The road has a maximum grade of 14.39%. The road will require a large cut into the steep slope. The access road is approximately 12,244 sf. Staff has concerns about the potential falling debris on San Joaquin Road. The applicant should clarify how San Joaquin Rd will be protected during construction, and if a retaining wall is needed. The applicant will be required to enter into a development agreement with the Town to assure that the access road is removed, restored to pre-existing grade, and landscaped per the approved landscape plan.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Staff Recommendation: There are two items before DRB with this application, a recommendation to Town Council regarding a height variance, and an Initial Architectural and Site Review. In terms of the Height Variance Recommendation, Staff has provided a motion for both recommendation of approval and denial depending on the findings of DRB.

If DRB chooses to recommend **approval** of the **variance,** then staff suggests the following motion:

I move to recommend approval to Town Council of a maximum height variance of 7feet above the allowable, per the height restrictions listed in the CDC for portions of a new single-family detached condominium located at Lot 165 Unit 2, TBD Cortina Drive based on the evidence provided in the staff memo of record dated May 24, 2024 and the findings of this meeting.

If DRB choses to recommend **denial** of the height **variance** then staff suggests the following motion:

I move to recommend denial to Town Council of a maximum height variance of 7 feet above the allowable, per the height restrictions listed in the CDC for portions of a new single-family detached condominium located at Lot 165 Unit 2, TBD Cortina Drive based on the evidence provided in the staff memo of record dated May 24, 2024 and the findings of this meeting.

Staff suggest the following motion for approval of the Initial Architecture and Site Review (if the recommendation is for denial of the height variance request and Town Council also denies the height variance, then condition 1 brings this back to an Initial Review):

I move to approve the Initial Architecture and Site Review for a new multi-family home located at Lot 165 Unit 2, based on the evidence provided in the staff memo of record dated May 24, 2024, and the findings of this meeting.

With the following specific approvals and design variation:

Design Review Board Specific Approval:
1) Setback Encroachment- Front Staircase
2) Material: Metal Fascia

Design Variation:

1) Address Plaque
2) Flat Roof

Conditions:

1) *Prior to final review the applicant will obtain approval from Town Council for the proposed height variance. If a variance is not approved, an updated Initial Review shall be required.*
2) *Prior to final review, the applicant shall revise the parking plan to meet the CDC parking space size requirements.*
3) *Prior to final review, the applicant shall provide an updated landscape and fire mitigation plans showing compliance with the Fire Mitigation standards.*
4) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum and average building height.*
5) *The applicant shall work with public works and utility providers to finalize the utilities plan as a condition of approval prior to building permit.*
6) *Prior to building the permit the applicant will enter into a development agreement with the town to assure that the temporary construction access is removed, restored to pre-existing grade, and landscaped per the approved landscape plan.*
7) *The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.*
8) *A Knox Box for emergency access is recommended.*
9) *Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted and deemed complete 2023.*
10) *Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) – Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.*
11) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
    a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
    b. *Wood that is stained in the approved color(s);*
    c. *Any approved metal exterior material;*
    d. *Roofing material(s); and*
    e. *Any other approved exterior materials*
12) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire*

department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

13) *The following conditions of the Fire Marshall shall be met:*
    a) The structure shall be in accordance with the 2018 IFC, TFPD Amended Fire Code, and NFPA Standards for a Group R-3 occupancy.
    b) A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.
    c) An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.
    d) Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
    e) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
    f) Electric vehicle charging stations/outlets shall be installed in accordance with the TFPD Amended Fire Code and NFPA 70.
    g) A Knox box is recommended at the main entrance on the address side for emergency access.

/cp

PROJECT: 120 Cortina Residence
REGARDING: TOMV Preliminary Design Review Narrative
DATE: 4.05.2024

Site

The site is located toward the bottom of the Cortina Land Condominiums directly across the street from the Villas at Cortina. The site slopes down toward San Joaquin Road below, and the Building Envelope (B.E.) is placed relatively close to Cortina Drive. The access side of this site (West) is within 5' of the Property line and is encumbered by an existing retaining wall flanking Cortina Drive. The orientation of the B.E. is generally running North / South. The primary views are to the Northeast, and the geometry of the B.E. lends itself to glazing being located on the East (downhill) side of the home.

Design

A unique building design resulted by working around the site constraints and capitalizing on the assets to yield a home that fits right there. The site is steep, the short axis of the B.E. is narrow and we propose a driveway directly connected to the Garage with the formal entry flanking this sequence. The approach to the home from Cortina Drive is low, welcoming and sensitive to the neighbors. The Entry is visible from the street and allows the occupant to discover the views to the East and Northeast upon entering into the home. The short sides of the home are supported by hefty masonry bases while the downhill side of the home is continuously supported by the same masonry plinth. The home is grounded. The Garage is to be supported by substantial steel columns and beams. Associated decks and walks are also supported in a similar manner, the character of which harkens back to the mining vernacular present throughout western Colorado.

The grade of the lot does not allow for much (if any) occupiable landscape areas, thus we have built in several outdoor areas connected to the building. A continuous deck on the East side of Main Level for outdoor living is not overly excessive but does allow the occupant to experience the outdoors as the seasons allow. The Lower Level has a sheltered patio below the Garage which is a perfect location for a hot tub and associated outdoor living. We envision this area to be a quiet, tranquil place for the occupants to enjoy the outdoors.

Lighting

We work within the constraints of the night sky initiative frequently, and thus have placed exterior lighting as necessary by code only. Step lights have been placed at the exterior of the building at walkways and doorways to assist the occupant in safely navigating the property while not creating an oppressive beacon of light in the night.

The East Elevation has a fair amount of glazing (well within the 40% maximum) and we will work to ensure that interior lights will produce a minimum amount of light bleed to the exterior. We

will specify ceiling mounted lights to have shielded bulb / light source to minimize the often offensive viewing of light source(s).

Construction
The owner of Cortina 2 also owns the neighboring lots Cortina 3 and 4. These neighboring lots have constructed an access road from San Joaquin to aid in construction from below thus relieving the need to use Cortina Drive as primary access for construction. We intend to amend this access road to exist below Cortina 2 as well so that we can employ the same strategy of construction largely from below.

Property and Zoning Information
Legal Description: Unit 2, Cortina Land Condominiums according to the map of the Cortina Land Condominiums, A C Colorado Common Interest Community, Lot 165 Town of Mountain Village recorded November 30, 2004 in Plat Book 1 Page 3400 thru 3401 and also according to the Declaration recorded November 30, 2004 at Reception No. 370697, County of San Miguel State of Colorado
Parcel ID: 477903405004
Address: 120 Cortina Drive Mountain Village, CO 81435
Lot Size: 12,244 SF
Zone District: Multi Family
Max Building Height: Required = 35' for Shed Roof, 40' for Gable Roof. Proposed = 41.5'
Average Building Height: Required = 30'. Proposed = 27.6'
Lot Coverage: Required = 40% Max. Proposed = 39.7%
Setbacks:
- Front: Required = 5'. Proposed = 7'-6"
- Sides: Required = 16'. Proposed North = 21'-1". Proposed South = 21'-3"
- Rear: Required = 30'. Proposed = 30'-4"

Roof Pitches: Primary 1.5"/12". Secondary 1"/12"
Exterior Materials:
- Stone: Required = 35% Minimum. Proposed = 43.53%
- Windows: Required 40% Maximum. Proposed = 17.35%
- Parking: Required = 2 Enclosed. Proposed 2 Enclosed

17.5.4.F: Town Design Theme

1. The home is sited to capitalize on the site constraints and is sensitive to the surrounding neighbors. The Garage is located on the Southern portion of the home and the driveway provides direct access to Cortina Drive. The home appears low from Cortina Drive and is sensitive to the neighbors across the street in regards to retaining their primary views to the East. The views of the home are largely from the rear looking East and Northeast. The majority of the glazing toward the views faces East which allows for gentle morning light. The Fire Mitigation Zones 1 and 2 mandate that all substantial trees to be removed. Upon TOMV Preliminary Approval, Landscape design will commence to revegetate the site to the benefit of the neighborhood and the homeowner.

2. The massing of the home is sensitive to the topography. The Entry / Main Level of the home relates to grade on the Cortina Drive side of the home. The home steps with the topography as it pushes North. The Garage is to be supported by substantial beams and columns which allows for a wellness deck below. The view of the home from San Joaquin Road has been carefully thought out by providing simple massing and engaging rusticated masonry base.

3. The majority of the home is resting on a Masonry plinth. The portions of the home not on Masonry will be flashed accordingly to withstand the alpine snow conditions.

4. The low sloping roof elements with snow retention features fit into the high alpine contemporary architectural language and will be property tied to site drainage design.

5&6. A combination of warm gray stone similar to the neighbors with natural brown wood siding and bonderized flat lock panel with wood and metal fascia provides a natural color palette.

15.5.5.A. Building Siting Design

1 . The home is sited within the building envelope, the HOA initially thought the home was too close to the road. The home was then pushed away from the road within reason to accommodate their request. This does, however, elevate the home a bit more. The HOA was happy with this adjustment and has approved as such. The driveway is situated to connect the garage direct to Cortina Drive, the Entry is shielded and flanks the driveway. Utilities are out of view, the decks are on the back side of the home and are largely out of view from Cortina Drive.

Design Variation: 17.3.13 D: We will likely be asking for a few subterranean elements (footers) to be located outside of the B.E. We have been careful with design to keep all associated above grade elements clear of the B.E., but as we begin Structural design it may be the case that some of the foundation footers may need to extend beyond. Given the relatively constraining B.E., we would prefer to proceed with the exterior envelope as designed without having to shrink the building further.
WIth the shifting of the home further away from the road per HOA request, we will also be asking for a design variation as a portion of the deck above grade and a portion of the Garage roof will protrude into the General Easement by approximately 10".

2. The building siting, foundation plan and construction plan envisions minimizing the amount of site disturbance as reasonable while allowing for tree and fire mitigation as noted on the Landscape Plans. The HOA has also requested that the home be largely constructed from below as to not block Cortina Drive. A temporary curb cut at San Joaquin is proposed to service a temporary service road below the home, SEE Civil Drawings. Once the home is complete, this site disturbance will be brought back to its native state.

3. The shed roofs are all pitched away from pedestrian and vehicular travel. Every roof will be guttered (with heat tape) and downspouts will tie into Civil drainage to direct and mitigate water

infiltration. Although the roof pitches are low, we will be installing snow retention devices to mitigate snow fall from roofs.

17.5.6.A Building Form
The form of the building has a substantially grounded base in areas of the predominant views which are to the East and Northeast. The massing of the overall building is broken into smaller elements in floor plan and in elevation. Masonry walls have only a select few windows located, they will be recessed back from the face of the masonry to reveal a 5” depth to convey heavy, thick massing.

17.5.6.B Exterior Wall Form
Walls of varied materials overall are simple in design allowing the larger expanses of windows to express views from the interior with overhangs assisting in shielding the glass from the adjacent view lines. A heavy stone base supports the majority of the home.

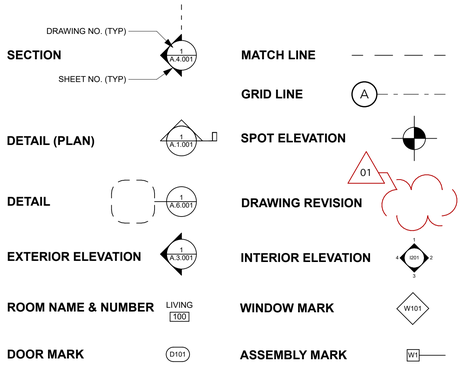
Design Variance - 17.4.16: We will be requesting a height variance of 7’. The driveway and Garage are located as low as possible within this design, and the ceiling of the Garage is only 8’ at the low side to assist in keeping things low. The entire home is designed using shed roofs to capitalize on the views and to provide sheltering from across the street. Per the Town of Mountain Village (TOMV), this type of roof is allowed to be located 35’ from grade. The roof at the Garage has been oriented to shed water away from the driveway, and this shape also works well with the 35’ grade offset. The rest of the building steps down approximately 4’ in an effort to reduce the overall height of the building.
If we were to use Gable roofs, then we could extend an additional 5’, to a total of 40’. You will see on sheet “A005 Heights Exhibit” we have demonstrated that shed roofs are better for this design in terms of keeping the entire building low for occupant and community benefit. We could use the same floor plan with Gable roofs and not need to ask for a variance, but this would yield a significantly taller perceived mass.

120 CORTINA RESIDENCE

Mountain Village, CO

TOMV Prelim. - 4/25/24

SYMBOL LEGEND



PROJECT INFO:		CODE & ZONING INFORMATION:		PROJECT SCOPE:
PROJECT ADDRESS:	120 Cortina Drive Mountain Village CO 81435	IRC EDITION:	2018	*Construction of a new single family home on vacant lot. The two level home consists of garage, mudroom, kitchen, dining, living, 4 bedrooms, 5 bathrooms, flex space, deck and patio.*
JURISDICTION:	Town of Mountain Village	IECC EDITION:	2018	
PARCEL ID:	477903405004	CLIMATE ZONE:	6B	
LEGAL DESCRIPTION:	*SEE SURVEY*	ZONING DISTRICT:	MULTI FAMILY	
SUBDIVISION:	CORTINA LAND CONDOS-5006	HOA:	*Cortina Land Condominium Owners Association*	
BLOCK:	SEE SURVEY	FIRE SPRINKLERS:		
LOT NUMBER:	UNIT 2			
LOT SIZE:	12244 SF			

PROJECT DIRECTORY

OWNER
Chalets at Cortina 2, LLC
PO BOX 490718
Key Biscayne, FL 331490718

CONTACT: Architect
Architect
Architect

ARCHITECT
KA DesignWorks, Inc.
525 Basalt Avenue, Unit I-201
Basalt, CO 81621

CONTACT: Kenneth Adler
(970) 948-9510
ken@ka-designworks.com

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CONTACT: XXX XXXX
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CIVIL ENGINEER
Uncompahgre Engineering, LLC
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Telluride, CO 81435

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GEOTECHNICAL ENGINEER
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Montrose, CO 81402

CONTACT: Daniel Lambert
(970) 249-2154

VICINITY MAP

ABBREVIATIONS

AAD	Attic Access Door	GALV	Galvanized	RW	Roof Window
ADD	Addendum	GC	General Contractor	RO	Rough Opening
ADJ	Adjacent	GL	Glass	SAN	Sanitary
AOR	Area of Refuge	GR	Grade	SECT	Section
AGG	Aggregate	GLB	Laminated Wood Beam	SEW	Sewer
AFF	Above Finished Floor	GYP	Gypsum	SHT	Sheet
ALT	Alternate	GWB	Gypsum Wallboard	SHLV	Shelves
ARCH	Architectural	HDW	Hardware	SIM	Similar
BM	Beam	HD	Head	SL	Sliding
BRG	Bearing	HVAC	Heating, Ventilating, and Air Conditioning	SM	Sheet Metal
BET	Between			STC	Sound- Transmission Class
BD	Board	HT	Height	SPEC	Specification
BS	Both Sides	HWY	Highway	SQ	Square
BO	Bottom Of	HOR	Horizontal	STD	Standard
BLDG	Building	ID	Inside Diameter	STL	Steel
CAB	Cabinet	INT	Interior	STRUCT	Structure (al)
CL	Centerline	JT	Joint	SUB	Substitute
CER	Ceramic	LAM	Laminate	SUPPL	Supplement (al)
CLR	Clear	LAV	Lavatory	SUSP	Suspend (ed)
CLOS	Closet	MFG	Manufacturer	TEL	Telephone
CMU	Concrete Masonry Unit	MO	Masonry Opening	TV	Television
COL	Column	MTL	Material	TEMP	Tempered
CONC	Concrete	MAX	Maximum	IE	That Is
CJ	Construction Joint	MC	Medicine Cabinet	THK	Thick
CONT	Continuous	MECH	Mechanical	TPH	Toilet Paper Holder
DP	Dampproofing	MIN	Minimum	T&G	Tounge and Groove
DET	Detail	MISC	Miscellaneous	T&B	Top and Bottom
DIA	Diameter	NIC	Not In Contract	TO	Top Of
DIM	Dimension	NA	Not Applicable	T	Tread
DW	Dishwasher	NTS	Not to Scale	TS	Tube Steel
DN	Down	OC	On Center	TYP	Typical
DR	Drain	OPG	Opening	UG	Underground
DS	Downspout	OPP	Opposite	U.N.O.	Unless Noted Otherwise
DRWG	Drawing	OPH	Opposite Hand	UNFIN	Unfinished
EA	Each	OD	Outside Diameter	UBC	Uniform Building Code
EL	Elevation	d	Penny (nails, etc.)	USG	United States Gage
EQ	Equal	PERF	Perforated (d)	VAR	Variable
EXIST	Existing	PFSM	Prefinished Sheet Metal	VENT	Ventilate
EJ	Expansion Joint	PL	Plate	VIF	Verify In Field
EXT	Exterior	PLY	Plywood	VERT	Vertical
FEC	Fire Extinguisher Cabinet	PROD	Product	VAT	Vinyl Asbestos Tile
FOC	Face Of Concrete	PROJ	Project	V	Voltage
FOS	Face Of Stud	PROP	Property	WC	Water Closet
FIN	Finish	R	Radius or Riser	WP	Waterproof
FP	Fireproof	REF	Refer	WT	Weight
FL	Floor	REFR	Refrigerator	WIN	Window
FD	Floor Drain	REINF	Reinforce (d)	W/	With (comb. form)
FTG	Footing	REQ'D	Required	W/O	Without
FDN	Foundation	RHSM	Round Head Sheet Metal Screw	WD	Wood
GA	Guage	RM	Room		

GENERAL NOTES

A. THE AIA DOCUMENT 201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", 2017, ARE HEREBY MADE A PART OF THESE CONTRACT DOCUMENTS. COPIES ARE ON FILE AND ARE AVAILABLE FOR INSPECTION AT THE OFFICES OF THE ARCHITECT.

B. THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, THE GENERAL NOTES, THE SPECIFICATIONS, AND THE DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCY BETWEEN THE DIFFERENT PARTS SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.

C. ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ORDINANCES, AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE APPROPRIATE TRADES. GENERALLY, ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE REGULATED OR SPECIFIED BY ARCHITECT OR GOVERNING BODIES

D. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS.

E. ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR CALLED OUT BY TRADE NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT. AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE MATERIALS ARE ORDERED AND WORK HAS COMMENCED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

F. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH E, ABOVE.

G. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE UNIFORM BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.

I. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED. DIMENSIONS NOTED WITH "N.T.S." DENOTES NOT TO SCALE. DRAWINGS NOT TO BE SCALED, NOTIFY ARCHITECT OF ANY CONFLICTS OR OMISSIONS

J. CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.

K. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

L. CONTRACTOR TO PROVIDE PHYSICAL EXTERIOR MATERIAL SAMPLES INCLUDING COLORS/FINISHES AND CONFIGURATIONS FOR OWNER APPROVAL PRIOR TO PROCUREMENT AND INSTALLATION.

DRAWING INDEX

KA DESIGNWORKS
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P:970.948.9510
KA-DESIGNWORKS.COM

120 CORTINA RESIDENCE
120 Cortina Drive
Mountain Village, CO 81435

NOT FOR CONSTRUCTION

ID	ISSUE	DATE
01	HOA / SD	02.16.2024
02	TOMV Prelim.	04.08.2024
03		
04		
05		
06		
07		
08		
09		
10		
11		
12		
13		
14		
15		

PRINTED 4/25/24

SHEET TITLE

COVER SHEET

A001

LEGEND

- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 36577
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 20632
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 37662
- FOUND #5 REBAR WITH YELLOW PLASTIC CAP, LS 3011
- SANITARY MAN-HOLE
- FIRE HYDRANT
- WATER VALVE
- CATV PEDESTAL
- CURB STOP
- #A ASPEN TREE "#" DENOTES CALIPER
- #F FIR TREE "#" DENOTES CALIPER
- CATCH BASIN
- GUARD RAIL
- SAN UNDERGROUND SEWER LOCATE
- W UNDERGROUND WATER LOCATE
- GAS UNDERGROUND GAS LOCATE
- UE UNDERGROUND ELECTRIC LOCATE
- FO UNDERGROUND FIBER OPTIC LOCATE
- UT UNDERGROUND TELEPHONE LOCATE

NOTICE:

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

NOTES:

1. According to Flood Insurance Rate Map: 08113C0287 D, map revised September 30, 1992, this parcel lies within Zone X (Areas determined to be outside the 500-year flood plain).
2. Vertical datum is based on the found South Corner of Unit 2, a Plastic Cap Rebar, LS 3011, having an elevation of 9812.81 feet.
3. Fieldwork was performed January 2, 2024.
4. Lineal Units U.S. Survey Feet
5. Utility locates were done by others, provided for design and engineering and are not to be used for excavation.

PROPERTY DESCRIPTION:

Unit 2, Cortina Land Condominiums according to the map of the Cortina Land Condominiums, A Colorado Common Interest Community, Lot 165 Town of Mountain Village recorded November 30, 2004 in Plat Book 1 Page 3400 thru 3401 and also according to the Declaration recorded November 30, 2004 at Reception No. 370697,

County of San Miguel,
State of Colorado.

SURVEYOR'S CERTIFICATE:

I, Christopher R. Kennedy, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Unit 2, The Cortina Land Condominiums was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.

Christopher R. Kennedy, P.L.S. 36577
01/03/2024

COLORADO REGISTERED
CHRISTOPHER R. KENNEDY
01/03/24
36577
PROFESSIONAL LAND SURVEYOR

TOPOGRAPHIC SURVEY
UNIT 2, THE CORTINA LAND CONDOMINIUMS

SAN JUAN SURVEYING
SURVEYING * PLANNING
102 SOCIETY DRIVE TELLURIDE, CO. 81435
(970) 728 - 1128 (970) 728 - 9201 fax
office@sanjuansurveying.net

DATE:	01/03/2024
JOB:	04028
DRAWN BY:	AHM
CHECKED BY:	CRK
REVISION DATES:	
SHEET:	1 OF 1

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01	HOA / SD	02.16.2024
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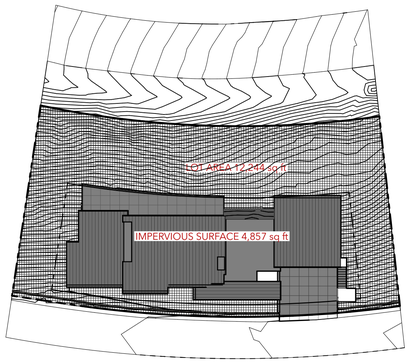
PHOTOS

A002



Lot Coverage

SCALE: 1" = 30'

0 30' 60'

3

LOT COVERAGE LEGEND

MAX LOT COVERAGE = 40%

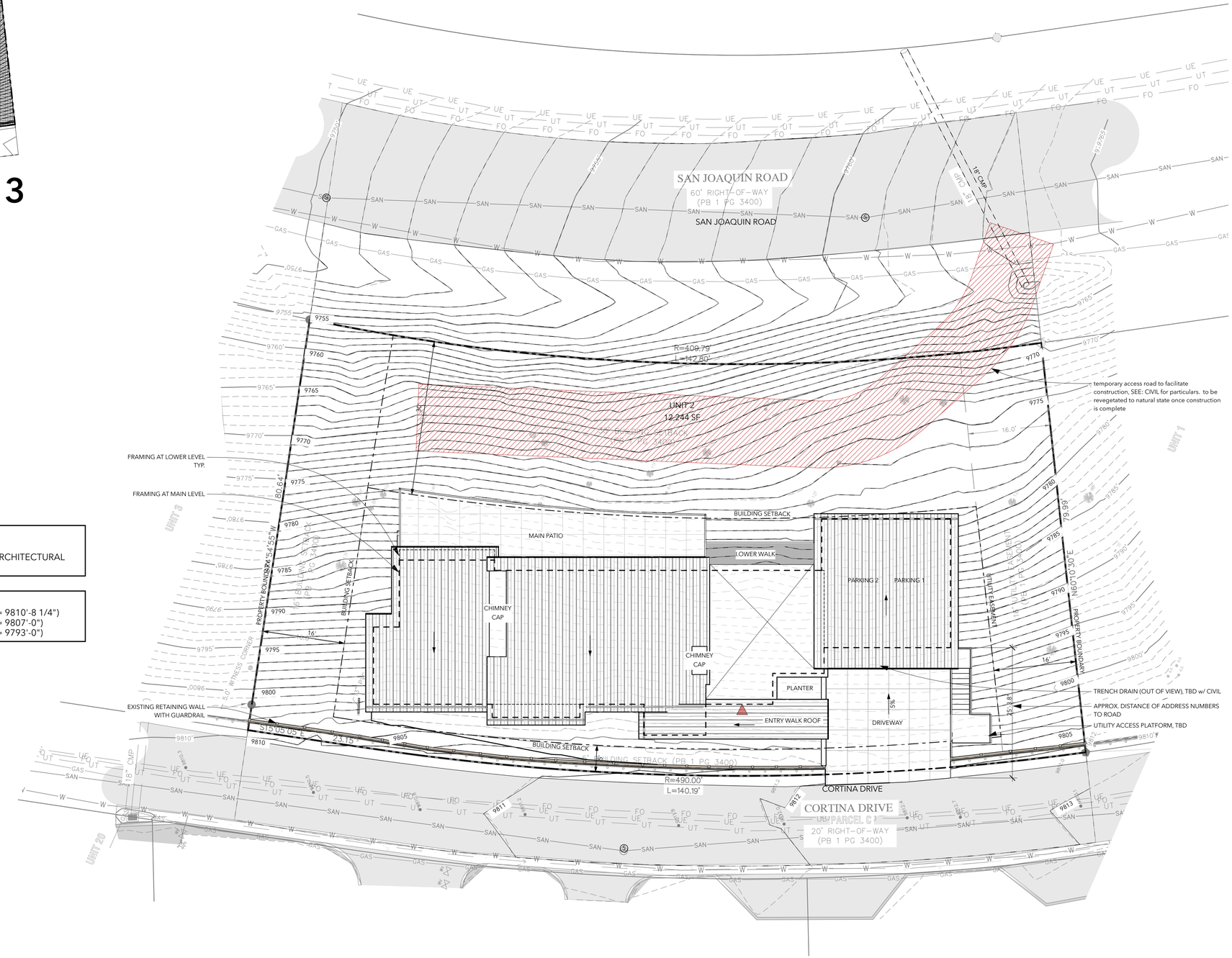
SITE AREA =	12244 SF
IMPERVIOUS AREA =	4857 SF
LOT COVERAGE =	**39.7%**

SITE NOTES

1. GREY BACKGROUND DENOTES EXISTING SURVEY.
2. SEE CIVIL AND LANDSCAPE FOR RESPECTIVE SCOPE(S). ARCHITECTURAL SITE PLAN IS FOR CONTEXT ONLY.

FLOOR ELEVATIONS

GARAGE - T.O. CONC. (F.F.)	= 103'-8 1/4"	(SITE = 9810'-8 1/4")
MAIN LEVEL - T.O.PLY.	= 100'-0"	(SITE = 9807'-0")
LOWER LEVEL - T.O. CONC.	= 86'-0"	(SITE = 9793'-0")



SITE PLAN

SCALE: 1" = 10'

0 5' 10' 20'

1

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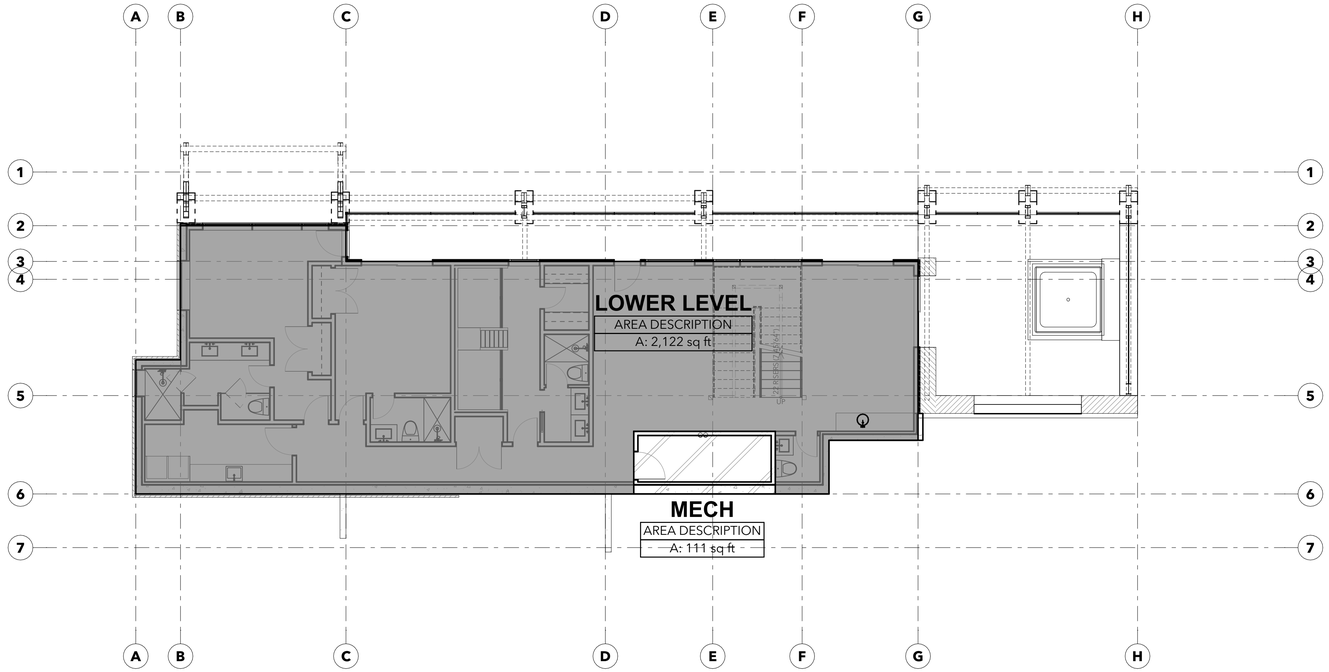
SITE PLAN

A003

NET SQUARE FOOTAGE	
FLOOR LEVEL/ZONE	AREA
LOWER LEVEL	2,122
MAIN LEVEL	2,159
MECH	111
	4,392 ft²

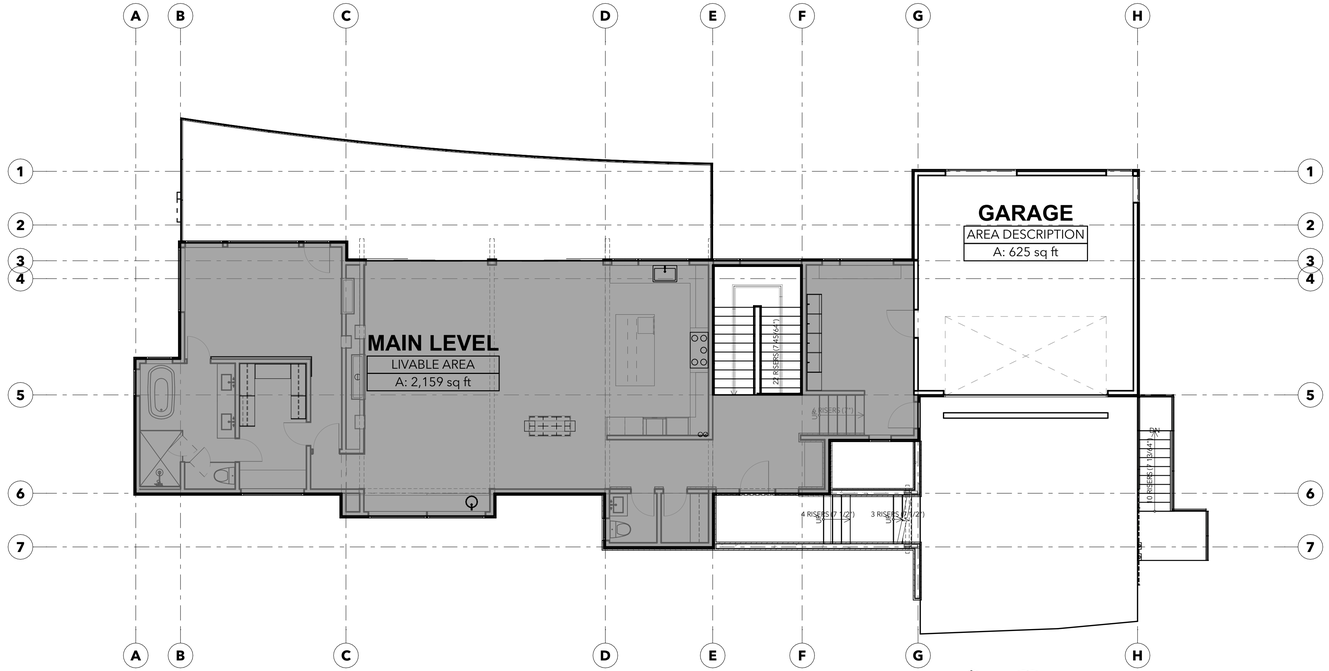
GROSS SQUARE FOOTAGE	
FLOOR LEVEL/ZONE	AREA
GARAGE	625
LOWER LEVEL	2,122
MAIN LEVEL	2,159
MECH	111
	5,017 ft²



F.A.R. LOWER LEVEL **2**

SCALE: 1/8" = 1'-0"

0 4' 8' 16'



F.A.R. MAIN LEVEL **1**

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

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F.A.R. PLANS

A004

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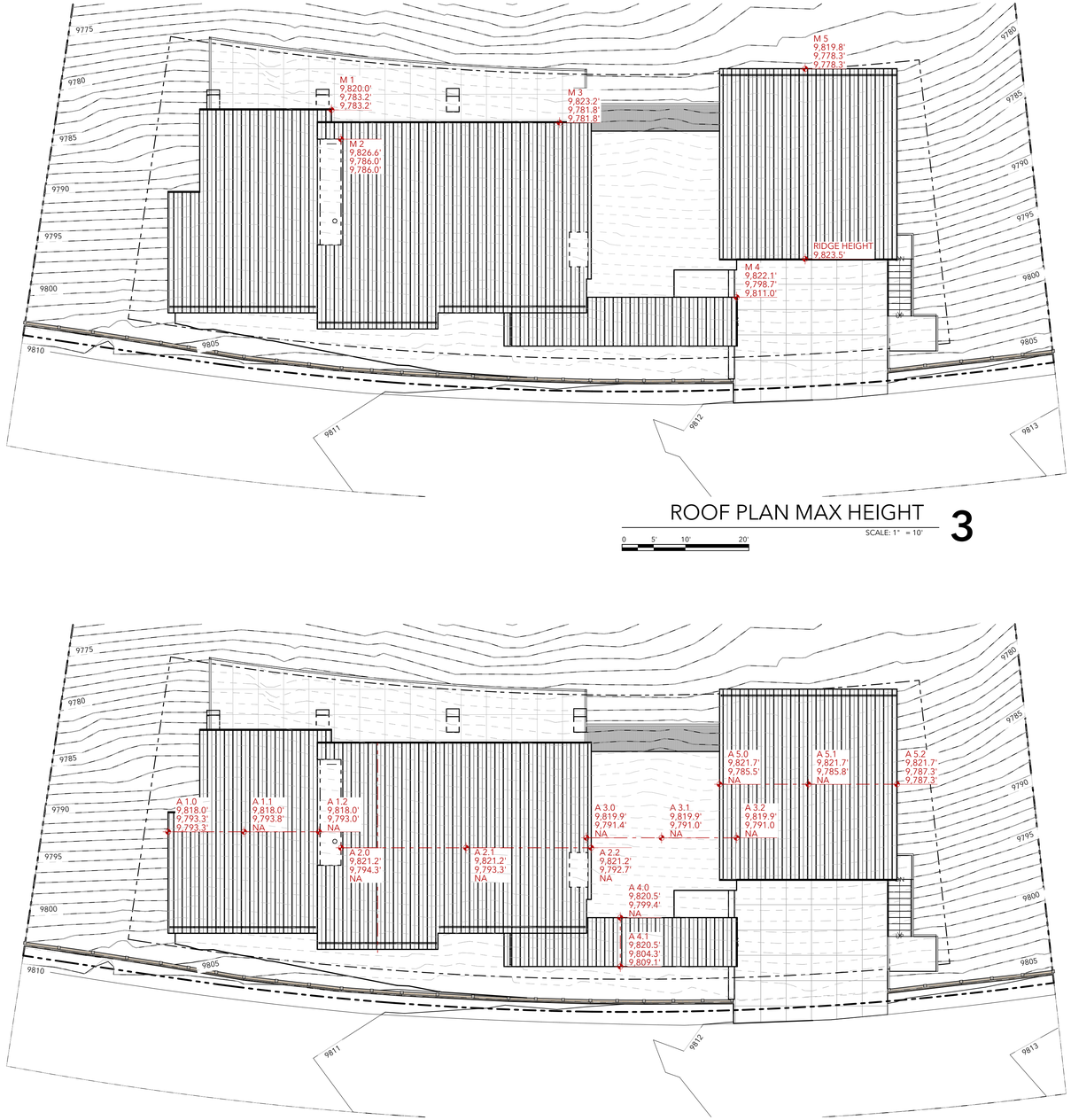

ROOF PLAN MAX HEIGHT 3

SCALE: 1" = 10'

0 5' 10' 20'

Roof Point	Roof Point Elevation	Natural Grade Below	Roof Height Above Natural Grade	Proposed Grade Below	Roof Height Above Proposed Grade
M 1	9820.0	9783.2	36.8	9783.2	36.8
M 2	9826.6	9786.9	39.7	9786.0	40.6
M 3	9823.2	9781.8	41.4	9781.8	41.4
M 4	9822.1	9798.7	23.4	9811.0	11.1
M 5	9819.8	9778.3	**41.5**	9778.3	**41.5**

Max Height 4

ROOF PLAN AVE HEIGHT 1

SCALE: 1" = 10'

0 5' 10' 20'

Roof Point	Roof Mid Point Elevation	Natural Grade Below	Proposed Grade Below	NG = Natural Grade PG = Proposed Grade	Roof Height Above Most Restrictive Grade
A 1.0	9818.0	9793.3	9793.3	NG	24.7
A 1.1	9818.0	9793.8	NA	NG	24.2
A1.2	9818.0	9793.0	NA	NG	25.0
A 2.0	9821.2	9794.3	NA	NG	26.9
A 2.1	9821.2	9793.3	NA	NG	27.9
A 2.2	9821.2	9792.7	NA	NG	28.5
A 3.0	9819.9	9791.4	NA	NG	28.5
A 3.1	9819.9	9791.0	NA	NG	28.9
A 3.2	9819.9	9791.0	NA	NG	28.9
A 4.0	9820.5	9799.4	NA	NG	21.1
A 4.1	9820.5	9805.2	9809.1	NG	15.3
A 5.0	9821.7	9785.5	NA	NG	36.2
A 5.1	9821.7	9785.8	NA	NG	35.9
A 5.2	9821.7	9787.3	9787.3	NG	34.4
				AVERAGE HEIGHT	**27.6**

Ave Height 2

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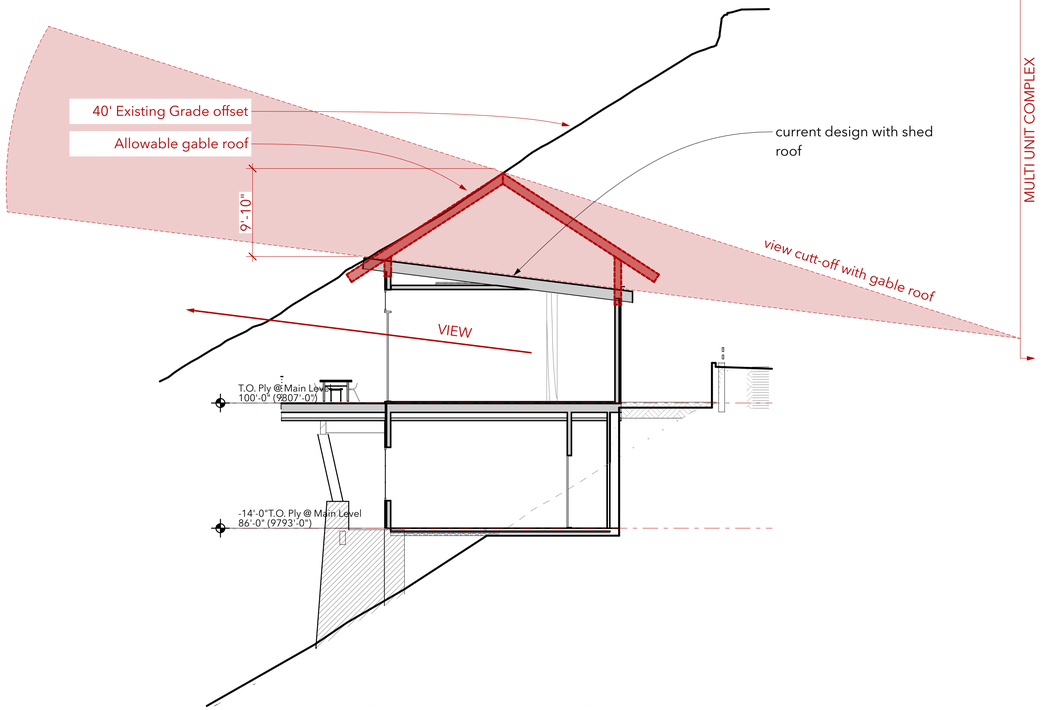
HEIGHTS PLANs

A005



ZONING - South Section @ Dining **2**

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

3D Zoning Southeast **3**

SCALE: 1:74.54

40' Existing Grade Offset - Per HOA code 17.3.11. The height limit for non-gable roof is 35'. An extra 5' is allowed for the ridge of gable or similar pitched roof for a total of 40'. The design of this home uses shed roofs as this minimizes the overall mass of the building which allows the occupant to shield the neighbors and capitalize on the big views!

roof at Garage is approximately **41.5'** above existing grade and will require a variance. Driveway slope and building envelope are the primary constraints dictating the height of the Garage floor. An 8' ceiling at the low end (East) of the Garage has been specified to minimize the overall height of the building. This element cannot be lowered any more with this plan configuration.

roof at Living/Dining is approximately **41'** above existing grade and will be within the variance, if granted.

3D Zoning SOUTH **1**

SCALE: 1:50.01

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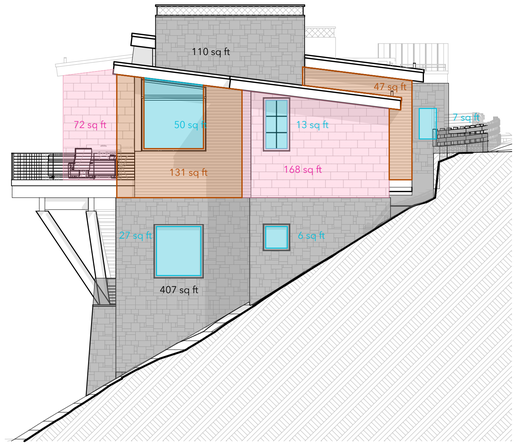
HEIGHTS EXHIBIT

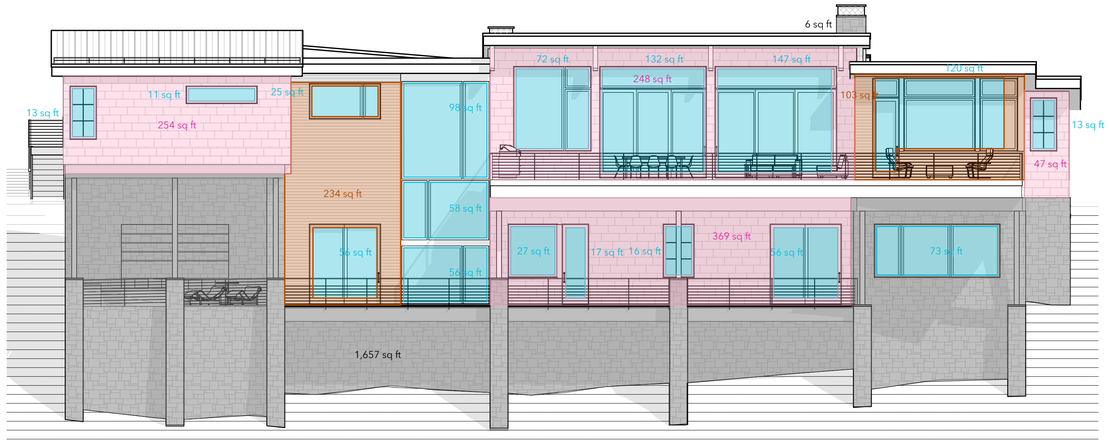
A006



ELEVATION NORTH 2

SCALE: 1/8" = 1'-0"

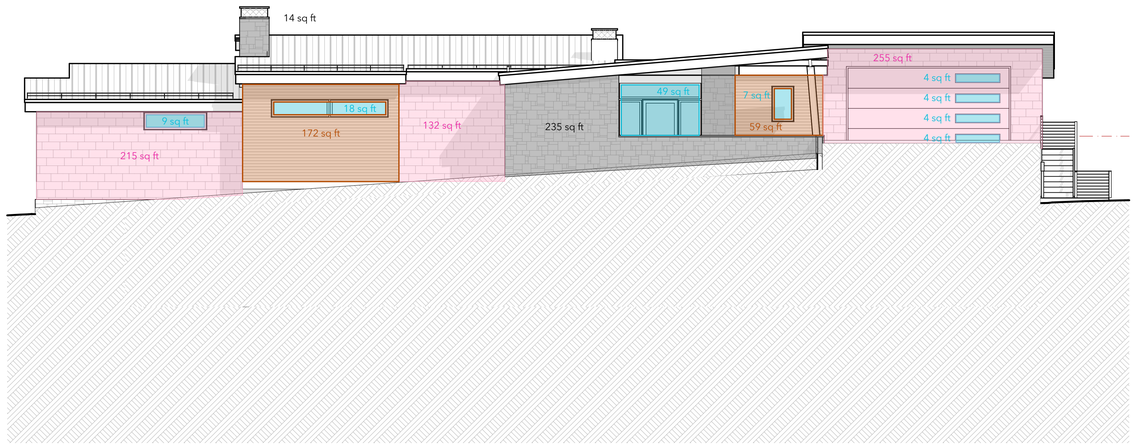
0 4' 8' 16'



ELEVATION EAST 1

SCALE: 1/8" = 1'-0"

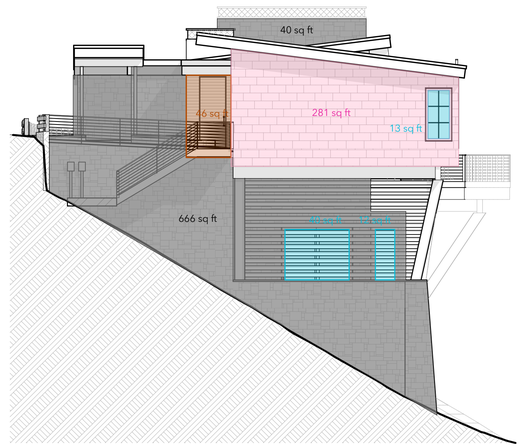
0 4' 8' 16'



ELEVATION WEST 4

SCALE: 1/8" = 1'-0"

0 4' 8' 16'



ELEVATION SOUTH 3

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

WALL MATERIAL LEGEND

- MASONRY
- GLASS
- WOOD
- METAL

MATERIALS	SQ FT	% OF TOTAL WALL AREA
ELEVATION NORTH		
STONE	517	49.81%
GLASS	103	9.92%
WOOD	178	17.15%
METAL	240	23.12%
TOTAL	1038	100.00%
ELEVATION EAST		
STONE	1663	42.55%
GLASS	990	25.33%
WOOD	337	8.62%
METAL	918	23.49%
TOTAL	3908	100.00%
ELEVATION SOUTH		
STONE	706	64.30%
GLASS	65	5.92%
WOOD	46	4.19%
METAL	281	25.59%
TOTAL	1098	100.00%
ELEVATION WEST		
STONE	267	22.27%
GLASS	99	8.26%
WOOD	231	19.27%
METAL	602	50.21%
TOTAL	1199	100.00%
TOTAL WALL AREA		
STONE	3153	43.53%
GLASS	1257	17.35%
WOOD	792	10.93%
METAL	2041	28.18%
TOTAL	7243	100.00%

Wall Areas 5

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EXTERIOR MATERIAL AREAS

A007

GENERAL NOTES

1. ALL TREES AND SHRUBS TO BE LOCATED BY ARCHITECT / OWNER.
2. ALL TREES AND SHRUBS SHALL BE BACK FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
3. NECESSARY TREES SHALL BE STAKED WITH 4' METAL "T" POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
4. PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEEP AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
5. SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
6. MULCH ALL PERENNIAL BEDS WITH LAVA ROCK.
7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
8. LANDSCAPING AND TREE REMOVAL SHALL BE IN ACCORDANCE WITH CDC 17.5.9, LANDSCAPE REGULATIONS AND CDC 17.6.1 ENVIRONMENTAL REGULATIONS.

NOXIOUS WEEDS:
9. ALL PLANTED MATERIALS, INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED IN THE NOXIOUS WEED CDC TABLE 5-5 OR SUBSEQUENTLY DESIGNATED AS A NOXIOUS WEED BY THE STATE OF COLORADO, OR THE TOWN.

LANDSCAPE MAINTENANCE NOTES:
10. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
11. NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.
12. ALL SHRUBS IN THE SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.
13. IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

TREE PROTECTION / REMOVAL NOTES

1. TREE PROTECTION FENCING IS REQUIRED BY THE CEC TO BE INSTALLED AT OR BEYOND THE CROWN DRIPLINE OF EACH TREE THAT WILL REMAIN (TREE PROTECTION ZONE) IN ACCORDANCE WITH CDC: 17.6.1.
2. TREE PROTECTION FENCING MUST BE INSTALLED AND APPROVED BY THE TOWN FORESTER BEFORE EXCAVATION MAY BEGIN.
3. TOWN FORESTER MUST BE CONTACTED BEFORE EXCAVATION BEGINS TO MARK OR APPROVE THE TREES TO BE REMOVED AND TO APPROVE THE PLACEMENT OF THE TREE PROTECTION FENCING. A TREE REMOVAL PERMIT MUST BE OBTAINED FROM THE TOWN FORESTER BEFORE TREE REMOVAL OPERATION MAY BEGIN.
4. NO BACKFILL, STORAGE, OR STAGIN IS PERMITTED INSIDE THE TREE PROTECTION AREA INSIDE THE TREE PROTECTION FENCING.

TREE PLANTING NOTES

1. TREE PLANTING SHALL ADHERE TO CDC 17.5.9.
2. TREES AND SHRUBS SHALL BE MULCHED UPON INITIAL PLANTING AND AS NEEDED TO REUCE WATER EVAPORATION
3. TREES AND SHRUB HOLES SHALL BE DUG SIX INCHES (6") DEEPER THAN THE ROOT BALL SIZE TO FACILITATE THE PLACEMENT OF APPROPRIATE MULCH MATERIAL AND FACILITATE GROWTH.
4. TREES SHALL BE STAKED AND HELD IN PLACE BY WEBBING AND WIRE TO ENSURE SUCCESSFUL ROOT ESTABLISHMENT FOR A PERIOD OF TWO (2) FULL GROWING SEASONS.
5. BURLAP AND WIRE SHALL BE REMOVED FOM THE ROOT BALL AS PART OF INSTALLATION. IF THE WIRE CANNOT BE REMOVED DUE TO THE SIZE OF THE TREE, THEN TWO-THIRDS OF THE WIRE SHALL BE REMOVED FROM THE UPPER PORTION OF THE ROOT BALL. ENUSRE ALL WIRE / TWINE IS REMOVED FROM AROUND THE TRUNK.

PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY
PICEA ENGELMANNII	ENGLEMANN SPRUCE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	##EA
PICEA PUNGENS	COLORADO BLUE SPRICE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	##EA
PINUS ARISTATA	BRISTLECONE PINE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	##EA

REVEGETATION NOTES

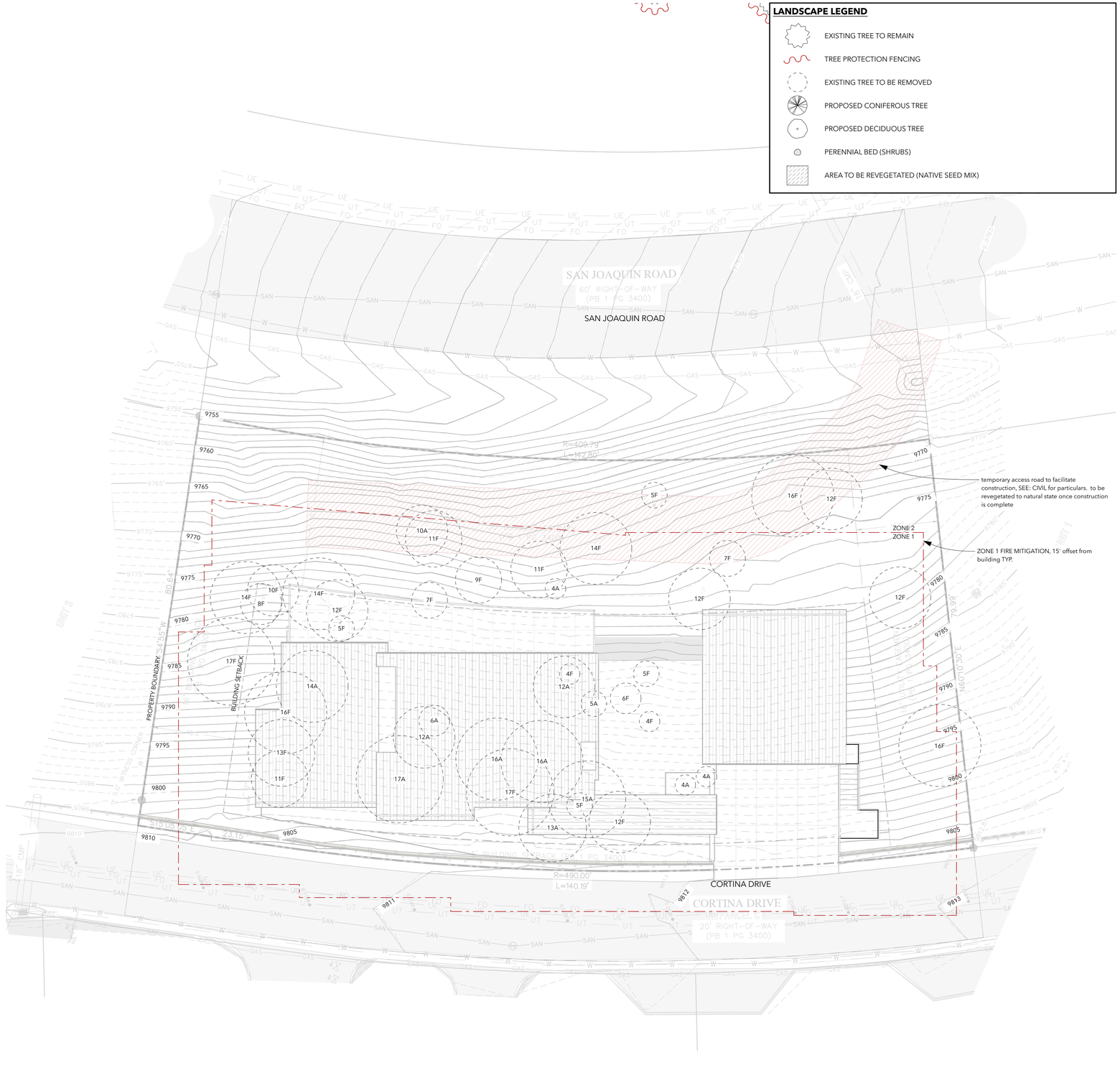
1. SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS
2. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
3. AREAS WHICH HAVE BEEN COMPACTED OR ARE RELATIVELY UNDISTURBED NEEDING SEEDING SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
4. BROADCASTING WITH SPECIFIED SEED MEX AND FOLLOW WITH DRY MULCHING, STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FRO STRAW, CRIMP IN.
5. ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
6. ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
7. SEED ALL AREAS LABLED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.
8. REVEGETATION WILL REQUIRE 12" OF EXISTING TOP SOIL TO BE REMOVED AND STORED UNTIL REVEGETATION HAPPENS.
9. TOPSOIL SPECIFICATION: REPLACE WITH ORIGINAL EXCAVATED FROM THE SITE AND SUPPLEMENT WITH LOCAL NATIVE TOPSOIL. TOPSOIL WILL CONTAIN 4-5% ORGANIC MATTER WHICH SHALL BE MIXED IN DURING THE RESTORATION PROCESS (THE ORGANIC MATTER SHOULD BE DERIVED FROM DISEASE AND HERBICIDE FREE PARTIALLY DECOMPOSED, CURED WOOD CHIPS).
10. REVEGETATION WILL BE BROUGHT BACK TO ORIGINAL GRADE.

NATIVE GRASS SEED MIX:

SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREEPING RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%

LANDSCAPE LEGEND

- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCING
- EXISTING TREE TO BE REMOVED
- PROPOSED CONIFEROUS TREE
- PROPOSED DECIDUOUS TREE
- PERENNIAL BED (SHRUBS)
- AREA TO BE REVEGETATED (NATIVE SEED MIX)



LANDSCAPE PLAN

SCALE: 1" = 10'

0 5' 10' 20'

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LANDSCAPE PLAN

A008

IRRIGATION NOTES

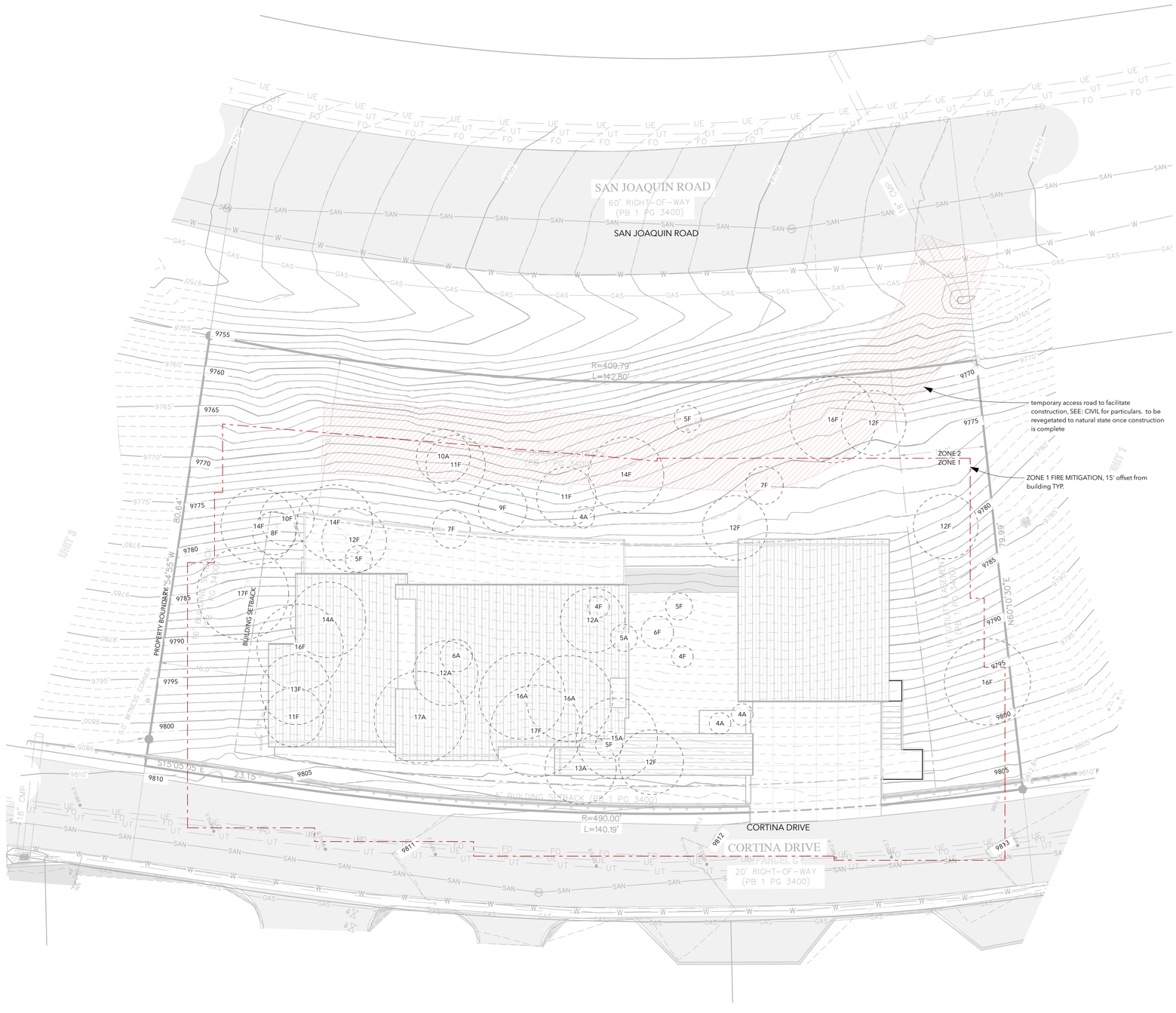
1. PROVIDE IRRIGATION SYSTEM IN ACCORDANCE WITH CDC REQUIREMENTS (17.5.9, TABLE 5-3 IRRIGATION SYSTEM DESIGN) AND THE TOWN OF MOUNTAIN VILLAGE WATER A SEWER REGULATIONS.
2. IRRIGATION CONTROL EQUIPMENT SHALL INCLUDE AN AUTOMATIC IRRIGATION CONTROLLER HAVING PROGRAM FLEXIBILITY SUCH AS REPEAT CYCLES AND MULTIPLE PROGRAM CAPABILITIES. AUTOMATIC IRRIGATION CONTROLLERS SHALL HAVE BATTERY BACKUP TO RETAIN THE IRRIGATION PROGRAMS IN THE EVENT OF A LOSS OF POWER.
3. TREES AND SHRUBS SHALL BE DRIP IRRIGATED.
4. PERENNIAL BEDS SHALL UTILIZE SPRAY HEADS, SOAKER HOSE, LOW VOLUME MIST AND / OR EMITTERS EQUIPPED WITH ADJUSTABLE NOZZLES TO LIMIT OVER / UNDER WATERING WITHIN A SPECIFIC ZONE.
5. TURF GRASS SHALL BE SPRAY / OR ROTOR HEADS.
6. ALL AREAS TO BE REVEGETATED WITH NATIVE GRASS SEED MIX MAY BE IRRIGATED UNTIL THE GRASS IS ESTABLISHED, BUT NO MORE THAN ONE (1) FULL GROWING SEASON WITH ANY SUCH EXTRA IRRIGATION INSTALLED ON A SEPARATE ZONE(S) THAT WILL BE PERMANENTLY SHUT OFF AFTER SUCCESSFUL REVEGETATION.
7. AN ADDITIONAL 2 YEAR GUARANTEE ON WATERING IS REQUIRED.

IRRIGATION SCHEDULE

ZONE	LOCATION	HEAD	GPM
1			
2			
3			
4			
5			

WATER USAGE CHART

TYPE	GAL/MONTH	TOTAL #	TOTAL GALLONS PER MONTH
1			
2			
3			
4			
5			



LANDSCAPE PLAN 2

SCALE: 1" = 10'

0 5' 10' 20'

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IRRIGATION PLAN

A009

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GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

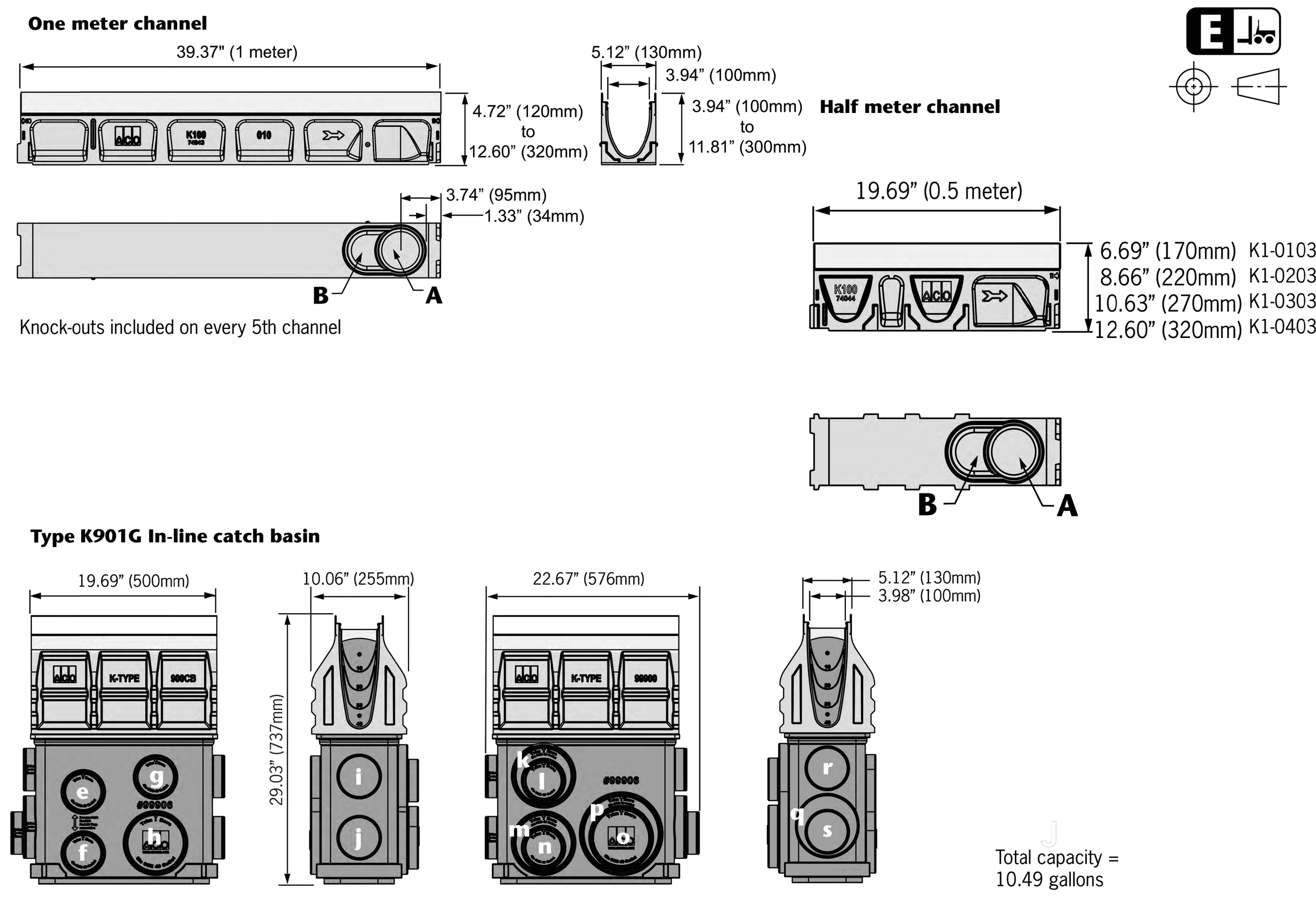
24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.

ACO DRAIN

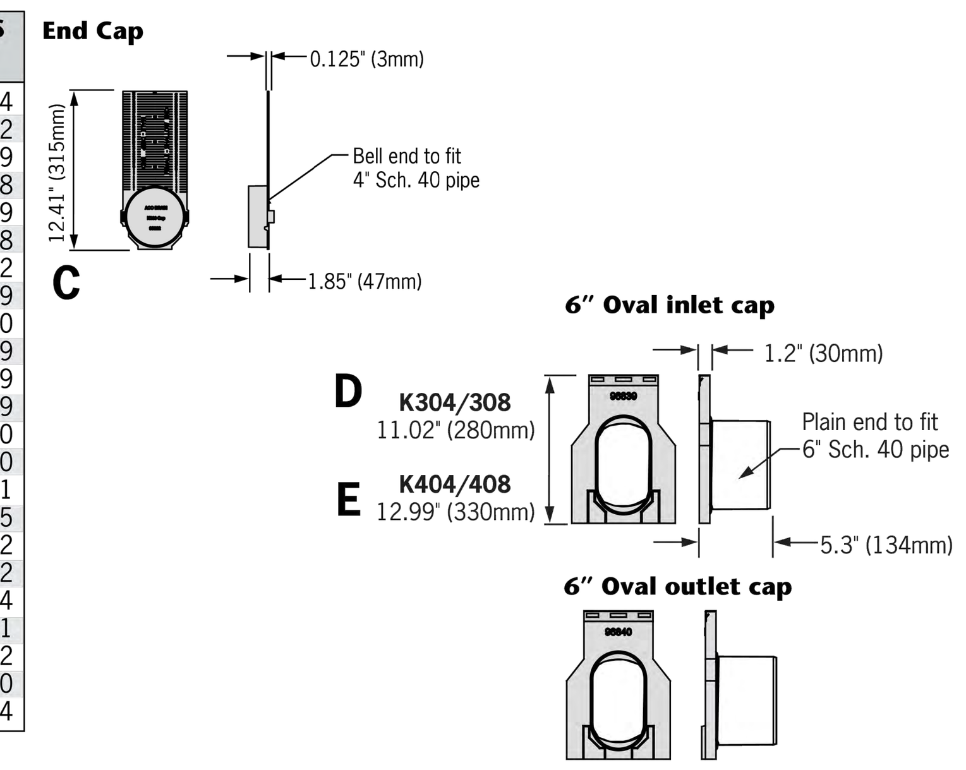
KlassikDrain - K100 Galvanized steel edge rail channel system



Outlet flow rates

Outlet	Product	Outlet size (Sch. 40)	Invert Depth	GPM	CFS
a	Bottom outlet - K00	4" round	3.94"	108	0.24
a	Bottom outlet - K40	4" round	11.81"	187	0.42
b	Bottom outlet - K00	6" oval	3.94"	177	0.39
b	Bottom outlet - K40	6" oval	11.81"	306	0.68
c	End outlet - K20	4" round	7.87"	132	0.29
c	End outlet - K40	4" round	11.81"	171	0.38
d	K1-308-6 6" outlet cap	6" oval	9.84"	233	0.52
e	K1-408-6 6" outlet cap	6" oval	11.81"	264	0.59
f	Type K1-901G	4" round	19.30"	226	0.50
g	Type K1-901G	4" round	25.67"	265	0.59
h	Type K1-901G	4" round	25.30"	263	0.59
i	Type K1-901G	4" round	18.56"	222	0.49
j	Type K1-901G	6" round	25.85"	586	1.30
k	Type K1-901G	4" round	26.43"	269	0.60
l	Type K1-901G	4" round	19.36"	227	0.51
m	Type K1-901G	6" round	27.30"	604	1.35
n	Type K1-901G	6" round	19.99"	505	1.12
o	Type K1-901G	6" round	26.43"	593	1.32
p	Type K1-901G	8" round	27.30"	1051	2.34
q	Type K1-901G	4" round	27.17"	273	0.61
r	Type K1-901G	4" round	20.68"	235	0.52
s	Type K1-901G	4" round	18.99"	224	0.50
t	Type K1-901G	6" round	27.17"	6.02	1.34

Note: These are the pipe flow rates at the specified outlet, **NOT** channel flow rates. Catch basin flow rates are without trash bucket - using trash bucket reduces flow.

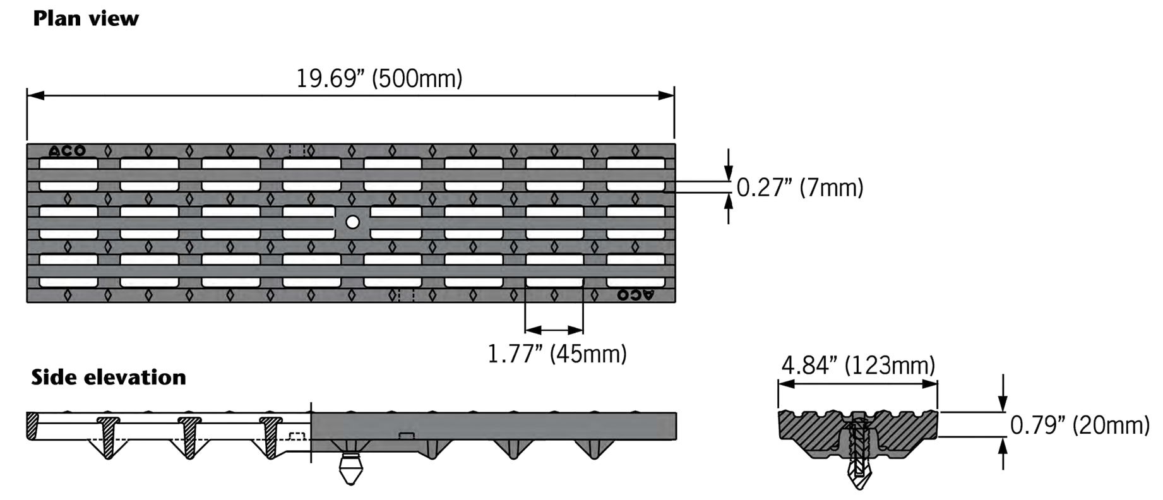


ACO Specification Information

ACO Trench Drain Cut Sheet

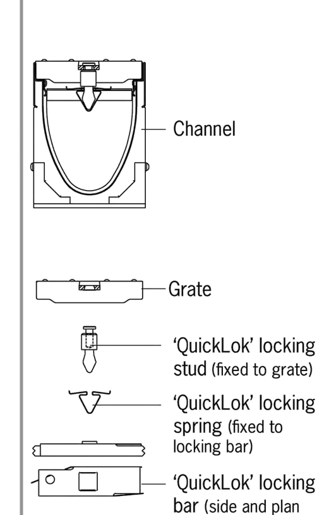
ACO DRAIN

Type 478Q Longitudinal ductile iron grate (ADA)



Description	Part No.	Length inches *(mm)*	Width inches *(mm)*	Weight lbs.
QuickLok grate				
Type 478Q Ductile iron longitudinal grate	**03314**	19.69 (*500*)	4.85 (*123.1*)	12.8
QuickLok locking bar	**02899**	-	-	0.5
QuickLok grate removal tool	**01318**	-	-	0.3

'QuickLok' locking mechanism



ACO 'QuickLok' is a patented boltless locking system, grates are removed and replaced with the minimum time and effort for ease of maintenance. The unique design provides a positive 'snap down' fit into the locking bar. A stud is fixed to the grate which 'locks' into the spring clip in the locking bar.

The 'QuickLok' stud is made from stainless steel and high density nylon, the locking bar and clip are stainless steel, for use in both general purpose and corrosive environments.

CO Specification Information

ACO Trench Drain Grate

ACO DRAIN

KlassikDrain - K100 Galvanized steel edge rail channel system

Description	Part No.	Invert Inches[2]	Invert mm[2]	Weight Lbs.
K1-00 Neutral channel - 39.37" (1m)[1]	**74041**	**3.94**	**100**	**28.1**
K1-1 Sloped channel - 39.37" (1m)	**74001**	4.13	105	28.1
K1-2 Sloped channel - 39.37" (1m)	**74002**	4.33	110	28.9
K1-3 Sloped channel - 39.37" (1m)	**74003**	4.53	115	29.7
K1-4 Sloped channel - 39.37" (1m)	**74004**	4.72	120	30.5
K1-5 Sloped channel - 39.37" (1m)[1]	**74005**	4.92	125	31.3
K1-6 Sloped channel - 39.37" (1m)	**74006**	5.12	130	32.1
K1-7 Sloped channel - 39.37" (1m)	**74007**	5.31	135	32.9
K1-8 Sloped channel - 39.37" (1m)	**74008**	5.51	140	33.7
K1-9 Sloped channel - 39.37" (1m)	**74009**	5.71	145	34.5
K1-10 Sloped channel - 39.37" (1m)[1]	**74010**	5.91	150	35.3
K1-010 Neutral channel - 39.37" (1m)[1]	**74043**	**5.91**	**150**	**35.3**
K1-0103 Neutral channel - 19.69" (0.5m)[1]	**74044**	**5.91**	**150**	**17.0**
K1-11 Sloped channel - 39.37" (1m)	**74011**	6.10	155	36.1
K1-12 Sloped channel - 39.37" (1m)	**74012**	6.30	160	36.9
K1-13 Sloped channel - 39.37" (1m)	**74013**	6.50	165	37.7
K1-14 Sloped channel - 39.37" (1m)	**74014**	6.69	170	38.5
K1-15 Sloped channel - 39.37" (1m)[1]	**74015**	6.89	175	39.3
K1-16 Sloped channel - 39.37" (1m)	**74016**	7.09	180	40.1
K1-17 Sloped channel - 39.37" (1m)	**74017**	7.28	185	40.9
K1-18 Sloped channel - 39.37" (1m)	**74018**	7.48	190	41.7
K1-19 Sloped channel - 39.37" (1m)	**74019**	7.68	195	42.5
K1-20 Sloped channel - 39.37" (1m)[1]	**74020**	7.87	200	43.4
K1-020 Neutral channel - 39.37" (1m)[1]	**74045**	**7.87**	**200**	**43.4**
K1-0203 Neutral channel - 19.69" (0.5m)[1]	**74046**	**7.87**	**200**	**20.5**
K1-21 Sloped channel - 39.37" (1m)	**74021**	8.07	205	44.2
K1-22 Sloped channel - 39.37" (1m)	**74022**	8.27	210	45.0
K1-23 Sloped channel - 39.37" (1m)	**74023**	8.46	215	45.8
K1-24 Sloped channel - 39.37" (1m)	**74024**	8.66	220	46.6
K1-25 Sloped channel - 39.37" (1m)[1]	**74025**	8.86	225	47.4
K1-26 Sloped channel - 39.37" (1m)	**74026**	9.06	230	48.2
K1-27 Sloped channel - 39.37" (1m)	**74027**	9.25	235	49.0

Description	Part No.	Invert Inches[2]	Invert mm[2]	Weight Lbs.
K1-28 Sloped channel - 39.37" (1m)	**74028**	9.45	240	49.8
K1-29 Sloped channel - 39.37" (1m)	**74029**	9.65	245	50.6
K1-30 Sloped channel - 39.37" (1m)[1]	**74030**	9.84	250	51.4
K1-030 Neutral channel - 39.37" (1m)[1]	**74047**	**9.84**	**250**	**51.4**
K1-0303 Neutral channel - 19.69" (0.5m)[1]	**74048**	**9.84**	**250**	**24.0**
K1-31 Sloped channel - 39.37" (1m)	**74031**	10.04	255	52.2
K1-32 Sloped channel - 39.37" (1m)	**74032**	10.24	260	53.0
K1-33 Sloped channel - 39.37" (1m)	**74033**	10.43	265	53.8
K1-34 Sloped channel - 39.37" (1m)	**74034**	10.63	270	54.6
K1-35 Sloped channel - 39.37" (1m)[1]	**74035**	10.83	275	55.4
K1-36 Sloped channel - 39.37" (1m)	**74036**	11.02	280	56.2
K1-37 Sloped channel - 39.37" (1m)	**74037**	11.22	285	57.0
K1-38 Sloped channel - 39.37" (1m)	**74038**	11.42	290	57.9
K1-39 Sloped channel - 39.37" (1m)	**74039**	11.61	295	58.7
K1-40 Sloped channel - 39.37" (1m)[1]	**74040**	11.81	300	59.5
K1-040 Neutral channel - 39.37" (1m)[1]	**74049**	**11.81**	**300**	**59.5**
K1-0403 Neutral channel - 19.69" (0.5m)[1]	**74050**	**11.81**	**300**	**27.5**
K1-901G In-line catch basin - 19.69" (0.5m)[3]	**94608**	28.81	701.9	52.6
K1-621G catch basin - 19.69" (0.5m)[3]	**94617**	28.84	732.5	55.8
K1-631G catch basin - 19.69" (0.5m)[4]	**94631**	40.84	1037.4	65.8
K1-Series 600 Optional plastic riser	**99902**	-	-	10.0
Foul air trap - fits both 900 & 600 series basins	**90854**	-	-	1.2
K1-304-6 6" Inlet Cap	**96839**	9.84	250	5.2
K1-308-6 6" Outlet Cap	**96840**	9.84	250	5.0
K1-404-6 6" Inlet Cap	**96834**	11.81	300	6.0
K1-408-6 6" Outlet Cap	**96836**	11.81	300	5.8
Universal end cap	**96822**	11.81	300	0.4
Debris strainer for 4" bottom knockout	**93488**	-	-	0.2
4" Oval to 6" round outlet adapter	**95140**	-	-	1.1
K1-Installation device	**97477**	-	-	2.8
Grate removal tool	**01318**	-	-	0.3
K1-QuickLok locking bar	**02899**	-	-	0.1

Notes:
1. This channel offers a bottom knockout feature; 4" round/6" oval.
2. Inverts shown are for the male end; for female invert depth subtract 5mm (≈0.2") from the male invert (except for neutral channels, where it will be same as male invert). To calculate the overall channel depth add 20mm (≈0.8") to invert depth.
3. This catch basin kit includes a polymer concrete top, removable Quicklok locking bar, trash bucket and plastic base. Select an appropriate grate.
4. This catch basin kit includes a polymer concrete top, removable Quicklok locking bar, deep trash bucket, plastic riser and plastic base. Select an appropriate grate.

Specifications

General
The surface drainage system shall be ACO Drain K100 complete with gratings secured with 'QuickLok' locking as manufactured by ACO, Inc. or approved equal.

Materials
The trench system bodies shall be manufactured from polyester polymer concrete with the minimum properties as follows:

Compressive strength:	14,000 psi
Flexural strength:	4,000 psi
Water absorption	0.07%
Frost proof	YES
Salt proof	YES
Dilute acid and alkali resistant	YES

The nominal clear opening shall be 4" (100mm) with overall width of 5.12" (130mm). Pre-cast units shall be manufactured with either an invert slope of 0.5% or with neutral invert and have a wall thickness of at least 0.50" (13mm). Each unit will feature a partial radius in the trench bottom and a male to female interconnecting end profile. Units shall have horizontal cast in anchoring keys on the outside wall to ensure maximum mechanical bond to the surrounding bedding material and pavement surface. The galvanized steel edge rail will be integrally cast in by the manufacturer to ensure maximum homogeneity between polymer concrete body and edge rail. Each edge rail shall be at least 3/32" (2.5mm) thick.

Grates
Grates shall be specified. See separate ACO Spec Info grate sheets for details. After removal of grates and 'QuickLok' bar there shall be uninterrupted access to the trench to aid maintenance.

Installation
The trench drain system shall be installed in accordance with the manufacturer's installation instructions and recommendations.

ACO Specification Information

ACO Trench Drain Cut Sheet

Uncompahgre Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2024-03-19

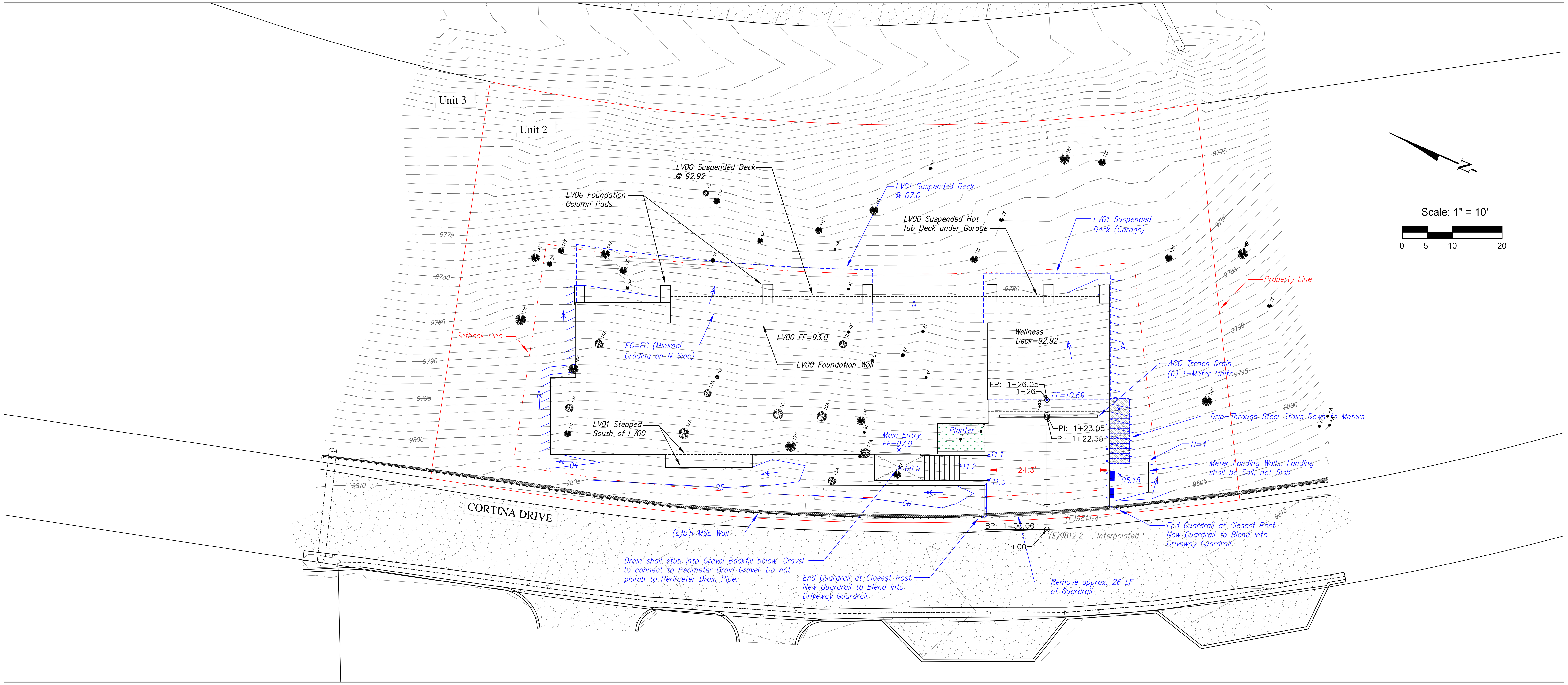
Cortina, Unit 2
Cortina Drive
Mtn.Village, CO

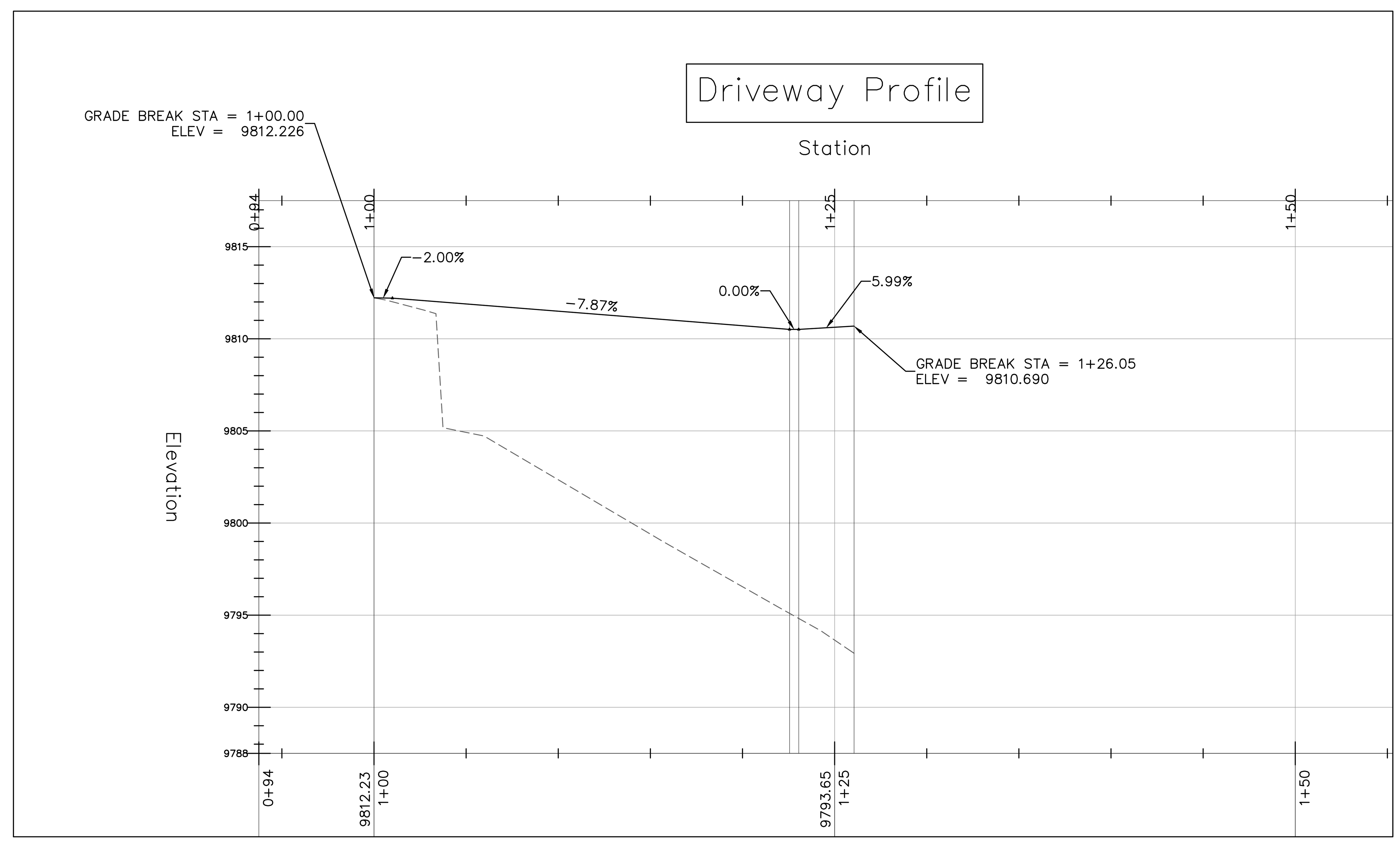
COLORADO LICENSED PROFESSIONAL ENGINEER 29645 03-19-24
NOT FOR CONSTRUCTION

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1





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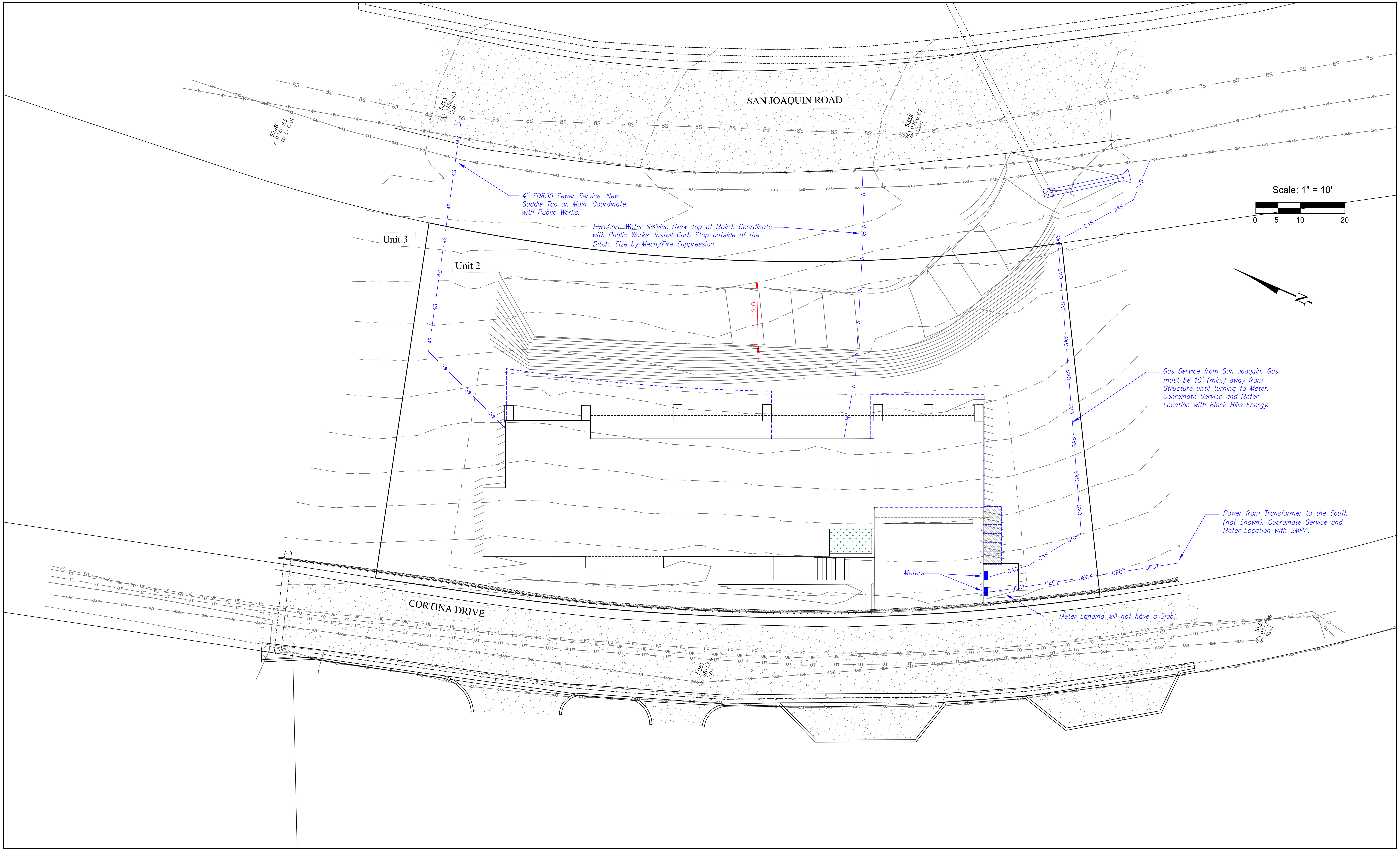
Cortina, Unit 2
Cortina Drive
Mtn.Village, CO

Grading and Drainage

C2.1


SAN JOAQUIN ROAD
CORTINA DRIVE
Unit 3
Unit 2
4" SDR35 Sewer Service. New Saddle Tap on Main. Coordinate with Public Works.
PureCore Water Service (New Tap at Main). Coordinate with Public Works. Install Curb Stop outside of the Ditch. Size by Mech/Fire Suppression.
12.0'
Scale: 1" = 10'
0 5 10 20
Gas Service from San Joaquin. Gas must be 10' (min.) away from Structure until turning to Meter. Coordinate Service and Meter Location with Black Hills Energy.
Power from Transformer to the South (not Shown). Coordinate Service and Meter Location with SMPA.
Meters
Meter Landing will not have a Slab.

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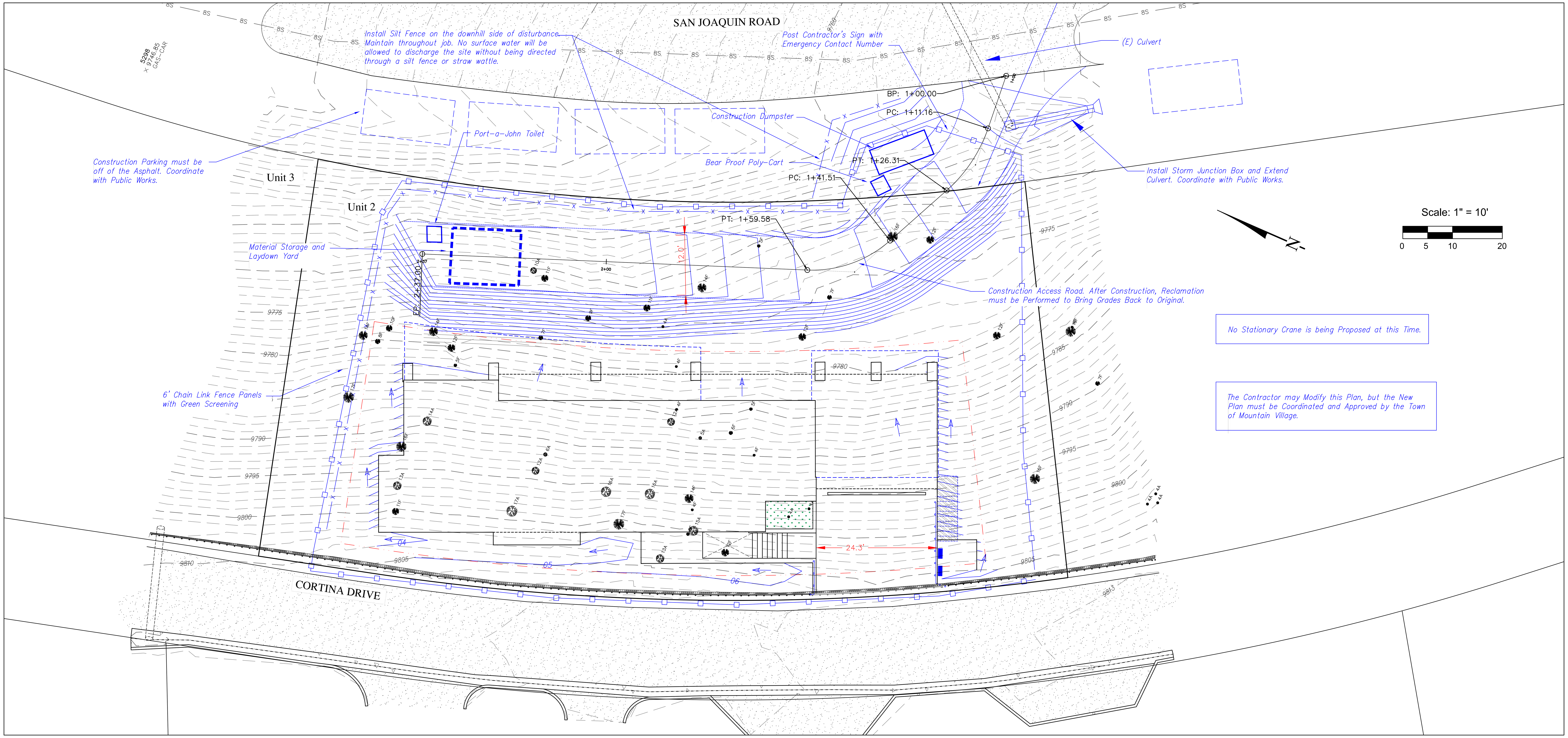
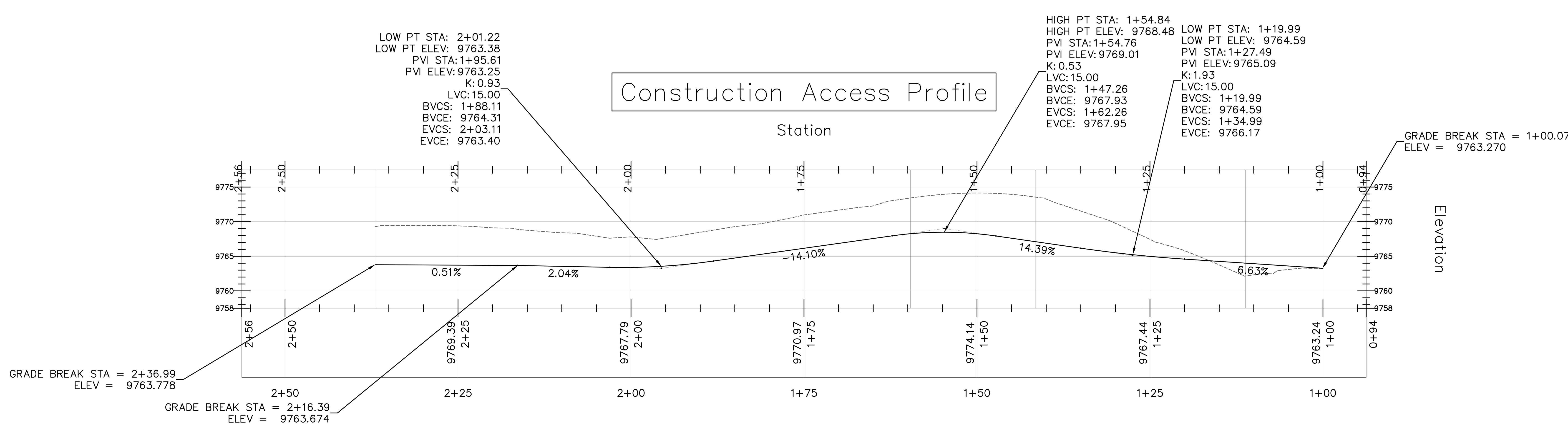
Utilities

C3


SAN JOAQUIN ROAD
Install Silt Fence on the downhill side of disturbance. Maintain throughout job. No surface water will be allowed to discharge the site without being directed through a silt fence or straw wattle.
Post Contractor's Sign with Emergency Contact Number
(E) Culvert
Construction Parking must be off of the Asphalt. Coordinate with Public Works.
Port-a-John Toilet
Construction Dumpster
Bear Proof Poly-Cart
BP: 1+00.00
PC: 1+11.16
PT: 1+26.31
PC: 1+41.51
PT: 1+59.58
Install Storm Junction Box and Extend Culvert. Coordinate with Public Works.
Unit 3
Unit 2
Material Storage and Laydown Yard
EP: 2+37.00
12.0'
Construction Access Road. After Construction, Reclamation must be Performed to Bring Grades Back to Original.
Scale: 1" = 10'
0 5 10 20
No Stationary Crane is being Proposed at this Time.
The Contractor may Modify this Plan, but the New Plan must be Coordinated and Approved by the Town of Mountain Village.
6' Chain Link Fence Panels with Green Screening
24.3'
CORTINA DRIVE
9775
9780
9785
9790
9795
9800
9805
9810


Construction Access Profile
Station
Elevation
LOW PT STA: 2+01.22
LOW PT ELEV: 9763.38
PVI STA: 1+95.61
PVI ELEV: 9763.25
K: 0.93
LVC: 15.00
BVCS: 1+88.11
BVCE: 9764.31
EVCS: 2+03.11
EVCE: 9763.40
HIGH PT STA: 1+54.84
HIGH PT ELEV: 9768.48
PVI STA: 1+54.76
PVI ELEV: 9769.01
K: 0.53
LVC: 15.00
BVCS: 1+47.26
BVCE: 9767.93
EVCS: 1+62.26
EVCE: 9767.95
LOW PT STA: 1+19.99
LOW PT ELEV: 9764.59
PVI STA: 1+27.49
PVI ELEV: 9765.09
K: 1.93
LVC: 15.00
BVCS: 1+19.99
BVCE: 9764.59
EVCS: 1+34.99
EVCE: 9766.17
GRADE BREAK STA = 1+00.07
ELEV = 9763.270
GRADE BREAK STA = 2+36.99
ELEV = 9763.778
GRADE BREAK STA = 2+16.39
ELEV = 9763.674
0.51%
2.04%
-14.10%
14.39%
6.63%
2+56
2+50
2+25
2+00
1+75
1+50
1+25
1+00
0+94
9769.39
9767.79
9770.97
9774.14
9767.44
9763.24
9775
9770
9765
9760
9758

Uncompahgre Engineering, LLC

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Mtn.Village, CO

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CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Construction Mitigation and Access

C4

Wildfire Mitigation Notes:

Wildfire Mitigation will be performed according to the Town of Mountain Village requirements, CDC Chapter 17.6. Zones 1, 2, and 3 are identified on the plan.

D. The following requirements shall be followed in creating the required wildfire mitigation plan:

i. Zone 1 is the area that consists of fifteen feet (15") around the building as measured from the outside edge of the building's dripline, including decks, planters or patios attached to the building. The following provisions shall apply in Zone 1:

1. (a) All slash and flammable vegetation as identified by staff shall be removed from Zone 1.

2. (b) All trees and shrubs located within Zone 1 shall be removed.

3. (c) The following exceptions apply to Zone 1:

1. (i.) A tree or shrub may remain within Zone 1 provided the defensible space distance is measured commencing from the vegetation's drip edge rather than from the building plane (so the tree is considered part of or an extension of the structure), and provided the distance is not limited by a lot line.

2. (ii.) Flammable vegetation shall be allowed in planters attached to the building so long as the planter is within ten feet (10') of a building, and vegetation is not planted directly beneath windows or next to foundation vents.

4. (d) In the event Zone 1 encroaches upon the general easement, the review authority shall allow the creation of defensible space as required by this section.

ii. Zone 2 is the area that extends from the outer edge of Zone 1 for the distance specified in Figure 6–1 (Sec. 17.6.1 of the CDC), Fire Mitigation Zones, based on slope, to the lot line, whichever is less.

The following provisions shall apply in Zone 2:

(iii.) Dominant and co–dominant live trees with a dbh of four inches (4") or greater shall be spaced with a ten foot (10') crown–to– crown separation. All ladder fuels and slash shall be removed from the ten foot (10') crown–to–crown separation area.

4. (iv.) All stressed, diseased, dead or dying trees and shrubs, as identified by staff, shall be removed except for standing dead trees that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.

5. (v.) Shrubs over five feet (5') tall shall have an average spacing of ten feet (10') from shrub–to–shrub.

(A) The following exceptions apply to Zone 2:

2. (i.) Groupings of trees or shrubs may be allowed provided that all of the crowns in such group of trees or the edge of the shrubs are spaced ten feet (10') from crown–to– crown or from edge of shrub to any trees or shrubs outside of such grouping.

3. (ii.) Aspens, narrowleaf cottonwoods, willows and other trees and shrubs listed in CSU Cooperative Extension Publication 6.305, Firewise Plant Materials as amended from time to time, may be spaced closer than the ten foot (10') crown–to–crown separation as approved by staff.

4. (iii.) Closer spacing of any trees may be allowed by staff upon a determination that the required ten foot (10') crown–to–crown spacing would put the remaining trees at undue risk of wind–throw or snow breakage.

5. (iv.) Tree removal for the creation of defensible space, if such tree removal is determined to be impractical by the Town due to steep slopes, wetland or other environmental constraints, and other mitigation is provided.

3. (c) Trees remaining within Zone 2 shall have branches pruned to a height of ten feet (10'), but notwithstanding said height requirement, branches need not be pruned to more than one–third (1/3) of the tree height with the following exceptions:

1. (i.) Aspen trees; and

2. (ii.) Isolated spruce and fir trees.

4. (d) In the event that Zone 1 or 2 extends upon the general easement, the review authority shall allow the removal of trees to implement the wildfire mitigation plan.

5. (e) Chipped wood and small timber may be spread throughout either Zone 2 or Zone 3 provided the wood chips have a maximum depth of two to three inches (2" – 3") and small timber has a diameter of three inches (3") or less and is cut up into lengths that are three feet (3') or less.

iii. Zone 3 is the area extending beyond Zone 2 to the edge of the lot subject to development. In Zone 3, all diseased, beetle infested, dead or dying trees, as identified by staff, shall be removed except for standing dead trees (aka tree snags) that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.

(a) For lots greater than five (5) acres in size, the Town shall only require that Zone 3 be implemented for a distance of 500 feet from the outside edge of Zone 2. A lot owner may propose to implement Zone 3 for all of the lot.

E. Firewood may only be stored on a lot that has a solid fuel burning device permit issued by the Town that meets the following limitations:

i. Indoor storage can only occur within an enclosed room that is a part of the primary structure on the lot.

ii. Outdoor storage shall only occur in the rear yard.

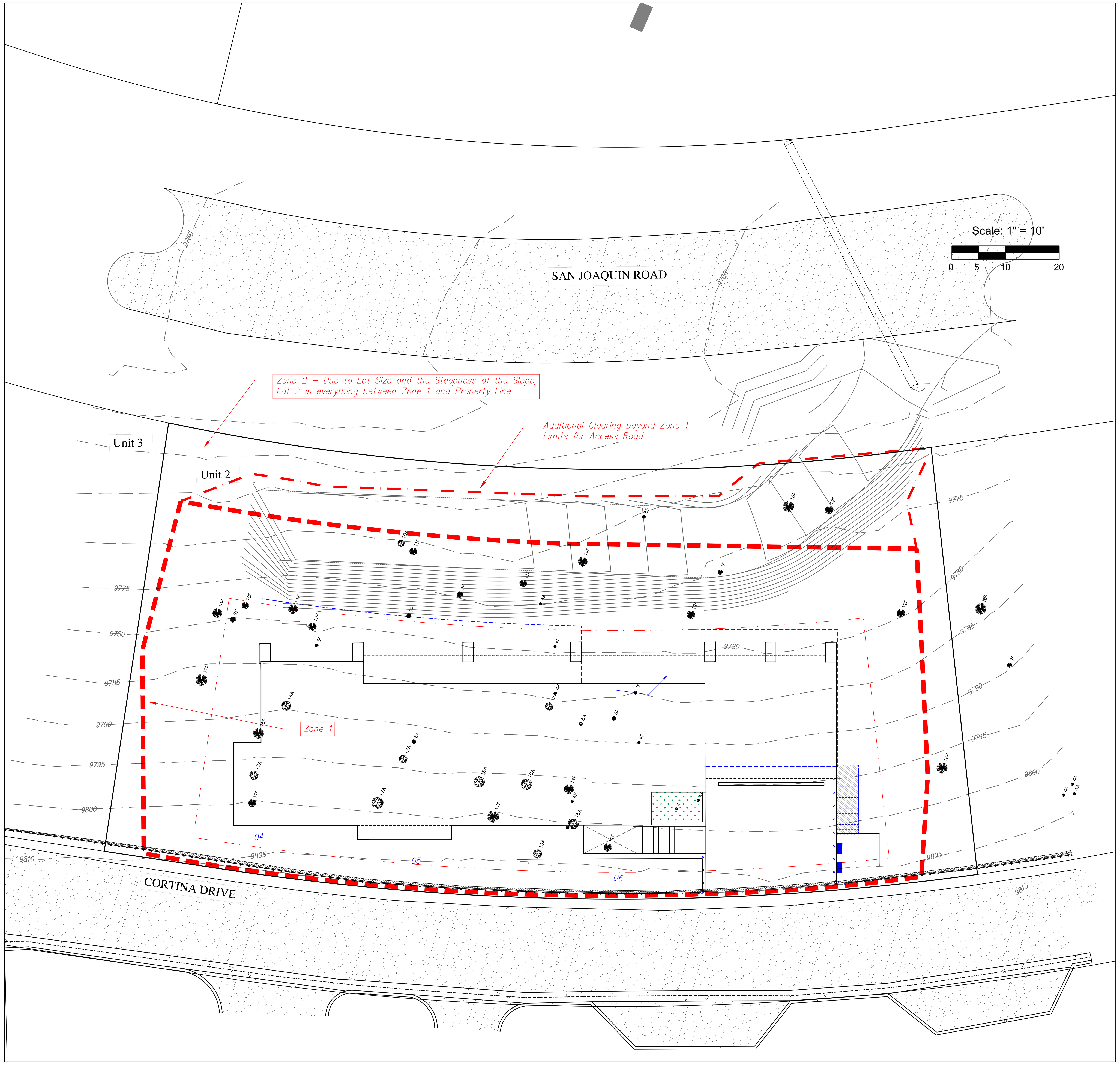
iii. Up to ten (10) cubic feet of outdoor firewood storage may be located in Zone 1 or Zone 2.

iv. Outdoor firewood storage larger than ten (10) cubic feet shall have a minimum thirty foot (30') distance from the structure.

v. Outdoor firewood storage shall be screened from view from surrounding lots

F. Prior to the issuance of any certificate of occupancy or certificated of completion, staff shall inspect the lot affected by the fire mitigation plan to ensure that such plan has been implemented in accordance with the approved wildfire mitigation plan.

G. The wildfire mitigation plan shall be maintained by the lot owner as required by this section.



Uncompahgre Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2024-03-19

Cortina, Unit 2
Cortina Drive
Mtn.Village, CO

NOT FOR CONSTRUCTION

COLORADO LICENSED PROFESSIONAL ENGINEER 03-19-24

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Fire Mitigation

C5

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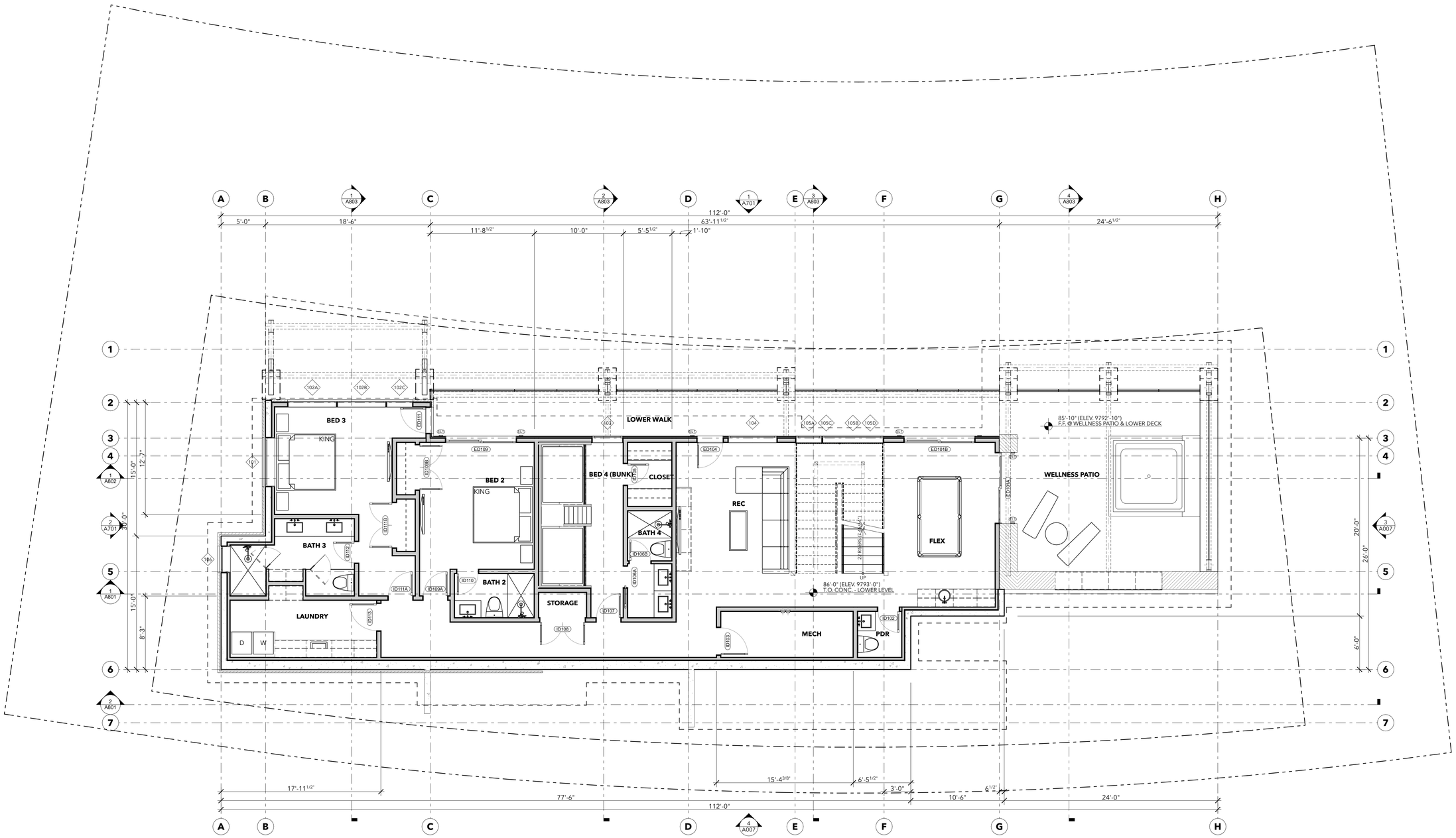

LOWER LEVEL
SCALE: 3/16" = 1'-0"
0 4' 8' 12'

1

120 CORTINA RESIDENCE

120 Cortina Drive
Mountain Village, CO 81435

NOT FOR CONSTRUCTION

ID	ISSUE	DATE
01	HOA / SD	02.16.2024
02	TOMV Prelim.	04.08.2024
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PRINTED 4/25/24

SHEET TITLE

LOWER LEVEL PLAN

A601

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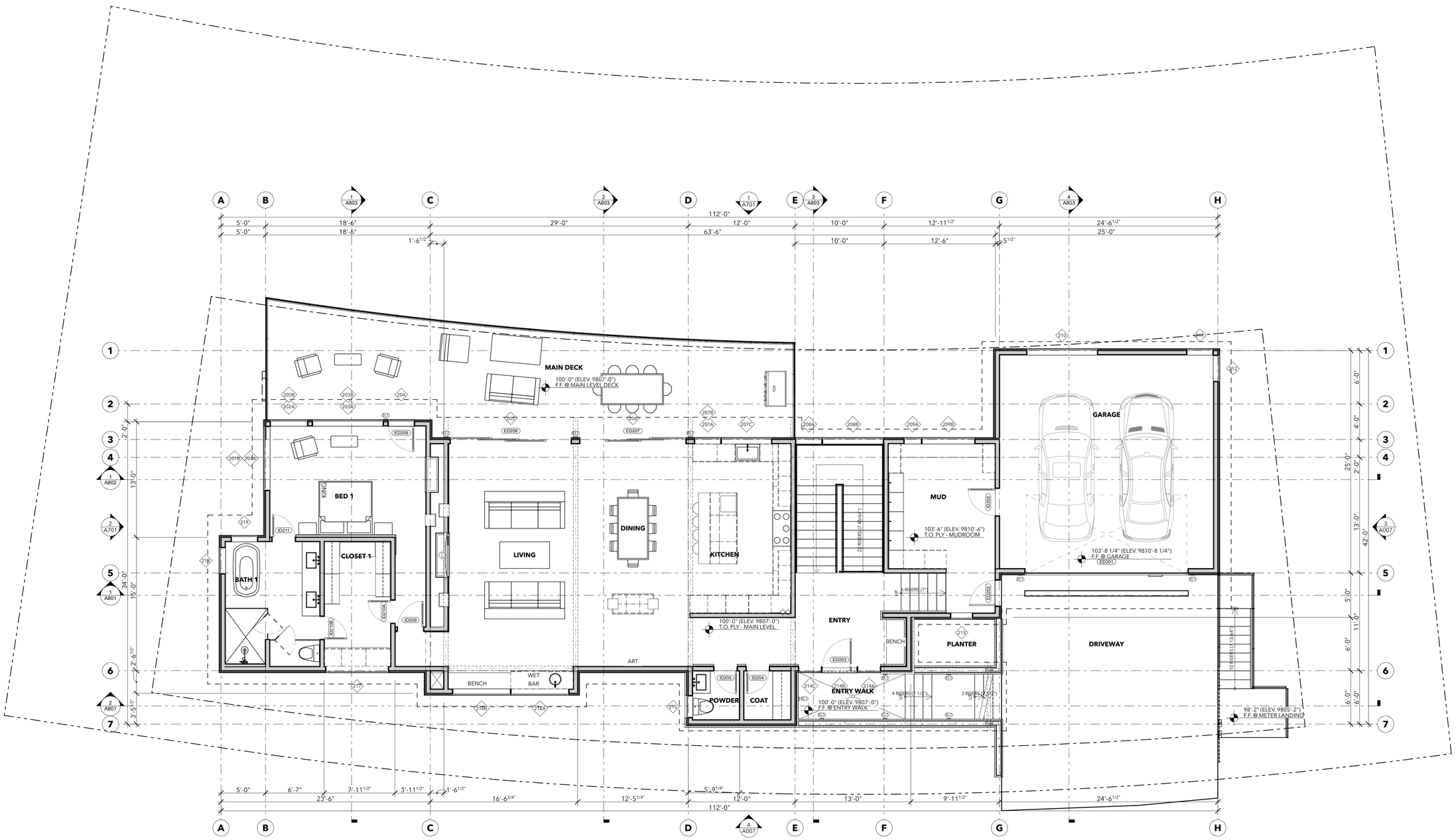
120 CORTINA RESIDENCE

120 Cortina Drive
Mountain Village, CO 81435



MAIN LEVEL
SCALE: 3/16" = 1'-0"

0 4' 8' 12'

1

N

NOT FOR CONSTRUCTION

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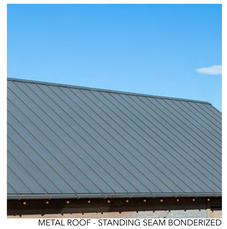
SHEET TITLE

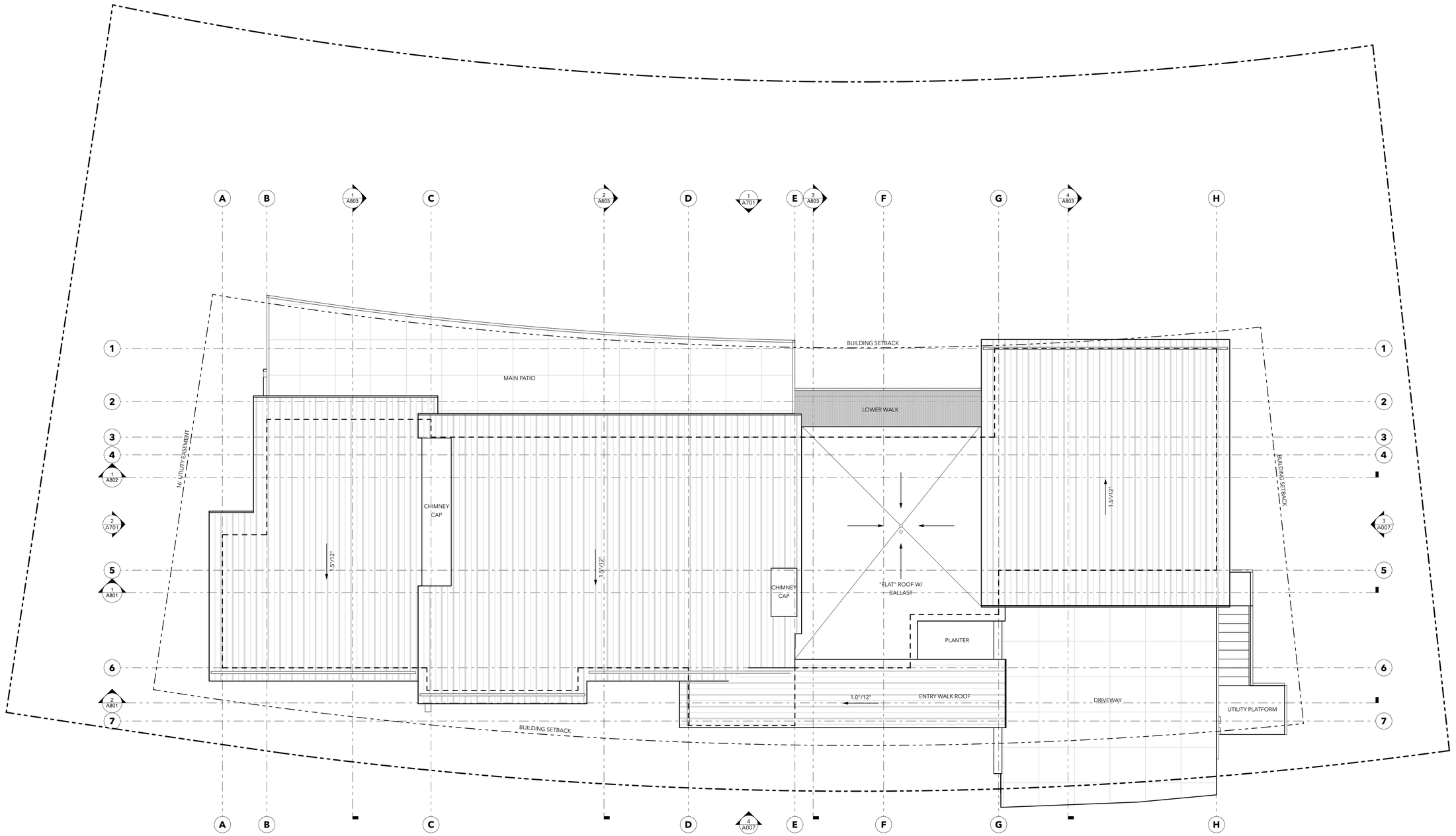
MAIN LEVEL PLAN

A602



METAL ROOF - STANDING SEAM BONDERIZED

ROOF BALLAST - MEXICAN BEACH PEBBLES



ROOF PLAN

SCALE: 3/16" = 1'-0"

0 4' 8' 12'

1

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120 CORTINA RESIDENCE

120 Cortina Drive
Mountain Village, CO 81435

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SHEET TITLE

ROOF PLAN

A603

ELEVATION MATERIAL LEGEND

- WOOD/METAL FASCIA
- METAL PANEL
- WOOD SIDING
- MASONRY VENEER

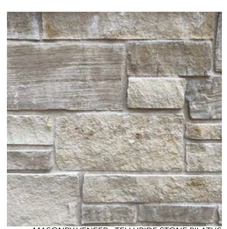
GENERAL NOTES

1) (03) INDICATES DOOR, SEE DOOR SCHEDULE ON A601
2) (A) INDICATES WINDOW, SEE WINDOW SCHEDULE ON A601

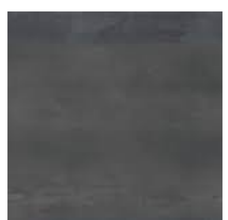
METAL FASCIA - BERRIDGE CHARCOAL GREY

WOOD SIDING - ACCOYA ROUGH SAWN 3.0 | SADDLE

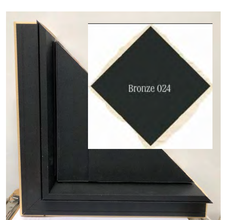
METAL PANEL SIDING - FLATLOCK BONDERIZED



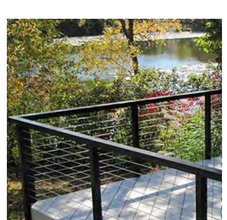
MASONRY VENEER - TELLURIDE STONE PILATUS



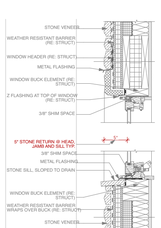
STEEL ACCENTS - RAW PATINA



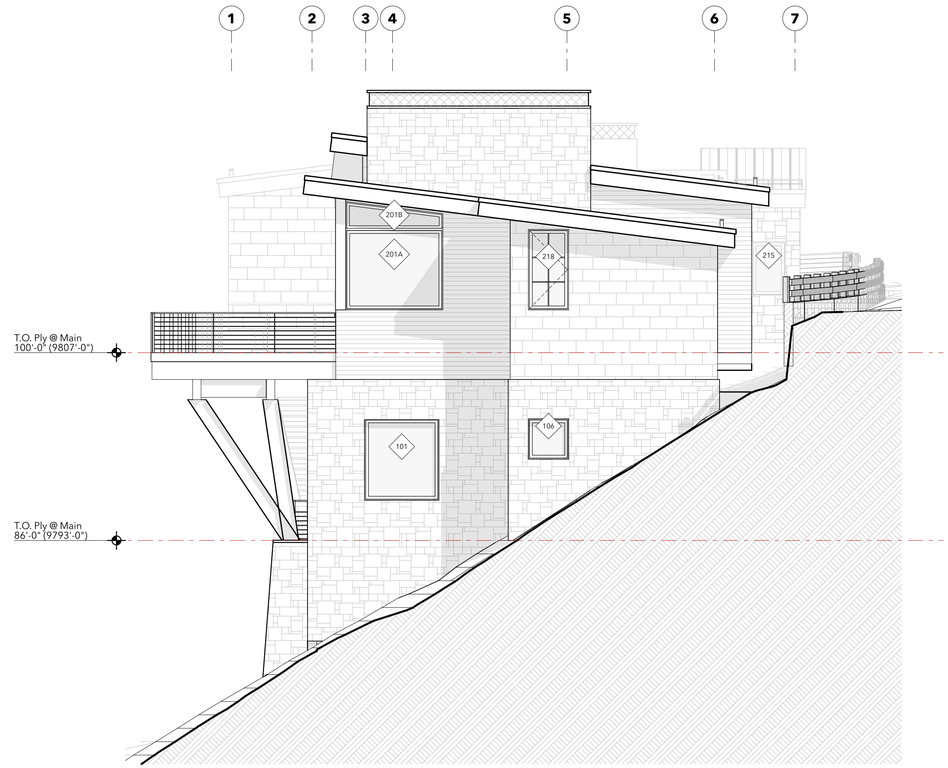
WINDOW \ DOOR - ALUMINIUM CLAD



RAILING - METAL CABEL WITH STEEL SUPPORTS



FENESTRATION @ MASONRY VENEER

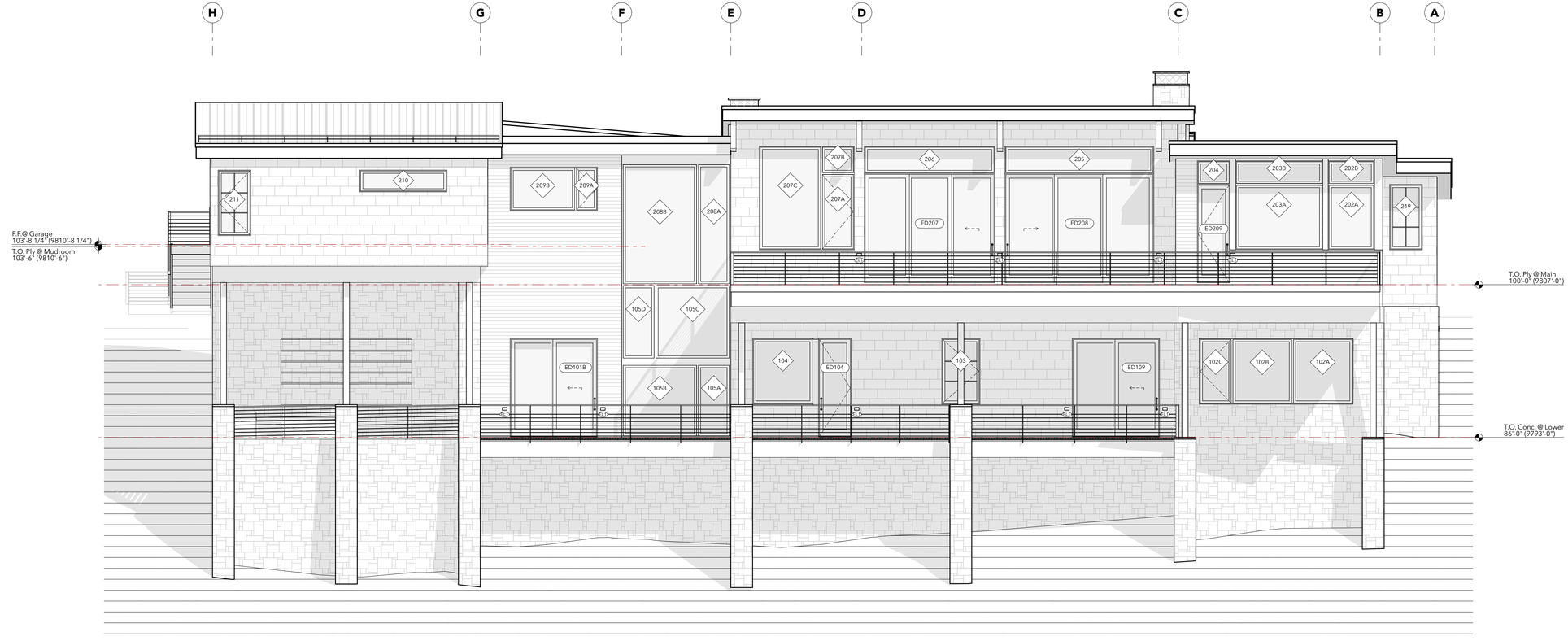


ELEVATION NORTH

SCALE: 3/16" = 1'-0"

0 4' 8' 12'

2



ELEVATION EAST

SCALE: 3/16" = 1'-0"

0 4' 8' 12'

1

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120 CORTINA RESIDENCE

120 Cortina Drive
Mountain Village, CO 81435

NOT FOR CONSTRUCTION

ID	ISSUE	DATE
01	HOA / SD	02.16.2024
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SHEET TITLE

ELEVATIONS

A701

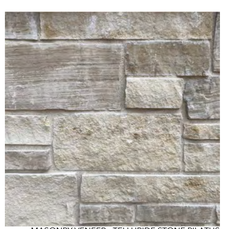
ELEVATION MATERIAL LEGEND

- WOOD/METAL FASCIA
- METAL PANEL
- WOOD SIDING
- MASONRY VENEER


METAL FASCIA - BERRIDGE CHARCOAL GREY

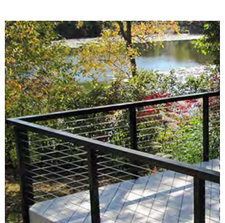

WOOD SIDING - ACCOYA ROUGH SAWN 3.0 | SADDLE


METAL PANEL SIDING - FLATLOCK BONDERIZED


MASONRY VENEER - TELLURIDE STONE PILATUS

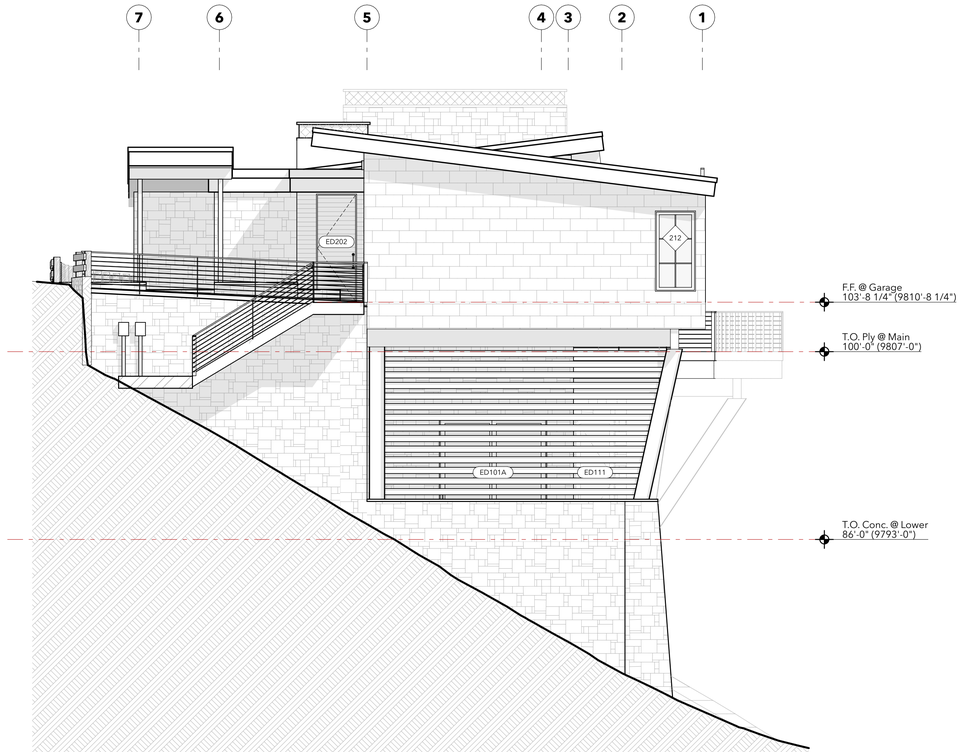

STEEL ACCENTS - RAW PATINA

WINDOW \ DOOR - ALUMINIUM CLAD


RAILING - METAL CABEL WITH STEEL SUPPORTS

GENERAL NOTES

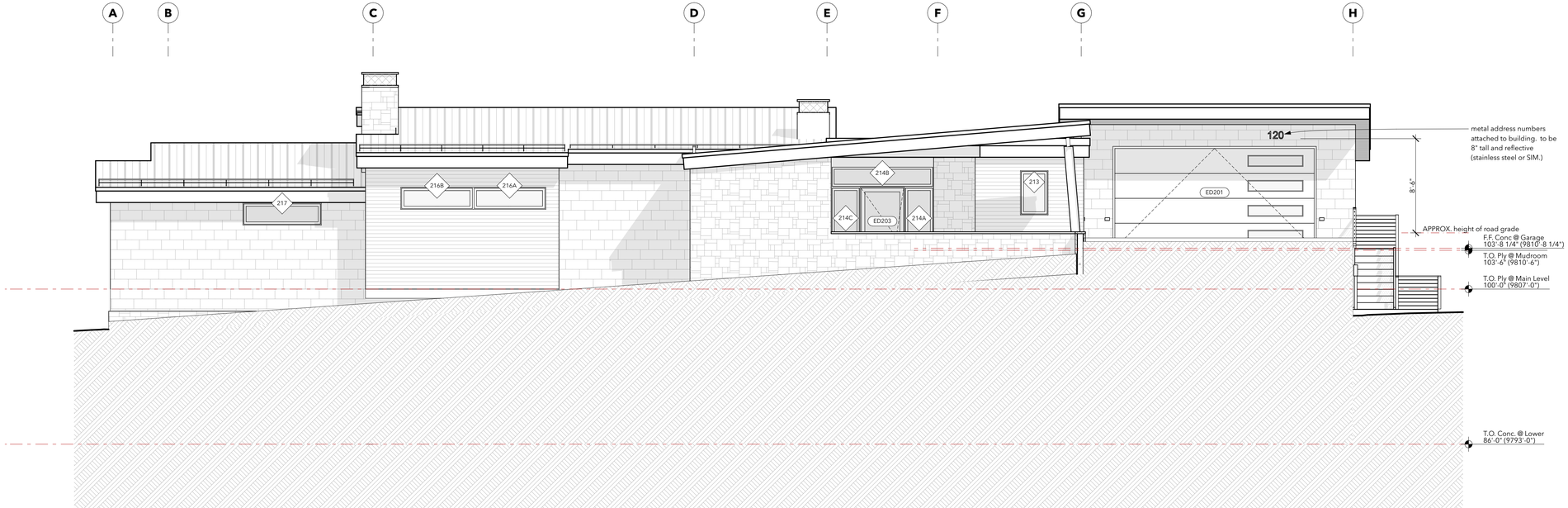
1) (03) INDICATES DOOR, SEE DOOR SCHEDULE ON A601
2) (A) INDICATES WINDOW, SEE WINDOW SCHEDULE ON A601



ELEVATION SOUTH 1

SCALE: 3/16" = 1'-0"

0 4' 8' 12'



ELEVATION WEST 2

SCALE: 3/16" = 1'-0"

0 4' 8' 12'

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120 CORTINA RESIDENCE

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SHEET TITLE

ELEVATIONS

A702

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SW 3D **1**

NW 3D **2**

NE 3D **3**

SE 3D **4**

3D RENDERING NOTES
Shown for context and character only, RE: Plans, Elevations, Sections, Assemblies and Details for further information.

120 CORTINA RESIDENCE

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Mountain Village, CO 81435

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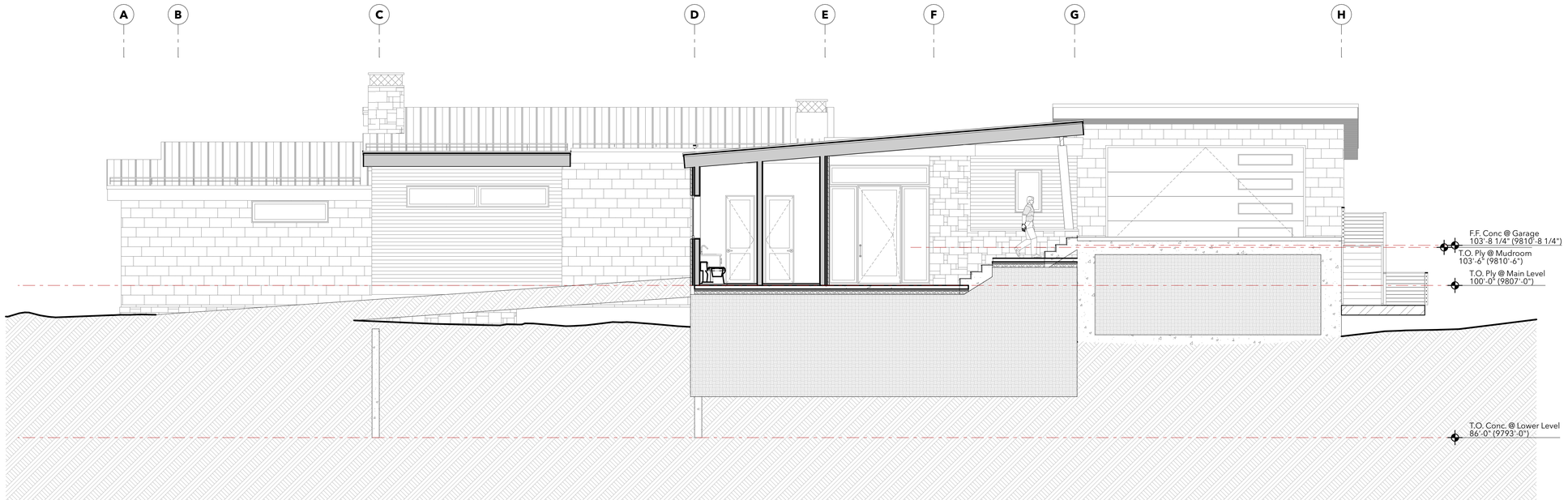
SHEET TITLE

3D VIEWS

A703

GENERAL NOTES

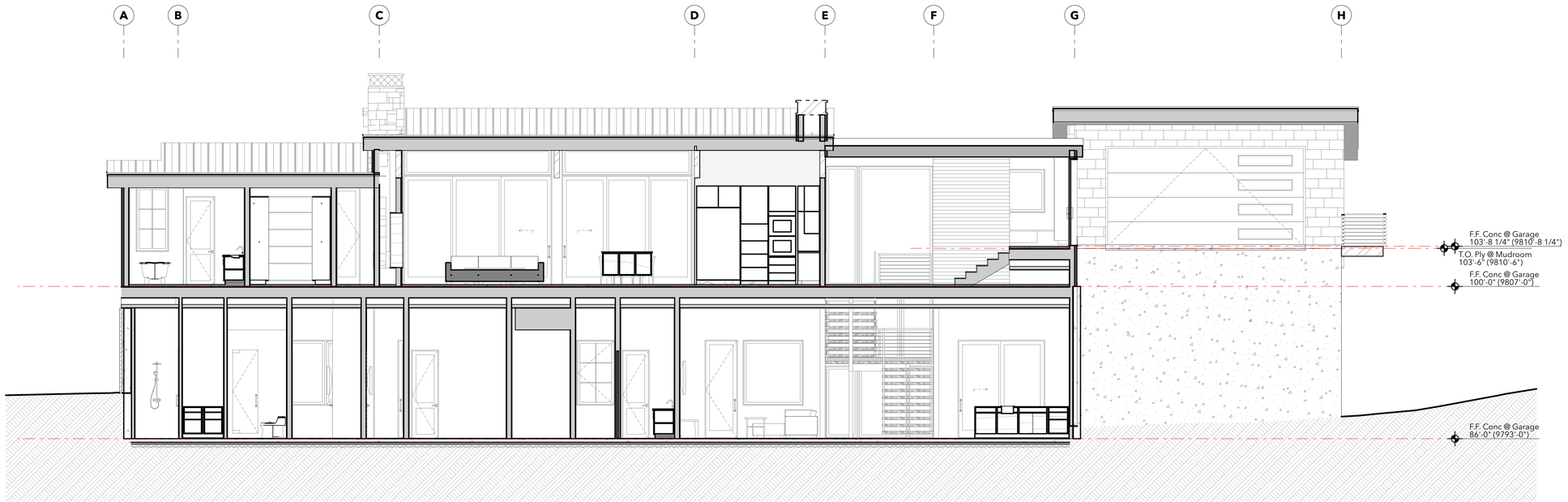
1) W1 — INDICATES WALL ASSEMBLY, SEE WALL ASSEMBLIES ON A601



East Section @ Entry **2**

SCALE: 3/16" = 1'-0"

0 4' 8' 12'



East Section @ Short Stair **1**

SCALE: 3/16" = 1'-0"

0 4' 8' 12'

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SHEET TITLE

BUILDING SECTIONS

A801

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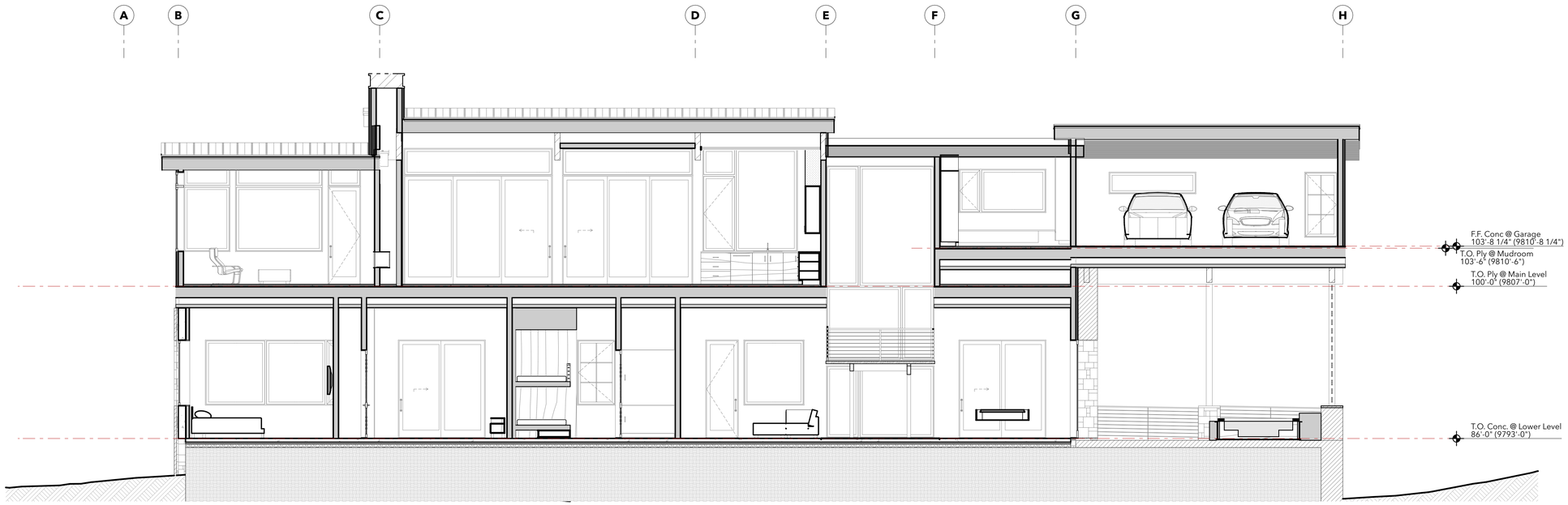
120 CORTINA RESIDENCE

120 Cortina Drive
Mountain Village, CO 81435



East Section @ Garage 1

SCALE: 3/16" = 1'-0"

0 4' 8' 12'

NOT FOR CONSTRUCTION

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01	HOA / SD	02.16.2024
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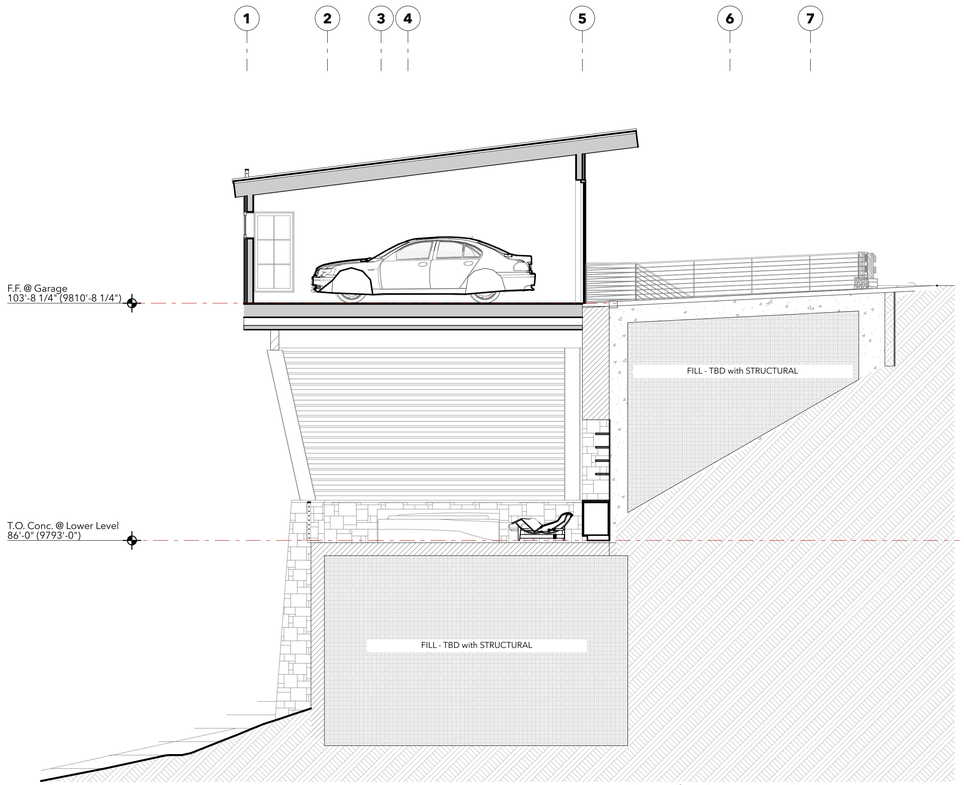
SHEET TITLE

BUILDING SECTIONS

A802

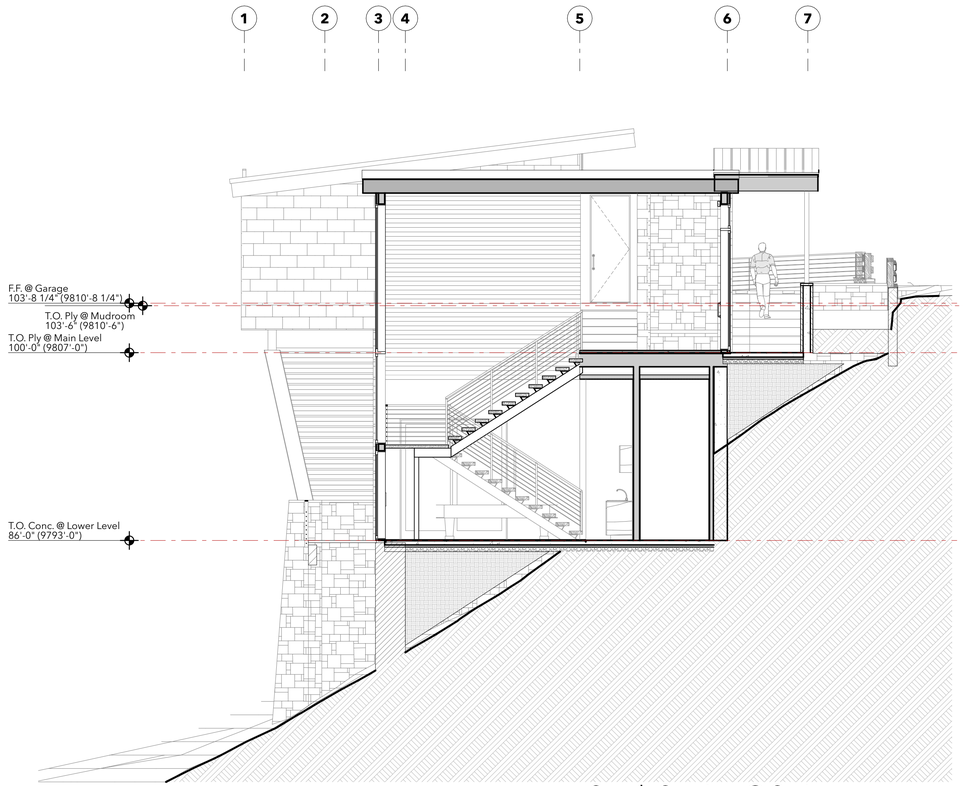


South Section @ Garage

SCALE: 3/16" = 1'-0"

0 4' 8' 12'

4

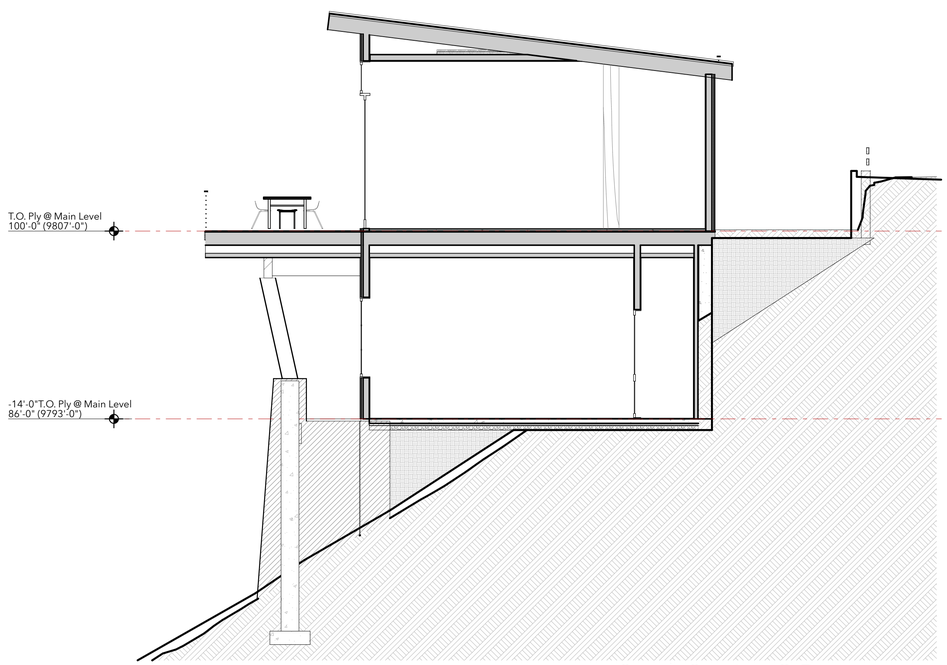


South Section @ Stair

SCALE: 3/16" = 1'-0"

0 4' 8' 12'

3

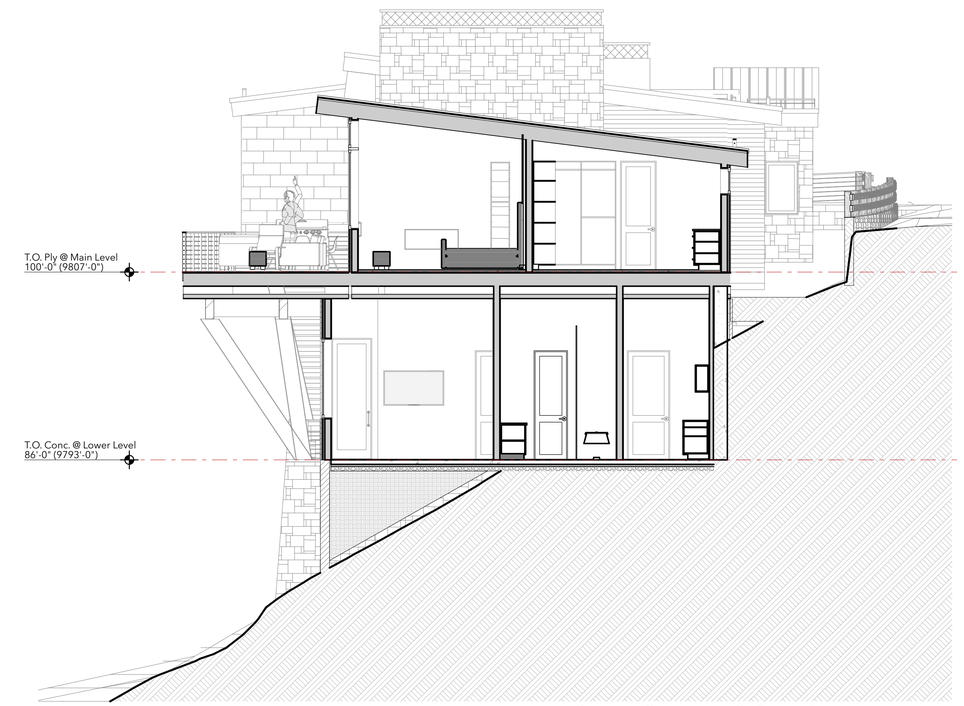


South Section @ Dining

SCALE: 3/16" = 1'-0"

0 4' 8' 12'

2



South Section @ Bed 1

SCALE: 3/16" = 1'-0"

0 4' 8' 12'

1

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120 CORTINA RESIDENCE

120 Cortina Drive
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SHEET TITLE

BUILDING SECTIONS

A803

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DOOR SCHEDULE

ID	ED101A	ED101B	ED104	ED109	ED111	ED201	ED202	ED203	ED207	ED208	ED209
QTY	1	1	1	1	1	1	1	1	1	1	1
ELEV											
W x H	8'-0"×9'-0"	8'-0"×9'-0"	3'-0"×9'-0"	8'-0"×9'-0"	3'-0"×9'-0"	18'-0"×9'-0"	3'-0"×8'-0"	4'-0"×9'-0"	11'-11 3/4"×10'-0"	13'-7 3/4"×10'-0"	3'-0"×9'-0"
MAT.											
TYPE											
NOTES							clad with siding from host wall				

ID	ID102	ID103	ID105	ID106A	ID106B	ID107	ID108	ID109A	ID109B	ID110	ID111A	ID111B	ID112	ID113	ID202	ID204	ID205	ID209	ID210A	ID210B	ID211
QTY	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
ELEV																					
W x H	2'-4"×8'-0"	3'-0"×8'-0"	2'-4"×8'-0"	2'-4"×8'-0"	2'-4"×8'-0"	2'-8"×8'-0"	5'-0"×8'-0"	2'-8"×8'-0"	5'-0"×8'-0"	2'-4"×8'-0"	2'-8"×8'-0"	5'-0"×8'-0"	2'-4"×8'-0"	3'-0"×8'-0"	3'-0"×8'-0"	2'-6"×8'-0"	2'-6"×8'-0"	2'-10"×8'-0"	2'-6"×8'-0"	2'-6"×8'-0"	2'-6"×8'-0"
MAT.																					
TYPE																					
NOTES																					

WINDOW SCHEDULE

ID	101	102A	102B	102C	103	104	105A	105B	105C	105D	106	201A	201B	202A
QTY	1	1	1	1	1	1	1	1	1	1	1	1	1	1
ELEV														
W x H	5'-6 1/2"×6'-…	5'-6 1/2"×6…	5'-6 1/2"×6…	3'-0"×6'-0"	3'-6"×6'-0"	5'-6 1/2"×6…	3'-0"×6'-7…	6'-10 3/4"×6'-…	6'-10 3/4"×6'-…	3'-0"×6'-9…	3'-0"×3'-0"	7'-2 7/8"×6'-0"	7'-2 7/8"×2'-1"	4'-2 7/8"×6…
TYPE	W Fixed 26	W Fixed 26	W Fixed 26	W1 Casement 26	W1 Casement 26	W Fixed 26	W Fixed 26	W Fixed 26	W Fixed 26	W Fixed 26	W Fixed 26	W Fixed 26	W Trapezoid Fixed 26	W Fixed 26
NOTES														

ID	202B	203A	203B	204	205	206	207A	207B	207C	208A	208B	209A	209B
QTY	1	1	1	1	1	1	1	1	1	1	1	1	1
ELEV													
W x H	4'-2 7/8"×2…	8'-0"×6'-0"	8'-0"×2'-2"	3'-0"×2'-2"	13'-7 3/4"×2'-6"	11'-11 3/4"×2'-6"	3'-0"×7'-0"	3'-0"×2'-6"	5'-8 1/2"×9…	3'-0"×11'-0 15…	6'-10 3/4"×11'-0 1…	2'-0"×4'-0"	6'-0"×4'-0"
TYPE	W Fixed 26	W Fixed 26	W Fixed 26	W Fixed 26	W Fixed 26	W Fixed 26	W1 Casement 26	W Fixed 26	W Fixed 26	W Fixed 26	W Fixed 26	W1 Casement 26	W Fixed 26
NOTES													

WINDOW SCHEDULE

ID	210	211	212	213	214A	214B	214C	215	216A	216B	217	218	219
QTY	1	1	1	1	1	1	1	1	1	1	1	1	1
ELEV													
W x H	8'-0"×2'-0"	3'-0"×6'-0"	3'-0"×6'-0"	2'-6"×4'-0"	2'-7 1/2"×9…	9'-3"×1'-10 3/4"	2'-7 1/2"×9…	2'-6"×4'-0"	6'-6 5/8"×2…	6'-6 5/8"×2…	7'-1 1/16"×2…	3'-0"×6'-0"	3'-0"×6'-0"
TYPE	W Fixed 26	W1 Casement 26	W Fixed 26	W Fixed 26	W Fixed 26	W Fixed 26	W Fixed 26	W Fixed 26	W Fixed 26	W Fixed 26	W Fixed 26	W1 Casement 26	W Fixed 26
NOTES													

DOOR & WINDOW NOTES

1) SEE PLAN & ELEVATIONS FOR DOOR/ WINDOW UNIT OPERATION & SWINGS

2) ALL NEW GLAZING TO BE LOW E- GLASS. MINIMUM INSULATION VALUE OF U=.30 PER 2018 IECC REQUIREMENTS FOR CLIMATE ZONE 6B.
(OR AS SPECIFIED IN HERS ENERGY REPORT)
VERIFY

3) SAFETY GLAZING TO BE INSTALLED PER IRC R308.4. SEE ELEVATIONS FOR SAFETY GLAZING (SG) LOCATIONS.

4) WINDOW MANUFACTURER TO PROVIDE SCREENS FOR ALL OPERABLE WINDOWS. DOOR MANUFACTURER TO PROVIDED SCREENS FOR ALL PROVIDED EXTERIOR DOORS.

5) WINDOW/ DOOR MULLIONS PER ELEVATIONS/ SCHEDULE.

6) ALUMINUM CLAD DOOR & WINDOW UNITS FINISH COLOR TO BE DARK BRONZE. VERIFY

7) ARCHITECTURAL INTENT ONLY. DIMENSIONS TO BE VERIFIED WITH DETAILS. SAFETY GLAZING AND OPERATIONAL LIMITERS TO BE REVIEWED. ALL INSULATED AND SOLAR HEAT GAIN RATINGS TO BE COORDINATED WITH ENERGY CODE AND VERIFIED FOR COMPLIANCE.

120 CORTINA RESIDENCE

120 Cortina Drive
Mountain Village, CO 81435

NOT FOR CONSTRUCTION

ID	ISSUE	DATE
01	HOA / SD	02.16.2024
02	TOMV Prelim.	04.08.2024
03		
04		
05		
06		
07		
08		
09		
10		
11		
12		
13		
14		
15		

PRINTED 4/25/24

SHEET TITLE

DOOR & WINDOW SCHEDULE

A901

DEVELOPMENT REFERRAL FORM

Planning & Development Services
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

Referral Agency Comments
Lot 165 Unit 2, TBD Cortina Drive, Multi-Family Development

TFPD approval with the following conditions:

1) The structure shall be in accordance with the 2018 IFC, TFPD Amended Fire Code, and NFPA Standards for a Group R-3 occupancy.
2) A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.
3) An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.
4) Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
5) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
6) Electric vehicle charging stations/outlets shall be installed in accordance with the TFPD Amended Fire Code and NFPA 70.
7) A Knox box is recommended at the main entrance on the address side for emergency access.

Forester:
This plan does not show which trees will be retained and which trees will be removed (which is required by the CDC). In looking at the plan, it appears that all the trees will be removed for the project.

The plans will need a landscape plan that shows many trees being planted to make up for the removal of all the trees on the lot. The zone 1 fire mitigation area will not have many trees planted in it (unless they are a firewise plant and the canopies will remain at least 10 feet away from the building (including decks, etc). However, there is a good opportunity to plant several trees in zone 2 to create a separation between this development and the roadway below.

AGENDA ITEM 4
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: Drew Nelson, Senior Planner

FOR: Design Review Board Public Hearing: June 6, 2024

DATE: May 20, 2024

RE: Staff Memo – Final Architecture and Site Review (FAR) Lot 926R, 133 Sundance Lane, pursuant to CDC Section 17.4.11

APPLICATION OVERVIEW: New Single-Family Home and Accessory Dwelling Unit on Lot 926R

PROJECT GEOGRAPHY

Legal Description: LOT 926R, TELLURIDE MOUNTAIN VILLAGE, ACCORDING TO THE PLAT RECORDED DECEMBER 16, 1993 IN PLAT BOOK 1 AT PAGE 1616, COUNTY OF SAN MIGUEL, STATE OF COLORADO.
Address: 133 Sundance Lane
Applicant/Agent: Alpine Planning LLC
Owner: Lot 926R LLC
Zoning: Single-Family
Existing Use: Vacant

Proposed Use: Single-Family Residential/ Accessory Dwelling Unit (ADU)
Lot Size: 0.858
Adjacent Land Uses:

- **North**: Single-Family
- **East:** Single-Family
- **West:** Open Space
- **South:** Open Space

Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set
Exhibit B: Staff/Public Comments

Case Summary: Alpine Planning LLC is requesting Design Review Board (DRB) approval of a Final Architectural and Site Review (FAR) application for a new residence on Lot 926R, 133 Sundance Lane. The lot is 37,374 square feet and is zoned Single Family.

The lot has varied topography, with slopes over 30 percent in the eastern and western side of the site. The lot slopes from north to south. To the east of the lot, Sundance Lane slopes down from the north to south. The highest elevations in the site are adjacent to neighboring single family houses in the northern portions of the lot.

The proposal includes a single-family development with approximately 3,506.8 livable square feet for the primary home and 763.3 livable square feet for the ADU. The home is three stories with an attached garage. The primary structure faces south-west with the driveway to the south and ADU is located on the west side of the lot. The home is accessed from Sundance Lane to the east. The applicant proposes direct ski access to the adjacent Double Cabins Ski Run from the proposed ADU (also referred to as a "Ski Shack" in the application).

This application was originally heard by the DRB on March 7, 2024, which was a continuance from the December 2023 DRB meeting. The applicant has made a number of changes to the application since the IASR and previous FAR review, including:

- Removal of all building encroachments in the GE. This has resulted in an updated site plan and adjustments to architecture.
- The ski shack roof has been changed from a gable to a shed roof.
- The main home roof has been changed from a gable to a flat roof with a minor shed feature, and is now proposed to be a gray ballast roof membrane system.
- The Hilfiker retaining wall adjacent to the driveway has been changed to include a gray rubble stone veneer.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by*** *Italicized Text.*

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

CDC Provision	**Requirement**	**Proposed**
Maximum Building Height	35' for Shed	Primary: 33.92' (Shed) ADU: 27.70' (Shed)
Avg. Building Height	30' (Shed) Maximum	Primary: 26.59' (Flat) ADU: 19.69' (Shed)
Maximum Lot Coverage	40% (14,949.79 sq ft)	14.2% (5,317.6 sq ft)
General Easement Setbacks	No encroachment	Encroachments in the GE
Roof Pitch		
Primary		Primary: Flat - ¼" / 12" ADU: 1¾" / 12"
Secondary		Primary: 1¾" / 12" ADU: N/A
Exterior Material		
Stone	35% minimum	41.53%
Windows/Door Glazing	40% maximum	19.91%
Wood	N/A	27.06%
Metal	N/A	10.22%
Boardform Concrete	N/A	1.27%
Parking	2 interior/2 exterior	Primary: 2 interior/ 2 exterior ADU: 1 interior / 2 exterior

DRB Specific Approvals:

1. Parking - Tandem Parking (1 Space for Primary Structure)
2. Materials – Gray Ballast/Membrane Roofing Materials
3. Materials – Boardform Concrete
4. General Easement Encroachment – Retaining Walls

DRB Design Variation:

1. Road and Driveway Standards – Driveway Width
2. Lighting - Outdoor Living Spaces
3. Roof Form – Primary Flat Roof

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.4 Specific Zone District Requirements

Section 17.3.4.F specifies that lots in the single-family zone district may be used for one single-family dwelling unit and one accessory dwelling unit. Because the primary structure is under 4,000 square feet, the ADU shall not exceed 800 square feet. For lots that are larger than 0.75 acres, the ADU is allowed to be detached from the primary structure. The ADU is subject to the same design requirements as the primary structure. Per section 17.3.4.F.5.h, the ADU shall not be used as short-term accommodation. As defined in Chapter 17.8, a short-term accommodation is, "a building or any unit within a building may only be rented, leased or occupied for a period of less than thirty (30) consecutive days by any occupant (that is, any length of time between one (1) and twenty-nine (29) consecutive days) and not as a primary residence."

Staff: The ADU is proposed to be 763.3 square feet of livable floor area which meets the size requirement of the CDC. It should be noted that the proposed ADU includes a significant amount of storage in the basement, which was not included in the calculation of livable square footage and presents the total size of the ADU as larger than just the living area plus a garage. A small amount of storage associated with a garage space has generally been accepted as "garage" on other projects; however, the DRB should discuss whether this additional storage space is in excess of what is approvable given the square footage restrictions. Staff recommends that any approval of the ADU be conditioned that at no time shall there be a conversion into livable space of the storage area located on the garage level of the ADU.

17.3.11 and 17.3.12: Building Height and Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates primarily shed roof forms. Homes with a primary shed roof form are allowed a maximum building height of 35 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive. Chimneys, flues, vents, or similar structures may extend up to 5 feet above the specified maximum height.

Staff: Staff have determined that the primary roof form for the proposed structures is flat and therefore granted a maximum height of 35' and an average height of 30'. According to Sheet A1.5 and A1.6 of Exhibit A, the applicant has calculated a maximum height of 33.92' and an average height of 26.59' for the main structure and a maximum height of

27.7' and an average height of 19.69' for the ADU. Due to the primary structure having a flat roof, a design variation is required to be approved by the DRB.

The proposed site has a combination of shed and flat roof for the main structure and one shed roof for ADU. The applicant has provided elevations showing the required 35-foot offset from the proposed grades. There are a number of chimneys on the structure, which are permitted over the allowed heights. However, their height is below 40' height.

Figures 2-5 below display the elevations of the structures in relation to the height calculations.

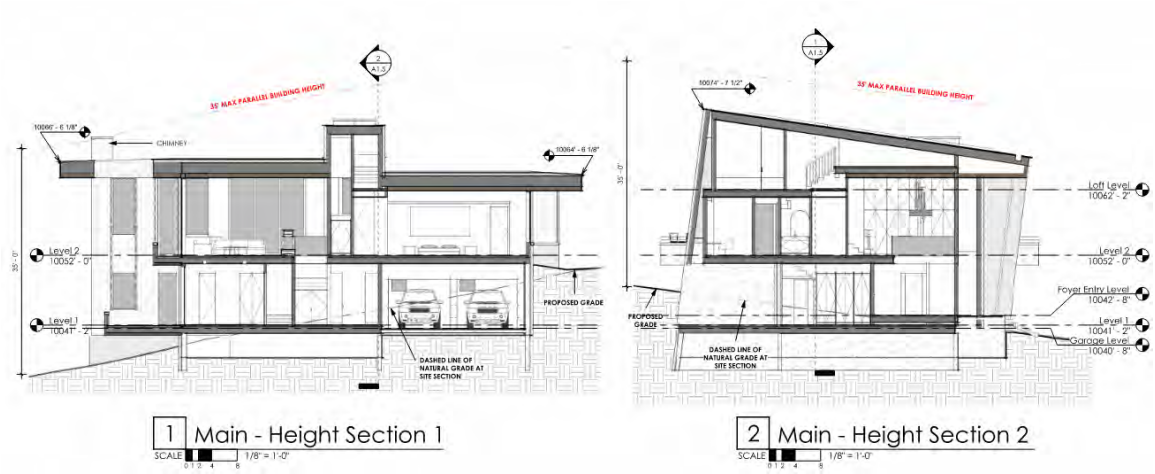

Figure 2 Main Structure – Height

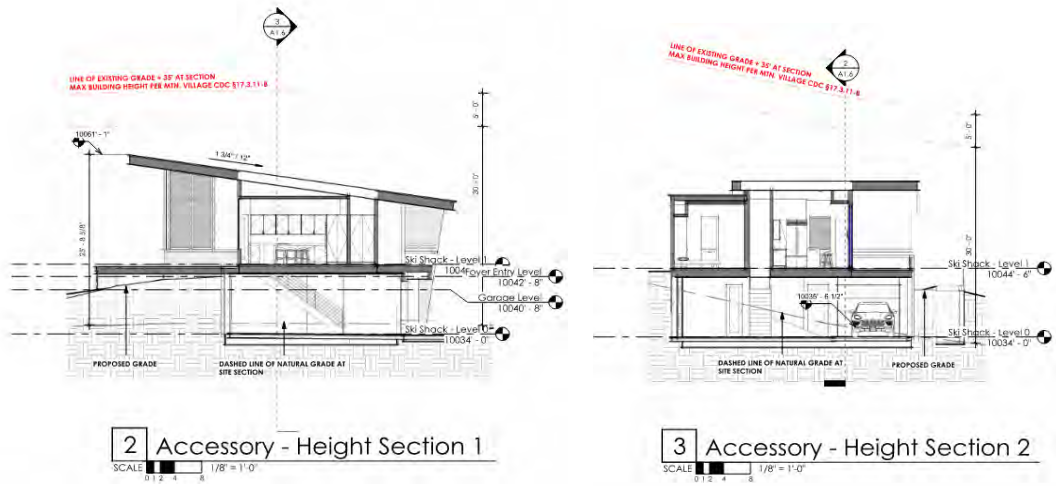

Figure 3 Ski Shack – Height

17.3.13 Maximum Lot Coverage

Staff: The CDC states the maximum lot coverage for single-family homes with lots under one acre is 40 percent. On this site, with a lot area of 37,374.48 square feet the maximum allowable site coverage is 14,949.79 square feet. The applicant proposes a lot of coverage of 5,317.6 square feet (14.2%). The proposed lot coverage calculation on page A0.12 states the lot coverage includes the residence and ADU to roof overhand drip line, the shed roof, and lower-level patio. It appears there is a modest patio to the east, north, and south side of the primary structure.

17.3.14: General Easement Setbacks
The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as driveways, ski access, natural landscaping, utilities, address monuments, and fire mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: Lot 926R has a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The driveway and the associated retaining wall and boulder tree well are proposed to cross the southern GE to provide access from Sundance Lane. The driveway and associated retaining walls continue onto privately owned access tract SJV-3. There is an access easement in place with the landowner for this proposed drive.*

- *Retaining walls and Grading- Ski access: Ski access is proposed to cross the western GE to provide access from/to the ski run. It also continues onto OSP-24R. The applicant has removed proposed retaining walls from OSP-24R and redesigned grading to reduce retaining wall heights. These walls (and a handrail associated with the wall adjacent to the ski shack) encroach into the General Easement and require a Specific Approval.*

- *Address monument: The address monument is proposed to be located within the south-eastern part of the General Easement.*

- *Utilities: There is an existing fire hydrant on the east side of the GE area. To provide sewer, water, and gas access to the property, the line is proposed to run along the south, within the adjacent Open Space Tract SJV-3 and subject to the encroachment agreement mentioned above. Also, the proposed sewer line encroaches into the right of way of Sundance Lane.*

Additionally, the existing conditions survey notes an earthworks easement to the east of the proposed homesite. The applicant has indicated that there is no development or activity anticipated in this easement, however a condition of approval ensuring this is included.

Any development within the General Easement or road right of way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.

Chapter 17.5: DESIGN REGULATIONS
17.5.4: Town Design Theme
The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The site slopes downward from north to south, with slopes that exceed 30 percent in north-eastern corner and western areas of the site. The massing aligns with the natural topography, building the home to mimic the slope; the home reads as a two-story building when viewed from the highest portion of the site (north) and as a three-story building when viewed from the lowest portion of the site (south). The ADU reads as a two-story building from the east and north, and a one-story from the west and south.

The materials chosen are a combination of stone, boardform concrete, wood, and metal, based on Sheet A3.0a and A3.0b which should create an exterior capable of withstanding the high alpine environment. The use of gray ballast membrane roof on the flat roof requires a Specific Approval for the materials, and a Design Variation for the flat roof.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

Staff: The lot does not have ponds, streams, or wetlands. The applicant proposes to build retaining walls around the driveway and ski access.

The CDC requires site plans to provide a snow shed and storage plan for roofs, walkways and drives. The applicant indicates all snow shedding is mitigated by roof snow fences and heated gutter routed to the site drywells and any additional snow that does not fit onsite will be transported off-site. However, the applicant does not indicate a line of snowmelt at the main house, which runs perpendicular to the slope and located relatively upslope compared to other portions of the development. The applicant calculates total snowmelt as 995.1 sqft.

The applicant provided a site grading plan shown on Sheet C2.2. The sheet includes proposed grading and retaining walls measuring 6 feet in height on the property for ski access, as well a stone-clad Hilfiker retaining wall for the driveway not to exceed 5 feet in height, with a guardrail adjacent to the maintenance access for safety purposes.

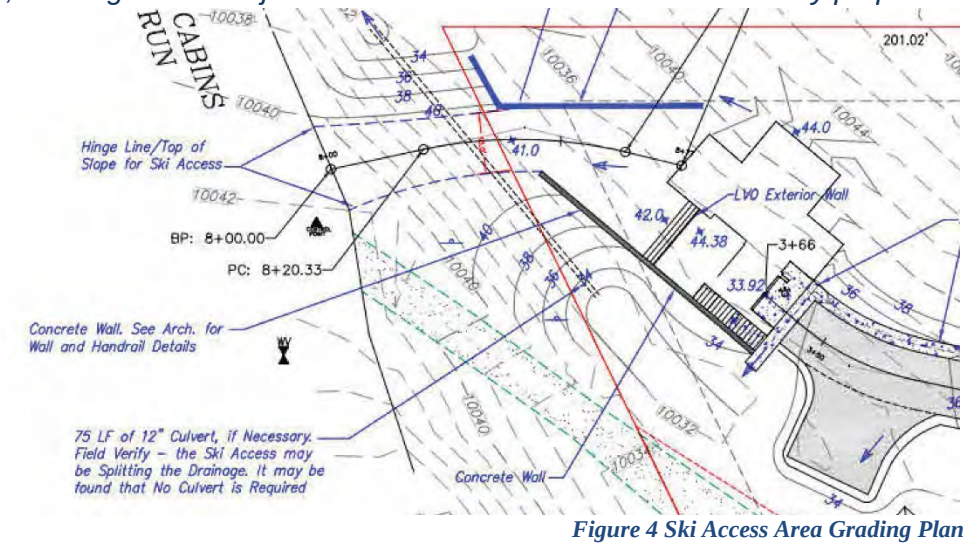

Figure 4 Ski Access Area Grading Plan

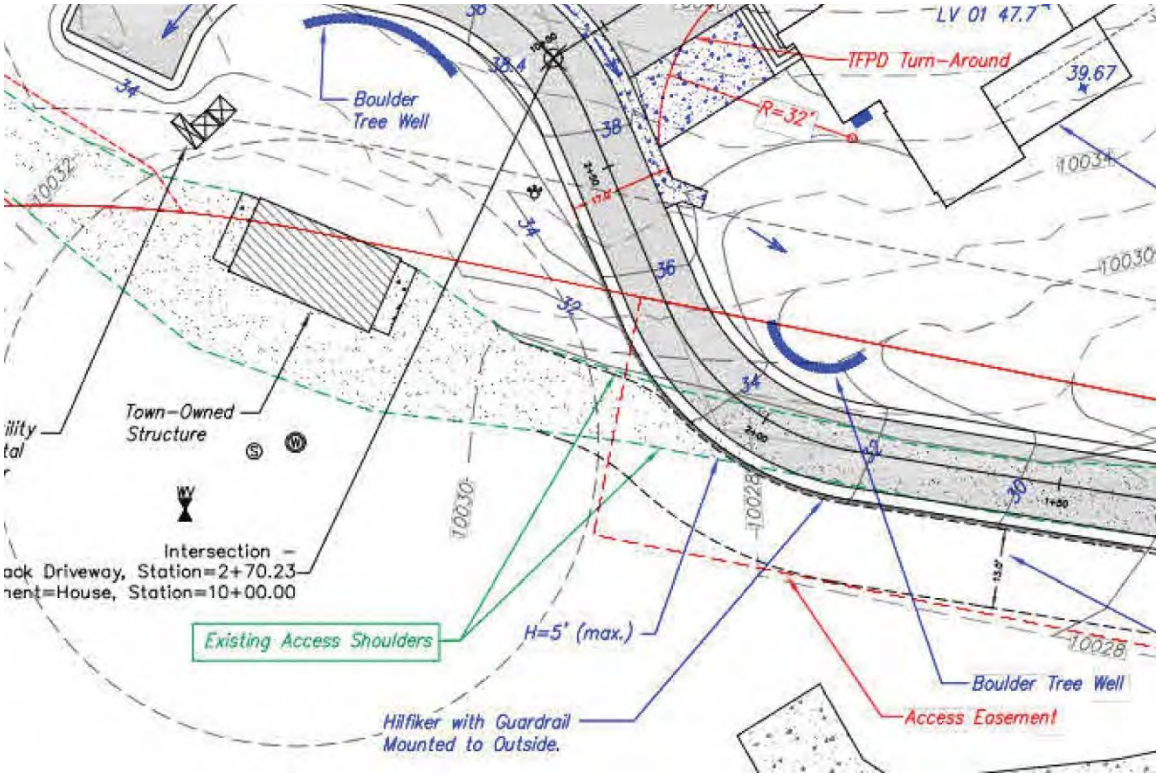

Figure 5 Driveway Retaining Wall

17.5.6: Building Design

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. Roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation is required. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

Staff: Staff comments regarding each of the relevant subsections are below.

Building Form:

The form of the proposed residential structure and ADU follow an alpine mountain design that is grounded to withstand the forces of wind, snow, and heavy rain. The proposed use of vertical coursing stone at the base of the structure along with the use of vertical wood siding at the upper levels reinforces this design.

Exterior Wall Form:

The proposed development has exterior walls that are relatively simple in design and portray a massing that is substantially grounded to the site. This is reinforced using vertical coursing stone materials along the base of the building. Additionally, there are patios on the first and second levels of the building.

Roof Form:
The roof design is a shed roof form for the ADU and a combination of flat and shed roof for the main house. There is a significant portion of the primary structure with a flat roof. The roofs have snow fences and heated gutter routed to the site drywells. The applicant has identified snow fences and heated gutters associated with the roof. The applicant does not indicate the use of drains or integral guttering system.

The roof material is proposed to be gray ballast stone over an EPDM roof for much of the primary structure, requiring a Specific Approval from the DRB. However, the applicant requests the use of charcoal gray EPDM roofing for the flat roof of the main structure which requires a Specific Approval. The remaining roof material for the primary structure and the ADU is proposed as standing seam bonderized metal in a matte light gray color.

Also, the applicant indicates the use of solar panels on the main structure, facing North-West.

Chimneys, Vent and Rooftop Equipment Design:
The applicant has identified a chimney. A fuel source has been identified as natural gas but the plan set appears to have a conflict with the chimney location and the interior fireplace location. The applicant has indicated that there is a flue proposed above the fireplace. According to CDC, a fireplace should have direct ventilation and this should be clarified prior to building permit.

Exterior Walls Materials and Color:
Sheets A3.0a, A3.0b, and A3.0c outline the materials, including stone, wood, steel, and glazing and the percentage of materials found on the main house the ADU. The exterior wall structure utilizes stone veneer, vertical wood siding, boardform concrete, and exposed structural steel. Stone walls account for approximately 41.53% of exterior materials for the main structure and ADU combined, not including the attached retaining walls, which meets the minimum percent stone requirement. Fenestration accounts for 19.91% of the exterior wall. The CDC requires the applicant provide "a narrative of the pattern, grout and block of the proposed stone and setting pattern" as a part of the Design Review Process application for approval by the review authority. The applicant has stated that the travertine stone will be 6' by 10' or smaller panels with no exposed mortar.

Glazing:
The CDC requires the window area of the structure to be maximum 40 percent of the total building façade area. Window and door glazing accounts for 19.91% of the exterior wall materials for the main house and ADU, which meets this requirement.

Doors and Entryways:
The door and window schedules are shown on Sheet A9.1 of Exhibit A. The detail of the window is also shown and is proposed to be Champagne in color. The door schedule is provided for exterior and interior doors with corresponding dimensions.

The CDC also requires that windows and doors in stone and stucco areas shall be recessed back from the face of the external material by a minimum of 5". The window detail on Sheet a9.1 indicates a 5" window recess as required by the CDC.

Decks and Balconies:
The proposed building contains one lower-level patio and three upper-level patios. These create variety and detail on the exterior elevations as outlined in the CDC. The design has been updated to avoid GE encroachment from IASR. The design of the ski access at the ski shack includes a retaining wall that integrates into the building made of boardform concrete, requiring a Specific Approval for the material.

Required Surveys and Inspections:
Since the proposed development has a structure, grading and hardscape improvements within five (5) feet or less from the general easement setback the CDC requires "the developer to submit a monumented land survey prepared by a Colorado public land surveyor to ensure there are no above-grade or below-grade encroachments into the general easement setback prior to the Building Division conducting the required footing or foundation inspection as applicable."

A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

17.5.7: Grading and Drainage Design
Staff: A grading plan is provided on Sheet C2.2. The site contains areas that are over 30% slope on the east-north side of the corner and western side of the site. Grading is proposed downslope from north to south, following the natural contours of the site.

Boulder walls are proposed on the north side of the ski access 6' in height with encroachment into the General Easement. There are also 2 boulder tree wells on the south side of the house – one located on the property and a second located on adjacent property by the driveway access. The heights are unknown and should be clarified by the applicant. As mentioned above, there is a retaining wall associated with the driveway which is 5' height and Hilfiker in material, with a gray stone veneer proposed. The proposed driveway plan is shown in Figure 5 from Sheet C2.2, illustrating the proposed driveway access, the location of the Hilfiker wall, and the reconfigured access to the maintenance building. The applicant shall be fully responsible for modifying and replacing the maintenance building access, and shall work with the Public Works Department on final design and installation of all retaining walls and access drives.

The plan indicates that all site drainage follows the natural topography from the north to the south and routed to the east and west drywells.

17.5.8: Parking Regulations
The CDC requires that Single-family zoning requires 2 enclosed spaces in garage and 2 surface parking spaces.

Staff: The site plan shows two enclosed interior parking spaces and two surface exterior parking spaces for the primary house. The exterior spaces are in the driveway in front of the garage. One of the exterior spaces is directly in front of the garage door and would need to be removed for a car to exit the garage. This would be considered tandem format parking and requires Specific Approval by the DRB.

The site plan also shows one enclosed interior parking space for the ADU. There is no stated parking requirement for an ADU in the CDC, however the DRB has the ability to determine a requirement if they feel it is necessary. Given the challenges with each exterior parking space listed above, the DRB should discuss their preferred parking arrangement. A minimum would be 4 spaces total, so the DRB should discuss what specific approvals (if any) they are comfortable with and the applicant should revise drawings as necessary to address the DRB's comments.

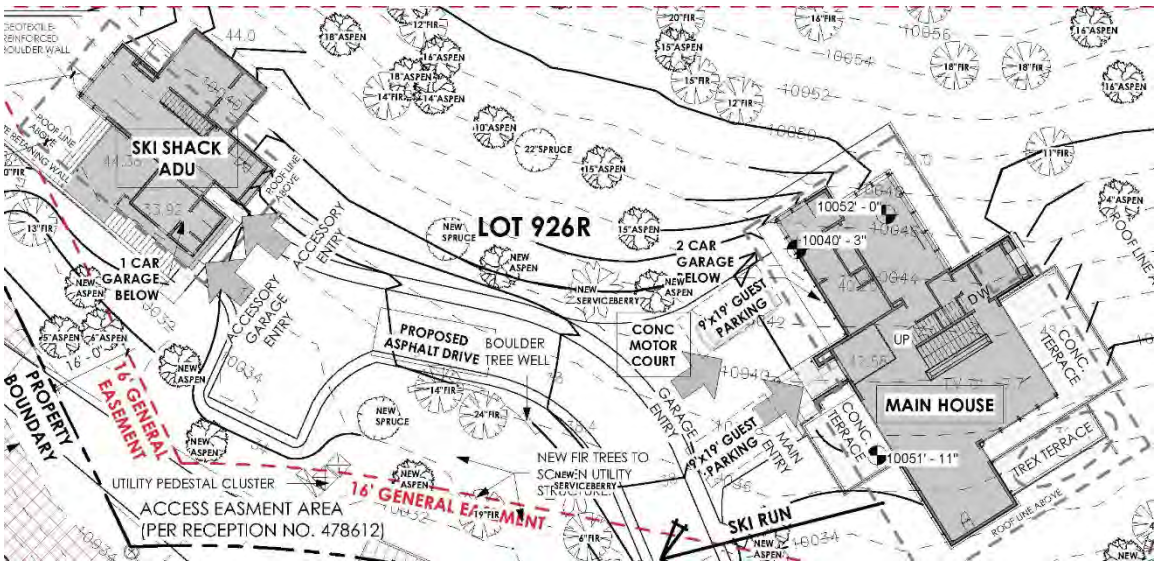

Figure 6 – Site Plan Including Parking

17.5.9: Landscaping Regulations

Staff: A landscape concept plan is provided on Sheet L2.0. The proposed development requires the removal of several existing evergreen, spruce, and aspen trees; The application indicates 14 new Quaking Aspen trees, 4 new Englemann Spruce, and 3 new Utah Serviceberry trees. The irrigation plan appears to include temporary irrigation in the General Easement for the establishment of both native grass and trees, but does not include permanent irrigation for turf areas.

The application includes Fire Mitigation Plan on Sheet L1.0. The applicant has revised the plan to remove more trees than indicated on Sheet A1.0 to meet the CDC requirements at building permit. The revised plan also indicates that 2 trees (10" and 17" caliper firs) would remain and be protected within Zone 1 adjacent to the ski shack to provide screening from the ski run.

The landscaping plan was also modified to address comments made by the Town Forester at the time of IASR referral. The plan is compliant with the requirements of the CDC.

17.5.11: Utilities

Staff: The applicant has provided utility information on Sheet C3 of Exhibit A. An existing sewer line runs parallel to the eastern property line and is proposed to connect to the home by crossing the GE and access parcel from the south. Electric lines also run along the eastern side of the site and are proposed to connect by crossing the eastern part of GE. An existing water line is along the southern side of the site and is connected through the southern part of the GE. These are shown in Figure 9.

The existing conditions survey indicates a surface level abandoned electric line running north/south on the western third of the lot. The applicant will need to work with San Miguel Power to understand if this can be removed from the lot.

Referral comments from the Fire District and Public Works are included below.

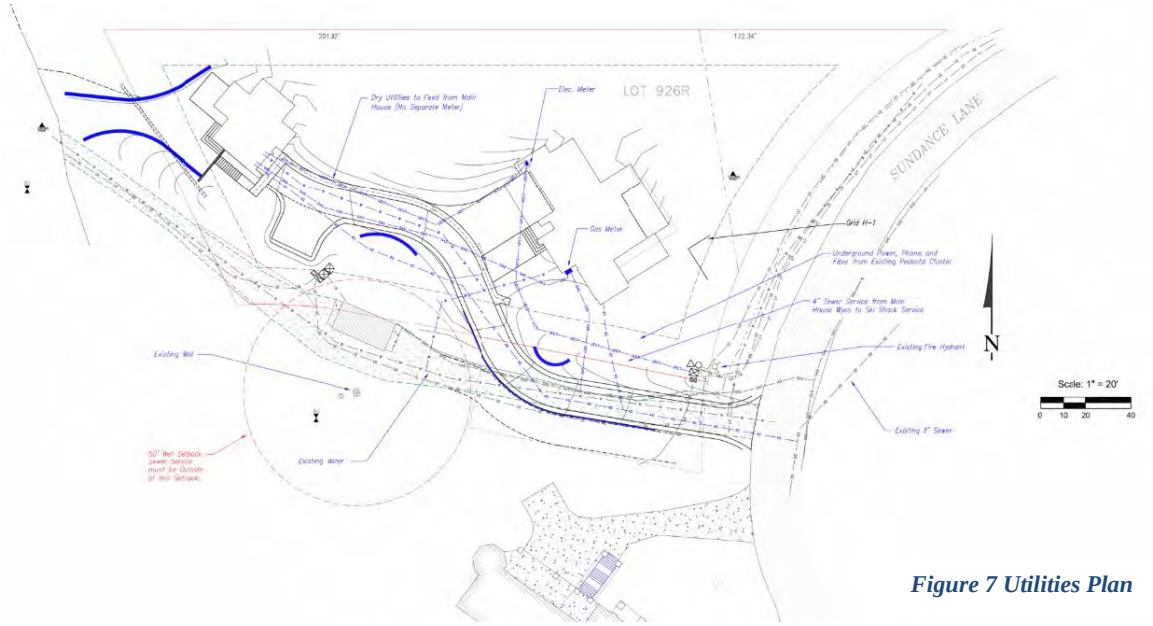

Figure 7 Utilities Plan

TFPD approval with the following conditions:

1) *A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.*
2) *An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.*
3) *Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.*
4) *Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.*
5) *Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.*
6) *A Knox box is recommended at the main entrance on the address side for emergency access.*

Public works:
I spoke with Dave Ballode about the utility plan. He will need to show the sewer line routing 50' away from our water well. I also confirmed that the 13' gravel shoulder is for Town and TSG maintenance vehicles. This will make the driveway extremely wide which can work for Public Works but may not be the best look for the neighborhood.

17.5.12: Lighting Regulations

The applicant has provided a separate lighting plan, photometrics study, and lighting specification as required. All the lighting is under 850 lumens and meet CDC Dark Sky Requirements, as modified from the March 7, 2024 DRB review (specifically Type BX has been reduced to a lower lumen delivery level).

There are total of 6 recessed LED downlights on the first floor of the main structure in front of the garage, Spa/Gym area, and terrace. There are also 2 steplights at the terrace and 2 ingrade steplight for the main entrance.

On the second floor, there are 4 downlights and 6 steplights for Morning Terrace and 5 downlights and 4 steplights for Sunset Porch.

For the Ski Shack, there are 7 ingrade steplight along the entrance stair, and 4 downlights for terraces and entries, and 3 steplights.

Type	Image	Product / Manufacturer	Attributes	Notes
Architectural Lighting				
BX		**USAI** "Recessed **LED** Downlight - Wood Ceiling Exterior Lensed" Description: Recessed LED Lensed Downlight For Exterior Wood Ceiling	Catalog #: PJSAF-D9L2M-3DKS-S-WH-NCAIC-12DV-D21-**-AK2DN-** Lamping: 9W; 525 Lumens Delivered; 90+ CRI; 3000°K LED Dimming Type: LED Phase Dimming Voltage: 120V AC Ceiling Type: Wood	12.5"Length x 9.5"Width x 4"Height x 3"Aperture Fixture lumen output to be limited to 850 Lumens via central system maximum output limit. Addition of lumen reducing lens if required by TCHMC. Trim finish to be confirmed with Architect.
R2W		Klus Design "Linear **LED** Strip Series" Description: LED Strip in a black aluminum channel	Catalog #: WP-K-3B-191D-HO-IP65-24V; C2DS6K7_*; 17D4D; 24165; LHDD-96W24V-U Lamping: 2.8W/ft; 259 Lumens/ft; 95 CRI; 3000° K LED Voltage: 24V DC Dimming Type: Lutron Digital Driver: Remote Homeworks Digital Power Supply	Width: 0.55" Height: 0.59" Length: To Be Field Verified Contractor to measure and field verify appropriate fixture segment lengths and quantities. Remote power supply location by EC. EC to run control wire from power supply to Lutron Digital link.
SLX		**TBD LED** Solutions "Exterior Steplight" Description: Exterior Steplight	Catalog #: TBD.STS1X5-3DK-BK-12V; TBD.PSDM-**W-12 Lamping: 2W; 185 Lumens; 3000K°K CT; 90+ CRI Voltage: 12V Dimming Type: Forward Phase Dimming Driver: TBD.PSDM Magnetic Dimming	1.28"Length x 1.76"Width x 5.22"Height Location for remote power supply by EC. Location to be coordinated with Architecture and Interiors. Finish to be confirmed with Architect.
X1		**WAC** Lighting "Exterior Ingrade Steplight" Description:	Catalog #: SP1-GDG-L61; B-2-3000K-8-15V-FLOOD Lamping: 2W; 3000K; 90CRI; 150 Lumen Voltage: 12V Dimming Type: MLV Dimming Driver: Remote MLV	Location for remote power supply by EC. Location to be coordinated with Architecture and Interiors. Finish to be confirmed with Architect.

Figure 8 Lighting Products

The lighting associated with outdoor living spaces, such as those proposed on the deck and patio, requires a Design Variation to be granted by the DRB.

17.5.13: Sign Regulations

Staff: The location of the address monument is on the south-eastern corner of the site within GE. The detail of design is included on Sheet A0.10. The monument has been revised to be 6 feet in total height meets the requirements of the CDC. The material is a combination of stone and steel plate. The address number is century font 6" with LED indirect lighting and reflective tape.

Section 17.5.13.E.4.e requires that address monuments be illuminated with a concealed LED or other energy efficient light source that does not cause glare. The detailed information about lighting is shown on Sheet LT2.0.

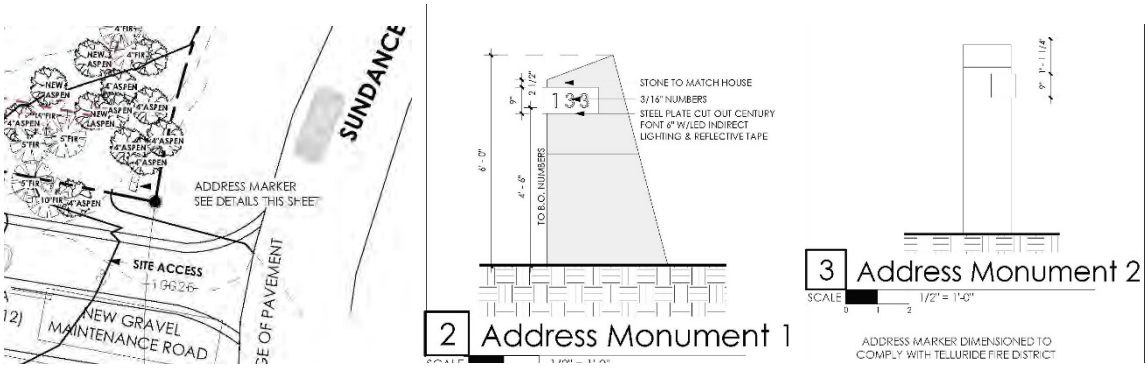

Figure 9 Address Monument

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: The applicant has provided a separate Fire Mitigation Plan for the 15' fire mitigation line.

17.6.6: Roads and Driveway Standards

Staff: The driveway is located on the south side of the site from Sundance Lane which is located along the eastern side of the site. The driveway access runs east to west as it crosses the site to provide access to the house and ADU. The driveway includes a turnaround area at the house and the ADU, as illustrated below and on Sheet C2.2.

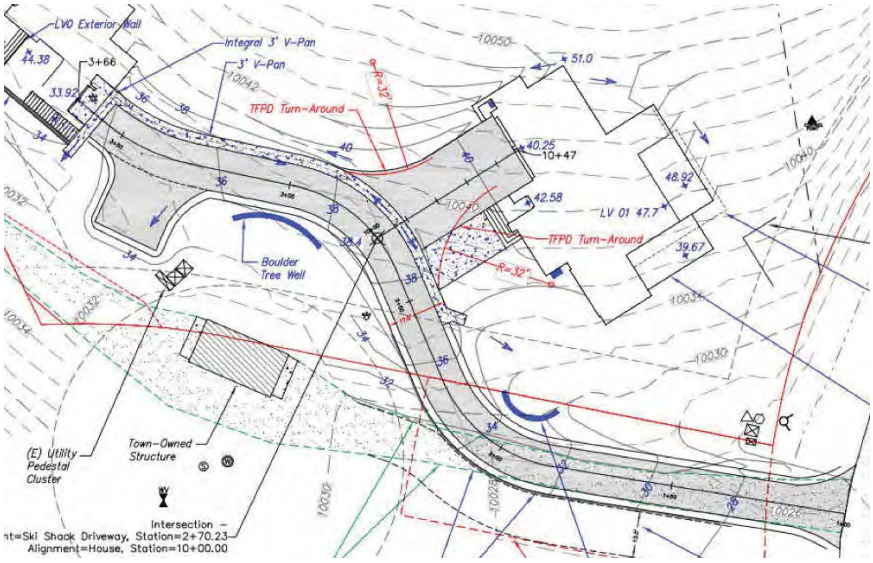

Figure 10 Driveway Profile

The proposed driveway grade from the right of way at Sundance Lane is 4.9% until LVC 30, meeting the requirement that the grade shall not exceed five percent for the first twenty feet from the edge of the public roadway or access tract. The primary section of the driveway towards the homesite is 7.99% grade, which is within the allowable grade of 8 percent. The remaining driveway to the ski shack is 6.01%. The overall driveway length is more than 150 feet in length, which requires a minimum paved surface of 16'. The width of the proposed driveway is 12' in and asphalt, with 3' concrete pan on the north side and 2' gravel shoulder on the south side. This requires a DRB Design Variation.

Additionally, there is a 13-foot gravel shoulder to the south of the driveway to ensure maintenance vehicles can access the ski run and town-owned structure without requiring use of the home's driveway. Based on the updated plans, the proposed Hilfiker wall separating the driveway from the access lane would be clad in a gray rubble stone veneer with a guardrail on top of the wall. The DRB should discuss if this design is appropriate given the neighborhood context.

17.6.8: Solid Fuel Burning Device Regulations
Staff: The applicant has identified the fuel of the fireplace as gas. However, this fireplace does not align with the proposed chimney. It appears that Exhibit 3 on page A3.0b indicates a rooftop pipe or flue that could service the gas fireplace.

Chapter 17.7: BUILDING REGULATIONS
17.7.20: Construction Mitigation
Staff: A construction mitigation plan is provided on Sheet A0.11. The plan indicates the location of construction parking, storage area, dumpster area, the location of portable toilet and construction trailer, limits of disturbance and fencing and tree protection. Erosion control and water quality protection plan is shown separately on Sheet C4. The applicant needs to coordinate with Public Works related to a temporary right-of-way encroachment permit for parking.

Staff Recommendation: Staff recommends approval of the final architectural review with conditions.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion:
If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

Alternatively, if the DRB desires additional information or redesign, a motion for continuance is also provided.

Continuance:
I move to continue the Final Architecture and Site Review for a new single-family home located at Lot 926R, based on the evidence provided in the staff memo of record dated May 20, 2024, and the findings of this meeting.

Approval:
I move to approve the Final Architecture and Site Review for a new single-family home located at Lot 926R, based on the evidence provided in the staff memo of record dated May 20, 2024, and the findings of this meeting with the following Conditions:

DRB Specific Approvals:
1. Parking - Tandem Parking (1 Space for Primary Structure)
2. Materials – Gray Ballast/Membrane Roofing Materials
3. Materials – Boardform Concrete
4. General Easement Encroachment – Retaining Walls

DRB Design Variation:
1. Road and Driveway Standards – Driveway Width
2. Lighting - Outdoor Living Spaces

3. Roof Form – Primary Flat Roof

If the DRB does not grant a specific approval / design variation for the items above, the following condition(s) should be added:

1. Parking Plan shall be updated to meet the requirements of the CDC.
2. Materials shall be updated to exclude gray ballast/membrane roofing materials and boardform concrete.
3. Revise the site plan to remove all retaining walls from the General Easement.
4. The driveway width shall be updated to meet the CDC requirements for a driveway greater than 150 feet in length.
5. Remove lighting fixtures on all outdoor living spaces.
6. Revise the primary roof form to modify the flat roof to a shed roof.

And, with the following conditions:

1) *At no time shall there be a conversion into livable space of the storage area located on the garage level of the ADU.*
2) *The applicant shall be fully responsible for modifying and replacing the maintenance building access, and shall work with the Public Works Department on final design and installation of all retaining walls and access drives.*
3) *Prior to building permit, the applicant shall indicate snowmelt area on plan.*
4) *Prior to building permit, the applicant shall field verify existing water and sewer tap with Public Works.*
5) *Prior to building permit, the applicant shall provide an Encroachment Agreement with the Town related to encroachment to road right of way.*
6) *Prior to building permit, the applicant shall clarify the direct vent for the fireplace.*
7) *Prior to building permit, the applicant shall remove all plans to modify the Town's water pump utility shed from the plan set.*
8) *Prior to final review the applicant shall demonstrate if there is any conflict with the earthworks easement on the lot.*
9) *Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted and deemed complete 2023.*
10) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum and average building height and ensure the structure meets the height requirements.*
11) *Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE and the road right of way.*
12) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
    a) *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4').*
    b) *Wood that is stained in the approved color(s).*
    c) *Any approved metal exterior material.*
    d) *Roofing material(s); and*
    e) *Any other approved exterior materials*
13) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire*

department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Alpine Planning, LLC
P.O. Box 654 | Ridgway, CO 81432 | 970.964.7927 | chris@alpineplanningllc.com

MEMO

Date: May 6, 2024
To: Mountain Village Design Review Board
From: Alpine Planning, LLC – Chris Hawkins
Subject: **Lot 926R Continuance**

On April 4, 2024, the DRB continued the Lot 926R Final Architecture Review to the June 6, 2024 meeting subject to the following conditions, with our compliance comments shown in blue text:

1) Prior to final review, the applicant shall revise the plans to show (2) exterior parking spaces in a separate location from the TFPD turnaround. We have relocated one surface parking space to south of the main entry stairs We are requesting DRB approval of a Design Variation for one (1) tandem parking space for due to the small size of the lot at 0.858 acres (tandem parking is allowed for lots that are 0.75 acres or smaller), and to minimize site disturbance and preserve trees as discussed in the Final Architecture Review narrative.
2) Prior to final review, the applicant shall provide window recess details. The window recess detail is shown on Sheet A9.1.
3) Prior to final review, the applicant shall revise the address monument plan to include a lighting specification and to otherwise meet the requirements of the CDC. This condition has been met with the address monument now having a maximum height of six (6) feet and address numbers placed 4' – 6" to the bottom of the numbers.
4) Prior to final review, the applicant shall revise the fire mitigation plan to adhere with the CDC and the Forester's comments. This condition has been met.
5) Prior to final review, the applicant shall revise the landscape plan to adhere to the CDC and the Forester's comments. This condition has been met.
6) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
7) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products. This is a Building Code requirement that will be met with the building permit plan set.
8) Prior to Certificate of Occupancy the applicant will enter into a revocable Encroachment Agreement with the Town for any approved encroachments in the general easement. This includes any encroachments that already exist on the property as well as any new encroachments. Ok.
9) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
   a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
   b. Wood that is stained in the approved color(s);
   c. Any approved metal exterior material;
   d. Roofing material(s); and
   e. Any other approved exterior materials Ok.

10) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory. Ok.
11) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted and deemed complete in 2024. Ok.
12) The applicant must meet the following conditions of the fire marshal: These are Fire Code requirements that will be met with the building permit plan set.
    a. The structure shall be in accordance with the 2018 IFC, TFPD Amended Fire Code, and NFPA Standards for a Group R-3 occupancy.
    b. A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.
    c. An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.
    d. Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
    e. Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
    f. Electric vehicle charging stations/outlets shall be installed in accordance with the TFPD Amended Fire Code and NFPA 70.
    g. A Knox box is recommended at the main entrance on the address side for emergency access.

Other changes made to the proposed plans include:

1. Eliminating retaining walls from TSG, LLC ski run and placed them on the property and minimized site disturbance and grading for the proposed ski access. We regraded the ski access to minimize wall heights and made the south wall part of the architecture screened by trees in the lower topographic area between the ski run and the ski shack. The appearance of the shack is further from the ski run and more in the trees.
2. Reducing the ski shack deck area. The reduction of the deck projecting west further reduces mass and increases the perceived space between run and shack.
3. Revised the roofing plan on the main house to be a gray ballast roof membrane system.
4. Revising the hilfiker wall design on the south side of the driveway from clean washed rocks to now be faced with rubble stone veneer.
5. Revising the lighting plan to address David Craige's comments.

GENERAL NOTES

CONTRACT DOCUMENTS

CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED.

ORGANIZATION

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: PLANNING & REGULATORY (A SHEETS), CIVIL DRAWINGS (C SHEETS), LANDSCAPE DRAWINGS (L SHEETS), ARCHITECTURAL DRAWINGS (A SHEETS), INTERIOR DRAWINGS (ID SHEETS), STRUCTURAL DRAWINGS (S SHEETS), MECHANICAL DRAWINGS (M SHEETS), ELECTRICAL (E SHEETS), AUDIOVISUAL DRAWINGS (LV SHEETS), AND LIGHTING DRAWINGS (LP SHEETS).

CODE COMPLIANCE

ALL WORK, MATERIALS, AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS, AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3.

REGULATORY COMPLIANCE

THE CONTRACTOR SHALL ENSURE THAT THE WORK AND CONSTRUCTION ADMINISTRATION PROCESSES COMPLY WITH ALL APPLICABLE GOVERNMENTAL AND PRIVATE REGULATIONS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: THE TOWN OF TELLURIDE LAND USE CODE (LUC), DESIGN GUIDELINES, HISTORIC AND ARCHITECTURAL REVIEW COMMISSION (HARC) CONDITIONS, CERTIFICATES OF APPROPRIATENESS (CAs) AND IMPACT STATEMENTS. THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE (CDC) AND DESIGN REVIEW BOARD (DRB) CONDITIONS. SAN MIGUEL COUNTY BUILDING REGULATIONS. ALL COVENANTS, CONDITIONS & RESTRICTIONS, DECLARATIONS, ARCHITECTURAL GUIDELINES AND RULES AND REGULATIONS ESTABLISHED BY ANY PRIVATE OWNERS ASSOCIATIONS THAT GOVERN THE PROJECT SITE.

INTENT

THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

COORDINATION

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS, AND REPORT ANY DISCREPANCIES, ERRORS, OR OMISSIONS OF THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AUDIO/VISUAL, AND LIGHTING DRAWINGS.

ENERGY EFFICIENCY AND GREEN BUILDING

ENERGY EFFICIENCY

- SOUTH FACING WINDOWS ARE PASSIVE SOLAR
- RADIANT HEAT FLOORING
- LOW FLOW PLUMBING FIXTURES.
- LOW VOLTAGE LIGHTING
- INSULATED WINDOWS
- HIGH R VALUE INSULATION

GREEN MATERIALS

- LOW VOC PAINT
- NATURAL MATERIALS THROUGHOUT INCLUDE: WOOD, STONE, NATURAL FIBER CARPETS

MAXIMUM BUILDING HEIGHT

REFER TO SHEETS: A1.3 - BUILDING HEIGHT CALC'S
A1.4 - PARALLEL SLOPE COMPLIANCE

DRB FINAL REVIEW SHEET LIST

Sheet Number	Sheet Name
A0.0	Cover Sheet
A0.1	Existing Conditions - Site Photos
A0.1a	Existing Conditions - Site Photos
A0.2	Existing Conditions - Survey
A0.6	Exterior Renderings
A0.7	Exterior Renderings
A0.8	Exterior Renderings
A0.9	Exterior Renderings
A0.10	Site Plan
A0.10 C1	Civils - Engineering Notes
A0.10 C2.1	Civils - Site Grading No Trees
A0.10 C2.2	Civils - Site Grading With Trees
A0.10 C3	Civils - Utilities
A0.10 C4	Civils - Erosion Control
A0.10 L1.0	Wildfire Mitigation Plan
A0.10 L2.0	Landscape and Tree Protection Plan
A0.10 L3.0	Conceptual Irrigation Plan
A0.11	Construction Mitigation Plan
A0.12	Site Coverage
A0.13	Utility Shed
A1.3	Floor Area Calculations - Main House
A1.4	Floor Area Calculations - Ski Shack ADU
A1.5	Main - Building Height Calcs.
A1.6	Ski Shack ADU - Building Height Calcs.
A2.0	Floor Plans - Level 1
A2.1	Floor Plans - Level 2
A2.2	Floor & Ceiling Plans - Loft Level
A2.3	Roof Plan
A2.7	Ski Shack ADU Plans - Level 0 & Level 1
A2.8	Ski Shack ADU Plans - Roof Plan
A3.0a	Exterior Materials
A3.0b	Exterior Material Calculations
A3.0c	Exterior Material Calcs Ski Shack ADU
A3.0d	Rendered Exterior Elevations (not to scale)
A3.0e	Rendered Exterior Ski Elevations (not to scale)
A3.1	Exterior Elevations
A3.2	Exterior Elevations
A3.5	Exterior Elevations - Ski Shack ADU
A3.6	Exterior Elevations - Ski Shack ADU
A8.1	Floor Assemblies
A8.2	Roof Assemblies
A8.3	Wall Assemblies
A9.1	Door & Window Schedules and Typ Detail
LT1.0	Site Plan Lighting - Photometrics
LT1.0b	Level 01 Lighting - Main Level Points
LT1.1	Level 01 Lighting - Upper Level Points
LT1.7	Ski Shack Lighting - Level 00 & Level 01 Points
LT2.0	Level 01 Lighting - Main Level
LT2.1	Level 02 Lighting - Upper Level
LT2.7	Ski Shack Lighting - Level 00 & Level 01
LT5.0	Lighting Specifications
Grand total: 51	

PROJECT TEAM

OWNER:

926, LLC
c/o TOMMY HEIN ARCHITECTS

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GENERAL CONTRACTOR:

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CIVIL ENGINEER:

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MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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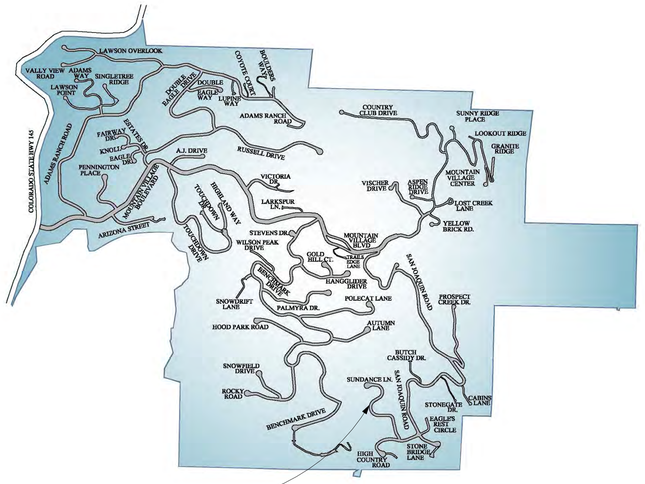
chris@alpineplanningllc.com

VICINITY MAP:



LOT COVERAGE & FLOOR AREA CALCULATIONS

STANDARDS	ALLOWED	PROPOSED
LOT COVERAGE		
17.3.13 MAXIMUM LOT COVERAGE. (ACREAGE AND SQ. FT.)	SINGLE-FAMILY ZONE DISTRICT WITH LOTS <1 ACRE = 40% MAXIMUM LOT COVERAGE	0.858 ACRES = 37,374.5 SF MAX COVERAGE = 14,949.8 SF SITE COVERAGE (AREA) = 5,317.6 SF SITE COVERAGE (PERCENT) = 14.2% (14.2% IS BELOW THE ALLOWABLE 40%)
FLOOR AREA CALCULATIONS		
		SEE SHEET A1.3 & A1.3 FOR ALL AREA CALCULATIONS
MISC REQUIREMENTS		
BUILDING SETBACKS	16'	- SEE A1.1 FOR BUILDING SETBACKS
BUILDING HEIGHT		
- MAXIMUM	- 35' FOR FLAT ROOF	- SEE A1.5
- AVERAGE	- 30'	- SEE A1.6
NUMBER OF UNITS BY TYPE	- 1 RESIDENTIAL	- 1 RESIDENTIAL
PARKING SPACES		
-ENCLOSED	- 3 ENCLOSED	- 3
-SURFACE	- 2 SURFACE	- 2
SNOWMELT AREA	- 1000 SF	- 995.1 SF
EXTERIOR MATERIALS	- SEE A3.0	- SEE A3.0

CODE SUMMARY

ZONING	- SINGLE FAMILY RESIDENTIAL
BUILDING CODE	- IRC-2018
DESCRIPTION	- 3.0 STORY
OCCUPANCY CLASSIFICATION	- IRC 1&2
AUTOMATIC FIRE SPRINCKLERS	NFPA13D – SPRINKLERED GREATER THAN 3,600 S.F.
FIRE RESISTIVE RAITING	SHAFT ENCLOSURES – 1HR.
EXIT ENCLOSURE RATING	1 HR.
ELEVATOR SHAFT	N/A

Submissions

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
INITIAL DRB2	23.10.09
INTERNAL REVIEW	24.01.23
FINAL DRB	24.02.15
FINAL DRB	24.05.07
REVISED FINAL DRB	24.05.28

133 Sundance

Mountain Village, CO 81435

Cover Sheet

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

A0.0

Plot Time 5/28/2024 2:08:25 PM Autodesk Docs://133 Sundance/133 Sundance_Scheme B CURRENT.rvt

1_NE Main View to Mt Emma over Chair 4

2_Ski Area NE View1

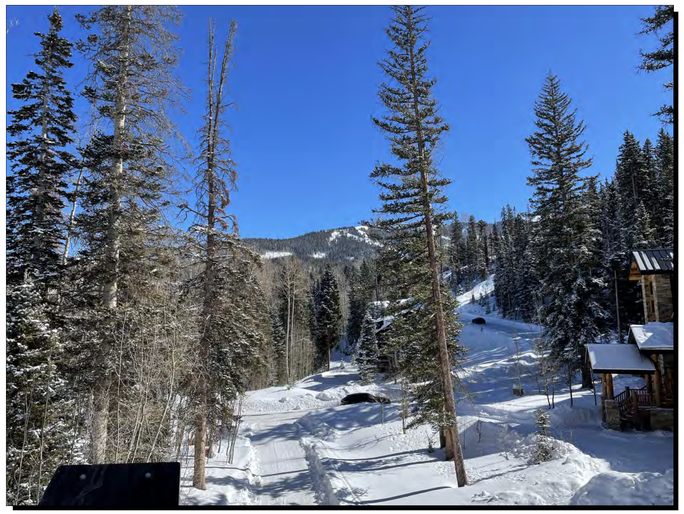
3_East Ski Area View

4_SE View to forest over Rd

5_South View over Neighbor

5_South View over neighbor to ski run

7_West View over access tract to ski run



8_SkiArea view 20ft up

9_Access rd ski access

Tommy Hein
ARCHITECTS

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Telluride, Colorado 81435
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STATE OF COLORADO
THOMAS E HEIN, JR.
B-3180
JUL 2 2023
LICENSED ARCHITECT

Submissions

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
INITIAL DRB2	23.10.09
INTERNAL REVIEW	24.01.23
FINAL DRB	24.02.15
FINAL DRB	24.05.07
REVISED FINAL DRB	24.05.28

133 Sundance

Mountain Village, CO
81435

Existing Conditions - Site Photos

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A0.1

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1_Looking East_Panorama

2_Looking South_Panorama

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STATE OF COLORADO
THOMAS E. HEIN, JR.
B-3180
JUL 2 2024
LICENSED ARCHITECT

Submissions

INTERNAL REVIEW	23.07.17
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INITIAL DRB2	23.10.09
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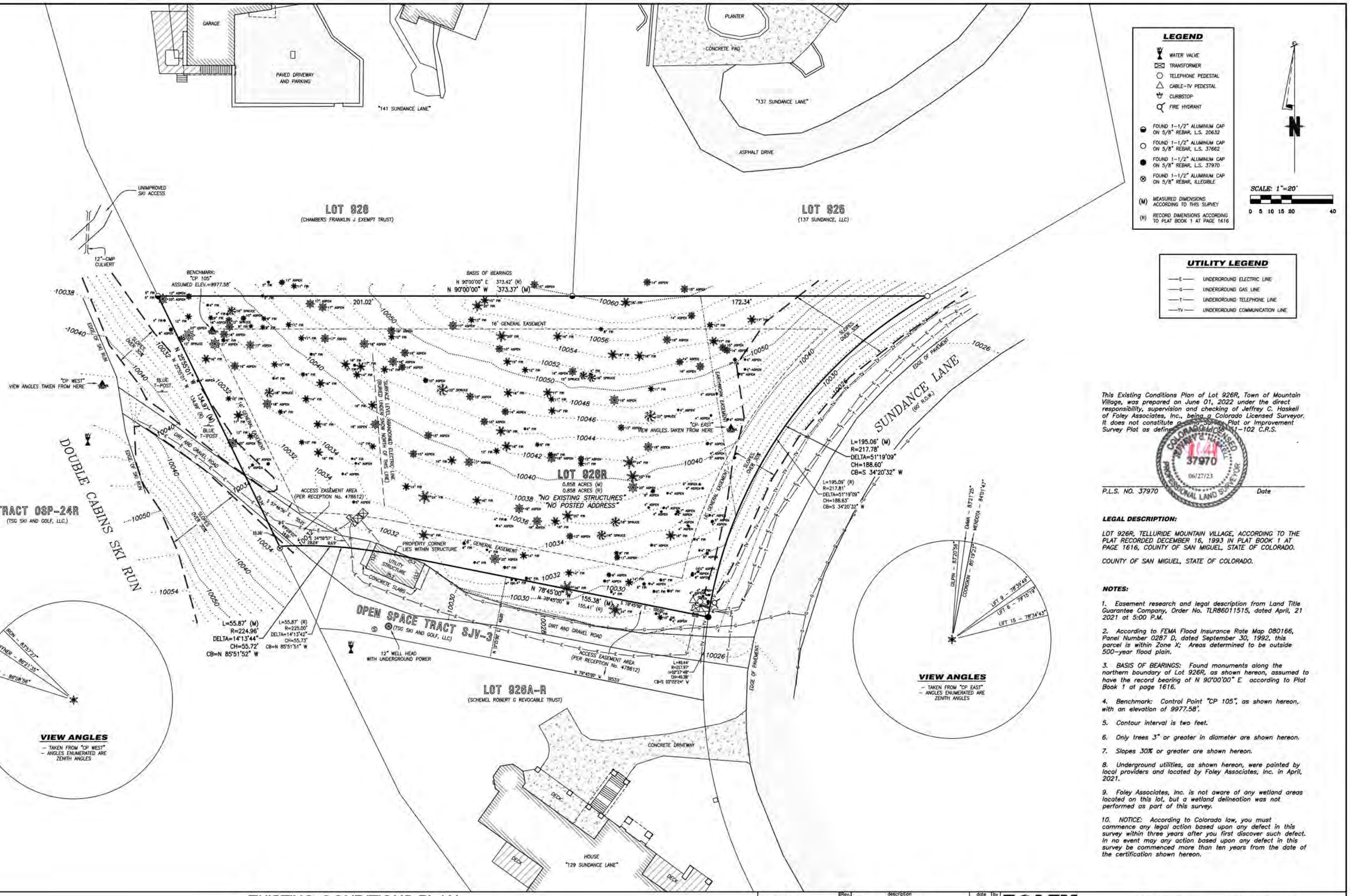

LEGEND

- WATER VALVE
- TRANSFORMER
- TELEPHONE PEDESTAL
- CABLE-TV PEDESTAL
- CURBSTOP
- FIRE HYDRANT
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 20632
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37662
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37970
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, ILLEGIBLE
- (M) MEASURED DIMENSIONS ACCORDING TO THIS SURVEY
- (R) RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 1616

SCALE: 1"=20'

0 5 10 15 20 40

UTILITY LEGEND

- —E— UNDERGROUND ELECTRIC LINE
- —G— UNDERGROUND GAS LINE
- —T— UNDERGROUND TELEPHONE LINE
- —TV— UNDERGROUND COMMUNICATION LINE

This Existing Conditions Plan of Lot 926R, Town of Mountain Village, was prepared on June 01, 2022 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Boundary Survey Plat or Improvement Survey Plat as defined by 38-51-102 C.R.S.

COLORADO LICENSED JEFFREY C. HASKELL 37970 06/27/23 PROFESSIONAL LAND SURVEYOR

P.L.S. NO. 37970 Date

LEGAL DESCRIPTION:

LOT 926R, TELLURIDE MOUNTAIN VILLAGE, ACCORDING TO THE PLAT RECORDED DECEMBER 16, 1993 IN PLAT BOOK 1 AT PAGE 1616, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

1. *Easement research and legal description from Land Title Guarantee Company, Order No. TLR86011515, dated April, 21 2021 at 5:00 P.M.*
2. *According to FEMA Flood Insurance Rate Map 080166, Panel Number 0287 D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.*
3. *BASIS OF BEARINGS: Found monuments along the northern boundary of Lot 926R, as shown hereon, assumed to have the record bearing of N 90°00'00" E according to Plat Book 1 at page 1616.*
4. *Benchmark: Control Point "CP 105", as shown hereon, with an elevation of 9977.58'.*
5. *Contour interval is two feet.*
6. *Only trees 3" or greater in diameter are shown hereon.*
7. *Slopes 30% or greater are shown hereon.*
8. *Underground utilities, as shown hereon, were painted by local providers and located by Foley Associates, Inc. in April, 2021.*
9. *Foley Associates, Inc. is not aware of any wetland areas located on this lot, but a wetland delineation was not performed as part of this survey.*
10. *NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.*

EXISTING CONDITIONS PLAN

Lot 926R, Town of Mountain Village,
San Miguel County, Colorado.

Project Mgr:	JH
Technician:	MC
Technician:	
Checked by:	JZ
Start date:	06/01/2022

Rev.	description	date	by
1	Added Access Easements with Reception Number	06/27/23	MC

FOLEY ASSOCIATES, INC.
ENGINEERING · PLANNING · SURVEYING
970-728-6153 970-728-6050 fax
P.O. BOX 1385
125 W. PACIFIC, SUITE B-1
TELLURIDE, COLORADO 81435

Drawing path: dwg\98144 EC Plan 06-22.dwg | Sheet 1 of 1 | Project #: 98144

VIEW FROM ROAD

VIEW FROM SERVICE ROAD

VIEW FROM SKI RUN

SOUTH VIEW : MAIN HOUSE AND SKI SHACK

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Exterior Renderings

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MAIN HOUSE SOUTH EAST VIEW

MAIN HOUSE SOUTH WEST VIEW

MAIN HOUSE NORTH WEST VIEW

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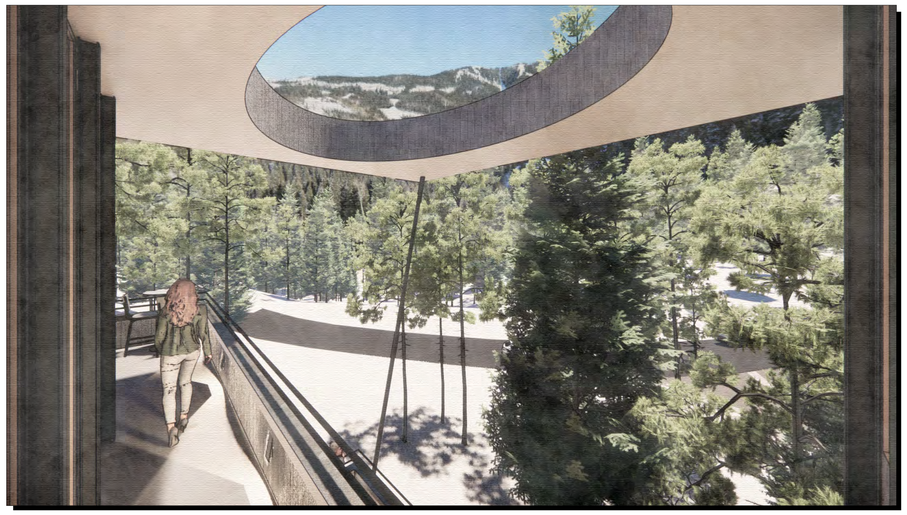
MAIN HOUSE NORTH EAST VIEW

LIVING DECK VIEW



KITCHEN DECK VIEW

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MAIN DINING DECK VIEW

SKI SHACK NORTH VIEW

SKI SHACK WINTER WEST VIEW

SKI SHACK WINTER SOUTH VIEW

SKI SHACK EAST VIEW

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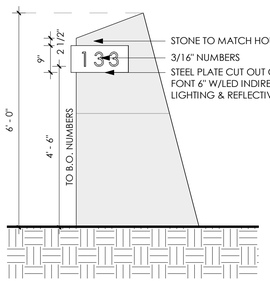
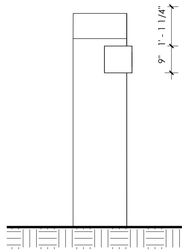


2 Address Monument 1

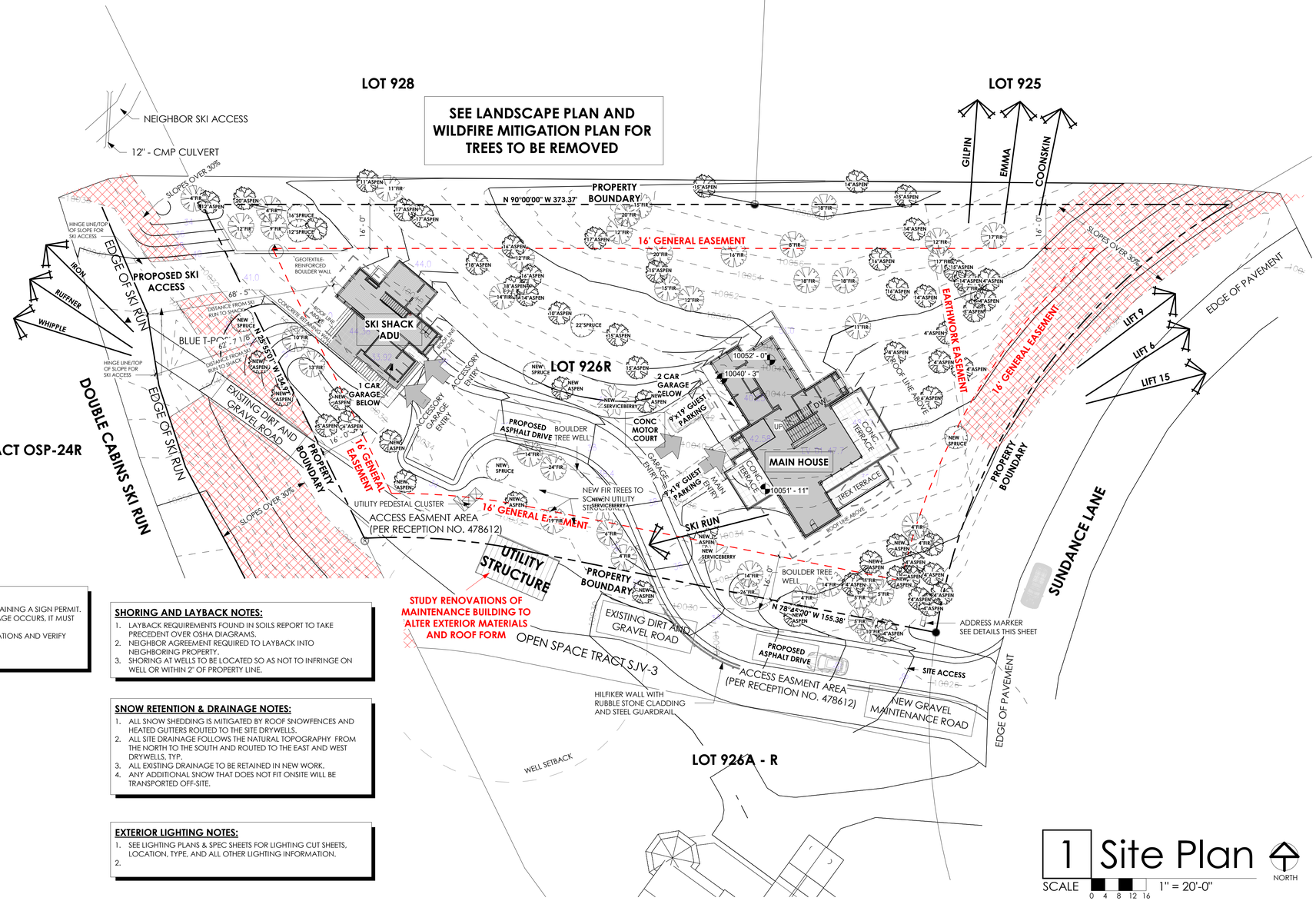
SCALE 0 1 2 1/2" = 1'-0"



3 Address Monument 2

SCALE 0 1 2 1/2" = 1'-0"

ADDRESS MARKER DIMENSIONED TO COMPLY WITH TELLURIDE FIRE DISTRICT



GENERAL NOTES:

1. ANY SIGN WILL COMPLY WITH THE SIGN CODE AND IS SUBJECT TO OBTAINING A SIGN PERMIT.
2. EXISTING RIGHT OF WAY IMPROVEMENTS MUST BE PROTECTED. IF DAMAGE OCCURS, IT MUST BE REPAIRED PRIOR TO C.O.
3. CONTRACTOR TO CONFIRM WATER AND WASTEWATER MAIN LINE ELEVATIONS AND VERIFY THEIR SIZE, LOCATIONS AND SUITABILITY.
4. GUTTERS, DOWNSPOUTS AND VALLEYS TO BE HEATED.

SHORING AND LAYBACK NOTES:

1. LAYBACK REQUIREMENTS FOUND IN SOILS REPORT TO TAKE PRECEDENT OVER OSHA DIAGRAMS.
2. NEIGHBOR AGREEMENT REQUIRED TO LAYBACK INTO NEIGHBORING PROPERTY.
3. SHORING AT WELLS TO BE LOCATED SO AS NOT TO INFRINGE ON WELL OR WITHIN 2' OF PROPERTY LINE.

SNOW RETENTION & DRAINAGE NOTES:

1. ALL SNOW SHEDDING IS MITIGATED BY ROOF SNOWFENCES AND HEATED GUTTERS ROUTED TO THE SITE DRYWELLS.
2. ALL SITE DRAINAGE FOLLOWS THE NATURAL TOPOGRAPHY FROM THE NORTH TO THE SOUTH AND ROUTED TO THE EAST AND WEST DRYWELLS, TYP.
3. ALL EXISTING DRAINAGE TO BE RETAINED IN NEW WORK.
4. ANY ADDITIONAL SNOW THAT DOES NOT FIT ONSITE WILL BE TRANSPORTED OFF-SITE.

EXTERIOR LIGHTING NOTES:

1. SEE LIGHTING PLANS & SPEC SHEETS FOR LIGHTING CUT SHEETS, LOCATION, TYPE, AND ALL OTHER LIGHTING INFORMATION.
2.

1 Site Plan

SCALE 0 4 8 12 16 1" = 20'-0"

NORTH

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GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER AND WATER: TOWN OF MOUNTAIN VILLAGE
BROADBAND: CLEARNETWORX
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

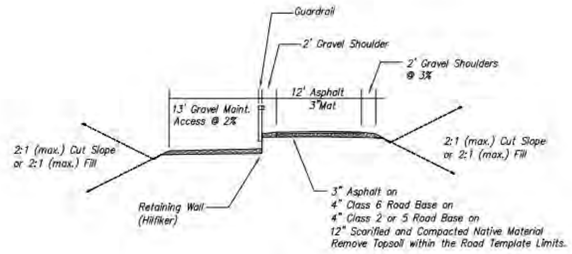
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

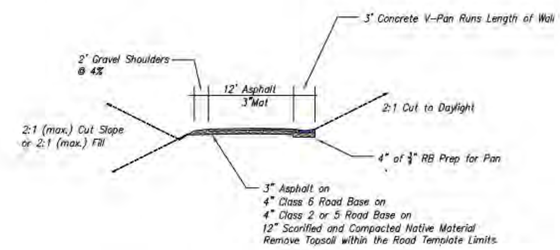
24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

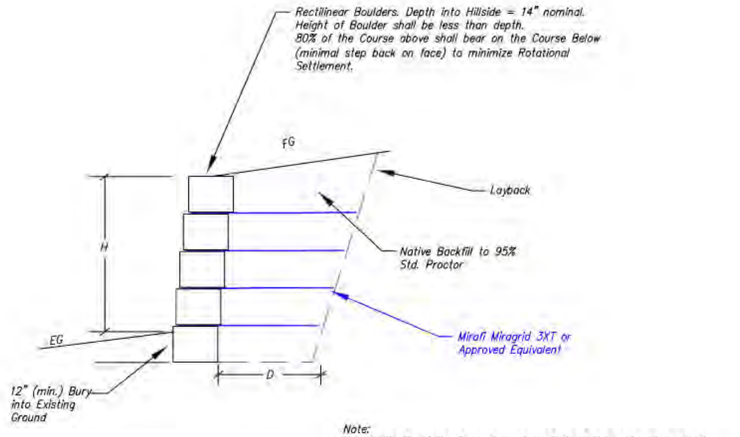
26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



DRIVEWAY CROSS-SECTION
Typical Cross Section - Driveway and Town Access
16' Shoulder-to-Shoulder is the minimum Required Width



DRIVEWAY CROSS-SECTION
Typical Cross Section with V-Pan
16' Shoulder-to-Shoulder is the minimum Required Width



Note:
The Depth, D, of the Geogrid must be 70% of the adjacent exposed Height, H. The Geogrid shall Extend between Courses as Shown and to the Depth of the Excavated Layback. Min. Depth of Geogrid =6'.
Vertical Spacing between the Geogrid courses shall be no more than 12".

Boulder Wall Section and Geogrid Schedule
Noo Geogrid necessary if H < 5.5'
Not to Scale

Uncompahgre Engineering, LLC

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970-729-0683

SUBMISSIONS:

SUBMITTAL	2023-12-07
SUBMITTAL	2024-01-22
SUBMITTAL	2024-04-16
SUBMITTAL	2024-05-08

133 Sundance
Mtn. Village, CO

COLORADO LICENSED
29645
05-08-2024
PROFESSIONAL ENGINEER

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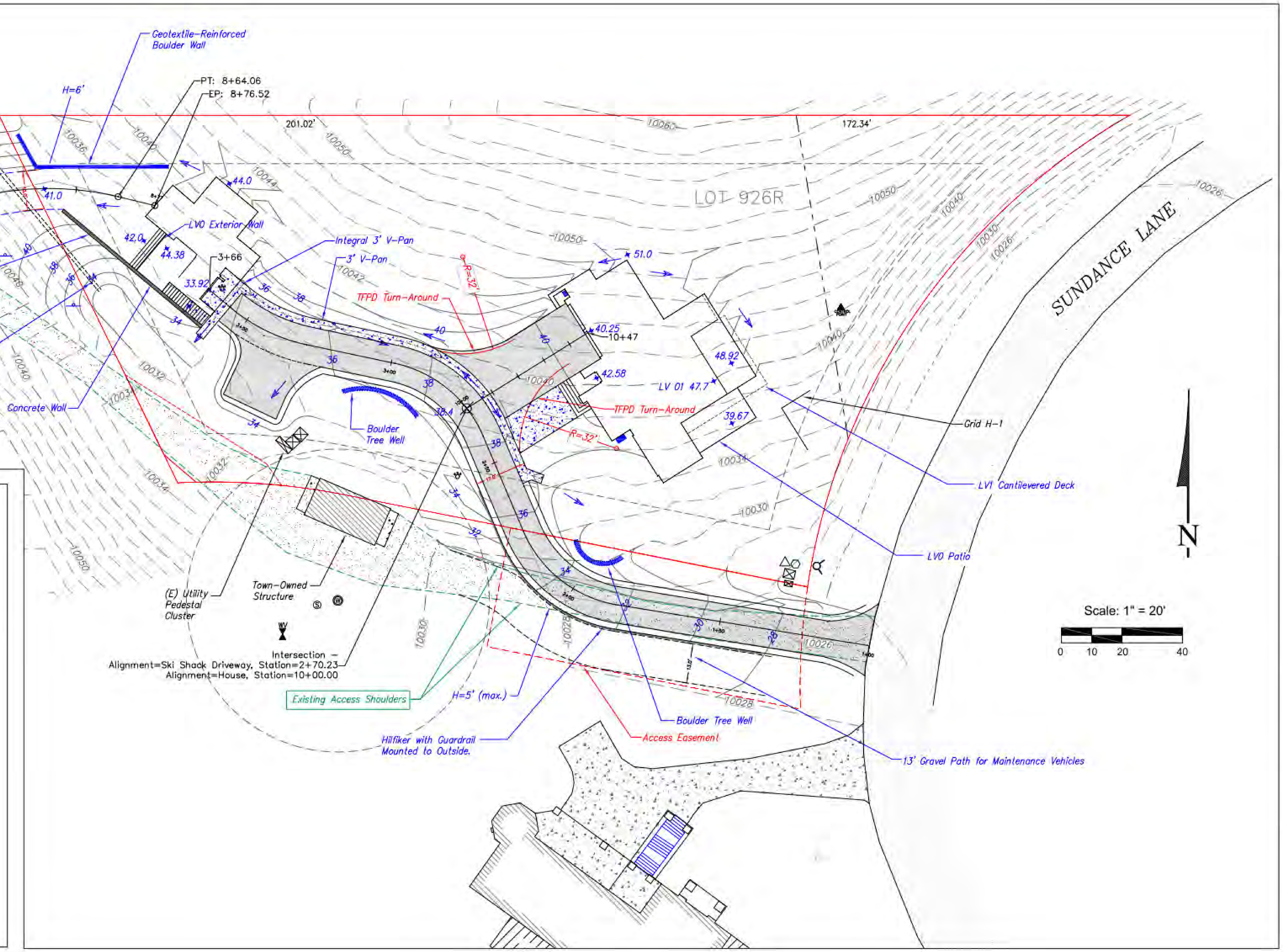
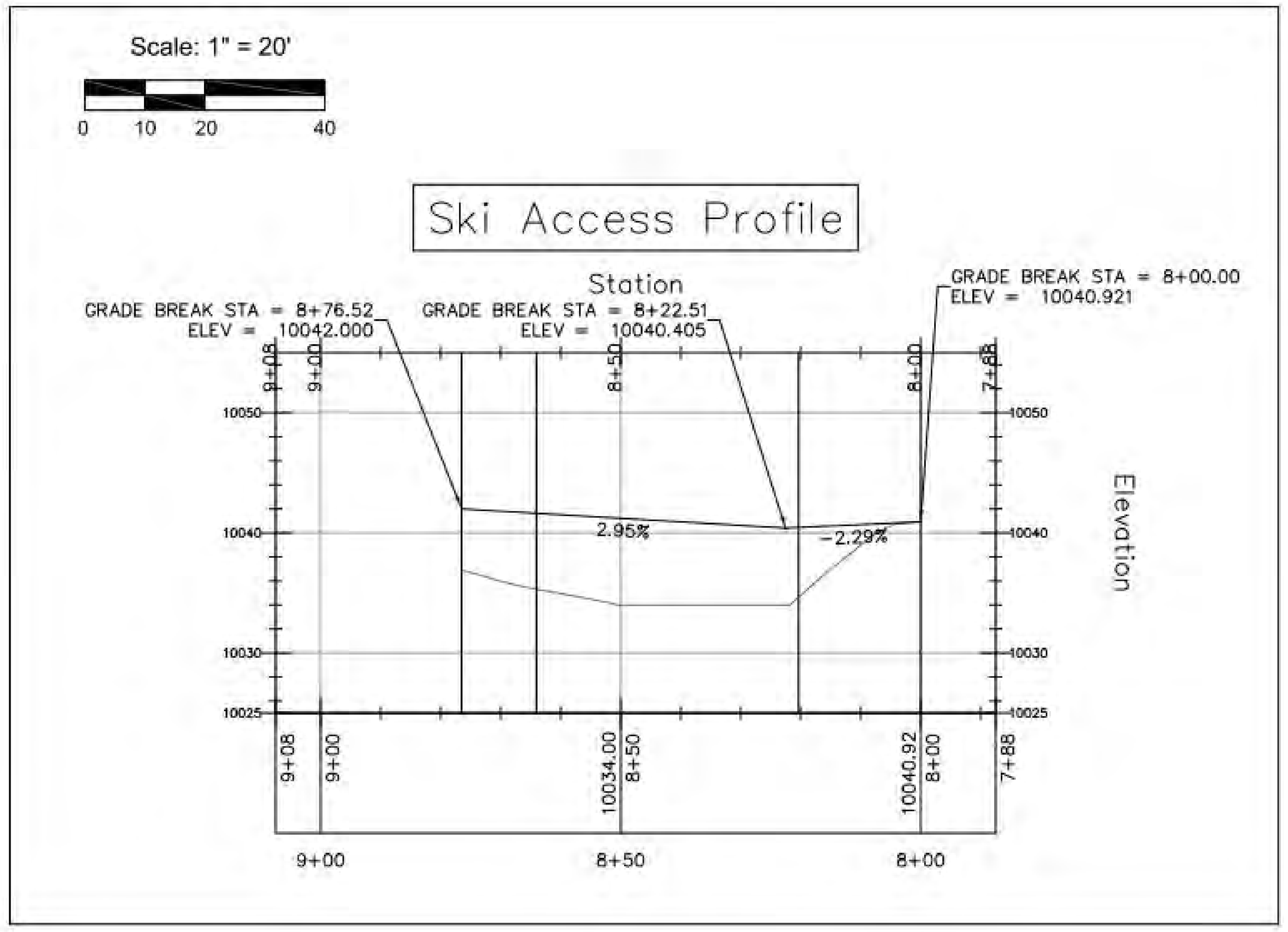
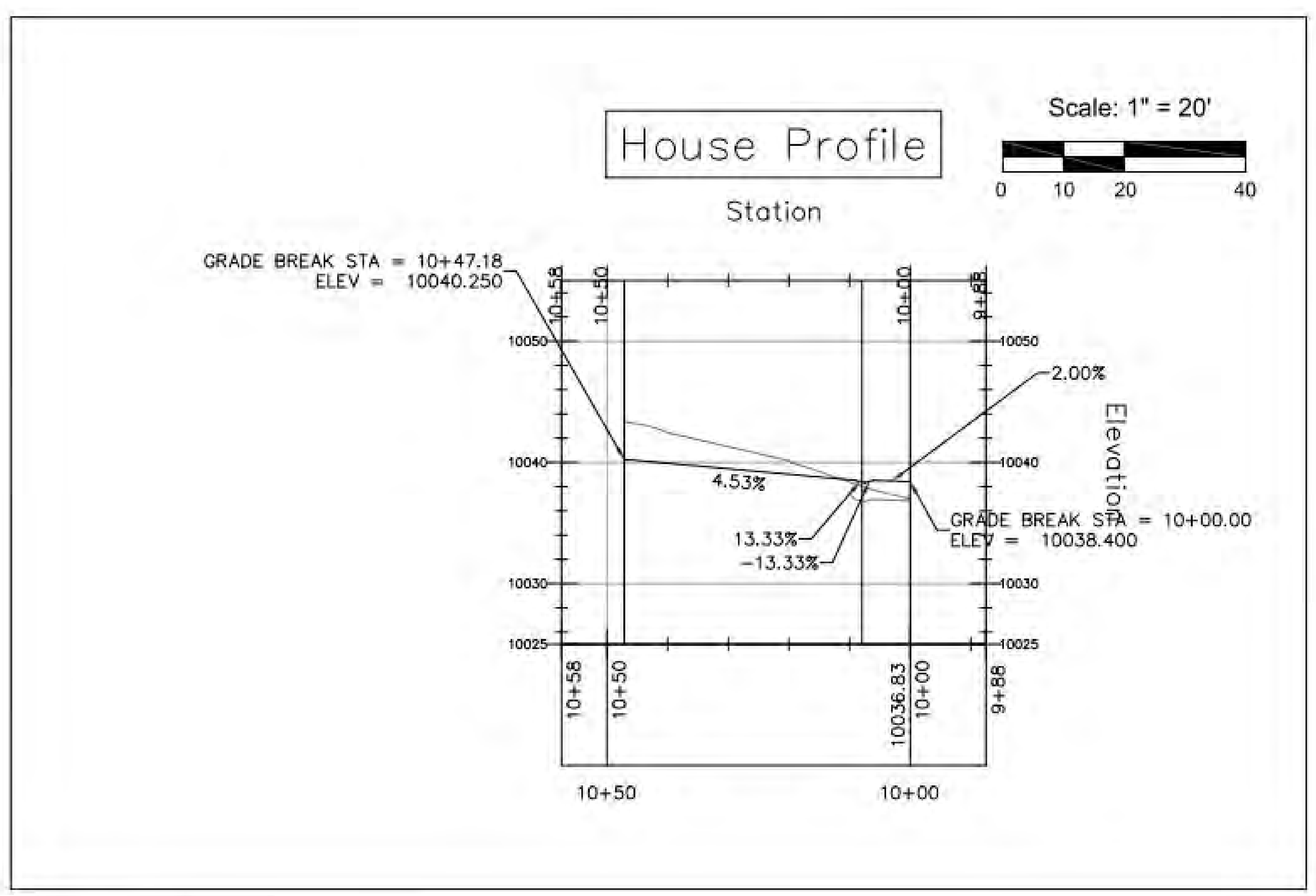
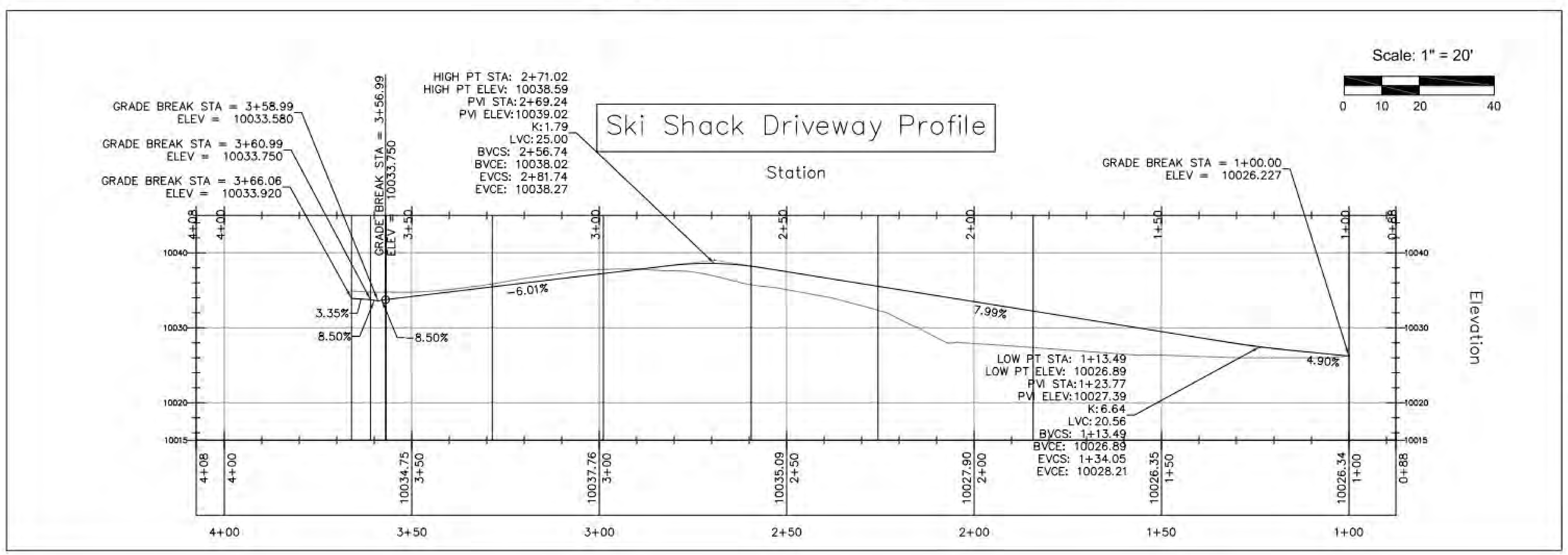
Notes

C1









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970-729-0683

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SUBMITTAL	2024-01-22
SUBMITTAL	2024-04-16
SUBMITTAL	2024-05-06

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Mtn. Village, CO

COLORADO LICENSED 29645 05-06-2024 PROFESSIONAL ENGINEER

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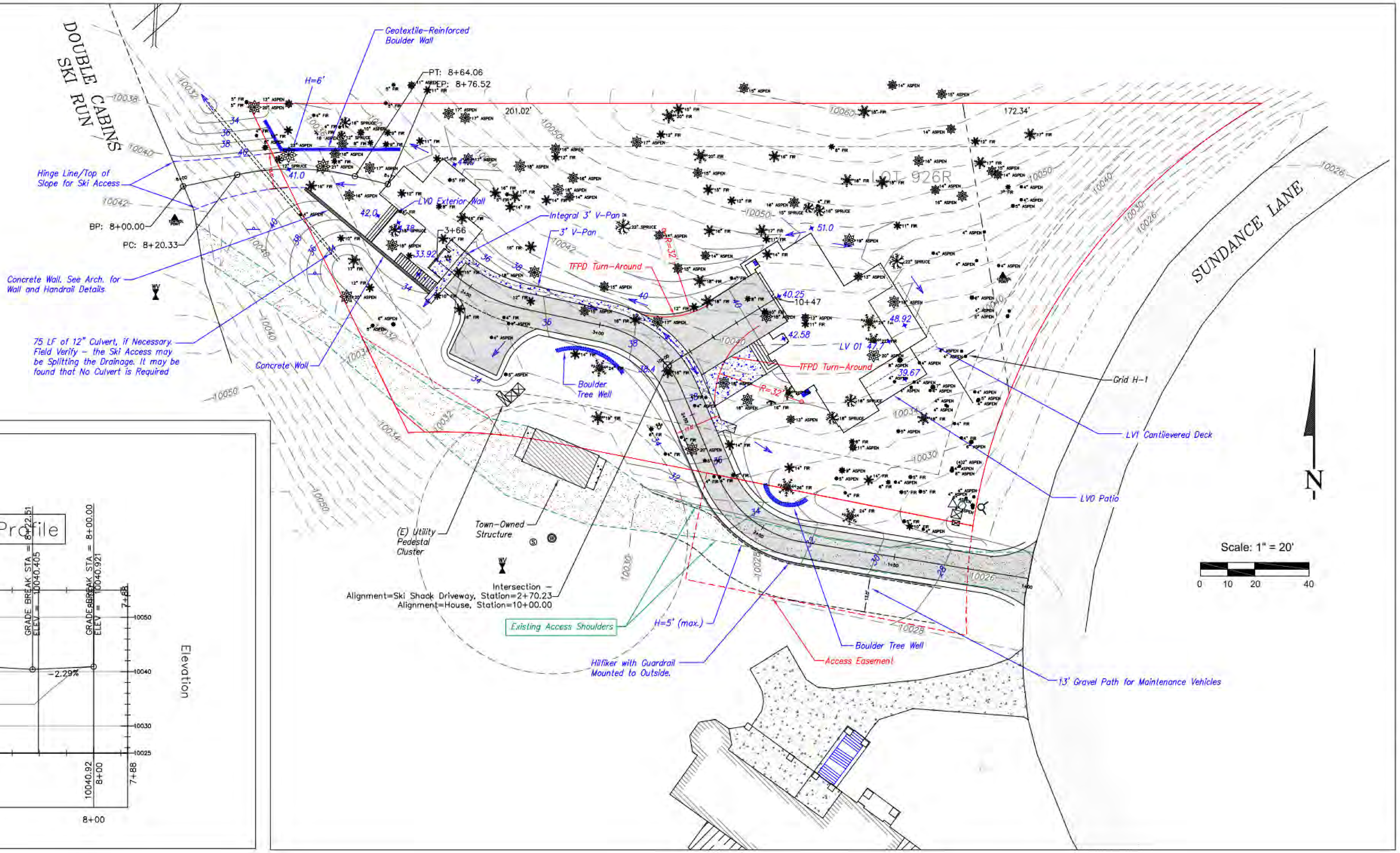
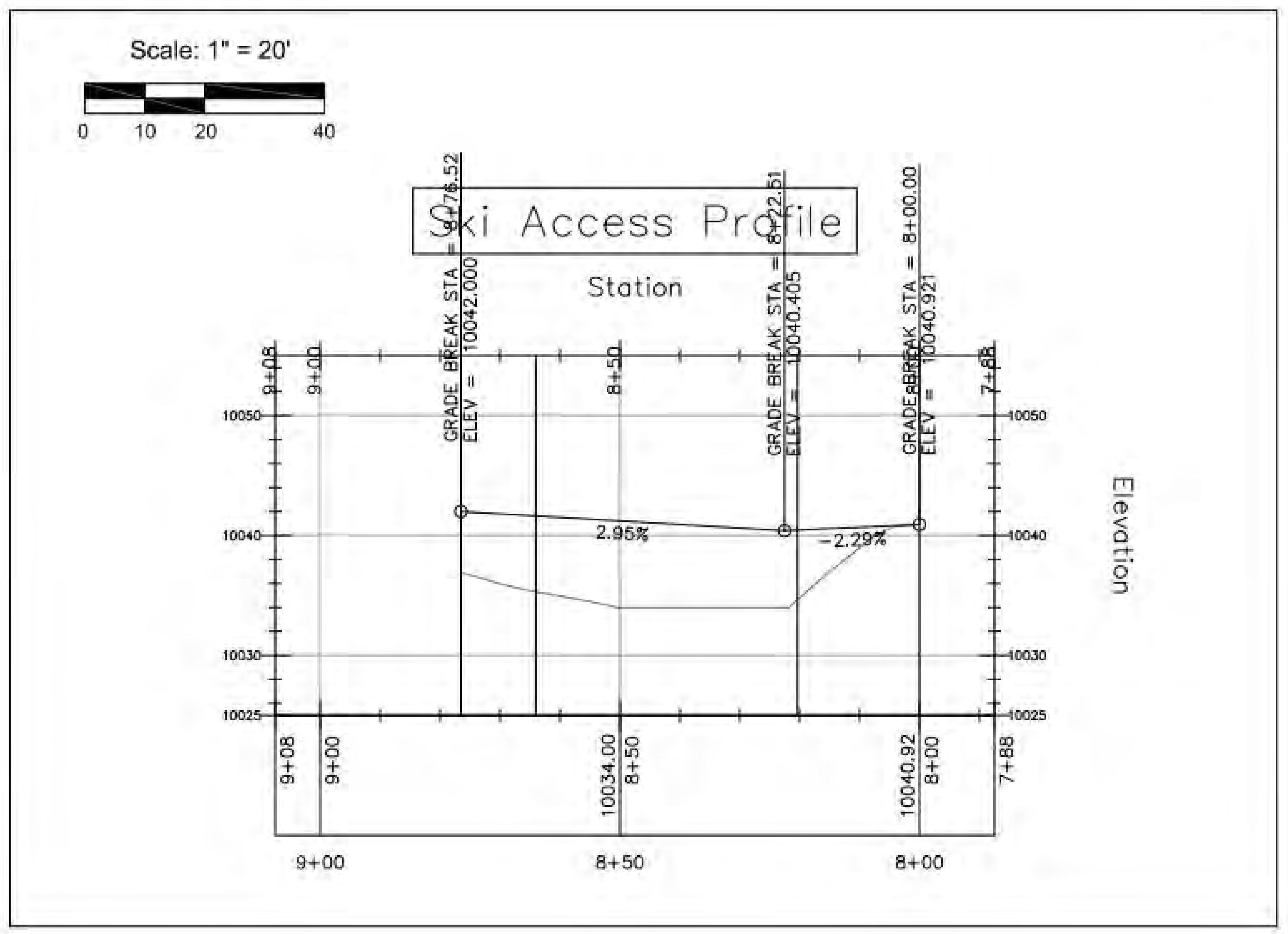
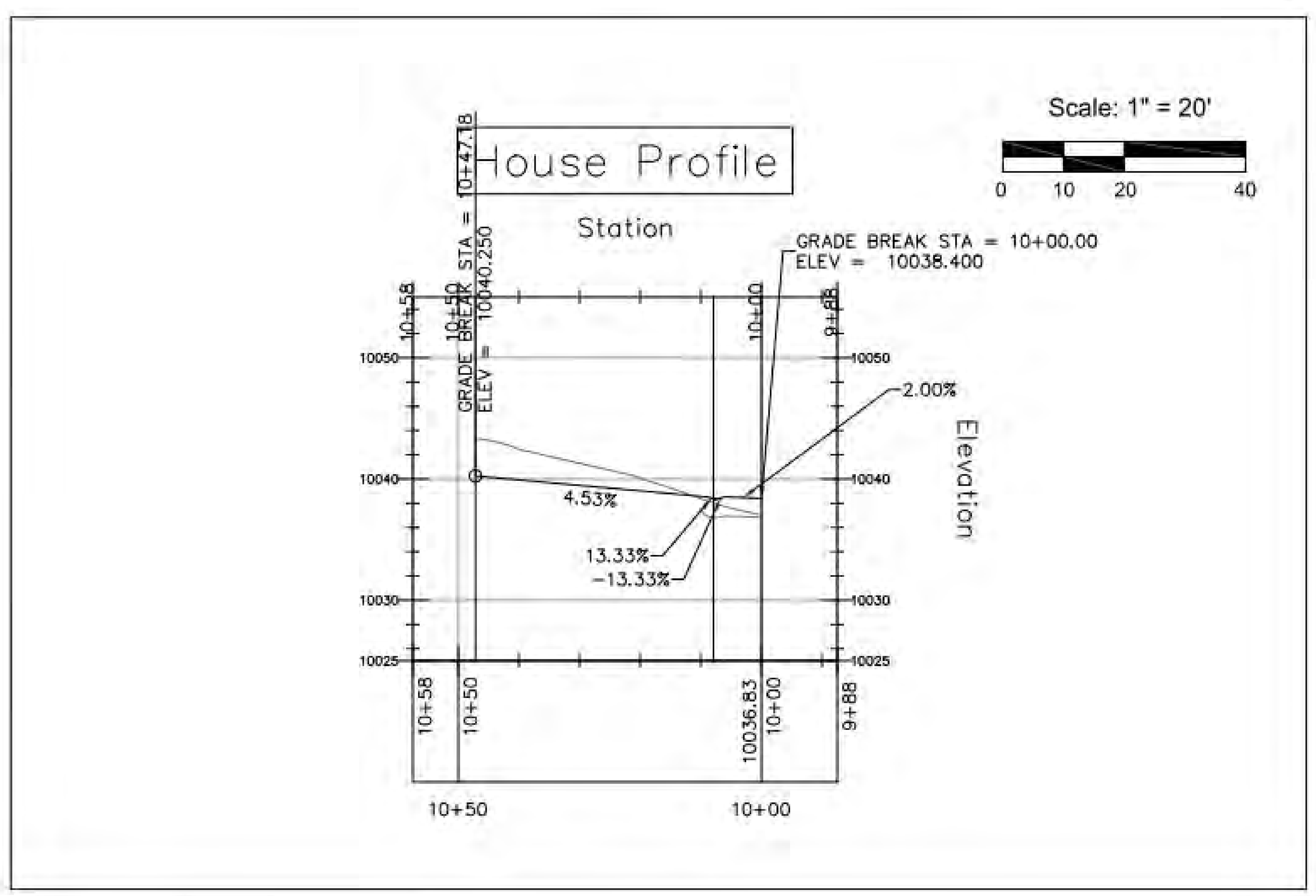
Site Grading

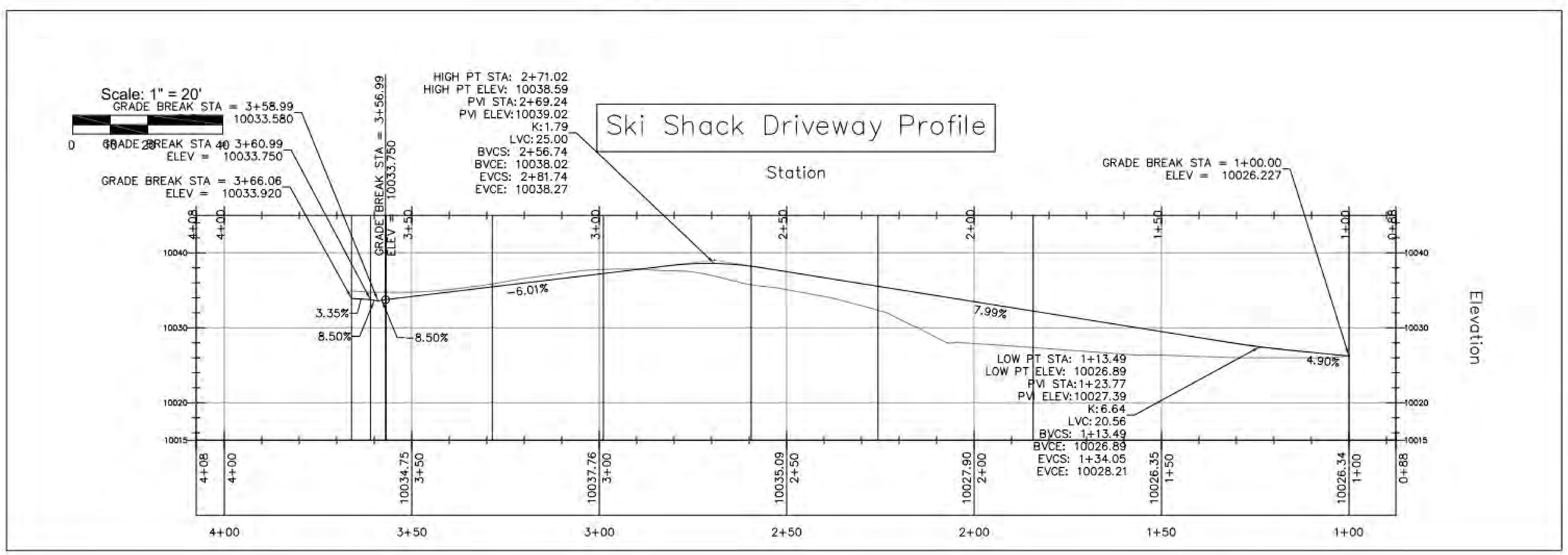
No Trees Displayed

C2.1









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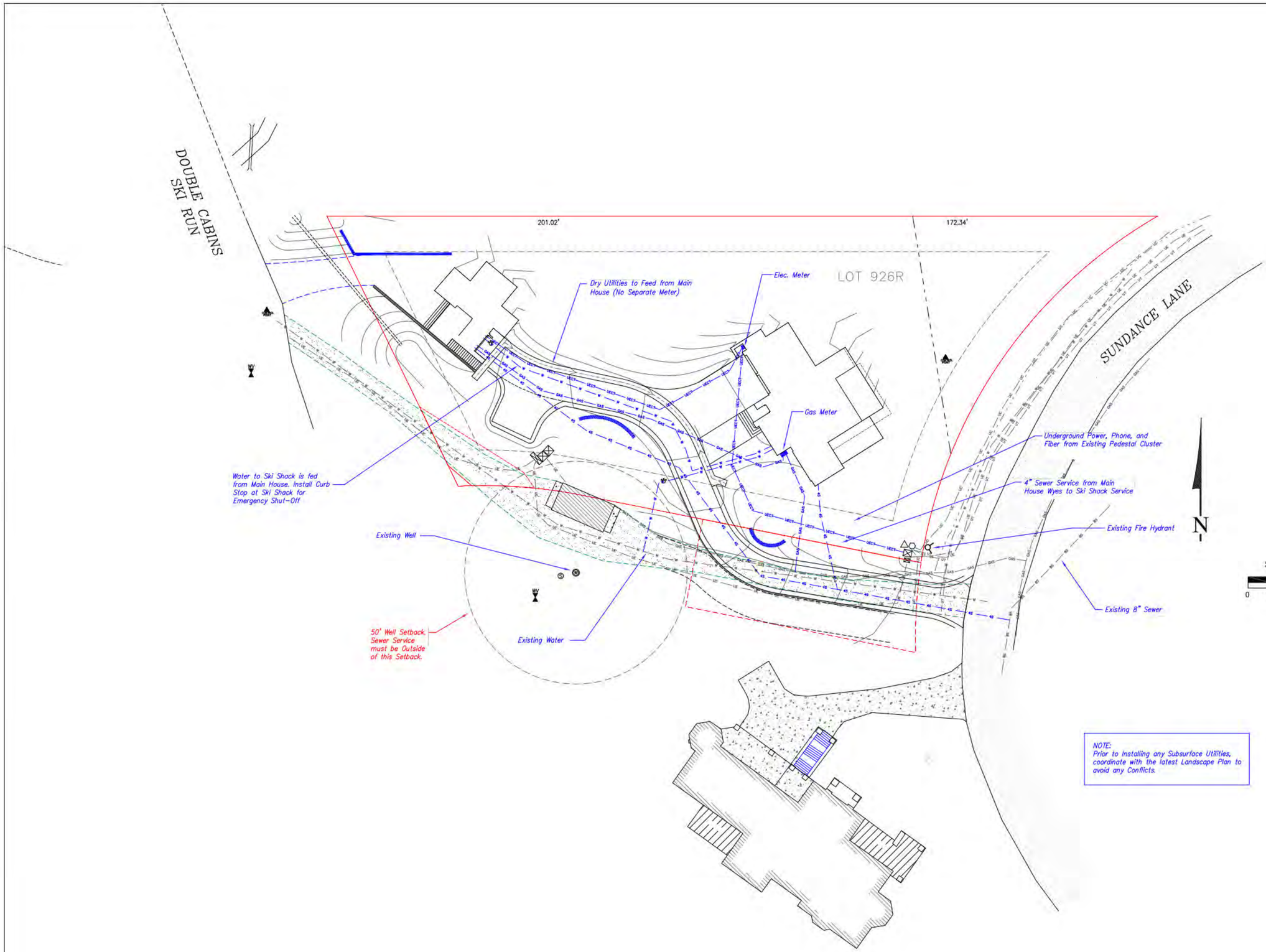
Mtn. Village, CO

COLORADO LICENSED PROFESSIONAL ENGINEER 29645 05-06-2024

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading with Existing Trees Displayed

C2.2



Uncompahgre Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2023-12-07
SUBMITTAL	2024-01-22
SUBMITTAL	2024-04-16
SUBMITTAL	2024-05-06

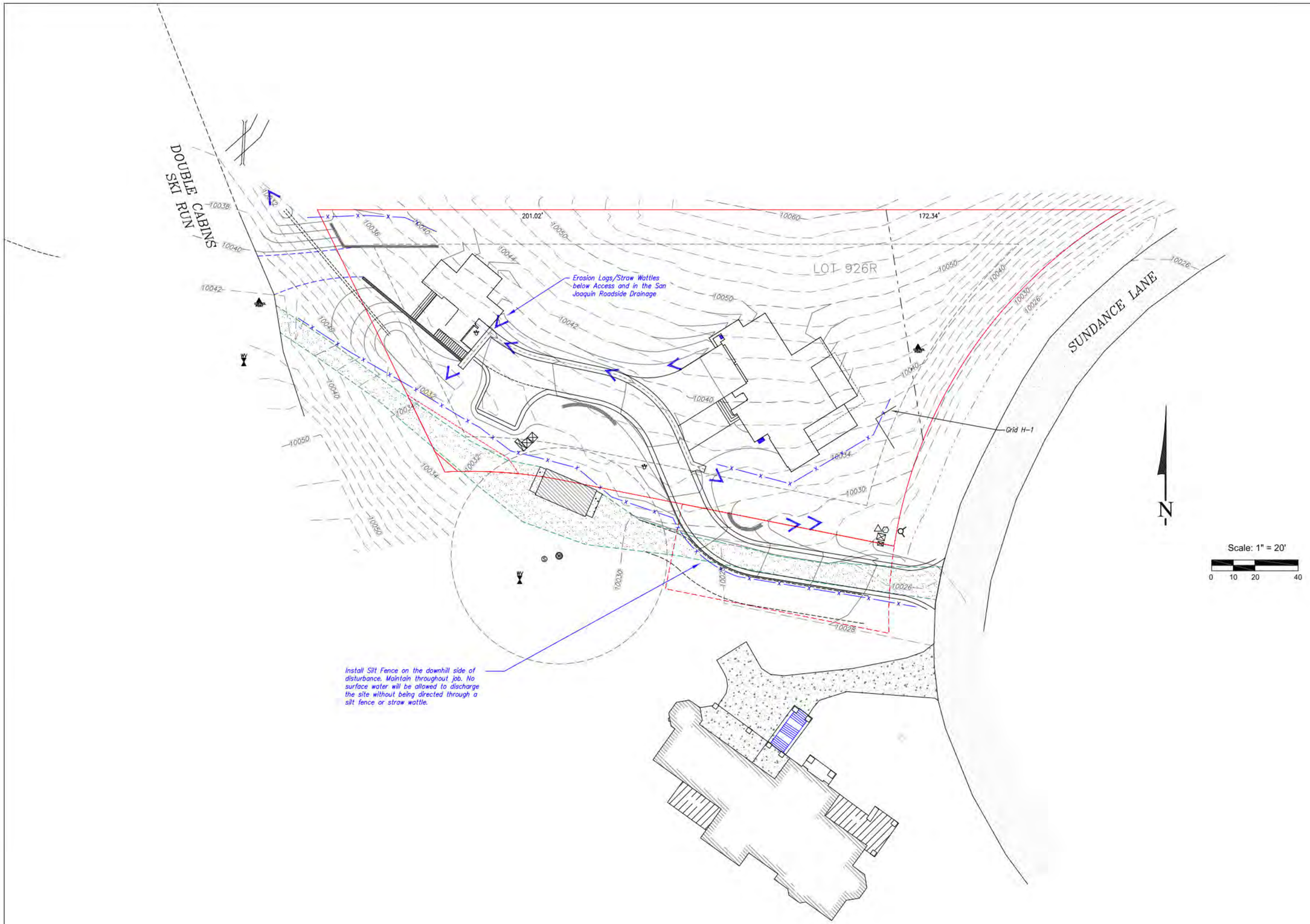
133 Sundance
Mtn. Village, CO

COLORADO LICENSED
CHRIS HAWKINS
29645
05-06-2024
PROFESSIONAL ENGINEER

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3



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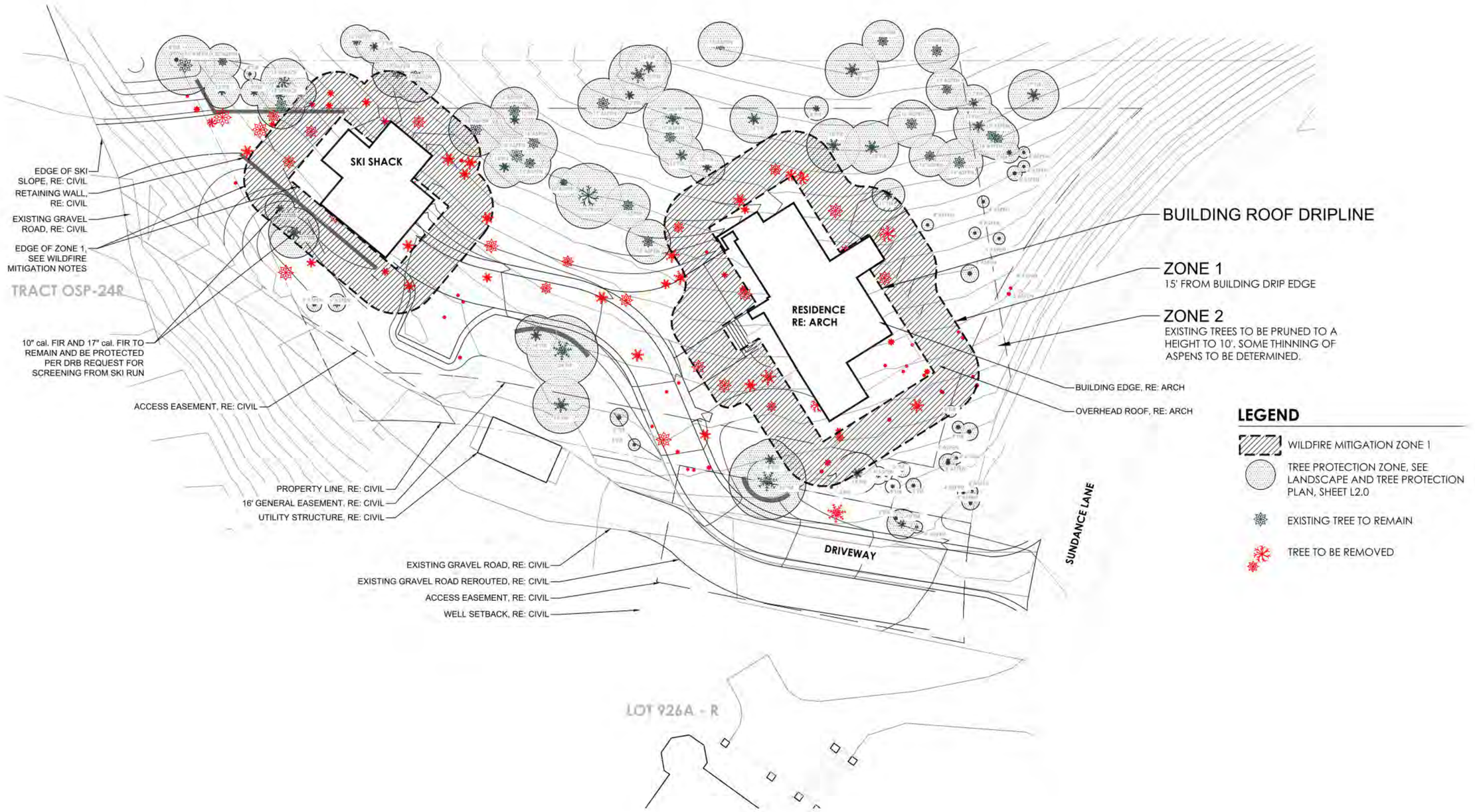
Erosion Control

C4



WILDFIRE MITIGATION NOTES

ZONE 1 (15' OFFSET FROM BUILDING DRIPLINE) - ALL EXISTING TREES GREATER THAN 4" CALIPER WILL BE REMOVED. ALL PROPOSED PLANTINGS IN ZONE 1 WILL BE SHRUBS, GRASSES AND PERENNIALS SELECTED FROM A FIREWISE PLANT MATERIAL LIST AND WILL BE IRRIGATED. ALL PROPOSED PLANTINGS WILL NOT BE PLANTED DIRECTLY BENEATH WINDOWS OR NEXT TO FOUNDATION VENTS.

ZONE 2 - (THE REMAINING PORTION OF THE PROPERTY IS CONSIDERED ZONE 2) - ALL LADDER FUELS AND SLASH SHALL BE REMOVED FROM THE TEN FOOT (10') CROWN-TO-CROWN SEPARATION AREA. ALL STRESSED, DISEASED AND DYING TREES AND SHRUBS AS IDENTIFIED BY STAFF, SHALL BE REMOVED. ALL CONIFEROUS TREES WILL BE ASSESSED AND CONFORM TO THE 10' CROWN TO CROWN SEPARATION AREA. TREES WILL BE ASSESSED AT THE TIME OF SITE PREPARATION FOR SPACING, HEALTH AND WIND THROW OR SNOW BREAKAGE POTENTIAL. REMAINING TREES IN ZONE 2 WILL HAVE BRANCHES PRUNED TO A HEIGHT OF 10' FROM THE GROUND BUT WILL NOT BE PRUNED TO MORE THAN $\frac{1}{3}$ OF THE TREE HEIGHT WITH THE FOLLOWING EXCEPTIONS:

I.) ASPEN TREES, AND
II.) ISOLATED SPRUCE AND FIR TREES

SCALE 0 8 16 1" = 16'-0"

SUPERBLOOM
750 Pennsylvania St
Denver, Colorado 80203
720.440.2668

Submissions

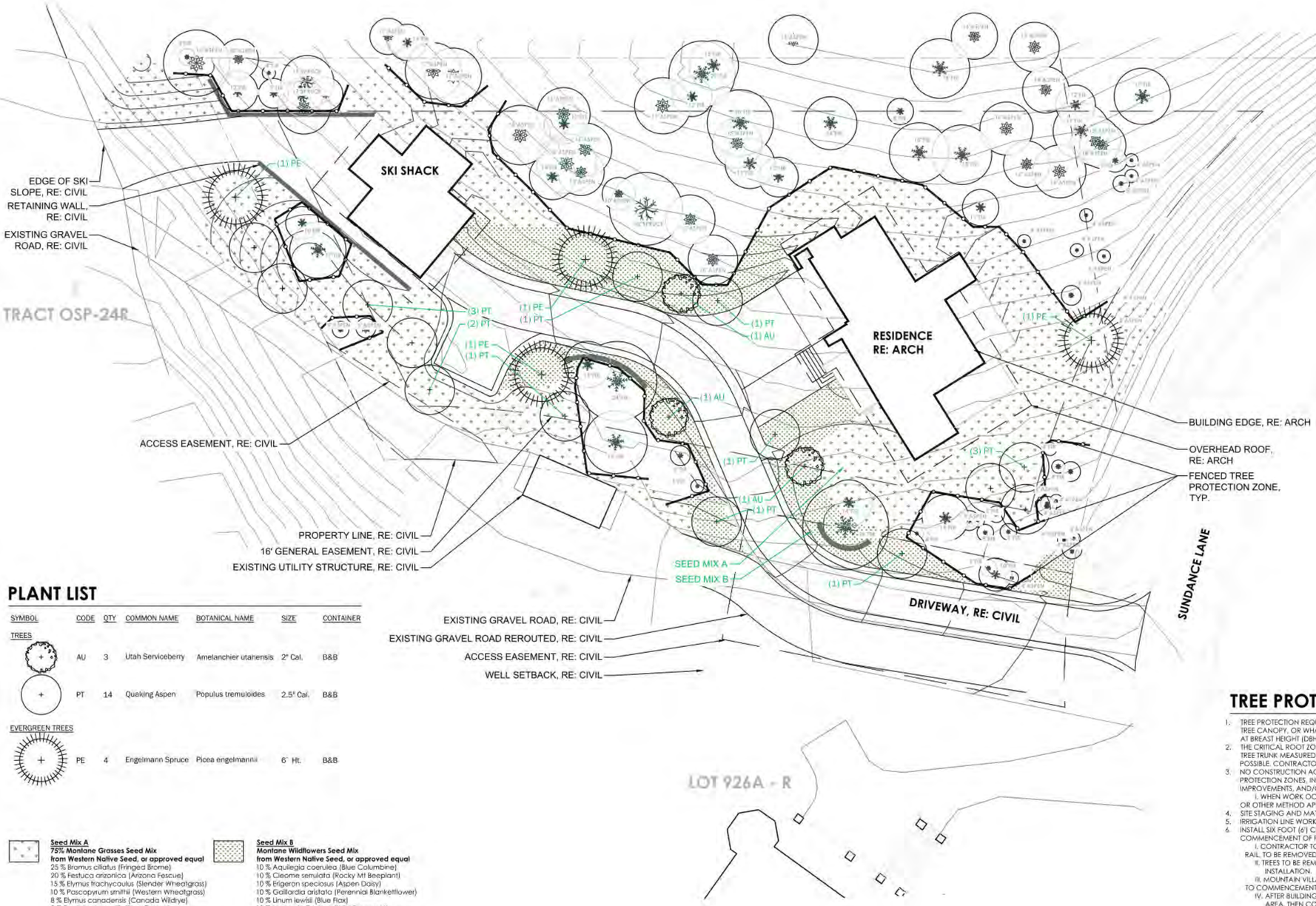
DRB 1	FEBRUARY 13, 2024
DRB 2	JUNE 6, 2024

133 SUNDANCE

MOUNTAIN VILLAGE,
CO | 81435

Wildfire Mitigation Plan

L1.0



PLANT LIST

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	CONTAINER
TREES						
	AU	3	Utah Serviceberry	Amelanchier utahensis	2" Cal.	B&B
	PT	14	Quaking Aspen	Populus tremuloides	2.5" Cal.	B&B
EVERGREEN TREES						
	PE	4	Engelmann Spruce	Picea engelmannii	6` Ht.	B&B

Seed Mix A
75% Montane Grasses Seed Mix
from Western Native Seed, or approved equal
25 % Bromus ciliatus (Fringed Brome)
20 % Festuca arizonica (Arizona Fescue)
15 % Elymus trachycaulus (Slender Wheatgrass)
10 % Pascopyrum smithii (Western Wheatgrass)
8 % Elymus canadensis (Canada Wildrye)
5 % Bouteloua gracilis (Blue Grama)
5 % Koeleria macrantha (Junegrass)
5 % Pseudoroegneria spicata (Bluebunch Wheatgrass)
3 % Schlachyrium scoparium (Little Bluestem)
2 % Sporobolus cryptandrus (Little Bluestem)
1 % Muhlenbergia montana (Mountain Muhly)
1 % Poa fendleriana (Muttongrass)

25% Montane Erosion Control Grasses Seed Mix
from Western Native Seed, or approved equal
35 % Festuca saximontana (Rocky Mt Fescue)
35 % Poa secunda (Sandberg Bluegrass)
15 % Koeleria macrantha (Junegrass)
15 % Bouteloua gracilis (Blue Grama)

Seed Mix B
Montane Wildflowers Seed Mix
from Western Native Seed, or approved equal
10 % Aquilegia caerulea (Blue Columbine)
10 % Cleome serrulata (Rocky Mt Beeplant)
10 % Erigeron speciosus (Aspen Daisy)
10 % Gaillardia aristata (Perennial Blanketflower)
10 % Linum lewisii (Blue Flax)
10 % Monarda fistulosa (Wild Bergamot)
10 % Penstemon strictus (Rocky Mt Penstemon)
10 % Symphyotrichum laeve (Smooth Blue Aster)
5 % Rudbeckia hirta (Blackeyed Susan)
4 % Eriogonum umbellatum (Sulfurflower Buckwheat)
4 % Penstemon eatonii (Firecracker Penstemon)
3 % Helianthella multiflora (Showy Goldeneye)
1 % Penstemon glaber alpinus (Sawsepal Penstemon)
1 % Penstemon griffinii (Griffin Penstemon)
1 % Penstemon virgatus (Wand Penstemon)
0.5 % Lupinus sericeus (Silky Lupine)
0.25 % Ipomopsis aggregata (Scarlet Gilia)
0.25 % Penstemon virens (Bluemist Penstemon)

LANDSCAPE GENERAL NOTES

1. REFER TO CIVIL ENGINEER'S UTILITY AND GRADING PLANS FOR UTILITY LOCATION AND GRADING.
2. ALL TREES AND SHRUBS SHALL BE FIELD LOCATED BY PROJECT ARCHITECT OR LANDSCAPE DESIGNER.
3. ALL TREES AND SHRUBS SHALL BE BACK FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
4. PLANTED TREES SHALL BE STAKED WITH FOUR FOOT METAL POST. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRAPS.
5. PERENNIAL PLANTING BEDS SHALL BE TILLED TO A SIX INCH (6") DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
6. SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
7. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS. SHREDDED CEDAR BARK.
8. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
9. ALL PLANTED MATERIALS SHALL BE NON-NOXIOUS SPECIES AS SPECIFIED WITHIN THE SAN MIGUEL COUNTY NOXIOUS WEEK LIST. LANDSCAPING SHOWN ON THE LANDSCAPE PLAN SHALL COMPLY WITH SECTION 17.7.9.C.6g OF THE COMMUNITY DEVELOPMENT CODE REGARDING NOXIOUS WEEDS.
10. NO TREES TO BE REMOVED OUTSIDE OF THE BUILDING ENVELOPE EXCEPT AS REQUIRED FOR FIRE MITIGATION AND/OR AS DESIGNATED BY THE TOWN FORESTER.
11. SEED WITH NATIVE GRASS SEED MIX. IF APPLICABLE, IS REQUIRED IN ALL DISTURBED AREAS ON THE PERIMETER OF THE BUILDING SITE AND AT UTILITY AND ROAD CUTS.
12. TREES TO BE PLANTED A MINIMUM OF 4 FEET FROM FACE OF BUILDING, OR PAVEMENT, EXCEPT AS APPROVED BY LANDSCAPE ARCHITECT.
13. ALL TREES AND SHRUBS SHALL MEET THE MINIMUM PLANT SIZE REQUIREMENTS IN TOWN OF MOUNTAIN VILLAGE LANDSCAPE REGULATIONS.
14. STEEP SLOPES THAT ARE GREATER THAN 30% WILL BE REVEGETATED WITH THE APPROPRIATE, BIODEGRADEABLE NETTING, SUCH AS COCONUT NETTING OR SIMILAR THAT ALLOWS THE NATIVE GRASS TO GROW UP THROUGH IT AND PREVENT EROSION.
15. TREE PROTECTION FENCING IS TO BE INSTALLED OUTSIDE THE DRIPLINE OF ALL EXISTING TREES TO BE PRESERVED TO INDICATE TREE PROTECTION ZONES (TPZ). NO CONSTRUCTION ACTIVITIES SHALL BE PERMITTED IN ANY TPZ, INCLUDING EXCAVATION, BACKFILL, STAGING, MATERIAL STORAGE, EQUIPMENT SETUP, STAGING, OR HUMAN ENTRY.
16. CONTRACTOR TO OVERSEED ANY AREAS DISTURBED BY CONSTRUCTION WITH THE NATIVE GRASS SEED MIX AS SPECIFIED PRIOR TO FINAL ACCEPTANCE.

LEGEND

- PROPERTY LINE
- TREE PROTECTION FENCING, SEE NOTES, THIS SHEET
- NATIVE SEED MIX
- ENHANCED NATIVE SEED MIX
- PROPOSED DECIDUOUS TREE
- PROPOSED EVERGREEN TREE
- PROPOSED ORNAMENTAL TREE
- EXISTING TREE TO REMAIN

TREE PROTECTION NOTES

1. TREE PROTECTION REQUIREMENTS: A. TREE PROTECTION ZONE (TPZ) SHALL BE INSTALLED AT THE DRIPLINE, FURTHEST EXTENT OF TREE CANOPY, OR WHAT IS EQUAL TO EIGHTEEN INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT BREAST HEIGHT (DBH = 4.5' ABOVE SOIL LINE), WHICHEVER IS GREATER.
2. THE CRITICAL ROOT ZONE (CRZ) IS THE AREA WITHIN THE TPZ AND EQUAL TO 1 LINEAR FOOT RADIUS PER 1-INCH DIAMETER OF TREE TRUNK MEASURED AT 4.5 FEET ABOVE THE GROUND.NO ROOT DISTURBANCE SHALL OCCUR WITHIN THE CRZ, A. IF NOT POSSIBLE. CONTRACTOR MUST MEET WITH MOUNTAIN VILLAGE FORESTER PERSONNEL ON SITE.
3. NO CONSTRUCTION ACCESS, ACTIVITY, OR STORAGE OF MATERIALS/DEBRIS/EQUIPMENT IS PERMITTED WITHIN TREE PROTECTION ZONES, INCLUDING GRADING, INSTALLATION OF UNDERGROUND UTILITIES, INSTALLATION OF SITE IMPROVEMENTS, AND/OR GRUBBING. ALL CONSTRUCTION ACTIVITY MUST OCCUR OUTSIDE TREE PROTECTION ZONES
   i. WHEN WORK OCCURS WITHIN CRZ, EXCAVATION MUST BE PERFORMED WITH HAND-TOOLS, PNEUMATIC EXCAVATION OR OTHER METHOD APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER.
4. SITE STAGING AND MATERIAL DROP-OFF/DELIVERY SHALL BE COORDINATED TO PRESERVE TREES.
5. IRRIGATION LINE WORK SHALL BE COMPLETED BY DIRECTIONAL BORE.
6. INSTALL SIX FOOT (6') CHAIN LINK FENCING PER PLANS, MAINTAINING MINIMUM 6" OFFSET OF CRZ PRIOR TO COMMENCEMENT OF PROJECT CONSTRUCTION ACTIVITIES.
   i. CONTRACTOR TO UTILIZE 2" STEEL POSTS DRIVEN 18" INTO THE GROUND FOR CHAIN LINK FENCE WITH A RIGID TOP RAIL TO BE REMOVED, PRIOR TO COMPLETION OF CONSTRUCTION.
   ii. TREES TO BE REMOVED WITHIN BOUNDARY OF TREE PROTECTION FENCING ARE TO BE REMOVED PRIOR TO FENCING INSTALLATION.
   iii. MOUNTAIN VILLAGE FORESTER SHALL INSPECT AND APPROVE BOUNDARIES OF TREE PROTECTION ZONE(S) PRIOR TO COMMENCEMENT OF DEMOLITION OR CONSTRUCTION ACTIVITIES.
   iv. AFTER BUILDING PERMIT HAS BEEN ISSUED, CONTRACTOR TO STAKE BUILDING FOOTPRINT AND FLAG DRIVEWAY AREA, THEN CONTACT MOUNTAIN VILLAGE FORESTER TO FLAG TREES TO BE REMOVED. NO TREE REMOVAL SHALL OCCUR PRIOR TO TREE REMOVAL PERMIT ISSUANCE. THE TREE PROTECTION FENCING WILL NEED TO BE INSTALLED BEFORE EXCAVATION BEGINS. AFTER TREE REMOVAL INSPECTION.
   v. FENCE TO BE MAINTAINED IN PROPER CONDITION THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION. UNTIL FINAL ACCEPTANCE WHEN FENCING IS TO BE REMOVED.
7. ONCE TPZ FENCING IS IN PLACE, THE FOLLOWING ARE NOT PERMITTED WITHIN TPZ WITHOUT PRIOR WRITTEN APPROVAL FROM MOUNTAIN VILLAGE FORESTER:
   i. ENTRANCE AND/OR ACCESS.
   ii. MOVING, RESIZING, REMOVING, OR ALTERING IN ANY MANNER;
   iii. STORAGE OF MATERIALS/DEBRIS/EQUIPMENT.
   iv. CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO: ROTOTILLING, TRENCHING, GRADING, INSTALLATION OF UNDERGROUND UTILITIES AND/OR SITE IMPROVEMENTS, LANDSCAPING, IRRIGATION WORK.
8. "TREE PROTECTION ZONE" SIGNS SHALL REMAIN IN PLACE AS POSTED BY CONTRACTOR AND SHALL BE MAINTAINED IN THE CONDITION IN WHICH THEY WERE INSTALLED. "TREE PROTECTION ZONE. NO ENTRY WITHOUT WRITTEN PERMISSION" MUST BE WRITTEN ON SIGN; LAMINATED PAPER IS SUFFICIENT.
9. TREE PRUNING FOR CLEARANCE ISSUES MUST HAVE PRIOR AUTHORIZATION BY MOUNTAIN VILLAGE FORESTER
10. CLEAR VISIBILITY INTO TPZ MUST BE MAINTAINED. ALL CONSTRUCTION BANNERS, SCREENS, BARRIERS, AND/OR SIGNS (EXCEPT MOUNTAIN VILLAGE FORESTER-POSTED TPZ SIGNS) MUST BE SEMI-TRANSPARENT AND NOT IMPEDE INSPECTION OF TPZ BY MOUNTAIN VILLAGE FORESTER.

SCALE 0 8 16 1" = 16'-0"

SUPERBLOOM
750 Pennsylvania St
Denver, Colorado 80203
720.440.2668

Submissions

DRB 1	FEBRUARY 13, 2024
DRB 2	JUNE 6, 2024

133 SUNDANCE

MOUNTAIN VILLAGE, CO | 81435

Landscape and Tree Protection Plan

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND REFERENCED PLANS' DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

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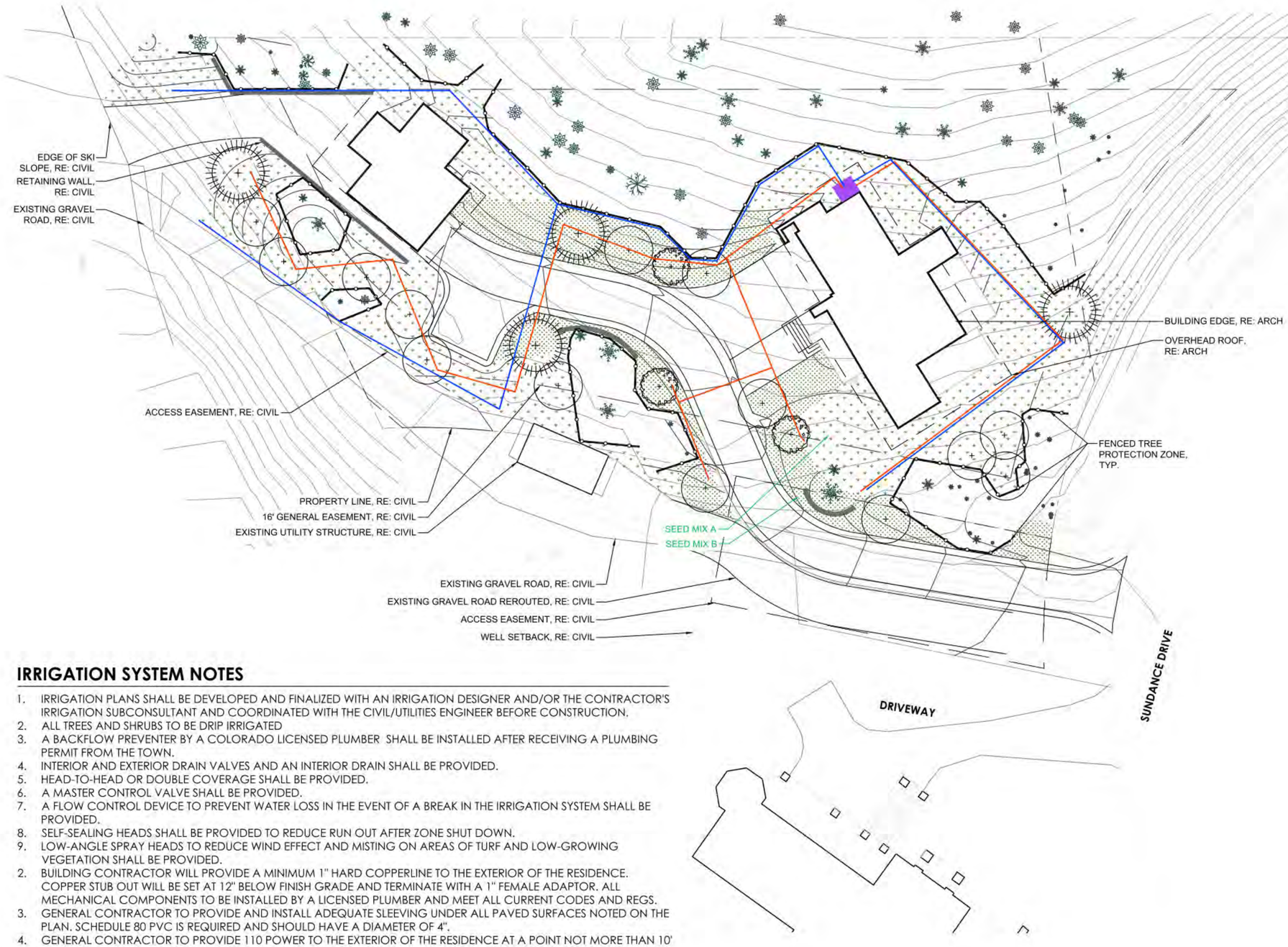

LEGEND

- DRIP (TREES, SHRUBS)
  SHUT DRIP ZONES OFF TWO (2) FULL GROWING SEASONS AFTER PLANT ESTABLISHMENT
- SPRAY HEADS (LAWN AREA/TURF, PERENNIALS, GARDEN BEDS)
  SEPARATE ZONES REQUIRED
- ROTOR (NATIVE SEED, REVEGETATION)
  SHUT DRIP ZONES OFF TWO (2) FULL GROWING SEASONS AFTER PLANT ESTABLISHMENT
- 180 ROTOR /SPRAY HEAD
- EXISTING TREE TO REMAIN (NON-IRRIGATED)
- PROPOSED TREE (DRIP IRRIGATED)
- IRRIGATION CONTROLLER

IRRIGATION SYSTEM NOTES

1. IRRIGATION PLANS SHALL BE DEVELOPED AND FINALIZED WITH AN IRRIGATION DESIGNER AND/OR THE CONTRACTOR'S IRRIGATION SUBCONSULTANT AND COORDINATED WITH THE CIVIL/UTILITIES ENGINEER BEFORE CONSTRUCTION.
2. ALL TREES AND SHRUBS TO BE DRIP IRRIGATED
3. A BACKFLOW PREVENTER BY A COLORADO LICENSED PLUMBER SHALL BE INSTALLED AFTER RECEIVING A PLUMBING PERMIT FROM THE TOWN.
4. INTERIOR AND EXTERIOR DRAIN VALVES AND AN INTERIOR DRAIN SHALL BE PROVIDED.
5. HEAD-TO-HEAD OR DOUBLE COVERAGE SHALL BE PROVIDED.
6. A MASTER CONTROL VALVE SHALL BE PROVIDED.
7. A FLOW CONTROL DEVICE TO PREVENT WATER LOSS IN THE EVENT OF A BREAK IN THE IRRIGATION SYSTEM SHALL BE PROVIDED.
8. SELF-SEALING HEADS SHALL BE PROVIDED TO REDUCE RUN OUT AFTER ZONE SHUT DOWN.
9. LOW-ANGLE SPRAY HEADS TO REDUCE WIND EFFECT AND MISTING ON AREAS OF TURF AND LOW-GROWING VEGETATION SHALL BE PROVIDED.
2. BUILDING CONTRACTOR WILL PROVIDE A MINIMUM 1" HARD COPPERLINE TO THE EXTERIOR OF THE RESIDENCE. COPPER STUB OUT WILL BE SET AT 12" BELOW FINISH GRADE AND TERMINATE WITH A 1" FEMALE ADAPTOR. ALL MECHANICAL COMPONENTS TO BE INSTALLED BY A LICENSED PLUMBER AND MEET ALL CURRENT CODES AND REGS.
3. GENERAL CONTRACTOR TO PROVIDE AND INSTALL ADEQUATE SLEEVING UNDER ALL PAVED SURFACES NOTED ON THE PLAN. SCHEDULE 80 PVC IS REQUIRED AND SHOULD HAVE A DIAMETER OF 4".
4. GENERAL CONTRACTOR TO PROVIDE 110 POWER TO THE EXTERIOR OF THE RESIDENCE AT A POINT NOT MORE THAN 10' AWAY FROM WATER SOURCE STUB OUT. CONTROLLER TO BE PROVIDED, INSTALLED, AND WIRED BY IRRIGATION CONTRACTOR .
5. GENERAL CONTRACTOR TO ENSURE A FLOW RATE OF 24 GPM MINIMUM 55 PSI FROM THE PROVIDED SOURCE.100% HEAD TO HEAD COVERAGE REQUIRED ON ALL POP UP AND ROTOR NOZZLES.
6. MAINLINE ISOLATION VALVE TO BE INSTALLED IN MECHANICAL ROOM BEFORE BACKFLOW RP VALVE.
7. HALF INCH LATERAL POLY LINE WITH TWO 2-GALLON EMITTERS OR SIMILAR FOR EACH SHRUB AND ONE RING IN-LINE EMITTER 1/4" TUBING FOR TREES.
8. HUNTER PRESSURE COMPENSATION SYSTEM WITH BUILT-IN CHECK VALVE TO PREVENT EMITTER CLOGGING AND WATER LOSS, AS WELL AS TO ENSURE EVEN FLOWS ON ALL TERRAINS AND LATERAL LENGTHS, IS RECOMMENDED.
9. VACUUM/AIR RELEASE BALL VALVE TO BE INSTALLED IF SYSTEM IS RUNNING LENGTHS OVER SIGNIFICANT ELEVATION CHANGES TO PREVENT PIPE COLLAPSE.
10. ALL ZONES TO RUN AT < 80% OF SYSTEM CAPACITY.
11. ALL ROTOR ZONES TO BE ABANDONED UPON ESTABLISHMENT OF REVEG AREAS OR AFTER THE THIRD GROWING SEASON.
12. WIFI READY CONTROLLER TO BE PAIRED WITH RAIN SENSOR; SENSOR TO BE LOCATED IN AN OPEN AREA.
13. IRRIGATION WATER SOURCE SHALL BE FROM TOWN OF MOUNTAIN VILLAGE TAP. PUMP DESIGN TO BE INCLUDED IN IRRIGATION CONTRACTOR SCOPE.

SCALE 0 8 16 1" = 16'-0"

SUPERBLOOM
750 Pennsylvania St
Denver, Colorado 80203
720.440.2668

Submissions

DRB 1	FEBRUARY 13, 2024
DRB 2	JUNE 6, 2024

133 SUNDANCE

MOUNTAIN VILLAGE, CO | 81435

Conceptual Irrigation Plan

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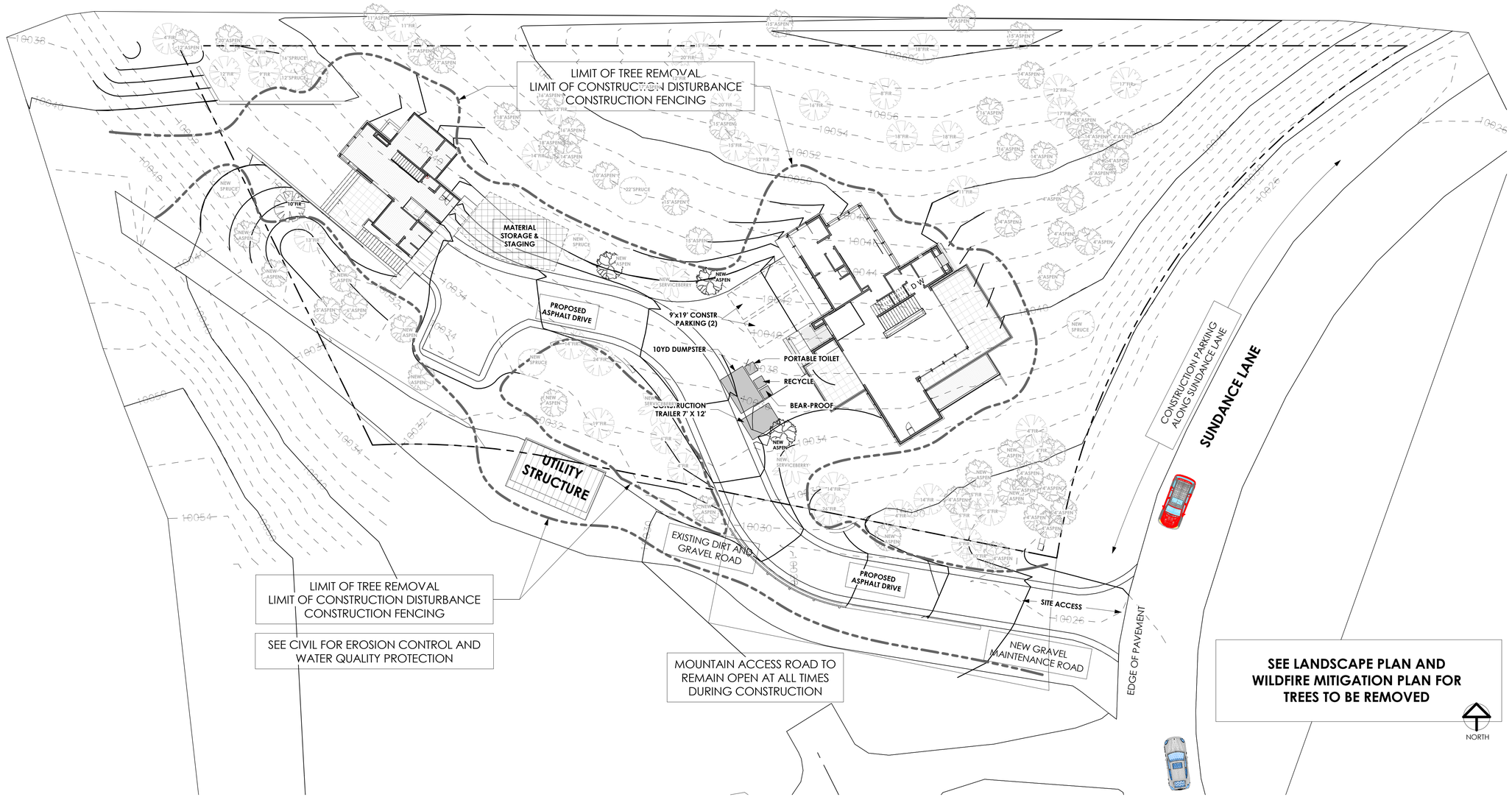

1 Site Plan CMP

SCALE 0 4 8 16 20 1/16" = 1'-0"

CONSTRUCTION MITIGATION PLAN NOTES:

1. VERIFY ALL UTILITY LOCATIONS.
2. EXISTING R.O.W. IMPROVEMENTS MUST BE PROTECTED.
3. R.O.W. OBSTRUCTION PERMIT REQUIRED PRIOR TO ANY OBSTRUCTIONS OF THE R.O.W.
4. CONTRACTOR PARKING ON STREET
5. PROVIDE T.O.T. APPROVED CONSTRUCTION FENCE AS SHOWN.
6. HAUL ROUTE - .

Tommy Hein ARCHITECTS
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STATE OF COLORADO
THOMAS E HEIN, JR.
B-3180
LICENSED ARCHITECT
JUL 2 2024

Submissions

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
INITIAL DRB2	23.10.09
INTERNAL REVIEW	24.01.23
FINAL DRB	24.02.15
FINAL DRB	24.05.07
REVISED FINAL DRB	24.05.28

133 Sundance

Mountain Village, CO 81435

Construction Mitigation Plan

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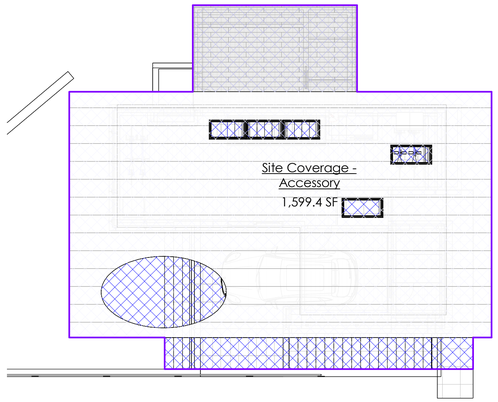
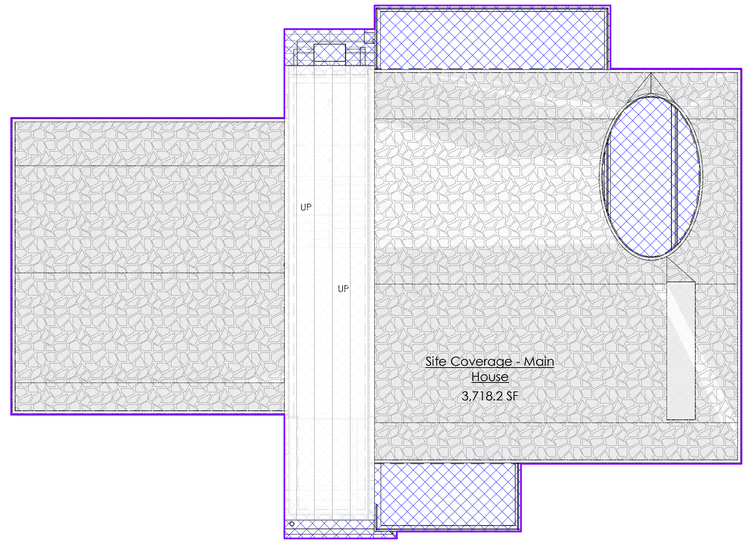


2 Site Coverage - Accessory Building

SCALE 0 1 2 4 8 1/8" = 1'-0"



1 Site Coverage - Main House

SCALE 0 1 2 4 8 1/8" = 1'-0"

SITE COVERAGE AREA SUMMARY

MAX SITE COVERAGE ALLOWED = 40% OF LOT AREA (SINGLE FAMILY LOTS < ONE ACRE)

LOT AREA = 37,374.5 SF

40% OF LOT AREA = 14,949.8 SF ALLOWABLE

Name	Area
Site Coverage - Main House	3,718.2 SF
Site Coverage - Accessory	1,599.4 SF
Total	5,317.6 SF

PROPOSED SITE COVERAGE = 5,317.6 SF -OR- 14.2%. (THIS IS 9,632.2 SF -OR- 25.8% LESS THAN THE MAX ALLOWABLE)

CDC SITE COVERAGE DEFINITION

THE TOTAL HORIZONTAL AREA OF ANY BUILDING, CARPORT, PORTE-COCHERE OR ARCADE AND SHALL ALSO INCLUDE WALKWAYS, ROOF OVERHANGS, EAVES, EXTERIOR STAIRS, DECKS, COVERED PORCHES, TERRACES AND PATIOS.

SUCH HORIZONTAL MEASUREMENT SHALL BE FROM THE DRIP LINES OF BUILDINGS AND FROM THE EXTERIOR SURFACE OF THE TOTAL WALL ASSEMBLY

NOTE: ALL AREAS ARE TAKEN FROM EXTERNAL FACE OF FRAMING OR GRIDLINE.

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Box 3327 108 S. Oak St. Penthouse
Telluride, Colorado 81435
www.tommyhein.com 970.728.1220

STATE OF COLORADO
THOMAS E HEIN, JR.
B-3180
JUL 2 2023
LICENSED ARCHITECT

Submissions

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
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FINAL DRB	24.02.15
FINAL DRB	24.05.07
REVISED FINAL DRB	24.05.28

133 Sundance

Mountain Village, CO 81435

Site Coverage

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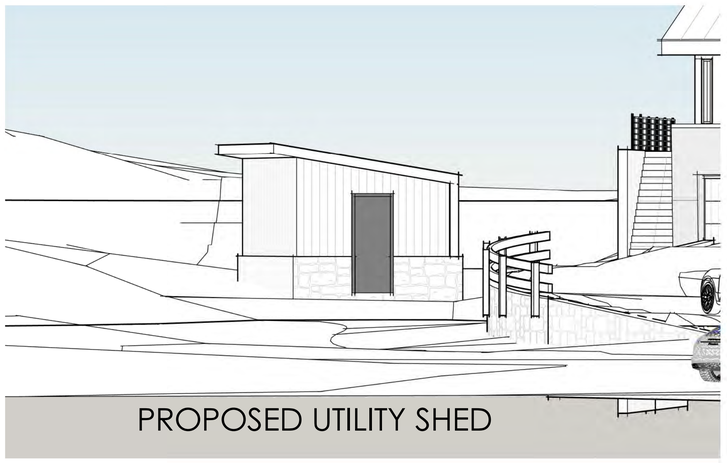
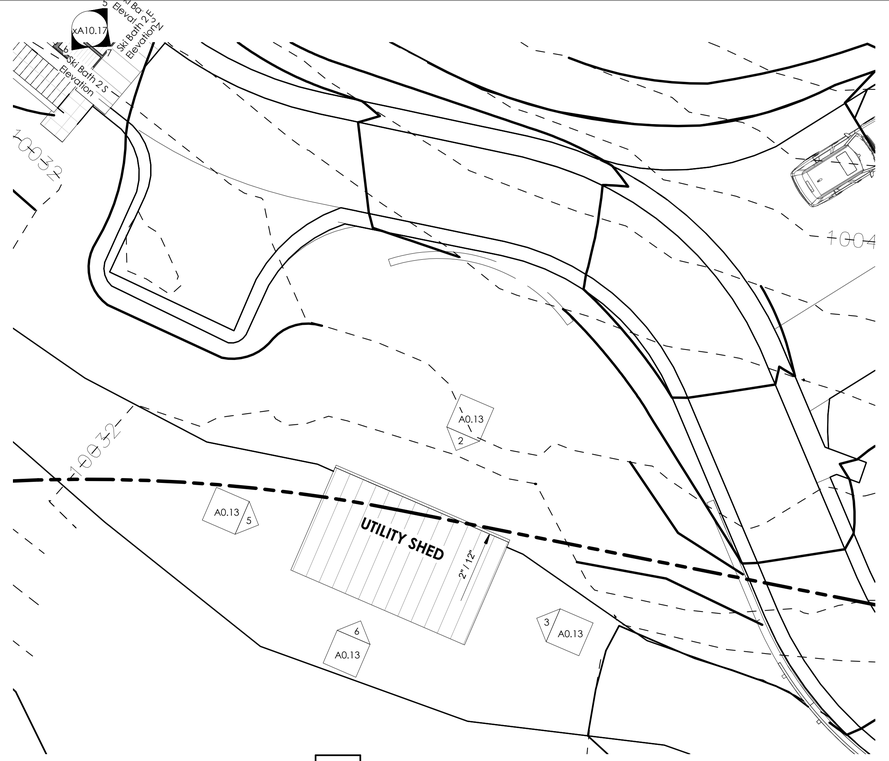
Plot Time 5/28/2024 2:08:42 PM Autodesk Docs://133 Sundance/133 Sundance_Scheme B CURRENT.rvt

EXISTING UTILITY SHED

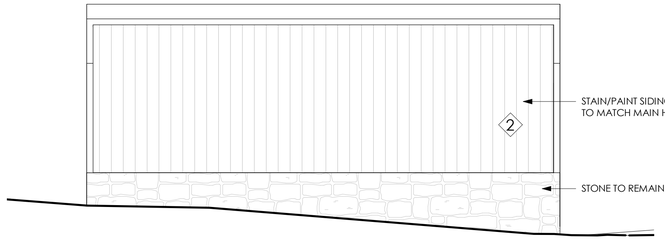


PROPOSED UTILITY SHED



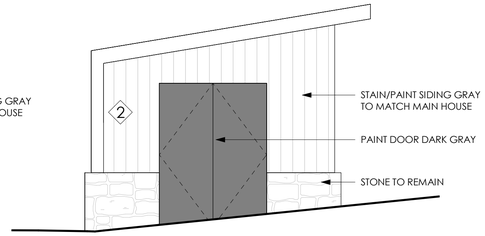
1 Utility Shed Plan

SCALE 1" = 10'-0"



6 Utility Shed South Elevation

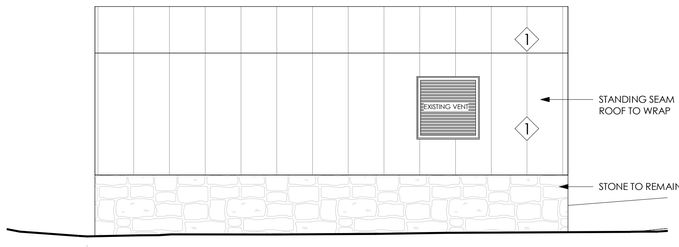
SCALE 0 1 2 3 4 1/4" = 1'-0"



5 Utility Shed West Elevation

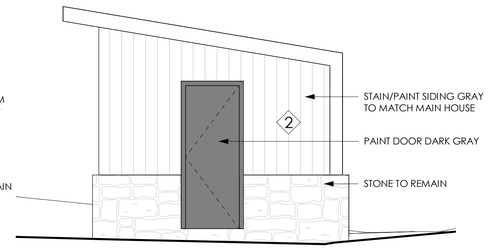
SCALE 0 1 2 3 4 1/4" = 1'-0"

SEE A3.1 AND A3.0 FOR EXTERIOR MATERIALS INFORMATION



2 Utility Shed North Elevation

SCALE 0 1 2 3 4 1/4" = 1'-0"



3 Utility Shed East Elevation

SCALE 0 1 2 3 4 1/4" = 1'-0"

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STATE OF COLORADO
THOMAS E HEIN, JR.
B-3180
JUL 2 2023
LICENSED ARCHITECT

Submissions

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FINAL DRB	24.05.07
REVISED FINAL DRB	24.05.28

133 Sundance

Mountain Village, CO 81435

Utility Shed

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

A0.13

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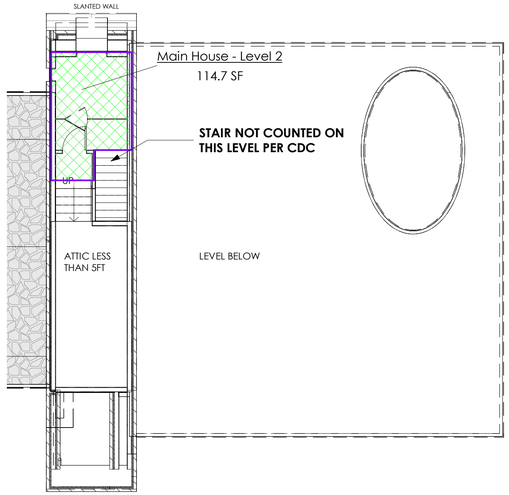
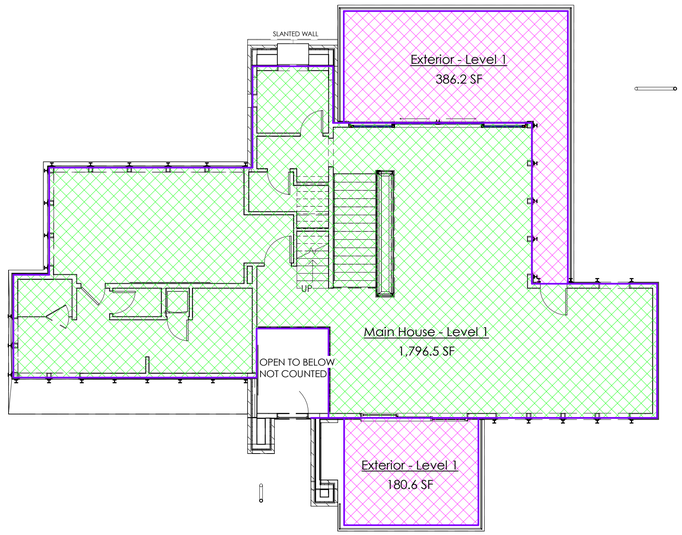


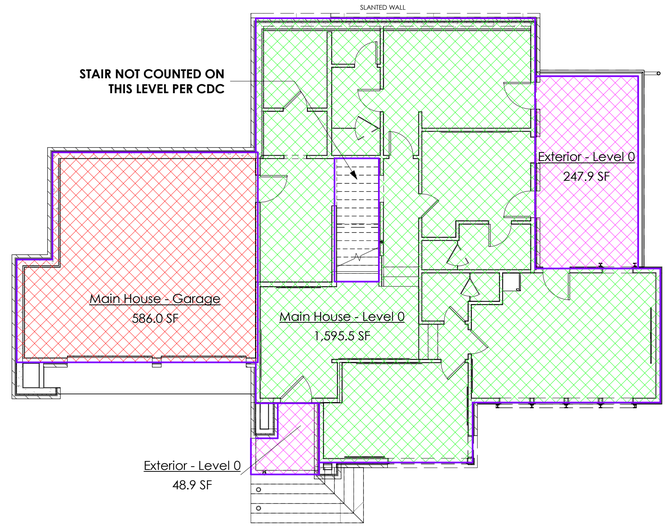
3 Loft Level - Area Plan

SCALE 0 1 2 4 8 1/8" = 1'-0"



2 Level 2 -Area Plan

SCALE 0 1 2 4 8 1/8" = 1'-0"



1 Level 1 - Area Plan

SCALE 0 1 2 4 8 1/8" = 1'-0"

NOTE: ALL AREAS ARE TAKEN FROM EXTERNAL FACE OF FRAMING OR GRIDLINE.

MV CDC - FLOOR AREA DEFINITION

THE SUM OF ALL AREA(S) WITHIN THE EXTERIOR WALLS OF A BUILDING OR PORTION THEREOF, MEASURED FROM THE EXTERIOR FACES OF THE EXTERIOR WALLS, EXCLUDING THE AREA WITHIN ATTACHED OR DETACHED GARAGES AND ATTICS OR CRAWL SPACES PROVIDED THAT SUCH AREAS MEET THE FOLLOWING FLOOR AREA EXCLUSIONS.
e. STAIRWAYS: STAIRS WITHIN A DWELLING UNIT SHALL ONLY BE COUNTED ON EVERY OTHER LEVEL.

MAIN HOUSE FLOOR AREA SUMMARY

GROSS FLOOR AREA

Name	Level	Area
Main House - Level 0	Level 1	1,595.5 SF
Main House - Garage	Level 1	586.0 SF
Main House - Level 1	Level 2	1,796.5 SF
Main House - Level 2	Loft Level	114.7 SF
Gross Floor Area Total		4,092.8 SF

LIVABLE FLOOR AREA

Name	Level	Area
Main House - Level 0	Level 1	1,595.5 SF
Main House - Level 1	Level 2	1,796.5 SF
Main House - Level 2	Loft Level	114.7 SF
Livable Floor Area Total		3,506.8 SF

EXTERIOR FLOOR AREA

Name	Level	Area
Exterior - Level 0	Level 1	247.9 SF
Exterior - Level 0	Level 1	48.9 SF
Exterior - Level 1	Level 2	386.2 SF
Exterior - Level 1	Level 2	180.6 SF
Total Exterior Floor Area		863.6 SF

TOTAL PROJECT GROSS FLOOR AREA

Name	Level	Area
Main House - Level 0	Level 1	1,595.5 SF
Main House - Garage	Level 1	586.0 SF
Ski Shack - Garage	Level 1	950.8 SF
Main House - Level 1	Level 2	1,796.5 SF
Ski Shack - Level 1	Level 2	763.3 SF
Main House - Level 2	Loft Level	114.7 SF
Project Total Gross Floor Area		5,806.8 SF

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FINAL DRB	24.05.07
REVISED FINAL DRB	24.05.28

133 Sundance

Mountain Village, CO
81435

Floor Area Calculations - Main House

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A1.3

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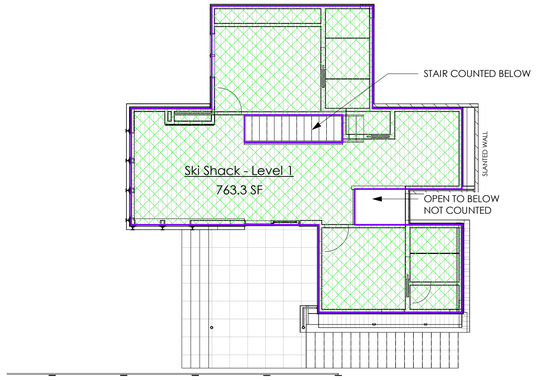
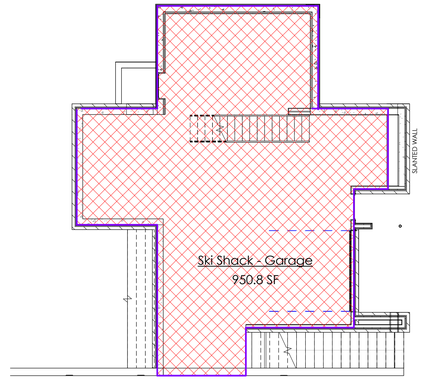


2 Level 1 -Ski Shack Area Plan

SCALE 0 1 2 4 8 1/8" = 1'-0"



1 Level 0 - Ski Shack Area Plan

SCALE 0 1 2 4 8 1/8" = 1'-0"

MAIN HOUSE LIVABLE (NOT INCL. GARAGE) IS 3,575.1 SF.

PER CDC Sec 17.3.4.F.5.c.i: "A maximum of eight hundred (800) square feet of floor area if the primary single-family dwelling unit on the lot is four thousand (4,000) square feet or less of floor area;"

ACCESSORY FLOOR AREA SUMMARY

SKI SHACK GROSS FLOOR AREA

Name	Level	Area
Ski Shack - Garage	**Level 1**	**950.8 SF**
Ski Shack - Level 1	**Level 2**	**763.3 SF**
Gross Floor Area Total		**1,714.1 SF**

SKI SHACK LIVABLE FLOOR AREA

Name	Level	Area
Ski Shack - Level 1	**Level 2**	**763.3 SF**
Livable Floor Area Total		**763.3 SF**

COMPLIANT BY: **3.3 SF**

NOTE: ALL AREAS ARE TAKEN FROM EXTERNAL FACE OF FRAMING OR GRIDLINE.

MV CDC - FLOOR AREA DEFINITION

THE SUM OF ALL AREA(S) WITHIN THE EXTERIOR WALLS OF A BUILDING OR PORTION THEREOF, MEASURED FROM THE EXTERIOR FACES OF THE EXTERIOR WALLS, EXCLUDING THE AREA WITHIN ATTACHED OR DETACHED GARAGES AND ATTICS OR CRAWL SPACES PROVIDED THAT SUCH AREAS MEET THE FOLLOWING FLOOR AREA EXCLUSIONS.
e. STAIRWAYS: STAIRS WITHIN A DWELLING UNIT SHALL ONLY BE COUNTED ON EVERY OTHER LEVEL.

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FINAL DRB	24.02.15
FINAL DRB	24.05.07

SKI Shack

Mountain Village, CO
81435

Floor Area Calculations - Ski Shack ADU

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A1.4

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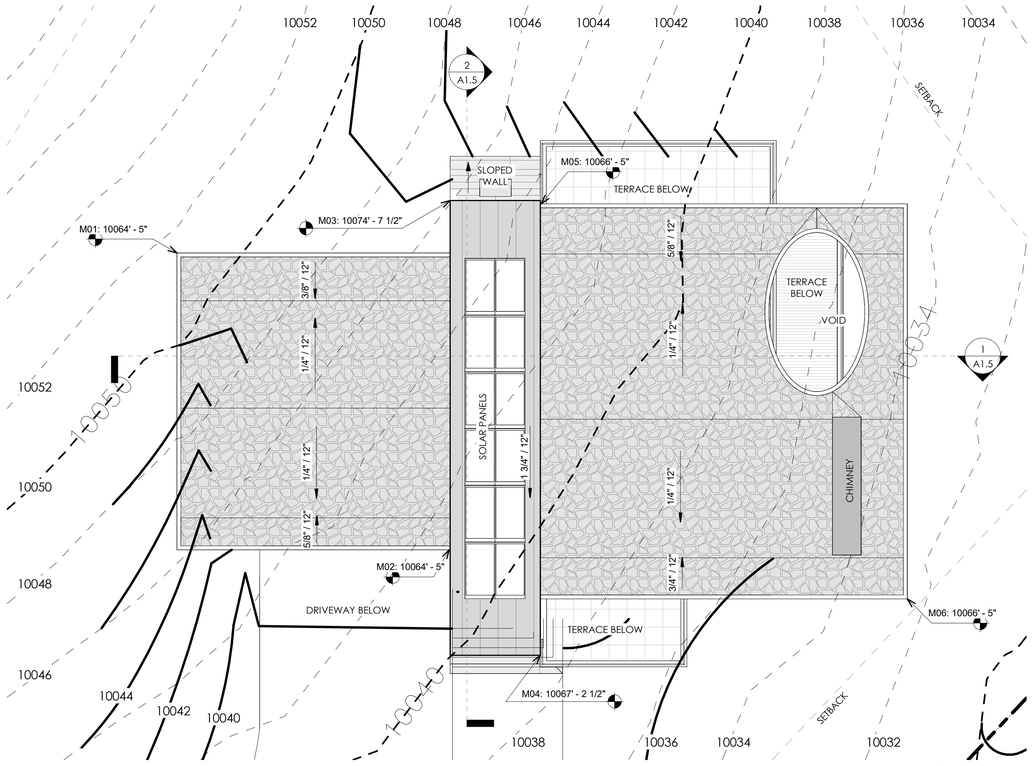
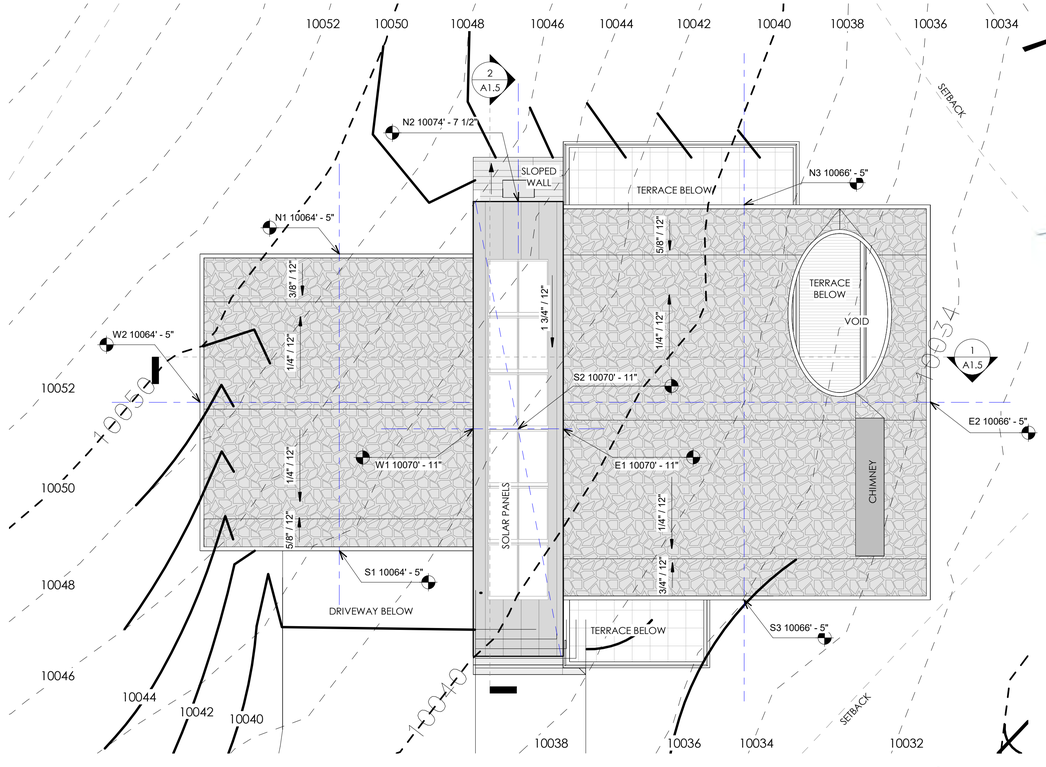


3 Main - Maximum Roof Height Points

SCALE 0 1 2 4 8 1/8" = 1'-0"

TRUE NORTH

PROJECT NORTH



4 Main - Average Roof Height Points

SCALE 0 1 2 4 8 1/8" = 1'-0"

TRUE NORTH

PROJECT NORTH

AVERAGE ROOF HEIGHT CALCULATIONS - MAIN HOUSE

133 SUNSET | LOT 926R

MAXIMUM AVERAGE ROOF HEIGHT CALCULATIONS PER CDC 17.3.11(C)(1) "METHOD 1"

POINT OF MEASURMENT TAG	ELEVATION AT BUILDING	ELEVATION AT NATURAL GRADE	ELEVATION AT FINISHED GRADE**	MOST RESTRICTIVE MEASUREMENT*	ROOF HEIGHT (FEET) ABOVE GRADE
		PRIMARY - NORTH ELEVATION			
N1	10,064.42'	10,048.25'	10,048.25'	NG	16.17'
N2	10,074.63'	10,045.00'	NA	NG	29.63'
N3	10,066.42'	10,039.00'	NA	NG	27.42'
NUMBER OF MEASUREMENTS: 3				SUBTOTAL	73.22'
				NORTH BUILDING AVERAGE	**24.41'**
		PRIMARY - EAST ELEVATION			
E1	10,070.92'	10,040.50'	NA	FG	30.42'
E2	10,066.42'	10,033.75'	10,033.75'	NG	32.67'
NUMBER OF MEASUREMENTS: 2				SUBTOTAL	63.09'
				EAST BUILDING AVERAGE	**31.55'**
		PRIMARY - SOUTH ELEVATION			
S1	10,064.42'	10,043.50'	10,040.20'	FG	24.22'
S2	10,070.92'	10,041.50'	NA	NG	29.42'
S3	10,066.42'	10,036.00'	10,036.00'	NG	30.42'
NUMBER OF MEASUREMENTS: 3				SUBTOTAL	84.06'
				SOUTH BUILDING AVERAGE	**28.02'**
		PRIMARY - WEST ELEVATION			
W1	10,070.92'	10,042.75'	NA	NG	28.17'
W2	10,064.42'	10,048.25'	10,047.80'	FG	16.62'
NUMBER OF MEASUREMENTS: 2				SUBTOTAL	44.79'
				WEST BUILDING AVERAGE	**22.40'**
				COMPILED AVERAGE BUILDING HEIGHT - PRIMARY	
				SUBTOTAL COMBINED BUILDING AVERAGES:	106.37'
				SUBTOTAL / 4: PROPOSED AVERAGE BUILDING HEIGHT	**26.59'**
				COMPLIANT BY	**3.41**

*MOST RESTRICTIVE BUILDING HEIGHT AS MEASURED ABOVE FINISHED GRADE (FG) OR NATURAL GRADE (NG)

** WHERE MEASUREMENT IS LOCATED ABOVE AN ENCLOSED SPACE A FINISHED GRADE IS NOT AVAILABLE AND IS NOTED AS (NA)

MAXIMUM ROOF HEIGHT CALCULATIONS - MAIN HOUSE

133 Sundance | LOT 926R

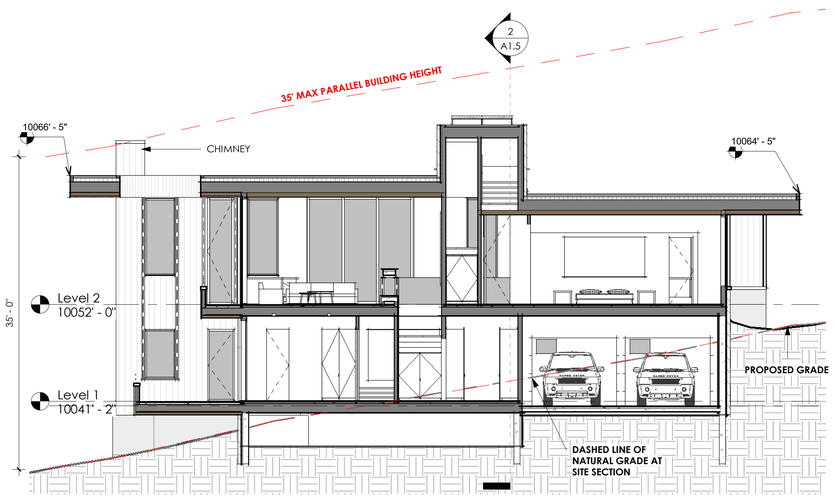
TELLURIDE MOUNTAIN VILLAGE 2023/01/31

MAXIMUM ROOF HEIGHT CALCULATIONS MAIN HOUSE

ROOF POINT #	ROOF POINT ELEVATION	NATRUAL GRADE ELEVATION	CALCULATED ROOF HEIGHT (FEET) ABOVE NATURAL GRADE	PROPOSED GRADE ELEVATION BELOW	CALCULATED ROOF HEIGHT (FEET) ABOVE FINISH GRADE
M01	10 064,42	(10 051,25)	13,17	10 051,25	13,17
M02	10 064,42	(10 041,25)	23,17	10 040,50	23,92
M03	10 074,63	(10 046,00)	28,63	10 046,00	28,63
M04	10 067,20	(10 038,75)	28,45	10 040,42	26,78
M05	10 066,42	(10 043,25)	23,17	N/A	N/A
M06	10 066,42	(10 032,50)	33,92	10 032,50	33,92

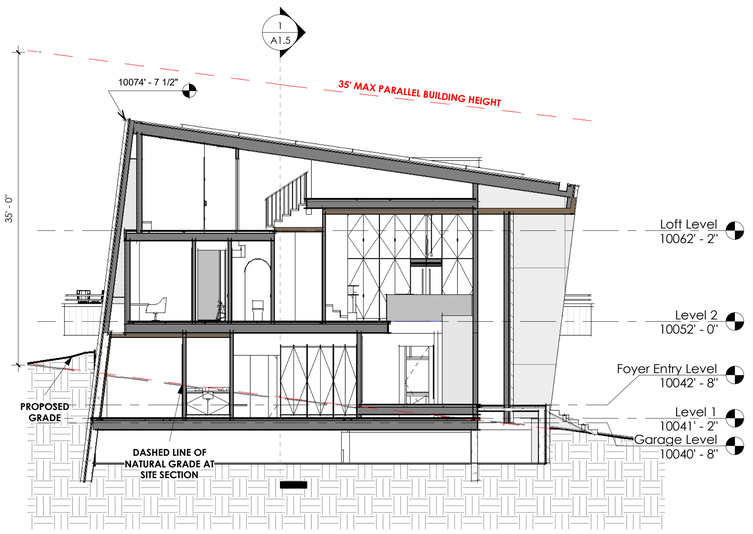
35' + 5' = MAX HEIGHT FOR SHED ROOF FORMS

MAX HEIGHT = 33.92' (M06) | **COMPLIANT BY 1.08'**



1 Main - Height Section 1

SCALE 0 1 2 4 8 1/8" = 1'-0"



2 Main - Height Section 2

SCALE 0 1 2 4 8 1/8" = 1'-0"

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133 Sundance

Mountain Village, CO 81435

Main - Building Height Calcs.

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A1.5

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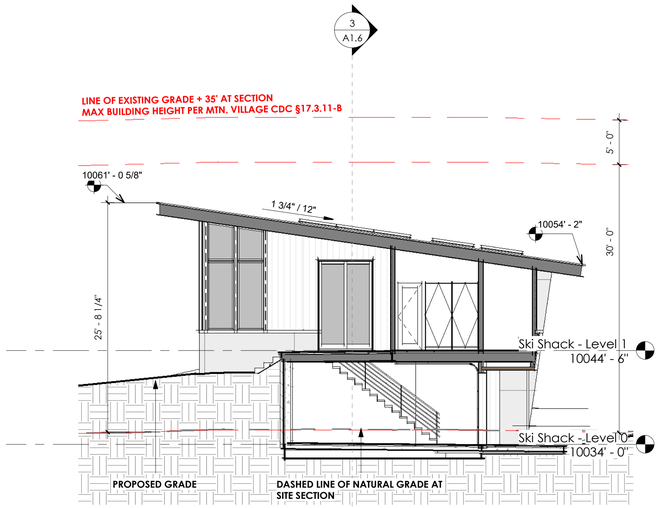
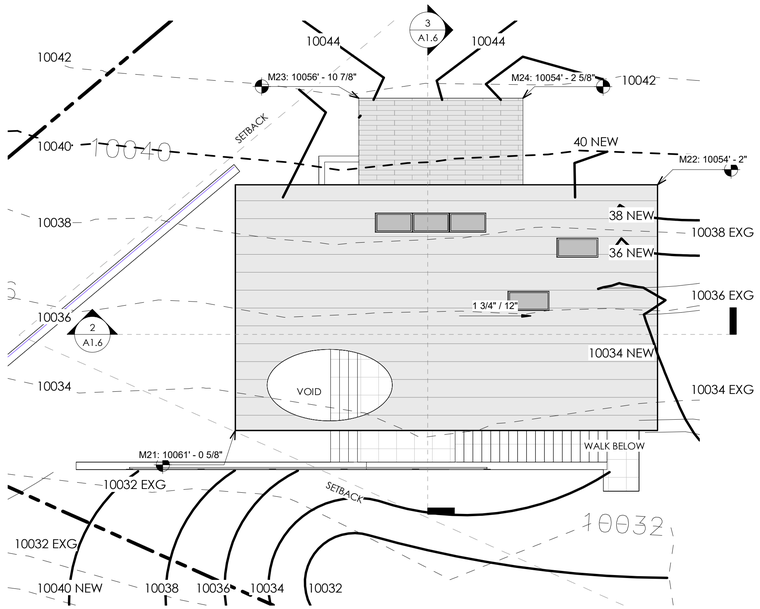


2 Accessory - Height Section 1

SCALE 0 1 2 4 8 1/8" = 1'-0"



1 Accessory - Maximum Roof Height Points

SCALE 0 1 2 4 8 1/8" = 1'-0"

TRUE NORTH PROJECT NORTH

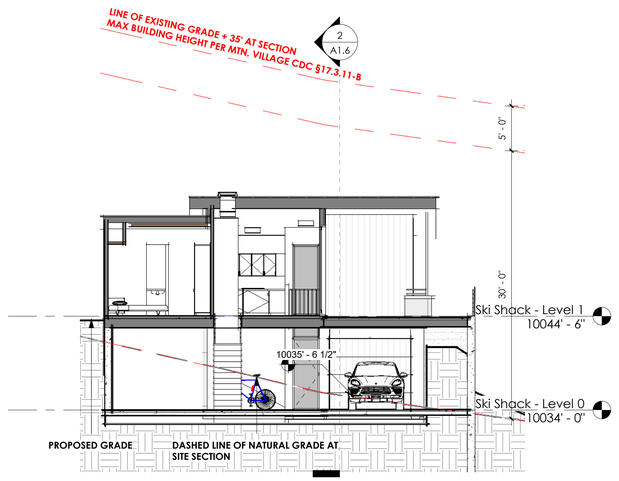
MAXIMUM ROOF HEIGHT CALCULATIONS - SKI SHACK

133 Sundance | LOT 926R

TELLURIDE MOUNTAIN VILLAGE

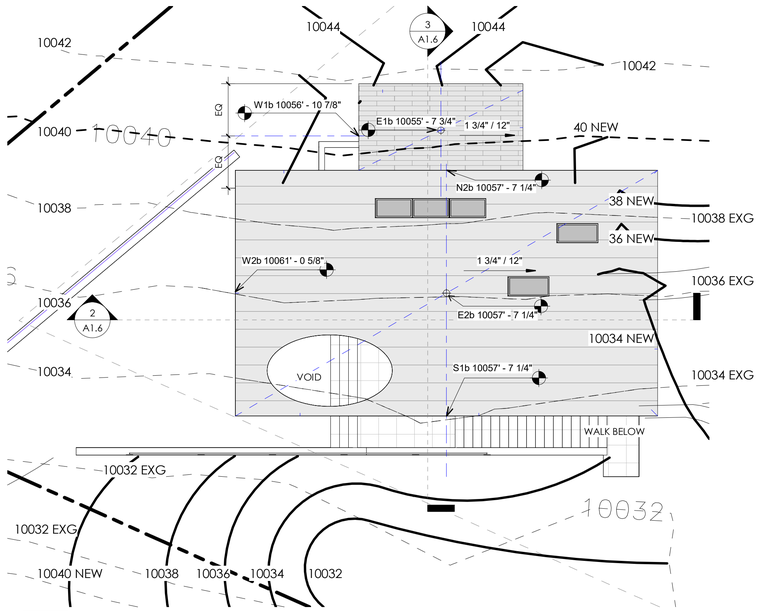
MAXIMUM ROOF HEIGHT CALCULATIONS SKI HOUSE

ROOF POINT #	ROOF POINT ELEVATION	NATRUAL GRADE ELEVATION	CALCULATED ROOF HEIGHT (FEET) ABOVE NATURAL GRADE	PROPOSED GRADE ELEVATION BELOW	CALCULATED ROOF HEIGHT (FEET) ABOVE FINISH GRADE
M21	10 061,00	(10 033,30)	27,70	10 042,00	19,00
M22	10 054,17	(10 039,30)	14,87	10 039,30	14,87
M23	10 056,92	(10 041,80)	15,12	10 044,00	12,92
M24	10 054,21	(10 041,50)	12,71	10 042,00	12,21
35' + 5' = MAX HEIGHT FOR SHED ROOF FORMS					
MAX HEIGHT = 27.70' (M21) | **COMPLIANT BY 2.30'**					



3 Accessory - Height Section 2

SCALE 0 1 2 4 8 1/8" = 1'-0"



4 Accessory - Average Roof Height Points

SCALE 0 1 2 4 8 1/8" = 1'-0"

TRUE NORTH PROJECT NORTH

AVERAGE ROOF HEIGHT CALCULATIONS - SKI SHACK

133 SUNSET | LOT 926R

MAXIMUM AVERAGE ROOF HEIGHT CALCULATIONS PER CDC 17.3.11(C)(1) "METHOD 1"

POINT OF MEASURMENT TAG	ELEVATION AT BUILDING	ELEVATION AT NATURAL GRADE	ELEVATION AT FINISHED GRADE**	MOST RESTRICTIVE MEASUREMENT*	ROOF HEIGHT (FEET) ABOVE GRADE
ACCESSORY SKI SHACK - NORTH ELEVATION					
N1b	10,055.56'	10,041.50'	10,044.00'	NG	14.06'
N2b	10,057.60'	10,039.33'	NA	NG	18.27'
NUMBER OF MEASUREMENTS: 2				SUBTOTAL	32.33'
				NORTH BUILDING AVERAGE	**16.17'**
ACCESSORY SKI SHACK - EAST ELEVATION					
E1b	10,055.65'	10,040.50'	NA	NG	15.15'
E2b	10,057.60'	10,036.10'	NA	NG	21.50'
NUMBER OF MEASUREMENTS: 2				SUBTOTAL	36.65'
				EAST BUILDING AVERAGE	**18.32'**
ACCESSORY SKI SHACK - SOUTH ELEVATION					
S1b	10,057.60'	10,034.12'	10,037.00'	NG	23.48'
				SOUTH BUILDING AVERAGE	**23.48'**
ACCESSORY SKI SHACK - EAST ELEVATION					
W1b	10,056.91'	10,040.40'	10,044.00'	NG	16.51'
W2b	10,061.04'	10,036.00'	NA	NG	25.04'
NUMBER OF MEASUREMENTS: 2				SUBTOTAL	41.55'
				WEST BUILDING AVERAGE	**20.78'**
COMPILED AVERAGE BUILDING HEIGHT - ACCESSORY					
SUBTOTAL: COMBINED BUILDING AVERAGES:					78.74'
SUBTOTAL / 4: PROPOSED AVERAGE BUILDING HEIGHT					**19.69'**
				COMPLIANT BY	**15.31**

*MOST RESTRICTIVE BUILDING HEIGHT AS MEASURED ABOVE FINISHED GRADE (FG) OR NATURAL GRADE (NG)

** WHERE MEASUREMENT IS LOCATED ABOVE AN ENCLOSED SPACE A FINISHED GRADE IS NOT AVAILABLE AND IS NOTED AS (NA)

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SKI Shack

Mountain Village, CO 81435

Ski Shack ADU - Building Height Calcs.

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A1.6

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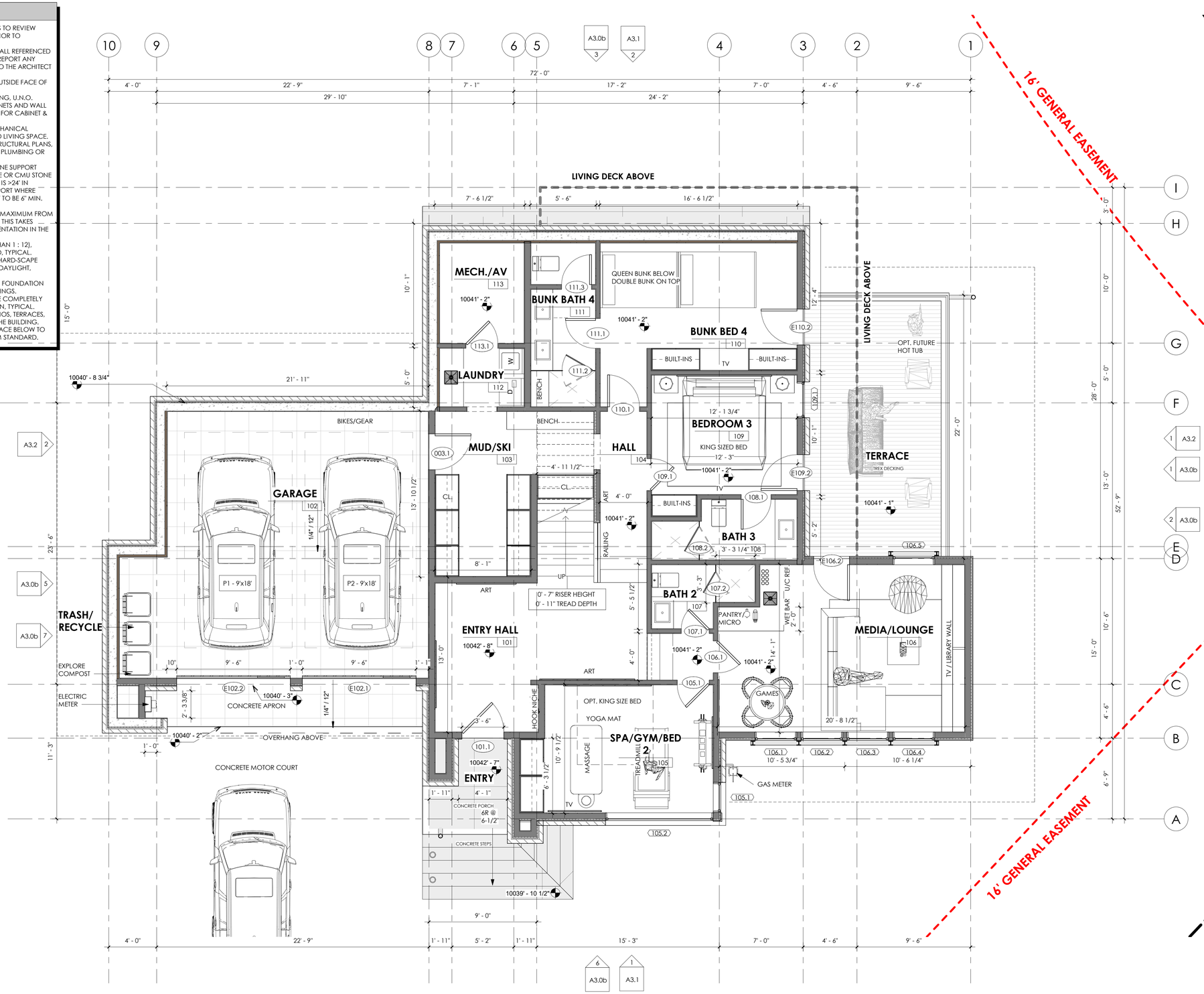
GENERAL PLAN NOTES:

1. CONTRACTOR AND ALL SUBCONTRACTORS TO REVIEW "GENERAL NOTES AND SPECIFICATIONS" PRIOR TO COMMENCEMENT OF ANY WORK.
2. CONTRACTOR TO REVIEW AND COMPARE ALL REFERENCED AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES, ERRORS, OR OMISSIONS TO THE ARCHITECT PRIOR TO ANY EXECUTION OF WORK.
3. ALL DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF FRAMING AT EXTERIOR WALLS, TYPICAL.
4. ALL FURRING IS TO BE NOMINAL 2x4 FRAMING, U.N.O.
5. BLOCKING TO BE PROVIDED FOR ALL CABINETS AND WALL MOUNTED ACCESSORIES - SEE A10.0 SERIES FOR CABINET & INTERIOR DETAIL INFORMATION.
6. TYPE 'X' GYPSUM WALL BOARD AT ALL MECHANICAL LOCATIONS AND GARAGE IF ADJACENT TO LIVING SPACE.
7. ALL FLOOR JOISTS LAYOUTS TO FOLLOW STRUCTURAL PLANS, HEADER ALL JOISTS WHICH INTERFERE WITH PLUMBING OR MECHANICAL.
8. REFER TO STRUCTURAL DRAWINGS FOR STONE SUPPORT INFORMATION. PROVIDE CONCRETE LEDGE OR CMU STONE SUPPORT AT ALL LOCATIONS WHERE STONE IS >24" IN HEIGHT; PROVIDE STEEL ANGLE STONE SUPPORT WHERE STONE < 24" IN HEIGHT. ALL STONE SUPPORT TO BE 6" MIN. BELOW FINISHED GRADE.
9. ALL EGRESS WINDOW OPENINGS TO BE 42" MAXIMUM FROM FINISHED FLOOR TO BOTTOM OF OPENING. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
10. ALL VALLEYS, LOW PITCHED ROOFS (LESS THAN 1 : 12), GUTTERS, AND DOWNSPOUTS TO BE HEATED. TYPICAL.
11. ALL WINDOW WELLS, PLANTERS, AND ANY HARD-SCAPE REQUIRING DRAINAGE TO BE DRAINED TO DAYLIGHT. TYPICAL.
12. PERIMETER DRAINS TO BE PROVIDED AT ALL FOUNDATION FOOTINGS, TYPICAL. REFER TO CIVIL DRAWINGS.
13. ALL ROOF EAVES AND RAKE CAVITIES TO BE COMPLETELY FILLED WITH FOAMED-IN-PLACE INSULATION, TYPICAL.
14. ALL EXTERIOR FLAT WORK (BALCONIES, PATIOS, TERRACES, WALKS, ETC.) TO BE SLOPED AWAY FROM THE BUILDING.
15. ALL EXTERIOR TERRACES OVER INTERIOR SPACE BELOW TO BE WATERPROOFED TO THE HIGHEST SYSTEM STANDARD.



1 Level 1 - Floor Plan

SCALE 0 1 2 3 4 1/4" = 1'-0"

TRUE NORTH

PROJECT NORTH

Tommy Hein ARCHITECTS

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STATE OF COLORADO
THOMAS E HEIN, JR.
B-3180
LICENSED ARCHITECT
JUL 2 2023

Submissions

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
INITIAL DRB2	23.10.09
INTERNAL REVIEW	24.01.23
FINAL DRB	24.02.15
FINAL DRB	24.05.07
REVISED FINAL DRB	24.05.28

133 Sundance

Mountain Village, CO
81435

Floor Plans - Level 1

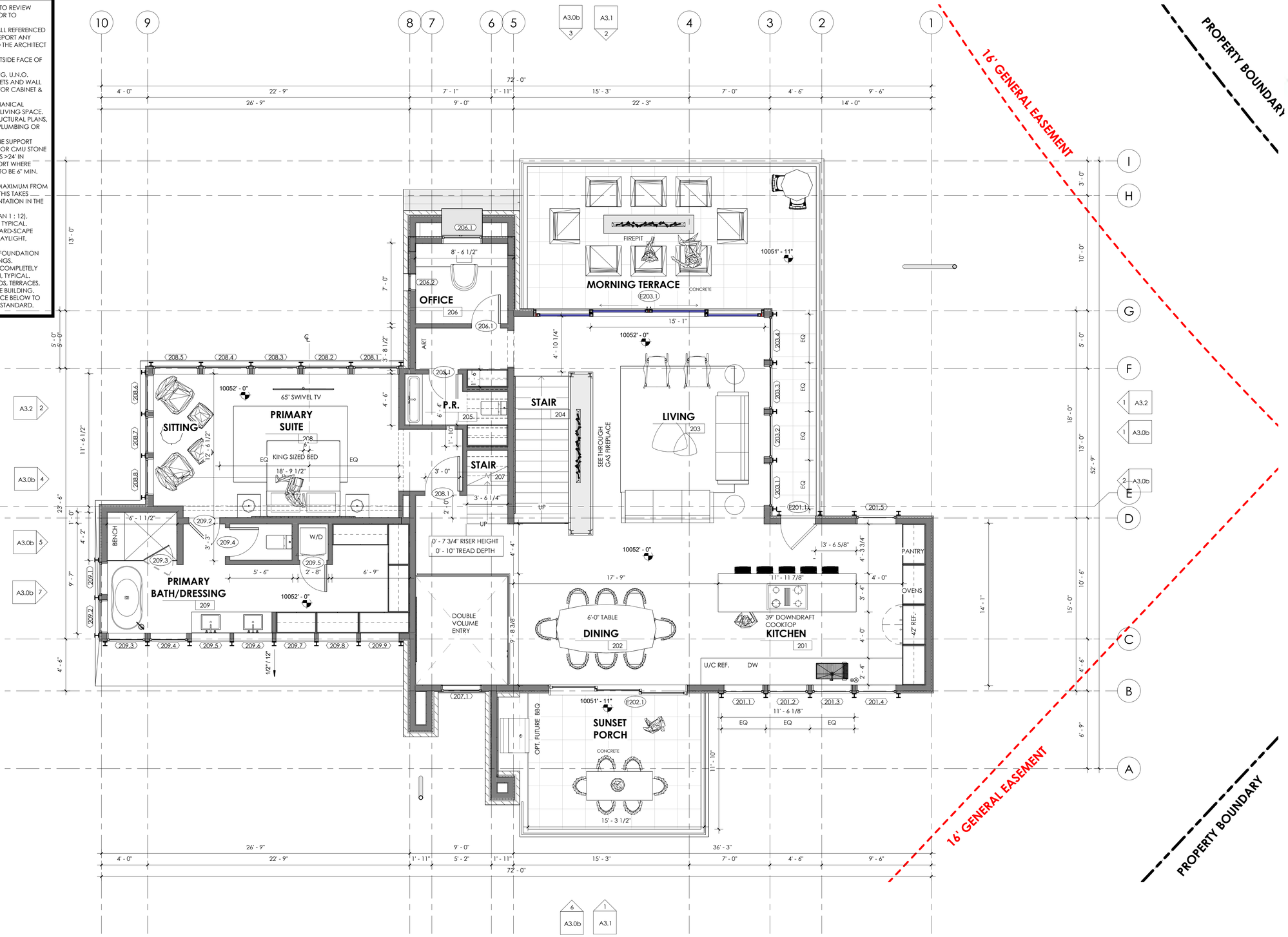
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

A2.0

Plot Time 5/28/2024 2:08:49 PM Autodesk Docs://133 Sundance/133 Sundance_Scheme B CURRENT.rvt

GENERAL PLAN NOTES:

1. CONTRACTOR AND ALL SUBCONTRACTORS TO REVIEW "GENERAL NOTES AND SPECIFICATIONS" PRIOR TO COMMENCEMENT OF ANY WORK.
2. CONTRACTOR TO REVIEW AND COMPARE ALL REFERENCED AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES, ERRORS, OR OMISSIONS TO THE ARCHITECT PRIOR TO ANY EXECUTION OF WORK.
3. ALL DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF FRAMING AT EXTERIOR WALLS, TYPICAL.
4. ALL FURRING IS TO BE NOMINAL 2x4 FRAMING, U.N.O.
5. BLOCKING TO BE PROVIDED FOR ALL CABINETS AND WALL MOUNTED ACCESSORIES - SEE A10.0 SERIES FOR CABINET & INTERIOR DETAIL INFORMATION.
6. TYPE 'X' GYPSUM WALL BOARD AT ALL MECHANICAL LOCATIONS AND GARAGE IF ADJACENT TO LIVING SPACE.
7. ALL FLOOR JOISTS LAYOUTS TO FOLLOW STRUCTURAL PLANS. HEADER ALL JOISTS WHICH INTERFERE WITH PLUMBING OR MECHANICAL.
8. REFER TO STRUCTURAL DRAWINGS FOR STONE SUPPORT INFORMATION. PROVIDE CONCRETE LEDGE OR CMU STONE SUPPORT AT ALL LOCATIONS WHERE STONE IS >24" IN HEIGHT; PROVIDE STEEL ANGLE STONE SUPPORT WHERE STONE < 24" IN HEIGHT. ALL STONE SUPPORT TO BE 6" MIN. BELOW FINISHED GRADE.
9. ALL EGRESS WINDOW OPENINGS TO BE 42" MAXIMUM FROM FINISHED FLOOR TO BOTTOM OF OPENING. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
10. ALL VALLEYS, LOW PITCHED ROOFS (LESS THAN 1 : 12), GUTTERS, AND DOWNSPOUTS TO BE HEATED. TYPICAL.
11. ALL WINDOW WELLS, PLANTERS, AND ANY HARD-SCAPE REQUIRING DRAINAGE TO BE DRAINED TO DAYLIGHT. TYPICAL.
12. PERIMETER DRAINS TO BE PROVIDED AT ALL FOUNDATION FOOTINGS, TYPICAL. REFER TO CIVIL DRAWINGS.
13. ALL ROOF EAVES AND RAKE CAVITIES TO BE COMPLETELY FILLED WITH FOAMED-IN-PLACE INSULATION, TYPICAL.
14. ALL EXTERIOR FLAT WORK (BALCONIES, PATIOS, TERRACES, WALKS, ETC.) TO BE SLOPED AWAY FROM THE BUILDING.
15. ALL EXTERIOR TERRACES OVER INTERIOR SPACE BELOW TO BE WATERPROOFED TO THE HIGHEST SYSTEM STANDARD.



1 Level 2 - Floor Plan

SCALE 0 1 2 3 4 1/4" = 1'-0"

TRUE NORTH

PROJECT NORTH

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Floor Plans - Level 2

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A2.1

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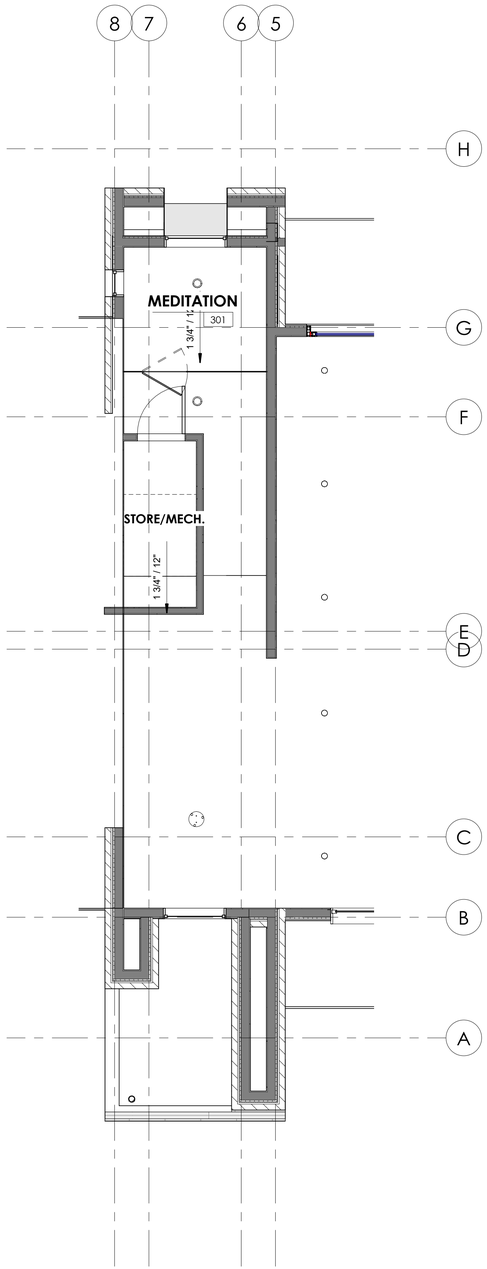
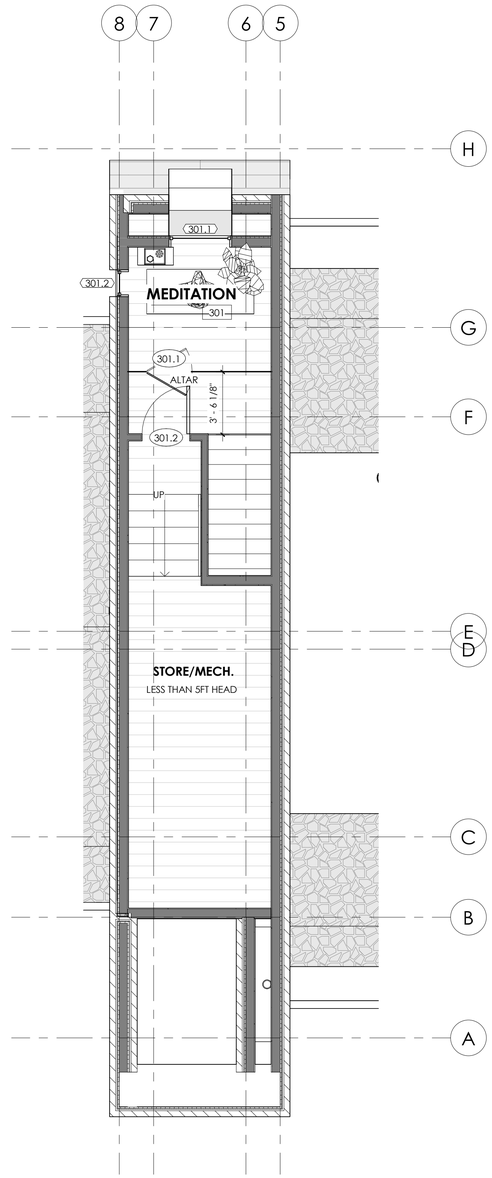


2 Loft Level - RCP

SCALE 0 1 2 3 4 1/4" = 1'-0"



1 Loft Level - Floor Plan

SCALE 0 1 2 3 4 1/4" = 1'-0"

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Floor & Ceiling Plans - Loft Level

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A2.2

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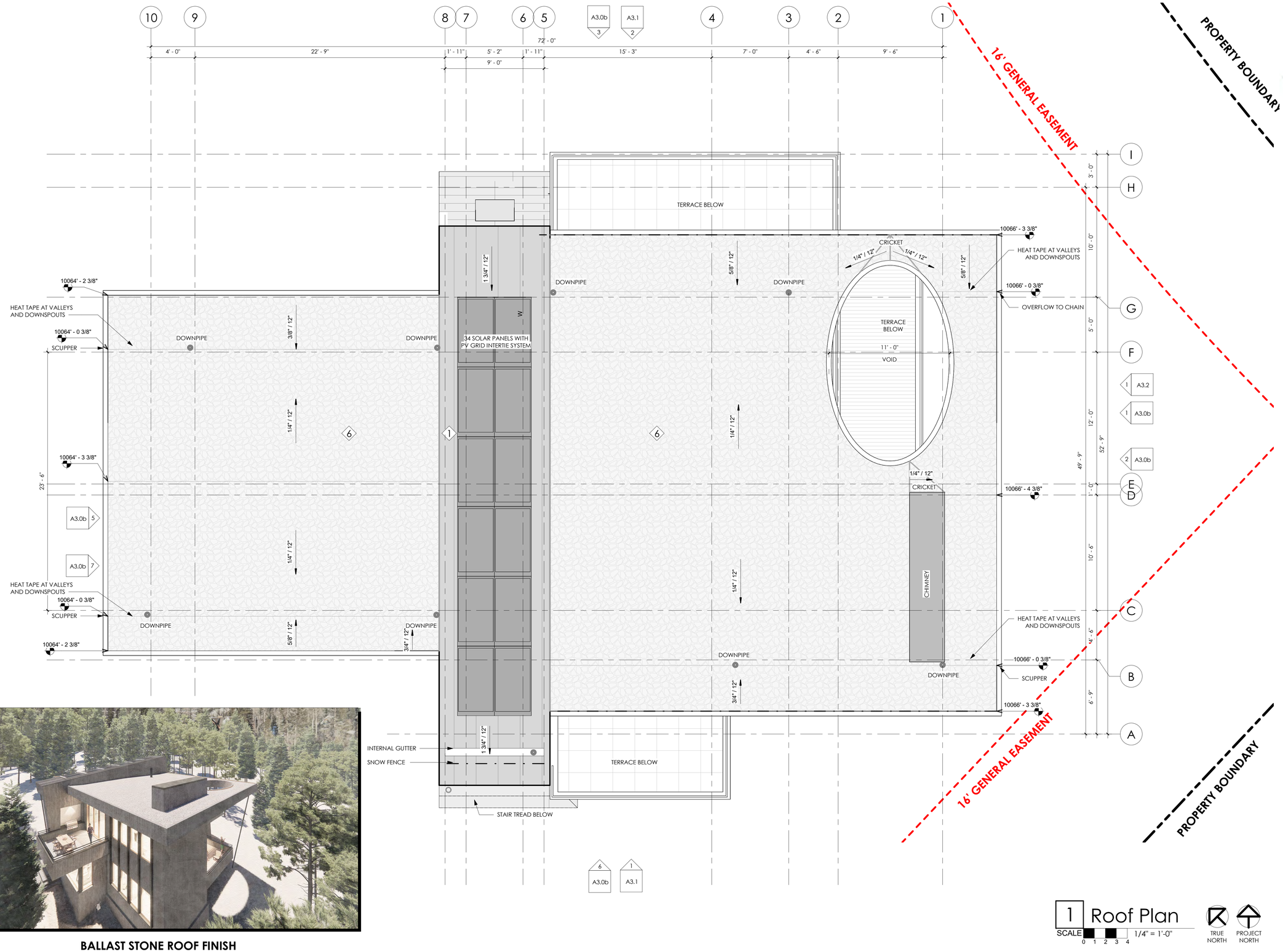

BALLAST STONE ROOF FINISH

1 Roof Plan

SCALE 0 1 2 3 4 1/4" = 1'-0"

TRUE NORTH

PROJECT NORTH

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Mountain Village, CO
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Roof Plan

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A2.3

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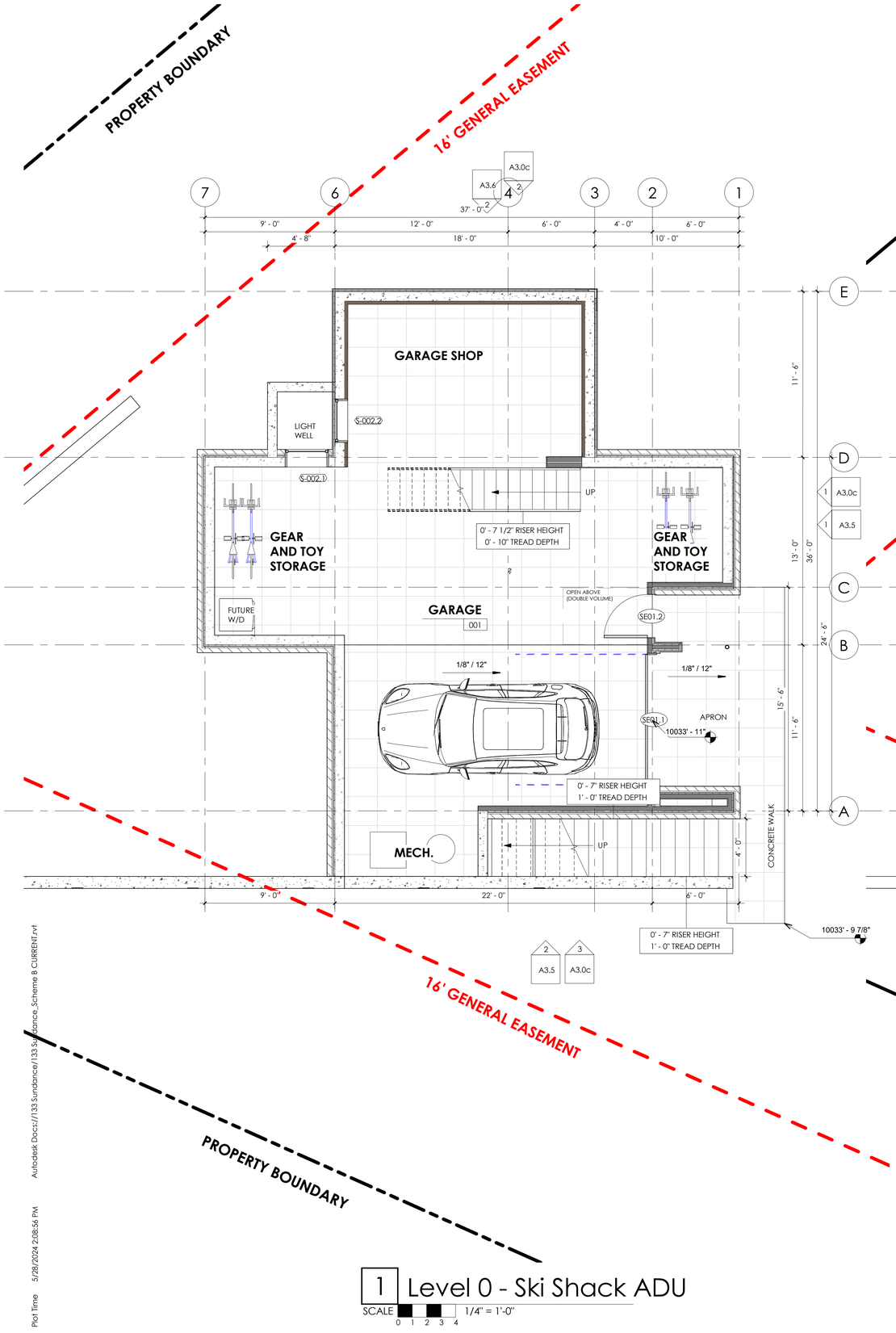

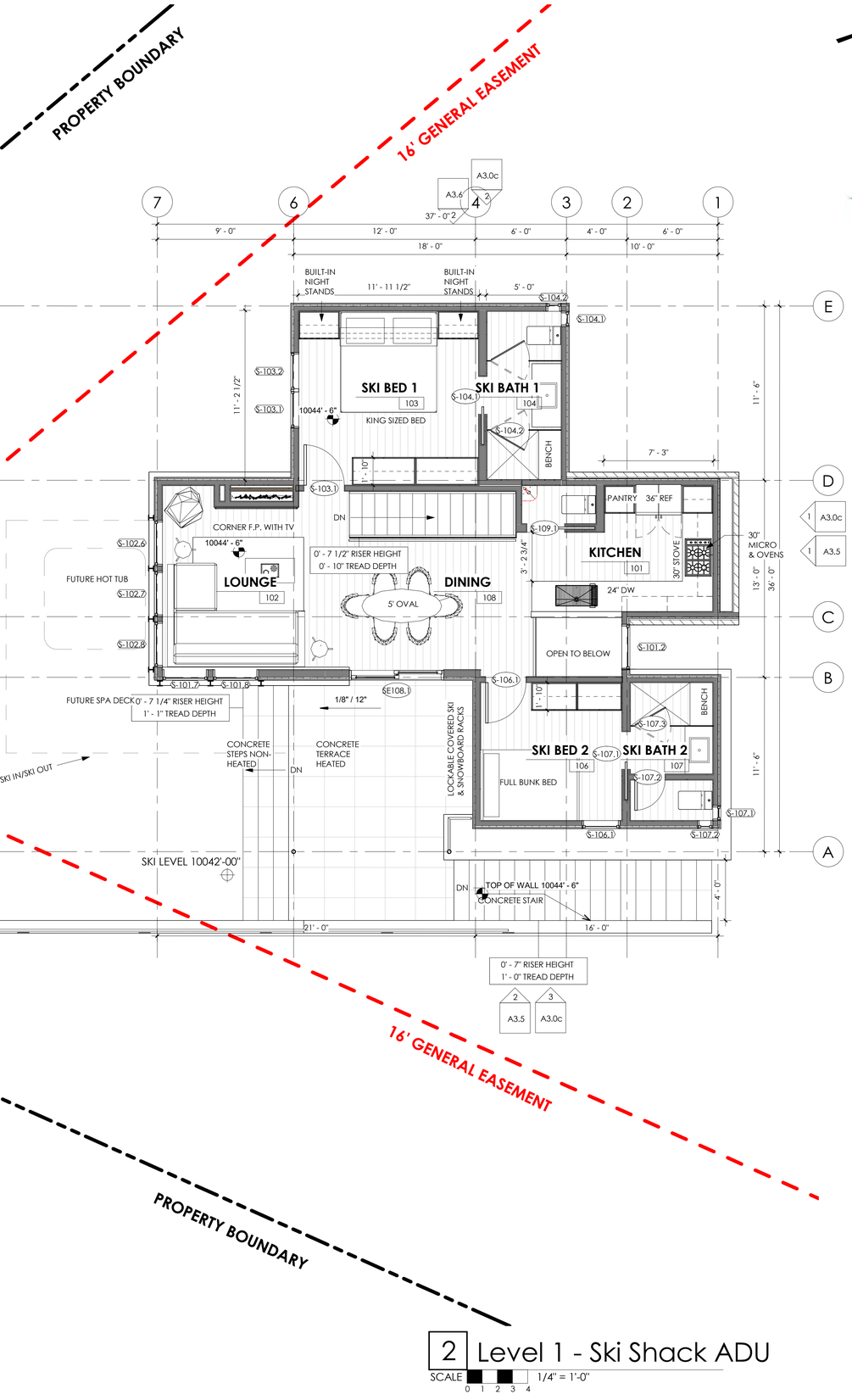

1 Level 0 - Ski Shack ADU

SCALE 1/4" = 1'-0"

0 1 2 3 4

TRUE NORTH

PROJECT NORTH

2 Level 1 - Ski Shack ADU

SCALE 1/4" = 1'-0"

0 1 2 3 4

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SKI Shack

Mountain Village, CO
81435

Ski Shack ADU Plans - Level 0 & Level 1

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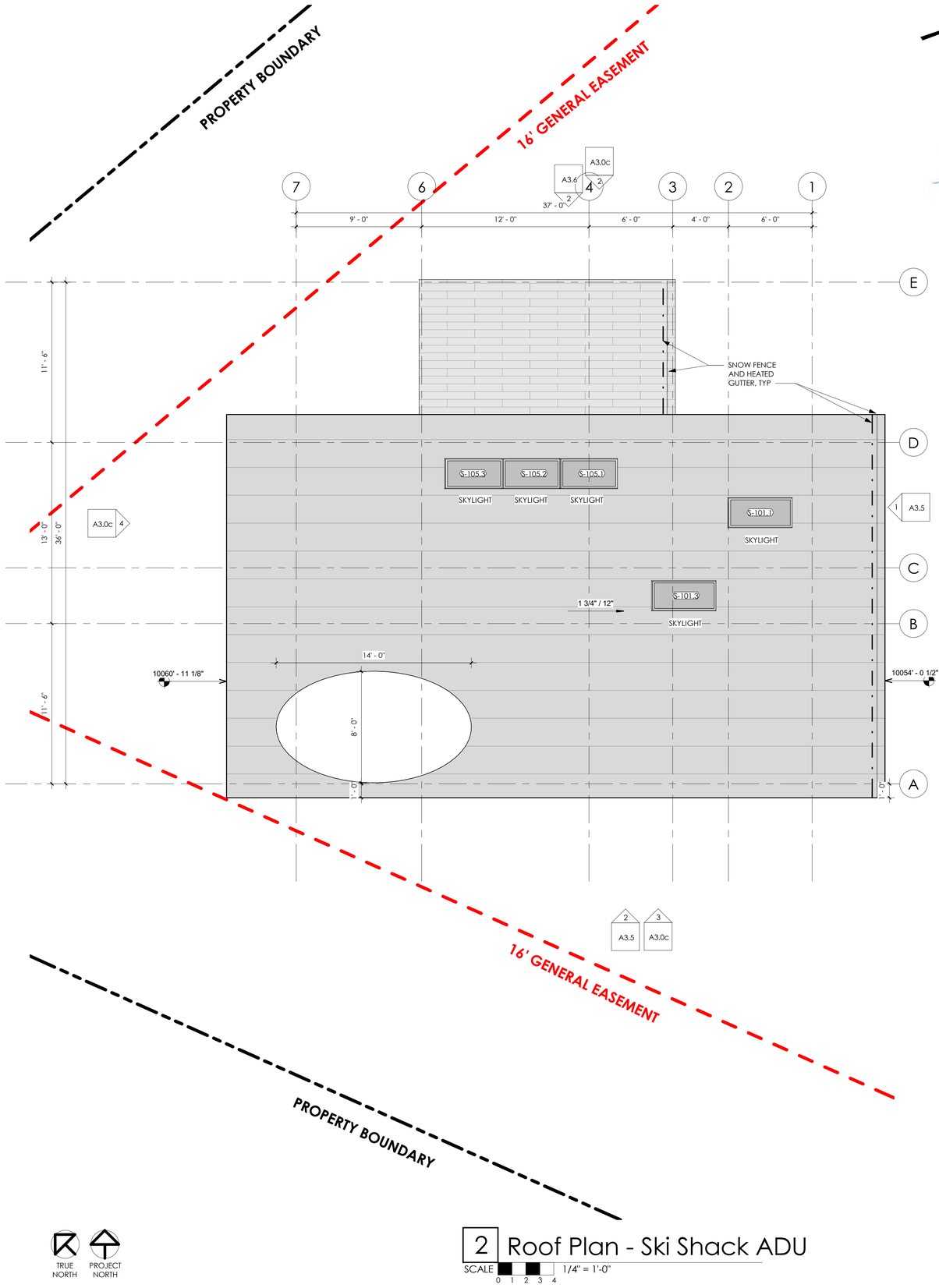
A2.7



TRUE NORTH PROJECT NORTH

2 Roof Plan - Ski Shack ADU

SCALE 1/4" = 1'-0"

0 1 2 3 4

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Ski Shack

Mountain Village, CO
81435

Ski Shack ADU Plans - Roof Plan

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A2.8

Plot Time 5/28/2024 2:08:56 PM Autodesk Docs://133 Sundance/133 Sundance_Scheme B CURRENT.rvt

EXTERIOR MATERIALS

BARNWOOD SIDING

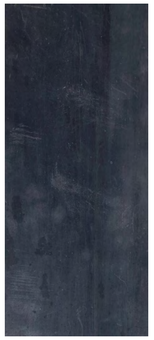
6" TO 8"

2

TRAVERTINE STONE PANELS

LARGE TRAVERTINE PANELS WITH 1/16TH OR 1/8TH INCH SEAMLESS BUTT JOINTS ARRANGED IN A STACK/STRAIGHT BOND

3

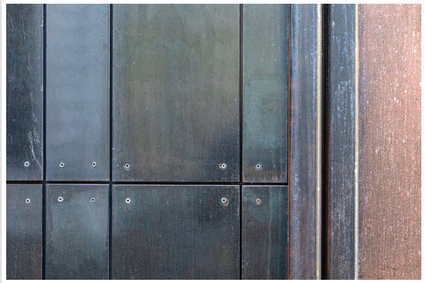


DARK GRAY PAINTED STEEL

EXPOSED STEEL STRUCTURE

W, C, OR 1/2" BENT PLATE STEEL, PENETROL PATINA FINISH BLACK FOR INTERIOR, PAINTED CHARCOAL GRAY FOR EXTERIOR

4



STEEL PANEL SIDING

5

SEE WINDOW FINISH ON A9.1 SHEET

SEE EXTERIOR LIGHT FIXTURES ON LT SHEETS

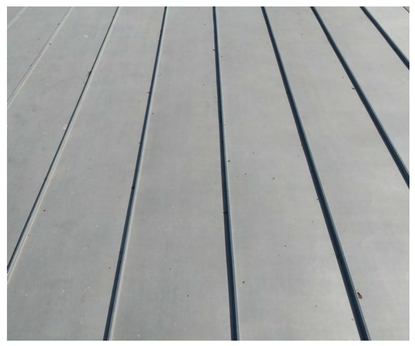
EXTERIOR MATERIALS

ROOFING AT MAIN HOUSE

PRE FAB TRUSSES WITH TAPERED FOAM AND BALLAST STONE FINISH ON EPDM ROOF

GRAY BALLAST STONES

6



ROOFING AT SKI SHACK ADU

MATTE LIGHT GRAY BONDERIZED

STANDING SEAM 12" O.C.

1

SCORED CONCRETE PATIO

DAVIS DARK GRAY 8084

3" - 4" THICK

BUFF TILE PATTERN 2' X 4'

BOARDFORM CONCRETE

RETAINING WALL AT SKI ADU

HIGHLY TEXTURED

NEUTRAL WARM GRAY

7

HILFIKER RETAINING WALL

HILFIKER RETAINING WALL TO BE CLAD WITH GRAY RUBBLE STONE VENEER

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133 Sundance

Mountain Village, CO 81435

Exterior Materials

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A3.0a

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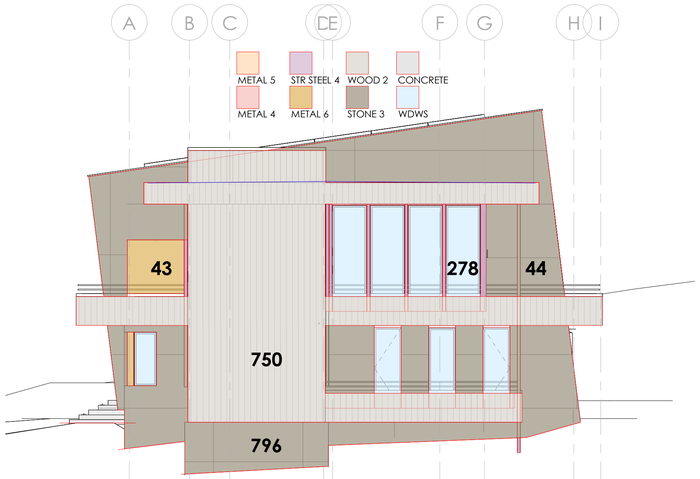
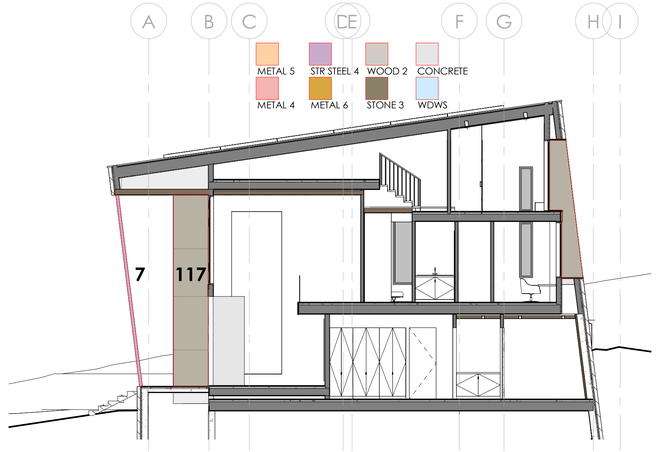


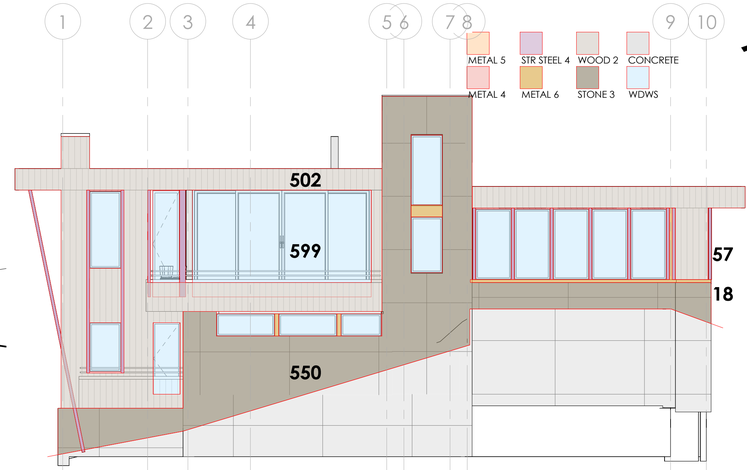
1 Materials MH East 1

SCALE 0 1 2 4 8 1/8" = 1'-0"



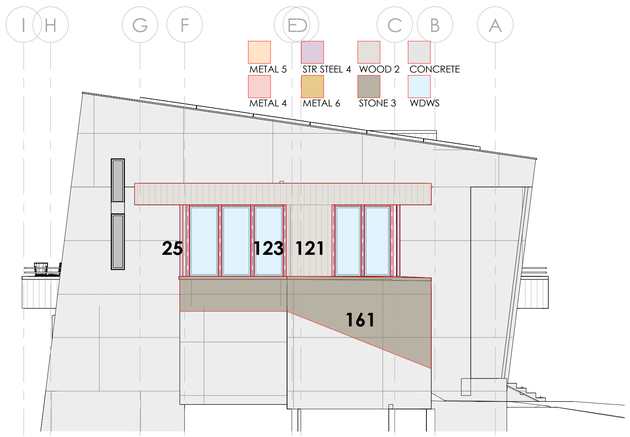
2 Materials MH East 2

SCALE 0 1 2 4 8 1/8" = 1'-0"



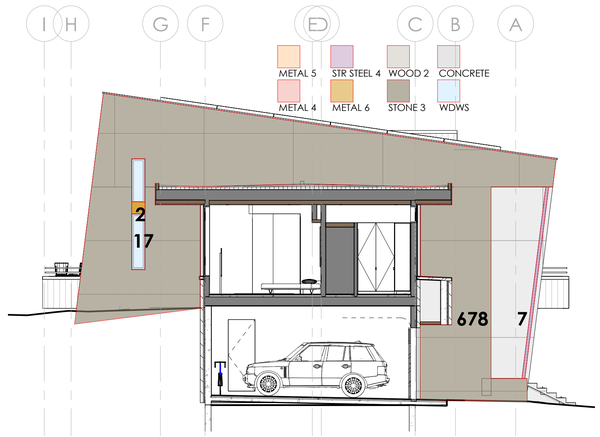
3 Materials MH North

SCALE 0 1 2 4 8 1/8" = 1'-0"



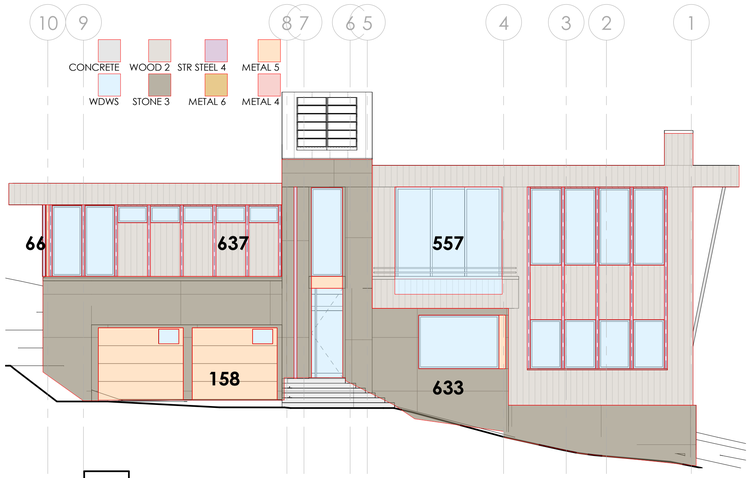
4 Materials MH West 1

SCALE 0 1 2 4 8 1/8" = 1'-0"



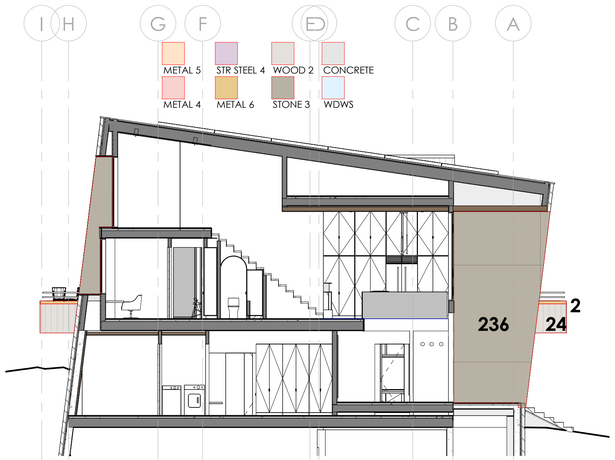
5 Materials MH West 2

SCALE 0 1 2 4 8 1/8" = 1'-0"



6 Materials MH South

SCALE 0 1 2 4 8 1/8" = 1'-0"



7 Materials MH West 3

SCALE 0 1 2 4 8 1/8" = 1'-0"

EAST ELEVATION MATERIAL SUMMARY -MAIN

MATERIAL	AMOUNT IN SQ. FT.
STONE VENEER	913
WOOD & TIMBER SIDING	750
FENESTRATION	278
EXPOSED STRUCTURAL STEEL	51
METAL PANEL	43
BOARDFORM CONCRETE	0

NORTH ELEVATION MATERIAL SUMMARY -MAIN

MATERIAL	AMOUNT IN SQ. FT.
STONE VENEER	550
WOOD & TIMBER SIDING	502
FENESTRATION	599
EXPOSED STRUCTURAL STEEL	57
METAL PANEL	18
BOARDFORM CONCRETE	0

SOUTH ELEVATION MATERIAL SUMMARY -MAIN

MATERIAL	AMOUNT IN SQ. FT.
STONE VENEER	633
WOOD & TIMBER SIDING	637
FENESTRATION	557
EXPOSED STRUCTURAL STEEL	66
METAL PANEL	158
BOARDFORM CONCRETE	0

WEST ELEVATION MATERIAL SUMMARY -MAIN

MATERIAL	AMOUNT IN SQ. FT.
STONE VENEER	1 075
WOOD & TIMBER SIDING	145
FENESTRATION	140
EXPOSED STRUCTURAL STEEL	32
METAL PANEL	4
BOARDFORM CONCRETE	0

35% STONE REQUIRED
41.53% STONE PROVIDED
COMPLIANT BY 6.53%

GROSS FACADE MATERIAL SUMMARY

MATERIAL	AMOUNT IN SQ. FT.
STONE VENEER	4 091
WOOD & TIMBER SIDING	2 665
FENESTRATION	1 961
EXPOSED STRUCTURAL STEEL	260
METAL PANEL	747
BOARDFORM CONCRETE	126
TOTAL VERT. SURFACE	9 850
TOTAL PERCENTAGE STONE:	41.53%
35% REQUIRED PER CDC | COMPLIANT BY	6.53%
TOTAL PERCENTAGE FENSTRATION:	19.91%
40% MAXIMUM PER CDC | COMPLIANT BY:	20.09%

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Exterior Material Calculations

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A3.0b

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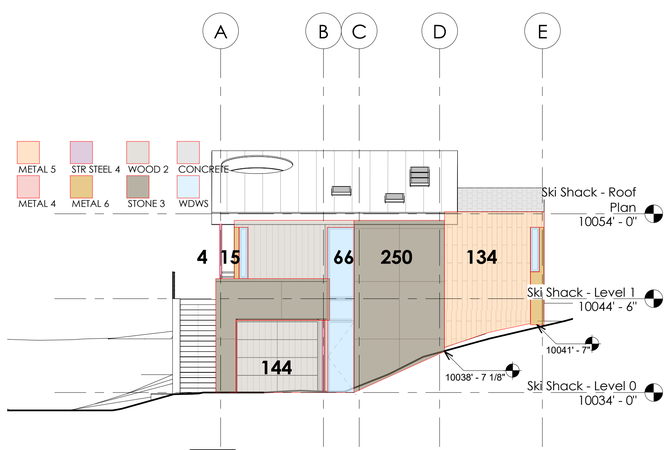
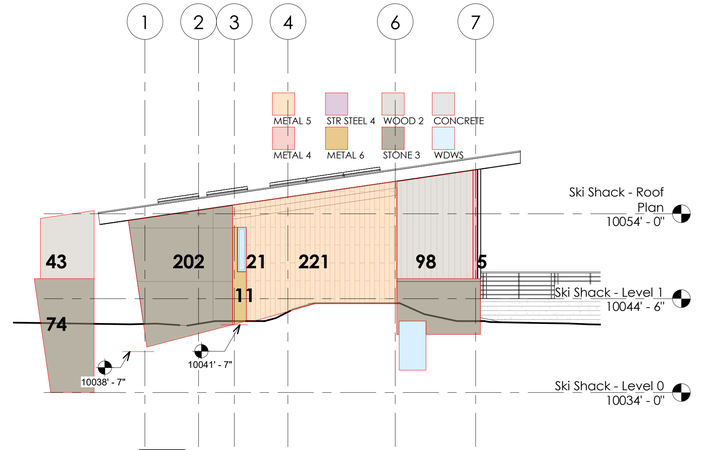


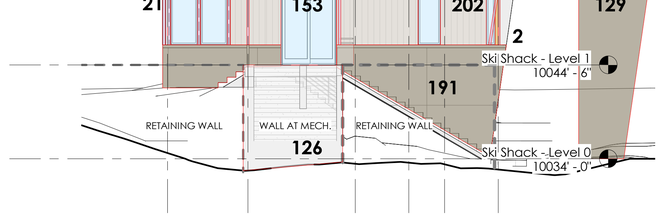
1 Materials Ski East

SCALE 0 1 2 4 8 1/8" = 1'-0"



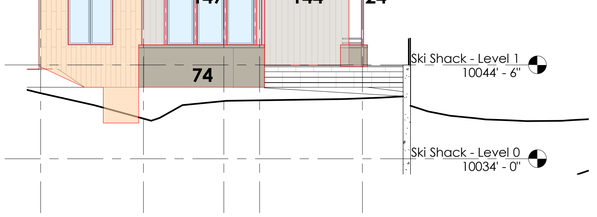
2 Materials Ski North

SCALE 0 1 2 4 8 1/8" = 1'-0"



3 Materials Ski South

SCALE 0 1 2 4 8 1/8" = 1'-0"



4 Materials Ski West

SCALE 0 1 2 4 8 1/8" = 1'-0"

SKI SHACK EAST ELEV. MATERIAL SUMMARY

MATERIAL	AMOUNT IN SQ. FT.
STONE VENEER	250
WOOD & TIMBER SIDING	144
FENESTRATION	66
EXPOSED STRUCTURAL STEEL	4
METAL PANEL	149
BOARDFORM CONCRETE	0

SKI SHACK SOUTH ELEV. MATERIAL SUMMARY

MATERIAL	AMOUNT IN SQ. FT.
STONE VENEER	320
WOOD & TIMBER SIDING	202
FENESTRATION	153
EXPOSED STRUCTURAL STEEL	21
METAL PANEL	2
BOARDFORM CONCRETE	126

SKI SHACK NORTH ELEV. MATERIAL SUMMARY

MATERIAL	AMOUNT IN SQ. FT.
STONE VENEER	276
WOOD & TIMBER SIDING	141
FENESTRATION	21
EXPOSED STRUCTURAL STEEL	5
METAL PANEL	232
BOARDFORM CONCRETE	0

SKI SHACK WEST ELEV. MATERIAL SUMMARY

MATERIAL	AMOUNT IN SQ. FT.
STONE VENEER	74
WOOD & TIMBER SIDING	144
FENESTRATION	147
EXPOSED STRUCTURAL STEEL	24
METAL PANEL	141
BOARDFORM CONCRETE	0

35% STONE REQUIRED
41.53% STONE PROVIDED
COMPLIANT BY 6.53%

GROSS FACADE MATERIAL SUMMARY

MATERIAL	AMOUNT IN SQ. FT.
STONE VENEER	4 091
WOOD & TIMBER SIDING	2 665
FENESTRATION	1 961
EXPOSED STRUCTURAL STEEL	260
METAL PANEL	747
BOARDFORM CONCRETE	126

TOTAL VERT. SURFACE	9 850
TOTAL PERCENTAGE STONE:	41.53%
35% REQUIRED PER CDC | COMPLIANT BY	6.53%
TOTAL PERCENTAGE FENSTRATION:	19.91%
40% MAXIMUM PER CDC | COMPLIANT BY:	20.09%

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STATE OF COLORADO
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B-3180
JUL 2 2023
LICENSED ARCHITECT

Submissions

INTERNAL REVIEW	23.07.17
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FINAL DRB	24.05.07
REVISED FINAL DRB	24.05.28

133 Sundance

Mountain Village, CO 81435

Exterior Material Calcs Ski Shack ADU

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A3.0c

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NORTH ELEVATION

SOUTH ELEVATION

WEST ELEVATION

EAST ELEVATION

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133 Sundance

Mountain Village, CO
81435

Rendered Exterior Elevations (not to scale)

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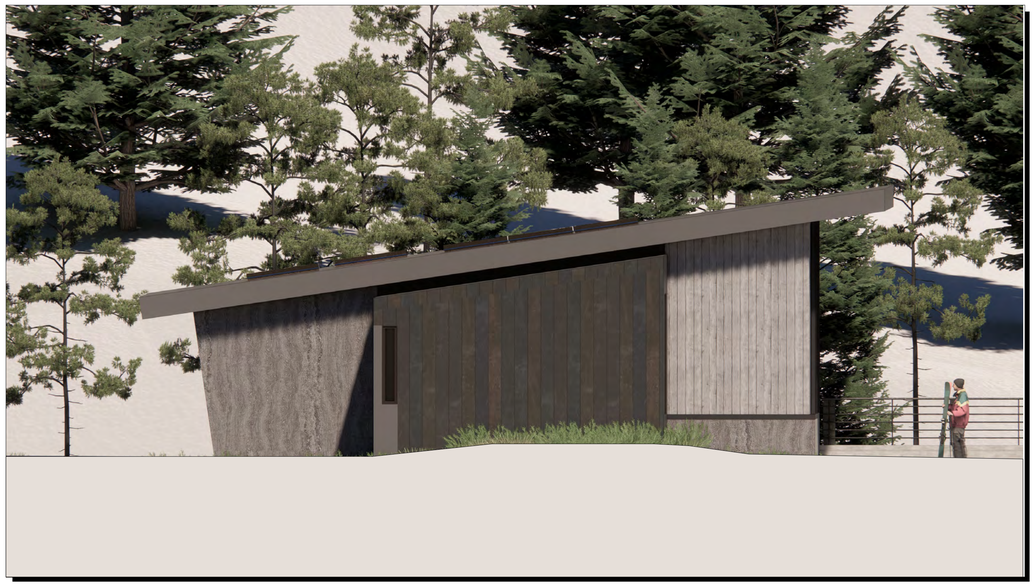
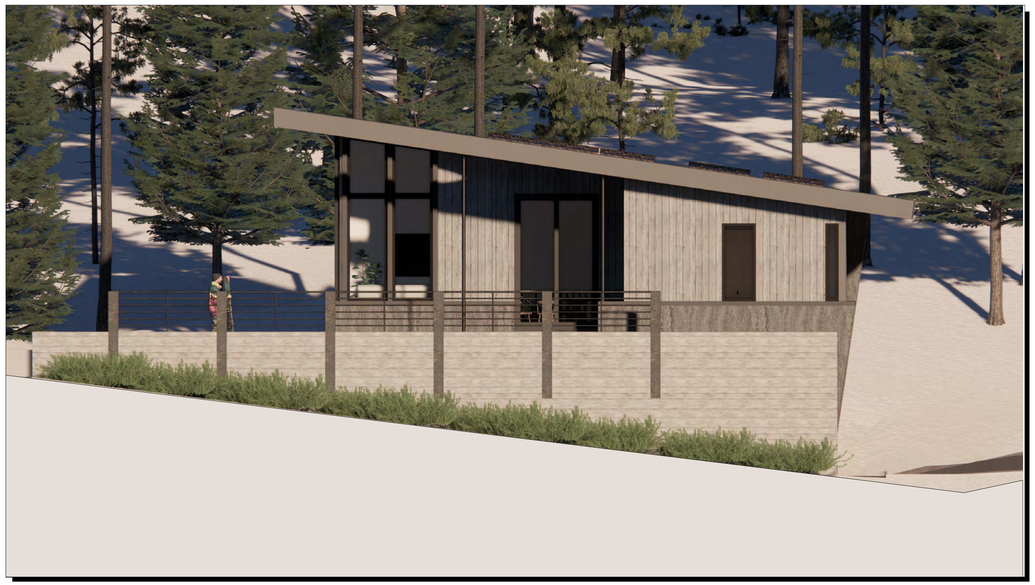
A3.0d



SKI - NORTH ELEVATION



SKI - SOUTH ELEVATION

SKI - WEST ELEVATION

SKI - EAST ELEVATION

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133 Sundance

Mountain Village, CO 81435

Rendered Exterior Ski Elevations (not to scale)

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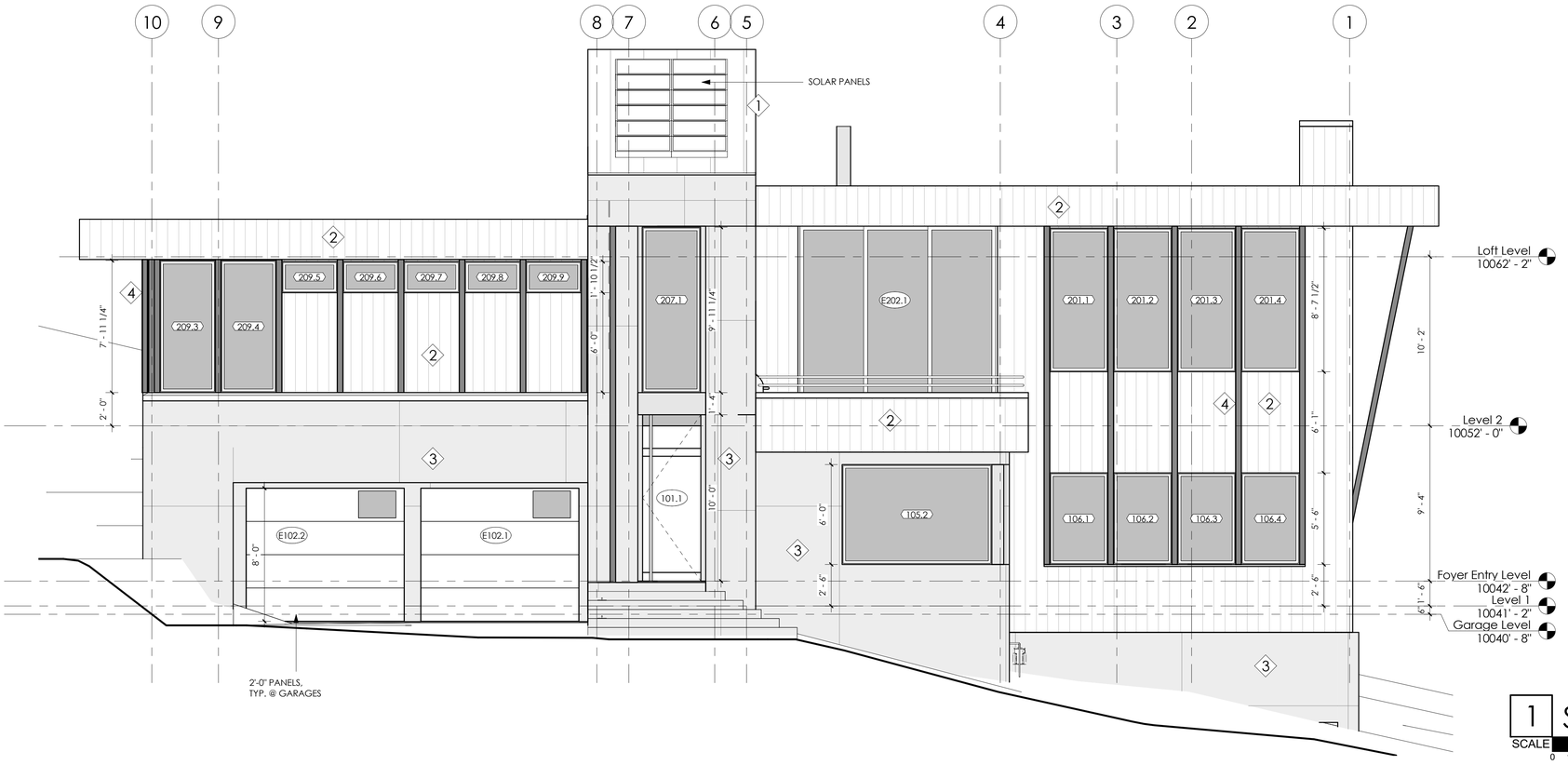
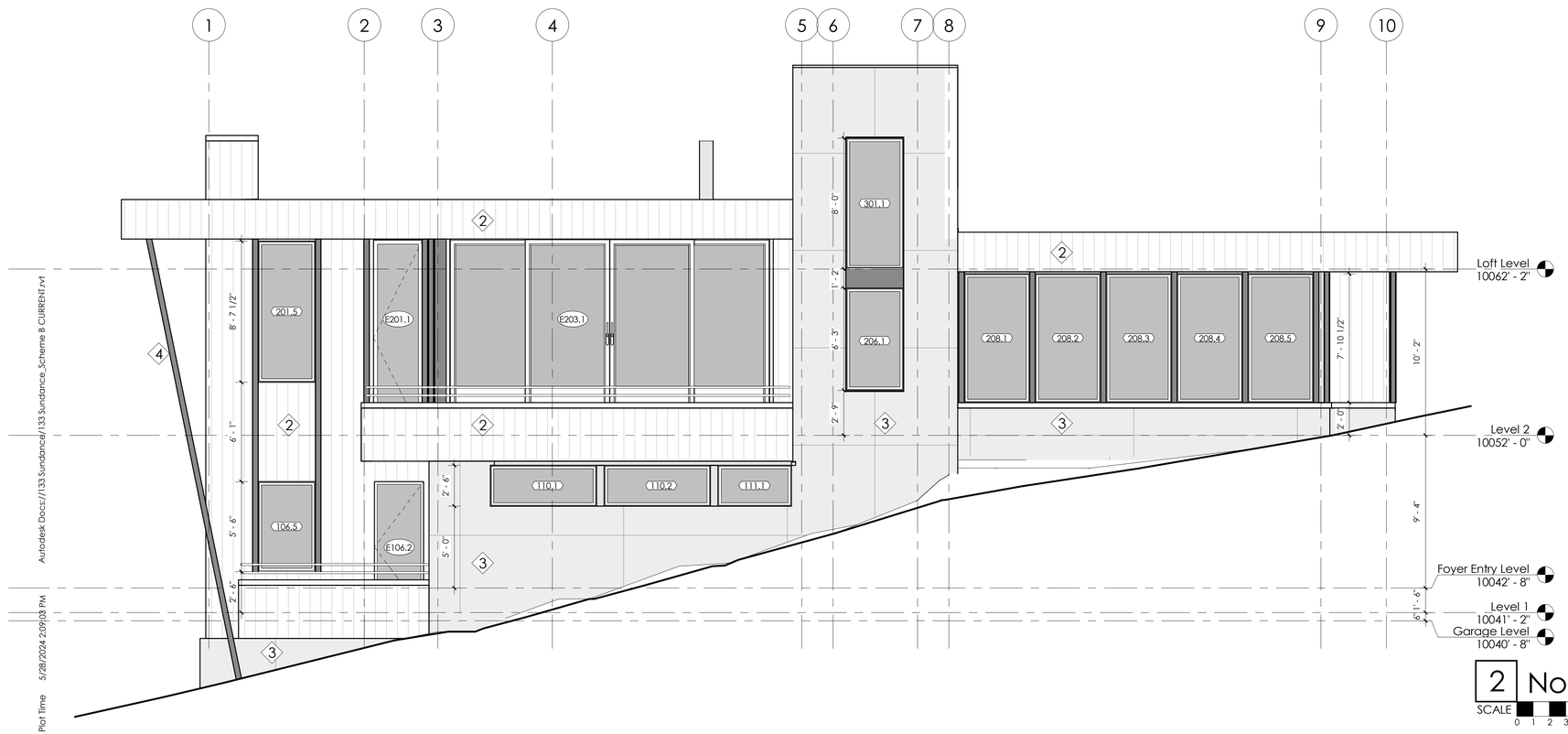
A3.0e



1 South Elevation

SCALE 0 1 2 3 4 1/4" = 1'-0"



2 North Elevation

SCALE 0 1 2 3 4 1/4" = 1'-0"

MATERIAL LEGEND

1 STANDING SEAM

2 VERTICAL WOOD SIDING 8"

3 STONE PANELS

4 STEEL/ STEEL PANELS

5 STEEL PANELS

6 BALLAST STONE

7 BOARD FORMED CONCRETE

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Exterior Elevations

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EXTERIOR ELEVATION GENERAL NOTES

1. REFER TO A8 SERIES SHEETS FOR ASSEMBLY SYSTEM DETAILS.
2. REFER TO A9 SERIES SHEETS FOR DOOR & WINDOW SCHEDULES, ELEVATIONS, AND DETAILS.
3. CONTRACTOR TO PROVIDE SAMPLES ON-SITE OF ALL EXTERIOR MATERIALS FOR REVIEW AND APPROVAL BY OWNER AND ARCHITECT.

A3.1

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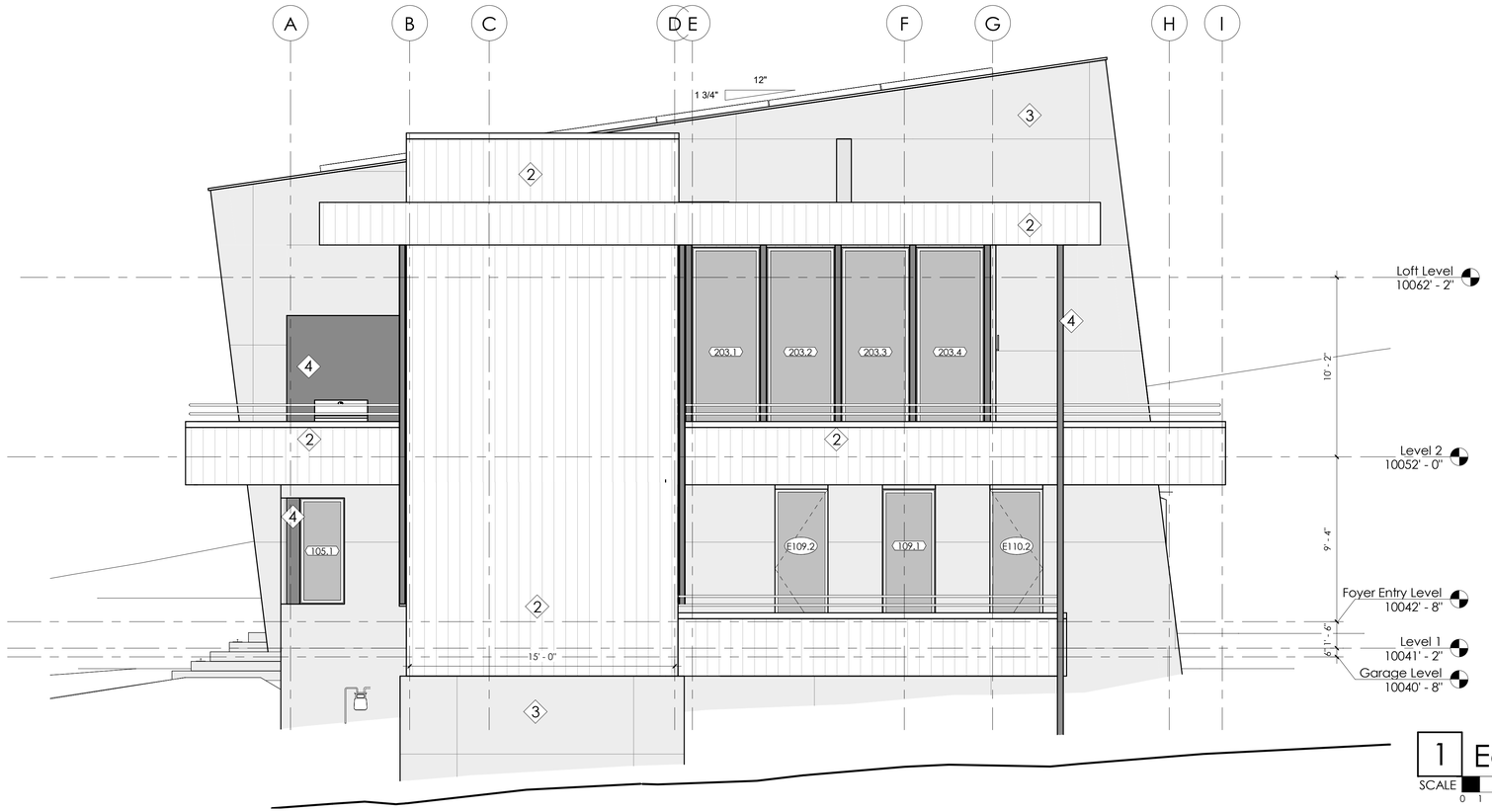
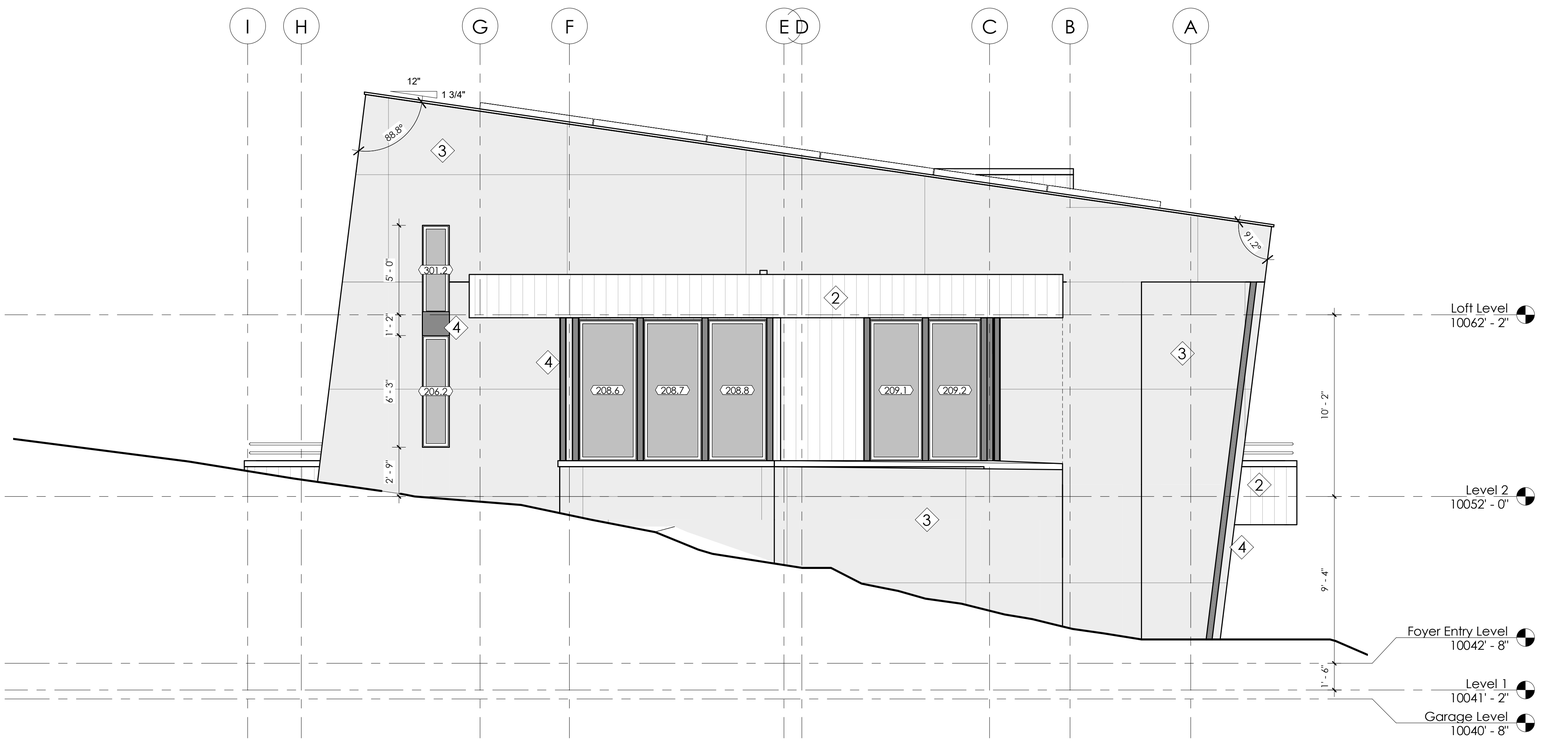


1 East Elevation

SCALE 0 1 2 3 4 1/4" = 1'-0"



2 West Elevation

SCALE 0 1 2 3 4 1/4" = 1'-0"

MATERIAL LEGEND

1 STANDING SEAM

2 VERTICAL WOOD SIDING 8"

3 STONE PANELS

4 STEEL/ STEEL PANELS

5 STEEL PANELS

6 BALLAST STONE

7 BOARD FORMED CONCRETE

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Exterior Elevations

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A3.2

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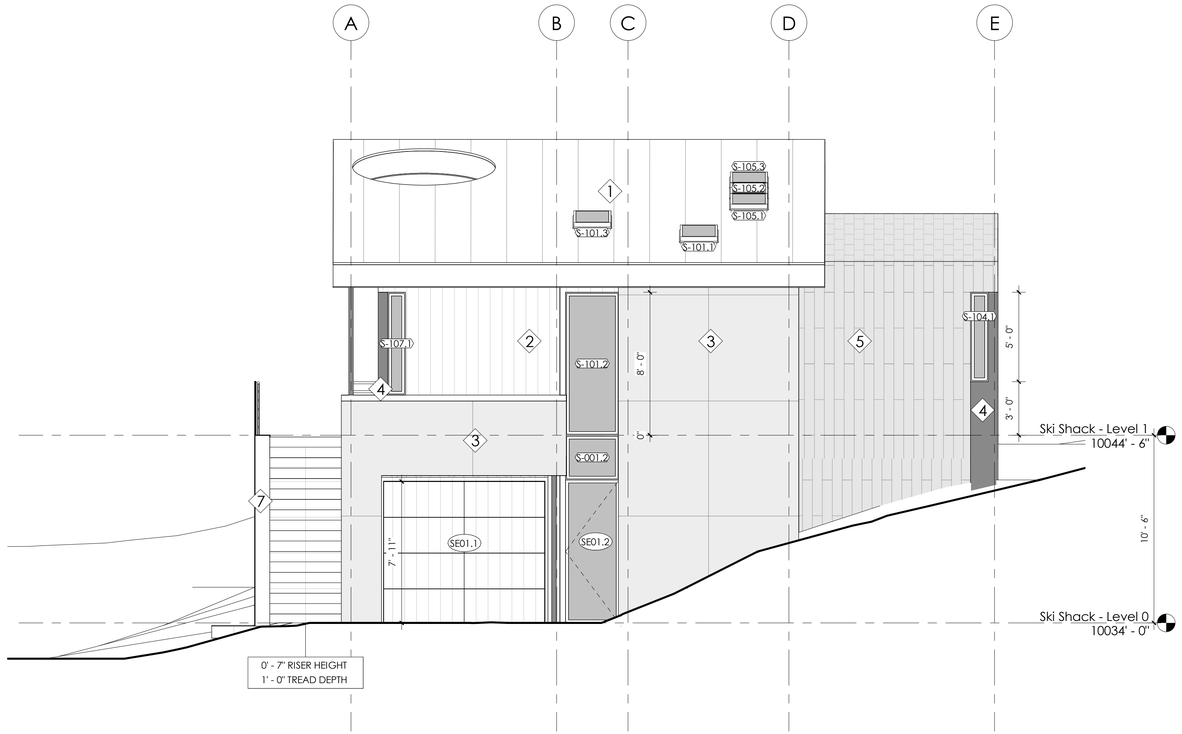
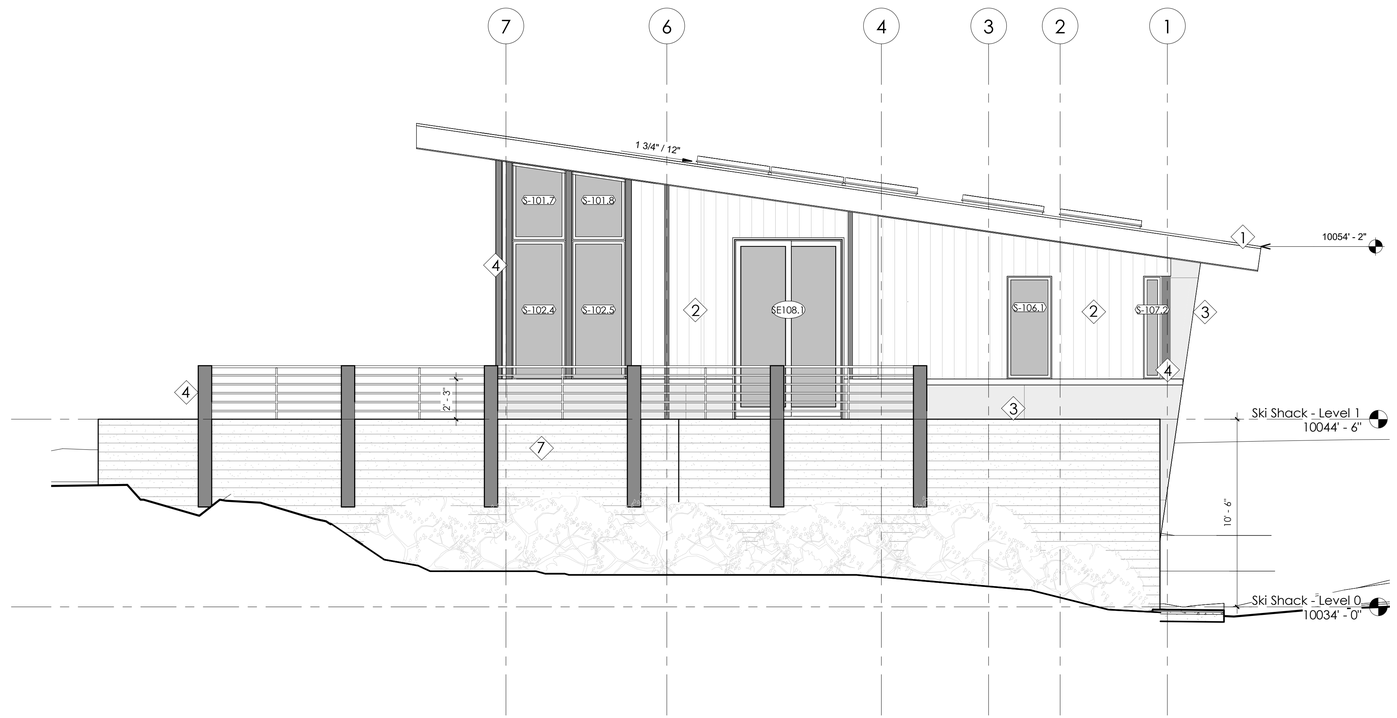


1 Ski Shack - East Elevation

SCALE 0 1 2 3 4 1/4" = 1'-0"



2 Ski Shack - South Elevation

SCALE 0 1 2 3 4 1/4" = 1'-0"

MATERIAL LEGEND

1 STANDING SEAM

2 VERTICAL WOOD SIDING 8"

3 STONE PANELS

4 STEEL/ STEEL PANELS

5 STEEL PANELS

6 BALLAST STONE

7 BOARD FORMED CONCRETE

EXTERIOR ELEVATION GENERAL NOTES

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SKI Shack

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Exterior Elevations - Ski Shack ADU

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A3.5

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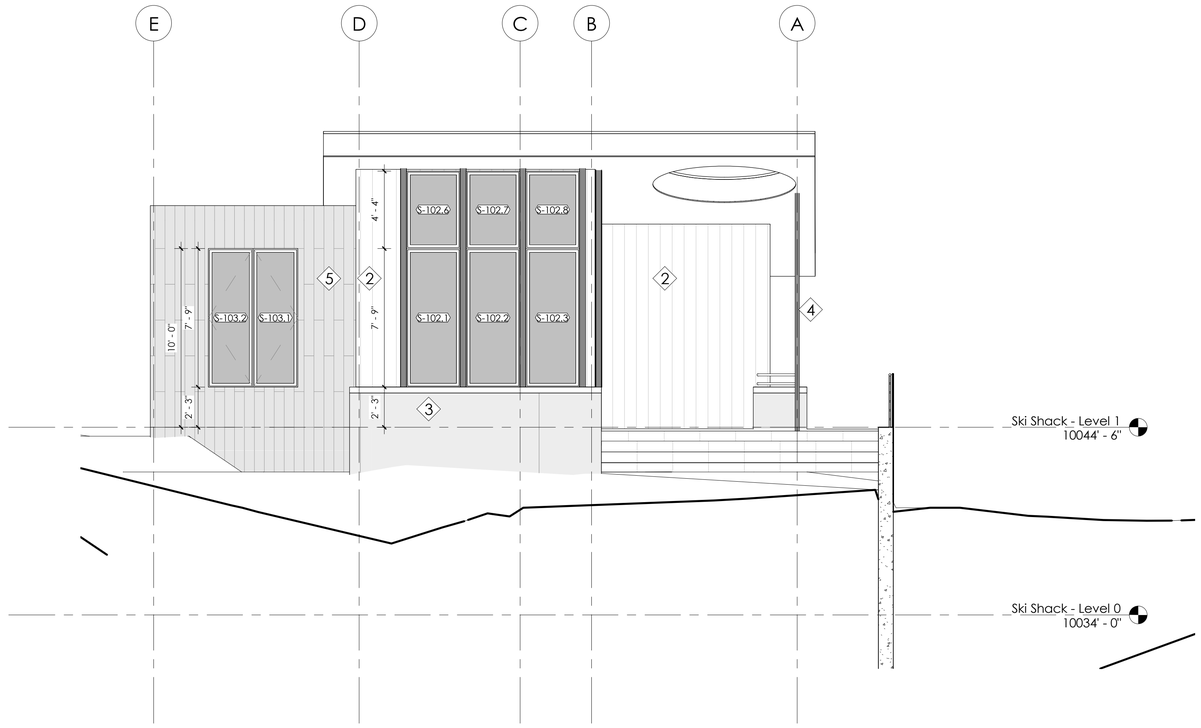
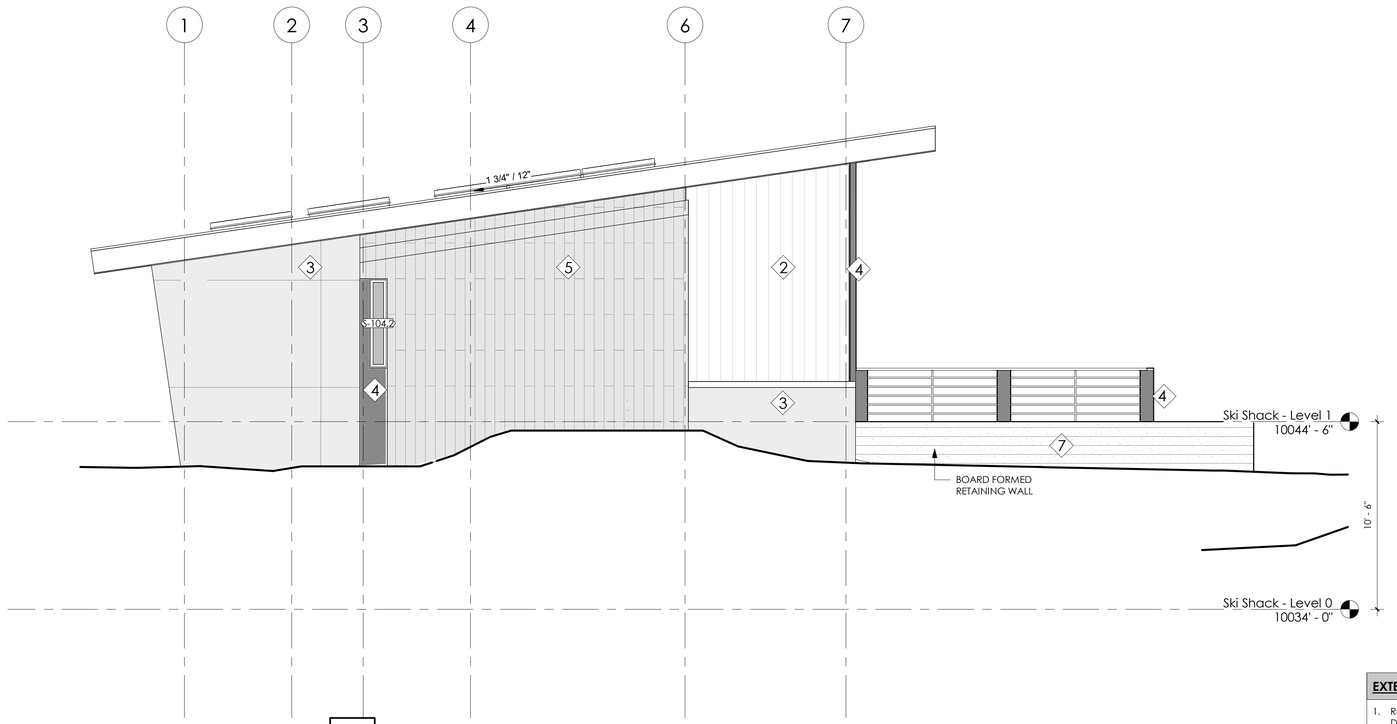


1 Ski Shack - West Elevation

SCALE 0 1 2 3 4 1/4" = 1'-0"



2 Ski Shack - North Elevation

SCALE 0 1 2 3 4 1/4" = 1'-0"

MATERIAL LEGEND

1 STANDING SEAM

2 VERTICAL WOOD SIDING 8"

3 STONE PANELS

4 STEEL/ STEEL PANELS

5 STEEL PANELS

6 BALLAST STONE

7 BOARD FORMED CONCRETE

EXTERIOR ELEVATION GENERAL NOTES

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SKI Shack

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Exterior Elevations - Ski Shack ADU

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A3.6

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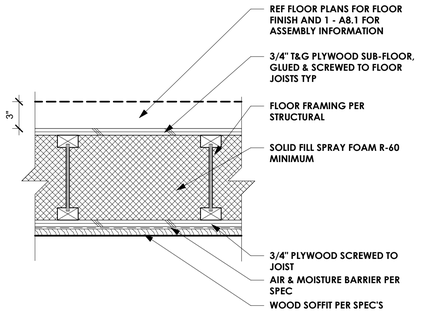
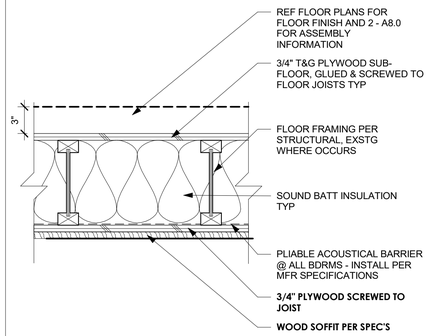
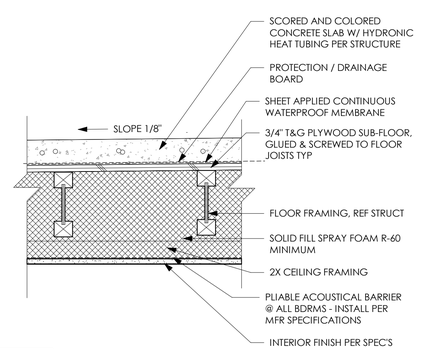


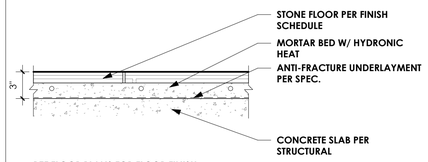
6 EXTERIOR FLOOR FRAMING 2
SCALE 1 1/2" = 1'-0"



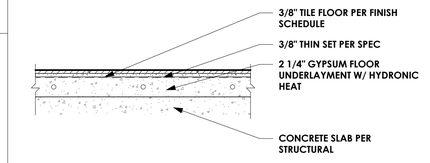
9 INT FLOOR FRAMING -WOOD CEILING
SCALE 1 1/2" = 1'-0"



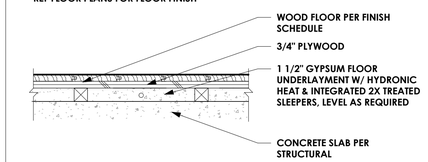
5 EXT - INT FLOOR FRAMING
SCALE 1 1/2" = 1'-0"



REF FLOOR PLANS FOR FLOOR FINISH



REF FLOOR PLANS FOR FLOOR FINISH



2 FLOOR FINISH DETAIL @ CONCRETE SLAB
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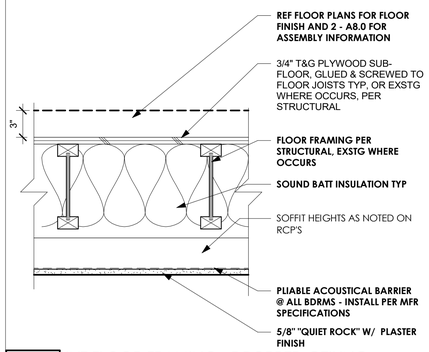
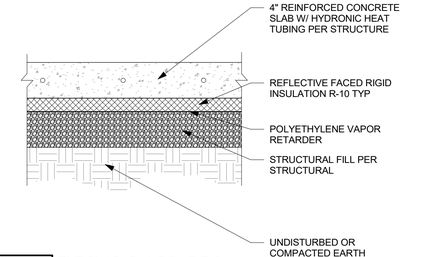
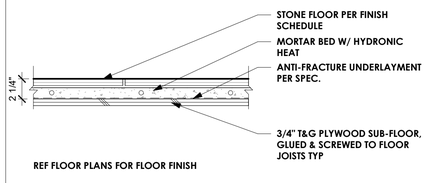


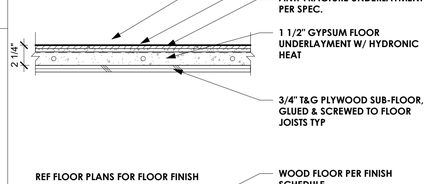
8 INT FLOOR FRAMING - DROPPED CEILING
SCALE 1 1/2" = 1'-0"



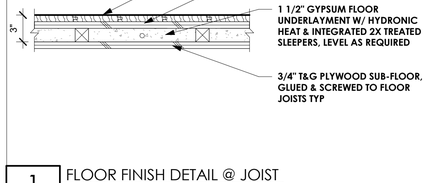
4 EXT SLAB ON GRADE 1
SCALE 1 1/2" = 1'-0"



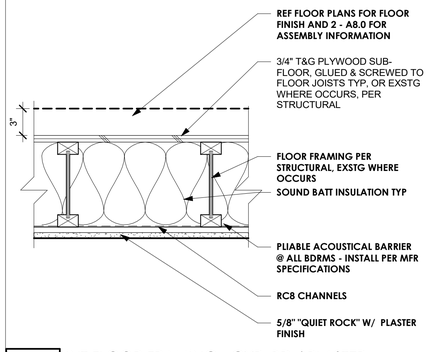
REF FLOOR PLANS FOR FLOOR FINISH



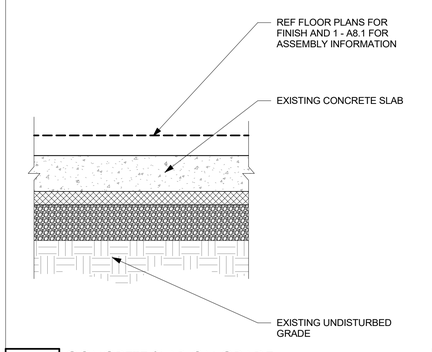
REF FLOOR PLANS FOR FLOOR FINISH



1 FLOOR FINISH DETAIL @ JOIST
SCALE 1 1/2" = 1'-0"



7 INT FLOOR FRAMING - GYP. BD / PLASTER
SCALE 1 1/2" = 1'-0"



3 CONCRETE SLAB ON GRADE
SCALE 1 1/2" = 1'-0"

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Floor Assemblies

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A8.1

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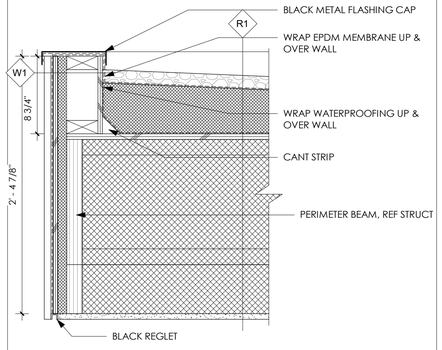
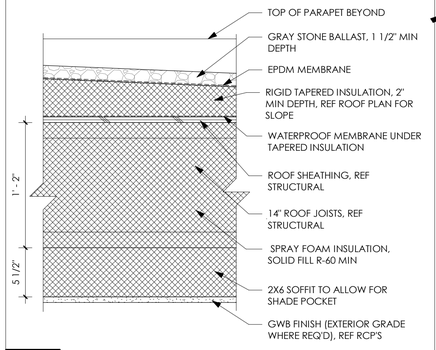
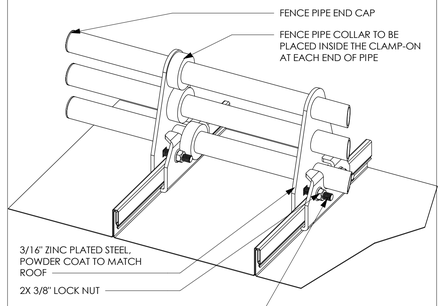


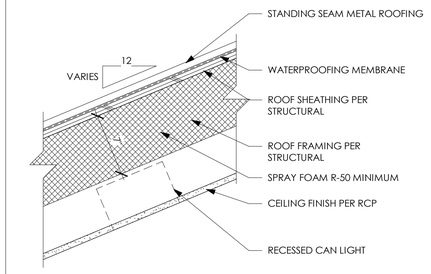
1 ROOF PARAPET
SCALE 1 1/2" = 1'-0"



R1 FLAT ROOF W/ STONE BALLAST
SCALE 1 1/2" = 1'-0"



2 SNOW CONTROL
SCALE 1 1/2" = 1'-0"



R2 SLOPED ROOF
SCALE 1 1/2" = 1'-0"

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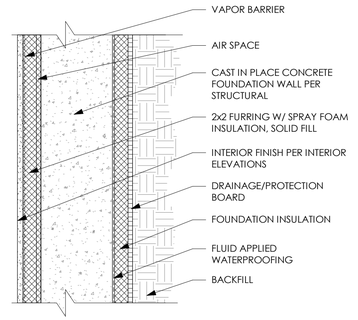
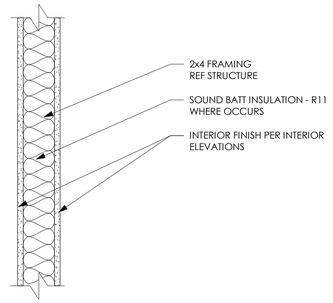
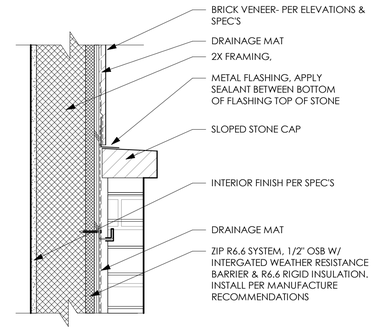
Plot Time 5/28/2024 2:09:06 PM Autodesk Docs://133 Sundance/133 Sundance_Scheme B CURRENT.rvt



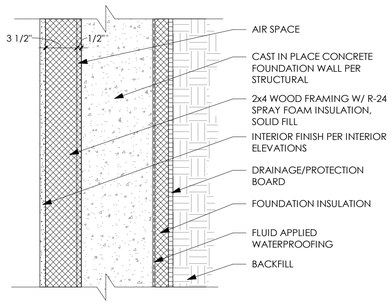
12 CONCRETE FOUNDATION WITH FURRING
SCALE 1 1/2" = 1'-0"



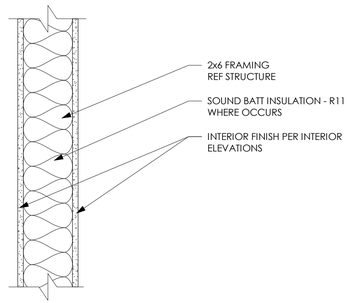
8 2x4 INTERIOR PARTITION
SCALE 1 1/2" = 1'-0"



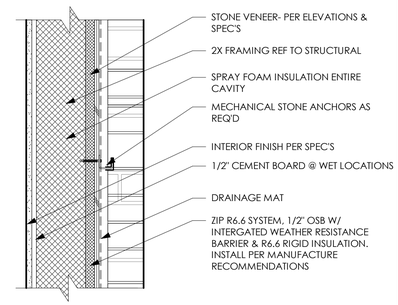
4 2X EXTERIOR WALL - STONE CAP
SCALE 1 1/2" = 1'-0"



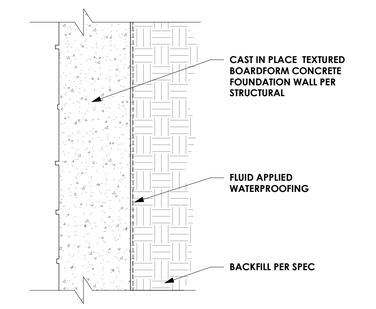
11 CONCRETE FOUNDATION WITH 2x4
SCALE 1 1/2" = 1'-0"



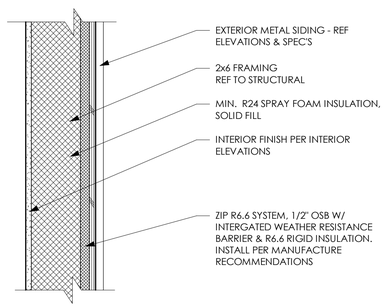
7 2x6 INTERIOR PARTITION
SCALE 1 1/2" = 1'-0"



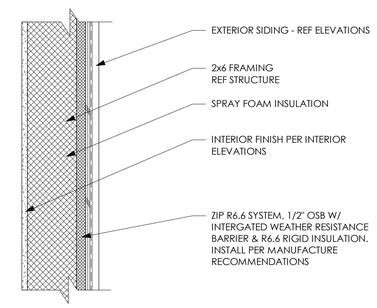
W3 2X EXTERIOR WALL - STONE 1 SIDE
SCALE 1 1/2" = 1'-0"



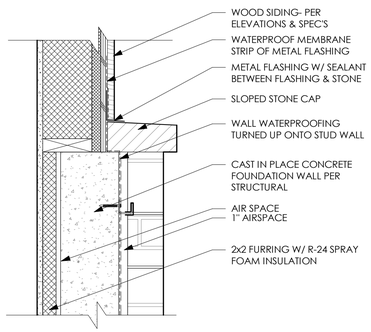
10 TEXTURED BOARDFORM CONCRETE
SCALE 1 1/2" = 1'-0"



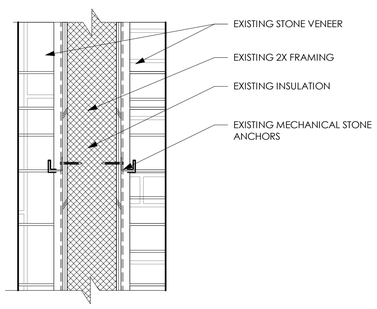
6 2x6 EXTERIOR WALL W/ METAL SIDING
SCALE 1 1/2" = 1'-0"



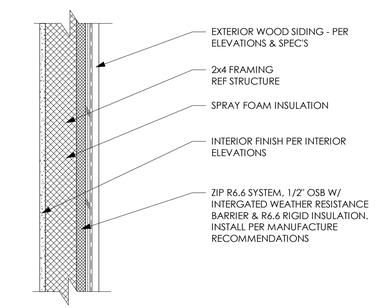
W2 2x6 EXTERIOR WALL W/ WOOD SIDING
SCALE 1 1/2" = 1'-0"



9 CONCRETE FDN WALL - EXT STONE CAP
SCALE 1 1/2" = 1'-0"



5 EXISTING 2X WALL - STONE 2 SIDES
SCALE 1 1/2" = 1'-0"



W1 2x4 EXTERIOR WALL W/ WOOD SIDING
SCALE 1 1/2" = 1'-0"

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STATE OF COLORADO
THOMAS E. HEIN, JR.
B-3180
JUL 2 2023
LICENSED ARCHITECT

Submissions

INTERNAL REVIEW	23.07.17
INITIAL ARCH & SITE REVIEW SUBMITTAL	23.07.24
STAKING PLAN	23.07.26
INITIAL DRB2	23.10.09
INTERNAL REVIEW	24.01.23
FINAL DRB	24.02.15
FINAL DRB	24.05.07
REVISED FINAL DRB	24.05.28

133 Sundance

Mountain Village, CO 81435

Wall Assemblies

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

A8.3

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Window Schedule

Tag	Level	Room	Width	Height	Finish Frame Height	Operation	Head/Jamb/Sill	Comments
106.2	Foyer Entry Level	MEDIA/LOUNGE	3' - 6"	5' - 6"	6' - 6"			
106.3	Foyer Entry Level	MEDIA/LOUNGE	3' - 6"	5' - 6"	6' - 6"			
105.1	Level 1	SPA/GYM/BED 2	2' - 6"	6' - 0"	8' - 6"			
105.2	Level 1	SPA/GYM/BED 2	9' - 0"	6' - 0"	8' - 6"			
106.1	Level 1	MEDIA/LOUNGE	3' - 6"	5' - 6"	8' - 0"			
106.4	Level 1	MEDIA/LOUNGE	3' - 6"	5' - 6"	8' - 0"			
106.5	Level 1	MEDIA/LOUNGE	3' - 6"	5' - 6"	8' - 0"			
109.1	Level 1	BEDROOM 3	3' - 0"	9' - 0"	9' - 0"			
110.1	Level 1	BUNK BED 4	6' - 6"	2' - 6"	9' - 0"			
110.2	Level 1	BUNK BED 4	6' - 6"	2' - 6"	9' - 0"			
111.1	Level 1	BUNK BATH 4	4' - 6"	2' - 6"	9' - 0"			
201.1	Level 2	KITCHEN	3' - 6"	8' - 7 1/2"	11' - 10 1/2"			
201.2	Level 2	KITCHEN	3' - 6"	8' - 7 1/2"	11' - 10 1/2"			
201.3	Level 2	KITCHEN	3' - 6"	8' - 7 1/2"	11' - 10 1/2"			
201.4	Level 2	KITCHEN	3' - 6"	8' - 7 1/2"	11' - 10 1/2"			
201.5	Level 2	KITCHEN	3' - 6"	8' - 7 1/2"	11' - 10 1/2"			
203.1	Level 2	LIVING	3' - 10"	11' - 10 1/2"	11' - 10 1/2"			
203.2	Level 2	LIVING	3' - 10"	11' - 10 1/2"	11' - 10 1/2"			
203.3	Level 2	LIVING	3' - 10"	11' - 10 1/2"	11' - 10 1/2"			
203.4	Level 2	LIVING	3' - 10"	11' - 10 1/2"	11' - 10 1/2"			
206.1	Level 2	OFFICE	3' - 6"	6' - 3"	9' - 0"			
206.2	Level 2	OFFICE	1' - 6"	6' - 3"	9' - 0"			
207.1	Level 2	ENTRY HALL	3' - 6"	9' - 11 1/4"	11' - 11 1/4"			
208.1	Level 2	PRIMARY SUITE	4' - 0"	7' - 10 1/2"	9' - 10 1/2"			
208.2	Level 2	PRIMARY SUITE	4' - 0"	7' - 10 1/2"	9' - 10 1/2"			
208.3	Level 2	PRIMARY SUITE	4' - 0"	7' - 10 1/2"	9' - 10 1/2"			
208.4	Level 2	PRIMARY SUITE	4' - 0"	7' - 10 1/2"	9' - 10 1/2"			
208.5	Level 2	PRIMARY SUITE	4' - 0"	7' - 10 1/2"	9' - 10 1/2"			
208.6	Level 2	PRIMARY SUITE	3' - 3"	7' - 10 1/2"	9' - 10 1/2"			
208.7	Level 2	PRIMARY SUITE	3' - 3"	7' - 10 1/2"	9' - 10 1/2"			
208.8	Level 2	PRIMARY SUITE	3' - 3"	7' - 10 1/2"	9' - 10 1/2"			
209.1	Level 2	PRIMARY BATH/DRESSING	2' - 11"	7' - 10 1/2"	9' - 10 1/2"			
209.2	Level 2	PRIMARY BATH/DRESSING	2' - 11"	7' - 10 1/2"	9' - 10 1/2"			
209.3	Level 2	PRIMARY BATH/DRESSING	3' - 4"	7' - 11 1/4"	9' - 11 1/4"			
209.4	Level 2	PRIMARY BATH/DRESSING	3' - 4"	7' - 11 1/4"	9' - 11 1/4"			
209.5	Level 2	PRIMARY BATH/DRESSING	3' - 4"	1' - 10 1/2"	9' - 10 1/2"			
209.6	Level 2	PRIMARY BATH/DRESSING	3' - 4"	1' - 10 1/2"	9' - 10 1/2"			
209.7	Level 2	PRIMARY BATH/DRESSING	3' - 4"	1' - 10 1/2"	9' - 10 1/2"			
209.8	Level 2	PRIMARY BATH/DRESSING	3' - 4"	1' - 10 1/2"	9' - 10 1/2"			
209.9	Level 2	PRIMARY BATH/DRESSING	3' - 4"	1' - 10 1/2"	9' - 10 1/2"			
301.1	Loft Level	MEDITATION	3' - 6"	8' - 0"	8' - 0"			
301.2	Loft Level	MEDITATION	1' - 6"	5' - 0"	5' - 0"			
S-001.2	Ski Shack - Level 0		3' - 0"	2' - 6"	10' - 6"			
S-002.1	Ski Shack - Level 0	GARAGE	3' - 0"	5' - 6"	8' - 0"			
S-002.2	Ski Shack - Level 0	GARAGE	3' - 0"	5' - 6"	8' - 6"			
S-101.2	Ski Shack - Level 1	DINING	3' - 0"	8' - 0"	8' - 0"			
S-101.7	Ski Shack - Level 1	LOUNGE	3' - 0"	5' - 0"	15' - 0"			
S-101.8	Ski Shack - Level 1	LOUNGE	3' - 0"	4' - 6"	14' - 6"			
S-102.1	Ski Shack - Level 1	LOUNGE	3' - 0"	7' - 9"	10' - 0"			
S-102.2	Ski Shack - Level 1	LOUNGE	3' - 0"	7' - 9"	10' - 0"			
S-102.3	Ski Shack - Level 1	LOUNGE	3' - 0"	7' - 9"	10' - 0"			
S-102.4	Ski Shack - Level 1	LOUNGE	3' - 0"	7' - 9"	10' - 0"			
S-102.5	Ski Shack - Level 1	LOUNGE	3' - 0"	7' - 9"	10' - 0"			
S-102.6	Ski Shack - Level 1	LOUNGE	3' - 0"	4' - 4"	14' - 4"			
S-102.7	Ski Shack - Level 1	LOUNGE	3' - 0"	4' - 4"	14' - 4"			
S-102.8	Ski Shack - Level 1	LOUNGE	3' - 0"	4' - 4"	14' - 4"			
S-103.1	Ski Shack - Level 1	SKI BED 1	2' - 6"	7' - 9"	10' - 0"			
S-103.2	Ski Shack - Level 1	SKI BED 1	2' - 6"	7' - 9"	10' - 0"			
S-104.1	Ski Shack - Level 1		1' - 0"	5' - 0"	8' - 0"			
S-104.2	Ski Shack - Level 1		1' - 0"	5' - 0"	8' - 0"			
S-106.1	Ski Shack - Level 1	SKI BED 2	2' - 6"	5' - 9"	8' - 0"			
S-107.1	Ski Shack - Level 1	SKI BATH 2	1' - 0"	5' - 9"	8' - 0"			
S-107.2	Ski Shack - Level 1	SKI BATH 2	1' - 0"	5' - 9"	8' - 0"			
S-101.1	Ski Shack - Roof Plan		2' - 0"	4' - 6"		Fixed		Skylight

Door Schedule - Interior Doors

Tag	Level	Room	Width	Height	Operation	Comments
101.1	Foyer Entry Level	ENTRY HALL	3' - 6"	10' - 0"		
003.1	Level 1	MUD/SKI	3' - 0"	8' - 0"		
104.1	Level 1	HALL	3' - 0"	7' - 0"		
105.1	Level 1	ENTRY HALL	2' - 8"	8' - 0"		
106.1	Level 1	ENTRY HALL	2' - 8"	8' - 0"		
107.1	Level 1	ENTRY HALL	2' - 4"	8' - 0"		
107.2	Level 1	BATH 2	2' - 0"	8' - 0"		
108.1	Level 1	BEDROOM 3	2' - 6"	8' - 0"		
108.2	Level 1	BATH 3	2' - 4"	8' - 0"		
109.1	Level 1	HALL	2' - 8"	8' - 0"		
110.1	Level 1	HALL	2' - 8"	8' - 0"		
111.1	Level 1	BUNK BED 4	2' - 6"	8' - 0"		
111.2	Level 1	BUNK BATH 4	2' - 6"	8' - 0"		
111.3	Level 1	BUNK BATH 4	2' - 6"	8' - 0"		
113.1	Level 1	LAUNDRY	2' - 8"	8' - 0"		
110.8	Level 2	STAIR	0"	0"		
205.1	Level 2	P.R.	2' - 6"	8' - 0"		
206.1	Level 2	OFFICE	2' - 6"	8' - 0"		
208.1	Level 2	PRIMARY SUITE	3' - 0"	10' - 0"		
209.3	Level 2	PRIMARY BATH/DRESSING	2' - 6"	7' - 6"		
209.4	Level 2	PRIMARY BATH/DRESSING	2' - 6"	7' - 3"		
209.5	Level 2	PRIMARY BATH/DRESSING	2' - 4"	7' - 3"		
301.1	Loft Level	MEDITATION	2' - 6"	8' - 0"		
301.2	Loft Level		2' - 8"	8' - 0"		
S-103.1	Ski Shack - Level 1	LOUNGE	2' - 8"	7' - 6"		
S-104.1	Ski Shack - Level 1	SKI BED 1	2' - 6"	8' - 0"		
S-104.2	Ski Shack - Level 1	SKI BATH 1	2' - 6"	8' - 0"		
S-104.3	Ski Shack - Level 1	SKI BATH 1	2' - 6"	8' - 0"		
S-106.1	Ski Shack - Level 1	DINING	2' - 8"	7' - 6"		
S-107.1	Ski Shack - Level 1	SKI BATH 2	2' - 6"	8' - 0"		
S-107.2	Ski Shack - Level 1	SKI BATH 2	2' - 0"	7' - 6"		
S-107.3	Ski Shack - Level 1	SKI BATH 2	2' - 4"	8' - 0"		
S-109.1	Ski Shack - Level 1	DINING	2' - 6"	7' - 6"		

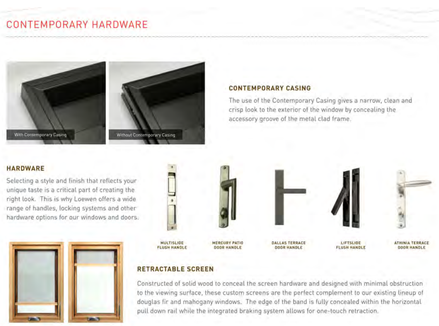
Door Schedule - Exterior Doors

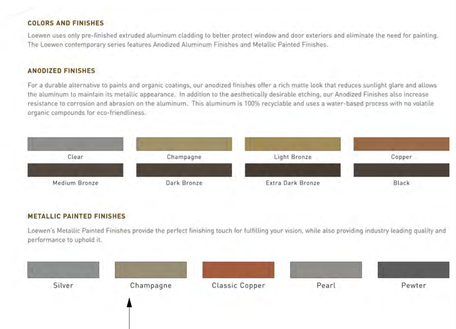
Tag	Level	Room	Width	Height	Operation	Comments
E102.1	Garage Level	GARAGE	9' - 6"	8' - 0"		Garage Door
E102.2	Garage Level	GARAGE	9' - 6"	8' - 0"		Garage Door
E106.2	Level 1	MEDIA/LOUNGE	3' - 0"	8' - 0"		Exterior
E109.2	Level 1	BEDROOM 3	3' - 0"	9' - 0"		
E110.2	Level 1	BUNK BED 4	3' - 0"	9' - 0"		
E201.1	Level 2	KITCHEN	3' - 0"	11' - 11 1/4"		
E202.1	Level 2	DINING	12' - 0"	12' - 1 1/2"		Exterior 3-Panel Sliding Door
E203.1	Level 2	LIVING	20' - 0"	12' - 2 1/2"		
SE01.1	Ski Shack - Level 0	GARAGE	9' - 0"	8' - 0"		
SE01.2	Ski Shack - Level 0	GARAGE	3' - 0"	8' - 0"		
SE108.1	Ski Shack - Level 1	DINING	6' - 2 3/4"	10' - 0"		

WINDOW CUT SHEETS

Loewen

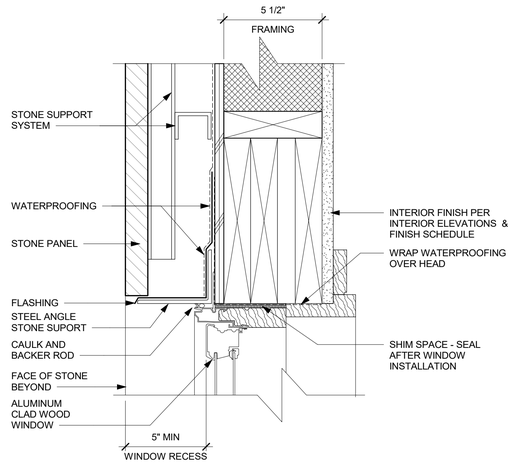
This corner sample of a picture window shows the thin lines and flat profile that can be achieved with cut down jambs and square glazing stops.





TYPICAL WINDOW STYLE / FRAME / AND MANUFACTURER

CHAMPANE COLOR



1 WINDOW HEAD

SCALE 0 1/4" 1/2" 1" 3" = 1'-0"

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FINAL DRB	24.02.15
FINAL DRB	24.05.07
REVISED FINAL DRB	24.05.28

133 Sundance

Mountain Village, CO 81435

Door & Window Schedules and Typ Detail

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201.

A9.1

Plot Time 5/28/2024 2:09:07 PM Autodesk Docs://133 Sundance/133 Sundance_Scheme B CURRENT.rvt

1 SITE PLAN - LUX (FCx10)
1/16" = 1'-0"

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133 SUNDANCE
133 SUNDANCE
MOUNTAIN VILLAGE, CO

Issue:
02.12.2024
EXTERIOR DRB REVIEW
04.19.2024
EXTERIOR DRB REVIEW

DRB REVIEW

DESCRIPTION
SITE PLAN LIGHTING - PHOTOMETRICS

SCALE: As indicated
SHEET
LT1.0

EXTERIOR AND SITE LIGHTING NOTES

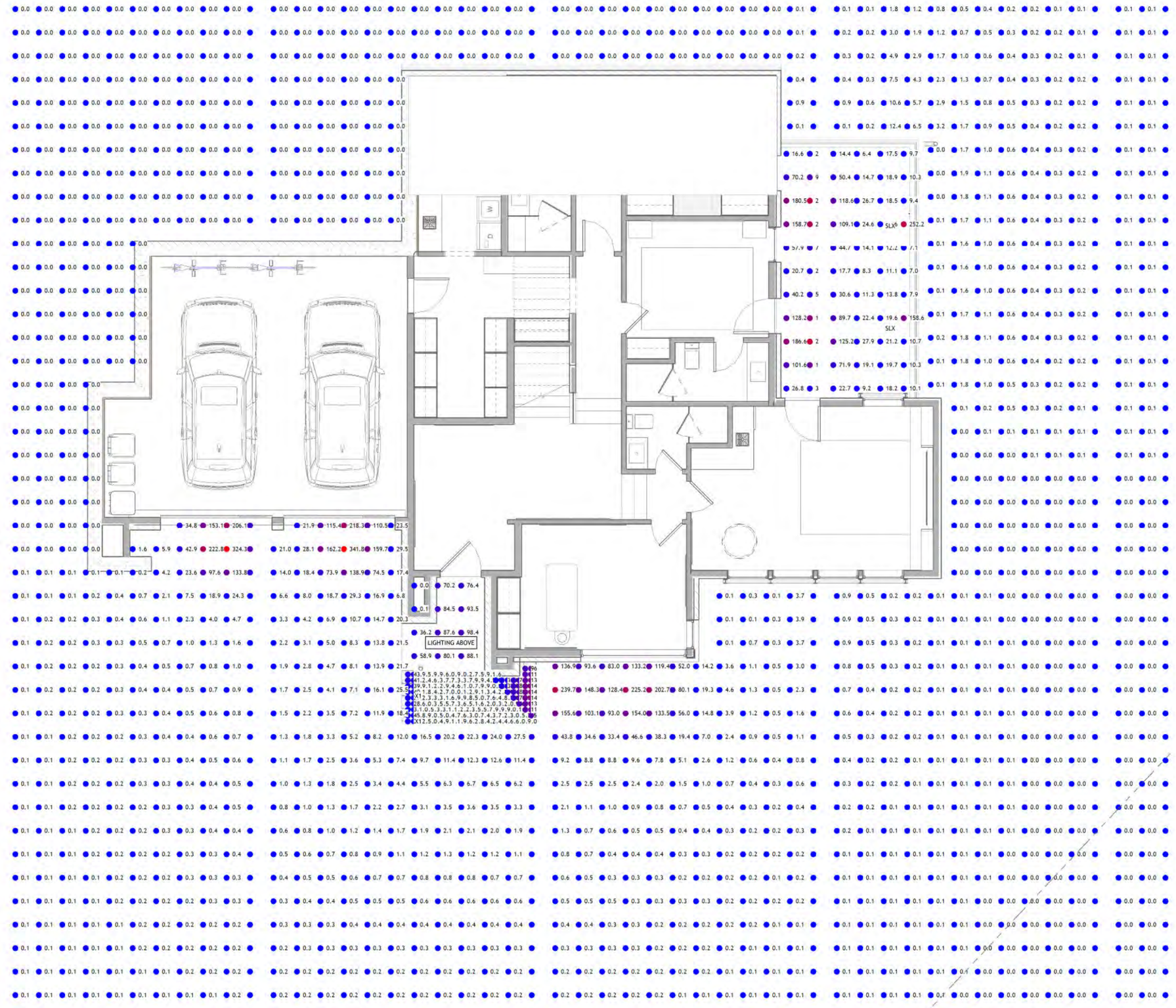
1. All exterior lighting levels to be coordinated with TOMV inspector or code enforcer to set and lock maximum illumination levels prior to issuance of Certificate of Occupancy.
2. All exterior lighting to be tied into home control system to limit maximum levels, set exterior lighting scenes and automated off functions.
3. All exterior lighting will be eighty-five degrees (85˚) full cut-off fixtures that direct the light downward without any off-site glare, except as exempted in Section 17.5.12(D).
4. All exterior lighting shall be fully shielded down directed light source and will either be specified at less than 850 Lumens or limited with the control system to less than 850 Lumen output. Recessed stair lighting to be specified at less than 300 Lumens or limited with the control system to less than 300 Lumen output.
5. All exterior light fixtures will be LED lighting or other equivalent high efficacy lighting. Any fixture with a 0-5 watt lamp shall have a minimum overall luminous efficacy of 30 lumens/watt; any fixture with a 6-15 watt lamp shall have a minimum overall luminous efficacy of 45 lumens/watt.
6. Maximum Temperature. The maximum correlated color temperature for all proposed lighting types regardless of lamp type, shall be a minimum of 2400K and shall not exceed 3000K, or may employ amber light sources, filtered LED light sources, or a suitable alternative - with the goal of having a warmer light source.
7. The maximum height for a wall-mounted light fixture shall be seven feet (7') above the directly adjacent walking surface or pathway, except for sign lighting that may be higher as reviewed and approved by the review authority to allow for proper illumination of the sign.
8. Exterior lighting on second or higher stories shall be provided by wall-mounted fixtures, recessed wall or ceiling fixtures, or lighting that is louvered or otherwise designed to prevent off-site glare.
9. Exterior Lighting on second and upper floors will be on either a timer or sensor to reduce usage and energy loss during times of inactivity.
10. Levels of Illumination: Exterior Lighting, when in use, shall meet the following standards for illuminance of light consistent with the provisions listed below. A point-by-point photometric calculation listing the number, type, height, and level of illumination of all exterior lighting fixtures may be required as per Section 17.5.12(E)(9) prior to Design Review Board approval or staff approval to ensure compliance with these provisions.
    - A. Parking lots, driveways, trash enclosures/areas, and group mailboxes shall be illuminated with a maximum average not to exceed four (4 fc) foot-candles of light.
    - B. Pedestrian walkways and staircases shall be illuminated with a maximum average not to exceed two (2 fc) foot-candles of light or as otherwise required by building code.
    - C. Exterior doors shall be illuminated with a minimum maintained one (1 fc) foot-candle of light, measured within a five (5' 0") foot radius on each side of the door at ground level or as otherwise required by building code.
    - D. In order to minimize light trespass on abutting residential property, illumination measured at the nearest residential structure or rear yard setback line shall not exceed the moon's potential ambient illumination of one-tenth (0.1 fc) foot-candle
    - E. The use of exterior lighting shall be minimized in areas of important wildlife habitat and delineated wetlands, and lighting shall be designed so that it does not spill over or onto such critical habitat.

Global Illuminance
(lx)

377.4

0.0

2 LUX (=10xFC)
1/4" = 1'-0"



1 Level 01 - Lighting Plan
1/4" = 1'-0"

RSA Light

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133 SUNDANCE
133 SUNDANCE
MOUNTAIN VILLAGE, CO

Issue:
02.12.2024
EXTERIOR DRB REVIEW
04.19.2024
EXTERIOR DRB REVIEW

DRB REVIEW

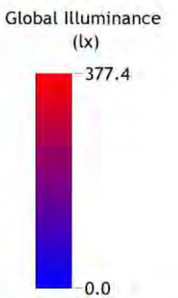
DESCRIPTION
LEVEL 01 LIGHTING -
MAIN LEVEL POINTS

SCALE: 1/4" = 1'-0"
SHEET

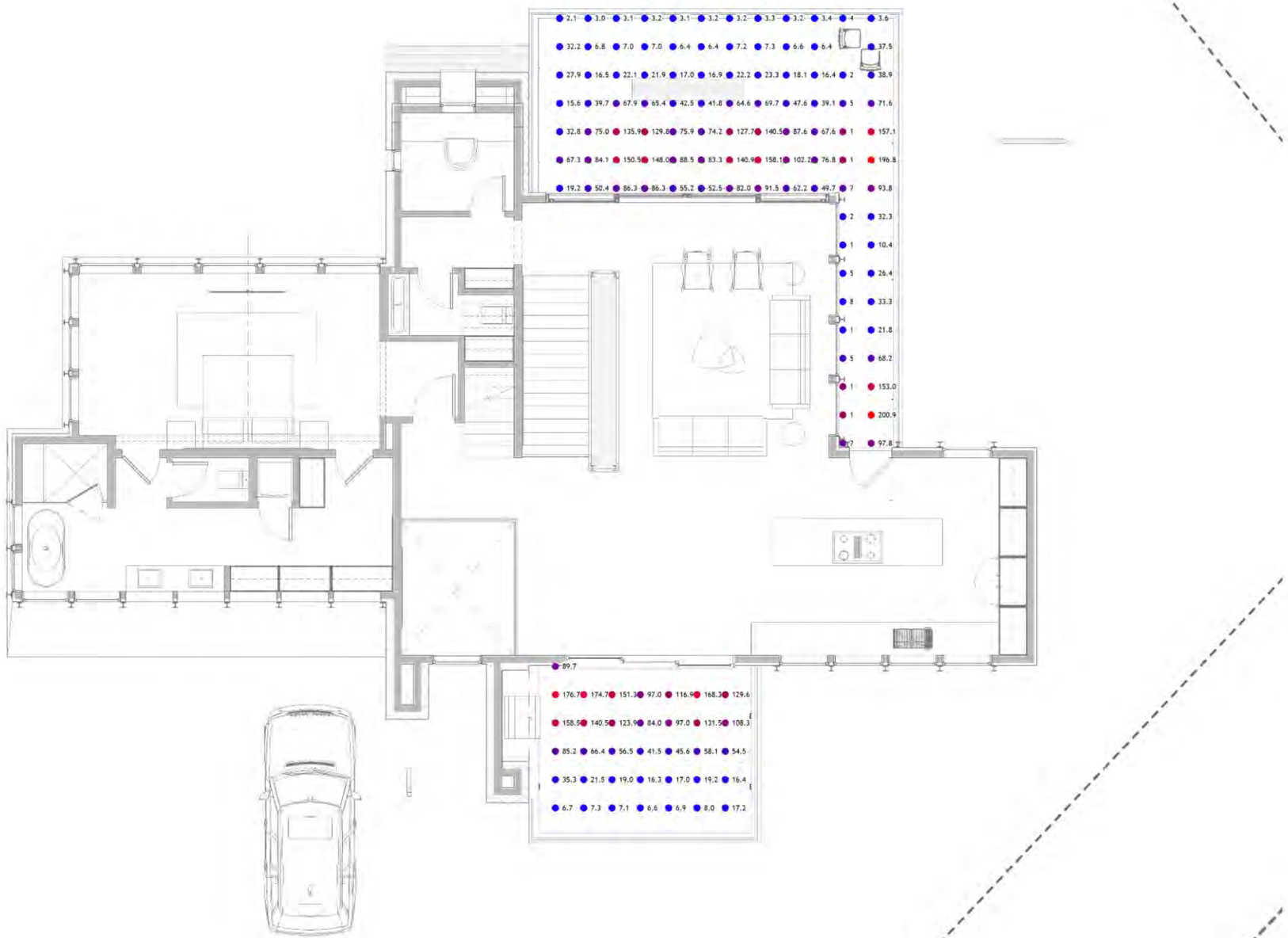
LT1.0

EXTERIOR AND SITE LIGHTING NOTES

1. All exterior lighting levels to be coordinated with TOMV inspector or code enforcer to set and lock maximum illumination levels prior to issuance of Certificate of Occupancy.
2. All exterior lighting to be tied into home control system to limit maximum levels, set exterior lighting scenes and automated off functions.
3. All exterior lighting will be eighty-five degrees (85˚) full cut-off fixtures that direct the light downward without any off-site glare, except as exempted in Section 17.5.12(D).
4. All exterior lighting shall be fully shielded down directed light source and will either be specified at less than 850 Lumens or limited with the control system to less than 850 Lumen output. Recessed stair lighting to be specified at less than 300 Lumens or limited with the control system to less than 300 Lumen output.
5. All exterior light fixtures will be LED lighting or other equivalent high efficacy lighting. Any fixture with a 0-5 watt lamp shall have a minimum overall luminous efficacy of 30 lumens/watt; any fixture with a 6-15 watt lamp shall have a minimum overall luminous efficacy of 45 lumens/watt.
6. Maximum Temperature. The maximum correlated color temperature for all proposed lighting types regardless of lamp type, shall be a minimum of 2400K and shall not exceed 3000K, or may employ amber light sources, filtered LED light sources, or a suitable alternative ◦ with the goal of having a warmer light source.
7. The maximum height for a wall-mounted light fixture shall be seven feet (7') above the directly adjacent walking surface or pathway, except for sign lighting that may be higher as reviewed and approved by the review authority to allow for proper illumination of the sign.
8. Exterior lighting on second or higher stories shall be provided by wall-mounted fixtures, recessed wall or ceiling fixtures, or lighting that is louvered or otherwise designed to prevent off-site glare.
9. Exterior Lighting on second and upper floors will be on either a timer or sensor to reduce usage and energy loss during times of inactivity.
10. Levels of Illumination: Exterior Lighting, when in use, shall meet the following standards for illuminance of light consistent with the provisions listed below. A point-by-point photometric calculation listing the number, type, height, and level of illumination of all exterior lighting fixtures may be required as per Section 17.5.12(E)(9) prior to Design Review Board approval or staff approval to ensure compliance with these provisions.
    - A. Parking lots, driveways, trash enclosures/areas, and group mailboxes shall be illuminated with a maximum average not to exceed four (4 fc) foot-candles of light.
    - B. Pedestrian walkways and staircases shall be illuminated with a maximum average not to exceed two (2 fc) foot-candles of light or as otherwise required by building code.
    - C. Exterior doors shall be illuminated with a minimum maintained one (1 fc) foot-candle of light, measured within a five (5' 0") foot radius on each side of the door at ground level or as otherwise required by building code.
    - D. In order to minimize light trespass on abutting residential property, illumination measured at the nearest residential structure or rear yard setback line shall not exceed the moon's potential ambient illumination of one-tenth (0.1 fc) foot-candle
    - E. The use of exterior lighting shall be minimized in areas of important wildlife habitat and delineated wetlands, and lighting shall be designed so that it does not spill over or onto such critical habitat.



2 LUX (=10xFC)
1/4" = 1'-0"



1 Level 02 - Lighting Plan
1/4" = 1'-0"

ROBERT SINGER & ASSOCIATES
DESIGN CONSULTANTS LIGHTING SPECIALISTS

Corporate Member IALD, IES

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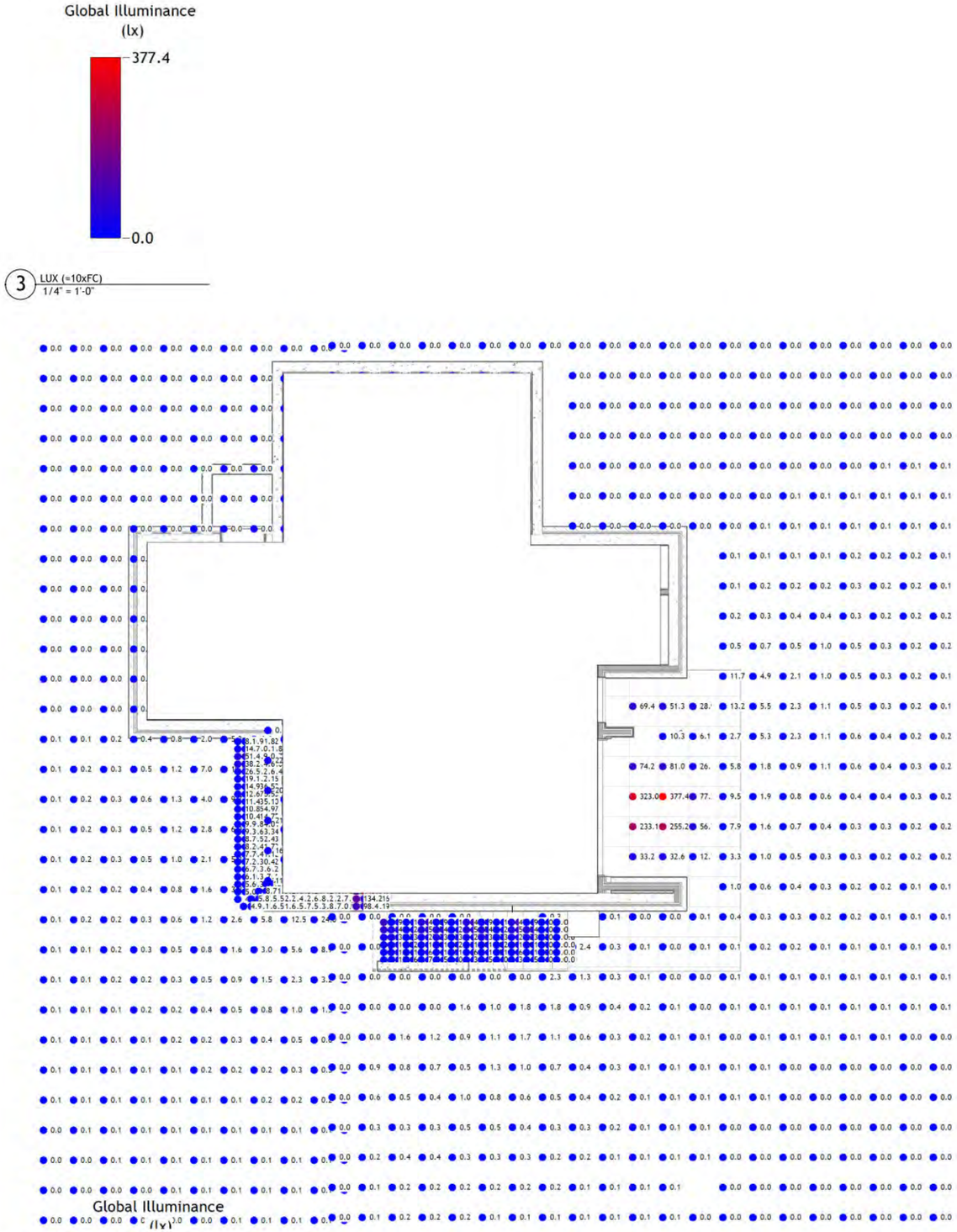
EXTERIOR DRB REVIEW
04.19.2024
EXTERIOR DRB REVIEW

DRB REVIEW

DESCRIPTION
LEVEL 01 LIGHTING - UPPER LEVEL POINTS

SCALE: 1/4" = 1'-0"

SHEET
LT1.1



3 LUX (=10xFC)
1/4" = 1'-0"

1 PHOTOMETRIC SKI SHACK(PLOT) LOWER POINTS
1/4" = 1'-0"

2 PHOTOMETRIC SKI SHACK(PLOT) UPPER POINTS
1/4" = 1'-0"

RSA Light

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Issue:
02.12.2024
EXTERIOR DRB REVIEW
04.19.2024
EXTERIOR DRB REVIEW

DRB REVIEW

DESCRIPTION
SKI SHACK LIGHTING - LEVEL 00 & LEVEL 01 POINTS
SCALE: 1/4" = 1'-0"
SHEET

LT1.7

EXTERIOR AND SITE LIGHTING NOTES

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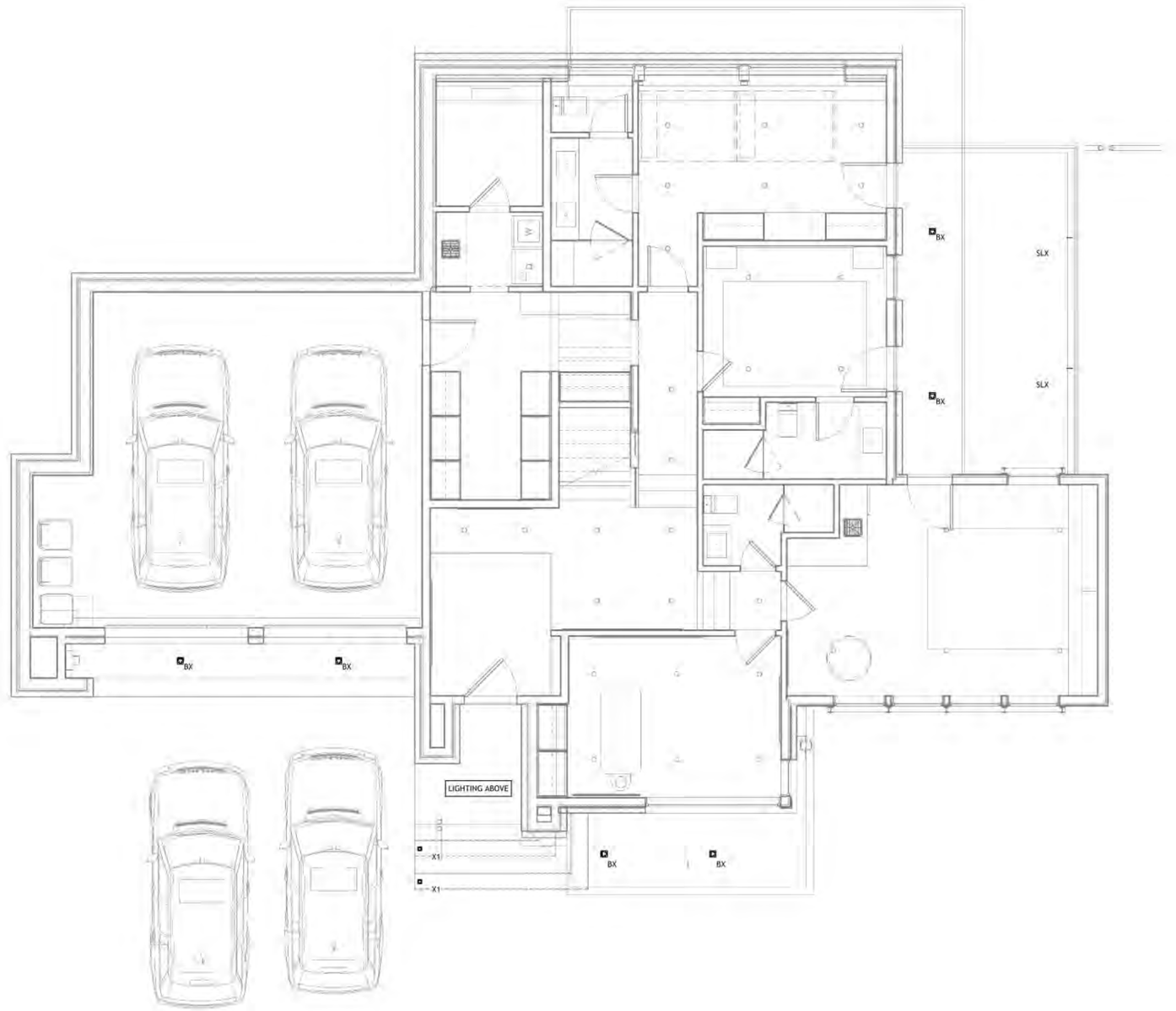
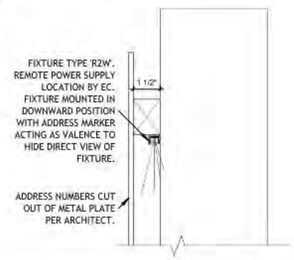


1 Level 01 - Lighting Plan
1/4" = 1'-0"

3 Address Marker - Lighting Plan
1/4" = 1'-0"



2 R2W - Address Marker Concept
3" = 1'-0"

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MOUNTAIN VILLAGE, CO

Issue:
02.12.2024
EXTERIOR DRB REVIEW

DRB REVIEW

DESCRIPTION
LEVEL 01 LIGHTING - MAIN LEVEL

SCALE: As indicated
SHEET
LT2.0

EXTERIOR AND SITE LIGHTING NOTES

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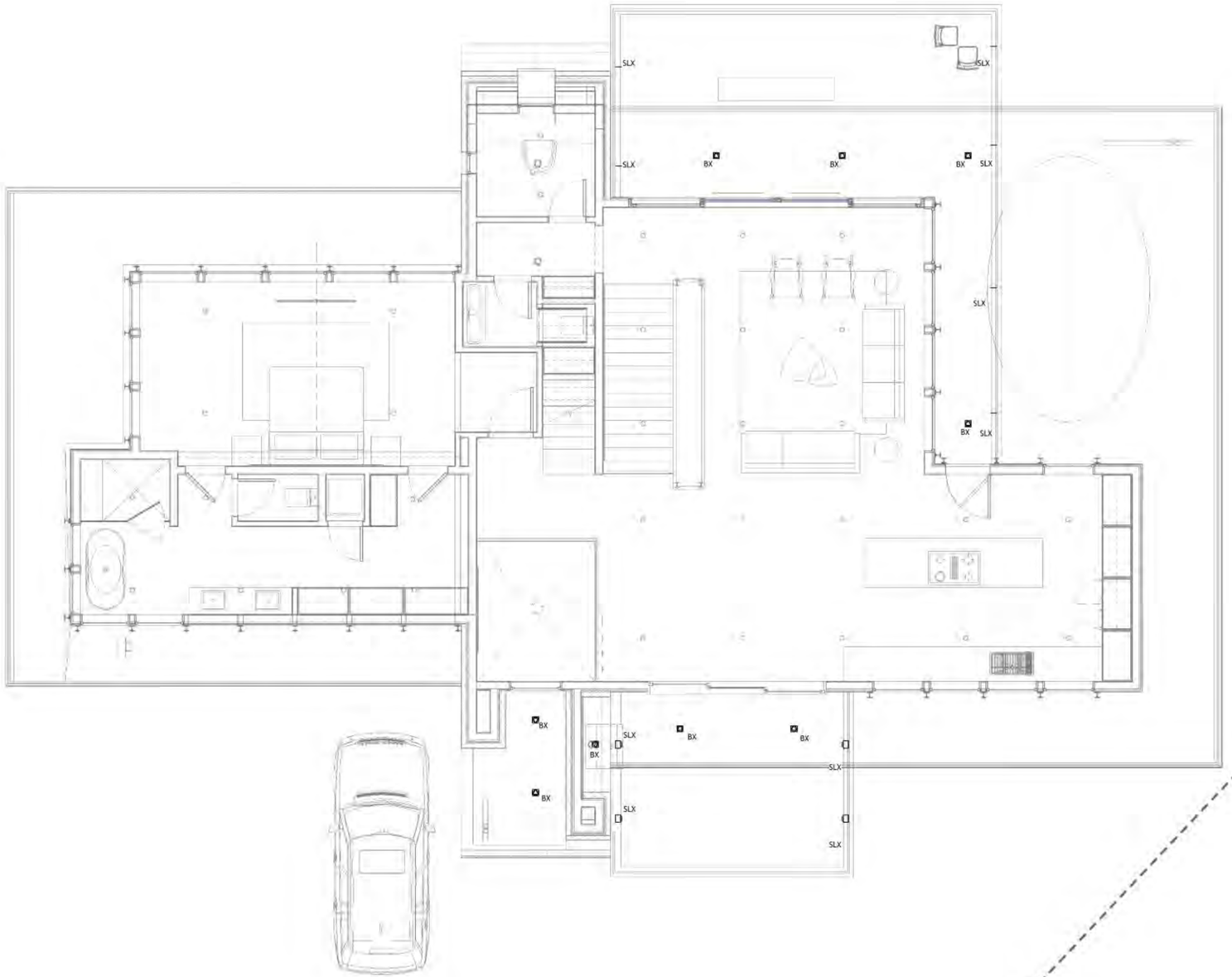

1 Level 02 - Lighting Plan
1/4" = 1'-0"

RSA Light

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MOUNTAIN VILLAGE, CO

Issue:
02.12.2024
EXTERIOR DRB REVIEW

DRB REVIEW

DESCRIPTION
LEVEL 02 LIGHTING - UPPER LEVEL

SCALE: 1/4" = 1'-0"

SHEET
LT2.1

EXTERIOR AND SITE LIGHTING NOTES

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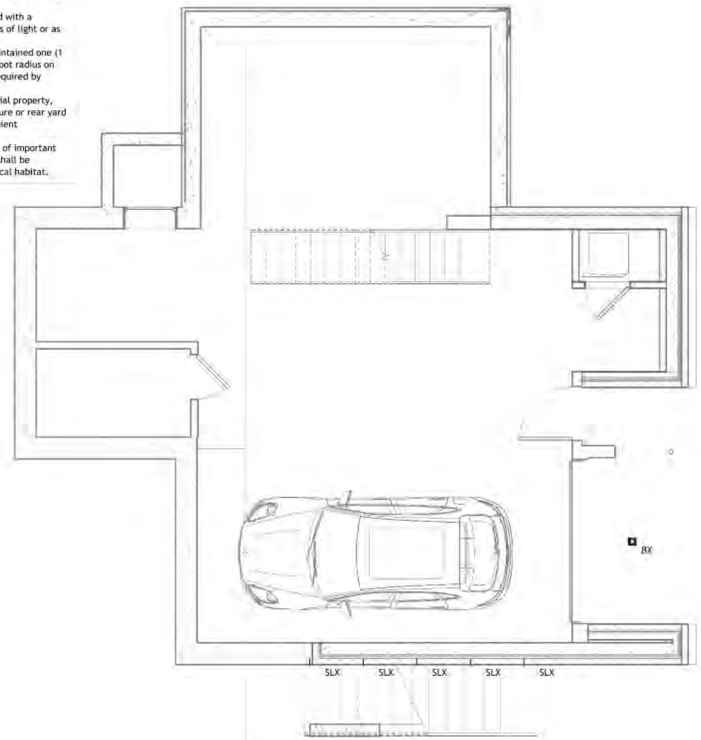
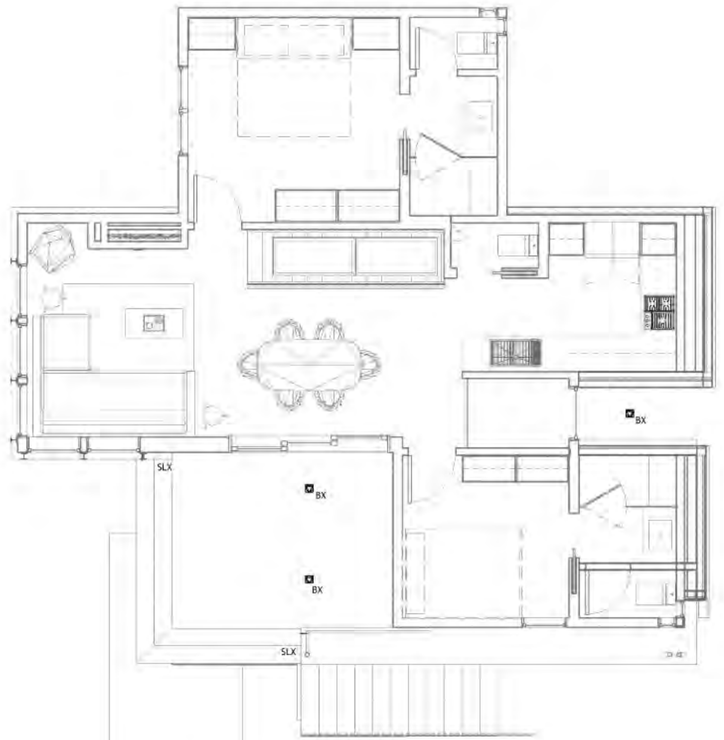


1 Ski Shack - Level 00 Lighting Plan
1/4" = 1'-0"



2 Ski Shack - Level 01 Lighting Plan
1/4" = 1'-0"

RSA Light

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MOUNTAIN VILLAGE, CO

Issue:
02.12.2024
EXTERIOR DRB REVIEW

DRB REVIEW

DESCRIPTION
SKI SHACK LIGHTING - LEVEL 00 & LEVEL 01

SCALE: 1/4" = 1'-0"

SHEET
LT2.7

133 Sundance
DRB Review: 4/19/2024

RSA

Type	Image	Product / Manufacturer	Attributes	Notes
Architectural Lighting				
BX		**USAI** **"Recessed LED Downlight - Wood Ceiling Exterior Lensed"** Description: Recessed LED Lensed Downlight For Exterior Wood Ceiling	**Catalog #:** P3SAF-09L2M-30KS-S-WH-NCAIC -120V-D2I-**-AKZON-** **Lamping:** 9W; 525 Lumens Delivered; 90+ CRI; 3000°K LED **Dimming Type:** LED Phase Dimming **Voltage:** 120V AC **Ceiling Type:** Wood	12.5"Length x 9.5"Width x 4"Height x 3"Aperture Fixture lumen output to be limited to 850 Lumens via control system maximum output limit. Addition of lumen reducing lens if required by TOMV. Trim finish to be confirmed with Architect.
R2W		**Kiis Design** **"Linear LED Strip Series"** Description: LED Strip in a black aluminum channel	**Catalog #:** WP-K-30-1910-HD-IP65-24V; C2056K7_*; 17040; 24365; LHD0-9BW24V-U **Lamping:** 2.8W/ft; 259 Lumens/ft; 95 CRI; 3000° K LED **Voltage:** 24V DC **Dimming Type:** Lutron Digital **Driver:** Remote Homeworks Digital Power Supply	Width: 0.55" Height: 0.89" Length: To Be Field Verified Contractor to measure and field verify appropriate fixture segment lengths and quantities. Remote power supply location by EC. EC to run control wire from power supply to Lutron Digital link.
SLX		**TBD LED Solutions** **"Exterior Steplight"** Description: Exterior Steplight	**Catalog #:** TBD.STS3x5-30K-BK-12V; TBD.PSDM-**W-12 **Lamping:** 2W; 189 Lumens; 3000K°K CT; 90+ CRI **Voltage:** 12V **Dimming Type:** Forward Phase Dimming **Driver:** TBD.PSDM Magnetic Dimming	3.28"Length x 1.76"Width x 5.22"Height Location for remote power supply by EC. Location to be coordinated with Architecture and Interiors. Finish to be confirmed with Architect.
X1		**WAC Lighting** **"Exterior Ingrade Steplight"** Description:	**Catalog #:** SPJ-GDG-LB1; B-2-3000K-8-15V-FLOOD **Lamping:** 2W; 3000K; 90CRI; 150 Lumen **Voltage:** 12V **Dimming Type:** MLV Dimming **Driver:** Remote MLV	Location for remote power supply by EC. Location to be coordinated with Architecture and Interiors. Finish to be confirmed with Architect.

RSA

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Issue:
02.12.2024
EXTERIOR DRB REVIEW
04.19.2024
EXTERIOR DRB REVIEW

DRB REVIEW

DESCRIPTION
LIGHTING
SPECIFICATIONS

SCALE:

SHEET
LT5.0

133 SUNDANCE - DRB REVIEW

133 SUNDANCE, MOUNTAIN VILLAGE, CO

DRB REVIEW
APRIL 19, 2024

NOTES

SPECIFICATIONS

LIGHTING PLANS

ROBERT SINGER & ASSOCIATES INC.
DESIGN CONSULTANTS - LIGHTING SPECIALISTS
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GENERAL NOTES

1. It is the responsibility of the electrical contractor to review all lighting plans prior to commencement of electrical work. Any interpretation of the drawings shall be confirmed by Robert Singer and Associates, Inc.
2. All work must be in complete accordance with NEC and all governing authorities having local jurisdiction.
3. All site specific conditions to be field verified by contractor prop to purchase and installation of fixtures.
4. All outlets and fixtures to be grounded.
5. All recessed fixture trims to be painted to match ceiling color and finish unless otherwise specified.
6. It is the responsibility of the electrical contractor to refer to most recent fixture schedule, control schedule and specifications issued with most recent drawings or revision sketches.

RECESSED HOUSINGS

1. Expanding foam insulation should be kept a minimum of three inches from recessed light fixtures. Acceptable installations include, but are not limited to, masking the fixture by wrapping it in fiberglass batting or building a box around it.
2. Since spray-in foam expands into all openings and cracks care must be taken to prevent encroachment of the foam to within three inches of the fixture and junction box. The foam expansion may generate significant force as it cures so the masking must either be strong enough to resist the expansion or allow enough room for some expansion while still providing the three inch minimum spacing.
3. The installer is responsible for installing the IC rated recessed fixture in a manner that provides a minimum of three inches air space around the fixture to ensure that the insulation does not cause overheating of the luminaire or penetrate into the fixture and junction box.

DIMENSIONS

1. All wall sconce heights, both interior and exterior to be determined upon review of fixture selection and architectural elevations if not noted.
2. Fixture type ‘SA’ (Swing Arm) mounted height to be determined upon review of fixture selection and architectural elevations. Swing arms to be switched or controlled as indicated on plans.
3. Electrical contractor is to refer to all exact dimensioning and centerlines for fixture locations.
4. All dimensions and centerlines based off of Architectural plans and may not reflect exact site conditions, contact Robert Singer and Associates if in question.
5. General contractor to refer to dimensioned lighting plans prior to framing. General contractor to coordinate framing and structural conditions with lighting, MEP, AV and other trades.

EXTERIOR/SITE LIGHTING

1. All exterior façade mounted receptacles for seasonal lighting shall be weatherproof while in use GFCI. Exact location of receptacles to be coordinated with architect and shall be in concealed location.
2. Electrical contractor to provide conduit routing to locations indicated on plans terminating in direct burial junction boxes for all landscape and site lighting.
3. Electrical contractor to determine locations of direct burial transformers if needed.
4. Prior to rough-in, exact fixture locations to be flagged and coordinated on site after all landscaping is complete.
5. Architect and landscape architect to inform Robert Singer and Associates of any exterior structures such as retaining or perimeter walls and steps in which lighting is to be incorporated prior to construction work.
6. Landscape and site lighting plan to be generated upon review of complete landscaping plans and details provided by architect and landscape architect.

INTERIOR SWITCHING

1. Robert Singer and Associates recommends standard toggle and dimmer switches to be mounted at 48"AFF to centerline of switch, and 4" off door bucks or corners, except where noted. Exact locations of all devices to be approved by architect/interiors and owner prior to rough-in.
2. Robert Singer and Associates plans indicate switch designations, (IE; d – dimmer, door – door jamb switch, 3 – 3-way switch, 3d – 3 way dimmer switch, vs – vacancy sensor). Refer to legend for all designations.
3. 3-way switching to be wired as per plan.
4. All standard toggle switches and dimmer switches to be as specified.
5. Finishes for all standard toggle switches, dimmers, and faceplates to be determined by architect/ interiors and owners.
6. Switched receptacle notes:
    a. Half switched TL/FL indicates control of at least (1) outlet on any standard receptacle. Control of outlet either by control system or standard switch. Electrical contractor to verify number and location of switched outlets on receptacle with Robert Singer and Associates, architect/interiors and owner.
    b. Fully switched TL/FL indicates control of all outlets on any standard receptacle. Control of outlet either by control system or standard switch.
    c. The controlled outlet on the receptacle shall be clearly marked by electrical contractor.
    d. Exact locations of all switched receptacles, both floor and wall mounted, to be coordinated with furniture plans, Electrical plans, and be approved by architect/interiors prior to rough-in.
    e. Electrical contractor/Electrical engineer to refer to Robert Singer and Associates lighting plans for switched receptacle locations prior to layout of code required receptacles.

CONTROL SYSTEMS

1. Control system specifications to be confirmed with manufacture.
2. Exact style, faceplate finish, button color, text and configuration for all control stations to be reviewed and approved by owner/ architect/ interiors prior to Robert Singer and Associates release for production.
3. Robert Singer and Associates recommends all control wall stations to be mounted at 54"-60"AFF to centerline of station. Exact height to be reviewed and approved by owner/ architect/ interiors prior to rough-in.
4. Exact enclosure and control locations indicated on plan to be coordinated with AV, Mechanical and Electrical, and approved by architect/engineer prior to rough-in.
5. Multiple enclosure locations to be linked to control location with manufacturer recommended control wire.
6. All information regarding motorized functions to be controlled via the control system shall be submitted to Robert Singer and Associates for coordination.
7. RSA to be provided with all network information for remote access to service lighting control system upon commissioning of system. If no VPN is available, RSA will need to be on-site for any lighting control system revisions.
8. CATV or better communications wire to be run from Lutron processer location to local network hub.

DECORATIVE FIXTURES

1. Refer to fixture specifications for maximum wattage and of decorative fixtures. Interiors/ owners to notify Robert Singer and Associates if maximum wattage is exceeded.
2. Interiors/ owners to provide complete decorative fixture schedule to Robert Singer and Associates prior to installation.
3. Interiors/ owners to notify Robert Singer and Associates if deviating from decorative fixture selection guide (i.e. electronic low voltage transformers, fluorescent ballasts, LED lamping).
4. Interiors/ owner to coordinate decorative fixture weight with general contractor to ensure adequate blocking for mounting of fixture.

ON-SITE AIMING/LAMPING

1. Robert Singer and Associates to provide electrical contractor with exact lamping schedule and plans for all architectural light fixtures.
2. Robert Singer and Associates to provide electrical contractor with preliminary aiming guide for reference prior to final adjustments.
3. Electrical contractor to provide the necessary equipment (i.e. extra lamps, ladders, scaffold and coordination of lifts if needed) and personnel for final aiming/ adjustments of lighting fixtures. Final adjustments to be made after all artwork and furnishings have been placed.

SUBSTITUTIONS

1. No specifications are to be substituted without approval by Robert Singer and Associates. Any proposed substitutions are to be issued to Robert Singer and Associates for review.
2. Robert Singer and Associates assumes no responsibility for any unapproved changes to the issued set of lighting plans or specifications.

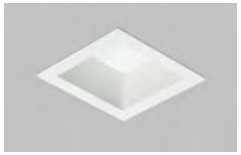
PROCUREMENT

Contact Technology by Design for Factory direct pricing: 855-963-1200: info@tbd-inc.com: www.tbd-inc.com.

RSA GENERAL LIGHTING LEGEND

***Refer to complete lighting fixture schedule and specifications issued with drawings.**
***All wall sconce heights to be determined upon review of architectural elevations if not noted.**

A	Recessed Downlight	T* / T*	Cable Track and Track Head
B	Recessed Adjustable Downlight	T* / T*	Wall Mounted Monorail and Track Head
B2	Recessed Adjustable Downlight 2 Lamp	T* / T*	Monorail Track and Track Head
B3	Recessed Adjustable Downlight 3 Lamp	T* / T*	Slot Reveal Track Lighting
C	Recessed Wet Location Lensed Downlight		Wall Switch
C1	Recessed Wet Location Lensed Adjustable Downlights		3-Way Wall Switch
D	Under Cabinet LED Fixture		Dimming Wall Switch
D1	Under Cabinet Fluorescent		3-Way Dimming Wall Switch
F1	1' x 4' Fluorescent		Door Jam Switch
F3	1' x 1' Fluorescent		Wall Mounted Receptacle
F4	2' x 4' Fluorescent		Switched Wall Mounted Receptacle
F6 / F8	Linear Fluorescent Fixture		Floor Receptacle
F7	Vertical Fluorescent Fixture		Switched Floor Receptacle
K / K3	Linear LED Lightstrip		Wall Mounted Junction Box
K4	Fixed Length Linear LED Fixture		Floor or Ceiling Mounted Junction Box
KL / KL2	Fluorescent / Incandescent Jelly Jar		Fireplace Ignitor
L / L1	Linear Fluorescent Closet Fixture		Motorized Windows / Shades
N / N1	Puck Light / Wet Location Puck		Exhaust Fan
R / R1	Linear LED Fixture		Low-Voltage Transformer
SL / SL1	Recessed Wall Mounted Steplights		Power Supply
U	Recessed in ground Uplight	## / ####	Circuit Designation
ID	Wall Mounted Sconces	##	Control Station
ID	Surface Mtd. Or Pendant Fixtures		Centerline
ID	Wall Mounted Overhead Vanity Fixture	1	Detail Note Designation
ID	Pool Table Lighting Fixture	1 LP1	Detail Designation

Type	Image	Product / Manufacturer	Attributes	Notes
Architectural Lighting				
BX		**USAI** **"Recessed LED Downlight - Wood Ceiling Exterior Lensed"** Description: Recessed LED Lensed Downlight For Exterior Wood Ceiling	Catalog #: P3SAF-09L2M-30KS-S-WH-NCAIC -120V-D21-**-AK20N-** Lamping: 9W; 525 Lumens Delivered; 90+ CRI; 3000°K LED Dimming Type: LED Phase Dimming Voltage: 120V AC Ceiling Type: Wood	12.5"Length x 9.5"Width x 4"Height x 3"Aperture Fixture lumen output to be limited to 850 Lumens via control system maximum output limit. Addition of lumen reducing lens if required by TOMV. Trim finish to be confirmed with Architect.
R2W		**Klus Design** **"Linear LED Strip Series"** Description: LED Strip in a black aluminum channel	Catalog #: WP-K-30-1910-HD-IP65-24V; C2056K7_*; 17040; 24365; LHD0-96W24V-U Lamping: 2.8W/ft; 259 Lumens/ft; 95 CRI; 3000° K LED Voltage: 24V DC Dimming Type: Lutron Digital Driver: Remote Homeworks Digital Power Supply	Width: 0.55" Height: 0.59" Length: To Be Field Verified Contractor to measure and field verify appropriate fixture segment lengths and quantities. Remote power supply location by EC. EC to run control wire from power supply to Lutron Digital link.
SLX		**TBD LED Solutions** **"Exterior Steplight"** Description: Exterior Steplight	Catalog #: TBD.STS3x5-30K-BK-12V; TBD.PSDM-**W-12 Lamping: 2W; 185 Lumens; 3000K°K CT; 90+ CRI Voltage: 12V Dimming Type: Forward Phase Dimming Driver: TBD.PSDM Magnetic Dimming	3.28"Length x 1.76"Width x 5.22"Height Location for remote power supply by EC. Location to be coordinated with Architecture and Interiors. Finish to be confirmed with Architect.
X1		**WAC Lighting** **"Exterior Ingrade Steplight"** Description:	Catalog #: SPJ-GDG-LB1; B-2-3000K-8-15V-FLOOD Lamping: 2W; 3000K; 90CRI; 150 Lumen Voltage: 12V Dimming Type: MLV Dimming Driver: Remote MLV	Location for remote power supply by EC. Location to be coordinated with Architecture and Interiors. Finish to be confirmed with Architect.

TIER 1

Primary NXT BeveLED Mini - P3SA-NXT
3" Square Adjustable

USAI Lighting

usailighting.com/primarynxt

Primary NXT provides consistent, high quality white light in an economical architectural solution.

FEATURES

- A complete range of color temperature options in 80+ and 90+ CRI
- Dim to Warm LED choices
- Downlight, adjustable and wallwash configurations
- Dry/damp/wet location rated for bathrooms and showers
- Dimmable to 1%
- High LED performance with budget-conscious features
- CEC Title 20 Compliant EM battery option

PRIMARY NXT PERFORMANCE

at 3000K	Classic White				Dim-to-Warm and Dim-to-Warm+
	9W		15W		15W
CRI:	80+	90+	80+	90+	90+
Source Lumens:	1075	900	1575	1325	1100
Delivered Lumens:	625	525	900	750	675
Lumens Per Watt:	69	58	65	55	49

CORRELATED COLOR TEMPERATURE MULTIPLIER	Classic White							
	2700K		3000K		3500K		4000K	
Color Rendering Index:	80+	90+	80+	90+	80+	90+	80+	90+
Multiplier for Lumen Output:	0.98	0.81	1.00	0.84	1.02	0.98	1.06	0.98

USAI LIGHTING HEADQUARTERS
1126 River Road New Windsor, NY 12553
info@usailighting.com T: 845-565-8500

Created: 04/18/2024

TIER 1

Primary NXT BeveLED Mini - P3SA-NXT
3" Square Adjustable

USAI Lighting

P3SAF	09L2M	30KS	S	WH	NCAIC	120V-D21	-	-	AK20N	10	-
Trim Style	**Wattage**	**LED Color**	**Lens**	**Finish**	**Housing Choices**	**Voltage & Dimming Driver**	**Emergency Battery**	**Options**	**Optic Media**	**Housing Collar Extender**	**Spackle Frame Accessory Kit**
F Flange trim **L** Flangeless Trim	Classic White **09L2M** 9W LED **15L2M** 15W LED Dim to Warm **15DW2M** 15W LED	**27KS** 2700K, 80+ CRI **27KH** 2700K, 90+ CRI **30KS** 3000K, 80+ CRI **30KH** 3000K, 90+ CRI **35KS** 3500K, 80+ CRI **35KH** 3500K, 90+ CRI **40KS** 4000K, 80+ CRI **40KH** 4000K, 90+ CRI **3018KH** 3000K-1800K, 90+ CRI **3020KH** 3000K-2000K, 90+ CRI	**S** Solite Glass (provided standard)	**WH** White	Integral Dimming Driver Housings **NCAIC** Insulation-contact rated, airtight Adjustable **NCA** New Construction Adjustable (required with Emergency Battery, above ceiling access only)	Universal Voltage 120V-277V **UNV-D22** 0-10V and Phase Dimming Driver, dims to 1% 120V Only **120V-D21** Phase Dimming Driver, 1%	- None **EM10C** T20 Compliant Emergency battery, above ceiling access required	- None (Integral nailer bars provided standard) **PFBK** Pair of butterfly brackets for vertical adjustment of Primary NXT housings **PFBK-CB27** Pair of butterfly brackets for vertical adjustment of Primary NXT housings with 27" Channel Bar **PFBK-CB32** Pair of butterfly brackets for vertical adjustment of Primary NXT housings with 32" Channel Bar **PFBK-CB52** Pair of butterfly brackets for vertical adjustment of Primary NXT housings with 52" Channel Bar	- None **AK20N** Microdiffusion Lens, 30° beam **AK30N** Microdiffusion Lens, 35° beam **AK40N** Microdiffusion Lens, 40° beam **AK55N** Microdiffusion Lens, 45° beam **AKHEXN** Hexcell Louver **AK61N** Linear Spread **AK-KIT** Kit with All Adjustable Optical Accessories	- None **10** Collar extender, 1" max ceiling thickness **15** Collar extender, 1-1/2" max ceiling thickness	- None **SPAK** Spackle frame accessory

IMPORTANT NOTES

- UL2043 rated for use in air handling plenums. Rated for use in steam rooms and saunas, up to 15W maximum.
- Housing ships with integral nailer bars provided standard. These mounting accessories are required for grid ceiling applications. Specify PFBK accessory for butterfly brackets which allow for in-place housing height adjustment. To install with channel bars, specify a PFBK-CB kit
- Dry/damp/wet location rated for bathrooms and showers
- Integral emergency battery is CEC Title 20 Compliant. Test switch is dry/damp location rated only, and requires above ceiling access for service.

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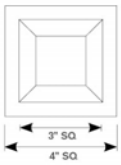
TIER 1

Primary NXT BeveLED Mini - P3SA-NXT
3" Square Adjustable

TRIM DETAILS

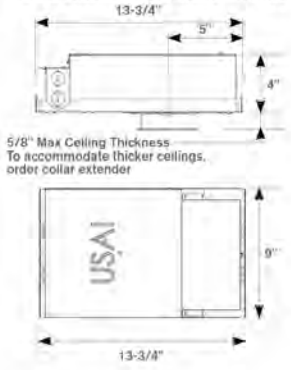
P3SAF NXT Square Adjustable



Adjustable downlight fixtures ship with narrow beam optic; use accessories table to specify other beam choices

HOUSING DETAILS

New Construction Adjustable, Insulation Contact Rated - NCAIC



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TIER 1

Primary NXT BeveLED Mini - P3SA-NXT
3" Square Adjustable

FIELD REPLACEABLE LED LIGHT ENGINE is serviceable with a Phillips screwdriver. All USAI Lighting LED light engines feature industry-leading color consistency.

USAI CLASSIC WHITE LED COLOR TECHNOLOGY: is tightly binned for fixture-to-fixture color consistency within a 2-Step MacAdam's Ellipse.

TRIM: P3 series flanged trims are a 3" round or square aperture with a 1" regressed die cast aluminum bevel and 1/2" flange, powdercoat painted white retained by two mounting clips.

TRIM LENS: Trims are shipped with solite glass lens.

ADJUSTMENT: Adjustable fixtures are provided with an adjustable optical assembly that can be rotated 362 degrees and tilted to aim up to 45 degrees maximum.

REFLECTOR: Adjustable downlight fixtures ship with narrow beam optic. Specify optic media accessories for other beam choices.

HOUSING: Housing is fabricated of 20 ga. steel with 18 ga. steel J-box and is rated for direct contact with insulation and is Airtight. Housing accepts up to 5/8" thick ceiling maximum; specify collar extender accessory to accept up to 1" or 1-1/2" max ceiling thickness. Housing ships with integral nailer bars provided standard. Specify PFBK butterfly bracket accessory for vertical adjustment or for grid ceiling applications with channel bars. Housing weighs 7 lbs.

MOUNTING: Adjustable nailer bars with integral nails provided standard with each housing. Nailer bars are extendable from 14" to 24" centers. Butterfly brackets that are optionally available and can be used with the nailer bars provided to enable vertical adjustment during installation. Channel bars are available in 27", 32", and 52" lengths as butterfly brackets included because they cannot be used without them.

CEILING CUTOUT: 3-1/2" x 3-1/2"

WARRANTY: Based on IESNA LM80-2008, USAI Lighting LED light fixtures have a 50,000 hour rated life at 70% lumen maintenance (L70). USAI Lighting Warranty covers replacement parts for 5 years from date of shipment. Ambient temperatures at fixture location should not exceed 40 degrees C.

NOTES: Ambient temperatures at fixture location should not exceed 40°C during normal operation. Not for use in corrosive environment. Use of pressure washer voids warranty.

LISTINGS: Dry/Damp/Wet listed under covered ceilings only. EM test switch is dry/damp only. UL2043 rated for use in air handling plenums. NCIC and NCAIC housings are Airtight. Rated for use in steam rooms and saunas, up to 15W maximum. NRTL/CSA-US tested to UL standards. EM battery pack is CEC Title 20 Compliant. IBEW union made. All USAI Lighting products are Buy American Act (BAA) compliant.

PHOTOMETRICS: Consult factory or website for IES files. Tested in accordance with IESNA LM79.

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TIER 1

Primary NXT BeveLED Mini - P3SA-NXT
3" Square Adjustable

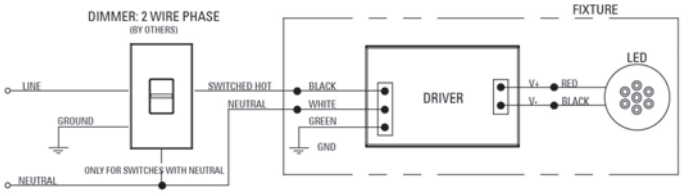
FIELD REPLACEABLE DIMMING DRIVER: An ERP ESS series 2-wire Phase dimming solid state electronic constant current integral driver with a high power factor is provided. This dimming driver is located within the fixture housing and is serviceable from below the ceiling through the aperture. Some ontime delay may be experienced depending on control system used. All dimming drivers comply with IEEE C62.41 surge protection. See dimming compatibility table for compatibility with various dimming controls. 120V only.

D21 LED: ERP EBR015 series or equivalent - Forward and Reverse Phase Dimming Driver

D21 Dimmer Compatibility Chart

120V ONLY PHASE DIMMING

Dimmer Information		Dimming Range		Qty Fixtures
Manufacturer	Product	Maximum	Minimum	Per Dimmer
Cooper	DALD6P	100%	0%	Use fixture wattage per fixture specification sheet to determine maximum number of fixtures per dimmer. Max number of fixtures is limited by dimmer load rating per dimmer specification sheet.
	DLC03P	100%	0%	
	SLC03P	100%	0%	
Leviton	6161	99%	10%	
	6631-2	100%	0%	
	6633-P	100%	0%	
	6673-10W	99%	6%	
	6683-IW	100%	2%	
	IPE04	100%	3%	
	IPI06-1LZ	99%	0%	
	VPE06	100%	5%	
Lightolier	ZP260QEW	99%	3%	
Lutron	CT103P	99%	6%	
	DV600P	99%	3%	
	DVCL-153P	99%	0%	
	DVELV303P	97%	3%	
	FAELV500	99%	7%	
	LG600P	99%	5%	
	MAELV600	99%	7%	
	S600P	99%	1%	
	S-603PG	86%	4%	
	SELV300P	97%	3%	
	TG-600P	99%	13%	
	TGCL-153P	99%	2%	



USAI PART NUMBER BREAKOUT

Full Fixture Specification: P3SAF-09L2M-30KS-S-WH-NCAIC-120V-D21-AK20N-10
Primary NXT Housing: P3SA-09L2M-30KS-NCAIC-120V-D21-HSG
Primary NXT Optical Accessories: AK20N
Primary NXT Housing Collar Extender Accessory: P3SA-10

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TIER 1

Primary NXT BeveLED Mini - P3SA-NXT
3" Square Adjustable

USAI® Lighting

DOWNLOAD FILES

SPEC SHEETS

P3SD-NXT SQ ADJ

IES FILES

PERFORMANCE DATA

P3SA-NXT Photometry

REVIT / BIM

INSTALLATION INSTRUCTIONS

Primary NXT P23 ADJ Flanged Trim Installation I2-657
Primary NXT P23 ADJ Flangeless Trim Installation I2-774
Primary NXT P23 Driver Service I2-640
Primary NXT P23 LED Service I2-642
Primary NXT P23 NCA EM Hsg Installation I2-729
Primary NXT P23 NCAIC Hsg Installation I2-655
Primary NXT P3 Trimless Spackle Installation I2-761

DIMMING COMPATIBILITY

Primary NXT BeveLED Mini Dimming Compatibility

BROCHURES & GUIDES

Primary NXT Brochure
Warm Glow Dimming Brochure

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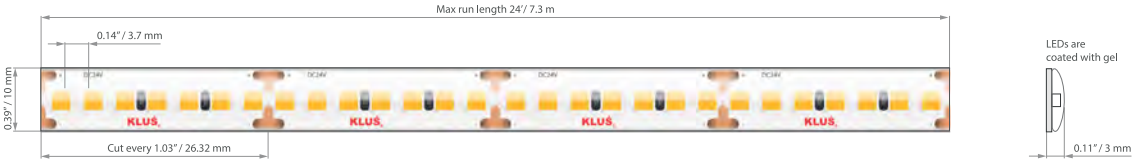
KLUŚ Inspiring Solutions

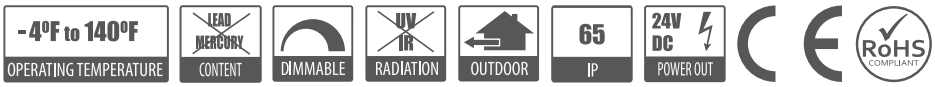
WP-K-1910-HD-IP65-24
FLEXIBLE LED STRIP DATA SHEET

- UL Listed
- CRI 90+
- 2-Step MacAdam's ellipse, single binning
- L70- Over 50,000 hours
- R9 up to 81
- Reverse voltage protection
- Minimum 2oz copper PCB

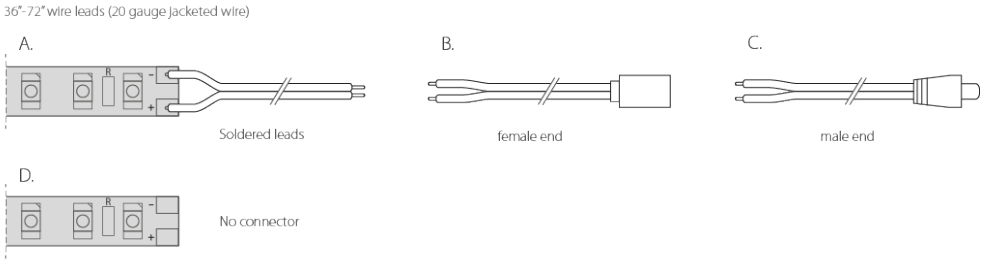


TECHNICAL DATA

Model	IP protection	Power consumption	Color temperature	Lumen output	Diode QTY per foot	Input voltage	Beam Angle	Max run length	LED width
WP-K-22-1910-HD-IP65-24V	IP 65 (gel coated)	2.84 W/ft	2200 K	210 lm/ft	81 pcs/ft	24 V	120 °	24'	10 mm
WP-K-25-1910-HD-IP65-24V	IP 65 (gel coated)	2.84 W/ft	2500 K	241 lm/ft	81 pcs/ft	24 V	120 °	24'	10 mm
WP-K-27-1910-HD-IP65-24V	IP 65 (gel coated)	2.8 W/ft	2700 K	250 lm/ft	81 pcs/ft	24 V	120 °	24'	10 mm
WP-K-30-1910-HD-IP65-24V	IP 65 (gel coated)	2.8 W/ft	3000 K	259 lm/ft	81 pcs/ft	24 V	120 °	24'	10 mm
WP-K-35-1910-HD-IP65-24V	IP 65 (gel coated)	2.8 W/ft	3500 K	272 lm/ft	81 pcs/ft	24 V	120 °	24'	10 mm
WP-K-40-1910-HD-IP65-24V	IP 65 (gel coated)	2.8 W/ft	4000 K	290 lm/ft	81 pcs/ft	24 V	120 °	24'	10 mm
WP-K-50-1910-HD-IP65-24V	IP 65 (gel coated)	2.84 W/ft	5000 K	288 lm/ft	81 pcs/ft	24 V	120 °	24'	10 mm



WIRE OPTIONS

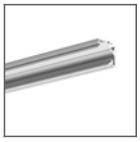


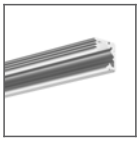
KLUŚ Inspiring Solutions

WP-K-1910-HD-IP65-24
FLEXIBLE LED STRIP DATA SHEET

RELATED EXTRUSIONS


4050 Extrusion Ref: 18050


45-16 Extrusion Ref: B8504ANODA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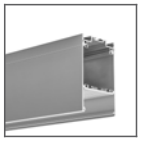
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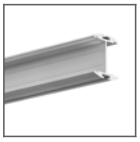
EX-ALU Extrusion Ref: B1890ANODA


GIZA Extrusion Ref: B5556ANODA

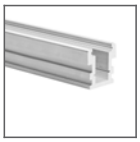

GIZA-DUO-LL Extrusion Ref: C2162

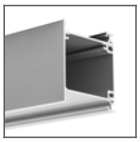

GIZA-LL-T Extrusion Ref: C2479

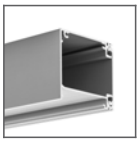

GIZA-LL-UST Extrusion Ref: C2724


GLAD-45 Extrusion Ref: B7009ANODA


HR-ALU Extrusion Ref: B1889


HR-LINE Extrusion Ref: B3579


IDOL Extrusion Ref: 18014ANODA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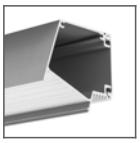
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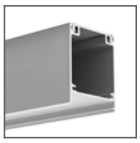
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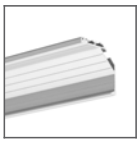
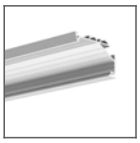
JAZ Extrusion Ref: B8547ANODA


KIDES Extrusion Ref: 18031ANODA


KOPRO Extrusion Ref: B6367ANODA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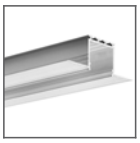
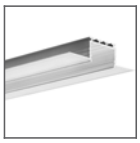
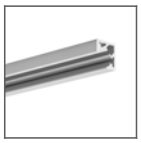
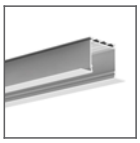

KOZEL Extrusion Ref: B6454

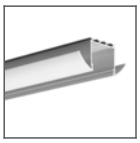

KOZMA Extrusion Ref: 18040NA


KOZUS Extrusion Ref: B7823NA


KRAV-810 Extrusion Ref: 18016ANODA


KUBIK-45 Extrusion Ref: B7697ANODA


LARKO Extrusion Ref: B5552ANODA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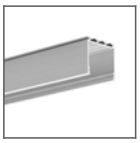
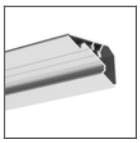
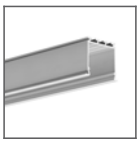
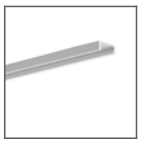

LIPOD Extrusion Ref: B5554ANODA


LIT-L Extrusion Ref: 18033NA


LOC-30 Extrusion Ref: 18015ANODA


LOKOM Extrusion Ref: B5553ANODA


MICRO-ALU Extrusion Ref: B1888

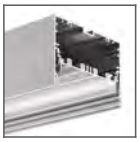

MICRO-H Extrusion Ref: C0599ANODA

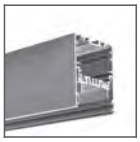

MICRO-HG Extrusion Ref: C1419


MICRO-NK Extrusion Ref: C1587

KLUŚ Inspiring Solutions

WP-K-1910-HD-IP65-24
FLEXIBLE LED STRIP DATA SHEET


MOD-100 Extrusion Ref: 18049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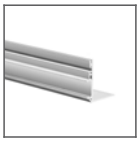
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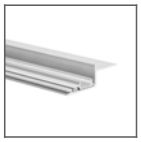
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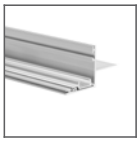
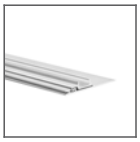
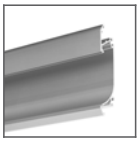
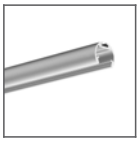
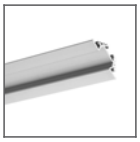

NISA-NI Extrusion Ref: 18029NA


NISA-PLA Extrusion Ref: 18028NA

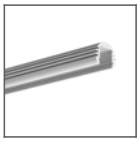

OBIT Extrusion Ref: W4826ANODA


OLEK Extrusion Ref: B8505ANODA

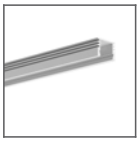

OPAC-30 Extrusion Ref: B6164ANODA

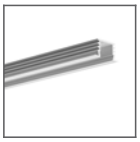

PAC-ALU Extrusion Ref: B4370ANODA


PDS-H Extrusion Ref: B9204ANODA


PDS-O Extrusion Ref: B3777ANODA

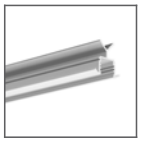

PDS-ZM Extrusion Ref: B7696ANODA

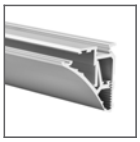

PDS4-ALU Extrusion Ref: B1718


PDS4-K Extrusion Ref: B3776ANODA

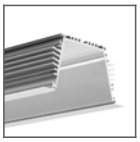

PDS4-PLUS Extrusion Ref: C1263

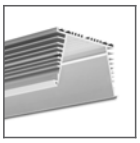

POLI Extrusion Ref: B7176ANODA

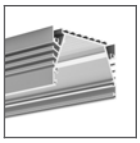

POR Extrusion Ref: B6144ANODA

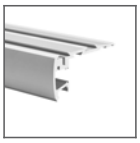

PULA Extrusion Ref: 18035ANODA

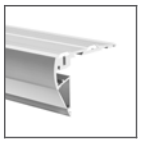

REGULOR Extrusion Ref: B468+43ANODA


SEKODU Extrusion Ref: B6597ANODA


SEKOMA Extrusion Ref: B6595ANODA


SEPOD Extrusion Ref: B6593ANODA


STEP Extrusion Ref: B4845ANODA

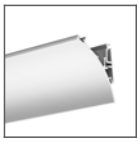

STEPUS Extrusion Ref: 18038ANODA


TAMI Extrusion Ref: B5390ANODA/Frosted Cover


TAN-C5 Extrusion Ref: B5391/Frosted Cover


TRIADA Extrusion Ref: B4476ANODA


TRIADA-K Extrusion Ref: B4477ANODA


WERKIN Extrusion Ref: 18025ANODA

Specification sheet - PDS-ZM-PLUS Extrusion
ref. number C2056ANODA

PRODUCT DESCRIPTION

- Modern design thanks to smooth profile walls
- The PDS-ZM-PLUS extrusion is compatible with the PDS-T extrusion, which enables the effective transitioning of suspended lighting fixtures into recessed fixtures (ceilings at different levels, mezzanines)
- The extrusion is compatible with the 8-KLIK LED tape system (easy maintenance and quick mounting of IP65 LED tapes)
- The cover is cut flush with the extrusion
- Line of light

FINISH :

Silver anodized

Black anodized

Fill empty fields

Product nr.	
Fixture type	
Company	
Job name	
Date	

TECHNICAL SPECIFICATION

Application

- for the construction of suspended, straight and polygonal lighting fixtures

Mounting

- mounted with accessories from the extensive offer of KLUŚ

Additional information

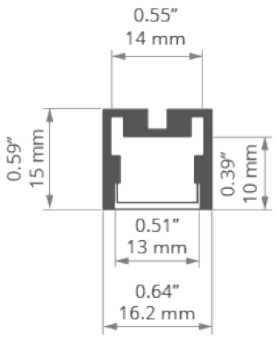
- the extrusion is adapted to LED tapes with a maximum width of 0.39”
- the extrusion is equipped with a small ZM lock, thanks to which it can be connected using ZM / ZM-G connectors and thus create various shapes

AVAILABLE LENGTHS

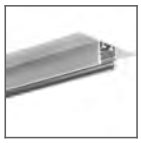
Ref. nr.	surface finish	available lengths
C2056ANODA_1	Silver anodized	39.4"

Ref. nr.	surface finish	available lengths
C2056ANODA_2	Silver anodized	78.7"
C2056K7_1	Black anodized	39.4"
C2056K7_2	Black anodized	78.7"

TECHNICAL DRAWING



RELATED EXTRUSIONS



PDS-T Extrusion
Ref: C2057NA

RELATED PRODUCTS

COVERS

BLACK

LIGER Cover
black
Ref: 17040

CLEAR COVERS

HS Cover clear
Ref: 1370

KA-PRO Cover
clear
Ref: 17065

KA Cover clear
Ref: 17036

FROSTED COVERS

KA Cover frosted
Ref: 17035

HS Cover frosted
Ref: 1369

LIGER Cover
frosted
Ref: 17037 (Old
ref. 17031)

KA-PRO Cover
frosted
Ref: 17064

END CAPS

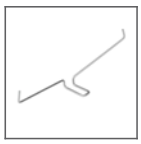
REGULAR END CAPS

PDS-ZM-PLUS
grey End cap
Ref: 24364

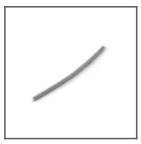
PDS-ZM-PLUS
black End cap
Ref: 24365

ACCESSORIES

FASTENERS & MOUNTING ACCESSORIES



GP Spring
Ref: 00293



BLOK Spring
Ref: 42731V1

BZP-ZZ Head
conductive
Ref: 42215

BZP Head
Ref: 42213

DP-ZZ Fastener
Ref: 00651

PUSZ-LIN-ZM
Fastener
Ref: 42256

PUSZ-PRET-ZM
Fastener
Ref: 42250

FI-10-ZM-P
Fastener
Ref: 42244

FI-10-ZM-W
Fastener
Ref: 42242

FI-8-LIN-ZM
Fastener black
Ref: 42285L9005

FI-8-LIN-ZMZ
Fastener black
Ref: 42286L9005

PUSZ-PRET-ZM
Fastener silver
Ref: 42276

PUSZ-LIN-ZM
Fastener silver
Ref: 42275

UCHO-ZM
Hanger
Ref: 42512

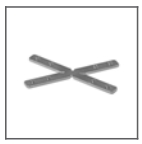
COMPONENTS FOR CONNECTING FIXTURES

ZM-180
Connector
Ref: 42717

ZM-PION-120
Connector
Ref: 42320

ZM-Y120-G
Connector
Ref: 42336

ZM-X90-G
Connector
Ref: 42334



ZM-X60-G
Connector
Ref: 42332

ZM-X45-G
Connector
Ref: 42330

ZM-T90-G
Connector
Ref: 42328

ZM-T60-G
Connector
Ref: 42326

ZM-T45-G
Connector
Ref: 42324

ZM-PION-45
Connector
Ref: 42314

ZM-PION-135
Connector
Ref: 42719

ZM-135-G
Connector
Ref: 42310

ZM-90-G
Connector
Ref: 42306

ZM-60-G
Connector
Ref: 42304

KLUŚ Inspiring Solutions

Specification sheet - PDS-ZM-PLUS Extrusion
ref. number C2056ANODA


ZM-45-G Connector Ref: 42338


ZM-135 Connector Ref: 42720


ZM-120 Connector Ref: 42728


ZM-90 Connector Ref: 42716


ZM-PION-90 Connector Ref: 42718


ZM-120-G Connector Ref: 42308

MOUNTING SETS


RG-1 Mounting set Black Ref: 42647L9005

LED TAPES

8K


8K-WP-K-27/65-1920-24V Ref: 8K-WP-K-2765-1920-24V


8K-WP-K-1210-12V Ref: 8K-WP-K-1210-12


8K-WP-K-1210-24V Ref: 8K-WP-K-1210-24


8K-WP-K-1220-12V Ref: 8K-WP-K-1220-12


8K-WP-K-1220-24V Ref: 8K-WP-K-1220-24


8K-WP-K-1275-12V Ref: 8K-WP-K-1275-12

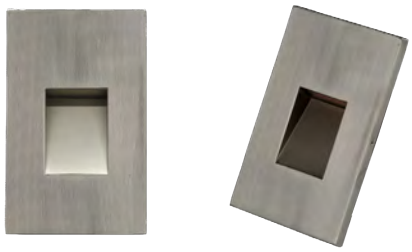

8K-WP-K-1275-24 Ref: 8K-WP-K-1275-24

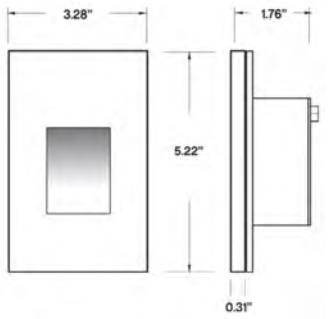
PROJECT NAME:	DATE:	TYPE:
SPECIFIER:	PREPARED BY:	
PART NO.:		

LED OUTDOOR LIGHTING SERIES

TBD.STS3x5

2W VERTICAL RECESSED LED STEP/WALL LIGHT





LED step or wall light suitable for outdoor paths and walkways; or wall mounted for directing light down to surfaces. IP65 wet location outdoor rated. Available 2700K, 3000K, 4000K, dimmable, 2W, 12V DC or 120V AC options. Also usable for indoor applications.

FEATURES

- 12V DC (3000k Only) or 120V AC Voltage
- 2W
- 185 Lumens
- 2700°K, 3000°K, 4000°K
- 90+ CRI
- IP65 Wet Location Outdoor Rated
- 120V AC Option - NO Transformer Required
- 12V DC Option Requires Remote TLS Power Supply
- Refer to Power Supplies for Dimming Compatibility
- Certification - ETL Listed
- Long Life 50,000 Hours
- Easy Install with Single Gang Switch Box

ORDERING GUIDE

TBD.STS3x5 — — —

COLOR TEMP	FINISH	VOLTAGE
27K - 2700K	**WH** - White	***12V** - 12V DC
30K - 3000K	**BK** - Black	**120V** - 120V AC
40K - 4000K	**BZ** - Bronze	
	BN - Brushed Nickel	

*Available only in 3000K

PROJECT NAME:	DATE:	TYPE:
SPECIFIER:	PREPARED BY:	
PART NO.:		

LED POWER SUPPLIES

TBD.PSDM

LED MAGNETIC DIMMABLE DRIVERS - CLASS 2

TBD.PSDM-20W-12
5.6 in. x 2 in. x 2.14 in.

TBD.PSDM-40W-12
5.6 in. x 2 in. x 2.14 in.

TBD.PSDM-60W-12
6.55 in. x 2.25 in. x 2.55 in.

TBD.PSDM-20W-24
5.6 in. x 2 in. x 2.14 in.

TBD.PSDM-40W-24
5.6 in. x 2 in. x 2.14 in.

TBD.PSDM-60W-24
6.55 in. x 2.25 in. x 2.55 in.

TBD.PSDM-100W-24
6.55 in. x 2.25 in. x 2.55 in.

TBD.PSDM is generally used for DC LED systems and is compatible with low voltage magnetic dimmer switches (MLV TRIAC dimmer). Magnetic drivers are available in a range of wattages and are offered in 12V and 24 V DC output. These dimmable drivers are suitable for dry or wet locations (NEMA 3 enclosure) and are equipped with primary and secondary protection circuit breakers.

FEATURES

- 12V and 24V DC
- Class 2
- Dimmable
- Suitable for Indoor/Outdoor Use IP65
- NEMA 3R – Outdoor Use
- Two Knock-outs, one on each side
- Auto-Reset Feature
- Larger wattage options available upon request.
- Per UL Code for Magnetic Transformers, install in upright position only.

OUTDOOR | INDOOR | 12V | 24V | IP65 | CLASS 2 | DIMMABLE

ORDERING GUIDE

TBD.PSDM — —

WATTAGE
20W - 20 Watt Max
40W - 40 Watt Max
60W - 60 Watt Max
***100W** - 96 Watt Max

VOLTAGE
12 - 12V DC
24 - 24V DC

***NOTE:** 100W only available in 24V

SPJ LIGHTING Inc.
ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING

SPECIFICATION SHEET

Marker Light & Accent

SPJ-GDG-LB1

MODEL:	**SPJ-GDG-LB1**
MATERIAL:	**Solid Brass**
FINISH SHOWN:	**PVD Satin**
ELECTRICAL:	**8-15V, 120V**
WATTAGE:	**3W**
ENGINE:	**FB-3W-CYL-TA16**
LUMENS:	**200**
OPTIC:	**Wide Angle Flood**
MOUNTING:	**Recessed**

FINISHES

- ☐ Matte Bronze (MBR)
- ☐ Verde (V)
- ☐ Moss (M)
- ☐ Black (B)
- ☐ Rusty (R)
- ☐ Satin Brass (SB)
- ☐ Aged Brass (AG)
- ☐ Raw Copper (RC)
- ☐ Natural Copper (NC)

PVD PREMIUM

- ☐ PVD Polished (PVDP)
- ☐ PVD Satin (PVDS)
- ☐ PVD Graphite (PVDG)
- ☐ PVD Bronze (PVDBZ)
- ☐ PVD Black (PVDBL))

WATTAGE	LUMENS
☐ 1W	80
☐ 2W	150
☐ 3W	200
☐ 6W	300

Custom lumen packages are available upon request

COLOR TEMPERATURE

- ☐ 2200K
- ☐ 2700K
- ☐ 3000K
- ☐ 4000K
- ☐ 5000K
- ☐ 6500K
- ☐ RGBW

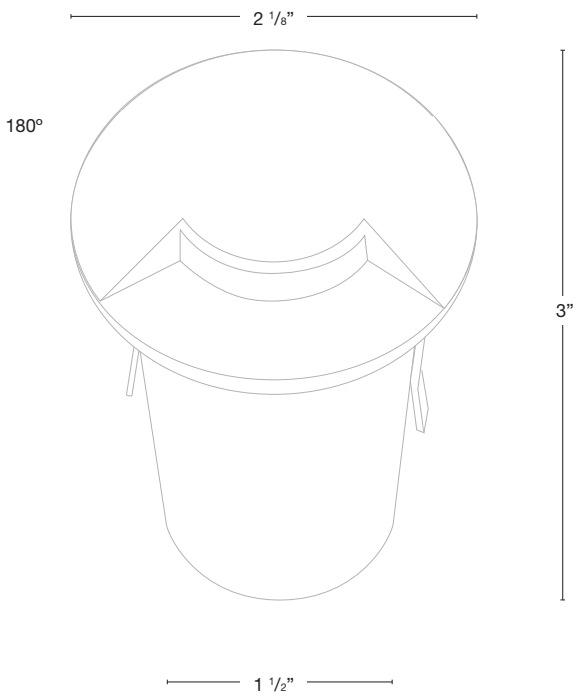
Custom options are available

ELECTRICAL

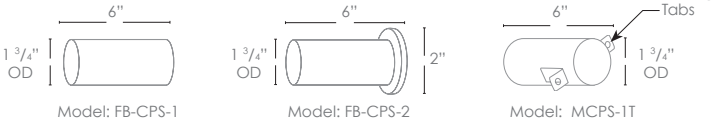
- ☐ 8-15V
- ☐ 120V

OPTICS

☐ SPOT	19d
☐ FLOOD	38d
☐ WIDE FLOOD	54d
☐ WIDE ANGLE FLOOD	120d



Concrete Pour Sleeve



c UL us LISTED

Wet Listed

Ordering Example	Customer Approval	Date
SPJ-GDG-LB1-PVDS-3W-27K-8-15V		

AGENDA ITEM
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISON
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: Drew Nelson, Senior Planner

FOR: Design Review Board Public Hearing; June 6, 2024

DATE: May 28, 2024

RE: Staff Memo – Final Architecture Review (FAR) Lot 166AR2-1, TBD Stonegate Drive, pursuant to the Community Development Code

PROJECT GEOGRAPHY

APPLICATION OVERVIEW: New Single-Family residence on Lot 166AR2-1

Legal Description: A REPLAT OF LOT 166 AR2 1 TELLURIDE MTN VILLAGE ACC TO THE REPL OF LOTS 166AR OSP51 AND OSP166 TO LOTS 116AR2 1 THRU 166AR2 15 PARCEL A OSP51A OSP51B AND OS166R REC 4 4 03 IN PL BK 1 PG 3116 TOGETHER WITH THOSE RTS FOR EASEMENT AGREEMENT FOR UTILITY AT 356307 AND EASEMENT AGREEMENT FOR DRIVEWAY AT 356308 AND EASEMENT AGREEMENT FOR SLOPE EASEMENT FOR BERM AT 356309 UNDER THE NAME AND STYLE OF DRIVEWAY AND UTILITY EASEMENT MODIFICATION REC NO. 434639 9/23/2014 .254 AC
Address: TBD Stonegate Drive
Applicant/Agent: Scott Beans, Sprout Architecture and Engineering
Owner: E2M Properties, LLC
Zoning: Single Family
Existing Use: Vacant
Proposed Use: Single-Family Residence
Lot Size: .254 acres

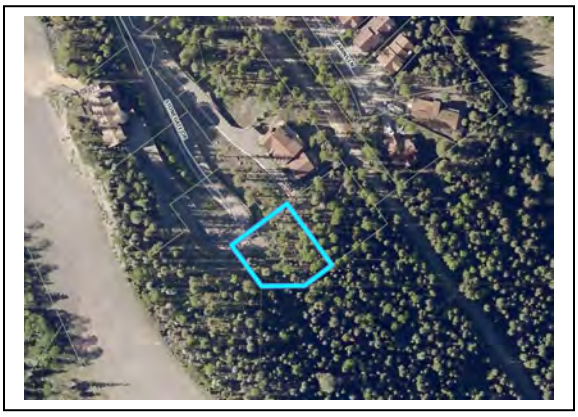


Figure 1: Vicinity Map

Adjacent Land Uses:

- **North**: Single-Family Residence
- **East:** Vacant
- **West:** Active Open Space – Ski Area
- **South:** Active Open Space – Ski Area/USFS

ATTACHMENTS

Exbibit A: Architectural Plan Set
Exhibit B: Staff/Public Comments

Case Summary: Scott Beans, on behalf of owners E2M Properties, LLC, is requesting Design Review Board (DRB) approval of Final Architecture Review (FAR) application for a new single-family residential unit on Lot 166AR2-1, TBD Stonegate Drive.

The site is extremely sloped, with nearly the entire property over 30% slopes and many portions over 60%. The proposed structure is a single-family residence in the single-family zone district. The structure is proposed to follow the slope of the lot and is accessed at the switchback on Stonegate Drive. A 16' general easement is present on the northwest and northeast sides of the lot, but no general easement exists on the other three sides. The property is impacted by a portion of Stonegate Drive and is accounted for with a driveway and utility easement that was established on the original subdivision plat in 2003 and substantially modified in 2014.

The proposed structure is 6,310 square feet of habitable space, with a total gross square footage of 6,960 square feet, and utilizes a mixture of wood, stone, and metal siding for the exterior materials. The proposed structure includes two interior parking spaces and two exterior spaces per the narrative. The applicant has made changes from the IASR by utilizing geofoam to remove the large shockcrete wall and has swapped out the painted metal siding for additional stone materials.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by*** *Italicized Text.*

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

CDC Provision	**Requirement**	**Proposed**
Maximum Building Height	35' (shed) Maximum	35' (post const.)*
Avg. Building Height	30' (shed) Maximum	27'11"
Maximum Lot Coverage	40% (9,598.4 sq ft)	38% (3,072 sq ft)
General Easement Setbacks	No encroachment	16' NE and NW
Roof Pitch		
Primary		3.5:12
Secondary (shed)		Flat
Exterior Material		
Stone	35% minimum	61.5%
Windows/Door Glazing	40% maximum	21.1%
Metal	n/a	15.1%
Wood	n/a	0%
Parking	2 enclosed/2 surface	2 enclosed/2 surface

Design Review Board Specific Approval:

1) *Material: EPDM on Flat Roofs*
2) *Steep Slopes >30%*
3) *Tandem Parking*
4) *General Easement Encroachment: Retaining Wall*

Design Variation:

1) *Flat Roofs*

Chapter 17.3: ZONING AND LAND USE REGULATIONS
17.3.3 Use Schedule
Staff: The applicant has identified that this structure is a single-family residence, and the lot is located in the single-family zone district. According to Table 3-1 Town of Mountain Village Land Use Schedule, a single-family residence is an allowable use in the single-family zone district.

17.3.13 Maximum Lot Coverage
Staff: The maximum lot coverage for single-family homes with lots under one acre is 40%. On this site, the maximum allowable site coverage is 4,425.7 square feet. The proposed structure and infrastructure covers 4,205 square feet, or 38% of the site, and is below (but near) the 40% threshold.

17.3.11 and 17.3.12: Building Height and Building Height Limits
Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates shed roof forms. Single-family residences with shed roofs are granted a maximum height of 35 feet and an average height of 30 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: The primary roof form of the proposed structure is a mixture of gabled and shed and is therefore granted a maximum height of 35 feet and an average height of 30 feet. The applicant has indicated that the maximum height of the current proposed structure is 35 feet and has an average height of 27'11". Heights demonstrated by the applicant in the plan set indicate that the existing and finished grade will be the same.

Due to the extreme slope of the site (with slopes over 60% for much of the site), the structure is proposed to step up the hillside in order to keep all roof forms below the 35' height limit. Figures 2-6 show the elevation from Stonegate Drive as related to the natural grade and height measurements of the proposed structure at various vertical planes through the structure.

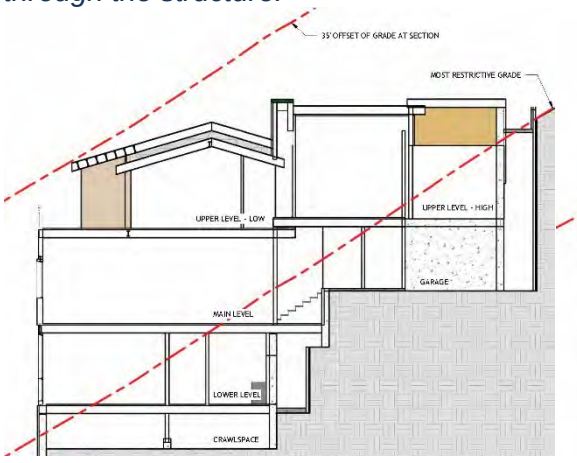


Figure 2: Building Height

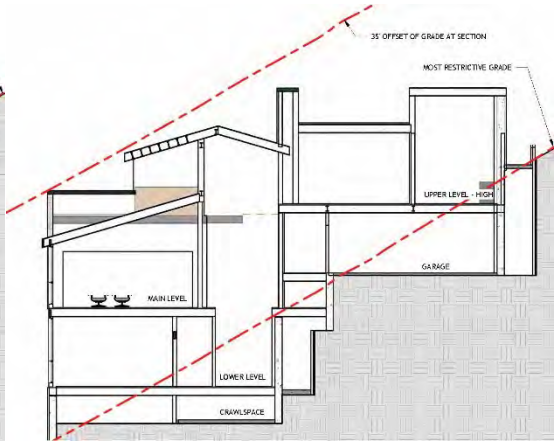


Figure 3: Building Height

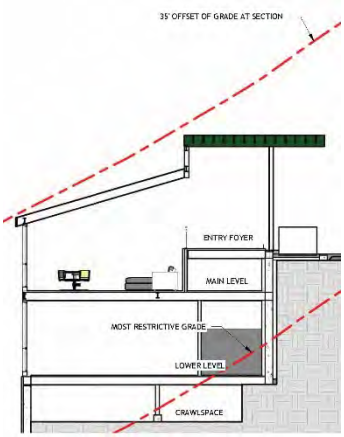


Figure 4: Building Height

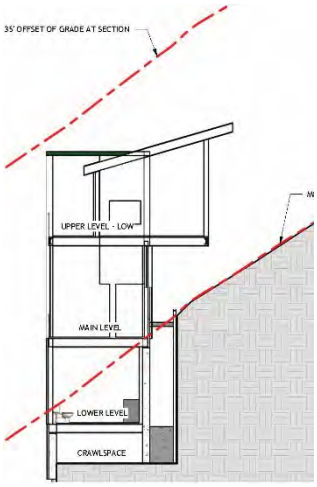


Figure 5: Building Height

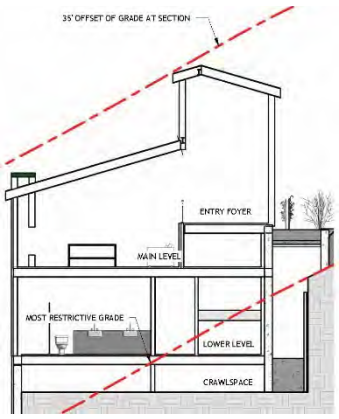


Figure 6: Building Height

17.3.14: General Easement Setbacks

The CDC provides that setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within setbacks such as driveways, ski access, natural landscaping, utilities, address monuments, and fire mitigation. The proposed building siting impacts the general easement on the northwest side of the property with a retaining wall and driveway access, which is covered by an easement established on the subdivision plat and last amended in 2014 through a separate instrument.

Staff: The proposed development includes a retaining wall system due to the extreme slopes of the site. In order to provide access and retain the driveway, a retaining wall will be necessary within the general easement on the northwest side of the lot. This requires a Specific Approval by the DRB.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The proposed design seeks to enhance the current architectural style found in the Stonegate subdivision and Mountain Village by adapting it to suit the challenging alpine building conditions. The proposed design utilizes a mix of stone and metal, showing sensitivity to the architectural context of the neighborhood and community.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed

improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

Staff: The applicant has proposed to locate the structure centrally to the lot, bound by the general easement on the northeast and northwest sides of the lot, and utilizes the location of the shared access drive to enter the property at the switchback of Stonegate Drive. The proposed design covers much of the buildable area of the lot outside of the general easement, and the applicant has indicated that the project will utilize soil nails to retain areas of steep slope impacted by the structure along with a geofoam filler between the retaining wall and the structure. The applicant has indicated that no soil nails will extend into either the general easement or outside of the property lines. However, a retaining wall is proposed within the general easement on the northwest side of the property in order to provide access to the site and retain the driveway. This requires a Specific Approval by the DRB.

As noted elsewhere, the site is over 30% sloped (and is in fact much steeper than that). Section 17.6.1.C. of the CDC allows for development on slopes greater than 30% as a Specific Approval by the DRB if certain criteria are met, including disturbance of the slope being minimized to the greatest extent. The proposed design utilizes the slope to step the building up the hillside, and generally is in conformance with the CDC.

17.5.6: Building Design

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. Roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation is required. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

Staff: Staff comments regarding each of the relevant subsections are below.

Building Form:
The form of the proposed residential structure follows an alpine mountain design related to the existing forms found in Mountain Village and is grounded to withstand the extreme natural forces of wind, snow, and heavy rain. The proposed use of stone at the base reinforces this requirement.

Exterior Wall Form:
The proposed residential structure has exterior walls that are relatively simple in design and portray a massing that is substantially grounded to the site, while simultaneously reflecting other structures found in Mountain Village. This is reinforced through the use of stone materials as the base and metal siding above. The IASR design proposed to include board form concrete on lower walls of the unit, which have since been removed from the design.

Roof Form:
The roof design is a mixture of gabled and shed forms that are broken up to create visual interest. There are two portions of the roof (the front entry and the master bathroom above the garage) that are proposed as a flat roof and require a Design Variation from the DRB as well as a Specific Approval for the use of a membrane material. The shed roof material is standing seam and the color is listed as "bronze"; prior to building permit issuance the applicant shall provide additional color information to ensure compliance with the CDC's roofing color requirements.

Chimneys, Vent and Rooftop Equipment Design:
The designs indicate both an indoor and outdoor fireplace on the upper level powered by natural gas, as shown on the revised drawings from the IASR.

Exterior Walls Materials and Color:
The building utilizes light gray Fond Du Lac stone throughout the designs of the home. Vertical metal panels are incorporated along the exterior of the structure. Stone walls account for approximately 61.5 percent of exterior materials, which meets the minimum 35 percent stone requirement. The applicant is proposing to utilize a painted cedar fascia matching the windows and roofing.

Glazing:
The maximum window area of the building, including window and door glazing, is approximately 21.1% of the total building façade.

Doors and Entryways:
Sheet A300 in the attached plans provide the window and door schedules, as well as schedule for the garage doors. Colors proposed are "Craftsman Bronze", appearing to match the standing seam metal roof.

Decks and Balconies:
The proposed balconies enhance the overall architecture of the building by creating variety and detail on the exterior elevations as outlined in the CDC and provide exterior outdoor space on a very steep lot. The balconies do not project out from the design of the building, keeping the building form grounded. The exterior railings consist of glass-paneled guardrails and are non-combustible in nature.

Required Surveys and Inspections:
A monumented land survey will need to be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height, as the proposed building height is within 5 feet of allowable. A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

17.5.7: Grading and Drainage Design
Staff: Minimal site grading will be possible due to the steep slope of the site; however, a significant amount of materials will need to be removed from the site to accommodate the anticipated excavation for the lower levels of the structure. The overall site grading will largely conform to the existing conditions before the final construction phase. The current drainage around the house meets the CDC requirements, maintaining a positive slope away from the residence. The applicant has indicated that the proposed driveway/autocourt will be 950 square feet in size and will be snowmelted. The applicant is also proposing a large soil retention system around the home, which will be filled with geofoam. There is a retaining wall proposed to be installed in the general easement on the northwest side of the property, which requires Specific Approval by the DRB.

17.5.8: Parking Regulations
Staff: The applicant generally meets the parking criteria, which stipulates a minimum of two internal and two external parking spaces per single-family residence. The proposed design includes 2 internal spaces and 2 external spaces in the autocourt, located in tandem outside of the garage (which requires Specific Approval from the DRB). The two tandem spaces are appropriate due to the extreme slope of the site.

The subdivision plat for Stonegate indicates that access to this lot and the nearby lots 10 and 11 are via a shared driveway and utility easement. This section of shared driveway is not a public roadway maintained by the Town, and would not meet current standards of the CDC. However, this section of driveway has already been constructed and is in use, and would be considered a pre-existing non-conforming design approved by a prior DRB.

The parking regulations (Section 17.5.8.C.2.) requires that garages that are designed to have cars backing out shall have a minimum of 25' of backup space for vehicles exiting a garage, which is being met with this design despite the unique nature of Stonegate Drive existing on the property.

17.5.9: Landscaping Regulations
Staff: An initial landscaping plan was provided on sheet L001 of Exhibit A. The applicant is proposing to revegetate with native grasses and a few trees around the exterior of the structure; however, staff cannot confirm whether there are any trees proposed for the Zone

1 Fire Mitigation area. Prior to building permit, the applicant shall revise the landscape plan to show all trees proposed to either remain or be removed, and indicate all species of trees proposed to be replanted on the site in conformance with the Town's landscaping standards.

The Town Forester provided the following comments at the time of IASR:

"The plan set shows no landscape plan. A landscape plan showing the wildfire mitigation zones is required. The landscape plan must show the trees to be removed and trees to be retained. Trees to be retained must show tree protection fencing."

All recommendations of the Town Forester should be incorporated into the landscape plan prior to building permit application.

17.5.10: Trash, Recycling, and General Storage Areas
Staff: The applicant has updated the floor plans (Sheet A112) to show the location of trash and recycling areas within a closet located inside the garage.

17.5.11: Utilities
Staff: Utilities are in the roadway for Stonegate Drive, and currently provide services to the homes located in the subdivison. The utility plan, as presented on sheet C3 within the submitted documentation, indicates that all utility connections will be coordinated with the proper authorities, including the Town of Mountain Village. The Public Works Department has not provided the referral comments.

The Telluride Fire Protection District provided the following comments at the time of IASR:

1) The structure shall be in accordance with the 2018 IFC, TFPD Amended Fire Code, and NFPA Standards for a Group R-3 occupancy.
2) A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.
3) An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.
4) Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
5) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
6) Electric vehicle charging stations/outlets shall be installed in accordance with the TFPD Amended Fire Code and NFPA 70.
7) A Knox box is recommended at the main entrance on the address side for emergency access.

17.5.12: Lighting Regulations
Staff: The applicant has provided a lighting plan on sheet A400 of Exhibit A. This illustrated the lighting types and locations. The plan proposes the use of three different exterior lighting fixtures: an exterior wall sconce, a driveway sconce, and recessed downlights. The wall sconces are proposed adjacent to the garage doors and front entry. The applicant has modified the lighting plan to remove the projecting wall sconces from the upper level decks, replacing them with the recessed downlights. The driveway sconces are proposed in walls around the driveway/autocourt. All lighting fixtures meet the requirements of the CDC.

Figure 9: Exterior Wall Sconce

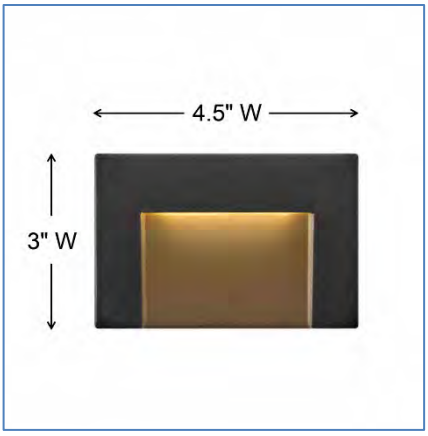


Figure 10: Driveway Sconce

17.5.13: Sign Regulations

Staff: The applicant is proposing a freestanding sign away from the structure facing Stonegate Drive. The address monument is shown on Sheet A001 of Exhibit A, and meets the requirements of the CDC.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: A Fire Mitigation Plan was provided as part of the Final Architecture Review. The applicant has noted on the plans that coordination with the Town Forester will occur at the time of construction.

17.6.6: Roads and Driveway Standards

Staff: As noted previously, the site is accessed via Stonegate Drive, which is a shared access drive at this location. Stonegate Drive includes a switchback directly in front of the proposed home that provides a good access point. Stonegate Drive is steep and narrow, and would not meet Town standards for roadways today; however, it is a pre-existing non-conforming driveway that already provides access to homes in the neighborhood. On the site, the proposed driveway accessing the garage spaces is proposed to be at a slope less than 5% for the first 20 feet as required by the CDC.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has provided information on the fuel sources for the fireplaces proposed for the structure, indicating that natural gas will be the fuel type.

Chapter 17.7: BUILDING REGULATIONS

17.7.20: Construction Mitigation

Staff: A Construction Mitigation Plan was provided in the plan set. In the project narrative, the applicant has indicated that there will be two parking spaces utilized on the lot and additional spaces coordinated with Public Works with workers shuttled to the job site. The applicant will need to work with Public Works, the Fire District, and potentially neighboring properties on construction mitigation. The applicant has included comments in the narrative specifically addressing the comments from the Building Department during the Initial Review, and has indicated that there will be no crane on site during construction.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Staff Recommendation: The item before the DRB with this application is a Final Architecture Review. Staff suggests the following motion for approval:

I move to approve the Final Architecture Review for a new single-family home located at Lot 166AR2-1, based on the evidence provided in the staff memo of record dated May 28, 2024, and the findings of this meeting.

With the following specific approvals:

Design Review Board Specific Approval:

1) *Material: EPDM on Flat Roofs*
2) *Steep Slopes >30%*
3) *Tandem Parking*
4) *General Easement Encroachment: Retaining Wall*

Design Variation:

1) *Flat Roofs*

Conditions:

1) *Prior to building permit issuance, the applicant shall provide additional color information to ensure compliance with the CDC's roofing color requirements.*
2) *Prior to building permit issuance, the applicant shall include the Town Forester's comments into the landscape plan, along with specific descriptions of any tree or shrub species proposed to be planted on the site.*
3) *A monumented land survey will need to be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height as well as accurately depict footer and foundation locations adjacent to the general easement. A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy.*
4) *The applicant shall work with Public Works and utility providers to finalize the utilities plan as a condition of approval prior to building permit.*
5) *The structure shall be in accordance with the 2018 IFC, TFPD Amended Fire Code, and NFPA Standards for a Group R-3 occupancy.*
6) *A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.*
7) *An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.*
8) *Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.*
9) *Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.*
10) *Electric vehicle charging stations/outlets shall be installed in accordance with the TFPD Amended Fire Code and NFPA 70.*
11) *A Knox box is recommended at the main entrance on the address side for emergency access.*
12) *Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 75% since the application was submitted and deemed complete in 2024.*
13) *Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either non-combustible materials, heavy timber as specified in the*

(2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) – Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.

14) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
    a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
    b. *Wood that is stained in the approved color(s);*
    c. *Any approved metal exterior material;*
    d. *Roofing material(s); and*
    e. *Any other approved exterior materials*
15) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*

Should the DRB choose to require additional information be provided prior to consideration of the Final Architecture Review, staff recommends the following motion:

I move to continue the Final Architecture Review for a new single-family home located at Lot 166AR2-1 to the July 11, 2024, regular Design Review Board meeting.

sprout
ARCHITECTURE + ENGINEERING + CONSTRUCTION MANAGEMENT

May 10, 2024

Drew Nelson
dnelson@mtnvillage.org
re: Lot 166AR2-1; comments for final architecture review

Dear Drew:

This letter contains Sprout's responses to DRB comments from the initial architecture review in April 2024, and is accompanied by a revised drawing package. Sprout's responses are below:

1) Prior to final review, the applicant shall provide an updated landscape and fire mitigation plan showing compliance with the Fire Mitigation standards and the Town Forester's comments.
The landscaping plan (L001) has been updated to note that the town forester will be engaged by the design team + general contractor prior to construction to determine which trees are to be removed and/or protected. The forester will also be consulted on any re-planting of native elements in the easement locations prior to planting.

Wildfire mitigation zones are provided in this drawing set under the civil set of drawings. Specifically, please refer to sheet C5, which notes limits of construction disturbance, the Zone 1 perimeter, and the Zone 2 perimeter. As noted above, the town forester will be engaged to review on-site conditions prior to construction.

2) Prior to final review, the applicant shall provide additional information about all fireplaces proposed for the site, including fuel sources.
All fireplaces will be natural gas; this is also noted on revised drawings.

3) Prior to final review, the applicant shall provide additional details for exterior materials proposed for the structure, including soffit/fascia materials, to determine whether a Specific Approval is required.
See #3 below.

4) Prior to final review, the applicant shall provide additional color details for roofing materials, window frames, garage doors, all exterior doors, and all other materials necessary to meet CDC guidelines.
A material board will be provided at the DRB meeting, including final material selections. The previously-proposed faux wood metal siding is no longer on the project. Specific material selections + colors are also noted on revised drawings.

5) Prior to final review, the applicant shall provide additional information indicating trash and recycling locations on the site.
Trash + recycling containers will be located in the closet inside the garage; this is also noted on revised drawings.

6) Prior to final review, the applicant shall provide a revised construction mitigation plan reflecting the comments made by the Building Department regarding construction parking, soil nailing, crane location, blasting, and any additional encroachments anticipated with the project.
Comment #1: Construction mitigation plan (C4) shows two parking spaces, a laydown yard, a dumpster, a port-a-john, and a bearproof poly-cart, all located in the proposed driveway area (all behind a gate, with no parking on Stonegate). This allows space for one car that is permanently parked (i.e. the 'carpool' car) and another car for individuals who are coming by for a short time (e.g. a building inspector). All others will park off-site (to be coordinated with Public Works/Building Department as required).
Comment #2: Per initial conversations with soil retention specialists (e.g. GSI), soil nail walls have been located such that no nails will extend beyond property lines.
Comment #3: Use of a crane is not anticipated. If this changes, the Building Department will be notified prior.
Comment #4: Based on geotechnical explorations, blasting is not anticipated; should this change, appropriate parties will be contracted prior.
Comment #5: No encroachment will be required onto adjacent parcels.

7) Prior to final review, the applicant shall amend the lighting plan to remove any protruding wall sconces on any upper level decks in conformance with Section 17.5.12.F.6.b. of the CDC.
All upper-level protruding wall sconces have been removed from the project; this also noted on revised drawings.

8) A monumented land survey will need to be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height as well as accurately depict footer and foundation locations adjacent to the general easement.
This is a general contractor requirement during construction, and does not affect information shown on revised drawings.
A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy.
Materials board will be provided by general contractor at June 6 DRB meeting.

9) The applicant shall work with Public Works and utility providers to finalize the utilities plan as a condition of approval prior to building permit.
Applicant will work with Public Works as required prior to- and post- building permit receipt.

10) The structure shall be in accordance with the 2018 IFC, TFPD Amended Fire Code, and NFPA Standards for a Group R-3 occupancy.
Added to notes on revised drawings.

11) A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.
Added to notes on revised drawings.

12) An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.
Added to notes on revised drawings.

13)Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
Added to notes on revised drawings.

14) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
Address monument meeting these requirements is shown on revised drawings.

15) Electric vehicle charging stations/outlets shall be installed in accordance with the TFPD Amended Fire Code and NFPA 70.
Added to notes on revised drawings.

16) A Knox box is recommended at the main entrance on the address side for emergency access.
Added to notes on revised drawings.

17) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 75% since the application was submitted and deemed complete in 2024.
Noted.

18) Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) – Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.
Any accessory structures will be protected accordingly. This will be called out on final construction documents and coordinated accordingly with the Building Official. All fire mitigation and forestry management requirements will also be coordinated during construction (see additional comments on item #1).

19) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
b. Wood that is stained in the approved color(s);
c. Any approved metal exterior material;
d. Roofing material(s); and
e. Any other approved exterior materials

This will be provided on site as required. See comment #8 for additional material board information.

20) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Prior to commencing construction, utilities, infrastructure, existing/re-constructed retaining walls, and the like will be coordinated between general contractor, Public Works, Building Official, and others as required.

Additionally, two other changes were made following the initial DRB meeting, but that are not specifically noted in this list of comments. Both pertain to the space between the soil nail wall and the home's perimeter wall. This space will now be filled with geofoam, with a drainage layer at the surface which carries water to a swale on the uphill side of the soil nail wall. This swale will carry drainage around the perimeter of the home to acceptable outlet locations.

By filling this space with geofoam, the face of the soil nail walls and the face of concrete foundation walls are no longer visible. Thus, this eliminates the specifical approval request for board-formed concrete, and it eliminates any concerns over cladding the majority of the soil nail wall. The portion of soil nail wall visible at the driveway will remain clad to match the home. This change also eliminates concerns over the height of the soil nail wall, and whether a handrail or similar is necessary at the top of the wall.

If you have any questions concerning this letter, please email or give me a call to discuss.

Sincerely,

Scott Beans, PE, NCARB
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PROJECT DIRECTORY
NO SCALE 7

SITE INFORMATION:
ADDRESS: LOT 166AR2-1, STONEGATE DRIVE
MOUNTAIN VILLAGE, CO 81435
PARCEL #: 477910102001
LOT SIZE: 0.254 ACRES

OCCUPANCY CLASSIFICATION: R-3

APPLICABLE BUILDING CODES: 2018 IRC AND APPLICABLE CODES AS REQUIRED BY THE TOWN OF MOUNTAIN VILLAGE

BUILDING HEIGHT: 35'-0" MAX | 35'-0" PROPOSED
AVERAGE BLDG HT: 30'-0" MAX | 27'-11" PROPOSED
REFER TO SHEETS A020, A021

SQ FOOTAGE: FINISHED INTERIOR 6,310 SQ FT
GARAGE 650 SQ FT
EXTERIOR DECK 990 SQ FT

LOT COVERAGE: 40% MAX | 38% PROPOSED

PARKING: REQ'D - 2 ENCLOSED, 2 SURFACE
PROVIDED - 2 ENCLOSED, 2 SURFACE

PROJECT INFORMATION
NO SCALE 4

SHEET NUMBER	SHEET NAME
A000	PROJECT COVER SHEET
A001	ABBREVIATIONS AND SYMBOLS
A010	ARCHITECTURAL SITE PLAN
N/A	TOPOGRAPHIC SURVEY / EXISTING CONDITIONS PLAN
C1	CIVIL GENERAL NOTES
C2.1	CIVIL GRADING & DRAINAGE PLAN
C2.2	CIVIL GRADING & DRAINAGE PLAN
C3	UTILITIES
C4	CONSTRUCTION MITIGATION
C5	FIRE MITIGATION
A020	PARALLEL PLANE HEIGHT ANALYSIS
A021	AVERAGE BUILDING HEIGHT CALCULATION
A100	OVERALL PLANS
A110	LOWER LEVEL FLOOR PLAN
A111	MAIN LEVEL FLOOR PLAN
A112	ENTRY & GARAGE LEVEL FLOOR PLAN
A113	UPPER LEVEL FLOOR PLAN
A114	ROOF PLAN
A120	CRAWL SPACE PLAN
A200	EXTERIOR ELEVATIONS
A210	EXTERIOR 3-D VIEWS
A220	EXTERIOR MATERIAL CALCULATIONS
A300	BUILDING SECTIONS
A301	BUILDING SECTIONS
A302	BUILDING SECTIONS
A303	BUILDING SECTIONS
A400	DOOR & WINDOW SCHEDULES
A600	EXTERIOR LIGHTING PLANS
L001	REVEGETATION & LANDSCAPING PLAN

SHEET INDEX
NO SCALE 2

	REQUIRED	PROPOSED
CLIMATE ZONE	N/A	6
ROOF/CEILING	R-60	R-60
WOOD FRAME WALL	R-20+5	R-35+6.6 (A)
BASEMENT WALL	R-15/19	R-15/19 (B)
FLOOR	R-30	R-30
SLAB-ON-GRADE	R-10, 4 FT	R-10 (C)
WINDOW	U-0.30	U-0.30
DOOR	U-0.30	U-0.30

A. 5" CLOSED CELL SPRAY FOAM (R-35) + 1 1/2" ZIP PANEL (R-6.6)

B. FOUNDATION EXTERIOR FACE (CONTINUOUS) MINIMUM INSULATION: R-15; FOUNDATION INTERIOR FACE (CAVITY) MINIMUM INSULATION: R-19

C. 2" RIDGID INSULATION; VERTICAL FACE OF INSULATION TO EXTEND MINIMUM 2 FEET BELOW GRADE AT FACE OF SLAB; (A+B = 4 FEET)

D. PROVIDE CLASS II VAPOR RETARDER AT WARM SIDE OF EXTERIOR WALLS AS INDICATED IN WALL ASSEMBLIES

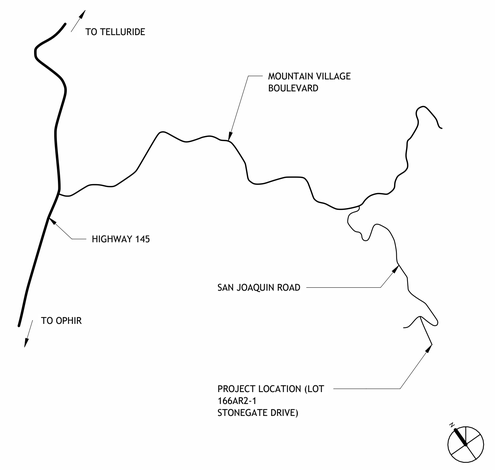
E. ALL PIPING AND WATER DRAINS NEAR EXTERIOR WALLS SHALL BE WRAPPED WITH MIN. R-8 PRE-FORMED POLYETHYLENE FOAM INSULATION.

F. INSULATE WITH MIN. R-8 BATT AROUND ALL DUCTING TO EXTERIOR, INCLUDING EXHAUST FAN.

G. ALL MECHANICAL SYSTEM PIPING SHALL BE WRAPPED WITH MIN R-3 PRE-FORMED POLYETHYLENE FOAM INSULATION.

H. ALL CIRCULATING HOT WATER SYSTEM PIPING SHALL BE WRAPPED WITH MIN. R-2 PRE-FORMED POLYETHYLENE FOAM INSULATION.

INSULATION REQUIREMENTS
NO SCALE 8



VICINITY MAP
NO SCALE 5

3D VIEW
NO SCALE 3

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STONEGATE RESIDENCE
LOT 166AR2-1, STONEGATE DRIVE
MOUNTAIN VILLAGE, CO 81435

COLORADO LICENSED
SCOTT T. BEANS
#0406687
ARCHITECT

PROJECT COVER SHEET

NOT FOR CONSTRUCTION

5.15.2024	DRB - FAR

A000

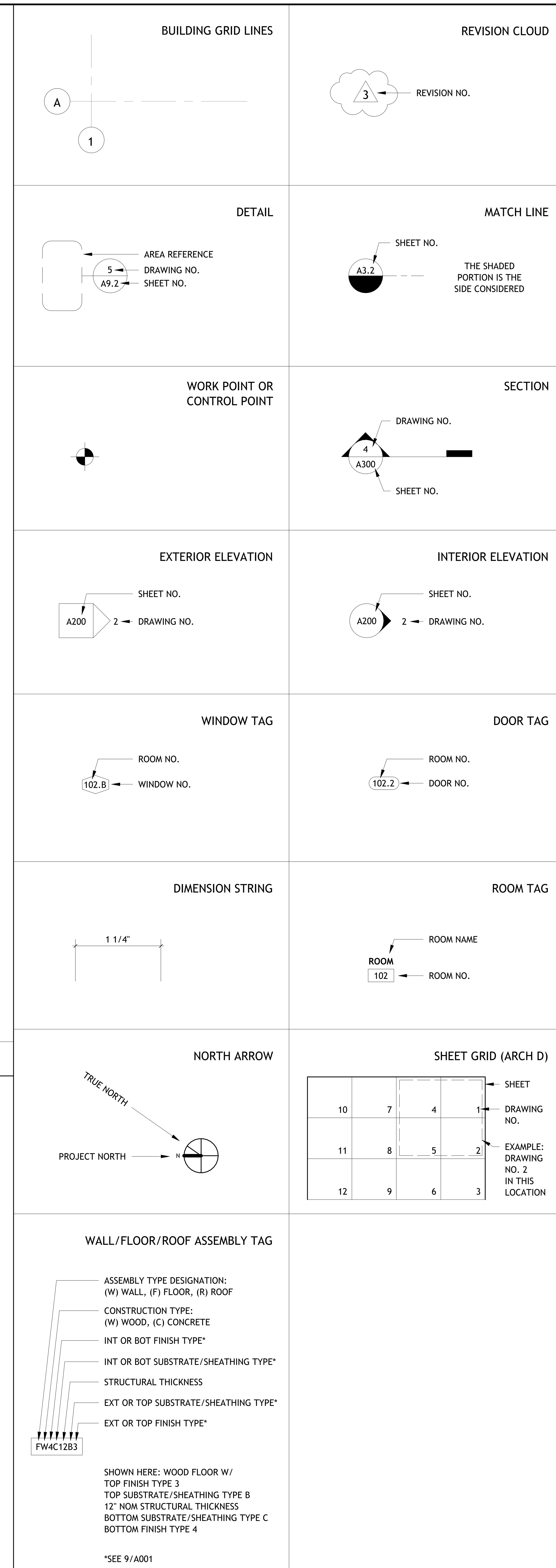
1. THIS SET IS NOT FOR CONSTRUCTION, NOR SHALL IT BE ACCEPTED BY ANY BUILDING DEPARTMENT AS SUCH.
2. ANY COST ESTIMATES BASED ON THIS SET ARE AT THE DISCRETION OF THE OWNER AND//OR CONTRACTOR, AS THIS SET DOES NOT CONTAIN ADEQUATE INFORMATION FOR A DETALED & ACCURATE PRICING EXERCISE.
3. THIS IS A BUILDER'S SET OF DRAWINGS. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MATERIALS, EQUIPMENT, LABOR, AND SERVICES AS NECESSARY TO COMPLETE PROJECT (WORK).
4. ALL PERSONS DIRECTLY OR INDIRECTLY ASSOCIATED WITH THE WORK SHALL BE FAMILIAR WITH THE LATEST RULES AND REGULATIONS OF THE "OCCUPATIONAL, SAFETY, AND HEALTH ACT" AND IMPLEMENT THOSE RULES AS THEY APPLY TO THIS WORK.
5. ALL WORK SHALL BE PERFORMED ACCORDING TO THE LATEST APPLICABLE BUILDING CODE, SEE BUILDING CODE DATA ON TITLE SHEET.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND THE PREVENTION OF CONFLICTS BETWEEN ALL TRADES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITY LINES. LOCATIONS, IF SHOWN, ARE APPROXIMATE AND REQUIRE FIELD VERIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING DAMAGE TO THE UTILITY LINES CAUSED BY CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO OWNER.
8. VERIFY ALL UTILITY LINES AND HOOK UP LOCATIONS PRIOR TO START OF CONSTRUCTION.
9. CHANGES OR SUBSTITUTIONS TO THE DESIGN OR PRODUCTS WHICH ARE SPECIFIED IN THESE DOCUMENTS WILL ONLY BE ALLOWED WITH WRITTEN APPROVAL FROM THE OWNER OR ARCHITECT.
10. MECHANICAL, ELECTRICAL & PLUMBING TO BE DESIGN-BUILD AND SHALL CONFORM TO THEIR CURRENT RESPECTIVE CODES ADOPTED BY ANY AND ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS PROJECT.
11. ANY AMBIGUITY OR DISCREPANCIES DISCOVERED BY USE OF THESE PLANS SHALL IMMEDIATELY BE REPORTED TO ARCHITECT. FAILURE TO COOPERATE BY NOTICE TO ARCHITECT PRIOR TO ANY CONSTRUCTION RELIEVES ARCHITECT OF ALL LIABILITY AND RESPONSIBILITY FROM THE CONSEQUENCES.
12. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE ARCHITECT AND/OR ENGINEER. ALL SUCH PORTIONS OF THE WORK SHALL BE INSTALLED IN ACCORDANCE WITH REVIEWED SHOP DRAWINGS AND SAMPLES.
13. ARCHITECTURAL DETAILS THAT SHOW OR INDICATE STRUCTURAL SYSTEMS AND/OR COMPONENTS ARE FOR GENERAL REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR SYSTEM SPECIFICATIONS, DESIGN, LAYOUT, ETC. RELATED TO THEIR TRADE.
14. CHANGES OR DEVIATIONS FROM THE PLANS MADE WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARRIVING OUT OF SUCH CHANGES.
15. ANY CHANGES IN THE FIELD TO THE STRUCTURAL PLANS SHALL RELIEVE THE ARCHITECT AND STRUCTURAL ENGINEER FROM ANY CONSEQUENCES WHICH MAY ARISE. ANY PROPOSED CHANGES TO THE STRUCTURAL DOCUMENTS MUST BE APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER IN WRITING.
16. ARCHITECTURAL DETAILS THAT SHOW OR INDICATE MANUFACTURES COMPONENTS (I.E. DOORS & WINDOWS, WATERPROOFING, EXTERIOR FINISHES, ETC...) ARE FOR GENERAL REFERENCE ONLY. REFER TO EACH MANUFACTURES SPECIFICATIONS / WARRANTY, APPLICABLE BUILDING CODES AND/OR INDUSTRY STANDARDS (WHICHEVER IS MORE STRINGENT) FOR THE CORRECT INSTALLATION OF EACH COMPONENT AND ITS SEQUENCING WITH ADJACENT MATERIALS. THE PREVIOUSLY REFERENCED ENTITIES SUPERCEDE ARCHITECTURAL DETAILS INCLUDED WITHIN THIS SET WHEN THERE IS A DISCREPANCY.
17. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, LICENSES AND APPROVALS ASSOCIATED WITH THIS PROJECT.
18. ALL CONSTRUCTION AND CONSTRUCTION METHODS ARE TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT. UNDER NO CONDITION DOES THE ARCHITECT HAVE RESPONSIBILITY FOR THE MEANS OR METHODS USED BY THE CONTRACTOR IN THE PERFORMANCE OF THE WORK OR FOR CONDITIONS OF SAFETY AT THE JOB SITE.
19. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF EXISTING FINISH OR FACE OF CONCRETE UNLESS NOTED.
20. THE CONTRACTOR MUST VERIFY THE BUILDING LAYOUT WITH THE OWNER, CIVIL ENGINEER OR ARCHITECT PRIOR TO DIGGING THE FOOTINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL NEW CONSTRUCTION ON THE SITE.
21. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO ESTIMATING THE COST OF THE SCOPE OF WORK AND PRIOR TO ORDERING OR FABRICATING MATERIALS OR BEGINNING ANY CONSTRUCTION RELATED ACTIVITIES FOR THE PURPOSE OF BECOMING COMPLETELY FAMILIAR WITH THE SITE AND ALL EXISTING CONDITIONS WHICH MIGHT IMPACT THE COST OF OR PERFORMANCE OF THE SCOPE OF WORK.
22. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
23. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL FINISH GRADES ON SITE.
24. THE CONTRACTOR AND THEIR SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLETING ALL THE WORK WITHIN THESE DOCUMENTS, UNLESS NOTED OTHERWISE.
25. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY BOTH ROUGH OPENINGS & FINISH OPENINGS OF ALL DOORS & WINDOWS PRIOR TO FRAMING. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF DRAWINGS. DRAWINGS SHOULD NEVER BE SCALED.
26. DIMENSIONS OF AND FROM EXISTING CONDITIONS HAVE BEEN TAKEN FROM EXISTING DRAWINGS AND/OR FIELD MEASUREMENTS. ALL EXISTING DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE ON DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PERTAINING TO EXISTING CONDITIONS, INCLUDING ALL WORK ALREADY IN PLACE, PRIOR TO ORDERING OR FABRICATING MATERIALS, AND PRIOR TO START OF CONSTRUCTION.
27. THE CONTRACTOR SHALL VERIFY THE LOCATIONS ALL FLOOR / CEILING ASSEMBLY PENETRATIONS. ALL PENETRATIONS SHALL NOT OCCUR ON ANY SECTION OF THE JOIST. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY LOCATION THAT WOULD REQUIRE PENETRATION OF THE JOIST.
28. CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, AC EQUIPMENT, MILLWORK, CASEWORK, RECESSED ITEMS AND ALL OTHER ITEMS AS REQUIRED.
29. CONTRACTORS TO VERIFY ALL EQUIPMENT ROUGH-IN DIMENSIONS AND CLEARANCES WITH THE MANUFACTURERS PRIOR TO CONSTRUCTION.
30. PROVIDE COMBUSTION AIR & VENT GAS FOR APPLIANCES PER MANUFACTURERS REQUIREMENTS.
31. ALL PENETRATIONS FROM HABITABLE SPACE TO AN ATTIC, FULLY INSULATED ROOF CEILING CAVITY OR CRAWL SPACE SHALL BE SEALED AND INSULATED.
32. WHERE LARGER STUDS OR FURRING ARE INDICATED ON DRAWINGS TO COVER PIPING AND CONDUITS, THE LARGER STUD SIZE OR FURRING SHALL EXTEND THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.
33. OWNER/ARCHITECT TO HAVE WALK-THROUGH WITH ELECTRICAL SUB-CONTRACTOR IN ORDER TO INSPECT LOCATION OF ELECTRICAL FIXTURES, OUTLETS, ETC. PRIOR TO INSTALLATION.
34. PROVIDE ACCESS DOORS TO ALL ATTIC SPACES GREATER THAN 24" IN HEIGHT. COORDINATE LOCATION WITH OWNER AND ARCHITECT AND SIZE ACCORDING TO APPLICABLE CODES.
35. WATER FROM DOWNSPOUTS TO BE DIRECTED BEYOND LIMIT OF BACKFILL, PROVIDE SPLASHBLOCKS AT EACH DOWNSPOUT.
36. ALL EXTERIOR DOORS AND DOORS LEADING TO UNHEATED SPACES ABOVE GRADE TO BE WEATHER STRIPPED.
37. PROVIDE TEMPERED GLASS AT HAZARDOUS LOCATIONS AS DEFINED BY INTERNATIONAL RESIDENTIAL CODE 2015 AND ALL OTHER APPLICABLE CODES.
38. ALL STAIRS, GUARDRAILS, AND HANDRAILS TO COMPLY WITH I.R.C. STANDARDS AND REQUIREMENTS.
39. ALL MASONRY WORK SHALL BE INSTALLED IN ACCORDANCE WITH MASONRY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
40. PROVIDE ATTIC VENTILATION AS REQUIRED BY APPLICABLE CODES. COORDINATE LOCATION OF VENTS WITH ARCHITECT PRIOR TO CONSTRUCTION.
41. INSTALL CONTINUOUS PERFORATED DRAINAGE PIPE AT BOTTOM OF FOOTINGS ALONG FOUNDATION WALLS - DRAIN TO DAYLIGHT OR SUMP PUMP, PER GEOTECHNICAL RECCOMENDATIONS.
42. STRUCTURAL LUMBER TO BE EXPOSED TO WEATHER TO BE PRESSURE TREATED OR OF NATURAL RESISTANCE TO DECAY.
43. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING FOR A MINIMUM OF TEN FEET.
44. PROVIDE WATER RESISTANT SHEET ROCK AT ALL APPLICATIONS WHICH MAY BE SUBJECT TO THE ADVERSE EFFECTS OF MOISTURE.
45. PROVIDE VENTILATION TO BATHROOMS PER M1506.1
46. MOISTURE IS THE PREVALENT CAUSE OF MOLD GROWTH. GENERAL CONTRACTOR AND SUBCONTRACTORS ARE TO BE PROACTIVE IN THE MITIGATION OF MOISTURE DURING CONSTRUCTION. "TIGHT BUILDING" CONSTRUCTION IS ONE OF THE IMPLICATED CAUSES OF MOLD. ALL ROOFS AND OTHER UNCONDITIONED SPACES ARE TO BE VENTILATED ADEQUATELY. IF ACCESS MOISTURE IS NOTICED DURING CONSTRUCTION, THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY. ANY MODIFICATIONS TO THE PLANS REGARDING MOISTURE CONTROL DURING CONSTRUCTION SHALL BE REVIEWED BY THE ARCHITECT.
47. HOME IS DESIGNED IN ACCORDANCE WITH THE 2018 IFC, TFPD AMENDED FIRE CODE, AND NFPA STANDARDS FOR A GROUP R-3 OCCUPANCY.
48. CONTRACTOR TO PROVIDE SMOKE DETECTORS & CARBON MONOXIDE DETECTORS IN ACCORDANCE WITH LOCAL APPLICABLE CODES. AN INTERCONNECTED MONITORED FIRE ALARM SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72, 2018 IFC, AND TFPD AMENDED CODES. MONITORED CARBON MONOXIDE DETECTION SHALL BE INSTALLED IN ACCORDANCE WITH 2018 IFC 915.2.1
49. CONTRACTOR TO PROVIDE A MONITORED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH NFPA 13D, 2018 IFC, AND TFPD AMENDED CODES.
50. CONTRACTOR TO PROVIDE A KNOX BOX AT THE MAIN ENTRANCE ON THE ADDRESS SIDE FOR EMERGENCY ACCESS.
51. PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODES TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC. VERIFY TYPE REQUIRED WITH ARCHITECT PRIOR TO INSTALLATION IF NOT NOTED ON PLANS.
52. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RADON TESTING IN THE FIELD & MUST INSTALL ALL NECESSARY EQUIPMENT TO PREVENT RADON BUILD-UP IN THE STRUCTURE. PROVIDE DESIGN-BUILD ENGINEERING AND CONSTRUCTION OF SYSTEM THAT IS IN FULL COMPLIANCE W/ IRC 2018 APPENDIX F. SYSTEM TO MAINTAIN LEVELS BELOW EPA STANDARDS FOR ALL INHABITABLE AREAS. SEAL ALL PENETRATIONS IN INTERIOR SLAB ON GRADE AND COORDINATE ALL PENETRATIONS W/ INTERIOR SLAB ON GRADE.
53. ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
54. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION, FREE OF DEBRIS AND LITTER AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THEIR WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF THEIR OPERATION.
55. THE CONTRACTOR SHALL CONFINE THEIR OPERATIONS ON THE SITE TO THE AREAS PERMITTED BY THESE DOCUMENTS AND THE PROPERTY OWNERS ASSOCIATION.
56. SOILS REPORTS PROVIDED BY WESTERN SLOPE GEOTECH, PROJECT NO. 23-1053, DATED AUGUST 15, 2023.
57. THE GENERAL CONTRACTOR & APPLICABLE SUB-CONTRACTORS SHALL FOLLOW ALL APPLICABLE RECOMMENDATIONS SPECIFIED WITHIN THE SOILS REPORT IN COORDINATION WITH STRUCTURAL DESIGN & SPECIFICATIONS.
58. A FINAL INVESTIGATION OF THE OPEN EXCAVATION BY THE SOILS ENGINEER WILL BE REQUIRED PRIOR TO THE PLACEMENT OF THE CONCRETE FOUNDATIONS.
59. ELECTRIC VEHICLE CHARGING STATIONS/OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH THE TFPD AMENDED FIRE CODE AND NFPA 70.

GENERAL NOTES 12
NO SCALE

FINISH TYPES
- NONE
1. PAINT
2. THIN (2") STONE CLADDING WITH LATH/MORTAR
3. THICK (4") STONE CLADDING WITH LATH/MORTAR
4. WOOD
5. METAL PANEL
6. BOARD FORMED CONCRETE
7. 3/4" TBD
8. ASPHALT SHINGLES
9. STANDING SEAM METAL
10.TPO

SHEATHING/SUBSTRATE TYPES
- NONE
A. GYPSUM BOARD
B. 1/2" PLYWOOD
C. 1" AIR GAP
D. ROCKWOOL INSULATION
E. 2-1/2" RIGID INSULATION
F. 3/4" PLYWOOD
G. 3/4" PLYWOOD AND GYPCRETE

FINISH & SHEATHING/SUBSTRATE TYPES 9
NO SCALE



SYMBOLS 6
NO SCALE

&	And
<	Angle
@	At
℄	Centerline
	Flush
⌀	Diameter or Round
⊥	Perpendicular
#	Number
(E)	Existing
A.C.	Asphaltic Concrete
A.D.	Area Drain
APPROX	Approximate
ARCH	Architectural
ASPH	Asphalt
BLDG	Building
BOT	Bottom
B.O.C	Bottom of Curb
B.O.W.	Bottom of Wall
C.B.	Catch Basin
CIP	Cast In Place
CLR	Clear
CMU	Concrete Masonry Unit
CONC	Concrete
CONT	Continuous
CTR	Center
DET	Detail
DIA	Diameter
DIM	Dimension
DWG	Drawing
E	East
EJ	Expansion Joint
ELEC	Electrical
EQ	Equal
EQUIP	Equipment
EXT	Exterior
F.G.	Finish Grade
FF	Finish Floor
FLR	Floor
FLUOR	Flourescent
FTG	Footing
GA	Gauge
GALV	Galvanized
GND	Ground
GR	Grade
GYP	Gypsum
H.B.	Hose Bib
I.D.	Inside Diameter
INT	Interior
L.F.	Lineal Foot
L.H.	Left Hand
MATL	Material
MAX	Maximum
MECH	Mechanical
MFR	Manufacturer
MH	Manhole
MIN	Minimum
MISC	Miscellaneous
MTD	Mounted
N	North
N/A	Not Applicable
N.I.C.	Not in Contract
NO	Number
NOM	Nominal
N.S.	No Scale
N.T.S.	Not to Scale
O/	Over
OA	Overall
O.C.	On Center
O.D.	Outside Diameter
O.F.D.	Overflow Drain
O.H.	Overall Height
P.D.	Planter Drain
P.L.	Property Line
PLMG	Plumbing
POB	Point of Beginning
RAD	Radius
R.D.	Roof Drain
REF	Reference
REQ	Required
REV	Revised
R.H.	Right Hand
RWD	Redwood
S	South
SCHED	Schedule
SECT	Section
SHT	Sheet
SIM	Similar
SPEC	Specification
SQ	Square
S.S.	Stainless
STD	Standard
STL	Steel
SYM	Symmetrical
T.O.	Top of
T.O.C.	Top of Curb
T.O.D.	Top of Drain
T.O.P.	Top of Pavement
T.O.S.	Top of Slab
T.O.W.	Top of Wall
TBD	To Be Determined
TYP	Typical
UNF	Unfinished
U.N.O.	Unless Noted Otherwise
VERT	Vertical
V.I.F.	Verify in Field
W	West
W/	With
W/O	Without
WD	Wood
WP	Waterproof
WPM	Waterproof Membrane
WT	Weight

ABBREVIATIONS 3
NO SCALE

sprout
ARCHITECTURE • ENGINEERING • CONSTRUCTION MANAGEMENT
628 OAK STREET
STEAMBOAT SPRINGS, CO 80487
SCOTT@SPROUTAEC.COM
970.759.3745

STONEGATE RESIDENCE
LOT 166AR2-1, STONEGATE DRIVE
MOUNTAIN VILLAGE, CO 81435

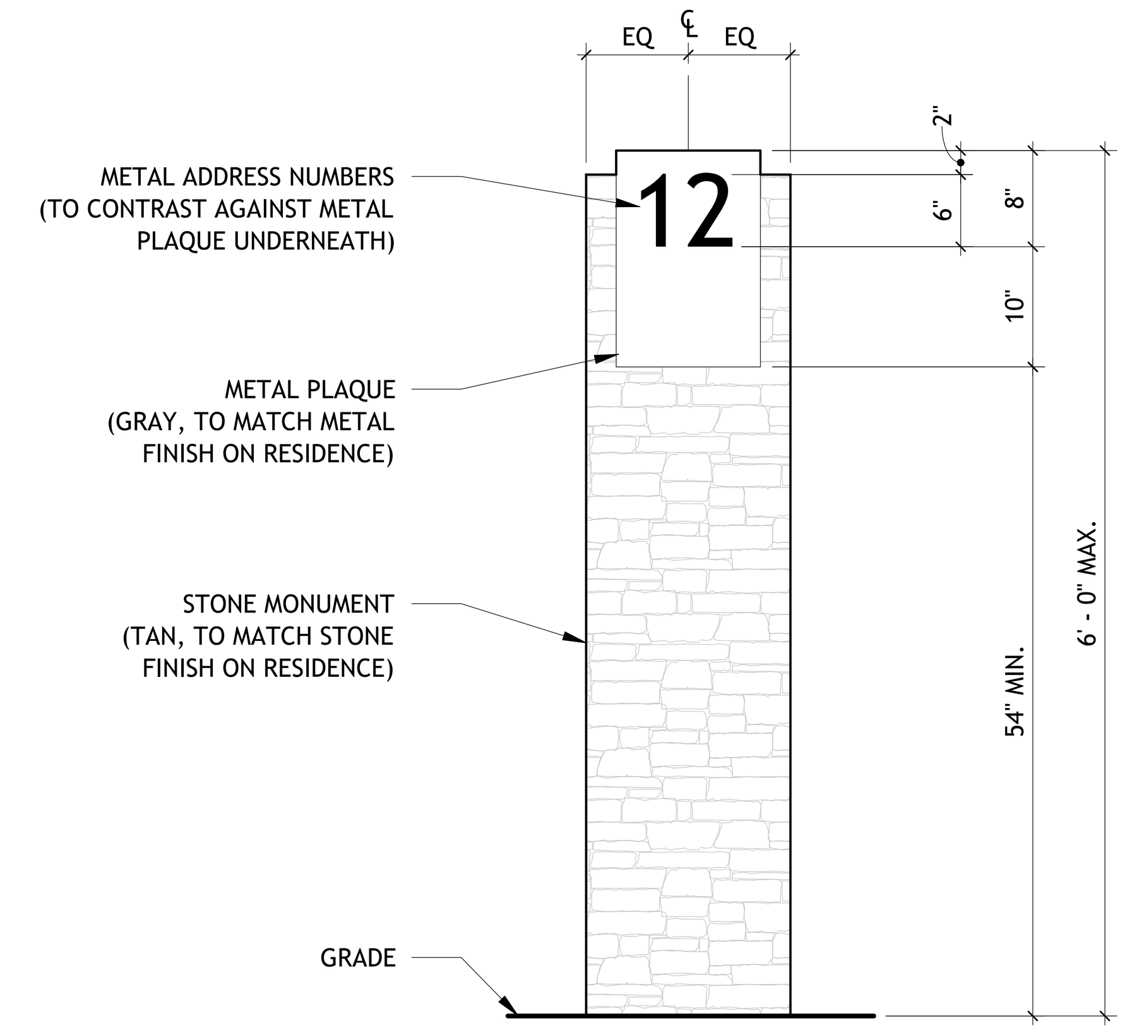
COLORADO LICENSED ARCHITECT

ABBREVIATIONS AND SYMBOLS

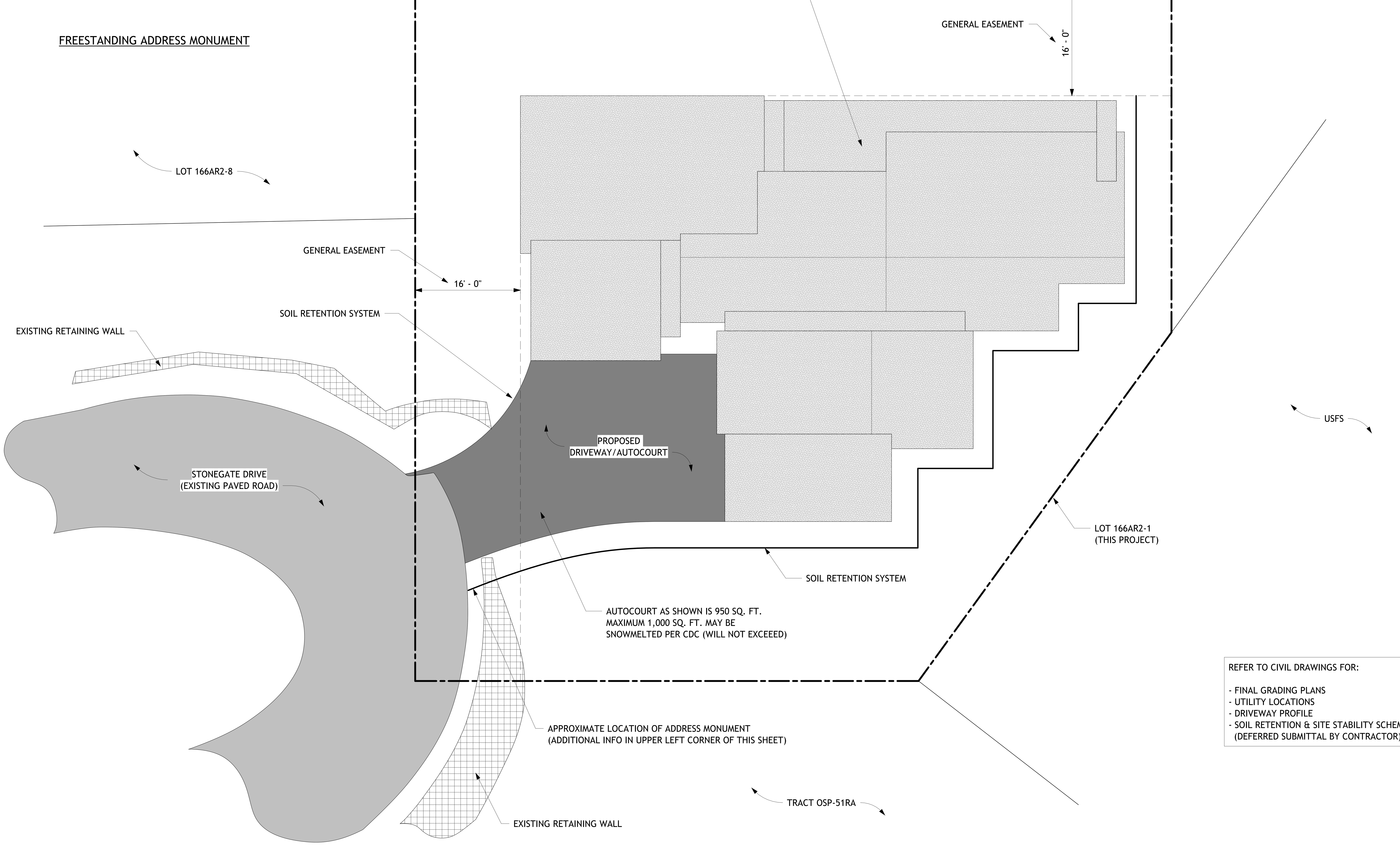
NOT FOR CONSTRUCTION

5.15.2024 DRB - FAR

A001



FREESTANDING ADDRESS MONUMENT



REFER TO CIVIL DRAWINGS FOR:

- FINAL GRADING PLANS
- UTILITY LOCATIONS
- DRIVEWAY PROFILE
- SOIL RETENTION & SITE STABILITY SCHEMATICS (DEFERRED SUBMITTAL BY CONTRACTOR)

ARCHITECTURAL SITE PLAN 3
1/8" = 1'-0"

sprout
ARCHITECTURE • ENGINEERING • CONSTRUCTION MANAGEMENT

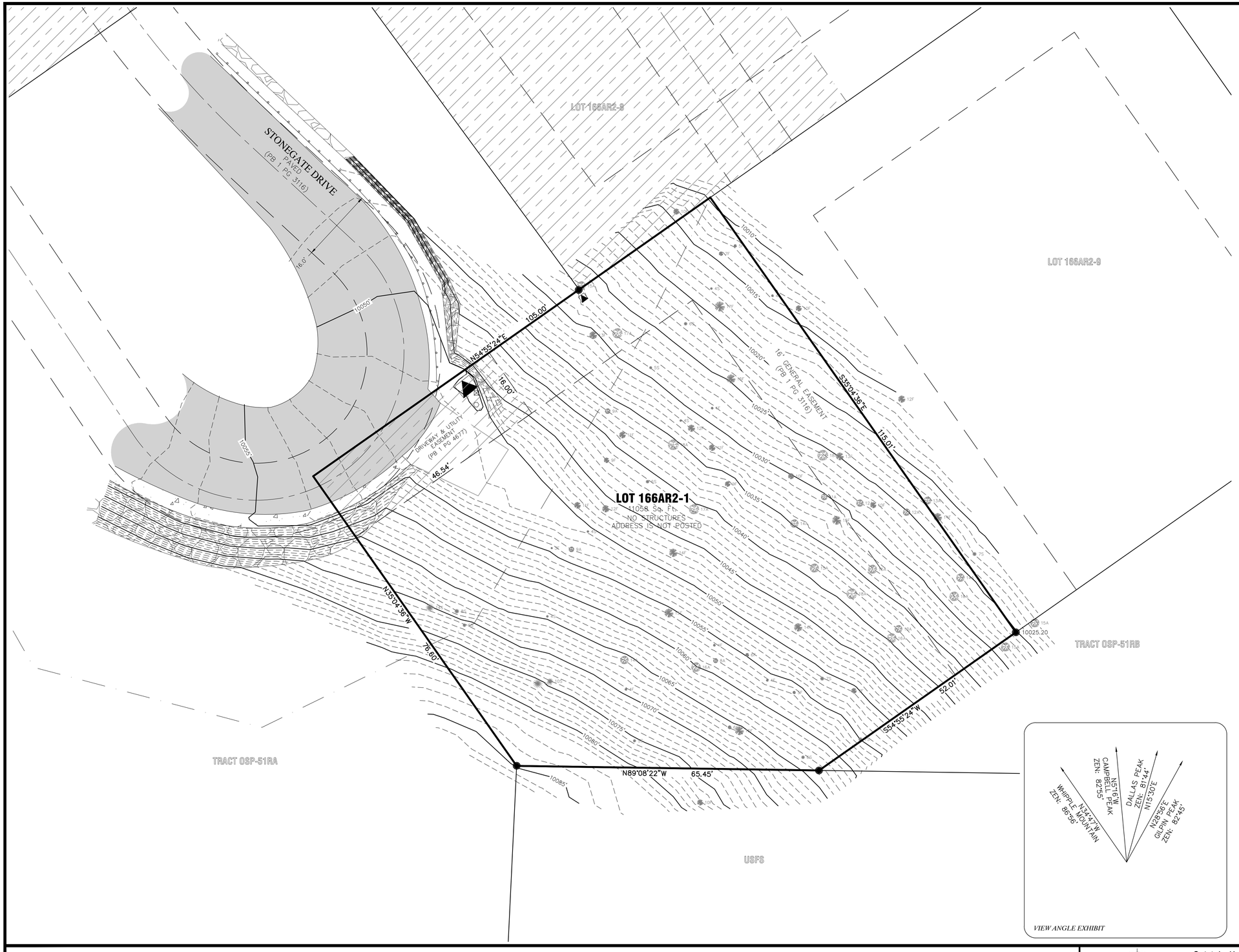
STONEGATE RESIDENCE
LOT 166AR2-1, STONEGATE DRIVE
MOUNTAIN VILLAGE, CO 81435

ARCHITECTURAL SITE PLAN

NOT FOR CONSTRUCTION

5.15.2024 DRB - FAR

A010



N

0 10' 20'

SCALE: 1" = 10'
1 Foot Contour Interval

LEGEND

- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 28652
- ELECTRIC TRANSFORMER
- TELEPHONE PEDESTAL
- CABLE PEDESTAL
- GUARD RAIL
- # F — FIR TREE, # INDICATES CALIPER
- # S — SPRUCE TREE, # INDICATES CALIPER
- # A — ASPEN TREE, # INDICATES CALIPER
- RETAINING WALL
- *COMMON DRIVEWAY AND UTILITY EASEMENT (MODIFIED PLAT BOOK 1 PAGE 4677)*

NOTICE:

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

NOTES:

1. According to Flood Insurance Rate Map: 08113C0287 D, map revised September 30, 1992, this parcel lies within Zone X (Areas determined to be outside the 500-year flood plain).
2. Easement research from Land Title Guarantee Company, Commitment No. TLR86012115, Effective Date 09/16/2021 at 05:00 PM.
3. Vertical datum is based on the found Southeast corner of Lot 166AR2-1, an Aluminum Cap Rebar, LS 28652, having an elevation of 10025.20 feet NAVD88, as depicted. Elevations were determined by a GPS Static observation, reduced by NGS Opus website.
4. Fieldwork was performed November 8, 2023.
5. Lineal Units U.S. Survey Feet

PROPERTY DESCRIPTION:

Lot 166AR2-1, Telluride Mountain Village, according to the Replat of Lot 166-AR, OSP-51 AND OS-166 to Lots 166AR2-1 Thru 166AR2-15, Parcel A, OSP-51A, OSP-51RB, and OS-166R recorded April 4, 2003 in Plat Book 1 at page 3116,

County of San Miguel,
State of Colorado

SURVEYOR'S CERTIFICATE:

I, Christopher R. Kennedy, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Lot 166AR2-1, Telluride Mountain Village was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.

Christopher R. Kennedy, P.L.S. 36577
11/09/2023

COLORADO REGISTERED
CHRISTOPHER R. KENNEDY
36577
PROFESSIONAL LAND SURVEYOR
11/09/23

VIEW ANGLE EXHIBIT

TOPOGRAPHIC SURVEY
LOT 166AR2-1, TELLURIDE MOUNTAIN VILLAGE

SAN JUAN SURVEYING
*SURVEYING * PLANNING*
102 SOCIETY DRIVE TELLURIDE, CO. 81435
(970) 728 - 1128 (970) 728 - 9201 fax
office@sanjuansurveying.net

DATE:	11/09/2023
JOB:	02005
DRAWN BY:	AHM
CHECKED BY:	CRK
REVISION DATES:	
SHEET:	1 OF 1

GENERAL CIVIL ENGINEERING NOTES:

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NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

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7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

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Uncompahgre Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2024-01-20

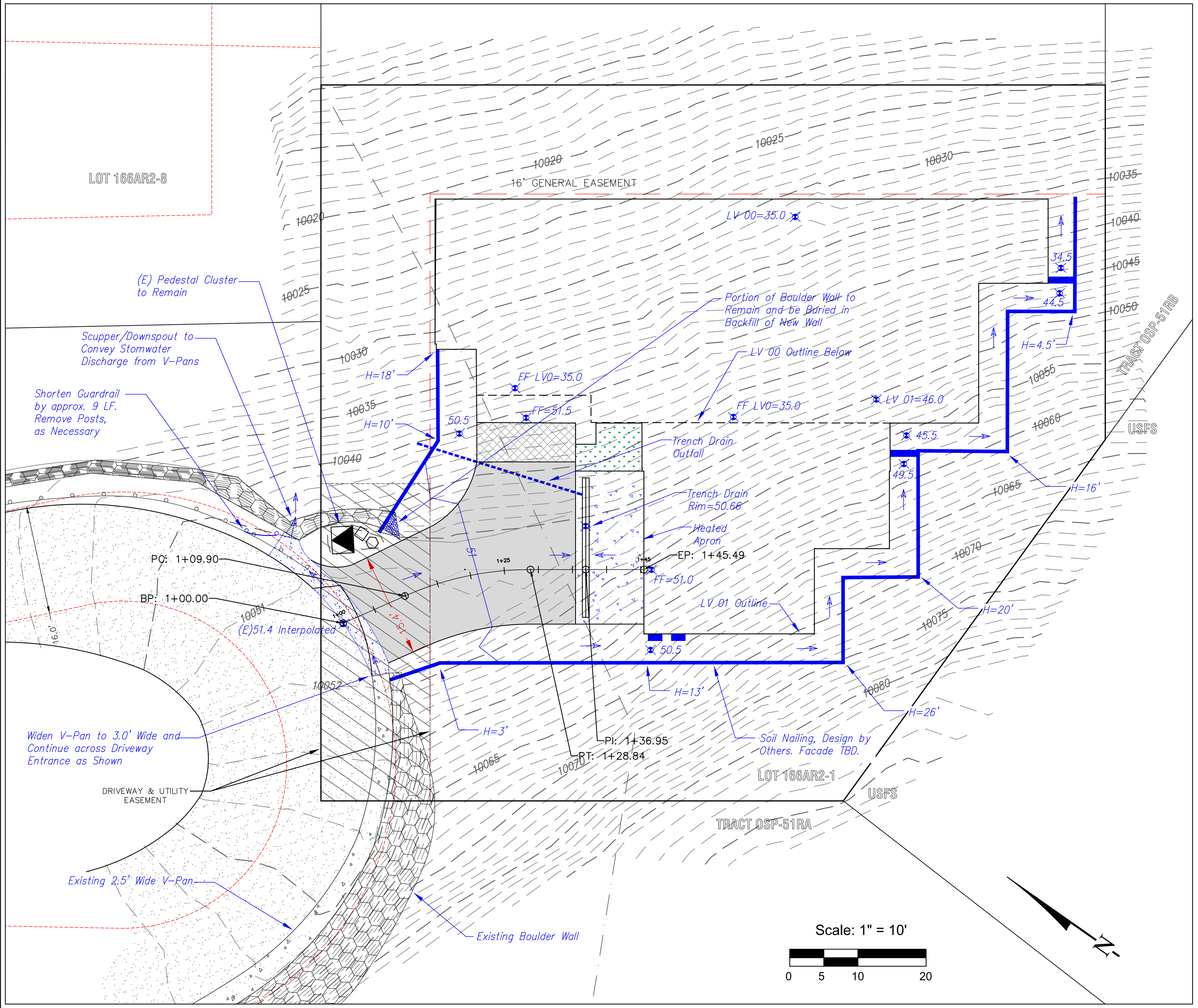
Lot 166AR2-1
Stonegate
Mtn. Village, CO

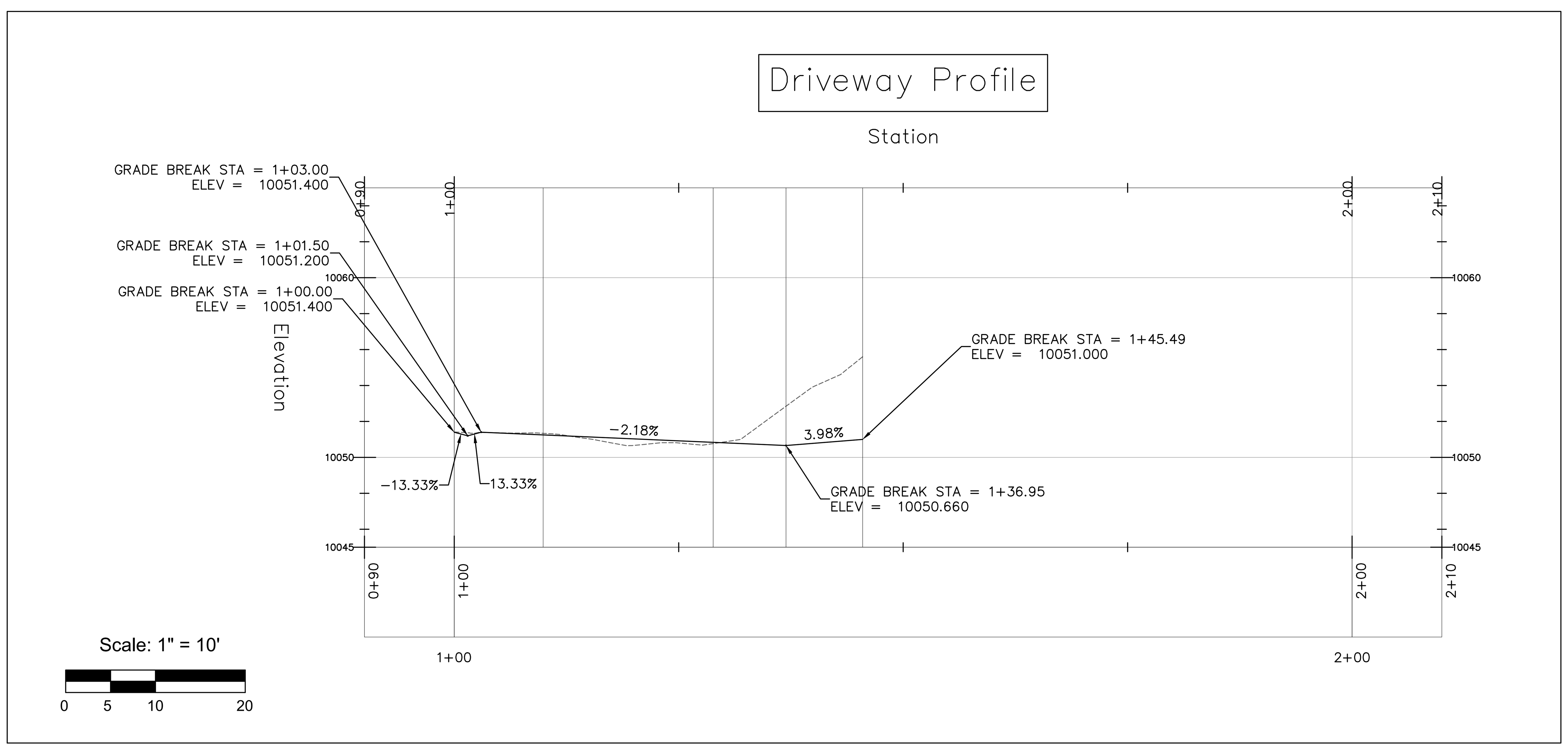
COLORADO LICENSED
29645
01-20-24
PROFESSIONAL ENGINEER
NOT FOR CONSTRUCTION

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1





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Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2024-01-20

Lot 166AR2-1
Stonegate
Mtn. Village, CO

COLORADO LICENSED PROFESSIONAL ENGINEER 01-20-24
NOT FOR CONSTRUCTION

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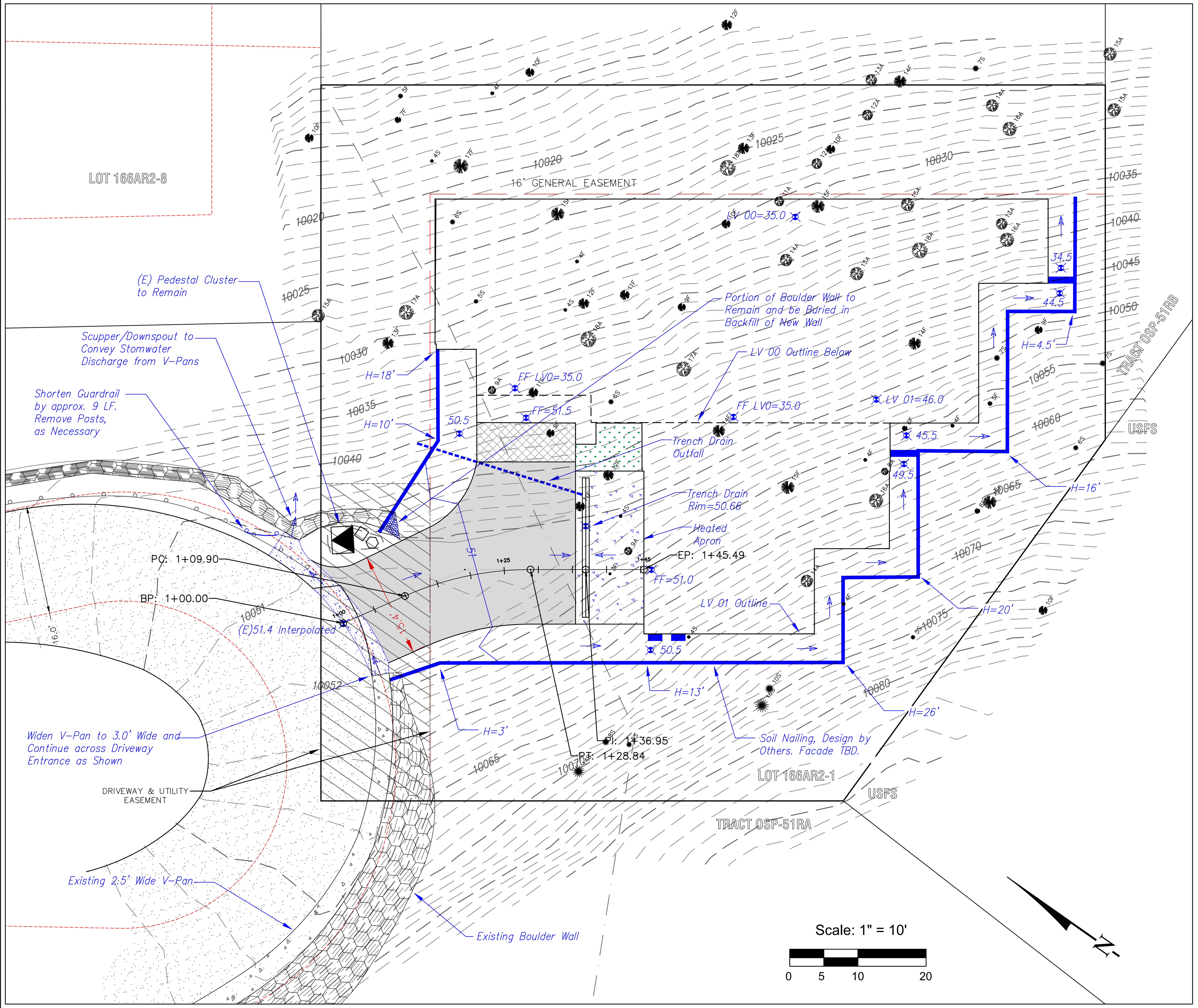
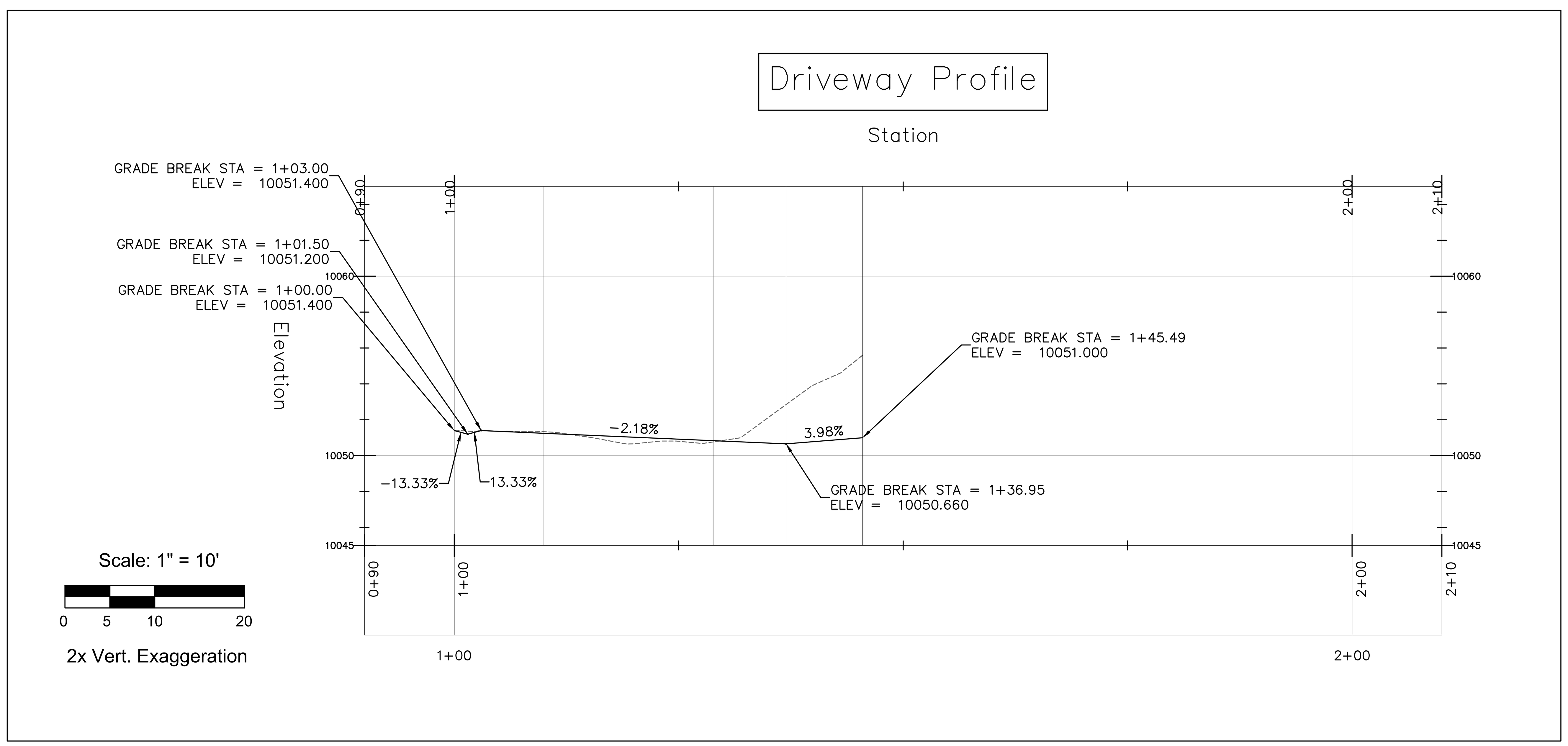
Grading
and
Drainage

No Trees
Displayed

C2.1





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Telluride, CO 81435
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SUBMISSIONS:

SUBMITTAL ----

Lot 166AR2-1
Stonegate
Mtn. Village, CO

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Grading and Drainage

With Trees Displayed

C2.2

NOTE:

No Utility Mains were Located.

The Water Main is approximate, although verified that it is on the other side of the Road. It is expected that a new Water Tap will be Required. It is unknown if there is an existing Curb Stop.

No Sewer Service was located. The 2 closest Mains are shown. The Engineer will Coordinate with Public Works to Determine the best direction for the Service Line. 2 possible Alignments are shown.

Per Town Utility Map, this is the approx. End of the Sewer Main on the Lower Gravel Access Road

Per Town Utility Map, this is the approx. End of the Sewer Main on the Lower Gravel Access Road

Per Town Utility Map, this is the approx. End of the Sewer Main on Stonegate Drive

Tap New Water Service off of Existing Main

Existing Curb Stop

STONEGATE DRIVE

Alternate Gravity Sewer Service if No Service Line Exists and Service on East is Not Allowed.

Per Town Utility Map, this is the approx. Location of the Water Main

Meter Locations must be Coordinated and Approved with the Utility Provider

Scale: 1" = 20'

0 10 20 40

Uncompahgre Engineering, LLC

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Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2024-01-20

Lot 166AR2-1
Stonegate
Mtn. Village, CO

COLORADO LICENSED
CHRISTOPHER J. HAWKINS
29645
PROFESSIONAL ENGINEER
01-20-24
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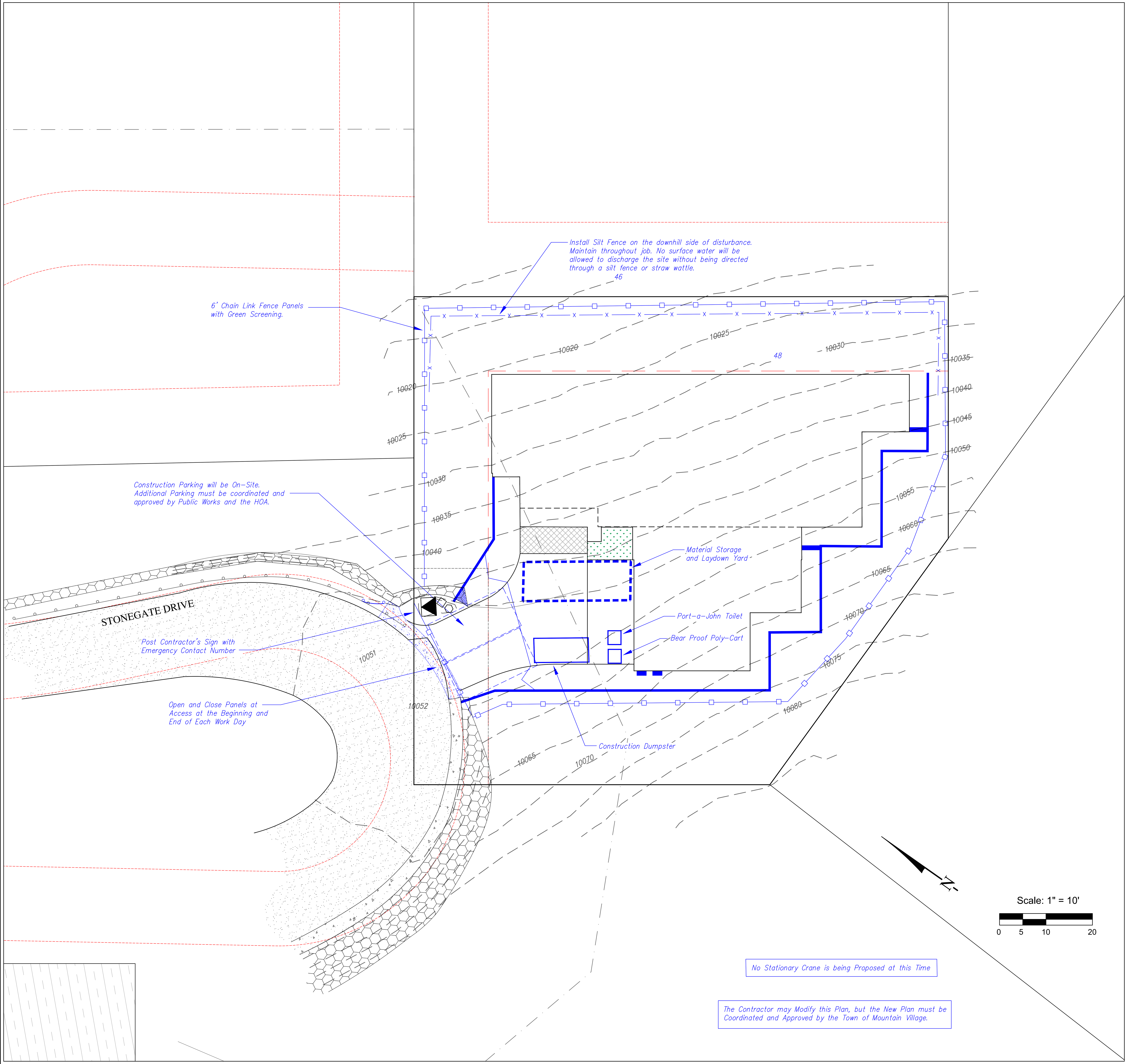
Utilities

C3



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Mtn. Village, CO

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Construction Mitigation

C4

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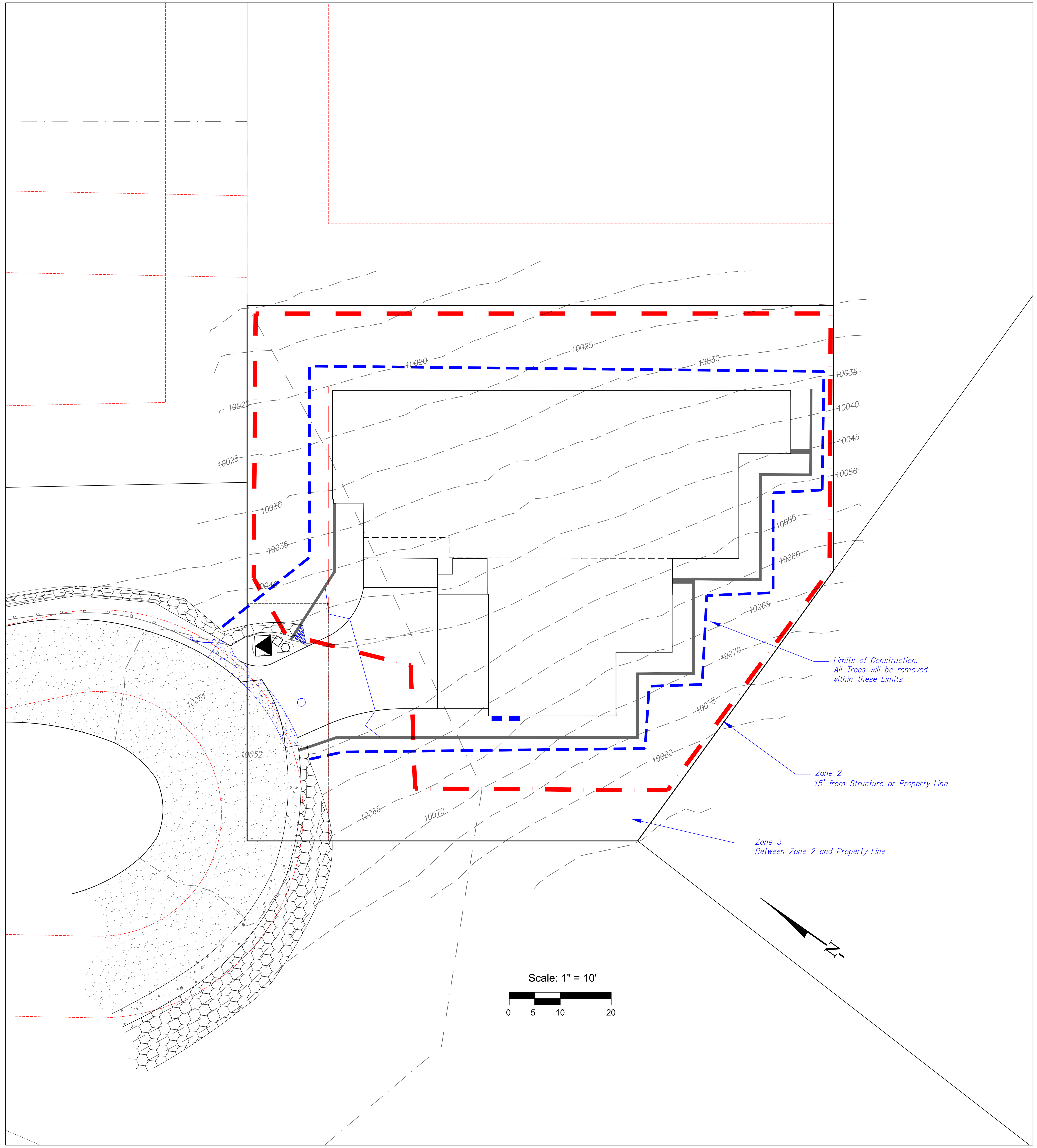

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SUBMISSIONS:

SUBMITTAL 2024-01-20

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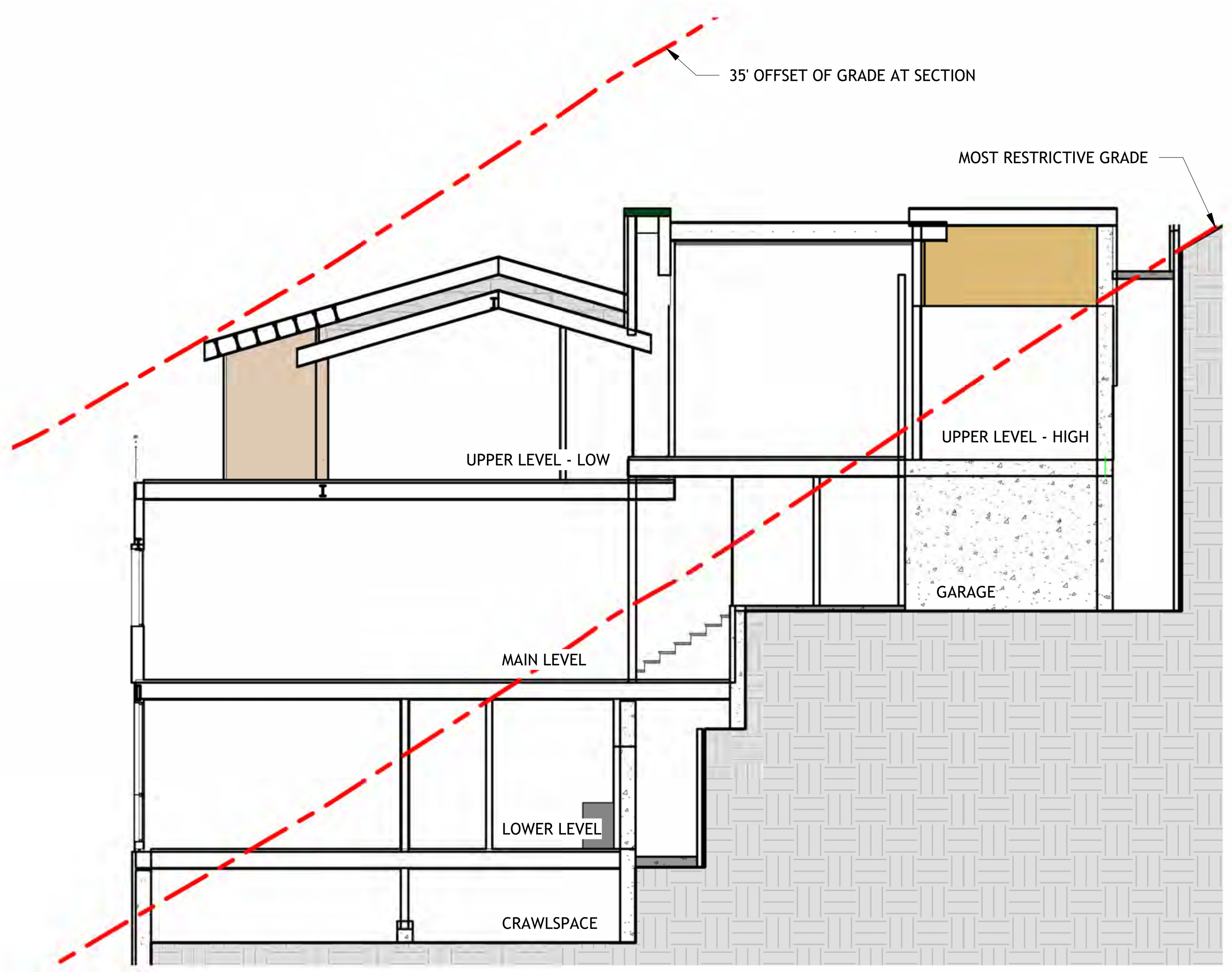
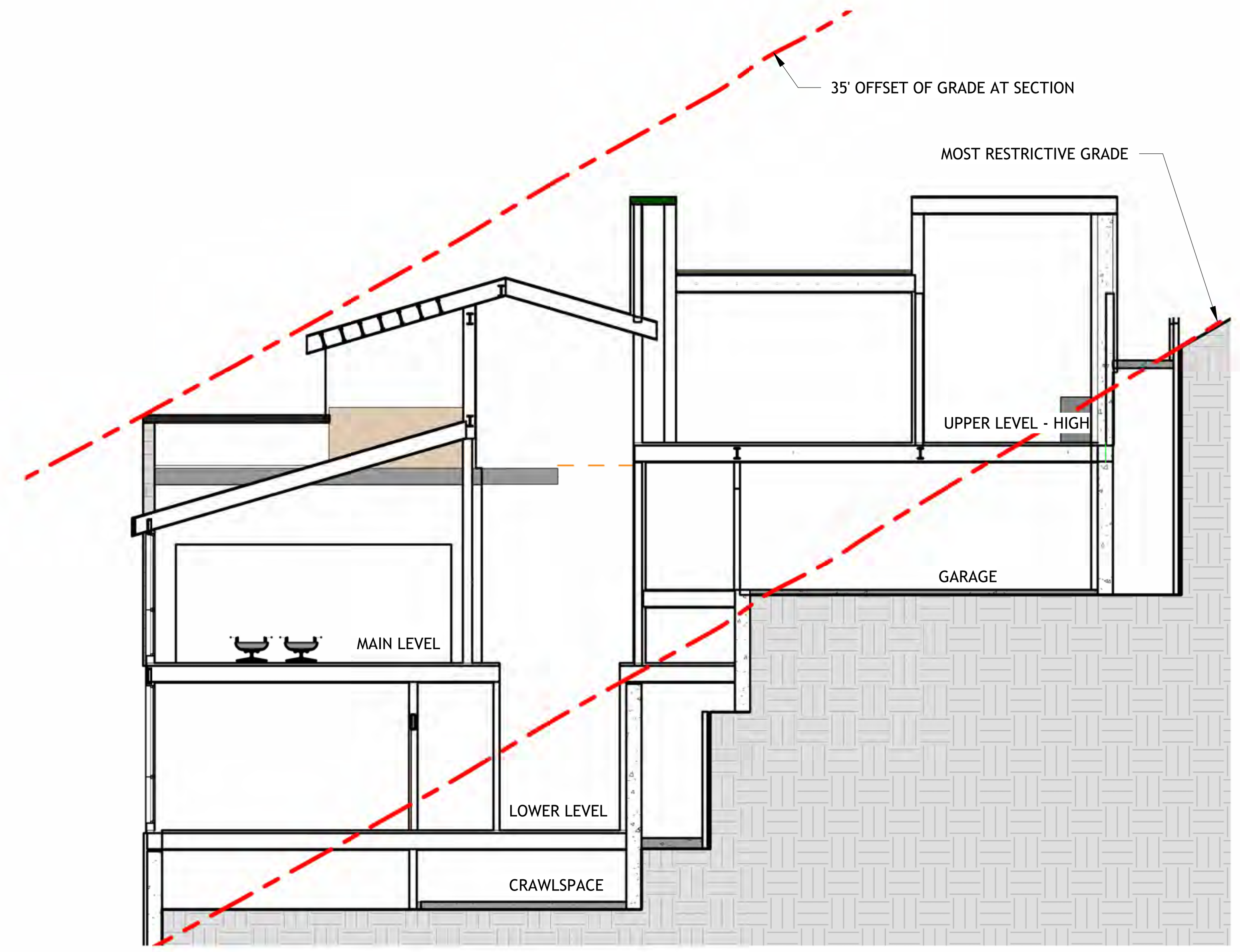
Fire Mitigation

C5



PARALLEL PLANE ANALYSIS - SECTION 4 8
1/8" = 1'-0"



PARALLEL PLANE ANALYSIS - SECTION 3 5
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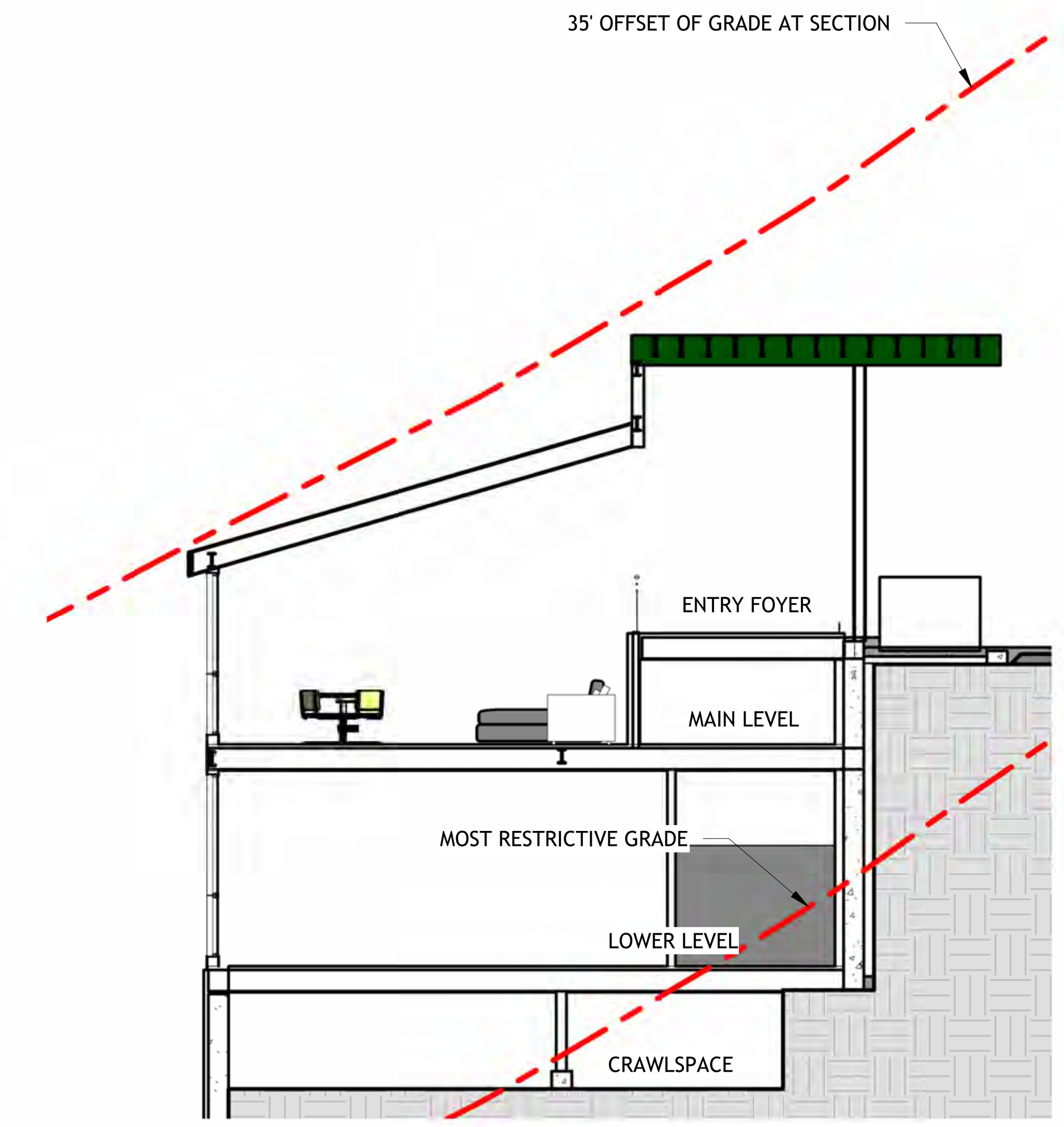
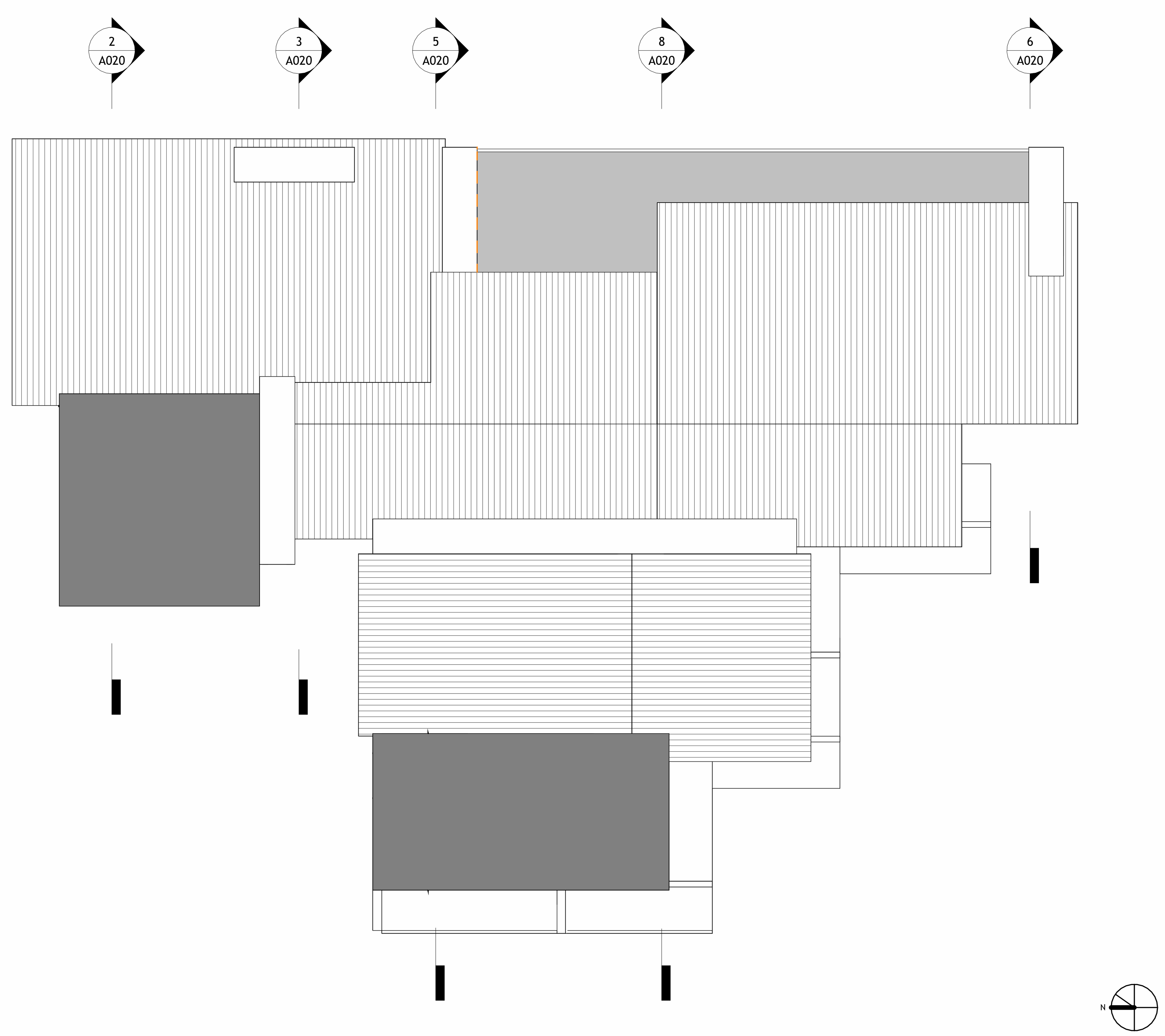
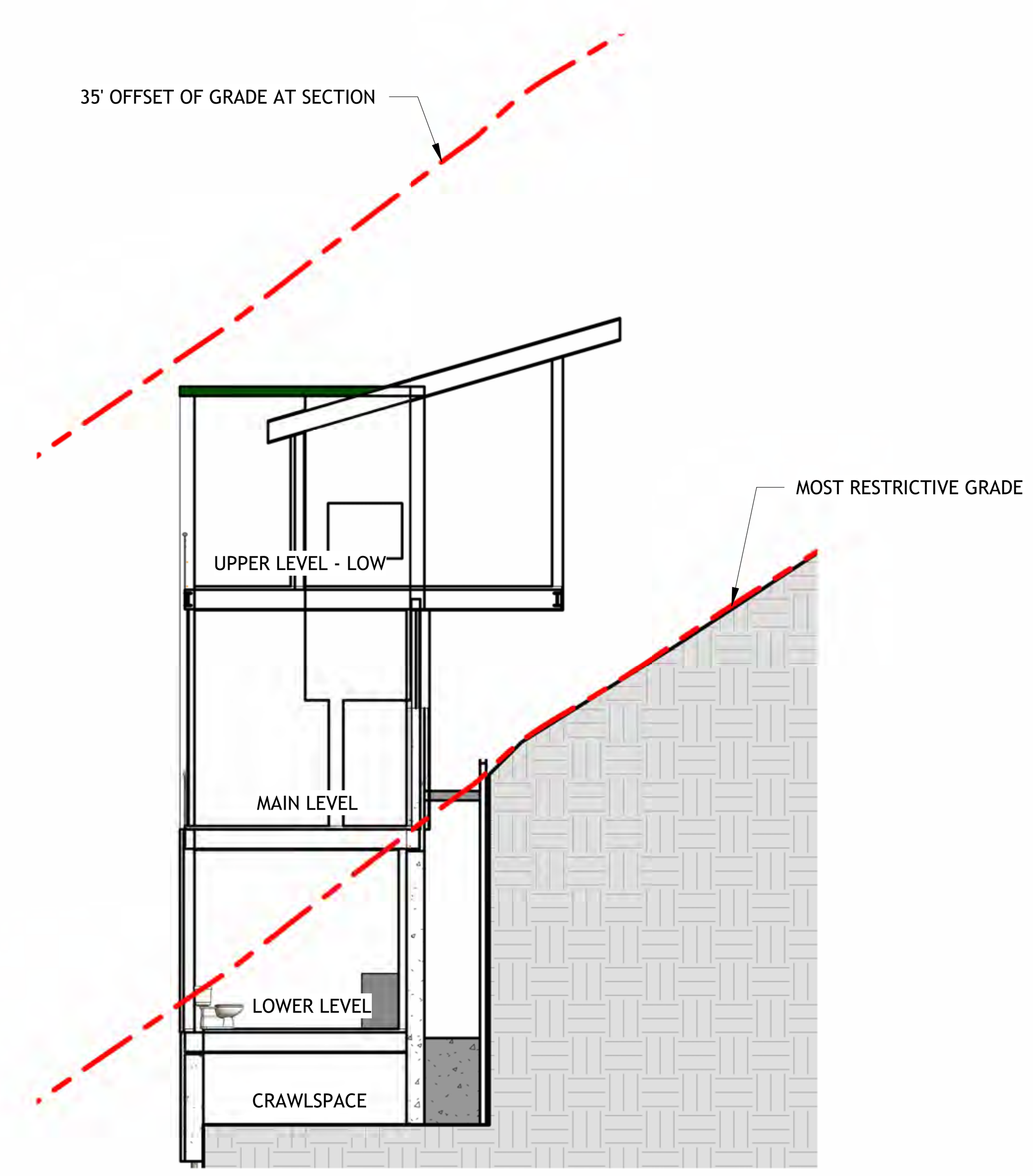


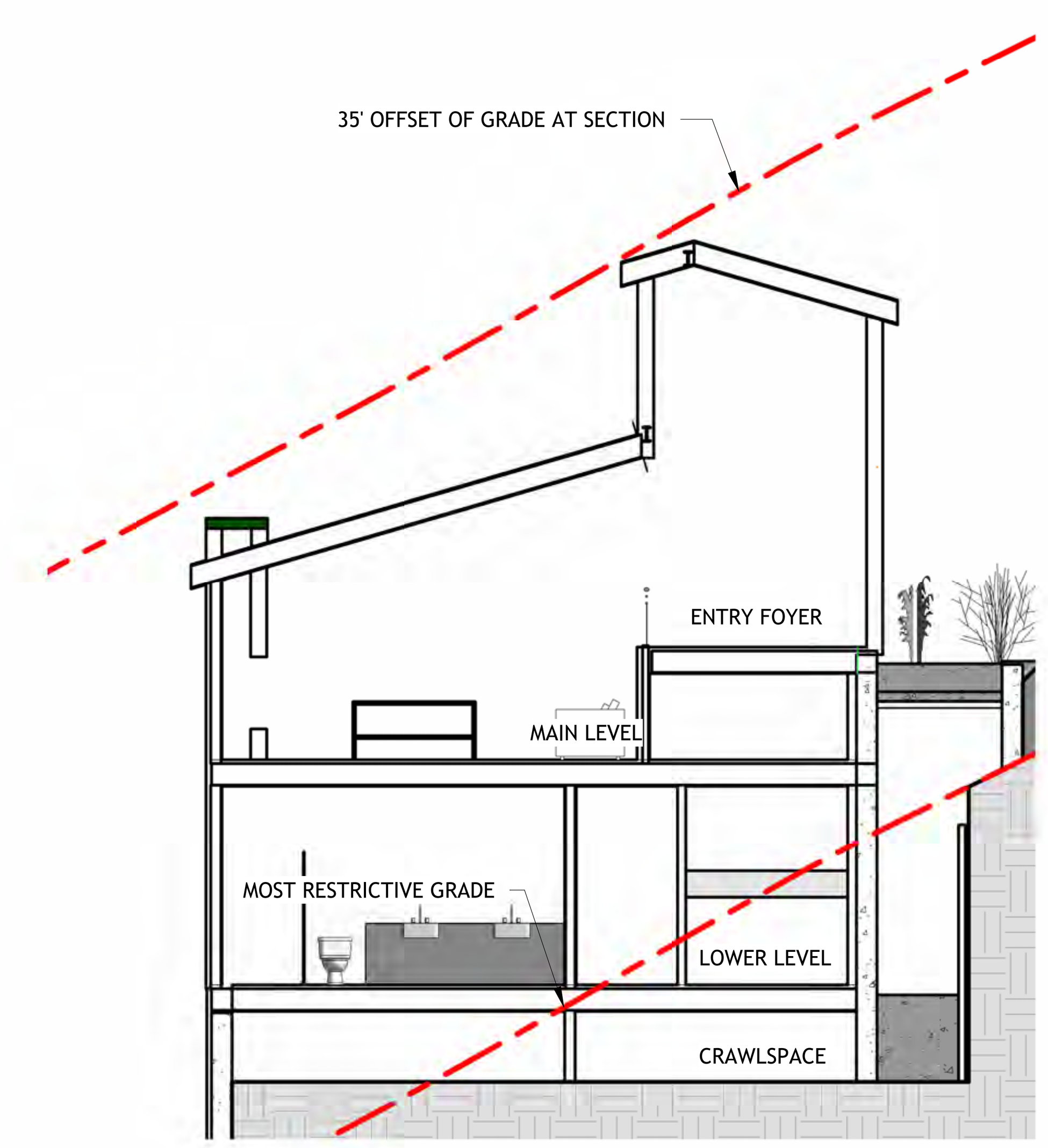
PARALLEL PLANE ANALYSIS - SECTION 1 2
1/8" = 1'-0"



PARALLEL PLANE ANALYSIS - REFERENCE PLAN 9



PARALLEL PLANE ANALYSIS - SECTION 5 6
1/8" = 1'-0"



PARALLEL PLANE ANALYSIS - SECTION 2 3
1/8" = 1'-0"

sprout
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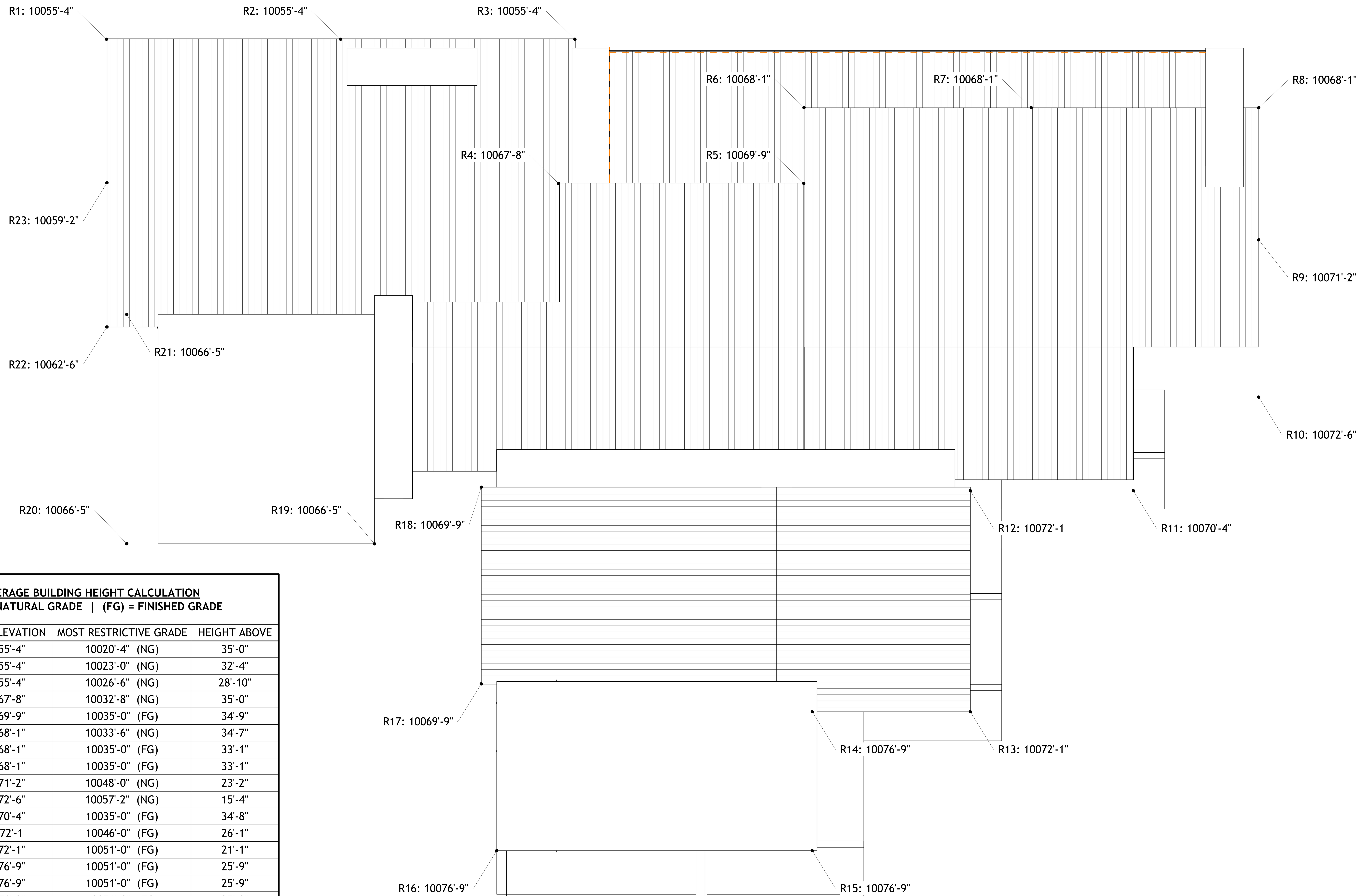
COLORADO LICENSED ARCHITECT

PARALLEL PLANE HEIGHT ANALYSIS

NOT FOR CONSTRUCTION

5.15.2024 DRB - FAR

A020



AVERAGE BUILDING HEIGHT CALCULATION
(NG) = NATURAL GRADE | (FG) = FINISHED GRADE

POINT #	ROOF ELEVATION	MOST RESTRICTIVE GRADE	HEIGHT ABOVE
R1	10055'-4"	10020'-4" (NG)	35'-0"
R2	10055'-4"	10023'-0" (NG)	32'-4"
R3	10055'-4"	10026'-6" (NG)	28'-10"
R4	10067'-8"	10032'-8" (NG)	35'-0"
R5	10069'-9"	10035'-0" (FG)	34'-9"
R6	10068'-1"	10033'-6" (NG)	34'-7"
R7	10068'-1"	10035'-0" (FG)	33'-1"
R8	10068'-1"	10035'-0" (FG)	33'-1"
R9	10071'-2"	10048'-0" (NG)	23'-2"
R10	10072'-6"	10057'-2" (NG)	15'-4"
R11	10070'-4"	10035'-0" (FG)	34'-8"
R12	10072'-1	10046'-0" (FG)	26'-1"
R13	10072'-1"	10051'-0" (FG)	21'-1"
R14	10076'-9"	10051'-0" (FG)	25'-9"
R15	10076'-9"	10051'-0" (FG)	25'-9"
R16	10076'-9"	10051'-0" (FG)	25'-9"
R17	10069'-9"	10051'-0" (FG)	18'-9"
R18	10069'-9"	10044'-8" (NG)	25'-1"
R19	10066'-5"	10045'-4" (NG)	21'-1"
R20	10066'-5"	10043'-6" (NG)	22'-11"
R21	10066'-5"	10031'-5" (NG)	35'-0"
R22	10062'-6"	10032'-0" (NG)	30'-6"
R23	10059'-2"	10025'-10" (NG)	23'-4"
AVERAGE HEIGHT			**27'-11"**
MAX AVERAGE ALLOWABLE HEIGHT			**30'-0"**
COMPLIANT BY			**2'-1"**

HEIGHT ANALYSIS - REFERENCE PLAN
1/4" = 1'-0" 3

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AVERAGE BUILDING HEIGHT CALCULATION

NOT FOR CONSTRUCTION

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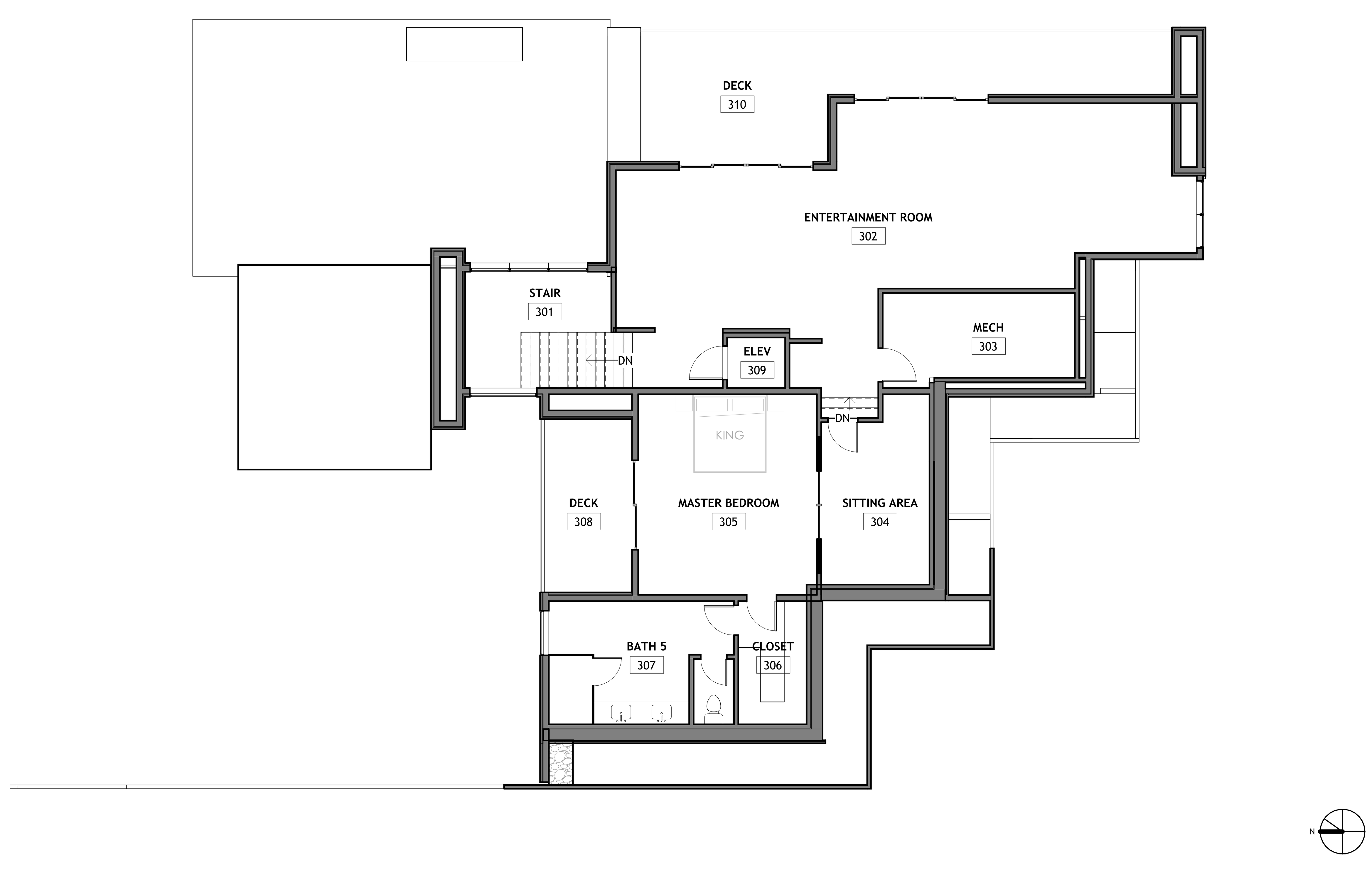
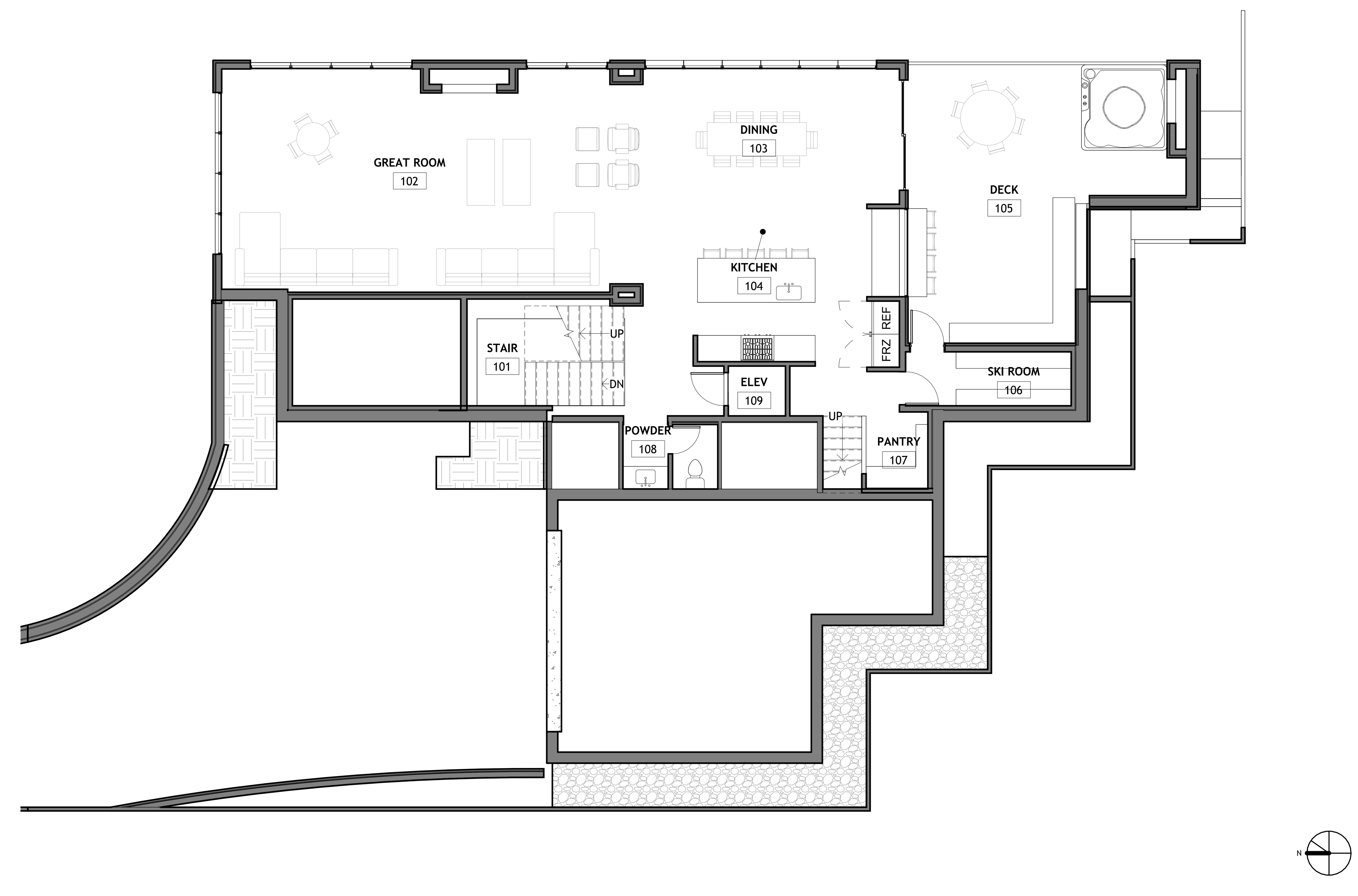
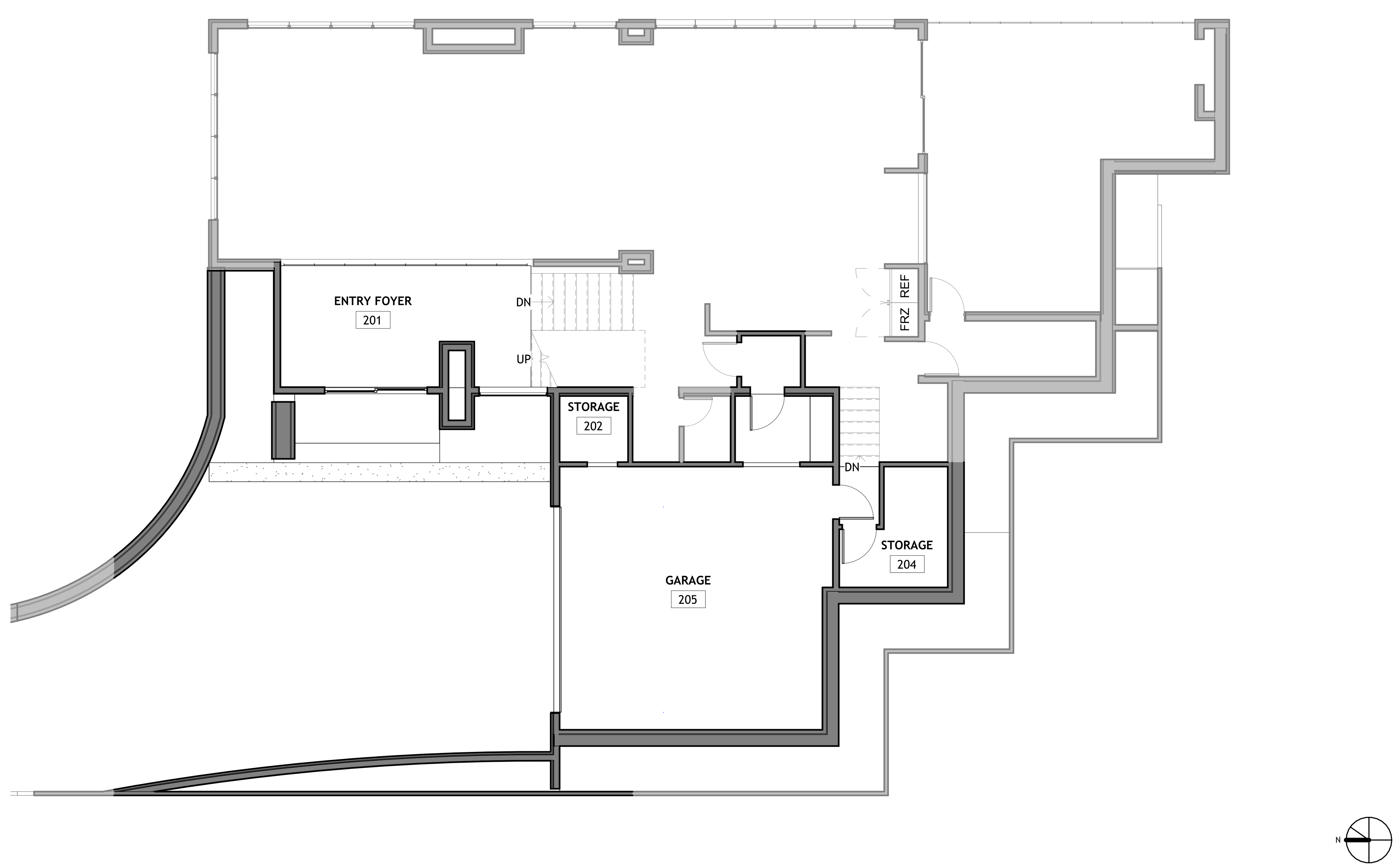
A021



UPPER LEVEL OVERALL PLAN
1/8" = 1'-0"
8



MAIN LEVEL OVERALL PLAN
1/8" = 1'-0"
2



ENTRY & GARAGE LEVEL OVERALL PLAN
1/8" = 1'-0"
9

LOWER LEVEL OVERALL PLAN
1/8" = 1'-0"
3

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OVERALL PLANS

NOT FOR CONSTRUCTION

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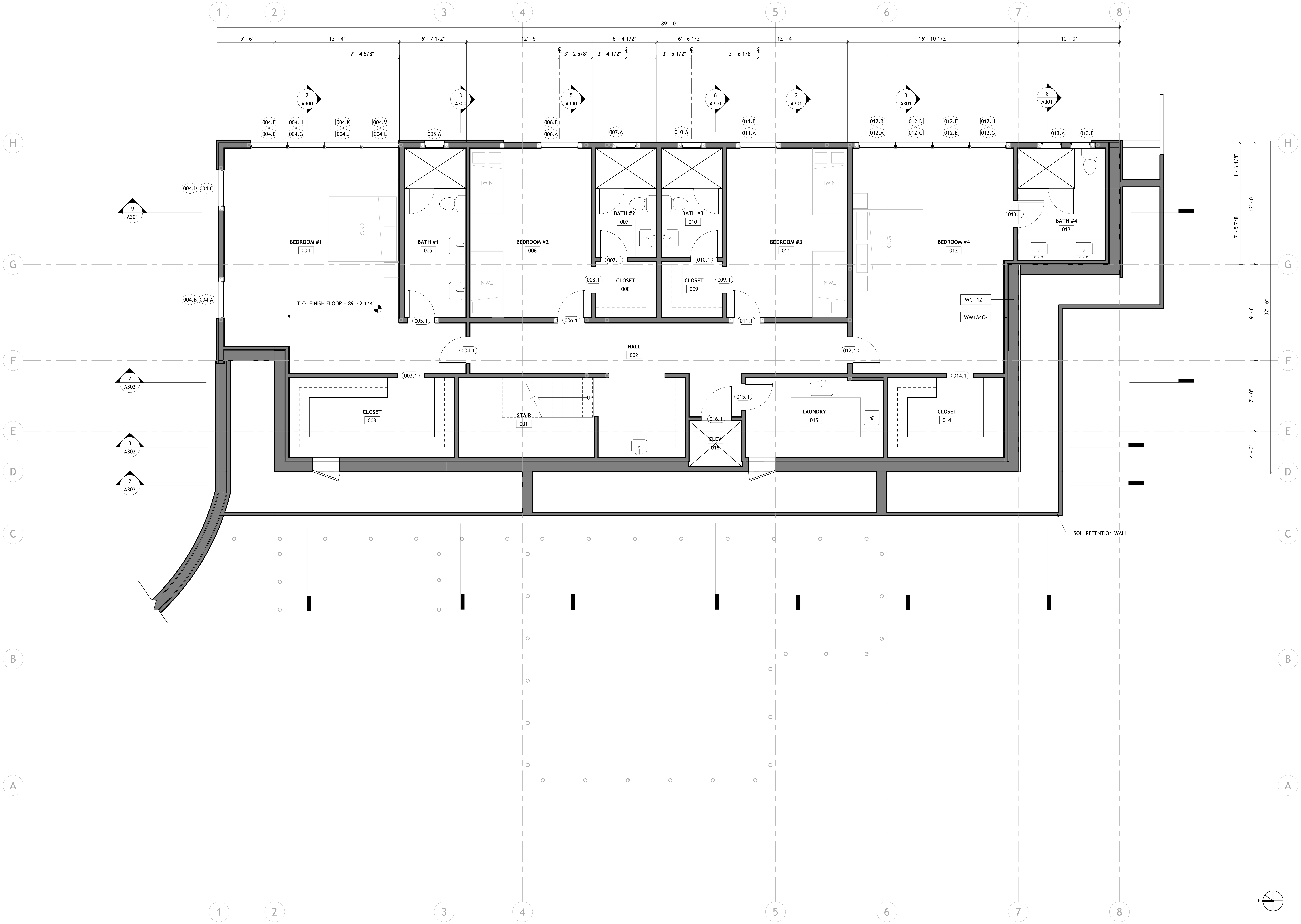
A100



LOWER LEVEL FLOOR PLAN
1/4" = 1'-0"
3

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LOWER LEVEL FLOOR PLAN

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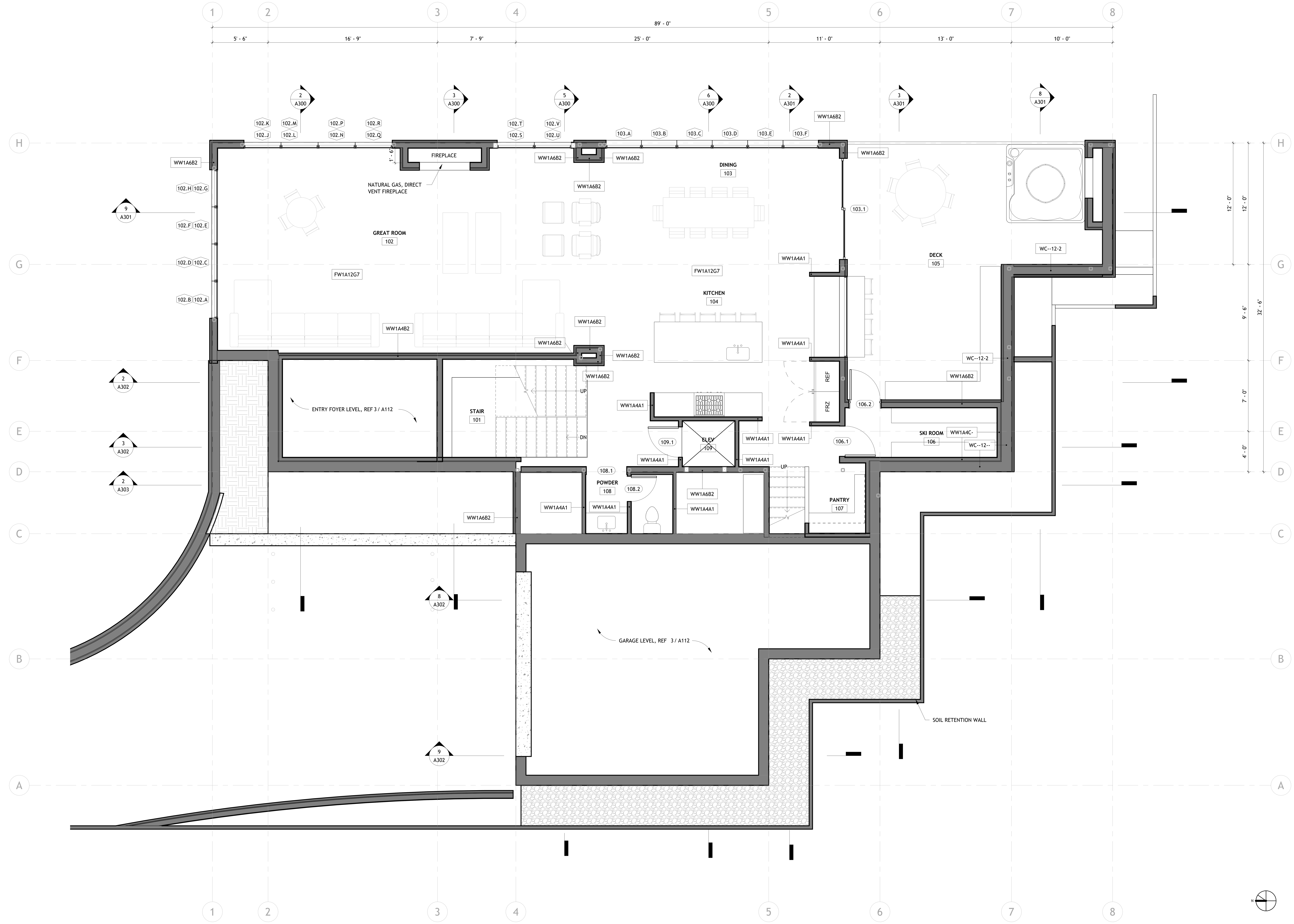
A110



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MAIN LEVEL FLOOR PLAN

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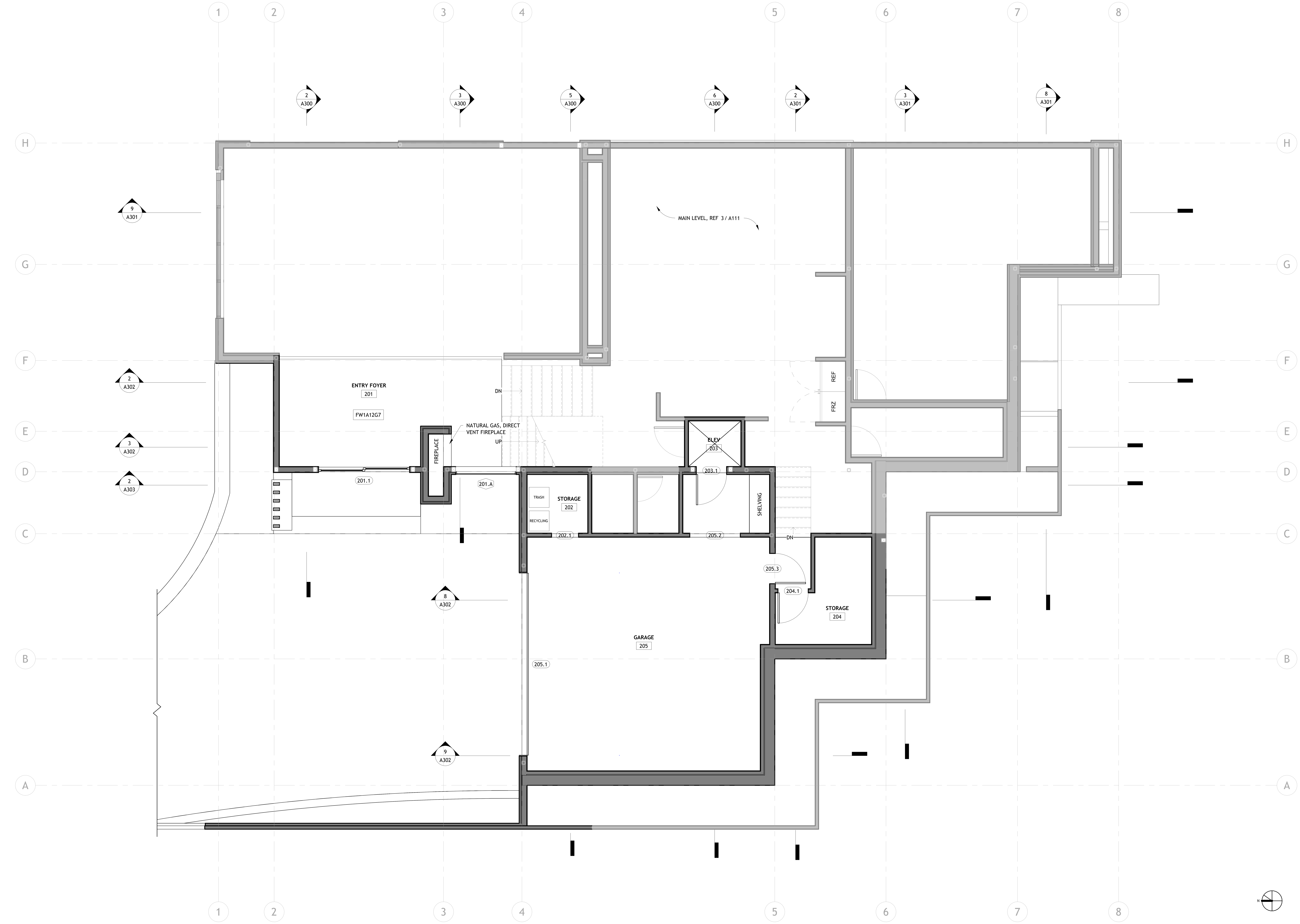
MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"
3

A111



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ENTRY & GARAGE LEVEL FLOOR PLAN

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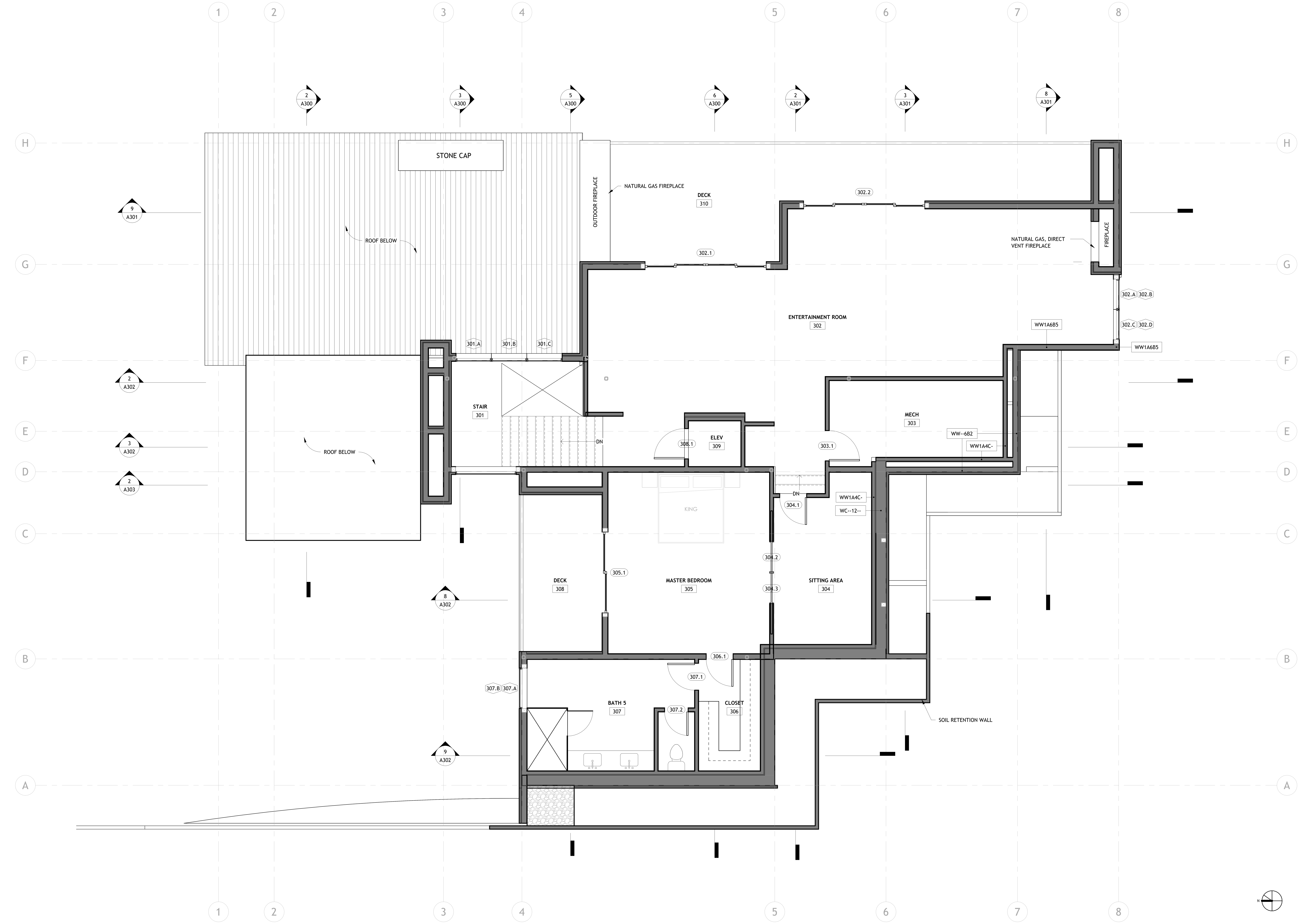
ENTRY & GARAGE LEVEL FLOOR PLAN 3
1/4" = 1'-0"

A112



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UPPER LEVEL FLOOR PLAN

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UPPER LEVEL FLOOR PLAN
1/4" = 1'-0"
3

A113

ROOF PLAN
1/4" = 1'-0"
3

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ROOF PLAN

NOT FOR CONSTRUCTION

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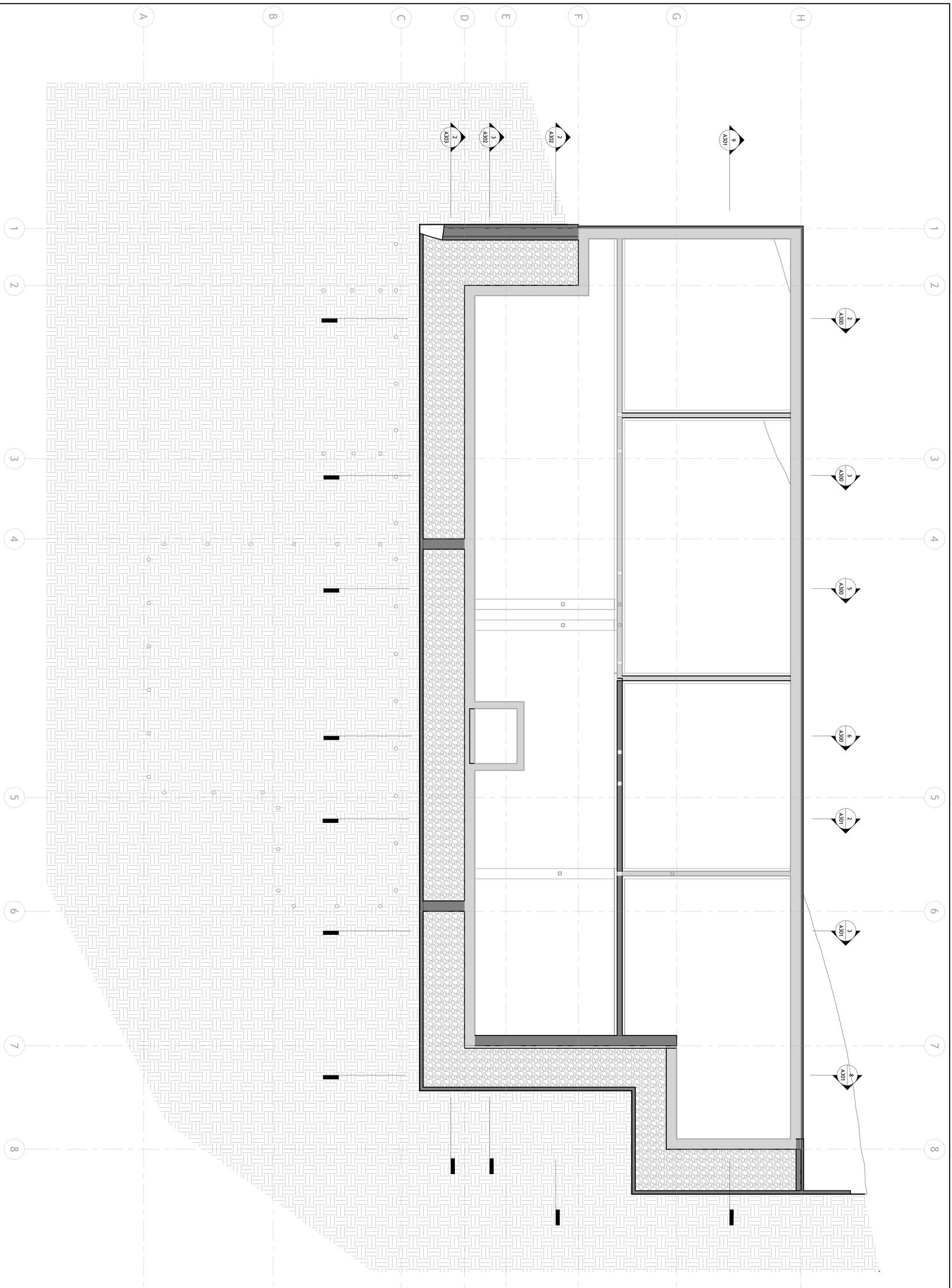
A114



CRAWL SPACE PLAN
1/4" = 1'-0"
3

A120

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CRAWL SPACE PLAN

NOT FOR CONSTRUCTION

COLORADO LICENSED ARCHITECT

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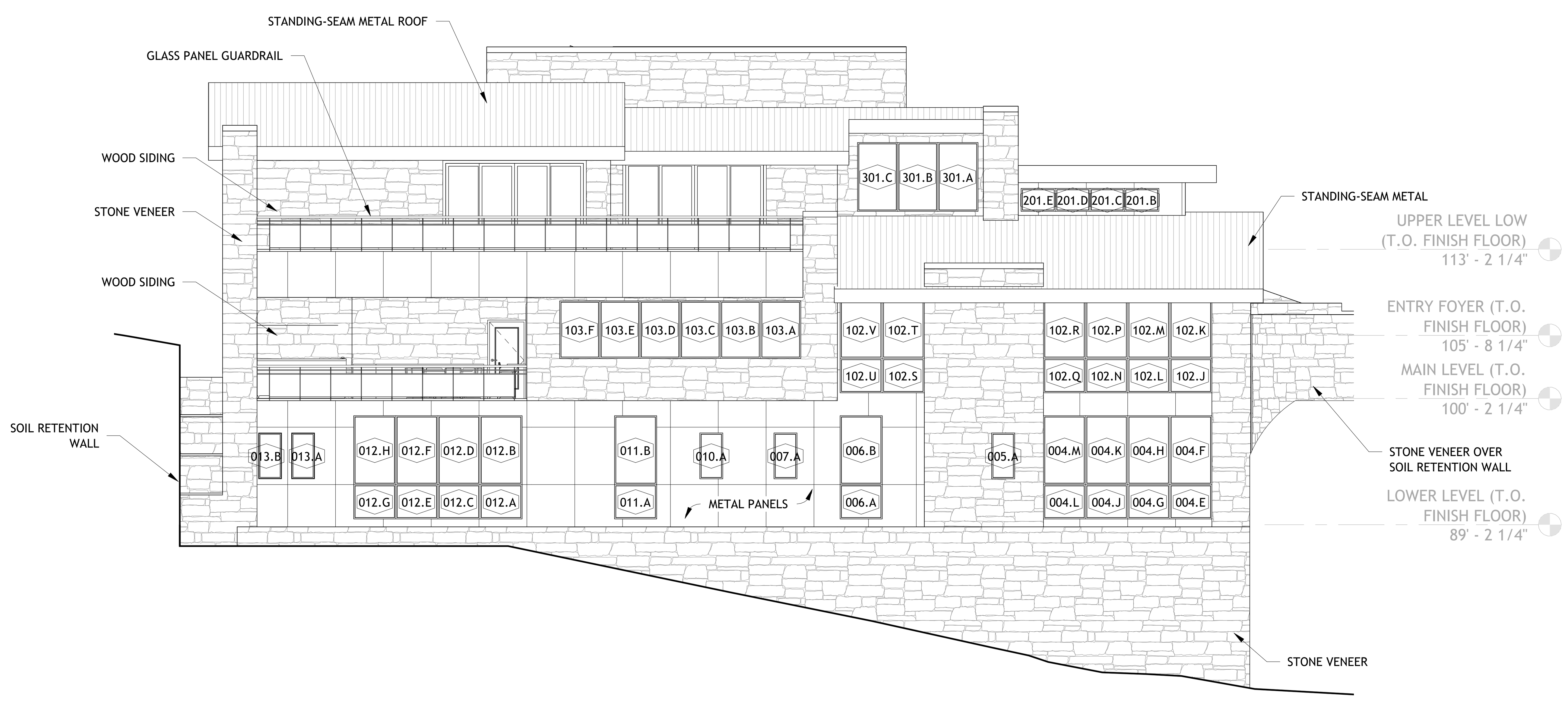
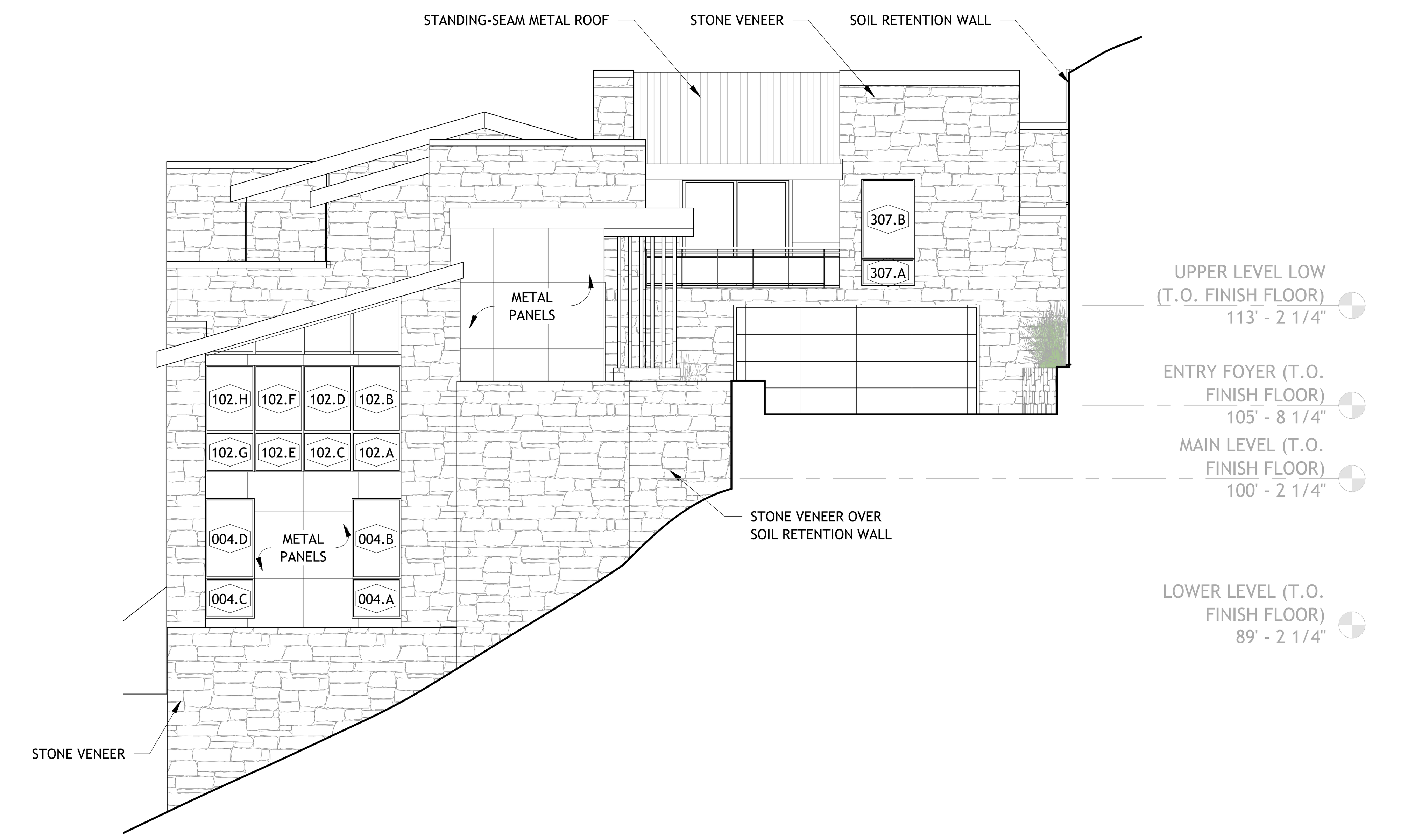
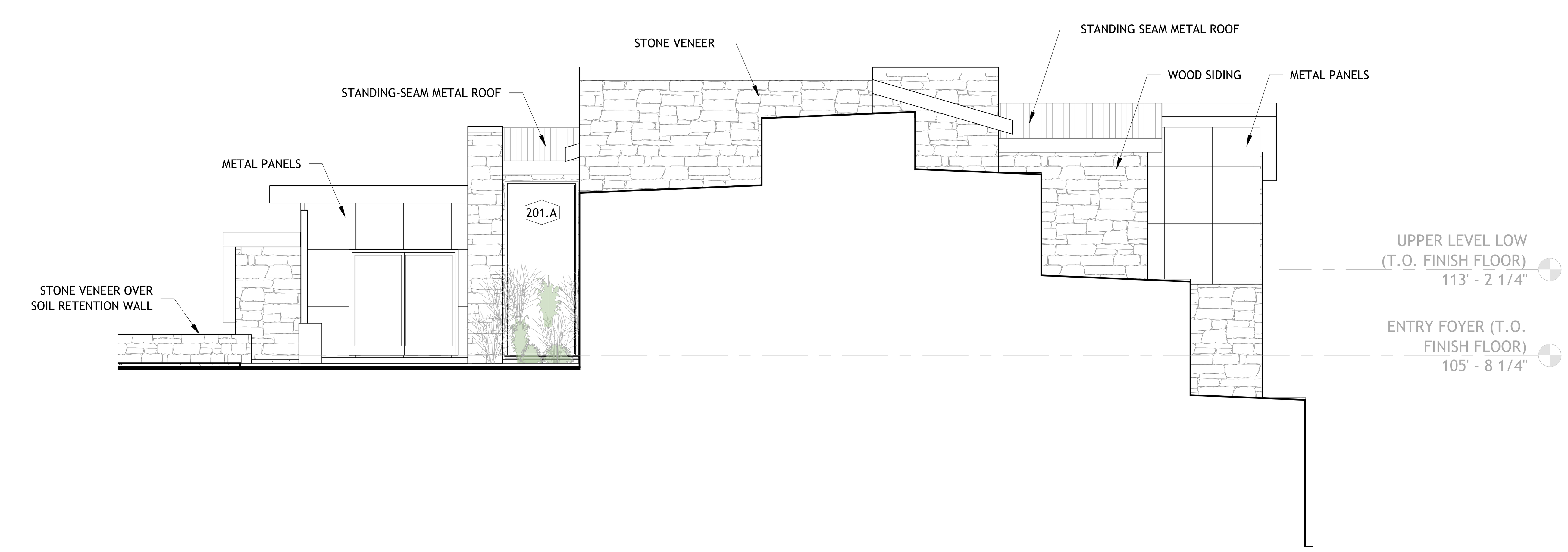


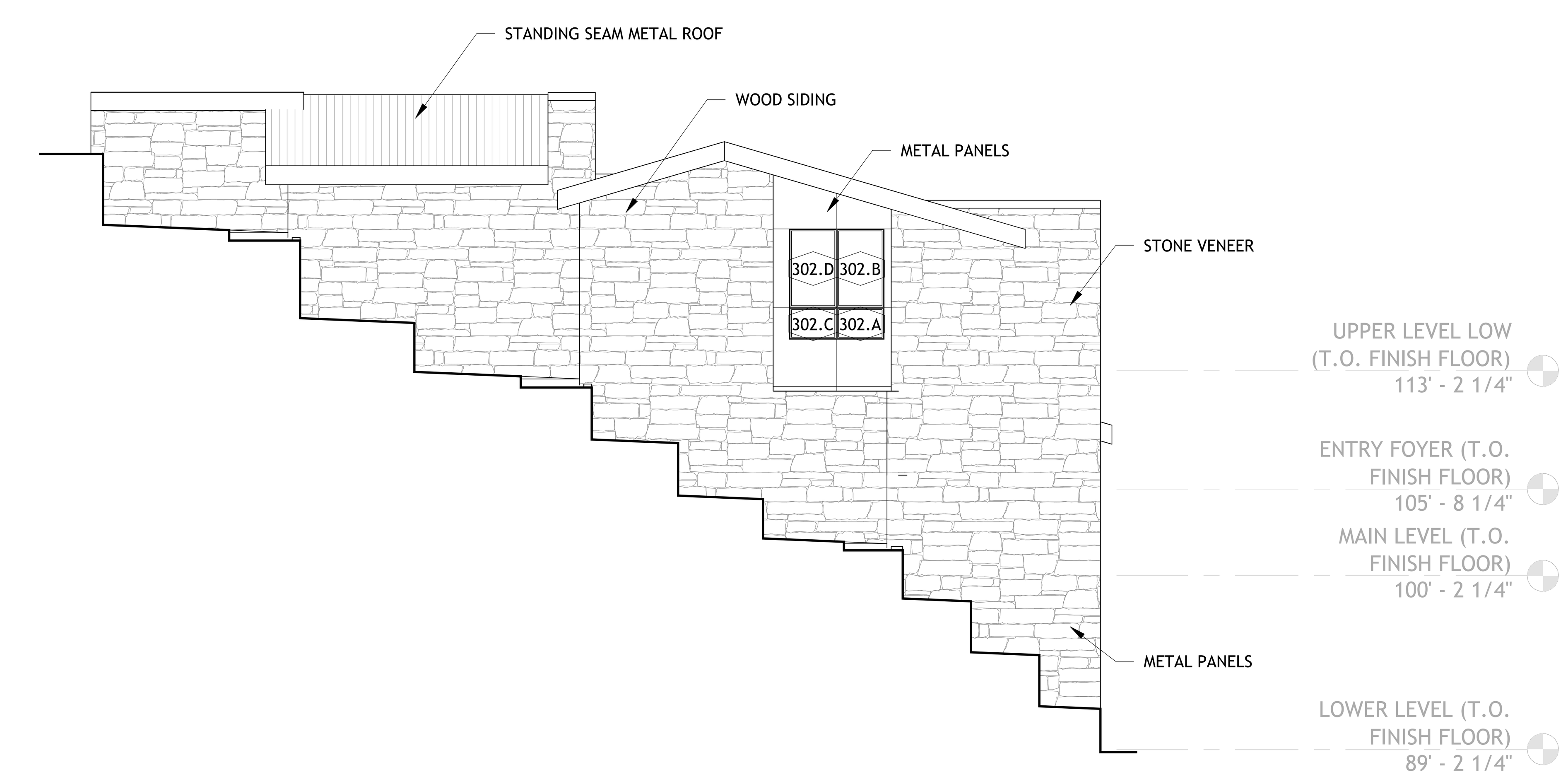
EAST ELEVATION
1/8" = 1'-0" 5



NORTH ELEVATION
1/8" = 1'-0" 2



WEST ELEVATION
1/8" = 1'-0" 6



SOUTH ELEVATION
1/8" = 1'-0" 3

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EXTERIOR ELEVATIONS

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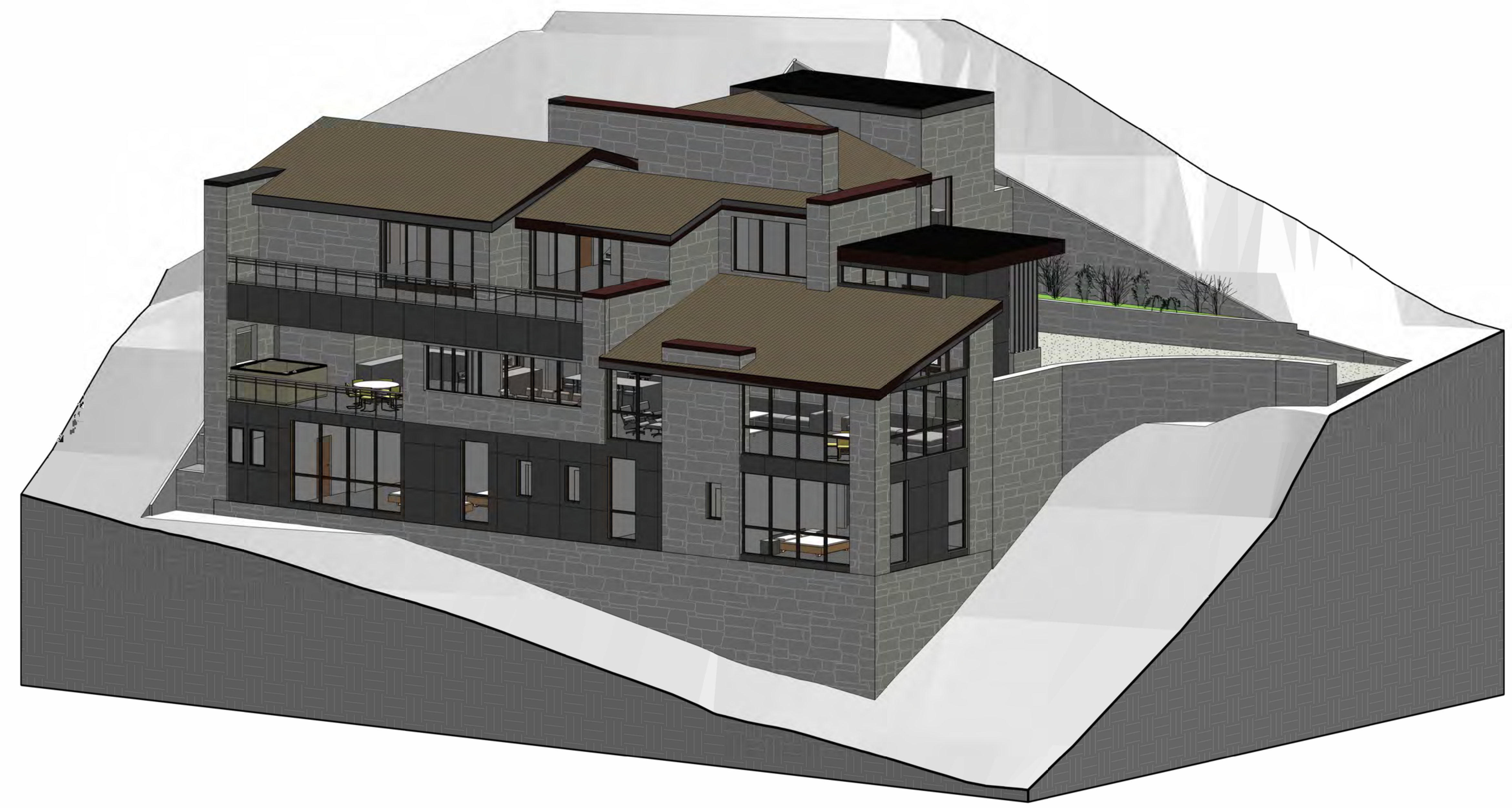
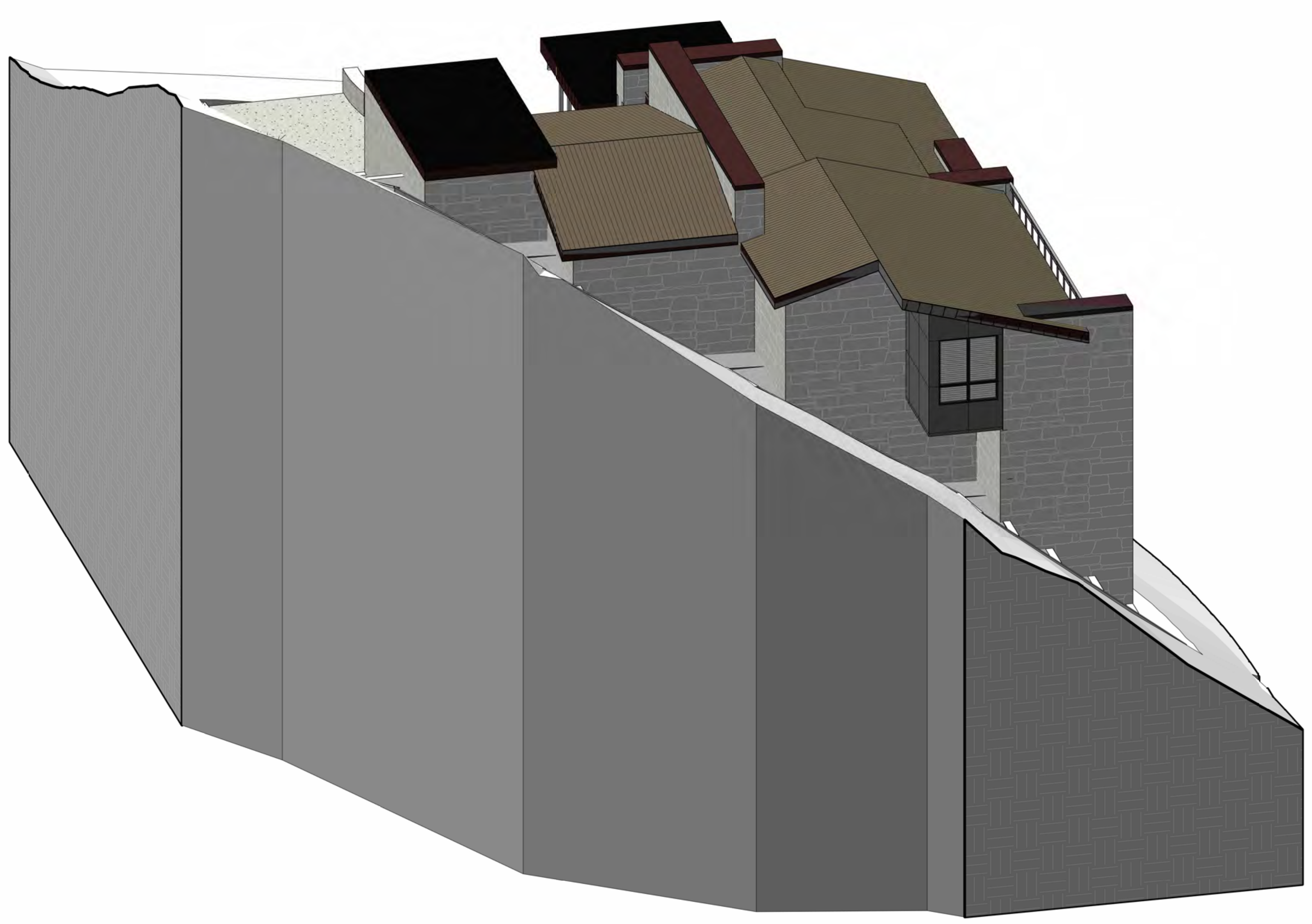
A200

3-D VIEW #3 8



3-D VIEW #1 2



3-D VIEW #4 9

3-D VIEW #2 3

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EXTERIOR 3-D VIEWS

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A210

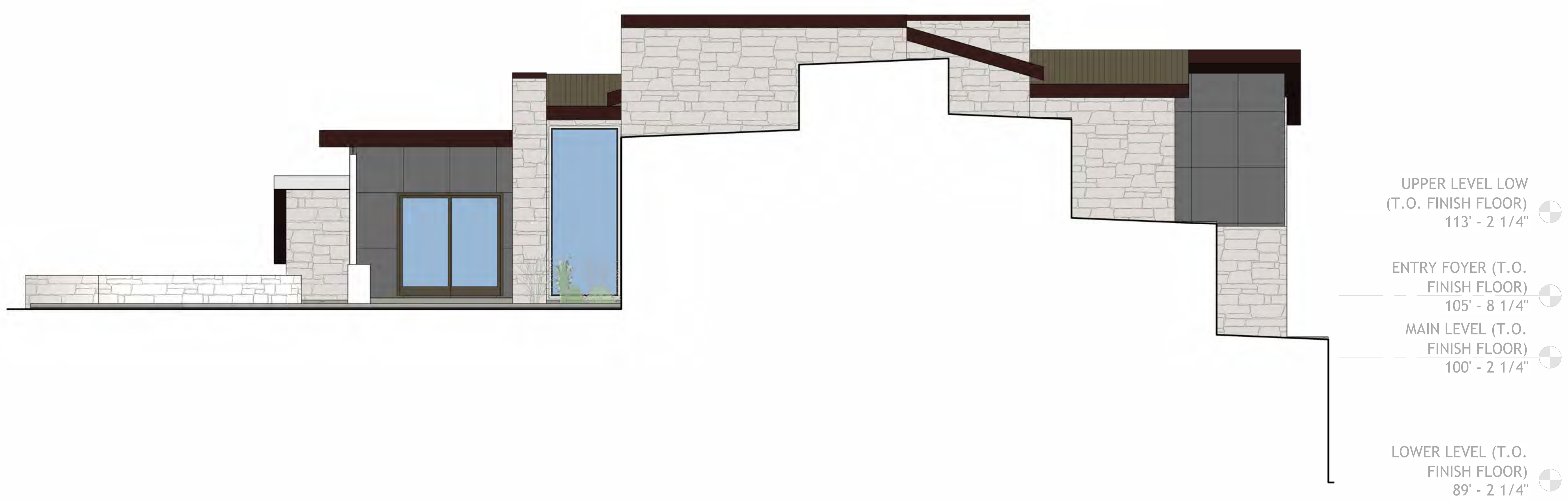
Material	Label	Description
STONE:		FOND DU LAC DIMENSIONAL CLEAN SPLIT
METAL SIDING (INCLUDING GARAGE DOOR CLADDING):		LARGE FORMAT, DARK METAL PANELS (BRANDNER STEEL OR EQUIVALENT)
EXTERIOR WINDOWS & DOORS:		WEATHERSHIELD, ALUMINUM, CRAFTSMAN BRONZE
ROOFING:		STANDING SEAM METAL, BRONZE
FASCIA:		CEDAR 1X PAINTED TO MATCH WINDOWS AND ROOFING

EXTERIOR MATERIALS:		
STONE	4,258 SF	61.5%
GLASS	1,462 SF	21.1%
METAL PANEL	1,049 SF	15.1%
GARAGE DOOR	158 SF	2.3%

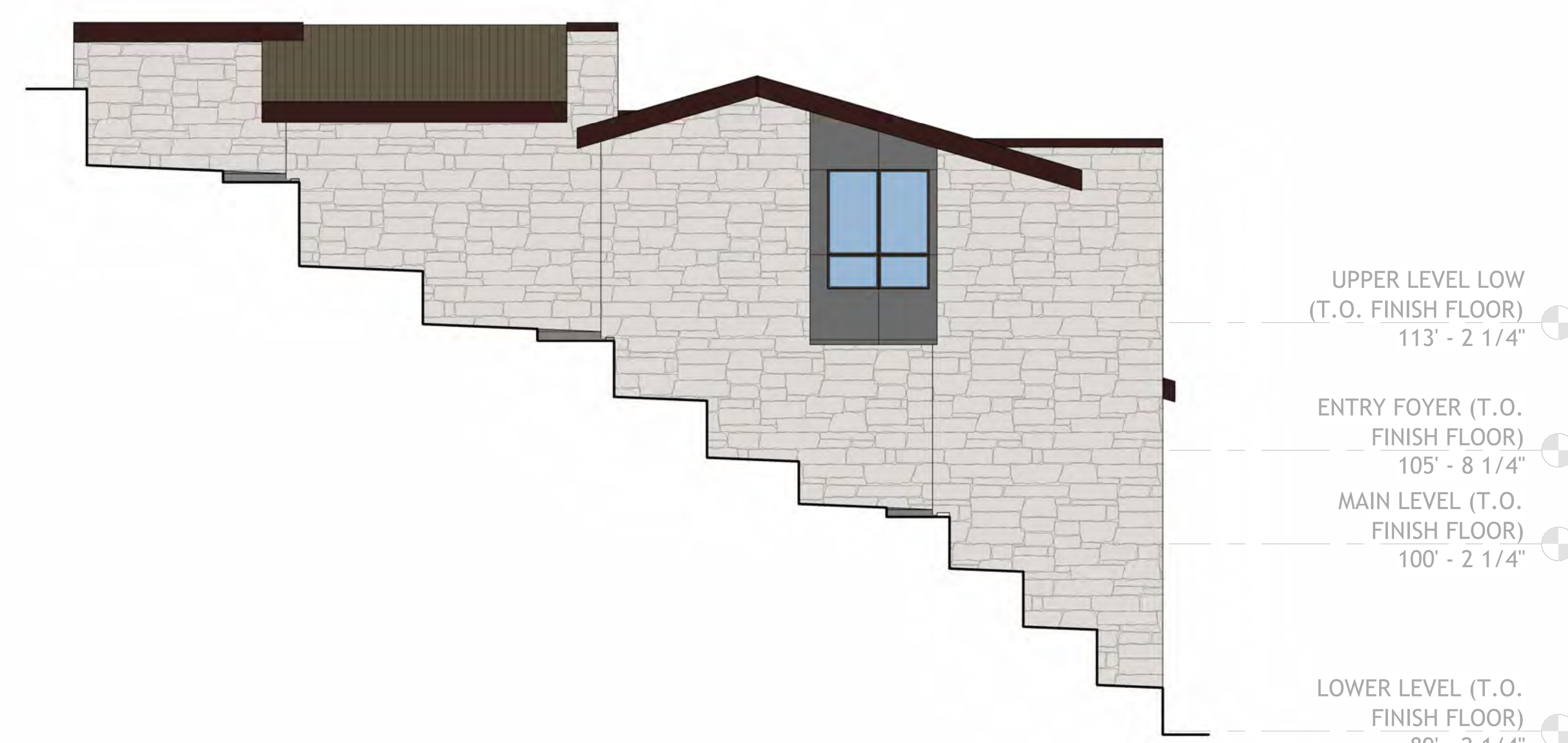
EXTERIOR MATERIALS SUMMARY
NO SCALE 1

EAST ELEVATION - MATERIAL CALCULATIONS
1/8" = 1'-0" 5

NORTH ELEVATION - MATERIAL CALCULATIONS
1/8" = 1'-0" 2



WEST ELEVATION - MATERIAL CALCULATIONS
1/8" = 1'-0" 6



SOUTH ELEVATION - MATERIAL CALCULATIONS
1/8" = 1'-0" 3

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EXTERIOR MATERIAL CALCULATIONS

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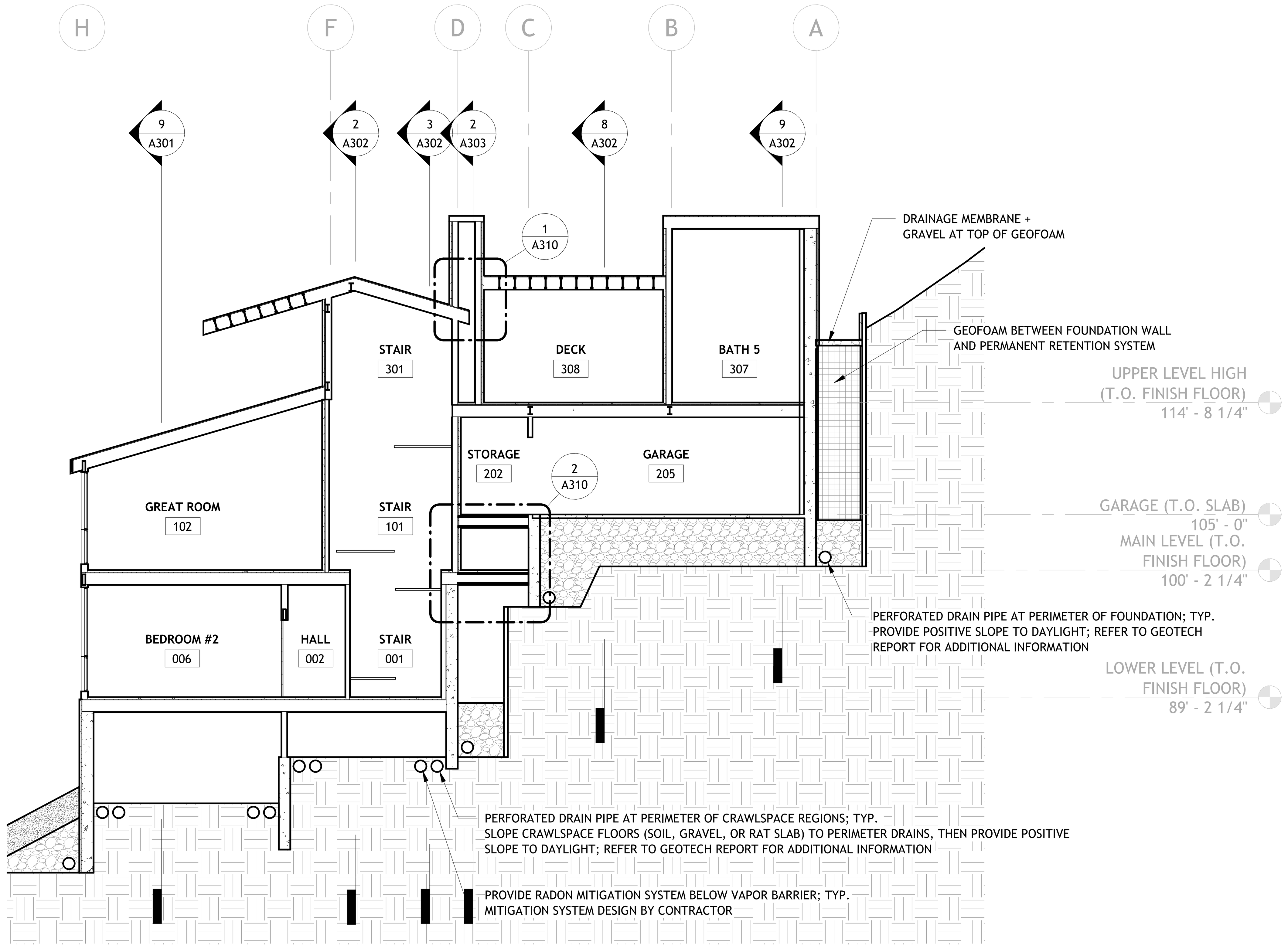
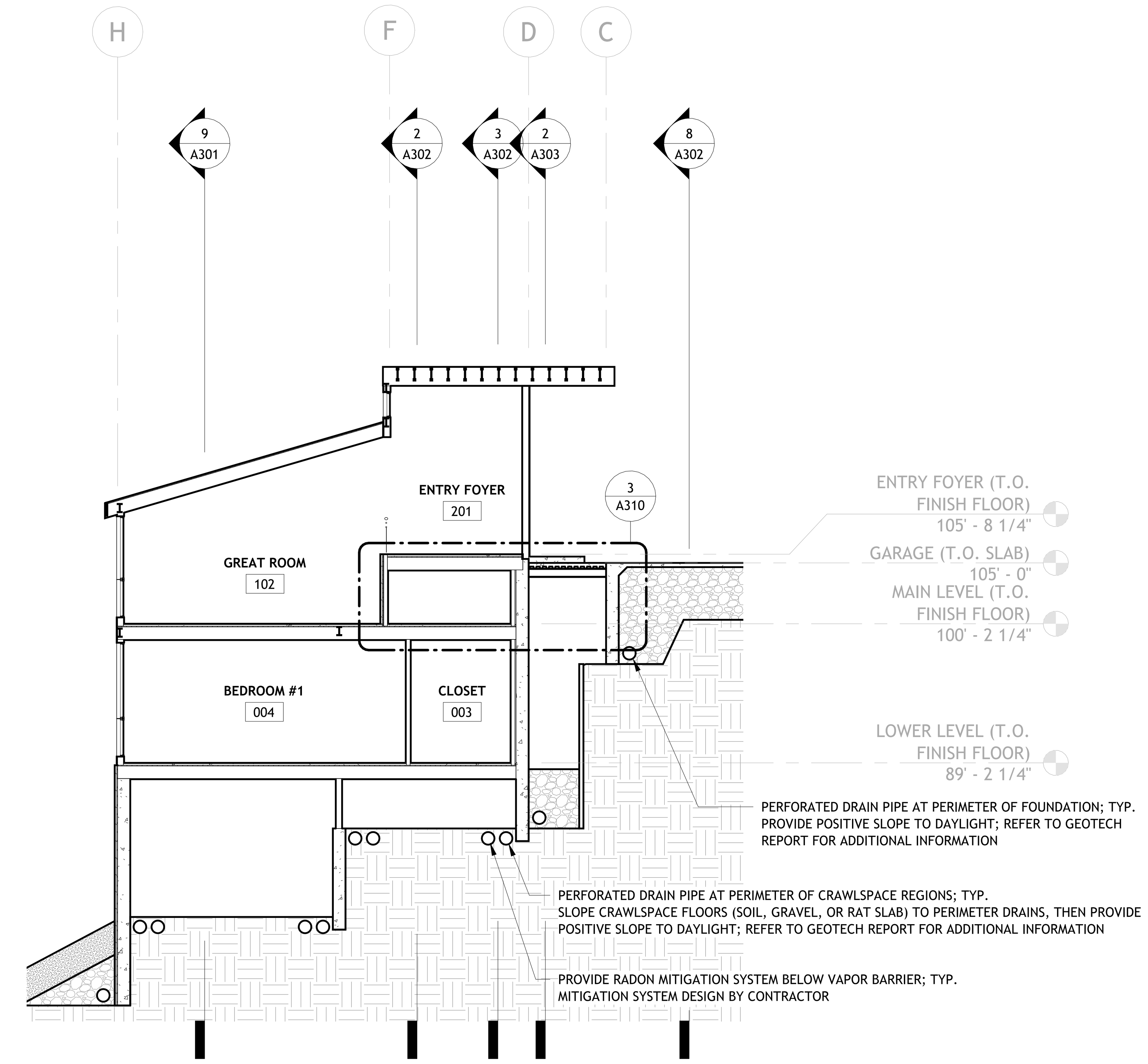
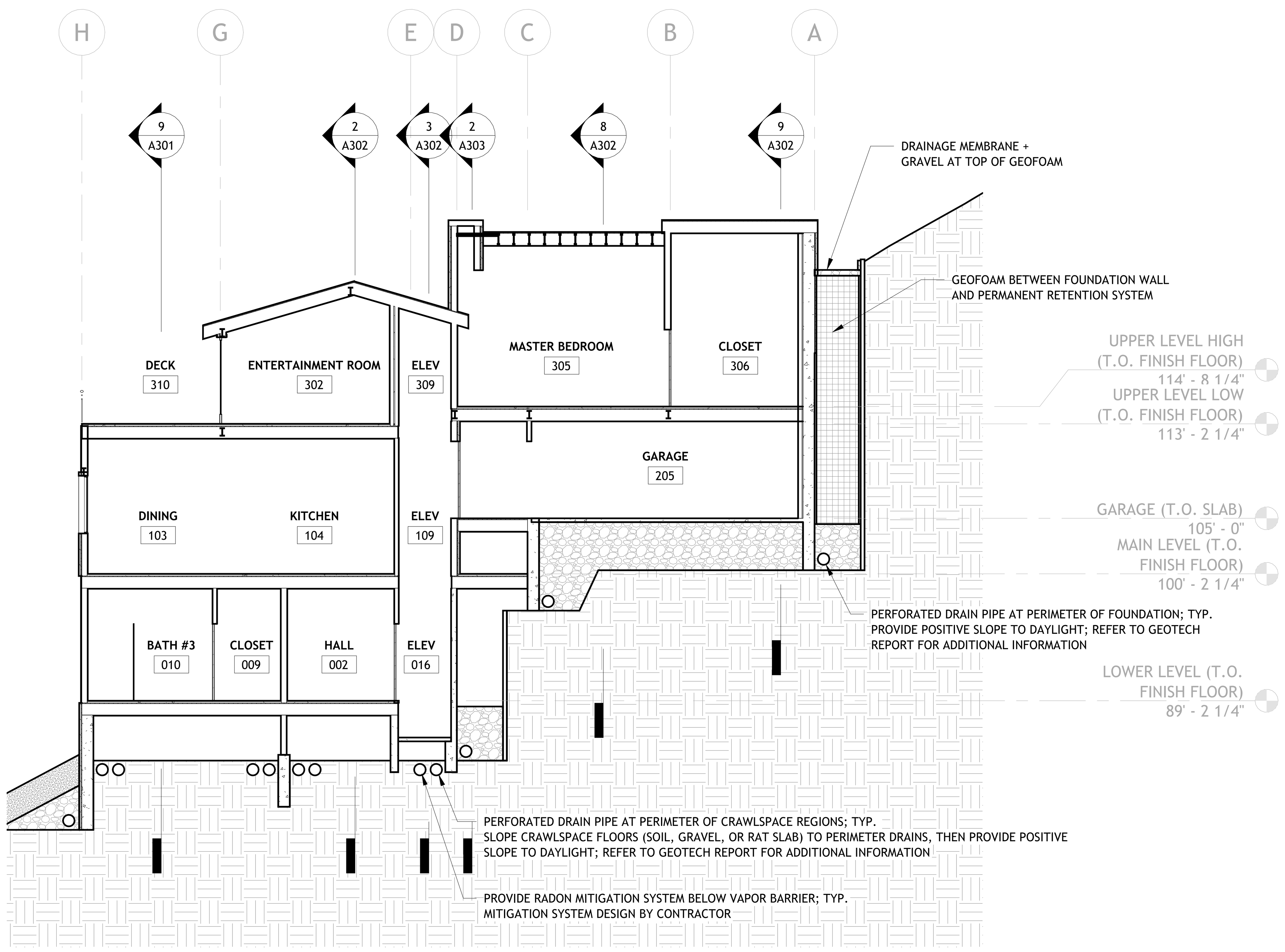
A220



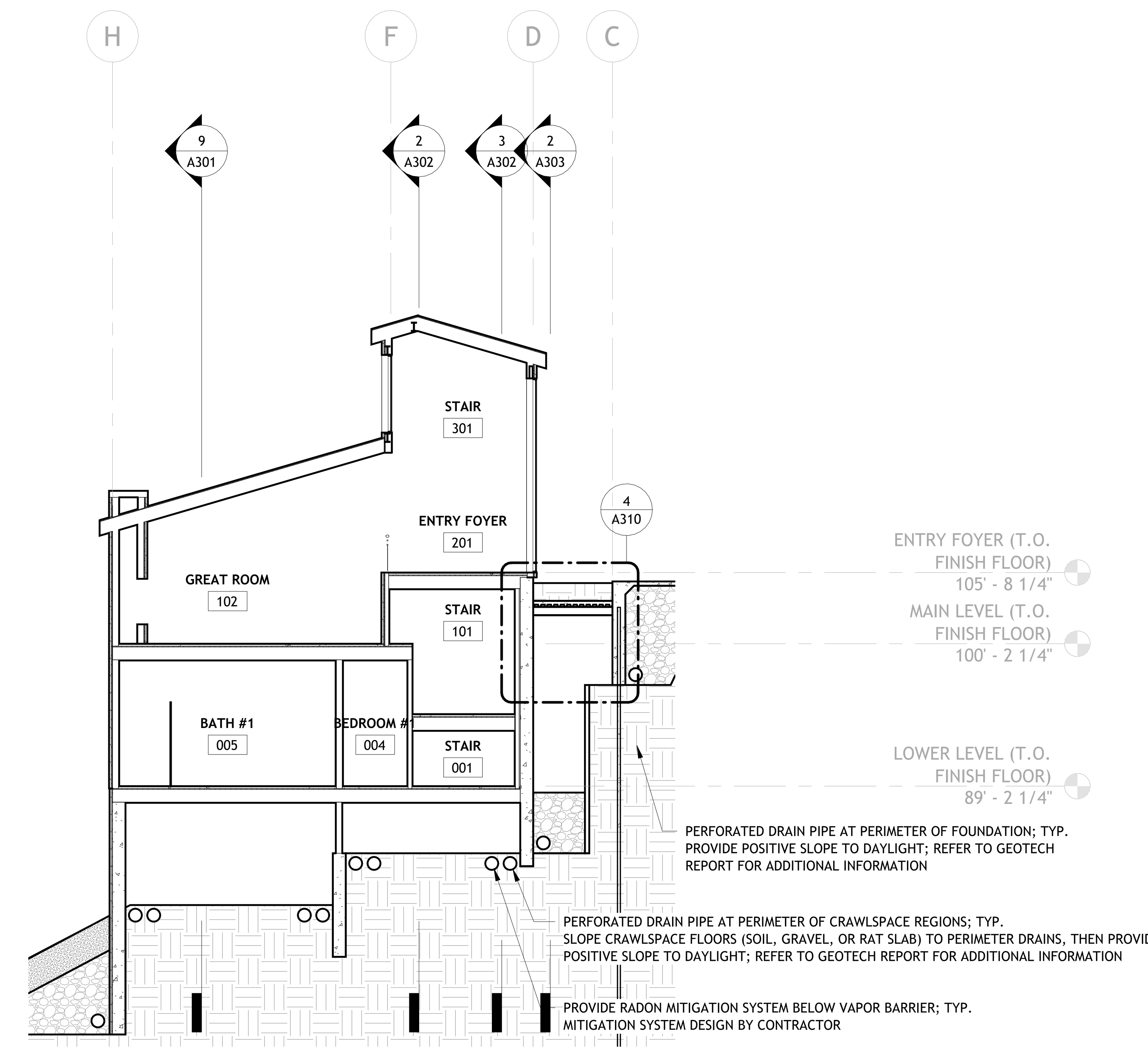
SECTION 3
1/8" = 1'-0" 5



SECTION 1
1/8" = 1'-0" 2



SECTION 4
1/8" = 1'-0" 6



SECTION 2
1/8" = 1'-0" 3

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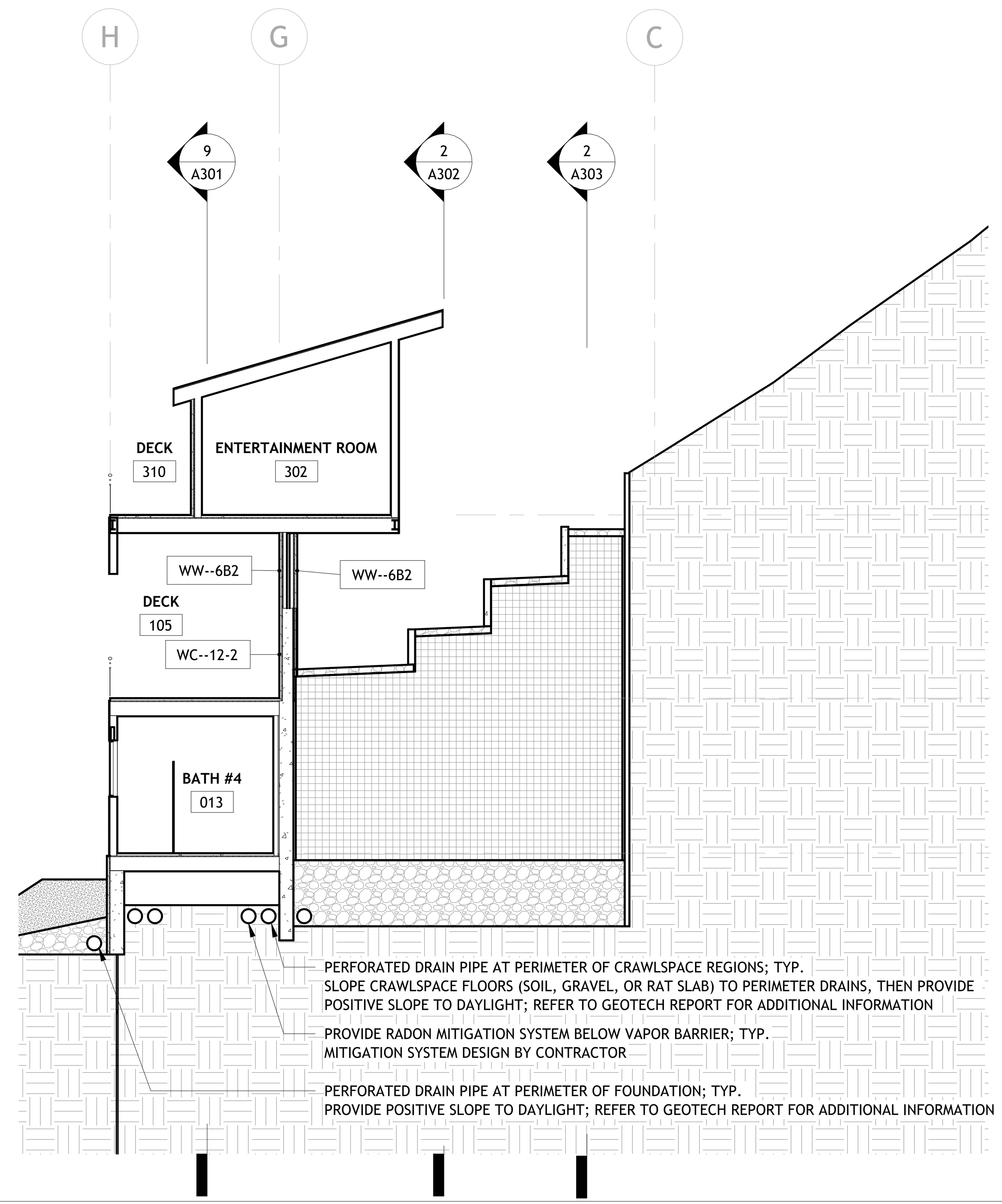
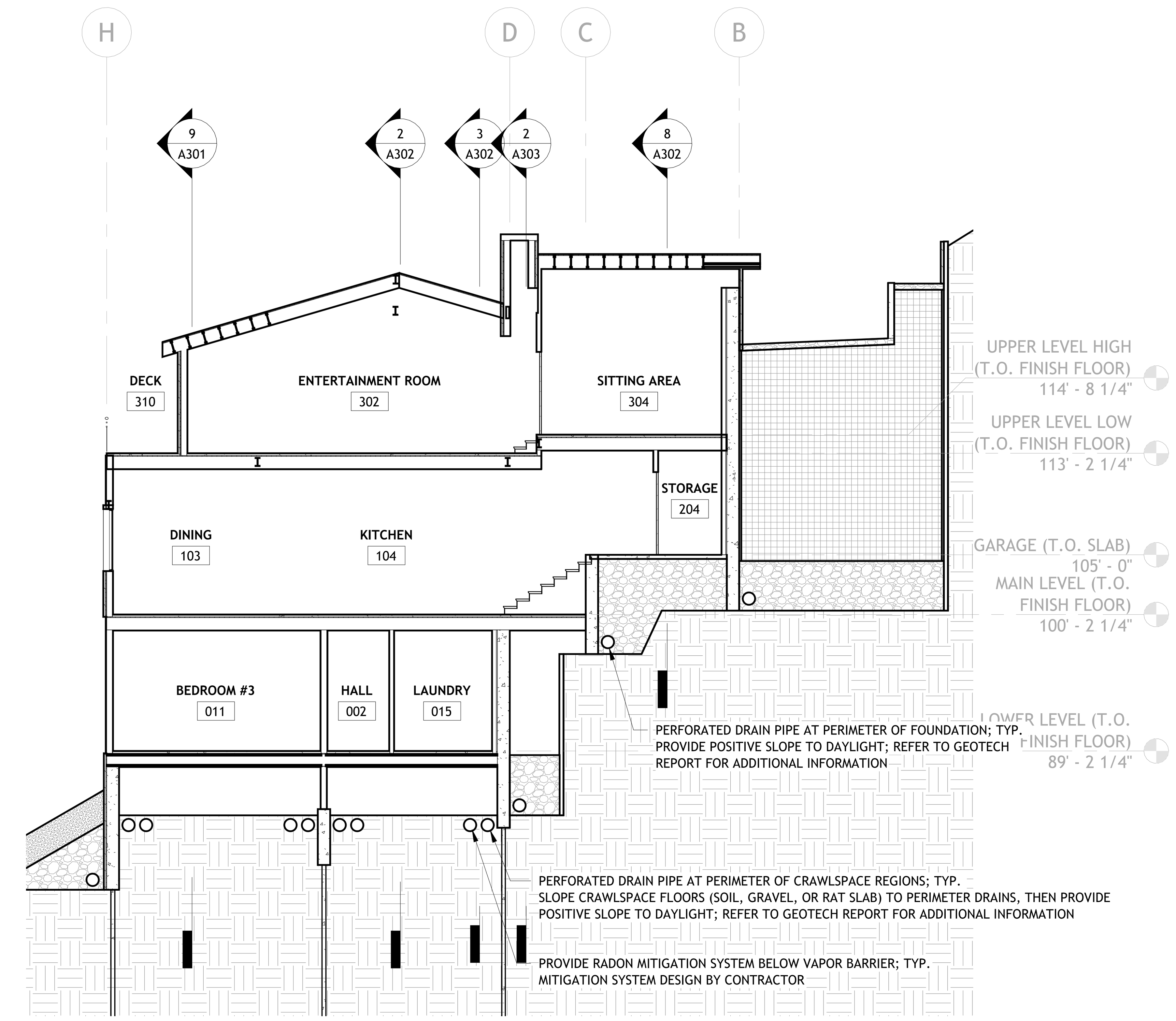
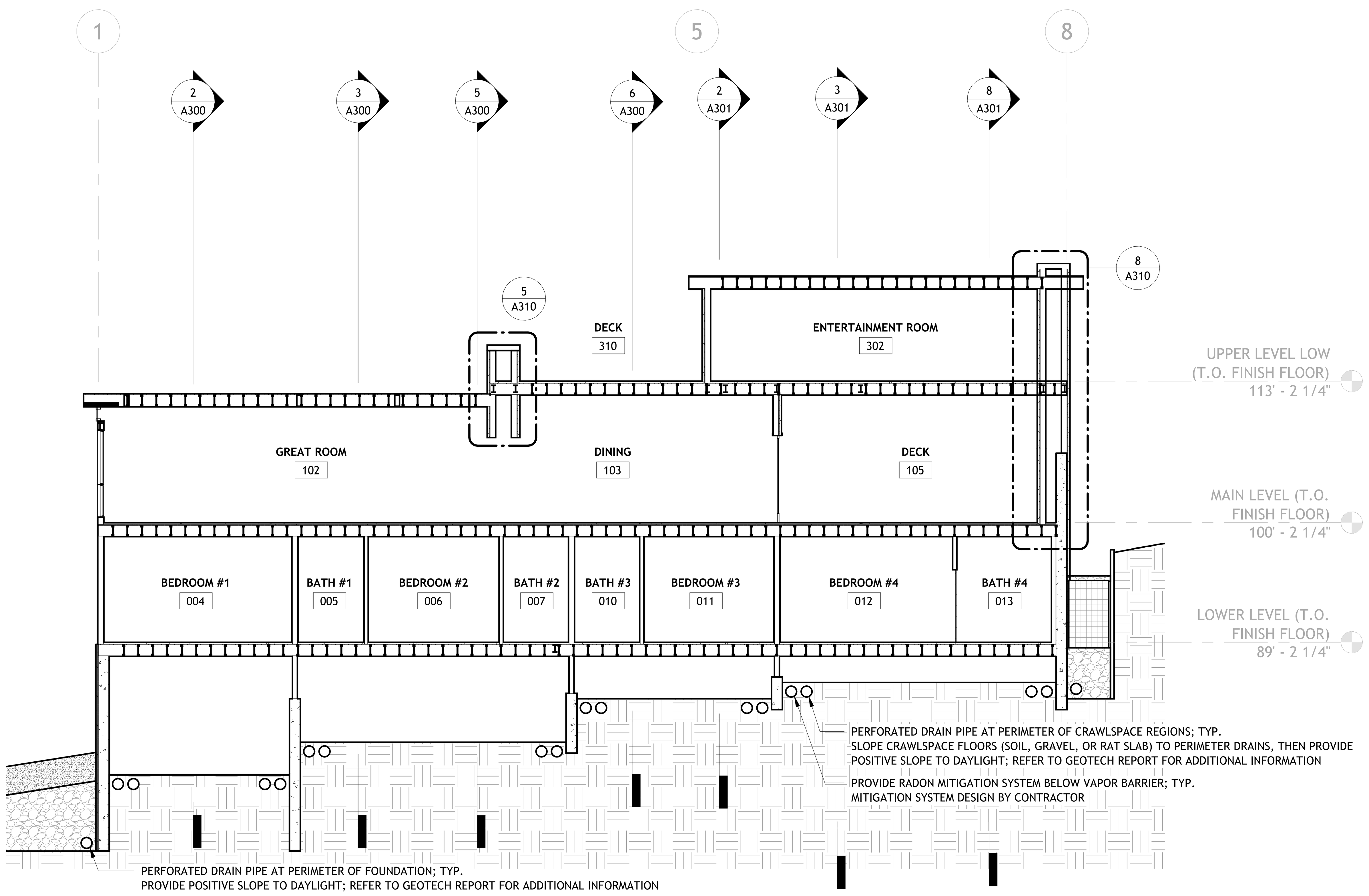
A300



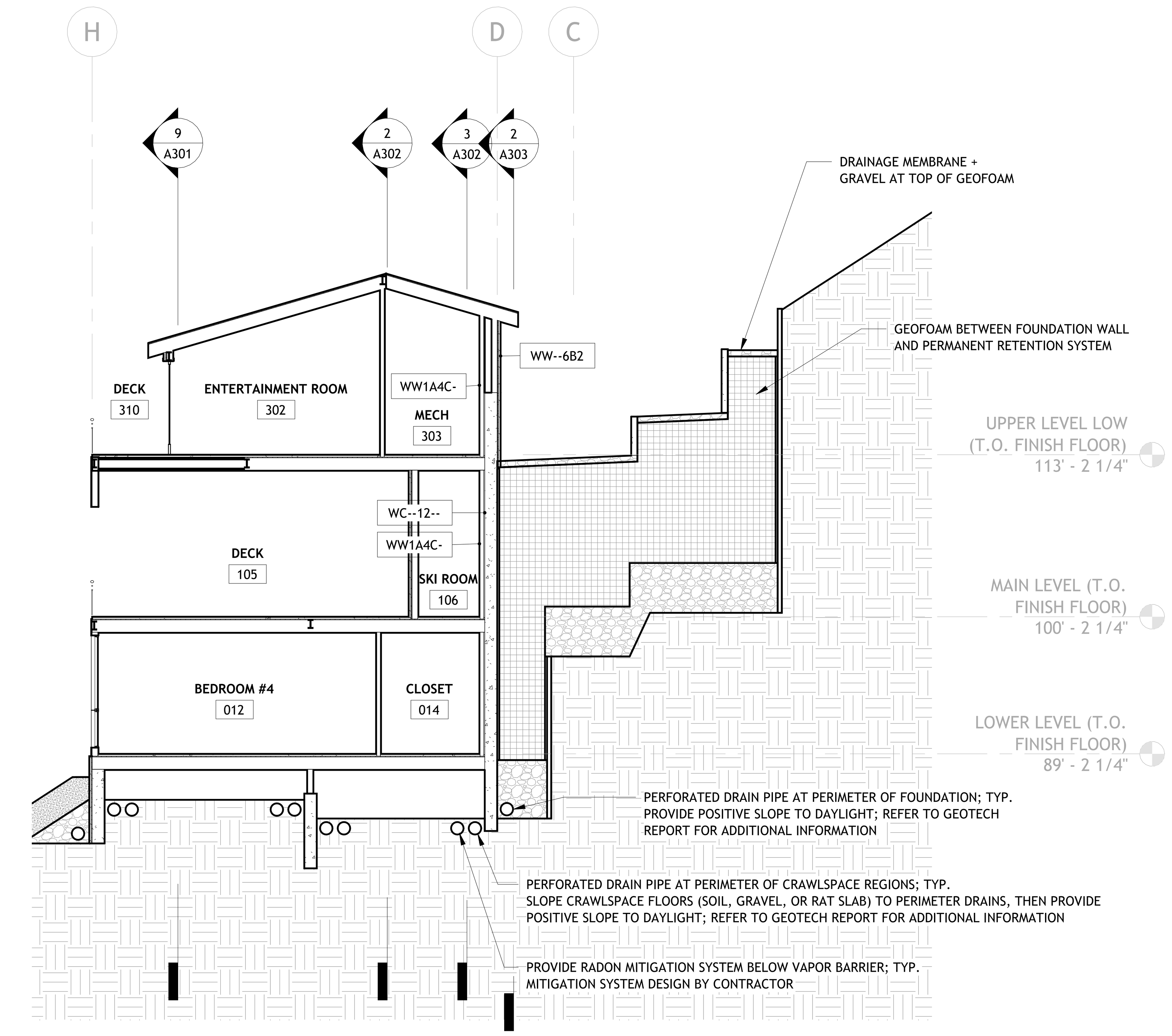
SECTION 7
1/8" = 1'-0" 8



SECTION 5
1/8" = 1'-0" 2



SECTION 8
1/8" = 1'-0" 9



SECTION 6
1/8" = 1'-0" 3

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BUILDING SECTIONS

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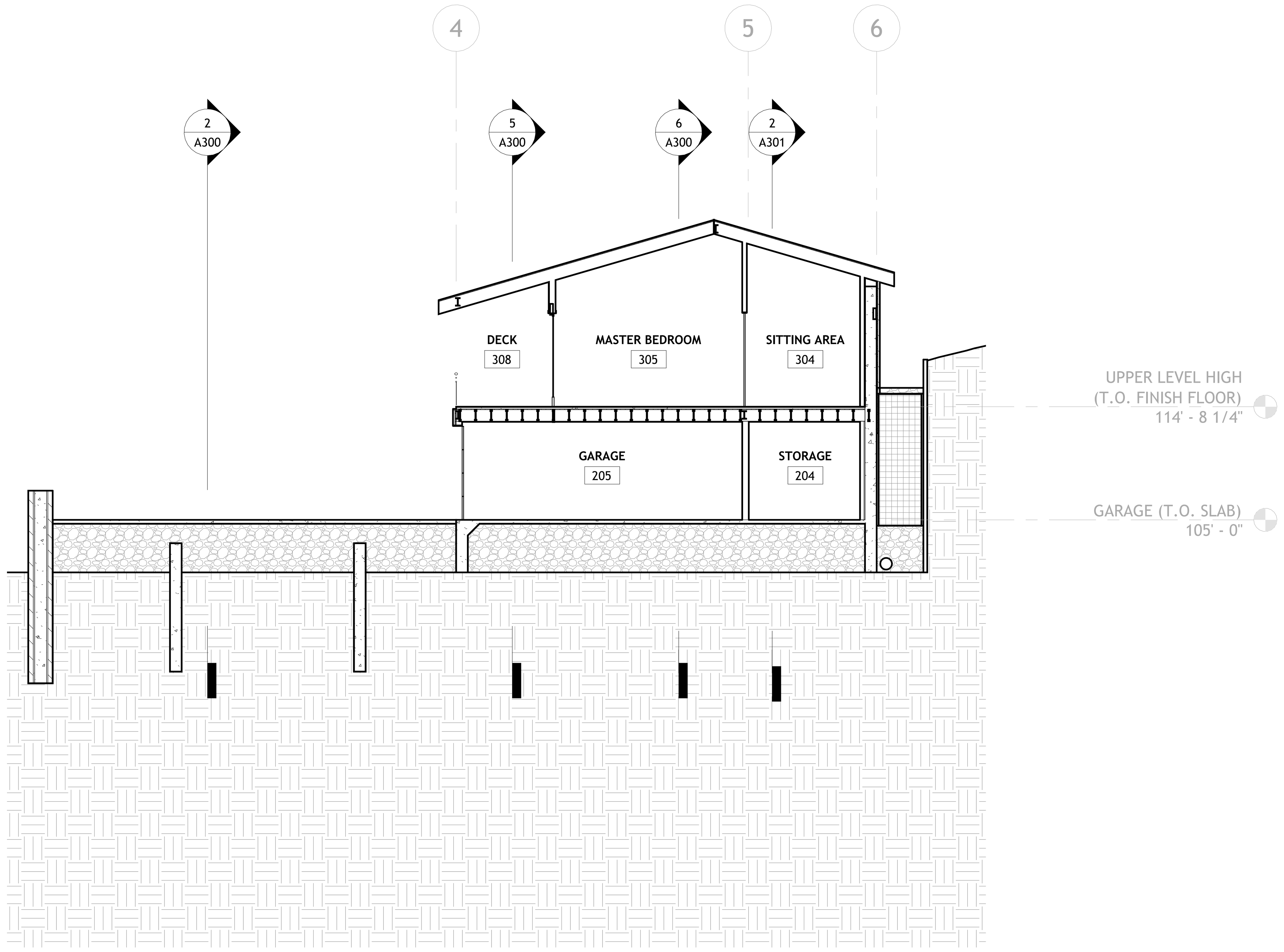
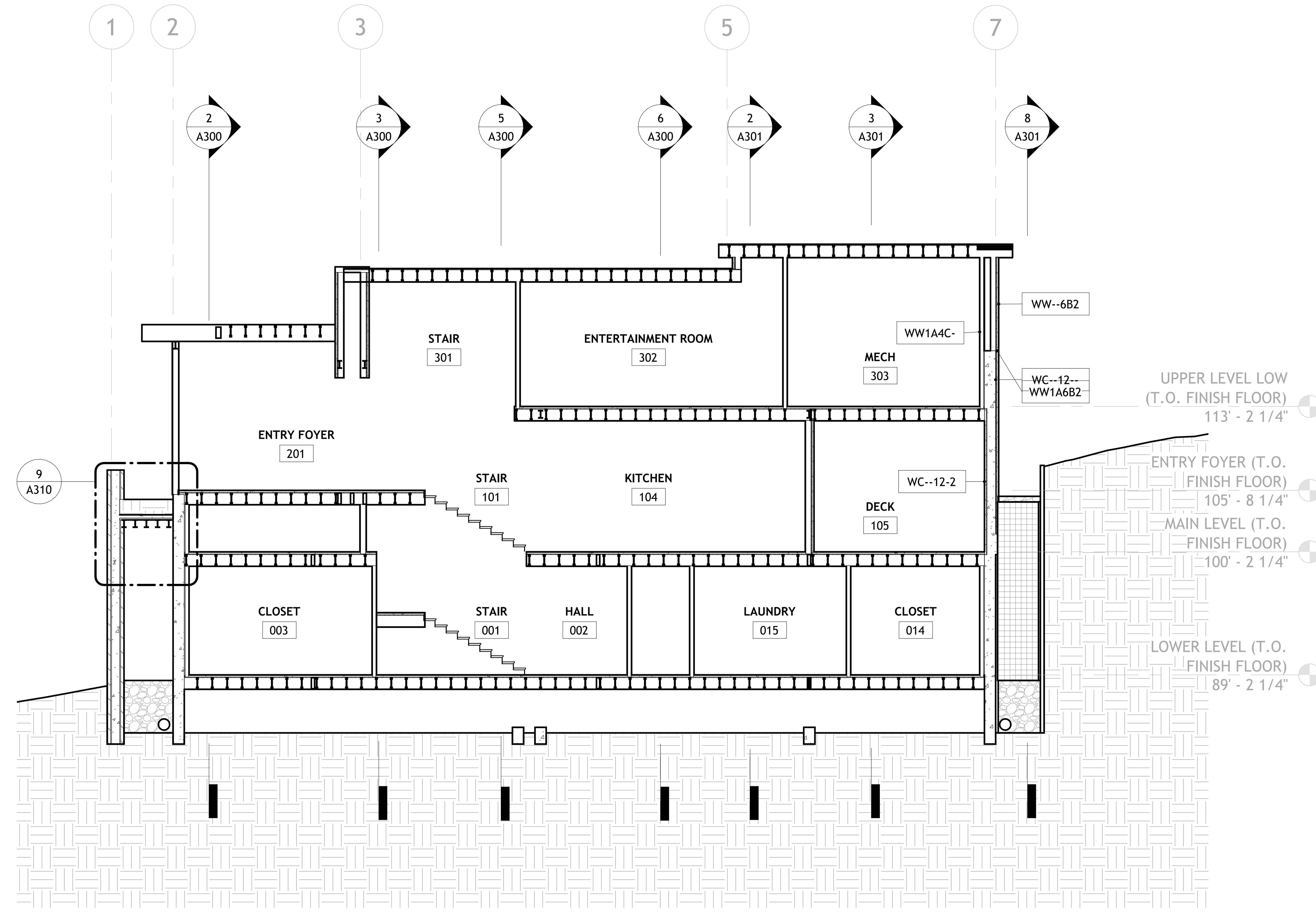
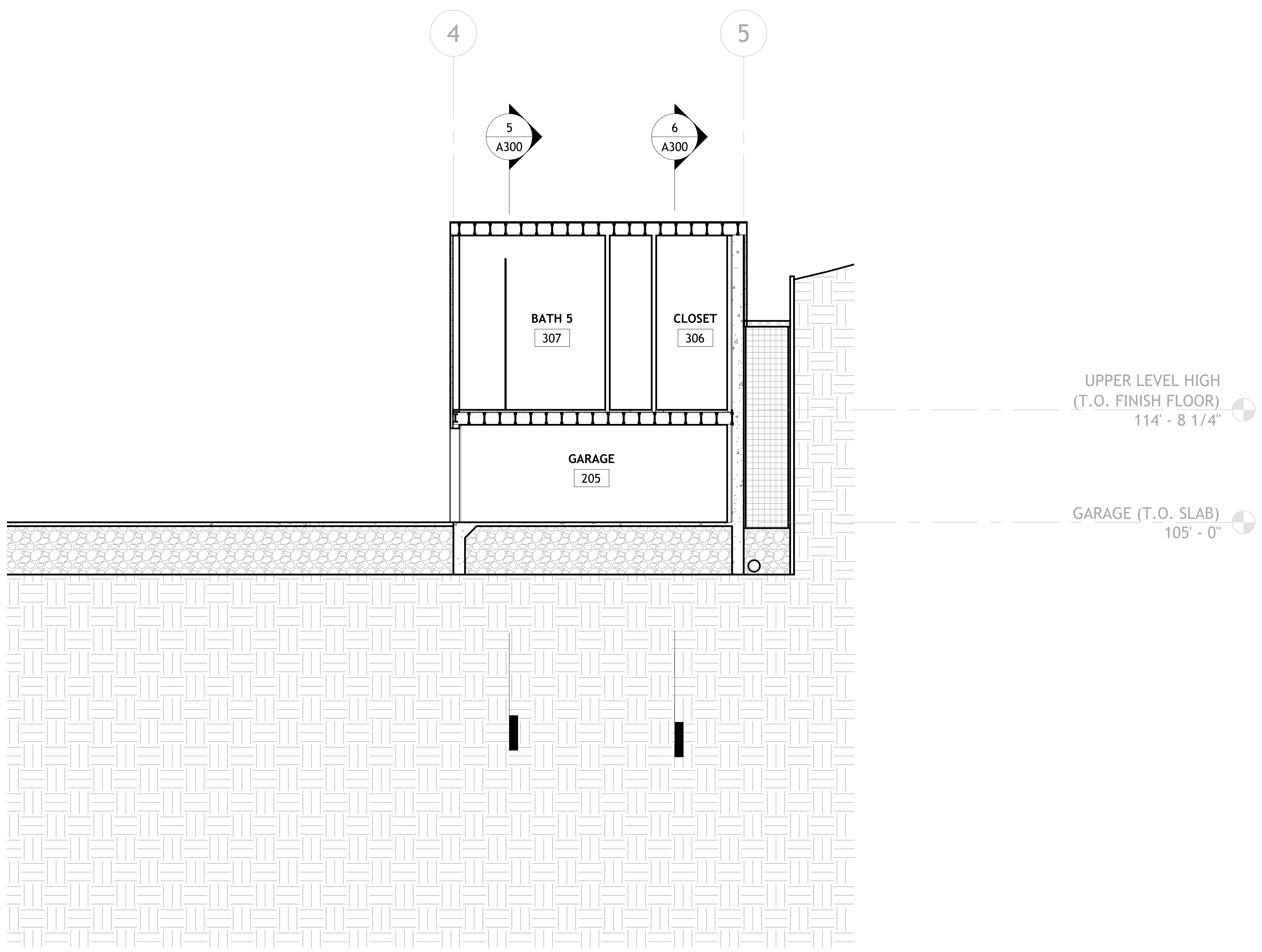
A301



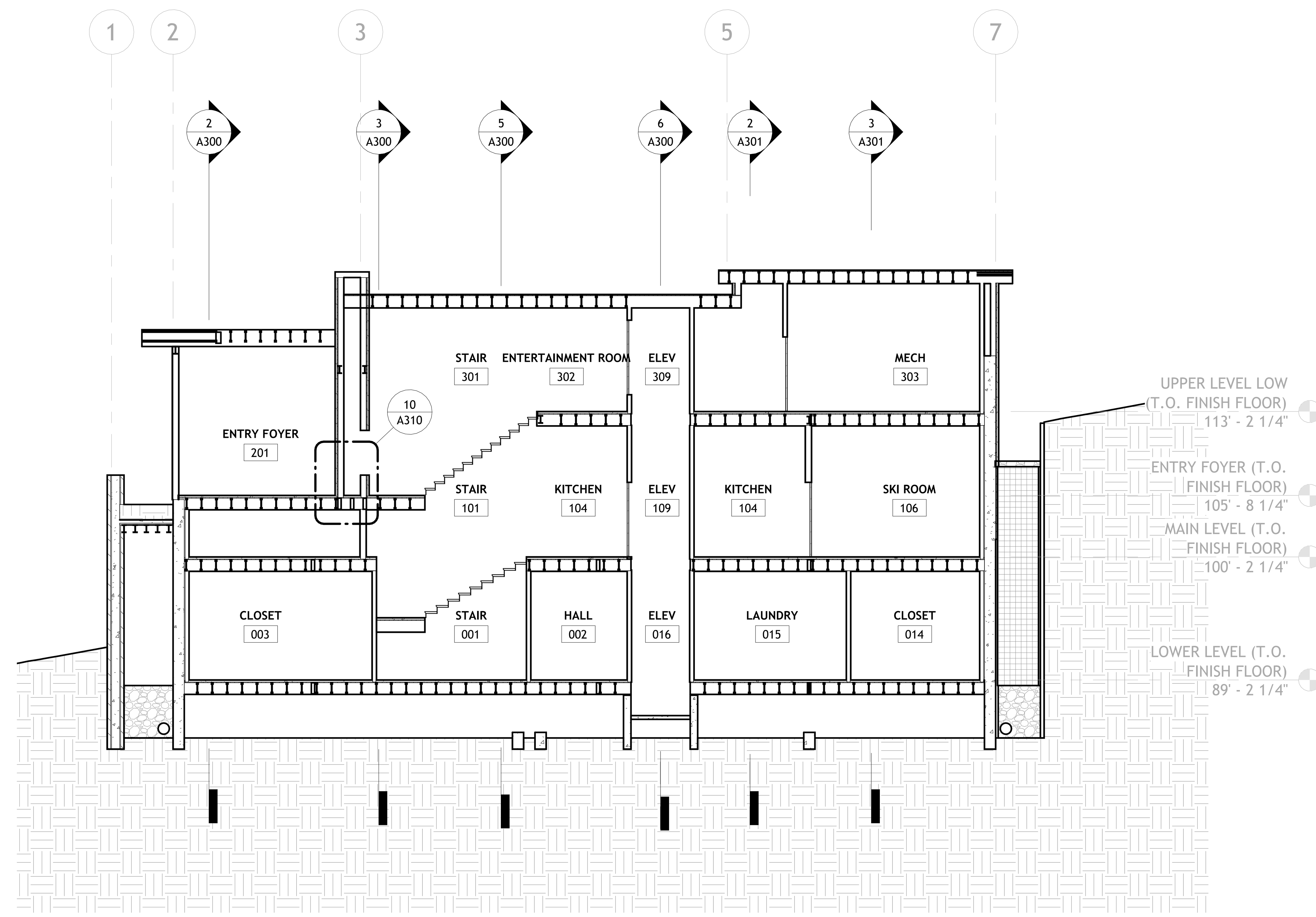
SECTION 11
1/8" = 1'-0" 8



SECTION 9
1/8" = 1'-0" 2



SECTION 12
1/8" = 1'-0" 9



SECTION 10
1/8" = 1'-0" 3

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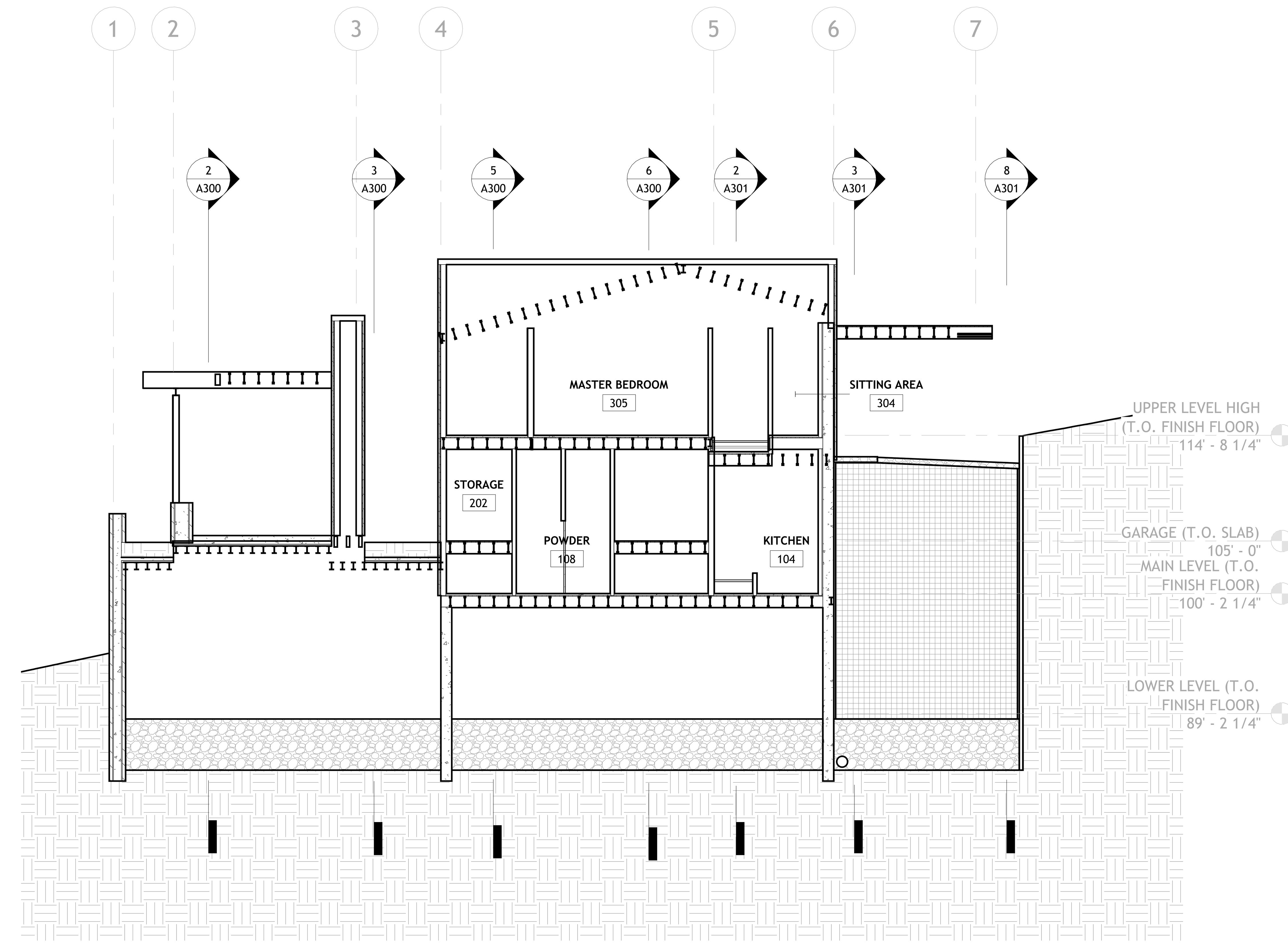
A302



SECTION 13
1/8" = 1'-0"
2

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BUILDING SECTIONS

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A303

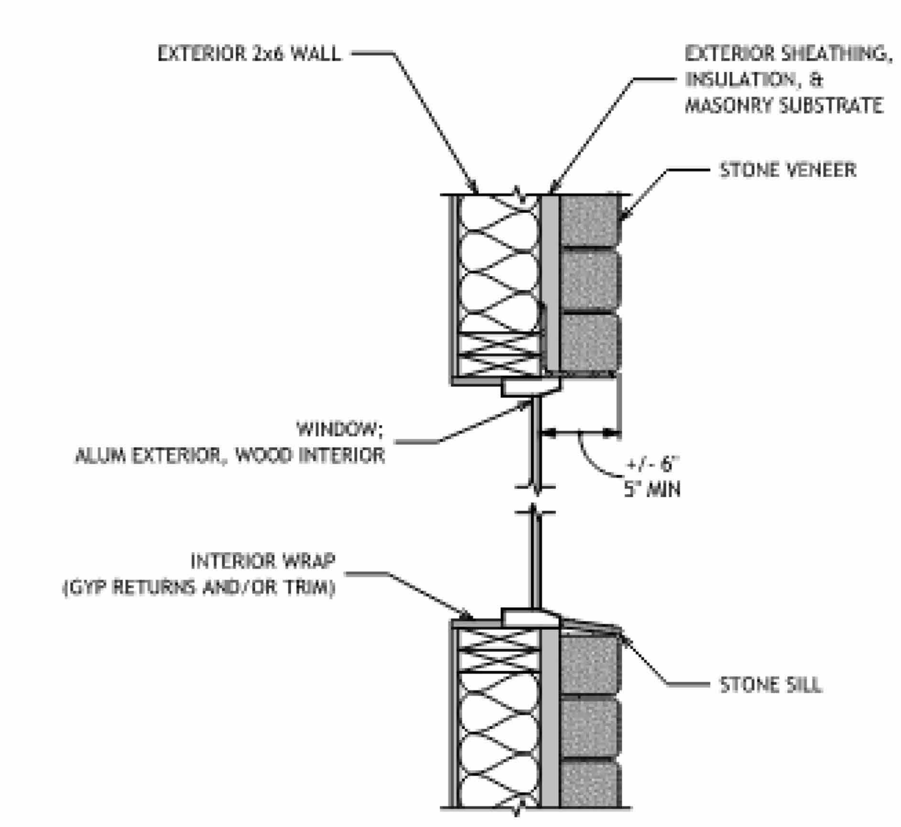
WINDOW SCHEDULE

NUMBER	TYPE	WIDTH	HEIGHT	HEAD HEIGHT	DESCRIPTION	MATERIAL	FINISH	COMMENTS
004.A	G	3' - 8"	3' - 0"	3' - 6"				
004.B	H	3' - 8"	6' - 0"	9' - 6"				
004.C	G	3' - 8"	3' - 0"	3' - 6"				
004.D	H	3' - 8"	6' - 0"	9' - 6"				
004.E	G	3' - 8"	3' - 0"	3' - 6"				
004.F	H	3' - 8"	6' - 0"	9' - 6"				
004.G	G	3' - 8"	3' - 0"	3' - 6"				
004.H	H	3' - 8"	6' - 0"	9' - 6"				
004.J	G	3' - 8"	3' - 0"	3' - 6"				
004.K	H	3' - 8"	6' - 0"	9' - 6"				
004.L	G	3' - 8"	3' - 0"	3' - 6"				
004.M	H	3' - 8"	6' - 0"	9' - 6"				
005.A	C	2' - 0"	4' - 0"	8' - 0"				
006.A	G	3' - 8"	3' - 0"	3' - 6"				
006.B	H	3' - 8"	6' - 0"	9' - 6"				
007.A	C	2' - 0"	4' - 0"	8' - 0"				
010.A	C	2' - 0"	4' - 0"	8' - 0"				
011.A	G	3' - 8"	3' - 0"	3' - 6"				
011.B	H	3' - 8"	6' - 0"	9' - 6"				
012.A	G	3' - 8"	3' - 0"	3' - 6"				
012.B	H	3' - 8"	6' - 0"	9' - 6"				
012.C	G	3' - 8"	3' - 0"	3' - 6"				
012.D	H	3' - 8"	6' - 0"	9' - 6"				
012.E	G	3' - 8"	3' - 0"	3' - 6"				
012.F	H	3' - 8"	6' - 0"	9' - 6"				
012.G	G	3' - 8"	3' - 0"	3' - 6"				
012.H	H	3' - 8"	6' - 0"	9' - 6"				
013.A	C	2' - 0"	4' - 0"	8' - 0"				
013.B	C	2' - 0"	4' - 0"	8' - 0"				
102.A	G	3' - 8"	3' - 0"	3' - 6"				
102.B	J	3' - 8"	5' - 0"	8' - 6"				
102.C	G	3' - 8"	3' - 0"	3' - 6"				
102.D	J	3' - 8"	5' - 0"	8' - 6"				
102.E	G	3' - 8"	3' - 0"	3' - 6"				
102.F	J	3' - 8"	5' - 0"	8' - 6"				
102.G	G	3' - 8"	3' - 0"	3' - 6"				
102.H	J	3' - 8"	5' - 0"	8' - 6"				
102.J	G	3' - 8"	3' - 0"	3' - 6"				
102.K	J	3' - 8"	5' - 0"	8' - 6"				
102.L	G	3' - 8"	3' - 0"	3' - 6"				
102.M	J	3' - 8"	5' - 0"	8' - 6"				
102.N	G	3' - 8"	3' - 0"	3' - 6"				
102.P	J	3' - 8"	5' - 0"	8' - 6"				
102.Q	G	3' - 8"	3' - 0"	3' - 6"				
102.R	J	3' - 8"	5' - 0"	8' - 6"				
102.S	G	3' - 8"	3' - 0"	3' - 6"				
102.T	J	3' - 8"	5' - 0"	8' - 6"				
102.U	G	3' - 8"	3' - 0"	3' - 6"				
102.V	J	3' - 8"	5' - 0"	8' - 6"				
103.A	K	3' - 6"	5' - 0"	8' - 6"				
103.B	K	3' - 6"	5' - 0"	8' - 6"				
103.C	K	3' - 6"	5' - 0"	8' - 6"				
103.D	K	3' - 6"	5' - 0"	8' - 6"				
103.E	K	3' - 6"	5' - 0"	8' - 6"				
103.F	K	3' - 6"	5' - 0"	8' - 6"				
201.A	A	6' - 0"	15' - 0"	15' - 0"				
201.B	B	3' - 0"	2' - 0"	3' - 9 3/4"				
201.C	B	3' - 0"	2' - 0"	3' - 9 3/4"				
201.D	B	3' - 0"	2' - 0"	3' - 9 3/4"				
201.E	B	3' - 0"	2' - 0"	3' - 9 3/4"				
301.A	F	3' - 6"	6' - 0"	7' - 9 3/4"				
301.B	F	3' - 6"	6' - 0"	7' - 9 3/4"				
301.C	F	3' - 6"	6' - 0"	7' - 9 3/4"				
302.A	B	3' - 0"	2' - 0"	4' - 0"				
302.B	D	3' - 0"	5' - 0"	9' - 0"				
302.C	B	3' - 0"	2' - 0"	4' - 0"				
302.D	D	3' - 0"	5' - 0"	9' - 0"				
307.A	L	4' - 0"	2' - 0"	2' - 0"				
307.B	E	4' - 0"	6' - 0"	8' - 0"				
509	M	8' - 0"	4' - 0"	7' - 0"				
GRAND TOTAL: 70								

WINDOW SCHEDULE
NO SCALE
9

DOOR SCHEDULE

NUMBER	TYPE	WIDTH	HEIGHT	DESCRIPTION	MATERIAL	FINISH	COMMENTS
003.1	E1	2' - 8"	6' - 8"	OPENING			
004.1	A2	2' - 8"	6' - 8"	SINGLE SWING DOOR			
005.1	A2	2' - 8"	6' - 8"	SINGLE SWING DOOR			
006.1	A2	2' - 8"	6' - 8"	SINGLE SWING DOOR			
007.1	A2	2' - 8"	6' - 8"	SINGLE SWING DOOR			
008.1	E1	2' - 8"	6' - 8"	OPENING			
009.1	E1	2' - 8"	6' - 8"	OPENING			
010.1	A2	2' - 8"	6' - 8"	SINGLE SWING DOOR			
011.1	A2	2' - 8"	6' - 8"	SINGLE SWING DOOR			
012.1	A2	2' - 8"	6' - 8"	SINGLE SWING DOOR			
013.1	A2	2' - 8"	6' - 8"	SINGLE SWING DOOR			
013.4	A2	2' - 8"	6' - 8"	SINGLE SWING DOOR			
013.5	A2	2' - 8"	6' - 8"	SINGLE SWING DOOR			
014.1	E1	2' - 8"	6' - 8"	OPENING			
015.1	A2	2' - 8"	6' - 8"	SINGLE SWING DOOR			
016.1	A1	3' - 0"	6' - 8"	SINGLE SWING DOOR			
103.1	C3	10' - 0"	8' - 0"	2 PANEL SLIDING DOOR			
106.1	A1	3' - 0"	6' - 8"	SINGLE SWING DOOR			
106.2	D5	3' - 0"	6' - 8"				
108.1	E3	4' - 0"	8' - 0"	OPENING			
108.2	A3	2' - 6"	6' - 8"	SINGLE SWING DOOR			
109.1	A1	3' - 0"	6' - 8"	SINGLE SWING DOOR			
182	E2	4' - 0"	4' - 0"	OPENING			
201.1	C2	9' - 0"	9' - 0"	2 PANEL SLIDING DOOR			
202.1	E1	2' - 8"	6' - 8"	OPENING			
203.1	A1	3' - 0"	6' - 8"	SINGLE SWING DOOR			
204.1	A1	3' - 0"	6' - 8"	SINGLE SWING DOOR			
205.1	F1	18' - 0"	8' - 0"	GARAGE DOOR			
205.2	E4	5' - 0"	6' - 8"	OPENING			
205.3	A1	3' - 0"	6' - 8"	SINGLE SWING DOOR			
302.1	D1	12' - 0"	7' - 6"	4 PANEL SLIDING DOOR			
302.2	D1	12' - 0"	7' - 6"	4 PANEL SLIDING DOOR			
303.1	A1	3' - 0"	6' - 8"	SINGLE SWING DOOR			
304.1	A2	2' - 8"	6' - 8"	SINGLE SWING DOOR			
304.2	B1	3' - 0"	8' - 0"				
304.3	B1	3' - 0"	8' - 0"				
305.1	C1	8' - 0"	8' - 0"	2 PANEL SLIDING DOOR	Bronze Metal Finish	Bronze Metal Finish	
306.1	A2	2' - 8"	6' - 8"	SINGLE SWING DOOR			
307.1	A2	2' - 8"	6' - 8"	SINGLE SWING DOOR			
307.2	A4	2' - 4"	6' - 8"	SINGLE SWING DOOR			
308.1	A1	3' - 0"	6' - 8"	SINGLE SWING DOOR			
GRAND TOTAL: 41							



1 RECESSED WINDOW DETAIL AT MASONRY VENEER
NOT TO SCALE

DOOR SCHEDULE
NO SCALE
3

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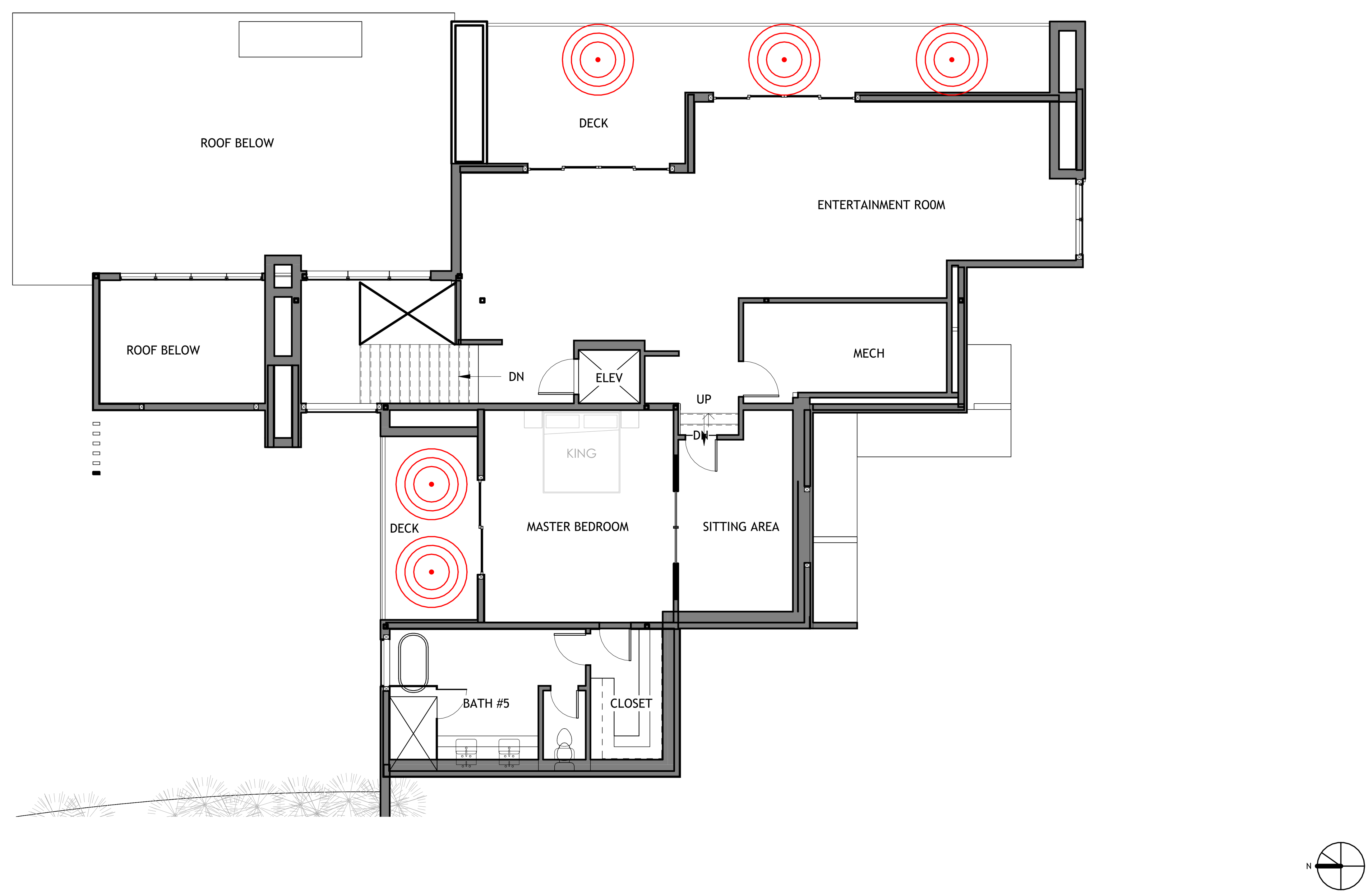
MOUNTAIN VILLAGE, CO 81435

COLORADO LICENSED ARCHITECT
SCOTT T. BEANS
00406667

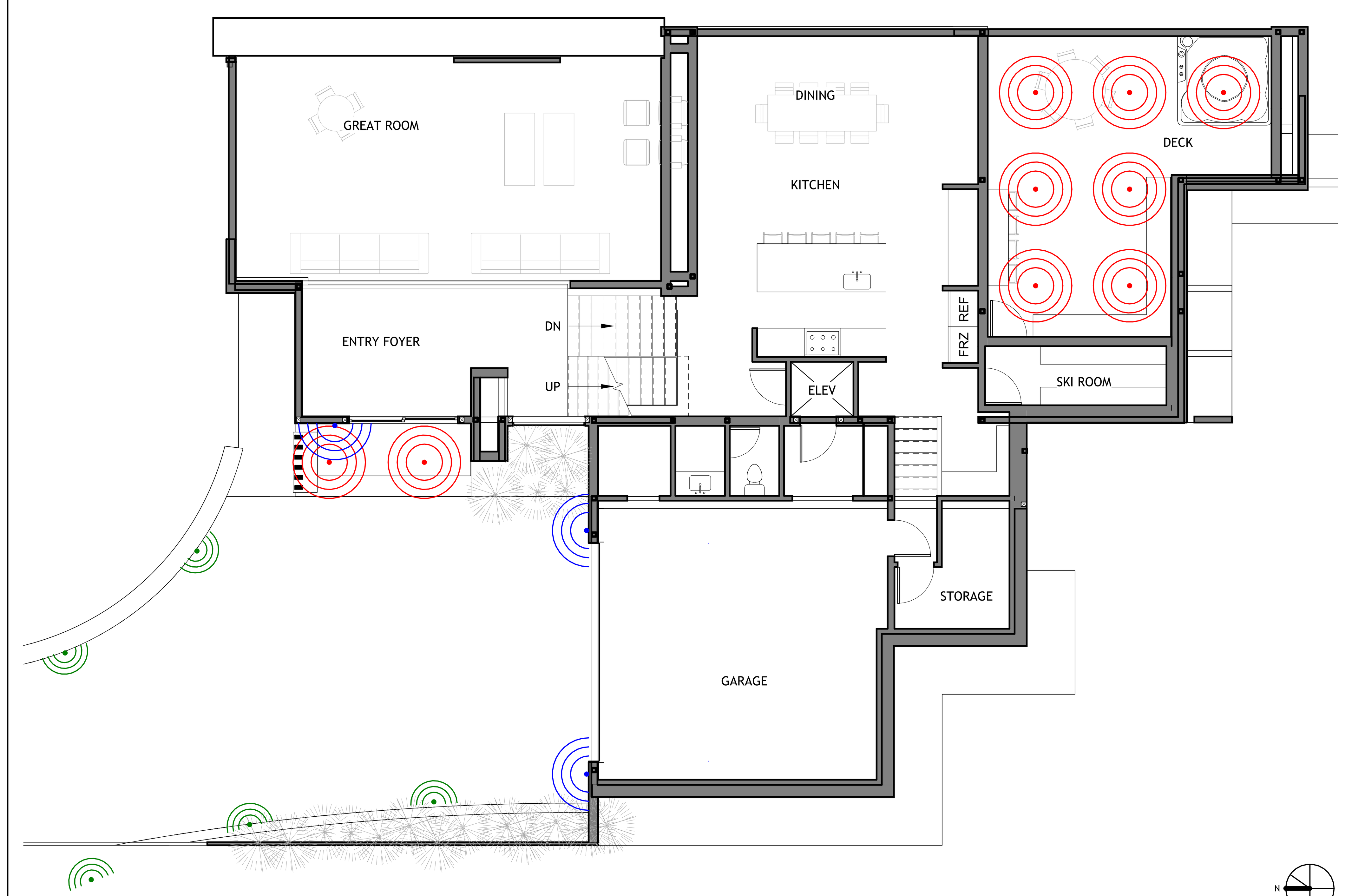
DOOR & WINDOW SCHEDULES
NOT FOR CONSTRUCTION

5.15.2024 DRB - FAR

A400



EXTERIOR LIGHTING PLAN - UPPER LEVEL
1/8" = 1'-0"
5



EXTERIOR LIGHTING PLAN - MAIN LEVEL
1/8" = 1'-0"
2

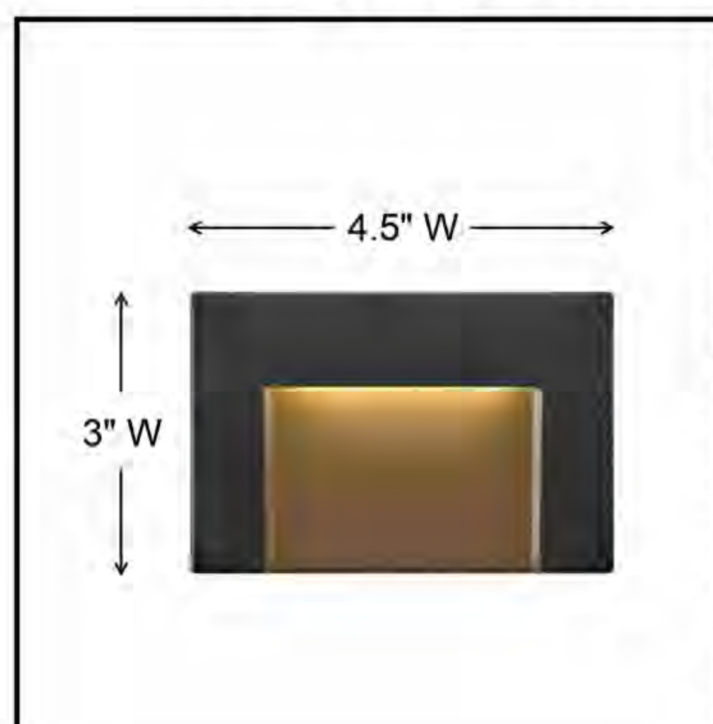
Lithonia Wafter LED Recessed Downlight | WF4 LED 27K30K35K

CAN LIGHT

Color Temperature	3000K
Lumens	800
CRI	90
Rated wattage	10.1
Lu/Watts	79.2
Min. starting temp	-40°C (-40°F)
EMI/RFI	FCC Title 47 CFR, Part 15, Class B
Sound rating	Class A Standards
Input voltage	120V
Min. power factor	0.97
Input frequency	50/60 Hz
Input power	120V
Input current	0.09A

Hinkley Taper Deck Sconce Horizontal | 1553SK

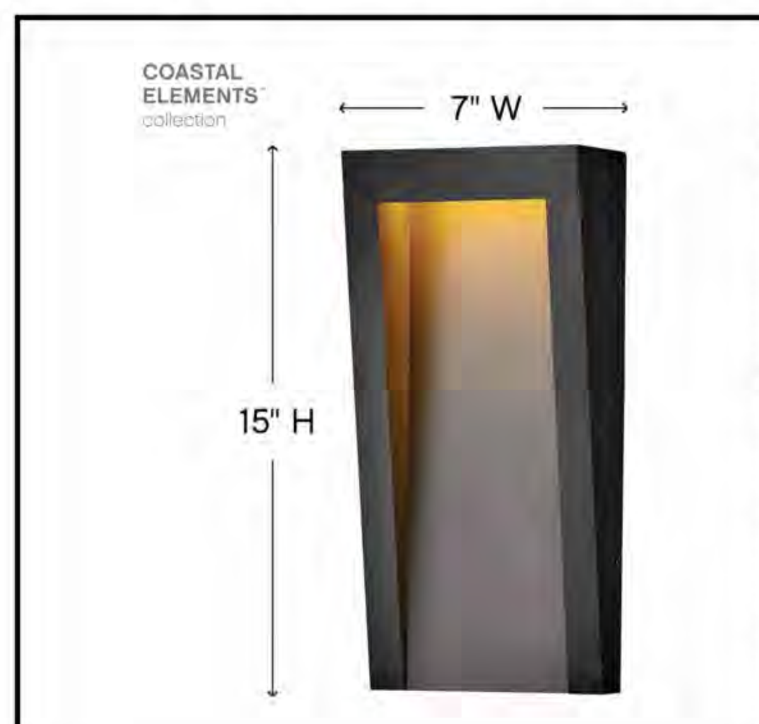
DRIVEWAY
WALL SCONCE



DETAILS	
FINISH:	Satin Black
MATERIAL:	Aluminum
GLASS:	Etched
DIMENSIONS	
WIDTH:	4.5"
HEIGHT:	3"
DEPTH:	1
EXTENSION:	1"
LIGHT SOURCE	
LIGHT SOURCE:	Integrated LED
LED NAME:	ETP15
VOLTAGE:	12v
COLOR TEMP:	2700
CRI:	90
INCANDESCENT EQUIVALENCY:	1 x 15w
DIMMABLE:	Yes - MLV On Transformer Primary
TRANSFORMER REQUIRED:	Yes

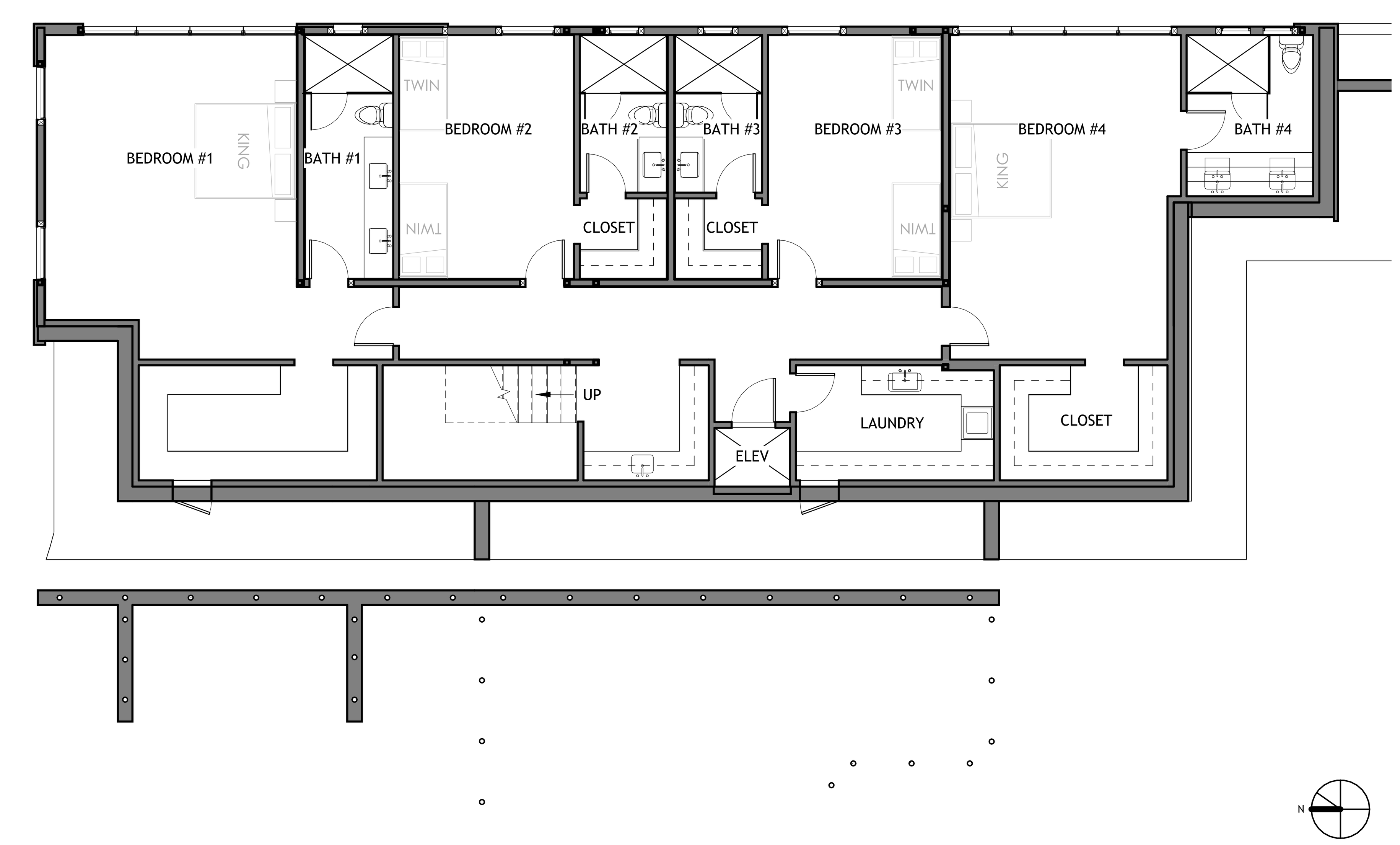
Hinkley Taper Medium Wall Mount Lantern | 2144TK

WALL SCONCE
(GARAGE AND
FRONT ENTRY)



DETAILS	
FINISH:	Textured Black
MATERIAL:	Composite
GLASS:	Etched
DIMENSIONS	
WIDTH:	7"
HEIGHT:	15"
WEIGHT:	3.5 lbs.
BACK PLATE:	7"W X 15"H
EXTENSION:	3.5"
TOP TO OUTLET:	7.5"
LIGHT SOURCE	
LIGHT SOURCE:	Integrated LED
LED NAME:	L214X-6
WATTAGE:	8w LED *Included
VOLTAGE:	120v
COLOR TEMP:	3000
LUMENS:	600
CRI:	90
INCANDESCENT EQUIVALENCY:	1 x 60w
DIMMABLE:	Yes - CL Type Dimmer (SSL7A)

EXTERIOR LIGHTING SPECIFICATIONS
NO SCALE
6



EXTERIOR LIGHTING PLAN - LOWER LEVEL
1/8" = 1'-0"
3

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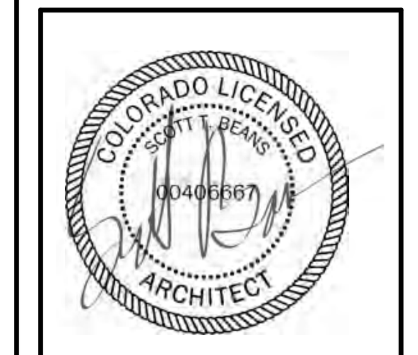
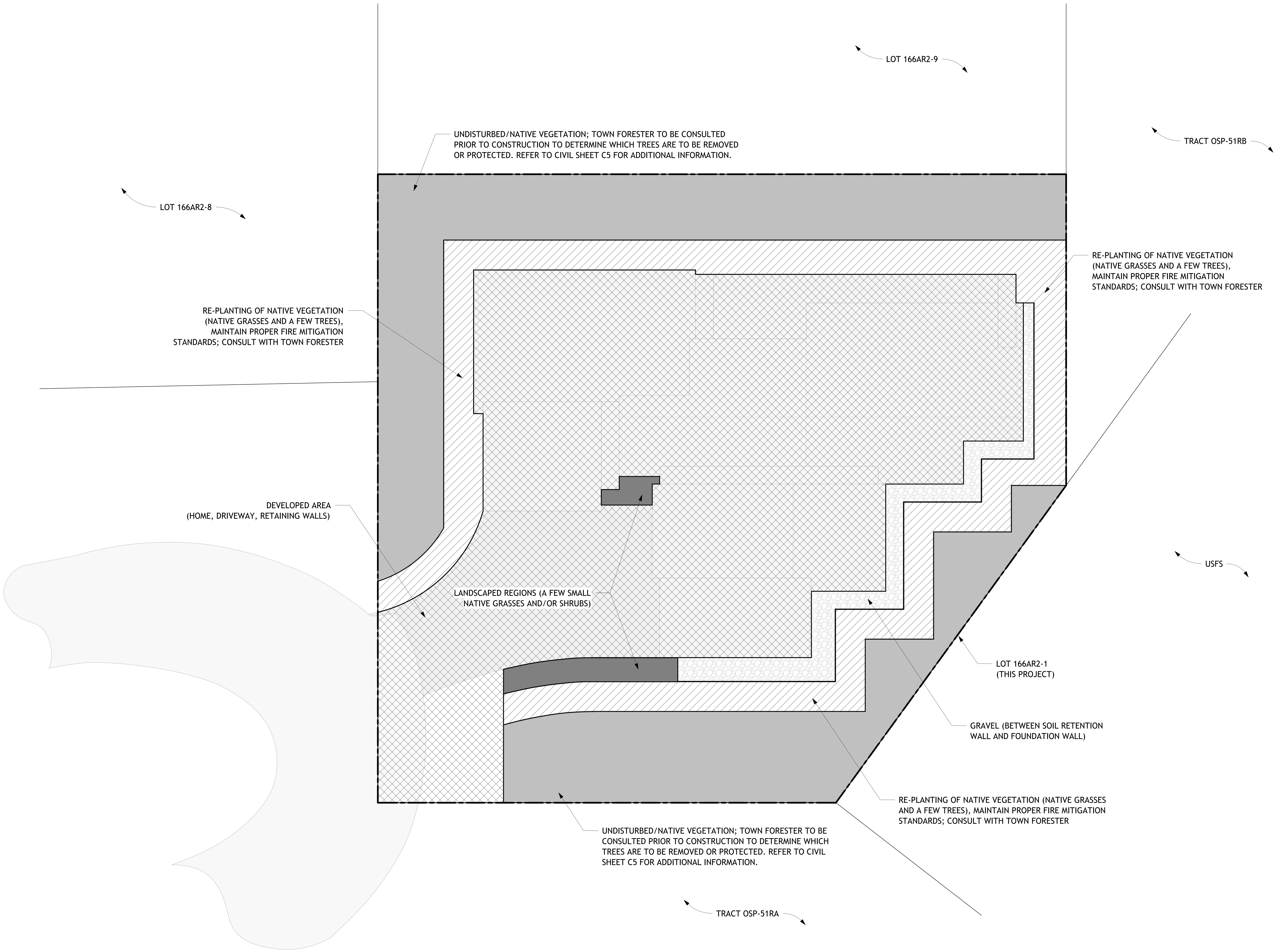


EXTERIOR LIGHTING PLANS

NOT FOR CONSTRUCTION

5.15.2024 DRB - FAR

A600



REVEGETATION & LANDSCAPING PLAN
1/8" = 1'-0"
3

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COLORADO LICENSED ARCHITECT

REVEGETATION & LANDSCAPING PLAN

NOT FOR CONSTRUCTION

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L001