

January 29, 2025

**RE: LOT 137 TELLURIDE MOUNTAIN VILLAGE – VESTED PROPERTY RIGHTS MEMO**

**To:** Mountain Village Design Review Staff + Board  
Mountain Village Town Council

Thank you for taking the time to review our Vested Property Rights request for Lot 137 Granite Ridge which is based on a number of factors outlined below.

**PROJECT LOCATION | SITE ACCESS**

The project is situated on a steep lot, accessible via a narrow, single-lane road. Due to these constraints, construction mobilization is limited to a short timeframe between June and November, when weather conditions are stable.

**ENGINEERING COORDINATION | TIMEFRAME**

The project involves a number of engineers approaching it in a coordinated effort. Due to the complexity of the site conditions and construction, the Geotechnical, Shoring, Rock Anchoring, Micropiling, Excavation and Structural engineers all need to work in sequential order to prepare the site for construction. The availability of the involved players has been extended due to the current construction climate and local construction industry.

**CONTRACTOR AVAILABILITY | SCHEDULE**

The nature of this project necessitates a highly qualified team. An experienced General Contractor is of utmost importance, yet their availability—along with that of subcontractors—is affected by the prolonged timelines of ongoing construction projects in the area.

As we all recognize, the limited local pool of subcontractors has led to significantly longer construction durations. Projects that once took 18–24 months to complete are now requiring 36–48 months.

Given the unique complexity of Lot 137 Granite Ridge, the availability of skilled professionals is critical to its successful execution.

**EXTENSION | VESTED PROPERTY RIGHTS REQUEST**

Based on the reasons stated above we ask that you will consider a 36 month Extension | Vested Property Rights for Lot 137 Granite Ridge.

Thank you for taking the time to review our application and should you have any questions please do not hesitate to contact me directly.

Narcis Tudor  
**ARCHITECT # 00402820**



The following document contains drawings and plan sets that are not accessible to screen readers. For assistance in accessing and interpreting these documents, please email [cd@mtnvillage.org](mailto:cd@mtnvillage.org) or call (970) 728-8000





DRB1 - CONCEPTUAL RENDERING ONLY

**137 GR**  
DRB - FINAL



## FORESTER COMMENTS | FIRE MITIGATION

FORESTER COMMENTS: ALTHOUGH THE ANNUAL BURN PROBABILITY FOR THIS AREA IS RATED AS LOW (COLORADO FOREST ATLAS WEBSITE), THE LOCATION OF THE PROPOSED BUILDING SITE IS LOCATED IN A HIGH-RISK AREA ACCORDING TO SEVERAL OTHER WILDFIRE RATING MATRICES. THIS IS DUE TO THE VERY STEEP SLOPE, DENSITY, AND MIXED CONIFER COMPOSITION OF THE FOREST TREES BEYOND THE NORTHEAST BOUNDARY OF THE PROPERTY. FOR THIS REASON, THE FOLLOWING HOME HARDENING FEATURES AND DEFENSIVE SPACE ACTIONS WILL BE NECESSARY TO CONSTRUCT A HOME THAT WILL BE ABLE TO OFFER SOME LIKELIHOOD OF DEFENSE IN THE EVENT OF A WILDFIRE:

THE DESIGN OF THE HOME HAS MANY OVERHANGS AND DECKS. THE SOFFIT COVERINGS OF THESE EAVES MUST BE COMPOSED OF A NON-FLAMMABLE MATERIAL. THE DESIGN OF THIS HOME INDICATES MANY OF THE EXTERIOR WALLS AS BEING COMPOSED OF TRANSPARENT GLASS. SINCE WINDOWS ARE THE MOST VULNERABLE FEATURE OF A HOME DURING A WILDFIRE (DOUBLE PANE WINDOWS WILL TYPICALLY BREAK AFTER 5-10 MINUTES IN THE PRESENCE OF HEAT FROM WILDFIRE, THE WINDOWS (ESPECIALLY ON THE NORTH AND NORTHEAST SIDE OF THE HOME) MUST BE COMPOSED OF TEMPERED GLASS. ADDITIONALLY, THE DECKS (ESPECIALLY THE UNDERSIDES) MUST BE CONSTRUCTED FROM A FIRE RESISTANT OR NON-COMBUSTIBLE MATERIAL AND THE ROOF MUST ALSO BE CONSTRUCTED FROM A NON-COMBUSTIBLE MATERIAL. THE COLORADO STATE FOREST SERVICE PUBLICATION, FIREWISE CONSTRUCTION: SITE DESIGN & BUILDING MATERIALS (BASED ON THE 2009 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE) HAS EXCELLENT INFORMATION ABOUT THE DESIGN AND CONSTRUCTION OF A HOME IN A WUI AREA THAT IS AT AN ELEVATED RISK FROM WILDFIRE.

ADDITIONALLY, THE TREES ON THE VERY STEEP SLOPE, LOCATED ON TELSki PROPERTY, TO A DISTANCE OF 150 FEET OR MORE (COLORADO FOREST ATLAS WEBSITE, CHARACTERISTIC FLAME LENGTH MAP- 2020) AND IS LISTED AS "INOPERABLE" IN THE SUPPRESSION DIFFICULTY RATING (COLORADO FOREST ATLAS WEBSITE) AND IS CAPABLE OF PRODUCING A CROWN FIRE THAT IS LIKELY TO EXHIBIT FLAME LENGTHS UP TO 75 - 100 FEET IN HEIGHT. FOR THIS REASON, IT IS STRONGLY RECOMMENDED THAT THIS PROJECT WORK WITH TELSki TO GAIN PERMISSION TO PERFORM ZONE 2 DEFENSIVE SPACE FUEL REDUCTIONS AND MODIFICATIONS TO THE FOREST TO A DISTANCE OF 150 FEET FROM THE HOME ALONG THE NORTHEAST PROPERTY BOUNDARY. THE COLORADO STATE FOREST SERVICE PUBLICATION, THE HOME IGNITION ZONE CONTAINS THE RECOMMENDATIONS AND STANDARDS TO PERFORM DEFENSIVE SPACE MODIFICATIONS FOR ZONES 1 THROUGH 3 TO THE FOREST. THE MOUNTAIN VILLAGE FORESTER CAN ALSO PROVIDE ASSISTANCE.

THE LANDSCAPE PLAN SHOWS THE PROPOSED EVERGREEN TREES BEING PLANTED TOO CLOSE TOGETHER. IN ORDER TO MEET THE REQUIREMENTS OF THE COMMUNITY DEVELOPMENT CODE (CDC 17.6), ZONE 2 DEFENSIVE SPACE REQUIREMENTS, THE EVERGREEN TREES MUST BE PLANTED AT LEAST 20 FEET APART AND THEY MUST BE PLANTED AT A DISTANCE TO OTHER TREES AND SHRUBS, SO THEY HAVE A 10 FOOT CROWN SPACING AWAY FROM THESE OTHER PLANTS AT MATURITY. ALSO, TO MEET THE REQUIREMENTS OF THE CDC 17.5.9 LANDSCAPING REGULATION FOR SPECIES DIVERSITY, THE PROPOSED TREES WILL NEED TO INCLUDE A GREATER VARIETY OF SPECIES. THIS MAY BE ACCOMPLISHED BY REPLACING THE PROPOSED EVERGREEN TREES WITH SPECIES ON THE COLORADO STATE EXTENSION PUBLICATION, FIREWISE PLANT MATERIALS AND/OR ADDING A GREATER VARIETY OF EVERGREEN SPECIES TO THE LANDSCAPING PLAN (SO LONG AS THEY ARE SPACED FAR ENOUGH APART TO MEET THE DEFENSIVE SPACE ZONE 2 REQUIREMENTS).

## FIRE PROTECTION

THE STRUCTURE WILL HAVE A MONITORED NFPA 72 ALARM SYSTEM AND MONITORED NFPA 13D SPRINKLER SYSTEM.

A KNOX BOX FOR EMERGENCY ACCESS WILL BE INSTALLED.

CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, WILL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.

## GENERAL NOTES

CONTRACT DOCUMENTS: CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, GENERAL SPECIFICATIONS, AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED.

ORGANIZATION: WHERE APPLICABLE, THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), INTERIOR DRAWINGS (I SHEETS), STRUCTURAL DRAWINGS (S SHEETS), MECHANICAL AND PLUMBING DRAWINGS (M SHEETS), ELECTRICAL (E SHEETS), AND LIGHTING (LP SHEETS).

CODE COMPLIANCE: ALL WORK, MATERIALS, AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP.

INTENT: THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN. ALL FUNCTIONALITY AND PERFORMANCE OF THE BUILDING COMPONENTS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

COORDINATION: THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS, AND REPORT ANY DISCREPANCIES, ERRORS, OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL, AND LIGHTING DRAWINGS.

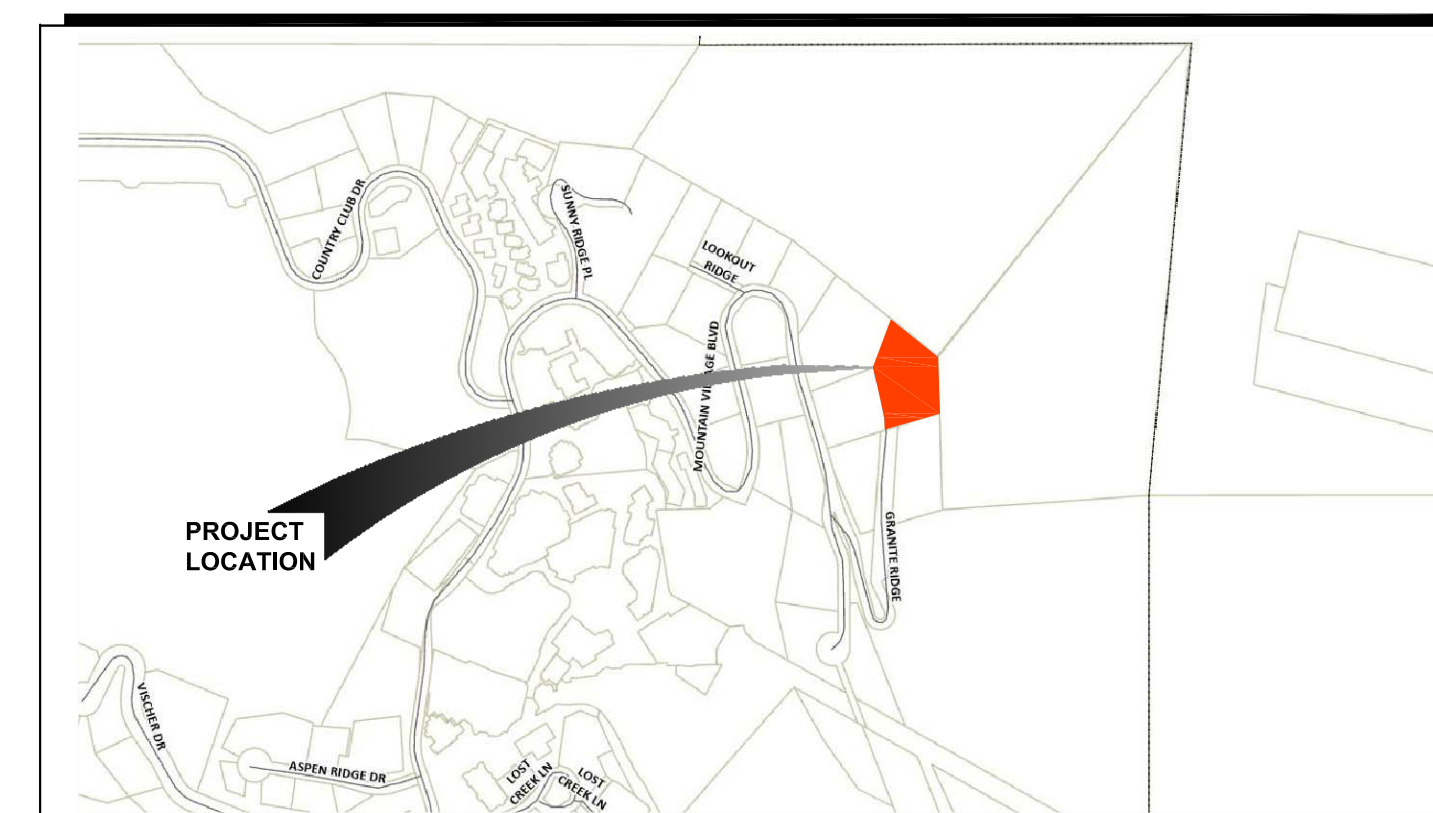
## VARIANCE REQUESTS

DUE TO THE SITE GEOLOGY WE ARE ASKING FOR TWO DESIGN VARIANCES:

- THE USE OF THE NORTH AND EAST EASEMENTS FOR PORTIONS OF THE STRUCTURE AND ROOFS DUE TO THE STABLE GEOLOGICAL CONDITIONS AND ALLOWING AN ADEQUATE MOTORCOURT FOR FIRE TRUCK ACCESS.
- A ROOF HEIGHT ALLOWANCE OF 44'-6". THIS REQUEST IS DUE TO THE DRASTICALLY DROPPING GRADE ELEVATION NORTH OF THE RIDGE, THE MOST STABLE PART OF THE SITE.

BOTH OF THESE VARIANCE REQUESTS ARE DUE TO THE UNSTABLE SITE CONDITIONS OF THE SOUTHERN PORTION OF THE LOT AND BOTH HAVE BEEN APPROVED BY TOWN COUNCIL ON JUNE 15TH 2023.

## VICINITY MAP



## PROJECT TEAM

**OWNER**  
EPIC RIDGE PROPERTIES, LLC

**ARCHITECT**  
**NARCIS TUDOR ARCHITECTS**  
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[jeff@koenigconstructionservices.com](mailto:jeff@koenigconstructionservices.com)

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**COLORADO STRUCTURAL, INC.**  
**MIKE ARBANEY**  
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F. 970. 349.5926

**SURVEYOR**  
**SURVEYOR**  
**SAN JUAN SURVEYING**  
102 SOCIETY DR  
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F. 970 728.9201  
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**GEOTECH ENGINEER**  
**TRAUTNER GEOTECH, LLC**  
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[jbutler@trautnergeotech.com](mailto:jbutler@trautnergeotech.com)

**CIVIL ENGINEER**  
**GOFF ENGINEERING & SURVEYING, INC.**  
P: 970. 247. 1705 x02  
126 ROCK POINT DRIVE, STE. A,  
DURANGO . COLORADO . 81301  
[rharries@goffengineering.com](mailto:rharries@goffengineering.com)

## CDC - SITE COVERAGE

LOT AREA - 0.98AC 42,688.8 SQ. FT.  
ALLOWABLE PER CDC - 40% = 17,075.52 SQ. FT.

PROPOSED SITE COVERAGE - 12,120.8 SQ. FT. (28.4%)  
COMPLIANT BY - 4,954.72 SQ. FT.

## CDC - INFO

LOT #: 137 GRANITE RIDGE  
ADDRESS: 102 GRANITE RIDGE  
IMPROVEMENT TYPE: NEW CONSTRUCTION  
TYPE OF UNIT: SINGLE FAMILY  
SETBACKS: SEE A1.1  
BUILDING HIGH POINT: 9084'-6" (-2'-0)

## CDC - BUILDING HEIGHT

MAX. BUILDING HEIGHT = 35'  
HIGH ROOF = 44'-6" (-2'-6")  
AVERAGE ROOF = 16'-7"

SEE H1 & H3 SERIES FOR HEIGHT CALCULATIONS

## CDC - EXTERIOR MATERIALS

MEASURED IN SQ. FT.	TOTAL	PERCENTAGE
METAL SIDING	3870	25 %
STONE VENEER	7780	50 %
GLAZING	3817	25 %
TOTAL VERTICAL SURFACE	15467	100.0 %

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A0.1



# DRB FINAL RESPOSE JUNE 1, 2023 DRB CONDITIONS

## ITEM 10 & 11: REVIEW AND RECOMMENDATION TO TOWN COUNCIL REGARDING A HEIGHT VARIANCE APPLICATION FOR LOT 137, GRANITE RIDGE, PURSUANT TO CDC SECTION 17.4.16 AND CONSIDERATION AND DESIGN REVIEW: INITIAL ARCHITECTURE AND SITE REVIEW FOR LOT 137, GRANITE RIDGE, PURSUANT TO CDC SECTION 17.4.11

CALLIE NEW OF DESIGN WORKSHOP: PRESENTED AS STAFF  
NARCIS TUDOR OF NARCIS TUDOR ARCHITECTS: PRESENTED AS APPLICANT  
PUBLIC COMMENT: NONE

ON A **MOTION** BY **MILLER** AND SECONDED BY **GARNER** THE DRB VOTED **5 APPROVED 2 DENIED** TO RECOMMEND (**CRAIG** DENIED DUE TO HEIGHT VARIANCE AND **KRAMER** DENIED BECAUSE THE HEIGHT MAKES IT TOO EXCESSIVE) APPROVAL TO TOWN COUNCIL OF A MAXIMUM HEIGHT VARIANCE OF 12 FEET ABOVE THE ALLOWABLE, PER THE HEIGHT RESTRICTIONS LISTED IN THE CDC FOR PORTIONS OF A NEW SINGLE-FAMILY HOME LOCATED AT LOT 137, 102 GRANITE RIDGE BASED ON THE EVIDENCE PROVIDED IN THE STAFF MEMO OF RECORD DATED MAY 22, 2023 AND THE FINDINGS OF THIS MEETING.

AND

ON A **MOTION** BY **GARNER** AND SECONDED **MILLER** BY THE DRB VOTED **5 APPROVED 2 DENIED** TO APPROVE (**CRAIG** AND **KRAMER** DENIED DUE TO HEIGHT VARIANCE) THE INITIAL ARCHITECTURE AND SITE REVIEW FOR A NEW SINGLE-FAMILY HOME LOCATED ON LOT 137, BASED ON THE EVIDENCE PROVIDED IN THE STAFF MEMO OF RECORD DATED MAY 24, 2023, AND THE FINDINGS OF THIS MEETING.

WITH THE FOLLOWING SPECIFIC APPROVALS:

### DESIGN REVIEW BOARD SPECIFIC APPROVALS:

- 1) DRIVEWAY STANDARDS - GRADE

SEE SHEET C1.1

### AND, WITH THE FOLLOWING CONDITIONS:

- 1) PRIOR TO FINAL REVIEW THE APPLICANT WILL OBTAIN APPROVAL FROM TOWN COUNCIL FOR THE PROPOSED HEIGHT VARIANCE AND MINOR SUBDIVISION. IF A VARIANCE IS NOT APPROVED, OR THE SUBDIVISION NOT APPROVED AN UPDATED INITIAL ARCHITECTURE AND SITE REVIEW SHALL BE REQUIRED.
- 2) PRIOR TO FINAL REVIEW THE APPLICANT IS REQUIRED TO VERIFY WHAT IS INCLUDED IN THE LOT COVERAGE CALCULATION TO ENSURE COMPLIANCE WITH THE LOT COVERAGE REQUIREMENT.
- 3) PRIOR TO FINAL REVIEW, THE APPLICANT SHALL UPDATE THE LANDSCAPE PLAN TO ADDRESS FIRE MITIGATION CONCERNS, ENSURE THAT THE DIVERSITY OF SPECIES REQUIREMENT IS MET, AND PROVIDE INFORMATION ON REVEGETATION AND WATERING.
- 4) PRIOR TO FINAL REVIEW, THE APPLICANT SHALL PROVIDE AN EXHIBIT SHOWING THE HEIGHT AND LENGTH OF ALL PROPOSED RETAINING WALLS.
- 5) PRIOR TO FINAL REVIEW, THE APPLICANT SHALL PROVIDE AN UPDATED DRIVEWAY PLAN WITH DIMENSIONS LABELED TO SHOW COMPLIANCE WITH THE CDC.
- 6) PRIOR TO FINAL REVIEW, THE APPLICANT SHALL INDICATE THE FUEL SOURCE FOR ALL FIREPLACES.
- 7) PRIOR TO FINAL REVIEW, THE APPLICANT SHALL IDENTIFY THE TYPE OF MATERIALS TO BE USED FOR THE SOFFIT AND FASCIA.
- 8) PRIOR TO FINAL REVIEW, THE APPLICANT SHALL PROVIDE A DETAILED WINDOW AND DOOR SCHEDULE THAT LABELS GARAGE AND ENTRY DOORS, AND TYPE OF GLASS PROPOSED FOR THE WINDOWS (SEE FIRE MITIGATION RECOMMENDATIONS).
- 9) PRIOR TO FINAL REVIEW, THE APPLICANT SHALL INDICATE DRAINAGE IN THE GRADING PLAN.
- 10) PRIOR TO FINAL REVIEW, THE APPLICANT SHALL PROVIDE AN UPDATED LANDSCAPE AND FIRE MITIGATION PLANS SHOWING COMPLIANCE WITH THE FIRE MITIGATION STANDARDS.
- 11) PRIOR TO FINAL REVIEW, THE APPLICANT SHALL ADDRESS CONCERNS LISTED IN THE CONSTRUCTION MITIGATION PLAN.
- 12) THE "PREP KITCHEN" ON THE UPPER LEVEL SHALL MEET THE DEFINITION OF A WET BAR.
- 13) A MONUMENTED LAND SURVEY SHALL BE PREPARED BY A COLORADO PUBLIC LAND SURVEYOR TO ESTABLISH THE MAXIMUM AND AVERAGE BUILDING HEIGHT.
- 14) A MATERIALS BOARD IS REQUIRED TO BE CREATED FOR THE DRB FINAL APPROVAL PER THE REQUIREMENTS OUTLINED IN SECTION 17.5.6-J3 OF THE CDC. THE BOARD SHALL REMAIN ON THE SITE IN A READILY VISIBLE LOCATION UNTIL THE PROJECT RECEIVES A CERTIFICATE OF OCCUPANCY.
- 15) PRIOR TO CERTIFICATE OF OCCUPANCY THE APPLICANT WILL ENTER INTO A LICENSING AGREEMENT WITH THE TOWN FOR ANY APPROVED ENCROACHMENTS IN THE GE.
- 16) THE STRUCTURE SHALL REQUIRE A MONITORED NFPA 72 ALARM SYSTEM AND MONITORED NFPA 13D SPRINKLER SYSTEM.
- 17) A KNOX BOX FOR EMERGENCY ACCESS IS RECOMMENDED.
- 18) CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.
- 19) A MONUMENTED LAND SURVEY OF THE FOOTERS WILL BE PROVIDED PRIOR TO POURING CONCRETE TO DETERMINE THERE ARE NO ADDITIONAL ENCROACHMENTS INTO THE GE.
- 20) PRIOR TO THE BUILDING DIVISION CONDUCTING THE REQUIRED FRAMING INSPECTION, A FOUR FOOT (4') BY EIGHT-FOOT (8') MATERIALS BOARD WILL BE ERECTED ON SITE CONSISTENT WITH THE REVIEW AUTHORITY APPROVAL TO SHOW:
  - a. THE STONE, SETTING PATTERN AND ANY GROUTING WITH THE MINIMUM SIZE OF FOUR FEET (4') BY FOUR FEET (4');
  - b. WOOD THAT IS STAINED IN THE APPROVED COLOR(S);
  - c. ANY APPROVED METAL EXTERIOR MATERIAL;
  - d. ROOFING MATERIAL(S); AND
  - e. ANY OTHER APPROVED EXTERIOR MATERIALS
- 21) IT IS INCUMBENT UPON AN OWNER TO UNDERSTAND WHETHER ABOVE GRADE UTILITIES AND TOWN INFRASTRUCTURE (FIRE HYDRANTS, ELECTRIC UTILITY BOXES) WHETHER PLACED IN THE RIGHT OF WAY OR GENERAL EASEMENT, ARE PLACED IN AN AREA THAT MAY ENCUMBER ACCESS TO THEIR LOT. RELOCATION OF SUCH ABOVE GRADE INFRASTRUCTURE APPURTENANCES WILL OCCUR AT THE OWNER'S SOLE EXPENSE AND IN COORDINATION WITH THE APPROPRIATE ENTITY (FIRE DEPARTMENT, SMPA, TOWN OF MOUNTAIN VILLAGE) SO THAT THE RELOCATED POSITION IS SATISFACTORY.
- 22) AT FINAL REVIEW THE DRB RECOMMENDATIONS WILL BE CONSIDERED. PRIOR TO FINAL REVIEW THE UPPERMOST STONE BAR WILL BE PULLED BACK AND THE HEIGHT WILL BE REDUCED.

APPROVED JUNE 15TH 2023

SEE SHEET A2.05

SEE SHEETS A1.2 & A1.3

SEE SHEETS A1.1, A3.3 & A3.4

SEE SHEET C1.1

SEE SHEETS A2.01, A2.02 & A2.03

SEE A3 SHEET SERIES

SEE A9 SHEET SERIES

SEE SHEET C1.0

SEE SHEETS A1.2 & A1.3

SEE SHEET CM1.1

SEE SHEET A2.02

AGREE

PROVIDED

AGREE

AGREE - SEE SHEET A0.1

AGREE - SEE SHEET A0.1

AGREE - SEE SHEET A0.1

AGREE

AGREE

AGREE

SEE SHEET A2.04R, H-V & A3.1

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137  
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CONDITIONS

DRB





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**GEO.  
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**GEO.**





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137  
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RIDGE

SITE  
DIAGRAM

S|D





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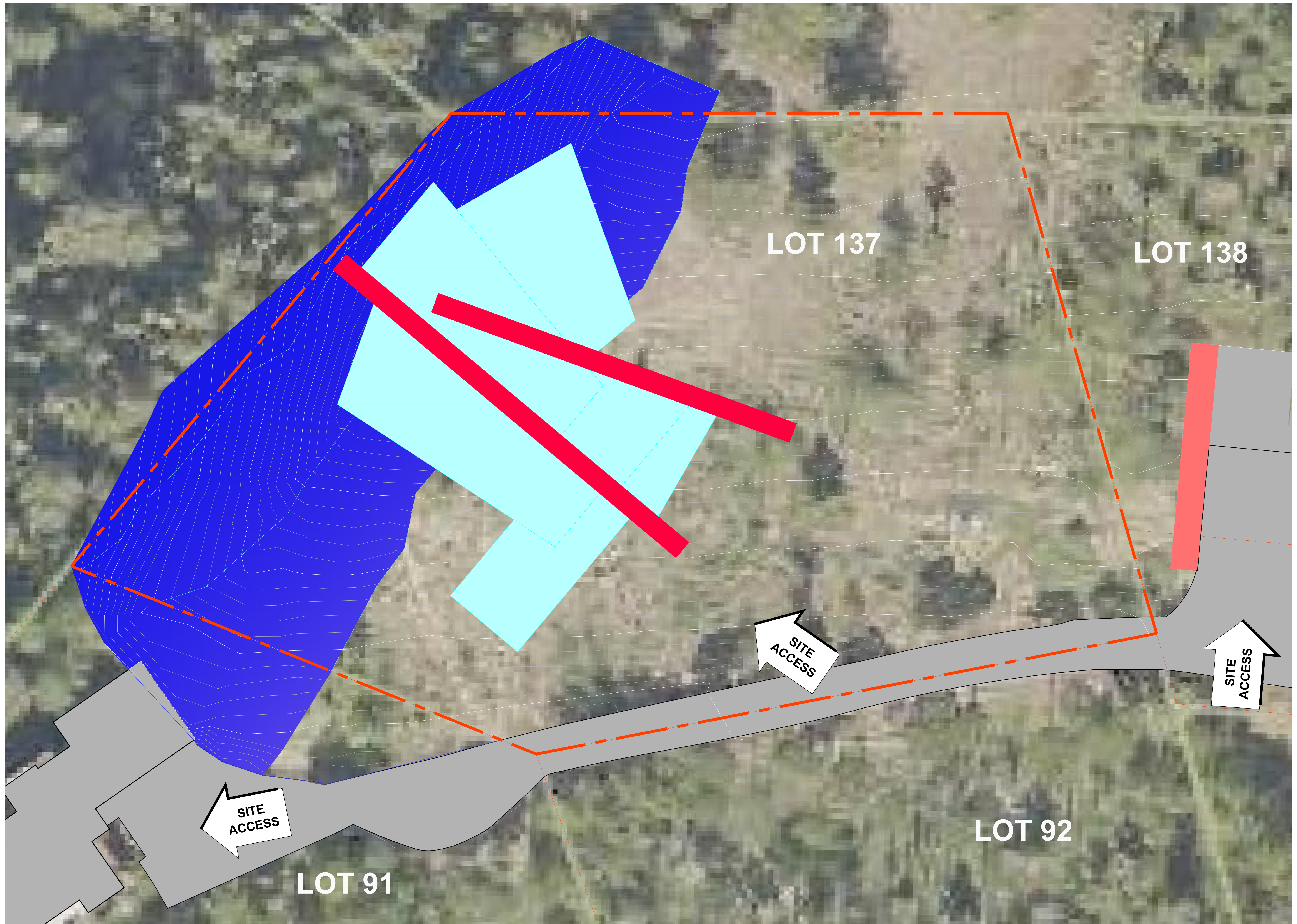
DRB  
BACKGROUNDS  
PLAN REFINEMENTS  
SECTIONS  
INT. SECTIONS  
DRB CONDITIONS

**137  
GRANITE  
RIDGE**

**SITE  
PARTI**

**S|P**





**NARCIS TUDOR ARCHITECTS†**

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submissions  
10.31.2022  
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05.19.2023  
05.25.2023  
06.19.2023

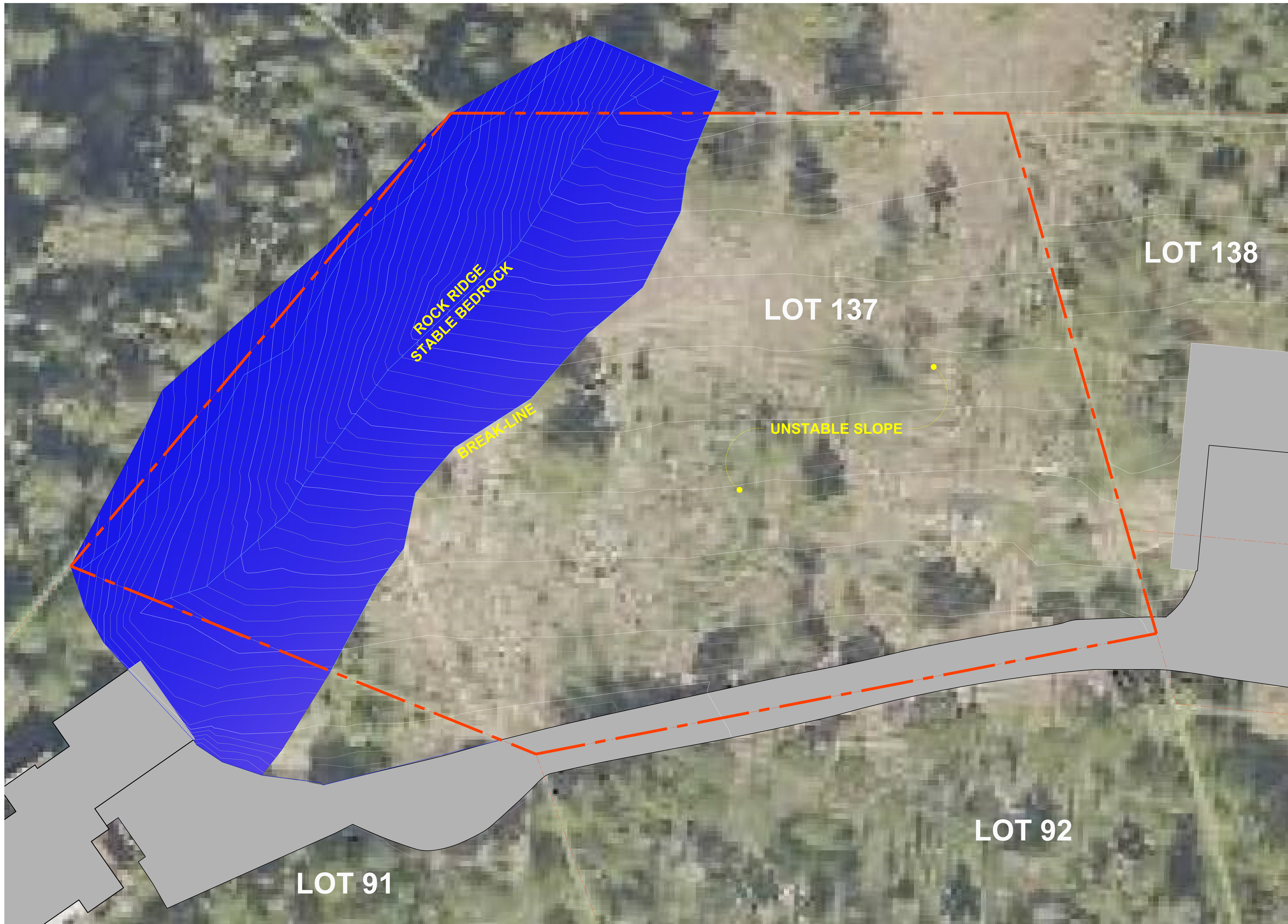
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BACKGROUNDS  
PLAN REFINEMENTS  
SECTIONS  
INT. SECTIONS  
DRB CONDITIONS

**137  
GRANITE  
RIDGE**

**FOUNDATION  
DIAGRAM**

**F|D**





**NARCIS TUDOR ARCHITECTS<sup>†</sup>**

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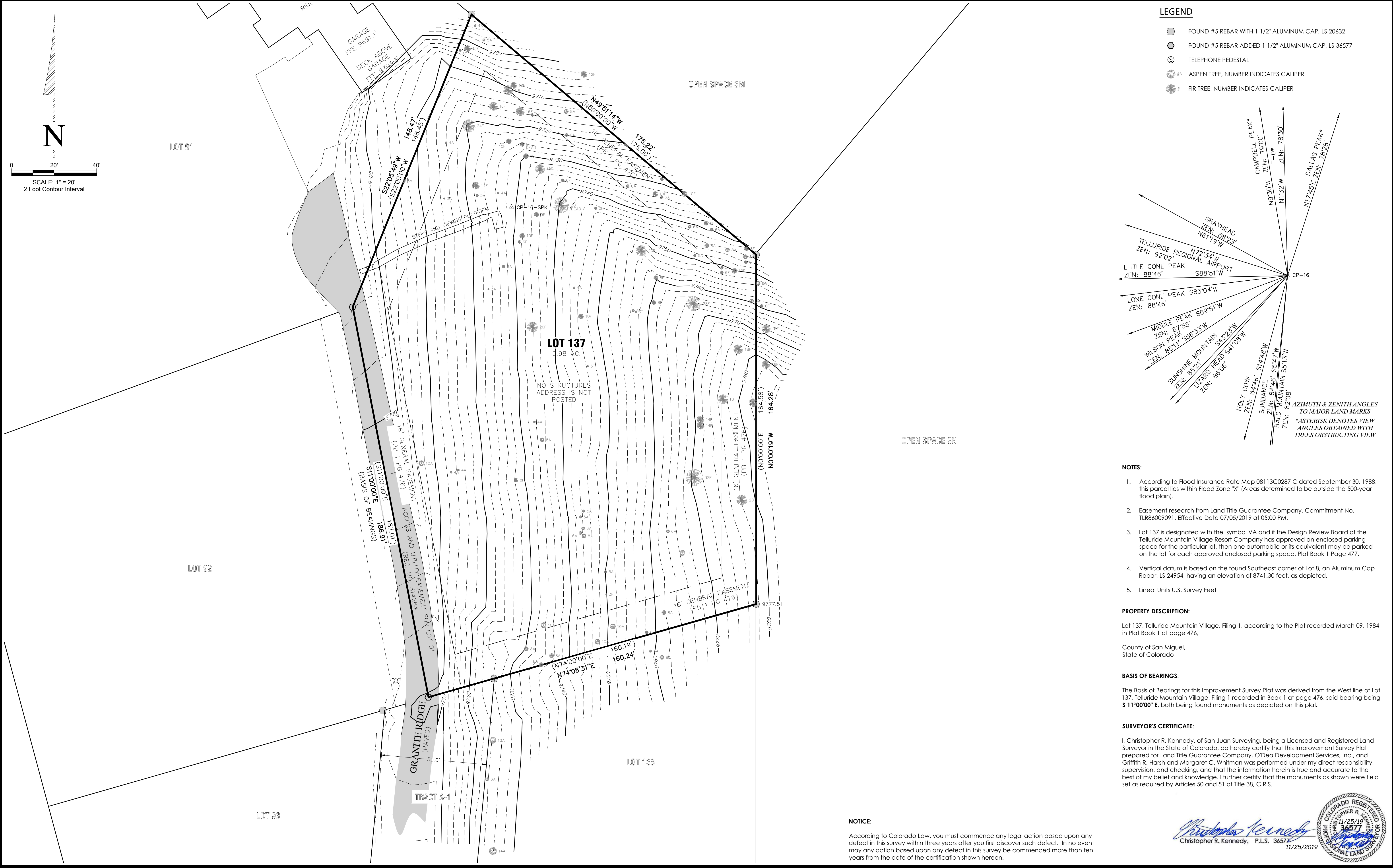
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 PLAN REFINEMENTS  
 SECTIONS  
 INT. SECTIONS  
 DRB CONDITIONS

**137  
 GRANITE  
 RIDGE**

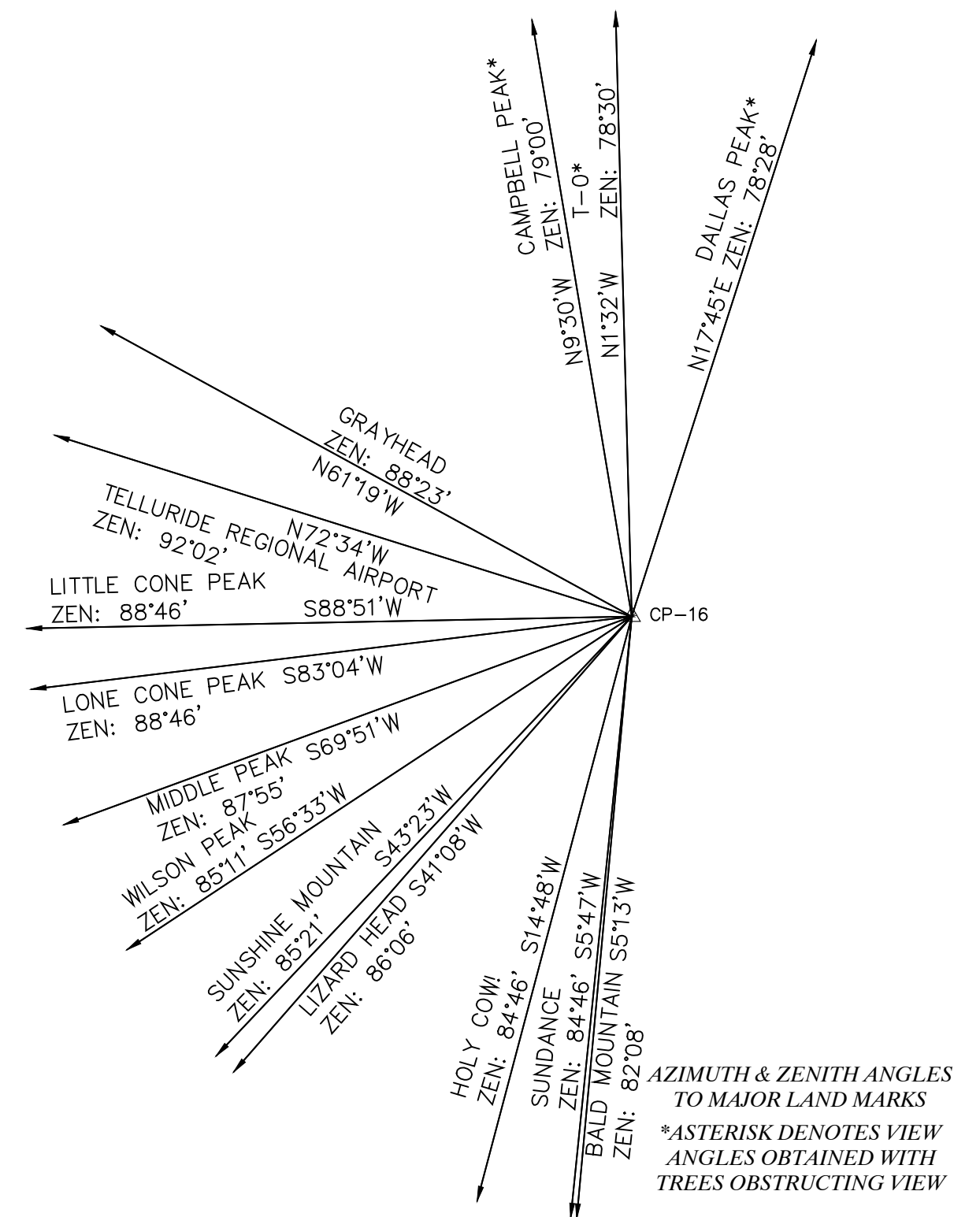
**GEOTECH  
 DIAGRAM**

**GEO|D**





- LEGEND**
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 20632
  - FOUND #5 REBAR ADDED 1 1/2" ALUMINUM CAP, LS 36577
  - TELEPHONE PEDESTAL
  - ASPEN TREE, NUMBER INDICATES CALIPER
  - FIR TREE, NUMBER INDICATES CALIPER



- NOTES:**
1. According to Flood Insurance Rate Map 08113C0287 C dated September 30, 1988, this parcel lies within Flood Zone "X" (Areas determined to be outside the 500-year flood plain).
  2. Easement research from Land Title Guarantee Company, Commitment No. TLR86009091, Effective Date 07/05/2019 at 05:00 PM.
  3. Lot 137 is designated with the symbol VA and if the Design Review Board of the Telluride Mountain Village Resort Company has approved an enclosed parking space for the particular lot, then one automobile or its equivalent may be parked on the lot for each approved enclosed parking space. Plat Book 1 Page 477.
  4. Vertical datum is based on the found Southeast corner of Lot 8, an Aluminum Cap Rebar, LS 24954, having an elevation of 8741.30 feet, as depicted.
  5. Lineal Units U.S. Survey Feet

**PROPERTY DESCRIPTION:**  
 Lot 137, Telluride Mountain Village, Filing 1, according to the Plat recorded March 09, 1984 in Plat Book 1 at page 476.  
 County of San Miguel,  
 State of Colorado

**BASIS OF BEARINGS:**  
 The Basis of Bearings for this Improvement Survey Plat was derived from the West line of Lot 137, Telluride Mountain Village, Filing 1 recorded in Book 1 at page 476, said bearing being **S 11°00'00" E**, both being found monuments as depicted on this plat.

**SURVEYOR'S CERTIFICATE:**  
 I, Christopher R. Kennedy, of San Juan Surveying, being a Licensed and Registered Land Surveyor in the State of Colorado, do hereby certify that this Improvement Survey Plat prepared for Land Title Guarantee Company, O'Dea Development Services, Inc., and Griffith R. Harsh and Margaret C. Whitman was performed under my direct responsibility, supervision, and checking, and that the information herein is true and accurate to the best of my belief and knowledge. I further certify that the monuments as shown were field set as required by Articles 50 and 51 of Title 38, C.R.S.

*Christopher R. Kennedy*  
 Christopher R. Kennedy, P.L.S. 36577  
 11/25/2019



**NOTICE:**  
 According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

# IMPROVEMENT SURVEY PLAT

## LOT 137, TELLURIDE MOUNTAIN VILLAGE, FILING NO. 1

	<b>SAN JUAN SURVEYING</b>	DATE: 11/20/2019
	SURVEYING * PLANNING	JOB: 97094
	102 SOCIETY DRIVE TELLURIDE, CO. 81435	DRAWN BY: ESS
	(970) 728-1128 (970) 728-9201 fax	CHECKED BY: CRK
	office@sanjuansurveying.net	REVISION DATES:
	SHEET: 1 OF 1	

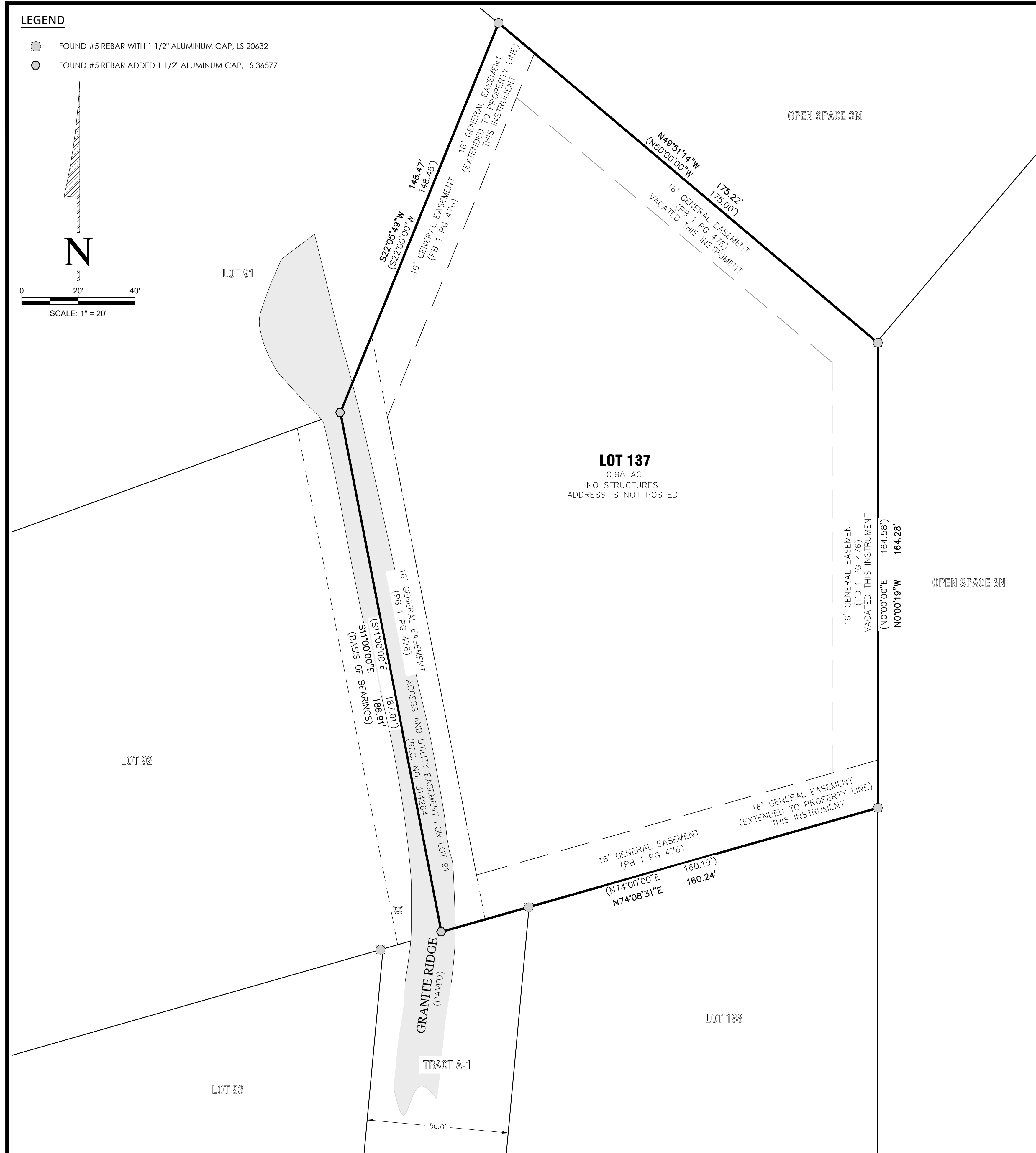
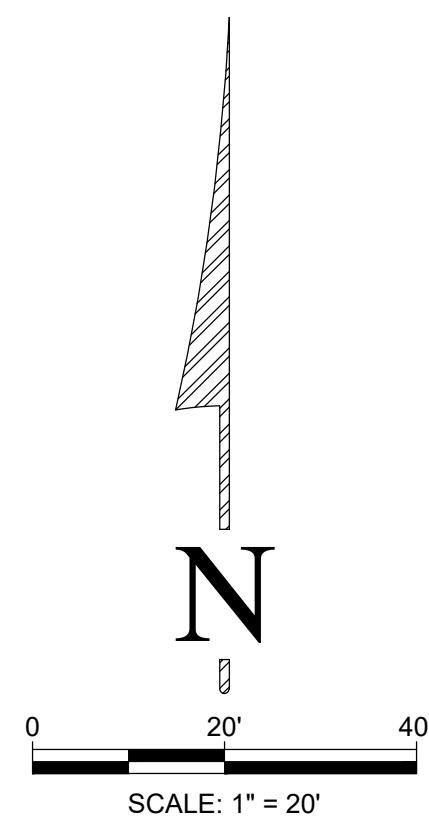






**LEGEND**

- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 20632
- FOUND #5 REBAR ADDED 1 1/2" ALUMINUM CAP, LS 36577



**CERTIFICATE OF OWNERSHIP AND DEDICATION:**

Know all persons by these presents:  
 THAT Epic Ridge Properties, LLC, a Colorado Limited Liability Company, being the owner of the land describes as follows:  
 Lot 137, Telluride Mountain Village, Filing 1, according to the Plat recorded March 09, 1984 in Plat Book 1 at page 476.  
 County of San Miguel,  
 State of Colorado  
 has laid out, platted and subdivided same as shown on this plat, and by these presents does hereby dedicate to the perpetual use of Town of Mountain Village, the streets, alleys, road and other public areas as shown hereon and hereby dedicate those portions of land labeled as utility easements for the installation and maintenance of public utilities as shown hereon, if any.  
 In witness hereof the said owner has caused its name to be here unto subscribed  
 this \_\_\_\_\_ day of \_\_\_\_\_, 2023.  
 By: \_\_\_\_\_  
 Name and Title Epic Ridge Properties, LLC, a Colorado Limited Liability Company

**ACKNOWLEDGMENT OF OWNER:**

STATE OF COLORADO }  
 COUNTY OF SAN MIGUEL } SS  
 Subscribed to and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 2023 by \_\_\_\_\_  
 \_\_\_\_\_, Epic Ridge Properties, LLC, a Colorado Limited Liability Company  
 Witness my hand and official seal.  
 \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
 Notary Public

**TITLE INSURANCE CERTIFICATE:**

Land Title Guarantee Company, a Colorado licensed Title Company, does hereby certify that we have examined the title to the lands herein shown on the Replat and that the title to this land is in the name of Epic Ridge Properties, LLC, a Colorado Limited Liability Company and is free and clear of all liens, and taxes except as follows: ad valorem taxes.  
 \_\_\_\_\_  
 Title Insurance Company Representative

**COUNTY TREASURER'S CERTIFICATE:**

I certify that according to the records in the San Miguel County Treasurer's office, there are no liens against the property included in this subdivision, or any part thereof, for unpaid State, county of municipal ad valorem taxes or special assessments certified to the County Treasurer for collection.  
 \_\_\_\_\_  
 County Treasurer Date

**TOWN OF MOUNTAIN VILLAGE CERTIFICATE:**

I, Amy Ward, as Community Development Director for the Town of Mountain Village, Colorado, do hereby certify that this Map has been approved by the Town of Mountain Village and we are authorized to execute this document.  
 \_\_\_\_\_  
 Amy Ward Date

**NOTICE:**

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

**NOTES:**

1. According to Flood Insurance Rate Map 08113C0287 C dated September 30, 1988, this parcel lies within Flood Zone "X" (Areas determined to be outside the 500-year flood plain).
2. Easement research from Land Title Guarantee Company, Commitment No. TLR86009091, Effective Date 07/05/2019 at 05:00 PM.
3. Lot 137 is designated with the symbol VA and if the Design Review Board of the Telluride Mountain Village Resort Company has approved an enclosed parking space for the particular lot, then one automobile or its equivalent may be parked on the lot for each approved enclosed parking space. Plat Book 1 Page 477.
4. Lineal Units U.S. Survey Feet

**PROPERTY DESCRIPTION:**

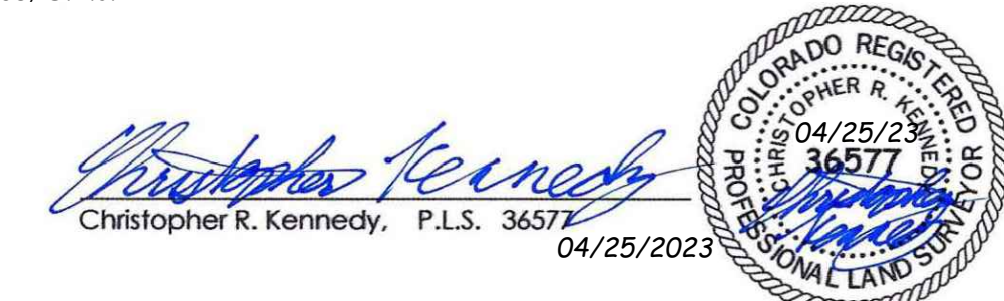
Lot 137, Telluride Mountain Village, Filing 1, according to the Plat recorded March 09, 1984 in Plat Book 1 at page 476.  
 County of San Miguel,  
 State of Colorado

**BASIS OF BEARINGS:**

The Basis of Bearings for this Replat was derived from the West line of Lot 137, Telluride Mountain Village, Filing 1 recorded in Book 1 at page 476, said bearing being **S 11°00'00" E**, both being found monuments as depicted on this plat.

**SURVEYOR'S CERTIFICATE:**

I, Christopher R. Kennedy, of San Juan Surveying, being a Licensed and Registered Land Surveyor in the State of Colorado, do hereby certify that this Replat prepared for Land Title Guarantee Company, and Epic Ridge Properties, LLC, a Colorado Limited Liability Company was performed under my direct responsibility, supervision, and checking, and that the information herein is true and accurate to the best of my belief and knowledge. I further certify that the monuments as shown were field set as required by Articles 50 and 51 of Title 38, C.R.S.

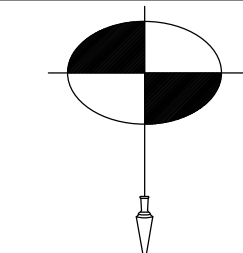


**SAN MIGUEL COUNTY RECORDER'S CERTIFICATE:**

This Plat was accepted for filing in the office of Clerk and Recorder of San Miguel County, Colorado on this \_\_\_\_\_ day of \_\_\_\_\_, 2023.  
 Reception No. \_\_\_\_\_  
 Time \_\_\_\_\_  
 \_\_\_\_\_  
 San Miguel County Clerk

**REPLAT FOR  
 LOT 137, TELLURIDE MOUNTAIN VILLAGE, FILING NO. 1**

LOCATED WITHIN THE SE 1/4 OF  
 SEC. 34, T43N, R9W, N.M.P.M.  
 COUNTY OF SAN MIGUEL  
 STATE OF COLORADO



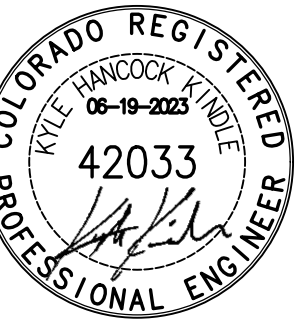
**SAN JUAN SURVEYING**  
 SURVEYING \* PLANNING  
 102 SOCIETY DRIVE TELLURIDE, CO. 81435  
 (970) 728 - 1128 (970) 728 - 9201 fax  
 office@sanjuansurveying.net

DATE:	04/25/2023
JOB:	97094
DRAWN BY:	CRK
CHECKED BY:	CRK
REVISION DATES:	
SHEET:	1 OF 1









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**LOT 137**  
**TELLURIDE MOUNTAIN VILLAGE**  
TELLURIDE, CO

Issue Record:  
PERMIT 06-13-2023

Revisions:

Project Number: 22-192

Drawn By: KHK

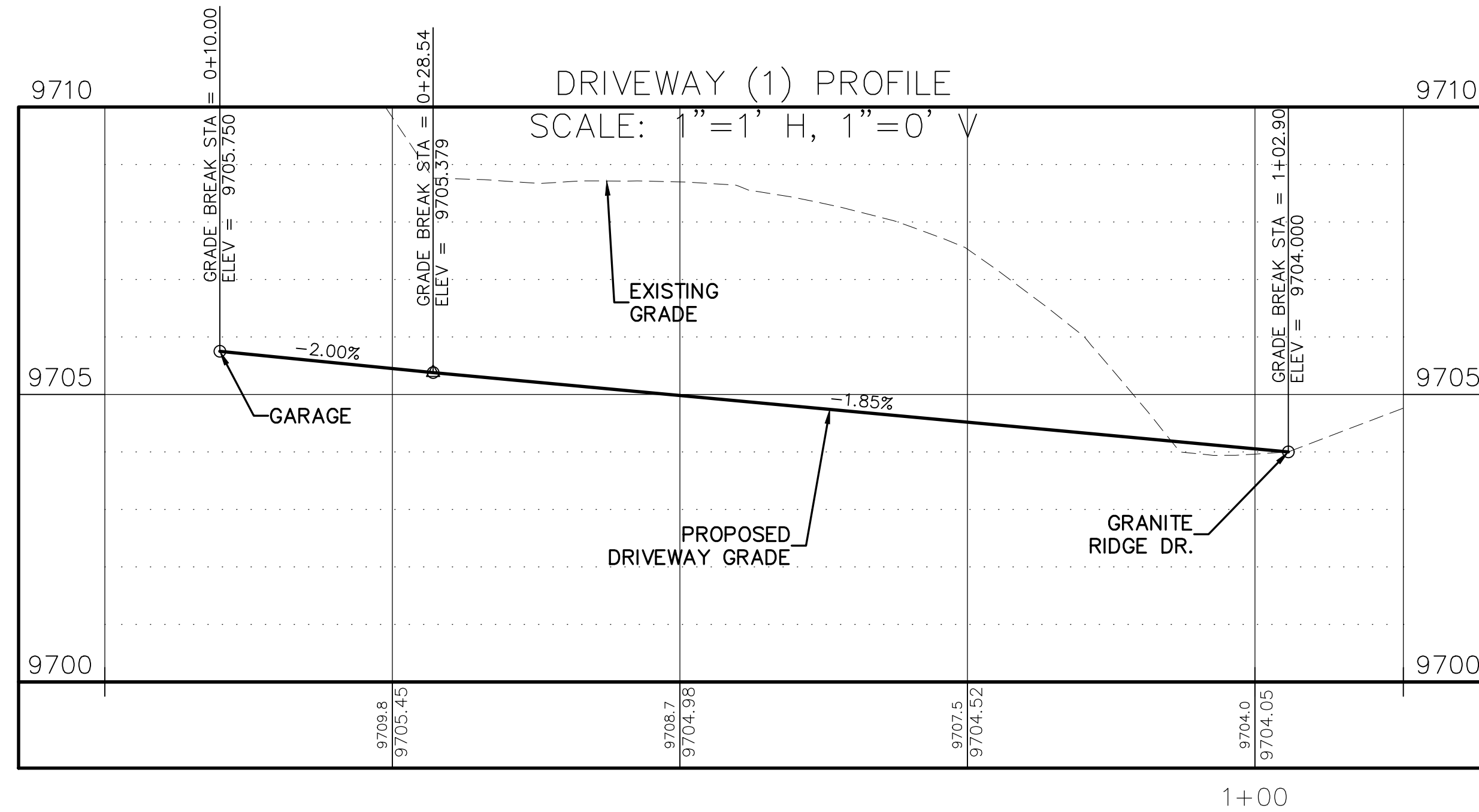
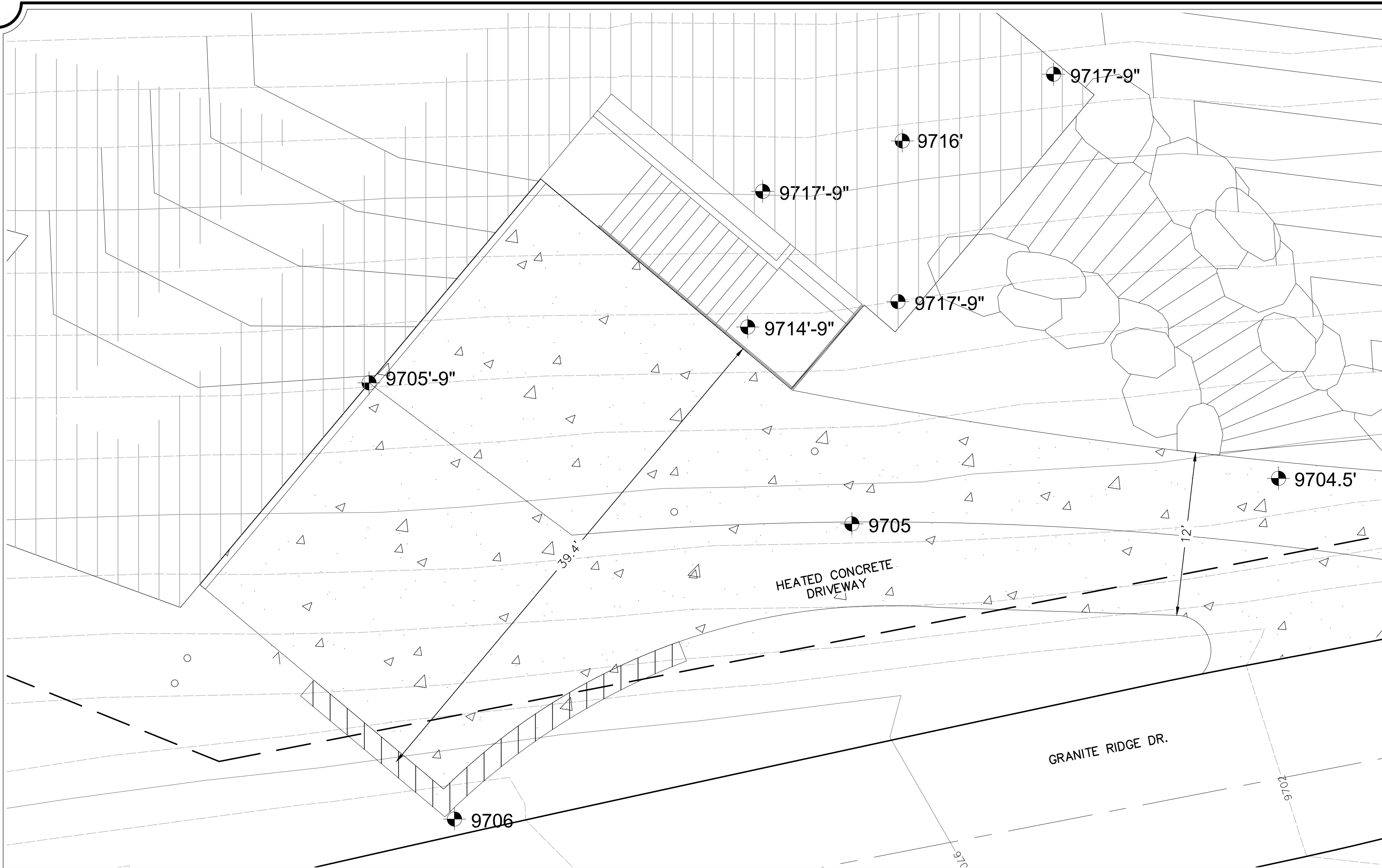
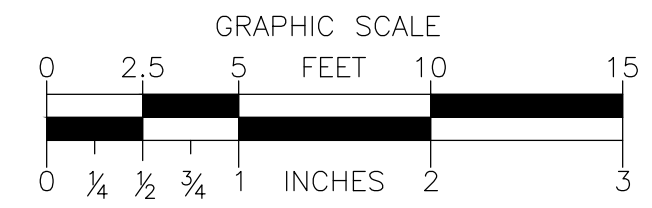
Designed by:

Checked By:

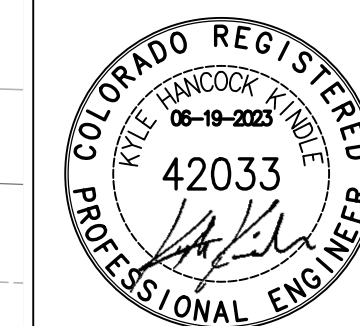
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**C1.1**

**DRIVEWAY PLAN  
AND PROFILE**







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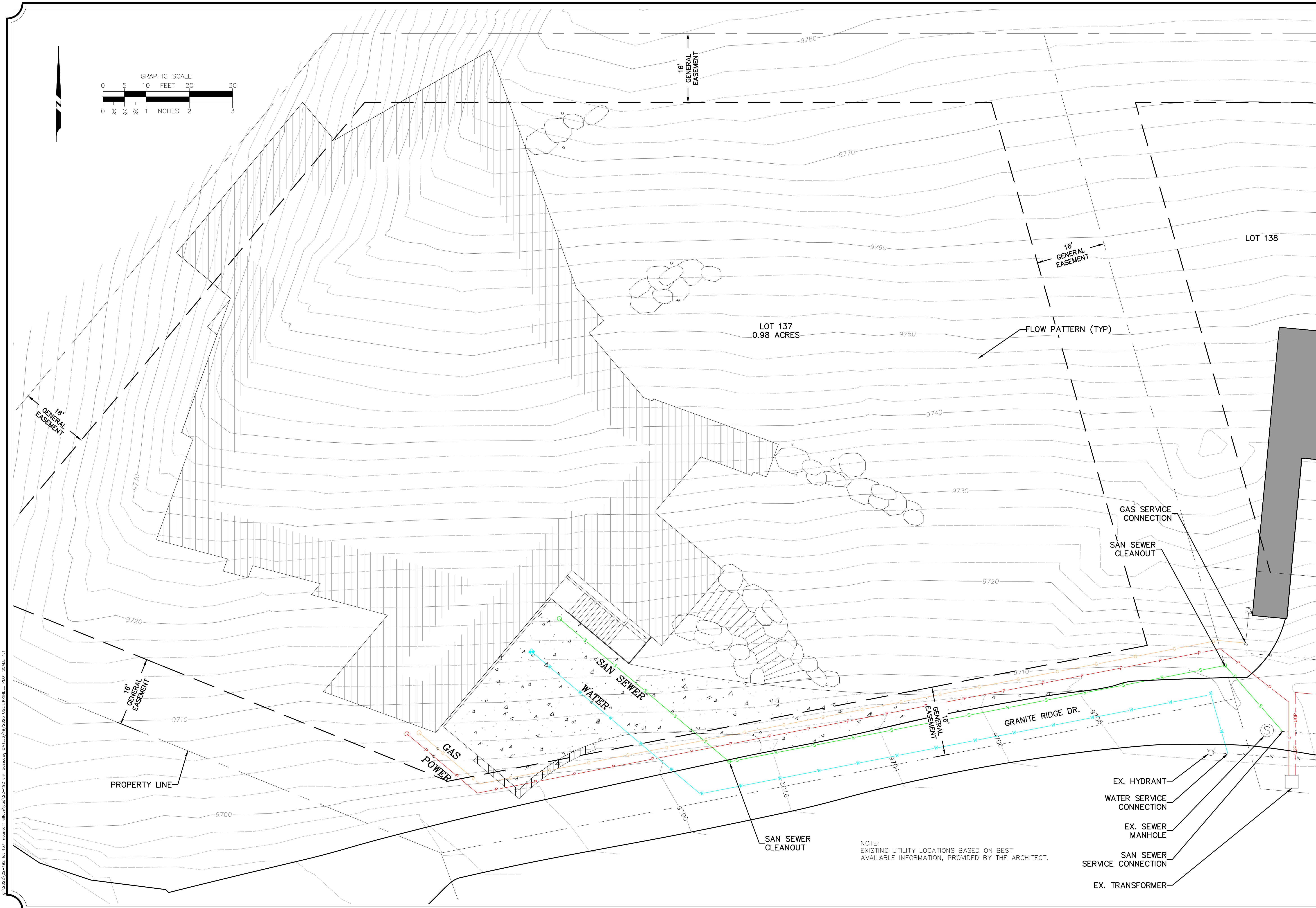
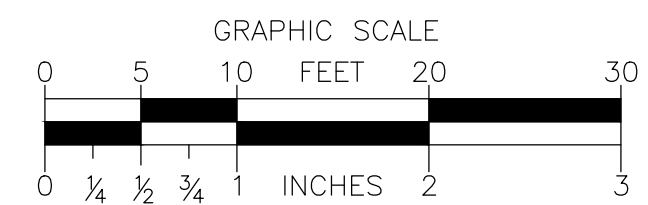
**LOT 137**  
TELLURIDE MOUNTAIN VILLAGE  
TELLURIDE, CO

Issue Record:  
PERMIT 06-13-2023

Revisions:

Project Number: 22-192  
Drawn By: KHK  
Designed by:  
Checked By:

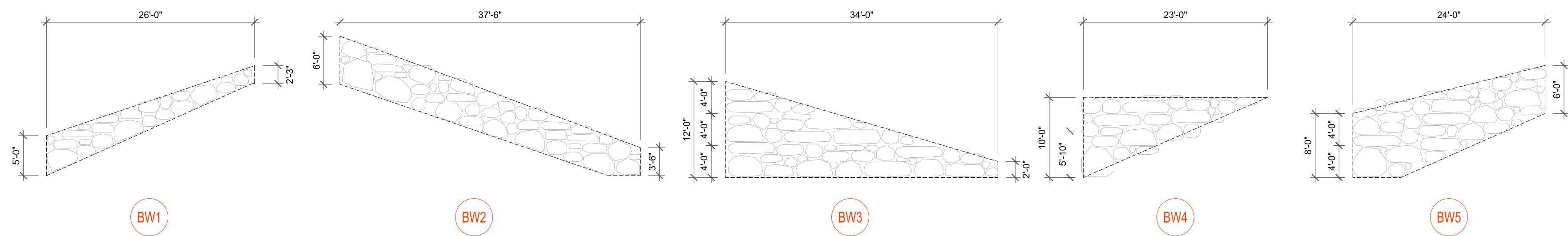
Sheet  
**C1.2**  
UTILITY PLAN



NOTE:  
EXISTING UTILITY LOCATIONS BASED ON BEST AVAILABLE INFORMATION, PROVIDED BY THE ARCHITECT.

P:\2022\22-192 Lot 137 Mountain Village\Lot 137.mxd DATE: 6/13/2023 USER: KNDLE PLOT SCALE=1:1

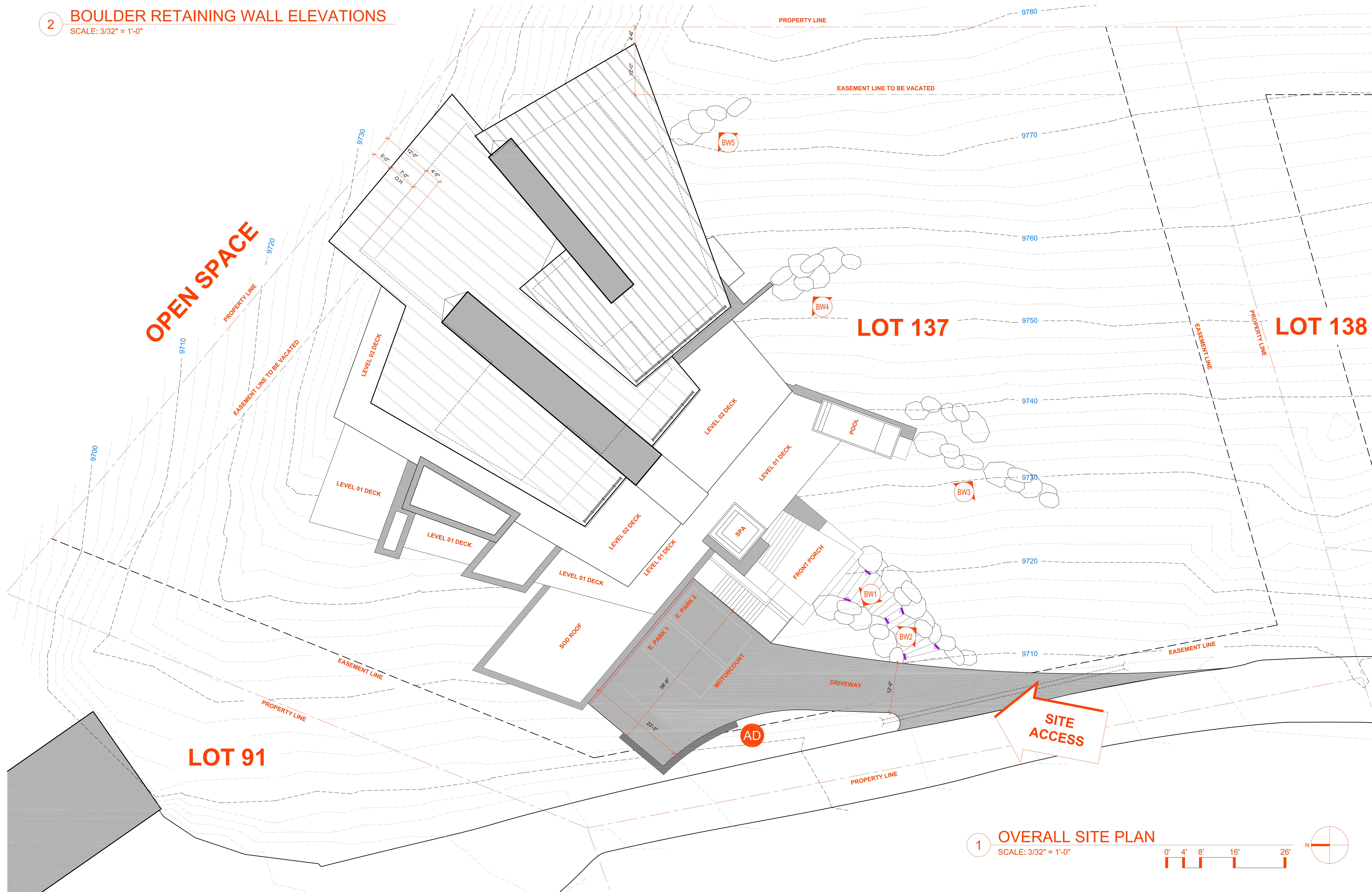




**SITE PLAN NOTES**

REFER TO CIVIL DRAWINGS FOR GRADING | DRAINAGE INFORMATION  
 REFER TO LIGHTING PLANS FOR EXTERIOR SITE LIGHTING FIXTURE INFORMATION  
 REFER TO LANDSCAPE PLAN FOR ADDITIONAL INFORMATION

**2 BOULDER RETAINING WALL ELEVATIONS**  
 SCALE: 3/32" = 1'-0"



**1 OVERALL SITE PLAN**  
 SCALE: 3/32" = 1'-0"



submissions	DRB
10.31.2022	BACKGROUNDS
04.01.2023	PLAN REFINEMENTS
05.02.2023	SECTIONS
05.19.2023	INT. SECTIONS
05.25.2023	DRB CONDITIONS
06.19.2023	



## LANDSCAPE NOTES

ALL TREES AND SHRUBS SHALL BE FIELD LOCATED BY PROJECT ARCHITECT.  
 ALL TREES AND SHRUBS SHALL BE BACK FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.  
 NECESSARY TREES SHALL BE STAKED WITH 4 FOOT METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRAPS.  
 PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.  
 SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.  
 MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS; SHREDDED CEDAR BARK.  
 ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.  
 ALL PLANTED MATERIALS SHALL BE A NON-NOXIOUS SPECIES AS SPECIFIED WITHIN THE SAN MIGUEL COUNTY NOXIOUS WEED LIST.

PER ACOE REQUIREMENTS, THERE WILL BE A 2:1 REPLANTING OF BIOMASS ASSOCIATED WITH THE BIOMASS THAT IS BEING REMOVED ON THE DEVELOPABLE PORTION OF THE PROPERTY.  
 THE FINAL LANDSCAPING WILL REFLECT THE ACOE REQUIREMENTS ON THIS PROPERTY AS PART OF THE ACOE PERMIT

AFTER FINISH GRADING IS COMPLETE - A FINAL LANDSCAPE PLAN WILL BE REQUIRED  
 ALL GROUND COVER TO HAVE DRIP IRRIGATION. IRRIGATION SYSTEM WILL BE BASED ON FINAL APPROVED PLANS.

## REVEGETATION NOTES

SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.  
 TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REVEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.  
 BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN TEN DAYS) TO MINIMIZE EROSION AND WEEDS.  
 AREAS WHICH HAVE BEEN COMPACTED, OR ARE RELATIVELY UNDISTURBED, NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.  
 BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY AND 2 TONS PER ACRE FOR STRAW, CRIMP IN.  
 ON SLOPES GREATER THAT 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.  
 ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.  
 SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 POUNDS PER ACRE.

## FIRE MITIGATION NOTES

A STAND-PIPE SYSTEM IS PROPOSED FOR THE NORTH AND NORTHEAST PORTION OF THE OVERHANGING BUILDING ELEMENTS TO PROVIDE THE FIRE MITIGATION WHERE THE SITE TOPOGRAPHY PROVES CHALLENGING.

THIS PROJECT WILL WORK WITH TELSKI TO GAIN PERMISSION TO PERFORM ZONE 2 DEFENSIVE SPACE FUEL REDUCTIONS AND MODIFICATIONS TO THE FOREST TO A DISTANCE OF 150 FEET FROM THE HOME ALONG THE NORTHEAST PROPERTY BOUNDARY.  
 THE DESIGN OF THE HOME HAS MANY OVERHANGS AND THE DESIGN OF THE HOME'S OVERHANGS, DECKS AND SOFFITS IS COMPOSED OF NON-FLAMMABLE MATERIAL. THE DECKS (ESPECIALLY THE UNDERSIDES) ARE CONSTRUCTED FROM FIRE RESISTANT | NON-COMBUSTIBLE MATERIAL AND THE ROOF IS ALSO CONSTRUCTED FROM A NON-COMBUSTIBLE MATERIAL.

THE DESIGN OF THIS HOME HAS EXTERIOR WALLS COMPOSED OF TEMPERED GLASS WHERE REQUIRED BY CODE.

ALL PROPOSED PLANTS ARE BASED ON THE FIREWISE PLANT LIST

## LANDSCAPE | HARDSCAPE IMAGES



BOULDER WALL

STONE STEPS

WASATCH MAPLE

ASPEN TREES

COMMON LILAC

LAVENDER

SNOW IN SUMMER

TATARIAN HONEYSUCKLE

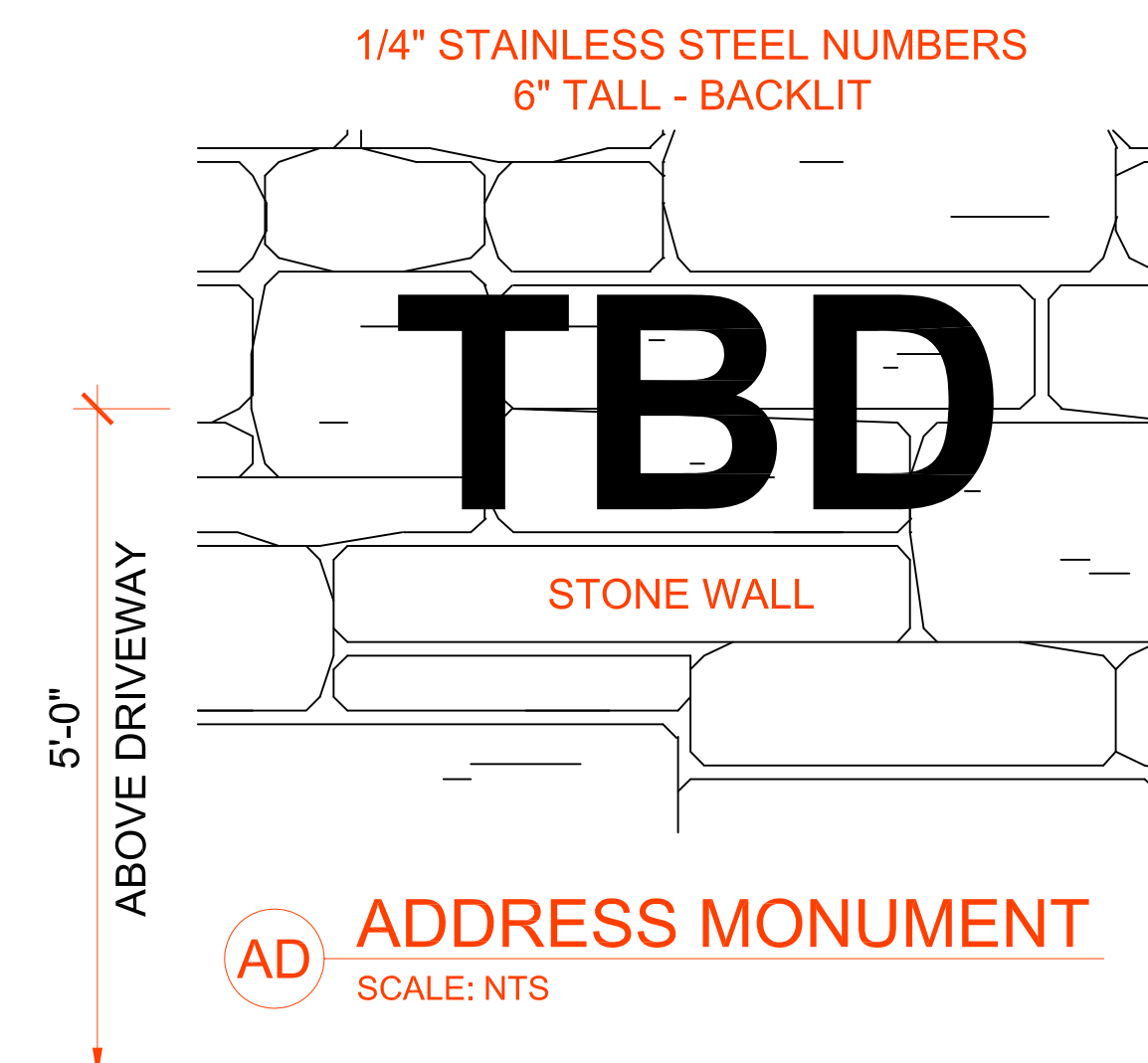
ALPINE GRASSES

## LANDSCAPE KEY

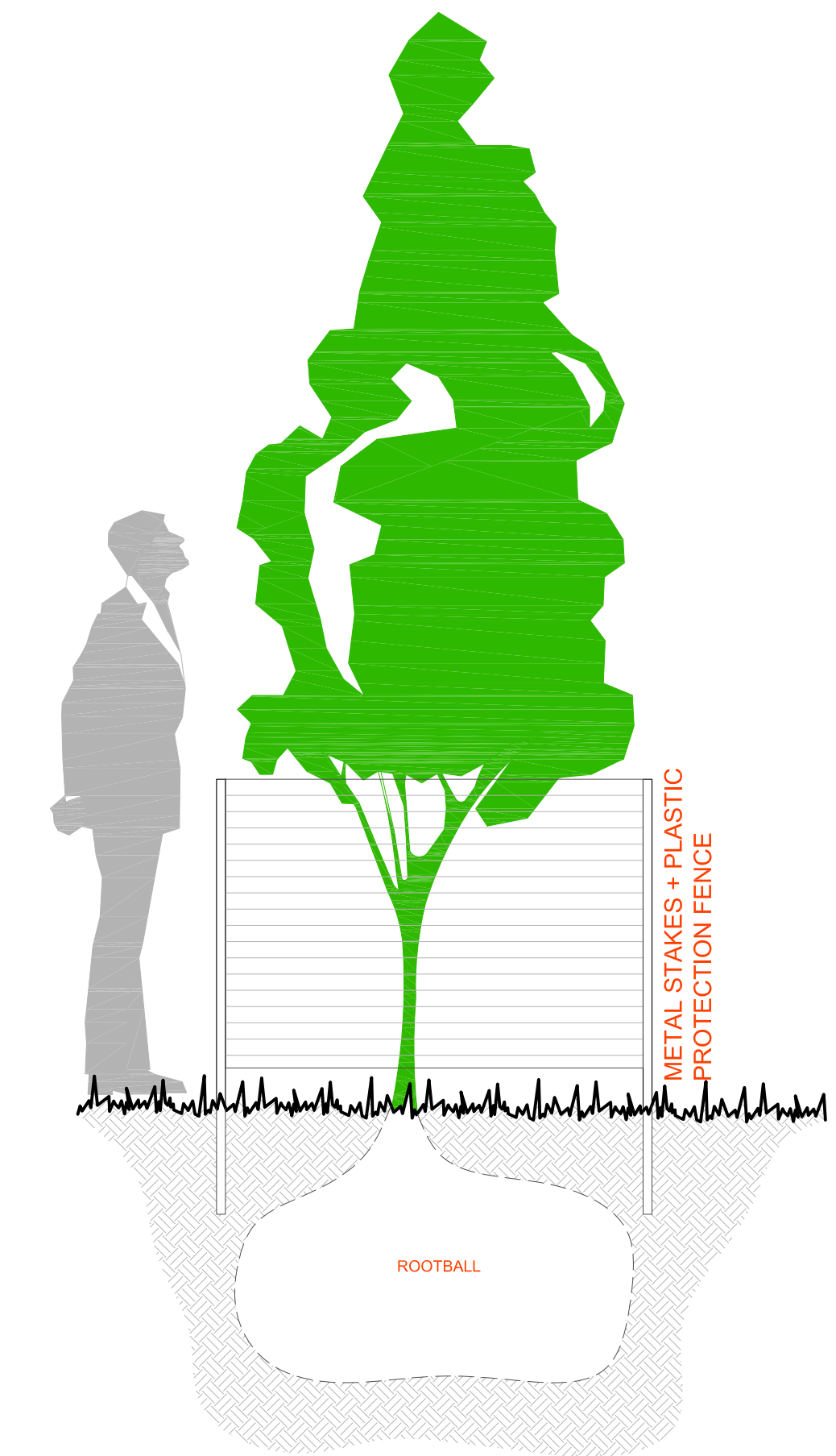
SYMBOL	NAME C+S	QTY.	WATER NEEDS	SUN   SHADE PREF.	APPROX. MATURE HT.	ELEVATION	APPROX. BLOOM MO.
	- WASATCH MAPLE (ACER GRANDIDENTATUM)	8	M	S PS	10' - 20'	5,000' - 9,000'	N A
	- ASPEN TREES (POPULUS TREMULOIDES)	45	M	S	8' - 25'	5,000' - 9,000'	N A
	- COMMON LILAC (SYRINGA VULGARIS)	13	M	S	6' - 8'	5,000' - 9,000'	MAY
	- TATARIAN HONEYSUCKLE (LONICERA TATARICA)	14	M	S PS	4' - 6'	5,000' - 9,000'	MAY - JUNE
	- JACOB'S LADDER	34	H	S PS	1' - 2'	5,000' - 9,000'	MAY - AUGUST
	- LAVENDER	22	L-M	S	1' - 2'	5,000' - 9,000'	JUNE - NOV.
	- SNOW IN SUMMER	38	L-M	S PS	1'	5,000' - 9,000'	MAY - JUNE
	- ALPINE GRASSES	PER PLAN					

## LANDSCAPE KEY - EXISTING CONDITIONS

SYMBOL	NAME C+S	QTY.
	EXISTING TREE TO BE REMOVED	38
	EXISTING EVERGREEN TO REMAIN	28
	EXISTING ASPEN TO REMAIN	28



AD ADDRESS MONUMENT  
SCALE: NTS



TP TREE PROTECTION DETAIL  
SCALE: NTS

submissions  
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137  
 GRANITE  
 RIDGE

LANDSCAPE  
 HARDSCAPE  
 NOTES | DETAILS

A1.2

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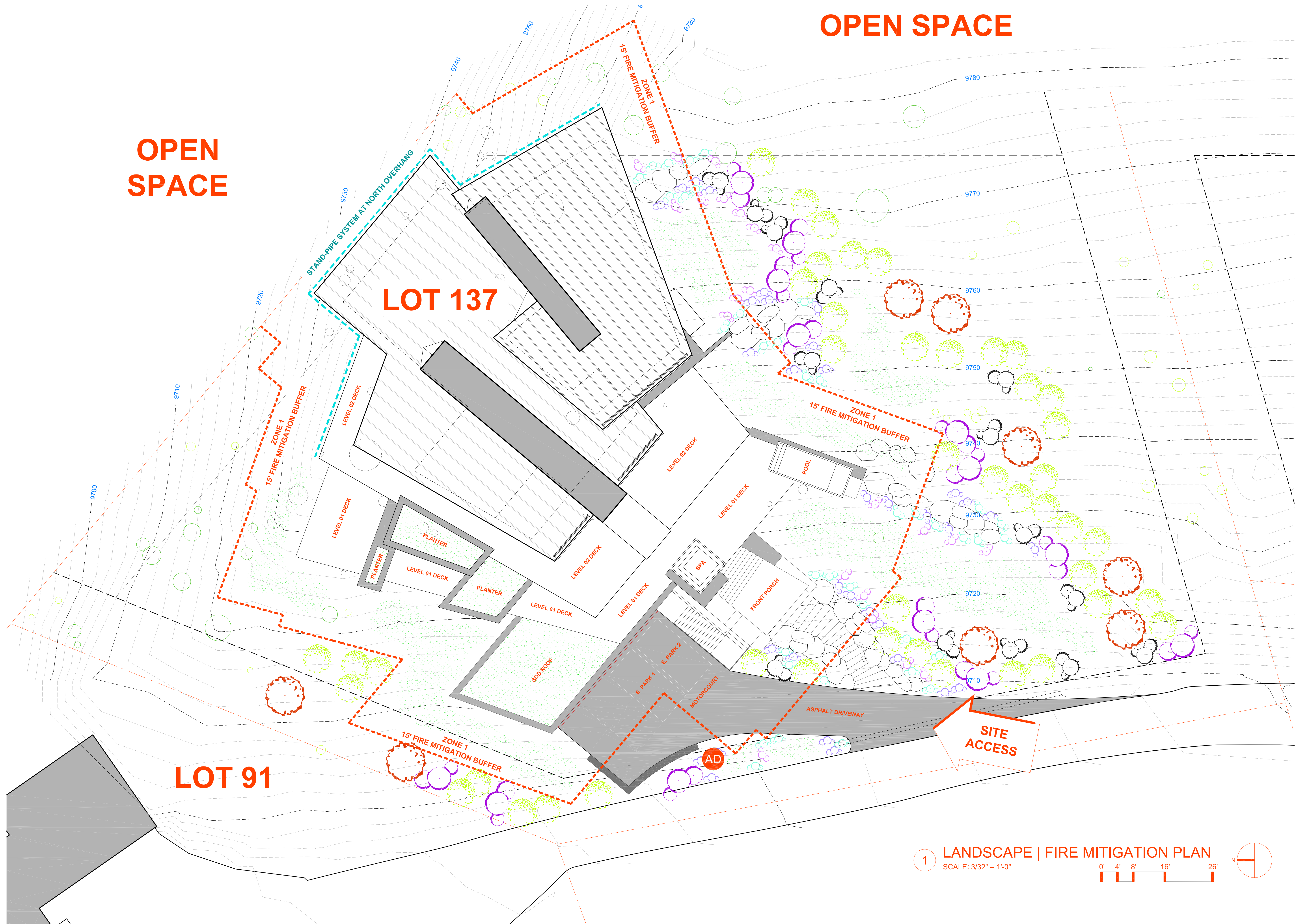


OPEN SPACE

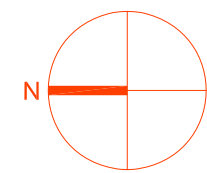
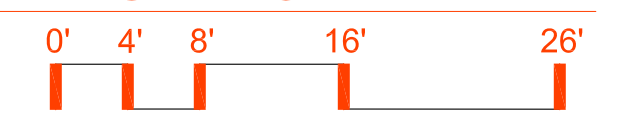
OPEN SPACE

LOT 137

LOT 91



1 LANDSCAPE | FIRE MITIGATION PLAN  
 SCALE: 3/32" = 1'-0"



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137  
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LANDSCAPE  
 FIM  
 PLAN

A1.3



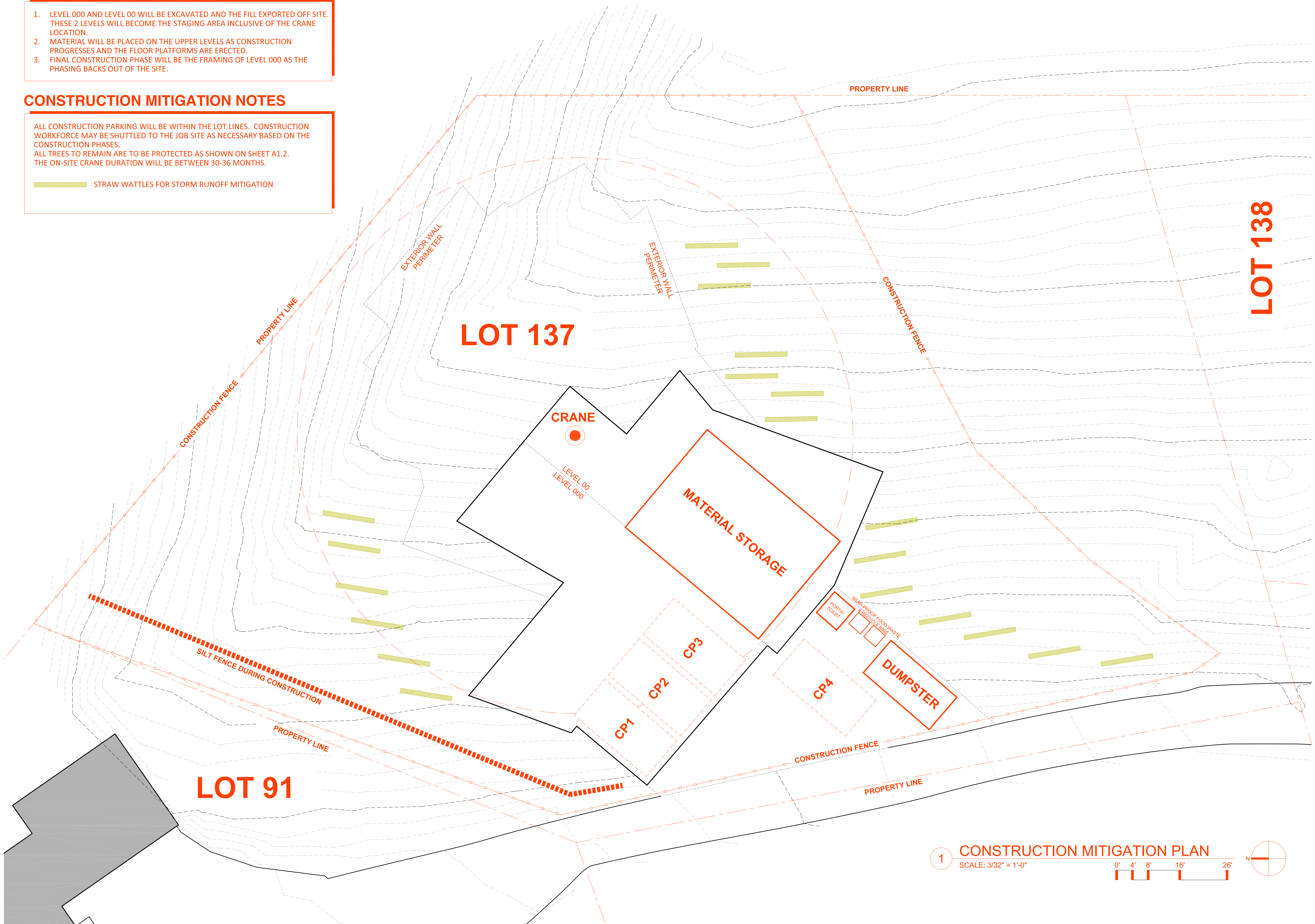
## CONSTRUCTION PHASING

1. LEVEL 000 AND LEVEL 00 WILL BE EXCAVATED AND THE FILL EXPORTED OFF SITE. THESE 2 LEVELS WILL BECOME THE STAGING AREA INCLUSIVE OF THE CRANE LOCATION.
2. MATERIAL WILL BE PLACED ON THE UPPER LEVELS AS CONSTRUCTION PROGRESSES AND THE FLOOR PLATFORMS ARE ERECTED.
3. FINAL CONSTRUCTION PHASE WILL BE THE FRAMING OF LEVEL 000 AS THE PHASING BACKS OUT OF THE SITE.

## CONSTRUCTION MITIGATION NOTES

ALL CONSTRUCTION PARKING WILL BE WITHIN THE LOT LINES. CONSTRUCTION WORKFORCE MAY BE SHUTTLED TO THE JOB SITE AS NECESSARY BASED ON THE CONSTRUCTION PHASES.  
ALL TREES TO REMAIN ARE TO BE PROTECTED AS SHOWN ON SHEET A1.2. THE ON-SITE CRANE DURATION WILL BE BETWEEN 30-36 MONTHS.

 STRAW WATTLES FOR STORM RUNOFF MITIGATION



**1 CONSTRUCTION MITIGATION PLAN**  
SCALE: 3/32" = 1'-0"  
0' 4' 8' 16' 26' N

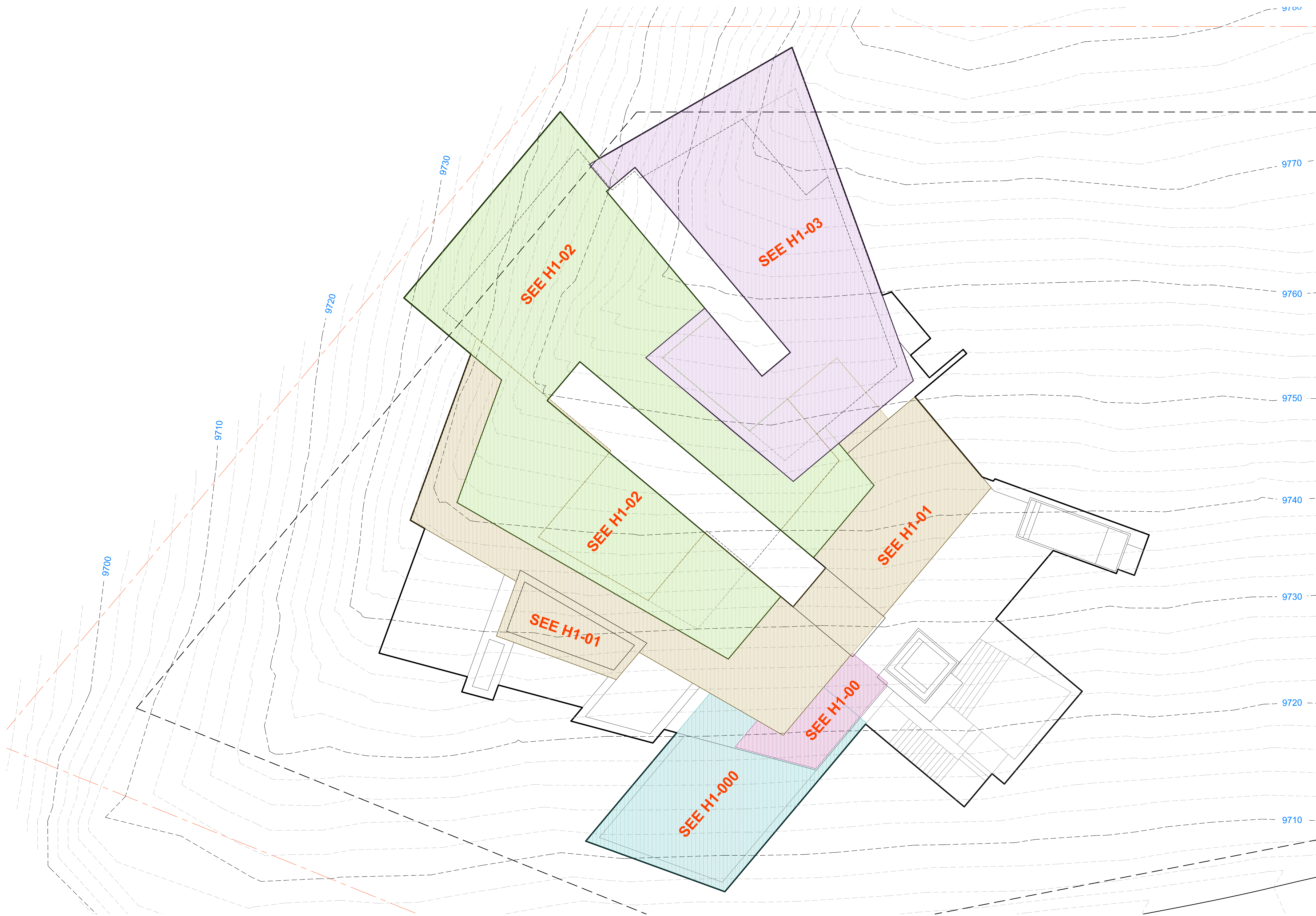
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# 137 GRANITE RIDGE

## CONSTRUC. MITIGATION PLAN

# CM1.1





1 OVERALL ROOF PLAN KEY DIAGRAM  
SCALE: 1/8" = 1'-0"

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DRB  
BACKGROUNDS  
PLAN REFINEMENTS  
SECTIONS  
INT. SECTIONS  
DRB CONDITIONS

137  
GRANITE  
RIDGE

ROOF HT.  
KEY  
DIAGRAM

H1



BUILDING HEIGHTS ARE MEASURED FOR EACH LEVEL ON PROJECTIONS OF 10' OR MORE BASED ON THE CDC SECTION 17.3.11

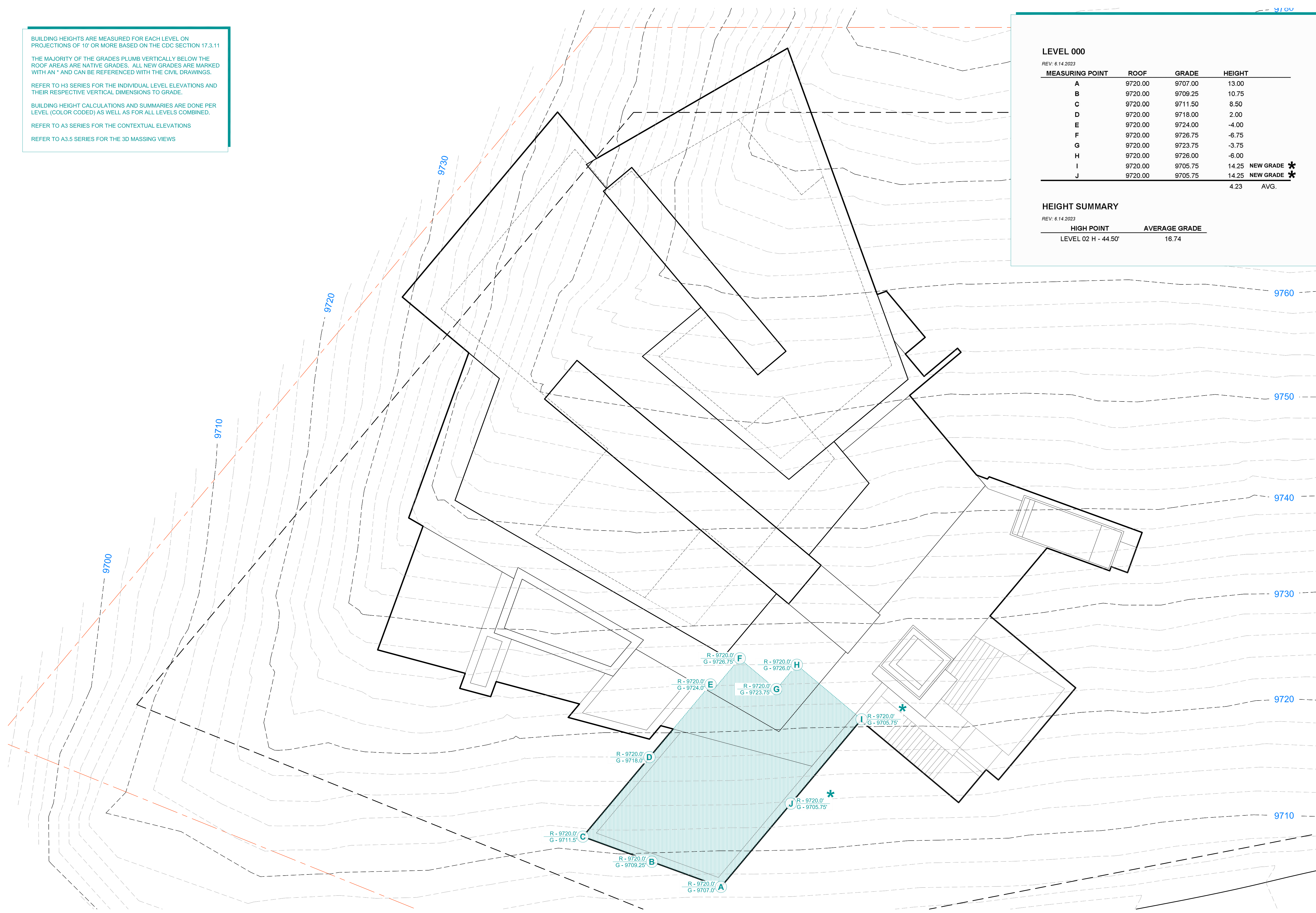
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REFER TO H3 SERIES FOR THE INDIVIDUAL LEVEL ELEVATIONS AND THEIR RESPECTIVE VERTICAL DIMENSIONS TO GRADE.

BUILDING HEIGHT CALCULATIONS AND SUMMARIES ARE DONE PER LEVEL (COLOR CODED) AS WELL AS FOR ALL LEVELS COMBINED.

REFER TO A3 SERIES FOR THE CONTEXTUAL ELEVATIONS

REFER TO A3.5 SERIES FOR THE 3D MASSING VIEWS



**LEVEL 000**

REV: 6.14.2023

MEASURING POINT	ROOF	GRADE	HEIGHT
A	9720.00	9707.00	13.00
B	9720.00	9709.25	10.75
C	9720.00	9711.50	8.50
D	9720.00	9718.00	2.00
E	9720.00	9724.00	-4.00
F	9720.00	9726.75	-6.75
G	9720.00	9723.75	-3.75
H	9720.00	9726.00	-6.00
I	9720.00	9705.75	14.25 NEW GRADE *
J	9720.00	9705.75	14.25 NEW GRADE *
			4.23 AVG.

**HEIGHT SUMMARY**

REV: 6.14.2023

HIGH POINT	AVERAGE GRADE
LEVEL 02 H - 44.50'	16.74

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submissions	DRB
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05.25.2023	DRB CONDITIONS
06.19.2023	

**137  
GRANITE  
RIDGE**

**LEVEL 000  
HEIGHT  
DIAGRAM**

**H1.000**

1 LEVEL 000 - HEIGHT CALCULATIONS  
SCALE: 1/8" = 1'-0"



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REFER TO A3.5 SERIES FOR THE 3D MASSING VIEWS

**LEVEL 00**

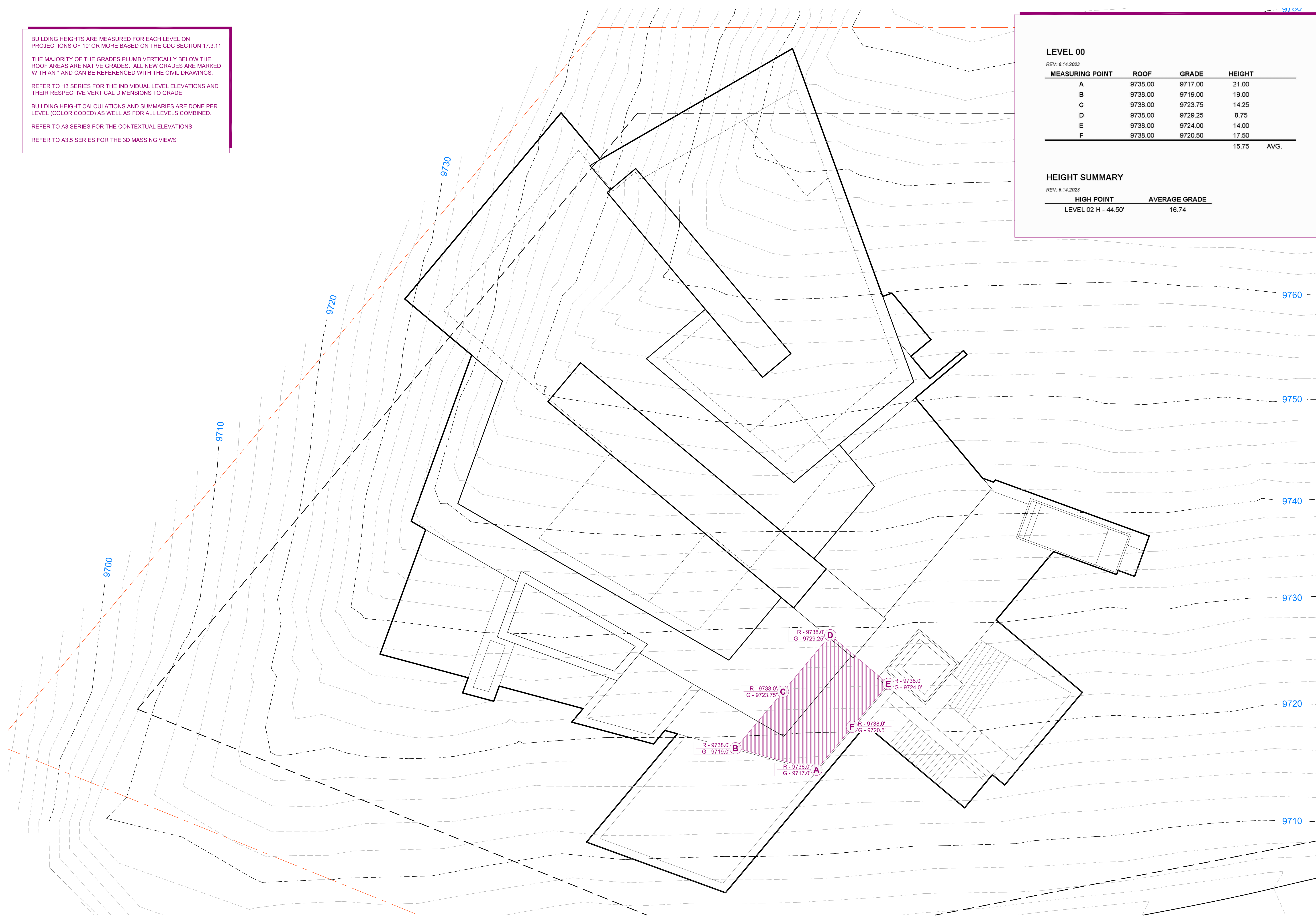
REV: 6.14.2023

MEASURING POINT	ROOF	GRADE	HEIGHT
A	9738.00	9717.00	21.00
B	9738.00	9719.00	19.00
C	9738.00	9723.75	14.25
D	9738.00	9729.25	8.75
E	9738.00	9724.00	14.00
F	9738.00	9720.50	17.50
		15.75	AVG.

**HEIGHT SUMMARY**

REV: 6.14.2023

HIGH POINT	AVERAGE GRADE
LEVEL 02 H - 44.50'	16.74



1 LEVEL 00 - HEIGHT CALCULATIONS  
SCALE: 1/8" = 1'-0"

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137  
GRANITE  
RIDGE

LEVEL 00  
HEIGHT  
DIAGRAM

H1.00



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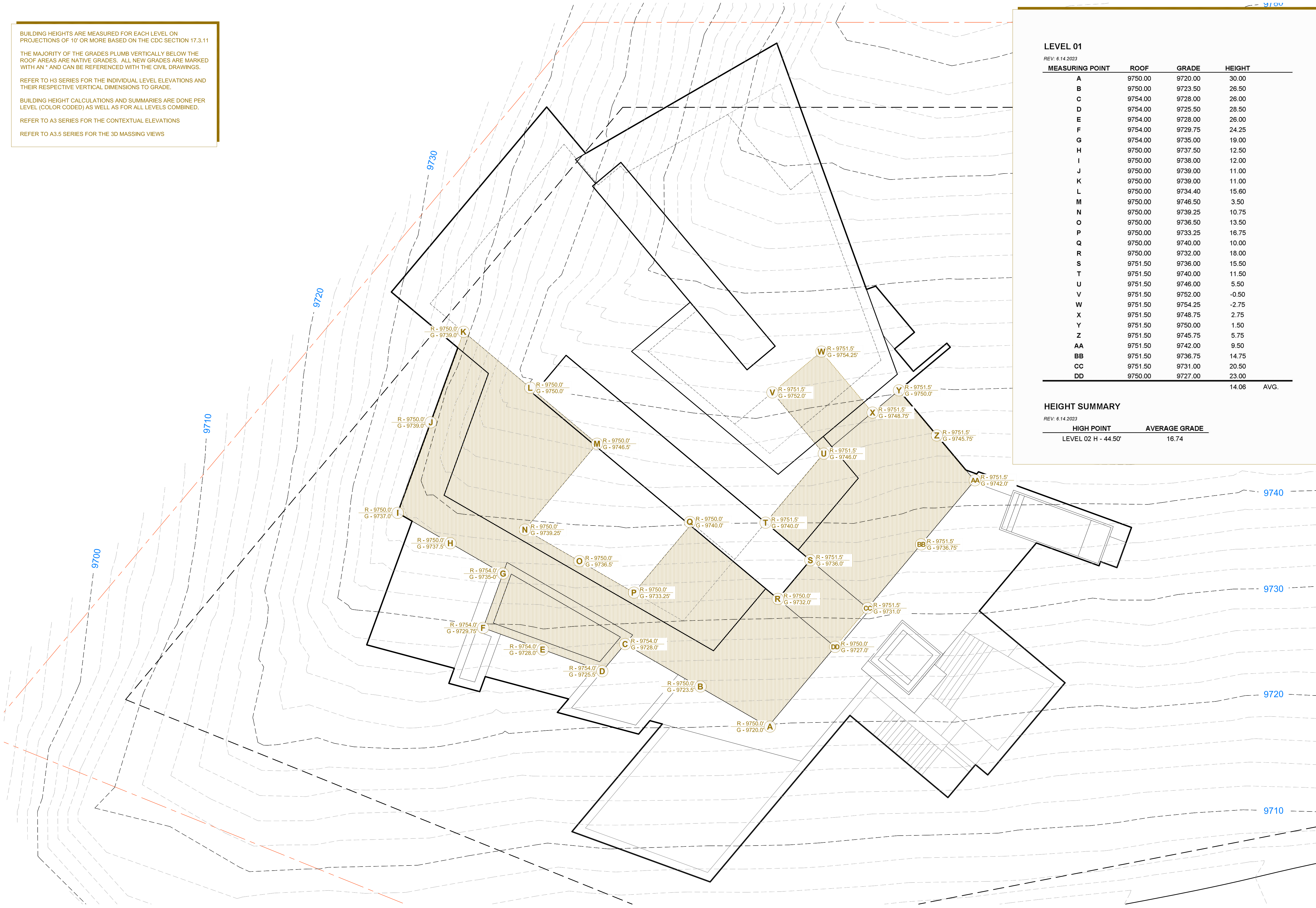
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REFER TO A3 SERIES FOR THE CONTEXTUAL ELEVATIONS

REFER TO A3.5 SERIES FOR THE 3D MASSING VIEWS



**LEVEL 01**

REV: 6.14.2023

MEASURING POINT	ROOF	GRADE	HEIGHT	
A	9750.00	9720.00	30.00	
B	9750.00	9723.50	26.50	
C	9754.00	9728.00	26.00	
D	9754.00	9725.50	28.50	
E	9754.00	9728.00	26.00	
F	9754.00	9729.75	24.25	
G	9754.00	9735.00	19.00	
H	9750.00	9737.50	12.50	
I	9750.00	9738.00	12.00	
J	9750.00	9739.00	11.00	
K	9750.00	9739.00	11.00	
L	9750.00	9734.40	15.60	
M	9750.00	9746.50	3.50	
N	9750.00	9739.25	10.75	
O	9750.00	9736.50	13.50	
P	9750.00	9733.25	16.75	
Q	9750.00	9740.00	10.00	
R	9750.00	9732.00	18.00	
S	9751.50	9736.00	15.50	
T	9751.50	9740.00	11.50	
U	9751.50	9746.00	5.50	
V	9751.50	9752.00	-0.50	
W	9751.50	9754.25	-2.75	
X	9751.50	9748.75	2.75	
Y	9751.50	9750.00	1.50	
Z	9751.50	9745.75	5.75	
AA	9751.50	9742.00	9.50	
BB	9751.50	9736.75	14.75	
CC	9751.50	9731.00	20.50	
DD	9750.00	9727.00	23.00	
			14.06	AVG.

**HEIGHT SUMMARY**

REV: 6.14.2023

HIGH POINT	AVERAGE GRADE
LEVEL 02 H - 44.50'	16.74

1 LEVEL 01 - HEIGHT CALCULATIONS  
SCALE: 1/8" = 1'-0"

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05.19.2023	INT. SECTIONS
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**137  
GRANITE  
RIDGE**

**LEVEL 01  
HEIGHT  
DIAGRAM**

**H1.01**



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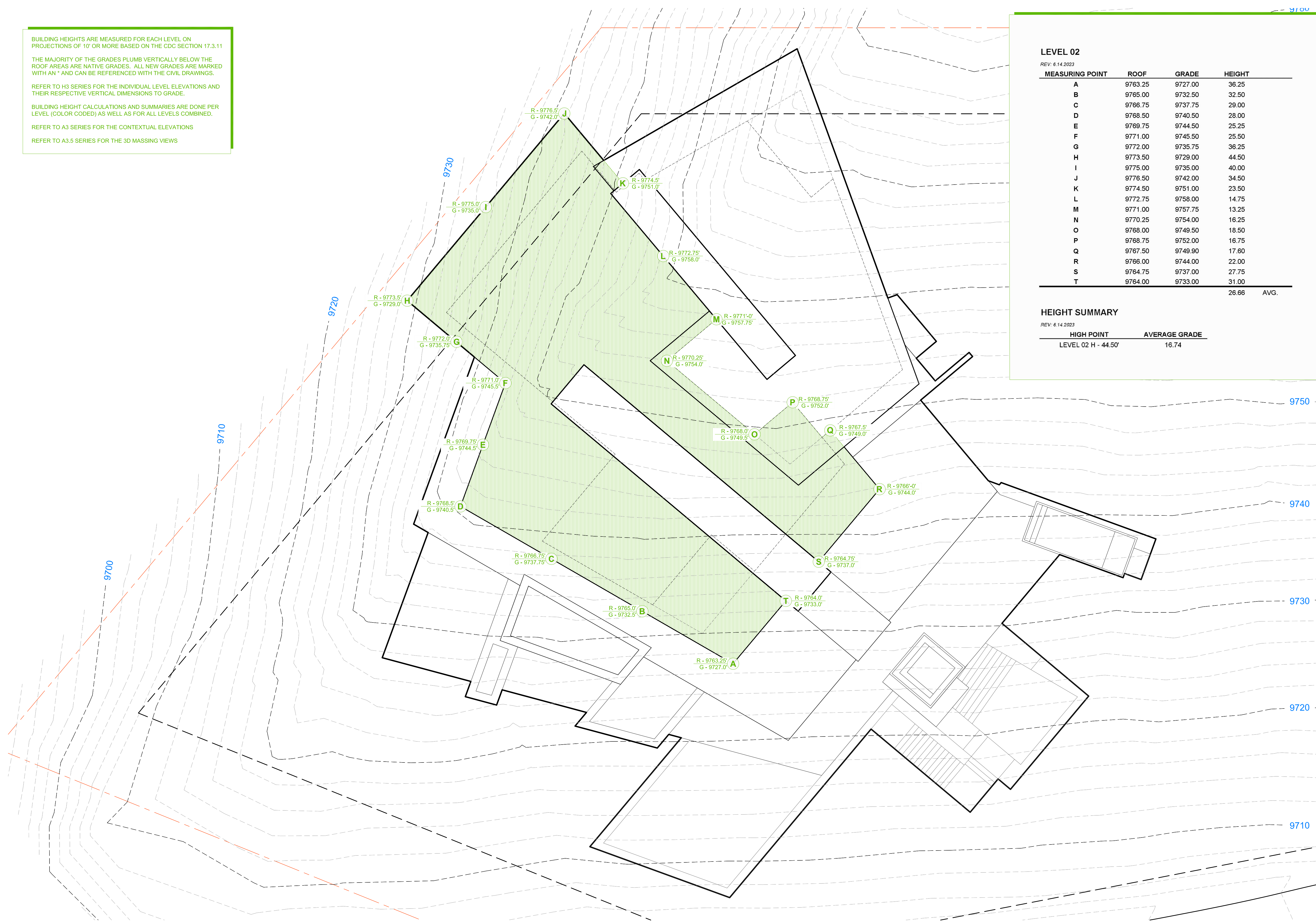
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REFER TO A3.5 SERIES FOR THE 3D MASSING VIEWS



**LEVEL 02**

REV: 6.14.2023

MEASURING POINT	ROOF	GRADE	HEIGHT
A	9763.25	9727.00	36.25
B	9765.00	9732.50	32.50
C	9766.75	9737.75	29.00
D	9768.50	9740.50	28.00
E	9769.75	9744.50	25.25
F	9771.00	9745.50	25.50
G	9772.00	9735.75	36.25
H	9773.50	9729.00	44.50
I	9775.00	9735.00	40.00
J	9776.50	9742.00	34.50
K	9774.50	9751.00	23.50
L	9772.75	9758.00	14.75
M	9771.00	9757.75	13.25
N	9770.25	9754.00	16.25
O	9768.00	9749.50	18.50
P	9768.75	9752.00	16.75
Q	9767.50	9749.00	17.60
R	9766.00	9744.00	22.00
S	9764.75	9737.00	27.75
T	9764.00	9733.00	31.00
			26.66
			AVG.

**HEIGHT SUMMARY**

REV: 6.14.2023

HIGH POINT	AVERAGE GRADE
LEVEL 02 H - 44.50'	16.74

submissions	DRB
10.31.2022	BACKGROUNDS
04.01.2023	PLAN REFINEMENTS
05.02.2023	SECTIONS
05.19.2023	INT. SECTIONS
05.25.2023	DRB CONDITIONS

**137  
GRANITE  
RIDGE**

**LEVEL 02  
HEIGHT  
DIAGRAM**

**H1.02**

**1 LEVEL 02 - HEIGHT CALCULATIONS**  
SCALE: 1/8" = 1'-0"



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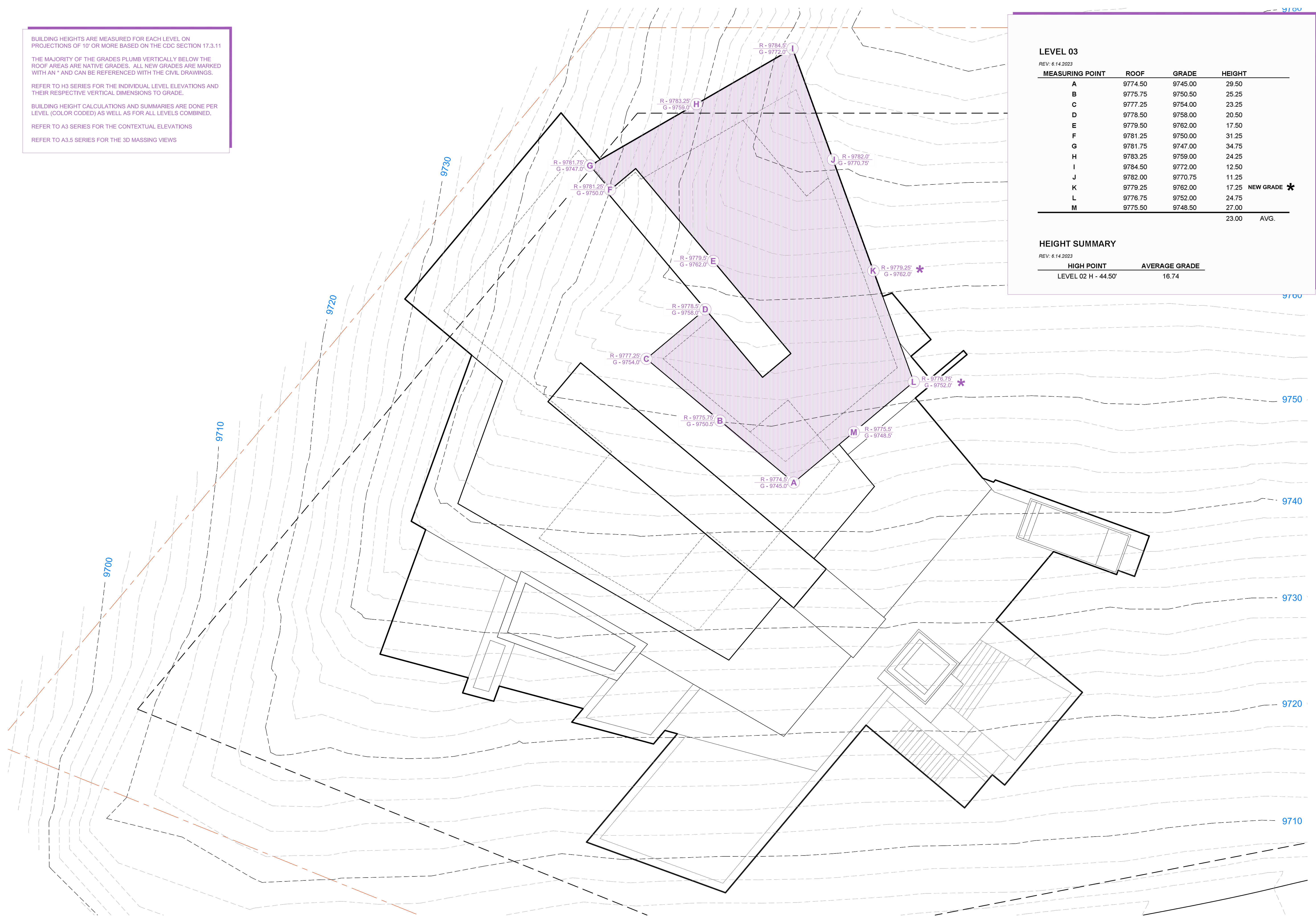
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REFER TO A3.5 SERIES FOR THE 3D MASSING VIEWS



**LEVEL 03**  
REV: 6.14.2023

MEASURING POINT	ROOF	GRADE	HEIGHT
A	9774.50	9745.00	29.50
B	9775.75	9750.50	25.25
C	9777.25	9754.00	23.25
D	9778.50	9758.00	20.50
E	9779.50	9762.00	17.50
F	9781.25	9750.00	31.25
G	9781.75	9747.00	34.75
H	9783.25	9759.00	24.25
I	9784.50	9772.00	12.50
J	9782.00	9770.75	11.25
K	9779.25	9762.00	17.25 <b>NEW GRADE *</b>
L	9776.75	9752.00	24.75
M	9775.50	9748.50	27.00
		23.00	AVG.

**HEIGHT SUMMARY**  
REV: 6.14.2023

HIGH POINT	AVERAGE GRADE
LEVEL 02 H - 44.50'	16.74

**1 LEVEL 03 - HEIGHT CALCULATIONS**  
SCALE: 1/8" = 1'-0"

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06.19.2023	

**137  
GRANITE  
RIDGE**

**LEVEL 03  
HEIGHT  
DIAGRAM**

**H1.03**



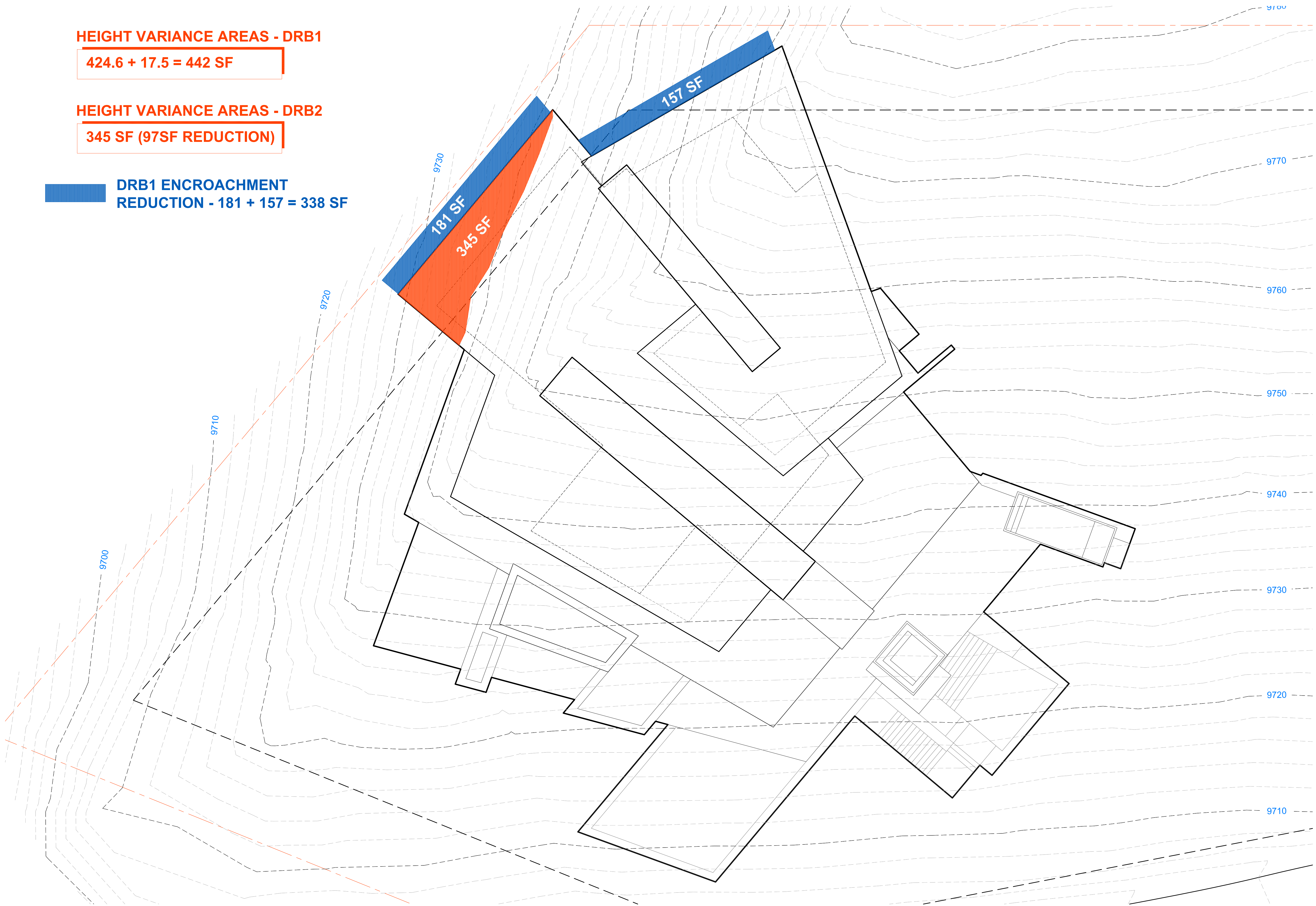
**HEIGHT VARIANCE AREAS - DRB1**

424.6 + 17.5 = 442 SF

**HEIGHT VARIANCE AREAS - DRB2**

345 SF (97SF REDUCTION)

**DRB1 ENCROACHMENT  
REDUCTION - 181 + 157 = 338 SF**



1 HEIGHT VARIANCE DIAGRAM  
 SCALE: 1/8" = 1'-0"  
 0' 2' 4' 8' 12'

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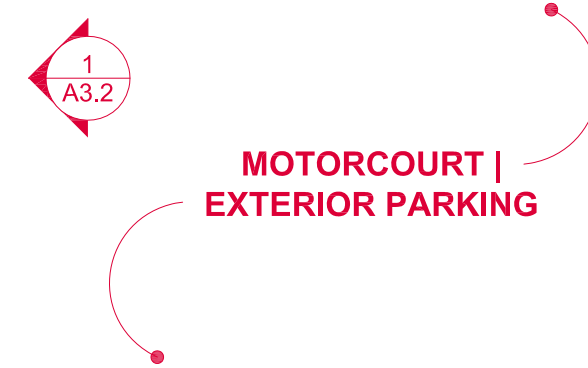
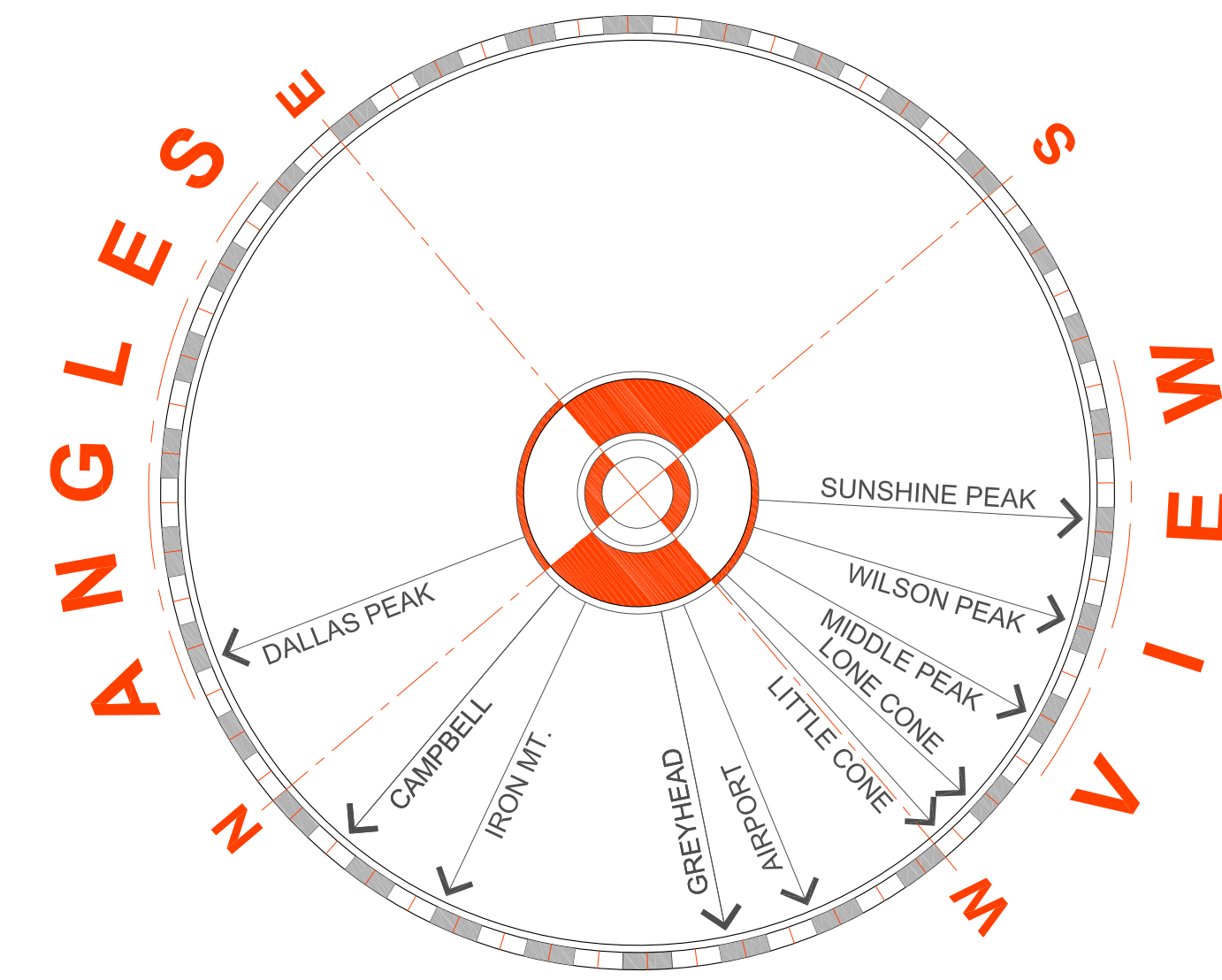
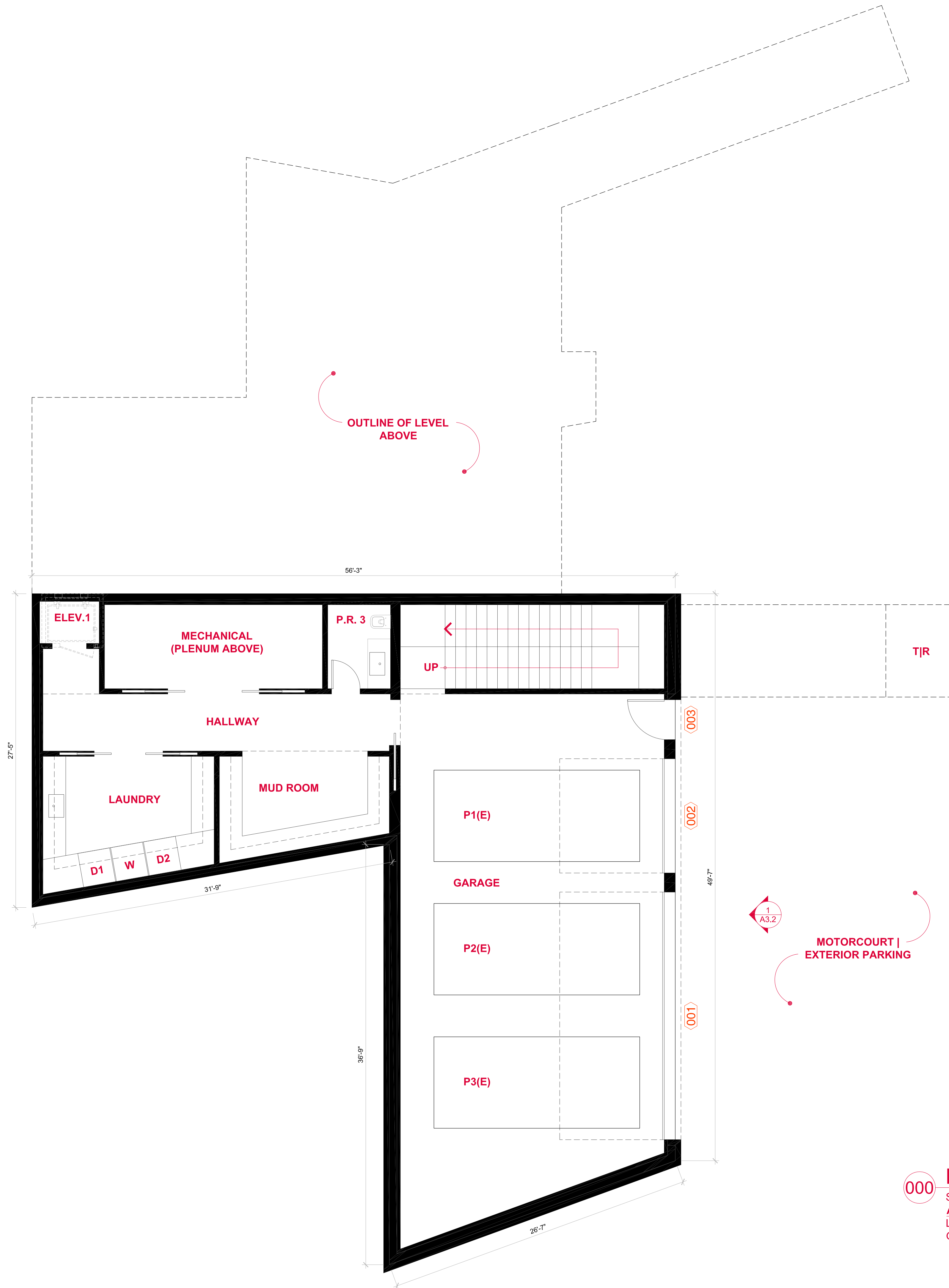
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10.31.2022	BACKGROUNDS
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**137  
GRANITE  
RIDGE**

**HEIGHT  
VARIANCE  
DIAGRAM**





000 LEVEL 000 PLAN - FIN.

SCALE: 0' 2' 4' 8' 12'

AREAS:  
LIVABLE - 897sf  
GARAGE - 1227sf

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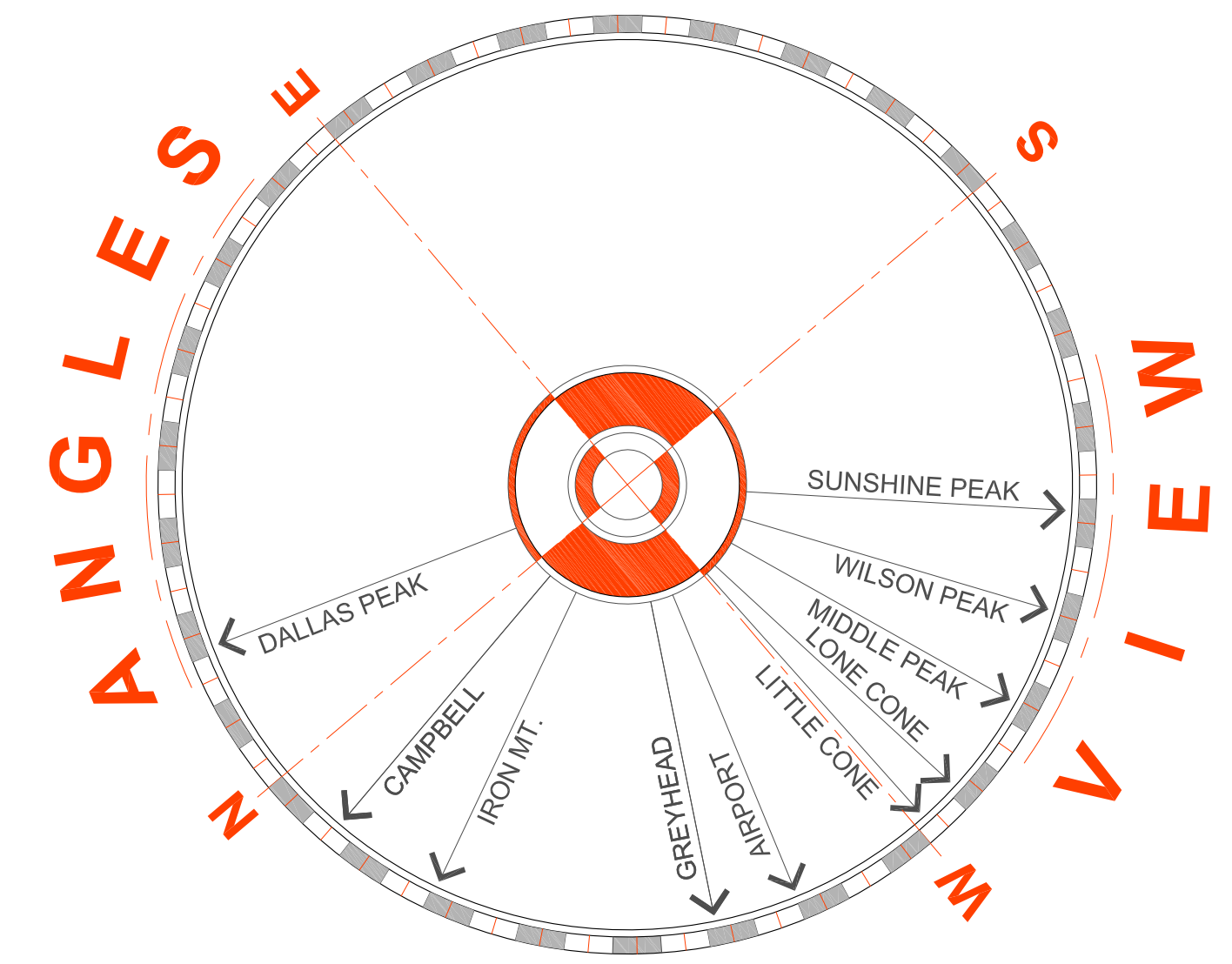
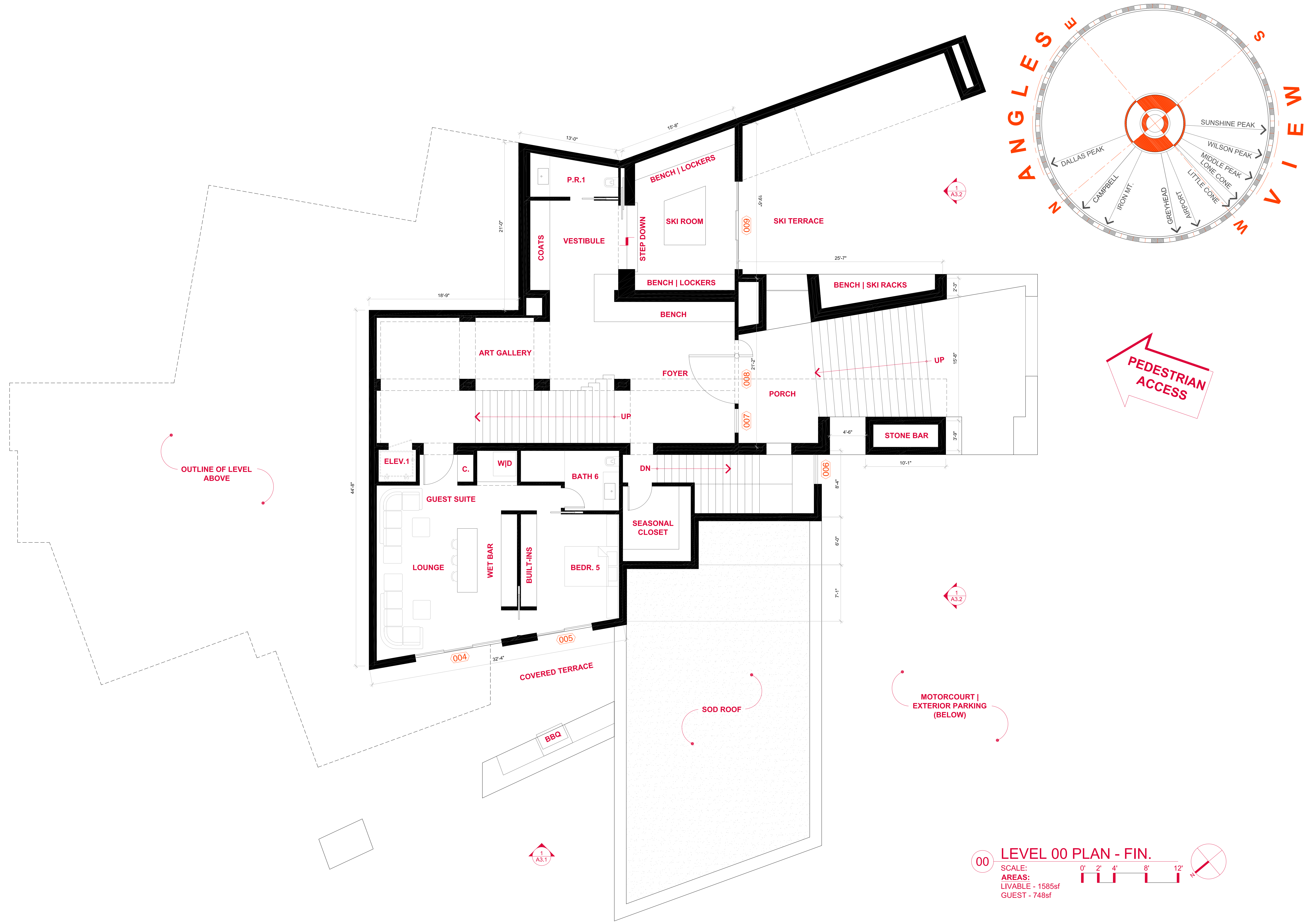
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10.31.2022	BACKGROUNDS
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05.25.2023	DRB CONDITIONS
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137  
GRANITE  
RIDGE

LEVEL 000  
FINISH  
PLAN

A2.000F





PEDESTRIAN ACCESS

OUTLINE OF LEVEL ABOVE

MOTORCOURT | EXTERIOR PARKING (BELOW)

SOD ROOF

00 LEVEL 00 PLAN - FIN.  
 SCALE: 0' 2' 4' 8' 12'  
 AREAS:  
 LIVABLE - 1585sf  
 GUEST - 748sf

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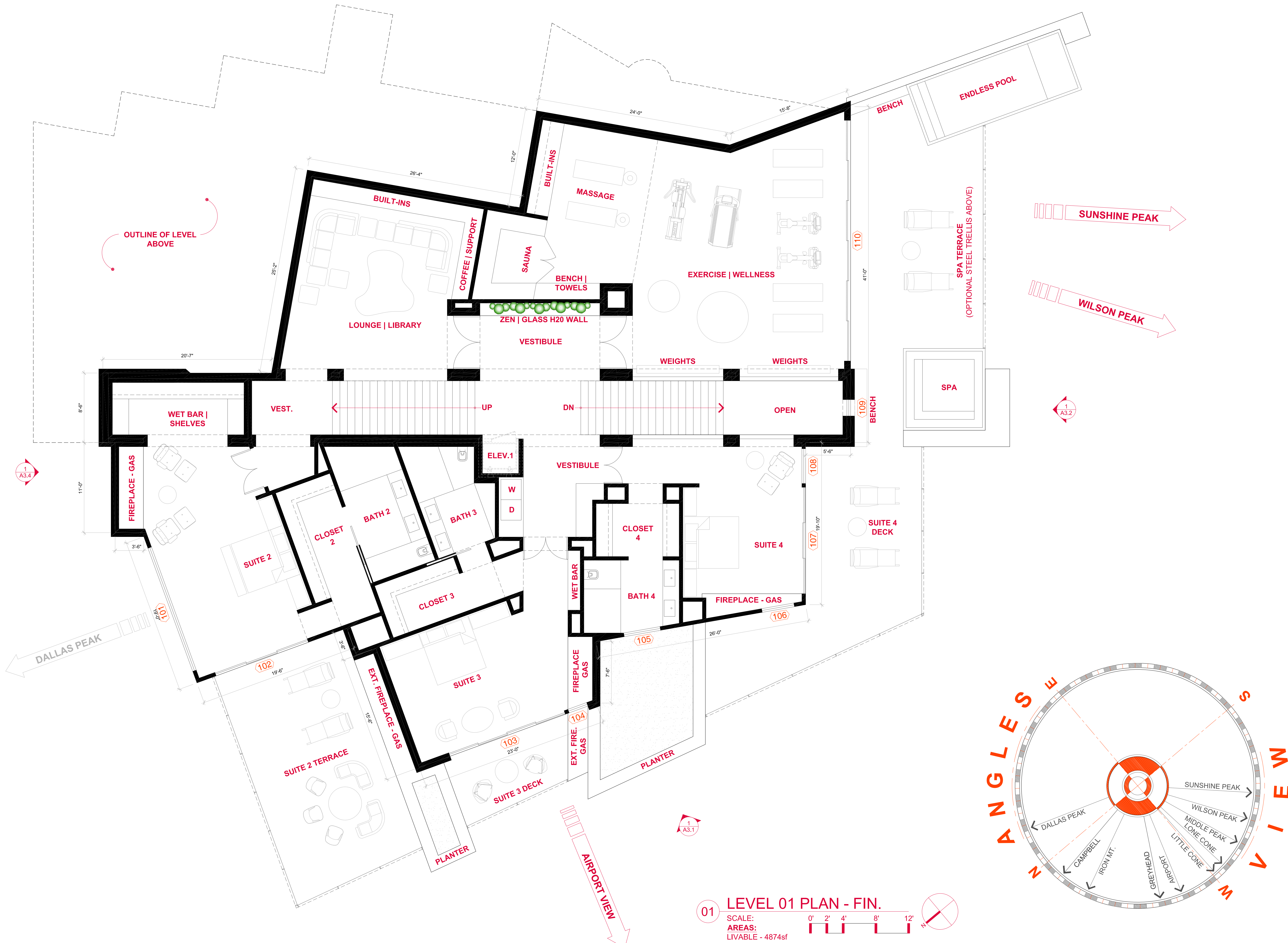
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05.19.2023	INT. SECTIONS
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137 GRANITE RIDGE

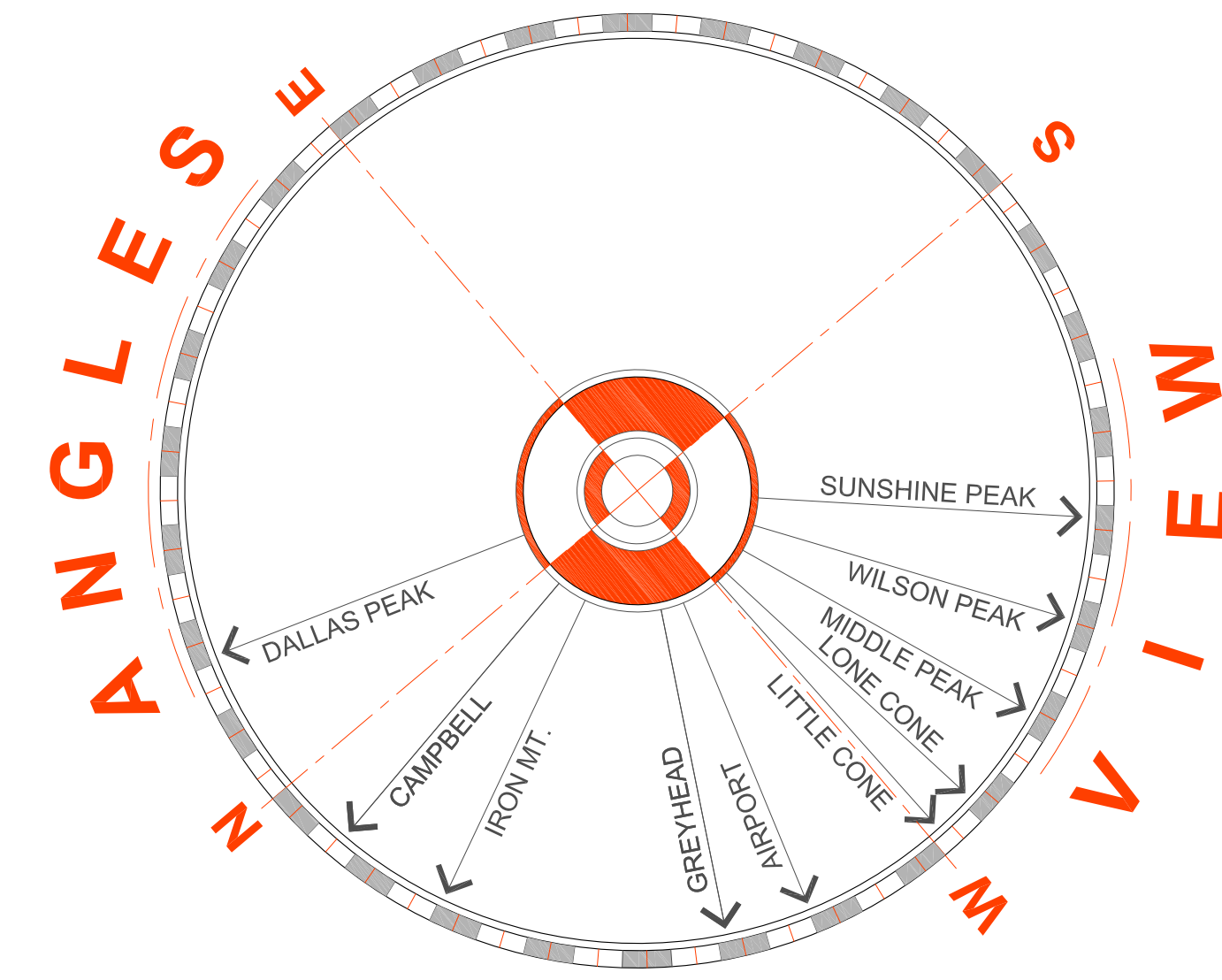
LEVEL 00 FINISH PLAN

A2.00F





**01 LEVEL 01 PLAN - FIN.**  
 SCALE: 0' 2' 4' 8' 12'  
 AREAS:  
 LIVABLE - 4874sf



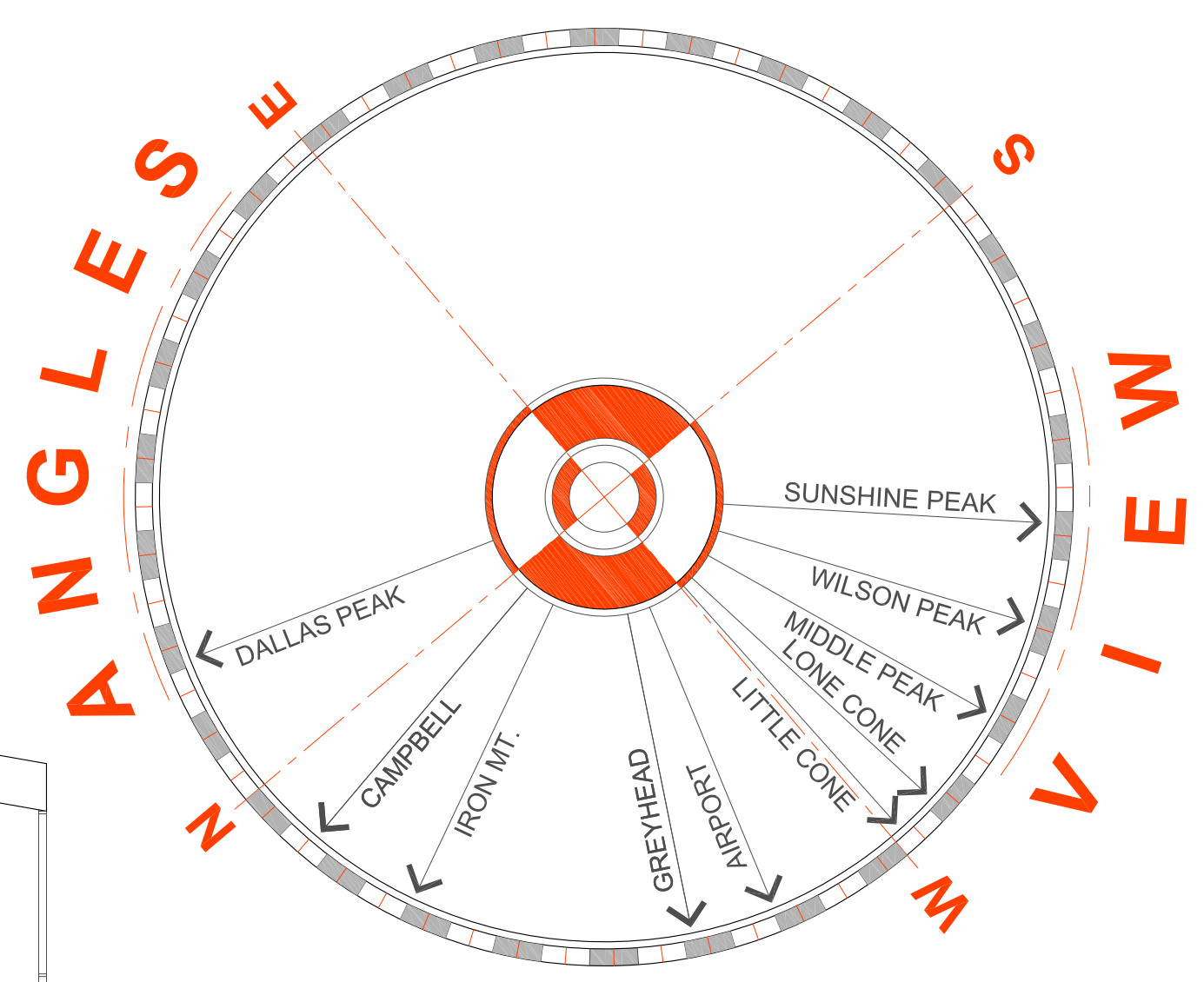
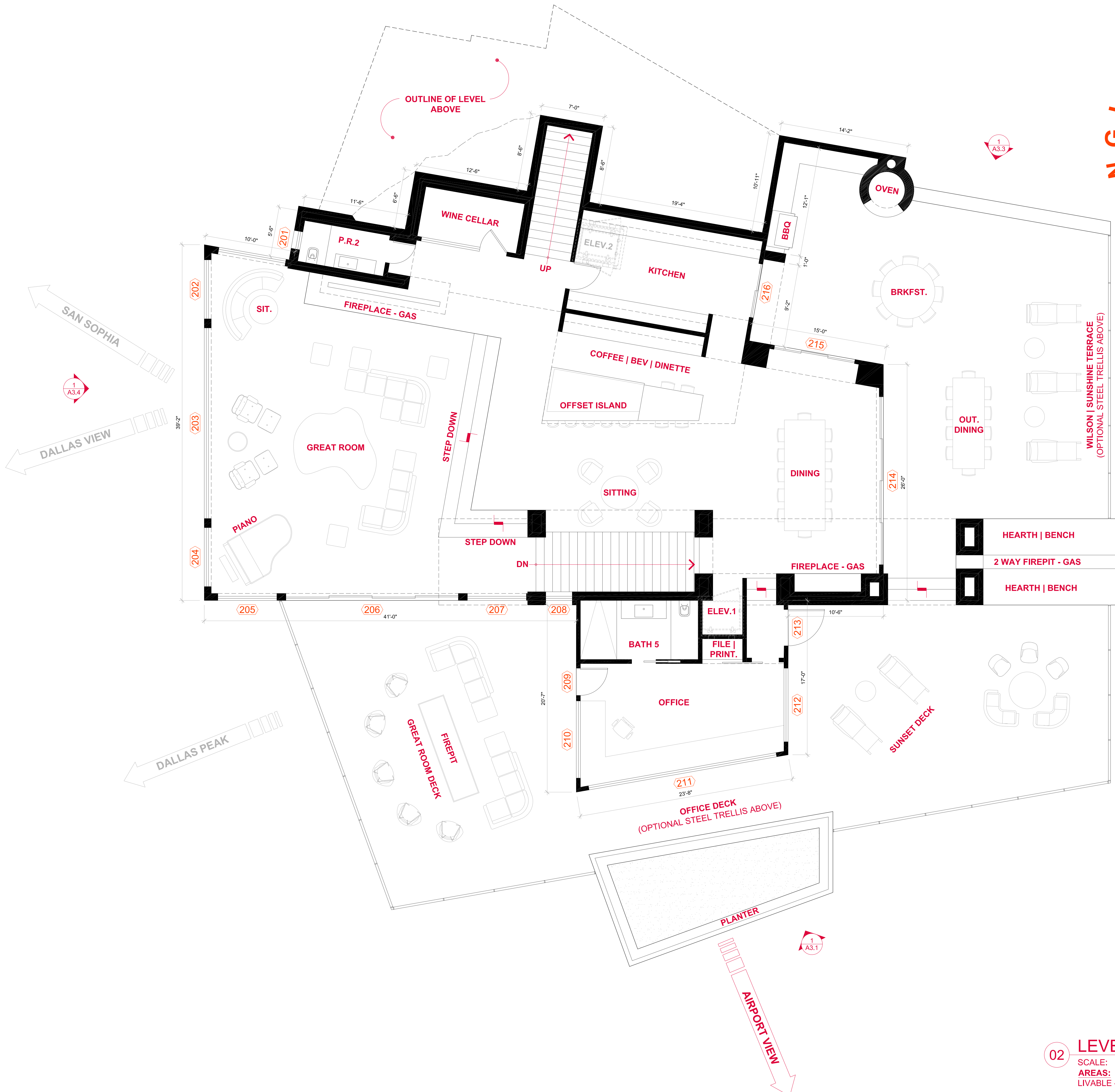
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10.31.2022	BACKGROUNDS
04.01.2023	PLAN REFINEMENTS
05.02.2023	SECTIONS
05.19.2023	INT. SECTIONS
05.25.2023	DRB CONDITIONS
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**137  
 GRANITE  
 RIDGE**

**LEVEL 01  
 FINISH  
 PLAN**

**A2.01F**





**02 LEVEL 02 PLAN - FIN.**  
 SCALE: 0' 2' 4' 8' 12'  
 AREAS:  
 LIVABLE - 3484sf

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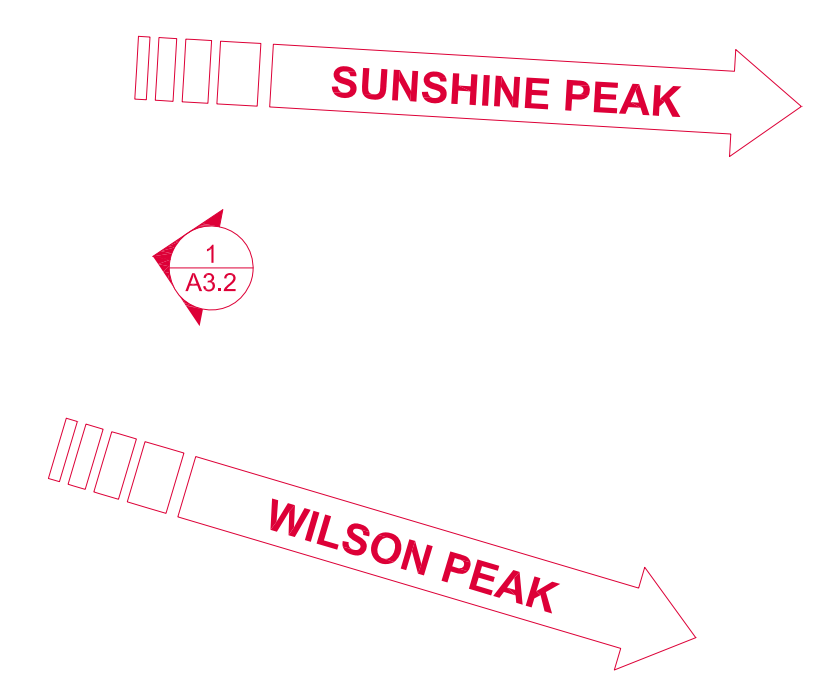
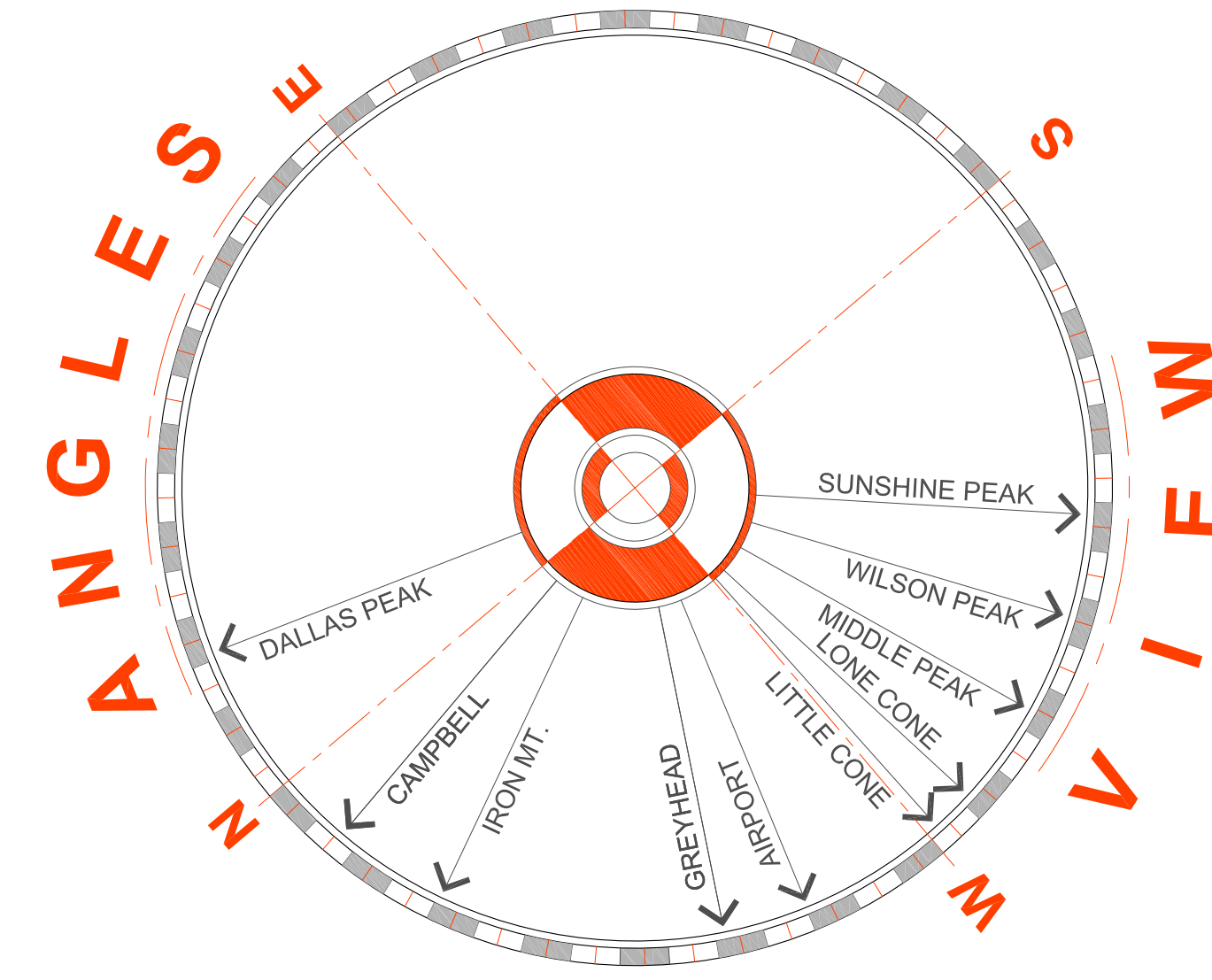
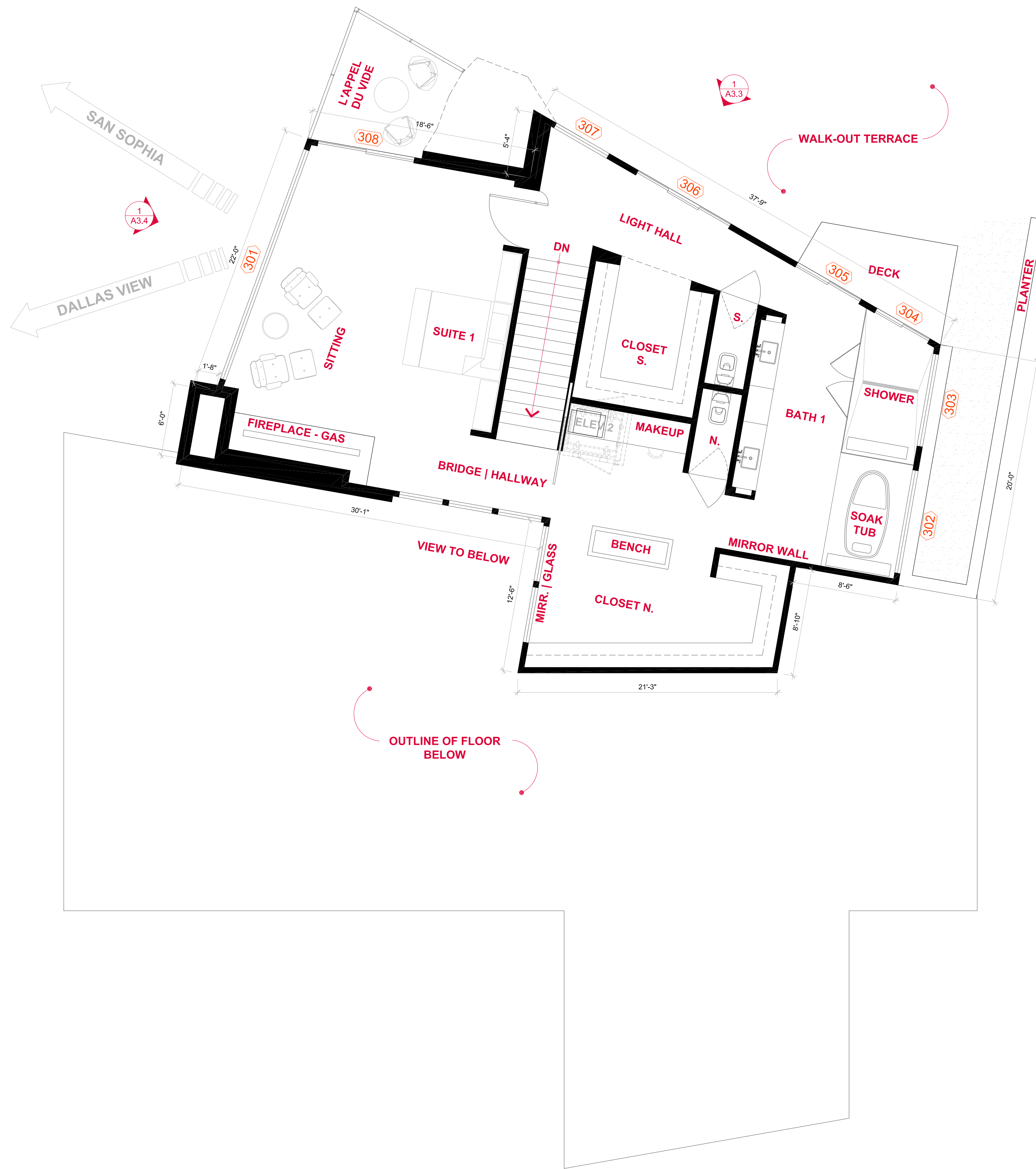
submissions	DRB
10.31.2022	BACKGROUNDS
04.01.2023	PLAN REFINEMENTS
05.02.2023	SECTIONS
05.19.2023	INT. SECTIONS
05.25.2023	DRB CONDITIONS
06.19.2023	

**137  
GRANITE  
RIDGE**

**LEVEL 02  
FINISH  
PLAN**

**A2.02F**





03 LEVEL 03 PLAN - FIN.  
 SCALE: 0' 2' 4' 8' 12'  
 AREAS:  
 LIVABLE - 1748sf

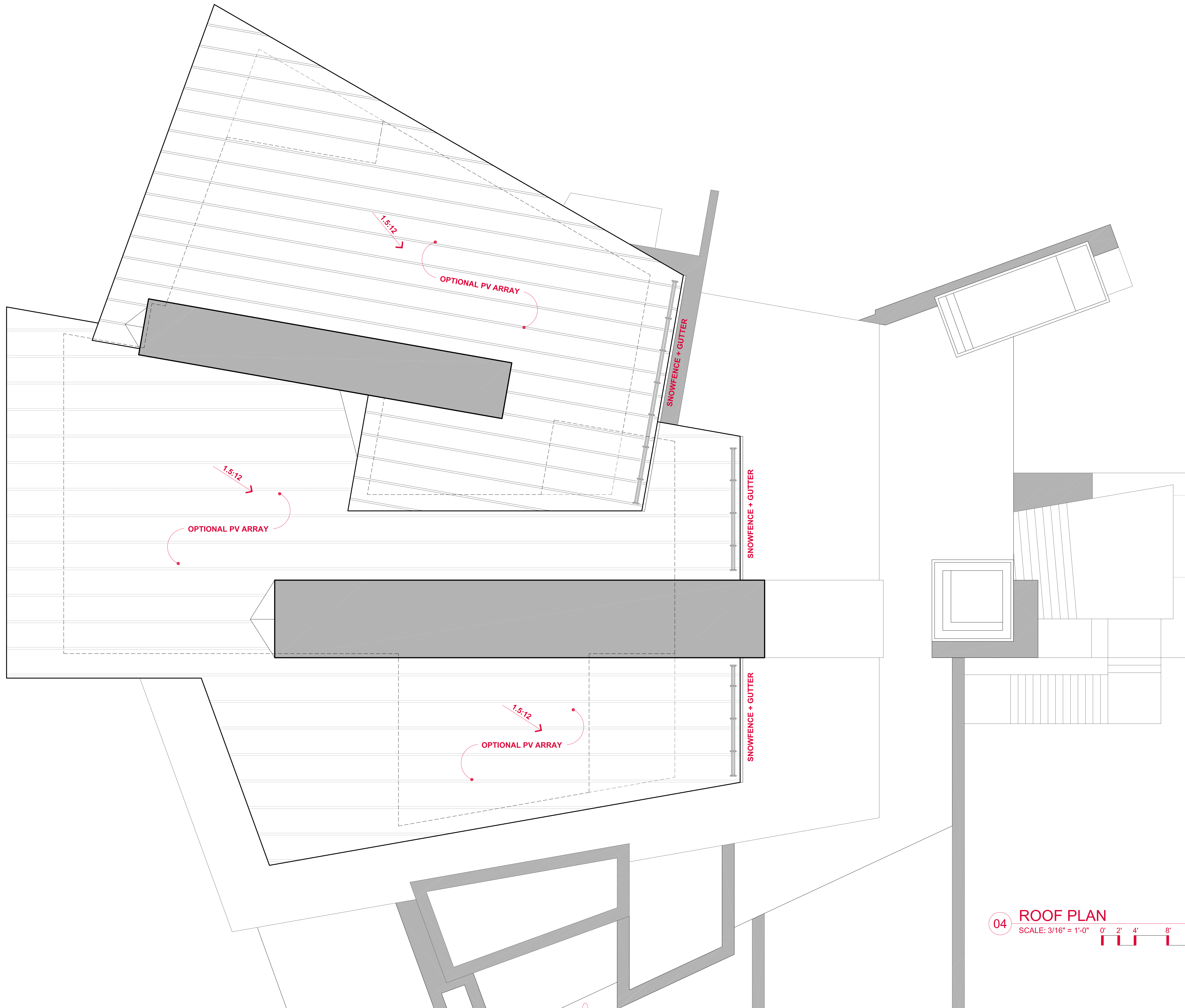
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**137  
 GRANITE  
 RIDGE**

**LEVEL 03  
 FINISH  
 PLAN**

**A2.03F**



04 ROOF PLAN  
 SCALE: 3/16" = 1'-0" 0' 2' 4' 8' 12' N

submissions	DRB
10.31.2022	BACKGROUNDS
04.01.2023	PLAN REFINEMENTS
05.02.2023	SECTIONS
05.19.2023	INT. SECTIONS
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06.19.2023	

**137  
 GRANITE  
 RIDGE**

**ROOF  
 PLAN**

**A2.04R**

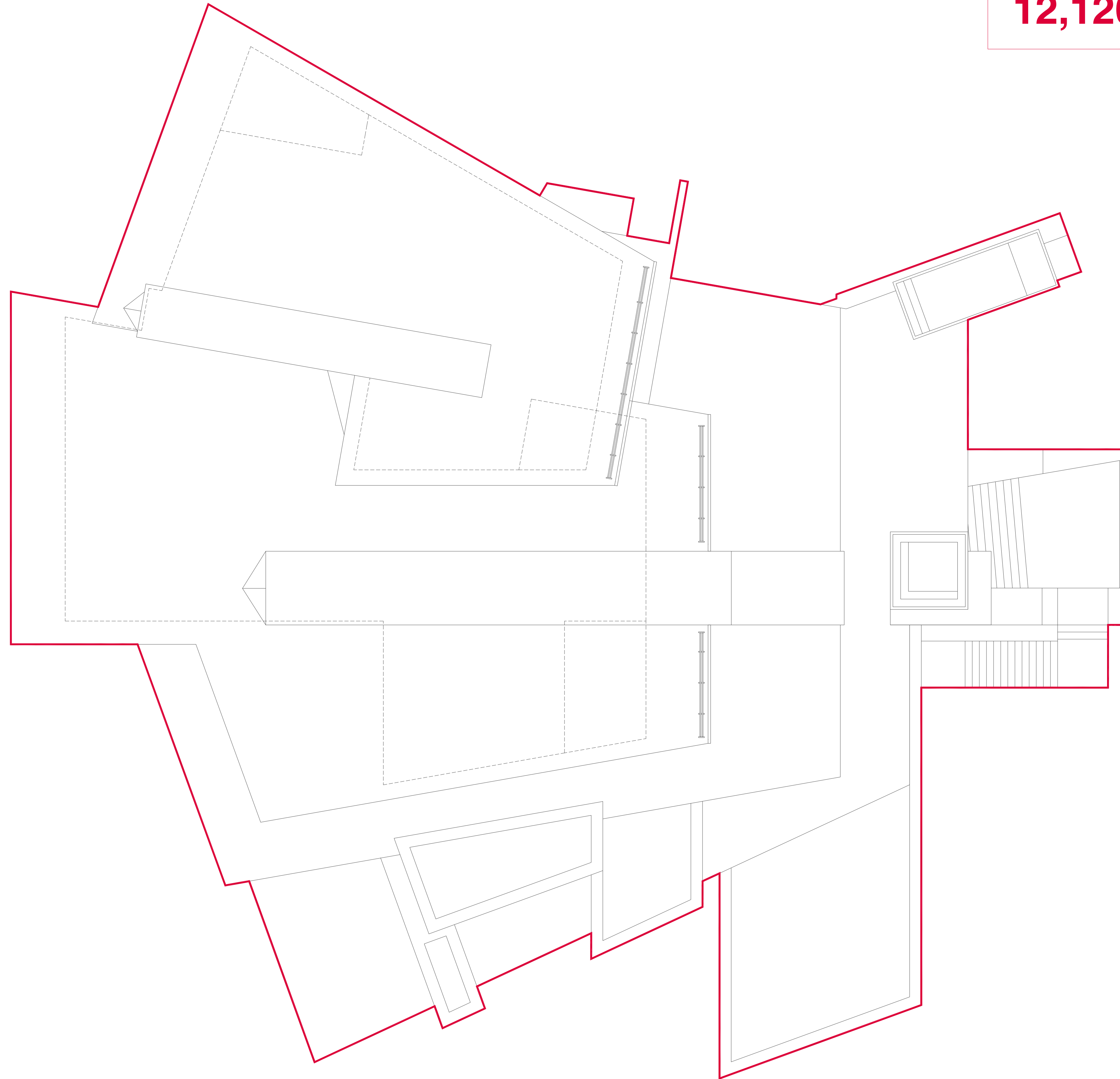


## LOT COVERAGE DEFINITION PER CDC

**LOT COVERAGE:** THE CALCULATION OF THE TOTAL HORIZONTAL AREA OF ANY BUILDING, CARPORT, PORTE-COCHERE, OR ARCADE AND SHALL ALSO INCLUDE WALKWAYS, ROOF OVERHANGS, EAVES, EXTERIOR STAIRS, DECKS, COVERED PORCH, TERRACES AND PATIOS. SUCH HORIZONTAL MEASUREMENT SHALL BE FROM THE BUILDING DRIPLINES AND FROM THE EXTERIOR SURFACE OF THE TOTAL WALL ASSEMBLY, WHICHEVER IS MORE RESTRICTIVE.

## LOT COVERAGE AREA DIAGRAM

**12,120.8 SF - 28.39%**



05 LOT AREA DIAGRAM  
SCALE: 1/8" = 1'-0" 0' 2' 4' 8' 12' N

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05.19.2023	INT. SECTIONS
05.25.2023	DRB CONDITIONS
06.19.2023	

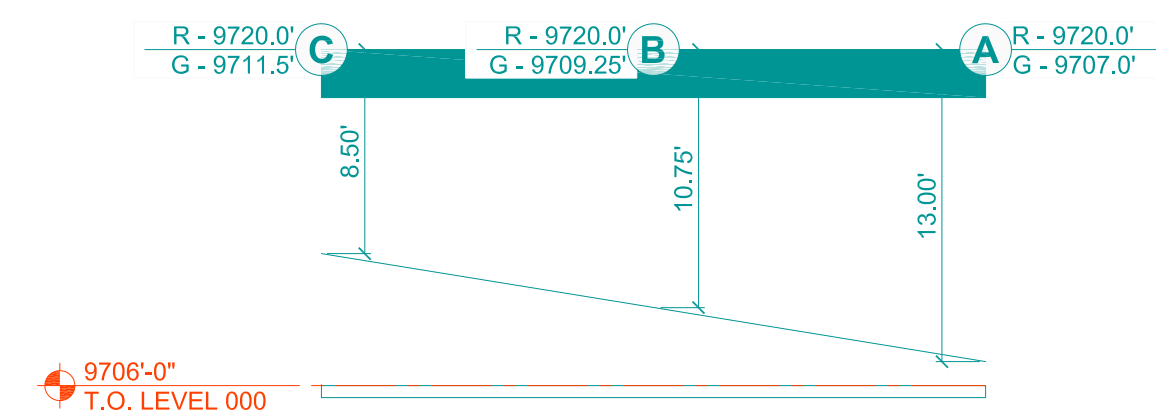
137  
GRANITE  
RIDGE

LOT  
COVERAGE  
DIAGRAM

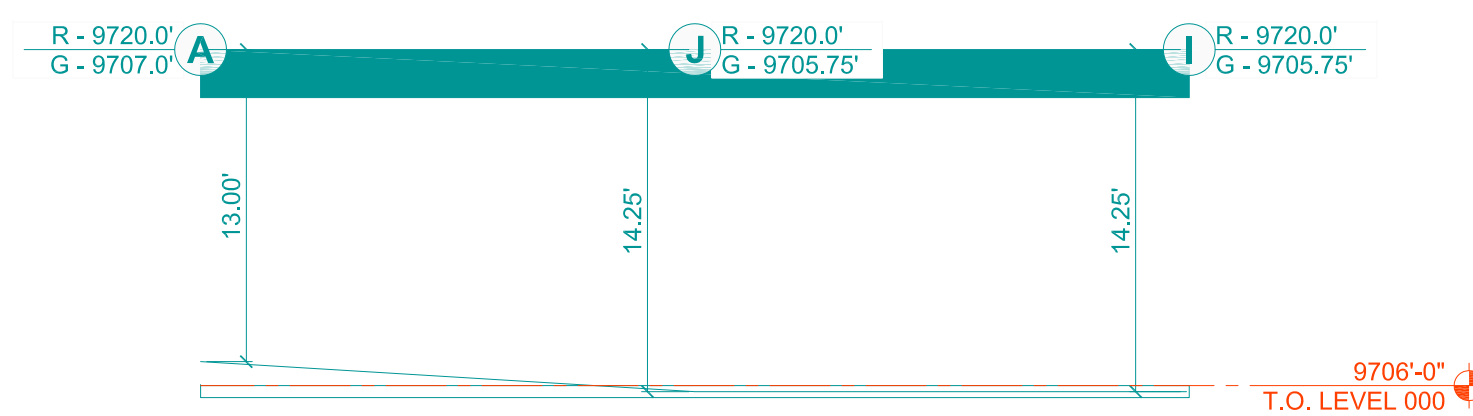
A2.05



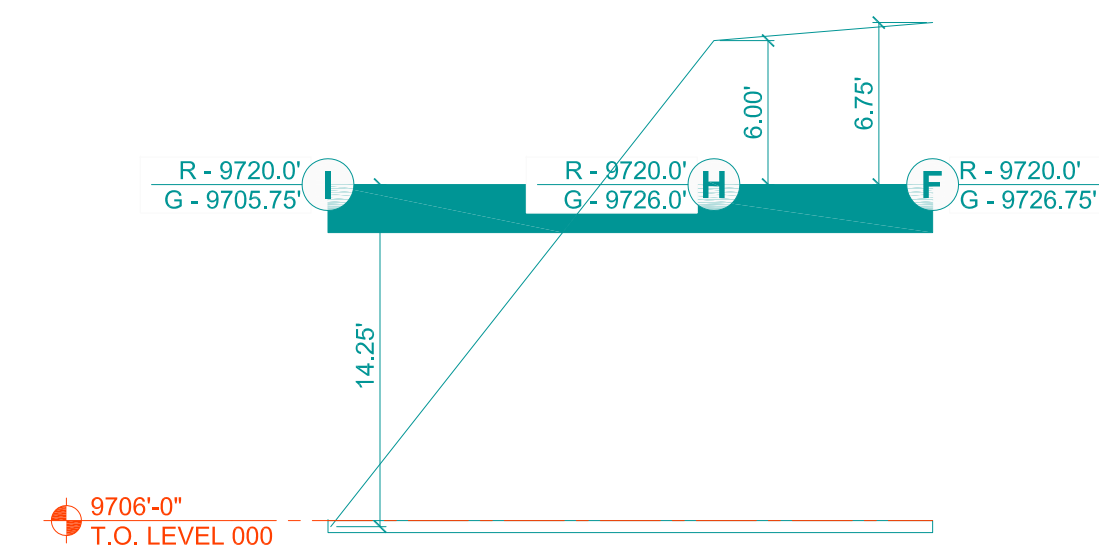
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 REFER TO A3.5 SERIES FOR THE 3D MASSING VIEWS



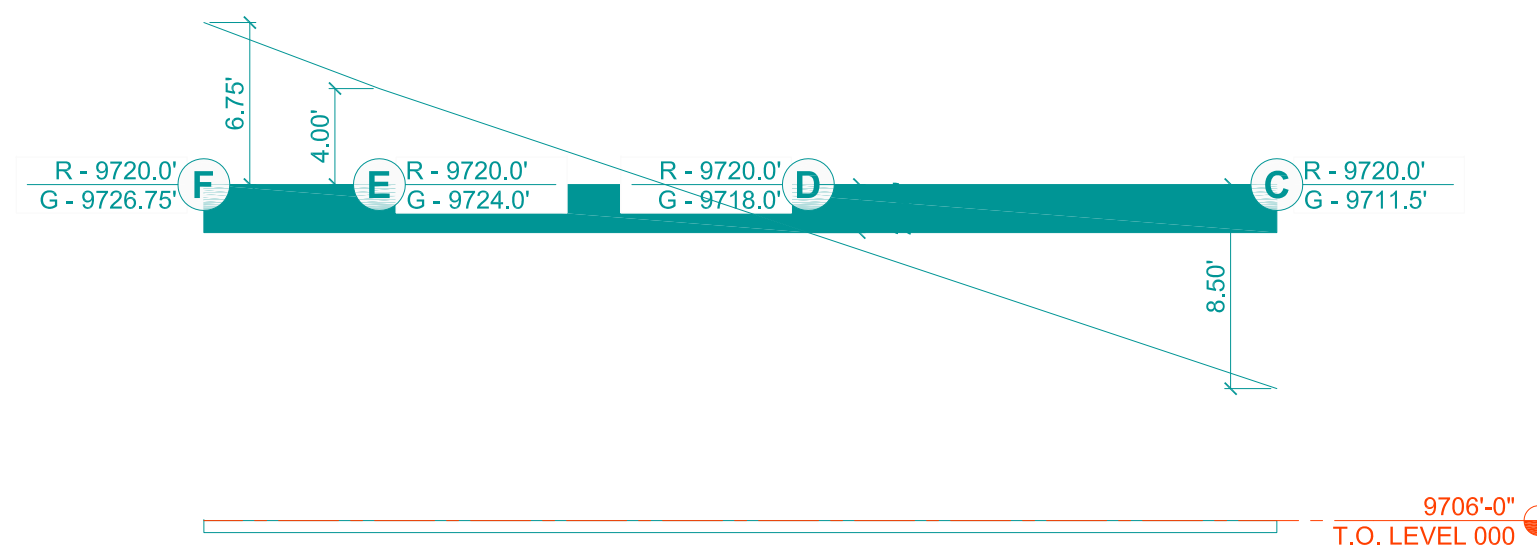
WEST ELEVATION



SOUTH ELEVATION

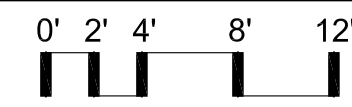


EAST ELEVATION



NORTH ELEVATION

1 LEVEL 000 - HEIGHT CALCULATIONS  
 SCALE: 1/8" = 1'-0"



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submissions	
10.31.2022	DRB
04.01.2023	BACKGROUNDS
05.02.2023	PLAN REFINEMENTS
05.19.2023	SECTIONS
05.25.2023	INT. SECTIONS
06.19.2023	DRB CONDITIONS

137  
 GRANITE  
 RIDGE

HEIGHT  
 CALC.  
 LEVEL 000

H3.000



BUILDING HEIGHTS ARE MEASURED FOR EACH LEVEL ON PROJECTIONS OF 10' OR MORE BASED ON THE CDC SECTION 17.3.11  
 REFER TO H1 SERIES FOR THE INDIVIDUAL LEVEL ELEVATIONS AND THEIR RESPECTIVE RELATION TO GRADE.  
 BUILDING HEIGHT CALCULATIONS AND SUMMARIES ARE DONE PER LEVEL (COLOR CODED) AS WELL AS FOR ALL LEVELS COMBINED.  
 REFER TO A3 SERIES FOR THE CONTEXTUAL ELEVATIONS  
 REFER TO A3.5 SERIES FOR THE 3D MASSING VIEWS

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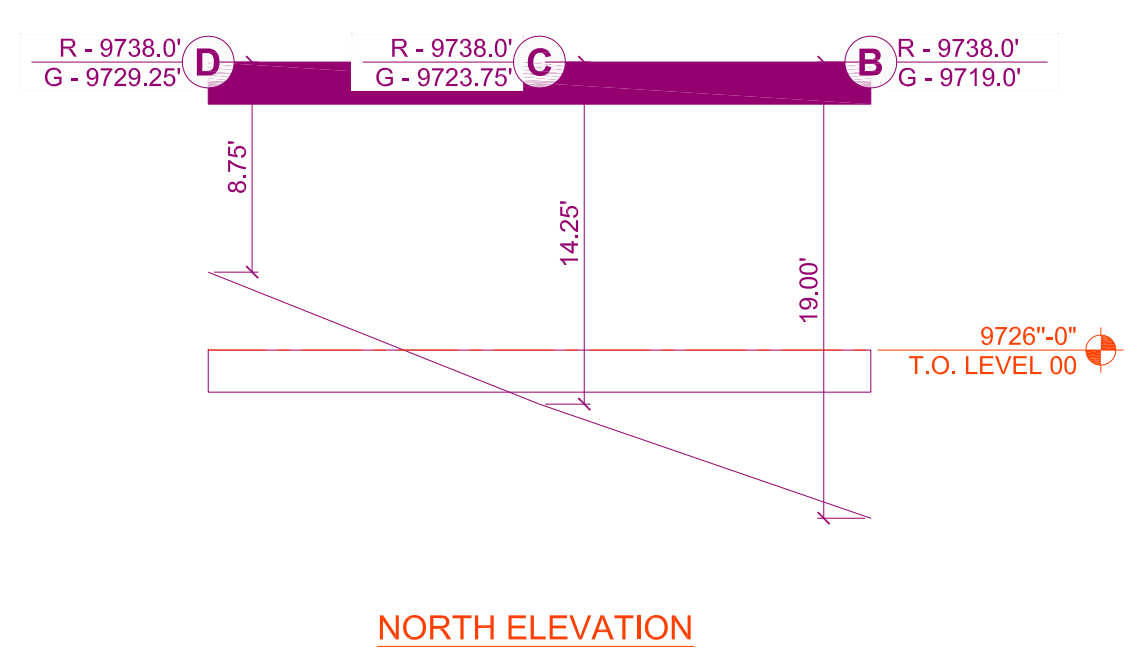
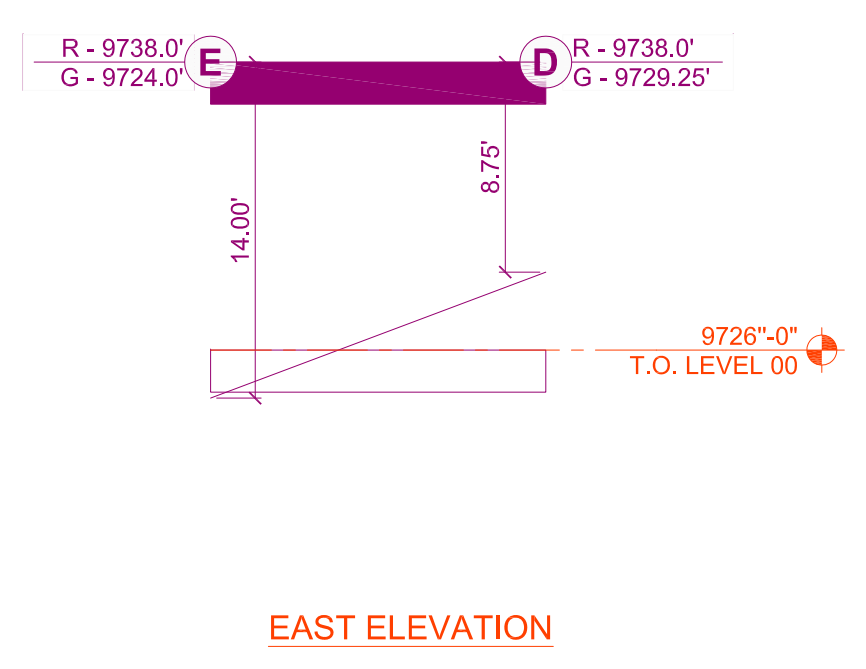
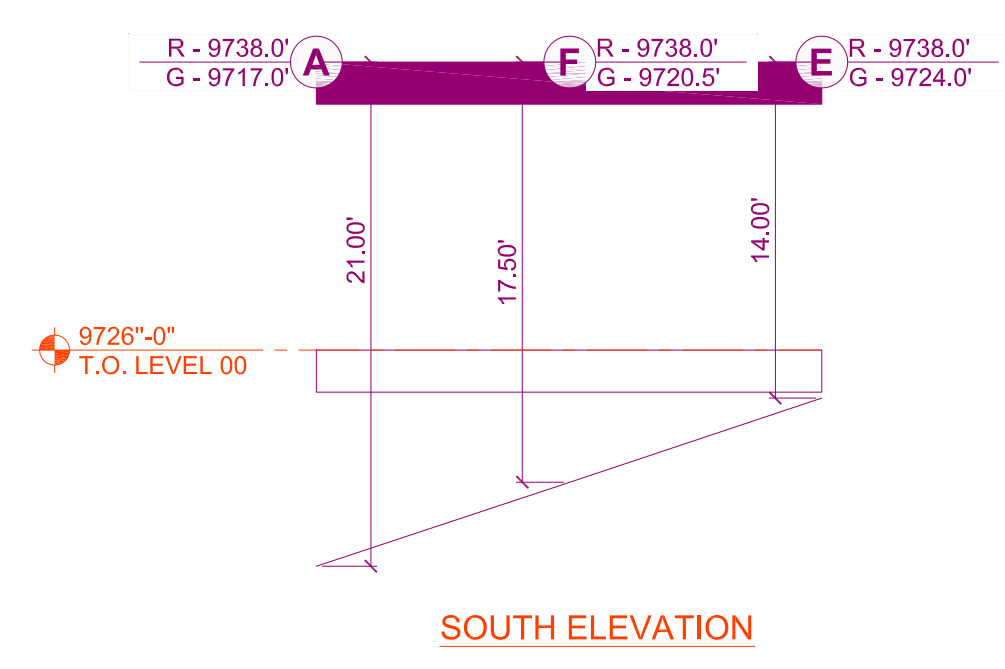
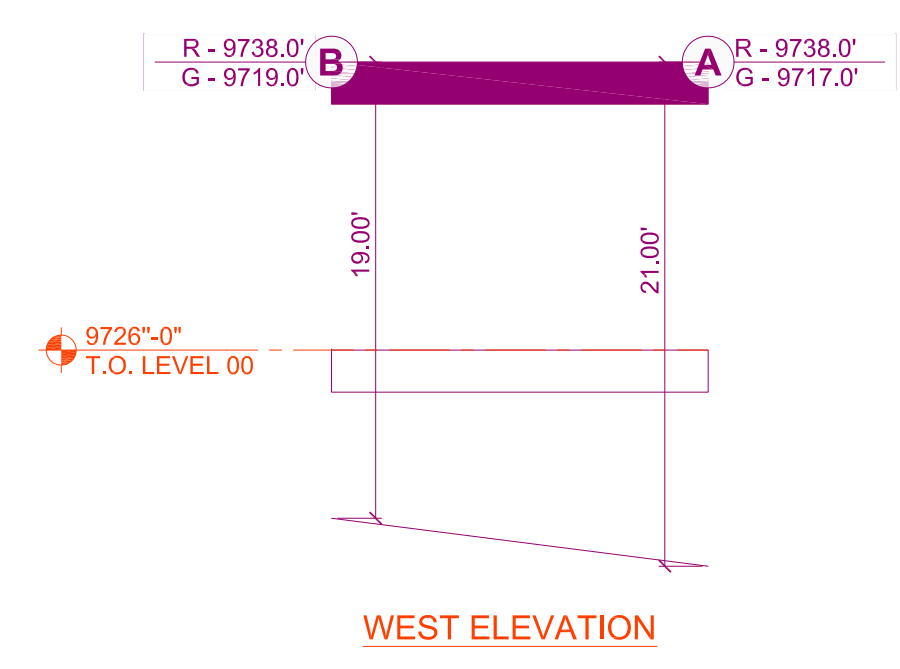
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submissions	
10.31.2022	DRB
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05.25.2023	INT. SECTIONS
06.19.2023	DRB CONDITIONS

137  
 GRANITE  
 RIDGE

HEIGHT  
 CALC.  
 LEVEL 00

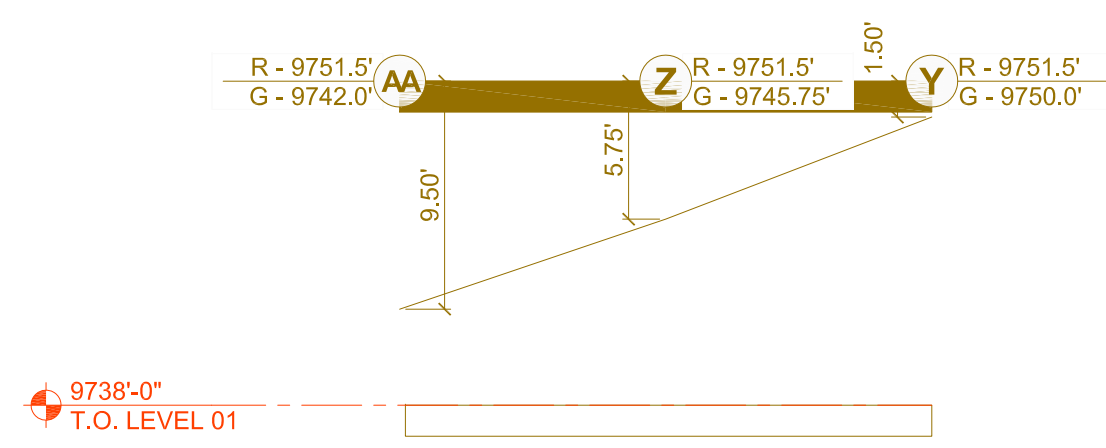
H3.00



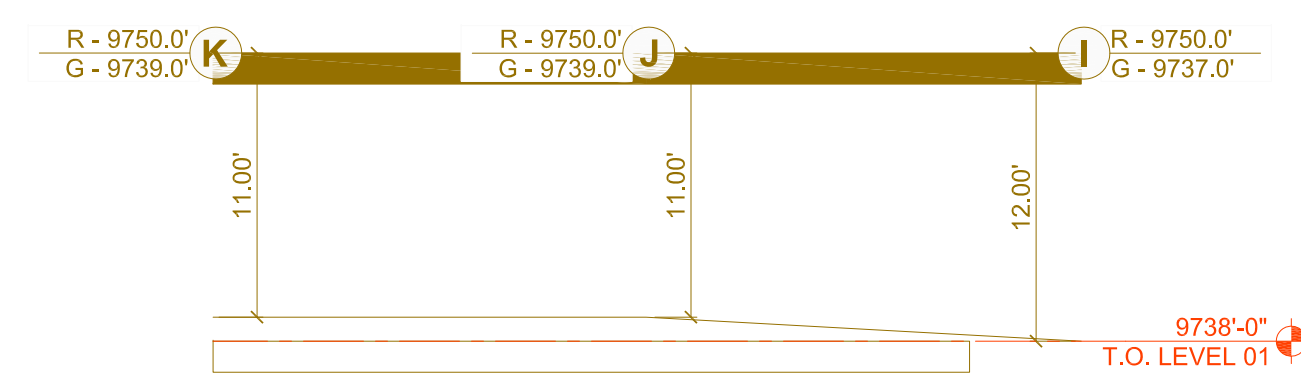
1 LEVEL 00 - HEIGHT CALCULATIONS  
 SCALE: 1/8" = 1'-0"  
 0' 2' 4' 8' 12'



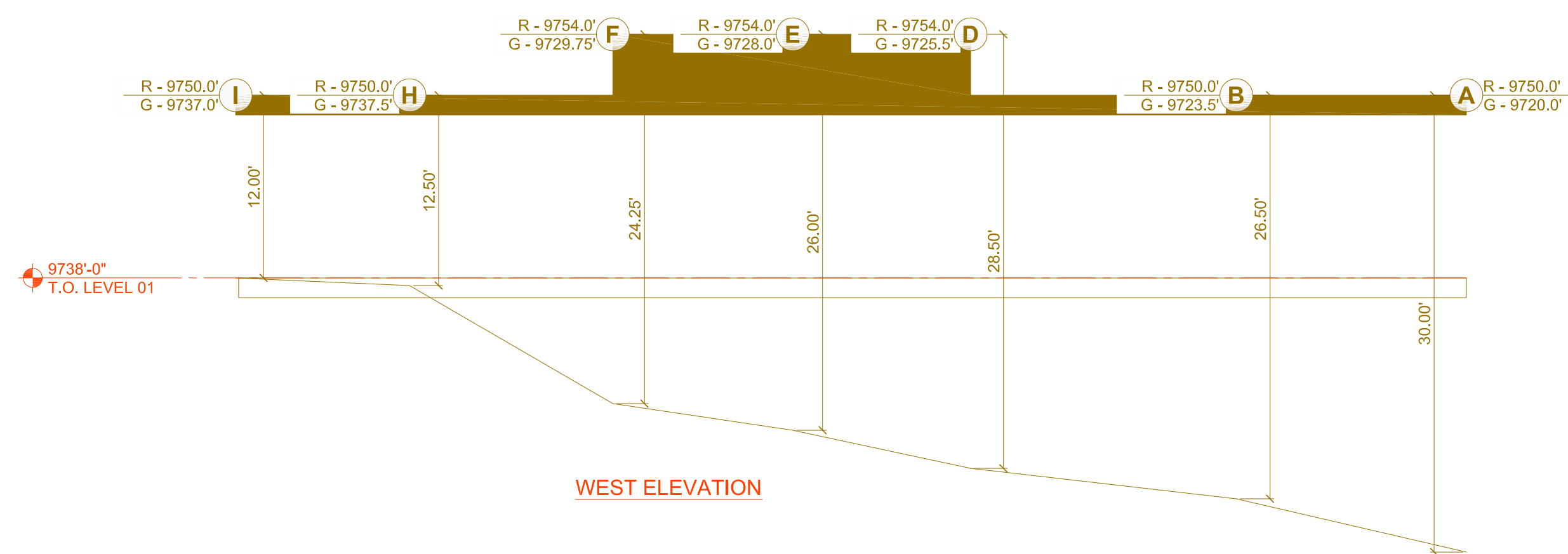
BUILDING HEIGHTS ARE MEASURED FOR EACH LEVEL ON PROJECTIONS OF 10' OR MORE BASED ON THE CDC SECTION 17.3.11  
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 REFER TO A3 SERIES FOR THE CONTEXTUAL ELEVATIONS  
 REFER TO A3.5 SERIES FOR THE 3D MASSING VIEWS



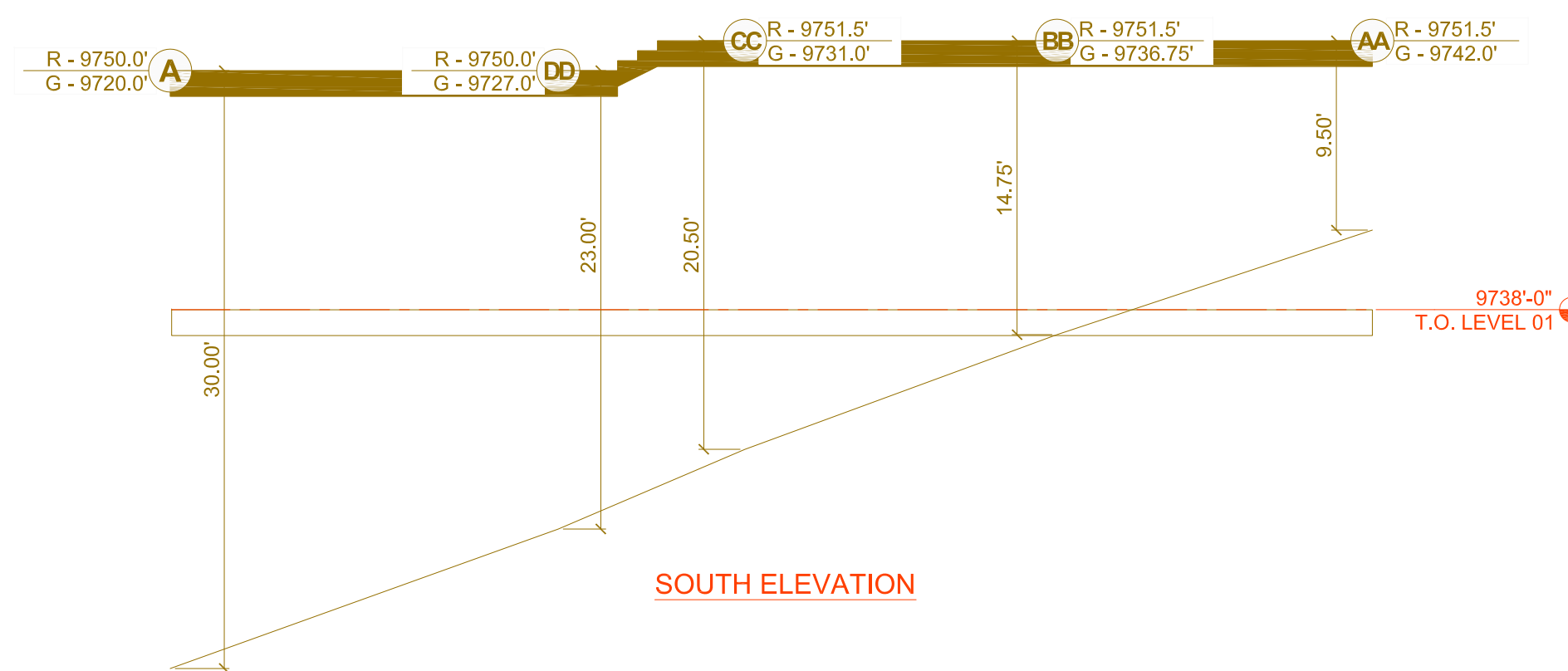
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

1 LEVEL 01 - HEIGHT CALCULATIONS  
 SCALE: 1/8" = 1'-0"  
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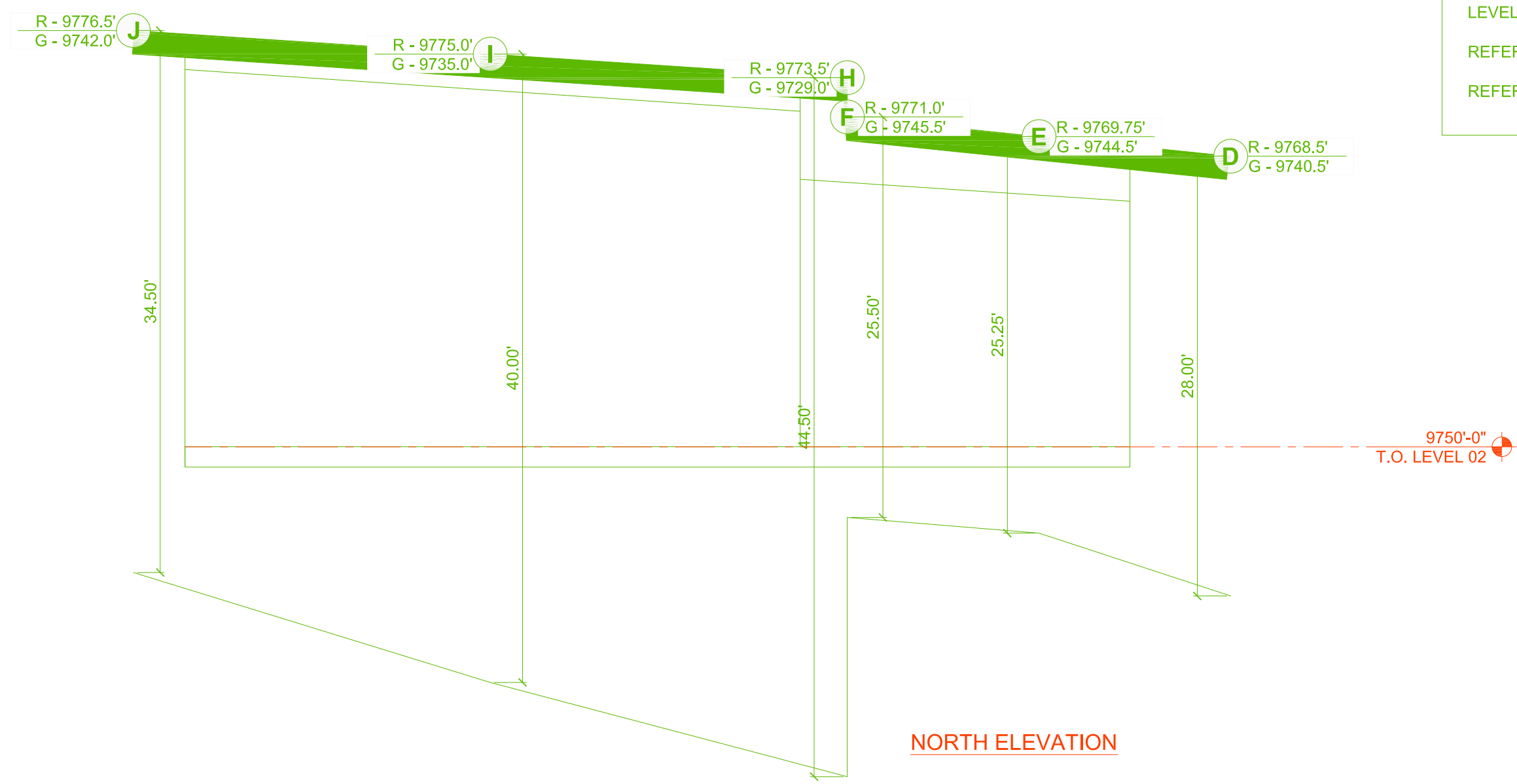
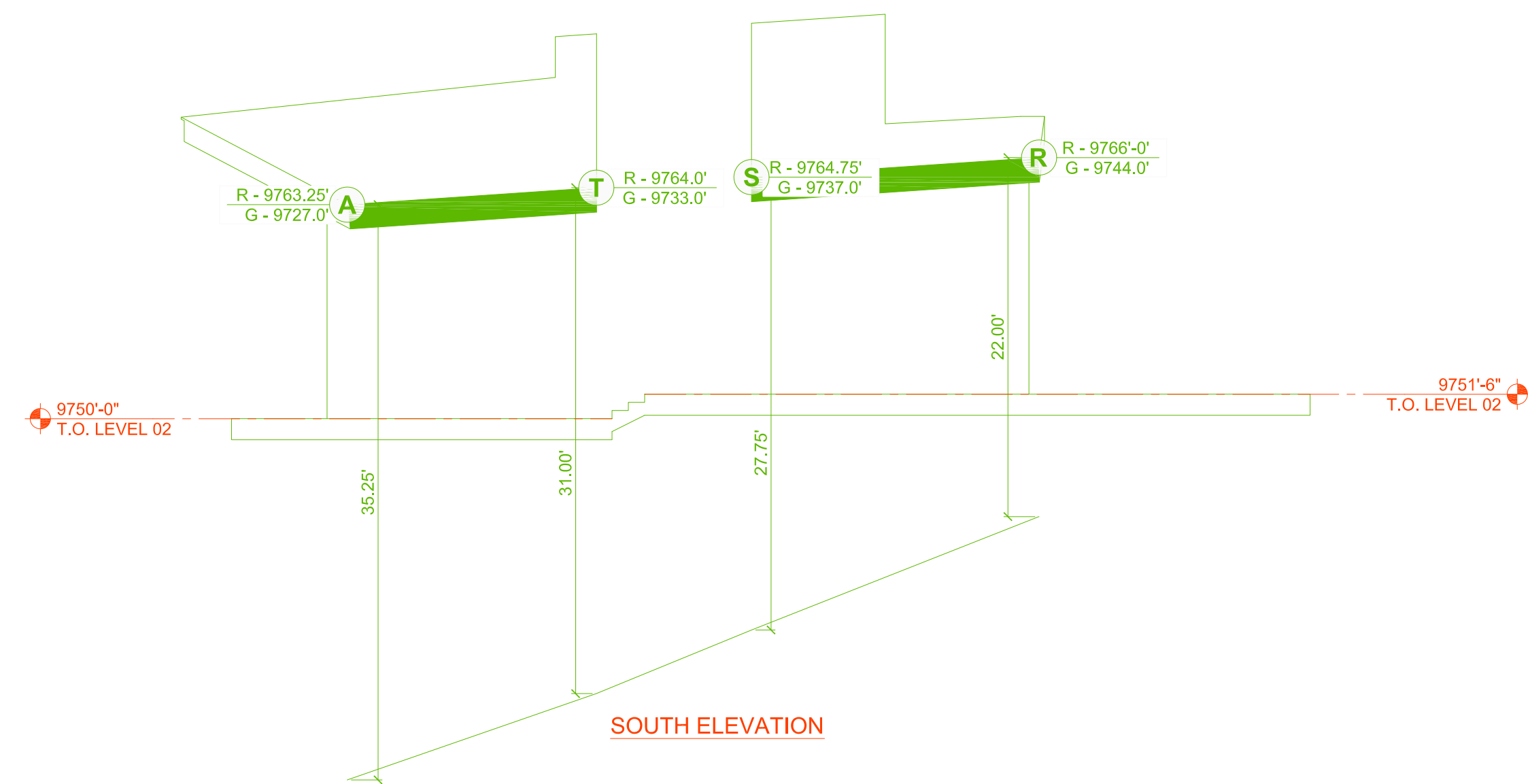
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137  
 GRANITE  
 RIDGE

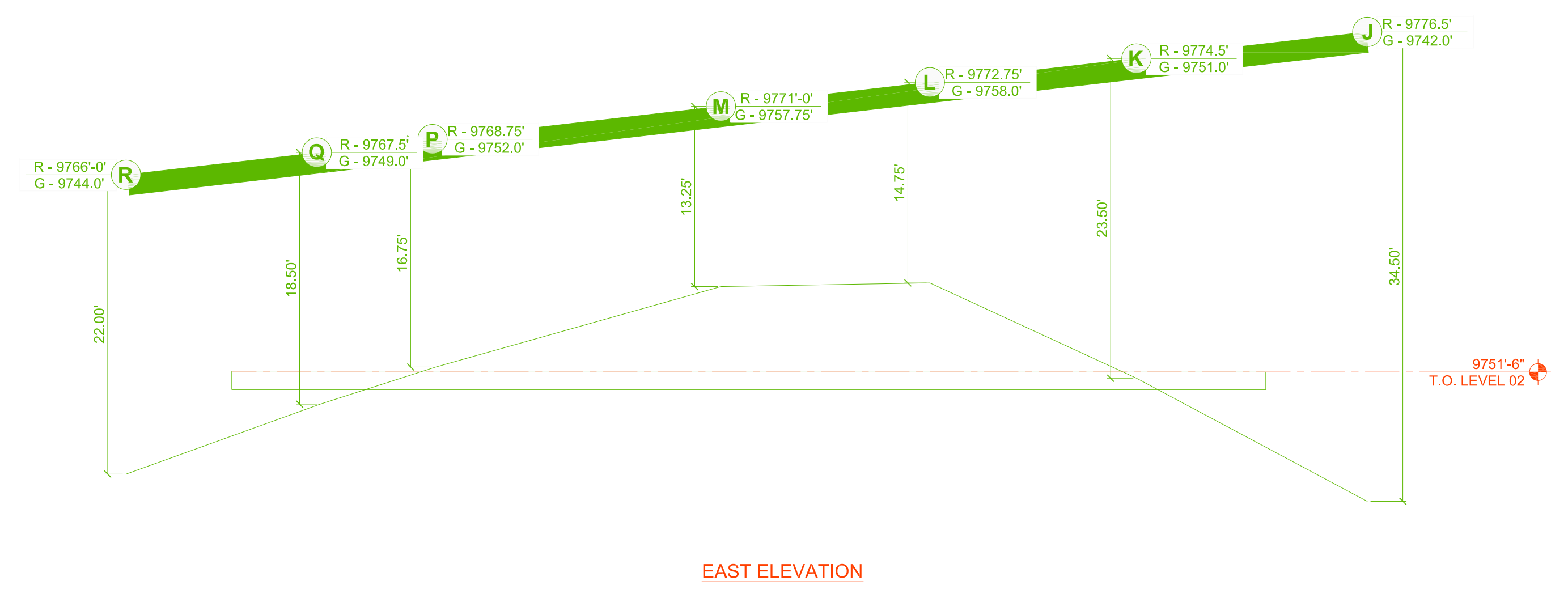
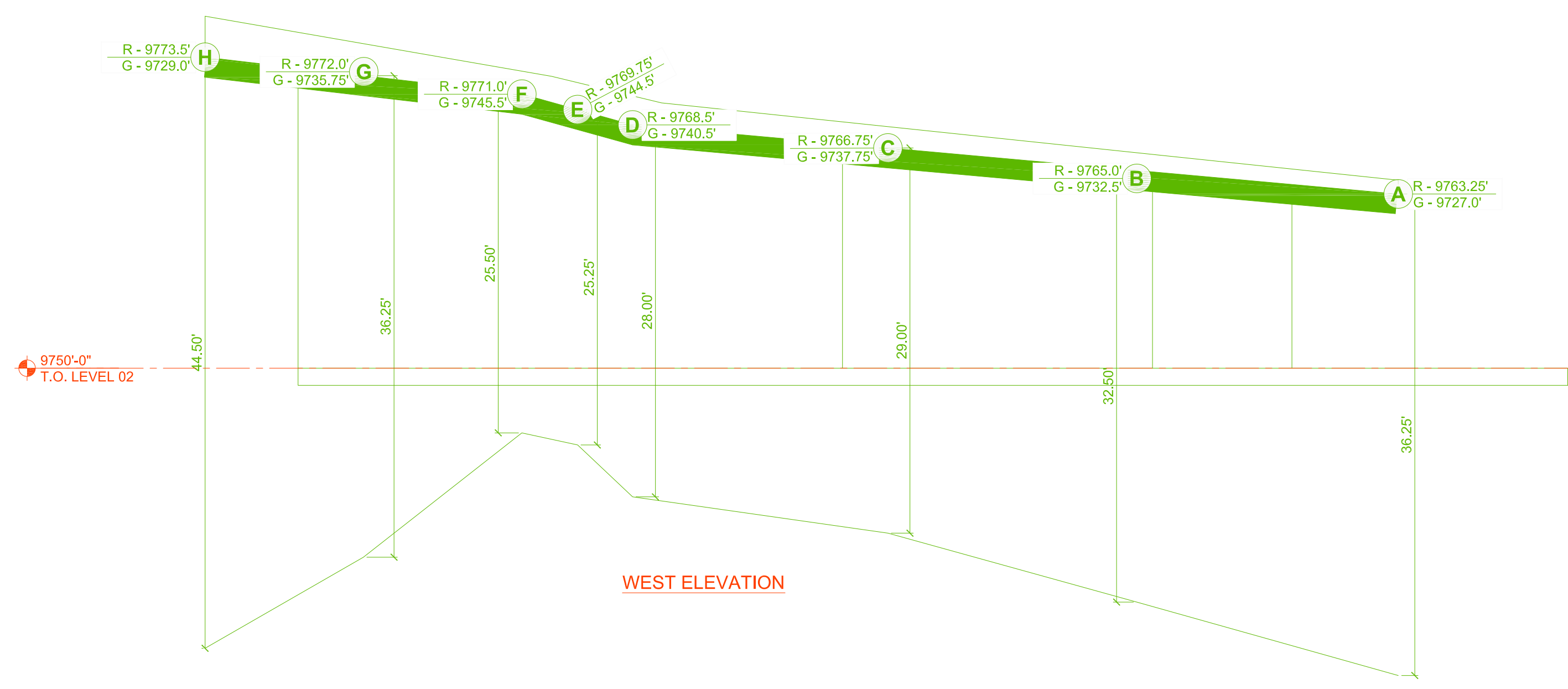
HEIGHT  
 CALC.  
 LEVEL 01

H3.01





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1 LEVEL 02 - HEIGHT CALCULATIONS  
 SCALE: 1/8" = 1'-0"  
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05.25.2023	DRB CONDITIONS
06.19.2023	

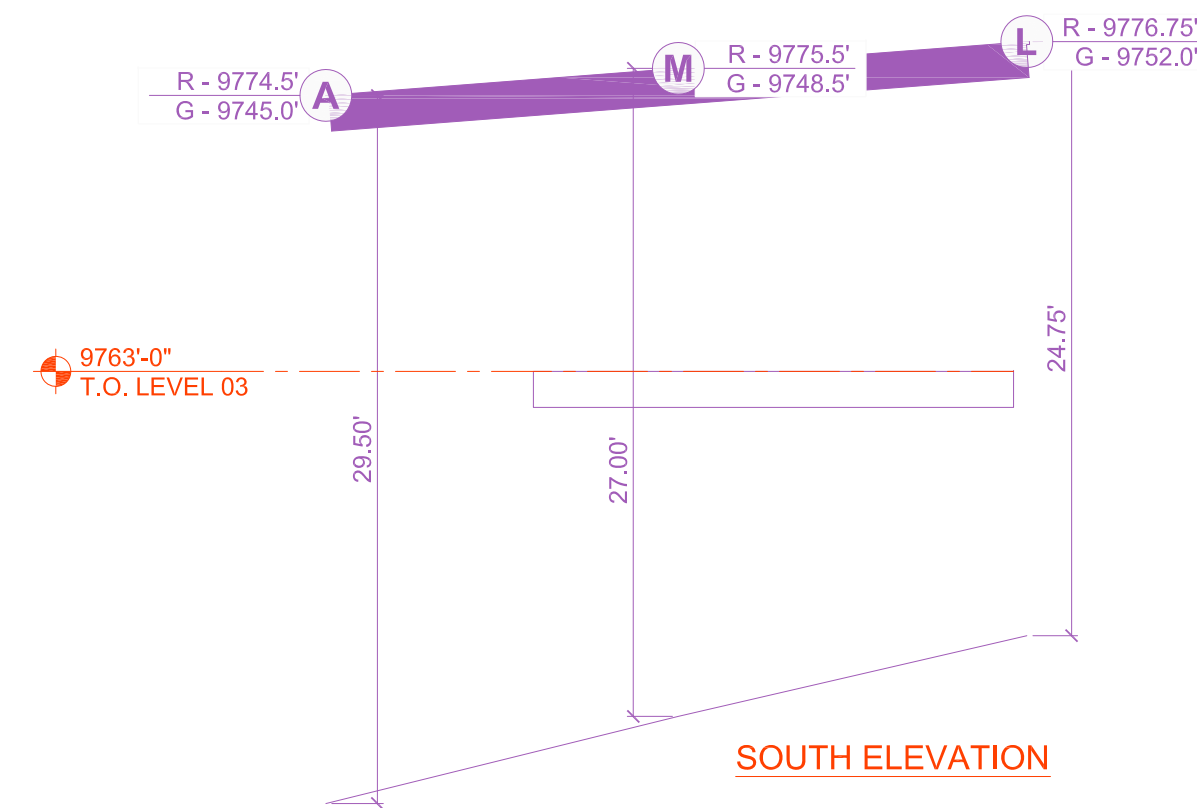
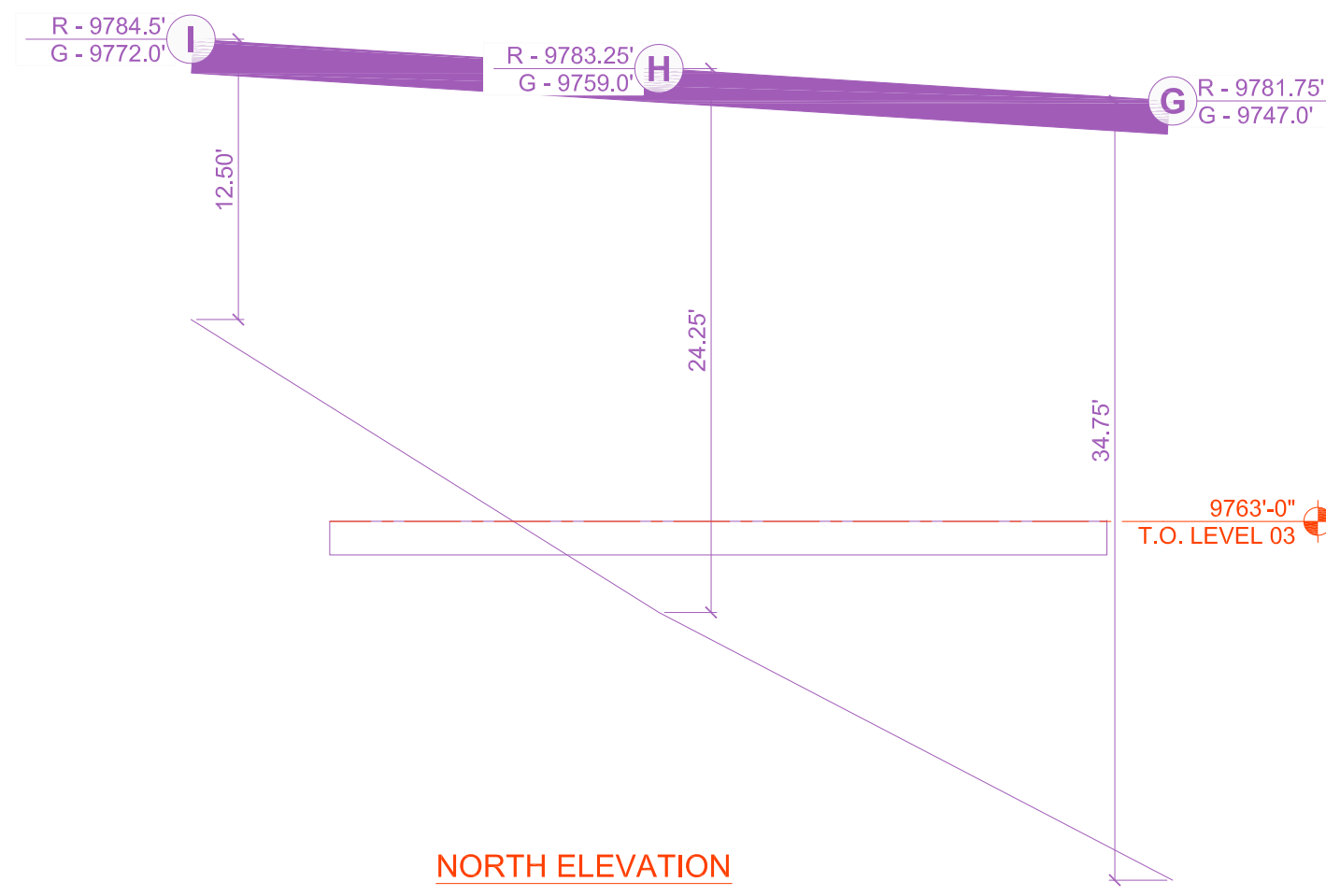
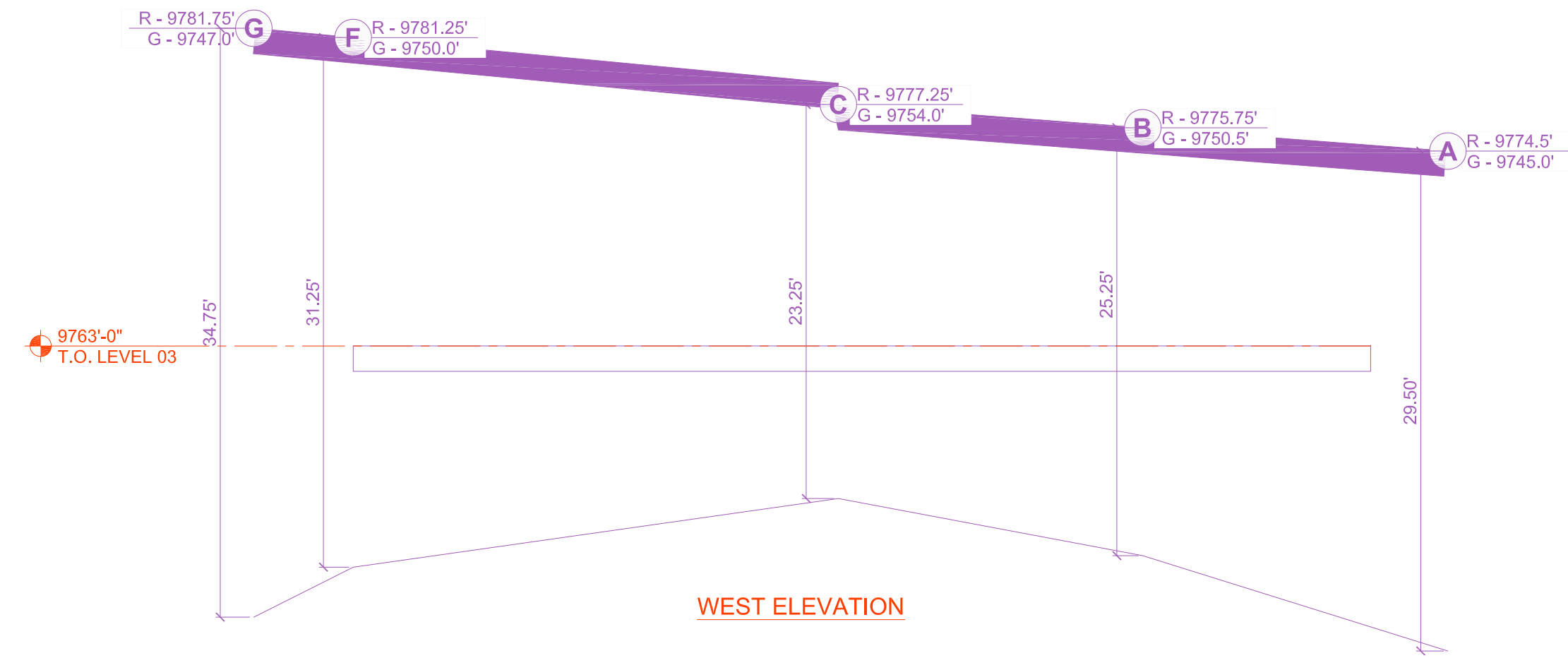
137  
 GRANITE  
 RIDGE

HEIGHT  
 CALC.  
 LEVEL 02

H3.02



BUILDING HEIGHTS ARE MEASURED FOR EACH LEVEL ON PROJECTIONS OF 10' OR MORE BASED ON THE CDC SECTION 17.3.11  
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06.19.2023	

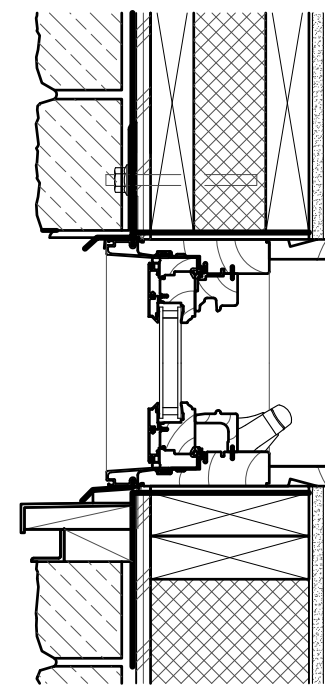
137  
 GRANITE  
 RIDGE

HEIGHT  
 CALC.  
 LEVEL 03

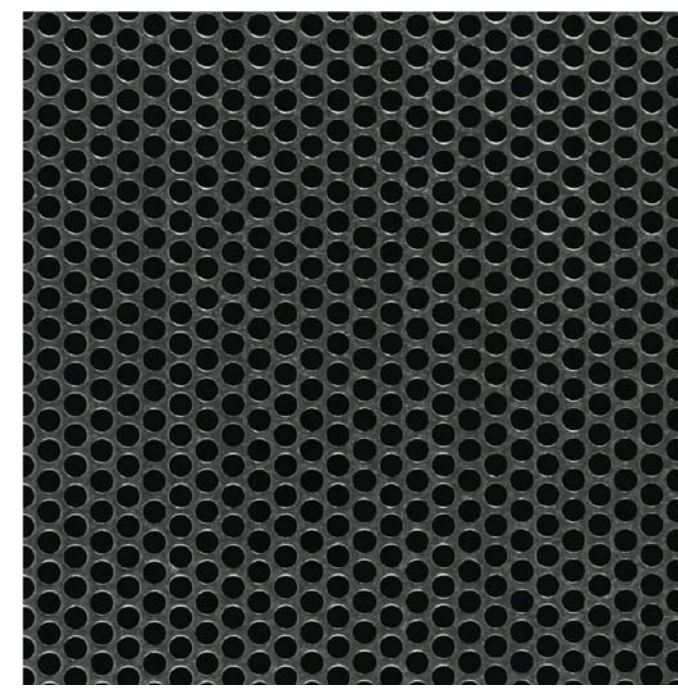
H3.03



THESE GRAPHICS REPRESENT THE CONTEXTUAL ELEVATIONS  
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 LEVEL (COLOR CODED) AS WELL AS FOR ALL LEVELS COMBINED.  
 REFER TO A3.5 SERIES FOR THE 3D MASSING VIEWS



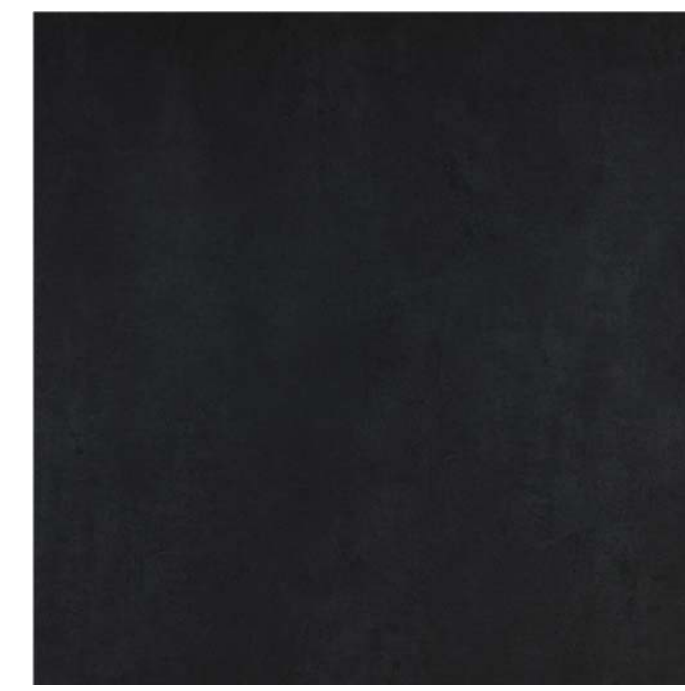
WINDOW IN STONE



PERFORATED STEEL



GLASS RAIL PANELS



PAINTED STEEL PANELS  
SIDING | FASCIA | SOFFIT



CLAD  
FENESTRATION

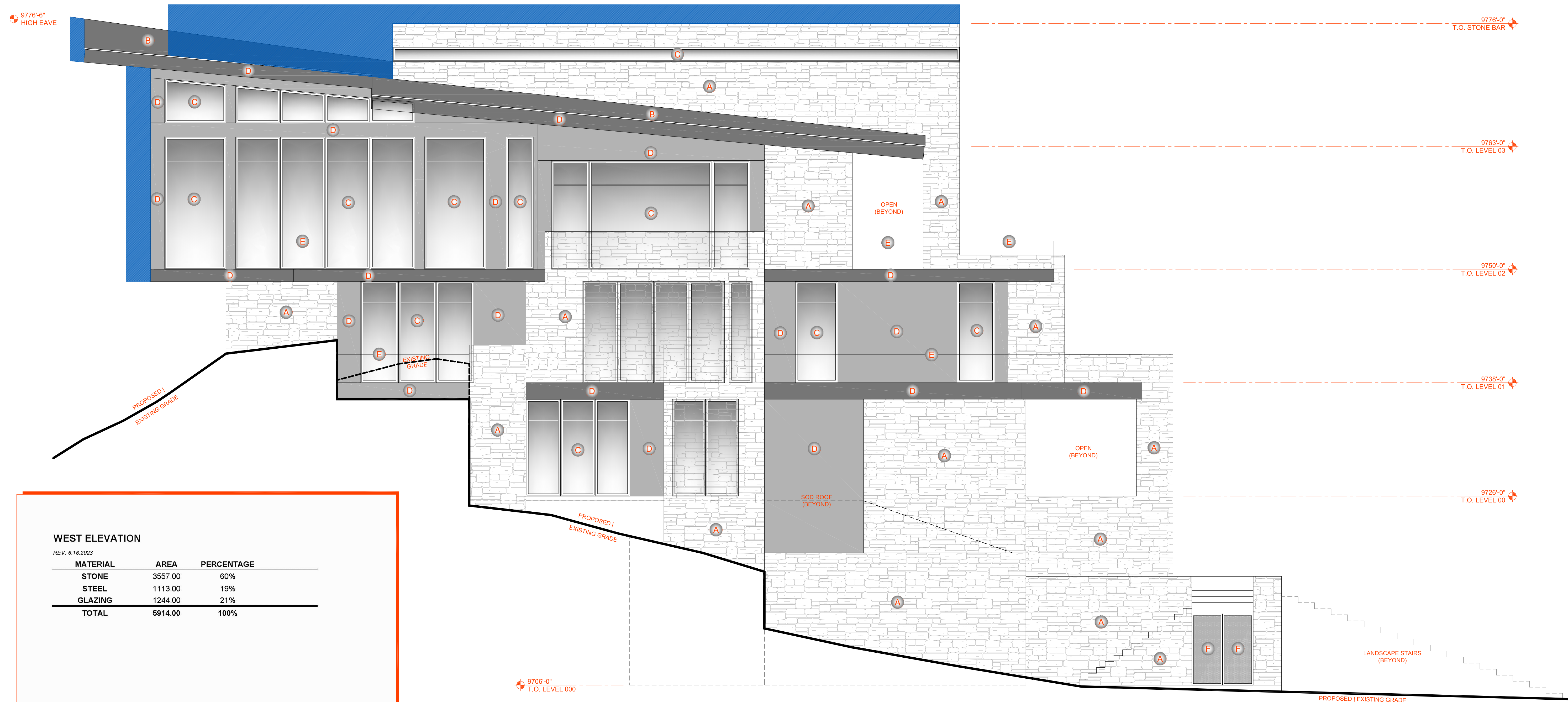


STANDING SEAM  
ROOFING



STONE VENEER

DRB1 MASS REDUCTION



WEST ELEVATION

REV: 6.16.2023

MATERIAL	AREA	PERCENTAGE
STONE	3557.00	60%
STEEL	1113.00	19%
GLAZING	1244.00	21%
<b>TOTAL</b>	<b>5914.00</b>	<b>100%</b>

MATERIAL SUMMARY

REV: 6.16.2023

ELEVATION	STONE	STEEL	GLAZING
WEST	3557.00	1113.00	1244.00
SOUTH	3160.00	1147.00	1179.00
EAST	473.00	751.00	330.00
NORTH	590.00	859.00	1064.00
<b>TOTAL WALL AREA</b>	<b>7780.00</b>	<b>3870.00</b>	<b>3817.00</b>
<b>PERCENTAGE</b>	<b>50%</b>	<b>25%</b>	<b>25%</b>

1 WEST COMPILED ELEVATION  
 SCALE: 3/16" = 1'-0"  
 0' 2' 4' 8' 12'

submissions	DRB
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05.25.2023	DRB CONDITIONS
06.19.2023	

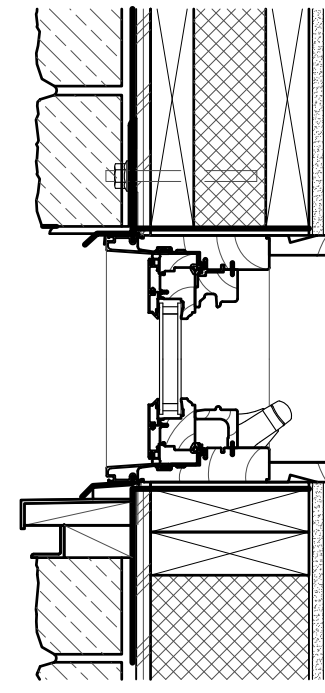
137  
GRANITE  
RIDGE

EXTERIOR  
ELEVATIONS &  
MATERIALS

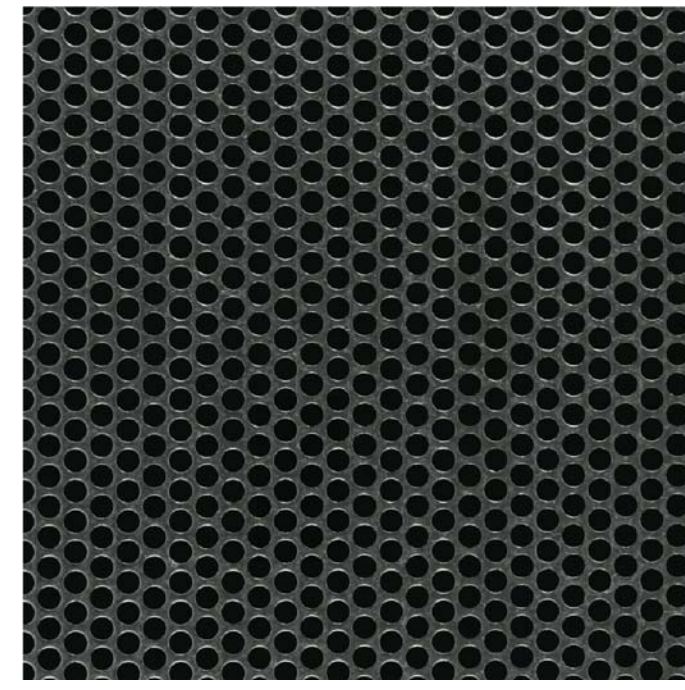
A3.1



THESE GRAPHICS REPRESENT THE CONTEXTUAL ELEVATIONS  
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 REFER TO A3.5 SERIES FOR THE 3D MASSING VIEWS



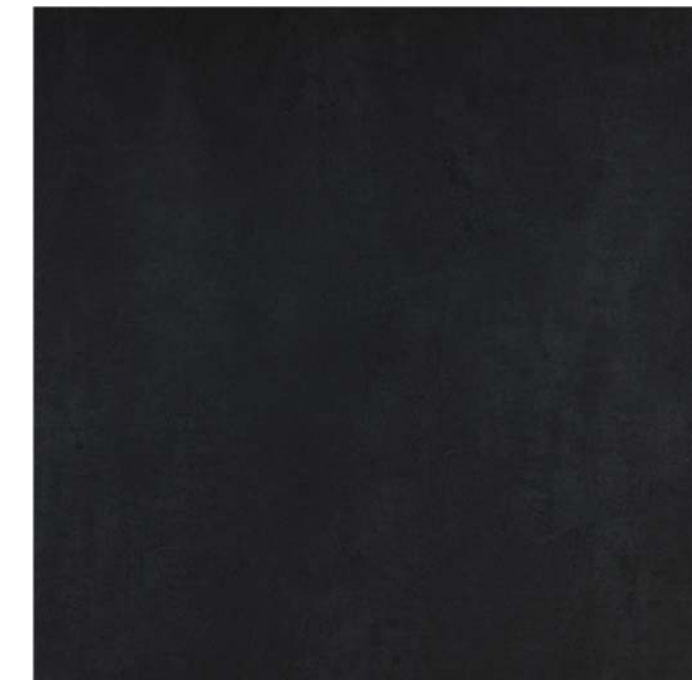
WINDOW IN STONE



PERFORATED STEEL



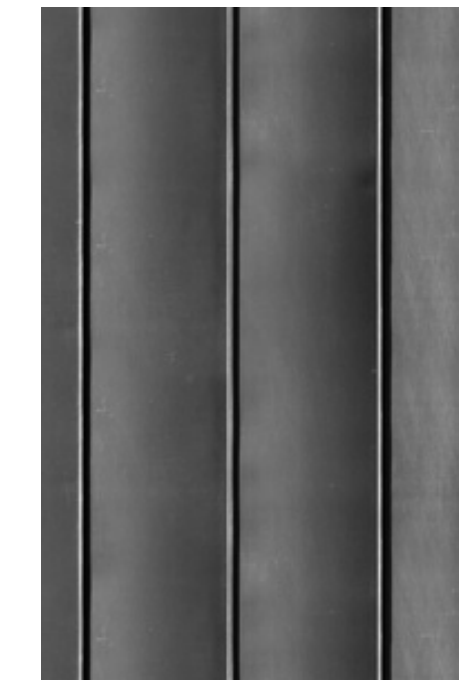
GLASS RAIL PANELS



PAINTED STEEL PANELS  
SIDING | FASCIA | SOFFIT



CLAD  
FENESTRATION



STANDING SEAM  
ROOFING



STONE VENEER

SOUTH ELEVATION

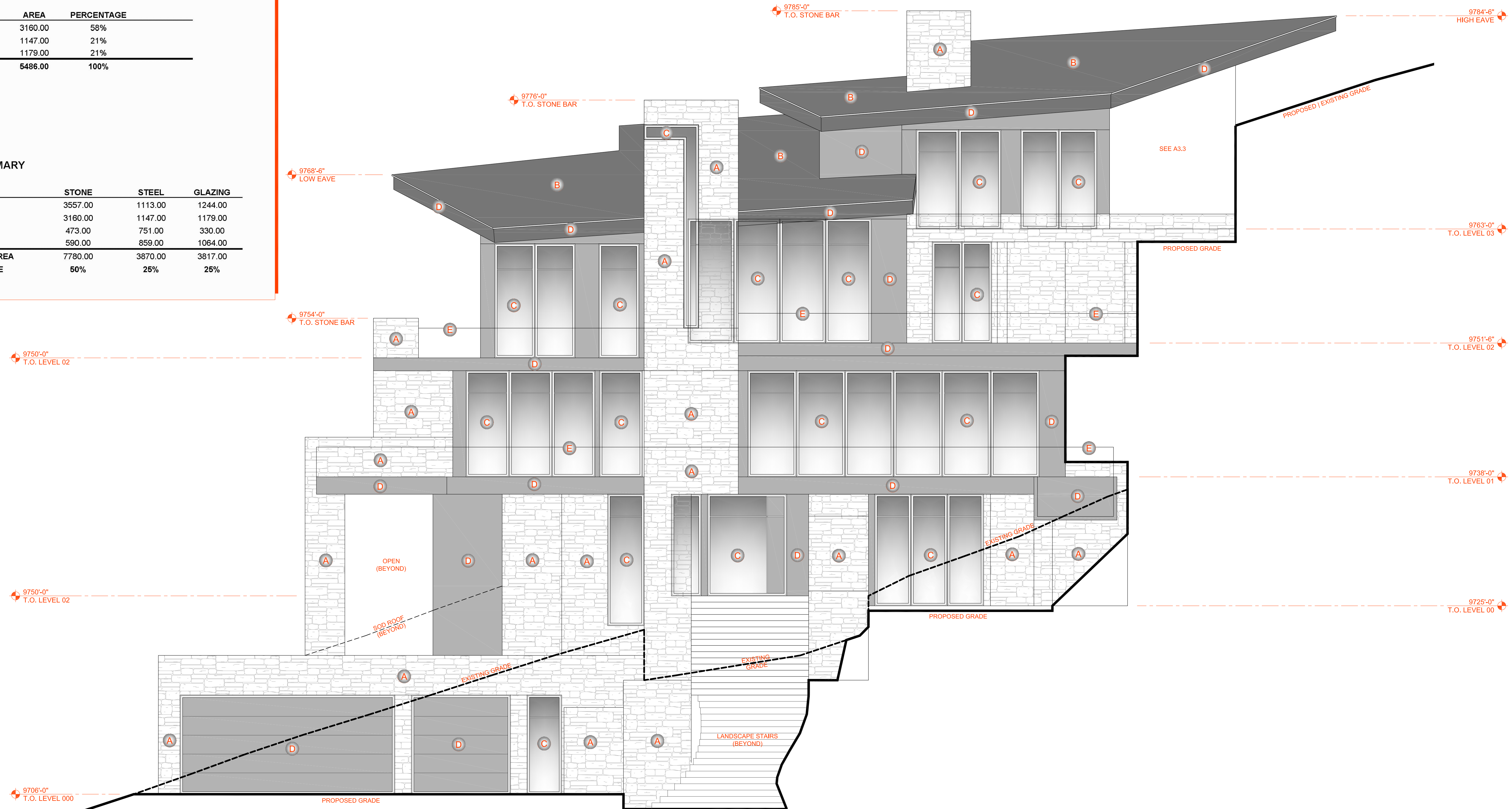
REV: 6.16.2023

MATERIAL	AREA	PERCENTAGE
STONE	3160.00	58%
STEEL	1147.00	21%
GLAZING	1179.00	21%
TOTAL	5486.00	100%

MATERIAL SUMMARY

REV: 6.16.2023

ELEVATION	STONE	STEEL	GLAZING
WEST	3557.00	1113.00	1244.00
SOUTH	3160.00	1147.00	1179.00
EAST	473.00	751.00	330.00
NORTH	590.00	859.00	1064.00
TOTAL WALL AREA	7780.00	3870.00	3817.00
PERCENTAGE	50%	25%	25%



1 SOUTH COMPILED ELEVATION  
 SCALE: 3/16" = 1'-0"  
 0' 2' 4' 8' 12'

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 05.19.2023 INT. SECTIONS  
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 06.19.2023

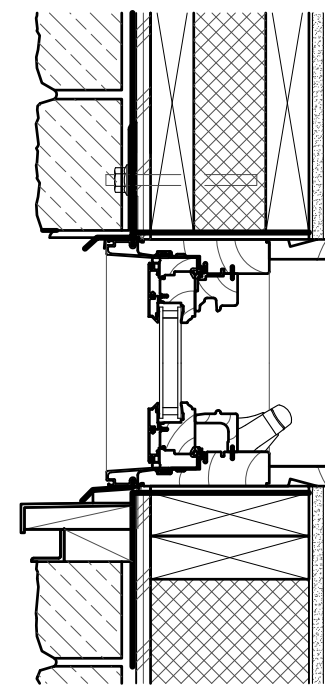
137  
 GRANITE  
 RIDGE

EXTERIOR  
 ELEVATIONS &  
 MATERIALS

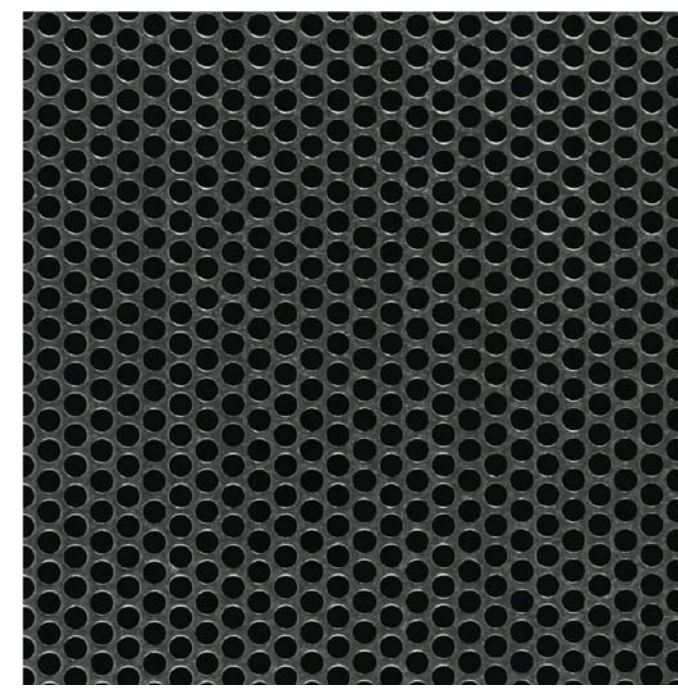
A3.2



THESE GRAPHICS REPRESENT THE CONTEXTUAL ELEVATIONS  
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 REFER TO A3.5 SERIES FOR THE 3D MASSING VIEWS



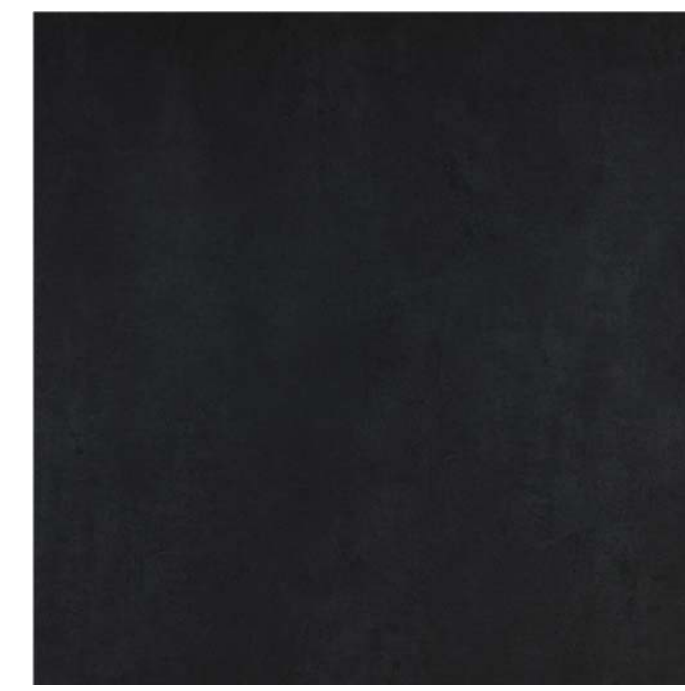
WINDOW IN STONE



F  
PERFORATED STEEL



E  
GLASS RAIL PANELS



D  
PAINTED STEEL PANELS  
SIDING | FASCIA | SOFFIT



C  
CLAD  
FENESTRATION



B  
STANDING SEAM  
ROOFING



A  
STONE VENEER

EAST ELEVATION

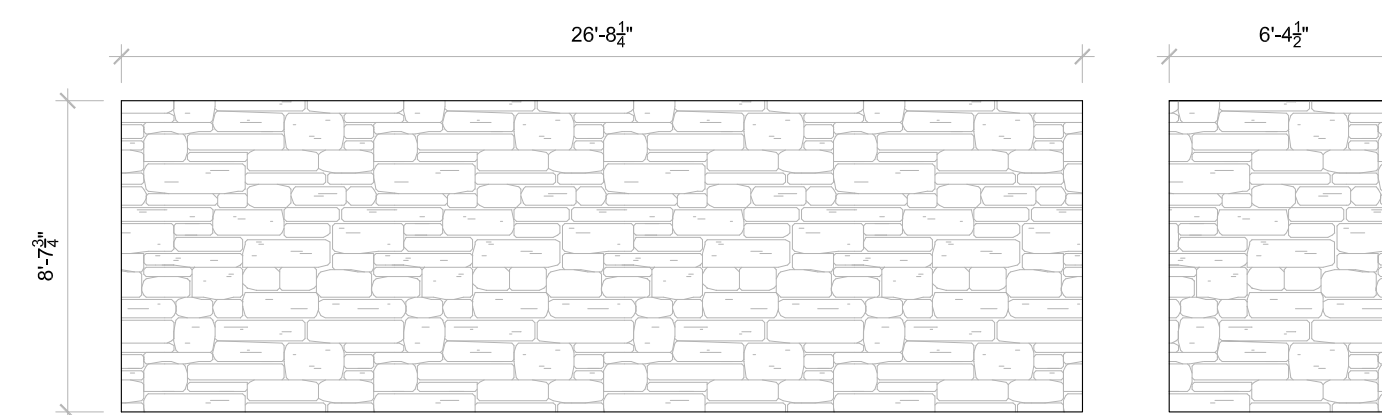
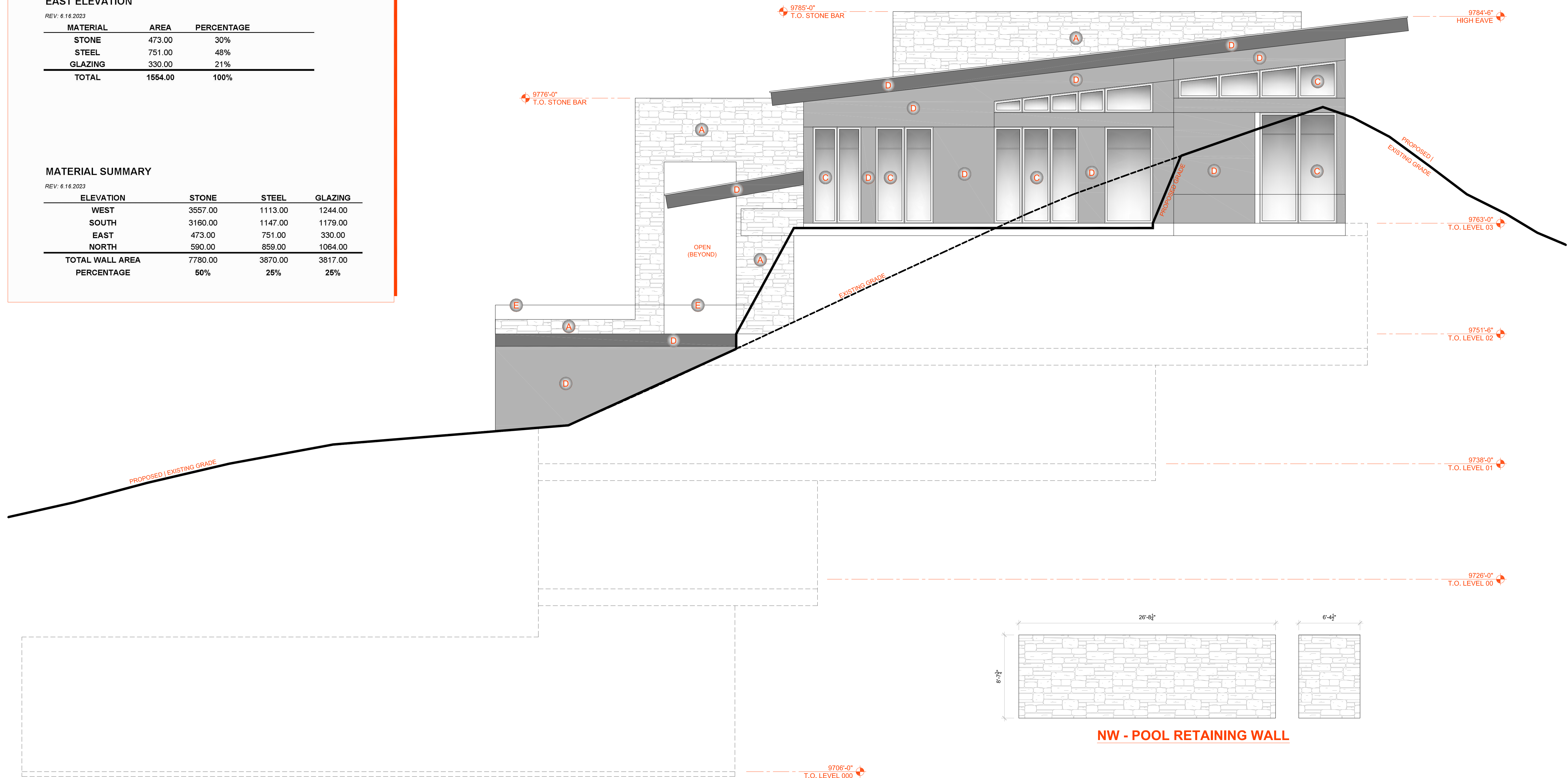
REV: 6.16.2023

MATERIAL	AREA	PERCENTAGE
STONE	473.00	30%
STEEL	751.00	48%
GLAZING	330.00	21%
TOTAL	1554.00	100%

MATERIAL SUMMARY

REV: 6.16.2023

ELEVATION	STONE	STEEL	GLAZING
WEST	3557.00	1113.00	1244.00
SOUTH	3160.00	1147.00	1179.00
EAST	473.00	751.00	330.00
NORTH	590.00	859.00	1064.00
TOTAL WALL AREA	7780.00	3870.00	3817.00
PERCENTAGE	50%	25%	25%



1 EAST COMPILED ELEVATION  
 SCALE: 3/16" = 1'-0"



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 05.19.2023 SECTIONS  
 05.25.2023 INT. SECTIONS  
 06.19.2023 DRB CONDITIONS

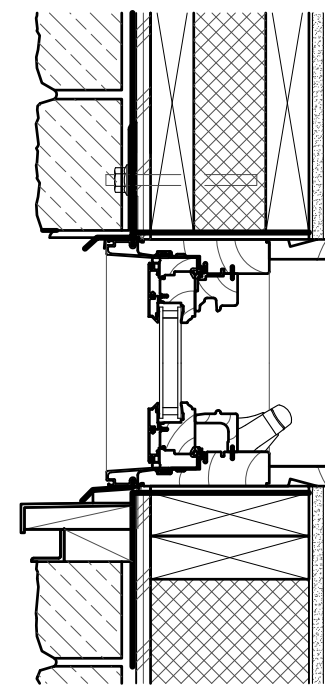
137  
 GRANITE  
 RIDGE

EXTERIOR  
 ELEVATIONS &  
 MATERIALS

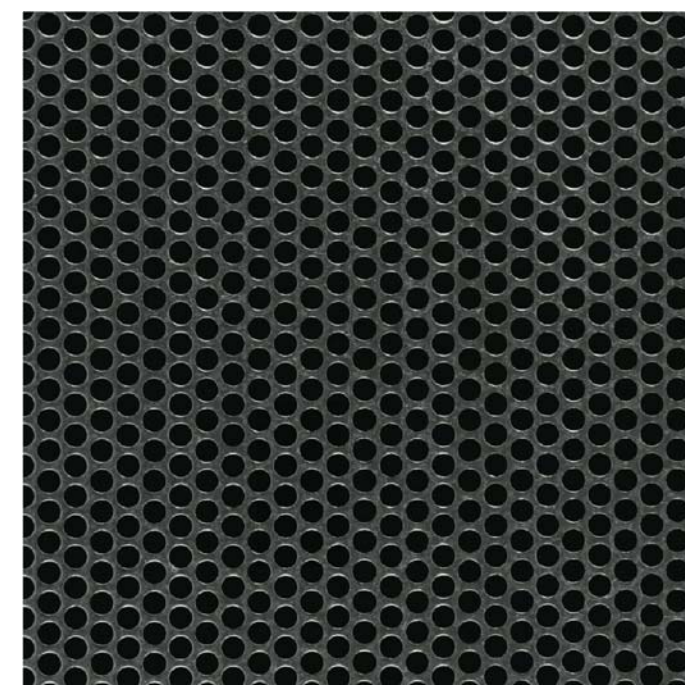
A3.3



THESE GRAPHICS REPRESENT THE CONTEXTUAL ELEVATIONS  
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 REFER TO A3.5 SERIES FOR THE 3D MASSING VIEWS



WINDOW IN STONE



PERFORATED STEEL



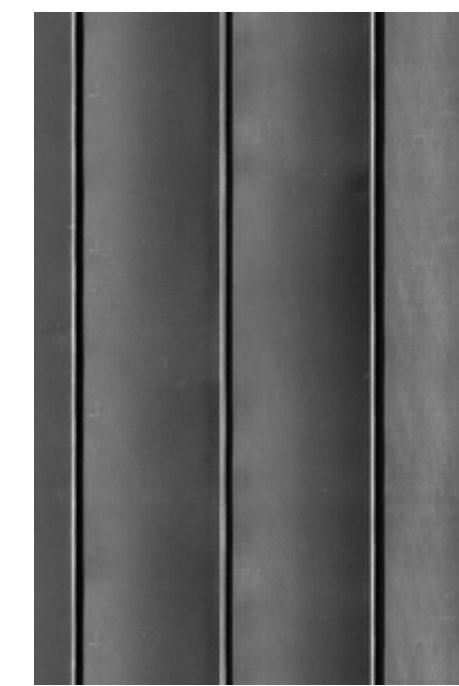
GLASS RAIL PANELS



PAINTED STEEL PANELS  
SIDING | FASCIA | SOFFIT



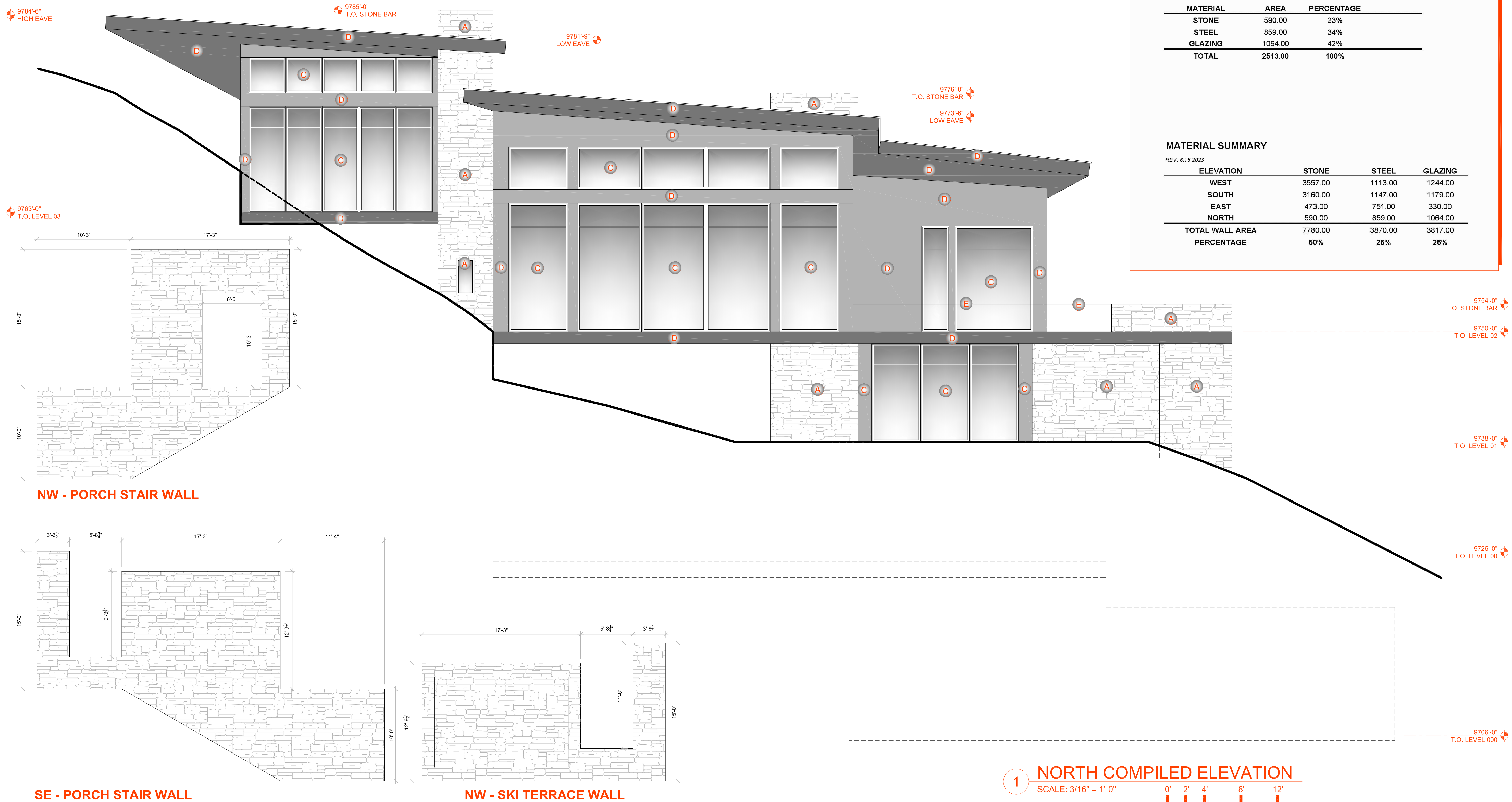
CLAD FENESTRATION



STANDING SEAM ROOFING



STONE VENEER



NORTH ELEVATION

REV: 6.16.2023

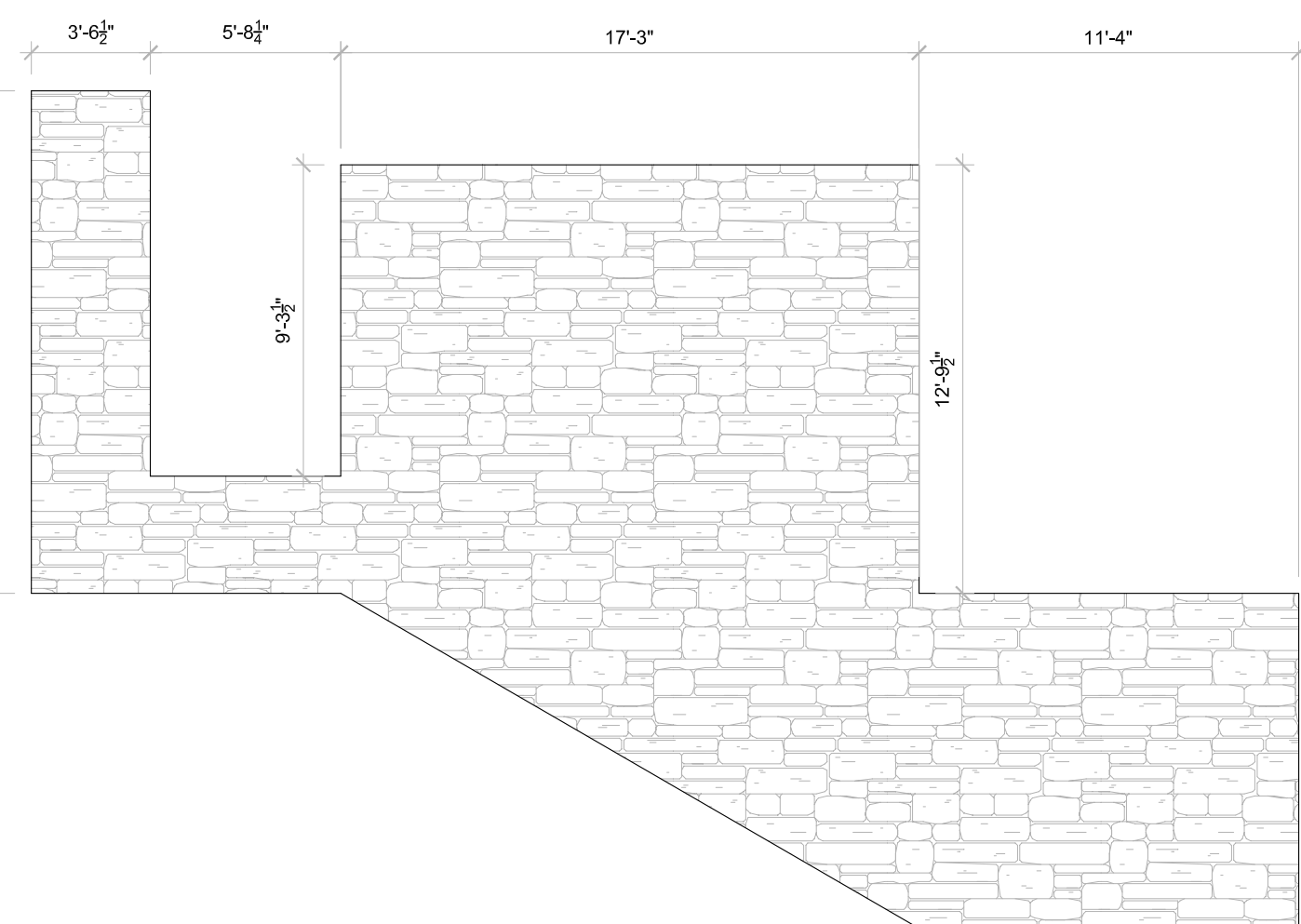
MATERIAL	AREA	PERCENTAGE
STONE	590.00	23%
STEEL	859.00	34%
GLAZING	1064.00	42%
<b>TOTAL</b>	<b>2513.00</b>	<b>100%</b>

MATERIAL SUMMARY

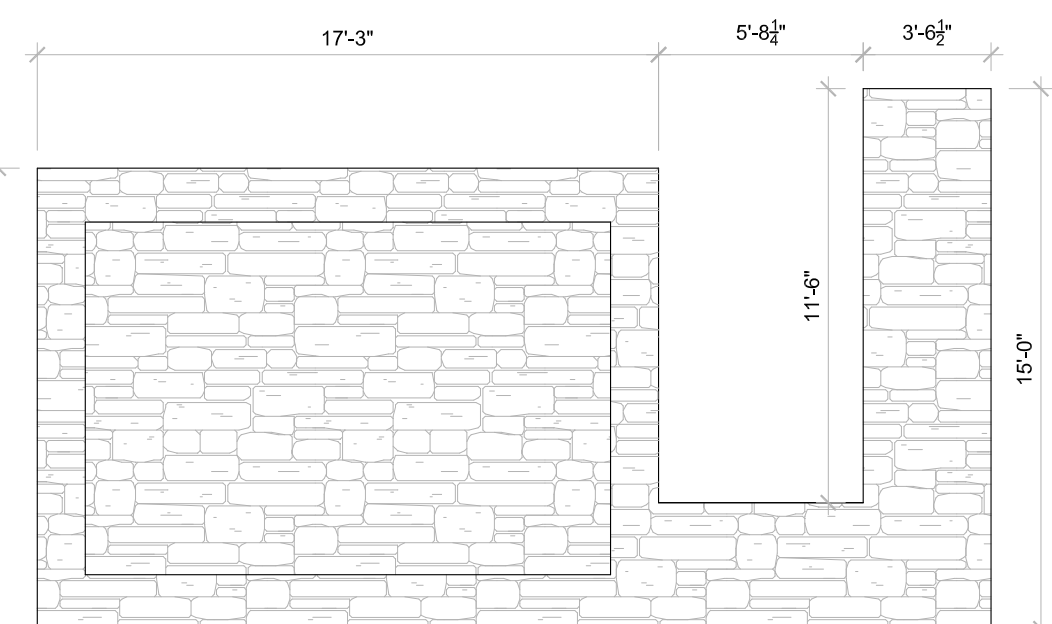
REV: 6.16.2023

ELEVATION	STONE	STEEL	GLAZING
WEST	3557.00	1113.00	1244.00
SOUTH	3160.00	1147.00	1179.00
EAST	473.00	751.00	330.00
NORTH	590.00	859.00	1064.00
<b>TOTAL WALL AREA</b>	<b>7780.00</b>	<b>3870.00</b>	<b>3817.00</b>
<b>PERCENTAGE</b>	<b>50%</b>	<b>25%</b>	<b>25%</b>

NW - PORCH STAIR WALL

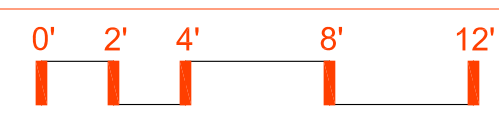


SE - PORCH STAIR WALL



NW - SKI TERRACE WALL

1 NORTH COMPILED ELEVATION  
 SCALE: 3/16" = 1'-0"



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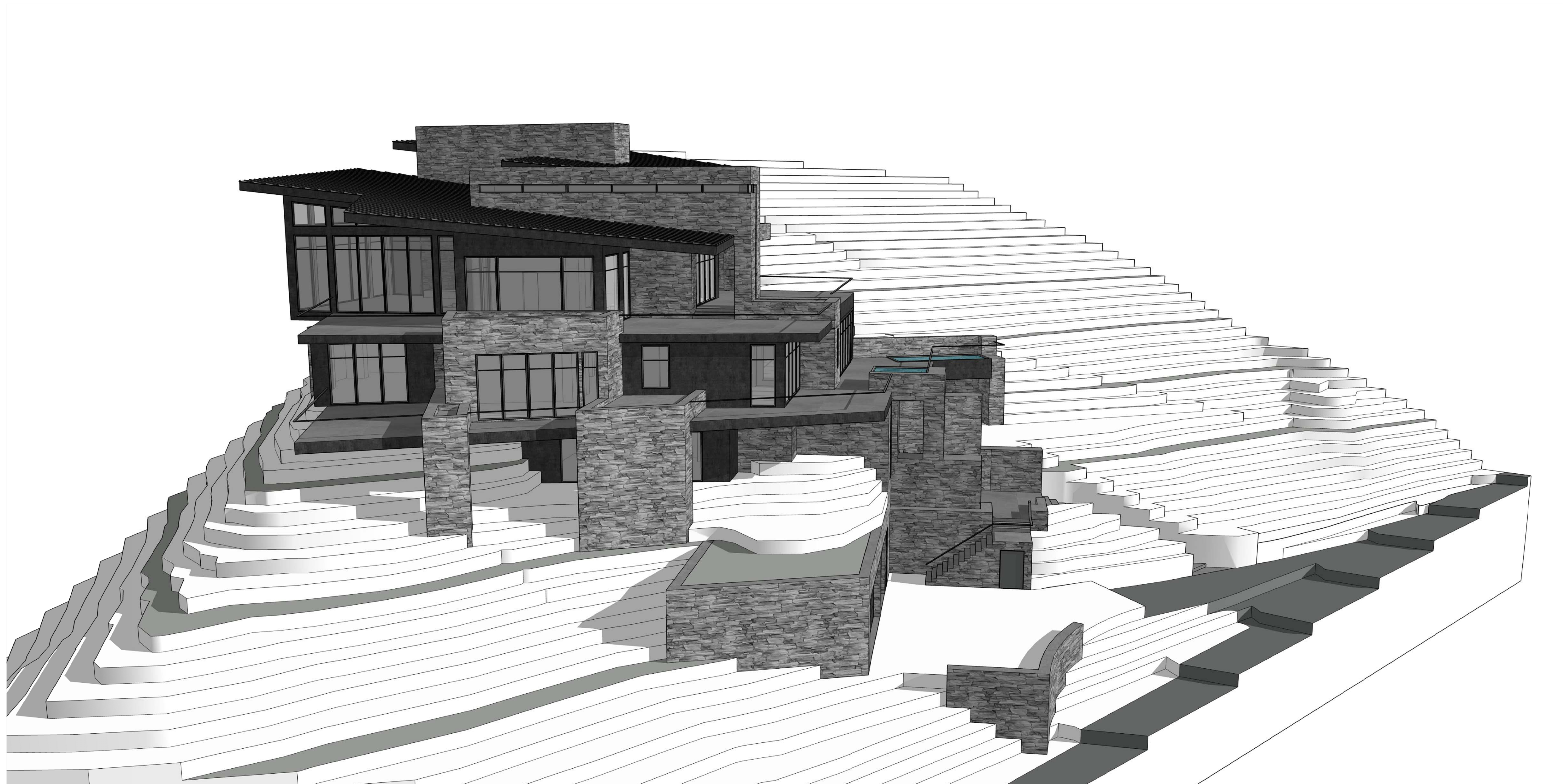
137  
 GRANITE  
 RIDGE

EXTERIOR  
 ELEVATIONS &  
 MATERIALS

A3.4

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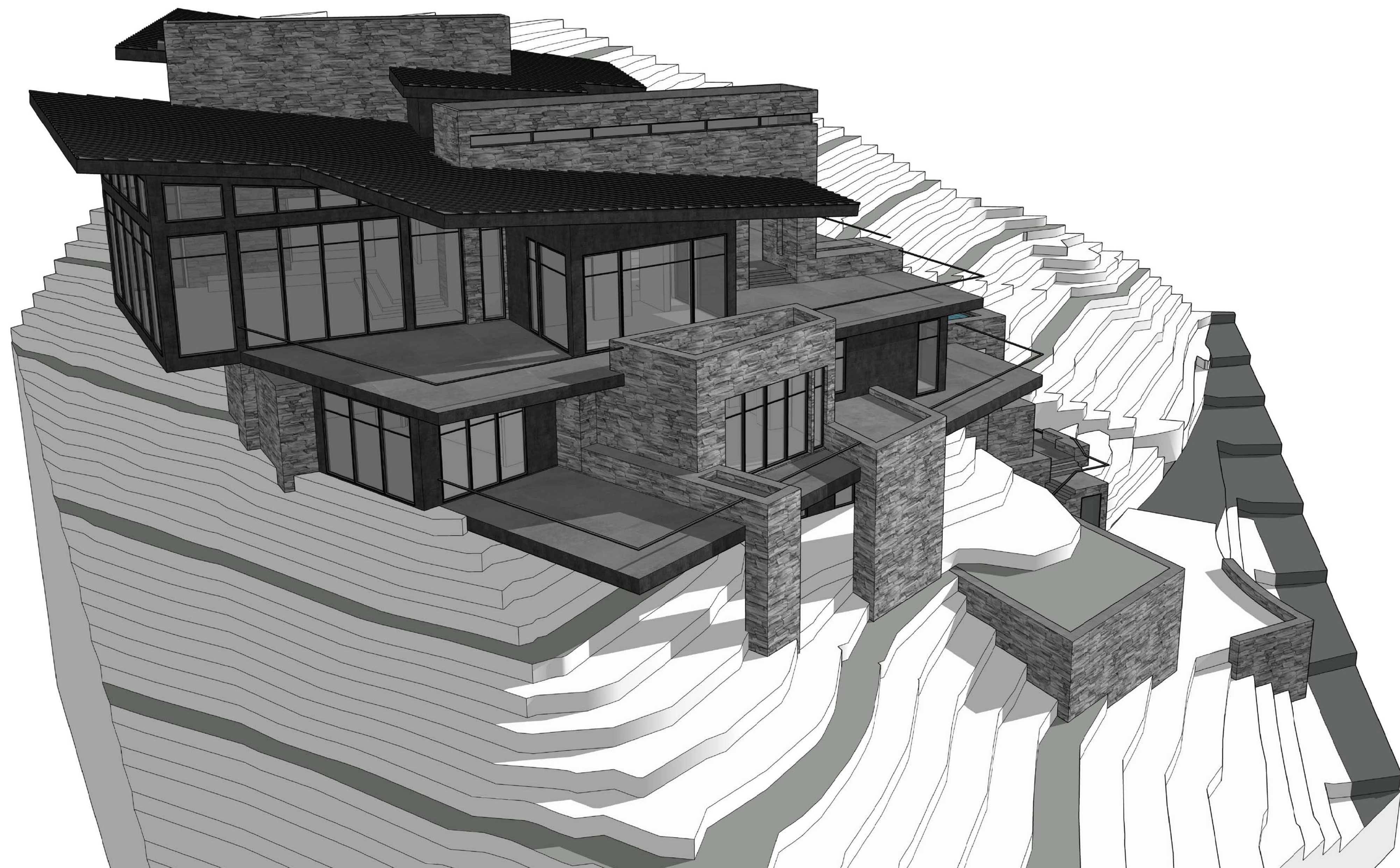
DRB  
BACKGROUNDS  
PLAN REFINEMENTS  
SECTIONS  
INT. SECTIONS  
DRB CONDITIONS

**137  
GRANITE  
RIDGE**

EXTERIOR  
MASSING

A3.15





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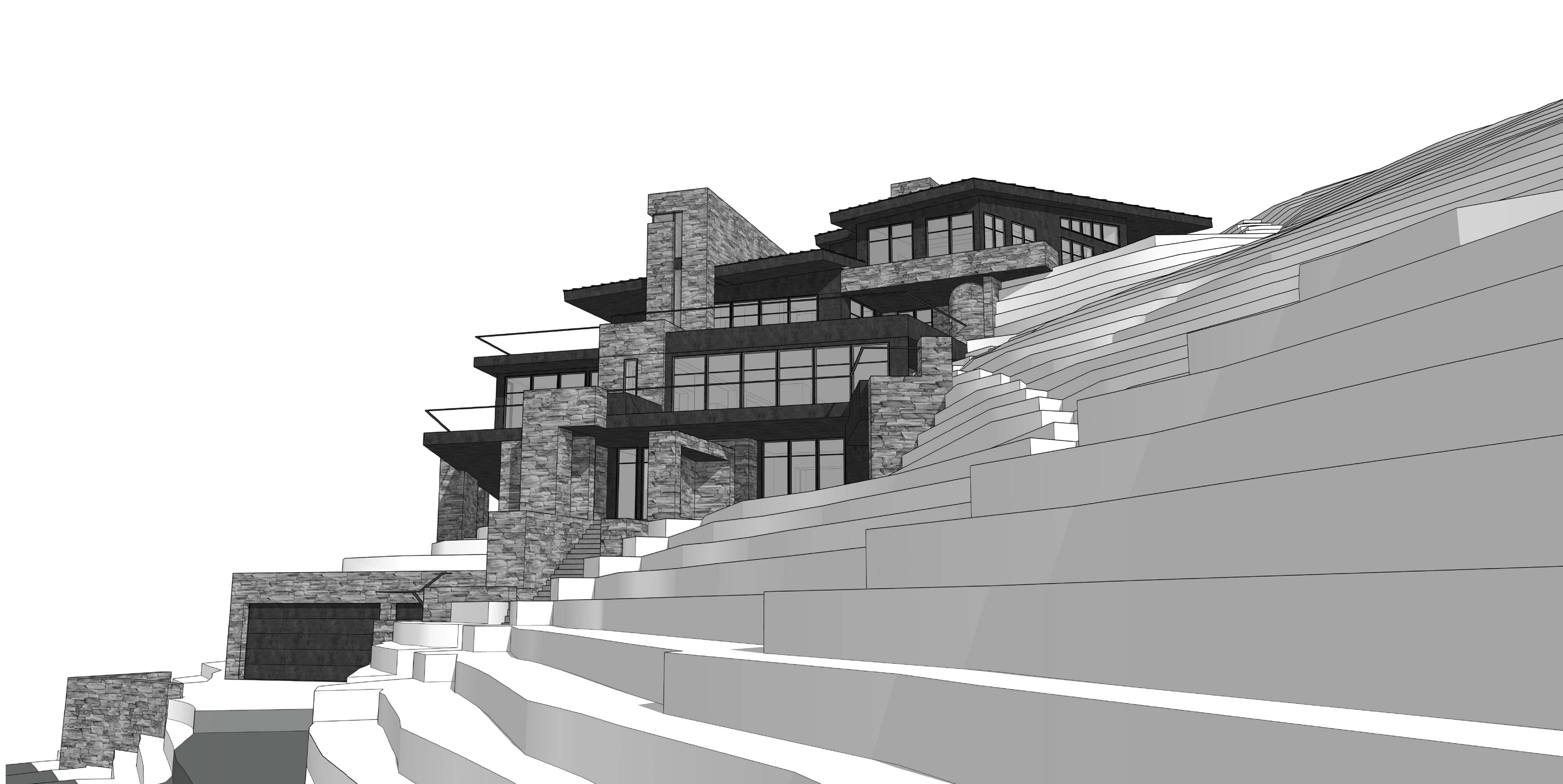
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**137  
GRANITE  
RIDGE**

EXTERIOR  
MASSING

A3.16





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**137  
GRANITE  
RIDGE**

**EXTERIOR  
MASSING**

**A3.17**





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05.19.2023	SECTIONS
05.25.2023	INT. SECTIONS
06.19.2023	DRB CONDITIONS

**137  
GRANITE  
RIDGE**

EXTERIOR  
MASSING

A3.18





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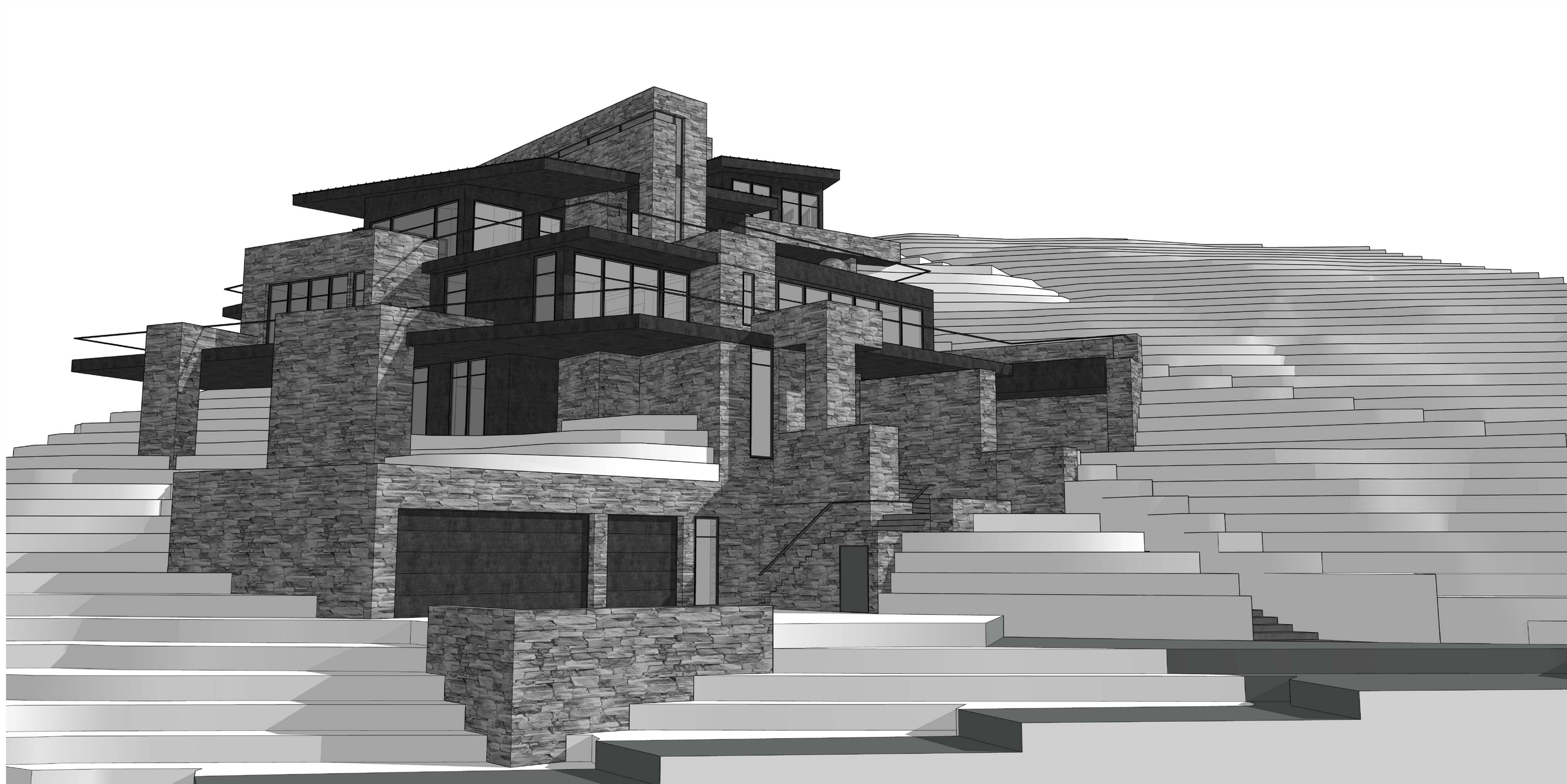
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05.02.2023	PLAN REFINEMENTS
05.19.2023	SECTIONS
05.25.2023	INT. SECTIONS
06.19.2023	DRB CONDITIONS

# 137 GRANITE RIDGE

EXTERIOR  
MASSING

# A3.19





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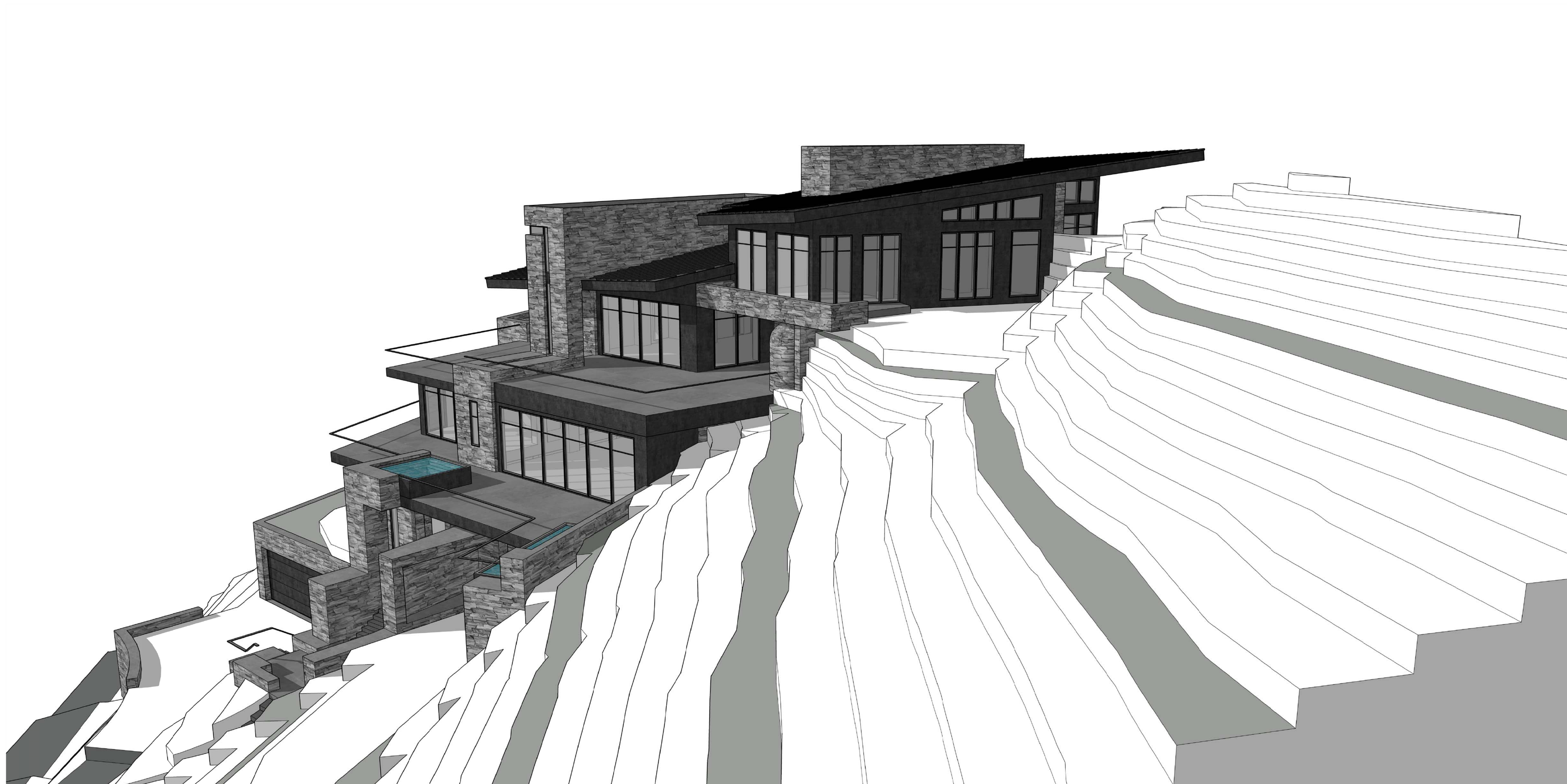
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05.02.2023	SECTIONS
05.19.2023	INT. SECTIONS
05.25.2023	DRB CONDITIONS
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**137  
GRANITE  
RIDGE**

EXTERIOR  
MASSING

A3.20





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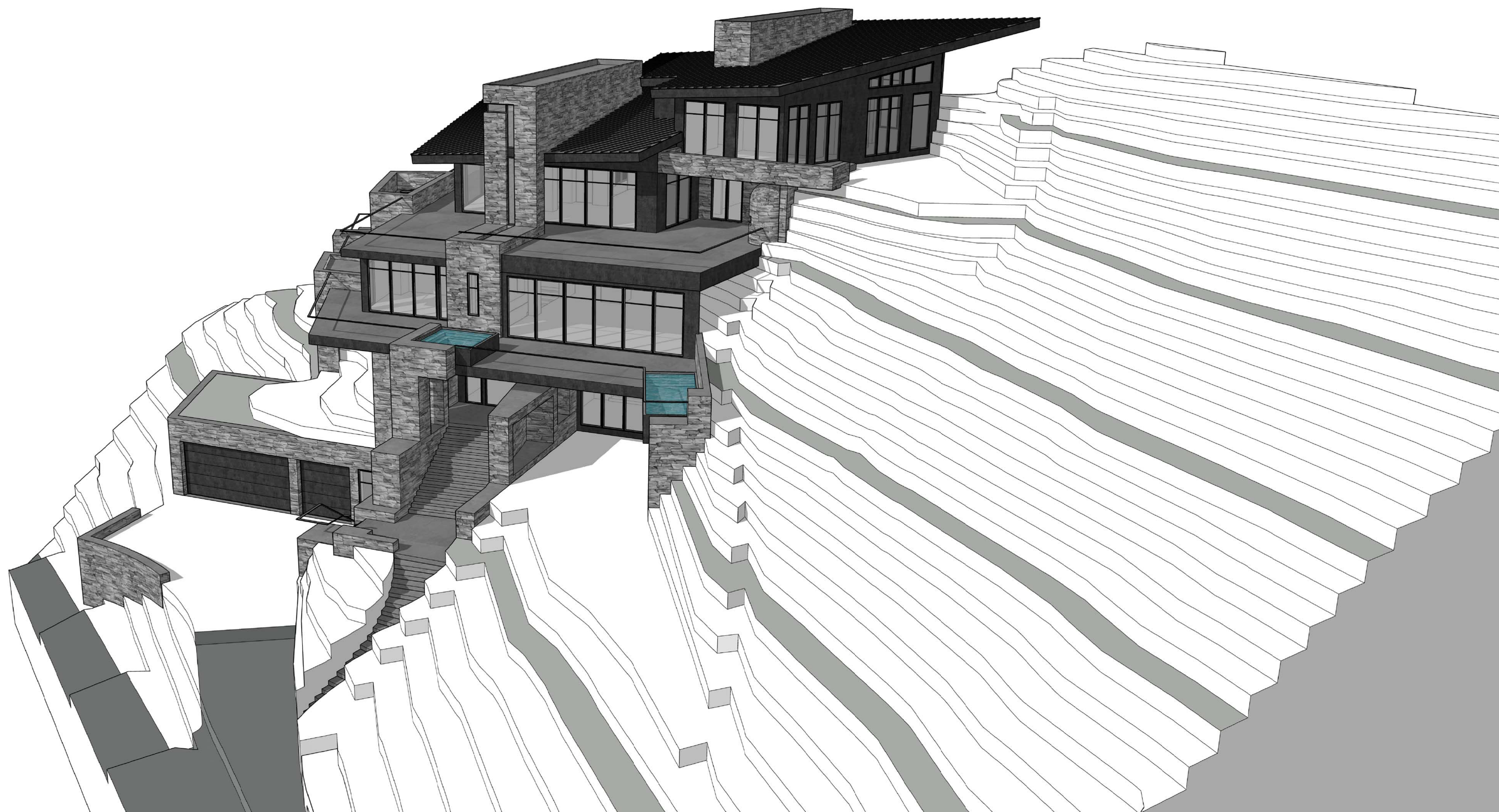
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05.02.2023	SECTIONS
05.19.2023	INT. SECTIONS
05.25.2023	DRB CONDITIONS
06.19.2023	

**137  
GRANITE  
RIDGE**

EXTERIOR  
MASSING

A3.21





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05.02.2023  
05.19.2023  
05.25.2023  
06.19.2023

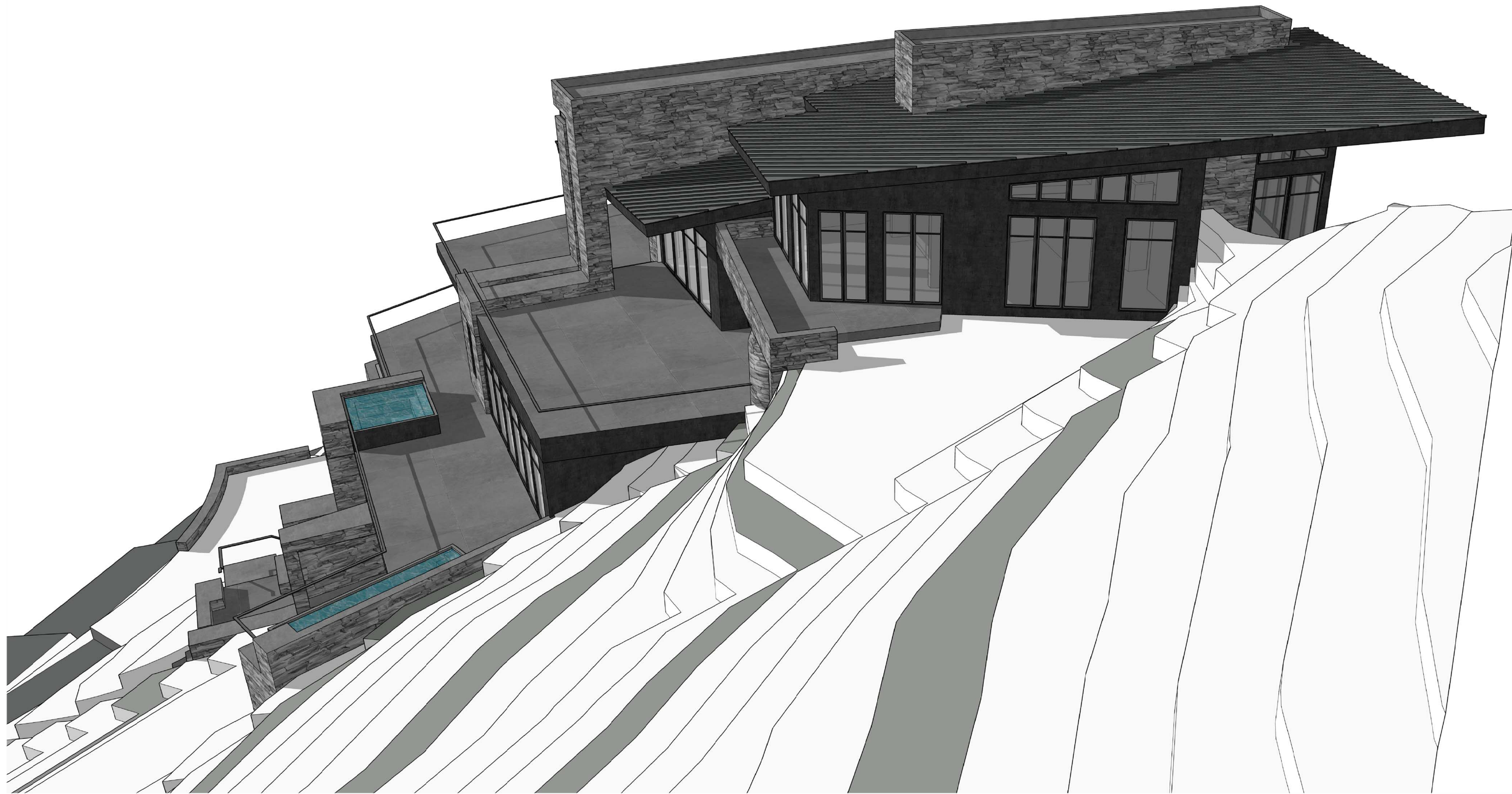
DRB  
BACKGROUNDS  
PLAN REFINEMENTS  
SECTIONS  
INT. SECTIONS  
DRB CONDITIONS

**137  
GRANITE  
RIDGE**

EXTERIOR  
MASSING

A3.22





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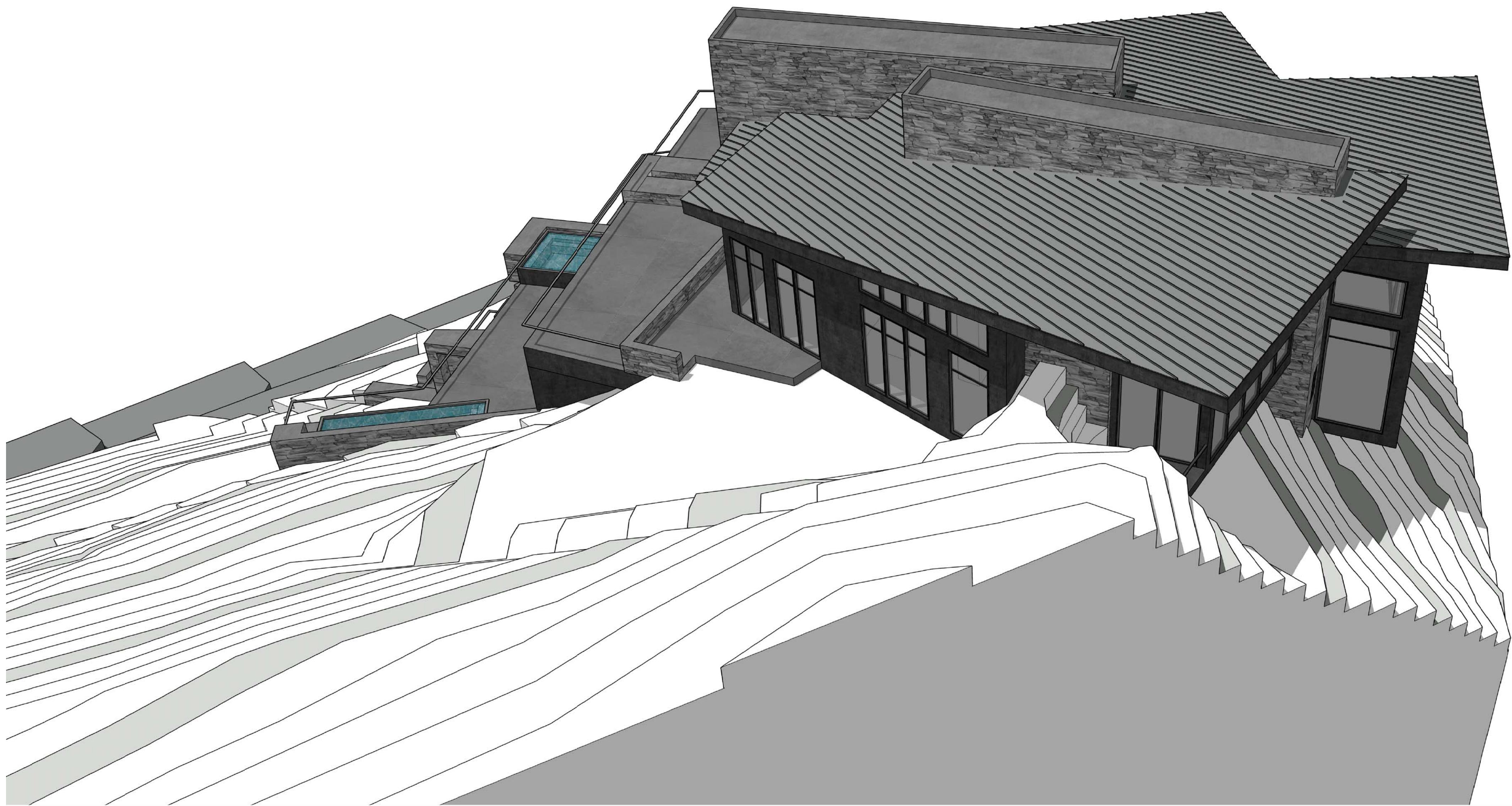
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05.02.2023	PLAN REFINEMENTS
05.19.2023	SECTIONS
05.25.2023	INT. SECTIONS
06.19.2023	DRB CONDITIONS

**137  
GRANITE  
RIDGE**

**EXTERIOR  
MASSING**

**A3.23**





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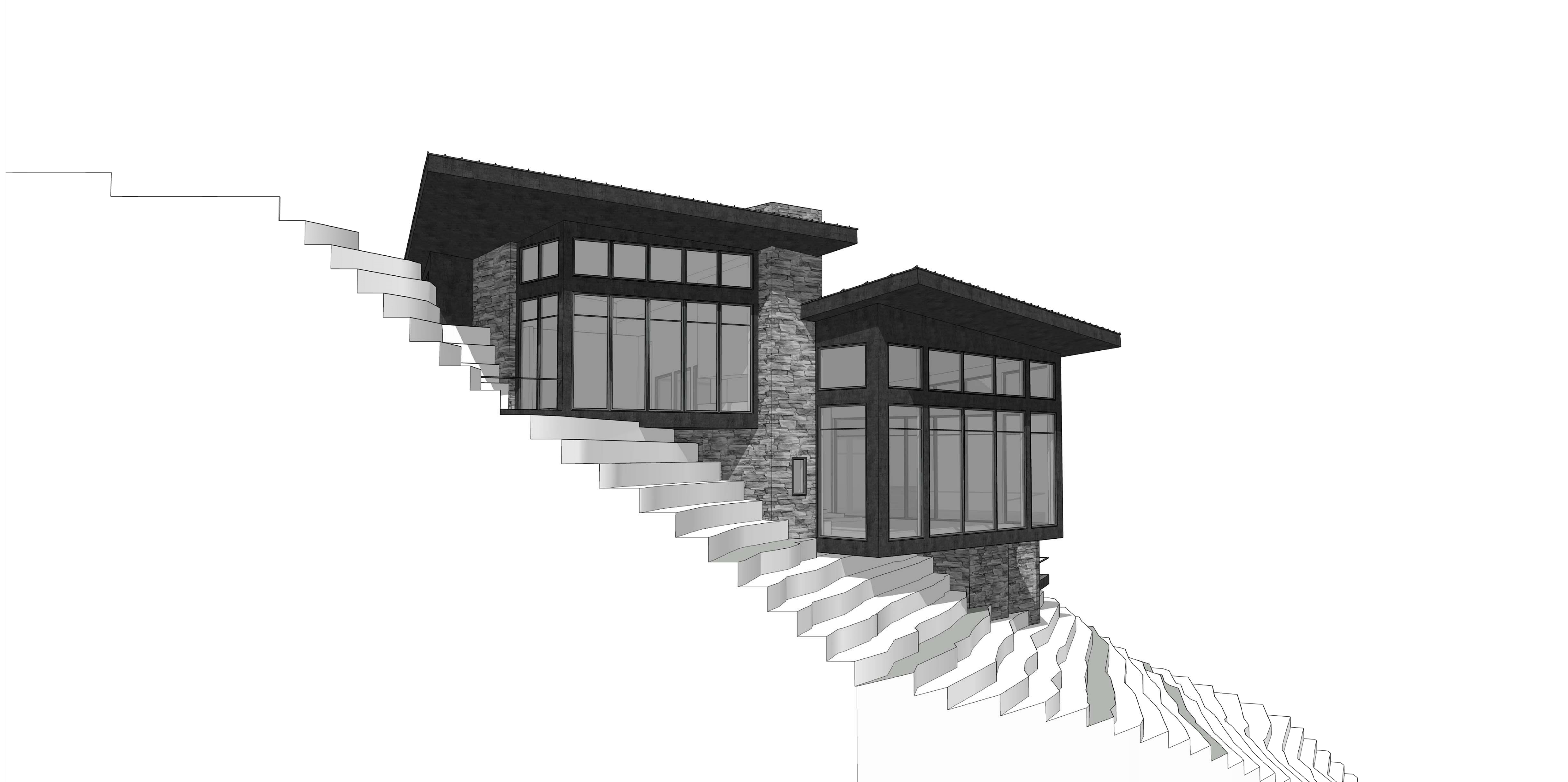
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05.02.2023	SECTIONS
05.19.2023	INT. SECTIONS
05.25.2023	DRB CONDITIONS
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**137  
GRANITE  
RIDGE**

EXTERIOR  
MASSING

A3.24





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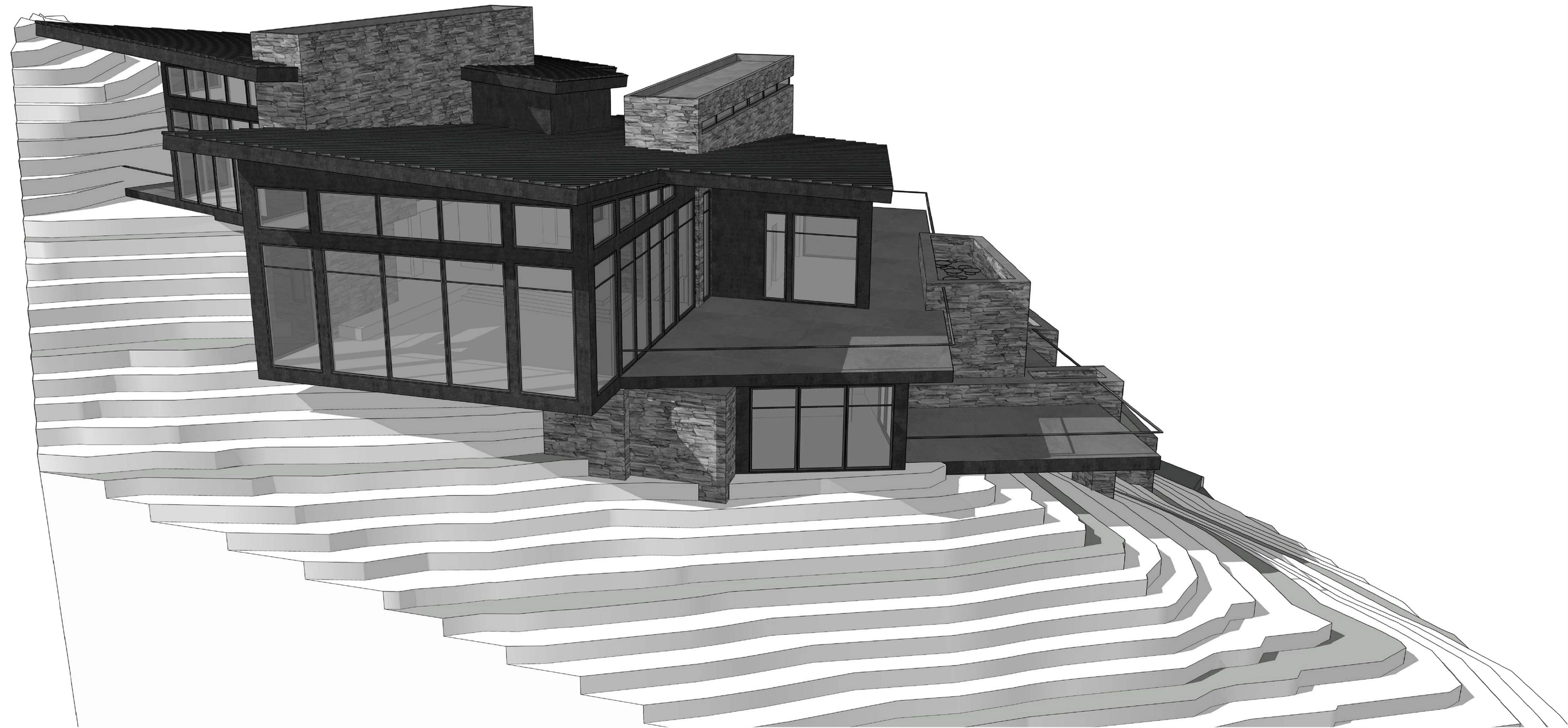
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05.02.2023	SECTIONS
05.19.2023	INT. SECTIONS
05.25.2023	DRB CONDITIONS
06.19.2023	

**137  
GRANITE  
RIDGE**

**EXTERIOR  
MASSING**

**A3.25**





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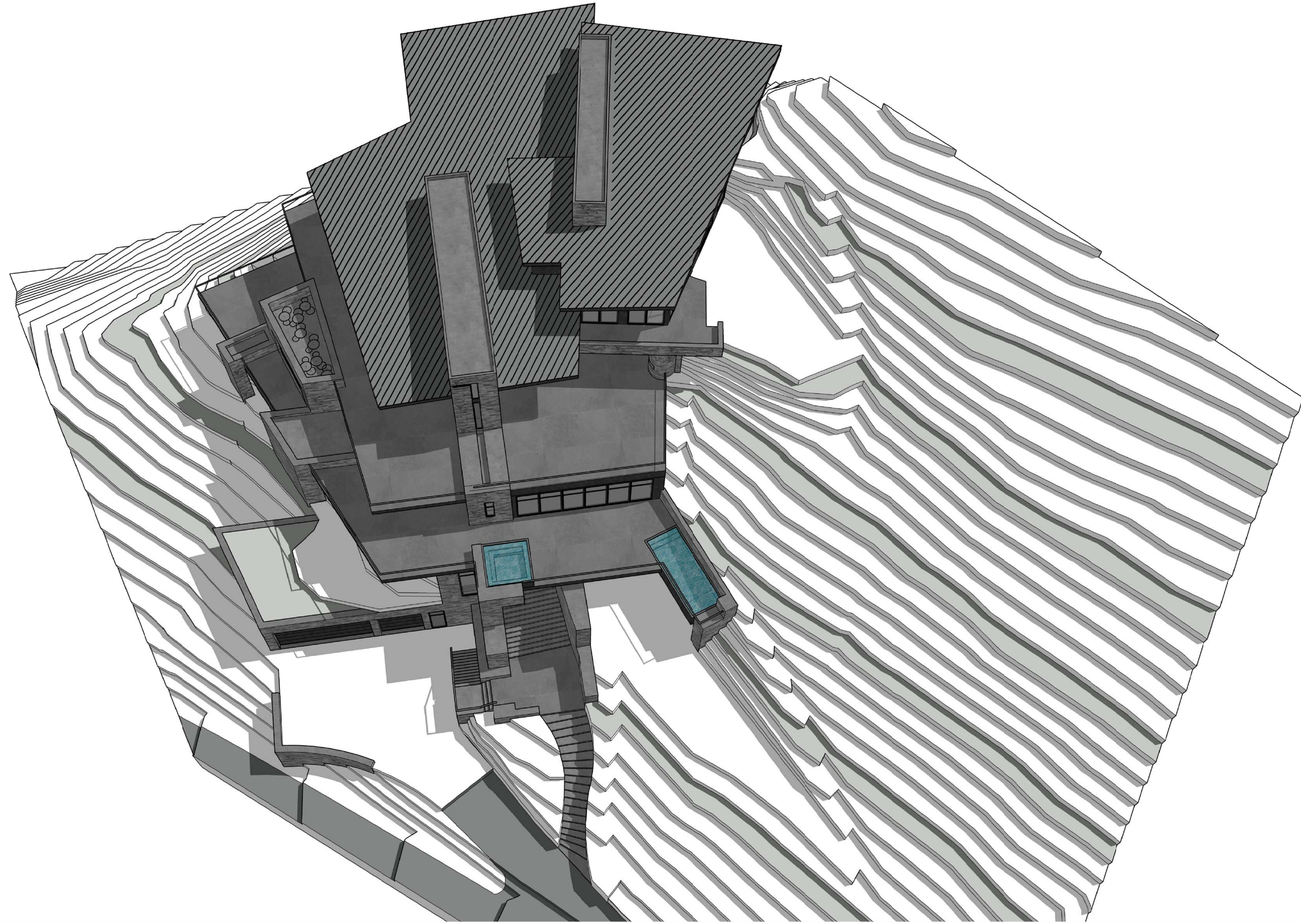
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05.25.2023 INT. SECTIONS  
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GRANITE  
RIDGE

EXTERIOR  
MASSING

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04.01.2023	PLAN REFINEMENTS
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05.19.2023	INT. SECTIONS
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**137  
GRANITE  
RIDGE**

EXTERIOR  
MASSING

A3.27





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05.02.2023  
05.19.2023  
05.25.2023  
06.19.2023

DRB  
BACKGROUNDS  
PLAN REFINEMENTS  
SECTIONS  
INT. SECTIONS  
DRB CONDITIONS

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GRANITE  
RIDGE

SE  
RENDERING

R-SE





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05.02.2023  
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05.25.2023  
06.19.2023

DRB  
BACKGROUNDS  
PLAN REFINEMENTS  
SECTIONS  
INT. SECTIONS  
DRB CONDITIONS

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GRANITE  
RIDGE

SW  
RENDERING

R-SW





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05.02.2023  
05.19.2023  
05.25.2023  
06.19.2023

DRB  
BACKGROUNDS  
PLAN REFINEMENTS  
SECTIONS  
INT. SECTIONS  
DRB CONDITIONS

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GRANITE  
RIDGE


W  
RENDERING

R-W



E5

**ParadigmLED** FLEXSR OUTDOOR SERIES



**FLEX SR Series is a high performance linear LED with high CRI light LED spacing and an economical price.**

SERIES	VOLTAGE	COLOR*	IR RATING	VOLTAGE	LENGTH
NAME	20-24 VDC 44-48 VDC	20-2000K 20-2000K 40-2000K 40-2000K	IP67 IP68	24-24 VDC	5000mm (164ft) Standard 1000mm (32.8ft) Custom Length (Optional)

THIS SERIES & OTHER COLORS AVAILABLE. CONSULT FACTORY.

ELECTRICAL		LUMEN OUTPUT	
Input Voltage	24VDC	Outdoor	3,000/3,000/3,000/3,000 Lum/ft
Dimming Options	NA, 0-10V, DALI, Lumen	Heat Sink	4.500/4,500/4,500/4,500 Lum/ft
Power Consumption	Varies with VDC	Warranty	5 years
Wire Size	20 AWG (0.8mm)		
Regulation	UL Listed (E-Listed)		
Max. Input Current	44-380mA		
Max. Output Current	44-380mA		

**PHYSICAL**

FLEXSR-20		FLEXSR-40	
Width	0.39" (9.90mm)	Width	0.39" (9.90mm)
Height	0.20" (5.08mm)	Height	0.20" (5.08mm)
Outside Segment Length	1.0" (25.40mm)	Outside Segment Length	1.0" (25.40mm)
Pitch Length	0.50" (12.70mm)	Pitch Length	0.50" (12.70mm)

www.paradigmled.com  
303.980.0383 | info@paradigmled.com  
\*In order to search by product name or product number, please use the search bar on our website.

Project: \_\_\_\_\_  
Type: \_\_\_\_\_

E4

**BEGA** Facade floodlight - Symmetric narrow

**Application:** Facade lighting with linear LED technology specifically designed for the illumination of building facades and other vertical surfaces. The beam is focused to maximize light output and minimize light spillage.

**Material:** Extruded aluminum housing with anodized aluminum body. Clear polycarbonate lens.

**Features:** Linear LED mounting and mounting rails constructed of anodized aluminum and stainless steel. Copper-free PCB. High CRI LED technology. High temperature aluminum housing. High temperature silicone gel. High temperature silicone gel. High temperature silicone gel. High temperature silicone gel.


**Dimensions:** 100mm (3.94") H x 100mm (3.94") W x 100mm (3.94") D

**Electrical:** Input Voltage: 24VDC, Output Voltage: 24VDC, Power Consumption: 10W, Beam Angle: 15°, Mounting: 1/2" (12.7mm) hole, 1/2" (12.7mm) hole, 1/2" (12.7mm) hole.

**Performance:** Beam Spread: 15°, Beam Diameter: 100mm, Mounting: 1/2" (12.7mm) hole, 1/2" (12.7mm) hole, 1/2" (12.7mm) hole.

**Dimensions:** 100mm (3.94") H x 100mm (3.94") W x 100mm (3.94") D

**Available Accessories:** 77384 Lens cable, 77384-01 Lens cable, 77384-02 Lens cable, 77384-03 Lens cable, 77384-04 Lens cable, 77384-05 Lens cable, 77384-06 Lens cable, 77384-07 Lens cable, 77384-08 Lens cable, 77384-09 Lens cable, 77384-10 Lens cable.



E3

**BEGA** Surface mounted downlight - very wide beam

**Application:** Surface mounted downlight designed for ambient lighting in rooms, corridors, passages and other interior and exterior locations.

**Material:** Extruded aluminum housing with anodized aluminum body. Clear polycarbonate lens.

**Features:** Linear LED mounting and mounting rails constructed of anodized aluminum and stainless steel. Copper-free PCB. High CRI LED technology. High temperature aluminum housing. High temperature silicone gel. High temperature silicone gel. High temperature silicone gel. High temperature silicone gel.


**Dimensions:** 100mm (3.94") H x 100mm (3.94") W x 100mm (3.94") D

**Electrical:** Input Voltage: 24VDC, Output Voltage: 24VDC, Power Consumption: 10W, Beam Angle: 15°, Mounting: 1/2" (12.7mm) hole, 1/2" (12.7mm) hole, 1/2" (12.7mm) hole.

**Performance:** Beam Spread: 15°, Beam Diameter: 100mm, Mounting: 1/2" (12.7mm) hole, 1/2" (12.7mm) hole, 1/2" (12.7mm) hole.

**Dimensions:** 100mm (3.94") H x 100mm (3.94") W x 100mm (3.94") D

**Available Accessories:** 77384 Lens cable, 77384-01 Lens cable, 77384-02 Lens cable, 77384-03 Lens cable, 77384-04 Lens cable, 77384-05 Lens cable, 77384-06 Lens cable, 77384-07 Lens cable, 77384-08 Lens cable, 77384-09 Lens cable, 77384-10 Lens cable.



E2

**BEGA** Recessed wall luminaire - shielded

**Application:** Recessed wall luminaire with integrated lighting environment. The luminaire is designed for use in rooms, corridors, passages and other interior and exterior locations.

**Material:** Extruded aluminum housing with anodized aluminum body. Clear polycarbonate lens.

**Features:** Linear LED mounting and mounting rails constructed of anodized aluminum and stainless steel. Copper-free PCB. High CRI LED technology. High temperature aluminum housing. High temperature silicone gel. High temperature silicone gel. High temperature silicone gel. High temperature silicone gel.

**Dimensions:** 100mm (3.94") H x 100mm (3.94") W x 100mm (3.94") D

**Electrical:** Input Voltage: 24VDC, Output Voltage: 24VDC, Power Consumption: 10W, Beam Angle: 15°, Mounting: 1/2" (12.7mm) hole, 1/2" (12.7mm) hole, 1/2" (12.7mm) hole.

**Performance:** Beam Spread: 15°, Beam Diameter: 100mm, Mounting: 1/2" (12.7mm) hole, 1/2" (12.7mm) hole, 1/2" (12.7mm) hole.

**Dimensions:** 100mm (3.94") H x 100mm (3.94") W x 100mm (3.94") D

**Available Accessories:** 77384 Lens cable, 77384-01 Lens cable, 77384-02 Lens cable, 77384-03 Lens cable, 77384-04 Lens cable, 77384-05 Lens cable, 77384-06 Lens cable, 77384-07 Lens cable, 77384-08 Lens cable, 77384-09 Lens cable, 77384-10 Lens cable.



E1

**BEGA** LED wall luminaire - directed light

**Application:** LED wall luminaire with directed light distribution designed for general illumination of pathways and building entrances from recessed mounting.

**Material:** Extruded aluminum housing with anodized aluminum body. Clear polycarbonate lens.

**Features:** Linear LED mounting and mounting rails constructed of anodized aluminum and stainless steel. Copper-free PCB. High CRI LED technology. High temperature aluminum housing. High temperature silicone gel. High temperature silicone gel. High temperature silicone gel. High temperature silicone gel.

**Dimensions:** 100mm (3.94") H x 100mm (3.94") W x 100mm (3.94") D

**Electrical:** Input Voltage: 24VDC, Output Voltage: 24VDC, Power Consumption: 10W, Beam Angle: 15°, Mounting: 1/2" (12.7mm) hole, 1/2" (12.7mm) hole, 1/2" (12.7mm) hole.

**Performance:** Beam Spread: 15°, Beam Diameter: 100mm, Mounting: 1/2" (12.7mm) hole, 1/2" (12.7mm) hole, 1/2" (12.7mm) hole.

**Dimensions:** 100mm (3.94") H x 100mm (3.94") W x 100mm (3.94") D

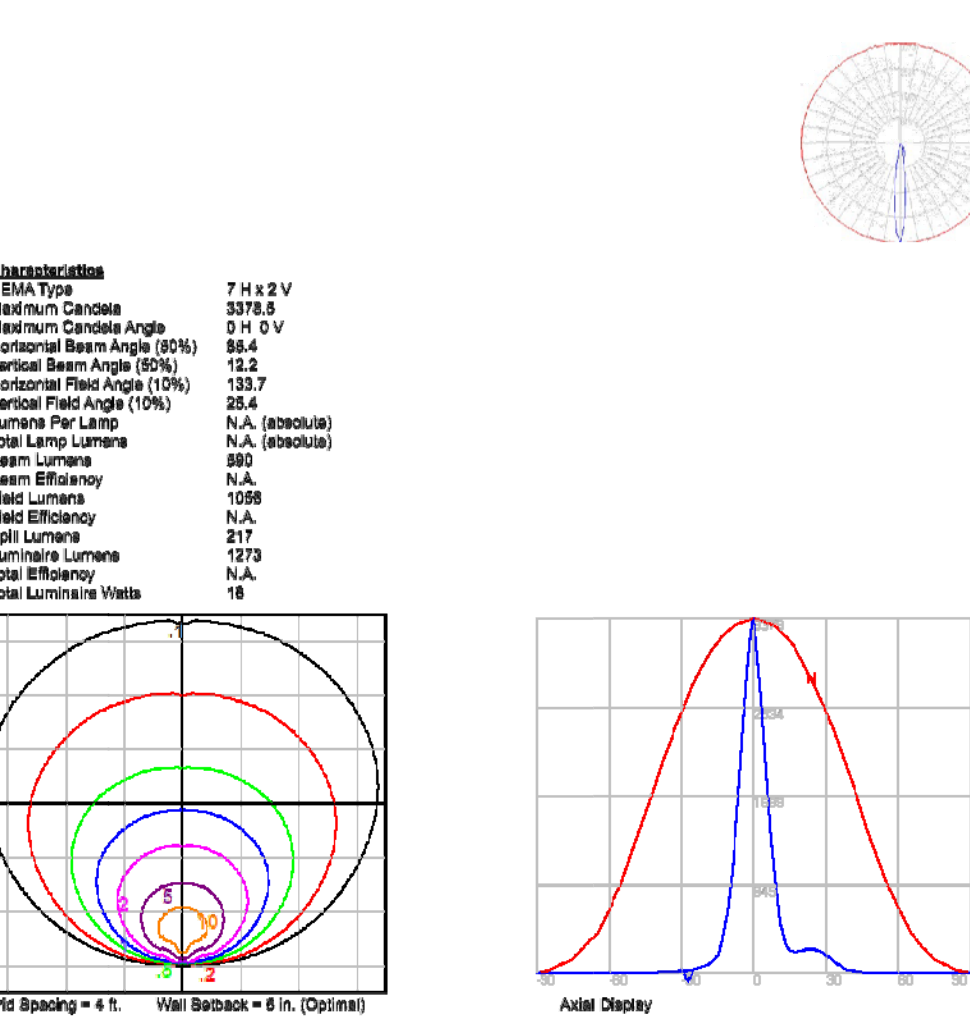
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**BEGA** Photometric File Name: 8437827\_E5

TEST LAB: BEGA  
DATE: 12/03/2018  
LUMINAIRE: 84378  
LAMP: 18W LED

**Characteristics:** 7 H x 2 V, Maximum Candela: 2378.6, Horizontal Beam Angle (90°): 68.4, Vertical Beam Angle (90°): 15.2, Horizontal Field Angle (10°): 153.7, Vertical Field Angle (10°): 25.4, Luminaire Per Lamp: N.A. (absolu), Total Luminaire: N.A. (absolu), Beam Lumina: 890, Beam Efficiency: N.A., Field Lumina: 1058, Field Efficiency: N.A., Spill Lumina: 217, Luminaire Lumina: 1273, Total Luminaire Wella: N.A., Beam Factor: 16



Grid Spacing = 6 ft. Wall Back = 6 ft. (Optional)  
Axial Display

In the interest of product improvement, BEGA reserves the right to make technical changes without notice.  
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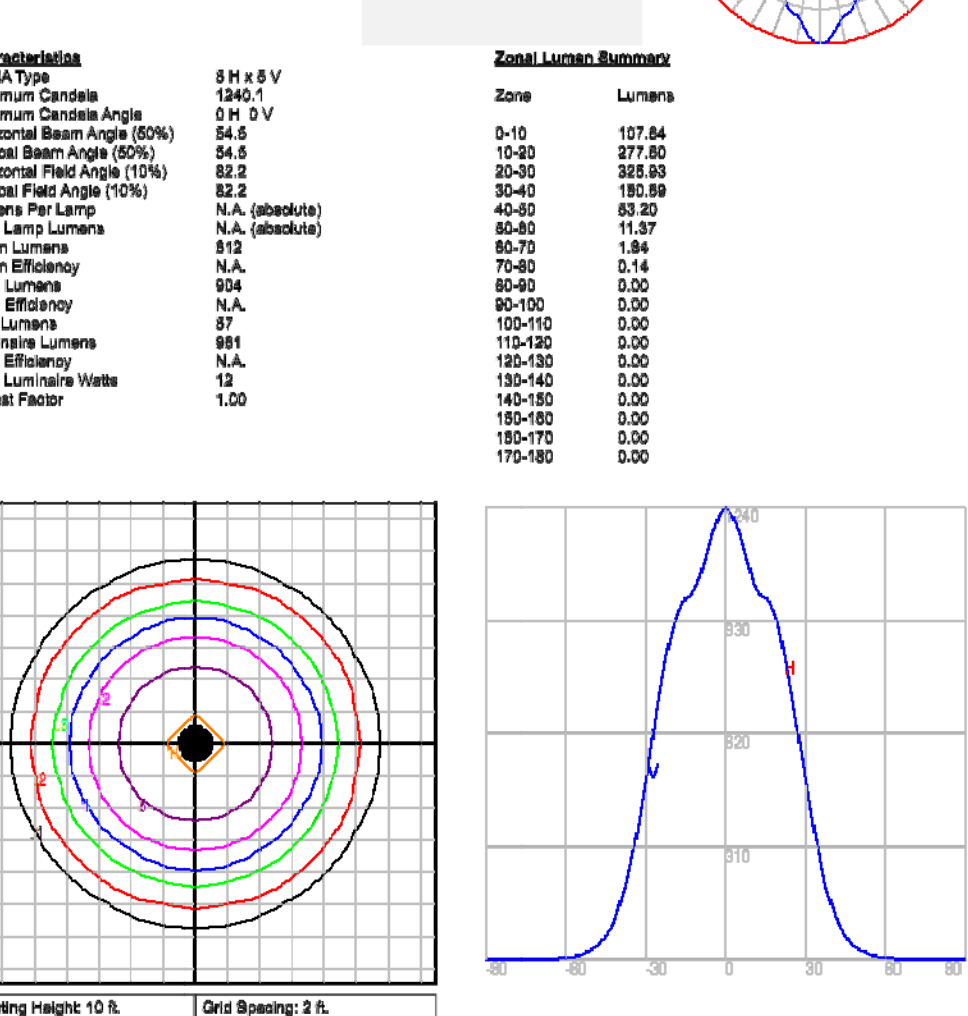
**BEGA** Photometric File Name: 2440264\_BEGA\_E3.us

TEST LAB: BEGA  
DATE: 7/8/2019  
LUMINAIRE: 2440264  
LAMP: 24W LED

**Characteristics:** 8 H x 5 V, Maximum Candela: 1940.1, Horizontal Beam Angle (90°): 64.6, Vertical Beam Angle (90°): 15.6, Horizontal Field Angle (10°): 82.2, Vertical Field Angle (10°): 25.4, Luminaire Per Lamp: N.A. (absolu), Total Luminaire: N.A. (absolu), Beam Lumina: 812, Beam Efficiency: N.A., Field Lumina: 904, Field Efficiency: N.A., Spill Lumina: 87, Luminaire Lumina: 891, Total Luminaire Wella: 13, Beam Factor: 1.00

**Zone Lumina. Summary:**

Zone	Lumens
0-10	127.84
10-20	277.80
20-30	288.83
30-40	182.58
40-50	83.20
50-60	11.37
60-70	1.84
70-80	0.14
80-90	0.02
90-100	0.00
100-110	0.00
110-120	0.00
120-130	0.00
130-140	0.00
140-150	0.00
150-160	0.00
160-170	0.00
170-180	0.00



Mounting Height = 10 ft. Grid Spacing = 2 ft.

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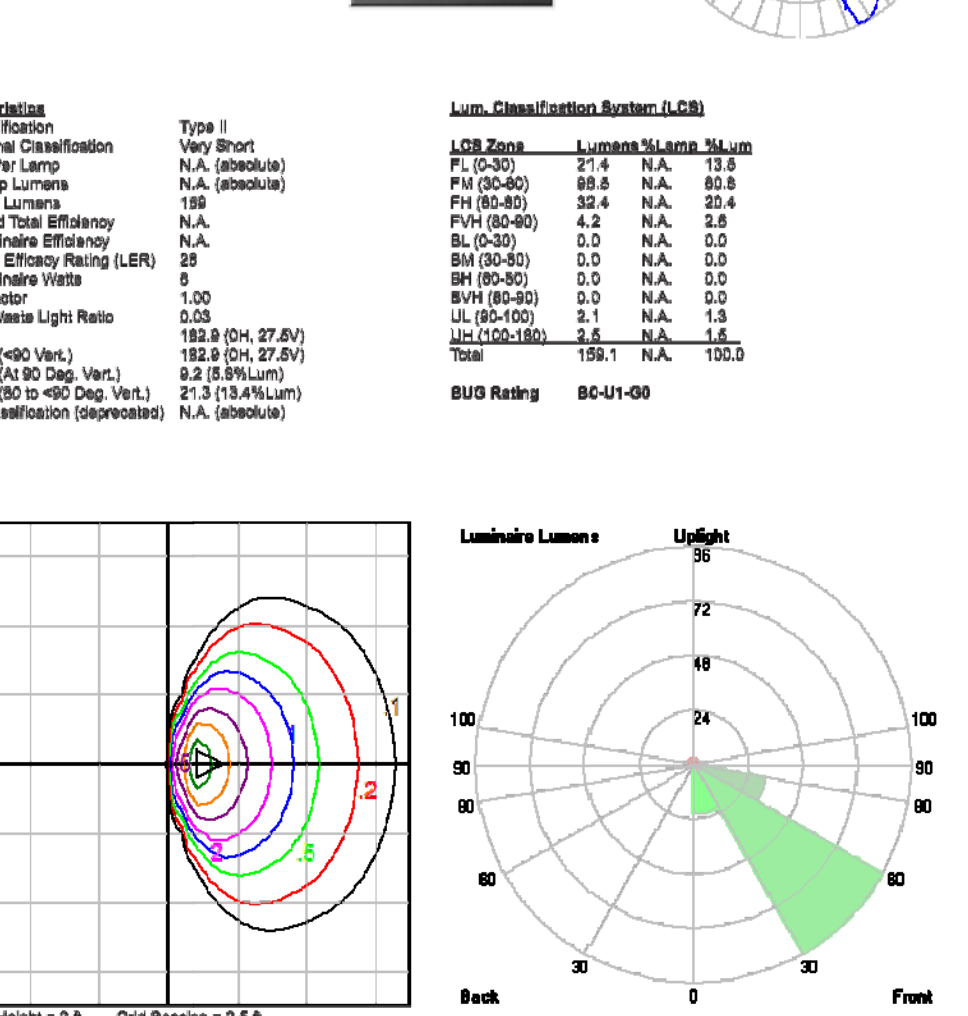
**BEGA** Photometric File Name: 22272\_E8

TEST LAB: BEGA  
DATE: 7/11/2017  
LUMINAIRE: 22272  
LAMP: 22W LED

**Characteristics:** 8 H x 2 V, Maximum Candela: 2378.6, Horizontal Beam Angle (90°): 68.4, Vertical Beam Angle (90°): 15.2, Horizontal Field Angle (10°): 153.7, Vertical Field Angle (10°): 25.4, Luminaire Per Lamp: N.A. (absolu), Total Luminaire: N.A. (absolu), Beam Lumina: 890, Beam Efficiency: N.A., Field Lumina: 1058, Field Efficiency: N.A., Spill Lumina: 217, Luminaire Lumina: 1273, Total Luminaire Wella: N.A., Beam Factor: 16

**Lum. Classification System (LCS):**

LCS Zone	Lumens	% Lumens	% Lum
F1 (0-30)	27.4	N.A.	13.8
F2 (30-60)	88.8	N.A.	43.8
F3 (60-90)	35.4	N.A.	17.4
F4 (90-120)	4.2	N.A.	2.0
F5 (120-150)	0.0	N.A.	0.0
F6 (150-180)	0.0	N.A.	0.0
Total	156.1	N.A.	100.0



Mounting Height = 9 ft. Grid Spacing = 2.5 ft.

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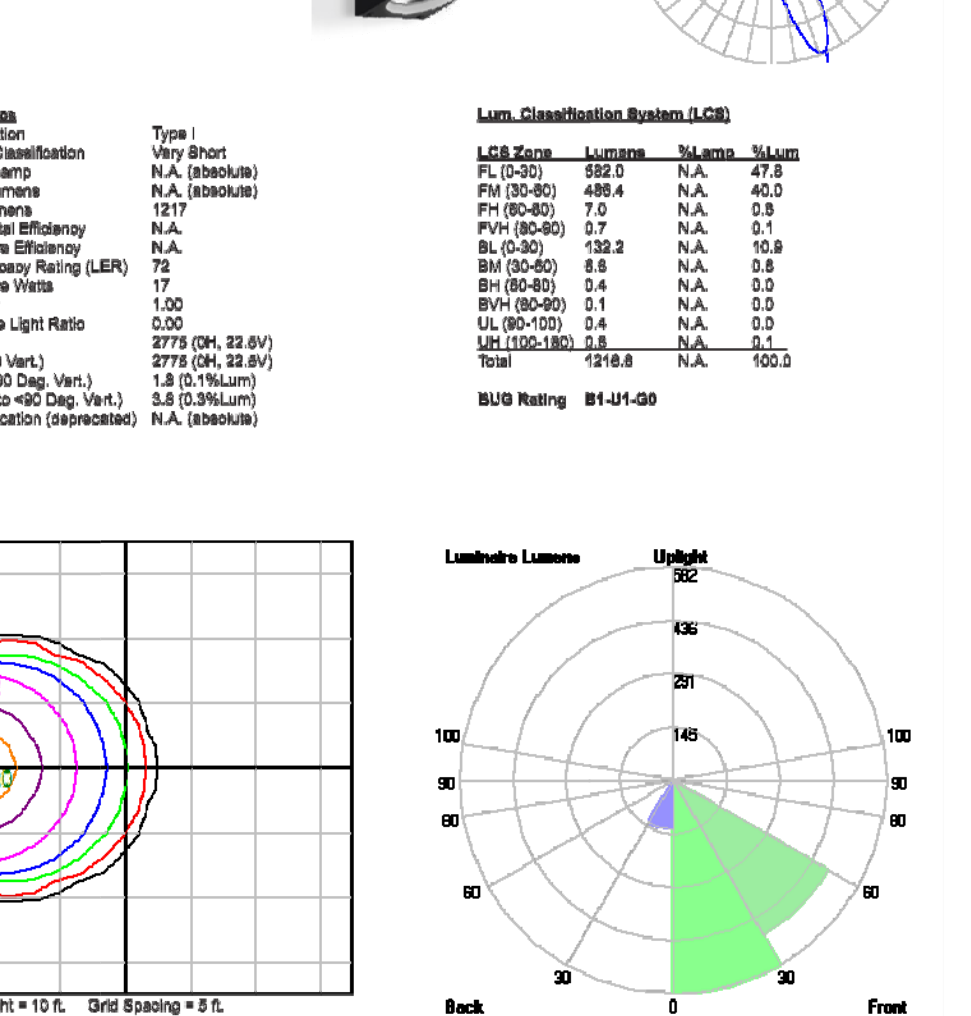
**BEGA** Photometric File Name: 24502.us

TEST LAB: BEGA  
DATE: 9/28/2018  
LUMINAIRE: 24502  
LAMP: 18W LED

**Characteristics:** 7 H x 2 V, Maximum Candela: 2378.6, Horizontal Beam Angle (90°): 68.4, Vertical Beam Angle (90°): 15.2, Horizontal Field Angle (10°): 153.7, Vertical Field Angle (10°): 25.4, Luminaire Per Lamp: N.A. (absolu), Total Luminaire: N.A. (absolu), Beam Lumina: 890, Beam Efficiency: N.A., Field Lumina: 1058, Field Efficiency: N.A., Spill Lumina: 217, Luminaire Lumina: 1273, Total Luminaire Wella: N.A., Beam Factor: 16

**Lum. Classification System (LCS):**

LCS Zone	Lumens	% Lumens	% Lum
F1 (0-30)	22.2	N.A.	47.8
F2 (30-60)	45.4	N.A.	95.6
F3 (60-90)	7.0	N.A.	14.8
F4 (90-120)	1.7	N.A.	3.5
F5 (120-150)	0.4	N.A.	0.8
F6 (150-180)	0.1	N.A.	0.2
Total	77.8	N.A.	100.0



Mounting Height = 10 ft. Grid Spacing = 2 ft.

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05.25.2023  
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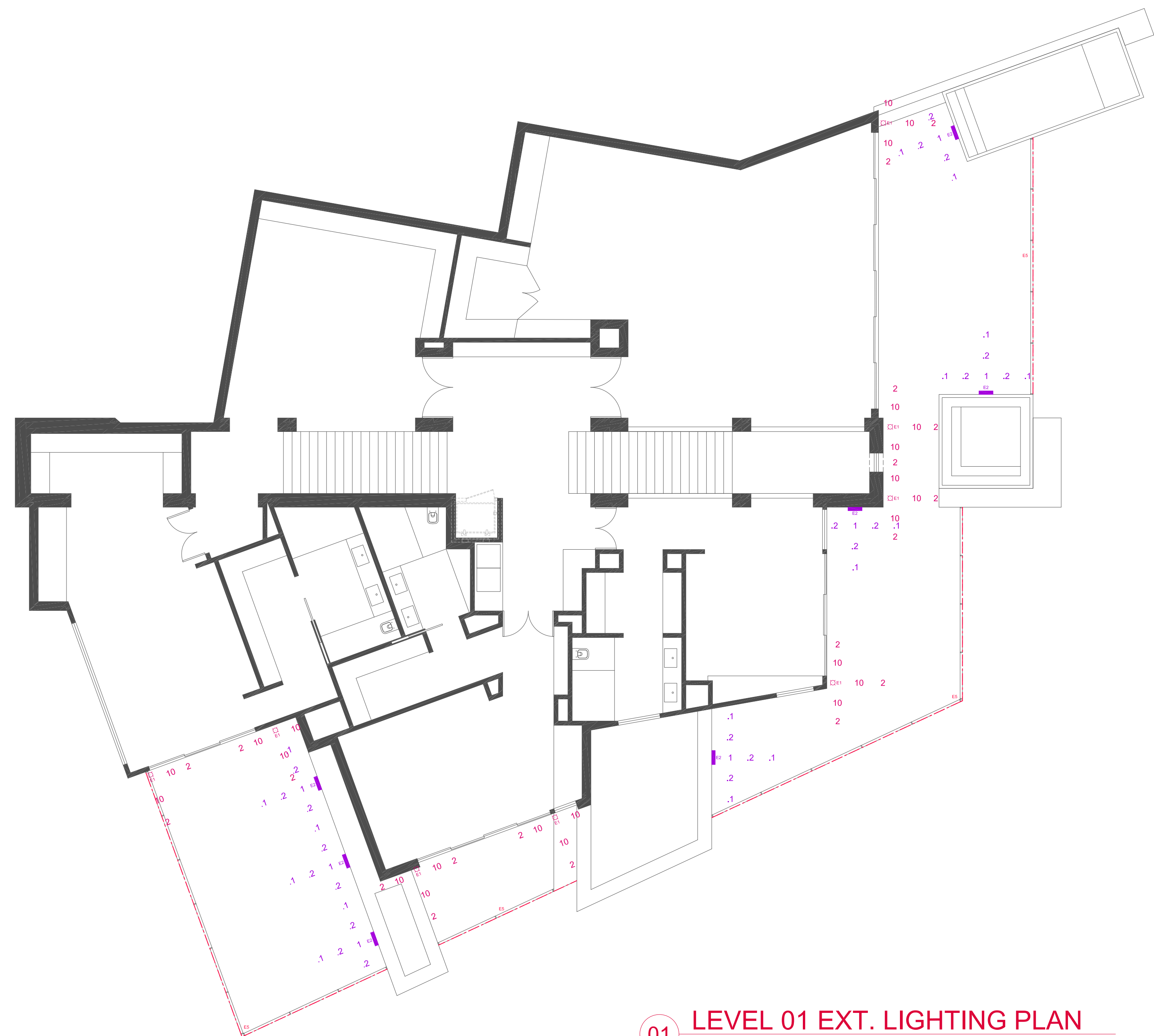
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DRB CONDITIONS

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GRANITE  
RIDGE

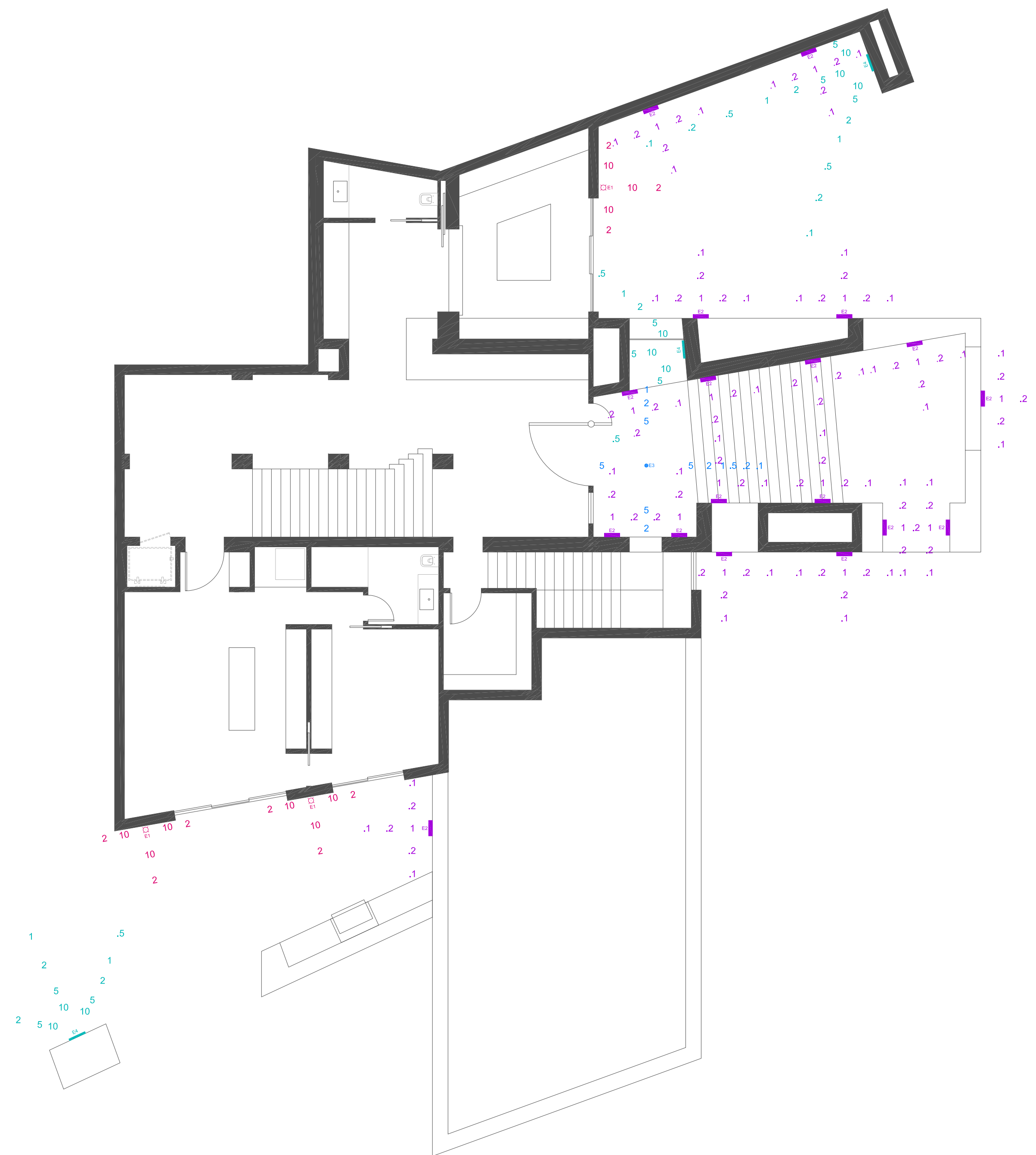
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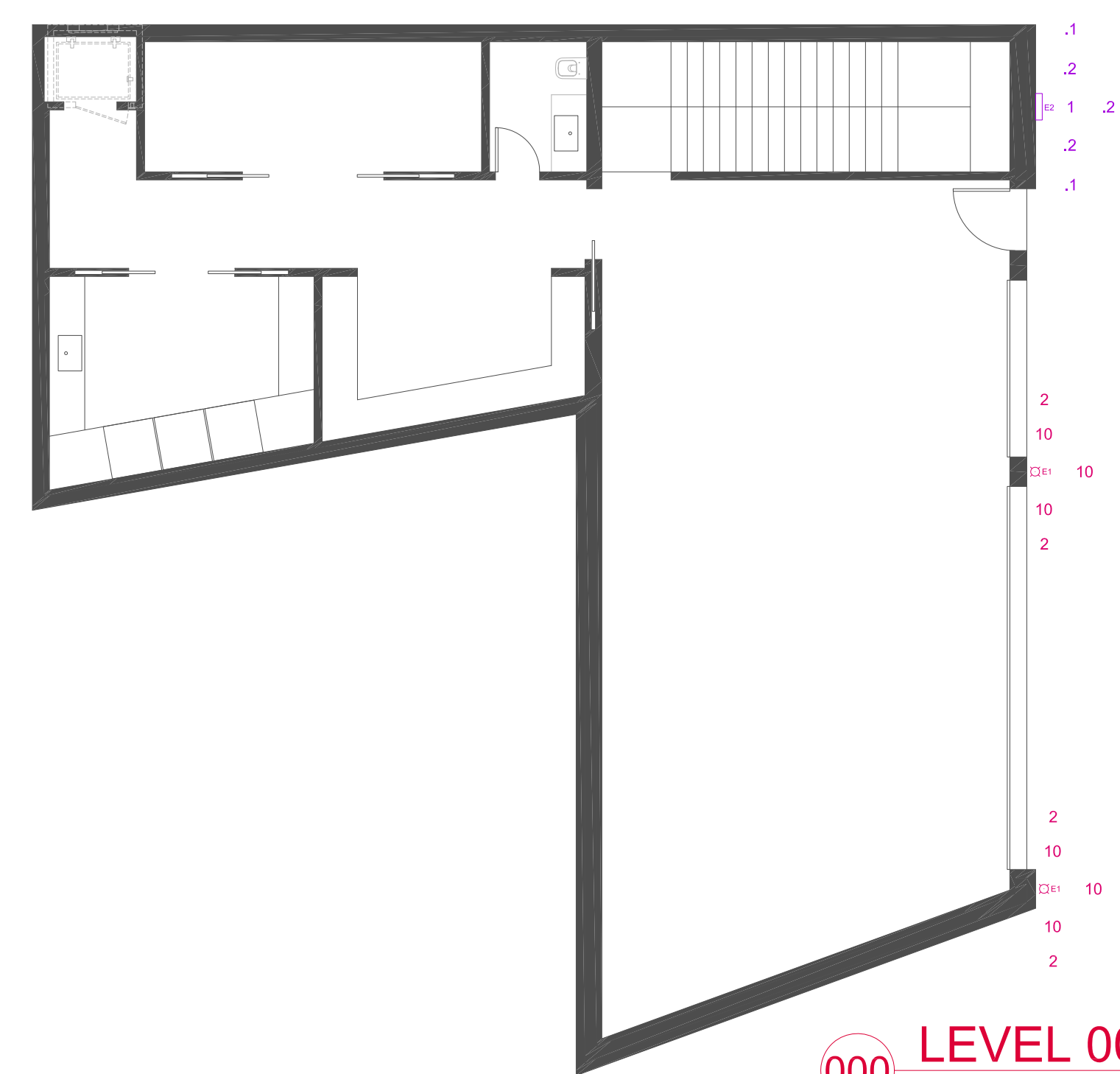




**01 LEVEL 01 EXT. LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"



**00 LEVEL 00 EXT. LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"



**000 LEVEL 000 EXT. LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"

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**137  
GRANITE  
RIDGE**

**LEVEL 000  
- LEVEL 01  
LIGHTING**

**L2.01**



## EXTERIOR LIGHTING GENERAL NOTES

ALL EXTERIOR LIGHTING SHALL BE EIGHTY-FIVE DEGREES (85°) FULL CUT-OFF FIXTURES THAT DIRECT THE LIGHT DOWNWARD WITHOUT ANY OFF-SITE GLARE, EXCEPT AS EXEMPTED IN SECTION 17.5.12(D).

EACH EXTERIOR LUMINAIRE SHALL BE FULLY SHIELDED DOWN DIRECTED LIGHT SOURCES AND SHALL NOT EXCEED 850 LUMENS, WITH THE EXCEPTION OF RESIDENTIAL OUTDOOR PATHWAY AND RECESSED STAIRWAY LIGHTING WHICH SHALL NOT EXCEED 300 LUMENS PER LUMINAIRE.

LED LIGHTING OR OTHER EQUIVALENT HIGH EFFICACY LIGHTING COMPLIANT WITH THIS SECTION, SHALL BE USED FOR ALL EXTERIOR LIGHTING. ANY FIXTURE WITH A 0-5 WATT LAMP SHALL HAVE A MINIMUM OVERALL LUMINOUS EFFICACY OF 30 LUMENS/WATT; ANY FIXTURE WITH A 6-15 WATT LAMP SHALL HAVE A MINIMUM OVERALL LUMINOUS EFFICACY OF 45 LUMENS/WATT.

THE MAXIMUM CORRELATED COLOR TEMPERATURE FOR ALL PROPOSED LIGHTING TYPES REGARDLESS OF LAMP TYPE, SHALL BE A MINIMUM OF 2,400 DEGREES KELVIN AND SHALL NOT EXCEED 3,000 DEGREES KELVIN, OR MAY EMPLOY AMBER LIGHT SOURCES, FILTERED LED LIGHT SOURCES, OR A SUITABLE ALTERNATIVE - WITH THE GOAL OF HAVING A WARMER LIGHT SOURCE.

THE MAXIMUM HEIGHT FOR A WALL-MOUNTED LIGHT FIXTURE SHALL BE SEVEN FEET (7') ABOVE THE DIRECTLY ADJACENT WALKING SURFACE OR PATHWAY, EXCEPT FOR SIGN LIGHTING THAT MAY BE HIGHER AS REVIEWED AND APPROVED BY THE REVIEW AUTHORITY TO ALLOW FOR PROPER ILLUMINATION OF THE SIGN.

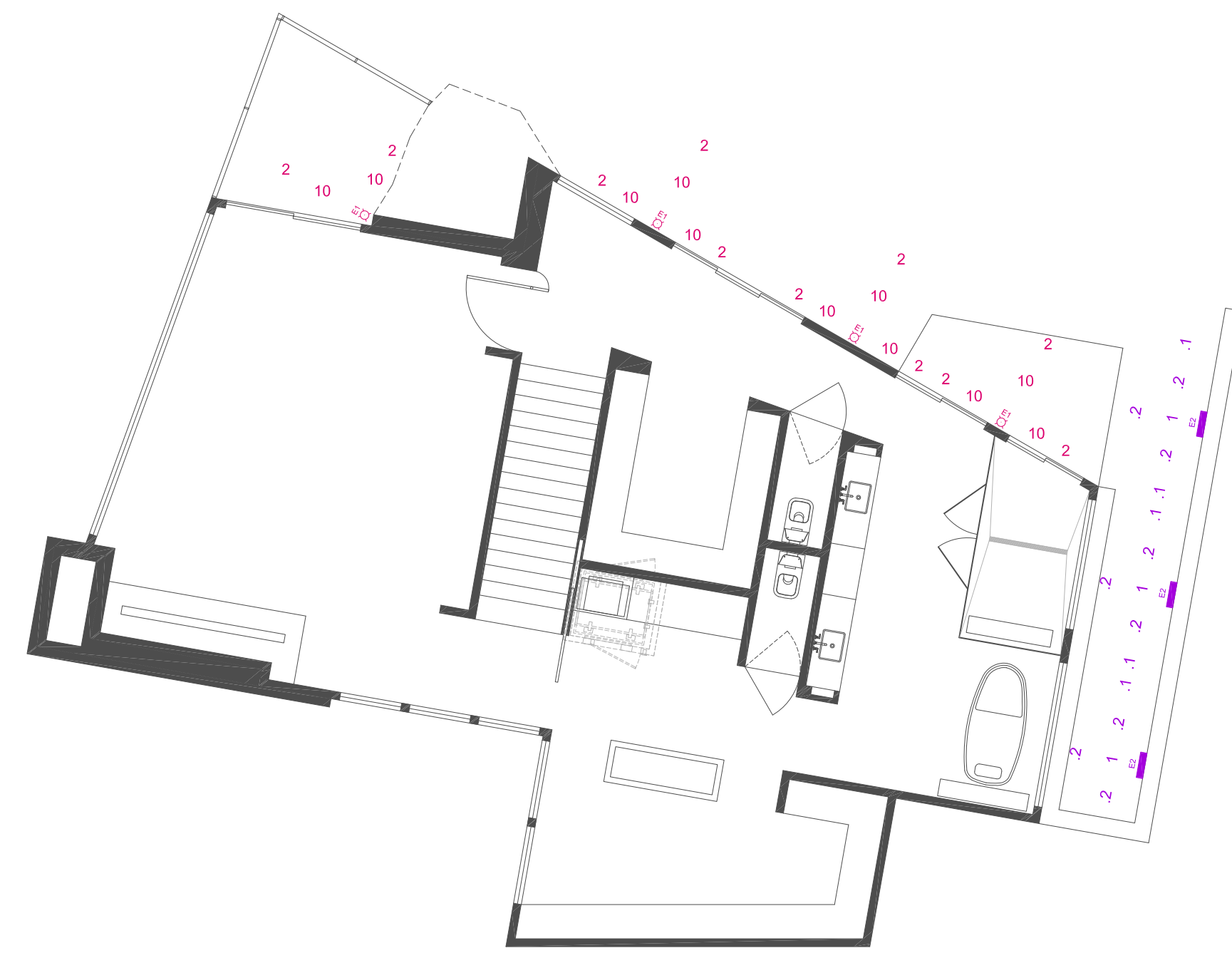
EXTERIOR LIGHTING ON SECOND OR HIGHER STORIES SHALL BE PROVIDED BY WALL-MOUNTED FIXTURES, RECESSED WALL OR CEILING FIXTURES, OR LIGHTING THAT IS LOUVERED OR OTHERWISE DESIGNED TO PREVENT OFF-SITE GLARE.

DECKS ON SECOND AND UPPER FLOORS THAT DO NOT HAVE STAIRS SHALL HAVE ONLY RECESSED WALL OR CEILING, IN-RAIL OR IN-WALL, LOUVERED OR CONCEALED LIGHTING THAT IS DIRECTED TOWARDS THE BUILDING OR THE DECK/PATIO SURFACE AND NOT TO THE EXTERIOR YARDS.

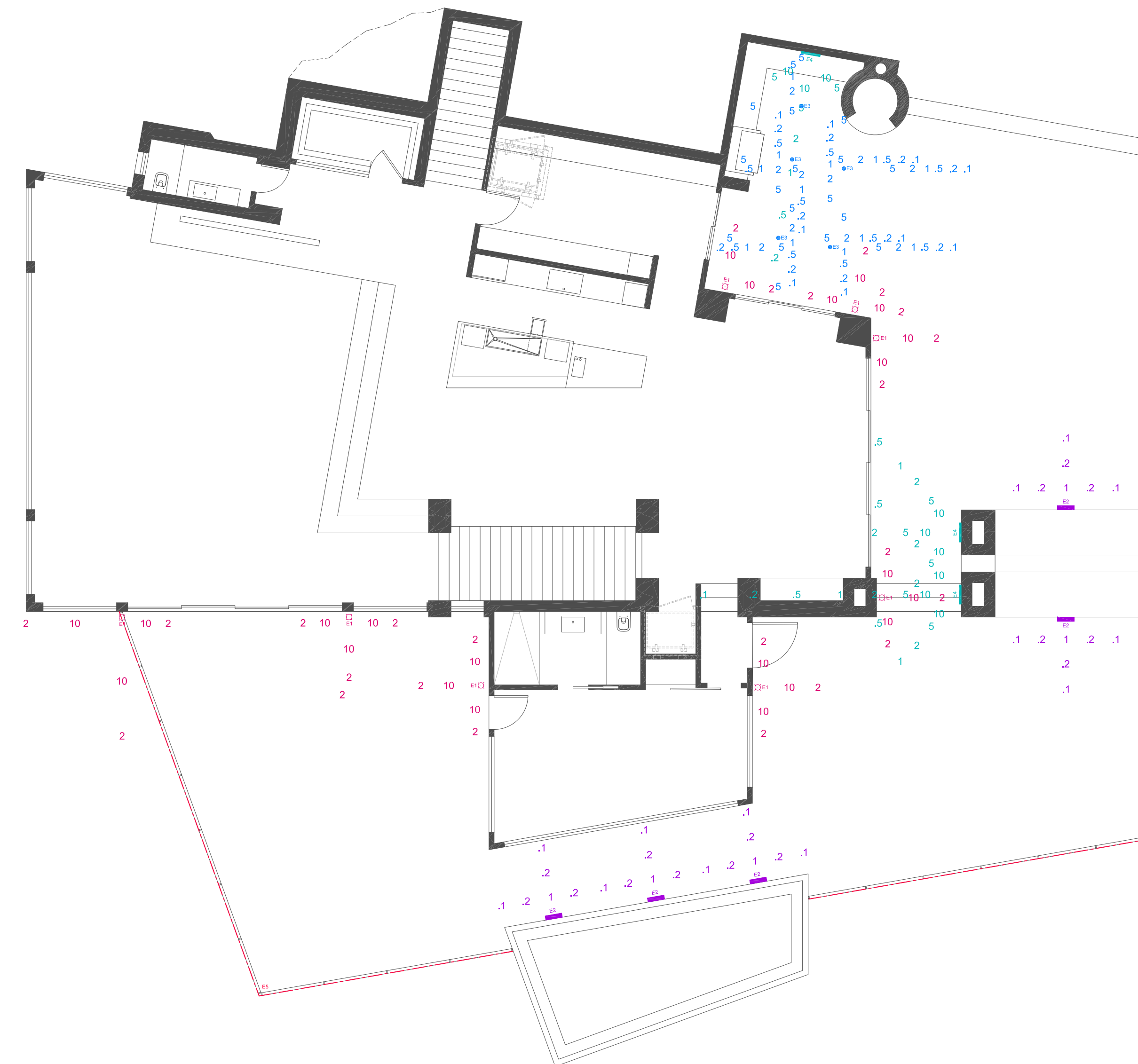
EXTERIOR LIGHTING ON SECOND AND UPPER FLOORS SHALL REQUIRE EITHER A TIMER OR SENSOR TO REDUCE USAGE AND ENERGY LOSS DURING TIMES OF INACTIVITY.

## EXTERIOR LIGHTING TABLE

SYMBOL	QTY.	DESCRIPTION	LAMP	MOUNT.	LUMENS	LLF	WATTS	MANUFACTURER	NOTES
E1	25	WALL SCONCE	LED	7'-0"	1217	L70	14	BEGA - 24502	BLACK FINISH
E2	33 + 6	STEP	LED	1'-0"±	159	L70	6.5	BEGA - 22272	BLACK FINISH
E3	6	CEILING	LED	9'-0"±	961	L70	8.0	BEGA - 24409	BLACK FINISH
E4	6	CEILING	LED	9'-0"±	1273	L70	12.8	BEGA - 84375	BLACK FINISH
E5	11	IND. LED	LED	3'-0"	383	L65	2.3	PARADIGM - FLEXSR	

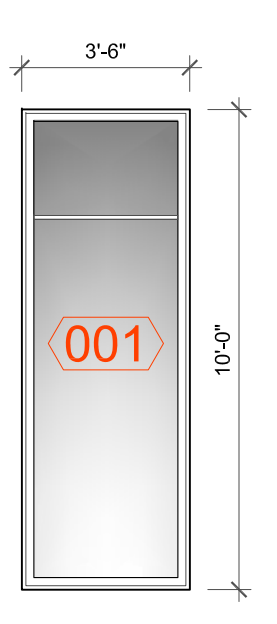
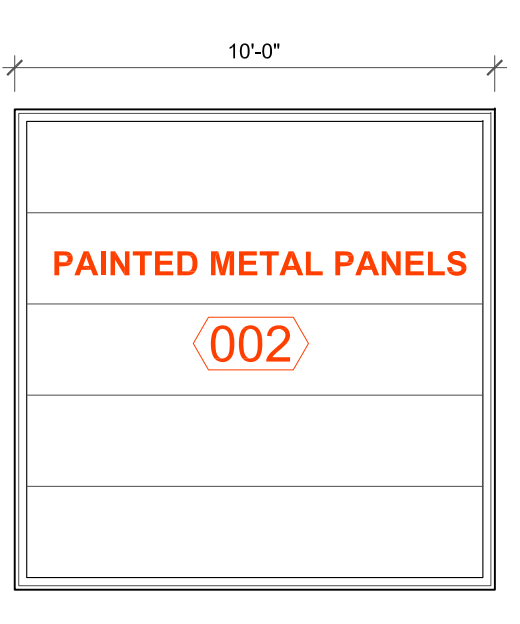
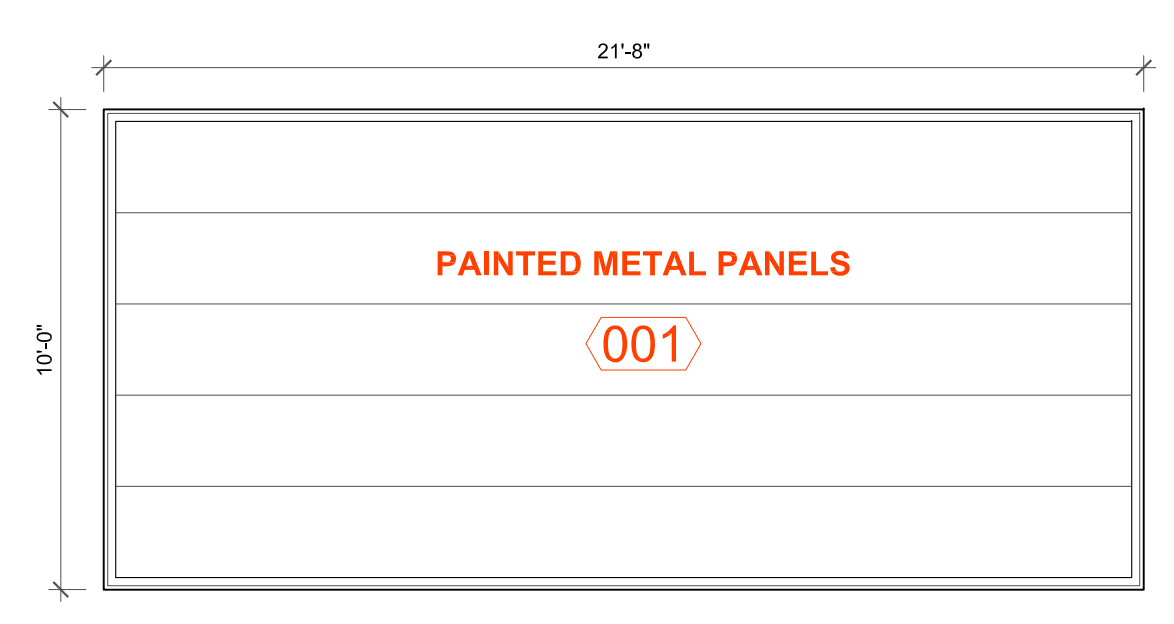
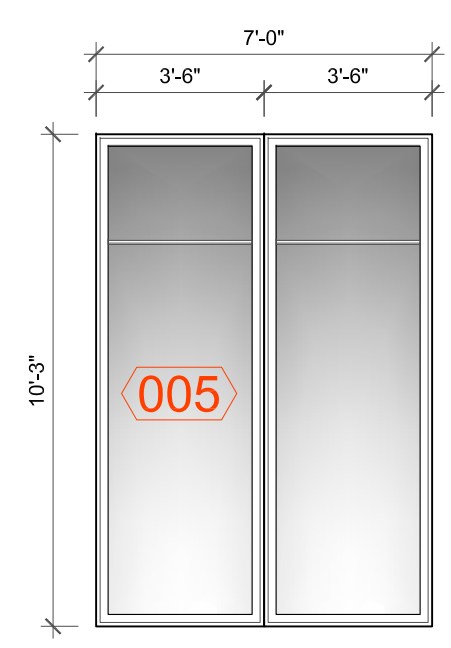
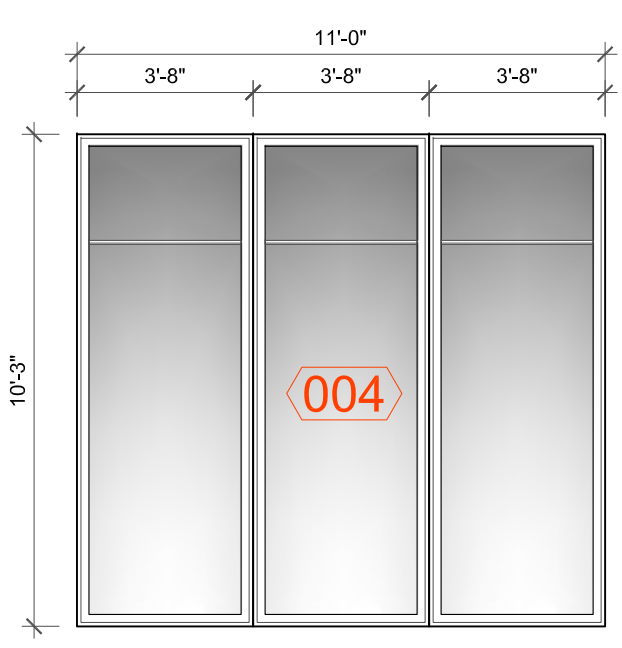
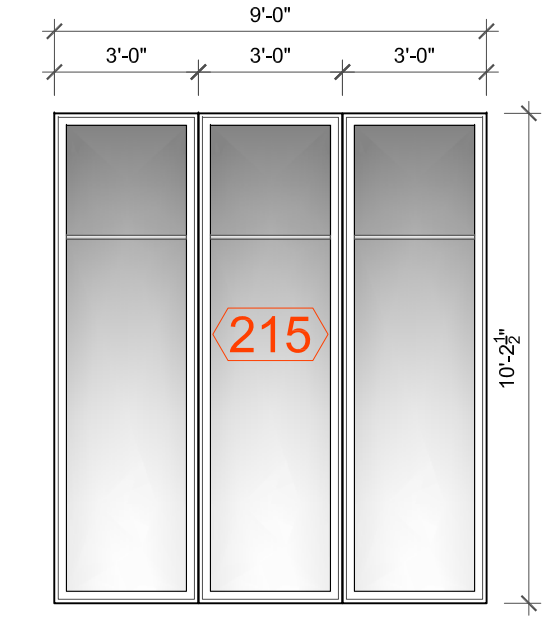
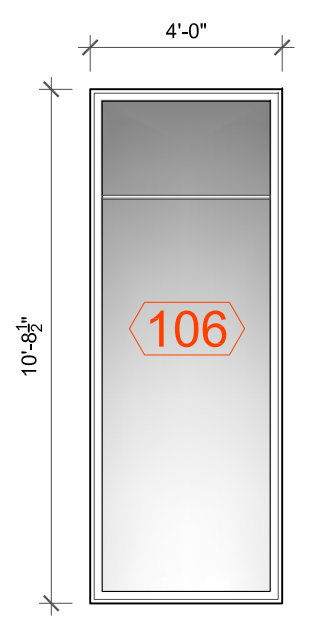
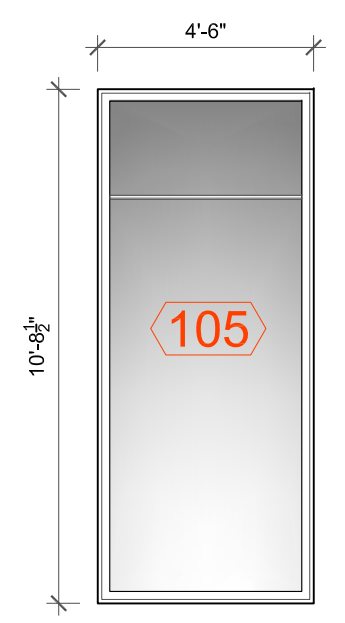
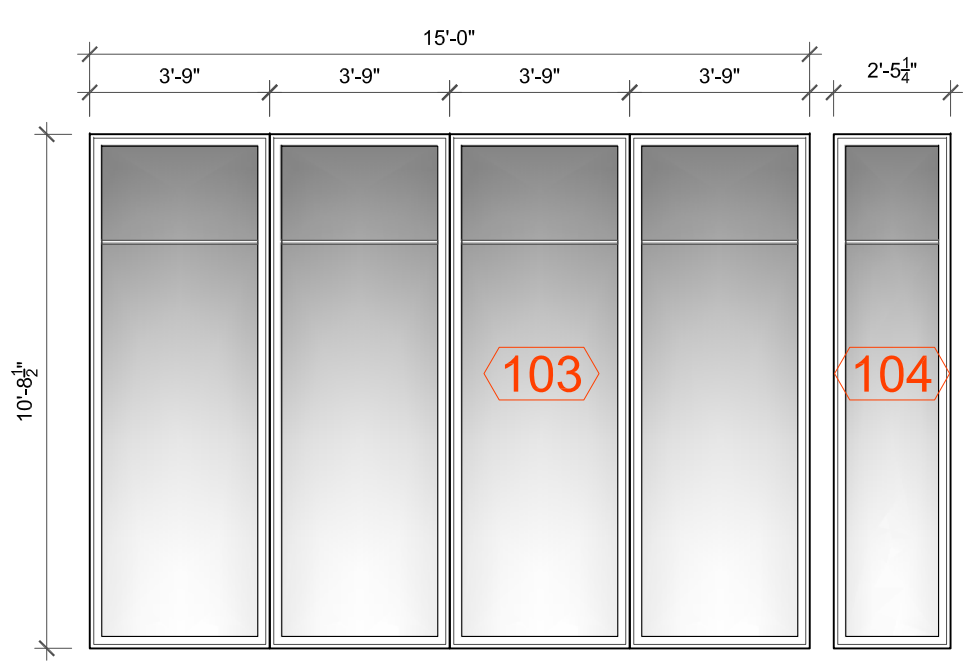
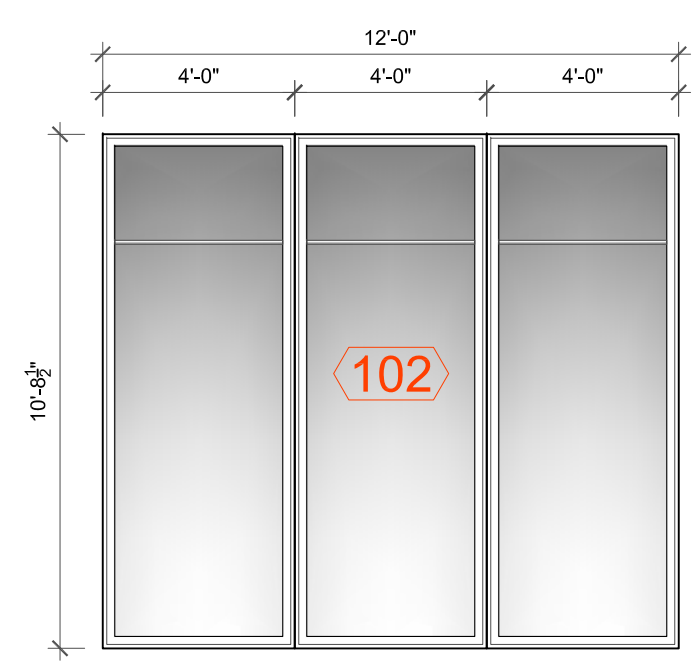
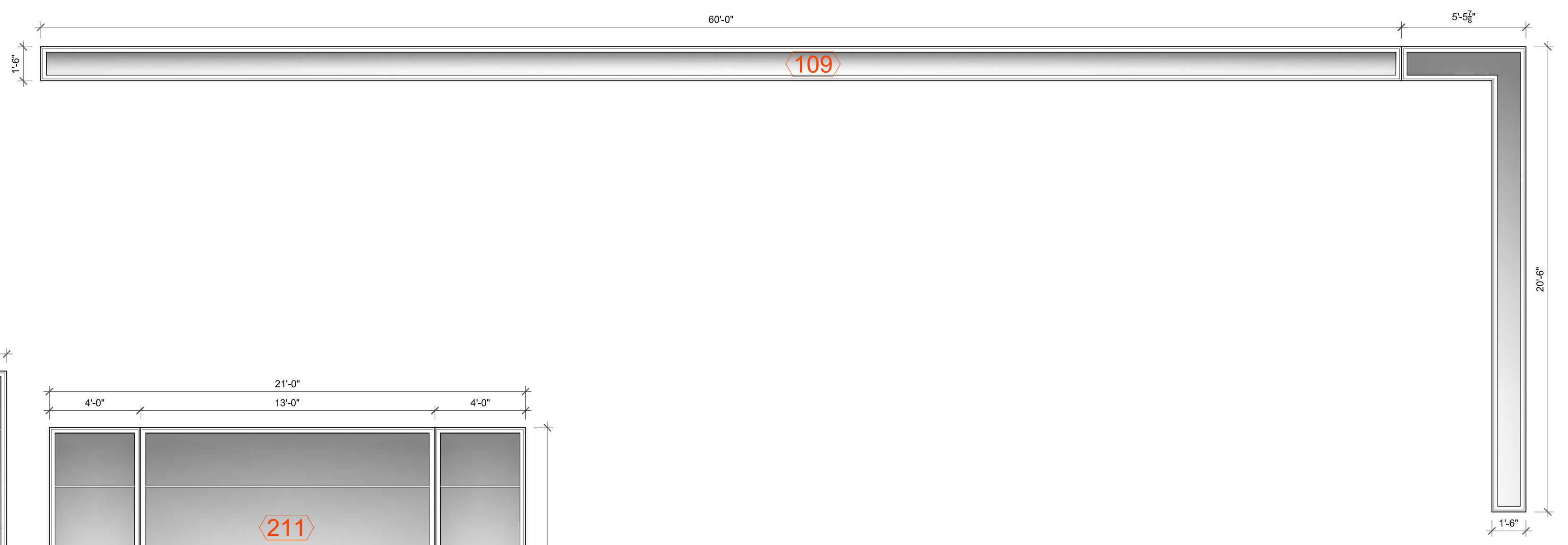
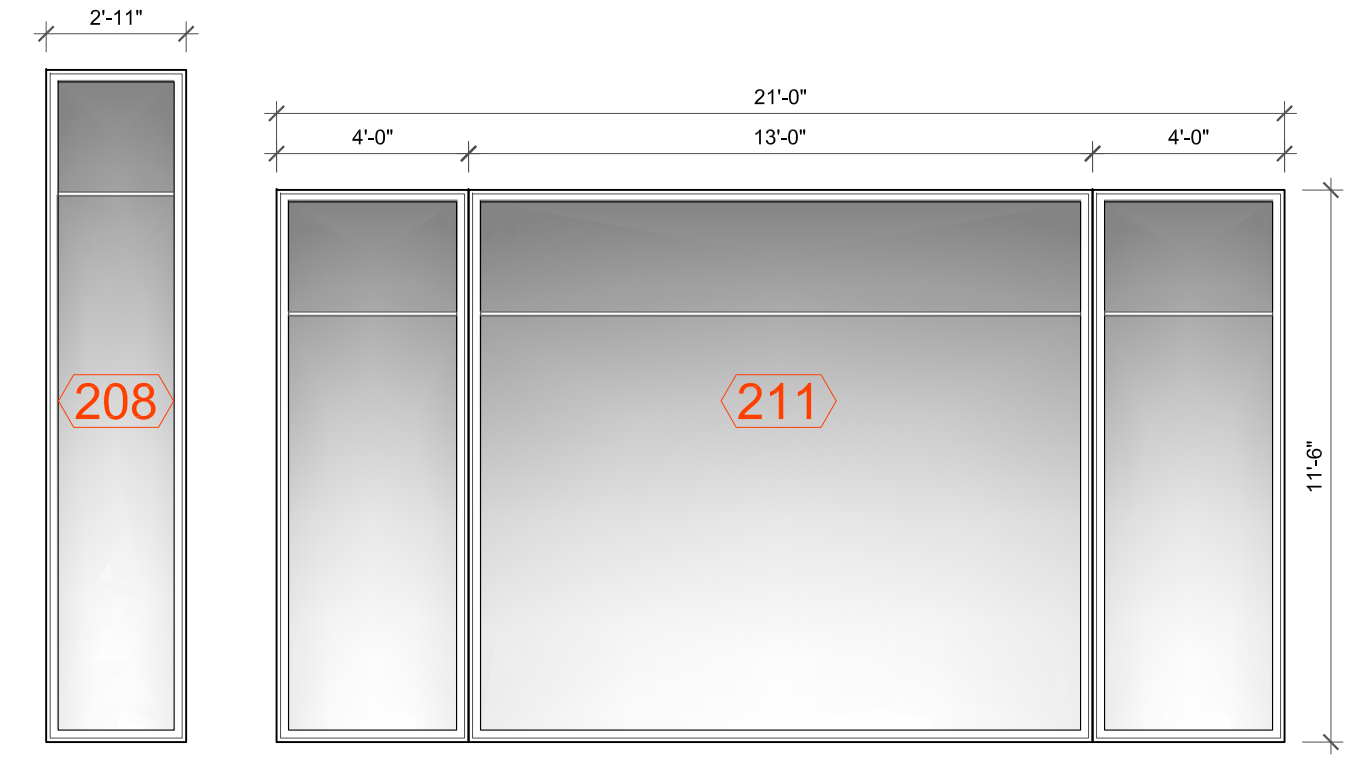
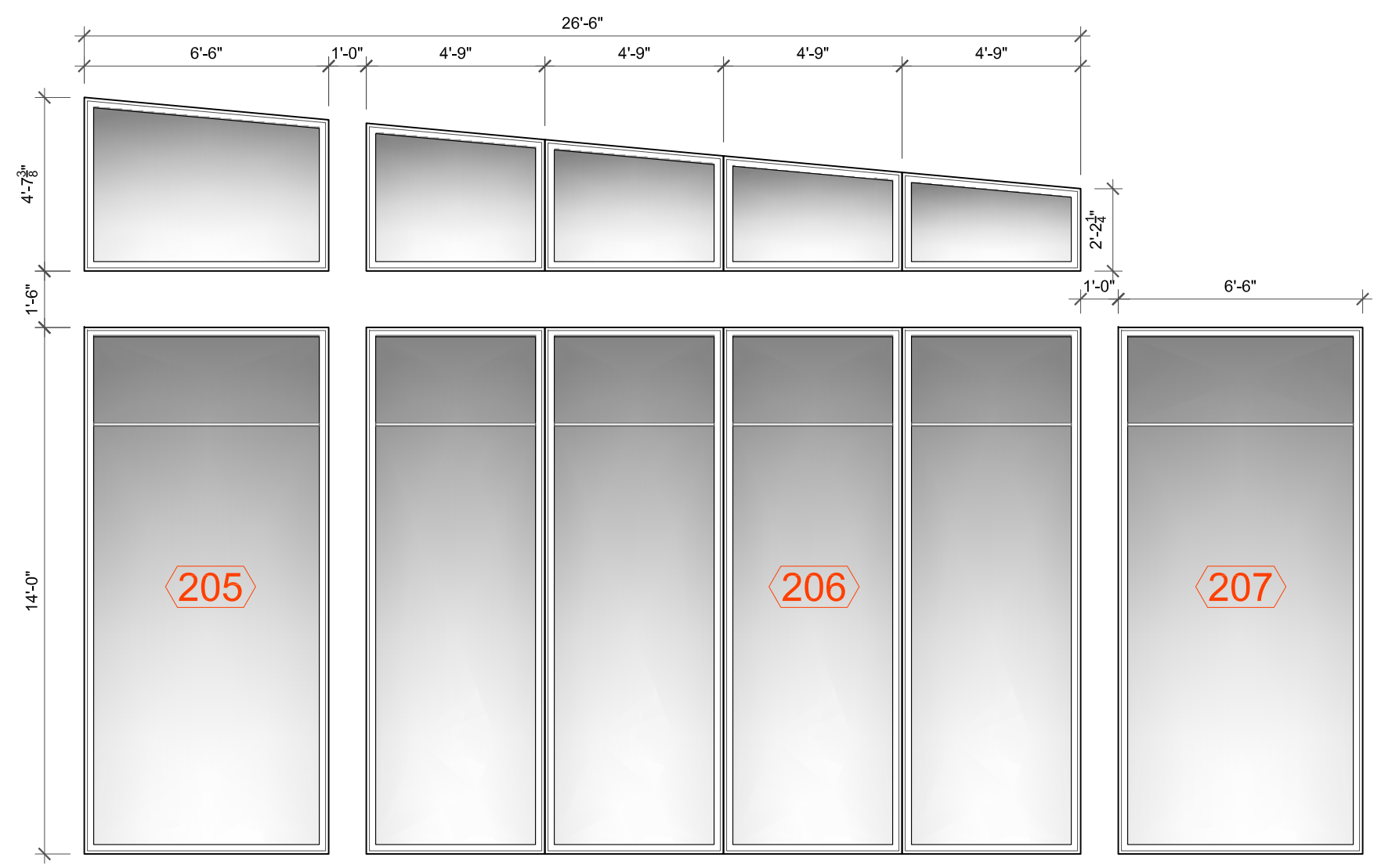


03 LEVEL 03 EXT. LIGHTING PLAN  
SCALE: 1/8" = 1'-0"



02 LEVEL 02 EXT. LIGHTING PLAN  
SCALE: 1/8" = 1'-0"





**EXTERIOR FENESTRATION NOTES**

**MANUFACTURER / MODEL** - MARVIN MODERN  
**GLASS** - INSULATED, LOW E II W/ CAPILARY TUBES, OBSCURED WHERE NOTED, TEMPERED PER CODE & FIRE MITIGATION CONDITIONS.  
**EXTERIOR** - ALUMINUM CLAD - BLACK FRAME , BLACK SASH, BLACK MULLIONS - TYP.  
**INTERIOR** - TBD  
**SCREENS** - SATIN BLACK SURROUND, CHARCOAL FIBERGLASS MESH  
**HARDWARE** - TBD  
**DIMENSIONS** - PER SHEET A9.1 & A9.2

\*ALL UNITS TO BE INSTALLED PER MANUFACTURER'S INSTALLATION RECOMMENDATIONS. REFER TO FLOOR PLAN SHEETS FOR DOOR | WINDOW TYPE AND OPERATION.

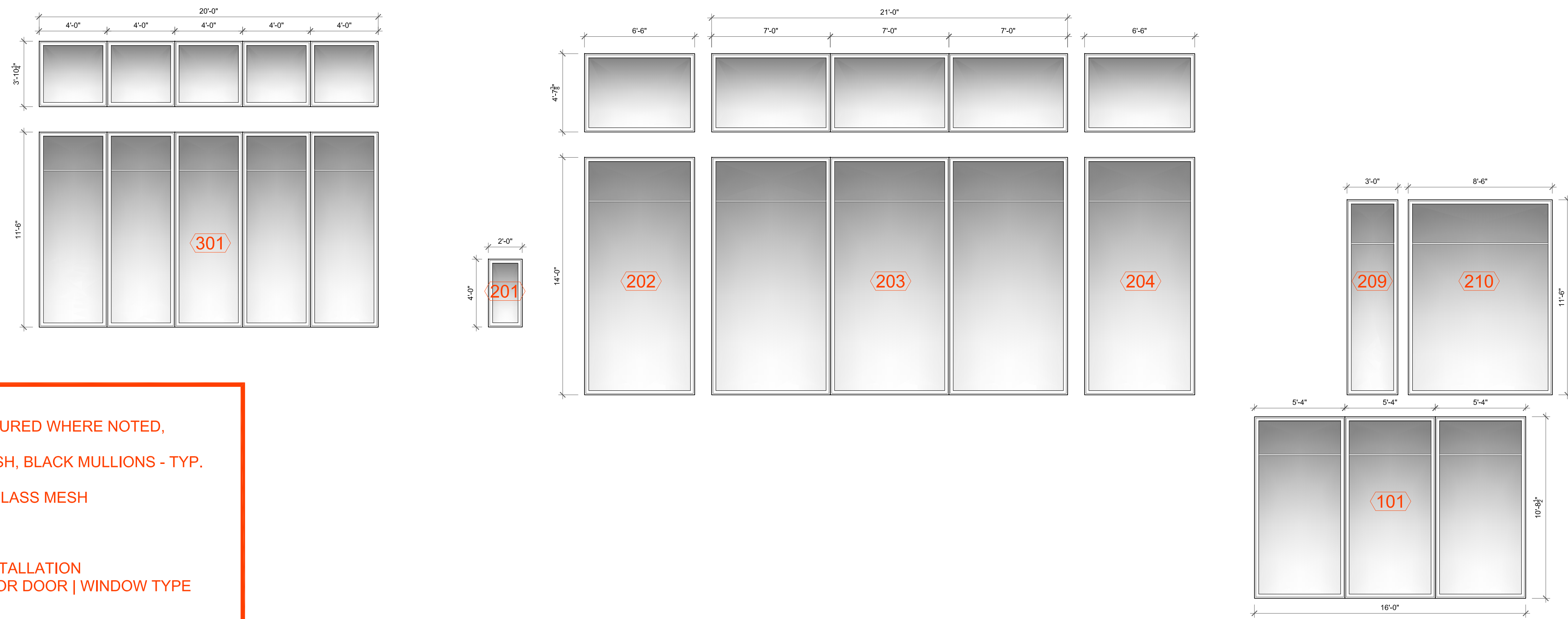
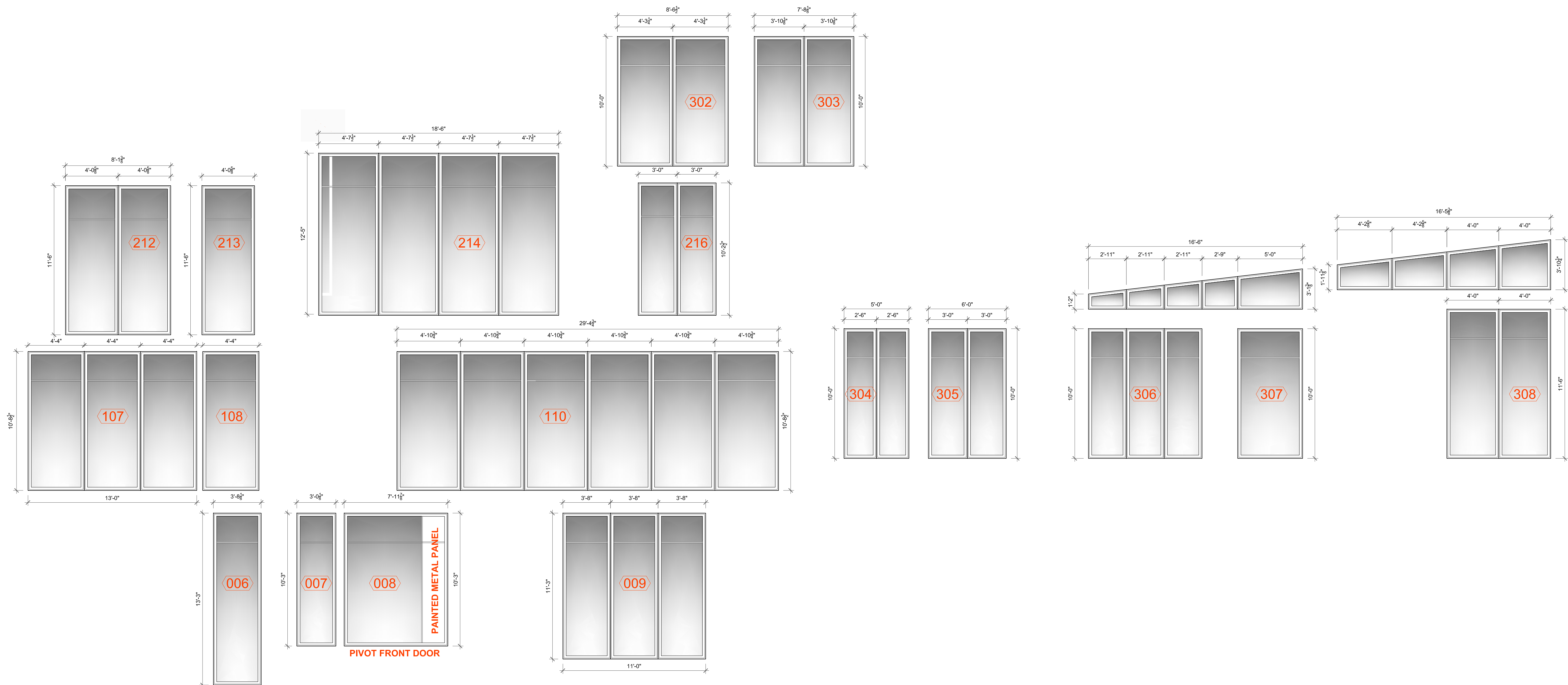
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10.31.2022	BACKGROUNDS
04.01.2023	PLAN REFINEMENTS
05.02.2023	SECTIONS
05.18.2023	INT. SECTIONS
05.28.2023	DRB CONDITIONS
06.19.2023	

**137  
GRANITE  
RIDGE**

**EXTERIOR  
DOORS &  
WINDOWS**

**A9.1**





**EXTERIOR FENESTRATION NOTES**

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submissions	DRB
10.31.2022	BACKGROUNDS
04.01.2023	PLAN REFINEMENTS
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05.19.2023	INT. SECTIONS
05.26.2023	DRB CONDITIONS
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**137  
GRANITE  
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**EXTERIOR  
DOORS &  
WINDOWS**

**A9.2**