

**TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING AGENDA
THURSDAY OCTOBER 3, 2024, 10:00 AM
MOUNTAIN VILLAGE TOWN HALL
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO
TO BE HELD HYBRID THROUGH ZOOM:
<https://us06web.zoom.us/j/89121127945>
Meeting ID: 891 2112 7945**

Zoom participation in public meetings is being offered as a courtesy, however technical difficulties can happen, and the Town bears no responsibility for issues that could prevent individuals from participating remotely. Physical presence in Council chambers is recommended for those wishing to make public comments or participate in public hearings.

Agenda Item	Time	Min.	Presenter	Type	Item Description
1.	10:00	0	Chair	Chair	Call to Order
2.	10:00	2	Howe	Action	Reading and Approval of Summary of Motions of the September 5, 2024, Design Review Board Meeting.
3.	10:02	30	Nelson/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a new single-family detached condominium at Lot 1 Unit 21, Knoll Estates Unit 2, TBD Fairway Dr, pursuant to CDC Section 17.4.11.
4.	10:32	30	Perez/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a new single-family detached condominium at Lot 649R, TBD Boulders Way Unit 10, pursuant to CDC Section 17.4.11.
5.	11:02	45	Perez/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a new single-family home at Lot 1004BR, TBD Victoria Drive, pursuant to CDC Section 17.4.11.
6.	11:47	15	Lunch	Lunch	Lunch
7.	12:02	10	Perez/ Applicant	Quasi-Judicial	Review and Recommendation to Town Council regarding a Density Transfer and Rezone Application for Lot 644, TBD Adams Ranch Rd (Meadowlark), pursuant to CDC section 17.4.9 and 17.4.10.
8.	12:12	10	Perez/ Applicant	Quasi-Judicial	Review and Recommendation to Town Council regarding a Density Transfer and Rezone Application for Lots 1001 and 1005, 415 Mountain Village Blvd, pursuant to CDC sections 17.4.9 and 17.4.10.
9.	12:22	15	Nelson/ Applicant	Quasi-Judicial	Review and Recommendation to Town Council regarding a CDC Amendment to CDC Section 17.5.14 Private Art, pursuant to CDC Section 17.1.7.

**DESIGN REVIEW BOARD MINUTES
TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING
SEPTEMBER 5, 2024, 10:00 AM**

Call to Order

Chair **Brown** called the meeting of the Design Review Board DRB of the Town of Mountain Village to order at 10:00 a.m. on September 5, 2024.

Attendance

The following Board members were present and acting:

Banks Brown
Ellen Kramer
David Craige
Greer Garner
Liz Newton
Adam Miller
Scott Bennett
Jim Austin

The following Board members were absent:

David Eckman

Town Staff in attendance:

Amy Ward – Community Development Director
Drew Nelson – Senior Planner
Claire Perez – Planner II (via Zoom)
Erin Howe – Planning Technician
Mae Eckard – Administrative Assistant II Town Hall & Housing (via Zoom)

Public Attendance:

Kristine Perpar
Chris Hawkins
Tommy Hein
Thomas Kennedy
Doug Meade
Ken Watt

David Ballode
Beau Bailic

Public Attendance via Zoom:

Dave Bulson
Juan Carlos Casas
Michael Sondermann
Trevor Martin
Chris Hawkins
Bertrand Serlet
Yanjing Chen

Item 2. Approval Of Previous Minutes.

On a **MOTION** by **Bennett** and seconded by **Garner** the DRB voted **unanimously** to approve the summary of motions of the August 1, 2024, Design Review Board meeting minutes.

Item 3. Worksession: Lot 1171R, TBD San Joaquin Rd

Drew Nelson: Presented as Staff
Chris Hawkins and Tommy Hein: Presented as Applicants
Public Comment: None

Item 4. Request to Table Consideration of a Design Review: Final Architecture Review for a new single-family home at Lot 344R, 111 Rocky Rd, pursuant to CDC Section 17.4.11.

Claire Perez: Presented as Staff
N/A: Presented as Applicant
Public Comment: None

On a **MOTION** by **Craige** and seconded by **Bennett** the DRB voted **unanimously** to **approve** the request to table the consideration of a Design Review: Final Architecture Review for a new single-family home on Lot 344R, 111 Rocky Rd, pursuant to CDC Section 17.4.11., based on the evidence provided in the staff memo of record dated DAY, YEAR, and the findings of the meeting.

Item 5. Consideration of a Design Review: Final Architecture Review for a new single-family detached condominium at Lot 649R, TBD Boulders Way Unit 11, pursuant to CDC Section 17.4.11. This item was previously noticed for this date, but was re-noticed for an earlier date, August 1, 2024. This item will not be reviewed at today's hearing.

Item 6. Consideration of a Density Transfer and Rezone to Lots 373R/374R, 539 Benchmark, pursuant to CDC Sections 17.14.9 and 17.4.10.

Drew Nelson: Presented as Staff

Thomas Kennedy: Presented as Applicant

Public Comment:

On a **MOTION** by **Garner** and seconded by **Bennett** the DRB voted **unanimously** to recommend approval to Town Council of the Consideration of a Density Transfer and Rezone to Lots 373R/374R, 539 Benchmark, pursuant to CDC Sections 17.14.9 and 17.4.10., based on the evidence provided in the staff memo of record dated August 28, 2024, and the findings of this meeting.

With the following conditions:

- 1. Prior to the recordation of the associated ordinance approving the Density Transfer and Rezone, the owner must obtain Town Council approval of the Class 5 Minor Subdivision.*
- 2. The owner of record of density in the density bank, shall be responsible for all dues, fees, and any taxes associated with the assigned density and zoning until such time as the density is either transferred to a lot or another person or entity.*

Item 7. Consideration of a Design Review: Specific Approval for roofing material in the Village Center on Lot 34, 129 Lost Creek Lane, pursuant to CDC Section 17.4.11.

Claire Perez: Presented as Staff

Ken Watt and Doug Meade: Presented as Applicants

Public Comment: None

On a **MOTION** by **Newton** and seconded by **Craige** the DRB voted **unanimously** to **approve** the Consideration of a Design Review: Specific Approval for roofing material in the Village Center on Lot 34, 129 Lost Creek Lane, pursuant to CDC Section 17.4.11., based on the evidence provided in the staff memo of record dated August 23, 2024, and the findings of this meeting,

And with the following conditions:

- 1) *Prior to finalization of the building permit, Planning Staff shall verify compliance with the approved design shown in the attached plans.*
- 2) *Snow fencing shall be installed per the CDC requirements for pedestrian walkways.*
- 3) *Any guttering as applicable shall be of a like material and color to the proposed metal roofing. The guttering shall not be pre-manufactured K-style guttering.*
- 4) *Prior to issuance of the Building Permit, the applicant shall provide a construction mitigation plan demonstrating areas for material staging and demo to the Town's Building Official.*
- 5) *Applicable Town fees and taxes shall be paid prior to commencing the activity or prior to the Town issuing a permit, as applicable, including but not limited to the Town's use tax.*
- 6) *Trees shall have tree protection fencing installed at a minimum of the dripline of each tree. No backfill, excavation, trenching, staggging, material storage, or concrete waste shall be permitted within the tree protection zone of any tree. If any of the above activities need to occur within the tree protection zone of any tree, permission must first be obtained from a Planning Department staff member to either authorize adjustments to the tree protection zone or to issue a tree removal permit so the tree may be removed.*
- 7) *Any landscape disturbance caused by construction activities must be revegetated using town approved seed mix.*

Item 8. Consideration of a Design Review: Final Architecture Review for Lot BC110RR, TBD Lawson Overlook, pursuant to CDC Section 17.4.11.

Drew Nelson: Presented as Staff

Kristine Perpar: Presented as Applicant

On a **MOTION** by **Craige** and seconded by **Kramer** the DRB voted **unanimously** to **approve** the Final Architecture Review for Lot BC110RR, TBD Lawson Overlook, pursuant to CDC Section 17.4.11., based on the evidence provided in the staff memo of record dated June 18, 2024, and the findings of this meeting, with the following specific approvals:

DRB Specific Approvals:

- 1) Grading in the General Easement

And with the following conditions:

- 1) *Prior to building permit, the applicant shall update the landscape plan to indicate trees to be removed within the Zone 1 Fire Mitigation area of the site.*
- 2) *Per CDC Section 17.3.9, Housing Impact Mitigation requirements for this development application are set at 75% as the application was first submitted in 2024.*

- 3) *The applicant shall work with Public Works and utility providers to finalize the utilities plan as a condition of approval prior to building permit.*
- 4) *A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.*
- 5) *An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.*
- 6) *A Knox Box for emergency access is recommended.*
- 7) *Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one-hour assembly by the Building Official or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) – Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.*
- 8) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
 - a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
 - b. *Wood that is stained in the approved color(s);*
 - c. *Any approved metal exterior material;*
 - d. *Roofing material(s); and*
 - e. *Any other approved exterior materials*
- 9) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*
- 10) *Prior to Building Permit, the applicant shall revise the address monument lighting for staff level review.*

Item 9. Adjourn

The DRB voted **unanimously** to adjourn the September 5, 2024, Design Review Board Meeting at 11:24AM.

Prepared and submitted by,

Erin Howe, Planning Technician

DRAFT



TO: Mountain Village Design Review Board
FROM: Drew Nelson, Senior Planner
FOR: Design Review Board Public Hearing; October 3, 2024
DATE: September 24, 2024
RE: Staff Memo – Final Architecture Review (FAR) Lot 1, Unit 21, TBD Fairway Drive, pursuant to the CDC

APPLICATION OVERVIEW: New Single-Family Detached Condominium Residence on Lot 1, Unit 21

PROJECT GEOGRAPHY

Legal Description: UNIT 21, THE KNOLL ESTATES, A CONDOMINIUM, AS DEFINED AND DESCRIBED IN THE AMENDED AND RESTATED CONDOMINIUM DECLARATION RECORDED JULY 22, 2005 UNDER RECEPTION NO. 376405 AND FIRST AMENDMENT RECORDED SEPTEMBER 25, 2009 UNDER RECEPTION NO. 409017 AND SUPPLEMENT RECORDED OCTOBER 10, 2017 UNDER RECEPTION NO. 450743 AND ACCORDING TO THE CONDOMINIUM MAP RECORDED MARCH 29, 1990 IN PLAT BOOK 1 AT PAGE 1023, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

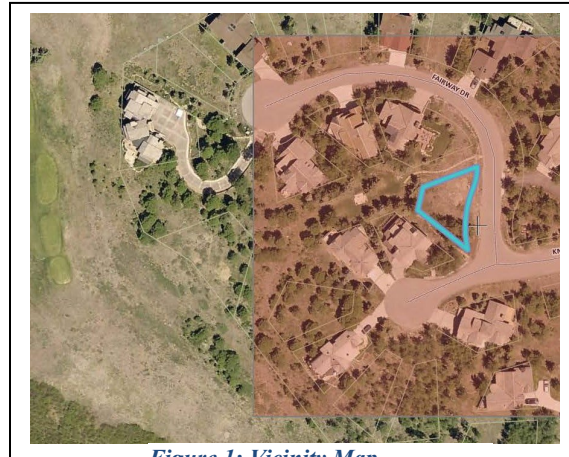


Figure 1: Vicinity Map

Address: TBD Fairway Drive

Applicant/Agent: Kristine Perpar, Shift Architects

Owner: Thomas E. Tompros and Evan E. Tompros

Zoning: Multifamily

Existing Use: Vacant

Proposed Use: Single-Family Detached Condominium Residence

Lot Size: .097 acres

Adjacent Land Uses:

- **North:** Single-Family Residence
- **East:** Single-Family Residence
- **West:** Single-Family Residence
- **South:** Single Family Residence

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comments

Case Summary: Kristine Perpar, on behalf of owners Thomas and Evan Tompros, is requesting Design Review Board (DRB) approval of a Final Architectural Review (FAR) application for a new single-family detached condominium residential unit on Lot 1, Unit 21, TBD Fairway Drive, located in Knoll Estates. The lot is .097 acres in size and is zoned Multifamily. The proposed design consists of a three-story structure, with a lower level partially underground. The overall square footage of the home is 3,421.63 square feet, with 2,909.54 square feet of habitable interior space. Two parking spaces are provided interior to the garage, with access provided by Fairway Drive. The proposed driveway is 25.78 feet in length at a slope of 4.33%.

The proposed design includes a mix of stone with wood siding, along with a metal roof. The applicant is requesting a building-mounted address plaque, requiring a Design Variation.

This project was initially reviewed by the DRB on August 1, 2024, and was approved unanimously with conditions.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	40' (gable) Maximum	34.00' (post const.)
Avg. Building Height	35' (gable) Maximum	24.89'
Maximum Lot Coverage	65% (2,746.49 sq ft)	17.08% (2,105 sq ft)
General Easement Setbacks	No General Easement	No General Easement
Roof Pitch		
Primary		8:12
Secondary		3:12
Exterior Material		
Stone	35% minimum	41%
Windows/Door Glazing	40% maximum	17%
Metal	n/a	n/a
Wood	n/a	40%
Parking	2 enclosed	2 enclosed

Design Review Board Specific Approval:

- 1) *Grading in the General Common Element*

Design Variation

- 1) *Building-Mounted Address Plaque*

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.3 Use Schedule

Staff: The applicant has identified that this structure is a single-family detached condominium residence, and the lot is located in the Multifamily zone district. According to Table 3-1 Town of Mountain Village Land Use Schedule, a single-family detached condominium residence is an allowable use in the Multifamily zone district.

17.3.13 Maximum Lot Coverage

Staff: The maximum lot coverage for single-family detached condominium homes in the Multifamily zone district is 65%. The property is .097 acres in size, or 4,225 square feet. On this site, the maximum allowable site coverage is 2,400 square feet per the HOA. The proposed structure covers 2,105 square feet, or 49.82% of the site, and is below the 65% threshold.

17.3.11 and 17.3.12: Building Height and Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates a gable roof form. Single-family detached condominium residences with gabled roofs are granted a maximum height of 40 feet and an average height of 35 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: The primary roof form of the proposed structure is gabled and is therefore granted a maximum height of 40 feet and an average height of 35 feet. The applicant has indicated that the maximum height of the current proposed structure is 34.00 feet and has an average height of 24.96 feet (Sheet A2.1 of the attached plan set). The CDC requires that height is demonstrated relative to both existing and proposed grade and that the most restrictive measurements be used to determine height. This application meets the requirements of the CDC for height

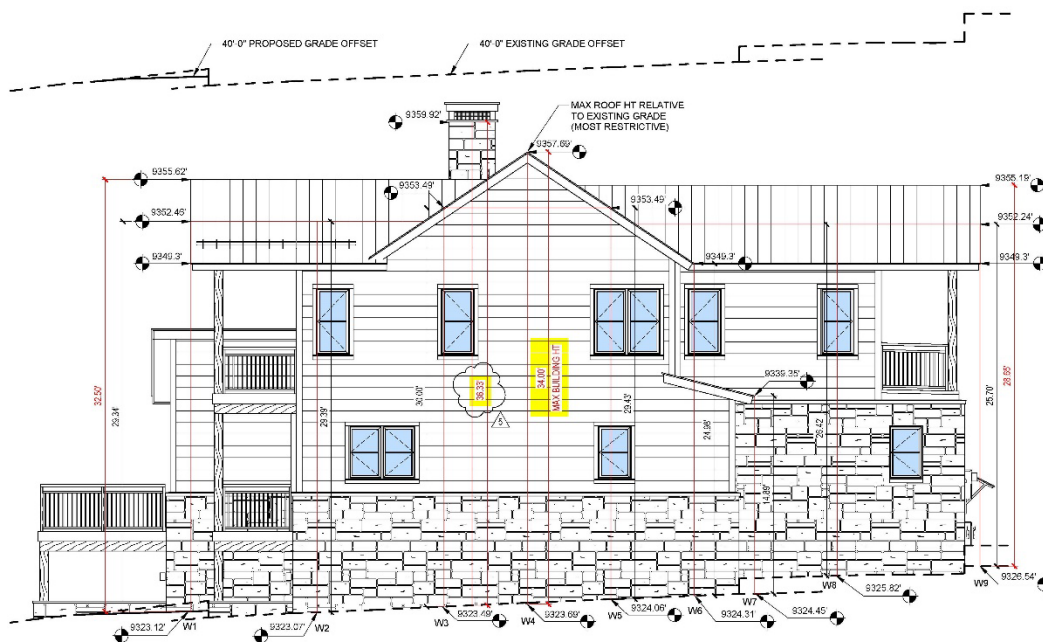


Figure 2: West Elevation

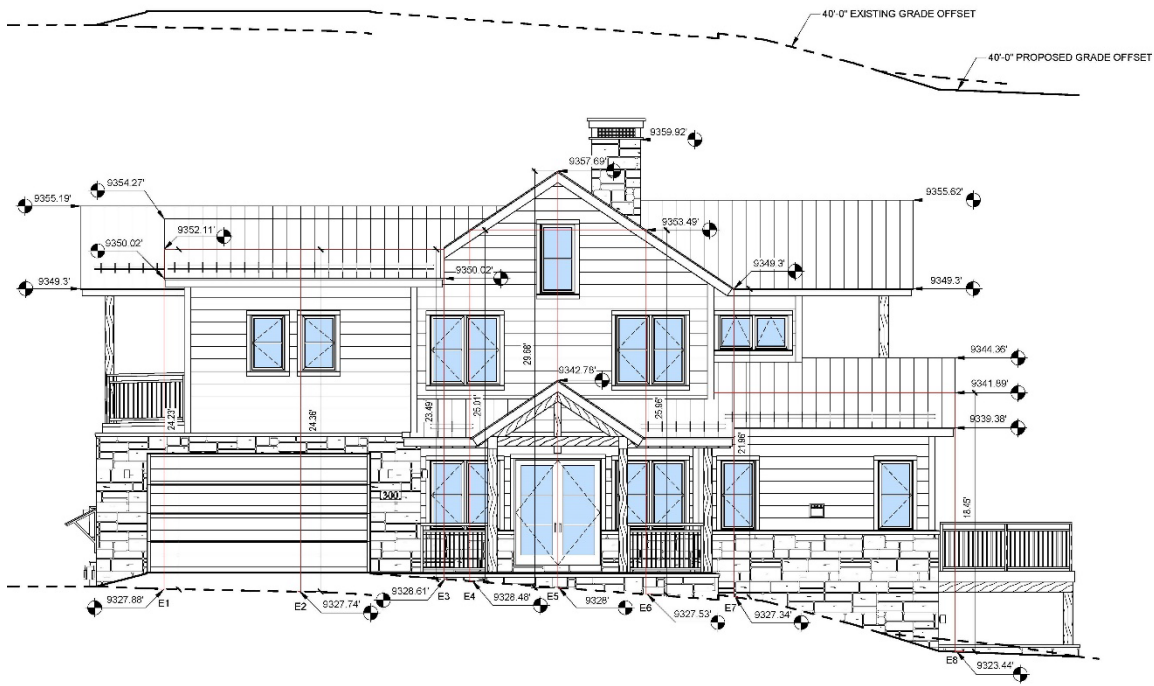


Figure 3: East Elevation

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The proposed design seeks to mimic the current architectural style found in the Knoll Estates subdivision and Mountain Village by adapting it to suit the challenging alpine building conditions. The proposed design preserves the traditional choice of materials commonly found in Mountain Village, showing sensitivity to the architectural context of the neighborhood and community.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

Staff: The applicant has proposed to locate the structure centrally on the lot, within the property lines as created by the Knoll Estates subdivision plat. Due to this property being a single-family detached condominium in the Multifamily zone district, there are no General Easements in the Knoll Estates subdivision. Rather, there are units within the overall lot (Lot 1) with General Common Elements (GCEs) located between the units. Existing trails are on the north and west sides of the proposed structure.

Lot 1 Unit 21 has an established building envelope, and the development may occupy up to the extend of the envelope per the subdivision's original approval. Per Chapter 17.8 of the CDC, a building envelope must contain all grading, clearing, excavation, development, drainage, and other improvements. Driveways and utilities are allowable exceptions, and are currently shown outside the building envelope. This includes a walkway connecting the driveway to the front door along with two exterior landscaping areas. The applicant has provided signed approval by the Knoll Estates HOA for the proposed design.

The applicant is showing utilities connecting through the GCE for water, gas, and electrical service in Fairway Drive, and with sewer service connecting to an existing sanitary main on the northwest side of the structure in the GCE. The applicant is showing a very small area of grading outside the building envelope, requiring a Specific Approval by the DRB.

17.5.6: Building Design

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. Roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation is required. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

Staff: Staff comments regarding each of the relevant subsections are below.

Building Form:

The form of the proposed residential structure follows an alpine mountain design related to the mining traditions in the region and is grounded to withstand the extreme natural forces of wind, snow, and heavy rain. The proposed use of stone at the base reinforces this requirement. Staff believes the design meets the overall standards of the CDC.

Exterior Wall Form:

The proposed residential structure has exterior walls that are relatively simple in design and portray a massing that is substantially grounded to the site, while simultaneously evoking the designs commonly found in Mountain Village. This is reinforced through the use of stone materials as the base and wood siding above.

Roof Form:

The roof design is a gabled form with an 8:12 pitch that has variation to create unique pitches with dormers and shed roofs to give variety to the roof. The roof material is standing seam metal in dark bronze, which staff and the DRB have accepted as meeting the gray coloration required by the CDC. The applicant has indicated a desire to use metal fascia, which requires a Specific Approval.

Chimneys, Vent and Rooftop Equipment Design:

The applicant has redesigned the chimney location from the Initial Architecture and Site Review. The previous design had a chimney in the front of the building, whereas now it is located centrally to the structure in a more appropriate location.

Exterior Walls Materials and Color:

The building utilizes gold Telluride stone veneer at the base of the home. The design includes wood shiplap siding for 40% of the exterior elevations. Stone walls account for approximately 41 percent of exterior materials, which meets the minimum 35 percent stone requirement. The applicant has indicated that the fascia will be made of metal, needing a Specific Approval from the DRB.

Glazing:

The maximum window area of the building, including window and door glazing, is approximately 17% of the total building façade.

Doors and Entryways:

Sheet A8.1 provides the window sill and jamb designs. The applicant has indicated that the windows and doors will be dark "luxury bronze" matte aluminum clad, which would complement the dark bronze standing seam metal roof. All windows set in stone are proposed to meet the 5-inch offset required by the CDC.

Decks and Balconies:

The three proposed balconies enhance the overall architecture of the building by creating variety and detail on the exterior elevations as outlined in the CDC and provide exterior outdoor space on a relatively small lot.

Required Surveys and Inspections:

The applicant has provided information indicating the maximum building height and the maximum average building height. A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

17.5.7: Grading and Drainage Design

Staff: Minimal site grading will be necessary due to the flat nature of the site. The applicant has shown some grading off the building envelope in the GCE on both the north and east sides of the home to accommodate the structure. Grading outside the building envelope requires a Specific Approval by the DRB. This grading in the GCE has been approved by the Knoll Estates HOA.

17.5.8: Parking Regulations

Staff: The proposed design includes two (2) internal parking spaces located in the garage (see Figure 4). Section 17.5.8 of the CDC requires a minimum of two (2) parking spaces for all units located in a Single-family common interest community, which is the official designation of the Knoll Estates subdivision. This design meets the requirements of the CDC.

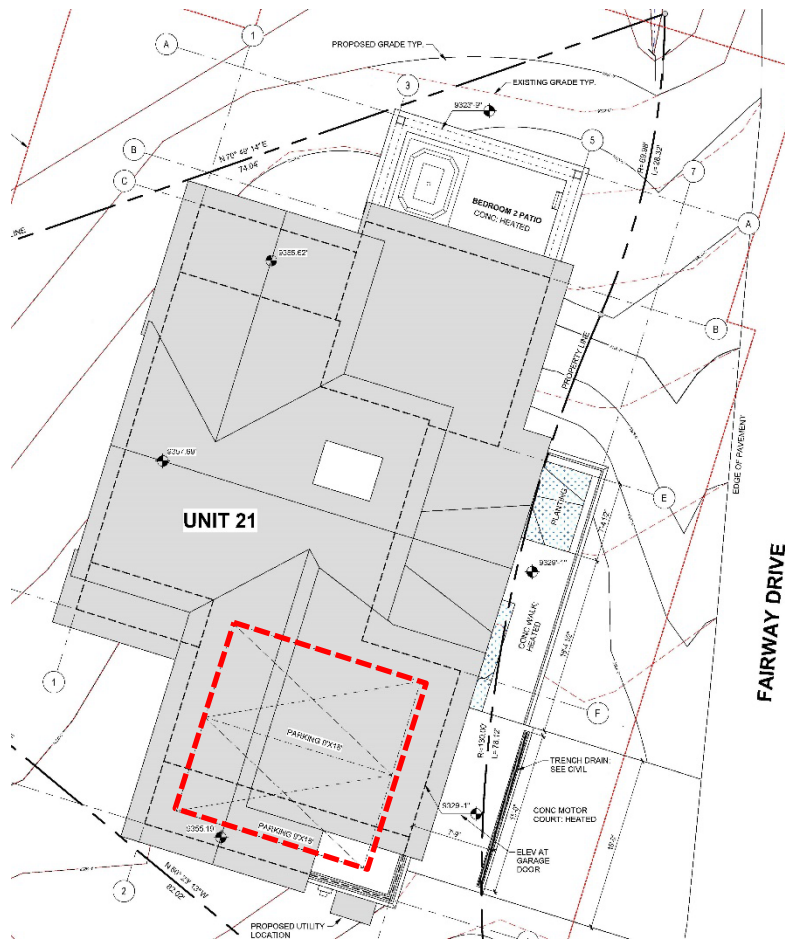


Figure 4: Site Plan – Proposed Parking

17.5.9: Landscaping Regulations

Staff: An initial landscaping plan was provided on Sheets A1.3 through A1.5. The applicant is proposing the addition of 5 Aspen trees or multi-stems, 9 chokecherry shrubs, and 76 square feet of perennial beds in the front of the home. One existing Aspen tree located within Zone 1 is proposed to be removed on the south side of the home.

The Town Forester provided the following comments:

“The landscape plan, sheet A1.3 needs to include a tree planting detail that shows the proper location of the trunk flare in relationship to the grade and other details such as planting hole shape, etc. This sheet also needs a note stating that “all trees to be retained must have tree protection fencing installed at the dripline of the trees or beyond before excavation may begin.

A note needs to be included on the grading or landscape plan that states “A Town of Mountain Village Tree Removal Permit is required before any trees may be removed for development.”.”

All recommendations from the Town Forester were incorporated into the landscape plan prior to Final Architectural Review, which was a requirement of the IASR approval.

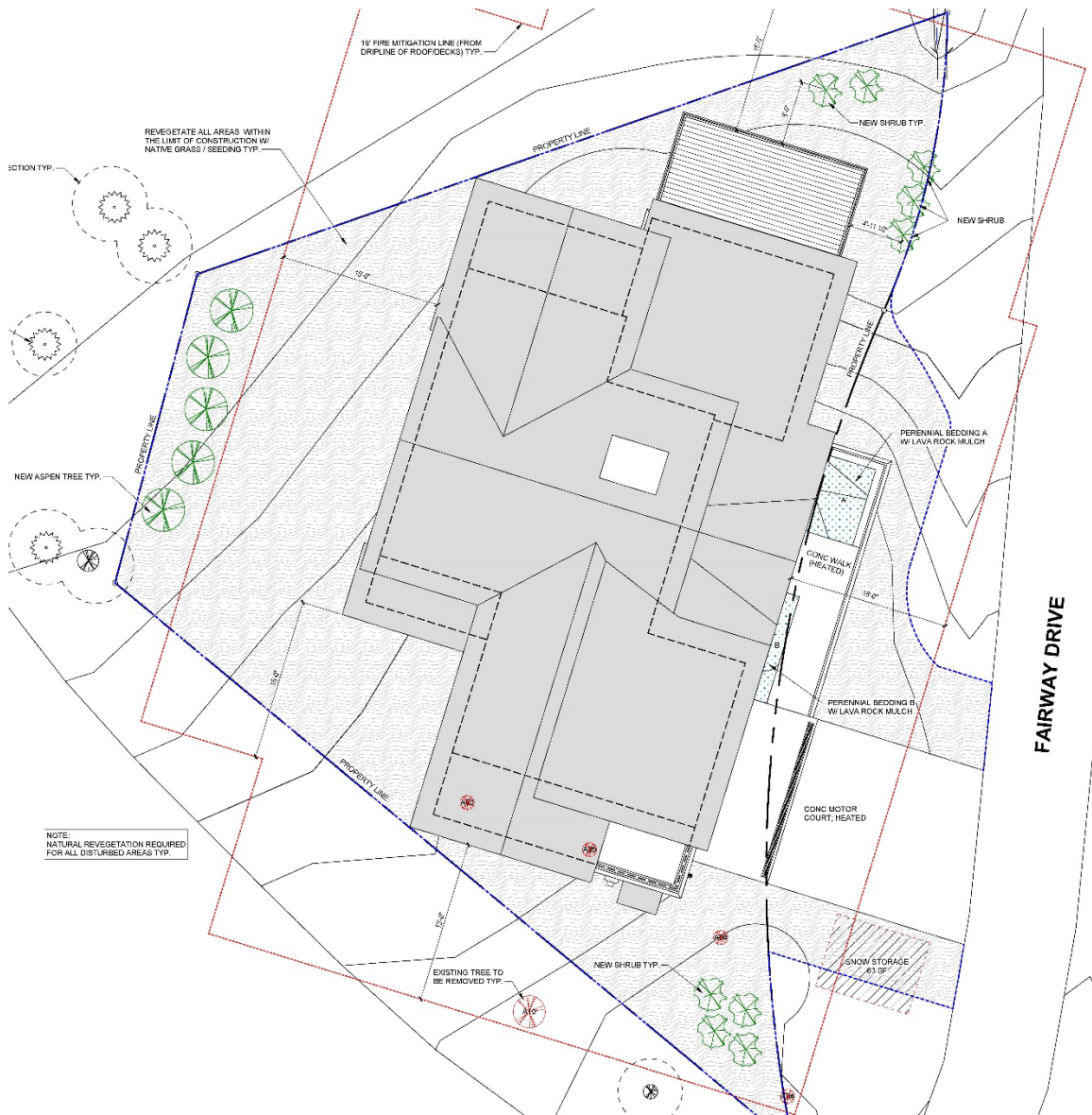


Figure 5: Landscape Plan

17.5.10: Trash, Recycling, and General Storage Areas

Staff: The applicant has shown the trash and recycling areas internal to the garage on the unit (Sheet A3.2). This complies with the provisions of the CDC.

17.5.11: Utilities

Staff: Utilities are in the roadway for Fairway Drive as well as in the GCE adjacent to the home, and currently provide services to homes in the neighborhood. The utility plan, as presented on Sheet C3 within the submitted documentation, indicates that all utility connections will be coordinated with the proper authorities, including the Town of Mountain Village. The Public Works Department provided the following referral comments:

“Parking will be an issue on this one as well. Three spaces indicated on the mitigation plan will not be enough and there are not many other areas to be utilized in this area.

Public Works will need to field verify the location of our water main in the area. Sewer connection looks good.”

The Town did not receive comments from the Telluride Fire Protection District.

17.5.12: Lighting Regulations

Staff: The applicant has provided an initial lighting plan on Sheet LTG1.1 of Exhibit A. This illustrates the lighting types and locations. The plan proposes the use of two exterior lighting fixtures: an exterior sconce and a step light. The wall sconces are proposed on the lower level patios and adjacent to the front door and garage, while the recessed step lights are proposed around doors on upper level decks. All lighting fixtures meet the requirements of the CDC.



Figure 6: Exterior Sconce



Figure 7: Step Light

17.5.13: Sign Regulations

Staff: The applicant is proposing wall-mounted address numbers to be placed on the east elevation facing Fairway Drive, adjacent to the garage. The CDC allows homes that are located within 20’ of the roadway to attach address identification numbers to the building with DRB and Fire District approval. Because the home is more than 20’ from the roadway, the address plaque will require a Design Variation. The applicant has indicated that the address plaque will be illuminated by an exterior wall sconce adjacent to the garage.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation Plan is not required for the initial review but was provided by the applicant. The applicant is required to provide it for the final review, and incorporated the comments from the Town Forester as noted for the landscape plan to meet a condition of the IASR approval.

17.6.6: Roads and Driveway Standards

Staff: The project will directly access Fairway Drive. The CDC requires at least 25’ of backing space for garages that back out onto the road. The driveway is 25.78’ in length, meeting the standards of the CDC. As noted earlier, the driveway grade of 4.33% also meets the standards of the CDC.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the fireplace in the proposed structure will be natural gas, which meets the requirements of the CDC.

Chapter 17.7: BUILDING REGULATIONS

17.7.20: Construction Mitigation

Staff: A Construction Mitigation Plan was provided in the plan set. The applicant has indicated 5 parking spaces for workers, which makes the site and neighborhood quite a challenge due to the number of workers anticipated. The applicant revised the construction mitigation plan to add two construction parking spaces; however, special attention should be provided to ensure congestion in the neighborhood is limited to the greatest extent possible during construction of the unit.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Staff Recommendation:

Staff suggests the following motion for **approval** of the Final Architecture Review:

I move to approve the Final Architecture Review for a new single-family detached condominium residence located at Lot 1 Unit 21, TBD Fairway Drive, based on the evidence provided in the staff memo of record dated September 24, 2024, and the findings of this meeting, with the conditions as noted in the staff report.

With the following Specific Approvals and Design Variation:

Design Review Board Specific Approval:

- 1) *Grading in the General Common Element*

Design Variation

- 1) *Building-Mounted Address Plaque*

Conditions:

- 1) *Per CDC Section 17.3.9, Housing Impact Mitigation requirements for this development application are set at 75% as the application was first submitted in 2024.*
- 2) *The applicant shall work with Public Works and utility providers to finalize the utilities plan as a condition of approval prior to building permit.*
- 3) *The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.*
- 4) *A Knox Box for emergency access is recommended.*
- 5) *Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 75% since the application was submitted and deemed complete 2024.*
- 6) *Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) – Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.*

- 7) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
- a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
 - b. *Wood that is stained in the approved color(s);*
 - c. *Any approved metal exterior material;*
 - d. *Roofing material(s); and*
 - e. *Any other approved exterior materials*
- 8) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*

Should the DRB choose to require additional information be provided prior to consideration of the Final Architecture Review, staff recommends the following motion:

I move to continue the Final Architecture Review for a new single-family home located at Lot 1 Unit 21, TBD Fairway Drive to the _____, 2024, regular Design Review Board meeting.



The following document contains drawings and plan sets that are not accessible to screen readers. For assistance in accessing and interpreting these documents, please email cd@mtnvillage.org or call (970) 728-8000

GENERAL NOTES:

CONTRACT DOCUMENTS:

CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, DETAIL BOOK AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTES WITH "N.T.S." DENOTES NOT TO SCALE.

ORGANIZATION:

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), CIVIL DRAWINGS (C SHEETS), STRUCTURAL (S SHEETS), MECHANICAL AND PLUMBING (M SHEETS), ELECTRICAL (E SHEETS) AND LIGHTING (LTG SHEETS).

CODE COMPLIANCE:

ALL WORK, MATERIALS AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

INTENT:

THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

COORDINATION:

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

SUBSTITUTIONS:

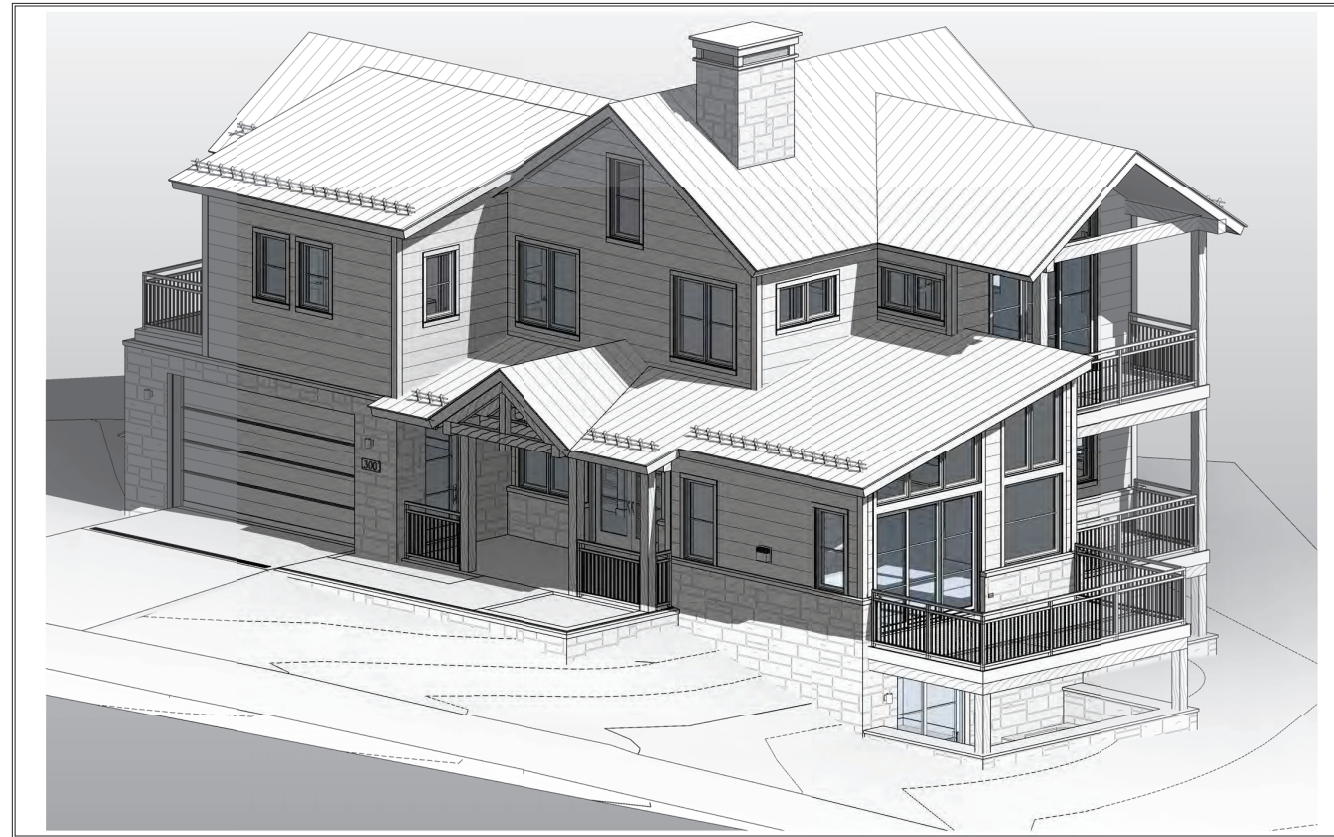
ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED-OUT-BY-TRADE-NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

SHOP DRAWINGS:

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "SUBSTITUTIONS" ABOVE.

SAFETY & PROTECTION OF WORK:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.



P.O. Box 3206
100 W. Colorado Suite 211
Telluride, Colorado 81435
p. 970-275-0263
kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE:
08.07.24 DRB FINAL REVIEW

REVISIONS

NO.	DATE	DESC.
4	08.06.24	Revised building footprint due to elimination of chimney
5	08.06.24	Chimney height
8	08.06.24	Revised max average roof height calculation
15	08.06.24	Revised civil plans

PROJECT CODE INFORMATION

ZONING:	MULTI-FAMILY RESIDENCE (LOT K21)
BUILDING CODE:	2018 IRC AND ALL APPLICABLE CODES AS REQUIRED BY THE TOWN OF MOUNTAIN VILLAGE
	SECOND AMENDED AND RESTATED DECLARATION OF CONDOMINIUM FOR THE KNOLL ESTATES IN ADDITION TO ANY REQUIREMENTS BY THE TOWN OF MOUNTAIN VILLAGE
DESCRIPTION:	MULTI-STORY DWELLING
OCCUPANCY CLASSIFICATION:	R-3
AUTOMATIC FIRE SPRINKLER:	SINGLE-FAMILY DWELLINGS LESS THAN 3,600 SQ. FT. INCLUDING ATTACHED GARAGE, SHALL NOT BE REQUIRED TO BE EQUIPPED WITH A FIRE SPRINKLER SYSTEM
NATIONAL FIRE ALARM & SIGNALING CODE:	MONITORED NFPA 72, 2018 IFC, AND TFPD AMENDED CODES ALARM SYSTEM REQUIRED
EMERGENCY ACCESS:	PROVIDE KNOX BOX FOR EMERGENCY ACCESS
FIRE RESISTIVE RATING:	GARAGE - 1 HR, MECHANICAL - 1 HR
CARBON MONOXIDE DETECTION:	PROVIDED MONITORED DETECTION IN ACCORDANCE WITH 2018 IFC 915.2.1
ELECTRIC VEHICLE CHARGING STATION / OUTLET:	INSTALLED IN ACCORDANCE WITH NFPA 70 AND LOCATED WITHIN 5 FT OF THE GARAGE DOOR

PROJECT INFORMATION

PROPOSED FLOOR AREA:		MAX BUILDING HEIGHT:	
LOWER LEVEL	946.52 SF	ALLOWABLE	40'-0" (35'-0" + 5'-0" GABLE RIDGE, CDC TABLE 3-3 FOOTNOTE 1)
GROUND LEVEL	930.25 SF	PROPOSED	34.0'
UPPER LEVEL	1,032.77 SF		
TOTAL FLOOR AREA:	2,909.54 SF	CHIMNEY HEIGHT:	
GARAGE	512.09 SF	ALLOWABLE	45'-0" (40'-0" + 5'-0" GABLE RIDGE, CDC TABLE 3-3 FOOTNOTE 2)
TOTAL:	3,421.63 SF	PROPOSED	36.33'
LOT AREA:	.097 ACRES (4,225.32 SF)	MAX AVERAGE HEIGHT:	
BUILDING FOOTPRINT:		ALLOWABLE	35'-0" (30'-0" + 5'-0" GABLE RIDGE, CDC TABLE 3-3 FOOTNOTE 1)
ALLOWABLE	2,400 SF	PROPOSED	24.98'
PROPOSED	2,093 SF	KNOLL ESTATES HEIGHT:	
		ALLOWABLE	NON-PERIMETER LOT (REFER TO MOUNTAIN VILLAGE)
		PARKING REQUIRED:	2 SPACES PROVIDED (2 REQUIRED) (2 ENCLOSED IN GARAGE)

SEE SHEET A2.1 FOR MAXIMUM BUILDING HEIGHT CALCULATION

PROJECT TEAM

OWNER: TTET LLC A CO LLC EVAN TOMPROS 270 E COLLEGE DR UNIT 202 DURANGO, CO 81301-5599 etompros@gmail.com	SURVEYOR: FOLEY ASSOCIATES, INC. 125 W. PACIFIC, SUITE B-1 P.O. BOX 1385 TELLURIDE, CO 81435 P. 970.239.1949 F. 970.728.6153 F. 970.728.6050	MECHANICAL: HUGHES CONSULTING ENGINEERING, PA DIMITRI MERRILL, P.E. TELLURIDE, CO 81435 P. 970.239.1949 F. 785.842.2492 dimitri@hce-pa.com
ARCHITECT: SHIFT ARCHITECTS, LLC KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com	CIVIL: UNCOMPAGRE ENGINEERING LLC DAVID BALLODE P.E. PO BOX 3945 TELLURIDE, CO 81435 P. 970.729.0683 dballode@msn.com	LANDSCAPING: SHIFT ARCHITECTS, LLC KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com
GENERAL CONTRACTOR: LUDWIG & SONS LLC 210 COUNTY ROAD X48 TELLURIDE, CO 81435 P. 970.728.5648 ludwigconstruction@hotmail.com	STRUCTURAL: ANVIL ENGINEERING, LLC CHRIS BURNETT, P.E. 3247 E. 7TH AVENUE DURANGO, CO 81301 P. 970.988.2576 chris@anvil-EFD.com	

SHEET INDEX

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- G1.0 COVER SHEET
- G1.1 ABBREVIATIONS AND LEGENDS

CIVIL

- C1 NOTES
- C2 GRADING AND DRAINAGE PLAN
- C3 UTILITY PLAN
- C4 CONSTRUCTION MITIGATION PLAN

SURVEY / MAPPING

- 0 EXISTING CONDITIONS PLAN

ARCHITECTURAL

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- A1.2 BUILDING SITE PLAN
- A1.3 LANDSCAPE PLAN NOTES / LEGEND
- A1.4 LANDSCAPE PLAN
- A1.5 IRRIGATION PLAN
- A2.1 MAX BUILDING HEIGHT
- A2.2 MATERIAL CALCULATIONS
- A2.3 MATERIAL CALCULATIONS
- A3.1 FLOOR PLAN
- A3.2 FLOOR PLAN
- A3.3 FLOOR PLAN
- A3.4 ROOF PLAN
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- A4.1 EXTERIOR ELEVATIONS
- A4.2 EXTERIOR ELEVATIONS
- A4.3 EXTERIOR ELEVATIONS
- A4.4 PRESENTATION ELEVATIONS
- A8.1 DOOR SCHEDULE
- A8.2 WINDOW SCHEDULE

- LTG1.1 EXTERIOR LIGHTING PLAN

VICINITY MAP



SITE LOCATION



LOT 21
THE KNOLL ESTATES
300 FAIRWAY DRIVE,
MOUNTAIN VILLAGE, CO

TOMPROS RESIDENCE

300 FAIRWAY DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

COVER SHEET

SHEET NUMBER

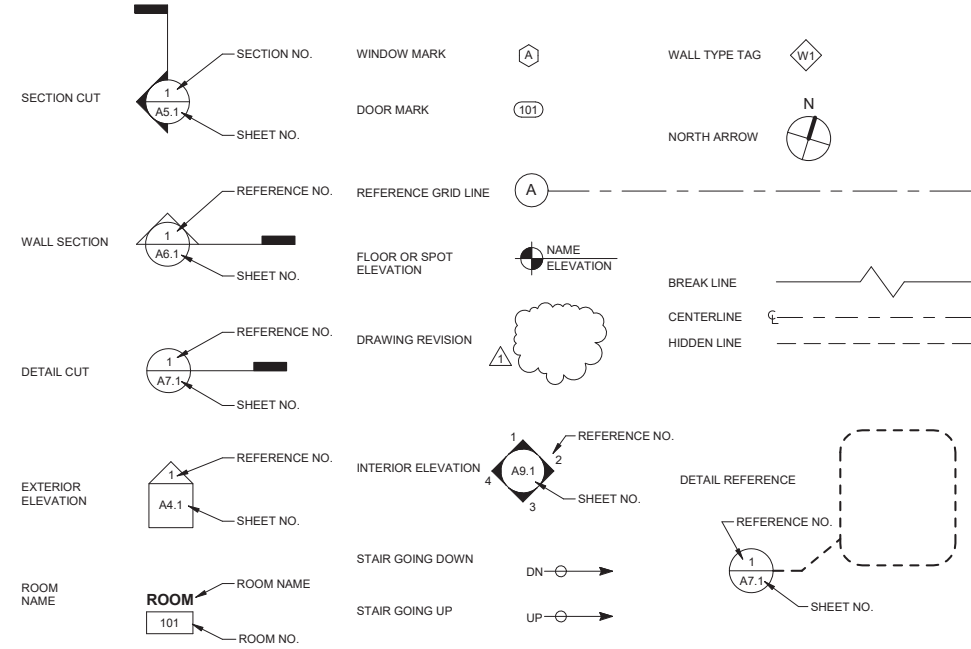
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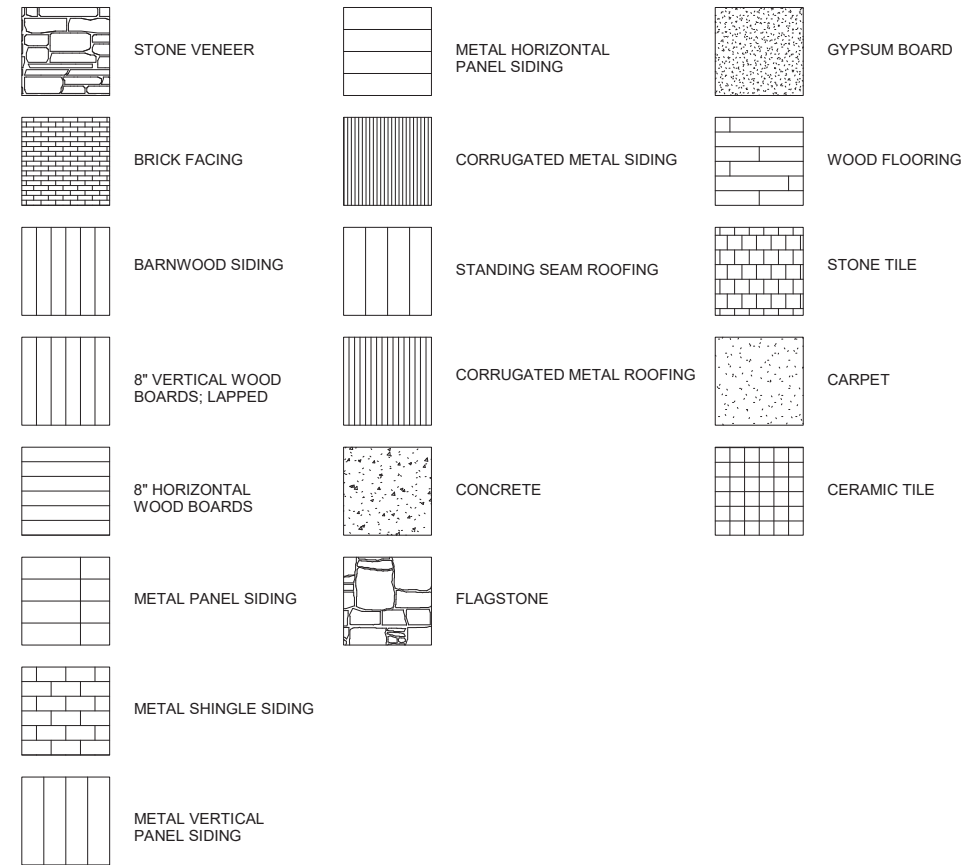
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8/7/2024 12:39:34 PM

SYMBOL LEGEND



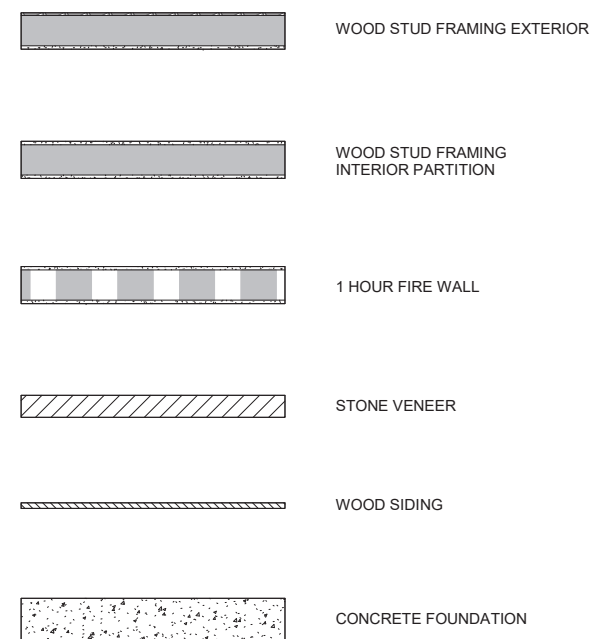
MATERIAL LEGEND



ABBREVIATIONS

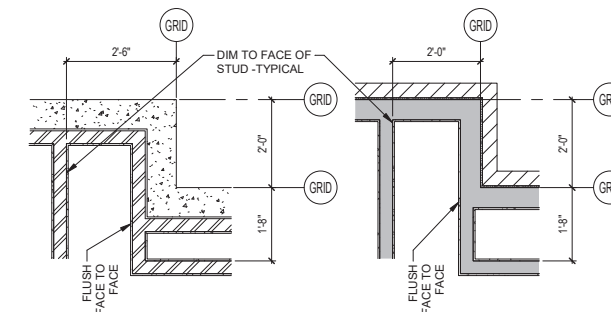
AC	Acres
AFF	Above Finished Floor
AGG	Aggregate
AL	Aluminum
BM	Bench Mark
BSN	Basin
BTH	Bath
CL	Centre Line
CJ	Control Joint
CLST	Closet
CP	Carpet
CT	Ceramic Tile
DIA	Diameter
DP	Downpipe
DW	Dishwasher
EX	Existing
FF	Finished Floor
FHR	Fire Hose Reel
FP	Flue Pipe
GAL	Galvanized
GL	Ground Line
GFI	Ground Fault Circuit Interrupter
GPO	General Power Outlet
IBC	International Building Code
MDF	Medium Density Fibreboard
MR	Metal Roofing
MSB	Main Switch Board
NTS	Not To Scale
PFC	Parallel Flanged Steel Channel
PL	Plastic Laminate
PT	Paint
RC	Reinforced Concrete
REF	Refrigerator
RL	Reduced Level
S	Sanitary Drainage Pipe
SHR	Shower
SK	Sink
SN	Stone
SS	Stainless Steel
ST	S Trap
STF	Steel Trowel Finished Concrete
SW	Stormwater Drainage Line
T&G	Tongue and Grooved
TO	Top Of
TPH	Toilet Paper Holder
TR	Tiled Roofing
TSF	Timber Strip Floor
TYP	Typical
U	Urinal
UOS	Unless Otherwise Specified
V	Valley
VIF	Verify In Field
VP	Vent Pipe
WC	Water Closet (Toilet)
WM	Washing Machine
WPM	Water Proof Membrane

WALL LEGEND



DIMENSIONING LEGEND

- GRIDS ALIGN WITH OUTSIDE FACE OF FOUNDATION WALL AND OUTSIDE FACE OF STUD AT EXTERIOR STRUCTURAL FRAME WALL.
- WALLS AND PARTITIONS SHOWN IN PLAN INCLUDE FINISH MATERIALS.
- DIMENSIONS ARE SHOWN FROM GRID TO GRID, GRID TO FACE OF STUD, AND FACE OF STUD TO FACE OF STUD AT INTERIOR PARTITIONS, TYPICAL.
- INTERIOR PARTITIONS FLUSH FACE TO FACE WITH THEIR EXTERIOR COUNTERPARTS, TYPICAL.



PROJECT DATUM LEGEND

ACTUAL ELEVATION ABOVE SEA LEVEL = PROJECT 0'-0"





Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

HOA SUBMITTAL	2024-04-26
DRB	2024-05-21
DRB	2024-08-07

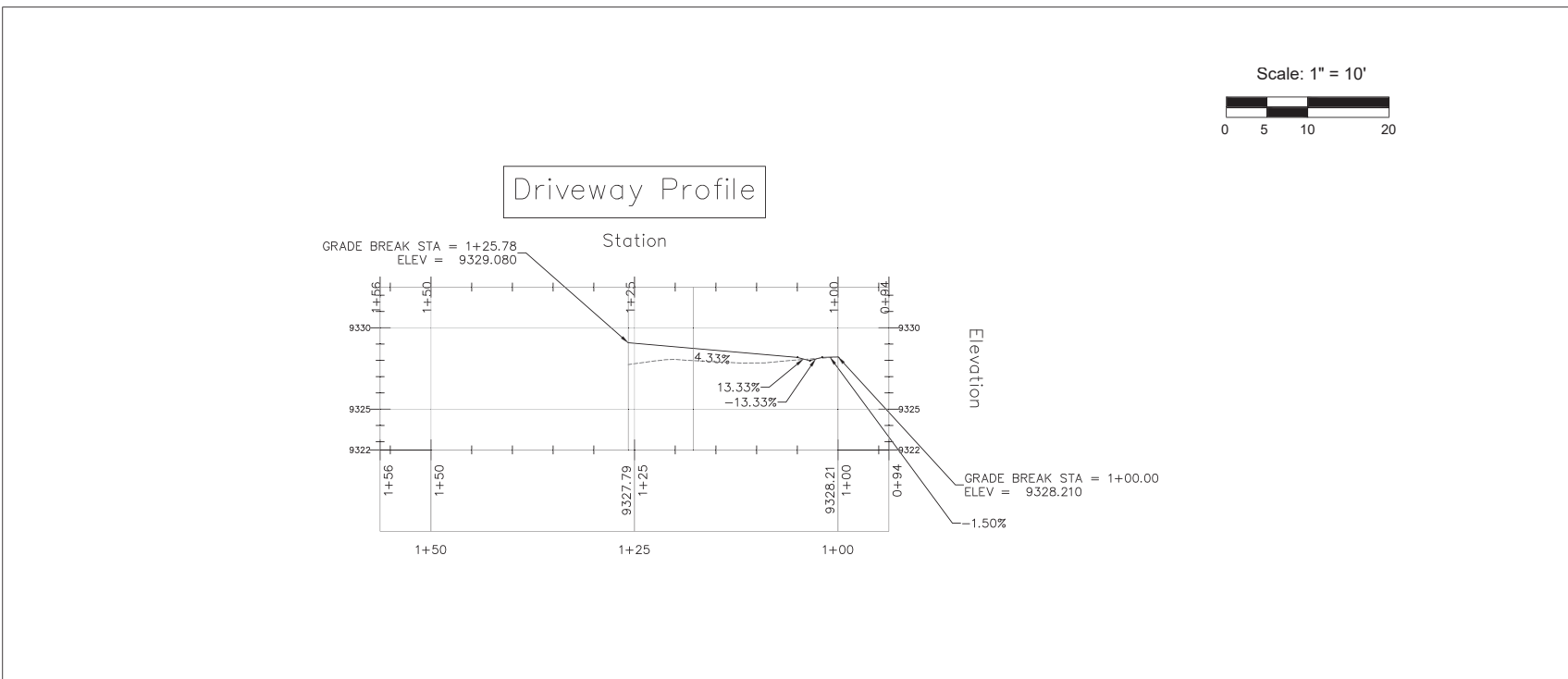
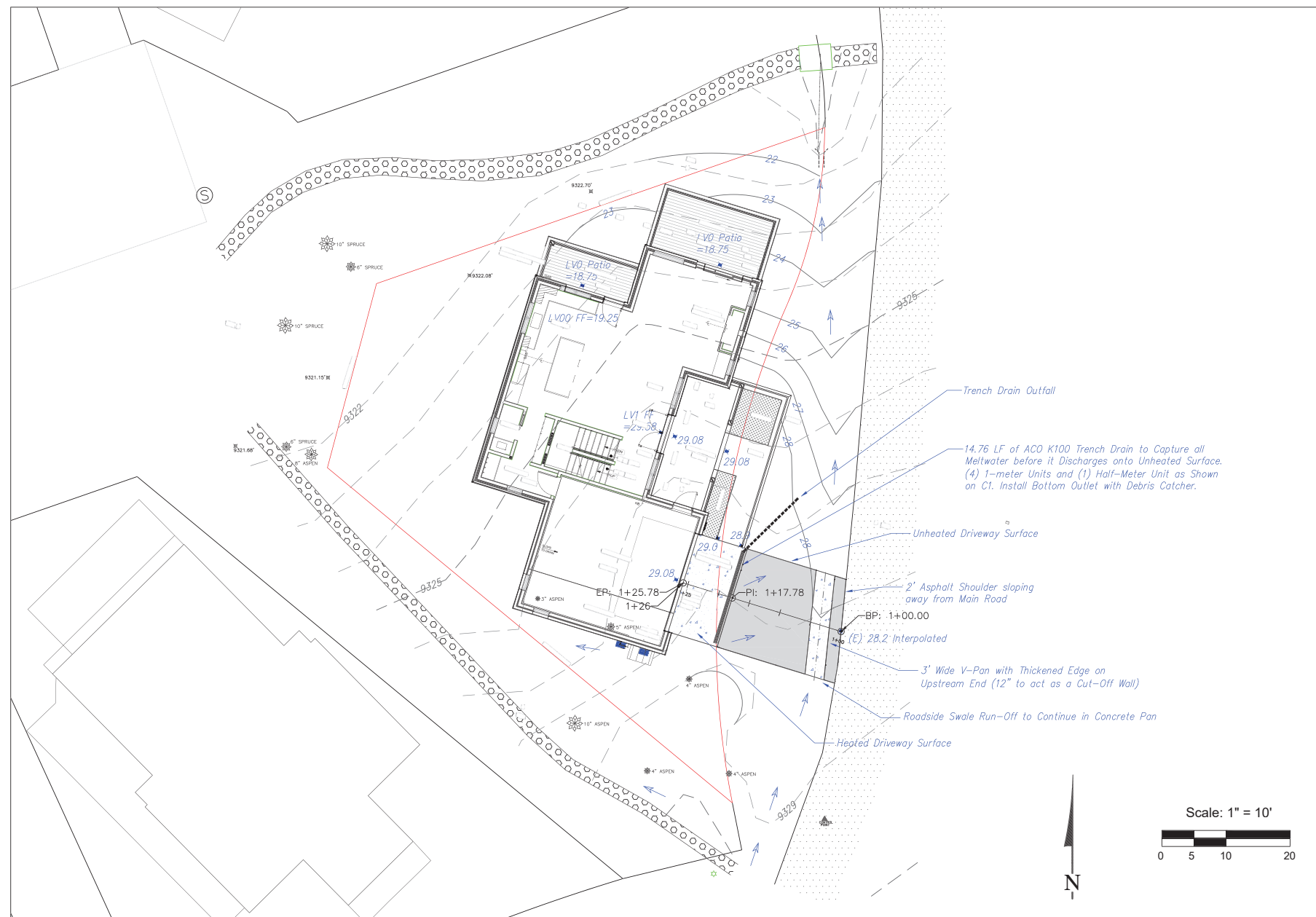
Tompros Residence
Knoll Estates
Lot 21
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading
and
Drainage

C2





Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

HOA SUBMITTAL	2024-04-26
DRB	2024-05-21
DRB	2024-08-07

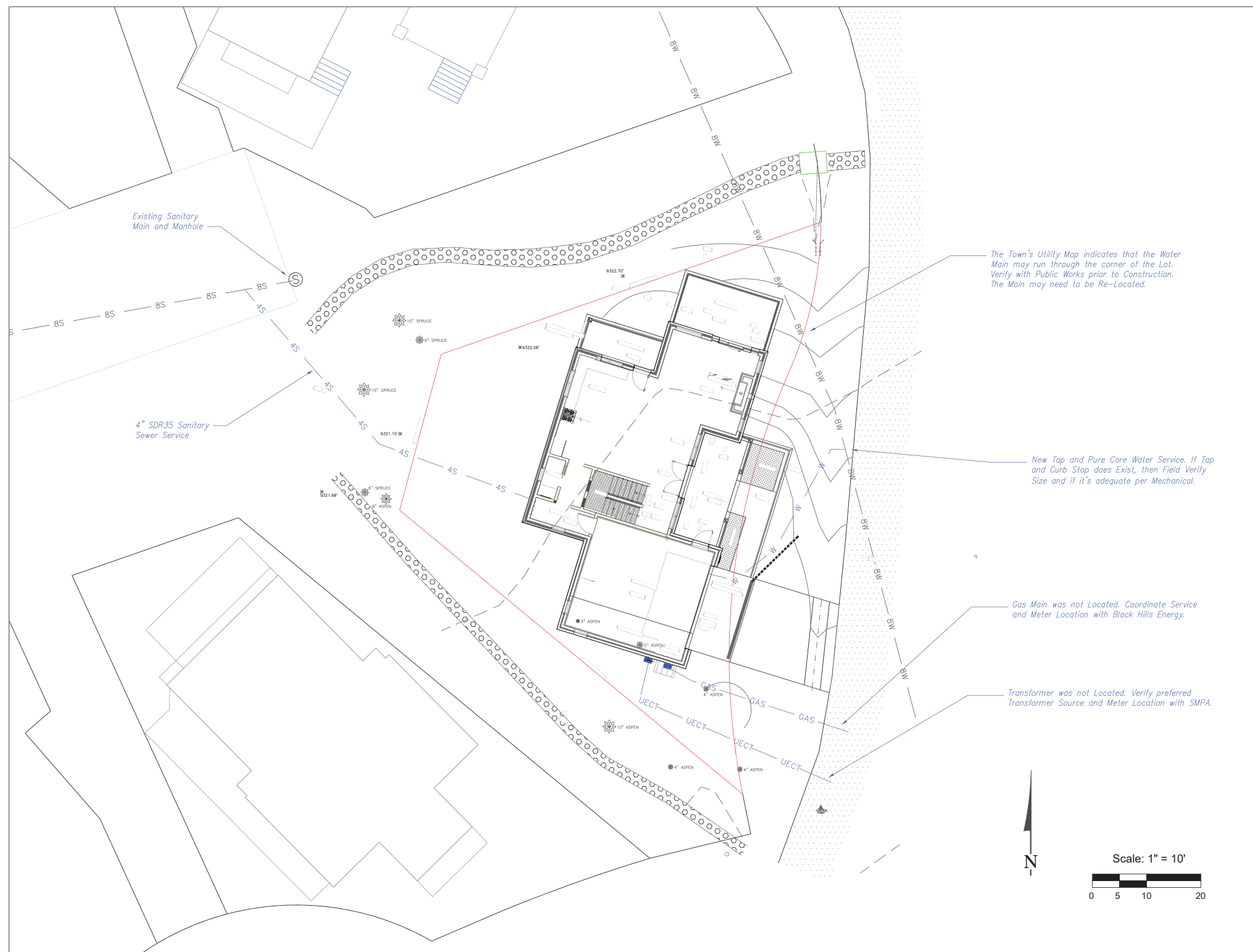
Tompros Residence
Knoll Estates
Lot 21
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3



The Town's Utility Map indicates that the Water Main may run through the corner of the Lot. Verify with Public Works prior to Construction. The Main may need to be Re-Located.

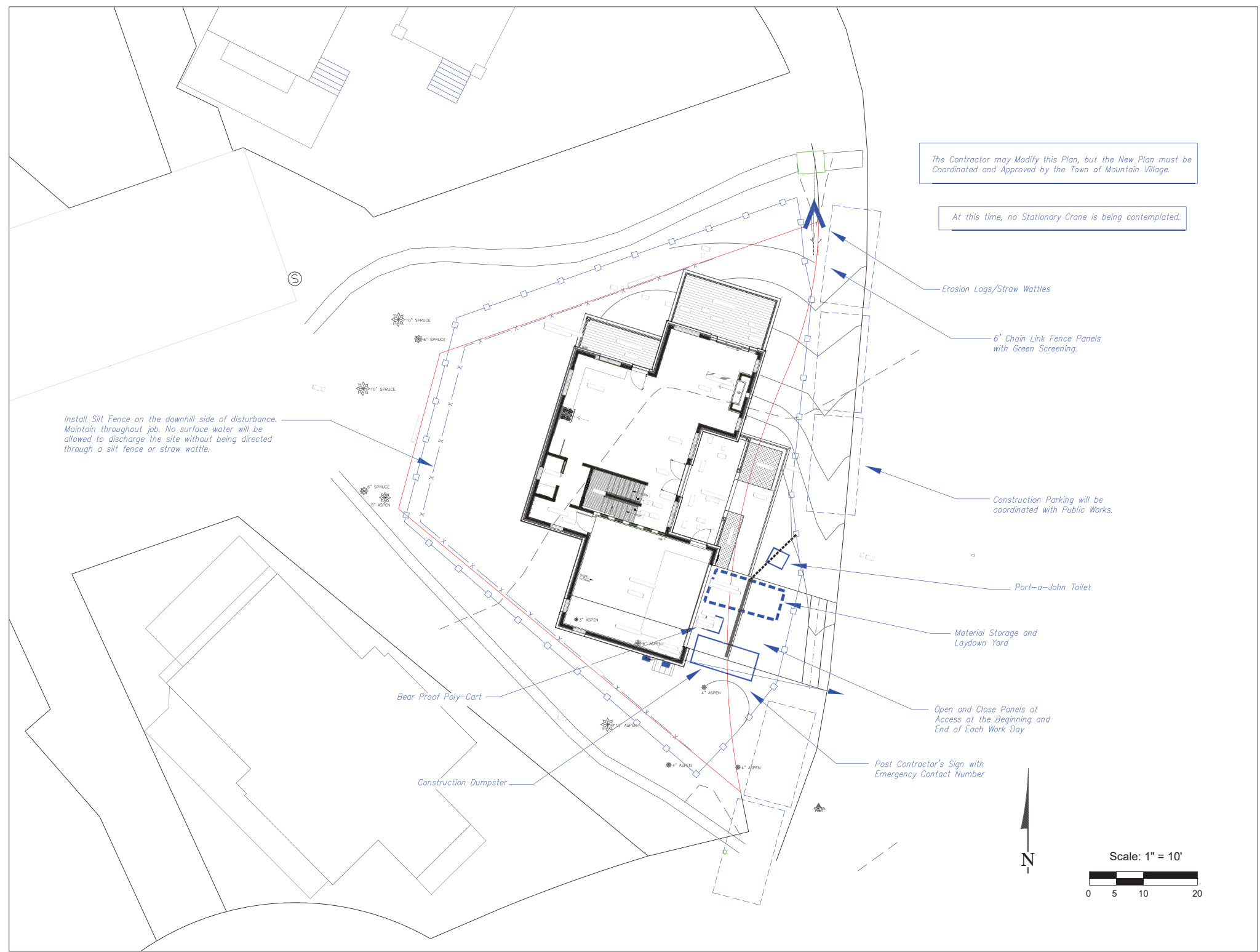
New Tap and Pure Core Water Service. If Tap and Curb Stop does Exist, then Field Verify Size and if it's adequate per Mechanical.

Gas Main was not Located, Coordinate Service and Meter Location with Black Hills Energy.

Transformer was not Located. Verify preferred Transformer Source and Meter Location with SMPA.



Scale: 1" = 10'
0 5 10 20



**Uncompahgre
Engineering, LLC**

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

HOA SUBMITTAL	2024-04-26
DRB	2024-05-21
DRB	2024-08-07

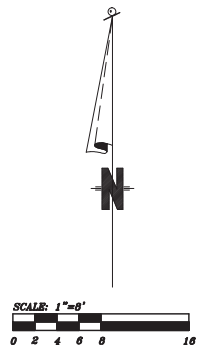
**Tompros Residence
Knoll Estates
Lot 21
Mtn. Village, CO**



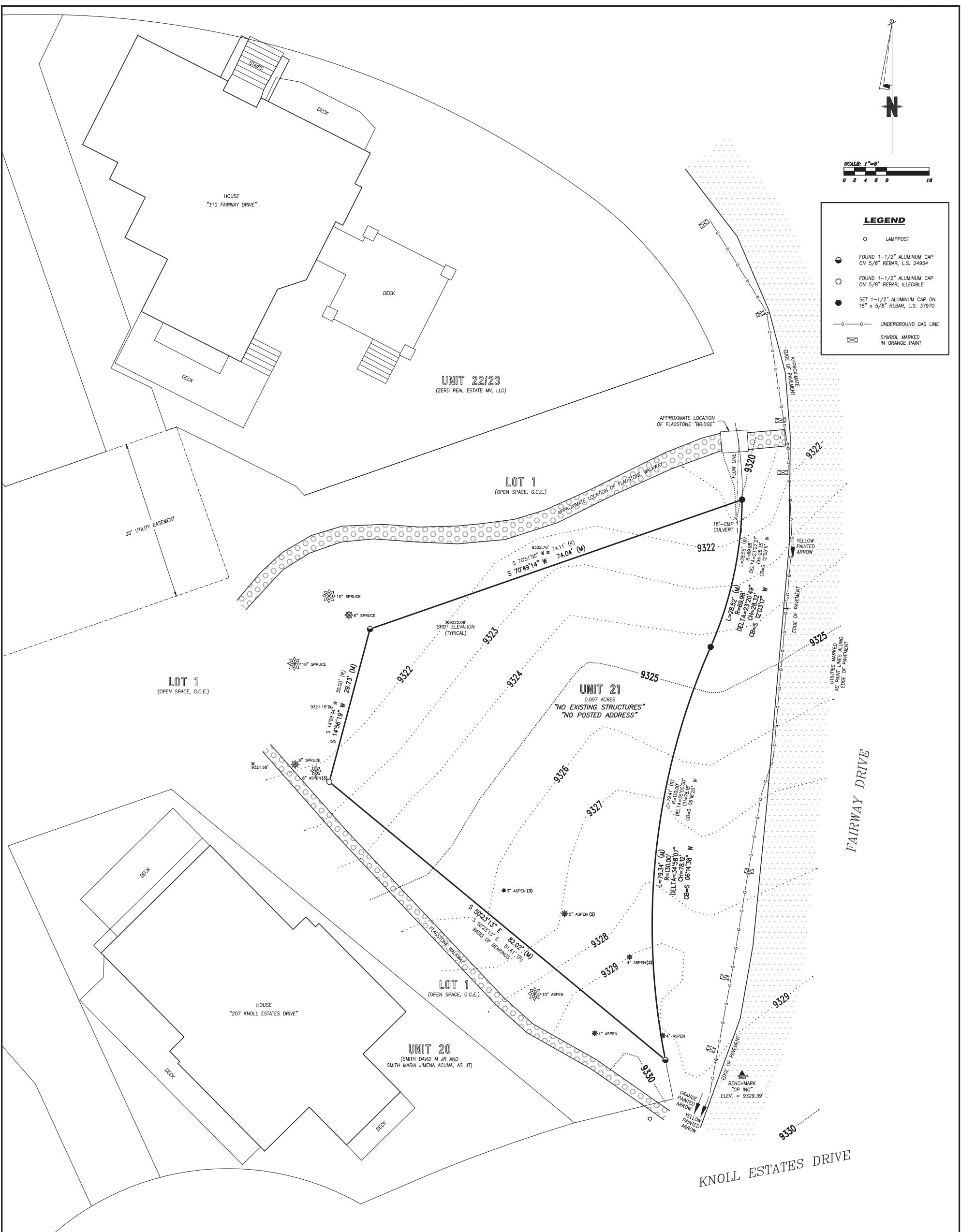
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**Construction
Mitigation**

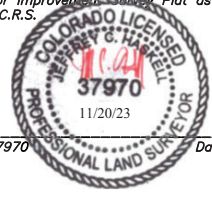
C4



LEGEND	
☆	LAMPPOST
●	FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 24954
○	FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, ILLEGIBLE
●	SET 1-1/2" ALUMINUM CAP ON 18" x 5/8" REBAR, L.S. 37970
—○—	UNDERGROUND GAS LINE
⊠	SYMBOL MARKED IN ORANGE PAINT



This Existing Conditions Plan of Unit 21, The Knoll Estates, was prepared on March 19, 2021 and updated on June 12, 2023 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 Date

LEGAL DESCRIPTION:
 UNIT 21, THE KNOLL ESTATES, A CONDOMINIUM, AS DEFINED AND DESCRIBED IN THE AMENDED AND RESTATED CONDOMINIUM DECLARATION RECORDED JULY 22, 2005 UNDER RECEPTION NO. 376405 AND FIRST AMENDMENT RECORDED SEPTEMBER 25, 2009 UNDER RECEPTION NO. 409017 AND SUPPLEMENT RECORDED OCTOBER 10, 2017 UNDER RECEPTION NO. 450743 AND ACCORDING TO THE CONDOMINIUM MAP RECORDED MARCH 29, 1990 IN PLAT BOOK 1 AT PAGE 1023,
 COUNTY OF SAN MIGUEL, STATE OF COLORADO.

- NOTES:**
- Easement research and legal description from Land Title Guarantee Company, Order No. TLR86011093, dated January 14, 2021 at 5:00 P.M.
 - BASIS OF BEARINGS: Found monuments along the southern boundary of Unit 21, as shown hereon, assumed to have the record bearing of S 50°23'13" E according to Plat Book 1 at page 1023.
 - Benchmark: Control Point "CP ING", as shown hereon, with an elevation of 9329.39'.
 - Contour interval is one foot.
 - There are no slopes 30% or greater on this lot.

- NOTES (cont.):**
- Underground utilities were marked by local providers and located by Foley Associates, Inc. on June 12, 2023, as shown hereon. Local providers of electric, telephone and telecommunications, indicated "No Conflict" in response to a request for locates. Yellow paint and accompanying pin flags were known to represent underground gas lines, but it is unclear what the orange paint provided is meant to indicate or who marked it.
 - There are no known wetlands located on Unit 21, but a wetland delineation was not performed as part of this survey.
 - NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

EXISTING CONDITIONS PLAN
 Unit 21, The Knoll Estates,
 located within the SW 1/4 of Section 33, T.43N, R.9W, N.M.P.M., County of San Miguel, State of Colorado.

Project Mgr:	JH
Technician:	MC
Checked by:	MC
Start date:	06/12/2023

FOLEY ASSOCIATES, INC.
 ENGINEERING PLANNING SURVEYING
 Drawing path: dwg\06091 EC Plan 06-23.dwg

REVISIONS

NO.	DATE	DESC.
4	08.06.24	Revised building footprint due to elimination of chimney
6	08.06.24	Revised snow melt calcs to include entire motor court

TOMPROS RESIDENCE

300 FAIRWAY DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

ARCHITECTURAL
SITE PLAN

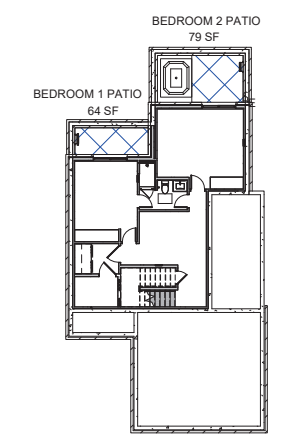
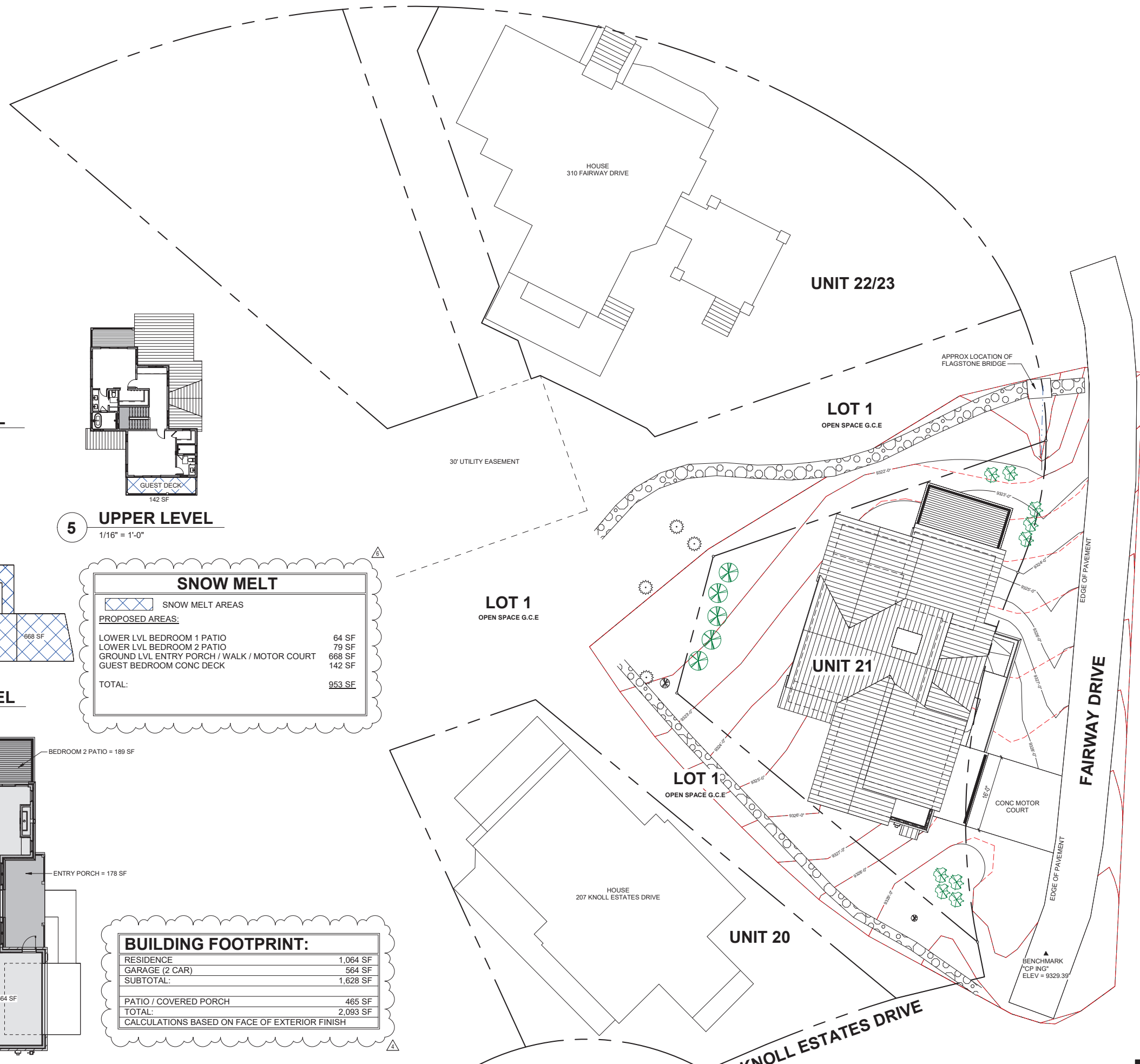
SHEET NUMBER

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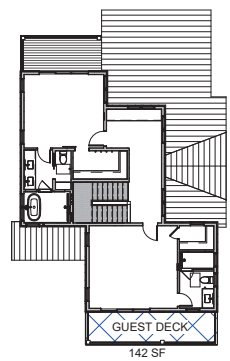
NOT FOR CONSTRUCTION

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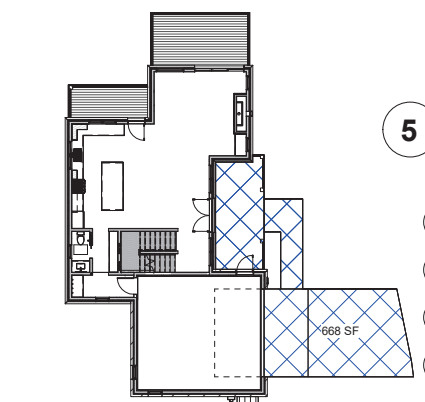
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3 LOWER LEVEL
1/16" = 1'-0"

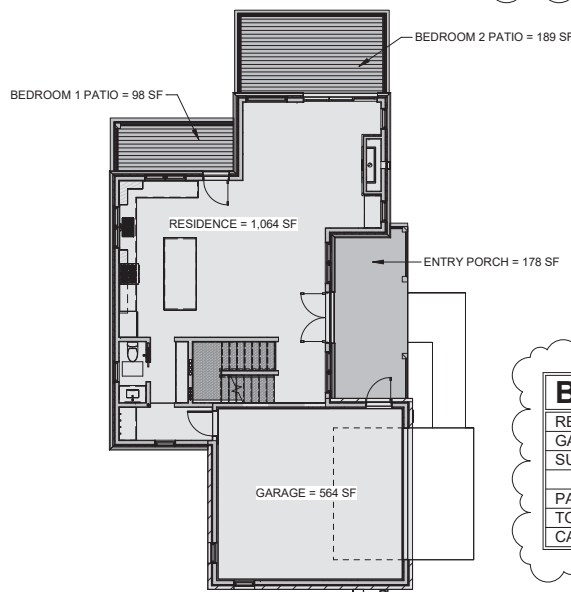


5 UPPER LEVEL
1/16" = 1'-0"



4 GROUND LEVEL
1/16" = 1'-0"

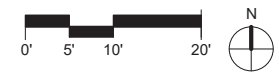
SNOW MELT	
PROPOSED AREAS:	
LOWER LVL BEDROOM 1 PATIO	64 SF
LOWER LVL BEDROOM 2 PATIO	79 SF
GROUND LVL ENTRY PORCH / WALK / MOTOR COURT	668 SF
GUEST BEDROOM CONC DECK	142 SF
TOTAL:	953 SF



2 BUILDING FOOTPRINT CALC
3/32" = 1'-0"

BUILDING FOOTPRINT:	
RESIDENCE	1,064 SF
GARAGE (2 CAR)	564 SF
SUBTOTAL:	1,628 SF
PATIO / COVERED PORCH	465 SF
TOTAL:	2,093 SF
CALCULATIONS BASED ON FACE OF EXTERIOR FINISH	

1 ARCHITECTURAL SITE PLAN
1" = 10'-0"



TOMPROS RESIDENCE

300 FAIRWAY DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

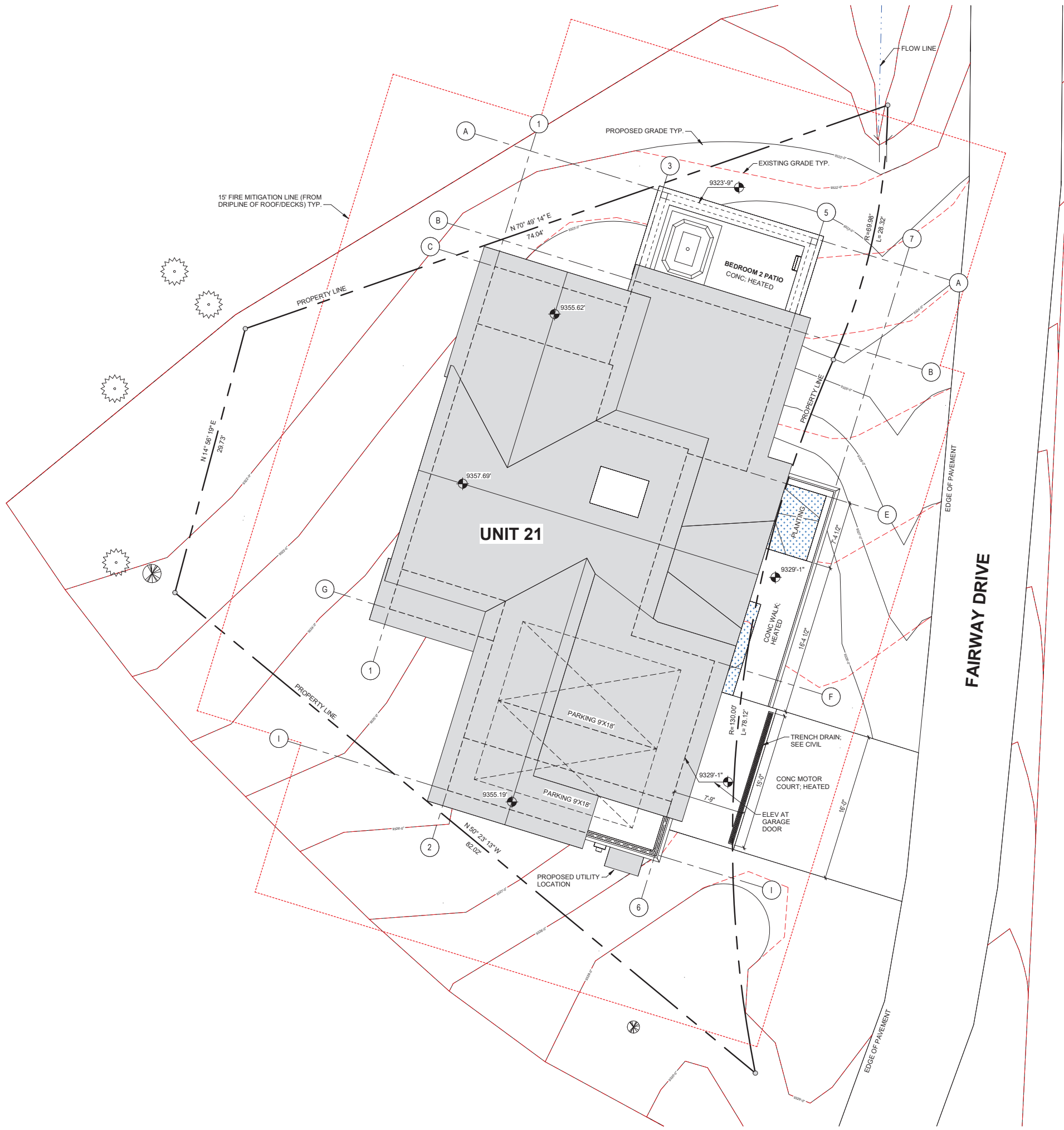
BUILDING SITE PLAN

SHEET NUMBER

A1.2

NOT FOR CONSTRUCTION

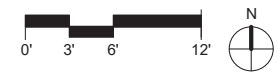
©shift architects



PROPOSED PARKING:
(2) ENCLOSED

FLOOR ELEVATIONS:
T.O. SLAB @ LOWER LEVEL = 9319'-3"
T.O. GYP @ GROUND LEVEL = 9329'-7"
T.O. GYP @ UPPER LEVEL = 9339'-11"
MOTOR COURT @ GARAGE DOOR = 9329'-1"

1 BUILDING SITE PLAN
3/16" = 1'-0"



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FIRE MITIGATION LEGEND


ZONE 1 - REMOVE ALL SHRUBS, TREES, SLASH AND FLAMMABLE VEGETATION


ZONE 2 - 10' CROWN TO CROWN SEPARATION, PRUNE BRANCHES TO A HEIGHT OF 10' FROM GROUND


ZONE 3 - REMOVE ALL DISEASED, DEAD OR DYING TREES

- ALL DEVELOPMENT SHALL COMPLY WITH CDC 17.6.1 ENVIRONMENTAL REGULATIONS. ADDITIONAL TREE CLEARING WILL BE DONE PER FIRE MITIGATION REQUIREMENTS.
- CONSISTANT WITH 2018 IRC SECTION R101.4.1 APPENDAGES AND PROJECTIONS: UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.
- CONTRACTOR TO SET UP A MEETING WITH TOWN FORESTER ON ZONE 2 REQUIREMENTS PRIOR TO PERMIT.

 EXISTING ASPEN TREE

 EXISTING ASPEN TREE TO BE REMOVED

 EXISTING EVERGREEN TREE

 EXISTING EVERGREEN TREE TO BE REMOVED

PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY
POPULUS TREMULOIDES	QUAKING ASPEN	3" CAL. DBH	5 EA
PRUNUS VIRGINIANA MELANOCARPA	NATIVE CHOKECHERRY SHRUB	5 GAL.	9 EA
PERENNIALS - BED A			47 SF
PERENNIALS - BED B			29 SF
TOTAL PERENNIALS			76 SF


TREE PLANTING NOTES


- TREE PLANTING SHALL ADHERE TO CDC: 17.5.9.C.7.
- IRRIGATED LAWN AREAS SHOULD BE AERATED TWO (2) TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATES AND PROVIDE A HEALTHY LAWN. ORGANICS, FERTILIZATION AND AMENDMENT INCORPORATION AT SAME TIME ARE ENCOURAGED.
- TREES AND SHRUBS SHALL BE MULCHED UPON INITIAL PLANTING AND AS NEEDED TO REDUCE WATER EVAPORATION.
- TREES AND SHRUB HOLES SHALL BE DUG SIX INCHES (6") DEEPER THAN THE ROOT BALL SIZE TO FACILITATE THE PLACEMENT OF APPROPRIATE MULCH MATERIAL AND FACILITATE GROWTH.
- TREES SHALL BE STAKED AND HELD IN PLACE BY WEBBING AND WIRE TO ENSURE SUCCESSFUL ROOT ESTABLISHMENT FOR A PERIOD OF TWO (2) FULL GROWING SEASONS.
- BURLAP AND WIRE SHALL BE REMOVED FROM THE ROOT BALL PRIOR TO PLANTING. IF ALL OF THE WIRE CANNOT BE REMOVED DUE TO THE SIZE OF THE TREE, THEN TWO-THIRDS OF THE WIRE SHALL BE REMOVED FROM THE UPPER PORTION OF THE ROOT BALL.


TREE PROTECTION / REMOVAL NOTES


- TREE PROTECTION FENCING IS REQUIRED BY THE CDC TO BE INSTALLED AT OR BEYOND THE CROWN DRIFLINE OF EACH TREE THAT WILL REMAIN (TREE PROTECTION ZONE) IN ACCORDANCE WITH CDC: 17.6.1.A.4.f.
- TREE PROTECTION FENCING MUST BE INSTALLED AND APPROVED BY THE TOWN FORESTER BEFORE EXCAVATION MAY BEGIN.
- THE TOWN FORESTER MUST BE CONTACTED BEFORE EXCAVATION BEGINS TO MARK OR APPROVE THE TREES TO BE REMOVED AND TO APPROVE THE PLACEMENT OF THE TREE PROTECTION FENCING. A TREE REMOVAL PERMIT MUST BE OBTAINED FROM THE TOWN FORESTER BEFORE TREE REMOVAL OPERATIONS MAY BEGIN.
- NO BACKFILL, STORAGE, OR STAGING IS PERMITTED INSIDE THE TREE PROTECTION AREA INSIDE THE TREE PROTECTION FENCING.


LEGEND


 CONCRETE PAVERS


 WILDFIRE MITIGATION BOUNDARY


 LIMIT OF DISTURBANCE


 PERIMETER FENCING W/ ATTACHED GREEN SCREENING


 TREE PROTECTION FENCING


 REVEGETATED AREA W/ IRRIGATION


 REVEGETATE W/ NATIVE GRASS


 DISTURBED AREAS


 MULCH LANDSCAPE BEDDING


 PERENNIAL BEDDING: DRIP EMITTERS


 FLAGSTONE


 STONE PAVER


 NEW DECIDUOUS SHRUB


 EXISTING DECIDUOUS TREE

 EXISTING DECIDUOUS TREE TO BE REMOVED

 NEW DECIDUOUS TREE

 EXISTING EVERGREEN TREE

 EXISTING EVERGREEN TREE TO BE REMOVED

 NEW EVERGREEN TREE

NOTE: PROVIDE TREE PROTECTION FENCING AS REQUIRED BY THE CDC.

GENERAL NOTES:

- ALL TREES AND SHRUBS TO BE LOCATED BY PROJECT ARCHITECT / OWNER.
- ALL TREES AND SHRUBS SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
- NECESSARY TREES SHALL BE STAKED WITH 4" METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
- PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
- SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
- MULCH ALL PERENNIAL BEDS WITH LAVA ROCK.
- ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- LANDSCAPING AND TREE REMOVAL SHALL BE IN ACCORDANCE WITH CDC 17.5.9 LANDSCAPING REGULATIONS AND CDC 17.6.1 ENVIRONMENTAL REGULATIONS.

NOXIOUS WEEDS:

- ALL PLANTED MATERIALS INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED IN THE NOXIOUS WEED CDC TABLE 5-5 OR SUBSEQUENTLY DESIGNATED AS A NOXIOUS WEED BY THE STATE OF COLORADO, OR THE TOWN.

LANDSCAPE MAINTENANCE NOTES:

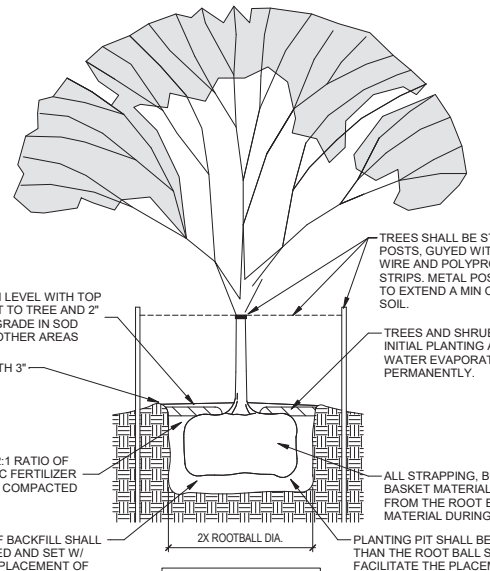
- TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
- NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.
- ALL SHRUBS IN SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.
- IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

REVEGETATION NOTES:

- SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
- TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REEMITTED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
- BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
- AREAS WHICH HAVE BEEN COMPACTED OR ARE RELATIVELY UNDISTURBED NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
- BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING, STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
- ON SLOPES GREATER THAN 2:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
- ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
- SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREeping RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%

1 PLANTING: DECIDUOUS TREE



SET ROOT CROWN LEVEL WITH TOP OF SOIL ADJACENT TO TREE AND 2" ABOVE FINISHED GRADE IN SOD AREAS, FLUSH IN OTHER AREAS

FORM SAUCER WITH 3" CONTINUOUS RIM

BACKFILL WITH A 2:1 RATIO OF TOPSOIL / ORGANIC FERTILIZER MIXTURE, LIGHTLY COMPACTED

BOTTOM LAYER OF BACKFILL SHALL BE LIGHTLY TAMPED AND SET W/ WATER PRIOR TO PLACEMENT OF PLANT

TREES SHALL BE STAKED WITH 4" METAL POSTS, GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS. METAL POSTS DRIVEN VERTICALLY TO EXTEND A MIN OF 30" INTO UNDISTURBED SOIL.

TREES AND SHRUBS SHALL BE MULCHED UPON INITIAL PLANTING AND AS NEEDED TO REDUCE WATER EVAPORATION. MULCH TO REMAIN PERMANENTLY.

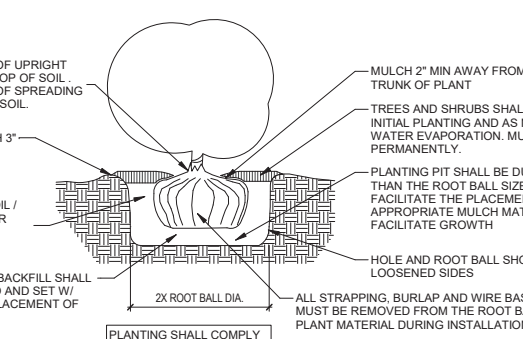
ALL STRAPPING, BURLAP AND WIRE BASKET MATERIAL MUST BE REMOVED FROM THE ROOT BALL OF THE PLANT MATERIAL DURING INSTALLATION

PLANTING PIT SHALL BE DUG 6" DEEPER THAN THE ROOT BALL SIZE TO FACILITATE THE PLACEMENT OF APPROPRIATE MULCH MATERIAL AND FACILITATE GROWTH

2X ROOTBALL DIA.

PLANTING SHALL COMPLY WITH CDC: 17.5.9.C7

2 PLANTING: SHRUBS



SET ROOT CROWN OF UPRIGHT SHRUBS 1" ABOVE TOP OF SOIL. SET ROOT CROWN OF SPREADING SHRUBS AT TOP OF SOIL.

FORM SAUCER WITH 3" CONTINUOUS RIM

BACKFILL 2:1 TOPSOIL / ORGANIC FERTILIZER MIXTURE, LIGHTLY COMPACTED

BOTTOM LAYER OF BACKFILL SHALL BE LIGHTLY TAMPED AND SET W/ WATER PRIOR TO PLACEMENT OF PLANT

MULCH 2" MIN AWAY FROM TRUNK OF PLANT

TREES AND SHRUBS SHALL BE MULCHED UPON INITIAL PLANTING AND AS NEEDED TO REDUCE WATER EVAPORATION. MULCH TO REMAIN PERMANENTLY.

PLANTING PIT SHALL BE DUG 6" DEEPER THAN THE ROOT BALL SIZE TO FACILITATE THE PLACEMENT OF APPROPRIATE MULCH MATERIAL AND FACILITATE GROWTH

HOLE AND ROOT BALL SHOULD HAVE LOOSENED SIDES

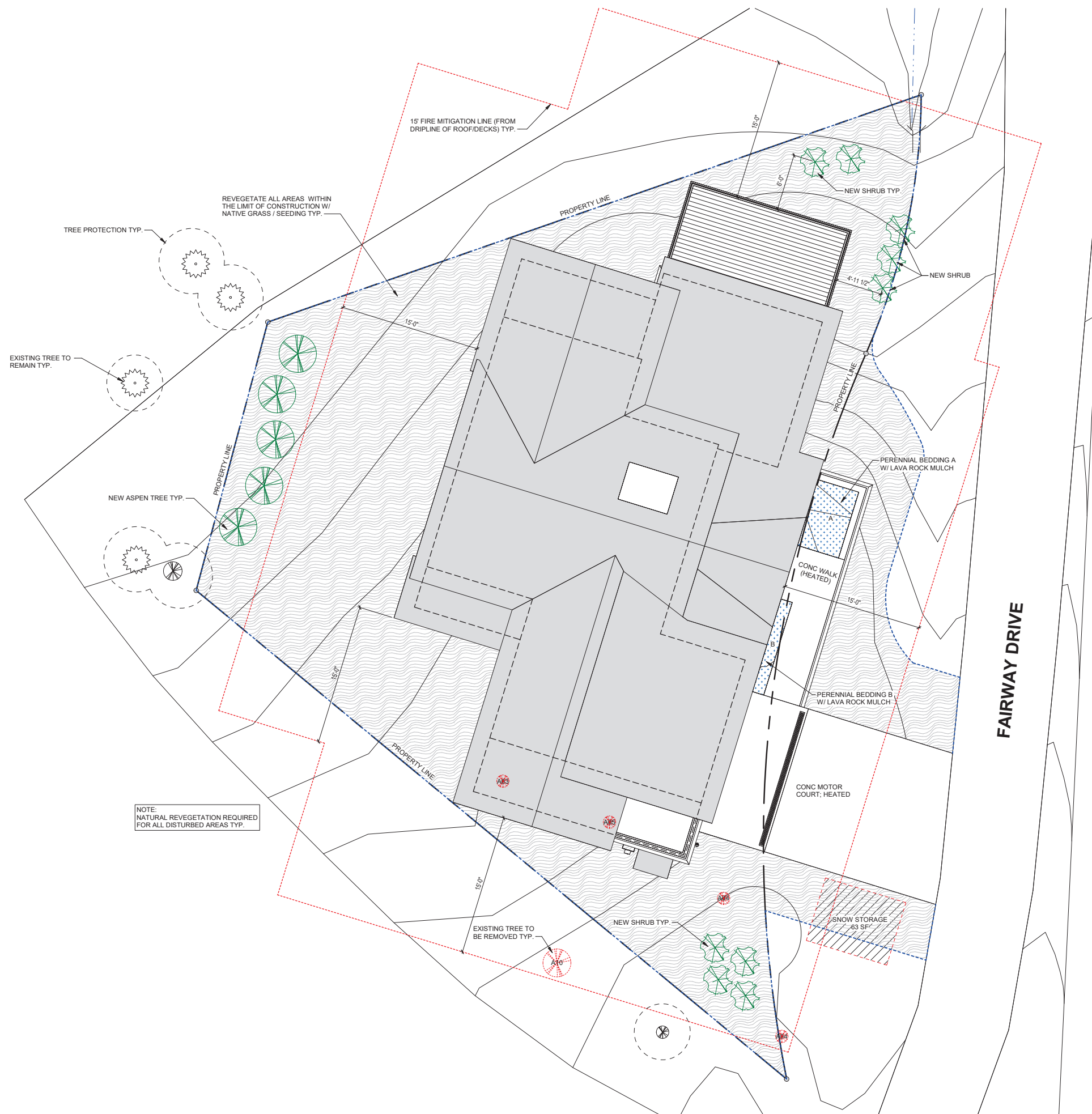
ALL STRAPPING, BURLAP AND WIRE BASKET MATERIAL MUST BE REMOVED FROM THE ROOT BALL OF THE PLANT MATERIAL DURING INSTALLATION

2X ROOTBALL DIA.

PLANTING SHALL COMPLY WITH CDC: 17.5.9.C7

REVISIONS

NO.	DATE	DESC.
1	05.09.24	New shrubs



NOTE:
NATURAL REVEGETATION REQUIRED
FOR ALL DISTURBED AREAS TYP.

TOMPROS RESIDENCE

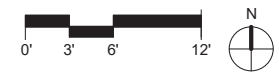
300 FAIRWAY DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

LANDSCAPE PLAN

SHEET NUMBER

A1.4

1 LANDSCAPE PLAN
3/16" = 1'-0"



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PLANT SCHEDULE			
BOTANICAL NAME	COMMON NAME	SIZE	QTY
POPULUS TREMULOIDES	QUAKING ASPEN	3" CAL. DBH	5 EA
PRUNUS VIRGINIANA MELANOCARPA	NATIVE CHOKECHERRY SHRUB	5 GAL.	9 EA
PERENNIALS - BED A			47 SF
PERENNIALS - BED B			29 SF
TOTAL PERENNIALS			76 SF

IRRIGATION LEGEND	
	TAP WITH RAINBIRD PVB-075 BACKFLOW PREVENTER
	RAINBIRD RCM-12 ELECTROMECHANICAL CONTROLLER
	1.5" WILKINS MODEL 500 PRESSURE REGULATOR
	RAINBIRD 150-PEB 1.5" ELECTRIC REMOTE CONTROL VALVE
	CLASS 200 PVC MAINLINE 1 1/2"
	1.80 NSF POLYLATERAL LINE
	WATER SENSOR BY RAINBIRD

IRRIGATION NOTES	
1.	PROVIDE IRRIGATION SYSTEM IN ACCORDANCE WITH CDC REQUIREMENTS (17.5.9 LANDSCAPING REGULATIONS, TABLE 5-3 IRRIGATION SYSTEM DESIGN) AND THE TOWN OF MOUNTAIN VILLAGE WATER AND SEWER REGULATIONS.
2.	IRRIGATION CONTROL EQUIPMENT SHALL INCLUDE AN AUTOMATIC IRRIGATION CONTROLLER HAVING PROGRAM FLEXIBILITY SUCH AS REPEAT CYCLES AND MULTIPLE PROGRAM CAPABILITIES. AUTOMATIC IRRIGATION CONTROLLERS SHALL HAVE BATTERY BACKUP TO RETAIN THE IRRIGATION PROGRAMS.
3.	ALL DISTURBED AREAS SHALL BE REPLANTED WITH A NATIVE GRASS SEED MIX.
4.	UNDISTURBED AREAS SHALL BE LEFT AND MAINTAINED IN A NATURAL STATE.
5.	ALL AREAS TO BE REVEGETATED WITH NATIVE GRASS SEED MIX MAY BE IRRIGATED UNTIL THE GRASS IS ESTABLISHED, BUT NO MORE THAN ONE (1) FULL GROWING SEASON WITH ANY SUCH EXTRA IRRIGATION INSTALLED ON A SEPARATE ZONE THAT WILL BE PERMANENTLY SHUT OFF AFTER SUCCESSFUL REVEGETATION.
6.	IRRIGATION SYSTEMS SHALL BE DESIGNED AND OPERATED IN ACCORDANCE WITH TABLE 5-3 IRRIGATION SYSTEM DESIGN AND OPERATION.

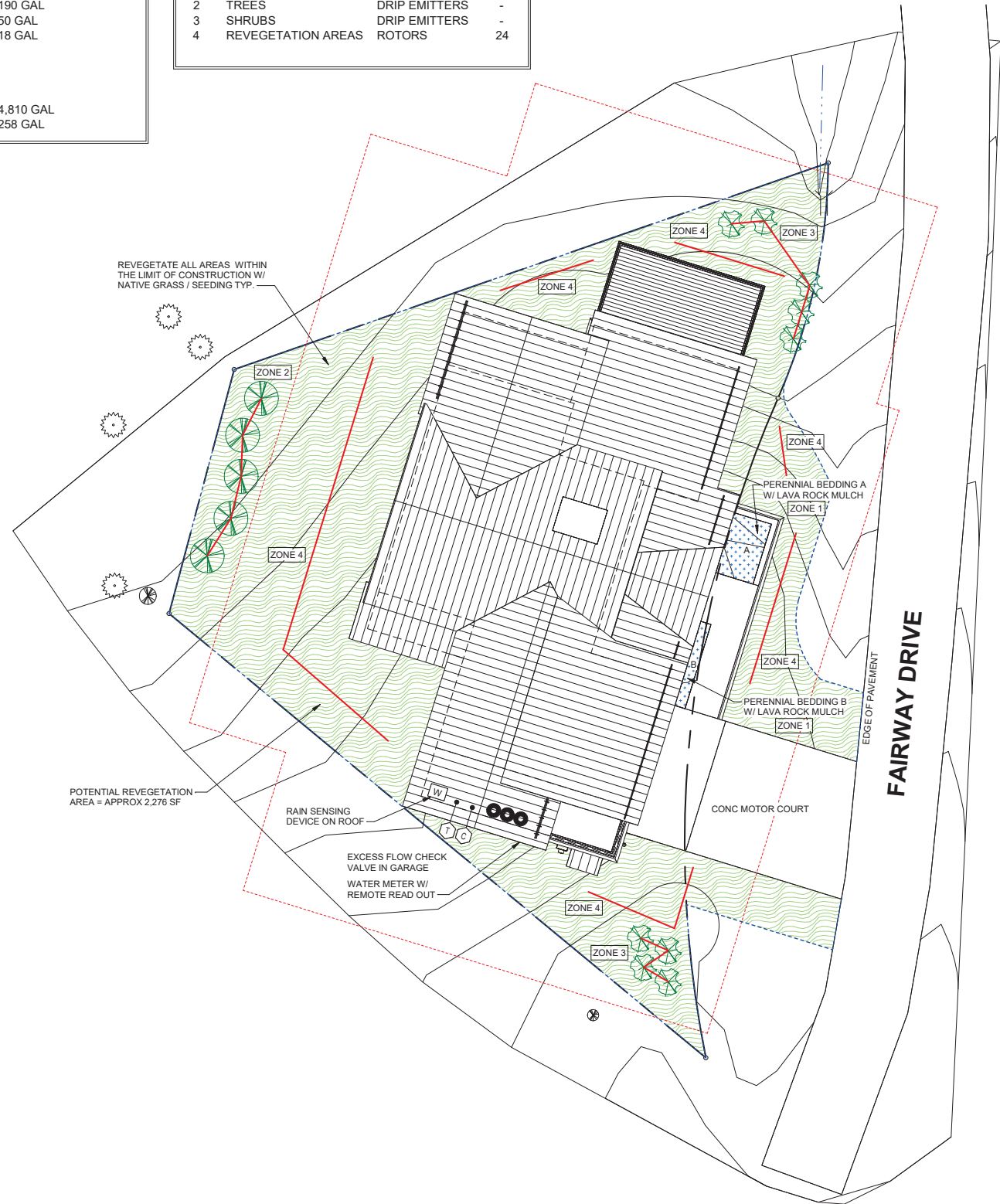
LEGEND			
	CONCRETE PAVERS		NEW DECIDUOUS SHRUB
	WILDFIRE MITIGATION BOUNDARY		EXISTING DECIDUOUS TREE
	LIMIT OF DISTURBANCE		EXISTING DECIDUOUS TREE TO BE REMOVED
	PERIMETER FENCING W/ ATTACHED GREEN SCREENING		NEW DECIDUOUS TREE
	TREE PROTECTION FENCING		EXISTING EVERGREEN TREE
	REVEGETATED AREA W/ IRRIGATION		EXISTING EVERGREEN TREE TO BE REMOVED
	REVEGETATE W/ NATIVE GRASS		NEW EVERGREEN TREE
	DISTURBED AREAS		
	MULCH LANDSCAPE BEDDING		
	PERENNIAL BEDDING: DRIP EMITTERS		
	FLAGSTONE		
	STONE PAVER		

NOTE:
PROVIDE TREE PROTECTION FENCING AS REQUIRED BY THE CDC.

WATER USAGE CHART			
TYPE	MONTHLY USE	TOTAL #	TOTAL MONTHLY USAGE
REVEGETATION	2 GAL / S.F.	2,276	4,552 (FIRST SEASON)
PERENNIALS	2.5 GAL / S.F.	76 SF	190 GAL
ASPENS	10 GAL / EA	5 EA	50 GAL
NATIVE SHRUBS	2 GAL / EA	9 EA	18 GAL
COMPLETE MONTHLY USAGE (FOR ESTABLISHMENT)			4,810 GAL
(POST ESTABLISHMENT)			258 GAL

IRRIGATION SCHEDULE			
ZONE	LOCATION	HEAD	GPM
1	PERENNIALS	SPRAY HEAD	-
2	TREES	DRIP EMITTERS	-
3	SHRUBS	DRIP EMITTERS	-
4	REVEGETATION AREAS	ROTORS	24

IRRIGATION SYSTEM DESIGN	
LANDSCAPE TYPE:	REQUIRED IRRIGATION SYSTEM DESIGN AND OPERATION
TREES AND SHRUBS	1. DRIP ONLY. 2. SHUT DRIP ZONES OFF TWO (2) FULL GROWING SEASONS AFTER PLANT ESTABLISHMENT.
LAWN AREA / TURF	1. SPRAY HEADS. 2. SEPARATE SITE ZONE REQUIRED.
PERENNIALS AND GARDEN PLANTING BEDS	1. 1. SPRAY HEADS. 2. 2. USE SOAKER HOSE. LOW VOLUME MIST AND/OR EMITTERS EQUIPPED WITH ADJUSTABLE NOZZLES TO LIMIT OVER/UNDER WATERING WITHIN A SPECIFIC ZONE.
REVEGETATION	1. ROTORS (REVIEW AUTHORITY MAY REQUIRE TEMPORARY IRRIGATION AND PROHIBIT LONG-TERM WATERING OF REVEGETATED AREAS).
ALL LANDSCAPING TYPES	1. IRRIGATION CONTROL EQUIPMENT SHALL INCLUDE AN AUTOMATIC IRRIGATION CONTROLLER HAVING PROGRAM FLEXIBILITY SUCH AS REPEAT CYCLES AND MULTIPLE PROGRAM CAPABILITIES. AUTOMATIC IRRIGATION CONTROLLERS SHALL HAVE BATTERY BACKUP TO RETAIN THE IRRIGATION PROGRAMS. 2. JUNE THROUGH SEPTEMBER, IRRIGATION SHALL OCCUR BEFORE 9 A.M. AND AFTER 7 P.M. UNLESS OTHERWISE LIMITED BY A TOWN LAW OR POLICY. 3. SEPARATE WATER METER INSTALLED AT IRRIGATION SYSTEM CONTROL AREA, BRANCHED OFF OF WATER SERVICE LINE TO THE HOME. 4. TAP AND PRESSURE REDUCTION VALVE LOCATIONS AND PLAN NOTES DESCRIBING THE TYPE OF BACKFLOW PREVENTION DEVICE SHALL BE USED. 5. SPRINKLERS AND ROTORS SHALL BE INSTALLED SO AS TO MINIMIZE OVERSPRAY ONTO PAVED SURFACES, STRUCTURES AND NON-VEGETATED AREAS AND MINIMIZE RUN-OFF OF IRRIGATION WATER. SPRINKLER SPACING SHALL NOT EXCEED FIFTY-FIVE PERCENT (55%) OF THE SPRINKLER'S DIAMETER OF COVERAGE. 6. PLANTS WITH SIMILAR WATER REQUIREMENTS SHALL BE IRRIGATED ON THE SAME ZONE. 7. TO THE EXTENT PRACTICAL, POP-UP SPRINKLERS AND ROTORS WILL NOT BE MIXED IN THE SAME ZONE. 8. A RAIN SENSING SHUTOFF DEVICE SHALL BE INSTALLED TO AVOID IRRIGATION DURING PERIODS OF SUFFICIENT RAINFALL. SAID EQUIPMENT SHALL CONSIST OF AN AUTOMATIC SENSING DEVICE OR SWITCH THAT WILL OVERRIDE THE IRRIGATION CYCLE OF THE SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. IT MUST BE PLACED WHERE IT IS EXPOSED TO UNOBSTRUCTED NATURAL RAINFALL. 9. IRRIGATION PLANS SHALL SHOW SPRINKLER SPACING AND DIAMETER OF COVERAGE.



REVISIONS

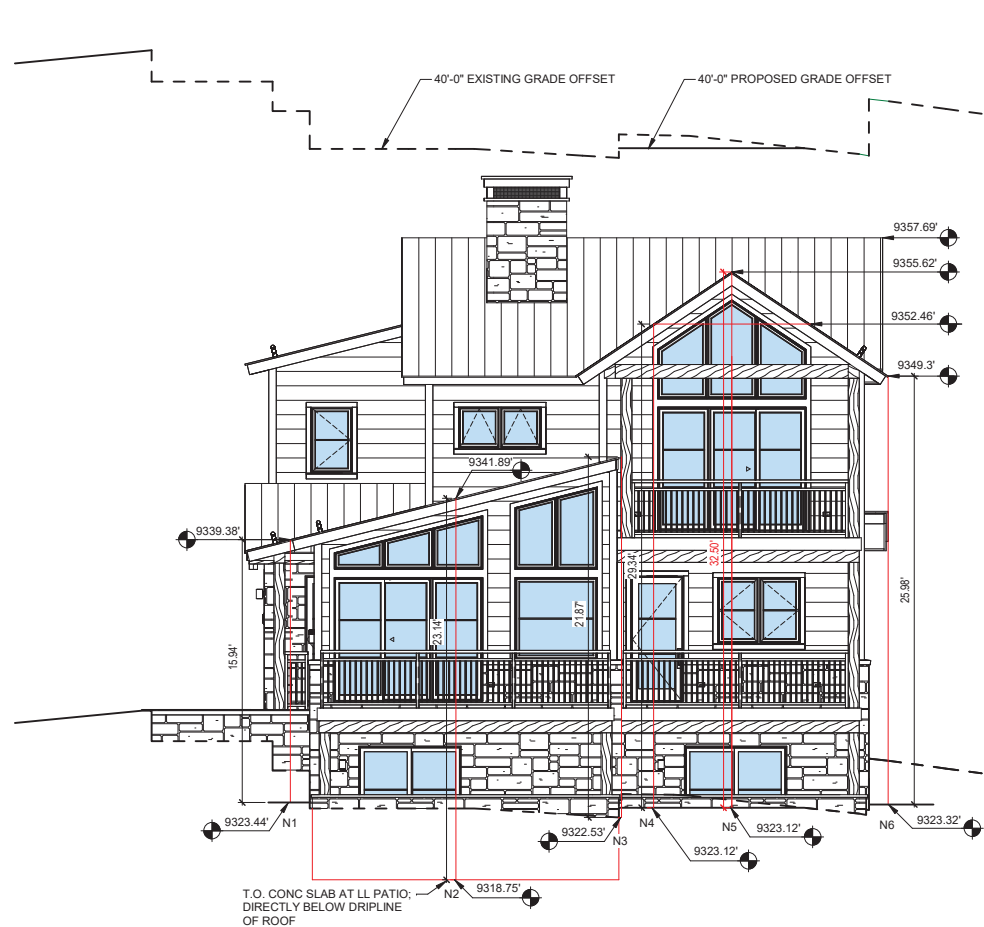
NO.	DATE	DESC.
5	08.06.24	Chimney height
8	08.06.24	Revised max average roof height calculation

MAX BUILDING HT :

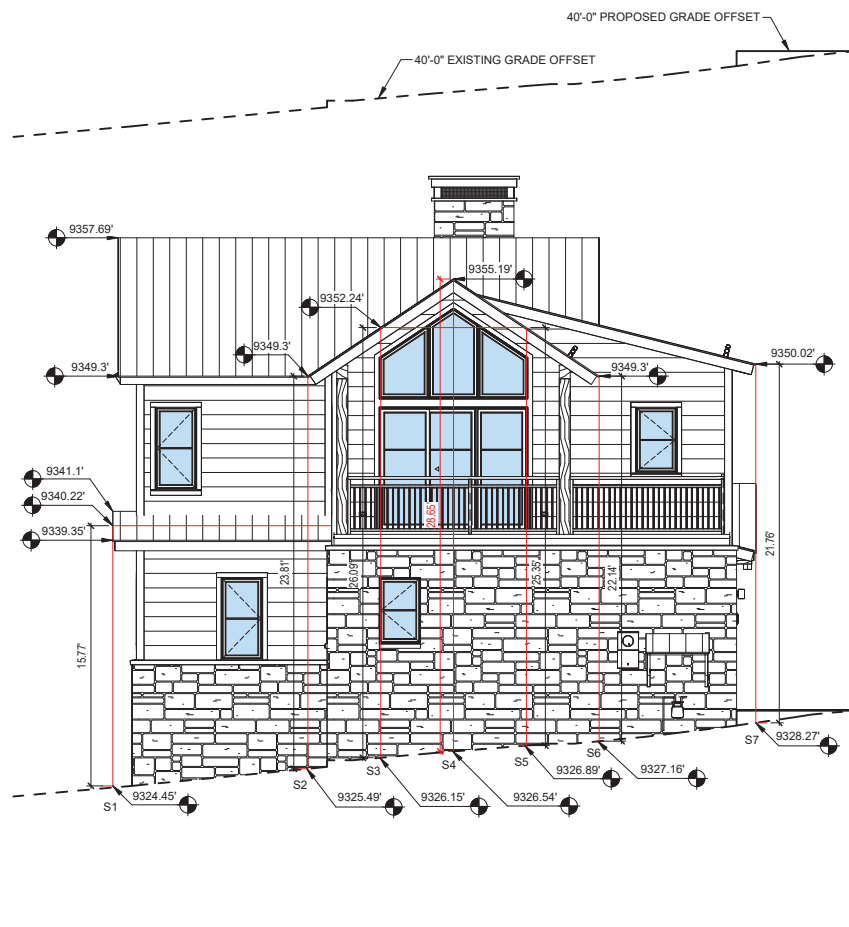
HIGHEST POINT RELATIVE TO GRADE:	
LOCATION: W4	34.0'
MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9357.69'
MOST RESTRICTIVE GRADE BELOW	9323.69'
2ND HIGHEST POINT RELATIVE TO GRADE:	
LOCATION: N5	32.5'
MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9355.62'
MOST RESTRICTIVE GRADE BELOW	9323.12'
3RD HIGHEST POINT RELATIVE TO GRADE:	
LOCATION: S4	28.65'
MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9355.19'
MOST RESTRICTIVE GRADE BELOW	9326.54'

AVG ROOF HT :

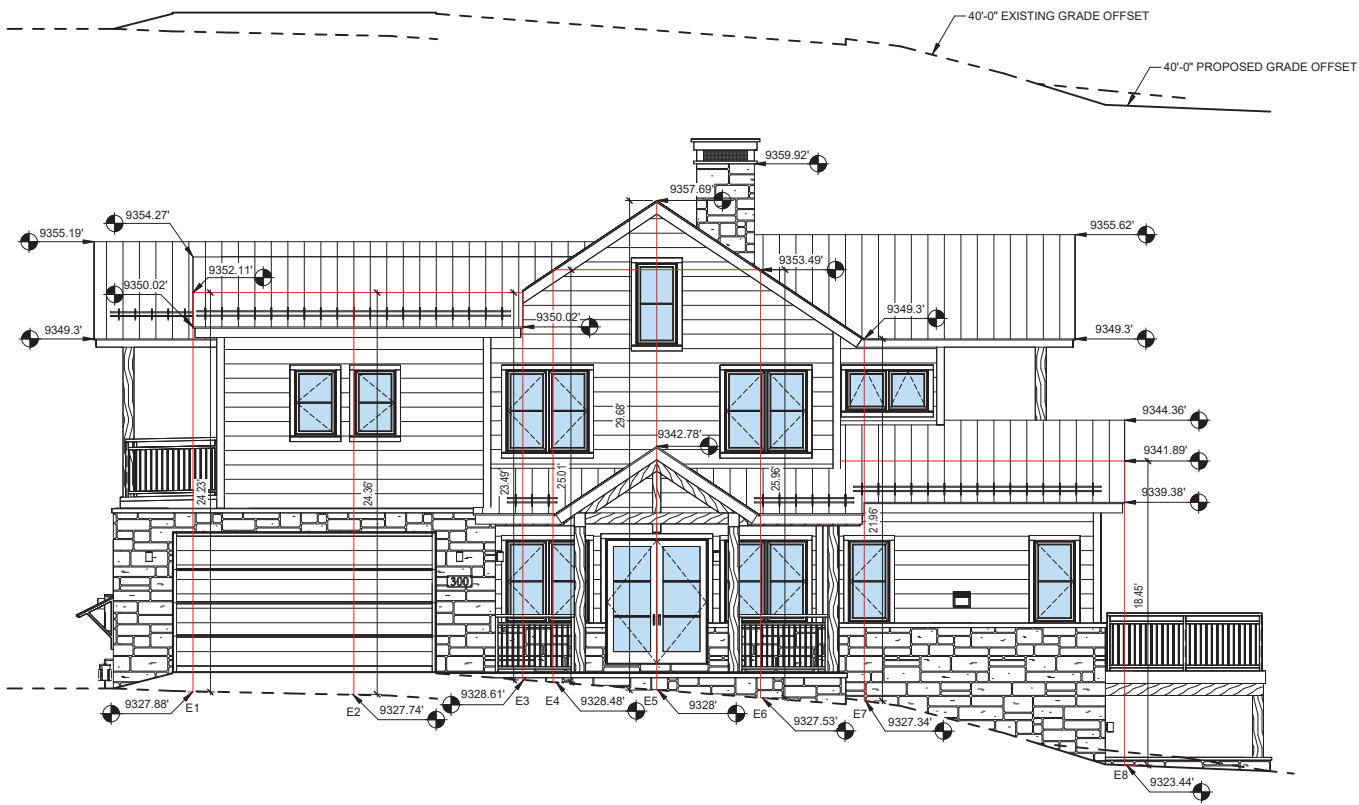
NORTH ELEVATION	
N1	15.94'
N2	23.14'
N3	21.87'
N4	29.34'
N5	32.5'
N6	25.98'
SUB-TOTAL:	148.77'
# OF LOCATIONS:	6
AVERAGE:	24.79'
SOUTH ELEVATION	
S1	15.77'
S2	23.81'
S3	26.09'
S4	28.65'
S5	25.35'
S6	22.14'
S7	21.76'
SUB-TOTAL:	163.57'
# OF LOCATIONS:	7
AVERAGE:	23.36'
EAST ELEVATION	
E1	24.23'
E2	24.36'
E3	23.49'
E4	25.01'
E5	29.68'
E6	25.96'
E7	21.96'
E8	18.45'
SUB-TOTAL:	193.14'
# OF LOCATIONS:	8
AVERAGE:	24.14'
WEST ELEVATION	
W1	29.34'
W2	29.39'
W3	30.0'
W4	34.0'
W5	29.43'
W6	24.98'
W7	14.89'
W8	26.42'
W9	25.7'
SUB-TOTAL:	244.15'
# OF LOCATIONS:	9
AVERAGE:	27.12'
TOTAL:	749.63'
NUMBER OF LOCATIONS:	30
AVERAGE:	24.98'



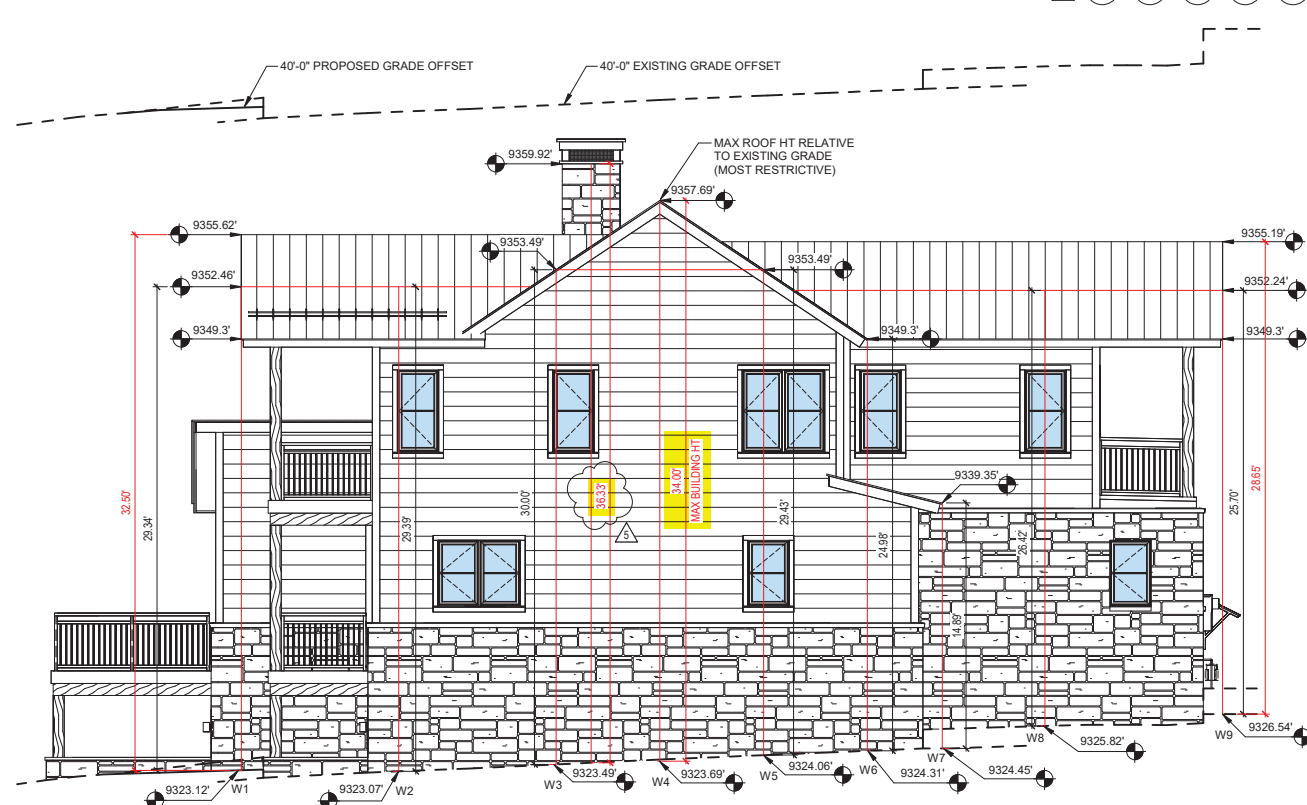
3 NORTH ELEVATION
3/16" = 1'-0"



4 SOUTH ELEVATION
3/16" = 1'-0"



1 EAST ELEVATION
3/16" = 1'-0"



2 WEST ELEVATION
3/16" = 1'-0"

TOMPROS RESIDENCE

300 FAIRWAY DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

MAX BUILDING HEIGHT

SHEET NUMBER

A2.1

NOT FOR CONSTRUCTION

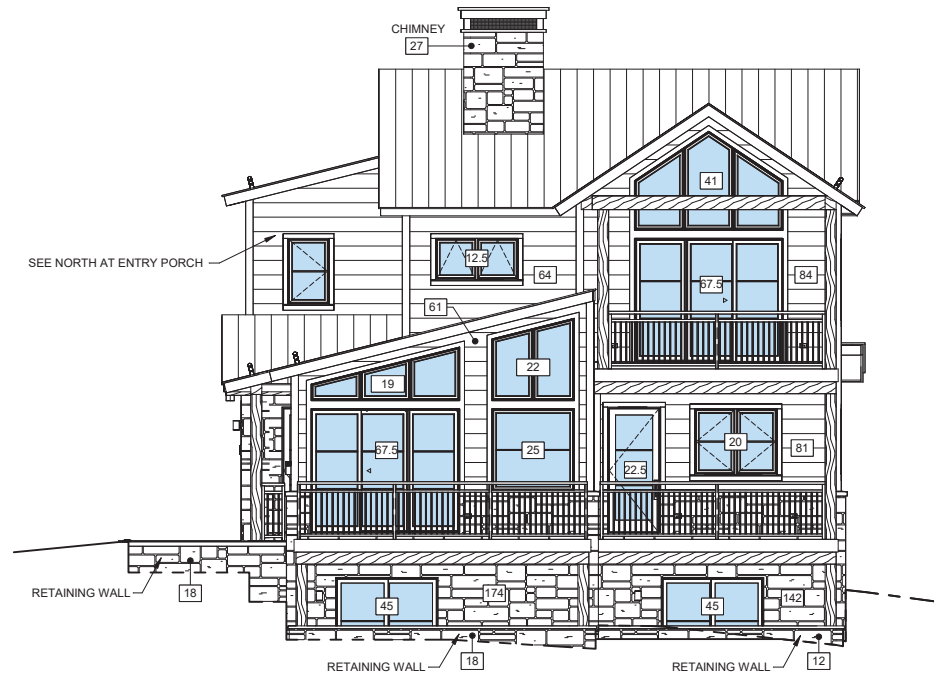
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MATERIAL CALCULATIONS

NORTH		
STONE	316 SF	32%
WOOD SIDING	290 SF	29%
WINDOW/DOOR GLAZING	387 SF	39%
SUBTOTAL:	993 SF	100%
SOUTH		
STONE	375 SF	43%
WOOD SIDING	345 SF	40%
WINDOW/DOOR GLAZING	148.5 SF	17%
SUBTOTAL:	868.5 SF	100%
EAST		
STONE	240 SF	21%
WOOD SIDING	558 SF	48%
WINDOW/DOOR GLAZING	215 SF	19%
WOOD GARAGE DOOR	136 SF	12%
SUBTOTAL:	1,149 SF	100%
WEST		
STONE	599 SF	40%
WOOD SIDING	785 SF	52%
WINDOW/DOOR GLAZING	115 SF	8%
SUBTOTAL:	1,499 SF	100%
ENTRY NORTH		
STONE	80 SF	38%
WOOD SIDING	97 SF	46%
WINDOW/DOOR GLAZING	32.5 SF	16%
SUBTOTAL:	209.5 SF	100%
ENTRY SOUTH		
STONE	21 SF	28%
WOOD SIDING	54 SF	72%
SUBTOTAL:	75 SF	100%
RETAINING WALLS		
STONE	352 SF	100%
CHIMNEY		
STONE	76 SF	100%
TOTALS		
STONE	1,631 SF	
STONE @ RETAINING WALL	352 SF	2,059 SF
STONE @ CHIMNEY	76 SF	
WOOD SIDING	2,129 SF	
WINDOW/DOOR GLAZING	898 SF	
WOOD GARAGE DOOR	136 SF	
TOTAL:	5,222 SF	
PERCENTAGES		
STONE	31%	
STONE @ RETAINING WALL	7%	39%
STONE @ CHIMNEY	1%	
WOOD SIDING	41%	
WINDOW/DOOR GLAZING	17%	
WOOD GARAGE DOOR	3%	
TOTAL:	100%	

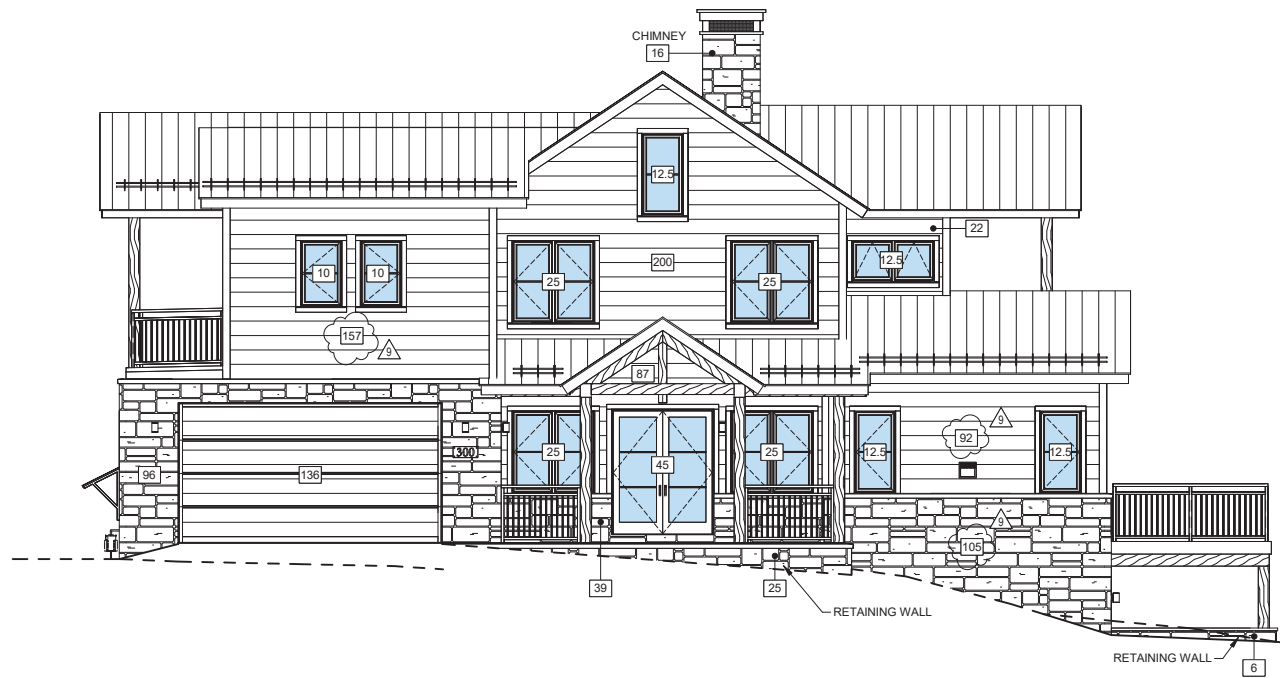
STONE VENEER CALCULATIONS ARE IN ACCORDANCE WITH TITLE 17 OF THE TOWN OF MOUNTAIN VILLAGE MUNICIPAL CODE CDC 17.5.6.E.1



3 NORTH ELEVATION
3/16" = 1'-0"



4 SOUTH ELEVATION
3/16" = 1'-0"



1 EAST ELEVATION
3/16" = 1'-0"



2 WEST ELEVATION
3/16" = 1'-0"

TOMPROS RESIDENCE

300 FAIRWAY DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

MATERIAL CALCULATIONS

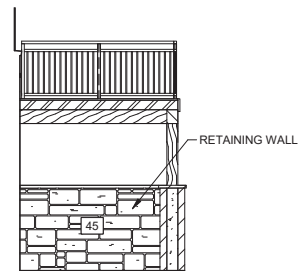
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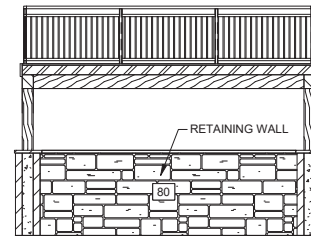
NOT FOR CONSTRUCTION

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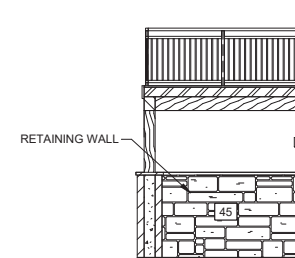
MATERIAL CALCULATIONS		
NORTH		
STONE	316 SF	32%
WOOD SIDING	290 SF	29%
WINDOW/DOOR GLAZING	387 SF	39%
SUBTOTAL:	993 SF	100%
SOUTH		
STONE	375 SF	43%
WOOD SIDING	345 SF	40%
WINDOW/DOOR GLAZING	148.5 SF	17%
SUBTOTAL:	868.5 SF	100%
EAST		
STONE	240 SF	21%
WOOD SIDING	558 SF	48%
WINDOW/DOOR GLAZING	215 SF	19%
WOOD GARAGE DOOR	136 SF	12%
SUBTOTAL:	1,149 SF	100%
WEST		
STONE	599 SF	40%
WOOD SIDING	785 SF	52%
WINDOW/DOOR GLAZING	115 SF	8%
SUBTOTAL:	1,499 SF	100%
ENTRY NORTH		
STONE	80 SF	38%
WOOD SIDING	97 SF	46%
WINDOW/DOOR GLAZING	32.5 SF	16%
SUBTOTAL:	209.5 SF	100%
ENTRY SOUTH		
STONE	21 SF	28%
WOOD SIDING	54 SF	72%
SUBTOTAL:	75 SF	100%
RETAINING WALLS		
STONE	352 SF	100%
CHIMNEY		
STONE	76 SF	100%
TOTALS		
STONE	1,631 SF	
STONE @ RETAINING WALL	352 SF	2,059 SF
STONE @ CHIMNEY	76 SF	
WOOD SIDING	2,129 SF	
WINDOW/DOOR GLAZING	898 SF	
WOOD GARAGE DOOR	136 SF	
TOTAL:	5,222 SF	
PERCENTAGES		
STONE	31 %	
STONE @ RETAINING WALL	7 %	39 %
STONE @ CHIMNEY	1 %	
WOOD SIDING	41 %	
WINDOW/DOOR GLAZING	17 %	
WOOD GARAGE DOOR	3 %	
TOTAL:	100 %	
STONE VENEER CALCULATIONS ARE IN ACCORDANCE WITH TITLE 17 OF THE TOWN OF MOUNTAIN VILLAGE MUNICIPAL CODE CDC 17.5.6.E.1		



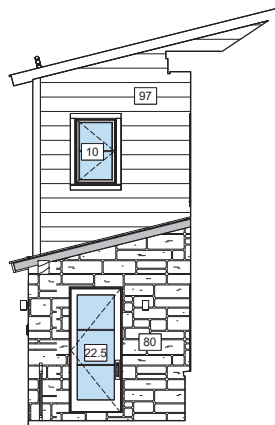
5 BEDROOM 2 PATIO EAST
3/16" = 1'-0"



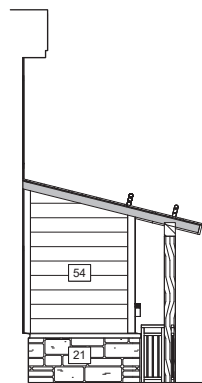
6 BEDROOM 2 PATIO SOUTH
3/16" = 1'-0"



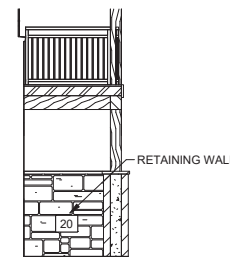
7 BEDROOM 2 PATIO WEST
3/16" = 1'-0"



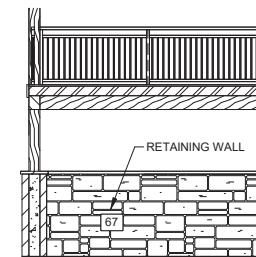
1 ENTRY PORCH NORTH
3/16" = 1'-0"



2 ENTRY PORCH SOUTH
3/16" = 1'-0"



3 BEDROOM 1 PATIO EAST
3/16" = 1'-0"



4 BEDROOM 1 PATIO SOUTH
3/16" = 1'-0"

TOMPROS RESIDENCE

300 FAIRWAY DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

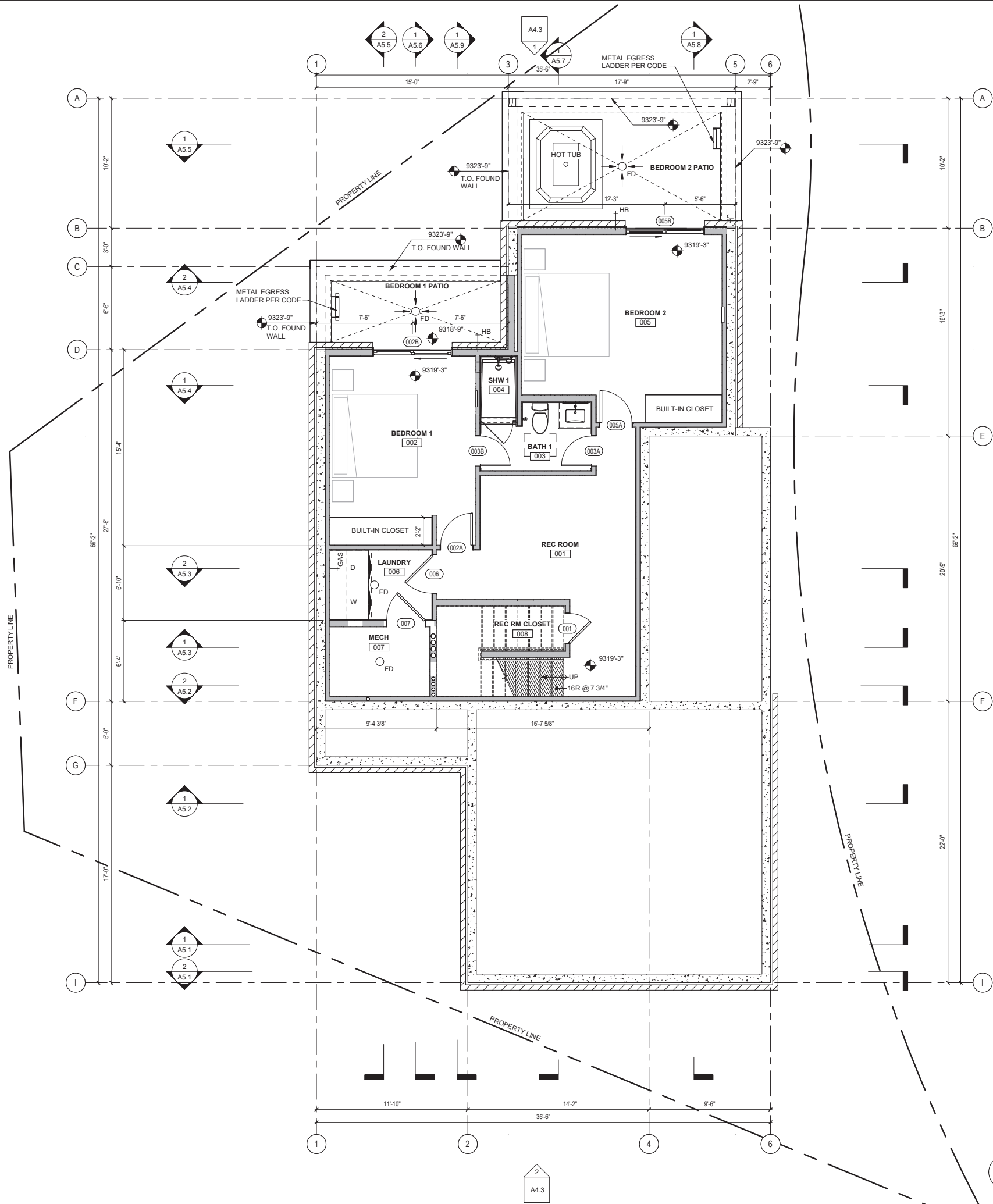
MATERIAL
CALCULATIONS

SHEET NUMBER

A2.3

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FLOOR PLAN GENERAL NOTES:

1. DIMENSIONS: ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE, ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
2. DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.N.O.
3. FIREPLACE SHALL BE DIRECT VENT GAS. LIVING ROOM SHALL BE VENTED THRU EXTERIOR WALL OF FALSE CHIMNEY SHAFT. SEE FLOOR PLAN FOR LOCATION.
4. PROVIDE AN EMERGENCY SHUTOFF SWITCH FOR HOT TUB IN ACCORDANCE WITH 2018 IRC E4208.4 EMERGENCY SWITCH FOR SPAS AND HOT TUBS. CONTRACTOR TO VERIFY LOCATION IN FIELD.
5. FOR HEATED CONC AREAS, REFERENCE SHT A1.1 SNOW MELT PLANS.



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PROJECT ISSUE DATE:
 08.07.24 DRB FINAL REVIEW

REVISIONS

NO.	DATE	DESC.

TOMPROS RESIDENCE

300 FAIRWAY DRIVE, MOUNTAIN VILLAGE, CO 81435
 UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

FLOOR PLAN

SHEET NUMBER

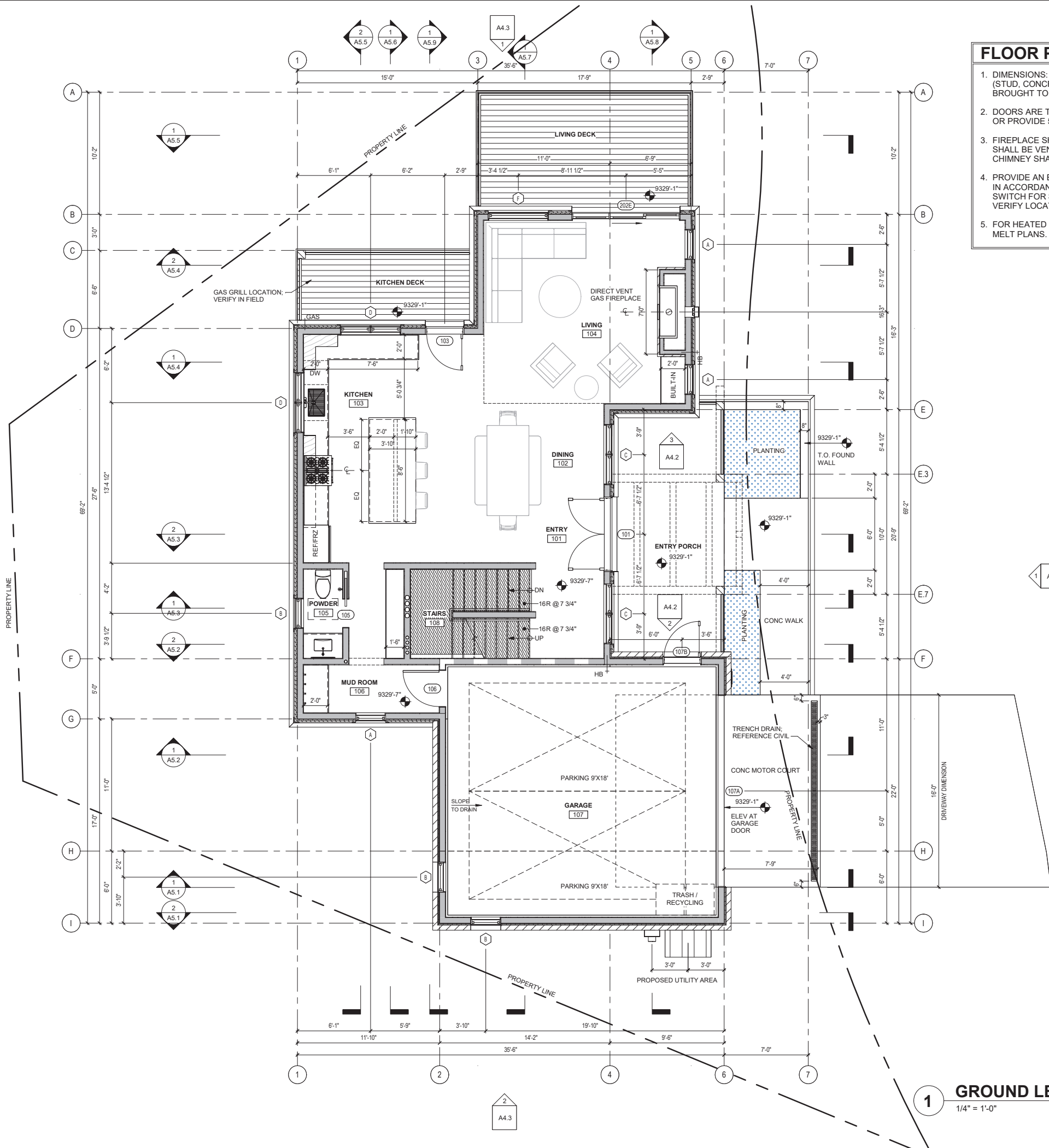
A3.1

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1 LOWER LEVEL
 1/4" = 1'-0"

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FLOOR PLAN GENERAL NOTES:

1. DIMENSIONS: ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE, ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
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3. FIREPLACE SHALL BE DIRECT VENT GAS. LIVING ROOM SHALL BE VENTED THRU EXTERIOR WALL OF FALSE CHIMNEY SHAFT. SEE FLOOR PLAN FOR LOCATION.
4. PROVIDE AN EMERGENCY SHUTOFF SWITCH FOR HOT TUB IN ACCORDANCE WITH 2018 IRC E4208.4 EMERGENCY SWITCH FOR SPAS AND HOT TUBS. CONTRACTOR TO VERIFY LOCATION IN FIELD.
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 NO. DATE DESC.

TOMPROS RESIDENCE

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 UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

FLOOR PLAN

SHEET NUMBER

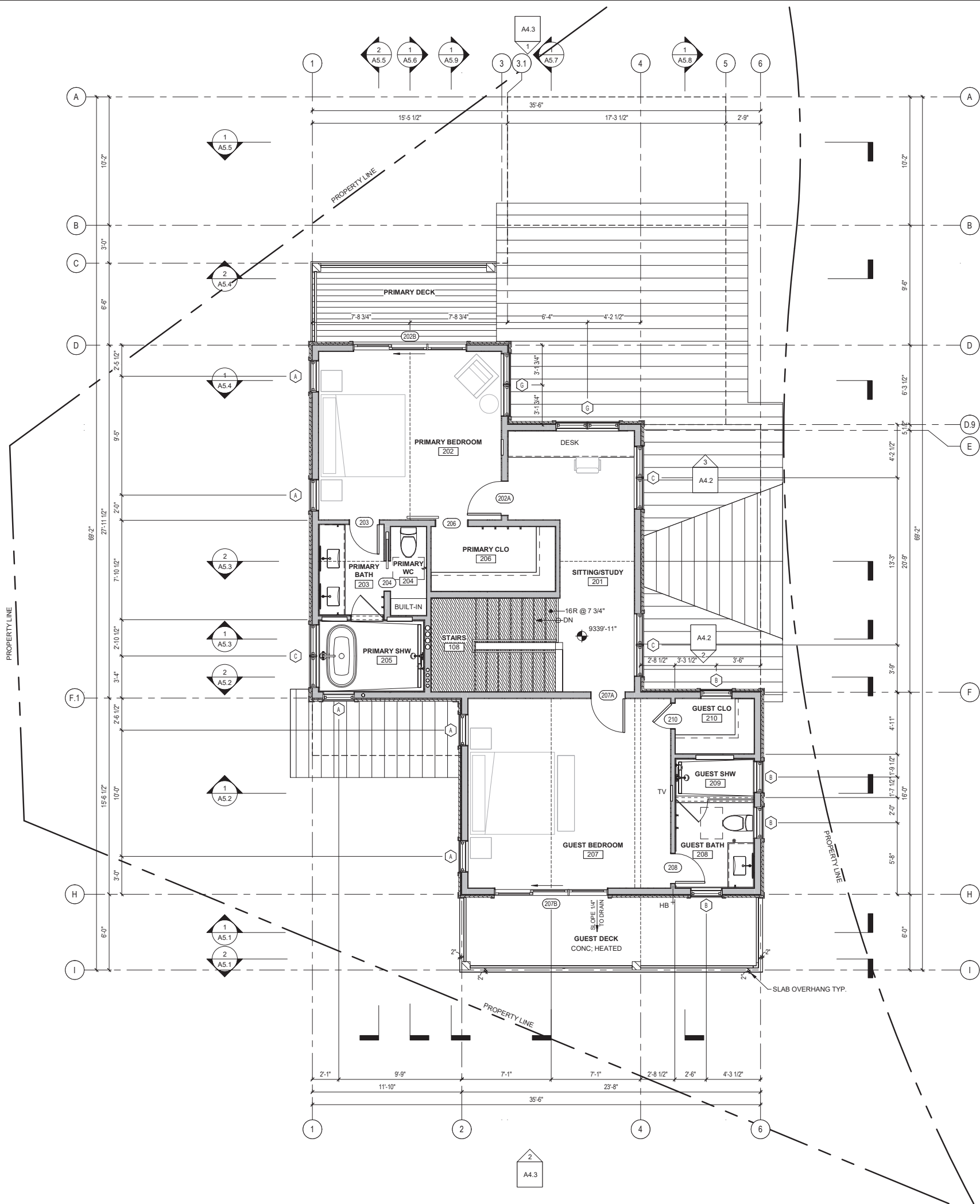
A3.2

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1 GROUND LEVEL
 1/4" = 1'-0"



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FLOOR PLAN GENERAL NOTES:

1. DIMENSIONS: ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE, ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
2. DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.N.O.
3. FIREPLACE SHALL BE DIRECT VENT GAS. LIVING ROOM SHALL BE VENTED THRU EXTERIOR WALL OF FALSE CHIMNEY SHAFT. SEE FLOOR PLAN FOR LOCATION.
4. PROVIDE AN EMERGENCY SHUTOFF SWITCH FOR HOT TUB IN ACCORDANCE WITH 2018 IRC E4208.4 EMERGENCY SWITCH FOR SPAS AND HOT TUBS. CONTRACTOR TO VERIFY LOCATION IN FIELD.
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REVISIONS

NO.	DATE	DESC.

TOMPROS RESIDENCE

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 UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

FLOOR PLAN

SHEET NUMBER

1 UPPER LEVEL
 1/4" = 1'-0"

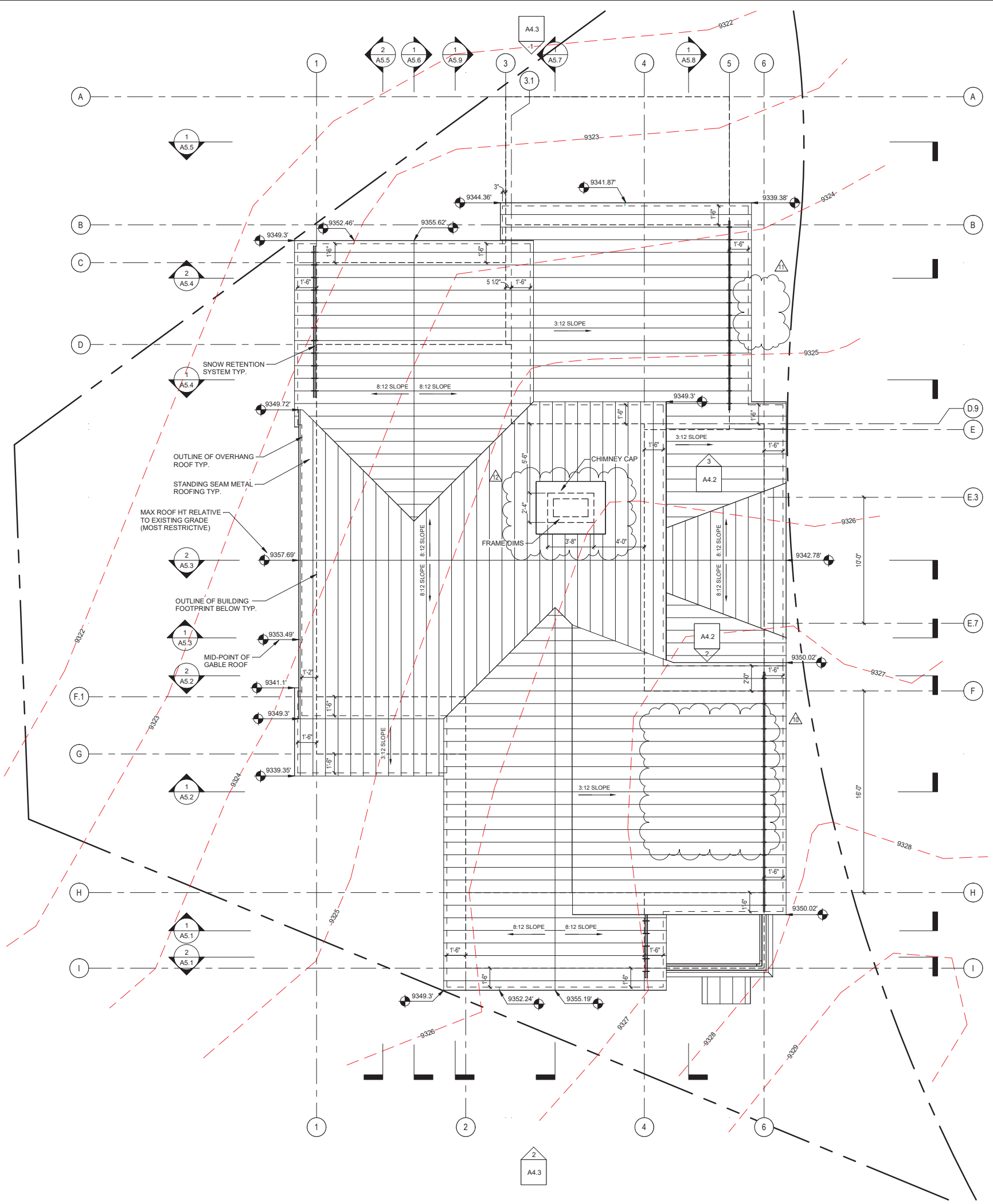


A3.3

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- ### ROOF PLAN NOTES
1. ROOFING SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 2. ALL OVERHANG DIMENSIONS ARE FROM EXTERIOR FACE OF STUD (GRID) TO STRUCTURAL ROOF.
 3. PROVIDE SNOW RETENTION SYSTEM WHERE SHOWN. CONTRACTOR AND ROOF MANUFACTURER TO PROVIDE WATERPROOFING FOR FULL WARRANTY AT SNOW RETENTION PENETRATIONS TYP.
 4. REFERENCE MECHANICAL DRAWINGS FOR LOCATIONS OF ROOF PENETRATIONS.
 5. PAINT ALL ROOF APPURTENANCES TO MATCH ADJACENT ROOF.



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PROJECT ISSUE DATE:
 08.07.24 DRB FINAL REVIEW

REVISIONS

NO.	DATE	DESC.
10	08.06.24	Remove dormer at garage
11	08.06.24	Remove chimney
12	08.06.24	New false chimney location

TOMPROS RESIDENCE

300 FAIRWAY DRIVE, MOUNTAIN VILLAGE, CO 81435
 UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

ROOF PLAN

SHEET NUMBER

1 ROOF PLAN
 1/4" = 1'-0"



A3.4

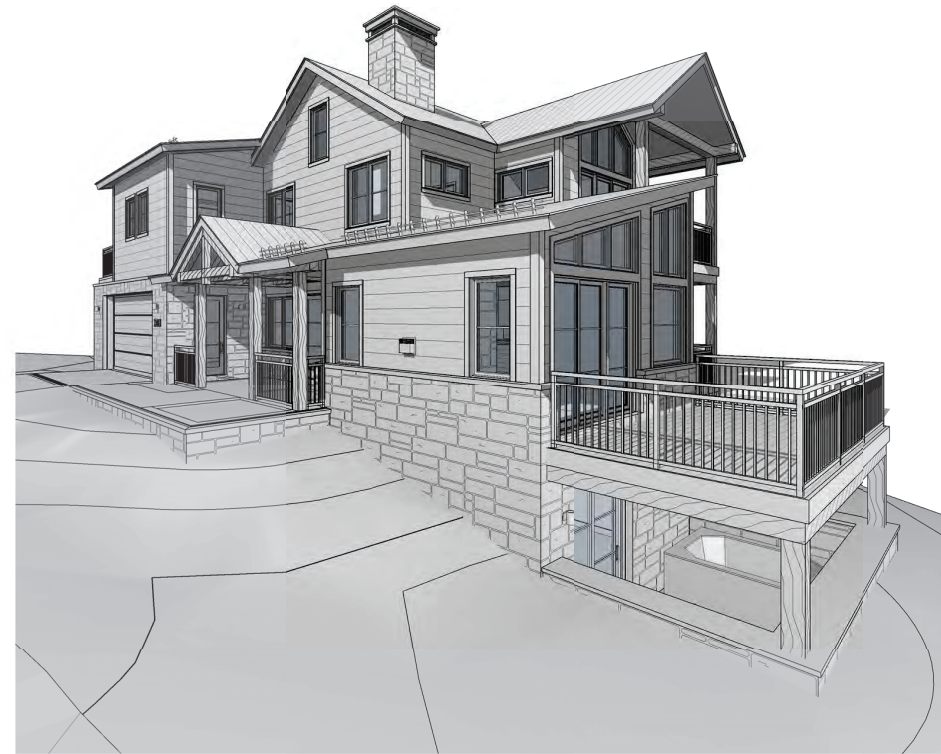
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3 NORTHWEST



4 NORTHEAST



1 SOUTHWEST



2 SOUTHEAST

TOMPROS RESIDENCE

300 FAIRWAY DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

AXONS

SHEET NUMBER

A4.0

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EXTERIOR ELEVATION NOTES

1. CONSISTANT WITH TOWN BUILDING CODES: UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.

FASCIA:
2X6 RAFTER TAIL W/ 2X8 WOOD FASCIA WRAPPED W/ FLAT METAL SHEET
FINISH: MATCH ROOFING

WOOD TIMBER TRUSS / BEAMS / COLUMNS:
FINISH: STAINED TO MATCH SIDING

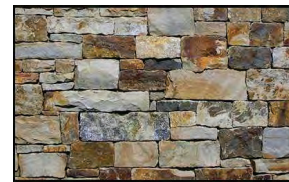
DECK BAND:
2X10 DOUG FIR WRAPPED W/ METAL:
FINISH: MATCH ROOF

RAILING:
STEEL RAILING SYSTEM
FINISH: BLACK POWDER COATED

SOFFIT:
MONTANA TIMBER; RANCHWOOD
COLOR: WESTERN
PROFILE: TONGUE & GROOVE
TEXTURE: WIRE BRUSHED
SPECIES: WESTERN RED CEDAR / CLEAR VERTICAL GRAIN
NOMINAL SIZE: 1X4 (ACTUAL SIZE 3/4" X 3 1/2")

CORNER BOARDS:
MONTANA TIMBER; RANCHWOOD
COLOR: WESTERN
SPECIES: WESTERN RED CEDAR / CLEAR VERTICAL GRAIN
NOMINAL SIZE: 1X6 (ACTUAL SIZE 3/4" X 5 1/2")

WINDOW/DOOR TRIM:
MONTANA TIMBER; RANCHWOOD
COLOR: WESTERN
SPECIES: WESTERN RED CEDAR / CLEAR VERTICAL GRAIN
NOMINAL SIZE: 1X4 (ACTUAL SIZE 3/4" X 3 1/2")



STONE VENEER:
TELLURIDE GOLD SERIES
HIGHLANDS
FULL STONE VENEER



WOOD SIDING:
MONTANA TIMBER; RANCHWOOD
COLOR: WESTERN
PROFILE: SHIPLAP (1/2" TAB)
TEXTURE: WIRE BRUSHED
SPECIES: WESTERN RED CEDAR / CLEAR VERTICAL GRAIN
NOMINAL SIZE: 2X12 (ACTUAL SIZE 1 1/2" X 11 1/4")
FACE: 10 1/2"



SHIPLAP (1/2" TAB)



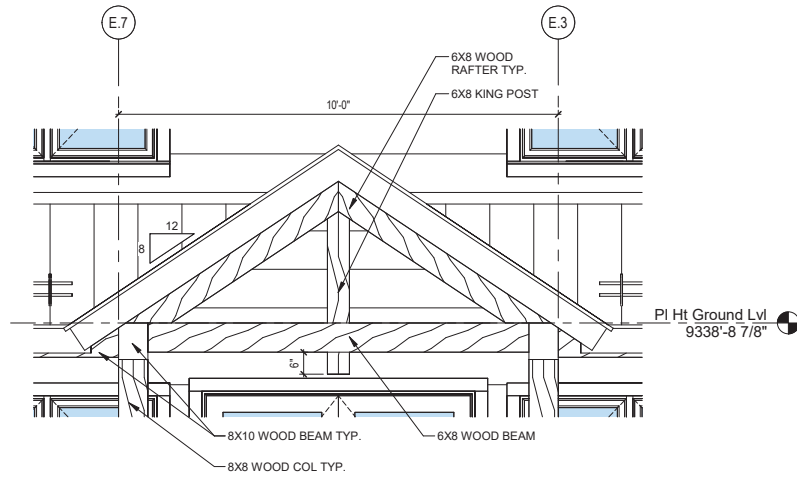
WINDOWS / DOORS:
JELD-WEN; SITELINE CONTEMPORARY
SLIDING DOORS: NARROW STILE
EXTERIOR: LUXURY BRONZE
INTERIOR: PRE-PAINTED BLACK/ST INK



ROOFING:
PAC-CLAD 150 12" STANDING SEAM
METAL ROOFING; DARK BRONZE



WOOD DECKING:
THERMORY; BENCHMARK ASH
5/4X6 STANDARD NO GROOVE (JEM)
SPECIES: WHITE ASH
INSTALLATION TYPE: HIDDEN
COLOR: BROWN (NATURAL)



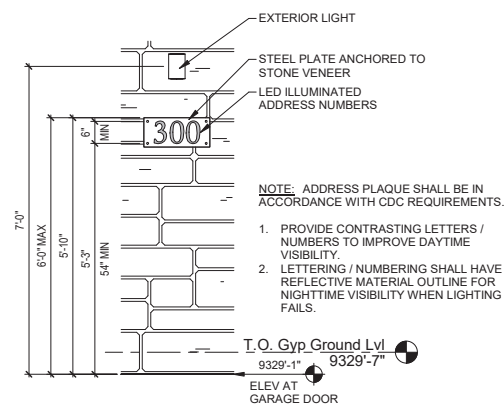
3 CUSTOM TRUSS AT ENTRY PORCH

1/2" = 1'-0"

EXTERIOR MATERIALS

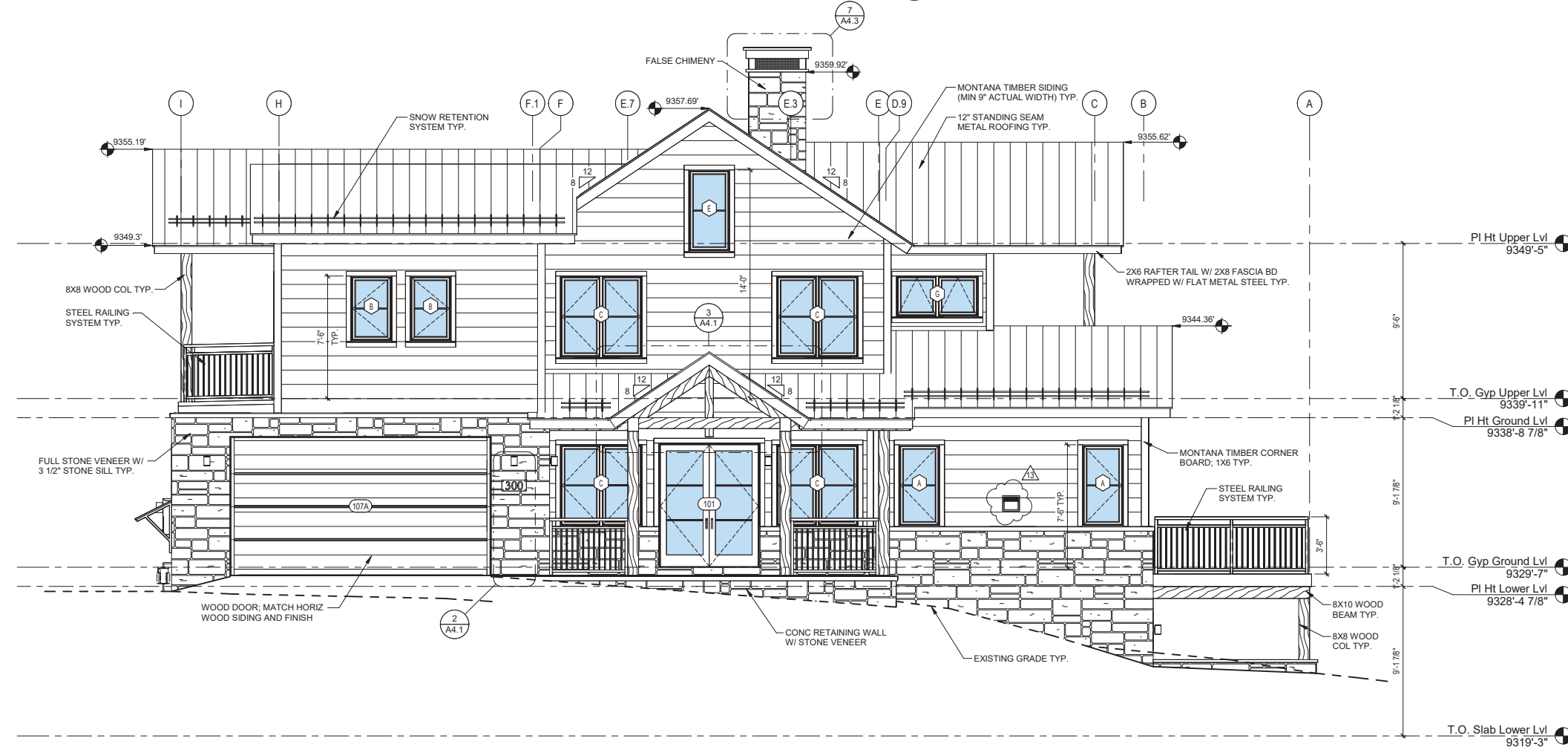
ADDRESS PLAQUE

LED ILLUMINATED ADDRESS NUMBERS	
MANUFACTURER	MODERN LIGHTS
ITEM	LUMA NUMBERS W/ MOUNTING PLATE
NUMBER COLOR / SIZE	STAINLESS STEEL; BRUSHED NICKEL 7"
MOUNTING PLATE	BRONZE: 8.03"X17.72"
WATTAGE	5W PER NUMBER (15W)
LED COLOR	2700K
POWDER SOURCE	24W, 9V



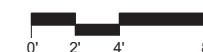
2 ADDRESS PLAQUE

1/2" = 1'-0"



1 EAST ELEVATION

1/4" = 1'-0"



TOMPROS RESIDENCE

EXTERIOR ELEVATIONS

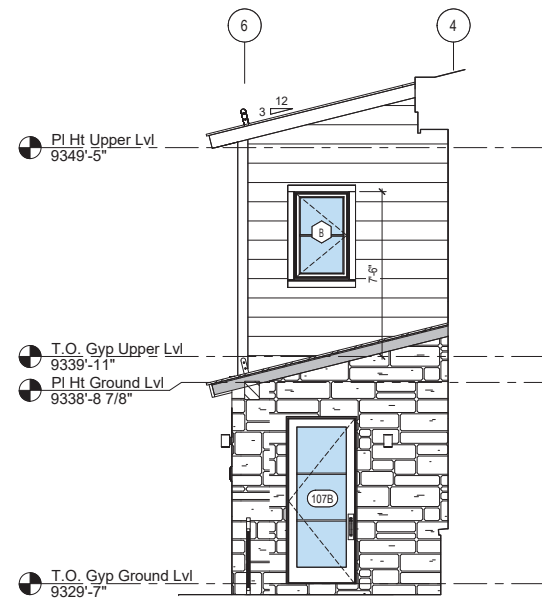
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A4.1

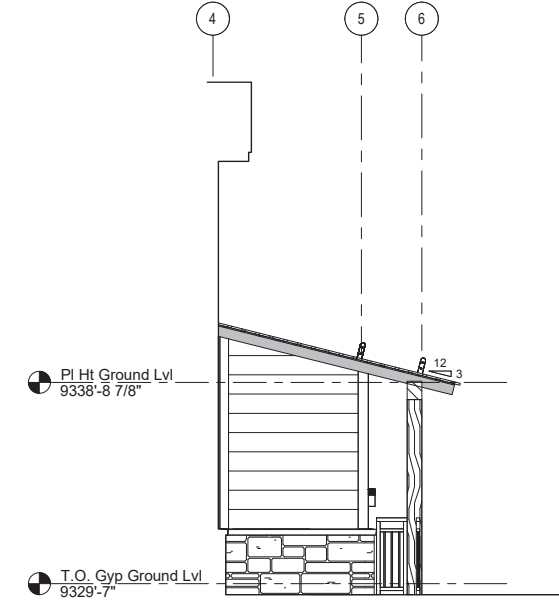
300 FAIRWAY DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

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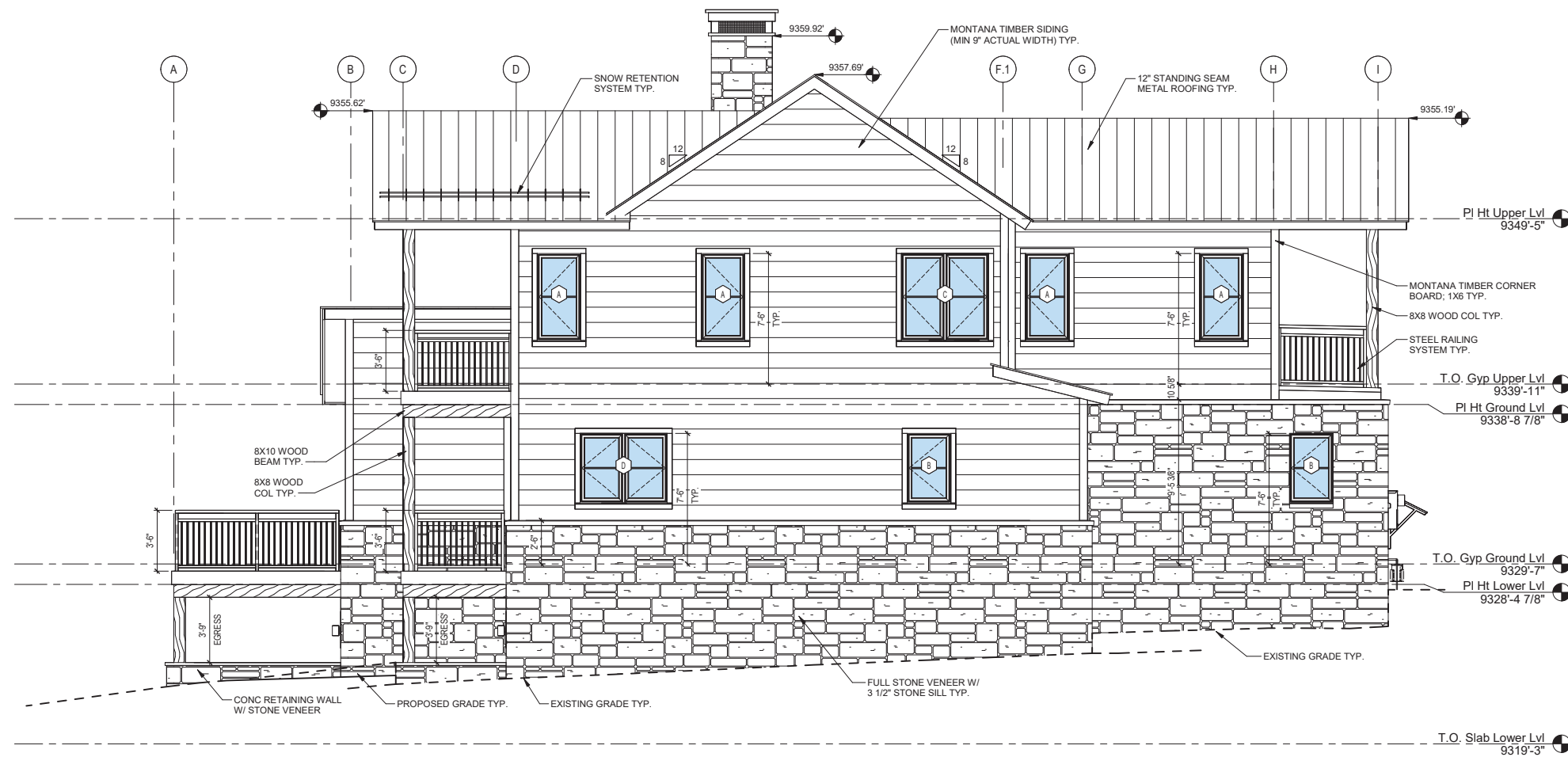
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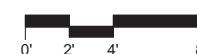
2 PARTIAL ELEV AT ENTRY PORCH NORTH
1/4" = 1'-0"



3 PARTIAL ELEV AT ENTRY PORCH SOUTH
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"



TOMPROS RESIDENCE

EXTERIOR
ELEVATIONS

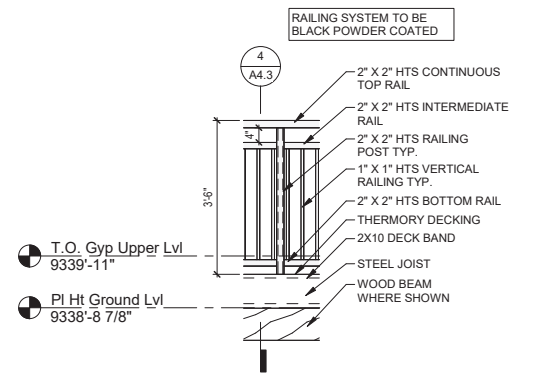
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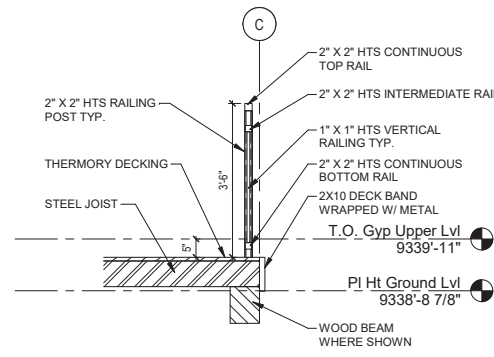
300 FAIRWAY DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

NOT FOR CONSTRUCTION

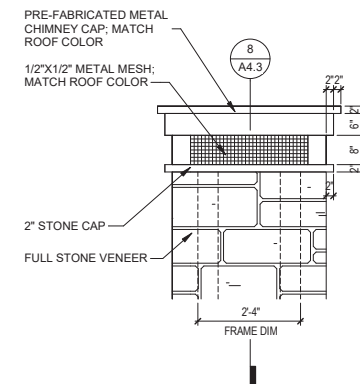
©shift architects



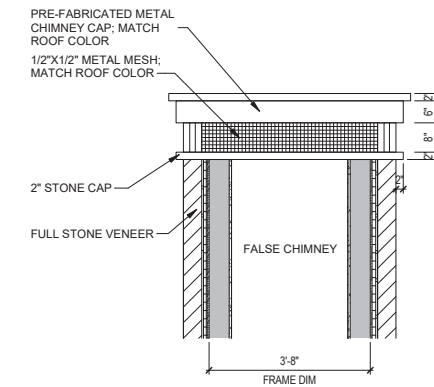
3 EXTERIOR RAILING DETAIL
1/2" = 1'-0"



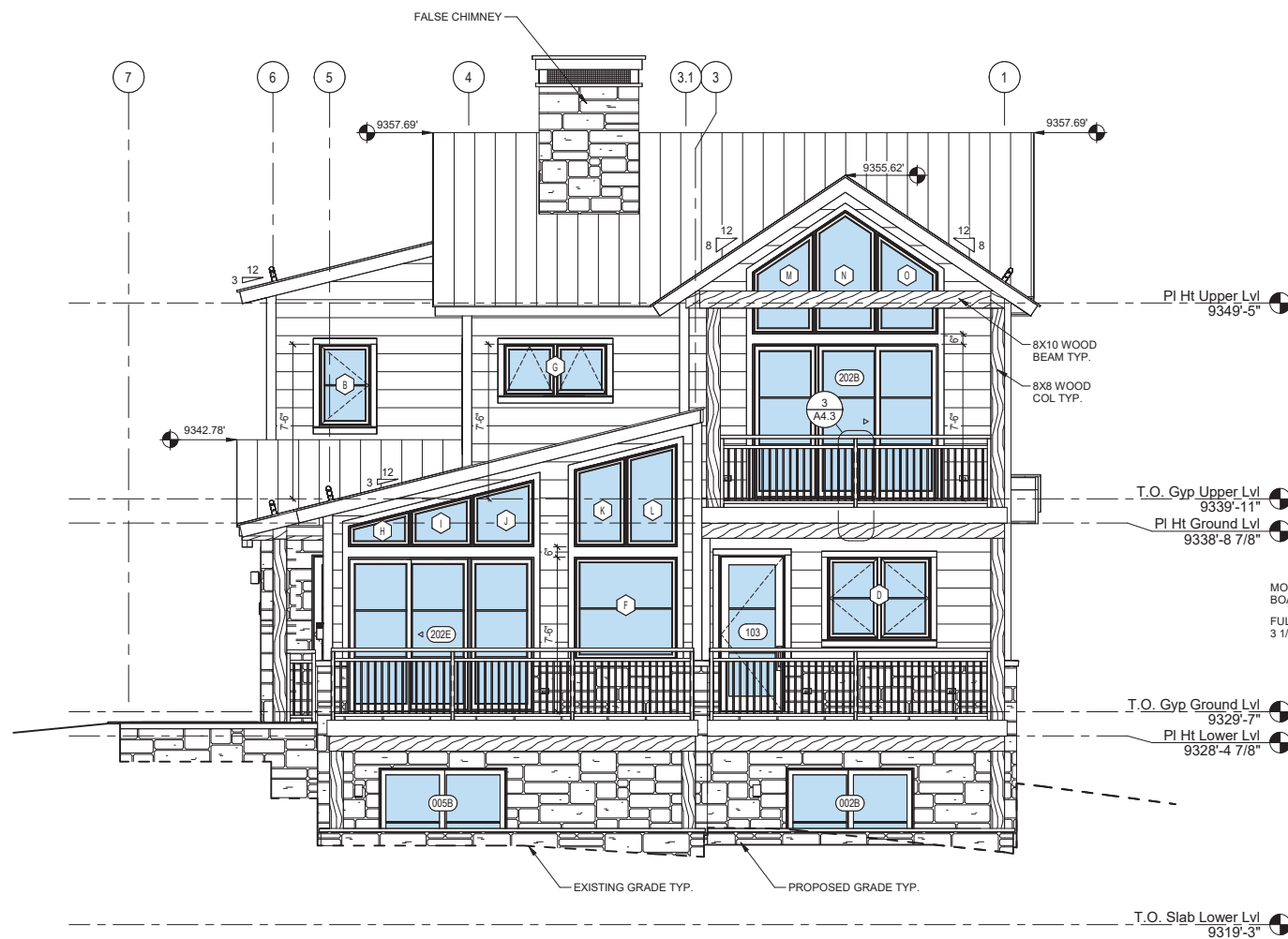
4 EXTERIOR RAILING SECTION
1/2" = 1'-0"



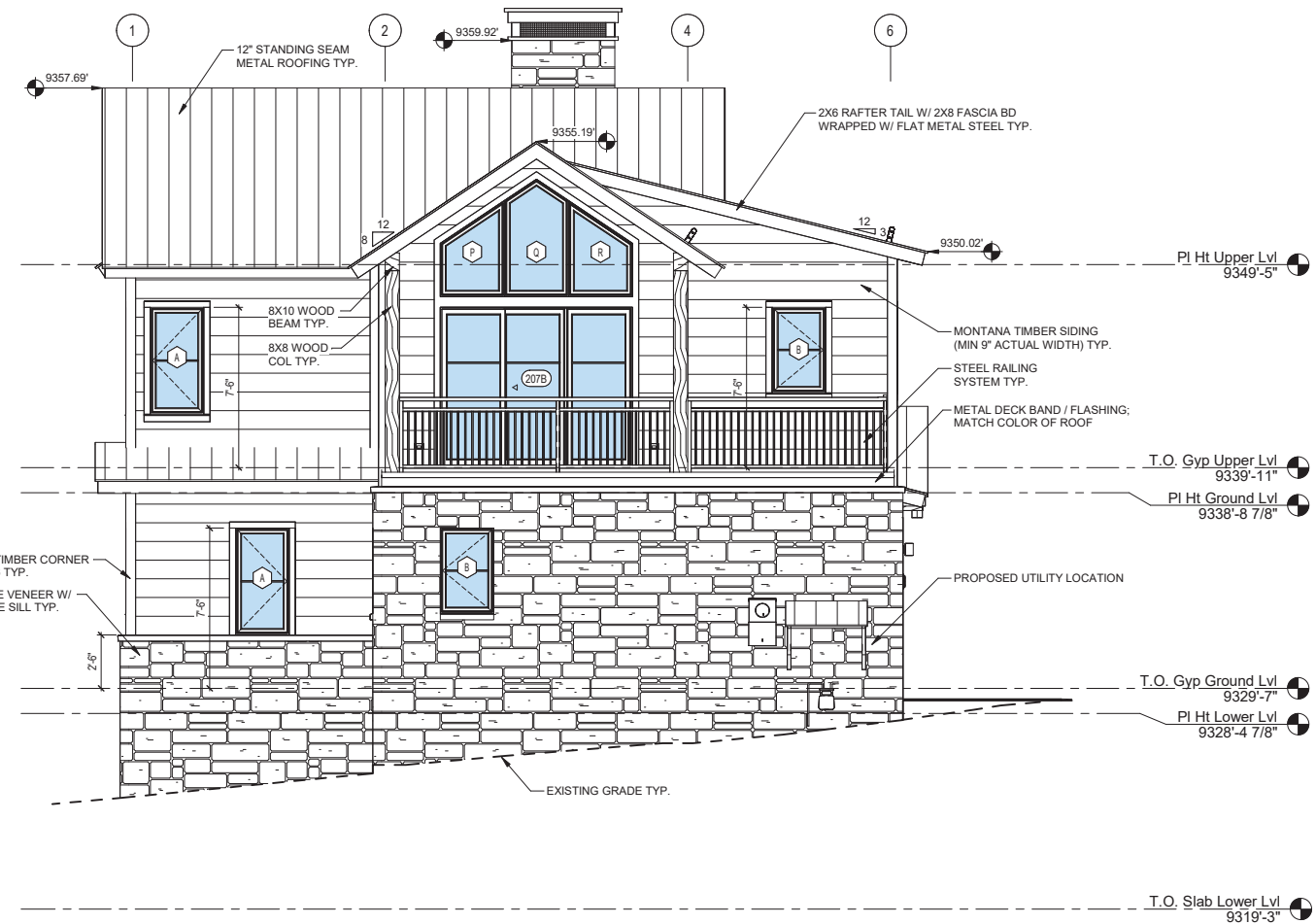
7 CHIMNEY CAP ELEVATION
1/2" = 1'-0"



8 CHIMNEY CAP SECTION
1/2" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



TOMPROS RESIDENCE

300 FAIRWAY DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

EXTERIOR ELEVATIONS

SHEET NUMBER

A4.3

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3 WEST ELEVATION
3/16" = 1'-0"



4 SOUTH ELEVATION
3/16" = 1'-0"



1 EAST ELEVATION
3/16" = 1'-0"



2 NORTH ELEVATION
3/16" = 1'-0"

TOMPROS RESIDENCE

300 FAIRWAY DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

PRESENTATION
ELEVATIONS

SHEET NUMBER

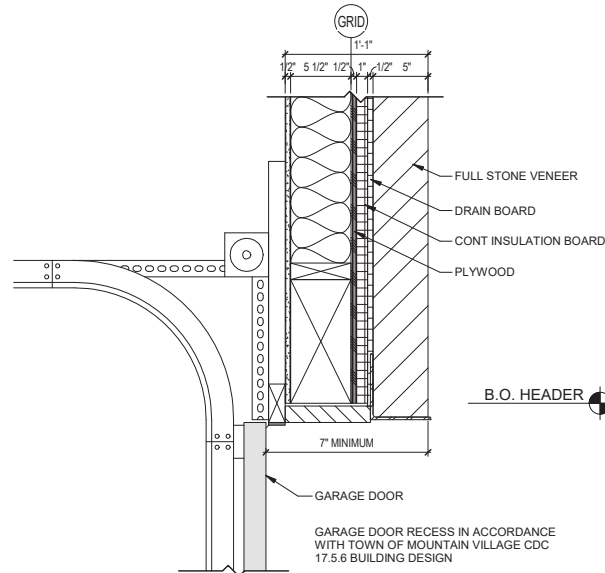
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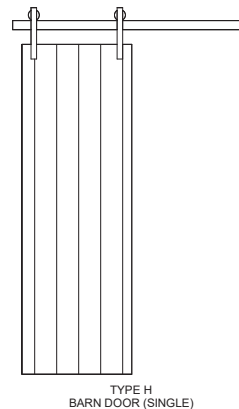
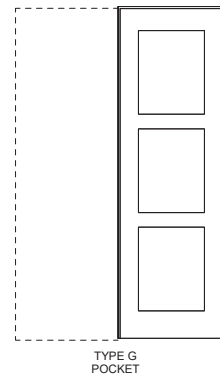
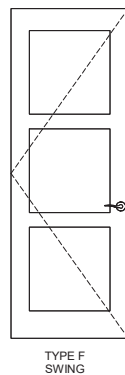
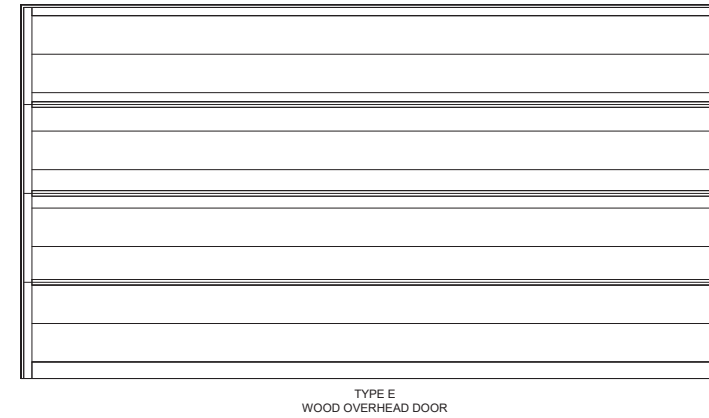
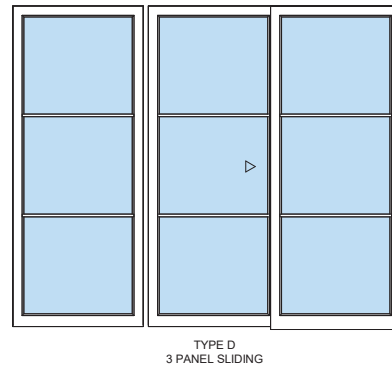
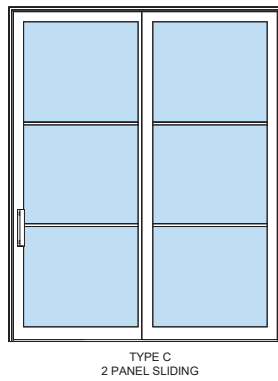
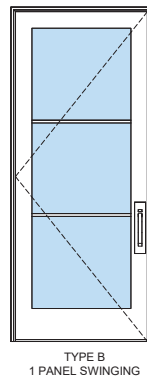
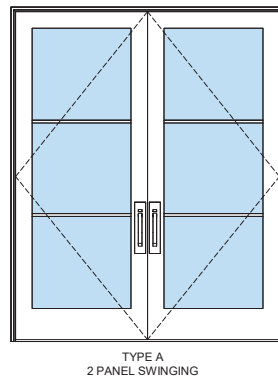
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DOOR NOTES:

1. DOOR INSTALLATION: INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. PROVIDE SAFETY GLAZING AS REQUIRED BY CODE.
3. SEE ELEVATIONS FOR DOOR MUNTIN PATTERN.
4. DOOR HARDWARE T.B.D. VERIFY WITH ARCHITECT.
5. DOOR MANUFACTURER: JELD-WEN SITELINE CONTEMPORARY ALUMN CLAD EXTERIOR / WOOD INTERIOR, PRE-PAINTED.
6. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
7. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
8. PROVIDE SCREENS FOR ALL DOORS.
9. DOORS SHALL BE IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE CHAPTER 17.5 DESIGN REGULATIONS (17.5.6.H DOORS AND ENTRY WAYS).



1 GARAGE DOOR RECESS
1 1/2" = 1'-0"



DOOR SCHEDULE EXTERIOR PANEL							
MARK	ROOM NAME	TYPE MARK	PANEL WIDTH	PANEL HEIGHT	TYPE	MANUFACTURER	COMMENTS
101	ENTRY	A	6'-0"	7'-6"	2-PANEL SWINGING	JELD-WEN; SITELINE CONTEMPORARY, CLAD-WOOD	
103	KITCHEN	B	3'-0"	7'-6"	1-PANEL SWINGING	JELD-WEN; SITELINE CONTEMPORARY, CLAD-WOOD	
107A	GARAGE	E	16'-0"	8'-6"	OVERHEAD DOOR		HORIZ WOOD; MATCH SIDING
107B	GARAGE	B	3'-0"	7'-6"	1-PANEL SWINGING		

DOOR SCHEDULE EXTERIOR FRAME							
MARK	ROOM NAME	TYPE MARK	UNIT WIDTH	UNIT HEIGHT	TYPE	MANUFACTURER	COMMENTS
002B	BEDROOM 1	C	6'-0"	7'-6"	SLIDING PATIO (2 PANEL), NARROW STILE	JELD-WEN; SITELINE CONTEMPORARY, CLAD-WOOD	
005B	BEDROOM 2	C	6'-0"	7'-6"	SLIDING PATIO (2 PANEL), NARROW STILE	JELD-WEN; SITELINE CONTEMPORARY, CLAD-WOOD	
202B	PRIMARY BEDROOM	D	9'-0"	7'-6"	SLIDING PATIO (3 PANEL), NARROW STILE	JELD-WEN; SITELINE CONTEMPORARY, CLAD-WOOD	
202E	LIVING	D	9'-0"	7'-6"	SLIDING PATIO (3 PANEL), NARROW STILE	JELD-WEN; SITELINE CONTEMPORARY, CLAD-WOOD	
207B	GUEST BEDROOM	D	9'-0"	7'-6"	SLIDING PATIO (3 PANEL), NARROW STILE	JELD-WEN; SITELINE CONTEMPORARY, CLAD-WOOD	

DOOR SCHEDULE INTERIOR PANEL						
MARK	ROOM NAME	TYPE MARK	PANEL WIDTH	PANEL HEIGHT	TYPE	COMMENTS
001	REC ROOM	F	2'-4"	7'-6"	SWING	
002A	BEDROOM 1	F	2'-6"	7'-6"	SWING	
003A	BATH 1	F	2'-4"	7'-6"	SWING	
003B	BATH 1	F	2'-4"	7'-6"	SWING	
005A	BEDROOM 2	F	2'-6"	7'-6"	SWING	
006	LAUNDRY	F	3'-0"	7'-6"	SWING	
007	MECH	F	3'-0"	7'-6"	SWING	20 MIN FIRE-RATED
105	POWDER	G	2'-4"	7'-6"	POCKET	
106	MUD ROOM	F	3'-0"	7'-6"	SWING	
202A	PRIMARY BEDROOM	F	2'-8"	7'-6"	SWING	
203	PRIMARY BATH	F	2'-4"	7'-6"	SWING	
204	PRIMARY BATH	F	2'-4"	7'-6"	POCKET	
206	PRIMARY CLO	H	2'-6"	7'-6"	BARN DOOR	
207A	GUEST BEDROOM	F	2'-8"	7'-6"	SWING	
210	GUEST BEDROOM	F	2'-0"	7'-6"	SWING	

DOOR TYPES



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PROJECT ISSUE DATE:
08.07.24 DRB FINAL REVIEW

REVISIONS
NO. DATE DESC.

TOMPROS RESIDENCE

300 FAIRWAY DRIVE, MOUNTAIN VILLAGE, CO 81435
UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

DOOR SCHEDULE

SHEET NUMBER

A8.1

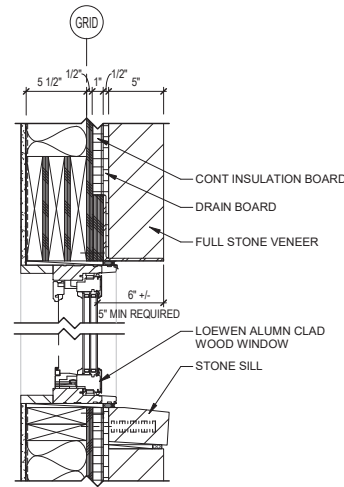
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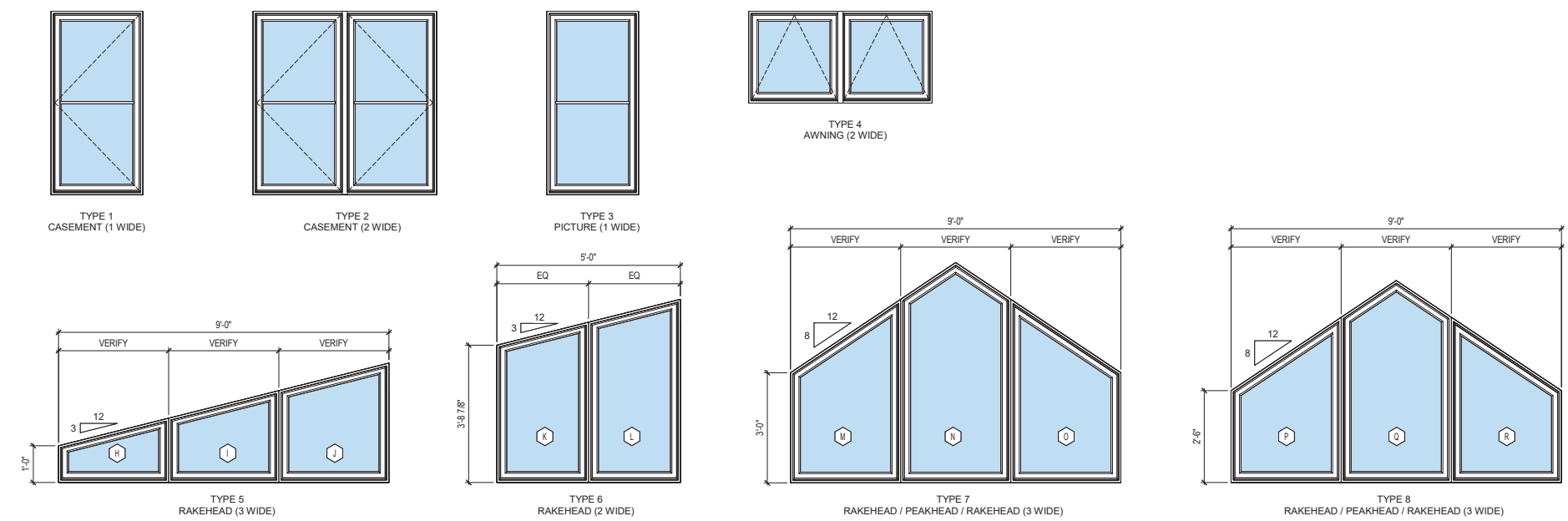
WINDOW NOTES:

- WINDOW INSTALLATION: INSTALL WINDOWS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- PROVIDE SAFETY GLAZING AS REQUIRED BY CODE.
- SEE ELEVATIONS FOR WINDOW MUNTIN PATTERN.
- WINDOW MANUFACTURER: JELD-WEN SITELINE CONTEMPORARY ALUMN CLAD EXTERIOR / WOOD INTERIOR, PRE-PAINTED.
- WINDOW HARDWARE T.B.D. VERIFY WITH ARCHITECT.
- VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
- WINDOW MANUFACTURER TO VERIFY WINDOW SWINGS.
- WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
- PROVIDE SCREENS FOR ALL OPERABLE WINDOWS.
- WINDOWS SHALL BE IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE CHAPTER 17.5 DESIGN REGULATIONS (17.5.6.G GLAZING).



1 WINDOW HEAD/SILL STONE VENEER
1 1/2" = 1'-0"

ROOM NUMBER	ROOM NAME	TYPE MARK	UNIT WIDTH	UNIT HEIGHT	TYPE MARK	TYPE	MANUFACTURER	COMMENTS
101	ENTRY	C	5'-0"	5'-0"	2	CASEMENT (2 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
102	DINING	C	5'-0"	5'-0"	2	CASEMENT (2 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
103	KITCHEN	D	5'-0"	4'-0"	2	CASEMENT (2 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
103	KITCHEN	D	5'-0"	4'-0"	2	CASEMENT (2 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
104	LIVING	A	2'-6"	5'-0"	1	CASEMENT (1 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
104	LIVING	A	2'-6"	5'-0"	1	CASEMENT (1 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
104	LIVING	F	5'-0"	5'-0"	3	PICTURE (1 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
104	LIVING	H	3'-0"	1'-0"	5	PICTURE (RAKEHEAD)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
104	LIVING	I	3'-0"	1'-9"	5	PICTURE (RAKEHEAD)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
104	LIVING	J	3'-0"	2'-6"	5	PICTURE (RAKEHEAD)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
104	LIVING	K	2'-6"	3'-8 7/8"	6	PICTURE (RAKEHEAD)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
104	LIVING	L	2'-6"	4'-4 3/8"	6	PICTURE (RAKEHEAD)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
105	POWDER	B	2'-6"	4'-0"	1	CASEMENT (1 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
106	MUD ROOM	A	2'-6"	5'-0"	1	CASEMENT (1 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
107	GARAGE	B	2'-6"	4'-0"	1	CASEMENT (1 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
107	GARAGE	B	2'-6"	4'-0"	1	CASEMENT (1 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
201	SITTING/STUDY	C	5'-0"	5'-0"	2	CASEMENT (2 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
201	SITTING/STUDY	C	5'-0"	5'-0"	2	CASEMENT (2 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
201	SITTING/STUDY	E	2'-6"	5'-0"	3	PICTURE (1 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
201	SITTING/STUDY	G	5'-0"	2'-6"	4	AWNING (2 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
202	PRIMARY BEDROOM	A	2'-6"	5'-0"	1	CASEMENT (1 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
202	PRIMARY BEDROOM	A	2'-6"	5'-0"	1	CASEMENT (1 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
202	PRIMARY BEDROOM	G	5'-0"	2'-6"	4	AWNING (2 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
202	PRIMARY BEDROOM	M	3'-0"	3'-0"	7	PICTURE (RAKEHEAD)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
202	PRIMARY BEDROOM	N	3'-0"	5'-0"	7	PICTURE (PEAKHEAD)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
202	PRIMARY BEDROOM	O	3'-0"	3'-0"	7	PICTURE (RAKEHEAD)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
205	PRIMARY SHW	A	2'-6"	5'-0"	1	CASEMENT (1 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
205	PRIMARY SHW	C	5'-0"	5'-0"	2	CASEMENT (2 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
207	GUEST BEDROOM	A	2'-6"	5'-0"	1	CASEMENT (1 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
207	GUEST BEDROOM	A	2'-6"	5'-0"	1	CASEMENT (1 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
207	GUEST BEDROOM	P	3'-0"	2'-6"	8	PICTURE (RAKEHEAD)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
207	GUEST BEDROOM	Q	3'-0"	4'-6"	8	PICTURE (PEAKHEAD)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
207	GUEST BEDROOM	R	3'-0"	2'-6"	8	PICTURE (RAKEHEAD)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
208	GUEST BATH	B	2'-6"	4'-0"	1	CASEMENT (1 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
208	GUEST BATH	B	2'-6"	4'-0"	1	CASEMENT (1 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
209	GUEST SHW	B	2'-6"	4'-0"	1	CASEMENT (1 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	
210	GUEST CLO	B	2'-6"	4'-0"	1	CASEMENT (1 WIDE)	JELD-WEN: SITELINE CONTEMPORARY, CLAD-WOOD	



WINDOW TYPES



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REVISIONS
NO. DATE DESC.

TOMPROS RESIDENCE

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UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

WINDOW SCHEDULE

SHEET NUMBER

A8.2

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EXTERIOR FIXTURE X1:

EXTERIOR WALL SCONCE (6 TOTAL)



CYLINDER LED OUTDOOR WALL SCONCE (SMALL)	
BRONZE	
MANUFACTURER	WAC LIGHTING
ITEM	WS-W190208-30-BZ
MATERIAL	DIE CAST ALUMINUM
WIDTH	4.5"
HEIGHT	6.75"
CRI	80
COLOR TEMP	3000K
LUMENS	325
LUMENS (DELIVERED)	260
WATTAGE	6W
LAMP TYPE	LED BUILT-IN
BULB	1X LED / INTEGRATED LED MODULE
LED LIFESPAN	50,000 HRS
VOLTAGE	120 V
DIMMABLE	YES, 100%, 10% ELV
LIGHT STYLE	DOWNLIGHT ONLY
CERTIFICATION	ETL & cETL WET LOCATION LISTED

MOUNTING HEIGHT:
THE MAXIMUM HEIGHT FOR A WALL-MOUNTED LIGHT FIXTURE SHALL BE SEVEN FEET (7') ABOVE THE DIRECTLY ADJACENT WALKING SURFACE OR PATHWAY, EXCEPT FOR SIGN LIGHTING THAT MAY BE HIGHER AS REVIEWED AND APPROVED BY THE REVIEW AUTHORITY TO ALLOW FOR PROPER ILLUMINATION OF THE SIGN.

EXTERIOR FIXTURE X2:

EXTERIOR WALL / STEP LIGHT (7 TOTAL)



LED STEP AND WALL LIGHT	
BRONZE ON ALUMINUM	
MANUFACTURER	WAC LIGHTING
ITEM	WL-LED100-C-BZ
MATERIAL	CORROSION RESISTANT ALUMINUM ALLOY
WIDTH	5"
HEIGHT	3"
DEPTH	1 1/2"
LUMENS	68
CRI	90
COLOR TEMP	3000K
RATED LIFE	54,000 HOURS
DIMMABLE	10% - 100%
	WITH ELECTRONIC LOW VOLTAGE (ELV) DIMMER
LIGHT SOURCE	PRIMARY BULB: X 3.90 WATTS INTEGRATED LED MODULE
WATTAGE	3.9W
VOLTAGE	120V, DIRECT WIRING
CERTIFICATION	IP66, UL & cUL FOR WET LOCATIONS

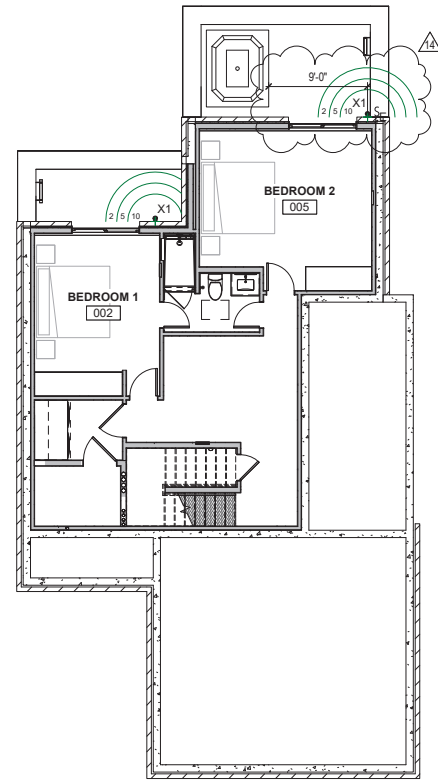
MOUNTING HEIGHT:
THE HEIGHT FOR A STEP/WALL-MOUNTED LIGHT FIXTURE SHALL BE SIXTEEN INCHES (16") ABOVE THE DIRECTLY ADJACENT DECK OR PATIO.

LIGHTING NOTES:

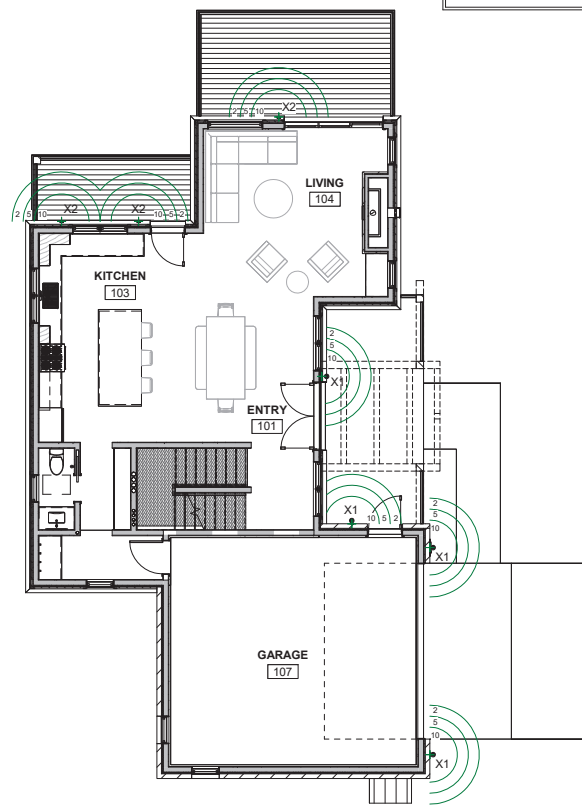
- FIELD VERIFY ALL LIGHTING LOCATIONS.
- TYPICAL LIGHTING LOCATION AT STAIRS: (2 EA) PER RUN (1) EA PER LANDING
- CONTRACTOR SHALL TAKE CARE IN PLANNING ROUGH FRAMING LAYOUT AS IT RELATES TO THE NEED TO CENTER FIXTURES IN HALLWAYS, RECESSES AND OTHER AREAS WHERE RELATIONSHIPS DON'T OFFER ANY LATITUDE OR FIELD ADJUSTMENTS.
- ALL RECESSED FIXTURES AT INSULATED CEILINGS TO BE IC RATED AND CERTIFIED AIR TIGHT CONSTRUCTION. ALL EXTERIOR FIXTURES, SHOWER FIXTURES AND FIXTURES OVER TUBS TO BE MARKED "SUITABLE FOR DAMP LOCATIONS".
- LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS
- FULL CUT-OFF FIXTURE DESIGN. ALL EXTERIOR LIGHTING SHALL BE EIGHTY-FIVE DEGREES (85°) FULL CUT-OFF FIXTURES THAT DIRECT THE LIGHT DOWNWARD WITHOUT ANY OFF-SITE GLARE, EXCEPT AS EXEMPTED IN SECTION 17.5.12(D). A.) EACH EXTERIOR LUMINAIRE SHALL BE FULLY SHIELDED DOWN DIRECTED LIGHT SOURCES AND SHALL NOT EXCEED 850 LUMENS, WITH THE EXCEPTION OF RESIDENTIAL OUTDOOR PATHWAY AND RECESSED STAIRWAY LIGHTING WHICH SHALL NOT EXCEED 300 LUMENS PER LUMINAIRE.
- EXTERIOR LIGHTING ON SECOND AND UPPER FLOORS SHALL REQUIRE EITHER A TIMER OR SENSOR TO REDUCE USAGE AND ENERGY LOSS DURING TIMES OF INACTIVITY.
- PROVIDE SCREWLESS CAPS IN ALL SWITCHES AND OUTLETS.
- PROVIDE OUTLET W/ USB AT EA BED (NIGHT STAND). VERIFY LOCATION IN FIELD.
- LIGHTING LAYOUT GRID DIMENSIONS ARE TO FACE OF FINISH WALLS TYP.
- PROVIDE AN EMERGENCY SHUTOFF SWITCH FOR HOT TUB IN ACCORDANCE WITH 2018 IRC E4208.4 EMERGENCY SWITCH FOR SPAS AND HOT TUBS. CONTRACTOR TO VERIFY LOCATION IN FIELD.

LIGHTING LEGEND

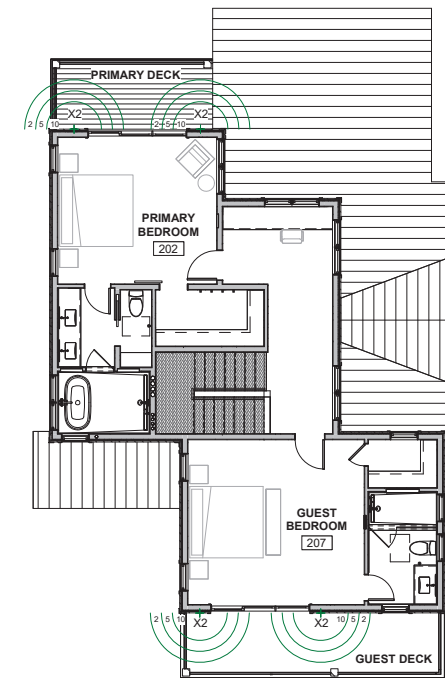
⊙ C1	RECESSED CAN	⊙ MS	MOTION SENSOR
⊙ C2	RECESSED CAN; DIRECTIONAL	⊙ P	PENDANT
⊙ C3	RECESSED CAN; WET LOCATIONS	--- UC	UNDER CABINET LED STRIP
⊙ C4	RECESSED CAN; LOW PROFILE	---	R RECESSED LED LIGHT
⊙ E	RECESSED CAN; EXTERIOR	⊙ TL	TABLE LAMP RECEPTACLE
⊗	CEILING FAN	⊙ FL	FLOOR LAMP RECEPTACLE
⊗	CEILING FAN W/ LIGHT	⊙ USB	OUTLET WITH USB
⊏ C	2' LINEAR CLOSET FIXTURE	⊙ S	WALL MOUNTED SCONCE
⊙ FN	EXHAUST FAN	■ ST	STEP LIGHT
⊙ FN	EXHAUST FAN WITH LIGHT	⊙ S	SINGLE POLE SWITCH
⊏ F1	2'X2' FLUSH MOUNT LED LIGHT	⊙ S3	THREE WAY SWITCH
⊏ F2	2'X4' FLUSH MOUNT LED LIGHT	⊏ TV	TV OUTLET
⊕ SM	SURFACE MOUNT FIXTURE	--- WG	WALL GRAZING
⊕ CH	CHANDELIER	⊏ X1	EXTERIOR SCONCE
⊏	MONO POINT FIXTURE	■ X2	EXTERIOR WALL / STEP
⊏	DOUBLE HEADED MONO POINT	---	FIXTURE LAYOUT GRID



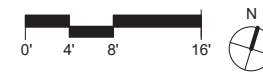
1 LOWER LEVEL
1/8" = 1'-0"



2 GROUND LEVEL
1/8" = 1'-0"



3 UPPER LEVEL
1/8" = 1'-0"



TOMPROS RESIDENCE

EXTERIOR LIGHTING PLAN

SHEET NUMBER

LTG1.1

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REVISIONS

NO. DATE DESC.

14 08.06.24 Exterior light minimum distance from hot tub 5'-0"

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UNIT 21 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24

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**PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392
Agenda Item 4

TO: Mountain Village Design Review Board

FROM: Claire Perez, Planner II

FOR: Design Review Board Public Hearing; October 3, 2024

DATE: September 19, 2024

RE: Staff Memo – Final Architecture Review (FAR) for Lot 649R unit 10, TBD Boulders Way.

**APPLICATION OVERVIEW: New Single-Family Home on Lot 649R
Unit 10**

PROJECT GEOGRAPHY

Legal Description: UNIT 10 THE BOULDERS AT MOUNTAIN VILLAGE LOCATED ON LOT 649R TOWN OF MOUNTAIN VILLAGESAN MIGUEL COUNTY COLORADO ACC TO THE COMMON INTEREST COMMUNITY MAP REC PLAT BK 1 PG 3096 AND DECS AT 354564 REC JAN 24 2003 ALONG WITH ACCESS AND UTILITY EASEMENT AT 354565 AND UTILITY EASEMENT AT 354566

Address: TBD Boulders Way

Applicant/Agent: Kristine Perpar, Shift Architects

Owner: Daniel Oldmixon

Zoning: Multi-family

Existing Use: Vacant

Proposed Use: Single-Family Detached Condominium

Lot Size: 2,282 sf, 0.052 acres

Adjacent Land Uses:

- **North:** Multi-family
- **South:** Passive Open-Space
- **East:** Multi-family
- **West:** Multi-family



Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comment

Case Summary: Kristine Perpar of Shift Architects is requesting Design Review Board (DRB) approval of a Final Architectural Review (FAR) for a new single-family detached condominium on Lot 649R Unit 10, TBD Boulders Way. The lot is approximately 0.052 acres, 2,282 sf, and is zoned multi-family. The proposed design consists of a three-story structure. The overall square footage of the home is approximately 3,098 gross square feet and provides 1 interior parking space within the proposed garage. The property is located in the Boulders neighborhood. The proposal includes a 785 square foot Accessory Dwelling Unit (ADU) in the basement. ADU's are permitted in detached condominium units.

The proposed development requires Design Review Board specific approvals for several setback encroachments and tandem parking.

This application previously went through Initial Architecture and Site Review on March 31, 2022, and Final Architecture Review on May 5, 2022. This application is being reviewed again by the DRB due to an expired Notice of Action. The applicant has made several changes to the new application.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by Italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	40' (gable) Maximum	38.84'
Maximum Avg. Building Height	35' (gable) Maximum	32.90'
Maximum Lot Coverage	To extent of building envelope (1,483 sf)	937 sf
General Easement Setbacks	No encroachment	Setback Encroachment
Roof Pitch		
Primary		8:12
Secondary		2 1/2:12
Exterior Material		
Stone	35% minimum	25%
Windows/Doors	40% maximum	15%
Parking	2 enclosed	1 interior/ 2 exterior

DRB Specific Approval:

1. Setback Encroachments – Parking, stepping stones, pavers, window wells
2. Tandem Parking
3. Materials – Composite Wood

Design Variation:

1. Less than 35% Stone Material

Please note, this memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated July 21, 2024.

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Staff: Criteria met.

17.3.14: General Easement Setbacks

There is no General Easement on site. Lot 649R Unit 10 has an established building envelope. Lot 649R Unit 10 is burdened by a 5' side setback as well as a 10' setback adjacent to Boulders Way, and a 3' setback on the back of the lot. The CDC provides that setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within setbacks such as driveways, ski access, natural landscaping, utilities, address monuments, and fire mitigation.

Staff: The proposal includes several setback encroachments that fall into the above category of permitted development activity including the following:

- *Utilities: The applicant has provided a utility plan for Lot 649R-10 demonstrating the proposed locations of utility lines and connections. It will be necessary for these to cross the front and side GE.*

The proposal also includes some setback encroachments requiring specific DRB approval:

- *Exterior parking in front setback.*
- *Paving stones for parking in front and side setback.*
- *Landscape steppingstones in side setback. The steppingstones provide access to the ADU.*
- *Window wells in side setback.*

The HOA has approved the above setbacks encroachments.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed home features the traditional material palette of the Mountain Village – Stone, composite Wood, and Metal. These materials are capable of withstanding the high alpine environment. The proposal is currently not meeting the minimum 35% stone

requirement. Stone accounts for 25% of the total materials, while composite wood accounts for 55% of the total materials. Composite wood requires specific approval by the DRB.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: The structure mostly adheres to the established building envelope with the exception of a few setback encroachments. The building design has been revised since the previous review to reduce the number of setback encroachments. Staff finds that the proposed home blends into the existing landforms and vegetation.

17.5.6: Building Design

Staff: The home is a mountain modern home that incorporates grey Flint Sawn Stone in a horizontal arrangement, Mountain Sage lap siding, black corrugated metal roofing, and black clad windows. The fascia is black metal to match the roof. The soffit material will match the cedar decking. The applicant has revised the siding, so it is vertical on the second level of the home. The vertical siding helps break up the siding and creates visual interest.

The second level deck was reduced. Windows were also added to the basement level on the west and south elevation. As noted above, the proposal contains a design variation for not meeting the minimum stone requirement of 35%.

17.5.7: Grading and Drainage Design

Staff: The grading plan shows positive drainage away from the home with no re-grading necessary. Staff sees no issues with the grading plan.

17.5.8: Parking Regulations

Staff: The applicant has shown one interior parking space and two exterior spaces on their architectural site plan. The exterior parking spaces are separated by landscape steppingstones in the center. The parking configuration as shown will require DRB specific approval of tandem parking. Due to the limited size of the lot, the applicant has proposed a portion of the exterior spaces within the front and side setback. The applicant revised the eastern parking space to a paver ribbon style driveway. The setback encroachments require specific approval from the DRB.

17.5.9: Landscaping Regulations

Staff: The applicant has provided a landscape plan on Sheet A1.2. There is no existing vegetation on site. The applicant has proposed 8 Woods Rose bushes on the site. The two Aspen trees were removed from the back corner of the lot. The landscaping plan needs to be revised to include a tree planting detail that shows the proper steps required in planting trees and shrubs.

The plan also needs a note that states that the burlap and wire basket must be removed to at least the top 12 -16 inches of the root ball. The plan should be amended per the Forester's comments prior to building permit.

17.5.11: Utilities

Staff: The applicant provided a utility plan on Sheet C2. The plan shows the sewer and water lines crossing the front setback to connect in Boulders Way. The electric and gas

lines will cross the side setback to connect to an existing Pedestal to the east. Staff sees no issues with this plan. The applicant will need to field verify the proposed locations.

17.5.12: Lighting Regulations

Staff: A lighting plan has been provided demonstrating the specific types and locations of the proposed lighting. The applicant has proposed utilizing a recessed can, sconce, and step light. The fixtures proposed are dark sky and CDC compliant. The recessed cans at the front entry were reduced from two to one. Staff finds the criteria met.

17.5.13: Sign Regulations

Staff: A wall mounted address monument is shown on Sheet A4.1. The height of the address monument is shown at 42" from the finished floor. The CDC requires that address monuments are no less than 54" from finished grade. The address monument should be revised to meet the height requirement prior to building permit.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: A fire mitigation plan was provided on Sheet A1.2. Due to the small lot size, Zone 1 fire mitigation encompasses the entire lot. The fire mitigation plan adheres to CDC requirements.

17.6.6: Roads and Driveway Standards

Staff: The applicant has proposed a section of concrete driveway, with pavers to the left of the driveway. The width of the concrete driveway was not provided. The minimum width required by the CDC is 12'. The width should be provided prior to building permit.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does not include any solid fuel burning devices.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The construction mitigation plan has not been revised since the previous review. The following comments are still relevant. The construction mitigation plan shows required material staging, dumpster, bear- proof trash receptacles, and a port a toilet. The plan should be revised to include silt fencing or storm water management devices on the downhill side of the lot. There is only one parking space indicated on the plan. The applicant has indicated on the CMP that construction parking and staging will be off-site and coordinated with Mountain Village and the adjacent lot.

Staff Recommendation: Staff recommends the DRB approve the Final Architecture Review for Lot 649R Unit 10, TBD Boulders Way based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architecture Review for a new single-family home located at Lot 649R Unit 10, based on the evidence provided within the Staff Report of record dated September 19, 2024, with the following design variations and specific approvals:

DRB Specific Approval:

- 1) Setback Encroachments
- 2) Tandem Parking
- 3) Materials –Composite Wood

Design Variation:

- 1) Less than 35% stone requirement

And, with the following conditions:

- 1) Prior to building permit, the applicant shall revise the construction mitigation plan to include storm water management devices on the downhill slope
- 2) Prior to building permit, the applicant shall revise the height of the address signage to meet CDC requirements.
- 3) Prior to building permit, the applicant shall provide the width of the driveway.
- 4) Prior to the issuance of a building permit, the landscape plan shall be amended per the Town Forester's comments.
- 5) Prior to the issuance of a building permit, the applicant shall field verify all utility locations.
- 6) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 7) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 8) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 9) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 10) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 11) The applicant shall meet the following conditions of the Fire Marshall:
 - a. A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.

- b. An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.
- c. Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
- d. Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
- e. Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.

/cp

Shift Architects

Date: August 23, 2024
By: Kristine Perpar, Architect

Property address:
Boulder Lot 11
Telluride, CO 81435

Sent to:

Town of Mountain Village and DRB Board

Re: Revision for Final Plan Review

1. Removed Fence
2. Relocated Structure within the setback.
3. Updated Construction Mitigation Plan
4. Included soffit Material
5. Varied Siding layout
6. Revised ADU Layout, reduced the amount of window wells.

Please let me know if you have any questions or concerns.

Sincerely,



Kristine Perpar



The following document contains drawings and plan sets that are not accessible to screen readers. For assistance in accessing and interpreting these documents, please email cd@mtnvillage.org or call (970) 728-8000

GENERAL NOTES:

CONTRACT DOCUMENTS:

CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, DETAIL BOOK AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTES WITH "N.T.S." DENOTES NOT TO SCALE.

ORGANIZATION:

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), CIVIL DRAWINGS (C SHEETS), STRUCTURAL (S SHEETS), MECHANICAL AND PLUMBING (M SHEETS), ELECTRICAL (E SHEETS) AND LIGHTING (LTG SHEETS).

CODE COMPLIANCE:

ALL WORK, MATERIALS AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

INTENT:

THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

COORDINATION:

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

SUBSTITUTIONS:

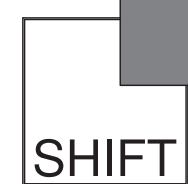
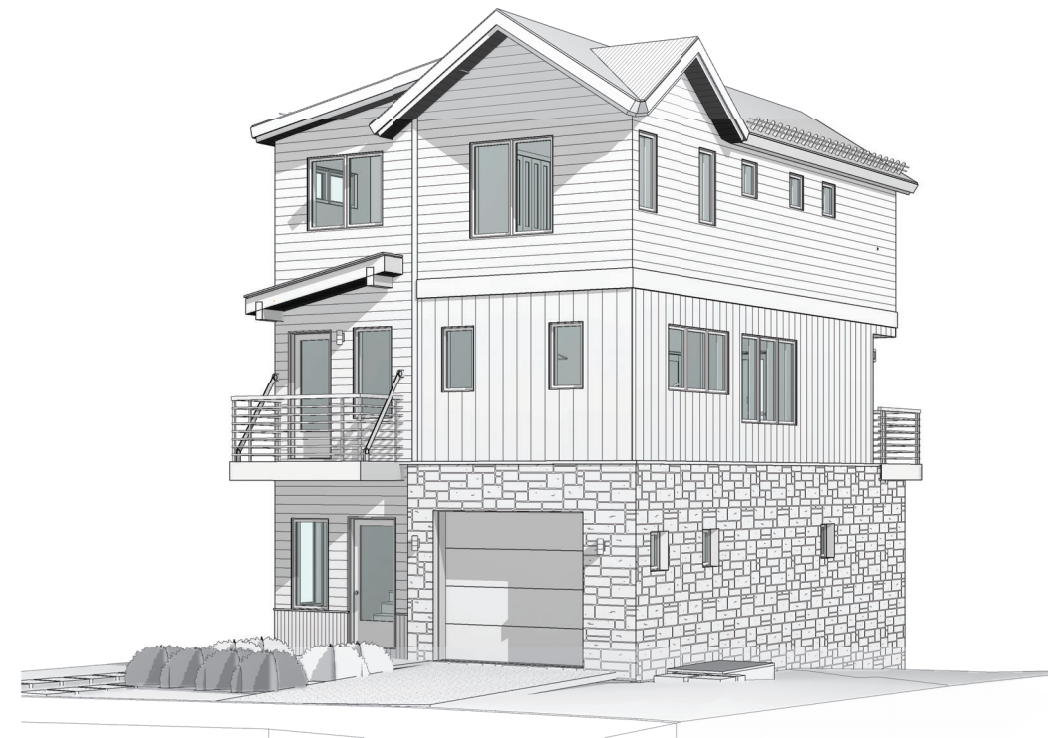
ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED-OUT-BY-TRADE-NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

SHOP DRAWINGS:

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "SUBSTITUTIONS" ABOVE.

SAFETY & PROTECTION OF WORK:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.



P.O. Box 3206
100 W. Colorado Suite 211
Telluride, Colorado 81435
p 970-728-8145
kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE:
08.23.24 FINAL DRB SUBMITTAL

PROJECT CODE INFORMATION

ZONING:	MULTI-FAMILY
SUBDIVISION:	BOULDER ESTATES
BUILDING CODE:	IRC 2018 AND ALL APPLICABLE CODES AS REQUIRED BY THE TOWN OF MOUNTAIN VILLAGE
DESIGN REQUIREMENTS:	DECLARATION AND BOULDER ESTATES DESIGN COVENANTS IN ADDITION TO ANY REQUIREMENTS BY THE TOWN OF MOUNTAIN VILLAGE
DESCRIPTION:	MULTI-STORY DWELLING
OCCUPANCY CLASSIFICATION:	R-3
AUTOMATIC FIRE SPRINKLER:	NOT REQUIRED
FIRE RESISTIVE RATING:	GARAGE - 1 HR MECHANICAL - 1 HR

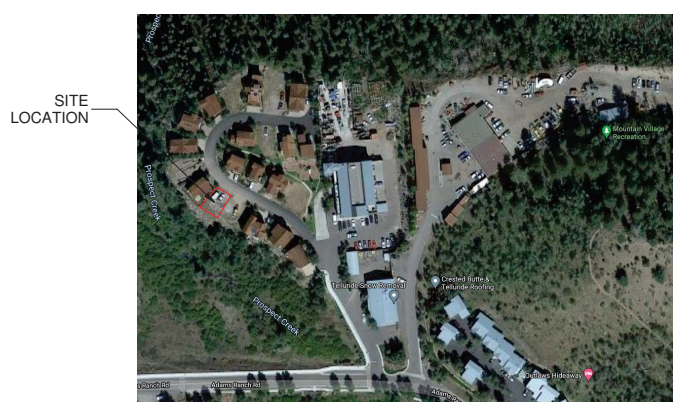
PROJECT INFORMATION

TYPE OF UNIT:	SINGLE FAMILY HOME	MAX BUILDING HEIGHT: ALLOWABLE	40'-0" (35'-0" + 5'-0" GABLE RIDGE, CDC TABLE 3-3 FOOTNOTE 1)
GROSS FLOOR AREA:		PROPOSED	38.84'
LIVING		MAX AVERAGE HEIGHT: ALLOWABLE	35'-0" (30'-0" + 5'-0" GABLE RIDGE, CDC TABLE 3-3 FOOTNOTE 1)
BASEMENT	681 SF	PROPOSED	32.90'
GROUND LEVEL	483 SF	PARKING REQUIRED:	3 SPACES PROVIDED (1 ENCLOSED IN GARAGE) (2 SURFACE)
MAIN LEVEL	722 SF		
UPPER LEVEL	761 SF		
TOTAL:	<u>2,647 SF</u>		
GARAGE	278 SF		
TOTAL:	<u>2925 SF</u>		
LOT AREA:	2282.01 SF		
BUILDING FOOTPRINT: ALLOWABLE	1,483.30 SF		
PROPOSED	756 SF		

SHEET INDEX

GENERAL	
G1.0	COVER SHEET
SURVEY	
0	SURVEY / EXISTING CONDITIONS
CIVIL	
C1	NOTES
C2	SITE DRAINAGE AND UTILITY PLAN
C3	CONSTRUCTION MITIGATION PLAN
ARCHITECTURAL	
A1.1	ARCHITECTURAL SITE PLAN
A1.2	LANDSCAPE PLAN
A3.1	FLOOR PLANS
A3.2	FLOOR & ROOF PLAN
A4.1	PROPOSED ELEVATIONS
A4.2	PROPOSED ELEVATIONS
A4.3	ELEVATION HEIGHT CALCS
A4.4	ELEVATION HEIGHT CALCS
A4.5	COLORIZED PERSPECTIVE
A4.6	COLORIZED PERSPECTIVE
A5.1	BUILDING SECTION
A5.2	BUILDING SECTION
A8.1	DOOR & WINDOW SCHEDULE
LIGHTING	
LTG1.1	LIGHTING PLANS
LTG1.2	LIGHTING PLAN

VICINITY MAP



PROJECT TEAM

OWNER:	SURVEYOR:	MECHANICAL:
DANIEL OLDMIXON PO BOX 99 TELLURIDE, CO 81435 P. 970.708.9515 DANIEL@OLDMIXONCO.COM	FOLEY ASSOCIATES, INC. 125 W. PACIFIC, SUITE B-1 P.O. BOX 1385 TELLURIDE, CO 81435 P. 970.728.6153 F. 970.728.6050	TBD
ARCHITECT:	CIVIL:	LANDSCAPING:
SHIFT ARCHITECTS KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com	UNCOMPAGRE ENGINEERING LLC DAVID BALLODE P.E. PO BOX 3945 TELLURIDE, CO 81435 P. 970.729.0683 dbalode@msn.com	SHIFT ARCHITECTS KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com
GENERAL CONTRACTOR:	STRUCTURAL:	
OLDMIXON CONSTRUCTION DANIEL OLDMIXON PO BOX 99 TELLURIDE, CO 81435 P. 970.708.9515 DANIEL@OLDMIXONCO.COM	ALPINE EDGE ENGINEERING LLC MATTHEW D. HEPP, P.E. 605 RIVER PARK DR. RIDGEMAN, CO 81432 matthewheppeng@gmail.com	

SERENITY MV

Unit-10, Boulders Way, Mountain Village
Telluride, CO 81435, USA

COVER SHEET

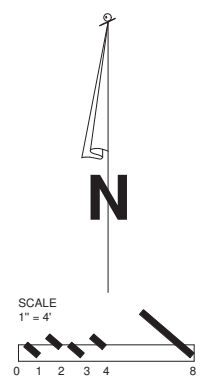
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G1.0

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©shift architects

LEGEND
FOUND 1-1/2" ALUMINIUM CAP
ON #5 REBAR, L.S. 24954

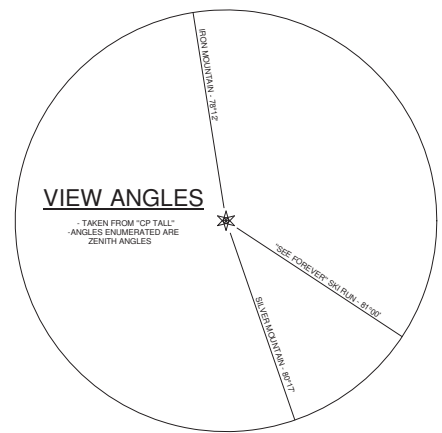
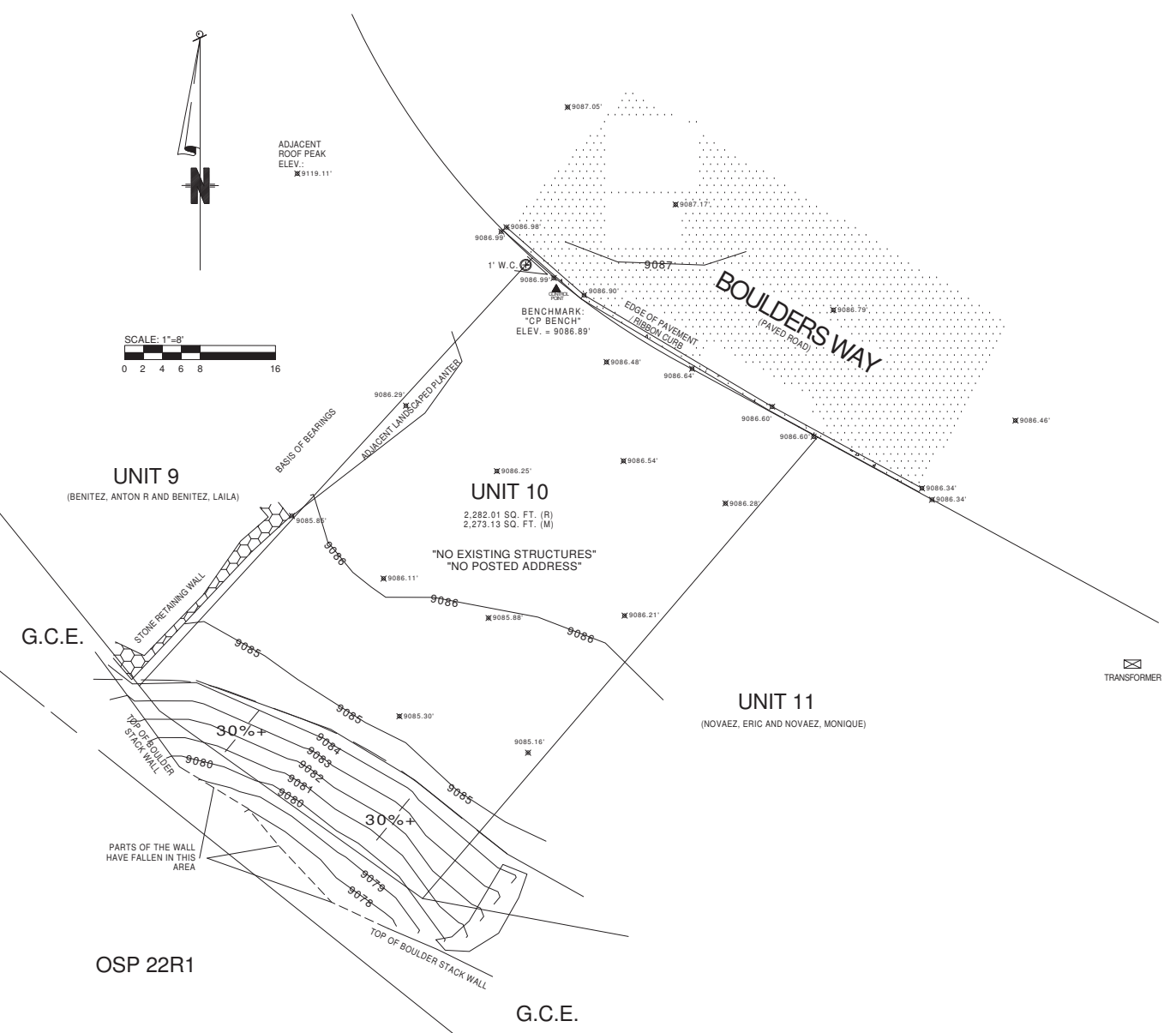
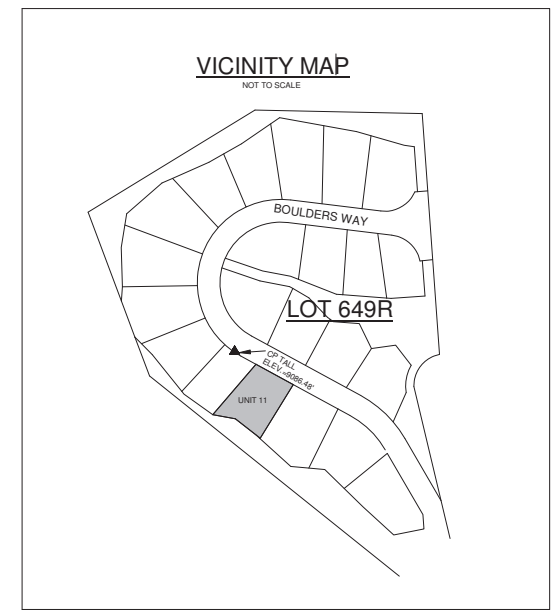


This topographic survey of Unit 11, The Boulders, Town of Mountain Village, was field surveyed on May 31, 2012 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of FoleyAssociates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.

P.L.S. NO. 37970
DATE

NOTES:

1. This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.
2. Benchmark: Control point "CP TALL", as shown hereon, with an elevation of 9086.48 feet.
3. Contour interval is one foot.
4. NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.



SERENITY MV

Unit-10, Boulders Way, Mountain Village
Telluride, CO 81435, USA

SURVEY /
EXISTING
CONDITIONS

SHEET NUMBER

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER AND WATER: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
BROADBAND: CLEARNETWORK
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2022-03-14
SUBMITTAL	2024-05-16

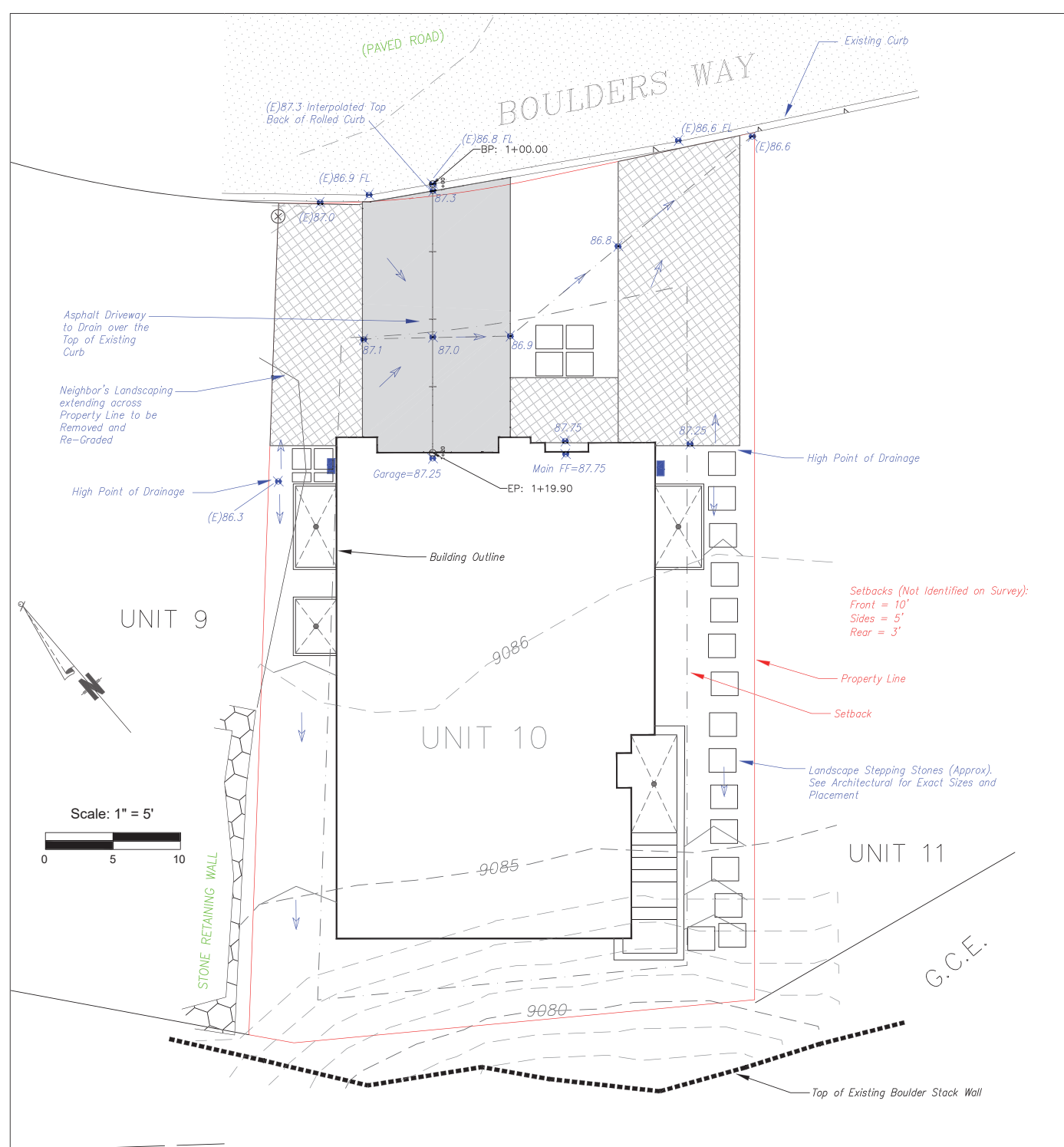
Oldmixon Residence
Lot 10
The Boulders
Mtn. Village, CO



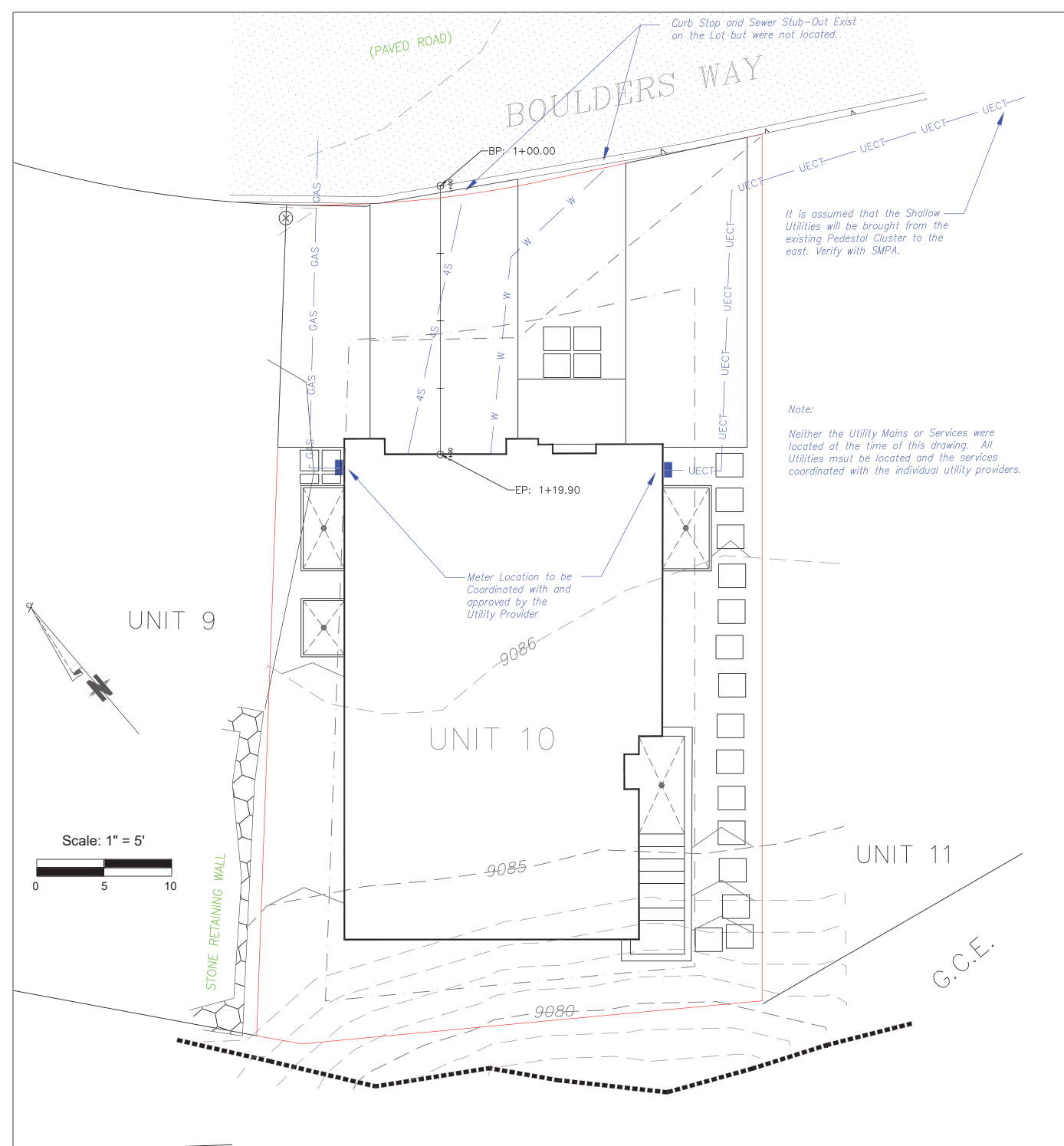
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

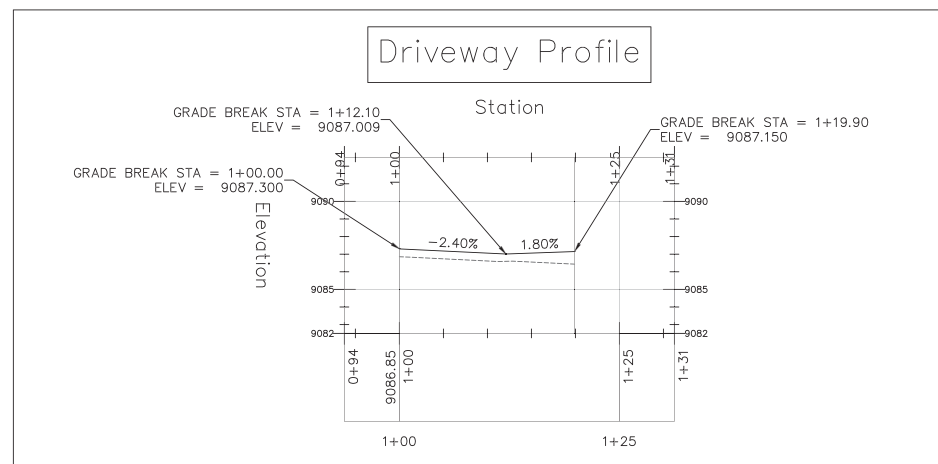
C1



Site Grading and Drainage Plan



Utility Plan



Driveway Profile



Uncompahgre Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2022-03-14
SUBMITTAL 2024-05-16

Oldmixon Residence
Lot 10
The Boulders
Mtn. Village, CO

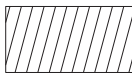









CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

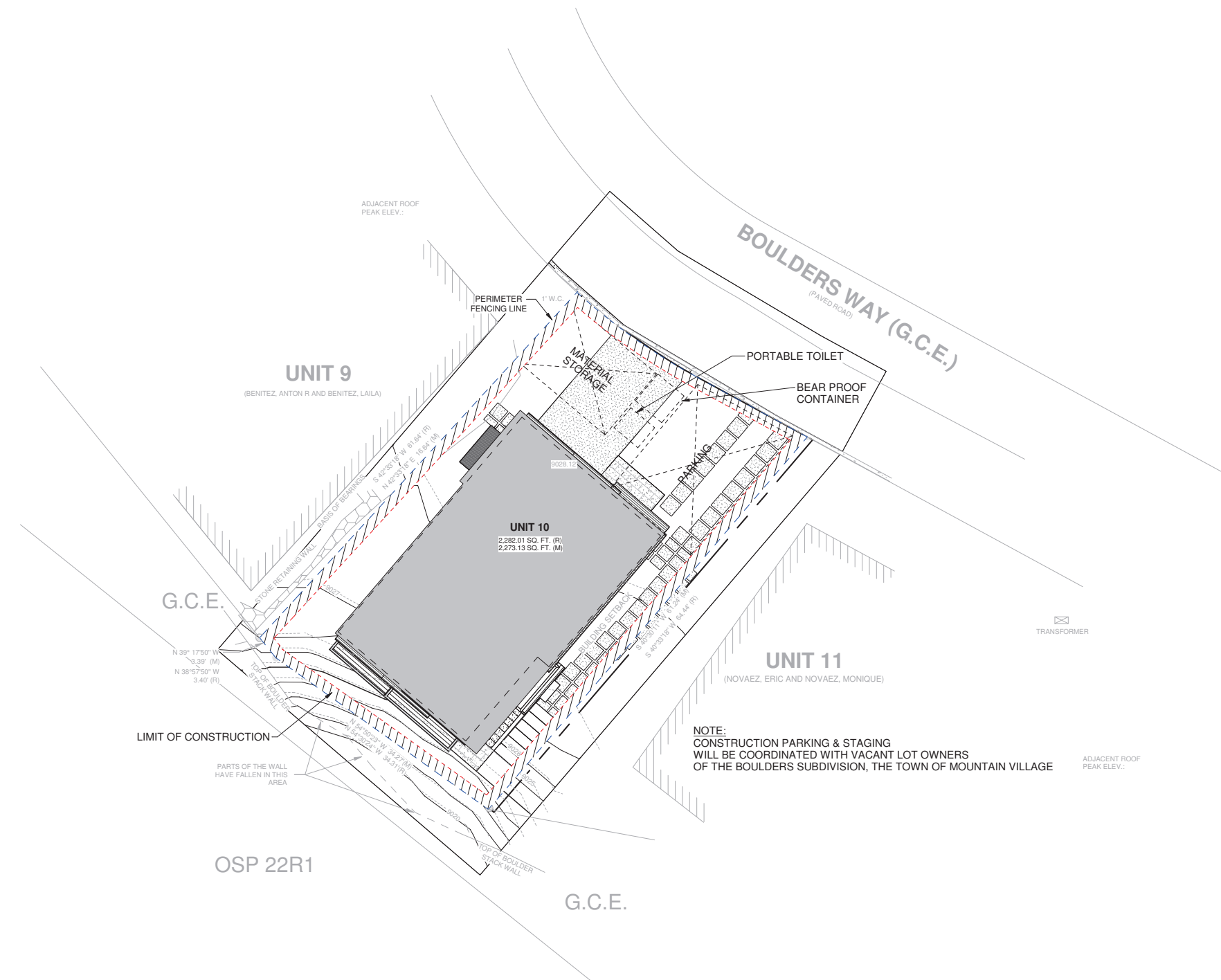
Site Grading and Drainage Plan
and
Utility Plan

C2

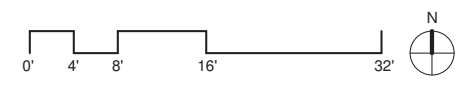
CONSTRUCTION MITIGATION LEGEND

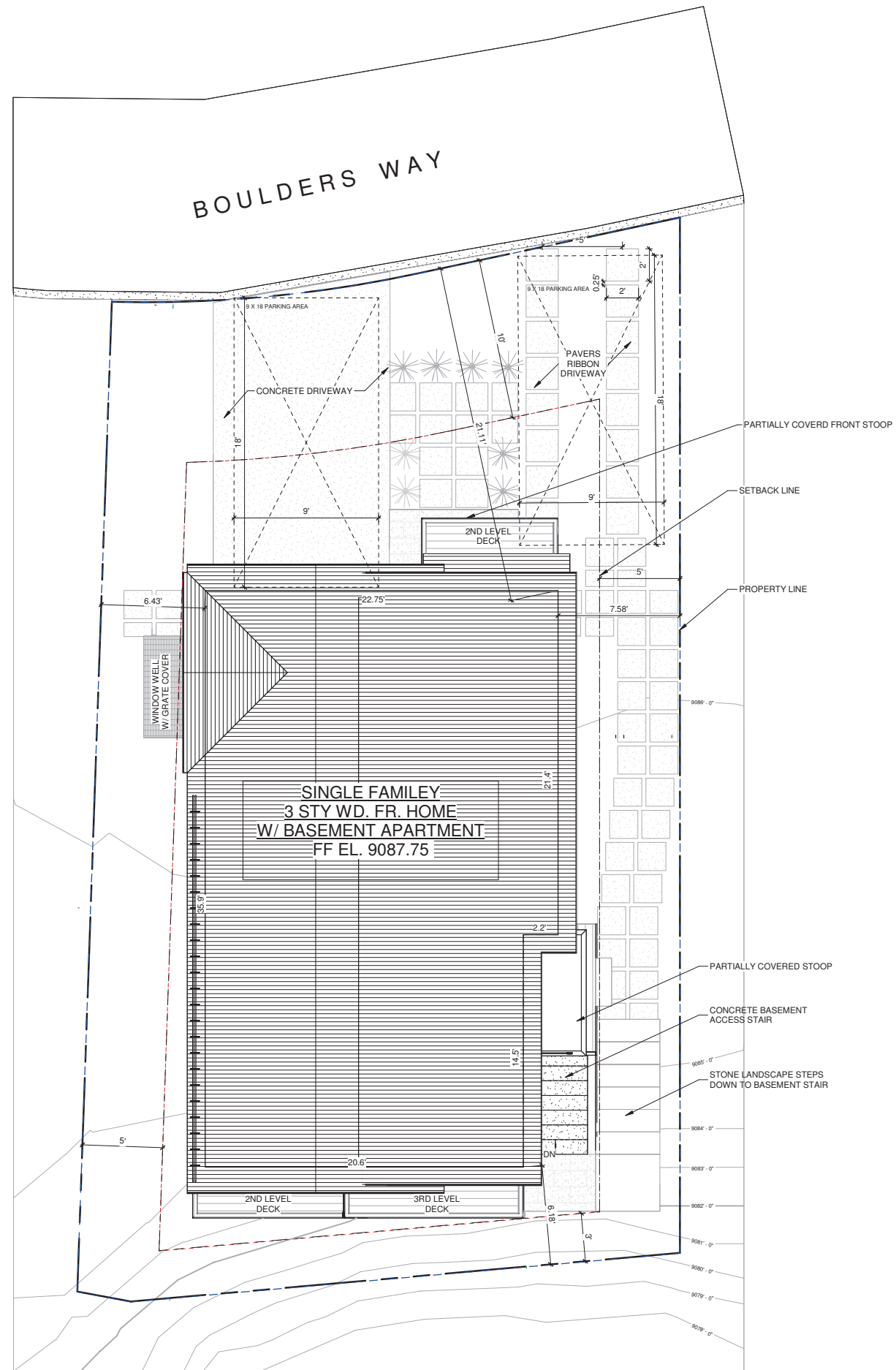
	LIMITS OF CONSTRUCTION		EXISTING ASPEN TREE TO REMAIN
	TEMPORARY PARKING		EXISTING EVERGREEN TREE TO REMAIN
	REVEGETATION AREAS		
	LIMIT OF CONSTRUCTION		
	PERIMETER FENCING		
	TREE PROTECTION FENCING		

- ALL DEVELOPMENT SHALL COMPLY WITH DECLARATION OF CONDOMINIUM FOR KNOLL ESTATES, A CONDOMINIUM IN ADDITION TO TOWN OF MOUNTAIN VILLAGE CDC 17.7.20 REQUIREMENTS.
- COORDINATE LOCATION OF PORTA TOILET, TRASH, RECYCLE, MATERIAL STORAGE AND PARKING WITH THE TOWN OF MOUNTAIN VILLAGE.
- ALL EXISTING TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION.



1 CONSTRUCTION MITIGATION PLAN
 1/8" = 1'-0"





SERENITY MV

Unit-10, Boulders Way, Mountain Village
Telluride, CO 81435, USA

ARCHITECTURAL
SITE PLAN

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SHEET NUMBER

A1.1

GENERAL NOTES:

1. ALL TREES AND SHRUBS TO BE LOCATED BY PROJECT ARCHITECT / OWNER.
2. ALL TREES AND SHRUBS SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
3. NECESSARY TREES SHALL BE STACKED WITH 4' METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
4. PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
5. SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
6. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS; SHREDDED CEDAR BARK.
7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
8. LANDSCAPING SHALL BE IN ACCORDANCE WITH L.U.C. "SECTION 3-505 MAINTENANCE, REMOVAL, OR RELOCATION OF TREES".

NOXIOUS WEEDS:

1. ALL PLANTED MATERIALS INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED WITHIN THE SAN MIGUEL COUNTY'S MOST CURRENT NOXIOUS WEED LIST.

LANDSCAPE MAINTENANCE NOTES:

1. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
2. NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.
3. ALL SHRUBS IN SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.
4. IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

REVEGETATION NOTES:

1. SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REEMITTED (EXCEPT OF SLOPES GREATER THAN 3:1) AND AMENDMENT ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
4. AREAS WHICH HAVE BEEN COMPACTED OR RELATIVELY UNDISTURBED NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING THE SEED.
5. BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
6. ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
7. ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
8. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

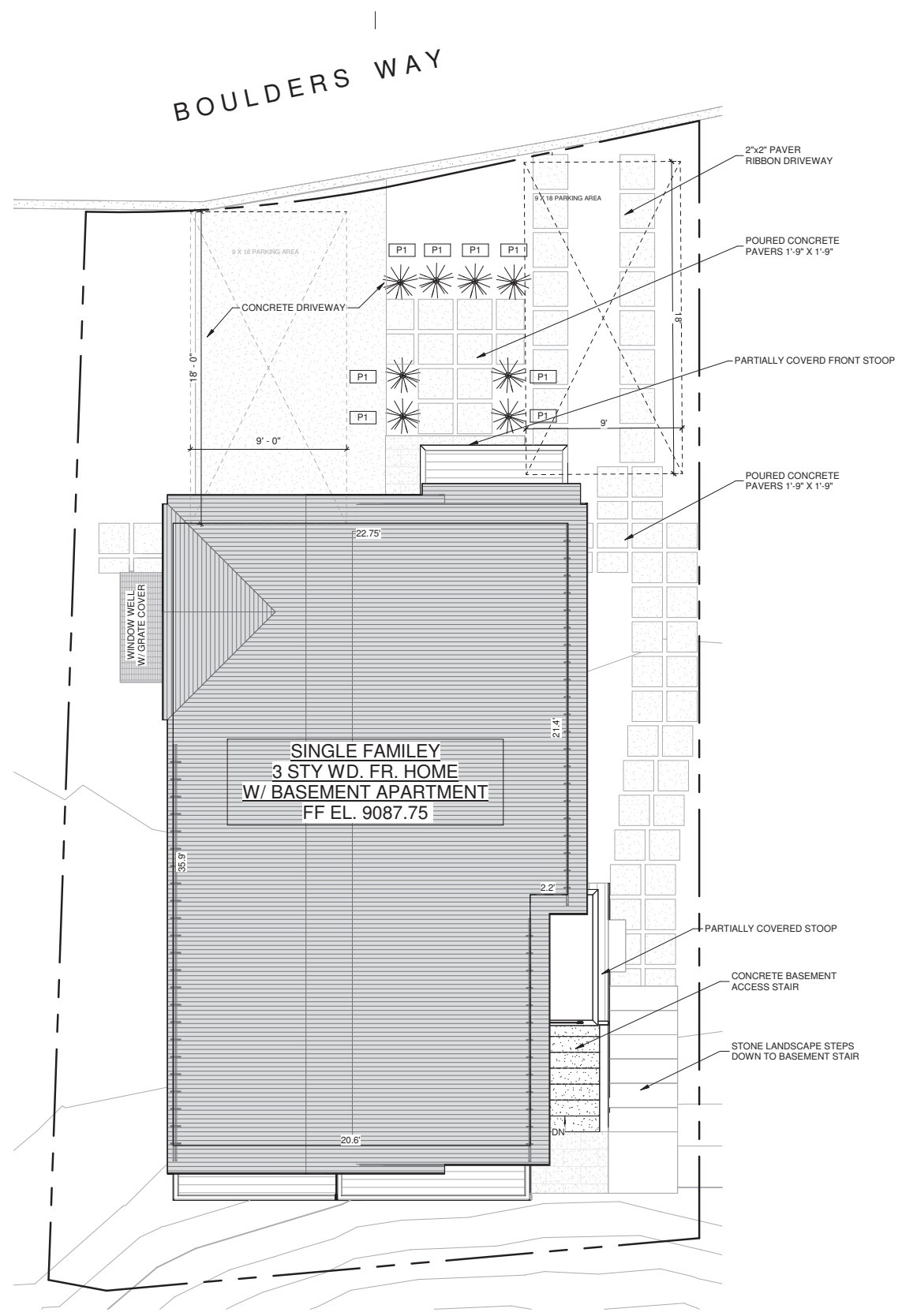
SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREEPING RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%
MOUNTAIN BROME (BROMAR)	10%

LANDSCAPE LEGEND

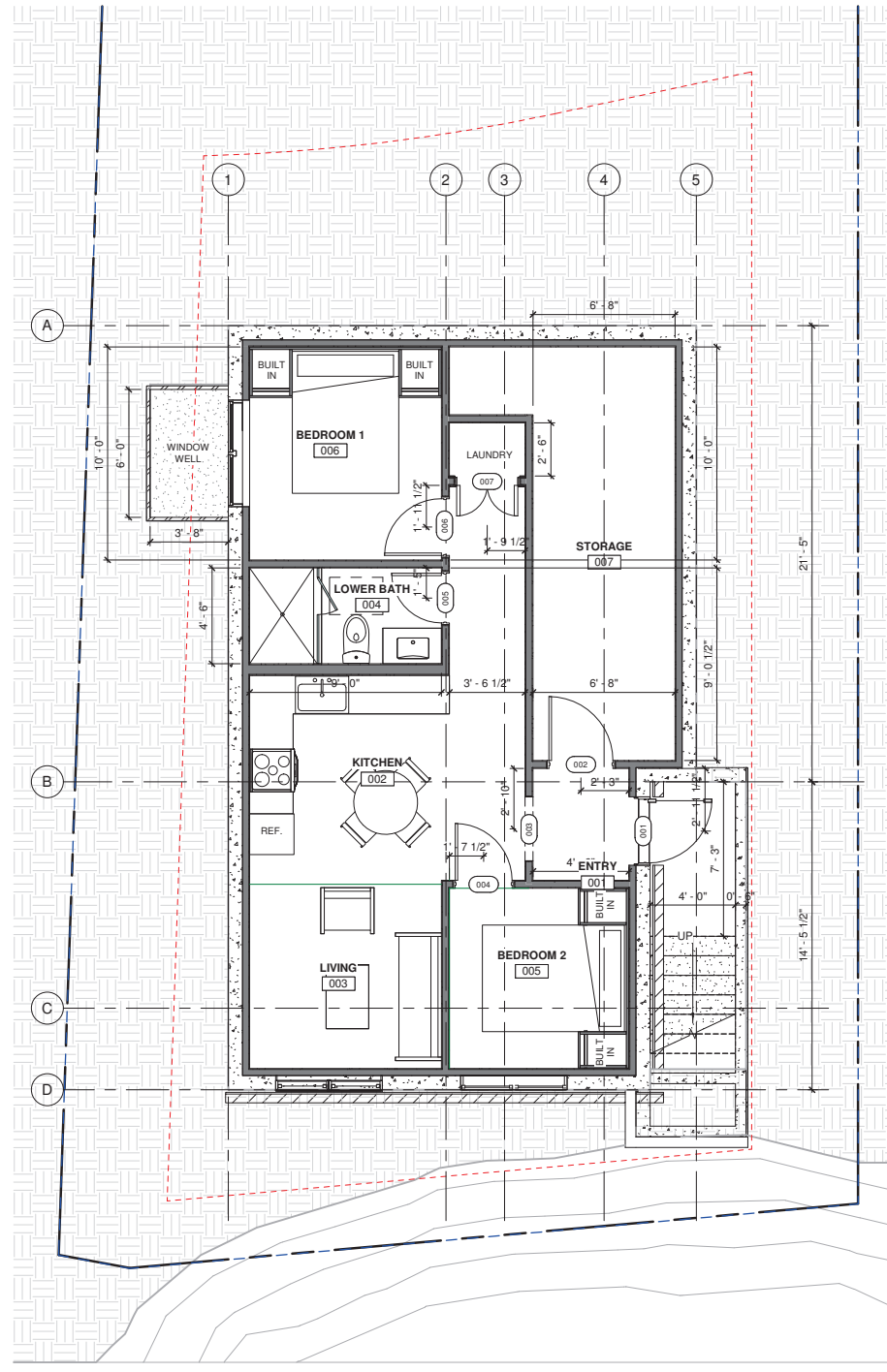
	CONCRETE PAVERS		INDIGENOUS SHRUBS
	FENCE; WOOD FRAME AND HOGWIRE		TREE; ASPEN
	METAL GATE TO MATCH FENCE		TREE; SPRUCE
	METAL LANDSCAPE WALL		FENCE; WOOD
	METAL GRATE WITH 3' X 3' EGRESS HATCH AT WINDOW WELL		
	DISTURBED AREAS		
	MULCH LANDSCAPE BEDDING		
	PERENNIAL BEDDING		
	FLAGSTONE		

NOTE:
ALL EXISTING TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION.

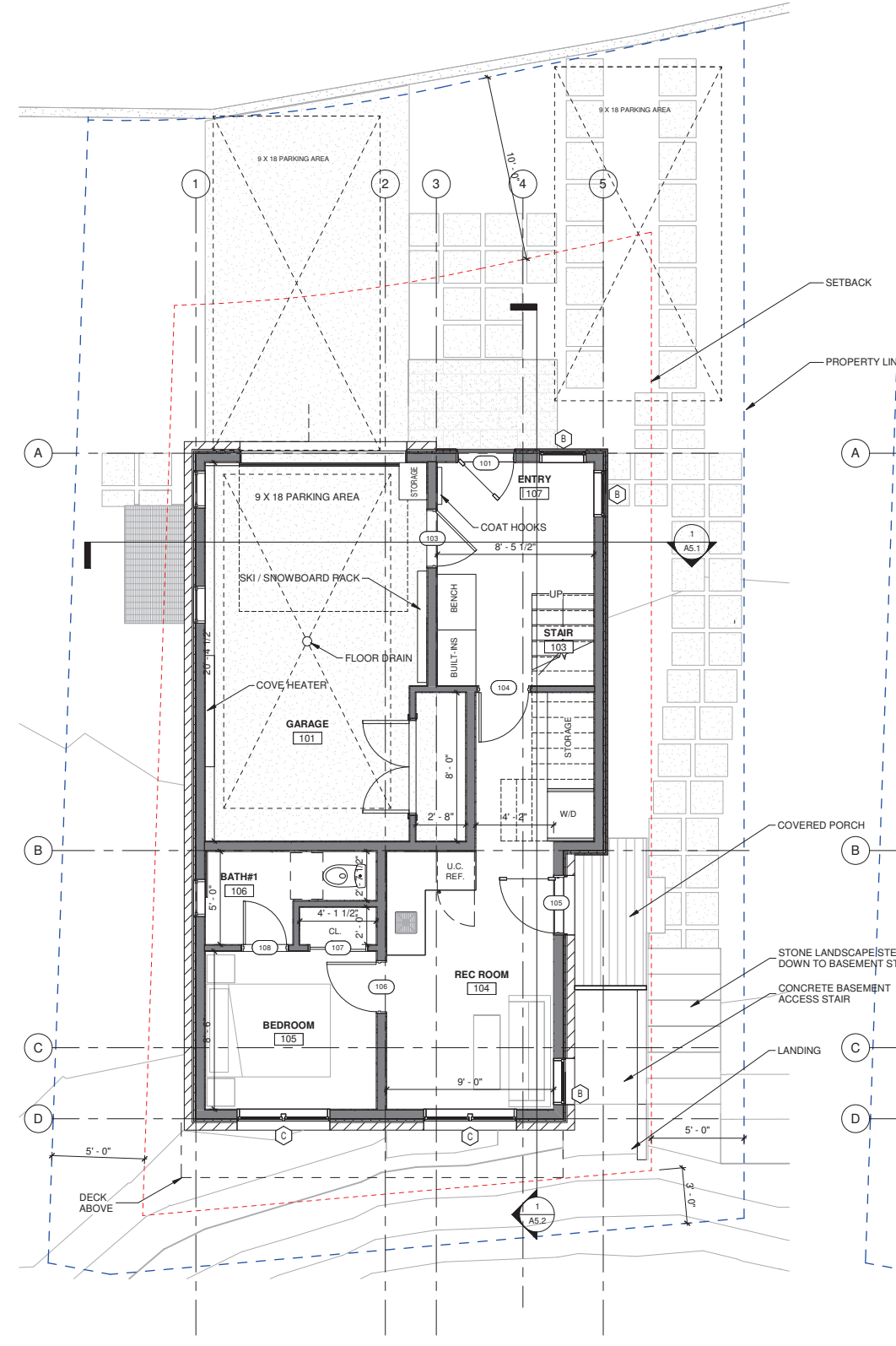
PLANTING SCHEDULE				
Type	LATIN NAME	Type Mark	SIZE	Count
WOODS ROSE	ROSA WOODSII	P1		8
Grand total: 8				



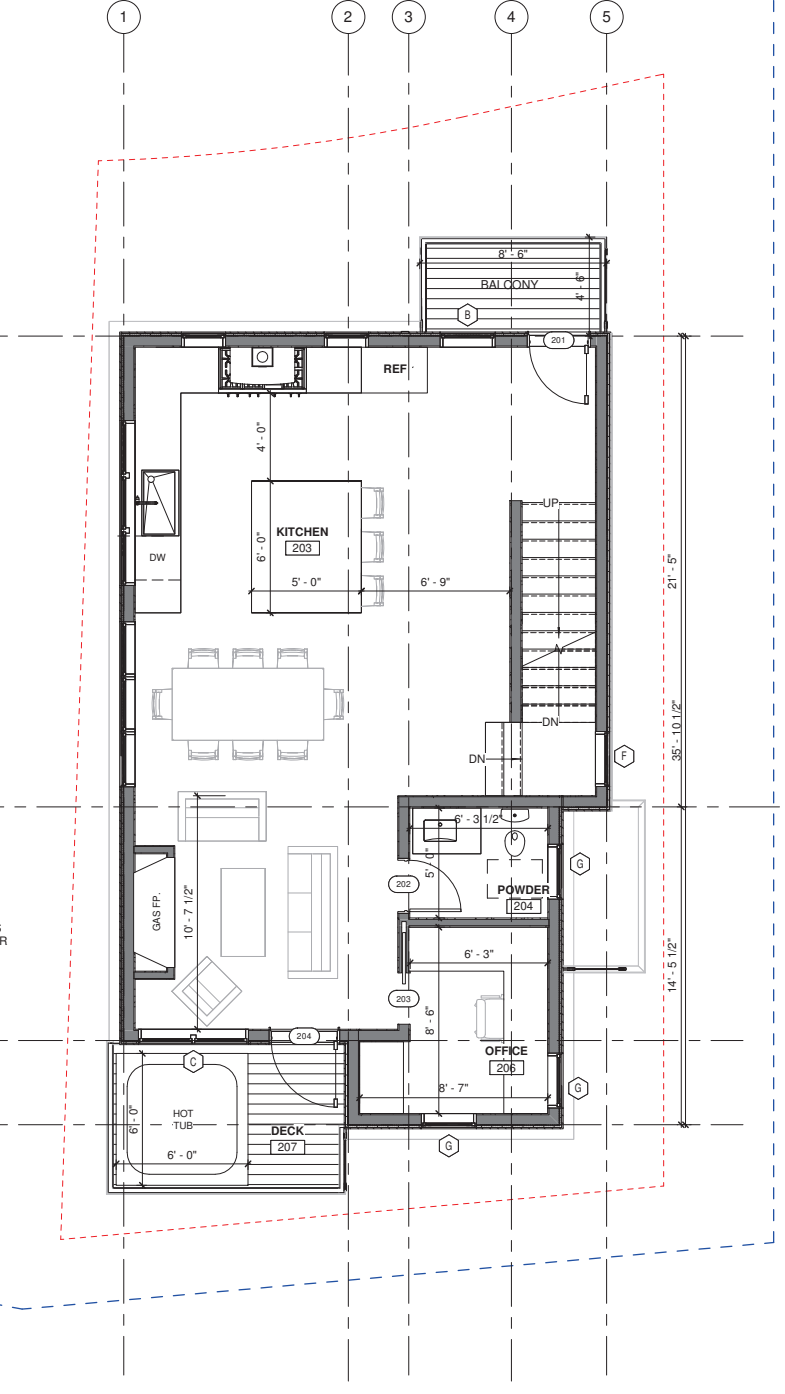
1 LANDSCAPE PLAN
1/4" = 1'-0"



3 BASEMENT
1/4" = 1'-0"



1 GROUND LEVEL PLAN
1/4" = 1'-0"



2 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"



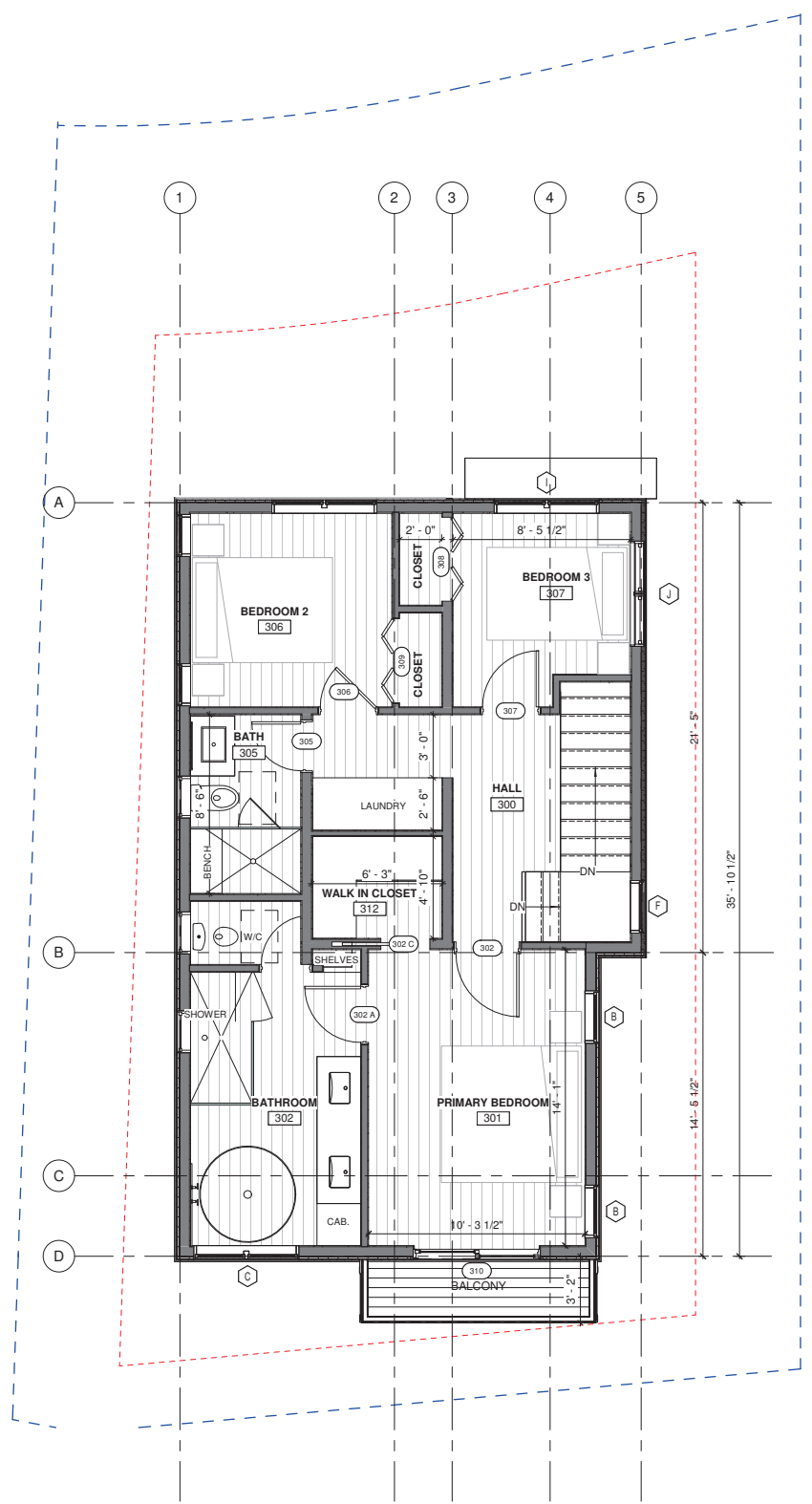
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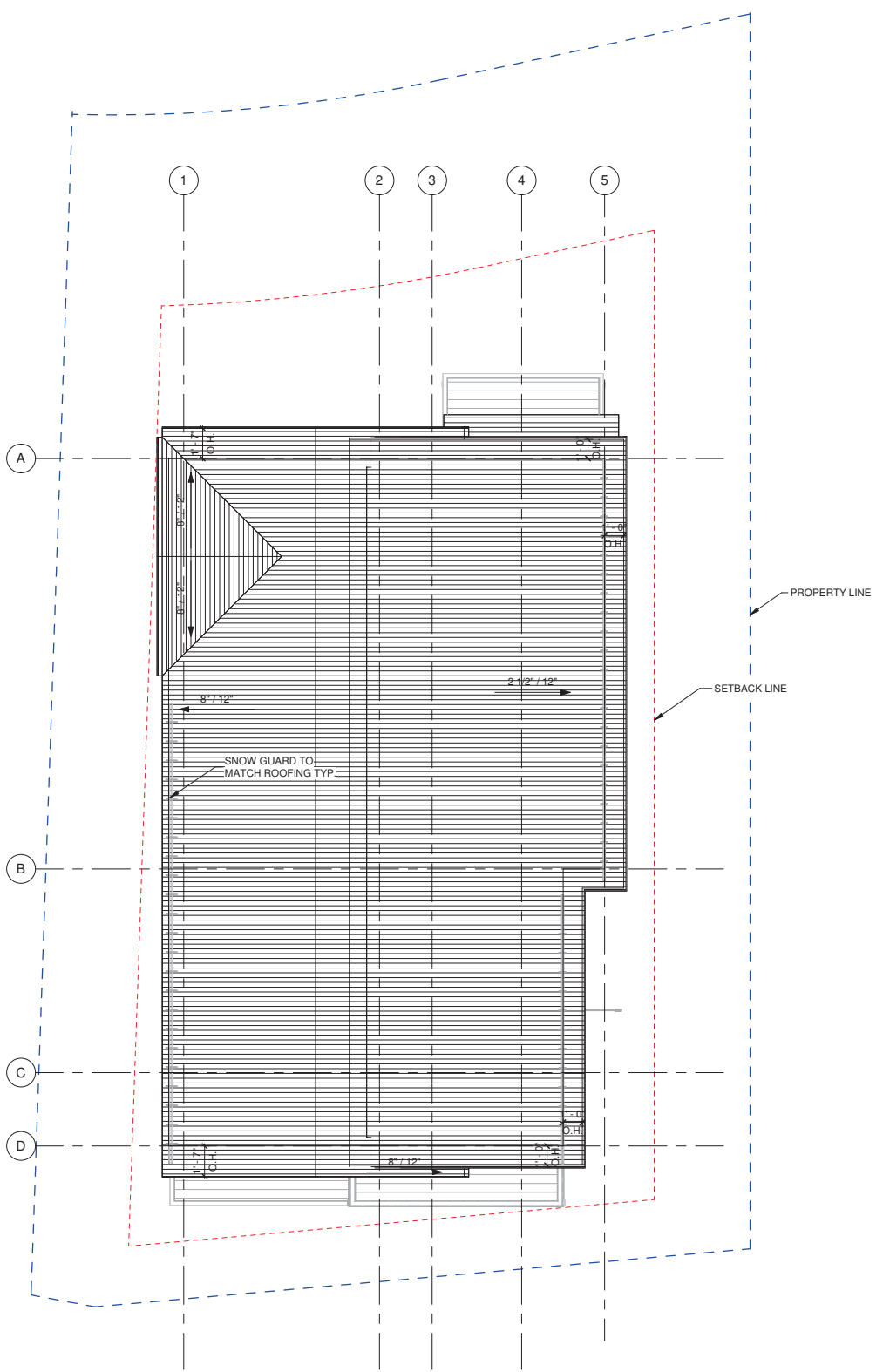
FLOOR PLANS

SHEET NUMBER

A3.1



1 UPPER LEVEL FLOOR PLAN
 1/4" = 1'-0"



2 ROOF PLAN
 1/4" = 1'-0"



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FLOOR & ROOF
 PLAN

SHEET NUMBER

A3.2

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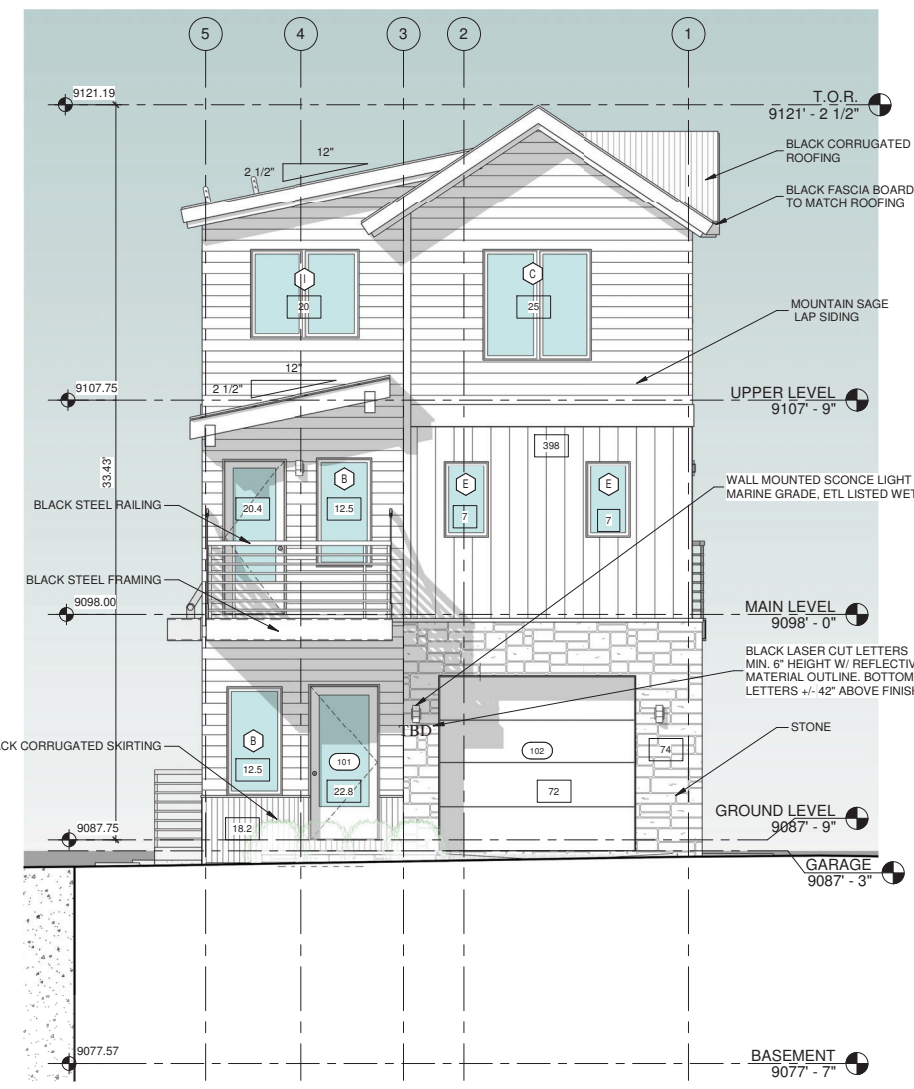
MATERIAL CALCULATIONS

NORTH		
STONE	74 SF	
WOOD SIDING	398 SF	
CORRUGATED METAL	18 SF	
WINDOW / DOOR GLAZING	127.2 SF	
GARAGE DOOR	72 SF	
TOTAL	689.2 SF	
SOUTH		
STONE	230 SF	
WOOD SIDING	336 SF	
CORRUGATED METAL	4 SF	
WINDOW/DOOR GLAZING	203 SF	
TOTAL	773 SF	
EAST		
STONE	215 SF	
WOOD SIDING	761 SF	
CORRUGATED METAL	83 SF	
WINDOW/DOOR GLAZING	118.5 SF	
TOTAL	1,177.5 SF	
WEST		
STONE	438 SF	
WOOD SIDING	563 SF	
WINDOW/DOOR GLAZING	128.7 SF	
TOTALS	1,129.7 SF	
TOTALS		
TOTAL SF	3,769.4 SF	100 %
STONE	957 SF	25 %
WOOD SIDING	2,058 SF	55 %
CORRUGATED METAL	105 SF	3 %
WINDOW/DOOR GLAZING	577.4 SF	15 %
GARAGE DOORS	72 SF	2 %

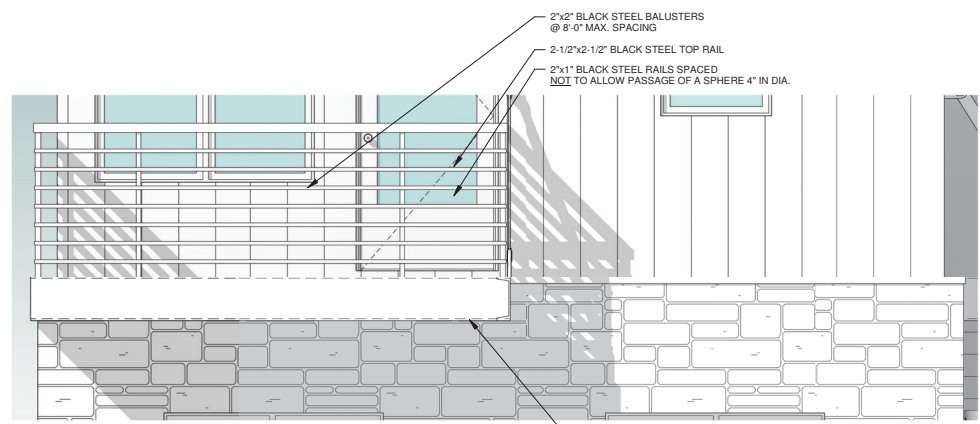
GLAZING CALCULATIONS ARE BASE ON UNIT SIZE. ACTUAL GLASS T.B.D. BY MANUFACTURER'S SPECIFICATIONS.
STONE VENEER CALCULATION REQUIREMENT PER TOWN OF MOUNTAIN VILLAGE CDC 17.5.6 EXTERIOR WALL MATERIALS E.1



1 EAST ELEVATION
1/4" = 1'-0"

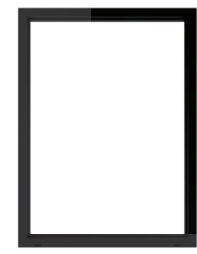


2 NORTH ELEVATION
1/4" = 1'-0"



RAILING DETAIL

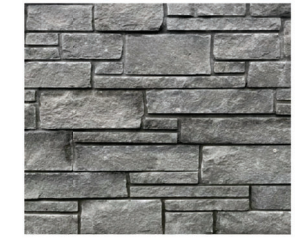
1/2" = 1'-0"



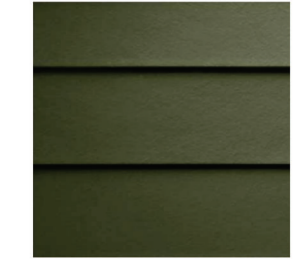
BLACK FRAME WINDOWS



BLACK CORRUGATED SIDING & ROOFING



FLINT SAWN STONE



MOUNTAIN SAGE LAP SIDING



2X6 CEDAR DECKING & SOFFIT



12X24 LIME BLACK PAVERS

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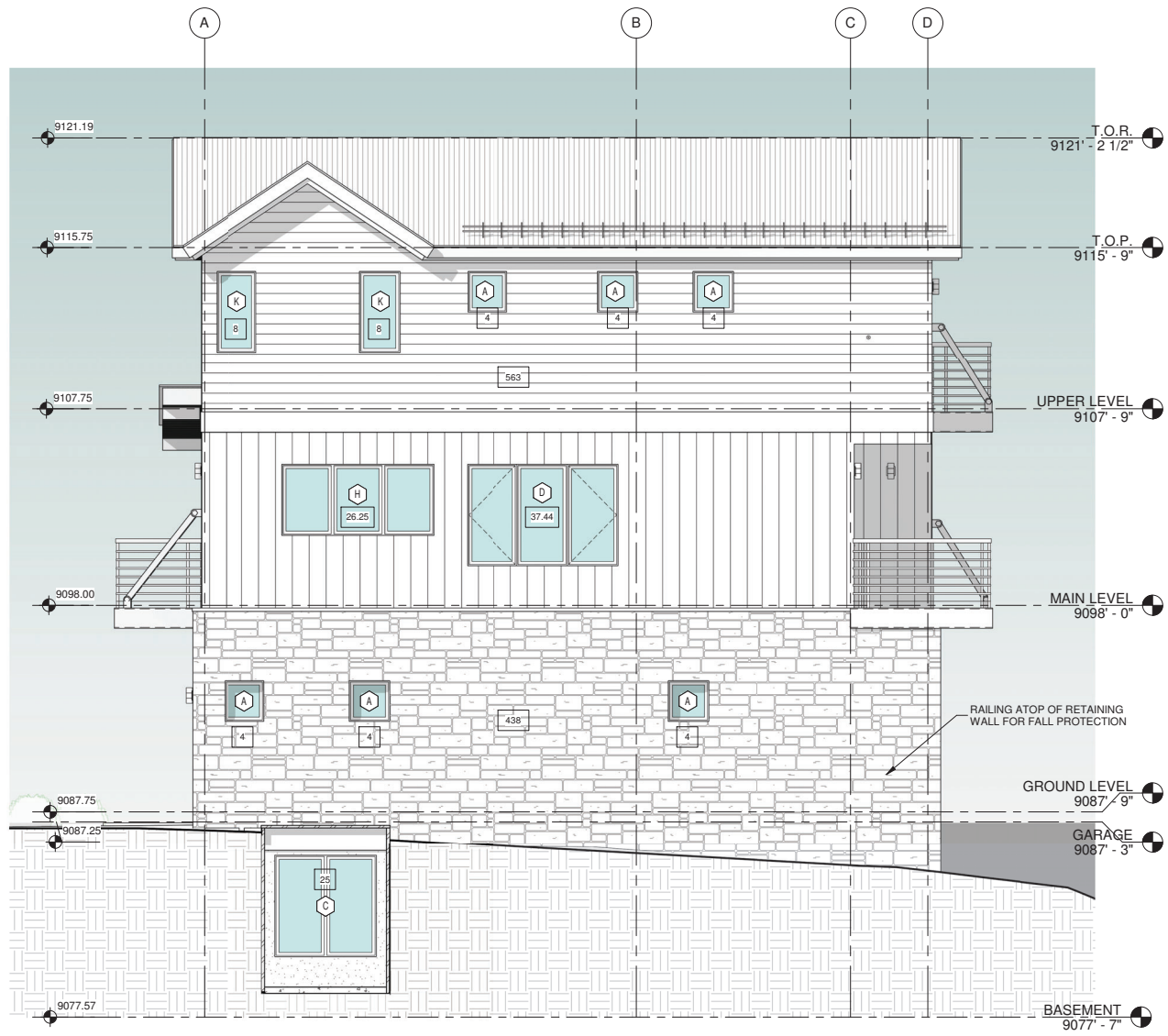
PROPOSED ELEVATIONS

SHEET NUMBER

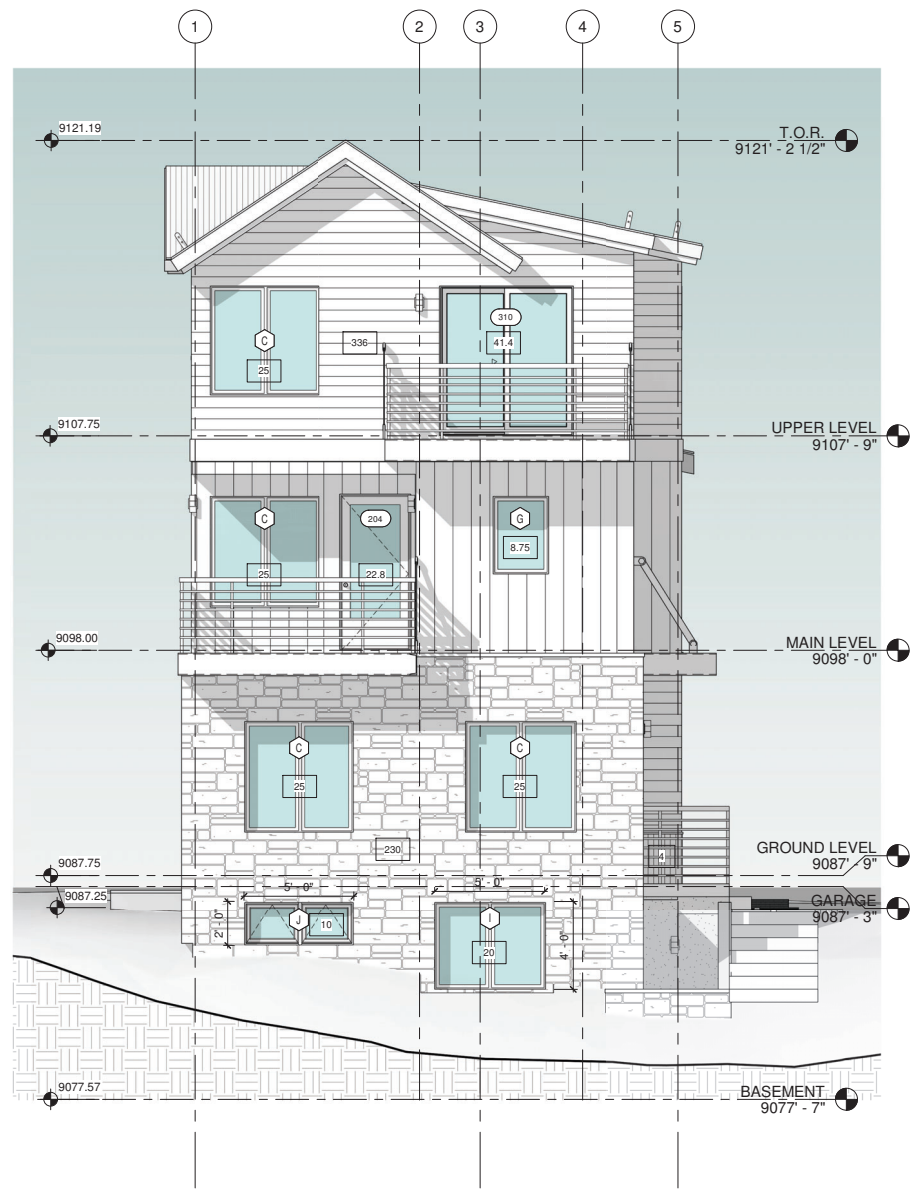
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1 WEST ELEVATION
 1/4" = 1'-0"



2 SOUTH ELEVATION
 1/4" = 1'-0"

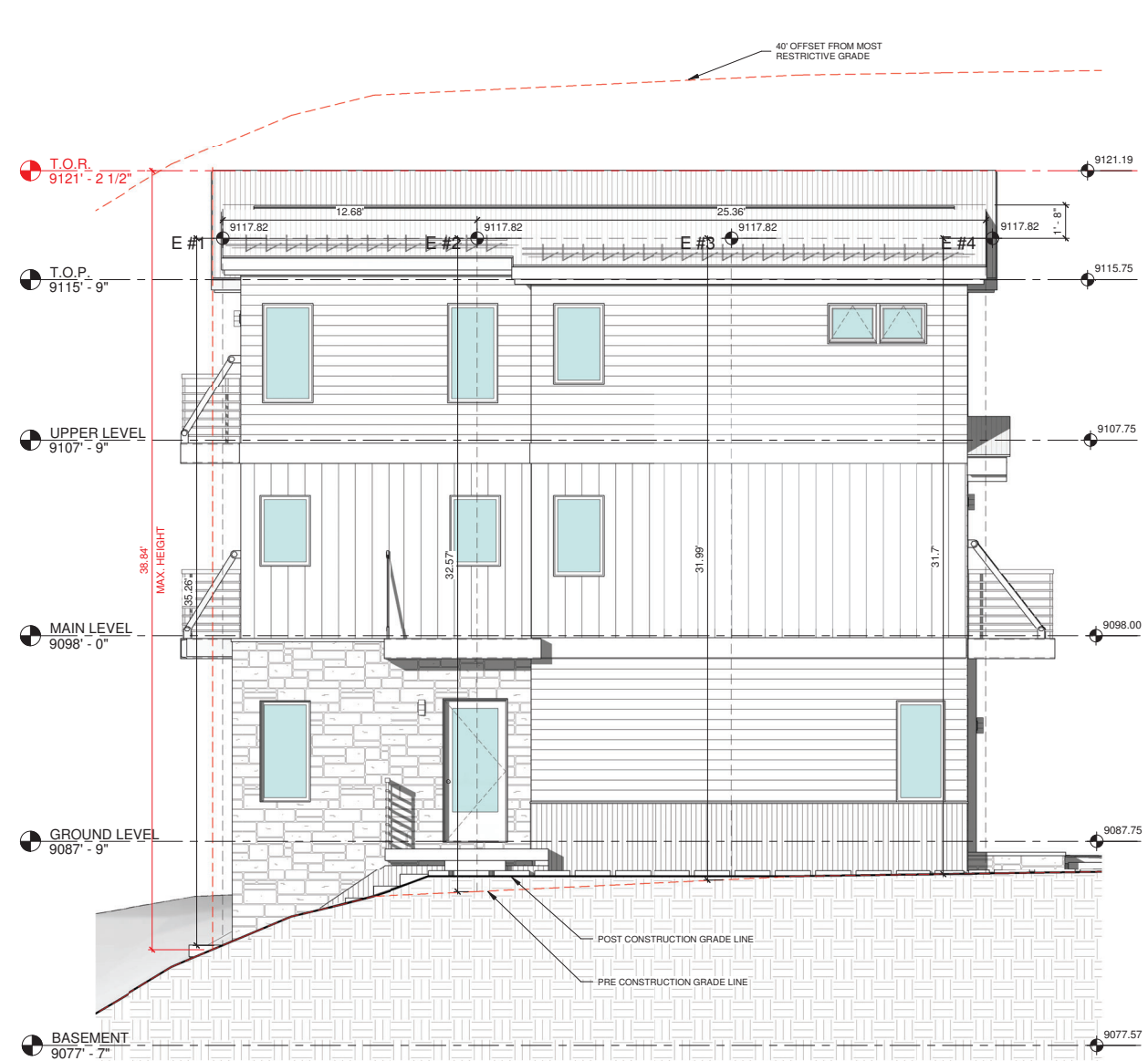
SERENITY MV

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PROPOSED
 ELEVATIONS

SHEET NUMBER

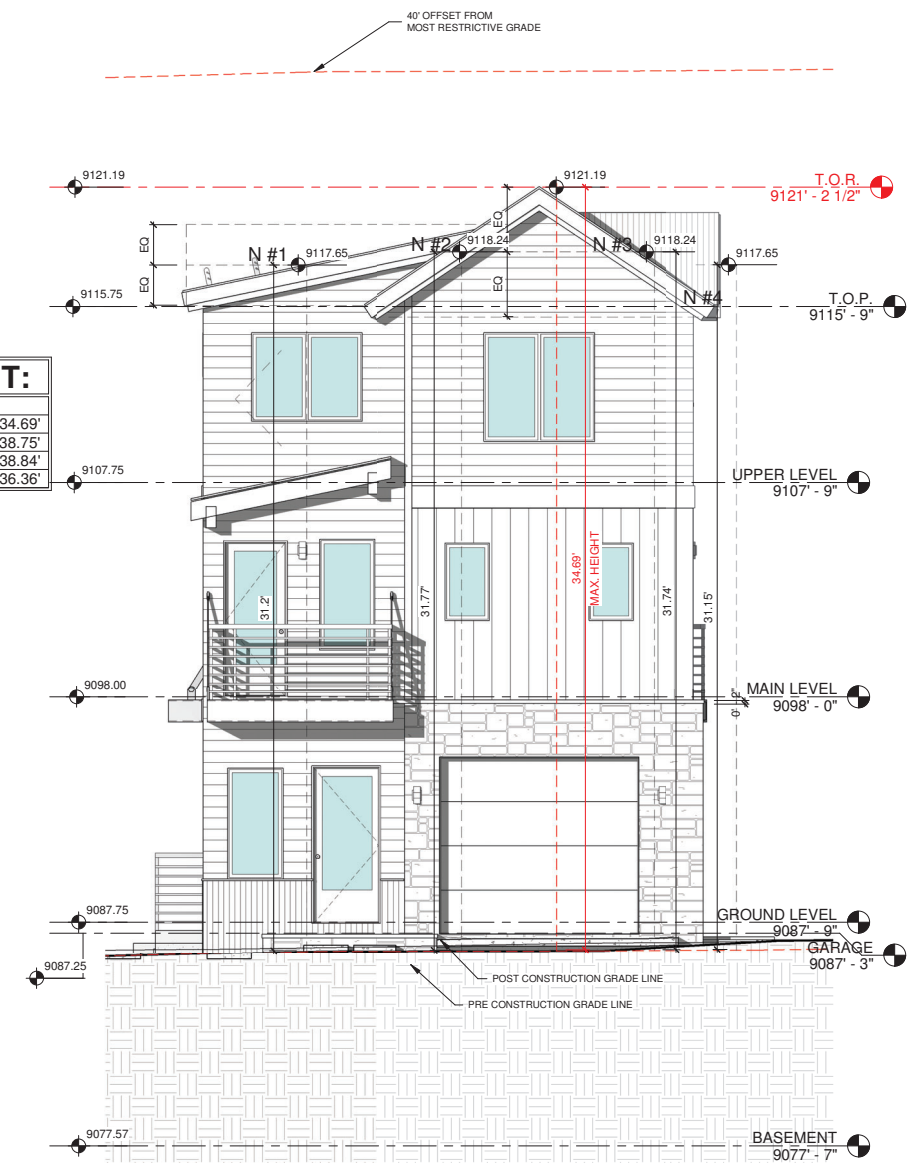
A4.2



1 EAST ELEVATION
1/4" = 1'-0"

AVG ROOF HT :	
NORTH ELEVATION	
N1	31.20'
N2	31.77'
N3	31.74'
N4	31.15'
NORTH AVERAGE	31.46'
SOUTH ELEVATION	
S1	33.42'
S2	34.96'
S3	36.48'
S4	36.29'
SOUTH AVERAGE	35.28'
EAST ELEVATION	
E1	35.09'
E2	32.40'
E3	31.82'
E4	31.53'
EAST AVERAGE	32.71'
WEST ELEVATION	
W1	31.81'
W2	31.24'
W3	31.47'
W4	32.19'
W5	32.78'
W6	33.48'
WEST AVERAGE	32.16'
TOTAL AVERAGE	32.90'

MAX. ROOF HT:	
NORTH ELEVATION	34.69'
SOUTH ELEVATION	38.75'
EAST ELEVATION	38.84'
WEST ELEVATION	36.36'



2 NORTH ELEVATION
1/4" = 1'-0"

SERENITY MV

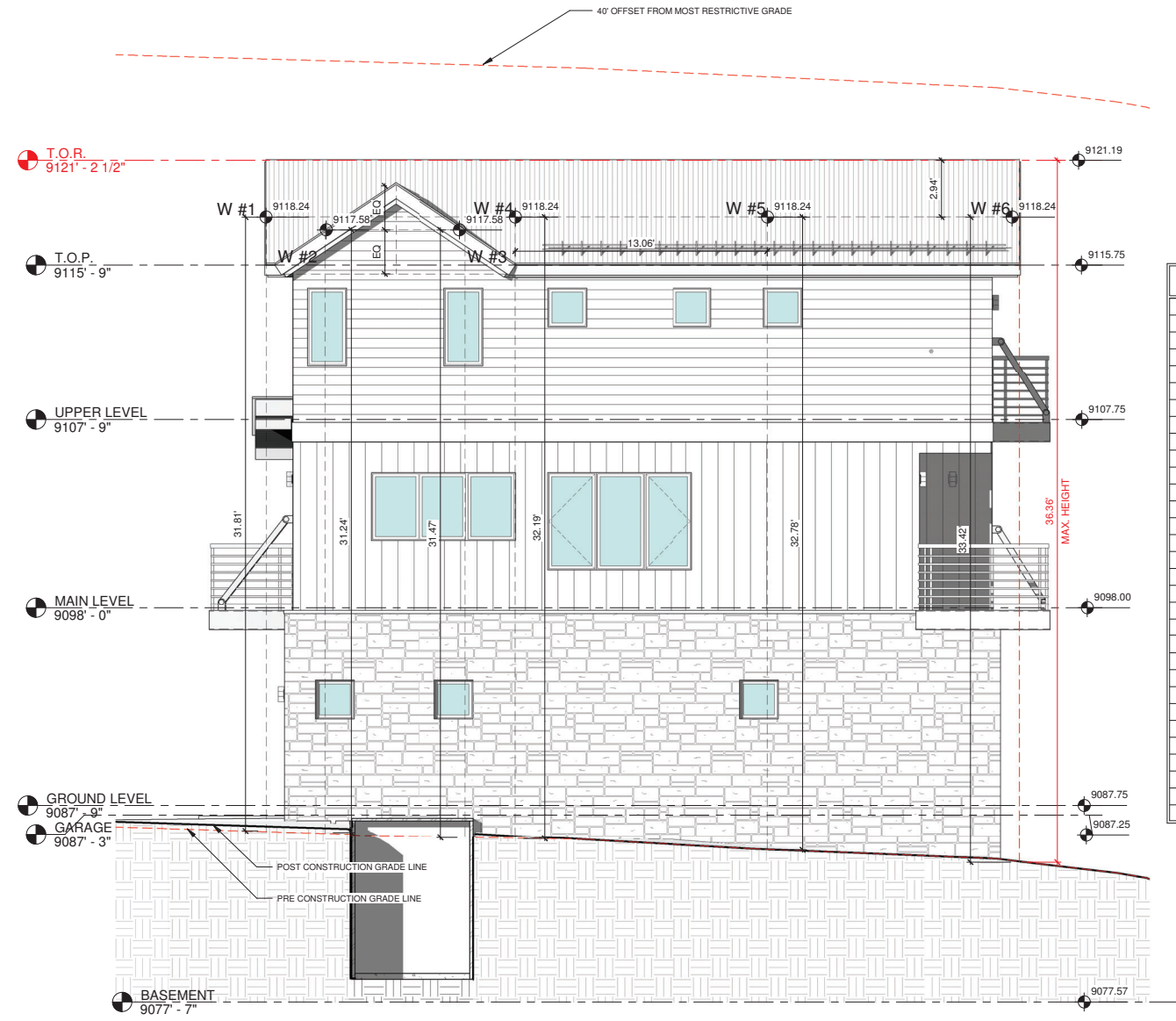
Unit-10, Boulders Way, Mountain Village
Telluride, CO 81435, USA

ELEVATION
HEIGHT CALCS

SHEET NUMBER

A4.3

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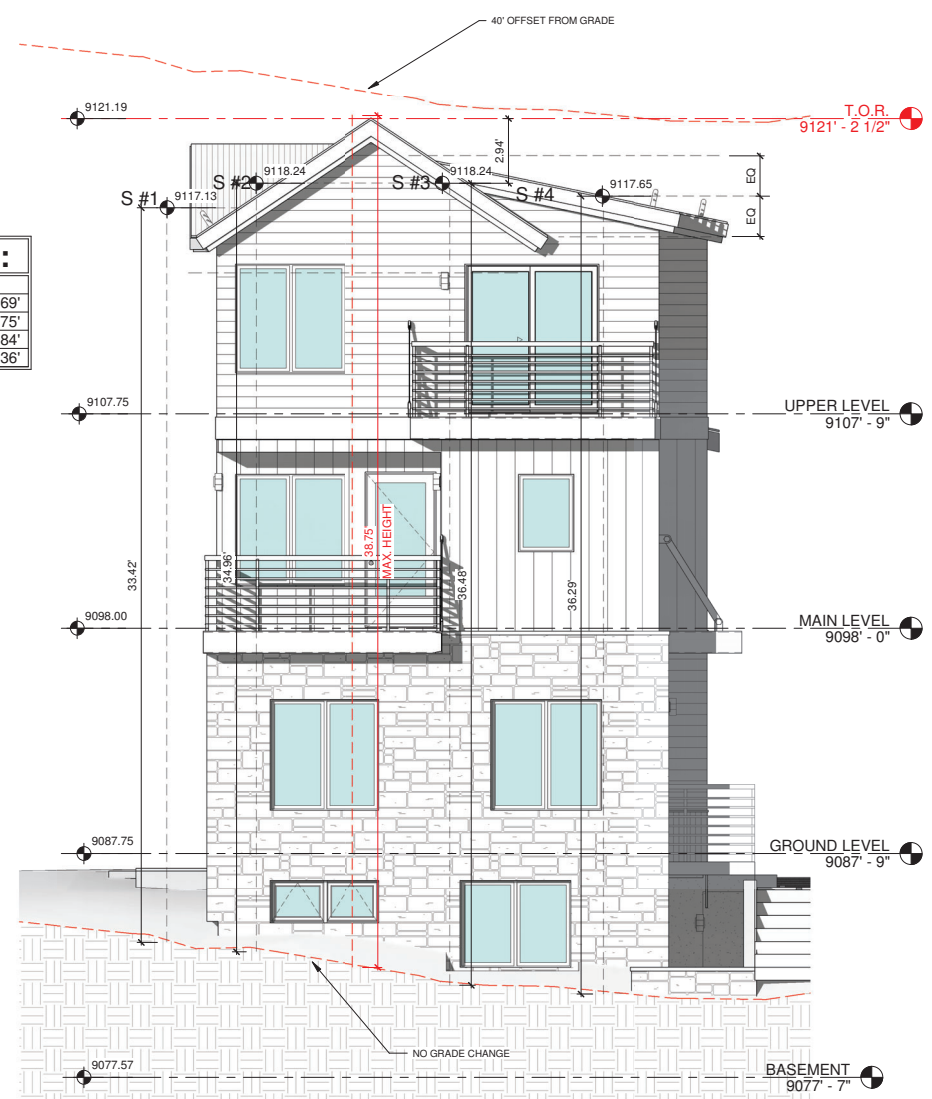
AVG ROOF HT :

NORTH ELEVATION	
N1	31.20'
N2	31.77'
N3	31.74'
N4	31.15'
NORTH AVERAGE	31.46'
SOUTH ELEVATION	
S1	33.42'
S2	34.96'
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S4	36.29'
SOUTH AVERAGE	35.28'
EAST ELEVATION	
E1	35.09'
E2	32.40'
E3	31.82'
E4	31.53'
EAST AVERAGE	32.71'
WEST ELEVATION	
W1	31.81'
W2	31.24'
W3	31.47'
W4	32.19'
W5	32.78'
W6	33.48'
WEST AVERAGE	32.16'
TOTAL AVERAGE	32.90'

MAX. ROOF HT:

NORTH ELEVATION	34.69'
SOUTH ELEVATION	38.75'
EAST ELEVATION	38.84'
WEST ELEVATION	36.36'

1 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

SERENITY MV

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Telluride, CO 81435, USA

ELEVATION
HEIGHT CALCS

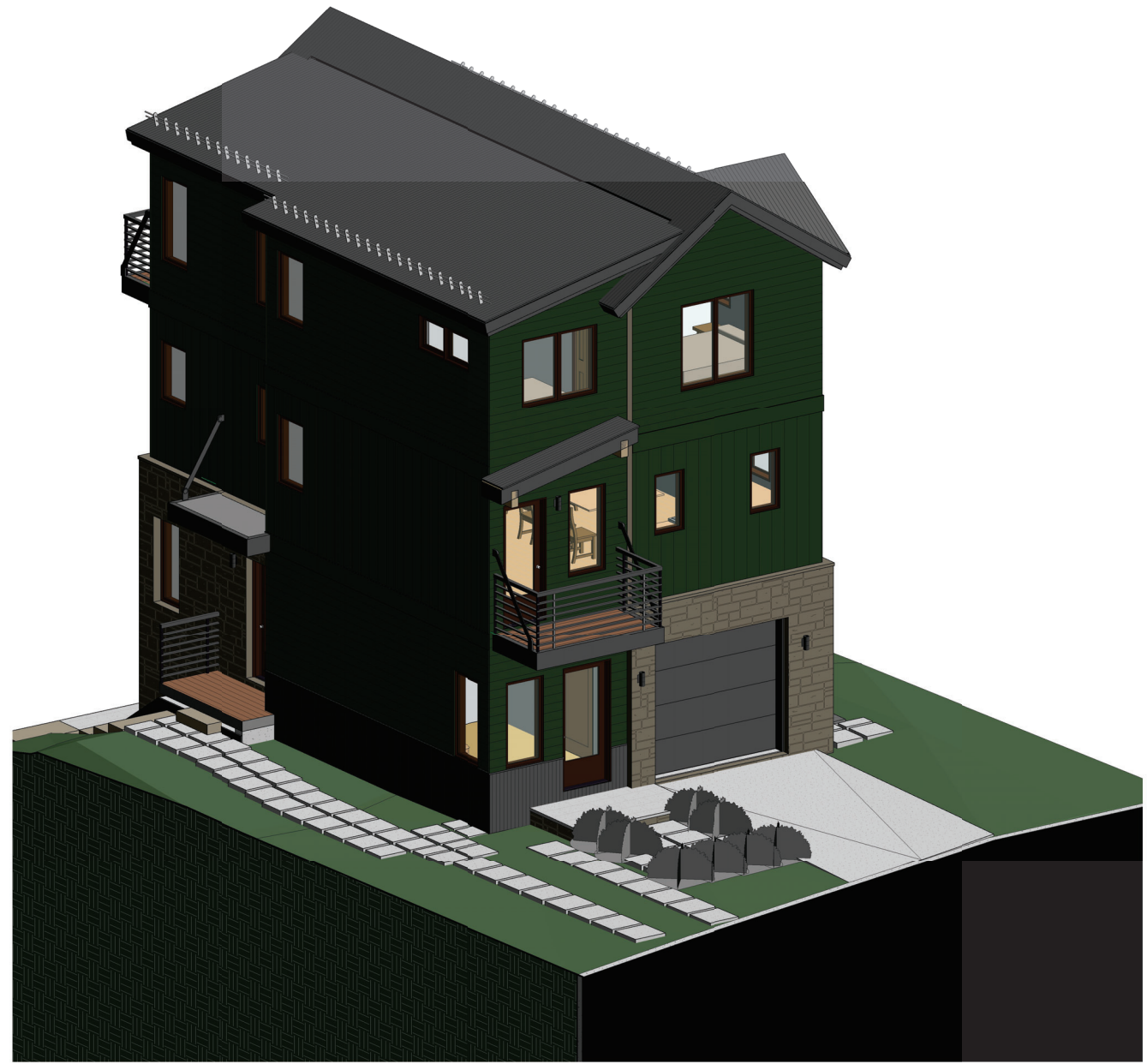
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NW PERSPECTIVE



NE PERSPECTIVE

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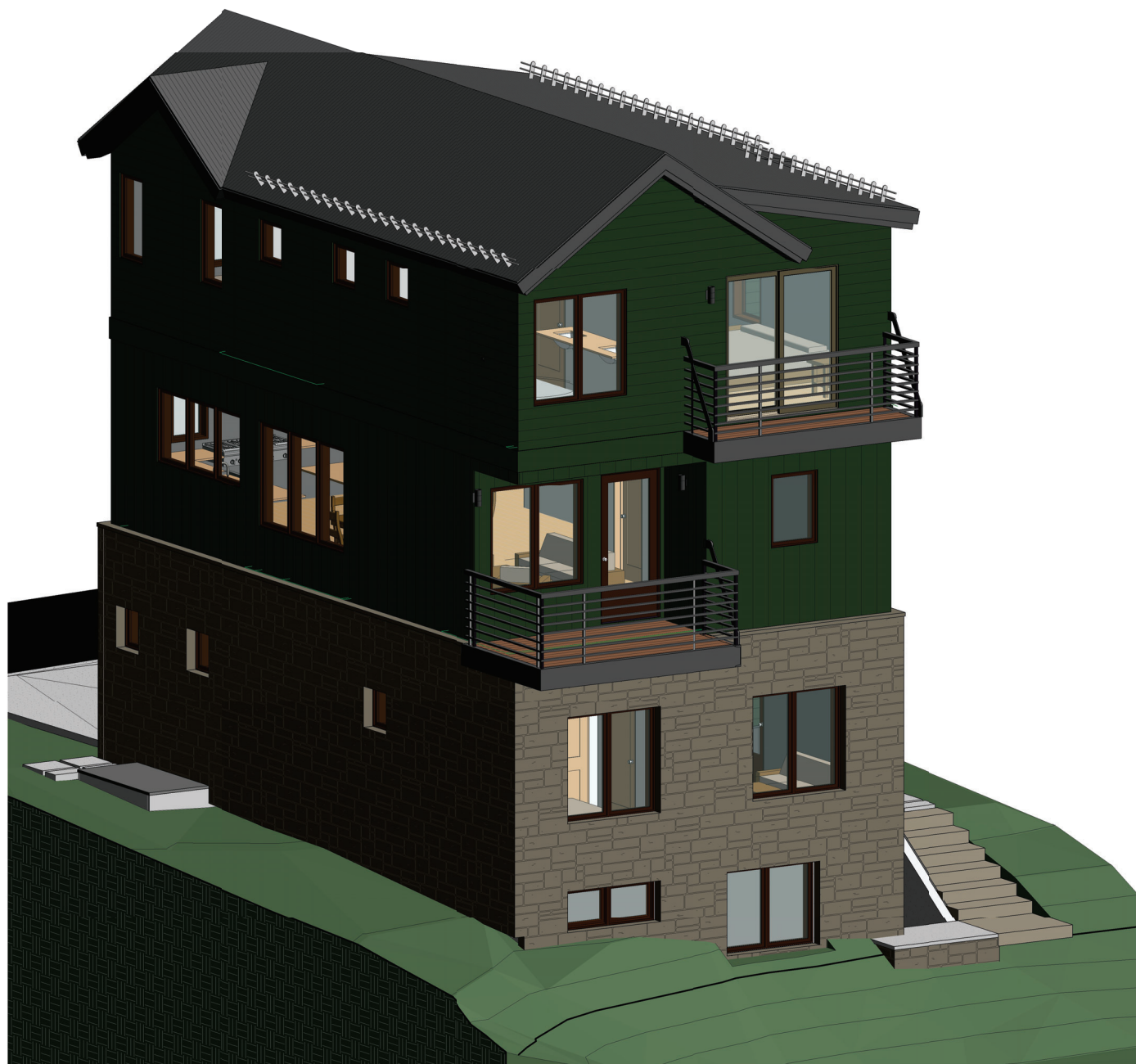
COLORIZED
 PERSPECTIVE

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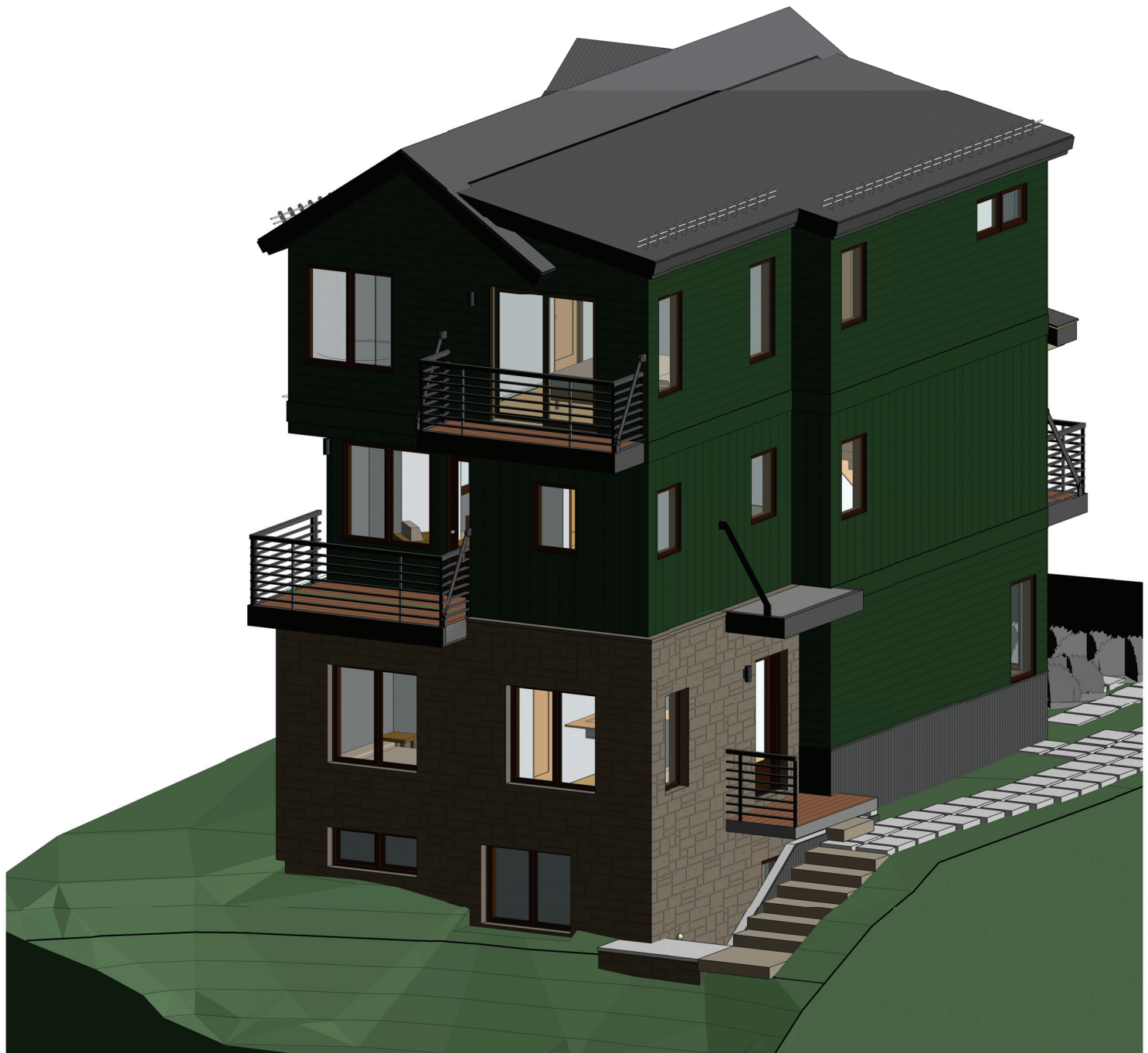
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A4.5



SW PERSPECTIVE



SE PERSPECTIVE

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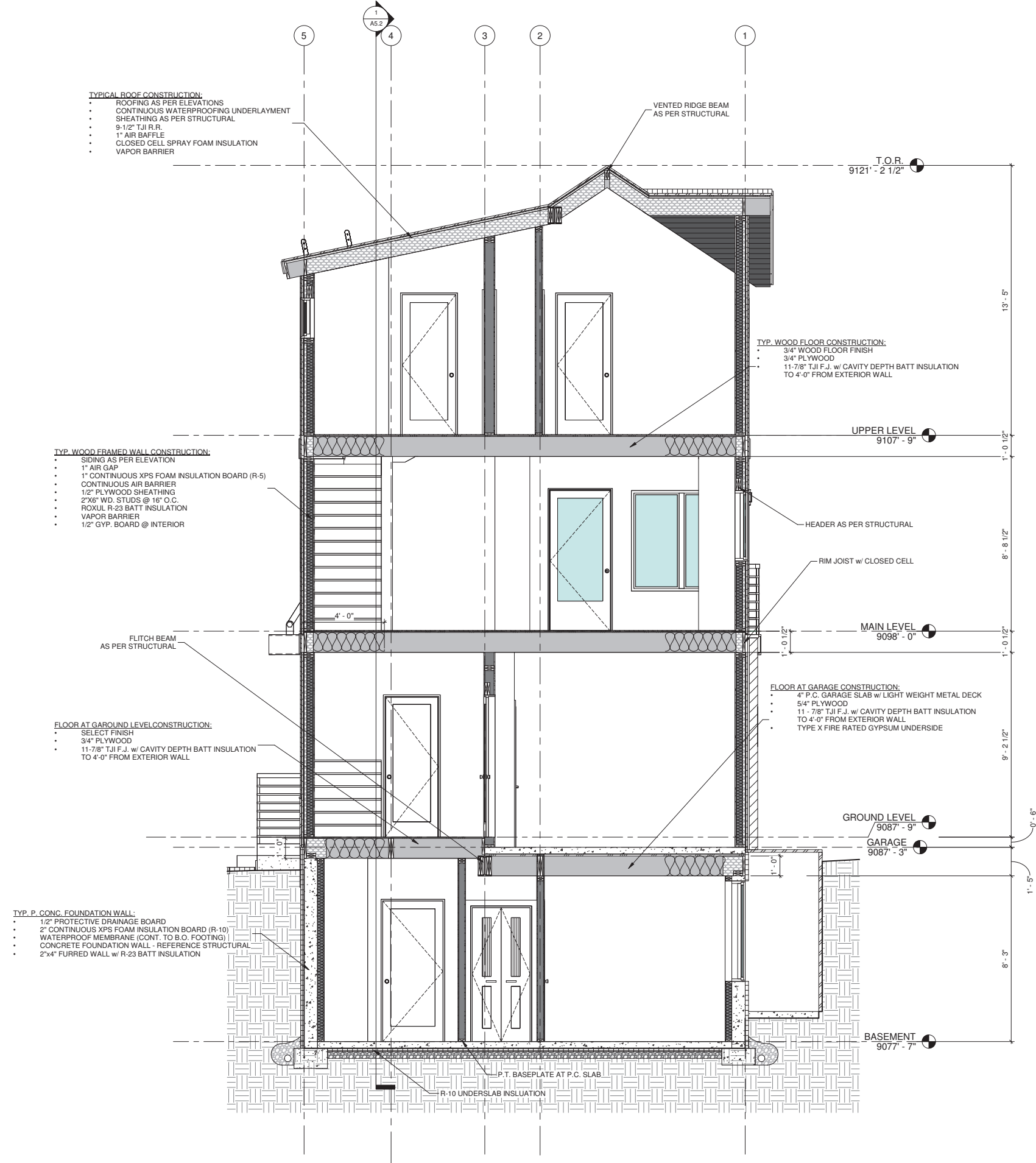
COLORIZED
 PERSPECTIVE

SHEET NUMBER

A4.6

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SECTION AT GARAGE

3/8" = 1'-0"

SERENITY MV

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BUILDING SECTION

SHEET NUMBER

A5.1

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SECTION AT STAIRS
 3/8" = 1'-0"

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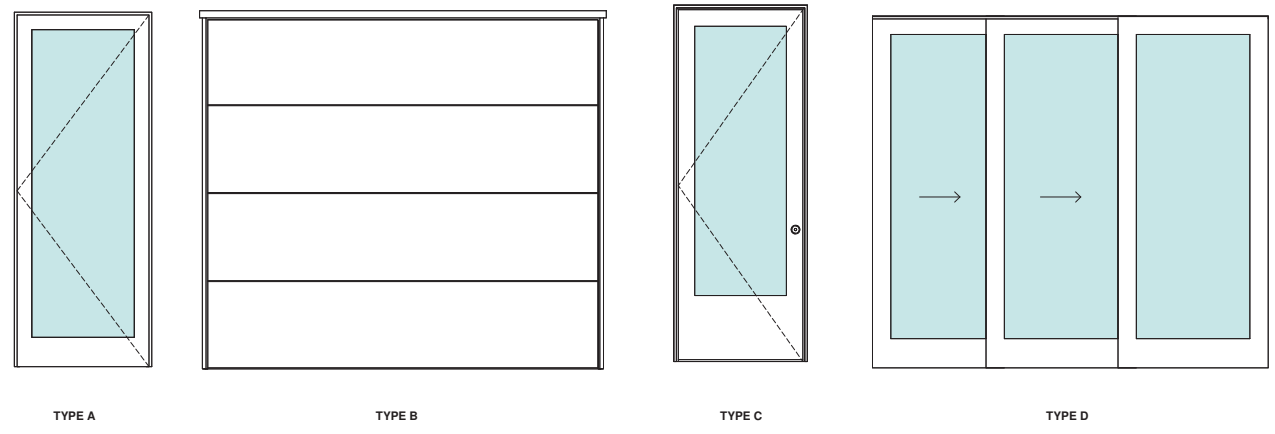
Unit-10, Boulders Way, Mountain Village
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BUILDING SECTION

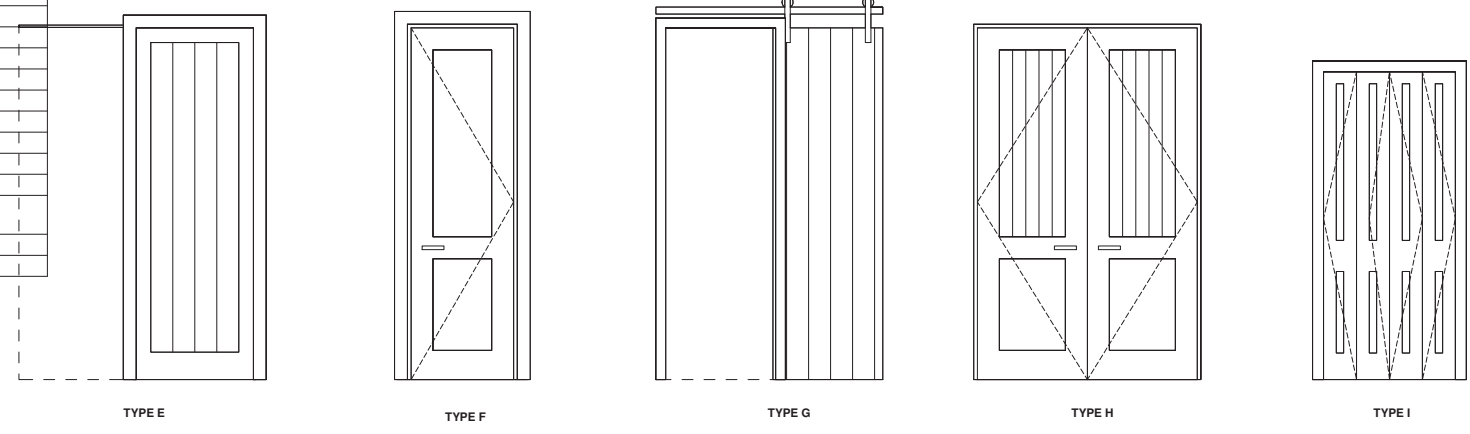
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A5.2

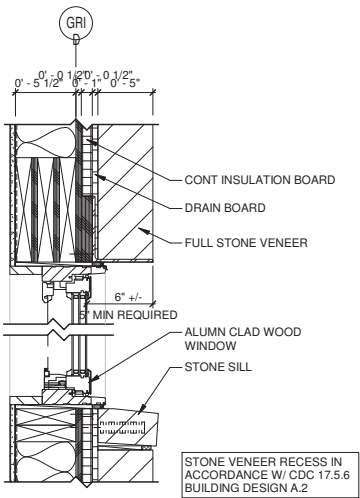
DOOR SCHEDULE					
DOOR TYPE	MARK	HEIGHT	WIDTH	HARDWARE	Description
EXTERIOR SINGLE GLASS PANEL	001	7' - 0"	3' - 0"		
INTERIOR SINGLE SWING	002	7' - 0"	3' - 0"		
INTERIOR SINGLE SWING	003	0' - 0"	0' - 0"		
INTERIOR SINGLE SWING	004	7' - 0"	2' - 8"		
INTERIOR DOUBLE SLIDING	005	7' - 0"	2' - 4"		
INTERIOR SINGLE SWING	006	7' - 0"	2' - 8"		
	007	6' - 8"	1' - 5 1/2"		
EXTERIOR SINGLE GLASS PANEL	101	7' - 0"	3' - 0"		
OVERHEAD GARAGE DOOR	102	8' - 0"	9' - 0"		
INTERIOR SINGLE SWING	103	7' - 0"	3' - 0"		
INTERIOR SINGLE PANEL	104	7' - 0"	2' - 8"		
EXTERIOR SINGLE GLASS PANEL	105	7' - 0"	3' - 0"		
INTERIOR SINGLE SWING	106	7' - 0"	2' - 8"		
INTERIOR DOUBLE SLIDING	107	7' - 0"	3' - 0"		
INTERIOR SINGLE SWING	108	7' - 0"	2' - 4"		
INTERIOR DOUBLE SWING	109	7' - 0"	2' - 6"		
EXTERIOR SINGLE GLASS PANEL	201	7' - 0"	2' - 8"		
INTERIOR SINGLE SWING	202	7' - 0"	2' - 4"		
INTERIOR SINGLE POCKET	203	7' - 0"	2' - 4"		
EXTERIOR SINGLE GLASS PANEL	204	7' - 0"	3' - 0"		
INTERIOR SINGLE SWING	302	7' - 0"	3' - 0"		
INTERIOR SINGLE SWING	302 A	7' - 0"	2' - 8"		
INTERIOR SINGLE POCKET	302 C	7' - 0"	2' - 4"		
INTERIOR SINGLE SWING	305	7' - 0"	2' - 4"		
INTERIOR SINGLE SWING	306	7' - 0"	2' - 8"		
INTERIOR SINGLE SWING	307	7' - 0"	2' - 8"		
INTERIOR BIFOLDING	308	7' - 0"	4' - 0"		
INTERIOR BIFOLDING	309	7' - 0"	4' - 0"		
EXTERIOR SLIDING GLASS	310	6' - 10"	6' - 0 1/2"		
INTERIOR SINGLE SWING	311	7' - 0"	2' - 4"		
INTERIOR SINGLE SWING	312	7' - 0"	2' - 4"		



EXTERIOR DOOR TYPES
1/2" = 1'-0"



INTERIOR DOOR TYPES
1/2" = 1'-0"

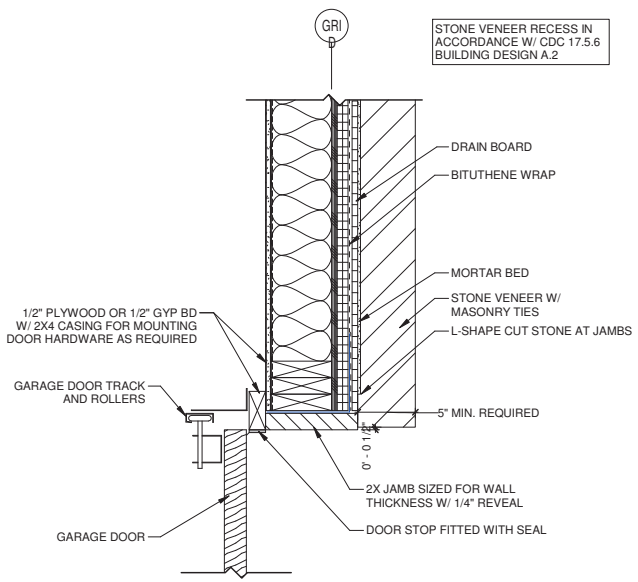


WINDOW DETAIL W/ STONE VENEER
1 1/2" = 1'-0"

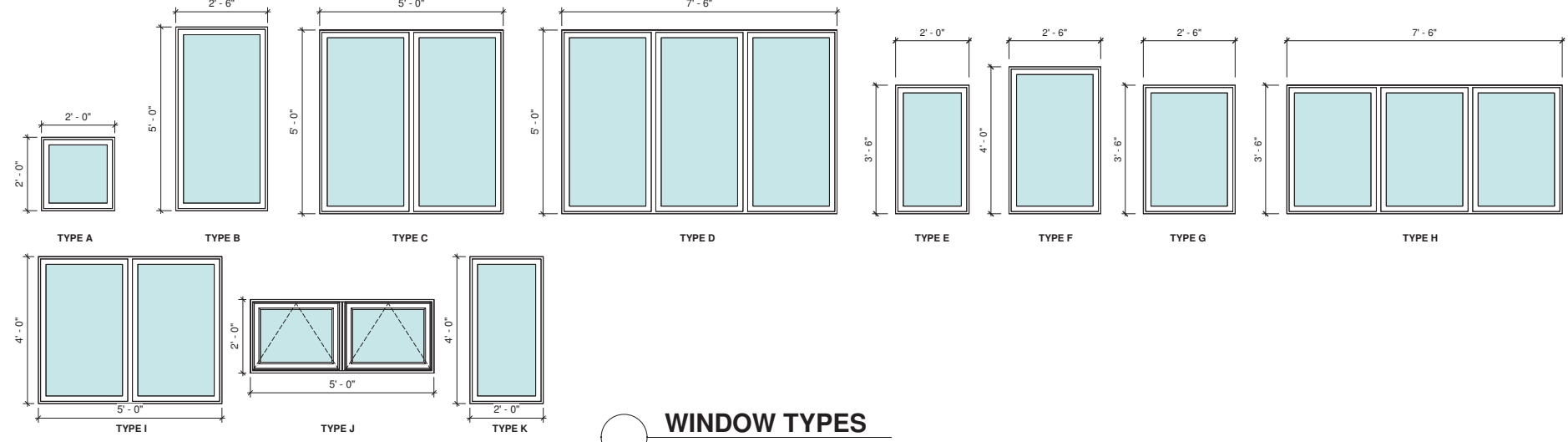
WINDOW SCHEDULE				
TYPE	TYPE	Count	UNIT WIDTH	UNIT HEIGHT
Casement	A	6	2' - 0"	2' - 0"
Casement	B	6	2' - 6"	5' - 0"
Casement 2-Wide	C	6	5' - 0"	5' - 0"
Casement 3-Wide	D	1	7' - 6"	5' - 0"
Casement	E	2	2' - 0"	3' - 6"
Casement	F	2	2' - 6"	4' - 0"
Casement	G	3	2' - 6"	3' - 6"
Casement 3-Wide	H	1	7' - 6"	3' - 6"
Casement 2-Wide	I	2	5' - 0"	4' - 0"
AWNING (2 WIDE)	J	2	5' - 0"	2' - 0"
Casement	K	2	2' - 0"	4' - 0"

- WINDOW NOTES**
1. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
 2. WINDOW MANUFACTURER TO VERIFY WINDOW SWINGS.
 3. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
 4. PROVIDE SCREENS FOR ALL OPERABLE WINDOWS.

- DOOR NOTES**
1. NEW EXTERIOR DOORS TO BE 2/3 LITE PER GS#34.
 2. DOOR HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.
 3. DOOR & WINDOW MANUFACTURER: LOEWEN ALUMN CLAD WOOD OR SIMILAR.
 4. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.

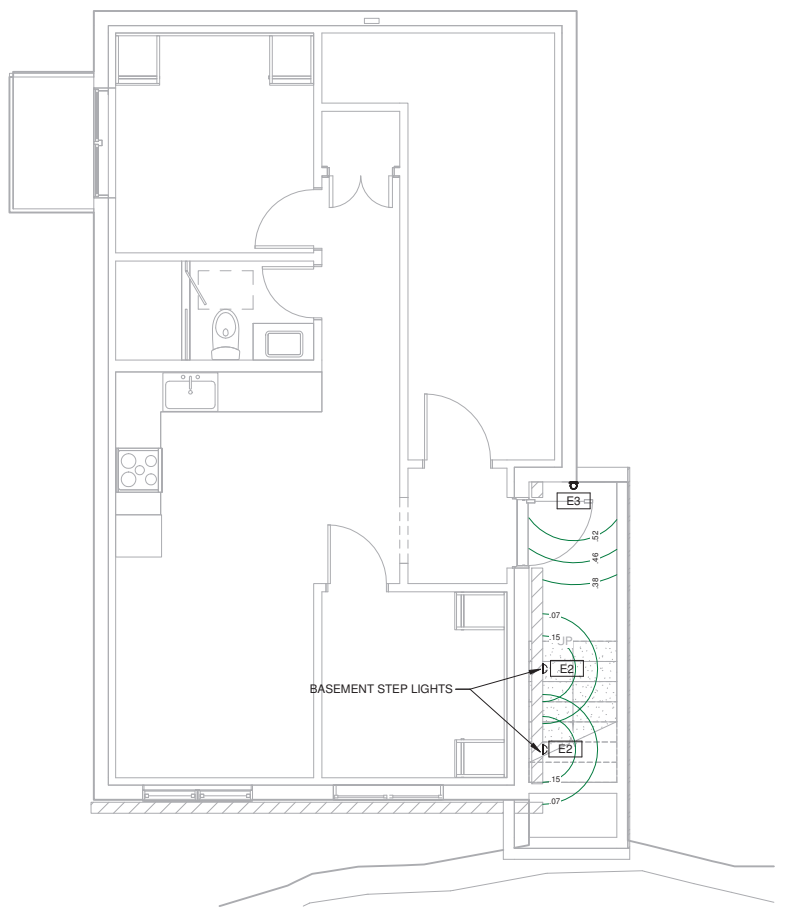


GARAGE DOOR JAMB @ STONE VENEER
1 1/2" = 1'-0"

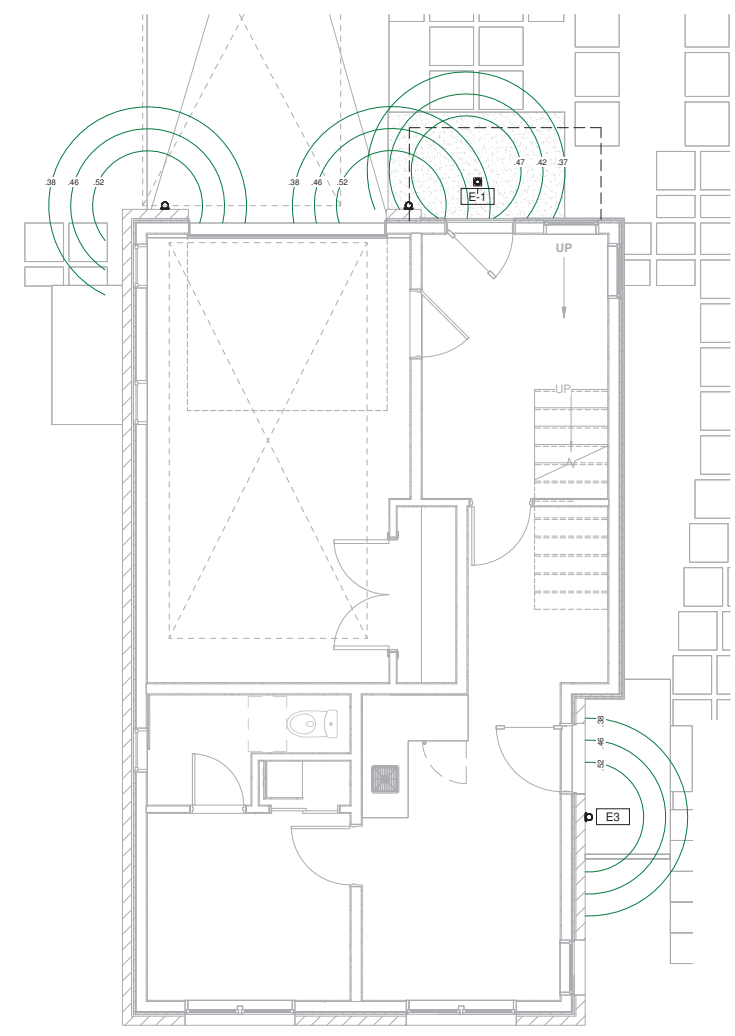


WINDOW TYPES
1/2" = 1'-0"

- LIGHTING NOTES:**
1. FIELD VERIFY ALL LIGHTING LOCATIONS.
 2. TYPICAL LIGHTING LOCATION AT STAIRS:
(1 EA) PER LANDING
(2 EA) PER RUN
 3. CONTRACTOR SHALL TAKE CARE IN PLANNING ROUGH FRAMING LAYOUT AS IT RELATES TO THE NEED TO CENTER FIXTURES IN HALLWAYS, RECESSES AND OTHER AREAS WHERE RELATIONSHIPS DON'T OFFER ANY LATITUDE OR FIELD ADJUSTMENTS.
 4. ALL RECESSED FIXTURES AT INSULATED CEILINGS TO BE IC RATED AND CERTIFIED AIR TIGHT CONSTRUCTION. ALL EXTERIOR FIXTURES, SHOWER FIXTURES AND FIXTURES OVER TUBS TO BE MARKED "SUITABLE FOR DAMP LOCATIONS".
 5. LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS
 6. PROVIDE FULL CUT OFF FIXTURES WITH LED 10W 2500K-2700K BULBS PER CDC REQUIREMENTS.
 7. MOUNT FIXTURES AT 7'-0" AFF MAX PER CDC REQUIREMENTS.
 8. EXTERIOR LIGHTING ON SECOND AND UPPER FLOORS SHALL REQUIRE EITHER A TIMER OR SENSOR TO REDUCE USAGE AND ENERGY LOSS DURING TIMES OF INACTIVITY.



2 BASEMENT EXTERIOR LIGHTING PLAN
1/4" = 1'-0"



1 LOWER LEVEL EXTERIOR LIGHTING PLAN
1/4" = 1'-0"



EXTERIOR E-1:
EXTERIOR RECESSED LED CAN

TESLA PRO 2	
FINISH: BRUSHED NICKEL	
MANUFACTURER	WAC LIGHTING
ITEM	WAC514031
MATERIAL	DIE-CAST ALUMINIUM
GLASS	ETCHED LENSE
WIDTH	4.25" DIA.
HEIGHT	4.25" DIA.
DEPTH	.13"
LAMP TYPE	LED
BULB TYPE	14.5W
LUMENS	535
COLOR TEMPERATURE	2700K
CRI	85
RATED LIFE	90,000 HOURS
CERTIFICATION	IP66, UL & cUL LISDTED FOR WET LOCATIONS
DARK SKY	YES
VOLTAGE	120V, DIRECT WIRING

EXTERIOR E-2:
EXTERIOR STEP AND WALL LIGHT

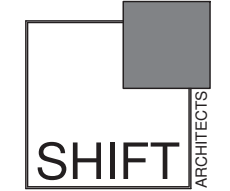


LANDSCAPE LIGHTING LED HORIZONTAL STEP LIGHT	
FINISH: BLACK	
MANUFACTURER	WAC LIGHTING
ITEM	WAC671977
MATERIAL	CORROSION RESISTANT ALUMINIUM
GLASS	ETCHED LENS
WIDTH	5"
HEIGHT	3"
DEPTH	.13"
LAMP TYPE	LED
BULB TYPE	3.9W
LUMENS	68
COLOR TEMPERATURE	3000K
CRI	83
RATED LIFE	60,000 HOURS
CERTIFICATION	UL LISTED FOR WET LOCATIONS
DARK SKY	YES
VOLTAGE	120V, DIRECT WIRING

EXTERIOR E-3:
EXTERIOR WALL SCONCE



PANDORA LED INDOOR/OUTDOOR WALL SCONCE	
FINISH: BRONZE	
MANUFACTURER	MODERN FORMS
ITEM	MF1720529
MATERIAL	ALUMINIUM
GLASS	LED DRIVER
WIDTH	7"
HEIGHT	7"
DEPTH	4.75"
LAMP TYPE	LED
BULB TYPE	12W
LUMENS	270
COLOR TEMPERATURE	3000K
CRI	85
RATED LIFE	50,000 HOURS
CERTIFICATION	ADA COMPLIANT & ETL LISTED WET
DARK SKY	YES
VOLTAGE	120V, DIRECT WIRING



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PROJECT ISSUE DATE:
08.23.24 FINAL DRB SUBMITTAL

SERENITY MV

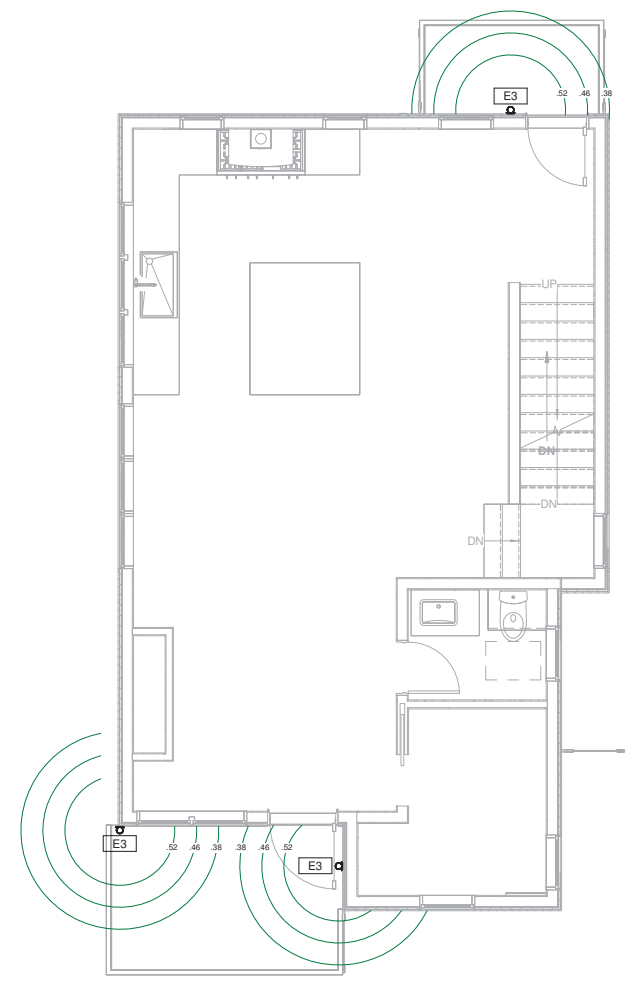
Unit-10, Boulders Way, Mountain Village
Telluride, CO 81435, USA

LIGHTING PLANS

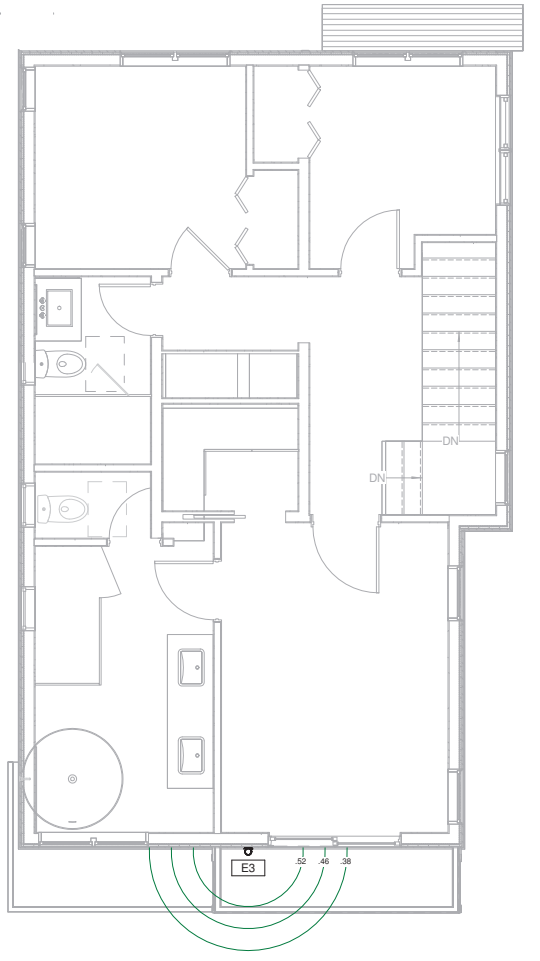
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LTG1.1



1 MAIN LEVEL EXTERIOR LIGHTING PLAN
 1/4" = 1'-0"



2 UPPER LEVEL EXTERIOR LIGHTING PLAN
 1/4" = 1'-0"

SERENITY MV

Unit-10, Boulders Way, Mountain Village
 Telluride, CO 81435, USA

LIGHTING PLAN

SHEET NUMBER

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LTG1.2

- GENERAL NOTES:**
1. ALL TREES AND SHRUBS TO BE LOCATED BY PROJECT ARCHITECT / OWNER.
 2. ALL TREES AND SHRUBS SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
 3. NECESSARY TREES SHALL BE STACKED WITH 4" METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
 4. PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
 5. SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
 6. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS; SHREDDED CEDAR BARK.
 7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
 8. LANDSCAPING SHALL BE IN ACCORDANCE WITH L.U.C. "SECTION 3-505 MAINTENANCE, REMOVAL, OR RELOCATION OF TREES".

- NOXIOUS WEEDS:**
1. ALL PLANTED MATERIALS INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED WITHIN THE SAN MIGUEL COUNTY'S MOST CURRENT NOXIOUS WEED LIST.

- LANDSCAPE MAINTENANCE NOTES:**
1. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
 2. NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.
 3. ALL SHRUBS IN SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.
 4. IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

- REVEGETATION NOTES:**
1. SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
 2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REEMITTED (EXCEPT OF SLOPES GREATER THAN 3:1) AND AMENDMENT ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
 3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
 4. AREAS WHICH HAVE BEEN COMPACTED OR RELATIVELY UNDISTURBED NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING THE SEED.
 5. BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
 6. ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
 7. ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
 8. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREEPING RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%
MOUNTAIN BROME (BROMAR)	10%

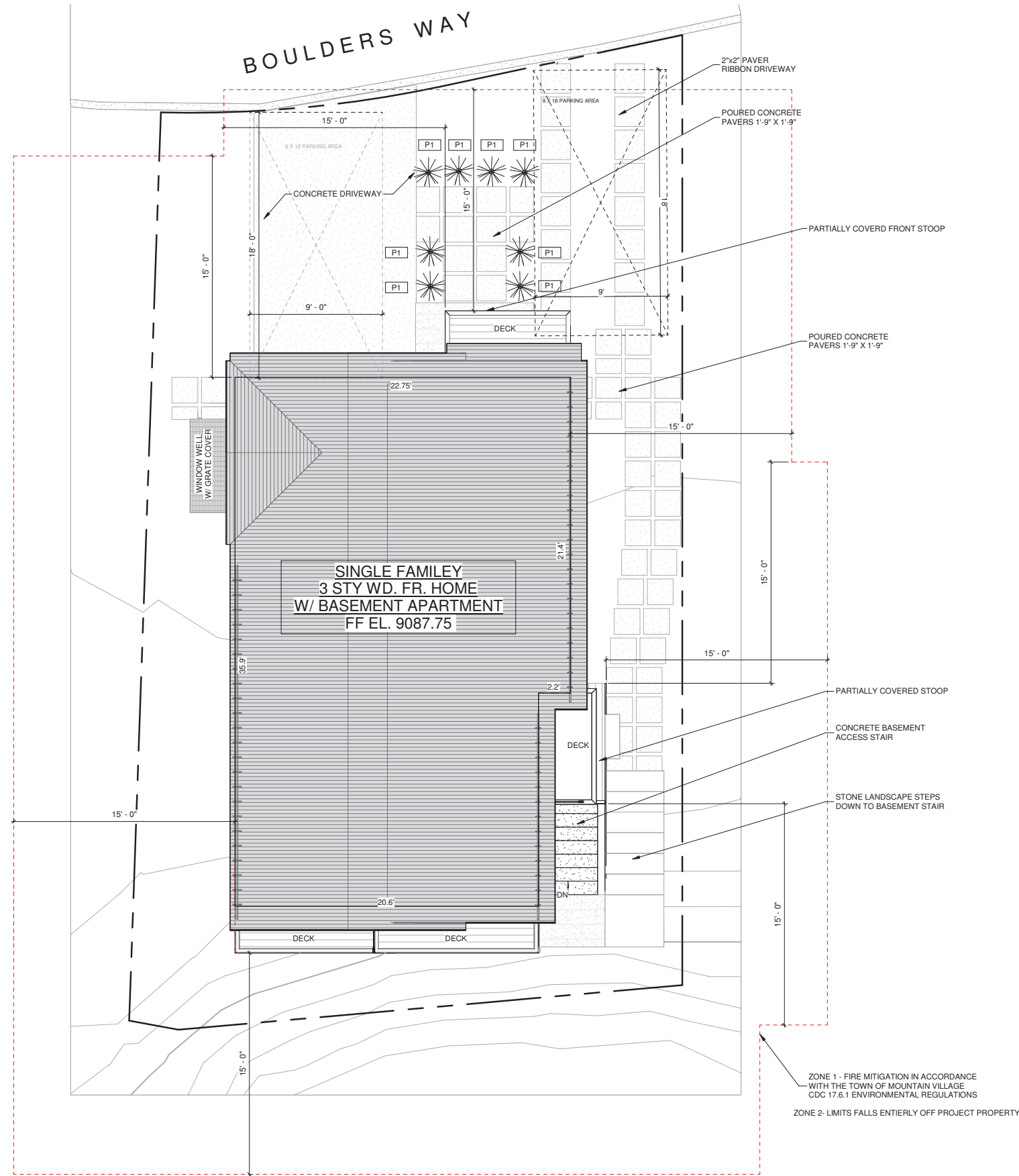
LANDSCAPE LEGEND

	CONCRETE PAVERS		INDIGENOUS SHRUBS
	FENCE; WOOD FRAME AND HOGWIRE		TREE; ASPEN
	METAL GATE TO MATCH FENCE		TREE; SPRUCE
	METAL LANDSCAPE WALL		FENCE; WOOD
	METAL GRATE WITH 3' X 3' EGRESS HATCH AT WINDOW WELL		
	DISTURBED AREAS		
	MULCH LANDSCAPE BEDDING		
	PERENNIAL BEDDING		
	FLAGSTONE		

NOTE:
ALL EXISTING TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION.

PLANTING SCHEDULE

Type	LATIN NAME	Type Mark	SIZE	Count
WOODS ROSE	ROSA WOODSII	P1		8
Grand total: 8				



1 LANDSCAPE PLAN
1/4" = 1'-0"